



Council Meeting

AGENDA

Tuesday, January 11, 2022

6:00 PM

City Hall

I. CALL TO ORDER

1. Invocation
2. Roll Call
3. Approval of Agenda
4. Approval of Consent Agenda
 - a. December 7, 2021 Council Minutes
 - b. December 14, 2021 Council Minutes

II. PUBLIC FORUM

1. Public Comment(s)

III. BUSINESS ITEMS

1. City Administrator Update
2. Assistant City Administrator Update
3. Department Requests
 - a. Police Department: FLOCK Camera System Purchase
 - b. Police Department: Approval - Scrapped Vehicles

IV. OLD BUSINESS

1. Preliminary Plat Review - River Pointe

2. Monroe Corridor Commission Appeal - 1000 East Spring Street

V. NEW BUSINESS

1. Public Hearing(s)

a. Rezone - 0 Double Springs Church Road

2. New Business

a. Election of Vice Mayor

b. Appointment - Council Representative to DDA

c. Rezone - 0 Double Springs Church Road

d. Final Plat Approval - Meadows Farm Subdivision

e. Final Plat Approval - Monroe Pavilion

f. 1st Reading - Procedural Ordinance and Resolution Readings

VI. DISTRICT ITEMS

1. District Items

2. Mayoral Update

VII. ADJOURN

VIII. DEPARTMENT REPORTS & INFORMATION

1. Monthly Airport Report

2. Monthly Central Services Report

3. Monthly Code Report

4. Monthly Economic Development Report

5. Monthly Electric & Telecom Report

6. Monthly Finance Report

7. Monthly Fire Report

8. Monthly Parks Report

9. Monthly Police Report

10. Monthly Solid Waste Report

11. Monthly Streets & Transportation Report

12. Monthly Water, Sewer, & Gas Report

The Mayor and Council met for a called meeting.

Those Present:	John Howard	Mayor
	Larry Bradley	Vice-Mayor
	Lee Malcom	Council Member
	Myoshia Crawford	Council Member
	Ross Bradley	Council Member
	Norman Garrett	Council Member
	Tyler Gregory	Council Member
	Nathan Little	Council Member
	David Dickinson	Council Member
	Logan Propes	City Administrator
	Debbie Kirk	City Clerk
	Paul Rosenthal	City Attorney

Staff Present: Danny Smith, Jeremiah Still, R.V. Watts, Andrew Dykes, Beth Thompson, Brian Thompson, Rodney Middlebrooks, Patrick Kelley, Chris Bailey, Sadie Krawczyk, Brad Callender

Visitors: Sharon Swanepoel, Denise Etheridge, Aiden Rainey, Stacey Rainey, Gene Benton, Julie Sams, MK Dopp, Reagan May, Eugene Rawl, Lily Eubanks, Abby Wright, Noah Hicks, Jim Wilson, Christine Rojas, Shauna Mathias, Marilyn Hall

I. CALL TO ORDER – JOHN HOWARD

1. Roll Call

Mayor Howard noted that all Council Members were present. There was a quorum.

2. City Administrator Update

City Administrator Logan Propes stated all of the departments have been very busy with interest in commercial, residential, and industrial prospects. The City was awarded \$400,000 for Right-of-way Acquisitions for the Transportations Alternative Project, which is on North Broad, East Highland, and North Lumpkin. He explained the City will apply for the construction funding next; the construction grant will be for a couple million dollars. There has been a lot of interest in the Blaine Street Development; the request for proposal will go out the first quarter of next year. Water damage repairs are being done at the old Police Department building; it will be rereleased for the request for proposal in the first quarter. The Downtown Green will be put out for bid late in the first quarter, and the Utility Department will be working on the underground electric in the meantime. He stated that staff is working on the Comprehensive Plan, the Parks Master Plan, Water Hydrology, and some pavement grading in Streets.

3. Central Services Update

Mr. Chris Bailey explained the Plaza Shopping Center Project is delayed, due to waiting on a metal roof cap. The exterior has been painted and the lighting has been picked out; the project should be completed by yearend, minus the roof cap. The report for the old Police Department building came back with very low levels but is in the process of the remediation repair. He stated there were about a dozen volunteers for the Cleanup Event; there was a little more than

800 pounds collected, not counting a trailer load of tires collected by Mr. Gregory. The 2020 CDBG Stormwater Project is ongoing. He discussed some of the projects done in 2021, which total between eight and nine million dollars' worth of projects, minus the Police Department.

II. PUBLIC PRESENTATION

1. Comprehensive Plan Presentation

Ms. Marilyn Hall, with Hall Consulting, gave a brief overview of the Public Engagement Activities surrounding the Comprehensive Plan. Next week, she will discuss in more detail what the Plan is and what it is not, and it will be the official Public Hearing required by the Department of Community Affairs. A Comprehensive Plan is a blueprint to guide growth, which will provide the basis to make future zoning and capital facilities decisions. It is a 20-year Plan that is required to be updated every five years in order to maintain a Qualified Local Government Status to be eligible for State Grant Funding. She discussed the three Community Engagement Workshops. The goal of the Vision Workshop is to develop a vision for the City, to show where the City wants to be in 20 years and what it wants to look like. The survey results from the University of Georgia Institute of Government will be used as a foundation to build upon. The developed vision will be presented at the Community Strategic Framework Workshop. The Open House will have stations to represent the issues, opportunities, things that have been identified, and the policies and strategies to address the issues and opportunities. Questions will be answered and feedback will be taken. The Open House will be one of the final opportunities for the community to provide input before the draft of the final Plan is sent to the Regional Commission and the Department of Community Affairs. She explained there are also Community Outreach Opportunities and Engagement Strategies located on the website www.monroe-compplan.com. This is a preview; the official kickoff will be a week from tonight. There will be a Steering Committee and Stakeholder Interviews to ensure a diverse representation of the community. The first Public Hearing will be a week from today and the final Public Hearing will be a Transmittal Hearing that will be held on April 12. Ms. Hall reviewed the Comprehensive Plan Timeline.

III. COMMITTEE INFORMATION

1. Finance

a. Monthly Finance Report

Ms. Beth Thompson presented the monthly Finance Report. She explained the Finance Department has started gearing up for the yearend audit. Mauldin and Jenkins will be at the City on January 3 for an initial meeting to go over internal controls and to get the audit started. They will be back for two weeks in February to do their field work. She gave a quick overview of the Transparency tool that has been implemented.

2. Airport

a. Monthly Airport Report

Mr. Chris Bailey presented the monthly Airport Report. November had the highest number of transactions and the most fuel sold since August of 2015. The cost of fuel will be going up approximately twenty cents starting tomorrow. The terminal building will be put out for bid towards the end of December or early January, with the bids coming back to Council in March. The maintenance hangar will be done in tandem with the terminal building and have a small paving portion that will be bid out. The owner will build the hangar and do the site grade work. The 5-Year CIP has been submitted to GDOT. The base aircraft has been updated; it increased for the first time in 20 years, which will help with grant funding.

3. Public Works

a. Monthly Solid Waste Report

Mr. Danny Smith presented the monthly Solid Waste Report. The new scales have been installed, and the Transfer Station is open to the public. He encouraged customers to use the blue bin for the Curbside Recycling Program. The Glass Collection must be separated and placed in the 18-gallon bin. He explained the recyclables and the glass go to two different locations. He reviewed the holiday route schedule.

b. Monthly Streets & Transportation Report

Mr. Jeremiah Still presented the monthly Streets & Transportation Report. Approximately four miles of roadway has been paved and overlaid throughout the City using LMIG and other grant funds. There has been approximately 1,500 feet of sidewalk rehab done. The Stormwater Department has removed over 5,000 pounds of debris from the storm grates, which reduces the risk of flooding. He stated there has been 432,000 pounds of leaves collected in 2021 and over 1,200 tons of asphalt used for utility cuts alone. The crews have worked over 500 hours on the parades, festivals, and events in Downtown. He bragged on the great group of employees.

c. Discussion / Approval – 2022 LMIG Application

Mr. Jeremiah Still requested approval of the project list for the 2022 Local Maintenance and Improvement Grant (LMIG). The City receives these funds from the State of the Georgia for pavement preservation. He explained the bulk of the project list will be to mill and repave the area going to the new shopping center that was messed up during a major waterline project. There will also be two additional streets at a subdivision off of Ammons Bridge Road. The project list includes deep patching, milling, overlay, and striping on West Marable Street, Nowell Way, Irving Street, Green Street, and Perry Street. There will be .49 lane miles of deep patching and overlay on Lopez Lane and Tigers Way. He explained the grant requires a 30% local match from the City, which will come from SPLOST Funds.

Council Member David Dickinson clarified the total amount will be \$228,116.23, with a 30% match of \$52,642.21 from the City.

The committee recommends to Council approval of the proposed list for the 2022 LMIG.

*Motion by Little, seconded by Gregory.
Passed Unanimously.*

4. Utilities

a. Monthly Electric & Telecom Report

Mr. Brian Thompson presented the monthly Electric & Telecom Report. The crews have placed over 35,000 feet of conduit, over 27,500 feet of primary electric cable, and pulled over one mile of 336 overhead wire for the Pavilion Project. They have also installed 15 feed-through cabinets, 12 transformers, 120 elbows and multiple stand off and lighting arrestors. He stated there has been approximately 4,300 manhours spent on the project. The City is the only telecommunications company on site and is providing service to all of the buildings close to getting their CO. The first ductile iron pole has been set for the Town Green. The crews have placed 175,000 feet of underground conduit, 185,000 feet of underground fiber, and over 1,000 pull boxes and pedestals for the FTTX Project. He explained seven transformers were lost within the last couple of months; he is working with suppliers to get replacements. The City is

one of three organizations in the nation using Corning's FlexNap design tool and approximately 150,000 feet of GPS located fiber has been done, which should save in design costs.

b. Monthly Water, Sewer, & Gas Report

Mr. Rodney Middlebrooks presented the monthly Water, Sewer, & Gas Report. All of the gas mains have been installed for the Highway 186 Project; there is 800 feet of river bore left to be done at Jacks Creek. The meter set is being built for ER Snell. The crews began installing 49-foot on Thurston Snow Road yesterday. The Jacks Creek Wastewater Plant Rehab is moving very slow, due to labor issues. Most of the permits are in for the 30-inch raw water line; it will go out for bid at the first of the year. The Monroe Loganville Water Line is now serving water on a daily basis. The 2022 CDBG kickoff was held last week; the sewer will be replaced on Glen Iris, a section of Bryant, a section of Stowers, and a section of Edwards.

c. Dedication of Grand Haven Sewer Pump Station

Mr. Rodney Middlebrooks presented the dedication of ownership to the City from Reliant Homes for the Sewer Pump Station located in the Grand Haven neighborhood. The pump station is built to the City's required specifications, then the developer turns the deeds for the pump station, land, and easement over to the City.

City Administrator Logan Propes explained this is a formality; the plat for Phase 2 and proposed quit claim deed are attached.

The committee recommends acceptance of the Grand Haven Sewer Pump Station Dedication from Reliant Homes to Council.

*Motion by L. Bradley, seconded by Gregory.
Passed Unanimously.*

5. Public Safety

a. Monthly Fire Report

Fire Chief Andrew Dykes presented the monthly Fire Report. They responded to 217 emergency incidents, with five of them being fires of significance. He discussed the impact of COVID to the department. Five of the 217 incidents were suspected cases of COVID and approximately 5% of the calls for the year have been COVID related. The fire loss for October was moderate. There was a very significant fire at Hitachi in November; they are predicting that the City saved them \$19 million. He stated the City had a lot of help from Walton County Fire. The third joint live fire training with Walton County Fire was completed at the training facility last night. The annual fire hydrant flow tests are almost complete. The 20-year-old ladder truck is out of service, due to a weld breaking yesterday; technicians will be coming on Thursday. Walton County Fire will assist, so service delivery will not be affected.

b. Monthly Police Report

Police Chief R.V. Watts presented the monthly Police Report. The calls for service were down, area checks were up, and Part A Crimes were up. They had the annual Remembrance of Lieutenant Michael Etchison in October. Monroe hosted the GSCP District 9 Meeting on October 20 and the Youth Leadership Walton on October 25. They spoke with the third graders from George Walton on October 27 and had Trunk or Treat with Rivers of Mercy on October 31. He stated from October 15 to November 18 officers took a total of 16 firearms off of the street.

6. Planning & Code**a. Monthly Code Report**

Mr. Patrick Kelley presented the monthly Code Report. The Code office had 154 inspections, 81 total permits, five new businesses acquired licenses, and eight businesses closed. The Monroe Pavilion is still ongoing; it will be closing out soon, but the dates are tentative. The City Marshals removed 66 signs from the roadway, issued 264 repair / cleanup notices, investigated two utility tampering cases, and issued nine citations. They also completed eight hours of POST training. The Historic Preservation Commission approved five COAs and the Planning and Zoning Commission approved three COAs.

7. Economic Development**a. Monthly Economic Development Report**

Ms. Sadie Krawczyk presented the monthly Economic Development Report. She discussed the Bicentennial Week Celebrations and the Christmas Parade. The Farm to Table Event was very successful, with \$10,000 being raised. There were 18,059 people with devices downtown all day on December 2. The Historic Resources Survey is being handled by WLA Studio; Phase I is underway at www.monroega.com/historicsurvey. She stated a team of UGA Students will also be surveying a part of the existing districts along Church Street. There are two more Candlelight Shopping evenings on Thursdays.

8. Parks**a. Monthly Parks Report**

Mr. Chris Bailey presented the monthly Parks Report. There was a groundbreaking at the Town Green, with bids and construction plans for 2022. The bridges have been repaired at Childers Park and Mathews Park. The pond wildlife and dam study for Mathews Park was done in October, but the results and plan to reestablish the lake have not been received yet. The pavilions and restrooms are expected in January; there will be a lot of progress seen in the Spring of 2022.

IV. ITEMS OF DISCUSSION

- 1. Public Hearing Rezone / Annexation – 1167 Golfview Terrace and 0 Oakland Ridge**
- 2. Public Hearing Monroe Corridor Commission Appeal – 1000 East Spring Street**
- 3. Public Hearing Comprehensive Plan**
- 4. COA Demolition Appeal – 1238 South Madison Avenue**
- 5. Conditional Use – 611 Davis Street**
- 6. Preliminary Plat Review – River Pointe**
- 7. Preliminary Plat Review – 318 Alcovy Street – Veterans Walk**
- 8. Preliminary Plat Review – 0 Charlotte Rowell Boulevard – Monroe Pavilion**
- 9. Application – Beer & Wine Package Sales – Food Mart Monroe**
- 10. Application – Beer & Wine Package Sales – Publix**
- 11. Appointments (3) – Downtown Development Authority & Convention & Visitors Bureau Authority & Urban Redevelopment Agency**
- 12. 2nd Reading – Zoning Ordinance Code Text Amendment #12**
- 13. Approval – 2022 Budget Resolution**
- 14. Resolution – Northeast Georgia Regional Solid Waste Management Plan**
- 15. Adopt – 2022 Council Meeting Schedule**

There was a general discussion on the above items. There was no action taken.

V. ITEMS REQUIRING ACTION

1. Public Hearing

a. 2022 Budget All Funds

Finance Director Beth Thompson presented the summaries of the final budget for the 2022 fiscal year beginning January 1, 2022 and ending December 31, 2022.

The Mayor declared the meeting open for the purpose of public input.

There were no public comments; Mayor Howard declared that portion of the meeting closed.

No Action.

2. Resolution – Temporary Moratorium of Residential Development Outside of City Core

City Administrator Logan Propes discussed the temporary moratorium on acceptance of applications for Preliminary Plat approvals for Residential Major Subdivisions outside the City Core. He explained the moratorium will allow the City time to get ahead of the various aspects of planning. It will be a temporary six-month moratorium to ensure the City has the available services to provide to any foreseeable developments and homes in the City. The moratorium has been crafted to keep some growth and new housing going during this time, primarily in the general City Core.

Vice-Mayor Larry Bradley stated he supports the intent of the moratorium, but questioned the periphery. He wanted to clarify whether someone with a lot outside of the inner City Core would be able to build a house on their lot.

Mr. Propes answered the moratorium is aimed at Major Subdivisions, which would be more than five residential lots.

City Attorney Paul Rosenthal explained this is only for Major Subdivisions. The intent is to prevent receiving any preliminary plat applications outside of the City Core from now until June 30, 2022. This will allow time for the Comprehensive Plan to be updated and other infrastructure issues to be addressed. Minor subdivisions are exempted from the moratorium.

To approve the resolution as presented.

*Motion by Malcom, seconded by Gregory.
Passed Unanimously.*

VI. MAYOR’S UPDATE

Mayor John Howard thanked George Walton Academy for attending the meeting. Coach Reach and Monroe Area High School will be celebrating their Region Championship and the Chorus will be here to sing next week. Council Member Gregory’s wife Lauren is due on December 18.

VII. ADJOURN

*Motion by R. Bradley, seconded by Malcom.
Passed Unanimously.*

The Mayor and Council met for their regular meeting.

Those Present:	John Howard	Mayor
	Larry Bradley	Vice-Mayor
	Lee Malcom	Council Member
	Myoshia Crawford	Council Member
	Ross Bradley	Council Member
	Norman Garrett	Council Member
	Tyler Gregory	Council Member
	Nathan Little	Council Member
	David Dickinson	Council Member
	Logan Propes	City Administrator (via phone)
	Debbie Kirk	City Clerk
	Paul Rosenthal	City Attorney

Staff Present: Danny Smith, Jeremiah Still, R.V. Watts, Andrew Dykes, Beth Thompson, Rodney Middlebrooks, Patrick Kelley, Sadie Krawczyk, Brad Callender, Les Russell

Visitors: Denise Etheridge, Mike Hawks, William Coleman, Frank Masiello, Becky Brewer, Rita Dickinson, Gerald Atha, Cynthia Atha, Tommy Fountain, Sr., David MacLatchy, Lisa Parker, Lawrence Parker, April MacLatchy, Gene Benton, Diane Goga, Chris Goga, John Argo, Todd Mitchell, Stephanie McDaniel, James McDaniel, Jim Payne, Kay Payne, Kevin Schussler, Shannon Schussler, Murad Ali, Huck Holder, Kirklyn Dixon, Kim Fritz, Steven Fritz, Sharon Crenshaw, Julie Sams, Marilyn Hall, Bobby Seals, Shauna Mathias, Kevin Reach

I. CALL TO ORDER – JOHN HOWARD

1. Invocation

Pastor Tommy Fountain with 1025 Church gave the invocation.

2. Roll Call

Mayor Howard noted that all Council Members were present, except Council Member Myoshia Crawford will be late. There was a quorum.

3. Approval of Agenda

To approve the agenda as presented.

*Motion by R. Bradley, seconded by L. Bradley.
Passed Unanimously*

4. Approval of Consent Agenda

- a. November 2, 2021 Council Minutes
- b. November 9, 2021 Council Minutes
- c. November 2, 2021 Executive Session Minutes
- d. November 16, 2021 Planning Commission Minutes
- e. November 23, 2021 Historic Preservation Commission Minutes
- f. October 14, 2021 Downtown Development Authority Minutes
- g. November 11, 2021 Downtown Development Authority Minutes
- h. October 14, 2021 Conventions and Visitors Bureau Minutes
- i. November 11, 2021 Conventions and Visitors Bureau Minutes
- j. Approval – 2022 LMIG Application – To approve the proposed project list.
(Recommended for Council approval by Public Works Committee December 7, 2021)
- k. Dedication of Grand Haven Sewer Pump Station – To accept ownership from Reliant Homes. (Recommended for Council approval by Utilities Committee December 7, 2021)

To approve the consent agenda as presented.

*Motion by Little, seconded by Malcom.
Passed Unanimously*

II. PUBLIC PRESENTATION

1. Monroe Area High School Choral Canes Performance

Ms. Sharon Crenshaw led the Monroe Area High School Chorus as they sang, “Jingle Bells”.

No Action.

2. Monroe Area High School Proclamation

Mayor John Howard presented the Proclamation Honoring the Purple Hurricanes from Monroe Area High School for the 2021 Region 8 – AAA Football Championship to Couch Reach.

Couch Kevin Reach thanked the community for their prayers for his wife that was in a coma for five weeks. She is home now and is going to make a full recovery. He discussed the team’s statistics and stated he is proud to be a Monroe Hurricane.

No Action.

3. Resolution – House of Representatives Recognizing Monroe’s Bicentennial Celebration Day

Mayor John Howard presented the Resolution from Bruce Williamson from the House of Representatives.

No Action.

III. PUBLIC FORUM

1. Public Comments

Mr. Mike Hawks, of 1730 Double Springs Church Road, stated he has lived in Walton County and owned property on Double Springs Church Road for 50 years. He asked Council to think about the River Pointe Subdivision putting in over 300 houses in the area. He questioned whether the City infrastructure, sewer, and water are ready for that growth. Double Springs Church Road is a small winding country road. The traffic will affect their quality of life, and the community wants Council to think about them.

Mr. William “Billy” Coleman congratulated the City for a great year in 2021. He requested clarification and more information on the moratorium, because he has received conflicting information. He requested consideration for his application. His engineer sent an email with an attached preliminary plat the day before the moratorium asking what further information was needed. They wanted to get the information to the City that day, which was December 6, but they did not get a response until December 8. He requested Council to consider tabling all of the preliminary plat approvals on the agenda, until clarification can be made and whether previous information was shared with the other developers, that they were not privy to. The City staff has done an excellent job, but the moratorium resolution from last Tuesday falls on Council. He stated they have been corresponding with the City on the project since March of 2021, but their project was actually approved in 2006.

Council Member Myoshia Crawford arrived at 6:28 pm.

Mr. Frank Masiello, of 1710 Double Springs Church Road, discussed the two subdivision development areas. He has three grandchildren that are very active in sports; every park they have been to is overcrowded. The Publix Supermarket will have commercial development around it; there is a YMCA and retirement facility coming. He stated Parks need to be put first, so the kids will have a place to go and the schools will have to contain them. There will be almost 500 homes in that area between the City and the County. He thinks this will overwhelmingly impact the community, with the traffic and congestion. The City should use their power of eminent domain for the good of everyone. A historic agreement could be made between the City and the County for recreational parks. He questioned whether there are any horse parks in Walton County; the property could be saved for a horse park. He is concerned about contaminated ground water and overcrowding.

Ms. Becky Brewer, of 916 Navaho Trail, questioned whether the school at 611 Davis Street will be discussed. She wanted to know whether the 611 parcel, the Day School, and the old baseball field will all be one piece of property.

2. Public Hearing

a. Rezone / Annexation – 1167 Golfview Terrace and 0 Oakland Ridge

Code Enforcement Officer Patrick Kelley presented the application for rezone of this property in conjunction with an annexation request in order to consolidate their properties into one lot inside the City.

The Mayor declared the meeting open for the purpose of public input.

Ms. Diane Goga, the property owner, spoke in favor of the rezone and annexation. She bought the County lot for a garden, gazebo, and she shed. She did not realize that she could not have electricity and water to her shed, until she came to get a permit. She was told that she could only have a single-family home on the County lot. She is requesting to combine the County and City lots to make it into one larger City lot. That way her shed or accessory building will be associated with the principal structure, which is their house. Her shed is 448 square feet, which is allowable on a property size of a half-acre to 0.99 acres. The size of the combined County lot and City lot together is 0.72 acres.

There were no other public comments; Mayor Howard declared that portion of the meeting closed.

b. Conditional Use – 611 Davis Street

Code Enforcement Officer Patrick Kelley presented the application for conditional use of this property to expand the existing private school, Monroe Country Day School. The Code Office and Planning Commission recommend the request be approved.

The Mayor declared the meeting open for the purpose of public input.

Council Member David Dickinson recused himself from the discussion.

Ms. Rita Dickinson explained she bought the rental house, but the house is unrepairable, with many issues. It has to meet certain standards to be used for a school. They do not have a plan yet, but would like to put playground equipment at the back. She stated it would not be used for elementary aged children. It would probably be a building that looks somewhat like a house from Davis Street, with four classrooms for the middle and high schools. She also wants to put a greenhouse to teach agriculture.

There were no other public comments; Mayor Thompson declared that portion of the meeting closed.

No Action.

c. Monroe Corridor Commission Appeal – 1000 East Spring Street

Code Enforcement Officer Patrick Kelley stated this is an appeal of the Planning Commission's decision to deny a Certificate of Appropriateness in the corridor, acting as the Corridor Overlay Design Commission. The decision is being appealed by the applicant, Gerald Atha, and his attorney Mr. Benton.

Mr. Gene Benton spoke on behalf of his client, Gerald Atha, on his appeal of the COA decision by the Corridor Commission. He stated the property is not in the Overlay District, because the property was purchased based on a plat that was recorded in Plat Book 10, page 86 in 1962 entitled property of Eugene Kelly, designated in Lots 15, 16, 19, and 20 of the JH Felker Estate Subdivision. The property where Mr. Atha wants to place the building has a Hammond Drive address. The corridor is any property that abuts or touches Spring Street and Broad Street; therefore, it is not in the corridor. He stated if Council does find it in the corridor, then a COA is not required, because Section 643.4 (3) (b) states if there is a minor change there is no requirement for a COA. He explained they are requesting the same thing that was approved on August 8, 2017 when the City issued Permit #1700359 for a storage shed on this property. They are asking for the same consideration tonight. Section 641.1 shows the purpose and intent for the Overlay District. Section 643.1 states the purpose is to protect highway corridors, which would be Spring Street. He stated the primary goal is to protect the corridor of the gateways coming into the City of Monroe to enhance the look. However, under Section 643.1 the City wishes to focus on compatibility so that new structures conform to community features and standards with the intent not to create traffic, signage, or incompatible architecture. Section 643A.1 states architectural design should be influenced by tradition and traditional development patterns within the proper context; the context of which used to be McGarity Ford, which has been that way for over 50 years. Section 643A.1 (c) states the design should be integrated with the surroundings. The property where the building would be placed cannot be seen from Spring Street; the gateway to the City is not affected, and a storage shed will not create a traffic issue. The shed will be used for inside storage for the existing building, and will enhance the property. There will not be a signage change, and the architecture and building will be the same as was

permitted in 2017. The Monroe Motor Inn has metal warehouses right beside them, and all of the other buildings on the property are metal. The City allowed a trailer on the property next door for Dr. Plaster’s office. There is also a mobile home closer to the road than what they are requesting that is visible from the corridor. The City should look at the context of where it is located and what is around it; they are not making any changes to the corridor. Mr. Benton stated that he understands as the City goes forward that would not be, excuse me Gerald, what the City would put there as an entrance with a metal building, but it has been there for 50 years. The design should be integrated with the surroundings, and a brick building would be out of place in the area. The COA was denied by the Planning Commission and Section 643.4 (4) (b) states it should only be denied if it substantially adversely affects the corridor. There are property rights that Mr. Atha has to be able to build on his property; it has to be a substantial adverse effect on the corridor for the City to stop that. Mr. Benton stated they respectfully request that the City find that it is not in the corridor and allow them to build the building or find that it is a minor change and allow them to build the same building like in 2017. If it is found to be in the Overlay District, Council could find that it is not a substantial adverse effect on the corridor, therefore, Mr. Benton stated Council can approve it based on that. He thanked Council for their time and service to the City of Monroe.

Council Member David Dickinson stated he has checked the regulations in detail. He stated putting aside the question of whether the tract is in the corridor, he does not agree that this is a minor change. He does agree that the overall purpose of the Overlay is to keep things compatible. He questioned whether materially this will change the way the corridor looks if the City allows the building to be built. The regulations are supposed to eliminate the big areas of moonscape parking lots and chain link fencing, which facilitate the development of pedestrian access. He questioned what Mr. Atha is willing to do to isolate it from the street with some trees, vegetation, and sidewalk.

Mr. Benton answered it would not be cost effective to do that. He feels that would be done when something is redone completely, instead of only adding a small building. These requirements were not triggered when he added the building in 2017. The building is at the front and the parking is in the back, but it is mostly asphalt. It does not meet the new standards; it would be problematic.

Council Member Lee Malcom questioned whether a plan was submitted by Mr. Atha prior to this controversial state with the Corridor Overlay. She stated at that time there was enough room for a buffer on the side.

Mr. Benton stated this has been going on for a year; COVID hit and Mr. Atha was dealing with some health issues. Mr. Atha thought it was one tract when the Code Office said that it was in the Overlay District and was not allowed. He was willing to subdivide it and put in some green space, but it was later determined that it was two separate tracts. Mr. Benton stated the City could grant exceptions, because of the minor change, as was previously done.

Mayor Howard questioned what the tax map says.

Mr. Benton answered the tax map shows it as one tract.

No Action.

d. Comprehensive Plan

City Administrator Logan Propes introduced Ms. Marilyn Hall, who will present the official Comprehensive Plan kickoff.

Ms. Marilyn Hall and Mr. Bobby Seals, with Hall Consulting, presented the kickoff of the Comprehensive Plan Process. She will discuss what a Comprehensive Plan is and the importance of being involved in the community engagement program. The Comprehensive Plan is a 20-year blueprint to guide growth in the City of Monroe, it will contain strategies and policies to help guide future zoning and capital facilities decisions. The Plan is required to be updated every five years in order to maintain a Qualified Local Government Status in order to be eligible for State Grant Funding. The last Comprehensive Plan was done in 2017, along with Walton County's Comprehensive Plan; this Plan will focus specifically on the City of Monroe. She discussed the five components of the Plan: Issues and Opportunities, Analysis of the Existing Development Patterns, Quality Community Objectives, Existing and Projected Data and Information, and Implementation Strategies. The Comprehensive Plan Elements include population; economic development analysis; natural and cultural resources inventory; housing and neighborhood development; utilities, infrastructure, and community facilities; land use; transportation; parks, recreation, open space, trails and sidewalks; and health and wellness. She discussed the Community Engagement Workshops. The Vision Workshop will be on January 13 at 6:00 pm; the workshop will help develop a vision for where the City wants to be in 20 years. The draft vision will be presented at the Community Strategic Framework Workshop. The Open House will have stations to represent different issues and opportunities; there will be someone to answer questions and receive feedback for the Plan. She explained there are also Community Outreach Opportunities and Engagement Strategies located on the website at www.monroe-compplan.com, which is a virtual interactive workspace. She handed out flyers that will take you to the QR Code for the survey or virtual meeting. She discussed the Steering Committee and Stakeholder Interviews that will ensure a diverse representation of the community. There will be Primary, Secondary, and General Stakeholders. The Visioning Workshop will be on January 13, the Strategic Framework Workshop will be in February, and the Open House will be in March. The Plan will be submitted to the Regional Commission and the Department of Community Affairs in April for their approval. The process should be completed by the end of June.

Mr. Propes reiterated that it is very important for everyone to get engaged in the growth and development discussion for the next 20 years. Everyone should let the City know their opinions.

Mr. Chris Goga questioned something being done under transportation concerning the number of tractor trailers coming through town. They take out the fire plugs and curbs when trying to turn.

Mr. Frank Masiello stated he lives in the County, but what is happening in the City impacts the people in the County. He questioned whether there is an agreement with the County for a Comprehensive Plan. He is disappointed that there are not any County Representation at the meeting.

Ms. Hall stated the County Plans do not adequately address the issues for the City. Walton County will also be working on a Plan and the City will be working with them. Citizens can come to the meetings and can do the surveys, which will be recorded and considered. There is an Intergovernmental Agreement, which is a policy to work between the City and County.

Mr. Garrett stated that County Commissioner Kirklyn Dixon is at the meeting tonight.

IV. NEW BUSINESS**1. Annexation – 1167 Golfview Terrace and 0 Oakland Ridge**

To grant the annexation.

*Motion by Dickinson, seconded by Gregory.
Passed Unanimously.*

2. Rezone – 1167 Golfview Terrace and 0 Oakland Ridge

To approve the rezone.

*Motion by Gregory, seconded by Dickinson.
Passed Unanimously.*

Council Member David Dickinson recused himself.

3. Conditional Use – 611 Davis Street

To approve the conditional use.

*Motion by Gregory, seconded by Little.
Passed Unanimously.*

4. Monroe Corridor Commission Appeal – 1000 East Spring Street

To overturn the Planning Commission's denial of the applicant's Certificate of Appropriateness.

*Motion by L. Bradley, seconded by Garrett.
Passed Unanimously.*

5. COA Demolition Appeal – 1238 South Madison Avenue

Code Enforcement Officer Patrick Kelley stated this is an appeal of a decision made by the Historic Preservation Commission, which denied the demolition of a structure.

Council Member David Dickinson stated he has looked at this in great detail and has concerns. The Historic Preservation Commission is not just a City entity; they are created by State Law and the regulations are in the State Code in Title 44. The question is whether or not the Commission followed the criteria when making their decision, but there is no record. There is not a recording or any written statements from the HPC. The power of the HPC is not vested exclusively with the City Council; it falls under the Georgia Constitution and the Georgia Statutes. He stated it basically says under the State Statute Section 44-10-28 that when the HPC rejects an application, it shall state its reasons for doing and shall transmit a record of such action and the reason in writing to the applicant, which was not done.

Council Member David Dickinson made a motion to remand the matter back to the Historic Preservation Commission to do it the correct way. Council Member Lee Malcom seconded the motion.

Council Member Norman Garrett stated that he does not understand why the City should punish the Parkers for the HPC not doing their job.

Mr. Dickinson stated that the HPC did not follow the correct procedures. The City has to find that there is some type of abuse of discretion, and they just did not do the procedure correctly.

Mr. Garrett stated the Parkers should not be held accountable for something the HPC did or did not do.

Vice-Mayor Larry Bradley questioned whether the applicant could bring the item back under the Statute if Mr. Dickinson's motion is approved and remanded back for the HPC to issue a written denial. He questioned what happens if Mr. Dickinson's motion is defeated and another motion is made to uphold the appeal since there is not any documentation of the reason for denial; could the motion be done with the condition that it goes back before the HPC for another ruling.

Mr. Dickinson answered that the applicant could bring the item back to Council.

Mayor Howard answered whether the appeal is overturned or not, it is final.

Council Member Lee Malcom questioned whether any of the applicants' plans changed between the time they were denied and now; are they still requesting to remove the structure.

To remand the matter back to the Historic Preservation Commission to do it the correct way.

*Motion by Dickinson, seconded by Malcom.
Voting yes were Dickinson, Malcom, Gregory, Little.
Voting no were Garrett, L. Bradley, Crawford, R. Bradley.
Mayor Howard cast a no vote to break the tie.
Motion Failed 5-4.*

Council Member Norman Garrett made a motion to overturn the appeal and allow the house to be demolished. Council Member Myoshia Crawford seconded the motion.

Ms. Malcom stated her opposition to overturn the appeal, because there are other structures within the City that this will set a precedence for. There are other historical structures that are still intact that need to be preserved.

Council Member Ross Bradley questioned whether the applicant has pursued any options of moving the structure or giving it to someone who might be interested in moving it.

Mr. Lawrence Parker stated the foundation and floor structure are in poor shape, plus there are hazardous materials involved.

Council Member Tyler Gregory questioned whether the problem being procedural and there not being any information from HPC could be used to keep more from happening.

Ms. Malcom stated it has to be addressed as it stands today and move forward with a charge to establish a protocol for HPC in any new requests coming forward that documentation be recorded.

City Attorney Paul Rosenthal stated this is a standard of review before Council for an abuse of discretion. Council must decide whether the processes they followed were abused in any way. The only record Council has is what was transmitted and new evidence cannot be added. If there is a need for a record, it falls upon the appellant to provide it, but there in none here. The appeal

is governed by the abuse of discretion standard, which is a high standard to overcome for a wrong decision. Council does not know whether the Commission followed the procedural criteria guidelines.

To overturn the Historic Preservation Commission’s decision to deny the COA Demolition Permit, which will allow demolition of the structure.

*Motion by Garrett, seconded by Crawford.
Voting yes were Garrett, Crawford, L. Bradley,
Gregory, Little, R. Bradley.
Voting no were Malcom, Dickinson.
Motion Passed 6-2.*

6. Preliminary Plat Review – River Pointe

Mayor Howard stated the new property owner has requested for the item to be tabled until the January 11 Council Meeting.

City Administrator Logan Propes clarified that Mr. Clay Kirkly representing Meritage Homes is the new owner of the property and has requested the item to be tabled for one month.

To table until January 11, 2022.

*Motion by Malcom, seconded by Gregory.
Passed Unanimously.*

7. Preliminary Plat Review – 318 Alcovy Street – Veterans Walk

Code Enforcement Officer Patrick Kelley presented the Preliminary Plat Review for Veterans Walk located at 318 Alcovy Street. The Code Office and the Planning & Zoning Commission recommend approval of the Preliminary Plat subject to the two corrections listed in the Preliminary Plat Review Summary prior to the signing of the plat.

Mr. Paul Rosenthal stated due to his primary interest in this entity his office will be conflicted out. He will be unable to provide any legal advice. Mr. Propes would need to seek other Council for the City if it should be needed.

To approve the Preliminary Plat, with the requirement that the two corrections listed in the Preliminary Plat Review Summary be completed and the Plat redesigned to incorporate the changes as presented plus any other anomalies, prior to signing the Plat for approval.

*Motion by Dickinson, seconded by Gregory.
Passed Unanimously.*

8. Preliminary Plat Review – 0 Charlotte Rowell Boulevard – Monroe Pavilion

Code Enforcement Officer Patrick Kelley presented the Preliminary Plat Review for the Monroe Pavilion located at 0 Charlotte Rowell Boulevard. The Code Office and the Planning & Zoning Commission recommend approval of the Preliminary Plat; all of the corrections have already been made and the Plat is ready to be signed.

To approve the Preliminary Plat.

*Motion by Dickinson, seconded by Malcom.
Passed Unanimously.*

9. Application – Beer & Wine Package Sales – Food Mart Monroe

To approve the application.

*Motion by Garrett, seconded by Malcom.
Passed Unanimously*

10. Application – Beer & Wine Package Sales – Publix

To approve the application.

*Motion by Malcom, seconded by Gregory.
Passed Unanimously*

11. Appointments (3) – Downtown Development Authority & Convention & Visitors Bureau Authority & Urban Redevelopment Agency

To reappoint Meredith Malcom to a three (3) year term to expire December 31, 2024.

*Motion by Gregory, seconded by L. Bradley.
Passed Unanimously.*

To reappoint Chris Collin to a three (3) year term to expire December 31, 2024.

*Motion by Dickinson, seconded by Gregory.
Passed Unanimously.*

Council Member Ross Bradley recused himself.

To appoint Ross Bradley to a three (3) year term to expire December 31, 2024.

*Motion by Gregory, seconded by Malcom.
Passed Unanimously.*

To amend the motion so that it be approved by acclamation of the Council.

*Motion by L. Bradley, seconded by Malcom.
Passed Unanimously.*

12. 2nd Reading – Zoning Ordinance Code Text Amendment #12

City Attorney Paul Rosenthal gave the second reading of the ordinance to amend the Official Zoning Ordinance with Amendment #12 by implementing text amendments and changes identified in Exhibit A. Article VI – Use Provisions by District, Section 630.3, Table 6 – Industrial Zoning District Land Use Regulations – to add private sewage treatment facilities under the principal use of Utility and area service provider facilities as a conditional use. Article VI – Use Provisions by District, Section 650.4 – Special Site Requirements – to remove the minimum area requirement for Planned Development Districts throughout the City and inside the LCI District and to reduce the minimum frontage requirement for Planned Development Districts located in the LCI under Planned Development Districts.

To adopt the Zoning Ordinance Code Text Amendment #12 as presented.

*Motion by R. Bradley, seconded by Gregory.
Passed Unanimously.*

13. Approval – 2022 Budget Resolution

To approve the resolution as presented.

*Motion by Gregory, seconded by R. Bradley.
Passed Unanimously*

14. Resolution – Northeast Georgia Regional Solid Waste Management Plan

To approve the resolution as presented.

*Motion by L. Bradley, seconded by R. Bradley.
Passed Unanimously*

15. Adopt – 2022 Council Meeting Schedule

City Administrator Logan Propes stated the annual Council Meeting Schedule will be set for the second Tuesday of each month, per the Code of Ordinances, Section 2-41. This will be a one meeting per month schedule, unless there are items of general magnitude. The first Tuesday of each month will be reserved for the Committees.

Vice-Mayor Larry Bradley questioned whether it is the intent for a Committee that has an action item to call the Committee Meeting for the first Tuesday of the month; it would only be the one Committee Meeting.

Mr. Propes answered that to be correct.

To adopt the calendar as presented.

*Motion by Crawford, seconded by Garrett.
Passed Unanimously*

V. MAYOR’S UPDATE

Mayor John Howard thanked Council Member Ross Bradley for his four years of service to the City. He will have the Committee changes and assignments next month. The Council Meeting will be on January 11. Council has been invited to Christmas at 2:00 tomorrow at Hollander Senior Living on Highway 78.

VI. ADJOURN

*Motion by R. Bradley, seconded by Garrett.
Passed Unanimously.*

MAYOR

CITY CLERK

CITY ADMINISTRATOR UPDATE

JANUARY 11, 2022

Redistricting

- New map options just finished and built around 2020 Census data
- Will have a Council workshop one day this month to discuss new district proposals.

Blaine Station (Old Walton Plaza)

- RFP for master plan being developed for release later in 1st quarter.

Milner-Aycock Building

- City will re-release the RFP towards end of this month.

Planning & Code

- Comprehensive Plan underway
- Staff will be working on additional code updates and cleanup
- Engaging with Hall Consulting for additional upcoming training for Planning & Zoning Commission and Historic Preservation Commission.
- Additional Marshal position will be soon posted.

Traffic Calming

- Phase 2 implementation includes West Highland, Barrett, N. Midland, S. Madison, and Felker Streets
- Bid Advertisement on January 30th and bids before Council on March 8th for selection. Construction shortly thereafter.

DownTown Green

- Finalizing bits and pieces of engineering and readying for bid. Should see full construction outside of city utility work this summer.

Development & Economic Development

- Industrial, commercial, and residential project interest DAILY.
- Permits for all types of work at all-time highs even with supply chain issues.

Utility Bond Projects

- Wastewater Treatment Plant rehabilitation underway
- 30" Raw water line easement acquisition in progress
- Fiber installs beginning – equipment slow to arrive, installing conduit and fiber in meantime.
- Alcovy River Sewer line – line is nearing completion, pump station still in progress
- Loganville Water line complete and fully operational with water sales.
- New Water Plant Clearwell plans in progress
- Water Tower @ Cherry Hill – engineering in progress, GEFA funding may assist in cost reduction.

ASSISTANT CITY ADMINISTRATOR UPDATE

JANUARY 11, 2022

Facilities & Grounds Maintenance

- Trash Collection – 2,800 lbs
- WTP office building exterior repair - preconstruction on January 13th

CDBG 2020 Stormwater

- Easements

Plaza Phase II

- Roof Completion
- Exterior Completion
- Interior Planning / Schedule

Airport

- Maintenance Hangar site plan, grading package, terms
- Terminal Building bid process, approval
- 12-unit t-hangar site plan, grading package, terms
- MGSA Lease Renewal
- FBO Lease Renewal
- Infrastructure Bill - \$25 Billion (5/5/15), \$17.3 Million general aviation, double AIP funding for 5 years, \$159k in 2022 w/5% local match
runways, taxiways, safety, sustainability, terminal, transit connections

Job Postings

- 15+ vacancies

City Branding / Logo

- Gateway signage at Charlotte Rowell / GA Hwy 11 – structure and logo
- Implementation plan and schedule

Parks

- Mathews signage progress, Boy Scout project, restroom drawing submittals, pavilion schedule, lake study update
- Pilot restroom drawing submittals
- Childers holiday light removal

Stormwater

- Baron Drive
- Highland Creek Subdivision easements
- Masterplan development 2022
- North Lumpkin Street Alleyway Phase II
- North Madison Avenue

MyCivic Implementation

- Program completion, test schedule, public implementation

Solid Waste

- CIP items - commercial garbage truck, recycling truck, residential garbage truck, container delivery unit
- Dumpsters for pavilion
- Staffing shortages currently, sickness and hiring



To: Public Safety Committee, City Council
From: R. V. Watts, Chief of Police
Department: Police
Date: 01/11/2022
Subject: FLOCK Camera System

Budget Account/Project Name: 100-3200-542500

Funding Source: General Fund

Budget Allocation:	Equipment (capital)
---------------------------	------------------------

Budget Available:	\$90,000
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Requested Expense:	\$44,000
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Since 1821
 THE CITY OF
 Monroe
Company of Purchase: FLOCK Group Inc.

Description: *Flock Camera System*

Background: *16 Flock cameras will be placed in precise locations within city limits, primarily on the major thoroughfares that will scan license plates on vehicles that pass by them and run those license plates through GCIC/NCIC. The cameras will also allow patrol officers and detectives to investigate crimes that occur within the city limits. Every year after the first year's payment of \$44,000 there will be a \$40,000 charge every year for as long as the City has the Flock system.*



To: Public Safety Committee, City Council
From: R. V. Watts, Chief of Police
Department: Police
Date: 01/11/2022
Subject: Scrapped Police Vehicles

Budget Account/Project Name:

Funding Source: General Fund

Budget Allocation:

Budget Available:

Requested Expense:

\$

Company of Purchase:

Description: *Vehicles that have been involved in a wreck or unable to be repaired that are currently taking up space at the City Barn.*

Background:

Attachment(s): *See attached document in reference to list of vehicles needing to be sent to scrapyard.*

2022 Vehicle Scrap Yard List

To be approved by City Council:

- 1997 Ford F-150: 1FTDX17W8VNB69707
- 2006 Ford Explorer: 1FMEU62E76UB62842-(Tag #GV73266)
- 2006 Ford Explorer: 1FMEU62E06UB62844
- 2007 Ford Crown Vic: 2FAFP71W27X130476
- 2008 Ford Crown Vic: 2FAFP71V68X124043
- 2009 Dodge Charger: 2B3KA43T89H622634
- 2009 Dodge Charger: 2B3KA43T29H639820
- 2010 Dodge Charger: VIN: 2B3AA4CV0AH248392-(Tag: GV7420B)
- 2014 Dodge Ram Van: 2C4RRGAG7ER141873
- 2014 Dodge Charger: 2C3CDXAG3EH167871
- 2017 Dodge Charger: 2C3CDXKTXHH661032



To: Planning and Zoning / City Council
From: Patrick Kelley
Department: Planning, Zoning, Code and Development
Date: 09-13-2021

Description: PRELIMINARY PLAT CASE #: 157 The Pacific Group is requesting preliminary plat review in order to pursue development plans for submittal. **Parcel ID -** M0290008

Budget Account/Project Name: NA

Funding Source: 2021 NA

Budget Allocation: NA

Budget Available: NA

Requested Expense: \$NA **Company of Purchase:** NA

Recommendation: Staff recommends approval of this Preliminary Plat subject to the corrections listed below.

1. In the Development Summary, correct the proposed use to read "single-family residential". (7.2.4(f))
2. Remove "Bronte Lane" and the entrance to the development off Double Springs Church Road. Revise the Preliminary Plat to show an extension of Dickens Lane eastward through the lots shown as Lots 287 and 288 to a new entrance off Cedar Ridge Road. (7.2.4(i))
3. Revise the tables shown on sheets 5, 6, and 7 to include the lot number, total lot area, and lot dimensions for each residential lot in the development. (7.2.4(k))
4. Label all open space tracts. (7.2.4(l))

Background: the property is located at the Southwest corner of Double Springs Church Road and Cedar Ridge Road and is currently undeveloped R1 zoned property and consist of +/- 200.359 Acres.

Attachment(s): Application, preliminary plat, Staff report and supporting documents.



**Planning
City of Monroe, Georgia
PRELIMINARY PLAT REVIEW**

APPLICATION SUMMARY

PRELIMINARY PLAT CASE #: 157

DATE: September 10, 2021

STAFF REPORT BY: Brad Callender, City Planner

DEVELOPER: The Pacific Group

PROPERTY OWNER: The Rowell Family Partnership, LLLP & Jane Jay Still

DESIGN CONSULTANT: Greyden Engineering

LOCATION: Southwest corner of Double Springs Church Road and Cedar Ridge Road

ACREAGE: ±200.359

EXISTING ZONING: R-1 (Large Lot Residential District)

EXISTING LAND USE: Undeveloped

ACTION REQUESTED: The owner is requesting Preliminary Plat approval for a single-family detached residential subdivision.

STAFF RECOMMENDATION: Staff recommends approval of this Preliminary Plat subject to the corrections listed below.

DATE OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: September 21, 2021

CITY COUNCIL: October 12, 2021

PRELIMINARY PLAT REVIEW SUMMARY

The submitted Preliminary Plat requires the following corrections prior to signing the plat for approval. Due to the number and type of comments identified, additional corrections may be required upon submission of the revised Preliminary Plat.

1. In the Development Summary, correct the proposed use to read “single-family residential”. (7.2.4(f))
2. Remove “Bronte Lane” and the entrance to the development off Double Springs Church Road. Revise the Preliminary Plat to show an extension of Dickens Lane eastward through the lots shown as Lots 287 and 288 to a new entrance off Cedar Ridge Road. (7.2.4(i))
3. Revise the tables shown on sheets 5, 6, and 7 to include the lot number, total lot area, and lot dimensions for each residential lot in the development. (7.2.4(k))
4. Label all open space tracts. (7.2.4(l))

CITY OF MONROE

DEVELOPMENT PERMIT AND PRELIMINARY SUBDIVISION PLAT APPLICATION

Application fees: Preliminary Subdivision Plats - \$20 per lot Non-residential Projects – 50% of BP
NPDES fees: \$40/disturbed acre to EPD and \$40/disturbed acre to City of Monroe
Shall be paid prior to issuance of permit.

Three copies of the site development plans including erosion, sediment & pollution control plan and two copies of the stormwater management study or two copies of the preliminary subdivision plat. Also required on all developments...
Two copies of the hydraulic calculations with water line design must accompany all applications.

THIS FORM MUST BE COMPLETELY FILLED OUT.

Project Name RIVER POINTE

Project Location DOUBLE SPRINGS CHURCH RD

Proposed Use SUBDIVISION - SINGLE FAMILY Map/Parcel M0290008

Acreage 200.40 #S/D Lots 310 # Multifamily Units 0 # Bldgs 0

Water(provider) City of Monroe Sewer(provider) CITY OF MONROE

Property Owner The Rowell Family Partnership & Jane Jay Still Phone# 678-603-8267

Address P.O. Box 1378 City Monroe State GA Zip 30655

Developer The Pacific Group LLC Phone# 678-603-8267

Address 5755 Dupree Drive City ATLANTA State GA Zip 30327

Designer Greyden Engineering Phone# 678-910-7169

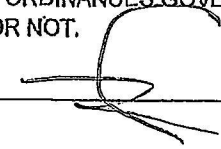
Address 12460 Crabapple Rd. Ste 202-374 City ALPHARETTA State GA Zip 30004

Site Contractor TBD Phone# _____

Address _____ City _____ State _____ Zip _____

The applicant shall be responsible from the date of the permit, or from the time of the beginning of the first work, whichever shall be the earlier, for all injury or damage of any kind resulting from this work, whether for basic services or additional services, to persons or property. The applicant shall exonerate, indemnify and save harmless the City from and against all claims or actions, and all expenses incidental to the defense (including death) to persons or property caused or sustained in connection with the performance of this permit or by conditions created thereby or arising out of or anyway connected with the work performed under the permit or for any and all claims for damages under the laws of the United States or of Georgia arising out of or in any way connected with the acquisition of and construction under the permit and shall assume and pay for, without cost to the City, the defense of any and all claims, litigation, and actions, suffered through any act or omission of the applicant or any subcontractor or anyone directly or indirectly employed under the supervision of any of them.

I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT.

SIGNATURE OF APPLICANT:  _____ DATE: 8/19/2021



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

MAJOR SUBDIVISION PERMIT

PERMIT #:	157	DESCRIPTION:	310 lots for River Pointe S/D
JOB ADDRESS:	Double Springs Ch Rd	LOT #:	
PARCEL ID:		BLK #:	
SUBDIVISION:		ZONING:	R1
ISSUED TO:	Greyden Engineering	CONTRACTOR:	Greyden Engineering
ADDRESS:	12460 Crabapple Rd	ADDRESS:	12460 Crabapple Rd
CITY, STATE ZIP:	Alphretta GA 30004	CITY, STATE ZIP:	Alphretta GA 30004
PHONE:		PHONE:	
PROP. USE:	Residential	DATE ISSUED:	8/24/2021
VALUATION:	\$ 0.00	EXPIRATION:	2/20/2022
SQ FT:	0.00	PERMIT STATUS:	O
OCCP TYPE:		# OF BEDROOMS	
CNST TYPE:		# OF BATHROOMS	
INSPECTION REQUESTS:	770-207-4674 dadkinson@monroega.gov	# OF OTHER ROOMS	

FEE CODE	DESCRIPTION	AMOUNT
PZ-05	PRELIMINARY PLAT REVIEW (PER LOT)	\$6,200.00
FEE TOTAL		\$ 6,200.00
PAYMENTS		\$-6,200.00
BALANCE		\$ 0.00

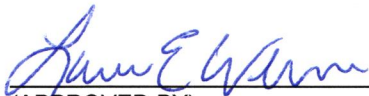
NOTES:

This application for 310 lots in the proposed River Pointe subdivision will be heard by the Planning and Zoning Commission on September 21, 2021 at 5:30pm and by City Council on October 12, 2021 at 6:00pm. Both meetings will be held at 215 N. Broad St Monroe, GA 30655

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



(APPROVED BY)

8/24/2021
DATE



215 North Broad Street
Monroe, GA 30655
Tel (770) 267-3429
Fax (770) 267-3698

Receipt Number: R00265891

31

Cashier Name: LAURA WILSON

Terminal Number: 34

Receipt Date: 8/24/2021 3:52:02 PM

Transaction Code: BP - Building Projects Payment

Name: Greyden Engineering \$6,200.00

Total Balance Due: \$6,200.00

Payment Method: Check Payn Reference: 0854/0860

Amount: \$6,200.00

Total Payment Received: \$6,200.00

Change: \$0.00



September 7, 2021

Mr. Brad Callender
City Planner
City of Monroe
215 N Broad Street
Monroe, Georgia 30655

Re: Proposed River Pointe Residential Subdivision
Traffic Study Review No. 1
K&W Project No. 211070

Dear Mr. Callender:

As requested, I have reviewed the Traffic Impact Study for the proposed River Pointe Residential Subdivision to be located along the south side of Double Springs Church Road and along the west side of Cedar Ridge Road. The study was prepared for Greyden Engineering, Inc by Mark R. Acampora, PE, LLC. My comments are as follows:

General:

1. Appendix B has a footer naming the methodology for the “Enclave at Monroe” subdivision. Is this for a different subdivision in Monroe, or has the name of this one changed? Same for the Synchro printouts in Appendix C.
2. GDOT Project S015009 along SR 11 is currently underway and should be detailed in Programmed Improvements Section along with PI0015576 along SR 138 which was mentioned in the report with no detail.
3. On page 9, the new ramp from GA 138 is on to westbound US 78, not US 29.
4. Show figure of volumes modeled for 2026 Background No-Build scenario to aid in understanding proposed volume growth and volume shifts due to other projects.
5. Remove the access point on Double Springs Church Road closest to Cedar Ridge Road.
6. Show 95th percentile queue length table for all intersections and approaches necessary for the Existing, No Build and Build scenarios.

Intersections:

7. Recommend studying the intersection of US 78 at Cedar Ridge Road as part of traffic study and adjusting trip distribution based on potential for traffic to utilize Cedar Ridge Road.

Volumes:

8. No 24-hour volume count was completed along SR 11 near the existing Georgia Department of Transportation Count station north of SR 138 in order to complete the COVID volume check now required by GDOT and recommended statewide.
9. Historical traffic counts from GDOT count stations to develop growth rate should be verified. 15 years of data should be utilized in developing growth rates based on standards for exponential regression methods. GDOT standard growth rate methodology should be applied to calculating this growth rate and methodology used for this calculation needs to be shown in the report or the appendix. Not applying any growth to the State Route traffic is not feasible for the 2026 background volumes. Standard growth rate of 2% minimum should be applied to those volumes.

Modeling:

- 10. Verify that existing signal timings (including clearances) for the SR 11 at SR 138 traffic signal were utilized for the existing conditions operational analysis. Detail methodology for analyzing Double Springs Church Road as signalized for the AM Peak, i.e. assumed cycle length, splits, clearances, etc.
- 11. Operational Analysis was completed in Synchro 10, which has known issues with modeling unsignalized intersections. Recommend modeling in the latest Synchro version (Synchro 11 with new software patch) or modeling unsignalized intersections in HCS software.
- 12. 2026 Background No-Build models should be updated with adjusted volumes per previous comments.

Mitigation:

- 13. SR 11 at Friendship Church Road – an eastbound right turn lane should be looked at as mitigation for the LOS E/F on the side street at this intersection.
- 14. Double Springs Church Road at Drake Road – 2026 volumes without project show an acceptable level of service. 2026 with project take that acceptable level of service and degrade it to LOS E for northbound and southbound approaches. The developer should analyze and propose mitigation for this impact to the intersection. Sidra or GDOT Roundabout Analysis Tool should be utilized in assessing operations for the potential roundabout.
- 15. SR 138 at Drake Drive – Developer should complete signal warrant analysis and GDOT’s Intersection Control Evaluation process to determine needed mitigation for the intersection.

I have retained one copy of the study provided for review in the event there are questions. The developer should be made aware that this review does not constitute a waiver of City Ordinance requirements or assumption of responsibility for full review of City Ordinance requirements. Deviations from Ordinance requirements may be noted at any time during the review, permitting or construction processes. Re-submittals should include a narrative indicating how and where the review comments were addressed.

Sincerely,
KECK & WOOD, INC.



Rob Jacquette, PE, PTOE
Vice President

CC: Sam Serio, PE (Keck+Wood)

Project Traffic Characteristics

This section describes the anticipated traffic characteristics of the proposed residential subdivision, including a site description, how much traffic the project will generate, and where that traffic will travel.

Project Description

The proposed development consists of 310 single family houses. One full movement access will be provided on the west side of Cedar Ridge Road and two full movement accesses will be provided on the south side of Double Springs Church Road. The site plan is presented in Figure 4.

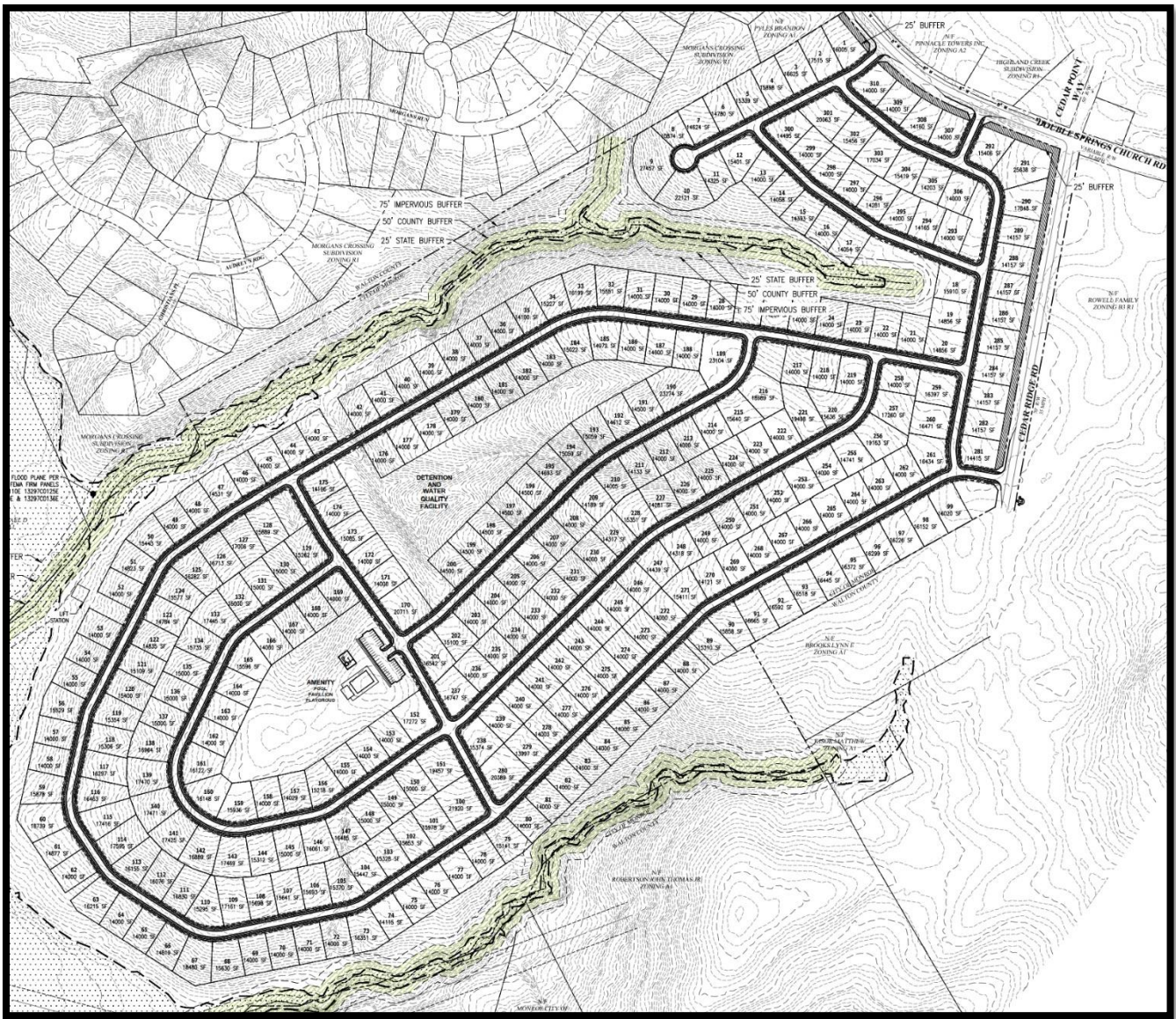


Figure 4 – Site Plan

Trip Generation

Trip generation is an estimate of the number of entering and exiting vehicular trips that will be generated by the proposed development. The volume of traffic that will be generated by the proposed subdivision was calculated using the equations in the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 10th Edition with Supplement* (the current edition). The trip generation for the subdivision used ITE Land Use 210 – Single-Family Detached Housing. The trip generation for the project is presented in Table 4.

Table 4 – Proposed River Pointe Subdivision Trip Generation

Land Use	ITE Code	Size	A.M. Peak Hour			P.M. Peak Hour			24-Hour		
			In	Out	Total	In	Out	Total	In	Out	Total
Single-Family Housing	210	310 houses	56	169	225	190	111	301	1,472	1,472	2,944

The proposed subdivision will generate 225 new trips in the a.m. peak hour, 301 new trips in the p.m. peak hour, and 2,944 new daily trips.

Trip Distribution and Assignment

The trip distribution percentages indicate what proportion of the project’s trips will travel to and from various directions. The trip distribution percentages for the residential development were developed based on the locations and proximity of likely trip origins and destinations, such as employment centers, retail and offices, and schools in the area. The new project trips, shown in Table 4, were assigned to the roadway network based on the distribution percentages. The trip distribution percentages and the a.m. and p.m. peak hour trips expected to be generated by the proposed subdivision are shown in Figure 5.

Future Traffic Conditions

The future build volumes consist of the no-build volumes plus the trips that will be generated by the proposed subdivision. The future volumes are shown in Figure 6.

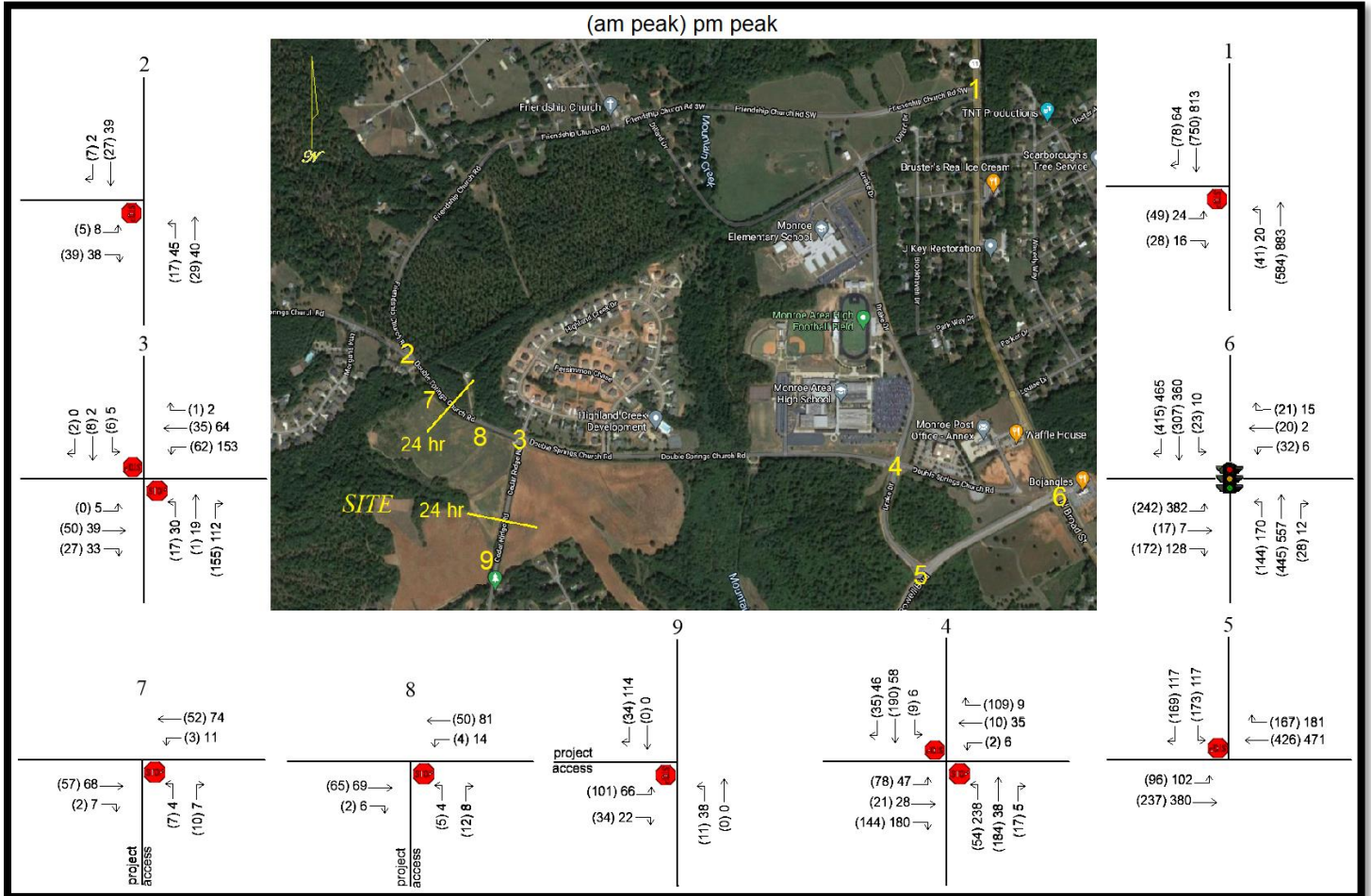


Figure 6 – Future Weekday A.M. and P.M. Peak Hour Volumes

Auxiliary Lanes at Project Accesses

The layout of the site will make the project access on Cedar Ridge Road function as the main access, and the higher volumes will enter and exit at that location. It is recommended that a southbound right turn lane be built on Cedar Ridge Road to serve this access. A northbound left turn lane is not considered essential due to the moderate through volumes on Cedar Ridge Road. Based on the exiting volumes, it is recommended that separate left and right turn lanes be built exiting the project here, with at least one inbound lane. The exiting approach should be controlled by side street stop sign and accompanying stop bar.

The project accesses on Double Springs Church Road will see more moderate volumes and, therefore, exclusive left and right turn lanes are not necessary for acceptable operations. These accesses should each be built with one entering and one exiting lane and the exiting approaches should be controlled by side street stop sign and accompanying stop bar.

Future Intersection Operations

An operational analysis was performed for the anticipated future project build-out, at the study intersections. Table 5 presents the results of the future analysis. Computer printouts containing detailed results of the future analysis are located in Appendix E. Levels of service and delays are provided for the overall intersection and for each controlled approach or movement. Locations that operate unacceptably (LOS E or LOS F) are presented in bold type.

Table 5 – Future Intersection Operations

Intersection / Approach	A.M. Peak Hour		P.M. Peak Hour	
	LOS	Delay (s/veh)	LOS	Delay (s/veh)
1. GA 11 at Friendship Church Rd	A	9.6	A	1.8
northbound left turn	B	10.1	A	10.0
eastbound approach	F	119.7	F	63.2
2. Dbl Springs Church Rd at Friendship Church Rd	A	4.7	A	4.4
northbound left turn	A	7.4	A	7.5
eastbound approach	A	9.0	A	9.1
3. Dbl Springs Church Rd at Cedar Ridge Rd / Cedar Pt Way	A	6.6	A	7.7
northbound approach	B	10.3	B	13.2
southbound approach	B	12.8	C	17.5
eastbound left turn	A	7.3	A	7.4
westbound left turn	A	7.6	A	7.8
4. Dbl Springs Church Rd at Drake Dr	D*	52.5	B	11.0
northbound left/through	E	58.1	C	22.4
northbound right turn	E	58.1	A	8.5
southbound left/through	E	65.2	B	14.5
southbound right turn	E	65.2	A	9.0
eastbound left turn	D	37.2	A	7.6
westbound left turn	D	40.9	A	7.8
5. GA 138 at Drake Dr	A	9.0	A	6.6
southbound left turn	E	48.4	F	51.9
southbound right turn	B	13.8	B	13.4
eastbound left turn	A	9.5	A	9.7
6. GA 11 at GA 138 / Bojangles Access	B	18.4	C	24.9
northbound approach	B	10.6	B	15.9
southbound approach	C	24.7	D	35.0
eastbound approach	B	19.3	C	22.6
westbound approach	B	16.7	B	15.2
7. Dbl Springs Church Rd at Project West Access	A	2.4	A	2.2
northbound approach (exiting project)	A	9.1	A	9.3
westbound left turn (entering project)	A	7.4	A	7.4
8. Dbl Springs Church Rd at Project East Access	A	2.4	A	2.2
northbound approach (exiting project)	A	9.1	A	9.3
westbound left turn (entering project)	A	7.4	A	7.4
9. Cedar Ridge Rd at Project Access	A	4.5	A	3.0
northbound left turn (entering project)	A	7.5	A	7.8
eastbound left turn (exiting project)	B	10.6	B	11.4
eastbound right turn (exiting project)	A	8.9	A	8.8

*intersection controlled by police and modeled as signal control in the a.m. peak

The future analysis reveals operations comparable to the no-build condition at most locations. However, there will be some deterioration at a few key locations:

At the GA 11 / Friendship Church intersection, the side street approach will drop to LOS F in the p.m. (it dropped to LOS F in the a.m. in the no-build). The volumes will continue to be unlikely sufficient to satisfy any volume-based warrants for signalization. No mitigation is identified here.

The delays at the Double Springs Church / Drake intersection are present in the morning peak due to a convergence of normal heavy morning traffic, coupled with the heavy school arrival / drop off traffic. This peaking is very acute and a police officer controls this intersection in the morning. A change in control here merits consideration. Options that would operate well include 1) changing the side street stop control to the Double Springs Church Road approaches and allowing the northbound and southbound approaches to be uncontrolled, 2) changing the control to an all-way stop, or 3) installing a roundabout. It is recommended that these options be investigated further by the City.

The side street delays on Drake at GA 138 will increase and by the future condition, this intersection merits consideration for signalization. In order to pursue signalization, a signal warrant analysis would be required to evaluate the criteria for signalization set forth in the Federal Highway Administration's *Manual on Uniform Traffic Control Devices* (MUTCD). These are the standards required by the Georgia DOT for signalization on state routes.

The two other study intersections and all project accesses are expected to operate well in the future condition. No mitigation is recommended at these locations other than the lane configuration and control recommended, above, for each access.

Conclusions and Recommendations

This study assesses the traffic impact of a proposed residential subdivision in the City of Monroe, Walton County, Georgia. The site is located along the south side of Double Springs Church Road and the west side of Cedar Ridge Road, with one proposed access on Cedar Ridge Road and two proposed accesses on Double Springs Church Road. The site will be developed with 310 single-family homes. The following are the findings and recommendations of this study:

1. The existing analysis reveals generally acceptable traffic operations at the study intersections. Two locations experience high delays, the eastbound approach from Friendship Church Road at GA 11 and the southbound left turn from Drake Drive at GA 138. Both intersections are considered a weak candidates for signalization at the present time. Therefore, no mitigation is identified for the existing condition.
2. Traffic volume growth trends in this area have been flat on the state routes and positive and moderate on the local roads, and this is expected to continue into the future.
3. A programmed infrastructure project that will effect traffic patterns and volumes in this area is the construction of a new ramp from southbound GA 138 to westbound US 78. This ramp will increase the westbound through volume on GA 138, which will tend to increase delays at the GA 138 / Drake intersection. However, these delays will be generally offset by the shift in volumes from the more-challenging southbound left turn to the easier right turn from Drake.
4. No-build operations at the study intersections will be comparable to the existing. Therefore, no mitigation is identified for the no-build condition.
5. The proposed subdivision will generate 225 new trips in the a.m. peak hour, 301 new trips in the p.m. peak hour, and 2,944 new daily trips.
6. The future analysis reveals operations comparable to the no-build condition at most locations.
 - a. At the GA 11 / Friendship Church intersection, the side street approach will drop to LOS F in the p.m. (it dropped to LOS F in the a.m. in the no-build). The volumes will continue to be unlikely sufficient to satisfy any volume-based warrants for signalization. No mitigation is identified here.
 - b. At the Double Springs Church / Drake intersection, a change in control merits consideration. Options that would operate well include 1) changing the side street stop control to the Double Springs Church Road approaches and allowing the northbound and southbound approaches to be uncontrolled, 2) changing the control to an all-way stop, or 3) installing a roundabout. It is recommended that these options be investigated further by the City.
 - c. The GA 138 / Drake intersection merits consideration for signalization by the future condition. A signal warrant analysis would be required to determine if and when signalization is appropriate.

- d. The two other study intersections and all project accesses are expected to operate well in the future condition. No mitigation is recommended at these locations other than the lane configuration and control recommended for each access.
7. The project access on Cedar Ridge Road will function as the main access, and the higher volumes will enter and exit at that location. It is recommended that a southbound right turn lane be built on Cedar Ridge Road to serve this access. A northbound left turn lane is not considered essential due to the moderate through volumes on Cedar Ridge Road. Based on the exiting volumes, it is recommended that separate left and right turn lanes be built exiting the project here, with at least one inbound lane. The exiting approach should be controlled by side street stop sign and accompanying stop bar.
8. The project accesses on Double Springs Church Road will see more moderate volumes and, therefore, exclusive left and right turn lanes are not necessary for acceptable operations. The accesses should each be built with one entering and one exiting lane and the exiting approaches should be controlled by side street stop sign and accompanying stop bar.
9. The project civil engineer should comply with applicable access design standards including sight distances, driveway spacing, turn lane storage and taper lengths, turn radii, roadway widths, and grades.

August 19th, 2021

Brad Callener
City Planner
City of Monroe
215 N Broad Street
Monroe, GA 30655

River Pointe Impact Study

This data was gathered to present the impacts of a proposed 310 lot subdivision located in the City of Monroe. The subdivision will be located at the SW quadrant of the intersection of Double Springs Church Road and Cedar Ridge Road.

Project Information:

Subdivision Name: River Pointe
Zoning: R1
Proposed Lots: 310

Water Usage:

Rate: 400 GPD/Unit (EPD standard)
Usage: $400 \times 310 = 124,000 \text{ GPD} = 0.124 \text{ MGD}$

Waste Water Disposal:

Rate: 400 GPD/Unit (EPD standard)
Usage: $400 \times 310 = 124,000 \text{ GPD} = 0.124 \text{ MGD}$

School Student Impact:

Rate: 0.725 students per household (Metro Atlanta Standard)
Generation: $0.725 \times 310 = 225 \text{ students}$

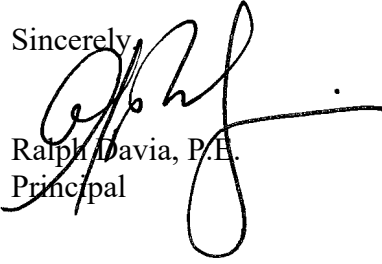
Solid Waste Disposal:

Rate: 20 lbs/unit per day (EPD Standard)
Generation: $20 \times 310 = 6,200 \text{ lbs/day}$ or 1132 ton/year

Traffic Study: See attached

Please do not hesitate to call me at 770-355-8070 should you require any additional information.

Sincerely,


Ralph Davia, P.E.
Principal

DEVELOPMENT SUMMARY

PROPOSED NAME: RIVER POINTE
 LAND LOTS: 7, 8, 27 & 28
 LAND DISTRICT: 3RD
 PROPOSED USE: SINGLE FINALLY RESIDENTIAL
 EXISTING ZONING: R1
 PROPOSED ZONING: UNCHANGED
 TOTAL AREA: 200.04 ACRES
 PROPOSED LOTS: 310
 DENSITY: 310 UNITS/200.40 ACRE
 1.55 UPA
 REQUIRED OPEN SPACE: 15% OR 30.01 AC
 PROPOSED OPEN SPACE: 28% OR 28.50 AC

PROPOSED STREET WIDTH = 28' BOC-BOC

PROPOSED ROW WIDTH = 50'

SETBACKS: FRONT = 30'
 SIDE = 10'
 REAR = 25'

MIN LOT AREA: 14,000 SF
 MIN LOT WIDTH: 100' AT BUILDING LINE
 MIN LOT FRONTAGE: 75'

OWNER: THE ROWELL FAMILY PARTNERSHIP & JANE JAY STILL
 ADDRESS: P.O. BOX 1378, MONROE, GA 30655
 TELEPHONE: (770) 3186153

DEVELOPER: THE PACIFIC GROUP
 ADDRESS: 5755 DUPREE DRIVE, ATLANTA, GA 30327
 TELEPHONE: (678) 603-8267

ENGINEER: GREYDEN ENGINEERING
 ADDRESS: 12460 CRABAPPLE ROAD, STE 202-374, ALPHARETTA, GA 30004
 TELEPHONE: (770) 573-4801

UTILITIES STATEMENT:
 WATER: SUBDIVISION WILL CONNECT TO CITY OF MONROE WATER MAINS LOCATED ALONG DOUBLE SPRING CHURCH ROAD AND CEDAR RIDGE RD. 8" DUCTILE WILL BE USED THROUGH OUT THE SUBDIVISION. SUBDIVISION WILL GRAVITY FEED TO A CENTRALIZED LIFT STATION AND THEN PUMP VIA 6IN FORCE MAIN TO THE NEAREST CITY OF MONROE SYSTEM MANHOLE AS PER DISCUSSIONS WITH CITY OF MONROE UTILITIES.

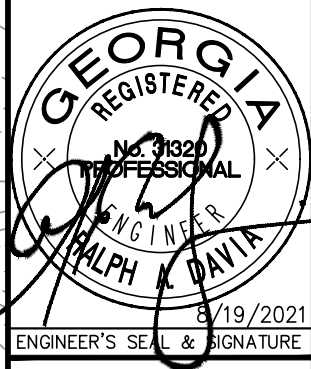
SEWER: SUBDIVISION WILL GRAVITY FEED TO A CENTRALIZED LIFT STATION AND THEN PUMP VIA 6IN FORCE MAIN TO THE NEAREST CITY OF MONROE SYSTEM MANHOLE AS PER DISCUSSIONS WITH CITY OF MONROE UTILITIES.

HYDROLOGY STATEMENT
 DUE TO TIMING OF BASIN PEAKS, NO DETENTION IS PROPOSED FOR THIS DEVELOPMENT. WATER QUALITY WILL BE PROVIDED VIA INFILTRATION WITHIN THE LOW LYING FLOODPLAIN AREAS. WE WILL ALSO UTILIZE A TREATMENT TRAIN OF PROPRIETARY BMPs AND ENHANCED SWALES. STORM WATER WILL BE DESIGNED IN ACCORDANCE WITH THE GEORGIA STORMWATER MANAGEMENT MANUAL AND THE CITY OF MONROE DEVELOPMENT STANDARDS.

REVISIONS	DATE	DESCRIPTION
45	8/2/2022	PRELIMINARY PLAT SUBMITTAL
44	8/19/2021	PRELIMINARY PLAT SUBMITTAL #2

CLIENT: **THE PACIFIC GROUP INC.**
 5755 DUPREE DR., NW #130, ATLANTA, GA 30327 678.603.8267
 24 HOUR EMERGENCY CONTACT: RICHARD COOPER 678.603.8267

ENGINEER: **GREYDEN ENGINEERING**
 12460 CRABAPPLE ROAD, STE 202-374, ALPHARETTA, GA 30004
 PH: 770-573-4801 FAX: 678-302-6362



OVERALL SITE PLAN FOR RIVER POINTE PRELIMINARY PLAT
 LOCATED IN LAND LOTS 7, 8, 27 & 28, 3RD DISTRICT, 2ND SECTION, CITY OF MONROE, WALTON COUNTY, GEORGIA

DATE	7/26/21
JOB NO.	21-028
DRAWN	RAD
CHECKED	RAD
SCALE	AS NOTED
SHEET:	PP-1

AUTHORIZATION STATEMENT
 I HEREBY SUBMIT THIS PRELIMINARY PLAT AS AUTHORIZED AGENT/OWNER OF ALL PROPERTY SHOWN THEREON, AND CERTIFY THAT ALL CONTIGUOUS PROPERTY UNDER MY OWNERSHIP OR CONTROL IS INCLUDED WITHIN THE BOUNDARY OF THIS PRELIMINARY PLAT, AS REQUIRED BY THE DEVELOPMENT REGULATIONS.

SIGNATURE OF AUTHORIZED AGENT/OWNER: _____ DATE: 8/19/2021

CERTIFICATION OF APPROVAL BY THE CODE ENFORCEMENT OFFICE
 THIS PRELIMINARY PLAT HAS BEEN REVIEWED AND APPROVED FOR GENERAL COMPLIANCE WITH THE ZONING ORDINANCE AND DEVELOPMENT REGULATION OF THE CITY OF MONROE.

CODE ENFORCEMENT OFFICER: _____ DATE: _____

CERTIFICATE OF APPROVAL BY PLANNING COMMISSION
 THE PRELIMINARY PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS OF THE CITY OF MONROE AND IS HEREBY GIVEN PRELIMINARY APPROVAL BY THE CITY OF MONROE PLANNING COMMISSION. THIS PRELIMINARY APPROVAL DOES NOT CONSTITUTE APPROVAL OF A FINAL PLAT. THIS CERTIFICATE OF APPROVAL SHALL EXPIRE AND BE NULL AND VOID ONE (1) YEAR FROM THE DATE OF THIS CERTIFICATE OF APPROVAL.

DATED THIS ____ DAY OF _____, 20__
 BY: _____ CHAIRMAN
 BY: _____ SECRETARY

CERTIFICATE OF APPROVAL BY MONROE WATER & GAS DEPARTMENT
 THE LOTS SHOWN HEREON AND PLANS FOR WATER AND SEWAGE COLLECTION AND DISPOSAL HAVE BEEN REVIEWED AND APPROVED BY THE CITY OF MONROE WATER & GAS DEPARTMENT, AND WITH THE EXCEPTION OF LOTS ARE APPROVED FOR DEVELOPMENT.

DATED THIS ____ DAY OF _____, 20__
 BY: _____
 TITLE: _____

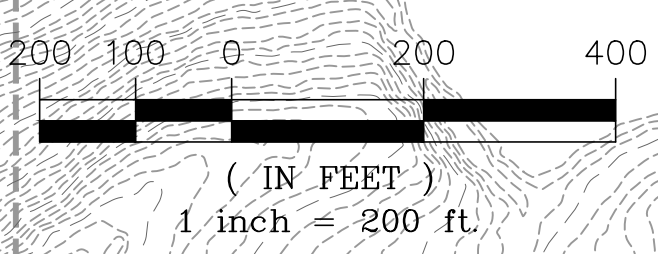
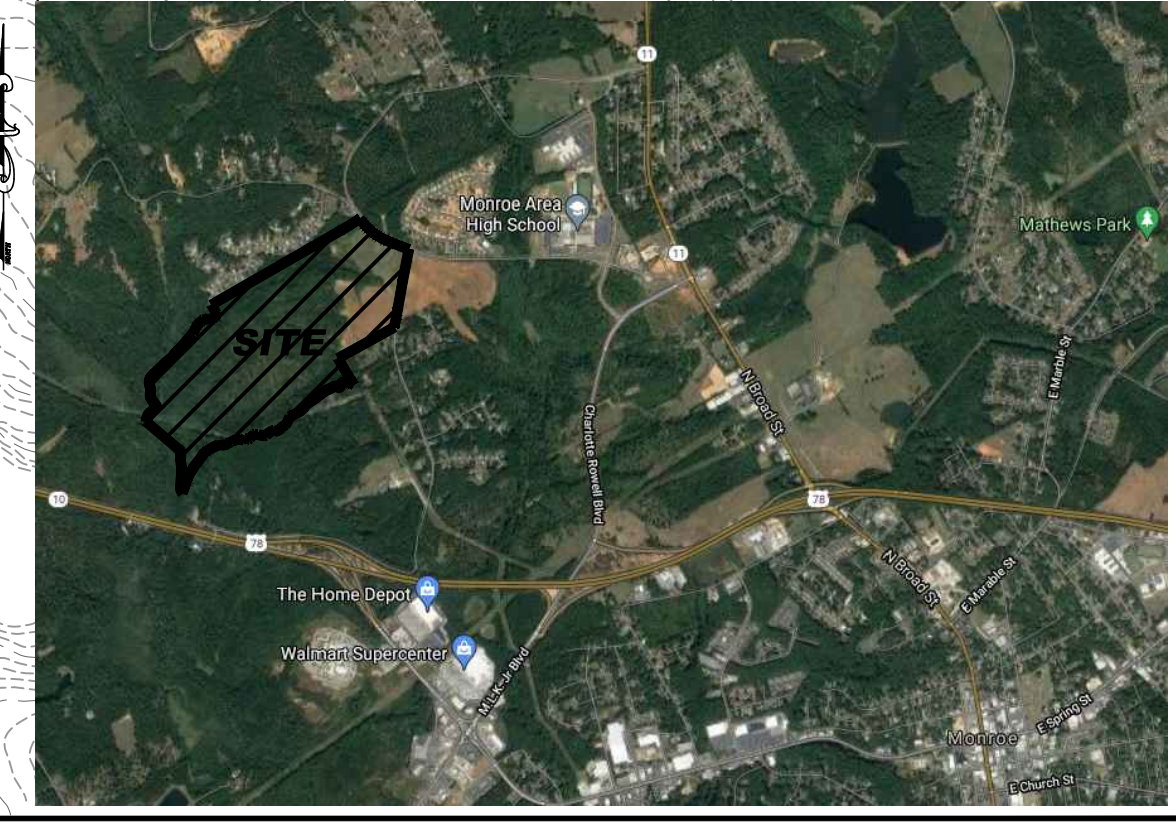
CERTIFICATE OF APPROVAL BY MAYOR AND COUNCIL
 THE PRELIMINARY PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS OF THE CITY OF MONROE AND IS HEREBY GIVEN PRELIMINARY APPROVAL BY THE CITY OF MONROE MAYOR AND COUNCIL. THIS PRELIMINARY APPROVAL DOES NOT CONSTITUTE APPROVAL OF A FINAL PLAT. THIS CERTIFICATE OF APPROVAL SHALL EXPIRE AND BE NULL AND VOID ONE (1) YEAR FROM THE DATE OF THIS CERTIFICATE OF APPROVAL.

DATED THIS ____ DAY OF _____, 20__
 BY: _____ MAYOR
 BY: _____ CITY CLERK



- UNDISTURBED BUFFER
- ZONE A FLOOD PLAIN
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- WETLAND AREAS

VICINITY MAP
 N.T.S.



DEVELOPMENT SUMMARY

PROPOSED NAME: RIVER POINTE
 LAND LOTS: 7, 8, 27 & 28
 LAND DISTRICT: 3RD
 PROPOSED USE: SINGLE FINALLY RESIDENTIAL
 EXISTING ZONING: R1
 PROPOSED ZONING: UNCHANGED
 TOTAL AREA: 200.04 ACRES
 PROPOSED LOTS: 310
 DENSITY: 310 UNITS/200.04 ACRE
 1.55 UPA
 REQUIRED OPEN SPACE= 15% OR 30.01 AC
 PROPOSED OPEN SPACE= 28% OR 28.50 AC

PROPOSED STREET WIDTH = 28' BOC-BOC
 PROPOSED ROW WIDTH = 50'
 SETBACKS: FRONT = 30'
 SIDE = 10'
 REAR = 25'
 MIN LOT AREA: 14,000 SF
 MIN LOT WIDTH: 100' AT BUILDING LINE
 MIN LOT FRONTAGE: 75'

OWNER: THE ROWELL FAMILY PARTNERSHIP & JANE JAY STILL
 ADDRESS: P.O. BOX 1378, MONROE, GA 30655
 TELEPHONE: (770) 3186153

DEVELOPER: THE PACIFIC GROUP
 ADDRESS: 5755 DUPREE DRIVE, ATLANTA, GA 30327
 TELEPHONE: (678) 603-8267

ENGINEER: GREYDEN ENGINEERING
 ADDRESS: 12460 CRABAPPLE ROAD, STE 202-374, ALPHARETTA, GA 30004
 TELEPHONE: (770) 573-4801

UTILITIES STATEMENT:
 WATER: SUBDIVISION WILL CONNECT TO CITY OF MONROE WATER MAINS LOCATED ALONG DOUBLE SPRING CHURCH ROAD AND CEDAR RIDGE RD. 8" DUCTILE WILL BE USED THROUGH OUT THE SUBDIVISION. SUBDIVISION WILL GRAVITY FEED TO A CENTRALIZED LIFT STATION AND THEN PUMP VIA 6IN FORCE MAIN TO THE NEAREST CITY OF MONROE SYSTEM MANHOLE AS PER DISCUSSIONS WITH CITY OF MONROE UTILITIES.

SEWER:

UNDISTURBED BUFFER

ZONE A FLOOD PLAIN

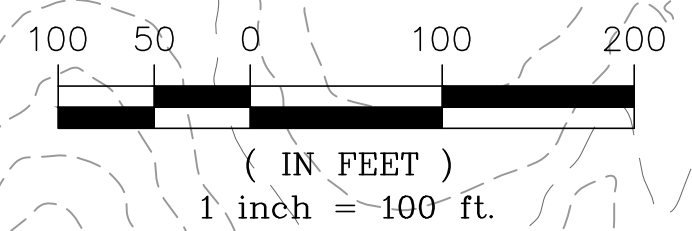
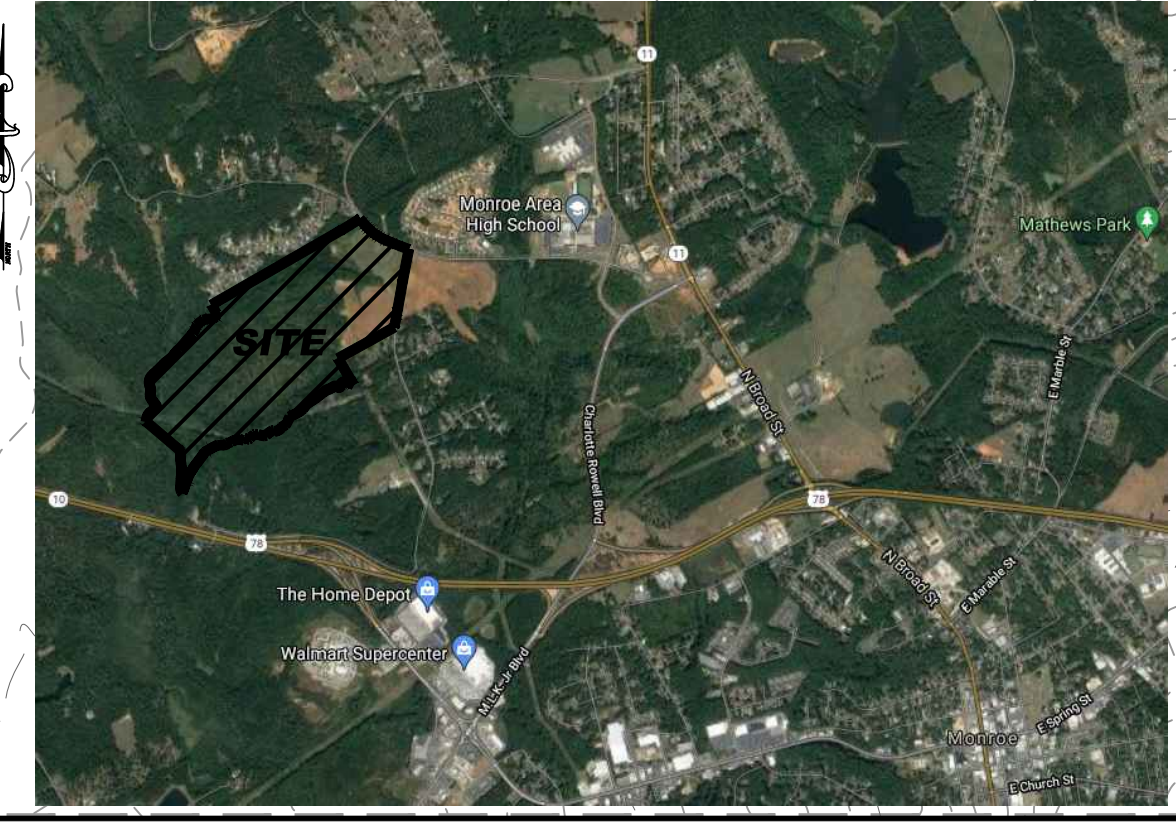
DRAINAGE EASEMENT

SANITARY SEWER EASEMENT

WETLAND AREAS

ZONE A FLOOD PLANE PER FEMA FIRM PANELS 13297C0110E 13297C0125E 13297C130E & 13297C0136E

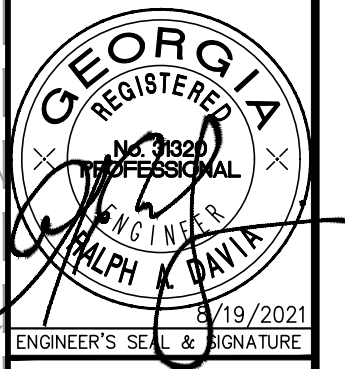
HYDROLOGY STATEMENT
 DUE TO TIMING OF BASIN PEAKS, NO DETENTION IS PROPOSED FOR THIS DEVELOPMENT. WATER QUALITY WILL BE PROVIDED VIA INFILTRATION WITHIN THE LOW LYING FLOODPLAIN AREAS. WE WILL ALSO UTILIZE A TREATMENT TRAIN OF PROPRIETARY BMPs AND AND ENHANCED SWALES. STORM WATER WILL BE DESIGNED IN ACCORDANCE WITH THE GEORGIA STORMWATER MANAGEMENT MANUAL AND THE CITY OF MONROE DEVELOPMENT STANDARDS.



