



PLANNING COMMISSION

Town Council Chambers, Moncks Corner Municipal
Complex, 118 Carolina Avenue
TUESDAY, FEBRUARY 24, 2026 at 6:00 PM

AGENDA

CALL TO ORDER

APPROVAL OF MINUTES

1. Approval of Minutes for the January 27, 2026 meeting.

NEW BUSINESS

2. Consider a Conditional Zoning Map Amendment (CZ-26-01) request for two (2) parcels (142-08-04-012 and -013) totaling ~5.43 acres, located at 402 Wall Street. The parcels are requesting to be zoned Conditional Zoning - Residential Single Family (CZ R-2).
3. Consider an Zoning Map Amendment (ZA-26-01) request for a parcel (162-00-01-059) totaling ~9.77 acres, located at 1190 Ben Baron Road. The parcel is requesting to be zoned Light Industrial (M-1).
4. Consider an Zoning Map Amendment (ZA-26-02) request for four (4) parcels (142-07-04-011, -012, -014, -032) totaling ~4.19 acres, located at 106 Church Street. The parcels are requesting to be zoned General Commercial (GC).

OLD BUSINESS

5. Consider an amendment to the previously recommended Conditional Zoning (CZ-25-01) Village Square Planned Development. Amendment contains architectural standards for the Planned Development (PD) district to enhance and strengthen the design regulations of the project and previous recommendation from Planning Commission on June 24, 2025.

PLANNER'S COMMENTS

MOVE TO ADJOURN

In accordance with the Americans with Disabilities Act, persons who need accommodation in order to attend or participate in this meeting should contact Town Hall at (843) 719- 7900 within 48 hours prior to the meeting in order to request such assistance.



PLANNING COMMISSION

Town Council Chambers, Moncks Corner Municipal
Complex, 118 Carolina Avenue
TUESDAY, JANUARY 27, 2026, at 6:00 PM

MINUTES

CALL TO ORDER

Meeting called to order at 6:00 p.m.

PRESENT

Chairwoman Charlotte Cruppenink
Commissioner Glen Pipkin
Commissioner Rev. Robin McGhee-Frazier
Commissioner Shanda Phillips
Commissioner Kathleen Prosdocimo
Commissioner Patryce Campbell

STAFF PRESENT

Justin Westbrook, Development Director
Carter France, Planner

ABSENT

Commissioner Drew Ensor

APPROVAL OF MINUTES

1. Approval of Minutes for the meeting October 28, 2025.

Motion made by Commissioner Pipkin to approve the Staff provided October meeting minutes, Seconded by Commissioner Campbell.

Voting Yea: Chairwoman Cruppenink, Commissioner Pipkin, Commissioner McGhee-Frazier, Commissioner Phillips, Commissioner Prosdocimo, Commissioner Campbell.

NEW BUSINESS

2. Consider a Text Amendment (TA-25-01 request to amend Article 7-13 (Architectural Standards) of the Town Zoning Ordinance to modify exterior building material standards.

Mr. Westbrook presented the agenda item.

Commissioner Pipkin asked if the proposed Text Amendment is applicable to residential properties. Mr. Westbrook replied that the proposed Text Amendment is not applicable to residential properties.

Chairwomen Cruppenink asked if the proposed Text Amendment will alter the entire Architectural Standards Section (Section 7-13 of the Zoning Ordinance), or a portion thereof. Mr. Westbrook informed the Chairwomen that the proposed Text Amendment only alters a specific portion of Section 7-13 of the Zoning Ordinance.

Motion made by Commissioner Pipkin to recommend approval for the request as presented by Staff. Second, by Commissioner Campbell.

Voting Yea: Chairwomen Cruppenink, Commissioner Pipkin, Commissioner Phillips, Commissioner Prosdocimo, and Commissioner Campbell, and Commissioner McGhee-Frazier.

3. Consider a Zoning Map Amendment (ZA-25-06) request for a parcel (143-05-00-033) totaling ~2.23 acres, located at 570 Lot B Stoney Landing Road. The parcel is requesting to be zoned Office & Institutional (C-1).

Mr. France presented the agenda item.

Commissioner McGhee-Frazier asked to confirm that if the request was approved, the parcel would not be used for residential purposes. Mr. France confirmed this, if the Zoning Map Amendment request proceeded.

Chairwomen Cruppenink asked if the requested zoning would allow for studio dwellings. Mr. France responded, no residential use type would be permitted within the new zoning district if the request succeeded. Mr. France also noted the parcel's current zoning would allow for a Home Occupation.

Commissioner Campbell asked what the current use on the parcel is. Mr. Westbrook stated the parcel is currently without a use.

Chairwomen Cruppenink asked if the parcel could allow residential and commercial use types. Mr. Westbrook stated if the request succeeded this would not be possible, but if the current zoning remained a dwelling could exist with a business by way of a Home Occupation permit.

Commissioner Campbell asked if a structure exists on the parcel currently. Mr. Westbrook stated, yes. Mr. Westbrook also noted that the applicant had informed Staff that the structure has been used residentially and as a Beauty Salon.

Chairwomen Cruppenink asked if Code Enforcement would enforce the Town's standards regarding appropriate use in relation to the parcel's zoning. Mr. Westbrook confirmed this.

Commissioner Phillips asked if the adjacent parcels are zoned residential. Mr. France responded, stating the parcels on the same side of Stoney Landing Road as the subject parcel are zoned residential, but the parcel directly to the North is zoned general commercial which currently is occupied by a telecommunications facility.

The applicant, Alfreda Doiley of 1016 Red Pine Road Ladson, SC, noted that the property card as it appears on Berkeley County G.I.S. identifies the parcel as residential / commercial. Furthermore, Ms. Doiley's father built the existing structure on the parcel in 1976 and has always been used as a "shop". After Ms. Doiley's mother passed away, they began renting the structure out to be used as a residential dwelling and had an individual living in the structure until the previous year. In the time that followed, the structure was being utilized as commercial and residential interchangeably until the request for a Beauty Salon came in. Ms. Doiley also mentioned her belief that the parcel was rezoned without their knowledge.

Commissioner Pipkin asked to confirm that the parcel has not been occupied within the last 90 days. Mr. Westbrook responded that in conversations with the applicant it has been suggested to Staff that the parcel has not been occupied within the last 90 days.

Commissioner Pipkin asked if the parcel and existing structure would be required to come into compliance with the Town's current commercial standards. Mr. Westbrook responded yes. Ms. Doiley stated that the parcel does have a current use.

Mr. Westbrook stated that a civil-engineered Site Plan would be required, likely requiring additional parking, landscaping, and other standards listed within the Zoning Ordinance. Furthermore, Mr. Westbrook noted the Fire Department and Building Department will need to inspect the existing building for compliance with their applicable standards. It is Mr. Westbrook's professional opinion that required improvements may be costly.

Ms. Doiley asked if they would be allowed to use the property a residential and commercial, and re-emphasized her belief that the parcel was rezoned without their consent. Mr. Westbrook noted that Staff informed the applicant of the possibility to obtain a Home Occupation permit.

Commissioner Phillips asked if there is any individuals dwelling in the structure currently. Ms. Doiley responded, yes. Mr. Westbrook stated that the property owner would have 90 days to reestablish the residential use if vacant, but any commercial use would be required to come into compliance with the Town's current standards.

Chairwomen Cruppenink asked how Staff tracks the number of days to enforce non-conforming standards. Mr. Westbrook responded, stating it is difficult for Staff to track residential uses, but easier for commercial uses. Mr. Westbrook also noted that to his knowledge the parcel has never been rezoned.

Chairwomen Cruppenink asked about the differences in taxes for residential uses and commercial uses. Mr. Westbrook suggested that commercial use taxes are likely higher than residential use taxes.

Commissioner Prosdocimo asked if there is an existing structure on the parcel. Mr. Westbrook responded, yes, but not likely up to commercial standards.

Commissioner Prosdocimo asked if one individual could live within the structure while a different individual ran a business. Mr. Westbrook responded, no it would have to be a family member as outlined in the Town's current ordinances.

Chairwomen Cruppenink asked if the end-user knows that parcel and structure will need to be brought up applicable codes.

Mr. Westbrook stated no as Staff would need to communicate this information with the property owner.

Commissioner McGhee-Frazier asked if the end-user has a desire to move into the structure. Ms. Doiley responded, no.

Commissioner Prosdocimo asked if there are financial consequences to rezoning the parcel to C-1.

Commissioner Phillips asked to confirm that the only way the applicant can do what they seek with the property is by having the same individual living in the structure also operate the business. Mr. Westbrook replied that that was correct.

Commissioner Pipkin asked for a rough estimate of how much commercial development would cost. Mr. Westbrook responded, stating there are too many variables involved to provide an estimate.

Commissioner Prosdocimo asked the applicant if their intent is to rezone the property to only allow commercial use types. Ms. Doiley replied no, the parcel's current zoning is residential / commercial. Mr. Westbrook corrected that the zoning district that Ms. Doiley has described has never existed within the Town.

Ms. Doiley asked why the parcel and past uses are not "grandfathered". Mr. Westbrook stated non-conforming protections are lost after 90 days of vacancy.

Chairwomen Cruppenink informed the applicant that they have the right to withdraw their application at anytime prior to the request's decision made by Town Council at the public hearing.

Chairwomen Cruppenink asked the applicant how many individuals currently occupy the structure. Ms. Doiley stated there is one (1) individual proposed to occupy the structure. Ms. Doiley also reiterated her wish that she was notified when the parcel was rezoned.

Mr. Westbrook noted that the state of South Carolina is very private about changes to property and that the request for a Business License was the trigger for informing the property owner of this information.

Walter Brown of 114 Fennick Drive asked if the parcel was to retain its residential zoning could the occupant remain in the structure living.

Mr. Westbrook responded, stating a Home Occupation is still possible with the parcel's current zoning. The Town needs the business operator to be a permanent resident. In addition, International Residential Code would likely be in effect as well.

Mr. Westbrook informed the applicant that if they wish to withdraw their application, the time is now. Ms. Doiley informed the Planning Commission that they are withdrawing their request.

Mr. Westbrook informed the Planning Commission there is no recommendation to be made at this time.

OLD BUSINESS

PLANNER'S COMMENTS

MOVE TO ADJOURN

Motion made by Commissioner Phillips to adjourn, Seconded by Commissioner Pipkin.

Voting Yea: Chairwomen Cruppenink, Commissioner Pipkin, Commissioner Phillips, Commissioner Prosdocimo, and Commissioner Campbell, and Commissioner McGhee-Frazier.

Meeting was adjourned at 7:27 p.m.

In accordance with the Americans with Disabilities Act, persons who need accommodation in order to attend or participate in this meeting should contact Town Hall at (843) 719- 7900 within 48 hours prior to the meeting in order to request such assistance.

DRAFT



STAFF REPORT

TO: Planning Commission

FROM: Justin Westbrook, Community Development Director

SUBJECT: Zoning Map Amendment (CZ-26-01) – David McNair – Wall Street

DATE: February 24, 2026

Background: The applicant, McNair Design, has applied for a Zoning Map Amendment (CZ-26-01) for two (2) parcels (TMS # 142-08-04-012 & -013) addressed as 402 Wall Street. The applicant is seeking the parcels be zoned **Conditional Zoning – Residential Single Family (CZ-R-2)**.

Existing Zoning: The subject parcels are currently in the **Single Family Residential District (R-2)** Zoning District. Per the Town’s Zoning Ordinance, this zoning district is intended to:

“...as single-family residential areas with detached units with low to medium population densities. Use regulations for the single family districts are identical, but contain two (2) classes of lot width and lot area, and these dimensional differences are intended to be preserved”

	Adjacent Zoning	Adjacent Land Use
North	R-2	Single Family Detached Dwelling
South	M-1	Recreational Complex
East	R-2	VACANT
West	R-2	VACANT

Existing Site Conditions: The subject parcels comprise an approximate total of 5.58 acres, which is currently unoccupied. The parcels appear to have been occupied by a single-family detached structure previously. Per the National Wetlands Inventory map, there do appear to be wetlands delineated on the parcel, predominantly to the south. The subject parcel currently benefits from approximately 305- feet of right-of-way.

Proposed Zoning Request: The applicant has requested to rezone the subject parcels to the **Conditional Zoning – Single Family Residential (CZ R-2)** Zoning District. Per the Town’s Zoning Ordinance, a **Conditional Zoning (CZ)** Zoning District is intended to:

“provide a mechanism for evaluating alternative zoning regulations as well as other Town ordinance elements of the proposed application on its own merit, emphasizing that these provisions are not to be

used to circumvent the intent or use of conventional zoning classifications set forth in this chapter or other applicable variance, waiver or amendment to other ordinances, contrary to state or federal law but to permit innovative and creative design of communities in the Town of Moncks Corner “

Per the Town’s Zoning Ordinance, a Conditional Zoning (CZ) Zoning District is intended:

“as single-family residential areas with detached units with low to medium population densities.”

As with any requested **Conditional Zoning** request, the applicant has worked with Staff to negotiate a density bonus to allow the reduction of minimum required lot size. As such, the applicant is looking for a reduction of lot size from 12,000 square feet, as the required starting point for any **Conditional Zoning** district, down to 6,000 square feet, or a 50% reduction in lot size.

Bonus Type	Bonus	Square Feet
Base Lot Size		12,000
Community Revitalization Fee	10%	1,200
Sidewalk Connectivity	10%	1,800
Type A Bufferyard – Wall Street side	10%	1,200
Additional Open Space Requirements (20%)	10%	1,200
Additional Parking	5%	600
Product Mix (No more than 3 identical floor plans)	5%	600

Previously, the applicant submitted conditions the Planning Commission hear in 2025. That request never went beyond the Planning Commission, as the public and surrounding residents expressed concern about the development. Traffic, number of units and the look and feel of the development were concerns Staff remembers from the meeting in July. The applicant’s request only included one of the two parcels currently up for review, totaling 4.3 acres for development. On that plan, the applicant showed potential ten (10) units, with a request of 42% reduction in lot size, or 6,960 ft². Since the Planning Commission meeting, the applicant has added another parcel to the request, increasing the number of units requested from 11 to 15, but on 5.58 acres instead of the 4.35 acres originally proposed. This doesn’t appear to increase the density much, but may allow for more flexibility for design of the development.

Another development since the July 2025 Planning Commission meeting, the applicant has been working with the residents of the Wall Street community and the applicant has presented a “Neighborhood Revitalization Fee” to be paid to the Grace Impact Development Center. At this time, Staff is unaware of the amount per lot the applicant and neighborhood have agreed to, and have not seen the “agreement” reference in the Applicant’s provided documents. Staff has significant heartburn with the fee for two (2) distinct reasons.

Staff’s primary concern is the Town’s authority in this process as a whole; the neighborhood does not dictate or approve any reduction in lot size. A **Conditional Zoning** district is designed to be negotiated between Staff and the Applicant, with ultimate approval by the Town Council. While it is commendable that the Applicant has engaged so extensively with adjacent residents, the Town Council and Planning Commission should not consider a fee paid directly to residents that the Town has not been a party to in any capacity. Secondly, the name

“Neighborhood Revitalization Fee” has historically been used for a very specific purpose. In the past, the Town Council, Planning Commission, and Staff have agreed to conditions with other developments where a fee—dependent on the number of lots and requested lot size reduction—goes to a Town-controlled fund to benefit areas that have not seen revitalization or financial investment. One area that has seen a lack of development and investment is the Wall Street community. Proposing an in-fill development in such a community, which recently has not seen development of any kind, defeats the purpose of collecting funds to benefit from a lot size reduction. This amounts to "double-dipping" in benefits: they are provided by the Town, negotiated by the local community, and it remains unknown what actual benefits are being paid.

While this project will be subject to “Rule of 5” limiting repeating house plans, the applicant has expressed interest in a “product mix” of not to exceed three (3) if the same floor plan. This will ensure that at least five (5) floor plans are used and help provide variability and a sense of organic growth often seen with older subdivisions. Without this implicitly written, Staff can only assume this is the intention of the “product mix” bonus density.

Density: The subject parcel consists of approximately 5.58 acres. Staff’s estimate is that approximately 11 dwelling units could be reasonably placed on the parcel with the current **Single Family Residential (R-2)** zoning district, allowing down to 8,500 ft² lot sizes. With the more realistic output for dwelling units, the density would amount to approximately 1.97 dwelling units/acre.

The applicant is offering a total of 15 dwelling units on the parcel, with property lots down to 6,000 ft². This results in a 50% reduction in lot size for **R-1**, the basis for any **Conditional Zoning**. With the requested number of dwelling units, the requested density would amount to approximately 2.69 dwelling units/acre. While not an insignificant increase in density, it is in line with recent developments in “old Moncks Corner”, particularly infill development of this kind. It is also more akin to the density currently seen in the Wall Street neighborhood.

During a quick analysis of the density in the Wall Street neighborhood, there are approximately 137 dwelling units in the area, within an approximate 65.2 acres. This results in an approximate density of 2.1 dwelling units/acre.

Transportation: Staff will not require a separate Traffic Impact Analysis (TIA) for the subject parcel for this sized parcel. Staff reserves our right to require a TIA prior to the establishment of the proposed use, per Section 5-9.D.

Environmental: Staff will ensure all environmental concerns are addressed per the Zoning Ordinance, Stormwater Ordinance, and all other Town adopted policies and procedures. Any delineation of, or impact to, wetlands will coincide with the required regulations from the US Army Corps of Engineers, and all wetlands will see a 20-foot buffer. Any increase in impervious area would be required to meet the standards of the Town’s Stormwater Design Standards Manual.

Consistency with Plans: Adopted in 2024 as part of the Town’s Comprehensive Plan, the Future Land Use Map identifies the subject parcel as “Town Character Residential”. The Plan calls for this land use to be designated for:

“Intended to promote and enhance smaller lot, town mixed residential type neighborhoods near the downtown, commercial corridors and transportation nodes. A mixture of densities should be promoted to include single-family houses, duplexes, triplexes, accessory dwelling units (ADUs), and small-scale apartments.”

The requested zoning designation does appear to be congruent with this designation of the Future Land Use Map as the request seeks to add a mixture of densities, in line with the existing surrounding neighborhood. The Wall Street neighborhood does see smaller lot sizes in the immediate vicinity. For example, the Hutchinson Lane development, constructed by Habitat for Humanity, sought and received zoning for 6,800 ft² lots, with this development being across Wall Street from the subject parcel. This is not the only example of smaller, non-conforming lot sizes in the area, as some older parcels have been created with a mere 4,500 ft² lots on Jenkins Street.

The Comprehensive Plan also lays out various goals and implementation strategies to help in decision making for land use requests. Staff believes the applicant and request generally follow the following policies listed in the plan.

3. Maintain a sustainable community by ensuring current infrastructure has the capacity to accommodate for current and future growth.
3. Allow for a range of residential uses to support housing opportunities for residents of all ages and socio-economic statuses.
4. Re-establish the downtown as the focal point of the community by promoting a mixture of residential, commercial and recreational uses

Staff believes that these various goals and implementation strategies are in harmony with the request.

Procedural Issues: As part of any Zoning Map Amendment, the request must be at least two (2) acres, or an extension of an existing district boundary, or additional C-1 zoning contiguous to existing commercial. In this case, although divided by the public right-of-way, the subject parcel is adjacent to the Transitional District (TD) zoning designation which is considered commercial in nature.

Staff Analysis: Staff believes that the designated future land use is consistent with the requested zoning district, however the density bonus credits provided to the Town ultimately fall short of their intention; to create better planned communities by positively benefiting future residents and current residents. While the lot sizes in the area are comparable to the existing neighborhood, the desire to reduce beyond what is allowed by right is not justifiable with regard to the sidewalk connectivity and the assigned bonus amount, the dog park land dedication and lack of improvements to it, and specifically calling out the desire to not use a floor plan in the neighborhood more than two (2) times.

