



Planning Commission Meeting Agenda

Tuesday, December 10, 2024 at 6:00 PM

The Tom Hardin Room – 100 Public Square, Mount Pleasant, TN

1. **Call to Order**
2. **Pledge of Allegiance / Invocation**
3. **Roll Call**
 - A. John Hunter - *Chair*
Jennifer Graham - *Vice Chair*
Pam Johnston - *Secretary / City Commissioner*
Kris Irvin - *Member*
Cedric Hollis - *Member*
4. **Approval / Correction of Minutes from Prior Meetings**
 - A. [November 12, 2024 meeting minutes](#)
5. **Completion / Review of Unfinished Business from prior meeting**
 - A. Not any at this time
6. **Special reports from other City Departments or Committees if applicable**
 - A. Not any at this time
7. **New Business**

(Comments from citizens may or may not be included, dependent on the issues.)

 - A. Owner applicant Shane Anderson has submitted application to subdivide 6.78 acres into 2 parcels consisting of 3.46 acres and 3.36 acres. The property is located at 6920 Hoover Mason Rd. Tax Map 126 Parcel 045.13. The property is zoned Light Industrial.
 - B. Owner applicant Justin Robinette has submitted a Site Plan for Robinette Trucking to be located adjacent to 1149 North Main Street. The site consists of 16.96 acres, Tax Map 127 Parcel 14.06. The will consists of approximately 13,000 square foot metal building. The property is zoned Light Industrial.
 - C. Resolution 2024-PC-06 to approve the 2025 regular Planning Commission meeting dates beginning January 1, 2025 and ending December 31, 2025:
8. **General comments from citizens (May be limited in time and/or number of comments.)**
9. **Board / Staff Comments / Adjournment**
 - A. No Staff comments



Planning Commission Meeting Minutes

Tuesday, November 12, 2024 at 6:00 PM

The Tom Hardin Room – 100 Public Square, Mount Pleasant, TN

1. Call to Order

John Hunter called the meeting to order.

2. Pledge of Allegiance / Invocation

Cedric Hollis led the Pledge of Allegiance and Pam Johnston gave the invocation.

3. Roll Call

PRESENT

Chair John Hunter

Vice Chair Jennifer Graham

Secretary / City Commissioner Pam Johnston

Member Cedric Hollis

Member Kris Irvin

A. John Hunter - *Chair*

Jennifer Graham - *Vice Chair*

Pam Johnston - *Secretary / City Commissioner*

Kris Irvin - *Member*

Cedric Hollis - *Member*

4. Approval / Correction of Minutes from Prior Meetings

Motion made by Member Hollis, Seconded by Secretary / City Commissioner Johnston.

Voting Yea: Chair Hunter, Vice Chair Graham, Secretary / City Commissioner Johnston, Member Hollis, Member Irvin

A. Regular Session - October 8, 2024

5. Completion / Review of Unfinished Business from prior meeting

No unfinished business.

A. No unfinished business

6. Special reports from other City Departments or Committees if applicable

None at this time.

7. New Business

(Comments from citizens may or may not be included, dependent on the issues.)

- A. Applicant Allen Blevins, Developer desires to undertake the development of certain real property located on Sugar Creek Lane in the City of Mount Pleasant, Maury County, Tennessee, known as Sugar Creek Townhomes by entering into a Development Agreement.

Motion made by Vice Chair Graham, Seconded by Member Hollis.
Voting Yea: Chair Hunter, Vice Chair Graham, Secretary / City Commissioner Johnston, Member Hollis, Member Irvin

8. General comments from citizens (May be limited in time and/or number of comments.)

None at this time.

9. Board / Staff Comments / Adjournment

Motion made by Member Hollis, Seconded by Vice Chair Graham.
Voting Yea: Chair Hunter, Vice Chair Graham, Secretary / City Commissioner Johnston, Member Hollis, Member Irvin

LOT 2 - Soils Evaluation Letter

STATE OF TENNESSEE
DEPARTMENT OF ENVIRONMENT AND CONSERVATION
COLUMBIA ENVIRONMENTAL FIELD OFFICE
DIVISION OF WATER RESOURCES
1421 HAMPSHIRE PIKE
COLUMBIA, TENNESSEE 38401
PHONE (931) 380-3371 FAX (931) 380-3397

General approval is hereby granted for Lot 2 as defined in the 6920 Hoover Mason Lane Division. The following shall be defined as general restrictions and shall apply to all lots with specific restrictions on each lot following general restrictions.

General Restrictions: Prior to any construction of a structure, permanent or mobile, the plans for the exact house/structure location and the subsurface sewage system must be approved by the Environmental Specialist with the Division of Ground Water Protection in Maury County. Any cutting or filling after August 30, 2024, may render the site unsuitable.

S.S.D.S. Denotes Subsurface Sewage Disposal System.

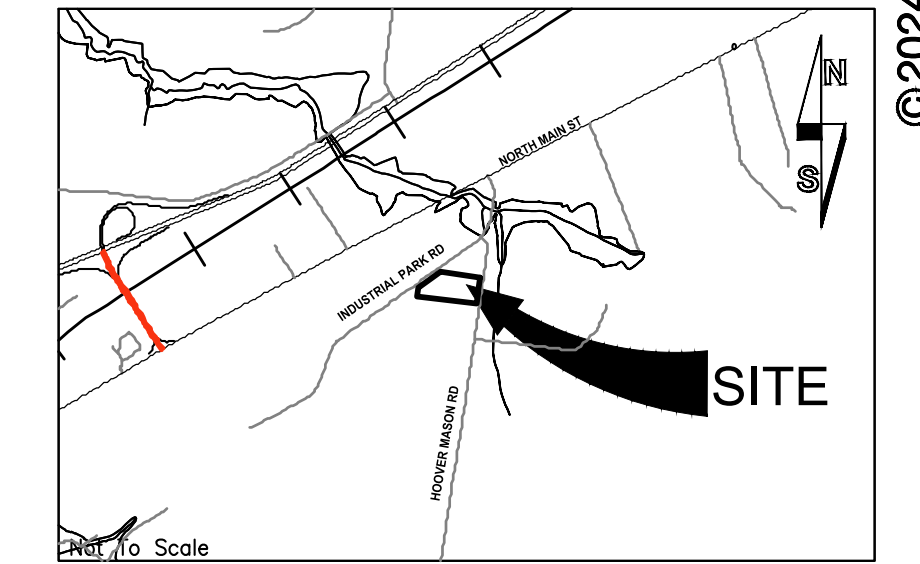
Lot 1: This lot has not been evaluated pursuant to this plat review for a subsurface sewage system disposal system and plat approval does not constitute approval of this lot or the existing system.

Lot 2: Suitable soil for subsurface sewage disposal system is located in the south eastern portion of the lot. With proper structure, driveway and utility locations outside of useable soils area this lot can accommodate a structure not to exceed two bedrooms and a pump will be required.

Date: Alan Floyd
Environmental Specialist III

AF/an

Location Map



SITE DATA:

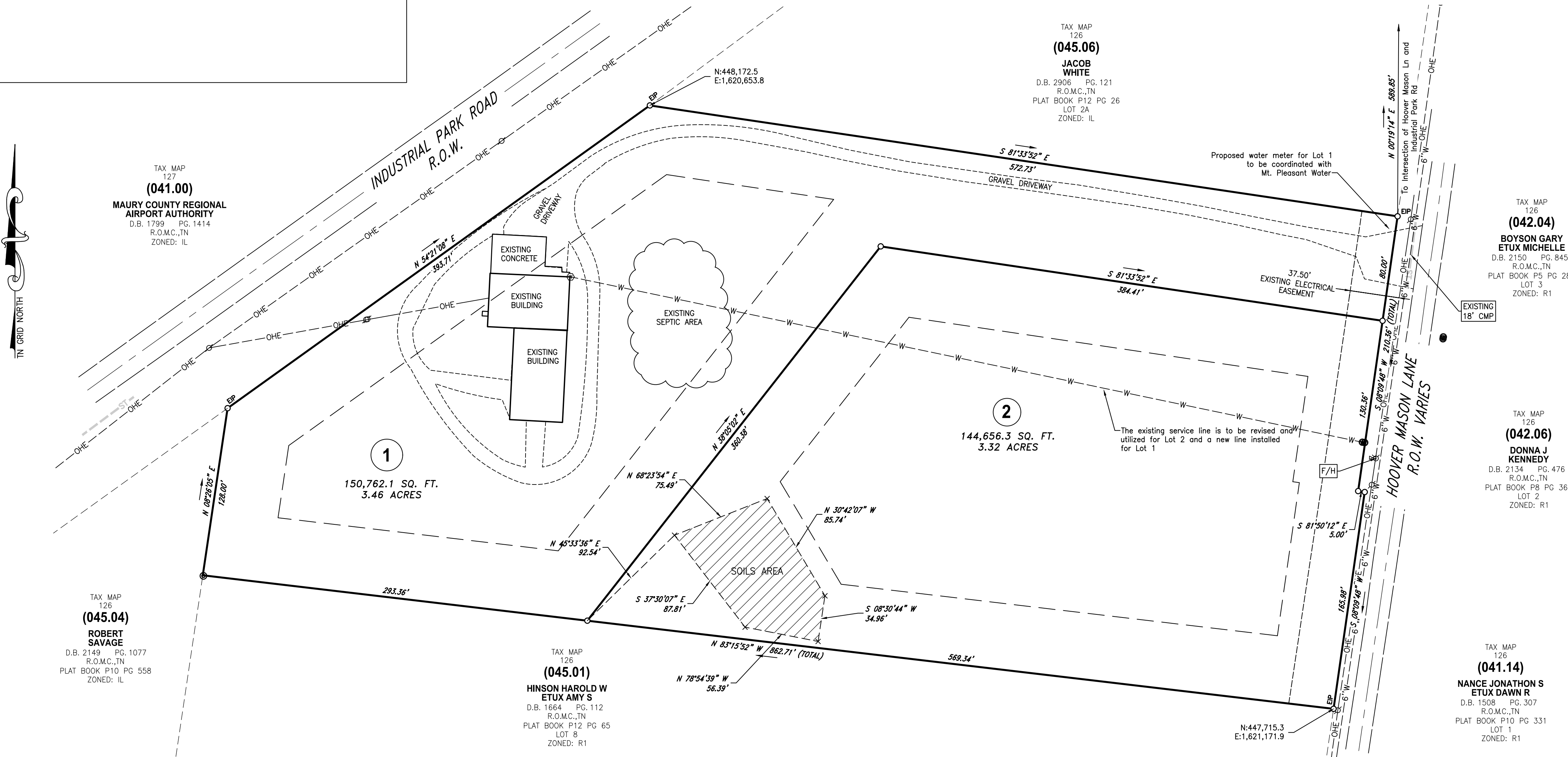
OWNER: MICHAEL SHANE AND TAMMY LYNN ANDERSON
3885 BUCK MATTHEWS ROAD
COLUMBIA, TN 38401
PARCEL NUMBER: TAX MAP 126, PARCEL 045.13
PLAT BOOK: P12, PAGES 65-66, LOT 9
DEED BOOK: R2557, PG 1328
ADDRESS: 6920 HOOVER MASON LANE
SUBJECT PARCEL ZONING: IL - LIGHT INDUSTRIAL
ACREAGE OF SITE: TOTAL - 295,418.4 S.F. OR 6.78 ACRES
PARCEL 1 - 150,762.1 S.F. OR 3.46 ACRES
PARCEL 2 - 144,656.3 S.F. OR 3.32 ACRES
MINIMUM REQUIRED BUILDING SETBACKS: 50' FRONT, 50' REAR, 50' SIDE
MINIMUM LOT WIDTH: 100'

Surveyor's Notes

- 1. All distances were measured with E.D.M. equipment and have been adjusted for temperature and pressure.
2. The property (Boundary) Line Survey exceeds the minimum requirements of an Urban Land Survey Category 1 as per Standards of Practice adopted by the State Board of Examiners for Land Surveyors for the State of Tennessee, and the precision of the unadjusted survey is greater than 1 foot in 10,000 feet.
3. Information concerning site utility services and appurtenances shown hereon is based on visible evidence noted during the survey, information provided by utility representatives or information shown on original construction plans by other. Information and location of service lines on site should be considered approximate and there may be underground utility lines that are not shown on the survey. Owner(s) and contractor(s) should assume responsibility of locating all underground utility service lines prior to any construction, excavation or any disturbance of the existing ground elevation to avoid hazard of unnecessary expense.
4. Information concerning major utilities or appurtenances shown hereon are based on visible evidence noted during the survey or information provided by utility representatives. Verification of existence, size, location, depth and availability of service should be confirmed by local utility agencies.
5. The property shown hereon is located within the Maury County, TN. All matters pertaining to construction, use location of improvements, signage, parking, noise, vibration, emissions, fire hazards, radiation, illumination, setback provisions, etc., are subject to the Maury County's Zoning Regulation as interpreted and regulated by the Building & Zoning Office.
6. The area of the parcels as shown hereon is ±6.78 Acres.
7. This property currently identified as Tax Map No. 126 Parcel No. 045.13, Maury County. For designation shown thus () indicates Parcel Numbers for said map.
8. Plat reference: P12, Pages 65-66
9. Deed reference: Book R2557, Page 1328
10. Bearings based on: Tennessee State Plane, NAD(83).
11. This drawing was prepared in accordance with our field survey notes. It shows improvements as they exist to the best of our knowledge, but is not guaranteed to be correct in each and every detail.
12. This survey was prepared from current deeds of record and does not represent a title search or a guarantee of title, and is subject to any state of facts a current and accurate search may reveal.
13. This survey was prepared for the exclusive use of the person, persons, or entity, if any, named on the certification hereon. Said certification does not extend to any unnamed person without an express re-certification by the surveyor naming said person.
14. The certification as provided on this survey, is purely a statement of professional opinion based on knowledge, information and belief, based on existing field evidence and documentary evidence provided by others.
15. The certification is not an expressed or implied warranty or guarantee.
16. This property is not located in a Special Flood Hazard Area as shown on F.E.M.A. Flood Insurance Rate Map, Community Panel No. 47119C0270E, dated April 16, 2007 (Zone 'X') (Panel Not Printed).
17. All public utility and drainage easements located on proposed lots are to be maintained by the individual property owner for said lot.

PURPOSE NOTE: The purpose of this plat is to subdivide the existing property into 2 lots.

Septic Area Note: The graphic areas shown are provided for informational purposes to Owners & Builders. If the soils areas are disturbed or encroached upon, the owners and/or Builders shall coordinate with the Tennessee Department of Environment & Conservation to obtain additional approvals prior to being issued a Building Permit or a Certificate of Occupancy.



CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in Book Number R2557, Page 1328, Maury County Register's Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public ways, utilities, and other facilities have been filed.

Tax Map 126, Parcel 045.13
Date: Shane Anderson
Date: Tammy Anderson
Printed Name and Title (If Action for Partnership or Corporation)

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that the water system(s) outlined or indicated on the final subdivision plan entitled 6920 Hoover Mason Lane has been installed in accordance with current local and state government requirements, or a sufficient bond or other surety has been filed to guarantee said installation.

Date: Mt. Pleasant Water Systems
Authorized Approving Agent

CERTIFICATE OF APPROVAL FOR RECORDING

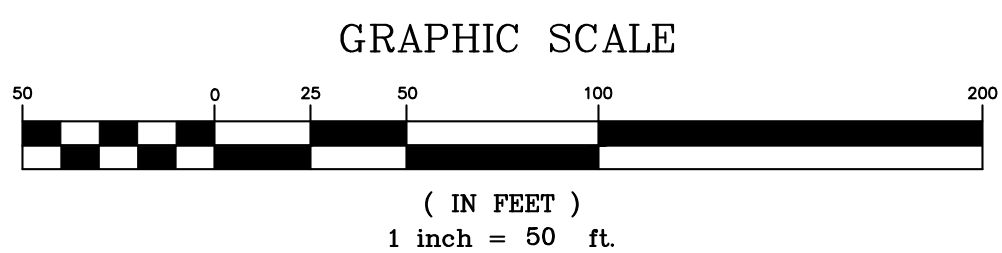
I hereby certify that the subdivision plat shown hereon has been found to comply with the Mount Pleasant Regional Subdivision Regulations, with the exception of such variances, if any, as are noted in the Minutes of the Planning Commission, and that it has been approved for recording in the Office of the County Register.

Date: Secretary, Mt. Pleasant Planning Commission

SURVEYOR'S CERTIFICATION (TENNESSEE)

I hereby certify that to the best of my knowledge and belief the hereon shown subdivision plat represents a Category 'TV' Survey having an unadjusted ratio of precision of 1:10,000 and is true and correct. Approved monuments have been placed as indicated. All side lot lines are at right angles or radial to a street unless otherwise noted.

Date: 1/26/24
Allen B. O'Leary
TN RLS #1987
Number



Register of Deed Recording Stamp

Vertical sidebar containing client information (Shane & Tammy Anderson), revision table, final plat title (6920 Hoover Mason Lane), job number (19564), scale (1"=50'), and page number (1 of 1).

FILE: J:\WES_Engineers_Surveyors_2019\19564 - Hoover Mason - Anderson\Draw_Survey\19564-Hoover Survey 2 Lot - FINAL PLAT (rev).dwg

November 26, 2024

Chris Brooks, Building and Planning Director
 Mt Pleasant, Tennessee
 100 Public Square
 Mt. Pleasant, Tennessee 37474

RE: Anderson Machining, Site Plan
 Mt. Pleasant Planning Commission Resubmittal

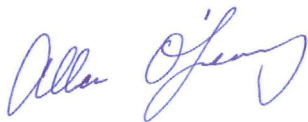
Dear Chris:

On behalf of Anderson Machining, LLC, the Developer for Anderson Machining Site Plan, WES Engineers & Surveyors would like to resubmit this document as well as the attached information for the Mt. Pleasant Planning Commission submittal regarding the proposed subdivision plat. Comments are addressed below in GREEN:

1. Relocate water service line to avoid impacting the proposed building envelope or place in an appropriate easement.
 - a. The water line was mis- labeled and it is to remain the service for LOT 2 as shown on this final plat. A new service line and meter will be installed to service Lot 1.
2. Does the note for the water service line need to read "This service line to be used for Lot 1 and a new line installed for Lot 2?"
 - a. The water line was mis- labeled and it is to remain the service for LOT 2 as shown on this final plat. A new service line and meter will be installed to service Lot 1.
3. Please review certificates for correct references to Mount Pleasant where appropriate.
 - a. Certificates have been reviewed.
4. Please remove items from the legend that are not applicable to this plat.
 - a. Our standard legend has been revised to only include items that are applicable on this Final Plat.
5. Please move bearing for the location of the septic field off of the proposed property line between lots 1 and 2 for clarity.
 - a. Bearing has been relocated for legibility.

If you have any questions or comments with this resubmittal, please do not hesitate to contact me directly.