REVISIONS	DATE	DESCRIPTION
46	8/2/2021	PRELIMINARY PLAT SUBMITTAL
45	6/19/2021	PRELIMINARY PLAT SUBMITTAL

CLIENT: **THE PACIFIC GROUP INC.**
 5755 DUPREE DR., NW #130, ATLANTA, GA 30327 678.603.8267
 24 HOUR EMERGENCY CONTACT: RICHARD COOPER 678.603.8267

ENGINEER: **GREYDEN ENGINEERING**
 12460 CRABAPPLE ROAD, STE 202-374 ALPHARETTA, GA 30004
 PH: 770-573-4801 FAX: 678-302-6362



SITE PLAN FOR RIVER POINTE PRELIMINARY PLAT
 LOCATED IN LAND LOTS 7, 8, 27 & 28, 3RD DISTRICT, 2ND SECTION CITY OF MONROE, WALTON COUNTY, GEORGIA

DATE	7/26/21
JOB NO.	21-028
DRAWN	RAD
CHECKED	RAD
SCALE	AS NOTED
SHEET:	PP-2

DEVELOPMENT SUMMARY

PROPOSED NAME: RIVER POINT
 LAND LOTS: 7, 8, 27 & 28
 LAND DISTRICT: 36D
 PROPOSED USE: SINGLE FINALLY RESIDENTIAL
 EXISTING ZONING: R1
 PROPOSED ZONING: UNCHANGED
 TOTAL AREA = 200.04 ACRES
 PROPOSED LOTS = 310
 DENSITY: 310 UNITS/200.04 ACRE
 1.55 UPA
 REQUIRED OPEN SPACE = 15% OR 30.01 AC
 PROPOSED OPEN SPACE = 28% OR 28.50 AC
 PROPOSED STREET WIDTH = 28' BOC-BOC
 PROPOSED ROW WIDTH = 50'
 SETBACKS: FRONT = 30'
 SIDE = 10'
 REAR = 25'
 MIN LOT AREA: 14,000 SF
 MIN LOT WIDTH: 100' AT BUILDING LINE
 MIN LOT FRONTAGE: 75'

OWNER: THE ROWELL FAMILY PARTNERSHIP & JANE JAY STILL
 ADDRESS: P.O. BOX 1378, MONROE GA 30655
 TELEPHONE: (770) 3186153

DEVELOPER: THE PACIFIC GROUP
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ENGINEER: GREYDEN ENGINEERING
 ADDRESS: 12460 CRABAPPLE ROAD, STE 202-374, APLHARETTA, GA 30004
 TELEPHONE: (770) 573-4801

UTILITIES STATEMENT:
 WATER: SUBDIVISION WILL CONNECT TO CITY OF MONROE WATER MAINS LOCATED ALONG DOUBLE SPRING CHURCH ROAD AND CEDAR RIDGE RD. 8" DUCTILE WILL BE USED THROUGH OUT THE SUBDIVISION. SUBDIVISION WILL GRAVITY FEED TO A CENTRALIZED LIFT STATION AND THEN PUMP VIA GIN FORCE MAIN TO THE NEAREST CITY OF MONROE SYSTEM MANHOLE AS PER DISCUSSIONS WITH CITY OF MONROE UTILITIES.

SEWER: 75' IMPERVIOUS SETBACK
 50' CITY UNDIST BUFFER
 25' STATE UNDIST BUFFER

ZONE A FLOOD PLANE PER FEMA FIRM PANELS 13297C0110E 13297C0125E 13297C130E & 13297C0136E

LEGEND

- UNDISTURBED BUFFER
- ZONE A FLOOD PLAIN
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- WETLAND AREAS

N/F HAWKS MICHAEL/D ZONING A1

PP-3 MATCH LINE

PP-1 MATCH LINE

PP-3 MATCH LINE

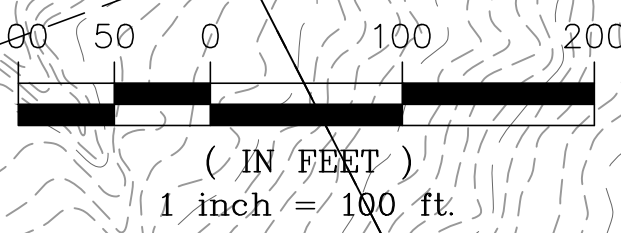
AMENITY POOL
 PAVILLION
 PLAYGROUND
 MAIL KIOSK LOCATION

STORM WATER MANAGEMENT FACILITY

ZONE A FLOOD PLANE PER FEMA FIRM PANELS 13297C0110E 13297C0125E 13297C130E & 13297C0136E

HYDROLOGY STATEMENT
 DUE TO TIMING OF BASIN PEAKS, NO DETENTION IS PROPOSED FOR THIS DEVELOPMENT. WATER QUALITY WILL BE PROVIDED VIA INFILTRATION WITHIN THE LOW LYING FLOODPLAIN AREAS. WE WILL ALSO UTILIZE A TREATMENT TRAIN OF PROPRIETARY BMS AND ENHANCED SWALES. STORM WATER WILL BE DESIGNED IN ACCORDANCE WITH THE GEORGIA STORMWATER MANAGEMENT MANUAL AND THE CITY OF MONROE DEVELOPMENT STANDARDS.

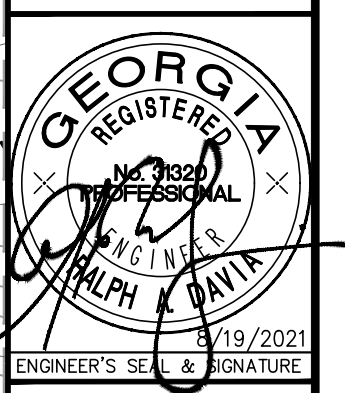
VICINITY MAP
 N.T.S.



REVISIONS	DATE	DESCRIPTION
1	8/2/2021	PRELIMINARY PLAT SUBMITTAL
2	8/19/2021	PRELIMINARY PLAT SUBMITTAL

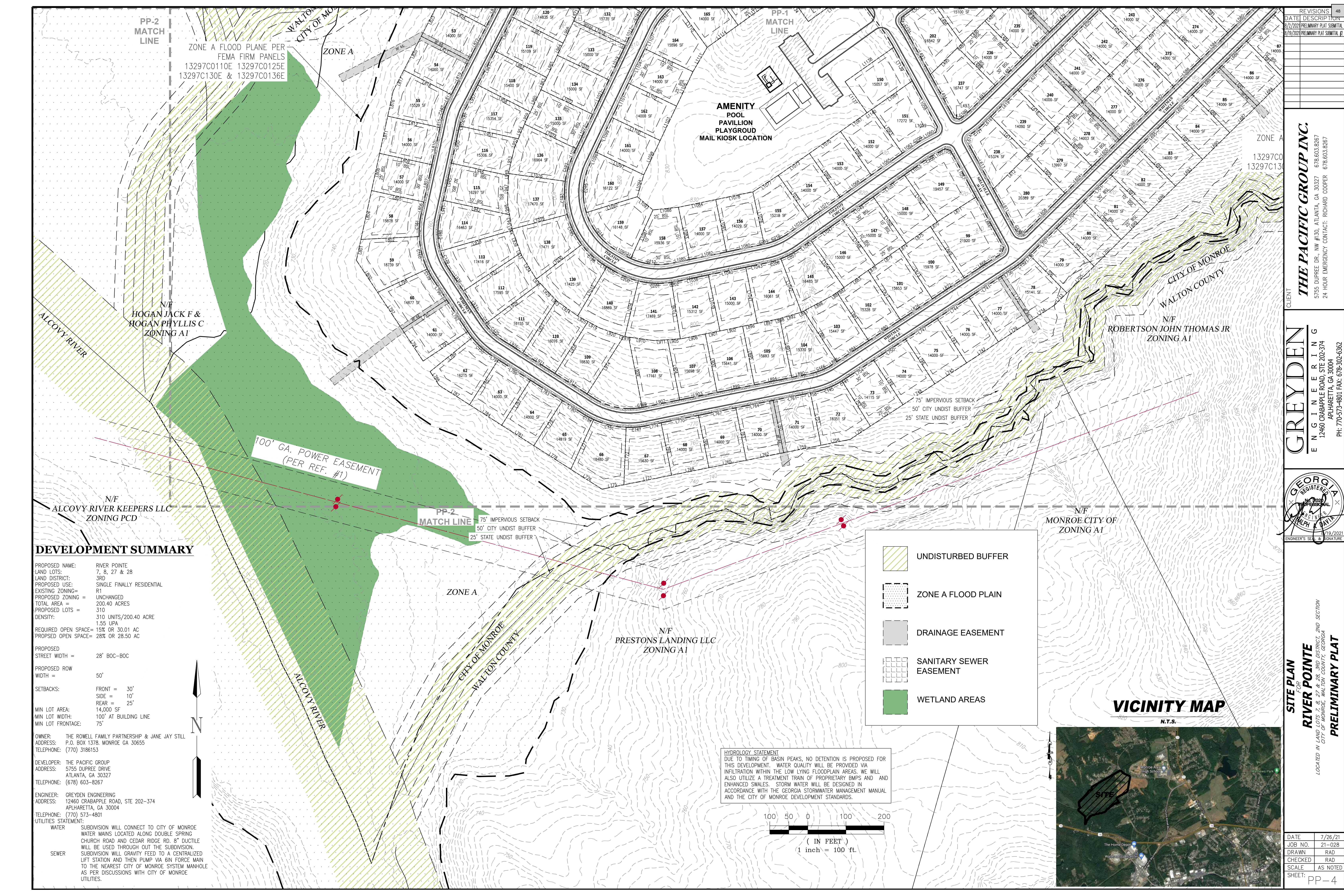
CLIENT: **THE PACIFIC GROUP INC.**
 5755 DUPREE DR., NW #130, ATLANTA, GA 30327 678.603.8267
 24 HOUR EMERGENCY CONTACT: RICHARD COOPER 678.603.8267

ENGINEER: **GREYDEN ENGINEERING**
 12460 CRABAPPLE ROAD, STE 202-374, APLHARETTA, GA 30004
 PH: 770-573-4801 FAX: 678-302-6362



SITE PLAN FOR RIVER POINT PRELIMINARY PLAT
 LOCATED IN LAND LOTS 7, 8, 27 & 28, 3RD DISTRICT, 2ND SECTION, CITY OF MONROE, WALTON COUNTY, GEORGIA

DATE	7/26/21
JOB NO.	21-028
DRAWN	RAD
CHECKED	RAD
SCALE	AS NOTED
SHEET:	PP-3



ZONE A FLOOD PLANE PER FEMA FIRM PANELS 13297C0110E 13297C0125E 13297C130E & 13297C0136E

AMENITY POOL
 PAVILLION
 PLAYGROUND
 MAIL KIOSK LOCATION

N/F HOGAN JACK F & HOGAN PHYLLIS C ZONING A1

N/F ROBERTSON JOHN THOMAS JR ZONING A1

100' GA. POWER EASEMENT (PER REF. #1)

PP-2 MATCH LINE
 75' IMPERVIOUS SETBACK
 50' CITY UNDIST BUFFER
 25' STATE UNDIST BUFFER

N/F MONROE CITY OF ZONING A1

N/F PRESTONS LANDING LLC ZONING A1

DEVELOPMENT SUMMARY

PROPOSED NAME: RIVER POINTE
 LAND LOTS: 7, 8, 27 & 28
 LAND DISTRICT: 3RD
 PROPOSED USE: SINGLE FINALLY RESIDENTIAL
 EXISTING ZONING: R1
 PROPOSED ZONING = UNCHANGED
 TOTAL AREA = 200.40 ACRES
 PROPOSED LOTS = 310
 DENSITY: 310 UNITS/200.40 ACRE
 1.55 UPA
 REQUIRED OPEN SPACE = 15% OR 30.01 AC
 PROPOSED OPEN SPACE = 28% OR 28.50 AC
 PROPOSED STREET WIDTH = 28' BOC-BOC
 PROPOSED ROW WIDTH = 50'
 SETBACKS: FRONT = 30'
 SIDE = 10'
 REAR = 25'
 MIN LOT AREA: 14,000 SF
 MIN LOT WIDTH: 100' AT BUILDING LINE
 MIN LOT FRONTAGE: 75'

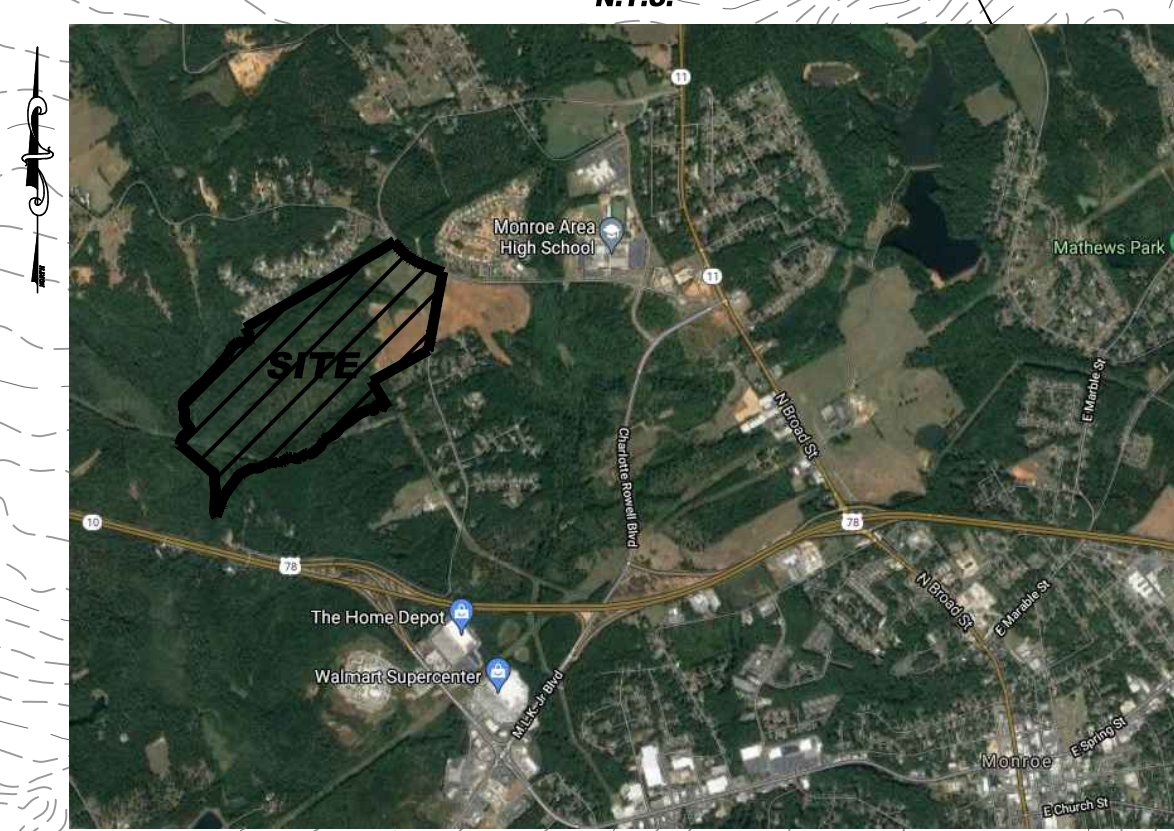
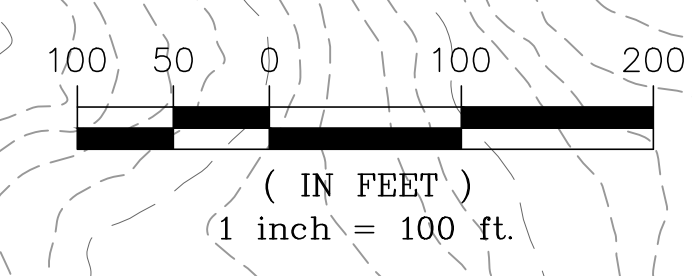
OWNER: THE ROWELL FAMILY PARTNERSHIP & JANE JAY STILL
 ADDRESS: P.O. BOX 1378, MONROE GA 30655
 TELEPHONE: (770) 3186153
 DEVELOPER: THE PACIFIC GROUP
 ADDRESS: 5755 DUPREE DRIVE ATLANTA, GA 30327
 TELEPHONE: (678) 603-8267
 ENGINEER: GREYDEN ENGINEERING
 ADDRESS: 12460 CRABAPPLE ROAD, STE 202-374 APLHARETTA, GA 30004
 TELEPHONE: (770) 573-4801

UTILITIES STATEMENT:
 WATER: SUBDIVISION WILL CONNECT TO CITY OF MONROE WATER MAINS LOCATED ALONG DOUBLE SPRING CHURCH ROAD AND CEDAR RIDGE RD. 8" DUCTILE WILL BE USED THROUGH OUT THE SUBDIVISION.
 SEWER: SUBDIVISION WILL GRAVITY FEED TO A CENTRALIZED LIFT STATION AND THEN PUMP VIA GIN FORCE MAIN TO THE NEAREST CITY OF MONROE SYSTEM MANHOLE AS PER DISCUSSIONS WITH CITY OF MONROE UTILITIES.

LEGEND

- UNDISTURBED BUFFER
- ZONE A FLOOD PLAIN
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- WETLAND AREAS

HYDROLOGY STATEMENT
 DUE TO TIMING OF BASIN PEAKS, NO DETENTION IS PROPOSED FOR THIS DEVELOPMENT. WATER QUALITY WILL BE PROVIDED VIA INFILTRATION WITHIN THE LOW LYING FLOODPLAIN AREAS. WE WILL ALSO UTILIZE A TREATMENT TRAIN OF PROPRIETARY BMP'S AND ENHANCED SWALES. STORM WATER WILL BE DESIGNED IN ACCORDANCE WITH THE GEORGIA STORMWATER MANAGEMENT MANUAL AND THE CITY OF MONROE DEVELOPMENT STANDARDS.



LINE #	LENGTH	DIRECTION
L2	53.04'	S49°59'56"W
L4	16.87'	S63°09'32"W
L5	179.60'	N26°50'28"W
L6	70.24'	N58°04'28"E
L7	136.92'	S39°23'00"E
L8	100.00'	S63°09'32"W
L9	170.70'	N26°50'28"W
L10	100.40'	N58°04'28"E
L11	100.00'	S63°09'32"W
L12	161.81'	N26°50'28"W
L13	100.40'	N58°04'28"E
L14	100.00'	S63°09'32"W
L15	156.19'	N26°50'28"W
L16	99.37'	N59°57'31"E
L17	0.79'	N58°04'28"E
L18	100.00'	S63°09'32"W
L19	150.60'	N26°50'28"W
L20	100.16'	N59°57'31"E
L21	100.00'	S63°09'32"W
L22	145.00'	N26°50'28"W
L23	100.16'	N59°57'31"E
L30	112.62'	N46°17'24"W
L32	57.80'	N45°16'57"W
L33	46.38'	N28°56'10"W
L34	53.06'	N13°53'54"W
L35	66.95'	N04°16'34"E
L36	44.89'	N21°38'01"E
L37	53.48'	N59°57'31"E
L38	134.41'	S36°31'45"W
L39	44.49'	S59°24'13"W
L40	58.56'	S77°01'37"W
L41	60.98'	N84°52'28"W
L42	69.32'	N65°07'46"W
L43	3.84'	N45°16'57"W
L44	138.92'	S26°50'28"E
L45	140.00'	S26°50'28"E
L46	31.16'	S63°09'32"W
L47	56.86'	S42°02'23"W
L48	13.38'	S59°24'13"W
L51	62.92'	N63°09'32"E
L52	21.52'	S63°09'32"W
L53	118.80'	N63°09'32"E
L54	14.85'	S74°47'28"E
L56	17.46'	S45°52'44"E
L57	142.02'	S34°26'09"W
L58	88.05'	N45°52'44"W
L59	111.95'	S45°52'44"E
L60	140.00'	S44°07'16"W
L61	7.58'	N46°28'25"W
L62	94.29'	N45°52'44"W
L63	94.29'	S45°52'44"E
L64	140.00'	S42°55'54"W
L65	57.33'	N55°57'35"W
L66	56.58'	N51°30'50"W
L68	57.33'	S55°57'35"E
L69	140.00'	S34°02'25"W
L70	100.00'	N55°57'35"W
L71	100.00'	S55°57'35"E
L72	140.00'	S34°02'25"W
L73	140.00'	S32°55'58"W
L74	7.06'	N56°30'48"W
L75	94.68'	N55°57'35"W
L76	94.68'	S55°57'35"E
L77	139.54'	S21°14'14"W
L78	100.15'	N68°45'46"W

LINE #	LENGTH	DIRECTION
L79	140.34'	N21°14'14"E
L80	64.00'	S68°03'04"E
L81	36.15'	S68°45'23"E
L82	100.00'	N68°45'46"W
L83	143.11'	N21°14'14"E
L84	63.73'	S67°04'50"E
L85	26.64'	S67°05'25"E
L86	9.68'	S68°03'04"E
L87	36.29'	S64°52'45"E
L88	73.97'	N68°45'46"W
L90	148.06'	N33°36'00"E
L91	28.35'	S64°32'49"E
L92	15.29'	S64°52'45"E
L93	31.37'	S59°42'14"E
L94	40.32'	S62°32'38"E
L95	2.69'	S64°32'49"E
L97	99.04'	N55°57'35"W
L98	139.34'	N34°02'25"E
L99	25.29'	S59°42'14"E
L100	101.85'	N55°57'35"W
L101	137.56'	N34°02'25"E
L102	33.24'	S53°34'07"E
L103	66.94'	S58°34'13"E
L104	1.78'	S59°42'14"E
L105	51.12'	N55°57'35"W
L107	31.10'	N45°52'44"W
L108	137.66'	N44°07'16"E
L109	49.45'	S50°44'56"E
L110	37.27'	S53°34'07"E
L111	1.78'	S53°34'07"E
L112	17.15'	S50°44'56"E
L113	103.19'	N45°52'44"W
L114	135.40'	N44°07'16"E
L115	44.57'	S45°28'06"E
L116	40.83'	S47°22'14"E
L117	0.73'	S50°44'56"E
L118	89.40'	N45°52'44"W
L120	13.18'	N14°21'50"E
L121	130.68'	N63°09'32"E
L122	83.16'	S44°24'29"E
L124	28.54'	S51°23'42"E
L125	148.58'	S38°36'18"W
L126	147.85'	N63°09'32"E
L127	14.93'	S75°07'39"E
L128	147.92'	S38°36'18"W
L129	103.84'	S51°23'42"E
L130	137.74'	S30°43'39"W
L131	78.47'	S51°23'42"E
L132	141.98'	S24°09'56"W
L134	76.31'	S65°50'04"E
L135	141.20'	S24°09'56"W
L136	100.00'	S65°50'04"E
L137	137.74'	S24°09'56"W
L138	98.38'	S65°50'04"E
L139	124.88'	S24°09'56"W
L140	14.14'	S69°09'56"W
L141	95.46'	N65°50'04"W
L142	132.89'	N24°09'56"E
L144	63.38'	S67°59'30"E
L145	53.19'	N65°50'04"W
L146	24.92'	N51°23'42"W
L147	132.65'	N38°36'18"E
L148	109.03'	N51°23'42"W
L149	126.41'	N38°36'18"E
L150	76.90'	N51°23'42"W

LINE #	LENGTH	DIRECTION
L151	13.06'	N13°55'49"E
L152	11.59'	N63°09'32"E
L153	55.99'	N49°59'56"E
L154	148.54'	S37°08'08"W
L156	56.03'	N65°50'04"W
L157	14.14'	N20°50'04"W
L158	126.76'	N24°09'56"E
L159	127.52'	S67°59'30"E
L160	89.39'	S10°20'00"W
L161	169.39'	S74°30'46"W
L163	29.83'	S67°59'30"E
L164	114.30'	S69°20'00"E
L165	159.50'	S10°20'00"W
L166	140.00'	N79°40'00"W
L167	31.28'	N10°20'00"E
L169	101.12'	S10°20'00"W
L170	140.00'	N79°40'00"W
L171	101.12'	N10°20'00"E
L172	101.12'	S10°20'00"W
L173	140.00'	N79°40'00"W
L174	101.12'	N10°20'00"E
L175	101.12'	S10°20'00"W
L176	140.00'	N79°40'00"W
L177	101.12'	N10°20'00"E
L178	101.12'	S10°20'00"W
L179	140.00'	N79°40'00"W
L180	101.12'	N10°20'00"E
L181	101.12'	S10°20'00"W
L182	140.00'	N79°40'00"W
L183	101.12'	N10°20'00"E
L184	101.12'	S10°20'00"W
L185	140.00'	N79°40'00"W
L186	101.12'	N10°20'00"E
L187	101.12'	S10°20'00"W
L188	140.00'	N79°40'00"W
L189	101.12'	N10°20'00"E
L190	101.12'	S10°20'00"W
L191	140.00'	N79°40'00"W
L192	101.12'	N10°20'00"E
L193	106.25'	S10°20'00"W
L194	68.25'	N79°35'10"W
L196	15.05'	N50°24'01"W
L197	19.94'	N09°13'36"W
L199	25.28'	N10°20'00"E
L200	93.00'	S10°20'00"W
L201	140.00'	N79°40'00"W
L202	127.26'	N10°20'00"E
L203	107.59'	S68°45'46"E
L205	14.55'	S32°59'03"E
L206	106.11'	S10°20'00"W
L207	140.00'	N79°40'00"W
L208	33.53'	N10°20'00"E
L209	72.59'	N10°20'00"E
L210	96.47'	S10°20'00"W
L211	14.14'	S55°20'00"W
L212	130.00'	N79°40'00"W
L213	106.47'	N10°20'00"E
L214	100.00'	N79°40'00"W
L215	140.00'	N10°20'00"E
L216	100.00'	S79°40'00"E
L217	100.00'	N79°40'00"W
L218	140.00'	N10°20'00"E
L219	100.00'	S79°40'00"E
L220	100.00'	N79°40'00"W
L221	140.00'	N10°20'00"E

LINE #	LENGTH	DIRECTION
L222	100.00'	S79°40'00"E
L223	100.00'	N79°40'00"W
L224	140.00'	N10°20'00"E
L225	100.00'	S79°40'00"E
L226	100.00'	N79°40'00"W
L227	140.00'	N10°20'00"E
L228	100.00'	S79°40'00"E
L229	9.13'	N79°40'00"W
L231	42.18'	N82°18'39"W
L232	140.00'	N07°41'21"E
L233	69.07'	S82°18'39"E
L234	36.01'	S79°40'00"E
L235	100.00'	N82°18'39"W
L236	140.00'	N07°41'21"E
L237	100.00'	S82°18'39"E
L238	100.00'	N82°18'39"W
L239	140.00'	N07°41'21"E
L240	100.00'	S82°18'39"E
L241	100.00'	N82°18'39"W
L242	140.00'	N07°41'21"E
L243	100.00'	S82°18'39"E
L244	100.00'	N82°18'39"W
L245	140.00'	N07°41'21"E
L246	100.00'	S82°18'39"E
L247	100.00'	N82°18'39"W
L248	140.00'	N07°41'21"E
L249	100.00'	S82°18'39"E
L250	9.05'	N82°18'39"W
L252	151.48'	N03°45'48"W
L253	123.52'	S82°18'39"E
L255	140.06'	N16°21'21"W
L256	105.77'	N70°06'29"E
L257	22.03'	S82°18'39"E
L259	140.09'	N28°56'53"W
L260	33.95'	N60°01'51"E
L261	90.37'	N70°06'29"E
L263	91.89'	S60°01'51"W
L264	140.00'	N29°58'09"W
L265	101.96'	N60°01'51"E
L266	100.00'	S60°01'51"W
L267	140.00'	N29°58'09"W
L268	100.00'	N60°01'51"E
L269	100.00'	S60°01'51"W
L270	140.00'	N29°58'09"W
L271	100.00'	N60°01'51"E
L272	100.00'	S60°01'51"W
L273	140.00'	N29°58'09"W
L274	100.00'	N60°01'51"E
L275	100.00'	S60°01'51"W
L276	140.00'	N29°58'09"W
L277	100.00'	N60°01'51"E
L278	100.00'	S60°01'51"W
L279	140.00'	N29°58'09"W
L280	100.00'	N60°01'51"E
L281	100.00'	S60°01'51"W
L282	140.00'	N29°58'09"W
L283	13.62'	N60°01'51"E
L284	86.38'	N60°01'51"E
L285	100.00'	S60°01'51"W
L286	140.00'	N29°58'09"W
L287	100.00'	N60°01'51"E
L288	140.00'	S29°58'09"E
L289	100.00'	S60°01'51"W
L290	140.00'	N29°58'09"W
L291	100.00'	N60°01'51"E

LINE #	LENGTH	DIRECTION
L292	140.00'	S29°58'09"E
L293	100.00'	S60°01'51"W
L294	100.00'	N60°01'51"E
L295	140.00'	S29°58'09"E
L296	100.00'	S60°01'51"W
L297	100.00'	N60°01'51"E
L298	140.00'	S29°58'09"E
L299	100.00'	S60°01'51"W
L300	100.00'	N60°01'51"E
L301	140.00'	S29°58'09"E
L302	100.00'	S60°01'51"W
L303	100.00'	N60°01'51"E
L304	140.00'	S29°58'09"E
L305	100.00'	S60°01'51"W
L306	100.00'	N60°01'51"E
L307	140.00'	S29°58'09"E
L308	100.00'	S60°01'51"W
L309	100.00'	N60°01'51"E
L310	100.00'	S60°01'51"W
L311	100.00'	N60°01'51"E
L312	0.00'	S29°58'09"E
L313	140.00'	S29°58'09"E
L314	140.00'	S10°08'47"E
L315	81.30'	S69°53'36"W
L316	140.00'	S07°41'21"W
L317	83.34'	S89°54'00"W
L319	10.59'	S82°18'39"E
L320	140.00'	S07°41'21"W
L321	100.00'	N82°18'39"W
L322	100.00'	S82°18'39"E
L323	85.44'	N82°18'39"W
L324	100.00'	S82°18'39"E
L325	140.00'	S07°41'21"W
L326	14.56'	N82°18'39"W
L327	140.00'	S07°41'21"W
L328	100.00'	N82°18'39"W
L329	100.00'	S82°18'39"E
L331	36.56'	S61°07'58"W
L332	76.77'	N28°52'02"W
L333	135.86'	S82°18'39"E
L334	14.14'	S37°18'39"E
L335	29.32'	S07°41'21"W
L336	140.00'	S10°20'00"W
L338	89.43'	N79°40'00"W
L339	140.00'	N10°20'00"E
L340	100.00'	S79°40'00"E
L341	140.00'	S10°20'00"W
L342	100.00'	N79°40'00"W
L343	100.00'	S79°40'00"E
L344	96.04'	S10°20'00"W
L346	97.30'	N79°40'00"W
L347	90.63'	S79°40'00"E
L348	14.14'	S34°40'00"E
L349	145.00'	S44°32'48"E
L350	100.00'	S45°27'12"W
L351	145.00'	N44°32'48"W
L352	100.00'	N45°27'12"E
L353	145.00'	S44°32'48"E
L354	100.00'	S45°27'12"W
L355	100.00'	N45°27'12"E
L356	145.00'	S44°32'48"E

LINE #	LENGTH	DIRECTION
L578	2.31'	N45°27'12"E
L579	97.69'	N45°27'12"E
L580	100.00'	S45°27'12"W
L581	140.00'	N44°32'48"W
L582	2.31'	N45°27'12"E
L583	97.69'	N45°27'12"E
L584	100.00'	S45°27'12"W
L585	140.00'	N44°32'48"W
L586	2.31'	N45°27'12"E
L587	97.69'	N45°27'12"E
L588	100.00'	S45°27'12"W
L589	140.00'	N44°32'48"W
L590	2.31'	N45°27'12"E
L591	97.69'	N45°27'12"E
L592	100.00'	S45°27'12"W
L593	140.00'	N44°32'48"W
L594	2.31'	N45°27'12"E
L595	97.69'	N45°27'12"E
L596	100.00'	S45°27'12"W
L597	140.00'	N44°32'48"W
L598	2.31'	N45°27'12"E
L599	97.69'	N45°27'12"E
L600	100.05'	S45°27'12"W
L601	140.00'	N44°31'37"W
L602	2.31'	N45°27'12"E
L603	97.69'	N45°27'12"E
L604	99.95'	S45°27'12"W
L605	140.00'	N44°32'48"W
L606	2.31'	N45°27'12"E
L607	97.69'	N45°27'12"E
L608	153.45'	S45°27'12"W
L609	13.12'	N85°33'12"W
L611	116.25'	N28°48'38"W
L612	126.43'	N45°27'12"E
L613	143.58'	N28°48'38"W
L614	14.37'	N15°15'35"E
L616	28.29'	N45°27'12"E
L617	140.00'	S44°32'48"E
L618	140.00'	S44°32'48"E
L619	100.00'	N45°27'12"E
L620	140.00'	S44°32'48"E
L621	100.00'	N45°27'12"E
L622	100.00'	N45°27'12"E
L623	140.00'	S44°32'48"E
L624	140.00'	S44°32'48"E
L625	100.00'	N45°27'12"E
L626	140.00'	S44°32'48"E
L627	100.00'	N45°27'12"E
L628	140.00'	S44°32'48"E
L629	100.00'	N45°27'12"E
L630	140.00'	S44°32'48"E
L631	100.00'	N45°27'12"E
L632	100.00'	N45°27'12"E
L633	140.00'	S44°32'48"E
L634	140.00'	S35°22'00"E
L635	33.44'	N45°27'12"E
L636	140.00'	S28°52'02"E
L638	52.92'	N61°07'58"E
L639	140.00'	S28°52'02"E
L640	100.00'	N61°07'58"E
L641	140.00'	S28°52'02"E
L642	100.00'	N61°07'58"E
L643	100.00'	N61°07'58"E
L644	155.94'	S28°52'02"E
L645	100.00'	S60°42'47"W

LINE #	LENGTH	DIRECTION
L646	161.16'	N28°52'02"W
L647	60.62'	N61°07'58"E
L648	100.00'	S60°42'47"W
L649	161.89'	N28°52'02"W
L650	100.00'	N61°07'58"E
L651	100.00'	S60°42'47"W
L652	162.62'	N28°52'02"W
L653	100.00'	N61°07'58"E
L654	100.00'	S60°42'47"W
L655	163.35'	N28°52'02"W
L656	100.00'	N61°07'58"E
L657	100.00'	S60°42'47"W
L658	164.09'	N28°52'02"W
L659	100.00'	N61°07'58"E
L660	100.00'	S60°42'47"W
L661	164.82'	N28°52'02"W
L662	100.00'	N61°07'58"E
L663	100.00'	S60°42'47"W
L664	165.55'	N28°52'02"W
L665	100.00'	N61°07'58"E
L666	100.00'	S60°42'47"W
L667	166.28'	N28°52'02"W
L668	100.00'	N61°07'58"E
L669	100.00'	S60°42'47"W
L670	167.02'	N28°52'02"W
L671	100.00'	N61°07'58"E
L672	24.67'	S60°42'47"W
L673	50.73'	S61°08'07"W
L674	166.97'	N42°13'49"W
L676	73.51'	N61°07'58"E
L677	99.79'	S61°08'07"W
L678	140.00'	N44°32'48"W
L679	95.79'	N45°27'12"E
L680	100.00'	N45°27'12"W
L681	140.00'	N44°32'48"W
L682	100.00'	N45°27'12"E
L683	140.00'	S44°32'48"E
L684	100.00'	S45°27'12"W
L685	140.00'	N44°32'48"W
L686	100.00'	N45°27'12"E
L687	100.00'	S45°27'12"W
L688	140.00'	N44°32'48"W
L689	100.00'	N45°27'12"E
L690	100.00'	S45°27'12"W
L691	140.00'	N44°32'48"W
L692	100.00'	N45°27'12"E
L693	100.00'	S45°27'12"W
L694	140.00'	N44°32'48"W
L695	100.00'	N45°27'12"E
L696	100.00'	S45°27'12"W
L697	140.00'	N44°32'48"W
L698	100.00'	N45°27'12"E
L699	100.00'	S45°27'12"W
L700	140.00'	N44°32'48"W
L701	100.00'	N45°27'12"E
L702	100.00'	S45°27'12"W
L703	140.00'	N44°32'48"W
L704	100.00'	N45°27'12"E
L705	100.00'	S45°27'12"W
L706	140.00'	N44°32'48"W
L707	100.00'	N45°27'12"E
L708	101.76'	S29°58'09"E
L709	140.00'	S60°01'51"W
L710	91.76'	N29°58'09"W
L711	14.14'	N15°01'51"E

LINE #	LENGTH	DIRECTION
L712	130.00'	N60°01'51"E
L713	100.00'	S29°58'09"E
L714	139.97'	S60°01'51"W
L716	94.59'	N29°58'09"W
L717	72.28'	N35°45'27"W
L719	11.52'	S29°58'09"E
L720	89.22'	S35°45'27"E
L721	140.00'	S54°14'33"W
L722	100.00'	S35°45'27"E
L723	140.00'	S54°14'33"W
L724	100.00'	N35°45'27"W
L725	147.64'	S35°45'27"E
L727	114.63'	N33°30'21"W
L728	14.14'	N80°45'27"W
L729	138.32'	N35°45'27"W
L730	140.00'	N54°14'33"E
L731	100.00'	N35°45'27"W
L732	68.46'	S35°45'27"E
L733	45.68'	S45°27'12"W
L734	76.13'	N56°41'35"W
L735	140.00'	N33°18'25"W
L736	40.21'	N56°41'35"E
L738	9.77'	N45°27'12"E
L739	100.00'	S56°41'35"W
L740	140.00'	N33°18'25"W
L741	100.00'	N56°41'35"E
L742	100.00'	S56°41'35"W
L743	140.00'	N33°18'25"W
L744	100.00'	N56°41'35"E
L745	100.00'	S56°41'35"W
L746	140.00'	N33°18'25"W
L747	100.00'	N56°41'35"E
L748	100.00'	S56°41'35"W
L749	140.00'	N33°18'25"W
L750	100.00'	N56°41'35"E
L751	102.26'	S56°41'35"W
L752	140.08'	N32°07'49"W
L754	94.76'	N56°41'35"E
L755	63.38'	S56°41'35"W
L756	78.30'	N78°40'21"W
L757	140.00'	N11°19'39"W
L758	7.42'	N78°40'21"E
L759	100.00'	S78°40'21"W
L760	140.00'	N11°19'39"W
L761	100.00'	N78°40'21"E
L762	100.00'	S78°40'21"W
L763	140.00'	N11°19'39"W
L764	100.00'	N78°40'21"E
L765	100.00'	S78°40'21"W
L766	140.00'	N11°19'39"W
L767	100.00'	N78°40'21"E
L768	100.00'	S78°40'21"W
L769	140.00'	N11°19'39"W
L770	100.00'	N78°40'21"E
L771	127.73'	S78°40'21"W
L772	150.50'	N02°15'11"E
L774	39.56'	N78°40'21"E
L775	58.73'	S78°40'21"W
L776	96.92'	N57°28'49"W
L777	143.41'	N24°43'19"E
L778	115.28'	N57°28'49"W
L779	140.00'	N32°31'11"E
L780	65.30'	S57°28'49"E
L781	100.00'	N57°28'49"W
L782	140.00'	N32°31'11"E

LINE #	LENGTH	DIRECTION
L783	100.00'	S57°28'49"E
L784	100.00'	N57°28'49"W
L785	140.00'	N32°31'11"E
L786	100.00'	S57°28'49"E
L787	94.66'	N57°28'49"W
L788	43.24'	N33°30'21"W
L789	141.60'	N51°07'58"E
L791	17.16'	S57°28'49"E
L792	100.00'	S33°30'21"E
L793	140.00'	S56°29'39"W
L794	100.00'	N33°30'21"W
L795	140.00'	N56°29'39"W
L796	63.15'	S33°30'21"E
L797	116.27'	N33°30'21"W
L798	143.84'	N64°46'27"E
L800	100.93'	N33°30'21"W
L801	56.15'	N12°15'27"E
L802	152.90'	N87°14'35"E
L804	131.08'	N12°15'27"E
L805	140.00'	S77°44'33"E
L806	33.18'	S12°15'27"W
L807	100.00'	S12°15'27"W
L808	100.00'	N12°15'27"E
L809	140.00'	S77°44'33"E
L810	100.00'	S12°15'27"W
L811	100.00'	N12°15'27"E
L812	140.00'	S77°44'33"E
L813	22.08'	S27°08'31"W
L815	19.96'	S12°15'27"W
L816	67.41'	N12°15'27"E
L817	61.68'	N27°08'31"E
L818	140.00'	S62°51'29"E
L819	100.00'	S27°08'31"W
L820	100.00'	N27°08'31"E
L821	140.00'	S62°51'29"E
L822	100.00'	S27°08'31"W
L823	100.00'	N27°08'31"E
L824	140.00'	S62°51'29"E
L825	140.00'	S62°51'29"E
L826	100.00'	S27°08'31"W
L827	100.00'	N27°08'31"E
L828	100.00'	S27°08'31"W
L829	140.00'	N62°51'29"W
L830	100.00'	N27°08'31"E
L831	140.00'	S62°51'29"E
L833	77.79'	S27°08'31"W
L834	81.82'	N27°08'31"E
L835	34.29'	N32°46'38"E
L836	140.00'	S54°31'50"E
L837	13.63'	S54°50'19"W
L839	122.80'	N45°09'14"E
L840	13.63'	N54°50'19"E
L841	140.00'	S35°09'41"E
L842	100.00'	S54°50'19"W
L843	100.00'	N54°50'19"E
L844	140.00'	S35°09'41"E
L845	100.00'	S54°50'19"W
L846	100.00'	N54°50'19"E
L847	140.00'	S35°09'41"E
L848	140.00'	S29°58'09"E
L849	26.72'	S60°01'51"W
L851	23.05'	S54°50'19"W
L852	53.20'	N54°50'19"E
L853	56.87'	N60°01'51"E
L854	140.00'	S29°58'09"E

LINE #	LENGTH	DIRECTION
L855	100.00'	S60°01'51"W
L856	100.00'	N60°01'51"E
L857	100.00'	S60°01'51"W
L858	100.00'	N60°01'51"E
L859	140.00'	S29°58'09"E
L860	100.00'	S60°01'51"W
L861	100.00'	N60°01'51"E
L862	140.00'	S29°58'09"E
L863	140.00'	S29°58'09"E
L864	100.00'	S60°01'51"W
L865	100.00'	N60°01'51"E
L866	150.99'	S28°48'34"E
L867	14.69'	S13°56'30"W
L868	119.79'	S56°41'35"W
L869	161.41'	N33°18'25"W
L870	22.19'	N54°49'51"E
L871	120.25'	N57°28'20"E
L872	100.00'	S56°41'35"W
L873	158.16'	N33°18'25"W
L874	22.24'	N54°49'51"E
L875	77.81'	N54°49'51"E
L876	100.00'	S56°41'35"W
L877	154.91'	N33°18'25"W
L878	22.29'	N54°49'51"E
L879	77.76'	N54°49'51"E
L880	100.00'	S56°41'35"W
L881	151.66'	N33°18'25"W
L882	22.34'	N54°49'51"E
L883	77.71'	N54°49'51"E
L884	100.00'	S56°41'35"W
L885	158.86'	N33°18'25"W
L886	85.32'	N61°51'58"E
L887	100.00'	N54°49'51"E
L888	11.98'	S56°41'35"W
L890	47.74'	S78°40'21"W
L891	157.45'	N11°19'39"W
L892	58.86'	N73°37'43"E
L893	6.54'	N61°51'58"E
L894	100.00'	S78°40'21"W
L895	156.65'	N11°19'39"W
L896	39.14'	N78°21'21"E
L897	57.92'	N78°21'21"E
L898	2.95'	N73°37'43"E
L899	100.00'	S78°40'21"W
L900	156.27'	N11°19'39"W
L901	39.14'	N78°36'10"E
L902	60.86'	N78°21'21"E
L903	100.00'	S78°40'21"W
L904	160.77'	N11°19'39"W
L905	33.54'	N86°31'25"E
L906	66.77'	N78°36'10"E
L907	99.23'	S78°40'21"W
L909	187.60'	N10°54'29"W
L910	66.89'	S82°14'31"E
L911	36.27'	N86°31'25"E
L914	179.29'	N32°31'11"E
L915	2.64'	S71°03'32"E
L916	10.12'	S82°14'31"E

Parcel Table		
Parcel #	Area SF	Area AC
1	16004.68	0.37
2	17515.15	0.40
3	16625.39	0.38
4	15898.34	0.36
5	15339.18	0.35
6	14780.02	0.34
7	25098.77	0.58
8	27012.26	0.62
9	21641.68	0.50
10	14173.44	0.33
11	15401.20	0.35
12	14000.00	0.32
13	14058.03	0.32
14	14393.07	0.33
15	14000.00	0.32
16	14054.05	0.32
17	15910.28	0.37
18	14856.10	0.34
19	14856.10	0.34
20	14000.00	0.32
21	14000.00	0.32
22	14000.00	0.32
23	14000.00	0.32
24	14000.00	0.32
25	14264.00	0.33
26	14000.00	0.32
27	14000.00	0.32
28	14000.00	0.32
29	14000.00	0.32
30	14000.00	0.32
31	15551.12	0.36
32	16199.20	0.37
33	15226.85	0.35
34	14100.09	0.32
35	14000.00	0.32
36	14000.00	0.32
37	14000.00	0.32
38	14000.00	0.32
39	14000.00	0.32
40	14000.00	0.32
41	14000.00	0.32
42	14000.00	0.32
43	14000.00	0.32
44	14000.00	0.32
45	14000.00	0.32
46	14530.74	0.33
47	14000.00	0.32
48	14000.00	0.32
49	15442.73	0.35
50	14823.07	0.34
51	14000.00	0.32
52	14000.00	0.32
53	14000.00	0.32
54	14000.00	0.32
55	15529.25	0.36
56	14000.00	0.32
57	14000.00	0.32
58	15878.32	0.36
59	18739.09	0.43
60	14876.88	0.34

Parcel Table		
Parcel #	Area SF	Area AC
61	14000.00	0.32
62	16214.87	0.37
63	14000.00	0.32
64	14000.00	0.32
65	14818.53	0.34
66	18479.98	0.42
67	15629.80	0.36
68	14000.00	0.32
69	14000.00	0.32
70	14000.00	0.32
71	14000.00	0.32
72	16351.09	0.38
73	14115.20	0.32
74	14000.00	0.32
75	14000.00	0.32
76	14000.00	0.32
77	14000.00	0.32
78	15140.64	0.35
79	14000.00	0.32
80	14000.00	0.32
81	14000.00	0.32
82	14000.00	0.32
83	14000.00	0.32
84	14000.00	0.32
85	14000.00	0.32
86	14000.00	0.32
87	14000.00	0.32
88	15310.13	0.35
89	15858.46	0.36
90	16664.97	0.38
91	15591.74	0.36
92	16518.50	0.38
93	16445.26	0.38
94	16372.02	0.37
95	16298.79	0.37
96	16225.55	0.37
97	16152.31	0.37
98	16020.46	0.37
99	21920.25	0.50
100	15978.49	0.37
101	15653.33	0.36
102	15328.17	0.35
103	15447.26	0.35
104	15369.64	0.35
105	15693.48	0.36
106	15641.13	0.36
107	15697.74	0.36
108	17160.90	0.39
109	16829.80	0.39
110	16075.84	0.37
111	16154.98	0.37
112	17595.49	0.40
113	17416.06	0.40
114	16463.09	0.38
115	16297.06	0.37
116	15306.06	0.35
117	15353.99	0.35
118	15399.65	0.35
119	15108.85	0.35
120	14834.67	0.34

Parcel Table		
Parcel #	Area SF	Area AC
121	14784.26	0.34
122	15577.30	0.36
123	16282.47	0.37
124	16713.08	0.38
125	17006.48	0.39
126	15888.82	0.36
127	15262.32	0.35
128	15000.00	0.34
129	15000.00	0.34
130	15000.00	0.34
131	17445.03	0.40
132	15734.76	0.36
133	15000.00	0.34
134	15000.00	0.34
135	15000.00	0.34
136	16964.10	0.39
137	17470.06	0.40
138	17470.71	0.40
139	17424.65	0.40
140	16888.88	0.39
141	17469.44	0.40
142	15311.69	0.35
143	15000.00	0.34
144	16061.25	0.37
145	16484.61	0.38
146	15000.00	0.34
147	15000.00	0.34
148	15000.00	0.34
149	19457.49	0.45
150	15057.28	0.35
151	17271.96	0.40
152	14000.00	0.32
153	14000.00	0.32
154	14000.00	0.32
155	15218.07	0.35
156	14029.38	0.32
157	14000.00	0.32
158	15936.31	0.37
159	16147.57	0.37
160	16122.46	0.37
161	14000.00	0.32
162	14000.00	0.32
163	14000.00	0.32
164	15595.87	0.36
165	14000.00	0.32
166	14000.00	0.32
167	14000.00	0.32
168	14000.00	0.32
169	14500.00	0.33
170	20710.97	0.48
171	14000.00	0.32
172	14000.00	0.32
173	15084.89	0.35
174	13999.94	0.32
175	14196.09	0.33
176	14000.00	0.32
177	14000.00	0.32
178	14000.00	0.32
179	14000.00	0.32
180	14000.00	0.32

Parcel Table		
Parcel #	Area SF	Area AC
181	14000.00	0.32
182	14000.00	0.32
183	14000.00	0.32
184	15021.62	0.34
185	14972.47	0.34
186	14000.00	0.32
187	14000.00	0.32
188	14000.00	0.32
189	23103.53	0.53
190	23273.65	0.53
191	14500.00	0.33
192	14611.71	0.34
193	15059.00	0.35
194	15059.00	0.35
195	14693.22	0.34
196	14500.00	0.33
197	14500.00	0.33
198	14500.00	0.33
199	14500.00	0.33
200	14500.00	0.33
201	16433.83	0.38
202	16541.73	0.38
203	15100.00	0.35
204	14000.00	0.32
205	14000.00	0.32
206	14000.00	0.32
207	14000.00	0.32
208	14000.00	0.32
209	14000.00	0.32
210	14188.64	0.33
211	14004.88	0.32
212	14133.44	0.32
213	14000.00	0.32
214	14000.00	0.32
215	14000.00	0.32
216	15639.54	0.36
217	18989.26	0.44
218	14000.00	0.32
219	14000.00	0.32
220	14000.00	0.32
221	19497.62	0.45
222	14000.00	0.32
223	14000.00	0.32
224	14000.00	0.32
225	14000.00	0.32
226	14000.00	0.32
227	14280.66	0.33
228	15350.80	0.35
229	14316.60	0.33
230	14000.00	0.32
231	14000.00	0.32
232	14000.00	0.32
233	14000.00	0.32
234	14000.00	0.32
235	14000.00	0.32
236	14000.00	0.32
237	16746.63	0.38
238	15374.01	0.35
239	14000.00	0.32
240	14000.00	0.32

Parcel Table		
Parcel #	Area SF	Area AC
241	14000.00	0.32
242	14000.00	0.32
243	14000.00	0.32
244	14000.00	0.32
245	14000.00	0.32
246	14000.00	0.32
247	14438.74	0.33
248	14317.62	0.33
249	14000.00	0.32
250	14000.00	0.32
251	14000.00	0.32
252	14000.00	0.32
253	14000.00	0.32
254	14000.00	0.32
255	14740.84	0.34
256	19163.42	0.44
257	17260.04	0.40
258	14000.00	0.32
259	16397.08	0.38
260	16470.59	0.38
261	16433.83	0.38
262	14000.00	0.32
263	14000.00	0.32
264	14000.00	0.32
265	14000.00	0.32
266	14000.00	0.32
267	14000.00	0.32
268	14000.00	0.32
269	14000.00	0.32
270	14121.47	0.32
271	15411.02	0.35
272	14000.00	0.32
273	14000.00	0.32
274	14000.00	0.32
275	14000.00	0.32
276	14000.00	0.32
277	14000.00	0.32
278	14003.39	0.32
279	13996.61	0.32
280	20388.87	0.47
281	14415.10	0.33
282	14157.17	0.33
283	14157.17	0.33
284	14157.17	0.33
285	14157.17	0.33
286	14157.17	0.33
287	14157.17	0.33
288	14157.17	0.33
289	14157.17	0.33
290	17848.20	0.41
291	25637.96	0.59
292	15406.34	0.35
293	14000.29	0.32
294	14164.68	0.33
295	14000.00	0.32
296	14280.81	0.33
297	14000.00	0.32
298	14000.00	0.32
299	14000.50	0.32
300	14494.91	0.33

Parcel Table		
Parcel #	Area SF	Area AC
301	20062.98	0.46
302	15455.63	0.35
303	17034.17	0.39
304	15418.68	0.35
305	14203.13	0.33
306	13999.99	0.32
307	14000.00	0.32
308	14160.30	0.33
309	14000.00	0.32
310	14000.00	0.32

CURVE TABLE				
CURVE #	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	36.55'	883.51'	S40°34'07"E	36.55'
C2	40.20'	175.00'	S56°34'44"W	40.11'
C12	93.29'	55.00'	S04°52'50"E	82.50'
C19	90.79'	53.53'	N79°38'59"E	80.29'
C20	20.07'	60.24'	N22°18'21"E	19.98'
C21	22.44'	24.30'	N37°30'00"E	21.65'
C22	46.59'	225.00'	S39°56'48"E	46.51'
C27	4.67'	225.00'	S46°28'25"E	4.67'
C28	34.92'	225.00'	S51°30'50"E	34.88'
C34	4.35'	225.00'	S56°30'48"E	4.35'
C35	37.76'	175.00'	N62°34'53"W	37.69'
C36	1.34'	175.00'	N56°10'47"W	1.34'
C41	30.79'	175.00'	N50°55'09"W	30.75'
C42	29.96'	175.00'	N40°58'25"W	29.93'
C43	65.61'	225.00'	S43°02'28"E	65.38'
C46	30.94'	225.00'	S55°20'02"E	30.91'
C47	25			

REC'D DEC 20 2021

December 20, 2021

To Ms. Debbie Kirk, City Clerk,

I, John Howard, Mayor of the City of Monroe, pursuant to our City Charter Section 2.06 hereby VETO the decision of the City Council rendered on December 14, 2021 on Agenda Item # 4 under New Business to overturn the decision of the Monroe Corridor Commission concerning 1000 East Spring Street relating to the construction of a metal butler building by Applicant Gerald Atha.

Sincerely,



John Howard
Mayor



BENTON & BENTON

ATTORNEYS AT LAW

June 30, 2021

Patrick Kelley
Code Enforcement Director
City of Monroe
P.O. Box 725
Monroe, GA 30655

Re: Notice of Appeal by Gerald Atha from Denial of Building Permit by Monroe Corridor Commission on June 15, 2021

Dear Mr. Kelley:

Gerald Atha hereby appeals the decision of the Monroe Corridor Commission, rendered in a public meeting on June 15, 2021. Mr. Atha was aggrieved by their decision to deny him a building permit. This decision was arbitrary and capricious and violates the constitutional rights of Mr. Atha. The Corridor Commission abused its discretion in reaching its decision.

This appeal is made pursuant to Section 643 Corridor Design Overlay District, Section 643.4(8) Appeal to Mayor and Council; Building Permits. Said appeal has been timely filed. Mr. Atha respectfully requests a hearing before the Mayor and Council to address this appeal.

Respectfully submitted,

BENTON & BENTON, LLC

Eugene M. Benton

cc: Gerald Atha



To: Planning and Zoning / City Council
From: Patrick Kelley
Department: Planning, Zoning, Code and Development
Date: 12-15-2021
Description: REZONE CASE #: 256: Rezone R-1 to R-1A (Medium Lot Residential District) **ACREAGE:** ±83.072

Budget Account/Project Name: NA

Funding Source: 2021 NA

Budget Allocation: NA

Budget Available: NA

Requested Expense: \$NA **Company of Purchase:** NA

Recommendation: Staff recommends approval of this rezone request subject to conditions.

1. The minimum dwelling size allowed shall be 1,500 Sf.
2. The developer shall provide a minimum of six (6) building designs for the single-family detached residences for each neighborhood illustrated on the concept plan (The Meadows and Creekside).
3. All dwellings shall be constructed on crawlspace, basement, or raised slab foundations. Each side of every dwelling façade shall be constructed with brick, stone, or other masonry type product. Cement based siding such as hardiplank or other similar material is permitted. EFIS siding shall be prohibited. A variety of the required façade materials shall be used on each dwelling throughout the development. Wood, vinyl or aluminum siding may be utilized on a limited basis in the soffit and eave trim areas only.
4. All garage doors shall be side or rear facing on each dwelling. No garage doors shall be extended beyond the front entry of each dwelling, i.e. courtyard garage entries.
5. The developer shall provide a minimum of three (3) of the following amenities for recreation: pool, playground, pavilion, clubhouse/fitness center, play courts such as but not limited to tennis, volleyball, or basketball.
6. Prior to Preliminary Plat submittal, the developer shall submit a completed traffic study for review and comment.
7. Prior to Preliminary Plat submittal, the developer shall enter into a fully executed development agreement with the City of Monroe.



**Planning
City of Monroe, Georgia
REZONE STAFF REPORT**

APPLICATION SUMMARY

REZONE CASE #: 256

DATE: October 8, 2021, **REVISED December 10, 2021**

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: Parkland Communities Inc

PROPERTY OWNER: Rowell Family Partnership & Still Family Realty LLC

LOCATION: Southeast corner of the intersection with Double Springs Church Road and Cedar Ridge Road

ACREAGE: ±83.072

EXISTING ZONING: R-1 (Large Lot Residential District)

EXISTING LAND USE: Undeveloped

ACTION REQUESTED: Rezone R-1 to R-1A (Medium Lot Residential District)

REQUEST SUMMARY: The owners are petitioning for a rezone of this property in order to allow for a detached single-family residential development.

STAFF RECOMMENDATION: Staff recommends approval of this rezone request subject to conditions.

DATES OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: October 19, 2021

CITY COUNCIL: November 9, 2021

REQUEST SUMMARY

REZONE REQUEST SUMMARY:

The applicant is requesting approval of a rezone in order to construct a detached single-family residential development. The subject property was annexed into the City in October of 2001 and rezoned to R-1 (Large Lot Residential District). The property has never been developed. The applicant is requesting a rezone to R-1A (Medium Lot Residential District) to develop the site into a residential subdivision. The site plan included with this rezone request illustrates a conventional subdivision development with one entrance off Double Springs Church Road and one entrance off Cedar Ridge Road.

PROPOSED PROJECT SUMMARY:

- Single-Family Detached Residential Development with open space, landscape buffers, and an active amenity area
 - Development Area – 83.072 Acres
 - Total Lots Proposed – 141
 - Min. Lot Size – 10,000 Sf
 - Min. Dwelling Size – 1,500 Sf
 - Development Density – 1.69 DUs per acre

- Open Space – 29.1 Acres (35%; min. 15% required)

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “STANDARDS FOR ZONING MAP AMENDMENT APPLICATION DECISIONS” AS SET FORTH IN SECTION 1421.8 OF THE *CITY OF MONROE ZONING ORDINANCE*.

- (1) The location, present use, and zoning classification of the subject property, and its suitability and economic viability for use as currently zoned:** The property was annexed into the City in October of 2001. The property was rezoned to R-1 (Large Lot Residential District). The property is currently undeveloped. The property is economically viable as currently zoned. The applicant is requesting this rezone to allow for smaller residential lot sizes, while preserving a larger area of open space than required by the Zoning Ordinance.
- (2) The proposed use and zoning classification of the subject property:** The applicant is requesting the rezone to R-1A (Medium Lot Residential District) to allow for detached single-family residential development.
- (3) The existing land uses and zoning classification of nearby property, whether the zoning proposal seeks a use consistent with the use and development of adjacent and nearby property, and to what extent the zoning proposal will adversely affect adjacent or nearby property:** Properties located east of the site are zoned B-3 (Highway Commercial District) and are currently undeveloped. Properties located north and west of the site are zoned R-1 (Large Lot Residential District) and are predominantly undeveloped with one single-family residential development north of the site. Properties south of the site are located in unincorporated Walton County and developed with single-family residences on medium sized lots. The proposed residential development is consistent with development on neighboring properties located north and south of the site. The proposed residential development should not adversely affect adjacent properties. Staff has included several conditions at the end of this report to enhance the quality of the types of dwellings to be constructed throughout the development.
- (4) Whether the zoning proposal will result in a use which could adversely affect existing infrastructure including without limitation streets, transportation facilities, utilities, schools, police and fire protection, and municipal personnel:** The submitted development plan illustrates a single-family residential subdivision with a network of streets connected to existing streets adjacent to the development. Two entrances are proposed into the development with one entrance off Double Springs Church Road and one entrance off Cedar Ridge Road. Traffic generated by the development could negatively impact existing streets and nearby major street intersections. A traffic study was not submitted with this rezone request; however, staff has included a condition at the end of this report requiring a traffic study to be provided prior to preliminary plat submittal to identify impacts generated by the development. Sanitary sewer, water, natural gas and telecommunications are available to serve the development. Sanitary sewer and water services may require upgrades to existing infrastructure in order to the serve the proposed development as well as other residential projects in the vicinity of the request. Additional City services should be adequate to serve the proposed development.

(5) Whether the zoning proposal is consistent with the Comprehensive Plan: The Future Land Use Map designates this property under the category of Residential. This rezone request to develop the property with a single-family residential development is consistent with the intent of the Future Land Use Map.

(6) Whether there are other factors or existing or changing conditions regarding the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal: Under the current R-1 zoning, the subject property can be developed with the same exact development type as proposed in this rezone request. The intent of this rezone request is to allow for slightly smaller residential lot sizes and to allow for preserving a larger amount of open space.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested rezone for a residential development with the following conditions:

1. The minimum dwelling size allowed shall be 1,500 Sf.
2. The developer shall provide a minimum of six (6) building designs for the single-family detached residences **for each neighborhood illustrated on the concept plan (The Meadows and Creekside).**
3. All dwellings shall be constructed on crawlspace, basement, or raised slab foundations. Each side of every dwelling façade shall be constructed with brick, stone, or other masonry type product. Cement based siding such as hardiplank or other similar material is permitted. EFIS siding shall be prohibited. A variety of the required façade materials shall be used on each dwelling throughout the development. Wood, vinyl or aluminum siding may be utilized on a limited basis in the soffit and eave trim areas only.
4. All garage doors shall be side or rear facing on each dwelling. No garage doors shall be extended beyond the front entry of each dwelling, i.e. courtyard garage entries.
5. The developer shall provide a minimum of three (3) of the following amenities for recreation: pool, playground, pavilion, clubhouse/fitness center, play courts such as but not limited to tennis, volleyball, or basketball.
6. Prior to Preliminary Plat submittal, the developer shall submit a completed traffic study for review and comment.
7. Prior to Preliminary Plat submittal, the developer shall enter into a fully executed development agreement with the City of Monroe.

Background: The owners are petitioning for a rezone of this property in order to allow for a detached single-family residential development.

Attachment(s): Application, Staff report and supporting documentation





To: Planning and Zoning / City Council
From: Patrick Kelley
Department: Planning, Zoning, Code and Development
Date: 10-11-21
Description: REZONE CASE #: 256, Parkland Communities Inc., Rezone R-1 to R-1A (Medium Lot Residential District)

Budget Account/Project Name: NA
Funding Source: 2021 NA

Budget Allocation: NA
Budget Available: NA
Requested Expense: \$NA **Company of Purchase:** NA

Recommendation: Staff recommends approval of this rezone request subject to the 7 conditions listed in the staff report and any the Commission or City Council may wish to add or modify.

Background: Southeast corner of the intersection with Double Springs Church Road and Cedar Ridge Road. The owners are petitioning for a rezone of this property in order to allow for a detached single-family residential development. 141 Lots, 83.072 Acres, 1.69 Dwelling units / ac.

Attachment(s): Application, Staff report, supporting documentation and zoning plan.



Planning
City of Monroe, Georgia
REZONE STAFF REPORT

APPLICATION SUMMARY

REZONE CASE #: 256

DATE: October 8, 2021

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: Parkland Communities Inc

PROPERTY OWNER: Rowell Family Partnership & Still Family Realty LLC

LOCATION: Southeast corner of the intersection with Double Springs Church Road and Cedar Ridge Road

ACREAGE: ±83.072

EXISTING ZONING: R-1 (Large Lot Residential District)

EXISTING LAND USE: Undeveloped

ACTION REQUESTED: Rezone R-1 to R-1A (Medium Lot Residential District)

REQUEST SUMMARY: The owners are petitioning for a rezone of this property in order to allow for a detached single-family residential development.

STAFF RECOMMENDATION: Staff recommends approval of this rezone request subject to conditions.

DATES OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: October 19, 2021

CITY COUNCIL: November 9, 2021

REQUEST SUMMARY

REZONE REQUEST SUMMARY:

The applicant is requesting approval of a rezone in order to construct a detached single-family residential development. The subject property was annexed into the City in October of 2001 and rezoned to R-1 (Large Lot Residential District). The property has never been developed. The applicant is requesting a rezone to R-1A (Medium Lot Residential District) to develop the site into a residential subdivision. The site plan included with this rezone request illustrates a conventional subdivision development with one entrance off Double Springs Church Road and one entrance off Cedar Ridge Road.

PROPOSED PROJECT SUMMARY:

- Single-Family Detached Residential Development with open space, landscape buffers, and an active amenity area
 - Development Area – 83.072 Acres
 - Total Lots Proposed – 141
 - Min. Lot Size – 10,000 Sf
 - Min. Dwelling Size – 1,500 Sf
 - Development Density – 1.69 DUs per acre

- Open Space – 29.1 Acres (35%; min. 15% required)

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “STANDARDS FOR ZONING MAP AMENDMENT APPLICATION DECISIONS” AS SET FORTH IN SECTION 1421.8 OF THE *CITY OF MONROE ZONING ORDINANCE*.

- (1) The location, present use, and zoning classification of the subject property, and its suitability and economic viability for use as currently zoned:** The property was annexed into the City in October of 2001. The property was rezoned to R-1 (Large Lot Residential District). The property is currently undeveloped. The property is economically viable as currently zoned. The applicant is requesting this rezone to allow for smaller residential lot sizes, while preserving a larger area of open space than required by the Zoning Ordinance.
- (2) The proposed use and zoning classification of the subject property:** The applicant is requesting the rezone to R-1A (Medium Lot Residential District) to allow for detached single-family residential development.
- (3) The existing land uses and zoning classification of nearby property, whether the zoning proposal seeks a use consistent with the use and development of adjacent and nearby property, and to what extent the zoning proposal will adversely affect adjacent or nearby property:** Properties located east of the site are zoned B-3 (Highway Commercial District) and are currently undeveloped. Properties located north and west of the site are zoned R-1 (Large Lot Residential District) and are predominantly undeveloped with one single-family residential development north of the site. Properties south of the site are located in unincorporated Walton County and developed with single-family residences on medium sized lots. The proposed residential development is consistent with development on neighboring properties located north and south of the site. The proposed residential development should not adversely affect adjacent properties. Staff has included several conditions at the end of this report to enhance the quality of the types of dwellings to be constructed throughout the development.
- (4) Whether the zoning proposal will result in a use which could adversely affect existing infrastructure including without limitation streets, transportation facilities, utilities, schools, police and fire protection, and municipal personnel:** The submitted development plan illustrates a single-family residential subdivision with a network of streets connected to existing streets adjacent to the development. Two entrances are proposed into the development with one entrance off Double Springs Church Road and one entrance off Cedar Ridge Road. Traffic generated by the development could negatively impact existing streets and nearby major street intersections. A traffic study was not submitted with this rezone request; however, staff has included a condition at the end of this report requiring a traffic study to be provided prior to preliminary plat submittal to identify impacts generated by the development. Sanitary sewer, water, natural gas and telecommunications are available to serve the development. Sanitary sewer and water services may require upgrades to existing infrastructure in order to the serve the proposed development as well as other residential projects in the vicinity of the request. Additional City services should be adequate to serve the proposed development.

(5) Whether the zoning proposal is consistent with the Comprehensive Plan: The Future Land Use Map designates this property under the category of Residential. This rezone request to develop the property with a single-family residential development is consistent with the intent of the Future Land Use Map.

(6) Whether there are other factors or existing or changing conditions regarding the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal: Under the current R-1 zoning, the subject property can be developed with the same exact development type as proposed in this rezone request. The intent of this rezone request is to allow for slightly smaller residential lot sizes and to allow for preserving a larger amount of open space.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested rezone for a residential development with the following conditions:

1. The minimum dwelling size allowed shall be 1,500 Sf.
2. The developer shall provide a minimum of six (6) building designs for the single-family detached residences.
3. All dwellings shall be constructed on crawlspace, basement, or raised slab foundations. Each side of every dwelling façade shall be constructed with brick, stone, or other masonry type product. Cement based siding such as hardiplank or other similar material is permitted. EFIS siding shall be prohibited. A variety of the required façade materials shall be used on each dwelling throughout the development. Wood, vinyl or aluminum siding may be utilized on a limited basis in the soffit and eave trim areas only.
4. All garage doors shall be side or rear facing on each dwelling. No garage doors shall be extended beyond the front entry of each dwelling, i.e. courtyard garage entries.
5. The developer shall provide a minimum of three (3) of the following amenities for recreation: pool, playground, pavilion, clubhouse/fitness center, play courts such as but not limited to tennis, volleyball, or basketball.
6. Prior to Preliminary Plat submittal, the developer shall submit a completed traffic study for review and comment.
7. Prior to Preliminary Plat submittal, the developer shall enter into a fully executed development agreement with the City of Monroe.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

REZONE PERMIT

PERMIT #:	256	DESCRIPTION:	Rezone 82.36 acres from R1 to R1A
JOB ADDRESS:	0 DOUBLE SPRINGS CH RD	LOT #:	
PARCEL ID:	M0050045	BLK #:	
SUBDIVISION:		ZONING:	R1
ISSUED TO:	Parkland Communities Inc	CONTRACTOR:	Parkland Communities Inc
ADDRESS:	299 South Main St	ADDRESS:	299 South Main St
CITY, STATE ZIP:	Alpharetta GA 30009	CITY, STATE ZIP:	Alpharetta GA 30009
PHONE:		PHONE:	
PROP. USE:		DATE ISSUED:	9/28/2021
VALUATION:	\$ 0.00	EXPIRATION:	3/27/2022
SQ FT:	0.00	PERMIT STATUS:	O
OCCP TYPE:		# OF BEDROOMS:	
CNST TYPE:		# OF BATHROOMS:	
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov	# OF OTHER ROOMS:	

FEE CODE	DESCRIPTION	AMOUNT
PZ-01	SINGLE FAMILY REZONE OR VAR REQUEST	\$ 100.00
FEE TOTAL		\$ 100.00
PAYMENTS		\$ -100.00
BALANCE		\$ 0.00


NOTES:

The Planning Commission will hear this rezone request parcel #M0050045 from R1 to R1A on December 21, 2021 at 5:30pm and the request will be heard by the Mayor and City Council on January 11, 2022 at 6:00pm in the Council Chambers at City Hall, located at 215 N. Broad St Monroe, GA 30655.

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



(APPROVED BY)

11/23/21

DATE

**NOTICE TO THE PUBLIC
CITY OF MONROE**

A petition has been filed with the City of Monroe requesting the property located at the southeast corner of the intersection of Double Springs Church Rd and Cedar Ridge Rd be rezoned from R1 to R1A. A public hearing will be held before the Monroe Planning Commission at the City Hall Auditorium at 215 N. Broad Street on December 21, 2021 at 5:30 P.M. All those having an interest should be present to voice their interest.

A petition has been filed with the City of Monroe requesting the property located at the southeast corner of the intersection of Double Springs Church Rd and Cedar Ridge Rd be rezoned from R1 to R1A. A public hearing will be held before The Mayor and City Council at the City Hall Auditorium at 215 N. Broad Street on January 11, 2022 at 6:00 P.M. All those having an interest should be present to voice their interest.

**PLEASE RUN ON THE
FOLLOWING DATE:**

December 5, 2021



November 30, 2021

To Whom It May Concern:

Be advised that a public hearing before the Planning Commission is scheduled for December 21, 2021 to consider an application for rezoning 82.36 acres located at southeast corner of the intersection of Double Springs Church Rd and Cedar Ridge Rd Monroe, GA 30656. The property is currently zoned R-1 with a request to change the zoning classification to R-1A. As an adjacent property owner, you are officially being notified of this request. Further notice of this request will appear in the Walton Tribune on December 5, 2021.

All public hearings will be held in the Council Chambers located at City Hall—215 N. Broad St Monroe, GA 30655. Public hearings regarding the rezone request for the property will be as follows:

- Planning Commission—December 21, 2021 at 5:30pm
- City Council—January 11, 2022 at 6:00pm

You are welcome to speak for or against this application during the public hearings; however, your attendance is not required. One week prior to the Planning Commission meeting, copies of the application submittal will be available for viewing online at www.monroega.com by selecting calendar and the date of the meeting you plan to attend for this application.

Please disregard an earlier notice stating the City Council meeting was on January 11, 2021. If you have any questions regarding this letter, please call the City of Monroe Code Department at 770-207-4674.

Sincerely,

Laura Wilson
Code Department Assistant

REZONE APPLICATION FORM

PERMIT NUMBER _____

I. LOCATION 0 Double Springs Church
COUNCIL DISTRICT 1
MAPNUMBER M0050045
PARCEL NUMBER M0050045

II. PRESENT ZONING R-1 REQUESTED ZONING R-1A

III. ACREAGE 82.36 PROPOSED USE Single-Family Subdivision

IV. OWNER OF RECORD ROWELL FAMILY PARTNERSHIP & STILL FAMILY REALTY LLC
ADDRESS P O BOX 1936, MONROE, GA 30655

PHONE NUMBER 770-225-4730 ext. 81 Email Tylerl@allianceco.com

The following information must be supplied by the applicant. (attach additional pages if needed)

V. ANALYSIS:

1. A description of all existing uses and zoning of nearby property
Please see attached
2. Description of the extent to which the property value of the subject property is diminished by the existing zoning district classification
Please see attached
3. The existing value of the property contained in the petition for rezoning under the existing zoning classification
Please see attached
4. The value of the property contained in the application for rezoning under the proposed zoning Classification
Please see attached
5. A description of the suitability of the subject property under the existing zoning classification
Please see attached
6. A description of the suitability of the subject property under the proposed zoning classification of the property
Please see attached

Rezoning Application
Page Two (2)

- 7. A description of any existing use of property including a description of all structures presently occupying the property _____
Please see attached _____

- 8. The length of time the property has been vacant or unused as currently zoned _____
Please see attached _____

- 9. A detailed description of all efforts taken by the property owner(s) to use the property or sell the property under the existing zoning classification _____
Please see attached _____

Applications found to be incomplete or incorrect will be rejected. See the attached calendar for deadline dates. It is the responsibility of the applicant and not the staff to ensure that a complete and accurate application is submitted.

LEGAL DESCRIPTION OF PROPERTY

Please see attached

Rezoning Application
Page Three (3)

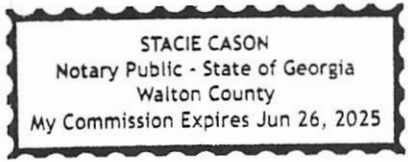
Wherefore, applicant prays that the procedures incident to the presentation of this petition be taken, and the property be rezoned accordingly.

Owner of property (signature) [Signature]
Address P.O. Box 1936, Monroe, GA 30655
Phone Number (770) 385-7500

Attorney/Agent (signature) Tyler Lasser - Applicant's representative
Address 299 South Main Street Alpharetta GA 30009
Phone Number 770-225-4730 ext. 819

Personally appeared before me the above applicant named Parkland Communities Inc. who on oath says that he/she is the Applicant for the foregoing, and that all the above statements are true to the best of his/her knowledge.

[Signature] (Notary Public) 9/15/2021 (Date)
My Commission Expires 6/26/2025



Page five (5)

For any application for P, B-1, B-2, B-3 or M-1 districts the site plan shall identify: (circle the appropriate district applied for)

- the maximum gross square footage of building area
- the maximum lot coverage of building area
- the minimum square footage of landscaped area
- the maximum height of any structure
- the minimum square footage of parking and drive areas
- the proposed number of parking spaces

For any application for the R-1, R-1A, R-2 or MH districts the site plan shall additionally identify: (circle the appropriate district applied for)

- the maximum number of residential dwelling units
- the minimum square footage of heated floor area for any residential dwelling unit
- the maximum height of any structure
- the minimum square footage of landscaped area
- the maximum lot coverage of building area
- the proposed number of parking spaces
- on all rezoning applications a revised site plan to be approved at a later date by the Mayor and City Council may be required
- yes no Applicant site plan indicates a variance requested
- for any application for multi-family residential uses, the site plan shall also identify the maximum height of any structure, location of amenities, and buffer areas: and,
- any other information as may be reasonably required by the Code Enforcement Officer.

Any applicant requesting consideration of a variance to any provision of the zoning ordinance as shown on the required site plan shall identify the variance(s) and identify for each variance shown the following information which shall confirm that the following condition(s) exist:

1. Any information which identifies that there are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography that are not applicable to other lands or structures in the same district.
2. Any information whereby a literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties of the district in which the property is located.
3. Any information supporting that granting the variance requested will not confer upon the property of the applicant any special privileges that are denied to other properties of the district in which the applicant's property is located.
4. Information clearly showing that the requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.
5. Information that the special circumstances are not the result of the actions of the applicant.
6. A description of how the variance requested is the minimum variance that will make possible the legal use of the land, building, or structure in the use district proposed.
7. Information indicating the variance is not a request to permit a use of land, buildings, or structures, which are not permitted by right in the district involved.

Rezoning Application

Page six (6)

COMMENTS

Disclosure of Campaign Contributions and/or gifts:

Each applicant has the duty of filing a disclosure report with the City if a contribution or gift totaling two hundred and fifty dollars (\$250.00) or more has been given to an official of the City of Monroe within the last two (2) years. The filing shall be within ten (10) days after the application is made, and in the case of a supporter or opponent, filing shall be at least five (5) days before the first public hearing.

I hereby withdraw the above application: Signature: _____ Date: _____



Post Office Box 1249 • Monroe, Georgia 30655
Telephone 770-267-7536 • Fax 770-267-2319

John S. Howard, Mayor
Larry A. Bradley, Vice Mayor

September 14, 2021

Elizabeth Kim
Parkland Communities, Inc.
299 South Main St, Ste A
Alpharetta, GA 30009

RE: Parcel #M0050045– Double Springs Church Rd /Cedar Ridge Rd

Dear Ms. Kim:

The City of Monroe will be able to serve a potential development located at parcel number M0290008, which lies within the incorporated boundaries of the city, with the following:

- Sanitary sewer services pending developer provided infrastructure improvements and extensions including but not limited to pump station(s), other connecting pump station upgrades, force main installation and/or gravity line(s), and connection to the City’s sanitary sewer system via any existing and future appropriate easements within City of Monroe incorporated boundaries. All connections and systems must be installed according to City specifications and in accordance with approvals of the City Wastewater Department. Any additional necessary sanitary sewer infrastructure upgrades shall be the responsibility of the developer in order to operationally connect to the City system and to ensure satisfactory system delivery.
- Water service is available pending developer provided infrastructure improvements to ensure adequate pressurization for residential use and for adequate fire flow pressures. This tract is in an area that has been deemed a low-pressure zone and for further development would require system improvements to be approved by the City Water Department. Any additional necessary water infrastructure upgrades shall be the responsibility of the developer in order to operationally connect to the City system and to ensure satisfactory system delivery.
- Natural Gas service is available.
- Telecommunications services are available.

Logan Propes

City Administrator
City of Monroe

Letter of Intent
Springfield Subdivision
Rezoning R-1 to R-1A
141 Single-Family Lots

The applicant, Parkland Communities Inc., requests a rezoning on an approximately 83.072-acre lot for the purpose of constructing a single-family residential community. To develop the site as proposed, the applicant requests to rezone the property from R-1 to R-1A.

The subject site is located roughly one mile north of State Route 10, in the northwest corner of the City of Monroe and has frontage on Double Springs Church Road and Cedar Ridge Road. Monroe High School is virtually across the street on Double Springs Road, and Monroe Elementary School is roughly a half mile away on Drake Drive.

The community, Springfield, will include up to 141 single-family dwellings, an amenity area, and abundant open space. Access to the site will be provided via Cedar Ridge Road, and Double Springs Church Road, aligned with the entrance to the Highland Creek subdivision to the north. At approximately 1.69 units per acre, the proposed density is significantly less than the maximum permitted in the current zoning district, R-1 (3.0 upa), and the proposed zoning district, R-1A (4.0 upa). In part due to Mountain Creek spanning the entirety of the eastern and southern property lines, and a perennial stream that bisects the southern corner property, 35% of the site, or 29.1 acres, is dedicated to open space. The lot dimensions permitted in the R-1A zoning district will provide the opportunity to cluster lots outside of the environmentally sensitive areas and preserve substantially more woodlands. Further open space will be located along the western property line, where adjacent to the neighboring single-family subdivision, and additional plantings will be provided within a 25-foot landscape strip along the Double Springs Church Road and Cedar Ridge Road frontage, creating year-round screening.

Located near the entrance of the site, the community's luxury amenity area will feature a pool, cabana, and outdoor furniture, in addition to a playground and open play field. A large parking area will be located adjacent to the amenity area, supplying plenty of spaces for residents and guests. Though parking will be provided, the amenity area and Double Springs Church Road will be easily accessible for pedestrians, as sidewalks will be provided on both sides of the internal street for safe and sufficient walkability.

The community will consist of two different sections with varying architectural styles and sizes. Located at the site's northwest quadrant, The Meadows at Springfield will include 34 ranch-style homes that are a minimum of 1,800 square feet with minimum 10,000 square foot lots. The remainder of the site, dubbed Creekside at Springfield, will include 107 two-story homes that are a minimum of 2,400 square feet in size with minimum 10,350 square foot lots. All dwellings will include a minimum two-car garage, and will be constructed using a mixture of materials, comprising of brick, stacked stone and fiber cement siding.

As proposed, the use will remain consistent with the Monroe Future Land Use Map from the Walton County Comprehensive Plan, as residential uses are encouraged for this area. It is also consistent with the surrounding uses including subdivisions to the south and north of the subject site. The applicant looks forward to meeting with staff as well as the community to answer all questions or concerns and is excited to be able to provide exceptional housing in a highly desirable section of the city.

Rezoning Application Analysis

A DESCRIPTION OF ALL EXISTING USES AND ZONING OF NEARBY PROPERTY

East – currently vacant parcels zoned B-3; South - single-family subdivision (unincorporated Walton County); West - currently vacant parcel zoned R-1; North - R-1 zoned single-family subdivision.

DESCRIPTION OF THE EXTENT TO WHICH THE PROPERTY VALUE OF THE SUBJECT PROPERTY IS DIMINISHED BY THE EXISTING ZONING DISTRICT CLASSIFICATION.

Physical properties including streams, a creek and steep slopes limit the amount of buildable area on the property. Under the current zoning district, significantly fewer lots would be achievable, amounting to a density that is a fraction of the maximum allowed. To attain a reasonable number of lots, additional encroachment into open space would be required. It’s likely that the subject property will not be developed under the current zoning.

THE EXISTING VALUE OF THE PROPERTY CONTAINED IN THE PETITION FOR REZONING UNDER THE EXISTING ZONING CLASSIFICATION

Please see above response.

THE VALUE OF THE PROPERTY CONTAINED IN THE APPLICATION FOR REZOING UNDER THE PROPOSED ZONING CLASSIFICATION

The applicant believes that the subject property does not have a reasonable economic use as currently zoned. The property contains a significant amount of unbuildable area, inhibiting a feasible density. The applicant submits the rezoning would allow for a use more compatible with the surrounding area and would be more economically feasible.

A DESCRIPTION OF THE SUITABILITY OF THE SUBJECT PROPERTY UNDER THE EXISTING ZONING CLASSIFICATION

Please refer to above responses.

A DESCRIPTION OF THE SUITABILITY OF THE SUBJECT PROPERTY UNDER THE PROPOSED ZONING CLASSIFICATION OF THE PROPERTY

As proposed, the use will remain consistent with the Monroe Future Land Use Map from the Walton County Comprehensive Plan, as residential uses are encouraged for this area. It is also consistent with the surrounding uses including subdivisions to the south and north of the subject site. Under the proposed zoning district, a more comparable density can be achieved.

A DESCRIPTION OF ANY EXISTING USE OF PROPERTY INCLUDING A DESCRIPTION OF ALL STRUCTURES PRESENTLY OCCUPYING THE PROPERTY

The subject site is currently vacant with no existing structures.

THE LENGTH OF TIME THE PROPERTY HAS BEEN VACANT OR UNUSED AS CURRENTLY ZONED

The subject property has not yet been developed as currently zoned.

A DETAILED DESCRIPTION OF ALL EFFORTS TAKEN BY THE PROPERTY OWNER TO USE THE PROPERTY OR SELL THE PROPERTY UNDER THE EXISTING ZONING CLASSIFICATION

Please refer to above responses.

Based upon the above reasons, the applicant feels that this is a reasonable request and that action contradictory to the zoning request will constitute a taking of property in violation of the Just Compensation Clause of the Fifth Amendment and the Due Process of the Fourteenth Amendment to the Constitution of the United States, and Article P, Section 1, Paragraph 1, and Article 1, Section 3, Paragraph 1 of the Constitution of Georgia, denying the owner viable use of its land.

SURVEY LEGAL DESCRIPTION

A parcel of land lying in Land Lots 27, 41, and 42 of the 3rd District of Walton County, Georgia, and being part of Tract 1 of the Breedlove Property and being more particularly described as follows:

Begin at a found 1.5” rod at the common corner of Land Lots 27, 28, 41, and 42; thence run South 60 Degrees 40 Minutes 48 Seconds West along the common line of Land Lots 27 and 28

for a distance of 771.29 feet to found 1/2” open top pipe laying on the easterly right-of-way of

Cedar Ridge Road (70' right-of-way); thence leaving said Land Lot Line, run North 10 Degrees 28

Minutes 25 Seconds East along said right-of-way for a distance of 1,244.62 feet to a set 5/8 ”

capped rebar (L.S.F. #1322) at the intersection of the easterly right-of-way of Cedar Ridge Road

and the southerly right-of-way of Double Springs Church Road (80' right-of-way); thence leaving

said right-of-way of Cedar Ridge Road, run South 71 Degrees 34 Minutes 13 Seconds East along

said right-of-way of Double Springs Church Road for a distance of 165.36 feet to a point, said

point laying on a non-tangent curve to the left and having a radius of 1,957.00 feet, a central angle of 18 Degrees 48 Minutes 47 Seconds, a chord bearing of South 80 Degrees 58 Minutes

37 Seconds East, and a chord distance of 639.69 feet; thence run along the arc of said curve and said right-of-way for a distance of 642.58 feet to a point; thence run North 89 Degrees 37

Minutes 00 Seconds East along said right-of-way for a distance of 333.18 feet to a point; thence

run North 88 Degrees 50 Minutes 52 Seconds East along said right-of-way for a distance of 485.45 feet to a point; thence run North 88 Degrees 33 Minutes 31 Seconds East along said right-of-way for a distance of 192.38 feet to a point at the intersection of said right-of-way and

the centerline of a creek; thence leaving said right-of-way, run along the centerline of said creek

the following courses and distances:

- South 28 Degrees 49 Minutes 17 Seconds East for a distance of 39.36 feet to a point;
- South 22 Degrees 53 Minutes 45 Seconds East for a distance of 127.57 feet to a point;
- South 01 Degrees 30 Minutes 45 Seconds West for a distance of 64.01 feet to a point;
- South 02 Degrees 20 Minutes 10 Seconds East for a distance of 45.58 feet to a point;
- South 06 Degrees 56 Minutes 45 Seconds West for a distance of 110.07 feet to a point;
- South 12 Degrees 12 Minutes 21 Seconds East for a distance of 65.64 feet to a point;
- South 03 Degrees 00 Minutes 09 Seconds West for a distance of 128.29 feet to a point;
- South 06 Degrees 42 Minutes 23 Seconds West for a distance of 44.68 feet to a point;
- South 25 Degrees 10 Minutes 22 Seconds West for a distance of 88.77 feet to a point;
- South 06 Degrees 53 Minutes 27 Seconds East for a distance of 38.01 feet to a point;
- South 13 Degrees 06 Minutes 35 Seconds West for a distance of 62.24 feet to a point;
- South 00 Degrees 37 Minutes 40 Seconds West for a distance of 50.76 feet to a point;
- South 44 Degrees 04 Minutes 33 Seconds East for a distance of 60.51 feet to a point;
- South 11 Degrees 10 Minutes 25 Seconds East for a distance of 128.33 feet to a point;
- South 12 Degrees 40 Minutes 29 Seconds East for a distance of 148.04 feet to a point;
- South 24 Degrees 01 Minutes 00 Seconds East for a distance of 145.12 feet to a point;
- South 04 Degrees 41 Minutes 37 Seconds East for a distance of 77.11 feet to a point;
- South 21 Degrees 09 Minutes 16 Seconds East for a distance of 116.65 feet to a point;
- South 19 Degrees 52 Minutes 27 Seconds West for a distance of 57.03 feet to a point;
- South 27 Degrees 52 Minutes 31 Seconds East for a distance of 147.75 feet to a point;
- South 11 Degrees 58 Minutes 10 Seconds East for a distance of 133.37 feet to a point;
- South 21 Degrees 49 Minutes 27 Seconds East for a distance of 69.52 feet to a point;
- South 58 Degrees 10 Minutes 16 Seconds East for a distance of 80.24 feet to a point;
- South 39 Degrees 54 Minutes 38 Seconds East for a distance of 27.38 feet to a point;
- South 17 Degrees 47 Minutes 58 Seconds East for a distance of 67.06 feet to a point;
- South 20 Degrees 04 Minutes 13 Seconds East for a distance of 97.17 feet to a point;
- South 75 Degrees 13 Minutes 14 Seconds West for a distance of 60.84 feet to a point;
- South 06 Degrees 43 Minutes 14 Seconds East for a distance of 88.88 feet to a point;
- South 04 Degrees 23 Minutes 42 Seconds East for a distance of 113.27 feet to a point;
- South 03 Degrees 08 Minutes 07 Seconds East for a distance of 133.38 feet to a point;
- South 00 Degrees 52 Minutes 18 Seconds East for a distance of 127.73 feet to a point;
- South 17 Degrees 37 Minutes 37 Seconds East for a distance of 50.28 feet to a point;

South 04 Degrees 17 Minutes 44 Seconds West for a distance of 34.72 feet to a point;
South 50 Degrees 41 Minutes 57 Seconds West for a distance of 56.25 feet to a point;
South 08 Degrees 54 Minutes 56 Seconds West for a distance of 73.01 feet to a point;
South 15 Degrees 48 Minutes 24 Seconds West for a distance of 74.02 feet to a point;
South 41 Degrees 29 Minutes 18 Seconds West for a distance of 114.17 feet to a point;
South 11 Degrees 43 Minutes 30 Seconds West for a distance of 64.06 feet to a point;
South 35 Degrees 29 Minutes 31 Seconds West for a distance of 45.26 feet to a point;
South 24 Degrees 23 Minutes 06 Seconds West for a distance of 52.69 feet to a point;
South 04 Degrees 02 Minutes 43 Seconds West for a distance of 57.79 feet to a point;
South 33 Degrees 35 Minutes 05 Seconds West for a distance of 55.88 feet to a point;
South 25 Degrees 01 Minutes 16 Seconds West for a distance of 26.87 feet to a point at the intersection of said creek and the common line of Land Lots 28 and 41; thence leaving the centerline of said creek, run North 32 Degrees 03 Minutes 00 Seconds West along said Land Lot Line for a distance of 1,245.87 feet to a found crimped top pipe; thence run North 32 Degrees 02 Minutes 17 Seconds West along said Land Lot Line for a distance of 370.43 feet to a found 1/2" rebar; thence run North 32 Degrees 02 Minutes 25 Seconds West along said Land Lot Line for a distance of 370.40 feet to a found 1/2" open top pipe; thence run North 31 Degrees 58 Minutes 14 Seconds West along said Land Lot Line for a distance of 911.16 feet to the POINT OF BEGINNING.
Said parcel being 3,618,597 square feet or 83.072 acres.

ZONING

THE SUBJECT PROPERTY IS ZONED R-1 PER CITY OF MONROE ZONING MAP DATED JULY 6, 2021.

THE SETBACKS FOR ZONE R-1 RESIDENTIAL PER CITY OF MONROE ZONING ORDINANCE ACCESSED ON 08/26/2020 ARE AS FOLLOWS:

- FRONT: 30 FEET
- SIDE: 10 FEET
- REAR: 25 FEET
- MAXIMUM BUILDING HEIGHT: 35 FEET

ANY SETBACKS AND BUFFERS SHOWN ARE GOVERNED BY THE LOCAL JURISDICTION AND SHOULD BE CONFIRMED IN WRITING PRIOR TO LAND PLANNING OR ANY CONSTRUCTION ACTIVITIES.

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT.

