

**Notice of Planning & Zoning Commission
AGENDA**

February 07, 2023 at 6:00 PM

NOTICE IS HEREBY GIVEN that a Meeting of the Montgomery Planning & Zoning Commission will be held on **Tuesday, February 07, 2023 at 6:00 PM** at the City of Montgomery City Hall, 101 Old Plantersville Road, Montgomery, Texas.

Members of the public may download the Meeting Agenda Pack and view the meeting live on the City's website under Agenda/Minutes by selecting **Live Stream Page (located at the top of the page)**. The meeting will be recorded and uploaded to the City's website.

CALL TO ORDER

VISITOR/CITIZENS FORUM:

Any citizen with business not scheduled on the agenda may speak to the Commission. Prior to speaking, each speaker must be recognized by the Chairman. The Commission may not discuss or take any action on an item but may place the issue on a future agenda. The number of speakers along with the time allowed per speaker may be limited.

CONSIDERATION AND POSSIBLE ACTION:

- 1.** Consideration and possible action on the Regular Meeting minutes of December 6, 2022 & January 3, 2023.
- 2.** Consideration and possible action on proposed canopy signage for the Simmons Bank ATM located at 14340 Liberty Street in the Historic Preservation District.
- 3.** Consideration and possible action on proposed signage for Slice of Amish located at 401 College Street, Suite 170 in the Historic Preservation District.
- 4.** Consideration and possible action on proposed signage for H-Bistrot located at 401 College Street, Suite 150 in the Historic Preservation District.
- 5.** Consideration and possible action on a revised design for the proposed home at 704 Caroline Street located in the Historic Preservation District.
- 6.** Consideration and possible action on a recommendation to City Council on a side yard setback variance request for Montgomery Bend, an 80-acre single family residential development.

COMMISSION INQUIRY:

Pursuant to Texas Government Code Sect. 551.042 the Planning & Zoning Commission may inquire about a subject not specifically listed on this Agenda. Responses are limited to recitation of existing policy or a statement of specific factual information given in response to the inquiry. Any deliberation or decision shall be limited to a proposal to place on the agenda of a future meeting.

ADJOURNMENT

/s/Nici Browe

Nici Browe, TRMC, City Secretary

I certify that the attached notice of meeting was posted on the bulletin board at City of Montgomery City Hall, 101 Old Plantersville Road, Montgomery, Texas, on February 3, 2023 at 4:00 p.m.

This facility is wheelchair accessible and accessible parking spaces are available. Please contact the City Secretary's office at 936-597-6434 for further information or for special accommodations.

MINUTES OF REGULAR MEETING

December 6, 2022

MONTGOMERY PLANNING AND ZONING COMMISSION

CALL TO ORDER

Chairman Waddell declared a quorum was present and called the meeting to order at 6:02 p.m.

Present: Jeffrey Waddell
William Simpson
Merriam Walker
Daniel Gazda

Absent: Britnee Ghutzman

Also Present: Dave McCorquodale, Interim City Administrator
Chris Roznovsky, City Engineer
Katherine Vu, PE

VISITOR/CITIZENS FORUM:

No comments given.

CONSIDERATOIN AND POSSIBLE ACTION:

- 1. Consideration and possible action on the November 1, 2022 regular meeting minutes.**

Merriam Walker moved to approve the amended meeting minutes as presented. William Simpson seconded the motion, the motion carried unanimously. (4-0)

- 2. Consideration and possible action on proposed canopy signage for the Simmons Bank ATM located at 14340 Liberty Street in the Historic Preservation District.**

Mr. McCorquodale said this item was denied at the October 4, 2022 meeting as submitted with the sign height of 30” including the sign frame. Mr. McCorquodale said a revised sign application with a sign height of 12” was considered at the November 1, 2022 meeting. Mr. McCorquodale said the vote was tied resulting in no action to approve or deny the sign. Mr. McCorquodale said the City Attorney advised the item to be placed on the following agenda. Mr. McCorquodale said the proposal is still the same as it was at the November meeting.