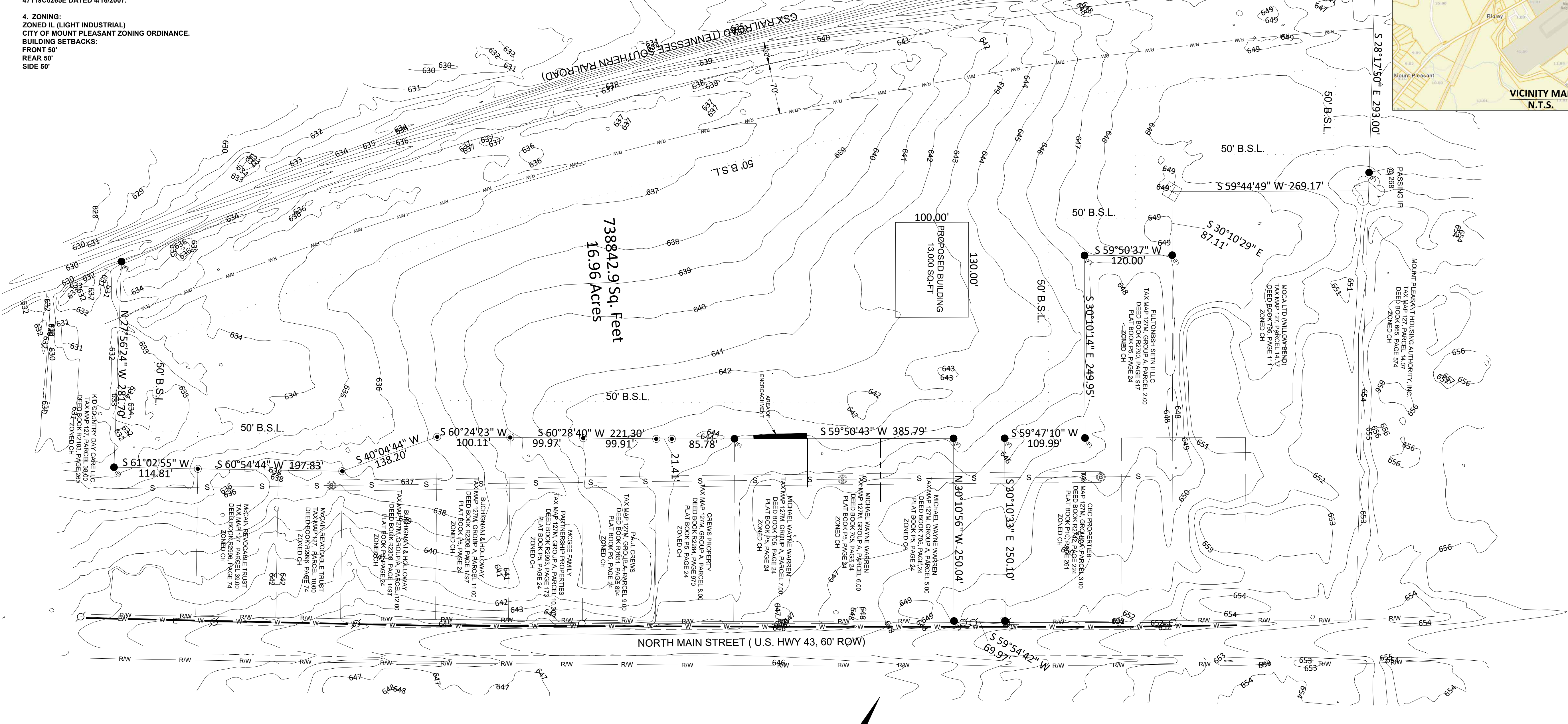
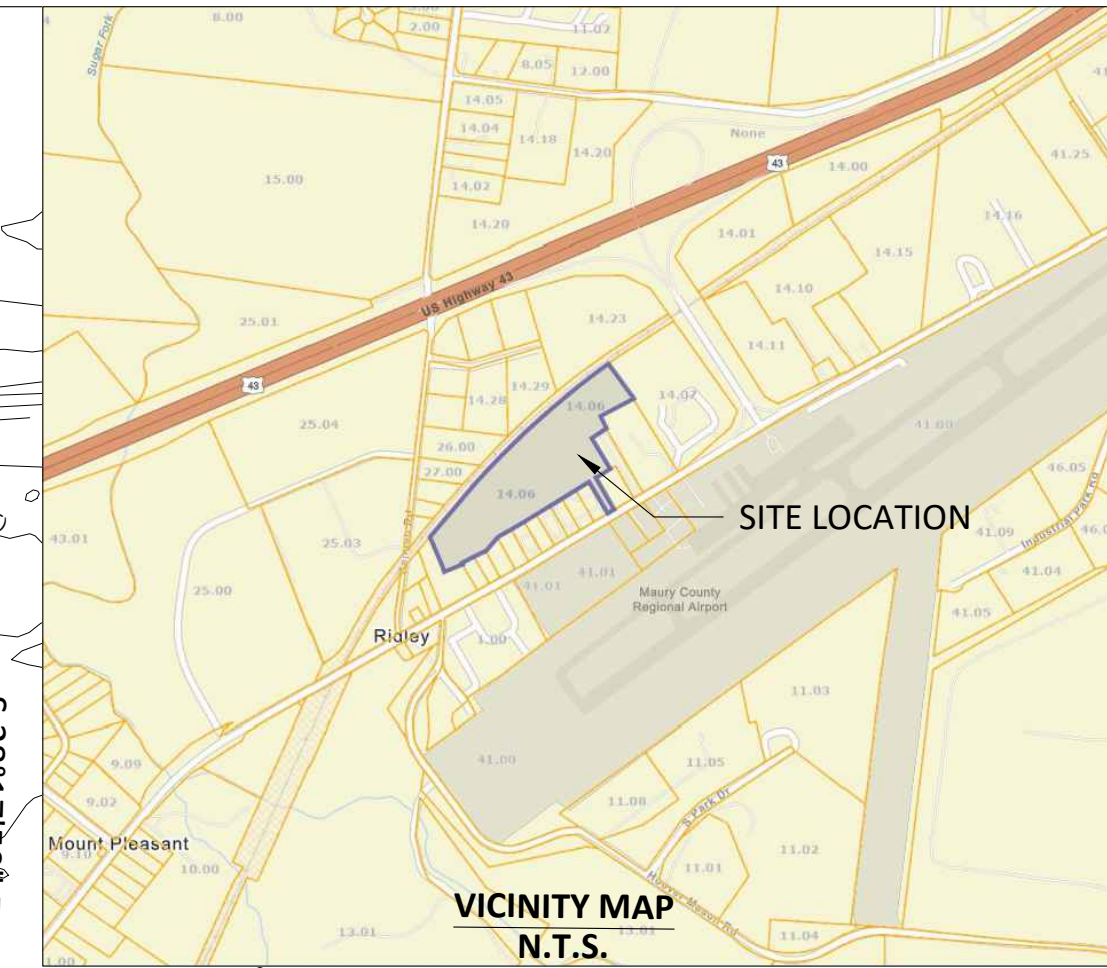
Sincerely,
 WES Engineers & Surveyors



Allen O'Leary
 Principal

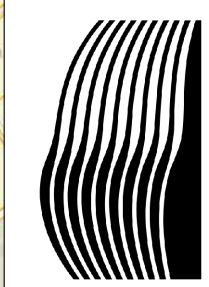
- NOTES:
1. THE PURPOSE OF THIS PLAT IS TO ILLUSTRATE TAX MAP 127, PARCEL 14.06, DEED BOOK R2308, PAGE 1497, PLAT BOOK P5, PAGE 24.
 2. TRACY SEIBER, HEREBY CERTIFY THAT THIS MAP WAS DRAWN FROM A CATEGORY IV GPS SURVEY AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:
 - A. TYPE OF SURVEY: RTK
 - B. POSITIONAL ACCURACY: 0.05'
 - C. PUBLISHED/FIXED CONTROL: TDOT CORS NETWORK
 - D. GEOID MODEL: GEOID 18
 - E. DATUM/EPOCH: NAD83(2011)
 3. SUBJECT PARCELS ARE NOT WITHIN A FLOOD ZONE ACCORDING TO FIRM MAP 47119C0270E & 47119C0265E DATED 4/16/2007.
 4. ZONING: ZONED IL (LIGHT INDUSTRIAL) CITY OF MOUNT PLEASANT ZONING ORDINANCE. BUILDING SETBACKS: FRONT 50' REAR 50' SIDE 50'
 5. THIS PROPERTY IS SUBJECT TO ANY AND ALL RIGHT-OF-WAYS, EASEMENTS, EXCEPTIONS, AND/OR RESTRICTIONS, RECORDED AND UNRECORDED, WHICH MAY AFFECT THIS PROPERTY.
 6. PROPERTY ADDRESS: N MAIN ST MT PLEASANT TN 38474
 7. CONTOURS: CONTOURS ARE BASED ON TDOT LIDAR AND FIELD VERIFIED ON 9/26/2024.

SURVEY
 7TH CIVIL DISTRICT OF MAURY COUNTY
 TAX MAP 127, PARCEL 14.06
 DEED BOOK R2308, PAGE 1497
 R.O.M.C.



738842.9 Sq. Feet
 16.96 Acres

100.00'
 PROPOSED BUILDING
 13,000 SQ.FT.



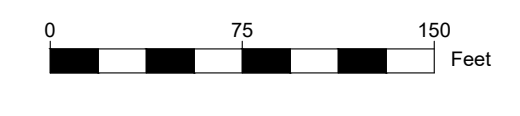
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 PH: (931)797-5079

REVISIONS		Description
No.	Date	By

TRUCKING FACILITY
 FOR
ROBINETTE TRUCKING
 MT. PLEASANT, TN

- LEGEND
- IRON POST
 - IRON PIN FOUND
 - IRON PIPE
 - SEWER MANHOLE
 - TREE
 - UTILITY POLE
 - ZONING SETBACK (B.S.L.)
 - SEWER
 - WATERLINE
 - OVERHEAD POWER
 - RIGHT OF WAY



TRACY SEIBER

102 AVALON DRIVE
 COLUMBIA, TN 38401
 SEIBERSURVEYING@GMAIL.COM (931)446-6677

DRAWING BY: T. SEIBER DATE: 8/7/2024
 SCALE: 1"=75' JOB NO.: 67-2024

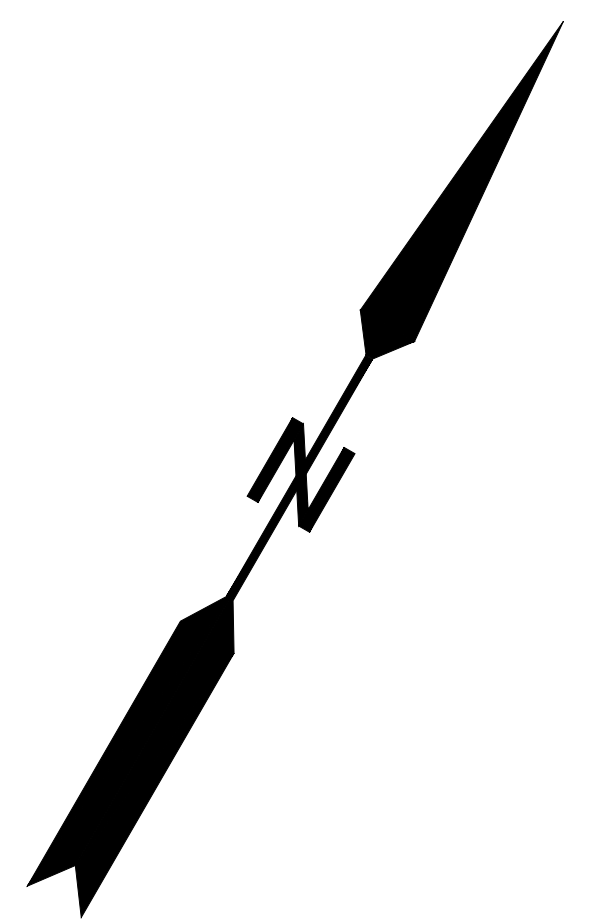
DATE: 11/27/24
 DRAWN BY:
SURVEY
(BY OTHERS)
 SHEET NO. **C1.0**

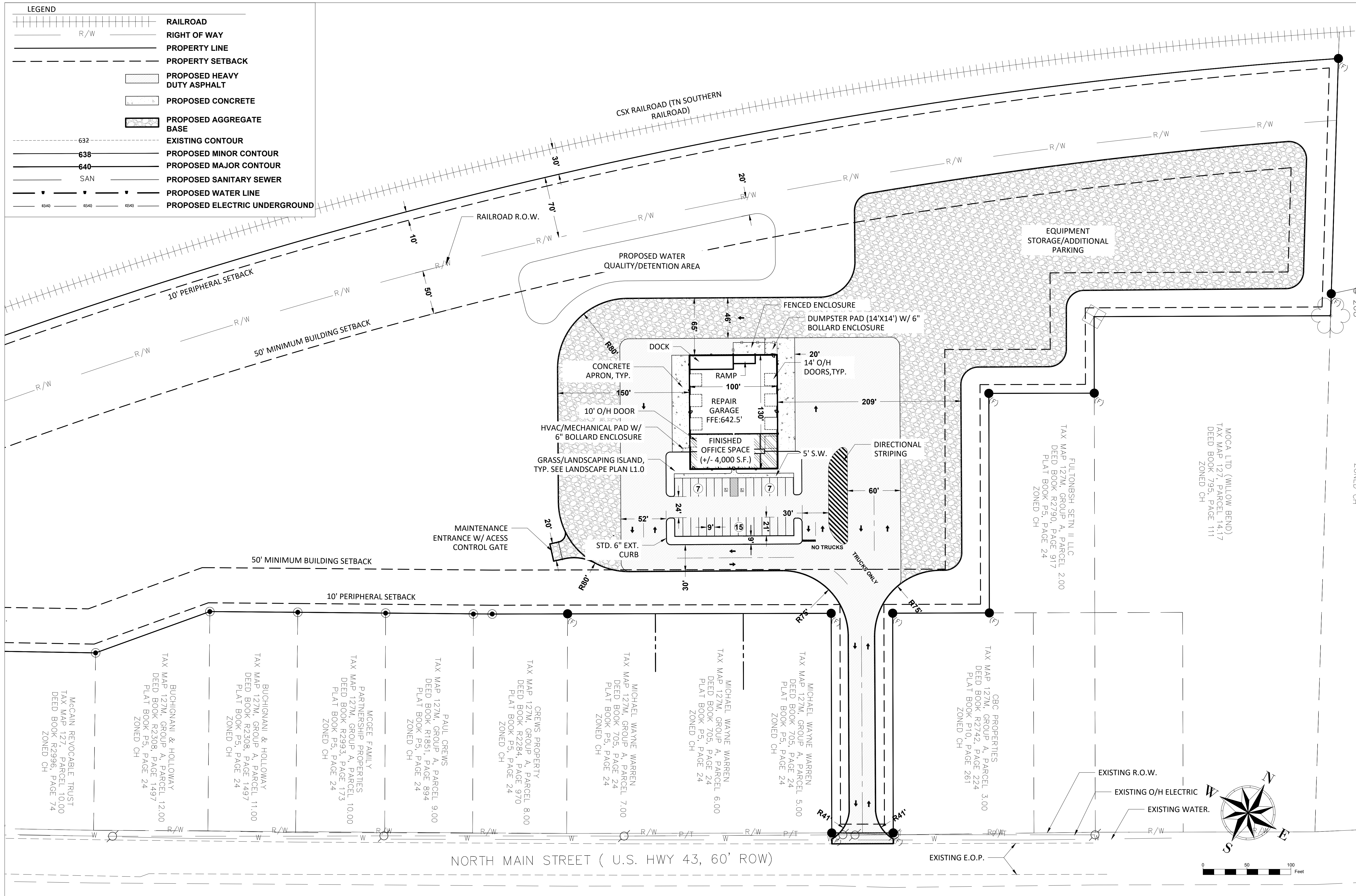


CERTIFICATE OF SURVEY ACCURACY

I hereby certify that to the best of my knowledge and belief this is a true and accurate survey of the property shown hereon; that this is a Class "C" Land Survey as defined in Title 62, Chapter 18, Tennessee Code Annotated, and that the ratio of precision is greater than or equal to 1: 10,000.

Date _____ TRACY SEIBER, RLS #2397





LEGEND

	RAILROAD
	RIGHT OF WAY
	PROPERTY LINE
	PROPERTY SETBACK
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED CONCRETE
	PROPOSED AGGREGATE BASE
	EXISTING CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED SANITARY SEWER
	PROPOSED WATER LINE
	PROPOSED ELECTRIC UNDERGROUND

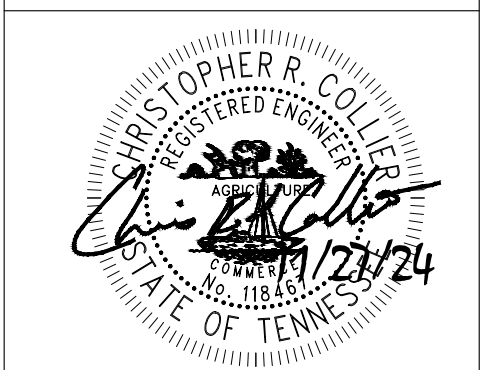
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PH: (931) 797-5079

REVISIONS

No.	Date	By	Description

TRUCKING FACILITY
FOR
ROBINETTE TRUCKING
MT. PLEASANT, TN



DATE: 11/27/24
DRAWN BY: CRC
SITE LAYOUT
SHEET NO. C2.0

MOCA LTD. (WILLOW BEND)
TAX MAP 127, PARCEL 14.17
DEED BOOK 795, PAGE 111
ZONED CH

FULTONBISH SETT II, LLC
TAX MAP 127M, GROUP A, PARCEL 2.00
DEED BOOK R2790, PAGE 917
PLAT BOOK P5, PAGE 24
ZONED CH

GBC PROPERTIES
TAX MAP 127M, GROUP A, PARCEL 3.00
DEED BOOK R2742, PAGE 224
PLAT BOOK P10, PAGE 261
ZONED CH

MICHAEL WAYNE WARREN
TAX MAP 127M, GROUP A, PARCEL 5.00
DEED BOOK 705, PAGE 24
PLAT BOOK P5, PAGE 24
ZONED CH

MICHAEL WAYNE WARREN
TAX MAP 127M, GROUP A, PARCEL 6.00
DEED BOOK 705, PAGE 24
PLAT BOOK P5, PAGE 24
ZONED CH

MICHAEL WAYNE WARREN
TAX MAP 127M, GROUP A, PARCEL 7.00
DEED BOOK 705, PAGE 24
PLAT BOOK P5, PAGE 24
ZONED CH

GREWS PROPERTY
TAX MAP 127M, GROUP A, PARCEL 8.00
DEED BOOK R2284, PAGE 970
PLAT BOOK P5, PAGE 24
ZONED CH

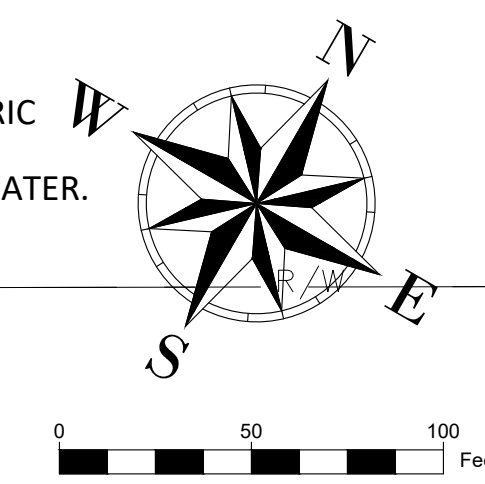
PAUL CREWS
TAX MAP 127M, GROUP A, PARCEL 9.00
DEED BOOK R1851, PAGE 894
PLAT BOOK P5, PAGE 24
ZONED CH

