



Historic Preservation Meeting

AGENDA

Tuesday, November 27, 2018

6:00 PM

215 N Broad St Monroe GA 30655

I. **CALL TO ORDER**

II. **ROLL CALL**

III. **MINUTES OF PREVIOUS MEETING**

[1.](#) Minutes of Previous Meeting - October 23, 2018

IV. **REQUESTS**

[1.](#) Request for COA - 308 South Broad Street

[2.](#) Request for COA - 212 Walton Street

V. **OLD BUSINESS**

VI. **NEW BUSINESS**

VII. **ADJOURNMENT**

Historic Preservation Commission
Meeting Minutes
October 23, 2018

Present: Mitch Alligood
Marc Hammes
Susan Brown
Crista Carrell

Absent: Fay Brassie

Staff: Patrick Kelley, Director of Code
Debbie Adkinson, Code Department Assistant

Visitors: Darrell Stone, Melvin Music

Meeting called to order at 6:00 P.M.

Chairman Alligood entertained a motion for approval of the minutes from September 25, 2018. Carrell made a motion to approve. Hammes seconded. Motion Carried. Minutes approved.

The first item of business is an application for COA for petition # 18-00460 at 112 & 114 W Spring Street. The applicant, Melvin Music requests a COA for renovation and addition to add second floor to the existing building. He is planning to add loft living spaces on second level with retail below.

The applicant Melvin Music spoke to the request giving a synopsis of the plans for the two units.

Chairman Alligood entertained a motion. Hammes made a motion to approve as submitted. Brown seconded. Motion carried. COA granted.

The second item of business is an application for a COA for petition # 18-00473 at 123 N Lumpkin Street. The applicant, Mountain Creek Enterprises, Inc. is requesting a COA to allow for signs. There will be two signs one vertical on the corner of the building and one horizontal sign on front.

The applicant Crista Carrell spoke to the request explaining the types of signs and dimensions. The signs will be projecting from the building. The vertical sign will be perpendicular to Lumpkin Street on the end of the building and the perpendicular small sign projecting into the pedestrian alley.

Chairman Alligood entertained a motion. Brown made a motion to approve. Hammes seconded. Carrell recused herself. Motion carried with 3 votes. COA granted.

Old Business: None

New Business:

Patrick Kelley brought to the attention of the commission chapter nine of the Monroe Preservation Primer referencing new construction in the historic district. This will help the Commission in the future determine what's more in keeping with the primer for the new house coming into the district on Church Street on an undeveloped lot.

Chairman Alligood entertained a motion for adjournment. Carrell made a motion. Brown Seconded. Meeting Adjourned at 6:10 P.M.

HISTORIC PRESERVATION REQUEST



City of Monroe
215 North Broad Street
Monroe, GA 30655
770-207-4674 ... Phone
770-207-4556 ... Fax

| PERMIT NUMBER | DATE ISSUED | VALUATION | FEE | ISSUED BY |
|---------------|-------------|-----------|----------|-----------|
| 18-00498 | 11/12/2018 | \$ 0.00 | \$ 10.00 | adkinson |

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LOCATION **308 S Broad St**
Monroe, GA 30655

CONTRACTOR
Monroe GA 30655

First Baptist Church of Monroe First Baptist Church of Monroe

OWNER **Baptist Church First ()**
202 Mcdaniel St
Monroe GA 30655

PN **M0016-101-000**

USEZONE **B2**

FLOODZONE **Yes**

SUBDIVISION **CORRIDOR DESIGN OVERLAY**

LOT **DISTRICT**

BLOCK

UTILITIES...
Electric
Sewer
Gas

CHARACTERISTICS OF WORK

DESCRIPTION OF WORK

REQUEST FOR COA FOR PARKING LOT -
HPC MTG 11/27/18 @ 6:00 PM 215 N
BROAD STREET

NATURE OF WORK

Other

CENSUS REPORT CODE

855 - * Historic Preservation Request

DIMENSIONS

#STORIES

SQUARE FOOTAGE Sq. Ft.

#UNITS

SINGLE FAMILY ONLY

#BATHROOMS

#BEDROOMS

TOTAL ROOMS

NOTICE

This permit becomes null and void if work or construction authorized is not commenced within six (6) months, or if construction or work is suspended or abandoned for a period of six (6) months at any time after work is started.

I hereby certify that I have read and examined this document and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. Granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

Signature of Contractor or Authorized Agent

Date

Approved By

Date

MANAGE YOUR PERMIT ONLINE

WEB ADDRESS

<http://BuildingDepartment.com/project>

PERMIT NUMBER

18-00498

PERMIT PIN

57255

3

Please read the following directions for completing the Request for COA Application.

Attach photograph(s) of existing condition of property necessary to show all areas affected.

Attach plans, sketches, drawings, and diagrams of the project and detail the materials that will be used.

Provide such other information that is necessary for the HPC to adequately consider the application in light of the following criteria.

In reviewing applications for COAs, the HPC's duties include taking into account the historic and architectural significance of the structure and maintaining maps showing the historic and architectural significance of structures in the Historic Districts.

In its review, the HPC shall also take into account the following elements to ensure that the exterior form and appearance of the structure is consistent with the historical and visual character of the District:

1. The height of the building in relation to the average height of the nearest adjacent and opposite buildings;
2. The setback and placement of the building on the lot in relation to the average setback and placement of the nearest adjacent and opposite building;
3. Exterior construction materials, including textures and patterns.
4. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials;
5. Roof shapes, forms, and materials;
6. Proportions, shapes, positioning and locations, patterns and sizes of any elements of fenestration.

The **Code Office** will post a notice which will notify all affected property owners of the material change being requested not less than seven (7) days prior to the meeting at which the request for a COA is to be considered. The applicant and the affected property owners will be given an opportunity to be heard at the meeting in which the application is presented.

DEFINITIONS:

A "material change in appearance" means a change that will affect either the exterior architectural or environmental features of a historic property or any structure, site, or work of art within a historic district, and may include any one or more of the following:

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
MONROE HISTORIC PRESERVATION COMMISSION

Please read the Historic Preservation Ordinance (Code Sections 8-4-1 through 8-4-91). In addition, please consult with the Code Office to determine if any other Monroe ordinances apply, and if applicable, read those ordinances.

DATE: 11-9-18

APPLICANT: FIRST BAPTIST CHURCH OF MONROE

APPLICANT'S ADDRESS: 202 MCDANIEL ST.
MONROE, GA 30655 (HAL BREEDLOVE)

TELEPHONE NUMBER: 770 601 1469

PROPERTY OWNER: FIRST BAPTIST CHURCH OF MONROE

OWNER'S ADDRESS: 202 MCDANIEL ST.
MONROE, GA 30655 (HAL BREEDLOVE)

TELEPHONE NUMBER: 770 601 1469

PROJECT ADDRESS: TAX PARCEL M 0160101
NO ADDRESS

Brief description of project: DEMOLITION OF EXISTING SIDEWALKS,
PLANTING & LANDSCAPE FOR PROPOSED PARKING LOT &
NEW LANDSCAPE AREA FRONTING S. BROAD ST.
PARKING IS PRIMARILY FOR HANDICAP & SENIOR
PARKING CLOSER TO HANDICAP ACCESS OF CHURCH BUILDING
(Continue on separate sheet, if necessary.)

HAL BREEDLOVE
Applicant

11-9-18
Date

1. A reconstruction or alteration of the size, shape, or façade, including any of the architectural elements or details;
2. Demolition;
3. Commencement of excavation for construction purposes;
4. A change in the location of advertising visible from the public right-of-way; and
5. The erection, alteration, restoration, or removal of any building or other structure within a historic property or district, including walls, fences, steps and pavements, or other appurtenant features.

[Sec. 8-4-2(f)]

“Exterior architectural features” means the architectural style, general design, and general arrangement of the exterior of a building or other structure, including but not limited to, the kind or texture of the building material and the type and style of all windows, doors, signs, and other appurtenant architectural fixtures, features, details, or elements relative to the foregoing [Sec. 8-4-2(b)].

“Exterior environmental features” means all those aspects of the landscape or the development of the site which affect the historical character of the property [Sec. 8-4-2(c)].

Ordinary maintenance or repair of any exterior architectural feature in or on a historic property that does not involve a material change in design, material, or outer appearance is excluded from review. [Sec. 8-4-81]

I acknowledge that I have read this material and will abide by the ordinances set forth.

Hilbrene Lane Hal Breedlove
Signature of Applicant

11/7/2018
Date

Chairman: First Baptist Church Monroe
Bldg & Grounds Comm

Turn in By 11/10
\$10.00

REQUEST FOR A CERTIFICATE OF APPROPRIATENESS

Under Monroe's Historic Preservation ordinance, you are required to obtain a Certificate of Appropriateness (COA) for any exterior material change you wish to make to your property if your property is located within a historic district, or if the change would affect property in a historic district. Please see pages 3 and 4, Definitions.

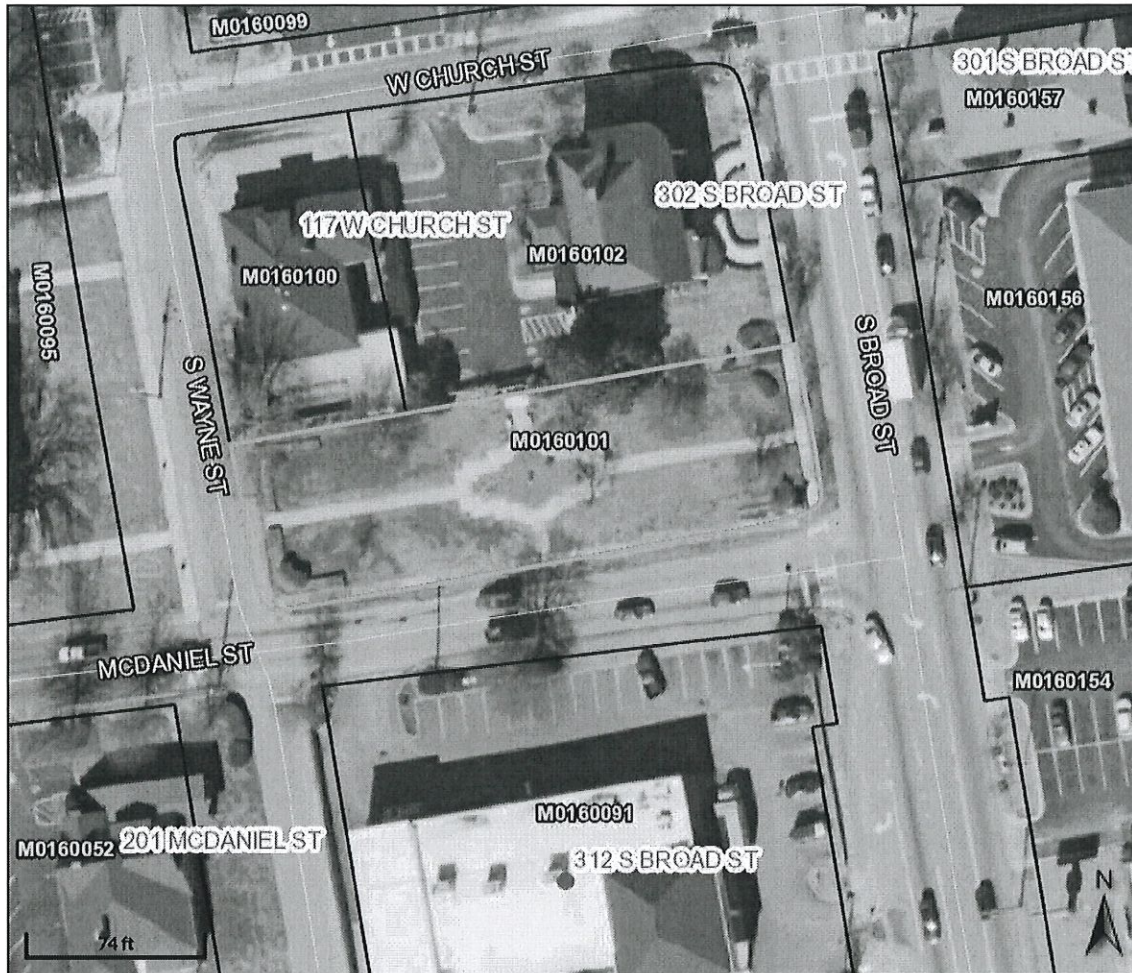
The following steps must be taken in order to have your proposed change considered by the Historic Preservation Commission (HPC):