Daniel Gazda asked what happens if the item is declined. Mr. McCorquodale said they would have the right to appeal to the Board of Adjustments which is also City Council and City Council would need to become involved.

Daniel Gazda said he agrees with Merriam Walker and William Simpson as he does not like the view of it. Daniel Gazda said if a motion were to be made, he would decline it.

Jeffrey Waddell said the ordinance from what he is hearing and from what Mr. McCorquodale has told them, would not pertain to this situation because it is for when you have a sign on a different property.

Mr. McCorquodale said the Historic Preservation guidelines are something to consider.

Jeffrey Waddell said he thinks it is important to clarify the ordinance. Jeffrey Waddell said in October they told the bank if they came back with the sign having smaller letters and having a historic theme that would be good. Jeffrey Waddell said they did come back with revisions. Jeffrey Waddell said because it is a bank, they cannot change the logo to look more historic. Jeffrey Waddell said if they are going to promote these festivals and have a lot of people come into the City from out of town, he thinks it is important they are able to see where an ATM is located.

Mr. McCorquodale asked if an aesthetic preference would make a difference if the background on the sign was not white with red lettering. Jeffrey Waddell said yes that would help. Merriam Walker said the sign does not match with the Historic Preservation theme of downtown. Merriam Walker said in her opinion, aesthetically and with the historic guidelines for downtown, this sign does not add to the historic portion of downtown.

Merriam Walker moved to table the approval of the signage with approval contingent upon seen changes of a gray background and black ATM lettering. Daniel Gazda seconded the motion, the motion carried unanimously. (4-0)

3. Discussion of renovation plans for 14259 Liberty Street in the Historic Preservation District.

The new property owners of 14259 Liberty Street purchased said property six months ago and presented their renovation plans to the Commission.

4. Consideration and possible action on the proposed relocation of the Southern Roots salon building at 14275 Liberty in the Historic Preservation District.

Mr. McCorquodale said the owners of Southern Roots are looking to relocate the building which they own but lease the site from the Historical Society. Mr. McCorquodale said the ordinance does require approval from P&Z Commission for any exterior modifications including relocation for properties within the Historic Preservation District.

William Simpson asked when the building is moved will the site be cleared and clean. The owners stated it would.

William Simpson moved to approve the relocation of the Southern Roots salon building at 14275 Liberty in the Historic Preservation District. Merriam Walker seconded the motion, the motion carried unanimously. (4-0)

5. Consideration and possible action on a Preliminary Plat for Montgomery Bend Section One.

Mr. Chris Roznovsky, City Engineer said this is a Pulte development track located on FM 1097. Mr. Roznovsky said this a first of three sections with 69 homes which includes infrastructure and drainage land allocation along with the private amenity sites for the neighborhood. Recommendation was made to the Commission to approve the preliminary plat as submitted.

William Simpson moved to approve the preliminary plat for Montgomery Bend Section One. Daniel Gazda seconded the motion, the motion carried unanimously. (4-0)

6. Presentation and discussion of Feasibility Studies for Olde Montgomery Food Gardens, Summer Wind, and Montgomery Ridge proposed developments.

Ms. Katherine Vu presented the information to the Commission and said all three of the Feasibility Studies for Olde Montgomery Food Gardens, Summer Wind, and Montgomery Ridge have also been presented to City Council. Ms. Vu mentioned the City will need additional water and sewer plant capacity to serve all of these developments.

Extensive discussion followed by the Commission.

COMMISSION INQUIRY:

Jeffrey Waddell thanked Mr. McCorquodale, Mr. Roznovsky, and Ms. Vu for being there to clarify matters and having good, efficient, and clear communication.

ADJOURNMENT

William Simpson moved to adjourn the meeting at 7:37 p.m. Merriam Walker seconded the motion, the motion carried unanimously. (4-0)

Prepared by: _____ Date Approved: _____
Diana Cooley, Deputy City Secretary

Chairman Jeffrey Waddell

Attest: _____
Nici Browe, City Secretary

MINUTES OF REGULAR MEETING

January 3, 2023

MONTGOMERY PLANNING AND ZONING COMMISSION

CALL TO ORDER

Chairman Waddell declared a quorum was present and called the meeting to order at 6:02 p.m.

