



# Planning Commission Meeting Agenda

Tuesday, November 12, 2024 at 6:00 PM

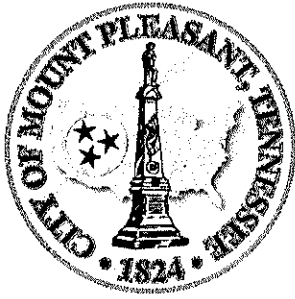
The Tom Hardin Room – 100 Public Square, Mount Pleasant, TN

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1. **Call to Order**
2. **Pledge of Allegiance / Invocation**
3. Roll Call
  - A. John Hunter - *Chair*  
Jennifer Graham - *Vice Chair*  
Pam Johnston - *Secretary / City Commissioner*  
Kris Irvin - *Member*  
Cedric Hollis - *Member*
4. **Approval / Correction of Minutes from Prior Meetings**
  - A. Regular Session - October 8, 2024
5. **Completion / Review of Unfinished Business from prior meeting**
  - A. No unfinished business
6. **Special reports from other City Departments or Committees if applicable**
7. **New Business**

(Comments from citizens may or may not be included, dependent on the issues.)

  - A. Applicant Allen Blevins, Developer desires to undertake the development of certain real property located on Sugar Creek Lane in the City of Mount Pleasant, Maury County, Tennessee, known as Sugar Creek Townhomes by entering into a Development Agreement.
8. **General comments from citizens (May be limited in time and/or number of comments.)**
9. **Board / Staff Comments / Adjournment**



# Planning Commission Meeting Minutes

Tuesday, October 08, 2024 at 6:00 PM

The Tom Hardin Room – 100 Public Square, Mount Pleasant, TN

**1. Call to Order**

John Hunter called the meeting to order.

**2. Pledge of Allegiance / Invocation**

Jennifer Graham led the Pledge of Allegiance and Pam Johnston led the invocation.

**3. Roll Call**

A. John Hunter - *Chair*

Jennifer Graham - *Vice Chair*

Pam Johnston - *Secretary / City Commissioner*

Kris Irvin - *Member*

Cedric Hollis - *Member*

John Hunter - *Chair*

Jennifer Graham - *Vice Chair*

Pam Johnston - *Secretary / City Commissioner*

Kris Irvin - *Member*

Cedric Hollis - *Member*    *Cedric Hollis was unable to attend.*

**4. Approval / Correction of Minutes from Prior Meetings**

Kris Irvin made a motion to approve the last meetings minutes and Jennifer Graham seconded.

A. Regular Session - September 10, 2024

**5. Completion / Review of Unfinished Business from prior meeting**

No unfinished business.

**6. Special reports from other City Departments or Committees if applicable**

No special reports.

**7. New Business**

**(Comments from citizens may or may not be included, dependent on the issues.)**

A. Applicant DTM Enterprise LLC has submitted a Final Plat located at 302 Locust Street to create 3 lots. The property is further identified on tax map 133J Group J Parcel 028.01 consisting of .275 acres.

Jennifer Graham made a motion to approve the Final Plat with the condition of establishing a maintenance easement. Kris Irvin seconded the motion.

- B. Resolution 2024-PC-04 for a recommendation to accept the transfer of and ownership of said portion of Magnolia Drive.

Kris Irvin made a motion to approve the Resolution 2024-PC-04 and Jennifer Graham seconded the motion.

**8. General comments from citizens (May be limited in time and/or number of comments.)**

No comments.

**9. Board / Staff Comments / Adjournment**

No Board or Staff comments.

Pam Johnston made a motion to adjourn, and Jennifer Graham seconded.

**SUGAR CREEK TOWNHOMES DEVELOPMENT AGREEMENT**

THIS AGREEMENT, entered into on November 19, 2024, by and between Alan Blevins, his successors and assigns, (“Developer”), and the CITY OF MOUNT PLEASANT, TENNESSEE, a municipal corporation organized and existing under the laws of the State of Tennessee, hereinafter referred to as “City”.

**WITNESSETH:**

**WHEREAS**, the Developer desires to undertake the development of certain real property located on Sugar Creek Lane in the City of Mount Pleasant, Maury County, Tennessee, known as Sugar Creek Townhomes (“Sugar Creek Townhomes”); and

**WHEREAS**, the Developer has attained certain development entitlements from the City to develop a subdivision consisting of sixteen (16) townhomes on Sugar Creek Lane; and

**WHEREAS**, the Developer proposed in accordance with recommendations of the water service review from Civil & Environmental Consultants, Inc., Mount Pleasant Municipal Planning Commission, and engineering plans to provide for the installation of certain private improvements and the following public infrastructure improvements:

- 8-inch water line along private drive
- 8-inch Sewer line in private drive and sewer manholes
- 8-inch water line on Sugar Creek Ln. from North Main St to Brookside Dr.
- 16-inch water line running along North Main Street from the termination point of the State installed 16” water line to the intersection of the 8” water line on Sugar Creek Lane.
- Sidewalk on Sugar Creek Ln.
- Curb cut with culvert and headwalls into Town Home property
- Detention area out flow headwall

collectively referenced as “Public Improvements” serving Sugar Creek Townhomes; and

**WHEREAS**, the Developer is seeking a credit to required fees and taxes more specifically described as waiver of the water access fees and water tap fees; and

**NOW, THEREFORE**, in consideration of the mutual covenants and assurances set forth herein, the Developer and City do hereby agree as follows:

**1. Recitals**

The foregoing Recitals are incorporated into this Agreement and are made a part hereof.

**2. Developer Responsibilities**

Developer shall have the following responsibilities:

- A. Paved Private Drive from Sugar Creek Lane. The ownership, control, and maintenance shall remain in private ownership and such private drive shall be constructed to the design and construction standards for public ways as stated in the Subdivision Regulations. A permanent access easement over such streets shall be provided to each and every parcel or lot which is to gain access therefrom. All such private improvements shall be maintained by the developer/owner or by a legally established homeowners' association or other similar group approved by the planning commission. The legal documents establishing ownership and maintenance of the easement shall be submitted with the final plat for review and approval and shall be recorded with the final plat.
  
- B. Public Improvements. Developer shall construct the following public infrastructure Improvements at the expense of the Developer unless otherwise stated herein:
  - a. **Eight-inch water line along the length of the private drive as shown on the construction plans**. The water line shall be in an easement dedicated to the city. The easement shall be obtained by and at the sole expense of the Developer. The Developer shall prepare as-built drawings of the water line and shall dedicate such improvements to the City free and clear of all liens and encumbrances on the property and public improvements thus dedicated. Developer shall also require an Irrevocable Standby Letter of Credit for maintenance of the improvement in an amount equal to 25% of the cost to complete the improvement and in effect for one year from the date of acceptance. The dedication is not complete until the City accepts the dedication and the standby letter of credit.
  
  - b. **Eight-inch Sewer line along the private drive (about 100 ft short) and sewer manholes as shown in the construction plans**. The sewer line and manholes shall be located in easements dedicated to the City. The easements shall be obtained by and at the sole expense of the Developer. The Developer shall install sanitary sewer facilities in a manner prescribed by the regulations of the Tennessee Department of Environment and Conservation, the City's sewer specifications, and by any other applicable standards and specifications. All plans shall be designed and approved in accordance with the rules, regulations, specifications, and standards of the City, TDEC, and any applicable governmental agency or appropriate unit thereof. The Developer shall prepare as-built drawings of the sanitary sewer facility and shall dedicate such improvements to the City free and clear of all liens and encumbrances on the property and public improvements thus dedicated. Developer shall also require an Irrevocable Standby Letter of Credit for maintenance of the improvement in an amount equal to 25% of the cost to complete the improvement and in effect for two years from the date of acceptance. The dedication is not complete until the City accepts the dedication and the standby letter of credit.

**Eight-inch water line on Sugar Creek Ln. from North Main St to Brookside Dr.** The water line design/service shall be in accordance with Civil & Environmental Consultants, Inc.’s Memo dated June 19, 2024, attached hereto as **Exhibit A**, and the City’s and the Department of Environment and Conservation’s Design Criteria. The City should have the final design reviewed by the City’s Engineer prior to approval. The water line shall be located in easements dedicated to the City. The easements shall be obtained by and at the sole expense of the Developer.

The Developer shall prepare as-built drawings of the water line and shall dedicate such improvements to the City free and clear of all liens and encumbrances on the property and public improvements thus dedicated. Developer shall also require an Irrevocable Standby Letter of Credit for maintenance of the improvement in an amount equal to 25% of the cost to complete the improvement and in effect for one year from the date of acceptance. The dedication is not complete until the City accepts the dedication and the standby letter of credit.

- c. **Sixteen-inch water line running along North Main Street from the termination point of the State installed 16” water line to the intersection of the 8” water line on Sugar Creek Lane.** The water line design/service shall be in accordance with Civil & Environmental Consultants, Inc.’s Memo dated June 19, 2024, attached hereto as **Exhibit A** and the City’s and the Department of Environment and Conservation’s Design Criteria. The City should have the final design reviewed by the City’s Engineer prior to approval. The water line shall be located in easements dedicated to the City. The easements shall be obtained by and at the sole expense of the Developer.

The Developer shall prepare as-built drawings of the water line and shall dedicate such improvements to the City free and clear of all liens and encumbrances on the property and public improvements thus dedicated. Developer shall also require an Irrevocable Standby Letter of Credit for maintenance of the improvement in an amount equal to 25% of the cost to complete the improvement and in effect for one year from the date of acceptance. The dedication is not complete until the City accepts the dedication and the standby letter of credit.

- d. **Sidewalk on Sugar Creek Lane as shown on the Construction Plans.** The sidewalks shall be included within the dedicated non-pavement right-of-way of the public ways as indicated in the table included in Subsection 4-108.1 of the subdivision regulations and shall be improved as required by Subsection 4-103.4 of the subdivision regulations. Concrete curbs are required for all public ways where sidewalks are to be constructed. A median strip of grassed or landscaped area at least two (2) feet wide shall separate all sidewalks from adjacent curbs.

- e. **Curb cut with culvert and headwalls into Town Home property**
  - f. **Detention area out flow headwall.** All such private detention area shall be maintained by the developer/owner or by a legally established homeowners' association or other similar group approved by the planning commission and shall be noted on the plat. The legal documents establishing ownership and maintenance of the easement shall be submitted with the final plat for review and approval and shall be recorded with the final plat.
- C. All improvements must be constructed in accordance with the final Preliminary Site Plan and Construction Drawings and in accordance with the City's Subdivision Regulations.
- D. Preliminary Plat and Construction Plans. The Developer shall construct all improvements to comply with the Preliminary Plat approved on September 12, 2023 attached as **Exhibit B**, and the construction plans approved with conditions by the Mt. Pleasant Planning Commission on December 12, 2023, attached as **Exhibit C**; **Developer agrees to adapt the plans to incorporate a 16-inch water line along North Main Street and the correct signage.** In the event of a disagreement as to compliance with or interpretation of the Construction Plans and the City's specifications, the decision of the City shall be final and binding on the Developer. Any revisions to the Construction Plans shall be prepared by a design professional licensed by the State of Tennessee to design all systems and shall bear the seal, signature, date, and license number of the professional preparing the Construction Plans.
- E. Extension. The Planning Commission extended the approval of the Sugar Creek Townhomes Preliminary Plat and Construction Drawings approved on September 12, 2023 and December 12, 2023, respectively for a period of twelve (12) months on September 10, 2024. The Preliminary Plat and Construction Drawings shall be effective until December 12, 2025.
- F. Commencement of Construction. Construction of Improvements may not begin until the following events have occurred:
- a. The Tennessee Department of Environment and Conservation has approved the applicable portions of the Plans had has confirmed its approval to the City and/or Developer in writing; and,
  - b. The preliminary subdivision plat, prepared in accordance with Section 5-104 of the Subdivision Regulations, has been revised to incorporate the Planning Commission's conditions of approval; and,
  - c. Construction documents for the site improvements and off-site water line improvements have been submitted, reviewed, and approved by City; and,
  - d. The City's engineer has reviewed and approved the water line design/service; and,

- e. The Developer has paid the building permit fees and all applicable fees; and,
  - f. The Developer has given the City notice of commencement of construction, in writing.
- G. Final Subdivision Plat. The final subdivision plat must be prepared in accordance with Section 5-104 of the Subdivision Regulations and must be approved by the Planning Commission. The Improvements must be included on the final subdivision plat that is submitted to the Planning Commission. Before signing of the final subdivision plat by the secretary of the planning commission, all public improvements must be installed and dedicated. or Developer must obtain, and the Planning Commission must approve, an adequate performance bond pursuant to the subdivision regulations.
- H. Performance Surety. If all Improvements are not complete at the time Developer submits final plat for approval, Developer shall provide the City a performance surety, in an amount determined by the City Engineer for the Improvements and other items specified by the Construction Plans, plats, and plans approved by the Mt. Pleasant Municipal Planning Commission. This performance surety shall secure all performance of all obligations of the Developer under this Agreement. The Performance Surety shall meet all requirements established in subsection 3-1-1.2 of the Subdivision Regulations and secure full compliance with all terms and conditions of this Agreement in whole or in part according to the terms of the performance surety. The performance surety will not be released, except and until there has been full compliance with this Agreement.

**3. Development Taxes and Fees (if applicable)**

The following development taxes and fees are applicable to the project:

- A. Water Access Fees. Pursuant to Section 18-401, *et. seq.* of the City’s Municipal Code, a water access fee in the amount of \$3,500 is assessed for each residential or residential equivalent connection to the City’s water service.
- B. Sewer Access Fees. Pursuant to Section 18-501, *et. seq.* of the City’s Municipal Code, a sewer access fee in the amount of \$3,500 is assessed for each residential or residential equivalent connection to the City’s sewer service.
- C. Water Tap Fees. Pursuant to Section 18-125 of the City’s Municipal Code, a water tap/meter fee in the amount of \$2,000.00 is charged per ¾” tap/meter installed within the city limits.
- D. Sewer Tap Fees. Pursuant to Section 18-125 of the City’s Municipal Code, a sewer tap fee in the amount of \$3,000.00 is charged per residential tap installed within the city limits.

The development consists of sixteen (16) residential units within the city limits that shall be connected to public sewer and water services.



**4. Reimbursement Due to the Developer**

The subdivision regulations require that necessary action shall be taken by the developer to extend a water supply system capable of providing domestic water use and fire protection. An 8” water line running along Main Street will adequately provide the requested water service to Sugar Creek Townhomes. However, the City requested, and Developer agreed to construct a 16” water line along Main Street to comply with the City’s Master Plan. This results in an additional up-front expense to Developer of \$120,000 (“Betterment Cost”). The cost breakdown of the Betterment Cost is attached hereto and incorporated herein as **Exhibit D**.

In consideration of the Developer’s installation of the 16” water main from the termination point of the State installed 16” water line to Sugar Creek Lane, and repayment for the Betterment Cost, the City shall waive the water access fees (\$3,500 x 16 = \$56,000) and water tap/meter fees (\$2,000 x 16 = \$32,000) for the development. This waiver repays \$88,000 of the Betterment Cost. The City agrees to pay Developer \$32,000 upon completion of said Water Lines and approval from Civil & Environmental Consultants, Inc (CEC).

**5. Sewer Access Fees.** Developer agrees to pay the sewer access fee in the amount of \$3,500 for each residential unit/lot (16) within the development at the time of the issuance of the building permit for each such lot.

**6. Agents for City and Developer**

The agent of the City for the purposes of this Agreement is the City Manager of the City of Mount Pleasant, Tennessee, or his/her designee. The agent for the Developer is Gerald Vick, P.E. and WES Engineering & Surveyors.

**7. Further Assurances**

The Parties each hereby agree to execute and deliver all of the agreements and documents required to be executed and delivered by them in this Agreement and the instruments attached hereto, and to execute and deliver such additional instruments and documents and to take such additional actions as may be reasonably required from time to time in order to effectuate the transactions contemplated by this Agreement and the instruments attached hereto.

**8. Notices and Communication**

All notices or other communications hereunder shall be deemed sufficiently given and shall be deemed given when delivered by hand delivery or mailed by first class, postage prepaid, registered or certified mail or overnight couriers service such as Federal Express or UPS and addressed as follows:

Office of City Manager  
ATTN: Phillip Grooms  
100 Public Square

P.O. Box 426  
Mount Pleasant, TN 38474

The mailing address of the Developer for the purposes of notification requirements of this Agreement shall be:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Either party may change it address for notification by delivering notice thereof in accordance with this Paragraph 8.

**9. Non-Waiver**

None of the terms, covenants or conditions of this Agreement shall be deemed waived by any act of either Party unless same is specified in writing executed by all Parties hereto.

**10. Liability**

The City shall have no liability except as specifically provided in this Agreement.

**11. Governing Law**

This Agreement shall be construed under and enforced pursuant to the laws of the State of Tennessee.

**12. Venue and Jurisdiction**

Exclusive venue and jurisdiction for any litigation brought pursuant to or with regard to this Agreement shall be in the Circuit Court for Maury County, Tennessee.

**13. Severance**

Should any provision of this Agreement be declared invalid, illegal or unenforceable by a court of competent jurisdiction, the invalidity, illegality or unenforceability shall not affect other provisions of this Agreement, which shall remain in full force and effect.

**14. Captions**

Captions of the sections of this Agreement are for convenience and reference only and shall in no way be held to explain, modify, amplify or aid in the interpretations, construction, or meaning of the provisions of this Agreement

**15. Amendment**

This Agreement shall be amended only in writing executed by all Parties hereto.

**16. Assignment**

This Agreement shall not be assigned by the Developer to a third party without prior written consent of the City, which shall not be unreasonably withheld.

**17. Time is of the Essence**

All Parties hereto acknowledge that time is of the essence, and each will commit to the completion of the project herein on an expedited basis.

**18. Binding Effect**

This Agreement shall be binding upon each of the parties hereto, their successors, heirs and assigns and that there are no understandings or agreements between them except as contained in this Agreement.

**19. Entire Agreement**

This writing constitutes the entire agreement between the Parties and supersedes all previous agreements, if any. No Party to this Agreement makes any representation to the other Party, except as expressly set forth in this Agreement.

**20. Execution**

This Agreement may be executed in one or more identical counterparts, each of which shall be deemed to be an original for all purposes, and all of which taken together shall constitute a single instrument.

**Approved by the City of Mount Pleasant Board of Commissioners on \_\_\_\_\_, 20\_\_.**

SO AGREED by the undersigned Parties as of the date first given.

**ALAN BLEVINS**

**CITY OF MOUNT PLEASANT, TENNESSEE**

By: \_\_\_\_\_  
ALAN BLEVINS

By: \_\_\_\_\_  
BILL WHITE, Mayor

**EXHIBIT A**

**CIVIL & ENVIRONMENTAL CONSULTANTS, INC'S JUNE 19, 2024  
MEMO**

**EXHIBIT B**

**PRELIMINARY PLAT APPROVED ON SEPTEMBER 12, 2023**

**EXHIBIT C**

**CONSTRUCTION PLANS APPROVED WITH CONDITIONS BY THE MT.  
PLEASANT PLANNING COMMISSION ON DECEMBER 12, 2023**

**EXHIBIT D**  
**COST BREAKDOWN OF BETTERMENT COST**

# Memo

Date: June 19, 2024  
To: Kate Collier, City Manager  
From: Ricky Oakley  
Cc: Ted Howell, Public Works Director  
Phillip Grooms, Asst City Manager  
Peter Chimera, CEC Project Manager  
Subject: Sugar Creek Townhomes – Water Service Review  
CEC Project No.: 334-922/0002

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Civil & Environmental Consultants, Inc. (CEC) has completed its review of the May 5, 2023 Letter of Availability for Water Service for Sugar Creek Townhomes project. This review also considers the Subdivision Plan Review #2 results dated September 27, 2023.

## CEC considered several parameters prior to completion of this evaluation

1. The May 5, 2023 LOA indicated the Water System could provide service to Sugar Creek Townhomes. It considered extending a water line on Sugar Creek Lane approximately 725 LF and connecting to the water system at Brookside Drive and at Main Street. The approval recommended replacing and upsizing 375 LF of AC pipe to 16-inch DIP on Main Street in keeping with the City's long term plan for a 16-inch transmission main from south to north through the water system.
2. Analysis by CEC was from a Water Model prepared by CEC from data (shape files and water billing records) provided by the City. The Water Model has not been calibrated, but it generally corresponded with hydrant flow data from the original LOA. Note: the hydrant flow test is over 1 year old. The design engineer for the project may consider retesting to assure existing conditions still support the recommendation.
3. The CEC analysis considered 16 Townhomes and an instantaneous demand of 2.0 gpm per unit or 32 gpm total. It was not readily apparent if the May 5 LOA included an instantaneous demand in their analysis.
4. The CEC analysis differed from the May 5 LOA from a fire flow perspective. The CEC analysis was based on a fire flow of 1,000 gpm for a multi-family unit construction. The previous analysis was based on providing 500 gpm. Both evaluations included maintaining 20 psi in the system.
5. CEC Water Modeling Conditions
  - a. New Lawrenceburg Tank Elevation 920 ft (10 feet below overflow)
  - b. Industrial Park Tank Elevation 860 ft (7 feet below overflow)

## CEC Findings

1. It appears the water line recommendations in the May 5 LOA/Sept. 27 Plan Review are satisfactory and should not result in non-compliance service issues to the City. This Finding is based on CEC's analysis with a demand of 1,032 gpm at the Townhome



# Exhibit A

location and an 8-inch water line (City minimum) interconnected between Brookside Drive and Main Street.

2. It is recommended to replace the AC water line on Main Street as originally proposed. An 8" line will provide the requested service, but it is recommended that a 16" be installed to comply with the City's master plan that includes a 16" line along Main Street.
3. It is also recommended that the existing 6" cast iron waterline on the east side of Main Street be abandoned from Sugar Creek Lane, to Magnolia Drive. This will include 2 each 12-inch highway bores with 6-inch water line, and 3 service relocations (2 of which include highway bores).
4. The water line design/service shall be in accordance with the City's and TDEC's Design Criteria. The City should have the final design reviewed by the City's Engineer prior to acceptance.

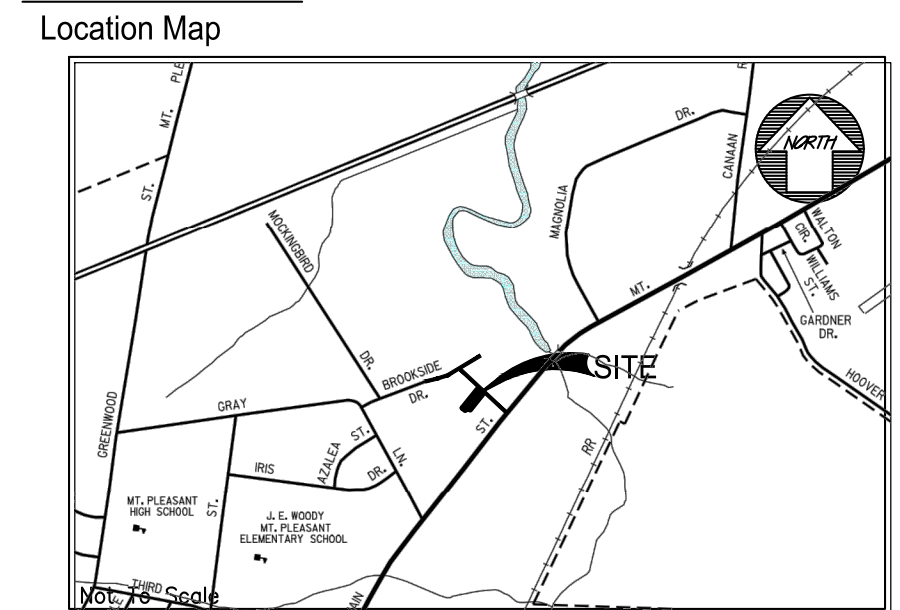
END OF MEMORANDUM

# Exhibit A



# PRELIMINARY PLAT

## Exhibit B



**SITE DATA:**

OWNER: ALAN BLEVINS  
819 NORTH MAIN STREET  
MT. PLEASANT, TN 38474

PARCEL NUMBER: TAX MAP 133, PARCEL 09.06  
DEED BOOK: R2825, PG 1074

SUBJECT PARCEL ZONING: R-3

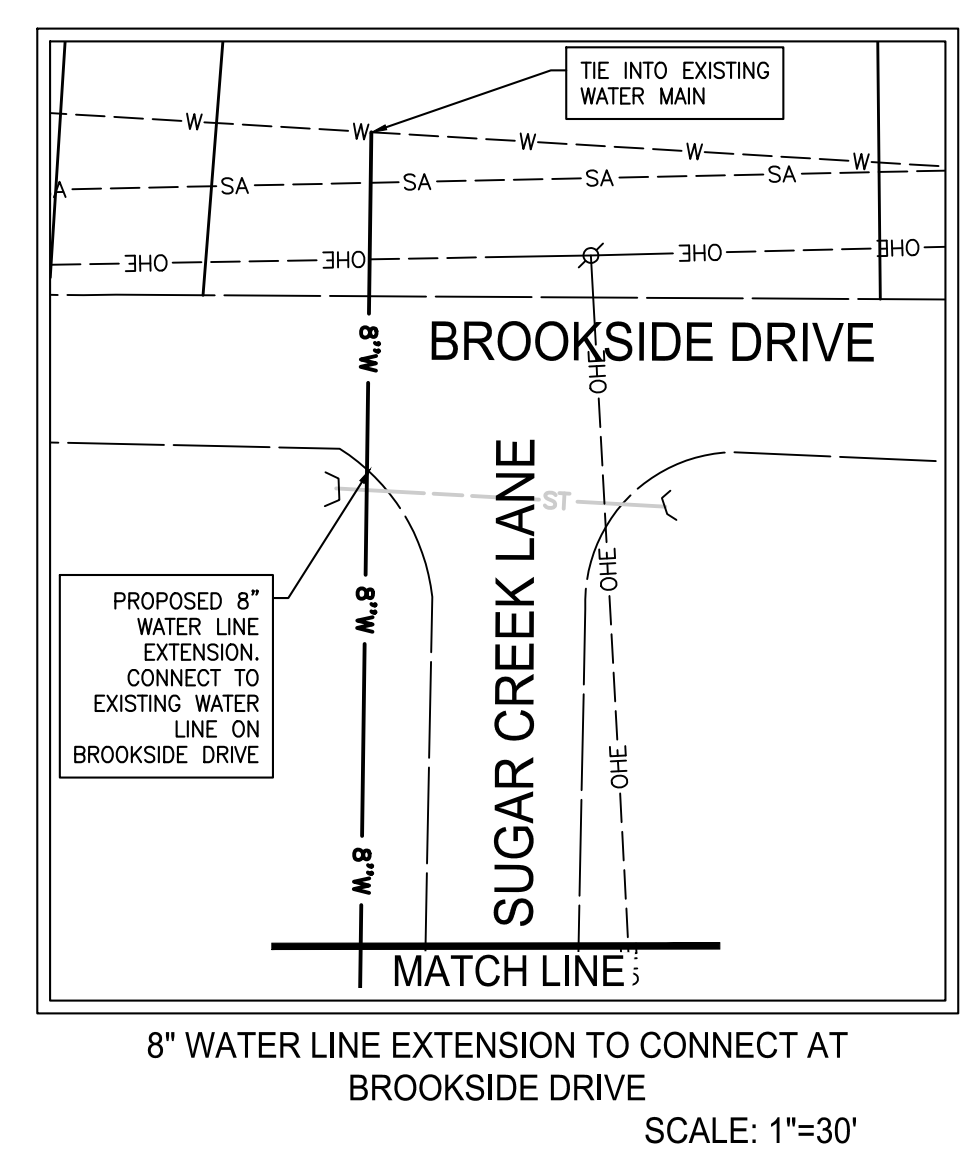
ACREAGE OF SITE: 2.21 ACRES

MINIMUM REQUIRED BUILDING SETBACKS:  
20' FRONT  
5' REAR  
5' SIDE

UTILITY SERVICES:  
WATER SERVICE  
MT. PLEASANT WATER SYSTEM  
100 PUBLIC SQUARE  
MT. PLEASANT, TENNESSEE 38474  
(615) 379-7717

ELECTRIC SERVICE  
MT. PLEASANT POWER SYSTEM  
123 N. MAIN STREET  
MT. PLEASANT, TENNESSEE 38474  
(931) 379-3233

PURPOSE NOTE: CONSTRUCT SITE & UTILITIES FOR 16 RESIDENTIAL TOWNHOMES.



**GEOTECHNICAL NOTE:**

CONTRACTOR TO COMPLETE A GEOTECHNICAL STUDY CONDUCTED ON THIS SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN HAVE RELIED ON GENERAL INFORMATION FROM FIELD REVIEW OF EXISTING TERRAIN. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, THE GEOTECHNICAL ENGINEER AND THE OWNER/DEVELOPER. BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED, ALL PARTIES TO THE PROJECT (OWNER, CIVIL ENGINEER, GEOTECHNICAL ENGINEER, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

**SITE BENCHMARK NOTE:**

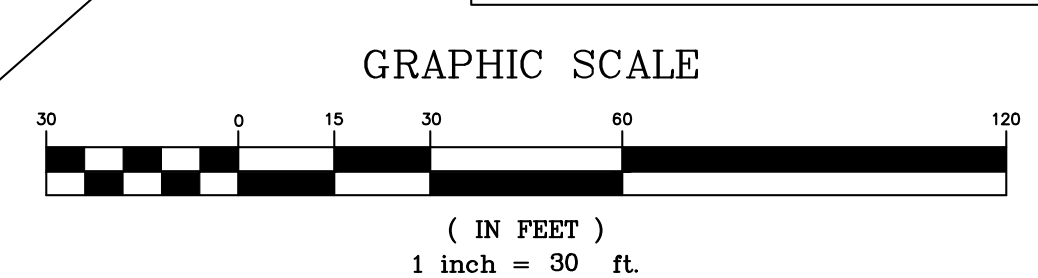
CONTRACTOR SHALL ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION. EXISTING BENCHMARK MUST BE RE-VERIFIED AND APPROVED BY THE ENGINEER/SURVEYOR PRIOR TO USE.

BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY:

**WES** W.E.S. ENGINEERS AND SURVEYORS  
2486 NASHVILLE HWY  
COLUMBIA, TENNESSEE 38401  
(931) 388-2329

**FLOOD STUDY NOTE:**

THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS (FIRM'S) MAP NUMBER 47119C0285E DATED APRIL 17, 2007.



TAX MAP 133B, Group "D" (1.00)  
JAMES AND JUDY CAMPAGNA  
D.B. R2489 PG. 693  
R.O.M.C., TN  
GRAY LANE SUBDIVISION LOT 1  
PB: PB, PG 147

TAX MAP 133 (09.03)  
LARRY A. JR & MARY ELLEN WILSON  
D.B. R2102 PG. 106  
R.O.M.C., TN

TAX MAP 133C, Group "B" (01.00)  
LINDA B CLARK & JOSEPH H BRAUNER  
D.B. R1737 PG. 365  
R.O.M.C., TN  
SUGAR CREEK SECTION 4 LOT 1A  
PB: P13, PG 286

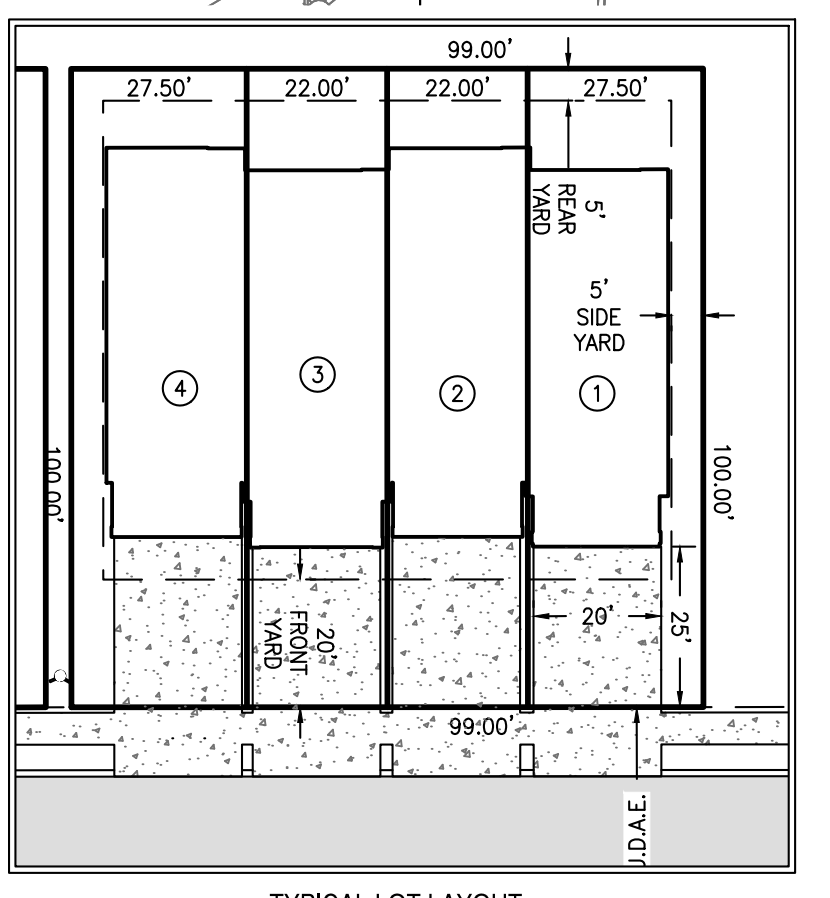
TAX MAP 133 (9.01)  
TIETGENS PROPERTIES  
D.B. R2103 PG. 522  
R.O.M.C., TN  
GRAY LANE PLAZA, Tract 2  
PB: P12, PG 35

TAX MAP 133 (09.08)  
SYSTEM CAPITAL REAL PROP CORP., A DELAWARE CORPORATION  
D.B. R1436 PG. 13  
R.O.M.C., TN  
GRAY LANE PLAZA TRACT 4  
PB: P12, PG 35

TAX MAP 133 (09.10)  
Williams Funeral Home, Inc.  
D.B. R2728 PG. 10  
R.O.M.C., TN  
GRAY LANE PLAZA, Revision TRACT 2 and 3  
PB: P22, PG 349

LOT AREA TABLE

LOT NUMBER	SQUARE FEET	ACRES
1	2,750.0	0.06
2	2,200.0	0.05
3	2,200.0	0.05
4	2,750.0	0.06
5	2,750.0	0.06
6	2,200.0	0.05
7	2,200.0	0.05
8	2,750.0	0.06
9	2,750.0	0.06
10	2,200.0	0.05
11	2,200.0	0.05
12	2,750.0	0.06
13	2,750.0	0.06
14	2,200.0	0.05
15	2,200.0	0.05
16	2,750.0	0.06



**OPEN SPACE NOTE:**

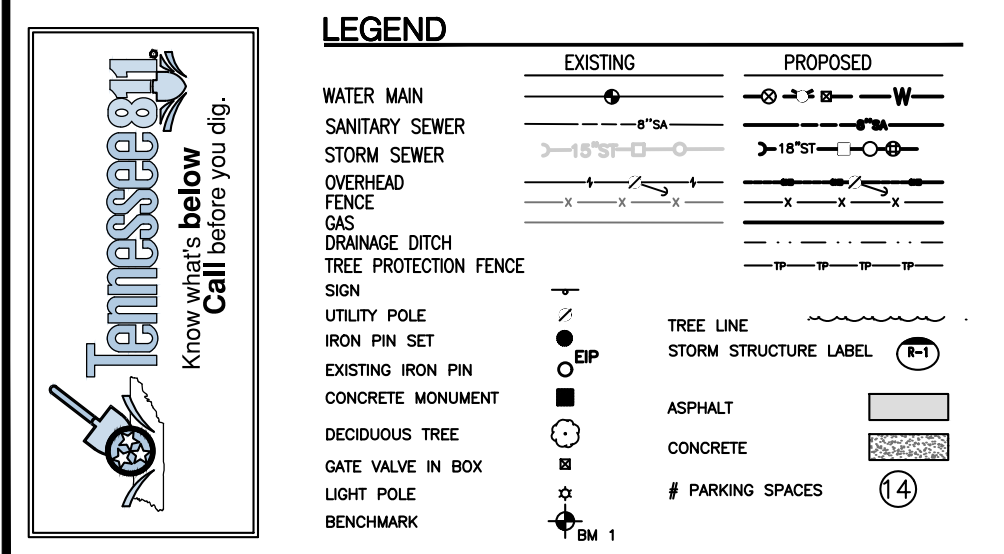
ALL OPEN SPACE AREA IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, CREATED FOR THE PURPOSE OF MAINTAINING ALL COMMON OPEN SPACE AND GROUNDS INCLUDING THE DETENTION AREAS SHOWN ON THIS PLAT.

**BENCHMARK**

BENCHMARK #1  
EXISTING IRON PIN  
ELEV. = 629.34'  
N = 444,172.53  
E = 1,611,706.78  
TENNESSEE STATE PLANE COORDINATE SYSTEM  
NAD 83 AND NAVD88 DATUM

**WARNING! UTILITY LINES!**

THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF OVERHEAD OR UNDERGROUND SERVICES, THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THE UNDERGROUND UTILITY LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.



**APPROVED**

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WES ENGINEERS & SURVEYORS  
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PHONE: (931) 388-2329  
www.wesengineers.com

CLIENT: ALAN BLEVINS  
P.O. BOX 38  
COLUMBIA, TN 38402

DATE: \_\_\_\_\_

REVISIONS: \_\_\_\_\_

**SUGAR CREEK TOWNHOMES**

SUGAR CREEK LANE  
MT. PLEASANT, MAURY COUNTY, TENNESSEE

PRELIMINARY PLAT

Drawn: JG  
Checked: CV  
Approved: CV  
Date: 08/09/2023

Job No: 20520-1  
Scale: Vertical: 1"=30'  
Horizontal: \_\_\_\_\_

1 of 1

# A SITE PLAN FOR SUGAR CREEK TOWNHOMES

SUGAR CREEK LANE, MT. PLEASANT, TENNESSEE  
TAX MAP 133, PARCEL 09.06  
TOWN HOMES SITE PLAN

**Exhibit C**



**LOCATION MAP**

NOT TO SCALE  
MT. PLEASANT, MAURY COUNTY, TENNESSEE

**SPECIFIED SEQUENCE OF WORK FOR THE SELECTED CONTRACTOR:**

1. INSTALL PHASE 1 OF EROSION PREVENTION & SEDIMENT CONTROL MEASURES.
2. BEGIN SITE EXCAVATION & FILLING TO CONSTRUCT DETENTION BASINS TO FUNCTION AS SEDIMENT BASINS DURING CONSTRUCTION.
3. BEGIN SITE CONSTRUCTION & UTILITY CONSTRUCTION.
4. CONSTRUCT / INSTALL PAVEMENT BASE STONE & BINDER ONCE UTILITY CONSTRUCTION IS COMPLETE.
5. COMPLETE SOIL STABILIZATION (FINAL DRESSING SITE) ONCE PAVING IS NEARING COMPLETION.
6. COMPLETE PUNCH LIST ITEMS, AS-BUILT, INFRASTRUCTURE CERTIFICATIONS AS REQUIRED FOR C.O.

**UTILITY COMPANIES:**

UTILITIES SHOWN ARE BASED ON LIMITED DATA. THERE IS NO GUARANTEE AS TO THEIR LOCATION OR SIZE. PLEASE CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION. POSSIBLE CONTACTS IN THIS AREA INCLUDE:

**MUNICIPALITY:**  
CITY OF MT. PLEASANT  
100 PUBLIC SQUARE  
MT. PLEASANT, TN 38474  
(931) 379-7717

**ELECTRIC:**  
MT. PLEASANT  
POWER SYSTEM  
123 N. MAIN STREET  
MT. PLEASANT, TN 38474  
(931) 379-3233

**STORM WATER:**  
CITY MT. PLEASANT  
BUILDING & PLANNING  
100 PUBLIC SQUARE  
MT. PLEASANT, TN 38474  
(931) 379-7717

**WATER:**  
MT. PLEASANT  
WATER DEPARTMENT  
100 PUBLIC SQUARE  
MT. PLEASANT, TN 38474  
(931) 379-7717

**SANITARY:**  
CITY OF MT. PLEASANT  
WASTEWATER PLANT  
878 S. CROSS BRIDGES RD.  
MT. PLEASANT, TN 38474  
(931) 379-4612

**GAS:**  
CITY OF MT. PLEASANT  
100 PUBLIC SQUARE  
MT. PLEASANT, TN 38474  
(931) 379-7717

THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE CRITERIA OF THE CITY OF MT. PLEASANT, TENNESSEE. THE PLANS ARE NOT RELEASED FOR CONSTRUCTION UNTIL THE RELATIVE PERMIT HAS BEEN ISSUED BY THE MUNICIPALITY. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY THE RELEVANT DEPARTMENT SUPERINTENDANT OR THE PLANNING COMMISSION.