1. Stop by the Code Office at least 10 working days in advance of the next regular meeting of the HPC (the fourth Tuesday of each month at 6:00 pm), read the Historic Preservation Ordinance, and request that your proposal be added to the agenda.
2. Fill out the application for a COA and turn it in to the Code Office.
3. Pay the \$10.00 fee. If you request a "special meeting" at some date or time (other than the 4th Tuesday of every month), the fee is \$50.00. If you are requesting to demolish Historic property, the fee is \$50.00 on the regular scheduled meeting.
4. Provide all documentation which will assist the HPC in deciding if your proposed change(s) are in keeping with the historic district standards and guidelines. The more complete your presentation, the more efficiently your request can be handled. Please see the COA application for additional information.

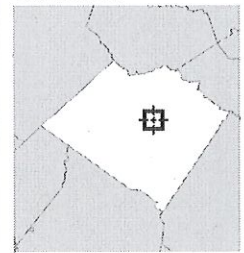
Suggested documentation consists of all architectural drawings, sketches, pictures, diagrams, or actual examples. All documentation should be turned in to the Code Office at the time of your application, as it gives HPC members time to consider your request prior to the meeting. Physical samples, if applicable, should be brought with you to the meeting.

5. Appear at the meeting on the scheduled day and time to present your proposal.

Thank you, the HPC looks forward to considering your request.



Overview



Legend

- ☐ Parcels
- ☐ Parcel Numbers
- ☒ Address Points (work in progress)

| | | | | | | | | |
|-----------------|----------|------------------|---|--|--------------|-------|--------|------|
| Parcel ID | M0160101 | Owner | FIRST BAPTIST CHURCH OF MONROE P O BOX 351 MONROE GA 30655 | | Last 2 Sales | | | |
| Class Code | Exempt | | | | Date | Price | Reason | Qual |
| Taxing District | Monroe | | | | n/a | 0 | n/a | n/a |
| | Monroe | | | | n/a | 0 | n/a | n/a |
| Acres | 0.32 | Physical Address | MCDANIEL STREET | | | | | |
| | | Assessed Value | Value \$39000 | | | | | |

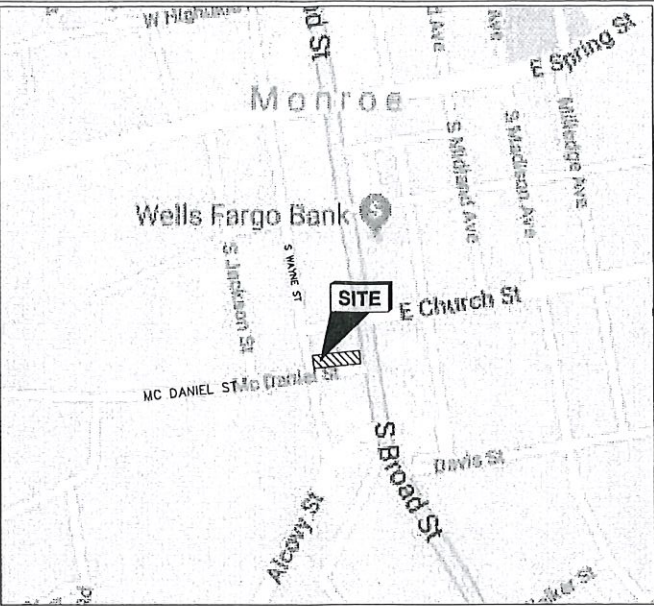
(Note: Not to be used on legal documents)

Date created: 11/9/2018

Last Data Uploaded: 11/9/2018 8:12:24 AM

Developed by Schneider
GEOSPATIAL

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|---|
| TOTAL SITE AREA = 0.32 ACRES |
| TOTAL DISTURBED AREA = 0.36 ACRES |
| THERE ARE NO STATE WATERS ON THE SITE. |
| THERE ARE NO NWI WETLAND ON SITE. UPON A SITE VISIT, THERE WERE NO VEGETATION WHICH INDICATES WETLANDS ON SITE. |

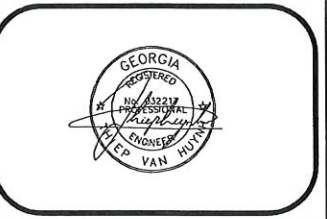


ALCOVY
SURVEYING & ENGINEERING, INC.

P.O.C. TIP HUYNH, P.E.
2205 Highway 81 South
Loganville, Georgia 30052
Phone: 770-466-4002
Fax: 770-466-4286
TIP@ALCOVYSE.COM

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**EXISTING CONDITION/
DEMOLITION PLAN**

**PROPOSED
FBC OF MONROE
PARKING
EXPANSION**

PARCEL: M0160101
LAND LOT: 65
DISTRICT: 3RD
MC DANIEL ST.
CITY OF MONROE, GA

DATE: 9/14/18
SCALE: 1"=10'

OWNER / DEVELOPER

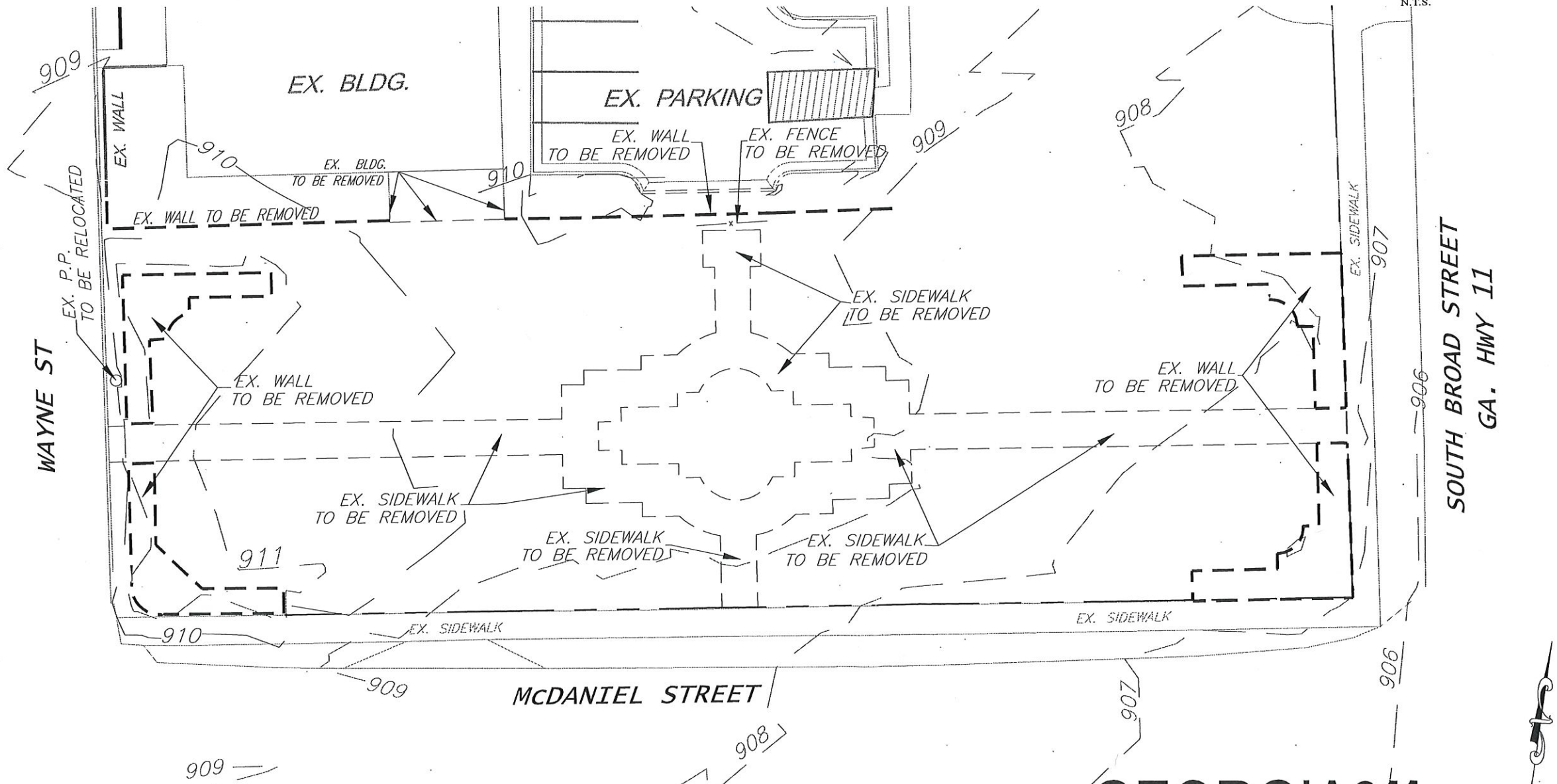
FIRST BAPTIST CHURCH OF MONROE
POBOX 351 MC DANIEL ST.
MONROE, GA 30655

24 HOUR - EMERGENCY CONTACT
HAL BREED LOVE
706-605-1469
HBREEDLOVE@IBLAND.COM

| REVISIONS | | |
|-----------|---------|------------------|
| NO. | DATE | DESCRIPTION |
| 1 | 11/1/18 | REVISE HC SPACES |
| | | |
| | | |

JOB No. 12-005

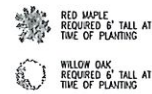
C-1.1



SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF NEWMAN REGULATIONS AND CODES AND O.S.M.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF SIDEWALKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DISTURBED AREAS ARE TO RECEIVE SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE 18" CURB & GUTTER. ALL REMAINING ISLANDS ARE TO BE STRIPED AS SHOWN.
- ALL CURBED RADII ARE TO BE 5' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- THERE ARE EXISTING STRUCTURES TO BE REMOVED. CONTACT ENGINEER IF ANY STRUCTURES ARE FOUND THAT ARE NOT SHOWN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY BY ALCOVY SURVEYING AND ENGINEERING, INC.
- TOTAL LAND AREA IS 0.32 ACRES
- SITE IS CURRENTLY ZONED B2
- SITE HAS NO EXISTING OR PREVIOUSLY EXISTING LANDFILLS AND NO PROPOSED ON-SITE BURIAL PITS.
- THERE ARE NO CEMETERIES OR OTHER SIGNIFICANT OR HISTORICAL AREAS ON THE SITE.
- STREETLIGHTS ARE NOT TO BE INSTALLED.
- WATER AND SEWER SERVICES WILL BE PROVIDED BY CITY OF NEWMAN.
- HANDICAP RAMPS REQUIRED AT ALL SIDEWALK CROSSINGS.
- THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF STORM WATER MANAGEMENT SYSTEM OUTSIDE OF THE RIGHT-OF-WAY INCLUDING DETENTION AND WATER QUALITY FACILITIES, LAKES, STORM DRAINS, AND/OR WATER COURSES.
- NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE WIDENING OF AND CONSTRUCTION ON ROADS IN CITY OF NEWMAN.