Staff Recommendation: After analysis of the materials provided, Staff recommends denial for the requested **Conditional Zoning – Single Family Residential (CZ R-2)** zoning district designation for the subject parcel. Staff’s recommendation is due to the requested density and lack of justifiable and appropriately portioned density bonuses. With more work by the applicant, and specifically more physical contribution from the applicant to the

Town and its residents, this proposal may be a benefit to the community should more discussions and negotiations turn out a better project to be considered.

Attachments:

- SIGNED - Application (Scott)(20260120)*
- SIGNED – Application (Brown)(20260120)*
- Location Maps (Aerial, Zoning, Future Land Use Map, Environmental)*
- Concept Plan v3 (20260220)*
- Density Bonus v5 (20260220)*



Applicant Information

NAME

Davis McNair

ADDRESS

1206 Pleasant Pines Rd Mt. Pleasant SC 29464

PHONE

18433300296

EMAIL ADDRESS

Property Owner Information

If different than the applicant.

NAME

Jason Scott

PHONE

+1 (520) 331-0883

EMAIL ADDRESS

ADDRESS

1324 Penshell Place Mt. Pleasant SC 29464

Subject Parcel

TMS NUMBER

142-08-04-012

CURRENT ZONING

R-2 Single-Family Residential

REQUESTED ZONING

CZ Conditional Zoning

CURRENT USE OF PROPERTY

Vacant

PROPOSED USE OF PROPERTY

Residential

Has any application involving this property been previously considered by the Moncks Corner Planning Commission or Board of Zoning Appeals? If yes, please state details.

TEXTAREA

yes, this parcel has been previously considered by the Planning Commission. The adjacent parcel is being added to the development which requires us to restart the rezoning parcel.

CONSENT

checked

SIGNATUREA handwritten signature in black ink, appearing to be "D. M. S.", written in a cursive style.**DATE**

01/20/2026



Applicant Information

NAME

Davis McNair

ADDRESS

1206 Pleasant Pines Rd Mt. Pleasant SC 29464

PHONE

18433300296

EMAIL ADDRESS

Property Owner Information

If different than the applicant.

NAME

Howard Brown

PHONE

+1 (843) 607-6108

EMAIL ADDRESS

ADDRESS

923 PO Box Moncks Corner SC 29461

Subject Parcel

TMS NUMBER

142-08-04-013

CURRENT ZONING

R-2 Single-Family Residential

REQUESTED ZONING

CZ Conditional Zoning

CURRENT USE OF PROPERTY

Vacant

PROPOSED USE OF PROPERTY

Residential

Has any application involving this property been previously considered by the Moncks Corner Planning Commission or Board of Zoning Appeals? If yes, please state details.

TEXTAREA

no

CONSENT

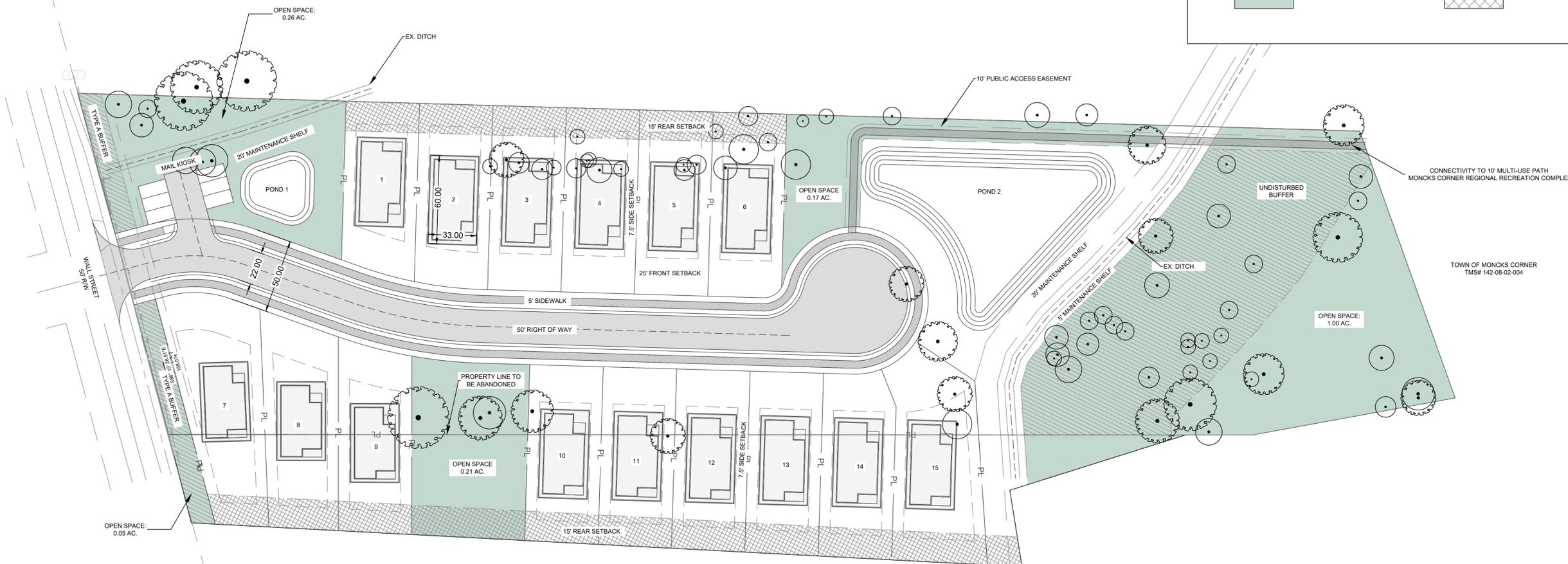
checked

SIGNATUREA handwritten signature in black ink, appearing to be 'D. M.', written over a light gray background.**DATE**

01/20/2026

TRACT 6
 NOW OR FORMERLY
 O ALLEN GETHERS PROPERTIES LLC
 TMS# 142-08-04-011
 DEED BK 7498 PG 210
 PLAT BK C PG 151

SHELBY MCCULLOUGH
 TMS# 142-08-04-014



HATCH LEGEND

	CONCRETE SIDEWALK		CONCRETE DRIVEWAY
	BUFFER		PAVEMENT
	OPEN SPACE (PASSIVE & ACTIVE)		DRAINAGE EASEMENT

McNair
 Design & Development

MCNAIR.DESIGN.DEVELOPMENT@GMAIL.COM
 843-330-0296



402 WALL STREET

MONCKS CORNER, SC 29461

TMS#: 142-08-04-012, 142-08-04-013

REVISION HISTORY

1. XX/XX/XX	
DRAWN BY:	DEM
DATE:	02/20/25
JOB #:	TBD

SITE PLAN

C-5.0

SITE INFORMATION

- TMS# 142-08-04-012 , 142-08-04-013
- ACREAGE:
 4.35 ACRES
 1.23 ACRES
 5.58 ACRES
- ZONING: TOWN OF MONCKS CORNER - R-2

LOT SUMMARY:

- UNITS: 15 (50' X 120')
- PROPOSED DENSITY: 2.69 UNITS/ACRE

R-2 LOT REQUIREMENTS:

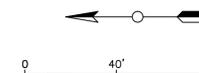
- MAX DENSITY: 5 UNITS/ACRE
- MIN LOT AREA: 8,500 SF
- MIN. 70' WIDTH
- FRONT SETBACK: 25'
- SIDE SETBACK: 10'
- REAR SETBACK: 15'
- MAX . LOT COVERAGE: 30%

CONDITIONAL REZONING:

- MAX DENSITY: 5 UNITS/ACRE
- MIN LOT AREA: 6,000 SF
- MIN. 40' WIDTH
- FRONT SETBACK: 25'
- SIDE SETBACK: 7.5'
- REAR SETBACK: 15'
- MAX . LOT COVERAGE: 50%

OPEN SPACE CALCULATIONS:

- REQUIRED OPEN SPACE: 13% (0.73 AC.)
 - DENSITY BONUS INCENTIVE: 20% (1.12 AC)
- * OPEN SPACE LOCATIONS AND TOTAL ACREAGE IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.





Mount Pleasant, SC | (843) 330-0296 | demcnair@mcnairdesigndevelopment.com

Date: 01/28/25

Wall Street
Moncks Corner, SC 29461
TMS#: 142-08-04-012 & 142-08-04-013

Density Bonus Request Letter

Project Information:

The subject property is approximately 4.35 acres of real property located at or around 402 Wall Street in Moncks Corner, Berkeley County, South Carolina bearing TMS Number 142-08-04-012; and (2) approximately 1.23 acres of real property located at or around Wall Street in Moncks Corner, Berkeley County, South Carolina bearing TMS Number 142-08-04-013 (collectively the "Property"). The property is currently zoned R-2, a single-family residential district with a minimum lot size of 8,500 SF and maximum density of 5 units per acre. Theoretically the by right zoning would allow 27 residential lots, however the width of the property creates a hardship, greatly impacting the potential density.

The Site's proximity to Main Street and Berkeley Middle School, and easy access to Hwy 52 supports a residential subdivision. As this site is adjacent to Moncks Corner Regional Recreation Complex, there is also an opportunity to provide sidewalk connectivity from Wall Street to Main Street.

If the property is developed by-right (R-2), it would yield +/-11 lots. The Conditional Zoning request would result in +/-15 lots. The Conditional Rezoning approval would require the Development to provide the following improvements, that otherwise could not be required by the Town:

- Require all homes to be made of high quality Hardie plank siding
- Require sidewalks along any new roadways, and Wall Street in front of the development
- Streetlights along any new roadways
- Decorative Street Signs along any new roadways
- Connect sidewalk from the existing neighborhood through the development to the Town's Recreational Complex
- Provide a buffer from the development along Wall Street
- Additional parking to help discourage street parking in the new development
- Provide a healthy product mix, to ensure all the houses in the development do not look the same

Community Coordination:

In addition, we worked closely with the Wall Street Community to ensure their involvement in the rezoning process. To address the community's questions and concerns, a community meeting was hosted at the Hope Impact Center. This opportunity allowed us to engage directly with the neighbors and learn about the historical significance of this community and area.

We have continued to meet with the community leaders and representatives (Tory Liferidge, Shelah Durant) to finalize an "Agreement for Residential Lot Development and Neighborhood Revitalization Fee." In exchange for Community Partner's support, the Developer shall pay "The Grace Impact Development Center" a Neighborhood Revitalization Fee that is assessed per lot. The Neighborhood Revitalization Fee shall be payable to Community Partner at the time of Plat Acceptance and Recordation.

McNair
Design & Development

Mount Pleasant, SC | (843) 330-0296 | demcnair@mcnairdesigndevelopment.com

The Grace Impact Development Center was established “to create, organize, incubate and fund programming in the areas of affordable housing, workforce development, health and education for at-risk populations throughout Berkeley County, SC.” (<https://graceimpacts1.org/about-us/>). One of the organization’s first ventures was a partnership with HFHBC and the Wall Street Community Association to build Community’s Hope Impact Centre (CHIC).

Density Bonus Incentives:

The proposed development seeks a density bonus by providing the following:

Density Bonus Incentives		
Bonus Type	Bonus	Square Feet
Base Lot Size		12,000
Community Revitalization Fee	10%	1,200
Sidewalk Connectivity	10%	1,200
Type A Buffer on Wall Street	10%	1,200
Open Space Requirements (20%)	10%	1,200
Add. Parking	5%	600
Product Mix (No more than 3 identical floorplans)	5%	600
	New Min. Lot Size	6,000

The rezoning request is scheduled for February 24th, 2026, Planning Commission. McNair Design & Development LLC looks forward to working with the Town of Moncks Corner on this project. Should you have any questions or need additional information, please email demcnair@mcnairdesigndevelopment.com

McNair Design & Development, LLC

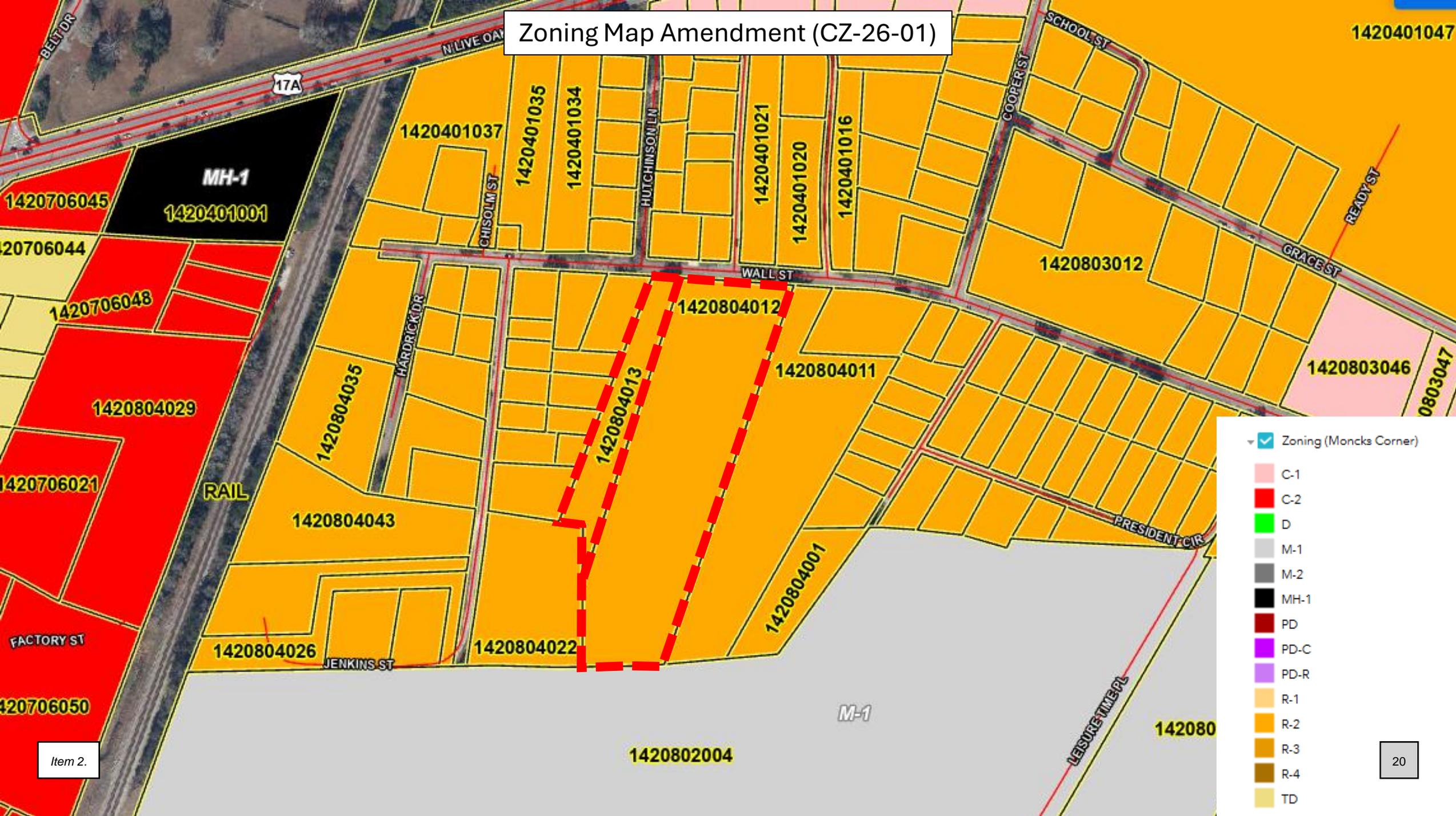
Davis McNair, PE
Principal
Demcnair@mcnairdesigndevelopment.com
843-330-0296

Zoning Map Amendment (CZ-26-01)



Item 2.

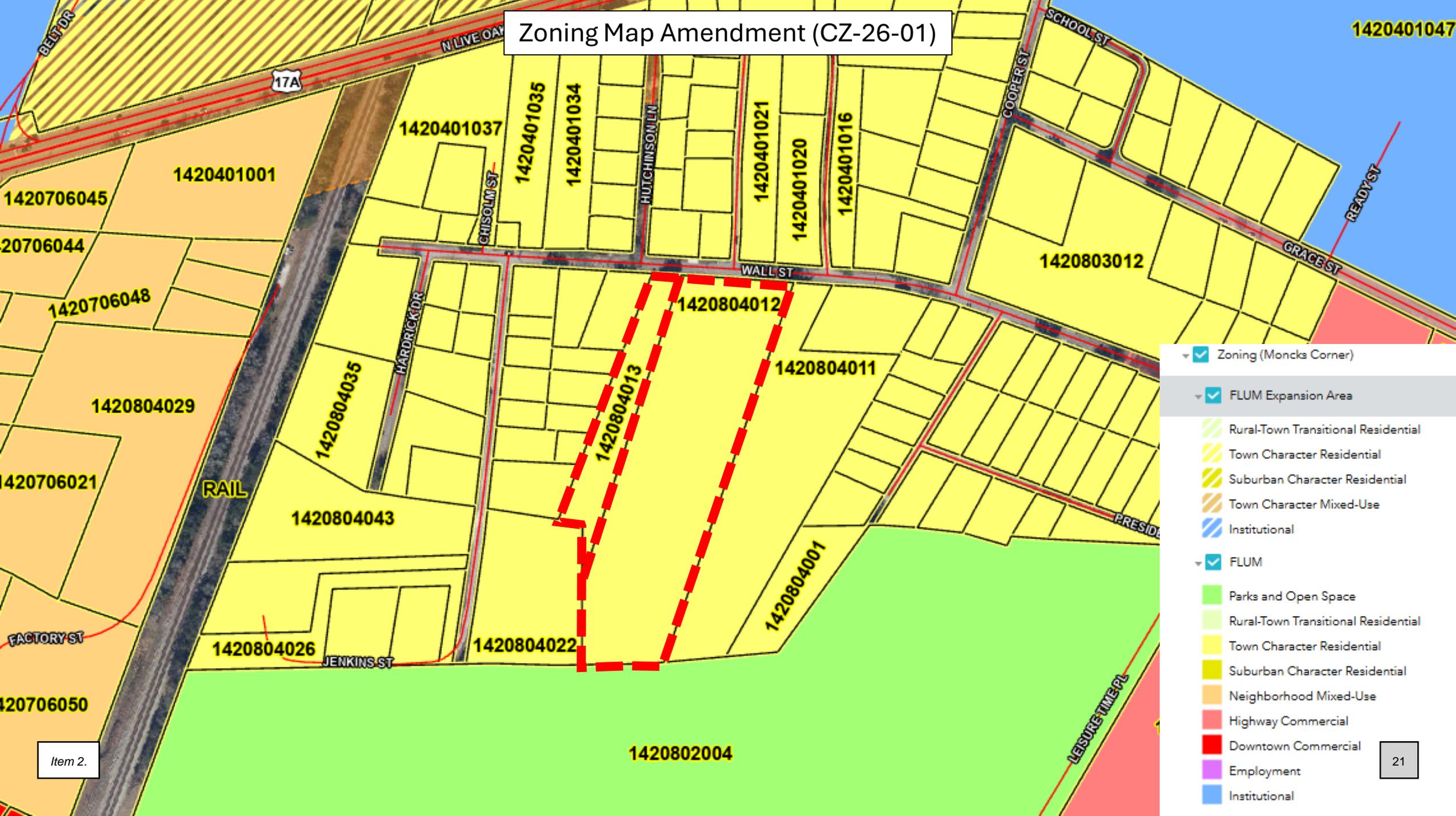
Zoning Map Amendment (CZ-26-01)



Item 2.