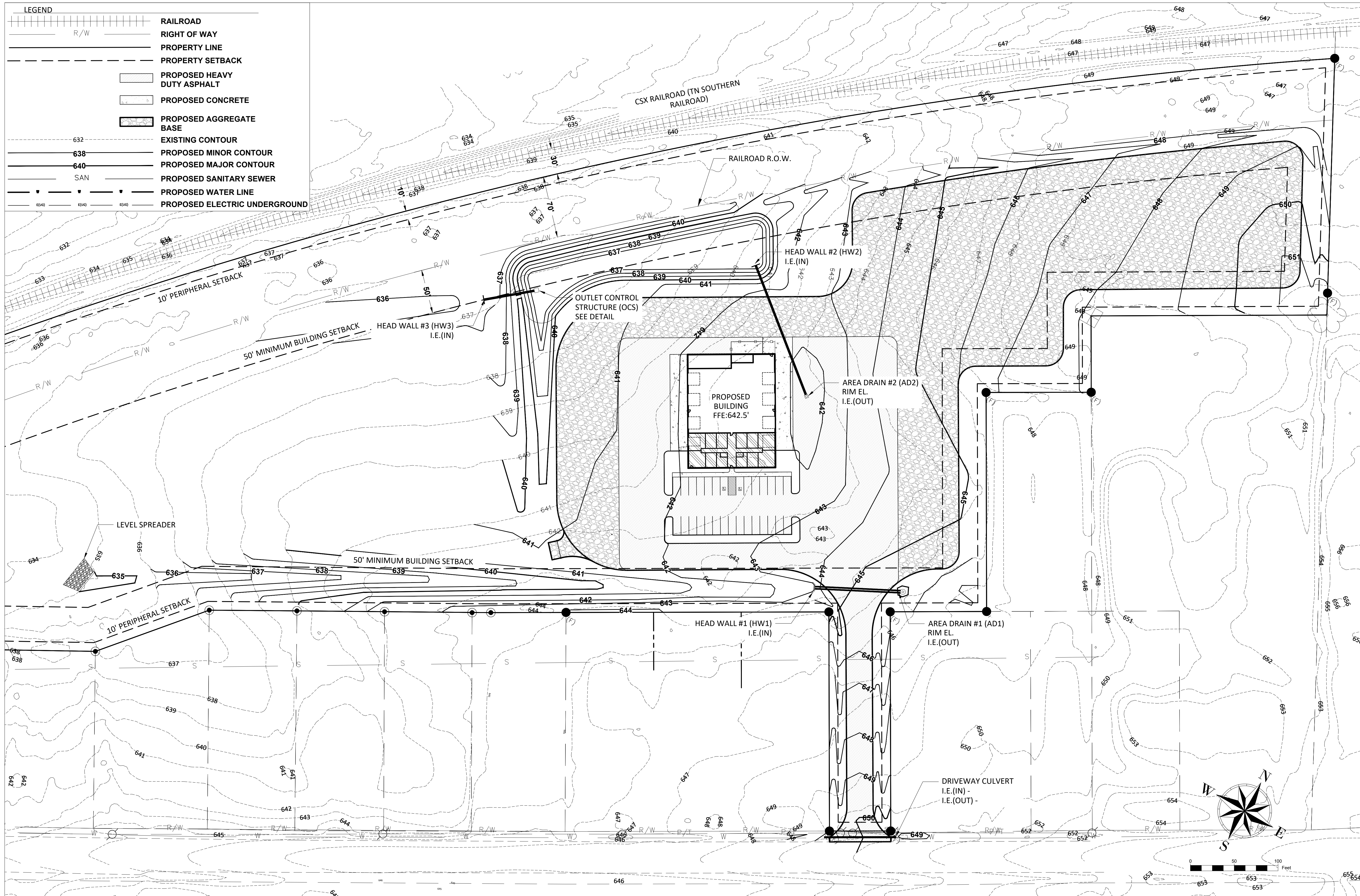
MCGEE FAMILY PARTNERSHIP PROPERTIES
TAX MAP 127M, GROUP A, PARCEL 10.00
DEED BOOK R2993, PAGE 173
PLAT BOOK P5, PAGE 24
ZONED CH

BUCHIGNANI & HOLLOWAY
TAX MAP 127M, GROUP A, PARCEL 11.00
DEED BOOK R2308, PAGE 1497
PLAT BOOK P5, PAGE 24
ZONED CH

BUCHIGNANI & HOLLOWAY
TAX MAP 127M, GROUP A, PARCEL 12.00
DEED BOOK R2308, PAGE 1497
PLAT BOOK P5, PAGE 24
ZONED CH

MCCAIN REVOCABLE TRUST
TAX MAP 127, PARCEL 10.00
DEED BOOK R2996, PAGE 74
ZONED CH



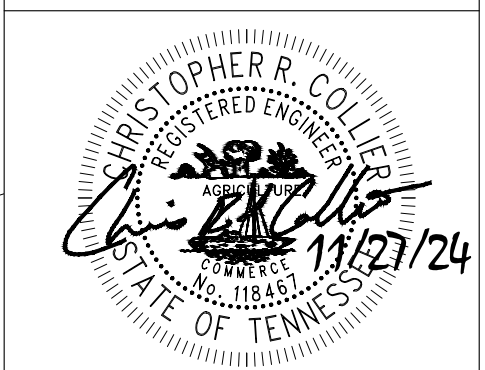


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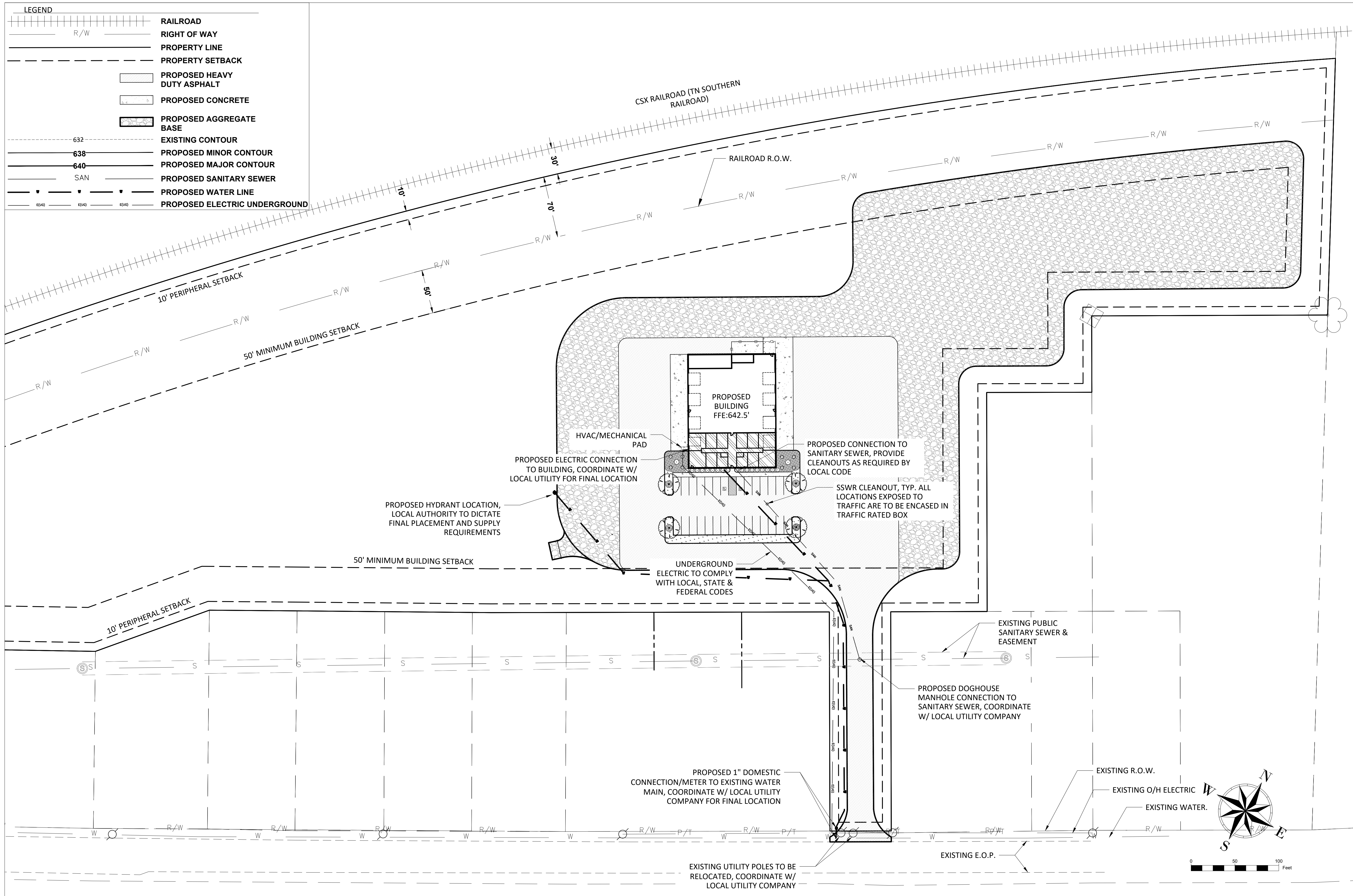
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PH: (931) 797-5079

REVISIONS	
No.	Description

TRUCKING FACILITY
FOR
ROBINETTE TRUCKING
MT. PLEASANT, TN



DATE: 11/27/24
DRAWN BY: CRC
GRADING & DRAINAGE
SHEET NO. C3.0



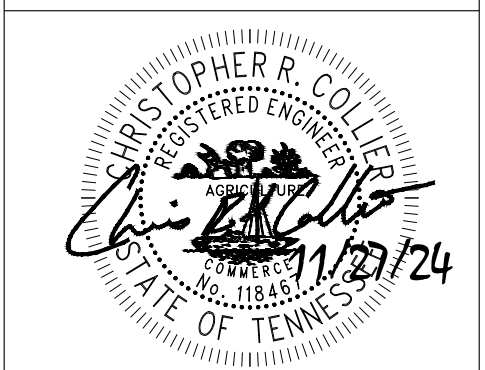
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PH: (931) 797-5079

REVISIONS	
No.	Description

**TRUCKING FACILITY
FOR
ROBINETTE TRUCKING**

MT. PLEASANT, TN

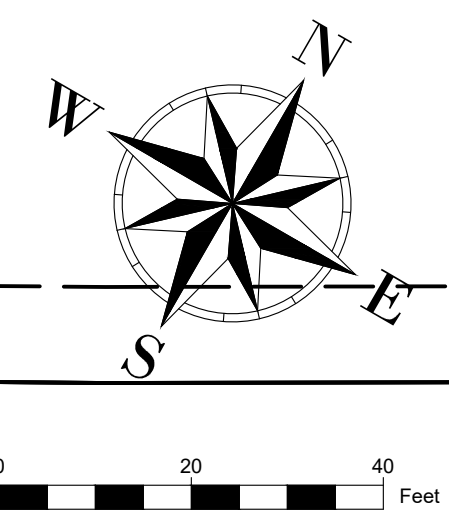
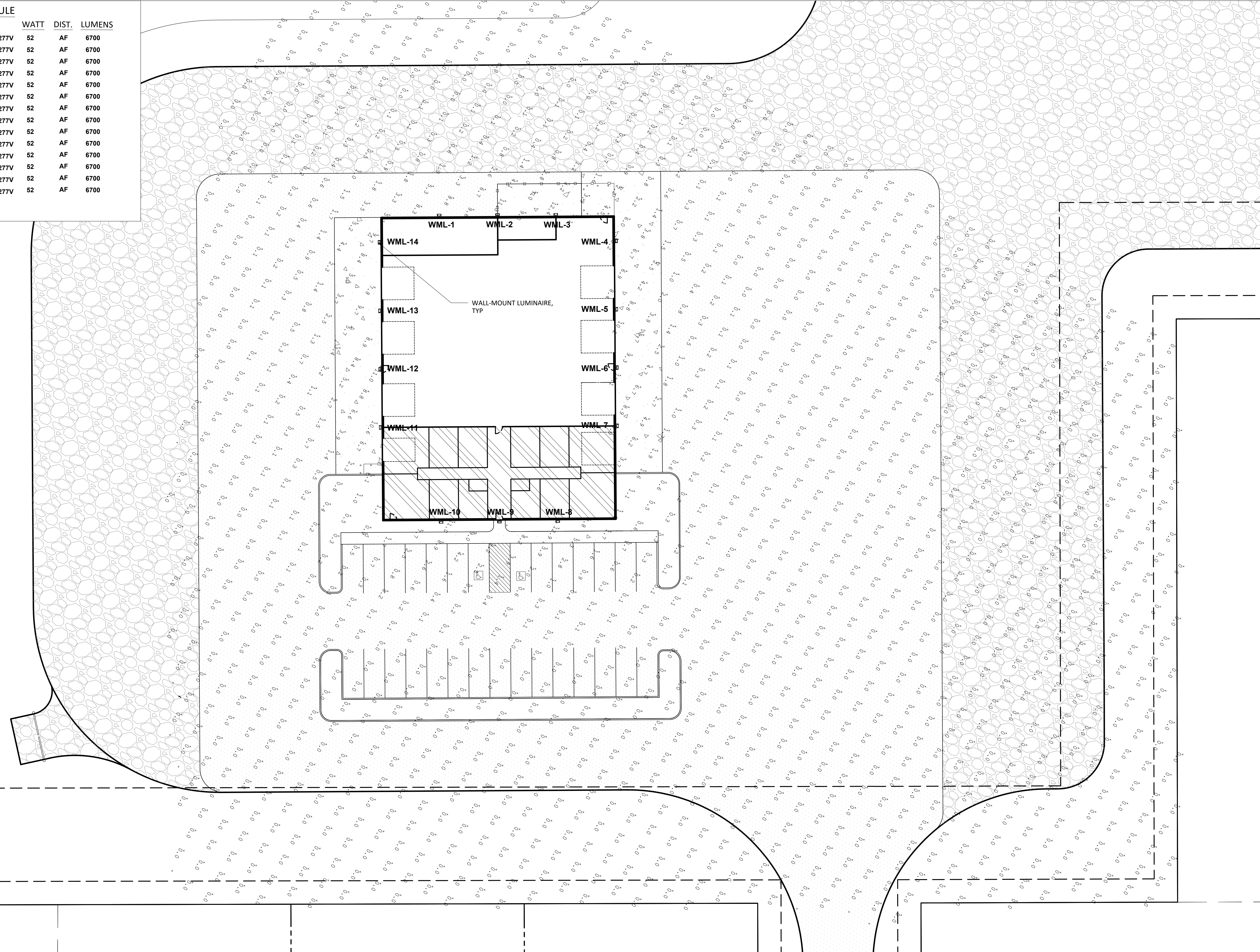


DATE: 11/27/24
DRAWN BY: CRC
UTILITY LAYOUT
SHEET NO. **C4.0**

LIGHTING SCHEDULE

LABEL	MOUNT	HT. (FT)	PRODUCT	WATT	DIST.	LUMENS
WML-1	WALL	13.5	EWLS02 70AF730 120-277V	52	AF	6700
WML-2	WALL	13.5	EWLS02 70AF730 120-277V	52	AF	6700
WML-3	WALL	13.5	EWLS02 70AF730 120-277V	52	AF	6700
WML-4	WALL	15	EWLS02 70AF730 120-277V	52	AF	6700
WML-5	WALL	15	EWLS02 70AF730 120-277V	52	AF	6700
WML-6	WALL	15	EWLS02 70AF730 120-277V	52	AF	6700
WML-7	WALL	15	EWLS02 70AF730 120-277V	52	AF	6700
WML-8	WALL	13.5	EWLS02 70AF730 120-277V	52	AF	6700
WML-9	WALL	13.5	EWLS02 70AF730 120-277V	52	AF	6700
WML-10	WALL	13.5	EWLS02 70AF730 120-277V	52	AF	6700
WML-11	WALL	15	EWLS02 70AF730 120-277V	52	AF </td <td>6700</td>	6700
WML-12	WALL	15	EWLS02 70AF730 120-277V	52	AF	6700
WML-13	WALL	15	EWLS02 70AF730 120-277V	52	AF	6700
WML-14	WALL	15	EWLS02 70AF730 120-277V	52	AF	6700

NOTE: ALL LAMPS ARE LED - 3000K
IES FILE : EWLS02_70AF730_120-277V.IES



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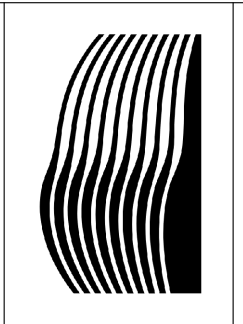
REVISIONS	
No.	Description

TRUCKING FACILITY
FOR
ROBINETTE TRUCKING
MT. PLEASANT, TN

DATE: 11/27/24
DRAWN BY: CRC

SITE LIGHTING PLAN

SHEET NO. **C5.0**

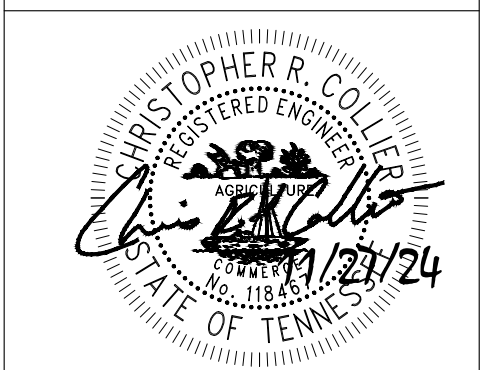


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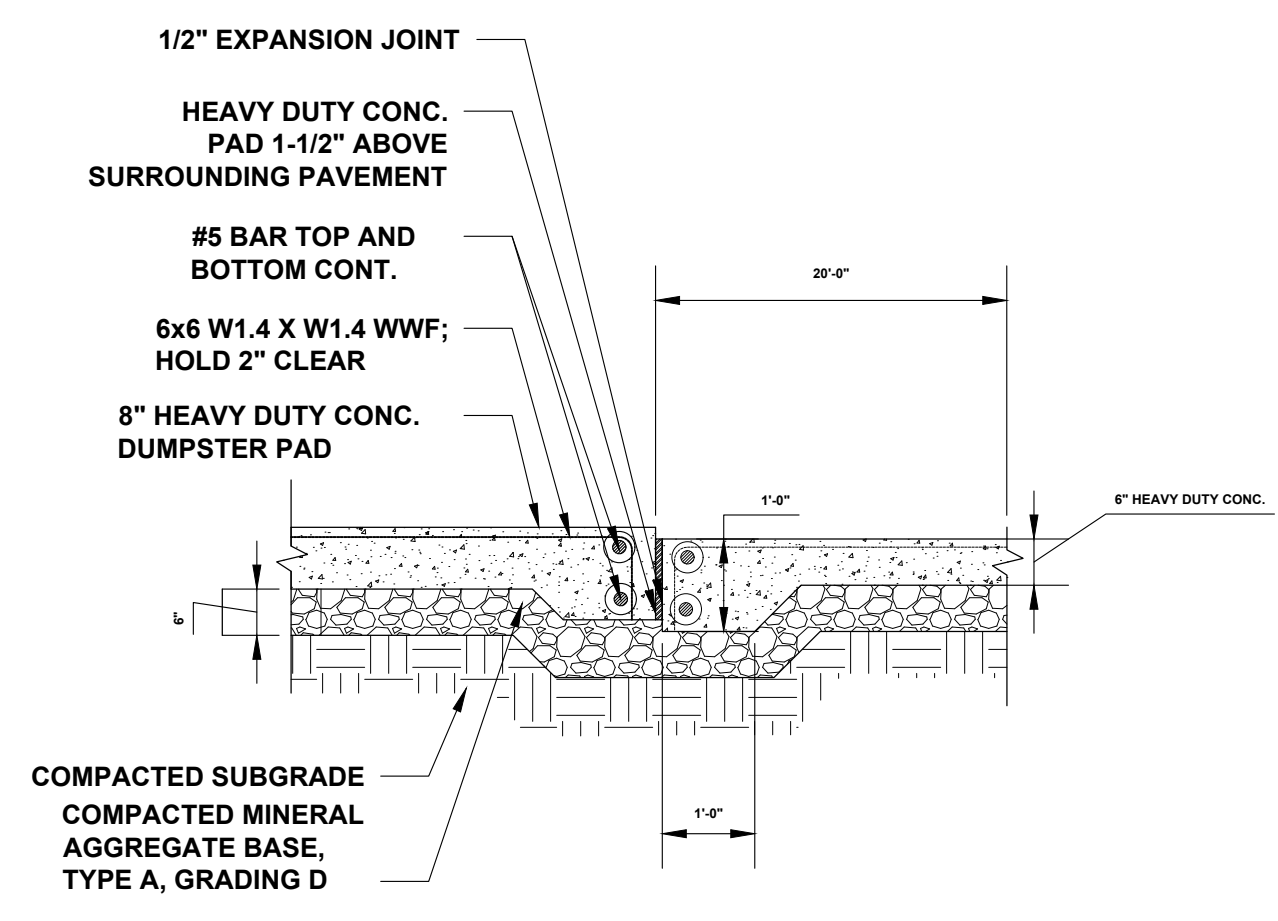
REVISIONS		Description	
No.	Date	By	