TREE LEGEND



SHRUBS



PROPOSED TREES ARE NOT TO SCALE

TRAFFIC CONTROL NOTES

- ALL STRIPING AND SIGNAGE ITEMS MUST MEET LATEST MUTCD, GDOT AND GA CODE.
- SIGNS SHALL BE MOUNTED AT 7'0" ABOVE FINISHED GRADE.
- STOP SIGNS MUST BE BREAK-A-WAY MOUNTED ON A SQUARE TUBE ALL OTHER SIGNS MAY BE MOUNTED ON A U-CHANNEL.

NOTE:

1. THIS DEVELOPMENT IS EXEMPT FROM DETENTION REQUIREMENTS PER SECTION 2.3.1.2 OF THE GEORGIA STORMWATER MANAGEMENT MANUAL. THE PROJECT WILL REMOVE A TOTAL OF 4120S.F. OF EXISTING IMPERVIOUS SURFACE AND THUS REDUCING THE RUNOFF OF THE SITE. HOWEVER, BEST MANAGEMENT PRACTICES WILL BE INSTALLED PER THE "MANUAL FOR SEDIMENT & EROSION CONTROL IN GEORGIA".

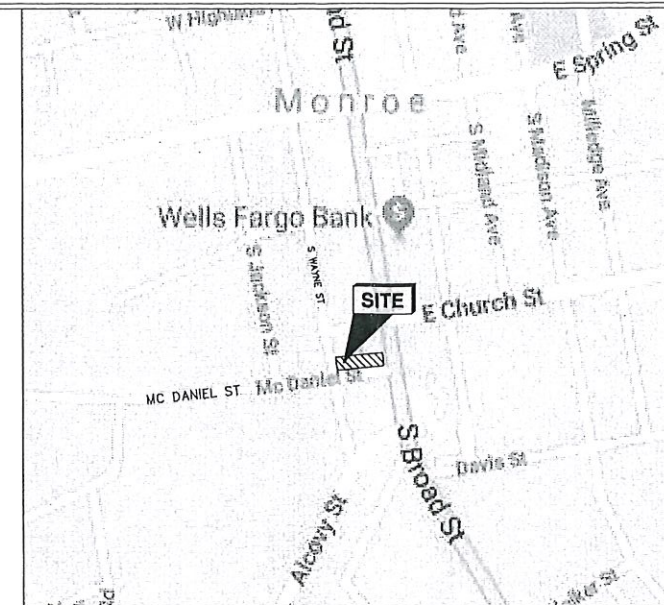
SITE PLAN KEYED NOTES

- (A) AREA STRIPED WITH SWSL/4"ACMP @ 45° AT 2'-0" O.C. WITH ADDITIONAL BLUE LINES AS INDICATED
- (B) ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET.
- (C) ACCESSIBLE RAMP. SEE DETAIL SHEET C6.2.
- (D) 24" CONCRETE CURB AND GUTTER (TYPE A) TYPICAL. SEE DETAIL SHEET.
- (D) 24" CONCRETE CURB AND GUTTER (TYPE B) TYPICAL. SEE DETAIL SHEET.
- (E) PAINTED DIRECTIONAL ARROW (TYPICAL). SEE DETAIL SHEET.
- (F) 6" CONCRETE FRAME
- (G) PRECAST CONC. BUMPER BLOCK
- (H) HANDICAP SIGN. SEE DETAIL SHEET.

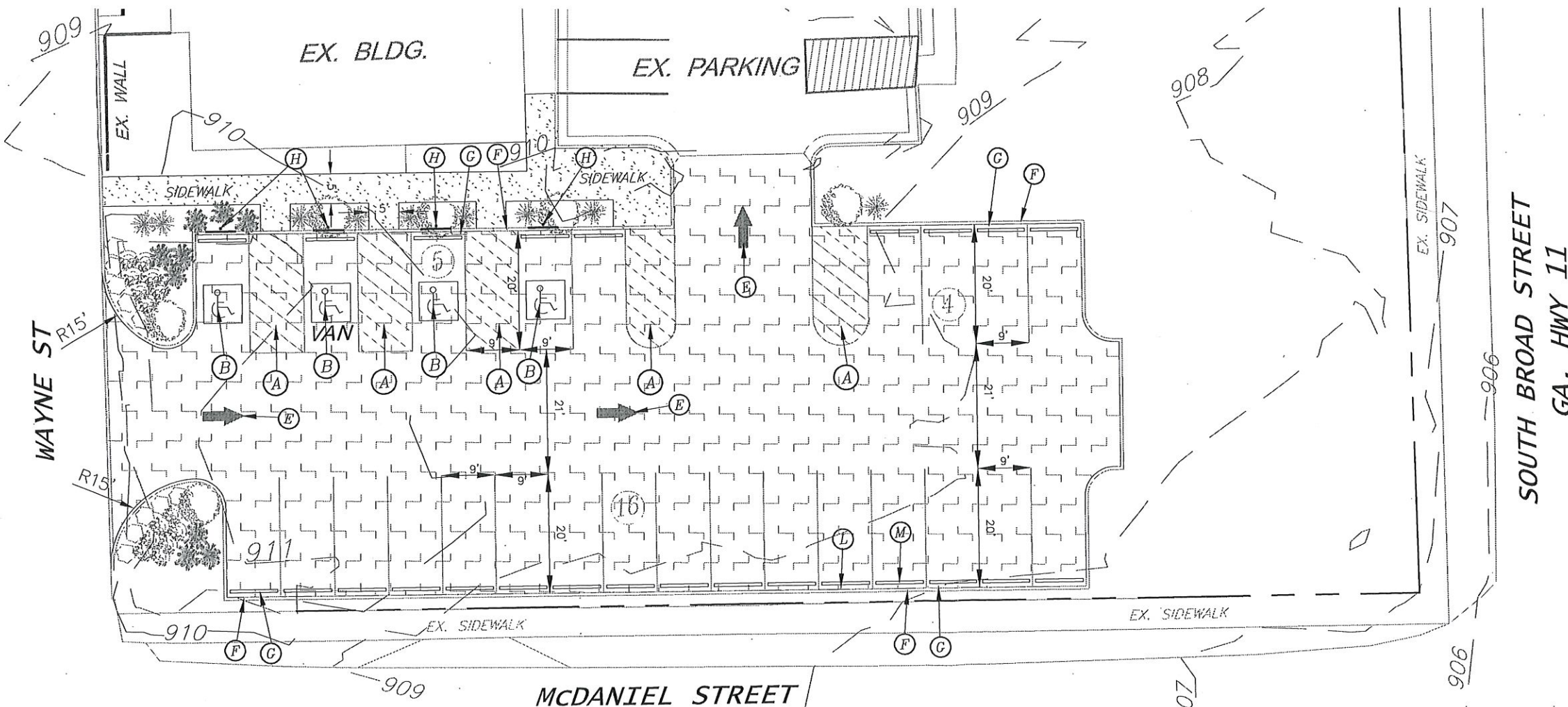
PAVEMENT LEGEND



POROUS PAVEMENT



VICINITY MAP
N.T.S.



| |
|--|
| TOTAL SITE AREA = 0.32 ACRES |
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GEORGIA811
www.Georgia811.com



ALCOVY

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SITE PLAN

PROPOSED FBC OF MONROE PARKING EXPANSION

PARCEL: M0160101
LAND LOT: 65
DISTRICT: 3RD
McDANIEL ST.
CITY OF MONROE, GA

DATE: 9/14/18

SCALE: 1"=10'

OWNER / DEVELOPER

FIRST BAPTIST CHURCH OF MONROE
POBOX 351 MC DANIEL ST.
MONROE, GA 30655

24 HOUR - EMERGENCY CONTACT
HAL BREED LOVE
706-605-1469
HBREEDLOVE@HBLAND.COM

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|---------|------------------|
| 1 | 11/1/18 | REVISE HC SPACES |
| | | |
| | | |

JOB No. 12-005

C-1.2

EROSION CONTROL NOTES:

1. Silt fence must meet the requirements of Section 171-Temporary Silt Fence, of the Department of Transportation, State of Georgia, Standard Specifications, 1993 edition.
2. Additional erosion control measures will be employed where determined necessary by actual site conditions and on-site inspections.
3. Prior to any other construction, a stabilized construction entrance shall be constructed at each point of entry to or exit from the site.
4. The construction exits shall be maintained in a condition which will prevent tracking or flow of mud onto Public right of way. This may require periodic top dressing with stone, as conditions demand, and repair and/or clean-out of any structures used to trap sediment. All materials spilled, dropped, washed, or tracked from vehicle or site onto Public roadway or into storm drain must be removed immediately.
5. Immediately after the establishment of construction entrances/exits, all perimeter erosion control devices and stormwater management devices shall be installed prior to any other construction.
6. Owner agrees to provide and maintain off-street parking on the subject property during the entire construction period.
7. The Contractor shall furnish and maintain all necessary temporary roadway frontage improvements as being made.
8. The construction of the site will initiate with the installation of erosion control measures sufficient to control sediment deposits and erosion. All sediment control will be maintained until all upstream ground within the construction area has been completely stabilized with permanent vegetation and all roads/driveways have been paved.
9. Erosion control devices shall be installed immediately after ground disturbance occurs. The location of some of the erosion control devices may have to be altered from that shown on the approved plans if drainage patterns during construction are different from the final proposed drainage patterns. It is the Contractor's responsibility to accomplish erosion control for all drainage patterns created at various stages during construction. Any difficulty in controlling erosion during any phase of construction shall be reported to the engineer immediately.
10. All silt barriers must be placed so access is obtained during clearing. No grading shall be done until silt barrier installation and detention facilities are constructed.
11. Contractor shall maintain all erosion control measures until permanent vegetation has been established. Contractor shall clean out detention pond when required by project engineer or Regulatory Agency Inspector. Contractor shall inspect erosion control measures at the end of each working day to insure measures are functioning properly.
12. The Contractor shall remove accumulated silt when the silt is within 12" of the top of the silt fence utilized for erosion control. In the detention pond, silt shall be removed when a depth of 18" has accumulated at the weir.
13. A copy of the approved land disturbance plan and permit shall be present on the site whenever land disturbance activity is in progress. CONTRACTOR TO CLEAN OUT ACCUMULATED SILT IN DETENTION POND AT THE END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
14. All open swales must be grassed, and rip-rap must be placed as required to control erosion. A minimum of 4.5 square yards of 30-lb stones shall be placed at all downstream headwalls. The placement of rip-rap at the downstream headwall shall be placed immediately upon the installation of pipes and drainage ditches.
15. Silt barriers to be placed at downstream toe of all cut and fill slopes.
16. THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBANCE ACTIVITIES.
17. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENTATION MEASURES AND PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
18. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.
19. Provisions to prevent erosion of soil from the site shall be as minimum, in conformance with the requirements of Regulatory Agency 20. Prior to commencing land disturbance activity, the limits of land disturbance shall be clearly and accurately demarcated with stakes, ribbons, or other appropriate means. The location and extent of all authorized land disturbance activity shall be demarcated for the duration of the construction activity. No land disturbance activity shall occur outside the approved limits indicated on the approved plans.
21. Failure to install, operate or maintain all erosion control measures will result in all construction being stopped on the job site until such measures are corrected back to Regulatory Agency Standards.
22. All sewer easements disturbed must be dressed and grouted to control erosion.
23. A disturbed area left exposed for a period greater than 14 days shall be stabilized with temporary seeding.
24. Silt barriers to be placed as shown and / or as directed by the project engineer and / or Regulatory Agency Inspector.
25. When any construction borders a drainage course :
 - a. The Contractor is responsible for removing any building or other excavation spoil dirt, construction trash or debris, etc. for the drainage areas shown herein in an expeditious manner as construction progresses.
 - b. The Contractor hereby agrees to stop all work and restore these areas immediately upon notification by the Regulatory Agency Inspector and / or the Professional Engineer.
 - c. All construction shall conform to Regulatory Agency Standards and Specifications.
 - d. A variance from Georgia E.P.D. is required for encroachment in 25' state waters buffer.

