



Planning Commission Meeting

AGENDA

Tuesday, October 18, 2022

5:30 PM

215 N. Broad St

I. **CALL TO ORDER**

II. **ROLL CALL**

III. **APPROVAL OF AGENDA**

IV. **MINUTES OF PREVIOUS MEETING**

[1.](#) Previous Minutes 9-20-2022

V. **REPORT FROM CODE ENFORCEMENT OFFICER**

VI. **OLD BUSINESS**

VII. **NEW BUSINESS**

[1.](#) Request for Conditional Use Permit - 517 Hill St - Child Care Center

[2.](#) Request for Rezone - 1101 Double Springs Ch Rd Connector - B3 to PCD

VIII. **ADJOURNMENT**

**MONROE PLANNING COMMISSION
MEETING MINUTES—September 20, 2022—DRAFT**

Present: Mike Eckles, Rosalind Parks, Randy Camp, Nate Treadaway

Absent: Nate Treadaway

Staff: Brad Callender—City Planner
Laura Wilson—Code Assistant

Visitors: Shane Persaud, Hasan Raster (?), Chris Bailey

Call to Order by Chairman Eckles at 5:30 pm.

Motion to Approve the Agenda as presented:

Motion Parks. Second Camp
Motion carried

Chairman Eckles asked for any changes, corrections or additions to the August 16, 2022 minutes.

Motion to approve

Motion Parks. Second Camp.
Motion carried

Chairman Eckles asked for the Code Officer’s Report: The City Council Planning Retreat will be September 29th from 9am to 3pm. The retreat will have a presentation on smart codes and will provide an opportunity for the Planning Commission and Council to interact.

Sara Shropshire did take a position with the City as the Community Development Director as result she has to resign her position on the Planning Commission. The City is currently interviewing several applicants to fill the position.

Old Business: None

The First Item of Business: is Certificate of Appropriateness Case #1407, a request for exterior renovations of an existing fast-food restaurant at 955 E. Spring St. (Popeye’s). The applicant is proposing to lower the existing parapet wall to make it level with the building and replace the existing canopy with a more modern looking one. It is a straight forward request to reface the building and modernize the brand. Staff recommends approval without conditions. Hasan Raster (?) owner of the Popeye’s and Shane Persaud project architect spoke in favor of the project.

Chairman Eckles: Any questions? None

Chairman Eckles: Anyone here to speak in opposition? None

Motion to approve as presented

Motion Camp. Second Parks.
Motion Carried

Chairman Eckles entertained a motion to adjourn.

Motion to adjourn

Motion Parks. Second Camp.
Meeting adjourned; 5:37pm



**Planning
City of Monroe, Georgia
CONDITIONAL USE STAFF REPORT**

APPLICATION SUMMARY

CONDITIONAL USE CASE #: 1630

DATE: October 10, 2022

STAFF REPORT BY: Brad Callender, Planning & Zoning Director

APPLICANT NAME: Levon Howard

PROPERTY OWNER: Philip Mark McDonald

LOCATION: Southwest corner of Roosevelt Street and Hill Street – 517 Hill Street

ACREAGE: ±0.52

EXISTING ZONING: P (Professional/Office/Institutional District)

EXISTING LAND USE: Care center building with parking and accessory structures

REQUEST SUMMARY: The owner is petitioning for Conditional Use approval on this property in order to allow for a child care center.

STAFF RECOMMENDATION: Staff recommends approval of this Conditional Use request as submitted.

DATES OF SCHEDULED MEETINGS

PLANNING COMMISSION: October 18, 2022

CITY COUNCIL: November 8, 2022

REQUEST SUMMARY

CONDITIONAL USE PERMIT REQUEST SUMMARY:

The applicant is requesting approval of a Conditional Use in order to allow for a Child Care Center at an existing care center location. The subject property has been zoned P (Professional/Office/Institutional District) for many years. The existing care center building was constructed on the site in 1977 and has operated as either a child care or adult care center until 2019. In order to continue using the site as a care center, the operation would have been required to continue operating. After a period of 6 months of inactive use, the previous care center is considered non-conforming under Zoning Ordinance Section 500.2. This Conditional Use approval request is an effort to re-establish the site as a child care center.

PROPOSED PROJECT SUMMARY:

- Child Care Center
 - Site Area – ±0.52 Acres
 - Existing Building Floor Area – ±2,500 Sf
 - Employees – 2 to 10
 - Hours of Operation: 6 AM to 7 PM
 - Number of children under care: 70 to 80

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “STANDARDS FOR CONDITIONAL USE APPLICATION DECISIONS” AS SET FORTH IN SECTION 1425.5 OF THE *CITY OF MONROE ZONING ORDINANCE*.

- (1) **The proposed use will not be detrimental to adjacent properties or the general neighborhood, the proposed use will not significantly adversely affect public health, safety, morality and welfare, and the proposed use as designed will minimize adverse effects on the surrounding neighborhood:** The proposed child care center will be located in a building constructed for that specific use in 1977. A child or adult care center operated out of the existing building for at least three decades before ceasing operations around 2019. The care center operated in the surrounding neighborhood without adversely impacting the health, safety, and welfare of the surrounding neighborhood. Child care centers are typically not considered invasive land uses when located inside or adjacent to a neighborhood. Allowing the child care center to be reactivated at the existing site should not negatively affect the neighborhood surrounding the site.
- (2) **The applicable standards in Article X have been met:** There are no standards applicable to Child Care Centers in Article X of the Zoning Ordinance.
- (3) **The proposed use is consistent with the Comprehensive Plan, and the conditional use is compatible with the community development pattern:** The subject property is located within the North Sub-Area as designated in the Monroe Comprehensive Plan. The North Sub-Area plan suggests new development should have interconnected streets and connect with existing neighborhoods as possible. This site has existed as a care center for several decades and does not conflict with the goals of the Comprehensive Plan.
- (4) **A rezoning to allow the requested use as a permitted use would not be appropriate:** Rezoning the property to allow for a child care center is an alternative, but is not required. Child care centers are permitted in the P zoning district as a Conditional Use.
- (5) **The proposed use will not be injurious to the natural environment or the other property in the immediate vicinity, or unconstitutionally diminish property values within the surrounding neighborhood:** As stated above, the care center building has been located within the surrounding neighborhood for over thirty years. There has been no evidence the care center has ever been injurious to the adjoining properties or unconstitutionally diminished any property values.

- (6) **Off-street parking and loading, and access thereto, will be adequate:** The site currently has two driveway entrances off Hill Street providing access to an existing parking lot for the care center building. The existing accesses and parking are adequate to serve the site.
- (7) **Public facilities and utilities are capable of adequately serving the proposed use, and the use would not lead to a major negative change in existing levels of public service, or fiscal stability:** Public services and utilities are currently serving the existing care center building.
- (8) **The use will not be an extension of a use which will cause a damaging volume of (a) agricultural, (b) commercial, (c) industrial, or (d) higher density residential use into a stable neighborhood of well-maintained single-family homes, nor likely lead to decreasing surrounding property values, neighborhood deterioration, spreading of blight, or additional requests of a similar nature which would expand the problem:** The primary uses surrounding this site are existing single-family residences. The care center building has existed in harmony with the single-family residences for over 30 years.
- (9) **The use would not significantly increase congestion, noise, or traffic hazards:** The existing building was formerly used for adult care and child care purposes. Reactivating the site for a child care center should not generate increased congestion, noise or traffic hazards within the neighborhood.
- (10) **Granting this request would not have a “domino effect,” in that it becomes the opening wedge for further rapid growth, urbanization or other land-use change beyond what is indicated in the Comprehensive Plan:** The building on the site was previously used as a child care and adult care center since its construction in 1977.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested Conditional Use as submitted without conditions.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

CONDITIONAL USE PERMIT

PERMIT #:	1630	DESCRIPTION:	CONDITIONAL USE - Child Care Center
JOB ADDRESS:	517 HILL ST	LOT #:	64
PARCEL ID:	M0110074	BLK #:	
SUBDIVISION:		ZONING:	
ISSUED TO:	Levon Howard	CONTRACTOR:	Levon Howard
ADDRESS:	120 Arthurs Ln	PHONE:	
CITY, STATE ZIP:	Covington GA 30016	OWNER:	
PHONE:	678-476-4114	PHONE:	
PROP. USE VALUATION:	\$ 0.00	DATE ISSUED:	10/05/2022
SQ FT:	0.00	EXPIRATION:	4/03/2023
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
PZ-09	CONDITIONAL USE PERMIT	\$ 300.00
FEE TOTAL		\$ 300.00
PAYMENTS		\$- 300.00
BALANCE		\$ 0.00

NOTES:

This request for a Conditional Use Permit for a Child Care Center at 517 Hill St. will be heard by the City of Monroe Planning Commission on October 18, 2022 at 5:30pm and by City Council on November 8, 2022 at 6:00pm; both meeting will be held in the Council Chambers at City Hall, 215 N. Broad St. Monroe, GA 30655.

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Samuel Worin

(APPROVED BY)

10/5/22
DATE

**NOTICE TO THE PUBLIC
CITY OF MONROE**

A petition has been filed with the City of Monroe requesting the property located at 517 Hill Street (Parcel #MO110074) to be considered for a Conditional Use to allow for a child care center.

A public hearing will be held before the City of Monroe Planning Commission to review and consider a recommendation to the Monroe City Council at the City Hall Auditorium at 215 N. Broad Street on October 18, 2022 at 5:30 P.M. The Monroe City Council will hold a public hearing and a decision will be made at the City Hall Auditorium at 215 N. Broad Street on November 8, 2022 at 6:00 P.M. All those having an interest should be present to voice their interest.

**PLEASE RUN ON THE
FOLLOWING DATE:**

October 2, 2022





CITY OF MONROE

RECEIVED
#11630

CONDITIONAL USE APPLICATION

CONDITIONAL USE LOCATION & DESCRIPTION

Address: 517 Hill Street Monroe, GA 30606

Parcel #: M0110074 Council Districts: District 2 / District 7

Zoning: Professional/office/institutional Acreage/Square Feet: 0.52 Acres

Type of Conditional Use Requested: Childcare center

PROPERTY OWNER & APPLICANT INFORMATION

Property Owner: Philip Mark McDonald Phone #: 770-310-0971

Address: 1050 Weaver Jones Rd City: Rutledge State: GA Zip: 30663

Applicant (if different than owner): Levon Howard Phone #: 678-476-4114

Address: 120 Arthur Lane City: Cumming State: GA Zip: 30016

CONDITIONAL USE INFORMATION

Describe the nature of the proposed use, including without limitation the type of activity proposed, number of occupants and/or employees, hours of operation, number of vehicle trips, water and sewer use, and similar matters (1425.1(1)(b)): This property will be used as a childcare center. Occupancy will be between 70 and 80 including employees number of staff will be between 2 and 10. We will pickup and drop off children from the local school systems.

Describe the location of the proposed structure(s) or use(s) and its relationship to existing adjacent uses or structures, and use of adjacent properties (1412.1(1)(c)): This property at 517 Hill St is a commercial building that sits in the middle of a residential area. This property was built as a childcare center and has been a childcare w adult daycare center since 1977.

CONDITIONAL USE INFORMATION CONT.

Describe the area, dimensions and details of the proposed structure(s) or uses(s), including without limitation, existing and proposed parking, landscaped areas, height and setbacks of any proposed buildings, and location and number of proposed parking/loading spaces and access ways (1425.1(1)(d)):

The property is a 2500 Square Ft. Building That Sits on .52 Acre. The Back and Side Yard is Completely Fenced in with Privacy Fence Across The Left and Rear of The Property and Chain Link around The Rest with a Parking Lot in The Front That will Accomodate Approximately 16 Vehicles with a Entrance and Exit.

Select all existing utilities available and/or describe proposed utilities (1425.1(1)(e)):

- City Water
- Private Well
- City Sewer
- Septic Tank
- Electrical
- Gas
- Telecom

REQUIRED SUBMITTAL ITEMS

- Completed Application
- Site Plan; Drawn to scale
- Fee (see Fee Schedule)
- Deed
- Survey Plat
- Proof of all property taxes paid in full
- Typed Detailed Description of the Request
- Other information as required by Code Enforcement

I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. APPLICANT HERBY AUTHORIZES THE CODE DEPARTMENT PERSONNEL TO ENTER UPON AND INSPECT THE PROPERTY FOR ALL PURPOSES ALLOWED AND REQUIRED BY THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS.

SIGNATURE: Kevin K Howard DATE: 9/2/2022

A PUBLIC NOTICE SIGN WILL BE PLACED ON THE SUBJECT PROPERTY PRIOR TO THE PUBLIC HEARING AND REMOVED BY THE CODE DEPARTMENT. THE PUBLIC NOTICE SIGN MUST REMAIN ON THE SUBJECT PROPERTY UNTIL AFTER THE CITY COUNCIL MEETING DECIDES THE MATTER.

PROPERTY OWNER'S AUTHORIZATION SIGNATURE IF NOT THE APPLICANT

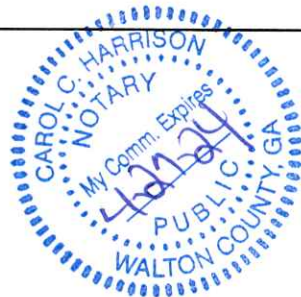
SIGNATURE: [Signature] DATE: 9-8-22

NOTARY PUBLIC:

SWORN TO AND SUBSCRIBED BEFORE THIS 8th DAY OF Sept., 20 22

NOTARY SIGNATURE: [Signature]

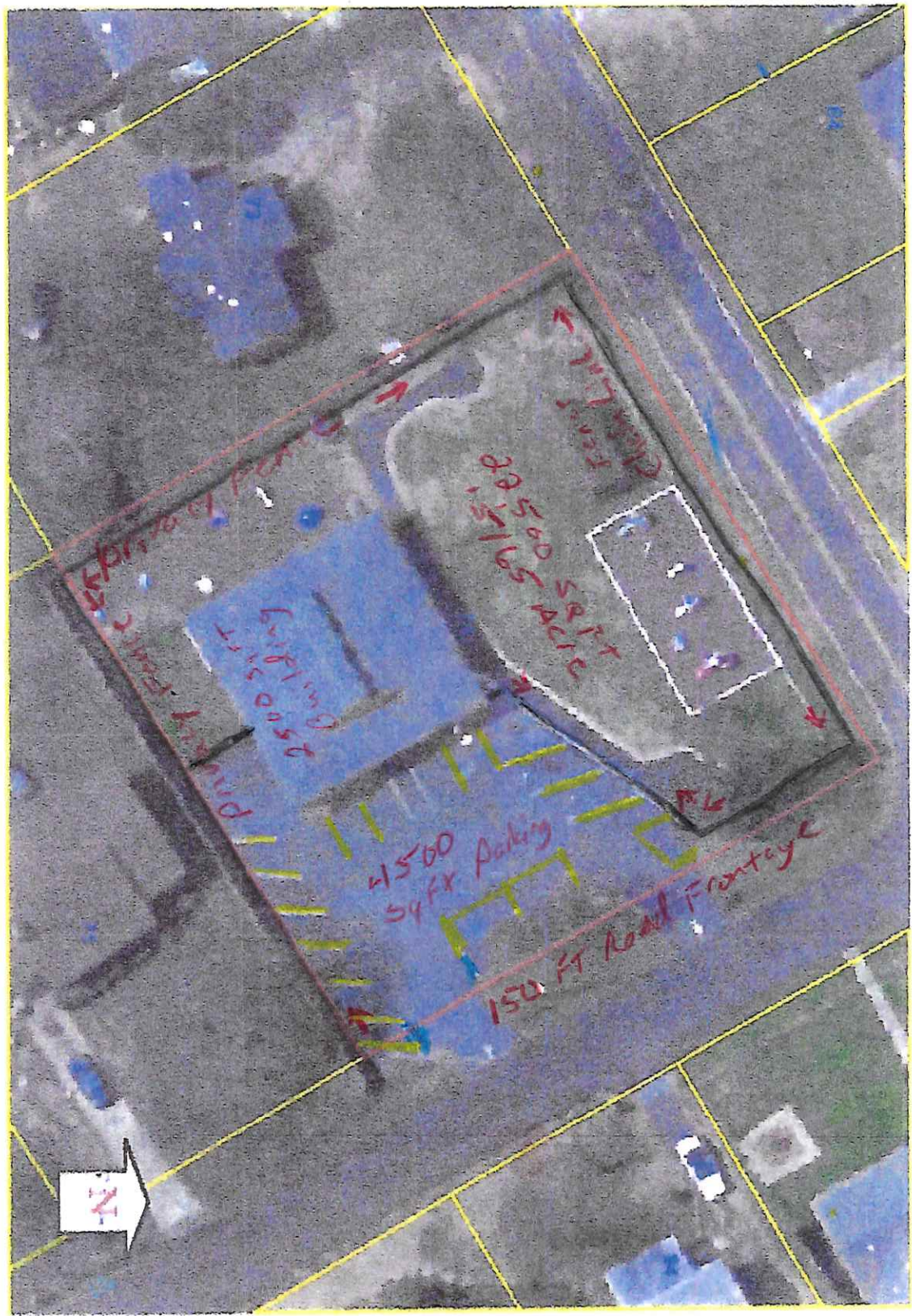
DATE: 9-8-22 SEAL:



It is the responsibility of the applicant and not the staff to ensure that a complete application with all required materials are submitted. Applications and submittals found to be incomplete and incorrect will be rejected. Each applicant is responsible for compliance with the Disclosure of Campaign Contributions and/or Gifts outlined in Section 1450 of the Zoning Ordinance.

City of Monroe
215 N Broad St.
Monroe, Ga 30655

I am seeking Conditional Use for the property at 517 Hill Street, Monroe, Ga 30655. This property will be used as a childcare facility. The occupancy will be between 70 and 80 which includes employees of 2 to 10 staff personnel. We will pick up and drop off from local school systems. The hours of operations will be from 6am until 7pm.





**Planning
City of Monroe, Georgia
REZONE STAFF REPORT**

APPLICATION SUMMARY

REZONE CASE #: 1631

DATE: October 10, 2022

STAFF REPORT BY: Brad Callender, Planning & Zoning Director

APPLICANT NAME: Young Men’s Christian Association of Georgia’s Piedmont, Inc.

PROPERTY OWNER: Young Men’s Christian Association of Georgia’s Piedmont, Inc.

LOCATION: Northwest corner of Charlotte Rowell Boulevard and Double Springs Church Road Connector

ACREAGE: ±38.19

EXISTING ZONING: B-3 (Highway Commercial District)

EXISTING LAND USE: Undeveloped

ACTION REQUESTED: Rezone B-3 to PCD (Planned Commercial District)

REQUEST SUMMARY: The owners are petitioning for a rezone of this property in order to allow for development of a community recreation center.

STAFF RECOMMENDATION: Staff recommends approval of this rezone request subject to conditions.

DATES OF SCHEDULED MEETINGS

PLANNING COMMISSION: October 18, 2022

CITY COUNCIL: November 8, 2022

REQUEST SUMMARY

REZONE REQUEST SUMMARY:

The applicant is requesting approval of a rezone in order to construct a community recreation center. The subject property was annexed into the City in October of 2001 and rezoned to B-3 (Highway Commercial District). The property has never been developed. The applicant is requesting a rezone to PCD (Planned Commercial District) to develop the site into a community recreation center for the Young Men’s Christian Association of Georgia’s Piedmont, Inc. (YMCA). The site plan included with this rezone request illustrates one proposed access off Double Springs Church Road Connector into parking and access drives for the community recreation center. The community recreation center site will include a primary recreation facility building, outdoor ball fields, and an archery range. The only land use proposed for the planned district is the community recreation center and its accessory and ancillary uses.

PROPOSED PROJECT AMENDMENT SUMMARY:

- Community Recreation Center – YMCA
 - Site Area – ±38.19 Acres
 - Primary Recreation Facility Building – 44,375 Sf
 - Maximum Building Height – 35 feet
 - Facility includes the following amenities:
 - Indoor Pool
 - Offices
 - Fitness Center
 - Exercise Room
 - Nursery
 - Therapy Pool
 - Chapel
 - Locker Rooms
 - Future Basketball Court
 - Building Facade – Combination of brick and black/dark gray architectural metals
 - Parking Spaces – 288
 - Ancillary Recreation Buildings
 - Lacrosse Pavilion – 31,337 Sf
 - Maximum Height – 37 Feet
 - Archery Pavilion – 1,200 Sf
 - Future Concession & Restroom Building – 1,656 Sf
 - Maximum Building Height – 35 Stories
 - Sports Fields
 - 3 Soccer Fields
 - 1 Covered Lacrosse Pavilion
 - Future Tennis or Pickle Ball Courts
 - 1 Archery Range
 - Lighting will be provided at all outdoor facilities with LED-shielded lighting
 - Impervious Surface – 18% of Site

STAFF ANALYSIS

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “STANDARDS FOR ZONING MAP AMENDMENT APPLICATION DECISIONS” AS SET FORTH IN SECTION 1421.8 OF THE *CITY OF MONROE ZONING ORDINANCE*.

(1) The location, present use, and zoning classification of the subject property, and its suitability and economic viability for use as currently zoned: The property was annexed into the City in October of 2001. The property was rezoned to B-3 (Highway Business District) at the time of annexation. The property was never developed under the current B-3 classification. The property has solid economic viability as currently zoned. Due to the unique nature of the proposed community center and the size of the site, the developers of the community recreation center would like to be developed under a set of standards more conducive for a larger property. In lieu of being developed under the current B-3 zoning, the owners are requesting a rezoning to a Planned Commercial District to establish standards that will be unique to the property and development of the site specifically tailored to accommodate a community recreation center.

