

**Notice of Planning & Zoning Commission Special Meeting
AGENDA**

May 17, 2022 at 6:15 PM

NOTICE IS HEREBY GIVEN that a Meeting of the Montgomery Planning & Zoning Commission Special Meeting will be held on **Tuesday, May 17, 2022 at 6:15 PM** at the City of Montgomery City Hall, 101 Old Plantersville Road, Montgomery, Texas.

Members of the public may view the meeting live on the City's website www.montgomerytexas.gov under Agenda/Minutes and then select **Live Stream Page (located at the top of the page)**. The Meeting Agenda Pack will be posted online at www.montgomerytexas.gov. The meeting will be recorded and uploaded to the City's website.

CALL TO ORDER

VISITOR/CITIZENS FORUM:

Any citizen with business not scheduled on the agenda may speak to the Commission. Prior to speaking, each speaker must be recognized by the Chairman. The Commission may not discuss or take any action on an item but may place the issue on a future agenda. The number of speakers along with the time allowed per speaker may be limited.

CONSIDERATION AND POSSIBLE ACTION:

- 1.** Consideration and possible action on the April 5, 2022 Regular Meeting Minutes.
- 2.** Consideration and possible action regarding a proposed paving and exterior lighting project at 14343 Liberty Street.
- 3.** Consideration and possible action on a shed repainting request for 709 College Street, Montgomery, Texas.
- 4.** Consideration and possible action on a proposed restroom project for the Montgomery Memorial Cemetery, a City-designated Historic Landmark located near the intersection of FM 149 & FM 1097.
- 5.** Consideration and possible action regarding a Preliminary Report for a rezoning request from R1—Single-Family Residential to B—Commercial for 504 Caroline Street, Montgomery, Texas.
- 6.** Consideration and possible action on calling two Public Hearings on the Preliminary Report for a rezoning request for 504 Caroline Street, Montgomery, Texas.

COMMISSION INQUIRY:

Pursuant to Texas Government Code Sect. 551.042 the Planning & Zoning Commission may inquire about a subject not specifically listed on this Agenda. Responses are limited to recitation of existing policy or a statement of specific factual information given in response to the inquiry. Any deliberation or decision shall be limited to a proposal to place on the agenda of a future meeting.

ADJOURNMENT

/s/Nici Browe

Nici Browe, City Secretary

I certify that the attached notice of meeting was posted on the bulletin board at City of Montgomery City Hall, 101 Old Plantersville Road, Montgomery, Texas, on May 13, 2022 at 4:00 p.m. I further certify that the following news media was notified of this meeting as stated above: The Courier

This facility is wheelchair accessible and accessible parking spaces are available. Please contact the City Secretary's office at 936-597-6434 for further information or for special accommodations.

MINUTES OF REGULAR MEETING

April 5, 2022

MONTGOMERY PLANNING AND ZONING COMMISSION

CALL TO ORDER

Chairman Waddell declared a quorum was present and called the meeting to order at 6:02 p.m.

Present: Jeffrey Waddell, Bill Simpson, Merriam Walker

Absent: Britnee Ghutzman

Also Present: Dave McCorquodale, Assistant City Admin. / Director of Planning & Development
Chris Roznovsky, PE, Consulting City Engineer

VISITOR/CITIZENS FORUM

No comments given.

1. Consideration and possible action on the February 1, 2022 and March 1, 2022 Regular Meeting minutes.

Bill Simpson moved to approve the February 1, 2022 minutes as presented. Merriam Walker seconded the motion, the motion carried unanimously. (3-0)

Bill Simpson moved to approve the March 1, 2022 minutes as presented. Merriam Walker seconded the motion, the motion carried unanimously. (3-0)

2. Consideration and possible action on the Porter Farms Preliminary Plat, a proposed 27.315-acre, 90-lot single family residential subdivision north of FM 1097 East and east of FM 149.

Staff reviewed the information provided with the Preliminary Plat and noted the developer was in attendance to answer any questions. Chris Roznovsky noted that the Preliminary Plat is only reviewed by P&Z and the construction plans will be reviewed by P&Z and the City Council. Additionally, the Final Plat would be reviewed by both P&Z and City Council. Mr. Roznovsky also noted the development received variances for minimum lot width and area, right-of-way width, and side building lines from 10-ft to 5-ft. He said the Preliminary Plat conformed to all City

requirements. Merriam Walker asked for details on the variances that were approved and asked if any amenities would be inside the neighborhood. Ken Schott of Waterstone Development stated there are plans for a walking trail within the detention pond area on the property, but no splashpads or playgrounds were planned. Merriam Walker asked if there were sidewalks planned for the neighborhood and Mr. Roznovsky stated they are required for neighborhoods in the City. Mr. Schott said their developments have strong architectural controls and deed restrictions that prevent nuisances like long-term on street parking or junked vehicles and that the driveways would accommodate two vehicles without blocking the sidewalks. Discussion was had on pricing of the homes in the context of recent construction price increases as well as TxDOT requirements for access to FM 149.

Bill Simpson moved to approve the Preliminary Plat as presented. Merriam Walker seconded the motion, the motion carried unanimously. (3-0)

3. Redbird Meadows Development Update.

Staff provided the Commission an update on the process and discussions related to the proposed development. No formal action needed or taken.

Commission Inquiry

None.

Adjournment

Bill Simpson moved to adjourn the meeting at 6:44 p.m. Merriam Walker seconded the motion, the motion carried unanimously. (3-0)

Prepared by: _____ Date approved: _____
Dave McCorquodale

Chairman Jeffrey Waddell

Attest: _____
Nici Browe, City Secretary

Montgomery Planning and Zoning Commission
AGENDA REPORT

Meeting Date: May 17, 2022	Budgeted Amount: N/A
Department: Administration	Prepared By: Dave McCorquodale

Subject

Consideration and possible action regarding a proposed paving and exterior lighting project at 14343 Liberty Street.

Recommendation

Consider the information provided and act as you see fit. If approved, staff recommends approval contingent on the owner obtaining an electrical permit for the new lighting.

Discussion

The owners of the H-Wines and Petz buildings have provided information regarding the replacement of an existing sidewalk with the proposed paving/patio space and lighting. The walkway links the front porch of the First State Bank / H-Wines building to the Petz building on Pond Street. As mentioned in the information provided, the existing sidewalk was removed as part of a sewer repair project. The proposed paving is roughly 3-4 times larger than the existing walkway and includes two new light poles that will match the ones in front of the H-Wines building.

Approved By

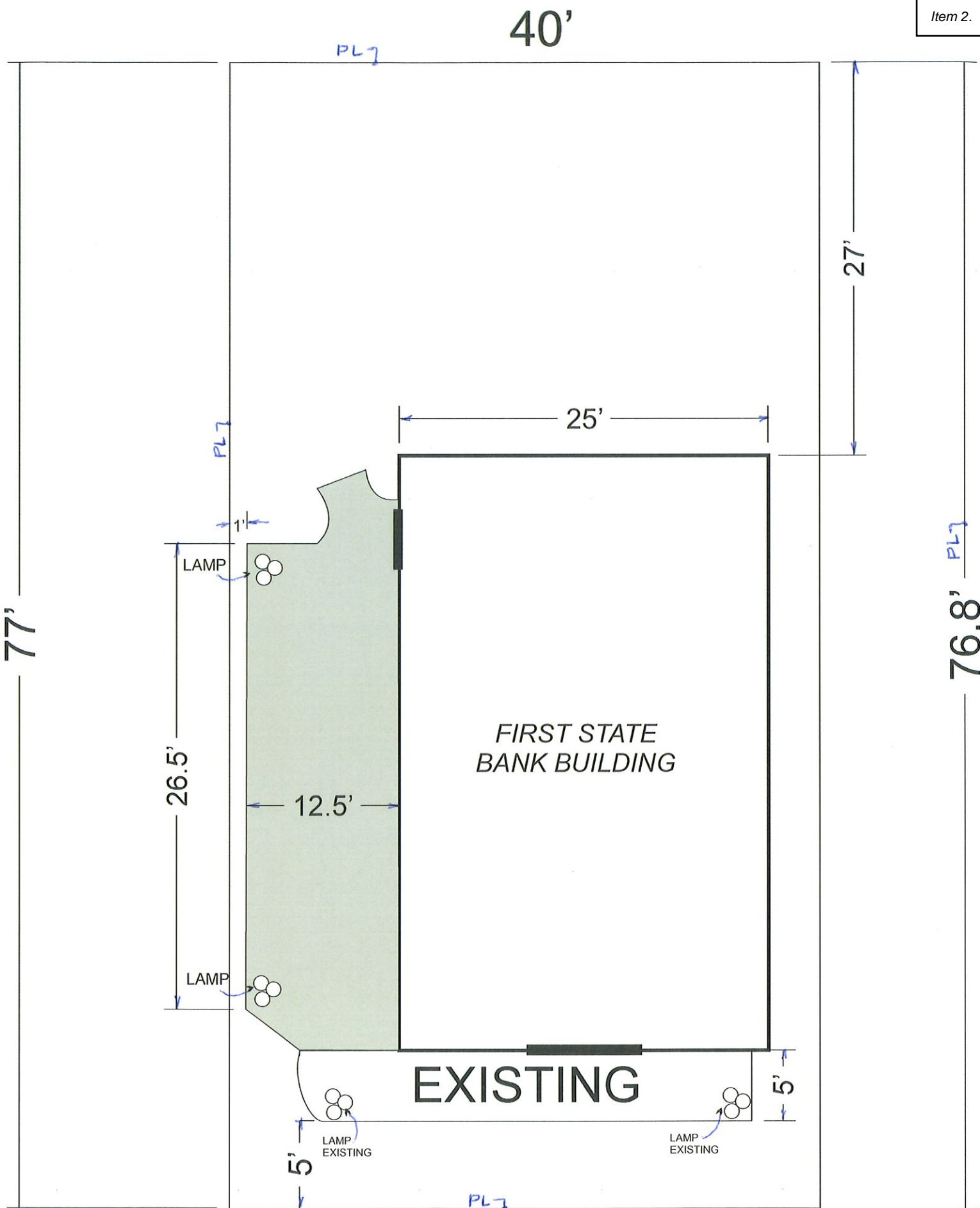
Asst. City Administrator	Dave McCorquodale	Date: 05/12/2022
City Administrator	Richard Tramm	Date: 05/12/2022

Application for Permit for Walkway in Historic Preservation District

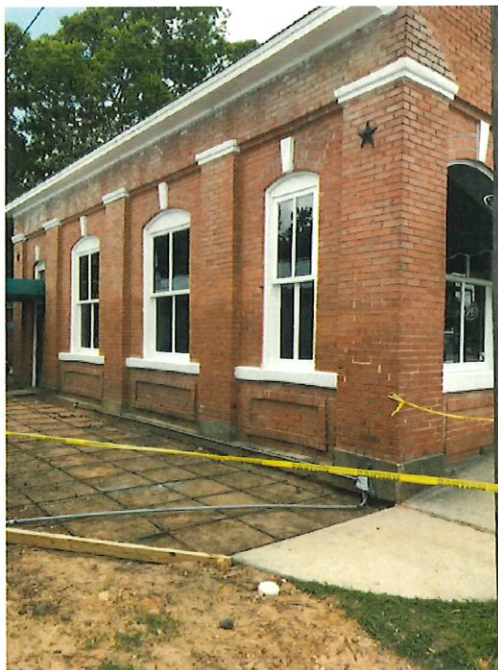
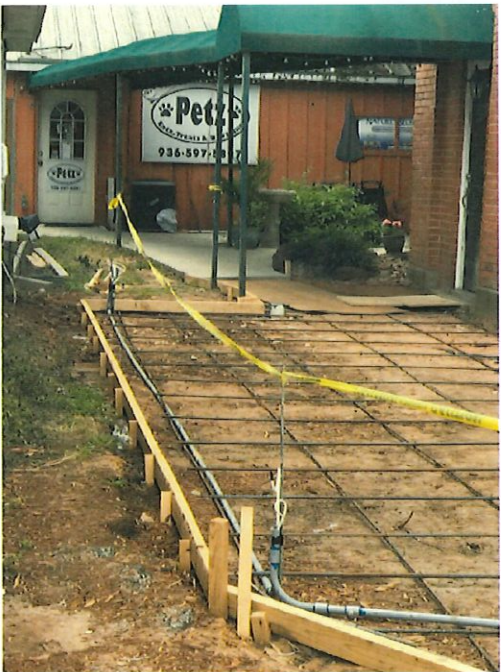
Presented to Planning and Zoning
City of Montgomery
May 3, 2022

1. **Property owner: Geral/Susan Fauss, PO Box 735, Montgomery, TX 77356, 936-499-5611 or 936-499-5612; email: gwfauss@spiritindustries.net; sfauss@spiritindustries.net**
2. **Project is to re-do a walkway that was destroyed to fix a serious sewer problem. The walkway way and patio area between two pieces of property owned by Fauss was put in in 2004.
At that time is was paved with crushed granite. As the crushed granite damages the historic floors of the old First State Bank building, it was replaced with concrete in 2019. In 2022, this walkway had to be removed along with a tree and roots that had caused some of the sewer problem. The project was stopped just as it was to be finished and the cement repoured.
The walkway was widened to cover the area that the tree and roots were in. This gives the walkway plenty of space to accommodate the ADA act for those that are disabled. It allows customers to get to the building behind the Bank building. And it enhances the area around the historic building.**
3. **Location of project: First State Bank of Montgomery, 14343 Liberty St., Montgomery, TX 77356.
Pictures attached of property and adjacent properties)**
4. **Design intent is to make the area pedestrian friendly with a safe area to walk and shop. Weeds and mud are covered to also make the area look clean and manicured.**
5. **(See attached for elevation drawings of area with walkway and patio area.)**
6. **Color and material being used: Gray concrete**
7. **No signage involved in this project**





SCALE: NTS





NEW LAMPS TO MATCH EXISTING LAMPS

Montgomery Planning and Zoning Commission
AGENDA REPORT

Meeting Date: May 17, 2022	Budgeted Amount: N/A
Department: Administration	Prepared By: Dave McCorquodale

Subject

Consideration and possible action on a shed repainting request for 709 College Street, Montgomery, Texas.

Recommendation

Consider the request and act as you deem appropriate.

Discussion

The Londeens are the owners of the Chilton-Dean house at the corner of College & Eugenia Streets. The property has three structures—the main home, a detached garage, and a small shed adjacent to the garage. The shed is roughly 10’ x 10’. The owners have provided a written description and photo detailing the request.

Approved By

Asst. City Administrator	Dave McCorquodale	Date: 05/12/2022
City Administrator	Richard Tramm	Date: 05/12/2022

Ryan and Kalee Londeen
709 College St.
Montgomery, TX 77356

We would like to paint the exterior of the structure (“well house”), classified as a shed, located on the Southwest corner of our property. This is not the primary historic structure on our property, and we are unsure of the age of the structure. It used to be the well house for the main residence before the house was connected to City water. It now serves as an outdoor office. We’ve recently done some work to replace old siding on one side of the structure and replaced the doors. There is also some external wood that has chipping paint. As a result, the structure needs to be completely repainted and we’d like to change the color of the structure to help it stand apart from the main structures on the property.

The exterior siding of the structure is a combination of wood and hardiboard. We would like to paint the exterior walls with Tricorn Black by Sherwin Williams. The trim, as shown in the photo, would be painted extra white by Sherwin Williams.



Tricorn black is the color we have chosen for the primary color of the exterior of the shed. It is recognized by Sherwin Williams to be a historic exterior paint color. Dark exterior homes were very common in historic America. Paint and paint colors were limited, as a result many houses were left unpainted. The exterior wood, due to exposure to the elements, would turn a dark, weathered brown. Paul Revere's house in Boston is a good example of a dark historic home. When paint was accessible, knowing that it protected your home from the weather, black was a common color. Carbon is a strong element that is very abundant in the US. Powdered carbon mixes well with paint to create various tones including black. The Chilton house is classically white with black accents. We love the simple neutrality of these colors together. We want the well house to match and flow with the aesthetics of our home, but we also want the structure to stand apart from the main structure. This is the reason we are choosing this color. We also want to add white trim accents to contrast the black. Additionally, The Southern Roots Salon building in downtown Montgomery, near the SW corner of Liberty and Caroline Streets, is a good example of the design aesthetic we are going for and has established a precedent of this being an acceptable color scheme within the historic district of the City.

Montgomery Planning and Zoning Commission
AGENDA REPORT

Meeting Date: May 17, 2022	Budgeted Amount: N/A
Department: Administration	Prepared By: Dave McCorquodale

Subject

Consideration and possible action on a proposed restroom project for the Montgomery Memorial Cemetery, a City-designated Historic Landmark located near the intersection of FM 149 & FM 1097.

Recommendation

Consider the request and act as you deem appropriate.

Discussion

The Montgomery Memorial Cemetery Association is planning a restroom project on the grounds of the cemetery for use during funerals and other events like Voices of the Past, the historical storytelling event by the Montgomery Historical Society. Although this property is not within the Historical Preservation District, it is a City-designated Historic Landmark which requires P&Z review for building construction/additions.

Approved By

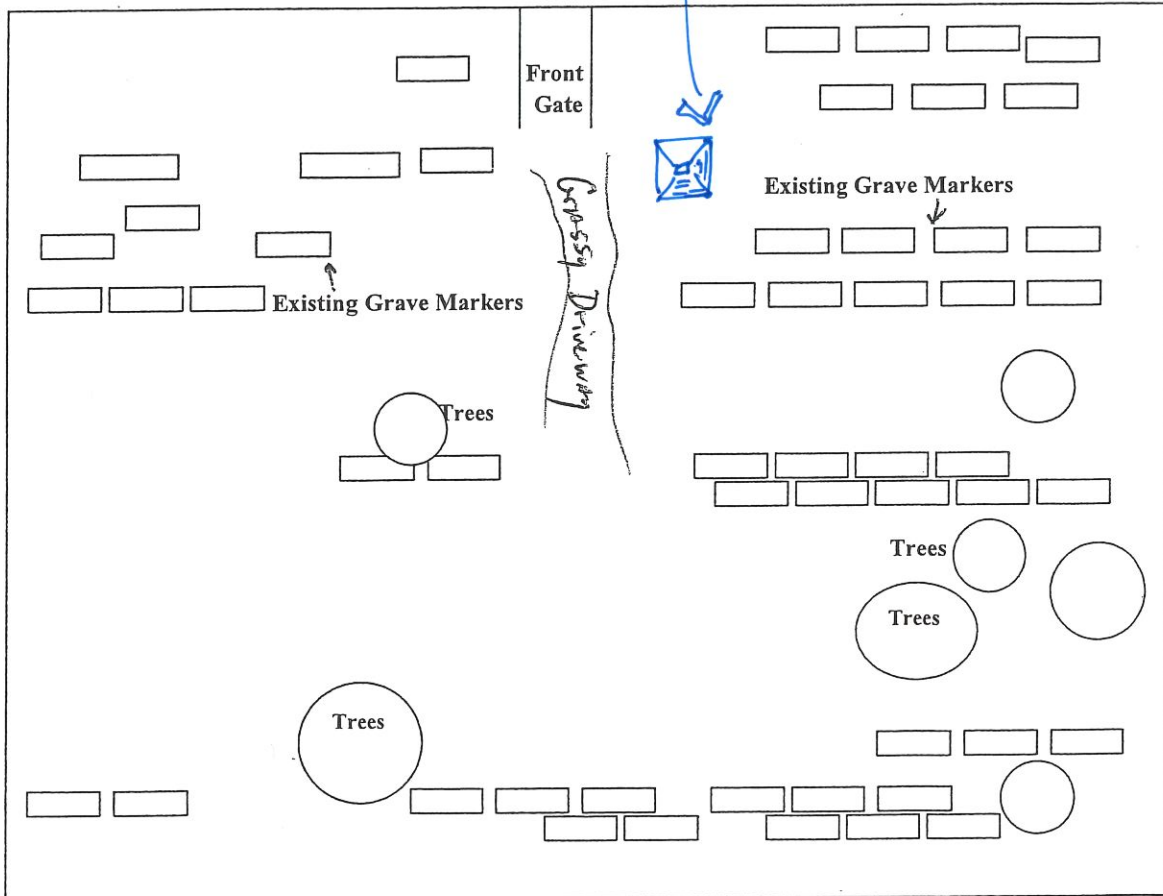
Asst. City Administrator	Dave McCorquodale	Date: 05/13/2022
City Administrator	Richard Tramm	Date: 05/13/2022

Re-drawn by T.J. Wilkerson
12/19/08
Montgomery, Texas 77356
Montgomery County, Texas