NOTES:

- A. EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- B. THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
- C. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- D. STORM WATER MANAGEMENT FACILITIES AND EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- E. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- F. ALL DISTURBED AREAS TO BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
- G. CUT AND FILL SLOPES SHALL NOT EXCEED 3H:1V ON RESIDENTIAL PROJECTS AND SHALL NOT EXCEED 2H:1V ON ALL OTHER PROJECTS.
- H. THE OWNER IS RESPONSIBLE FOR COMPLIANCE WITH N.P.D.E.S. GENERAL PERMIT REQUIREMENTS.
- I. EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED DAILY.
- J. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- K. EROSION, SEDIMENT AND POLLUTANT CONTROL MEASURES AND PRACTICES ARE TO BE CHECKED DAILY.
- L. TEMPORARY ES&P BMPs WILL BE REMOVED WHEN SITE IS 75% STABILIZED WITH PERMANENT VEGETATION.
- M. SEWAGE AND SOLID WASTE GENERATED DURING CONSTRUCTION SHALL BE COLLECTED BY PORTABLE TOILETS AND DUMPSTER TO BE REMOVED AND DISPOSED PROPERLY OFF-SITE.
- N. BMPs TO MINIMIZE OFF-SITE VEHICLE TRACKING OF SEDIMENT AND GENERATION OF DUST FOR THIS PROJECT INCLUDE CONSTRUCTION EXITS AND DUST CONTROL (Dc) MEASURES AS SPECIFIED IN THE MANUAL.
- O. THE PROJECT DOES NOT DISCHARGE STORMWATER INTO AN IMPAIRED STREAM SEGMENT AND IS NOT LOCATED WITHIN A STREAM BASIN WITH BIOTA/IMPAIRED STREAM BASIN.
- P. DURING CONSTRUCTION, POLLUTANTS WILL BE REMOVED FROM STORMWATER BY THE SILT FENCE RUNNING ALONG THE DOWN STREAM PERIMETER OF THE LIMIT OF DISTURBANCE.
- Q. AFTER CONSTRUCTION, THE SITE WILL BE RESTORE TO PRE-DISTURBANCE CONDITION, THEREFORE NO TREATMENT ARE PROPOSED FOR THE SITE.
- R. THE WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED.
- S. THERE ARE NO CEMETERIES OR OTHER SIGNIFICANT OR HISTORICAL AREAS ON THE SITE.

NOTE:

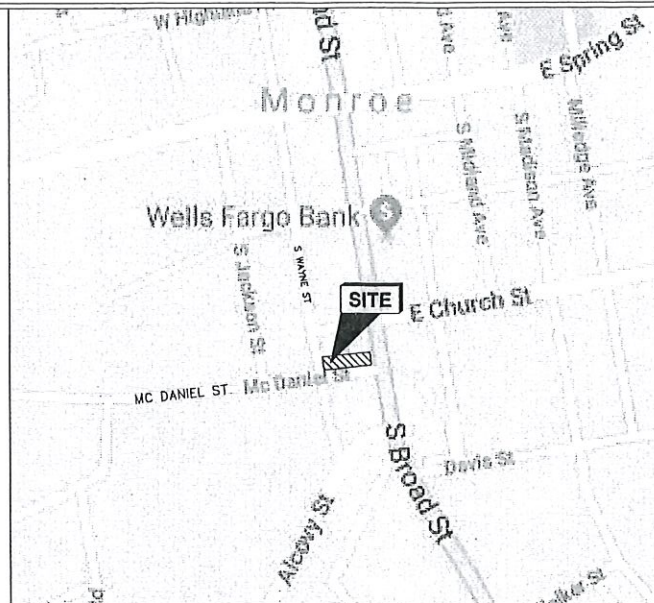
1. ALL STREAM BUFFERS MUST BE FLAGGED PRIOR TO LAND DISTURBING ACTIVITIES.
2. THERE ARE NO EXISTING OR PROPOSED WASTE BURY PITS ON SITE.
3. DELINEATION OF WATERS OF THE U.S. BY THE U.S. ARMY CORPS OF ENGINEERS (USACE) AND ANY REQUIRED PERMITS MUST BE OBTAINED IF THE PROJECT INVOLVES DISCHARGES OF FILL MATERIAL INTO WATERS OF THE U.S.
4. POND DRAIN TO REMAIN OPEN DURING CONSTRUCTION TO ACCOMMODATE SEDIMENT STORAGE.
5. THE APPLICABLE PORTION OF THE ES&P PLAN IS TO BE PROVIDED TO EACH SECONDARY PERMITTEE PRIOR TO THE SECONDARY PERMITTEE CONDUCTING ANY CONSTRUCTION ACTIVITY.
6. EACH SECONDARY PERMITTEE SHALL BE PROVIDED WITH A COPY OF AND SHALL SIGN THE PLAN APPLICABLE TO THEIR SITE.
7. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
8. AMENDMENTS/REVISIONS TO THE ES&P PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S HAVING A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE LOCAL ISSUING AUTHORITY FOR REVIEW.
9. A COPY OF THE APPROVED NOTICE OF INTENT IS REQUIRED TO BE RETAINED ON THE PROJECT SITE WITH THE APPROVED ES & P PLAN UNTIL THE NOTICE OF TERMINATION IS SUBMITTED TO WALTON COUNTY AND GA E.P.D.
10. SEWAGE AND SOLID WASTE GENERATED DURING CONSTRUCTION SHALL BE COLLECTED BY PORTABLE TOILETS AND DUMPSTER TO BE REMOVED AND DISPOSED PROPERLY OFF-SITE.
11. THE CONTRACTOR SHALL CALL ALCOVY SURVEYING AND ENGINEERING, INC. WITHIN 7 DAYS OF INITIAL CLEARING TO REQUEST AN ENGINEERING FIELD VISIT AND TO OBTAIN A SEALED LETTER TO SUBMIT TO WALTON COUNTY DEVELOPMENT INSPECTOR.
12. ALL SAMPLING RESULT SHALL BE MAILED TO: NORTHEAST DISTRICT OFFICE GA E.P.D. 745 GAINES SCHOOL RD. ATHENS, GA 30605
13. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25' OR 16' FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF VERTICED VEGETATION OR WITHIN 25' FEET OF THE COASTAL MARSHES AND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT OBTAINING THE NECESSARY VARIANCES AND PERMITS.

E&S CERTIFICATIONS

- I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.
- I CERTIFY THAT I, AS THE PROFESSIONAL WHO PREPARED THE ES&P PLAN, WILL INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.
- I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA," (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

THIEP V. HUYNH
LEVEL I CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NO.: 0000011377
ISSUED: MAY 25, 18 EXPIRES: MAY 25, 21

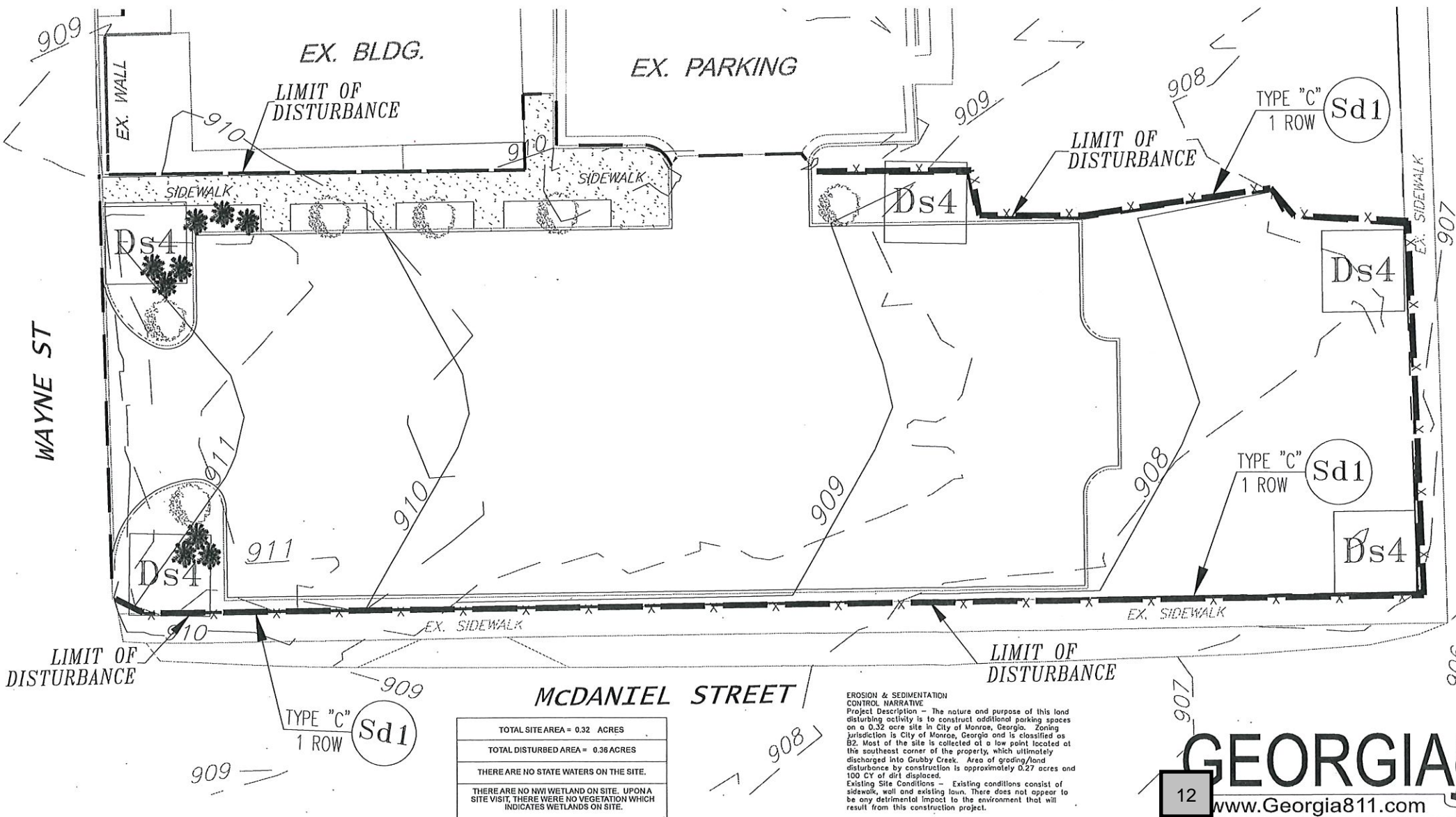
[Signature]