Present: Jeffrey Waddell
William Simpson
Britnee Ghutzman
Daniel Gazda

Absent: Merriam Walker

Also Present: Dave McCorquodale, Assistant City Administrator
Katherine Vu, PE

VISITOR/CITIZENS FORUM:

Mr. McCorquodale said no comments were given other than the email received by Ryan Londeen regarding the project at 704 Caroline Street.

CONSIDERATOIN AND POSSIBLE ACTION:

- 1. Consideration and possible action on a recommendation to City Council for a building line encroachment for Montgomery Summit Business Park Reserve B.**

Mr. McCorquodale said the original surveyor placed the pins six inches off from where they should have been placed on this property. Mr. McCorquodale said when a post construction survey was done, the surveyor realized something was wrong.

Ms. Vu said since the pins were incorrectly placed, when the contractor went to pour the foundation poured it based off of the pins giving a 10-foot setback as was on the plat. Ms. Vu said the with pins being six inches off when the pins were corrected it is actually nine and a half feet off of the property line. Ms. Vu said they are recommending is an encroachment be approved and then offer no objection that the developer prepare whatever documentation is needed for them to file with the County to clear up the title and any kind of issues they may have on the property moving forward.

Ms. Vu said P&Z's recommendation to City Council would be to approve the encroachment since the plat is correct and the pins have since been corrected.

Britnee Ghutzman moved to approve the encroachment as presented. Daniel Gazda seconded the motion, the motion carried unanimously. (4-0)

2. Consideration and possible action on a recommendation to City Council on a demolition of the existing house and approval of a proposed new home and garage at 704 Caroline Street in the Historic Preservation District.

Mr. McCorquodale said this request involves two parts. Mr. McCorquodale said P&Z would need to make a recommendation to City Council for the demolition of the existing home and then approve or deny the exterior of the new home and garage.

Mr. McCorquodale said as the City requires a 10-foot yard setback, the proposed home and garage would encroach into these by five feet, leaving a five-foot side yard. Mr. McCorquodale said P&Z needs to determine if they will recommend to City Council approval of the five-foot encroachment. Mr. McCorquodale said if it is agreed upon for the proposed encroachment, exterior modifications can then be approved by P&Z and the recommendation will be brought before City Council.

Mrs. Selleck introduced her family and her son Jordan who is the owner of the said property. Mrs. Selleck stated they have a family construction business and have been in the home remodeling and construction business for many years.

Mrs. Selleck said as the house stands right now it is not in good condition at all. Mrs. Selleck said however, they love the historic area, Montgomery, the surrounding homes, and the feel of the neighborhood. Mrs. Selleck said they would love to make these improvements to the property and make a positive contribution to the neighborhood. Mrs. Selleck said she spent a lot of time studying the historic area to make sure they did not do something unknowingly to something historical. Mrs. Selleck said this particular home does not look like it has any historical significance that she could find.

William Simpson moved to recommend to City Council approval to allow the demolition of the existing structure at 704 Caroline Street. Britnee Ghutzman seconded the motion, the motion carried unanimously. (4-0)

3. Consideration and possible action on a recommendation to City Council for a building line encroachment at 704 Caroline Street in the Historic Preservation District.

Mrs. Selleck said the architect did not find any building lines on record. Mrs. Selleck said the architect placed the future house exactly where the current house is located now.

William Simpson said he does not see a problem changing from 10-feet to 5-feet with the hodge podge of the different size homes that are there in that historical area. Jeffrey Waddell said he feels the same way.