- (2) The proposed use and zoning classification of the subject property:** The applicant is requesting the rezone to PCD (Planned Commercial District) to allow for development of a community recreation center on the site. The only use allowed on the site will be the community recreation center and its accessory and ancillary uses. No other commercial land uses will be permitted on the site.
- (3) The existing land uses and zoning classification of nearby property, whether the zoning proposal seeks a use consistent with the use and development of adjacent and nearby property, and to what extent the zoning proposal will adversely affect adjacent or nearby property:** Properties located west of the site are zoned R-1A (Medium Lot Residential) and are currently undeveloped. Properties north, south, and east of the site are zoned B-3 (Highway Commercial) and are also undeveloped. The proposed community recreation center has been planned to be developed on this site for about 10 years. Community recreation centers are typically considered assets when located adjacent to neighborhoods. The non-residential aspect of the community recreation center should not adversely affect future development patterns of adjacent B-3 zoned parcels.
- (4) Whether the zoning proposal will result in a use which could adversely affect existing infrastructure including without limitation streets, transportation facilities, utilities, schools, police and fire protection, and municipal personnel:** The submitted zoning plan illustrates one entrance into the site off Double Springs Church Road Connector. The zoning plan indicates the entrance will accommodate a single-lane entrance into the site and dual lane left and right turn exits from the site. The zoning plan does not propose any additional improvements to Double Springs Church Road Connector. With the Monroe Area High School located north of this site, the entrance may need to be enhanced to allow for safe left-turn movement into the site while also allowing traffic to continue moving northward along Double Spring Church Road Connector. Staff recommends the development be required to include construction of a center-left turn lane on Double Springs Church Road for north-bound left turn movements into the site. Sanitary sewer capacity has been identified as being available to also serve the project. Additional City services and utilities should be adequate to serve the proposed development.
- (5) Whether the zoning proposal is consistent with the Comprehensive Plan:** The subject property is located in the Northwest Sub-Area as identified in the Monroe Comprehensive Plan. The existing character of the Northeast Sub-Area is primarily undeveloped with one large planned commercial development along US Hwy 78. The future character of this sub-area will be predominantly single-family with focused areas of higher density and mixed use and recreational areas. The proposed community center is a unique land use which does not interfere with the intent of the goals of the Comprehensive Plan. Community centers are non-residential land uses which could be located practically anywhere in the City and not interfere with the development patterns.
- (6) Whether there are other factors or existing or changing conditions regarding the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal:** Under the current B-3 zoning, the proposed community center is allowed. The proposed PCD (Planned Commercial District) is intended to allow for greater flexibility in site design and establish standards meant to specifically accommodate the community recreation center.

STAFF RECOMMENDATION

Based upon the City Council’s policies, decision making criteria and standards outlined in the Zoning Ordinance of the City of Monroe, staff recommends approval of the requested rezone allow for community recreation center with the following conditions:

1. The only land use permitted on the site shall be the community recreation center and its accessory and ancillary uses.
2. The facilities constructed on the site shall be constructed with materials as described and represented in the submitted application materials and pattern book. Future expansions of facilities and buildings shall also be constructed as represented in the submitted application materials and pattern book.
3. Developer shall provide a center left-turn lane on Double Springs Church Road Connector for north-bound left turn movements entering the site.
4. All lighting on the site shall be downward facing and shielded to prevent glare and off-site lighting trespass.



City of Monroe

215 N. Broad Street
Monroe, GA 30655
(770) 207-4674

REZONE PERMIT

PERMIT #:	1631	DESCRIPTION:	REZONE 38.19 ACRES TO PCD
JOB ADDRESS:	1101 DOUBLE SPR CH RD CON	LOT #:	
PARCEL ID:	M0040007	BLK #:	
SUBDIVISION:		ZONING:	B-3/R-1
ISSUED TO:	YMCA of Georgia's Piedmont Inc	CONTRACTOR:	YMCA of Georgia's Piedmont Inc
ADDRESS:	50 Brad Akins Dr	PHONE:	
CITY, STATE ZIP:	Winder GA 30680	OWNER:	
PHONE:	770-868-2917	PHONE:	
PROP. USE:	VACANT	DATE ISSUED:	10/05/2022
VALUATION:	\$ 0.00	EXPIRATION:	4/03/2023
SQ FT:	0.00		
OCCP TYPE:			
CNST TYPE:			
INSPECTION REQUESTS:	770-207-4674 lwilson@monroega.gov		

FEE CODE	DESCRIPTION	AMOUNT
PZ-08	REZONE TO PLANNED DISTRICT	\$ 600.00
FEE TOTAL		\$ 600.00
PAYMENTS		\$- 600.00
BALANCE		\$ 0.00

NOTES:

This request for a Rezone from B-3/R-1 to PCD at 1101 Double Springs Ch Rd Connector (Parcel #M0040007) will be heard by the City of Monroe Planning Commission on October 18, 2022 at 5:30pm and by City Council on November 8, 2022 at 6:00pm; both meeting will be held in the Council Chambers at City Hall, 215 N. Broad St. Monroe, GA 30655.

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Sam E. Harris
(APPROVED BY)

10/5/22
DATE

**NOTICE TO THE PUBLIC
CITY OF MONROE**

A petition has been filed with the City of Monroe requesting the property located at the northwest corner of Charlotte Rowell Blvd. and Double Springs Church Road Connector (Parcel #MO040007) to be rezoned from B-3 to PCD.

A public hearing will be held before the City of Monroe Planning Commission to review and consider a recommendation to the Monroe City Council at the City Hall Auditorium at 215 N. Broad Street on October 18, 2022 at 5:30 P.M. The Monroe City Council will hold a public hearing and a decision will be made at the City Hall Auditorium at 215 N. Broad Street on November 8, 2022 at 6:00 P.M. All those having an interest should be present to voice their interest.

**PLEASE RUN ON THE
FOLLOWING DATE:**

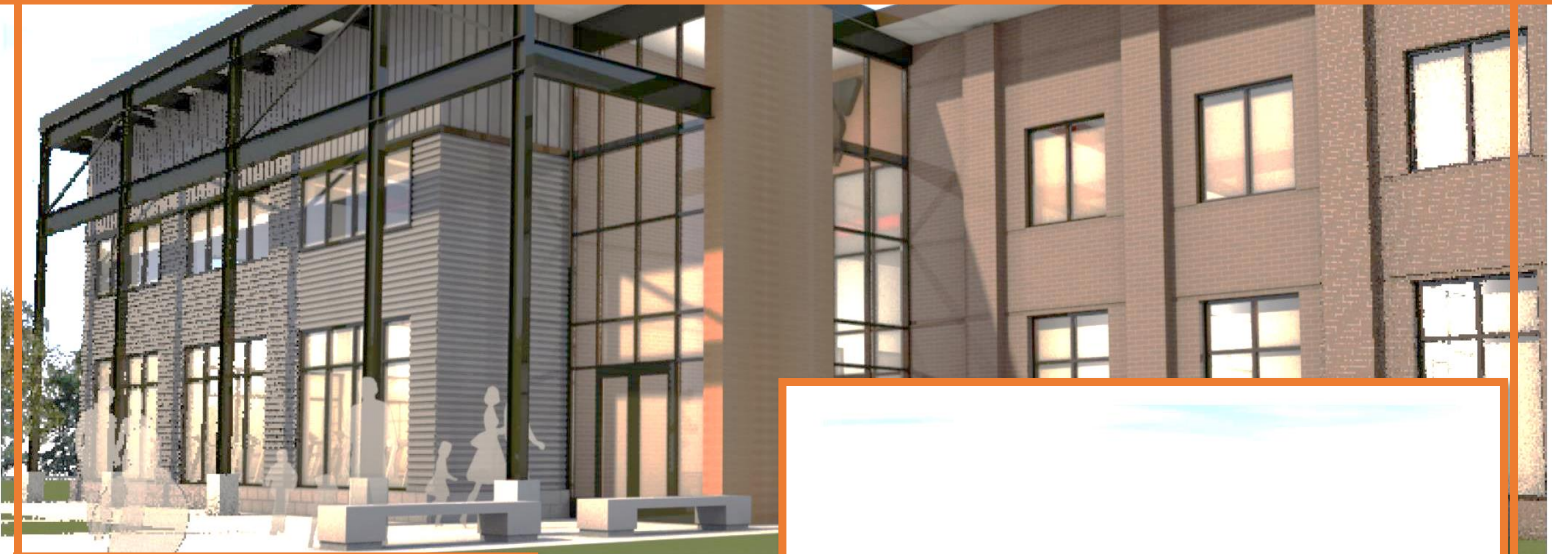
October 2, 2022



Request for Rezoning

Request to Rezone 38.19 acres from B3 to PCD

For the Walton County YMCA complex



Prepared for: Young Men's Christian Association of Georgia's Piedmont, Inc.

Prepared by:

Andrea P. Gray, LLC

300 E Church Street

Monroe, Georgia 30655

(678) 364-2384

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2. PCD Zoning Requirements Analysis
3. Application Forms
4. Supplemental Information re Section V
5. Legal Description and Deed
6. Location and Zoning Maps
7. Survey, Site Plan, Landscape Plan
8. Utilities Letter
9. Photographs of Existing Conditions
10. Pattern Book

1. Letter of Intent/Written Report for PCD

a. Applicant and Property Information

The Young Men's Christian Association of Georgia's Piedmont, Inc. (the "Applicant") is a missioned based organization which is dedicated to providing comprehensive programs and services that enrich communities and all the people who live in them. The Applicant alongside the Walton County steering committee identified a 38.19-acre tract of land at the northeast corner of Charlotte Rowell Blvd. and Double Springs Church Road Connector ("DSCRC")/Drake Drive (the "Property") which it purchased in 2020 for the site of the Walton County YMCA. The site was selected because of its ideal location within the center of Walton County with accessibility from Hwy 11, Hwy 138 and Hwy 78 and proximity to area schools. The Property is currently zoned B3 and is vacant and wooded with Mountain Creek boarding it to the west, a perennial stream to the north, and an ephemeral stream to the south. The Property fronts on both Charlotte Rowell Blvd and DSCRC/Drake Drive which intersection is planned for a roundabout. Depictions of the Property location, current conditions and zoning designation is included in Sections 6 and 7 hereof.

The Walton YMCA will be the third facility operated by the Georgia's Piedmont Branch. The proposed site plan includes both indoor and outdoor recreation amenities including a 44,375 sf main recreation facility, soccer fields, a future archery range funded and designed by the Georgia Department of Natural Resources, future tennis and pickle ball courts, playground, walking trail, future outdoor pool, and box lacrosse pavilion (See Site Plan in Section 7 hereof). The Applicant understands the complex needs of the region and plan to develop unique programming based on the community strength. The regional uniqueness will also be recognized in the development of

project. The development will incorporate local architectural context and responsible site development.

Applicant seeks a Planned Commercial Development zoning to allow it the flexibility to design the site to maximize recreational opportunities and the safety of its patrons. The detail information required as a part of this request follows.

b. Description of the proposal including proposed uses and location (stories, number of units and number of bedrooms for all units proposed)

Applicant proposes to construct a recreation facility and athletic fields as shown on its Site Plan (Section 7 hereof) and as summarized in its Pattern Book (Section 10 hereof).

The recreational facility will be approximately 44,375 sf square feet and include the following amenities:

- 10-lane indoor pool
- Warm water therapy pool
- Admin offices
- Afterschool/summer camp rooms
- Fitness Center
- Group exercise room
- Nurseries
- Meeting room/Chapel
- Locker rooms
- Basketball Court (future)

The facility will be 35 feet high. The exterior materials used were inspired by the Monroe Mill area with a mix of brick and black/dark gray architectural metal panels. Renderings and sample materials are detailed in the Patter Book (Section 10 hereof).

Three other structures are proposed on the site including a 31,337 sf box lacrosse pavilion which is 37-feet high, a 1,200 sf archery pavilion which is 20 feet high, and a 1,656 sf field house which is 14 ft 8 inches high.

c. Proposed standards for development, including restrictions on use of the property, density, setback requirements and any proposed restrictive covenants

The YMCA facility development standards are shown in detail on the Site Plan (See Section 7) and discussed in the Pattern Book (See Section 10) which are incorporated herein by reference. The Property uses will be limited to YMCA-related activities and the facility will be owned, maintained and operated by the YMCA. The development will have 82% pervious surfaces which is well above the minimum requirement of 60%. Buildings and structures cover only 5% of the site. The setbacks for the development are significantly greater than those allowed under the existing zoning requirements (75 ft max) in order to accommodate the typical YMCA complex design which is to maximize athletic field space and to promote safety on and adjacent to the site. The building setback from Charlotte Rowell Blvd is 285.6 feet and the setback from Double Springs Church Road Connector/Drake Drive is 323.11 feet. The buffers between the adjoining properties are also extended due to the creeks which constitute the property boundary and necessitate a 50-foot undisturbed buffer and a 75-foot impervious surface limit. In addition to the adjoining property buffers, there will be a 25-foot landscaped buffer along the road frontage. Parking will be concentrated in front of the main facility building primarily for safety reasons, ease of access and in consideration of the site grades. Landscaping, including deciduous trees, will be disbursed within the parking areas to add shade and visual interest. Sidewalks will line the road frontage and continue through the interior of the site to provide access to athletic fields. Lighting will conform to the ordinance standards with downward facing poles which are 20 feet or less in height in the parking and sidewalk areas. Lighting for the sports fields will be shielded fixtures to prevent light pollution or disturbance to adjacent properties. The design standards for the main facility are consistent with the overlay requirements. The facades draw inspiration from the

Monroe Mill and incorporate a brick exterior with dark gray architectural formed metal wall panels, black metal framed rectangular windows and black metal awnings and features. Variation and elevation height, angles and materials provide a very attractive design that blends traditional and industrial elements. Signage will conform to the ordinance requirements.

d. Why the proposed development standards are necessary

The proposed development standards are necessary to deliver a high-quality, attractive and functional YMCA complex for all the reasons outlined herein and in the Pattern Book (Section 10 hereof).

e. Plans for utilities (water, sewer, drainage)

Applicant proposes to use City of Monroe utility services including water, sewer, gas and internet. Water and sewer lines are readily available off Charlotte Rowell Blvd. Drainage will be managed onsite through the use of a detention pond.

f. Protection of abutting properties (buffers, landscaping, etc)

The abutting properties will be protected with 50-foot undisturbed buffers and 75-foot impervious surface buffers. Applicant will also plant a 25-foot landscaped buffer along the road frontage consisting primarily of Lacebark Elm trees. Details regarding the buffers and landscaping are included in the Pattern Book (Section 10 hereof) and shown on the Landscape Plan included in Section 7 hereof.

g. Acres for each proposed use

The entirety of the property is for use as a YMCA facility with recreational fields as shown on the site plan and further detailed in the Pattern Book (Section 10 hereof). Buildings comprise 5% of the property and the overall pervious surfaces comprising just 18% of the property.

h. Development Timetable

Applicant plans to start construction as soon as all approvals and permits are in place.

i. Certificate of Appropriateness- Application submitted simultaneously herewith

Applicant has applied for a Certificate of Appropriateness for the Highway Corridor District to be processed concurrently with this rezoning application.

2. PCD Zoning Requirements Analysis

a. Intent and Purpose

The proposed development incorporates the flexible zoning technique contemplated by the City's Planned Development Districts in order to provide a safe, attractive and community need-focused YMCA facility and athletic fields. The YMCA will provide much needed health resources and recreational opportunities for all Walton County citizens. Plans for this project have been ongoing since 2007. The PCD zoning allows Applicant to design the site to be consistent with the traditional YMCA model and ensure that its patrons have a safe environment to play with adequate separation of the athletic fields from the main roads and protection of patron's vehicles by separating the parking from the athletic fields.

b. General Conditions

The YMCA project will adhere to the majority of the Corridor Overlay Design District with variations to allow for larger building setbacks and parking located in front of the main facility building.

c. Evaluation Chart

<u>Benefit to the Developer</u>	<u>Benefit to the Community</u>
Maximization of athletic field space by siting the parking in the front of the facility.	Maximization of athletic field space

Work within site's natural topography in placement of the facility and parking	Safer environment for children and vehicles by separating fields from the roads and separating the parking from the fields
Development is consistent with similar YMCA facilities	Development is consistent with buildings in the immediate area- Monroe Area High School

d. Standards for Review of a Planned Development

- i. Whether the zoning proposal demonstrates a clear and balanced benefit to the community as well as to the applicant that warrants the use of flexible zoning in lieu of the existing standards*

The proposed development provides much-needed recreational and community opportunities to foster physical and mental wellbeing in Walton County. The proposed zoning allows the YMCA to design the site layout in a more traditional style while keeping with the high standards of attractive building elevations which draw from the historic/industrial buildings in Monroe's mill district.

- ii. Whether the zoning proposal will results in a higher overall quality of community development than if developed utilizing the existing zoning classification*

Under the existing zoning requirements, the YMCA design would be significantly less efficient, result in less outdoor recreational space, and could pose a safety concern for patrons and

their vehicles. The traditional YMCA design proposed provides a higher overall quality of community development. Additionally, the building design will be consistent with the existing overlay requirements and result in a very attractive structure which echoes the historic/industrial elements of downtown Monroe.

iii. Whether the applicant proposes a compatible mixture of uses on the same property and even in the same buildings; and

The proposed project consists of facilities and outdoor athletic activity fields/structures which are consistent with providing recreational opportunities associated with a YMCA. No residential, industrial or other commercial/retail uses are proposed for the site.

iv. Whether the proposed exceptions and variances from existing development standards will achieve the itemized creative design goals and can be offset as necessary by mitigating conditions or amenities

The setback and parking location variations from existing zoning requirements under the Corridor Design Overlay District are consistent with traditional development in the less-urban area where the project lies. One mitigating factor for these variations are the attractive building elevations which are consistent with the overlay district and complement the historic/industrial feel of downtown Monroe.

e. Design Standards for Planned Development District

The detailed design features are shown in the Site Plan (Section 7 hereof) and detailed in the Pattern Book (Section 10 hereof) which are incorporated herein. Renderings of the main building elevations are also included in the Pattern Book. The design inspiration is the historic/industrial elements found at the Monroe Mill. A mix of brick and dark metal paneling with large rectangular windows and black metal accents result in a very attractive structure of which the community will be proud.

3. Application Forms



CITY OF MONROE

REZONE APPLICATION

REZONE LOCATION & DESCRIPTION

Address (or physical location): Charlotte Rowell Blvd/Drake Drive

Parcel #(s): M0040007

Acreage/Square Feet: 38.19 acres Council Districts: 1 / _____

Existing Zoning: B3 Proposed Zoning: PCD

Existing Use: Vacant

Proposed Use: YMCA recreation facility and athletic fields

PROPERTY OWNER & APPLICANT INFORMATION

Property Owner: Young Men's Christian Association of Georgia's Piedmont, Inc. Phone #: 770-868-2917

Address: 50 Brad Akins Drive City: Winder State: GA Zip: 30680

Applicant (If different than owner): same as owner Phone #: _____

Address: _____ City: _____ State: _____ Zip: _____

REZONE INFORMATION

Describe the current zoning of the subject property and abutting properties. Describe all existing uses on abutting properties (1421.4(2)(c)): The property is zoned B3 and adjoined by property which is zoned B3-R1 and B3.

The property to its south, west, east and a portion of the property to the north is B3/R1A
and it is all owned by the Rowell Family Partnership & Still Family Realty, LLC. There is a
3.44 acre parcel to its north zoned B3 and owned by The Landing of Monroe, LLC.

Provide a statement explaining the intent of the requested zoning change, the proposed use, and any special or unusual parts of the rezoning request (1412.4(2)(d)): Applicant requests a PCD zoning to construct a
YMCA facility with athletic fields. The facility will include a pool, wellness center, aerobics room, camp rooms, nursery,
soccer and other athletic fields. The PCD is requested to accomodate variations to the current
setback and parking regulations for site design and safety considerations.

REZONE INFORMATION CONT.

Describe the suitability for development under the existing zoning vs. the proposed zoning. Describe all existing uses and structures (1421.4(2)(e)): The existing zoning has limitations on setbacks and parking

which hamper the design of the YMCA which is modeled after other similar facilities. The proposed zoning

allows the YMCA to maximize the utility of the site, provide a safe outdoor environment for

children to play away from the roads and to protect vehicles from damage from outdoor field play.

Describe the duration of vacancy or non-use if the property is vacant and unused at the time the application is submitted (1421.4(2)(f)): the property is undeveloped

Select all existing utilities available and/or describe proposed utilities (1425.1(1)(k)):

City Water Private Well City Sewer Septic Tank Electrical Gas Telecom

The project will use utilities provided by the City

REQUIRED SUBMITTAL ITEMS (1421.4(2))

SELECT THE APPLICABLE ITEMS FOR THE REQUEST

- Completed Application
- Fee (see Fee Schedule)
- Typed Legal Description
- Typed Detailed Description of the Request
- Survey Plat
- Deed
- Proof of all property taxes paid in full
- Site Plan

Drawn to scale, showing the following:

- Proposed Uses/Buildings
- Proposed Improvement Information
- Parking
- Traffic Circulation
- Landscaping/Buffers
- Stormwater/Detention Structures
- Amenities

Commercial & Industrial Rezoning Site Plans shall also include the following in addition to the items listed for Site Plans:

- Maximum Gross Square Footage of Structures
- Minimum Square Footage of Landscaped Area
- Maximum Structure Height
- Minimum Square Footage of Parking & Drives
- Proposed Number of Parking Spaces
- Required Buffers

Residential Rezoning Sites Plans shall also include the following in addition to the items listed for Site Plans:

- Maximum # of Dwelling Units/Lots
- Maximum Structure Height
- Minimum Square Footage of Dwellings
- Minimum Lot Size
- Maximum Lot Coverage
- Maximum Structure Height
- Location of Amenities
- Required Buffers

For Planned Districts, the applicant must submit a pattern book for review before submitting any rezoning application. Any submittal of a rezone application for a Planned District which has not undergone a preliminary review by staff will be considered incomplete. The pattern book and rezoning site plan shall include all of the applicable items listed above as well as any identified by staff during the preliminary review process:

- Pattern Book Review Completed
- Other Items as identified as required by the Code Enforcement Officer

I HEREBY CERTIFY THAT I HAVE EXAMINED AND UNDERSTAND ALL INFORMATION ON THIS APPLICATION AND THAT THE ABOVE STATEMENTS AND INFORMATION SUPPLIED BY ME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING WORK TO BE PERFORMED SHALL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. APPLICANT HERBY AUTHORIZES THE CODE DEPARTMENT PERSONNEL TO ENTER UPON AND INSPECT THE PROPERTY FOR ALL PURPOSES ALLOWED AND REQUIRED BY THE ZONING ORDINANCE AND THE DEVELOPMENT REGULATIONS.

SIGNATURE: Angie Penter DATE: 9-14-2022

A PUBLIC NOTICE SIGN WILL BE PLACED ON THE SUBJECT PROPERTY PRIOR TO THE PUBLIC HEARING AND REMOVED BY THE CODE DEPARTMENT. THE PUBLIC NOTICE SIGN MUST REMAIN ON THE SUBJECT PROPERTY UNTIL AFTER THE CITY COUNCIL MEETING DECIDES THE MATTER.

PROPERTY OWNER'S AUTHORIZATION SIGNATURE IF NOT THE APPLICANT

SIGNATURE: _____ DATE: _____

NOTARY PUBLIC:

SWORN TO AND SUBSCRIBED BEFORE THIS 14th DAY OF September, 2022

NOTARY SIGNATURE: Kaye Penter

DATE: 9-14-22

SEAL:



It is the responsibility of the applicant and not the staff to ensure that a complete application with all required materials are submitted. Applications and submittals found to be incomplete and incorrect will be rejected. Each applicant is responsible for compliance with the Disclosure of Campaign Contributions and/or Gifts outlined in Section 1450 of the Zoning Ordinance.