LEGEND

- | | | | |
|--|-------------------------|--|--------------------------------|
| | SIGN | | CRIMP TOP PIPE |
| | WATER VALVE | | OPEN TOP PIPE |
| | FIRE HYDRANT | | CORRUGATED METAL PIPE |
| | WATER METER | | HIGH DENSITY POLYETHYLENE PIPE |
| | SANITARY SEWER MANHOLE | | DUCTILE IRON PIPE |
| | UTILITY POLE | | POLYVINYL CHLORIDE PIPE |
| | GUY WIRE | | REINFORCED CONCRETE PIPE |
| | TELEPHONE BOX | | OUTLET CONTROL STRUCTURE |
| | TELEPHONE PEDESTAL | | HEADWALL |
| | FIBER OPTIC MARKER | | POINT OF COMMENCEMENT |
| | HARDWOOD TREE | | POINT OF BEGINNING |
| | BENCHMARK | | STORM SEWER LINE |
| | IRON PIN FOUND | | SANITARY SEWER |
| | COMPUTED POINT | | WATER LINE |
| | IRON PIN SET | | GAS LINE |
| | RW MARKER | | OVERHEAD ELECTRIC |
| | SINGLE WING CATCH BASIN | | UNDERGROUND ELECTRIC |
| | | | UNDERGROUND COMMUNICATION LINE |
| | | | PROPERTY LINE |
| | | | ADJACENT PROPERTY LINE |
| | | | FENCE |
| | | | LAND LOT |

Specimen Tree Survey Data

Specimen Tree ID Number	Size (Inches) (DBH)	Type (Common Name)	Condition Summary (Excellent, Good, Fair, Poor)
1	34	Yellow Poplar	fair
2	31	Yellow Poplar	fair
3	31	Red Maple	fair
4	31	Loblolly Pine	fair
5	44	Yellow Poplar	fair
6	30	Yellow Poplar	fair
7	39	White Oak	good
8	53	White Oak	fair

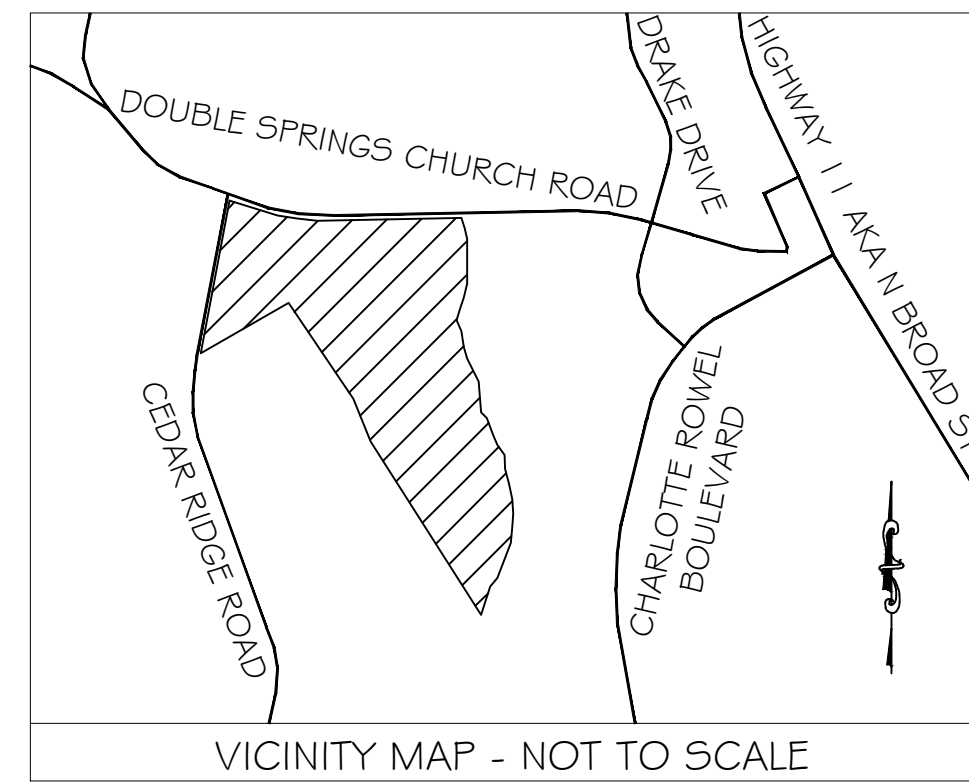
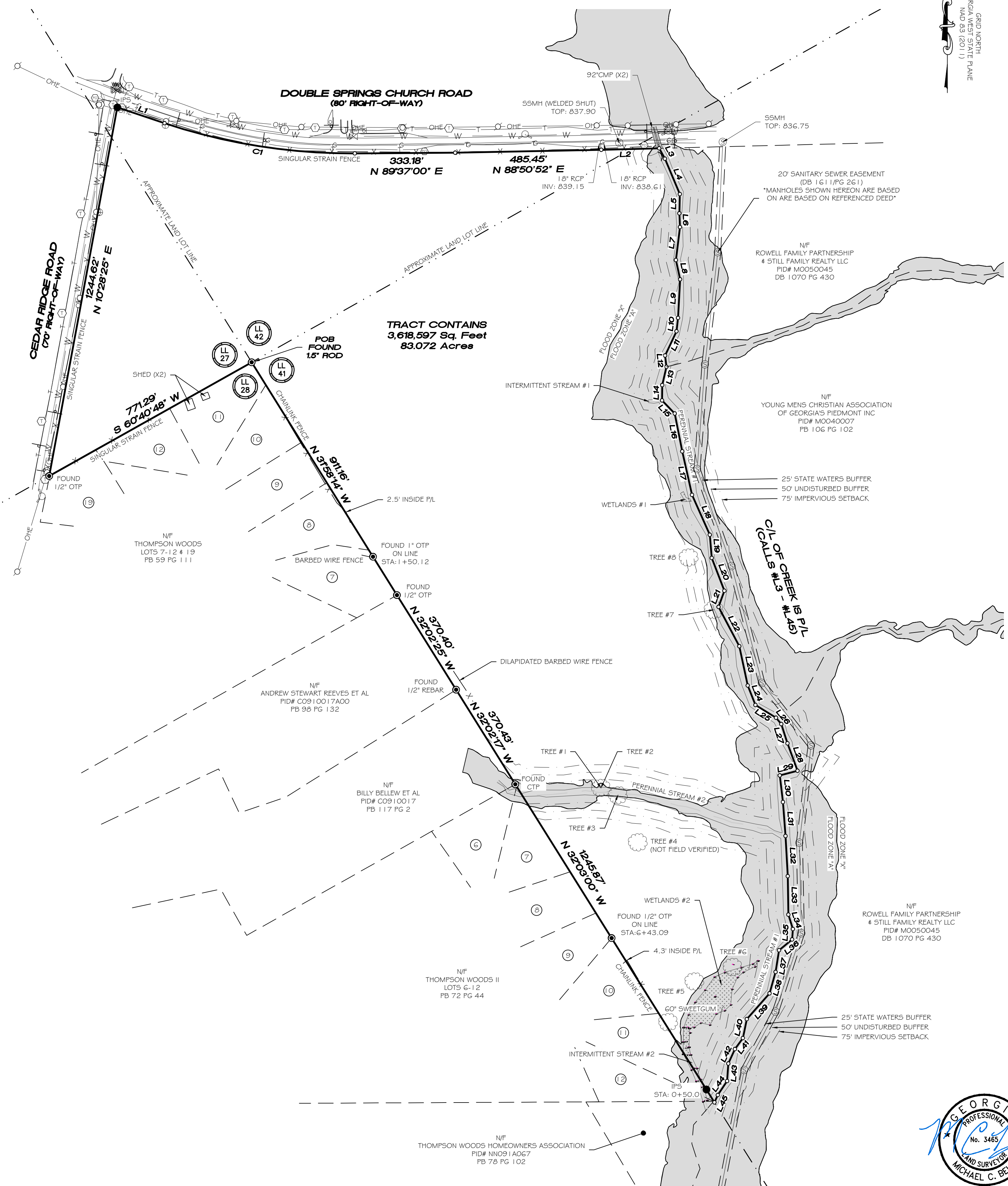
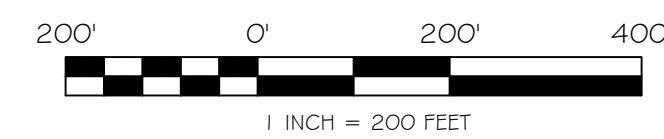
*SURVEY CERTIFICATION EXTENDS TO THE HORIZONTAL LOCATION OF THE TREES SHOWN HEREON ONLY. TREE DATA PROVIDED TO ALLIANCE BY MOORE URBAN FORESTRY.

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 71°34'13" E	165.36'
L2	N 88°33'31" E	192.38'
L3	S 28°48'17" E	39.36'
L4	S 22°53'45" E	127.57'
L5	S 01°30'45" W	64.01'
L6	S 02°20'10" E	45.58'
L7	S 06°56'45" W	70.07'
L8	S 12°12'21" E	65.64'
L9	S 03°00'09" W	128.29'
L10	S 06°42'23" W	44.68'
L11	S 25°10'22" W	88.77'
L12	S 06°53'27" E	38.01'
L13	S 13°06'35" W	62.24'
L14	S 00°37'40" W	50.76'
L15	S 44°04'38" E	60.51'
L16	S 11°02'25" E	128.33'
L17	S 12°40'29" E	148.04'
L18	S 24°01'00" E	145.12'
L19	S 04°41'37" E	77.11'
L20	S 21°09'16" E	716.65'
L21	S 19°52'27" W	57.03'
L22	S 27°52'31" E	147.75'
L23	S 11°58'10" E	133.37'
L24	S 21°49'27" E	69.52'
L25	S 58°10'16" E	80.24'
L26	S 39°54'38" E	27.38'
L27	S 17°47'58" E	67.06'
L28	S 20°04'13" E	97.17'
L29	S 75°13'14" W	60.84'
L30	S 06°43'14" E	88.88'
L31	S 04°23'42" E	713.27'
L32	S 03°08'07" E	133.38'
L33	S 00°52'18" E	127.73'
L34	S 17°37'37" E	50.28'
L35	S 04°17'44" W	34.72'
L36	S 50°41'57" W	56.25'
L37	S 08°54'56" W	73.01'
L38	S 15°48'24" W	74.02'
L39	S 41°29'18" W	114.17'
L40	S 11°43'30" W	64.06'
L41	S 35°29'31" W	45.26'
L42	S 24°23'06" W	52.69'
L43	S 04°02'43" W	57.79'
L44	S 33°35'05" W	55.88'
L45	S 25°01'16" W	26.87'

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1957.00'	642.58'	639.69'	S 80°58'37" E	18°48'47"



- SURVEY NOTES**
- All easements and rights of way of which the surveyor has knowledge are shown hereon; others may exist of which the surveyor has no knowledge and of which there is no observable evidence.
 - The property shown hereon is subject to all easements and restrictions of record both written and unwritten.
 - According to the Flood Insurance Rate Map (FIRM) for Walton County, Georgia, (Community-panel number: 13297C0130E and 13297C0130E, dated December 08, 2016), a portion of the subject property lies within Zone A and Zone X.
 - The locations of underground utilities shown hereon are based on visible structures and maps and/or field located markings provided by Ryken Utility Detection, LLC and are approximate only. The property shown hereon may be served by underground utilities which are not shown hereon. Alliance makes no warranties or claims that all utilities are marked or accurate. All Utility Companies should be contacted before beginning any design or construction. Ryken's report can be provided upon request.
 - North arrow and bearings shown hereon are based on GA West Zone - NAD83 adjusted 2011. Using Global Positional System (GPS) and obtained by RTK, measurements on 08/19/2021 using the Leica Smartnet System. All distances are horizontal ground measurements expressed in U.S. Survey Feet.
 - The field data upon which this plat is based has a closure precision of one foot in 211,988 feet and an angular error on O3 seconds per angle point and was adjusted using the compass rule method.
 - This plat has been calculated for closure and is found to be accurate within one foot in 513,190 feet.
 - Equipment used for measurement:
Angular: Leica TS 16 Robotic Total Station
Linear: Leica TS 16 Robotic Total Station
GPS: Leica GS 16 GPS Receiver
 - This plat was prepared for the exclusive use of the person, persons, or entity named hereon. This plat does not extend to any unnamed person, persons, or entity without express written certification by the surveyor naming said person, persons, or entity.
 - State, County, and Local buffers and setbacks might exist on the subject property that are not shown hereon.
 - This survey is not valid without the Original Signature and Seal of a Georgia Licensed Surveyor.
 - There was no observable evidence of Human Burials or Cemeteries on Subject Property at the time of the field survey.
 - Alliance Surveying does not warrant the existence or nonexistence of any wetlands or hazardous wastes located on the Subject Property.
 - At the time of the field survey there was no observable evidence of recent earth moving work, building construction, building additions, changes in right-of-way, or recent street and/or sidewalk repair.
 - CURRENT PROPERTY OWNER: Rowel Family Partnership & Still Family Realty, LLC
 - CURRENT SITE ADDRESS: 1125 N Broad St, Monroe, GA, 30655
PID # MO050045

SURVEYOR CERTIFICATION

TO: Parkland Communities, INC., a Georgia corporation & First American Title Insurance Company

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 11(B), 13, 16, 17 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED DURING THE MONTH OF AUGUST OF 2021.

Michael C. Bell 08/30/2021
Michael C. Bell, GA P.L.S. #3465 Date

SURVEYOR CERTIFICATION

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

Michael C. Bell 08/30/2021
Michael C. Bell, GA P.L.S. #3465 Date



ALLIANCE LAND SURVEYING
L.S.F. 1322
6095 ATLANTA HWY. STE. 100
FLOWERY BRANCH, GA. 30542
770.226.4730 J WWW.AEFATL.COM

LOCATED IN:
LAND LOT 27, 41, AND 42
3RD DISTRICT
WALTON COUNTY, GEORGIA

ALTA / NSPS LAND TITLE SURVEY FOR
PARKLAND COMMUNITIES, INC., A GEORGIA CORPORATION
& FIRST AMERICAN TITLE INSURANCE COMPANY
PART OF TRACT 1 - BREEDLOVE PROPERTY 9/D

ISSUE	DATE	DESCRIPTION
INITIAL	08/30/2021	CHANGE THE NAME OF THE PLAT AND VARIOUS TYPING ERRORS
REV. 1		
REV. 2		
REV. 3		
REV. 4		
REV. 5		
REV. 6		
REV. 7		

DRAFTED BY: TCS
CHECKED BY: MCB
PROJECT #: 21109

811 Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THIS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

COPYRIGHT 2021 ALLIANCE SURVEYING, LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ALLIANCE SURVEYING, LLC.

SHEET NO:
1 OF 2

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT.

SURVEYORS COMMENTS ON EXHIBIT B EXCEPTION AS SHOWN ON THAT CERTIFICATE OF TITLE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, HAVING A FILE NUMBER #21-0216 AND AN EFFECTIVE DATE OF 06/25/2021.

- 1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed Insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.
2. Any owner's policy issued pursuant hereto will contain under Schedule B the standard exceptions set forth on the inside cover. Any loan policy will also contain under Schedule B thereof, the standard exceptions set forth on the inside cover of this commitment relating to the owner's policy.
3. Standard Exceptions 2 and 3 may be removed from the policy when a satisfactory survey and inspection of the premises is made.
4. Taxes and assessments for the year 2021 and subsequent years, which are liens not yet due and payable.
5. Any additional taxes, interest and/or penalties which may be assessed for prior tax years by virtue of adjustment, re-appraisal, re-assessment, appeal or other amendment to the tax records of the county in which the subject property is located.
6. Rights of upper and lower riparian owners in and to the waters of creek crossing or adjoining the property, and the natural flow thereof, free from diminution or pollution (IF WATER ON PROPERTY).
7. No insurance is afforded as to the exact amount of acreage contained in the property described herein.
8. All matters as shown on that certain Survey for ALTAN/SPS Land Title Survey for Parkland Communities, Inc. and First American Title Insurance Company prepared by _____, Georgia RLS # _____, dated _____.
9. Right of Way Easement from Maggie Smith to Walton Electric Membership Corporation, dated April 12, 1937, recorded in Deed Book 23, page 128, Walton County Records. LEGAL DESCRIPTION IS VAGUE AND BLANKET IN NATURE, MAY OR MAY NOT INCLUDE THE SUBJECT PROPERTY.
10. Easements contained in Right of Way Deed from W. L. Breedlove 4 Son to State Highway Department of Georgia, recorded March 3, 1934 in Deed Book 19, page 248, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
11. Easements contained in Right of Way Deed from T. R. Breedlove to Highway Department of Georgia, recorded March 3, 1934 in Deed Book 19, page 553, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
12. Easements contained in Right of Way Deed from T. R. Breedlove, et al., to Walton County, Georgia, dated September 8, 1966, recorded in Deed Book 63, page 297, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY. RIGHT-OF-WAY OF DOUBLE SPRINGS CHURCH ROAD IS SHOWN HEREON.
13. Right of Way Easement from J. M. Thornton to Walton Electric Membership Corporation, dated January 16, 1940, recorded in Deed Book 23, page 467, aforesaid records. LEGAL DESCRIPTION IS VAGUE AND BLANKET IN NATURE, MAY OR MAY NOT INCLUDE THE SUBJECT PROPERTY.
As to Items 9 and 13, once we receive confirmation of containment letters from Walton Electric Membership Corporation, the following will be added: "The Company insures that Walton Electric Membership Corporation claims no further interest in this easement other than the right to own, operate, maintain, rebuild, renew, upgrade and modify the existing facilities located on the subject property."
14. Easement from James Iverson Breedlove and Preston Montgomery Breedlove, as Executors of the T. R. Breedlove Estate, to the City of Monroe, dated October 9, 1970, recorded in Deed Book 87, page 163, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
15. Right of Way Easement from James Iverson Breedlove and Preston Montgomery Breedlove, as Trustees and Executors of the T. R. Breedlove Estate, to Georgia Power Company, dated January 10, 1974, recorded in Deed Book 109, page 224, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
16. Right of Way Easement from James Iverson Breedlove and Preston Montgomery Breedlove as Executors of the T.R. Breedlove Estate to Georgia Power Company, dated March 15, 1974, recorded in Deed Book 109, page 335, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
17. Right of Way Easement from A. F. Thornton, as Administrator of J. M. Thornton Estate, to Transcontinental Gas Pipe Line Corporation, dated March 21, 1961, recorded in Deed Book 53, page 18, aforesaid records. LEGAL DESCRIPTION IS VAGUE AND MAY OR MAY NOT CONTAIN THE SUBJECT PROPERTY.
18. Right of Way Easement from Peggy Thornton Byrd, et al., to Transcontinental Gas Pipe Line Corporation, dated September 9, 1949, recorded in Deed Book 35, page 67, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
19. Easement per Civil Action No. 95-0434. Municipal Gas Authority of Georgia vs. Parcels of Land and Hannon, Meeks & Bagwell Surveyors & Engineers, Inc. Profit Sharing Trust, Roger R. Rowell, EPS Retirement Plan, L.P. and Jane Jay Still, et al., dated April 18, 1995, filed May 3, 1995, recorded in Deed Book 585, page 207, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY; as affected by Final Civil Suit for Condemnation for Right of Way Easement dated April 18, 1995, filed June 1, 1999; as affected by Consent Order & Final Judgment dated June 1, 1999, filed June 3, 1999, recorded in Deed Book 976, page 156, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
20. Easement per Civil Action No. 95-0434. Municipal Gas Authority of Georgia vs. Parcels of Land and Hannon, Meeks & Bagwell Surveyors & Engineers, Inc. Profit Sharing Trust, Roger R. Rowell, EPS Retirement Plan, L.P. and Jane Jay Still, et al., dated April 18, 1995, filed May 3, 1995, recorded in Deed Book 585, page 219, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY; as affected by Final Civil Suit for Condemnation for Right of Way Easement dated April 18, 1995, filed June 1, 1999; as affected by Consent Order & Final Judgment dated June 1, 1999, filed June 3, 1999, recorded in Deed Book 976, page 156, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
21. Agreement contained in Limited Warranty Deed from Mack L. Meeks and Miles H. Hannon as Trustees of the Hannon, Meeks and Bagwell, Surveyors & Engineers, Inc. Profit Sharing Trust, Roger R. Rowell, Hobson Rice, Roger Rowell, Charles McDowell & Donald Fite, as Trustees of the Rice, Rowell, McDowell & Fite, P.C., Trust Agreement, and Robert H. Still, Jr. to Ella B. Adams, dated June 14, 1988, filed July 6, 1988, recorded in Deed Book 272, page 57, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
22. Easement from Roger R. Rowell, Jane Jay Still and EPS Retirement, LP to City of Monroe, dated March 20, 2000, filed May 1, 2000, recorded in Deed Book 1083, page 67, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
23. Easement from Rowell Family Partnership, LLP to City of Monroe, dated February 12, 2003, filed February 25, 2003, recorded in Deed Book 1611, page 261, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY. SANITARY SEWER EASEMENT IS SHOWN HEREON.
24. Right of Way Deed from Jane Jay Still and Rowell Family Partnership, LLP to Walton County, dated March 15, 2012, filed March 19, 2012, recorded in Deed Book 3358, page 449, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
25. Right of Way Deed from Jane Jay Still and Rowell Family Partnership, LLP to Walton County, dated March 15, 2012, filed March 19, 2012, recorded in Deed Book 3358, page 487, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
26. Spillage Easement Agreement by and among MAB Monroe, LLC, Rowell Family Partnership, LLP and Still Family Realty, LLC, dated February 19, 2020, filed February 21, 2020, recorded in Deed Book 4539, page 333, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
27. Sanitary Sewer Easement Agreement by and among MAB Monroe, LLC, Rowell Family Partnership, LLP and Still Family Realty, LLC, dated February 19, 2020, filed February 21, 2020, recorded in Deed Book 4539, page 349, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
28. Temporary Grading Easement Agreement by and among MAB Monroe, LLC, Rowell Family Partnership, LLP and Still Family Realty, LLC, dated February 19, 2020, filed February 21, 2020, recorded in Deed Book 4539, page 370, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
29. Slope Easement Agreement by and among MAB Monroe, LLC, Rowell Family Partnership, LLP and Still Family Realty, LLC, dated February 9, 2020, filed March 4, 2020, recorded in Deed Book 4547, page 406, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
30. Slope Easement Agreement by and among MAB Monroe, LLC, Rowell Family Partnership, LLP and Still Family Realty, LLC, dated February 19, 2020, filed May 18, 2020, recorded in Deed Book 4591, page 65, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.

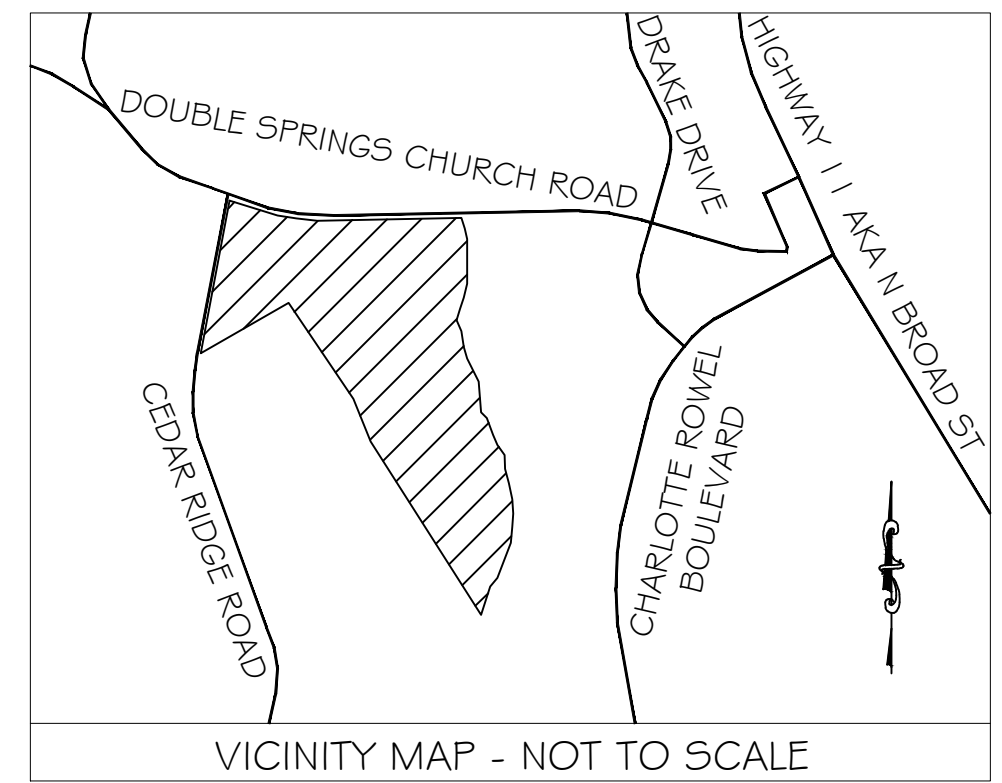
TITLE LEGAL DESCRIPTION

AN APPROXIMATE 83-ACRE PORTION OF THE FOLLOWING TRACT OF LAND:

TRACT NO. 1
All that tract or parcel of land lying and being in Land Lots 28, 29, 40, 41, 42, 62 and 63 of the 3rd Land District, Walton County, Georgia (partly in the City of Monroe) and being more particularly described as follows:
BEGINNING at a corner marking the intersection of the Westerly right of way line of Georgia Highway No. 11 with the Southerly right of way line of Breedlove Circle also known as Double Springs Road (80-foot right of way); proceed thence along the aforesaid right of way line of Georgia Highway No. 11 in a generally southeasterly direction an arc distance of 429.11 feet to a point, said arc having a radius of 5769.578 feet and being subtended by a chord length of 429.01 feet bearing South 29 degrees 08 minutes 10 seconds East; continuing along the aforesaid right of way line, proceed thence South 11 degrees 33 minutes 16 seconds East a distance of 336.04 feet to an iron pin set; leaving said right of way line, proceed thence South 84 degrees 14 minutes 28 seconds West a distance of 296.52 feet to an iron pin set; proceed thence South 02 degrees 26 minutes 48 seconds West a distance of 280.00 feet to a 1 inch hollow tube found; proceed thence South 86 degrees 23 minutes 48 seconds East a distance of 515.61 feet to an iron pin set on the aforementioned right of way line of Georgia Highway No. 11; proceed thence along the aforesaid right of way line, South 31 degrees 16 minutes 00 seconds East a distance of 287.28 feet to an iron pin set; leaving said right of way, proceed thence South 61 degrees 03 minutes 55 seconds West a distance of 293.98 feet to an axle found; proceed thence South 31 degrees 00 minutes 59 seconds East a distance of 305.34 feet to a 1 inch square rod found; proceed thence South 32 degrees 11 minutes 58 seconds East a distance of 212.48 feet to a 1 inch hollow tube found; proceed thence North 60 degrees 42 minutes 14 seconds East a distance of 291.78 feet to an iron pin set on the aforesaid right of way line of Georgia Highway No. 11; proceed thence along the aforesaid right of way line in a generally southeasterly direction an arc distance of 211.95 feet to a point, said arc having a radius of 21445.917 feet and being subtended by a chord length of 211.95 feet bearing South 30 degrees 57 minutes 43 seconds East; leaving said right of way line, proceed thence South 61 degrees 02 minutes 15 seconds West a distance of 1,111.05 feet to an axle found; proceed thence North 38 degrees 31 minutes 48 seconds West a distance of 101.97 feet to a 1 inch hollow tube found; proceed thence South 58 degrees 29 minutes 54 seconds West a distance of 448.45 feet to a 1 inch hollow tube found; proceed thence North 32 degrees 00 minutes 01 seconds West a distance of 63.16 feet to a 1 inch hollow tube found at fence corner in base of 8 inch oak; proceed thence South 59 degrees 45 minutes 27 seconds West a distance of 1,192.59 feet to an iron pin set; proceed thence North 20 degrees 51 minutes 38 seconds West a distance of 90.45 feet to a 1 inch pipe found; proceed thence South 61 degrees 11 minutes 35 seconds West a distance of 75.75 feet to a 1 inch pipe found; proceed thence North 31 degrees 02 minutes 29 seconds West a distance of 375.58 feet to a 1/2 inch pipe; proceed thence South 62 degrees 03 minutes 21 seconds West a distance of 735.08 feet to an iron pin set at bent 1 inch pipe; proceed thence South 30 degrees 56 minutes 25 seconds East a distance of 1800.63 feet to a point on the Northerly right of way line of By Pass Ramp "D"; proceed thence along the aforesaid right of way line of Ramp "D" in a generally Southwesterly direction an arc distance of 264.60 feet to a point, said arc having a radius of 1004.93 feet and being subtended by a chord length of 263.84 feet bearing South 71 degrees 08 minutes 13 seconds West; proceed thence North 26 degrees 24 minutes 22 seconds West a distance of 20.00 feet; proceed thence along the Northerly right of way line of Ramp "D" in a generally Southwesterly direction an arc distance of 502.84 feet to a point, said arc having a radius of 1024.930 feet and being subtended by a chord length of 497.81 feet bearing South 49 degrees 32 minutes 20 seconds East; proceed thence South 54 degrees 30 minutes 58 seconds East a distance of 15.00 feet to a point; continuing along the aforesaid right of way line of Ramp "D", proceed thence in a generally Southwesterly direction an arc distance of 24.98 feet to a point, said arc having a radius of 1009.930 feet and being subtended by a chord length of 24.98 feet bearing South 34 degrees 46 minutes 31 seconds West; continuing along the aforesaid right of way line of Ramp "D", proceed thence South 34 degrees 04 minutes 00 seconds West a distance of 144.77 feet to a point where the North right of way line of Ramp "D" intersects with the North right of way line of U. S. Highway No. 78; proceed thence along the aforesaid right of way line of U. S. Highway No. 78 in a generally Southwesterly direction an arc distance of 371.34 feet to a point, said arc having a radius of 5639.578 feet and being subtended by a chord length of 371.27 feet bearing South 88 degrees 26 minutes 49 seconds West; proceed thence South 00 degrees 20 minutes 00 seconds West a distance of 5.00 feet to a point; proceed thence along the aforesaid right of way line of U. S. Highway No. 78, North 89 degrees 40 minutes 00 seconds West a distance of 330.40 feet to a point; proceed thence North 00 degrees 20 minutes 00 seconds East a distance of 30.00 feet to a point; continuing along the aforesaid right of way line of U. S. Highway No. 78, proceed thence North 89 degrees 40 minutes 00 seconds West a distance of 150.00 feet to a point; proceed thence North 00 degrees 20 minutes 00 seconds East a distance of 55.00 feet to a point; continuing along the aforesaid right of way line of U. S. Highway No. 78, proceed thence North 89 degrees 40 minutes 00 seconds West a distance of 247.07 feet to a point in the center of Mountain Creek (iron pin set 16.5 feet from centerline); proceed thence in a generally northerly direction along the centerline of Mountain Creek a distance of 2,850.00 feet, more or less, to a point (said points being joined by a traverse line of North 81 degrees 43 minutes 41 seconds West a distance of 163.89 feet; thence North 29 degrees 31 minutes 14 seconds West a distance of 143.41 feet to a point; thence North 24 degrees 44 minutes 22 seconds East a distance of 285.52 feet to a point; thence North 37 degrees 07 minutes 02 seconds East a distance of 326.09 feet to a point; thence North 13 degrees 05 minutes 09 seconds East a distance of 235.27 feet to a point; thence North 25 degrees 08 minutes 29 seconds East a distance of 169.39 feet to a point; thence North 13 degrees 43 minutes 34 seconds East a distance of 231.18 feet to a point; thence North 33 degrees 48 minutes 08 seconds East a distance of 138.95 feet to a point; thence North 03 degrees 12 minutes 10 seconds East a distance of 277.17 feet to a point; thence North 04 degrees 09 minutes 03 seconds East a distance of 264.35 feet to a point; thence North 03 degrees 37 minutes 26 seconds East a distance of 160.77 feet to a point; thence North 08 degrees 09 minutes 07 seconds West a distance of 184.55 feet to a point); leaving the said centerline of Mountain Creek, proceed thence North 32 degrees 03 minutes 21 seconds West a distance of 2,895.00 feet to a 1-1/2 inch solid rod found at Land Lot corner common to Land Lots 27, 28, 41 and 42; proceed

TITLE LEGAL DESCRIPTION (CONTINUED)

thence along the Land Lot line common to Land Lots 27 and 28, South 60 degrees 39 minutes 16 seconds West a distance of 767.40 feet to an iron pin set on the Easterly edge of the right of way of Cedar Ridge (apparent 70-foot right of way); proceed thence along the aforesaid right of way line of Cedar Ridge, North 10 degrees 20 minutes 00 seconds East a distance of 1,244.39 feet to a point marking the intersection of the aforesaid right of way line of Cedar Ridge with the Southerly right of way line of Breedlove Circle also known as Double Springs Road (80-foot right of way); proceed thence along the aforesaid right of way line of Breedlove Circle South 71 degrees 05 minutes 00 seconds East a distance of 149.78 feet to a point; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence in a generally Southwesterly direction an arc distance of 663.61 feet to a point, said arc having a radius of 1949.859 feet and being subtended by a chord length of 660.42 feet bearing South 80 degrees 50 minutes 00 seconds East; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence North 89 degrees 25 minutes 00 seconds East a distance of 300.87 feet to a point; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence North 89 degrees 02 minutes 00 seconds East a distance of 322.82 feet to a point; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence North 88 degrees 40 minutes 00 seconds East a distance of 638.04 feet to a point; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence North 88 degrees 55 minutes 00 seconds East a distance of 421.98 feet to a point; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence North 89 degrees 35 minutes 00 seconds East a distance of 206.10 feet to a point; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence in a generally southeasterly direction an arc distance of 377.08 feet to a point, said arc having a radius of 2251.831 feet and being subtended by a chord length of 376.64 feet bearing South 85 degrees 37 minutes 10 seconds East; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence in a generally southeasterly direction an arc distance of 538.01 feet to a point, said arc having a radius of 3779.719 feet and being subtended by a chord length of 537.56 feet bearing South 76 degrees 44 minutes 40 seconds East; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence South 72 degrees 40 minutes 00 seconds East a distance of 361.00 feet to a point; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence in a generally southeasterly direction an arc distance of 1472.394 feet and being subtended by a chord length of 1472.394 feet bearing South 79 degrees 57 minutes 30 seconds East; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence South 87 degrees 15 minutes 00 seconds East a distance of 522.89 feet back to THE TRUE POINT OF BEGINNING.
Said tract or parcel of land is identified as Tract No. 1 containing 364.0389 acres according to a "Survey of Breedlove Property" prepared by Hannon, Meeks & Bagwell, Surveyors & Engineers, Inc., dated October 31, 1986.



GRID NORTH
GEORGIA WEST STATE PLANE
NAD 83 (2011)

SURVEY LEGAL DESCRIPTION

A parcel of land lying in Land Lots 27, 41, and 42 of the 3rd District of Walton County, Georgia, and being part of Tract 1 of the Breedlove Property and being more particularly described as follows:

Begin at a found 1.5" rod at the common corner of Land Lots 27, 28, 41, and 42; thence run South 60 Degrees 40 Minutes 48 Seconds West along the common line of Land Lots 27 and 28 for a distance of 771.29 feet to found 1/2" open top pipe laying on the easterly right-of-way of Cedar Ridge Road (70' right-of-way); thence leaving said Land Lot Line, run North 10 Degrees 20 Minutes 25 Seconds East along said right-of-way for a distance of 1,244.62 feet to a set 5/8" capped rebar (L.S.F. #1322) at the intersection of the easterly right-of-way of Cedar Ridge Road and the southerly right-of-way of Double Springs Church Road (80' right-of-way); thence leaving said right-of-way of Cedar Ridge Road, run South 71 Degrees 34 Minutes 13 Seconds East along said right-of-way of Double Springs Church Road for a distance of 165.36 feet to a point, said point laying on a non-tangent curve to the left and having a radius of 1,957.00 feet, a central angle of 18 Degrees 48 Minutes 47 Seconds, a chord bearing of South 80 Degrees 58 Minutes 37 Seconds East, and a chord distance of 639.69 feet; thence run along the arc of said curve and said right-of-way for a distance of 642.58 feet to a point; thence run North 89 Degrees 37 Minutes 00 Seconds East along said right-of-way for a distance of 333.18 feet to a point; thence run North 88 Degrees 50 Minutes 52 Seconds East along said right-of-way for a distance of 485.45 feet to a point; thence run North 88 Degrees 33 Minutes 31 Seconds East along said right-of-way for a distance of 192.38 feet to a point at the intersection of said right-of-way and the centerline of a creek; thence leaving said right-of-way, run along the centerline of said creek the following courses and distances:

- South 28 Degrees 49 Minutes 17 Seconds East for a distance of 39.36 feet to a point;
South 22 Degrees 53 Minutes 45 Seconds East for a distance of 127.57 feet to a point;
South 01 Degrees 30 Minutes 45 Seconds West for a distance of 64.01 feet to a point;
South 02 Degrees 20 Minutes 10 Seconds East for a distance of 45.58 feet to a point;
South 06 Degrees 56 Minutes 45 Seconds West for a distance of 110.07 feet to a point;
South 12 Degrees 12 Minutes 21 Seconds East for a distance of 65.64 feet to a point;
South 03 Degrees 00 Minutes 09 Seconds West for a distance of 128.29 feet to a point;
South 06 Degrees 42 Minutes 23 Seconds West for a distance of 44.68 feet to a point;
South 25 Degrees 10 Minutes 22 Seconds West for a distance of 89.77 feet to a point;
South 06 Degrees 53 Minutes 27 Seconds East for a distance of 38.01 feet to a point;
South 13 Degrees 06 Minutes 35 Seconds West for a distance of 62.24 feet to a point;
South 00 Degrees 37 Minutes 40 Seconds West for a distance of 50.76 feet to a point;
South 44 Degrees 04 Minutes 33 Seconds East for a distance of 60.51 feet to a point;
South 11 Degrees 10 Minutes 25 Seconds East for a distance of 128.33 feet to a point;
South 12 Degrees 40 Minutes 29 Seconds East for a distance of 148.04 feet to a point;
South 24 Degrees 01 Minutes 00 Seconds East for a distance of 145.12 feet to a point;
South 04 Degrees 41 Minutes 37 Seconds East for a distance of 77.11 feet to a point;
South 21 Degrees 09 Minutes 16 Seconds East for a distance of 116.65 feet to a point;
South 19 Degrees 52 Minutes 27 Seconds West for a distance of 57.03 feet to a point;
South 27 Degrees 52 Minutes 31 Seconds East for a distance of 147.75 feet to a point;
South 11 Degrees 58 Minutes 10 Seconds East for a distance of 133.37 feet to a point;
South 21 Degrees 49 Minutes 27 Seconds East for a distance of 69.52 feet to a point;
South 58 Degrees 10 Minutes 16 Seconds East for a distance of 80.24 feet to a point;
South 39 Degrees 54 Minutes 38 Seconds East for a distance of 27.38 feet to a point;
South 17 Degrees 47 Minutes 58 Seconds East for a distance of 67.06 feet to a point;
South 20 Degrees 04 Minutes 13 Seconds East for a distance of 97.17 feet to a point;
South 75 Degrees 13 Minutes 14 Seconds West for a distance of 60.84 feet to a point;
South 06 Degrees 43 Minutes 14 Seconds East for a distance of 88.88 feet to a point;
South 04 Degrees 23 Minutes 42 Seconds East for a distance of 113.27 feet to a point;
South 03 Degrees 08 Minutes 07 Seconds East for a distance of 133.38 feet to a point;
South 00 Degrees 52 Minutes 18 Seconds East for a distance of 127.73 feet to a point;
South 17 Degrees 37 Minutes 37 Seconds East for a distance of 50.28 feet to a point;
South 04 Degrees 17 Minutes 44 Seconds West for a distance of 34.72 feet to a point;
South 50 Degrees 41 Minutes 57 Seconds West for a distance of 56.25 feet to a point;
South 08 Degrees 54 Minutes 56 Seconds West for a distance of 73.01 feet to a point;
South 15 Degrees 48 Minutes 24 Seconds West for a distance of 74.02 feet to a point;
South 41 Degrees 29 Minutes 18 Seconds West for a distance of 114.17 feet to a point;
South 11 Degrees 43 Minutes 30 Seconds West for a distance of 64.06 feet to a point;
South 35 Degrees 29 Minutes 31 Seconds West for a distance of 45.26 feet to a point;
South 24 Degrees 23 Minutes 06 Seconds West for a distance of 52.69 feet to a point;
South 04 Degrees 02 Minutes 43 Seconds West for a distance of 57.79 feet to a point;
South 33 Degrees 35 Minutes 05 Seconds West for a distance of 55.88 feet to a point;
South 25 Degrees 01 Minutes 16 Seconds West for a distance of 26.87 feet to a point at the intersection of said creek and the common line of Land Lots 28 and 41; thence leaving the centerline of said creek, run North 32 Degrees 03 Minutes 00 Seconds West along said Land Lot Line for a distance of 1,245.87 feet to a found cramped top pipe; thence run North 32 Degrees 02 Minutes 17 Seconds West along said Land Lot Line for a distance of 370.43 feet to a found 1/2" rebar; thence run North 32 Degrees 02 Minutes 25 Seconds West along said Land Lot Line for a distance of 370.40 feet to a found 1/2" open top pipe; thence run North 31 Degrees 58 Minutes 14 Seconds West along said Land Lot Line for a distance of 911.16 feet to the POINT OF BEGINNING.
Said parcel being 3,618,597 square feet or 83.072 acres.

ALLIANCE LAND SURVEYING
L.S.F. 1322
6095 ATLANTA HWY. STE. 100
FLOWERY BRANCH, GA. 30542
770.226-4730 J WWW.AEFATL.COM

LOCATED IN:
LAND LOT 27, 41, AND 42
3RD DISTRICT
WALTON COUNTY, GEORGIA

ALTA / NSPS LAND TITLE SURVEY
FOR
FARMLAND COMMUNITIES, INC., A GEORGIA CORPORATION
FIRST AMERICAN TITLE INSURANCE COMPANY
PART OF TRACT 1 - BREEDLOVE PROPERTY 5/D

Table with columns: ISSUE, DATE, INITIAL, DESCRIPTION, REV. 1, REV. 2, REV. 3, REV. 4, REV. 5, REV. 6, REV. 7.

DRAFTED BY: TCS
CHECKED BY: MCB
PROJECT #: 21109

811 Know what's below. Call before you dig. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE SURVEYOR OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



To: Planning and Zoning / City Council
From: Patrick Kelley
Department: Planning, Zoning, Code and Development
Date: 12-15-2021
Description: REZONE CASE #: 256: Rezone R-1 to R-1A (Medium Lot Residential District) **ACREAGE:** ±83.072

Budget Account/Project Name: NA

Funding Source: 2021 NA

Budget Allocation: NA

Budget Available: NA

Requested Expense: \$NA **Company of Purchase:** NA

Recommendation: Staff recommends approval of this rezone request subject to conditions.

1. The minimum dwelling size allowed shall be 1,500 Sf.
2. The developer shall provide a minimum of six (6) building designs for the single-family detached residences for each neighborhood illustrated on the concept plan (The Meadows and Creekside).
3. All dwellings shall be constructed on crawlspace, basement, or raised slab foundations. Each side of every dwelling façade shall be constructed with brick, stone, or other masonry type product. Cement based siding such as hardiplank or other similar material is permitted. EFIS siding shall be prohibited. A variety of the required façade materials shall be used on each dwelling throughout the development. Wood, vinyl or aluminum siding may be utilized on a limited basis in the soffit and eave trim areas only.
4. All garage doors shall be side or rear facing on each dwelling. No garage doors shall be extended beyond the front entry of each dwelling, i.e. courtyard garage entries.
5. The developer shall provide a minimum of three (3) of the following amenities for recreation: pool, playground, pavilion, clubhouse/fitness center, play courts such as but not limited to tennis, volleyball, or basketball.
6. Prior to Preliminary Plat submittal, the developer shall submit a completed traffic study for review and comment.
7. Prior to Preliminary Plat submittal, the developer shall enter into a fully executed development agreement with the City of Monroe.



**Planning
City of Monroe, Georgia
REZONE STAFF REPORT**

APPLICATION SUMMARY

REZONE CASE #: 256

DATE: October 8, 2021, **REVISED December 10, 2021**

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: Parkland Communities Inc

PROPERTY OWNER: Rowell Family Partnership & Still Family Realty LLC

LOCATION: Southeast corner of the intersection with Double Springs Church Road and Cedar Ridge Road

ACREAGE: ±83.072

EXISTING ZONING: R-1 (Large Lot Residential District)

EXISTING LAND USE: Undeveloped

ACTION REQUESTED: Rezone R-1 to R-1A (Medium Lot Residential District)

REQUEST SUMMARY: The owners are petitioning for a rezone of this property in order to allow for a detached single-family residential development.

STAFF RECOMMENDATION: Staff recommends approval of this rezone request subject to conditions.

DATES OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: October 19, 2021

CITY COUNCIL: November 9, 2021

REQUEST SUMMARY

REZONE REQUEST SUMMARY:

The applicant is requesting approval of a rezone in order to construct a detached single-family residential development. The subject property was annexed into the City in October of 2001 and rezoned to R-1 (Large Lot Residential District). The property has never been developed. The applicant is requesting a rezone to R-1A (Medium Lot Residential District) to develop the site into a residential subdivision. The site plan included with this rezone request illustrates a conventional subdivision development with one entrance off Double Springs Church Road and one entrance off Cedar Ridge Road.

PROPOSED PROJECT SUMMARY:

- Single-Family Detached Residential Development with open space, landscape buffers, and an active amenity area
 - Development Area – 83.072 Acres
 - Total Lots Proposed – 141
 - Min. Lot Size – 10,000 Sf
 - Min. Dwelling Size – 1,500 Sf
 - Development Density – 1.69 DUs per acre

- Open Space – 29.1 Acres (35%; min. 15% required)

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “STANDARDS FOR ZONING MAP AMENDMENT APPLICATION DECISIONS” AS SET FORTH IN SECTION 1421.8 OF THE *CITY OF MONROE ZONING ORDINANCE*.

- (1) The location, present use, and zoning classification of the subject property, and its suitability and economic viability for use as currently zoned:** The property was annexed into the City in October of 2001. The property was rezoned to R-1 (Large Lot Residential District). The property is currently undeveloped. The property is economically viable as currently zoned. The applicant is requesting this rezone to allow for smaller residential lot sizes, while preserving a larger area of open space than required by the Zoning Ordinance.
- (2) The proposed use and zoning classification of the subject property:** The applicant is requesting the rezone to R-1A (Medium Lot Residential District) to allow for detached single-family residential development.
- (3) The existing land uses and zoning classification of nearby property, whether the zoning proposal seeks a use consistent with the use and development of adjacent and nearby property, and to what extent the zoning proposal will adversely affect adjacent or nearby property:** Properties located east of the site are zoned B-3 (Highway Commercial District) and are currently undeveloped. Properties located north and west of the site are zoned R-1 (Large Lot Residential District) and are predominantly undeveloped with one single-family residential development north of the site. Properties south of the site are located in unincorporated Walton County and developed with single-family residences on medium sized lots. The proposed residential development is consistent with development on neighboring properties located north and south of the site. The proposed residential development should not adversely affect adjacent properties. Staff has included several conditions at the end of this report to enhance the quality of the types of dwellings to be constructed throughout the development.
- (4) Whether the zoning proposal will result in a use which could adversely affect existing infrastructure including without limitation streets, transportation facilities, utilities, schools, police and fire protection, and municipal personnel:** The submitted development plan illustrates a single-family residential subdivision with a network of streets connected to existing streets adjacent to the development. Two entrances are proposed into the development with one entrance off Double Springs Church Road and one entrance off Cedar Ridge Road. Traffic generated by the development could negatively impact existing streets and nearby major street intersections. A traffic study was not submitted with this rezone request; however, staff has included a condition at the end of this report requiring a traffic study to be provided prior to preliminary plat submittal to identify impacts generated by the development. Sanitary sewer, water, natural gas and telecommunications are available to serve the development. Sanitary sewer and water services may require upgrades to existing infrastructure in order to the serve the proposed development as well as other residential projects in the vicinity of the request. Additional City services should be adequate to serve the proposed development.

(5) Whether the zoning proposal is consistent with the Comprehensive Plan: The Future Land Use Map designates this property under the category of Residential. This rezone request to develop the property with a single-family residential development is consistent with the intent of the Future Land Use Map.

(6) Whether there are other factors or existing or changing conditions regarding the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal: Under the current R-1 zoning, the subject property can be developed with the same exact development type as proposed in this rezone request. The intent of this rezone request is to allow for slightly smaller residential lot sizes and to allow for preserving a larger amount of open space.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested rezone for a residential development with the following conditions:

1. The minimum dwelling size allowed shall be 1,500 Sf.
2. The developer shall provide a minimum of six (6) building designs for the single-family detached residences **for each neighborhood illustrated on the concept plan (The Meadows and Creekside).**
3. All dwellings shall be constructed on crawlspace, basement, or raised slab foundations. Each side of every dwelling façade shall be constructed with brick, stone, or other masonry type product. Cement based siding such as hardiplank or other similar material is permitted. EFIS siding shall be prohibited. A variety of the required façade materials shall be used on each dwelling throughout the development. Wood, vinyl or aluminum siding may be utilized on a limited basis in the soffit and eave trim areas only.
4. All garage doors shall be side or rear facing on each dwelling. No garage doors shall be extended beyond the front entry of each dwelling, i.e. courtyard garage entries.
5. The developer shall provide a minimum of three (3) of the following amenities for recreation: pool, playground, pavilion, clubhouse/fitness center, play courts such as but not limited to tennis, volleyball, or basketball.
6. Prior to Preliminary Plat submittal, the developer shall submit a completed traffic study for review and comment.
7. Prior to Preliminary Plat submittal, the developer shall enter into a fully executed development agreement with the City of Monroe.

Background: The owners are petitioning for a rezone of this property in order to allow for a detached single-family residential development.

Attachment(s): Application, Staff report and supporting documentation





To: Planning and Zoning / City Council
From: Patrick Kelley
Department: Planning, Zoning, Code and Development
Date: 10-11-21
Description: REZONE CASE #: 256, Parkland Communities Inc., Rezone R-1 to R-1A (Medium Lot Residential District)

Budget Account/Project Name: NA
Funding Source: 2021 NA

Budget Allocation: NA
Budget Available: NA
Requested Expense: \$NA **Company of Purchase:** NA

Recommendation: Staff recommends approval of this rezone request subject to the 7 conditions listed in the staff report and any the Commission or City Council may wish to add or modify.

Background: Southeast corner of the intersection with Double Springs Church Road and Cedar Ridge Road. The owners are petitioning for a rezone of this property in order to allow for a detached single-family residential development. 141 Lots, 83.072 Acres, 1.69 Dwelling units / ac.

Attachment(s): Application, Staff report, supporting documentation and zoning plan.



Planning
City of Monroe, Georgia
REZONE STAFF REPORT

APPLICATION SUMMARY

REZONE CASE #: 256

DATE: October 8, 2021

STAFF REPORT BY: Brad Callender, City Planner

APPLICANT NAME: Parkland Communities Inc

PROPERTY OWNER: Rowell Family Partnership & Still Family Realty LLC

LOCATION: Southeast corner of the intersection with Double Springs Church Road and Cedar Ridge Road

ACREAGE: ±83.072

EXISTING ZONING: R-1 (Large Lot Residential District)

EXISTING LAND USE: Undeveloped

ACTION REQUESTED: Rezone R-1 to R-1A (Medium Lot Residential District)

REQUEST SUMMARY: The owners are petitioning for a rezone of this property in order to allow for a detached single-family residential development.

STAFF RECOMMENDATION: Staff recommends approval of this rezone request subject to conditions.

DATES OF SCHEDULED PUBLIC HEARINGS

PLANNING COMMISSION: October 19, 2021

CITY COUNCIL: November 9, 2021

REQUEST SUMMARY

REZONE REQUEST SUMMARY:

The applicant is requesting approval of a rezone in order to construct a detached single-family residential development. The subject property was annexed into the City in October of 2001 and rezoned to R-1 (Large Lot Residential District). The property has never been developed. The applicant is requesting a rezone to R-1A (Medium Lot Residential District) to develop the site into a residential subdivision. The site plan included with this rezone request illustrates a conventional subdivision development with one entrance off Double Springs Church Road and one entrance off Cedar Ridge Road.

PROPOSED PROJECT SUMMARY:

- Single-Family Detached Residential Development with open space, landscape buffers, and an active amenity area
 - Development Area – 83.072 Acres
 - Total Lots Proposed – 141
 - Min. Lot Size – 10,000 Sf
 - Min. Dwelling Size – 1,500 Sf
 - Development Density – 1.69 DUs per acre

- Open Space – 29.1 Acres (35%; min. 15% required)

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “STANDARDS FOR ZONING MAP AMENDMENT APPLICATION DECISIONS” AS SET FORTH IN SECTION 1421.8 OF THE *CITY OF MONROE ZONING ORDINANCE*.

- (1) The location, present use, and zoning classification of the subject property, and its suitability and economic viability for use as currently zoned:** The property was annexed into the City in October of 2001. The property was rezoned to R-1 (Large Lot Residential District). The property is currently undeveloped. The property is economically viable as currently zoned. The applicant is requesting this rezone to allow for smaller residential lot sizes, while preserving a larger area of open space than required by the Zoning Ordinance.
- (2) The proposed use and zoning classification of the subject property:** The applicant is requesting the rezone to R-1A (Medium Lot Residential District) to allow for detached single-family residential development.
- (3) The existing land uses and zoning classification of nearby property, whether the zoning proposal seeks a use consistent with the use and development of adjacent and nearby property, and to what extent the zoning proposal will adversely affect adjacent or nearby property:** Properties located east of the site are zoned B-3 (Highway Commercial District) and are currently undeveloped. Properties located north and west of the site are zoned R-1 (Large Lot Residential District) and are predominantly undeveloped with one single-family residential development north of the site. Properties south of the site are located in unincorporated Walton County and developed with single-family residences on medium sized lots. The proposed residential development is consistent with development on neighboring properties located north and south of the site. The proposed residential development should not adversely affect adjacent properties. Staff has included several conditions at the end of this report to enhance the quality of the types of dwellings to be constructed throughout the development.
- (4) Whether the zoning proposal will result in a use which could adversely affect existing infrastructure including without limitation streets, transportation facilities, utilities, schools, police and fire protection, and municipal personnel:** The submitted development plan illustrates a single-family residential subdivision with a network of streets connected to existing streets adjacent to the development. Two entrances are proposed into the development with one entrance off Double Springs Church Road and one entrance off Cedar Ridge Road. Traffic generated by the development could negatively impact existing streets and nearby major street intersections. A traffic study was not submitted with this rezone request; however, staff has included a condition at the end of this report requiring a traffic study to be provided prior to preliminary plat submittal to identify impacts generated by the development. Sanitary sewer, water, natural gas and telecommunications are available to serve the development. Sanitary sewer and water services may require upgrades to existing infrastructure in order to the serve the proposed development as well as other residential projects in the vicinity of the request. Additional City services should be adequate to serve the proposed development.

(5) Whether the zoning proposal is consistent with the Comprehensive Plan: The Future Land Use Map designates this property under the category of Residential. This rezone request to develop the property with a single-family residential development is consistent with the intent of the Future Land Use Map.

(6) Whether there are other factors or existing or changing conditions regarding the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal: Under the current R-1 zoning, the subject property can be developed with the same exact development type as proposed in this rezone request. The intent of this rezone request is to allow for slightly smaller residential lot sizes and to allow for preserving a larger amount of open space.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested rezone for a residential development with the following conditions:

1. The minimum dwelling size allowed shall be 1,500 Sf.
2. The developer shall provide a minimum of six (6) building designs for the single-family detached residences.
3. All dwellings shall be constructed on crawlspace, basement, or raised slab foundations. Each side of every dwelling façade shall be constructed with brick, stone, or other masonry type product. Cement based siding such as hardiplank or other similar material is permitted. EFIS siding shall be prohibited. A variety of the required façade materials shall be used on each dwelling throughout the development. Wood, vinyl or aluminum siding may be utilized on a limited basis in the soffit and eave trim areas only.
4. All garage doors shall be side or rear facing on each dwelling. No garage doors shall be extended beyond the front entry of each dwelling, i.e. courtyard garage entries.
5. The developer shall provide a minimum of three (3) of the following amenities for recreation: pool, playground, pavilion, clubhouse/fitness center, play courts such as but not limited to tennis, volleyball, or basketball.
6. Prior to Preliminary Plat submittal, the developer shall submit a completed traffic study for review and comment.
7. Prior to Preliminary Plat submittal, the developer shall enter into a fully executed development agreement with the City of Monroe.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

REZONE PERMIT

PERMIT #:	256	DESCRIPTION:	Rezone 82.36 acres from R1 to R1A
JOB ADDRESS:	0 DOUBLE SPRINGS CH RD	LOT #:	
PARCEL ID:	M0050045	BLK #:	
SUBDIVISION:		ZONING:	R1
ISSUED TO:	Parkland Communities Inc	CONTRACTOR:	Parkland Communities Inc
ADDRESS:	299 South Main St	ADDRESS:	299 South Main St
CITY, STATE ZIP:	Alpharetta GA 30009	CITY, STATE ZIP:	Alpharetta GA 30009
PHONE:		PHONE:	
PROP. USE:		DATE ISSUED:	9/28/2021
VALUATION:	\$ 0.00	EXPIRATION:	3/27/2022
SQ FT:	0.00	PERMIT STATUS:	O
OCCP TYPE:		# OF BEDROOMS	
CNST TYPE:		# OF BATHROOMS	
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov	# OF OTHER ROOMS	

FEE CODE	DESCRIPTION	AMOUNT
PZ-01	SINGLE FAMILY REZONE OR VAR REQUEST	\$ 100.00
FEE TOTAL		\$ 100.00
PAYMENTS		\$ -100.00
BALANCE		\$ 0.00


NOTES:

The Planning Commission will hear this rezone request parcel #M0050045 from R1 to R1A on December 21, 2021 at 5:30pm and the request will be heard by the Mayor and City Council on January 11, 2022 at 6:00pm in the Council Chambers at City Hall, located at 215 N. Broad St Monroe, GA 30655.

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.



(APPROVED BY)

11/23/21

DATE

**NOTICE TO THE PUBLIC
CITY OF MONROE**

A petition has been filed with the City of Monroe requesting the property located at the southeast corner of the intersection of Double Springs Church Rd and Cedar Ridge Rd be rezoned from R1 to R1A. A public hearing will be held before the Monroe Planning Commission at the City Hall Auditorium at 215 N. Broad Street on December 21, 2021 at 5:30 P.M. All those having an interest should be present to voice their interest.

A petition has been filed with the City of Monroe requesting the property located at the southeast corner of the intersection of Double Springs Church Rd and Cedar Ridge Rd be rezoned from R1 to R1A. A public hearing will be held before The Mayor and City Council at the City Hall Auditorium at 215 N. Broad Street on January 11, 2022 at 6:00 P.M. All those having an interest should be present to voice their interest.

**PLEASE RUN ON THE
FOLLOWING DATE:**

December 5, 2021



November 30, 2021

To Whom It May Concern:

Be advised that a public hearing before the Planning Commission is scheduled for December 21, 2021 to consider an application for rezoning 82.36 acres located at southeast corner of the intersection of Double Springs Church Rd and Cedar Ridge Rd Monroe, GA 30656. The property is currently zoned R-1 with a request to change the zoning classification to R-1A. As an adjacent property owner, you are officially being notified of this request. Further notice of this request will appear in the Walton Tribune on December 5, 2021.

All public hearings will be held in the Council Chambers located at City Hall—215 N. Broad St Monroe, GA 30655. Public hearings regarding the rezone request for the property will be as follows:

- Planning Commission—December 21, 2021 at 5:30pm
- City Council—January 11, 2022 at 6:00pm

You are welcome to speak for or against this application during the public hearings; however, your attendance is not required. One week prior to the Planning Commission meeting, copies of the application submittal will be available for viewing online at www.monroega.com by selecting calendar and the date of the meeting you plan to attend for this application.

Please disregard an earlier notice stating the City Council meeting was on January 11, 2021. If you have any questions regarding this letter, please call the City of Monroe Code Department at 770-207-4674.

Sincerely,

Laura Wilson
Code Department Assistant

REZONE APPLICATION FORM

PERMIT NUMBER _____

I. LOCATION 0 Double Springs Church
COUNCIL DISTRICT 1
MAPNUMBER M0050045
PARCEL NUMBER M0050045

II. PRESENT ZONING R-1 REQUESTED ZONING R-1A

III. ACREAGE 82.36 PROPOSED USE Single-Family Subdivision

IV. OWNER OF RECORD ROWELL FAMILY PARTNERSHIP & STILL FAMILY REALTY LLC
ADDRESS P O BOX 1936, MONROE, GA 30655

PHONE NUMBER 770-225-4730 ext. 81 Email Tylerl@allianceco.com

The following information must be supplied by the applicant. (attach additional pages if needed)

V. ANALYSIS:

1. A description of all existing uses and zoning of nearby property
Please see attached
2. Description of the extent to which the property value of the subject property is diminished by the existing zoning district classification
Please see attached
3. The existing value of the property contained in the petition for rezoning under the existing zoning classification
Please see attached
4. The value of the property contained in the application for rezoning under the proposed zoning Classification
Please see attached
5. A description of the suitability of the subject property under the existing zoning classification
Please see attached
6. A description of the suitability of the subject property under the proposed zoning classification of the property
Please see attached

Rezoning Application
Page Two (2)

- 7. A description of any existing use of property including a description of all structures presently occupying the property _____
Please see attached _____

- 8. The length of time the property has been vacant or unused as currently zoned _____
Please see attached _____

- 9. A detailed description of all efforts taken by the property owner(s) to use the property or sell the property under the existing zoning classification _____
Please see attached _____

Applications found to be incomplete or incorrect will be rejected. See the attached calendar for deadline dates. It is the responsibility of the applicant and not the staff to ensure that a complete and accurate application is submitted.

LEGAL DESCRIPTION OF PROPERTY

Please see attached

Rezoning Application
Page Three (3)

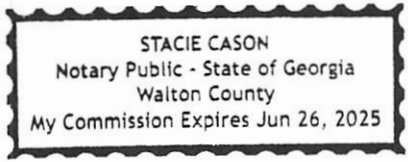
Wherefore, applicant prays that the procedures incident to the presentation of this petition be taken, and the property be rezoned accordingly.

Owner of property (signature) [Signature]
Address P.O. Box 1936, Monroe, GA 30655
Phone Number (770) 385-7500

Attorney/Agent (signature) Tyler Lasser - Applicant's representative
Address 299 South Main Street Alpharetta GA 30009
Phone Number 770-225-4730 ext. 819

Personally appeared before me the above applicant named Parkland Communities Inc. who on oath says that he/she is the Applicant for the foregoing, and that all the above statements are true to the best of his/her knowledge.

[Signature] (Notary Public) 9/15/2021 (Date)
My Commission Expires 6/26/2025



Page five (5)

For any application for P, B-1, B-2, B-3 or M-1 districts the site plan shall identify: (circle the appropriate district applied for)

- the maximum gross square footage of building area
- the maximum lot coverage of building area
- the minimum square footage of landscaped area
- the maximum height of any structure
- the minimum square footage of parking and drive areas
- the proposed number of parking spaces

For any application for the R-1, R-1A, R-2 or MH districts the site plan shall additionally identify: (circle the appropriate district applied for)

- the maximum number of residential dwelling units
- the minimum square footage of heated floor area for any residential dwelling unit
- the maximum height of any structure
- the minimum square footage of landscaped area
- the maximum lot coverage of building area
- the proposed number of parking spaces
- on all rezoning applications a revised site plan to be approved at a later date by the Mayor and City Council may be required
- yes no Applicant site plan indicates a variance requested
- for any application for multi-family residential uses, the site plan shall also identify the maximum height of any structure, location of amenities, and buffer areas: and,
- any other information as may be reasonably required by the Code Enforcement Officer.

Any applicant requesting consideration of a variance to any provision of the zoning ordinance as shown on the required site plan shall identify the variance(s) and identify for each variance shown the following information which shall confirm that the following condition(s) exist:

1. Any information which identifies that there are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography that are not applicable to other lands or structures in the same district.
2. Any information whereby a literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties of the district in which the property is located.
3. Any information supporting that granting the variance requested will not confer upon the property of the applicant any special privileges that are denied to other properties of the district in which the applicant's property is located.
4. Information clearly showing that the requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.
5. Information that the special circumstances are not the result of the actions of the applicant.
6. A description of how the variance requested is the minimum variance that will make possible the legal use of the land, building, or structure in the use district proposed.
7. Information indicating the variance is not a request to permit a use of land, buildings, or structures, which are not permitted by right in the district involved.

Rezoning Application

Page six (6)

COMMENTS

Disclosure of Campaign Contributions and/or gifts:

Each applicant has the duty of filing a disclosure report with the City if a contribution or gift totaling two hundred and fifty dollars (\$250.00) or more has been given to an official of the City of Monroe within the last two (2) years. The filing shall be within ten (10) days after the application is made, and in the case of a supporter or opponent, filing shall be at least five (5) days before the first public hearing.

I hereby withdraw the above application: Signature: _____ Date: _____



Post Office Box 1249 • Monroe, Georgia 30655
Telephone 770-267-7536 • Fax 770-267-2319

John S. Howard, Mayor
Larry A. Bradley, Vice Mayor

September 14, 2021

Elizabeth Kim
Parkland Communities, Inc.
299 South Main St, Ste A
Alpharetta, GA 30009

RE: Parcel #M0050045– Double Springs Church Rd /Cedar Ridge Rd

Dear Ms. Kim:

The City of Monroe will be able to serve a potential development located at parcel number M0290008, which lies within the incorporated boundaries of the city, with the following:

- Sanitary sewer services pending developer provided infrastructure improvements and extensions including but not limited to pump station(s), other connecting pump station upgrades, force main installation and/or gravity line(s), and connection to the City’s sanitary sewer system via any existing and future appropriate easements within City of Monroe incorporated boundaries. All connections and systems must be installed according to City specifications and in accordance with approvals of the City Wastewater Department. Any additional necessary sanitary sewer infrastructure upgrades shall be the responsibility of the developer in order to operationally connect to the City system and to ensure satisfactory system delivery.
- Water service is available pending developer provided infrastructure improvements to ensure adequate pressurization for residential use and for adequate fire flow pressures. This tract is in an area that has been deemed a low-pressure zone and for further development would require system improvements to be approved by the City Water Department. Any additional necessary water infrastructure upgrades shall be the responsibility of the developer in order to operationally connect to the City system and to ensure satisfactory system delivery.
- Natural Gas service is available.
- Telecommunications services are available.

Logan Propes

City Administrator
City of Monroe

Letter of Intent
Springfield Subdivision
Rezoning R-1 to R-1A
141 Single-Family Lots

The applicant, Parkland Communities Inc., requests a rezoning on an approximately 83.072-acre lot for the purpose of constructing a single-family residential community. To develop the site as proposed, the applicant requests to rezone the property from R-1 to R-1A.

The subject site is located roughly one mile north of State Route 10, in the northwest corner of the City of Monroe and has frontage on Double Springs Church Road and Cedar Ridge Road. Monroe High School is virtually across the street on Double Springs Road, and Monroe Elementary School is roughly a half mile away on Drake Drive.

The community, Springfield, will include up to 141 single-family dwellings, an amenity area, and abundant open space. Access to the site will be provided via Cedar Ridge Road, and Double Springs Church Road, aligned with the entrance to the Highland Creek subdivision to the north. At approximately 1.69 units per acre, the proposed density is significantly less than the maximum permitted in the current zoning district, R-1 (3.0 upa), and the proposed zoning district, R-1A (4.0 upa). In part due to Mountain Creek spanning the entirety of the eastern and southern property lines, and a perennial stream that bisects the southern corner property, 35% of the site, or 29.1 acres, is dedicated to open space. The lot dimensions permitted in the R-1A zoning district will provide the opportunity to cluster lots outside of the environmentally sensitive areas and preserve substantially more woodlands. Further open space will be located along the western property line, where adjacent to the neighboring single-family subdivision, and additional plantings will be provided within a 25-foot landscape strip along the Double Springs Church Road and Cedar Ridge Road frontage, creating year-round screening.

Located near the entrance of the site, the community's luxury amenity area will feature a pool, cabana, and outdoor furniture, in addition to a playground and open play field. A large parking area will be located adjacent to the amenity area, supplying plenty of spaces for residents and guests. Though parking will be provided, the amenity area and Double Springs Church Road will be easily accessible for pedestrians, as sidewalks will be provided on both sides of the internal street for safe and sufficient walkability.

The community will consist of two different sections with varying architectural styles and sizes. Located at the site's northwest quadrant, The Meadows at Springfield will include 34 ranch-style homes that are a minimum of 1,800 square feet with minimum 10,000 square foot lots. The remainder of the site, dubbed Creekside at Springfield, will include 107 two-story homes that are a minimum of 2,400 square feet in size with minimum 10,350 square foot lots. All dwellings will include a minimum two-car garage, and will be constructed using a mixture of materials, comprising of brick, stacked stone and fiber cement siding.

As proposed, the use will remain consistent with the Monroe Future Land Use Map from the Walton County Comprehensive Plan, as residential uses are encouraged for this area. It is also consistent with the surrounding uses including subdivisions to the south and north of the subject site. The applicant looks forward to meeting with staff as well as the community to answer all questions or concerns and is excited to be able to provide exceptional housing in a highly desirable section of the city.

Rezoning Application Analysis

A DESCRIPTION OF ALL EXISTING USES AND ZONING OF NEARBY PROPERTY

East – currently vacant parcels zoned B-3; South - single-family subdivision (unincorporated Walton County); West - currently vacant parcel zoned R-1; North - R-1 zoned single-family subdivision.

DESCRIPTION OF THE EXTENT TO WHICH THE PROPERTY VALUE OF THE SUBJECT PROPERTY IS DIMINISHED BY THE EXISTING ZONING DISTRICT CLASSIFICATION.

Physical properties including streams, a creek and steep slopes limit the amount of buildable area on the property. Under the current zoning district, significantly fewer lots would be achievable, amounting to a density that is a fraction of the maximum allowed. To attain a reasonable number of lots, additional encroachment into open space would be required. It's likely that the subject property will not be developed under the current zoning.

THE EXISTING VALUE OF THE PROPERTY CONTAINED IN THE PETITION FOR REZONING UNDER THE EXISTING ZONING CLASSIFICATION

Please see above response.

THE VALUE OF THE PROPERTY CONTAINED IN THE APPLICATION FOR REZOING UNDER THE PROPOSED ZONING CLASSIFICATION

The applicant believes that the subject property does not have a reasonable economic use as currently zoned. The property contains a significant amount of unbuildable area, inhibiting a feasible density. The applicant submits the rezoning would allow for a use more compatible with the surrounding area and would be more economically feasible.

A DESCRIPTION OF THE SUITABILITY OF THE SUBJECT PROPERTY UNDER THE EXISTING ZONING CLASSIFICATION

Please refer to above responses.

A DESCRIPTION OF THE SUITABILITY OF THE SUBJECT PROPERTY UNDER THE PROPOSED ZONING CLASSIFICATION OF THE PROPERTY

As proposed, the use will remain consistent with the Monroe Future Land Use Map from the Walton County Comprehensive Plan, as residential uses are encouraged for this area. It is also consistent with the surrounding uses including subdivisions to the south and north of the subject site. Under the proposed zoning district, a more comparable density can be achieved.

A DESCRIPTION OF ANY EXISTING USE OF PROPERTY INCLUDING A DESCRIPTION OF ALL STRUCTURES PRESENTLY OCCUPYING THE PROPERTY

The subject site is currently vacant with no existing structures.

THE LENGTH OF TIME THE PROPERTY HAS BEEN VACANT OR UNUSED AS CURRENTLY ZONED

The subject property has not yet been developed as currently zoned.

A DETAILED DESCRIPTION OF ALL EFFORTS TAKEN BY THE PROPERTY OWNER TO USE THE PROPERTY OR SELL THE PROPERTY UNDER THE EXISTING ZONING CLASSIFICATION

Please refer to above responses.

Based upon the above reasons, the applicant feels that this is a reasonable request and that action contradictory to the zoning request will constitute a taking of property in violation of the Just Compensation Clause of the Fifth Amendment and the Due Process of the Fourteenth Amendment to the Constitution of the United States, and Article P, Section 1, Paragraph 1, and Article 1, Section 3, Paragraph 1 of the Constitution of Georgia, denying the owner viable use of its land.

SURVEY LEGAL DESCRIPTION

A parcel of land lying in Land Lots 27, 41, and 42 of the 3rd District of Walton County, Georgia, and being part of Tract 1 of the Breedlove Property and being more particularly described as follows:

Begin at a found 1.5” rod at the common corner of Land Lots 27, 28, 41, and 42; thence run South 60 Degrees 40 Minutes 48 Seconds West along the common line of Land Lots 27 and 28

for a distance of 771.29 feet to found 1/2” open top pipe laying on the easterly right-of-way of

Cedar Ridge Road (70' right-of-way); thence leaving said Land Lot Line, run North 10 Degrees 28

Minutes 25 Seconds East along said right-of-way for a distance of 1,244.62 feet to a set 5/8 ”

capped rebar (L.S.F. #1322) at the intersection of the easterly right-of-way of Cedar Ridge Road

and the southerly right-of-way of Double Springs Church Road (80' right-of-way); thence leaving

said right-of-way of Cedar Ridge Road, run South 71 Degrees 34 Minutes 13 Seconds East along

said right-of-way of Double Springs Church Road for a distance of 165.36 feet to a point, said

point laying on a non-tangent curve to the left and having a radius of 1,957.00 feet, a central angle of 18 Degrees 48 Minutes 47 Seconds, a chord bearing of South 80 Degrees 58 Minutes

37 Seconds East, and a chord distance of 639.69 feet; thence run along the arc of said curve and said right-of-way for a distance of 642.58 feet to a point; thence run North 89 Degrees 37

Minutes 00 Seconds East along said right-of-way for a distance of 333.18 feet to a point; thence

run North 88 Degrees 50 Minutes 52 Seconds East along said right-of-way for a distance of 485.45 feet to a point; thence run North 88 Degrees 33 Minutes 31 Seconds East along said right-of-way for a distance of 192.38 feet to a point at the intersection of said right-of-way and

the centerline of a creek; thence leaving said right-of-way, run along the centerline of said creek

the following courses and distances:

- South 28 Degrees 49 Minutes 17 Seconds East for a distance of 39.36 feet to a point;
- South 22 Degrees 53 Minutes 45 Seconds East for a distance of 127.57 feet to a point;
- South 01 Degrees 30 Minutes 45 Seconds West for a distance of 64.01 feet to a point;
- South 02 Degrees 20 Minutes 10 Seconds East for a distance of 45.58 feet to a point;
- South 06 Degrees 56 Minutes 45 Seconds West for a distance of 110.07 feet to a point;
- South 12 Degrees 12 Minutes 21 Seconds East for a distance of 65.64 feet to a point;
- South 03 Degrees 00 Minutes 09 Seconds West for a distance of 128.29 feet to a point;
- South 06 Degrees 42 Minutes 23 Seconds West for a distance of 44.68 feet to a point;
- South 25 Degrees 10 Minutes 22 Seconds West for a distance of 88.77 feet to a point;
- South 06 Degrees 53 Minutes 27 Seconds East for a distance of 38.01 feet to a point;
- South 13 Degrees 06 Minutes 35 Seconds West for a distance of 62.24 feet to a point;
- South 00 Degrees 37 Minutes 40 Seconds West for a distance of 50.76 feet to a point;
- South 44 Degrees 04 Minutes 33 Seconds East for a distance of 60.51 feet to a point;
- South 11 Degrees 10 Minutes 25 Seconds East for a distance of 128.33 feet to a point;
- South 12 Degrees 40 Minutes 29 Seconds East for a distance of 148.04 feet to a point;
- South 24 Degrees 01 Minutes 00 Seconds East for a distance of 145.12 feet to a point;
- South 04 Degrees 41 Minutes 37 Seconds East for a distance of 77.11 feet to a point;
- South 21 Degrees 09 Minutes 16 Seconds East for a distance of 116.65 feet to a point;
- South 19 Degrees 52 Minutes 27 Seconds West for a distance of 57.03 feet to a point;
- South 27 Degrees 52 Minutes 31 Seconds East for a distance of 147.75 feet to a point;
- South 11 Degrees 58 Minutes 10 Seconds East for a distance of 133.37 feet to a point;
- South 21 Degrees 49 Minutes 27 Seconds East for a distance of 69.52 feet to a point;
- South 58 Degrees 10 Minutes 16 Seconds East for a distance of 80.24 feet to a point;
- South 39 Degrees 54 Minutes 38 Seconds East for a distance of 27.38 feet to a point;
- South 17 Degrees 47 Minutes 58 Seconds East for a distance of 67.06 feet to a point;
- South 20 Degrees 04 Minutes 13 Seconds East for a distance of 97.17 feet to a point;
- South 75 Degrees 13 Minutes 14 Seconds West for a distance of 60.84 feet to a point;
- South 06 Degrees 43 Minutes 14 Seconds East for a distance of 88.88 feet to a point;
- South 04 Degrees 23 Minutes 42 Seconds East for a distance of 113.27 feet to a point;
- South 03 Degrees 08 Minutes 07 Seconds East for a distance of 133.38 feet to a point;
- South 00 Degrees 52 Minutes 18 Seconds East for a distance of 127.73 feet to a point;
- South 17 Degrees 37 Minutes 37 Seconds East for a distance of 50.28 feet to a point;

South 04 Degrees 17 Minutes 44 Seconds West for a distance of 34.72 feet to a point;
South 50 Degrees 41 Minutes 57 Seconds West for a distance of 56.25 feet to a point;
South 08 Degrees 54 Minutes 56 Seconds West for a distance of 73.01 feet to a point;
South 15 Degrees 48 Minutes 24 Seconds West for a distance of 74.02 feet to a point;
South 41 Degrees 29 Minutes 18 Seconds West for a distance of 114.17 feet to a point;
South 11 Degrees 43 Minutes 30 Seconds West for a distance of 64.06 feet to a point;
South 35 Degrees 29 Minutes 31 Seconds West for a distance of 45.26 feet to a point;
South 24 Degrees 23 Minutes 06 Seconds West for a distance of 52.69 feet to a point;
South 04 Degrees 02 Minutes 43 Seconds West for a distance of 57.79 feet to a point;
South 33 Degrees 35 Minutes 05 Seconds West for a distance of 55.88 feet to a point;
South 25 Degrees 01 Minutes 16 Seconds West for a distance of 26.87 feet to a point at the intersection of said creek and the common line of Land Lots 28 and 41; thence leaving the centerline of said creek, run North 32 Degrees 03 Minutes 00 Seconds West along said Land Lot Line for a distance of 1,245.87 feet to a found crimped top pipe; thence run North 32 Degrees 02 Minutes 17 Seconds West along said Land Lot Line for a distance of 370.43 feet to a found 1/2" rebar; thence run North 32 Degrees 02 Minutes 25 Seconds West along said Land Lot Line for a distance of 370.40 feet to a found 1/2" open top pipe; thence run North 31 Degrees 58 Minutes 14 Seconds West along said Land Lot Line for a distance of 911.16 feet to the POINT OF BEGINNING.
Said parcel being 3,618,597 square feet or 83.072 acres.

ZONING

THE SUBJECT PROPERTY IS ZONED R-1 PER CITY OF MONROE ZONING MAP DATED JULY 6, 2021.

THE SETBACKS FOR ZONE R-1 RESIDENTIAL PER CITY OF MONROE ZONING ORDINANCE ACCESSED ON 08/26/2020 ARE AS FOLLOWS:

- FRONT: 30 FEET
- SIDE: 10 FEET
- REAR: 25 FEET
- MAXIMUM BUILDING HEIGHT: 35 FEET

ANY SETBACKS AND BUFFERS SHOWN ARE GOVERNED BY THE LOCAL JURISDICTION AND SHOULD BE CONFIRMED IN WRITING PRIOR TO LAND PLANNING OR ANY CONSTRUCTION ACTIVITIES.

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT.

LEGEND

- | | | | |
|--|-------------------------|--|--------------------------------|
| | SIGN | | CRIMP TOP PIPE |
| | WATER VALVE | | OPEN TOP PIPE |
| | FIRE HYDRANT | | CORRUGATED METAL PIPE |
| | WATER METER | | HIGH DENSITY POLYETHYLENE PIPE |
| | SANITARY SEWER MANHOLE | | DUCTILE IRON PIPE |
| | UTILITY POLE | | POLYVINYL CHLORIDE PIPE |
| | GUY WIRE | | REINFORCED CONCRETE PIPE |
| | TELEPHONE BOX | | OUTLET CONTROL STRUCTURE |
| | TELEPHONE PEDESTAL | | HEADWALL |
| | FIBER OPTIC MARKER | | POINT OF COMMENCEMENT |
| | HARDWOOD TREE | | POINT OF BEGINNING |
| | BENCHMARK | | STORM SEWER LINE |
| | IRON PIN FOUND | | SANITARY SEWER |
| | COMPUTED POINT | | WATER LINE |
| | IRON PIN SET | | GAS LINE |
| | RW MARKER | | OVERHEAD ELECTRIC |
| | SINGLE WING CATCH BASIN | | UNDERGROUND ELECTRIC |
| | | | UNDERGROUND COMMUNICATION LINE |
| | | | PROPERTY LINE |
| | | | ADJACENT PROPERTY LINE |
| | | | FENCE |
| | | | LAND LOT |

Specimen Tree Survey Data

Specimen Tree ID Number	Size (Inches) (DBH)	Type (Common Name)	Condition Summary (Excellent, Good, Fair, Poor)
1	34	Yellow Poplar	fair
2	31	Yellow Poplar	fair
3	31	Red Maple	fair
4	31	Loblolly Pine	fair
5	44	Yellow Poplar	fair
6	30	Yellow Poplar	fair
7	39	White Oak	good
8	53	White Oak	fair

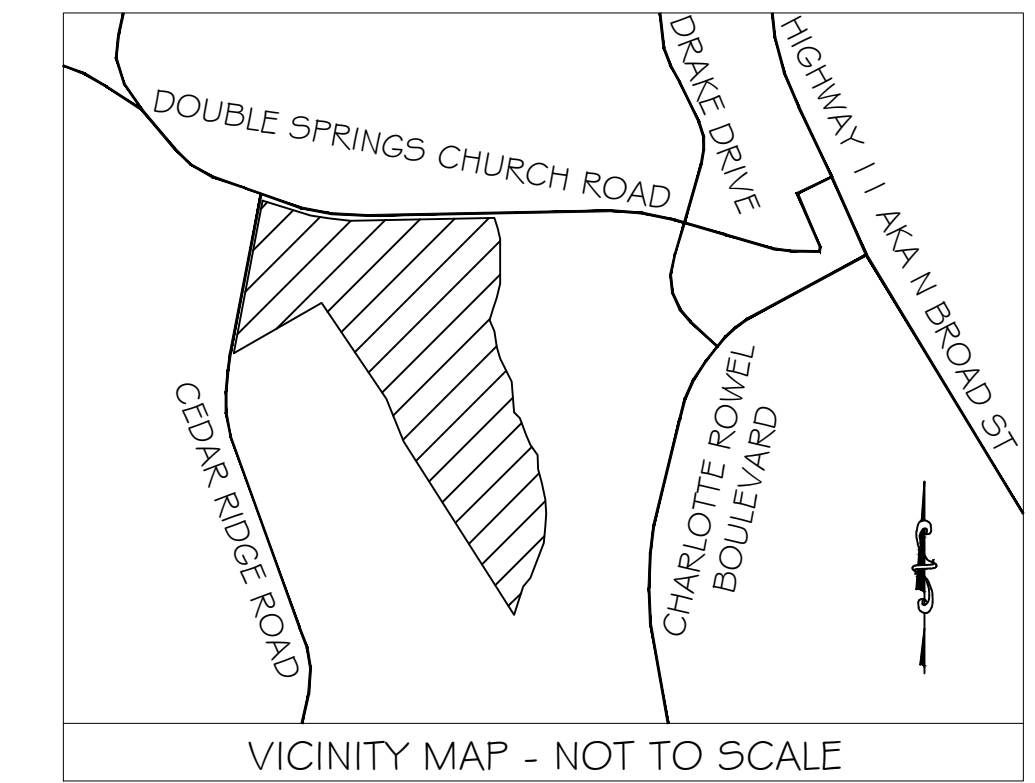
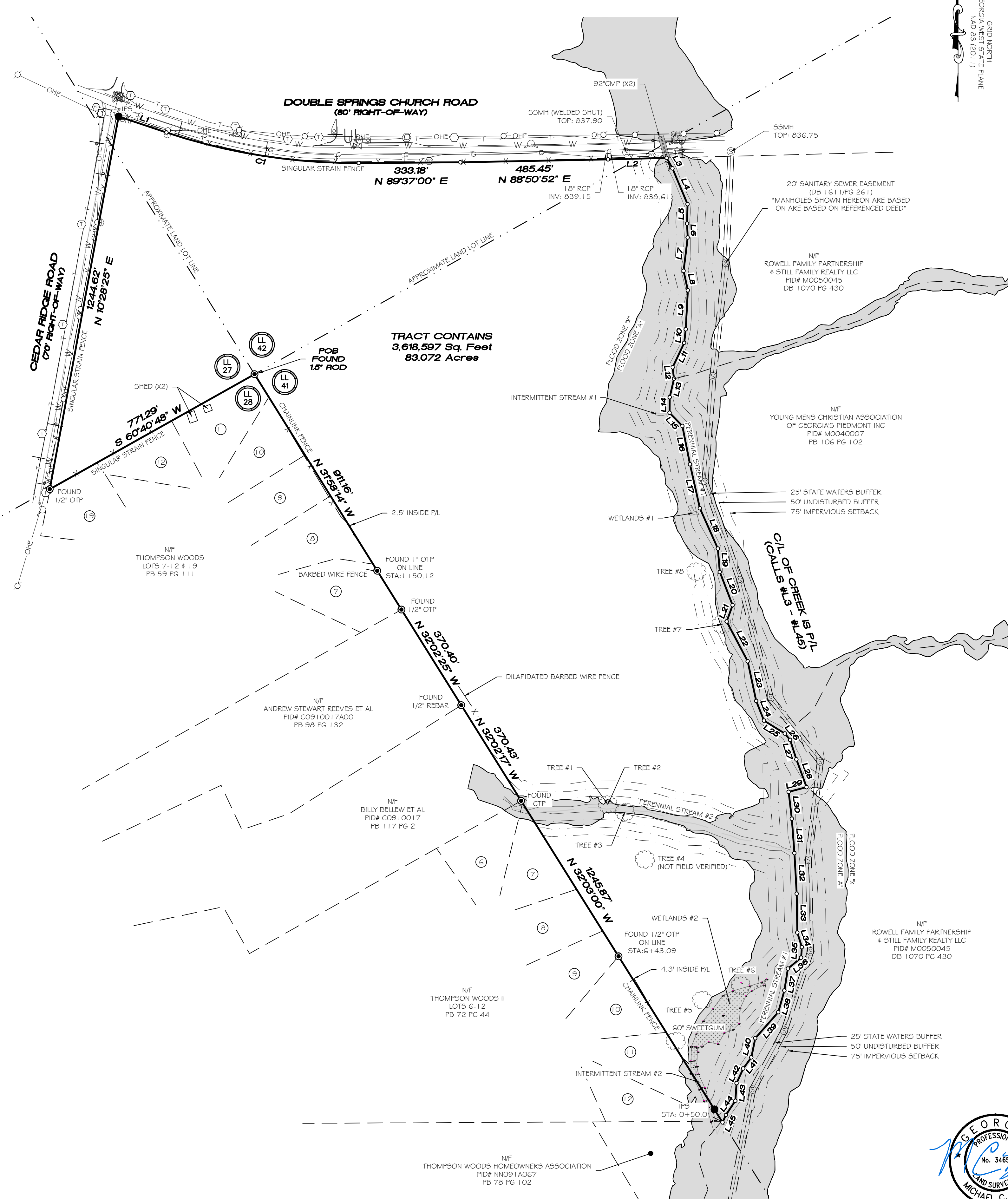
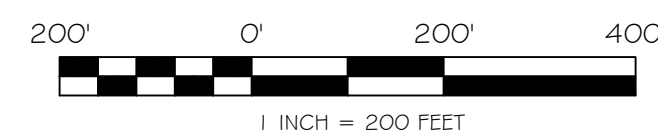
*SURVEY CERTIFICATION EXTENDS TO THE HORIZONTAL LOCATION OF THE TREES SHOWN HEREON ONLY. TREE DATA PROVIDED TO ALLIANCE BY MOORE URBAN FORESTRY.

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 71°34'13" E	165.36'
L2	N 88°33'31" E	192.38'
L3	S 28°48'17" E	39.36'
L4	S 22°53'45" E	127.57'
L5	S 01°30'45" W	64.01'
L6	S 02°20'10" E	45.58'
L7	S 06°56'45" W	70.07'
L8	S 12°12'21" E	65.64'
L9	S 03°00'09" W	128.29'
L10	S 06°42'23" W	44.68'
L11	S 25°10'22" W	88.77'
L12	S 06°53'27" E	38.01'
L13	S 13°06'35" W	62.24'
L14	S 00°37'40" W	50.76'
L15	S 44°04'33" E	60.51'
L16	S 11°02'25" E	128.33'
L17	S 12°40'29" E	148.04'
L18	S 24°01'00" E	145.12'
L19	S 04°41'37" E	77.11'
L20	S 21°09'16" E	716.65'
L21	S 19°52'27" W	57.03'
L22	S 27°52'31" E	147.75'
L23	S 11°58'10" E	133.37'
L24	S 21°49'27" E	69.52'
L25	S 58°10'16" E	80.24'
L26	S 39°54'38" E	27.38'
L27	S 17°47'58" E	67.06'
L28	S 20°04'13" E	97.17'
L29	S 75°13'14" W	60.84'
L30	S 06°43'14" E	88.88'
L31	S 04°23'42" E	713.27'
L32	S 03°08'07" E	133.38'
L33	S 00°52'18" E	127.73'
L34	S 17°37'37" E	50.28'
L35	S 04°17'44" W	34.72'
L36	S 50°41'57" W	56.25'
L37	S 08°54'56" W	73.01'
L38	S 15°48'24" W	74.02'
L39	S 41°29'18" W	114.17'
L40	S 11°43'30" W	64.06'
L41	S 35°29'31" W	45.26'
L42	S 24°23'06" W	52.69'
L43	S 04°02'43" W	57.79'
L44	S 33°35'05" W	55.88'
L45	S 25°01'16" W	26.87'

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1957.00'	642.58'	639.69'	S 80°58'37" E	18°48'47"



GRID NORTH
GEORGIA WEST STATE PLANE
NAD 83 (2011)

- SURVEY NOTES**
- All easements and rights of way of which the surveyor has knowledge are shown hereon; others may exist of which the surveyor has no knowledge and of which there is no observable evidence.
 - The property shown hereon is subject to all easements and restrictions of record both written and unwritten.
 - According to the Flood Insurance Rate Map (FIRM) for Walton County, Georgia, (Community-panel number: 13297C0130E and 13297C0130E, dated December 08, 2016), a portion of the subject property lies within Zone A and Zone X.
 - The locations of underground utilities shown hereon are based on visible structures and maps and/or field located markings provided by Ryken Utility Detection, LLC and are approximate only. The property shown hereon may be served by underground utilities which are not shown hereon. Alliance makes no warranties or claims that all utilities are marked or accurate. All Utility Companies should be contacted before beginning any design or construction. Ryken's report can be provided upon request.
 - North arrow and bearings shown hereon are based on GA West Zone - NAD83 adjusted 2011. Using Global Positional System (GPS) and obtained by RTK observations on 08/19/2021 using the Leica Smartnet System. All distances are horizontal ground measurements expressed in U.S. Survey Feet.
 - The field data upon which this plat is based has a closure precision of one foot in 211,988 feet and an angular error on O3 seconds per angle point and was adjusted using the compass rule method.
 - This plat has been calculated for closure and is found to be accurate within one foot in 513,190 feet.
 - Equipment used for measurement:
Angular: Leica TS 16 Robotic Total Station
Linear: Leica TS 16 Robotic Total Station
GPS: Leica GS 16 GPS Receiver
 - This plat was prepared for the exclusive use of the person, persons, or entity named hereon. This plat does not extend to any unnamed person, persons, or entity without express written certification by the surveyor naming said person, persons, or entity.
 - State, County, and Local buffers and setbacks might exist on the subject property that are not shown hereon.
 - This survey is not valid without the Original Signature and Seal of a Georgia Licensed Surveyor.
 - There was no observable evidence of Human Burials or Cemeteries on Subject Property at the time of the field survey.
 - Alliance Surveying does not warrant the existence or nonexistence of any wetlands or hazardous wastes located on the Subject Property.
 - At the time of the field survey there was no observable evidence of recent earth moving work, building construction, building additions, changes in right-of-way, or recent street and/or sidewalk repair.
 - CURRENT PROPERTY OWNER: Rowell Family Partnership & Still Family Realty, LLC
 - CURRENT SITE ADDRESS: 1125 N Broad St, Monroe, GA, 30655
PID # MO050045
- REFERENCES:**
PLAT OF BREEDLOVE PROPERTY BY HANNON, MECKS, & BAGWELL SURVEYORS & ENGINEERS, INC. DATED 1 Q3/11/986, LAST REVISED ON 05/11/1986, JOB # 12983-86

SURVEYOR CERTIFICATION

TO: Parkland Communities, INC., a Georgia corporation & First American Title Insurance Company

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 11(B), 13, 16, 17 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED DURING THE MONTH OF AUGUST OF 2021.

Michael C. Bell 08/30/2021
Michael C. Bell, GA P.L.S. #3465 Date

SURVEYOR CERTIFICATION

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

Michael C. Bell 08/30/2021
Michael C. Bell, GA P.L.S. #3465 Date



ALTA / NSPS LAND TITLE SURVEY

LOCATED IN:
LAND LOT 27, 41, AND 42
3RD DISTRICT
WALTON COUNTY, GEORGIA

FOR:
PARKLAND COMMUNITIES, INC., A GEORGIA CORPORATION
& FIRST AMERICAN TITLE INSURANCE COMPANY
PART OF PID #MO050045
PART OF TRACT 1 - BREEDLOVE PROPERTY 9/D

ISSUE	DATE	DESCRIPTION
INITIAL	08/30/2021	CHANGE THE NAME OF THE PLAT AND VARIOUS TEXT LABELS
REV. 1		
REV. 2		
REV. 3		
REV. 4		
REV. 5		
REV. 6		
REV. 7		

DRAFTED BY: TCS
CHECKED BY: MCB
PROJECT #: 21109

811
Know what's below.
Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THIS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

COPYRIGHT © 2021 ALLIANCE SURVEYING, LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ALLIANCE SURVEYING, LLC.

SHEET NO:
1 OF 2

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT.

SURVEYORS COMMENTS ON EXHIBIT B EXCEPTION AS SHOWN ON THAT CERTIFICATE OF TITLE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, HAVING A FILE NUMBER #21-0216 AND AN EFFECTIVE DATE OF 06/25/2021.