Zoning Map Amendment (CZ-26-01)

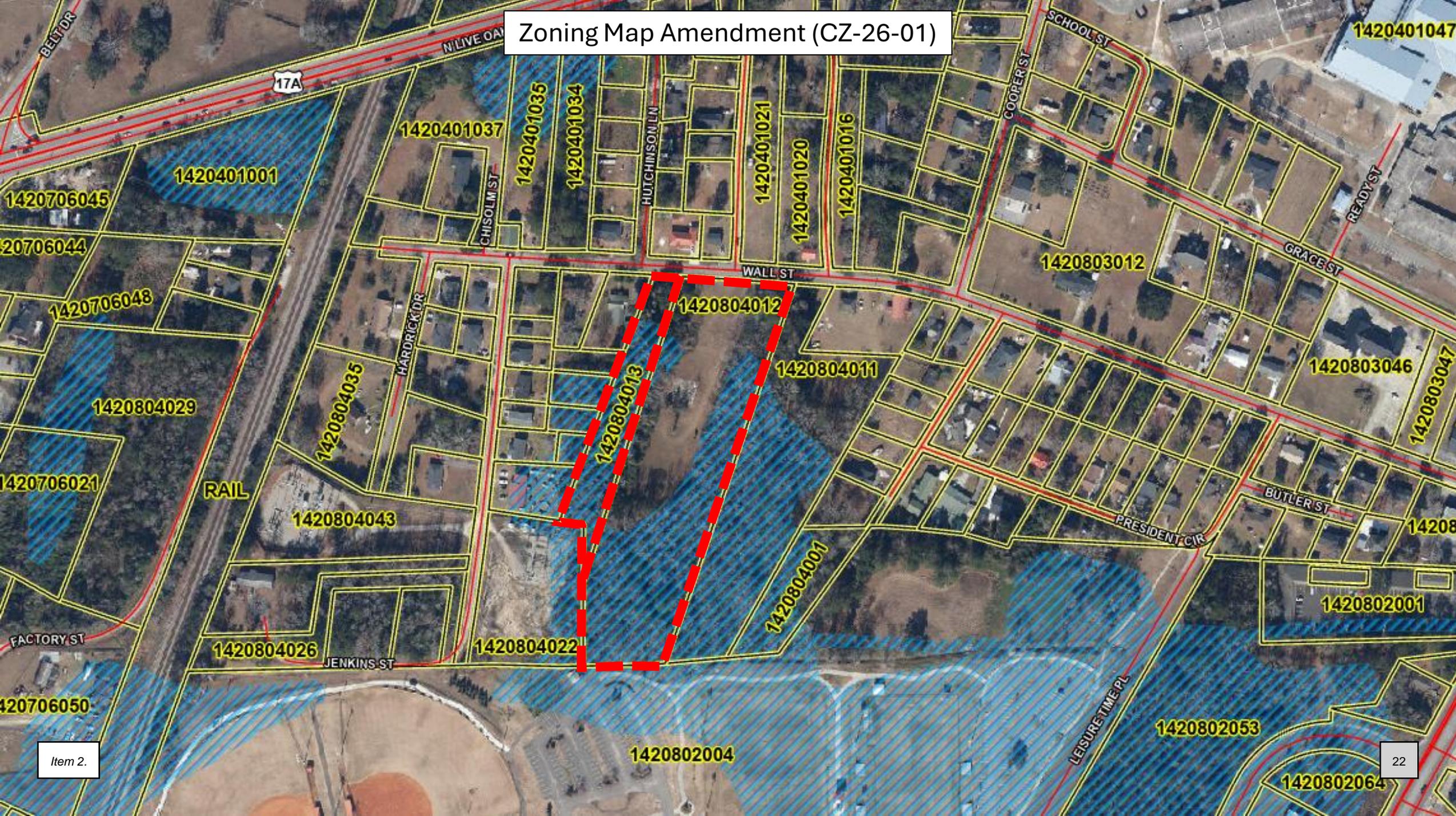
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- Zoning (Moncks Corner)
- FLUM Expansion Area
 - Rural-Town Transitional Residential
 - Town Character Residential
 - Suburban Character Residential
 - Town Character Mixed-Use
 - Institutional
- FLUM
 - Parks and Open Space
 - Rural-Town Transitional Residential
 - Town Character Residential
 - Suburban Character Residential
 - Neighborhood Mixed-Use
 - Highway Commercial
 - Downtown Commercial
 - Employment
 - Institutional

Item 2.

Zoning Map Amendment (CZ-26-01)



Item 2.



STAFF REPORT

TO: Planning Commission
FROM: Carter France, Planner
SUBJECT: Zoning Map Amendment (ZA-26-01) – Devin Terrill
DATE: February 24, 2026

Background: The applicant, Devin Terrill of the Paragon Investment group, has applied for a Zoning Map Amendment (ZA-26-01) for the parcel (TMS # 162-00-01-059) addressed as 1190 Ben Barron Lane. The applicant is seeking the parcel to be zoned **Industrial Park (M-2)**.

Existing Zoning: The subject parcel is currently in the **Planned Development (PD-R)** Zoning District. Per the Town’s Zoning Ordinance, this zoning district is intended to promote:

“...the development of various types of flexible, negotiated developments under master plans, where the traditional density, bulk, spacing and use regulations of other zoning designations, which may be useful in protecting the character of substantially developed areas, may impose inappropriate and unduly rigid restrictions upon the development of parcels or areas which lend themselves to a unified, planned approach. Negotiated developments are intended to promote flexibility in site planning and structure location, to facilitate the provision of utilities and circulation systems, the mixture of uses, as well as to preserve the natural and scenic features of the parcel.”

	Adjacent Zoning	Adjacent Land Use
North	Heavy Industrial (HI)(Berkeley County)	Undeveloped
South	Light Industrial (M-1)	Undeveloped
East	Planned Development (PD-R)	Undeveloped
	Heavy Industrial (HI) (Berkeley County)	Industrial Equipment Supplier Office Facility
West	M-2	Concrete Mixing Facility

Existing Site Conditions: The subject parcel comprises of approximately 9.77 acres, which appears to be occupied by a scrap yard use. Per the National Wetlands Inventory map, there appears to be delineated wetlands that encroach upon the subject parcel, specifically to the side property lines of the parcel. The subject parcel fronts Ben Barron Lane, with approximately 371 feet of road frontage.

Proposed Zoning Request: The applicant has requested to rezone the subject parcel to the **Industrial Park (M-2)** Zoning District. Per the Town’s Zoning Ordinance, the **Industrial Park (M-2)** Zoning District is intended to:

“accommodate areas planned and developed as industrial parks which provide an area conducive to the development and protection of modern administrative facilities, research and development centers, specialized manufacturing facilities, and similar enterprises characterized by landscaped campus-like settings “

With proximity to multiple existing industrial use types, and undeveloped industrially zoned parcels, the proposed zoning district and associated uses fit in the current character of the adjacent properties zoning designations and respective uses.

Density: The subject parcel consists of approximately 9.77 acres. Per the Zoning Ordinance, the maximum lot coverage for the **Industrial Park (M-2)** zoning district is unknown to Staff, as the Zoning Ordinance does not specifically mention dimensional standards for that district. Staff regulates this zoning district under the dimensional standards set forth for the **Light Industrial (M-1)** zoning district, which permits a maximum lot coverage of 60%. Any tenant that would reestablish a similar use without modifying the footprint of the buildings, may be deemed nonconforming and subject to the Town’s standards per Section 5-2. Any change of use or change in the building footprint, to include a complete demolition and new construction, would be required to meet the maximum lot coverage prescribed for the **M-2** zoning district.

Transportation: Staff will not require a separate Traffic Impact Analysis (TIA) for the subject parcel at this time as the current use is already existing. Should a more intensive use propose to establish on this property after the zoning has been amended to **Industrial Park (M-2)**, Staff reserves our right to require a TIA prior to the establishment of the proposed use, per Section 5-9.D of the Zoning Ordinance.

Environmental: Staff will ensure all environmental concerns are addressed per the Zoning Ordinance, Stormwater Ordinance, and all other Town adopted policies and procedures. As the property currently is developed, any tenant that would alter the existing structures or infrastructure without increasing impervious area on the parcel, may be deemed nonconforming and subject to the Town’s standards per Section 5-2. Any increase in impervious area would be required to meet the standards of the Town’s Stormwater Design Standards Manual.

Consistency with Plans: Carried over from the 2017 Comprehensive Plan, the 2024 Comprehensive Plan’s Future Land Use Map identifies the subject parcel as “Employment”. The Plan calls for this land use to be designated for:

“...designated centers for development of large scale (non-retail) commercial and industrial uses occupied by a major employer or a concentration of multiple employers with a mix of supporting or ancillary uses. Clustering of buildings in employment centers is preferred to preserve open space within the development site. Employment areas may also be developed with large labor intensive industrial and commercial uses

that produce noxious externalities. Where new development is proposed in an employment area with a more intensive use, sites should be large enough to include buffers. While not conducive to mixed-use developments, less intensive industrial or more intensive commercial uses, and supportive uses may be co-located within employment areas.”

The requested zoning designation does appear to be congruent with this designation of the Future Land Use Map as the **Industrial Park (M-2)** zoning district would permit a large variety of industrial use types which would typically employ a substantial number of individuals.

The Comprehensive Plan also lays out various goals and implementation strategies to help in decision making for land use requests. Staff believe the applicant and request generally follow the following policies listed in the plan.

3. Enhance economic opportunities by improving the retention of businesses and encouraging a range of uses and services.

Staff does not believe that any of the various goals and implementation strategies are in conflict with the request.

Procedural Issues: As part of any Zoning Map Amendment, the request must be at least two (2) acres, or an extension of an existing district boundary, or additional C-1 zoning contiguous to existing commercial. In this case, the subject parcel is adjacent to the **Industrial Park (M-2)** zoning designation. In addition, the parcel in question appears to be well over two (2) acres in size allowing **Industrial Park (M-2)** to be a permissible request.

Staff Analysis: Staff believes that the designated future land is consistent with the requested zoning district, as the “Employment” designation promotes industrial use-types that are major employment generators. The inclusion of one (1) of the implementation strategies of the Comprehensive Plan lends credence to the requested zoning district.

Staff Recommendation: After analysis of the materials provided to Staff, the current zoning and proposed zoning impacts to the surrounding neighborhood, and the request’s compatibility with the Town’s Comprehensive Plan, Staff recommends the Planning Commission approves the proposal for the requested **Industrial Park (M-2)** zoning designation for the subject parcel. Staff’s recommendation is due to the request’s compatibility with the Future Land Use Map, and recognizable alignment with some of the goals & implementation strategies of the 2024 Comprehensive Plan.

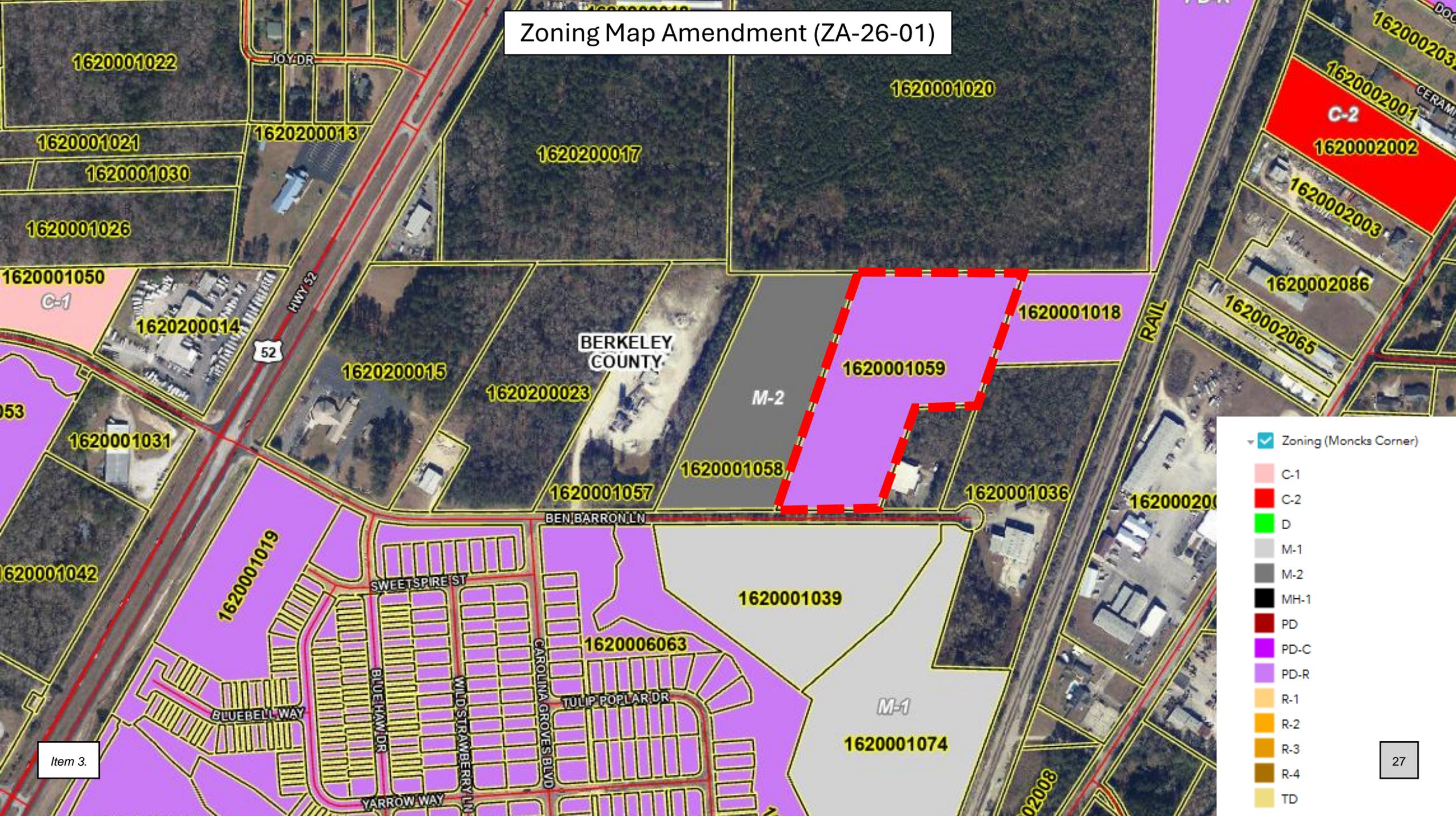
*Attachments: SIGNED - Application (Paragon)(20260108)
 Location Maps (Aerial, Zoning, Future Land Use Map, Environmental)*

Zoning Map Amendment (ZA-26-01)



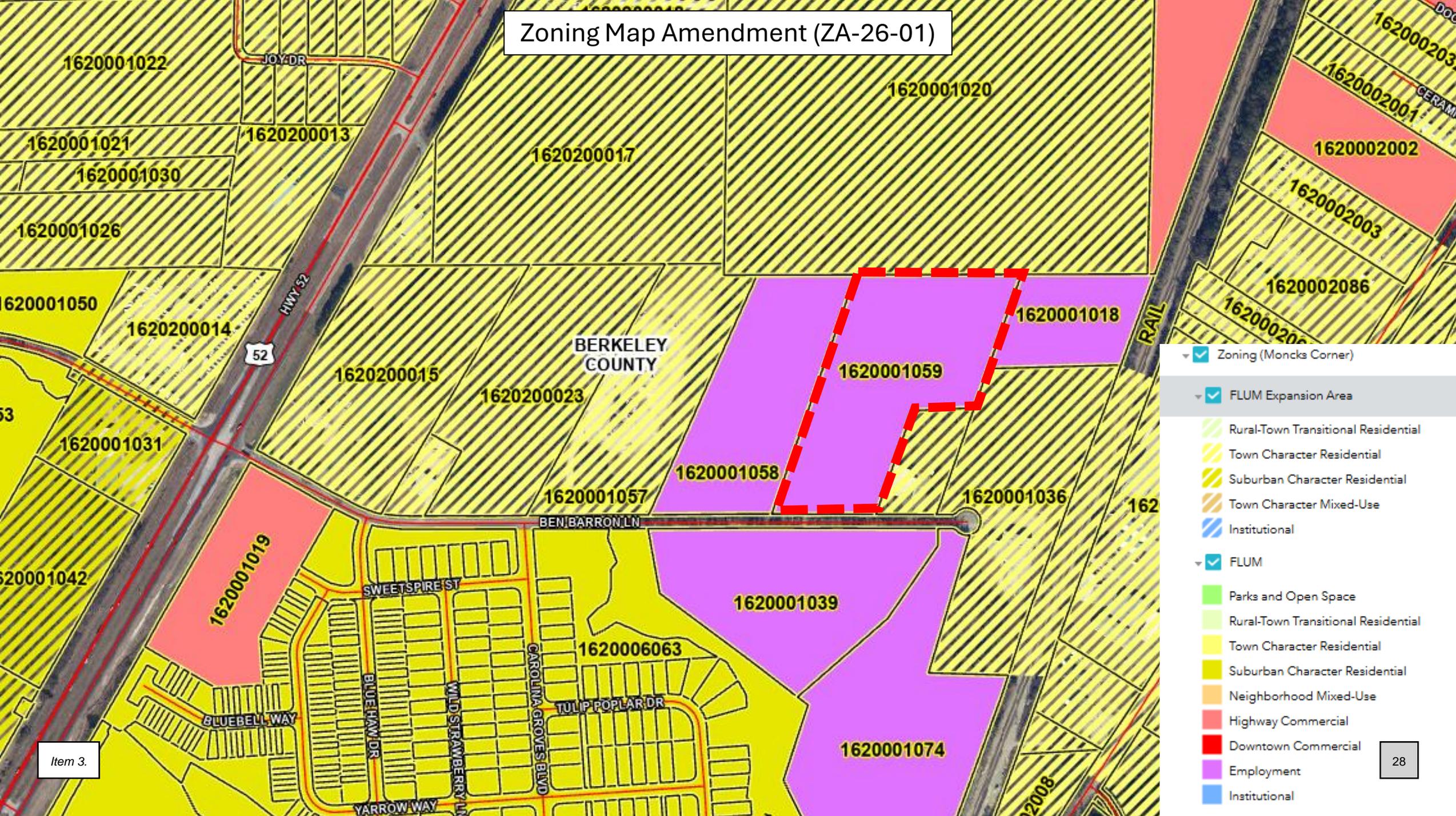
Item 3.

Zoning Map Amendment (ZA-26-01)



Item 3.

Zoning Map Amendment (ZA-26-01)



Item 3.



REZONING APPLICATION
Moncks Corner Community Development

**MONCKS
CORNER**
The Lowcountry's Hometown

Applicant Information

Name: Devin Terrill Address: 165 Sabb Dr Ridgeville, SC 29472

Phone: 843-261-3448 E-Mail: _____

Property Owner Information (If Different)

Name: Paragon Investment Group LLC Address: 2721 W 5th North Street, Summerville SC 29483

Phone: 843-821-9797 E-Mail: _____

TMS #: 162-00-01-018 162-00-01-059 Address: 1190 Ben Barron Lane, Moncks Corner

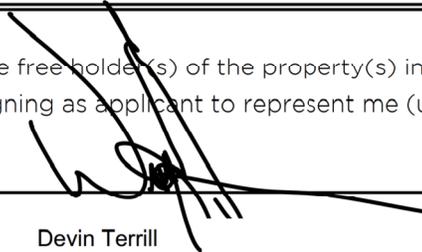
Current Zoning: PD-R Requested Zoning: M-2

Current Use of Property: Scrap Yard/ metal recycling

Proposed Use of Property: Scrap Yard/ metal recycling

Has any application involving this property been previously considered by the Moncks Corner Planning Commission or Board of Zoning Appeals? If yes, please state details.

I (we) certify that I (we) are the free holder(s) of the property(s) involved in this application and further that I (we) designate the person signing as applicant to represent me (us) in this rezoning.