AGENT AUTHORIZATION

Date: _____ Tax Map and Parcel Number(s): a portion of M0040007

PROPERTY ADDRESS: 38.19 acres on Double Springs Ch Rd at intersection of Charlotte Rowell Blvd and Drake Drive
Monroe, Georgia 30655

PROPERTY OWNER: Young Men’s Christian Association of Georgia’s Piedmont, Inc.
50 Brad Akins Drive
Winder, GA 30680

APPLICANT: Same as Owner

ATTORNEY/AGENT: Andrea P. Gray, LLC
300 E Church Street
Monroe, GA 30655
(678) 364-2384

ACTION: Rezone from B3 to PCD

The undersigned states under oath that it is the owner of the property and hereby authorizes Applicant through its Attorney/Agent to submit, execute and prepare any and all documents relating to or speak on its behalf regarding the request for a rezone of the property referenced herein.

[signatures on following pages]

Owner: Young Men's Christian Association of Georgia's Piedmont, Inc.

Angi Putman
BY:

Sworn to and subscribed before me this 14th Day of September 2022

[Signature]
NOTARY PUBLIC



[signature page to Agent Authorization]

ATTORNEY/AGENT


BY: Andrea Gray

Sworn to and subscribed before me this 14 Day of September 20 22


NOTARY PUBLIC



[signature page to Agent Authorization]

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Date: _____ Tax Map and Parcel Number(s): a portion of M0040007

PROPERTY ADDRESS: 38.19 acres on Double Springs Ch Rd at intersection of Charlotte Rowell Blvd and Drake Drive
Monroe, Georgia 30655

PROPERTY OWNER: Young Men's Christian Association of Georgia's Piedmont, Inc.
50 Brad Akins Drive
Winder, GA 30680

Check one of the following:

AP (A) The applicant here certifies, under oath, that he or she has not made any campaign contributions or gifts having an aggregate total value of \$250.00 or more to any local government official of Monroe, Georgia, as defined by O.C.G.A. 36-67A-1(5).

_____ (B) The Applicant here certifies, under oath, that he or she has made the following campaign contributions or gifts having an aggregate total value of \$250.00 or more to a local government official of Monroe, Georgia as defined by O.C.G.A.36-67A-1 (5).

Please list total value of contribution(s) dates and names of the local Government Official:

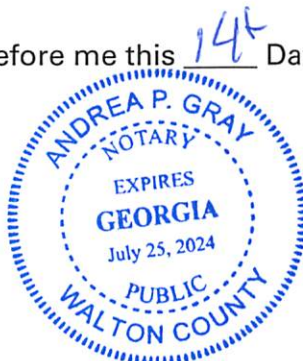
Describe in detail any gifts listed above (example: quantity and nature, etc.):

Young Men's Christian Association of Georgia's Piedmont, Inc.

Ang Patma
BY:

Sworn to and subscribed before me this 14th Day of Sept 2022

[Signature]
NOTARY PUBLIC



4. Supplemental Information under Section V

V. Analysis:

1. ***A description of all existing uses and zoning of nearby property:*** The Property consists of 38.19 acres located on the northeast corner of Charlotte Rowell Blvd and the Double Springs Church Road Connector/Drake Drive. The Property is currently zoned B3. The property to its just north of the Monroe Pavilion development which is zoned as a Planned Commercial Development. The properties directly abutting the Property are zoned R1A and B3. The properties zoned B3-R1A are owned by the Rowell and Still families. The property zoned B3 is owned by The Landing of Monroe, LLC. The Property is primarily wooded and has a 50-foot variation in grade with Double Springs Church Road Connector “DSCRC” (aka Drake Drive) being significantly higher than the southern portion of the property. Mountain Creek borders the western boundary, a perennial stream borders the northern boundary, and an ephemeral stream borders the southern boundary. (Section 6 and 7).
2. ***Description of the extent to which the property value of the subject property is diminished by the existing zoning district classification:*** The property value of Property is diminished by the existing zoning district classification under the Corridor Design Overlay District because of the limits it places on traditional site designs which are characteristic of the surrounding area which limits impede the best design and use of the Property as a YMCA facility. The building setback requirements are consistent with an urban feel but are not protective of children playing outdoor sports along busy roads or of cars being parked adjacent to athletic fields. Recreational uses and urban

design are compatible from a building elevation/design but are not compatible from a site-layout perspective in this circumstance.

3. ***The existing value of the property contained in the petition for rezoning under the existing zoning classification:*** As assessed by the Walton County Board of Tax Assessors, the 2022 value of the property is \$945,400.00 as zoned.
4. ***The value of the property contained in the application for rezoning under the proposed zoning classification:*** The value of the property under the proposed zoning classification is much more than a monetary calculation. The recreational and health benefits to the community are tremendous and immeasurable by a dollar value.
5. ***A description of the suitability of the subject property under the existing zoning classification:*** Under the existing zoning classification, the Property is suitable for its current use as vacant or a commercial development. The restrictions placed on the implementation of these currently permitted uses do not allow for the site design needs of the proposed development.
6. ***A description of the suitability of the subject property under the proposed zoning classification of the property:*** Under the proposed zoning classification, the Property is well suited for the development of a YMCA given its ideal location in the center of the county with access to Hwy 78, Hwy 138 and Hwy 11. It is located adjacent to the Monroe Area Highschool and the Monroe Pavilion which collectively with the YMCA promote the City's goal of creating a live, work, play community.
7. ***A description of any existing use of property including a description of all structures presently occupying the property:*** The property is currently vacant and undeveloped. There are no structures.

8. *The length of time the property has been vacant or unused as currently zoned:* The property is not and has not been developed.
9. *A detailed description of all efforts taken by the property owner(s) to use the property or sell the property under the existing zoning classification:* The YMCA purchased the site in 2020 with the only goal and purposes of construction a YMCA facility and thus has made no efforts to market the property for other purposes.

5. Legal Description and Deed

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING SITUATED IN LAND LOT 41 OF THE 3RD LAND DISTRICT, WALTON COUNTY, CITY OF MONROE, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A CONCRETE MONUMENT AT THE MITERED INTERSECTION OF THE SOUTHWESTERLY RIGHT OF WAY OF DOUBLE SPRINGS CHURCH ROAD (R/W VARIES) AND THE NORTHWESTERLY RIGHT OF WAY OF CHARLOTTE ROWELL BOULEVARD (R/W VARIES);

THENCE, ALONG SAID RIGHT OF WAY OF CHARLOTTE ROWELL BOULEVARD, S32°55'00"W, A DISTANCE OF 163.06' TO A CONCRETE MONUMENT;

THENCE, S29°26'22"W, A DISTANCE OF 96.56' TO A POINT;

THENCE, S29°26'22"W, A DISTANCE OF 70.04' TO A POINT;

THENCE, S29°26'22"W, A DISTANCE OF 40.76' TO A POINT;

THENCE, S24°35'31"W, A DISTANCE OF 133.16' TO A CONCRETE MONUMENT;

THENCE, S13°59'33"W, A DISTANCE OF 119.73' TO A CONCRETE MONUMENT;

THENCE, N56°42'21"W, A DISTANCE OF 52.40' TO A CONCRETE MONUMENT;

THENCE, S13°55'12"W, A DISTANCE OF 34.50' TO A POINT IN THE CENTERLINE OF A CREEK;

THENCE ALONG SAID CENTERLINE AND HAVING THE FOLLOWING TIE LINES:

N82°25'27"W, A DISTANCE OF 160.53';

S84°25'55"W, A DISTANCE OF 390.18';

S60°14'49"W, A DISTANCE OF 560.86';

N17°14'21"W, A DISTANCE OF 1224.03';

N74°42'46"E, A DISTANCE OF 1194.49';

N66°34'23"E, A DISTANCE OF 163.86';

THENCE, LEAVING CENTERLINE OF CREEK, S70°42'11"E, A DISTANCE OF 122.76' TO A CONCRETE MONUMENT ON THE WESTERLY RIGHT OF WAY OF DOUBLE SPRINGS CHURCH ROAD;

THENCE, ALONG SAID RIGHT OF WAY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 445.58', AN ARC LENGTH OF 277.37', AND BEING SUBTENDED BY A CHORD WITH THE BEARING S2°58'44"E, AND THE DISTANCE OF 272.91' TO A POINT;

THENCE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 445.58', AN ARC LENGTH OF 115.39', AND BEING SUBTENDED BY A CHORD WITH THE BEARING S28°13'51"E, AND THE DISTANCE OF 115.07' TO A POINT;

THENCE, ALONG A CURVE TO THE LEFT WITH A RADIUS OF 445.58', AND ARC LENGTH OF 22.39', AND BEING SUBTENDED BY A CHORD WITH THE BEARING S37°05'21"E, AND THE DISTANCE OF 22.39' TO A CONCRETE MONUMENT;

THENCE, S45°12'14"E, A DISTANCE OF 105.84' TO A CONCRETE MONUMENT;

THENCE, S47°37'17"E, A DISTANCE OF 54.61' TO A POINT;

THENCE, S47°37'17"E, A DISTANCE OF 120.87' TO A CONCRETE MONUMENT;

THENCE, S15°11'17"E, A DISTANCE OF 71.97' TO THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINS 38.19 ACRES, MORE OR LESS.

Tax Parcel: M0050045 (Portion)

After Recording Return To:

Angela Robinson
Parker Poe Adams & Bernstein LLP
1075 Peachtree Street, NE
Suite 1500
Atlanta, Georgia 30309

**LIMITED WARRANTY DEED OF GIFT
NO TITLE OPINION**

STATE OF GEORGIA
COUNTY OF WALTON

THIS INDENTURE is made and entered into this 23rd day of December, 2020, by and between **ROWELL FAMILY PARTNERSHIP, LLLP**, a Georgia limited liability limited partnership **as to a 93.8971% undivided interest** and **STILL FAMILY REALTY, LLC**, a Georgia limited liability company **as to a 6.1029% undivided interest**, as parties of the first part, hereinafter collectively called Grantor, and **YOUNG MEN'S CHRISTIAN ASSOCIATION OF GEORGIA'S PIEDMONT, INC.**, a Georgia nonprofit corporation, as party of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include all genders, the plural as well as the singular, and their heirs, legal representatives, executors, administrators, successors and assigns, where the context so requires or permits).

WITNESSETH THAT:

GRANTOR, for and in consideration of Grantor's desire to promote the interest of Grantee and the community by making a charitable gift to said Grantee, has bargained, granted, sold, aliened, conveyed and confirmed, and by these presents does bargain, grant, sell, alien, convey, and confirm unto the said Grantee all those tracts or parcels of land described on **EXHIBIT "A"** attached hereto and made a part hereof by this reference (the "Property").

This conveyance is subject to the items set forth on **EXHIBIT “B”** attached hereto and incorporated herein by reference (collectively, the “Permitted Exceptions”).

TO HAVE AND TO HOLD the above-described Property, together with all and singular the rights, members, and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of Grantee, forever, in FEE SIMPLE.

AND THE SAID Grantor will warrant and forever defend the right and title to the Property unto the said Grantee against the claims of Grantor and all others claiming by, through or under Grantor, but not otherwise, subject to the Permitted Exceptions.

*[SIGNATURES APPEAR ON THE FOLLOWING PAGES]
[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]*

IN WITNESS WHEREOF, Grantor has signed, sealed and delivered this Limited Warranty Deed of Gift as of the day and year first above written.

GRANTOR:

Signed, sealed and delivered
in the presence of:

**ROWELL FAMILY PARTNERSHIP,
LLLP**, a Georgia limited liability limited
partnership

By: Rowell Holdings, Inc., a Georgia
corporation, its General Partner

By: _____
Name: Michael Lee Rowell
Title: President

Meredith F. Malcolm

Unofficial Witness

Meredith F. Malcolm

Unofficial Witness Printed Name

Stacie Cason

Notary Public

My Commission Expires:

STACIE CASON
Notary Public - State of Georgia
Walton County
My Commission Expires Jun 26, 2021

[CORPORATE SEAL]



[AFFIX NOTARY SEAL]

*[SIGNATURES CONTINUE ON THE FOLLOWING PAGE]
[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]*

Signed, sealed and delivered
in the presence of:

Jane M. Hutton
Unofficial Witness

Jane M. Hutton
Unofficial Witness Printed Name

Susan M. Surber
Notary Public
My Commission Expires:

GRANTOR:

STILL FAMILY REALTY, LLC,
a Georgia limited liability company

By: The Jane J. Still Living Trust, its Sole
Member and Manager

By: Jane J. Still
Name: Jane J. Still, as Trustee

By: Robert H. Still, Jr.
Name: Robert H. Still, Jr., as Trustee

[AFFIX NOTARY SEAL]



EXHIBIT "A"

Page 1 of 6

TRACT 1:

All that tract or parcel of land lying and being in Land Lot 41, 3rd District, City of Monroe, Walton County, Georgia, being Tract 1, containing 1.89 acres, more or less, and more particularly described on that survey for "Michael Lee Rowell" dated May 21, 2010, prepared by W.T. Dunahoo, Georgia Registered Surveyor Number 1577 recorded in Plat Book 106, Page 102, Walton County, Georgia records, and more particularly described as follows:

To find the true point of beginning, begin at a point at the intersection of the Proposed Charlotte Rowell Boulevard (R/W Varies) with the intersection of Proposed Double Springs Church Road Connector (R/W varies), thence north 15 degrees 11 minutes 41.2 seconds west a distance of 72.58 feet to a point on the southern right of way of Proposed Double Springs Church Road Connector; thence north 47 degrees 43 minutes 25.3 seconds west a distance of 175.00 feet to a point; thence north 44 degrees 48 minutes 36.8 seconds west a distance of 106.11 feet to a point; thence along a curve having an arc distance of 22.06 feet with a radius of 442.00 feet and a chord of north 37 degrees 20 minutes 03 seconds west a distance of 22.05 feet to an iron pin set; thence along a curve having an arc distance of 115.33 feet with a radius of 442.00 feet and a chord of north 28 degrees 25 minutes 47 seconds west a distance of 115.00 feet to an iron pin set and the TRUE POINT OF BEGINNING.

From the point of beginning thus established, continuing along the southern right of way of Proposed Double Springs Church Road Connector along a curve having an arc distance of 277.43 feet with a radius of 442.82 feet and a chord of north 02 degrees 58 minutes 23 seconds west a distance of 272.90 feet to a point; thence leaving the right of way of Proposed Double Springs Church Road Connector and going north 70 degrees 42 minutes 59 seconds west a distance of 136.35 feet to a point in the centerline of creek; thence along the centerline of creek, south 62 degrees 41 minutes 08 seconds west a distance of 63.06 feet to a point; thence south 50 degrees 53 minutes 43 seconds west a distance of 73.12 feet to a point; thence north 74 degrees 41 minutes 52 seconds west a distance of 25.81 feet to a point; thence leaving the centerline of creek and going south 06 degrees 17 minutes 13 seconds east a distance of 344.37 feet to an iron pin set; thence north 69 degrees 02 minutes 42 seconds east a distance of 260.00 feet to an iron pin set on the southern right of way of Proposed Double Springs Church Road Connector and the TRUE POINT OF BEGINNING.

EXHIBIT "A"

Page 2 of 6

TRACT 2:

All that tract or parcel of land lying and being in Land Lot 41, 3rd District, City of Monroe, Walton County, Georgia, being Tract 2, containing 1.21 acres, more or less, and more particularly described on that survey for "Michael Lee Rowell" dated May 21, 2010, prepared by W.T. Dunahoo, Georgia Registered Surveyor Number 1577 recorded in Plat Book 106, Page 102, Walton County, Georgia records, and more particularly described as follows:

To find the true point of beginning, begin at a point at the intersection of the Proposed Charlotte Rowell Boulevard (R/W Varies) with the intersection of Proposed Double Springs Church Road Connector (R/W varies), thence north 15 degrees 11 minutes 41.2 seconds west a distance of 72.58 feet to a point on the southern right of way of Proposed Double Springs Church Road Connector; thence north 47 degrees 43 minutes 25.3 seconds west a distance of 120.41 feet to an iron pin set and the TRUE POINT OF BEGINNING.

From the point of beginning thus established, going along the southern right of way of Proposed Double Springs Church Road Connector north 47 degrees 43 minutes 25.3 seconds west a distance of 54.59 feet to a point; thence north 44 degrees 48 minutes 36.8 seconds west a distance of 106.11 feet to a point; thence along a curve having an arc distance of 22.06 feet with a radius of 442.00 feet and a chord of north 37 degrees 20 minutes 03 seconds west a distance of 22.05 feet to an iron pin set; thence leaving the right of way of Proposed Double Springs Church Road Connector and going south 54 degrees 05 minutes 44 seconds west a distance of 255.96 feet to an iron pin set; thence south 44 degrees 48 minutes 37 seconds east a distance of 250.00 feet to an iron pin set; thence north 29 degrees 08 minutes 40 seconds east a distance of 66.01 feet to an iron pin set; thence north 42 degrees 16 minutes 35 seconds east a distance of 189.58 feet to an iron pin set on the southern right of way of Proposed Double Springs Church Road Connector and the TRUE POINT OF BEGINNING.

EXHIBIT "A"

Page 3 of 6

TRACT 3:

All that tract or parcel of land lying and being in Land Lot 41, 3rd District, City of Monroe, Walton County, Georgia, being Tract 3, containing 1.40 acres, more or less, and more particularly described on that survey for "Michael Lee Rowell" dated May 21, 2010, prepared by W.T. Dunahoo, Georgia Registered Surveyor Number 1577 recorded in Plat Book 106, Page 102, Walton County, Georgia records, and more particularly described as follows:

To find the true point of beginning, begin at a point at the intersection of the Proposed Charlotte Rowell Boulevard (R/W Varies) with the intersection of Proposed Double Springs Church Road Connector (R/W varies), this being the TRUE POINT OF BEGINNING.

From the point of beginning thus established, going along the northern right of way of Proposed Charlotte Rowell Boulevard south 33 degrees 00 minutes 19.2 seconds west 164.26 feet to a point; thence south 29 degrees 08 minutes 40.3 seconds west a distance of 95.33 feet to an iron pin set; thence leaving the right of way of Proposed Charlotte Rowell Boulevard and going north 60 degrees 51 minutes 20 seconds west a distance of 200.00 feet to an iron pin set; thence north 29 degrees 08 minutes 40 seconds east a distance of 153.86 feet to an iron pin set; thence north 42 degrees 16 minutes 35 seconds east a distance of 189.58 feet to an iron pin set on the southern right of way of Proposed Double Springs Church Road Connector; thence along the right of way of Proposed Double Springs Church Road Connector south 47 degrees 43 minutes 25.3 seconds east a distance of 120.41 feet to a point; thence south 15 degrees 11 minutes 41.2 seconds east a distance of 72.58 feet to a point and the TRUE POINT OF BEGINNING.

EXHIBIT "A"

Page 4 of 6

TRACT 4:

All that tract or parcel of land lying and being in Land Lot 41, 3rd District, City of Monroe, Walton County, Georgia, being Tract 4, containing 1.51 acres, more or less, and more particularly described on that survey for "Michael Lee Rowell" dated May 21, 2010, prepared by W.T. Dunahoo, Georgia Registered Surveyor Number 1577 recorded in Plat Book 106, Page 102, Walton County, Georgia records, and more particularly described as follows:

To find the true point of beginning, begin at a point at the intersection of the Proposed Charlotte Rowell Boulevard (R/W Varies) with the intersection of Proposed Double Springs Church Road Connector (R/W varies), thence, going along the northern right of way of Proposed Charlotte Rowell Boulevard south 33 degrees 00 minutes 19.2 seconds west 164.26 feet to a point; thence south 29 degrees 08 minutes 40.3 seconds west a distance of 165.33 feet to an iron pin set on the northern right of way of Proposed Charlotte Rowell Boulevard, this being the TRUE POINT OF BEGINNING.

From the point of beginning thus established, going along the northern right of way of Proposed Charlotte Rowell Boulevard south 29 degrees 08 minutes 40.3 seconds west a distance of 41.17 feet to a point; thence south 23 degrees 13 minutes 59.6 seconds west a distance of 80.48 feet to a point; thence south 26 degrees 22 minutes 44.5 seconds west a distance of 52.73 feet to a point; thence south 14 degrees 28 minutes 34.5 seconds west a distance of 119.56 feet to a point; thence leaving the right of way of Proposed Charlotte Rowell Boulevard and going north 56 degrees 50 minutes 45.7 seconds west a distance of 52.83 feet to a point; thence south 13 degrees 46 minutes 48.6 seconds west a distance of 20.92 feet to a point at the centerline of creek; thence along the centerline of the creek south 83 degrees 42 minutes 28 seconds west a distance of 70.01 feet to a point; thence south 86 degrees 06 minutes 04 seconds west a distance of 70.09 feet to a point; thence north 36 degrees 13 minutes 13 seconds west a distance of 33.72 feet to a point; thence leaving the creek and going north 21 degrees 50 minutes 39 seconds east a distance of 30.0 feet to an iron pin set; thence north 21 degrees 50 minutes 39 seconds east a distance of 343.82 feet to an iron pin set; thence south 60 degrees 51 minutes 20 seconds east a distance of 200.00 feet to an iron pin set on the northern Proposed Charlotte Rowell Boulevard and the TRUE POINT OF BEGINNING.

EXHIBIT "A"

Page 5 of 6

TRACT 6:

All that tract or parcel of land lying and being in Land Lot 41, 3rd District, City of Monroe, Walton County, Georgia, being Tract 6, containing 17.47 acres, more or less, and more particularly described on that survey for "Michael Lee Rowell" dated May 21, 2010, prepared by W.T. Dunahoo, Georgia Registered Surveyor Number 1577 recorded in Plat Book 106, Page 102, Walton County, Georgia records, and more particularly described as follows:

To find the true point of beginning, begin at a point at the intersection of the Proposed Charlotte Rowell Boulevard (R/W Varies) with the intersection of Proposed Double Springs Church Road Connector (R/W varies), thence, going along the northern right of way of Proposed Charlotte Rowell Boulevard south 33 degrees 00 minutes 19.2 seconds west a distance of 164.26 feet to a point; thence south 29 degrees 08 minutes 40.3 seconds west a distance of 206.50 feet to a point; thence south 23 degrees 13 minutes 59.6 seconds west a distance of 80.48 feet to a point; thence south 26 degrees 22 minutes 44.5 seconds west a distance of 52.73 feet to a point; thence south 14 degrees 28 minutes 34.5 seconds west a distance of 119.56 feet to a point; thence leaving the right of way of Proposed Charlotte Rowell Boulevard and going north 56 degrees 50 minutes 45.7 seconds west a distance of 52.83 feet to a point; thence south 13 degrees 46 minutes 48.6 seconds west a distance of 20.92 feet to a point at the centerline of creek; thence along the centerline of the creek south 83 degrees 42 minutes 28 seconds west a distance of 70.01 feet to a point; thence south 86 degrees 06 minutes 04 seconds west a distance of 70.09 feet to a point; thence north 36 degrees 13 minutes 13 seconds west a distance of 33.72 feet to a point; thence north 80 degrees 24 minutes 03 seconds west a distance of 54.74 feet to a point; thence north 85 degrees 01 minutes 57 seconds west a distance of 78.64 feet to a point; thence south 26 degrees 12 minutes 56 seconds west a distance of 12.00 feet to a point and the TRUE POINT OF BEGINNING.