- 1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed Insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.
2. Any owner's policy issued pursuant hereto will contain under Schedule B the standard exceptions set forth on the inside cover. Any loan policy will also contain under Schedule B thereof, the standard exceptions set forth on the inside cover of this commitment relating to the owner's policy.
3. Standard Exceptions 2 and 3 may be removed from the policy when a satisfactory survey and inspection of the premises is made.
4. Taxes and assessments for the year 2021 and subsequent years, which are liens not yet due and payable.
5. Any additional taxes, interest and/or penalties which may be assessed for prior tax years by virtue of adjustment, re-appraisal, re-assessment, appeal or other amendment to the tax records of the county in which the subject property is located.
6. Rights of upper and lower riparian owners in and to the waters of creek crossing or adjoining the property, and the natural flow thereof, free from diminution or pollution (IF WATER ON PROPERTY).
7. No insurance is afforded as to the exact amount of acreage contained in the property described herein.

- 8. All matters as shown on that certain Survey for ALTANSPS Land Title Survey for Parkland Communities, Inc. and First American Title Insurance Company prepared by _____, Georgia RLS # _____, dated _____.
9. Right of Way Easement from Maggie Smith to Walton Electric Membership Corporation, dated April 12, 1937, recorded in Deed Book 23, page 128, Walton County Records. LEGAL DESCRIPTION IS VAGUE AND BLANKET IN NATURE, MAY OR MAY NOT INCLUDE THE SUBJECT PROPERTY.
10. Easements contained in Right of Way Deed from W. L. Breedlove 4 Son to State Highway Department of Georgia, recorded March 3, 1934 in Deed Book 19, page 248, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
11. Easements contained in Right of Way Deed from T. R. Breedlove to Highway Department of Georgia, recorded March 3, 1934 in Deed Book 19, page 553, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
12. Easements contained in Right of Way Deed from T. R. Breedlove, et al., to Walton County, Georgia, dated September 8, 1966, recorded in Deed Book 63, page 297, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY. RIGHT-OF-WAY OF DOUBLE SPRINGS CHURCH ROAD IS SHOWN HEREON.

As to Items 9 and 13, once we receive confirmation of containment letters from Walton Electric Membership Corporation, the following will be added: "The Company insures that Walton Electric Membership Corporation claims no further interest in this easement other than the right to own, operate, maintain, rebuild, renew, upgrade and modify the existing facilities located on the subject property."

- 13. Right of Way Easement from J. M. Thornton to Walton Electric Membership Corporation, dated January 16, 1940, recorded in Deed Book 23, page 467, aforesaid records. LEGAL DESCRIPTION IS VAGUE AND BLANKET IN NATURE, MAY OR MAY NOT INCLUDE THE SUBJECT PROPERTY.
14. Easement from James Iverson Breedlove and Preston Montgomery Breedlove, as Executors of the T. R. Breedlove Estate, to the City of Monroe, dated October 9, 1970, recorded in Deed Book 87, page 163, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
15. Right of Way Easement from James Iverson Breedlove and Preston Montgomery Breedlove, as Trustees and Executors of the T. R. Breedlove Estate, to Georgia Power Company, dated January 10, 1974, recorded in Deed Book 109, page 224, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
16. Right of Way Easement from James Iverson Breedlove and Preston Montgomery Breedlove as Executors of the T.R. Breedlove Estate to Georgia Power Company, dated March 15, 1974, recorded in Deed Book 109, page 335, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
17. Right of Way Easement from A. F. Thornton, as Administrator of J. M. Thornton Estate, to Transcontinental Gas Pipe Line Corporation, dated March 21, 1961, recorded in Deed Book 53, page 18, aforesaid records. LEGAL DESCRIPTION IS VAGUE AND MAY OR MAY NOT CONTAIN THE SUBJECT PROPERTY.
18. Right of Way Easement from Peggy Thornton Byrd, et al., to Transcontinental Gas Pipe Line Corporation, dated September 9, 1949, recorded in Deed Book 35, page 67, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
19. Easement per Civil Action No. 95-0434. Municipal Gas Authority of Georgia vs. Parcels of Land and Hannon, Meeks & Bagwell Surveyors & Engineers, Inc. Profit Sharing Trust, Roger R. Rowell, EPS Retirement Plan, L.P. and Jane Jay Still, et al., dated April 18, 1995, filed May 3, 1995, recorded in Deed Book 585, page 207, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY; as affected by Final Civil Suit for Condemnation for Right of Way Easement dated April 18, 1995, filed June 1, 1999; as affected by Consent Order & Final Judgment dated June 1, 1999, filed June 3, 1999, recorded in Deed Book 976, page 156, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
20. Easement per Civil Action No. 95-0434. Municipal Gas Authority of Georgia vs. Parcels of Land and Hannon, Meeks & Bagwell Surveyors & Engineers, Inc. Profit Sharing Trust, Roger R. Rowell, EPS Retirement Plan, L.P. and Jane Jay Still, et al., dated April 18, 1995, filed May 3, 1995, recorded in Deed Book 585, page 219, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY; as affected by Final Civil Suit for Condemnation for Right of Way Easement dated April 18, 1995, filed June 1, 1999; as affected by Consent Order & Final Judgment dated June 1, 1999, filed June 3, 1999, recorded in Deed Book 976, page 156, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
21. Agreement contained in Limited Warranty Deed from Mack L. Meeks and Miles H. Hannon as Trustees of the Hannon, Meeks and Bagwell, Surveyors & Engineers, Inc. Profit Sharing Trust, Roger R. Rowell, Hobson Rice, Roger Rowell, Charles McDowell & Donald Fite, as Trustees of the Rice, Rowell, McDowell & Fite, P.C., Trust Agreement, and Robert H. Still, Jr. to Ella B. Adams, dated June 14, 1988, filed July 6, 1988, recorded in Deed Book 272, page 57, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
22. Easement from Roger R. Rowell, Jane Jay Still and EPS Retirement, LP to City of Monroe, dated March 20, 2000, filed May 1, 2000, recorded in Deed Book 1083, page 67, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
23. Easement from Rowell Family Partnership, LLP to City of Monroe, dated February 12, 2003, filed February 25, 2003, recorded in Deed Book 1611, page 261, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY. SANITARY SEWER EASEMENT IS SHOWN HEREON.
24. Right of Way Deed from Jane Jay Still and Rowell Family Partnership, LLP to Walton County, dated March 15, 2012, filed March 19, 2012, recorded in Deed Book 3358, page 449, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
25. Right of Way Deed from Jane Jay Still and Rowell Family Partnership, LLP to Walton County, dated March 15, 2012, filed March 19, 2012, recorded in Deed Book 3358, page 487, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
26. Spillage Easement Agreement by and among MAB Monroe, LLC, Rowell Family Partnership, LLP and Still Family Realty, LLC, dated February 9, 2020, filed February 21, 2020, recorded in Deed Book 4539, page 333, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
27. Sanitary Sewer Easement Agreement by and among MAB Monroe, LLC, Rowell Family Partnership, LLP and Still Family Realty, LLC, dated February 19, 2020, filed February 21, 2020, recorded in Deed Book 4539, page 349, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
28. Temporary Grading Easement Agreement by and among MAB Monroe, LLC, Rowell Family Partnership, LLP and Still Family Realty, LLC, dated February 19, 2020, filed February 21, 2020, recorded in Deed Book 4539, page 370, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
29. Slope Easement Agreement by and among MAB Monroe, LLC, Rowell Family Partnership, LLP and Still Family Realty, LLC, dated February 9, 2020, filed March 4, 2020, recorded in Deed Book 4547, page 406, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.
30. Slope Easement Agreement by and among MAB Monroe, LLC, Rowell Family Partnership, LLP and Still Family Realty, LLC, dated February 19, 2020, filed May 18, 2020, recorded in Deed Book 4591, page 65, aforesaid records. LEGAL DESCRIPTION DOES NOT INCLUDE THE SUBJECT PROPERTY.

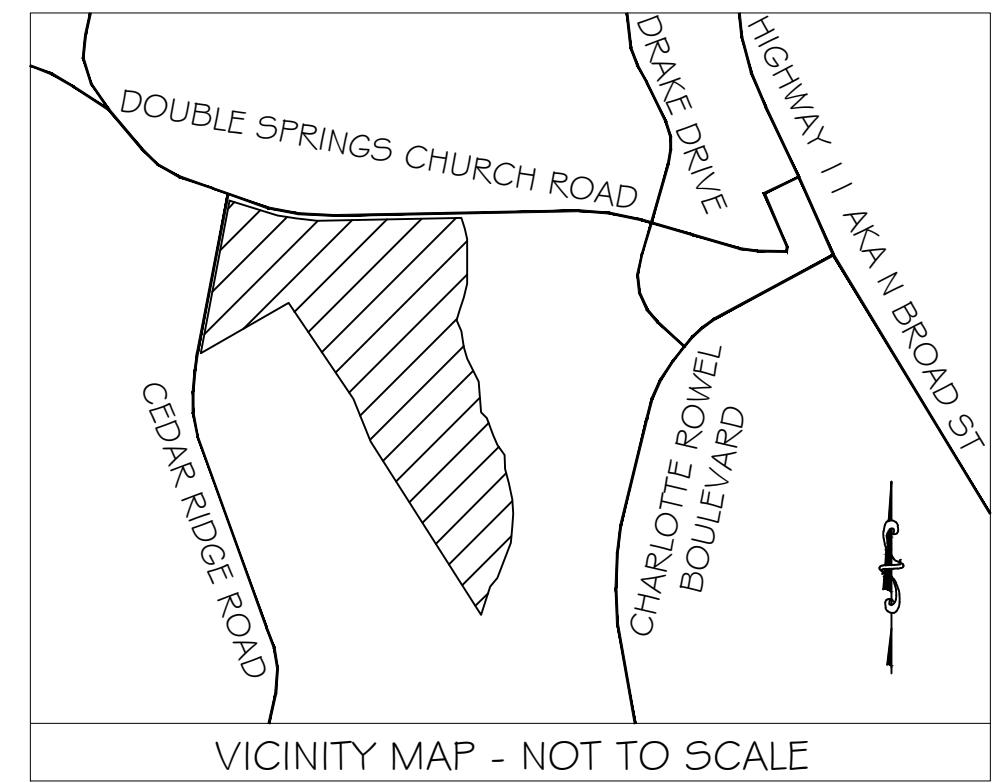
TITLE LEGAL DESCRIPTION

AN APPROXIMATE 83-ACRE PORTION OF THE FOLLOWING TRACT OF LAND:

TRACT NO. 1
All that tract or parcel of land lying and being in Land Lots 28, 29, 40, 41, 42, 62 and 63 of the 3rd Land District, Walton County, Georgia (partly in the City of Monroe) and being more particularly described as follows:
BEGINNING at a corner marking the intersection of the Westerly right of way line of Georgia Highway No. 11 with the Southerly right of way line of Breedlove Circle also known as Double Springs Road (80-foot right of way); proceed thence along the aforesaid right of way line of Georgia Highway No. 11 in a generally southeasterly direction an arc distance of 429.11 feet to a point, said arc having a radius of 5769.578 feet and being subtended by a chord length of 429.01 feet bearing South 29 degrees 08 minutes 10 seconds East; continuing along the aforesaid right of way line, proceed thence South 11 degrees 33 minutes 16 seconds East a distance of 336.04 feet to an iron pin set; leaving said right of way line, proceed thence South 84 degrees 14 minutes 28 seconds West a distance of 296.52 feet to an iron pin set; proceed thence South 02 degrees 26 minutes 48 seconds West a distance of 280.00 feet to a 1 inch hollow tube found; proceed thence South 86 degrees 23 minutes 48 seconds East a distance of 515.61 feet to an iron pin set on the aforementioned right of way line of Georgia Highway No. 11; proceed thence along the aforesaid right of way line, South 31 degrees 16 minutes 00 seconds East a distance of 287.28 feet to an iron pin set; leaving said right of way, proceed thence South 61 degrees 03 minutes 55 seconds West a distance of 293.98 feet to an axle found; proceed thence South 31 degrees 00 minutes 59 seconds East a distance of 305.34 feet to a 1 inch square rod found; proceed thence South 32 degrees 11 minutes 58 seconds East a distance of 212.48 feet to a 1 inch hollow tube found; proceed thence North 60 degrees 42 minutes 14 seconds East a distance of 291.78 feet to an iron pin set on the aforesaid right of way line of Georgia Highway No. 11; proceed thence along the aforesaid right of way line in a generally southeasterly direction an arc distance of 211.95 feet to a point, said arc having a radius of 21445.917 feet and being subtended by a chord length of 211.95 feet bearing South 30 degrees 57 minutes 43 seconds East; leaving said right of way line, proceed thence South 61 degrees 02 minutes 15 seconds West a distance of 1,111.05 feet to an axle found; proceed thence North 38 degrees 31 minutes 48 seconds West a distance of 101.97 feet to a 1 inch hollow tube found; proceed thence South 58 degrees 29 minutes 54 seconds West a distance of 448.45 feet to a 1 inch hollow tube found; proceed thence North 32 degrees 00 minutes 01 seconds West a distance of 63.16 feet to a 1 inch hollow tube found at fence corner in base of 8 inch oak; proceed thence South 59 degrees 45 minutes 27 seconds West a distance of 1,192.59 feet to an iron pin set; proceed thence North 20 degrees 51 minutes 38 seconds West a distance of 90.45 feet to a 1 inch pipe found; proceed thence South 61 degrees 11 minutes 35 seconds West a distance of 75.75 feet to a 1 inch pipe found; proceed thence North 31 degrees 02 minutes 29 seconds West a distance of 375.58 feet to a 1 inch pipe found; proceed thence South 62 degrees 03 minutes 21 seconds West a distance of 735.08 feet to an iron pin set at bent 1 inch pipe; proceed thence South 30 degrees 56 minutes 25 seconds East a distance of 1800.63 feet to a point on the Northerly right of way line of Pass Ramp "D"; proceed thence along the aforesaid right of way line of Pass Ramp "D" in a generally Southwesterly direction an arc distance of 264.60 feet to a point, said arc having a radius of 1004.93 feet and being subtended by a chord length of 263.84 feet bearing South 71 degrees 08 minutes 13 seconds West; proceed thence North 26 degrees 24 minutes 22 seconds West a distance of 20.00 feet; proceed thence along the Northerly right of way line of Ramp "D" in a generally Southwesterly direction an arc distance of 502.84 feet to a point, said arc having a radius of 1024.930 feet and being subtended by a chord length of 497.81 feet bearing South 49 degrees 32 minutes 20 seconds East; proceed thence South 54 degrees 30 minutes 58 seconds East a distance of 15.00 feet to a point; continuing along the aforesaid right of way line of Ramp "D", proceed thence in a generally Southwesterly direction an arc distance of 24.98 feet to a point, said arc having a radius of 1009.930 feet and being subtended by a chord length of 24.98 feet bearing South 34 degrees 46 minutes 31 seconds West; continuing along the aforesaid right of way line of Ramp "D", proceed thence South 34 degrees 04 minutes 00 seconds West a distance of 144.77 feet to a point where the North right of way line of Ramp "D" intersects with the North right of way line of U. S. Highway No. 78; proceed thence along the aforesaid right of way line of U. S. Highway No. 78 in a generally southeasterly direction an arc distance of 371.34 feet to a point, said arc having a radius of 5639.578 feet and being subtended by a chord length of 371.27 feet bearing South 88 degrees 26 minutes 49 seconds West; proceed thence South 00 degrees 20 minutes 00 seconds West a distance of 5.00 feet to a point; proceed thence along the aforesaid right of way line of U. S. Highway No. 78, North 89 degrees 40 minutes 00 seconds West a distance of 330.40 feet to a point; proceed thence North 00 degrees 20 minutes 00 seconds East a distance of 30.00 feet to a point; continuing along the aforesaid right of way line of U. S. Highway No. 78, proceed thence North 89 degrees 40 minutes 00 seconds West a distance of 150.00 feet to a point; proceed thence North 00 degrees 20 minutes 00 seconds East a distance of 55.00 feet to a point; continuing along the aforesaid right of way line of U. S. Highway No. 78, proceed thence North 89 degrees 40 minutes 00 seconds West a distance of 247.07 feet to a point in the center of Mountain Creek (iron pin set 16.5 feet from centerline); proceed thence in a generally northerly direction along the centerline of Mountain Creek a distance of 2,850.00 feet, more or less, to a point (said points being joined by a traverse line of North 81 degrees 43 minutes 41 seconds West a distance of 163.89 feet; thence North 29 degrees 31 minutes 14 seconds West a distance of 143.41 feet to a point; thence North 24 degrees 44 minutes 22 seconds East a distance of 285.52 feet to a point; thence North 37 degrees 07 minutes 02 seconds East a distance of 326.09 feet to a point; thence North 13 degrees 05 minutes 09 seconds East a distance of 235.27 feet to a point; thence North 25 degrees 08 minutes 29 seconds East a distance of 169.39 feet to a point; thence North 13 degrees 43 minutes 34 seconds East a distance of 231.18 feet to a point; thence North 33 degrees 48 minutes 08 seconds East a distance of 138.95 feet to a point; thence North 03 degrees 12 minutes 10 seconds East a distance of 277.17 feet to a point; thence North 04 degrees 09 minutes 03 seconds East a distance of 264.35 feet to a point; thence North 03 degrees 37 minutes 26 seconds East a distance of 160.77 feet to a point; thence North 08 degrees 09 minutes 07 seconds West a distance of 184.55 feet to a point); leaving the said centerline of Mountain Creek, proceed thence North 32 degrees 03 minutes 21 seconds West a distance of 2,895.00 feet to a 1-1/2 inch solid rod found at Land Lot corner common to Land Lots 27, 28, 41 and 42; proceed

TITLE LEGAL DESCRIPTION (CONTINUED)

thence along the Land Lot line common to Land Lots 27 and 28, South 60 degrees 39 minutes 16 seconds West a distance of 767.40 feet to an iron pin set on the Easterly edge of the right of way of Cedar Ridge (apparent 70-foot right of way); proceed thence along the aforesaid right of way line of Cedar Ridge, North 10 degrees 20 minutes 00 seconds East a distance of 1,244.39 feet to a point marking the intersection of the aforesaid right of way line of Cedar Ridge with the Southerly right of way line of Breedlove Circle also known as Double Springs Road (80-foot right of way); proceed thence along the aforesaid right of way line of Breedlove Circle South 71 degrees 05 minutes 00 seconds East a distance of 149.78 feet to a point; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence in a generally Southeasterly direction an arc distance of 663.61 feet to a point, said arc having a radius of 1949.859 feet and being subtended by a chord length of 660.42 feet bearing South 80 degrees 50 minutes 00 seconds East; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence North 89 degrees 25 minutes 00 seconds East a distance of 300.87 feet to a point; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence North 89 degrees 02 minutes 00 seconds East a distance of 322.82 feet to a point; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence North 88 degrees 40 minutes 00 seconds East a distance of 638.04 feet to a point; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence North 88 degrees 55 minutes 00 seconds East a distance of 421.98 feet to a point; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence North 89 degrees 35 minutes 00 seconds East a distance of 206.10 feet to a point; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence in a generally southeasterly direction an arc distance of 377.08 feet to a point, said arc having a radius of 2251.831 feet and being subtended by a chord length of 376.64 feet bearing South 85 degrees 37 minutes 10 seconds East; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence in a generally southeasterly direction an arc distance of 538.01 feet to a point, said arc having a radius of 3779.719 feet and being subtended by a chord length of 537.56 feet bearing South 76 degrees 44 minutes 40 seconds East; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence South 72 degrees 40 minutes 00 seconds East a distance of 361.00 feet to a point; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence in a generally southeasterly direction an arc distance of 1472.394 feet and being subtended by a chord length of 1472.394 feet bearing South 79 degrees 57 minutes 30 seconds East; continuing along the aforesaid right of way line of Breedlove Circle, proceed thence South 87 degrees 15 minutes 00 seconds East a distance of 522.89 feet back to THE TRUE POINT OF BEGINNING.
Said tract or parcel of land is identified as Tract No. 1 containing 364.0389 acres according to a "Survey of Breedlove Property" prepared by Hannon, Meeks & Bagwell, Surveyors & Engineers, Inc., dated October 31, 1986.



GRID NORTH
GEORGIA WEST STATE PLANE
NAD 83 (EO 11)

SURVEY LEGAL DESCRIPTION

A parcel of land lying in Land Lots 27, 41, and 42 of the 3rd District of Walton County, Georgia, and being part of Tract 1 of the Breedlove Property and being more particularly described as follows:

Begin at a found 1.5" rod at the common corner of Land Lots 27, 28, 41, and 42; thence run South 60 Degrees 40 Minutes 48 Seconds West along the common line of Land Lots 27 and 28 for a distance of 771.29 feet to found 1/2" open top pipe laying on the easterly right-of-way of Cedar Ridge Road (70' right-of-way); thence leaving said Land Lot Line, run North 10 Degrees 20 Minutes 25 Seconds East along said right-of-way for a distance of 1,244.62 feet to a set 5/8" capped rebar (L.S.F. #1322) at the intersection of the easterly right-of-way of Cedar Ridge Road and the southerly right-of-way of Double Springs Church Road (80' right-of-way); thence leaving said right-of-way of Cedar Ridge Road, run South 71 Degrees 34 Minutes 13 Seconds East along said right-of-way of Double Springs Church Road for a distance of 165.36 feet to a point, said point laying on a non-tangent curve to the left and having a radius of 1,957.00 feet, a central angle of 18 Degrees 48 Minutes 47 Seconds, a chord bearing of South 80 Degrees 58 Minutes 37 Seconds East, and a chord distance of 639.69 feet; thence run along the arc of said curve and said right-of-way for a distance of 642.58 feet to a point; thence run North 89 Degrees 37 Minutes 00 Seconds East along said right-of-way for a distance of 335.18 feet to a point; thence run North 88 Degrees 50 Minutes 52 Seconds East along said right-of-way for a distance of 485.45 feet to a point; thence run North 88 Degrees 33 Minutes 31 Seconds East along said right-of-way for a distance of 192.38 feet to a point at the intersection of said right-of-way and the centerline of a creek; thence leaving said right-of-way, run along the centerline of said creek the following courses and distances:

- South 28 Degrees 49 Minutes 17 Seconds East for a distance of 39.36 feet to a point;
South 22 Degrees 53 Minutes 45 Seconds East for a distance of 127.57 feet to a point;
South 01 Degrees 30 Minutes 45 Seconds West for a distance of 64.01 feet to a point;
South 02 Degrees 20 Minutes 10 Seconds East for a distance of 45.58 feet to a point;
South 06 Degrees 56 Minutes 45 Seconds West for a distance of 110.07 feet to a point;
South 12 Degrees 12 Minutes 21 Seconds East for a distance of 65.64 feet to a point;
South 03 Degrees 00 Minutes 09 Seconds West for a distance of 128.29 feet to a point;
South 06 Degrees 42 Minutes 23 Seconds West for a distance of 44.68 feet to a point;
South 25 Degrees 10 Minutes 22 Seconds West for a distance of 89.77 feet to a point;
South 06 Degrees 53 Minutes 27 Seconds East for a distance of 38.01 feet to a point;
South 13 Degrees 06 Minutes 35 Seconds West for a distance of 62.24 feet to a point;
South 00 Degrees 37 Minutes 40 Seconds West for a distance of 50.76 feet to a point;
South 44 Degrees 04 Minutes 33 Seconds East for a distance of 60.51 feet to a point;
South 11 Degrees 10 Minutes 25 Seconds East for a distance of 128.33 feet to a point;
South 12 Degrees 40 Minutes 29 Seconds East for a distance of 148.04 feet to a point;
South 24 Degrees 01 Minutes 00 Seconds East for a distance of 145.12 feet to a point;
South 04 Degrees 41 Minutes 37 Seconds East for a distance of 77.11 feet to a point;
South 21 Degrees 09 Minutes 16 Seconds East for a distance of 116.65 feet to a point;
South 19 Degrees 52 Minutes 27 Seconds West for a distance of 57.03 feet to a point;
South 27 Degrees 52 Minutes 31 Seconds East for a distance of 147.75 feet to a point;
South 11 Degrees 58 Minutes 10 Seconds East for a distance of 133.37 feet to a point;
South 21 Degrees 49 Minutes 27 Seconds East for a distance of 69.52 feet to a point;
South 58 Degrees 10 Minutes 16 Seconds East for a distance of 80.24 feet to a point;
South 39 Degrees 54 Minutes 38 Seconds East for a distance of 27.38 feet to a point;
South 17 Degrees 47 Minutes 58 Seconds East for a distance of 67.06 feet to a point;
South 20 Degrees 04 Minutes 13 Seconds East for a distance of 97.17 feet to a point;
South 75 Degrees 13 Minutes 14 Seconds West for a distance of 60.84 feet to a point;
South 06 Degrees 43 Minutes 14 Seconds East for a distance of 88.88 feet to a point;
South 04 Degrees 23 Minutes 42 Seconds East for a distance of 113.27 feet to a point;
South 03 Degrees 08 Minutes 07 Seconds East for a distance of 133.38 feet to a point;
South 00 Degrees 52 Minutes 08 Seconds East for a distance of 127.73 feet to a point;
South 17 Degrees 37 Minutes 37 Seconds East for a distance of 50.28 feet to a point;
South 04 Degrees 17 Minutes 44 Seconds West for a distance of 34.72 feet to a point;
South 50 Degrees 41 Minutes 57 Seconds West for a distance of 56.25 feet to a point;
South 08 Degrees 54 Minutes 56 Seconds West for a distance of 73.01 feet to a point;
South 15 Degrees 48 Minutes 24 Seconds West for a distance of 74.02 feet to a point;
South 41 Degrees 29 Minutes 18 Seconds West for a distance of 114.17 feet to a point;
South 11 Degrees 43 Minutes 30 Seconds West for a distance of 64.06 feet to a point;
South 35 Degrees 29 Minutes 31 Seconds West for a distance of 45.26 feet to a point;
South 24 Degrees 23 Minutes 06 Seconds West for a distance of 52.69 feet to a point;
South 04 Degrees 02 Minutes 43 Seconds West for a distance of 57.79 feet to a point;
South 33 Degrees 35 Minutes 05 Seconds West for a distance of 55.88 feet to a point;
South 25 Degrees 01 Minutes 16 Seconds West for a distance of 26.87 feet to a point at the intersection of said creek and the common line of Land Lots 28 and 41; thence leaving the centerline of said creek, run North 32 Degrees 03 Minutes 00 Seconds West along said Land Lot Line for a distance of 1,245.87 feet to a found cramped top pipe; thence run North 32 Degrees 02 Minutes 17 Seconds West along said Land Lot Line for a distance of 370.43 feet to a found 1/2" rebar; thence run North 32 Degrees 02 Minutes 25 Seconds West along said Land Lot Line for a distance of 370.40 feet to a found 1/2" open top pipe; thence run North 31 Degrees 58 Minutes 14 Seconds West along said Land Lot Line for a distance of 911.16 feet to the POINT OF BEGINNING.
Said parcel being 3,618,597 square feet or 83.072 acres.

ALLIANCE LAND SURVEYING
L.S.F. 1322
6095 ATLANTA HWY. STE. 100
FLOWERY BRANCH, GA. 30542
770.226-4730 J WWW.AEFATL.COM

LOCATED IN:
LAND LOT 27, 41, AND 42
3RD DISTRICT
WALTON COUNTY, GEORGIA

ALTA / NSPS LAND TITLE SURVEY FOR
FARMLAND COMMUNITIES, INC., A GEORGIA CORPORATION
FIRST AMERICAN TITLE INSURANCE COMPANY
PART OF TRACT 1 - BREEDLOVE PROPERTY 5/D

Table with columns: ISSUE, DATE, INITIAL, DESCRIPTION, REV. 1, REV. 2, REV. 3, REV. 4, REV. 5, REV. 6, REV. 7.

DRAFTED BY: TCS
CHECKED BY: MCB
PROJECT #: 21109

811 Know what's below. Call before you dig. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THIS SURVEY. AN APPROPRIATE WARNING SIGN AND THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

To: City Council
From: Patrick Kelley
Department: Planning, Code and Development
Date: 01-05-2022
Subject: Meadows Farm S/D final plat approval



Budget Account/Project Name: N/A

Funding Source: N/A

Budget Allocation: N/A

Budget Available: N/A

Requested Expense: N/A **Company of Record:** N/A

Description:

Staff recommends approval as submitted with bonding as submitted.

Background:

Attachment(s): Final plat for recording of lots and dedication of right of way.

CERTIFICATE OF APPROVAL BY MONROE WATER & GAS DEPARTMENT:

THE LOTS SHOWN HEREON AND PLANS FOR WATER AND SEWAGE COLLECTION AND DISPOSAL HAVE BEEN REVIEWED AND APPROVED BY THE CITY OF MONROE WATER & GAS DEPARTMENT, AND WITH THE EXCEPTION OF LOTS ARE APPROVED FOR DEVELOPMENT.

DATED THIS _____ DAY OF _____, 2021

BY: _____

TITLE: _____

OWNERS CERTIFICATE AND DECLARATION:

STATE OF GEORGIA
CITY OF MONROE

THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO IN PERSON OR THROUGH A DULY AUTHORIZED AGENT ACKNOWLEDGES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY AND DEDICATES TO THE USE OF THE PUBLIC FOR ALL STREETS, DRAINS, EASEMENTS AND OTHER PUBLIC FACILITIES AND APPURTENANCES THEREON SHOWN FOR THE PURPOSES THEREIN EXPRESSED.

DATED _____ DAY OF _____, 2021

BY: _____ OWNER

CERTIFICATE OF APPROVAL BY THE CODE ENFORCEMENT OFFICE:

THE CODE ENFORCEMENT OFFICER CERTIFIES THAT THIS PLAT COMPLIES WITH THE ZONING CODE ENFORCEMENT OFFICER CERTIFIES THAT THIS PLAT COMPLIES WITH THE ZONING ORDINANCE AND DEVELOPMENT REGULATIONS OF THE CITY OF MONROE AND HAS BEEN APPROVED BY ALL OTHER AFFECTED CITY DEPARTMENTS, AS APPROPRIATE. THIS PLAT IS APPROVED, SUBJECT TO THE PROVISIONS AND REQUIREMENTS OF THE PERFORMANCE AND MAINTENANCE SURETY AGREEMENT EXECUTED FOR THIS PROJECT BETWEEN THE OWNER AND THE CITY OF MONROE.

BY: _____

DATE: _____

CODE ENFORCEMENT OFFICER: _____

CERTIFICATE OF APPROVAL BY MAYOR AND COUNCIL:

THE CITY OF MONROE MAYOR AND CITY COUNCIL HEREBY ACCEPT ON BEHALF OF THE CITY OF MONROE THE DEDICATION OF ALL PUBLIC STREETS, RIGHTS OF WAY, EASEMENTS AND OTHER PUBLIC FACILITIES AND APPURTENANCES SHOWN THEREON. THIS PLAT IS APPROVED SUBJECT TO THE PROVISIONS AND REQUIREMENTS OF THE PERFORMANCE AND MAINTENANCE SURETY AGREEMENT EXECUTED FOR THIS PROJECT BETWEEN THE OWNER AND THE CITY OF MONROE.

DATED THIS ____ DAY OF _____, 2021

BY: _____ MAYOR
THE CITY OF MONROE MAYOR AND CITY COUNCIL

ATTEST: _____
CITY CLERK, CITY OF MONROE

PROJECT DATA:
PROPERTY OWNER: LGI HOMES GEORGIA LLC
2700 CUMBERLAND PKWY
SUITE 100
ATLANTA, GA 30339
SITE ADDRESS: 1415 E CHURCH ST
SURVEYOR: W&A ENGINEERING
ATTN: JOHN F. BREWER, III GA P.L.S.#2905
355 ONETA STREET, SUITE D100
ATHENS, GA 30601
706-310-0400

PORTIONS OF THE SUBJECT PROPERTY ARE LOCATED WITHIN AREAS HAVING ZONE DESIGNATIONS OF "SHADED ZONE X", DETERMINED TO BE WITHIN A 0.2% ANNUAL CHANCE FLOOD HAZARD BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 1329700137E WITH AN EFFECTIVE DATE OF 12/9/2016 FOR COMMUNITY NUMBER 130227, CITY OF MONROE, WALTON COUNTY, GEORGIA.

TOTAL AREA: 52.125 ACRES
TOTAL OPEN SPACE: 15.124 ACRES (29%)

EXISTING ZONING: R1 SINGLE FAMILY
MINIMUM LOT SIZE: 14,000 S.F.
MINIMUM LOT WIDTH: 100'
FRONT SETBACK: 30'
SIDE SETBACK: 10'
REAR SETBACK: 25'

TAX PARCEL: M0240106
TOTAL LOT COUNT: 85
TOTAL DENSITY: 85 / 52.125 = 1.63 UNITS/ACRE

WATER SUPPLY: CITY OF MONROE
SEWERAGE DISPOSAL: CITY OF MONROE

STREET STANDARDS:
STREET WIDTH: 28' (BOC-BOC)
CUL-DE-SAC RADIUS: 40' (BOC)
R/W WIDTH: 50'
TOTAL STREET LENGTH: 5,513'
WOODY DRIVE: 1,324'
MEADOWS FARM DRIVE: 2,396'
MEADOWS FARM WAY: 727'
ROBBIE LANE: 1,066'

NOTE:
1) ALL INTERIOR LOT CORNERS ARE 5/8" CAPPED REBAR SET UNLESS NOTED OTHERWISE.
2) THE CITY OF MONROE ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT OF WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED SUBDIVISION PLAT.

"THIS PLAT IS SUBJECT TO THE COVENANTS SET FORTH IN THE SEPARATE DOCUMENT(S) ATTACHED HERETO DATED _____, RECORDED IN DEED BOOK _____ PAGE _____ WHICH HEREBY BECOME(S) A PART OF THE PLAT."

SURVEY LEGEND table with symbols for B.S.L., CMP, DEED BOOK, etc.

SURVEYOR'S CERTIFICATION:

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AS TO THE PROPERTY LINES AND ALL IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AS TO THE PROPERTY LINES AND ALL IMPROVEMENT SHOWN THEREON AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HERE ON ACTUALLY EXIST; AND THEIR LOCATION, SIZE, TYPE, AND MATERIAL ARE CORRECTLY SHOWN. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 43,658 FEET AND AN ANGULAR ERROR OF 02" PER ANGLE POINT, ADJUSTED USING THE COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 581,388 FEET, AND CONTAINS A TOTAL OF 52.125 ACRES. THE EQUIPMENT USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS HEREIN WAS A 3-SECOND LEICA TS16 TOTAL STATION INSTRUMENT.

By: _____
DATE: 12/20/2021

REGISTERED GEORGIA LAND SURVEYOR
REG. NO 2905 DATE OF EXPIRATION 12/31/2022

CENTERLINE CURVE TABLE with columns: NUMBER, CHORD DIRECTION, CHORD LENGTH, ARC LENGTH, RADIUS, DEFLECTION ANGLE, TANGENT

LINE TABLE

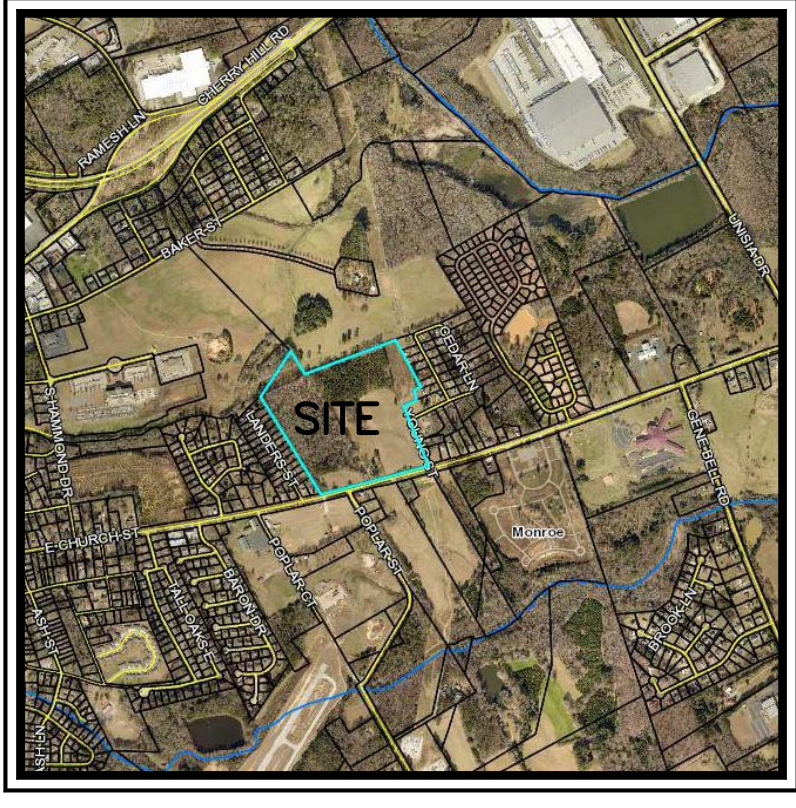
LINE TABLE with columns: LINE #, BEARING, DISTANCE

CURVE TABLE

CURVE TABLE with columns: CURVE #, CHORD BEARING, RADIUS, ARC LENGTH, CHORD LENGTH

LOT TABLE

LOT TABLE with columns: LOT, SQ' ACRES, ADDRESS



VICINITY MAP
NOT TO SCALE



W&A Engineering

CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE
TRAFFIC ENGINEERING • SURVEYING
ECONOMIC DEVELOPMENT

355 Oneta Street, Suite D100
Athens, GA 30601
P: (706) 310-0400 • F: (706) 310-0411
waengineering.com

ALL DRAWINGS SHALL REMAIN THE PROPERTY OF W&A ENGINEERING. THESE INSTRUMENTS OF SERVICE ARE TO BE USED SOLELY FOR THE SPECIFIC PROJECT. W&A ENGINEERING SHALL RETAIN ALL LEGAL RIGHTS TO THE USE OF THE INSTRUMENTS OF SERVICE AND SHALL RETAIN FULL PROTECTION UNDER UNITED STATES COPYRIGHT LAW.

FINAL PLAT OF:
MEADOWS FARM SUBDIVISION

LAND LOT 102, 3RD DISTRICT
CITY OF MONROE,
WALTON COUNTY, GEORGIA

SURVEY NOTES:

THE FIELD DATA UPON WHICH THIS PLAT IS BASED UPON HAS A CLOSURE PRECISION OF ONE FOOT IN 43,658 FEET, AND AN ANGULAR ERROR OF 2" PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 581,388 FEET BY MAP CHECK.

FIELD INFORMATION FOR THIS SURVEY WAS OBTAINED WITH A 3-SECOND LEICA TS16 TOTAL STATION INSTRUMENT.

HORIZONTAL DATUM IS GRID NORTH, GEORGIA STATE PLANE, WEST ZONE AND VERTICAL DATUM IS NAVD83, ESTABLISHED ON-SITE NETWORK GPS OBSERVATIONS WITH A LEICA GS16 GNSS RTK RECEIVER.

THIS SURVEY WAS PERFORMED WITHOUT A TITLE COMMITMENT AND MAY BE SUBJECT TO LEASES, EASEMENTS, AND RESTRICTIONS OF RECORD NOT REFLECTED UPON THIS SURVEY.

FIELDWORK COMPLETED: 2/7/2020.

THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCCA) 15-6-67 AS AMENDED BY HB1004 (2016), IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.

NO EXISTING NATIONAL GEODETIC SURVEY MONUMENT WAS FOUND TO BE WITHIN 500' OF SUBJECT PROPERTY.

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY A PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.

DATE: 9/3/2021

REVISED: 9/30/2021
PER CITY COMMENTS
REVISED: 10/13/2021
ADDED 5' U.E.
REVISED: 12/2/2021
PER CITY COMMENTS
REVISED 12/20/2021
PER CITY COMMENTS



20-0241

NOT TO SCALE

SHEET 1 OF 2



W&A Engineering

CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE
TRAFFIC ENGINEERING - SURVEYING
ECONOMIC DEVELOPMENT

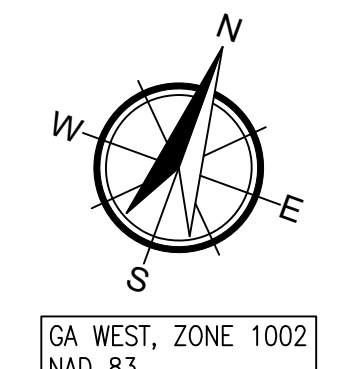
355 Oneta Street, Suite D100
Athens, GA 30601
P: (706) 310-0400 • F: (706) 310-0411
waengineering.com

ALL DRAWINGS SHALL REMAIN THE PROPERTY OF W&A ENGINEERING. THESE INSTRUMENTS OF SERVICE ARE TO BE USED SOLELY FOR THE PROJECT AND SITE SPECIFIC. W&A ENGINEERING SHALL RETAIN ALL LEGAL RIGHTS TO THE USE OF THE INSTRUMENTS OF SERVICE AND SHALL RETAIN FULL PROTECTION UNDER UNITED STATES COPYRIGHT LAW.

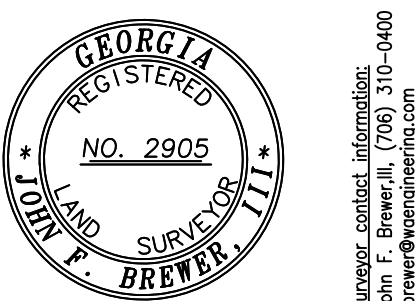
FINAL PLAT OF:
MEADOWS FARM SUBDIVISION

LAND LOT 102, 3RD DISTRICT
CITY OF MONROE,
WALTON COUNTY, GEORGIA

DATE: 9/3/2021



REVISED: 9/30/2021
PER CITY COMMENTS
REVISED: 10/13/2021
ADDED 5' U.E.
REVISED: 12/2/2021
PER CITY COMMENTS
REVISED 12/20/2021
PER CITY COMMENTS



20-0241
0 50 100 200
SCALE 1" = 100'
SHEET 2 OF 2

PROJECT DATA:
PROPERTY OWNER: LGI HOMES GEORGIA LLC
2700 CUMBERLAND PKWY
SUITE 100
ATLANTA, GA 30339
SITE ADDRESS: 1415 E CHURCH ST
SURVEYOR: W&A ENGINEERING
ATTN: JOHN F. BREWER, III GA P.L.S.#2905
355 ONETA STREET, SUITE D100
ATHENS, GA 30601
706-310-0400

PORTIONS OF THE SUBJECT PROPERTY ARE LOCATED WITHIN AREAS HAVING ZONE DESIGNATIONS OF "SHADED ZONE X", DETERMINED TO BE WITHIN A 0.2% ANNUAL CHANCE FLOOD HAZARD BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 13297C0137E WITH AN EFFECTIVE DATE OF 12/8/2016 FOR COMMUNITY NUMBER 130227, CITY OF MONROE, WALTON COUNTY, GEORGIA.

TOTAL AREA: 52.125 ACRES
TOTAL OPEN SPACE: 15.124 ACRES (29%)

EXISTING ZONING: R1 SINGLE FAMILY
MINIMUM LOT SIZE: 14,000 S.F.
MINIMUM LOT WIDTH: 100'
FRONT SETBACK: 30'
SIDE SETBACK: 10'
REAR SETBACK: 25'

TAX PARCEL: M0240106
TOTAL LOT COUNT: 85

TOTAL DENSITY: 85 / 52.125 = 1.63 UNITS/ACRE
WATER SUPPLY: CITY OF MONROE

SEWERAGE DISPOSAL: CITY OF MONROE

STREET STANDARDS:
STREET WIDTH: 28' (BOC-BOC)
CUL-DE-SAC RADI: 40' (BOC)
R/W WIDTH: 50'
TOTAL STREET LENGTH: 5,513'
WOODY DRIVE: 1,324'
MEADOWS FARM DRIVE: 2,396'
MEADOWS FARM WAY: 727'
ROBBIE LANE: 1,066'

SURVEY NOTES:

THE FIELD DATA UPON WHICH THIS PLAT IS BASED UPON HAS A CLOSURE PRECISION OF ONE FOOT IN 43,658 FEET, AND AN ANGULAR ERROR OF 2" PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 581,388 FEET BY MAP CHECK.

FIELD INFORMATION FOR THIS SURVEY WAS OBTAINED WITH A 3-SECOND LEICA TS16 TOTAL STATION INSTRUMENT.

HORIZONTAL DATUM IS GRID NORTH, GEORGIA STATE PLANE, WEST ZONE AND VERTICAL DATUM IS NAVD83, ESTABLISHED ON-SITE NETWORK GPS OBSERVATIONS WITH A LEICA GS16 GNSS RTK RECEIVER.

THIS SURVEY WAS PERFORMED WITHOUT A TITLE COMMITMENT AND MAY BE SUBJECT TO LEASES, EASEMENTS, AND RESTRICTIONS OF RECORD NOT REFLECTED UPON THIS SURVEY.

FIELDWORK COMPLETED: 2/7/2020.

THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCCA) 15-6-67 AS AMENDED BY HB1004 (2016), IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.

NO EXISTING NATIONAL GEODETIC SURVEY MONUMENT WAS FOUND TO BE WITHIN 500' OF SUBJECT PROPERTY.

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.

SURVEY LEGEND table with symbols for B.S.L., CMP, DE, DP, etc.



To: City Council
From: Patrick Kelley
Department: Planning, Code and Development
Date: 01-05-2022
Subject: Monroe Pavilion PCD final plat approval



Budget Account/Project Name: N/A

Funding Source: N/A

Budget Allocation: N/A

Budget Available: N/A

Requested Expense: N/A **Company of Record:** N/A

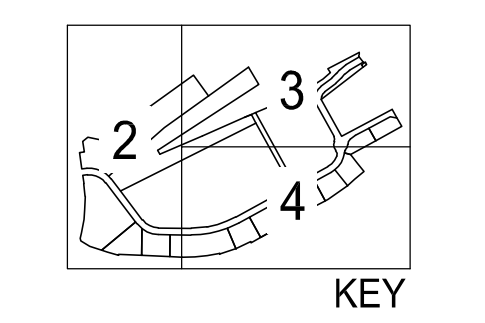
Description:

Staff recommends approval as submitted with bonding as submitted and pursuant to the development agreement.

Background:

Attachment(s): Final plat for recording of lots and dedication of right of way.

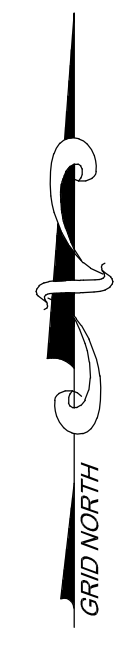
FINAL PLAT FOR:
MONROE PAVILION
 US HIGHWAY 78 AT CHARLOTTE ROWELL BLVD
 MONROE, GEORGIA
 MAB AMERICAN MANAGEMENT, LLC
 525 N. TRYON STREET, SUITE 1600 CHARLOTTE, NC 28202
 LOCATED IN LAND LOTS 40 & 63; 3rd DISTRICT OF WALTON COUNTY, GA.



REVISIONS	DATE

DRAWING TITLE
COVER SHEET, NOTES, CERTIFICATIONS & LEGEND

FILE NAME:	4273.01_FINAL PLAT
DRAWN BY:	MT
PROJECT NO.:	4273.01
FIELD DATE:	12/07/20
PLAT DATE:	12/15/21
SCALE:	N/A



FINAL PLAT FOR: MONROE PAVILION

BEING A RE-PLAT OF LOTS 1 & 2 OF PLAT
 BOOK 116 PAGES 163 & 164
 LAND LOTS 40 & 63; 3RD DISTRICT
 WALTON COUNTY, GEORGIA

CERTIFICATE OF APPROVAL BY MAYOR AND COUNCIL:
 THE CITY OF MONROE MAYOR AND CITY COUNCIL HEREBY ACCEPT ON BEHALF OF THE CITY OF MONROE THE DEDICATION OF ALL PUBLIC STREETS, RIGHTS OF WAY, EASEMENTS AND OTHER PUBLIC FACILITIES AND APPURTENANCES SHOWN THEREON. THIS PLAT IS APPROVED SUBJECT TO THE PROVISIONS AND REQUIREMENTS OF THE PERFORMANCE AND MAINTENANCE SURETY AGREEMENT EXECUTED FOR THIS PROJECT BETWEEN THE OWNER AND THE CITY OF MONROE.
 DATED THIS _____ DAY OF _____, 20____
 BY: _____ MAYOR
 THE CITY OF MONROE MAYOR AND CITY COUNCIL
 ATTEST: _____ CITY CLERK, CITY OF MONROE

CERTIFICATE OF APPROVAL BY THE CODE ENFORCEMENT OFFICE:
 THE CODE ENFORCEMENT OFFICER CERTIFIES THAT THIS PLAT COMPLIES WITH THE ZONING ORDINANCE AND DEVELOPMENT REGULATIONS OF THE CITY OF MONROE AND HAS BEEN APPROVED BY ALL OTHER AFFECTED CITY DEPARTMENTS, AS APPROPRIATE. THIS PLAT IS APPROVED, SUBJECT TO THE PROVISIONS AND REQUIREMENTS OF THE PERFORMANCE AND MAINTENANCE SURETY AGREEMENT EXECUTED FOR THIS PROJECT BETWEEN THE OWNER AND THE CITY OF MONROE.
 BY: _____
 DATE: _____
 CODE ENFORCEMENT OFFICER: _____

CERTIFICATE OF APPROVAL BY MONROE WATER & GAS DEPARTMENT:
 THE LOTS SHOWN HEREON AND PLANS FOR WATER AND SEWAGE COLLECTION AND DISPOSAL HAVE BEEN REVIEWED AND APPROVED BY THE BY THE CITY OF MONROE WATER & GAS DEPARTMENT, ARE APPROVED FOR DEVELOPMENT.
 DATED THIS _____ DAY OF _____, 20____
 BY: _____
 TITLE: _____

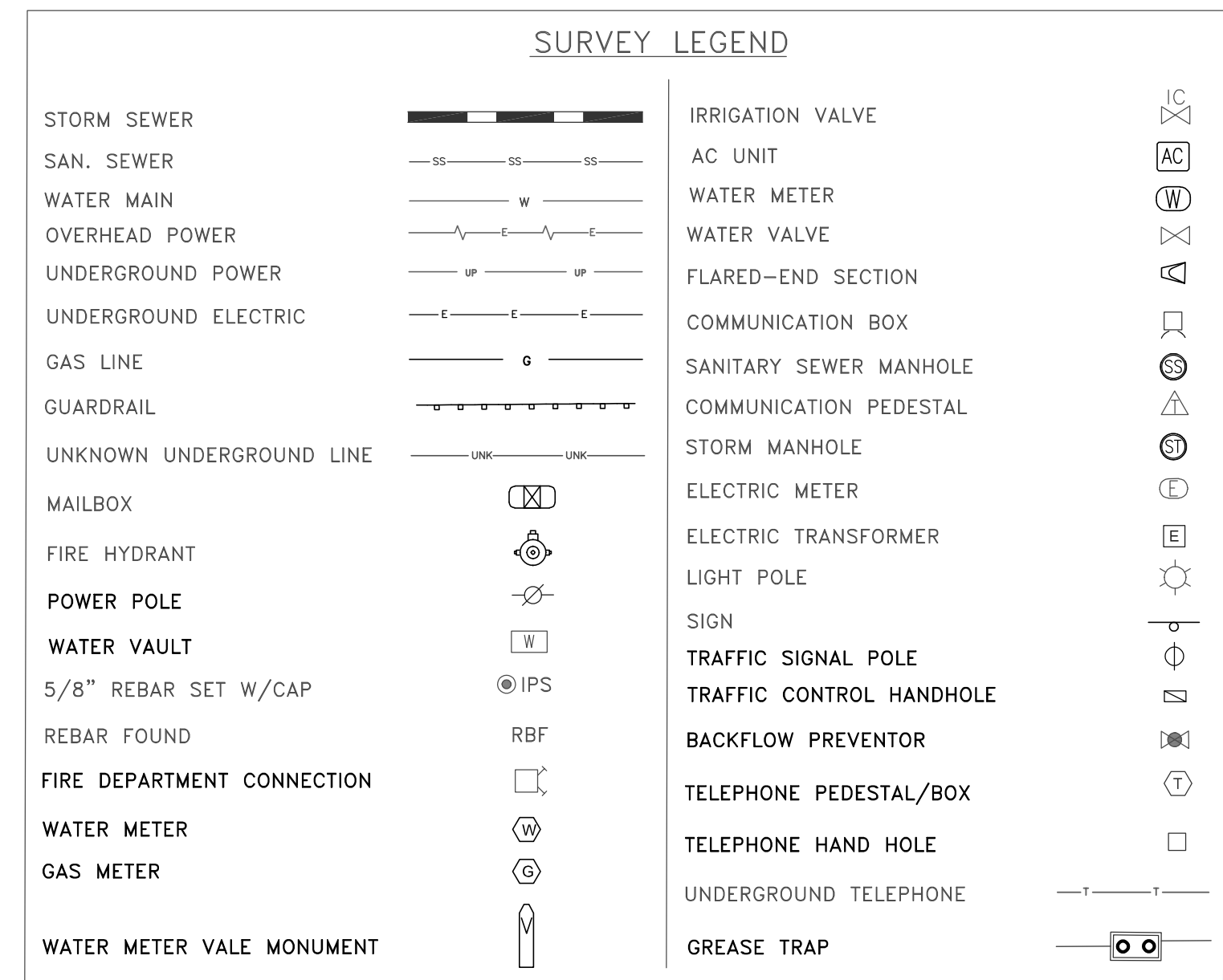
OWNERS CERTIFICATE AND DECLARATION:
 STATE OF GEORGIA
 THE CITY OF MONROE
 THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO IN PERSON OR THROUGH A DULY AUTHORIZED AGENT ACKNOWLEDGES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY AND DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, DRAINS, EASEMENTS AND OTHER PUBLIC FACILITIES AND APPURTENANCES THEREON SHOWN FOR THE PURPOSES THEREIN EXPRESSED.
 DATED THIS _____ DAY OF _____, 20____
 BY: MAB MONROE, LLC, A DELAWARE LIMITED LIABILITY COMPANY
 BY: _____
 NAME: JOHN ARGO
 TITLE: AUTHORIZED REPRESENTATIVE

TOTAL ACREAGE = 95.414 ACRES			
PARCEL	ACREAGE	ACREAGE	
LOT 1	3.825 AC.	LOT 11	1.071 AC.
LOT 2	6.601 AC.	LOT 12	1.064 AC.
LOT 3	2.055 AC.	LOT 13	11.585 AC.
LOT 4	1.641 AC.	LOT 14	26.337 AC.
LOT 5	1.527 AC.	LOT 15	12.333 AC.
LOT 6	1.553 AC.	LOT 16	0.619 AC.
LOT 7	1.540 AC.	LOT 17	0.944 AC.
LOT 8	1.321 AC.	PYLON SIGN LOT B	0.031 AC.
LOT 9	1.382 AC.	STORMWATER MANAGEMENT AREA 1	3.609 AC.
LOT 10	1.285 AC.	STORMWATER MANAGEMENT AREA 2	5.637 AC.
PAVILION PARKWAY/AVENUE/PLACE R/W = 9.454 AC.			

SURVEYOR'S CERTIFICATION:
 IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AS TO THE PROPERTY LINES AND ALL IMPROVEMENTS SHOWN THEREON AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HERE ON ACTUALLY EXIST; AND THEIR LOCATION, SIZE, TYPE, AND MATERIAL ARE CORRECTLY SHOWN. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 46,373 FEET AND AN ANGULAR ERROR OF 1 SEC. PER ANGLE POINT, ADJUSTED USING COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 1,413,430 FEET, AND CONTAINS TOTAL OF 95.414 ACRES. THE EQUIPMENT USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS HEREIN WAS A TRIMBLE S7 ROBOTIC TOTAL STATION WITH A TRIMBLE R6 GNSS RECEIVER.
 BY: _____
 BRANDON T. MILLER, PLS
 DATE: DECEMBER 15, 2021
 REGISTERED GEORGIA LAND SURVEYOR
 REG. NO: 2945 DATE OF EXPIRATION: DECEMBER 31, 2022

- GENERAL NOTES:
- UPON APPROVAL AND RECORDING OF THIS PLAT, EASEMENTS AND RIGHTS-OF-WAY SHOWN HEREON, AND IMPROVEMENTS THEREIN, ARE HEREBY GRANTED AND DEDICATED TO THE PUBLIC (OR CITY OF MONROE) FOR USE AS DESIGNATED AND FOR PUBLIC MAINTENANCE, REPAIR, AND REPLACEMENT OF DEDICATED IMPROVEMENTS THEREIN. PUBLIC USE IS SUBJECT TO THE OBLIGATIONS TO MINIMIZE BUSINESS INTERRUPTION AND TO PERFORM PROMPT RESTORATION TO THE THEN EXISTING CONDITIONS AFTER CONDUCTING ANY MAINTENANCE ACTIVITY(S) IN SUCH EASEMENTS OR RIGHT(S)-OF-WAY. OTHERWISE, THE OWNER RESERVES ALL OTHER RIGHTS TO USE THE PROPERTY IN ACCORDANCE WITH ITS TITLE TO DO SO.
 - ALL POWER TRANSFORMERS LOCATED OUTSIDE OF PUBLIC UTILITY EASEMENTS AND STREET RIGHT-OF-WAY SHALL HAVE A FIVE FOOT PERIMETER MAINTENANCE AND ACCESS EASEMENT, AS MEASURED FROM ALL SIDES OF TRANSFORMER PAD, BENEFITTING THE CITY OF MONROE UTILITIES AND CREATED BY THIS PLAT.
 - COVENANTS: THIS PLAT IS SUBJECT TO THE COVENANTS SET FORTH IN THE SEPARATE DOCUMENT(S) DATED FEBRUARY 19, 2020, BY AND BETWEEN MAB MONROE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ROWELL FAMILY PARTNERSHIP, LLLP, A GEORGIA LIMITED LIABILITY PARTNERSHIP, AND STILL FAMILY REALTY, LLC, A GEORGIA LIMITED LIABILITY COMPANY, RECORDED ON MARCH 4, 2020, IN BOOK 4547, PAGES 293-405 WHICH WERE RECORDED AND SIGNED BY THE OWNER.
 - THE CITY OF MONROE ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT OF RIGHT, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED SUBDIVISION PLAT.
 - BY GRAPHIC PLOTTING ONLY, A PORTION OF THE PROPERTY SHOWN HEREON IS IN ZONE "A" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 13297C0136E, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 8, 2016. ZONE "A" IS IN AN AREA DETERMINED TO BE IN SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WITHOUT BASE FLOOD ELEVATION. THE OTHER AREAS OF THE SUBJECT PROPERTY IS IN ZONE "X", DENOTING AREAS OUTSIDE OF THE FLOOD ZONE.
 - THE BASIS OF BEARINGS FOR THIS SURVEY IS THE GEORGIA STATE PLANE COORDINATE SYSTEM, WEST ZONE.
 - THE HORIZONTAL DATUM FOR THIS SURVEY IS NAD83 AND THE VERTICAL DATUM IS NAVD88. ALL DISTANCES SHOWN HEREON ARE SURFACE DISTANCES.
 - THE FIELD DATA COLLECTED TO SUPPORT THIS PLAT WAS COMPLETED ON 12/01/2021.
 - THE CERTIFICATE OF AUTHORIZATION NUMBER FOR COLUMBIA ENGINEERING IS LSF000902.

Line Table								
Line #	Direction	Length	Line #	Direction	Length	Line #	Direction	Length
L1	N02° 27' 12"E	140.44'	L13	S29° 34' 37"E	104.26'	L21	N48° 24' 03"E	71.21'
L2	N08° 08' 55"W	90.98'	L14	S29° 34' 39"E	104.26'	L22	S39° 38' 26"E	9.00'
L3	N08° 08' 55"W	70.04'	L15	S01° 32' 13"E	20.60'	L23	S39° 38' 26"E	2.57'
L4	N83° 49' 21"E	52.18'	L15A	S15° 46' 27"W	20.73'	L24	S60° 03' 27"W	48.25'
L5	S37° 05' 43"E	27.33'	L15B	S39° 38' 26"E	82.58'	L25	S39° 44' 13"W	161.51'
L6	S02° 31' 29"W	10.00'	L15C	S65° 41' 57"E	10.35'	L26	S52° 50' 39"W	54.49'
L7	N14° 13' 28"W	10.00'	L15D	S65° 41' 57"E	16.21'	L27	S10° 32' 11"W	145.13'
L8	N28° 58' 31"W	9.00'	L16	S29° 37' 20"E	15.88'	L28	N60° 03' 25"E	50.71'
L9	S60° 45' 46"W	25.17'	L17	S52° 35' 58"W	45.90'	L29	N39° 46' 09"E	173.45'
L10	S25° 48' 10"E	9.36'	L18	N37° 24' 02"W	30.00'	L30	N52° 50' 57"E	147.42'
L11	S62° 19' 32"W	32.22'	L19	N52° 35' 58"E	40.36'	L31	N10° 32' 11"E	29.27'
L12	S74° 00' 03"E	66.55'	L20	S83° 49' 21"W	54.59'			

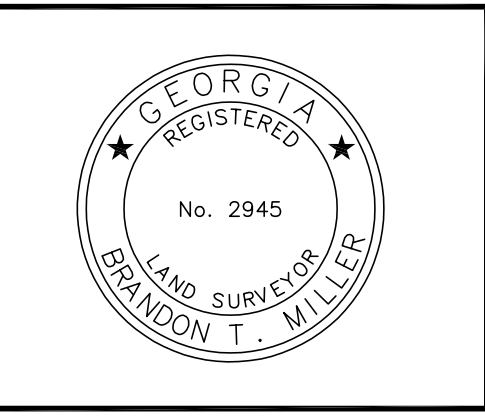


Curve Table									
Curve #	Direction	Chord distance	Radius	Length	Curve #	Direction	Chord distance	Radius	Length
C1	N05°19'56"E	135.16'	1375.00'	135.22'	C16	S01°12'00"E	54.26'	58.00'	56.46'
C2	S66°38'11"E	212.01'	215.00'	221.70'	C17	S08°57'49"E	95.59'	82.00'	102.05'
C3	S44°31'53"E	73.77'	265.00'	73.98'	C18	S11°50'08"E	62.81'	58.00'	66.37'
C4	S70°40'12"E	182.77'	285.00'	186.06'	C19	S41°05'18"W	148.07'	215.00'	151.17'
C5	N79°36'41"E	395.55'	1035.00'	398.00'	C20	S75°56'01"W	489.84'	965.00'	495.25'
C6	S72°00'11"W	181.91'	1382.39'	182.04'	C22	N63°14'01"W	189.43'	215.00'	196.17'
C7	S84°09'01"W	399.76'	1372.39'	401.19'	C23	N40°44'56"W	36.32'	285.00'	36.34'
C8	S64°37'40"W	173.75'	1382.39'	173.86'	C24	N70°17'24"W	248.86'	285.00'	257.54'
C9	N56°28'03"E	47.33'	285.00'	47.39'	C25	S49°43'08"W	90.57'	252.67'	91.06'
C10	N30°01'09"E	210.62'	285.00'	215.73'	C26	S46°19'47"W	73.14'	426.00'	73.23'
C11	N5°55'05"E	24.03'	285.00'	24.03'	C27	S32°14'38"W	113.18'	153.00'	115.93'
C12	N51°42'59"E	4.24'	67.62'	4.24'	C28	N49°43'08"E	65.48'	182.67'	65.83'
C13	N24°42'33"E	68.93'	70.50'	72.02'	C29	N46°23'17"E	86.17'	496.00'	86.27'
C14	N21°47'17"E	61.68'	69.50'	63.91'	C30	S32°14'38"W	61.40'	83.00'	62.89'
C15	N54°48'16"E	67.98'	270.50'	68.16'					

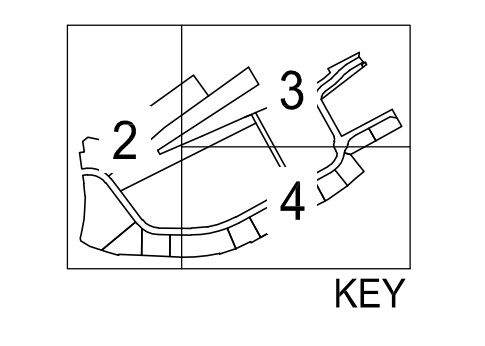
DRAWING INDEX

SHEET 1	COVER SHEET, NOTES, CERTIFICATIONS & LEGEND
SHEET 2	PLAN SHEET & TABLES
SHEET 3	PLAN SHEET
SHEET 4	PLAN SHEET

OWNER/DEVELOPER:
 MAB MONROE, LLC
 525 N. TRYON STREET, SUITE 1600
 CHARLOTTE, NC 28202
 (704) 331-6587 (MAB MONROE)

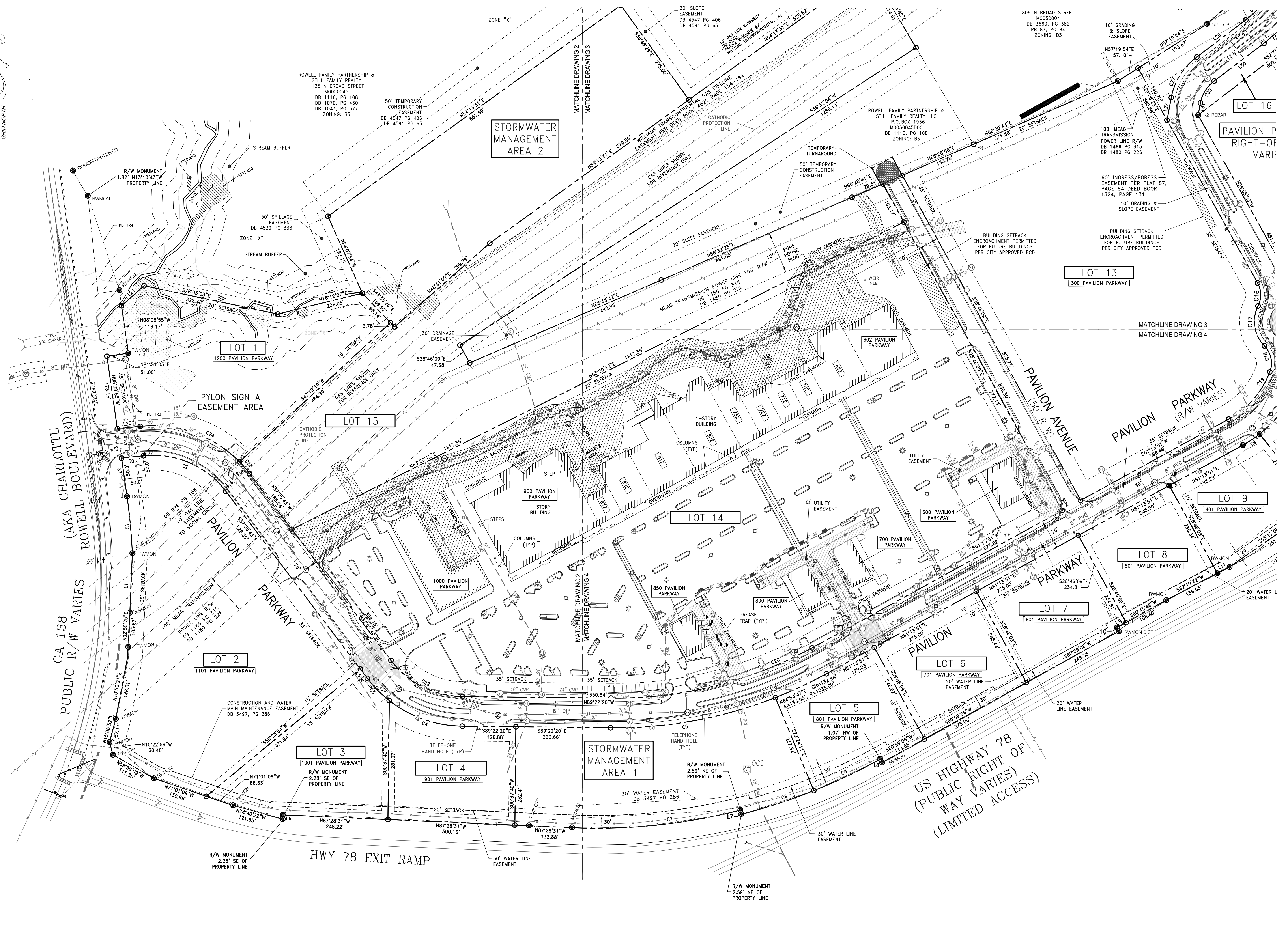


FINAL PLAT FOR:
MONROE PAVILION
 US HIGHWAY 78 AT CHARLOTTE ROWELL BLVD
 MONROE, GEORGIA
 MAB AMERICAN MANAGEMENT, LLC
 525 N. TRYON STREET, SUITE 1600 CHARLOTTE, NC 28202
 LOCATED IN LAND LOTS 40 & 63; 3rd DISTRICT OF WALTON COUNTY, GA.

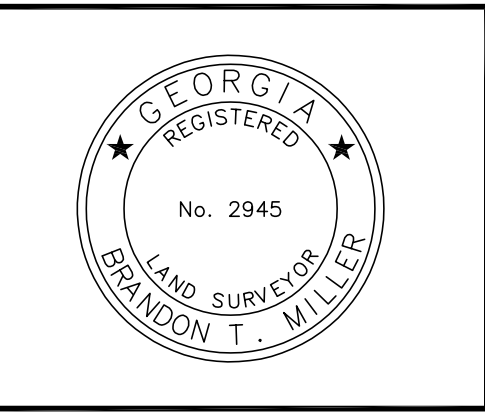


REVISIONS	DATE

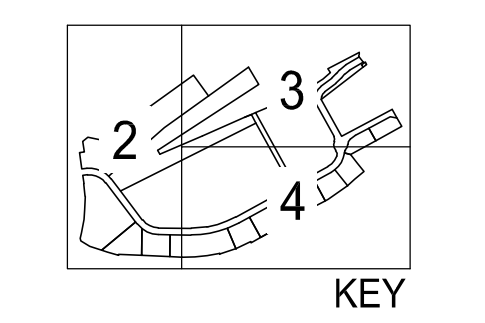
DRAWING TITLE	
PLAN SHEET	
FILE NAME: 4273.01_FINAL PLAT	DRAWING NO.
DRAWN BY: MT	
PROJECT NO: 4273.01	
FIELD DATE: 12/07/20	
PLAT DATE: 12/15/21	2 OF 4
SCALE: 1"=100'	



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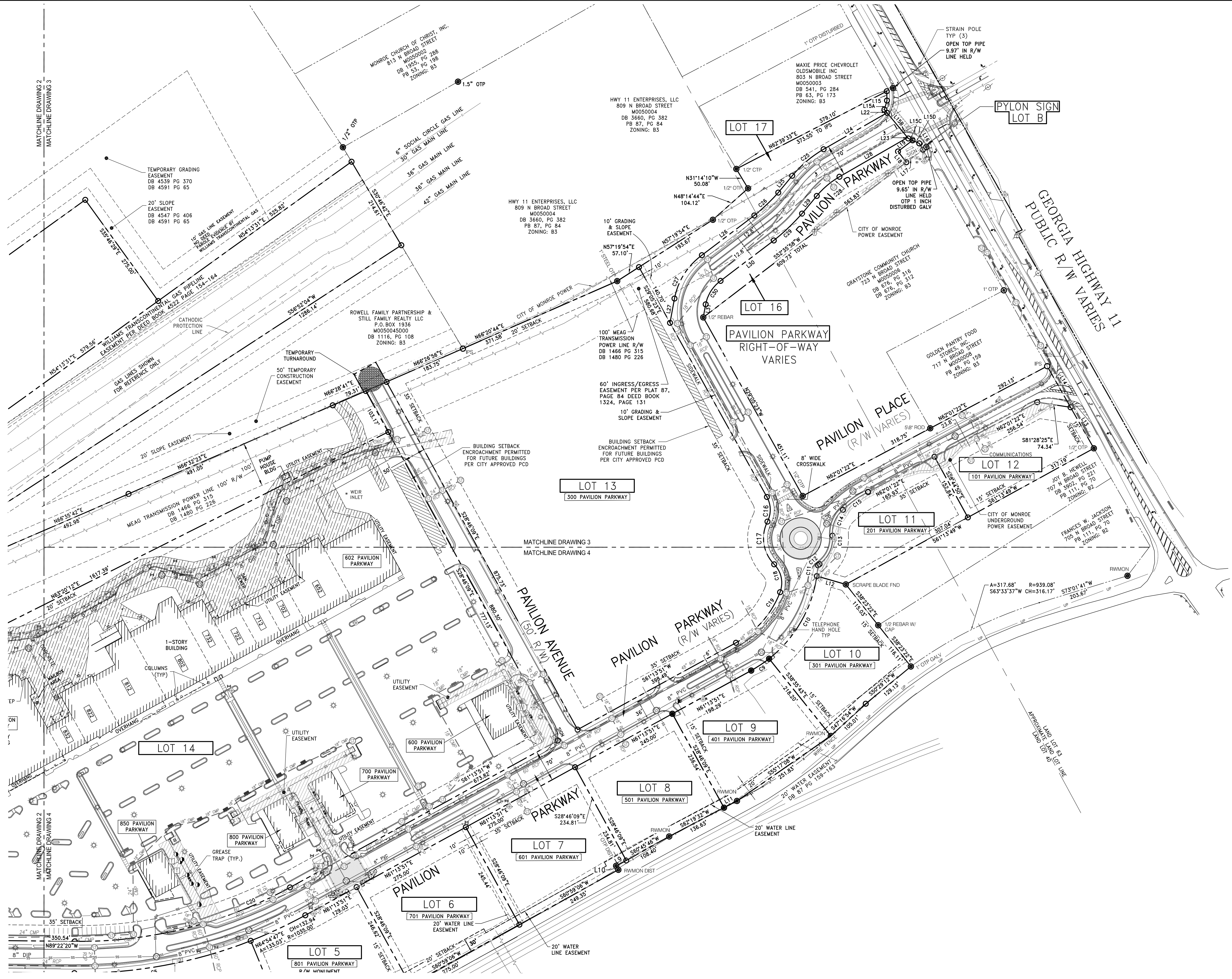
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 MAB AMERICAN MANAGEMENT, LLC
 525 N. TRYON STREET, SUITE 1600 CHARLOTTE, NC 28202
 LOCATED IN LAND LOTS 40 & 63; 3rd DISTRICT OF WALTON COUNTY, GA.

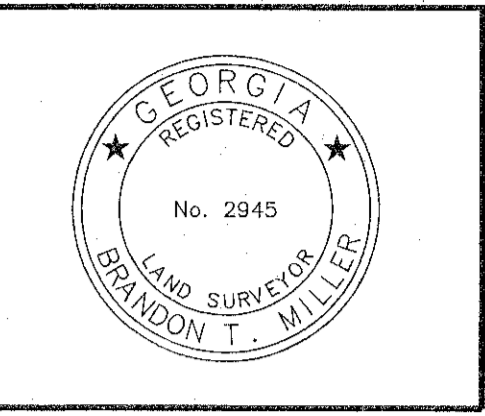


REVISIONS	DATE

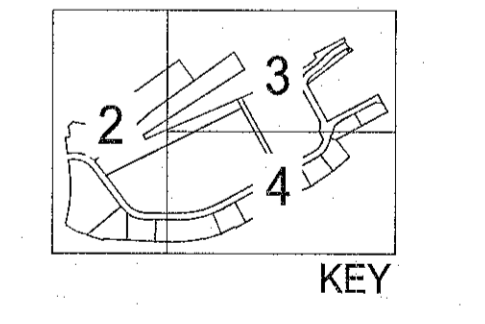
DRAWING TITLE
PLAN SHEET

FILE NAME:	4273.01_FINAL PLAT
DRAWN BY:	MT
PROJECT NO.:	4273.01
FIELD DATE:	12/07/20
PLAT DATE:	12/15/21
SCALE:	1"=100'





FINAL PLAT FOR:
MONROE PAVILION
 US HIGHWAY 78 AT CHARLOTTE ROWELL BLVD
 MONROE, GEORGIA
 MAB AMERICAN MANAGEMENT, LLC
 525 N. TRYON STREET, SUITE 1600 CHARLOTTE, NC 28202
 LOCATED IN LAND LOTS 40 & 63; 3rd DISTRICT OF WALTON COUNTY, GA.



REVISIONS	DATE

DRAWING TITLE	
PLAN SHEET	
FILE NAME: 4273.01_FINAL PLAT	DRAWING NO.:
DRAWN BY: MT	
PROJECT NO: 4273.01	
FIELD DATE: 12/07/20	
PLAT DATE: 12/15/21	4 OF 4
SCALE: 1"=100'	



AN ORDINANCE OF THE MAYOR AND COUNCIL OF THE CITY OF MONROE, GEORGIA, TO LIMIT THE FULL AND COMPLETE ORAL READING OF CITY ORDINANCES AND RESOLUTIONS AT CITY COUNCIL MEETINGS

WHEREAS, the City of Monroe, Georgia (the “City”) has been vested with substantial legislative power to adopt clearly reasonable ordinances, resolutions, or regulations relating to its property, affairs, and local government for which no provision has been made by general law (O.C.G.A. § 36-35-3); and,

WHEREAS, Section 2.05(c) of the City Charter permits the City Council to adopt rules and bylaws to govern the conduct of its business; and,

WHEREAS, Section 2.12 of the City Charter requires that each ordinance shall be in written form and read at a minimum of two meetings of the Mayor and Council except in emergency situations before being voted upon; and,

WHEREAS, the City desires to limit the full and complete oral reading of the entirety of City ordinances and resolutions to be considered at City Council Meetings; and,

WHEREAS, the Mayor and Council are aware that matters to be considered by them at their called and regular meetings including proposed ordinances and resolutions will be properly posted to the City’s website and other required forms of communication available to the public prior to the meetings in accordance with the Georgia Open Meetings Act (O.C.G.A. § 50-14-1 et seq.) by City Staff and that with such public posting the citizens of Monroe and those concerned with matters to be considered by the Mayor and Council will have opportunity to review and read ahead of time any proposed items to be considered by the Mayor and Council; and,

WHEREAS, such opportunity prior to the meetings of the Mayor and Council to review proposed ordinances and resolutions obviates the need to orally read the entirety of each proposed ordinance and resolution while still affording the public an opportunity to be well informed of the proposed actions of the Mayor and Council.

NOW, THEREFORE, BE IT ORDAINED, that the Mayor and Council of Monroe do hereby declare and adopt this Ordinance as follows:

1. The preamble of this Ordinance shall be considered to be, and is hereby incorporated by reference as if fully set out herein; and,
2. The full and complete textual oral reading of future City Ordinances and Resolutions before the Mayor and Council for their consideration shall not be required, but may be summarized by the title of the proposed ordinance or resolution and the substance of the same to be considered by the Council contained therein by City Staff upon presentation of the same to the Mayor and Council; and,

- 3. Upon motion made by the Mayor or any one City Council member, without the need of a second or vote on the same to request a full and complete textual oral reading of any ordinance or resolution under consideration by the Mayor and Council, the ordinance or resolution shall be read aloud in its entirety at the same City Council meeting; and,
- 4. This ordinance shall become effective upon its adoption.

FIRST READING. This 11th day of January, 2022.

SECOND READING AND ADOPTED. This 8th day of February, 2022.

CITY OF MONROE, GEORGIA

By: _____ (SEAL)

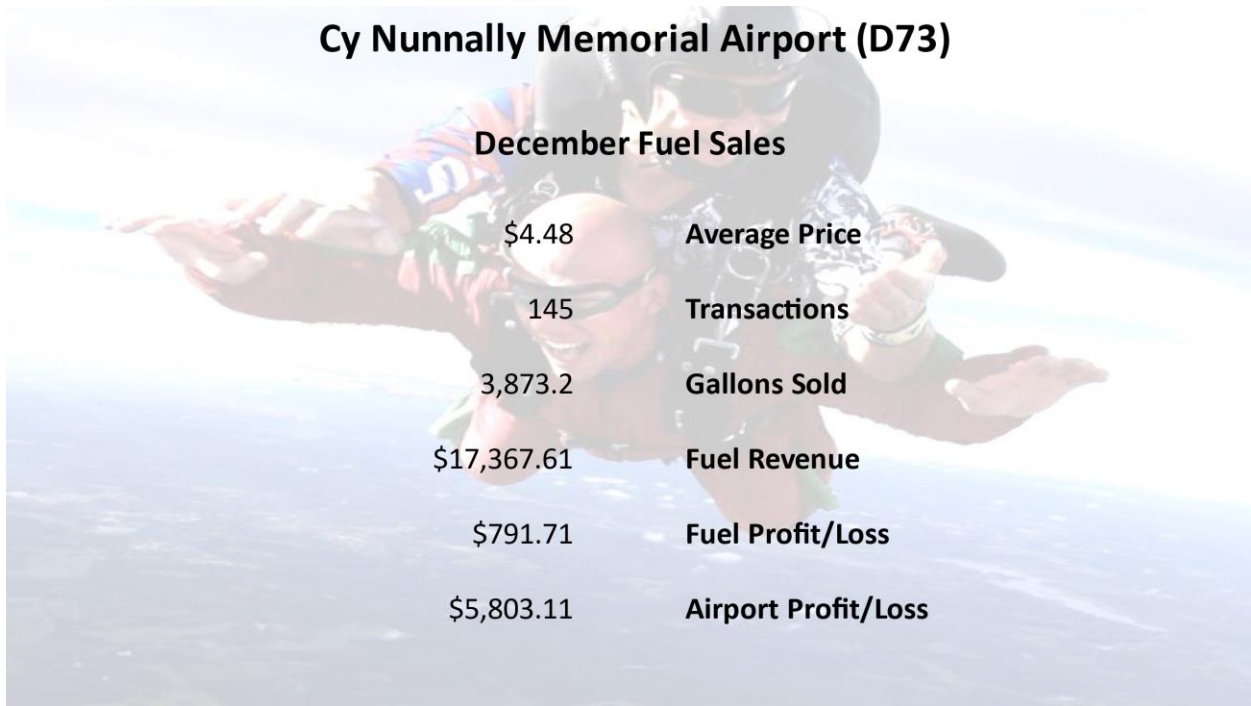
John S. Howard, Mayor

Attest: _____ (SEAL)

Debbie Kirk, City Clerk

AIRPORT PROJECTS & UPDATES – JANUARY 2022

Cy Nunnally Memorial Airport (D73)



\$4.48	Average Price
145	Transactions
3,873.2	Gallons Sold
\$17,367.61	Fuel Revenue
\$791.71	Fuel Profit/Loss
\$5,803.11	Airport Profit/Loss

TERMINAL BUILDING SCHEDULE

The approved Terminal Building is currently situated to open for bid on January 15th and close on February 18th, then come before Council for approval request on March 8th. This will then lead to construction dates and completion of the terminal building.

HANGAR ADDITIONS

Meetings are scheduled to discuss future locations of more T-Hangars by L&M Aviation at the airport. They currently own and operate the new 12-unit t-hangar at the airport and are looking to lease additional property and build more t-hangars. There will also be the agreement and site plan established for the placement of a maintenance hangar near the planned terminal building. This growth would further increase our based aircraft numbers, thus increasing our eligibility for more grant funding.

Further discussions are ongoing with other developers and parties interested in building private hangars on site as well. These are hopefully situated for 2022 planning and should begin discussions later this year.

AIRPORT

MONTHLY REPORT

JANUARY 2022

	2021 January	2021 February	2021 March	2021 April	2021 May	2021 June	2021 July	2021 August	2021 September	2021 October	2021 November	2021 December	2020 December	Monthly Average	Yearly Totals
100LL AVGAS															
100LL AvGas Sale Price	\$3.49	\$3.49	\$3.78	\$4.29	\$4.29	\$4.29	\$4.39	\$4.39	\$4.39	\$4.39	\$4.39	\$4.48	\$3.49	\$4.12	
Transactions	91	113	117	34	138	113	151	124	188	165	205	145	116	130.8	1700
Gallons Sold	2,531.9	2,865.2	2,744.7	635.9	2,735.1	2,926.5	3,864.0	3,456.3	4,327.1	4,436.6	5,362.9	3,873.2	2,804.6	3274.2	42,564.2
AvGas Revenue	\$8,836.44	\$9,999.62	\$10,387.94	\$2,728.22	\$11,733.58	\$12,554.84	\$16,963.12	\$15,173.19	\$18,995.81	\$19,476.92	\$23,543.20	\$17,367.61	\$9,788.02	\$13,657.58	\$177,548.51
AvGas Profit/Loss	\$652.16	\$739.99	\$1,070.32	\$214.10	\$970.26	\$1,039.16	\$3,447.00	\$220.75	\$50.39	(\$35.63)	(\$325.57)	\$791.71	\$754.86	\$737.65	\$9,589.50
GENERAL REVENUE/EXPENSE															
Hangar Rental	\$4,200.00	\$4,200.00	\$4,200.00	\$0.00	\$0.00	\$0.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$3,230.77	\$42,000.00
Lease Agreements	\$4,215.07	\$4,215.07	\$4,215.07	\$0.00	\$0.00	\$0.00	\$4,327.57	\$4,327.57	\$4,327.57	\$4,327.57	\$4,327.57	\$4,327.57	\$3,015.07	\$3,201.98	\$41,625.70
Grounds Maintenance	\$2,535.00	\$535.00	\$535.00	\$535.00	\$535.00	\$2,535.00	\$535.00	\$4,800.00	\$535.00	\$2,535.00	\$535.00	\$535.00	\$535.00	\$1,324.62	\$17,220.00
Buildings Maintenance	\$380.00	\$1,783.00	\$488.95	\$380.00	\$430.00	\$430.00	\$840.00	\$931.64	\$430.00	\$430.00	\$430.00	\$430.00	\$2,930.90	\$793.42	\$10,314.49
Equipment Maintenance	\$765.17	\$119.50	\$733.52	\$6,986.13	\$109.17	\$109.17	\$109.17	\$1,388.18	\$109.17	\$109.17	\$109.17	\$109.17	\$1,629.98	\$952.82	\$12,386.67
Airport Profit/Loss	\$3,007.57	\$4,338.06	\$5,348.42	(\$10,129.03)	(\$2,545.91)	(\$4,977.01)	\$8,048.40	\$11,886.50	\$5,061.79	\$2,975.77	\$36,685.83	\$5,803.11	(\$155.45)	\$5,026.77	\$65,348.05

CENTRAL SERVICES PROJECTS & UPDATES – JANUARY 2022

FACILITIES & GROUNDS MAINTENANCE

Currently the City maintains all rights-of-way, facilities, and parks with a combination of City staff and contractor labor. This has allowed for the most efficient approach to maintaining all areas in a timely manner. During the month of August, the grounds and parks crews collected 2,800 pounds of trash and debris while also maintaining approximately 40.8 acres of rights-of-way and grounds at facilities and parks. Contractor labor was able to maintain an additional 163.8 acres of rights-of-way and grounds at facilities and parks.

The replacement of brick on the old water plant will begin during the month of January as weather allows, and following a preconstruction meeting on January 13th. This was treated as an emergency project, but once the structure itself was secured properly, staff made the decision to bid the brick replacement to achieve the best possible costing associated with the complete repair.

CDBG 2020 STORMWATER TIMELINE

The pre-construction meeting for this project was held on September 21st, construction began on October 11th with silt fence installation and material delivery. Currently, permanent easements are being finalized and executed by staff and attorneys. As construction schedules and exact locations are known during the project, updates will be provided for the project for social media notifications to the public. Staff will begin working on the 2022 CDBG application with consultants and engineers to determine the location and help with funding of the next project.



PLAZA PHASE II PROJECT UPDATE

Construction is in progress and is complete on the roof of the remaining buildings at the Plaza Shopping Center. The exterior should be completed by the end of January and will match the exterior of the new Police Department and Municipal Court building in appearance. Once this portion of the project is complete, the interior of the structures will then be examined further for repair, as will all utilities on site. There have been several delays and interruptions in the project due to materials and health.

LEAF SEASON SCHEDULE

The 2021-22 leaf collection schedule begins on November 1st and end on January 31st. Leaf collection routes will mirror the residential garbage collection schedule, though it will likely not keep up but will provide a uniform effort. This year we have the full use of both a leaf truck and leaf trailer to have in the rotation, with the street sweeper working in tandem on the streets. We will continually update the schedule and route status on social media as the collection timeline reveals itself.



PROJECT TIMELINE UPDATE

Over the course of the past few months, efforts have taken place to build a timeline of projects currently ongoing by the City of Monroe. The attached timeline provides projects from Central Services, Fire, Police, Water, Sewer, Gas, Stormwater, Streets, Solid Waste, and Parks...all with updates for current activity. The timelines present planned and actual budgets, expenses, companies of performance, status updates, dates of material order, bidding, key milestones, and most importantly...start dates and estimated timelines for completion. This will be updated on a monthly basis to reflect changes and status updates for more continuity throughout the city, as well as track productivity and management of processes.