APPROXIMATE
LOCATION OF
NEW RESTROOMS

Highway 1097 E

MONTGOMERY MEMORIAL CEMETERY

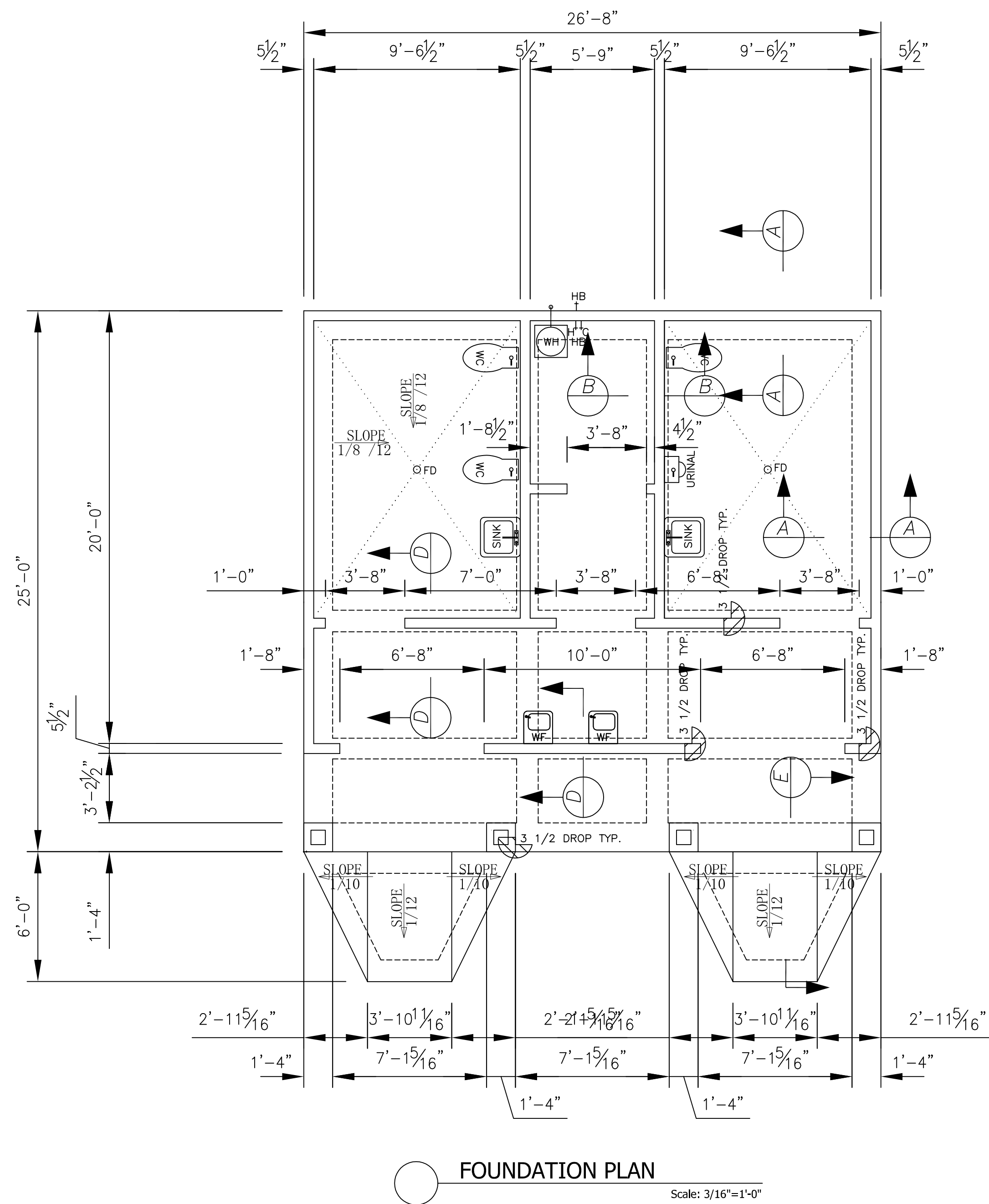


low link fence

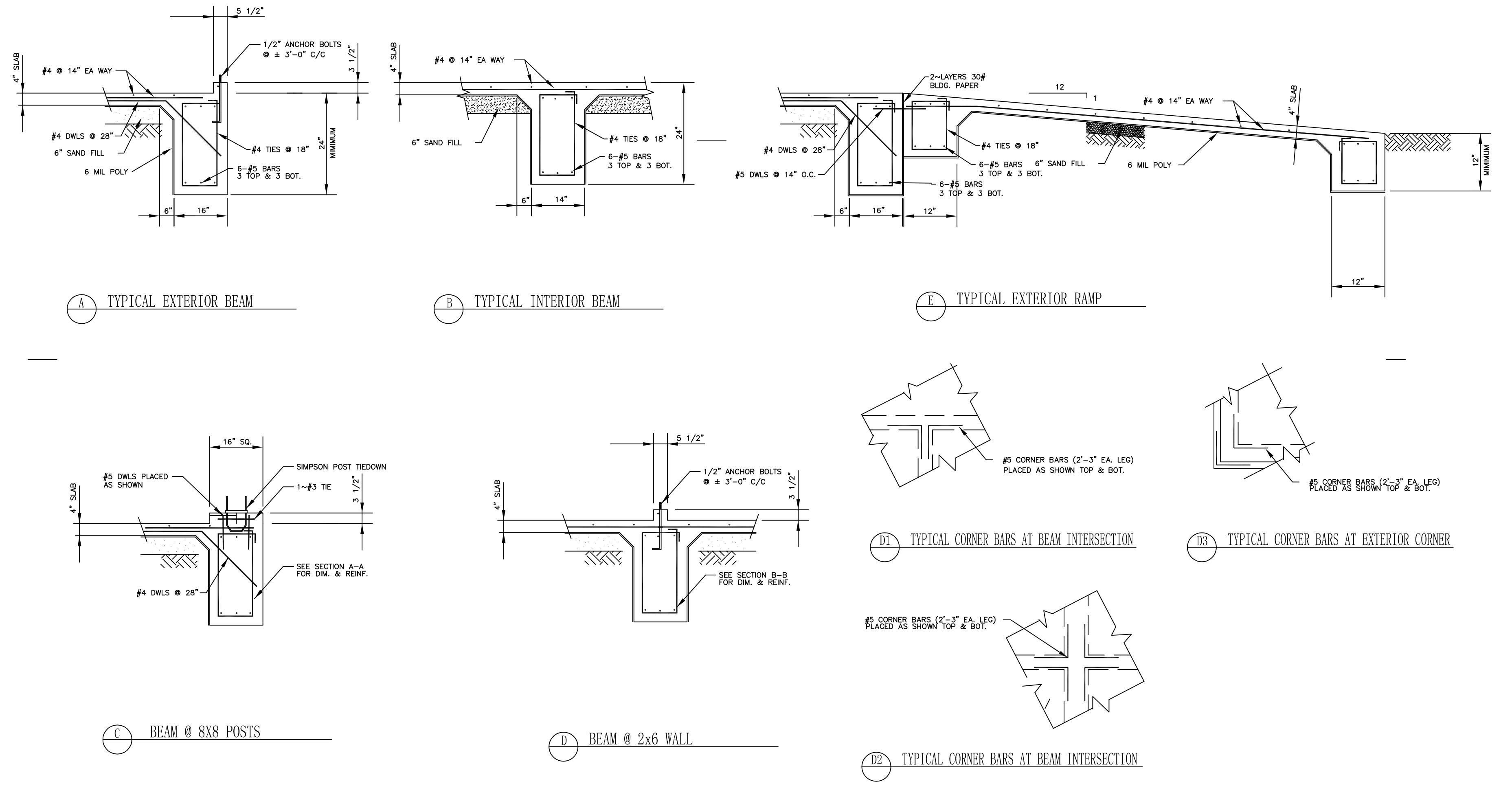
Wooded Area

Barbed wire

Woods → Fence-wire



FOUNDATION PLAN
Scale: 3/16"=1'-0"



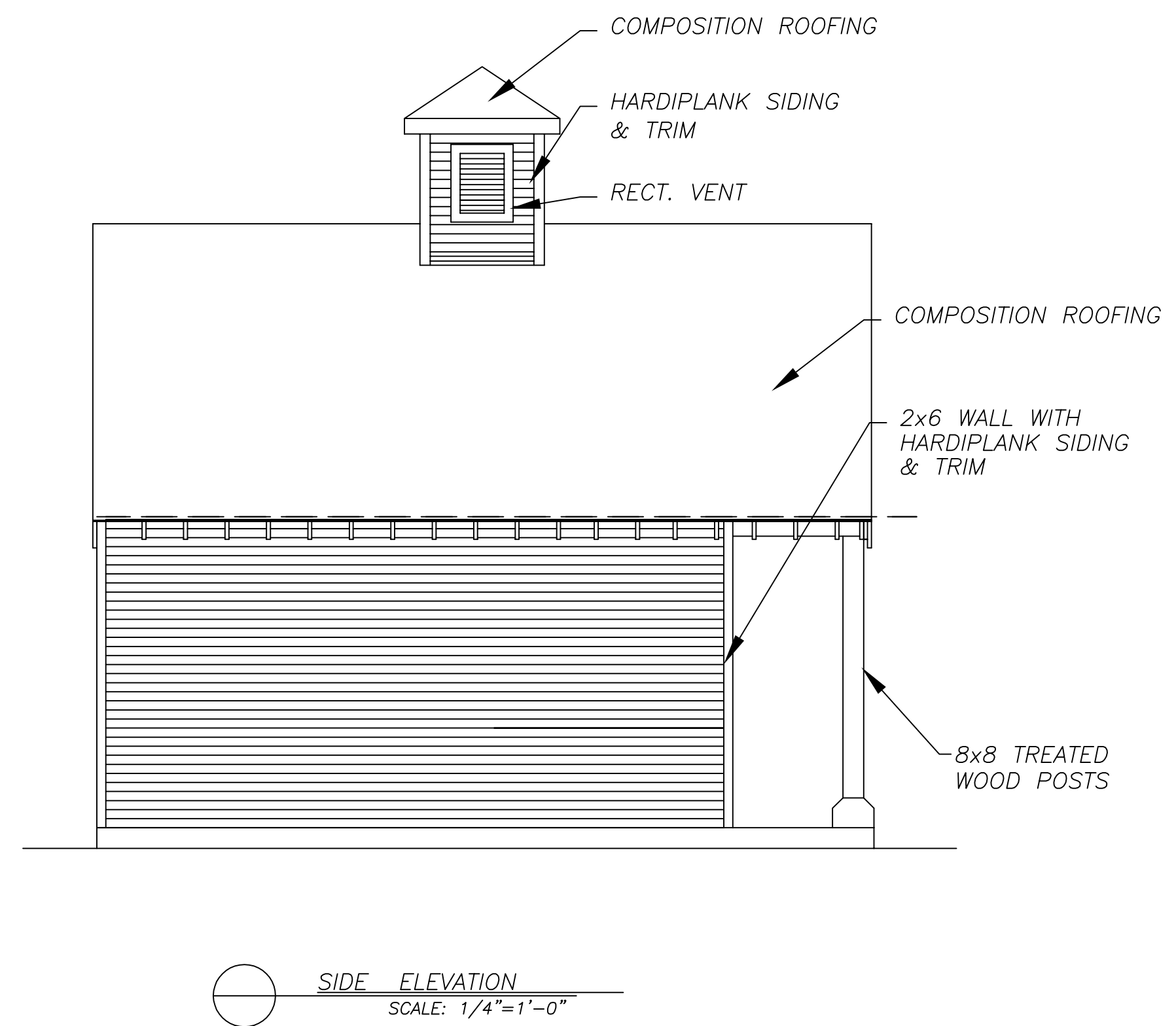
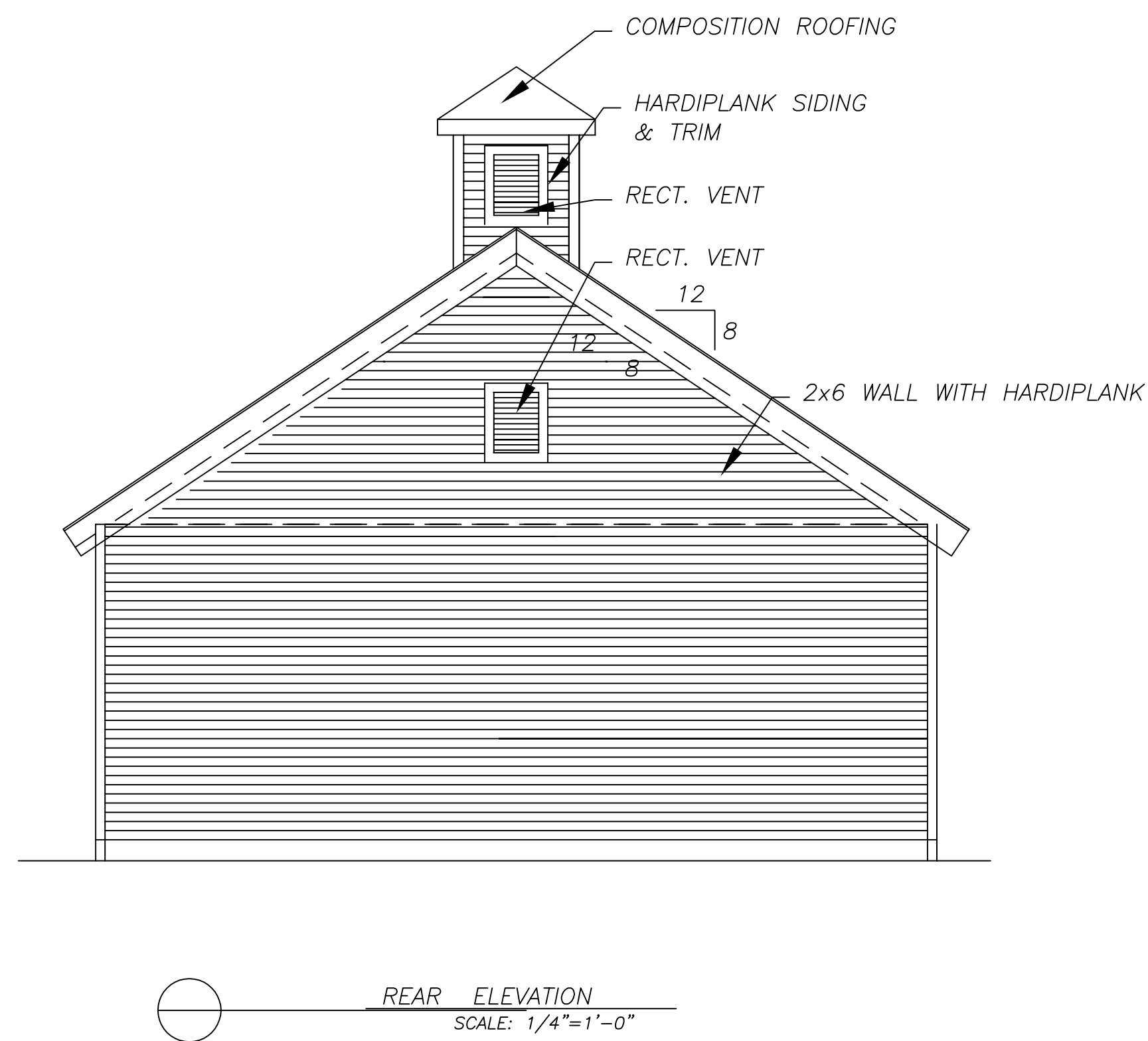
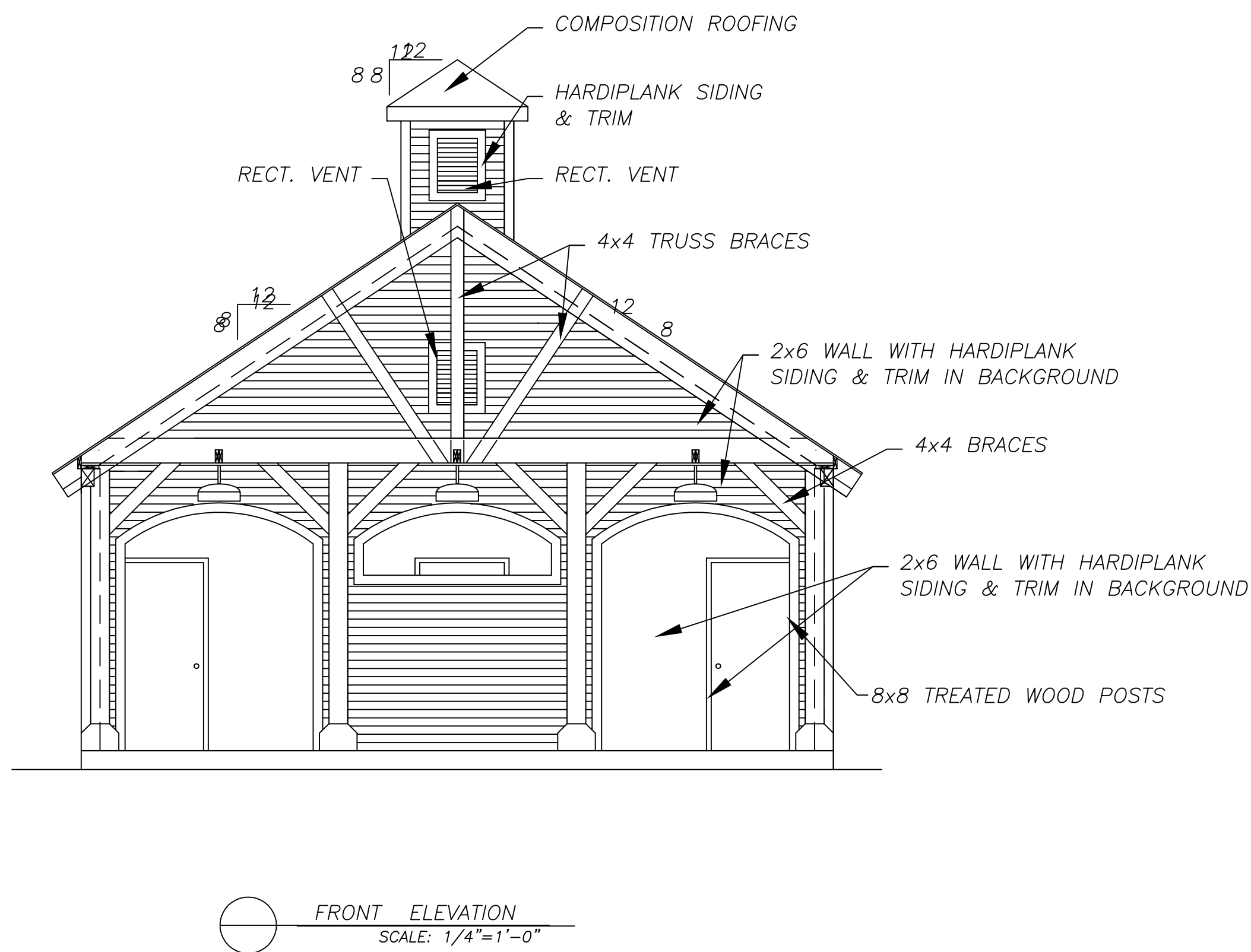
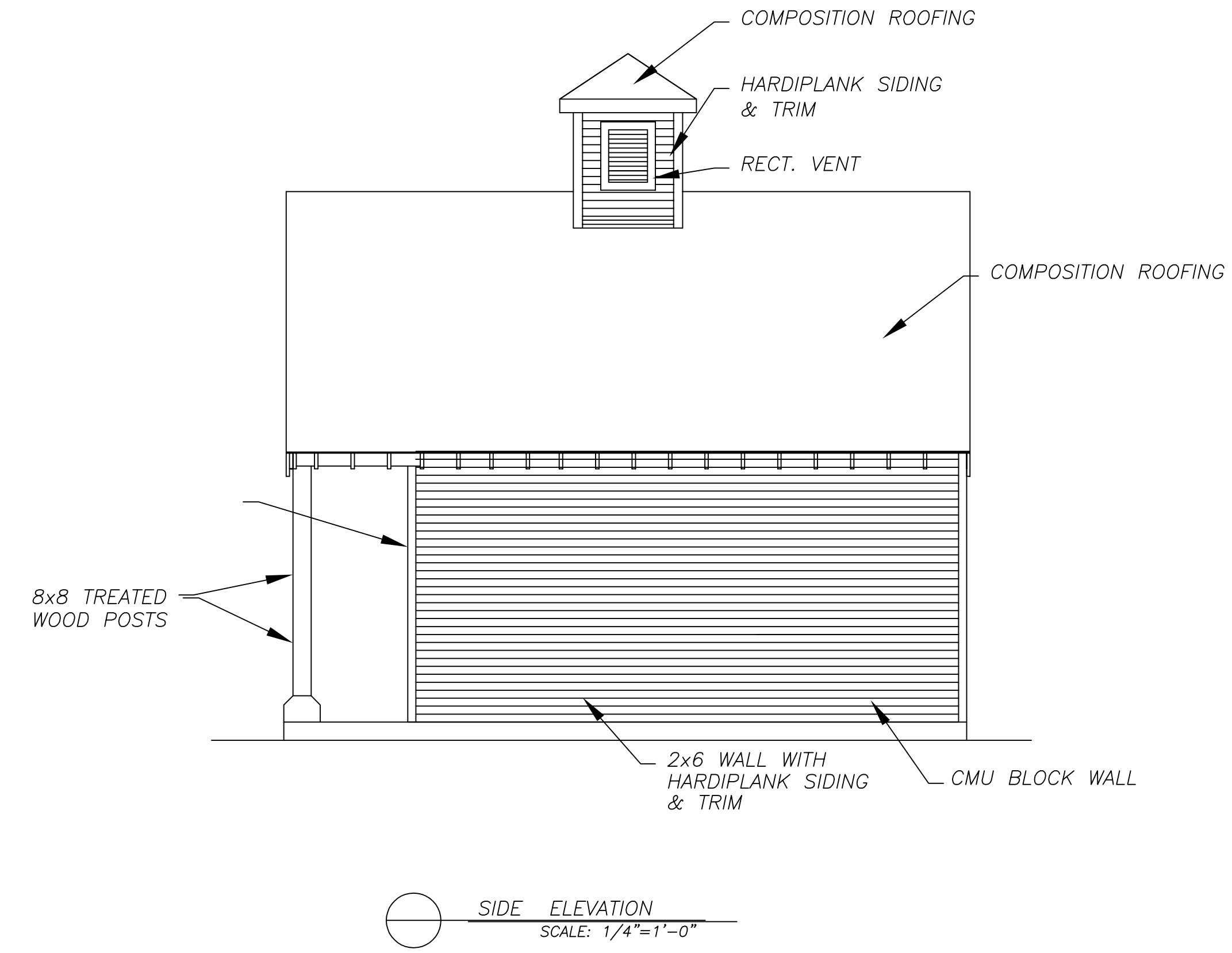
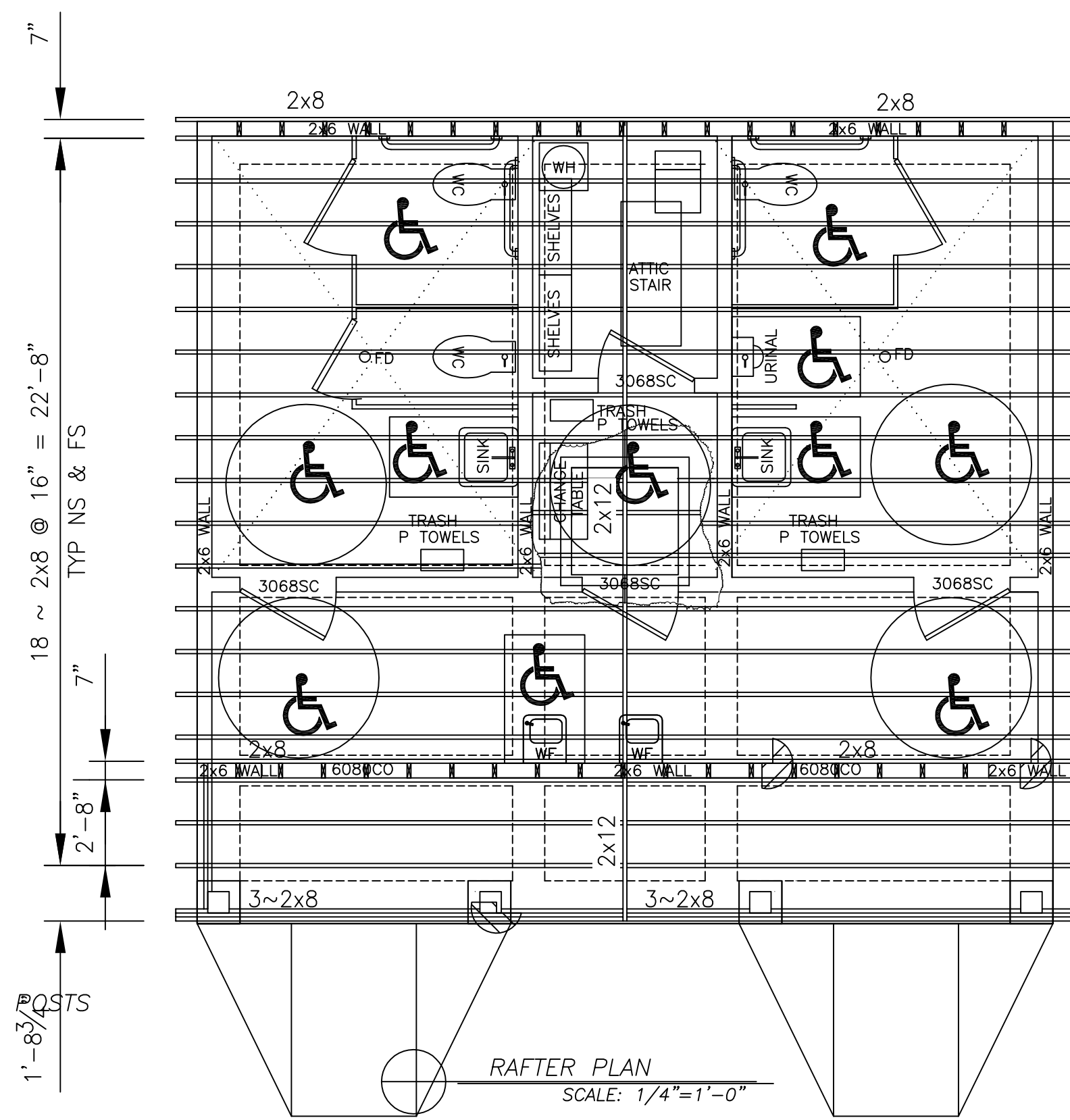
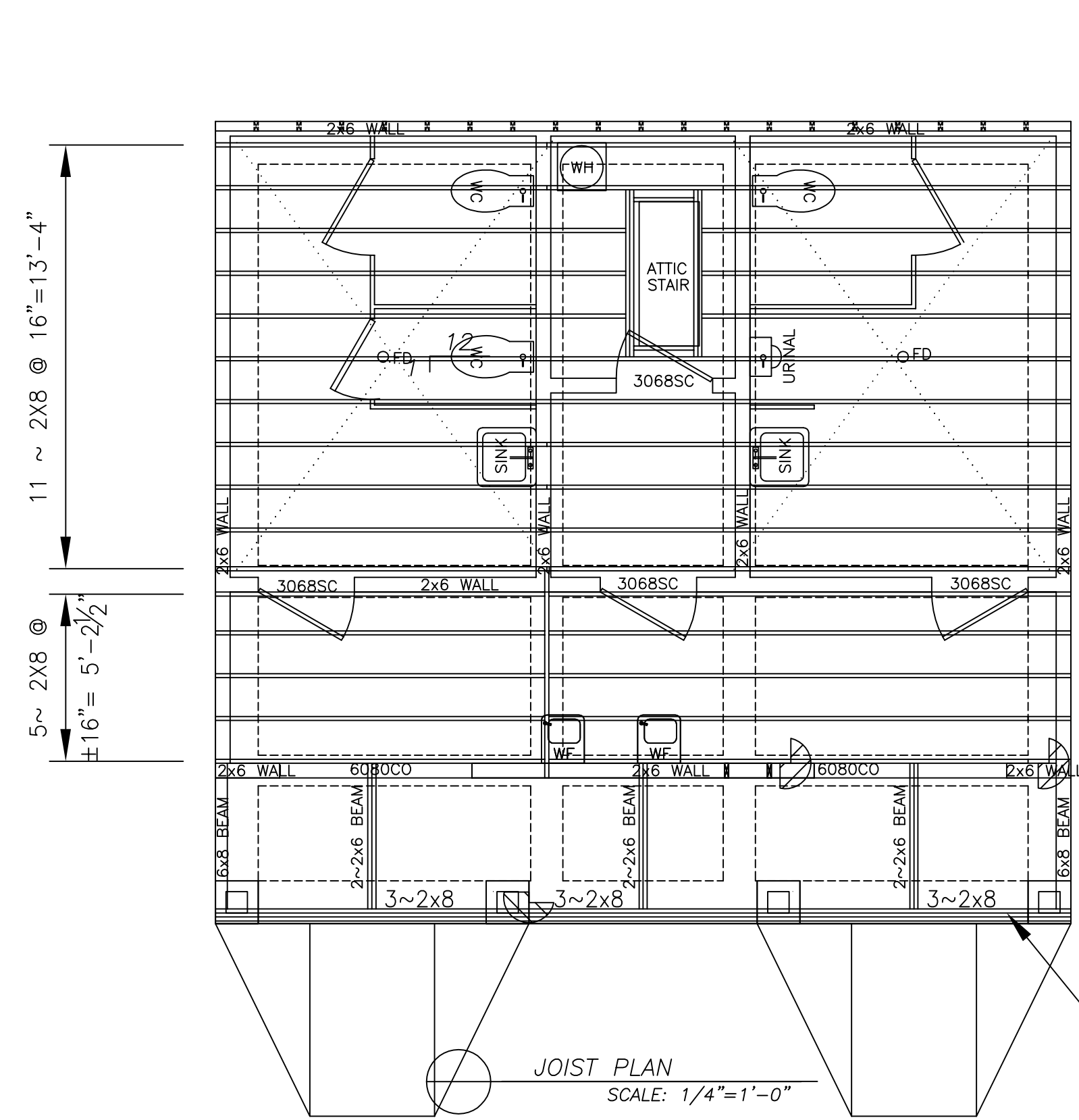
CONCRETE GENERAL NOTES