**PRIMARY CONTRACTOR INFORMATION:**

COMPANY NAME: \_\_\_\_\_  
CONTACT PHONE: \_\_\_\_\_

TDEC LEVEL I CERTIFIED 24 HOUR POINT OF CONTACT FOR SOIL EROSION CONTROL:

NAME: \_\_\_\_\_  
PHONE: \_\_\_\_\_

STATE OF TENNESSEE NPDES PERMIT - NOTICE OF COVERAGE TRACKING NUMBER: \_\_\_\_\_  
DATE: \_\_\_\_\_

**SHEET INDEX**

COVER	C-3.2	EPSC DETAILS
C-1.0 LAYOUT & UTILITY PLAN	C-4.0	CONSTRUCTION DETAILS
C-2.0 GRADING & DRAINAGE PLAN	C-4.1	CONSTRUCTION DETAILS
C-2.1 DRAINAGE PLAN	C-5.0	SANITARY SEWER PLAN & PROFILE
C-3.0 EPSC PHASE 1 PLAN	C-5.1	SANITARY SEWER DETAILS
C-3.1 EPSC PHASE 2 PLAN	L-1.0	LANDSCAPE PLAN

**GENERAL NOTES**

1. PROPOSED USE: TOWNHOMES SITE PLAN
2. A PRE CONSTRUCTION MEETING WITH THE MUNICIPALITY IS REQUIRED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING AND PROPOSED UTILITIES FROM DAMAGE DURING ALL STAGES OF CONSTRUCTION.
4. THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO CONSTRUCTION, ANY ALTERATION, OR VARIANCE FROM THESE PLANS.
5. DEVELOPER SHALL COMPLY WITH TDEC EROSION PREVENTION AND SEDIMENTATION CONTROL HANDBOOK, CURRENT EDITION.
6. UNDERGROUND DRY UTILITIES SHALL BE EXTENDED FROM EXISTING LOCATIONS TO SERVICE THIS SITE AS REQUIRED BY UTILITY COMPANIES.
7. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
8. HANDICAP PARKING SPACES SHALL BE MARKED WITH ABOVE GRADE SIGNS IN ACCORDANCE WITH CURRENT ADA STANDARDS. VAN ACCESSIBLE SPACES SHALL BE MARKED AS SUCH.
9. ALL ON-SITE TRAFFIC SIGNS SHALL MEET THE REQUIREMENTS OF THE CITY ENGINEERING REQUIREMENT, ZONING ORDINANCE, & THE MUTCD.
10. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF MT. PLEASANT TENNESSEE.
11. UTILITIES AS SHOWN INDICATE THE APPROXIMATE LOCATION OF FACILITIES ONLY AND NO GUARANTEE IS GIVEN TO THE COMPLETENESS OR ACCURACY THEREOF. NO EXCAVATION MAY BE MADE WITHIN 4 FEET OF THESE UTILITIES UNLESS AND UNTIL SUCH UTILITIES HAVE BEEN POSITIVELY LOCATED AS TO HORIZONTAL AND VERTICAL POSITION. CONTRACTOR SHALL CONTACT UTILITY COMPANY AND TENNESSEE ONE CALL AT 811 (1-800-351-1111) THREE WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXACT LOCATION OF ALL EXISTING UTILITIES.
12. THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD BOUNDARY AND FLOODWAY MAP COMMUNITY PANEL NO. 47119C0265E. [ZONE X] EFFECTIVE DATE APRIL 16, 2007
13. THE LIMIT OF CONSTRUCTION IS SHOWN ON THE CONSTRUCTION PLANS, ANY WORK OUTSIDE OF THE LIMIT OF CONSTRUCTION IS TO BE COORDINATED BY THE CONTRACTOR AND PRE-APPROVED BY THE APPROPRIATE PROPERTY OWNER.

**SITE DATA**

PARCEL NUMBER: TAX MAP 133, PARCEL 09.06  
DEED BOOK: R2825, PG 1074

PARCEL ADDRESS: SUGAR CREEK LANE  
MT. PLEASANT, TENNESSEE 384

EXISTING ZONING: CN

ACREAGE OF SITE: ± 2.21 ACRES

DISTURBED ACREAGE: ±2.23 ACRES

MINIMUM REQUIRED BUILDING SETBACK LINES:  
20' FRONT  
10' REAR  
0' SIDE OF 20' IF ADJACENT TO RESIDENTIAL

PROPERTY OWNER: ALAN BLEVINS  
819 NORTH MAIN STREET  
MT. PLEASANT, TENNESSEE 38474

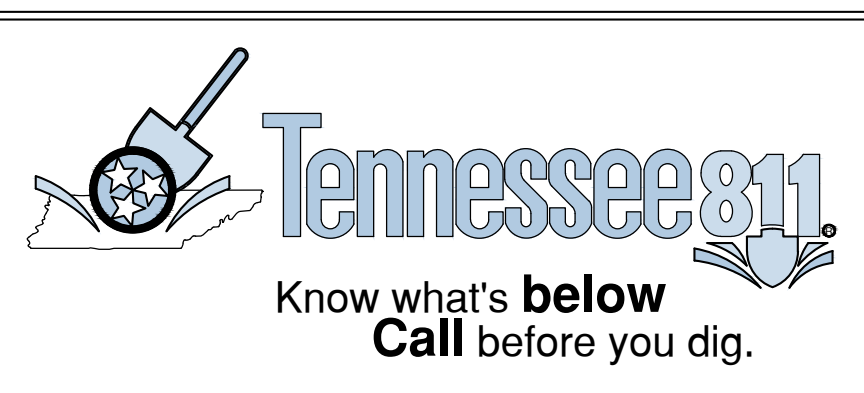
RESIDENTIAL TOWNHOMES  
SUGAR CREEK LANE  
MT. PLEASANT, TENNESSEE

**PROPRIETOR**

ALAN BLEVINS  
819 NORTH MAIN STREET  
MT. PLEASANT, TENNESSEE 38474



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gerald@wesengineers.com  
SUBMITTED FOR MUNICIPAL APPROVAL  
NOT FOR CONSTRUCTION

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**ENGINEER'S SEAL**



TOWNHOMES SITE PLAN SUGAR CREEK LANE MT. PLEASANT, TENNESSEE 38474		PROJECT No. 20520
REVISIONS	DATE	
STAFF COMMENTS ADDRESSED	9/27/23	
		DATE 9/12/2023

# Exhibit C SITE LAYOUT & UTILITY PLAN

TAX MAP 133B, Group "D" (1.00)  
**JAMES AND JUDY CAMPAGNA**  
 D.B. R2469 PG. 693  
 R.O.M.C., TN  
 GRAY LANE SUBDIVISION  
 LOT 1  
 PB: PB, PG 147

TAX MAP 133 (09.03)  
**LARRY A. JR & MARY ELLEN WILSON**  
 D.B. R2102 PG. 106  
 R.O.M.C., TN

TAX MAP 133C, GRP "B" (01.00)  
**LINDA B CLARK & JOSEPH H BRAUNER**  
 D.B. R1757 PG. 245  
 R.O.M.C., TN  
 SUGAR CREEK SECTION  
 LOT 1A  
 PG: P13, PG 286

INSTALL DUMPSTER ENCLOSURE SEE DETAILS C-4.1

INSTALL FIRE HYDRANT SEE DETAILS C-4.1

INSTALL 6"X5" CONC. PAD FOR MAL. KICKER SEE DETAILS C-4.1

INSTALL 6"X5" CONC. PAD FOR MAL. KICKER SEE DETAILS C-4.1

INSTALL 8"X8" TEE & VALVE

INSTALL 8"X8" TEE & VALVE

INSTALL 8"X8" TEE & VALVE

INSTALL 8"X8" TEE & VALVE

INSTALL 8"X8" TEE & VALVE

INSTALL 8"X8" TEE & VALVE

INSTALL 8"X8" TEE & VALVE

INSTALL 8"X8" TEE & VALVE

### GENERAL NOTES:

- THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS, AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS.
- THERE IS A PUBLIC UTILITY AND DRAINAGE EASEMENT, 10 FT IN WIDTH ON FRONT AND REAR PROPERTY LINES AND ON ALL PROPERTY LINES PARALLEL TO OR ABUTTING ROADS, AND THERE IS A PUBLIC UTILITY AND DRAINAGE EASEMENT, 5 FT IN WIDTH ON ALL OTHER INTERIOR LOT LINES, EXCEPT AS OTHERWISE SHOWN.
- TEMPORARY INLET FILTERS SHALL BE INSTALLED IN ALL EXISTING CATCH BASINS IN AREA PRIOR TO EARTH DISRUPTION.
- EXISTING UTILITIES AS SHOWN INDICATE THE APPROXIMATE LOCATION OF FACILITIES ONLY AND NO GUARANTEE IS GIVEN TO THE COMPLETENESS OR ACCURACY THEREOF. NO EXCAVATION MAY BE MADE WITHIN 5 FEET OF THESE UTILITIES UNLESS AND UNTIL SUCH UTILITIES HAVE BEEN POSITIVELY LOCATED AS TO HORIZONTAL AND VERTICAL POSITION. CONTRACTOR SHALL CONTACT "TENNESSEE ONE CALL" AT 1-800-351-1111 THREE WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- ALL RADI ARE 3' UNLESS DIMENSIONED.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES, GAS LINES, AND ANY UNDERGROUND ELECTRIC LINES DO NOT CONFLICT WITH SEWAGE LINES OR STORM SEWERS. INSTALL ALL UTILITIES PRIOR TO FINAL PAVEMENT CONSTRUCTION.
- BACKFILL UTILITY TRENCHES UNDER PAVEMENT AREAS WITH CRUSHED STONE OR GRAVEL. BACKFILL UTILITY TRENCHES IN LAWN AREAS WITH SATISFACTORY FILL MATERIAL.
- CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, BUILDINGS, ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO SUCH PROPERTY.
- THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED SERVICES, THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THESE UNDERGROUND CABLES AND/OR LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.
- THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM THE LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL REPAIR ANY CONTRACTOR CAUSED DAMAGE, ACCORDING TO THE LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL ALSO COORDINATE ALL CONSTRUCTION TO MAINTAIN REQUIRED SERVICES TO THE EXISTING FACILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANIES.

### PAVING NOTES:

- PROPOSED ASPHALT PAVEMENT CROSS-SECTION TO CONFORM TO CITY OF MT. PLEASANT STANDARDS. REFERENCE DETAIL PROVIDED.
- ALL CURVE RADII = 5' (THREE FEET) UNLESS NOTED OTHERWISE.
- SURFACES TO RECEIVE MARKING PAINT SHALL BE CLEAN, DRY AND METAL SURFACES ARE TO BE FREE FROM HEAVY RUST.
- YELLOW CURBING AND BOLLARDS ARE TO RECEIVE 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL, SAFETY YELLOW B557300. (TO BE WHITE IF REQUIRED BY ARCHITECTURAL REVIEW COMMITTEE)
- 4" WIDE TRANSVERSE PAVEMENT MARKING TO RECEIVE TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT.
- YELLOW T45495. (TO BE WHITE IF REQUIRED BY ARCHITECTURAL REVIEW COMMITTEE)
- ACCESSIBLE SPACES TO RECEIVE TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT "H.C." BLUE.

### STORMWATER NOTES:

- ROOF DRAINAGE TO SHEET FLOW ACROSS PAVEMENT AT THE REAR OF THE BUILDING, INTO THE PROPOSED DRAINAGE SYSTEM.
- SUBJECT PROPERTY IS NOT IN A FLOODPLAIN AS PER F.I.R.M. F.E.M.A. COMMUNITY PANEL # 47117C0250E, DATED APRIL 17, 2007.

### WATERMAIN NOTES:

- REFER TO MT. PLEASANT WATER DEPARTMENT DESIGN PLANS FOR WATER DESIGN AND SERVICE LOCATIONS.
- ALL PROPOSED WATER MAINS AND SERVICES TO BE INSTALLED PER THE STANDARD SPECIFICATIONS OF MT. PLEASANT WATER DEPARTMENT.
- SERVICES, INCLUDING LONG TAPS AND SHORT TAPS, ARE TO BE INSTALLED TO THE PROPERTY LINE. MAINTAIN A 10' HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN THE WATER SERVICE LINES AND OTHER UTILITIES WHERE FEASIBLE.

### SANITARY SEWER LEAD NOTES:

- MAINTAIN A MINIMUM OF 18" VERTICAL CLEARANCE, AND 10' HORIZONTAL CLEARANCE BETWEEN ALL UTILITIES.
- ALL MATERIALS AND WORKMANSHIP FOR SANITARY SEWER LEADS SHALL BE IN STRICT COMPLIANCE WITH CURRENT CITY OF MT. PLEASANT WWPPT STANDARDS.
- SEWER SERVICE LEADS ARE TO BE EXTENDED TO A POINT 5-FT. OUTSIDE THE BUILDING WHERE THE PLUMBING CONTRACTOR WILL COMPLETE THE CONNECTION TO THE BUILDING PLUMBING SYSTEM.
- ALL SANITARY SEWER LEADS WITHIN A 1:1 INFLUENCE OF EXISTING, PROPOSED, OR FUTURE PAVEMENT SHALL HAVE COMPACTED SAND BACKFILL.
- NO CONNECTION TO THE EXISTING SANITARY SEWER SYSTEM WILL BE PERMITTED UNTIL THE PROPOSED WORK HAS BEEN COMPLETED IN COMPLIANCE WITH THE CITY OF MT. PLEASANT WWPPT REGULATIONS.

### ELECTRICAL CONDUIT NOTES:

- ALL BUILDERS, CONTRACTORS, AND ELECTRICIANS MUST MEET WITH CITY OF ELECTRIC BEFORE CONSTRUCTION.
- ALL ELECTRICAL CONNECTIONS AND FACILITIES TO CONFORM TO CURRENT MT. PLEASANT ELECTRIC SYSTEM STANDARDS.
- ALL ELECTRICAL CONNECTIONS TO BE EXTENDED FROM WITHIN THE EXISTING BUILDING TO ADDITIONS. NO SITE CONSTRUCTION OF ELECTRICAL SERVICES IS PROPOSED.

### GEOTECHNICAL NOTE:

CONTRACTOR TO COMPLETE A GEOTECHNICAL STUDY CONDUCTED ON THIS SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN HAVE RELED ON GENERAL INFORMATION FROM FIELD REVIEW OF EXISTING TERRAIN. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR ENCUMBRANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, THE GEOTECHNICAL ENGINEER AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES TO THE PROCESS (OWNER, CIVIL ENGINEER, GEOTECHNICAL ENGINEER, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

### SITE BENCHMARK NOTE:

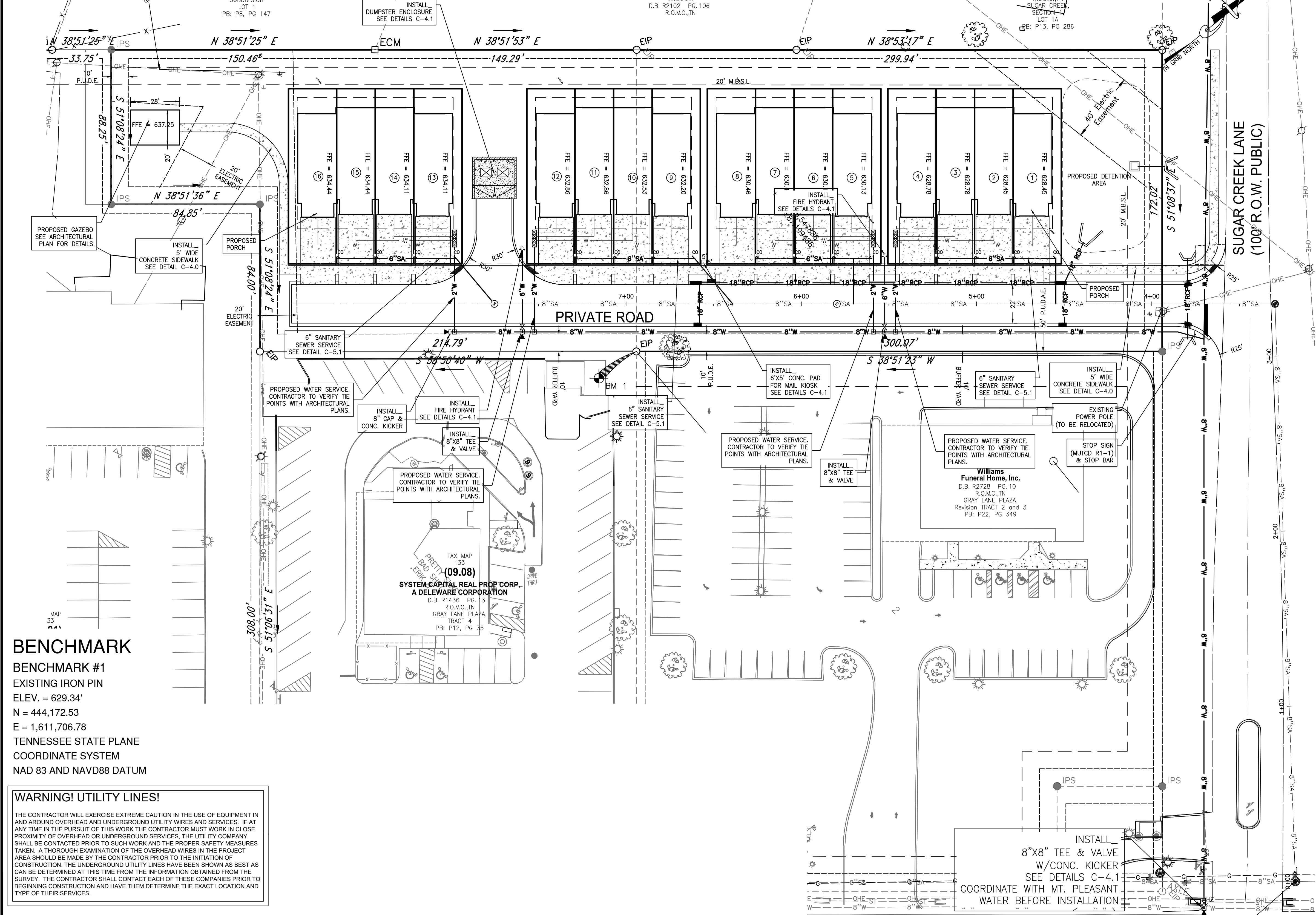
CONTRACTOR SHALL ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION. EXISTING BENCHMARK MUST BE RE-VERIFIED AND APPROVED BY THE ENGINEER/SURVEYOR TO USE.

### BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY:

W.E.S. ENGINEERS AND SURVEYORS  
 2486 NASHVILLE HWY  
 COLUMBIA, TENNESSEE 38401  
 (931) 388-2329

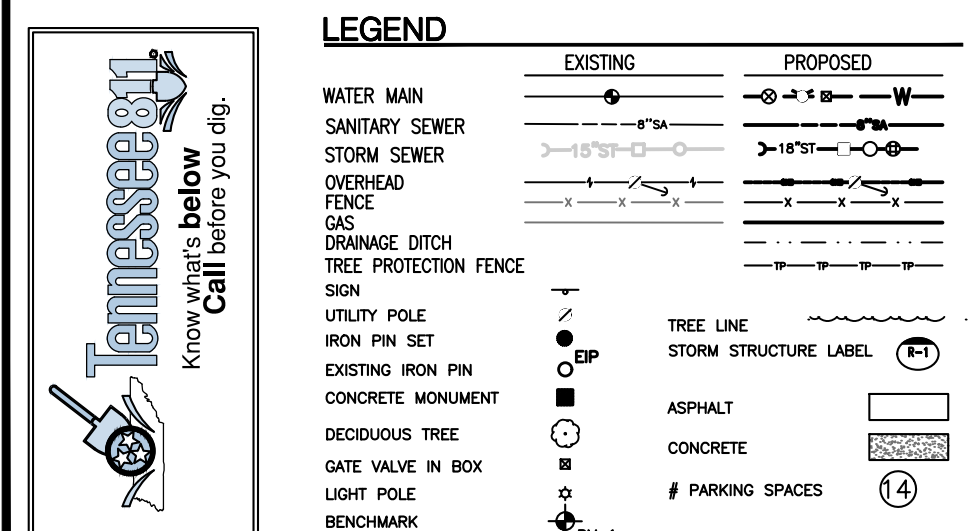
### FLOOD STUDY NOTE:

THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS (FIRM) MAP NUMBER 47117C0250E DATED APRIL 17, 2007.

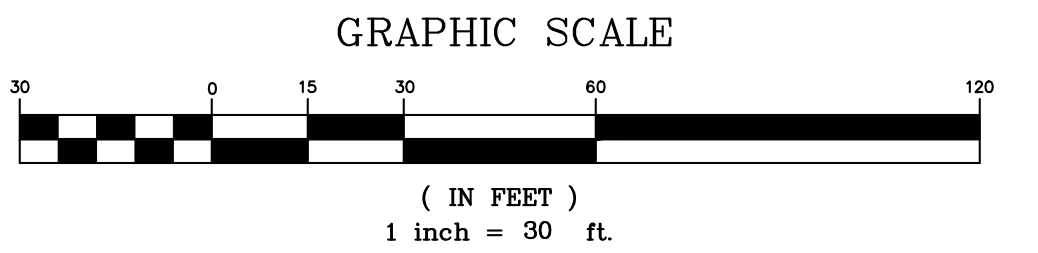


**BENCHMARK**  
**BENCHMARK #1**  
 EXISTING IRON PIN  
 ELEV. = 629.34'  
 N = 444,172.53  
 E = 1,611,706.78  
 TENNESSEE STATE PLANE  
 COORDINATE SYSTEM  
 NAD 83 AND NAVD88 DATUM

**WARNING! UTILITY LINES!**  
 THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF OVERHEAD OR UNDERGROUND SERVICES, THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THE UNDERGROUND UTILITY LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.



**OPEN SPACE NOTE:**  
 ALL OPEN SPACE AREA IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. CREATED FOR THE PURPOSE OF MAINTAINING ALL COMMON OPEN SPACE AND GROUNDS INCLUDING THE DETENTION AREAS SHOWN ON THIS PLAN.



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 COLUMBIA, TN 38401  
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 www.wesengineers.com

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**WES E ENGINEERS & SURVEYORS**

---

Client	WES E ENGINEERS & SURVEYORS
DATE	9/27/23
REVISIONS	STAFF COMMENTS ADDRESSED

---

**SUGAR CREEK TOWNHOMES**  
 SUGAR CREEK LANE  
 MT. PLEASANT, MAURY COUNTY, TENNESSEE  
 SITE LAYOUT & UTILITY PLAN

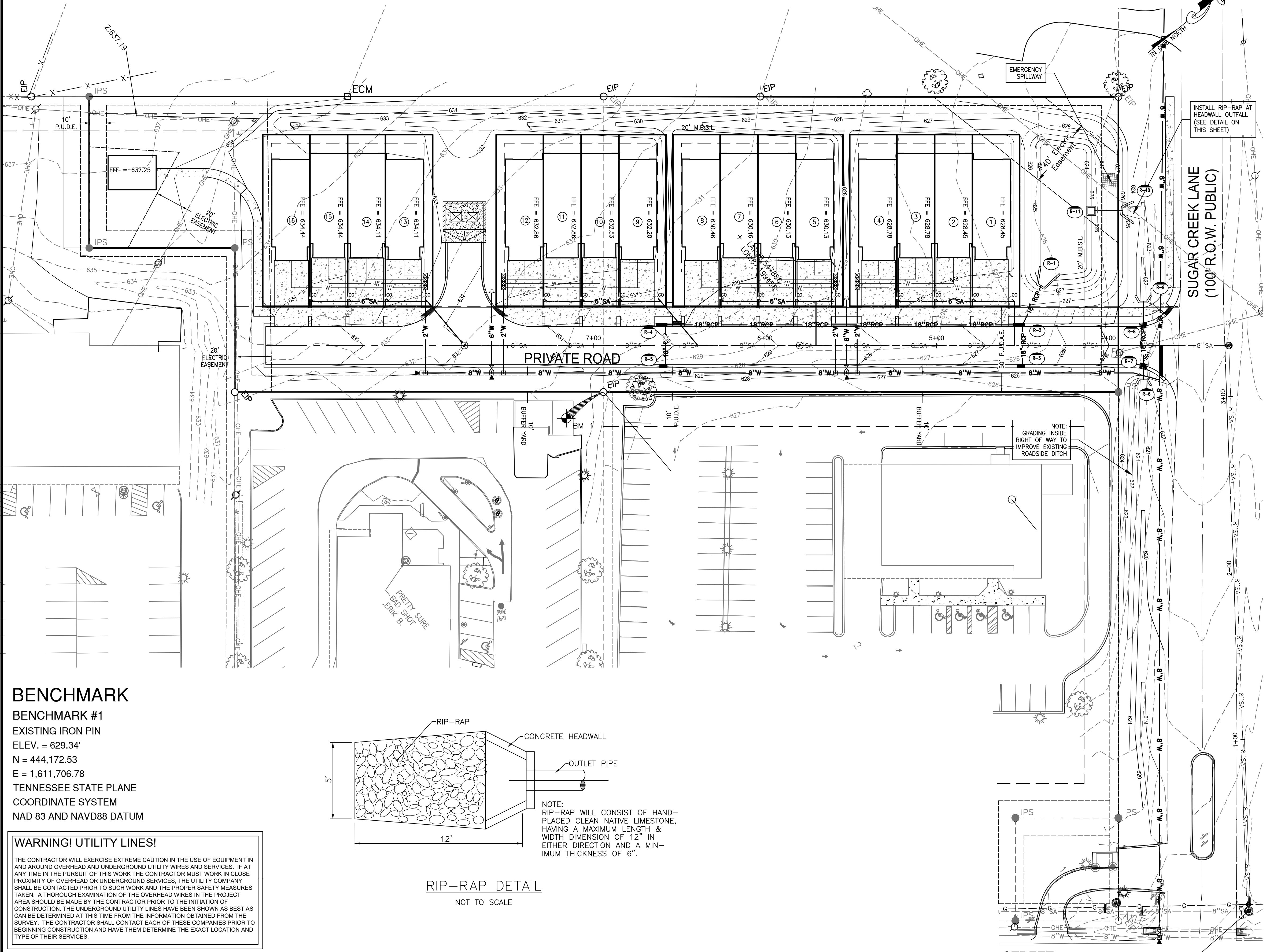
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Drawn: JG	Checked: CV	Approved: CV	Date: 9/27/2023
Job No: 20520-1	Scale: Vertical	Horizontal: 1" = 30'	

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SUBMITTED FOR CITY APPROVAL  
 NOT FOR CONSTRUCTION

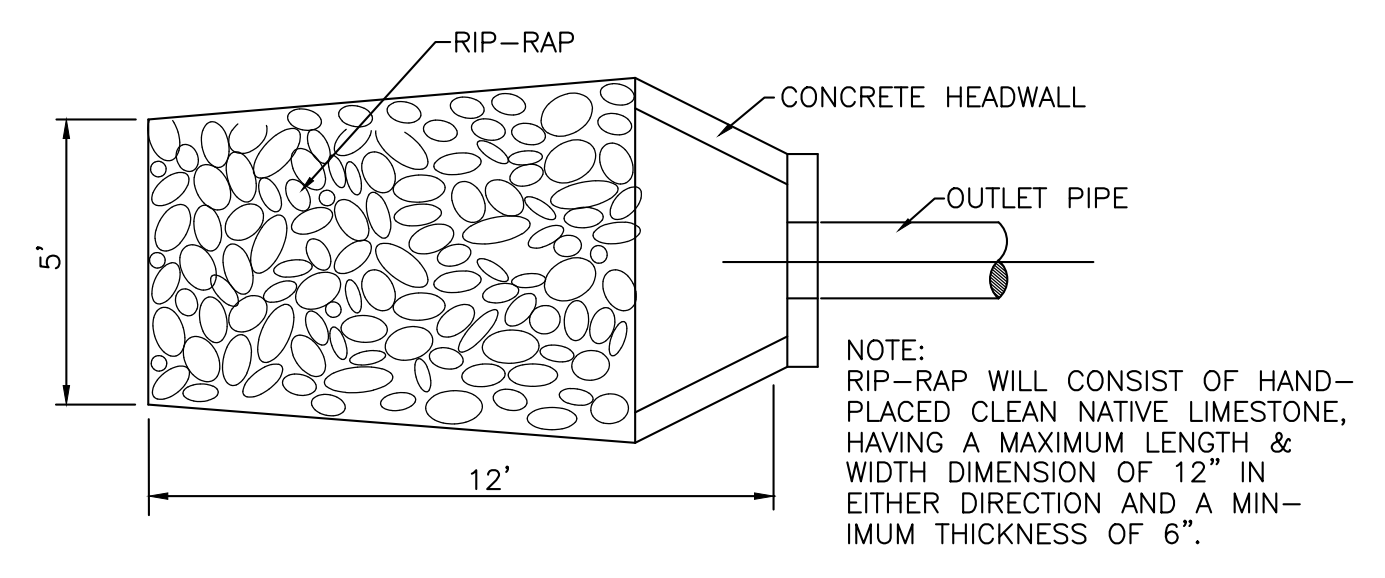
# GRADING AND DRAINAGE PLAN



- GENERAL GRADING AND DRAINAGE NOTES**
- ALL GRADING AND DRAINAGE WORK AS SHOWN ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL ENGINEERING DEPARTMENT.
  - THE NECESSARY PERMITS FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY NOTICES, OBTAIN ALL PERMITS AND PAY ALL FEES INVOLVED IN SECURING SAID PERMITS. THE CONTRACTOR SHALL ALSO COMPLY WITH ALL LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS RELATING TO THE CONSTRUCTION OF THE ITEMS SHOWN ON THESE PLANS.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO AVOID DAMAGE TO ALL EXISTING UTILITIES TO REMAIN DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH EXISTING INSTALLATIONS, FULL REPAIR SHALL BE AT THE EXPENSE OF THE CONTRACTOR AND SHALL BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATIONS FOR SUCH WORK FOR THE RESPONSIBLE AGENCY.
  - THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES (I.E., WATER AND GAS LINES, ELECTRICAL AND TELEPHONE CONDUITS, ETC.) AS SHOWN ON THIS PORTION OF THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION FROM ACTUAL SURVEYS, OR TAKEN FROM THE RECORDS AND DRAWINGS OF THE EXISTING UTILITIES. HOWEVER, THE CIVIL ENGINEER DOES NOT ASSUME RESPONSIBILITY THAT, DURING CONSTRUCTION, THE POSSIBILITY OF UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT THE ACTUAL LOCATIONS OF UTILITIES SHOWN MAY VARY SOMEWHAT FROM THE LOCATIONS DESIGNATED ON THIS PORTION OF THE PLANS. IN AREAS WHERE IT IS NECESSARY THAT THE EXACT LOCATIONS OF UNDERGROUND UTILITIES BE KNOWN, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBstantiate OR DEFINITELY ESTABLISH THE LOCATION OF THE UTILITIES.
  - ALL DELETERIOUS MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE BY THE CONTRACTOR AS PER THE INSPECTION AND FINAL APPROVAL OF THE ENGINEER AND OWNER. ALL FILL MATERIAL TO BE USED FOR SITE GRADING SHALL BE AN INORGANIC SOIL, FREE OF DEBRIS AND APPROVED BY THE ENGINEER AND OWNER.
  - THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8-INCH THICKNESS. SAID FILL MATERIAL IS TO BE SOIL AND ROCK ONLY, FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) IN ALL AREAS OF FILL, AND COMPACTION OF 98% OF SAME SPECIFICATION FOR MATERIALS USED IN THE UPPER 12 INCHES BENEATH PAVEMENT AND GRADE SLABS.
  - THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, LEVELS, ETC., BEFORE ORDERING MATERIALS AND PROCEEDING WITH WORK, AND IS RESPONSIBLE FOR THE SAME.
  - CONTRACTOR IS RESPONSIBLE FOR SECURING WRITTEN APPROVAL FROM ADJOINING PROPERTY OWNER FOR OFF-SITE GRADING WORK THAT RESULTS FROM CONSTRUCTION ACTIVITIES.

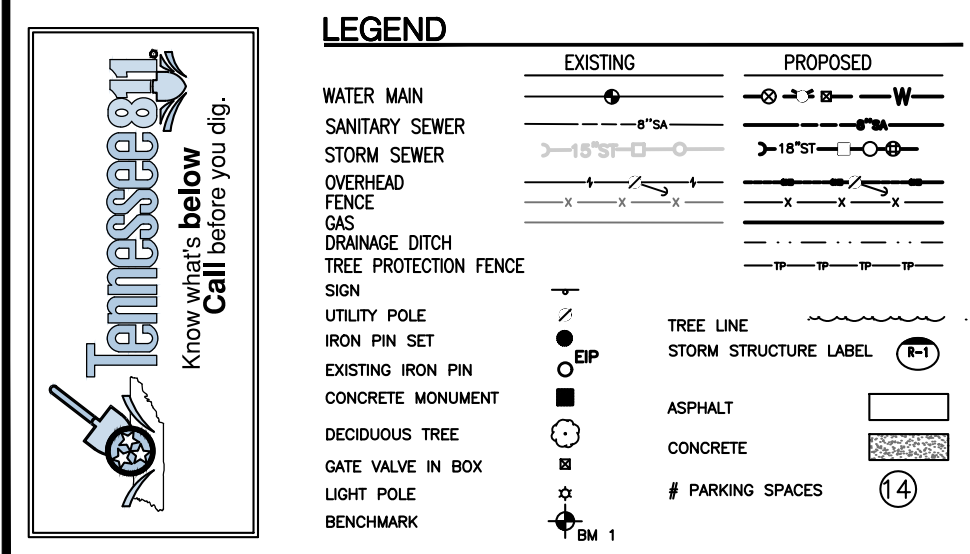
- BERM CONSTRUCTION NOTES**
- AREAS UNDER THE EMBANKMENT OR ANY STRUCTURAL WORKS RELATED TO THE BASIN SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL, TREES, VEGETATION, ROOTS, OR OTHER OBJECTIONABLE MATERIAL. IN ORDER TO FACILITATE CLEANOUT AND RESTORATION, THE AREA OF MOST FREQUENT INUNDATION (MEASURED FROM THE TOP OF THE PRINCIPAL SPILLWAY) WILL BE CLEARED OF ALL BRUSH AND TREES.
  - THE PLACING AND SPREADING OF EMBANKMENT MATERIALS IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8" THICKNESS. SAID MATERIAL IS TO BE FREE OF SOD, ROOTS, FROZEN SOIL, OR ANY OTHER DECOMPOSABLE MATERIAL. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 95% OF STANDARD PROCTOR TEST IN ALL AREAS.
  - FOR EARTH-FILL EMBANKMENTS, A CUTOFF TRENCH SHALL BE EXCAVATED ALONG THE CENTERLINE OF THE BERM. THE TRENCH MUST EXTEND AT LEAST 1 FOOT INTO A STABLE, IMPERVIOUS LAYER OF SOIL AND HAVE A MINIMUM DEPTH OF TWO FEET. THE CUTOFF TRENCH SHALL EXTEND UP BOTH ABUTMENTS TO THE RISER CREST ELEVATION. THE MINIMUM BOTTOM WIDTH SHALL BE FOUR FEET, BUT ALSO MUST BE WIDE ENOUGH TO PERMIT OPERATION OF COMPACTION EQUIPMENT. THE SIDE SLOPES SHALL BE NO STEEPER THAN 1:1. COMPACTION REQUIREMENTS SHALL BE THE SAME AS THOSE FOR THE EMBANKMENT. THE TRENCH SHALL BE DRY DURING THE BACKFILLING AND COMPACTION OPERATIONS.
  - THE EMBANKMENT SHALL BE CONSTRUCTED TO AN ELEVATION 10 PERCENT HIGHER THAN THE DESIGN HEIGHT TO ALLOW FOR SETTLEMENT IF COMPACTION IS OBTAINED WITH HAULING EQUIPMENT. IF COMPACTIONERS ARE USED FOR COMPACTION, THE OVERBUILD MAY BE REDUCED TO NOT LESS THAN 5 PERCENT.
  - THE EMBANKMENT OF THE DETENTION POND SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATION IMMEDIATELY AFTER INSTALLATION OF THE BASIN.
  - ALL STATE AND LOCAL REQUIREMENTS SHALL BE MET CONCERNING FENCING AND SIGNS WARNING THE PUBLIC OF THE HAZARDS OF SOFT, SATURATED SEDIMENT AND FLOOD WATERS.

**BENCHMARK**  
**BENCHMARK #1**  
 EXISTING IRON PIN  
 ELEV. = 629.34'  
 N = 444,172.53  
 E = 1,611,706.78  
 TENNESSEE STATE PLANE  
 COORDINATE SYSTEM  
 NAD 83 AND NAVD88 DATUM

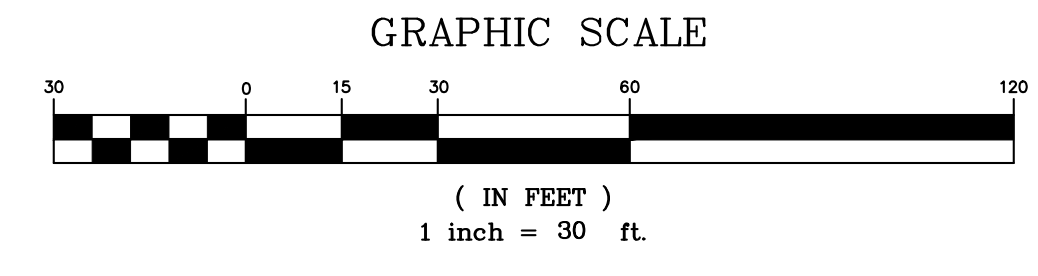


**WARNING! UTILITY LINES!**

THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF OVERHEAD OR UNDERGROUND SERVICES, THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THE UNDERGROUND UTILITY LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.



**OPEN SPACE NOTE:**  
 ALL OPEN SPACE AREA IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, CREATED FOR THE PURPOSE OF MAINTAINING ALL COMMON OPEN SPACE AND GROUNDS INCLUDING THE DETENTION AREAS SHOWN ON THIS PLAN.



**FLOOD STUDY NOTE:**  
 THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS (FIRM) MAP NUMBER 47119C0265E DATED APRIL 17, 2007.

**GEOTECHNICAL NOTE:**  
 CONTRACTOR TO COMPLETE A GEOTECHNICAL STUDY CONDUCTED ON THIS SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN HAVE RELIED ON GENERAL INFORMATION FROM FIELD REVIEW OF EXISTING TERRAIN. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, THE GEOTECHNICAL ENGINEER AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES TO THE PROCESS (OWNER, CIVIL ENGINEER, GEOTECHNICAL ENGINEER, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

**SITE BENCHMARK NOTE:**  
 CONTRACTOR SHALL ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION. EXISTING BENCHMARK MUST BE RE-VERIFIED AND APPROVED BY THE ENGINEER/SURVEYOR PRIOR TO USE.

BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY:  
 W.E.S. ENGINEERS AND SURVEYORS  
 2486 NASHVILLE HWY  
 COLUMBIA, TENNESSEE 38401  
 (931) 388-2329



SUBMITTED FOR CITY APPROVAL  
 NOT FOR CONSTRUCTION

**WES E ENGINEERS & SURVEYORS**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 2486 NASHVILLE HIGHWAY  
 COLUMBIA, TN 38401  
 PHONE: (931) 388-2329  
 www.wesengineers.com

**WES E ENGINEERS & SURVEYORS**

Client	ALAN BLEVINS
DATE	9/27/23
REVISIONS	
STAFF COMMENTS ADDRESSED	

**SUGAR CREEK TOWNHOMES**  
 SUGAR CREEK LANE  
 MT. PLEASANT, MAURY COUNTY, TENNESSEE  
 GRADING AND DRAINAGE PLAN

Job No. 20520-1  
 Scale: Vertical: 1" = 30'  
 Horizontal: 1" = 30'

Drawn: JG  
 Checked: CV  
 Approved: CV  
 Date: 9/27/2023

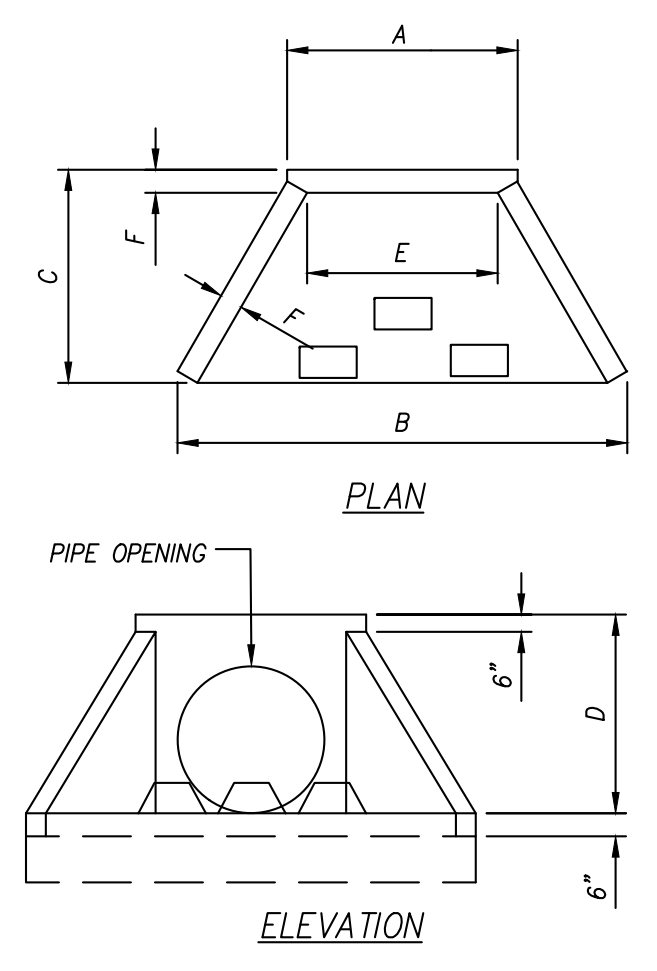
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PROPOSED STORM SEWER STRUCTURE SCHEDULE

STR. NO.	PIPE	TYPE	RIM ELEV.	INV. IN	INV. OUT	LENGTH	SLOPE	NOTES
(R-1)		HEADWALL OUTLET	---	---	623.30	---	---	---
R2-R1	18" PIPE		---	623.43	623.30	25.33	0.51	---
(R-2)		CURB INLET	626.42	623.53	623.43	---	---	TRIPLE INLET
R3-R2	18" PIPE		---	623.65	623.53	24.00	0.50	---
(R-3)		CURB INLET	626.42	---	623.65	---	---	DOUBLE INLET
R4-R2	18" PIPE		---	626.69	623.53	1.52	208.24	---
(R-4)		CURB INLET	629.78	626.79	626.69	---	---	TRIPLE INLET
R5-R4	18" PIPE		---	627.03	626.79	24.00	1.00	---
(R-5)		CURB INLET	629.78	---	627.03	---	---	DOUBLE INLET
(R-6)		HEADWALL OUTLET	---	---	620.76	---	---	---
R7-R6	18" PIPE		---	620.81	620.76	8.39	0.60	---
(R-7)		CURB INLET	623.90	620.91	620.81	---	---	---
R8-R7	18" PIPE		---	621.03	620.91	22.82	0.53	---
(R-8)		CURB INLET	624.50	621.13	621.03	---	---	---
R9-R8	18" PIPE		---	621.21	621.13	14.60	0.55	---
(R-9)		HEADWALL INLET	---	---	621.21	---	---	---
(R-10)								
R11-R10		SEE DETENTION BASIN A DETAIL						
(R-11)								

- PIPE MATERIAL SHALL BE RCP CLASS III
- STANDARD TYPE "K" GRATE TO BE INSTALLED - JOHN BOUCHARD NO. 3128 OR APPROVED EQUAL ON ALL CURB INLETS EXCEPT WHERE NOTED.
- STANDARD TYPE "K" GRATE TO BE INSTALLED - JOHN BOUCHARD NO. 4310 OR APPROVED EQUAL.

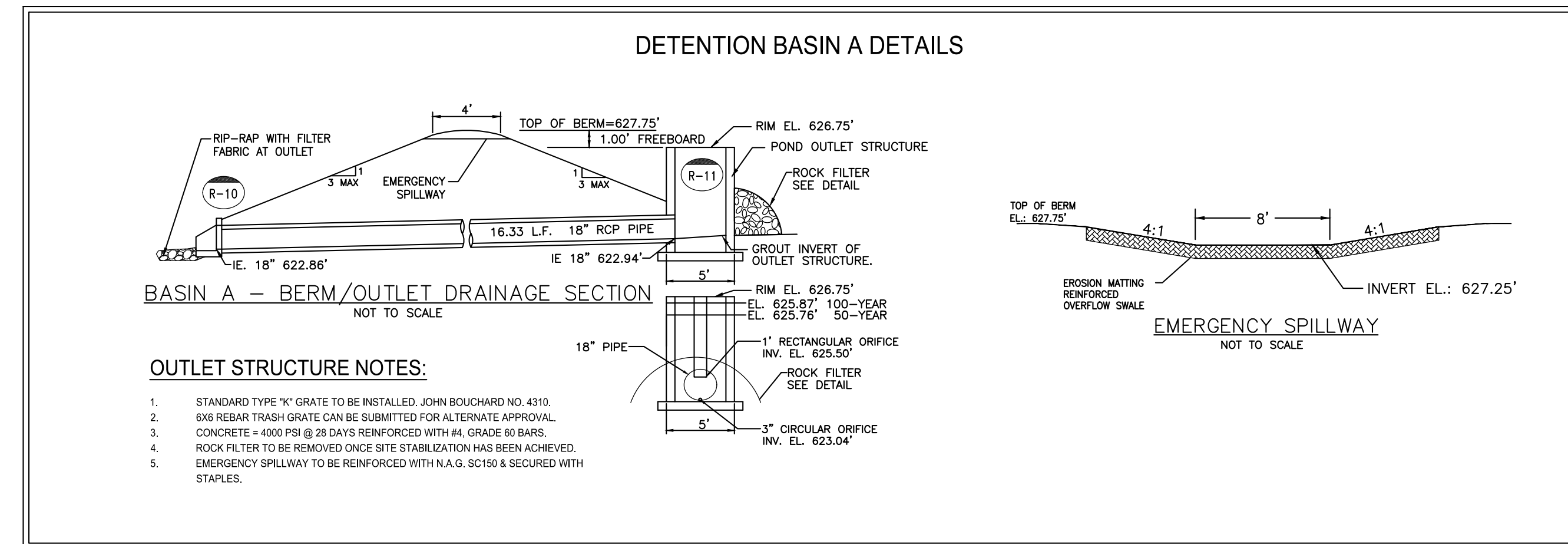
# DRAINAGE PLAN & STORMWATER DETAILS



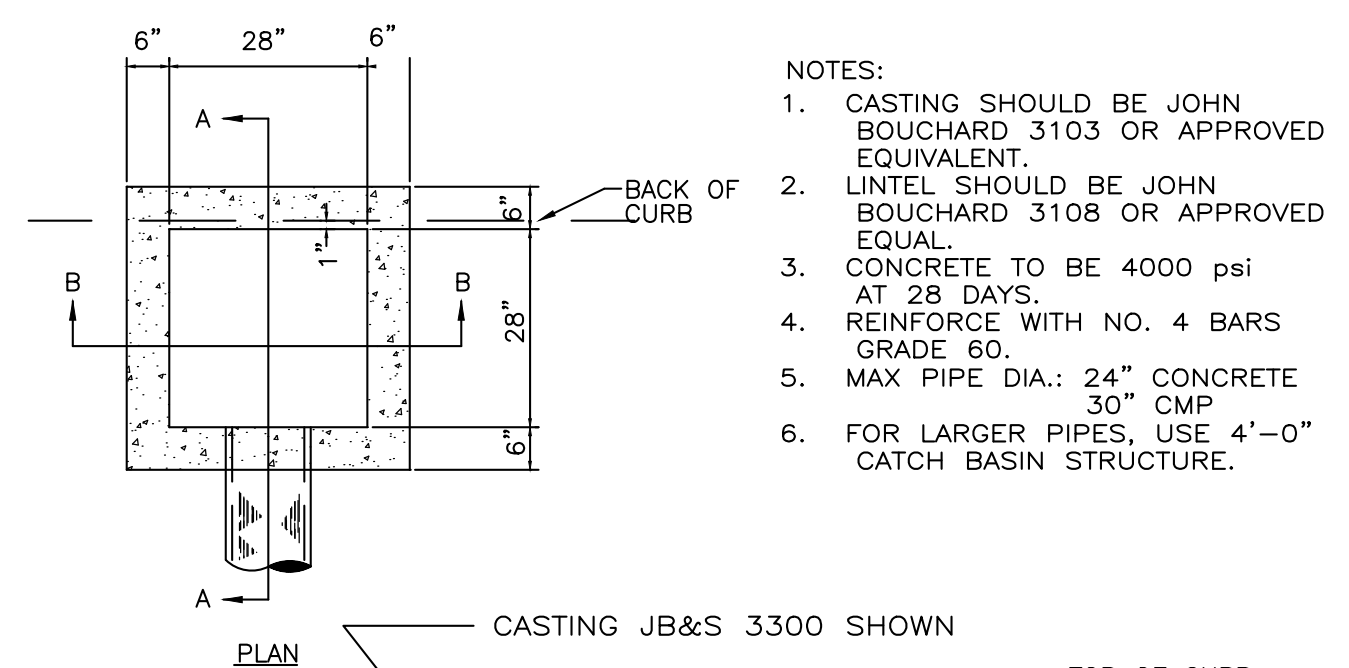
SIZE	AW	BW	CW	DW
A	32"	48"	80"	99"
B	48"	72"	102"	120"
C	30"	44"	54"	56"
D	26"	36"	60"	66"
E	24"	36"	64"	83"
F	6"	8"	8"	8"
MAX. OPENING	22"	32"	55"	75"
WT/*	1,380	3,100	8,100	11,400

- NOTES:
- MINIMUM 2" CONCRETE COVER ON REBAR.
  - CONCRETE: CLASS A - 3500 PSI @ 28 DAYS W/ AIR ENTRAINMENT.
  - ALL PICK UP POINTS AND PIPE OPENINGS TO BE GROUTED BY CONTRACTOR WITH NON-SHRINK GROUT.
  - 3/4" CHAMFER ON ALL EXPOSED EDGES.

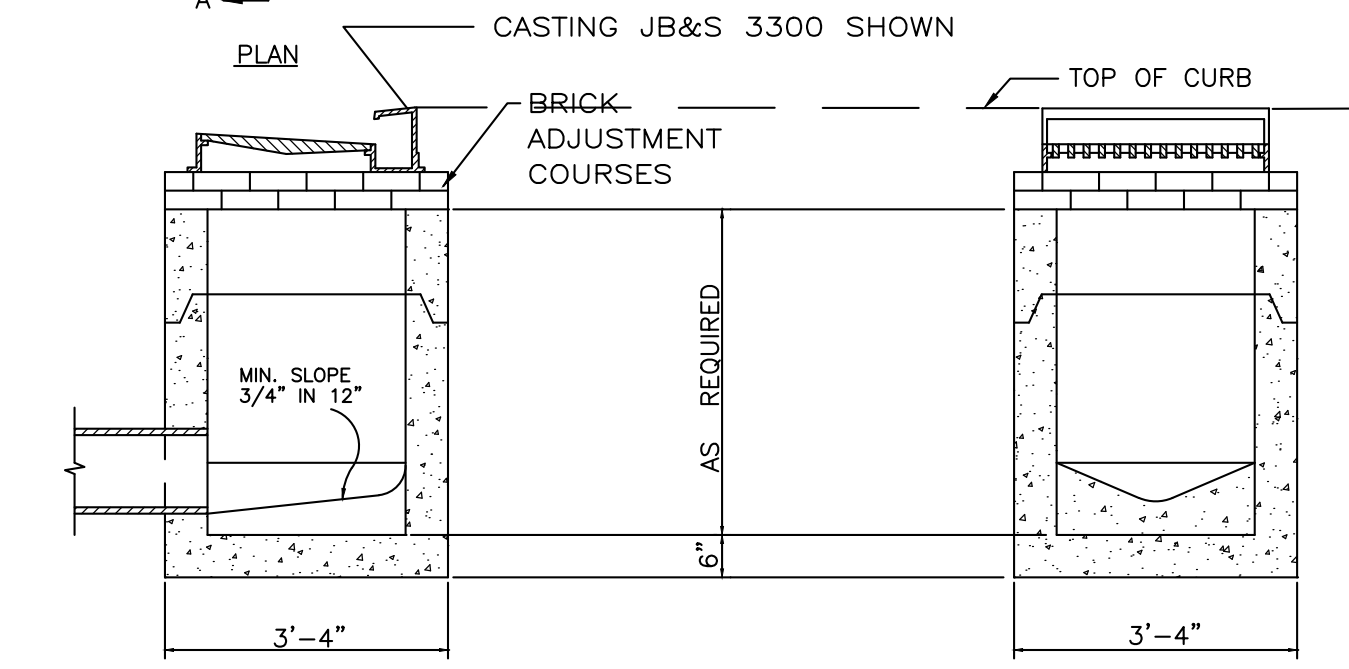
CONCRETE HEADWALL W/ENERGY DISSIPATORS  
NOT TO SCALE



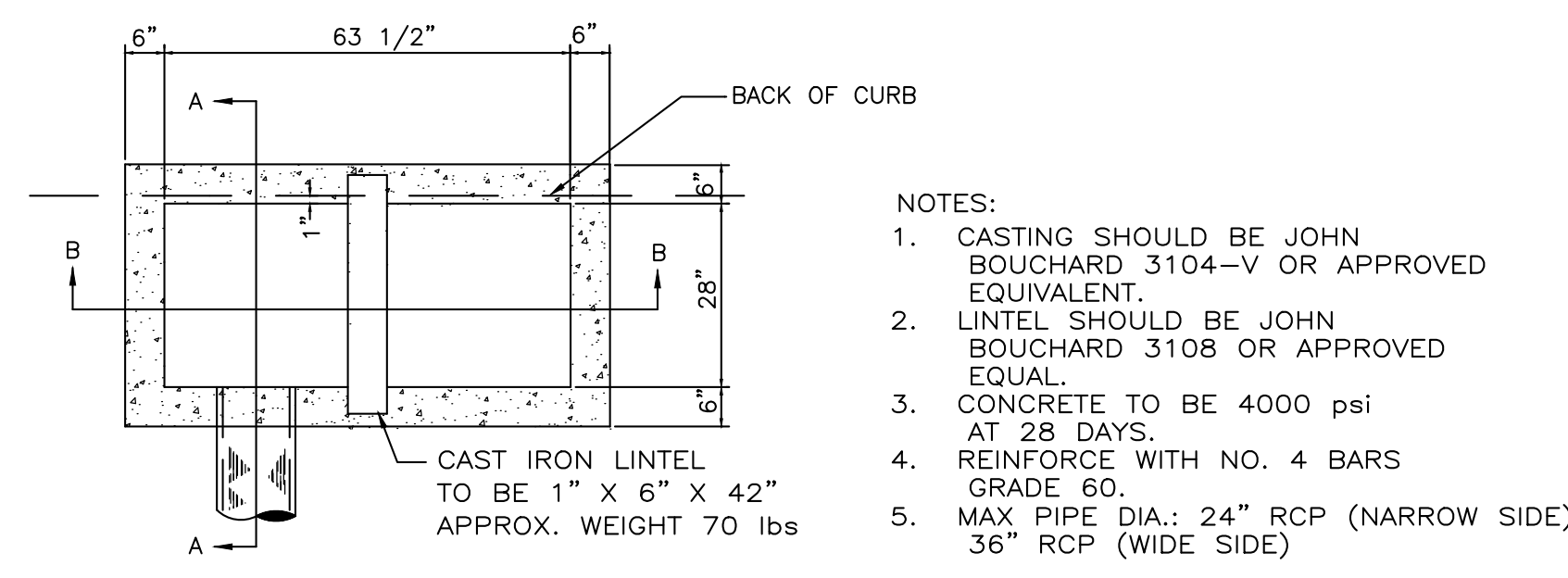
- OUTLET STRUCTURE NOTES:
- STANDARD TYPE "K" GRATE TO BE INSTALLED. JOHN BOUCHARD NO. 4310.
  - 6X6 REBAR TRASH GRATE CAN BE SUBMITTED FOR ALTERNATE APPROVAL.
  - CONCRETE - 4000 PSI @ 28 DAYS REINFORCED WITH #4 GRADE 60 BARS.
  - ROCK FILTER TO BE REMOVED ONCE SITE STABILIZATION HAS BEEN ACHIEVED.
  - EMERGENCY SPILLWAY TO BE REINFORCED WITH N.A.G. SC150 & SECURED WITH STAPLES.



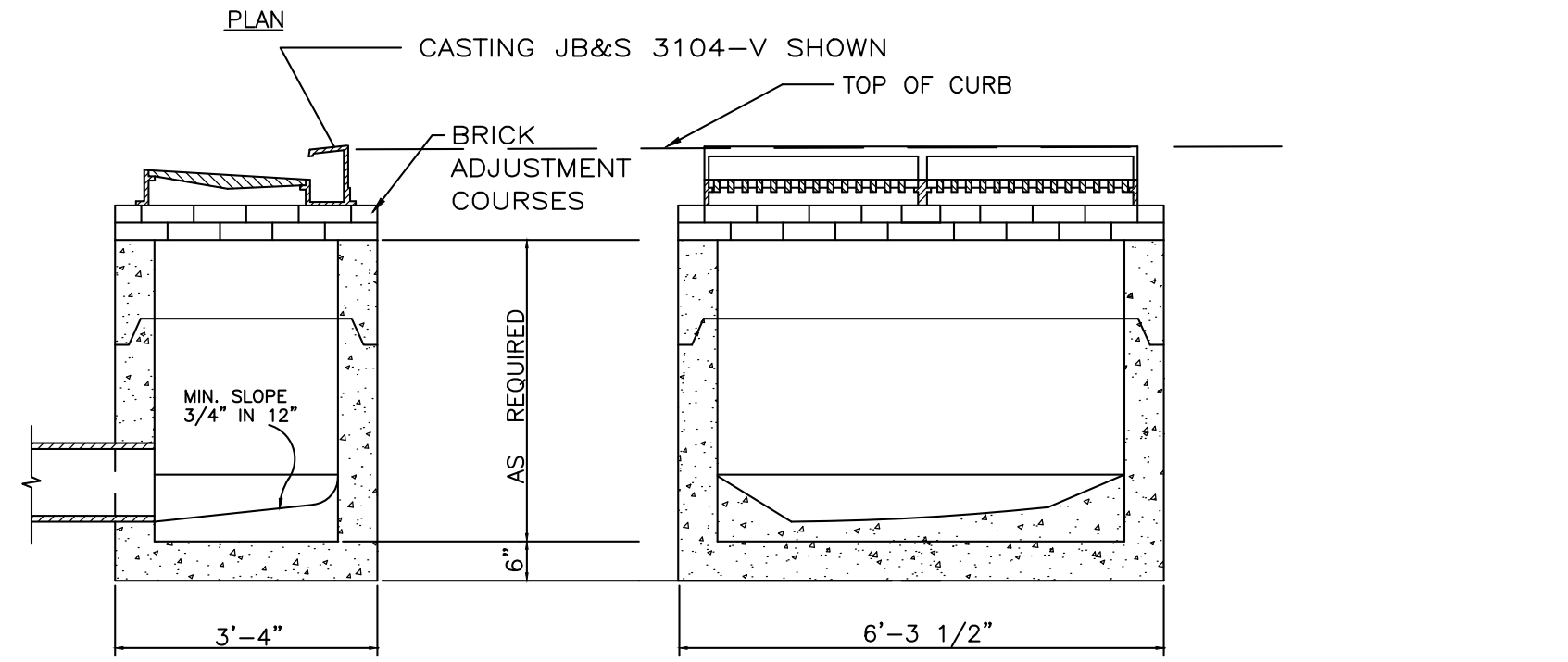
- NOTES:
- CASTING SHOULD BE JOHN BOUCHARD 3103 OR APPROVED EQUIVALENT.
  - LINTEL SHOULD BE JOHN BOUCHARD 3108 OR APPROVED EQUAL.
  - CONCRETE TO BE 4000 psi AT 28 DAYS.
  - REINFORCE WITH NO. 4 BARS GRADE 60.
  - MAX PIPE DIA.: 24" CONCRETE 30" CMP
  - FOR LARGER PIPES, USE 4'-0" CATCH BASIN STRUCTURE.



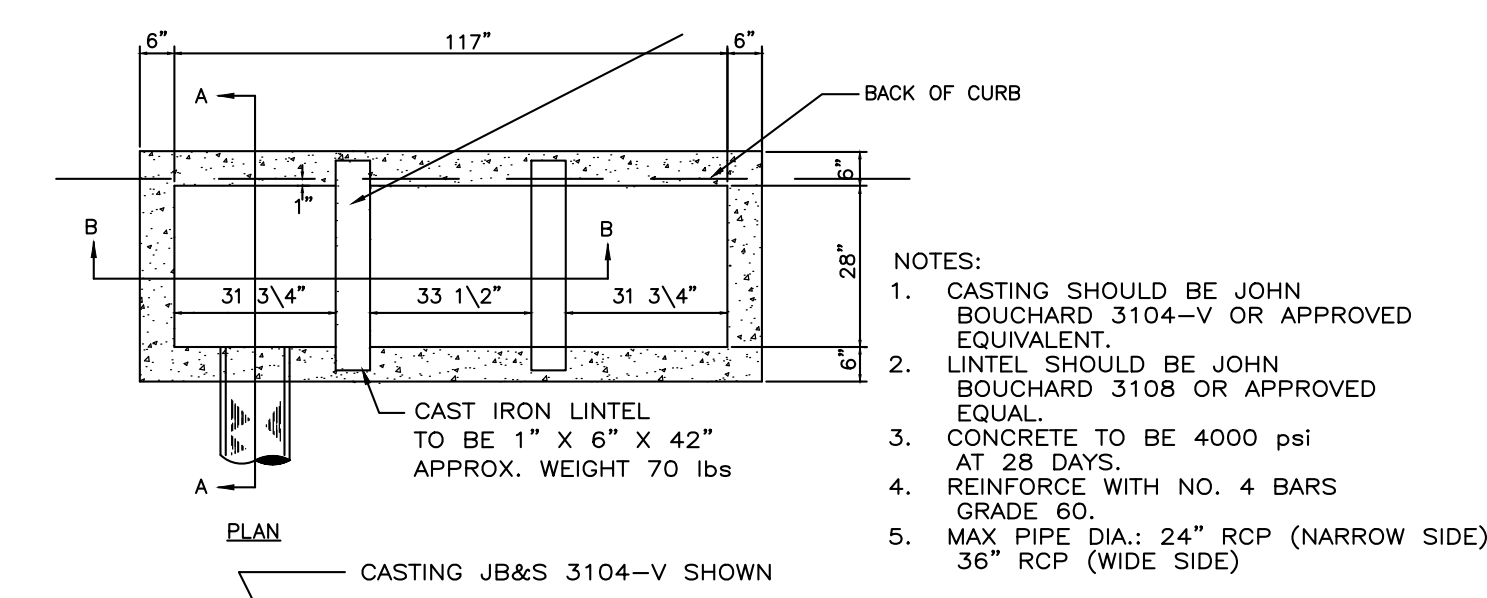
SINGLE INLET (PRECAST)  
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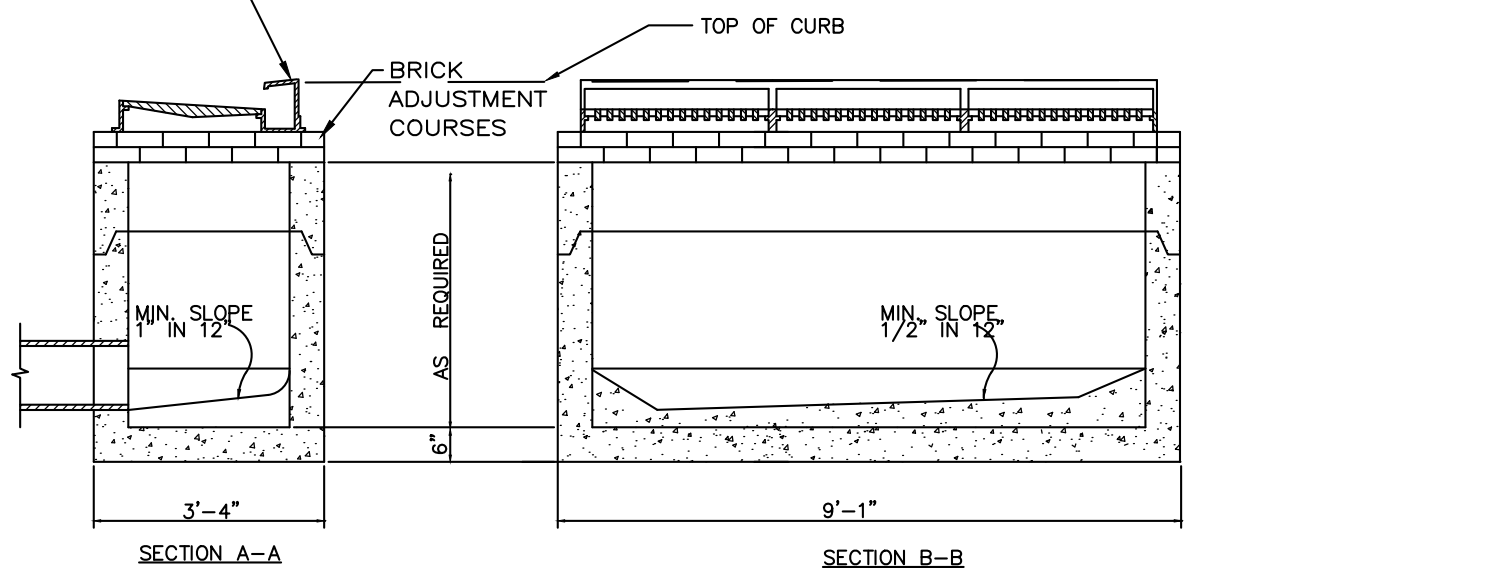
- NOTES:
- CASTING SHOULD BE JOHN BOUCHARD 3104-V OR APPROVED EQUIVALENT.
  - LINTEL SHOULD BE JOHN BOUCHARD 3108 OR APPROVED EQUAL.
  - CONCRETE TO BE 4000 psi AT 28 DAYS.
  - REINFORCE WITH NO. 4 BARS GRADE 60.
  - MAX PIPE DIA.: 24" RCP (NARROW SIDE) 36" RCP (WIDE SIDE)



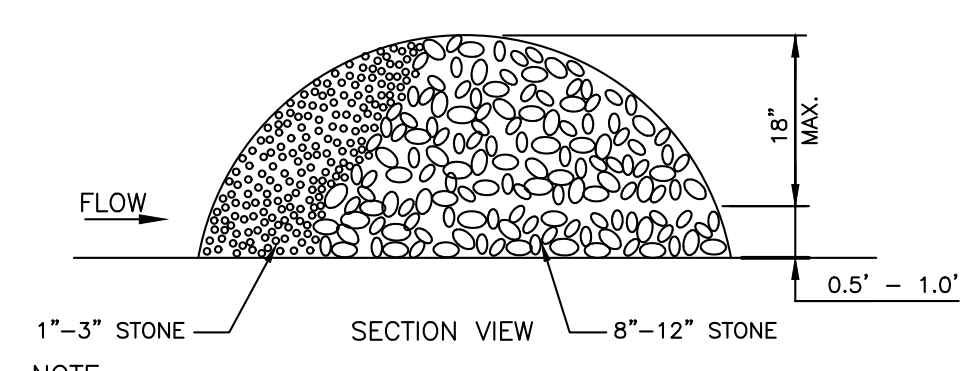
DOUBLE INLET (PRECAST)  
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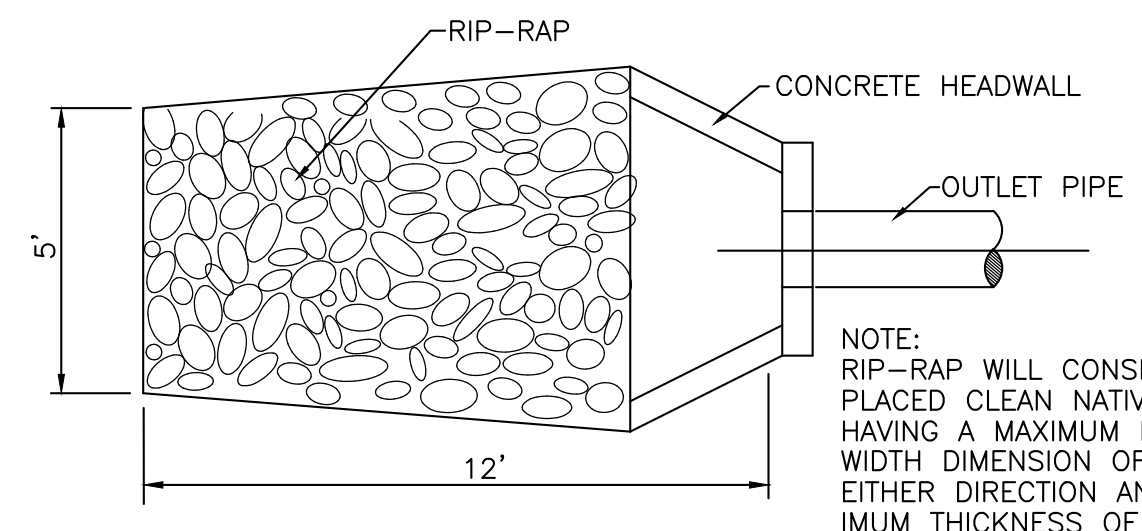
- NOTES:
- CASTING SHOULD BE JOHN BOUCHARD 3104-V OR APPROVED EQUIVALENT.
  - LINTEL SHOULD BE JOHN BOUCHARD 3108 OR APPROVED EQUAL.
  - CONCRETE TO BE 4000 psi AT 28 DAYS.
  - REINFORCE WITH NO. 4 BARS GRADE 60.
  - MAX PIPE DIA.: 24" RCP (NARROW SIDE) 36" RCP (WIDE SIDE)



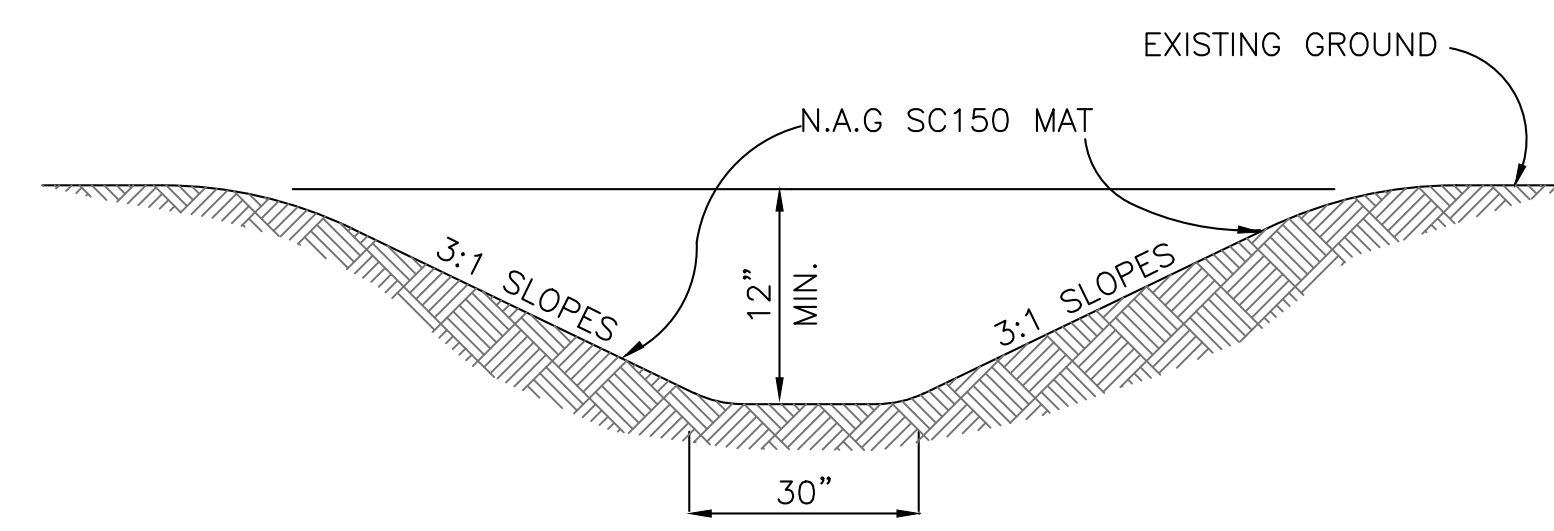
TRIPLE INLET (PRECAST)  
NOT TO SCALE



ROCK FILTER CONSTRUCTION  
NOT TO SCALE



RIP-RAP DETAIL  
NOT TO SCALE



DITCH SECTION  
NOT TO SCALE



gerald@wesengineers.com  
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2486 NASHVILLE HIGHWAY  
COLUMBIA, TN 38401  
PHONE: (931) 388-2329  
www.wesengineers.com

Client  
ALAN BEVINS  
P.O. BOX 38  
COLUMBIA, TN 38402

REVISIONS	DATE	STAFF COMMENTS
	9/27/23	

SUGAR CREEK TOWNHOMES  
SUGAR CREEK LANE  
MT. PLEASANT, MAURY COUNTY, TENNESSEE  
DRAINAGE PLAN

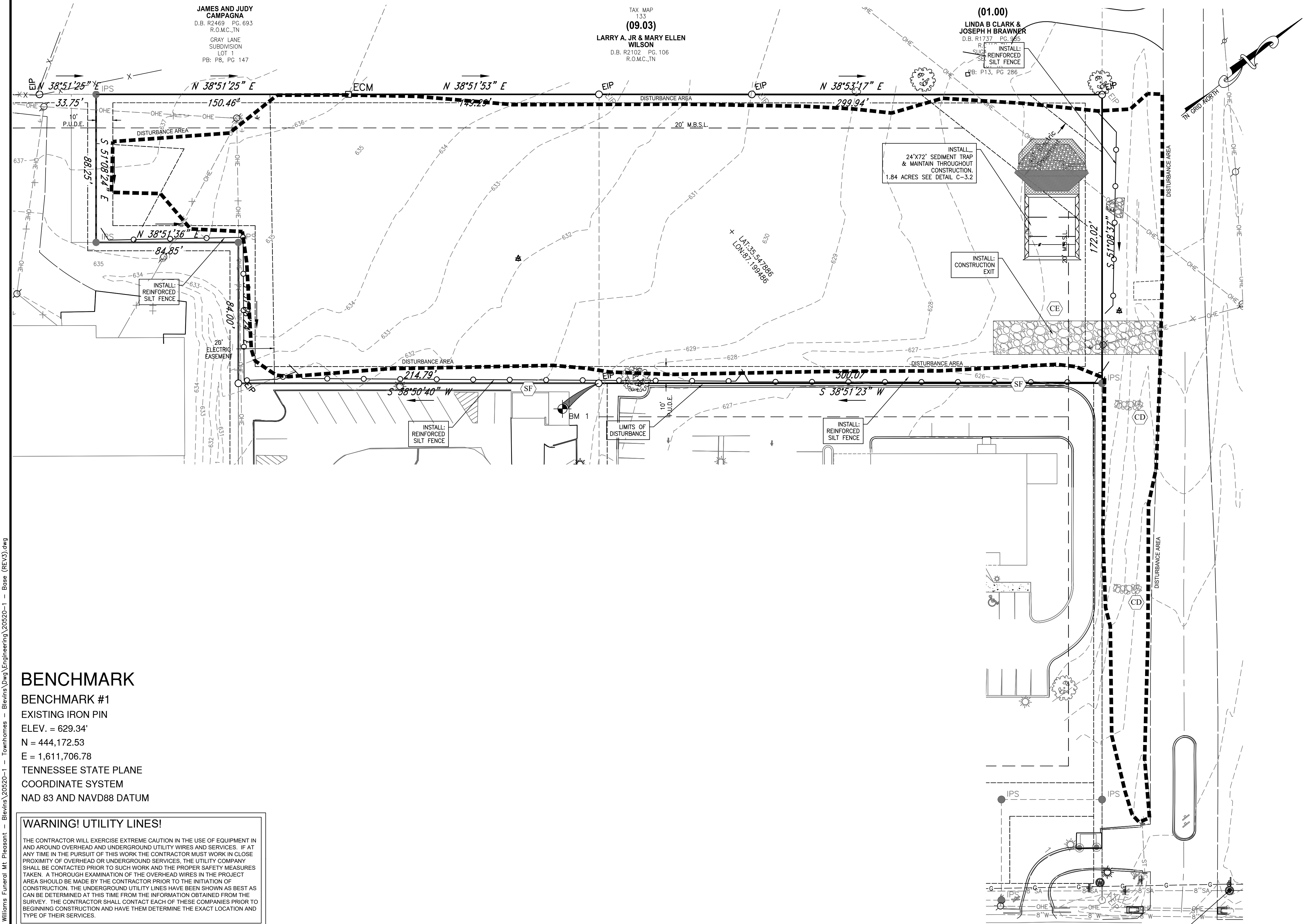
Drawn: JG	Checked: GV	Approved: GV	Date: 9/12/2023
Job No: 20520-1	Scale: Vertical	Horizontal:	

# EROSION PREVENTION AND SEDIMENT CONTROL PLAN

**JAMES AND JUDY CAMPAGNA**  
D.B. R2469 PG. 693  
R.O.M.C., TN  
GRAY LANE  
SUBDIVISION  
LOT 1  
PB: P8, PG 147

TAX MAP  
1.35  
**(09.03)**  
**LARRY A. JR & MARY ELLEN WILSON**  
D.B. R2102 PG. 106  
R.O.M.C., TN

**(01.00)**  
**LINDA B CLARK & JOSEPH H BRAUNER**  
D.B. R1737 PG. 565  
R.O.M.C., TN  
P13, PG 286



### EROSION/SILTATION CONTROL NOTES

- EXPOSED AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MINIMUM WHENEVER POSSIBLE.
- KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS APPROVED BY THE OWNER'S REPRESENTATIVE.
- DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION.
- NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION/SILTATION MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERLY IN PLACE.
- IF AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SILTATION MEASURES INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTIONS AS ARE NEEDED TO CORRECT THE SITUATION AT NO ADDITIONAL COST TO THE OWNER.
- EROSION/SILTATION FENCING SHOWN IS TO BE USED AS A TEMPORARY SEDIMENT BARRIER. FENCING IS TO BE FIRM AND SECURELY TIED AS SHOWN ON THE INCLUDED DETAIL.
- USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM SEDIMENT LOSS DURING AND UPON COMPLETION OF CONSTRUCTION.
- UPON STABILIZATION OF THE PROJECT SITE WITH A GOOD & ACCEPTABLE STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SILTATION INSTALLATIONS WILL BE REMOVED AND THE AREA DISTURBED WILL BE SEEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NEW GRASSES AREAS OF THE PROJECT.
- A STONE ACCESS RAMP IS TO BE CONSTRUCTED WITH A MINIMUM WIDTH OF 20 FEET AND MINIMUM LENGTH OF 100 FEET. RAMP IS TO BE BASED WITH 6 INCHES INCHES OF ASTM D 448, SIZE NO. 1 STONE, AND MAINTAINED THROUGHOUT CONSTRUCTION.
- EROSION AND SEDIMENT CONTROL MUST BE IMPLEMENTED AND MAINTAINED. PERFORM ALL WORK IN ACCORDANCE WITH THE "TEC EROSION AND SEDIMENT CONTROL HANDBOOK" AUGUST 2012. FAILURE TO COMPLY TO THESE BMP PRACTICES MAY RESULT IN A STOP WORK ORDER AND FINES.
- IN AREAS OF 2:1 OR GREATER SLOPE THAT EXCEED 5 FEET IN UNINTERRUPTED VERTICAL ELEVATION CHANGE WILL RECEIVE NORTH AMERICAN GREEN SC150 EROSION CONTROL MAT SEEDED FOR STABILIZATION (TEMPORARY OR PERMANENT). FOLLOW STABILIZATION PLAN INCLUDED IN APPROVED SWPPP FOR TEMPORARY & PERMANENT STABILIZATION OF SITE.
- ALL PROPOSED INLETS WILL BE INSTALLED WITH SILT FENCE EROSION PROTECTION OR APPROVED MAT TYPE INLET FILTER UNTIL STABILIZATION IS ESTABLISHED.
- PHASE I EP&SC SHOWN. ADJUSTMENTS TO BE MADE WHEN SLOPE CONSTRUCTION BEGINS TO KEEP SILT FENCE @ TOE OF SLOPE.
- ALL OPEN FLOW CHANNELS AND OUTLET STRUCTURES ARE TO RECEIVE NORTH AMERICAN GREEN SC150 EROSION CONTROL MATTING FOR STABILIZATION.