CENTRAL SERVICES

MONTHLY REPORT

JANUARY 2022

	2021 January	2021 February	2021 March	2021 April	2021 May	2021 June	2021 July	2021 August	2021 September	2021 October	2021 November	2021 December	2020 December	Monthly Average	Yearly Totals
SAFETY PROGRAMS															
Facility Inspections	5	3	11	4	3	7	4	6	3	0	7	3	5	4.7	61
Vehicle Inspections	0	0	4	5	6	3	6	5	0	5	4	0	5	3.3	43
Equipment Inspections	3	0	4	3	2	0	2	5	0	0	0	0	2	1.6	21
Worksite Inspections	3	6	1	1	2	4	8	2	5	6	3	3	6	3.8	50
Employee Safety Classes	5	5	4	2	1	4	0	2	3	4	6	2	2	3.1	40
PURCHASING															
P-Card Transactions	377	397	495	431	446	591	484	455	448	408	446	324	367	436.1	5,669
Purchase Orders	120	86	110	84	113	97	81	84	89	83	87	55	75	89.5	1,164
Total Purchases	497	483	605	515	559	688	565	539	537	491	533	379	442	525.6	6,833
Sealed Bids/Proposals	1	2	5	4	1	1	5	1	2	2	1	2	2	2.2	29
INFORMATION TECHNOLOGY															
Workorder Tickets	75	125	157	94	89	119	98	114	88	96	88	64	97	100.3	1,304
Phishing Fail Percentage	2.0%	2.0%	2.0%	4.0%	2.8%	3.6%	2.0%	4.0%	2.6%	2.7%	4.1%	1.8%	2.4%	2.8%	
MARKETING															
Newsletters Distributed	0	0	1	0	0	1	0	0	0	0	0	1	1	0.3	4
Social Media Updates	12	8	11	22	19	14	11	9	15	24	19	20	10	14.9	194
GROUNDS & FACILITIES															
Contractor Acres Mowed	115.3	115.3	115.3	122.9	130.5	130.5	130.5	163.8	163.8	163.8	163.8	163.8	115.3	138.0	1,794.5
Trash Collection	3,360.0	3,060.0	5,730.0	3,220.0	5,850.0	5,790.0	3,040.0	3,560.0	6,720.0	3,470.0	3,990.0	2,800.0	3,340.0	4,148.5	53,930.0
Crew Acres Mowed	30.7	15.3	15.3	62.1	73.4	87.4	87.4	87.4	87.4	87.4	57.4	40.8	30.7	58.6	762.3

PROJECT NAME	CODE	PROJECT BUDGET	CURRENT BUDGET	EXPENSE TO DATE	PERFORMED BY	PROJECT STATUS	FEET	MATERIAL ORDER DATE	MATERIAL LEADTIME	SEAL BID (YES/NO)	ESTIMATED START DATE	ESTIMATED TIMELINE	KEY MILESTONES OF PROJECT
		\$ 38,040,898.96	\$ 36,062,310.81	\$ 16,158,271.38									
Airport Paving	19-002 21-007	\$ 1,453,975.00	\$ 965,842.06	\$ 886,313.13	Atlanta Paving & Concrete Construction	Complete	5,000'	N/A	N/A	Yes	04/05/21	60 days	Pre-Construction 3/15, Construction Start 4/5, Runway Closure 28 days, Sporadic Closure 28 days
Park Sunshades	21-002	\$ 25,000.00	\$ 25,000.00	\$ 17,607.00	PlaySouth Playground Creators	Complete		01/04/21	6 weeks	No	04/22/21	2 days	Material Order 1/4, Delivery 3/1, Installation 4/22
Fire Department Memorial Garden Repair	N/A	N/A	\$ 12,675.28	\$ 5,000.00	Garland / SignBros	Complete		03/03/21	4 weeks	No	03/22/21	3 weeks	Involves Traffic Damage, Insurance, Garden Repair (\$10,481), Letter Replacement (\$2194.28)
Hangar Site Projects	18-005	\$ 350,000.00	\$ 350,000.00	\$ 331,404.81	GMC / Conner / JRM / NRC / APCC	T-Hangar Site Complete, Single Hangar Site In Progress		N/A	N/A	N/A	04/01/20	52 weeks	Excavation, Clearing, Grading, Ditching, Piping, Design, Surveying, GAB, Paving, Striping
Fire Department BadgePass Installation	N/A	\$ 17,500.00	\$ 14,657.00	\$ 14,657.00	BadgePass / SAMS	Complete		03/29/21	N/A	No	N/A	2-3 weeks	Order, Installation, Testing, Live
CDBG 2020 - Stormwater	19-036	\$ 1,506,579.00	\$ 1,506,579.00	\$ 91,699.00	Allen Smith / Carter & Sloope / Dickerson Group	Construction		N/A	N/A	Yes	N/A	N/A	Engineering Phase, Bidding, Construction planned for late summer/early fall
Sidewalk Repair Project	20-005	\$ 45,000.00	\$ 45,000.00	\$ 25,126.50	Black Oak / J&R	Phased Project	1,136'	N/A	N/A	No	06/07/21	N/A	East Washington, East Highland, East Marable, Glen Iris
Murray Lot Improvement	N/A	\$ 58,500.00	\$ 73,500.00	\$ 83,000.00	J&S Consolidated Holdings	Complete		N/A	N/A	No	03/17/21	3-4 weeks	Retaining Wall Replacement, Parking Area Repair/Replacement, Landscaping, REOPEN!
Utility / Broad Street Gate	N/A	\$ 10,000.00	\$ 9,980.40	\$ 9,480.40	Larry's Fence & Access Control	Complete		03/08/21	3-4 weeks	No	04/12/21	4-6 weeks	Gate Building, Installation, Software Training
Mathews Park Phase I	20-044	\$ 175,000.00	\$ 175,000.00	\$ 165,510.00	PlaySouth Playground Creators / CXT Concrete	Complete		N/A	N/A	Yes			Playgournd Equipment, Building Placement, Paving (County), Pavillion
Mathews Park Phase II	21-035	\$ 300,000.00	\$ 300,000.00	\$ 47,111.00	PlaySouth Playground Creators, Great Southern Recreation	Bidding, Ordering		08/04/21	30 weeks	Yes	TBD	TBD	Tables, Pavilions, Concrete, Asphalt, Demo, Shade Structures, Signage, Fencing (322-6200-541303)
City Hall Lighting	21-043	\$ 45,000.00	\$ 45,000.00	\$ 40,935.00	Peters Electric	Complete		N/A	N/A	No	08/02/21	TBD	City Hall Lighting Changeout (Prior to Reopen) (520-4600-541303)
Pilot Park	20-014	\$ 250,000.00	\$ 250,000.00	\$ 311,134.00	PlaySouth Playground / Black Oak / TriScapes / Roberts Fence / City of Monroe	Complete		N/A	N/A	Yes	N/A	N/A	Demo of Existing, Stormwater Repair, Playground Equipment, Concrete, Fencing, Painting
Pilot Park Maintenance	21-039	\$ 20,000.00	\$ 20,000.00	\$ 25,333.96	Conner Grading / City of Monroe	Complete		N/A	N/A	No	10/04/21	N/A	Drainage Repair, Mulch, Retaining Wall Repair
Stormwater Retention Pond Rehabilitation	21-028	\$ 275,000.00	\$ 4,500.00	\$ 4,500.00	Conner Grading / City of Monroe	Phased Project		N/A	N/A	No	07/28/21	2 weeks	Breedlove/McDaniel DONE
Parks Master Plan	21-044	\$ 10,000.00	\$ 10,000.00	\$ 2,001.00	Keck & Wood	Ongoing		N/A	N/A	No	08/14/21	N/A	Overall Remastering of the Parks Plan (322-6200-541303)
Stormwater Infrastructure	21-029	\$ 145,510.00	\$ 38,617.00	\$ 48,117.00	Conner Grading / City of Monroe	Scheduling	320'	N/A	N/A	No	N/A	N/A	Highland Creek, Baron Drive
Sidewalk Additions	20-003	\$ 50,000.00	\$ 50,000.00			Planning							
South Madison Avenue Paving Project	N/A	\$ 356,372.49	\$ 356,372.49	\$ 349,869.74	Blount Construction Company	Complete		N/A	N/A	Yes	05/03/21	3 weeks	Milling, Patching, Paving, Striping
Terminal Building	21-042	\$ 550,000.00	\$ -	\$ -	TBD	Design, Planning		N/A	N/A	Yes	11/01/21	7 months	Award, Acceptance/Rejection, Planning, Design, Bidding, Contracting, Construction (322-7563-541303)
Gateway Entrance Signage	21-014	\$ 100,000.00	\$ 35,000.00	\$ 38,000.00	Black Oak, SignBros	Reimbursement		N/A	N/A	Yes	N/A	N/A	REBC grant award (31k), Design, Landscaping, Signage
Cemetery Rehabilitation	N/A	\$ 200,000.00	\$ 50,000.00	\$ -	TBD	Planning		N/A	N/A				Paving Portions, Design and Fencing, Shrub/Tree Removal
Green Street Court	N/A	\$ 15,000.00	\$ 15,000.00	\$ 6,500.00	PlaySouth Playground Creators	Planning		N/A	N/A				
Stormwater Marketing	N/A	\$ 3,500.00	\$ -	\$ -	TBD	Pricing, Planning		N/A	N/A	No	N/A	Ongoing	Planning, Pricing, Design, Implementation
Solid Waste Marketing & Recycling Education	N/A	\$ 30,000.00	\$ -	\$ -	TBD	Pricing, Planning		N/A	N/A	No	N/A	Ongoing	Planning, Pricing, Design, Implementation
Library Parking Lot Rehabilitation	N/A	\$ -	\$ -	\$ -		Bidding		N/A	N/A				Planning, Project Bidding during the Spring
GPS Replacement	N/A	N/A	\$ 20,570.00	\$ 20,570.00	AT&T Fleet Complete	Complete		03/10/21	1 week	No	04/29/21	2 weeks	Material Delivery, Installation Dates/Scheduling
Solid Waste Transfer Station Improvements	19-011	\$ 350,000.00	\$ 350,000.00	\$ 320,056.20	Osborn / Garland / Peters / CupriDyne / ProCare	In Progress		N/A	N/A	No	N/A	3 months	Signage, Transfer Station Floor/Wall Repair/Clean, Scale Replacement, Fencing, Landscaping, Generator
Scale House Improvements	N/A	\$ 100,000.00	\$ 107,466.70	\$ -	Fairbanks	Scheduling							
East Washington Street	LMIG	\$ 71,045.40	\$ -	\$ -		Complete	3,200'	N/A	N/A	Yes			Bidding, Milling, Paving
Pinecrest Drive	LMIG	\$ 46,550.00	\$ -	\$ -		Complete	2,700'	N/A	N/A	Yes			Bidding, Milling, Paving
Plaza Drive	LMIG	\$ 102,564.07	\$ -	\$ -		Awaiting Schedule	3,400'	N/A	N/A	Yes			Bidding, Milling, Paving
Bryant Road	LMIG	\$ 29,050.00	\$ -	\$ -		Complete	2,800'	N/A	N/A	Yes			Bidding, Milling, Paving
South Madison Avenue	LMIG	\$ 77,770.00	\$ -	\$ -		Complete	4,500'	N/A	N/A	Yes			Bidding, Milling, Paving
Maintenance Hangar Building	21-033	\$ 50,000.00	\$ 35,500.00	\$ -	Owner / Lessee	Design In Progress		N/A	N/A	No	N/A	12 months	Planning, Council Approval, Engineering, 7460, DOT Approval, Lease Agreement, (322-7563-541303)
Police / Municipal Court Renovation Project		\$ 3,560,523.00	\$ 3,560,523.00	\$ 3,372,576.32	Garland / Place Services	Complete		N/A	N/A	Yes	06/01/19	24 months	Exterior, Bidding Architectural, Design, Bidding, Interior Renovation, Final
Plaza Renovation Phase II	21-021	\$ 971,288.00	\$ 971,288.00	\$ 742,680.03	Garland Company	In Progress		05/12/21	N/A	Yes	07/28/21	N/A	Planning, Bidding, Approval, NTP, (100-6200-541303)
	21-022	\$ 478,678.00	\$ 478,678.00	\$ 365,797.63	Garland Company	In Progress		05/12/21	N/A	Yes	07/28/21	N/A	Planning, Bidding, Approval, NTP, (520-4750-541303)
Childers Park Rehabilitation	21-038	\$ 25,000.00	\$ 25,000.00	\$ 37,200.00	J.Key Construction / Conner Landscaping	Complete		10/07/21	2 weeks	No	10/18/21	2 weeks	Pricing, Demo, Repair (322-6200-541303)
GIS Development		\$ 250,000.00	\$ 250,000.00	\$ 227,229.00	Carter & Sloope	Sewer Test Deployment, Awaiting Water, Gas, and Stormwater		N/A	N/A	Yes	01/01/20	24 months	Captured Data, Test Phases, Deployment, Edit/Corrections, Live Application
Park Restrooms	21-034	\$ 130,000.00	\$ 135,932.24	\$ -	CXT Concrete Buildings	Review Complete		08/12/21	N/A	No	TBD	5 months	Mathews Park, Pilot Park, (322-6200-541303)
Garbage Truck Purchase (ASL)	N/A	\$ 270,000.00	\$ 278,673.00	\$ -	Carolina Environmental Systems	Ordered		08/16/21	280 days	No	N/A	N/A	National Purchasing Alliance Purchase
Alcovy River Park	21-026	\$ -	\$ -	\$ 5,954.00		Planning							
Parks Buildings Demo	21-030	\$ 20,000.00	\$ 20,000.00	\$ 38,314.84	City of Monroe	Complete		N/A	N/A	No	02/01/21	Sporadic	EC Kidd DONE, Towler Street DONE, Hammond DONE, Mathews DONE, Coker DONE, Athens Tech DONE

MyCivic Implemetation	N/A	\$ -	\$ -	\$ -	Tyler / MyCivic	In Progress		N/A	N/A	No	05/17/21	6 weeks	Development, Implementation			
North Midland Traffic Calming		\$ -	\$ -	\$ -	Keck & Wood	Planning		N/A	N/A	No	N/A	4 weeks	Design, Planning, Pricing, Construction			
Old WTP Exterior/Brick Rehabilitation	21-032	\$ 100,000.00	\$ 100,000.00	\$ 80,501.25	Garland Company	In Progress		N/A	N/A	No	05/17/21	6 weeks	Emergency Restoration, Brick Removal, Shoring, Brick Replacement, (520-4400-541303)			
Lumpkin Alleyway Phase II		\$ -	\$ -	\$ -	City of Monroe / TBD	Easement Acquisition		N/A	N/A	No	N/A	2 weeks	Demo of Existing, Utility Replacement, Drainage, Concrete			
North Madison Sidewalk/Drainage	21-027	\$ -	\$ -	\$ 8,980.42	Keck & Wood	Engineering	1,200'	N/A	N/A	Yes	N/A	N/A	Planning, Design, Drainage, Sidewalk, Piping, Easement, Permit, Construction			
Highway 186 Gas Extension	21-001	\$ 1,000,000.00	\$ 1,000,000.00	\$ 173,160.00	City of Monroe	In Progress	36,000'	N/A	N/A	No	01/01/21	12 months	6" Plastic			
Highway 83 Gas Extension					City of Monroe	Material Ordered	114,502'		No	06/01/21	6 months	4" Plastic, Hwy 83, Chandler, Old Monroe Madison, Simmons, Lipscomb, Whitney, Mt. Paran, Brown Hill Church, Hestertown, Adcock				
Popluar Street Gas Renewal / Installation	21-004	\$ 316,494.00	\$ 316,494.00	\$ 3,060.00	City of Monroe	All completed and services tied over	3,000'			No	01/01/21	4 weeks	2" Plastic			
Southview Drive, Bolton Street, Reece Street, Pierce Street and Olympian Way Renewal																
Carwood Drive Gas Renewal					Southern Pipeline	Completed & services tied over.	3,000'	N/A	N/A	No	05/01/21	6-8 weeks	2" Steel			
Victory Drive Renewal					TBD	Planning	1,500'	N/A	N/A	No	01/01/21	5 months	2" Plastic			
Harris / Lacy Renewal					TBD	Planning	2,000'	N/A	N/A	No	04/01/21	5 months	2" Plastic			
MAB Gas Extension	21-005	\$ 250,000.00	\$ 231,576.50	\$ 18,423.50	City of Monroe	Complete		N/A	N/A	No	03/01/21	4 weeks	2" Plastic / 4" Plastic			
Unisia Drive Gas Extension					City of Monroe	Complete	3,100'	N/A	N/A		01/01/21	1 week	4" Plastic			
Highway 11 South Renewal					Contractor	Complete	20,064'	N/A	N/A		01/01/21	6-8 weeks	4" Plastic			
The Fields / Alcovy Mountain Gas Extension	21-005	\$ 250,000.00	\$ 227,886.14	\$ 3,690.36	City of Monroe	Complete	4,000'	N/A	N/A		03/01/21	1 week	2" Plastic			
South Madison Sewer Replacment					City of Monroe	Complete	550'	N/A	N/A		02/01/21	4-6 weeks	6" Clay			
Church Street Sewer Replacment					City of Monroe	Complete	400'	N/A	N/A		03/01/21	4-6 weeks	6" Clay			
Gratis Road / Birch Street / Highway 78 Sewer Repairs					City of Monroe	Complete					03/01/21	4-6 weeks	12 Manholes Raised in Jacks Creek area			
2018 CDBG					IPR / Dickerson Group / Blount	Complete		N/A	N/A	Yes	09/18/21	20 months	Water / Sewer Rehabilitation, Paving			
Alcovy River / Highway 138 Sewer Extension	18-002	\$ 4,000,000.00	\$ 4,000,000.00	\$ 209,625.18	Contractor	Main Complete, Pump Station Contracted		N/A	N/A	Yes	01/01/21	12 months	Bid, Preconstruction, Construction			
Water Model Development					Weideman & Singleton	Complete		N/A	N/A	Yes	11/01/20	6-8 weeks				
WWTP Rehabilitation	19-012	\$ 7,500,000.00	\$ 7,500,000.00	\$ 550,163.75	Hofstadter & Associates	In Progress		N/A	N/A	Yes	01/01/00	forever	Design, Planning, Design, Bid, Design, Planning, Bid, Construction			
Raw Water Main Replacement	20-030	\$ 3,520,000.00	\$ 3,520,000.00	\$ 53,256.80	Weideman & Singleton	Approved by EPD	TBD	N/A	N/A	Yes	01/01/21	12 months	30" / 20" Water Main Replacement / Expansion			
South Broad Street Water Extension					City of Monroe	Myers to Walker Complete	1,500'	N/A	N/A		05/01/21	6-8 weeks	10" Water Main / Pressure Improvements			
Highway 78 East Water Extension					City of Monroe	Planning	1,500'	N/A	N/A		03/01/21	4 months	8" Water Main			
Cedar Ridge Road Water Extension					Contractor	Complete	3,500'	N/A	N/A	Yes	02/01/21	6-8 weeks	20" Water Main			
Loganville Water Extension	18-028	\$ 5,580,000.00	\$ 5,580,000.00	\$ 7,377,162.04	Contractor	Complete		N/A	N/A	Yes	07/01/18	36 months	Easements, Construction			
Piedmont Industrial Parkway Water Extension	20-040	\$ 1,000,000.00	\$ 1,000,000.00	\$ 26,020.41	City of Monroe	In progress - Engineers	13,000'	N/A	N/A	No	01/01/21		Unisia Drive, Jacks Creek, Southview Drive, Birch Street, East Marable			
Piedmont Industrial Park Water Tank	20-039	\$ 2,000,000.00	\$ 2,000,000.00	\$ 15,788.75	TBD	Planning		N/A	N/A	Yes	TBD	TBD				
Jim Daws Road Water Extension					City of Monroe	Complete	1,000'	N/A	N/A	No	01/01/21	4 weeks				
Poplar Street Pressure Improvements					City of Monroe	Complete	2,800'	N/A	N/A	No	01/01/21	6-8 weeks				
Jack's Creek Rd Gas Expansion					City of Monroe	Complete	3500'	N/A	N/A	No	07/01/21	1 month	Installed 3500' of 2" plastic gas main along Jack's Creek Rd			
Saddle Creek Subdivision Jim Daws/Wall Rd					City of Monroe	Complete	3500'	N/A	N/A	No	07/01/21	1 month	Installed 3500' of 2" plastic gas main in Saddle Creek Subdivision			



CODE

DEPARTMENT

MONTHLY REPORT

January

2022

The Code Department of the City of Monroe respectfully submits this report to the Mayor and Council. It is the intent of this report to highlight statistics, specific job duties, and any job functions related to the Code Department during the time period of November 1, 2021 thru November 30, 2021.

Statistics:

- Total Calls: 709
- Total Minutes: 24:35:07
- Total Minutes/Call: 2:05
- Code Inspections: 156
- Total Permits Written: 61
- Amount collected for permits: \$18,229.31
- Check postings for General Ledger: 73

Business/Alcohol Licenses new & renewals: None

New Businesses: 5

- Pathways Hospice LLC – 704A Breedlove Dr
- TaylorMack Mobile Truck Repair – 105B Vine St.
- Joe Casteel – 700C Breedlove Dr – office only
- SprintCom Inc. – 2130 W. Spring St.
- Mimi Beauty Mart LLC – 1219 W. Spring St.

Closed Businesses: 3

- Happy Jack 4 U – 116 Oak Ridge – Residential
- SprintCom Inc. – 2130 W. Spring St - duplicate license
- Petals PCH Inc – 422 S. Broad St.

Major Projects:

- Major Projects Permitted: None
- Major Projects Ongoing: Monroe Pavilion

Code Department:

- Receiving business license payments, affidavits and identification.
- Making numerous phone calls regarding insufficient paperwork
- Following up on unpaid business licenses
- Processing paperwork for alcohol licenses and special event permits
- Checking turn on list from utilities and contacting businesses that have not purchased business licenses
- Checking all businesses for delinquent city and county personal property taxes prior to accepting payments for licenses
- Researching state license requirements for businesses
- Updating spread sheets regarding business licenses, number of employees, E-Verify #'s etc.
- Applications for PTVR registrations and renewals
- Following up on golf cart permits that have not been renewed
- Communicating with Tyler on the renewal process
- Verifying status for non-citizens thru the SAVE program

- Receipting miscellaneous money
- Preparing and mailing business license renewal information packet
- Preparing business license invoices to be mailed in December
- Issuing permits for Building, Electrical, Plumbing and HVAC
- Receiving and preparing Rezones, variances, Conditional Uses, COA's, etc. for Meetings.
- Preparing and mailing letters to adjoining properties for Zoning Changes.
- Scheduling inspections for contractors.
- Preparing agenda items for Planning Commission and Historic Preservation Meetings.
- Scheduling Planning Commission and Historic Preservation meetings and attending
- Taking minutes for Planning & Zoning and Historic Preservation meetings and preparing them
- Taking and recording complaints.
- Researching Zoning Inquiries.
- Responding online inquiries.
- Cleaning up expired permits.
- Preparing all permit reports and copies of permit for County Tax Dept.
- Entering data for inspections being done into Incode software.
- Processing Open Records Requests

City Marshal:

- Patrolled city daily.
- Removed 53 signs from road way.
- 198 repair/cleanup orders and Re-inspections
- Transported city funds for deposit to banks daily.
- Investigated 2 utility tampering and theft cases. 4 citations
- Represented city in Municipal Court.
- 40 Hours POST training.

Historic Preservation Commission:

- Request for COA for Gutters—249 Boulevard—Approved
- Request for COA for Rear addition—707 S. Broad St—approved
- Request for COA for exterior changes—404 E Church St—tabled to January meeting

Planning Commission:

- Request for Conditional Use Permit—Expansion of an Existing Private School—611 Davis St—Recommended Approval
- Request for Rezone & Annexation—0 Oakland Ridge—R-1 County to R-1 City—Recommended Approval
- Request for COA—Renovation of an existing Convenience Store—615 E Spring St—Approved
- Preliminary Plat Review—0 Charlotte Rowell Blvd—The Monroe Pavilion—Recommended Approval
- Preliminary Plat Review—318 Alcovy St—Veterans Walk—Recommended Approval

11/1/2021	1248 S. MADISON AVE.	JUNK ITEMS IN YARD	R/C	11/16/2021	CLEANED
11/1/2021	MERIDITH CT.	MANNER OF PARKING	R/C	11/16/2021	MOVED
11/1/2021	1317 S. MADISON AVE.	JUNK VEHICLES IN YARD.	R/C	11/16/2021	MOVED
11/1/2021	340 TOWLER ST. LOT 9	TRAH/WOOD IN YARD	R/C	11/16/2021	CLEANED
11/2/2021	313 BOLD SPRINGS AVE.	JUNK ITEMS ON TRAILOR/TRUCK	R/C	11/17/2021	CLEANED UP
11/2/2021	341 N. MADISON AVE.	VEHICLE SITTING ON BLOCKS	R/C	11/17/2021	MOVED
11/2/2021	786 HICKORY DR.	LARGE AMOUNT OF JUNK IN YARD	R/C	11/17/2021	CLEANED UP
11/3/2021	407 PLANTATION DR.	TRASH CAN NEEDS TO BE REMOVED FROM CURB	R/C	11/18/2021	MOVED
11/3/2021	425 MAGNILIA ST.	JUNK IN YARD	R/C	11/18/2021	CLEANED
11/3/2021	407 MAGNOLIA ST.	JUNK/TRASH IN YARD	R/C	11/18/2021	CLEANED
11/3/2021	340 TOWLER ST. LOT 6	JUNK IN YARD	R/C	11/18/2021	WORKING WITH OWNER
11/4/2021	647 GATEWOOD	TALL GRASS/WEEDS	R/C	11/19/2021	CUT
11/4/2021	707 DAVIS ST.	JUNK/TRASH IN YARD	R/C	11/19/2021	CLEANED
11/4/2021	723 DAVIS ST.	TALL GRASS/WEEDS	R/C	11/19/2021	CUT
11/4/2021	709 W. CREEK CIR.	JUNK IN YARD	R/C	11/19/2021	CLEANING, WORKING WITH OWNER
11/5/2021	115 FELKER ST.	OVERGROWN VEG.	R/C	11/20/2021	CUT
11/5/2021	904 WILKINS DR.	OPEN OUTDOOR STORAGE	R/C	11/20/2021	MOVED
11/5/2021	421 ALCOVY ST.	REFRIGERATOR IN FRONT YARD	R/C	11/20/2021	MOVED
11/8/2021	739 W. CREEK CIR.	TRASH IN YARD	R/C	11/23/2021	CLEANED
11/8/2021	727 W. CREK CIR.	TRASH/JUNK IN YARD	R/C	11/23/2021	CLEANED
11/8/2021	707 W. CREEK CIR.	JUNK/TRASH IN YARD	R/C	11/23/2021	CLEANED
11/9/2021	647-B BURCH ST.	JUNK VEHICLE	R/C	11/24/2021	MOVED
11/9/2021	624 E. MARABLE ST.	TRASH IN YARD	R/C	11/24/2021	CLEANED
11/9/2021	622 MARABLE ST.	OLB BED SPRING IN YARD	R/C	11/24/2021	CLEANED
11/9/2021	423 N. BROAD ST.	VEHICLE SITTING ON BLOCKS	R/C	11/24/2021	MOVED
11/10/2021	807 S. BROAD ST.	TALL GRASS/WEEDS	R/C	11/24/2021	CUT
11/10/2021	1206 FAMBROUGH WAY	TALL GRASS/WEEDS	R/C	11/25/2021	CUT
11/10/2021	205 DOUGLAS ST.	TALL GRASS/WEEDS	R/C	11/25/2021	CUT
11/11/2021	417 GLENWOOD DR.	PALLETS,MISC JUNK IN YARD	R/C	11/26/2021	CLEANED
11/11/2021	405 SHAMROCK DR.	WOOD, MISC. JUNK IN YARD	R/C	11/26/2021	CLEANED
11/11/2021	421 ALCOVY ST.	PALLETS IN YARD	R/C	11/26/2021	CLEANED
11/11/2021	303 WALKER DR.	JUNK VEHICLES IN YARD.	R/C	11/26/2021	WORKING WITH OWNER
11/12/2021	121 PERRY ST.	TALL GRASS/WEEDS	R/C	11/27/2021	CUT
11/12/2021	420 EDWARDS ST.	TALL GRASS/WEEDS	R/C	11/27/2021	CUT
11/12/2021	710 LAWRENCE ST	LIVING W/NO UTILITIES	R/C	11/27/2021	CUT ON
11/12/2021	429 EDWARDS ST.	TALL GRASS/WEEDS	R/C	11/27/2021	CUT
11/15/2021	121 NOWELL ST.	TALL GRASS/WEEDS	R/C	11/30/2021	CUT
11/15/2021	124 NOWELL ST.	JUNK IN YARD	R/C	11/30/2021	CLEANED
11/15/2021	529 LAWRENCE ST	JUNK,TALL GRASS	R/C	11/30/2021	CLEANED

11/15/2021	321 STOKES ST.	TALL GRASS/WEEDS	R/C	11/30/2021	CUT
11/16/2021	721 OVERLOOK CR.	TRASH/JUNK IN YARD	R/C	12/1/2021	CLEANED
11/16/2021	329 GLEN IRIS DR.	WHITE FORD TRUCK, FLAT TIRES	R/C	12/1/2021	FIXED
11/16/2021	724 COUNTRY CLUB DR.	JUNK ITEMS IN YARD, OPEN OUTDOOR STORAGE	R/C	12/1/2021	CLEANED
11/17/2021	101 DEAN ST	JUNK VEHICLE IN YARD	R/C	12/2/2021	MOVED
11/17/2021	540 GREEN ST.	JUNK IN YARD	R/C	12/2/2021	CLEANED
11/17/2021	539 GREEN ST.	JUNK VEHICLE IN YARD	R/C	12/2/2021	MOVED
11/17/2021	518 GREEN ST	MISC JUNK ITEMS IN YARD	R/C	12/2/2021	CLEANED
11/18/2021	735 LACY ST.	JUNK VEHICLE PARKED IN YARD	R/C	12/3/2021	LOOKING FOR OWNER
11/18/2021	403 ASH ST.	2 JUNK VEHICLES IN YARD	R/C	12/3/2021	MOVED
11/18/2021	1019 DAVIS ST.	JUNK VEHICLE IN YARD	R/C	12/3/2021	MOVED
11/18/2021	1006 MEADOWWALK	JUNK VEHICLE PARKED IN ROADWAY	R/C	12/3/2021	REMOVED
11/19/2021	LOPEZ LN.	JUNK VEHICLE IN YARD	R/C	12/4/2021	REMOVED
11/19/2021	953 LOPEZ LN.	MANNER OF PARKING IN ROADWAY MORE THAN 12" F	R/C	12/4/2021	VEHICLE TOWED AWAY
11/19/2021	723 MASTER DR.	JUNK IN YARD	R/C	12/4/2021	YARD CLEANED
11/29/2021	312 S. BROAD ST.	FENCE IN NEED IF REPAIR	R/C	12/4/2021	WORKIN WITH OWNER
11/29/2021	517 LANDERS ST.	BOAT IN FRONT YARD	R/C	12/14/2021	MOVED
11/29/2021	519 LANDERS ST.	JUNK/TRASH IN YARD	R/C	12/14/2021	CLEANED
11/30/2021	139 5TH ST.	JUNK ON RIGHT SIDE OF RESIDENCE	R/C	12/15/2021	CLEANED UP
11/30/2021	106 3RD ST.	WOOD/JUNK IN BACK YARD	R/C	12/15/2021	CLEANED UP
11/30/2021	118 4TH ST.	JUNK/TRASH IN YARD	R/C	12/15/2021	CLEANED UP
11/30/2021	133 3RD ST.	TRASH/JUNK IN YARD	R/C	12/15/2021	CLEANED UP
11/30/2021	1251 S. MADISON AVE	JUNK/TRASH IN YARD	R/C	12/15/2021	CLEANED UP

		1-5 Nov 2021 Monroe PD Training			
8-Nov-21	615 Lakeview Dr	trash, furniture in yard	RC	22-Nov-21	closed
8-Nov-21	728 Walton Rd	furniture in yard	RC	22-Nov-21	closed
8-Nov-21	223 Mayfield Dr	trash, furniture in yard	RC	22-Nov-21	closed
8-Nov-21	208 Carwood Dr	trash, furniture in yard	RC	22-Nov-21	closed
9-Nov-21	242 North Hammon Dr	feather flag	RC	23-Nov-21	closed
9-Nov-21	1006 Windsor Dr	tall grass and weeds	RC	23-Nov-21	closed
9-Nov-21	314 GW Carver Dr	goat	RC	23-Nov-21	closed
9-Nov-21	220 East Marabel St	trash, furniture in yard	RC	23-Nov-21	closed
10-Nov-21	263 Carwood Dr	trash, building materials in driveway	RC	24-Nov-21	closed
10-Nov-21	148B West Marable St	open outdoor storage	RC	24-Nov-21	closed
10-Nov-21	219 Mayfield Dr	uncultivated veg	RC	24-Nov-21	closed
10-Nov-21	219 Mayfield Dr	2 junk vehicles	RC	24-Nov-21	closed
11-Nov-21	306 Reed Way	open outdoor storage	RC	25-Nov-21	closed
11-Nov-21	703 Reed St	open outdoor storage	RC	25-Nov-21	closed
11-Nov-21	253 Carwood Dr	furniture in yard	RC	25-Nov-21	closed
12-Nov-21	1050 North Borad St	tall grass and weeds	RC	26-Nov-21	closed
12-Nov-21	1050 North Borad St	doors	RC	17-Dec-21	open
12-Nov-21	1050 North Borad St	windows	RC	17-Dec-21	open
		13-21 Nov 21 Holiday leave time			
22-Nov-21	813 Fawnfield Dr	vehicle parked on improper surface	RC	6-Dec-21	open
22-Nov-21	742 Walton Rd	trash, tires, boxes in yard	RC	6-Dec-21	open
22-Nov-21	252 Carwood Dr	furniture in yard	RC	6-Dec-21	open
22-Nov-21	833 Fawnfield Dr	vehicle parked on improper surface	RC	6-Dec-21	open
23-Nov-21	1812 Meadowwalk Dr	vehicle parked on improper surface	RC	7-Dec-21	open
23-Nov-21	2011 Meadowwalk Dr	trash, boxes in yard	RC	7-Dec-21	open
23-Nov-21	1108 Meadowwalk Dr	trash, furniture in yard	RC	7-Dec-21	open
23-Nov-21	1002 Windsor Dr	trash, furniture in yard	RC	7-Dec-21	open
24-Nov-21	314 GW Carver Dr	goat	RC	8-Dec-21	open
24-Nov-21	219 Mayfield Dr	junk vehicles	RC	8-Dec-21	open
24-Nov-21	219 Mayfield Dr	uncultivated veg/tall grass and weeds	RC	8-Dec-21	open

		25-28 Nov 21 Thanksgiving			
29-Nov-21	1050 North Broad St	neghbrohood standards	RC	13-Dec-21	open
29-Nov-21	1050 North Broad St	tall grass and weeds	RC	13-Dec-21	open
29-Nov-21	1050 North Broad St	windows	RC	27-Dec-21	open
29-Nov-21	1050 North Broad St	doors	RC	27-Dec-21	open
30-Nov-21	242 North Hammon Dr	feather flag	citation		closed
30-Nov-21	411 East Marabel St	trash, furniture in yard	RC	14-Dec-21	open
30-Nov-21	1808 Meadowalk Dr	furniture in yard	RC	14-Dec-21	open
30-Nov-21	1801 Meadwalk Dr	trash, boxes, furniture in yard	RC	14-Dec-21	open

Economic Development December Report:

- Comprehensive Plan Process - Public Visioning Meeting on January 13th
- Comp Plan Public Survey & Website: monroe-compplan.com
- Downtown Awards Reception - Feb. 7th, 6 pm at the Factory at Walton Mill

MONROE
IT'S ALL YOURS

What is your dream for Monroe?

Help us Plan for the Future
Comprehensive Plan

The City of Monroe is developing its Comprehensive Plan, which will be the blueprint for growth and development over the next 20 years. The Plan will describe the community's vision for the future and outline how to achieve it.

Visioning Workshop

<u>Date/Time</u> January 13 th 6:00 PM	<u>Location</u> The Factory at Walton Mill 600 South Broad St
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Housing

Environment

Public Facilities

Economic Development

Transportation

Population

Parks and Recreation

Land Use

Utilities

We look forward to you attending the Visioning Workshop.
Visit our virtual meeting room for project information and online surveys at www.monroe-compplan.com

Your Monroe - Your Future - Help Plan It!

Upcoming Events:

DDA/CVB Board Meetings - Thursday, January 13th, 8:00 at City Hall
(See 2022 calendar of events attached)

Ongoing Tasks:

- Historic Resources Survey underway - monroega.com/historicsurvey
- DCA Main Street compliance
- Milner-Aycock Building Sale
- Retail Recruitment & Retention
- Visitors Center - open to the public

2022 Downtown Events:

March 12 (Saturday) – Car Show with full street closure, 10-4

April 22 (Friday) – Food Truck Friday at Monroe Cotton Mill, 12-4

May 6 (Friday) – First Friday Concert in City Hall lot with Highland Street closure

May 7 (Saturday) – Opening Day of the Farmers Market with Court Street closure 8:30-12:30

[FM every Saturday through Oct. 8th]

June 3 (Friday) – First Friday Concert in City Hall lot with Highland Street (and more?) closure

June 18 (Saturday) – Monroe Flower Festival, 10-4

July 4 (Saturday) – City Fireworks

July 29 (Friday) – FTF & Movies at the Mill with S. Madison Street closure

August 5 (Friday) – First Friday Concert in City Hall lot with Highland Street closure

September 2 (Friday) – First Friday Concert in City Hall lot with Highland Street closure

October 8 (Saturday) – Fall Fest with full street closure

September 25 or October 16 (Sunday) – Farm to Table Dinner 5:00 to 9:00 pm, Court St. closure

November 3 (Thursday) – Light Up the Night, 5 to 8 pm, Court St. closure

November 10 (Thursday) – Candlelight Shopping, 5 to 8 pm, Court St. closure

November 17 (Thursday) – Candlelight Shopping, 5 to 8 pm & Magical Light Parade in Childers, 6 pm,
Court St. closure

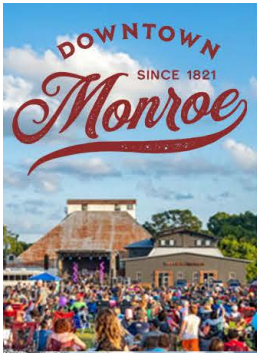
November 26 (Saturday) – Shop Small Saturday

December 8 (Thursday) – Christmas Parade, 6:30 pm, Broad Street closure

December 15 (Thursday) – Candlelight Shopping & Carriage Rides, 5 to 8 pm, Court St. closure

December 22 (Thursday) – Candlelight Shopping & Carriage Rides, 5 to 8 pm, Court St. closure

December 20-24? – Live Nativity organized by LWOC



2022

----- ANNUAL EVENTS -----



3/12 CAR SHOW | 9AM TO 4PM



4/22 FOOD TRUCK FRIDAY | 11AM & 6:30PM

5/6 FIRST FRIDAY CONCERT | 7PM

Purple Madness in front of City Hall

5/7 FARMERS MARKET | 8:30AM TO 12:30PM

Every Saturday through October 8th

6/3 FIRST FRIDAY CONCERT | 7PM

Soul Purpose in front of City Hall



6/18 FLOWER FESTIVAL | 10AM TO 4PM

7/29 MOVIES AT THE MILL | 6:30PM

8/5 FIRST FRIDAY CONCERT | 7PM

King of Pop Experience in front of City Hall

9/2 FIRST FRIDAY CONCERT | 7PM

Swingin' Medallions in front of City Hall



10/8 FALL FEST | 10AM TO 4PM

11/3 LIGHT UP THE NIGHT | 5 TO 8PM

11/10 CANDLELIGHT SHOPPING | 5 TO 8PM

Every Thursday until Christmas

11/17 MAGICAL LIGHT PARADE | 6PM

Childers Park - Lights on display until year-end



12/8 CHRISTMAS PARADE | 6:30PM



FOR EVENT DETAILS VISIT: MonroeDowntown.com



ELECTRIC & TELECOM
DEPARTMENT
MONTHLY REPORT

JANUARY
2022

Items of Interest

Started setting self-supporting poles for town green

Storm restoration went smoothly

Electric and Telecom services active in all the Pavilion project.

½ of all poles set and wire pulled for the Madison Ave electric rebuild project.

ELECTRIC: MONTHLY DIRECTOR'S REPORT

REPORTING PERIOD: 11/2021 | FY 2021



COVER	1
OVERVIEW	2
SALES REPORT	3
SALES STATISTICS	4
POWER SUPPLY	5
DETAIL REVENUES	6
DETAIL EXPENSES	7-8

CITY OF MONROE: ELECTRIC FUND OVERVIEW

	Jan 2021	Feb 2021	Mar 2021	Apr 2021	May 2021	Jun 2021	Jul 2021	Aug 2021	Sep 2021	Oct 2021	Nov 2021	Dec 2021	FY 2021	AS BUDGET	FY 2020
REVENUES	\$ 1.447M	\$ 1.621M	\$ 1.802M	\$ 1.485M	\$ 1.432M	\$ 1.359M	\$ 1.606M	\$ 1.952M	\$ 1.759M	\$ 1.673M	\$ 1.462M		\$ 17.599M	\$ 18.301M	\$ 17.050M
PERSONNEL COSTS	\$ 0.103M	\$ 0.106M	\$ 0.103M	\$ 0.159M	\$ 0.106M	\$ 0.105M	\$ 0.108M	\$ 0.113M	\$ 0.103M	\$ 0.145M	\$ (0.113M)		\$ 1.038M	\$ 1.240M	\$ 1.280M
CONTRACTED SVC	\$ 0.047M	\$ 0.048M	\$ 0.045M	\$ 0.054M	\$ 0.078M	\$ 0.064M	\$ 0.037M	\$ 0.038M	\$ 0.045M	\$ 0.068M	\$ 0.059M		\$ 0.584M	\$ 0.586M	\$ 0.512M
SUPPLIES	\$ 1.104M	\$ 1.104M	\$ 1.211M	\$ 1.023M	\$ 1.005M	\$ 1.035M	\$ 1.140M	\$ 1.231M	\$ 1.250M	\$ 1.149M	\$ 1.007M		\$ 12.259M	\$ 10.850M	\$ 11.851M
CAPITAL OUTLAY	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -
DEPRECIATION	\$ 0.029M	\$ 0.038M	\$ 0.033M	\$ 0.033M	\$ 0.033M	\$ 0.033M	\$ 0.033M	\$ 0.033M	\$ 0.033M	\$ 0.033M	\$ 0.033M		\$ 0.366M	\$ 0.336M	\$ 0.349M
EXPENSES	\$ 1.283M	\$ 1.295M	\$ 1.393M	\$ 1.269M	\$ 1.224M	\$ 1.238M	\$ 1.318M	\$ 1.415M	\$ 1.431M	\$ 1.395M	\$ 0.986M		\$ 14.247M	\$ 13.012M	\$ 13.992M
FUND TRANSFERS	\$ 0.137M	\$ 0.148M	\$ 0.196M	\$ 0.181M	\$ 0.151M	\$ 0.155M	\$ 0.154M	\$ 0.165M	\$ 0.177M	\$ 0.204M	\$ 0.120M		\$ 1.789M	\$ 3.053M	\$ 1.949M
MARGIN W/O TRANSFERS	\$ 0.164M	\$ 0.326M	\$ 0.409M	\$ 0.216M	\$ 0.208M	\$ 0.121M	\$ 0.288M	\$ 0.537M	\$ 0.328M	\$ 0.278M	\$ 0.476M	\$ -	\$ 3.352M	\$ 5.289M	\$ 3.058M
MARGIN W/ TRANSFER	\$ 0.027M	\$ 0.178M	\$ 0.214M	\$ 0.036M	\$ 0.057M	\$ (0.034M)	\$ 0.134M	\$ 0.371M	\$ 0.152M	\$ 0.073M	\$ 0.356M	\$ -	\$ 1.563M	\$ 2.237M	\$ 1.109M
PART CONTR/MEAG YES	\$ 0.100M	\$ 0.100M	\$ 0.100M	\$ 0.556M	\$ 0.100M	\$ 0.100M	\$ 0.100M	\$ 0.100M	\$ 0.100M	\$ 0.100M	\$ 0.100M	\$ -	\$ 1.556M	\$ 0.200M	\$ 1.233M

* Participant Contribution & Year End Settlement excluded

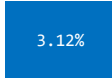
12-MO PURCHASED KWH's



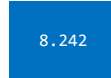
12-MO RETAIL KWH's



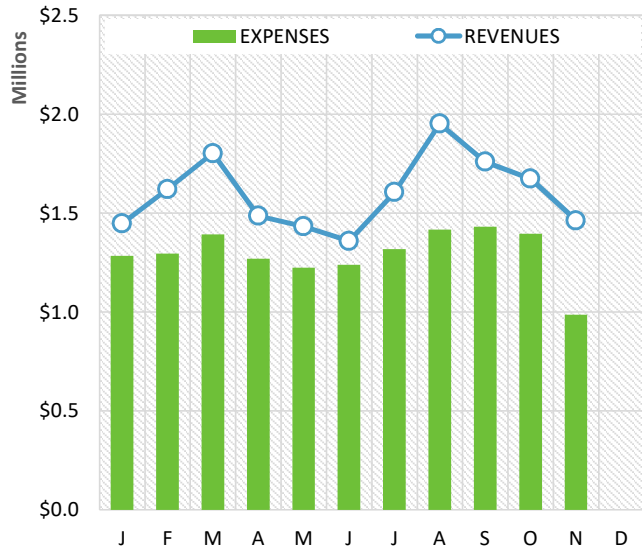
12-MO LINE LOSS



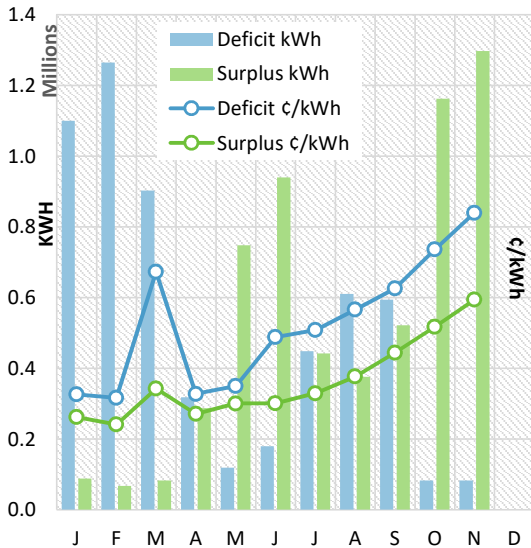
12-MO WHOLESALE \$/kWh



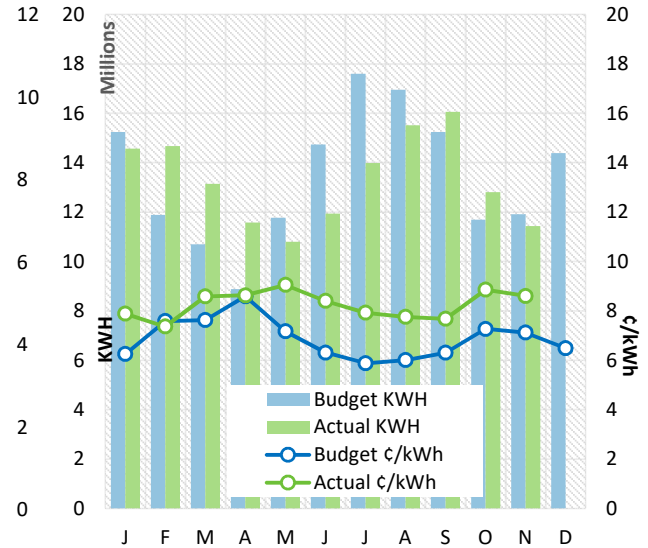
REVENUES vs. EXPENSES



DEFICIT PURCHASES vs. SURPLUS SALES



MEAG BUDGET vs. ACTUAL



RETAIL SALES REPORT

Jan 2021 Feb 2021 Mar 2021 Apr 2021 May 2021 Jun 2021 Jul 2021 Aug 2021 Sep 2021 Oct 2021 Nov 2021 Dec 2021

141

CUSTOMER COUNT

Residential	5,741	5,781	5,801	5,782	5,799	5,800	5,796	5,809	5,806	5,810	5,814
Commercial	855	873	861	863	870	868	875	877	882	884	896
Industrial	1	1	1	1	1	1	1	1	1	1	1
City	48	48	49	47	48	48	48	48	48	47	47
Total	6,645	6,703	6,712	6,693	6,718	6,717	6,720	6,735	6,737	6,742	6,758
Year-Over-Year Δ	3.02%	3.68%	3.44%	2.72%	3.27%	2.88%	3.02%	3.19%	2.76%	2.15%	1.43%

KWH

Residential	6.283M	7.942M	7.451M	5.948M	4.654M	4.342M	5.479M	6.629M	7.290M	6.616M	5.171M
Commercial	4.374M	5.039M	4.847M	4.424M	4.764M	4.842M	5.608M	5.988M	6.706M	6.456M	5.871M
Industrial	0.531M	0.666M	0.630M	0.620M	0.664M	0.651M	0.728M	0.710M	0.697M	0.655M	0.676M
Other	-	-	-	-	-	-	-	-	-	-	-
City	0.451M	0.530M	0.472M	0.454M	0.411M	0.459M	0.463M	0.480M	0.514M	0.533M	0.508M
Total	11.639M	14.178M	13.399M	11.446M	10.493M	10.293M	12.277M	13.806M	15.208M	14.261M	12.226M
Year-Over-Year Δ	-0.98%	15.73%	7.63%	-1.04%	15.68%	8.92%	0.87%	-2.71%	0.72%	3.16%	13.71%

REVENUE

Residential	\$ 0.689M	\$ 0.846M	\$ 0.800M	\$ 0.657M	\$ 0.604M	\$ 0.562M	\$ 0.717M	\$ 0.875M	\$ 0.967M	\$ 0.873M	\$ 0.584M
Commercial	\$ 0.597M	\$ 0.653M	\$ 0.624M	\$ 0.590M	\$ 0.624M	\$ 0.633M	\$ 0.710M	\$ 0.749M	\$ 0.815M	\$ 0.789M	\$ 0.712M
Industrial	\$ 0.043M	\$ 0.058M	\$ 0.056M	\$ 0.055M	\$ 0.058M	\$ 0.057M	\$ 0.062M	\$ 0.061M	\$ 0.060M	\$ 0.057M	\$ 0.059M
Other	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M
City	\$ 0.043M	\$ 0.051M	\$ 0.045M	\$ 0.043M	\$ 0.039M	\$ 0.044M	\$ 0.044M	\$ 0.046M	\$ 0.049M	\$ 0.051M	\$ 0.049M
Total	\$ 1.372M	\$ 1.609M	\$ 1.525M	\$ 1.346M	\$ 1.325M	\$ 1.296M	\$ 1.533M	\$ 1.731M	\$ 1.892M	\$ 1.770M	\$ 1.404M
Year-Over-Year Δ	-2.45%	15.42%	4.84%	-0.04%	10.59%	-1.00%	-6.43%	-9.17%	-3.68%	3.28%	9.50%

SALES STATISTICS

[Jan 2021](#)
[Feb 2021](#)
[Mar 2021](#)
[Apr 2021](#)
[May 2021](#)
[Jun 2021](#)
[Jul 2021](#)
[Aug 2021](#)
[Sep 2021](#)
[Oct 2021](#)
[Nov 2021](#)
[Dec 2021](#)

YTD 142

AVERAGE KWH/CUSTOMER

Residential	1,094	1,374	1,284	1,029	803	749	945	1,141	1,256	1,139	889	1,064
Commercial	5,116	5,772	5,630	5,126	5,475	5,578	6,409	6,827	7,603	7,304	6,553	6,127
Industrial	531,448	665,501	629,574	620,075	663,822	650,528	727,869	710,237	697,390	654,510	675,875	656,985
City	9,402	11,051	9,632	9,656	8,562	9,565	9,636	9,990	10,713	11,349	10,815	10,034

AVERAGE \$/CUSTOMER

Residential	\$120	\$146	\$138	\$114	\$104	\$97	\$124	\$151	\$167	\$150	\$100	\$128
Commercial	\$698	\$748	\$725	\$684	\$717	\$729	\$812	\$854	\$925	\$892	\$795	\$780
Industrial	\$43,203	\$58,232	\$56,021	\$55,474	\$58,007	\$57,237	\$61,719	\$60,698	\$59,956	\$57,469	\$58,722	\$56,976
City	\$900	\$1,058	\$922	\$924	\$819	\$916	\$923	\$957	\$1,026	\$1,086	\$1,036	\$961

AVERAGE \$/KWH

Residential	\$0.1097	\$0.1066	\$0.1073	\$0.1105	\$0.1297	\$0.1295	\$0.1309	\$0.1320	\$0.1327	\$0.1320	\$0.1130	\$0.1212
Commercial	\$0.1364	\$0.1297	\$0.1288	\$0.1333	\$0.1309	\$0.1307	\$0.1267	\$0.1251	\$0.1216	\$0.1222	\$0.1213	\$0.1279
Industrial	\$0.0813	\$0.0875	\$0.0890	\$0.0895	\$0.0874	\$0.0880	\$0.0848	\$0.0855	\$0.0860	\$0.0878	\$0.0869	\$0.0867
City	\$0.0957	\$0.0958	\$0.0957	\$0.0957	\$0.0957	\$0.0957	\$0.0957	\$0.0958	\$0.0958	\$0.0957	\$0.0958	\$0.0957
Average	\$0.1058	\$0.1049	\$0.1052	\$0.1073	\$0.1109	\$0.1110	\$0.1095	\$0.1096	\$0.1090	\$0.1094	\$0.1042	\$0.1079

MOST RECENT
12-MONTH

	Nov 2021	Nov 2020	FY2021 YTD	FY2020 YTD	
POWER SUPPLY COSTS					
MEAG Project Power	\$ 814,695	\$ 803,773	\$ 9,498,184	\$ 8,990,110	\$ 10,295,142
Transmission	126,039	97,269	1,387,013	1,145,294	1,485,353
Supplemental	(12,414)	17,888	497,873	646,659	537,038
SEPA	53,057	55,097	590,884	608,213	648,685
Other Adjustments	954	988	10,530	10,574	11,518
TOTAL POWER SUPPLY COSTS	\$ 982,331	\$ 975,015	\$ 11,984,484	\$ 11,400,850	\$ 12,977,737
AS BUDGET	847,413	868,354	9,907,826	10,730,722	10,835,851
% ACTUAL TO BUDGET	115.92%	112.28%	120.96%	106.24%	119.77%

PEAKS & ENERGY

Peaks (KW)

Coincident Peak (CP)	24,857	20,674	34,414	33,613	34,414
Non-Coincident Peak (NCP)	24,857	22,672	34,414	33,833	34,414
CP (BUDGET)	25,027	26,534	31,645	34,512	31,645
NCP (BUDGET)	25,423	26,954	32,723	35,076	32,723

Energy (KWH)

MEAG Energy	11,239,349	10,600,619	129,699,931	116,028,347	139,058,258
Supplemental Purchases (or sales)	(1,091,752)	(914,628)	1,847,265	7,551,853	1,810,669
SEPA Energy	1,279,089	1,457,580	14,873,280	15,636,273	16,592,145
Total Energy (KWH)	11,426,686	11,143,571	146,420,476	139,216,473	157,461,072
AS BUDGET	11,911,000	12,322,000	146,560,000	151,743,000	160,413,000
% ACTUAL TO BUDGET	95.93%	90.44%	99.90%	91.74%	98.16%

CP Load Factor	63.85%	74.86%	48.57%	47.28%	52.23%
NCP Load Factor	63.85%	68.27%	48.57%	46.97%	52.23%
% Supplemental	8.72%	7.59%	1.26%	5.42%	1.15%

UNIT COSTS (¢/kWh)

Bulk Power	9.0652	9.3317	8.3646	8.4622	8.4762
Supplemental	1.1371	1.9558	26.9519	8.5629	29.6597
SEPA Energy	4.1480	3.7800	3.9728	3.8898	3.9096
MEAG Total	8.5968	8.7496	8.1850	8.1893	8.2419

Note on Supplemental Unit Cost: Unit cost is based on the aggregated hourly energy and the associated market price for which the energy was purchased or sold.

MOST RECENT
12-MONTH

Nov 2021

Nov 2020

FY2021 YTD

FY2020 YTD

SALES REVENUES

ELECTRIC SALES	\$	1,403,977	\$	1,248,044	\$	16,805,764	\$	16,232,581	\$	18,047,609
SALES REVENUES (ACTUAL)	\$	1,403,977	\$	1,248,044	\$	16,805,764	\$	16,232,581	\$	18,047,609
AS BUDGET	\$	1,583,333	\$	1,583,333	\$	1,583,333	\$	1,583,333		Not Applicable
% ACTUAL TO BUDGET		88.67%		78.82%		1061.42%		1025.22%		Not Applicable

Note on Electric Sales: Detail break-down for individual rate class is shown in *ELECTRIC: RETAIL SALES* section.

OTHER REVENUES

OP REVENUE		34,581		34,175		378,937		373,861		413,727
FEDERAL GRANT		-		-		-		-		-
MISC REVENUE		2,111		14,382		394,119		19,949		474,656
CONTRIBUTED CAPITAL		-		-		-		-		-
SALE OF FIXED ASSETS		-		-		-		-		-
GAIN UTILITIES ASSETS		-		-		-		-		-
REIMB DAMAGED PROPERTY		-		-		3,000		-		3,000
CUST ACCT FEES		-		-		-		-		-
OTHER REV		-		-		-		-		-
ADMIN ALLOC		14,109		12,424		120,678		126,426		153,748
INTEREST REVENUES - UTILITY		7,666		5,770		(103,515)		274,148		(82,317)
STATE GRANTS		-		-		-		-		-
SALE OF RECYCLED MATERIALS		-		-		-		22,837		-
OTHER REVENUES (ACTUAL)	\$	58,468	\$	66,751	\$	793,219	\$	817,222	\$	962,815
AS BUDGET	\$	80,431	\$	87,500	\$	884,736	\$	962,500		Not Applicable
% ACTUAL TO BUDGET		72.69%		76.29%		89.66%		84.91%		Not Applicable

TRANSFER

Transfer From CIP		-		-		-		-		-
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TOTAL REVENUES (ACTUAL)	\$	1,462,444	\$	1,314,796	\$	17,598,984	\$	17,049,803	\$	19,010,424
AS BUDGET	\$	1,663,764	\$	1,670,833	\$	18,301,403	\$	18,379,167		Not Applicable
% ACTUAL TO BUDGET		87.90%		78.69%		96.16%		92.77%		Not Applicable

MCT CREDIT	\$	-	\$	-	\$	-	\$	-	\$	-
	\$	-	\$	-	\$	-	\$	-	\$	-
	\$	100,000	\$	100,000	\$	1,100,000	\$	800,000	\$	1,200,000
MEAG REBATE		-		-		456,339		432,748		456,339

MEAG YES/PART CONTR/MCT CF	\$	100,000	\$	100,000	\$	1,556,339	\$	1,232,748	\$	1,656,339
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Note on MEAG Credit/YES/Participant Contribution: excluded from revenues

	Nov 2021	Nov 2020	FY2021 YTD	FY2020 YTD	
PERSONNEL					
Compensation	\$ (148,012)	\$ 96,856	\$ 686,197	\$ 916,556	\$ 770,798
Benefits	35,048	39,069	351,505	363,855	394,534
PERSONNEL (ACTUAL)	\$ (112,964)	\$ 135,925	\$ 1,037,702	\$ 1,280,411	\$ 1,165,332
AS BUDGET	\$ 112,623	\$ 109,087	\$ 1,238,858	\$ 1,199,954	Not Applicable
% ACTUAL TO BUDGET	-100.30%	124.60%	83.76%	106.70%	Not Applicable
CONTRACTED SERVICES					
Consulting	\$ 85	\$ -	\$ 624	\$ 591	\$ 624
Landfill Fees	-	-	-	-	-
Holiday Event	-	-	-	-	-
Maintenance Contracts	258	269	8,653	4,564	8,954
Rents/Leases	475	188	4,572	2,915	25,474
Repairs & Maintenance (Outside)	4,971	9,401	48,372	35,563	52,185
Landfill Fees	-	-	-	-	-
Other Contract Svcs	-	-	-	-	-
Comm Svcs	853	1,578	18,216	18,999	20,422
Postage	-	-	71	138	71
Public Relations	-	-	800	-	800
Mkt Expense	-	-	-	19,696	800
Printing	-	-	-	-	-
Dues & Sub	-	-	-	-	-
Travel	2,990	-	6,982	576	6,982
Vehicle Tag & Title Fee	-	-	-	74	-
Ga Dept Rev Fee	-	-	900	900	900
Fees	-	-	300	319	300
Training & Ed	350	-	361	1,050	361
Contract Labor	49,376	36,767	494,455	425,541	524,772
Shipping/Freight	-	-	-	368	-
CONTRACTED SERVICES (ACTUAL)	\$ 59,357	\$ 48,202	\$ 584,305	\$ 511,500	\$ 642,646
AS BUDGET	\$ 53,296	\$ 50,357	\$ 586,254	\$ 553,923	Not Applicable
% ACTUAL TO BUDGET	111.37%	95.72%	99.67%	92.34%	Not Applicable

	Nov 2021	Nov 2020	FY2021 YTD	FY2020 YTD	
SUPPLIES					
Office Supplies	22	468	1,771	2,014	1,771
Furniture <5001	-	-	-	650	-
Postage	-	-	-	-	-
Auto Parts	1,513	94	3,597	3,284	3,789
Construction Materials	-	3,434	6,528	26,660	10,999
Damage Claims	-	-	1,439	2,299	1,439
Expendable Fluids	241	40	412	96	412
Safety/Medical Supplies	-	-	-	5,780	-
Tires	1,866	-	2,496	6,272	4,516
Uniform Expense	88	-	11,799	17,593	11,799
Janitorial	192	226	2,905	3,057	3,318
Computer Equipment	-	700	5,766	700	5,766
R & M Buildings - Inside	-	-	-	-	2,640
Util Costs - Util Fund	767	383	13,774	9,067	14,998
Covid-19 Expenses	-	-	957	2,529	957
Streetlights	-	-	6,536	-	6,536
Auto & Truck Fuel	2,190	2,415	26,967	23,048	30,074
Food	103	55	1,812	1,583	2,600
Sm Tool & Min Equip	545	3,408	22,555	45,909	26,896
Meters	-	-	-	-	-
Lab Supplies	-	-	-	-	-
Sm Oper Supplies	6,101	2,363	47,387	23,826	49,280
Construction Material	-	-	-	-	-
Tires	-	-	-	-	-
Uniform Exp	-	-	-	-	-
Power Costs	982,331	975,015	11,929,905	11,343,351	13,124,430
Equip Pur (<\$5M)	-	-	-	-	-
Dam Claims	-	-	-	-	-
Misc	-	-	-	-	-
SUPPLIES (ACTUAL)	\$ 1,006,780	\$ 1,158,723	\$ 12,259,174	\$ 11,860,192	\$ 13,605,483
AS BUDGET	\$ 986,383	\$ 1,055,868	\$ 10,850,212	\$ 11,614,552	Not Applicable
% ACTUAL TO BUDGET	102.07%	109.74%	112.99%	102.11%	Not Applicable
CAPITAL OUTLAY					
Construction In Progress	\$ -	\$ -	\$ -	\$ -	\$ -
Capital Expenditures	\$ -	\$ -	\$ -	\$ -	\$ -
Depr Exp	\$ 33,270	\$ 32,610	\$ 366,055	\$ 349,050	\$ 366,055
CAPITAL OUTLAY (ACTUAL)	\$ 33,270	\$ 32,610	\$ 366,055	\$ 349,050	\$ 366,055
AS BUDGET	\$ -	\$ -	\$ -	\$ -	Not Applicable
% ACTUAL TO BUDGET	0.00%	0.00%	0.00%	0.00%	Not Applicable
FUND TRANSFERS					
Admin Alloc - Adm Exp	\$ 7,965	\$ 92,387	\$ 729,099	\$ 920,709	\$ 755,393
Transfer To Gf	112,384	107,752	1,059,702	1,028,317	1,143,296
Transfer To Cip	-	-	-	-	-
Transfer - E&R	-	-	-	-	-
FUND TRANSFERS (ACTUAL)	\$ 120,349	\$ 200,139	\$ 1,788,802	\$ 1,949,026	\$ 1,898,689
AS BUDGET	\$ 277,505	\$ 270,566	\$ 3,052,551	\$ 2,976,221	Not Applicable
% ACTUAL TO BUDGET	43.37%	73.97%	58.60%	65.49%	Not Applicable
TOTAL EXPENSES (ACTUAL)	\$ 1,106,793	\$ 1,575,598	\$ 16,036,038	\$ 15,950,180	\$ 17,678,205
AS BUDGET	\$ 1,429,807	\$ 1,485,877	\$ 15,727,875	\$ 16,344,651	Not Applicable
% ACTUAL TO BUDGET	77.41%	106.04%	101.96%	97.59%	Not Applicable

TELECOM: MONTHLY DIRECTOR'S REPORT

REPORTING PERIOD: 11/2021 | FY 2021



COVER	1
EXECUTIVE SUMMARY	2
OVERVIEW	3
CHART 1: REVENUES, EXPENSES & INCOME SUMMARY	4
REVENUES	5
EXPENSES	6-9
CHART 2: REVENUES & EXPENSE	10
RETAIL SALES & REVENUE	11-13
CHART 3: RETAIL REVENUES	14-16

COMMENTARY & ANALYSIS

The net operating margin after transfers, FY to date was 2.10%

RECOMMENDATIONS

- *
- *
- *
- *

MOST RECENT
12-MONTH

Nov 2021

Nov 2020

FY2021 YTD

FY2020 YTD

FINANCIALS

Revenues

RETAIL SALES	\$	568,973	\$	517,986	\$	6,395,124	\$	5,646,044	\$	6,909,023
OTHER REVENUES		32,573		42,205		350,096		432,755		416,815
ADJUSTMENTS		2,337		(13,338)		(20,866)		(138,396)		36,245
Total Revenues	\$	603,883	\$	546,852	\$	6,724,354	\$	5,940,403	\$	7,362,083

Expenses

PERSONNEL	\$	74,442	\$	80,979	\$	820,123	\$	790,532	\$	895,872
PURCHASED & CONTRACTED SVC		30,562		11,086		208,722		164,681		234,472
PURCHASED PROPERTY SERVICES		10,172		4,368		47,343		51,329		56,347
SUPPLIES		26,588		22,327		288,067		263,287		340,745
COST OF GOODS SOLD		239,952		286,860		2,817,845		3,186,502		3,216,193
DEPR, DEBT SVC & OTHER COSTS		57,036		137,157		1,268,453		1,112,439		1,337,836
FUND TRANSFERS		44,033		33,725		1,132,453		360,123		1,168,287
Total Combined Expenses	\$	482,785	\$	576,502	\$	6,583,007	\$	5,928,892	\$	7,249,751

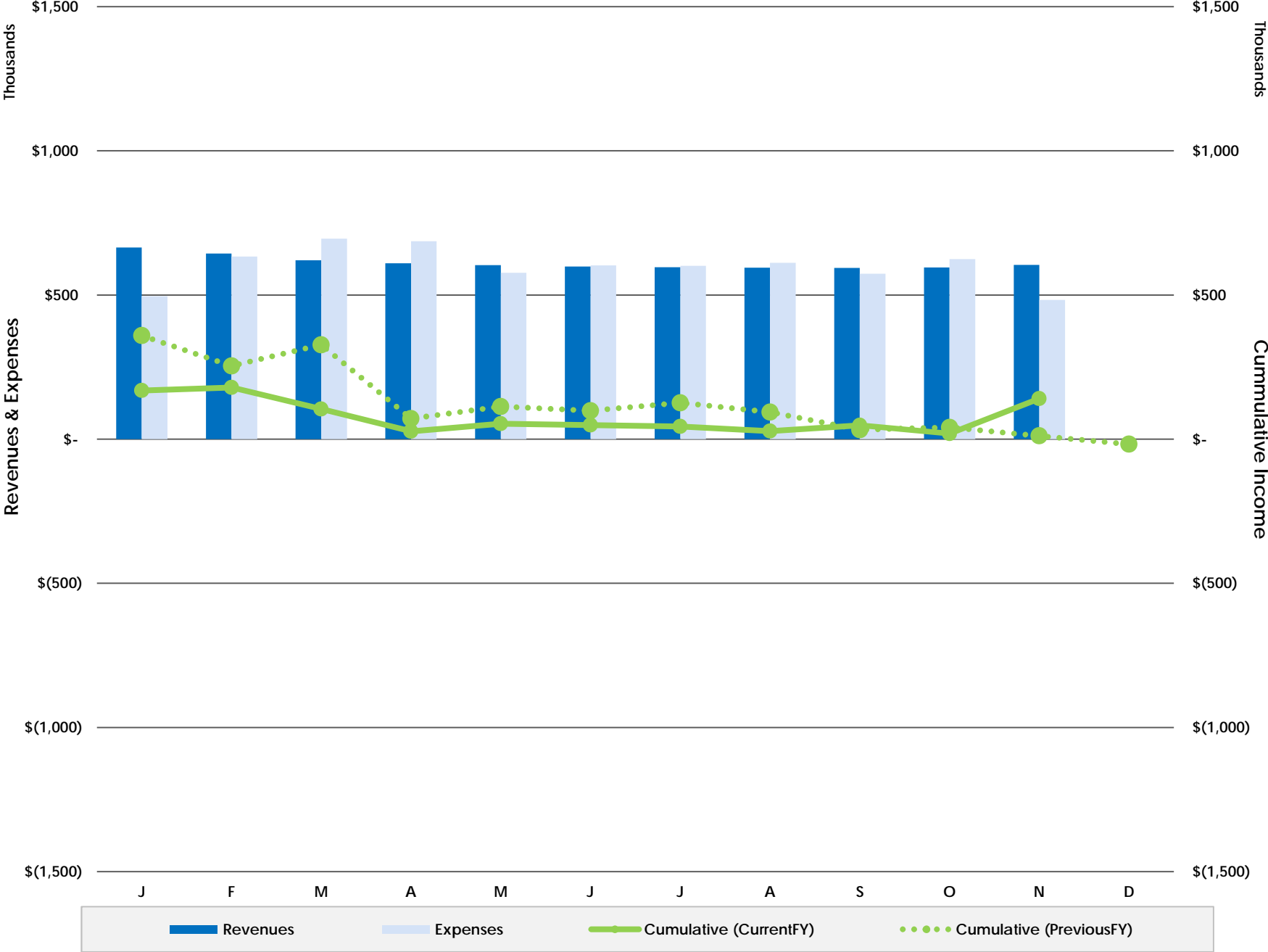
Income

Before Transfer	\$	165,131	\$	4,074	\$	1,273,799	\$	371,634	\$	1,280,619
After Transfer	\$	121,098	\$	(29,650)	\$	141,346	\$	11,511	\$	112,332

Margin

Before Transfer		27.34%		0.75%		18.94%		6.26%		17.39%
After Transfer		20.05%		-5.42%		2.10%		0.19%		1.53%

CHART 1
MONTHLY DIRECTOR'S REPORT
REVENUE, EXPENSE & INCOME SUMMARY
FISCAL YEAR 2021



MOST RECENT
12-MONTH

Nov 2021

Nov 2020

FY2021 YTD

FY2020 YTD

RETAIL SALES

Note on Telecom Sales: Detail break-down for individual rate class is shown in *TELECOM: RETAIL SALES* section.

CABLE TELEVISION	\$	231,299	\$	212,194	\$	2,806,664	\$	2,437,133	\$	3,013,456
DVR SERVICE		21,193		18,682		239,670		210,155		257,853
FIBER OPTICS		54,201		46,702		560,379		510,537		607,960
INTERNET		227,963		207,505		2,422,710		2,125,545		2,631,662
TELEPHONE		32,745		30,730		345,926		336,212		376,219
SET TOP BOX		1,572		2,173		19,774		26,463		21,874
Total RETAIL SALES (ACTUAL)	\$	568,973	\$	517,986	\$	6,395,124	\$	5,646,044	\$	6,909,023

OTHER REVENUES

CATV INSTALL/UPGRADE	\$	525	\$	320	\$	4,865	\$	23,510	\$	5,415
MARKETPLACE ADS		-		-		-		-		-
PHONE FEES		761		679		7,876		7,065		8,672
EQUIPMENT SALES		-		7,736		-		84,990		7,632
MODEM RENTAL		8,041		1,916		88,291		21,196		90,185
VIDEO PRODUCTION REVENUE		-		-		-		-		-
MISCELLANEOUS		9,136		11,198		117,340		84,890		132,173
ADMIN ALLOCATION		14,109		12,424		131,725		126,427		164,795
CONTRIBUTED CAPITAL		-		-		-		-		-
Transfer from CIP		-		-		-		-		-
MISCELLANEOUS		-		7,931		-		84,677		7,942
Total OTHER REVENUES ACTUAL	\$	32,573	\$	42,205	\$	350,096	\$	432,755	\$	416,815

Adjustment

Note: Adjustment added to match Financials

Adjustment	\$	2,337	\$	(13,338)	\$	(20,866)	\$	(138,396)	\$	36,245
TOTAL REVENUES (ACTUAL)	\$	603,883	\$	546,852	\$	6,724,354	\$	5,940,403	\$	7,362,083

SUMMARY

	Nov 2021	Nov 2020	FY2021 YTD	FY2020 YTD	
Personnel	\$ 74,442	\$ 80,979	\$ 820,123	\$ 790,532	\$ 895,872
Purchased & Contracted Svc	30,562	11,086	208,722	164,681	234,472
Purchased Property Services	10,172	4,368	47,343	51,329	56,347
Supplies	26,588	22,327	288,067	263,287	340,745
Cost of Goods Sold	239,952	286,860	2,817,845	3,186,502	3,216,193
Depr, Debt Svc & Other Costs	57,036	137,157	1,268,453	1,112,439	1,337,836
Fund Transfers	44,033	33,725	1,132,453	360,123	1,168,287
TOTAL SUMMARY (ACTUAL)	\$ 482,785	\$ 576,502	\$ 6,583,007	\$ 5,928,892	\$ 7,249,751

TELECOM

Personnel

Salaries	\$ 49,718	\$ 54,112	\$ 530,474	\$ 550,271	\$ 580,739
Benefits	24,724	26,868	289,649	240,262	315,133
Total Personnel (ACTUAL)	\$ 74,442	\$ 80,979	\$ 820,123	\$ 790,532	\$ 895,872

Purchased & Contracted Svc

Attorney Fees	-	-	-	-	-
Audit Services	-	-	-	-	-
Professional Fees	-	-	761	891	761
Web Design	-	-	-	41	-
Consulting - Technical	-	-	171	15,750	171
HOLIDAY EVENTS	-	-	-	650	-
Lawn Care & Maintenance	-	-	-	89	-
Security Systems	884	884	2,617	1,270	2,617
Pest Control	-	-	-	-	-
Maintenance	3,456	634	25,512	13,158	25,994
Equipment Rents/Leases	188	188	2,253	2,450	2,441
Pole Equip. Rents/Leases	-	-	2,000	2,000	2,000
Equipment Rental	15	-	133	144	147
CONSULTING - TECHNICAL	-	-	-	-	-
LAWN CARE & MAINTENANCE	-	-	-	59	-
Outside Maintenance	4,251	642	18,978	9,052	22,491
EQUIPMENT RENTS / LEASES	-	-	-	-	-
POLE EQUIPMENT RENTS / LEASES	-	-	2,679	2,726	2,679
MAINTENANCE CONTRACTS	69	2,026	23,583	6,688	26,716
EQUIPMENT RENTAL	10	-	89	96	98
COMMUNICATION SERVICES	1,417	1,115	20,830	17,761	22,194
INTERNET COSTS	530	530	5,300	4,472	6,360
POSTAGE	-	-	110	-	110
TRAVEL EXPENSE	4,229	-	6,005	-	6,005
DUES/FEES	-	-	9,967	2,475	9,967
VEHICLE TAG & TITLE FEE	-	-	-	-	-
FCC FEES	5,342	4,045	48,010	36,778	56,394
GA DEPT OF REV FEES	-	-	-	-	-
TRAINING & EDUCATION -EMPLOYEE	-	-	126	8,610	141
CONTRACT LABOR	10,172	1,023	39,520	39,463	47,106
SOFTWARE EXPENSE	-	-	80	-	80
SHIPPING / FREIGHT	-	-	-	56	-
Total Purchased & Contracted Svc (ACTUAL)	\$ 30,562	\$ 11,086	\$ 208,722	\$ 164,681	\$ 234,472

TELECOM: EXPENSES

REPORTING PERIOD: 11/2021

MONR 153
 MOST RECENT
 12-MONTH

	Nov 2021	Nov 2020	FY2021 YTD	FY2020 YTD	12-MONTH
Purchased Property Services					
Equipment Rep & Maint -Outside	-	-	-	-	-
Equipment Rental	-	-	-	-	-
Repair & Maintenance (Outside)	-	-	-	-	-
Repair & Maintenance (Inside)	-	-	-	-	-
Maintenance Contracts	-	-	-	-	-
Other Contractual Services	-	-	-	-	-
Communication Services	-	1,345	7,852	14,010	9,270
Postage	-	-	10	-	10
INTERNET COSTS	-	2,000	2,000	2,000	2,000
Public Relations	-	-	-	260	-
Marketing Expense	-	-	-	-	-
Utility Bill Printing Services	-	-	-	-	-
Dues & Subscriptions	-	-	-	-	-
Fees	-	-	1,166	78	1,166
FCC Fees	-	-	-	-	-
Training & Education	-	-	-	182	-
General Liability Insurance	-	-	-	-	-
Vehicle Tag & Title Fee	-	-	-	-	-
GA Dept Revenue Fee	-	-	200	200	200
Uniform Rental	-	-	-	-	-
Contract Labor	10,172	1,023	36,115	34,005	43,701
Fines/Late Fee	-	-	-	-	-
Shipping/Freight	-	-	-	594	-
Total Purchased Property Services (ACTUAL)	\$ 10,172	\$ 4,368	\$ 47,343	\$ 51,329	\$ 56,347

	Nov 2021	Nov 2020	FY2021 YTD	FY2020 YTD	
TELECOM (Continued)					
Supplies					
Chemicals & Pesticides	\$ -	\$ -	\$ -	\$ -	\$ -
Office Supplies & Expense	-	-	-	619	-
Postage	-	-	-	-	-
Auto Parts	(44)	(75)	3,128	4,388	3,038
CONSTRUCTION MATERIALS	-	2,866	3,745	39,763	6,712
Damage Claims	-	-	-	-	-
EXPENDABLE FLUIDS	241	-	302	22	302
Tires	495	-	976	1,777	1,780
Uniform Expense	-	-	4,063	-	4,063
Janitorial Supplies	192	193	2,974	2,310	3,338
Equipment Parts	28	689	8,911	4,043	9,295
R&M Building - Inside	-	-	202	-	202
Equipment R&M - Inside	-	-	-	-	-
System R&M - Inside	4,197	1,164	31,994	36,540	47,105
Sys R&M - Inside/Shipping	-	-	27	-	27
COVID-19 EXPENSES	-	-	957	716	957
Utility Costs	3,105	2,854	31,457	28,911	36,222
Mileage Reimbursement	-	-	-	-	-
Auto & Truck Fuel	1,176	970	10,711	10,493	12,102
Food	103	55	909	941	987
Small Tools & Minor Equipment	81	418	1,680	5,451	1,863
Small Operating Supplies	340	3,448	13,417	18,858	14,676
Uniform Expense	-	-	-	-	-
Equipment Pur (Less than \$5M)	-	-	-	-	-
OFFICE SUPPLIES & EXPENSES	33	75	1,600	956	1,665
AUTO PARTS	-	-	-	-	-
CONSTRUCTION MATERIALS	-	543	11,992	9,139	21,862
EXPENDABLE FLUIDS	2	-	2	-	2
UNIFORM EXPENSE	-	-	-	683	-
JANITORIAL SUPPLIES	-	-	256	149	320
COMPUTER EQUIP NON-CAP	-	-	7,930	3,159	8,424
EQUIPMENT PARTS	72	-	678	1,678	811
REPAIRS & MAINTENANCE	10,279	2,281	61,441	13,932	66,209
COVID-19 EXPENSES	-	-	957	273	957
UTILITY COSTS	1,820	1,798	18,202	18,286	21,796
AUTO & TRUCK FUEL	1,176	970	10,711	10,568	12,031
SMALL TOOLS & MINOR EQUIPMENT	393	2,004	3,642	9,434	5,483
SMALL OPERATING SUPPLIES	750	346	31,560	21,084	34,712
DEPRECIATION EXPENSE	2,150	1,726	23,646	18,983	23,646
EQUIPMENT	-	-	-	-	-
Total Supplies (ACTUAL)	\$ 26,588	\$ 22,327	\$ 288,067	\$ 263,287	\$ 340,745

Cost of Goods Sold

	Nov 2021	Nov 2020	FY2021 YTD	FY2020 YTD	
Internet Costs	-	-	-	-	-
Cost of Sales Telephone	-	-	-	-	-
Cost of Sales Fiber	-	-	-	-	-
Cost of Sales Electricity	-	-	-	-	-
Cost of Sales Telephone	16,034	16,305	177,332	180,834	193,196
Cost of Sales CATV	200,744	241,964	2,356,785	2,691,783	2,699,044
Cost of Sales Internet	14,765	19,411	196,999	207,643	221,308
Cost of Sales Internet	-	-	-	-	-
Cost of Sales Fiber	8,409	9,181	86,729	106,241	102,644
Cost of Programming CATV	-	-	-	-	-
Total Cost of Goods Sold (ACTUAL)	\$ 239,952	\$ 286,860	\$ 2,817,845	\$ 3,186,502	\$ 3,216,193

Depr, Debt Svc & Other Costs

Damage Claims	\$ -	\$ -	\$ -	\$ -	\$ -
Miscellaneous	-	-	-	-	-
Utility Cashiers (Over)/Short	-	-	-	-	-
Utility Internal Admin Allocate	-	-	-	-	-
Depreciation Expense	14,706	14,608	161,331	161,568	161,331
INTEREST EXP - 2020 REV BONDS	43,089	30,162	473,981	30,162	517,070
Amortization Exp	-	-	-	-	-
Admin. Allocation - Adm Exp	7,965	92,387	729,099	920,709	755,393
Utility Bad Debt Expense	-	-	-	-	-
Revenue Bond Principal	-	-	-	-	-
Debt Service Interest	-	-	-	-	-
Interest Expenses (Bond)	-	-	-	-	-
Construction in Progress	-	-	-	-	-
Capital Exp-Software	-	-	-	-	-
Capital Exp - Equipment	-	-	-	-	-
Total Depr, Debt Svc & Other Costs (ACTUAL)	\$ 57,036	\$ 137,157	\$ 1,268,453	\$ 1,112,439	\$ 1,337,836

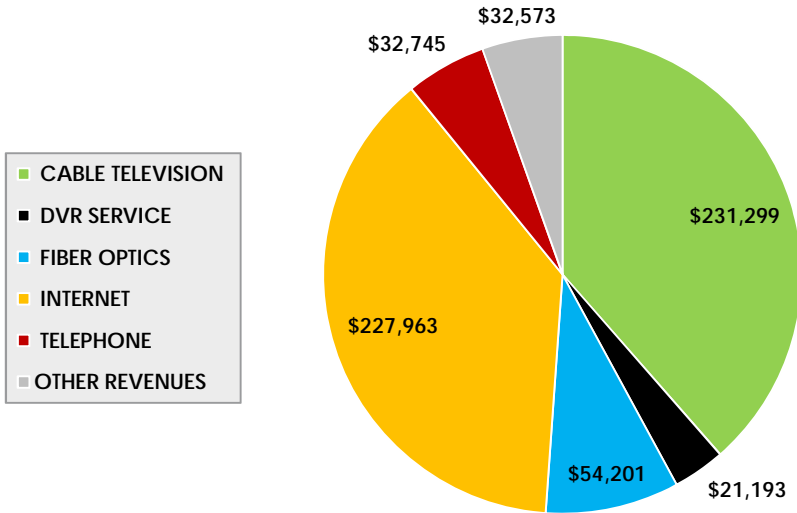
Fund Transfers

Transfer 5% to General Fund	15,889	15,235	190,088	171,601	204,246
TRANS OUT UTIL 5% TO GEN FUND	20,179	18,489	213,266	188,522	234,942
ADMIN ALLOC - ADMIN EXPENSES	7,965	-	729,099	-	729,099
Total Fund Transfers (ACTUAL)	\$ 44,033	\$ 33,725	\$ 1,132,453	\$ 360,123	\$ 1,168,287

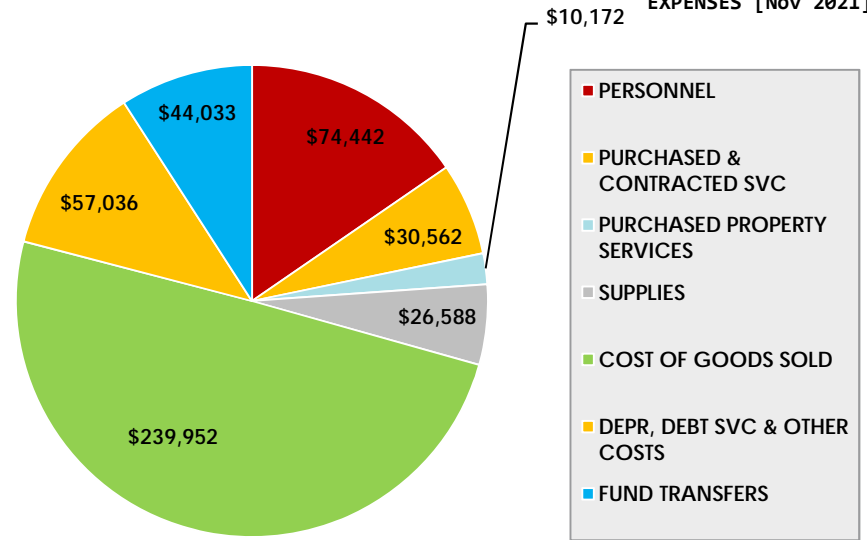
TOTAL TELECOM EXPENSES (ACTUAL)	\$ 482,785	\$ 576,502	\$ 6,583,007	\$ 5,928,892	\$ 7,249,751
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CHART 5
MONTHLY DIRECTOR'S REPORT
REVENUES & EXPENSES

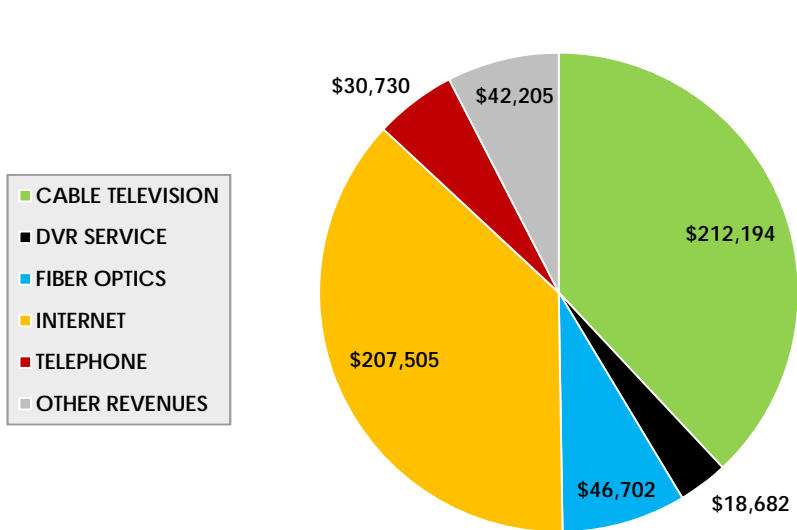
REVENUES [Nov 2021]



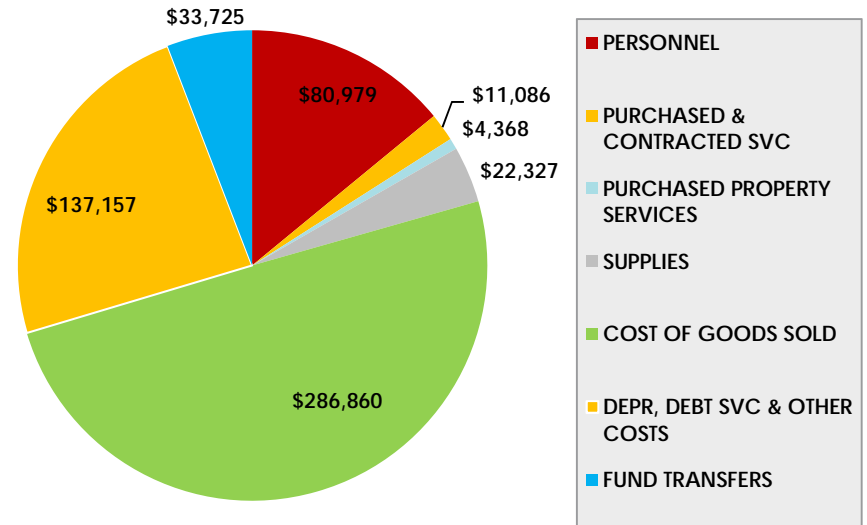
EXPENSES [Nov 2021]



REVENUES [Nov 2020]



EXPENSES [Nov 2020]



	Nov 2021	Nov 2020	FY2021 YTD	FY2020 YTD	MOST RECENT 12-MONTH
BASIC & EXPANDED BASIC					
Number of Bills	1,907	2,702	23,560	30,868	26,189
Revenue (\$)	\$ 217,230	\$ 202,659	\$ 2,663,144	\$ 2,328,761	\$ 2,860,183
Revenue Per Bill (\$)	\$ 114	\$ 75	\$ 113	\$ 75	\$ 109
MINI BASIC					
Number of Bills	293	170	2,914	1,817	3,092
Revenue (\$)	\$ 10,699	\$ 6,024	\$ 104,132	\$ 68,266	\$ 110,456
Revenue Per Bill (\$)	\$ 37	\$ 35	\$ 36	\$ 38	\$ 36
BOSTWICK					
Number of Bills	11	13	123	158	136
Revenue (\$)	\$ 1,265	\$ 993	\$ 14,160	\$ 11,913	\$ 15,154
Revenue Per Bill (\$)	\$ 115	\$ 76	\$ 115	\$ 75	\$ 111
BULK CATV/MOTEL					
Number of Bills	4	5	52	55	57
Revenue (\$)	\$ 1,310	\$ 1,550	\$ 16,203	\$ 17,050	\$ 17,753
Revenue Per Bill (\$)	\$ 328	\$ 310	\$ 312	\$ 310	\$ 311
SHOWTIME					
Number of Bills	3	5	35	82	39
Revenue (\$)	\$ 44	\$ 63	\$ 473	\$ 1,146	\$ 531
Revenue Per Bill (\$)	\$ 15	\$ 13	\$ 14	\$ 14	\$ 14
SHOW/HBO					
Number of Bills	6	9	72	95	81
Revenue (\$)	\$ 75	\$ 112	\$ 897	\$ 1,179	\$ 988
Revenue Per Bill (\$)	\$ 13	\$ 12	\$ 12	\$ 12	\$ 12
BULK SHOWTIME/MOTEL					
Number of Bills	-	-	-	-	-
Revenue (\$)	\$ -	\$ -	\$ -	\$ -	\$ -
Revenue Per Bill (\$)	\$ -	\$ -	\$ -	\$ -	\$ -
CINEMAX					
Number of Bills	2	2	22	26	24
Revenue (\$)	\$ 29	\$ 29	\$ 322	\$ 376	\$ 352
Revenue Per Bill (\$)	\$ 15	\$ 15	\$ 15	\$ 14	\$ 15

MOST RECENT
12-MONTH

	Nov 2021	Nov 2020	FY2021 YTD	FY2020 YTD	MOST RECENT 12-MONTH
HBO					
Number of Bills	21	26	248	280	274
Revenue (\$)	\$ 308	\$ 365	\$ 3,589	\$ 4,009	\$ 3,940
Revenue Per Bill (\$)	\$ 15	\$ 14	\$ 14	\$ 14	\$ 14
MAX/HBO					
Number of Bills	6	7	65	69	72
Revenue (\$)	\$ 75	\$ 87	\$ 805	\$ 840	\$ 871
Revenue Per Bill (\$)	\$ 13	\$ 12	\$ 12	\$ 12	\$ 12
PLAYBOY					
Number of Bills	-	-	-	-	-
Revenue (\$)	\$ -	\$ -	\$ -	\$ -	\$ -
Revenue Per Bill (\$)	\$ -	\$ -	\$ -	\$ -	\$ -
STARZ					
Number of Bills	18	22	205	241	227
Revenue (\$)	\$ 264	\$ 311	\$ 2,941	\$ 3,593	\$ 3,230
Revenue Per Bill (\$)	\$ 15	\$ 14	\$ 14	\$ 15	\$ 14
DVR					
Number of Bills	132	148	1,522	1,631	1,672
Revenue (\$)	\$ 15,436	\$ 13,982	\$ 177,621	\$ 154,069	\$ 191,503
Revenue Per Bill (\$)	\$ 117	\$ 94	\$ 117	\$ 94	\$ 115
NON DVR					
Number of Bills	41	40	425	467	461
Revenue (\$)	\$ 4,795	\$ 3,616	\$ 50,837	\$ 44,868	\$ 54,085
Revenue Per Bill (\$)	\$ 117	\$ 90	\$ 120	\$ 96	\$ 117
SET TOP BOX					
Number of Bills	126	181	1,597	2,134	1,772
Revenue (\$)	\$ 1,572	\$ 2,173	\$ 19,774	\$ 26,463	\$ 21,874
Revenue Per Bill (\$)	\$ 12	\$ 12	\$ 12	\$ 12	\$ 12

MOST RECENT
12-MONTH

	Nov 2021	Nov 2020	FY2021 YTD	FY2020 YTD	MOST RECENT 12-MONTH
ADD'L DVR BOX					
Number of Bills	52	60	607	621	668
Revenue (\$)	\$ 740	\$ 885	\$ 9,213	\$ 8,927	\$ 10,098
Revenue Per Bill (\$)	\$ 14	\$ 15	\$ 15	\$ 14	\$ 15
ADD'L NON DVR BOX					
Number of Bills	20	17	179	214	193
Revenue (\$)	\$ 222	\$ 199	\$ 1,999	\$ 2,292	\$ 2,166
Revenue Per Bill (\$)	\$ 11	\$ 12	\$ 11	\$ 11	\$ 11
FIBER					
Number of Bills	237	120	2,040	1,233	2,164
Revenue (\$)	\$ 54,201	\$ 46,702	\$ 560,379	\$ 510,537	\$ 607,960
Revenue Per Bill (\$)	\$ 229	\$ 389	\$ 275	\$ 414	\$ 281
INTERNET					
Number of Bills	4,117	4,033	45,053	43,059	49,121
Revenue (\$)	\$ 225,548	\$ 204,817	\$ 2,393,683	\$ 2,094,669	\$ 2,599,905
Revenue Per Bill (\$)	\$ 55	\$ 51	\$ 53	\$ 49	\$ 53
WIRELESS INTERNET					
Number of Bills	35	38	416	461	455
Revenue (\$)	\$ 2,415	\$ 2,688	\$ 29,027	\$ 30,876	\$ 31,757
Revenue Per Bill (\$)	\$ 69	\$ 71	\$ 70	\$ 67	\$ 70
RESIDENTIAL PHONE					
Number of Bills	763	843	8,708	9,304	9,546
Revenue (\$)	\$ 5,845	\$ 10,402	\$ 59,419	\$ 120,949	\$ 69,855
Revenue Per Bill (\$)	\$ 8	\$ 12	\$ 7	\$ 13	\$ 7
COMMERCIAL PHONE					
Number of Bills	280	285	3,107	3,114	3,390
Revenue (\$)	\$ 17,978	\$ 20,328	\$ 204,080	\$ 215,262	\$ 223,937
Revenue Per Bill (\$)	\$ 64	\$ 71	\$ 66	\$ 69	\$ 66
TOTAL REVENUES	\$ 560,052	\$ 517,986	\$ 6,312,697	\$ 5,646,044	\$ 6,826,596

CHART 7
REVENUES FROM SALES BY CLASS
CURRENT VS. PREVIOUS FISCAL YEAR

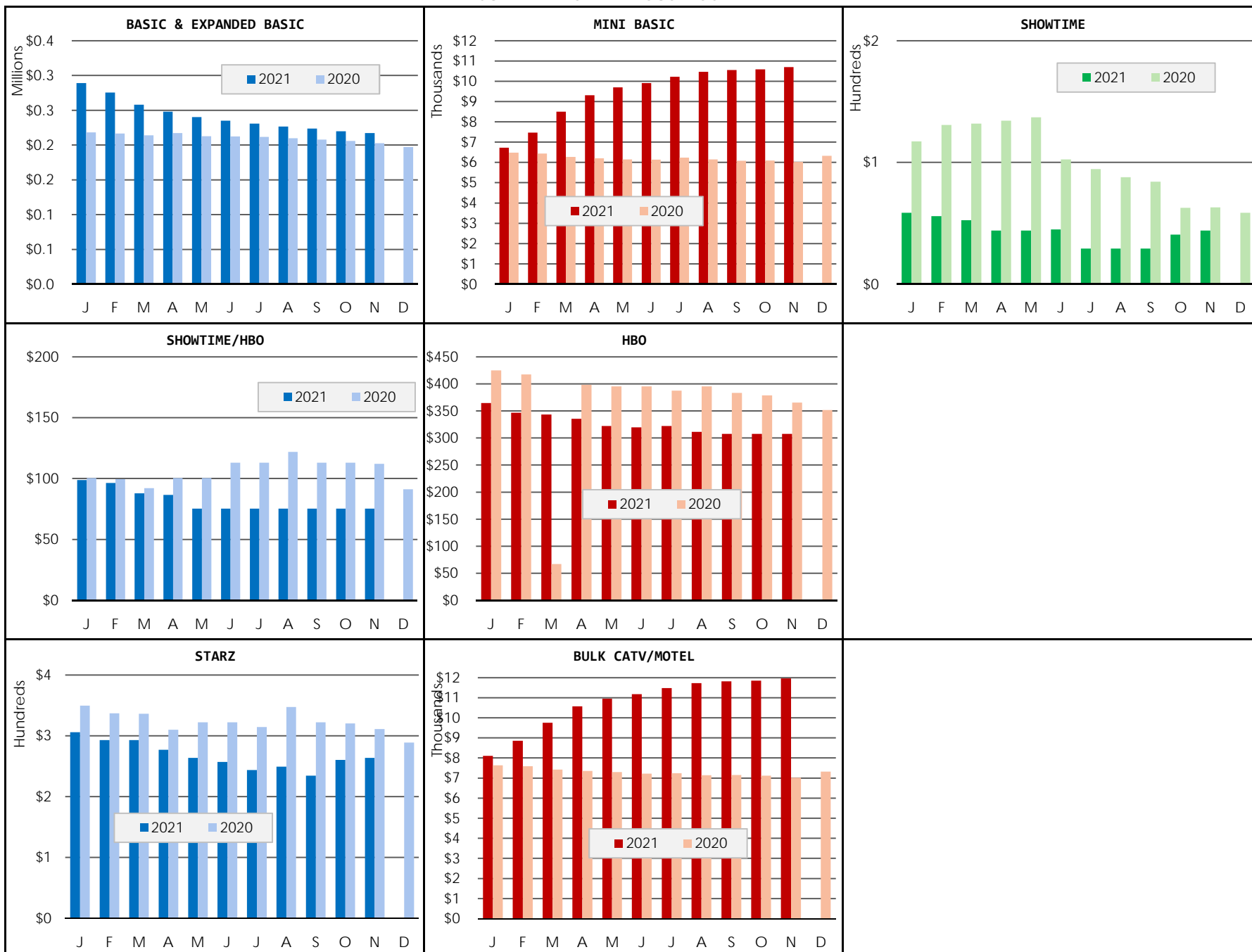
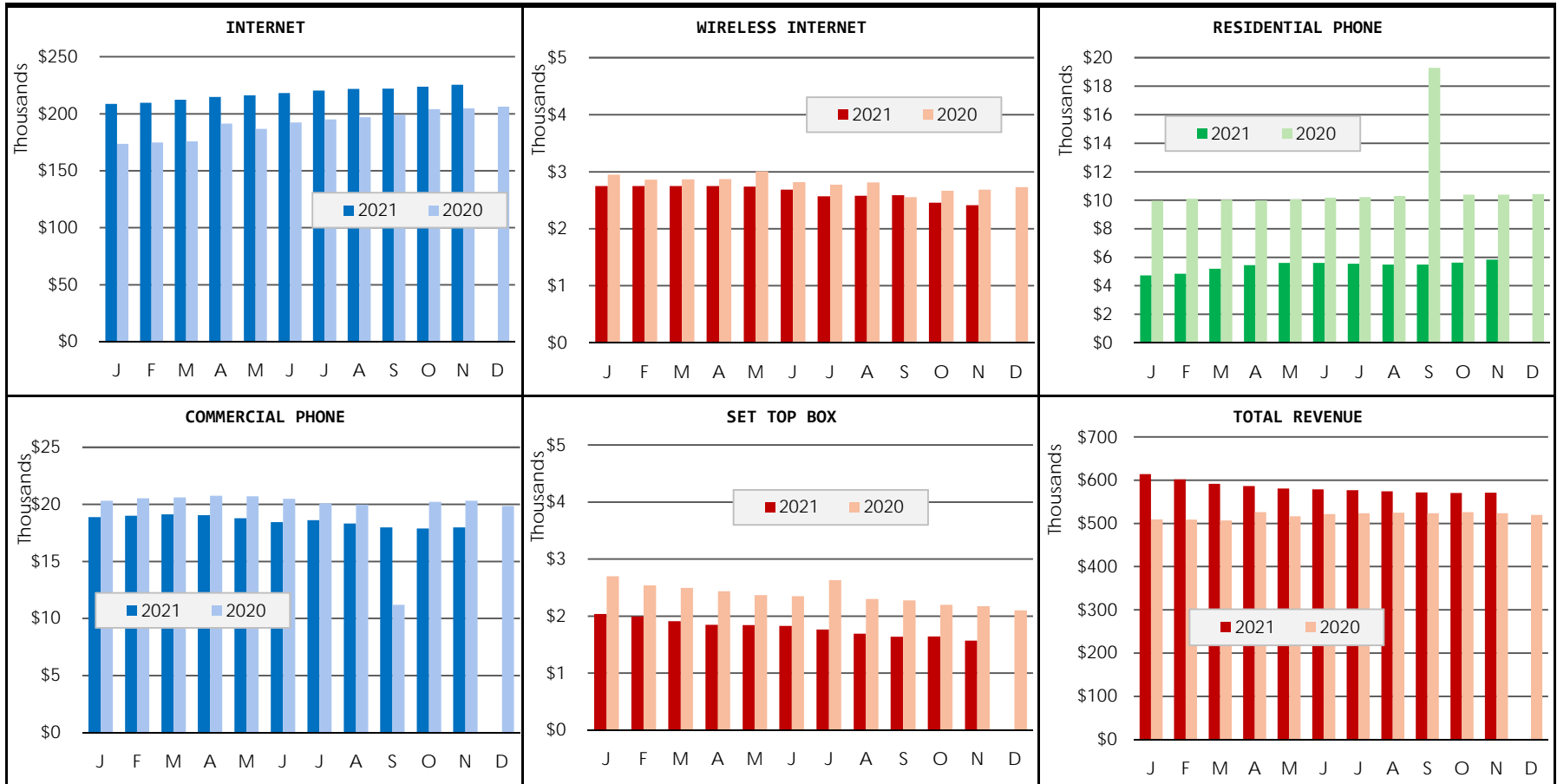


CHART 7
REVENUES FROM SALES BY CLASS
CURRENT VS. PREVIOUS FISCAL YEAR



CHART 7
REVENUES FROM SALES BY CLASS
CURRENT VS. PREVIOUS FISCAL YEAR





FINANCIAL STATUS REPORT

as of November 2021

Online financial reports are available here
<https://cleargov.com/georgia/walton/city/monroe>

GENERAL FUND SUMMARY

GENERAL FUND REVENUES



TOTAL BUDGETED

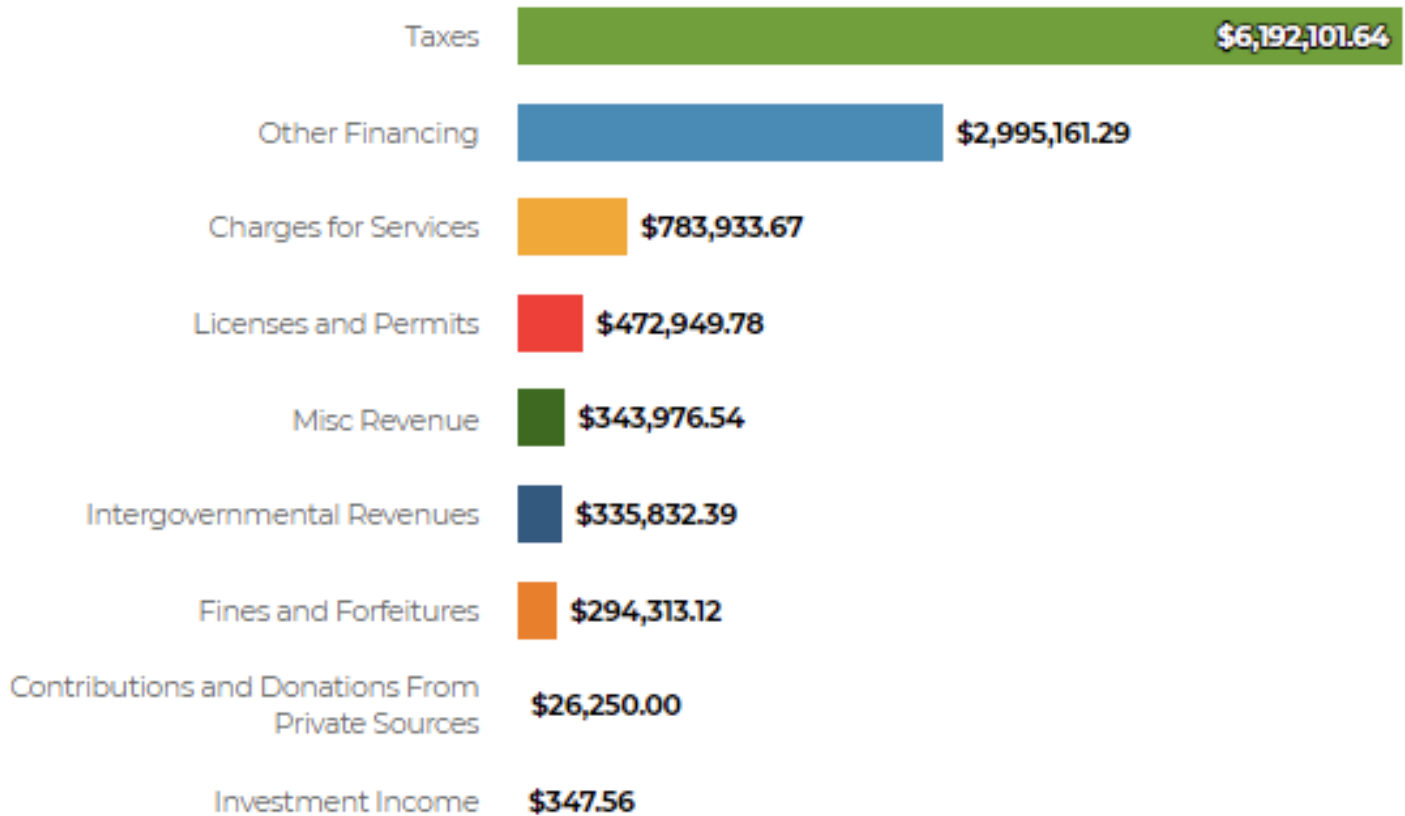
\$13,795,077

COLLECTED TO DATE

(83% of budgeted collected to date)

\$11,444,866

General Fund year-to-date revenues for the month totaled \$11,444,866 which is 83% of total budgeted revenues of \$13,795,077 for 2021. Property Tax & Insurance Premium Tax collections make up @ 37% of total General Fund Revenues, which is not collected until the fourth quarter of each year.