1. REBAR SHALL BE LAPPED A MINIMUM 30 BAR DIAMETERS.
2. REBAR LAPPS (WHEN NECESSARY) SHALL BE AS FOLLOWS:
TOP BARS: AT MID SPAN OF BEAM
BOTTOM BARS: AT BEAM INTERSECTION
3. ALL CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF $f_c = 3000$ PSI @ 28 DAYS (MINIMUM 5 SACKS OF CEMENT).
4. ALL REINFORCING BARS SHALL BE GRADE 60.

DWG. NO.	REFERENCE DWG.	REV	DSN	CK	DESCRIPTION

GINDER DESIGN
28423 FM 1097 WEST
MONTGOMERY, TX 77356
(936) 449-6052

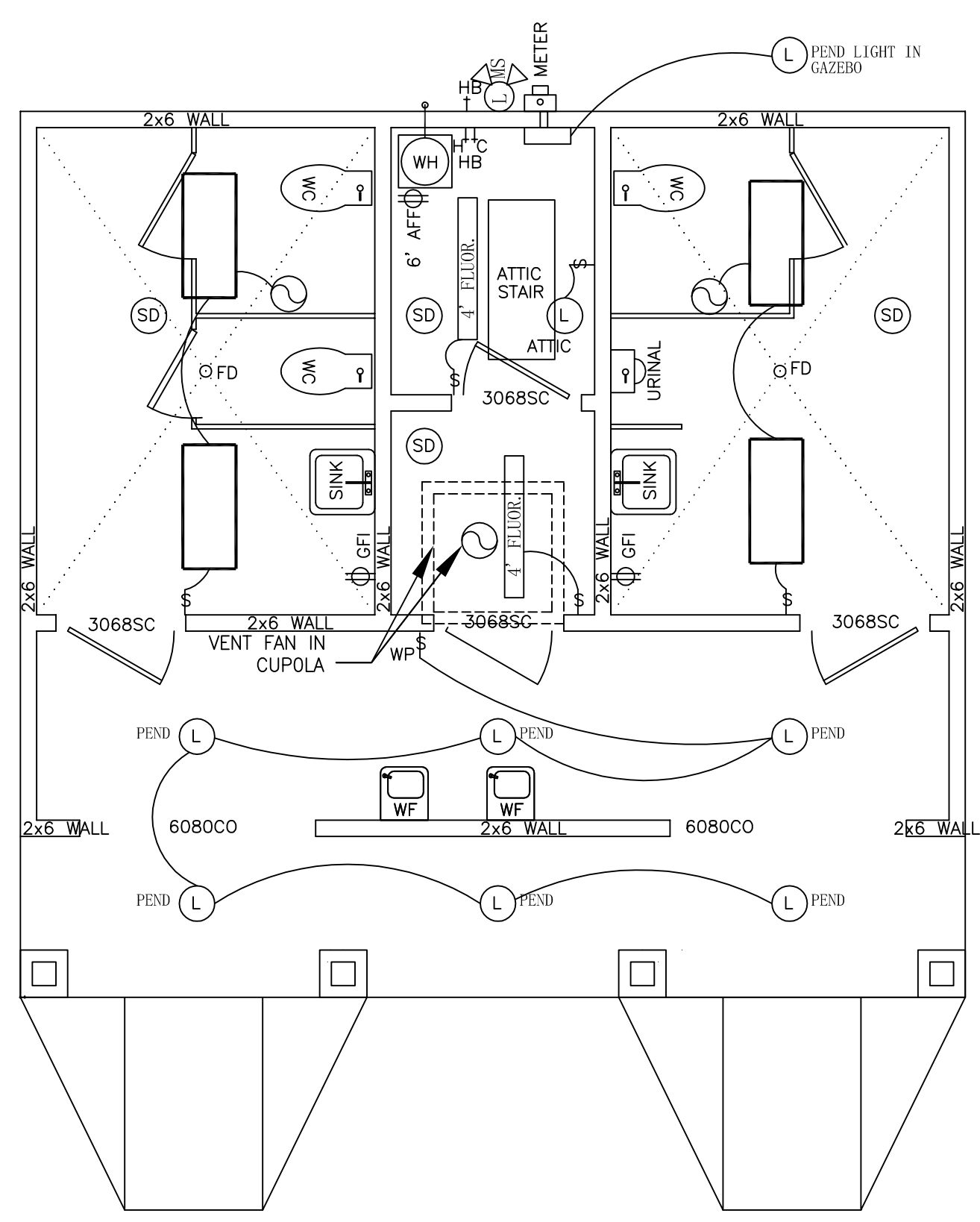
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YEAR: 2021	W.O.	SCALE: NTS	DWG. MM-003
			REV. 0



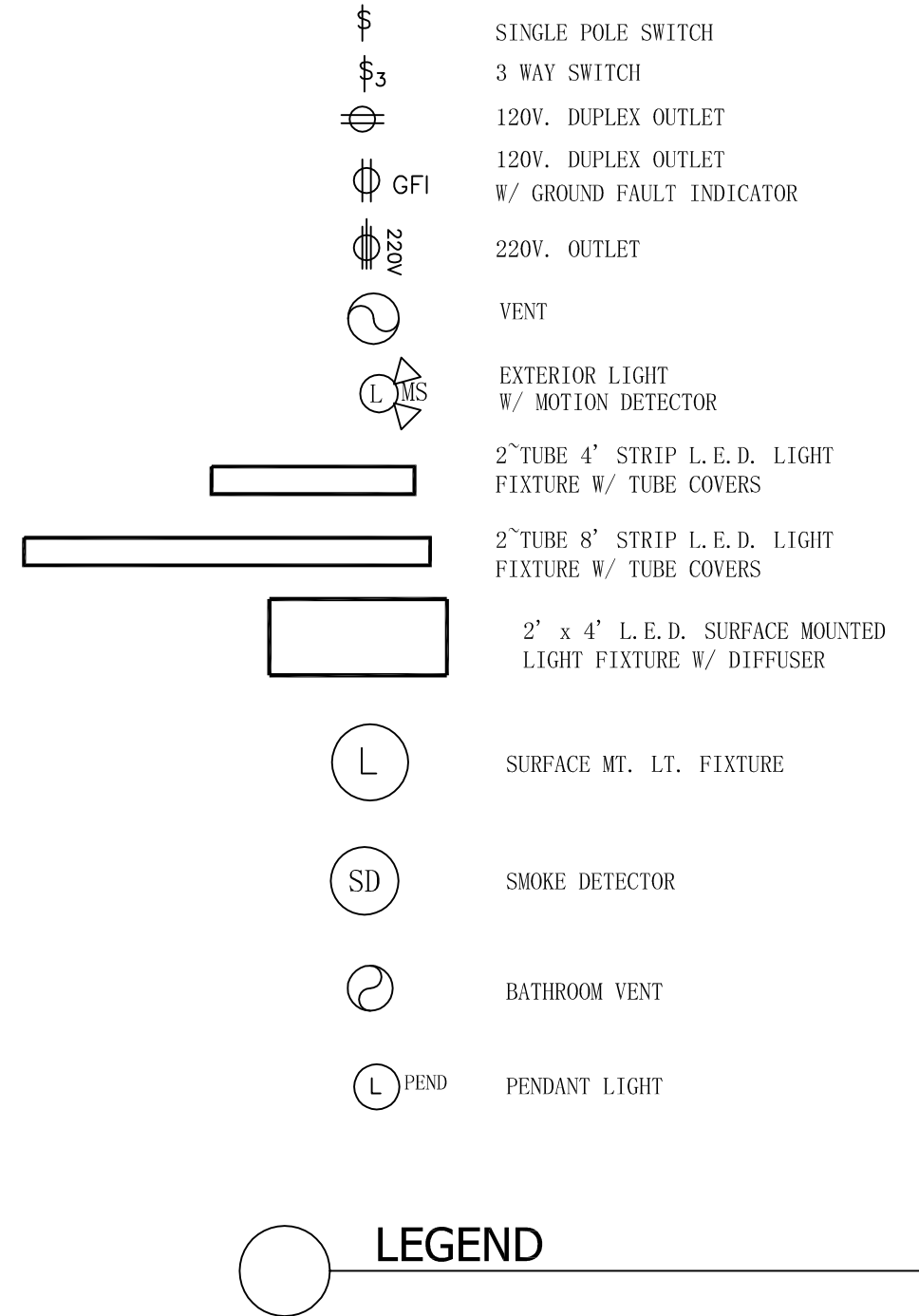
DWG. NO.	REFERENCE DWG.	REV	DSN	CK	DESCRIPTION

GINDER DESIGN
 28423 FM 1097 WEST
 MONTGOMERY, TX 77356
 (936) 449-6052

CEILING JOIST PLAN RAFTER PLAN & ELEVATIONS		MONTGOMERY MEMORIAL CEMETERY FM 1097 MONTGOMERY, TX 77356	
YEAR: 2020	W.O.	SCALE: NTS	MM-005
			REV. 0



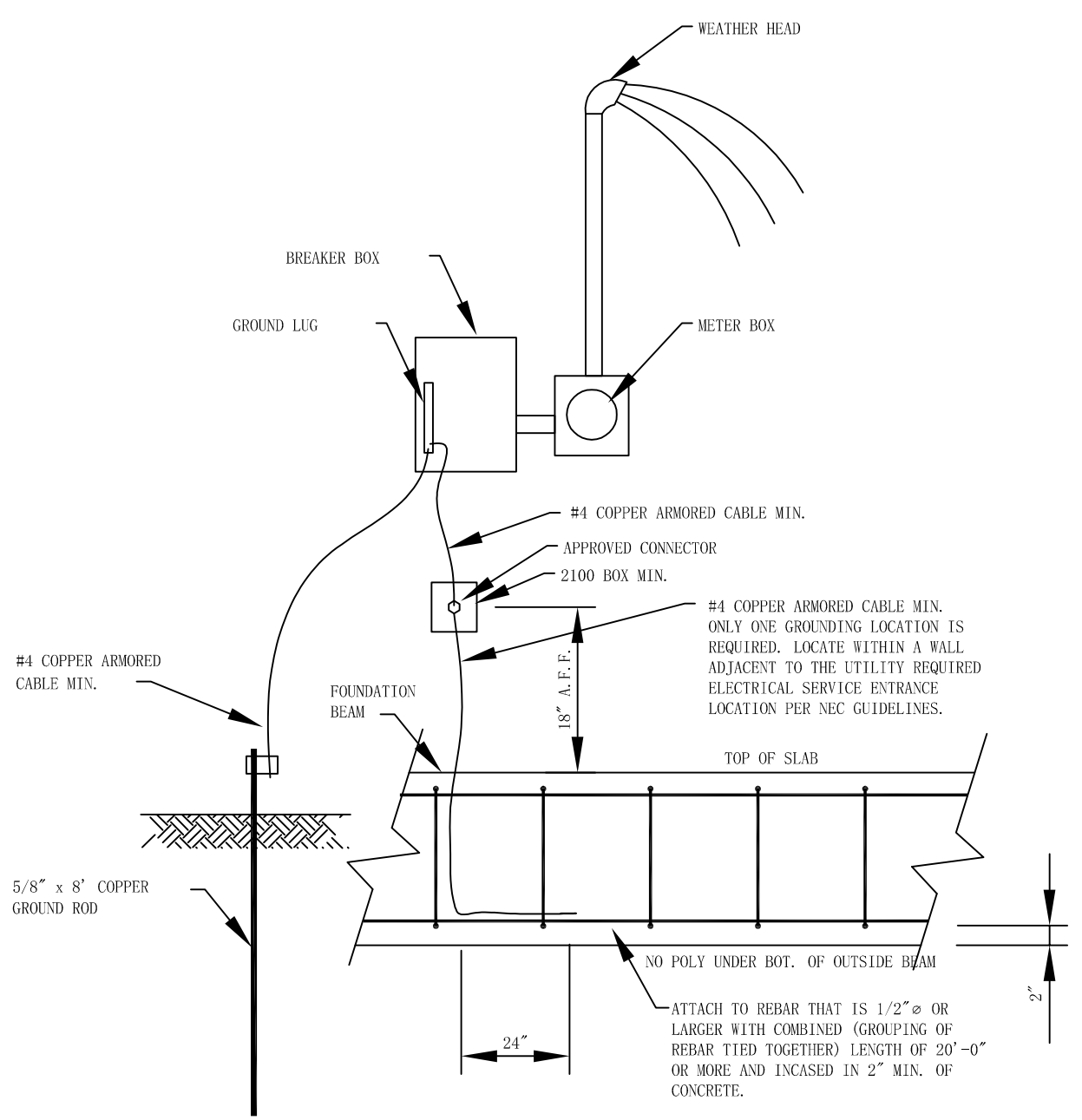
ELECTRICAL LEGEND



LEGEND



ELECTRICAL PLAN
Scale:



NOTE FOR POST TENSION FOUNDATIONS:
DO NOT ATTACH GROUNDING SYSTEM (DIRECTLY OR INDIRECTLY) TO THE POST TENSION REINFORCEMENT IN ANY WAY. ATTACH TO REBAR THAT IS 1/2" OR LARGER WITH A COMBINED GROUPINGS OF REBAR TIED TOGETHER LENGTH OF 20'-0" OR MORE AND ENCASED IN 2" MIN. OF CONCRETE.

SERVICE

NOTES:

- TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH THE OWNERS SPECIFICATION. EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THESE DRAWINGS AND SPECIFICATIONS TO AVOID MISTAKES. CONTRACTOR AND/OR OWNER SHALL VERIFY ALL DIMENSION, DETAILS, AND SPECIFICATIONS. DESIGNER WILL NOT BE LIABLE FOR HUMAN ERROR AFTER CONSTRUCTION STARTS. IN NO CASE SHALL DESIGNER BE LIABLE FOR MORE THAN THE COST OF THESE PLANS.
- DETAILS SHOWN ON THIS SET OF DRAWINGS SHOULD BE CONSIDERED AS MINIMUM. WE ASSUME NO RESPONSIBILITY FOR THE STRUCTURAL INTEGRITY OF THIS BUILDING.
- IN ORDER TO VERIFY AND INSURE THAT THERE ARE NO ENCROACHMENTS ON PROPERTY LINES, UTILITY EASEMENTS OR BUILDING LINES, A SURVEYOR SHOULD BE EMPLOYED TO VERIFY LOCATION OF BUILDING ON PLAT PRIOR TO START OF CONSTRUCTION.

NOTES:

- DESIGN IS BASED ON INFORMATION SUPPLIED BY PROPERTY REPRESENTATIVE.
- SELECT FILL SHALL CONSIST OF HOMOGENEOUS SOILS FREE OF ORGANIC MATTER AND POSSESSING AN ATTERBERG PLASTIC INDEX OF 12 PERCENT OR LESS, WITH A LIQUID LIMIT OF 20 PERCENT OR LESS.
- THE MATERIAL SHALL BE PLACED IN THE FOLLOWING MANNER:
 - REMOVE SURFICAL VEGETATION, WASTE AND SOIL. MINIMUM EXCAVATION SHOULD BE ON THE ORDER OF ONE FOOT, EXTENDING 10 FEET OUTSIDE THE BUILDING LIMITS. IN AREAS TO BE OVER EXCAVATED REMOVE SOIL TO INDICATE DEPTH. THE EXPOSED SUB-GRADE SHOULD BE PROOF-ROLLED TO DETECT SOFT AND PUMPING SOILS. ALL SOFT AND PUMPING SOILS SHOULD BE EXCAVATED TO STIFF SOIL.
 - SCAFFRY THE EXPOSED SUBGRADE TO A DEPTH OF SIX INCHES, ADJUST MOISTURE CONTENT, AND RECOMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DENSITY DEFINED IN ASTM D-698 (STANDARD PROCTOR).
 - PLACE SUBSEQUENT LIFTS OF SELECT FILL IN THIN, LOOSE LAYERS NOT TO EXCEED EIGHT INCHES IN THICKNESS TO THE DESIRED ROUGH GRADE AND COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DENSITY DEFINED BY ASTM D-698, MAINTAIN MOISTURE WITHIN TWO PERCENT OF THEORETICAL OPTIMUM.
 - PROVIDE FIELD DENSITY TESTS AT THE RATE OF ONE TEST PER 3000 SQUARE FEET FOR EVERY LIFT.
 - EXTREME DILIGENCE SHOULD BE MAINTAINED DURING CONSTRUCTION TO PREVENT EXCESSIVE LOSS OF MOISTURE CONTENT.
 - FOR SELECT FILL PLACED ABOVE THE EXISTING NATURAL GRADE, EXTEND THE LATERAL LIMITS OF THE FILL 10 FEET BEYOND THE BUILDING LIMITS AND TRANSITION TO EXISTING GRADE ON A 3:1 SLOPE (HORIZ:VERT).
- SITE PREPARATION
 - CARE SHOULD BE TAKEN TO SHAPE THE SITE SUCH THAT WATER WILL NOT POND 10 FOOT OF THE BUILDING LINES. DILIGENCE IN CONTROLLING THE MOISTURE CONTENT IN THE IMMEDIATE BUILDING AREA IS REQUIRED.
- REBAR SHALL BE LAPPED A MINIMUM 30 BAR DIAMETERS.
- ALL CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS (5 SACK MIN.)
- ALL REINFORCING BARS SHALL BE GRADE 60.
- ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH ACI CODE, LATEST EDITION.
- CONCRETE SHALL BE PLACED TRUE AND LEVEL (0.10") WITH A STEEL TROWEL FINISH.
- SOIL REPORT NOTES ON SITE PREPARATION SHALL TAKE PRECEDENCE OVER NOTES ON THIS DRAWING.