TRUCKING FACILITY FOR ROBINETTE TRUCKING
MT. PLEASANT, TN

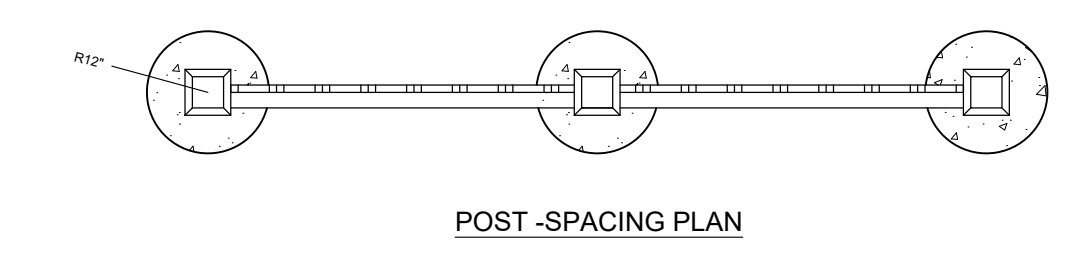


DATE: 11/27/24
DRAWN BY: CRC

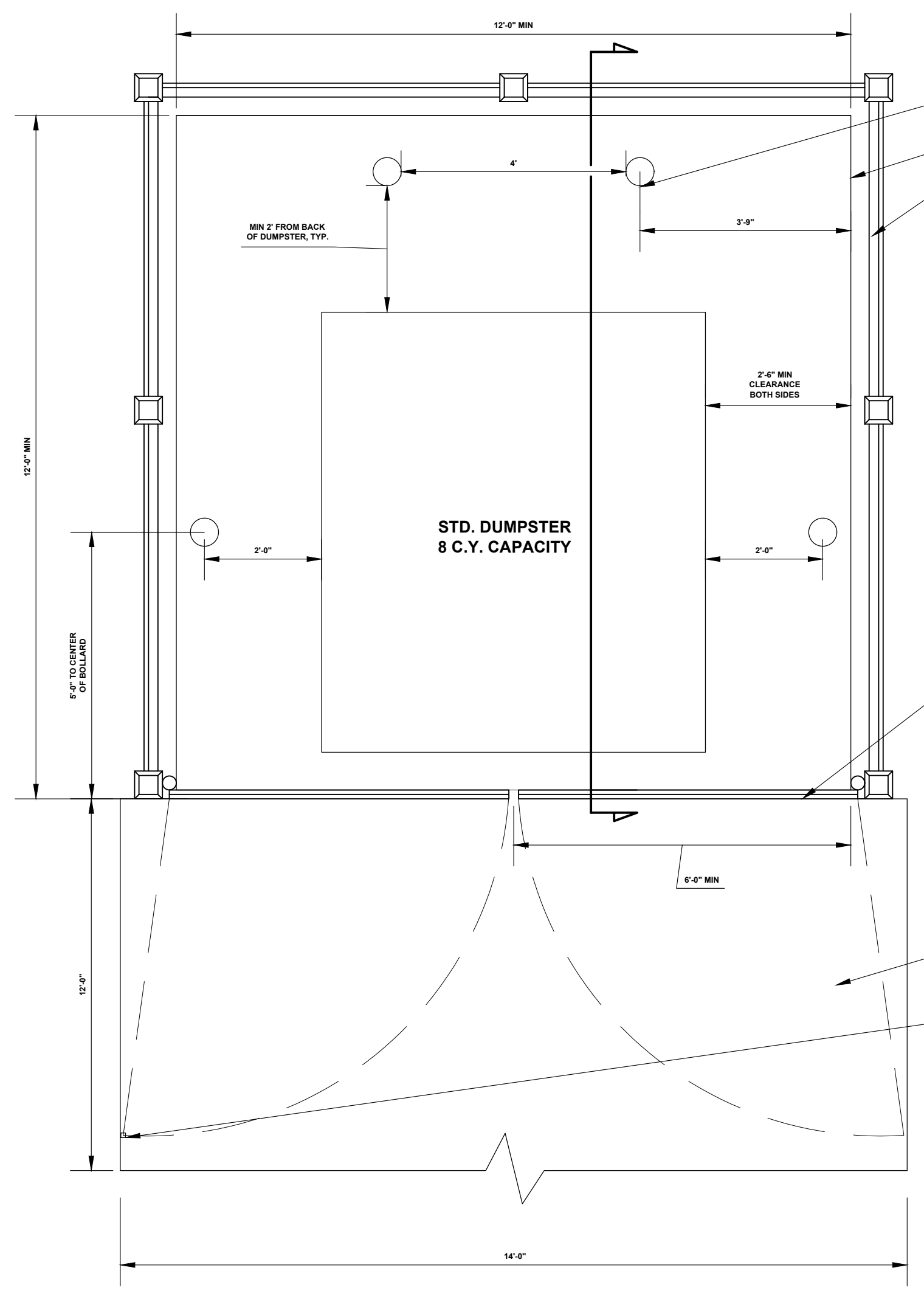
DETAILS
SHEET NO. **C6.0**



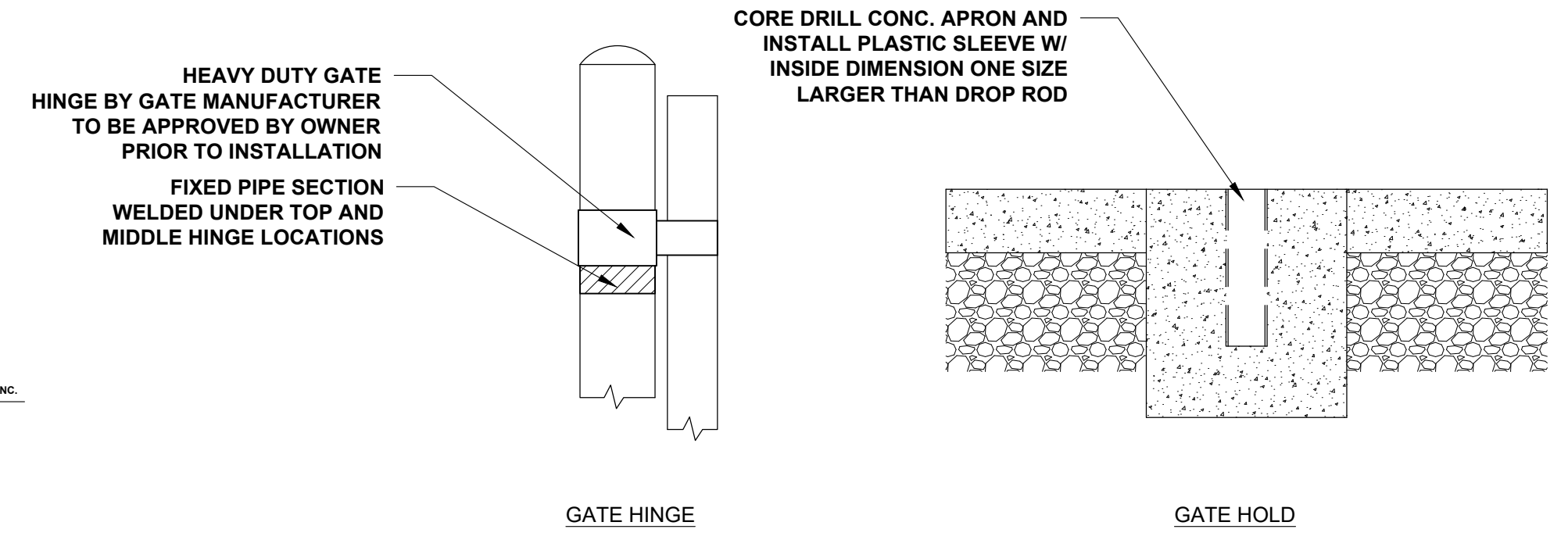
DUMPERSTER PAD APPROACH



POST SPACING PLAN

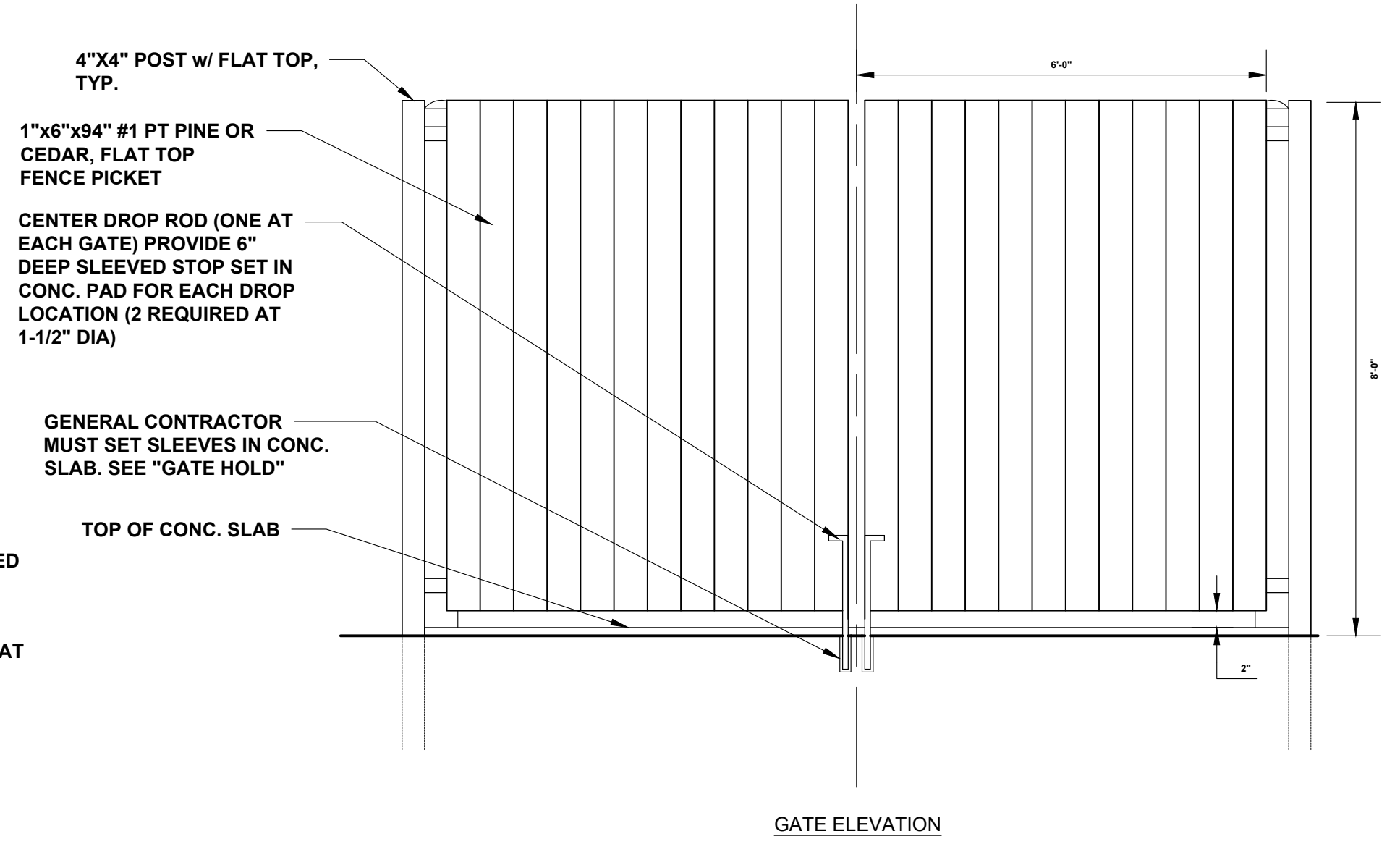


PLAN VIEW

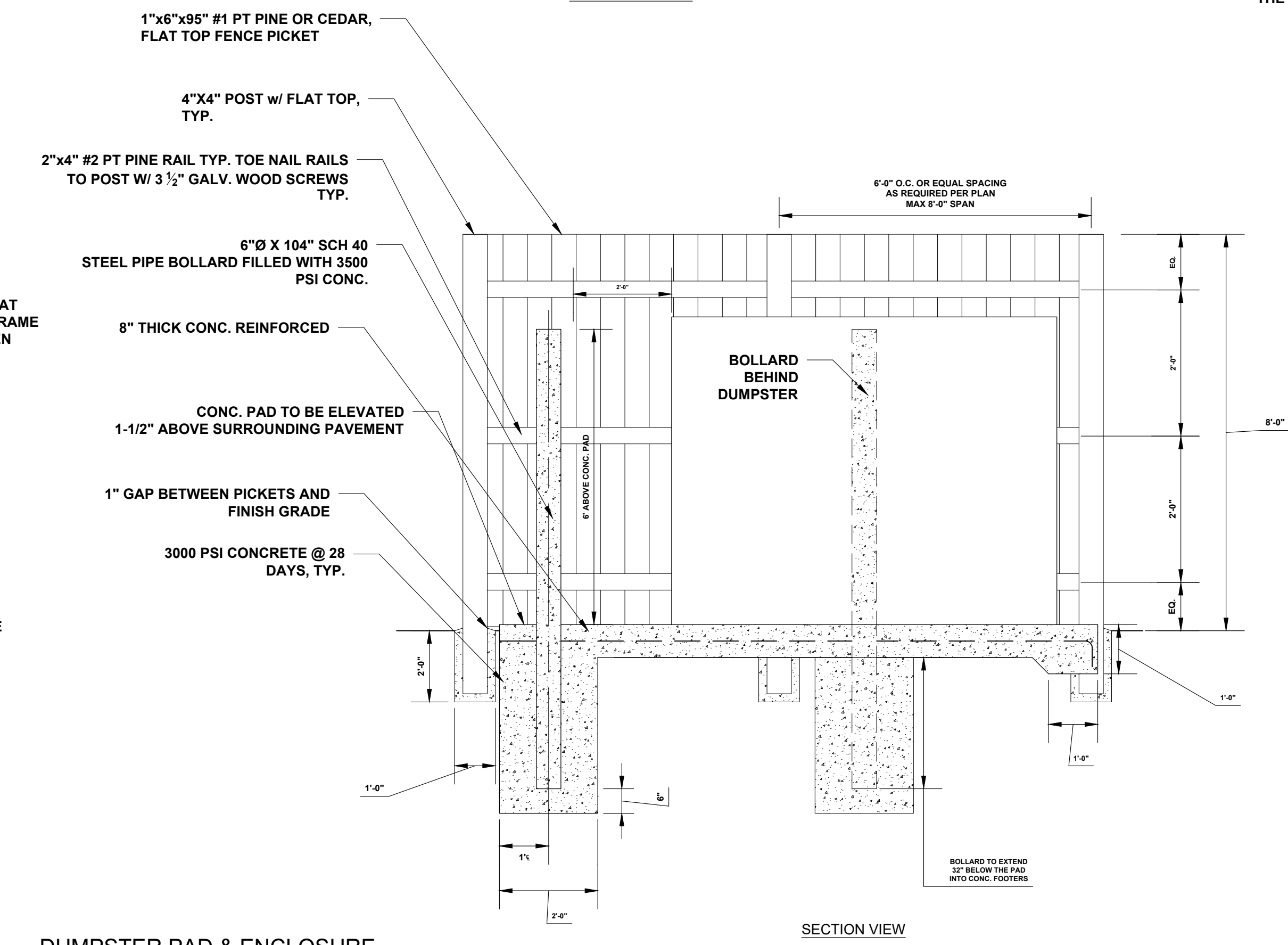


GATE HINGE

GATE HOLD

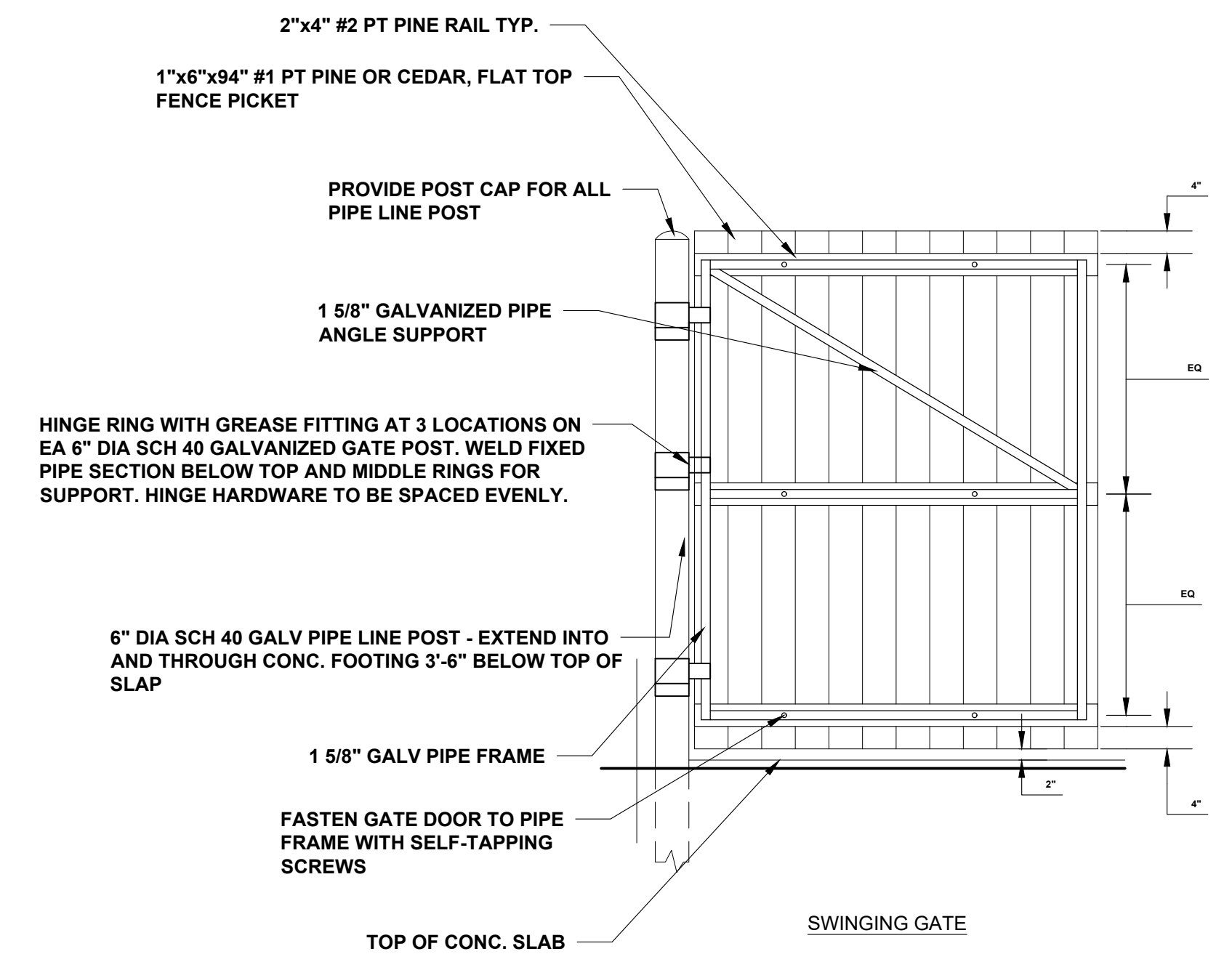


GATE ELEVATION



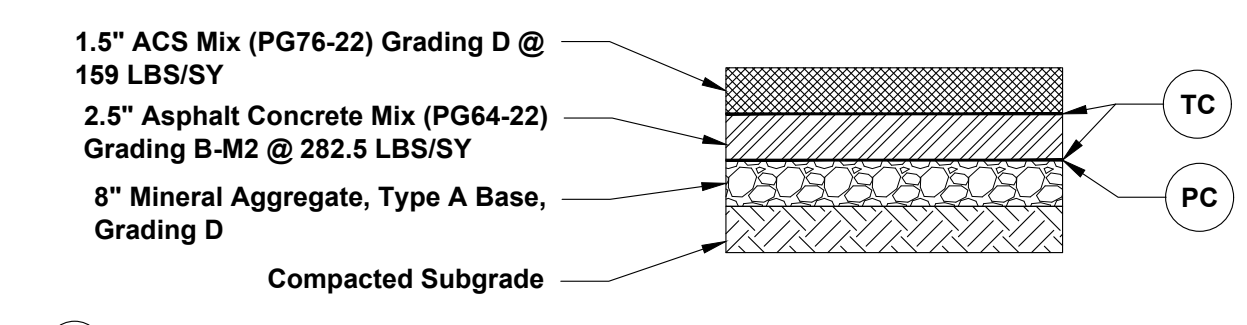
SECTION VIEW

DUMPERSTER PAD & ENCLOSURE

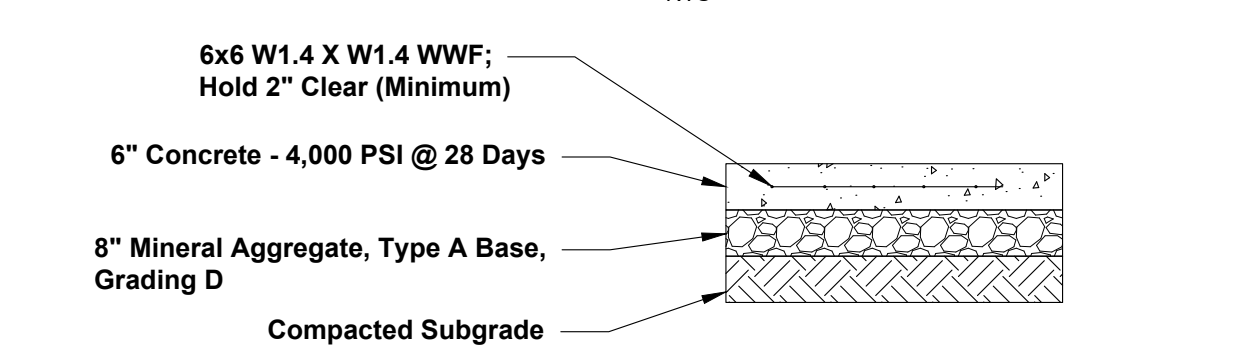


SWINGING GATE

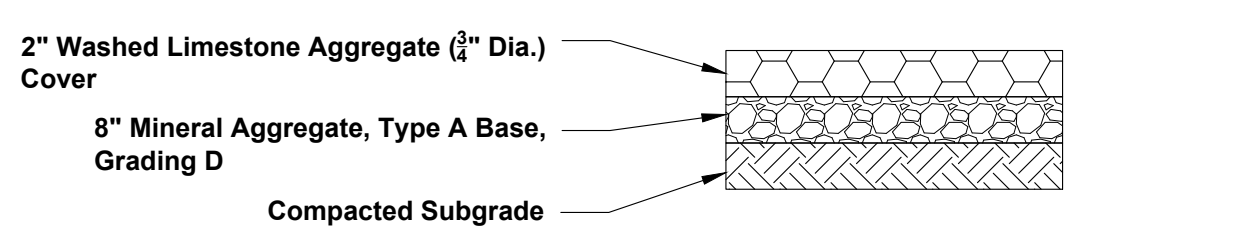
- NOTES:
1. THE CONC. DUMPERSTER PAD SHALL BE AT LEAST 12' X 12'.
 2. THE PAD(S) SHALL BE 8" THICK CONC., REINFORCED WITH REBAR.
 3. CLEARANCE AT EACH SIDE OF EACH DUMPERSTER MUST BE AT LEAST 2'-6".
 4. IF A GATED ENCLOSURE IS UTILIZED THE GATES MUST BE LOCKABLE IN THE OPEN POSITION TO PREVENT THE TRUCKS FROM SWINGING INTO THE PATH OF THE TRUCK DURING SERVICE.
 5. TWO 6" DIAMETER CONC. FILLED STEEL BOLLARDS MUST BE PLACED IN THE CONC. PAD TO THE REAR OF EACH DUMPERSTER, 2' FROM THE BACK EDGE OF THE DUMPERSTER PAD, SPACED 4' APART AND CENTERED SIDE TO SIDE. THE BOLLARDS WILL RISE 6" ABOVE THE PAD AND EXTEND 32" BELOW THE PAD INTO CONC. FOOTERS.
 6. ACCESS AREA, APPROACH, AND PAD MUST BE LEVEL.
 7. STANDARD PADS WITH NO DRAIN SHOULD BE ELEVATED 1-1/2" ABOVE THE SURROUNDING PAVEMENT.



HEAVY DUTY ASPHALT SECTION



CONCRETE SECTION



AGGREGATE SECTION

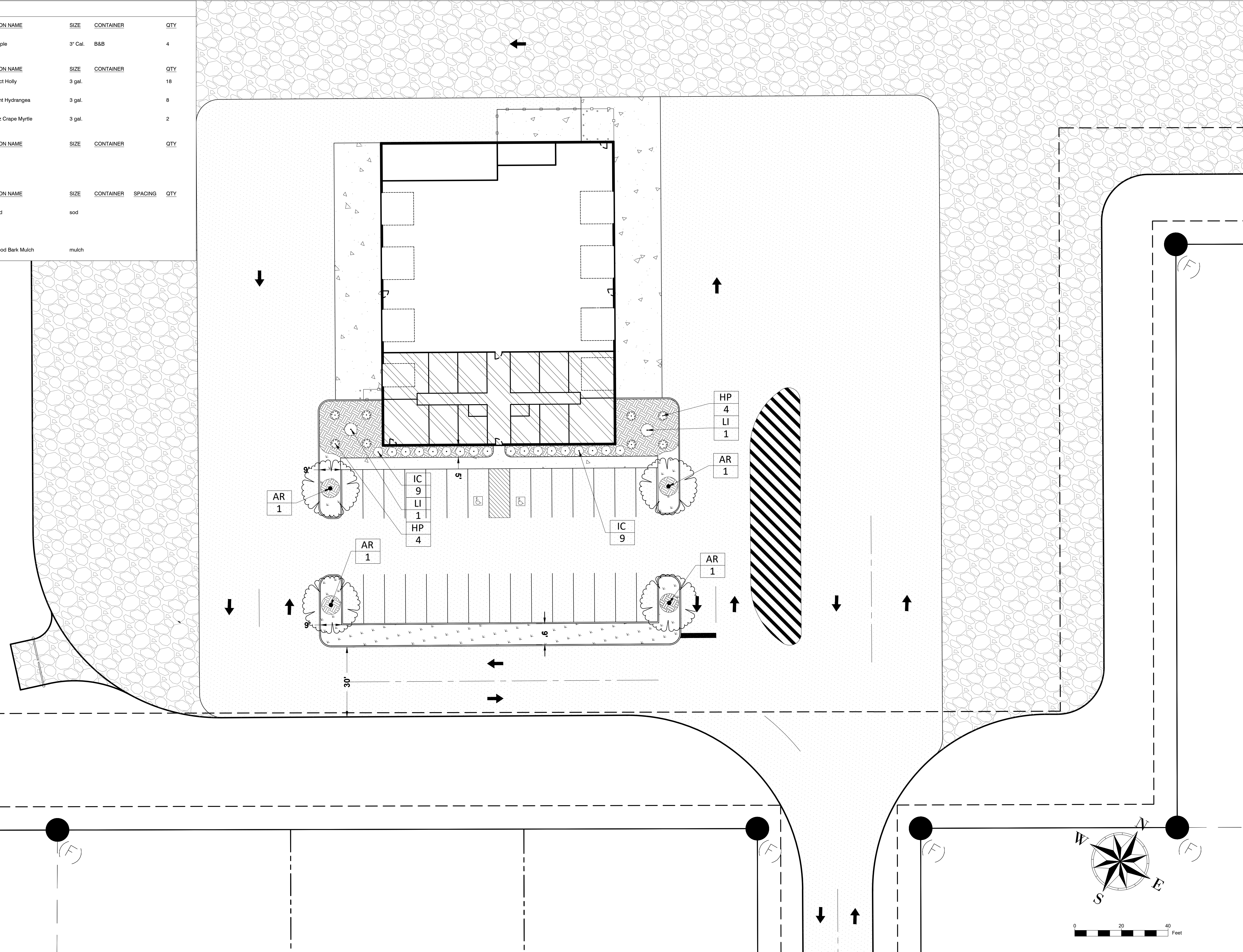
PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	AR	Acer rubrum	Red Maple	3" Cal.	B&B	4

SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	IC	Ilex crenata 'Compacta'	Compact Holly	3 gal.		18
	HP	Hydrangea Paniculata 'Limelight'	Limelight Hydrangea	3 gal.		8
	LI	Lagerstroemia Indica 'Natchez'	Natchez Crape Myrtle	3 gal.		2

GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY

GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY
	TS	Turf Sod	Turf Sod	sod			
	HBM	Hardwood Bark Mulch	Hardwood Bark Mulch	mulch			



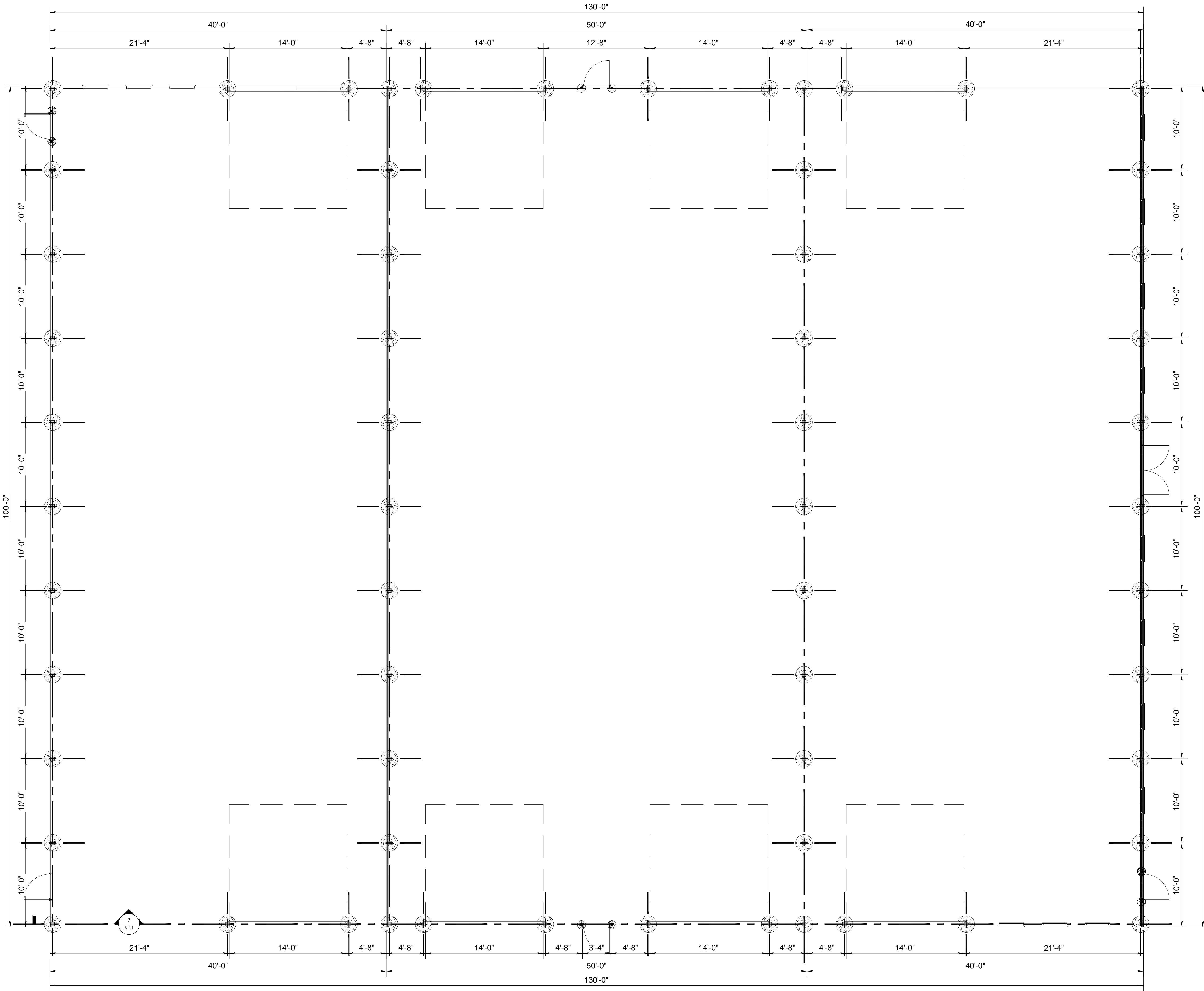
CRC CONSULTING
ENGINEERING & DEVELOPMENT

TRUCKING FACILITY FOR ROBINETTE TRUCKING
MT. PLEASANT, TN

DATE: 11/27/24
DRAWN BY: CRC
LANDSCAPE PLAN
SHEET NO. L1.0

REVISIONS	No.	Date	By	Description

WWW.CONSULTINGCRC.COM
PH: (931) 797-5079



1 FLOOR PLAN
SCALE: 3/16" = 1'-0"

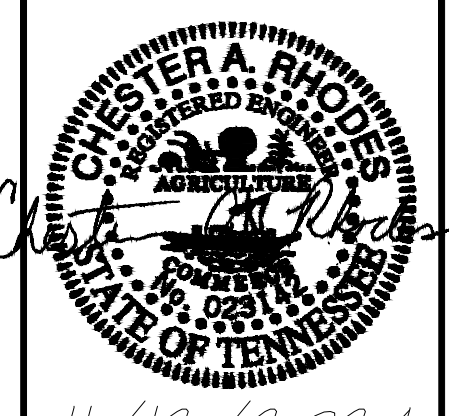


FLOOR PLAN

SCALE: 3/16" = 1'-0"

- Construction bracing by contractor and shall meet truss manufacturer's recommendations and/or requirements.
 - Design is based on completed building with all structural elements in place.
 - Fabrication and welding per AISC and AWS.
 - Steel to be ASTM A36 minimum.
 - Concrete to be 3000 PSI minimum compressive strength.
 - Assumed soil bearing = 2000 PSF minimum.
 - Soil Friction Resistance to vertical load of 300 PSF is applied.