GENERAL FUND EXPENDITURES



TOTAL BUDGETED

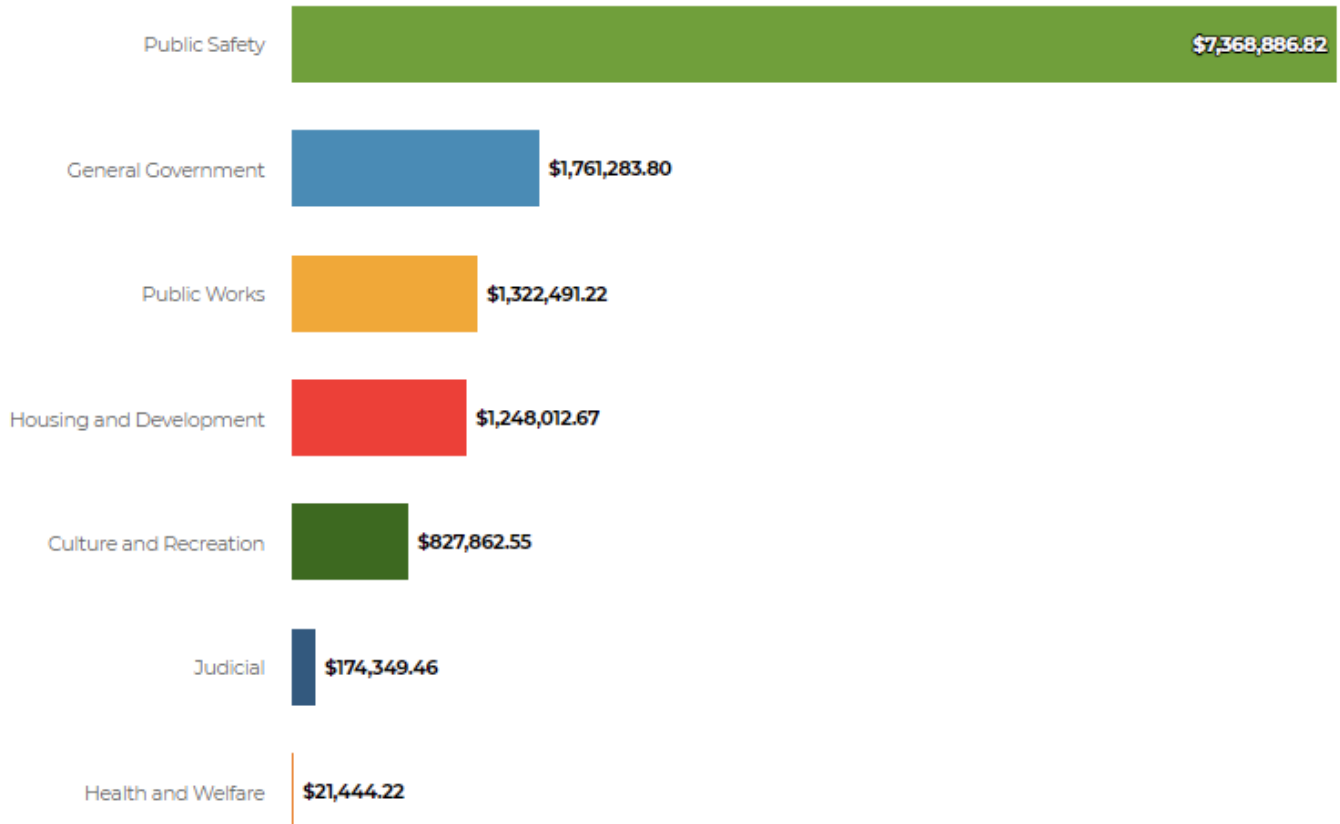
\$13,795,077

EXPENDED TO DATE

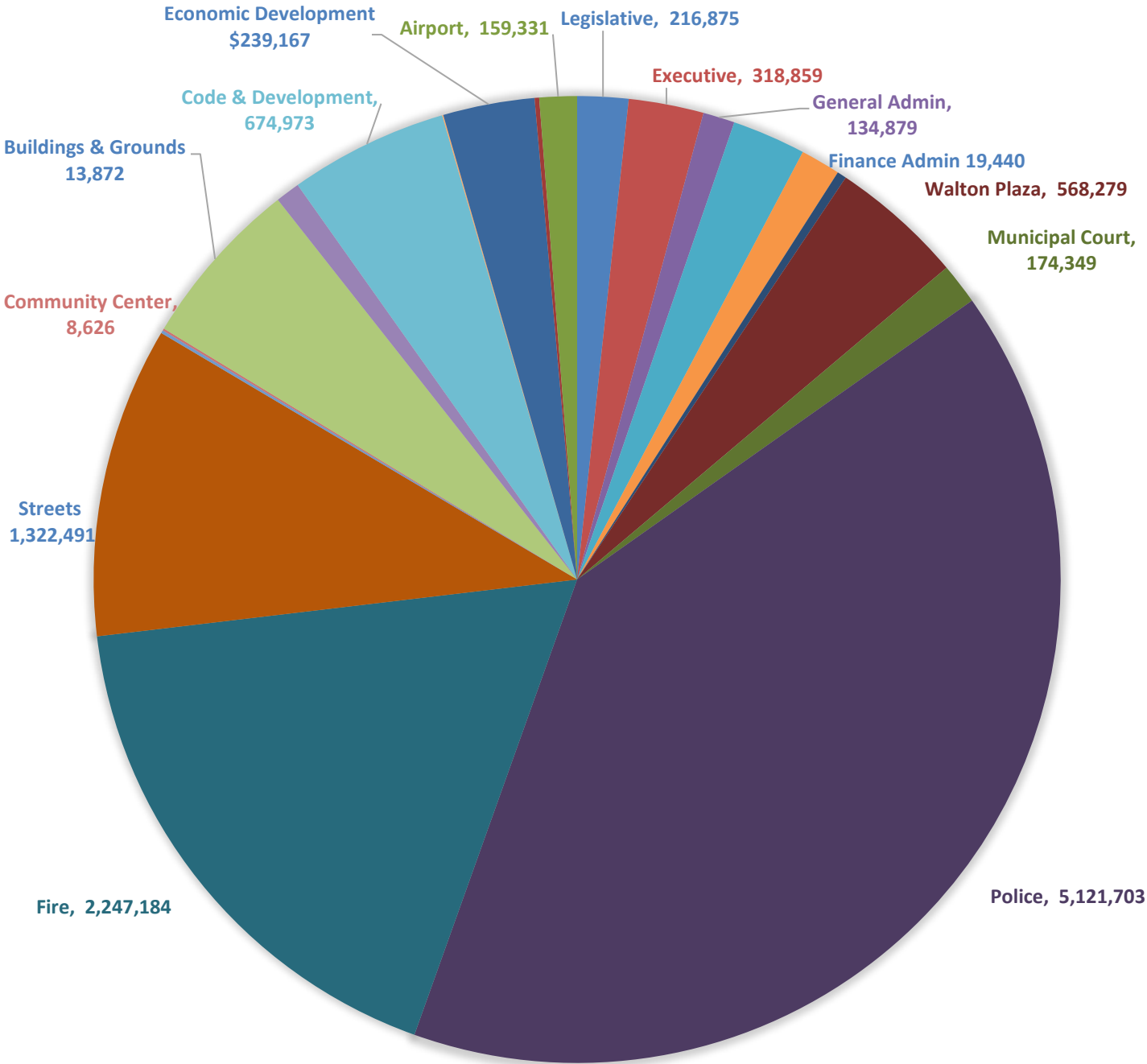
(92% of budgeted used to date)

\$12,724,331

General Fund year-to-date expenses for the month totaled \$12,724,331 which is 92% of total budgeted expenses of \$13,756,877 for 2021.



GENERAL FUND EXPENSES YTD



UTILITY FUND SUMMARY

UTILITY FUND REVENUES



TOTAL BUDGETED

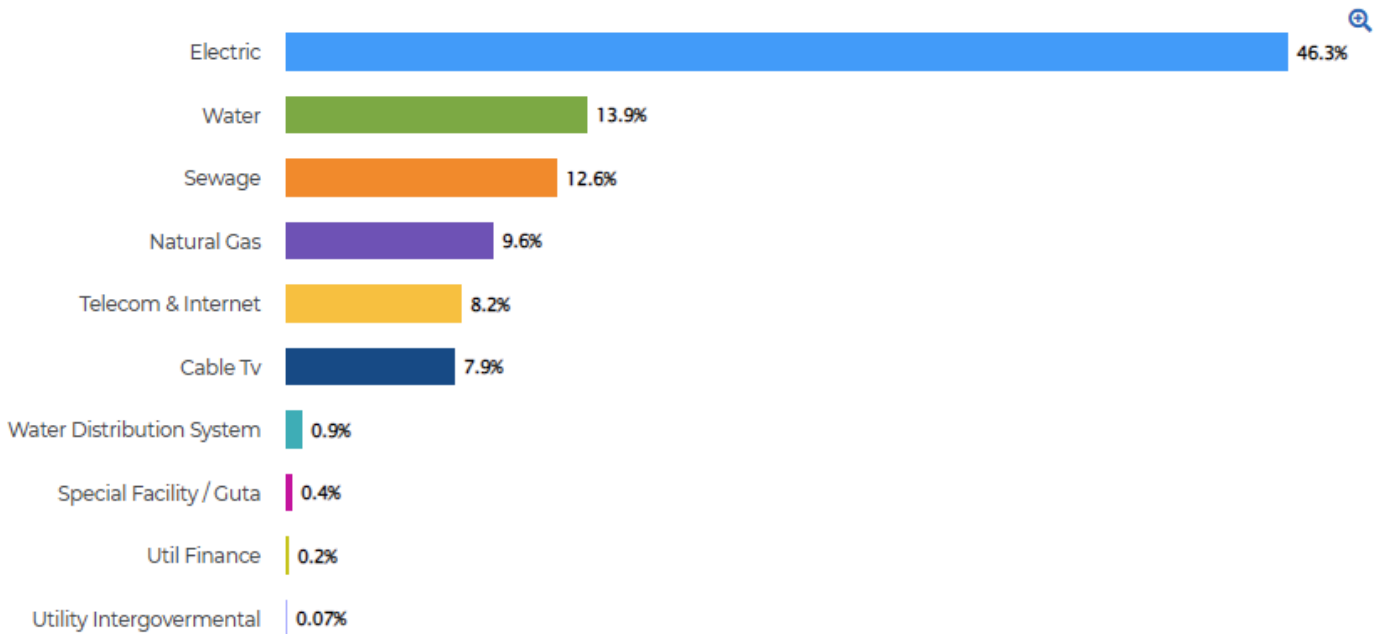
\$43,375,851

COLLECTED TO DATE

(96% of budgeted collected to date)

\$41,778,207

Utility Fund year-to-date operating revenues for the month totaled \$41,248,539, with \$529,668 in contributed capital revenue received. This is about 96% of total budgeted revenues of \$43,375,851 for 2021.



UTILITY FUND EXPENDITURES



TOTAL BUDGETED

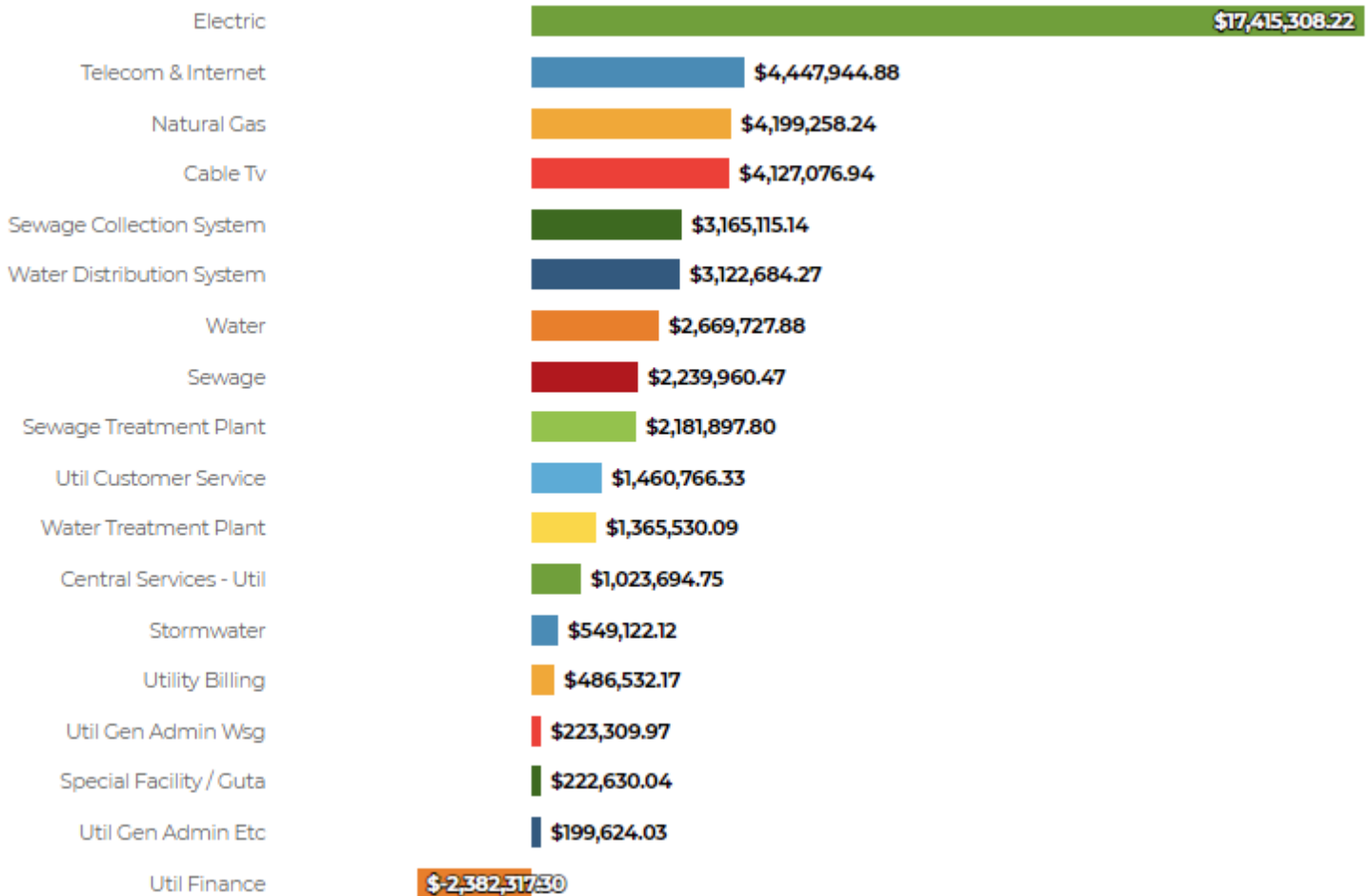
\$43,375,851

EXPENDED TO DATE

(108% of budgeted used to date)

\$46,717,866

Utility Fund year-to-date operating expenses for the month totaled \$36,771,873 (*excluding capital expense*) which is 85% of total budgeted expenses of \$43,375,851 for 2021. Year-to-date capital expense totaled \$9,945,993.



SOLID WASTE FUND SUMMARY

SOLID WASTE FUND REVENUES



TOTAL BUDGETED

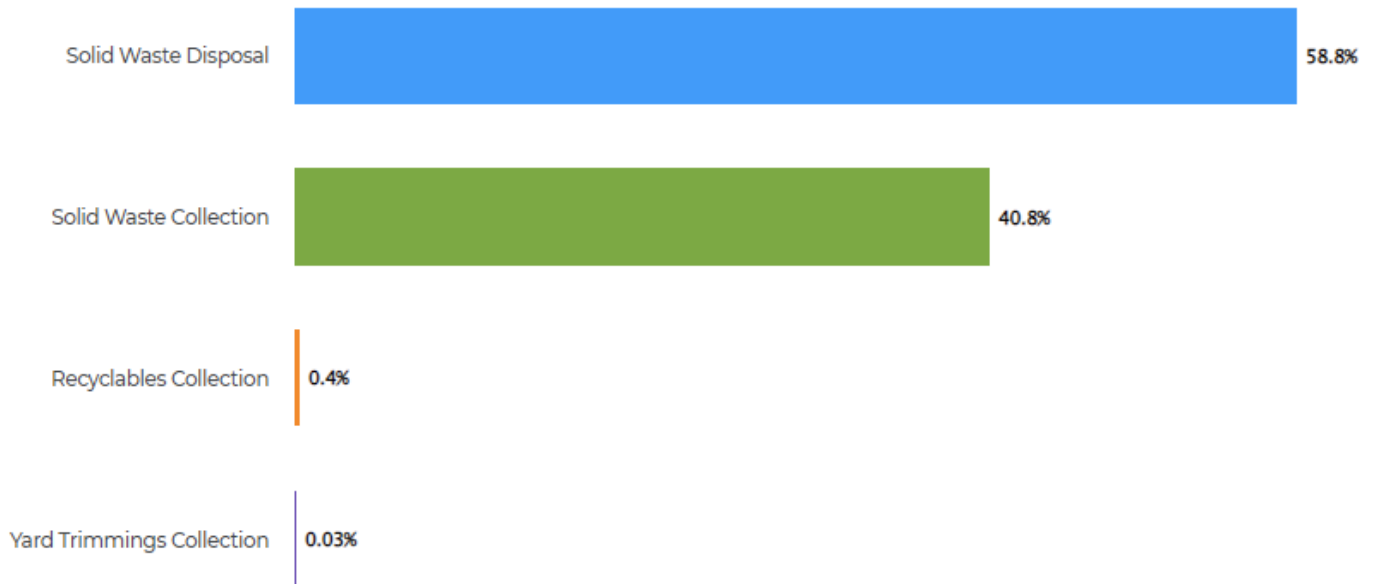
\$5,511,318

COLLECTED TO DATE

(110% of budgeted collected to date)

\$6,079,055

Solid Waste year-to-date revenues for the month totaled \$6,079,055. This is greater than 100% of total budgeted revenues of \$5,511,318 for the year.



SOLID WASTE FUND EXPENDITURES



TOTAL BUDGETED

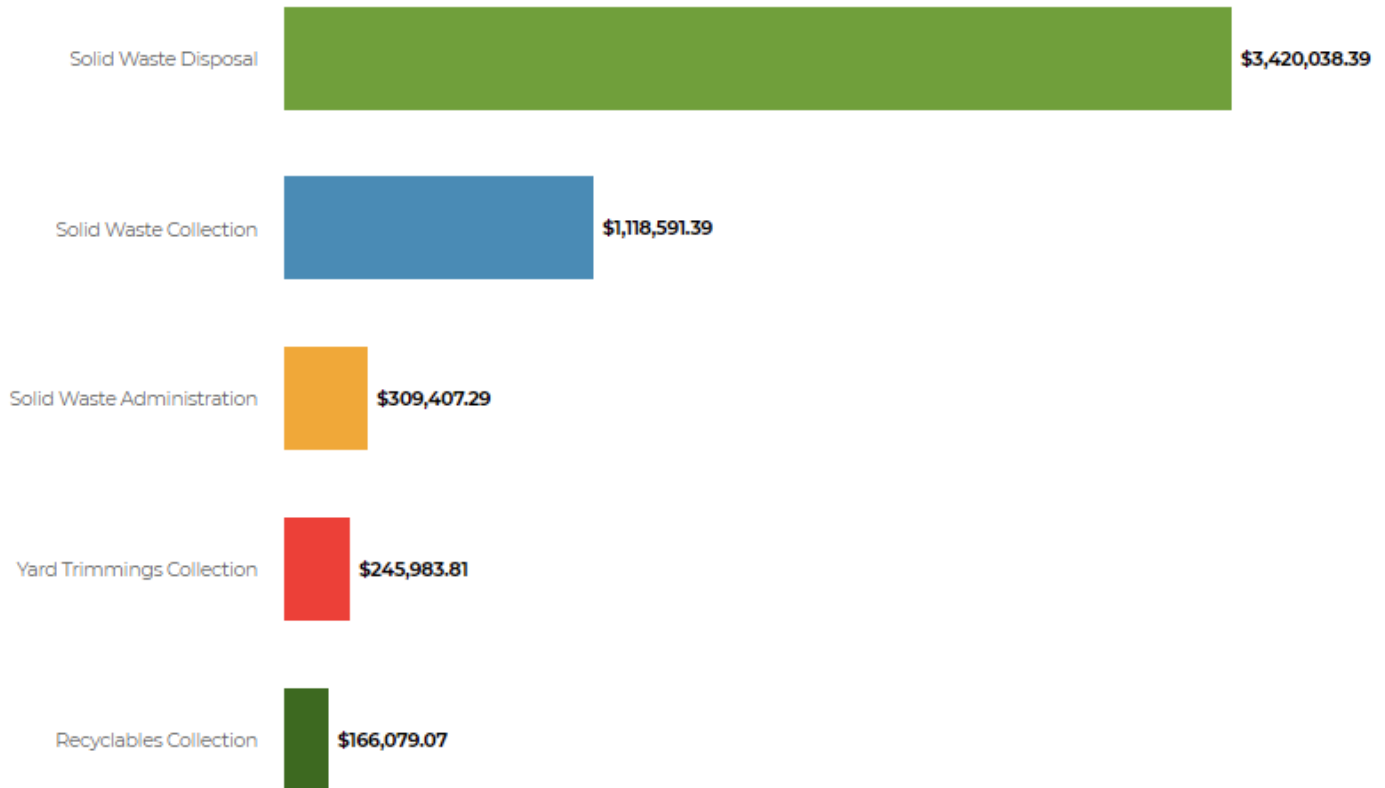
\$5,511,318

EXPENDED TO DATE

(102% of budgeted used to date)

\$5,607,014

Solid Waste year-to-date expenses for the month totaled \$5,398,525 (*excluding capital expense*) which is 98% of total budgeted expenses \$5,511,318 for 2021. Year-to-date capital expenses total \$208,489.



Cash balances for the City of Monroe at month end totaled **\$88,326,015** including the utility bond funds.
 The following table shows the individual account balances for the major funds

GOVERNMENTAL FUND	
General Fund Checking	2,558,112
Stabilization Fund	1,250,000
Group Health Insurance Claims (Insurance Trust)	55,941
CAPITAL PROJECTS FUND	
Capital Improvement - General Government	2,740
Old SPLOST 2007	1,380,834
SPLOST 2013	578,627
SPLOST 2019	2,850,627
SPECIAL REVENUE FUND	
Hotel/Motel	12,327
DEA Confiscated Assets Fund	55,616
Confiscated Assets Fund	129,674
American Rescue Plan	2,323,977
ENTERPRISE FUND	
Solid Waste	717,531
Solid Waste Capital	955,446
Utility Revenue	534,633
Utility Revenue Reserve	1,000,000
CDBG 2020	500
Utility MEAG Short-Term Investment	6,587,424
Utility MEAG Intermediate Extended Investment	8,407,492
Utility MEAG Intermediate Portfolio Investment	3,263,643
Utility Capital Improvement	6,475,366
Utility Tap Fees	5,717,162
Utility GEFA	1,000
Utility Bond Sinking Fund	149,019
2020 Util Bond Sinking Fund	891,539
2020 Bond Fund	39,645,591
Utility Customer Deposits (Restricted)	679,890
Utility Customer Deposits (Investment)	1,583,212

The total Utility Capital funds available at month end are \$13,192,528 as broken down in the section below:

Utility Capital Improvement Cash Balance	6,475,366
Utility Revenue Reserve Cash Balance	1,000,000
Tap Fees Cash Balance	5,717,162
Total Current Funds Available	13,192,528

	<u>Remaining</u>	<u>2021 Budgeted</u>	<u>2021 Actual</u>	<u>Remaining</u>	<u>2022 Budgeted</u>	<u>2023 Budgeted</u>
	<u>Budget</u>	<u>Expense</u>	<u>Expense</u>	<u>Budget</u>	<u>Expense</u>	<u>Expense</u>

Totals	7,091,407	4,943,062	3,219,138	9,815,440	2,470,000	2,406,500
Remaining estimated annual Tap Fees		1,200,000	100,000	100,000	1,200,000	1,200,000
Remaining estimated annual CIP transfers-in		3,000,000	250,000	250,000	3,000,000	3,000,000
Estimated Utility Capital Cash Balance EOY	6,101,121	5,358,059	13,542,528	3,727,088	5,457,088	7,250,588

The detail by year of each project is shown on the following page

Utility Transfers Out

	Capital	
	Improvement	General Fund
January	\$ 271,499	\$ 203,661
February	\$ 300,779	\$ 226,135
March	\$ 290,940	\$ 218,932
April	\$ 259,469	\$ 194,751
May	\$ 247,444	\$ 187,203
June	\$ 242,619	\$ 182,468
July	\$ 263,923	\$ 201,382
August	\$ 277,383	\$ 213,356
September	\$ 285,279	\$ 223,310
October	\$ 279,607	\$ 216,579
November	\$ 256,328	\$ 193,815
December		
YTD Total	\$ 2,975,270	\$ 2,261,592

Utility Capital Funding

Approved Projects/Assets

Dept	Project Description	Remaining Budget	2021 Budgeted Expense	2021 Actual Expense	Remaining Budget	2022 Budgeted Expense	2023 Budgeted Expense
Sewer	Pump Station SCADA	50,874			50,874		
Sewer	Sewer Main Rehab	451,474	100,000		551,474	100,000	100,000
Sewer	Sewer CDBG 2018-Initial Application	3,430		5,750			
Sewer	CDBG 2018 Construction & Design			402,428			
Sewer	CDBG 2018 Revenue (DCA draws)	77,850			77,850		
Sewer	GIS Program Development						
Sewer	motors, pumps, controls, etc	133,367	150,000	266,107	17,260	150,000	150,000
Sewer	Trickling Filter Pump	1,161	40,000		41,161		
Sewer	Truck Replacement					50,000	
Sewer	Application/Design CDBG 2022 submittal			600	(600)	75,000	
Sewer	CDBG 2022 Construction						500,000
Sewer	Final Clarifier Clean Out		20,000		20,000		20,000
Sewer	equipment trailer		8,190		8,190		
Sewer	Sewer Extensions		100,000		100,000	100,000	100,000
Water	Water Main Rehab	500,000	125,000	29,852	595,148	125,000	125,000
Water	Fire Hydrant Replacement	72,273	55,000		127,273	55,000	55,000
Water	Infrastructure Repair/Replacement	511,179	250,000		761,179	150,000	150,000
Water/Telecom	Loganville Water Line-Fiber	245,000			245,000		
Water	Replacement of Controls	40,000			40,000		
Water	Warehouse Improvements	22,384			22,384		
Water	Membrane Filters	66,365	25,000		91,365	25,000	25,000
Water	Water Meters	56,500	56,500		113,000	56,500	56,500
Water	GIS Program Development						
Water	Alcovy River Screen	350,000			350,000		
Water	Fire Hydrant Security	25,000	50,000		75,000	50,000	50,000
Water	High Service Pumps	12,034			12,034		
Water	Service Renewals	100,000	200,000		300,000	200,000	200,000
Water	Water Master Plan	81,805		43,769	38,036		
Water	Waterline extensions & pressure improvements	84,238	150,000		234,238	125,000	100,000
Water	New Construction Water Meters	20,560			20,560		
Water	Control Vlv Replacement Reservoir & Alcovy River						
Water	equipment trailer		8,190		8,190		
Water	truck			60,385			
Water	replace engine in F350 truck			14,780			
Water	REMOVE BRICK FACING OLD WATER PLANT						
Central Svcs	Vehicle					33,500	
Central Svcs	Exchange server	47,100	64,000	62,062	49,038		
Central Svcs	Forklift at Warehouse		36,100		36,100		
Central Svcs	Control System for Broad St Gate			9,480			
Central Svcs	Plaza renovations phase #2 (bldgs B thru E)		971,288		971,288		
Admin	Trucks		48,000		48,000		
Admin	My Civic Citizen citywide app			8,300			
Admin	Itron Equip Upgrades	75,800		60,301	15,499		
Electric	Reconductor Distribution System	153,271		4,823	148,448		
Electric	3 Phase Feeder (Hwy138 - Hospital)	95,000			95,000		
Electric	Cover Gear	25,000			25,000		
Electric	mini excavator						
Electric	fault finder						
Electric	2018 LED Streetlights	36,454		48,104			
Electric	meter load tester						
Electric	Pole Crane	80,000			80,000		
Electric	Warehouse Project	30,186		5,266			
Electric	System Automation 2019-2020	103,978			103,978	75,000	75,000
Electric	Underground for Town Green	151,489		3,070	148,419		
Electric	AMI meters/system	340,215	140,000	133,597	346,618		
Electric	Rebuild Highland & S Madison Ave (poles, transformers, wire, etc)	726,700		164,864	561,836		
Electric	GIS Program Development	11,386		5,569	5,817		
Electric	commercial demand meters	70,000			70,000		
Electric	Monroe Pavilion Electric			334,593			
Electric	Pole Replacement		400,000		400,000	400,000	
Electric	Pole / Wire trailer		20,230	22,330	(2,100)		
Electric	Downtown Lighting Replacement		109,632	87,630	22,002		
Electric	Hwy11/78 Lighting		76,500	90,155	(13,655)		
Electric	Meadows Farm Subdivision			108,780	(108,780)		
Electric	Etten Drive Commercial Bldg			22,095	(22,095)		
Electric	Belle Meade replace primary elec line			59,500	(59,500)		
Electric	Stone Creek II streetlights			22,016	(22,016)		
Electric	City Hall lighting			40,935	(40,935)		
Telecom	IP Conversion	107,729			107,729		
Telecom	IPTV	100,585			100,585		
Telecom	Community WiFi / Wireless Deployment	50,459			50,459		
Telecom	Fusion Splicer	38,079			38,079		
Telecom	Halon Fire Suppression	44,000			44,000		
Telecom	GIS Program Development						
Telecom	Fiber to the X services	177,806		305,134			
Telecom	Telecom Expansion to PD bldg			8,929			
Telecom	Core switch replacement	22,198			22,198		
Telecom	18 cable replace	24,323		4,677	19,646		
Telecom	replacement receiver - CATV			9,127			
Gas	Gas GIS	72,249			72,249		
Gas	Good Hope						
Gas	James Huff/Gratis						
Gas	Old Mill Replacement						

Gas	Unisia Dr Extension	-		-		
Gas	Lacy, Davis, Harris & Ash Streets	140,000		140,000		
Gas	Various Projects	100,000		100,000		
Gas	Walton Co Gas Extension		7,320			
Gas	Stone Creek Gas Extension	-		-	-	-
Gas	GIS Program Development	11,386		5,569	5,817	
Gas	natural gas master plan	150,000			150,000	
Gas	Gas Main Renewal		316,494	155,402	161,092	300,000
Gas	equipment trailer		16,380		16,380	
Gas	Main Extension (Monroe Pavilion, etc)		250,000	122,484	127,516	250,000
Gas	Truck		62,979	62,979	-	
Stormwater	Lateral Repair	8,183			8,183	
Stormwater	Storm/Drain Retention Pond Rehab	175,000	100,000	4,500	270,500	100,000
Stormwater	GIS Program Development	0				
Stormwater	Improvements	100,000			100,000	
Stormwater	pickup truck	33,232	60,000		93,232	
Stormwater	Infrastructure / Pipes / Inlets / etc.	95,510	50,000	2,993	142,517	50,000
Stormwater	Skid Steer / track loader		85,000	62,725	-	
Stormwater	CDBG2020 Application & Design	52,998		93,880	-	
Stormwater	CDBG 2020 Construction	500,000	706,579	15,275	1,191,304	
Stormwater	N Madison Stormwater		-	18,636	-	
Stormwater	FAE mulching head		32,000	22,700	-	

Utility 2020 Bond Projects

	Original Budget	Expenditures	Balance
Wastewater Treatment Plant Upgrades	7,500,000	705,601	6,794,399
Alcovy Sewer Line Extension	4,000,000	1,924,980	2,075,020
Loganville Water Transmission Line Extension	5,580,000	5,580,000	-
Future Water Transmission Line Extensions	1,700,000	994,521	705,479
Raw Water Line Upgrades	3,520,000	115,119	3,404,881
Water Tank Industrial Park & Line Extension	3,000,000	44,514	2,955,486
Water Tank Northside of System	1,750,000		1,750,000
Water Plant System Upgrades	3,000,000	68,606	2,931,394
East Walton Gas Line Extension	1,000,000	202,372	797,628
Broadband Fiber Extension	12,700,000	1,636,969	11,063,031
Future Expansion Projects	6,250,000	150,592	6,099,408
	\$50,000,000	\$11,423,274	\$38,576,726

Solid Waste Capital Funding

Approved Projects/Assets

<u>Dept</u>	<u>Project Description</u>	<u>2021 Budgeted Expense</u>	<u>2021 Actual Expense</u>	<u>Remaining Budget</u>	<u>2022 Budgeted Expense</u>	<u>2023 Budgeted Expense</u>
Solid Waste	Recycling Carts (purchased via OPEX # 531108)	70,000	54,798	15,203		
Solid Waste	Replace Scales @ Transfer Station	100,000		100,000		
Solid Waste	Transfer Station Improvements	350,000	319,658	30,342	25,000	25,000
Solid Waste	Downtown Dumpster Corrals	150,000		150,000		
Solid Waste	Commercial Garbage Truck	270,000		270,000		
Solid Waste	JD Loader boom	-	19,014			
Solid Waste	Pickup Truck			-	35,000	
Solid Waste	Heavy duty forks for garbage truck asset# 20000066		69,240	(69,240)		
Solid Waste	major repair JD 644K loader (orig asset# 00001448)		18,606	(18,606)		
Totals		940,000	481,317	477,697	60,000	25,000
Remaining estimated annual CIP transfers-in		300,000	25,000	25,000	300,000	300,000
Estimated Solid Waste Capital Cash Balance				502,749	742,749	1,017,749

Solid Waste Capital Improvement Cash Balance 955,446 as of Nov 30

SPLOST Budgets

2013 SPLOST	Original Budget	Total Revenue Received Amended Budget	Expenditures	Reimbursements	Balance
Transportation	5,785,963.91	5,953,753.25	9,300,502.04	3,839,812.33	\$ 493,064
Public Safety	1,200,000.00	1,210,932.86	1,110,096.99	19,166.69	\$ 120,003
Solid Waste	2,513,543.61	2,119,132.51	2,119,132.25		\$ 0
	9,499,507.52	9,283,818.62	12,529,731.28	3,858,979.02	\$ 613,066

2019 SPLOST	Original Budget	Total Revenue Received	Expenditures	Reimbursements	Balance
Transportation	6,139,675.00	4,392,945.20	3,395,750.01	1,168,185.77	\$ 2,165,381
Parks	2,631,289.00	1,882,690.81	1,001,113.32	229.55	\$ 881,807
	8,770,964.00	6,275,636.01	4,396,863.33	1,168,415.32	\$ 3,047,188

General Fund

For Fiscal: 2021 Period Ending: 11/2021



	Original Total Budget	Current Total Budget	Period Activity	YTD Nov	Assumed Dec	Projected Year End 2021	Year End 2020
Revenue							
1510 - FINANCE ADMIN	11,981,521	11,981,521	1,138,473	9,745,294	2,533,913	12,279,207	12,475,661
1519 - INTERGOVERNMENTAL	109,600	109,600	-	119,992	5,704	125,696	189,879
1565 - WALTON PLAZA	3,308	3,308	276	3,033	276	3,309	3,308
2650 - MUNICIPAL COURT	475,000	475,000	24,537	266,252	19,823	286,075	269,919
3200 - POLICE	360,000	360,000	251,123	355,033	2,136	357,168	842,386
3500 - FIRE OPERATIONS	-	-	-	33,863	29,934	63,797	114,805
3510 - FIRE PREVENTION/CRR	-	-	-	500	-	500	500
4200 - STREETS & TRANSPORTATION	152,099	152,099	-	152,099	-	152,099	209,010
5530 - COMMUNITY CENTER	25,000	25,000	2,917	18,333	-	18,333	13,142
7200 - CODE & DEVELOPMENT	390,000	428,200	20,404	477,442	14,694	492,135	414,450
7520 - ECONOMIC DEVELOPMENT	20,000	20,000	4,439	24,727	1,161	25,888	14,006
7521 - MAINSTREET	35,000	35,000	-	26,250	8,750	35,000	35,000
7563 - AIRPORT	205,350	205,350	30,051	222,050	17,521	239,571	237,164
Revenue Total:	13,756,878	13,795,078	1,472,219	11,444,866	2,633,912	14,078,778	14,819,230
Expense							
1100 - LEGISLATIVE	250,791	250,791	18,997	217,149	684	217,833	250,658
1300 - EXECUTIVE	403,555	403,555	32,122	318,585	27,162	345,747	299,910
1400 - ELECTIONS	15,300	15,300	-	-	-	-	-
1500 - GENERAL ADMIN	145,244	145,244	13,659	134,879	13,093	147,971	151,761
1510 - FINANCE ADMIN	355,918	355,918	39,186	313,191	2,774	315,964	399,895
1530 - LAW	105,000	105,000	-	169,701	49,596	219,297	185,781
1560 - AUDIT	40,000	40,000	-	39,500	-	39,500	39,500
1565 - WALTON PLAZA	596,372	596,372	-	568,279	28,669	596,948	302,574
2650 - MUNICIPAL COURT	105,625	105,625	10,387	174,350	9,504	183,854	115,994
3200 - POLICE	5,571,928	5,571,928	769,319	5,121,703	430,746	5,552,449	5,922,577
3500 - FIRE OPERATIONS	2,467,333	2,467,333	184,626	2,164,513	214,801	2,379,314	2,389,971
3510 - FIRE PREVENTION/CRR	97,948	97,948	6,946	82,670	21,952	104,622	114,952
4200 - STREETS & TRANSPORTATION	1,548,926	1,548,926	129,576	1,322,492	130,120	1,452,611	1,451,600
5500 - COMMUNITY SERVICES	12,600	12,600	-	12,818	-	12,818	11,375
5530 - COMMUNITY CENTER	5,000	5,000	334	8,626	603	9,230	11,829
6200 - BLDGS & GROUNDS	607,135	607,135	198,749	724,295	49,940	774,234	457,378
6500 - LIBRARIES	124,075	124,075	191	103,567	30,900	134,467	127,491
7200 - CODE & DEVELOPMENT	649,658	687,858	51,557	674,973	59,756	734,730	869,538
7400 - PLANNING AND ZONING	4,844	4,844	-	4,844	-	4,844	4,360
7520 - ECONOMIC DEVELOPMENT	463,476	463,476	26,803	389,531	28,559	418,089	232,920
7550 - DOWNTOWN DEVELOPMENT	25,000	25,000	388	19,334	6,250	25,584	25,000
7563 - AIRPORT	161,150	161,150	2,432	159,330	21,570	180,900	118,106
9001 - GEN - OTHER FINANCING USES	-	-	-	-	-	-	92,000
Expense Total:	13,756,878	13,795,078	1,485,273	12,724,328	1,126,679	13,851,007	13,575,170
Report Surplus (Deficit):				(1,279,462)		227,771	1,244,060

Monthly Budget Report

Group Summary

For Fiscal: 2021 Period Ending: 11/30/2021

General Fund

Monroe, GA



DEP...	November Budget	November Activity	Variance Favorable (Unfavorable)	Percent Remaining	YTD Budget	YTD Activity	Variance Favorable (Unfavorable)	Percent Remaining	Total Budget
Revenue									
R1: 31 - TAXES									
1510 - FINANCE ADMIN	693,534.16	779,810.68	86,276.52	12.44 %	7,628,875.76	6,192,101.64	-1,436,774.12	-18.83 %	8,325,740.46
Total R1: 31 - TAXES:	693,534.16	779,810.68	86,276.52	12.44 %	7,628,875.76	6,192,101.64	-1,436,774.12	-18.83 %	8,325,740.46
R1: 32 - LICENSES & PERMITS									
7200 - CODE & DEVELOPMENT	35,253.83	18,619.81	-16,634.02	-47.18 %	387,792.13	472,949.78	85,157.65	21.96 %	423,200.00
Total R1: 32 - LICENSES & PERMITS:	35,253.83	18,619.81	-16,634.02	-47.18 %	387,792.13	472,949.78	85,157.65	21.96 %	423,200.00
R1: 33 - INTERGOVERNMENTAL									
1519 - INTERGOVERNMENTAL	9,129.68	0.00	-9,129.68	-100.00 %	100,426.48	119,991.18	19,564.70	19.48 %	109,600.00
3200 - POLICE	2,165.80	335.46	-1,830.34	-84.51 %	23,823.80	24,555.00	731.20	3.07 %	26,000.00
3500 - FIRE OPERATIONS	0.00	0.00	0.00	0.00 %	0.00	26,187.62	26,187.62	0.00 %	0.00
4200 - STREETS & TRANSPORTATION	12,669.81	0.00	-12,669.81	-100.00 %	139,367.91	152,098.59	12,730.68	9.13 %	152,098.59
7563 - AIRPORT	0.00	0.00	0.00	0.00 %	0.00	13,000.00	13,000.00	0.00 %	0.00
Total R1: 33 - INTERGOVERNMENTAL:	23,965.29	335.46	-23,629.83	-98.60 %	263,618.19	335,832.39	72,214.20	27.39 %	287,698.59
R1: 34 - CHARGES FOR SERVICES									
1510 - FINANCE ADMIN	59,101.35	61,176.74	2,075.39	3.51 %	650,114.85	752,808.17	102,693.32	15.80 %	709,500.00
3200 - POLICE	1,666.00	410.00	-1,256.00	-75.39 %	18,326.00	3,768.90	-14,557.10	-79.43 %	20,000.00
3510 - FIRE PREVENTION/CRR	0.00	0.00	0.00	0.00 %	0.00	500.00	500.00	0.00 %	0.00
7200 - CODE & DEVELOPMENT	416.50	1,736.00	1,319.50	316.81 %	4,581.50	4,443.95	-137.55	-3.00 %	5,000.00
7520 - ECONOMIC DEVELOPMENT & PLANNING	1,666.00	1,445.00	-221.00	-13.27 %	18,326.00	21,732.65	3,406.65	18.59 %	20,000.00
7563 - AIRPORT	91.63	85.00	-6.63	-7.24 %	1,007.93	680.00	-327.93	-32.53 %	1,100.00
Total R1: 34 - CHARGES FOR SERVICES:	62,941.48	64,852.74	1,911.26	3.04 %	692,356.28	783,933.67	91,577.39	13.23 %	755,600.00
R1: 35 - FINES & FORFEITURES									
2650 - MUNICIPAL COURT	39,567.50	24,536.54	-15,030.96	-37.99 %	435,242.50	266,252.03	-168,990.47	-38.83 %	475,000.00
3200 - POLICE	0.00	2,777.64	2,777.64	0.00 %	0.00	28,061.09	28,061.09	0.00 %	0.00
Total R1: 35 - FINES & FORFEITURES:	39,567.50	27,314.18	-12,253.32	-30.97 %	435,242.50	294,313.12	-140,929.38	-32.38 %	475,000.00
R1: 36 - INVESTMENT INCOME									
1510 - FINANCE ADMIN	0.00	0.00	0.00	0.00 %	0.00	347.56	347.56	0.00 %	0.00
Total R1: 36 - INVESTMENT INCOME:	0.00	0.00	0.00	0.00 %	0.00	347.56	347.56	0.00 %	0.00
R1: 37 - CONTRIBUTIONS & DONATIONS									
3200 - POLICE	333.20	0.00	-333.20	-100.00 %	3,665.20	0.00	-3,665.20	-100.00 %	4,000.00
7521 - MAINSTREET	2,915.50	0.00	-2,915.50	-100.00 %	32,070.50	26,250.00	-5,820.50	-18.15 %	35,000.00
Total R1: 37 - CONTRIBUTIONS & DONATIONS:	3,248.70	0.00	-3,248.70	-100.00 %	35,735.70	26,250.00	-9,485.70	-26.54 %	39,000.00

Monthly Budget Report

For Fiscal: 2021 Period Ending: 11/30/2021

DEP...	November Budget	November Activity	Variance Favorable (Unfavorable)	Percent Remaining	YTD Budget	YTD Activity	Variance Favorable (Unfavorable)	Percent Remaining	Total Budget
R1: 38 - MISCELLANEOUS REVENUE									
1510 - FINANCE ADMIN	2,915.50	49,541.94	46,626.44	1,599.26 %	32,070.50	94,727.73	62,657.23	195.37 %	35,000.00
1565 - WALTON PLAZA	275.55	275.63	0.08	0.03 %	3,031.05	3,031.93	0.88	0.03 %	3,308.00
3200 - POLICE	0.00	-35,752.00	-35,752.00	0.00 %	0.00	8,796.00	8,796.00	0.00 %	0.00
3500 - FIRE OPERATIONS	0.00	0.00	0.00	0.00 %	0.00	7,675.28	7,675.28	0.00 %	0.00
5530 - COMMUNITY CENTER	2,082.50	2,916.67	834.17	40.06 %	22,907.50	18,333.36	-4,574.14	-19.97 %	25,000.00
7200 - CODE & DEVELOPMENT	0.00	48.00	48.00	0.00 %	0.00	48.00	48.00	0.00 %	0.00
7520 - ECONOMIC DEVELOPMENT & PLANNNG	0.00	2,993.99	2,993.99	0.00 %	0.00	2,993.99	2,993.99	0.00 %	0.00
7563 - AIRPORT	17,014.02	29,965.98	12,951.96	76.13 %	187,154.22	208,370.25	21,216.03	11.34 %	204,250.00
Total R1: 38 - MISCELLANEOUS REVENUE:	22,287.57	49,990.21	27,702.64	124.30 %	245,163.27	343,976.54	98,813.27	40.31 %	267,558.00
R1: 39 - OTHER FINANCING SOURCES									
1510 - FINANCE ADMIN	242,509.62	247,943.92	5,434.30	2.24 %	2,667,605.82	2,705,309.13	37,703.31	1.41 %	2,911,280.08
3200 - POLICE	25,823.00	283,352.16	257,529.16	997.29 %	284,053.00	289,852.16	5,799.16	2.04 %	310,000.00
Total R1: 39 - OTHER FINANCING SOURCES:	268,332.62	531,296.08	262,963.46	98.00 %	2,951,658.82	2,995,161.29	43,502.47	1.47 %	3,221,280.08
Total Revenue:	1,149,131.15	1,472,219.16	323,088.01	28.12 %	12,640,442.65	11,444,865.99	-1,195,576.66	-9.46 %	13,795,077.13
Expense									
1100 - LEGISLATIVE	20,890.87	18,996.86	1,894.01	9.07 %	229,799.57	216,875.41	12,924.16	5.62 %	250,791.00
1300 - EXECUTIVE	33,616.08	32,122.37	1,493.71	4.44 %	369,776.88	318,859.16	50,917.72	13.77 %	403,555.00
1400 - ELECTIONS	1,274.49	0.00	1,274.49	100.00 %	14,019.39	0.00	14,019.39	100.00 %	15,300.00
1500 - GENERAL ADMIN	12,098.80	13,658.86	-1,560.06	-12.89 %	133,086.80	134,878.75	-1,791.95	-1.35 %	145,244.00
1510 - FINANCE ADMIN	29,647.92	39,185.86	-9,537.94	-32.17 %	326,127.12	313,191.09	12,936.03	3.97 %	355,918.00
1530 - LAW	8,746.50	0.00	8,746.50	100.00 %	96,211.50	169,700.38	-73,488.88	-76.38 %	105,000.00
1560 - AUDIT	3,332.00	0.00	3,332.00	100.00 %	36,652.00	39,500.00	-2,848.00	-7.77 %	40,000.00
1565 - WALTON PLAZA	49,677.78	0.00	49,677.78	100.00 %	546,455.58	568,279.01	-21,823.43	-3.99 %	596,372.00
2650 - MUNICIPAL COURT	8,791.27	10,387.28	-1,596.01	-18.15 %	96,790.97	174,349.46	-77,558.49	-80.13 %	105,625.00
3200 - POLICE	464,141.51	769,318.72	-305,177.21	-65.75 %	5,105,556.61	5,121,703.12	-16,146.51	-0.32 %	5,571,927.56
3500 - FIRE OPERATIONS	205,528.81	184,626.32	20,902.49	10.17 %	2,260,816.91	2,164,513.14	96,303.77	4.26 %	2,467,333.00
3510 - FIRE PREVENTION/CRR	8,159.04	6,946.07	1,212.97	14.87 %	89,749.44	82,670.56	7,078.88	7.89 %	97,948.00
4200 - STREETS & TRANSPORTATION	129,025.50	129,576.38	-550.88	-0.43 %	1,419,280.50	1,322,491.22	96,789.28	6.82 %	1,548,926.00
5500 - COMMUNITY SERVICES	1,049.58	0.00	1,049.58	100.00 %	11,545.38	12,818.40	-1,273.02	-11.03 %	12,600.00
5530 - COMMUNITY CENTER	416.50	334.49	82.01	19.69 %	4,581.50	8,625.82	-4,044.32	-88.28 %	5,000.00
6200 - BLDGS & GROUNDS	50,574.22	198,749.07	-148,174.85	-292.98 %	556,316.46	724,295.61	-167,979.15	-30.19 %	607,134.57
6500 - LIBRARIES	10,335.44	190.69	10,144.75	98.15 %	113,689.84	103,566.94	10,122.90	8.90 %	124,075.00
7200 - CODE & DEVELOPMENT	57,299.81	51,556.99	5,742.82	10.02 %	630,297.91	674,973.12	-44,675.21	-7.09 %	687,858.00
7400 - PLANNING AND ZONING	403.50	0.00	403.50	100.00 %	4,438.50	4,844.25	-405.75	-9.14 %	4,844.00
7520 - ECONOMIC DEVELOPMENT & PLANNNG	38,607.51	26,803.19	11,804.32	30.58 %	424,682.61	389,531.35	35,151.26	8.28 %	463,476.00
7550 - DOWNTOWN DEVELOPMENT	2,082.50	387.92	1,694.58	81.37 %	22,907.50	19,333.36	3,574.14	15.60 %	25,000.00
7563 - AIRPORT	13,423.76	2,432.20	10,991.56	81.88 %	147,661.36	159,330.59	-11,669.23	-7.90 %	161,150.00
Total Expense:	1,149,123.39	1,485,273.27	-336,149.88	-29.25 %	12,640,444.33	12,724,330.74	-83,886.41	-0.66 %	13,795,077.13
Report Total:	7.76	-13,054.11	-13,061.87		-1.68	-1,279,464.75	-1,279,463.07		0.00

General Fund

Income Statement

Group Summary

For Fiscal: 2021 Period Ending: 11/30/2021



Monroe, GA

DEPT	Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	Budget Remaining
Revenue					
1510 - FINANCE ADMIN	11,981,520.54	11,981,520.54	1,138,473.28	9,745,294.23	2,236,226.31
1519 - INTERGOVERNMENTAL	109,600.00	109,600.00	0.00	119,991.18	-10,391.18
1565 - WALTON PLAZA	3,308.00	3,308.00	275.63	3,031.93	276.07
2650 - MUNICIPAL COURT	475,000.00	475,000.00	24,536.54	266,252.03	208,747.97
3200 - POLICE	360,000.00	360,000.00	251,123.26	355,033.15	4,966.85
3500 - FIRE OPERATIONS	0.00	0.00	0.00	33,862.90	-33,862.90
3510 - FIRE PREVENTION/CRR	0.00	0.00	0.00	500.00	-500.00
4200 - STREETS & TRANSPORTATION	152,098.59	152,098.59	0.00	152,098.59	0.00
5530 - COMMUNITY CENTER	25,000.00	25,000.00	2,916.67	18,333.36	6,666.64
7200 - CODE & DEVELOPMENT	390,000.00	428,200.00	20,403.81	477,441.73	-49,241.73
7520 - ECONOMIC DEVELOPMENT & PLANNNG	20,000.00	20,000.00	4,438.99	24,726.64	-4,726.64
7521 - MAINSTREET	35,000.00	35,000.00	0.00	26,250.00	8,750.00
7563 - AIRPORT	205,350.00	205,350.00	30,050.98	222,050.25	-16,700.25
Revenue Total:	13,756,877.13	13,795,077.13	1,472,219.16	11,444,865.99	2,350,211.14
Expense					
1100 - LEGISLATIVE	250,791.00	250,791.00	18,996.86	216,875.41	33,915.59
1300 - EXECUTIVE	403,555.00	403,555.00	32,122.37	318,859.16	84,695.84
1400 - ELECTIONS	15,300.00	15,300.00	0.00	0.00	15,300.00
1500 - GENERAL ADMIN	145,244.00	145,244.00	13,658.86	134,878.75	10,365.25
1510 - FINANCE ADMIN	355,918.00	355,918.00	39,185.86	313,191.09	42,726.91
1530 - LAW	105,000.00	105,000.00	0.00	169,700.38	-64,700.38
1560 - AUDIT	40,000.00	40,000.00	0.00	39,500.00	500.00
1565 - WALTON PLAZA	596,372.00	596,372.00	0.00	568,279.01	28,092.99
2650 - MUNICIPAL COURT	105,625.00	105,625.00	10,387.28	174,349.46	-68,724.46
3200 - POLICE	5,571,927.56	5,571,927.56	769,318.72	5,121,703.12	450,224.44
3500 - FIRE OPERATIONS	2,467,333.00	2,467,333.00	184,626.32	2,164,513.14	302,819.86
3510 - FIRE PREVENTION/CRR	97,948.00	97,948.00	6,946.07	82,670.56	15,277.44
4200 - STREETS & TRANSPORTATION	1,548,926.00	1,548,926.00	129,576.38	1,322,491.22	226,434.78
5500 - COMMUNITY SERVICES	12,600.00	12,600.00	0.00	12,818.40	-218.40
5530 - COMMUNITY CENTER	5,000.00	5,000.00	334.49	8,625.82	-3,625.82
6200 - BLDGS & GROUNDS	607,134.53	607,134.57	198,749.07	724,295.61	-117,161.04
6500 - LIBRARIES	124,075.00	124,075.00	190.69	103,566.94	20,508.06
7200 - CODE & DEVELOPMENT	649,658.00	687,858.00	51,556.99	674,973.12	12,884.88
7400 - PLANNING AND ZONING	4,844.00	4,844.00	0.00	4,844.25	-0.25
7520 - ECONOMIC DEVELOPMENT & PLANNNG	463,476.00	463,476.00	26,803.19	389,531.35	73,944.65
7550 - DOWNTOWN DEVELOPMENT	25,000.00	25,000.00	387.92	19,333.36	5,666.64
7563 - AIRPORT	161,150.00	161,150.00	2,432.20	159,330.59	1,819.41
Expense Total:	13,756,877.09	13,795,077.13	1,485,273.27	12,724,330.74	1,070,746.39
Total Surplus (Deficit):	0.04	0.00	-13,054.11	-1,279,464.75	

Prior-Year Comparative Income Statement

Group Summary

For the Period Ending 11/30/2021

General Fund



Monroe, GA

DEP...	2020 Nov. Activity	2021 Nov. Activity	Nov. Variance Favorable / (Unfavorable)	Variance %	2020 YTD Activity	2021 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Revenue								
1510 - FINANCE ADMIN	1,173,495.84	1,138,473.28	-35,022.56	-2.98%	9,614,078.59	9,745,294.23	131,215.64	1.36%
1519 - INTERGOVERNMENTAL	0.00	0.00	0.00	0.00%	184,174.75	119,991.18	-64,183.57	-34.85%
1565 - WALTON PLAZA	275.63	275.63	0.00	0.00%	3,031.93	3,031.93	0.00	0.00%
2650 - MUNICIPAL COURT	6,840.69	24,536.54	17,695.85	258.69%	245,514.64	266,252.03	20,737.39	8.45%
3200 - POLICE	5,621.61	251,123.26	245,501.65	4,367.11%	838,646.17	355,033.15	-483,613.02	-57.67%
3500 - FIRE OPERATIONS	0.00	0.00	0.00	0.00%	67,280.65	33,862.90	-33,417.75	-49.67%
3510 - FIRE PREVENTION/CRR	0.00	0.00	0.00	0.00%	500.00	500.00	0.00	0.00%
4200 - STREETS & TRANSPORTATION	0.00	0.00	0.00	0.00%	209,009.88	152,098.59	-56,911.29	-27.23%
5530 - COMMUNITY CENTER	10,000.02	2,916.67	-7,083.35	-70.83%	13,141.69	18,333.36	5,191.67	39.51%
7200 - CODE & DEVELOPMENT	35,990.00	20,403.81	-15,586.19	-43.31%	399,756.07	477,441.73	77,685.66	19.43%
7520 - ECONOMIC DEVELOPMENT & PLANNING	5,798.94	4,438.99	-1,359.95	-23.45%	12,844.71	24,726.64	11,881.93	92.50%
7521 - MAINSTREET	8,750.00	0.00	-8,750.00	-100.00%	26,250.00	26,250.00	0.00	0.00%
7563 - AIRPORT	20,447.63	30,050.98	9,603.35	46.97%	219,643.00	222,050.25	2,407.25	1.10%
Revenue Total:	1,267,220.36	1,472,219.16	204,998.80	16.18%	11,833,872.08	11,444,865.99	-389,006.09	-3.29%
Expense								
1100 - LEGISLATIVE	10,510.66	18,996.86	-8,486.20	-80.74%	124,563.57	216,875.41	-92,311.84	-74.11%
1300 - EXECUTIVE	24,287.28	32,122.37	-7,835.09	-32.26%	272,588.93	318,859.16	-46,270.23	-16.97%
1500 - GENERAL ADMIN	16,101.87	13,658.86	2,443.01	15.17%	136,518.53	134,878.75	1,639.78	1.20%
1510 - FINANCE ADMIN	117,101.30	39,185.86	77,915.44	66.54%	379,890.85	313,191.09	66,699.76	17.56%
1530 - LAW	29,137.38	0.00	29,137.38	100.00%	136,184.19	169,700.38	-33,516.19	-24.61%
1560 - AUDIT	0.00	0.00	0.00	0.00%	39,500.00	39,500.00	0.00	0.00%
1565 - WALTON PLAZA	0.00	0.00	0.00	0.00%	273,905.31	568,279.01	-294,373.70	-107.47%
2650 - MUNICIPAL COURT	8,143.33	10,387.28	-2,243.95	-27.56%	89,257.88	174,349.46	-85,091.58	-95.33%
3200 - POLICE	457,630.03	769,318.72	-311,688.69	-68.11%	5,554,688.78	5,121,703.12	432,985.66	7.79%
3500 - FIRE OPERATIONS	212,852.56	184,626.32	28,226.24	13.26%	2,155,912.21	2,164,513.14	-8,600.93	-0.40%
3510 - FIRE PREVENTION/CRR	2,529.38	6,946.07	-4,416.69	-174.62%	60,364.14	82,670.56	-22,306.42	-36.95%
4200 - STREETS & TRANSPORTATION	118,510.27	129,576.38	-11,066.11	-9.34%	1,209,899.40	1,322,491.22	-112,591.82	-9.31%
5500 - COMMUNITY SERVICES	0.00	0.00	0.00	0.00%	11,374.80	12,818.40	-1,443.60	-12.69%
5530 - COMMUNITY CENTER	358.68	334.49	24.19	6.74%	11,225.18	8,625.82	2,599.36	23.16%
6200 - BLDGS & GROUNDS	43,124.95	198,749.07	-155,624.12	-360.87%	400,403.28	724,295.61	-323,892.33	-80.89%
6500 - LIBRARIES	0.00	190.69	-190.69	0.00%	96,591.27	103,566.94	-6,975.67	-7.22%
7200 - CODE & DEVELOPMENT	68,257.98	51,556.99	16,700.99	24.47%	739,800.71	674,973.12	64,827.59	8.76%
7400 - PLANNING AND ZONING	0.00	0.00	0.00	0.00%	4,359.83	4,844.25	-484.42	-11.11%
7520 - ECONOMIC DEVELOPMENT & PLANNING	28,400.49	26,803.19	1,597.30	5.62%	199,830.40	389,531.35	-189,700.95	-94.93%
7550 - DOWNTOWN DEVELOPMENT	0.00	387.92	-387.92	0.00%	18,750.00	19,333.36	-583.36	-3.11%

Prior-Year Comparative Income Statement

For the Period Ending 11/30/

DEP...	2020		2021		Nov. Variance		YTD Variance	
	Nov. Activity	Nov. Activity	Favorable / (Unfavorable)	Variance %	YTD Activity	YTD Activity	Favorable / (Unfavorable)	Variance %
7563 - AIRPORT	25,329.18	2,432.20	22,896.98	90.40%	96,535.92	159,330.59	-62,794.67	-65.05%
9001 - GEN - OTHER FINANCING USES	92,000.00	0.00	92,000.00	100.00%	92,000.00	0.00	92,000.00	100.00%
Expense Total:	1,254,275.34	1,485,273.27	-230,997.93	-18.42%	12,104,145.18	12,724,330.74	-620,185.56	-5.12%
Total Surplus (Deficit):	12,945.02	-13,054.11	-25,999.13	-200.84%	-270,273.10	-1,279,464.75	-1,009,191.65	-373.40%

General Fund

Budget Report

Group Summary

For Fiscal: 2021 Period Ending: 11/30/2021



Monroe, GA

DEP...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Revenue						
1510 - FINANCE ADMIN	11,981,520.54	11,981,520.54	1,138,473.28	9,745,294.23	-2,236,226.31	18.66 %
1519 - INTERGOVERNMENTAL	109,600.00	109,600.00	0.00	119,991.18	10,391.18	9.48 %
1565 - WALTON PLAZA	3,308.00	3,308.00	275.63	3,031.93	-276.07	8.35 %
2650 - MUNICIPAL COURT	475,000.00	475,000.00	24,536.54	266,252.03	-208,747.97	43.95 %
3200 - POLICE	360,000.00	360,000.00	251,123.26	355,033.15	-4,966.85	1.38 %
3500 - FIRE OPERATIONS	0.00	0.00	0.00	33,862.90	33,862.90	0.00 %
3510 - FIRE PREVENTION/CRR	0.00	0.00	0.00	500.00	500.00	0.00 %
4200 - STREETS & TRANSPORTATION	152,098.59	152,098.59	0.00	152,098.59	0.00	0.00 %
5530 - COMMUNITY CENTER	25,000.00	25,000.00	2,916.67	18,333.36	-6,666.64	26.67 %
7200 - CODE & DEVELOPMENT	390,000.00	428,200.00	20,403.81	477,441.73	49,241.73	11.50 %
7520 - ECONOMIC DEVELOPMENT & PLANNNG	20,000.00	20,000.00	4,438.99	24,726.64	4,726.64	23.63 %
7521 - MAINSTREET	35,000.00	35,000.00	0.00	26,250.00	-8,750.00	25.00 %
7563 - AIRPORT	205,350.00	205,350.00	30,050.98	222,050.25	16,700.25	8.13 %
Revenue Total:	13,756,877.13	13,795,077.13	1,472,219.16	11,444,865.99	-2,350,211.14	17.04 %
Expense						
1100 - LEGISLATIVE	250,791.00	250,791.00	18,996.86	216,875.41	33,915.59	13.52 %
1300 - EXECUTIVE	403,555.00	403,555.00	32,122.37	318,859.16	84,695.84	20.99 %
1400 - ELECTIONS	15,300.00	15,300.00	0.00	0.00	15,300.00	100.00 %
1500 - GENERAL ADMIN	145,244.00	145,244.00	13,658.86	134,878.75	10,365.25	7.14 %
1510 - FINANCE ADMIN	355,918.00	355,918.00	39,185.86	313,191.09	42,726.91	12.00 %
1530 - LAW	105,000.00	105,000.00	0.00	169,700.38	-64,700.38	-61.62 %
1560 - AUDIT	40,000.00	40,000.00	0.00	39,500.00	500.00	1.25 %
1565 - WALTON PLAZA	596,372.00	596,372.00	0.00	568,279.01	28,092.99	4.71 %
2650 - MUNICIPAL COURT	105,625.00	105,625.00	10,387.28	174,349.46	-68,724.46	-65.06 %
3200 - POLICE	5,571,927.56	5,571,927.56	769,318.72	5,121,703.12	450,224.44	8.08 %
3500 - FIRE OPERATIONS	2,467,333.00	2,467,333.00	184,626.32	2,164,513.14	302,819.86	12.27 %
3510 - FIRE PREVENTION/CRR	97,948.00	97,948.00	6,946.07	82,670.56	15,277.44	15.60 %
4200 - STREETS & TRANSPORTATION	1,548,926.00	1,548,926.00	129,576.38	1,322,491.22	226,434.78	14.62 %
5500 - COMMUNITY SERVICES	12,600.00	12,600.00	0.00	12,818.40	-218.40	-1.73 %
5530 - COMMUNITY CENTER	5,000.00	5,000.00	334.49	8,625.82	-3,625.82	-72.52 %
6200 - BLDGS & GROUNDS	607,134.53	607,134.57	198,749.07	724,295.61	-117,161.04	-19.30 %
6500 - LIBRARIES	124,075.00	124,075.00	190.69	103,566.94	20,508.06	16.53 %
7200 - CODE & DEVELOPMENT	649,658.00	687,858.00	51,556.99	674,973.12	12,884.88	1.87 %
7400 - PLANNING AND ZONING	4,844.00	4,844.00	0.00	4,844.25	-0.25	-0.01 %
7520 - ECONOMIC DEVELOPMENT & PLANNNG	463,476.00	463,476.00	26,803.19	389,531.35	73,944.65	15.95 %
7550 - DOWNTOWN DEVELOPMENT	25,000.00	25,000.00	387.92	19,333.36	5,666.64	22.67 %
7563 - AIRPORT	161,150.00	161,150.00	2,432.20	159,330.59	1,819.41	1.13 %
Expense Total:	13,756,877.09	13,795,077.13	1,485,273.27	12,724,330.74	1,070,746.39	7.76 %
Report Surplus (Deficit):	0.04	0.00	-13,054.11	-1,279,464.75	-1,279,464.75	0.00 %

Utilities Fund

For Fiscal: 2021 Period Ending: 11/2021



	Original Total Budget	Current Total Budget	Period Activity	YTD Nov	Assumed Dec	Projected Year End 2021	Year End 2020
Revenue							
4002 - WATER	6,125,577	6,125,577	544,296	5,820,108	513,800	6,333,907	5,732,224
4003 - SEWER	5,524,167	5,524,167	439,369	5,253,123	460,939	5,714,062	5,399,910
4005 - GAS	4,072,608	4,072,608	269,766	4,013,976	318,574	4,332,550	3,672,382
4006 - GUTA	130,000	130,000	18,405	163,658	28,704	192,362	150,854
4008 - ELECTRIC	20,165,167	20,165,167	1,562,444	19,155,323	1,511,440	20,666,763	19,793,670
4009 - TELECOM & INTERNET	3,424,167	3,424,167	326,548	3,427,828	312,811	3,740,639	3,349,923
4010 - CABLE TV	3,934,167	3,934,167	277,335	3,296,526	324,919	3,621,445	3,202,263
4012 - UTIL FINANCE			0	117,996	(1,607)	116,390	747,844
Revenue Total:	43,375,851	43,375,851	3,438,163	41,248,538	3,469,580	44,718,118	42,049,070
Expense							
4002 - WATER	6,185,269	6,185,269	370,371	5,155,570	335,424	5,490,994	5,087,160
4003 - SEWER	5,354,230	5,354,230	324,089	4,075,679	315,249	4,390,927	4,621,536
4004 - STORMWATER	381,765	381,765	23,272	271,436	51,141	322,577	478,837
4005 - GAS	4,262,732	4,262,732	302,419	3,631,716	302,951	3,934,667	3,315,782
4006 - GUTA	250,914	250,914	20,972	222,630	35,407	258,036	254,954
4007 - GEN ADMIN WSG	234,745	234,745	27,370	223,310	23,341	246,651	262,683
4008 - ELECTRIC	17,165,182	17,165,182	1,106,793	16,036,038	1,642,166	17,678,205	17,434,007
4009 - TELECOM & INTERNET	3,092,616	3,092,616	176,524	2,470,613	205,442	2,676,056	1,463,544
4010 - CABLE TV	5,457,472	5,457,472	305,759	4,113,273	461,302	4,574,575	5,134,676
4011 - GEN ADMIN ELEC/TELECOM	208,412	208,412	22,342	199,624	19,950	219,574	234,656
4012 - UTIL FINANCE	(1,952,223)	(1,952,223)	100,060	(2,467,166)	59,559	(2,407,607)	(2,936,261)
4013 - UTIL CUST SVC	1,530,403	1,530,403	133,810	1,460,766	127,631	1,588,398	1,636,811
4014 - UTIL BILLING	477,506	477,506	48,449	426,231	38,259	464,490	480,739
4015 - CENTRAL SERVICES	726,830	726,830	96,222	952,153	74,868	1,027,021	1,024,534
Expense Total:	43,375,851	43,375,851	3,058,451	36,771,873	3,692,691	40,464,563	38,493,658
Report Surplus (Deficit):				4,476,666		4,253,554	3,555,412

Monthly Budget Report

Group Summary

For Fiscal: 2021 Period Ending: 11/30/2021



Monroe, GA

ACTIVIT...	November Budget	November Activity	Variance Favorable (Unfavorable)	Percent Remaining	YTD Budget	YTD Activity	Variance Favorable (Unfavorable)	Percent Remaining	Total Budget
Revenue									
4002 - WATER	510,260.53	544,295.99	34,035.46	6.67 %	5,612,865.83	5,820,107.82	207,241.99	3.69 %	6,125,576.67
4003 - SEWER	460,163.08	439,368.99	-20,794.09	-4.52 %	5,061,793.88	5,253,123.29	191,329.41	3.78 %	5,524,166.67
4005 - GAS	339,248.21	269,765.71	-69,482.50	-20.48 %	3,731,730.31	4,013,975.86	282,245.55	7.56 %	4,072,607.67
4006 - GUTA	10,829.00	18,405.00	7,576.00	69.96 %	119,119.00	163,658.32	44,539.32	37.39 %	130,000.00
4008 - ELECTRIC	1,679,758.38	1,562,444.11	-117,314.27	-6.98 %	18,477,342.18	19,155,322.78	677,980.60	3.67 %	20,165,166.67
4009 - TELECOM & INTERNET	285,233.08	326,548.39	41,315.31	14.48 %	3,137,563.88	3,427,828.48	290,264.60	9.25 %	3,424,166.67
4010 - CABLE TV	327,716.08	277,334.82	-50,381.26	-15.37 %	3,604,876.88	3,296,525.86	-308,351.02	-8.55 %	3,934,166.67
4012 - UTIL FINANCE	0.00	0.03	0.03	0.00 %	0.00	117,996.71	117,996.71	0.00 %	0.00
Total Revenue:	3,613,208.36	3,438,163.04	-175,045.32	-4.84 %	39,745,291.96	41,248,539.12	1,503,247.16	3.78 %	43,375,851.02
Expense									
4002 - WATER	515,232.77	370,371.20	144,861.57	28.12 %	5,667,560.47	5,155,569.74	511,990.73	9.03 %	6,185,268.51
4003 - SEWER	446,007.22	324,089.09	121,918.13	27.34 %	4,906,079.42	4,075,679.55	830,399.87	16.93 %	5,354,229.98
4004 - STORMWATER	31,800.97	23,271.88	8,529.09	26.82 %	349,810.67	271,436.41	78,374.26	22.40 %	381,765.00
4005 - GAS	355,085.51	302,419.42	52,666.09	14.83 %	3,905,940.61	3,631,715.62	274,224.99	7.02 %	4,262,732.21
4006 - GUTA	20,901.09	20,972.10	-71.01	-0.34 %	229,911.99	222,630.04	7,281.95	3.17 %	250,914.00
4007 - GEN ADMIN WSG	19,554.22	27,369.72	-7,815.50	-39.97 %	215,096.42	223,309.97	-8,213.55	-3.82 %	234,745.00
4008 - ELECTRIC	1,429,859.55	1,106,792.61	323,066.94	22.59 %	15,728,455.05	16,036,038.28	-307,583.23	-1.96 %	17,165,181.50
4009 - TELECOM & INTERNET	257,614.82	176,524.09	81,090.73	31.48 %	2,833,763.02	2,470,613.11	363,149.91	12.82 %	3,092,615.50
4010 - CABLE TV	454,607.31	305,759.10	148,848.21	32.74 %	5,000,680.41	4,113,273.48	887,406.93	17.75 %	5,457,471.50
4011 - GEN ADMIN ELEC/TELECOM	17,360.69	22,341.76	-4,981.07	-28.69 %	190,967.59	199,624.03	-8,656.44	-4.53 %	208,412.00
4012 - UTIL FINANCE	-162,620.23	100,059.79	-262,680.02	161.53 %	-1,788,822.53	-2,467,167.50	678,344.97	-37.92 %	-1,952,223.00
4013 - UTIL CUST SVC	127,482.51	133,810.02	-6,327.51	-4.96 %	1,402,307.50	1,460,766.33	-58,458.83	-4.17 %	1,530,402.82
4014 - UTIL BILLING	39,776.23	48,449.09	-8,672.86	-21.80 %	437,538.53	426,231.17	11,307.36	2.58 %	477,506.00
4015 - CENTRAL SERVICES	60,544.91	96,221.51	-35,676.60	-58.93 %	665,994.01	952,152.54	-286,158.53	-42.97 %	726,830.00
Total Expense:	3,613,207.57	3,058,451.38	554,756.19	15.35 %	39,745,283.16	36,771,872.77	2,973,410.39	7.48 %	43,375,851.02
Report Total:	0.79	379,711.66	379,710.87		8.80	4,476,666.35	4,476,657.55		0.00



Monroe, GA

Utilities Fund
with Capital

Income Statement
Group Summary

For Fiscal: 2021 Period Ending: 11/30/2021

ACTIVITY	Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	Budget Remaining
Revenue					
4002 - WATER	6,125,576.67	6,125,576.67	544,295.99	6,181,876.32	-56,299.65
4003 - SEWER	5,524,166.67	5,524,166.67	439,368.99	5,253,123.29	271,043.38
4005 - GAS	4,072,607.67	4,072,607.67	269,765.71	4,013,975.86	58,631.81
4006 - GUTA	130,000.00	130,000.00	18,405.00	163,658.32	-33,658.32
4008 - ELECTRIC	20,165,166.67	20,165,166.67	1,562,444.11	19,323,221.88	841,944.79
4009 - TELECOM & INTERNET	3,424,166.67	3,424,166.67	326,548.39	3,427,828.48	-3,661.81
4010 - CABLE TV	3,934,166.67	3,934,166.67	277,334.82	3,296,525.86	637,640.81
4012 - UTIL FINANCE	0.00	0.00	0.03	117,996.71	-117,996.71
Revenue Total:	43,375,851.02	43,375,851.02	3,438,163.04	41,778,206.72	1,597,644.30
Expense					
4002 - WATER	6,185,268.51	6,185,268.51	400,849.44	7,157,942.24	-972,673.73
4003 - SEWER	5,354,229.98	5,354,229.98	1,064,120.38	7,586,973.41	-2,232,743.43
4004 - STORMWATER	381,765.00	381,765.00	28,164.38	549,122.12	-167,357.12
4005 - GAS	4,262,732.21	4,262,732.21	315,762.42	4,199,258.24	63,473.97
4006 - GUTA	250,914.00	250,914.00	20,972.10	222,630.04	28,283.96
4007 - GEN ADMIN WSG	234,745.00	234,745.00	27,369.72	223,309.97	11,435.03
4008 - ELECTRIC	17,165,181.50	17,165,181.50	1,425,231.14	17,415,308.22	-250,126.72
4009 - TELECOM & INTERNET	3,092,615.50	3,092,615.50	537,841.08	4,447,944.88	-1,355,329.38
4010 - CABLE TV	5,457,471.50	5,457,471.50	305,759.10	4,127,076.94	1,330,394.56
4011 - GEN ADMIN ELEC/TELECOM	208,412.00	208,412.00	22,341.76	199,624.03	8,787.97
4012 - UTIL FINANCE	-1,952,223.00	-1,952,223.00	100,059.79	-2,382,317.30	430,094.30
4013 - UTIL CUST SVC	1,530,402.93	1,530,402.82	133,810.02	1,460,766.33	69,636.49
4014 - UTIL BILLING	477,506.00	477,506.00	47,024.09	486,532.17	-9,026.17
4015 - CENTRAL SERVICES	726,830.00	726,830.00	96,221.51	1,023,694.75	-296,864.75
Expense Total:	43,375,851.13	43,375,851.02	4,525,526.93	46,717,866.04	-3,342,015.02
Total Surplus (Deficit):	-0.11	0.00	-1,087,363.89	-4,939,659.32	



Monroe, GA

Utilities Fund
with Capital

Prior-Year Comparative Income Statement
Group Summary
For the Period Ending 11/30/2021

ACTIVIT...	2020 Nov. Activity	2021 Nov. Activity	Nov. Variance Favorable / (Unfavorable)	Variance %	2020 YTD Activity	2021 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Revenue								
4002 - WATER	621,250.49	544,295.99	-76,954.50	-12.39%	8,018,006.72	6,181,876.32	-1,836,130.40	-22.90%
4003 - SEWER	378,926.32	439,368.99	60,442.67	15.95%	4,939,292.73	5,253,123.29	313,830.56	6.35%
4005 - GAS	187,866.19	269,765.71	81,899.52	43.59%	3,354,129.72	4,013,975.86	659,846.14	19.67%
4006 - GUTA	16,925.00	18,405.00	1,480.00	8.74%	122,150.00	163,658.32	41,508.32	33.98%
4008 - ELECTRIC	1,414,795.85	1,562,444.11	147,648.26	10.44%	18,282,550.83	19,323,221.88	1,040,671.05	5.69%
4009 - TELECOM & INTERNET	290,719.27	326,548.39	35,829.12	12.32%	3,062,737.75	3,427,828.48	365,090.73	11.92%
4010 - CABLE TV	256,132.78	277,334.82	21,202.04	8.28%	2,877,665.87	3,296,525.86	418,859.99	14.56%
4012 - UTIL FINANCE	92,000.00	0.03	-91,999.97	-100.00%	763,195.00	117,996.71	-645,198.29	-84.54%
Revenue Total:	3,258,615.90	3,438,163.04	179,547.14	5.51%	41,419,728.62	41,778,206.72	358,478.10	0.87%
Expense								
4002 - WATER	1,235,845.09	400,849.44	834,995.65	67.56%	10,426,004.04	7,157,942.24	3,268,061.80	31.35%
4003 - SEWER	1,077,242.68	1,064,120.38	13,122.30	1.22%	6,114,726.48	7,586,973.41	-1,472,246.93	-24.08%
4004 - STORMWATER	46,058.50	28,164.38	17,894.12	38.85%	553,381.25	549,122.12	4,259.13	0.77%
4005 - GAS	402,623.32	315,762.42	86,860.90	21.57%	4,073,518.00	4,199,258.24	-125,740.24	-3.09%
4006 - GUTA	22,745.99	20,972.10	1,773.89	7.80%	210,132.42	222,630.04	-12,497.62	-5.95%
4007 - GEN ADMIN WSG	28,648.79	27,369.72	1,279.07	4.46%	228,795.89	223,309.97	5,485.92	2.40%
4008 - ELECTRIC	1,629,562.10	1,425,231.14	204,330.96	12.54%	17,333,672.99	17,415,308.22	-81,635.23	-0.47%
4009 - TELECOM & INTERNET	431,770.84	537,841.08	-106,070.24	-24.57%	1,962,979.75	4,447,944.88	-2,484,965.13	-126.59%
4010 - CABLE TV	430,810.30	305,759.10	125,051.20	29.03%	4,674,735.84	4,127,076.94	547,658.90	11.72%
4011 - GEN ADMIN ELEC/TELECOM	23,085.51	22,341.76	743.75	3.22%	201,537.16	199,624.03	1,913.13	0.95%
4012 - UTIL FINANCE	-268,829.62	100,059.79	-368,889.41	-137.22%	-2,531,480.17	-2,382,317.30	-149,162.87	-5.89%
4013 - UTIL CUST SVC	122,776.78	133,810.02	-11,033.24	-8.99%	1,448,950.78	1,460,766.33	-11,815.55	-0.82%
4014 - UTIL BILLING	43,152.40	47,024.09	-3,871.69	-8.97%	427,459.48	486,532.17	-59,072.69	-13.82%
4015 - CENTRAL SERVICES	102,900.44	96,221.51	6,678.93	6.49%	966,890.14	1,023,694.75	-56,804.61	-5.87%
Expense Total:	5,328,393.12	4,525,526.93	802,866.19	15.07%	46,091,304.05	46,717,866.04	-626,561.99	-1.36%
Total Surplus (Deficit):	-2,069,777.22	-1,087,363.89	982,413.33	47.46%	-4,671,575.43	-4,939,659.32	-268,083.89	-5.74%

Budget Report

Group Summary

For Fiscal: 2021 Period Ending: 11/30/2021



Monroe, GA

ACTIVIT...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Revenue						
4002 - WATER	6,125,576.67	6,125,576.67	544,295.99	5,820,107.82	-305,468.85	4.99 %
4003 - SEWER	5,524,166.67	5,524,166.67	439,368.99	5,253,123.29	-271,043.38	4.91 %
4005 - GAS	4,072,607.67	4,072,607.67	269,765.71	4,013,975.86	-58,631.81	1.44 %
4006 - GUTA	130,000.00	130,000.00	18,405.00	163,658.32	33,658.32	25.89 %
4008 - ELECTRIC	20,165,166.67	20,165,166.67	1,562,444.11	19,155,322.78	-1,009,843.89	5.01 %
4009 - TELECOM & INTERNET	3,424,166.67	3,424,166.67	326,548.39	3,427,828.48	3,661.81	0.11 %
4010 - CABLE TV	3,934,166.67	3,934,166.67	277,334.82	3,296,525.86	-637,640.81	16.21 %
4012 - UTIL FINANCE	0.00	0.00	0.03	117,996.71	117,996.71	0.00 %
Revenue Total:	43,375,851.02	43,375,851.02	3,438,163.04	41,248,539.12	-2,127,311.90	4.90 %
Expense						
4002 - WATER	6,185,268.51	6,185,268.51	370,371.20	5,155,569.74	1,029,698.77	16.65 %
4003 - SEWER	5,354,229.98	5,354,229.98	324,089.09	4,075,679.55	1,278,550.43	23.88 %
4004 - STORMWATER	381,765.00	381,765.00	23,271.88	271,436.41	110,328.59	28.90 %
4005 - GAS	4,262,732.21	4,262,732.21	302,419.42	3,631,715.62	631,016.59	14.80 %
4006 - GUTA	250,914.00	250,914.00	20,972.10	222,630.04	28,283.96	11.27 %
4007 - GEN ADMIN WSG	234,745.00	234,745.00	27,369.72	223,309.97	11,435.03	4.87 %
4008 - ELECTRIC	17,165,181.50	17,165,181.50	1,106,792.61	16,036,038.28	1,129,143.22	6.58 %
4009 - TELECOM & INTERNET	3,092,615.50	3,092,615.50	176,524.09	2,470,613.11	622,002.39	20.11 %
4010 - CABLE TV	5,457,471.50	5,457,471.50	305,759.10	4,113,273.48	1,344,198.02	24.63 %
4011 - GEN ADMIN ELEC/TELECOM	208,412.00	208,412.00	22,341.76	199,624.03	8,787.97	4.22 %
4012 - UTIL FINANCE	-1,952,223.00	-1,952,223.00	100,059.79	-2,467,167.50	514,944.50	-26.38 %
4013 - UTIL CUST SVC	1,530,402.93	1,530,402.82	133,810.02	1,460,766.33	69,636.49	4.55 %
4014 - UTIL BILLING	477,506.00	477,506.00	48,449.09	426,231.17	51,274.83	10.74 %
4015 - CENTRAL SERVICES	726,830.00	726,830.00	96,221.51	952,152.54	-225,322.54	-31.00 %
Expense Total:	43,375,851.13	43,375,851.02	3,058,451.38	36,771,872.77	6,603,978.25	15.23 %
Report Surplus (Deficit):	-0.11	0.00	379,711.66	4,476,666.35	4,476,666.35	0.00 %

Budget Report Group Summary

For Fiscal: 2021 Period Ending: 11/30/2021

Utilities Fund Capital

Monroe, GA



ACTIVIT...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Revenue						
4002 - WATER	0.00	0.00	0.00	361,768.50	361,768.50	0.00 %
4003 - SEWER	0.00	0.00	0.00	0.00	0.00	0.00 %
4005 - GAS	0.00	0.00	0.00	0.00	0.00	0.00 %
4008 - ELECTRIC	0.00	0.00	0.00	167,899.10	167,899.10	0.00 %
4009 - TELECOM & INTERNET	0.00	0.00	0.00	0.00	0.00	0.00 %
4010 - CABLE TV	0.00	0.00	0.00	0.00	0.00	0.00 %
4015 - CENTRAL SERVICES	0.00	0.00	0.00	0.00	0.00	0.00 %
Revenue Total:	0.00	0.00	0.00	529,667.60	529,667.60	0.00 %
Expense						
4002 - WATER	0.00	0.00	30,478.24	2,002,372.50	-2,002,372.50	0.00 %
4003 - SEWER	0.00	0.00	740,031.29	3,511,293.86	-3,511,293.86	0.00 %
4004 - STORMWATER	0.00	0.00	4,892.50	277,685.71	-277,685.71	0.00 %
4005 - GAS	0.00	0.00	13,343.00	567,542.62	-567,542.62	0.00 %
4006 - GUTA	0.00	0.00	0.00	0.00	0.00	0.00 %
4008 - ELECTRIC	0.00	0.00	318,438.53	1,379,269.94	-1,379,269.94	0.00 %
4009 - TELECOM & INTERNET	0.00	0.00	361,316.99	1,977,331.77	-1,977,331.77	0.00 %
4010 - CABLE TV	0.00	0.00	0.00	13,803.46	-13,803.46	0.00 %
4012 - UTIL FINANCE	0.00	0.00	0.00	84,850.20	-84,850.20	0.00 %
4013 - UTIL CUST SVC	0.00	0.00	0.00	0.00	0.00	0.00 %
4014 - UTIL BILLING	0.00	0.00	-1,425.00	60,301.00	-60,301.00	0.00 %
4015 - CENTRAL SERVICES	0.00	0.00	0.00	71,542.21	-71,542.21	0.00 %
Expense Total:	0.00	0.00	1,467,075.55	9,945,993.27	-9,945,993.27	0.00 %
Report Surplus (Deficit):	0.00	0.00	-1,467,075.55	-9,416,325.67	-9,416,325.67	0.00 %