Owner's Signature:  Date: 1/8/26

Applicant's Signature: Devin Terrill Date: 1/8/2026

For Official Use Only

Received: _____ Property Posted: _____

Receipt #: _____ Hearing: _____

Advertised: _____ Approved: _____



STAFF REPORT

TO: Planning Commission
FROM: Carter France, Planner
SUBJECT: Zoning Map Amendment (ZA-26-02) – Moncks Corner United Methodist Church
DATE: February 24, 2026

Background: The applicant, Guy Purvis on behalf of Moncks Corner United Methodist Church, has applied for a Zoning Map Amendment (ZA-26-02) for parcels (TMS # 142-07-04-032, -11, -12, -14) addressed as 106 Church Street, 109 Church Street, and 106 N Live Oak Drive. The applicant is seeking the parcel to be zoned **General Commercial (C-2)**.

Existing Zoning: The subject parcel is currently in the **Transitional (TD)** Zoning District. Per the Town’s Zoning Ordinance, this zoning district is intended to promote:

“...commercial and professional offices uses typically found in single family areas. District land uses will preserve the area’s existing residential character, while permitting commercial uses that are not major traffic generators. Buildings originally constructed for residential use may be used as such by right. Such buildings may be converted to commercial use as detailed below.”

	Adjacent Zoning	Adjacent Land Use
North	C-1	Undeveloped
		Salon
	C-2	Medical Facility (<i>under construction</i>)
South	TD	Church
East	TD	Single Family Detached Dwelling
		Single Family Detached Dwelling
West	C-2	Grocery Store (Piggly Wiggly)

Existing Site Conditions: The subject parcels together comprise of approximately 4.19 acres, which appear to be occupied by a church, support infrastructure (parking lot), and undeveloped areas. Per the National Wetlands Inventory map, no delineated wetlands encroach upon the subject parcels. The subject parcels front N Live Oak Drive, with approximately 673 feet of road frontage and an additional 903-feet of frontage along Church Street.

Proposed Zoning Request: The applicant has requested to rezone the subject parcel to the **General Commercial (C-2)** Zoning District. Per the Town’s Zoning Ordinance, the **Office & Institutional (C-2)** Zoning District is intended to:

“accommodate a variety of general commercial and nonresidential uses characterized primarily by retail, office and service establishments and oriented primarily to major traffic arteries or extensive areas of predominately commercial usage and characteristics. Certain related structures and uses are permitted outright or are permissible as special exceptions subject to the restrictions and requirements intended to best fulfill the intent of this ordinance “

Staff is generally in support of increasing commercially zoned land along a corridor that is rapidly transforming into a heavily traversed throughfare (Live Oak Drive). With proximity to multiple existing commercial use types, and undeveloped commercially zoned parcels, the proposed zoning district and associated uses fit in the current character of the existing properties along the N Live Oak Drive corridor, and mesh nicely with the intent of the **C-2** zoning district mentioned above.

Density: The subject parcels consist of approximately 4.19 acres. Per the Zoning Ordinance, the maximum lot coverage for **Office & Institutional (C-2)** zoning district is 60%. It is possible, but unknown to Staff, if the existing structures on the subject-parcel exceed that standard. As the properties currently host a church and parking lot, any tenant that would reestablish a similar use without modifying the footprint of the building, may be deemed nonconforming and subject to the Town’s standards per Section 5-2. Any change of use or change in the building footprint, to include a complete demolition and new construction, would be required to meet the maximum lot coverage prescribed for the **C-2** zoning district.

Transportation: Staff will not require a separate Traffic Impact Analysis (TIA) for the subject parcel at this time as the current use is already existing. Should a more intensive use propose to establish on the properties after the zoning has been amended to **General Commercial (C-2)**, Staff reserves our right to require a TIA prior to the establishment of any proposed use, per Section 5-9.D of the Zoning Ordinance.

Environmental: Staff will ensure all environmental concerns are addressed per the Zoning Ordinance, Stormwater Ordinance, and all other Town adopted policies and procedures. As the property currently is developed, any tenant that would alter the existing structures and other infrastructure without increasing impervious area on the parcel, may be deemed nonconforming and subject to the Town’s standards per Section 5-2 of the Zoning Ordinance. Any increase in impervious area would be required to meet the standards of the Town’s Stormwater Design Standards Manual.

Consistency with Plans: Adopted in 2024 as part of the Town’s Comprehensive Plan, the Future Land Use Map identifies the subject parcel as “Neighborhood Mixed-Use”. The Plan calls for this land use to be designated for:

“Intended to provide small-scale neighborhood level services to the adjacent neighborhoods. Commercial-residential mixed uses are encouraged. Typically located along heavily traveled roadways, may act as a transition between higher intensity commercial corridors and residential neighborhoods. This area should have a strong focus around form-based zoning and high-quality design elements.”

The requested zoning district does appear to be congruent with this designation of the Future Land Use Map as the **General Commercial (C-2)** zoning district would permit a large variety of commercial use types by-right which the “Neighborhood Mixed-Use” designation promotes as seen in the definition above. Furthermore, most of the subject parcels front N Live Oak Drive, which Staff considers a heavily traversed commercial corridor.

All the subject parcels, but one (TMS # 142-07-04-014) appear to be within the aforementioned “Mixed Use Overlay”, which the Plan defines as:

“A 250 ft mixed-use buffer (500 ft in total width) along select roadways is intended to allow for a mixture of higher density residential and low intensity service-based commercial land uses. This overlay provides flexibility for the Town to expand economic opportunities beyond the traditional downtown or strip mall type commercial corridors. Common commercial uses could include professional or medical offices, salons, corner stores, and other uses that provide daily services to local residents. Prime examples of a Neighborhood Mixed Use Corridor are along Broughton Rd and Carolina Ave. Corridors, like these, have formed naturally by the pressures and demands of a growing economy. This Overlay also encourages higher density residential units such as du-tri- or quadruplexes, townhomes, condos and multi-family apartments to be located on or adjacent to these commercial businesses.”

The primary intent behind the above-mentioned overlay is to expand economic opportunities within the Town’s corporate limits. By rezoning the subject parcels **General Commercial (C-2)**, the Town’s economic opportunities are expanded as the **C-2** zoning district allows for a larger variety of by-right commercial uses than what is otherwise permitted by-right in the **Transitional (TD)** zoning district.

The Comprehensive Plan also lays out various goals and implementation strategies to help in decision making for land use requests. Staff believe the applicant and request generally follow the following policies listed in the plan.

3. Enhance economic opportunities by improving the retention of businesses and encouraging a range of uses and services.
4. Re-establish the downtown as the focal point of the community by promoting a mixture of residential, commercial, and recreational uses.

Staff does not believe that any of the various goals and implementation strategies are in conflict with the request.

Procedural Issues: As part of any Zoning Map Amendment, the request must be at least two (2) acres, or an extension of an existing district boundary, or additional C-1 zoning contiguous to existing commercial. In this case, although divided by the public right-of-way, the subject parcels are adjacent to the **General Commercial (C-2)** zoning designation which exclusively permits commercial use types by-right. The parcels in question appear to be over two (2) acres in size when combined, and adjacent to existing parcels zoned **C-2** allowing **General Commercial (C-2)** to be a permissible request.

Staff Analysis: Staff believes that the designated future land is consistent with the requested zoning district, as both the “Neighborhood Mixed-Use” designation and “Mixed-Use Overlay” promote commercial use-types

along heavily traversed roadways (N Live Oak Drive) and transforming corridors (Church Street). The inclusion of two (2) of the implementation strategies of the Comprehensive Plan also lends credence to the requested zoning district.

Staff Recommendation: After analysis of the materials provided to Staff, the current zoning and proposed zoning impacts to the surrounding neighborhood, and the request's compatibility with the Town's Comprehensive Plan, Staff recommends the Planning Commission approves the proposal for the requested **General Commercial (C-2)** zoning designation for the subject parcels. Staff's recommendation is due to the request's compatibility with the Future Land Use Map, and recognizable alignment with some of the goals & implementation strategies of the 2024 Comprehensive Plan, and the fact that N Live Oak Drive has become a heavily traversed commercial corridor.

*Attachments: SIGNED - Application (Guy Purvis)(20260211)
 Location Maps (Aerial, Zoning, Future Land Use Map)*



REZONING APPLICATION
Moncks Corner Community Development

MONCKS CORNER
The Lowcountry's Hometown

Applicant Information

Name: Guy Purvis Address: 618 Haldebrand Dr, Bonneau SC 29431
Phone: 843-822-6112 E-Mail: _____

Property Owner Information (If Different)

Name: Moncks Corner United Methodist Church Address: 106 Church St.

Phone: 843-761-8547 E-Mail: _____

TMS #: 1420704012 Address: 106 Church St.

Current Zoning: TD C2

Current Use of Property: Parking Lot ; Church

Proposed Use of Property: Parking Lot with Sign

Has any application involving this property been previously considered by the Moncks Corner Planning Commission or Board of Zoning Appeals? If yes, please state details.

NO

I (we) certify that I (we) are the free holder(s) of the property(s) involved in this application and further that I (we) designate the person signing as applicant to represent me (us) in this rezoning.

Owner's Signature: Guy C Purvis Trustee Date: 1/20/26

Applicant's Signature: Guy C Purvis Date: 1/26/26

For Official Use Only

Guy C Purvis Trustee
2/11/26

Received: _____ Property Posted: _____
Receipt #: _____ Hearing: _____
Advised: _____ Approved: _____

1420704032
- 044
- 011
- 014
- 045

142-07-04-011
142-07-04-012
142-07-04-014
142-07-04-032

Town of Moncks Corner
Community Development Department



Berkeley County GIS Department
 P.O. Box 6122
 Moncks Corner, SC 29461
 (843) 719-4049
<http://gis.berkeleycountysc.gov>
 Date: 2/4/2026



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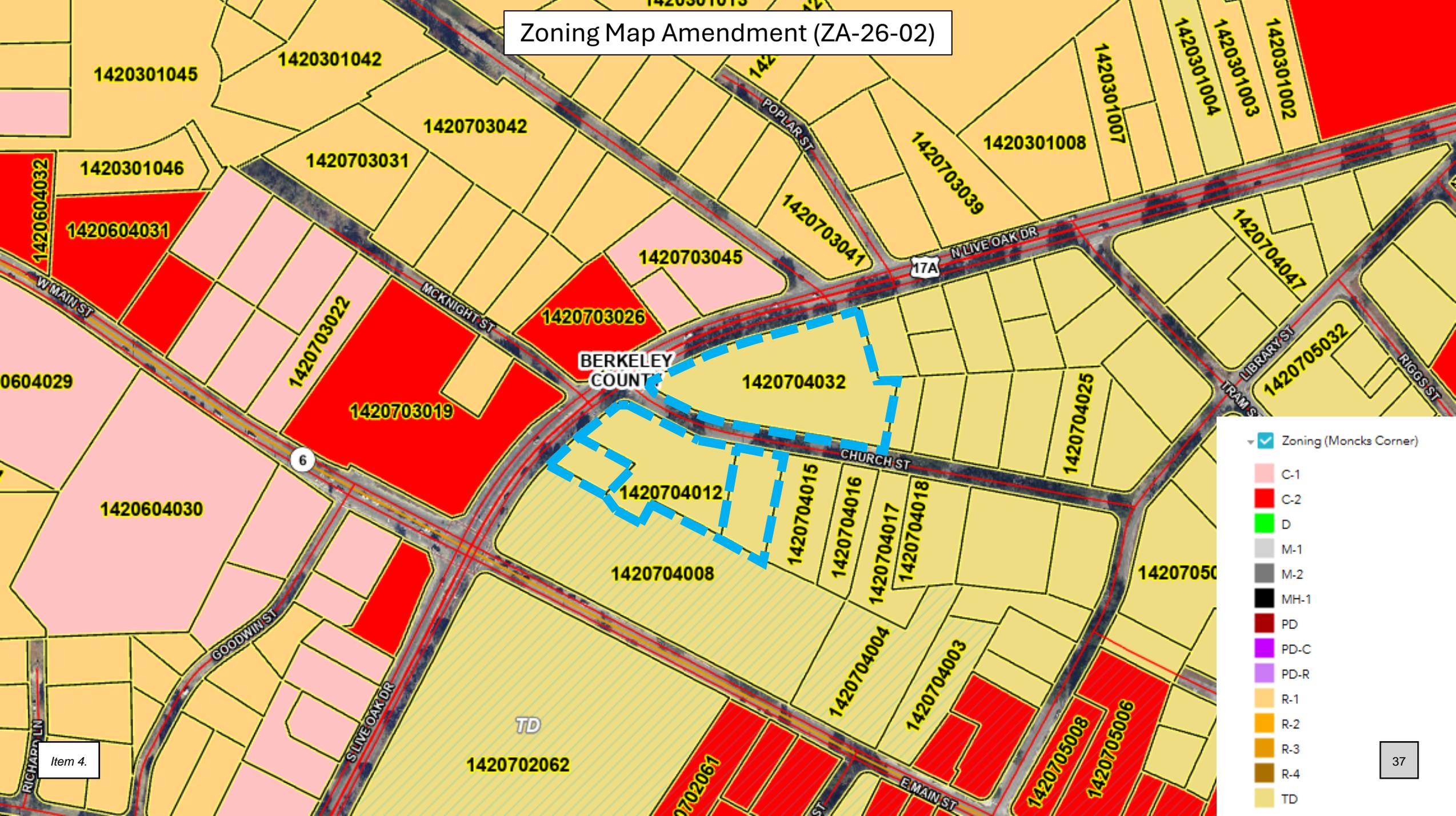
THE COUNTY OF BERKELEY AND ITS GIS DEPARTMENT DISCLAIMS
 ACCOUNTABILITY FOR THIS PRODUCT AND MAKES NO WARRANTY
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 RESPONSIBILITY FOR INTERPRETATION AND APPLICATION
 THIS PRODUCT LIES WITH THE USER.

Zoning Map Amendment (ZA-26-02)



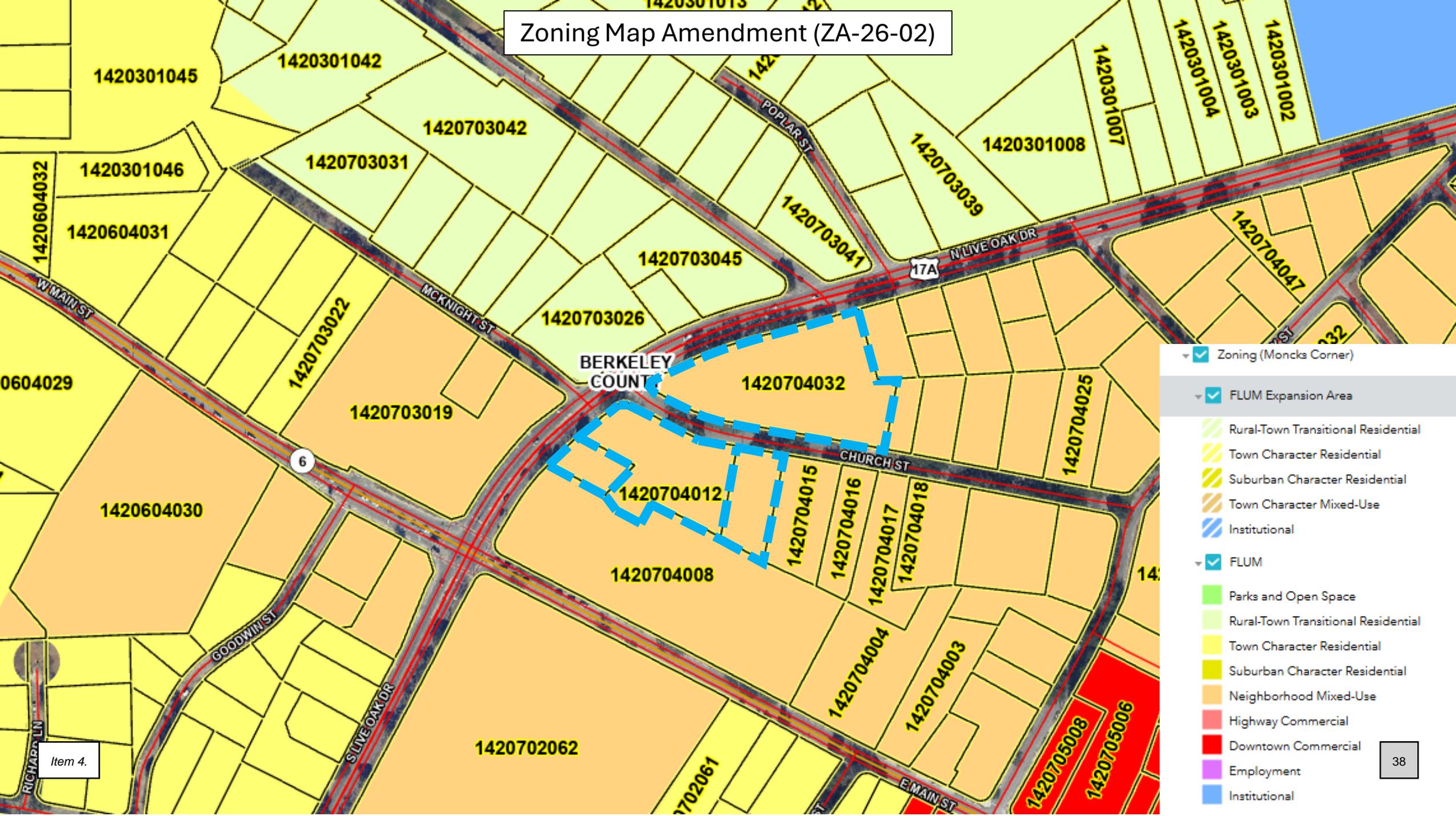
Item 4.

Zoning Map Amendment (ZA-26-02)



Item 4.

Zoning Map Amendment (ZA-26-02)



Item 4.

- Zoning (Moncks Corner)
- FLUM Expansion Area
 - Rural-Town Transitional Residential
 - Town Character Residential
 - Suburban Character Residential
 - Town Character Mixed-Use
 - Institutional
- FLUM
 - Parks and Open Space
 - Rural-Town Transitional Residential
 - Town Character Residential
 - Suburban Character Residential
 - Neighborhood Mixed-Use
 - Highway Commercial
 - Downtown Commercial
 - Employment
 - Institutional



The Lowcountry's Hometown

PO Box 700 | Moncks Corner, SC 29461 | 843.719.7900 | monckscorner.gov

STAFF REPORT

TO: Planning Commission
FROM: Justin Westbrook, Community Development Director
SUBJECT: Amendment (ZA-25-04) – STYO Development
DATE: February 24, 2026

Background: The applicant, STYO Development, has applied for a Zoning Map Amendment (ZA-25-04) for a parcel (TMS #162-00-01-017). The property is currently zoned **Planned Development – Commercial (PD-C)**, with the applicant seeking the parcel to be zoned **Planned Development (PD)**. The PD-C district designation was a leftover when Moss Grove Plantation was approved, first through the County, then annexed and developed within the Town’s corporate limits. There is limited information regarding the subject parcel and why **PD-C** was designated for the parcel, however Staff’s long standing interpretation is that the subject parcel was designated commercial as part of the overall Moss Grove Plantation development.

Previously Heard:

The proposed PD Document divides the 31.3 acre parcel into three (3) “districts”. The applicant has proposed the “Cottage District”, “Market Village” and “Civic Park”, with each area having separate dimensional standards (setbacks, buffers lot coverage, etc.) as well as delineated allocation of residential units, allowable use types and dedicated parking.