 - Contractor to verify dimensions before construction and/or ordering material.
 - Pressure treatment of wood to be in accordance with the requirements of AWPA standard C1 for the intended use category.
 - Fasteners installed with treated wood must be manufacturer recommended for use with the associated wood treatment.
 - Where Southern Yellow Pine (SYP) lumber is specified on this drawing, SPF, Doug Fir, or Hem-Fir are acceptable to use if the allowable design stress values meet or exceed that of SYP for the following:
 - Bending (F_b)
 - Tension (F_t) parallel to the grain
 - Compression (F_c) parallel to the grain
- DESIGN CRITERIA - IBC 2018**
- Design loads per ASCE 7-10 & 7-16
 - Structural concrete - ACI 318
 - Code requirement for steel - AISC 360
 - Roof live load = 20 PSF
Dead load = 6 PSF
 - Design wind speed = 150 MPH (3 sec. gust)
 - Building category II
 - Wind exposure category B
 - Importance Factor = 1.0
 - Ground snow load = 15 PSF
- MATERIAL SPECS.**
- Truss - See Spec Sheet
Concrete - 3000 PSI Minimum
Rebar - Grade 60 Minimum
Structural Steel - ASTM A36 Minimum
Wood - Purlins #2 SYP Minimum
Bracing #2 SYP Minimum
Posts #2 SYP Minimum
Other #2 SYP Minimum (Unless noted)
- DRAINAGE NOTE**
- Final grades must be sloped away from the building on all four sides.
 - There is to be no standing water within 15' of the building on all four sides.
 - There is to be one area of positive drainage away from the building provided with the final grade.
- CONSTRUCTION NOTE:**
- 2x6 SYP Wall Girt @ 24" o.c.
 - 6" Concrete Monolithic Slab with 16"x12" Turned Down Footer, and fiber reinforced concrete over 10 mil vapor barrier laid out on 4" free draining granulated gravel.
 - 12" x #4 rebar doweled into the 6x6 post to key into the 4" Concrete slab, typical for each post. Pressure Treated 2x6 skirt continuous
 - Pour concrete around post (24" dia. on 6x6 posts). Concrete to be poured against undisturbed or firmly compacted earth. (Bagged Sakrete, or equivalent may be used. Must be mixed and placed wet.) Typical of all earth-embedded posts regardless of size.
 - 1/2" Galvanized lag screws x 5" long with 2" projected into concrete (2 faces of post), typical.
 - Compacted soil
 - 6x6 SYP PT Post with a 24"Ø (Min.) x 3'-0" (Min.) Concrete Footer, typical of all perimeter 6x6 Posts
 - 29 Ga. Metal Roof / Wall Panel unless noted otherwise.
 - Layout Posts 1 1/2" from the edge of the turned down Concrete slab typical on each perimeter post.
 - Slope grade away from building.
 - (2) #4 x continuous rebar embedded 4" from bottom of footer @ 8" o.c.
 - N.A.
 - N.A.
 - 50' Steel Truss with 4:12 pitch @ 10'-0" o.c
 - (8) 14'x14' Un-insulated Garage Door
 - 2x4 SYP PT Purlin @ 2'-0"± o.c.
 - 40' Steel Truss with 1:12 pitch @ 10'-0" o.c.
 - Ridge Cap
 - N.A.
 - Simpson-StrongTie Truss Anchor Model H2.5A
 - (2) 2x12 SYP PT Truss Supports
 - N.A.
 - N.A.
 - (8) 14'x14' Un-insulated Garage Door