Britnee Ghutzman moved to recommend to City Council approval of the encroachment. William Simpson seconded the motion, the motion carried unanimously. (4-0)

Mr. McCorquodale said he received an email from Ryan Londeen in regard to exterior modifications. Mr. McCorquodale said Ryan Londeen stated in his email that he and his wife have concerns regarding the exterior design of the house especially the garage that it is too modern and does not fit into the historic aesthetic of the buildings surrounding it. Mr. McCorquodale said Ryan Londeen stated this lot is cornered by two very old houses in excess of 100 years old and the structure would remove some of the charm from these

structures. Mr. McCorquodale said Ryan Londeen stated as the City has discussed in the MEDC meetings, ensuring a consistent aesthetic throughout the Historic District is vital. Mr. McCorquodale said Ryan Londeen suggested P&Z work with the lot owner and the architect on a design that better fits the aesthetic of the area. Mr. McCorquodale said Ryan Londeen stated whatever P&Z may decide, they welcome their new potential neighbors and look forward to sharing our wonderful historic town with them.

There was continued discussion on modifying the exterior architecture of the proposed house.

COMMISSION INQUIRY:

William Simpson inquired if there would be follow-up cleaning to the previous site of Southern Roots since its recent building relocation. Mr. McCorquodale said he would meet with the Code Enforcement Officer to determine the next steps going forward in cleaning the property of leftover debris.

ADJOURNMENT

Britnee Ghutzman moved to adjourn the meeting at 6:50 p.m. William Simpson seconded the motion, the motion carried unanimously. (4-0)

Prepared by: _____ Date Approved: _____
Diana Cooley, Deputy City Secretary

Chairman Jeffrey Waddell

Attest: _____
Nici Browe, City Secretary

Montgomery Planning and Zoning Commission
AGENDA REPORT

Meeting Date: February 7, 2023	Budgeted Amount: N/A
Department: Administration	Prepared By: Dave McCorquodale

Subject

Consideration and possible action on proposed canopy signage for the Simmons Bank ATM located at 14340 Liberty Street in the Historic Preservation District.

Recommendation

Approve the signage as submitted.

Discussion

As you will recall, this item was denied at the October 4, 2022 meeting as submitted with a sign height of 30". A revised sign application with a sign height of 12" was considered at the November 1, 2022 meeting. The 2-2 tie vote resulted in no action to approve or deny the sign. A third sign design was submitted for review and was tabled at the December 6, 2022 meeting with direction to staff to ask for two changes to the design:

- Background sign color to be gray
- The "ATM" letters be changed from red to black

The applicant has revised the design and met both of these requests. Staff recommends approval of the proposed canopy signage as submitted.

Approved By

Director of Planning & Development	Dave McCorquodale	Date: 01/30/2023



PROJ. 0417082Ar3
14340 Liberty Street
Montgomery, Texas

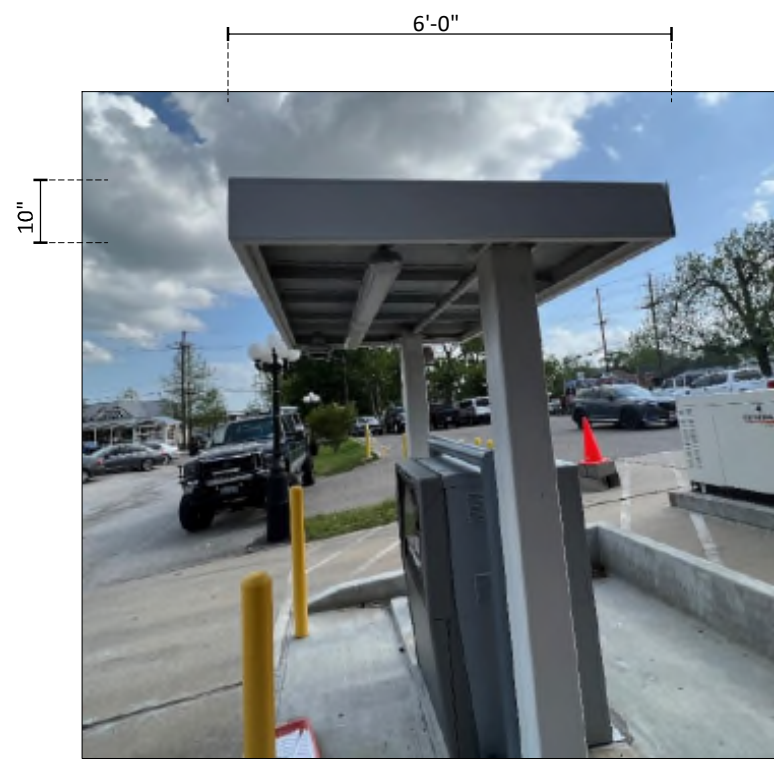
PRESENTED BY:



CHANDLER
SIGNS

Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	

R1 JMC 10/6/22: REVISED SIGN C3
R2 JMC 12/15/22: REVISED SIGN C3
R3 JMC 1/25/23: REVISED SIGN C3



C3 EXISTING CONDITIONS TYPICAL SIDE



C3 EXISTING CONDITIONS TYPICAL FRONT / BACK



C3 PROPOSED SIGNAGE - TYPICAL SIDE



C3 PROPOSED SIGNAGE - TYPICAL FRONT / BACK



chandler signs.com

National Headquarters
14201 Sovereign Road #101
Fort Worth, TX 76155
(214) 902-2000 Fax (214) 902-2044

San Antonio
17319 San Pedro Avenue
Suite 200
San Antonio, TX 78232
(210) 349-3804 Fax (210) 349-8724

Georgia
111 Woodstone Place
Dawsonville, GA 30534
(678) 725-8852 Fax (210) 349-8724

South Texas
PO BOX 125 206 Dorral Drive
Portland, TX 78374
(361) 563-5599 Fax (361) 643-6533

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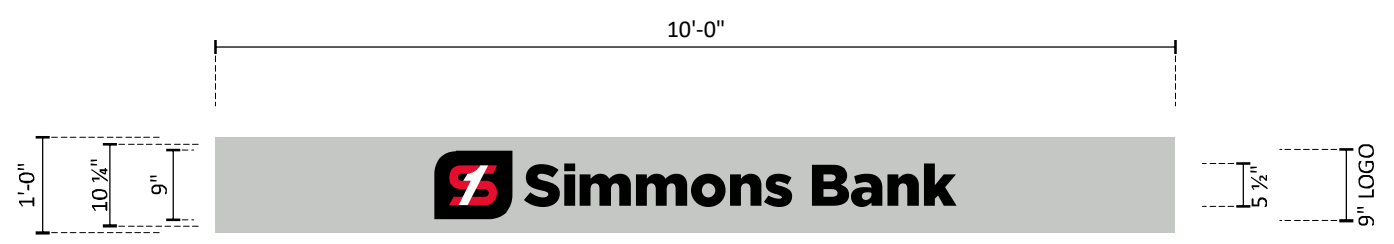
FINAL ELECTRICAL CONNECTION BY CUSTOMER

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN. SIGN WILL BEAR UL LABEL(S).