The “Cottage District” will be situated on the southern end of the subject parcel and will consist of approximately 8.65 acres. Serving exclusively as a residential area of the project, the project aims to have approximately fifty-two (52) single-family detached units. Per the PD Document, these units will use a minimum lot size of 3,000 ft², with a minimum lot width of 40-feet. The setbacks are significantly reduced compared to other projects approved within the Town, and the density for this district appears to be significant. The maximum lot coverage is set for 80%, which is significant compared to existing Zoning Ordinance standards. As the applicant has set aside small pocket parks and stormwater indicated for each phase, the lot coverage is less of a concern as it is typically with development due to the overall design with environmental sensitivity offsetting lot coverage.

The “Market Village” district will be situated in the center of the subject parcel and be approximately 9.56 acres. This district will blend the residential and commercial aspects of the development, and in Staff’s opinion, serve as a transitional district between the solely residential “Cottage District” and the “Civic Park” district that will

be dedicated to the Town for public and recreation use. This district will see a limited number of residential single-family detached homes, expected to be approximately twenty-eight (28) units. These lots are expected to be smaller than what is proposed in the “Cottage District”, although the PD Document does not prescribe dimensional standards for this use type, which is a cause for concern by Staff. The remaining section of the “Market Village” will be commercial use types using a minimum lot size of 2,000 square feet. It is expected there will be up to 60,000 square feet of commercial area, serving a variety of use types, including hotel, restaurant, bar, financial offices, and other service and office use types. Prohibited use types the applicant is proposing for this district are tobacco and vape stores, adult stores, convenience stores, pawn shops, gas stations and storage units. It is Staff’s interpretation that those uses not specifically called out within the PD Document will be prohibited, however the applicant was forward thinking to specifically call out use types that did not fit the development vision.

The “Civic Park” district of the project will comprise of the northern end of the subject parcel and be approximately 13.09 acres in size. This district will serve as another use type for the **Planned Development (PD) District**, utilizing three (3) individual uses when most **PD Districts** only utilize two (2). This specific district is intended to serve as a regional, not just community, park and open space, with final dedication and maintenance to be provided by the Town of Moncks Corner. Amenities for this district include a basketball court, two (2) ball fields, walking trails, and at least one (1) pavilion to be used by the citizens and potentially rentable as the Recreation Department’s facilities generally are.

Architectural Guidelines Proposal:

The Village Square Design Guidelines outline the vision, standards, and approval processes for a proposed mixed-use Planned Development in Moncks Corner, South Carolina. The project is conceived as a traditional neighborhood development (TND) rooted in “Light Imprint” New Urbanist principles, with an emphasis on walkability, human-scaled design, and integration with the natural environment. The development will transform undeveloped land - containing trees and wetlands - into a cohesive neighborhood that includes detached single-family homes, neighborhood-scale commercial uses, civic spaces, parks, and preserved natural areas. The community is organized into three districts: The Market Village, The Civic Park, and The Cottage District.

The proposal establishes detailed standards for site planning, building form, and neighborhood character. Residential lots are relatively compact, with defined setbacks, height limits (generally up to 35 feet), and requirements governing massing, proportions, garage placement, and porch design to reinforce a pedestrian-friendly streetscape. Commercial buildings are limited to 50 feet in height and must follow similar principles of articulated facades and compatible scale. Architectural guidelines regulate materials, colors (including use of a historic Charleston palette), windows, foundations, and exterior wall systems to ensure consistency with Lowcountry architectural traditions while maintaining visual cohesion across the development.

Landscape design is a major component of the proposal. The guidelines prioritize preservation of existing trees, protection of wetlands, and integration of native plantings. Detailed requirements address tree removal and mitigation, irrigation, drainage, minimum planting standards, driveway widths, fencing, screening of utilities,

and restrictions on accessory structures. The goal is to maintain a manicured but natural aesthetic that enhances open space, frames views, and reinforces the community’s environmental character.

Finally, the document establishes a formal Architectural Review Board (ARB) and Design Review Administrator (DRA) process. All construction—residential or commercial—must undergo a structured multi-step review process, including pre-design consultation, preliminary and final submittals, inspections, and issuance of a certificate of compliance. Plans must be prepared by qualified South Carolina-licensed professionals, and approvals are required before site clearing or construction begins. Overall, the proposal seeks to tightly regulate design, materials, landscaping, and construction oversight to protect property values and ensure a cohesive, high-quality, pedestrian-oriented neighborhood.

Staff Recommendation: Staff has identified several questions regarding certain specific standards and the associated language contained within the submitted document. The document was recently provided to Staff and remains under active review. As part of this ongoing evaluation, the contents should be considered preliminary and subject to revision.

At this stage, Staff recommends that the Planning Commission review the proposed standards in their current form and carefully consider their potential implications. Staff further encourages Commissioners to provide substantive feedback, particularly with respect to clarity, enforceability, consistency with existing regulations, and overall alignment with the community’s planning objectives. Such input will assist in refining the document and ensuring that any adopted standards are clear, implementable, and consistent with established policy frameworks.

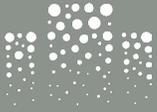
Attachments: Village Square Design Guidelines (20260217)

DESIGN GUIDELINES

VILLAGE SQUARE

FEBRUARY 17, 2026





CONTENTS

Item 5.

DRAWINGS AND SPECIFICATIONS ARE PROPRIETARY AND PROPERTY OF SYNCHRONICITY, LLC. NO USAGE ON ANY OTHER PROJECT OR DESIGN PERMITTED. VIOLATIONS SUBJECT TO FULL PROSECUTION UNDER LAW. USAGE FOR ANY REASON OUTSIDE OF THIS SPECIFIC PROJECT MUST HAVE WRITTEN PERMISSION FROM SYNCHRONICITY, LLC.



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INTRODUCTION TO VILLAGE SQUARE

THE STORY

The Site

Village Square is a Planned Development located on US Hwy 52 (SC DOT Public Right-of-Way), within the jurisdictions of either Moncks Corner or Berkeley County, South Carolina. Currently, the site is comprised of undeveloped and unimproved natural spaces. There is a mix of trees with varying levels of size, health & significance. There are wetlands on site.

The concept for Village Square is an innovative Planned Development incorporating Traditional Neighborhood Development (TND) practices into a vibrant, human-scaled, pedestrian friendly community. This will be achieved by incorporating “Light Imprint” New Urbanist principles of considerate infrastructure design in combining appropriately scaled neighborhood commercial services with thoughtfully crafted detached residential homes.

The homes will be detached residential units accessed via a mix of streets and alleyways. Right-of-Ways will be Private in the legal aspect yet will be built to Public Standards from an Engineering standpoint. Village Square will set the example as a signature Planned Development, transforming neglected and underutilized natural resources into a beautiful neighborhood village that will serve the needs of Moncks Corner with residential housing, retail, service, and recreational opportunities.

The genesis of the entire development gravitates around human-centered design principles yielding a beautiful, naturally situated, safe & sociable environment.

Creating a Community

Village Square is a neighborhood that encourages a sense of community through it’s architecture, landscape, open spaces, connection to nature and easily accessible amenities. Many steps have been taken to create the vision of Village Square including this document - **The Village Square Design Guidelines** - in order to preserve the character and best practices desired by the Village Square HOA.





VISION & THEMES

Open Spaces / A Tie to Nature

Throughout the development, publicly accessible open space will serve as the linking element of community, providing an array of outdoor experiences of preserved wetlands, water features, community parks & recreational spaces, and protected woodlands. Open Spaces will be linked with sidewalks and multi-use pathways, complimenting the street network with safe and accessible means of multi-modal transit.

Features

Village Square will feature numerous ways for residents to connect with nature, with amenities that include city parks, sport fields, outdoor seating, ponds and wetlands, walking and biking trails, and preserved trees.

Village Square will be comprised of three distinct districts:

- “The Market Village”
- “The Civic Park”
- “The Cottage District”





USE OF GUIDELINES

Site Selection

The first step to a new home is choosing the appropriate lot and lot type. Different lots have different requirements that will help narrow down what is the right fit for a homeowner. This document defines the various lot types and explains what is required to achieve a successful design.

Form & Function

Mass and Proportion will determine the location and configuration of all elements found on the site. The Site Principal Section of this document provides information on what is expected for a design to be approved at Village Square.

Interior Program

Interior Layout is critical to the functionality of the home and has a direct affect on the exterior character displayed most importantly on door, window, and garage placement. Though most standards in this document refer to the exterior, great care should be taken in creating an efficient and desirable interior program that is appropriate for the quality levels expected at Village Square.

Outdoor Living

Porch Design is an important aspect of any home design but strikes a cord with respect to regional design. Porches influence interaction amongst community members and enhance the sense of neighborhood.



Fit & Finish

Exterior Materials are an extremely important factor when designing a home. Selected materials should relate to the style of the home as well as the adjacent properties. The Architectural Design Section describes what is required for approval.

Landscape & Hardscape

Support and enhancement of existing vegetation is encouraged while also presenting a clean and manicured look. Landscape elements including walls, fences, and plants are highly valued in achieving a consistent look throughout Village Square. Please refer to the Landscape Design Section for further information.

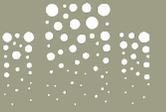
ARB Review

Detached single family homes, and all commercial buildings and associated sites shall be subject to the Town of Moncks Corner design standards and review procedures.

Submittals & Approvals

The submittal and approval process is an incredibly important part of this document to help homeowners and their team of professionals create documents in an accurate and timely fashion. The following chapters in the Village Square Residential and Commercial Design Guidelines help layout what is expected in all documents and various items that will be focused on during the review for approval. If care is taken during the process to adhere to the standards of Village Square and submit documents in the provided timeline, the approval process is likely to be expedient. All documents submitted to the Architectural Review Board (ARB) should be prepared by a qualified professional, licensed professionals are encouraged and required where applicable.

Any items not specifically addressed in this document will be referred to the Declaration of Covenants, Conditions, Easements and Restrictions for Village Square.





NEIGHBORHOOD CHARACTER

All elements found on each lot should strive for a collective quality and style definitive of Village Square that encourages consistency but also applauds individuality that will enrich the neighborhood character. The items discussed in this section help provide the groundwork required for each lot type.

Phase 1- Residential

There are two (2) home types provided that will create unique but unified areas within Village Square.







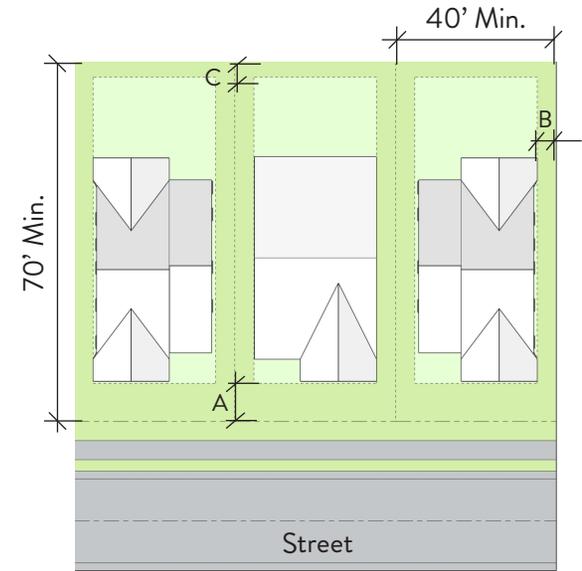
HEIGHT, SCALE, AND MASS: RESIDENTIAL

Section 1: 40' Street-Load Homes (SFD)

40' Street-Load Homes minimum lot dimensions are 40 feet wide and 70 feet deep. Lot sizes are a minimum of 3,000 square feet. Houses constructed on 40' Street-Load Lots will follow the 35', 3-Story maximum height restriction. Front facing garages are required to be set a minimum of 1'-6" behind the front face of the main body of the structure.



3D 40' Street-Load SFD Lot Type Example



40' Street-Load SFD Lot Plan

Minimum Primary Building Setback & Lot Zones

A	Front Yard Setback	5'
B	Side Yard Setback	3'
C	Rear Yard Setback	5'
	Primary Building Envelope	30'x64'

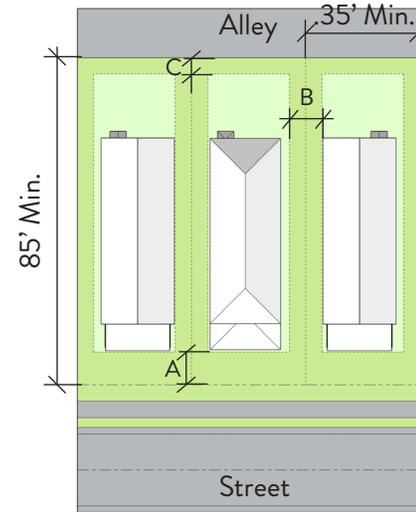
HEIGHT, SCALE, AND MASS: RESIDENTIAL

Section 2: 35' Alley-Load Homes (SFD)

35' Alley-Load Homes minimum lot dimensions are 35 feet wide and 85 feet deep. Lot sizes are a minimum of 2,000 square feet. Houses constructed on 35' Alley-Load Lots will follow the 35', 3-Story maximum height restriction.



3D Alley-Load SFD Lot Type Example



35' Alley-Load SFD Lot Plan

Minimum Primary Building Setback & Lot Zones

A	Front Yard Setback	0'
B	Side Yard Setback	3'
C	Rear Yard Setback	5'
	Primary Building Envelope	30'x79'



HEIGHT, SCALE, & MASS: RESIDENTIAL

Home Height

Residential buildings shall be a maximum height of 35 feet, per the Village Square Planned Development Zoning Standards.



HEIGHT, SCALE, & MASS: RESIDENTIAL

Proportion & Massing

Proportion and Massing are essential elements of good home design. The building should be carefully planned so that the final building form is appropriate for the specific home site.

Though proportion and massing will vary between different architectural styles, the following principles are recommended:

- The main mass of the house should be visible and obvious. Additional massing should appear secondary and still relate to the main mass.
- Proportions should strive to be vertical in nature. Individual elements of the house should be taller than they are wide.
- Large houses should be designed to avoid long facades; instead, the design should incorporate smaller elements to break down overall massing.
- Building shapes should provide interest and be compatible with neighboring structures. No one residence, structure or other improvement should stand apart in siting, design or construction as to detract from the overall appearance of Village Square.

- Porches are not considered part of the main body of the structure.
- Particular attention should be paid to the first floor elevation, as determined by the Federal flood regulations of the Town of Moncks Corner & FEMA.
- Front facing garages are required to be set a minimum of 1'-6" behind the front face of the main body of the structure.
- Garages may be incorporated within the structure or as an accessory structure. Side access garages are encouraged, exceptions based on site restrictions to be submitted for approval by ARB. Drive under style homes are encouraged to have recessed garages 6'-8' behind the front massing of the home. Additional information on Garage Design can be found on **page 31** of this document.

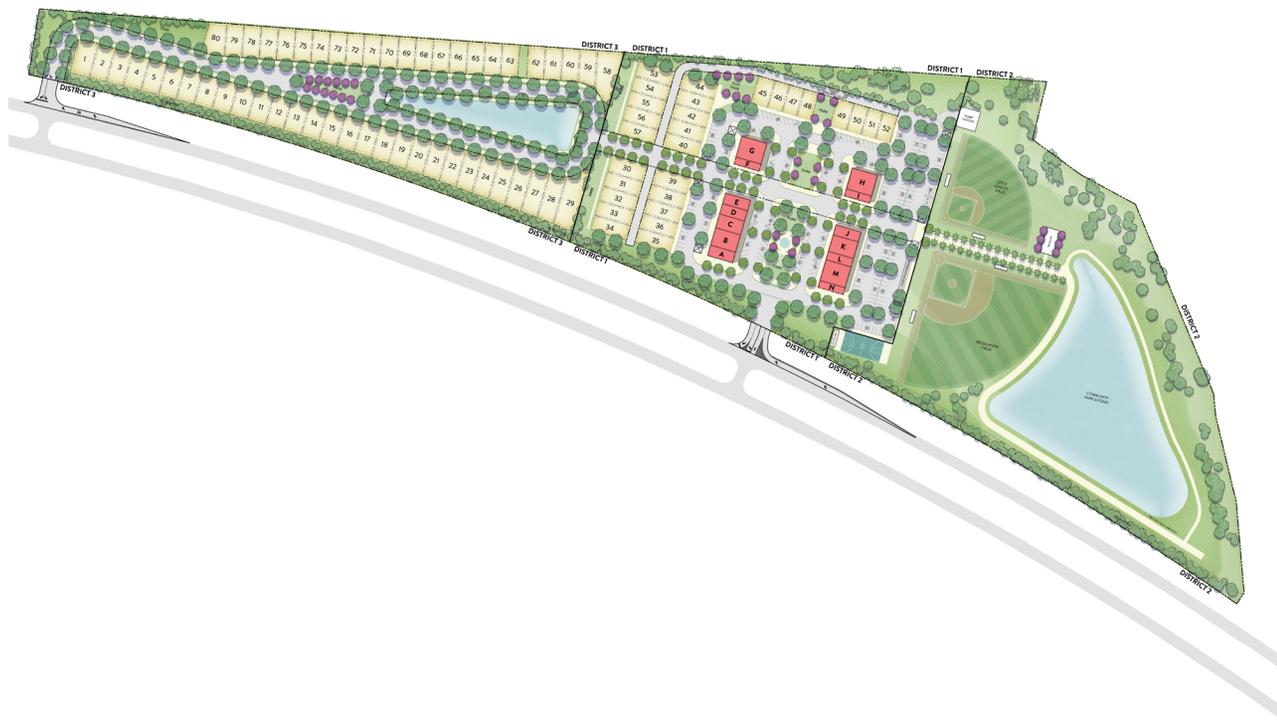




HEIGHT, SCALE, & MASS: COMMERCIAL

Phase 2: Commercial Building Height

Commercial buildings shall be a maximum height of 50 feet, per the Village Square Planned Development Zoning Standards.





HEIGHT, SCALE, & MASS: COMMERCIAL & RECREATIONAL

Proportion & Massing

Proportion and Massing are essential elements of good building design. The building should be carefully planned so that the final building form is appropriate for the specific home site.

Though proportion and massing will vary between different architectural styles, the following principles are recommended:

- The main mass of the structure should be visible and obvious. Additional massing should appear secondary and still relate to the main mass.
- Proportions should strive to be vertical in nature. Individual elements of the building should be taller than they are wide.
- Commercial buildings with long facades should incorporate smaller elements to break down overall massing.

- Building shapes should provide interest and be compatible with neighboring structures. No one building, structure or other improvement should stand apart in siting, design or construction as to detract from the overall appearance of Village Square.
- Structures should generally be one to three stories tall. Buildings shall be a maximum height of 50', per the Village Square Planned Development Zoning Standards.
- Particular attention should be paid to the first floor elevation, as determined by the Federal flood regulations of the Town of Moncks Corner & FEMA.





SITE ANALYSIS

A thorough site analysis will be encouraged for each new home site. This process will yield an existing inventory of the trees, vegetation and natural characteristics, specific to each lot. Other factors to consider are topography, view corridors, solar angles, and prevailing wind patterns for ideal home orientation.

SITE DESIGN

Lot Siting

- A primary design goal for the Village Square Architect is to carefully observe the natural environment. It is important that the Architect:
- Analyze the physical environment of the specific home site, consider site orientation and climatic considerations for passive and active cooling systems, cross ventilation, etc.
- Consider views and other unique site features.
- Create designs that reflect sensitivity to adjacent neighbors in finish materials, scale, and form.
- Carefully compose the arrangement of elements on the site for efficiency and functionality.
- Minimize unsightly elements by appropriate placement or if necessary, utilize vegetative screening or fencing.

SETBACKS

Residential Setbacks:

Residential lots will follow the following guidelines for setbacks:

The Market Village:

- 5' Front Setback
- 3' Front Corner Setback
- 3' Side Setback
- 5' Rear Setback

The Cottage District:

- 5' Front Porch Setback
- 10' Front Home Mass Setback
- 3' Front Corner Setback
- 3' Side Setback
- 5' Rear Setback

Commercial Setbacks

Commercial lots will follow the following guidelines for setbacks:

The Market Village:

- 5' Front Setback
- 5' Front Corner Setback
- 5' Side Setback
- 0' Side Attached Setback
- 10' Rear Setback







ARCHITECTURAL DESIGN

Item 5.