Section 7, Item B.
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Ph # 931-379-3749
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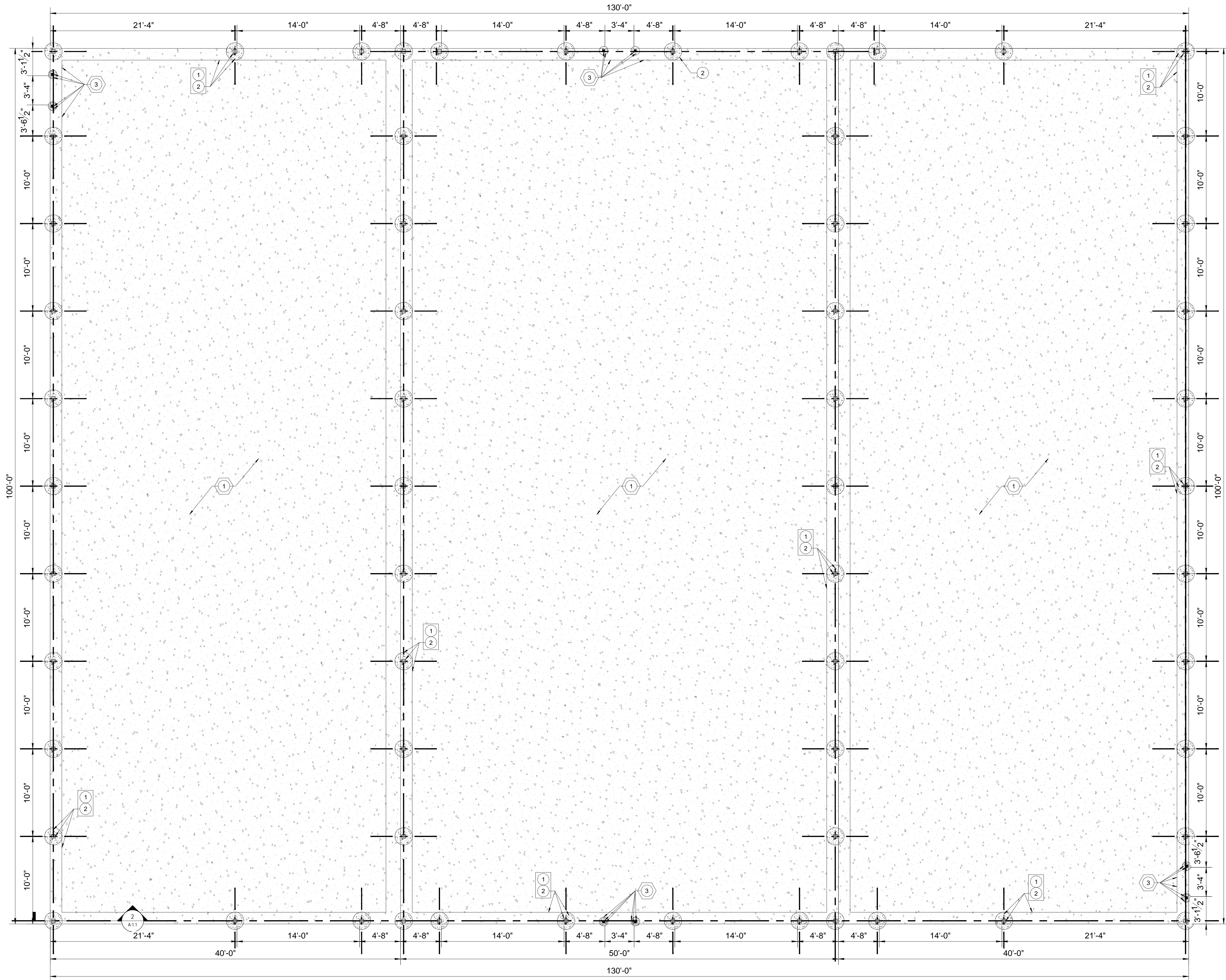
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JUSTIN ROBINETTE
POLE BARN
301 CANAAN ROAD, MT PLEASANT, TN 38474

Job No. **A-1.0**



NOTES:

1. 6" Concrete Monolithic Slab with 16"x12" Turned Down Footer, and fiber reinforced concrete over 10 mil vapor barrier laid out on 4" free draining granulated gravel.
2. Pour concrete around post (24" dia. on 6x6 posts). Concrete to be poured against undisturbed or firmly compacted earth. (Bagged Sakrete, or equivalent may be used. Must be mixed and placed wet.) Typical of all earth-embedded posts regardless of size.
3. Door framing to be anchored on (2) 4x4 SYP PT post columns with 12" dia. x 3'-0" concrete anchors with (2) 1/2"x6" rebar embedded at minimum 2" in two opposite faces of the post.
4. 2x6 SYP PT Wall Gurt @ 24" o.c.
5. Pressure Treated 2x6 pest skirt continuous
6. 1/2" Galvanized lag screws x 5" long with 2" projected into concrete (2 faces of post), typical.
7. Slope grade away from building.
8. 12" x #4 rebar doweled into the 6x6 post to key into the 4" Concrete slab, typical for each post.
9. (2) #4 x continuous rebar embedded 3" from bottom of footer @ 8" o.c.

Section 7, Item B.

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11/12/2024

ENGINEER:

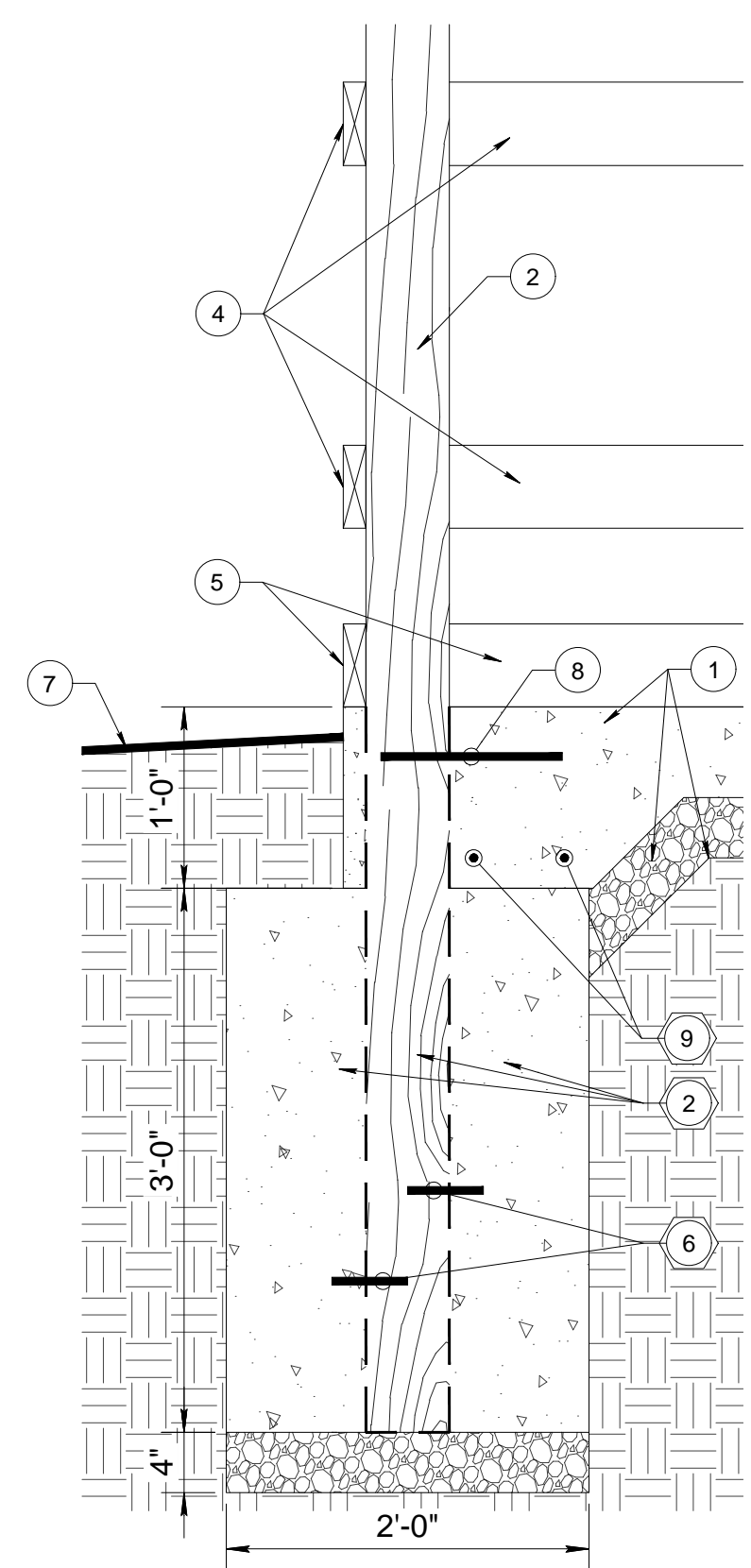
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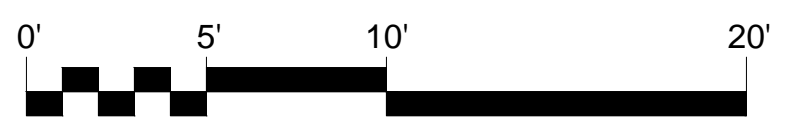
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2 TYP. FOUNDATION SECTION DETAIL
SCALE: 1" = 1'-0"

1 FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

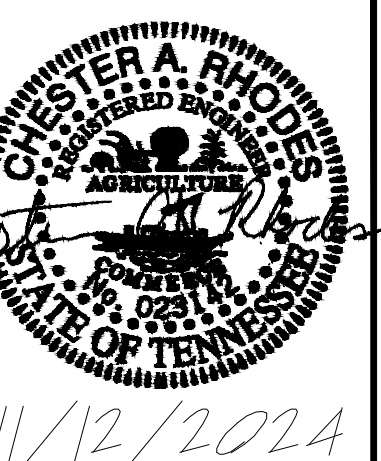


JUSTIN ROBINETTE
POLE BARN
301 CANAAN ROAD, MT PLEASANT, TN 38474

Foundation Plan

A-1.1

SCALE AS NOTED
CADFILE: ---
JOB No. 10-11-2023



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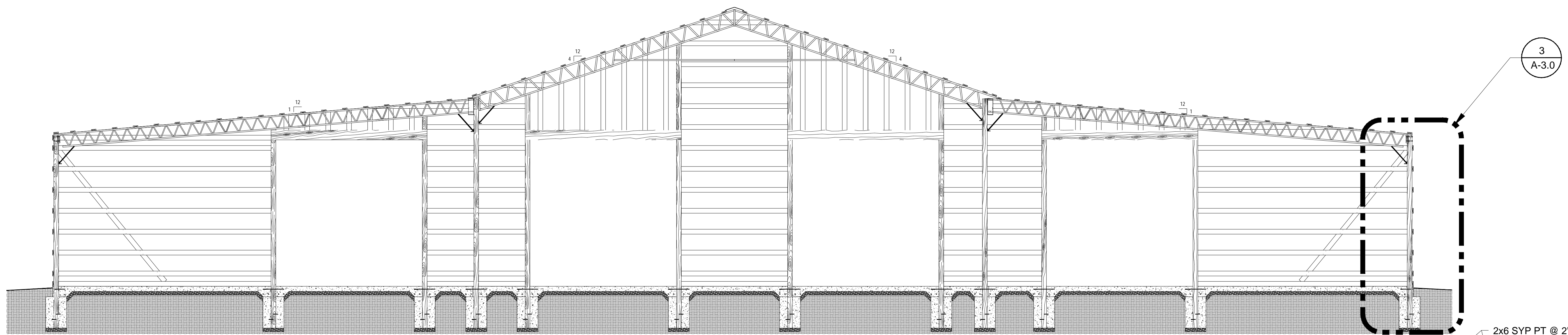
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FRAMING INTERIOR ELEVATIONS

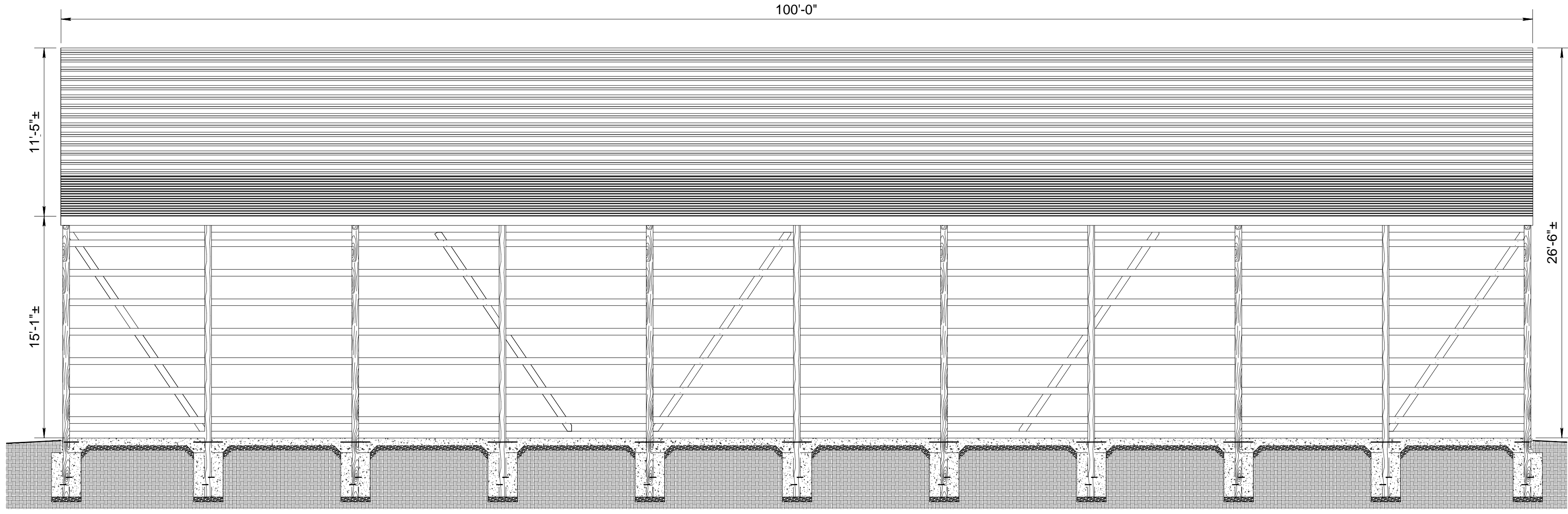
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DWG. NO.	SCALE	CADFILE	JOB NO.
A-3.0	NOTED		

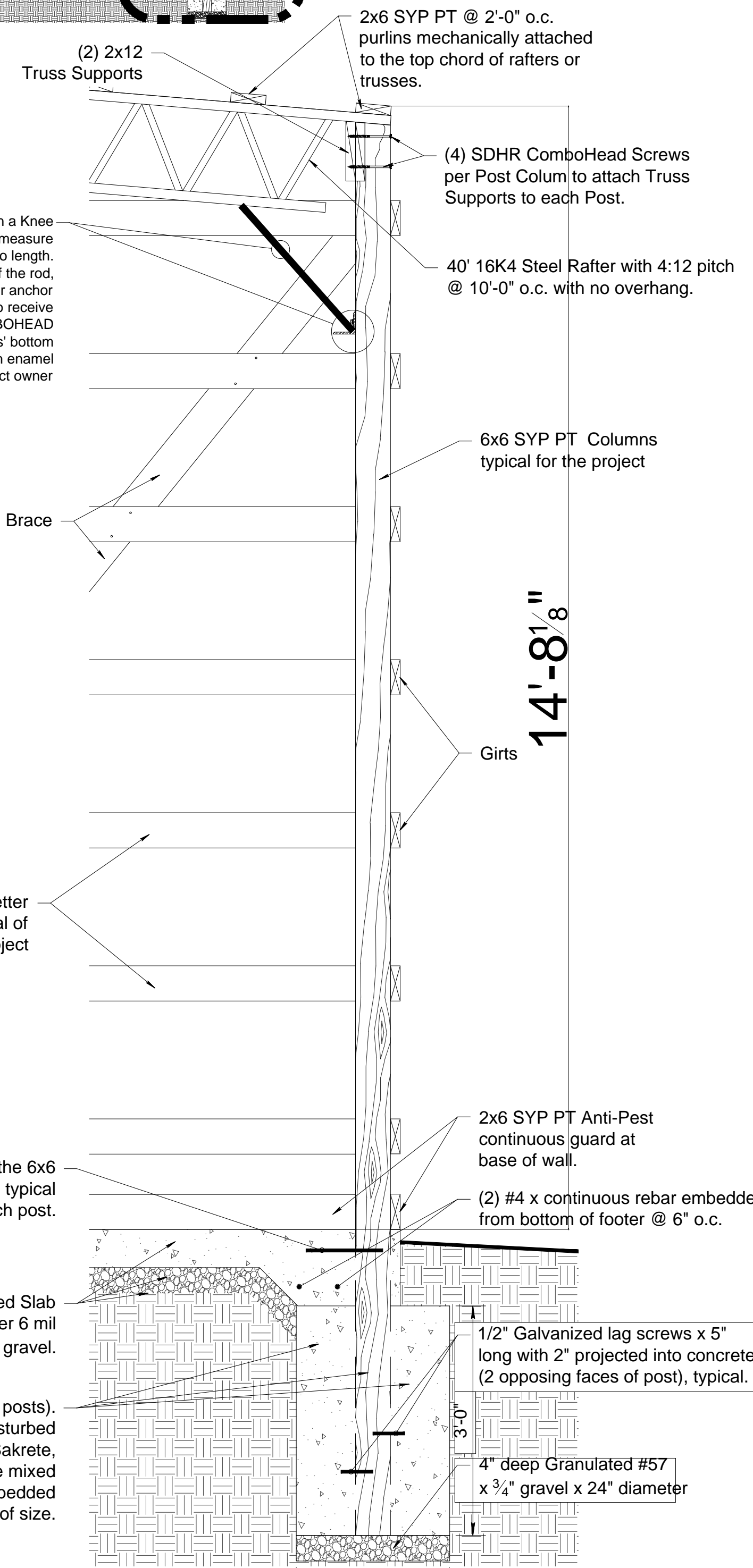
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2 FRONT & REAR ELEVATIONS
SCALE: 3/16" = 1'-0"



1 RIGHT & LEFT ELEVATIONS
SCALE: 3/16" = 1'-0"



3 COLUMN SECTION DETAIL
SCALE: 3/4" = 1'-0"

Contractor to install at each Truss/Post location a Knee Brace of 1"Ø solid, hardened steel rod. Field measure the applied length of the Knee Brace and cut to length. Field weld a 2"x2"x1/4" iron to the lower end of the rod, grind weld and apply primer to the rod and lower anchor bracket. Drill two (2) 1/2" holes in the bracket to receive two (2) 4" Simpson Strong-Drive SDHR COMBOHEAD Screw. First weld the Knee Brace into the Truss' bottom chord. After Knee Braces are installed finish with enamel paint, brand and color by project owner

Pour concrete around post (24" dia. on 6x6 posts). Concrete to be poured against undisturbed or firmly compacted earth. (Bagged Sakrete, or equivalent) may be used. Must be mixed and placed wet.) Typical of all earth-embedded posts regardless of size.