From the point of beginning thus established and continuing along the center line of creek south 26 degrees 12 minutes 56 seconds west a distance of 32.78 feet to a point; thence north 85 degrees 35 minutes 11 seconds west a distance of 82.56 feet to a point; thence south 33 degrees 28 minutes 39 seconds west a distance of 36.93 feet to a point; thence north 49 degrees 50 minutes 01 seconds west a distance of 62.46 feet to a point; thence south 65 degrees 35 minutes 52 seconds west a distance of 37.38 feet to a point; thence south 64 degrees 16 minutes 09 seconds west a distance of 54.83 feet to a point; thence north 56 degrees 37 minutes 14 seconds west a distance of 42.35 feet to a point; thence south 60 degrees 37 minutes 30 seconds west a distance of 47.53 feet to a point; thence south 69 degrees 38 minutes 17 seconds west a distance of 32.13 feet to a point; thence north 58 degrees 38 minutes 41 seconds west a distance of 32.68 feet to a point; thence south 46 degrees 27 minutes 07 seconds west a distance of 38.51 feet to a point; thence south 45 degrees 01 minutes 12 seconds west a distance of 39.46 feet to a point; thence south 84 degrees 28

EXHIBIT "A"

Page 6 of 6

minutes 35 seconds west a distance of 21.20 feet to a point; thence south 40 degrees 31 minutes 21 seconds west a distance of 42.95 feet to a point; thence north 84 degrees 06 minutes 15 seconds west a distance of 45.71 feet to point; thence south 45 degrees 01 minutes 12 seconds west a distance of 64.38 feet to a point; thence south 56 degrees 32 minutes 36 seconds west a distance of 80.20 feet to a point; thence south 35 degrees 16 minutes 16 seconds west a distance of 36.52 feet to a point; thence south 28 degrees 31 minutes 06 seconds west a distance of 43.73 feet to a point; thence south 48 degrees 34 minutes 30 seconds west a distance of 62.11 feet to a point on the intersection of a larger creek; thence north 40 degrees 27 minutes 12 seconds west a distance of 78.67 feet to a point; thence north 23 degrees 10 minutes 43 seconds west a distance of 270.37 feet to a point; thence north 37 degrees 44 minutes 30 seconds west a distance of 64.06 feet to a point; thence north 02 degrees 55 minutes 20 seconds west a distance of 215.18 feet to a point; thence north 25 degrees 49 minutes 39 seconds west a distance of 219.58 feet to a point; thence north 12 degrees 16 minutes 03 seconds west a distance of 252.46 feet to a point; thence north 30 degrees 09 minutes 32 seconds west a distance of 53.80 feet to a point; thence north 03 degrees 40 minutes 13 seconds east a distance of 39.10 feet to a point; thence north 19 degrees 20 minutes 38 seconds east a distance of 72.29 feet to a point on the intersection of a smaller creek; thence north 63 degrees 58 minutes 06 seconds east a distance of 62.95 feet to a point; thence north 79 degrees 20 minutes 08 seconds east a distance of 66.61 feet to a point; thence north 78 degrees 36 minutes 01 seconds east a distance of 93.62 feet to a point; thence north 76 degrees 29 minutes 04 seconds east a distance of 94.92 feet to a point; thence north 64 degrees 14 minutes 25 seconds east a distance of 57.88 feet to a point; thence north 76 degrees 13 minutes 41 seconds east a distance of 90.83 feet to a point; thence leaving the creek and going south 33 degrees 40 minutes 16 seconds east a distance of 1164.32 feet to a point and the TRUE POINT OF BEGINNING.

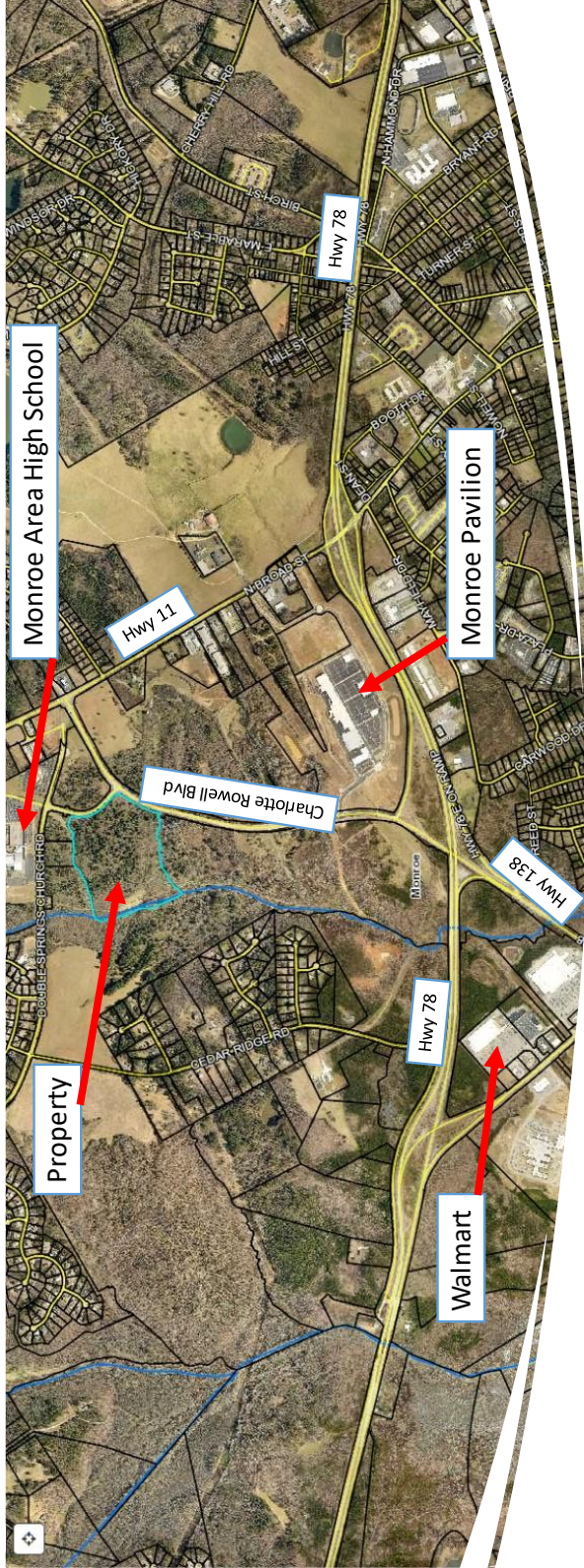
EXHIBIT "B"

PERMITTED EXCEPTIONS

1. Any and all taxes and assessments of record for the year 2020 and subsequent years, not yet due and payable, and any additional taxes for the current year or any prior years resulting from a reassessment, amendment or rebilling of the city or county taxes subsequent to the date hereof.
2. Taxes or special assessments which are not shown as existing liens by the public records.
3. Any easements, restrictions, liens, and encumbrances of record.
4. Easements, restrictions, liens, encumbrances, or claims thereof, not shown by the public records.
5. Any portion of the Property lying within a public right of way.
6. All zoning and other laws, ordinances, codes, rules, regulations, requirements or executive mandates and other such governmental and/or quasi-governmental matters affecting the Property.
7. Encroachments, overlaps, boundary line disputes, or any other state of facts that an accurate survey or inspection of the Property would disclose.
8. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
9. Rights of upper and lower riparian owners in and to the waters of any creek or stream which bounds or traverses the Property, free from increase, decrease or pollution.
10. Any minerals or mineral rights leased, granted or retained by prior owners of the Property.
11. All those matters as disclosed by that certain plat recorded in Plat Book 106, Page 102, Walton County, Georgia records including, without limitation, the 20' Sanitary Sewer Easement shown on Tract 6.

6. Location/Zoning Maps

Location Map



Location Map

- The YMCA is in the ideal location for access from all major state routes through Walton County
- Monroe Area High School is to the North
- Residential (current and planned) are to the West
- Monroe Pavilion is to the southeast with additional future commercial development/residential development anticipated along Charlotte Rowell Blvd

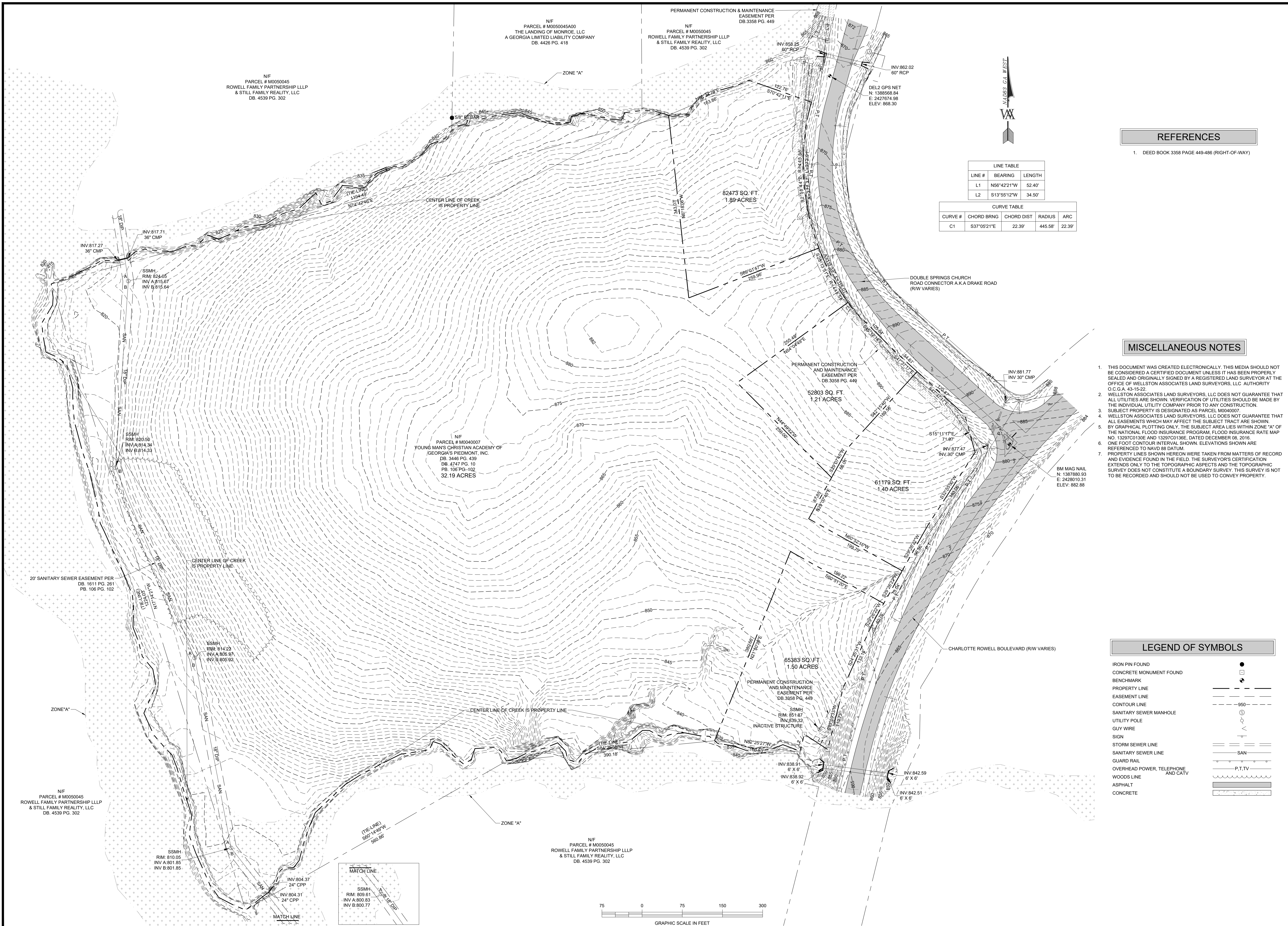
Zoning Map



Zoning Designation

- The property is currently zoned B3 and is in the Corridor Design Overlay District due to road frontage on Charlotte Rowell Blvd.
- The properties directly abutting the property are zoned B3/R1 and B3. The properties zoned B3/R1 are owned by the Rowell and Still families. The property zoned B3 is owned by The Landing of Monroe, LLC.
- PCD is consistent with the development trend along Charlotte Rowell Blvd given the Monroe Pavilion development less than a mile south of the Property

7. Survey, Site Plan, Landscape Plan



N/F
PARCEL # M0050045
ROWELL FAMILY PARTNERSHIP LLLP
& STILL FAMILY REALTY, LLC
DB. 4539 PG. 302

N/F
PARCEL # M0050045A00
THE LANDING OF MONROE, LLC
A GEORGIA LIMITED LIABILITY COMPANY
DB. 4426 PG. 418

PERMANENT CONSTRUCTION & MAINTENANCE
EASEMENT PER
DB. 3358 PG. 448
N/F
PARCEL # M0050045
ROWELL FAMILY PARTNERSHIP LLLP
& STILL FAMILY REALTY, LLC
DB. 4539 PG. 302

N/F
PARCEL # M0040007
YOUNG MAN'S CHRISTIAN ACADEMY OF
GEORGIA'S PIEDMONT, INC.
DB. 3446 PG. 439
DB. 4747 PG. 10
PB. 106 PG.-102
32.19 ACRES

N/F
PARCEL # M0050045
ROWELL FAMILY PARTNERSHIP LLLP
& STILL FAMILY REALTY, LLC
DB. 4539 PG. 302

REFERENCES

- DEED BOOK 3358 PAGE 448-486 (RIGHT-OF-WAY)

LINE TABLE

LINE #	BEARING	LENGTH
L1	N56°42'21"W	52.40'
L2	S13°55'12"W	34.50'

CURVE TABLE

CURVE #	CHORD BRNG	CHORD DIST	RADIUS	ARC
C1	S37°05'21"E	22.39'	445.58'	22.39'

MISCELLANEOUS NOTES

- THIS DOCUMENT WAS CREATED ELECTRONICALLY. THIS MEDIA SHOULD NOT BE CONSIDERED A CERTIFIED DOCUMENT UNLESS IT HAS BEEN PROPERLY SEALED AND ORIGINALLY SIGNED BY A REGISTERED LAND SURVEYOR AT THE OFFICE OF WELLSTON ASSOCIATES LAND SURVEYORS, LLC AUTHORITY O.C.S.A. 43-15-22.
- WELLSTON ASSOCIATES LAND SURVEYORS, LLC DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN. VERIFICATION OF UTILITIES SHOULD BE MADE BY THE INDIVIDUAL UTILITY COMPANY PRIOR TO ANY CONSTRUCTION.
- SUBJECT PROPERTY IS DESIGNATED AS PARCEL M0040007.
- WELLSTON ASSOCIATES LAND SURVEYORS, LLC DOES NOT GUARANTEE THAT ALL EASEMENTS WHICH MAY AFFECT THE SUBJECT TRACT ARE SHOWN.
- BY GRAPHICAL PLOTTING ONLY, THE SUBJECT AREA LIES WITHIN ZONE "A" OF THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP NO. 13297C0130E AND 13297C0136E, DATED DECEMBER 08, 2016.
- ONE FOOT CONTOUR INTERVAL SHOWN. ELEVATIONS SHOWN ARE REFERENCED TO NAVD 83 DATUM.
- PROPERTY LINES SHOWN HEREON WERE TAKEN FROM MATTERS OF RECORD AND EVIDENCE FOUND IN THE FIELD. THE SURVEYOR'S CERTIFICATION EXTENDS ONLY TO THE TOPOGRAPHIC ASPECTS AND THE TOPOGRAPHIC SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY. THIS SURVEY IS NOT TO BE RECORDED AND SHOULD NOT BE USED TO CONVEY PROPERTY.

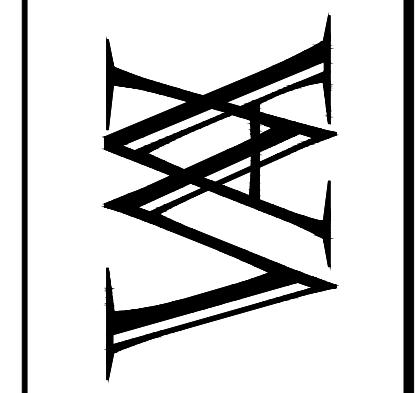
LEGEND OF SYMBOLS

- IRON PIN FOUND
- CONCRETE MONUMENT FOUND
- BENCHMARK
- PROPERTY LINE
- EASEMENT LINE
- CONTOUR LINE
- SANITARY SEWER MAN-HOLE
- UTILITY POLE
- GUY WIRE
- SIGN
- STORM SEWER LINE
- SANITARY SEWER LINE
- GUARD RAIL
- OVERHEAD POWER, TELEPHONE AND CATV
- WOODS LINE
- ASPHALT
- CONCRETE

Revisions

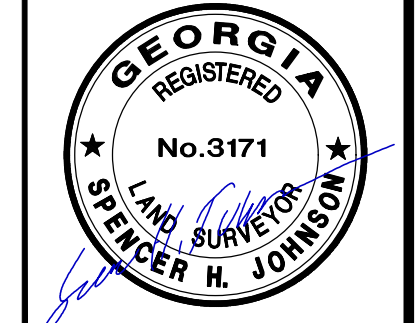
No.	Date	Description

**WELLSTON ASSOCIATES
LAND SURVEYORS, LLC**
506 OSIGIAN BOULEVARD, SUITE 2
WARNER ROBINS, GEORGIA 31088
OFFICE (478) 971-3382
WWW.WELLSTONASSOC.COM



TOPOGRAPHIC SURVEY
FOR
MANLEY SPANGLER SMITH ARCHITECTS, P.C.
LAND LOT 41
WALTON COUNTY
MONROE
3RD LAND DISTRICT
GEORGIA

Project No.: 1351-001
Drawing No.: TPS
Drawn By: J.L.P.
Checked By: S.H.J.
R.L.S. No.: 3171



Date: 3-25-22
Scale: 1"=75'
Sheet No.:

- Main Entrance 1
- Main Parkings 2
- Landscaped Island 3
- Future Field House 4

- Future Archery Center 5
- Soccer Field-Full Size 6
- Soccer Field - U10 7
- Future Tennis Courts/Pickleball 8

- Future Multi-Purpose Pavilion 9
- Soccer Field-U6
- Soccer Field-U8
- Box Lacrosse

- After-school Playground 10
- Car Riders 11
- Pre-K Playground 12
- Staff Parking 13

- Walking Trail - .5 mile 14

- Location for Future Outdoor Pool 15

- Main Building Entry 16

- Future Traffic Circle 17

- Sidewalks Located on Frontage 18





LOCATION MAP

Development Summary Chart

Issue	Shown on Site Plan
Area of Site (s.f.)	1,663,556.40
Area of Site (acres)	38.19
Building s.f.	
YMCA Main Building	44,375 s.f.
Box Lacrosse Pavilion	31,337 s.f.
Archery Pavilion	1,200 s.f.
Fieldhouses	1,656 s.f.
Lot Coverage of Building Area (s.f.)**	78,568 s.f.
Lot Coverage of Building Area (%)	5%
Building Height	
YMCA Main Building	35'
Box Lacrosse Pavilion	37'
Archery Pavilion	20'
Fieldhouses	14'-8"
Lot Coverage	
Pervious Area	1,365,524 s.f.
% Pervious Area	82%
Impervious Area	298,032 s.f.
% Impervious Area	18%
Landscaping	
Total Landscaped Area	1,170,505 s.f.
Buffers	
Stream Protection- 25' State Buffer	25'
Stream Protection- 50' Undisturbed Buffer	50'
Stream Protection- 75' Pervious Buffer	75'
Landscape Strip Abutting Right of Way	25' Landscape Strip
Setbacks	
Building setback from Charlotte Rowell Blvd.	285.60'
Building setback from Double Springs Church Rd. Conn. Front (Charlotte Rowell/ Double Springs Church Road)	323.11'
Side (North and South)	35 ft.
Rear (North and South)	15 ft.
Rear (West)	20 ft.