NOTES:

- ALL SIDING SHALL BE HARDPLANK OR EQUAL.
- EXTERIOR DOORS SHALL BE METAL (SELECTED BY OWNER). INTERIOR DOORS SHALL BE METAL.
- DRAIN, WASTE & VENT PIPES SHALL BE SCH. 40 PVC. WATER PIPES SHALL BE COPPER LOOPED UNDER SLAB IN POLY TUBING AND HARD COPPER IN WALLS. ALL CONNECTION SHALL BE LEAD FREE.
- CONTRACTOR SHALL PAINT/SEAL AROUND ALL PIPES, ELECTRIC WIRING, WINDOWS, BASEPLATES & ETC.
- SHEETROCK SHALL HAVE AN ORANGE PEEL FINISH ON CEILING WITH 2 COATS OF GLOSS LATEX PAINT.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE, LATEST EDITION & CITY OF MONTGOMERY BUILDING CODE.
- ALL WIRING SHALL BE COPPER #12 MIN.
- ELECTRICAL SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE, LATEST EDITION.
- ALL INTERIOR ROOMS SHALL HAVE SMOKE/HEAT DETECTOR'S THAT OPERATE ON 115V W/ BATTERY BACK-UP. ALL ALARMS SHALL BE WIRED SO THAT WHEN ONE ALARM IS ACTIVATED ALL ALARMS SOUND ALARM.
- PROVIDE TERMITE PROTECTION OVER COMPACTED OR GRANULAR FILL PER CODE.
- PROVIDE ATTIC VENTILATION EQUAL TO ONE SQ. FT. PER 150 SQ. FT. OF ATTIC OR PER LOCAL BUILDING CODE.

GENERAL NOTES

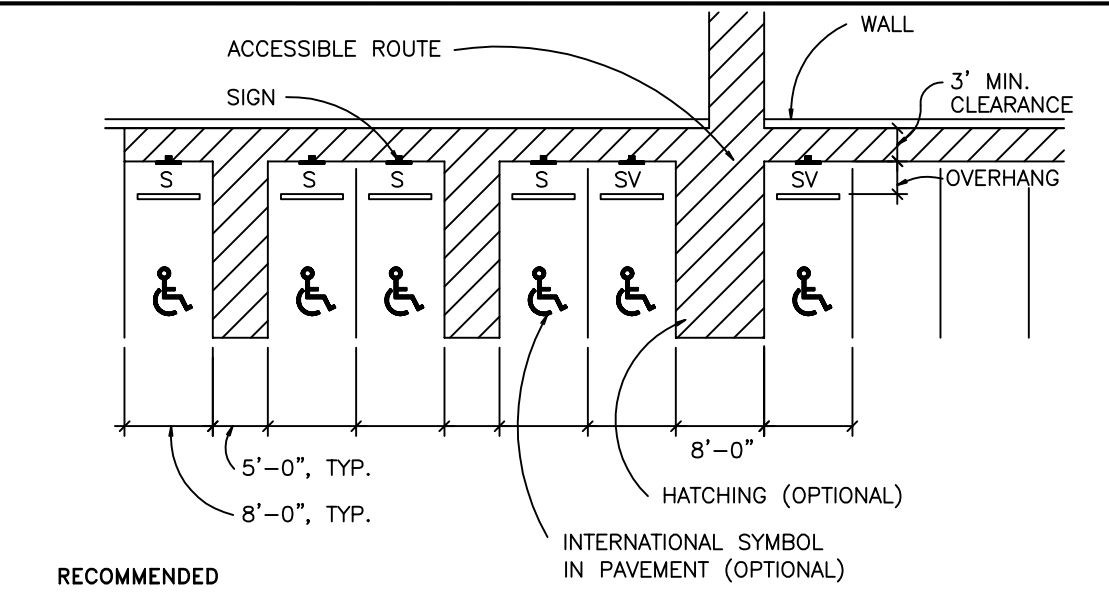
DWG. NO.	REFERENCE DWG.	REV	DSN	CK	DESCRIPTION

GINDER DESIGN
28423 FM 1097 WEST
MONTGOMERY, TX 77356
(936) 449-6052

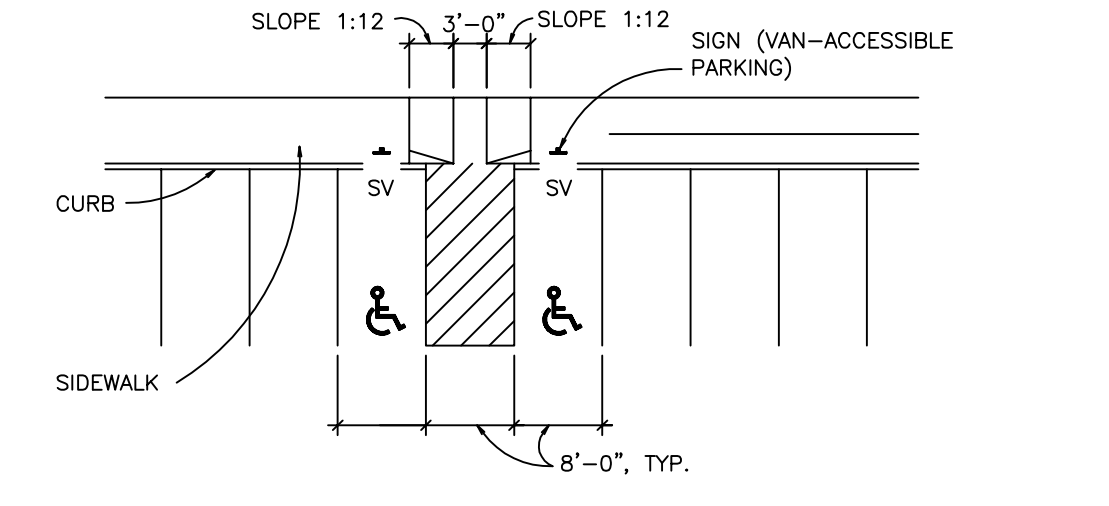
ELECTRICAL PLAN, DETAILS
& GENERAL NOTES

MONTGOMERY MEMORIAL
CEMETERY
FM 1097
MONTGOMERY, TX 77356

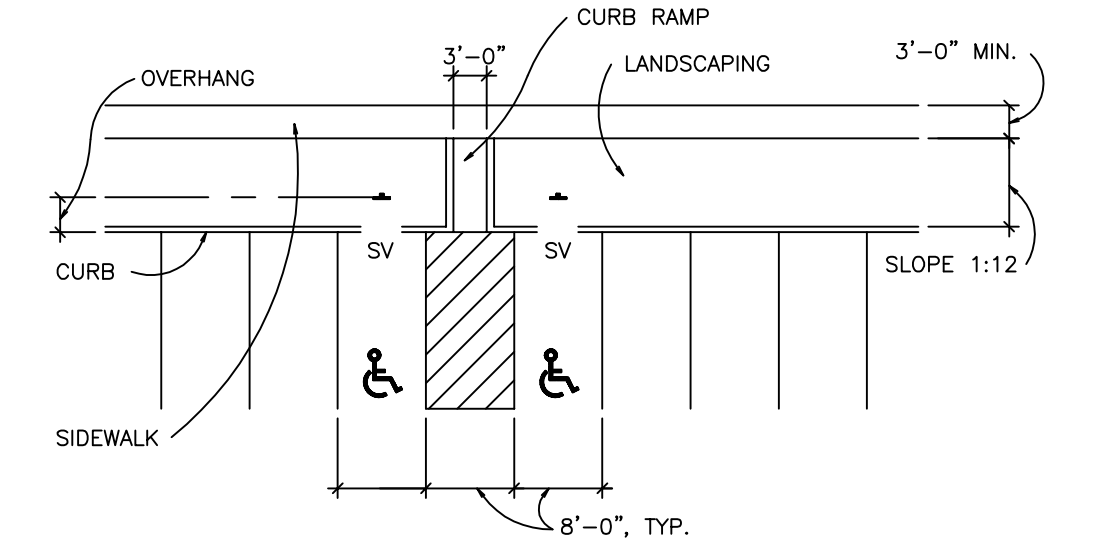
YEAR: 2021	W.O.	SCALE: NTS	DWG. MM-004	REV. 0
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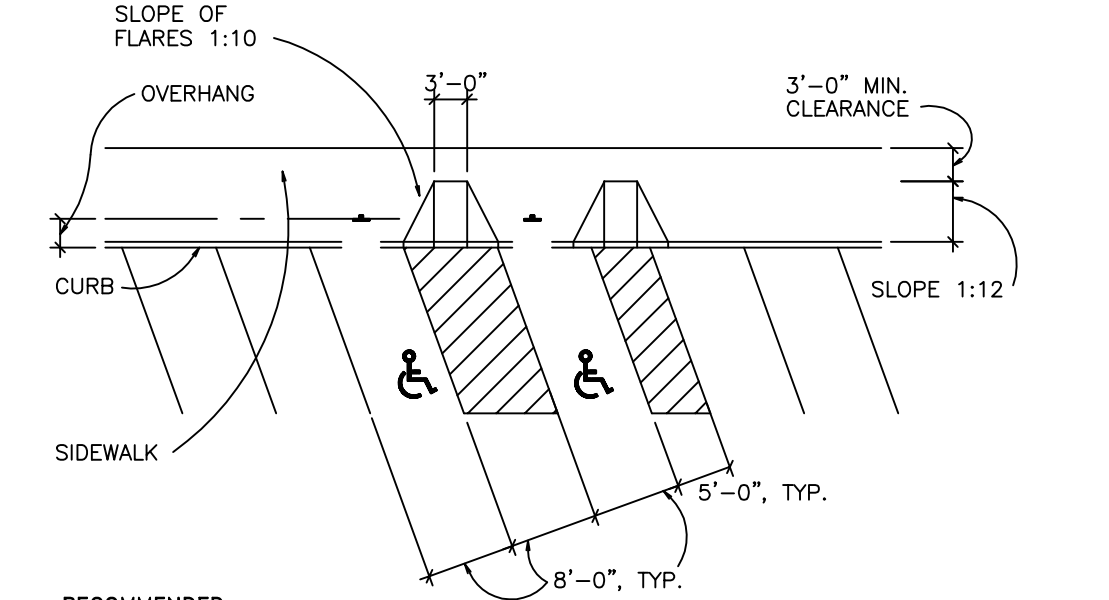
RECOMMENDED



RECOMMENDED

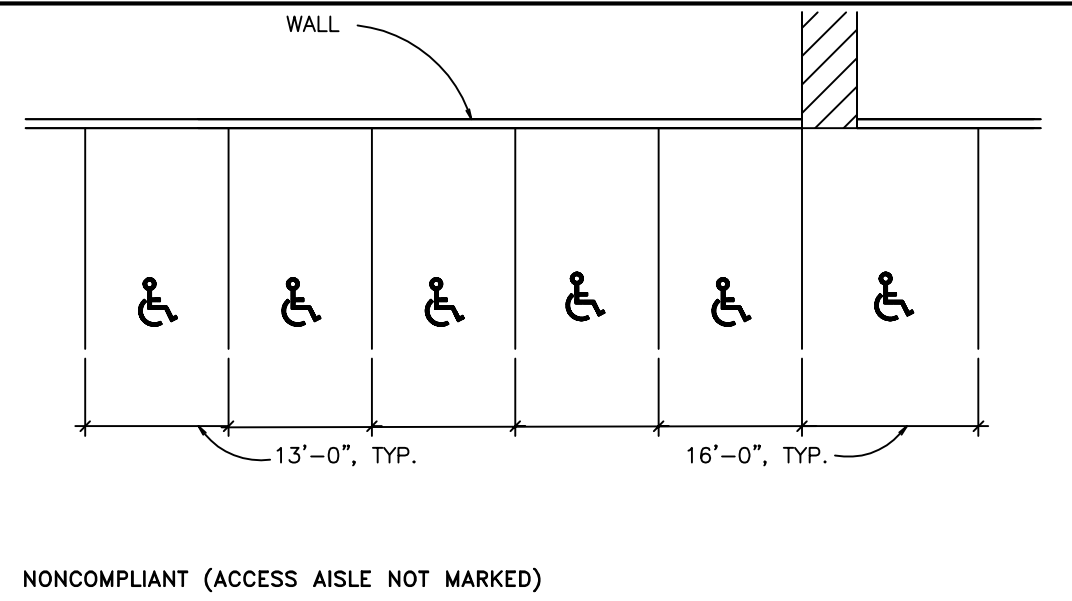


RECOMMENDED

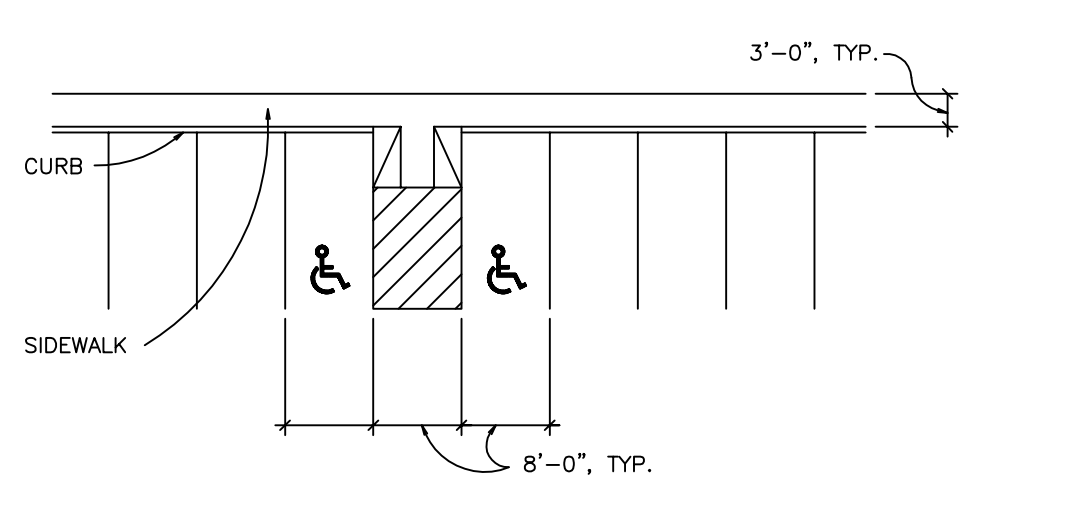


RECOMMENDED

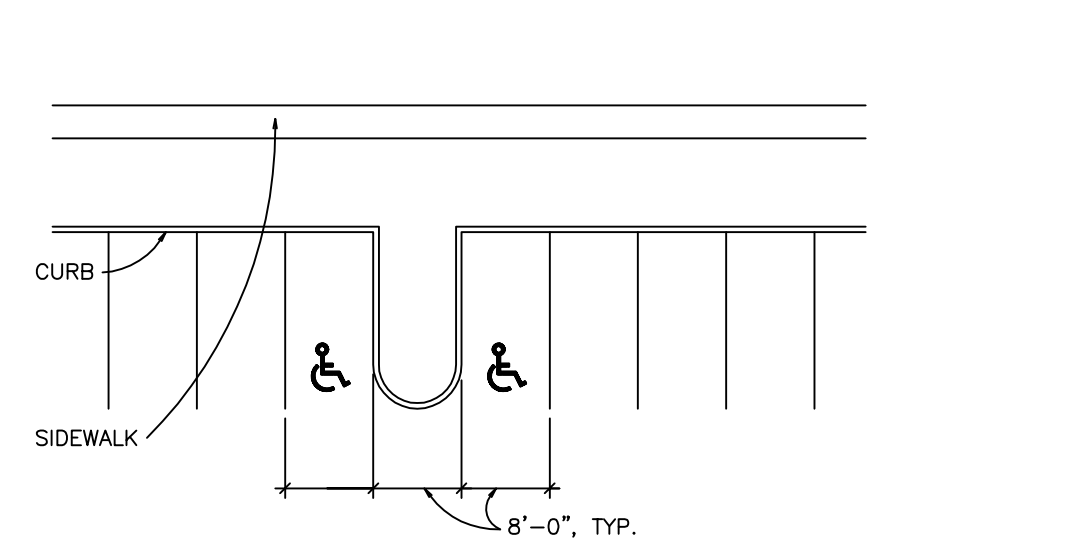
NOTE
S--accessible parking sign; SV--van-accessible parking sign.



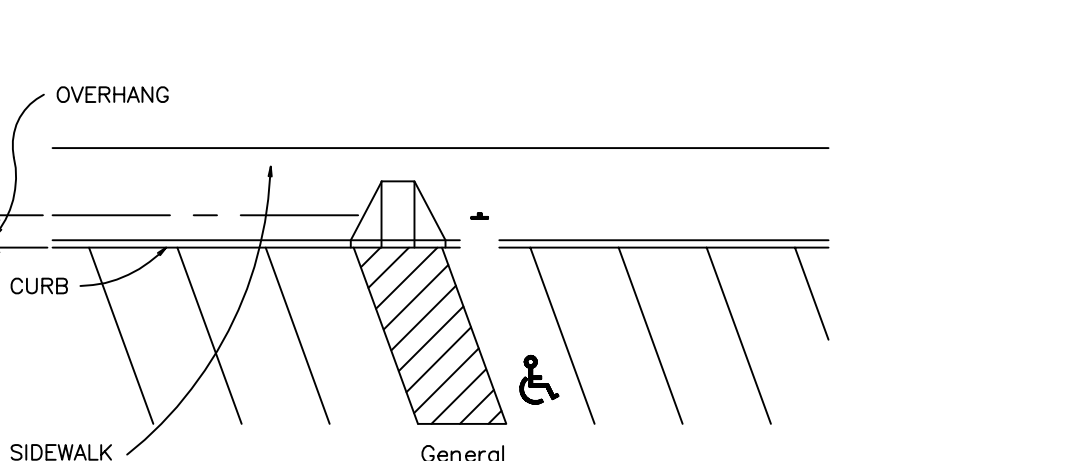
NONCOMPLIANT (ACCESS AISLE NOT MARKED)



NONCOMPLIANT (RAMP IN ACCESS AISLE)



NONCOMPLIANT (ACCESS AISLE NOT AT SAME LEVEL AS STALL)



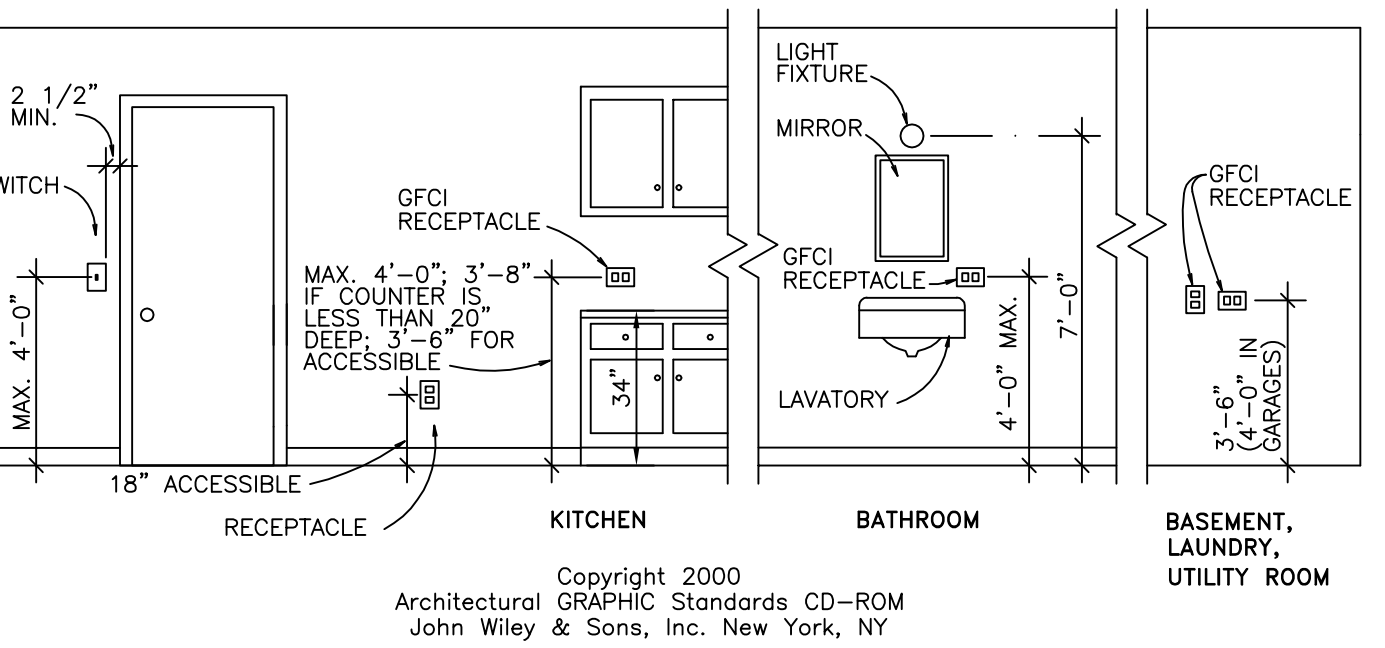
NONCOMPLIANT (ACCESS AISLE ON WRONG SIDE FOR VAN)

General

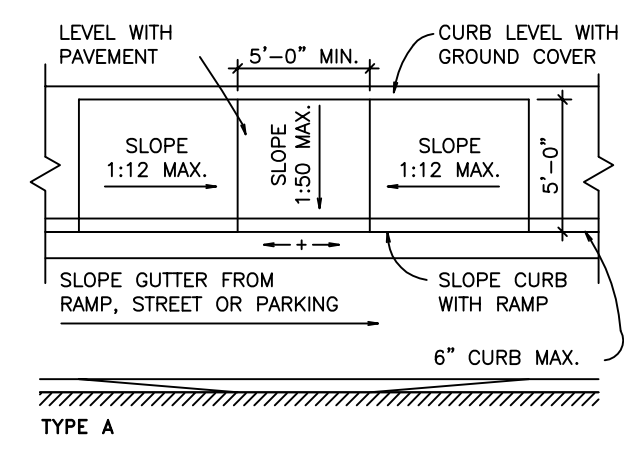
The information on "Accessible Parking" conforms to the Americans with Disabilities Act Accessibility Guidelines for Buildings and Facilities (36 CFR 1191, July 26, 1991), also known as ADAAG, and Bulletin No. 6: Parking (February 1994), both issued by the Architectural and Transportation Barriers Compliance Board. State and local requirements may differ, but ADA requires that designs conform to the higher requirement.