- 1. CONSTRUCTION BRACING BY CONTRACTOR AND SHALL MEET TRUSS MANUFACTURER'S RECOMMENDATIONS AND/OR REQUIREMENTS.
- 2. DESIGN IS BASED ON COMPLETED BUILDING WITH ALL STRUCTURAL ELEMENTS IN PLACE.
- 3. FABRICATION AND WELDING PER AISC AND AWS.
- 4. STEEL TO BE ASTM A36 MINIMUM.
- 5. CONCRETE TO BE 3000 PSI MINIMUM COMPRESSIVE STRENGTH.
- 6. ASSUMED SOIL BEARING = 2000 PSF MINIMUM.
- 7. SOIL FRICTION RESISTANCE TO VERTICAL LOAD OF 300 PSF IS APPLIED.
- 8. CONTRACTOR TO VERIFY DIMENSIONS BEFORE CONSTRUCTION AND/OR ORDERING MATERIAL.
- 9. PRESSURE TREATMENT OF WOOD TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF AWPA STANDARD C1 FOR THE INTENDED USE CATEGORY.
- 10. FASTENERS INSTALLED WITH TREATED WOOD MUST BE MANUFACTURER RECOMMENDED FOR USE WITH THE ASSOCIATED WOOD TREATMENT.
- 11. WHERE SOUTHERN YELLOW PINE (SYP) LUMBER IS SPECIFIED ON THIS DRAWING, SPF, DOUG FIR, OR HEM-FIR ARE ACCEPTABLE TO USE IF THE ALLOWABLE DESIGN STRESS VALUES MEET OR EXCEED THAT OF SYP FOR THE FOLLOWING:
 - BENDING (FB)
 - TENSION (FT) PARALLEL TO THE GRAIN
 - COMPRESSION (FC) PARALLEL TO THE GRAIN

DESIGN CRITERIA - IBC 2012, 2015, & 2018

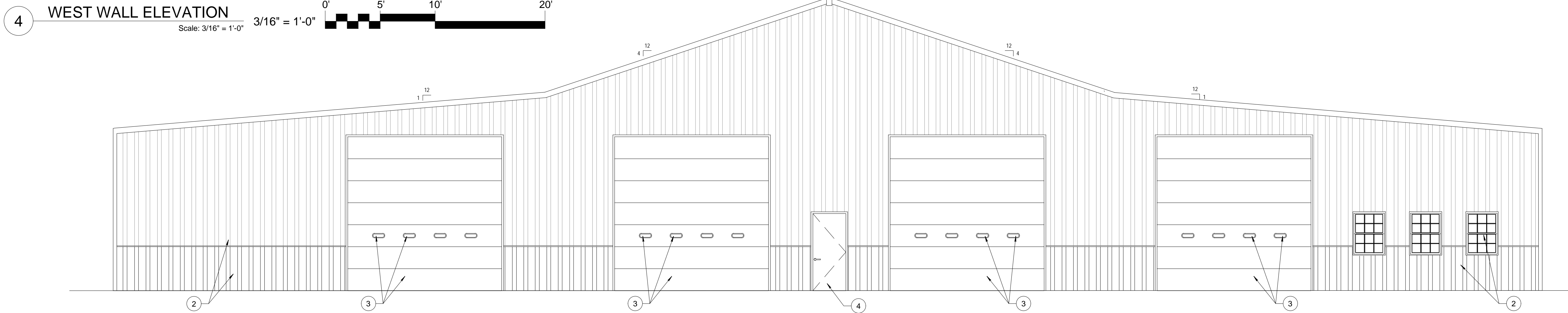
- DESIGN LOADS PER ASCE 7-10 & 7-16
- STRUCTURAL CONCRETE - ACI 318
- CODE REQUIREMENT FOR STEEL - AISC 360
- ROOF LIVE LOAD = 20 PSF
- DEAD LOAD = 6 PSF
- DESIGN WIND SPEED = 115 MPH (3 SEC. GUST)
- BUILDING CATEGORY II
- WIND EXPOSURE CATEGORY B
- IMPORTANCE FACTOR = 1.0
- GROUND SNOW LOAD = 15 PSF

MATERIAL SPECS.
TRUSS - SEE SPEC SHEET
CONCRETE - 3000 PSI MINIMUM
REBAR - GRADE 60 MINIMUM
STRUCTURAL STEEL - ASTM A36 MINIMUM
WOOD - PURLINS #2 SYP MINIMUM
BRACING #2 SYP MINIMUM
POSTS #2 SYP MINIMUM
OTHER #2 SYP MINIMUM (UNLESS NOTED)

DRAINAGE NOTE

- FINAL GRADES MUST BE SLOPED AWAY FROM THE BUILDING ON ALL FOUR SIDES.
- THERE IS TO BE NO STANDING WITHIN 15' OF THE BUILDING ON ALL FOUR SIDES.
- THERE IS TO BE ONE AREA OF POSITIVE DRAINAGE AWAY FROM THE BUILDING PROVIDED WITH THE FINAL GRADE.

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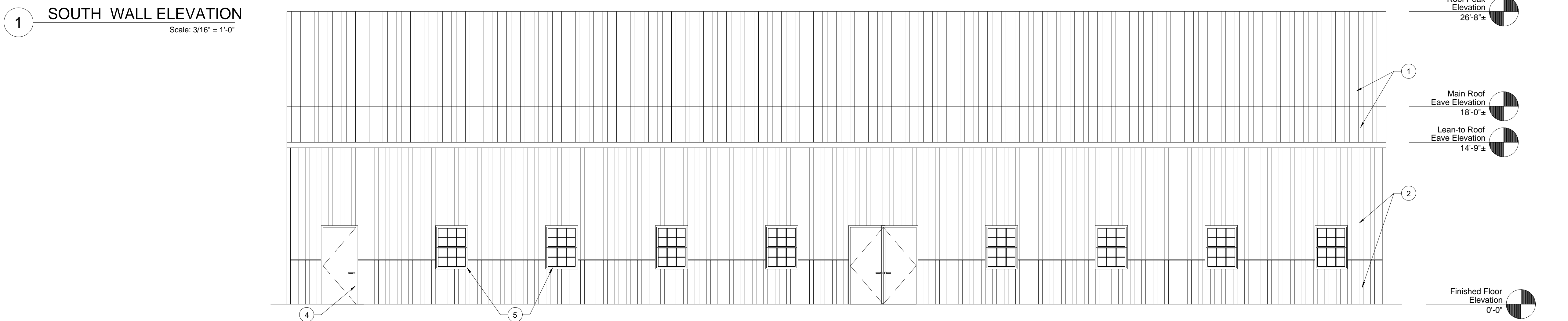
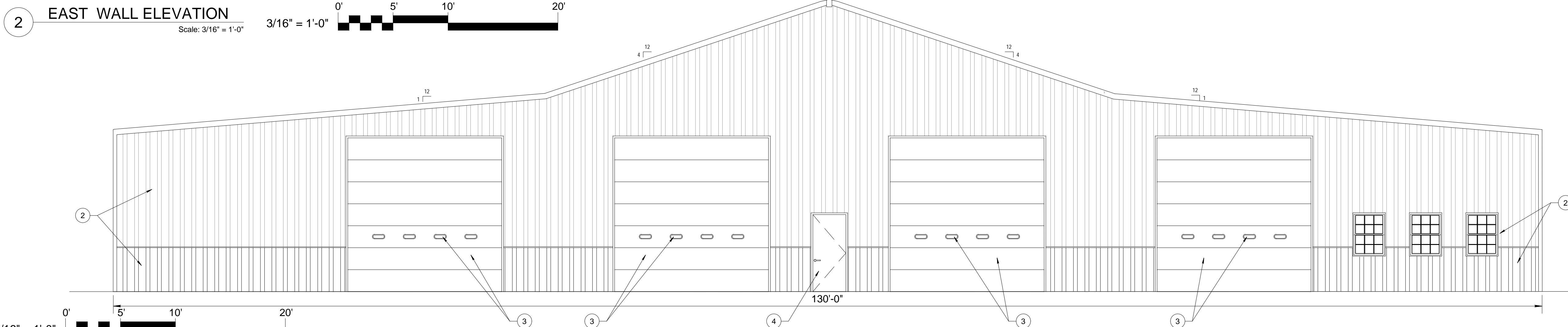
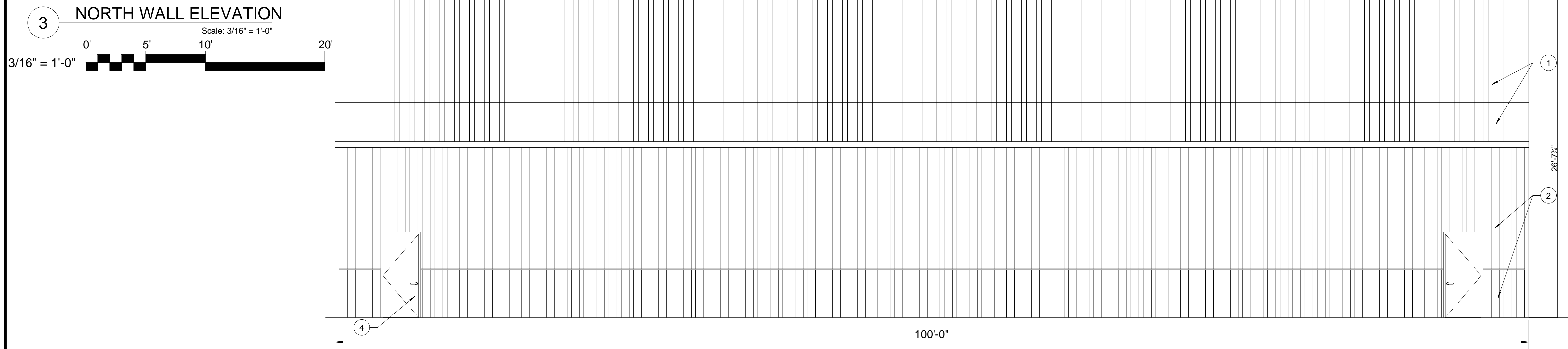
NOTES:

1. 29 GAUGE PRE-FINISHED STEEL ROOF PANEL 2' WIDE BY LENGTH, COLOR AND STYLE CHOICE BY OWNER.
2. 29 GAUGE PRE-FINISHED STEEL WALL PANEL 2' WIDE BY LENGTH, COLOR AND STYLE CHOICE BY OWNER.
3. 14'X14' GARAGE DOOR WITH NARROW GLASS WINDOWS @ 5' HEIGHT; DOOR LIFT STYLE, COLOR, AND INSULATION CHOICES BY OWNER.
4. 3⁷/₈" STEEL DOOR
5. 3²/₄" VINYL CLAD DOUBLE HUNG WINDOWS

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Roof Peak Elevation 26'-8"±

Main Roof Eave Elevation 18'-0"±

Lean-to Roof Eave Elevation 14'-9"±

Finished Floor Elevation 0'-0"

Roof Peak Elevation 26'-8"±

Main Roof Eave Elevation 18'-0"±

Lean-to Roof Eave Elevation 14'-9"±

Finished Floor Elevation 0'-0"

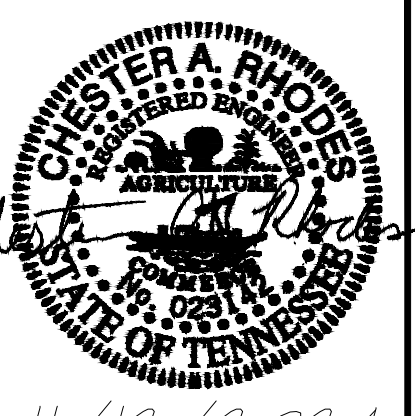
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POLE BARN
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A-3.1



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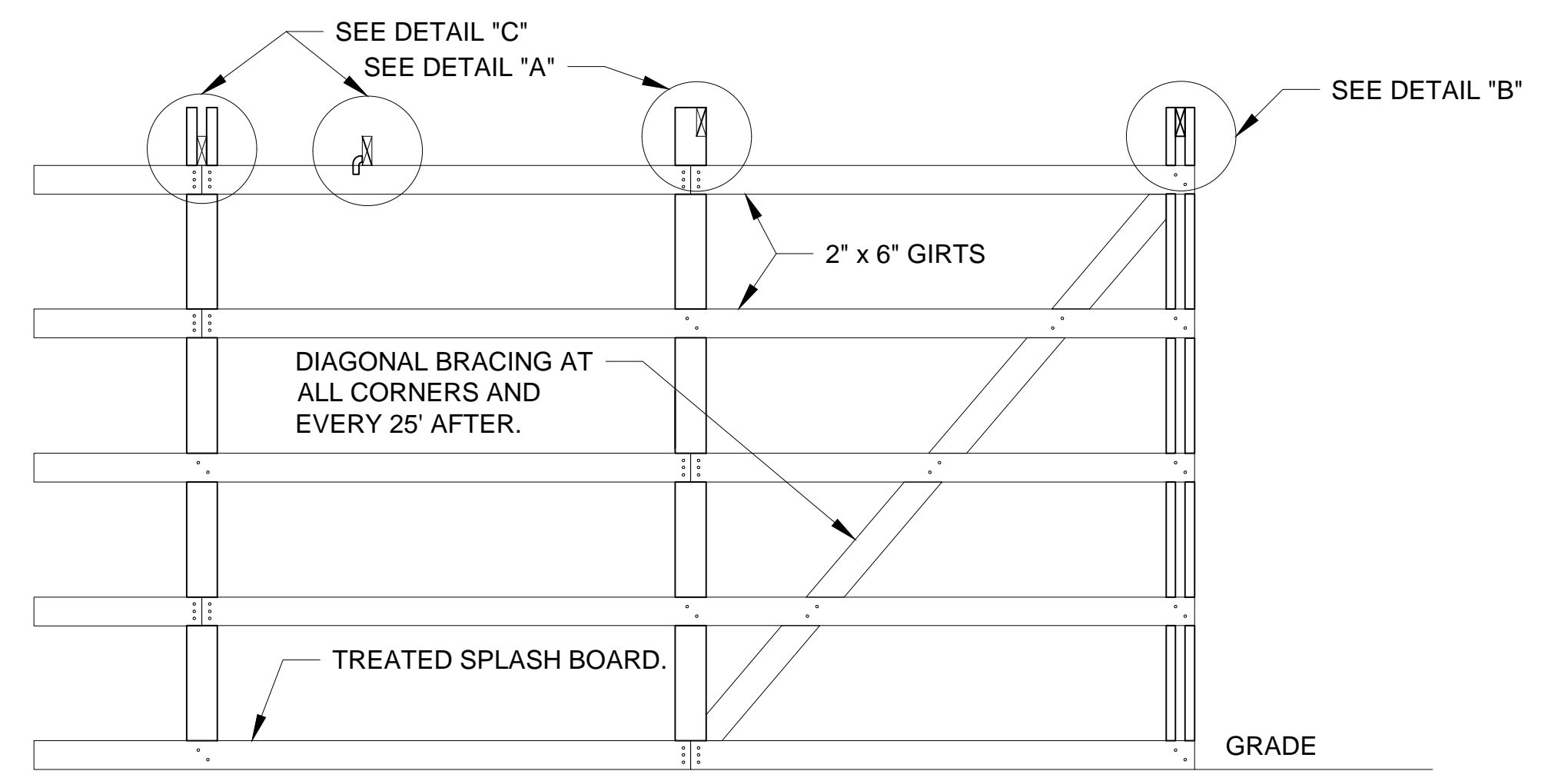
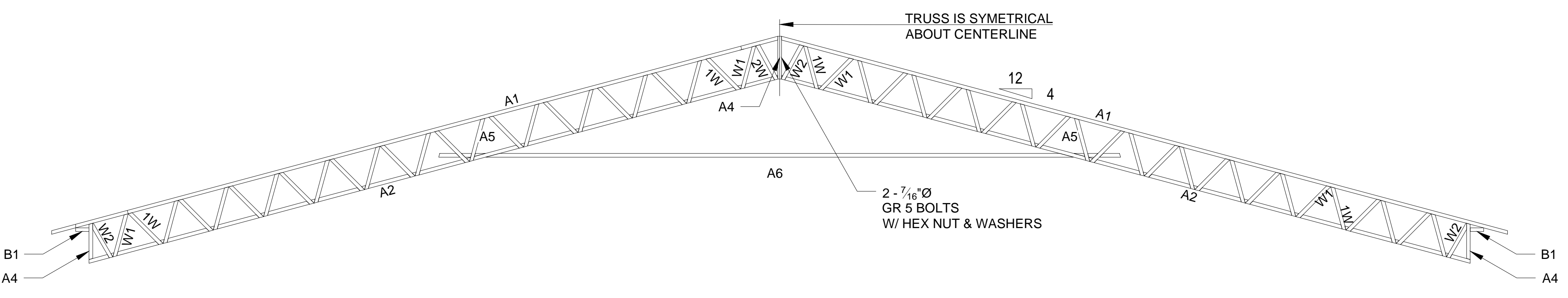
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NO.	REVISIONS	DATE	BY	CHKD	DESIGN	APPV