VICINITY MAP
N.T.S.

| CONSTRUCTION & EROSION CONTROL ACTIVITY SCHEDULE | | | | | | |
|--|-------|------|---|---|---|---|
| TASK | MONTH | WEEK | | | | |
| | | 1 | 2 | 3 | 4 | 5 |
| INSTALLATION OF CO AND TRUCK WASH AREA | | | | | | |
| INSTALLATION OF SOBS AND PETROLEUM STORAGE AREA | | | | | | |
| CLEAR & CRUI | | | | | | |
| PERIMETERIZATION OF S&P ALONG PERIMETER OF PROJECT | | | | | | |
| GRADING | | | | | | |
| TOP & FINAL GRASS & MULCHING | | | | | | |
| UTILITY INSTALLATION | | | | | | |
| CURB AND PAVING INSTALLATION | | | | | | |
| MAINTAIN EROSION CONTROL | | | | | | |
| FINAL LONG-TERM-DESIGN RELEASE OF SOBS, ETC. | | | | | | |

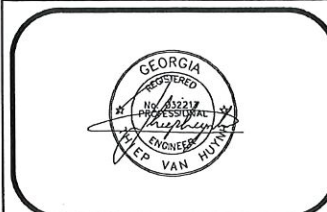
ANTICIPATED START DATE DEC. 1, 2018
ANTICIPATED COMPLETION DATE JAN. 5, 2019



| |
|--|
| TOTAL SITE AREA = 0.32 ACRES |
| TOTAL DISTURBED AREA = 0.36 ACRES |
| THERE ARE NO STATE WATERS ON THE SITE. |
| THERE ARE NO NW WETLAND ON SITE. UPON A SITE VISIT, THERE WERE NO VEGETATION WHICH INDICATES WETLANDS ON SITE. |

GEORGIA811
www.Georgia811.com

ALCOVY
SURVEYING & ENGINEERING, INC.
P.O.C. TIP HUYNH, P.E.
2205 Highway 81 South
Loganville, Georgia 30052
Phone: 770-466-4002
Fax: 770-466-4296
TIP@ALCOVYSE.COM
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EROSION CONTROL PLAN

PROPOSED FBC OF MONROE PARKING EXPANSION

PARCEL: M0160101
LAND LOT: 65
DISTRICT : 3RD
McDANIEL ST.
CITY OF MONROE, GA

DATE: 9/14/18
SCALE: 1"=10'

OWNER / DEVELOPER

FIRST BAPTIST CHURCH OF MONROE
POBOX 351 MC DANIEL ST.
MONROE, GA 30655

24 HOUR - EMERGENCY CONTACT
HAL BREED LOVE
706-605-1469
HBREEDLOVE@HBLAND.COM

| REVISIONS | | |
|-----------|---------|------------------|
| NO. | DATE | DESCRIPTION |
| 1 | 11/1/18 | REVISE HC SPACES |

JOB No. 12-005
C-3



HISTORIC PRESERVATION REQUEST



215 North Broad Street
Monroe, GA 30655
CALLFORINSPECTIONS
770-207-4674 ... Phone
dadkinson@monroega.gov

| PERMIT NUMBER | DATE ISSUED | VALUATION | FEE | ISSUED BY |
|---------------|-------------|-----------|----------|-----------|
| 18-00497 | 11/09/2018 | \$ 0.00 | \$ 10.00 | adkinson |

| | | | |
|----------------|--|--|-----------|
| NAME + ADDRESS | LOCATION 212 Walton St Monroe, GA 30655 | USEZONE R1 | |
| | | PN M0014-007-A00 | FLOODZONE |
| | | SUBDIVISION | |
| | CONTRACTOR David Butler | LOT BLOCK | |
| | 111 Walton St Monroe GA 30655 | UTILITIES... Electric Sewer Gas | |
| | OWNER David Butler (678 687 6089) | | |
| | 111 Walton St Monroe GA 30655 | PROJECTID# 212WaltonSt-181109-1 | |
| | | EXPIRATIONDATE: 12/31/2018 | |

CHARACTERISTICS OF WORK

DESCRIPTION OF WORK

REQUEST FOR COA FOR NEW HOME - HPC
MTG 11/27/18 @ 6:00 PM 215 N BROAD
STREET

NATURE OF WORK

Other

CENSUS REPORT CODE

855 - * Historic Preservation Request

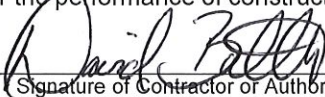
DIMENSIONS

| | | |
|--------------------|------------|---------|
| | #STORIES | |
| SQUAREFOOTAGE | | Sq. Ft. |
| | #UNITS | |
| SINGLE FAMILY ONLY | | |
| | #BATHROOMS | |
| | #BEDROOMS | |
| | TOTALROOMS | |


NOTICE

This permit becomes null and void if work or construction authorized is not commenced within six (6) months, or if construction or work is suspended or abandoned for a period of six (6) months at any time after work is started.

I hereby certify that I have read and examined this document and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. Granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.


Signature of Contractor or Authorized Agent

11/09/18
Date


Approved By

11-9-18
Date

MANAGE YOUR PERMIT ONLINE

WEB ADDRESS

<http://BuildingDepartment.com/project>

PERMIT NUMBER

18-00497

PERMIT PIN

57252

14

REQUEST FOR A CERTIFICATE OF APPROPRIATENESS

Under Monroe's Historic Preservation ordinance, you are required to obtain a Certificate of Appropriateness (COA) for any exterior material change you wish to make to your property if your property is located within a historic district, or if the change would affect property in a historic district. Please see pages 3 and 4, Definitions.

The following steps must be taken in order to have your proposed change considered by the Historic Preservation Commission (HPC):

1. Stop by the Code Office at least 10 working days in advance of the next regular meeting of the HPC (the fourth Tuesday of each month at 6:00 pm), read the Historic Preservation Ordinance, and request that your proposal be added to the agenda.
2. Fill out the application for a COA and turn it in to the Code Office.
3. Pay the \$10.00 fee. If you request a "special meeting" at some date or time (other than the 4th Tuesday of every month), the fee is \$50.00. If you are requesting to demolish Historic property, the fee is \$50.00 on the regular scheduled meeting.
4. Provide all documentation which will assist the HPC in deciding if your proposed change(s) are in keeping with the historic district standards and guidelines. The more complete your presentation, the more efficiently your request can be handled. Please see the COA application for additional information.

Suggested documentation consists of all architectural drawings, sketches, pictures, diagrams, or actual examples. All documentation should be turned in to the Code Office at the time of your application, as it gives HPC members time to consider your request prior to the meeting. Physical samples, if applicable, should be brought with you to the meeting.

5. Appear at the meeting on the scheduled day and time to present your proposal.

Thank you, the HPC looks forward to considering your request.

Please read the following directions for completing the Request for COA Application.

Attach photograph(s) of existing condition of property necessary to show all areas affected.

Attach plans, sketches, drawings, and diagrams of the project and detail the materials that will be used.

Provide such other information that is necessary for the HPC to adequately consider the application in light of the following criteria.

In reviewing applications for COAs, the HPC's duties include taking into account the historic and architectural significance of the structure and maintaining maps showing the historic and architectural significance of structures in the Historic Districts.

In its review, the HPC shall also take into account the following elements to ensure that the exterior form and appearance of the structure is consistent with the historical and visual character of the District:

1. The height of the building in relation to the average height of the nearest adjacent and opposite buildings;
2. The setback and placement of the building on the lot in relation to the average setback and placement of the nearest adjacent and opposite building;
3. Exterior construction materials, including textures and patterns.
4. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials;
5. Roof shapes, forms, and materials;
6. Proportions, shapes, positioning and locations, patterns and sizes of any elements of fenestration.

The **Code Office** will post a notice which will notify all affected property owners of the material change being requested not less than seven (7) days prior to the meeting at which the request for a COA is to be considered. The applicant and the affected property owners will be given an opportunity to be heard at the meeting in which the application is presented.

DEFINITIONS:

A "material change in appearance" means a change that will affect either the exterior architectural or environmental features of a historic property or any structure, site, or work of art within a historic district, and may include any one or more of the following:

1. A reconstruction or alteration of the size, shape, or façade, including any of the architectural elements or details;
2. Demolition;
3. Commencement of excavation for construction purposes;
4. A change in the location of advertising visible from the public right-of-way; and
5. The erection, alteration, restoration, or removal of any building or other structure within a historic property or district, including walls, fences, steps and pavements, or other appurtenant features.

[Sec. 8-4-2(f)]

“Exterior architectural features” means the architectural style, general design, and general arrangement of the exterior of a building or other structure, including but not limited to, the kind or texture of the building material and the type and style of all windows, doors, signs, and other appurtenant architectural fixtures, features, details, or elements relative to the foregoing [Sec. 8-4-2(b)].

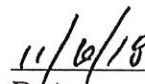
“Exterior environmental features” means all those aspects of the landscape or the development of the site which affect the historical character of the property [Sec. 8-4-2(c)].

Ordinary maintenance or repair of any exterior architectural feature in or on a historic property that does not involve a material change in design, material, or outer appearance is excluded from review. [Sec. 8-4-81]

I acknowledge that I have read this material and will abide by the ordinances set forth.



Signature of Applicant



Date

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
MONROE HISTORIC PRESERVATION COMMISSION

Please read the Historic Preservation Ordinance (Code Sections 8-4-1 through 8-4-91). In addition, please consult with the Code Office to determine if any other Monroe ordinances apply, and if applicable, read those ordinances.

DATE: 11/6/18

APPLICANT: DAVID BUTLER

APPLICANT'S ADDRESS: 111 WALTON ST. MONROE, GA. 30655

TELEPHONE NUMBER: 678-687-6089

PROPERTY OWNER: DAVID BUTLER

OWNER'S ADDRESS: 212 WALTON ST. MONROE, GA 30655

TELEPHONE NUMBER: 678-687-6089

PROJECT ADDRESS: 212 WALTON ST. MONROE, GA. 30655

Brief description of project: MATERIAL CHANGE IN APPEARANCE TO
LAND LOT. ERECTION OF NEW HOME ON THE PROPERTY (SEE
ATTACHED) AND REMOVAL OF TWO (2) SECTIONS OF BRICK
WALL FOR ENTRANCE / DRIVEWAY (SEE ATTACHED)

(Continue on separate sheet, if necessary.)

David Butler
Applicant

11/6/18
Date

Revised 6/29/17

ENTRANCE TO HOUSE

FOR SALE
KARLA SANCHEZ
404-943-7344
KELLER WILLIAMS REALTY

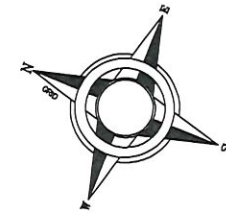


THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS MAP, PLAT, OR PLAN FOR FILING:

CITY OF MONROE DATE

THE APPROVAL SIGNATURES ABOVE WERE NOT IN PLACE WHEN THIS SURVEY WAS ISSUED, AND ARE TO BE PROPERLY OBTAINED PRIOR TO RECORDING.