Solid Waste Fund

For Fiscal: 2021 Period Ending: 11/2021

	Original Total Budget	Current Total Budget	Period Activity	YTD Nov	Assumed Dec	Projected Year End 2021	Year End 2020
Revenue							
4520 - SOLID WASTE COLLECTION	2,163,000	2,163,000	202,072	2,478,545	349,763	2,828,308	2,725,136
4530 - SOLID WASTE DISPOSAL	3,316,318	3,316,318	316,383	3,573,330	18,292	3,591,622	3,783,831
4540 - RECYCLABLES COLLECTION	32,000	32,000	4,297	25,405	2,149	27,553	51,212
4585- YARD TRIMMINGS COLLECTION	-	-	-	1,775	-	1,775	-
Revenue Total:	5,511,318	5,511,318	522,752	6,079,055	370,204	6,449,259	6,560,179
Expense							
4500 - SOLID WASTE & RECYCLING	-	-	-	-	-	-	-
4510 - SOLID WASTE ADMINISTRATION	390,397	390,397	29,712	309,386	26,977	336,363	339,504
4520 - SOLID WASTE COLLECTION	1,099,070	1,099,070	107,135	1,112,351	104,261	1,216,612	1,285,294
4530 - SOLID WASTE DISPOSAL	2,953,379	2,953,379	310,816	3,217,791	342,752	3,560,543	3,715,227
4540 - RECYCLABLES COLLECTION	167,414	167,414	7,357	166,080	28,139	194,219	125,091
4585 - YARD TRIMMINGS COLLECTION	294,813	294,813	20,559	245,985	26,454	272,438	298,127
9003 - SW - OTHER FINANCING USES	606,245	606,245	31,365	346,915	29,985	376,900	365,216
Expense Total:	5,511,318	5,511,318	506,945	5,398,507	558,567	5,957,075	6,128,459
Report Surplus (Deficit):				680,547		492,184	431,720



Monroe, GA

Solid Waste Fund
without Capital

Monthly Budget Report
Group Summary
For Fiscal: 2021 Period Ending: 11/30/2021

DEP...	November Budget	November Activity	Variance Favorable (Unfavorable)	Percent Remaining	YTD Budget	YTD Activity	Variance Favorable (Unfavorable)	Percent Remaining	Total Budget
Revenue									
4520 - SOLID WASTE COLLECTION	180,177.90	202,071.65	21,893.75	12.15 %	1,981,956.90	2,478,544.33	496,587.43	25.06 %	2,163,000.00
4530 - SOLID WASTE DISPOSAL	276,249.28	316,382.65	40,133.37	14.53 %	3,038,742.08	3,573,330.81	534,588.73	17.59 %	3,316,318.00
4540 - RECYCLABLES COLLECTION	2,665.60	4,297.42	1,631.82	61.22 %	29,321.60	25,405.05	-3,916.55	-13.36 %	32,000.00
4585 - YARD TRIMMINGS COLLECTION	0.00	0.00	0.00	0.00 %	0.00	1,774.80	1,774.80	0.00 %	0.00
Total Revenue:	459,092.78	522,751.72	63,658.94	13.87 %	5,050,020.58	6,079,054.99	1,029,034.41	20.38 %	5,511,318.00
Expense									
4510 - SOLID WASTE ADMINISTRATION	32,520.03	29,712.46	2,807.57	8.63 %	357,720.33	309,407.29	48,313.04	13.51 %	390,397.00
4520 - SOLID WASTE COLLECTION	91,552.52	107,135.45	-15,582.93	-17.02 %	1,007,077.56	1,112,350.94	-105,273.38	-10.45 %	1,099,070.02
4530 - SOLID WASTE DISPOSAL	246,016.43	310,816.32	-64,799.89	-26.34 %	2,706,180.73	3,217,789.90	-511,609.17	-18.91 %	2,953,379.00
4540 - RECYCLABLES COLLECTION	13,945.53	7,356.66	6,588.87	47.25 %	153,400.83	166,079.07	-12,678.24	-8.26 %	167,414.00
4585 - YARD TRIMMINGS COLLECTION	24,557.89	20,559.20	3,998.69	16.28 %	270,136.79	245,983.81	24,152.98	8.94 %	294,813.00
9003 - SW - OTHER FINANCING USES	50,500.19	31,365.10	19,135.09	37.89 %	555,502.09	346,913.72	208,588.37	37.55 %	606,244.98
Total Expense:	459,092.59	506,945.19	-47,852.60	-10.42 %	5,050,018.33	5,398,524.73	-348,506.40	-6.90 %	5,511,318.00
Report Total:	0.19	15,806.53	15,806.34		2.25	680,530.26	680,528.01		0.00



Monroe, GA

Solid Waste Fund without Capital

Income Statement Group Summary

For Fiscal: 2021 Period Ending: 11/30/2021

DEPT	Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	Budget Remaining
Revenue					
4520 - SOLID WASTE COLLECTION	2,163,000.00	2,163,000.00	202,071.65	2,478,544.33	-315,544.33
4530 - SOLID WASTE DISPOSAL	3,316,318.00	3,316,318.00	316,382.65	3,573,330.81	-257,012.81
4540 - RECYCLABLES COLLECTION	32,000.00	32,000.00	4,297.42	25,405.05	6,594.95
4585 - YARD TRIMMINGS COLLECTION	0.00	0.00	0.00	1,774.80	-1,774.80
Revenue Total:	5,511,318.00	5,511,318.00	522,751.72	6,079,054.99	-567,736.99
Expense					
4510 - SOLID WASTE ADMINISTRATION	390,397.00	390,397.00	29,712.46	309,407.29	80,989.71
4520 - SOLID WASTE COLLECTION	1,099,070.18	1,099,070.02	107,135.45	1,118,591.39	-19,521.37
4530 - SOLID WASTE DISPOSAL	2,953,379.00	2,953,379.00	325,949.88	3,420,038.39	-466,659.39
4540 - RECYCLABLES COLLECTION	167,414.00	167,414.00	7,356.66	166,079.07	1,334.93
4585 - YARD TRIMMINGS COLLECTION	294,813.00	294,813.00	20,559.20	245,983.81	48,829.19
9003 - SW - OTHER FINANCING USES	606,244.98	606,244.98	31,365.10	346,913.72	259,331.26
Expense Total:	5,511,318.16	5,511,318.00	522,078.75	5,607,013.67	-95,695.67
Total Surplus (Deficit):	-0.16	0.00	672.97	472,041.32	



Monroe, GA

Solid Waste Fund
with Capital

Prior-Year Comparative Income Statement
Group Summary
For the Period Ending 11/30/2021

DEP...	2020 Nov. Activity	2021 Nov. Activity	Nov. Variance Favorable / (Unfavorable)	Variance %	2020 YTD Activity	2021 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Revenue								
4520 - SOLID WASTE COLLECTION	193,180.29	202,071.65	8,891.36	4.60%	2,038,717.82	2,478,544.33	439,826.51	21.57%
4530 - SOLID WASTE DISPOSAL	329,199.19	316,382.65	-12,816.54	-3.89%	3,437,267.68	3,573,330.81	136,063.13	3.96%
4540 - RECYCLABLES COLLECTION	4,841.22	4,297.42	-543.80	-11.23%	49,063.00	25,405.05	-23,657.95	-48.22%
4585 - YARD TRIMMINGS COLLECTION	0.00	0.00	0.00	0.00%	0.00	1,774.80	1,774.80	0.00%
Revenue Total:	527,220.70	522,751.72	-4,468.98	-0.85%	5,525,048.50	6,079,054.99	554,006.49	10.03%
Expense								
4510 - SOLID WASTE ADMINISTRATION	34,394.64	29,712.46	4,682.18	13.61%	312,494.69	309,407.29	3,087.40	0.99%
4520 - SOLID WASTE COLLECTION	99,216.62	107,135.45	-7,918.83	-7.98%	1,150,634.00	1,118,591.39	32,042.61	2.78%
4530 - SOLID WASTE DISPOSAL	340,990.86	325,949.88	15,040.98	4.41%	3,215,173.31	3,420,038.39	-204,865.08	-6.37%
4540 - RECYCLABLES COLLECTION	5,075.58	7,356.66	-2,281.08	-44.94%	91,053.26	166,079.07	-75,025.81	-82.40%
4585 - YARD TRIMMINGS COLLECTION	22,874.22	20,559.20	2,315.02	10.12%	256,090.26	245,983.81	10,106.45	3.95%
9003 - SW - OTHER FINANCING USES	31,633.24	31,365.10	268.14	0.85%	335,230.98	346,913.72	-11,682.74	-3.48%
Expense Total:	534,185.16	522,078.75	12,106.41	2.27%	5,360,676.50	5,607,013.67	-246,337.17	-4.60%
Total Surplus (Deficit):	-6,964.46	672.97	7,637.43	109.66%	164,372.00	472,041.32	307,669.32	187.18%



Monroe, GA

Solid Waste Fund
without Capital

Budget Report
Group Summary

For Fiscal: 2021 Period Ending: 11/30/2021

DEP...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Revenue						
4510 - SOLID WASTE ADMINISTRATION	0.00	0.00	0.00	0.00	0.00	0.00 %
4520 - SOLID WASTE COLLECTION	2,163,000.00	2,163,000.00	202,071.65	2,478,544.33	315,544.33	14.59 %
4530 - SOLID WASTE DISPOSAL	3,316,318.00	3,316,318.00	316,382.65	3,573,330.81	257,012.81	7.75 %
4540 - RECYCLABLES COLLECTION	32,000.00	32,000.00	4,297.42	25,405.05	-6,594.95	20.61 %
4585 - YARD TRIMMINGS COLLECTION	0.00	0.00	0.00	1,774.80	1,774.80	0.00 %
Revenue Total:	5,511,318.00	5,511,318.00	522,751.72	6,079,054.99	567,736.99	10.30 %
Expense						
4500 - SOLID WASTE & RECYCLING	0.00	0.00	0.00	0.00	0.00	0.00 %
4510 - SOLID WASTE ADMINISTRATION	390,397.00	390,397.00	29,712.46	309,407.29	80,989.71	20.75 %
4520 - SOLID WASTE COLLECTION	1,099,070.18	1,099,070.02	107,135.45	1,112,350.94	-13,280.92	-1.21 %
4530 - SOLID WASTE DISPOSAL	2,953,379.00	2,953,379.00	310,816.32	3,217,789.90	-264,410.90	-8.95 %
4540 - RECYCLABLES COLLECTION	167,414.00	167,414.00	7,356.66	166,079.07	1,334.93	0.80 %
4580 - PUBLIC EDUCATION	0.00	0.00	0.00	0.00	0.00	0.00 %
4585 - YARD TRIMMINGS COLLECTION	294,813.00	294,813.00	20,559.20	245,983.81	48,829.19	16.56 %
9003 - SW - OTHER FINANCING USES	606,244.98	606,244.98	31,365.10	346,913.72	259,331.26	42.78 %
Expense Total:	5,511,318.16	5,511,318.00	506,945.19	5,398,524.73	112,793.27	2.05 %
Report Surplus (Deficit):	-0.16	0.00	15,806.53	680,530.26	680,530.26	0.00 %



Monroe, GA

Solid Waste Fund Capital

Budget Report Group Summary

196

For Fiscal: 2021 Period Ending: 11/30/2021

DEP...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Expense						
4520 - SOLID WASTE COLLECTION	0.00	0.00	0.00	6,240.45	-6,240.45	0.00 %
4530 - SOLID WASTE DISPOSAL	0.00	0.00	15,133.56	202,248.49	-202,248.49	0.00 %
Expense Total:	0.00	0.00	15,133.56	208,488.94	-208,488.94	0.00 %
Report Total:	0.00	0.00	15,133.56	208,488.94	-208,488.94	0.00 %

Performance Indicators	Nov-21	Oct-21	Sep-21	Aug-21	Jul-21	Jun-21	May-21	Apr-21	Mar-21	Feb-21	Jan-21	Dec-20	Nov-20
Vacancies	13	9	15	13	9	11	11	5	6	10	13	16	18
Unfunded Positions	38	38	38	38	38	38	38	38	38	38	38	38	38
Airport													
Airport													
Airport Fuel Sales - Gallons	5,207	4,476	4,231	3,695	3,676	3,287	2,175	593	3,035	2,772	2,661	2,875	3,751
Fuel Sales - Revenue	22,859	19,650	18,575	16,223	16,136	14,102	9,330	2,543	11,391	9,675	9,285	10,032	13,091



FIRE
DEPARTMENT
CITY COUNCIL
MONTHLY MEETING

JANUARY 2022

City of Monroe Fire Dept

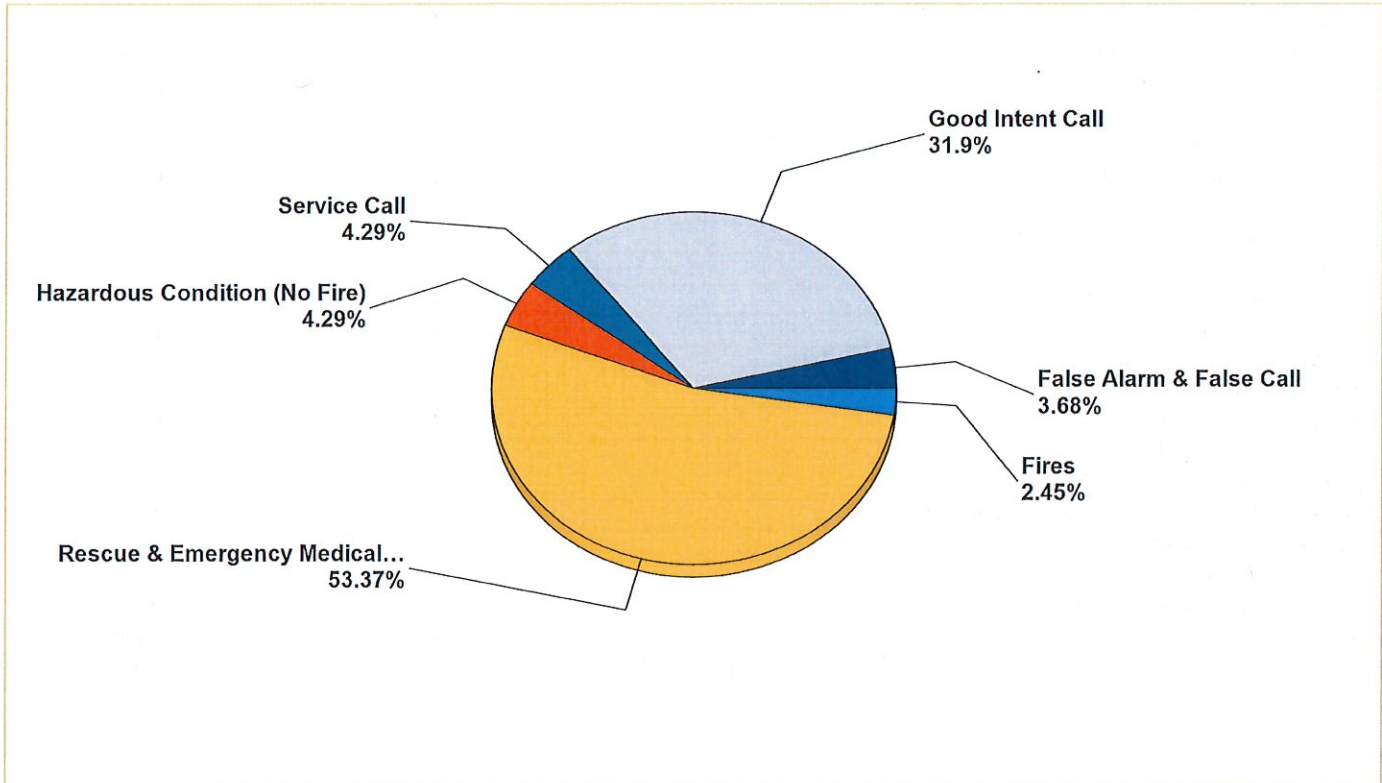
Monroe, GA

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Breakdown by Major Incident Types for Date Range

Zone(s): All Zones | Start Date: 11/01/2021 | End Date: 11/30/2021



MAJOR INCIDENT TYPE	# INCIDENTS	% of TOTAL
Fires	4	2.45%
Rescue & Emergency Medical Service	87	53.37%
Hazardous Condition (No Fire)	7	4.29%
Service Call	7	4.29%
Good Intent Call	52	31.9%
False Alarm & False Call	6	3.68%
TOTAL	163	100%

Only REVIEWED and/or LOCKED IMPORTED incidents are included. Summary results for a major incident type are not displayed if the count is zero.

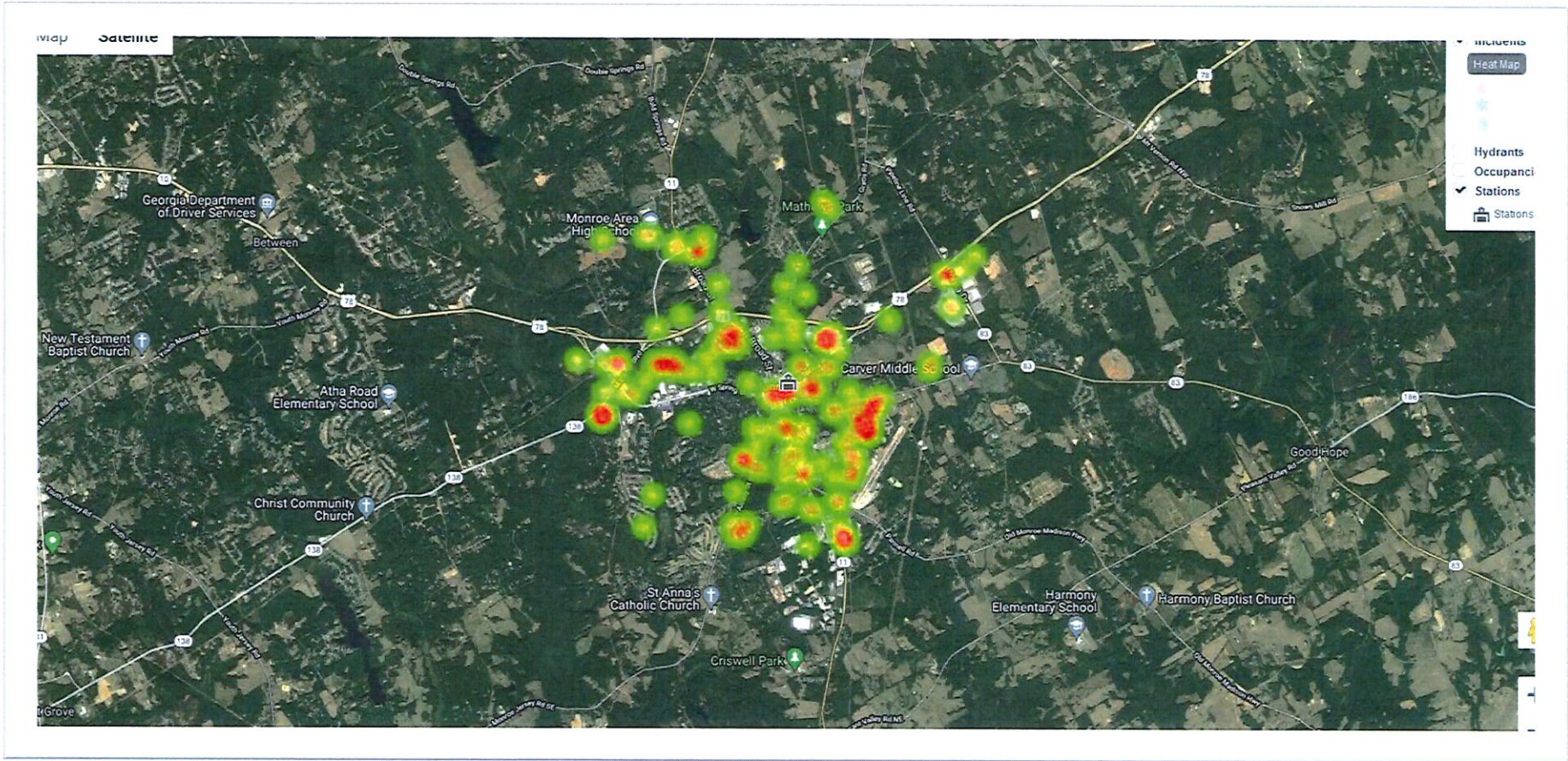
Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
111 - Building fire	3	1.84%
142 - Brush or brush-and-grass mixture fire	1	0.61%
311 - Medical assist, assist EMS crew	48	29.45%
321 - EMS call, excluding vehicle accident with injury	31	19.02%
322 - Motor vehicle accident with injuries	6	3.68%
324 - Motor vehicle accident with no injuries.	1	0.61%
352 - Extrication of victim(s) from vehicle	1	0.61%
400 - Hazardous condition, other	1	0.61%
411 - Gasoline or other flammable liquid spill	1	0.61%
412 - Gas leak (natural gas or LPG)	1	0.61%
424 - Carbon monoxide incident	1	0.61%
444 - Power line down	2	1.23%
445 - Arcing, shorted electrical equipment	1	0.61%
522 - Water or steam leak	1	0.61%
550 - Public service assistance, other	1	0.61%
551 - Assist police or other governmental agency	1	0.61%
553 - Public service	1	0.61%
554 - Assist invalid	2	1.23%
561 - Unauthorized burning	1	0.61%
611 - Dispatched & cancelled en route	44	26.99%
621 - Wrong location	2	1.23%
622 - No incident found on arrival at dispatch address	2	1.23%
631 - Authorized controlled burning	2	1.23%
651 - Smoke scare, odor of smoke	2	1.23%
735 - Alarm system sounded due to malfunction	5	3.07%
743 - Smoke detector activation, no fire - unintentional	1	0.61%
TOTAL INCIDENTS:	163	100%

Only REVIEWED and/or LOCKED IMPORTED incidents are included. Summary results for a major incident type are not displayed if the count is zero.

City of Monroe Fire Dept

Monroe, GA



November 2021 Incident Distribution Map



Incident Comparison 2018-2021

November	2021	2020	2019	2018
100 - Fire	4	5	4	7
200 - Overpressure Rupture, Explosion, Overheat	0	0	0	0
300 - Rescue & EMS	87	103	110	135
400 - Hazardous Condition	7	8	8	4
500 - Service Call	7	6	14	13
600 - Good Intent & Canceled Call	52	65	52	45
700 - False Alarm & False Call	6	12	7	8
800 - Severe Weather & Natural Disaster	0	0	0	0
900 - Special Incident Type	0	0	0	0
	163	199	195	212

COVID-19

2021	Confirmed or Suspected COVID-19	Incident Total	Percentage of Incidents
November	1	163	0.61%
January - November	104	2298	4.53%

City of Monroe Fire Dept

Monroe, GA

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Detailed Losses For Date Range

Start Date: 11/01/2021 | End Date: 11/30/2021

# INCIDENTS	TOTAL PRE-INCIDENT PROP. VAL.	TOTAL PRE-INCIDENT CONT. VAL.	TOTAL PRE-INCIDENT VAL.	AVG. VAL.	TOTAL PROP. LOSS	TOTAL CONT. LOSS	TOTAL LOSSES	AVERAGE LOSS
2	\$9,112,240.00	\$10,214,620.00	\$19,326,860.00	\$9,663,430.00	\$2,002,000.00	\$100,000.00	\$2,102,000.00	\$1,051,000.00

INCIDENT #	DATE	TYPE	LOCATION	PRE-INCIDENT PROPERTY	PRE-INCIDENT CONTENTS	PRE-INCIDENT TOTAL	PROP. LOSS	CONT. LOSS	TOTAL
2021-2137	11/01/2021	111 - Building fire	236 Atha ST Monroe	\$429,240.00	\$214,620.00	\$643,860.00	\$2,000.00	\$0.00	\$2,000.00
2021-2212	11/15/2021	111 - Building fire	620 Unisia DR Monroe	\$8,683,000.00	\$10,000,000.00	\$18,683,000.00	\$2,000,000.00	\$100,000.00	\$2,100,000.00

Only Reviewed Incidents included.



City of Monroe Fire Dept

Monroe, GA

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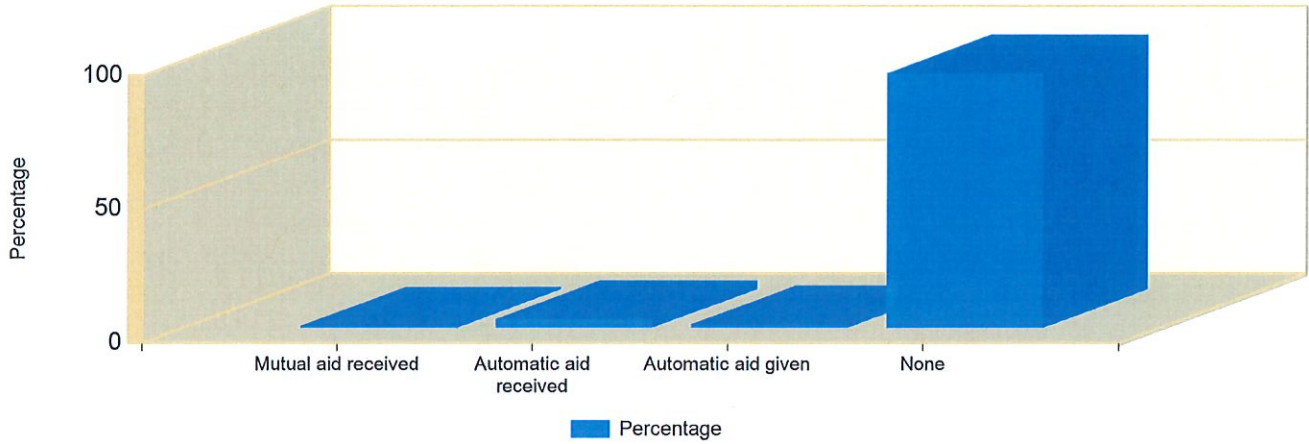


205

Count of Aid Given and Received for Incidents for Date Range

Start Date: 11/01/2021 | End Date: 11/30/2021

Percentage of Aid Type



AID TYPE	TOTAL	% of TOTAL
Mutual aid received	1	0.6%
Automatic aid received	5	3.1%
Automatic aid given	2	1.2%
None	155	95.1%

Only REVIEWED incidents included



PARKS PROJECTS & UPDATES – JANUARY 2022

PILOT PARK

Pilot Park will see the addition of a restroom later in early 2022, depending on delivery dates. The lower area drainage improvements and adjustments to alleviate standing water and drainage



issues is complete. New mulch was installed for a catalogue photoshoot by PlaySouth/Burke Playground Equipment companies for 2022. Also, the retaining wall for the small parking area has been replaced. The total cost of the improvements made to Pilot Park are approximately \$336,467. Monthly cleaning is also continuing to keep the equipment sanitized and clean for all patrons.

CHILDERS PARK

Bridge repairs were completed in the park ahead of the Parade of Lights for Christmas, which is now open. New mulch was put in place during the early weeks of November. The lights will start being taken down during January.

MATHEWS PARK

The second phase of renovations/additions for the rehabilitation work of paving/parking, shade structures, pavilions, additional signage, disc golf renovations, fencing, and other amenities is in process. Additional equipment, seating, shade structures, trash receptacles, restroom, and signage are all on order and/or in production. The replacement of a pavilion and addition of another pavilion was approved by Council in September. Construction is currently situated for late winter or early spring with a delay in materials. Paving will take place in the spring of 2022



based on pavilion builds and restroom installation so as not to damage any new asphalt. A study of the pond wildlife and dam was completed on

October 20th with results attached as an overall assessment. The total cost of the Phase I improvements made to Mathews Park are approximately \$165,510. Phase II is approved at an additional cost of \$300,000 for improvements and additions.



City of Monroe Electrofishing Report

Survey Date: 10/20/2021

Report Date: 11/19/2021

Lake Morphology/Characteristics: Page 2-3

Water Quality: Page 4-5

Fishery Results: Pages 5-10

Recommendations: Page 11

Fact Sheets: Pages 12- 43

Aquatic Environmental
SERVICES, INC.



WWW.LAKEWORK.COM

Education in the School of Fish

2050 Howell Bridge Rd.
Ball Ground, GA 30107
770-735-3523
info@lakework.com

Lake Morphology/Characteristics

Item	Result	Item	Result
Lake Surface Acreage	4.12	Drainage System Type	Traditional corrugated metal riser pipe system was filled with concrete. A through pipe was being used as primary discharge.
Perimeter Length (ft.)	2,095		
Watershed Acreage	52	Dam Condition	Dam had tree growth along the downstream slope. There was signs of erosion and seepage near the old outlet pipe.
Watershed Ratio	12.6:1		
Average Depth (ft.)	With Map	Fish Habitat Status	Lake has limited habitat to protect smaller bluegill and other forage fish. Lake also has limited structure in open deeper water to provide ambush/orientation points for largemouth bass.
Maximum Depth (ft.)	With Map		



Aquatic Vegetation Species Observed	Growth Status
N/A	N/A

Evaluation

The lake has a smaller watershed and watershed is primarily forested. With a watershed ratio of 12.6:1, the lake level is susceptible to fluctuations during times of limited rainfall and can fall below full pool.

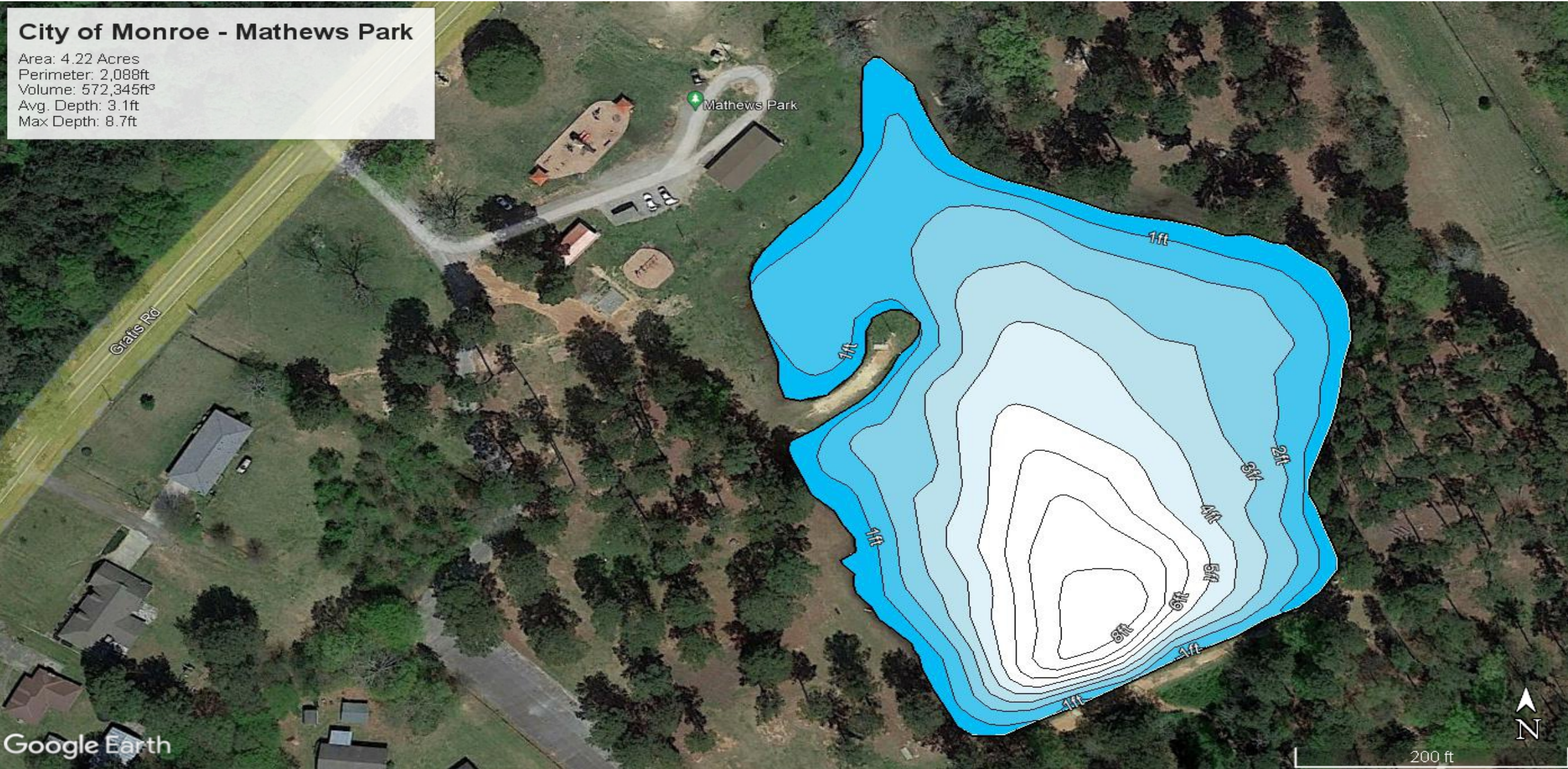
The dam has a few signs of seepage and erosion near the toe of the dam by the old outlet pipe. There are also trees growing along the toe and downstream slope of the dam. AES recommends cutting/mowing the dam 1-2 times annually (or more) to keep vegetation growth under control and allow proper inspections of the dam. Going forward, do not allow any tree growth on any part of the dam to protect dam integrity. Any trees less than 6" DBH should be cut. Currently, the drainage system is a through pipe, but was clogged by vegetation and debris when observed. Keep this area cleaned to allow free flow of water. The pipe also should be replaced as this pipe was breaking off and its integrity was damaged. AES recommends routine inspections of the outlet system to ensure it continues to work correctly.

To improve the habitat in the lake, AES recommends falling brush along the shoreline as we discussed during the survey. To add additional habitat AES recommends installing MossBack Habitats which are listed in this report.

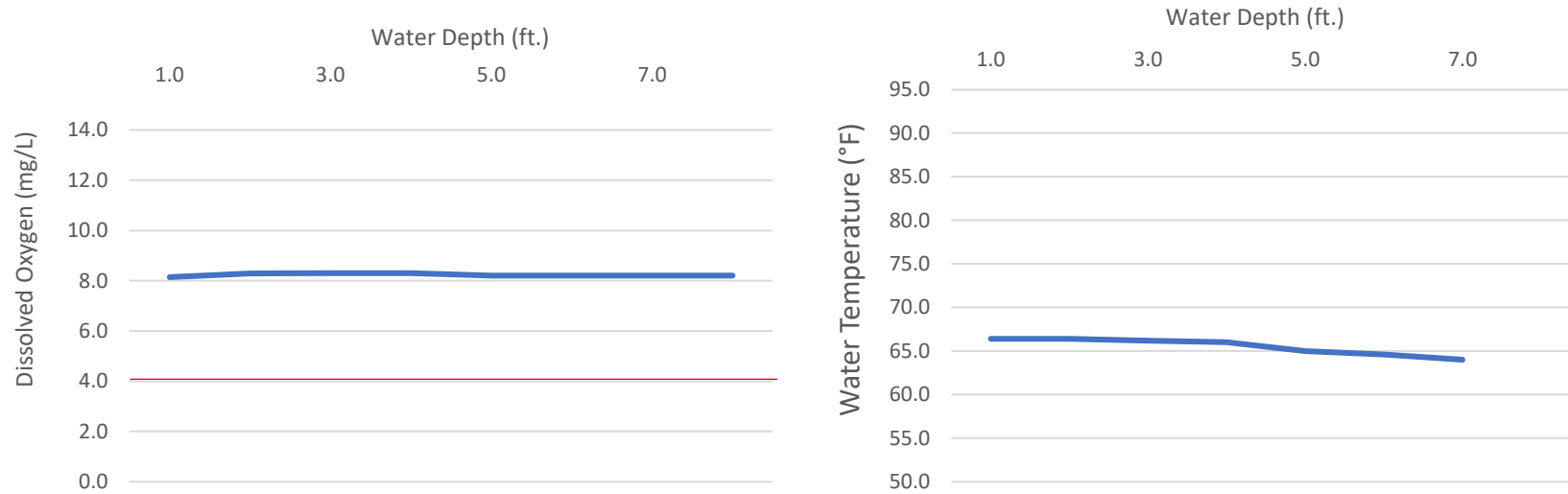
Lake Map TBA

City of Monroe - Mathews Park

Area: 4.22 Acres
Perimeter: 2,088ft
Volume: 572,345ft³
Avg. Depth: 3.1ft
Max Depth: 8.7ft



Dissolved Oxygen & Temperature Profile



Evaluation

The lake has adequate oxygen down to the bottom. It is likely that in the summer there is not sufficient oxygen for fish to live in all the way to the bottom. When the lake was surveyed there was no thermocline present, and the lake was not stratified. To mix the water column and distribute oxygen throughout the entire water column, AES recommends installing a bottom diffused aeration system.

The lake is considered a Eutrophic lake meaning that it naturally has a high-level of nutrients (nitrogen/phosphorus). This means the lake can produce a large quantity of plankton and support a large fish population but can have oxygen issues over time.

If you would like to follow a yearly stocking plan, liming and fertilization will not be needed.

Parameter	Result	Desired Range	Evaluation
Surface Water Temperature (°F)	66	-	-
Surface Dissolved Oxygen (mg/L @ % Saturation)	8.19	> 4.0	Adequate to support aquatic life.
pH	7.50	6.0 – 9.0	Within the desired range.
Alkalinity (mg/L CaCO ₃)	3	> 20	Limited buffering capacity which will limit a fertilization program
Visibility (inches)	26	18 – 36	Indicates a good plankton bloom present
Total Nitrogen (mg/L)	0.45	< 1.0	
Total Phosphorus (mg/L)	0.037	0.012 – 0.096	
Nitrogen : Phosphorus Ratio (N:P Ratio)	12:1	≥ 20:1	

Plankton Analysis

211

Species	Classification	Count (cells/ml)	Percentage of Plankton Community
<i>Coelastrum sp.</i>	Chlorophyta-Green Algae	166,251	96
<i>Chroococcus sp.</i>	Cyanophyta- Bluegreen Algae	3,020	2
<i>Cryptomonas sp.</i>	Cryptophyta-Flagellates	604	0.33
<i>Schroderia sp.</i>	Chlorophyta	604	0.33
<i>Scenedesmus sp.</i>	Chlorophyta	604	0.33
<i>There were 7 other species identified all under 500 cells/mL counted. They were made up of green algae, golden algae, and diatoms.</i>	Chlorophyta,Chrysophyta,Bacillariophyta	1,812	1
TOTAL 172,895 cell/ml			

Evaluation

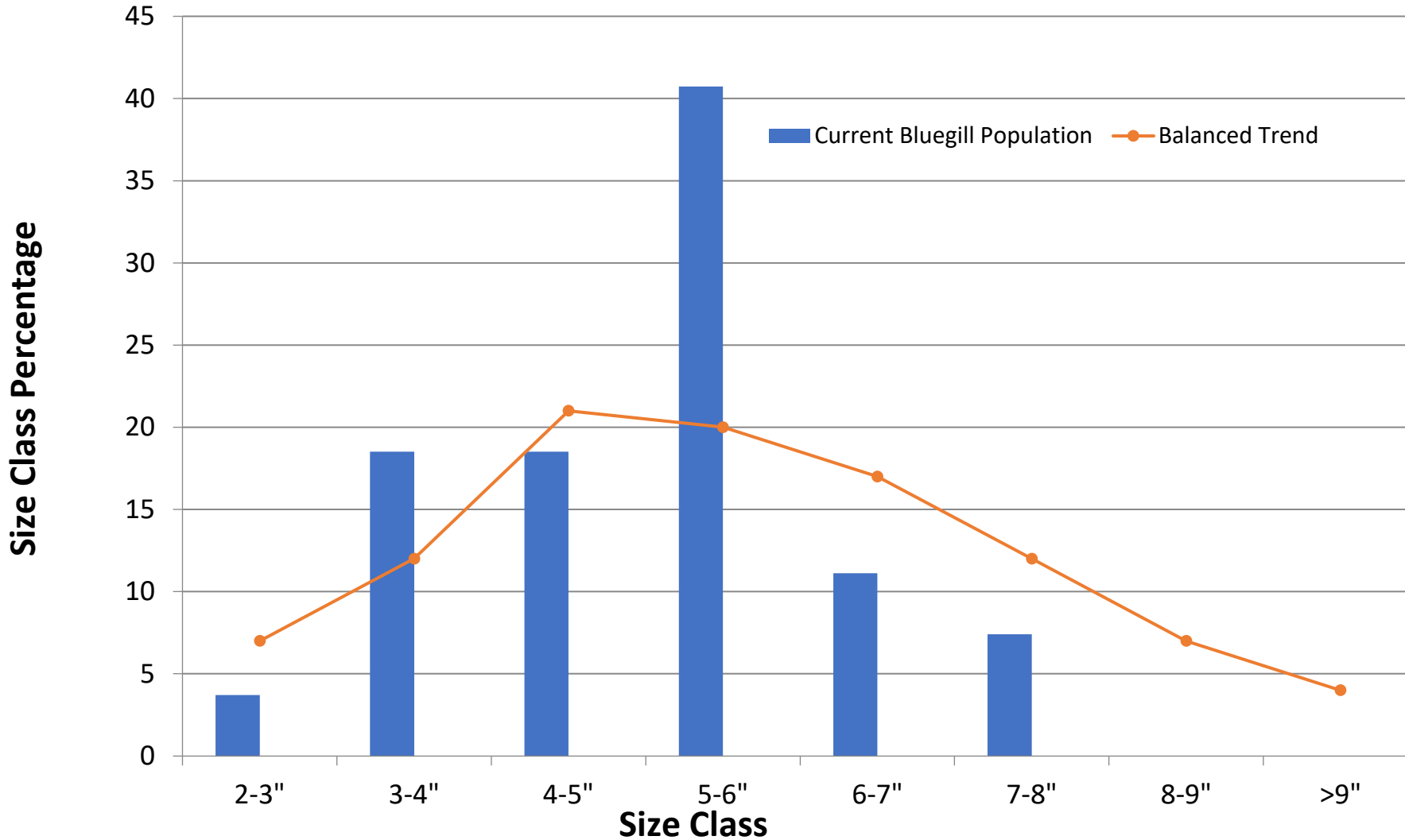
Overall, there was a moderate to high level of plankton in the water. The previous slide shows that the lake is a eutrophic lake and can produce high levels of plankton. 98% of the plankton present is not cyanobacteria and is a good algae to have. The 2% of cyanobacteria that is present is in a very low volume and is not a toxin producing cyanobacteria. Plankton is the base of the food chain and increased levels of plankton overtime will help aid reproduction survival in the pond and help the fishery support more pounds of fish.

Fish Sampled

Species	Size Class (in.)	Quantity	CPUE (number/hour)	% of Total Sampled	
Bluegill	Reproduction (<2")	Limited	-	-	
	2-3	1	2	4	
	3-4	5	10	19	
	4-5	5	10	19	
	5-6	11	22	41	
	6-7	3	6	11	
	7-8	2	4	7	
	8-9	0	0	0	
	>9	0	0	0	
	Total	-	27	54	100

Species	Size Class (in.)	Quantity	CPUE (number/hour)	% of Total Sampled	Avg. Relative Weight/Size Class
Largemouth Bass	Reproduction (<2")	-	-	-	-
	2-4	0	0	0	-
	4-6	4	8	13	-
	6-8	5	10	16	-
	8-10	14	28	44	64.3
	10-12	9	18	28	77.4
	12-14	0	0	0	-
	14-16	0	0	0	-
	16-18	0	0	0	-
	18-20	0	0	0	-
	>20	0	0	0	-
Total	-	32	64	100	76.5
Additional Species					
Black Crappie	10-12	1	2	100	
Channel Catfish	12-12	1	2	100	
Warmouth	6-7	1	2	100	
Redbreast Sunfish	7-8	1	2	100	

Size Class Distribution of Bluegill

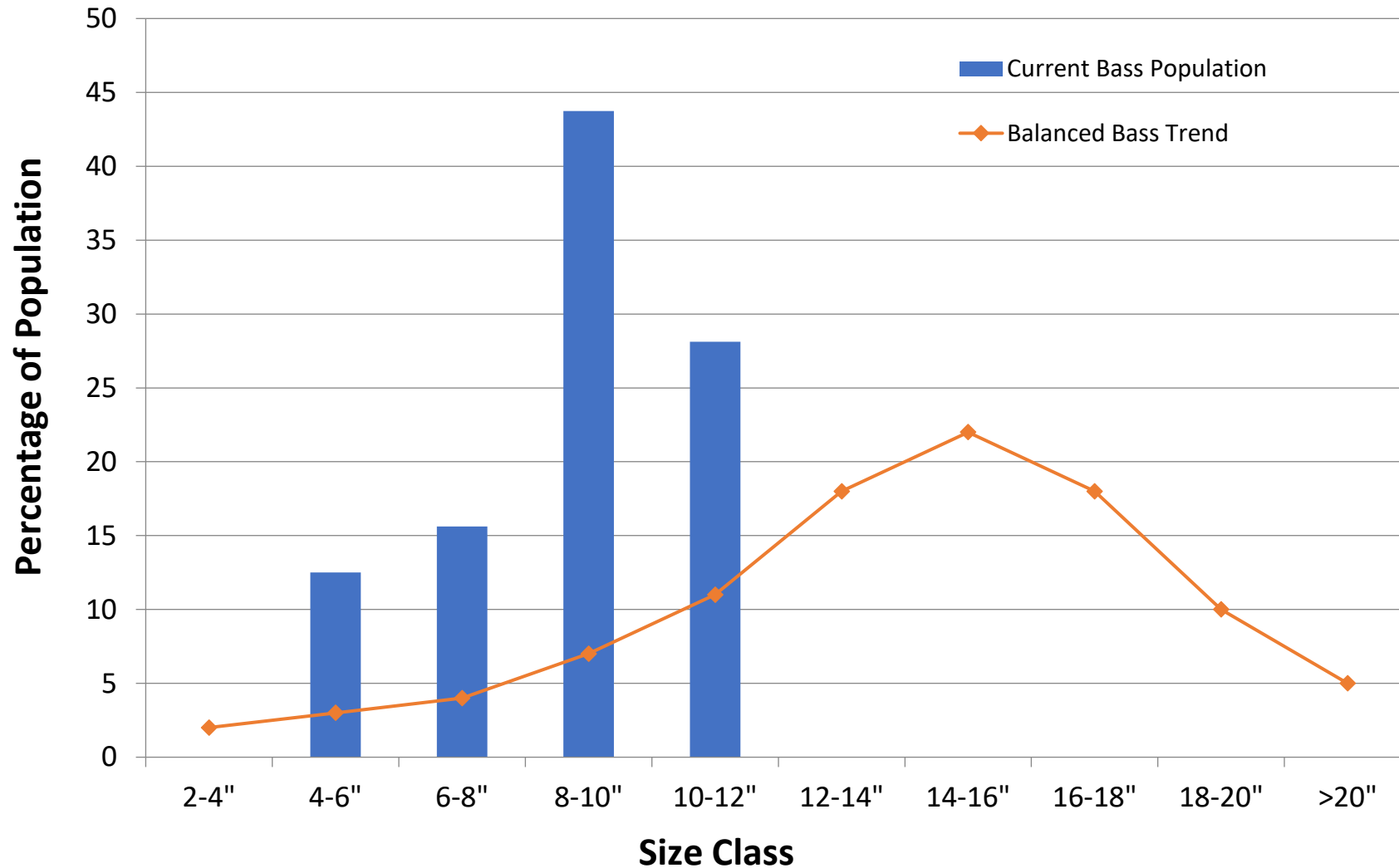


Evaluation

Overall, the bluegill population is limited, and this is due to heavy predation pressure and limited protective habitat throughout the lake. These factors are preventing the bluegill population from building a large enough population in order for the bass to have adequate growth.

Looking at the size structure of the bluegill the problem is there is limited bluegill in the 2-5" class. The 5-6" class is strong, but there are very few bass in the lake this size to consume these bluegill. Most of the bass in the lake are targeting a 2-4" bluegill. To improve and grow these size classes, yearly forage stocking and improved habitats will help build a stronger forage base.

Size Class Distribution of Largemouth Bass

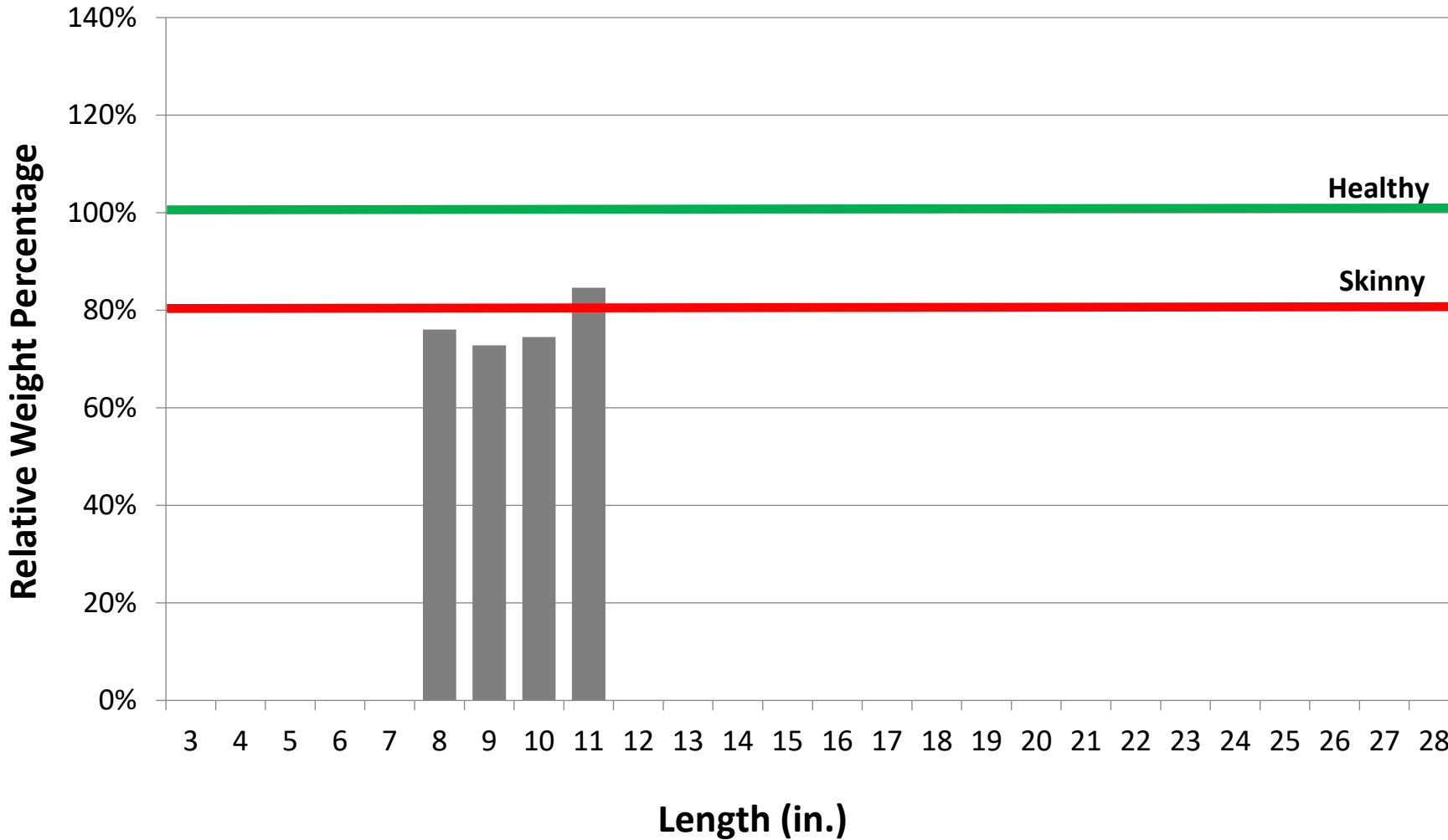


Evaluation

The bass population is too abundant for 6-12" bass and this explains the limited number of 2-4" bluegill because the majority of the bass in the lake are targeting 2-4" bluegill for forage.

Currently, the bass are displaying poor growth and as a result, the bass are stacking up in the 6-12" size classes. The 10-12" size class is the primary roadblock in the size structure of the bass population. As the bass slowly grow and reach the 10-12" size class, their growth stops and very few bass are able to grow out of the 10-12" size class. Again, this is due to a lack of appropriate forage which is severely limiting the growth of the bass.

Largemouth Bass Average Relative Weight By Length Class



Evaluation

Looking at the relative weights of the bass, as the bass slowly grow, they require larger forage items for continued growth. Without the appropriate forage, the bass become more underweight as they reach 10-12" and eventually their growth stops, and the bass stack up or become stuck in the 10-12" size class.

Increasing habitat for bluegill survival and stocking of bluegill and supplemental species will increase the forage base and allow the bass to increase their relative weights. Without the appropriate forage base, the bass will struggle to grow and become healthy.

Bass that are underweight should be harvested to allow for a more balanced population. If you want to keep the catch rates up, stock more adult size bass as needed to keep the anglers happy.

Fishery Results

Item	Result	Desired Range	Evaluation
Bluegill CPUE (fish/hour)	54	> 100	Indicates a limited bluegill population.
Largemouth Bass CPUE (fish/hour)	64	< 40	Indicates a over abundant bass population.
Bluegill : Largemouth Bass CPUR Ratio	0.84:1	≥ 5:1	Indicates that the bass have a severely limited forage base which is limiting their growth.
Average Length of Largemouth Bass (in.)	9.5	-	-
Average Weight of Largemouth Bass (lbs.)	0.34	-	-
Average Relative Weight of Largemouth Bass (%)	76.5	≥ 90	Indicates that the bass are severely underweight.
Forage Species Sampled			Bluegill, Redbreast Sunfish, Warmouth
Predator Species Sampled			Largemouth Bass, Channel; Catfish, Black Crappie
Status (Balance) of Fishery			Out of balance

Desired Ranges listed above will vary depending on the goals of the fishery.

Summary

The fishery is currently out of balance, with it being bass crowded. There are too many bass for the given bluegill population to grow and become healthy. To increase the fish population the lake can be limed and fertilized to increase the fertility of the lake. This will “green” up the pond and create a larger population of phytoplankton. After talking to everyone on site, we discussed another option of doing yearly stocking instead to keep the fish population in lake strong. This will be the plan recommended on the next page. This will allow the lake to maintain a more aesthetically pleasing look for the lake with lower maintenance with controlling the water quality. Channel Catfish and Rainbow Trout can be stocked yearly to allow for an easier fish to catch that people can take home to enjoy. All these fish can be restocked as needed when catch rates become lower. To improve the growth of the bass in the pond yearly forage stocking would need to take place. Stocking of bluegill and golden shiners will provide forage for the bass to increase their growth and overall health. The forage should be a yearly stocking to keep a strong forage base in the pond. Bass can be stocked at adult sizes to increase the catch rates over time as angler harvest their catch. To improve the overall health and size of the bluegill AES recommends installing fish feeders and following a supplemental feeding program. This would benefit the bluegill, catfish, and rainbow trout that would be stocked. The feeders would need to have locks placed on the top and the doors to not allow people to mess with the fish feeders. This plan is meant to keep catch rates in the lake high to improve the overall fishing in the lake and to allow the bass to be in a healthier environment were there is more forage available and will grow into larger sizes. I have included some harvest recommendations for the lake, anglers may be able to follow state laws and harvest more fish that what is recommended. Our recommendation is to simply try and allow for higher catch rates and increase the growth of the bass at same time.

Recommendations

Recommendation	Cost	Timeframe
Harvesting Recommendations	Anglers can harvest 5 Channel Catfish per day, Bluegill harvested should be limited to 10 per person per day, Rainbow Trout Harvest can be 8 trout per day (State max), Angler can keep all crappie caught up to 30 fish per day, Bass 14" and under 10 fish per day (state max). If catch rates become low due to harvest, restocking can take place.	
Installation of MossBack Habitats to improve the fish habitat throughout the lake. Install 20 Root Wad Kits.	\$6,462.00 Installed	Winter 2021/2022
Installation of Vertex Bottom Diffused Aeration System	With Map TBA	
Installation of 4 Texas Hunter LM175 Fish Feeders (Includes Solar Panel, Battery, Control Panel, Adjustable Leg Kit)	\$4,904.76 Installed	Winter 2021/2022
Stocking of 4,000 (3-4") Bluegill	\$2,400 Delivered	(Stock Annually)
Stocking of 200 lbs. of (4") Golden Shiners	\$2,400 Delivered	(Stock Annually)
Stocking of 600 (9-11") Rainbow Trout or Stocking of 400 (11-13") Rainbow Trout	\$1,880.00 Delivered OR \$1,700.00 Delivered	Fall 2021 (Stock Annually)
Stocking of 400 (8-10") Channel Catfish	\$600.00 Delivered	(Stock Annually)
Stocking of Adult Size Native Bass 12" or >	\$10.00/lb.	As needed

Recommendations are listed in priority from highest to lowest.

The recommendations listed above and more importantly the timeline are designed to improve the fishery as quickly as possible. The recommendations can be implemented over a longer period of time if needed for budgetary concerns. For example, the artificial habitats can be installed over a period of three years.

Electrofishing

Electrofishing is the most scientifically advanced method of analyzing fish populations in freshwater ponds and lakes in the Southeastern United States. Electrofishing provides a fisheries biologist with a representative sample of all fish in the lake.

An electrofishing boat is used that transmits an electrical current from a generator through a control box to a set of electrodes, which are hanging at the front of the boat and into the lake. An electrical field is formed around the area of the electrodes. The field reaches up to ten feet in front of the boat and to a depth of approximately 6-8 feet. This allows AES to sample all habitat types found within the lake. Fish within this field are stunned and float to the water surface. No harm is done to the fish and the fish will recover completely within five minutes. Electrofishing is less stressful on the fish compared to catching fish with hook and line.

Relative Weight (Wr) is a coefficient used to compare the standard weight of a bass at a given length to the actual weight of the collected bass at the same length. It is the ratio of the actual fish weight to the standard fish weight. A Wr of over 90% is desired in a balanced fishery and above 100% for a quality bass fishery.

Catch Per Unit Effort (CPUE) is the total number of fish captured with a defined unit of sampling effort. CPUE can be used as an index of population density and provides valuable information when tracked from year to year. Changes in CPUE will indicate corresponding changes (increases or decreases) in species abundance.



AES often refers to a fishery as a balanced fishery or out of balance fishery. The balance of a fishery is determined by several factors such as size structure of the fishery, relative weights, and predator to prey ratio. Balance will differ from lake to lake depending on goals and what species are defined as prey and predators. In most cases, the prey species will consist of bluegill, redear sunfish, threadfin shad, etc. The predator base often consists of largemouth bass, catfish, crappie, etc.

Balanced Fishery: A fishery is in balance when there is an adequate predator population and adequate prey (forage base) permitting good growth and reproduction of all fish species. A balanced fishery will have a large distribution of predator and prey species ranging over several age and size classes. In a balanced fishery, the average relative weights of the largemouth bass will be 90% or greater.

Out of Balanced Fishery: Out of balance often occurs when the predators become over abundant which allows them to limit their forage base. In an out of balance fishery, the predators will "stunt" or stop growing because they do not have the forage they need to continue growing. Stunting is often indicated when one size class of predators becomes over abundant, and one size class of prey becomes limited. In a typical out of balance fishery with largemouth bass as the top end predator and bluegill as the primary prey species; the fishery will consist primarily of underweight 10-14" bass with few larger bass. The bluegill population will consist primarily of larger bluegill with few preferred smaller 3-5" bluegill. In an out of balance fishery, the average relative weights of the largemouth bass will be less than 90%.

Quality Bass Fishery: Is a fishery that has an abundant and diverse forage base consisting of species such as bluegill, redear sunfish, threadfin shad, crawfish, etc. Along with a strong forage base, the bass population will usually be maintained under it carrying capacity through an aggressive harvesting program. By maintaining a smaller bass population, the bass will have higher growth rates producing numbers of 5-6 lb. bass and will provide the environment to allow them to grow to ten plus pounds. In a quality bass fishery, the average relative weights of the bass will be well over 100%.

Low Productivity Lake: A low productivity lake, or oligotrophic lake, can also be referred to a lake that has limited fertility. In such lakes, the lakes are "clear" lakes with little to no phytoplankton or zooplankton production. As a result, the lake cannot produce and sustain large fish populations and may only average 40-60 pounds of fish per acre of water. A low productivity lake will produce a fishery where all species of fish display slow growth rates and often, leads to an out of balance fishery.

Fish Harvesting

For harvesting of bluegill and redear sunfish (i.e. bream), there is no need to harvest a certain amount if managing for largemouth bass. It is not detrimental to take out bluegill on occasion, but the bluegill are the backbone forage species for largemouth bass. The more bluegill you harvest, the more food you are taking away from the largemouth bass. In a balanced fishery, AES recommends harvesting no more than 10 bream per day, keeping in mind not to over harvest. AES does not want fishermen harvesting bluegill every day. In severely out of balance fisheries, it is often best to suspend bream harvesting until the fishery is back in balance.

As a guideline, for fisheries that are out of balance with an overabundant bass population, harvesting up to 25-45 pounds of bass acre per year may be needed to get the fishery back in balance. Typically, in an out of balance fishery, the most abundant size classes of bass must be harvested to thin out that size class of bass. For fisheries that are in balance, 10-15 pounds of bass must be harvested to maintain a balanced fishery. One of the most effective methods for harvesting bass is to harvest the selected fish based off their relative weight. This method helps you remove the underweight bass while keeping the more superior bass in the lake. If the relative weight of a bass you catch is below 90%, harvest the fish no matter the size of the bass. If the relative weight is over 90%, release the bass no matter what the size of the bass is. Status of a fishery as well as the goals of the fishery will determine the exact numbers of pounds of fish to harvest.

Black crappie will easily overpopulate a lake and it is crucial to harvest crappie aggressively. For harvesting black crappie, a good rule of thumb is to harvest all crappie measuring less than 10". With severely overpopulated crappie populations, all crappie have to be harvested to thin out the population. Goals and status of the crappie population will determine how aggressive to harvest the crappie. But often, it is best to harvest all crappie when caught.

Channel catfish will have limited to no reproduction with largemouth bass present. For those who have catfish, it is best to manage them as a put and take fishery. Stock a known amount, enjoy them, and harvest them over a few years and once the population becomes limited, re-stock 8-11" catfish to start the process over again. As a rule of thumb, harvest all catfish measuring two pounds or larger. Once catfish reach two pounds, their gape size is large enough to compete with largemouth bass for forage.

For species such as bullhead catfish, gar, bowfin, chain pickerel, green sunfish, and warmouth; harvest all that are caught. These species are considered trash fish by most and do not provide any benefit to the fishery and will limit the success of bluegill and largemouth bass populations (i.e. preferred species).

Plankton Analysis

There are hundreds and hundreds of species of plankton found in freshwater systems. When lakes are fertilized to improve the fertility and productivity of the lake, the goal is to grow green phytoplankton. Green phytoplankton, which there are hundreds of species, are the base of the food chain water body. In lakes that have a strong plankton bloom, the water will have a dark green color to it. Clear water indicates very little plankton growth. Green phytoplankton produces food for zooplankton, which are a microscopic organism, and all species of fish consume zooplankton shortly after hatching. With a strong phytoplankton and zooplankton population, recruitment of newly hatched fish will increase which increases the poundage of fish a lake can produce and support.

Unfortunately, there are some plankton species that are not beneficial to the fishery and can be harmful to humans and pets. Just because a lake has a green color to the water, does not mean it is helping the fishery. Cyanobacteria is a plankton species that is not beneficial to the fishery. Though it is microscopic, the majority of cyanobacteria are too large for zooplankton to consume. As a result, the cyanobacteria are not being grazed upon and not entering the food chain in the lake. So, it is not benefiting the fishery in terms of providing food for newly hatched fish. Since cyanobacteria are not being grazed upon by zooplankton, there population can easily become too dense which often results in pea soup green water. This can easily result in a fish kill due to low oxygen levels.

Another issue with cyanobacteria is that there are some species that produce toxins that are harmful to humans and pets. Known toxins produced by different species of cyanobacteria include Hepatotoxins, Neurotoxins, Dermatotoxins and Endotoxins. These toxins can result in mild to severe health issues, including death in severe cases depending on concentrations and sensitivity to those coming into contact with the water.

Aggressive research is taking place throughout the world on cyanobacteria as it is becoming more and more common. Cyanobacteria can be treated with an array of algaecides and implementing bottom diffused aeration. In lakes that receive a lot of phosphorus runoff, preventing this runoff at the point source is often the best approach if applicable. In most cases, it is best to avoid contact with the water and let the cyanobacteria run its course.

Unfortunately, all cases are different and there is not one specific solution that works for all cases.



Cyanobacteria Concentrations	Hazard Status	Recommended Action
<20,000 cell/ml	Low	Continue Monitoring, Advise Lake Users
20,000 – 100,000 cells/ml	Moderate	Restrict Swimming (Humans/Pets)
>100,000 cells/ml	High	Prohibit Swimming (Humans/Pets) and All Other Water Contact Activities

AES uses an Oxygen Meter (YSI model 55) for determining the dissolved oxygen (D.O.) and temperature. Alkalinity is determined using a portable Hatch® digital titrator. A secchi disk is used to determine visibility and a portable pH/conductivity meter to determine pH and conductivity.

Dissolved Oxygen (D.O.) is a measure of the amount of oxygen available to aquatic organisms and is reported as mg/l or percent saturation. Percent saturation is a representation of how much oxygen is dissolved in the water relative to the amount of oxygen that can be held at a specific temperature. Colder water can hold more oxygen than warm water. Dissolved oxygen fluctuates daily with it being at its lowest levels in the early morning hours. D.O. does not pose a problem for most fish until levels fall below 4 mg/l.

pH measures the concentration of the hydrogen ions present in the water and is usually thought of as the measurement of acidic or alkaline conditions. A pH of 7 is neutral with lower values being acidic and higher values being alkaline. Most organisms in a lake prosper when the pH is maintained between 6.5 and 9. The pH cycles daily due to a complex interaction of alkalinity, hardness, carbon dioxide, and photosynthesis and respiration. The lake is more acidic in the mornings and will also vary according to depth. When pH levels are out of the desired range for long periods, detrimental effects may occur.

Visibility is measured with the use of a secchi disc. The white/black disc 20 cm in diameter is lowered vertically through the water until it can no longer be seen. Suspended particles reduce the visibility level. Therefore, in the absence of turbidity from silt or mud, the secchi disc serves as an international standard to indicate phytoplankton. We recommend keeping a phytoplankton bloom with a visibility between 18-24 inches via fertilization depending on the goals and time of year.

Alkalinity is the buffering capacity of the water and helps buffer sudden pH changes in the water. The main reason we are concerned about the alkalinity is because higher alkalinity levels allow us to fertilize the lake, it makes the fertilizer more effective by making the phosphorus in the fertilizer readily available for phytoplankton growth. If you were to try and fertilize a lake with low alkalinity, the phosphorus would just bind up with metals in the soil at the bottom of the lake.

Conductivity is not a major concern when managing a fishery. However, it is particularly important when electrofishing a body of water. Conductivity is a measure of the ability of water to pass an electrical current. The higher the conductivity, the larger the electric field generated by the electrofishing boat. The lower the conductivity, the smaller the electric field generated by the electrofishing boat.

Nitrogen and Phosphorus Ratio (N:P Ratio): Nitrogen and phosphorus are in general the two main nutrients in a lake that affect plankton growth. In most lakes, phosphorus is the limiting nutrient and is why most lake fertilizers are high in phosphorus in order to stimulate phytoplankton growth. Current research is showing that adding additional phosphorus to a lake may or may not be the best approach to growing green phytoplankton. In lakes where cyanobacteria are present, they can out compete green phytoplankton for sunlight and nutrients. One way to combat cyanobacteria growth is to manipulate the nitrogen and phosphorus levels. Increasing the N:P ratio to a 20:1 or higher ratio, provides a more ideal environment for green plankton growth allowing them to dominate over cyanobacteria. This is more beneficial to the food chain and fish in the lake.

Nitrogen levels are typically less than 1.0 mg/L. Levels higher than 1.0 mg/L can be potentially harmful.

Phosphorus levels less than 0.012 mg/L indicate an *Oligotrophic* lake. Oligotrophic lakes have limited nutrient levels (nitrogen and phosphorus) and are often clear lakes with little to no plankton growth. As a result, Oligotrophic lakes have small fish populations to the inability of the lake to produce and support many pounds of fish.

Phosphorus levels between 0.012 – 0.024 mg/L indicate a *Mesotrophic* lake. Mesotrophic lakes are considered to have a medium or moderate amount of nutrients that are often clear lakes with some plankton and plant growth. Fish populations are often limited in a Mesotrophic lake.

Phosphorus levels between 0.025 – 0.096 mg/L indicate a *Eutrophic* lake. Eutrophic lakes are rich in nutrients and considered fertile lakes. Eutrophic lakes produce and support high densities of fish, plankton, and a diversity of aquatic plants. Eutrophic lakes can be prone to oxygen issues.

Phosphorus levels greater than 0.096 mg/L indicate a *Hyper-Eutrophic* lake. Hyper-Eutrophic lakes are overly rich in nutrients and often have severe algae blooms. Hyper-Eutrophic lakes can support very large fisheries, but fisheries can often be severely limited due to frequent fish kills which can be a common occurrence with Hyper-Eutrophic lakes.

Dissolved Oxygen Profile

The Dissolved Oxygen Profile shows how stratification affects D.O. levels as depth changes. Stratification occurs in all lakes during the summer months. As the air temperature increases during the spring, the temperature of the upper water column increases as well. The lower water column (i.e. deeper water), does not warm up because it receives little sunlight and it is not in contact with the atmosphere. Since this deeper water is colder and denser, it sinks to the bottom of the lake. The warmer, upper water column floats on top of this colder, denser, and deeper water because this upper warmer water is not as dense. The upper water column is in contact with the atmosphere and is receiving sunlight which allows oxygen production via photosynthesis of phytoplankton, aquatic plants, and gas exchange with the atmosphere. The deeper water is not receiving sunlight and is not in contact with the atmosphere which is resulting in little to no oxygen production. Because of this, the fish are restricted to the upper water column because there is not enough oxygen to support the fish in deeper depths.

During the fall as the air temperature decreases, the temperature of the upper water column begins to decrease as well. As this temperature decreases, its density begins to equalize with the density of the colder, deeper water. As the densities of these two layers of water equalize, they will begin to mix which is referred to as a fall turnover. Typically, a fall turnover is rarely noticed by a lake owner. However, if these two layers of water mix too quickly, during a severe cold front for example, it can result in a sharp decrease in the oxygen levels and cause a fish kill. You can also have turnovers occur during the summer months if a severe rain event sets in for several days. A large influx of cold rainwater can cool off the upper water column causing a turnover.

Bottom Diffused Aeration

To eliminate the stratification of the water column, prevent turnovers, and increase fish habitat, we recommend installing a bottom diffused aeration system in the lake. Bottom diffused aerations systems are designed to pump large volumes of air that pushes water from the lake bottom to the surface where it spreads out and contacts the atmosphere and becomes oxygenated. The pumping action is created by millions of tiny bubbles emitted by the diffuser that rise and entrain water with them.

This system will eliminate thermal stratification (eliminate the thermocline) and turnovers in the lake providing oxygen throughout the water column. The thermocline is the boundary between warmer surface water and cooler deep water. The upper water column is oxygenated by contact with the atmosphere, phytoplankton and aquatic vegetation growth and supports aquatic life. The deep water soon loses its oxygen through digestion of organic matter on the lake bottom with limited sunlight penetration, lack of phytoplankton and vegetation growth at deeper depths, and cannot support desirable aquatic life, including the beneficial aerobic bacteria that digest organic matter using oxygen. This aerobic digestion of organic matter does not release nutrients that would promote re-growth of undesirable plants like filamentous algae. However, digestion of organic matter without adequate oxygen is done by anaerobic bacteria that work much more slowly, that release nutrients back into the water and release noxious gases that often cause lakes to smell bad.

➤ **Problems related to stratification**

- Fish Kills, foul odors, poor water quality
- Excessive filamentous algae growth

➤ **Benefits of Bottom Diffused Aeration**

- Increases the breakdown of fish waste by providing the habitat for beneficial anaerobic bacteria to flourish and break down organics.
- Promotes a healthy ecosystem and larger fish by eliminating oxygen highs and lows and creates equal water temperatures from top to bottom.



Bottom Diffused Aeration

226

Power will need to be installed next to the shoreline for the cabinet housing the pump. From the cabinet, a weighted air hose is run into the lake to an air station at the bottom of the lake. Air is then pumped from the cabinet to the air station where it then rises through the water column providing oxygen to the lake. This system does not add oxygen directly to the water, it mixes what oxygenated water is present throughout the water column.



Liming

In order to raise the alkalinity and make a fertilization program effective, agricultural lime is applied at a rate of 4-6 tons per acre. When AES limes a lake, the lake bottom (the soil) is being limed, not the water. If all the lime was dumped in one spot in the lake, it would not benefit to the lake at all. Lime is applied with a lime barge by placing lime on front of the barge using a front-end loader and then spraying the lime off the barge using a high-pressure water pump while delivering lime in an even pattern throughout the lake.

For applying lime, a tractor is needed to load the lime onto the barge. If you do not have access to a tractor, one w/ operator can be supplied for an additional cost. AES staff does not operate tractors and are not supplied by AES.

For those with limited access for launching our lime barge into the lake, AES recommends Calcis which is a liquid Calcium Carbonate (i.e. liquid lime). Five gallons of Calcis has the Calcium Carbonate Equivalent of one ton of agricultural lime.



Fertilization

A lake is fertilized in order to grow phytoplankton which is the base of the food chain in a lake. Lakes where the water has a deep green tint to it, what you are seeing is microscopic phytoplankton suspended in the water column giving the water a green color. Phytoplankton provide forage for a microscopic organism called zooplankton. When a lake is producing green phytoplankton, it will also produce zooplankton. All species of fish feed on zooplankton once their yolk-sacs are depleted shortly after hatching. Having a strong plankton production will increase the recruitment of newly hatched fish, thus allowing the lake to produce more pounds of fish.

In order to produce a phytoplankton bloom, AES recommends “Trophy Grower”, which is a 10-52-4 (N-P-K) highly water-soluble fertilizer, rich in phosphorus. Apply initially 8 lbs./acre until a plankton bloom is developed. Thereafter, reduce the dose to 4 lbs./acre to maintain the visibility between 18-36”. Trophy Grower comes in 25 lb. boxes and is easily applied by slowly releasing the fertilizer throughout the lake from a boat. For smaller bodies of water broadcast the fertilizer from the shoreline.

With cyanobacteria becoming more and more prevalent in lakes throughout the southeast, AES has developed our “Summer Blend”, 22-5-10 (N-P-K) fertilizer. This higher nitrogen fertilizer results in better manipulate the N:P (nitrogen:phosphorus) ratio. Using this fertilizer in lieu of Trophy Grower is necessary when Nitrogen is low, and in many lakes, this occurs over the summer months. This nitrogen fertilizer is used to provide a more ideal environment for producing green phytoplankton versus cyanobacteria.

Fertilization should be well understood. It is not as simple as one might think. It requires monitoring and constant water quality monitoring. AES is on the for front of proper techniques to grow more fish and these fertilizer formulas are needed in order to maximize fish production in your lake.

MossBack Habitats

A largemouth bass must eat 10 lbs. of fish in order to gain one pound in weight. Small one-inch bluegill generally weighs 5 lbs. per 1,000 fish thus the bass would have to eat 2,000 bluegill to gain one pound. Adding protective cover allows the young bluegill to grow for an additional month or more. In just one month, bluegill quickly grow to 20 lbs. per 1,000 fish so now a bass only has to eat 500 bluegill to gain a pound. This means considerably less energy is used allowing energy for growth. This is a simplified example but shows how protecting the small bluegill promotes and is essential for good bass growth.

Fish habitat placed in proper locations, provide protection for forage fish as well as areas for fish orientation/ambush points which allows less loss of energy and improved weight gain. Fish habitat can also increase catch rates among fishermen by concentrating the fish in and around the habitats.

The MossBack Fish Rack is a long-lasting structure with a surface area resembling the look and feel of natural cover while providing great habitat for baitfish and all types of game fish. Algae growth occurs quickly due to the realistic bark like texture of the Fish Rack. This product not only gives you virtually undetected favorite fishing spots, but it also provides the opportunity for different placement configurations. Extreme ease of assembly allows you to quickly install the fish rack. You will enjoy greater fishing time and less frustration which can be associated with placing natural cover.

➤ Features:

- Easily assembled
- No mess associated with installing natural cover
- Fish are immediately attracted
- Long lasting rugged product
- Easily moved to different fishing locations
- Multiple variations of structure (lengths, vertical/horizontal)
- Will not snag hooks
- Flexibility of structure limbs allow bait to bounce off
- Holes for attracting and holding baitfish
- Rough texture of limbs allows for quick growth of algae
- All hardware for installation is included
- Structure sinks by itself. Only a small amount of weight is suggested to keep in place.

MossBack Habitats

Root Wad Kit: Designed to maximize the survivability and recruitment of forage fish by providing dense, protective cover. Each Root Wad Kit includes: One triangle base, one triangle shade top, three 20" scuffed PVC trunks and each trunk has eight 46" composite limbs for a total of twenty-four limbs.



Trophy Tree Kit: Provides sport fish with the ultimate in open-space ambush cover. The shade top provides sufficient shade for fish on hot summer days. Includes one triangle base and shade top, three 40" scuffed PVC trunks, each trunk has nine 46" limbs for a total of twenty-seven limbs.



Habitat Improvements Using Natural Material

Nearly any material can be used to create fish habitat. The key is to use the correct material to achieve the goals of improving the habitat. Dense material such as Christmas Trees work great to provide dense habitat in shallower water depths to protect smaller forage fish. Whereas wooden pallets work well in deeper water to provide orientation/ambush points for largemouth bass. Typically, most lakes lack dense protective habitat in shallower depths, and it is critical to have ample dense habitat throughout the lake to protect forage fish. When improving dense habitat using natural material, AES recommends using Christmas Trees, dense treetops, and/or falling brush and trees growing along the shoreline and letting it fall into the lake. Rock, busted concrete is also great when easily added.

For adding habitat in deeper water, 10-15' trees can be cut be used. These trees can be dragged out into the lake where cinder blocks are placed on the tree trunk. This will sink the tree trunk first allowing the tree to stand up through the water column providing excellent habitat for fish.

If a lake owner has easy access to natural material such as trees, AES recommends utilizing this resource. With using natural material, it will decompose over time and will need to be replenished every two – three years. AES has vast experience in installation and it available to provide the labor to deploy the material with our barge.



Spawning Tables

AES recommends installing “spawning tables” to enhance spawning habitat and improve spawning success of the bluegill and redear sunfish. Spawning tables are easily made using some cinder blocks and pea gravel or similar rock ½ -1½ inch in size. Starting from the shoreline, place the cinder blocks back-to-back perpendicular to the shoreline out into the lake until the water reaches three to four feet deep. Next, place the cinder blocks parallel to the shoreline and continue parallel with the shore for another ten feet or so. You can then close off the “spawning table” by placing more blocks back to the shoreline. The cinder blocks serve to protect your investment in gravel keeping it from sliding down the slope. It is also useful to stake plastic or landscape fabric to keep gravel from sinking in the muck. Finally, fill the area inside of the blocks with pea gravel. AES recommends a depth of four inches of pea gravel throughout the table. They do not have to be an exact size, but make sure they are large enough, typically five feet out into the lake and fifteen feet long, to provide an area for several nests.

These spawning tables help improve the bluegill population by first providing a more preferred area for the fish to spawn, increasing success. The gravel is proven to increase the success of the eggs and fry. They also improve the growth rates of the bluegill because the bluegill do not have to spend a significant amount of energy making a nest. Bluegill, along with redear sunfish and largemouth bass, fan out a nest until they reach a hard/gravel bottom. When bluegill fan out mud to reach a hard bottom, they are wasting energy several times per year. By providing the bluegill with a hard substrate that they can easily fan out for a nest, you have healthier fish that have more energy reserves for spawning efforts and nest guarding.



Supplemental Fish Feeding

One of the best means of increasing the enjoyment of a pond is the addition of a fish feeding program. Feeders will directly feed: bluegill, trout, hybrid striped bass, channel catfish, and feed trained largemouth bass. In many ponds, you are feeding your bluegill population to indirectly feed the bass. Feeding bluegill a supplemental fish food creates healthier fish that reproduce at higher rates, therefore increasing the population. In addition, feeding bluegill increases its weight, which consequently increases the weight of the bass. Feeding can occur year-round in some areas, but generally begins in March and continues into December in much of the Southeast.

Feeding by hand is acceptable but will not compare to using an automatic fish feeder which feeds multiple times a day. Having feeders on the lake provides a great food source on a continuous basis. Bluegill have a short intestinal tract and benefit from multiple feedings during the day. An automatic fish feeder is one of the best investments a lake owner can make. It will concentrate fish for easier fishing and grow the largest bluegill in the lake. It is also a great place for kids to learn to fish, because the action is always fast.

Bluegill will not travel far to consume food. In order to maximize bluegill growth and production, setup multiple feeders on lakes greater than 1/2 acre. All lakes are shaped differently, but typically a minimum of one feeder per acre is necessary to feed a majority of the bluegill population in smaller lakes. For lakes greater than 10 acres one feeder/three acres is sufficient.

For bluegill, we recommend using Purina AquaMax MVP, 500 or 600 fish food. The AquaMax 500 and 600 contain 41% protein and 12% fat and are both a floating fish food. The AquaMax 500 is 3/16" (4.8 mm) in size and the AquaMax 600 is 9/32" (7.1 mm) in size, while MVP is a mix of nine sizes of feed and contains 43% protein and 12% fat and is a floating fish food as well. For most applications where bluegill are the targeted species, we recommend the AquaMax MVP.

A research project was conducted comparing the growth of bluegill with several formulations of fish food. In short, with a higher quality fish food, less pounds of food is needed to achieve faster and higher growth rates. Though a higher quality food is more expensive per pound, it is cheaper to use because less pounds of the higher quality food is needed. The bluegill growth research project showed a feed conversion of 1.86 for AquaMax 500 and 3.3 for a 32% protein fish food. With these conversions we compared cost: cheaper feed is \$1.75/lb. of weight gain compared to Purina AquaMax \$1.42/lb. of weight gain. This is a huge cost savings over the course of a year, and you will have much larger fish to catch as a result.

Supplemental Fish Feeding

Feeding bluegill and catfish will occur from March – November and on average the feeder will need to be filled once a month (i.e. two bags per month). This is a total of 18 bags needed for the year and with using Purina AquaMax fish food, the yearly cost of fish food for one feeder is approximately \$800 though this can change depending how aggressively the feeders are adjusted.

How much should you feed? Generally, only cast enough feed so the fish will eat most of the food in 5 to 10 minutes. The total amount of food consumed will vary due to surface water temperature, fish species and water quality.

Bluegill experience their most rapid growth in the spring and fall. To maximize growth feed four times daily in the spring and early summer. During the heat of the summer, feed only in the early morning and late afternoon. As the water begins to cool in the fall, feed four times daily. In early spring and winter, feed only once at the hottest part of the day. Below is a feeding guide for bluegill based on the water surface temperature:

Water temperature below 55°F: Feed only one time per day, during the warmest part of the day. Set the automatic feeder for one second. If fish are not feeding, discontinue feeding until water temperature increases above 55-60°F.

Water temperature between 65°F and 80°F: Feed four times per day. Temperatures between 65-80°F are ideal for maximize fish growth and production. Bluegill will feed aggressively at these water temperatures. Separating the feedings by a few hours allows digestion of the food prior to next feeding.

Water Temperature between 80°F and 90°F: Feed two times per day during the cooler parts of the day, typically at sunrise and sunset. The amount of food used may need to be decreased as temperatures continue to rise. Discontinue feeding when water temperature increases above 90°F and start back up when it drops to 85°F or less.

Texas Hunter Fish Feeders

AES recommends The Texas Hunter Product line of fish feeders. Texas Hunter Products have developed the best fish feeder on the market today. The Texas Hunter fish feeders are by far superior to any fish feeders on the market. From excellent customer service to ease of use, these feeders were built with the lake owner in mind. We offer price breaks for quantity purchases.

Texas Hunter Fish Feeder Advantages:

- Patented, powerful centrifugal air blower engineered to eliminate the need for solenoids, gates, and augers, reducing the number of parts and possible breakdowns
- The corners of the lids are formed and welded before being powder-coated, providing a better seal and avoiding possible cuts from the sharp edges of the lid
- A quick-release side panel with a Clear-View Funnel so you can immediately detect a clog from debris, without having to take the feeder apart. Should a clog occur, you can clean out the entire blower system and you are up and running again in less than five minutes. On most feeders on the market today, the lower half of the feeder has to be disassembled just to access the motors.
- Texas Hunter's powerful 2-watt solar charger can be mounted to any side of the unit. This maximizes the sun's energy – no matter where the feeder is placed around the lake.
- Designed to feed fish pellets (up to 7mm)
- Wedge-shaped feed pattern 45' x 20'
- Large welded footpads for extra stability
- Legs & footpads are powder-coated for rust prevention
- Powerful 2-watt Solar Panel
- Different models to choose from: LM135 (70 lb. capacity), LM175 (100 lb. capacity), LM335 (175 lb. capacity) and LM435 (250 lb. capacity)
- Your choice: Adjustable legs for easy leveling or Straight legs for piers & docks
- EZ Set digital timer - no fuses - no 'timer' battery required - 5-year warranty
- 12v rechargeable heavy duty 7amp battery included
- Built-in 'nut-inserts' make leg installation a breeze



Vegetation Management

Aquatic vegetation not only decreases the aesthetic appeal of the lake, interferes with fishing efforts and boating, but also aquatic vegetation utilizes available nutrients. In severe infestations, aquatic vegetation utilizes all the available nutrients within the lake preventing the growth of phytoplankton. This limits the productivity of the lake. Not all aquatic vegetation in a lake is detrimental to the fishery. Some species of vegetation are encouraged in order to provide fish habitat. In larger bodies of water, aquatic vegetation coverage up to 20% can be sustained without detrimental effects to the productivity of the lake.

Aquatic vegetation needs three essential elements in order to grow: sunlight, nutrients, and temperature. There is nothing we can do to control temperature and there is little we can do to control nutrients in most scenarios. However, we can manipulate the sunlight penetration through the water column. As long as sunlight can penetrate through the water column to the lake bottom, aquatic vegetation is very likely to grow. This typically occurs in water depths of three feet or less. In lakes with “gin clear” water, weeds will grow in deeper depths due to increased sunlight penetration. Lake dyes can be used to shade out the sunlight which will help deter aquatic vegetation growth. However, for those concerned with producing a quality fishery, lake dye is not recommended because it will also shade out sunlight for phytoplankton growth. However, a proper fertilization program will help deter aquatic vegetation growth. By establishing a phytoplankton bloom early in the spring via a fertilization program, the phytoplankton bloom will minimize sunlight penetration which will help deter submersed aquatic vegetation growth. Once vegetation is established it becomes more difficult to fertilize.

For lakes with severe vegetation growth, implement an Aquatic Vegetation Control Program that includes a multi-pronged attack to keep aquatic vegetation under control (i.e. herbicide applications, grass carp stocking, dredging shallow areas, and aeration).

For many submerged vegetation species, the best method to control aquatic vegetation is the stocking of the proper number of grass carp. They provide the most economical long-term control of submersed vegetation.

For some select species where grass carp have limited success, use an EPD approved aquatic labeled herbicide. Aquatic herbicides will often provide the quickest results for controlling aquatic vegetation. Aquatic herbicides are not harmful to fish when used properly. When treating aquatic vegetation with herbicides, the vegetation may need to be treated with multiple applications over a period of time. With severe infestations, if the entire biomass of vegetation is killed all at once, it can degrade the water quality as the vegetation decomposes.

Annual Lake Management Contract

For many pond owners, the desire is to have a top-notch fishery and superior lake. Often many do not have the time or expertise to manage such a lake and desire for us to take over the responsibility. We have modified our programs over the years to maximize the recreational value of clients' lakes. We now have clients all over the state and work out of our north Georgia and middle Georgia offices to save on travel cost. Our services can be modified to meet your goals and budget. Some of the services performed on yearly management contract include:

- Lake Inspections
- Aquatic Weed/Algae Examination
- Water Quality Analysis
- Fish Population Analysis /Fish Harvesting
- Fish Feeder Maintenance
- Fertilization Program
- Customer Services

Lake Inspections occur on a biweekly, monthly, or quarterly basis from March through November. Every visit will include visual inspection of the dam and outlet system. Aquatic Weed/Algae examinations are made during visits and after each visit you will receive a report on current lake conditions and actions taken as well as corrective actions recommended for the future.

Water Quality Analysis includes ambient temperature, water temperature, visibility (secchi disc), hardness, alkalinity, pH, and dissolved oxygen. When low alkalinities are recorded, we will take a second sample from the pond soils for analysis. This is the best method to determine lime requirements needed for proper fertilization schedule. The pond will be fertilized during each visit if needed. Visibility is checked and fertilizer is applied to maintain the desired visibility. This creates an environment that produces many more pounds of fish. Anticipated rain events will be considered when timing fertilizer applications.

An electrofishing survey will be included in the lake management contract which will include a management report. The report details recommendations for fish harvest, fish stocking, and habitat enhancements to achieve our clients desired fishing goals. Additional electrofishing surveys will be geared towards bass harvest.

Fish Feeder Maintenance is also included in the yearly management contract. Feeders are filled and feeding times adjusted periodically to maximize fish growth and minimize waste.

Also included in a yearly lake management contract is always having a senior biologist familiar with your lake available to answer any questions you have.

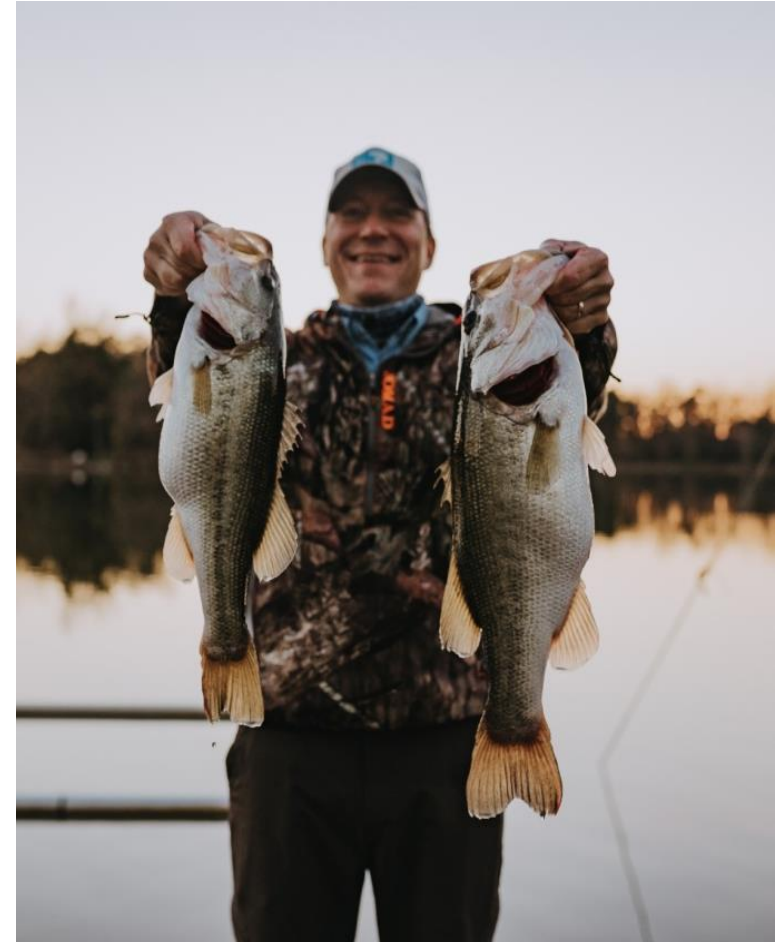
Largemouth Bass

Largemouth Bass (*Micropterus salmoides*) are the preferred game fish in the U.S. providing exciting fishing for anglers. They will eat just about anything that they can fit into their mouths making largemouth bass the top end predator in most lakes. Largemouth bass begin to spawn when the water temperature reaches 63-68°F, normally once a year in the early spring before bluegill begin to spawn. Average lifespan of largemouth bass is ten years. There are two known subspecies, Florida and Northern. Florida bass are known to grow quite large but some research has shown them to be less aggressive when adults, making them harder to catch.

Northern bass are more aggressive but do not have the top end potential of Florida bass. There is also the F1, which is a pure cross (50% Florida and 50% Northern) between the two having the best characteristics of both subspecies (aggressive and grows big in size). You can also have Fx bass that are a mix of genetics of both subspecies and are most common in older lakes.

For stocking bass in existing fisheries, Florida Bass, Northern Bass, and/or F1 Bass can be stocked. Depending on goals, 10-20 largemouth bass should be stocked in existing fisheries. The key here is to not stock too many so that the fishery becomes out of balance. If wanting to introduce fresh genetics to the fishery, ten bass can be stocked per acre and those wanting to increase catch rates, upwards of twenty bass per acre can be stocked.

One option that we have had great success with is creating a feed trained fishery by stocking feed trained Pure Northern Bass. This is a great option for smaller ponds. For stocking feed trained bass to create a feed trained bass fishery, Pure Northern Bass which are a pound in size and have been raised on fish food are stocked. In order to have feed trained bass fishery, the bass will have to be stocked at a high rate of 50 bass per acre in order to maintain a high rate of competition among the bass for forage which keeps the bass on the fish food. Along with this, an aggressive supplemental feeding program needs to be in place using high quality fish food.



Bluegill

Bluegill (*Lepomis macrochirus*) are known as bream to many. Bluegill are the backbone of the forage base for largemouth bass. Average lifespan of bluegill is 6-8 years and bluegill are very prolific, reproducing multiple times a season (3-5 times/year). This provides largemouth bass with a large quantity of food while still allowing themselves to sustain a healthy thriving population. To produce quality largemouth bass, the lake must have an abundant and healthy bluegill population. Bluegill spawn in large colonies in 1-5 feet in depth over sandy and gravel substrates. Spawning occurs when water temperatures reach 67-70°F.

There are two subspecies, native (also called Mississippi) and coppernose. The coppernose are better suited for warm climates and are more aggressive when feeding on supplemental fish food compared to the Mississippi bluegill resulting in great growth rates.