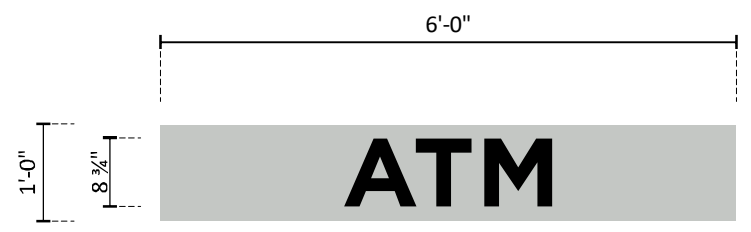


Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	

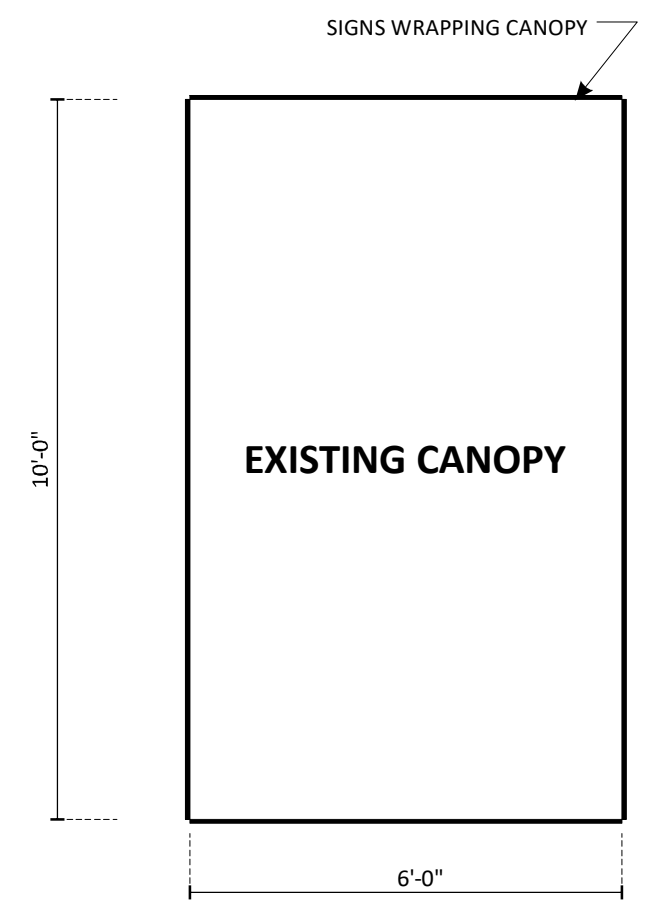
R1 JMC 10/6/22: REVISED SIGN C3
R2 JMC 12/15/22: REVISED SIGN C3
R3 JMC 1/25/23: REVISED SIGN C3



(2) REQUIRED AS SHOWN



(2) REQUIRED AS SHOWN



PLAN VIEW
SCALE: 3/8" = 1'-0"

C3 "ATM" S/F CANOPY PANELS WRAPPING EXISTING CANOPY SCALE: 1/2" = 1' - 0"
(4) SIDES REQUIRED TOTAL

- .125 FLAT ALUMINUM PANELS PAINTED PMS COOL GRAY 3C
- 1st SURFACE VINYL GRAPHICS -3630-33 RED, WHITE & BLACK
- NON-ILLUMINATED
- MOUNT FLUSH TO EXISTING CANOPY, BOTTOM OF PANELS FLUSH WITH BOTTOM OF CANOPY / EXACT MOUNTING METHOD TO BE DETERMINED
- PAINT SUPPORTS OF CANOPY TO MATCH SAME GRAY



END VIEW



chandler signs.com

National Headquarters	14201 Sovereign Road #101 Fort Worth, TX 76155 (214) 902-2000 Fax (214) 902-2044
San Antonio	17319 San Pedro Avenue Suite 200 San Antonio, TX 78232 (210) 349-9804 Fax (210) 349-8724
Georgia	111 Woodstone Place Dawsonville, GA 30534 (678) 725-8852 Fax (210) 349-8724
South Texas	PO BOX 125 206 Doral Drive Portland, TX 78374 (361) 563-5599 Fax (361) 643-6533

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FINAL ELECTRICAL CONNECTION BY CUSTOMER

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN WILL BEAR UL LABEL(S)

Montgomery Planning and Zoning Commission
AGENDA REPORT

Meeting Date: February 7, 2023	Budgeted Amount: N/A
Department: Administration	Prepared By: Dave McCorquodale

Subject

Consideration and possible action on proposed signage for Slice of Amish located at 401 College Street, Suite 170 in the Historic Preservation District.

Recommendation

Deny the sign as presented and request the applicant reconsider the aesthetic design and character of the proposed sign if you believe a second sign on the same façade is appropriate.