I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND DETERMINED THAT, IN MY OPINION, THE AREA AS SHOWN ON THIS SURVEY DOES NOT LAY WITHIN A DESIGNATED FLOOD HAZARD AREA. COMMUNITY PANEL NO. 13297C0137E EFFECTIVE DATE: 12/8/2016



OWNER OF RECORD:
MARION H SHURLING JR
& SANDRA D SHURLING
208 WALTON ST
MONROE GA 30655

REFERENCES:
-DEED BOOK 1482 PAGE 355
-PLAT BOOK 7 PAGE 138
-PLAT BOOK 7 PAGE 148
-PLAT BOOK 7 PAGE 182
-PLAT BOOK 46 PAGE 138
-PLAT BOOK 90 PAGE 54

SURVEY FOR:
NAME
NAME
STATE OF GEORGIA
WALTON COUNTY
CITY OF MONROE
LAND LOT G4
3RD DISTRICT
DATE OF SURVEY 9/4/2018
DATE OF PLAT 9/17/2018
SCALE 1"=100'
JOB #18062-SHURLING
REVISIONS

SURVEYORS CERTIFICATE
1. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 40,254 FEET AND AN ANGULAR ERROR OF 2 SECONDS PER ANGLE POINT.
2. THE DATA SHOWN HEREON HAS BEEN CALCULATED FOR CLOSURE AND HAS BEEN FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 150,636 FEET AND WAS ADJUSTED BY USING THE COMPASS RULE.
3. ANGULAR AND LINEAR MEASUREMENTS OBTAINED BY USING A TOPCON GPT 3005...

THIS DRAWING AND ANY COPIES THEREOF ARE THE PROPERTY OF JOHN F. BREWER AND ASSOC AND ARE NOT TO BE CHANGED OR ALTERED BY OTHERS IN ANY MANNER AND SHALL NOT BE REPRODUCED OR COPIED, IN WHOLE OR PART WITHOUT HIS WRITTEN PERMISSION.

THIS DRAWING WAS PREPARED FOR THE BENEFIT AND EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. NO WARRANTY IS EXTENDED TO ANY UNNAMED THIRD PARTY.

JOHN F. BREWER
&
ASSOCIATES
LAND SURVEYING
LAND PLANNING
DEVELOPMENT SUPERVISION
1002 S. BROAD STREET
MONROE, GEORGIA 30655
TEL (770) 267-4703
EMAIL INFO@GASURVEYING.COM

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT

EXCEPT AS SPECIFICALLY SHOWN OR STATED THIS SURVEY DOES NOT PURPORT TO REFLECT ANY FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. THIS PLAT SUBJECT TO ALL RIGHT-OF-WAYS, EASEMENTS, BUFFERS AND COVENANTS SHOWN OR NOT SHOWN ON THIS SURVEY

NO EXISTING NATIONAL GEODETIC SURVEY MONUMENT WAS FOUND TO BE WITHIN 500' OF SUBJECT PROPERTY. THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.

THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCGA) 15-6-67 AS AMENDED BY HB1004 (2016), IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.

AS SHOWN ON THIS SURVEY, A PORTION OF THE SUBJECT PROPERTY DOES LIE WITHIN THE HISTORIC DISTRICT OF MONROE.

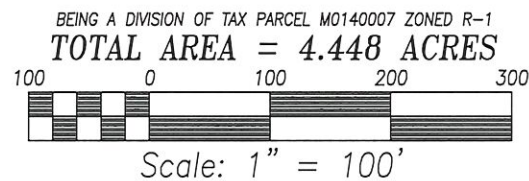
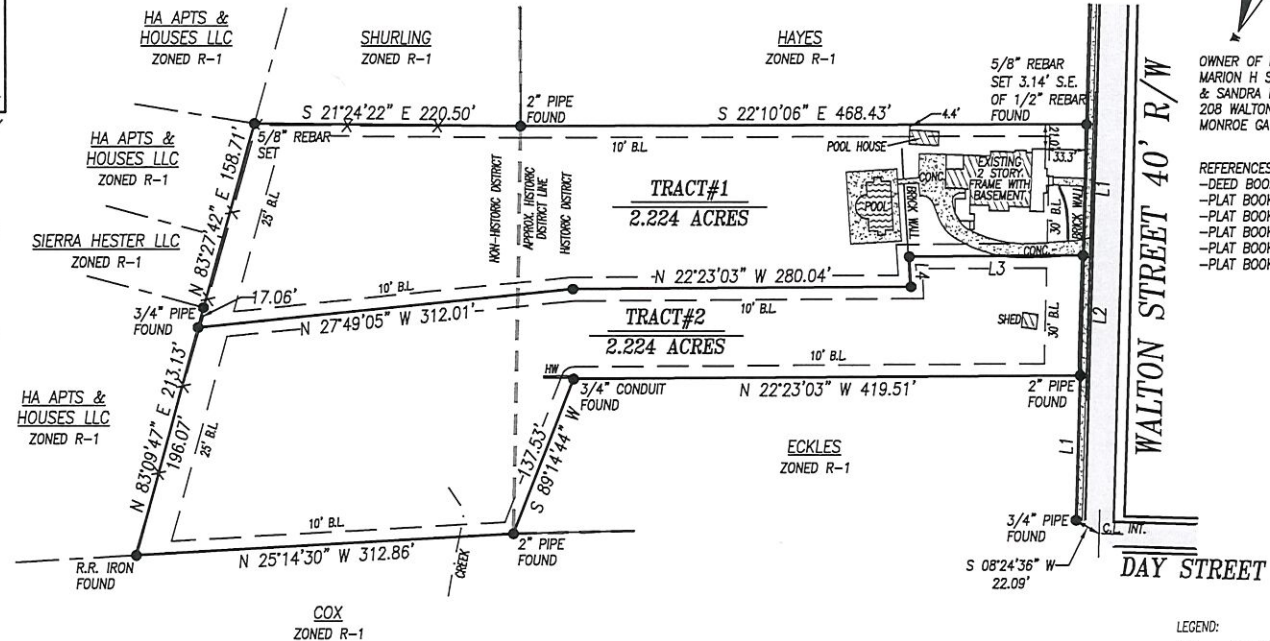
| NUMBER | DIRECTION | DISTANCE |
|--------|---------------|----------|
| L1 | S 69°26'41" W | 109.09' |
| L2 | S 69°26'41" W | 100.05' |
| L3 | N 22°23'03" W | 143.92' |
| L4 | S 64°44'35" W | 25.03' |

SURVEYORS CERTIFICATION:

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

JOHN F. BREWER, III RLS#2905

DATE

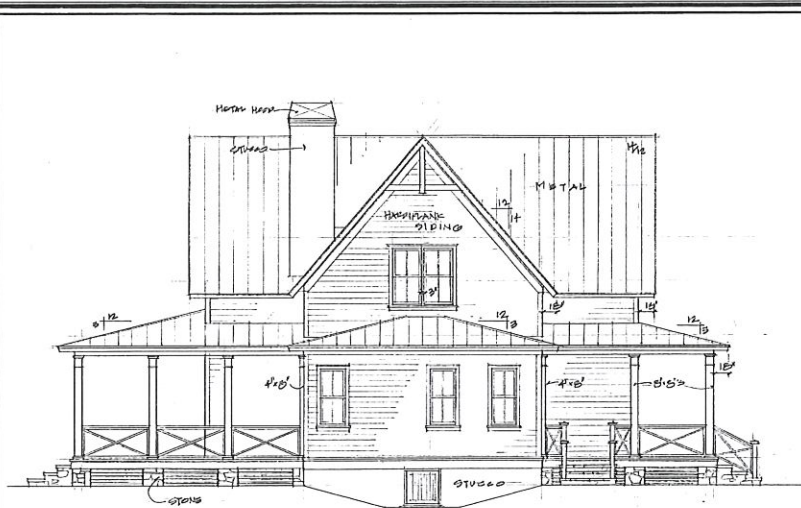


- LEGEND:
- INT. - INTERSECTION
 - BC - BACK OF CURB
 - S.E. - SANITARY SEWER EASEMENT
 - H.W. - HEAD WALL
 - C.B. - CATCH BASIN
 - R/W - RIGHT OF WAY
 - D.E. - DRAINAGE EASEMENT
 - B.L. - BUILDING LINE
 - R. - RADIUS
 - R.C.P. - REINFORCED CONCRETE PIPE
 - C.M.P. - CORRUGATED METAL PIPE
 - L.L. - LAND LOT
 - L.L.L. - LAND LOT LINE
 - C.L. - CENTER LINE
 - SSMH - SANITARY SEWER MANHOLE
 - F.H. - FIRE HYDRANT
 - W.V. - WATER VALVE
 - 5/8" - 5/8" CAPPED REBAR SET UNLESS NOTED OTHERWISE

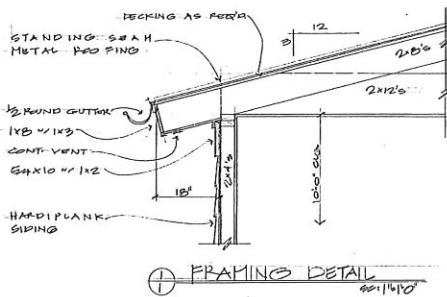
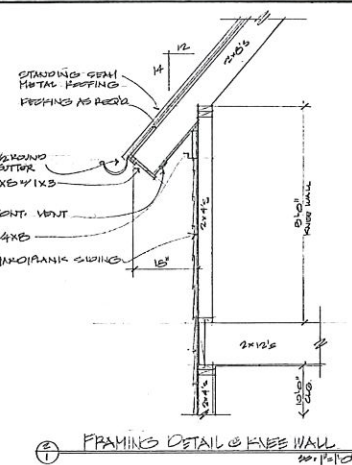