ARCHITECTURAL ELEMENTS: COMMERCIAL & RECREATIONAL

Materials & Colors

The fenestration must be compatible with the architectural style of the home. The colors for all exterior finishes should represent sensitivity to the precedent of the Lowcountry and should complement the natural environment.

- Colors which are soft, subtle and considered complementary of the natural environment are recommended. The use of overly bright and/or garish colors is expressly prohibited.
- Trim color should not contrast strongly with the exterior wall color.
- Color samples for new construction and re-staining of existing buildings shall be presented to the ARB in the form of color samples on-site for approval, and shall be submitted in advance of painting and staining.
- Village Square requires selecting paint colors from the Sherwin Williams “Colors of Historic Charleston” palette.
- Please see the **pg. 33** for table of minimum thickness of weather coverings.

Window Construction

Windows should be selected and located to provide views, light, privacy, and natural ventilation.

Window Materials

- Windows should be selected and located to provide views, light, privacy, and natural ventilation.
- Storefront window systems are required.
- Windows should comply with all local and national building codes at the time of their installation.
- Low E and thermal glazed or clear glass ONLY.
- Windows required on all sides and to be scaled and placed in a manner that compliments the architectural style.

Dumpster Design

- Dumpsters shall not be placed in the right-of-way where they might block or impede the passage of vehicular or pedestrian traffic. Dumpster placement shall not impede vehicular parking.
- Dumpsters shall not be placed in a way that impedes or prevents access to any public or utility easement.
- Dumpsters shall be kept clear of all graffiti or other written or drawn material. Dumpsters shall also remain clear of any posters or flyers.
- Dumpsters shall be marked with reflective material approved by the South Carolina Department of Transportation.
- All dumpster enclosure designs must be approved by Village Square ARB.



ARCHITECTURAL ELEMENTS: COMMERCIAL & RECREATIONAL

Exterior Walls

Building facades should be varied and articulated to provide visual interest to pedestrians. Building entries, primary windows and key decorative elements should face the street or the main side yard.

Exterior Wall Materials

Metal Panel:

- Contemporary design is encouraged. Take care to avoid systems that look too agricultural or industrial.

Cement Fiberboard (smooth) Siding:

- Texture: smooth, beaded edge, board & batten.
- Scalloped edge.
- Finish: painted.

Stucco:

- Stucco should be a maximum of 25% of the total materials used.
- Traditional or synthetic stucco is allowed.
- Epoxy and/or cementitious control joints should relate to facade elements.
- Non-decorative CMU should be painted or covered with a stucco application.

Masonry:

- Stack bonds are strictly prohibited
- Soldier courses at story changes, use of water table, belt course and shaped brick are encouraged where appropriate.
- Oversized brick are prohibited; nothing greater than a queen size brick shall be permitted.
- Raked mortar joints, maximum ½” width.
- Finish: traditional southern colors in the brown and gray families.
- Brick samples must be approved by the ARB.

Stone:

- Natural or synthetic stone is allowed.



Metal Panel



Fiber Cement Board



Board & Batten



Brick



ARCHITECTURAL DESIGN

Item 5.





ARCHITECTURAL ELEMENTS: RESIDENTIAL

Materials & Colors

The fenestration must be compatible with the architectural style of the home. The colors for all exterior finishes should represent sensitivity to the precedent of the Lowcountry and should complement the natural environment.

- Colors which are soft, subtle and considered complementary of the natural environment are required. The use of overly bright and/or garish colors is expressly prohibited.
- Trim color should not contrast strongly with the exterior wall color.
- Color samples for new construction and re-staining of existing buildings shall be presented to the ARB in the form of color samples on-site for approval, and shall be submitted in advance of painting and staining.
- Village Square requires selecting paint colors from the Sherwin Williams “Colors of Historic Charleston” palette.
- Please see the **pg. 33** for table of minimum thickness of weather coverings.

Foundations

Slab-on-grade Foundations: Allowed where appropriate.

Foundation Masonry Piers: Minimum of 16”x16” and must support required finished floor elevation as specified by local, state and federal regulations.

- Foundation screens must be complimentary to the design of the house and subject to ARB approval. Horizontal and vertical louvers are encouraged, but premanufactured lattice is expressly prohibited.

Continuous Foundations: Where required by FEMA, hydrostatic vents will be installed to meet all local, state and federal building codes.

- Foundation vents should be complimentary to the house, aligning architecturally and are subject to ARB approval.
- Pierced brick patterns may be used where appropriate and subject to ARB approval.

FOUNDATION CONSTRUCTION:

- Infill panels between piers must be recessed a minimum of 2” from the outside face of the pier.

FOUNDATIONS - NOTES:

- Approved materials include: Brick, Smooth or Scored Stucco, and Tabby Stucco. All materials, colors and stains are subject to ARB approval prior to on-site installation and application.



ARCHITECTURAL ELEMENTS: RESIDENTIAL

Exterior Walls

Building facades should be varied and articulated to provide visual interest to pedestrians. Building entries, primary windows and key decorative elements should face the street or the main side yard.

EXTERIOR WALL MATERIALS:

- Shake:
 - 5" to 8" exposure.
 - Staggered butt, even butt.
 - Finish: stained or painted.
 - Cedar or Fiber Cement Board.
- Lap Siding:
 - Exposure to be approved by ARB.
 - Horizontal siding, clapboard, rabbited, simple channel, shiplap joint, board & batten.
 - Finish: factory pre-finished, stained or painted, matte finish.
- Cement Fiberboard (smooth) Siding:
 - Texture: smooth, beaded edge, board & batten, scalloped edge. Painted finish.
- Masonry:
 - Stack bonds are strictly prohibited.
 - Soldier courses at story changes, use of water table, belt course and shaped brick are encouraged where appropriate.
 - Oversized brick are prohibited; nothing greater than a queen size brick shall be permitted.
 - Raked mortar joints, maximum 1/2" width.
 - Finish: traditional southern colors in the brown and gray families.
 - Brick samples must be approved by the ARB.
- Stone:
 - Natural or synthetic stone is allowed.
- Stucco:
 - Traditional or synthetic stucco is allowed.
 - Epoxy and/or cementitious control joints should relate to facade elements.
 - Non-decorative CMU should be painted or covered with a stucco application.



Shake Siding



Lap Siding



Board & Batten



Brick

ARCHITECTURAL ELEMENTS: RESIDENTIAL

Accessory Buildings

- An accessory building is defined as a structure detached from the main house, such as a garage, guest house, pool house, studio, conservatory or workshop.
- Accessory buildings are allowed, and subject to the same design standards and review as primary structures.
- Accessory buildings must be submitted to the ARB for review.

Garages: Single Family Detached Homes

- Every house may have a garage, but for not less than one (1) vehicle. Front facing garages are required to be set a minimum of 1'-6" behind the front face of the main body of the structure.
- Garage doors are to be metal, wood, or fiberglass. Garage door details and materials must be submitted to the ARB for review.
- Garages should have a minimum depth of 25' from the back of the sidewalk. Sidewalks are not to be blocked by vehicles at any time.
- Garages may have ornamental metal brackets.
- Garages may have a top row of windows to help with natural illumination of the interior.





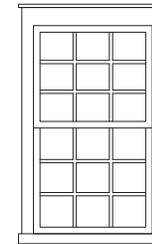
ARCHITECTURAL ELEMENTS: RESIDENTIAL

Windows

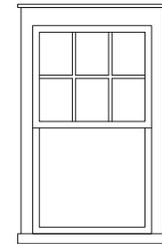
Windows should be selected and located to provide views, light, privacy and natural ventilation.

WINDOW MATERIALS:

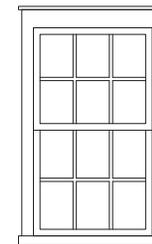
- Low E and thermal glazed or clear glass ONLY.
- Windows must comply with all local and national building codes at the time of their installation.
- Insulated, true divided light or simulated divided light; no interior removable muntins.
- Windows may be wood, aluminum or vinyl if a wood trim and sill are utilized.
- Window light patterns should be in keeping with the architectural style of the home. Recommended divided light sashes: 9:9, 6:6, 6:1, 4:4, 4:2, 2:2, 2:1, 3:1
- Decorative glass for windows is discouraged; however, traditional leaded glass windows are allowed subject to ARB approval.
- The ARB reserves the right to require window samples to be submitted for review.
- Flange windows are discouraged, but may be used if the trim is applied to represent a projecting sill and apron.
- Windows required on all sides and must be scaled and placed in a manner that compliments the architectural style.
- Window protection system shall be reviewed by ARB and shall not detract from the architectural integrity of the house.



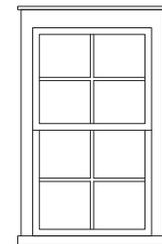
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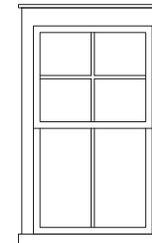
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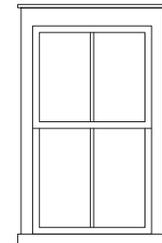
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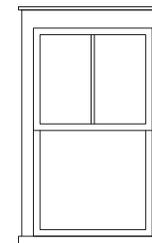
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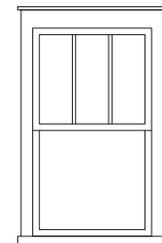
4:2



2:2



2:1



3:1

Windows Examples

ARCHITECTURAL ELEMENTS: RESIDENTIAL

Additional Architectural Regulations

- Television, radio antennas, and satellite dishes are not permitted on front and side roofs and should be installed on rear roofs. Locations must be approved by the Village Square ARB prior to installation.
- HVAC platforms will be screened appropriately in a style matching the architecture at the ARB's discretion.
- All vents, mini-split units, tank-less water heaters, etc. are not allowed along the front elevation unless otherwise approved by the ARB.
- Flood lights are only permitted along the side and rear elevations.
- Vinyl siding is disallowed as a siding material.

Item 5.

Minimum Thickness of Weather Coverings

Minimum Thickness (Inches)	Covering Type
0.25	Adhered masonry veneer
0.019	Aluminum siding
	Anchored masonry veneer
2	Stone (natural)
2.5	Architectural cast stone
2	Other
0.0216 nominal	Cold-rolled copper
0.0162 nominal	Copper shingles
0.313	Exterior plywood (with sheathing)
See Section 2304.6	Exterior plywood (without sheathing)
0.25	Fiber cement lap siding
0.25	Fiber cement panel siding
0.5	Fiberboard siding
0.375	Glass-fiber reinforced concrete panels
0.25	Hardboard siding
0.0162 nominal	High-yield copper
0.0216 nominal	Lead-coated copper
0.0162 nominal	Lead-coated high-yield copper
1	Marble slabs
See Section 2304.6	Particleboard (with sheathing)
See Section 2304.6	Particleboard (without sheathing)
0.125 nominal	Porcelain tile
0.0149	Steel (approved corrosion resistant)
0.344	Structural glass
	Stucco or exterior cement plaster
	Three-coat work over:
0.875	Metal plaster base
0.625	Unit Masonry
0.625	Cast-in-place or precast concrete
	Two-coat work over:
0.5	Unit masonry
0.375	Cast-in-place or precast concrete
1	Terra cotta (anchored)
0.25	Terra cotta (adhered)
0.375	Wood Shingles

Table 1404.2







LANDSCAPE DESIGN

Item 5.



LANDSCAPE ELEMENTS

General Landscape Requirements

Village Square has been planned to maximize the use of natural elements. Various hardwoods and pine trees are plentiful within the community, and it is the ARB's intent to maintain this landscape integrity. Landscape design should always complement and account for the architecture and location of the residence.

A fundamental design criterion is the need for gardens and lawns to harmonize with the native vegetation, terrain and natural beauty of the community. A landscape plan must be submitted to the ARB with the following implemented:

Objectives - Planting Approach

- Frame and enhance views
- Create outdoor living spaces
- Accentuate architecture & integrate building within site
- Screen utility areas
- Soften the foundation of the building
- Buffer driveways & parking areas along property lines
- Protect areas disturbed during construction from erosion
- Protect all existing natural areas

Additional Information

Regardless of approval pertaining to any and all Architecture or Landscape Documents by the ARB, the Developer holds the right to revoke or deny approval of any individual elements, drawings, or sets in their entirety at any time throughout the submittal process as they see fit to maintain the integrity of the design principals and aesthetics of Village Square.





LANDSCAPE ELEMENTS

VEGETATION

Site Clearing, Grading, & Drainage

- The Contractor shall be responsible for providing positive drainage at two percent (2%) minimum in all planted areas where possible.
- It is strongly advised to utilize any existing natural vegetation on site. Removal of existing material 3 inches in caliber or 5 feet tall requires approval from the ARB. Clearing small, invasive, or unsightly vegetation and enhancing the understory is encouraged.
- Tree removal should be in conformance with **Article III, Chapter 16** of the Town of Moncks Corner Code of Ordinances.

Shrubs & Groundcovers

- Seasonal color and groundcovers are to be planted in sufficient quantity so that no exposed areas of pine straw or mulch are greater than 20 sf once the plants have reached average maturity in the front yard and 1/4 of the side yard. In the interim, no areas of open pine straw greater than 100 SF will be permitted w/out ARB approval. Irregular pine straw beds are encouraged around existing trees in the side and rear yards. All mulch materials must be in natural colors.



Layered Massing

Hedges

- Hedges need not be formal, clipped vertical planes requiring constant shearing and clipping but can be massed as a dense thicket.
- Buffer edges planted at the front build-to line and extending along the side property lines to the rear property line are encouraged but not required. Evergreen plants are recommended for such screening.
- When deciduous plant material is used along property lines, consideration should be given to the plants' flowering characteristics and structural appearance in the winter.
- The Landscape Design should transition from groundcovers and progress to larger shrubs closer to the house, mixing textures and colors.

Lawns

- Adjoining lawns should be viewed as large, flowing open spaces.
- A uniform turf grass of St. Augustine, Centipede or Empire Zoysia shall be approved. Other high-quality turf grass varieties may be considered by the ARB for special circumstances on a case-by-case basis.

LANDSCAPE ELEMENTS

Plant Selection

Refer to the recommended plant list.

- Selected plant palette should carefully mix textures and colors.
- The plant palette should complement native species and be compatible with existing environmental and ecological conditions.
- Hardiness, drought tolerance and non-invasive characteristics should be considered.
- Deer resistant plants and shrubs are recommended.
- Plants for screening should be of sufficient and appropriate size and spacing to ensure an adequate buffer within a short period of time.
- Foundation plantings should screen any crawlspaces under houses and decks seen from the street.

Cutting / Vegetable Gardens

- Cutting / Vegetable Gardens are permitted as long as they are located in rear yards. Proposed size and location must be submitted and are subject to ARB approval.
- In the interest of preventing nuisance pests from becoming a problem, simple, attractive, well maintained post and wire garden fencing is strongly encouraged.
- No garden may be located within 10 feet of side property lines or within 20 feet of rear property lines and shall be screened from the street.



Sabal Palmetto



Southern Magnolia



Lobed Leaf Oak



River Birch Bark



LANDSCAPE ELEMENTS

VEGETATION

Tree Planting

- All proposed trees to be planted in grass areas and all existing trees located in grass areas shall be mulched at the base with a minimum 4'-0" diameter circle of pine straw or shredded hardwood mulch.
- The addition of small flowering trees grouped in clusters should be considered in the Landscape Plan to enhance a potentially sparse understory.
- All trees shall be properly guyed and staked. Guy wires shall be encased in hose to prevent direct contact with the bark of the tree and shall be placed around the trunk in a single loop. Cloth strapping may also be used.
- All mulch must be in natural colors only.

Irrigation

- Irrigation and properly maintaining plants is a requirement. Irrigation plans must be submitted with the landscape plans. Hoses and sprinklers to be used for interim period only to establish lawn and plantings or repair damaged areas. Irrigation in commercial areas is required.
- Rainwater collection and drip irrigation are encouraged. Barrels, etc. to be screened.
- Shallow wells will be considered pending approval from ARB and Developer.

Tree Removal

- Tree preservation is strongly encouraged. Tree removal is allowed for necessary lot clearing and grading for the proposed house footprint. Vista enhancement will also be taken into consideration. A tree removal plan shall be submitted to the ARB. Removals cannot commence without ARB and Town of Moncks Corner approval.
- The cutting of forest canopy above 8" caliper is prohibited, except for removal of dead branches, sub-standard sized saplings and straggly material for maintenance.
- Tree protective barricades shall be placed around all trees in or near development areas.
- All cutting is subject to regulations found in **Article III, Chapter 16** of the Town of Moncks Corner Code of Ordinances.
- Tree removal shall require mitigation in forms of replacement or through the tree fund as described in **Article III, Chapter 16** of the Town of Moncks Corner Code of Ordinances.

MINIMUM PLANTING REQUIREMENTS

Minimum Planting Requirements

- The Minimum Planting Requirements follow the most recent Town of Moncks Corner Zoning Ordinance.

Residential Design Requirements

- The natural landscape character shall be preserved in every reasonable instance. Existing trees shall be incorporated into the landscaping plan where feasible.
- Materials shall be planted at regular intervals along the front and both sides of new residential units. Other natural or newly planted landscaping material shall be planted in various areas of the property to create a visual aesthetic.
- At least one canopy tree shall be planted or preserved in the front yard of a residential lot, with a maximum distance of 50 feet between trees.





LANDSCAPE ELEMENTS

Recommended Plant Palette

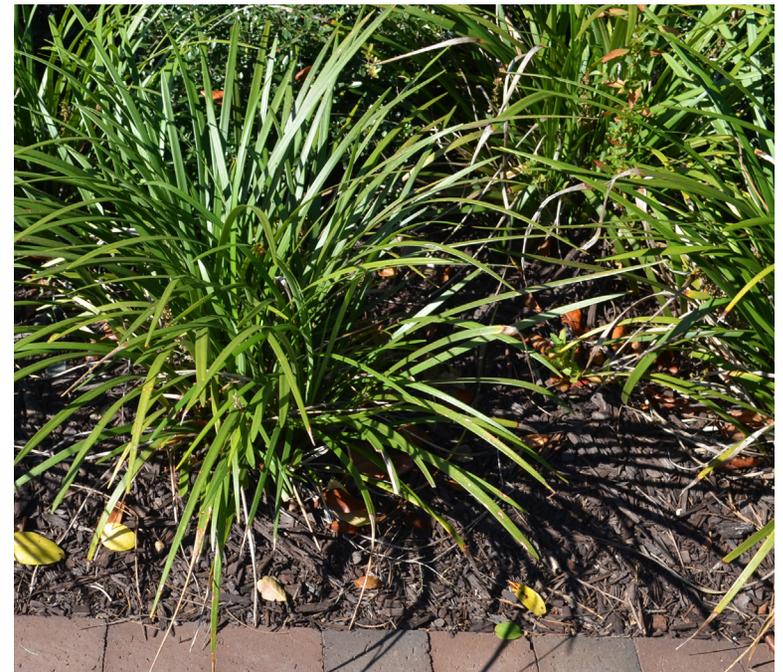
The plant palette for all properties should strive to support and enhance the existing natural vegetation on the site while taking into account the adjacent properties planting schemes. The use of native plantings is encouraged along with non-native planting that is appropriate to the area. Invasive plantings are prohibited. Please refer to the recommended plant list. Additional plantings (not shown on the recommended plant list) can be suggested to the ARB and should be clearly indicated on all submitted planting plans and plant lists for review and approval.