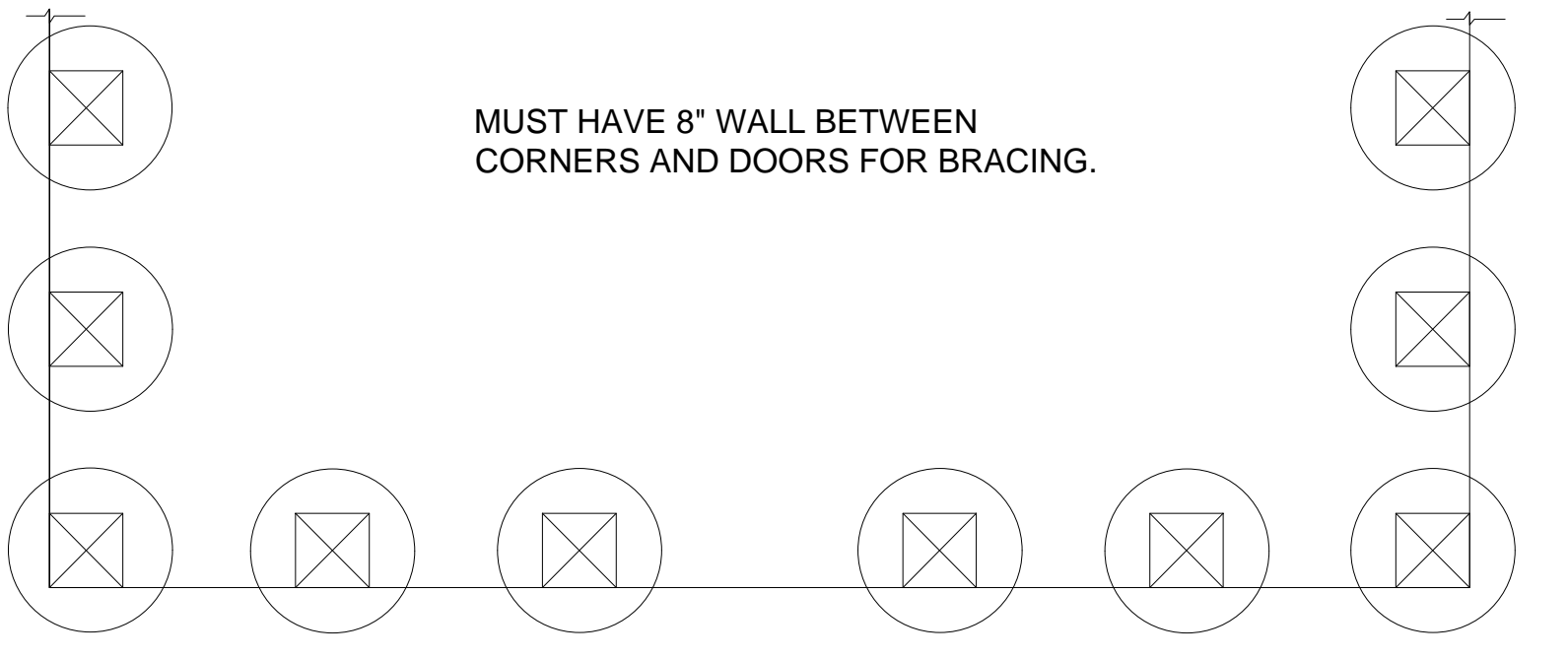
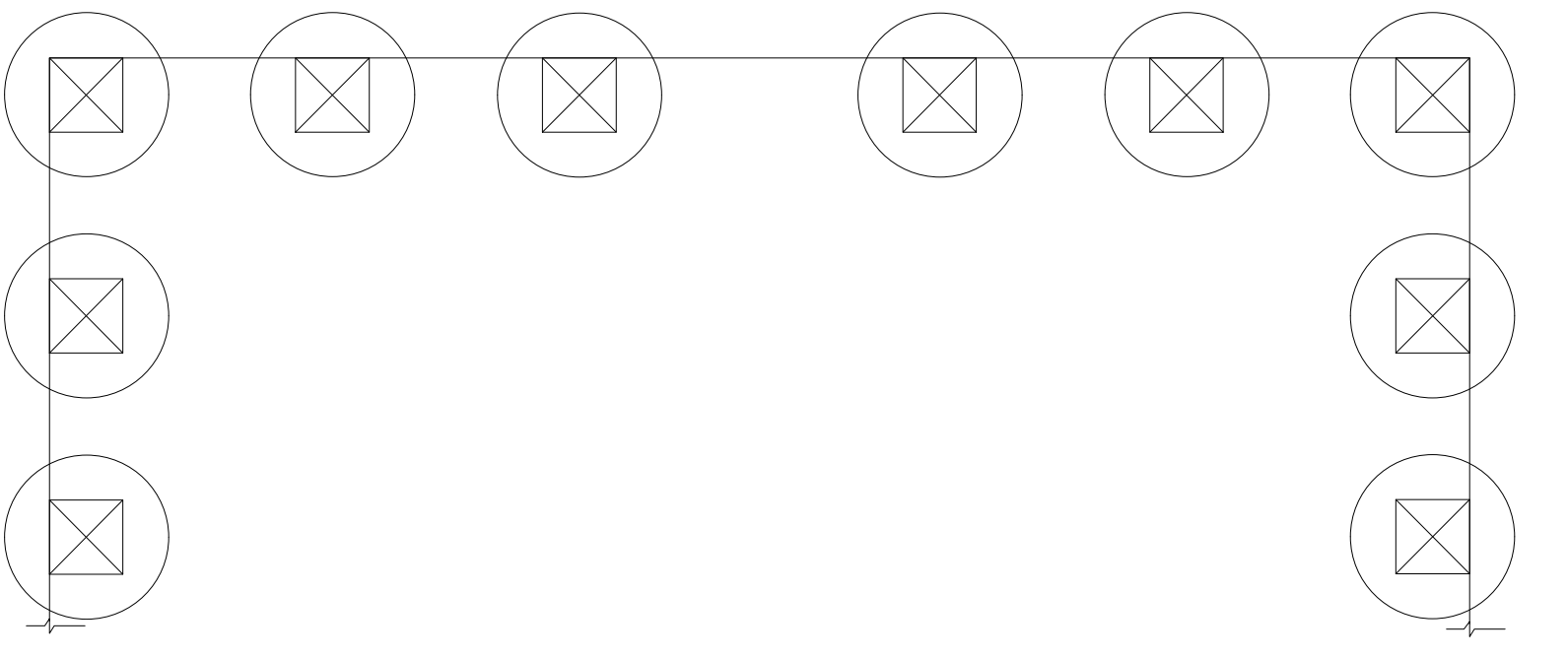
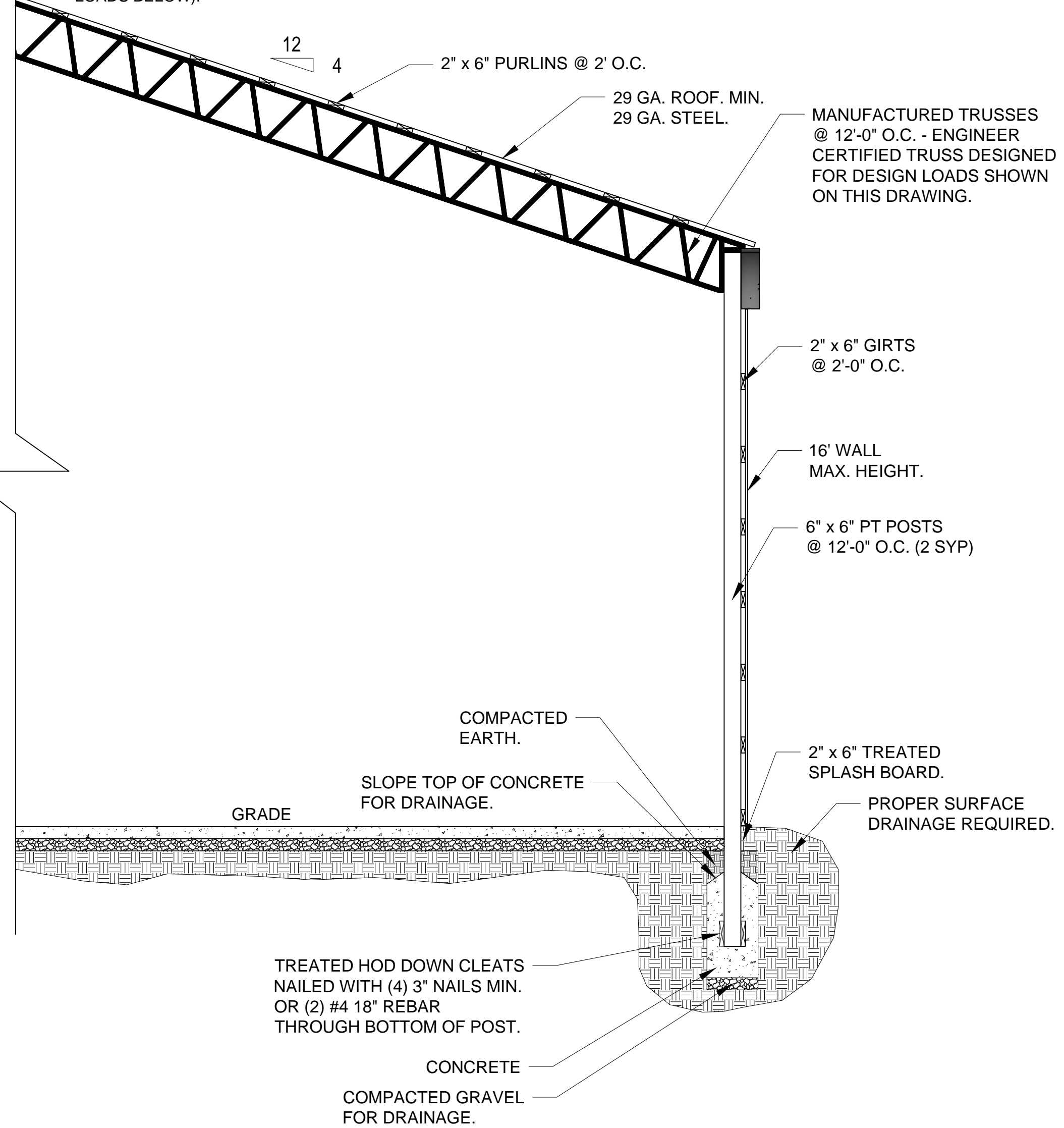
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JUSTIN ROBINETTE
 POLE BARN
 301 CANAAN ROAD, MT PLEASANT, TN 38474
 TRUSS DETAILS

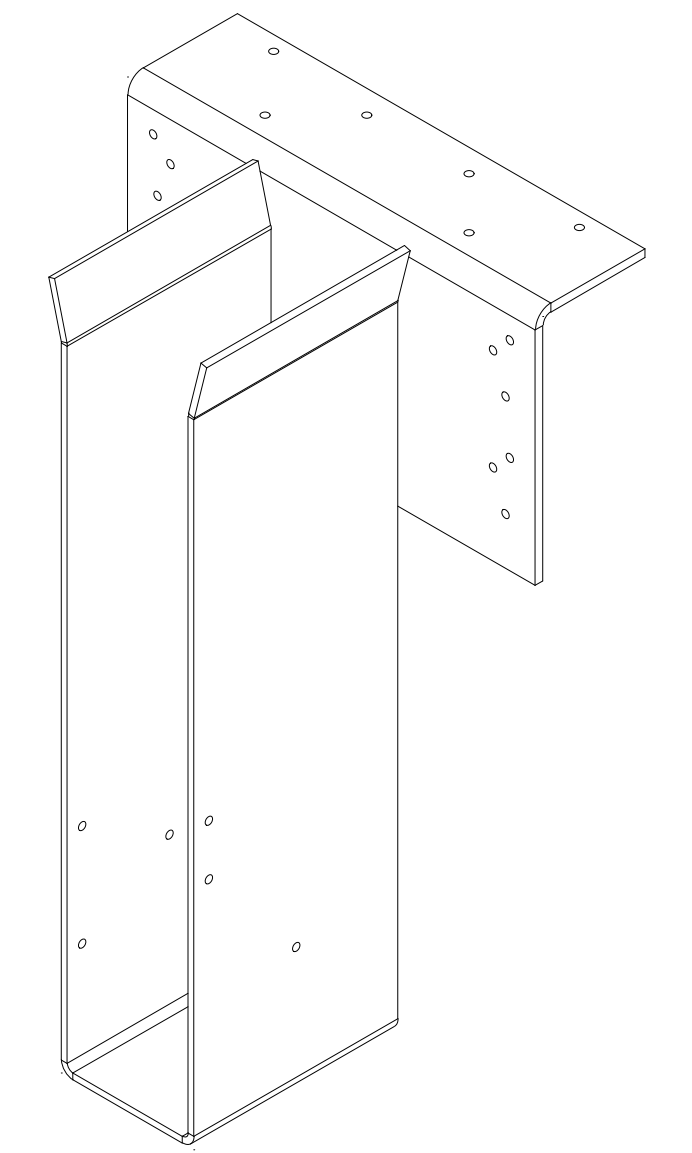


-- THIS DESIGN MAY ALSO BE USED FOR TRUSS LENGTHS SHORTER THAN 40 FEET WITH 4:12 ROOF SLOPE.
 -- THIS DESIGN AND CONFIGURATION MAY BE USED FOR A 24 FT SPAN TRUSS TO PROVIDE A LARGER CAPACITY FOR SNOW LOAD (SEE SNOW LOADS BELOW).



BUILDING LENGTH VARIES.

- USE ALL SPECIFIED FASTENERS. VERIFY THAT THE HEADER CAN TAKE THE REQUIRED FASTENERS SPECIFIED IN THE TABLE. FOR ATTACHING TO MULTI-PLY HEADERS, REFER TO TECHNICAL BULLETIN TOP-FLANGE HANGER REDUCTIONS FOR MULTIPLE-PLY HEADERS (T-C-MPLYHEADR).
- FLATTEN EDGE OF HEADER TO MATCH TOP-FLANGE RADIUS. BEVEL-CUT THE CARRIED BEAM FOR SKEWED HANGERS.
- FOR HANGERS EXCEEDING THE JOIST HEIGHT BY MORE THAN 1/2", ALLOWABLE LOAD IS 50% OF THE TABLE LOAD.
- MAY BE USED FOR WELD-ON APPLICATIONS. MINIMUM REQUIRED WELD IS A 1/4" X 2 1/2" FILLET WELD AT EACH END OF THE TOP FLANGE; SEE GENERAL INSTRUCTIONS FOR THE INSTALLER, NOTE K, FOR WELD INFORMATION. WELD-ON APPLICATIONS PRODUCE MAXIMUM LOADS LISTED. FOR UPLIFT LOADS, REFER TO TECHNICAL BULLETIN TOP-FLANGE HANGERS WELDED TO STRUCTURAL STEEL MEMBERS (T-C-WELDUPLFT).
- MAY BE INSTALLED ON LEDGERS PROVIDED THE LEDGERS ARE MADE OF 4X SOLID SAWN OR 3 1/2" SCL SHOWN IN THE TABLE BELOW. THINNER LEDGERS MUST BE EVALUATED BY THE BUILDING DESIGNER.



HGLTV3.520 & HGLTV3.518X SIMPSON STRONG-TIE
 HGLTV HEAVY TOP-FLANGE JOIST HANGER
 SCALE: 3" = 1'-0"

NOTES: GIRTS 2' O.C. FOR POTENTIAL HOUSE / 3' O.C. ALLOWED FOR BARN OR SHOP ALL COLUMN PADS MUST BE FREE FROM STANDING WATER AT ALL TIMES. FINAL GRADES AROUND BARN MUST DRAIN STORMWATER AWAY FROM STRUCTURE ON ALL 4 SIDES.

BILL OF MATERIALS

MARK	DESCRIPTION	LENGTH	NUMBER REQUIRED	MATERIAL
A1	TOP CHORD	L 1 1/2 x 1 1/2 x 3/16	21'-1"	A36
A2	BOTTOM CHORD	L 1 1/2 x 1 1/2 x 3/16	20'-6 1/4"	A36
A4	VERTICAL END	L 1 1/2 x 1 1/2 x 3/16	1'-5 1/2"	A36
A5	TIE	L 1 1/4 x 1 1/4 x 1/8	1'-10"	A36
A6	TIE	L 1 1/4 x 1 1/4 x 1/8	19'-2"	A36
W1	WEB	L 1 1/4 x 1 1/4 x 1/8	1'-7 3/4"	A36
W2	WEB	L 1 1/4 x 1 1/4 x 1/8	1'-5 1/2"	A36
B1	BASE	L 1 1/2 x 1 1/2 x 3/16	5 1/2"	A36

40' X 60' & 36' X 40' TRUSS PLANS

NOTES:

1. PURLINS TO BE # 2 SYP. MINIMUM 2x6 AND SPACED AT A MAXIMUM 2'-0" O.C., UNLESS NOTED.
2. 12 FT TRUSS SPACING NOT ALLOWED FOR 30 PSF GROUND SNOW LOAD.
3. INCREASE IN ALLOWABLE STRESS FOR WIND LOADING HAS BEEN USED.
4. MEMBER DIMENSIONS ARE TO BE ADJUSTED FOR SHORTER TRUSS LENGTHS.
5. WEB CONFIGURATIONS AND PURLINS MAY VARY BUT MAINTAIN MAXIMUM 2'-0" SPACING.
6. CONTRACTOR RESPONSIBLE FOR TEMPORARY CONSTRUCTION & PERMANENT BRACING.
7. FABRICATOR SHALL VERIFY DIMENSIONS BEFORE CUTTING AND/OR FABRICATING TRUSS.
8. FABRICATION AND WELDING PER AISC AND AWS.
9. DESIGN IS FOR TRUSS ONLY.

DESIGN LOADS

(APPLIED PER INTERNATIONAL BUILDING CODE (IBC) 2009)
TRUSS SPACING = 12' LIVE LOAD = 20 PSF DEAD LOAD = 2 PSF
TRUSS SPACING = 12' LIVE LOAD = 20 PSF DEAD LOAD = 6 PSF
TRUSS SPACING = 8' LIVE LOAD = 20 PSF DEAD LOAD = 10 PSF

WIND LOAD = 90 MPH (IBC 2009)
WIND LOAD = 115 MPH (IBC 2012)

SNOW LOADS = 15 PSF GROUND SNOW LOAD (FOR 40 FT TRUSS)
SNOW LOADS = 30 PSF GROUND SNOW LOAD (FOR 24 FT TRUSS)

(8' AND 10' TRUSS SPANS ONLY)

ENGINEER MUST APPROVE PAD, LOCATION OF PAD, AND DRAINAGE AROUND POLE BARN AFTER CONSTRUCTION. NO WATER IS TO DRAIN TOWARD FINISHED STRUCTURE.

November 11, 2024

City of Mt. Pleasant
ATTN: Mr. Chris Brooks
209 Bond Road
Mt. Pleasant, TN 38474
(931) 379-7717

RE: Robinette Trucking Site Plan Submittal
Zoning Ordinance Variance Request
For **Section 11.4 – Landscaping, Screening
& Tree Preservation**

Dear Mr. Brooks:

On behalf of CBC Properties, Property Owner and Developer of the proposed project, we are requesting the Planning Department and Commission to allow a variance from the standard landscaping requirements published within Section 11.4 of the Zoning Ordinance. We feel that this waiver is applicable due to the unique layout of the Parcel, its means of access/proximity to Public R.O.W., and the building's location within the property. The selected location of the proposed building is surrounded by existing businesses and densely vegetated Railroad R.O.W. that currently provides a buffer from the General Public. While we fully understand the purpose of the landscaping elements (and their requirements) listed within the Zoning Ordinance's language, we respectfully ask that these elements and their requirements be waived.

The Property Owner & Developer will commit to bringing a desirable and aesthetically pleasing product to The City of Mt. Pleasant and proposes the installation of the landscaping elements as shown on Sheet L1.0 within the Site Plan Submittal documents. All selected plantings will be chosen from the approved plantings list within the Zoning Ordinance language (*App. E – Landscape Standards*), and all installation will be consistent with the Planting Details as specified in the Zoning Ordinance language (*App. E – Landscape Standards, AE.5 – Planting Details*).

Respectfully,

Christopher R. Collier, P.E.

November 6, 2024

City of Mt. Pleasant
ATTN: Mr. Chris Brooks
209 Bond Road
Mt. Pleasant, TN 38474
(931) 379-7717

RE: Robinette Trucking Site Plan Submittal
Zoning Ordinance Variance Request
For **Section 11.2 – Offstreet Loading & Parking**

Dear Mr. Brooks:

On behalf of CBC Properties, Property Owner and Developer of the proposed project, we are requesting the Planning Department and Commission to allow a variance from the Surfacing requirement published within Section 11.2 of the Zoning Ordinance. The Ingress/Egress Drive, Employee Parking Area, and the immediate areas adjacent to the building do in fact satisfy the “Surfacing” requirements listed in the Zoning Ordinance language (i.e., heavy duty asphalt or concrete). We respectfully request that the surfacing requirements be waived for the remainder of the parking surfaces and extended approach aprons (for shop entry) as shown on Sheet C2.0 Site Plan. The remainder of the parking area will be utilized for heavy equipment and vehicular storage. Due to the intended use of this area, nature of the turning movements and heavy loadings, it is desired to have a relatively durable surface with minimal maintenance that the property owner can self-perform. The proposed surface is to be a layer of 8 inch thick, compacted aggregate base (303-01 Mineral Aggregate, Type A-Base, Grading D), with washed ¾” aggregate Limestone Cover Material.

Respectfully,

Christopher R. Collier, P.E.

**A RESOLUTION DESIGNATING A SCHEDULE FOR CITY OF MOUNT PLEASANT
PUBLIC MEETINGS FOR THE MUNICIPAL PLANNING COMMISSION
2025 CALENDAR YEAR**

WHEREAS, pursuant to Chapter 1, Section 101, of the Mount Pleasant Municipal Code, the Mount Pleasant Municipal Planning Commission has the authority and obligation to hold regular monthly meetings and to establish a place and time for such meetings; and

WHEREAS, the Mount Pleasant Municipal Planning Commission holds regular monthly meetings also established by this 2025 calendar; and

WHEREAS, the City of Mount Pleasant Municipal Planning Commission desires to adopt the attached schedule for regular meetings for the Mount Pleasant Municipal Planning Commission for the calendar year of 2025; and

WHEREAS, the Chairman of the Municipal Planning Commission or the Mayor has the authority to call special meetings or public hearings in addition to those regularly scheduled; and

WHEREAS, the attached calendar of 2025 meetings shall be advertised as a notice in the local newspapers and shall be posted on the City of Mount Pleasant website; and

NOW, THEREFORE, BE IT RESOLVED, that designating a schedule for the City of Mount Pleasant public meetings for the Municipal Planning Commission 2025 calendar year to be held at Mount Pleasant City Hall, Tom Hardin Room, 100 Public Square, Mount Pleasant, Tennessee, at specified dates and times.

Passed and adopted this 10th day of December 2024

PLANNING COMMISSION, CHAIRMAN

PLANNING COMMISSION, SECRETARY

KORI BLEDSOE JONES, ATTORNEY

Public Notice City of Mount. Pleasant TN

The regular meeting of the Municipal Planning Commission of the City of Mount Pleasant, Tennessee is held at 6:00 p.m. on the second (2nd) Tuesday of each month at the Mount Pleasant City Hall in the Tom Hardin Room.

For the year beginning January 1, 2025 and ending December 31, 2025, the regular meeting of the Municipal Planning Commission will be held on the following dates:

- Tuesday, January 14, 2025
- Tuesday, February 11, 2025
- Tuesday, March 11, 2025
- Tuesday, April 8, 2025
- Tuesday, May 13, 2025
- Tuesday, June 10, 2025
- Tuesday, July 8, 2025
- Tuesday, August 12, 2025
- Tuesday, September 9, 2025
- Tuesday, October 14, 2025
- Wednesday, November 12, 2025 *
- Tuesday, December 9, 2025

The public is invited to attend the City of Mount Pleasant, Tennessee Regular Planning Commission meetings.

* Indicates 2nd Tuesday fell on a Holiday.