Notes

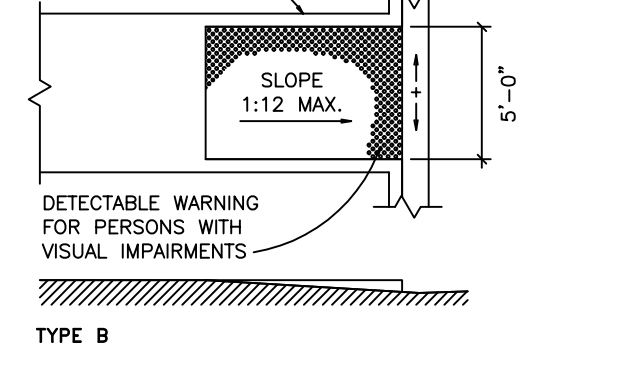
1. Accessible parking stalls should be 8 ft wide with an adjacent 5-ft access aisle. No special clearance is required for these stalls.
2. Van-accessible stalls should be 8 ft wide with an adjacent 8-ft access aisle accessible from the passenger side of the vehicle. (Backing into 90 degrees stalls from a two-way aisle is an acceptable method of achieving this.) Vehicular clearance along the path of travel to and from a van-accessible stall should be 8 ft 2 in. In parking structures, van-accessible stalls may be grouped on a single level.
3. It is permissible for all required accessible stalls to conform with Universal Parking Design guidelines. Since vans may use any accessible stall in this arrangement, universal stalls must have 8 ft 2 in. vehicle clearance.
4. Access aisles should be delineated separately from parking spaces. Access aisles must be at the same level as parking stalls (not above, at sidewalk height). Required curb ramps cannot be located in access aisles. Two spaces may share a single access aisle (except when van stalls require passenger-side access in one-way designs).
5. Parking spaces and access aisles should be level with surface slopes not exceeding 1:50 (2%) in any direction.
6. The stalls required for a specific facility may be relocated to another location if equivalent or greater accessibility in terms of distance, cost, and convenience is ensured.
7. Accessible stalls in the numbers shown in the accompanying table must be included in parking facilities leased or 100% reserved for employees. However, they need not be reserved for accessible parking (i.e., they need not be marked with signs) until or unless an employee with a disability needs the stall in that location.
8. Provide an accessible route from accessible parking stalls to the destination. This should make it possible for persons in wheelchairs to travel without rolling down parking aisles past more than one parked vehicle (other than their own). Crossing a parking aisle at 90 degrees is preferable to rolling down a parking aisle.
9. Provide signs at accessible stalls to reserve the spaces for individuals with disabilities; pavement markings alone are not acceptable. Signs need not be provided for every accessible stall if they clearly delineate the accessible parking spaces.
10. Requirements are per lot, not by total facility parking.



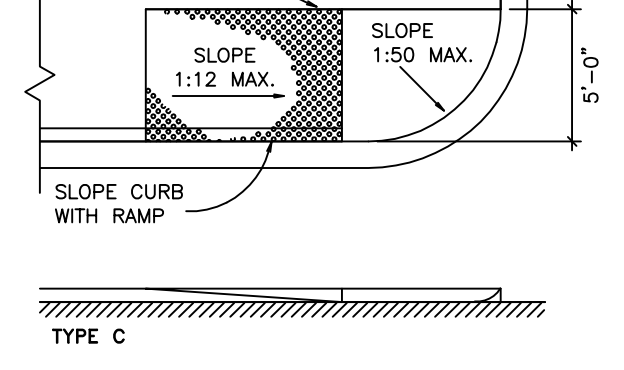
RECOMMENDED



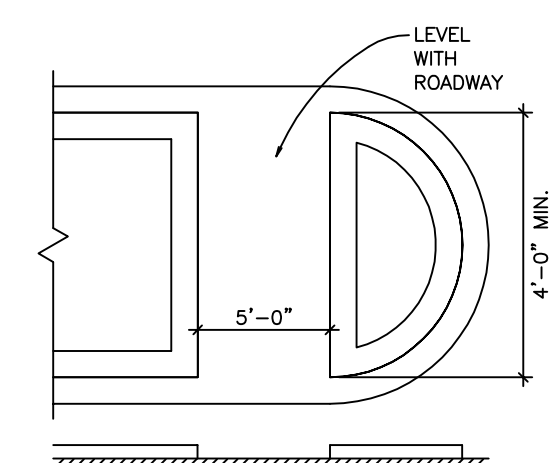
TYPE A



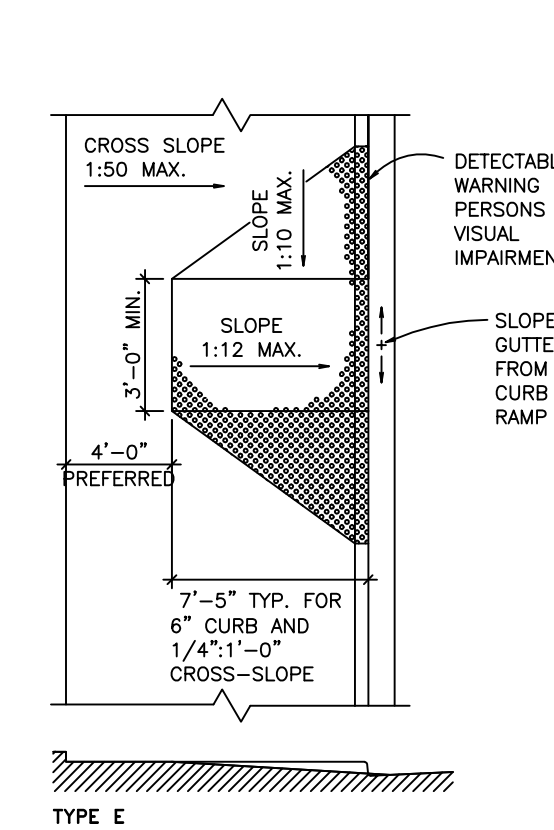
TYPE B



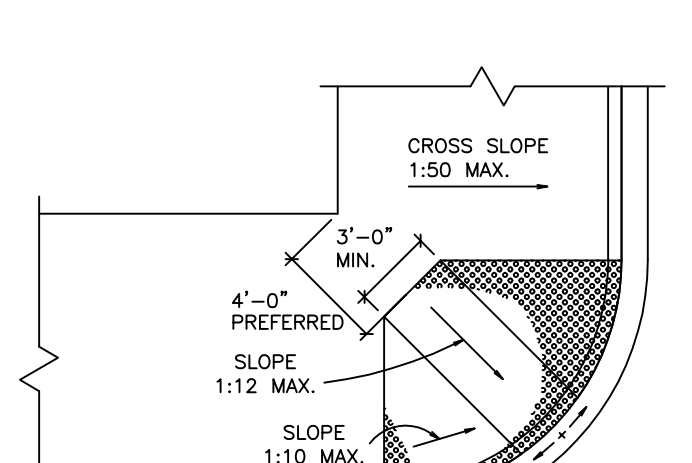
TYPE C



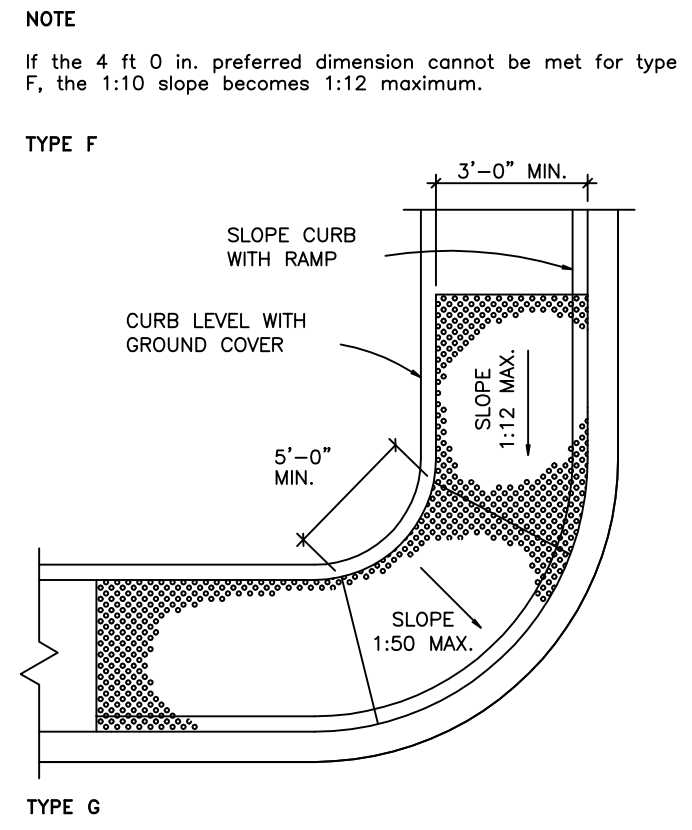
TYPE D



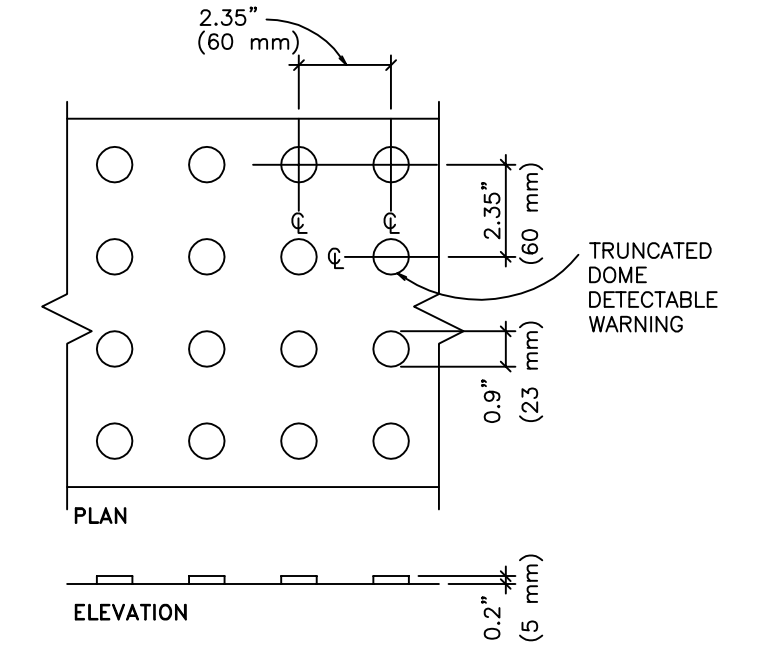
TYPE E



TYPE F



TYPE G



TRUNCATED DOME DETECTABLE WARNING

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NOTE
If the 4 ft 0 in. preferred dimension cannot be met for type F, the 1:10 slope becomes 1:12 maximum.

Note
Detectable warnings are required at passenger transit platforms whose edges border a drop-off where no screen or guard is provided. The detectable warning should be a 24-in. (610 mm) wide strip of truncated domes, contrasting with the adjacent walking surface.

ADAAG requirements for detectable warnings at hazardous vehicular ways and reflecting pools have been suspended.

Notes

1. Provide ramps as necessary at accessible route, slopes greater than 1:20 are considered ramps.
2. Landings should be level at top and bottom of ramp run and at least as wide as the run leading to it. A 60 x 60 in. landing is required where ramp changes direction. Provide level maneuvering clearances if there is a door at the landing.
3. Handrails are required on both sides when rise is greater than 6 in.
4. Edge protection is required at ramps and landings that drop off. Refer to local building codes for guardrail requirements.
5. Design outdoor ramps and approaches so that water will not accumulate on surface. The maximum cross slope is 1:48.

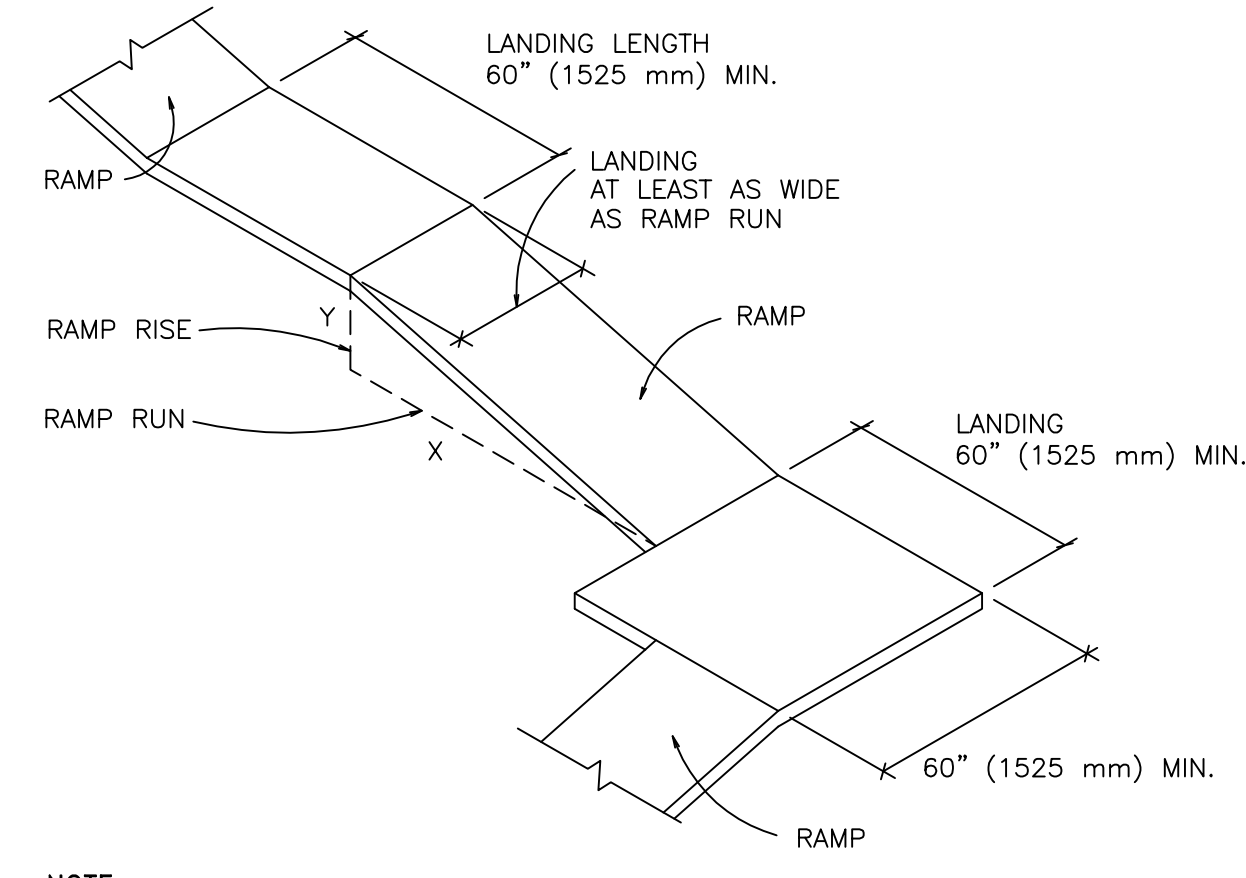
Notes

1. Dimensions are based on 1998 ANSI A117.1
2. Provide continuous handrails at both sides of ramps and stairs and at the inside handrail of switchback or dogleg ramps and stairs.
3. If handrails are not continuous at bottom, top, or landings, provide handrail extensions as shown in the ramp and stair example; ends of handrails to be rounded or returned smoothly to floor, wall, or post.
4. Provide handrails of size and configuration shown and gripping surfaces uninterrupted by newel posts or other construction elements; handrails shall not rotate within their fittings.

Note

Ramp and ramp landing edge protection can be any configuration that will prevent the passage of a 4 in. (100 mm) sphere, where any portion of the sphere is within 4 in. (100 mm) of the ramp or landing surface.

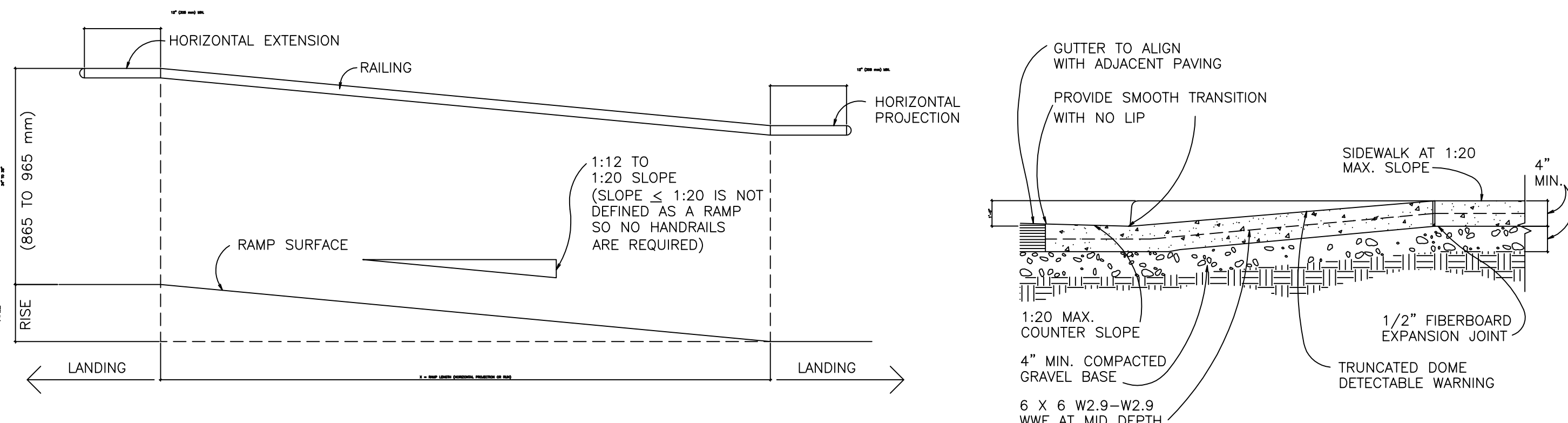
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NOTE

Handrails and ramp edge protection are not shown in this drawing for clarity.

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NOTE
Slope = Y:X, where X is a level plane.

DWG. NO.	REFERENCE DWG.	REV	DSN	CK	DESCRIPTION

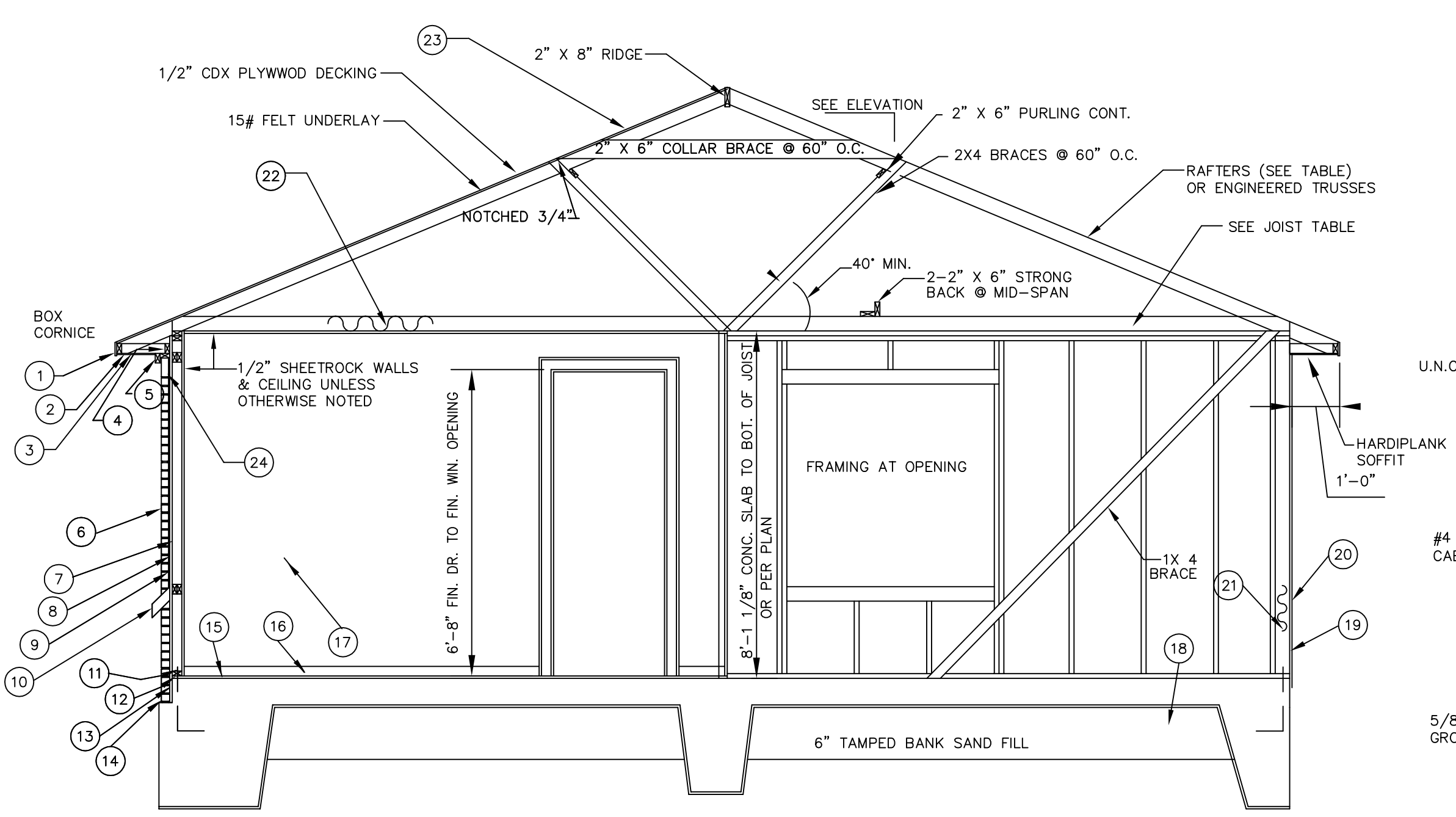
GINDER DESIGN
28423 FM 1097 WEST
MONTGOMERY, TX 77356
(936) 449-6052

ADA STANDARDS

YEAR: 2021 W.D. SCALE: NTS

MONTGOMERY MEMORIAL
CEMETERY
FM 1097
MONTGOMERY, TX 77356

DWG. ADA-002 REV. 0



- BRICK VENEER**
- 1 1" x 6" FACIA
 - 2 SOFFIT 3/8" EXTERIOR GRADE PLYWOOD OR 1 X 6 OR HARDIPLANK SOFFIT
 - 3 CUT OUT VENTS - 1/8" MESH SCREEN, OR HARDIPLANK PERFORATED SOFFIT
 - 4 2 X 4 CONTINUOUS NAILERS & OUTLOOKERS
 - 5 1" FREEZE BOARD
 - 6 BRICK VENEER
 - 7 AIR SPACE
 - 8 DENNY BOARD, INSULATION BOARD OR 1/2" PLYWOOD
 - 9 G.I. WALL TIES EACH 2 SQ. FT.
 - 10 BRICK SILL
 - 11 1/2" Ø ANCHOR BOLTS @ 5'-0"
 - 12 TREATED 2" X 4" CONT. SILL PLATE
- SECTION THRU HOUSE**
- 13 2 PLY 15# FELT BRICK TO 12" UP WALL
 - 14 WEEP HOLES EACH 3RD BRICK @ 1ST COURSE
 - 15 CARPET & PAD ON CONCRETE (SEE PLAN FOR OTHERS)
 - 16 BASE MOULDING
 - 17 1/2" SHEETROCK WALLS & CEILING - 5/8" FIRECORE @ GARAGE- WATERPROOF @ BATHS & UTILITY ROOMS
 - 18 6 MIL POLYETHYLENE MEMBRANE
 - 19 15# FELT UNDERLAY
 - 20 SEE ELEVATIONS FOR SIDING
 - 21 R-13" FIBERGLASS WALL INSULATION BATTS
 - 22 R-30 FIBERGLASS CEILING INSULATION BATTS
 - 23 THREE TAB COMPOSITION ROOFING (20 YEAR) CONTINUOUS RIDGE VENTS
 - 24 SOLDIER COURSE OF BRICK
- FRAME**
- FRAMING NOTES:**
 2 X 4 STUDS, DBL. @ 0'PNG. TRIPLED @ CORNERS & INTERSECTIONS PLATES TO BE LAPPED @ CORNERS & INTERSECTIONS
 1 X 4 CORNER BRACES @ 45° OR FULL SHEET 1/2" PLYWOOD
 2 X 4 STUDS @ 16" O.C.
 2 X 4 TR. CONT. SILL PLATE
 2 X 4 CONT. DBL. TOP PLATE

LINTEL SCHEDULE-BEARING PART.