PARKING STATISTICS	
USE	PARKING PROVIDED
YMCA Parking	288
TOTAL	288

CURRENT ZONING: B-3 (Highway Business District)
LOCATED WITHIN THE CDO (Corridor Design Overlay)
PROPOSED ZONING: PCD (Planned Commercial District)
GROSS ACREAGE = 38.19 acres-1,663,556 s.f.
NET ACREAGE = 38.19 acres-1,663,556 s.f.
TOTAL BUILDING AREA = 78,568 s.f.
F.A.R.=0.05

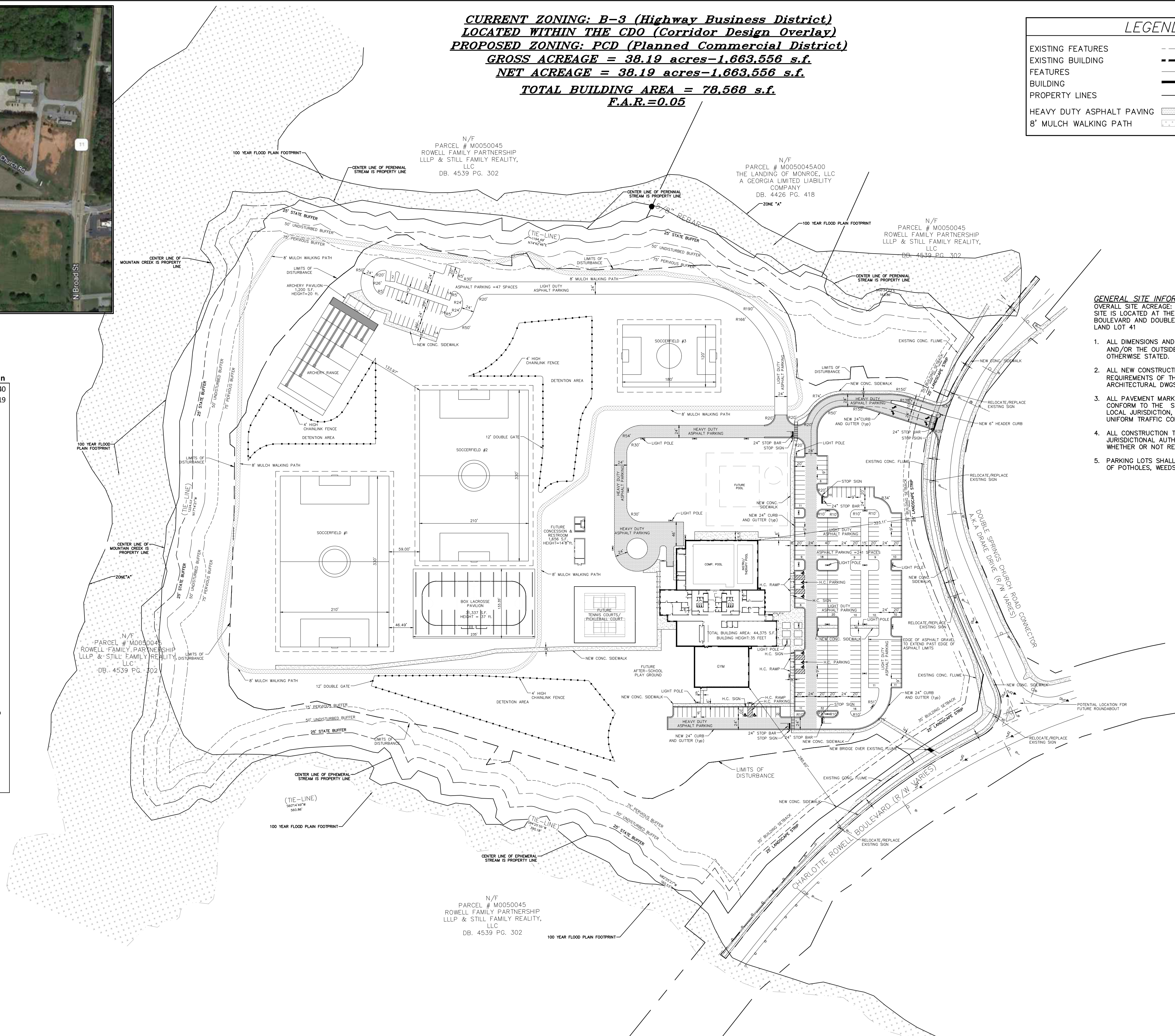
LEGEND

EXISTING FEATURES	---
EXISTING BUILDING	-----
FEATURES	----
BUILDING	=====
PROPERTY LINES	-----
HEAVY DUTY ASPHALT PAVING	=====
8' MULCH WALKING PATH	=====

GENERAL SITE INFORMATION:

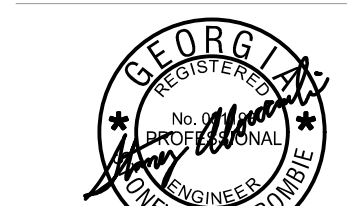
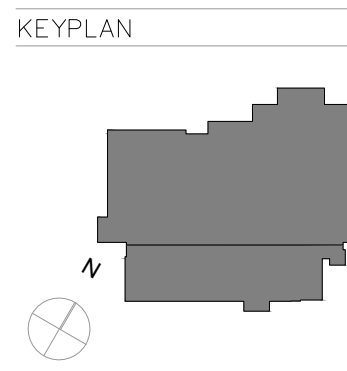
OVERALL SITE ACREAGE: 38.19 ACRES
 SITE IS LOCATED AT THE INTERSECTION OF CHARLOTTE ROWELL BOULEVARD AND DOUBLE SPRINGS CHURCH ROAD CONNECTOR LAND LOT 41

1. ALL DIMENSIONS AND RADII ARE TO/FROM THE FACE OF CURB AND/OR THE OUTSIDE FACE OF THE BUILDING WALL UNLESS OTHERWISE STATED.
2. ALL NEW CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (A.D.A.), SEE ARCHITECTURAL DWGS. FOR STRUCTURE COMPLIANCE.
3. ALL PAVEMENT MARKINGS, STRIPING, AND SIGNAGE SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LOCAL JURISDICTION, THE STATE D.O.T., AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
4. ALL CONSTRUCTION TO CONFORM TO ALL RELEVANT JURISDICTIONAL AUTHORITIES STANDARDS AND SPECIFICATIONS WHETHER OR NOT REVIEW COMMENTS WERE MADE.
5. PARKING LOTS SHALL BE MAINTAINED IN GOOD CONDITION, FREE OF POTHOLES, WEEDS, DUST, TRASH, AND DEBRIS



ISSUANCES

Date	Description
03.25.2022	Design Development
07.14.2022	Site Work GMP



GSWCC: 0000072078
 EXPIRES: 8/22/2023



525 East Taylor St.
 P.O. Box 880
 Griffin, Georgia 30224
 Office 770.227.5473
 Fax 770.228.3442

PROJECT:
WALTON YMCA

CLIENT:
 YMCA of Georgias Piedmont

SHEET TITLE:
ZONING PLAN

© 2022 Manley Spangler Smith Architects, PC
 PROJECT NUMBER: 202118
 DATE: 7/14/2022
 SCALE: AS NOTED
 DRAWN BY: SCA
 CHECKED BY: RCL

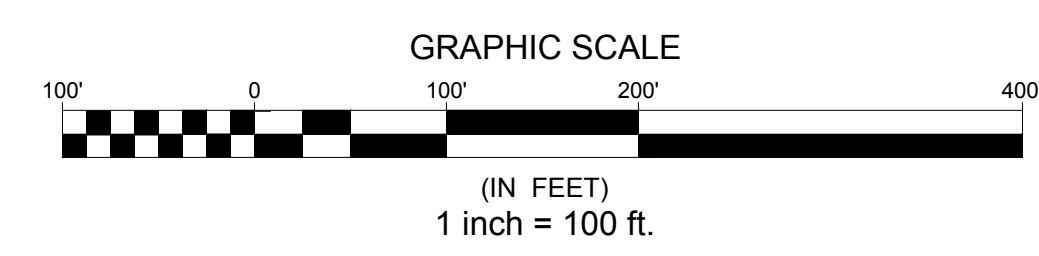
SHEET NO.
Z-1.0
 HGA JOB No. 2022-159



Know what's below.
 Call before you dig.
 Dial 811
 Or Call 800-282-7411

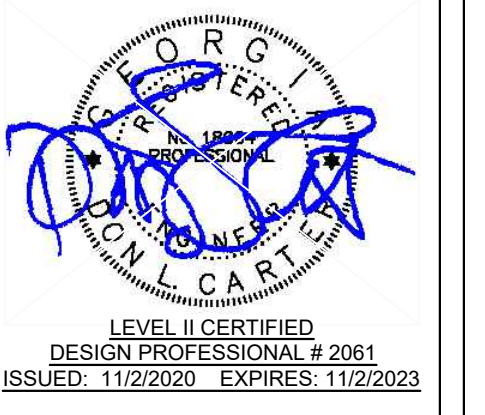
THE LOCATION OF ALL UTILITIES (ABOVE OR BELOW GROUND) SHOWN ON THESE DRAWINGS ARE APPROXIMATE & WERE OBTAINED FROM OBSERVATIONS AT THE SITE AND/OR FROM THE UTILITY OWNERS. HAINES GIPSON & ASSOC., INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY OR HIS AGENT AND/OR THE CONTRACTOR TO DETERMINE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE OR BELOW GROUND) & TO NOTIFY UTILITY OWNERS BEFORE BEGINNING ANY CONSTRUCTION.

CAUTION-NOTE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. GA. LAW REQUIRES THE CONTRACTOR TO CALL THE UTILITY PROTECTION CENTER AT LEAST 48 HOURS (BUT NO MORE THAN 10 WORKING DAYS) BEFORE ANY EXCAVATION TO REQUEST FIELD LOCATION OF UTILITIES. LOCATE SERVICES SHALL INCLUDE TRAFFIC SIGNAL AND FIBER OPTIC EQUIPMENT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE RELOCATION OF ALL THE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



OVERALL PLAN

REVISIONS/ISSUANCES		
NO.	DATE	DESCRIPTION



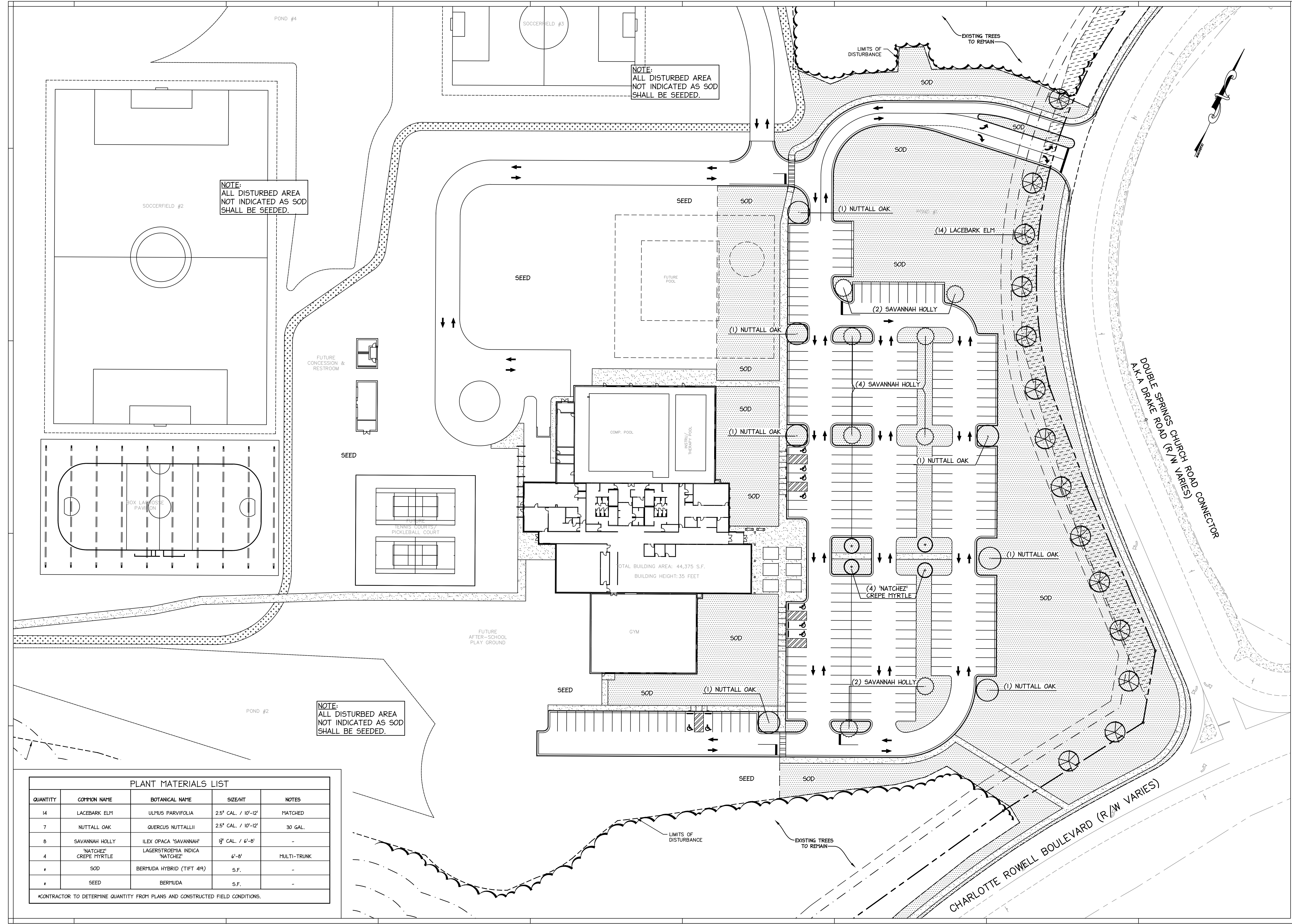
525 East Taylor St.
P.O. Box 880
Griffin, Georgia 30224
Office 770.227.5473
Fax 770.228.3442

PROJECT:
Walton YMCA

CLIENT:
YMCA of Georgia's Piedmont

SHEET TITLE:
LANDSCAPE PLAN

© 2022 Manley Spangler Smith Architects, PC
PROJECT NUMBER: 202118
DATE: 09.17.2022
SCALE: 1" = 40'
0 40 80
DRAWN BY: CADDD
CHECKED BY: DLC
SHEET NO.: L1.1



PLANT MATERIALS LIST

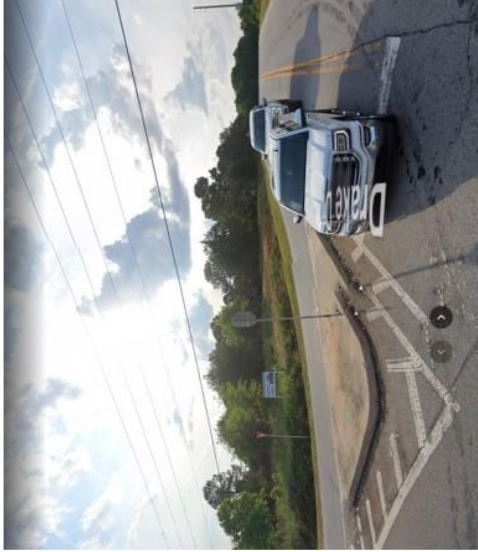
QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE/HT	NOTES
14	LACEBARK ELM	ULMUS PARVIFOLIA	2.5" CAL. / 10'-12'	MATCHED
7	NUTTALL OAK	QUERCUS NUTTALLII	2.5" CAL. / 10'-12'	30 GAL.
8	SAVANNAH HOLLY	ILEX OPACA 'SAVANNAH'	1 1/2" CAL. / 6'-8'	-
4	'NATCHEZ' CREPE MYRTLE	LAGERSTROEMIA INDICA 'NATCHEZ'	6'-8'	MULTI-TRUNK
#	SOD	BERMUDA HYBRID (TIFT 419)	S.F.	-
#	SEED	BERMUDA	S.F.	-

*CONTRACTOR TO DETERMINE QUANTITY FROM PLANS AND CONSTRUCTED FIELD CONDITIONS.

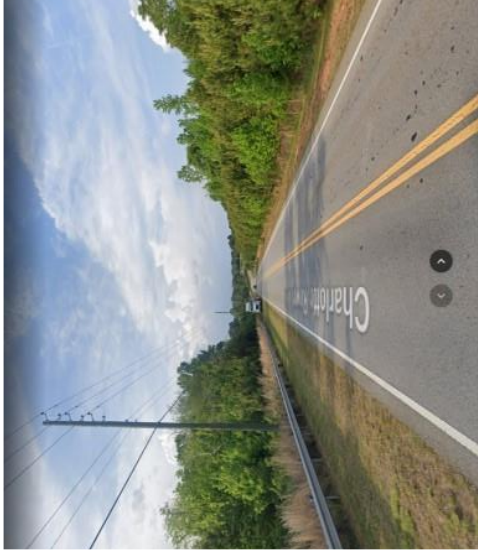
P:\M0700 - MANLEY SPANGLER SMITH ARCH - 870700700.034 Walton YMCA\CADD\M0700.034 Manley.dwg, L1, 11/15/2022, 3:29:58 PM, mrobins, DWG To PDF.pc3, ARCH (all sheets) (06.00 x 24.00 inches), 1:1

8. Utility Letter- Will provided by City

9. Photographs



1



2



3

Road Views of Existing Conditions

- Photo 1- Corner of Charlotte Rowell and DSCRC/Drake Drive
- Photo 2- Driving North on Charlotte Rowell Blvd- Property on the left
- Photo 3- Driving North on DSCRC/Drake Drive towards project entrance
- As shown in the above photos, the existing condition of the property is undeveloped and heavily wooded.

10. Pattern Book



Walton County YMCA

Pattern Book for Requested PCD
Zoning

September 16, 2022



Pattern Book Contents

- Project Description and Vision
- Property overview
- Master Plan
 - Site Plan
 - Design
 - Lighting
 - Signage
 - Fencing
 - Utilities
- Landscaping
- Ownership/Operations
- Variation from Existing Standards
- Appendix



Project Description and Vision

YMCA Mission

- To put Christian principles into practice through programs that build healthy spirit, mind and body for all.



Walton County YMCA- Pattern Book

Vision for Walton County Facility

The YMCA is a missioned based organization and is dedicated to providing comprehensive programs and services that enrich communities and all to the people who live in them. The Walton YMCA will be the third facility operated by the Georgia's Piedmont Branch. The Georgia's Piedmont understand the complex needs of the region and plans to develop unique programming based on the community strength. The regional uniqueness will also be recognized in the development of project. The development will incorporate local architectural context and responsible site development.

The YMCA is committed to promoting their core values of “caring, honesty, respect and responsibility” which includes protecting the character and historic elements of Monroe.

Walton County YMCA- Pattern Book



Project Description

- The Walton YMCA will sit on 38.19 acres of land located at the northeast corner of Charlotte Rowell Blvd and Double Springs Church Road Connector. The new YMCA will be approximately 44,375 square feet and boast a 10-lane indoor pool, along with a separate warm water therapy pool. In addition, the new YMCA will have a wellness center, aerobics room, afterschool/summer camp rooms and a nursery. The facility will also have a meeting room/chapel and locker rooms. Outdoors, the Walton YMCA will develop over time with soccer fields to start and the following to be constructed in the future: field house, archery center, tennis courts, pickleball courts, pavilion, lacrosse, playgrounds, outdoor pool, and a walking trail.
- This project will fulfill a huge need in Walton County and surrounding areas for a recreation facility and is projected to have 7,000 members.
- The facility is designed to echo the historic/industrial look of the Monroe Mill and will complement the design of the adjacent high school with brick and black metal features, large rectangular windows and a flat roof.
- With proximity to Hwy 78, Hwy 138 and Hwy 11, the facility is ideally located for convenient access from all areas of Walton County
- Construction will begin immediately upon receipt of the required City approvals

Project Description

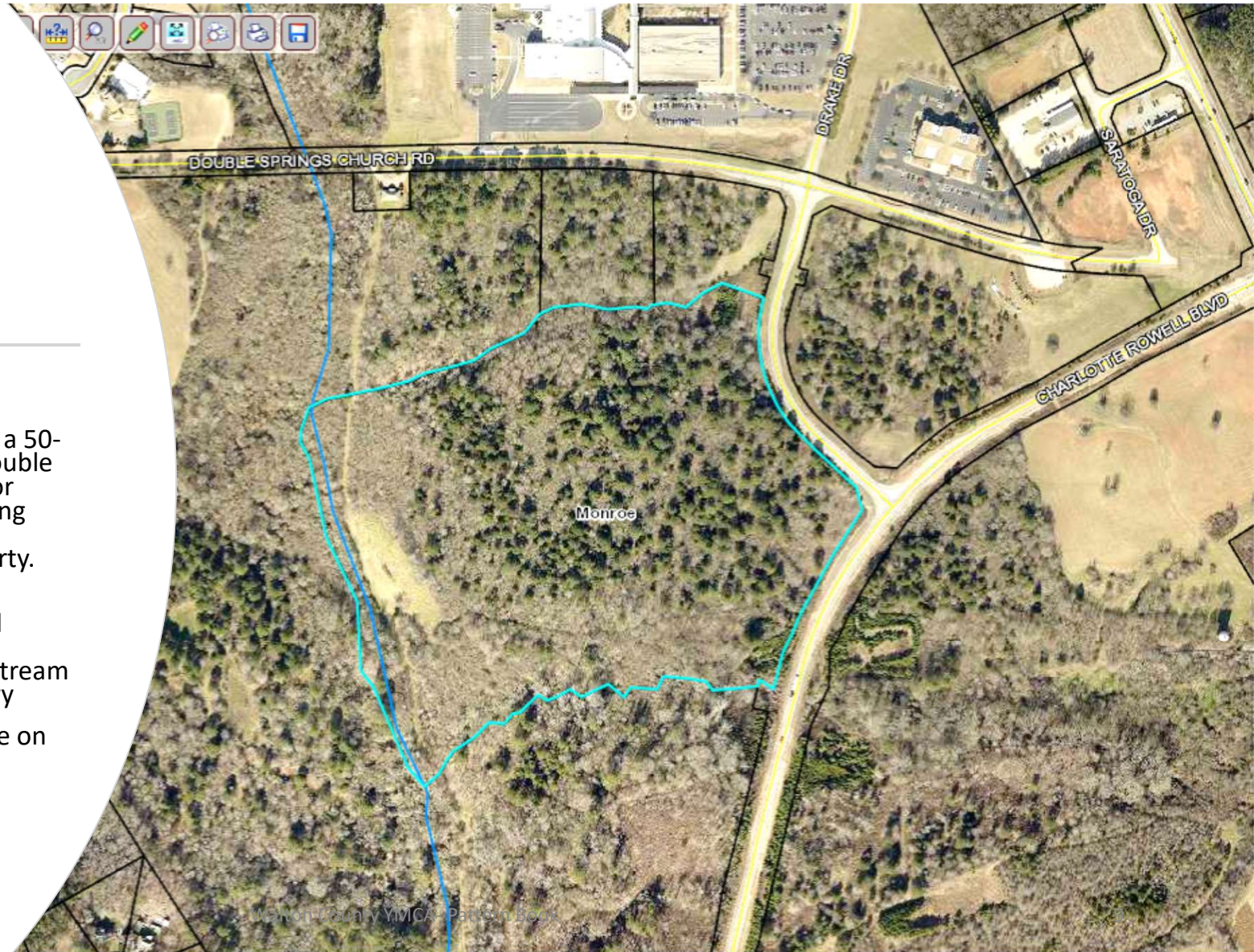
- The YMCA is requesting a Planned Commercial District (“PCD”) zoning designation to allow it to construct a facility that provides the greatest benefit to the community by maximizing athletic field space and better ensuring the safety of children and vehicles. The property is currently zoned B3 and in the Corridor Design Overlay District which places limitations on the road setback and parking location that inhibit the YMCA’s customary design and the design that best fits the property and serves the community. A larger setback from the road is required to provide a protective buffer between the parking and field areas and the road which is dangerous for children visiting the Y. It is also important to separate the parking area from the fields to protect cars from rogue balls. The proposed site layout is more traditional than urban which is a better fit for the use and consistent with other YMCA campuses.
- The historic/industrial design will fit in well with the surrounding brick school buildings and stand out with the industrial touches including black metal accents
- Landscaping will enhance the overall feel of the site and provide shade and visual contrast over the parking areas. All streets and parking areas will be paved. Wooded buffers of 50-feet will be maintained adjacent to adjoining property owners.
- The YMCA will be a tremendous addition to the City and its mission to create more places to play for its citizens.
- Details regarding the site plan, uses and other features of the project follow.