For supplemental stocking of bluegill in an existing fishery, we recommend stocking 3-5" bluegill. These fish are sexually mature at this size and will reproduce actively during the growing season. To supplement an existing bluegill population, stock 500 -1000 (3-5") bluegill per acre. Keep in mind you can never have too many bluegill if wanting better bass growth, so you may consider stocking more to speed up the improvements of the fishery.



Golden Shiners

240

Golden Shiner (*Notemigonus crysoleucas*) provide great forage for largemouth bass. Golden shiners can reach sizes of 10-12" meaning that they can grow larger than threadfin shad but not as large as gizzard shad. This makes the golden shiners a great go-between forage item for largemouth bass. Golden shiners are slender in shape and do not have any hard spines in their fins making them an easy forage item for bass to consume.

Golden shiners feed on small aquatic organisms as well as filamentous algae. Spawning occurs once the water temperature reaches 68 degrees and ceases once the water temperature reaches 80 degrees. Adhesive eggs are laid on aquatic plants and algae and the eggs are not guarded. Typical lifespan of golden shiners is 4-7 years.



Rainbow Trout

Rainbow Trout (*Oncorhynchus mykiss*) provide a great game fish for children and novice fisherman and they diversify the fishing options of the lake. Rainbow trout are aggressive fish that bite well during the cooler months of the year when other fish are not as active. Rainbow trout will survive in water temperatures up to 75°F and when stocked in November they will provide six months or more of bass forage and/or fishing opportunities before dying in the summer heat.

For those wanting to have an aggressive fish to catch during the winter months as well as great table fare, stocking larger trout are the way to go. We recommend stocking trout that are 1/2 pound in size or larger which are ready to be caught once they are stocked. Stocking rates depend on goals and fishing interest in the trout, but on average we recommend stocking 100 larger trout per acre.

Stocking small rainbow trout in the fall will provide largemouth bass an excellent source of high protein forage item throughout the fall and into early summer. Rainbow trout have slender bodies and do not have hard spines in their fins making them very easy for largemouth bass to consume. Stocking rates of smaller trout average 100-200 trout per acre.

All the rainbow trout that are stocked are feed trained and will not have negative impacts on the balance of the fishery. For those that stock larger trout, having fish feeders installed and feeding a high protein fish food is critical. For those that stock smaller trout for bass forage, supplemental feeding is not as critical though they will respond to feeders when present.



Channel Catfish

Channel Catfish (*Ictalurus punctatus*) are the most common catfish stocked in ponds. Channel catfish provide a great game fish for children and novice fisherman and they diversify the fishing options in the lake.

Channel catfish are similar to blue catfish and larger adult channel catfish lose their spots resulting in them being very similar in appearance to blue catfish. Channel catfish can live beyond twenty years though most may only live 10-15 years. Spawning occurs once the water temperature reaches 75 degrees and eggs are generally laid in hollowed out holes along the shoreline, hollow logs, under logs, or rocks. Channel catfish have limited reproduction success in the presence of largemouth bass. Once the catfish fry leave the nest, they are no longer guarded by the adult catfish making them easy targets for largemouth bass.

Channel catfish have limited competition with bass before they reach two pounds in weight because catfish mostly feed on fish food (if provided) or invertebrates. However, once they reach two pounds, they will compete heavily with largemouth bass for forage. Channel catfish do best when provided supplemental feed and this also helps minimize their impact on the fishery. Only stock channel catfish if fishermen wish to catch them. In fisheries where largemouth bass growth is top priority, then channel catfish should not be stocked.



Black Crappie

Black Crappie (*Pomoxis nigromaculatus*) are a desirable species for many fishermen. However, they can have a negative impact on the fishery. Black crappie can live up to 15 years and spawning occurs when the water temperature reaches 62-65°F. This allows the crappie to get a head start on other species in the lake giving them a large recruitment class (i.e. small fish survive to reach a larger size). This results in the crappie fingerlings growing too big to serve as food for young of the year bass and they compete with and predate small largemouth bass. This often leads to a rapidly expanding crappie population in smaller lakes.

As the crappie population grows, so does the competition between crappie and bass resulting in decreased growth in both species.

Threadfin shad and golden shiners provide ideal forage for crappie. However, crappie are similar to largemouth bass in forage selection; they will consume anything that will fit in their mouth.



Redbreast

Redbreast (*Lepomis auritus*) belong to the sunfish species though they are more of a stream species compared to bluegill and redear sunfish. Typically, redbreast sunfish are found in sandy bottom creeks and rivers and rarely seen in slow moving or stagnant waters. However, for lakes that have a sizable stream flowing into them, redbreast sunfish will inhabit the lake. Typically, the redbreast population will be small in lakes since they are not as well adapted in lake environments compared to bluegill.

Redbreast sunfish begin spawning once the water temperature reaches 70 degrees. Redbreast usually build solitary nest, unlike bluegill, and the nest are usually located near logs, stumps, etc. Redbreast nest are larger in diameter than a bluegill nest. Redbreast sunfish feed on aquatic insects, crayfish, and smaller fish.

Redbreast sunfish will provide forage for largemouth bass and they are sought after by “bream fisherman” for their feisty nature and excellent table fare.



Warmouth

Warmouth (*Lepomis gulosus*) belong in the sunfish family and closely resemble bluegill with the exception of a large mouth. They are aggressive predators and their large mouth enables them to eat small minnows and other aquatic organisms. Warmouth will compete with desirable species and can even prey upon smaller bluegill which will take away possible forage from largemouth bass.

Typically found in sluggish streams and swamps, warmouth will inhabit lakes that have a stream entering the lake allowing the warmouth to access the lake. In general, warmouth populations are very small in lakes since they do not reproduce at high rates like bluegill which allows the bluegill population to out compete the warmouth.

Warmouth spawn in the spring and unlike bluegill, they will build nest in mud, silt, leaf litter, etc. Warmouth will provide forage for largemouth bass.



Largemouth Relative Weight Index (Grams)

Weight of Bass Caught (Grams)

Length (in.)	110%	100% (Standard Weight)	95%	90%	85%	80%	75%
10	250	227	215	204	193	181	170
10.5	304	276	262	249	235	221	207
11	339	308	293	278	262	247	231
11.5	389	354	336	318	301	283	265
12	449	408	388	367	347	327	306
12.5	509	463	440	416	393	370	347
13	579	526	500	474	447	421	395
13.5	653	594	565	535	505	475	446
14	734	667	633	600	567	533	500
14.5	818	744	707	670	632	595	558
15	913	830	789	747	706	664	623
15.5	1013	921	875	829	783	737	691
16	1123	1021	970	919	868	816	765
16.5	1238	1125	1069	1012	956	900	844
17	1362	1238	1176	1114	1053	991	929
17.5	1497	1361	1293	1225	1157	1089	1021
18	1637	1488	1413	1339	1265	1190	1116
18.5	1786	1624	1543	1461	1380	1299	1218
19	1942	1765	1676	1588	1500	1412	1323
19.5	2112	1920	1824	1728	1632	1536	1440
20	2290	2082	1978	1874	1770	1666	1562
20.5	2475	2250	2137	2025	1912	1800	1687
21	2674	2431	2310	2188	2067	1945	1823
21.5	2884	2622	2491	2360	2229	2097	1966
22	3103	2821	2680	2539	2398	2257	2116
22.5	3333	3030	2879	2727	2576	2424	2273
23	3577	3252	3090	2927	2764	2602	2439
23.5	3827	3479	3305	3131	2957	2783	2609
24	4096	3724	3538	3352	3165	2979	2793
24.5	4376	3978	3779	3580	3381	3182	2984

Measure fish from tip of nose with mouth closed to the end of the tail (make sure to “pinch” the tail). To estimate weight of a specific bass, weigh in grams and measure in inches to nearest 1/4 inch and then using the table above look up the relative weight of the bass length. For example: a bass was caught measuring 16” and weighed 940 grams. Looking at the chart this particular bass has a relative weight of approximately 92%. To get the exact relative weight of a bass, use the standard weight column from the table above to find the standard weight of the bass caught. Divide the actual weight of the bass caught by the standard weight and multiply by 100. This will give you the relative weight of the bass caught.

Example: a 20.5” bass was caught weighing 2100 grams. Looking at the table above, The standard weight for a 20.5” is 2250 grams. $2100/2250 = 0.933 * 100 = 93\%$.

- 1 pound = 454 grams
- 1 ounce = 28.35 grams
- 1 ounce = .0625 lbs

Largemouth Relative Weight Index (Pounds)

Weight of Bass Caught (Pounds)

Length (in.)	110%	100% (Standard Weight)	95%	90%	85%	80%	75%
10	0.55	0.50	0.47	0.45	0.43	0.40	0.37
10.5	0.67	0.61	0.58	0.55	0.52	0.49	0.46
11	0.75	0.68	0.65	0.61	0.58	0.54	0.51
11.5	0.86	0.78	0.74	0.70	0.66	0.62	0.58
12	0.99	0.90	0.85	0.81	0.76	0.72	0.67
12.5	1.12	1.02	0.97	0.92	0.87	0.81	0.76
13	1.28	1.16	1.10	1.04	0.98	0.93	0.87
13.5	1.44	1.31	1.24	1.18	1.11	1.05	0.98
14	1.62	1.47	1.39	1.32	1.25	1.17	1.10
14.5	1.80	1.64	1.56	1.48	1.39	1.31	1.23
15	2.01	1.83	1.74	1.65	1.56	1.46	1.37
15.5	2.23	2.03	1.93	1.83	1.72	1.62	1.52
16	2.47	2.25	2.14	2.02	1.91	1.80	1.69
16.5	2.73	2.48	2.35	2.23	2.11	1.98	1.86
17	3.00	2.73	2.59	2.45	2.32	2.18	2.05
17.5	3.30	3.00	2.85	2.70	2.55	2.40	2.25
18	3.61	3.28	3.11	2.95	2.79	2.62	2.46
18.5	3.93	3.58	3.40	3.22	3.04	2.86	2.68
19	4.28	3.89	3.69	3.50	3.30	3.11	2.91
19.5	4.65	4.22	4.00	3.79	3.59	3.38	3.17
20	5.04	4.59	4.36	4.13	3.90	3.67	3.44
20.5	5.45	4.96	4.71	4.46	4.21	3.96	3.72
21	5.89	5.35	5.09	4.82	4.55	4.28	4.02
21.5	6.35	5.78	5.49	5.20	4.91	4.62	4.33
22	6.83	6.21	5.90	5.59	5.28	4.97	4.66
22.5	7.34	6.67	6.34	6.01	5.67	5.34	5.01
23	7.88	7.16	6.81	6.45	6.09	5.73	5.37
23.5	8.43	7.66	7.28	6.90	6.51	6.13	5.75
24	9.02	8.20	7.79	7.38	6.97	6.56	6.15
24.5	9.64	8.76	8.32	7.89	7.45	7.01	6.57

Measure fish from tip of nose with mouth closed to the end of the tail (make sure to “pinch” the tail). To estimate weight of a specific bass, weigh in lbs. and measure in inches to nearest 1/4 inch and then using the table, look up the relative weight of the bass length. For example: a bass was caught measuring 16” and weighed 2.10 lbs. Looking at the chart this particular bass has a relative weight of approximately 93%.

To get the exact relative weight of a bass, use the standard weight column from the table above to find the standard weight of the bass caught. Divide the actual weight of the bass caught by the standard weight and multiply by 100. This will give you the relative weight of the bass caught.

Example: a 20.5” bass was caught weighing 4.5 lbs. Looking at the table, The standard weight for a 20.5” is 4.96 lbs. $4.5/4.96 = 0.907 * 100 = 90.7\%$.

- 1 pound = 454 grams
- 1 ounce = 28.35 grams
- 1 ounce = .0625 lbs.



POLICE

DEPARTMENT

MONTHLY REPORT

January

2022

Comparison of November 2020 to November 2021 Activity Reports

	2021			2020		
Calls for Service	1,621			1,680		
Area Checks	9,803			9,108		
Calls to MPD	NA			NA		
Court Cases	232			231		
Training Hours	871			257		
Part A Crimes	62			57		
Part B Crimes	62			71		
Arrest-Adult	62			43		
Juvenile	2			4		
C/S Trash Pick Up	0			0		
Tires	0			0		

2021 JAN FEB MARCH APRIL MAY JUNE JULY AUG SEPT OCT NOV DEC TOTALS

AGENCY	JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	TOTALS
LE CALLS													
WALTON SO	3,503	3,095	3,853	3,409	3,845	3,953	3,761	3,414	3,541	3,568	3,173		39,115
WCSD AREA CHECKS	10,628	9,800	10,417	10,299	10,943	9,258	10,121	9,798	10,265	10,367	10,034		111,930
MONROE PD	1,518	1,428	1,734	1,938	2,098	1,842	1,961	1,671	1,657	1,598	1,621		19,066
MPD AREA CHECKS	8,877	8,722	10,707	8,758	8,087	7,395	8,258	9,495	8,622	9,063	9,803		97,787
LOGANVILLE PD	870	892	1,024	99	907	907	1,037	961	1,137	989	826		9,649
LPD AREA CHECKS	1,713	1,394	1,458	1,267	1,145	1,364	1,471	971	1,540	22	7		12,352
SOCIAL CIRCLE PD	364	356	375	364	283	322	325	342	277	360	387		3,755
SPD AREA CHECKS	2,212	1,745	1,673	1,812	1,646	1,570	1,589	1,424	1,006	1,394	1,492		17,563
Totals	29,685	27,432	31,241	27,946	28,954	26,611	28,523	28,076	28,045	27,361	27,343		311,217
WALTON EMS	1,870	1,355	1,473	1,434	1,839	1,545	1,492	1,905	1,796	1,513	1,410		17,632
FIRE DEPTS													0
WALTON FIRE	519	360	444	431	455	422	417	568	474	455	416		4,961
MONROE FIRE	238	182	205	185	254	233	219	247	200	228	168		2,359
LOGANVILLE FIRE	214	172	207	220	244	212	237	231	238	217	219		2,411
SOC CIRCLE FIRE	60	83	76	65	85	66	68	71	80	56	52		762
Fire fept totals	1,031	797	932	901	1,038	933	941	1,117	992	956	855		10,493
TOTAL	63,302	57,813	64,887	59,128	61,823	56,633	60,420	60,291	59,870	58,147	57,806	0	660,120
PHONE CALLS													
ABANDONED	275	240	302	287	296	229	288	247	269	273			2,706
ADMIN IN	5,147	4,645	5,070	5,318	5,788	5,097	5,515	5,532	4,799	4,884			51,795
ADMIN OUT	3,235	2,980	3,402	3,528	3,966	3,312	3,461	3,640	3,545	3,541			34,610
911	4,539	3,969	5,069	4,816	5,428	4,852	5,115	5,119	5,162	5,135			49,204
TOTAL	13,196	11,834	13,843	13,949	15,478	13,490	14,379	14,538	13,775	13,833			138,315

MONROE MUNICIPAL COURT

	November 2020	November 2021
Citations issued:	237	189
Adjudicated/Closed cases:	231	232
Fines collected per month:	\$31,910.00	\$44,389.00
Year to date collected:	\$365,359.22	\$421,576.95

Joseph Bryant
Court Administrator

November 2021 Training Hours for Monroe Police Department

GPSTC online training: 2

Conference training: 0

In-service Training: 445

Off Site Training: 424

Total Training Hours: 871



Offense and Arrest Summary Report

Beginning Date: 11/01/2021

Ending Date: 11/30/2021

Agency: MONROE POLICE DEPARTMENT

Total Offenses	124	Clearance Rate	43.55%
% change from last year	-3.13%	Last years rate	19.53%
Total Arrests	64	Hate Crime Offenses	0
% change from last year	36.17%	Law Officers Assaulted	1
Group A Crime Rate per 100,000 Population :	901.10	Summary based reporting Crime Rate per 100,000 Population :	356.08
Arrest Rate per 100,000 Population :	465.08		

Arrest Reporting

Group "A"	Adult	Juvenile	Unknown	Total Arrests	Arrests Reported Last Year
Murder	0	0	0	0	0
Negligent Manslaughter	0	0	0	0	0
Justifiable Homicide	0	0	0	0	0
Rape	1	0	0	1	0
Robbery	0	0	0	0	0
Aggravated Assault	1	0	0	1	0
Burglary	0	0	0	0	0
Larceny	16	0	0	16	1
Motor Vehicle Theft	0	0	0	0	0
Arson	0	0	0	0	0
Simple Assault	5	0	0	5	6
Intimidation	0	0	0	0	0
Bribery	0	0	0	0	0
Counterfeiting/Forgery	0	0	0	0	0
Vandalism	2	0	0	2	0
Drug/Narcotic Violations	14	1	0	15	17
Drug Equipment Violations	1	0	0	1	0
Embezzlement	0	0	0	0	0
Extortion/Blackmail	0	0	0	0	0
Fraud	1	0	0	1	0
Gambling	0	0	0	0	0
Kidnapping	0	0	0	0	0
Pornography	0	0	0	0	0
Prostitution	0	0	0	0	0
Sodomy	0	0	0	0	0
Sexual Assault w/Object	0	0	0	0	0
Fondling	0	1	0	1	0
Incest	0	0	0	0	0
Statutory Rape	0	0	0	0	0
Stolen Property	0	0	0	0	0
Weapons Law Violations	1	0	0	1	1
Human Trafficking, Commercial Sex Acts	0	0	0	0	0
Human Trafficking, Involuntary Servitude	0	0	0	0	0
Animal Cruelty	0	0	0	0	0
Total Group A Arrests	42	2	0	44	25

Crime Against Person
 25 - This year
 33 - Last year
 -24.24% - Percent Change

Crime Against Property
 72 - This year
 73 - Last year
 -1.37% - Percent Change

Crime Against Society
 27 - This year
 22 - Last year
 22.73% - Percent Change

Offense Reporting

Group "A"	Offenses Reported	Offenses Cleared	Offenses Reported Last Year
Murder	0	0	0
Negligent Manslaughter	0	0	0
Justifiable Homicide	0	0	0
Rape	2	1	1
Robbery	1	0	1
Aggravated Assault	2	1	6
Burglary	1	0	8
Larceny	40	14	27
Motor Vehicle Theft	2	0	1
Arson	1	0	0
Simple Assault	13	6	13
Intimidation	5	1	12
Bribery	0	0	0
Counterfeiting/Forgery	1	0	0
Vandalism	19	3	27
Drug/Narcotic Violations	18	15	15
Drug Equipment Violations	5	5	2
Embezzlement	0	0	0
Extortion/Blackmail	0	0	0
Fraud	7	3	8
Gambling	0	0	0
Kidnapping	0	0	0
Pornography	0	0	1
Prostitution	0	0	0
Sodomy	0	0	1
Sexual Assault w/Object	0	0	0
Fondling	3	1	0
Incest	0	0	0
Statutory Rape	0	0	0
Stolen Property	0	0	1
Weapons Law Violations	4	4	4
Human Trafficking, Commercial Sex Acts	0	0	0
Human Trafficking, Involuntary Servitude	0	0	0
Animal Cruelty	0	0	0
Total Group "A"	124	54	128

Population : 13761

Note: Last years figures are provided for comparison purposes only.

Group "B" Arrests	Adult	Juvenile	Unknown	Total Arrests	Arrests Reported Last Year
Bad Checks	0	0	0	0	0
Curfew/Vagrancy	0	0	0	0	1
Disorderly Conduct	2	0	0	2	1
DUI	4	0	0	4	2
Drunkenness	1	0	0	1	1
Family Offenses-nonviolent	0	0	0	0	0
Liquor Law Violations	0	0	0	0	0
Peeping Tom	0	0	0	0	0
Runaways	0	0	0	0	0
Trespass	0	0	0	0	4
All Other Offenses	13	0	0	13	13
Total Group B Arrests	20	0	0	20	22
Total Arrests	62	2	0	64	47



WALTON COUNTY 911

Radio Log Statistical Report, by Unit

<u>Unit</u>	<u>Unit Description</u>	<u>Number of Logs</u>
311	LAW ENFORCEMENT UNIT	1
316	LAW ENFORCEMENT UNIT	142
321	LAW ENFORCEMENT UNIT	8
322	LAW ENFORCEMENT UNIT	1
323	LAW ENFORCEMENT UNIT	152
324	LAW ENFORCEMENT UNIT	1
325	LAW ENFORCEMENT UNIT	772
327	LAW ENFORCEMENT UNIT	267
329	LAW ENFORCEMENT UNIT	2
330	LAW ENFORCEMENT UNIT	2
335	LAW ENFORCEMENT UNIT	211
336	LAW ENFORCEMENT UNIT	10
337	LAW ENFORCEMENT UNIT	450
338	LAW ENFORCEMENT UNIT	320
340	LAW ENFORCEMENT UNIT	597
342	LAW ENFORCEMENT UNIT	225
343	LAW ENFORCEMENT UNIT	295
345	LAW ENFORCEMENT UNIT	702
346	LAW ENFORCEMENT UNIT	12
347	LAW ENFORCEMENT UNIT	333
348	LAW ENFORCEMENT UNIT	609
349	LAW ENFORCEMENT UNIT	456
350	LAW ENFORCEMENT UNIT	473
351	LAW ENFORCEMENT UNIT	974
352	LAW ENFORCEMENT UNIT	403
355	LAW ENFORCEMENT UNIT	358
356	LAW ENFORCEMENT UNIT	500
359	LAW ENFORCEMENT UNIT	330
362	LAW ENFORCEMENT UNIT	3
366	LAW ENFORCEMENT UNIT	467
367	LAW ENFORCEMENT UNIT	726
368	LAW ENFORCEMENT UNIT	1
Total Radio Logs:		9803

Report Includes:

All dates between `00:00:00 11/01/21` and `23:59:59 11/30/21`, All agencies matching `MPD`, All zones, All units, All tencodes matching `1066`, All shifts



WALTON COUNTY 911

Law Total Incident Report, by Nature of Incident

<u>Nature of Incident</u>	<u>Total Incidents</u>
FIGHT VIOLENT	6
ANIMAL COMPLAINT	4
INJURED ANIMAL	1
VICIOUS ANIMAL	1
PROWLER	8
ATTEMPTED BURGLARY	1
BURGLARY IN PROGRESS	3
BURGLARY REPORT	1
DOMESTIC NON-VIOLENT	53
ARMED ROBBERY	1
WARRANT SERVICE	25
SUBJECT WITH WEAPON	1
SUSPICIOUS PERSON	76
SUSPICIOUS VEHICLE	112
SUICIDE ATTEMPT	7
SUICIDE THREAT	4
KEYS LOCKED IN VEHICLE	102
ACCIDENT NO INJURIES	67
INJURY BY COMPLAINT	2
ACCIDENT WITH A DEER	9
10-50 WITH ENTRAPMENTS	1
ACCIDENT WITH INJURIES	4
OFFICER INVOLVED ACCIDENT	1
ACCIDENT UNKNOWN INJURIES	4
ROAD HAZARD	3
DRUNK DRIVER	2
INTOXICATED PERSON	1
HIT AND RUN	8
DIRECT TRAFFIC	1
FUNERAL ESCORT	8
TRANSPORT	3
DISABLED VEHICLE	20
AREA/BLDG CHECK	43
CHILD ABUSE	2
RAPE	1
SEXUAL ASSAULT	3
CHASE	1
WORK SCHOOL TRAFFIC	2
BANK ALARM	9
BUSINESS ALARM	50
CHURCH ALARM	2
RESIDENTIAL ALARM	33
DRAG RACING	1
SUBJECT IN CUSTODY	6

Law Total Incident Report, by Nature of Incident

<u>Nature of Incident</u>	<u>Total Incidents</u>
DEMENTED PERSON NON-VIOLENT	12
STOLEN VEHICLE	4
911 HANGUP	29
CONTROL SUBSTANCE PROBLEM	12
AGENCY ASSISTANCE	9
ARSON	1
ASSAULT	1
ASSAULT PRIORITY 3	1
ASSAULT LAW ENFORCEMENT ONLY	3
CHILD CUSTODY DISPUTE	5
CIVIL ISSUE/DISPUTE	20
COUNTERFEIT MONEY	1
DAMAGE TO PROPERTY	30
DISPUTE NON VIOLENT IN NATURE	46
DISPUTE VIOLENT IN NATURE	5
DISTRUBING THE PEACE	2
Dead Body	1
EMERGENCY MESSAGE	1
LE ASSIST FOR EMS	19
ENTERING AN AUTO	12
EXTRA PATROL REQUEST	4
ASSIST FIRE DEPARTMENT	2
FIREARMS DISCHARGED	9
FIREWORKS	1
FOLLOW UP TO PREVIOUS CALL	1
FOUND PROPERTY	3
FRAUD	2
GUNSHOT WOUND PRIORITY 3	1
HARRASSING PHONE CALLS	1
HARRASSMENT	3
IDENTITY THEFT	1
ILLEGAL PARKING	1
JUVENILE COMPLAINT	18
JUVENILE PROBLEM -NO COMPLAINT	2
LOITERING	7
LOST ITEM REPOR	5
LOUD MUSIC COMPLAINT	10
MISSING PERSON	4
MISCELLANEOUS LAW INCIDENT	28
POWER LINES DOWN	1
PHONE CALLS/MAIL SCAMS	4
SHOPLIFTING	19
THEFT IN PROGRESS	1
THEFT REPORT	27
THREATS	3
TRAFFIC LIGHT OUT	4
TRAFFIC VIOLATION	504
TRAILER INSPECTION	2
TREE DOWN	1
TRESPASSING	3

<u>Nature of Incident</u>	<u>Total Incidents</u>
UNCONSCIOUS PRIORITY 1	1
UNKNOWN PRIORITY 1	1
UNKNOWN LAW PROBLEM	2
UNSECURE PREMISES	3
VEHICLE INSPECTION	8
VIOLATION TPO	2
WANTED PERSON	5
WELFARE CHECK	20

Total reported: 1621

Report Includes:

All dates between `00:00:00 11/01/21` and `23:59:59 11/30/21`, All agencies matching `MPD`, All natures, All locations, All responsible officers, All dispositions, All clearance codes, All observed offenses, All reported offenses, All offense codes, All circumstance codes



**SOLID WASTE
DEPARTMENT
MONTHLY REPORT
JANUARY
2022**

ITEMS OF INTEREST

I. Project Update- Transfer Station Improvements:

- Fencing - To be installed along the entrance side of the transfer station.
Project delayed due to vendor staffing shortage.

II. Transfer Station tonnage report: Deposited 7,996.17 tons in November.
An increase of 402.83 tons compared to November 2020.

III. Curbside Recycling – Transitioning to the 65-gallon carts - Update:

The “Oops” tags have been published and will be implemented, starting January 2022. The tags are designed to help educate citizens and reduce the number of unacceptable items, in the curbside program.

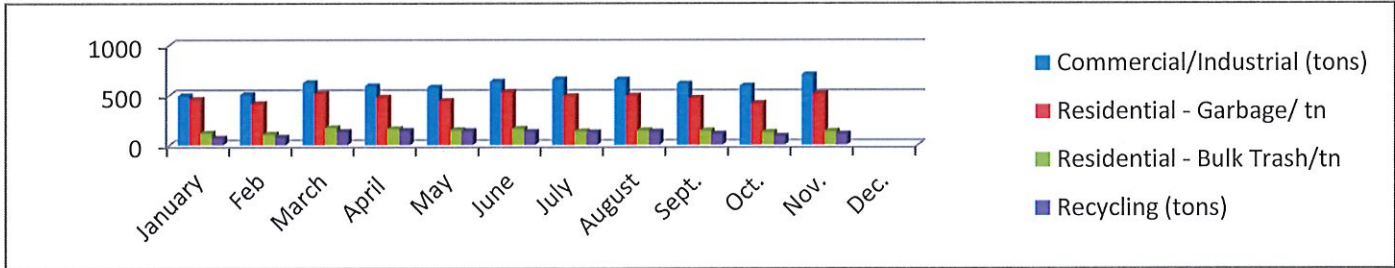
- Customers who did not receive a cart or would like to participate, should call our office at: 770-267-6933 to make their request. **Service reminder: All acceptable items should be loose inside the cart and not in plastic bags! Oversized cardboard broken down, bundled and set out next to the cart, for separate collection!**

IV. Curbside Glass Collection Update: Currently have 330 customers participating. (2.49 tons collected in November).

Reminder: Please rinse the glass containers and remove all caps or lids. Also, Items cannot be mixed with other recycling materials! A separate vehicle will collect the glass.

V. Holiday Route Schedule – MLK Jr! See attached.

2021	January	Feb	March	April	May	June	July	August	Sept.	Oct.	Nov.	Dec.
Commercial/Industrial (tons)	494.37	504.62	623.1	590.52	577.74	635.34	657.65	656.65	615.77	593.33	704.32	
Residential - Garbage/ tn	457.76	414.33	516.5	478.61	443.53	530.64	490.57	494.45	472.23	418.34	515.37	
Residential - Bulk Trash/tn	123.33	109.11	172.87	164.02	151.81	165.25	139.61	148.69	144.18	131.36	139.95	
Recycling (tons)	71.30	79.42	135.83	144.55	141.75	134.03	130.04	134.77	114.01	92.73	112.17	
Transfer Station (tons)	7,831.74	8,113.39	9,373.15	7,832.17	7,720.88	8,321.84	7,452.33	9,031.98	7,906.03	8,046.59	7,996.17	
Customers (TS)	16	17	18	17	18	18	18	19	18	18	17	
Sweeper debris (tons)	25.55	21.16	33.26	30.65	20.41	13.03	14.37	32.46		28.73	43.53	
Storm drain debris (tons)	0.33	0.13	0.21	0.31	1.52	0.16	0.32	3.15	0.32	0.39		
	January	Feb	March	April	May	June	July	August	Sept.	Oct.	Nov.	Dec.
Recycling - Yard Waste (tons)	34.42	42.17	88.52	108.73	99.47	93.6	77.83	84.43	80.68	61.95	54.38	
Recycling - Curbside (tons)	25.52	19.23	27.07	24.3	25.33	22.4	28	28.16	13.48	21.58	28.42	
Recycling - Cardboard (tons)	8.95	11.15	10.71	5.29	14.27	12.21	12.27	12.96	16.08	7.97	12.58	
Recycling - Scrap Metal (tons)		3.28	5.31				9.3	6.08	0.6		11.85	
Recycling - Scrap tires (tons)	44 (.91)	102(2.10)	133 (2.74)	204 (4.21)	62 (1.28)	282(5.82)	33 (.68)	152 (3.14)	33 (.68)		121(2.50)	
Recycling - Glass (tons)	1.5	1.49	1.48	2.02	1.4	2.36	1.96	1.9	3.03	1.23	2.49	
Recycling - C & D (tons)												
95G Garbage carts (each)	51	47	68	44	51	59	57	57	53	35	47	
65G Recycling Carts (each)			296	344	213	248	171	48	15	25	24	
18G Recycling bins (each)	32	19	36	28	26	37	17	7	17	4	9	
Dumpsters (each)	5	3	3		4		3	1	1		2	
Lids & Rods (each)				3								
Cemetery Permits	13	7	6	9	11	13	8	9	4	9	6	



Note:
1,359.64 tons of trash /garbage collected and disposed.
112.17 tons of recycled materials collected, including scrap tires.

GARBAGE PICKUP

The City of Monroe Solid Waste Department will be running a modified garbage pickup schedule in January for Martin Luther King's, Jr. Birthday. Please note below any changes that will effect your garbage pickup day this week.

Martin Luther King, Jr. Birthday Schedule:

Monday, January 17, 2022 – No Collection

Tuesday, January 18, 2022 – Monday's Collection Route

Wednesday, January 19, 2022 – Tuesday's and Wednesday's Collection Routes

Thursday, January 20, 2022 – Thursday's Collection Route



**STREETS AND
TRANSPORTATION
DEPARTMENT
MONTHLY REPORT
JANUARY
2022**

Public Works Administration

November 2021

	Jan.	Feb.	March	April	May	June	July	Aug.	Sept.	Oct.	Nov.	Dec.	Total
Calls received	452	N/A	519	810	683	709	725	739	N/A	578	717		5932
Work orders received	91	84	130	187	161	196	165	153	108	115	115		1505
Work orders completed	80	82	126	186	153	178	154	147	103	102	107		1418
Permits received/approved -													
Road closure									1		2		3
Parade								1	2				3
Procession													0
Public demonstration													0
Assembly	1	1	2	4	3	2	2	7	7	9	6		44
Picket													0
Road race			1	1		1				2			5

Fleet Maintenance Division

*Repaired/Service vehicles or equipment for the following departments:

Department	Jan.	Feb.	March	April	May	June	July	Aug.	Sept.	Oct.	Nov.	Dec.	Total
Airport													0
City Hall													0
Code	1		2	1	1			1					6
Electric/Cable	5	4		7	4	1	2	3	5	7	7		45
Finance													0
Fire			2	2	1	1	1			4			11
Gas/Water/Sewer		5	8	5	5	2	2	3	2	6	3		41
GUTA		1								1			2
Meter Readers		2	2	4	1	1	3	4	3				20
Motor Pool													0
Police	17	16	21	15	17	16	18	19	18	9	16		182
Public Works	11	19	13	24	16	28	11	8	24	34	27		215
TOTAL	34	47	48	58	45	49	37	38	52	61	53	0	522

Street Division

- Removed litter from the right of way
- Right of way mowing
- Sidewalk repair
-City Wide

*Holiday lights in Childers Park

	January	February	March	April	May	June	July	August	September	October	November	December	Total
Utility Cuts				18.19	42.84	89.39	206.02	76.07	264.43	514.18			1211.1
Pot Holes													
Total Tons	0	0	0	18.19	42.84	89.39	206.02	76.07	264.43	514.18	0	0	1211.1

Stormwater

*Storm grate cleaning (City Wide)

	January	February	March	April	May	June	July	August	September	October	November	December	Total
Grates	74	31	47	45	28	46	78	180	134	168			831
Total Tons	0.23	0.13	0.12	0.14	0.16	0.2	0.2	0.44	0.4	0.39			2.32

*Catch basin maintenance/Structure Repair
-Magnolia Terrace

*Ditch maintenance
-McDaniel St

*CDBG 2020

*Storm pipe repair

*Holiday lights in Childers Park

Sign & Marking Division

• General maintenance:

	Jan.	Feb.	March	April	May	June	July	Aug.	Sept.	Oct.	Nov.	Dec.	Total
Signs repaired	8	6	14	7	11	6	7	11	2	9	2		83
Signs replaced	16	2	6	11	11	33	5	6	11	16	3		120
Sign post replaced/installed	14	1	14	24	19	9		3	9	14	14		121
New signs	32	24	34	35	27	38	41	43	24	23	20		341
Signs cleaned	4	6	5	8	6	4		6	4	6	3		52
Signs installed (new)	7		10	2	8	7	3	6	2	2	4		51
City emblems installed	1		4		2		2						9
In-lane pedestrian signs	2					2							4
Banners			6	8	7		3	6	5	5	1		41
Compaction Test													0
Traffic Studies	5	3	3	7	4	4	2		2				30
Parking Lot Striped					1	1		1	1		2		6
Speed hump installed				1	1	2			1	1			6
Crosswalk installed													0
Stop bars installed								1					1
Airport Maint.	12	7	10	8	8	9	6	9	7	8	4		88
Handicap Marking					2								2
Curb Striped					3								3
TOTAL	101	49	106	111	110	115	69	92	68	84	53	0	958



**WATER, SEWER & GAS
MONTHLY REPORT**

**JANUARY
2022**

2022 Project List

	<i>Estimated Start Date</i>	<i>Estimated Completion Date</i>	<i>Notes</i>	<i>Progress</i>	<i>Contractor or City</i>
Natural Gas					
Hwy 186 Gas main extension	Jan-21	Dec-21	6" main installed, river bore completed	Started	City
Hwy 83 Good Hope to Chandler Road main extension	Jun-22	Dec-22	Install 10,500' of 4" plastic gas main	Planning Stage	City
Chandler Road to Old Monroe-Madison Rd main extension	Jun-22	Dec-22	Install 15,000' of 4" plastic gas main/will serve 5 chicken houses	Planning Stage	City
Old Monroe-Madison Rd to Morgan County line	Jan-22	Jun-22	Install 23,000' of 4" plastic gas main/will serve 4 chicken houses	Material delivered	City
Victory Drive Gas Renewal	Jan-22	Dec-22	Replace 1500' of 2" steel with 2" plastic	Planning Stage	Planning
Harris & Lacy Streets Gas Renewal	Jan-22	Dec-22	Replace 2000' of 2" steel with 2" plastic	Planning Stage	Planning
Sewer Collection					
Alcovy River/Hwy 138 Sewer Extension	Jan-21	Dec-21	Gravity sewer installed and completed/waiting on pump station contractor to complete station	Awarded	Contractor
Sewer Treatment Plant					
2022 CDBG	21-Dec	23-Dec	Rehab of 6" sewer mains along Glen Iris, Stowers and sections of Bryant and Edwards Street	Design Phase	Carter & Sloope
Jacks Creek Plant Rehab	Sep-21	Sep-22	Work begun/Demo of influent building nearing completion	Awarded	Hofstadter
Water Distribution					
24" Raw Water Main / 20" Finished Water Main	Jan-21	Jan-22	EPD approval 7/26/21 / GDOT, Georgia Power, Transco permits submitted	Design Near Completion	Wiedeman & Singleton
S. Broad St main extension Mears St to John's Supermarket	May-21	Jun-21	Main installed from Mears Street to Walker Street	Crew has started	City
Water Treatment Plant					
500,000 gal elevated water tank @ Piedmont Industrial Park	Jul-21	Dec-22	Engineering in process	Design Phase	Carter & Sloope Wiedeman & Singleton
1,000,000 gallon clearwell @ WTP location	Jun-21	Oct-22	Construction of a new 1,000,000 gallon clearwell / crews test drill area 7/13/21	Design Phase	Singleton

2021 CIP Completion

3100' extension of 4" plastic gas main along Unisia Drive (City crews)
Hwy 11 South gas main renewal 3.8 miles of 4" steel replaced with 4" plastic (Contractor)
Water model of the water distribution system - Wiedeman & Singleton
Installed 4000' of 2" gas main in The Fields @ Alcovy Mountain to serve 61 lots (City crews)
Installed 1500' of 10" water main along Piedmont Industrial Parkway (City crews)
Installed 1000' of water main along Jim Daws Spur (City crews)
Installed 2800' of water main along Poplar Street to serve 4 homes and looped to provide pressure improvements (City crews)
Pipeburst 550' of 6" clay sewer main along S. Madison Ave. (City crews)
Pipeburst 400' of 6" clay sewer main along Church Street (City crews)
Installed 3500' of 20" water main along Cedar Ridge Rd (Contractor)
Purchased 2021 Ford F450 service body (Gas Department)
Installed 1750' of 2" plastic gas main on Holly Jones Rd (City crews)
Replace 3000' of bare steel 2" gas main along Carwood Drive (Contractor)
Emergency purchase of pump for Grand Haven subdivision (51,779.87 from Xylem Water Solutions)
Replaced 3000' of 2" gas main with 2" plastic on Southview, Reese, Bolton, Pierce, and Olympian Way (City crews)
Jacks Creek Road gas extension 3500' 2" plastic (City crews)
Saddle Creek Subdivision Jim Daws Rd/Wall Rd gas extension 3,500' 2" plastic (City crews)
Install 2800' of new 2" plastic main and 1500' of 2" steel main renewal (under runway) @ Poplar Street (City crews)
Raise 12 manholes along Jacks Creek located in flood area @ Gratis Rd/Birch St/Hwy 78 (City crews)
Monroe-Loganville 20" finished water main - pump station (Contractor)
Installed 4200' of 18" water main from plant to MAB Development (Contractor)
2018 CDBG replace sewer mains @ S Madison Ave, Stokes St, Knight St, Lawrence St, and Mill St (Contractor)
Installed 2"/4" plastic gas mains throughout MAB development/services installed as well (City crews)
Installed 4,900' of 2" gas main along Thurston Snow Rd in Good Hope (City crews)

WATER / WASTEWATER: MONTHLY DIRECTOR'S REPORT

REPORTING PERIOD: 11/2021 | FY 2021



COVER	1
OVERVIEW	2
SALES REPORT	3-4
SALES STATISTICS	5
DETAIL REVENUES	6
DETAIL EXPENSES	7-8

CITY OF MONROE: WATER & SEWER FUND OVERVIEW

271

	Jan 2021	Feb 2021	Mar 2021	Apr 2021	May 2021	Jun 2021	Jul 2021	Aug 2021	Sep 2021	Oct 2021	Nov 2021	Dec 2021	FY 2021	AS BUDGET	FY 2020
REVENUES	\$ 0.835M	\$ 0.981M	\$ 1.286M	\$ 0.815M	\$ 0.930M	\$ 0.906M	\$ 1.052M	\$ 1.074M	\$ 1.146M	\$ 1.065M	\$ 0.984M		\$ 11.073M	\$ 11.650M	\$ 10.158M
PERSONNEL COSTS	\$ 0.196M	\$ 0.195M	\$ 0.190M	\$ 0.334M	\$ 0.208M	\$ 0.195M	\$ 0.219M	\$ 0.214M	\$ 0.202M	\$ 0.263M	\$ 0.201M		\$ 2.419M	\$ 2.531M	\$ 2.137M
CONTRACTED SVC	\$ 0.011M	\$ 0.032M	\$ 0.025M	\$ 0.060M	\$ 0.037M	\$ 0.093M	\$ 0.064M	\$ 0.032M	\$ 0.044M	\$ 0.045M	\$ 0.041M		\$ 0.484M	\$ 1.395M	\$ 0.744M
SUPPLIES	\$ 0.079M	\$ 0.138M	\$ 0.158M	\$ 0.123M	\$ 0.135M	\$ 0.185M	\$ 0.164M	\$ 0.199M	\$ 0.175M	\$ 0.171M	\$ 0.139M		\$ 1.665M	\$ 1.916M	\$ 1.500M
CAPITAL OUTLAY	\$ 0.214M	\$ 0.220M	\$ 0.286M	\$ 0.271M	\$ 0.229M	\$ 0.238M	\$ 0.247M	\$ 0.232M	\$ 0.229M	\$ 0.347M	\$ 0.863M		\$ 3.378M	\$ 2.607M	\$ 2.066M
FUND TRANSFERS	\$ 0.048M	\$ 0.045M	\$ 0.045M	\$ 0.044M	\$ 0.044M	\$ 0.048M	\$ 0.050M	\$ 0.057M	\$ 0.056M	\$ 0.056M	\$ 0.056M		\$ 0.550M	\$ 1.559M	\$ 0.513M
DEPRECIATION	\$ 0.092M	\$ 0.092M	\$ 0.092M	\$ 0.088M	\$ 0.092M	\$ 0.091M	\$ 0.092M	\$ 0.092M	\$ 0.092M	\$ 0.168M	\$ 0.843M		\$ 1.832M	\$ -	\$ 0.972M
EXPENSES	\$ 0.639M	\$ 0.722M	\$ 0.796M	\$ 0.920M	\$ 0.745M	\$ 0.851M	\$ 0.836M	\$ 0.826M	\$ 0.798M	\$ 1.049M	\$ 2.143M		\$ 10.327M	\$ 10.009M	\$ 7.932M
MARGIN	\$ 0.195M	\$ 0.259M	\$ 0.489M	\$ (0.106M)	\$ 0.185M	\$ 0.055M	\$ 0.216M	\$ 0.248M	\$ 0.348M	\$ 0.016M	\$ (1.160M)		\$ 0.747M	\$ 1.641M	\$ 2.226M

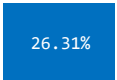
12-MO PROCESSED KGAL



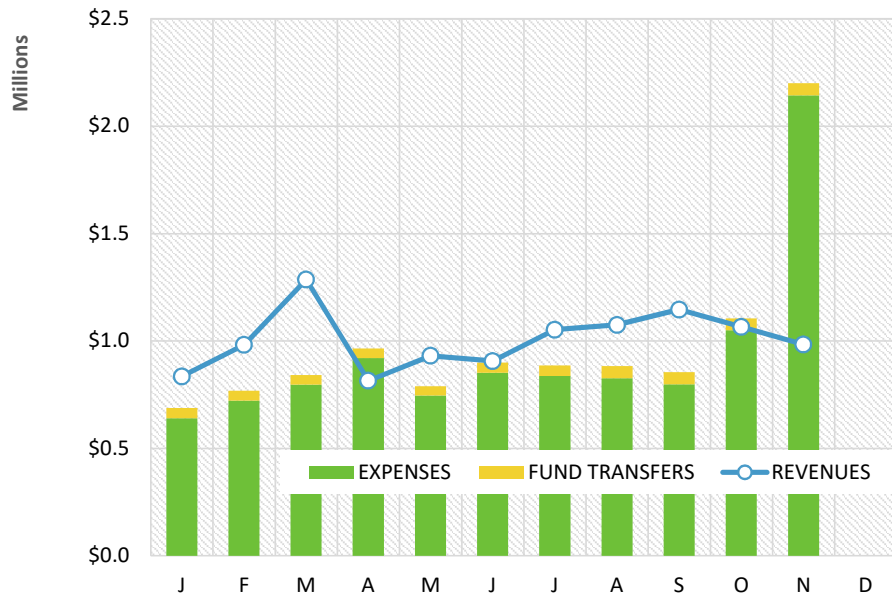
12-MO RETAIL KGAL



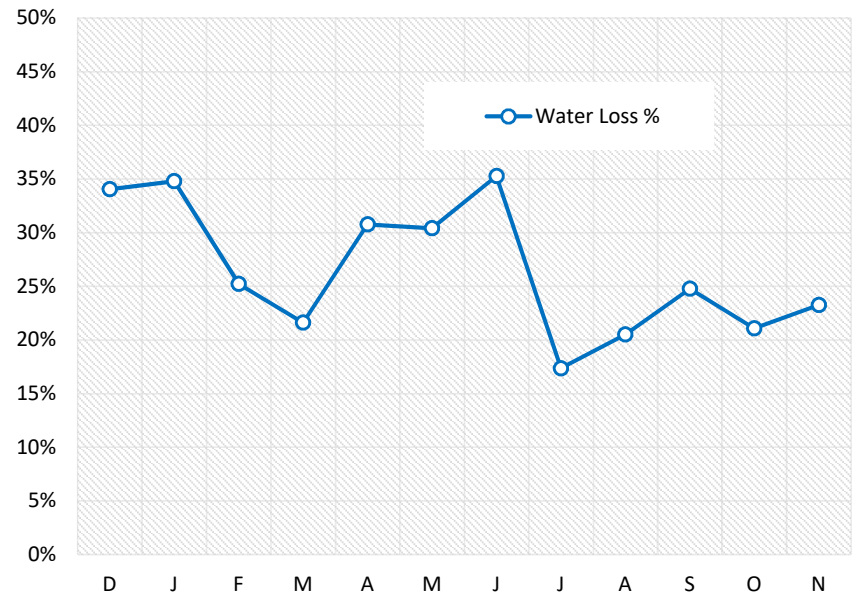
ROLLING 12-MO LINE LOSS



REVENUES vs. EXPENSES



MONTHLY WATER PROCESSED VS SOLD



RETAIL SALES REPORT

[Jan 2021](#)
[Feb 2021](#)
[Mar 2021](#)
[Apr 2021](#)
[May 2021](#)
[Jun 2021](#)
[Jul 2021](#)
[Aug 2021](#)
[Sep 2021](#)
[Oct 2021](#)
[Nov 2021](#)
[Dec 2021](#)

CUSTOMER COUNT - WATER

Residential	8,653	8,684	8,740	8,745	8,763	8,802	8,801	8,827	8,832	8,891	8,923
Commercial	939	947	939	943	948	958	965	965	964	970	969
Industrial	1	1	1	1	1	1	1	1	1	1	1
Water Authority	1	1	1	1	1	1	1	1	1	1	1
Residential Sprinkler	461	474	482	496	516	527	532	536	534	534	514
Commercial Sprinkler	83	85	87	84	85	85	85	85	85	85	85
Total	10,138	10,192	10,250	10,270	10,314	10,374	10,385	10,415	10,417	10,482	10,493

YOY Δ	0.40%	0.49%	0.32%	0.05%	0.18%	0.13%	-1.25%	-0.12%	-0.57%	-0.79%	-1.70%
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KGALLONS - WATER

Residential	34,525	35,039	32,670	32,123	34,850	36,901	41,724	41,795	41,839	42,099	40,009
Commercial	9,962	10,087	9,595	10,119	12,524	13,408	14,425	16,791	18,205	18,061	15,576
Industrial	1,295	2,502	1,584	1,395	1,094	1,659	1,090	1,117	1,193	1,523	2,568
Water Authority	-	22	-	15	92	5,257	20,674	12,024	7,095	7,409	2,765
Total	45,782	47,650	43,849	43,652	48,560	57,225	77,913	71,727	68,332	69,092	60,918

YOY Δ	1.58%	6.64%	-1.00%	0.69%	6.40%	10.47%	44.08%	15.45%	14.63%	21.20%	16.86%
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REVENUE - WATER

Residential	\$ 0.297M	\$ 0.303M	\$ 0.285M	\$ 0.281M	\$ 0.300M	\$ 0.318M	\$ 0.354M	\$ 0.355M	\$ 0.356M	\$ 0.362M	\$ 0.343M
Commercial	\$ 0.078M	\$ 0.075M	\$ 0.077M	\$ 0.080M	\$ 0.094M	\$ 0.099M	\$ 0.106M	\$ 0.118M	\$ 0.126M	\$ 0.122M	\$ 0.111M
Industrial	\$ 0.005M	\$ 0.010M	\$ 0.007M	\$ 0.006M	\$ 0.005M	\$ 0.007M	\$ 0.005M	\$ 0.005M	\$ 0.005M	\$ 0.006M	\$ 0.011M
Water Authority	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.000M	\$ 0.001M	\$ 0.021M	\$ 0.084M	\$ 0.049M	\$ 0.029M	\$ 0.030M	\$ 0.011M
Total	\$ 0.380M	\$ 0.388M	\$ 0.369M	\$ 0.367M	\$ 0.399M	\$ 0.445M	\$ 0.548M	\$ 0.527M	\$ 0.515M	\$ 0.521M	\$ 0.477M

YOY Δ	2.13%	6.08%	1.94%	2.60%	6.29%	7.64%	25.86%	9.91%	8.05%	16.41%	13.22%
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RETAIL SALES REPORT

[Jan 2021](#)
[Feb 2021](#)
[Mar 2021](#)
[Apr 2021](#)
[May 2021](#)
[Jun 2021](#)
[Jul 2021](#)
[Aug 2021](#)
[Sep 2021](#)
[Oct 2021](#)
[Nov 2021](#)
[Dec 2021](#)

CUSTOMER COUNT - SEWER

Residential	6,635	6,660	6,707	6,702	6,710	6,737	6,753	6,776	6,779	6,813	6,830
Commercial	782	793	783	786	791	793	799	799	805	813	814
Water Authority	1	1	1	1	1	1	1	1	1	1	1
Total	7,418	7,454	7,491	7,489	7,502	7,531	7,553	7,576	7,585	7,627	7,645
YOY Δ	3.33%	3.40%	3.32%	2.96%	3.13%	3.05%	4.38%	3.45%	3.13%	3.37%	2.96%

KGALLONS - SEWER

Residential	34,525	35,039	32,670	32,123	34,850	36,901	41,724	41,795	41,839	42,099	40,009
Commercial	9,962	10,087	9,595	10,119	12,524	13,408	14,425	16,791	18,205	18,061	15,576
Water Authority	-	22	-	15	92	5,257	20,674	12,024	7,095	7,409	2,765
Total	44,487	45,148	42,265	42,257	47,466	55,566	76,823	70,610	67,139	67,569	58,350
YOY Δ	2.32%	5.02%	-0.23%	1.04%	7.67%	10.38%	46.12%	16.36%	15.00%	20.31%	14.78%

REVENUE - SEWER

Residential	\$ 0.211M	\$ 0.210M	\$ 0.205M	\$ 0.204M	\$ 0.210M	\$ 0.212M	\$ 0.138M	\$ 0.223M	\$ 0.224M	\$ 0.229M	\$ 0.225M
Commercial	\$ 0.117M	\$ 0.120M	\$ 0.118M	\$ 0.122M	\$ 0.142M	\$ 0.141M	\$ 0.138M	\$ 0.163M	\$ 0.142M	\$ 0.144M	\$ 0.148M
Water Authority	\$ 0.001M	\$ 0.001M	\$ 0.001M	\$ 0.001M	\$ 0.001M	\$ 0.002M	\$ 0.002M	\$ 0.002M	\$ 0.002M	\$ 0.002M	\$ 0.002M
Total	\$ 0.328M	\$ 0.331M	\$ 0.324M	\$ 0.327M	\$ 0.353M	\$ 0.354M	\$ 0.278M	\$ 0.388M	\$ 0.369M	\$ 0.376M	\$ 0.375M
YOY Δ	0.37%	1.68%	-1.21%	1.91%	14.47%	12.01%	-17.80%	9.34%	2.92%	4.31%	9.04%

SALES STATISTICS

[Jan 2021](#)
[Feb 2021](#)
[Mar 2021](#)
[Apr 2021](#)
[May 2021](#)
[Jun 2021](#)
[Jul 2021](#)
[Aug 2021](#)
[Sep 2021](#)
[Oct 2021](#)
[Nov 2021](#)
[Dec 2021](#)
[YTD](#)

AVERAGE KGALLONS/CUSTOMER (WATER)

Residential	4	4	4	4	4	4	5	5	5	5	4	4
Commercial	11	11	10	11	13	14	15	17	19	19	16	14
Industrial	1,295	2,502	1,584	1,395	1,094	1,659	1,090	1,117	1,193	1,523	2,568	1,547
Water Authority	-	22	-	15	92	5,257	20,674	12,024	7,095	7,409	2,765	5,032

AVERAGE \$/CUSTOMER (WATER)

Residential	\$34	\$35	\$33	\$32	\$34	\$36	\$40	\$40	\$40	\$41	\$38	\$37
Commercial	\$83	\$79	\$82	\$84	\$99	\$103	\$109	\$122	\$130	\$126	\$115	\$103
Industrial	\$5,401	\$10,277	\$6,568	\$5,805	\$4,589	\$6,871	\$4,572	\$4,681	\$4,988	\$6,322	\$10,543	\$6,420
Water Authority	\$169	\$258	\$169	\$229	\$540	\$21,407	\$83,692	\$48,746	\$28,833	\$30,101	\$11,339	\$20,498

AVERAGE \$/KGALLON (WATER)

Residential	\$8.5939	\$8.6461	\$8.7351	\$8.7626	\$8.6174	\$8.6127	\$8.4797	\$8.5017	\$8.5082	\$8.5998	\$8.5834	\$8.6037
Commercial	\$7.8103	\$7.3874	\$8.0235	\$7.8586	\$7.4857	\$7.3756	\$7.3201	\$7.0326	\$6.8962	\$6.7684	\$7.1474	\$7.3733
Industrial	\$4.1703	\$4.1074	\$4.1465	\$4.1610	\$4.1943	\$4.1417	\$4.1948	\$4.1911	\$4.1815	\$4.1508	\$4.1057	\$4.1586
Water Authority		\$11.7105		\$15.2900	\$5.8742	\$4.0721		\$4.0540	\$4.0638	\$4.0628	\$4.1010	\$6.6536
Average	\$6.8582	\$7.9628	\$6.9684	\$9.0180	\$6.5429	\$6.0505	\$6.6649	\$5.9448	\$5.9124	\$5.8954	\$5.9844	\$6.7093

AVERAGE KGALLONS/CUSTOMER (SEWER)

Residential	5	5	5	5	5	5	6	6	6	6	6	6
Commercial	13	13	12	13	16	17	18	21	23	22	19	17
Water Authority	-	22	-	15	92	5,257	20,674	12,024	7,095	7,409	2,765	5,032

AVERAGE \$/CUSTOMER (SEWER)

Residential	\$32	\$32	\$31	\$30	\$31	\$31	\$20	\$33	\$33	\$34	\$33	\$31
Commercial	\$149	\$151	\$150	\$155	\$180	\$178	\$173	\$204	\$177	\$177	\$181	\$171
Water Authority	\$1,247	\$1,380	\$1,333	\$1,237	\$1,210	\$1,604	\$1,626	\$1,706	\$2,159	\$1,913	\$1,951	\$1,579

AVERAGE \$/KGALLON (SEWER)

Residential	\$6.0971	\$5.9879	\$6.2885	\$6.3392	\$6.0164	\$5.7406	\$3.3098	\$5.3381	\$5.3571	\$5.4511	\$5.6321	\$5.5962
Commercial	\$11.7091	\$11.8748	\$12.2610	\$12.0612	\$11.3684	\$10.5134	\$9.5737	\$9.7094	\$7.8237	\$7.9827	\$9.4844	\$10.3965
Water Authority		\$62.7486		\$82.4373		\$0.3052		\$0.1418	\$0.3042	\$0.2583	\$0.7055	\$20.9859
Average	\$8.9031	\$26.8705	\$9.2747	\$33.6126	\$8.6924	\$5.5197	\$6.4417	\$5.0631	\$4.4950	\$4.5640	\$5.2740	\$10.7919

MOST RECENT
12-MONTH

Nov 2021 Nov 2020 FY2021 YTD FY2020 YTD

SALES REVENUES

WATER SALES	\$	460,165	\$	413,121	\$	4,868,839	\$	4,455,542	\$	5,279,813
SEWER SALES	\$	366,942	\$	337,976	\$	3,830,149	\$	3,631,860	\$	4,173,418
SALES REVENUES (ACTUAL)	\$	827,108	\$	751,097	\$	8,698,988	\$	8,087,403	\$	9,453,231
AS BUDGET	\$	811,667	\$	758,333	\$	8,928,333	\$	8,341,667		Not Applicable
% ACTUAL TO BUDGET		101.90%		99.05%		97.43%		96.95%		Not Applicable

OTHER REVENUES

WATER

OP REVENUE	\$	261	\$	233	\$	2,094	\$	1,573	\$	112
MISC REVENUE	\$	11,316	\$	6,105	\$	72,695	\$	63,012	\$	7,843
SALE OF FIXED ASSETS	\$	-	\$	-	\$	-	\$	-	\$	-
TAP FEES	\$	58,445	\$	16,150	\$	754,270	\$	572,192	\$	61,800
REIMB DAMAGE PROP	\$	-	\$	-	\$	1,533	\$	-	\$	-
OTHER REV	\$	-	\$	-	\$	-	\$	-	\$	-
	\$	-	\$	-	\$	-	\$	-	\$	-
ADMIN ALLOC WATER	\$	14,109	\$	12,424	\$	120,678	\$	126,426	\$	33,070
INT/INVEST INCOME	\$	-	\$	-	\$	-	\$	-	\$	-
STATE GRANTS	\$	-	\$	-	\$	-	\$	-	\$	-
FEDERAL GRANT	\$	-	\$	-	\$	-	\$	-	\$	-
TRANSFER FROM CIP_WATER	\$	-	\$	-	\$	-	\$	-	\$	-
OTHER REVENUES (WATER)	\$	84,131	\$	34,912	\$	951,269	\$	763,203	\$	102,825

SEWER

OP REVENUE	\$	16,318	\$	21,605	\$	288,973	\$	207,198	\$	33,600
FEDERAL GRANT	\$	-	\$	-	\$	-	\$	-	\$	-
MISC REVENUE	\$	-	\$	(79)	\$	74	\$	17,125	\$	-
TAP FEES	\$	42,000	\$	7,000	\$	1,013,250	\$	951,464	\$	51,000
SALE OF ASSETS - SEWAGE	\$	-	\$	-	\$	-	\$	-	\$	-
CUST ACCT FEES	\$	-	\$	-	\$	-	\$	-	\$	-
OTHER REV	\$	-	\$	-	\$	-	\$	-	\$	-
FEDERAL GRANT CDBG 2018	\$	-	\$	-	\$	-	\$	-	\$	-
ADMIN ALLOC SEW COLLECT	\$	-	\$	-	\$	-	\$	-	\$	-
OTHER - UTILITY	\$	-	\$	-	\$	-	\$	5,220	\$	-
INT/INVEST INCOME	\$	-	\$	-	\$	-	\$	-	\$	-
STATE GRANTS	\$	-	\$	-	\$	-	\$	-	\$	-
TRANSFER FROM CIP_SEWER	\$	-	\$	-	\$	-	\$	-	\$	-
ADMIN ALLOC SEWAGE	\$	14,109	\$	12,424	\$	120,678	\$	126,426	\$	33,070
OTHER REVENUES (SEWER)	\$	72,427	\$	40,950	\$	1,422,974	\$	1,307,433	\$	117,670

OTHER REVENUES (TOTAL)	\$	156,557	\$	75,862	\$	2,374,243	\$	2,070,636	\$	220,496
AS BUDGET	\$	148,798	\$	126,768	\$	1,636,779	\$	1,394,443		Not Applicable
% ACTUAL TO BUDGET		105.21%		59.84%		145.06%		148.49%		Not Applicable

TOTAL REVENUES (ACTUAL)	\$	983,665	\$	826,960	\$	11,073,231	\$	10,158,039	\$	9,673,726
AS BUDGET	\$	960,465	\$	885,101	\$	10,565,112	\$	9,736,109		Not Applicable
% ACTUAL TO BUDGET		102.42%		93.43%		104.81%		104.33%		Not Applicable

	Nov 2021	Nov 2020	FY2021 YTD	FY2020 YTD	12-MONTH
PERSONNEL	\$ 201,035	\$ 212,573	\$ 2,418,604	\$ 2,137,313	\$ 2,575,374
CONTRACTED SERVICES	\$ 41,313	\$ 38,449	\$ 484,395	\$ 744,468	\$ 585,005
SUPPLIES	\$ 139,013	\$ 134,613	\$ 1,664,510	\$ 1,501,039	\$ 1,883,600
CAPITAL OUTLAY	\$ 112,237	\$ 573,106	\$ 2,550,763	\$ 2,436,671	\$ 3,100,359
FUND TRANSFERS	\$ 56,281	\$ 51,851	\$ 549,557	\$ 512,874	\$ 603,525
DEPRECIATION	\$ 1,593,357	\$ 89,243	\$ 2,658,823	\$ 971,719	\$ 2,658,823
TOTAL	\$ 2,143,236	\$ 1,099,834	\$ 10,326,654	\$ 8,304,084	\$ 11,406,686

WATER

WATER TREATMENT PLANT

PERSONNEL					
Compensation	\$ 34,927	\$ 29,514	\$ 404,668	\$ 282,809	\$ 439,634
PERSONNEL (ACTUAL)	\$ 54,749	\$ 46,646	\$ 605,979	\$ 451,324	\$ 658,847
AS BUDGET	\$ 53,887	\$ 48,774	\$ 592,762	\$ 536,509	Not Applicable
% ACTUAL TO BUDGET	101.60%	95.64%	102.23%	84.12%	Not Applicable
CONTRACTED SERVICES					
CONTRACTED SERVICES (ACTUAL)	\$ 11,818	\$ 8,437	\$ 117,666	\$ 153,209	\$ 156,541
AS BUDGET	\$ 23,763	\$ 24,693	\$ 261,388	\$ 271,627	Not Applicable
% ACTUAL TO BUDGET	49.73%	34.17%	45.02%	56.40%	Not Applicable
SUPPLIES					
SUPPLIES (ACTUAL)	\$ 45,863	\$ 48,652	\$ 632,031	\$ 530,710	\$ 703,657
AS BUDGET	\$ 57,921	\$ 52,138	\$ 637,129	\$ 573,513	Not Applicable
% ACTUAL TO BUDGET	79.18%	93.31%	99.20%	92.54%	Not Applicable
CAPITAL OUTLAY					
Capital Expenditures	\$ -	\$ -	\$ -	\$ -	\$ -
CAPITAL OUTLAY (ACTUAL)	\$ 104,961	\$ 472,273	\$ 1,812,736	\$ 1,406,612	\$ 2,328,199
AS BUDGET	\$ 85,194	\$ 78,614	\$ 937,135	\$ 864,751	Not Applicable
% ACTUAL TO BUDGET	123.20%	600.75%	193.43%	162.66%	Not Applicable
DEPRECIATION					
DEPRECIATION (ACTUAL)	\$ 89,114	\$ 87,059	\$ 982,327	\$ 954,776	\$ 982,327
FUND TRANSFERS					
FUND TRANSFERS (ACTUAL)	\$ 32,128	\$ 28,633	\$ 304,516	\$ 279,869	\$ 334,013
AS BUDGET	\$ 70,832	\$ 66,360	\$ 779,151	\$ 729,964	Not Applicable
% ACTUAL TO BUDGET	45.36%	43.15%	39.08%	38.34%	Not Applicable

WATER DISTRIBUTION SYSTEM

PERSONNEL					
PERSONNEL (ACTUAL)	\$ 46,728	\$ 53,231	\$ 716,208	\$ 548,856	\$ 699,358
AS BUDGET	\$ 63,678	\$ 50,449	\$ 700,456	\$ 554,941	Not Applicable
% ACTUAL TO BUDGET	73.38%	105.51%	102.25%	98.90%	Not Applicable
CONTRACTED SERVICES					
CONTRACTED SERVICES (ACTUAL)	\$ 2,353	\$ 6,831	\$ 78,302	\$ 71,964	\$ 83,616
AS BUDGET	\$ 15,629	\$ 14,879	\$ 171,921	\$ 163,671	Not Applicable
% ACTUAL TO BUDGET	15.06%	45.91%	45.55%	43.97%	Not Applicable
SUPPLIES					
SUPPLIES (ACTUAL)	\$ 22,623	\$ 26,508	\$ 335,226	\$ 280,947	\$ 391,361
AS BUDGET	\$ 24,604	\$ 23,342	\$ 270,646	\$ 256,758	Not Applicable
% ACTUAL TO BUDGET	91.95%	113.56%	123.86%	109.42%	Not Applicable
CAPITAL OUTLAY					
CAPITAL OUTLAY (ACTUAL)	\$ -	\$ -	\$ -	\$ -	\$ -
AS BUDGET	\$ -	\$ -	\$ -	\$ -	Not Applicable
% ACTUAL TO BUDGET	0.00%	0.00%	0.00%	0.00%	Not Applicable
TOTAL WATER EXPENSES (ACTUAL)					
TOTAL WATER EXPENSES (ACTUAL)	\$ 410,337	\$ 778,270	\$ 5,584,991	\$ 4,678,266	\$ 6,337,919
AS BUDGET	\$ 395,508	\$ 359,248	\$ 4,350,587	\$ 3,951,733	Not Applicable
% ACTUAL TO BUDGET	103.75%	216.64%	128.37%	118.39%	Not Applicable

Nov 2021 Nov 2020 FY2021 YTD FY2020 YTD 12-MONTH

WASTEWATER

STORMWATER

PERSONNEL

PERSONNEL (ACTUAL)	\$	17,042	\$	35,286	\$	203,529	\$	298,300	\$	242,705
AS BUDGET	\$	15,550	\$	30,591	\$	171,055	\$	336,504		Not Applicable
% ACTUAL TO BUDGET		109.59%		115.35%		118.99%		88.65%		Not Applicable

CONTRACTED SERVICES

CONTRACTED SERVICES (ACTUAL)	\$	1,579	\$	3,470	\$	10,437	\$	41,098	\$	15,630
AS BUDGET	\$	8,001	\$	8,446	\$	88,009	\$	92,904		Not Applicable
% ACTUAL TO BUDGET		19.74%		41.08%		11.86%		44.24%		Not Applicable

SUPPLIES

SUPPLIES (ACTUAL)	\$	1,795	\$	2,708	\$	34,539	\$	34,282	\$	41,312
AS BUDGET	\$	57,921	\$	52,138	\$	637,129	\$	573,513		Not Applicable
% ACTUAL TO BUDGET		3.10%		5.19%		5.42%		5.98%		Not Applicable

CAPITAL OUTLAY

Capital Expenditures	\$	-	\$	-	\$	-	\$	-	\$	-
CAPITAL OUTLAY (ACTUAL)	\$	7,276	\$	100,833	\$	738,027	\$	1,030,059	\$	772,160
AS BUDGET	\$	132,086	\$	124,431	\$	1,452,948	\$	1,368,740		Not Applicable
% ACTUAL TO BUDGET		5.51%		81.04%		50.80%		75.26%		Not Applicable

Depreciation Expense [Stormwater]	\$	2,835	\$	2,183	\$	22,416	\$	16,943	\$	22,416
Depreciation Expense [Sewage]	\$	750,704	\$	-	\$	827,040	\$	-	\$	827,040

DEPRECIATION

DEPRECIATION (ACTUAL)	\$	753,539	\$	2,183	\$	849,456	\$	16,943	\$	849,456
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SEWAGE

FUND TRANSFERS

FUND TRANSFERS (ACTUAL)	\$	24,154	\$	23,218	\$	245,042	\$	233,005	\$	269,513
AS BUDGET	\$	59,125	\$	52,800	\$	650,375	\$	580,800		Not Applicable
% ACTUAL TO BUDGET		40.85%		43.97%		37.68%		40.12%		Not Applicable

DEPRECIATION	\$	750,704	\$	-	\$	827,040	\$	-	\$	827,040
DEPRECIATION (ACTUAL)	\$	750,704	\$	-	\$	827,040	\$	-	\$	827,040

SEWAGE COLLECTION

PERSONNEL

PERSONNEL (ACTUAL)	\$	41,844	\$	37,910	\$	432,328	\$	398,619	\$	470,645
AS BUDGET	\$	39,237	\$	42,418	\$	431,612	\$	466,595		Not Applicable
% ACTUAL TO BUDGET		106.64%		89.37%		100.17%		85.43%		Not Applicable

CONTRACTED SERVICES

CONTRACTED SERVICES (ACTUAL)	\$	2,144	\$	3,239	\$	64,013	\$	65,953	\$	75,729
AS BUDGET	\$	8,313	\$	8,040	\$	91,438	\$	88,435		Not Applicable
% ACTUAL TO BUDGET		25.79%		40.28%		70.01%		74.58%		Not Applicable

SUPPLIES

SUPPLIES (ACTUAL)	\$	12,410	\$	5,404	\$	97,821	\$	93,372	\$	110,106
AS BUDGET	\$	10,179	\$	9,904	\$	111,971	\$	108,946		Not Applicable
% ACTUAL TO BUDGET		121.92%		54.56%		87.36%		85.70%		Not Applicable

SEWAGE TREATMENT

PERSONNEL

PERSONNEL (ACTUAL)	\$	40,673	\$	39,501	\$	460,560	\$	440,214	\$	503,820
AS BUDGET	\$	38,559	\$	37,113	\$	424,145	\$	408,248		Not Applicable
% ACTUAL TO BUDGET		105.48%		106.43%		108.59%		107.83%		Not Applicable

CONTRACTED SERVICES

CONTRACTED SERVICES (ACTUAL)	\$	23,417	\$	16,473	\$	213,978	\$	412,244	\$	253,489
AS BUDGET	\$	60,517	\$	55,138	\$	665,683	\$	606,513		Not Applicable
% ACTUAL TO BUDGET		38.70%		29.88%		32.14%		67.97%		Not Applicable

SUPPLIES

SUPPLIES (ACTUAL)	\$	56,321	\$	51,342	\$	564,893	\$	561,728	\$	637,164
AS BUDGET	\$	58,604	\$	54,530	\$	644,646	\$	599,834		Not Applicable
% ACTUAL TO BUDGET		96.10%		94.15%		87.63%		93.65%		Not Applicable

TOTAL EXPENSES (ACTUAL)	\$	1,732,899	\$	321,564	\$	4,741,662	\$	3,625,818	\$	5,068,767
AS BUDGET	\$	488,092	\$	475,548	\$	5,369,010	\$	5,231,030		Not Applicable
% ACTUAL TO BUDGET		355.04%		67.62%		88.32%		69.31%		Not Applicable

NATURAL GAS MONTHLY DIRECTOR'S REPORT

REPORTING PERIOD: 11/2021 | FY 2021



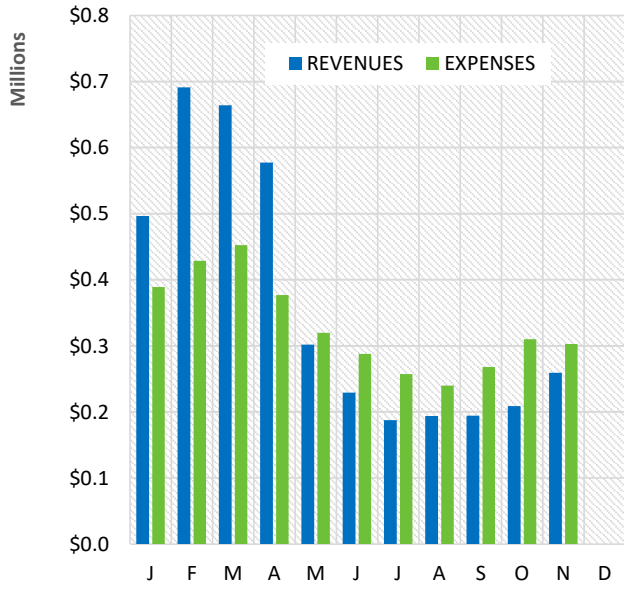
COVER	1
OVERVIEW	2
SALES REPORT	3
SALES STATISTICS	4
POWER SUPPLY	5
DETAIL REVENUES	6
DETAIL EXPENSES	7-9

CITY OF MONROE: NATURAL GAS FUND OVERVIEW

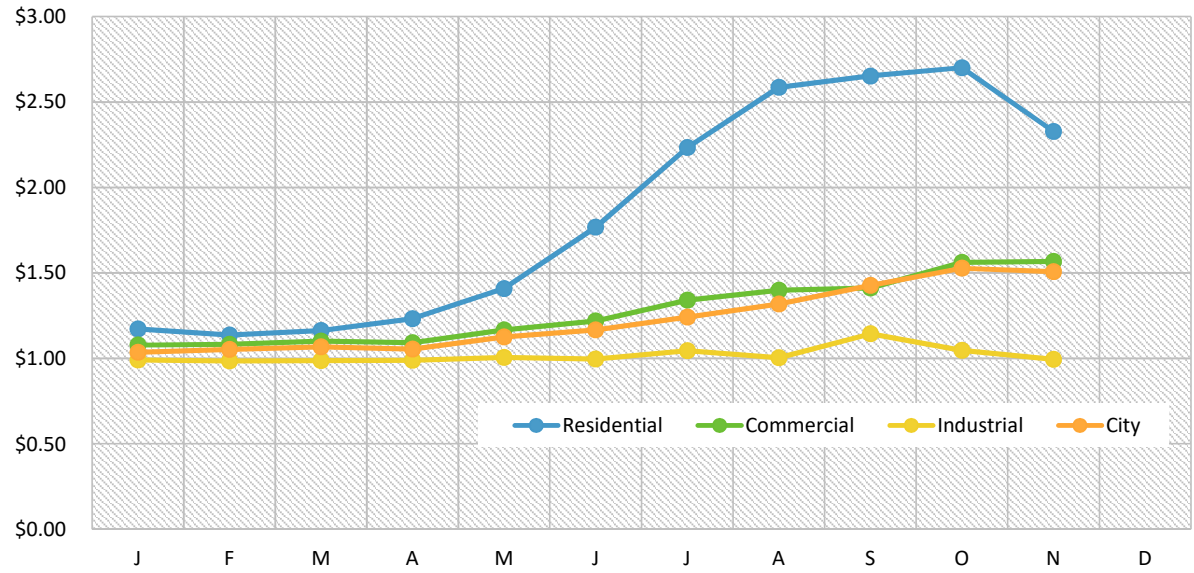
	Jan 2021	Feb 2021	Mar 2021	Apr 2021	May 2021	Jun 2021	Jul 2021	Aug 2021	Sep 2021	Oct 2021	Nov 2021	Dec 2021	FY 2021	AS BUDGET	FY 2020
REVENUES	\$ 0.496M	\$ 0.691M	\$ 0.664M	\$ 0.578M	\$ 0.302M	\$ 0.229M	\$ 0.188M	\$ 0.194M	\$ 0.194M	\$ 0.209M	\$ 0.259M		\$ 4.003M	\$ 3.733M	\$ 3.354M
PERSONNEL COSTS	\$ 0.048M	\$ 0.046M	\$ 0.047M	\$ 0.066M	\$ 0.057M	\$ 0.044M	\$ 0.059M	\$ 0.048M	\$ 0.055M	\$ 0.074M	\$ 0.065M		\$ 0.609M	\$ 0.608M	\$ 0.252M
CONTRACTED SVC	\$ 0.007M	\$ 0.015M	\$ 0.025M	\$ 0.012M	\$ 0.020M	\$ 0.030M	\$ (0.000M)	\$ 0.004M	\$ 0.008M	\$ 0.015M	\$ 0.029M		\$ 0.165M	\$ 0.215M	\$ 0.139M
SUPPLIES	\$ 0.238M	\$ 0.257M	\$ 0.224M	\$ 0.150M	\$ 0.128M	\$ 0.103M	\$ 0.091M	\$ 0.088M	\$ 0.107M	\$ 0.104M	\$ 0.168M		\$ 1.657M	\$ 1.501M	\$ 1.269M
CAPITAL OUTLAY	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -
FUND TRANSFERS	\$ 0.096M	\$ 0.111M	\$ 0.157M	\$ 0.149M	\$ 0.115M	\$ 0.110M	\$ 0.108M	\$ 0.100M	\$ 0.098M	\$ 0.117M	\$ 0.040M		\$ 1.200M	\$ 1.340M	\$ 1.304M
EXPENSES	\$ 0.389M	\$ 0.429M	\$ 0.452M	\$ 0.377M	\$ 0.320M	\$ 0.288M	\$ 0.257M	\$ 0.240M	\$ 0.268M	\$ 0.310M	\$ 0.303M		\$ 3.632M	\$ 3.665M	\$ 2.964M
MARGIN	\$ 0.108M	\$ 0.262M	\$ 0.212M	\$ 0.201M	\$ (0.018M)	\$ (0.059M)	\$ (0.070M)	\$ (0.046M)	\$ (0.074M)	\$ (0.101M)	\$ (0.044M)		\$ 0.372M	\$ 0.069M	\$ 0.390M



REVENUES vs. EXPENSES



AVERAGE \$/CCF



RETAIL SALES REPORT

Jan 2021 Feb 2021 Mar 2021 Apr 2021 May 2021 Jun 2021 Jul 2021 Aug 2021 Sep 2021 Oct 2021 Nov 2021 Dec 2021

280

CUSTOMER COUNT

Residential	3,437	3,451	3,472	3,478	3,489	3,493	3,503	3,523	3,535	3,544	3,551
Commercial	555	556	554	559	563	565	568	570	572	575	582
Industrial	6	7	7	7	7	7	7	8	7	7	7
City	21	21	21	21	21	20	20	20	20	20	20
Total	4,021	4,037	4,056	4,067	4,082	4,087	4,100	4,123	4,136	4,148	4,162
Year-Over-Year Δ	3.39%	3.51%	3.36%	3.59%	4.37%	4.13%	4.19%	4.59%	4.60%	4.40%	4.49%

CCF

Residential	0.248M	0.337M	0.321M	0.199M	0.108M	0.058M	0.036M	0.029M	0.029M	0.030M	0.044M
Commercial	0.140M	0.215M	0.189M	0.139M	0.093M	0.069M	0.052M	0.051M	0.054M	0.055M	0.065M
Industrial	0.012M	0.024M	0.022M	0.017M	0.005M	0.009M	0.002M	0.006M	0.001M	0.002M	0.010M
City	0.012M	0.018M	0.016M	0.009M	0.005M	0.004M	0.003M	0.003M	0.002M	0.002M	0.003M
Total	0.430M	0.606M	0.565M	0.383M	0.229M	0.154M	0.108M	0.101M	0.101M	0.101M	0.136M
Year-Over-Year Δ	1.98%	36.37%	19.41%	18.81%	39.43%	11.71%	0.96%	13.10%	14.36%	-5.40%	8.60%

REVENUE

Residential	\$ 0.291M	\$ 0.383M	\$ 0.373M	\$ 0.245M	\$ 0.152M	\$ 0.102M	\$ 0.081M	\$ 0.075M	\$ 0.076M	\$ 0.080M	\$ 0.103M
Commercial	\$ 0.151M	\$ 0.233M	\$ 0.208M	\$ 0.152M	\$ 0.109M	\$ 0.083M	\$ 0.070M	\$ 0.071M	\$ 0.076M	\$ 0.085M	\$ 0.101M
Industrial	\$ 0.012M	\$ 0.023M	\$ 0.021M	\$ 0.017M	\$ 0.005M	\$ 0.009M	\$ 0.002M	\$ 0.006M	\$ 0.001M	\$ 0.002M	\$ 0.010M
Other	\$ 0.016M	\$ 0.012M	\$ 0.016M	\$ 0.016M	\$ 0.016M	\$ 0.015M	\$ 0.015M	\$ 0.014M	\$ 0.017M	\$ 0.016M	\$ 0.018M
City	\$ 0.012M	\$ 0.019M	\$ 0.017M	\$ 0.010M	\$ 0.006M	\$ 0.004M	\$ 0.004M	\$ 0.004M	\$ 0.003M	\$ 0.004M	\$ 0.005M
Total	\$ 0.482M	\$ 0.670M	\$ 0.635M	\$ 0.441M	\$ 0.289M	\$ 0.213M	\$ 0.172M	\$ 0.169M	\$ 0.172M	\$ 0.187M	\$ 0.237M
Year-Over-Year Δ	6.11%	44.53%	31.29%	29.07%	42.69%	19.97%	17.49%	26.55%	24.92%	21.80%	38.97%

SALES STATISTICS

[Jan 2021](#)
[Feb 2021](#)
[Mar 2021](#)
[Apr 2021](#)
[May 2021](#)
[Jun 2021](#)
[Jul 2021](#)
[Aug 2021](#)
[Sep 2021](#)
[Oct 2021](#)
[Nov 2021](#)
[Dec 2021](#)

YTD 281

AVERAGE CCF/CUSTOMER

Residential	72	98	92	57	31	16	10	8	8	8	12	38
Commercial	253	387	341	249	166	121	92	89	94	95	111	182
Industrial	1,948	3,362	3,094	2,499	766	1,284	296	750	118	292	1,474	1,444
City	557	843	755	448	256	180	171	138	91	115	170	339

AVERAGE \$/CUSTOMER

Residential	\$85	\$111	\$107	\$71	\$44	\$29	\$23	\$21	\$21	\$23	\$29	\$51
Commercial	\$272	\$419	\$375	\$272	\$194	\$148	\$123	\$124	\$133	\$148	\$174	\$217
Industrial	\$1,928	\$3,311	\$3,052	\$2,468	\$770	\$1,278	\$309	\$751	\$135	\$306	\$1,464	\$1,434
City	\$576	\$887	\$806	\$473	\$288	\$209	\$212	\$181	\$130	\$176	\$257	\$381

AVERAGE \$/CCF

Residential	\$1.1711	\$1.1364	\$1.1619	\$1.2314	\$1.4075	\$1.7667	\$2.2339	\$2.5854	\$2.6518	\$2.7003	\$2.3277	\$1.8522
Commercial	\$1.0772	\$1.0810	\$1.0999	\$1.0906	\$1.1663	\$1.2182	\$1.3405	\$1.3980	\$1.4111	\$1.5603	\$1.5674	\$1.2737
Industrial	\$0.9898	\$0.9849	\$0.9862	\$0.9877	\$1.0052	\$0.9950	\$1.0452	\$1.0025	\$1.1432	\$1.0460	\$0.9931	\$1.0163
City	\$1.0356	\$1.0524	\$1.0672	\$1.0546	\$1.1243	\$1.1656	\$1.2402	\$1.3183	\$1.4260	\$1.5266	\$1.5067	\$1.2289
Average	\$1.0684	\$1.0637	\$1.0788	\$1.0911	\$1.1758	\$1.2864	\$1.4650	\$1.5760	\$1.6580	\$1.7083	\$1.5987	\$1.3427

	Nov 2021	Nov 2020	FY2021 YTD	FY2020 YTD	MOST RECENT 12-MONTH
Natural Gas Supply Cost					
Capacity Reservation Fees	\$ 42,689	\$ 42,753	\$ 465,697	\$ 552,703	\$ 514,753
Demand Storage/Peaking Services	\$ 2,215	\$ 2,215	\$ 23,932	\$ 19,891	\$ 26,076
Supply Charges	\$ 102,199	\$ 30,243	\$ 974,175	\$ 539,019	\$ 1,062,770
Gas Authority Supply Charges	\$ 3,346	\$ 3,637	\$ 49,759	\$ 48,433	\$ 55,176
Gas Authority Charges	\$ 4,015	\$ 3,871	\$ (67,901)	\$ (92,917)	\$ (91,365)
P.A.C.E	300	300	3,300	3,300	3,600
APGA Annual Dues	-	-	3,368	3,297	3,368
Other	2,901	1,815	28,855	27,364	31,314
TOTAL MGAG BILL	\$ 157,665	\$ 84,833	\$ 1,481,184	\$ 1,101,090	\$ 1,605,692

DELIVERED SUPPLY

Volume CCF	172,150	144,250	3,142,410	2,622,620	3,437,440
Volume Dth (MGAG)	167,380	140,140	3,058,000	2,549,490	3,344,890

*Dth (dekatherm) is the measurement of gas volume. Dth to Ccf (Centi Cubic Feet) conversion is based on the BTU fuel content

UNIT COSTS					
\$/Dth	0.9420	0.6053	0.4844	0.4319	0.4800
\$/CCF	0.9159	0.5881	0.4714	0.4198	0.4671

MOST RECENT
12-MONTH

Nov 2021 Nov 2020 FY2021 YTD FY2020 YTD

SALES REVENUES

NATURAL GAS SALES	\$	237,437	\$	170,860	\$	3,667,307	\$	2,868,749	\$	3,943,611
SALES REVENUES (ACTUAL)	\$	237,437	\$	170,860	\$	3,667,307	\$	2,868,749	\$	3,943,611
AS BUDGET	\$	315,287	\$	296,941	\$	3,468,154	\$	296,941		Not Applicable
% ACTUAL TO BUDGET		75.31%		57.54%		105.74%		966.10%		Not Applicable

Note on Natural Gas Sales: Detail break-down for individual rate class is shown in NATURAL GAS RETAIL SALES section.

OTHER REVENUES

OP REVENUE		-		-		-		-		-
MISC REVENUE		400		1,382		2,200		3,191		3,000
CONTRIBUTED CAPITAL		-		-		-		-		-
SALE FIXED ASSETS		-		-		-		-		-
TAP FEES		7,154		3,200		92,704		61,456		101,104
OTHER REV		-		-		-		2,015		-
ADMIN ALLOC		14,109		12,424		120,678		126,426		153,748
INT/INVEST INCOME		-		-		-		-		-
STATE GRANTS		-		-		-		-		-
MGAG REBATE		-		-		120,420		292,293		120,420
TRANSFER FROM CIP		-		-		-		-		-
OTHER REVENUES (ACTUAL)	\$	21,663	\$	17,006	\$	336,002	\$	485,380	\$	378,273
AS BUDGET	\$	24,097	\$	32,320	\$	265,069	\$	355,520		Not Applicable
% ACTUAL TO BUDGET		89.90%		52.62%		126.76%		136.53%		Not Applicable

TOTAL REVENUES (ACTUAL)	\$	259,099	\$	187,866	\$	4,003,309	\$	3,354,130	\$	4,321,883
AS BUDGET	\$	339,384	\$	329,261	\$	3,733,224	\$	3,621,868		Not Applicable
% ACTUAL TO BUDGET		76.34%		57.06%		107.23%		92.61%		Not Applicable

	Nov 2021	Nov 2020	FY2021 YTD	FY2020 YTD	
PERSONNEL					
Compensation	\$ 42,447	\$ 32,456	\$ 384,050	\$ 63,587	\$ 418,394
Benefits	22,322	19,157	222,806	187,725	241,723
PERSONNEL (ACTUAL)	\$ 64,849	\$ 51,618	\$ 607,603	\$ 251,630	\$ 660,864
AS BUDGET	\$ 55,273	\$ 53,644	\$ 608,004	\$ 590,088	Not Applicable
% ACTUAL TO BUDGET	117.32%	96.22%	99.93%	42.64%	Not Applicable

CONTRACTED SERVICES

Consulting	\$ 40	\$ -	\$ 6,026	\$ 13,283	\$ 6,351
Landfill Fees	-	-	-	-	-
Custodial Service	-	-	-	-	-
Lawn & Maint	-	-	-	148	-
Holiday Events	-	-	-	-	-
Security Sys	-	-	-	-	-
Equipment Rep & Maint	350	433	4,076	7,815	4,285
Vehicle Rep & Maint Outside	160	97	4,137	97	4,727
R&M System - Outside	-	-	22,387	23,265	27,670
R & M Buildings - Outside	1,900	-	1,944	479	1,944
Maintenance Contracts	251	212	8,835	12,735	9,079
Equip Rent/Lease	428	654	8,401	9,864	9,761
Pole Equip Rent/Lease	-	-	-	-	-
Equipment Rental	24	-	222	241	245
Repairs & Maintenance (Outside)	-	-	-	-	-
Landfill Fees	-	-	-	-	-
Maint Contracts	-	-	-	-	-
Other Contract Svcs	-	-	-	-	-
Comm Svcs	55	623	5,908	6,388	6,544
Postage	-	-	459	-	1,299
Adverstising	150	825	563	1,737	563
Mkt Expense	1,250	647	7,300	1,697	7,300
Printing	-	-	(32)	1,715	(32)
Util Bill Print Svcs	-	-	-	-	-
Dues & Sub	-	-	-	-	-
Travel	2,641	-	6,649	778	6,649
Fees	-	-	810	1,003	810
Vehicle Tag & Title Fee	-	-	(18)	32	(18)
Ga Dept Rev Fee	-	-	100	50	100
Training & Ed	7,175	282	10,174	8,552	10,174
Gen Liab Ins	-	-	-	-	-
Uniform Rent	-	-	-	-	-
Contract Labor	14,830	7,849	78,597	47,372	81,318
Shipping/Freight	-	-	-	1,575	-
CONTRACTED SERVICES (ACTUAL)	\$ 29,253	\$ 11,622	\$ 166,536	\$ 138,823	\$ 178,769
AS BUDGET	\$ 19,571	\$ 19,338	\$ 215,279	\$ 212,713	Not Applicable
% ACTUAL TO BUDGET	149.47%	60.10%	77.36%	65.26%	Not Applicable

	Nov 2021	Nov 2020	FY2021 YTD	FY2020 YTD	12-MONTH
SUPPLIES					
Gas Cost	154,463	82,718	1,445,386	1,067,129	1,623,464
Office Supplies	182	-	657	1,805	781
Postage	-	-	-	-	-
Furniture <5000	-	-	-	-	-
Auto Parts	650	-	1,855	1,476	2,193
Construction Materials	-	1,805	-	8,659	225
Damage Claims	-	-	2,424	-	2,424
Expendable Fluids	241	-	285	14	285
Tires	938	-	3,599	2,520	4,378
Uniform Expense	-	240	4,891	3,612	4,891
Janitorial	129	84	2,098	1,045	2,245
Computer Equipment	-	700	250	2,685	250
Equipment Parts	820	702	11,566	4,928	13,447
Repair & Maintenance	6,482	7,830	106,184	107,132	114,911
Util Costs - Util Fund	388	384	3,950	3,922	4,317
Covid-19 Expenses	-	-	957	11,438	957
Mileage Reimb	-	-	-	-	-
Auto & Truck Fuel	2,412	1,589	20,681	16,974	22,575
Food	89	1,231	1,695	4,421	2,287
Sm Tool & Min Equip	311	2,664	16,889	28,195	18,412
Meters	-	-	2,179	-	2,179
Sm Oper Supplies	1,335	1,130	31,544	14,930	34,689
Construction Material	-	-	-	-	-
Tires	-	-	-	-	-
Uniform Exp	-	-	-	-	-
Repairs & Maintenance (Inside)	-	-	-	-	-
Equip Pur (<\$5M)	-	-	-	-	-
Dam Claims	-	-	-	-	-
SUPPLIES (ACTUAL)	\$ 168,442	\$ 101,076	\$ 1,657,091	\$ 1,280,886	\$ 1,854,912
AS BUDGET	\$ 136,497	\$ 12,800	\$ 1,501,466	\$ 140,800	Not Applicable
% ACTUAL TO BUDGET	123.40%	789.65%	110.36%	909.72%	Not Applicable

CAPITAL OUTLAY

Amortization Def Chg 2016 Bond	\$ -	\$ -	\$ 4,320	\$ 4,320	\$ 4,320
Amort 2020 Bond Premium	\$ (692)	\$ -	\$ (7,610)	\$ -	\$ (7,610)
Depr Exp	\$ 15,394	\$ 14,491	\$ 176,540	\$ 155,814	\$ 176,540
Int Exp 2016 Rev Bond	2,325	2,719	26,574	30,887	29,098
Interest Exp - 2020 Rev Bonds	3,417	2,392	37,592	2,392	41,009
Issuance Costs	-	10,027	-	10,027	12,680
CAPITAL OUTLAY (ACTUAL)	\$ 20,445	\$ 29,630	\$ 237,414	\$ 203,440	\$ 256,036
AS BUDGET	\$ 2,785	\$ 3,177	\$ 30,633	\$ 34,945	Not Applicable
% ACTUAL TO BUDGET	734.17%	932.69%	775.04%	582.18%	Not Applicable

Nov 2021 Nov 2020 FY2021 YTD FY2020 YTD

FUND TRANSFERS

Admin Alloc - Adm Exp	\$	7,965	\$	92,387	\$	729,099	\$	920,709	\$	755,393
Transfer To Gf		11,845		9,796		233,971		192,136		241,355
Transfer To Cip		-		-		-		-		-
Transfer - Insurance		-		-		-		-		-
Transfer - E&R		-		-		-		-		-
FUND TRANSFERS (ACTUAL)	\$	19,809	\$	102,183	\$	963,071	\$	1,112,845	\$	996,748
AS BUDGET	\$	119,012	\$	108,198	\$	1,309,127	\$	1,190,175		Not Applicable
% ACTUAL TO BUDGET		16.64%		94.44%		73.57%		93.50%		Not Applicable

TOTAL EXPENSES (ACTUAL)	\$	302,799	\$	296,127	\$	3,631,716	\$	2,987,624	\$	3,947,329
AS BUDGET	\$	333,137	\$	197,156	\$	3,664,509	\$	2,168,719		Not Applicable
% ACTUAL TO BUDGET		90.89%		150.20%		99.11%		137.76%		Not Applicable