BEAM	MAX SPAN
2-2X4'S ON EDGE	3'-6"
2-2X6'S ON EDGE	6'-0"
2-2X8'S ON EDGE	8'-0"
2-2X10'S ON EDGE	10'-0"
2-2X12'S ON EDGE	12'-0"
1-3 1/2" X 11 7/8" GANG LAM	16'-0"

CEILING JOISTS MAX SPAN

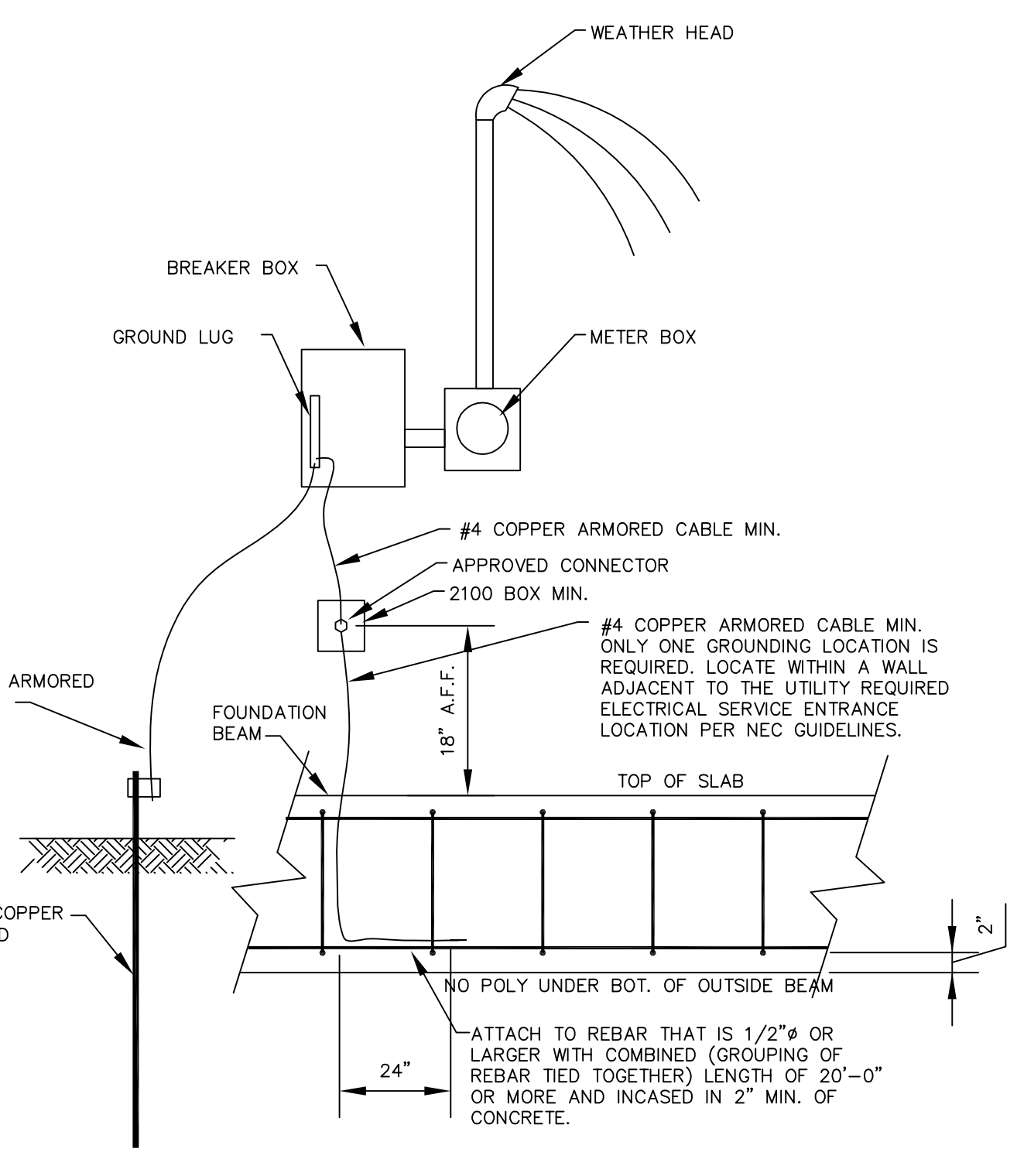
5# D.L.	10# L.L.
GRADE NO. 2 @ 16" O.C.	
2 X 6 - 13'-6"	
2 X 8 - 17'-2"	
2 X 10 - 20'-3"	

UNLESS NOTED ON DWGS.

GENERAL NOTES
 THESE APPLY UNLESS OTHERWISE NOTED.
 1. 3 1/2" DROP IN SLAB @ PORCHES & SLOPE AWAY FROM HOUSE.
 2. INSTALL GUTTERS OVER ALL WALKWAYS.
 3. ATTIC ACCESS 30" X 30" MIN.
 4. MIN. 2 - EXT. HOSE BIBS.
 5. VENT BATHS WITH NO WINDOW.
 6. TUB ACCESS GRILLE R.O. 15" SQ.

RAFTER MAX SPAN

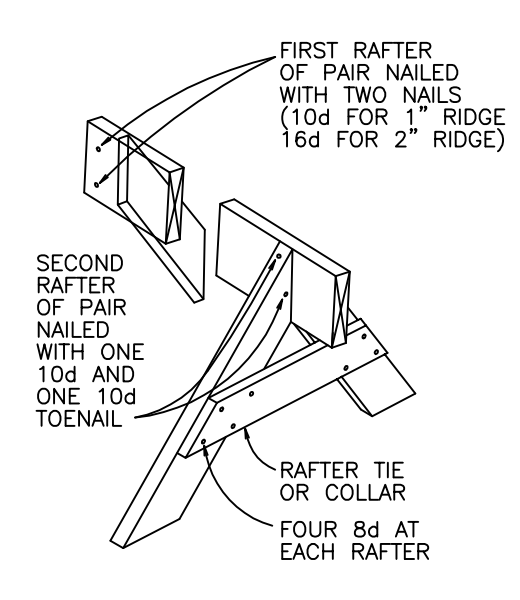
GRADE NO.	3 @ 19" O.C.
LIGHT ROOFING	
2 X 6 - 10'-8"	
2 X 8 - 13'-7"	



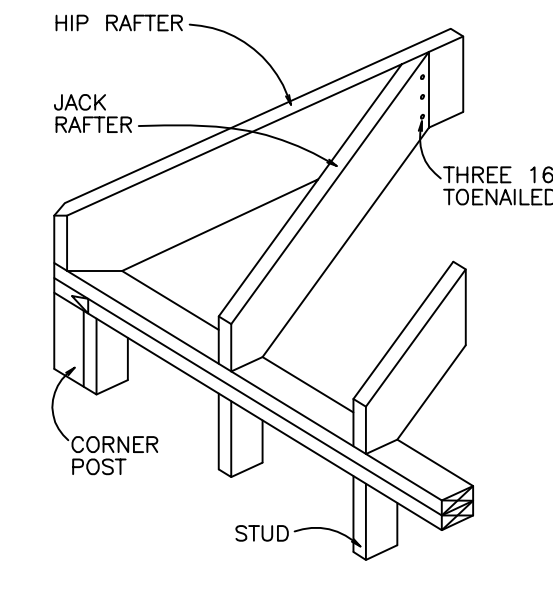
NOTE FOR POST TENSION FOUNDATIONS:
 DO NOT ATTACH GROUNDING SYSTEM (DIRECTLY OR INDIRECTLY) TO THE POST TENSION REINFORCEMENT IN ANY WAY. ATTACH TO REBAR THAT IS 1/2" Ø OR LARGER WITH A COMBINED (GROUPINGS OF REBAR TIED TOGETHER) LENGTH OF 20'-0" OR MORE AND ENCASED IN 2" MIN. OF CONCRETE.

- NOTES:**
- DESIGN IS BASED ON INFORMATION & RECOMMENDATIONS BY ENGINEER
 - SELECT FILL SHALL CONSIST OF HOMOGENEOUS SOILS FREE OF ORGANIC MATTER AND POSSESSING AN ATTERBERG PLASTIC INDEX OF 12 PERCENT OR LESS, WITH A LIQUID LIMIT OF 30 PERCENT OR LESS.
 - THE MATERIAL SHALL BE PLACED IN THE FOLLOWING MANNER:
 - REMOVE SURFICAL VEGETATION, WASTE AND SOIL. MINIMUM EXCAVATION SHOULD BE ON THE ORDER OF ONE FOOT, EXTENDING 10 FEET OUTSIDE THE BUILDING LIMITS. IN AREAS TO BE OVER EXCAVATED, REMOVE SOIL TO INDICATE DEPTH. THE EXPOSED SUB-GRADE SHOULD BE PROOF-ROLLED TO DETECT SOFT AND PUMPING SOILS. ALL SOFT AND PUMPING SOILS SHOULD BE EXCAVATED TO STIFF SOIL.
 - SCARIFY THE EXPOSED SUBGRADE TO A DEPTH OF SIX INCHES. ADJUST MOISTURE CONTENT, AND RECOMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DENSITY DEFINED IN ASTM D-698 (STANDARD PROCTOR).
 - PLACE SUBSEQUENT LIFTS OF SELECT FILL IN THIN, LOOSE LAYERS NOT TO EXCEED EIGHT INCHES IN THICKNESS TO THE DESIRED ROUGH GRADE AND COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DENSITY DEFINED BY ASTM D-698, MAINTAIN MOISTURE WITHIN TWO PERCENT OF THEORETICAL OPTIMUM.
 - PROVIDE FIELD DENSITY TESTS AT THE RATE OF ONE TEST PER 3000 SQUARE FEET FOR EVERY LIFT.
 - EXTREME DILIGENCE SHOULD BE MAINTAINED DURING CONSTRUCTION TO PREVENT EXCESSIVE LOSS OF MOISTURE CONTENT.
 - FOR SELECT FILL PLACED ABOVE THE EXISTING NATURAL GRADE, EXTEND THE LATERAL LIMITS OF THE FILL 10 FEET BEYOND THE BUILDING LIMITS AND TRANSITION TO EXISTING GRADE ON A 3:1 SLOPE (HORIZ:VERT).
 - SITE PREPARATION:
 - CARE SHOULD BE TAKEN TO SHAPE THE SITE SUCH THAT WATER WILL NOT POND 10 FOOT OF THE BUILDING LINES. DILIGENCE IN CONTROLLING THE MOISTURE CONTENT IN THE IMMEDIATE BUILDING AREA IS REQUIRED.
 - REBAR SHALL BE LAPPED A MINIMUM 30 BAR DIAMETERS.
 - ALL CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS (5 SACK MIN.)
 - ALL REINFORCING BARS SHALL BE GRADE 60.
 - ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH ACI CODE, LATEST EDITION.
 - CONCRETE SHALL BE PLACE TRUE AND LEVEL (U.N.O.) WITH A STEEL TROWEL FINISH.
 - SOIL REPORT NOTES ON SITE PREPARATION SHALL TAKE PRECEDENCE OVER NOTES ON THIS DRAWING.

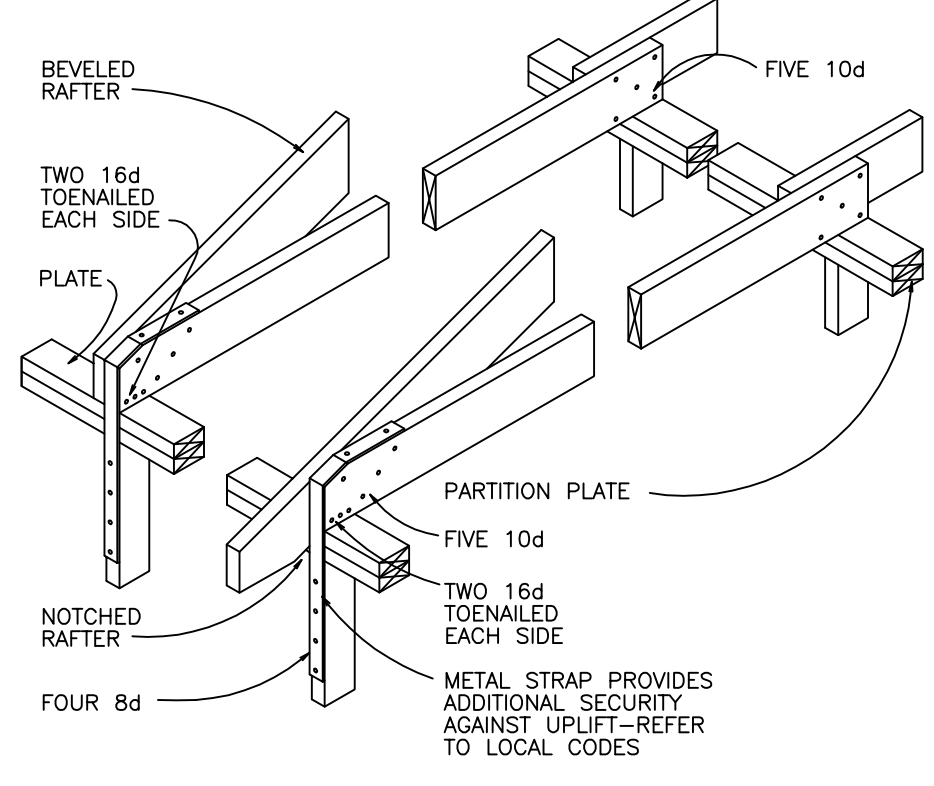
- ELECTRICAL LEGEND**
- ⊥ SINGLE POLE SWITCH
 - ⊥ 3 3 WAY SWITCH
 - ⊥ 120V. DUPLEX OUTLET
 - ⊥ GF1 120V. DUPLEX OUTLET
 - ⊥ 220V. OUTLET
 - ⊥ VENT
 - 4' FLUOR. 2~TUBE 4' STRIP FLOURECENT LIGHT FIXTURE W/ TUBE COVERS
 - 8' FLUOR. 2~TUBE 8' STRIP FLOURECENT LIGHT FIXTURE W/ TUBE COVERS
 - 2 x 4 SUR MT FLUOR. 2' x 4' FLOURECENT SURFACE MOUNTED LIGHT FIXTURE W/ DIFFUSER
 - ⊥ SURFACE MT. LT. FIXTURE
 - ⊥ SMOKE DETECTOR
 - ⊥ THERMOSTAT
 - ⊥ GARBAGE DISPOSAL



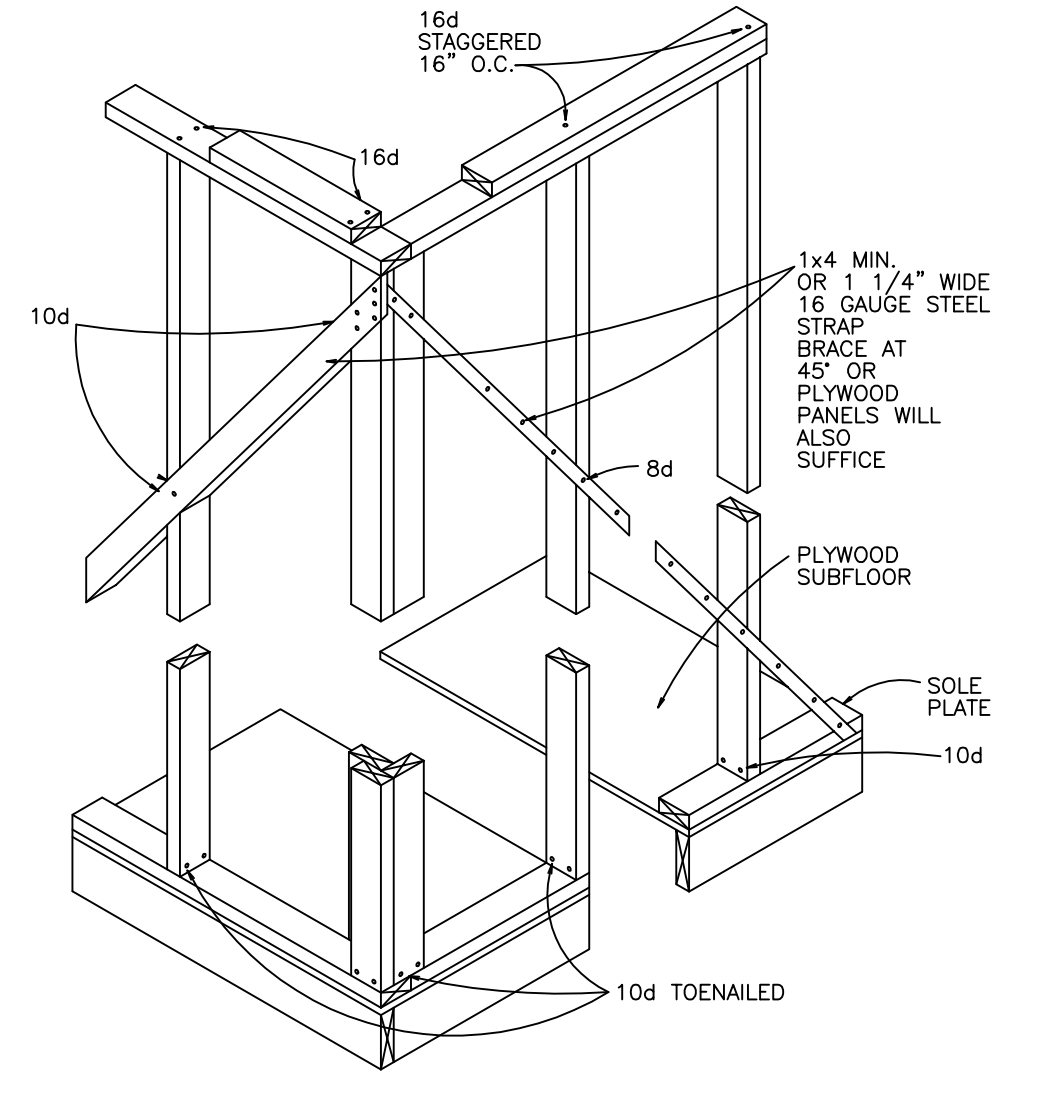
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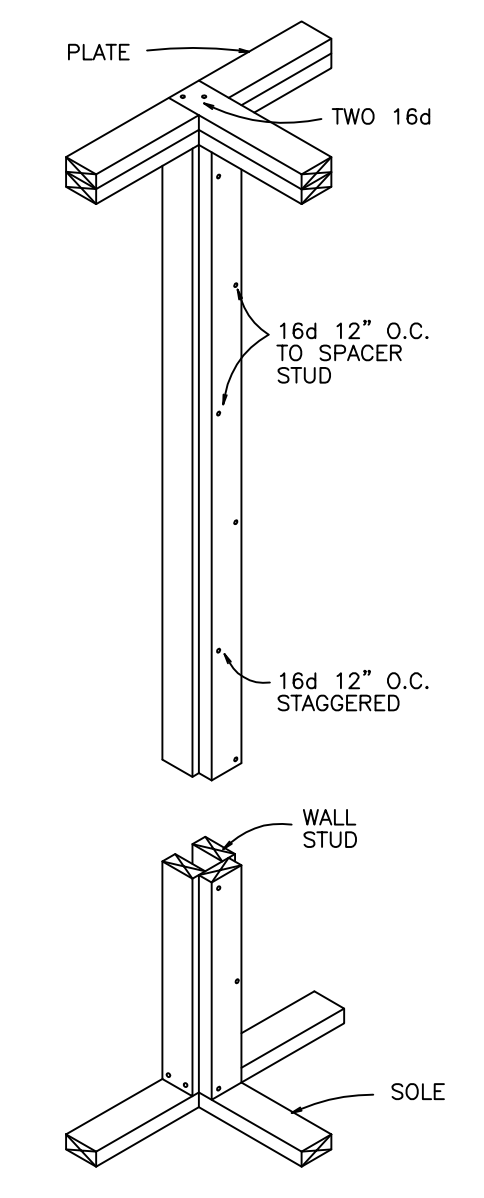
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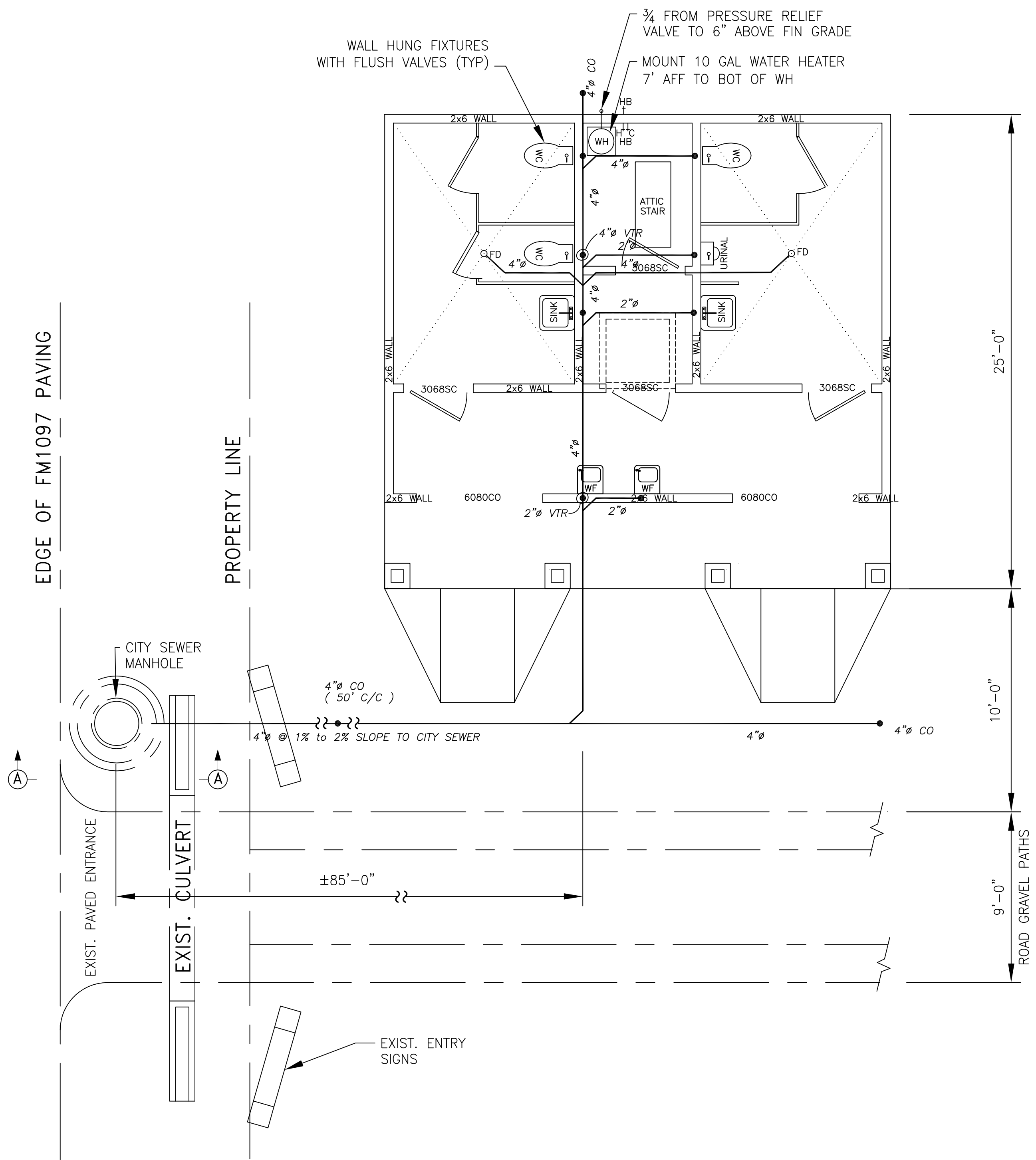