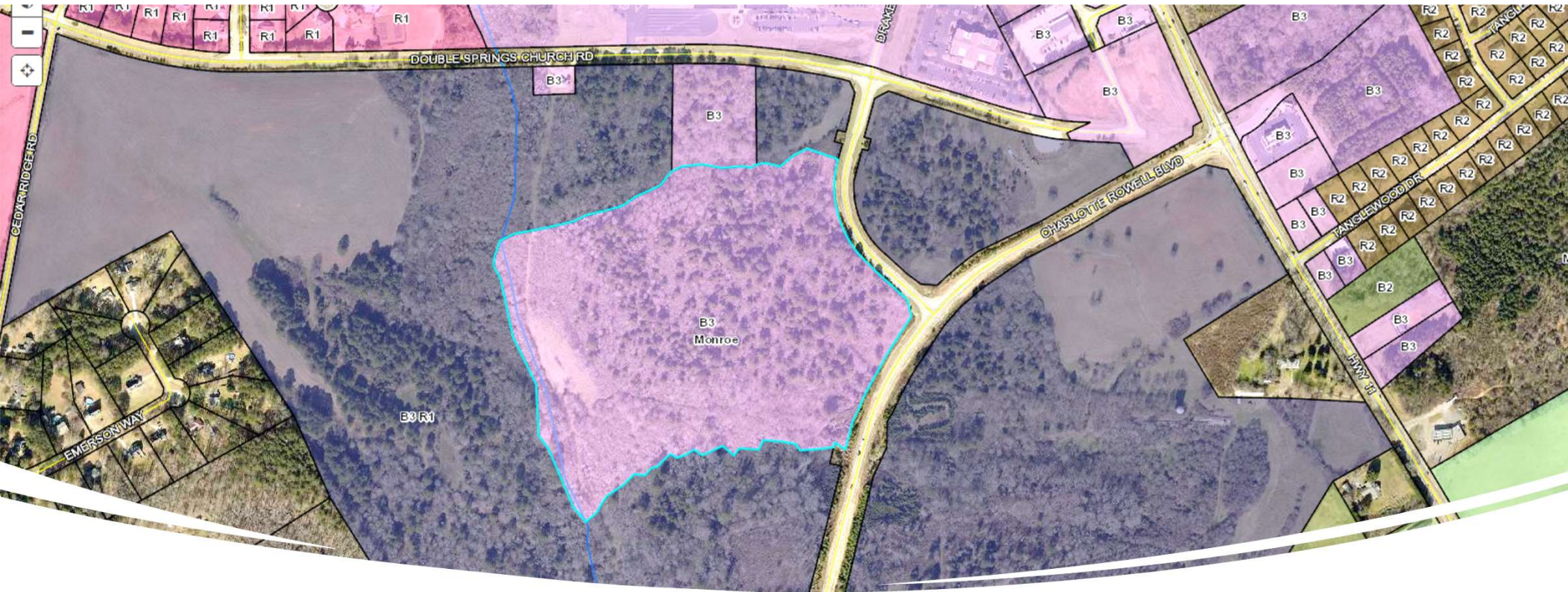
Property Overview

Existing Conditions and
Location

Property

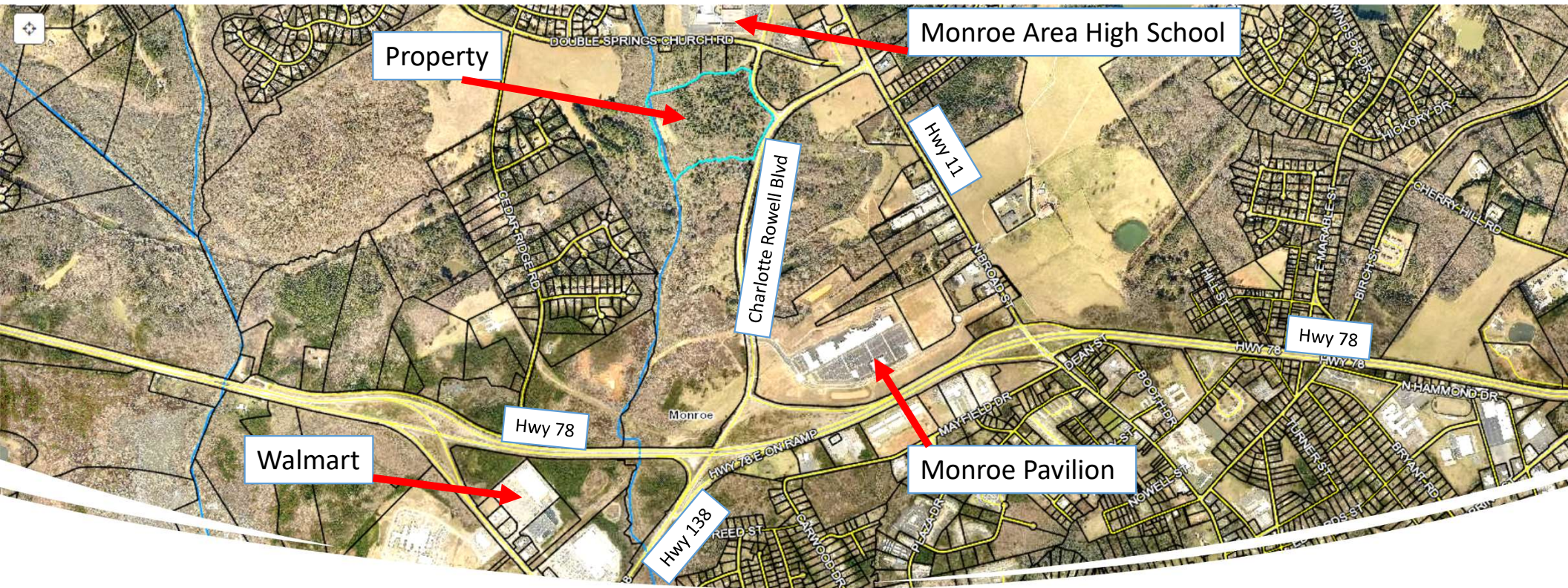
- The Property is 38.19 acres
- It is primarily wooded and has a 50-foot variation in grade with Double Springs Church Road Connector "DSCRC" (aka Drake Drive) being significantly higher than the southern portion of the property.
- Mountain Creek borders the western boundary, a perennial stream borders the northern boundary, and an ephemeral stream borders the southern boundary
- The Property has road frontage on Charlotte Rowell Blvd and DSCRC/Drake Drive.





Zoning Designation

- The property is currently zoned B3 and is in the Corridor Design Overlay District due to its road frontage on Charlotte Rowell Blvd.
- The properties directly abutting the property are zoned B3-R1A and B3. The properties zoned B3-R1A are owned by the Rowell and Still families. The property zoned B3 is owned by The Landing of Monroe, LLC.
- PCD is consistent with the development trend along Charlotte Rowell Blvd given the Monroe Pavilion development less than a mile south of the Property



Location Map

- The YMCA is in the ideal location for access from all major state routes through Walton County
- Monroe Area High School is to the North
- Residential (current and planned) are to the West
- Monroe Pavilion is to the southeast with additional future commercial development/residential development anticipated along Charlotte Rowell Blvd



1



2



3

Road Views of Existing Conditions

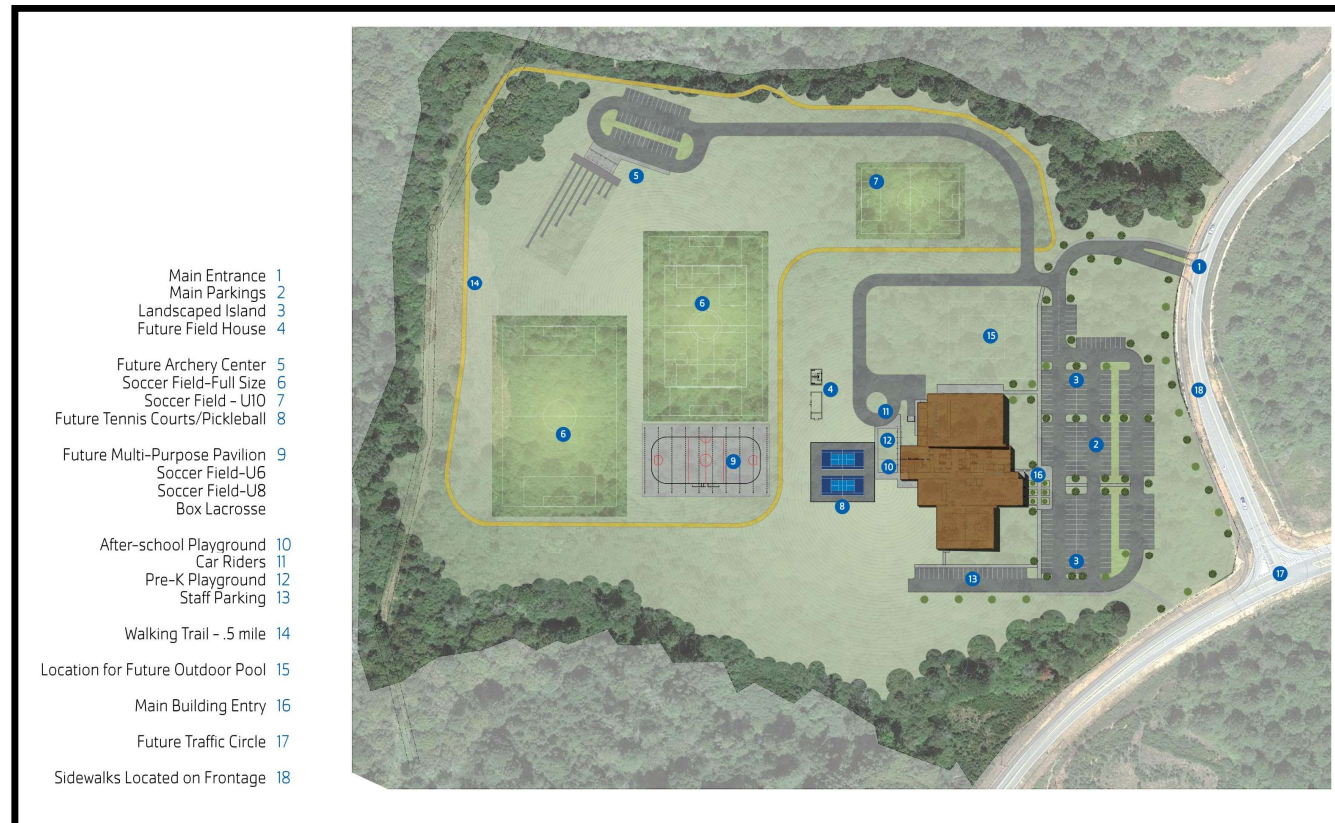
- Photo 1- Corner of Charlotte Rowell and DSCRC/Drake Drive
- Photo 2- Driving North on Charlotte Rowell Blvd- Property on the left
- Photo 3- Driving North on DSCRC/Drake Drive towards project entrance
- As shown in the above photos, the existing condition of the property is undeveloped and heavily wooded.

Master Plan

Site Layout and Features

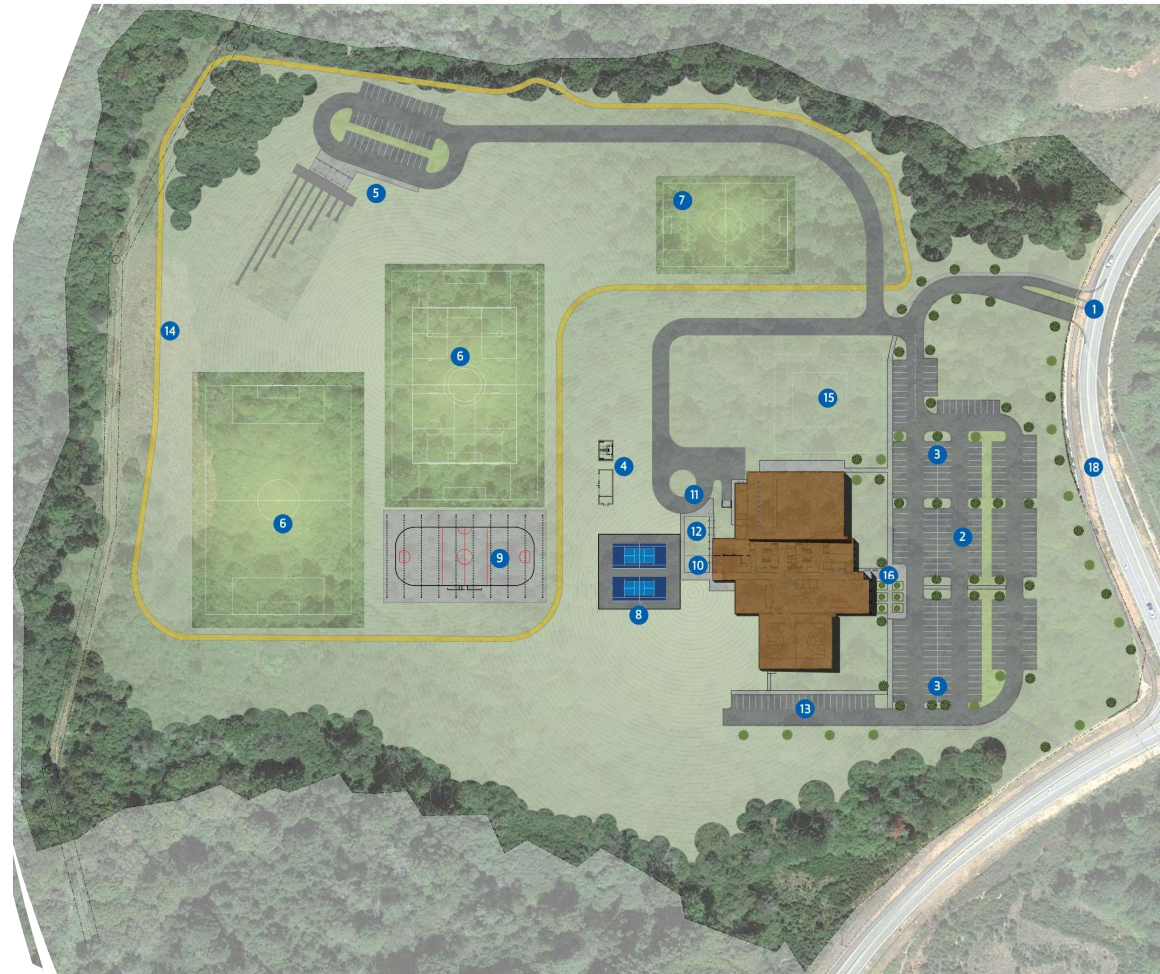
Site Plan Uses

- The overall site is 38.19 acres.
- The site elements, including all uses, are labeled on this conceptual site plan.
- The primary elements include:
 - Soccer fields
 - Box Lacrosse pavilion
 - Future Archery range
 - Future Tennis/Pickle Ball Courts
 - Playgrounds
 - Fieldhouse
 - Walking Trail (0.5 mile)
 - Future outdoor pool
 - Main activity building
- The only allowed land use on the site is the YMCA and all of its ancillary and accessory uses. No other land uses are requested as a part of the PCD rezoning request.



Site Plan Parking

- All Parking will be paved
- Parking areas will include 288 spaces
- Visitor parking is in the front of the building which fronts on DSCRC/Drake Drive and away from the athletic fields to prevent damage to vehicles (See 2)
- Staff Parking is on the south side of the building (See 13)
- Separate parking will be provided at the Archery Range. (See 5)
- Circular access to all three parking areas proposed provides better traffic flow within the site.



Site Plan Buildings



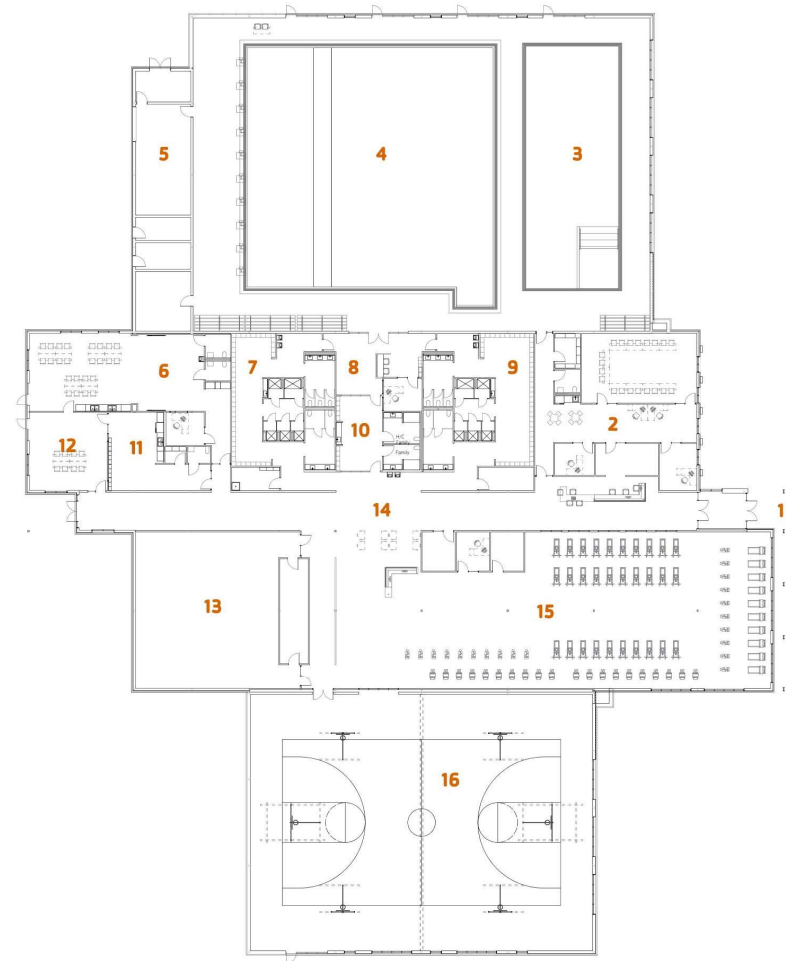
- Four structures are proposed:
 - The main facility building footprint boasts over 44,375 sf of activity space. It will be 35 feet tall.
 - The box lacrosse pavilion will be 31,337 sf and 37 feet tall. It will be open-air.
 - The archery pavilion will be designed by GA DNR and paid for with a grant. It is estimated to be 1,200 sf and 20 ft tall.
 - The future field house will be 1,656 sf and 14'8" tall and will be designed to match the main facility building.



Site Plan Buildings

The 44,375-sf main facility building footprint accommodates 16 uses as shown on this plan

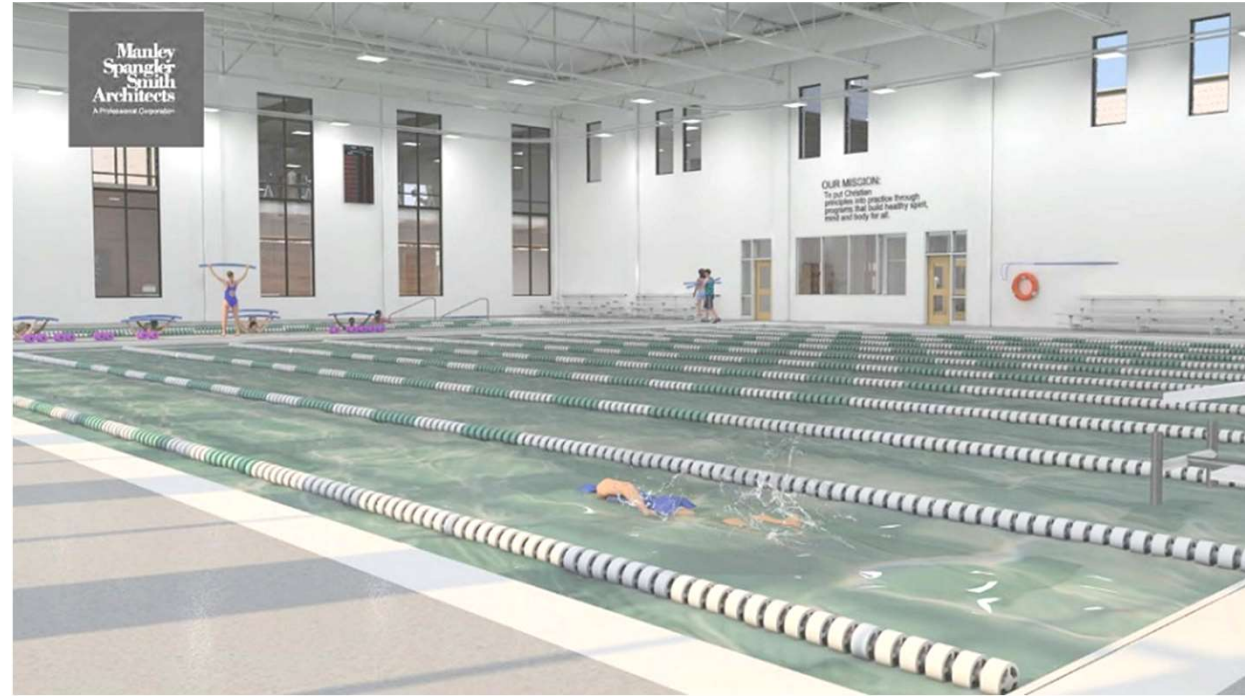
- Main Building Entrance **1**
- Branch Administration Offices **2**
- Warm Water Therapy Pool **3**
- Competition Swimming Pool **4**
- Pool Equipment **5**
- After School Classroom **6**
- Men's Locker Room **7**
- Pool Lobby-Lifeguards **8**
- Women's Locker Room **9**
- Family Locker Rooms **10**
- Nursery **11**
- Toddler Nursery **12**
- Group Exercise **13**
- Main Circulation **14**
- Fitness Center **15**
- Future Basketball Court **16**





Manley
Spangler
Smith
Architects
A Professional Corporation

Sample rendering of interior



Rendering of pool and gym

- The main facility building will include a 10-lane pool and gym.

Site Plan Accessibility

- The entrance to the facility is on DSCRC/Drake Drive (1).
- All roads and parking areas will be paved.
- Car-rider pickup/drop-off will be located behind the facility with a circular drive (11).
- A secondary parking area and a circular drive will be located at the Archery Range (5).
- Sidewalks along Charlotte Rowell Blvd, DSCRC/Drake Drive and throughout the interior of the site will add to site connectivity once the area fully develops
- A future roundabout is planned at the DSCRC/Drake and Charlotte Rowell Blvd intersection (17) which will aid in traffic flow.