### BEST MANAGEMENT PRACTICES (BMP) NOTES:

- LAND CLEARING SHALL TAKE PLACE ONLY IN AREAS WHERE ACTIVE CONSTRUCTION WILL BEGIN WITHIN A REASONABLE AMOUNT OF TIME. LAND CLEARING DURING THE RAINY SEASON SHALL BE AVOIDED IN SENSITIVE AREAS SUCH AS STEEP SLOPES AND BUFFERS, IF POSSIBLE.
- DEVELOPED AREAS, SOIL STOCKPILES, DIKES, DAMS, CHANNELS, ETC., ARE TO BE SEEDED AND MULCHED. AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 14 DAYS. SUCH AREAS ARE TO IMMEDIATELY RECEIVE SEED AND MULCH STABILIZATION FOLLOWING THIS TIME PERIOD. ON STEEP SLOPES AND CHANNELS, MATTING SHALL BE FASTENED TO THE GROUND WITH WIRE STAPLES OR WOOD PEGS. WHERE SURFACE WATER CANNOT BE DIVERTED FROM FLOWING OVER THE FACE OF SLOPES, INSTALL A STRIP OF EROSION CONTROL MATTING AND FASTEN TIGHT ALONG THE CROWN OR TOP OF THE SLOPE FOR EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOIL.
- STEEP AND UNSTABLE SLOPES SHALL NOT BE DISTURBED IF THEY ARE OUTSIDE OF THE APPROVED GRADING PLAN AREA. RUNOFF SHALL BE CONVEYED FROM THE TOP OF THE SLOPE IN A SAFE MANNER ENSURING THAT THE SLOPE IS STABILIZED AS SOON AS POSSIBLE. ALL RUNOFF EXITING THE CONSTRUCTION SITE SHALL BE FREE OF EXCESSIVE SEDIMENT, AND OTHER POLLUTANTS.
- STREET AND/OR CURB INLET PROTECTION DEVICES SHALL BE PLACED AROUND ALL INLETS UPON THE CONSTRUCTION OF THE STORM WATER SEWER SYSTEM.
- ALL MATTED AREAS TO RECEIVE PERMANENT SEEDING.
- PLEASE CALL THE CITY OF MT. PLEASANT FOR INSPECTION OF EROSION CONTROL MEASURES BEFORE GRADING COMMENCES.

### SUPPLEMENTAL NOTES

- THE CONTRACTOR MUST OBTAIN AND REVIEW A COPY OF THE APPROVED STORM WATER POLLUTION PLAN SUBMITTED TO THE TENNESSEE DEPARTMENT OF ENVIRONMENTMENT & CONSERVATION. CONTRACTOR IS EXPECTED TO READ AND FOLLOW THIS PLAN DURING THE CONSTRUCTION OF THIS PROJECT. THE APPROVED SWPPP IS CONSIDERED TO BE A PART OF THE FINAL CONSTRUCTION DOCUMENTS.
- THE EROSION PREVENTION & SEDIMENT CONTROL MEASURES INCLUDED ON THIS SHEET REPRESENT PHASE 1 ONLY AND ARE REQUIRED TO BE INSTALLED PRIOR TO THE START OF EARTH DISTURBANCE IN THE AFFECTED AREA.
- ADJUSTMENTS TO THE EP&SC MEASURES WILL BE REQUIRED DURING NORMAL PROGRESSION OF THE PROJECT. REVIEW ALL PHASES OF THE EP&SC PLANS INCLUDED IN THE SWPPP FOR ADDITIONAL INFORMATION. COST ASSOCIATED WITH THESE ADJUSTMENTS ARE TO BE INCLUDED IN OTHER ITEMS OF CONSTRUCTION.
- UNDERCUT / REPLACEMENT OF SOFT SOILS SHALL BE PERFORMED AT THE DIRECTION OF THE OWNER AND FOLLOWING THE REQUIREMENTS ESTABLISHED BY THE GEOTECHNICAL ENGINEER. THE REPLACEMENT OF MATERIAL MAY INCLUDE EXISTING SOILS MEETING THE GEOTECHNICAL REQUIREMENTS.
- CONTRACTOR IS TO MARK THE LIMIT OF DISTURBANCE PRIOR TO START OF CONSTRUCTION AND OBSERVE THESE LIMITS FOR THE DURATION OF THE PROJECT.
- MAINTAIN EROSION CONTROL MEASURES AS INDICATED IN THE SWPPP BETWEEN PHASES AND REPLACE BMP MATERIALS BEFORE FAILURE RESULTS DUE TO DEGRADATION.

### GEOTECHNICAL NOTE:

CONTRACTOR TO COMPLETE A GEOTECHNICAL STUDY CONDUCTED ON THIS SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN HAVE RELIED ON GENERAL INFORMATION FROM FIELD REVIEW OF EXISTING TERRAIN. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, THE GEOTECHNICAL ENGINEER AND THE OWNER/DEVELOPER. BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED, ALL PARTIES TO THE PROCESS (OWNER, CIVIL ENGINEER, GEOTECHNICAL ENGINEER, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE AGREEMENT OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

### SITE BENCHMARK NOTE:

CONTRACTOR SHALL ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION. EXISTING BENCHMARK MUST BE REVERIFIED AND APPROVED BY THE ENGINEER/SURVEYOR PRIOR TO USE.

BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY:  
W.E.S. ENGINEERS AND SURVEYORS  
2486 NASHVILLE HWY  
COLUMBIA, TENNESSEE 38401  
(931) 388-2329

Drawn: JG  
Checked: CV  
Approved: CV  
Date: 9/12/2023

**FLOOD STUDY NOTE:**  
THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS (FIRM'S) MAP NUMBER 47119C0205E DATED APRIL 17, 2007.

gerald@wesen@theets.com

**BENCHMARK**  
BENCHMARK #1  
EXISTING IRON PIN  
ELEV. = 629.34'  
N = 444,172.53  
E = 1,611,706.78  
TENNESSEE STATE PLANE  
COORDINATE SYSTEM  
NAD 83 AND NAVD88 DATUM

**WARNING! UTILITY LINES!**  
THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF OVERHEAD OR UNDERGROUND SERVICES, THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THE UNDERGROUND UTILITY LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.

**LEGEND**

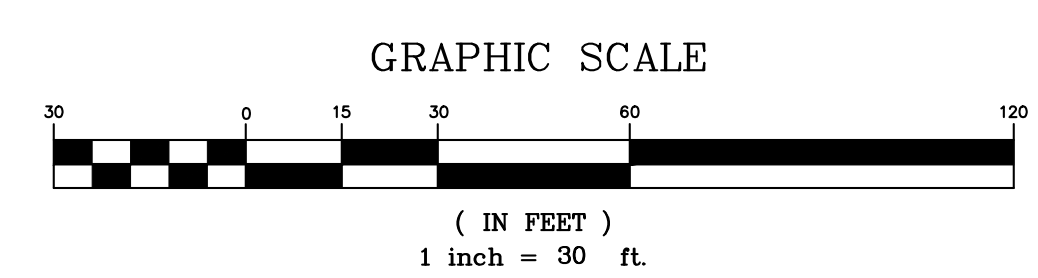
EXISTING	PROPOSED
WATER MAIN	WATER MAIN
SANITARY SEWER	SANITARY SEWER
STORM SEWER	STORM SEWER
OVERHEAD FENCE	OVERHEAD FENCE
S&S DRAINAGE DITCH	S&S DRAINAGE DITCH
TREE PROTECTION FENCE	TREE PROTECTION FENCE
UTILITY POLE	UTILITY POLE
IRON PIN SET	IRON PIN SET
EXISTING IRON PIN	EXISTING IRON PIN
CONCRETE MONUMENT	CONCRETE MONUMENT
DECIDUOUS TREE	DECIDUOUS TREE
GATE VALVE IN BOX	GATE VALVE IN BOX
LIGHT POLE	LIGHT POLE
BENCHMARK	BENCHMARK

**SOIL EROSION PROTECTION AND CONTROL MEASURES**

SILTFENCE	INLET PROTECTION	IP
CONSTRUCTION EXIT	STORM OUTLET PROTECTION	OP
SILT FENCE	REINFORCEMENT MAT	MA
CHECK DAMS	TEMPORARY SEEDING	TS
PERMANENT SEEDING & MULCHING		

Tree Line Storm Structure Label  
Asphalt  
Concrete  
Parking Spaces

- EPSC PHASE 1:**
- PHASE 1:
- CONSTRUCT CONSTRUCTION EXIT AND TEMPORARY EPSC MEASURES
  - CALL THE CITY OF MT. PLEASANT FOR INSPECTION OF EROSION CONTROL INSTALLATION PRIOR TO PROCEEDING.
  - TEMPORARY SEED AND STABILIZATION OF EACH DISTURBED AREA BEFORE PROCEEDING TO NEXT AREA.



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P.O. BOX 38  
COLUMBIA, TN 38402

DATE: 9/27/23

REVISIONS:

**SUGAR CREEK TOWNHOMES**  
SUGAR CREEK LANE  
MT. PLEASANT, MAURY COUNTY, TENNESSEE  
EROSION PREVENTION AND SEDIMENT CONTROL PLAN PHASE 1

Drawn: JG  
Checked: CV  
Approved: CV  
Date: 9/12/2023

Scale: Vertical: 1"=30'  
Horizontal: 1"=30'

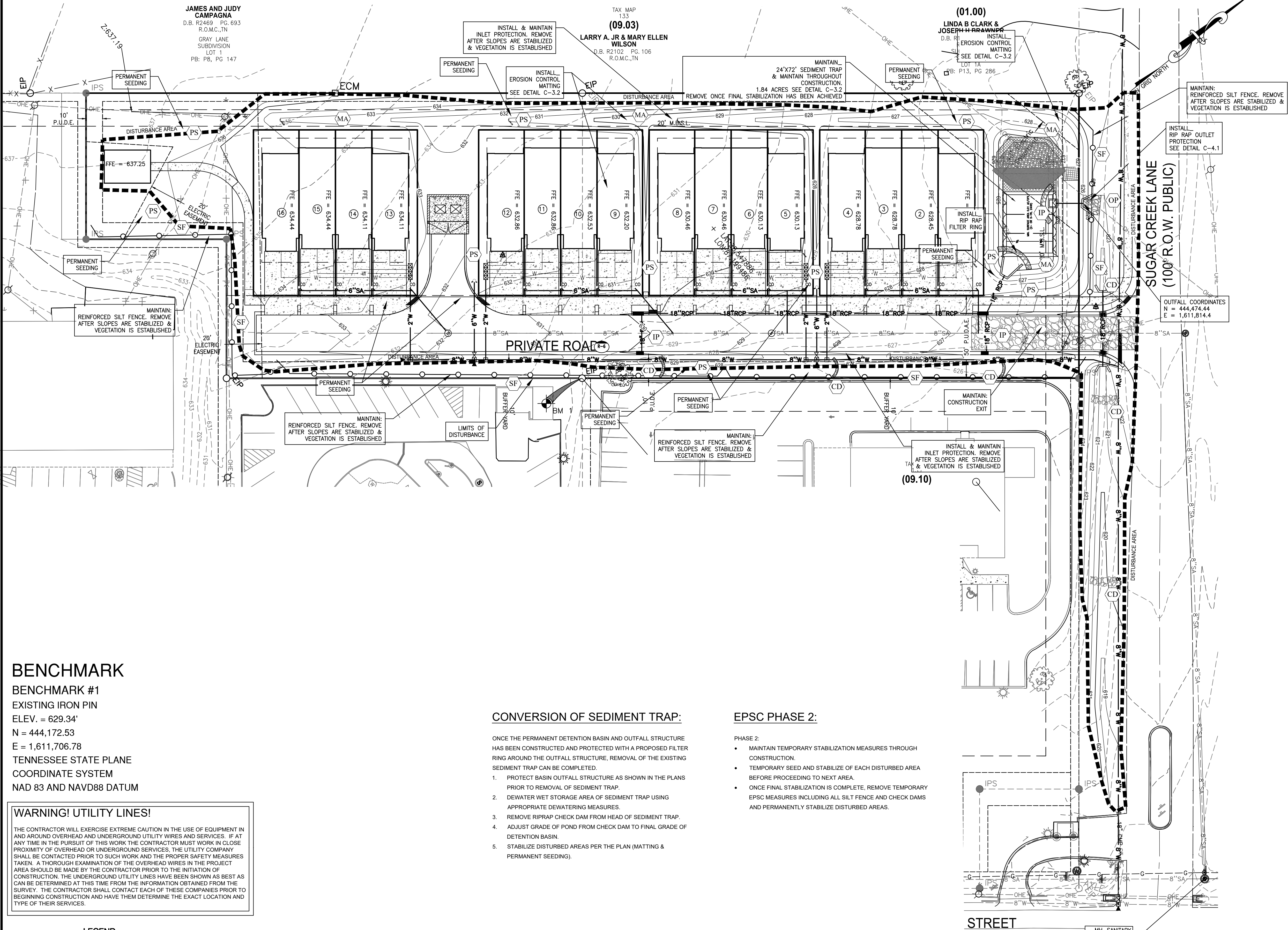
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# EROSION PREVENTION AND SEDIMENT CONTROL PLAN



### EROSION/SILTATION CONTROL NOTES

- EXPOSED AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MINIMUM WHENEVER POSSIBLE.
- KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS APPROVED BY THE OWNER'S REPRESENTATIVE.
- DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION.
- NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION/SILTATION MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERLY IN PLACE.
- AT ANY TIME DURING THE CONSTRUCTION PHASE OF THIS PROJECT, THE EROSION/SILTATION MEASURES INSTALLED FAIL TO FUNCTION PROPERLY, NEED MAINTENANCE OR REPAIR, OR NEED NEW REPLACEMENT IN KIND, THE CONTRACTOR WILL EFFECT SUCH ACTIONS AS ARE NEEDED TO CORRECT THE SITUATION AT NO ADDITIONAL COST TO THE OWNER.
- EROSION/SILTATION FENCING SHOWN IS TO BE USED AS A TEMPORARY SEDIMENT BARRIER. FENCING IS TO BE FIRM AND SECURELY TIED AS SHOWN ON THE INCLUDED DETAIL.
- USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM SEDIMENT LOSS DURING AND UPON COMPLETION OF CONSTRUCTION.
- UPON STABILIZATION OF THE PROJECT SITE WITH A GOOD & ACCEPTABLE STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SILTATION INSTALLATIONS WILL BE REMOVED AND THE AREA DISTURBED WILL BE SEEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NEW GRASSES AREAS OF THE PROJECT.
- A STONE ACCESS RAMP IS TO BE CONSTRUCTED WITH A MINIMUM WIDTH OF 20 FEET AND MINIMUM LENGTH OF 100 FEET. RAMP IS TO BE BASED WITH 6 INCHES INCHES OF ASTM D 448, SIZE NO. 1 STONE, AND MAINTAINED THROUGHOUT CONSTRUCTION.
- EROSION AND SEDIMENT CONTROL MUST BE IMPLEMENTED AND MAINTAINED. PERFORM ALL WORK IN ACCORDANCE WITH THE "DEEG EROSION AND SEDIMENT CONTROL HANDBOOK" AUGUST 2012. FAILURE TO COMPLY TO THESE BMP PRACTICES MAY RESULT IN A STOP WORK ORDER AND FINES.
- IN AREAS OF 2:1 OR GREATER SLOPE THAT EXCEED 5 FEET IN UNINTERRUPTED VERTICAL ELEVATION CHANGE WILL RECEIVE NORTH AMERICAN GREEN SC150 EROSION CONTROL MAT SEEDED FOR STABILIZATION (TEMPORARY OR PERMANENT). FOLLOW STABILIZATION PLAN INCLUDED IN APPROVED SWPPP FOR TEMPORARY & PERMANENT STABILIZATION OF SITE.
- ALL PROPOSED SLOPES WILL BE INSTALLED WITH SILT FENCE EROSION PROTECTION OR APPROVED MAT TYPE INLET FILTER UNTIL STABILIZATION IS ESTABLISHED.
- PHASE I EPSC SHOWN. ADJUSTMENTS TO BE MADE WHEN SLOPE CONSTRUCTION BEGINS TO KEEP SILT FENCE @ TOE OF SLOPE.
- ALL OPEN FLOW CHANNELS AND OUTLET STRUCTURES ARE TO RECEIVE NORTH AMERICAN GREEN SC150 EROSION CONTROL MATTING FOR STABILIZATION.

### BEST MANAGEMENT PRACTICES (BMP) NOTES:

- LAND CLEARING SHALL TAKE PLACE ONLY IN AREAS WHERE ACTIVE CONSTRUCTION WILL BEGIN WITHIN A REASONABLE AMOUNT OF TIME. LAND CLEARING DURING THE RAINY SEASON SHALL BE AVOIDED IN SENSITIVE AREAS SUCH AS STEEP SLOPES AND BUFFERS, IF POSSIBLE.
- DEVELOPED AREAS, SOIL STOCKPILES, DIKES, DAMS, CHANNELS, ETC. ARE TO BE SEEDED AND MULCHED. AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 14 DAYS. SUCH AREAS ARE TO IMMEDIATELY RECEIVE SEED AND MULCH STABILIZATION FOLLOWING THIS TIME PERIOD. ON STEEP SLOPES AND CHANNELS, MATTING SHALL BE FASTENED TO THE GROUND WITH WIRE STAPLES OR WOOD PEGS. WHERE SURFACE WATER CANNOT BE DIVERTED FROM FLOWING OVER THE FACE OF SLOPES, INSTALL A STRIP OF EROSION CONTROL MATTING AND FASTEN TIGHT ALONG THE CROWN OR TOP OF THE SLOPE FOR EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOIL.
- STEEP AND UNSTABLE SLOPES SHALL NOT BE DISTURBED IF THEY ARE OUTSIDE OF THE APPROVED GRADING PLAN AREA. RUNOFF SHALL BE CONVEYED FROM THE TOP OF THE SLOPE IN A SAFE MANNER ENSURING THAT THE SLOPE IS STABILIZED AS SOON AS POSSIBLE. ALL RUNOFF EXITING THE CONSTRUCTION SITE SHALL BE FREE OF EXCESSIVE SEDIMENT, AND OTHER POLLUTANTS.
- STREET AND/OR CURB INLET PROTECTION DEVICES SHALL BE PLACED AROUND ALL INLETS UPON THE COMPLETION OF THE STORM WATER SEWER SYSTEM.
- ALL MATTED AREAS TO RECEIVE PERMANENT SEEDING.
- PLEASE CALL THE CITY OF MT. PLEASANT FOR INSPECTION OF EROSION CONTROL MEASURES BEFORE GRADING COMMENCES.

### SUPPLEMENTAL NOTES

- THE CONTRACTOR MUST OBTAIN AND REVIEW A COPY OF THE APPROVED STORM WATER POLLUTION PLAN SUBMITTED TO THE TENNESSEE DEPARTMENT OF ENVIRONMENT & CONSERVATION. CONTRACTOR IS EXPECTED TO READ AND FOLLOW THIS PLAN DURING THE CONSTRUCTION OF THIS PROJECT. THE APPROVED SWPPP IS CONSIDERED TO BE A PART OF THE FINAL CONSTRUCTION DOCUMENTS.
- THE EROSION PREVENTION & SEDIMENT CONTROL MEASURES INCLUDED ON THIS SHEET REPRESENT PHASE 2 ONLY AND ARE REQUIRED TO BE INSTALLED PRIOR TO THE START OF EARTH DISTURBANCE IN THE AFFECTED AREA.
- ADJUSTMENTS TO THE EPSC MEASURES WILL BE REQUIRED DURING NORMAL PROGRESSION OF THE PROJECT. REVIEW ALL PHASES OF THE EPSC PLANS INCLUDED IN THE SWPPP FOR ADDITIONAL INFORMATION. COST ASSOCIATED WITH THESE ADJUSTMENTS ARE TO BE INCLUDED IN OTHER ITEMS OF CONSTRUCTION.
- UNDERCUT / REPLACEMENT OF SOFT SOILS SHALL BE PERFORMED AT THE DIRECTION OF THE OWNER AND FOLLOWING THE REQUIREMENTS ESTABLISHED BY THE GEOTECHNICAL ENGINEER. THE REPLACEMENT OF MATERIAL MAY INCLUDE EXISTING SOILS MEETING THE GEOTECHNICAL REQUIREMENTS.
- CONTRACTOR IS TO MARK THE LIMIT OF DISTURBANCE PRIOR TO START OF CONSTRUCTION AND OBSERVE THESE LIMITS FOR THE DURATION OF THE PROJECT.
- MAINTAIN EROSION CONTROL MEASURES AS INDICATED IN THE SWPPP BETWEEN PHASES AND REPLACE BMP MATERIALS BEFORE FAILURE RESULTS DUE TO DEGRADATION.

### GEOTECHNICAL NOTE:

CONTRACTOR TO COMPLETE A GEOTECHNICAL STUDY CONDUCTED ON THIS SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN HAVE RELIED ON GENERAL INFORMATION FROM FIELD REVIEW OF EXISTING TERRAIN. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT THE SCOPE OF THIS WORK WILL IMMEDIATELY IMPACT THE SOILS, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, THE GEOTECHNICAL ENGINEER AND THE OWNER/DEVELOPER. BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED, ALL PARTIES TO THE PROCESS (OWNER, CIVIL ENGINEER, GEOTECHNICAL ENGINEER, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE AGREEMENT OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

### SITE BENCHMARK NOTE:

CONTRACTOR SHALL ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION. EXISTING BENCHMARK MUST BE RE-VERIFIED AND APPROVED BY THE ENGINEER/SURVEYOR PRIOR TO USE.

### BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY:

W.E.S. ENGINEERS AND SURVEYORS  
2486 NASHVILLE HWY  
COLUMBIA, TENNESSEE 38401  
(931) 388-2329

### FLOOD STUDY NOTE:

THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS (FIRM'S) MAP NUMBER 47119C0265E DATED APRIL 17, 2007.

### BENCHMARK

**BENCHMARK #1**  
EXISTING IRON PIN  
ELEV. = 629.34'  
N = 444,172.53  
E = 1,611,706.78  
TENNESSEE STATE PLANE  
COORDINATE SYSTEM  
NAD 83 AND NAVD88 DATUM

### WARNING! UTILITY LINES!

THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF OVERHEAD OR UNDERGROUND SERVICES, THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THE UNDERGROUND UTILITY LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.

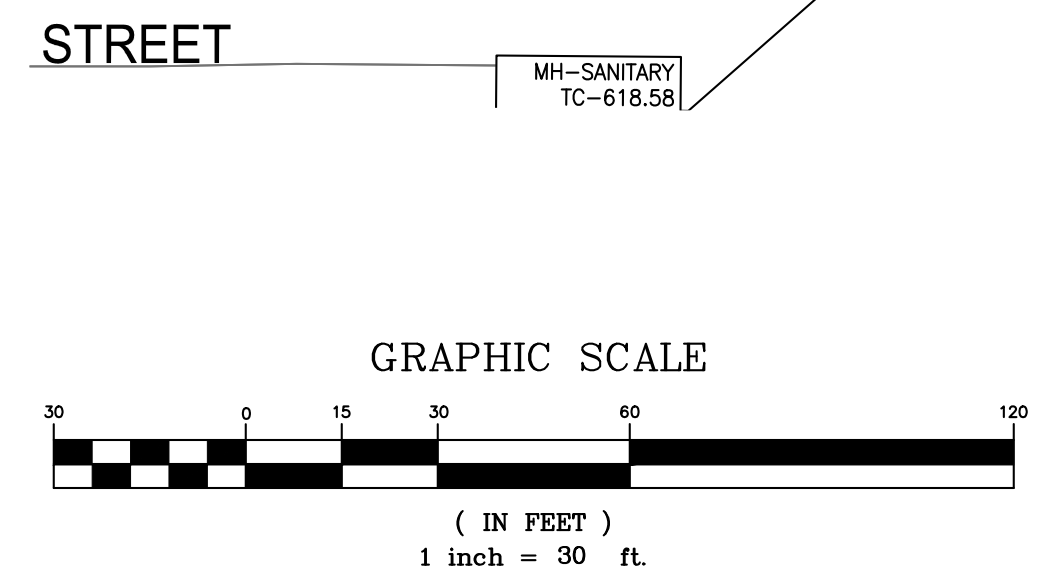
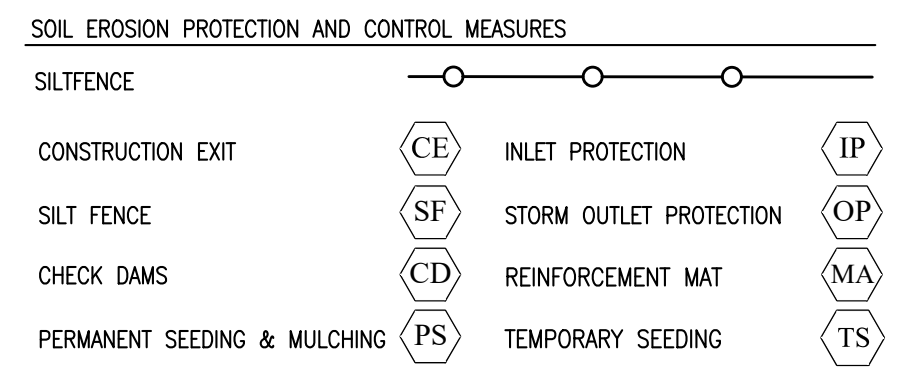
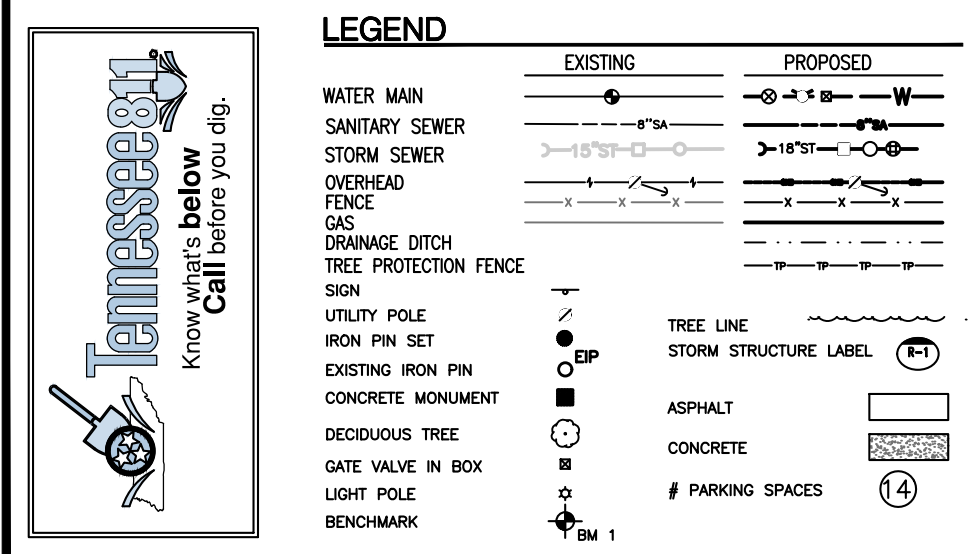
### CONVERSION OF SEDIMENT TRAP:

ONCE THE PERMANENT DETENTION BASIN AND OUTFALL STRUCTURE HAS BEEN CONSTRUCTED AND PROTECTED WITH A PROPOSED FILTER RING AROUND THE OUTFALL STRUCTURE, REMOVAL OF THE EXISTING SEDIMENT TRAP CAN BE COMPLETED.

- PROTECT BASIN OUTFALL STRUCTURE AS SHOWN IN THE PLANS PRIOR TO REMOVAL OF SEDIMENT TRAP.
- DEWATER WET STORAGE AREA OF SEDIMENT TRAP USING APPROPRIATE DEWATERING MEASURES.
- REMOVE RIPRAP CHECK DAM FROM HEAD OF SEDIMENT TRAP.
- ADJUST GRADE OF POND FROM CHECK DAM TO FINAL GRADE OF DETENTION BASIN.
- STABILIZE DISTURBED AREAS PER THE PLAN (MATTING & PERMANENT SEEDING).

### EPSC PHASE 2:

- PHASE 2:
- MAINTAIN TEMPORARY STABILIZATION MEASURES THROUGH CONSTRUCTION.
  - TEMPORARY SEED AND STABILIZE OF EACH DISTURBED AREA BEFORE PROCEEDING TO NEXT AREA.
  - ONCE FINAL STABILIZATION IS COMPLETE, REMOVE TEMPORARY EPSC MEASURES INCLUDING ALL SILT FENCE AND CHECK DAMS AND PERMANENTLY STABILIZE DISTURBED AREAS.



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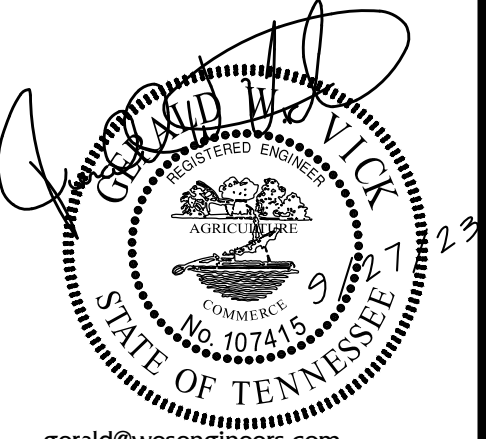
Client  
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P.O. BOX 38  
COLUMBIA, TN 38402

REVISED	DATE	STAFF COMMENTS ADDRESSED
	9/27/23	

**SUGAR CREEK TOWNHOMES**  
SUGAR CREEK LANE  
MT. PLEASANT, MAURY COUNTY, TENNESSEE  
EROSION PREVENTION AND SEDIMENT CONTROL PLAN PHASE 2