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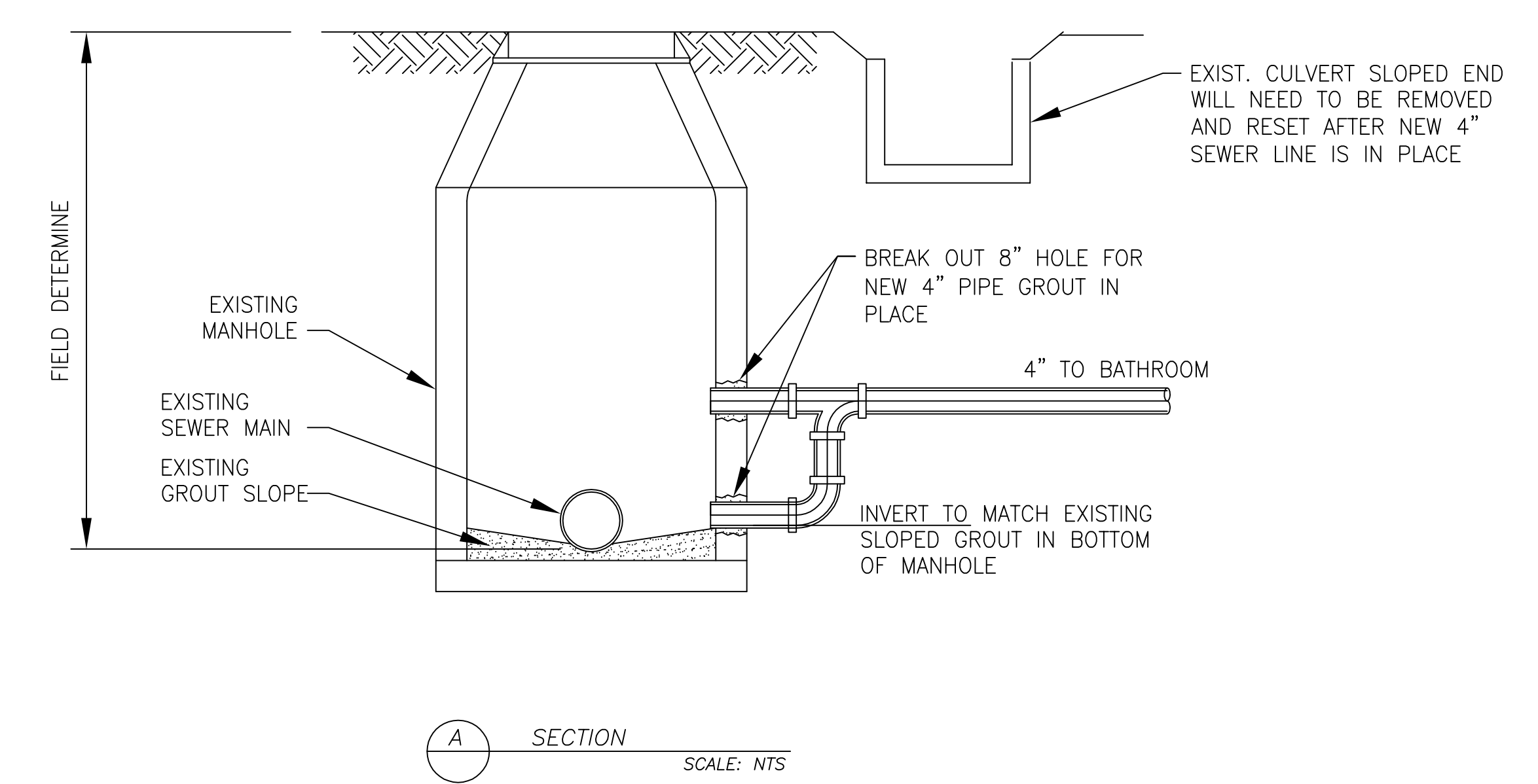
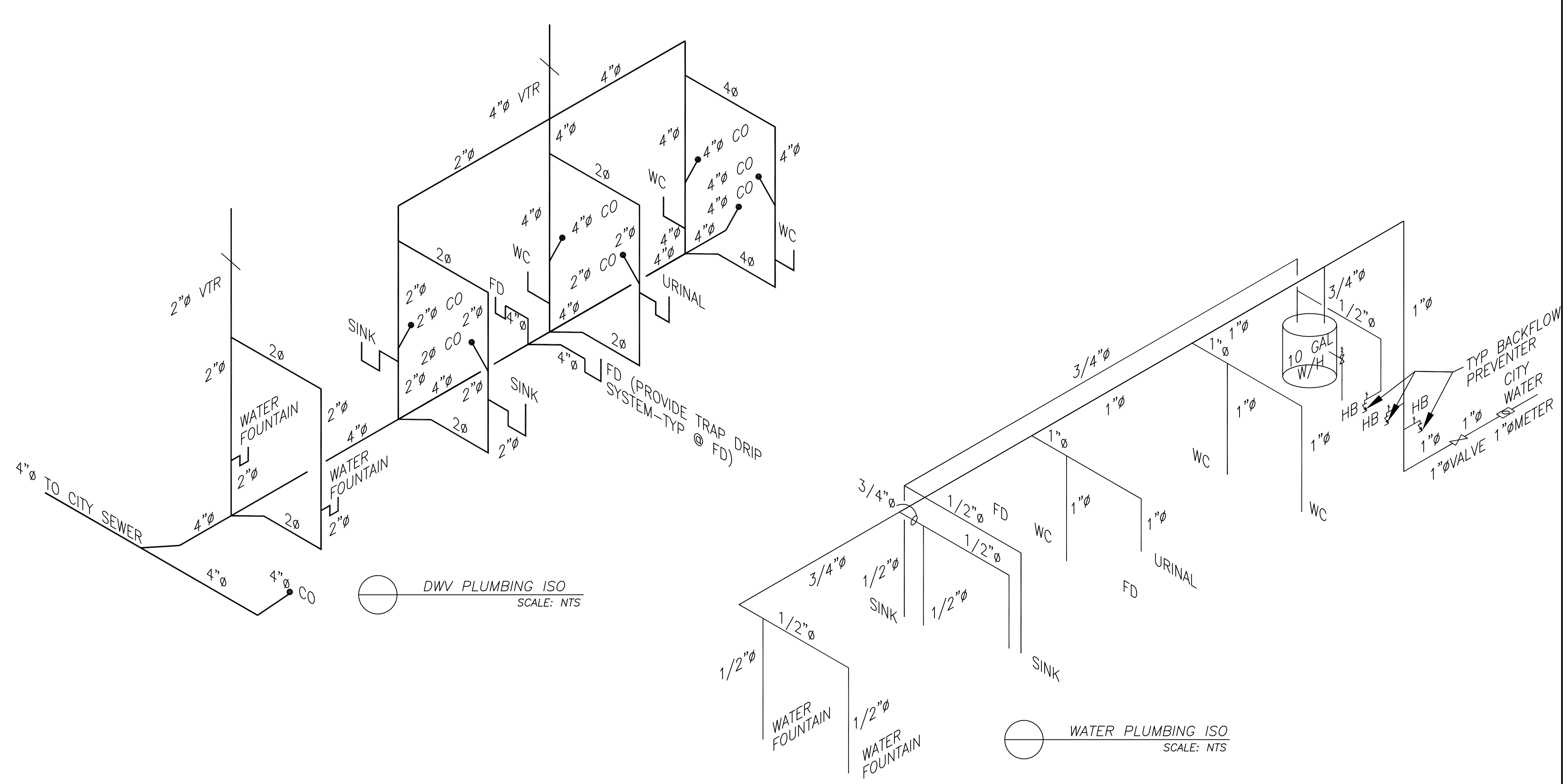


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DWG. NO.	REFERENCE DWG.	REV	DSN	CK	DESCRIPTION	GINDER DESIGN 28423 FM 1097 WEST MONTGOMERY, TX 77356 (936) 449-6052	STANDARDS	MONTGOMERY MEMORIAL CEMETERY FM 1097 MONTGOMERY, TX 77356			
							YEAR: 2021	W.D.	SCALE: NTS	DWG. STD-001	REV: 21



PLUMBING PLAN
SCALE: NTS

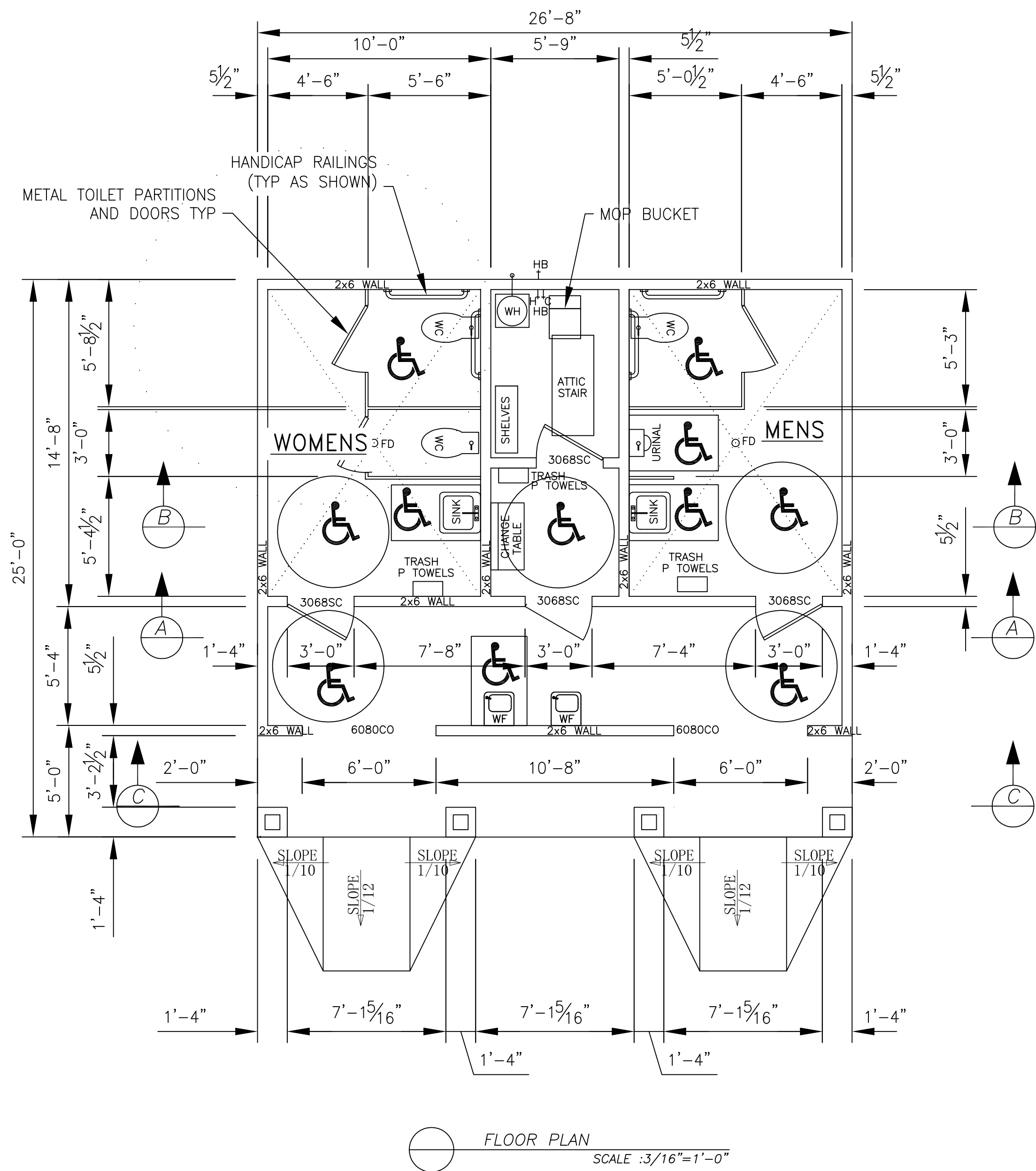


A SECTION
SCALE: NTS

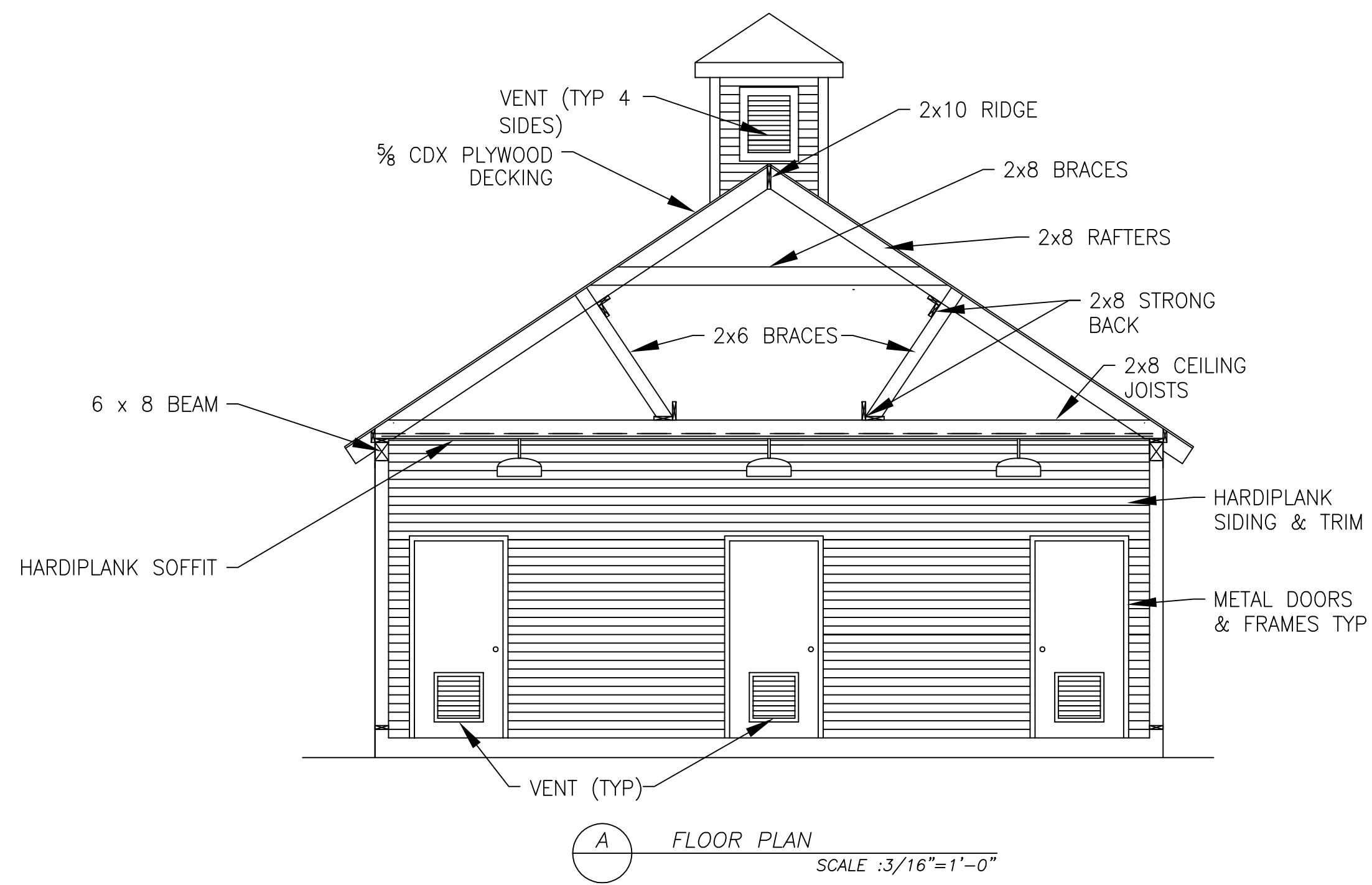
DWG. NO.	REFERENCE DWG.	REV	DSN	CK	DESCRIPTION

GINDER DESIGN
28423 FM 1097 WEST
MONTGOMERY, TX 77356
(936) 449-6052

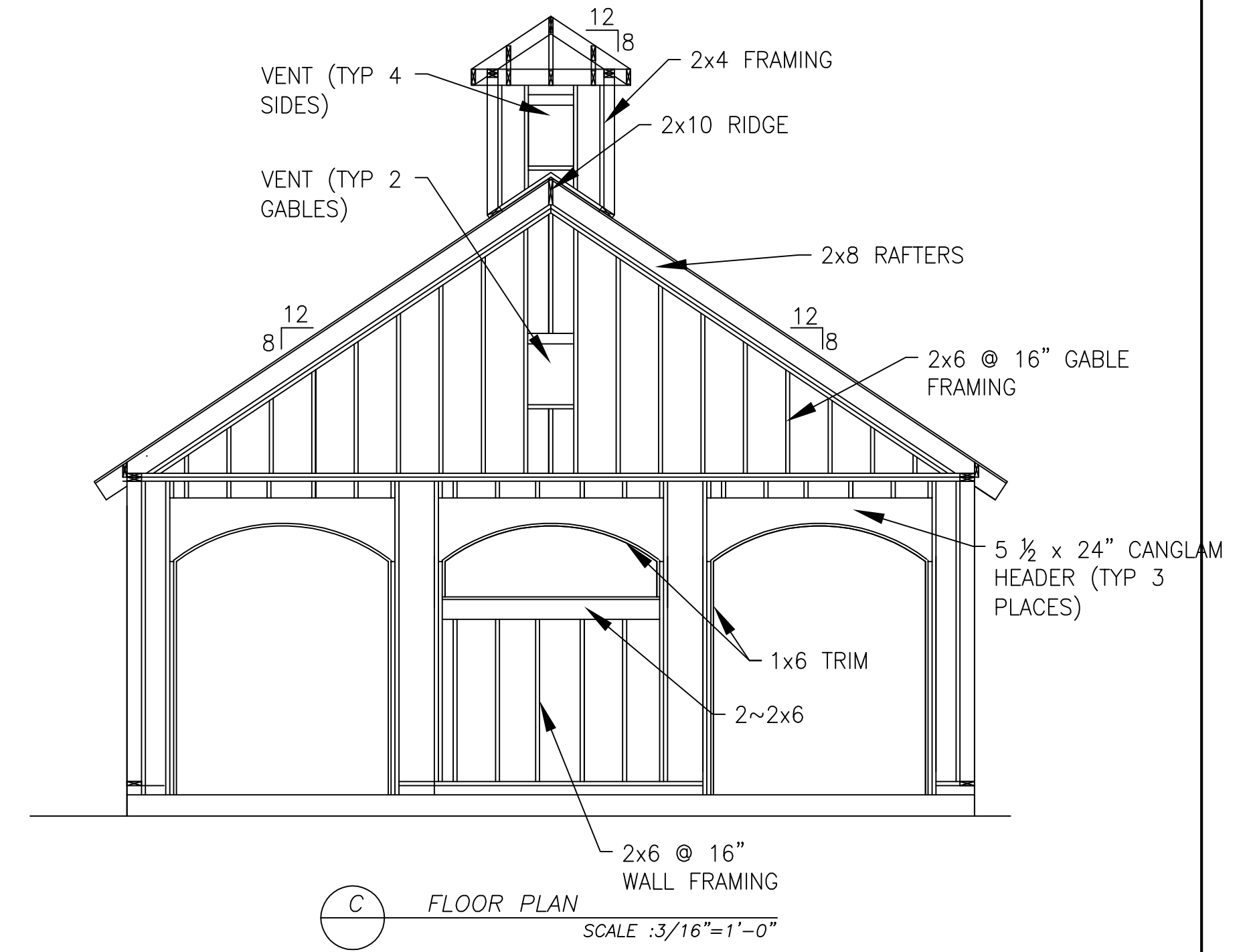
PLUMBING PLAN		MONTGOMERY MEMORIAL CEMETERY FM 1097 MONTGOMERY, TX 77356	
YEAR: 2021	W.O.	SCALE: NTS	DWG. MM-001
			REV. 0