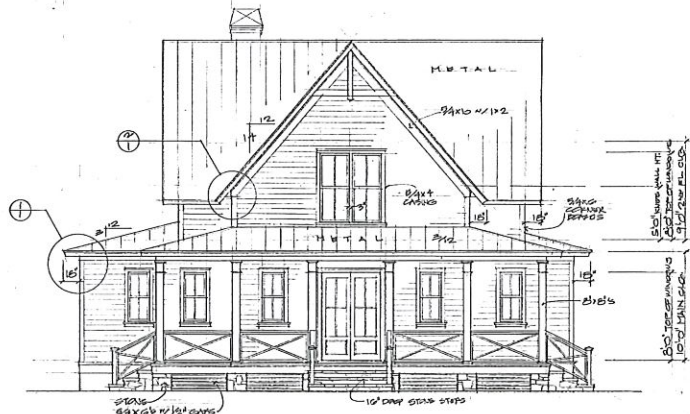




LEFT ELEVATION
2014/10/10



FRAMING DETAIL
2014/10/10



FRONT ELEVATION
2014/10/10

| REVISION | BY |
|----------|----|
| | |
| | |
| | |
| | |
| | |

TRADITIONAL RESIDENTIAL DESIGN SINCE 1985

L. Mitchell Ginn & Assoc.

1881 NORTH HIGHWAY 28
NEWNAN, GEORGIA 30565
PHONE/FAX 770/892-1433
WWW.GINNHOMEDSIGN.COM

PROJECT: FOUR GABLES

DATE: 07/22/12

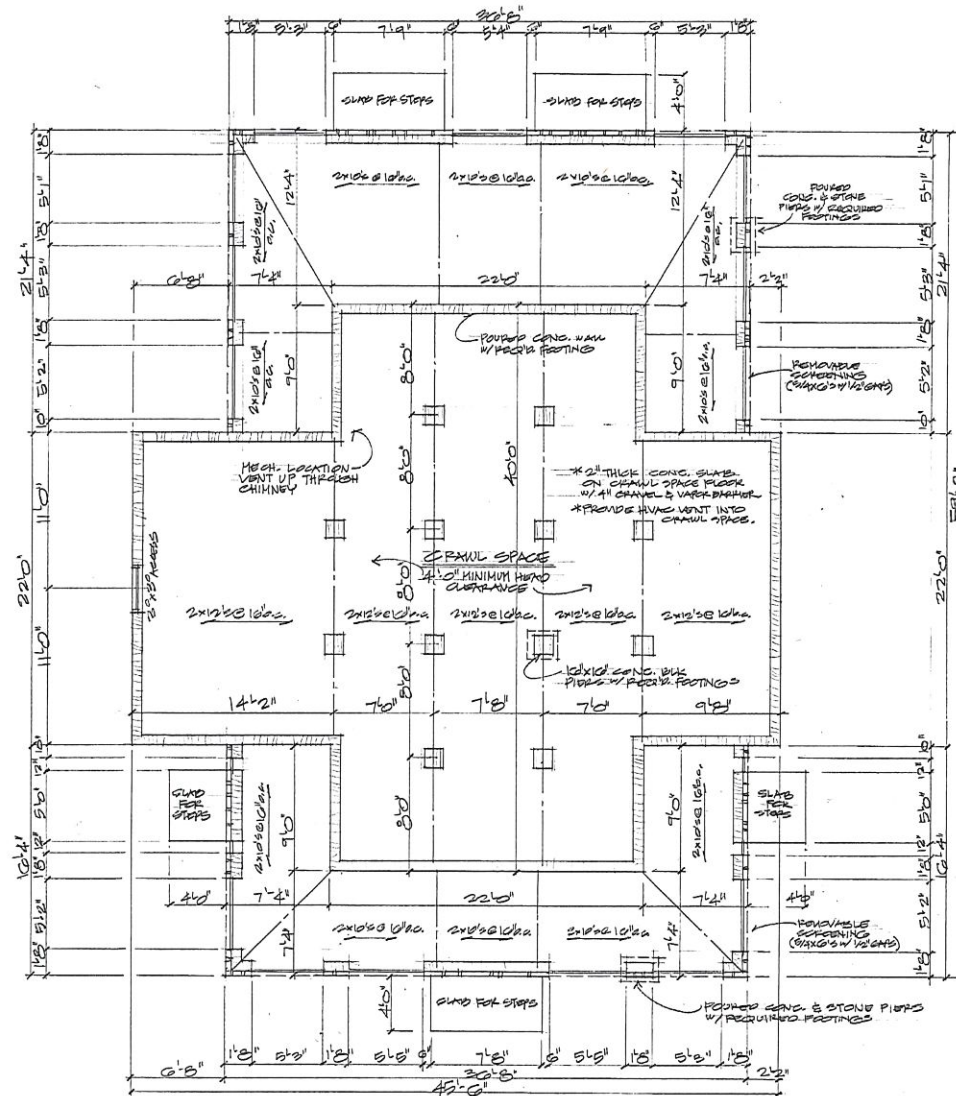
DRAWN BY: LMG

CHECKED BY: LMG

JOB NO: 1202

SHEET: 1

OF 11



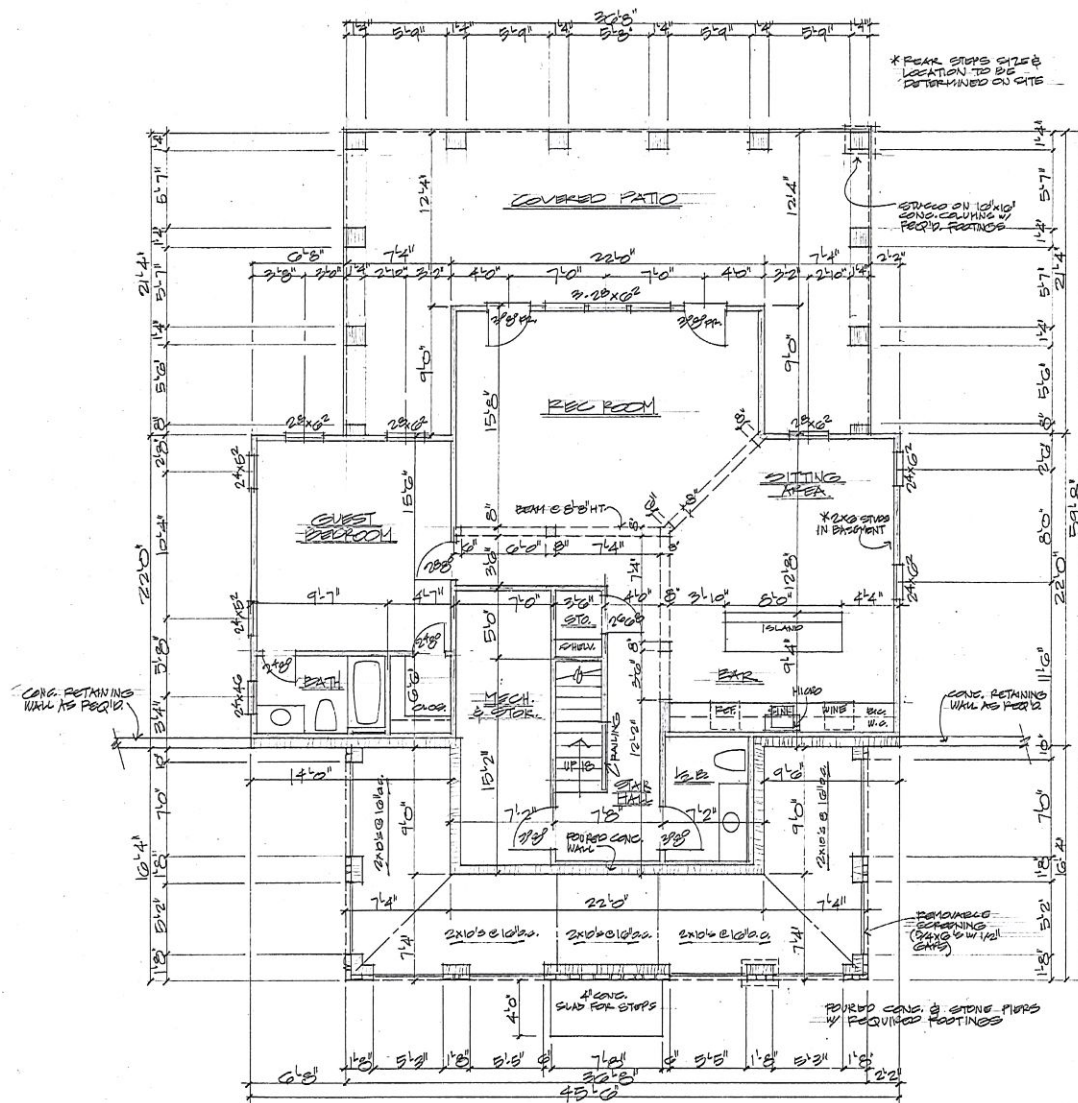
FOUNDATION PLAN
20014610

| REVISION | BY |
|----------|----|
| | |
| | |
| | |

TRADITIONAL RESIDENTIAL DESIGN SINCE 1985
L. Mitchell Ginn & Assoc.
 1881 NORTH HIGHWAY 29
 NEWNAN, GEORGIA 30263
 PHONE/FAX (770) 502-1423
 WWW.GINNHOMEDSIGN.COM

PROJECT: **FOUR CABLES**
 IMPORTANT NOTE:
 CONSTRUCTION REQUIREMENTS ARE TO BE VERIFIED OR RETAINED
 BY THE CLIENT. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR
 VERIFY COMPLIANCE WITH ALL LOCAL BUILDING AND PLANNING CODES.

DATE: 07/22/12
 DRAWN BY: LMG
 CHECKED BY:
 JOB NO: SL 1892
 SHEET: 3
 OF 11 SHEETS



OPT. BASEMENT PLAN

10'0" CEILING HT.
1251. HATCHED SQ. FEET
146 MECH. ROOM SQ. FT.

REVISION BY

| | |
|--|--|
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| | |

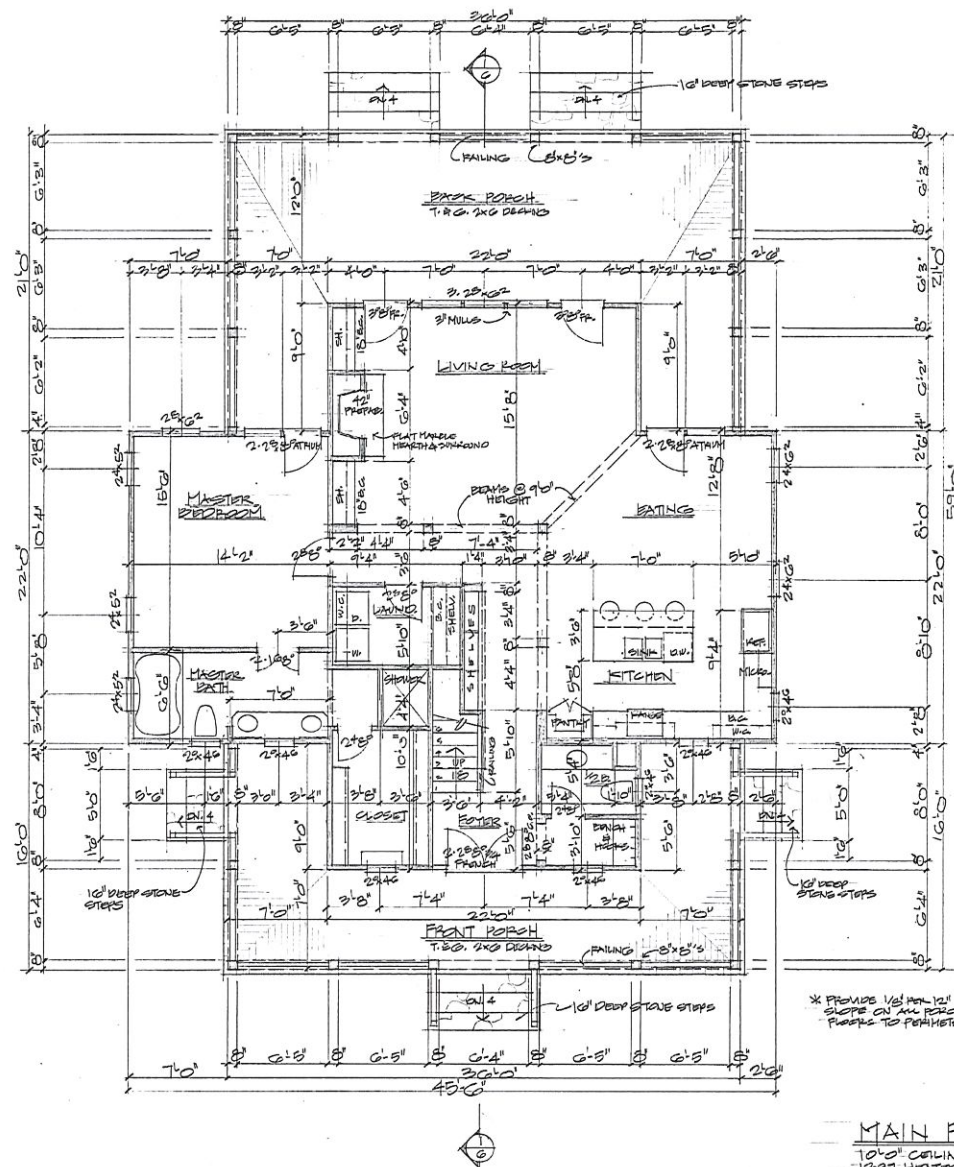


L. Mitchell Ginn & Assoc.
181 NORTH HIGHWAY 29
NEWNAN, GEORGIA 30263
PHONE/FAX (770) 502-1423
WWW.GINNHOMEDSIGN.COM

PROJECT: FOUR GABLES
IMPORTANT NOTES:
CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE CONSTRUCTION.
STRUCTURAL REQUIREMENTS ARE TO BE VERIFIED OR DETERMINE
NECESSARY CONSULTANTS WITH ALL LOCAL BUILDING AND FIRE CODES.