Climbing Fig on Stairs



Adagio Maiden Grass



Liriope

LANDSCAPE ELEMENTS

Driveway

Driveways and walkways are an extension of the home. Both should be purposefully designed to remain in unison with the architectural style and materials of the home.

Guidelines

- Driveways should be located to avoid entering tree root zones (under canopy drip lines).
- Driveways and walkways should be curved where practical between existing trees to avoid unnecessary cutting.
- Driveways must be a maximum of 10' wide at the street and apron (unless a strip driveway is approved by the ARB) and should meet the street with a 10'-0" radius at the corners. The driveway should not surpass the width of the house with concrete.
- Driveways should be a minimum of 20' deep from the back of the sidewalk.
- Semi-circular driveways and motor courts will be considered on an individual basis and shall only be allowed with ARB/ Town of Moncks Corner approval (per pertinent use type). Motor courts and semi-circular driveways may be allowed if they reduce hardscape and encourage the promotion of increased open space and decreased impervious surfaces.
- Strip Driveways will be allowed with maintenance assurance. Strip driveways should have a minimum of 3' of width for tire tracks, and 3' of width for a planter or paver strip.

Item 5.

HVAC Equipment

- No air conditioning or heating apparatus shall be installed on the ground in front of or attached to any front wall of any residence on any Lot.

Fencing / Site Walls

Fences and walls can offer visual permeability while also contributing to a street front community, establishing territory, and providing privacy in a side or rear yard. All fence and site walls must be functional (i.e. to create privacy, enclose a service area or HVAC unit, etc.). For further information, please reference the Village Square Declaration of Covenants, Conditions, Easements, and Restrictions.

- Fences and walls should never enclose an entire yard.
- Chain link and vinyl fences are expressly prohibited.
- Fences should be 36-48" for front / side / and rear yard picket fencing, and 72-84" for side and rear yard privacy fencing.





LANDSCAPE ELEMENTS

Play Equipment / Pet Enclosures

Elements of a planned park or playground, swing sets and similar outdoor play areas, structures and equipment should be located where they will have minimal impact on adjacent Lots and where they will best be screened from general public view. The types of materials allowed are subject to the approval of the ARB.

Pools / Therapy Pools / Spas

- The size, shape and setting of pools must be carefully designed to achieve a feeling of compatibility with the surrounding natural and manmade environment. Pool designs will be accepted on a case-by-case basis. The location of swimming pools, therapy pools and spas should consider the following:
 1. Indoor / outdoor relationships
 2. Setbacks
 3. Views both to and from the pool area
 4. Wind
 5. Sun angles
 6. Terrain (grading and excavation)
 7. Fencing and privacy screening
 8. Building materials
- Pool and pool equipment enclosures must be architecturally related to the residence and to other structures within their visual field.
- Any pool-related area is considered disturbed area and cannot occur within setbacks, buffers, or easements.
- Above grade pools (not built into a structure/deck) and inflatable bubble covers are prohibited.
- Pool slides are prohibited unless they are low in vertical profile and approved by the ARB in writing.

LANDSCAPE ELEMENTS

Additional Landscape Regulations

- Every home must have an enclosed service area suitable for garbage, recycling etc. that must be screened from view by methods and with materials approved by the ARB if stored outside.
- All transformers/generators, if located on side of house, must be screened from view by methods and with materials approved by the ARB. Builders must consult with applicable service or utility providers prior to planning near or around the transformers.
- No accessory vehicular, mobile home, boat, trailer, tent, barn or other similar out-building, or structure shall be placed on any lot at any time.
- Equestrian facilities are not allowed.
- Any vehicles or equipment that cannot be stored in a garage structure or discretely screened are required to be stored off-site at the Owner's expense.
- CATV coaxial cables may not run on exposed exterior surfaces.
- Clotheslines are prohibited.

PLANT LIST

RECOMMENDED PLANT PALETTE

Large Deciduous Trees (Native)

CARYA species	Hickory
CARYA illinoensis	Pecan
FAGUS grandifolia	American Beech
FRAXINUS americana	White Ash
LIRIODENDRON tulipifera	Tulip Poplar
MAGNOLIA acuminata var. subcordata	Cucumber tree
NYSSA sylvatica	Black Tupelo
QUERCUS falcata	Southern Red Oak
QUERCUS michauxii	Swamp Chestnut Oak
QUERCUS shumardii	Shumard Oak

Large Evergreen Trees (Native)

x CUPRESSOCYPARIS leylandii	Leyland Cypress
GORDONIA lasianthus	Loblolly Bay
ILEX opaca	American Holly
JUNIPERUS virginiana	Eastern Red Cedar
MAGNOLIA grandiflora	Southern Magnolia
MAGNOLIA virginiana	Sweetbay Magnolia
PINUS palustris	Long-Leaf Pine
PINUS glabra	Spruce Pine
PRUNUS caroliniana	Carolina Cherry Laurel
QUERCUS virginiana	Live Oak
SABAL palmetto	Cabbage Palm





Small Ornamental, Flowering, & Fruiting Trees (Native)

AMELANCHIER arborea	Downy Serviceberry
CARPINUS caroliniana	American Hornbeam
CRATAEGUS marshalii	Parsley Hawthorn
CRATAEGUS species	Hawthorns
DIOSPYROS virginiana	Easter Persimmon
HALESIA diptera	Yellow SnowDrop
HAMAMELIS virginiana	Witchhazel
ILEX vomitoria	Yaupon Holly
RHUS copallina	Winged Sumac
SASSAFRAS albidum	Sassafras

Small Ornamental, Flowering, & Fruiting Trees (Non-Native)

ACER palmatum	Japanese Maple
CORNUS kousa	Japanese or Korean Dogwood
LAGERSTROEMIA indica	Crape Myrtle
MAGNOLIA soulangeana	Saucer Magnolia
MAGNOLIA stellata	Star Magnolia
STEWARTIA pseudocamellia	Japanese Stewartia
STYRAX species	Snowbell

PLANT LIST

RECOMMENDED PLANT PALETTE (CONTINUED)

Deciduous, Flowering, & Fruiting Shrubs (Native)

AESCULUS parvifolia	Bottlebrush Buckeye
ALNUS serrulata	Smooth Alder
ARONIA arbutifolia	Red Chokeberry
BACCHARIS halimifolia	Groundsel Tree
CALLICARPA Americana	American Beautyberry
CALYCANTHUS floridus	Carolina Allspice
HYDRANGEA quercifolia	Oak-leaf Hydrangea
AMOPHA fruticosa	False Indigo
ILEX species	Hollies
ITEA virginica	Virginia Sweet Spire
VIBURNUM species	Viburnums
SAMBUCUS Canadensis	American Elder
RHUS species	Sumacs
STYRAX Americana	American Snowbell

Deciduous, Flowering, & Fruiting Shrubs (Non-Native)

BUDDLEIA davidii	Butterfly Bush
CHAENOMELES speciosa	Flowering Quince
COTONEASTER species	Cotoneaster
FORSYTHIA x intermedia	Yellow Bells
PHILADELPHUS coronaries	Sweet Mock Orange
VIBURNUM species	Viburnums
FOTHERGILLA species	Fothergilla





Evergreen Shrubs (Native)

ILEX species	Hollies
LEUCOTHOE populifolia	Florida Leucothoe
MYRICA cerifera	Wax Myrtle
OSMANTHUS Americana	American Tea Olive

Evergreen Shrubs (Non-Native)

BUXUS species	Boxwoods
CAMELLIA japonica	Japanese Camellia
CAMELLIA sasanqua	Sasanqua Camellia
CHAMAEROPS humilis	Mediterranean Fan Palm
ILEX species	Chinese and Japanese Hollies
LIGUSTRUM japonicum	Japanese privet
MAHONIA species	Mahonia
NERIUM oleander	Oleander
OSMANTHUS species	Osmanthus
SARCOCOCCA ruscifolia	Sweet Box
SKIMMIA species	Skimmia
YUCCA gloriosa	Mound Lily



PLANT LIST

RECOMMENDED PLANT PALETTE (CONTINUED)

Groundcovers (Native)

AJUGA reptans	Bugleweed
GELSEMIUM sempervirens	Yellow Jessamine
JUNIPERUS species	Junipers
LIRIOPE species	Lilyturf
OPHIOPOGON japonicus	Mondo-Grass
SERENOA repens	Saw Palmetto
TRACHELOSPERMUM asiaticum	Asian Jasmine
VINCA minor	Common Periwinkle
VINCA major	Bigleaf Periwinkle

RECOMMENDED REFERENCE LIST

BOOKS AND JOURNALS

- 1) Calloway, Stephen, Alan Powers, & Elizabeth Cromley. "The Elements of Style: An Encyclopedia of Domestic Architectural Detail" - Most Recent Edition.
- 2) Cusato, Marianne & Ben Pentreath. "Get Your House Right: Architectural Elements to Use & Avoid". 2011.
- 3) McAlester, Virginia & Lee McAlester. "A Field Guide to American Houses".

ELECTRONIC RESOURCES

- 1) *Horiculture Website*. <http://www.monrovia.com>





ARCHITECTURAL REVIEW BOARD (ARB)

The ARB exists to review all new construction, renovations, remodeling, alterations and additions at Village Square. The ARB has been established by the Developer of Village Square for the purpose of guiding and enhancing all development within Village Square. These measures are implemented as a means of protection of home values for all homeowners.

Review and approval by the ARB is the first step in the necessary approvals for any new building, renovation, remodel, or alteration. Documents approved by the ARB must be used in following all the normal procedures administered by Town of Moncks Corner for obtaining building permits.

All Commercial projects must also be submitted to the Town of Moncks Corner for approval.

DESIGN REVIEW ADMINISTRATOR (DRA)

Limitations of Responsibilities

The primary goal of the DRA is to review the application, plans, specifications, materials, and samples submitted to determine if the proposed development conforms in appearance and construction criteria with the standards and the policy as set forth by the Guidelines. The DRA, ARB, and Developer does not assume responsibility for the following:

- The structural adequacy, capacity or safety features of the proposed improvement of structure or satisfaction of flood elevation/flood design.
- Soil erosion, soil conditions or site/drainage elevations.
- Compliance with any or all building codes, safety requirements, governmental laws, regulations and ordinances.
- Performance or quality of work of any contractor.



Functions of the Administrator

The DRA will evaluate the site plans, architectural plans and landscape plans for Village Square based on adherence to the design criteria and performance and quality set forth in these Guidelines. The DRA may also evaluate designs based upon criteria that the DRA deems important to the community. If conflicts arise in meeting these standards, the DRA will review. A has the right to grant variances from the Guidelines.

Applicants will be responsible for any fees related to filing variances with local governmental or other reviewing agencies.

The DRA may monitor the construction process in order to ensure conformance with the approved documents and the standards set forth in the Guidelines. It is, however, the responsibility of the Owner, assisted by his/her Architect and Builder to ensure that what is actually built is consistent with plans approved by the DRA.

The DRA will review all plans. Unapproved or incomplete submissions shall be returned to the Owner for revision and may be resubmitted for review. The response of the DRA will be given as expeditiously as possible, normally within 15 calendar days after all required plans, specifications or other documents referred to in the Guidelines have been submitted to the DRA. One copy of all documentation submitted to the DRA shall be retained for permanent record, and the other copy, bearing the approval of the DRA, will be returned to the Applicant. The approved documents will in no way relieve the builder of his responsibility and liability for adherence to all applicable ordinances and building codes.

QUALIFIED DESIGN PROFESSIONALS

To ensure that Village Square maintains a high quality of architectural designs, all plans for the constructions of dwellings and other buildings or significant structures at Village Square must be designed, drawn, and certified by a South Carolina Registered Architect who has significant experience in residential design and construction.

All landscape plans for the New Landscape and sitework of dwellings, other buildings or significant structures must be designed, drawn and certified by an experienced South Carolina Registered Landscape Architect. Small renovations and additions will not require stamped drawings, however, must be submitted for review.

DESIGN REVIEW PROCESS

General Requirements

There shall be an emphasis on:

- Thoughtful site planning that respects and preserves the natural settings.
- Architecture and Landscape Architecture that fit well with their natural and built surroundings.
- The use of traditional Lowcountry building design concepts and details.
- Only professionals qualified in the fields of architecture, landscape architecture, engineering, surveying, and construction shall be used.

Application Format

Application forms and submittal checklists will be available from the DRA. An application fee will be assessed. Please refer to **Reference Section** for all Application Forms.



DESIGN REVIEW PROCESS

Design Review Procedure

Written permission by the DRA is required prior to undertaking any site improvements, construction, or installation including site clearing or grading.

Submissions to the DRA may be disapproved upon grounds consistent with the objectives of the Design Guidelines, including purely aesthetic considerations.

The following sequence has been established to provide a systematic review process of all proposed designs, plans and construction. These steps represent the necessary procedures in the review process of all proposed designs, plans and construction.

1. Pre-Design & Site Analysis Conference
2. Preliminary Design Submittal
3. Final Design Submittal
4. Stake-out & Tree Barrier Inspection
5. Certificate of Compliance – Final Review

THE FOLLOWING IS AN OUTLINE OF EACH PHASE OF THE DESIGN REVIEW PROCESS AND THE SUBMITTAL REQUIREMENTS FOR EACH PHASE:

1. PRE-DESIGN & SITE ANALYSIS CONFERENCE

A Pre-Design Conference is recommended. It is recommended that the Conference is scheduled prior to commencing extensive site design. The Pre-Design & Site Analysis Conference precedes extensive plan development and is intended to avoid costly redesign and delays during the design and submittal stages by establishing a common ground for the development of the site.

- This item is waived for the Developer and their subsidiary companies.

A Pre-Design Conference can be set up by appointment. The property owner and/or his Architect and Landscape Architect are welcome to meet with the DRA to discuss general design objectives, the characteristics of the particular site and the submittal requirements for ARB review.

To facilitate a productive meeting, the Owner is encouraged to bring the following information:

- **Tree and Topographical Survey**
- **Conceptual Site Plan** showing the following:
 - Anticipated number and location of buildings to be developed on the site.
 - Approximate square footage, orientation, height, and foot-print size of the building(s).
 - Trees to be removed.
 - Relationship of the site to setbacks, buffers, easements and adjoining wetlands & existing homes.
 - Conceptual layout for parking, driveways, porches, terraces, decks, swimming pools, walls and fences.
 - A general concept addressing methods of handling site drainage.
- **Architectural Review Fee:** Fee includes review of architecture, landscape architecture (Refer to Schedule of Fees).



Additionally, design professionals are required to visit Village Square, if possible, for an on-site tour prior to beginning preliminary design plans. The design team can then creatively design the residence in a manner compatible with the overall goals of Village Square. Visiting the site and observing the other homes in Village Square will provide valuable information relative to the site, site placement, existing site parameters, trees of significance and the design process.

2. PRELIMINARY DESIGN SUBMITTAL

The Preliminary Design Submittal is required. A complete Preliminary Design Submittal will include appropriate forms and two complete sets of the following:

- **Architectural Review Fee** includes review of architecture, landscape architecture (Refer to Schedule of Fees).
- **Survey** at a minimum scale of 1"=20'-0" showing boundaries, trees and topography and indicating property boundaries, easements, existing site features, adjacent property development and topography at a one (1) foot contour interval. Show adjacent wetlands if applicable.
- **Tree Survey** at a minimum scale of 1"=10'-0" showing all trees eight inches (8") and above in caliper for all areas proposed for disturbance.

- **Site Plan** at a minimum scale 1" = 10'-0" showing the following:

- Site Location Map.
- Preliminary Tree Removal and Protection Plan.
- Building(s), driveways, walkways and parking locations (overall dimensions, setback lines, square footage).
- Landscape features such as terraces, decks, swimming pools, walls, fences, walks, and service yards.

- **Conceptual Landscape Plan** at a minimum scale of 1" = 10'-0" showing the following:

- Areas to be grassed, plant bed lines, shrub massing and proposed trees.

- **Preliminary Plans** at a minimum scale of 1/8" = 1'-0" showing the following:

- Floor Plans.
- Sections (Wall sections and Lateral/Transverse Sections).
- Two Primary Elevations indicating proposed.



DESIGN REVIEW PROCESS

3. FINAL DESIGN SUBMITTAL

The Final Design Submittal is required. A complete Final Design Submittal will include appropriate forms and two complete sets of the following:

- **Architectural Review Fee** includes review of architecture, landscape architecture (Refer to Schedule of Fees).
- **Site Plan** at a minimum scale of 1" = 10'-0" showing the following:
 - Property lines.
 - Building footprints(s).
 - Existing contours.
 - All easements, right of ways, and setbacks.
- **Utility Plan*** at a minimum scale of 1" = 10'-0" showing the following:
 - Site drainage, catch basins, easements, etc.
 - Sanitary sewer lines.
 - Water lines and meter locations.
 - Electric, telephone, cable, gas lines including meter locations, exterior lighting plan.
 - Location of A/C units and service areas.
- **Grading and Drainage Plan*** at a minimum scale of 1" = 10'-0" showing the following:
 - Existing and Proposed Contours, Spot Grades.
 - Finished Floor Elevations and Drainage Patterns.
- **Conceptual Landscape Plan** at a minimum scale of 1" = 10'-0" showing the following:
 - Landscape Plan showing II new planting and existing vegetation to be saved.
 - Quantities and Sizes of plant materials (noted).
 - Irrigation Plans will be submitted as part of the landscape plans and specifications. Irrigation Plans may consist of an outline of areas to be irrigated and a specification for coverage and shall indicate which areas are irrigated by sprinkler heads and which are irrigated by drip lines.
- **Building Plans** at a minimum scale of 1/4" = 1'-0" & Construction Details at a minimum scale of 1" = 1'-0".
- **Final Plans** for all proposed structures showing the following:
 - Floor Plans at a minimum scale of 1/8" = 1'-0".
 - Wall Sections at a minimum scale of 1/4" = 1'-0".
 - Longitudinal & Transverse Sections at a minimum scale of 1/4" = 1'-0".

- All Elevations at a minimum scale of 1/8" = 1'-0".

- Details at a minimum scale of 1" = 1'-0".

- **Materials and Color Sample Mock-up ON-SITE:** the Owner shall provide Cut Sheets of roof, siding, trim and windows.
- **Specifications** outlining all divisions of work including site work, landscape, architectural, mechanical, and electrical systems.
- **Schedule** to show time frame of construction. If after Final Design approval by the DRA, final construction plans change during the permitting phase, the Owner will submit a set of the revised permitted construction documents to the DRA for approval.

*This information may be included on the Site Plan in lieu of a separate Utility Plan and Grading and Drainage Plan if the information is presented clearly and legibly.

4. STAKE-OUT INSPECTION

The DRA will require the Owner/Contractor to stake the location of the house, decks and other proposed Improvements. The staking shall consist of stakes driven at each major corner of the Improvement, connected with string or colored tape to clearly indicate the Improvement location. Prior to the start of construction, the contractor's final stakeout must be approved by the DRA.

The DRA will require the Owner/Contractor to stake the location of the house, decks and other proposed Improvements. The staking shall consist of stakes driven at each major corner of the Improvement, connected with string or colored tape to clearly indicate the Improvement location. Prior to the start of construction, the contractor's final stakeout must be approved by the DRA.

5. MINOR CHANGES DURING CONSTRUCTION

The DRA can approve minor changes in the field during construction that do not significantly alter the exterior elevations. The Construction Change Application (available from the DRA) shall be completed by the Owner's representative and approved by the DRA for more significant changes. The DRA will determine distinction between minor and major changes. Major changes require submittal to the DRA for review and approval.





DESIGN REVIEW PROCESS

6. CERTIFICATE OF COMPLIANCE- FINAL REVIEW

Architectural Review Fee: Fee includes final review of architecture, landscape architecture (Refer to Schedule of Fees).