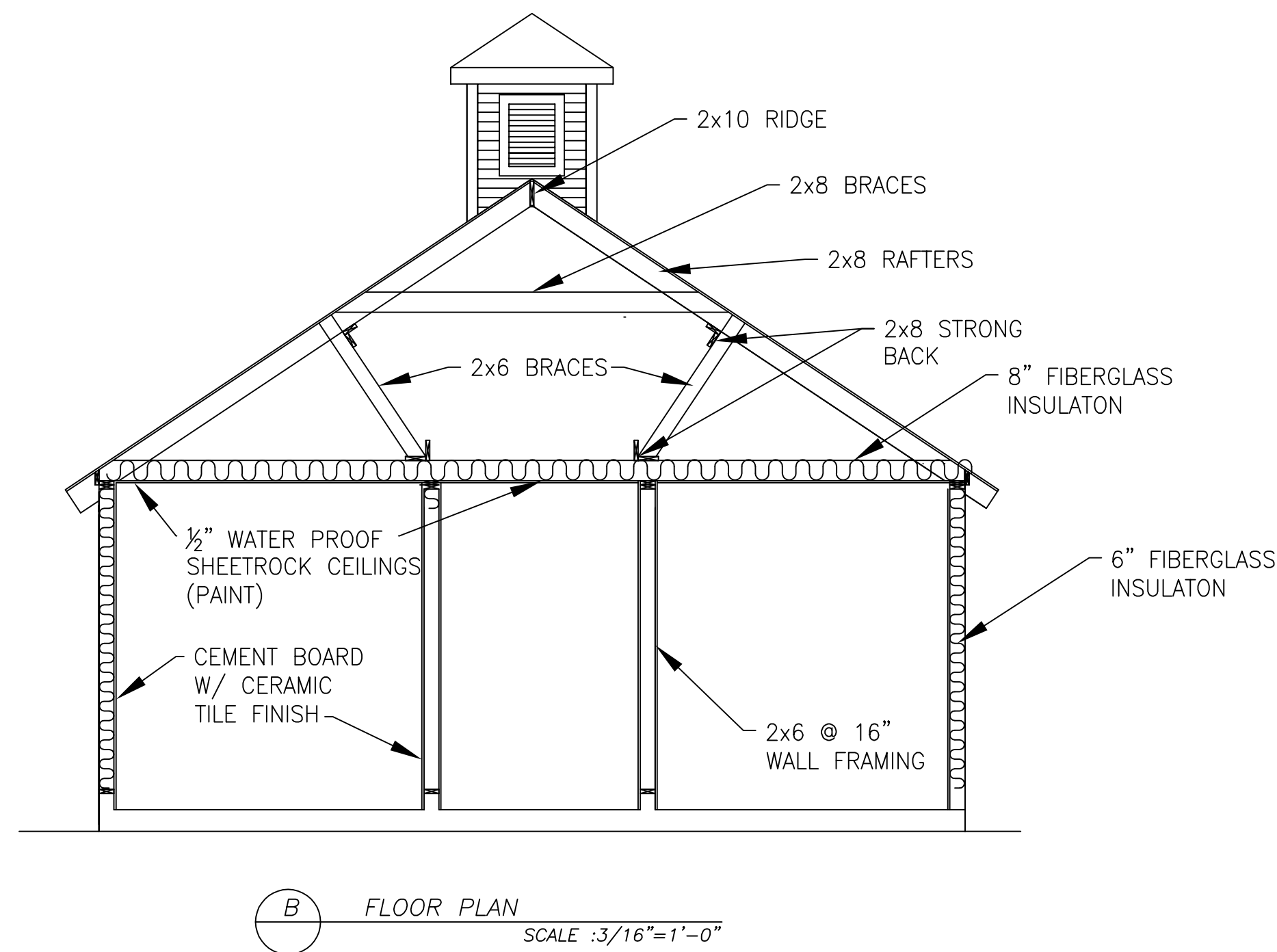
FLOOR PLAN
SCALE :3/16"=1'-0"



FLOOR PLAN
SCALE :3/16"=1'-0"



FLOOR PLAN
SCALE :3/16"=1'-0"



FLOOR PLAN
SCALE :3/16"=1'-0"

DWG. NO.	REFERENCE DWG.	REV	DSN	CK	DESCRIPTION

GINDER DESIGN
28423 FM 1097 WEST
MONTGOMERY, TX 77356
(936) 449-6052

FLOOR PLAN & SECTIONS

MONTGOMERY MEMORIAL
CEMETERY
FM 1097
MONTGOMERY, TX 77356

YEAR: 2021	W.O.	SCALE: NTS	DWG. MM-002	REV.
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Montgomery Planning and Zoning Commission
AGENDA REPORT

Meeting Date: May 17, 2022	Budgeted Amount: N/A
Department: Administration	Prepared By: Dave McCorquodale

Subject

Consideration and possible action regarding a Preliminary Report for a rezoning request from R1—Single-Family Residential to B—Commercial for 504 Caroline Street, Montgomery, Texas.

Recommendation

Discuss the request and what details to include in the Preliminary Report. Motion to approve the Preliminary Report with any edits made to the attached draft.

Discussion

This property currently serves as the parking lot for the Wings of Montgomery restaurant. There is an historic home on the property that needs significant restoration to be occupied for any purpose. As the attached zoning map of downtown illustrates, this is the only property with Liberty Street frontage that is not zoned commercial.

As a reminder of the steps in the rezoning process, the P&Z must for a Preliminary Report, call and hold Public Hearings on that report, and make a recommendation to City Council on the request. The City Council will then hold their own Public Hearing and act on the request.

A draft Preliminary Report is attached. The Preliminary Report should provide sufficient information to inform the public about the details of the request and be factual in nature. The P&Z should discuss the draft and amend as you see fit. The Public Hearings will be called in a separate agenda item.

Approved By

Asst. City Administrator	Dave McCorquodale	Date: 05/12/2022
City Administrator	Richard Tramm	Date: 05/12/2022

PLANNING & ZONING COMMISSION PRELIMINARY REPORT

on a rezoning request for
504 Caroline Street, Montgomery, Texas

General Property Information:

- 0.5-acre parcel
- Currently R1 - Single-Family Residential
- Surrounding zoning:
 - Commercial
 - Single-Family Residential

Requested rezoning:

- B – Commercial





Racehorse Investments LLC

1817 Saint Beulah Chapel Rd
Montgomery, TX 77316

Date: 5/5/22

RE: 504 Caroline St Montgomery, TX 77356 - **Re-Zone Property to Commercial**

To Whom it May Concern,

This is a cover letter requesting that 504 Caroline St. be re-zoned and aligned according to the Montgomery County Appraisal District (MCAD) tax codes. MCAD has stated that the 504 Caroline St. property is deemed “**Best Use**” per MCAD tax code and deemed as “commercial property”. I am now paying commercial property taxes on a property that is zoned by the City of Montgomery as residential property. I respectfully request to expedite this re-zoning application process and that taxpayer dollars are not wasted disputing this request when the Montgomery County Appraisal District has already deemed the 504 Caroline St. property as commercial property. I have included all the requirements necessary to make the decision a reasonable and simple one – to re-zone the 504 Caroline St. property to commercial per the MCAD designation. I also request that the re-zoning application process requirements of two P&Z Public Hearings and one City Council Public Hearing be waived because, as a matter of public record, MCAD has already deemed the 504 Caroline St. property to be “commercial”. I request this be considered and approved at single P&Z Public Hearing. Please see MCAD public record below.

For your convenience and to help expedite this process per my request, I have enclosed the following applicable required documentation:

- Cover letter on company letterhead stating what is being asked.
- Metes and Bounds. All applicable fees and payments.
- Copies of all deeds or a title opinion from a licensed attorney establishing current ownership of the property for which the zoning change is sought.

Regards,

Racehorse Investments LLC

Damon Haynes & Cindy Haynes



Montgomery Central Appraisal District

HOME MCAD-TX.ORG

Property Search



Advanced Search

Property: R123965 | Owner: RACEHORSE INVESTMENT LLC-504 CAROLINE STREET SERIES | Property Address: | Tax Year: 2022 | 2022 Assessed Value: \$523,980

Details

Map



More Resources

2022 GENERAL INFORMATION

Property Status: **Active**
 Property Type: **Real**
 Legal Description: **S728002 - Montgomery Townsite 02, Lot 26 AREA B, ACRES 0.5**
 Neighborhood: **SMO CMO FRONT FM149 & FM1097**
 Account: **7280-02-02610**
 Map Number: **1235**

2022 VALUE INFORMATION

Improvement Homesite Value: **\$0**
 Improvement Non-Homesite Value: **\$262,620**
 Total Improvement Market Value: **\$262,620**
 Land Homesite Value: **\$0**
 Land Non-Homesite Value: **\$261,360**
 Land Agricultural Market Value: **\$0**
 Total Land Market Value: **\$261,360**
 Total Market Value: **\$523,980**
 Agricultural Use: **\$0**
 Timber Use: **\$0**
 Total Appraised Value: **\$523,980**
 Homestead Cap Loss: **-\$0**
 Total Assessed Value: **\$523,980**

2022 OWNER INFORMATION

Owner Name: **RACEHORSE INVESTMENT LLC-504 CAROLINE STREET SERIES**
 Owner ID: **O0657678**
 Exemptions:
 Percent Ownership: **100%**
 Mailing Address: **1817 SAINT BEULAH CHAPEL RD MONTGOMERY, TX 77316-4439**
 Agent: -

2022 ENTITIES & EXEMPTIONS

TAXING ENTITY	EXEMPTIONS	EXEMPTIONS AMOUNT	TAXABLE VALUE	TAX RATE PER 100	TAX CEILING
CAD- Appraisal District		\$0	\$523,980	0	0
CMO- City of Montgomery		\$0	\$523,980	0.4	0
F02- Emergency Ser Dist #2		\$0	\$523,980	0.1	0
GMO- Montgomery Cnty			\$523,980	0.4083	0
HM1- Mont Co Hospital		\$0	\$523,980	0.0567	0
SMO- Montgomery ISD		\$0	\$523,980	1.26	0
TOTALS				2.2250	

2022 IMPROVEMENTS

Improvement #1	State Code	Homesite	Total Main Area (Exterior Measured)	Market Value
-	F1 - Commercial (real)	No	-	\$262,620

2022 LAND SEGMENTS

LAND SEGMENT TYPE	STATE CODE	HOMESITE	MARKET VALUE	AG USE	TIM USE	LAND SIZE
1 - Primary Site	F1 - Commercial (real)	No	\$261,360	\$0	\$0	21,780 Sq. ft
TOTALS						21,780 Sq. ft / 0.500000 acres

VALUE HISTORY

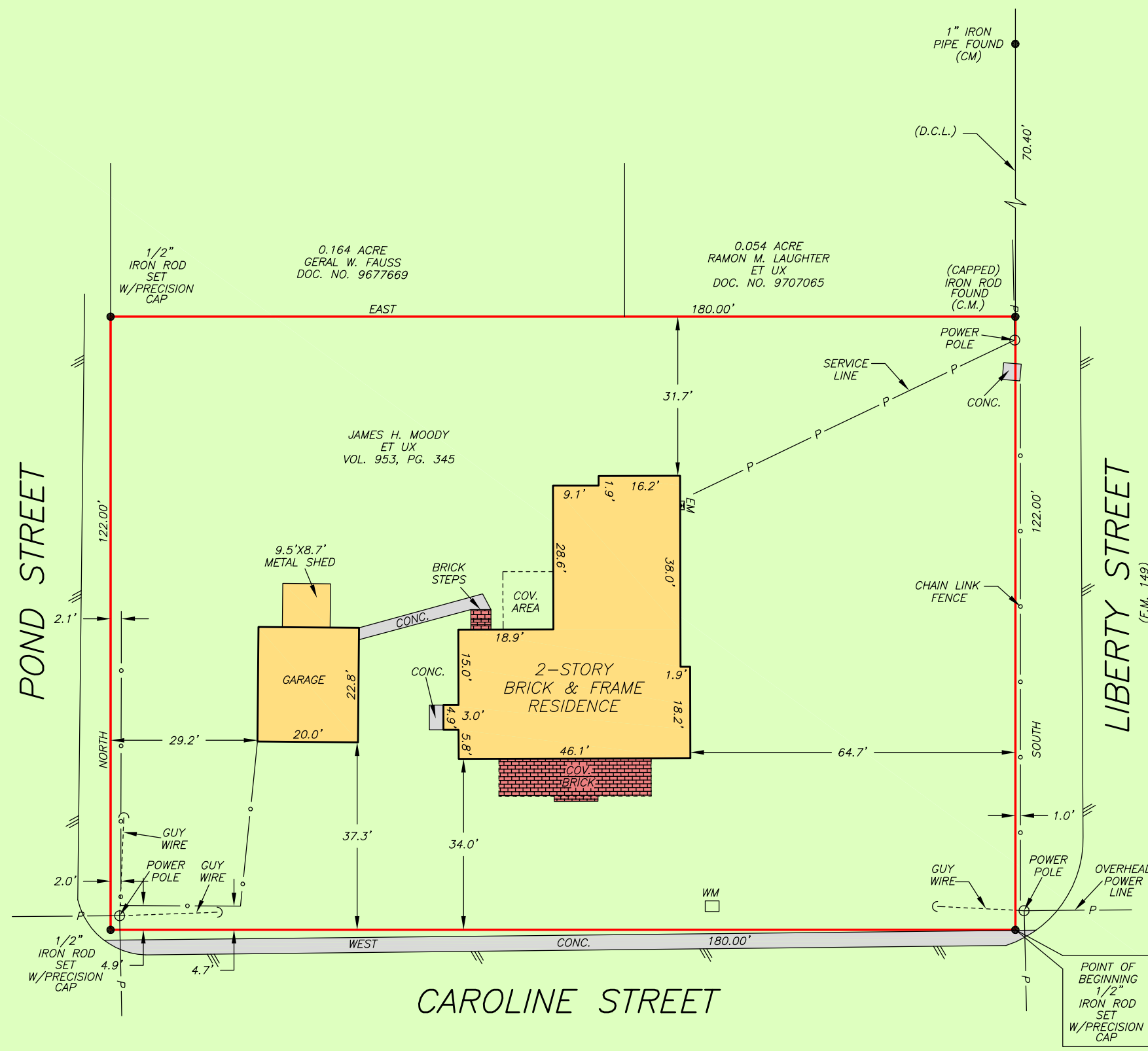
YEAR	IMPROVEMENT	LAND	MARKET	AG MARKET	AG USE	APPRAISED	HS CAP LOSS	ASSESSED
2021	\$25,760	\$174,240	\$200,000	\$0	\$0	\$200,000	\$0	\$200,000
2020	\$63,170	\$32,670	\$95,840	\$0	\$0	\$95,840	\$0	\$95,840
2019	\$51,080	\$32,670	\$83,750	\$0	\$0	\$83,750	\$0	\$83,750
2018	\$51,080	\$32,670	\$83,750	\$0	\$0	\$83,750	\$0	\$83,750
2017	\$51,080	\$32,670	\$83,750	\$0	\$0	\$83,750	\$0	\$83,750

SALES HISTORY

DEED DATE	SELLER	BUYER	INSTR #	VOLUME/PAGE
1/3/2022	HAYNES, DAMON & CINDY	RACEHORSE INVESTMENT LLC-504 CAROLINE STREET SERIES	2022011737	
4/3/2020	MOODY, JAMES H & MARY M	HAYNES, DAMON & CINDY	2020033377	
9/1/1982	MOODY, JAMES	MOODY, JAMES H & MARY M	-	

DISCLAIMER

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GF NO. 85381-GAT86 GREAT AMERICAN TITLE
 ADDRESS: 504 CAROLINE STREET
 MONTGOMERY, TEXAS 77356
 BORROWER: DAMON HAYNES AND
 CINDY HAYNES

0.5 ACRE
 SITUATED IN THE JOHN
 CORNER SURVEY, A-8
 MONTGOMERY COUNTY, TEXAS
 (SEE ATTACHED METES AND BOUNDS DESCRIPTION)

NOTE: SANITARY CONTROL EASEMENT AS PER
 C.F. NO. 2000-030780.



THIS PROPERTY DOES NOT LIE WITHIN THE
 100 YEAR FLOOD PLAIN AS PER FIRM
 PANEL NO. 48339C 0200 G
 MAP REVISION: 08/18/2014
 ZONE X
 BASED ONLY ON VISUAL EXAMINATION OF MAPS.
 INACCURACIES OF FEMA MAPS PREVENT EXACT
 DETERMINATION WITHOUT DETAILED FIELD STUDY.

A SUBSURFACE INVESTIGATION
 WAS BEYOND THE SCOPE OF THIS SURVEY

D.C.L. = DIRECTIONAL CONTROL LINE
 RECORD BEARING: VOL. 953, PG. 345, M.C.D.R.

DRAWN BY: MM/PR

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE
 ON THE GROUND, THAT THIS PLAT CORRECTLY
 REPRESENTS THE FACTS FOUND AT THE
 TIME OF SURVEY AND THAT THERE ARE NO
 ENCROACHMENTS APPARENT ON THE GROUND,
 EXCEPT AS SHOWN HEREON. THIS SURVEY IS
 CERTIFIED FOR THIS TRANSACTION ONLY AND
 ABSTRACTING PROVIDED IN THE ABOVE
 REFERENCED TITLE COMMITMENT WAS RELIED
 UPON IN PREPARATION OF THIS SURVEY.

TERRANCE MISH
 PROFESSIONAL LAND SURVEYOR
 NO. 4981
 JOB NO. 20-01936
 MARCH 12, 2020
 REVISED: MARCH 18, 2020 (TC)



GREAT AMERICAN
 TITLE COMPANY
REBECCA CARNICLE
 281-771-3600



PRECISION
 surveyors

1-800-LANDSURVEY
 www.precisionlandsurveyors.com
 281-496-1586 FAX 281-496-1867 210-829-4941 FAX 210-829-1555
 950 THREADNEEDLE STREET SUITE 150 HOUSTON, TEXAS 77079 1777 NE LOOP 410 SUITE 600 SAN ANTONIO, TEXAS 78217
 FIRM NO. 10063700



Rezoning Application

City of Montgomery
101 Old Plantersville Road
Montgomery, Texas 77316
(936) 597-6434

Item 5.

Upon completion return application to dmccorquodale@ci.montgomery.tx.us

Contact Information

Property Owner(s): Racehorse Investments LLC-504 Caroline Street Series

Address: 504 Caroline St.

Zip Code: 77356 Phone: 832-372-0450

Email Address: damonhaynes44@hotmail.com

Applicants: Damon & Cindy Haynes

Address: 1817 Saint Beulah Chapel Rd

Zip Code: 77316 Phone: 832-372-045

Email Address: damonhaynes44@hotmail.com & Cindyhaynes@rocketmail.com

Parcel Information

Property Identification Number (MCAD R#): R123965

Legal Description: S728002 - MONTGOMERY TOWNSITE 02, LOT 26 AREA B ACRES 0.5

Street Address or Location: 504 Caroline St., Montgomery, TX 77316

Acreage: .50 Present Zoning: Residential Present Land Use: Vacant home

Proposed Zoning: Commerical Proposed Land Use: Commerical

Is the proposed use in compliance with the Future Land Use Plan? YES NO

Additional Information

Owner(s) of record for the above described parcel:

Signature: *Damon Haynes* Date: 5/5/22

Signature: *Cindy Haynes* Date: 5/5/22

Signature: _____ Date: _____

Note: Signatures are required for all owners of record for the property proposed for Special Use Permit. Attach additional signatures on a separate sheet of paper.

Date Received

Office Use

Additional Information

The following information must also be submitted:

Cover letter on company letterhead stating what is being asked.

Metes and Bounds.

All applicable fees and payments.

Copies of all deeds or a title opinion from a licensed attorney establishing current ownership of the property for which the zoning change is sought.

A site plan. If there are existing structures, parking, curb cuts and drainage they must be shown.

The application form must be signed by the owner/applicant. If the applicant is not the owner, written authorization from the owner authorizing the applicant to submit the rezoning request shall be submitted.

Payment of all Indebtedness Attributable to the subject property.

Public Hearings

Parties in interest and citizens shall have an opportunity to be heard at public hearings conducted by the Planning and Zoning Commission and the City Council before any amendment to a district regulation, restriction, or boundary shall become effective. Regularly scheduled meetings are as follows and will be held accordingly unless public notice has been given of a change of dates:

Planning and Zoning Commission: **1st Tuesday of every month at 6:00 p.m.**

City Council: **2nd and 4th Tuesday of every month at 6:00 p.m.**

Protests

If a protest against a proposed zoning change including PDD and SUP requests has been filed with the City Secretary, duly signed and acknowledged by the owners of twenty percent (20%) or more, either of the area of the land included in such a proposed change or those owners of property immediately adjacent to the subject property and extending two hundred feet (200) there from, such zoning change shall not become effective except by a three-fourths (3/4) vote of governing body in accordance with the provisions of Section 211.006 of the Texas Local Government Code.

Resubmission

Rezoning requests which have been heard and decided by the Council of the City of Montgomery may not be re-filed with the City for six (6) months after the date of such decision by the Council, absent a change in circumstances.

Rezoning requests for the same property to a different classification than the denied request may be re-filed prior to the expiration of six (6) months.

Montgomery Planning and Zoning Commission
AGENDA REPORT

Meeting Date: May 17, 2022	Budgeted Amount: N/A
Department: Administration	Prepared By: Dave McCorquodale

Subject

Consideration and possible action on calling two Public Hearings on the Preliminary Report for a rezoning request for 504 Caroline Street, Montgomery, Texas.

Recommendation

Call the Public Hearings for June 7, 2022 at 6:00 p.m. at City Hall

Discussion

These Public Hearings are to allow for public input on the rezoning request. June 7th is the next Regular Meeting date of the P&Z Commission. Before the Public Hearings, staff will mail notification letters to all property owners within 200-feet of the property to notify them of the opportunity to provide comments on the request.

Approved By

Asst. City Administrator	Dave McCorquodale	Date: 05/12/2022
City Administrator	Richard Tramm	Date: 05/12/2022