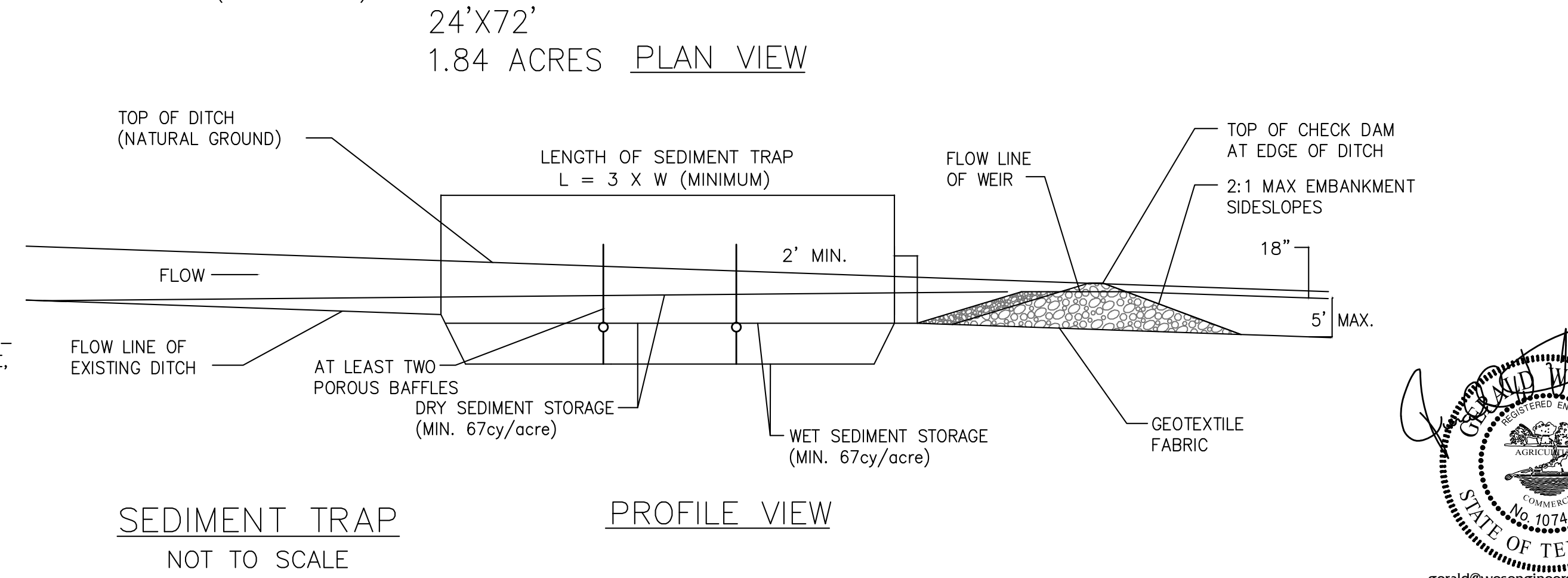
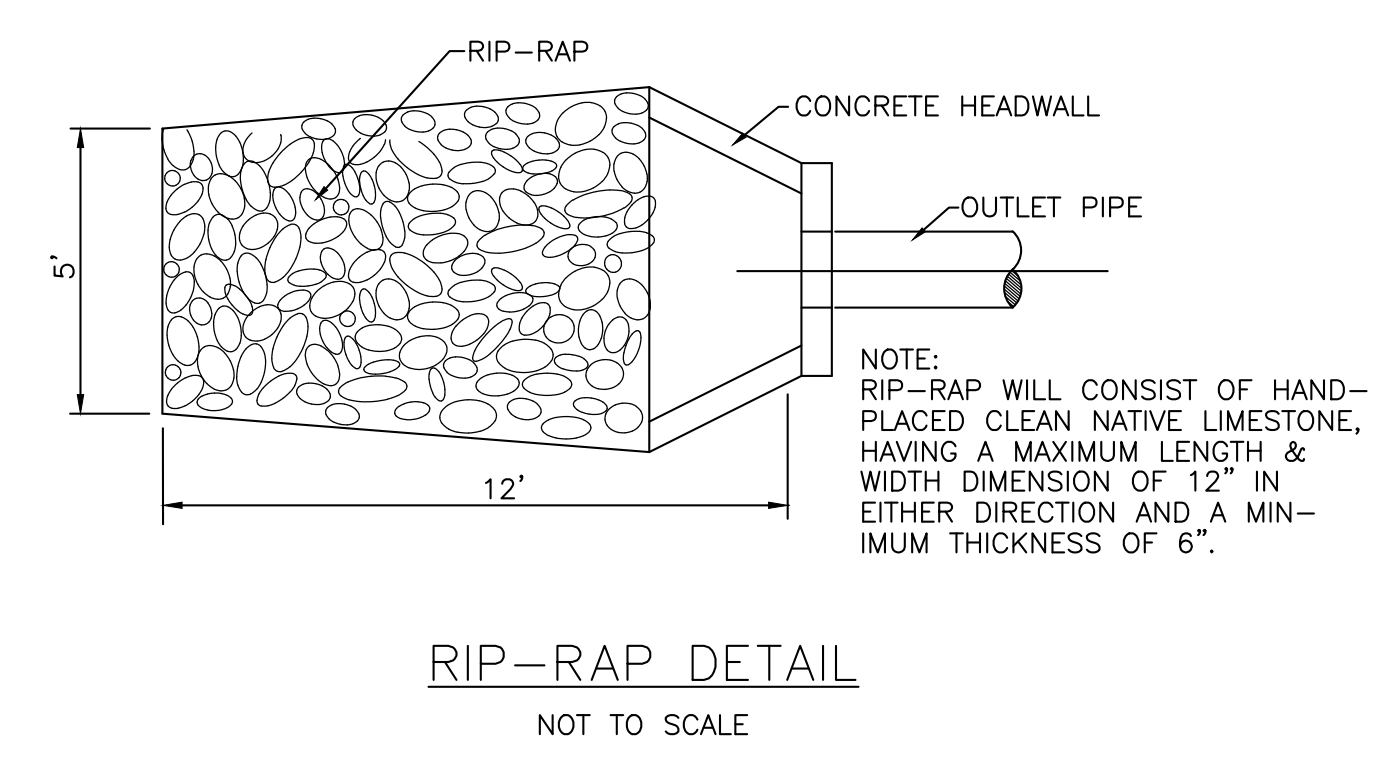
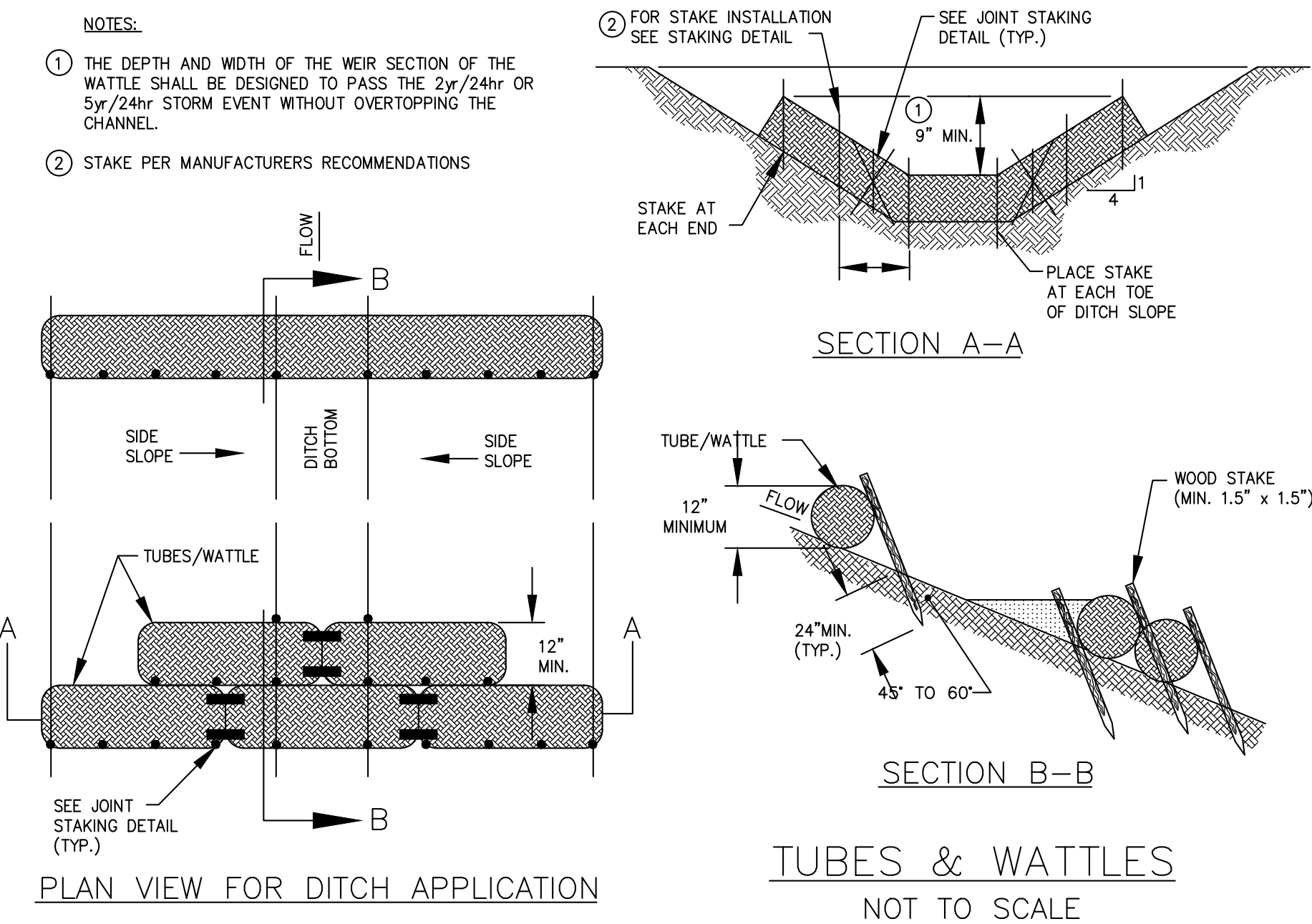
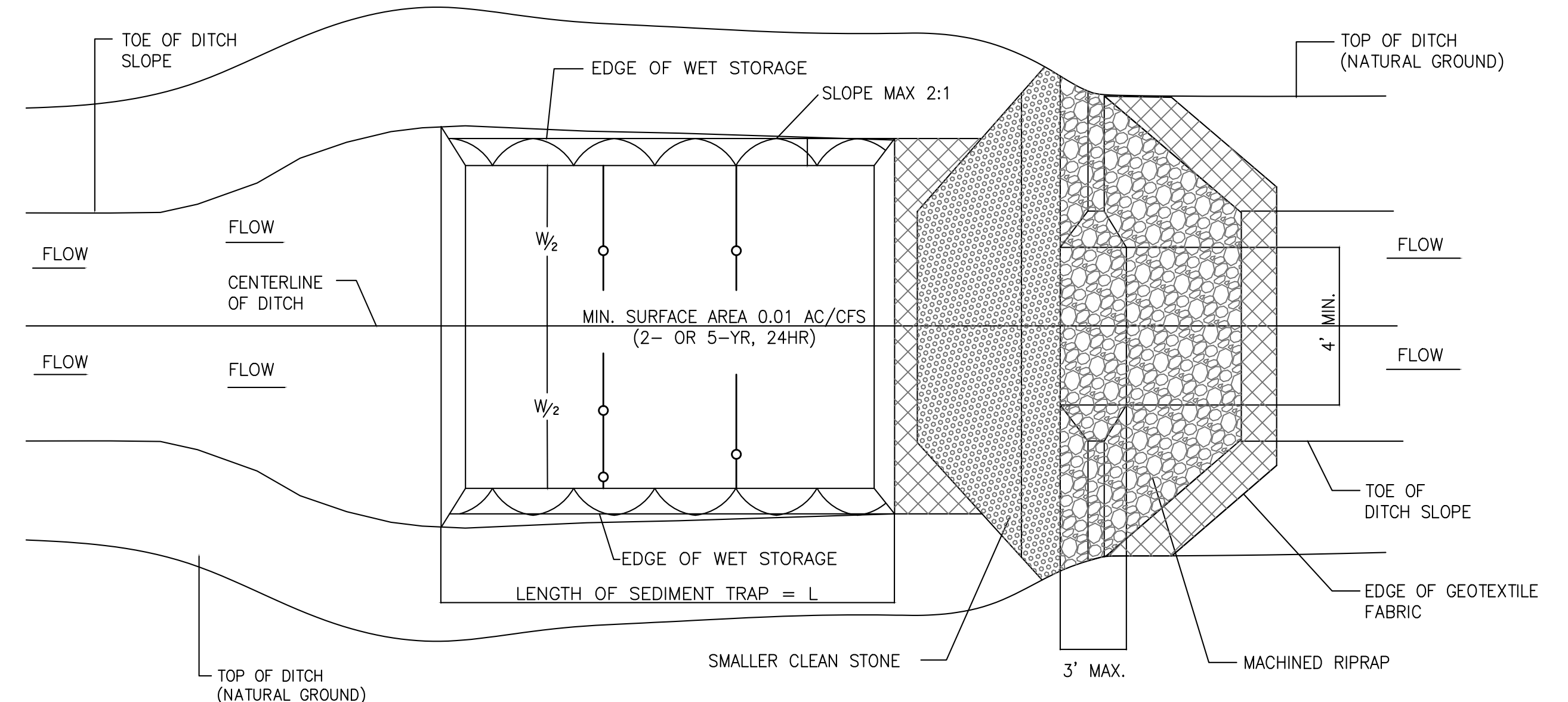
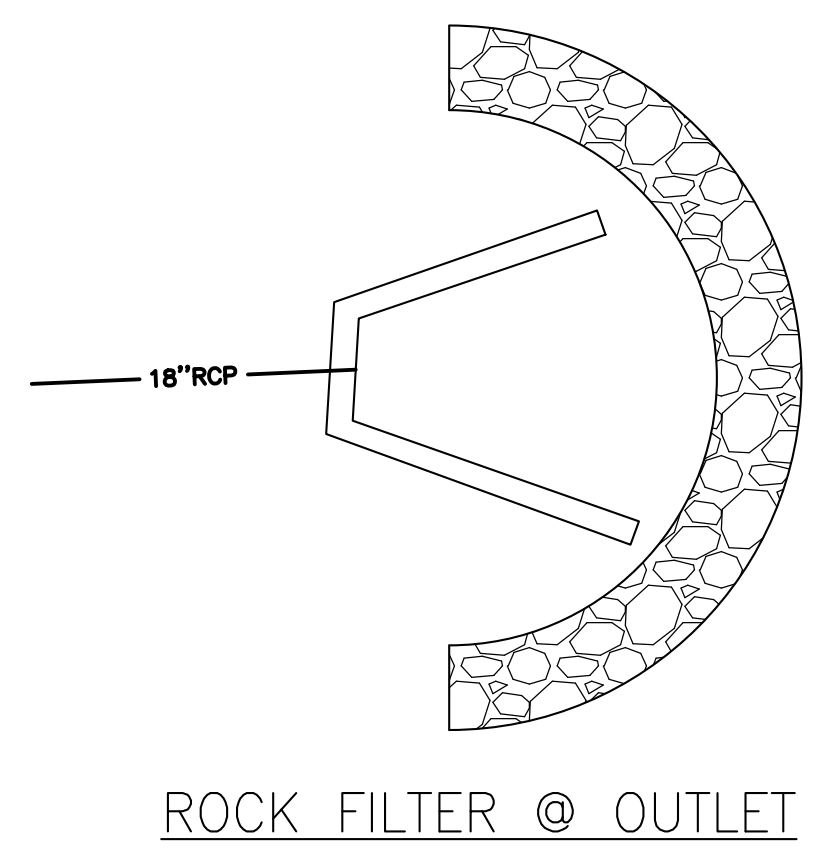
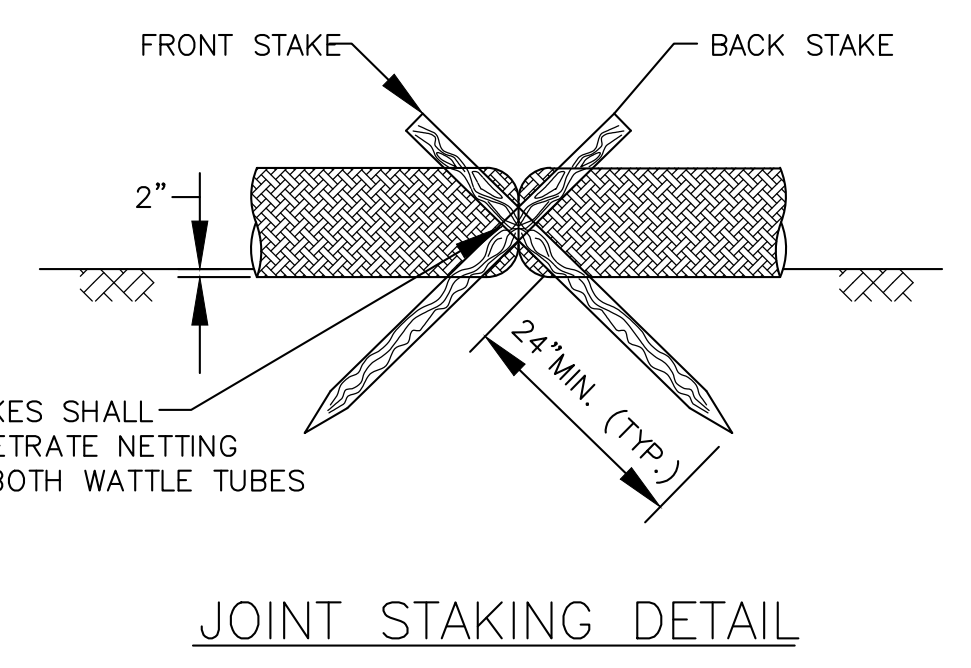
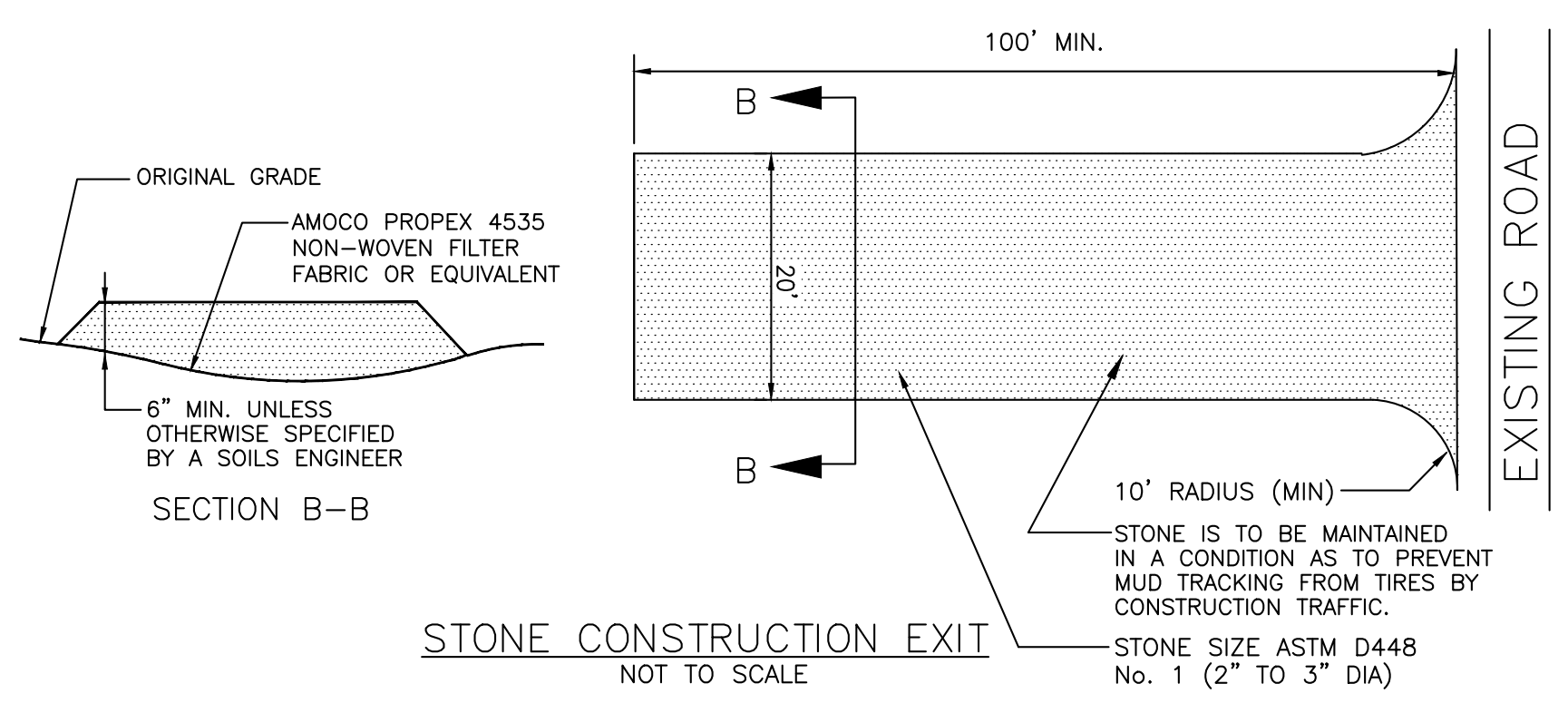
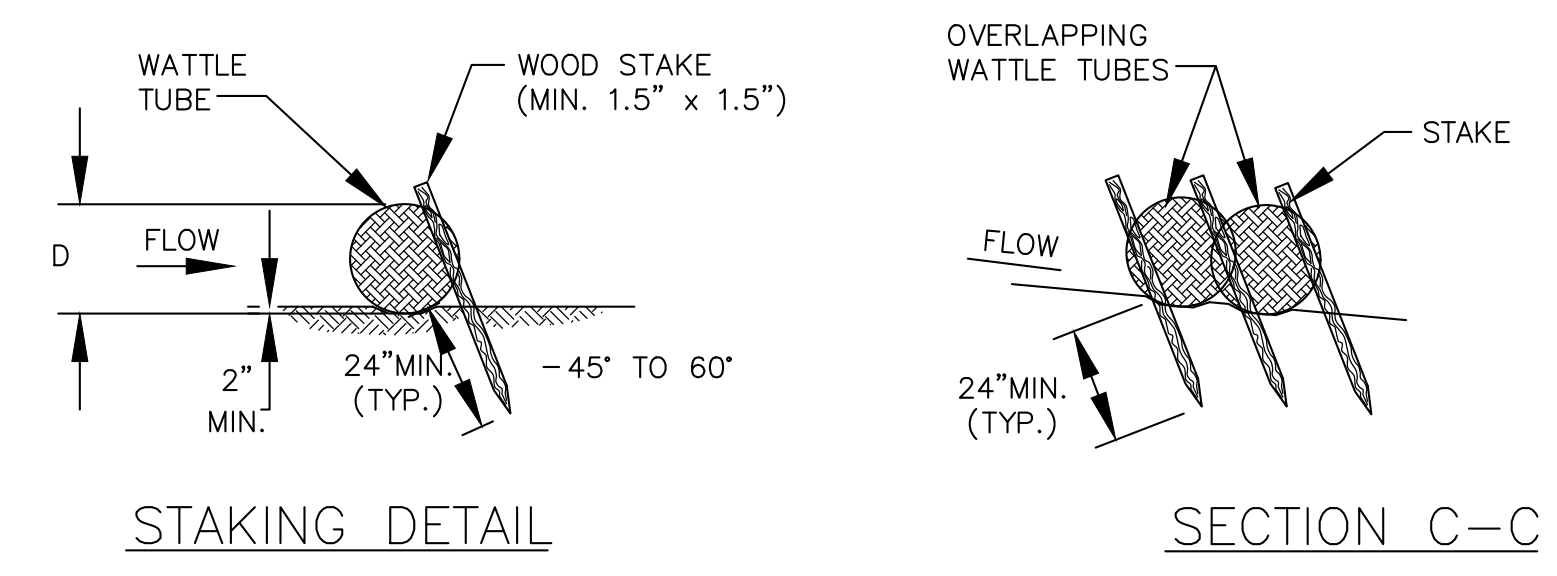
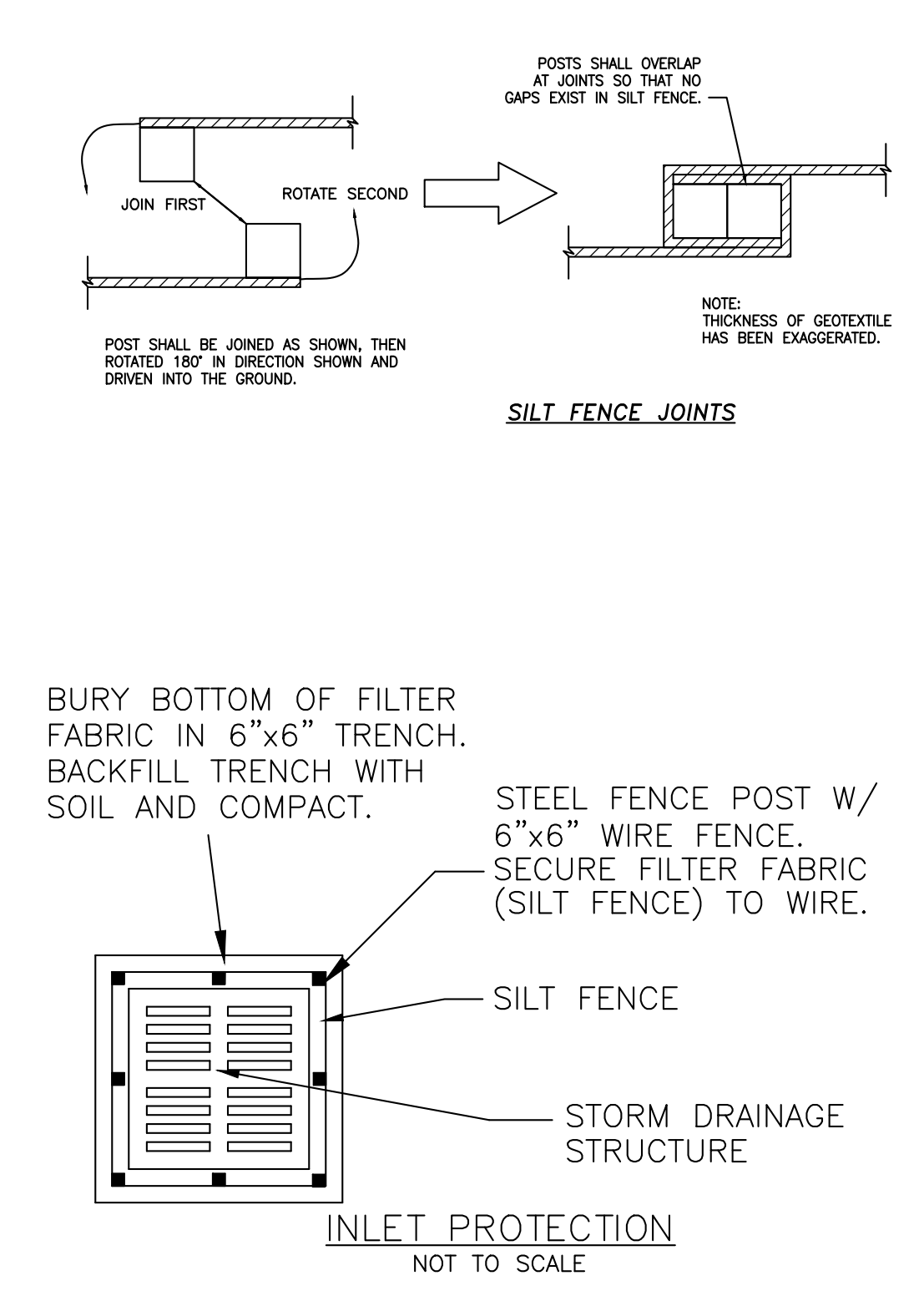
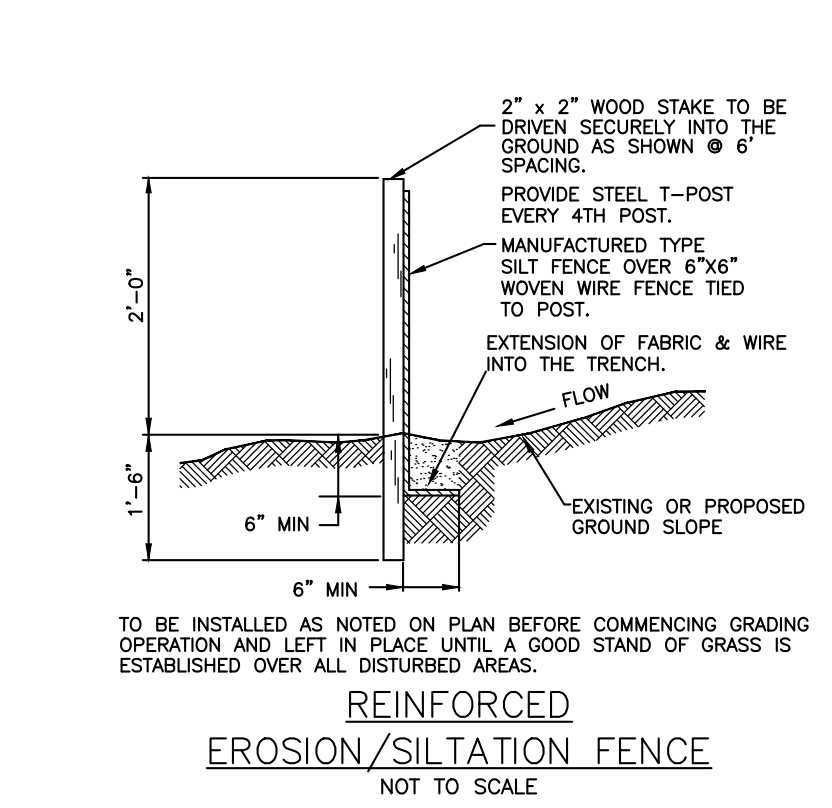
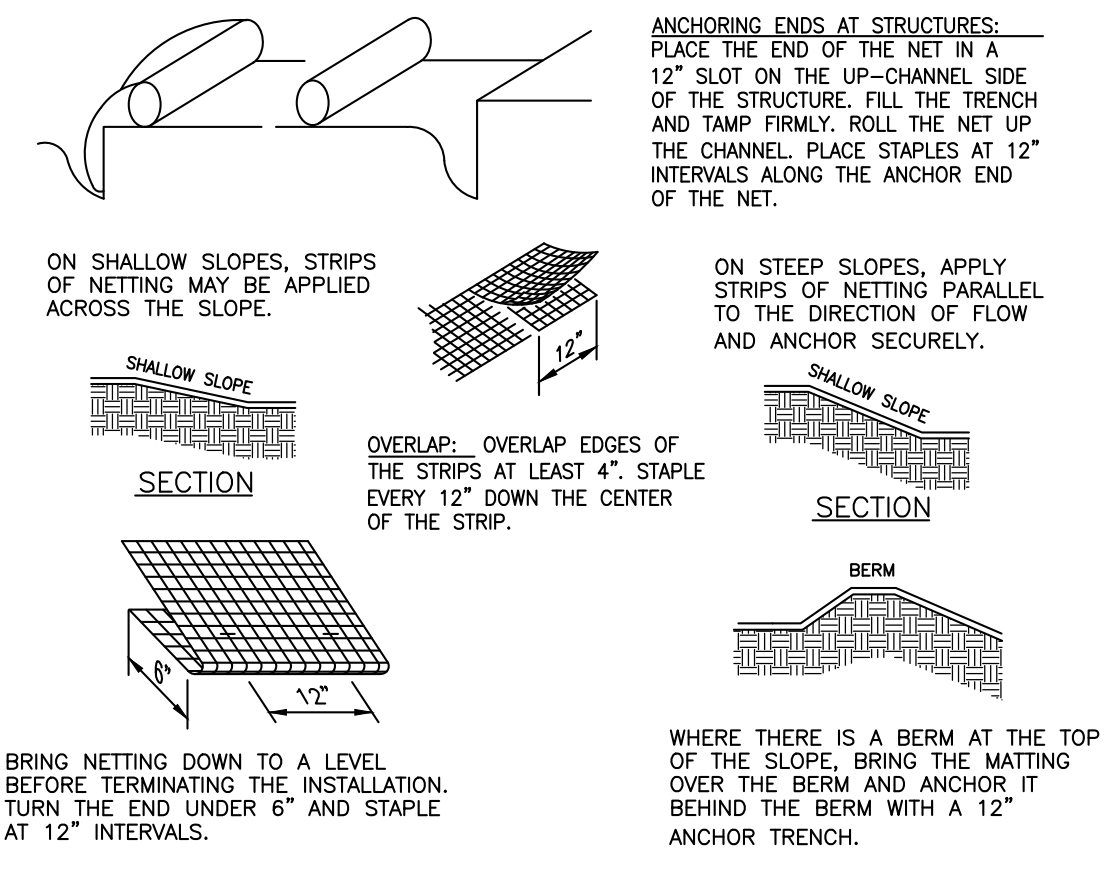
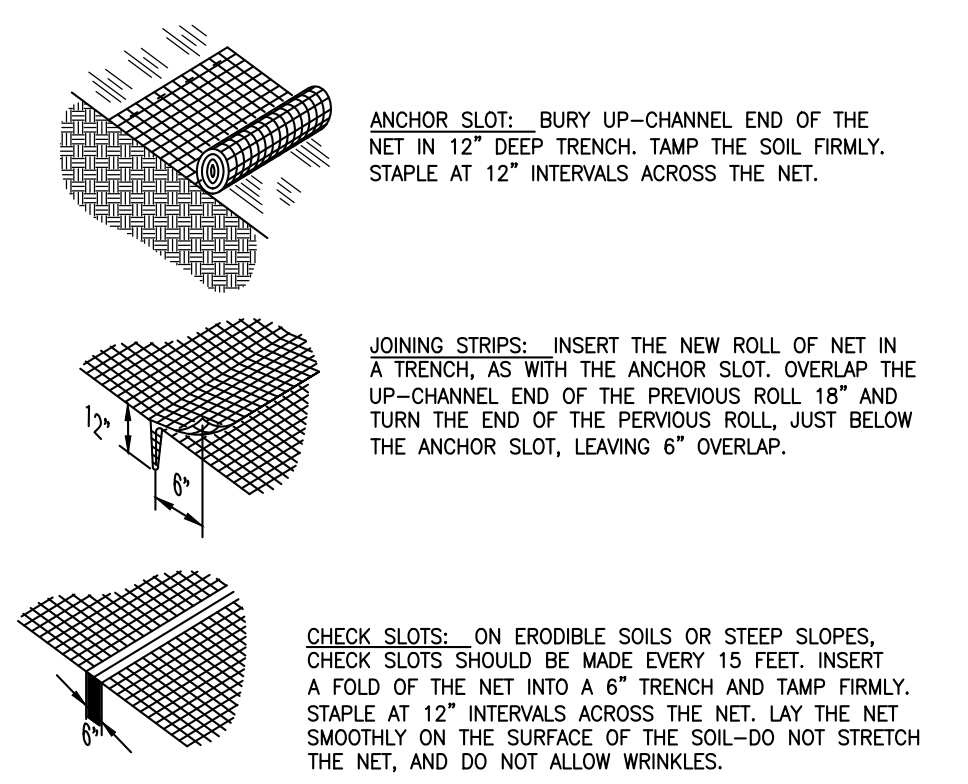
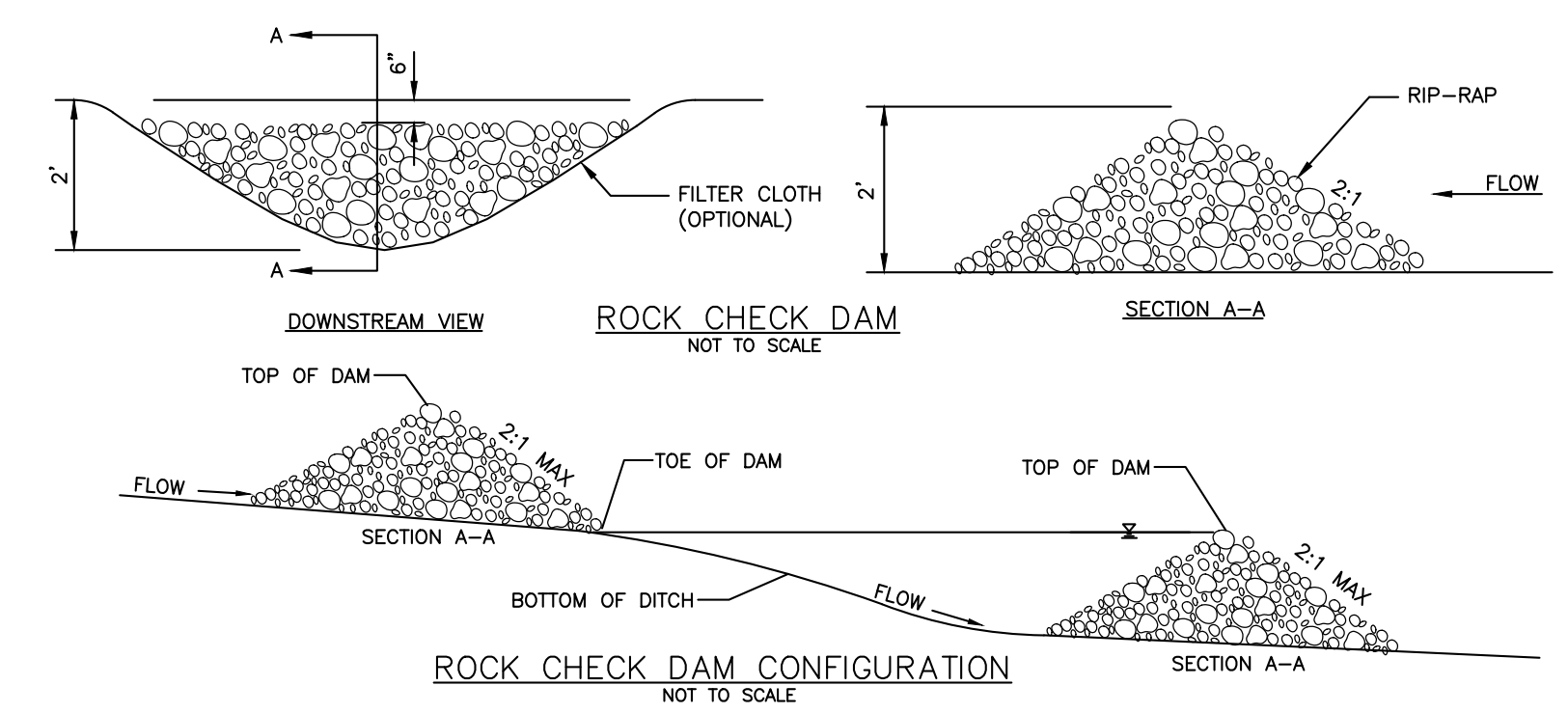
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Job No. 20520-1  
Scale: Vertical 1"=30'  
Horizontal:  
Submitted for City Approval  
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gerald@wesengineers.com

# EROSION PREVENTION AND SEDIMENT CONTROL DETAILS



- NOTES:**
- 1 THE DEPTH AND WIDTH OF THE WEIR SECTION OF THE WATTLE SHALL BE DESIGNED TO PASS THE 2yr/24hr OR 5yr/24hr STORM EVENT WITHOUT OVERTOPPING THE CHANNEL.
  - 2 STAKE PER MANUFACTURERS RECOMMENDATIONS

NOTE: RIP-RAP WILL CONSIST OF HAND-PLACED CLEAN NATIVE LIMESTONE, HAVING A MAXIMUM LENGTH & WIDTH DIMENSION OF 12" IN EITHER DIRECTION AND A MINIMUM THICKNESS OF 6".



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**WES ENGINEERS & SURVEYORS**

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DATE: 9/27/23

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REVISIONS:  
STAFF COMMENTS ADDRESSED

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**SUGAR CREEK TOWNHOMES**

SUGAR CREEK LANE  
MT. PLEASANT, MAURY COUNTY, TENNESSEE

EROSION PREVENTION AND SEDIMENT CONTROL DETAILS

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Drawn: JG  
Checked: GV  
Approved: GV  
Date: 9/12/2023

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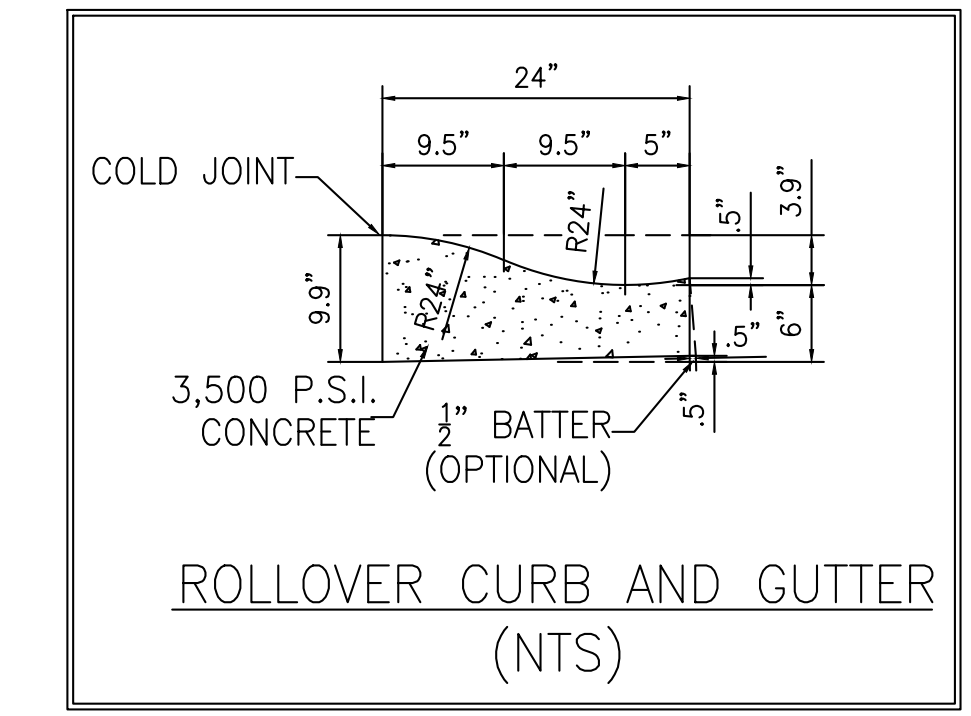
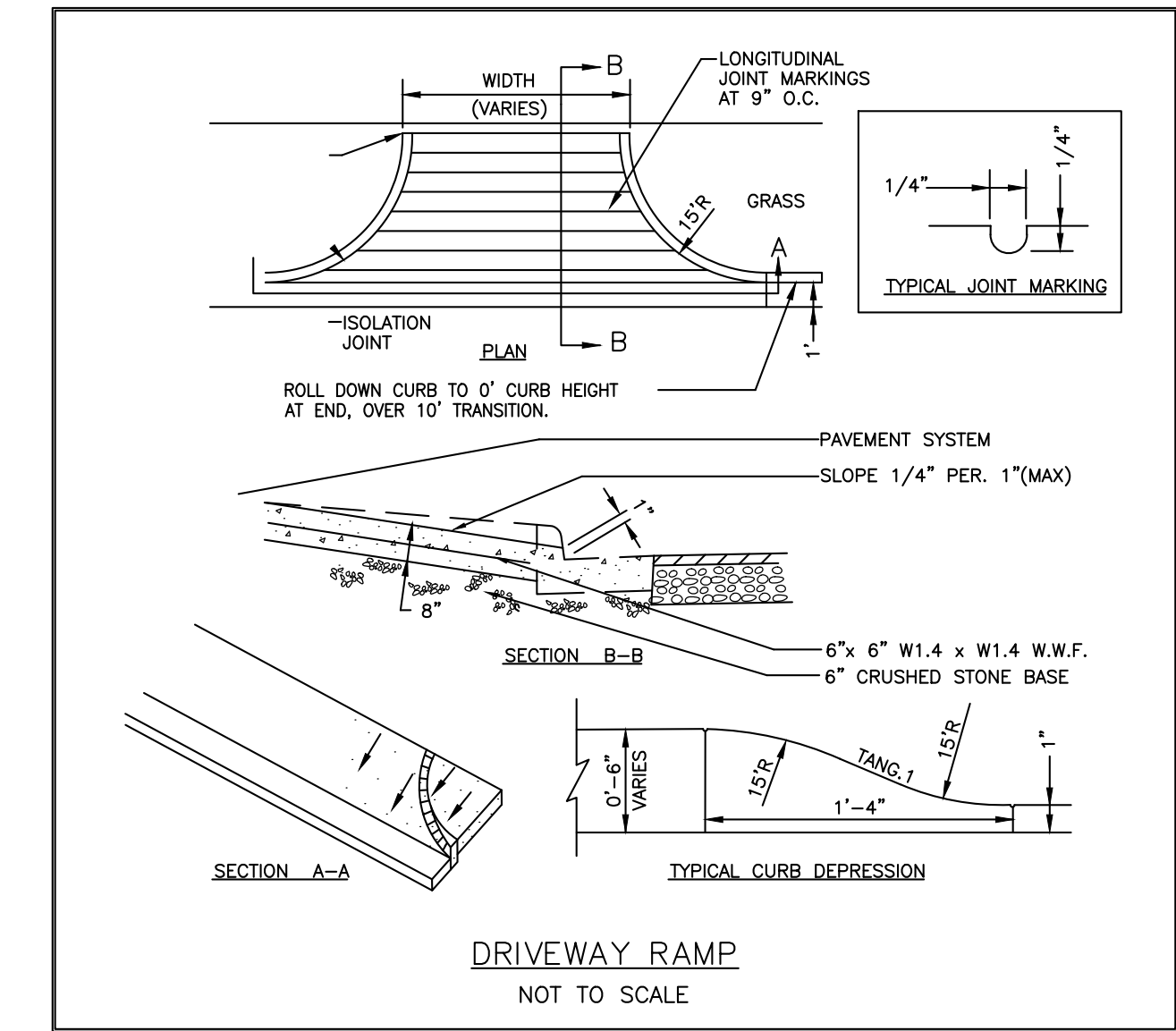
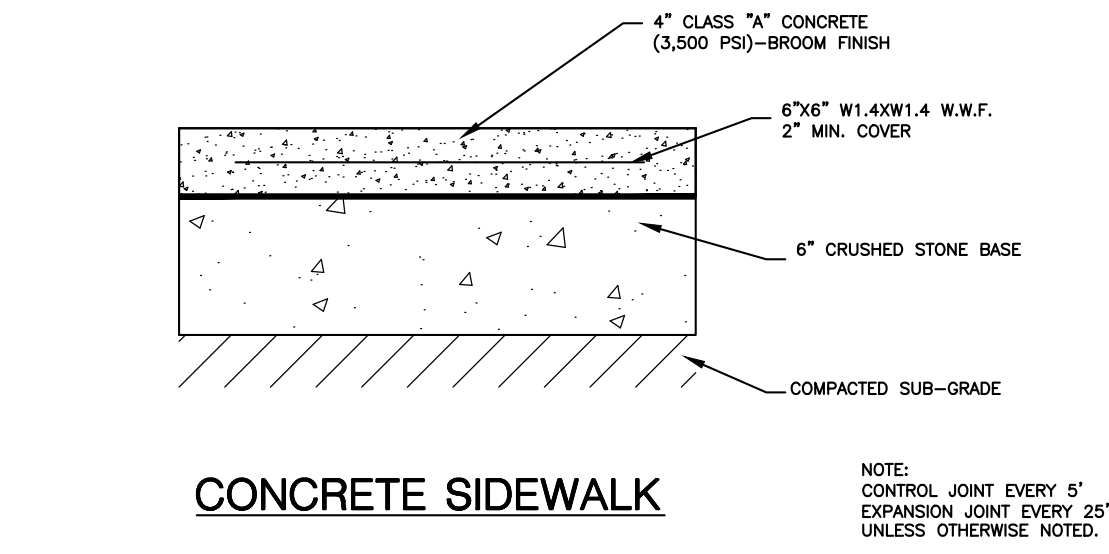
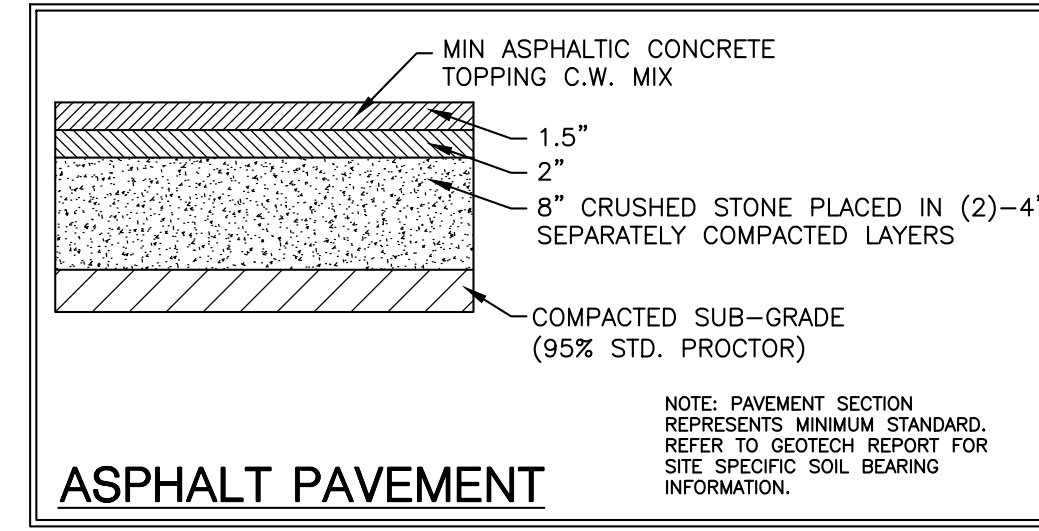
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# CONSTRUCTION DETAILS



### TECHNICAL SPECIFICATION

**8\"/>**

### TESTING REQUIREMENTS

THE CONTRACTOR WILL BE RESPONSIBLE FOR SUB-CONTRACTING AN INDEPENDENT TESTING AGENCY THAT IS SELECTED BY AN OWNER'S REPRESENTATIVE AND SHALL PROVIDE THE OWNER WITH TEST RESULTS VERIFYING THAT CONSTRUCTION WAS PERFORMED TO ACCEPTABLE STANDARDS.