A written Certificate of Compliance is the Final Review for development at Village Square. This certificate is issued to an Owner at the completion of construction as assurance by the DRA that all of the requirements of the protective covenants have been satisfied and that the buildings have been built in accordance with the plans approved by the DRA. The Owner must submit his request in writing to the DRA for review at least two (2) weeks prior to substantial completion of the project. The building will not be occupied until a Certificate of Compliance has been issued by the DRA.

Nothing in this review process or this manual removes the Owner or his design consultants from the responsibility to comply with all local, state, and federal regulations that apply to the development of the site and the construction of the buildings. Neither the DRA nor any agent thereof will be responsible to review any plans or specifications submitted for compliance with applicable codes.

Any variations or discrepancies found during the Final Review will be listed in a report by the DRA and provided to the Owner, Architect & Builder. Where corrective action is required, a date will be provided by which time the correction must be completed. Failure to request a Final Review or to correct noted discrepancies may result in forfeiture of the Construction Escrow Deposit.

7. FUTURE IMPROVEMENT REVIEW

It is anticipated that Owners may wish to make improvements or modifications to the exterior of their home or property at some future date. No modifications of existing exterior improvements may be undertaken on any property without prior review and written approval of the DRA.

A request for review of proposed improvements or modifications to the DRA must contain:

- a) Letter of intent with description and purpose of improvements.
- b) Site plan of proposed location of improvements.
- c) Building plans and elevations as applicable.
- d) Materials and color sample boards.

8. GENERAL GUIDELINES

The DRA is required to yield a timely response to all submittals within seven (14) working days. If the DRA does not respond within such time, the application is considered denied.

Final design approval shall be active for six (6) months from date of notification letter. Home construction is expected to begin within this period; failure to comply will result in resubmittal and loss of current retainer.

Any items not specifically addressed in this document will be referred to the Declaration of Covenants, Conditions, Easements and Restrictions for Village Square.

CONSTRUCTION GUIDELINES

General Requirements

In the interest of maintaining safety as well as an appealing image for residents and visitors, the construction process must be regulated. After receiving DRA Final Approval and obtaining all the necessary permits, the Owner's selected Contractor must submit a Construction Application Form and Construction Escrow Deposit before delivery of materials and start of construction. The Contractor's Construction Escrow Deposit is required for any necessary site maintenance, to ensure compliance with the approved plans and to correct any damage to streets, road shoulders and common areas.

Approved plans will be valid for nine (9) months, including all building improvements and landscaping. Absent extenuating circumstances, all construction should be completed within twelve (12) months of the actual initiation of construction. Contact the DRA for authorization prior to commencing work. The Owner's Contractor shall meet all requirements of the Village Square Construction Regulations. Approved landscaping must be in place before occupancy or completion of construction of the building.

Construction Escrow Deposit Fee

Construction Escrow Deposit Fee: Refer to Schedule of Fees.

The Construction Escrow Deposit Fee shall be determined by the ARB as of the date the Final Plans are submitted. The Deposit is payable by check to the Village Square ARB. The fee shall be paid by the Contractor. In the event that the Contractor fails to do so, the Owner will be responsible for the fee.

The Construction Escrow Deposit shall be deposited by the ARB in a construction escrow account. The Construction Escrow Deposit may be used by the ARB for any of the following purposes:

- To pay for the cost to repair any damage to the roadways, roadside curbs, sidewalks or Common Areas caused by Owner or Owner's Contractor or Subcontractors not repaired by the responsible Owner, such Owner's Contractor or Subcontractors.
- To complete any landscaping shown on the Final Plans for a Lot that has not been completed within three months of the completion of the residence on such Lot.
- To pay for the cost of completing any Improvements so that they are in accordance with the approved Final Plans if the Owner fails to complete such Improvements.
- To pay for the cost of restoring or replacing any trees, other vegetation, grades or other natural features improperly removed, altered or destroyed by the Owner, the Owner's Contractors or Subcontractors in violation of the Guidelines.
- To reimburse the Developer for the Owner's share of street cleaning costs during construction. If Owner does not pay such amounts to the Developer in a timely manner as specified in the Construction Rules.
- To pay for the cost of performing any of the Owner's other obligations under the Guidelines.





CONSTRUCTION GUIDELINES

Except for the reimbursements listed above, the ARB shall give an Owner prior notice that it intends to use the Owner's Construction Escrow Deposit for a particular purpose. The Owner shall thereafter have five days from the date of the notice to repair the damage, complete the landscaping or Improvements, or otherwise perform the work for which the ARB intended to use the Owner's Construction Escrow Deposit, or, if the work cannot be completed during that time, to begin the work and thereafter diligently pursue it to completion. If the Owner, upon receipt of the notice, shall fail to perform the work within the five-day timeframe, then the ARB shall thereafter be free to perform it and to use the Owner's Construction Escrow Deposit to pay for the cost thereof. Upon the completion of Improvements and when all work has been completed by either the responsible Owner or the ARB, the ARB shall return to the Owner any unused portion of the Owner's Construction Escrow Deposit.

Any and all interest earned to the Construction Escrow Deposit shall be credited to and retained by the Village Square ARB for its sole use and benefit.

The Deposit will be held and used as a deposit and will be refunded to either the Builder or the Owner at the issuance of the CERTIFICATE OF COMPLIANCE – FINAL REVIEW.

Site Regulations

- All reasonable means shall be taken during construction to protect and preserve all existing vegetation.
- Boards or other materials shall not be nailed to trees during construction. Open trash piles are prohibited.
- Construction debris should be placed in dumpsters.
- Storage should occur within driveway and parking limits of the site.
- Small construction trailers must be approved by the DRA.
- All structures, plantings, fixtures, fencing and landscaping—including streets, trees, lawns, sidewalks, and common areas—which are damaged during or after construction by the property Owner's or the Contractor's or Subcontractor's vehicles, or any other cause related to construction shall be repaired or replaced by the Owner.
- The Owner shall be responsible for the Contractor's actions during construction.
- Any clearing, grading or building done without approval by the DRA will result in suspension of work.
- Fines will be issued to Contractors who do not comply with rules regarding silt-fencing and debris.
- CONTRACTOR will be found liable if the Storm Water Pollution Prevention Plan (SWPPP) is violated in any fashion.



Construction Regulations

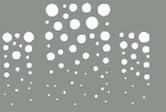
While construction is in progress, inspections may be conducted by the DRA to ensure conformance with the approved drawings. The Owner assumes full liability for failure of construction to comply with approved documents. Any changes made during construction must receive approval by the DRA prior to change. Major changes may constitute resubmitting for final approval. Final inspection will be made after the Contractor has completed construction including all site work and landscaping, cleaned the site of debris and removed any Contractor signage, temporary utilities and/or alterations to the construction site. The cost of any aforementioned work which is not completed and must be completed by Village Square will be deducted from the Construction Escrow Deposit.

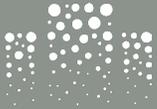
Contractor Regulations

- Contractors are responsible for the actions of their employees while in Village Square.
- All Contractors and Contractor personnel are asked to abide by all Rules and Regulations.
- All construction vehicles must comply with applicable state laws in regards to inspections, licensing and authorization for operation.
- The Contractor must provide toilet facilities for the workers on the job site in a discreet location.
- Contractors must be licensed in the State of South Carolina and permits must be posted and protected from the weather.
- Any Contractor found to be in obvious non-conformance with the Contractor Regulations will be denied access, and work will be suspended.

Construction Signage

- Construction permit boxes similar to a standard document box shall be allowed. These shall in no way be marketing signs of any nature.





SCHEDULE OF HOMEOWNERS ASSOCIATION FEES*

OCTOBER 2027

FINAL plan approval	
New Construction	
ARCHITECTURAL REVIEW FEE	\$500.00
LANDSCAPE REVIEW FEE	\$250.00
Alterations / Renovations	
ARCHITECTURAL REVIEW FEE	\$250.00
LANDSCAPE REVIEW FEE	\$125.00
H.O.A. ADMIN. REVIEW FEE	\$1,000.00
RESUBMITTAL / REVIEW FEE	\$100-\$250

CERTIFICATE of compliance / final review

New Construction

ARCHITECTURAL REVIEW FEE \$250.00

Alterations / Renovations

ARCHITECTURAL REVIEW FEE \$125.00

MARKETING FEE

The greater of \$5,000.00 or 1.5% of the sales price of the home.

The \$5,000.00 shall be payable at the initial closing on the lot and the remaining balance, if any, shall be payable upon retail sale and/or occupancy of the home. The fee shall be made payable to Village Square Homeowners Association, Inc.

* Subject to change without notice.



CONTACT INFORMATION

DESIGN REVIEW ADMINISTRATOR (DRA) ON BEHALF OF THE ARB

Synchronicity

69 Morris Street, Suite 101

Charleston, SC 29403

843.203.4766

info@synchronicity.design

www.synchronicity.design

DEVELOPER

STYO Development, LLC

334 Rhum Retreat

Mount Pleasant, SC 29464

Village Square HOMEOWNERS ASSOCIATION

HOA

The HOA will be administered by the developer until the appropriate time for transition.

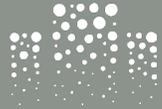
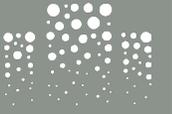


Table 1404.2

Minimum Thickness of Weather Coverings

Minimum Thickness (Inches)	Covering Type
0.25	Adhered masonry veneer
0.019	Aluminum siding
	Anchored masonry veneer
2	Stone (natural)
2.5	Architectural cast stone
2	Other
0.0216 nominal	Cold-rolled copper
0.0162 nominal	Copper shingles
0.313	Exterior plywood (with sheathing)
See Section 2304.6	Exterior plywood (without sheathing)
0.25	Fiber cement lap siding
0.25	Fiber cement panel siding
0.5	Fiberboard siding
0.375	Glass-fiber reinforced concrete panels
0.25	Hardboard siding
0.0162 nominal	High-yield copper
0.0216 nominal	Lead-coated copper
0.0162 nominal	Lead-coated high-yield copper
1	Marble slabs
See Section 2304.6	Particleboard (with sheathing)
See Section 2304.6	Particleboard (without sheathing)
0.125 nominal	Porcelain tile
0.0149	Steel (approved corrosion resistant)
0.344	Structural glass
	Stucco or exterior cement plaster
	Three-coat work over:
0.875	Metal plaster base
0.625	Unit Masonry
0.625	Cast-in-place or precast concrete
	Two-coat work over:
0.5	Unit masonry
0.375	Cast-in-place or precast concrete
1	Terra cotta (anchored)
0.25	Terra cotta (adhered)
0.375	Wood Shingles



Item 5.

Zoning Map Amendment (ZA-25-04) STYO Development

Subject Parcel

1620001017

Moncks Corner

52

1620001072

1620001069

1620001067

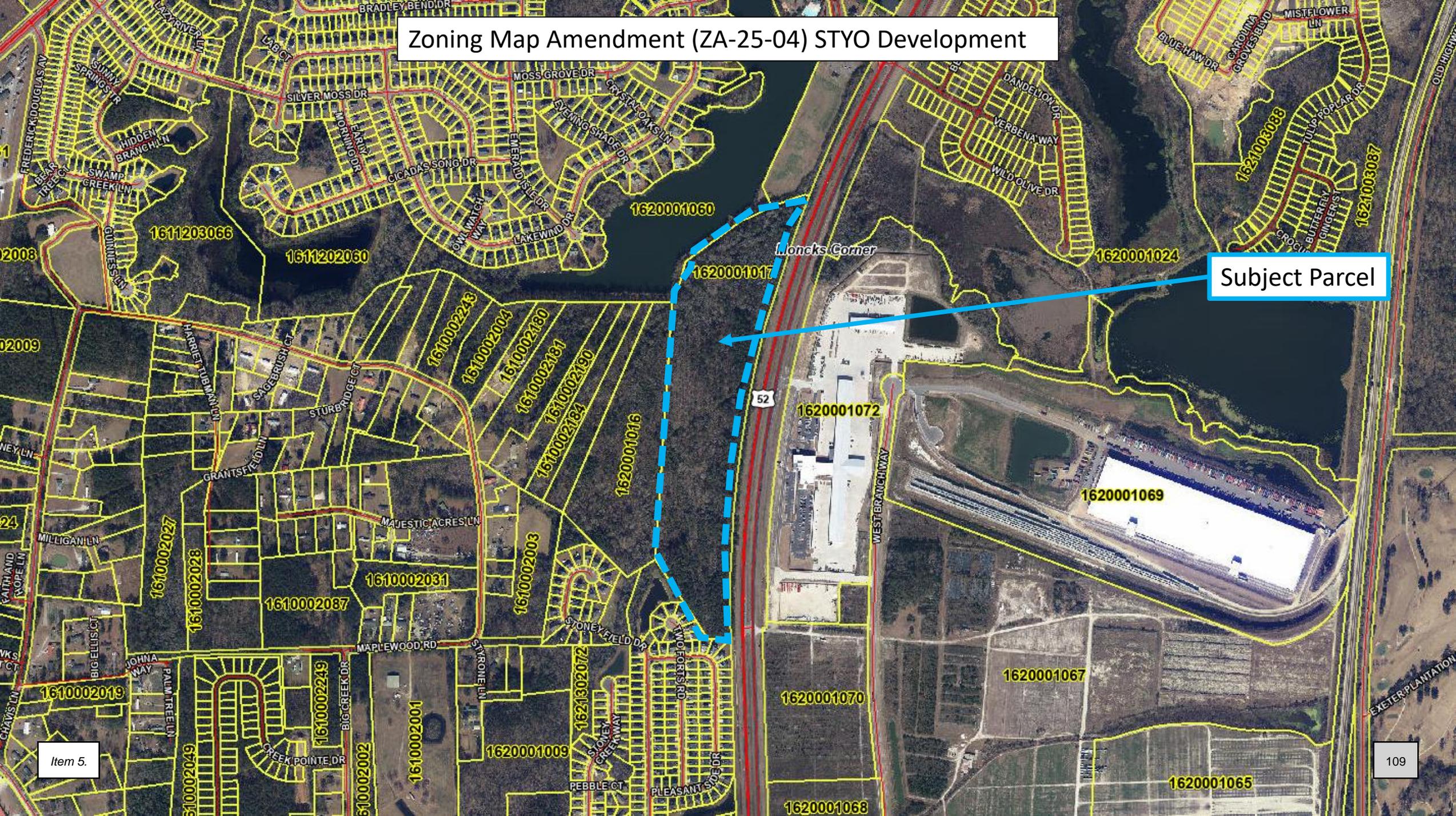
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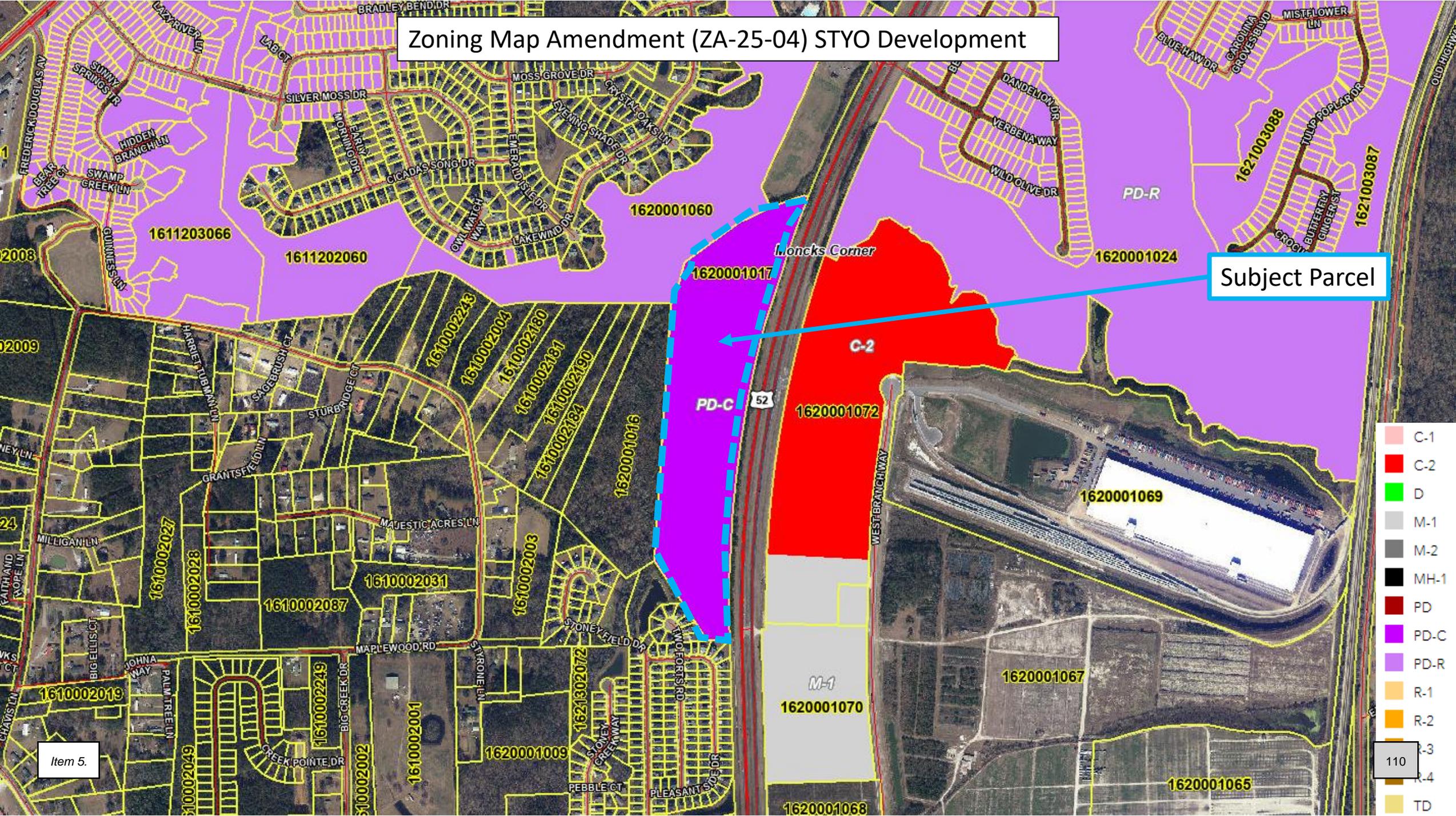
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Item 5.

109



Zoning Map Amendment (ZA-25-04) STYO Development



Subject Parcel

Item 5.

- C-1
- C-2
- D
- M-1
- M-2
- MH-1
- PD
- PD-C
- PD-R
- R-1
- R-2
- R-3
- R-4
- TD

Zoning Map Amendment (ZA-25-04) STYO Development

Subject Parcel

45-15C0395E

52

Moncks Corner

Item 5.

- FEMA Flood Data (eff. 12/7/18)
- FIRM Panels
- Base Flood Elevation
- Limit of Moderate Wave Action
- Floodways
- Flood Zones
 - VE
 - AE
 - A
 - 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
 - AREA NOT INCLUDED
 - NO DATA
- National Wetlands Inventory

Zoning Map Amendment (ZA-25-04) STYO Development

Subject Parcel

Item 5.

LEGEND

- Town Boundary
- Town Proposed Expansion Area

FUTURE LAND USE DESIGNATIONS

- Parks and Open Space
- Rural-Town Transitional Residential
- Town Character Residential
- Suburban Character Residential
- Neighborhood Mixed-Use
- Highway Commercial
- Downtown Commercial
- Employment
- Institutional

EXPANSION AREA FUTURE LAND USE DESIGNATIONS

- Rural-Town Transitional Residential
- Town Character Residential
- Suburban Character Residential
- Town Character Mixed-Use
- Institutional
- Mixed Use Overlay (25' Buffer)
- Highway Commercial Overlay (1000ft Buffer)