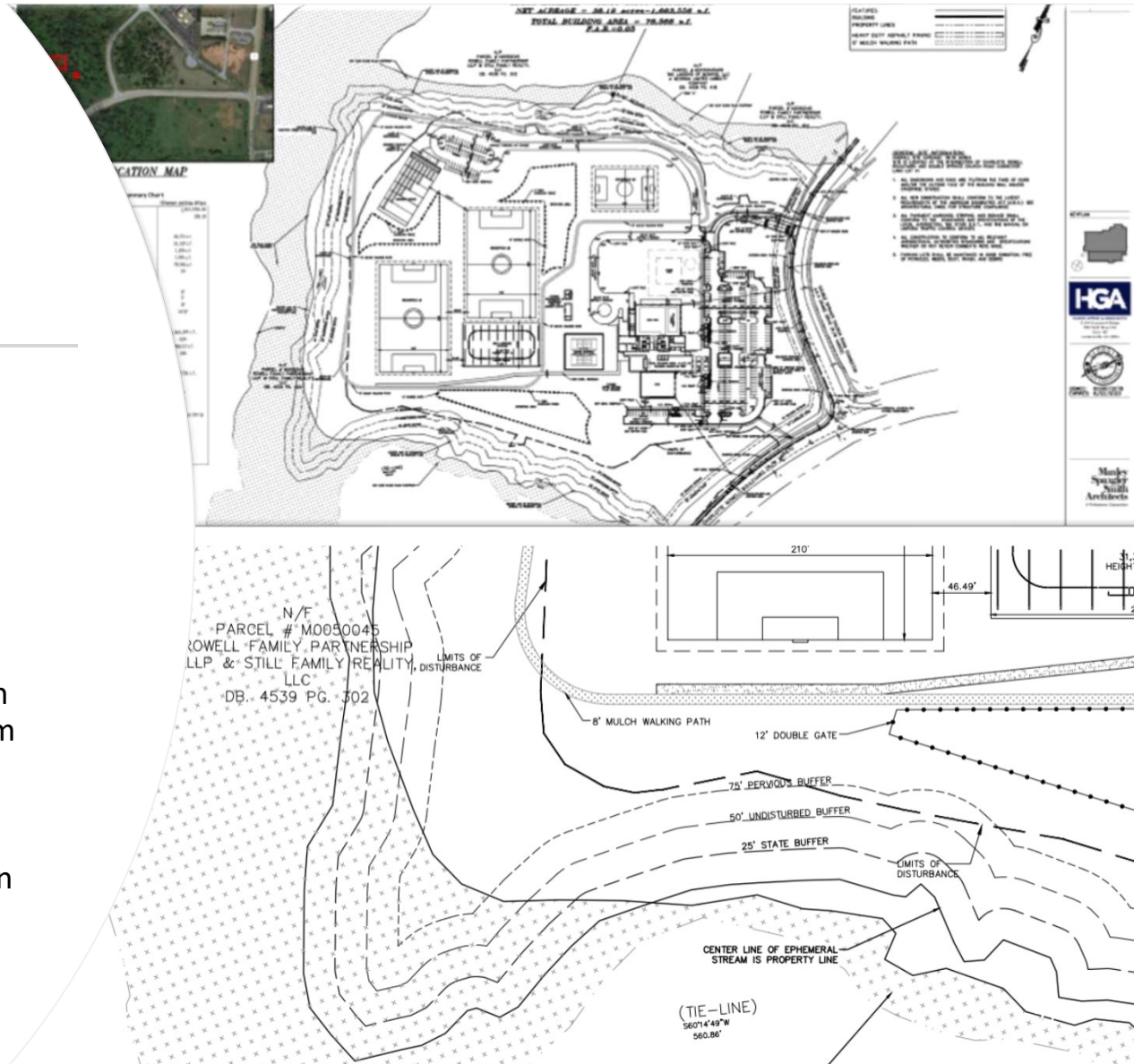


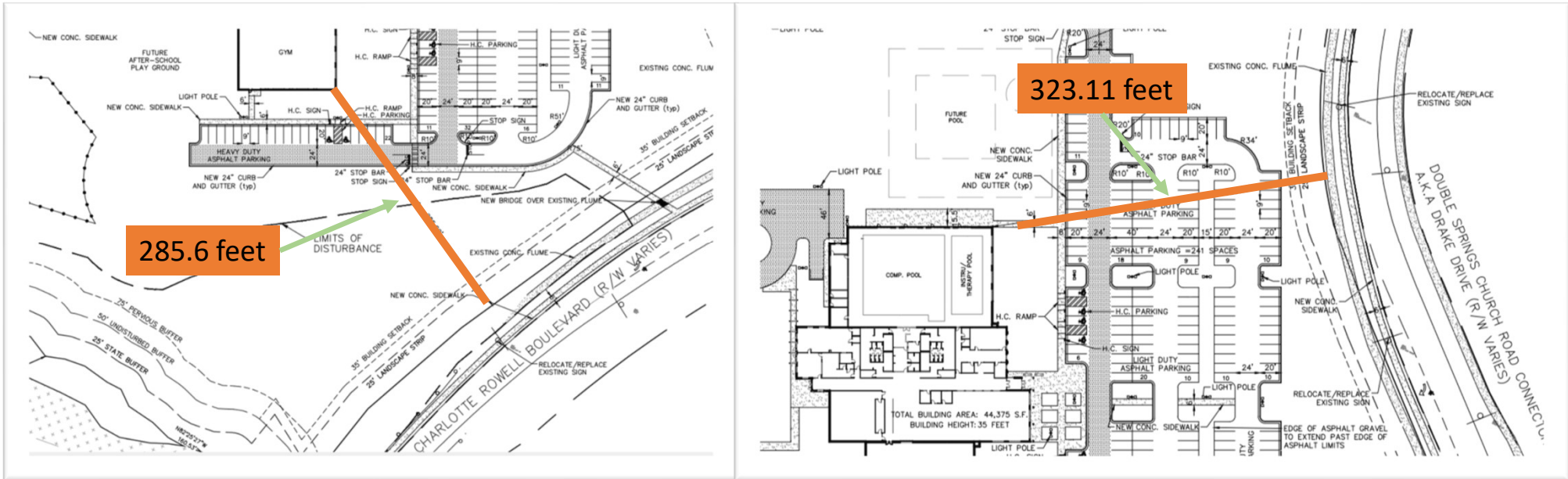
Site Plan Buffers

- The buffers maintained on the site include:
 - 25-foot buffer around all streams
 - 50-foot undisturbed buffer from site boundary
 - 75-foot impervious surface buffer
 - 25-foot landscape strip
- Mature hardwood and pine trees will remain in the 50-foot buffer which will limit visibility from adjoining properties.

*a more legible copy of the Site Plan is included in the Appendix hereto

Walton County YMCA- Pattern Book





Site Plan Setbacks

- Due to the site design and need to maximize athletic field space and separate parking from the athletic fields, the setbacks proposed are consistent with traditional rather than urban design. The building setback from Charlotte Rowell Blvd is 285.60 feet as opposed to the max of 75 feet contemplated in the overlay. Likewise, the building setback from Drake Drive is 323.11 feet.
 - Setbacks for disturbed areas are 35 feet from Charlotte Rowell Blvd, 15 feet on the north and south side and 20 feet on the west.
 - The expanded building setbacks allow parking to be closer to the roads which further separates areas where children play from traffic and protects vehicles from rogue balls.
- *a more legible copy of the Site Plan is included in the Appendix hereto which denotes the setbacks.

Site Plan

Lot Coverage

- Pervious Surfaces total 1,365,524 sf which is 82% of the site. This amount is significantly more than the 60% required.
- Impervious Surfaces total 298,032 sf which is 18% of the site. Impervious surfaces include buildings, structures, parking, sidewalks, tennis courts and outdoor pool areas
- Buildings/Structures cover just 5% of the site with landscaping covering 1,170,505 sf





Design

- The overall style of the building is traditional with industrial details which were inspired from the Monroe Mills
- This style fits well within the area and echoes the primarily brick facades of the adjacent school buildings.

Design inspiration

- The exterior design was modeled based on inspiration drawn from Monroe's historic Mills. The Monroe Mills incorporate a mix of brick and black metal features with large, rectangular windows and flat roofs. The YMCA will mimic these traditional, Monroe-inspired styles.



Walton County YMCA - Pattern Bank



Design

- The main facility building will be approximately 44,375 square feet and will be approximately 35 feet in height.
- The fenestration creates visual interest with the mix of brick and metal in addition to awnings and cement overhang features.
- Additional full-sized renderings of the main facility are included in the Appendix.

Building Elevations

- The building elevations showcase the unique fenestration of the design which melds industrial and traditional styles. Angles, overhangs, roof heights and variation of materials adds to the aesthetically interesting design.

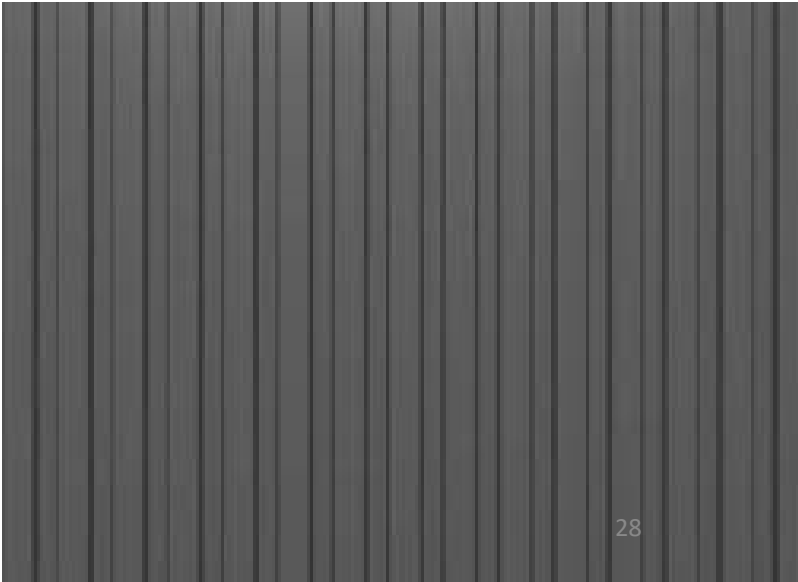


Design

The building exterior will be primarily brick with architectural formed metal wall panels. This mix of traditional (brick) with industrial promotes an attractive exterior. The windows will be black-metal framed and black metal pillars will be incorporated in the front awning architectural features. Sample exterior materials are shown here.



Walton County YMCA - Pattern Book



Lighting Parking and Grounds

- Lighting shall be downward facing
- Height: Light poles shall not exceed 20 feet in height.
- Direction: Luminaries shall be LED and shielded to prevent glare onto adjacent property.
- Intensity: A maximum light level of PL = 0.2 foot candles measured at ground level is permitted. Entrances to YMCA will be lighted exceeding 0.2 foot candles for traffic safety only. High intensity sodium vapor lights are prohibited.



Lighting Sports Fields

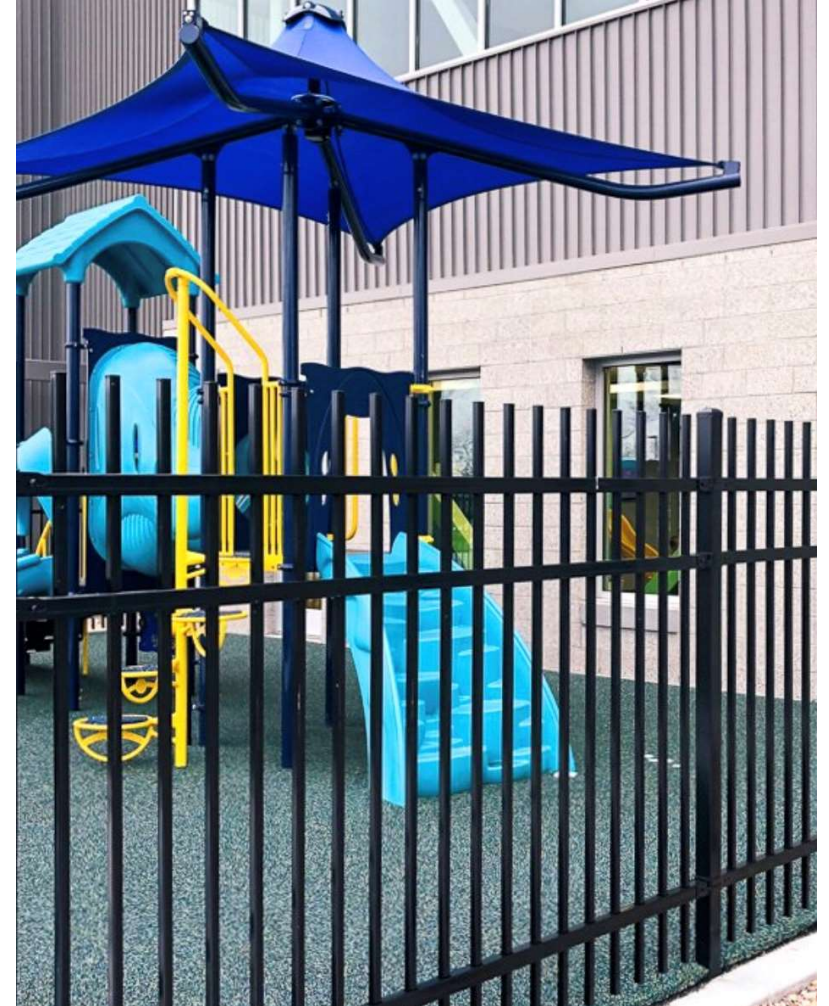
- The lighting system will be sensitively and creatively designed to avoid light pollution using shielded fixtures while maintaining the minimum ASHREA 90.1 Energy Standard for Buildings. Shielded light fixtures prevent light trespass and light pollution of the night sky and adjacent properties.
- Lights will be installed on all the fields including Soccer fields, Tennis/Pickleball Courts, Lacrosse Pavilion area and Archery Range area.



Signage

- Signage attached to the building shall be in scale and proportional to the main building façade as shown in the image herein.
- Freestanding signs will be placed perpendicular to traffic flow on Charlotte Rowell Blvd and Drake Drive.
- Materials: Signs shall be wood, metal, stone or masonry with applied Y logo.
- Design: Design will be simple and reference the City's architectural heritage.
- Dimensions: Ground sign area is no larger than 6 feet in height by 12 feet in width. Wall signs will not exceed a maximum of 100 sf aggregate per wall.
- Sign Lighting: Shall be illuminated indirectly with downward facing illumination or backlite to provide halo effect around the Y logo.





Fencing

- Fencing for the playground will be prefinished ornamental steel
- Fencing for the tennis/pickle ball courts will be black pvc coated chain link fence
- Fencing around the detention areas will also be black pvc coated chain link fence

Utilities

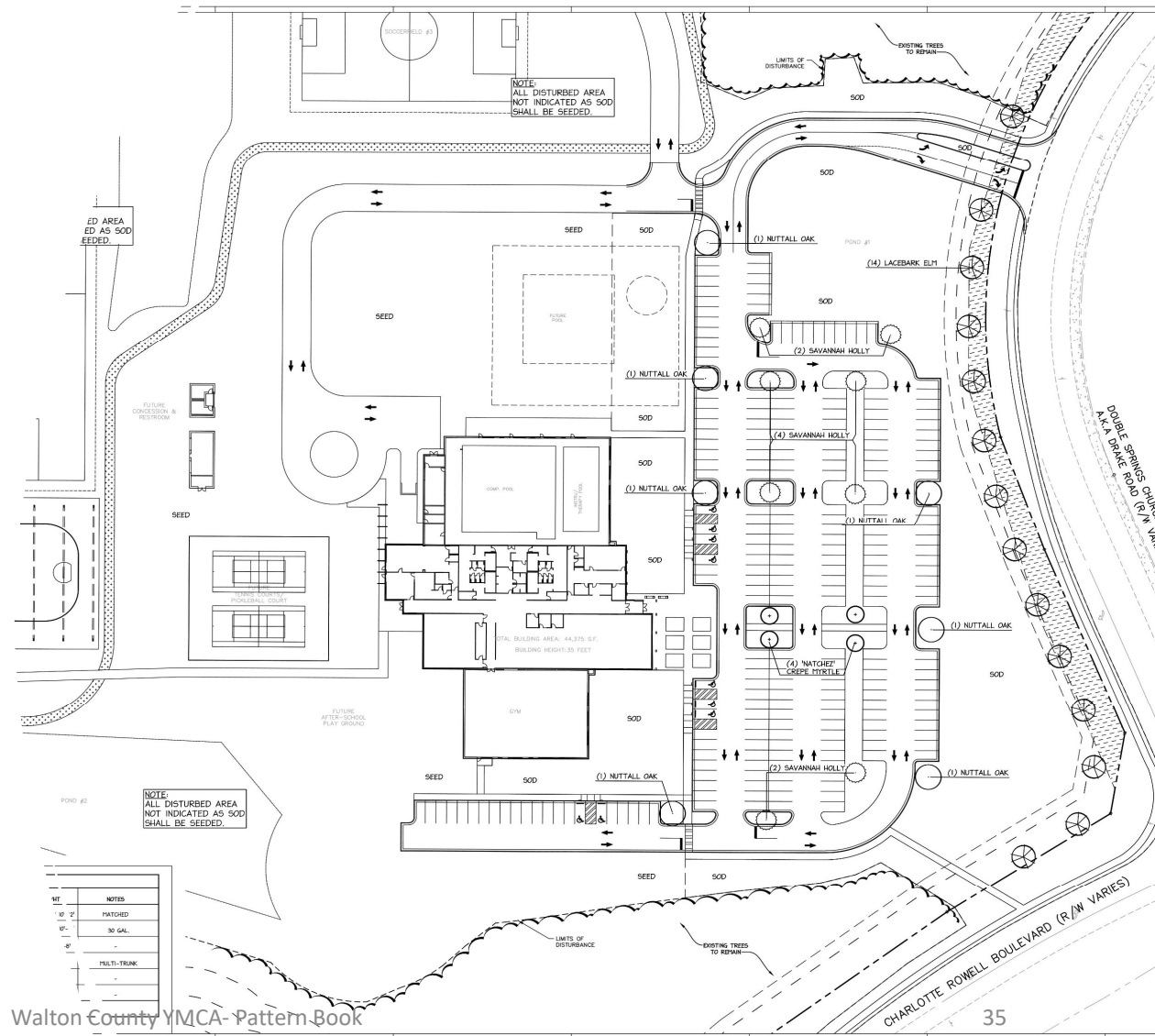
- The YMCA plans to utilize all utilities through the City of Monroe including: water, gas, electric, sewer and internet

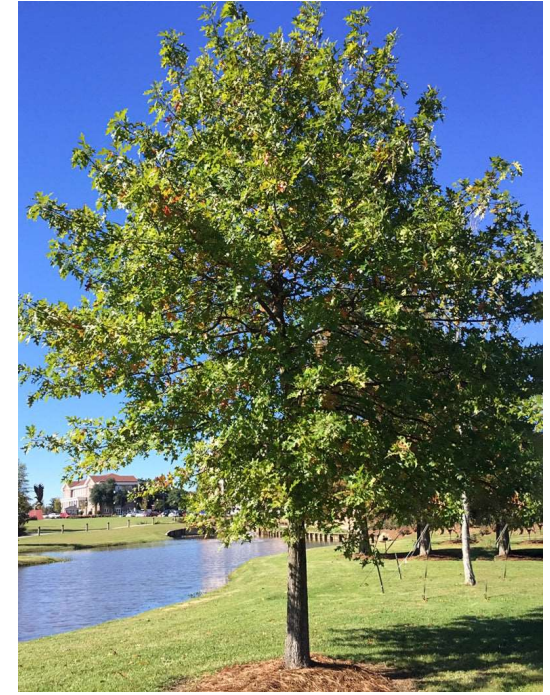


Landscaping

Landscaping Site Plan

- The landscape design is mission focused on creating an aesthetically pleasing site with an emphasis on the frontage landscaping such that it is consistent with future developments on Charlotte Rowell Blvd. and Drake Drive under the overlay district
- The 25-foot landscape buffer along the road frontage will be planted with Nuttall Oaks. Savannah Holly, Lacebark Elms and Natchez Crepe Myrtles will be planted in the parking areas and adjacent to the building
- The complete landscaping plan is in the Appendix hereto.





Landscaping- List of plantings

- Plantings will include: Nuttall Oaks, Lacey Elms, Savannah Holly, Natchez Crepe Myrtles, Sod and Seed

Ownership/Operation

- The facility and grounds will be owned, managed and maintained by the YMCA
- Interior roads will not be dedicated to the City



Variations from Existing Zoning

Variations from existing zoning Setback



- The Property is within the Corridor Design Overlay District which contemplates a more urban design than what is developed and developing in the northeast side of Charlotte Rowell Blvd. The YMCA’s typical design and design proposed here is more traditional with sizable setbacks from the road and parking located in the front of the main facility with athletic fields in the rear of the property. This design provides additional safety for youth participating in outdoor activities by providing distance between the activity spaces and traffic.
- The current regulations require a maximum 75-foot setback from Charlotte Rowell Blvd and Drake Drive and the Site Plan shows a 285.60 and 323.11-foot respectively setback. See Section 643A.2. This setback is necessitated by the site limitations, grading challenges and most importantly, the need to maximize athletic field space and promote safety.

Variations from existing zoning

Parking

- The Corridor Design Overlay District regulations contemplate parking behind buildings (see Sections 655, and 643A.3), however, this does not fit with the YMCA model of placing athletic fields in the rear of the site or the more traditional-type design in the area.
- The site plan shows parking in front of the building. This allows for maximization of space for athletic fields in the back of the property. Vehicles must be separated from the athletic field to guard against potential damage due to rouge balls. Likewise, fields removed from the road also protect vehicles on Charlotte Rowell Blvd and protect children on the fields from traffic.
- The number of spaces proposed is 288. This meets the requirements for a commercial zoning designation and is consistent with the capacity at other YMCA facilities with similar membership numbers. 7,000 members are estimated for the Walton campus.