SECTION 02203  
EMBANKMENT  
PART 1 GENERAL

1.3 CONDUCT ALL EMBANKMENT OPERATIONS IN ACCORDANCE WITH THE REQUIREMENTS OF THE EROSION CONTROL PLAN APPROVED BY THE A/E.

1.4 EMBANKMENT UNDER BUILDING PADS SHOULD BE IN ACCORDANCE WITH RECOMMENDATIONS FROM A GEOTECHNICAL ENGINEER.

PART 2 PRODUCTS

2.1 USE ONLY ACCEPTABLE MATERIALS IN EMBANKMENT FORMATION. PLACE NO FROZEN MATERIAL, STUMPS, LOGS, ROOTS OR OTHER PERISHABLE MATERIALS IN ANY EMBANKMENT. PLACE NO STONE OR MASONRY FRAGMENT GREATER THAN 4 INCHES IN ANY DIMENSION WITHIN 12 INCHES OF THE FINISHED SUBGRADE ELEVATIONS.

3.1 REMOVE TOPSOIL FROM ALL EMBANKMENT AREAS.

3.5 COMPACT THE EMBANKMENT TO A DENSITY OF AT LEAST 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D698 (STANDARD PROCTOR)

3.7 PERFORM CONSTRUCTION OPERATIONS SO THAT SIMULTANEOUS ROLLING AND PLACING OF MATERIAL IN THE SAME LANE OR SECTION IS PREVENTED. TO AVOID UNEVEN COMPACTION, SEE THAT HAULING EQUIPMENT TRAVERS THE FULL WIDTH OF THE CROSS-SECTION AS MUCH AS POSSIBLE. COMPACT EACH LAYER AS NECESSARY BEFORE DEPOSITING MATERIAL FOR THE NEXT LAYER.

3.8 THE DENSITY REQUIREMENTS SHALL BE THE CONTROLLING FACTOR IN COMPACTION. USE ONLY SUCH EQUIPMENT THAT WILL SATISFY THE DENSITY REQUIREMENTS AT ALL TIMES.

### ASPHALTIC CONCRETE PAVING

1. QUALITY ASSURANCE

A: PERFORM WORK IN ACCORDANCE WITH THE STATE OF TENNESSEE DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION HERINAFTER REFERRED TO AS "STATE HIGHWAY SPECIFICATIONS" MEASUREMENTS AND PAYMENTS PORTIONS OF THOSE STATE SPECIFICATIONS DO NOT APPLY TO WORK PERFORMED UNDER THIS CONTRACT.

B: MIXING PLANT: COMPLY WITH STATE HIGHWAY SPECIFICATIONS.

C: OBTAIN MATERIALS FROM THE SAME SOURCE THROUGHOUT.

2. ENVIRONMENTAL REQUIREMENTS

A: DO NOT PLACE ASPHALT MATERIALS WHEN BASE SURFACE TEMPERATURE IS LESS THAN 40° F.

B: DO NOT APPLY MATERIALS WHEN SUBSTRATA IS WET OR CONTAINS SUFFICIENT MOISTURE TO PREVENT UNIFORM DISTRIBUTION AND PROPER PENETRATION.

3. PLACING ASPHALT PAVEMENT

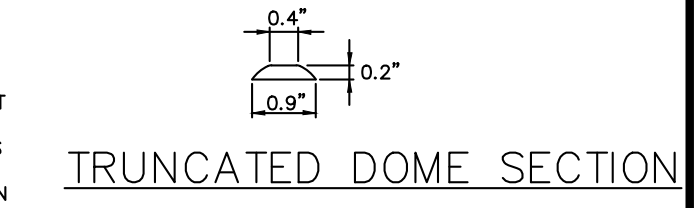
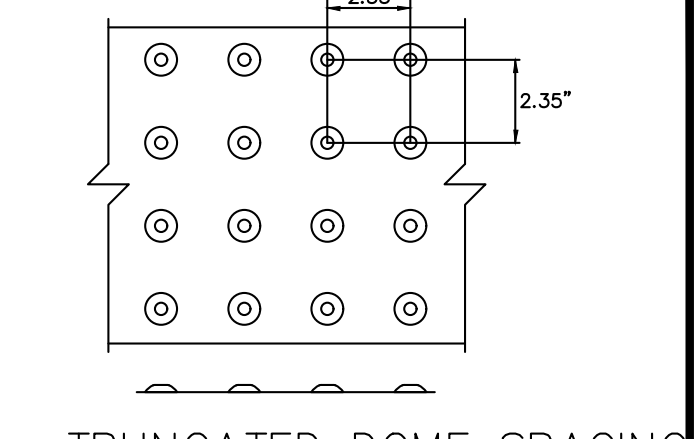
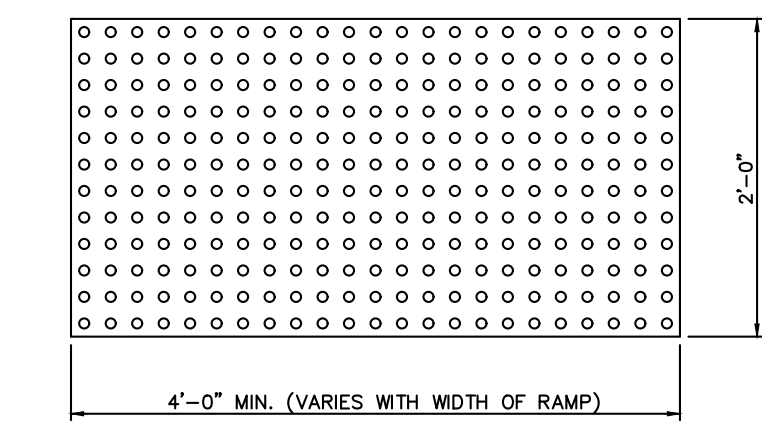
A: PLACE MATERIALS IN ACCORDANCE WITH REFERENCED STATE HIGHWAY SPECIFICATIONS.

B: DEVELOP ROLLING WITH CONSECUTIVE PASSES TO ACHIEVE EVEN AND SMOOTH FINISH OF UNIFORM TEXTURE, WITHOUT ROLLER MARKS.

C: MAKE JOINTS BETWEEN SUCCESSIVE DAYS WORK, OR BETWEEN OLD AND NEW PAVEMENTS IN ACCORDANCE WITH REFERENCED HIGHWAY STANDARDS. ENSURE A CONTINUOUS BOND IS ATTAINED.

4. SCHEDULE OF PAVEMENT SECTIONS

A: PLACE AND COMPACT MATERIALS TO THE THICKNESS CALLED FOR ON THE DRAWINGS.

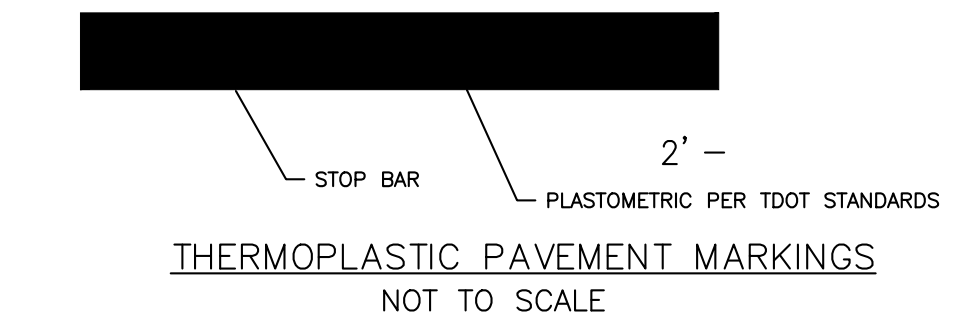


NOTES:

1. DETECTABLE WARNINGS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
2. WIDTH OF DETECTABLE WARNING AREA SHALL BE A MINIMUM OF 4 FEET AND VARY WITH WIDTH OF RAMP.
3. LENGTH OF DETECTABLE WARNING AREA SHALL BE 2 FEET REGARDLESS OF SECTION WIDTH.
4. DETECTABLE WARNING DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
5. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SERVICE.
6. DETECTABLE WARNINGS USED ON INTERIOR SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CHANCE CONTACT.
7. THE MATERIAL USED TO PROVIDE CONTRAST SHOULD CONTRAST BY AT LEAST 70% CONTRAST IN PERCENT IS DETERMINED BY:

CONTRAST = [(B1-B2)/B1] X 100

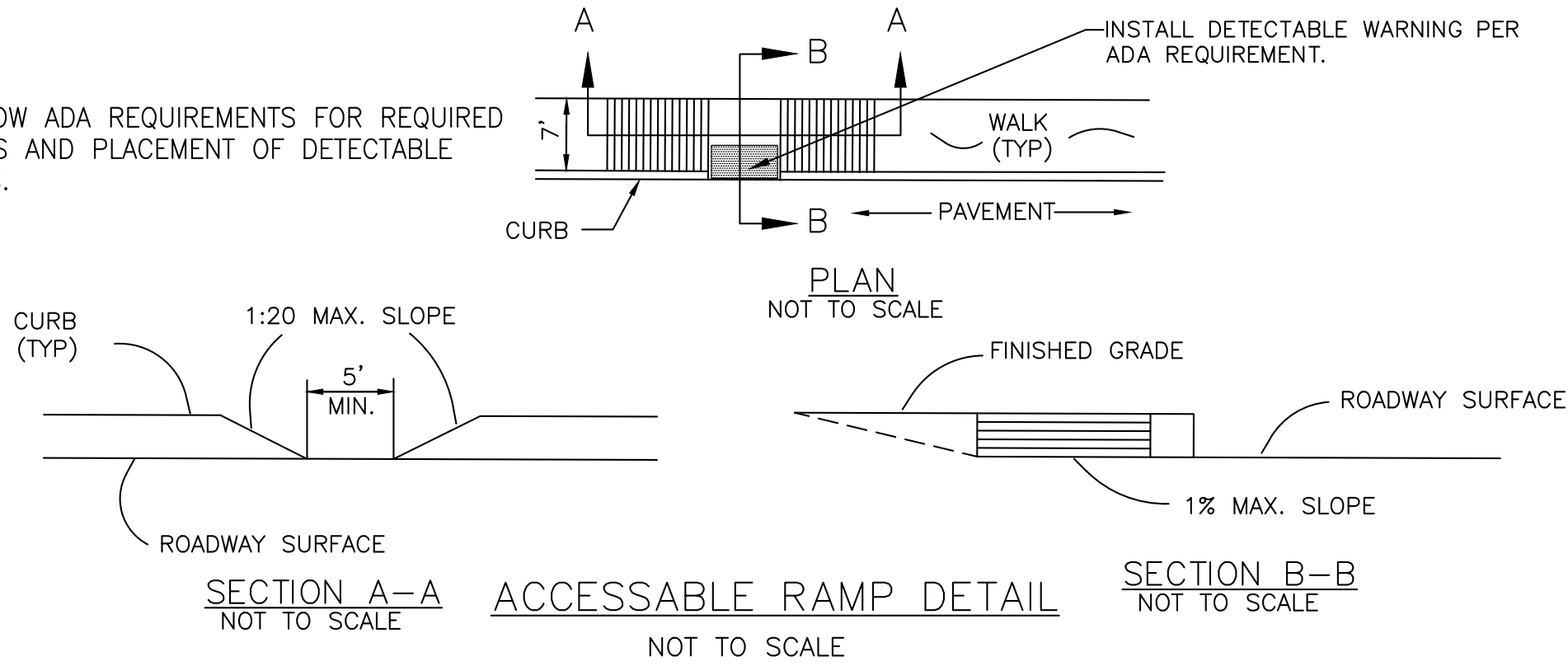
WHERE B1= LIGHT REFLECTANCE VALUE (LRV) OF THE LIGHTER AREA AND B2 = LIGHT REFLECTANCE VALUE (LRV) OF THE DARKER AREA. (NOTE THAT IN ANY APPLICATION BOTH WHITE AND BLACK ARE NEVER ABSOLUTE; THUS, B1 NEVER EQUALS 100 AND B2 IS ALWAYS GREATER THAN 0.



STOP BAR  
SCALE: NOT TO SCALE

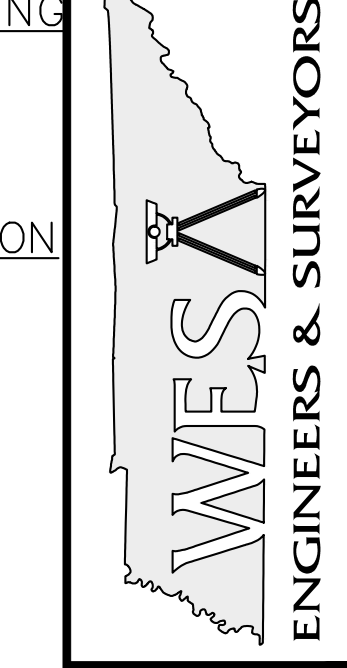
### NOTES:

1. FOLLOW ADA REQUIREMENTS FOR REQUIRED LOCATIONS AND PLACEMENT OF DETECTABLE WARNINGS.



SECTION A-A NOT TO SCALE  
ACCESSIBLE RAMP DETAIL NOT TO SCALE  
SECTION B-B NOT TO SCALE

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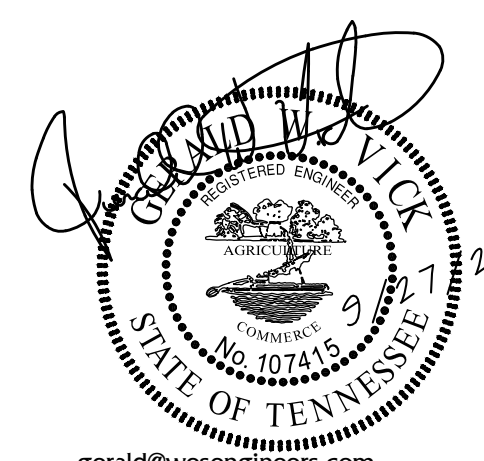
Client  
ALAN BLEVINS  
P.O. BOX 38  
COLUMBIA, TN 38402

REVISIONS	DATE	STAFF COMMENTS ADDRESSED
	9/27/23	

**SUGAR CREEK TOWNHOMES**  
SUGAR CREEK LANE  
MT. PLEASANT, MAURY COUNTY, TENNESSEE  
CONSTRUCTION DETAILS

Drawn: JG	Checked: CV	Approved: CV	Date: 9/12/2023
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Job No. 20520-1  
Scale Vertical Horizontal



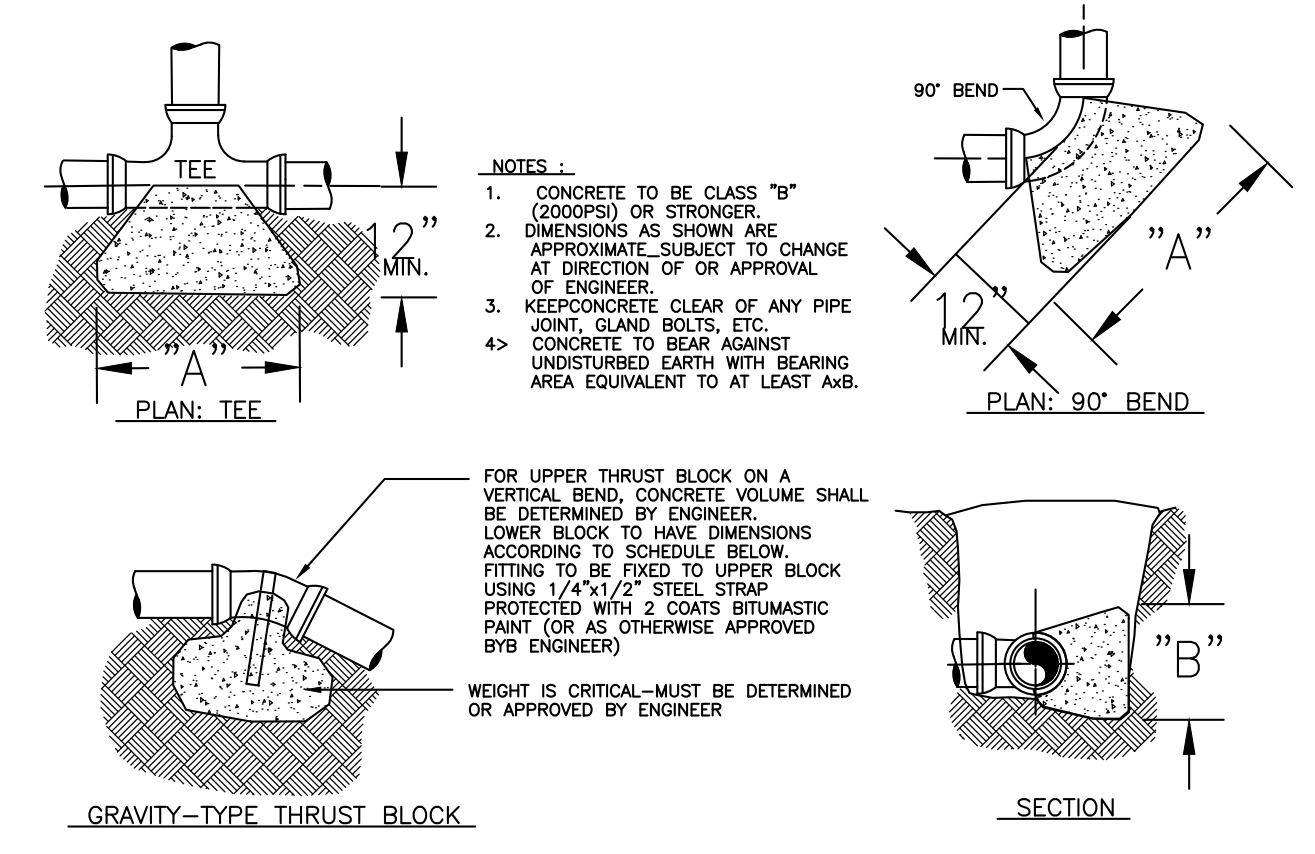
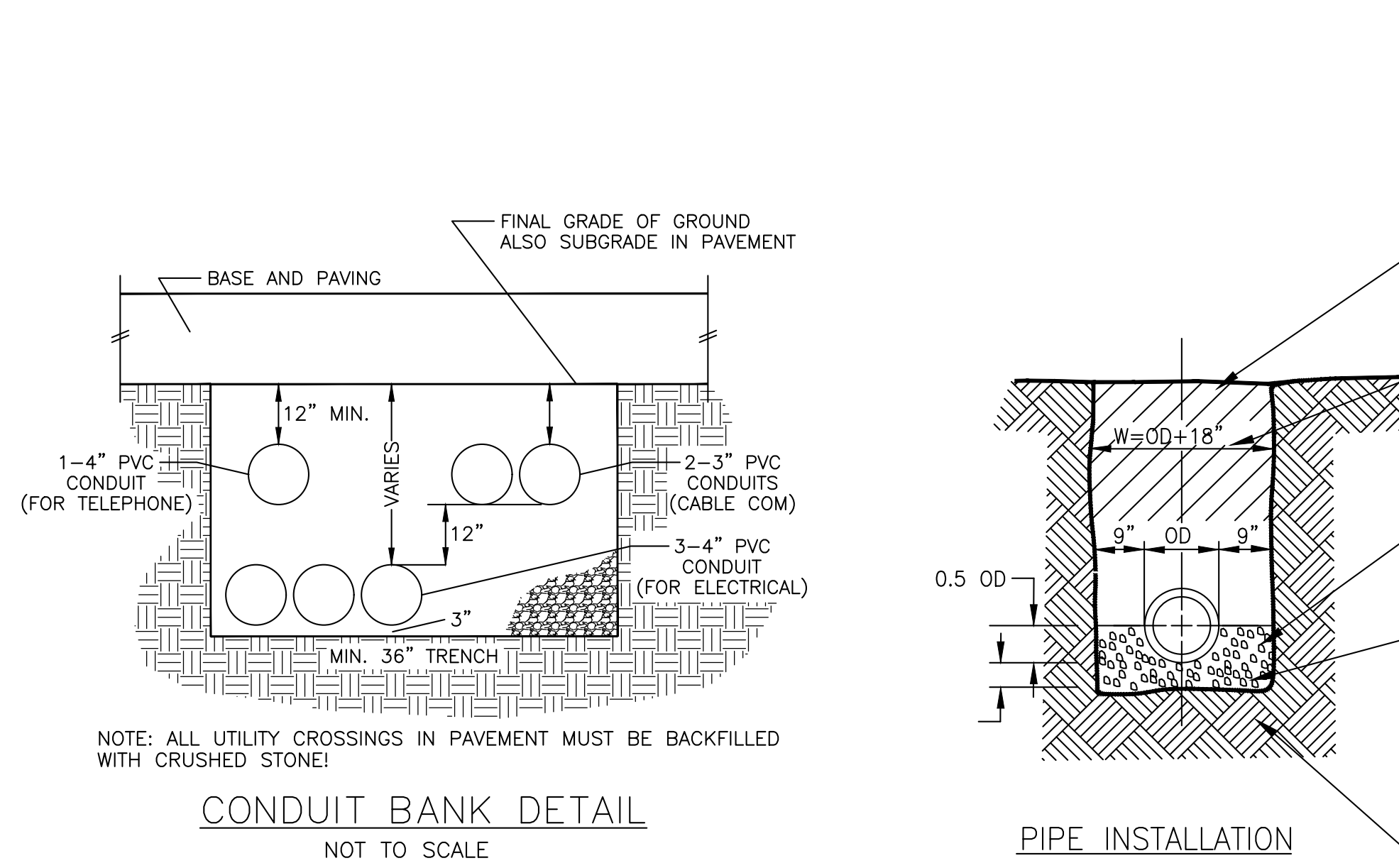
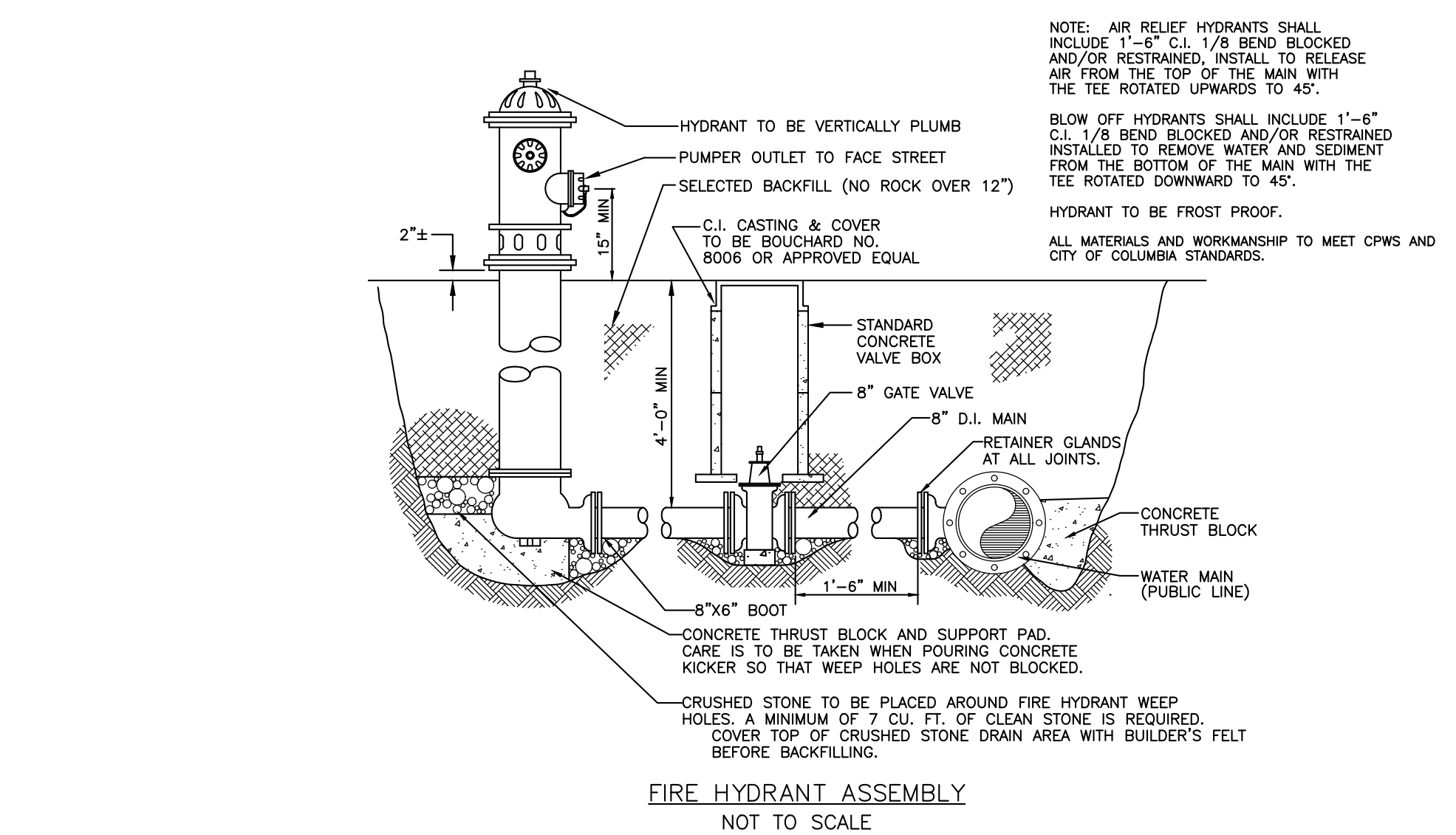
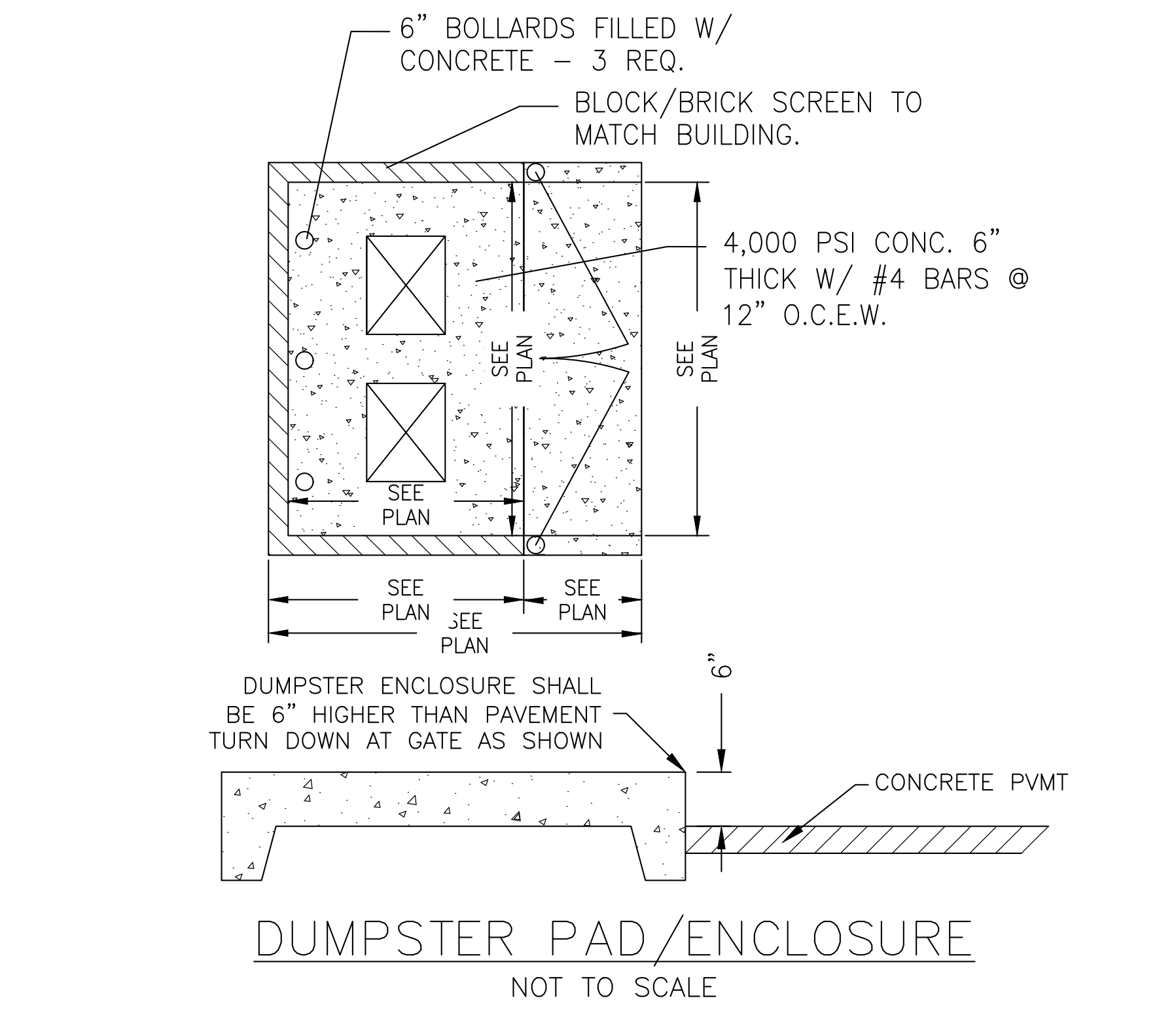
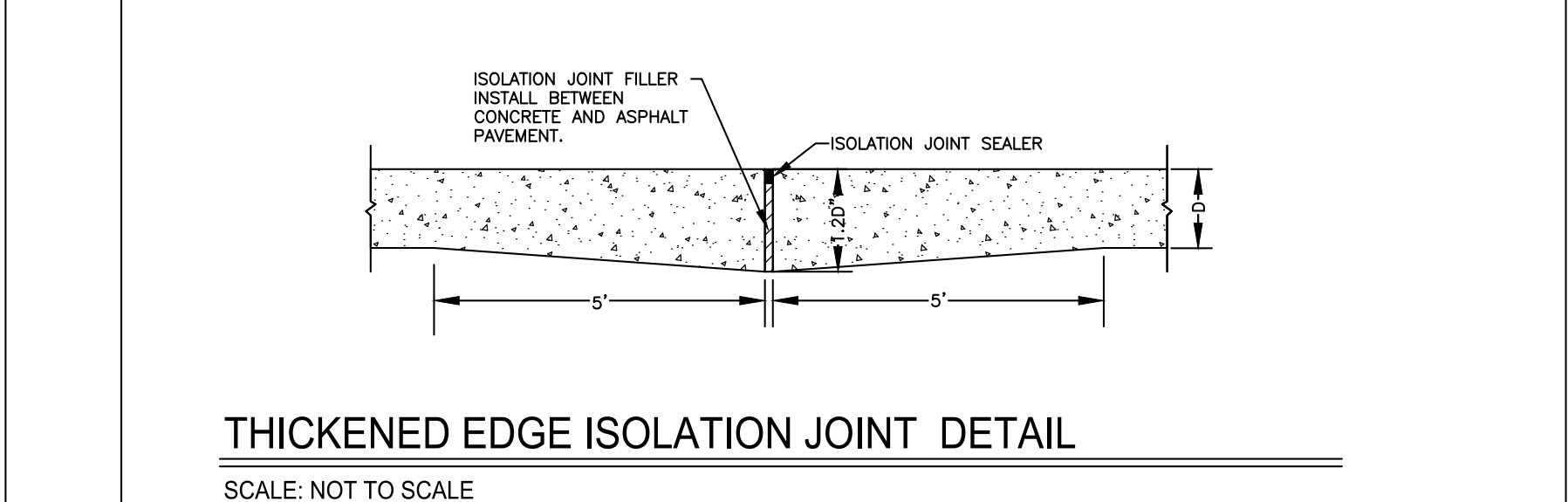
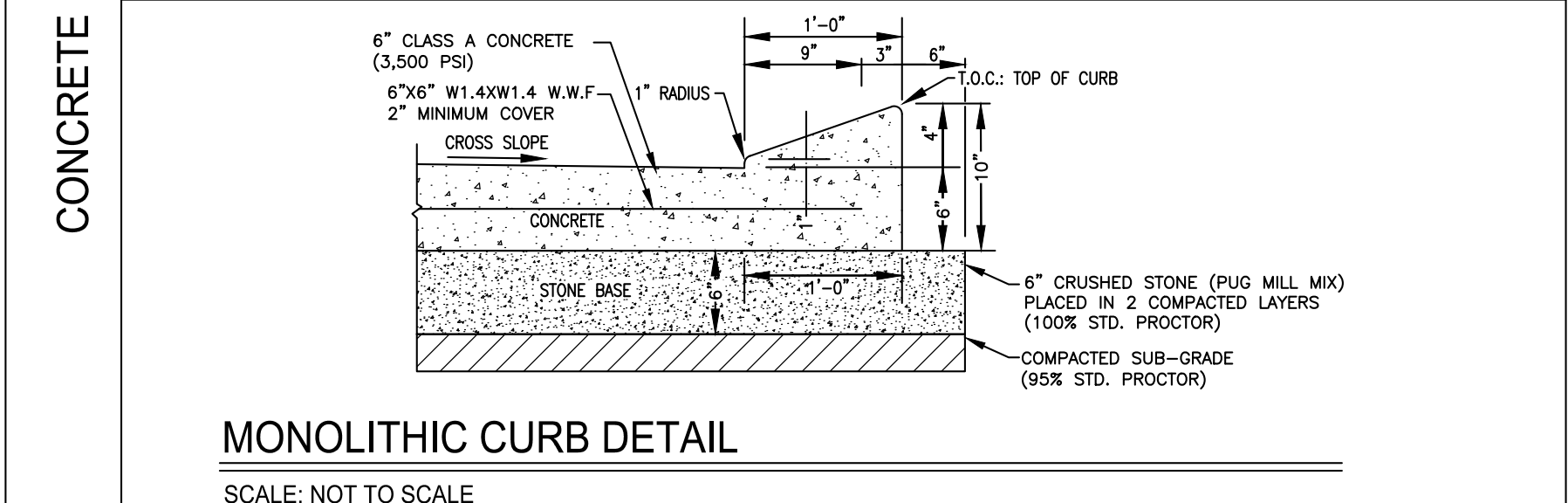
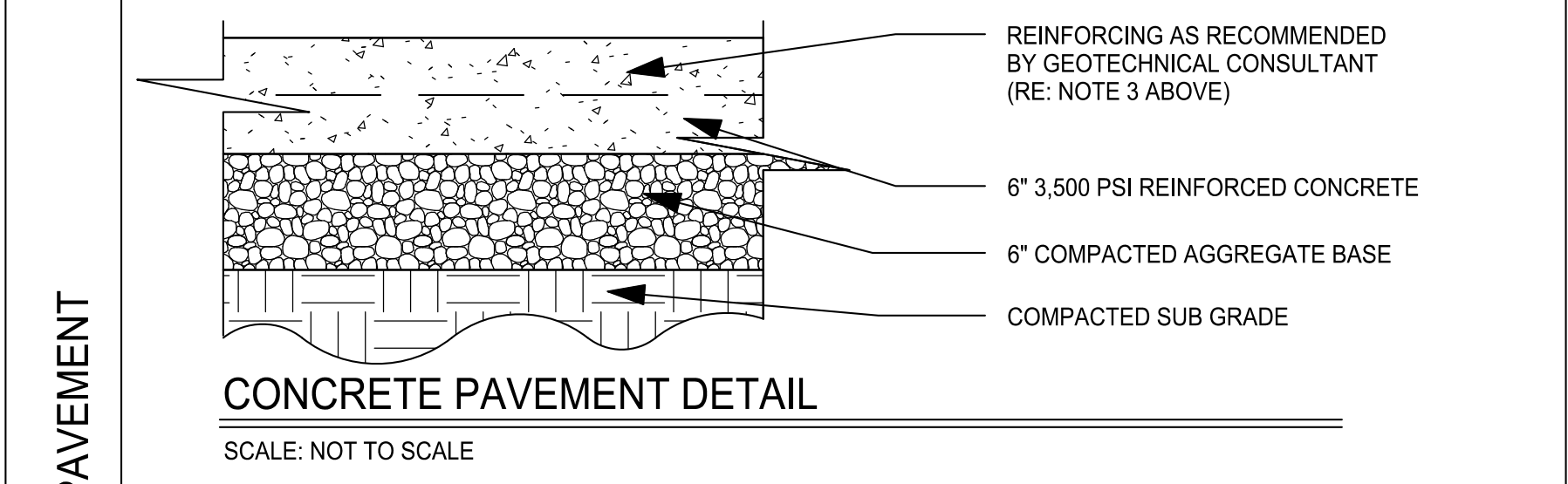
gerald@wesengineers.com

SUBMITTED FOR CITY APPROVAL  
NOT FOR CONSTRUCTION

C-4.0

# CONSTRUCTION DETAILS

- THE SUBGRADE MATERIALS SHALL BE PROOF ROLLED AND/OR SCARIFIED AND COMPACTED PRIOR TO PLACEMENT OF BASE MATERIAL. WHERE EXISTING SUBGRADE MATERIALS ARE UNSUITABLE, THEY SHALL BE REMOVED AND REPLACED WITH COMPACTED SELECT MATERIAL IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.
- CONCRETE PAVEMENT JOINTING PLAN SHALL BE PROVIDED TO ENGINEER FOR PRIOR APPROVAL. ALL JOINTS MUST BE SEALED WITH AN APPROVED SEALANT. STEEL REINFORCING SHALL BE USED AT JOINTS. REFER TO ACI 330R (GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS) FOR JOINT DESIGN AND LAYOUT. REFER TO ADDITIONAL CONCRETE PAVEMENT DETAILS INCLUDED IN THE CONSTRUCTION DOCUMENTS.
- CONCRETE PAVEMENT AND ROLL-OVER CURB TO BE MONOLITHIC CLASS "A" CONCRETE (4,000 PSI) PLACED ON PUG MILL MIX.
- ALL TRANSVERSE JOINTS ARE TO BE SAW JOINTS AT A DEPTH OF T/4 AT THE SPACING INDICATED IN THE DETAILS.
- ALL SAW JOINTS TO BE SEALED WITH LOW MODULUS HOT-POURED POLYMERIC SEALANT TYPE COMPOUND.
- ALL TRANSVERSE JOINTS ARE UNDOWELLED AND EDGE SUPPORT IS REQUIRED (TIED CURB AND GUTTER)
- ALL ISOLATION JOINTS ARE TO BE DOWELLED AND THICKENED AS SHOWN IN THE DETAILS. ISOLATION JOINT FILLER AND SEALER IS REQUIRED AT ALL ISOLATION JOINTS.
- ISOLATE ALL STRUCTURES THAT ARE LOCATED IN OR PROTRUDE INTO THE CONCRETE PAVEMENT.
- PROVIDE ISOLATION JOINTS BEFORE RADI OF ALL INTERSECTIONS WITHIN THE PROJECT. SPACE ISOLATION JOINTS TO COORDINATE WITH THE TRANSVERSE JOINTS.
- FIBER REINFORCEMENT REQUIRED AS INDICATED IN DETAILS.
- INSTALLATION TO FOLLOW TDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MARCH 2006