DATE: 11/07/13
DRAWN BY: LMG
CHECKED BY:
JOB NO: SL 1832
SHEET: 4

OF 11 SHEETS



MAIN FLOOR PLAN

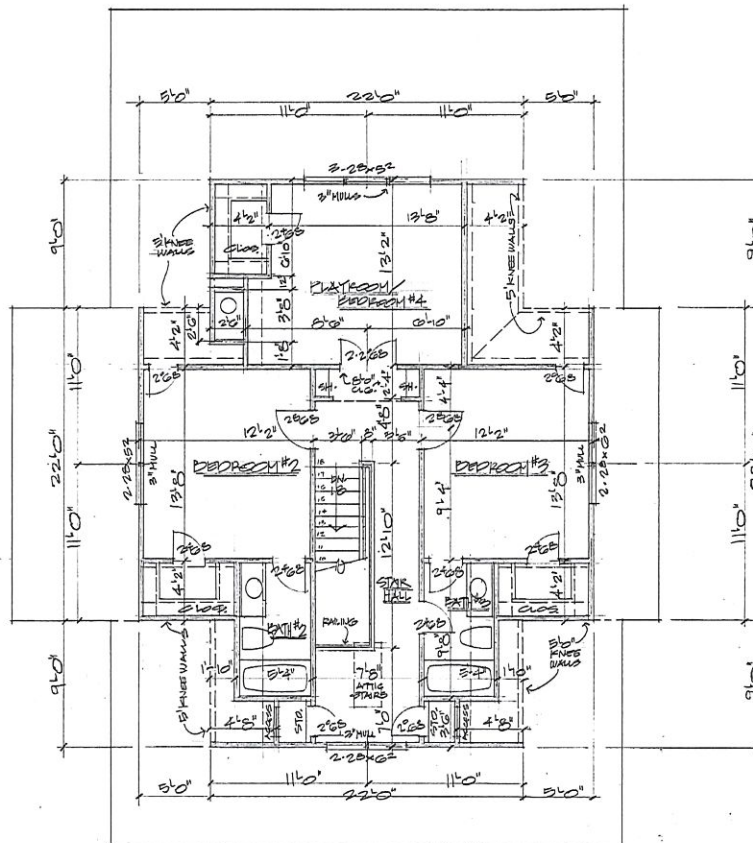
10'0" CEILING HT.
1397 HEATED SQ. FT.

| REVISION | BY |
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TRADITIONAL RESIDENTIAL DESIGN SINCE 1985
L. Mitchell Ginn & Assoc.
 1891 NORTH HIGHWAY 29
 NEWNAN, GEORGIA 30253
 PHONE/FAX (770) 522-1423
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| | |
|-------------|-------------|
| PROJECT: | FOUR GABLES |
| DATE: | 07/02/12 |
| DRAWN BY: | LHG |
| CHECKED BY: | |
| JOB NO: | SL 1832 |
| SHEET | 5 |
| OF | 11 SHEETS |



SECOND FLOOR PLAN

9'0" CEILING HT. 944 HEATED SQ. FT. SS: 14'0" x 10'0"

| REVISION | BY |
|----------|-----|
| 08/09/13 | DVD |

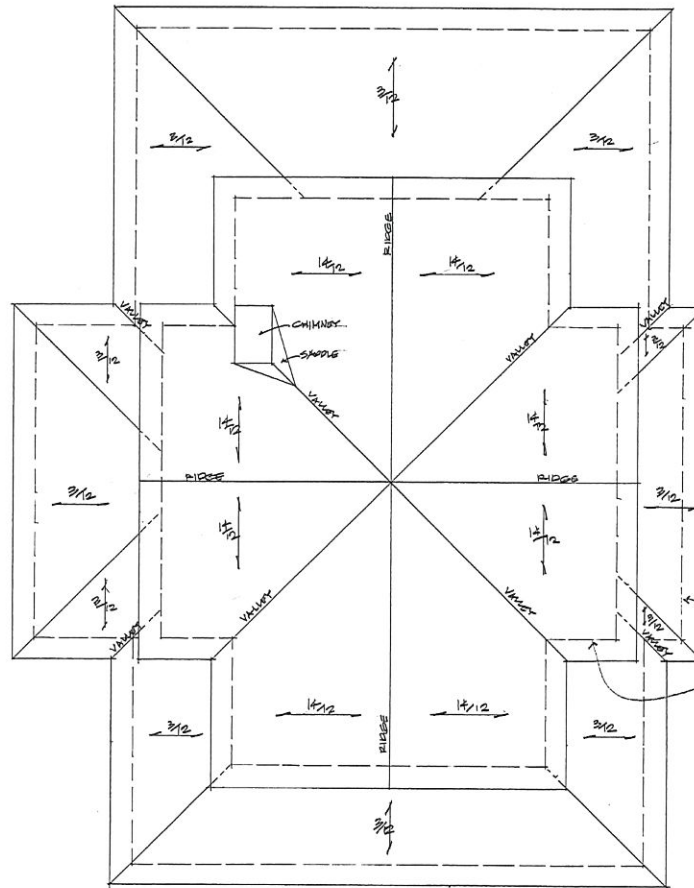


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 PHONE/FAX (770) 502-1423
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PROJECT: **FOUR GABLES**
 IMPORTANT NOTE:
 CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE CONSTRUCTION.
 STRUCTURAL REQUIREMENTS ARE TO BE VERIFIED OR DETERMINED
 BY A LICENSED STRUCTURAL ENGINEER. VERIFY COMPLIANCE WITH ALL LOCAL BUILDING AND FIRE CODES.

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| DATE: 07/22/12 |
| DRAWN BY: LMG |
| CHECKED BY: |
| JOB NO: GL 1632 |
| SHEET 9 |

OF 11 SHEETS



ROOF PLAN

50-141/2/10

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 NEWNAN, GEORGIA 30263
 PHONE/FAX (770) 802-1423
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PROJECT: **FOUR GABLES**
 IMPORTANT NOTE:
 CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE CONSTRUCTION.
 STRUCTURAL REQUIREMENTS ARE TO BE VERIFIED OR DETERMINED
 BY A LICENSED STRUCTURAL ENGINEER.
 VERIFY COMPLIANCE WITH ALL LOCAL BUILDING AND FIRE CODES.

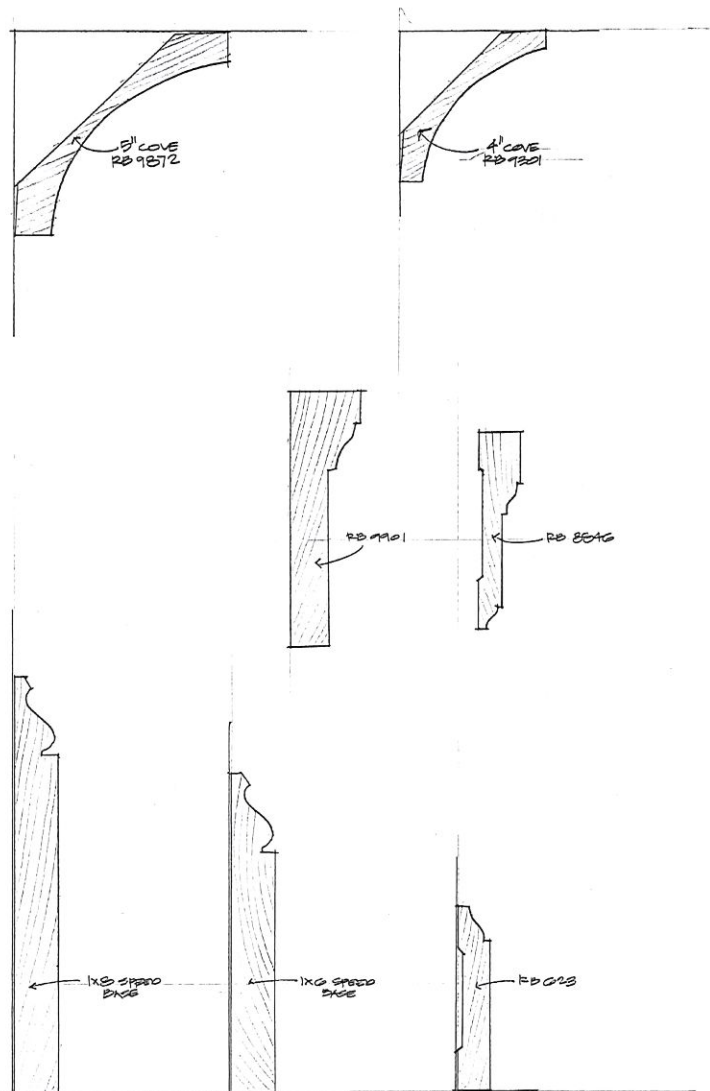
DATE: 07/22/12
 DRAWN BY: LMG
 CHECKED BY:
 JOB NO: 011832
 SHEET 7
 OF 11 SHEETS



PROJECT: **FOUR CABLES**

IMPORTANT NOTE:
CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE CONSTRUCTION.
STRUCTURAL REQUIREMENTS ARE TO BE VERIFIED OR DETACHED
BY REGISTERED STRUCTURAL ENGINEER. CONTRACTOR MUST

DATE: 07/02/14
DRAWN BY: LWE
CHECKED BY:
JOB NO: SL 135
SHEET 8
OF 11 SHEETS



INTERIOR MOLDING SCHEDULE

| | CROWN | CASING | BASE MOLD |
|------------------------|---------|---------|----------------|
| FOYER & BENCH HALL | RB 9872 | RB 9901 | 1X6 SPEED BASE |
| LIVING ROOM | " | " | " |
| KITCHEN/EATING | " | " | " |
| MASTER BEDROOM | " | " | " |
| MASTER BATH | " | " | " |
| MASTER CLOSET | NONE | RB 8846 | RB 0023 |
| 1/2 BATH | RB 9872 | RB 9901 | 1X6 SPEED BASE |
| LAUNDRY | NONE | " | " |
| STAIR HALL - 2ND FLOOR | RB 9801 | " | 1X6 SPEED BASE |
| BEDROOM #2 | " | RB 8846 | " |
| BEDROOM #3 | " | " | " |
| BEDROOM #4 | " | " | " |
| 2ND FLOOR BATHS | " | " | " |
| 2ND FLOOR CLOSETS | NONE | " | RB 0023 |

"RB" INDICATED RANDALL BROTHERS OF ATLANTA, GA.

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 1881 NORTH HIGHWAY 29
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PROJECT: FOUR CABLES
 IMPORTANT NOTE:
 CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE CONSTRUCTION.
 STRUCTURAL REQUIREMENTS ARE TO BE VERIFIED OR DETERMINED
 BY A LICENSED PROFESSIONAL ENGINEER. VERIFY COMPLIANCE WITH ALL LOCAL BUILDING AND FIRE CODES.

DATE: 07/02/12
 DRAWN BY: LMG
 CHECKED BY:
 JOB NO: SL1832
 SHEET 9
 OF 11 SHEETS