Shared Benefits of Flexible Zoning

variation of setback and parking

Benefits to Developer

- Maximization of athletic field space by siting the parking in front of the facility
- Work within site's natural topography in placement of buildings and parking
- Develop consistent with similar YMCA facilities
- Prioritize safety of children and protection of property

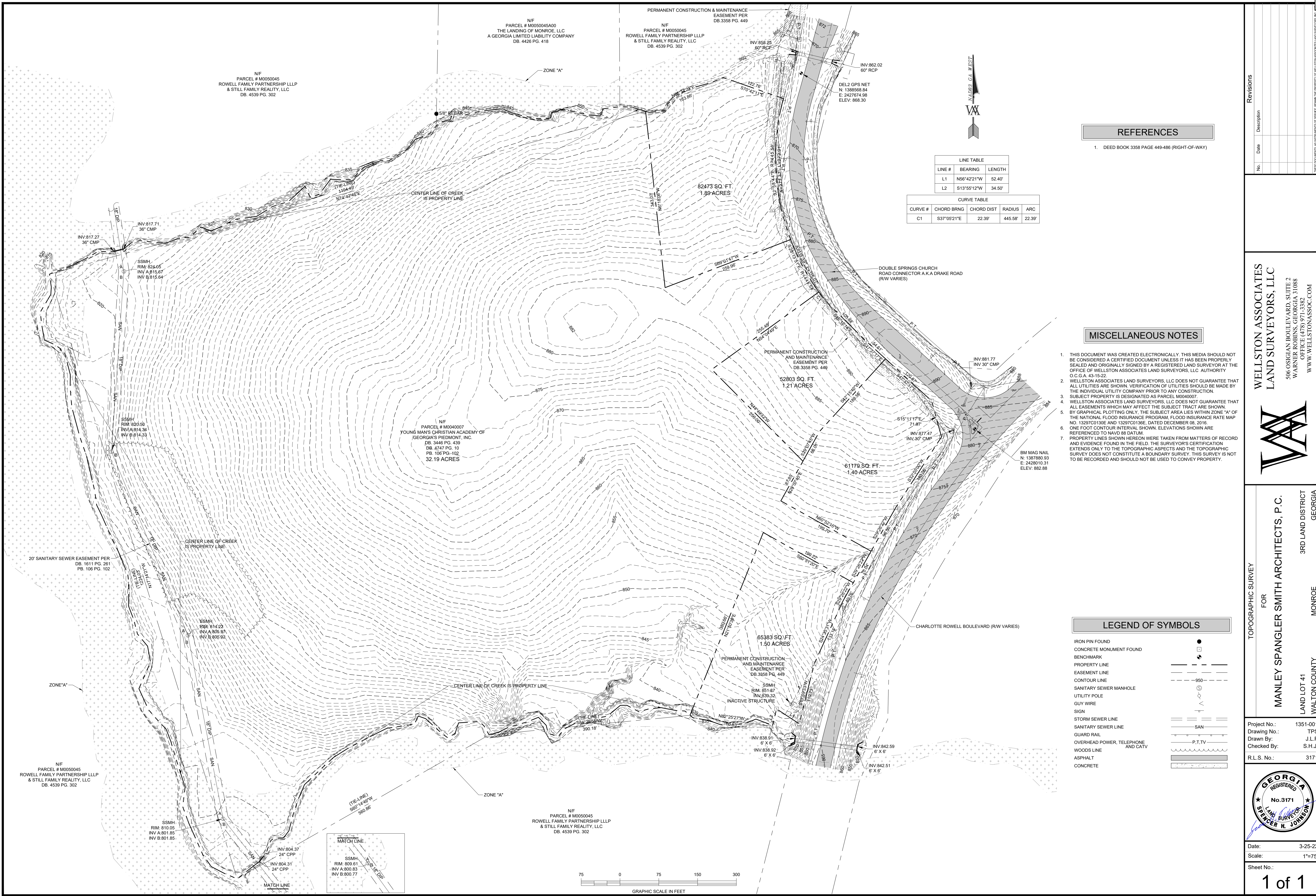
Benefits to Community

- Maximization of athletic field space
- Safer environment for children and vehicles by separating fields from the roads and separating the parking from the fields
- Development consistent with nearby building design and layout (school)

Appendix

Appendix

- 1. Survey
- 2. Conceptual Site Plan
- 3. Site Plan
- 4. Landscape Plan with Planting List
- 5. Renderings of Exterior Elevations of Main Facility



N/F
PARCEL # M0050045
ROWELL FAMILY PARTNERSHIP LLLP
& STILL FAMILY REALTY, LLC
DB. 4539 PG. 302

N/F
PARCEL # M0050045A00
THE LANDING OF MONROE, LLC
A GEORGIA LIMITED LIABILITY COMPANY
DB. 4426 PG. 418

PERMANENT CONSTRUCTION & MAINTENANCE
EASEMENT PER
DB. 3358 PG. 448

N/F
PARCEL # M0050045
ROWELL FAMILY PARTNERSHIP LLLP
& STILL FAMILY REALTY, LLC
DB. 4539 PG. 302

20' SANITARY SEWER EASEMENT PER
DB. 1611 PG. 261
PB. 106 PG. 102

N/F
PARCEL # M0040007
YOUNG MAN'S CHRISTIAN ACADEMY OF
GEORGIA'S PIEDMONT, INC.
DB. 3446 PG. 439
DB. 4747 PG. 10
PB. 106 PG.-102
32.19 ACRES

N/F
PARCEL # M0050045
ROWELL FAMILY PARTNERSHIP LLLP
& STILL FAMILY REALTY, LLC
DB. 4539 PG. 302

N/F
PARCEL # M0050045
ROWELL FAMILY PARTNERSHIP LLLP
& STILL FAMILY REALTY, LLC
DB. 4539 PG. 302

REFERENCES

- DEED BOOK 3358 PAGE 448-486 (RIGHT-OF-WAY)

LINE TABLE

LINE #	BEARING	LENGTH
L1	N56°42'21"W	52.40'
L2	S13°55'12"W	34.50'

CURVE TABLE

CURVE #	CHORD BRNG	CHORD DIST	RADIUS	ARC
C1	S37°05'21"E	22.39'	445.58'	22.39'

MISCELLANEOUS NOTES

- THIS DOCUMENT WAS CREATED ELECTRONICALLY. THIS MEDIA SHOULD NOT BE CONSIDERED A CERTIFIED DOCUMENT UNLESS IT HAS BEEN PROPERLY SEALED AND ORIGINALLY SIGNED BY A REGISTERED LAND SURVEYOR AT THE OFFICE OF WELLSTON ASSOCIATES LAND SURVEYORS, LLC AUTHORITY O.C.S.A. 43-15-22.
- WELLSTON ASSOCIATES LAND SURVEYORS, LLC DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN. VERIFICATION OF UTILITIES SHOULD BE MADE BY THE INDIVIDUAL UTILITY COMPANY PRIOR TO ANY CONSTRUCTION.
- SUBJECT PROPERTY IS DESIGNATED AS PARCEL M0040007.
- WELLSTON ASSOCIATES LAND SURVEYORS, LLC DOES NOT GUARANTEE THAT ALL EASEMENTS WHICH MAY AFFECT THE SUBJECT TRACT ARE SHOWN.
- BY GRAPHICAL PLOTTING ONLY, THE SUBJECT AREA LIES WITHIN ZONE "A" OF THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP NO. 13297C0130E AND 13297C0136E, DATED DECEMBER 08, 2016.
- ONE FOOT CONTOUR INTERVAL SHOWN. ELEVATIONS SHOWN ARE REFERENCED TO NAVD 83 DATUM.
- PROPERTY LINES SHOWN HEREON WERE TAKEN FROM MATTERS OF RECORD AND EVIDENCE FOUND IN THE FIELD. THE SURVEYOR'S CERTIFICATION EXTENDS ONLY TO THE TOPOGRAPHIC ASPECTS AND THE TOPOGRAPHIC SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY. THIS SURVEY IS NOT TO BE RECORDED AND SHOULD NOT BE USED TO CONVEY PROPERTY.

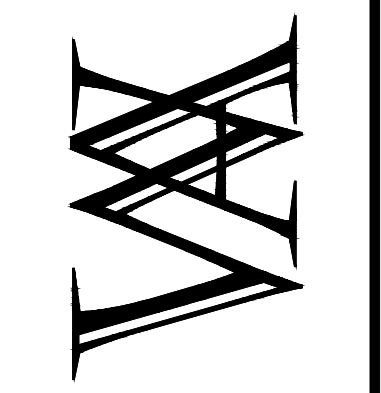
LEGEND OF SYMBOLS

- IRON PIN FOUND
- CONCRETE MONUMENT FOUND
- BENCHMARK
- PROPERTY LINE
- EASEMENT LINE
- CONTOUR LINE
- SANITARY SEWER MAN-HOLE
- UTILITY POLE
- GUY WIRE
- SIGN
- STORM SEWER LINE
- SANITARY SEWER LINE
- GUARD RAIL
- OVERHEAD POWER, TELEPHONE AND CATV
- WOODS LINE
- ASPHALT
- CONCRETE

Revisions

No.	Date	Description

**WELLSTON ASSOCIATES
LAND SURVEYORS, LLC**
506 OSGIAN BOULEVARD, SUITE 2
WARNER ROBINS, GEORGIA 31088
OFFICE (478) 971-3382
WWW.WELLSTONASSOC.COM



TOPOGRAPHIC SURVEY
FOR
MANLEY SPANGLER SMITH ARCHITECTS, P.C.
LAND LOT 41
WALTON COUNTY
MONROE
3RD LAND DISTRICT
GEORGIA

Project No.: 1351-001
Drawing No.: TPS
Drawn By: J.L.P.
Checked By: S.H.J.
R.L.S. No.: 3171



Date: 3-25-22
Scale: 1"=75'
Sheet No.:



- Main Entrance 1
- Main Parkings 2
- Landscaped Island 3
- Future Field House 4

- Future Archery Center 5
- Soccer Field-Full Size 6
- Soccer Field - U10 7
- Future Tennis Courts/Pickleball 8

- Future Multi-Purpose Pavilion 9
- Soccer Field-U6
- Soccer Field-U8
- Box Lacrosse

- After-school Playground 10
- Car Riders 11
- Pre-K Playground 12
- Staff Parking 13

- Walking Trail - .5 mile 14

- Location for Future Outdoor Pool 15

- Main Building Entry 16

- Future Traffic Circle 17

- Sidewalks Located on Frontage 18



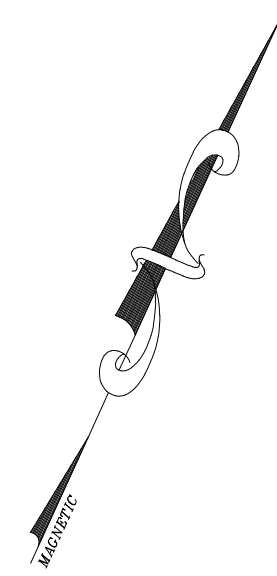
ISSUANCES

Date	Description
03.25.2022	Design Development
07.14.2022	Site Work GMP

CURRENT ZONING: B-3 (Highway Business District)
LOCATED WITHIN THE CDO (Corridor Design Overlay)
PROPOSED ZONING: PCD (Planned Commercial District)
GROSS ACREAGE = 38.19 acres-1,663,556 s.f.
NET ACREAGE = 38.19 acres-1,663,556 s.f.
TOTAL BUILDING AREA = 78,568 s.f.
F.A.R.=0.05

LEGEND

EXISTING FEATURES	---
EXISTING BUILDING	-----
FEATURES	----
BUILDING	=====
PROPERTY LINES	-----
HEAVY DUTY ASPHALT PAVING	=====
8' MULCH WALKING PATH	=====



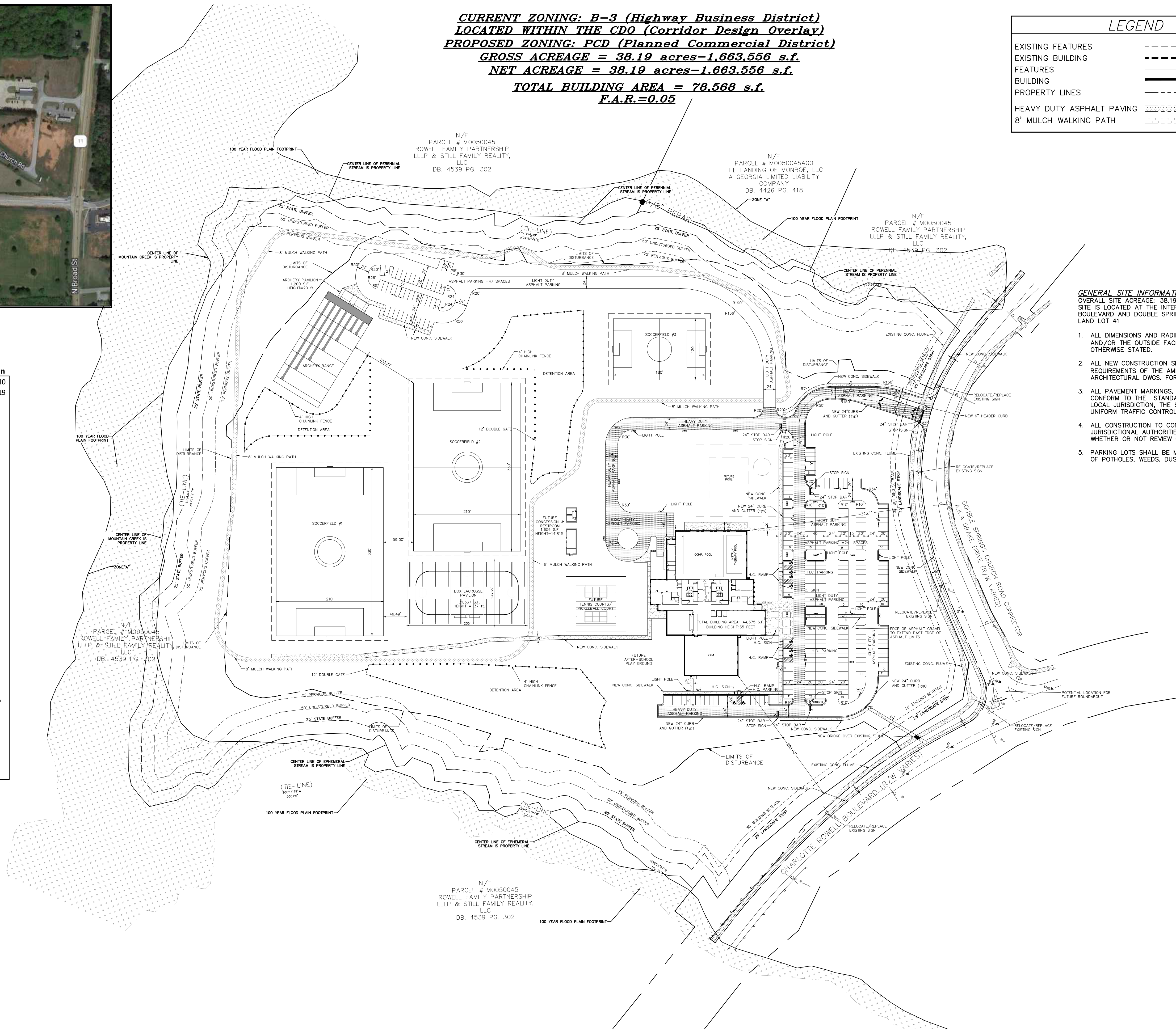
LOCATION MAP

Development Summary Chart

Issue	Shown on Site Plan
Area of Site (s.f.)	1,663,556.40
Area of Site (acres)	38.19
Building s.f.	
YMCA Main Building	44,375 s.f.
Box Lacrosse Pavilion	31,337 s.f.
Archery Pavilion	1,200 s.f.
Fieldhouses	1,656 s.f.
Lot Coverage of Building Area (s.f.)**	78,568 s.f.
Lot Coverage of Building Area (%)	5%
Building Height	
YMCA Main Building	35'
Box Lacrosse Pavilion	37'
Archery Pavilion	20'
Fieldhouses	14'-8"
Lot Coverage	
Pervious Area	1,365,524 s.f.
% Pervious Area	82%
Impervious Area	298,032 s.f.
% Impervious Area	18%
Landscaping	
Total Landscaped Area	1,170,505 s.f.
Buffers	
Stream Protection- 25' State Buffer	25'
Stream Protection- 50' Undisturbed Buffer	50'
Stream Protection- 75' Pervious Buffer	75'
Landscape Strip Abutting Right of Way	25' Landscape Strip
Setbacks	
Building setback from Charlotte Rowell Blvd.	285.60'
Building setback from Double Springs Church Rd. Conn. Front (Charlotte Rowell/ Double Springs Church Road)	323.11'
Side (North and South)	35 ft.
Rear (North and South)	15 ft.
Rear (West)	20 ft.

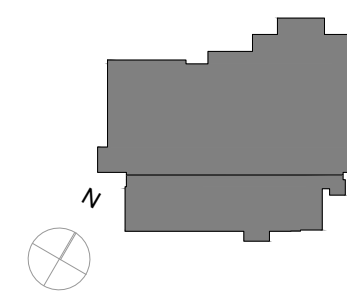
PARKING STATISTICS

USE	PARKING PROVIDED
YMCA Parking	288
TOTAL	288

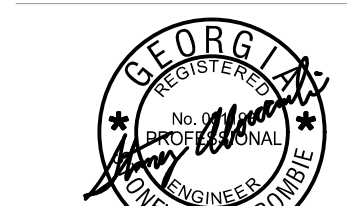


- GENERAL SITE INFORMATION:**
 OVERALL SITE ACREAGE: 38.19 ACRES
 SITE IS LOCATED AT THE INTERSECTION OF CHARLOTTE ROWELL BOULEVARD AND DOUBLE SPRINGS CHURCH ROAD CONNECTOR LAND LOT 41
- ALL DIMENSIONS AND RADII ARE TO/FROM THE FACE OF CURB AND/OR THE OUTSIDE FACE OF THE BUILDING WALL UNLESS OTHERWISE STATED.
 - ALL NEW CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (A.D.A.), SEE ARCHITECTURAL DWGS. FOR STRUCTURE COMPLIANCE.
 - ALL PAVEMENT MARKINGS, STRIPING, AND SIGNAGE SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LOCAL JURISDICTION, THE STATE D.O.T., AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - ALL CONSTRUCTION TO CONFORM TO ALL RELEVANT JURISDICTIONAL AUTHORITIES STANDARDS AND SPECIFICATIONS WHETHER OR NOT REVIEW COMMENTS WERE MADE.
 - PARKING LOTS SHALL BE MAINTAINED IN GOOD CONDITION, FREE OF POTHOLES, WEEDS, DUST, TRASH, AND DEBRIS

KEYPLAN



HAINES GIPSON & ASSOCIATES
 Civil • Structural • Bridge
 1550 North Brown Rd.
 Suite 145
 Lawrenceville, GA 30043



GSWCC: 0000072078
 EXPIRES: 8/22/2023

Manley Spangler Smith Architects
 A Professional Corporation

525 East Taylor St.
 P.O. Box 880
 Griffin, Georgia 30224
 Office 770.227.5473
 Fax 770.228.3442

PROJECT:
WALTON YMCA

CLIENT:
 YMCA of Georgias Piedmont

SHEET TITLE:
ZONING PLAN

© 2022 Manley Spangler Smith Architects, PC
 PROJECT NUMBER: 202118
 DATE: 7/14/2022
 SCALE: AS NOTED
 DRAWN BY: SCA
 CHECKED BY: RCL

SHEET NO.
Z-1.0
 HGA JOB No. 2022-159

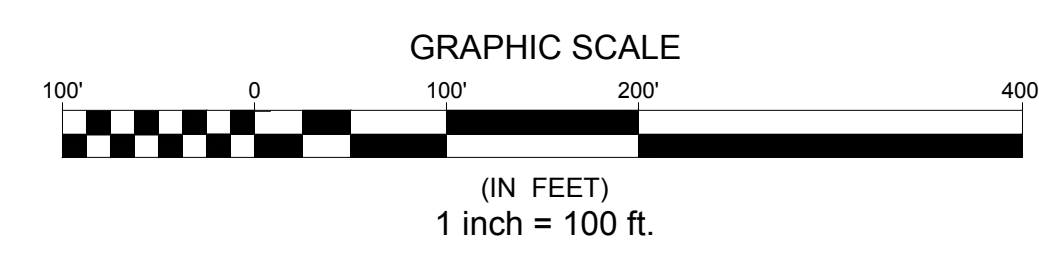


Know what's below.
 Call before you dig.

Dial 811
 Or Call 800-282-7411

THE LOCATION OF ALL UTILITIES (ABOVE OR BELOW GROUND) SHOWN ON THESE DRAWINGS ARE APPROXIMATE & WERE OBTAINED FROM OBSERVATIONS AT THE SITE AND/OR FROM THE UTILITY OWNERS. HAINES GIPSON & ASSOC., INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY OR HIS AGENT AND/OR THE CONTRACTOR TO DETERMINE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE OR BELOW GROUND) & TO NOTIFY UTILITY OWNERS BEFORE BEGINNING ANY CONSTRUCTION.

CAUTION-NOTE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. GA. LAW REQUIRES THE CONTRACTOR TO CALL THE UTILITY PROTECTION CENTER AT LEAST 48 HOURS (BUT NO MORE THAN 10 WORKING DAYS) BEFORE ANY EXCAVATION TO REQUEST FIELD LOCATION OF UTILITIES. LOCATE SERVICES SHALL INCLUDE TRAFFIC SIGNAL AND FIBER OPTIC EQUIPMENT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE RELOCATION OF ALL THE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



Planting list for landscape plan

PLANT MATERIALS LIST				
QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE/HT	NOTES
14	LACEBARK ELM	ULMUS PARVIFOLIA	2.5" CAL. / 10'-12'	MATCHED
7	NUTTALL OAK	QUERCUS NUTTALLII	2.5" CAL. / 10'-12'	30 GAL.
8	SAVANNAH HOLLY	ILEX OPACA 'SAVANNAH'	1½" CAL. / 6'-8'	-
4	'NATCHEZ' CREPE MYRTLE	LAGERSTROEMIA INDICA 'NATCHEZ'	6'-8'	MULTI-TRUNK
*	SOD	BERMUDA HYBRID (TIFT 419)	S.F.	-
*	SEED	BERMUDA	S.F.	-
*CONTRACTOR TO DETERMINE QUANTITY FROM PLANS AND CONSTRUCTED FIELD CONDITIONS.				

Main Facility Elevation Rendering



Walter County YMCA - Patterson Park



Walton County YMCA - Potters Park



Walton County YMCA- Pattern Book



Walton County YMCA - Potters Park



Walton County YMCA - Pattern Book



Walton County YMCA - Patten Park



Walton County YMCA - Pattern Book



Welton County YMCA - Patterson Park



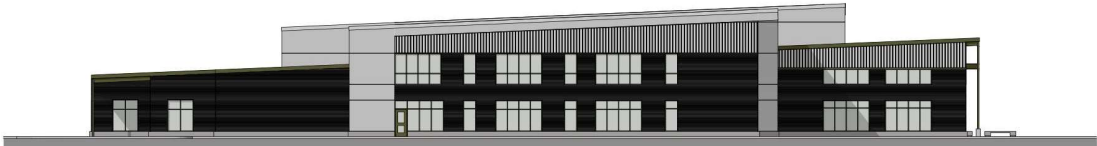
Walton County YMCA- Pattern Book



Walton County YMCA- Pattern Book



East Elevation



South Elevation



West Elevation



North Elevation