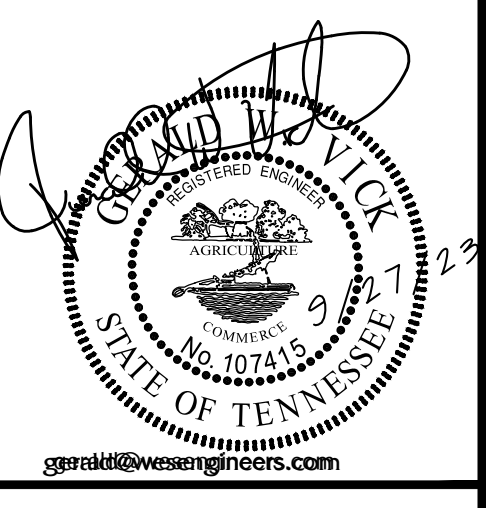
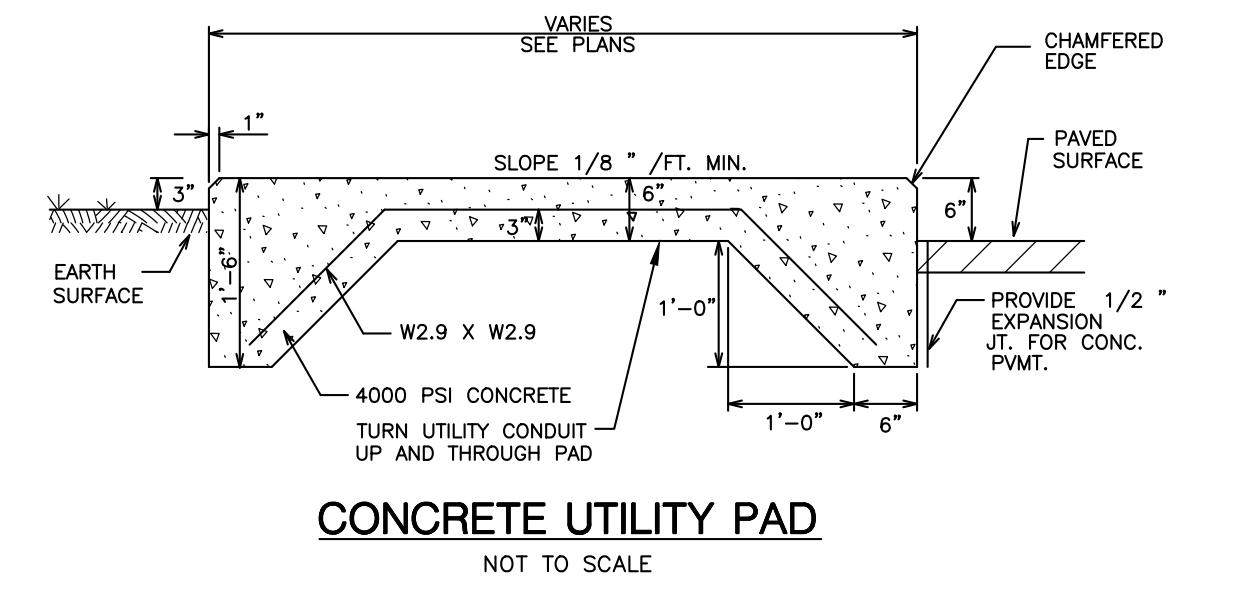
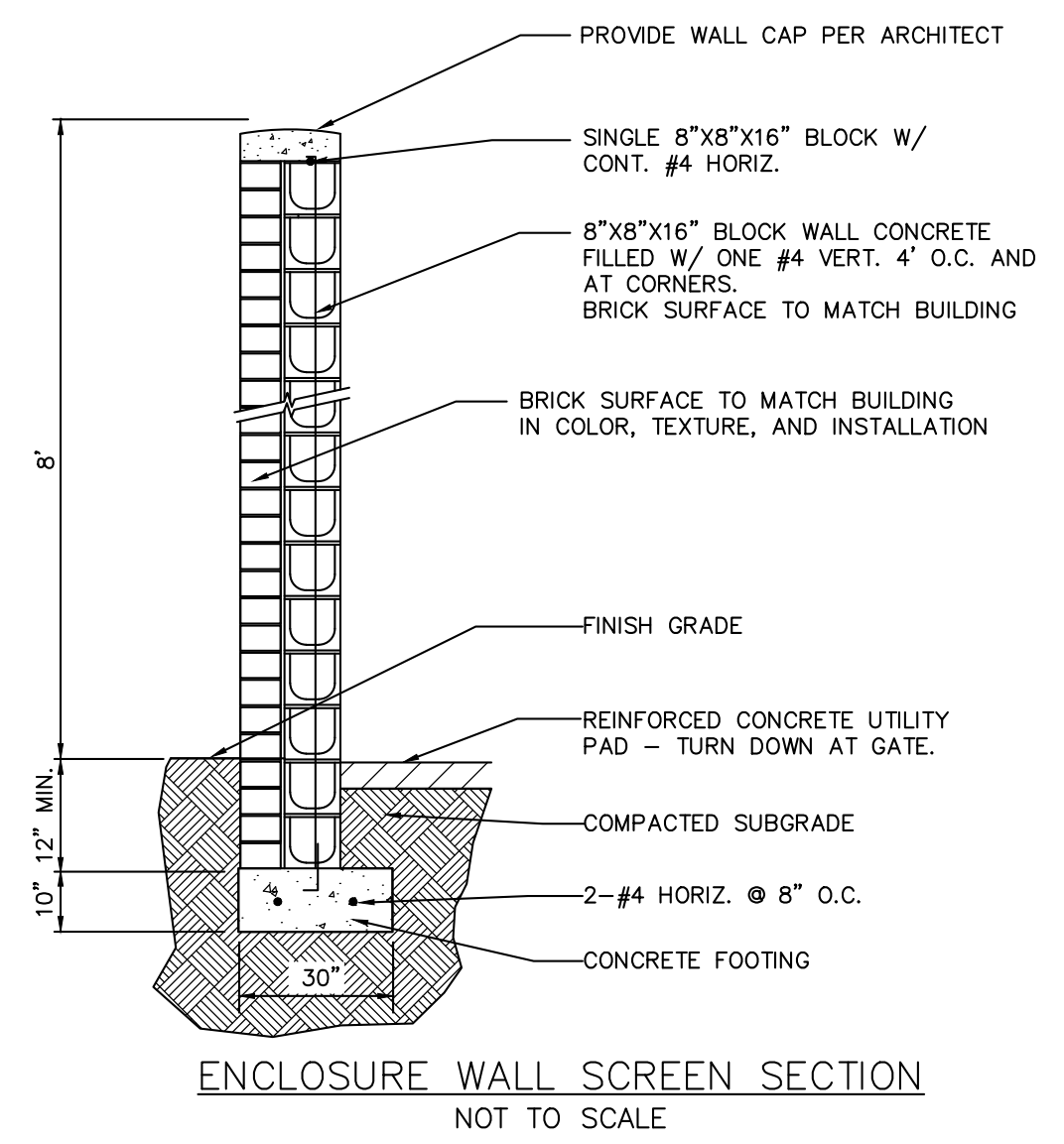
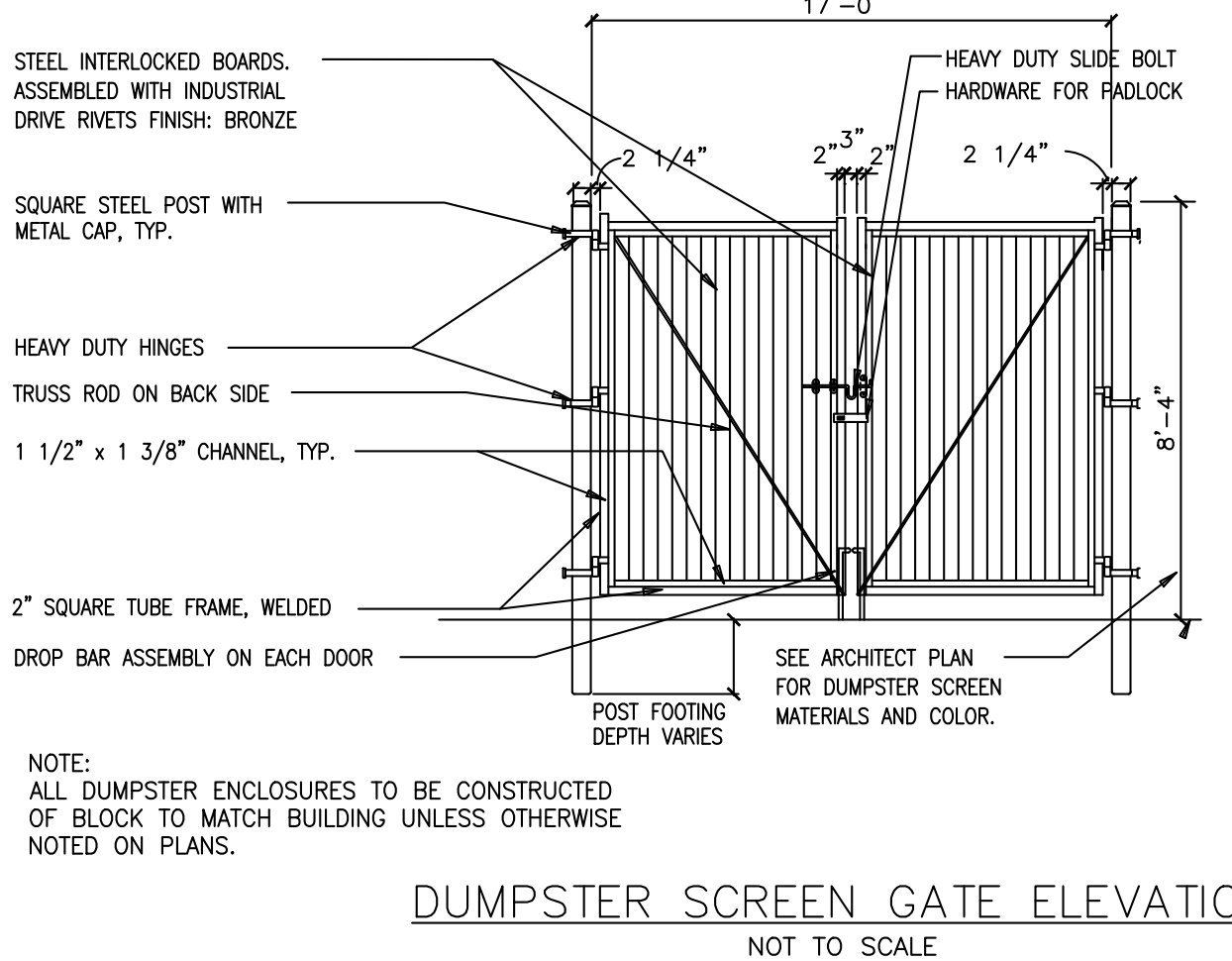
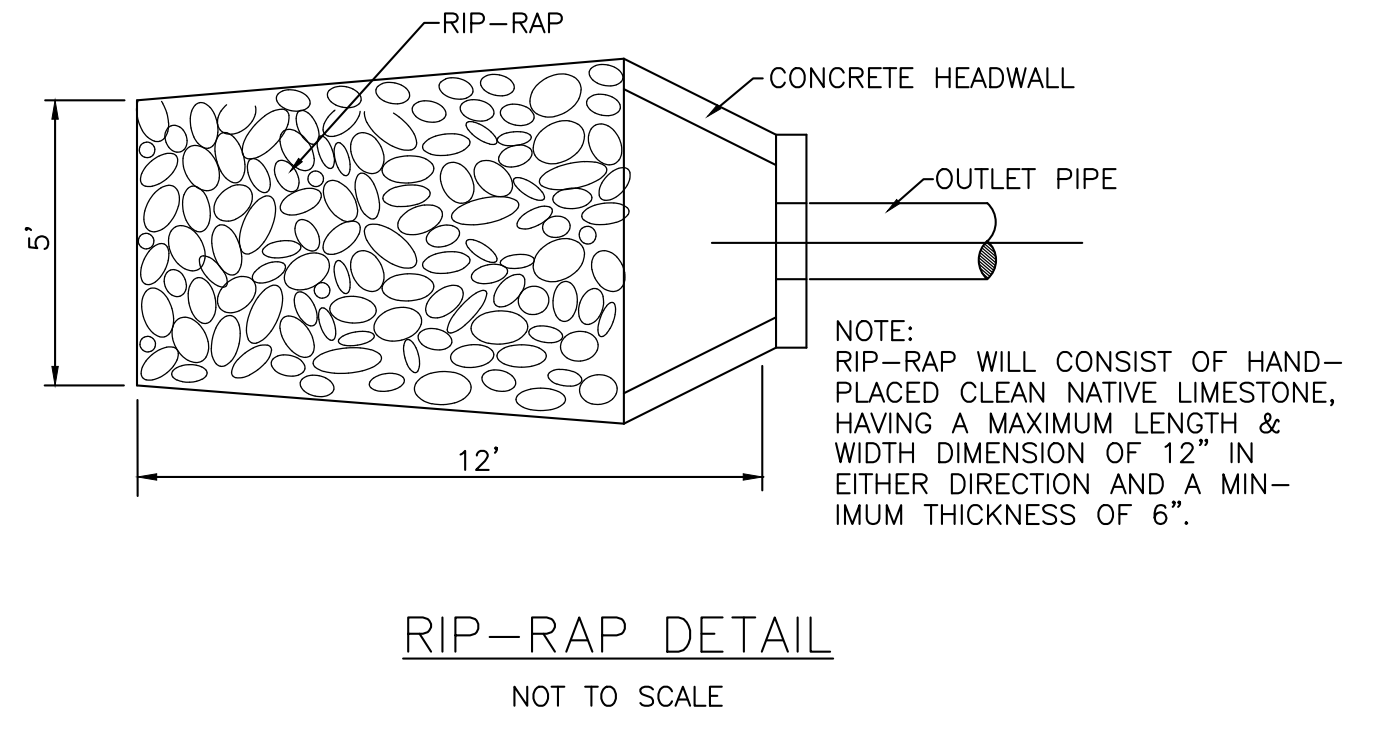
SCHEDULE OF MINIMUM BEARING AREA REQUIRED BASED ON 2000 PSI INTERNAL PRESSURE AND 4000 PSI SOIL BEARING CAPACITY \*

PIPE SIZE	TEE OR DEAD END	90° BEND	45° BEND	22 1/2° BEND	11 1/2° BEND
4"	1.0	1.5	1.0	1.0	1.0
6"	2.5	3.0	2.0	1.0	1.0
8"	4.0	5.5	3.0	1.5	1.0
10"	6.0	8.5	4.5	2.5	1.5
12"	8.5	12.0	6.5	3.0	2.0
16"	15.0	21.5	11.0	6.0	3.0

VALUES ARE TABULATED IN SQUARE FEET

\* ENGINEER TO CONFIRM ACTUAL REQUIREMENTS BEFORE CONSTRUCTION OF THE THRUST BLOCK. BEARING AREA (SQUARE FEET) = A(FEET)xB(FEET).

**CONCRETE THRUST BLOCK**  
NOT TO SCALE



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**WES E ENGINEERS & SURVEYORS**

Client: ALAN BLEVINS  
P.O. BOX 38  
COLUMBIA, TN 38402

DATE: 9/27/23

REVISIONS: STAFF COMMENTS ADDRESSED

**SUGAR CREEK TOWNHOMES**  
SUGAR CREEK LANE  
MT. PLEASANT, MAURY COUNTY, TENNESSEE  
CONSTRUCTION DETAILS

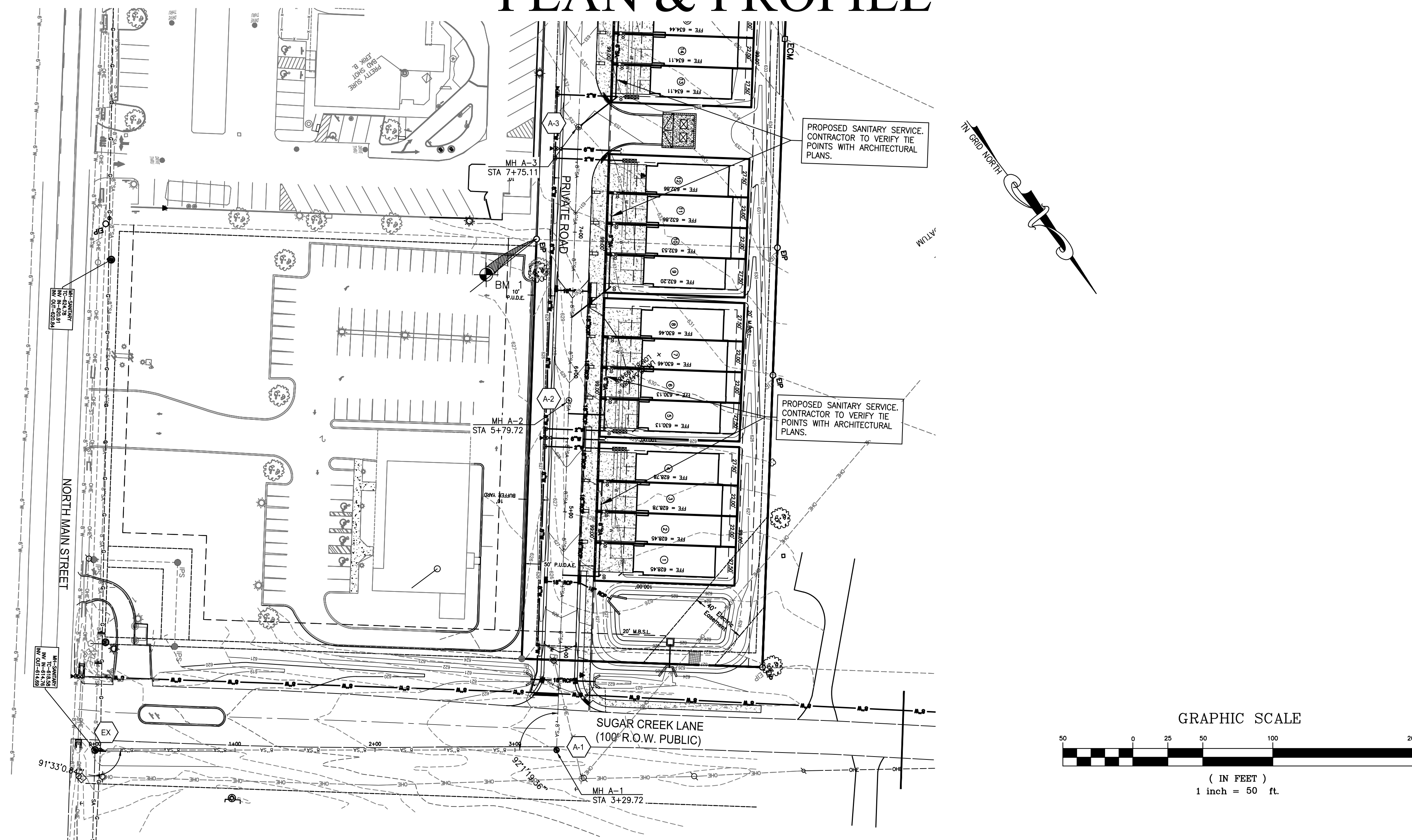
Drawn: JG  
Checked: CV  
Approved: CV  
Date: 9/12/2023

Job No: 20520-1  
Scale: Vertical: Horizontal:

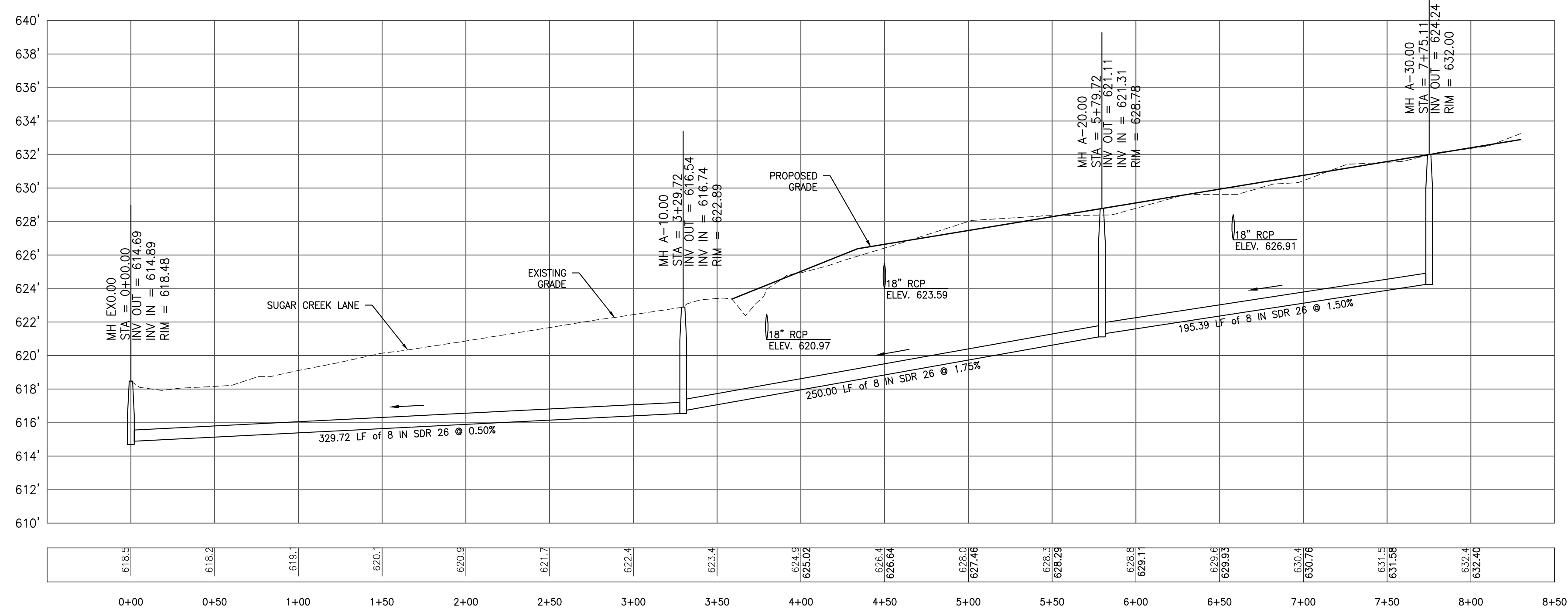
C-4.1

FILE: \\WES\_Engineers\_Surveyors\_2020\20520-1 - Townhomes - Blevins\DWG\Engineering\20520-1 - Base (REV3).dwg

# SANITARY SEWER LINE 'A' PLAN & PROFILE



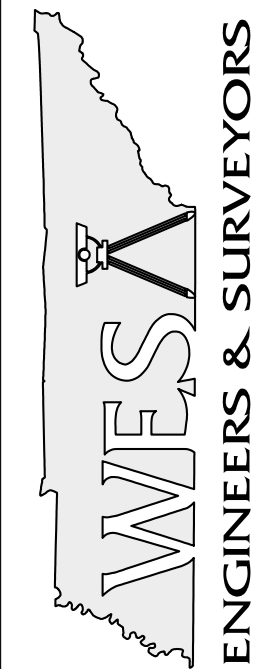
**BENCHMARK**  
 BENCHMARK #1  
 EXISTING IRON PIN  
 ELEV. = 629.34'  
 N = 444,172.53  
 E = 1,611,706.78  
 TENNESSEE STATE PLANE  
 COORDINATE SYSTEM  
 NAD 83 AND NAVD88 DATUM



FILE: \\WES\_Engineers\_Surveyors\_2020\20520 - Williams Funeral Mt. Pleasant - Blevins\Draws\Engineering\20520-1 - Base (REV3).dwg

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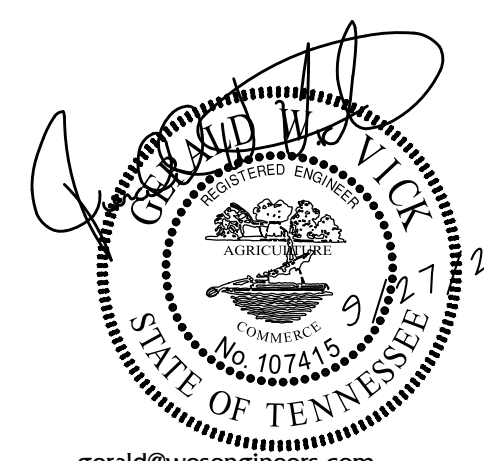
**Client**  
 ALAN BLEVINS  
 P.O. BOX 38  
 COLUMBIA, TN 38402

REVISIONS	DATE	STAFF COMMENTS ADDRESSED
	9/27/23	

**SUGAR CREEK TOWNHOMES**  
 SUGAR CREEK LANE  
 MT. PLEASANT, MAURY COUNTY, TENNESSEE  
 SANITARY SEWER DETAIL S

Drawn: JG  
 Checked: CV  
 Approved: CV  
 Date: 9/27/2023

Job No: 20520-1  
 Scale: Vertical 1" = 5'  
 Horizontal 1" = 50'



gerald@wesengineers.com

SUBMITTED FOR CITY APPROVAL  
NOT FOR CONSTRUCTION

C-5.0

# SANITARY SEWER DETAILS

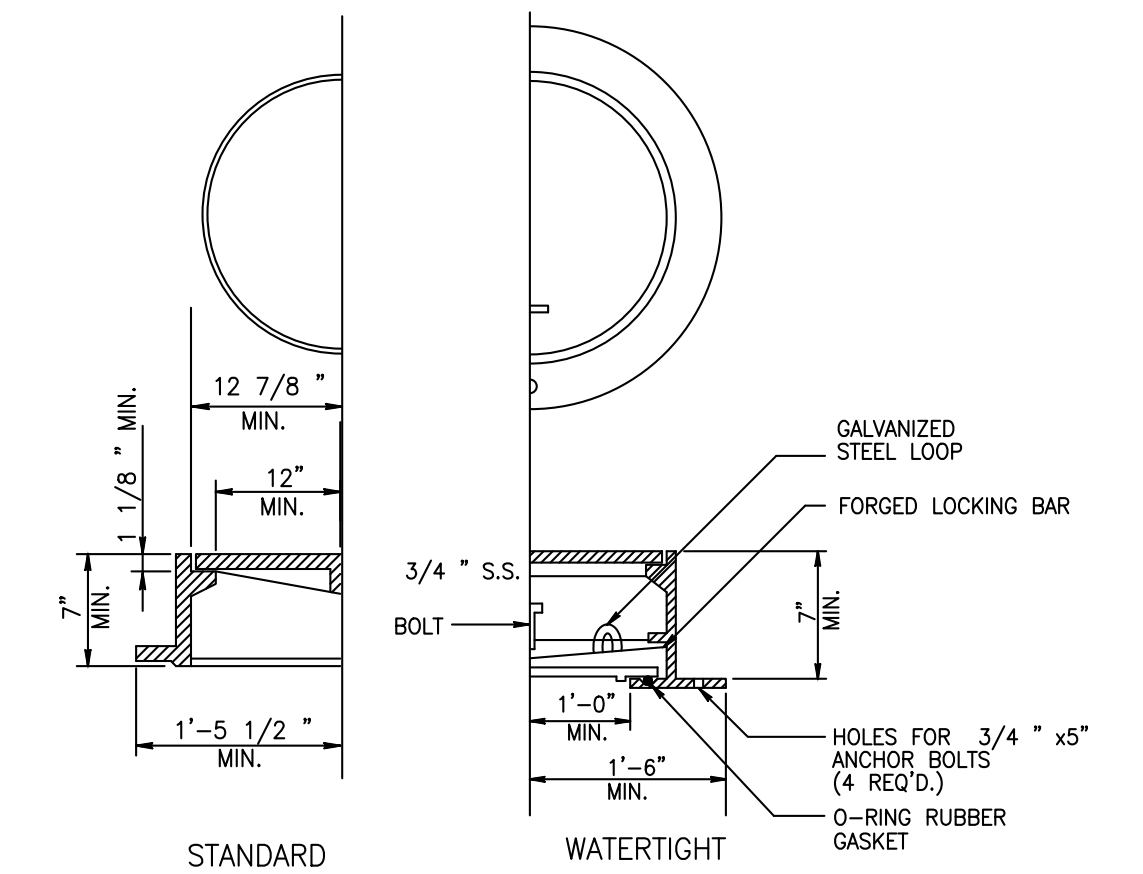
## Sugar Creek Townhomes - Residential Subdivision Proposed 8" Sewer

I. Data:

- A. Proposed Sewer line - Sugar Creek Townhomes
- B. 8" Gravity Sewer System with minimum slope of 0.50%
- C. 16 Residential Townhome Subdivision (100 gpd per person)

II. Design Flow:

- A. Method 1: (TDEC)
  - Per Capita Flow (Section 2.2.2.1 of State Sewer Regulations) Indicates Minimum Design Peak Flow is not less than 400% of ADF.
  - DEMAND 8" PIPE: ASSUME 4 PERSON PER LOT: 4\*(16)\*100 = 4.4 GPM or 0.01 CFS
  - PEAK 8" PIPE: ASSUME 4 PERSON PER LOT: 4\*(20)\*100\*(400%) = 17.8 GPM or 0.04 CFS
- B. The minimum slope for the proposed sewer extension is 0.50% slope for 8" SDR 26 PVC pipe. The full capacity flow @ 0.50% for 8" pipe is 439.0 gpm or 0.98 cfs.

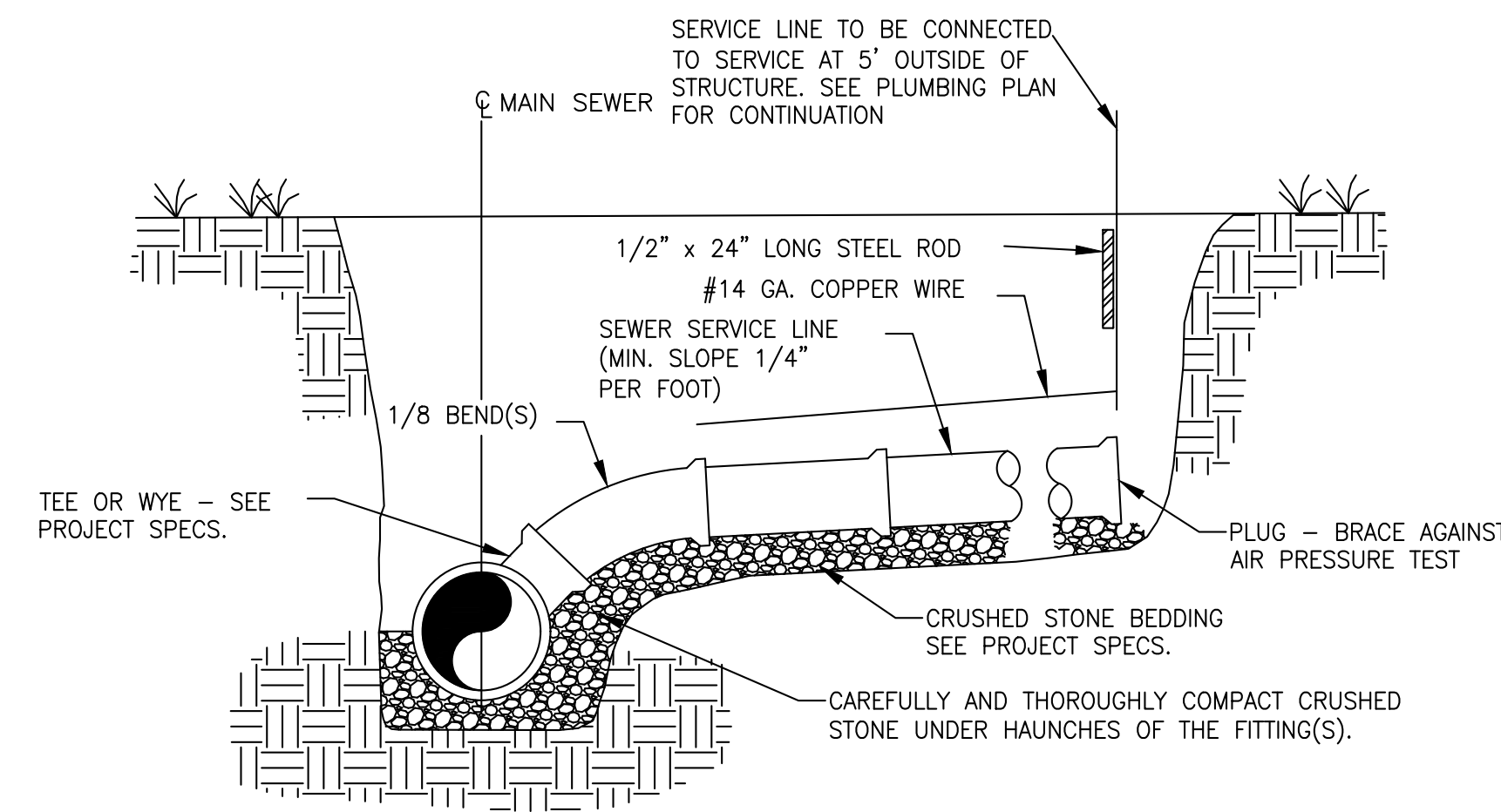


- NOTES:
- ANCHOR W.T. CASTINGS TO TOP WITH CONCRETE CONE.
  - ANCHOR BOLTS TO BE CAST WITH CONCRETE CONE.
  - ALL MATERIALS AND WORK TO COMPLY WITH CITY OF SPRING HILL WASTE WATER DEPARTMENT STANDARD SEWER SPECIFICATIONS FOR SUBDIVISIONS AND GENERAL SYSTEM ADDITIONS.

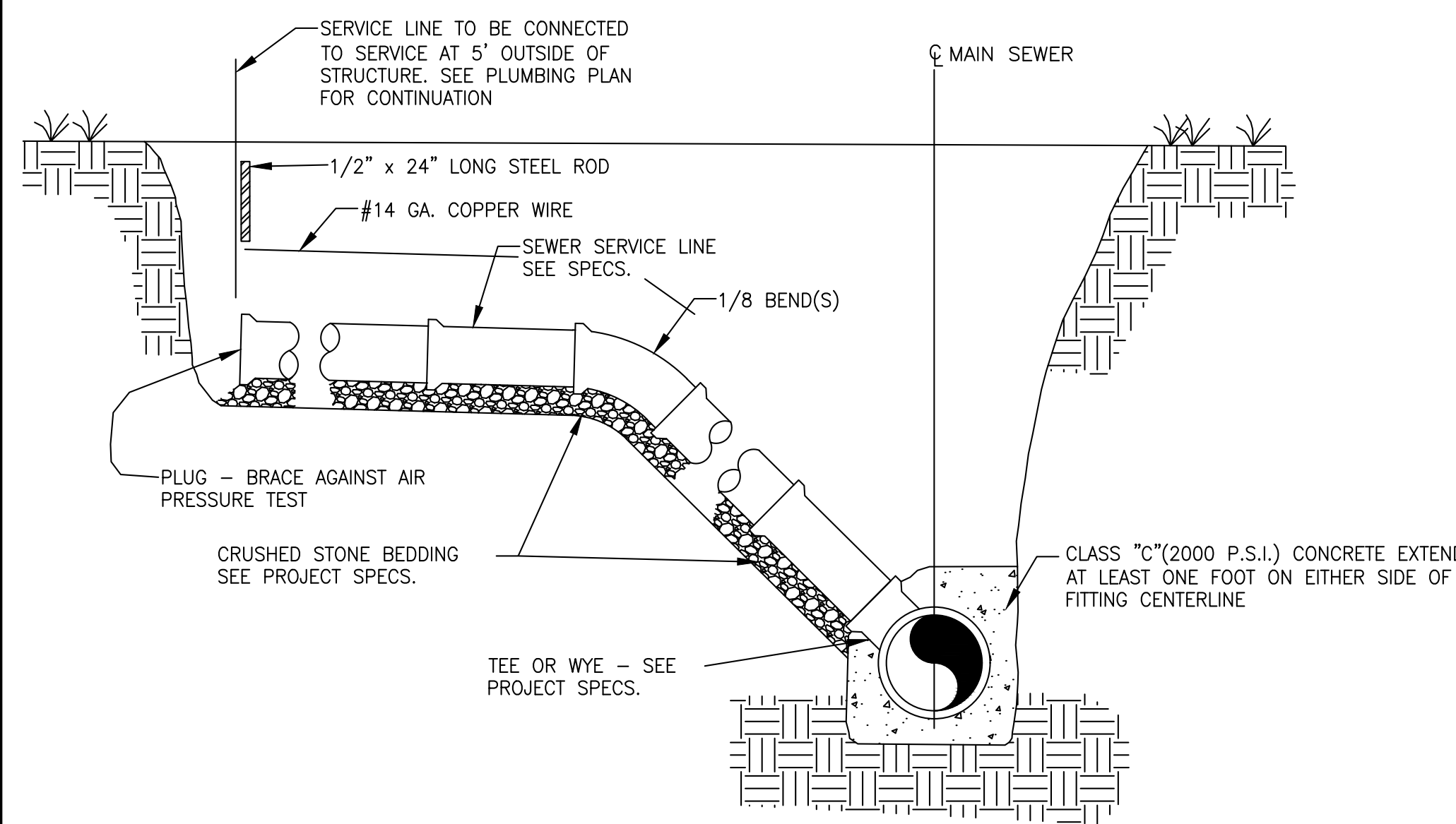
FRAME AND COVER  
NOT TO SCALE

### SEWER HYDRAULIC CALCULATIONS

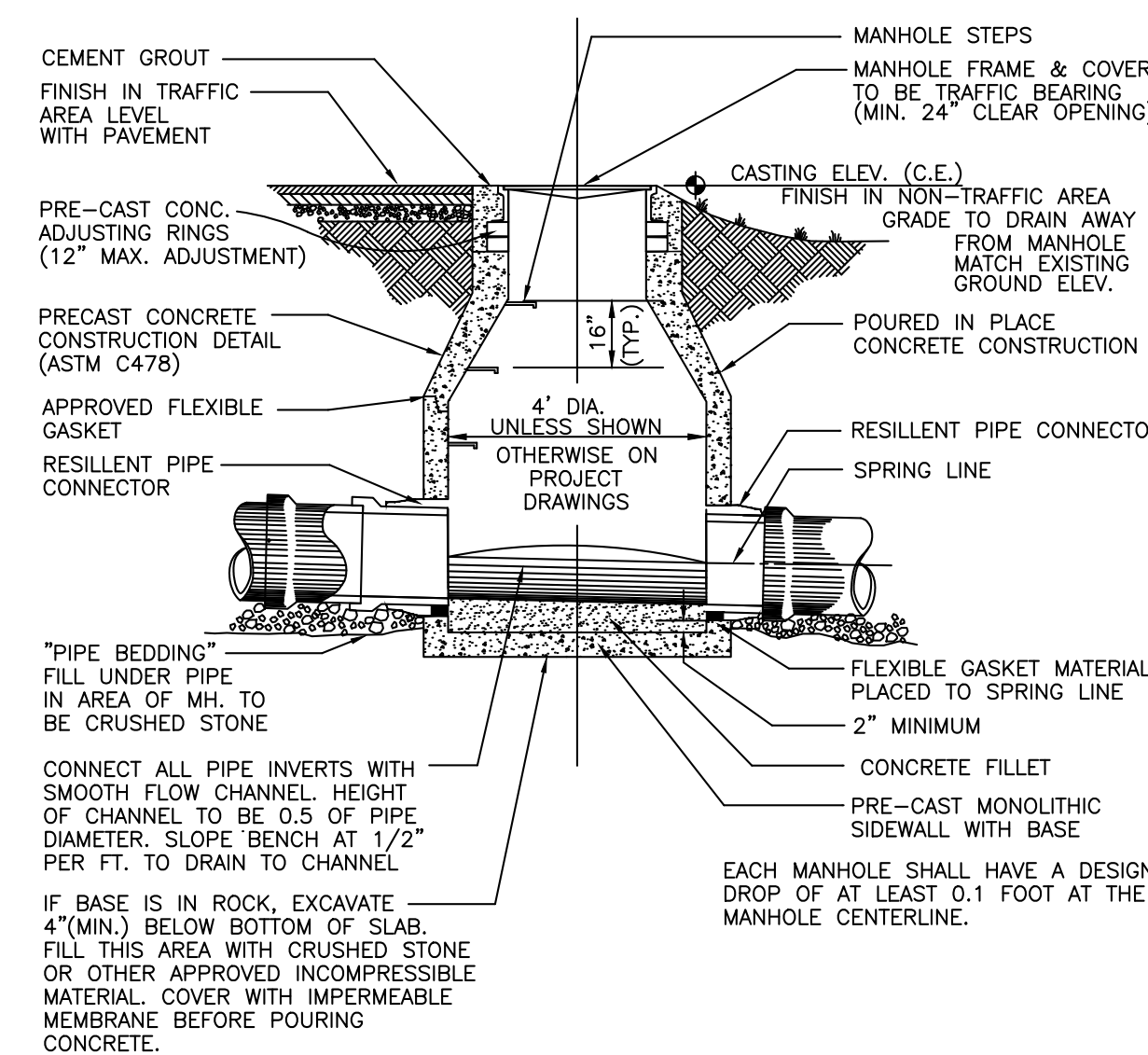
STREET	FROM MH	TO MH	LENGTH feet	MAX AREA SERVED	NUMBER OF UNITS (ADDED)	n=	MAX SEWAGE FLOW cfs	PEAK SEWAGE FLOW cfs	PIPE DIAM. in	INVERT UPPER MH	INVERT LOWER MH	SEWER GRADE %	SEWER FALL feet	VELOCITY FLOWING FULL f/s	CAPACITY FLOWING FULL cfs
<b>Line "A"</b>															
	A-3	A-2	195.4	60 Ac	4	0.0113	0.003	0.012	8	624.24	621.31	1.50	2.93	4.9	1.707
	A-2	A-1	250.0	60 Ac	8	0.0113	0.008	0.032	8	621.11	616.74	1.75	4.37	5.3	1.843
	A-1	EXIST	329.7	60 Ac	16	0.0113	0.018	0.072	8	616.54	614.89	0.50	1.65	2.8	0.986



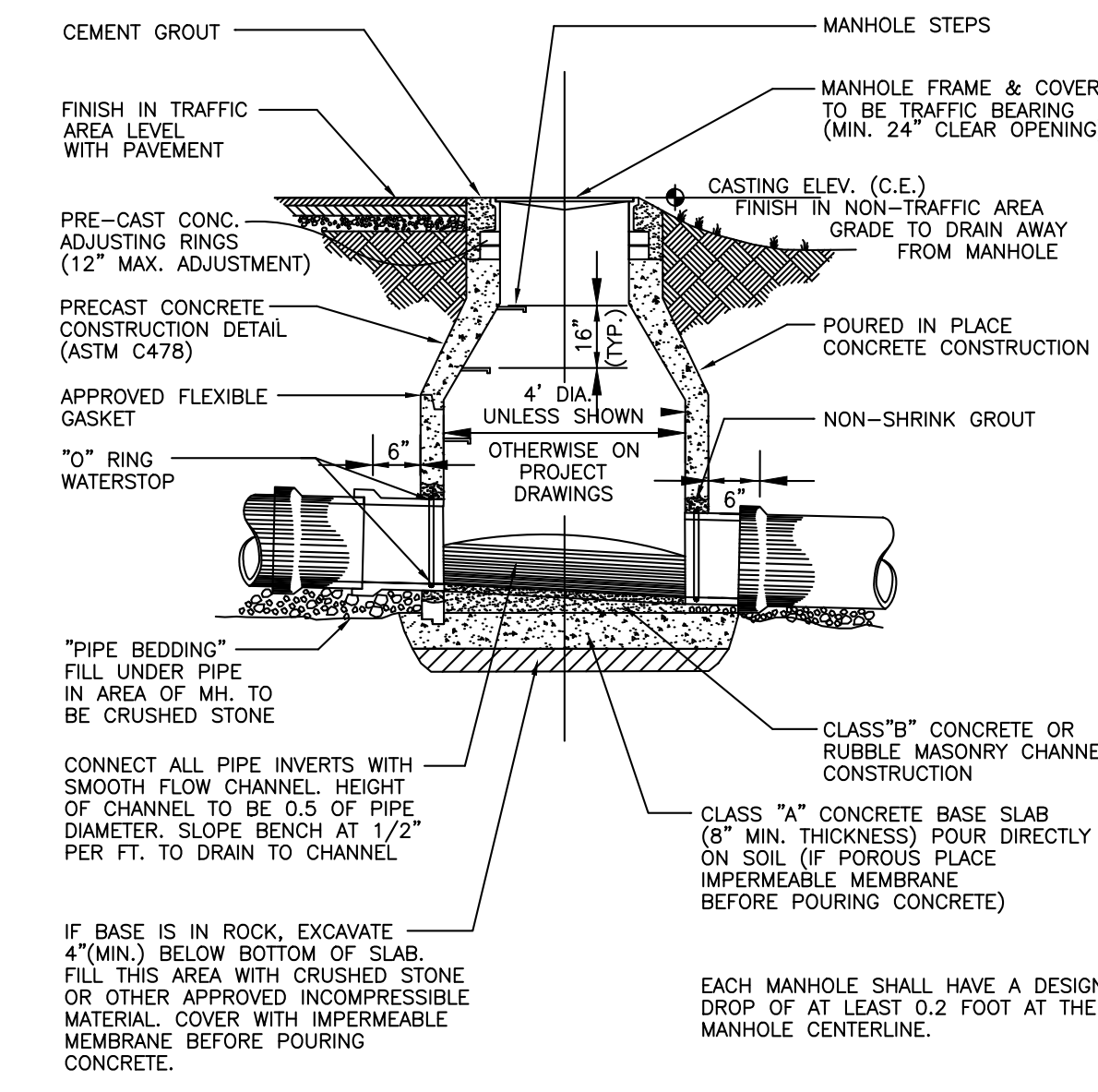
NORMAL DEPTH SERVICE



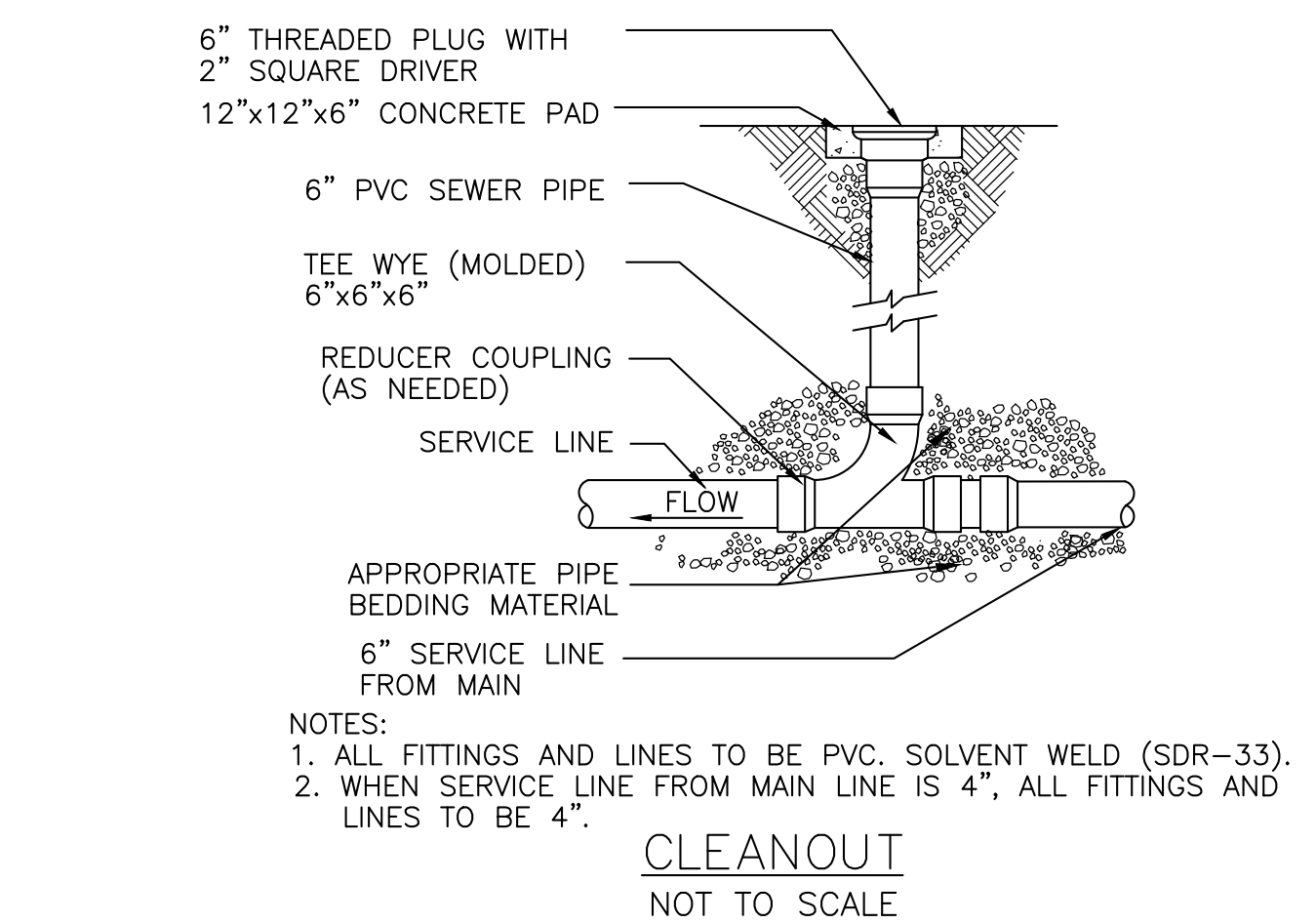
DEEP SEWER SERVICE  
USE WHERE DIRECTED BY ENGINEER  
SEWER SERVICE  
NOT TO SCALE



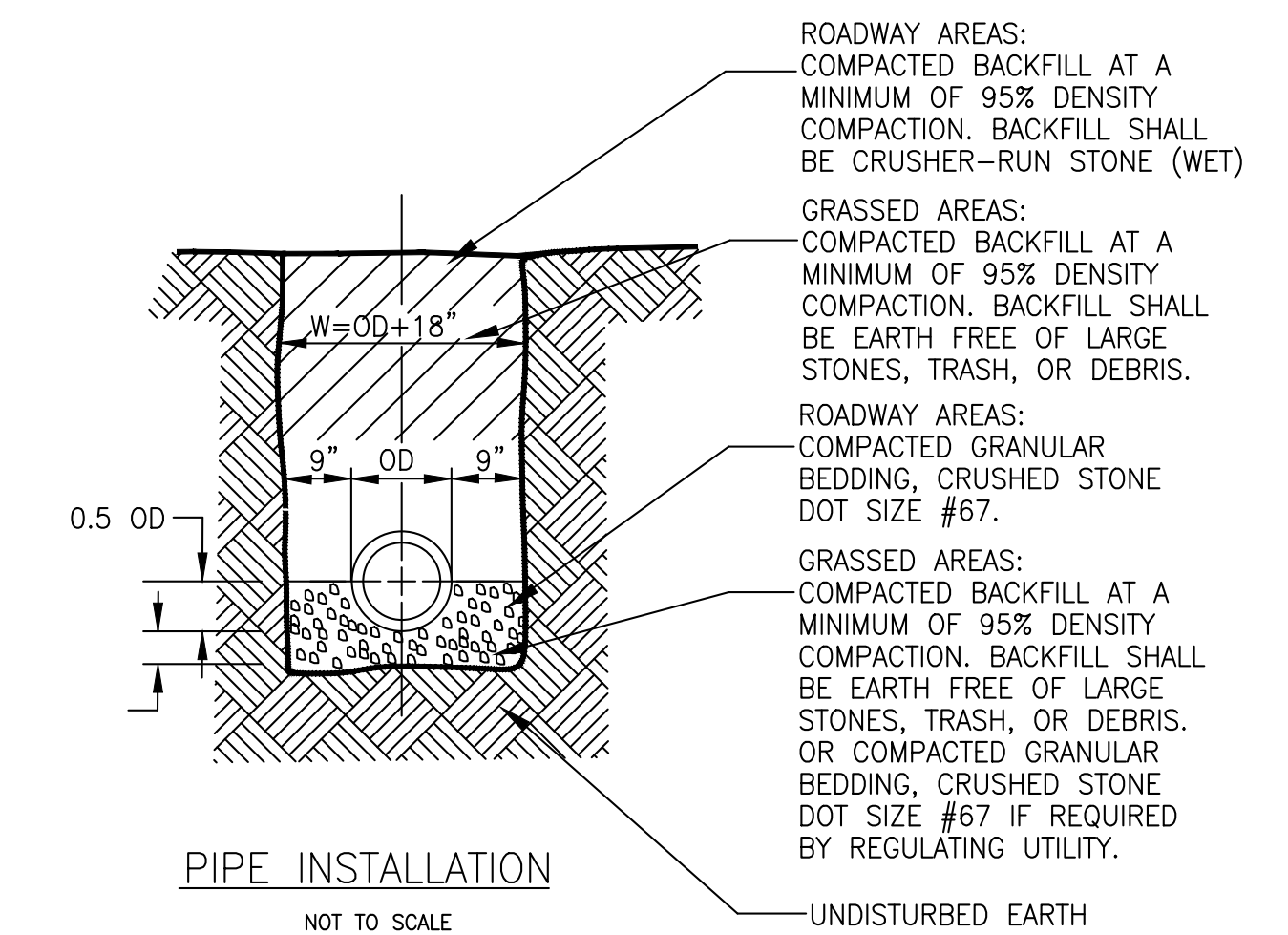
STANDARD MANHOLE  
(PRE-CAST AND POURED IN PLACE CONSTRUCTION)  
NOT TO SCALE



CONNECTION TO EXISTING MANHOLE  
(PRE-CAST AND POURED IN PLACE CONSTRUCTION)



CLEANOUT  
NOT TO SCALE



PIPE INSTALLATION  
NOT TO SCALE

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PHONE: (931) 388-2329  
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Client  
ALAN BLEVINS  
P.O. BOX 38  
COLUMBIA, TN 38402

REVISIONS	DATE	STAFF COMMENTS
	9/27/23	

SUGAR CREEK TOWNHOMES  
SUGAR CREEK LANE  
MT. PLEASANT, MAURY COUNTY, TENNESSEE  
SANITARY SEWER DETAILS

Drawn: JG	Checked: GY	Approved: GY	Date: 9/27/2023
Job No: 20520-1	Scale:	Vertical:	Horizontal:

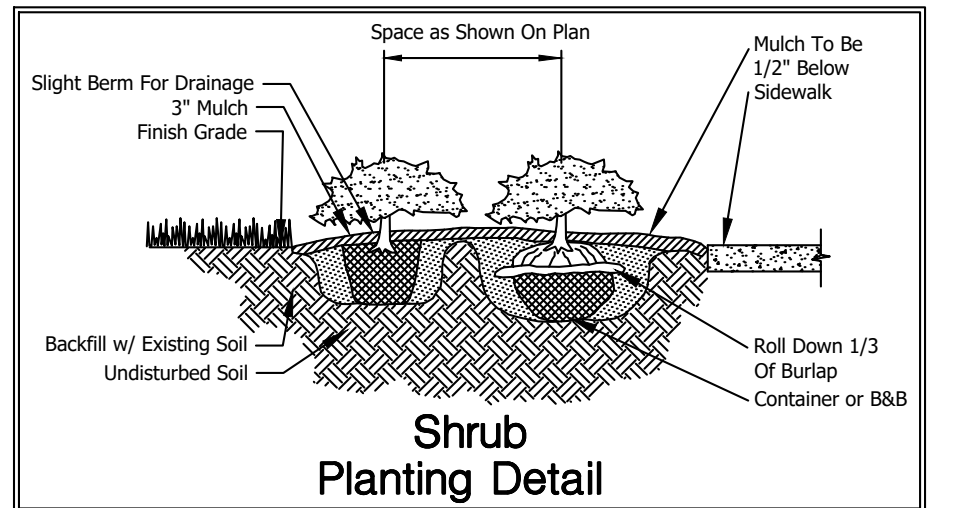
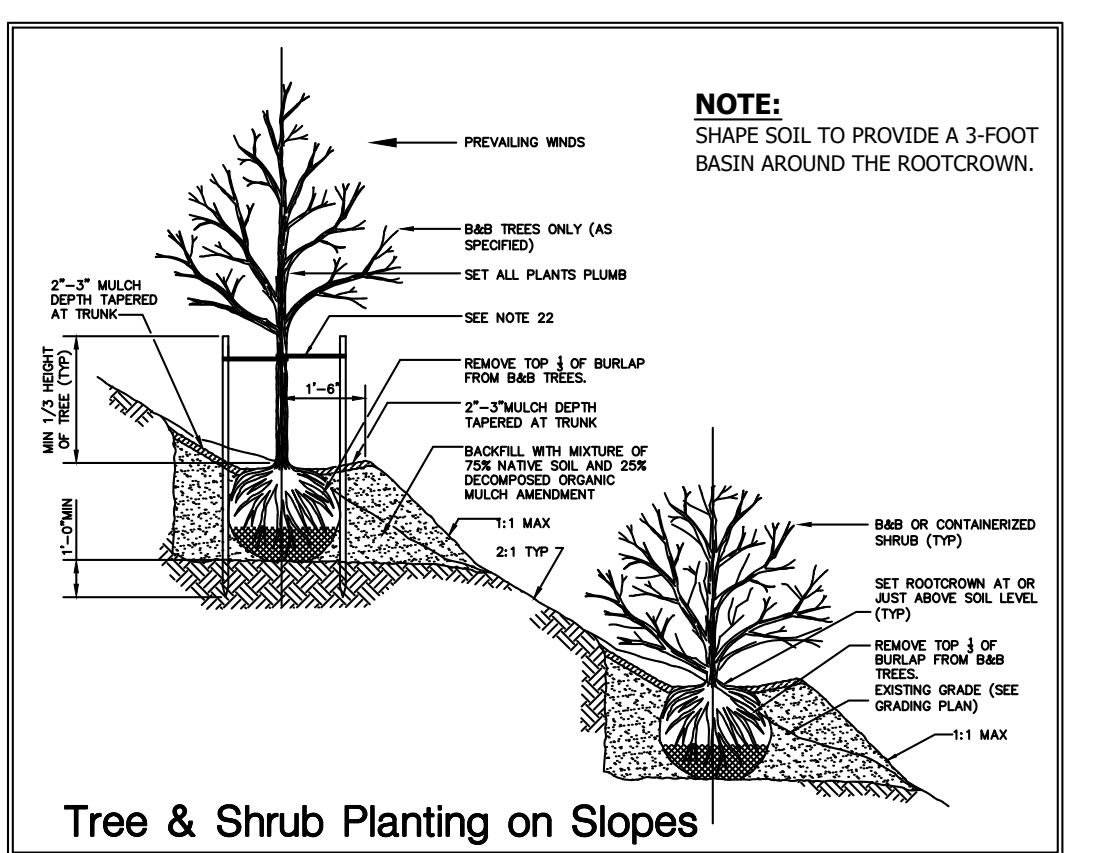
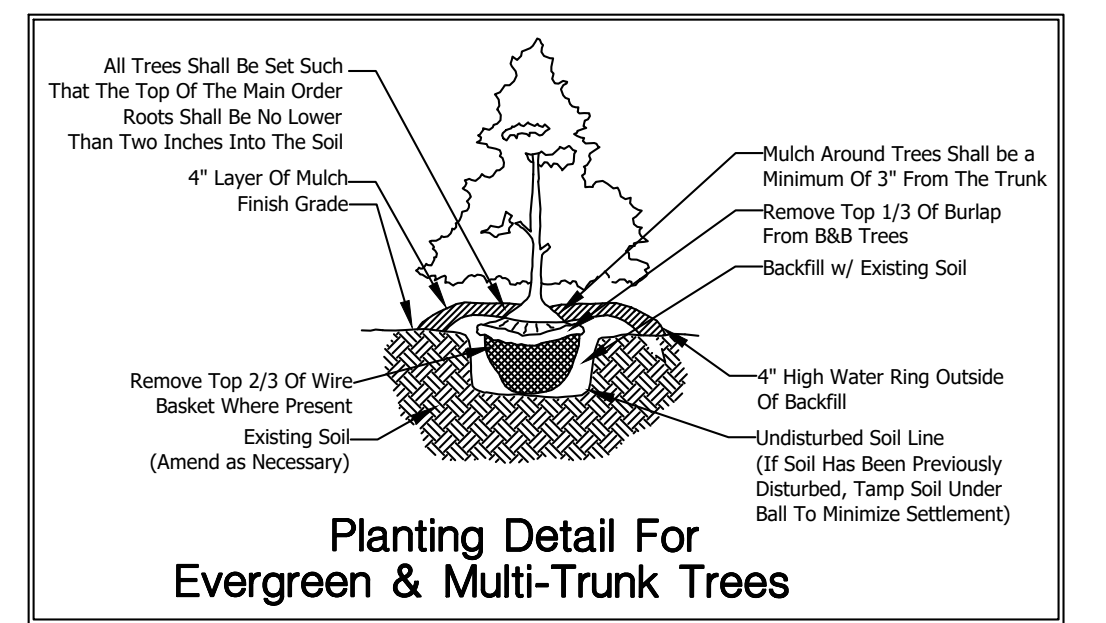
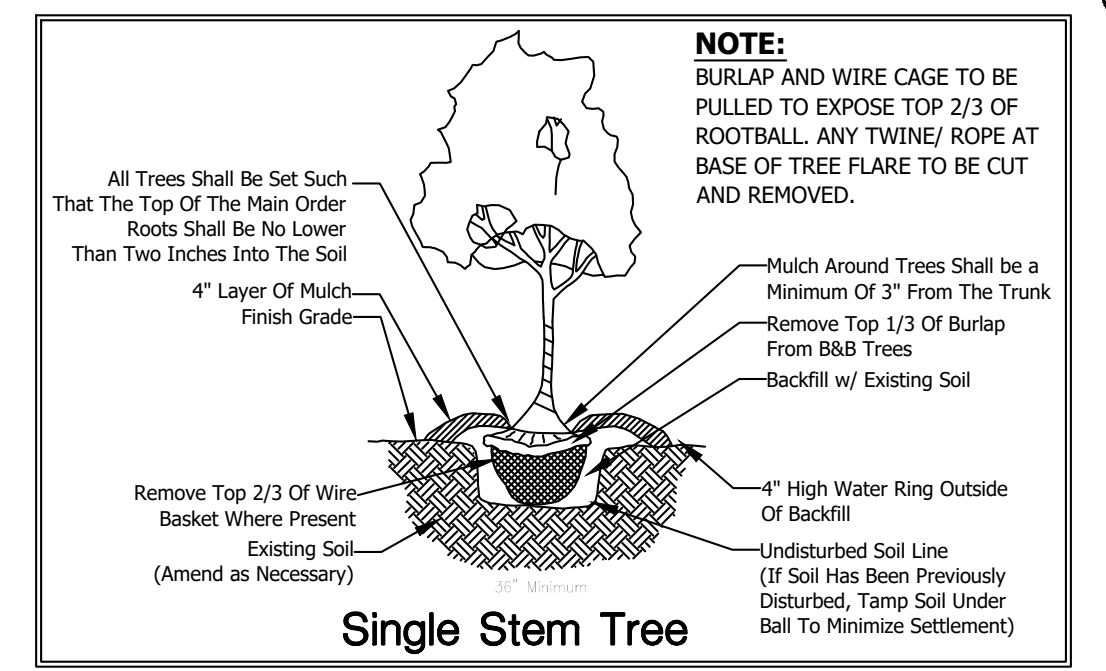
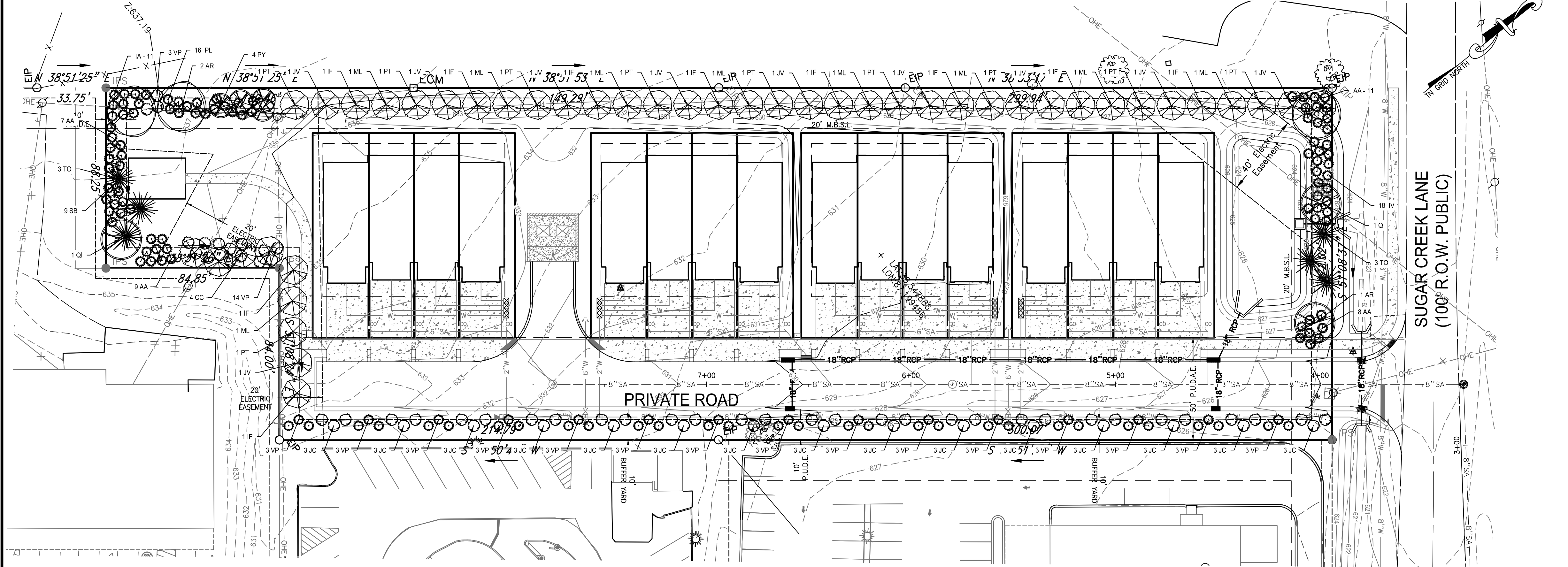


Submitted for City Approval  
NOT FOR CONSTRUCTION

C-5.1

FILE: \\WES\_Engineers\_Surveyors\_2020\20520 - Williams, Funeral Mt. Pleasant - Blevins\DWG\Engineering\20520-1 - Base (REV3).dwg

# LANDSCAPE PLAN



## Landscape Notes:

- The landscape contractor shall verify the exact location of all utilities and take necessary precautions to prevent damage to these utilities.
- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for and damage to utilities.
- Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
- All planting and mulch beds shall be hand weeded or sprayed with round-up ( contractor's option ) prior to the installation of mulch.
- The landscape contractor shall be responsible for the fine grading of all planting areas.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- The landscape contractor shall be responsible for completely maintaining the work ( including but not limited to: watering, mulching, spraying, fertilizing, etc. ) of all planting areas and lawns until final acceptance of the work by the owner.
- The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. Trees shall be No. 1 grade specimen and shrubs shall be heavy well shaped specimens as well.
- The landscape contractor shall completely guarantee all work for a period of one year beginning at the date of acceptance. The landscape contractor shall make all replacements promptly ( as per direction of owner ).
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- All disturbed areas shall be planted with seed and mulched or turf as indicated on the materials schedule.
- All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.
- All Landscape materials to be selected by owner and must be in accordance to the Required Plant Species requirements of the Zoning Ordinance. One tree for each 50 linear feet of landscaped area required along parking area. Remaining areas to be surfaced with shrubs, ground cover, grass, or other landscape material ( excluding rock ). ( Zoning Ordinance Appendix E )
- Canopy trees shall be a minimum of ten feet in height with a four to five-foot spread and a 2 1/2-inch caliper trunk at time of planting. Accent trees shall be a minimum of eight feet in height with a three to four-foot spread and a 2 1/2-inch caliper trunk at time of planting.
- Ten shrubs shall be planted for every 100 linear feet of building perimeter for nonresidential uses. All required shrubs shall be 20-inches in height in a minimum 3-gallon container. (Zoning Appendix E)
- Deciduous trees shall have one dominant trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
- Trees with forked trunks are acceptable if all the following conditions are met:
  - The fork occurs in the upper 1/2 of the tree.
  - One fork is less than 1/2 the diameter of the dominant fork.
  - The top 1/2 of the smaller fork is removed at the time of planting.
- No branch shall be greater than 1/2 the diameter of the trunk directly above the branch.
- Several branches shall be larger in diameter and obviously more dominant.
- Branching habit is to be more horizontal than vertical, and no branches are to be oriented nearly vertical to the trunk.
- Branches are to be evenly distributed around the trunk with no more than one major branch located directly above another and the crown is to be full of foliage evenly distributed around the tree.
- Stake all trees as shown in Planting on Slopes details.

**\*\*ATTENTION OWNER/ INSTALLER\*\***  
This landscape plan has been designed to meet the minimum requirements of the Mt. Pleasant, Tennessee zoning ordinance, the approval of the planning commission, and department policy. Relocating, substituting, resizing, reducing or deleting material may cause the site to no longer conform to the requirements. **Deviation from the approved landscape plan shall not be made without first obtaining approval from either the planning commission or the planning department.**

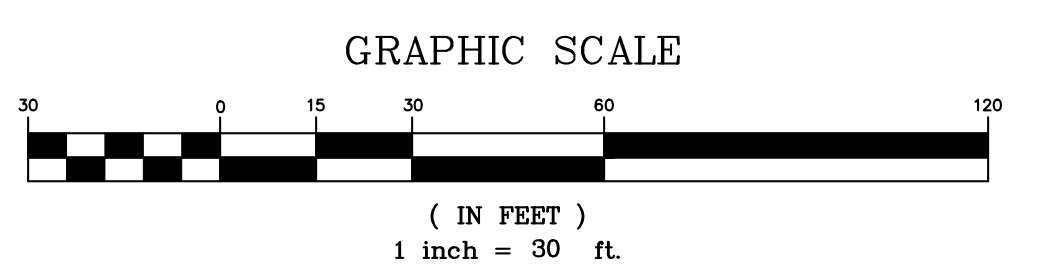
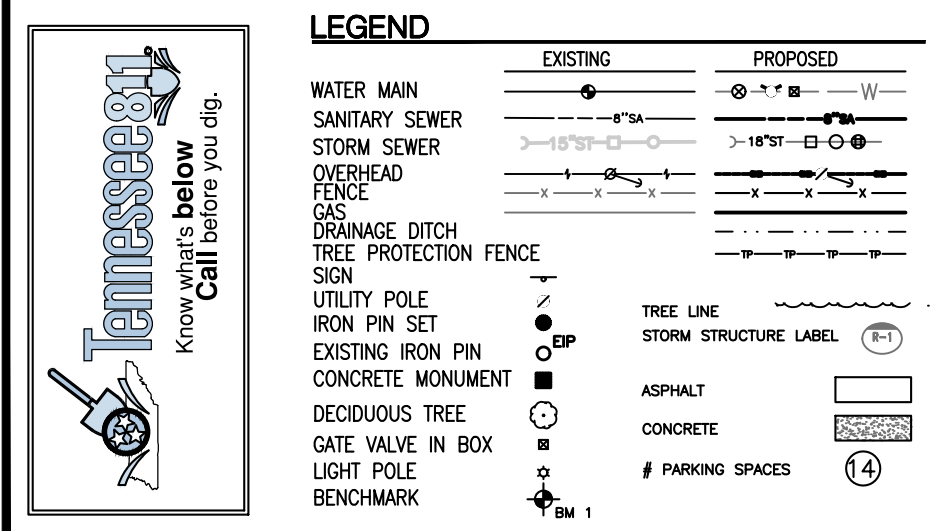
## MATERIALS SCHEDULE

CANOPY TREES					
KEY QUANTITY	SCIENTIFIC NAME	COMMON NAME	HEIGHT	SPREAD TRUNK	REMARKS
10	Halesia carolina	Carolina Silverbell	10'-12'	4'-5'	4' CLEAR TRUNK
3	Acer tubrum	Red Maple	10'-12'	4'-5'	4' CLEAR TRUNK
2	Quercus imbricaria	Shingle Oak	10'-12'	4'-5'	4' CLEAR TRUNK
1	Betula nigra	Eastern Red Cedar	8'-10'	4'-5'	4' CLEAR TRUNK
1	Tsuga canadensis	Canadian Hemlock	8'-10'	4'-5'	4' CLEAR TRUNK
UNDERSTORY TREES					
KEY QUANTITY	SCIENTIFIC NAME	COMMON NAME	HEIGHT	SPREAD TRUNK	REMARKS
10	Cornus kousa	Kousa Dogwood	8'-10'	3'-4'	4' CLEAR TRUNK
1	Cercis canadensis	Redbud	8'-10'	3'-4'	4' CLEAR TRUNK
1	Liquidambar styraciflua	Cyclopamine	8'-10'	3'-4'	4' CLEAR TRUNK
4	Prunus x weddiana	Yoshino Cherry	8'-10'	3'-4'	4' CLEAR TRUNK
6	Thuja occidentalis	Arborvitae	6'-10'	3'-4'	4' CLEAR TRUNK
SCREENING TREES					
KEY QUANTITY	SCIENTIFIC NAME	COMMON NAME	HEIGHT	SPREAD TRUNK	REMARKS
10	Ilex altissima 'Fosteri'	Foster Holly	8'-10'	3'-4'	4' CLEAR TRUNK
9	Magnolia lilliana	Magnolia Jane	8'-10'	3'-4'	4' CLEAR TRUNK
9	Pinus taeda	Loblolly Pine	8'-10'	3'-4'	4' CLEAR TRUNK
9	Juniperus virginiana	Eastern Red Cedar	8'-10'	3'-4'	4' CLEAR TRUNK
SHRUBS					
KEY QUANTITY	SCIENTIFIC NAME	COMMON NAME	HEIGHT	SPREAD TRUNK	REMARKS
26	Hydrangea quercifolia	Oliveleaf Hydrangea	24'-30'	18'-24'	F.T.B.
1	Aronia arbutifolia	Red Chokeberry	24'-30'	18'-24'	F.T.B.
1	Forsythia intermedia	Forsythia	24'-30'	18'-24'	F.T.B.
45	Juniperus chinensis 'Sea Green'	Sea Green Juniper	24'-30'	18'-24'	F.T.B.
1	Loropetalum chinensis	Loropetalum	24'-30'	18'-24'	F.T.B.
11	Ilex aquifolium	English Holly	24'-30'	18'-24'	F.T.B.
48	Viburnum 'Praguean'	Prague viburnum	24'-30'	18'-24'	F.T.B.
16	Prunus laurocerasus	English Laurel	24'-30'	18'-24'	F.T.B.
9	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	24'-30'	18'-24'	F.T.B.
15	Ilex verticillata	Winterberry	24'-30'	18'-24'	F.T.B.
TURF					
SEED	Turf Mixture	Rebel III Turf-type Fescue	Temporary seed all disturbed areas @ 8#1,000/sq		
SOD	Fine Bladed Fescue Sod	Rebel III Install 4' strip behind ALL curb grass areas & between building & curb.			
MISCELLANEOUS					
	Seasonal Color	Flower Beds for Seasonal Plantings.			
	Shredded Hardwood Bark Mulch	Minimum 3" depth throughout plant beds.			
NOTES					
F.T.B. = Full To Base					
EXISTING AREAS OUTSIDE OF THE PROPOSED LIMIT OF CONSTRUCTION TO REMAIN UNDISTURBED. SEE LIMIT OF CONSTRUCTION AS OUTLINED ON THIS PLAN.					

## BENCHMARK

**BENCHMARK #1**  
EXISTING IRON PIN  
ELEV. = 629.34'  
N = 444,172.53  
E = 1,611,706.78  
TENNESSEE STATE PLANE  
COORDINATE SYSTEM  
NAD 83 AND NAVD88 DATUM

**WARNING! UTILITY LINES!**  
THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF OVERHEAD OR UNDERGROUND SERVICES. THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THE UNDERGROUND UTILITY LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.



**FLOOD STUDY NOTE:**  
A PORTION OF THE PROPERTY IS LOCATED WITHIN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS (FIRM's) MAP NUMBER 47119C0265E DATED APRIL 17, 2007.



SUBMITTED FOR CITY APPROVAL  
NOT FOR CONSTRUCTION

**WES E ENGINEERS & SURVEYORS**  
CIVIL ENGINEERS & LAND SURVEYORS  
2486 NASHVILLE HIGHWAY  
COLUMBIA, TN 38401  
PHONE: (931) 388-2329  
www.wesengineers.com

**WES E ENGINEERS & SURVEYORS**

Client: ALAN BLEVINS  
P.O. BOX 38  
COLUMBIA, TN 38402

DATE: 9/27/23

REVISIONS: STAFF COMMENTS ADDRESSED

**SUGAR CREEK TOWNHOMES**  
SUGAR CREEK LANE  
MT. PLEASANT, MAURY COUNTY, TENNESSEE  
LANDSCAPE PLAN

Drawn: JG  
Checked: CV  
Approved: CV  
Date: 9/27/2023

20520-1  
Scale: Vertical: 1"=30'  
Horizontal:

L-1.0

# Exhibit D

**Sugar Creek Town Homes Off-Site Water Improvements (w/out Main St B&J)**  
**Opinion of Project Cost**  
**8-Jul-24**

**Water Service Improvements w/out Betterment**

Item	Description	Quantity	Unit Price	Total
<u>Sugar Creek Lane WL</u>				
1	8-inch DIP in Paved Areas	50 LF	\$180.00 /LF	\$9,000
2	8-inch DIP in Easement Areas	680 LF	\$150.00 /LF	\$102,000
3	Connections to Existing Line	2 EA	\$5,000.00 /EA	\$10,000
4	Fire Hydrant Assemblies	2 EA	\$5,000.00 /EA	\$10,000
5	Pavement Repair	50 LF	\$200.00 /LF	\$10,000
6	Erosion Control	750 LF	\$5.00 /LF	\$3,750
<b>Subtotal</b>				<b>\$144,750</b>
<u>Main Street WL Replacement</u>				
1	8-inch DIP in Paved Areas	80 LF	\$180.00 /LF	\$14,400
2	8-inch DIP in Easement Areas	300 LF	\$150.00 /LF	\$45,000
3	Abandon AC Pipe	380 LF	\$40.00 /LF	\$15,200
4	8-inch Gate Valves	2 EA	\$8,000.00 /EA	\$16,000
5	Connection to Ex 16-inch	1 EA	\$5,000.00 /EA	\$5,000
6	Mount Pleasant Village 1" Service F	1 EA	\$1,000.00 /EA	\$1,000
7	Pavement Repair	80 LF	\$200.00 /LF	\$16,000
8	Erosion Control	400 LF	\$5.00 /LF	\$2,000
<b>Subtotal</b>				<b>\$114,600</b>
<b>Total Construction</b>				<b>\$259,350</b>

**Other Costs and Contingency**

Construction Contingency (15%)	\$39,000
Survey Main Street WL	\$4,000
Design	\$20,500
TDOT Encroachment Application /Easement Document Prep	\$4,500
Engineering during Construction (hourly, as needed)	\$4,000
Resident Project Representative (Estimated 2 month duration)	\$28,000
<b>Total Other Costs</b>	<b>\$100,000</b>
<b>Betterment Total Project Cost</b>	
	<b>\$359,350</b>



# Exhibit D

## Water Service Improvements with Betterment

Item	Description	Quantity	Unit Price	Total
<u>Sugar Creek Lane WL</u>				
1	8-inch DIP in Paved Areas	50 LF	\$180.00 /LF	\$9,000
2	8-inch DIP in Easement Areas	680 LF	\$150.00 /LF	\$102,000
3	Connections to Existing Line	2 EA	\$5,000.00 /EA	\$10,000
4	Fire Hydrant Assemblies	2 EA	\$5,000.00 /EA	\$10,000
5	Pavement Repair	50 LF	\$200.00 /LF	\$10,000
6	Erosion Control	750 LF	\$5.00 /LF	\$3,750
<b>Subtotal</b>				<b>\$144,750</b>
<u>Main Street WL Replacement (Future Needs w/Betterment and Abandon 6-inch on East Side)</u>				
1	16-inch DIP in Paved Areas	80 LF	\$425.00 /LF	\$34,000
2	16-inch DIP in Easement Areas	300 LF	\$375.00 /LF	\$112,500
3	Abandon AC Pipe	380 LF	\$40.00 /LF	\$15,200
4	16-inch Butterfly Valves	2 EA	\$10,000.00 /EA	\$20,000
5	Connection to Ex 16-inch	1 EA	\$5,000.00 /EA	\$5,000
6	Mount Pleasant Village 1" Service F	1 EA	\$1,000.00 /EA	\$1,000
7	Main Street Long Side Service Reco	3 EA	\$3,000.00 /EA	\$9,000
8	Pavement Repair	80 LF	\$200.00 /LF	\$16,000
9	Erosion Control	400 LF	\$5.00 /LF	\$2,000
<b>Subtotal</b>				<b>\$214,700</b>
<b>Total Construction</b>				<b>\$359,450</b>

### Other Costs and Contingency

Construction Contingency (15%)	\$54,000
Survey Main Street WL	\$4,000
^Design including profile for 16-inch	\$25,500
TDOT Encroachment Application /Easement Document Prep	\$4,500
Engineering during Construction (hourly, as needed)	\$4,000
Resident Project Representative (Estimated 2 month duration)	\$28,000
<b>Total Other Costs</b>	<b>\$120,000</b>
<b>Betterment Total Project Cost</b>	<b>\$479,450</b>

<b>Total Additional Cost is Betterment is Constructed</b>	<b>\$120,100</b>
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# Exhibit D