Discussion

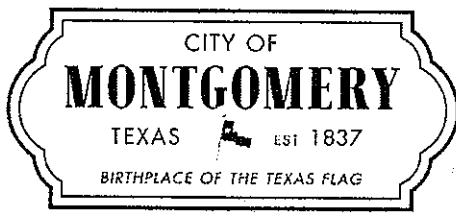
The recently opened Slice of Amish cheese shop downtown is requesting to install a sign below the 2nd-story balcony on the front of their store. After installing the signage last month, city staff contacted the owners and let them know the sign would need to be approved by the P&Z commission. They have since removed the sign and submitted a sign application.

While the Historic Preservation District Design Guidelines and Ordinance do not directly address signage design requirements, the general criteria used by the Commission when considering this type of request is whether it will affect the appearance and cohesiveness of a property or the district.

As you will recall, the applicant received approval for a wall sign in September 2022. The location and appearance of this proposed sign could be an effort to increase visibility for FM 149 traffic. It is on the same side of the building and not far from the existing sign, but it is higher from the ground and uses bolder lettering on a contrasting background. The proposed sign does not share any common design elements or aesthetic with the existing wall sign.

Approved By

Director of Planning & Development	Dave McCorquodale	Date: 01/30/2023



WWW.MONTGOMERYTEXAS.GOV

Sign Permit Application

CITY OF MONTGOMERY

Item 3.

101 Old Plantersville Road
Montgomery, Texas 77356
936-597-6434

permits@ci.montgomery.tx.us

SIGN PERMIT APPLICATION EXPIRES IN
180 DAYS (NON-TRANSFERABLE)

TEMPORARY SIGN?	YES <input type="checkbox"/>	NO <input type="checkbox"/>
PERMANENT SIGN?	YES <input type="checkbox"/>	NO <input type="checkbox"/>
Pre-Existing OR New	Pre-Existing <input type="checkbox"/>	NEW <input checked="" type="checkbox"/>

Permit: _____

Date: 1-20=23

JOB ADDRESS: 401 College Street Montgpmery, Tx. 77356	BUSINESS NAME: Slice of Amish	
BUSINESS OWNER: Rollis A Johnson	MAILING ADDRESS: 111 Harbour Town Way Mont. Tx 77356	TELEPHONE: 936-672-6183
APPLICANT: Rollis A. Johnson	MAILING ADDRESS: 111 Harbour Town Way Mont. Tx 77356	TELEPHONE: 936-672-6183

CONTRACTOR LICENSE (if electrical): NA

IS THE SIGN IN THE HISTORIC PRESERVATION DISTRICT? YES NO IS THE SIGN ILLUMINATED? YES NO

SIGN PLACEMENT: Front of Store

VALUATION: _____

SIGN DESIGN & COLOR SCHEME:
2 Ft. x 6 Ft. metal. Yellow-Blk Cheese-Amish

SIGN TYPE	SIGN DIMENSIONS	
FREESTANDING MONUMENT SIGN <input type="checkbox"/>	SIGN HEIGHT	24 in
BUILDING WALL SIGN <input type="checkbox"/>	SIGN WIDTH	72 in
BANNER <input checked="" type="checkbox"/>	TOTAL SQ FT	
OTHER <input type="checkbox"/>	SET BACK	
	LOT LINEAR FOOTAGE	

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of law and ordinances governing this type of work will be complied with whether or not specified herein. The granting of a permit does not presume to give authority to violate or cancel the provisions of any state or local law regulatina construction or the performance of construction.

NAME: RollisAJohnson SIGNATURE: *Rollis A Johnson*

OFFICE USE ONLY

APPROVED		TOTAL FEE:	\$
DATE			
COMMENTS:			



Montgomery Planning and Zoning Commission
AGENDA REPORT

Meeting Date: February 7, 2023	Budgeted Amount: N/A
Department: Administration	Prepared By: Dave McCorquodale

Subject

Consideration and possible action on proposed signage for H-Bistrot located at 401 College Street, Suite 150 in the Historic Preservation District.

Recommendation

Consider the aesthetic design and character of the proposed sign and act as you see fit.

Discussion

Steve Hari, owner of H-Wines on Liberty Street in downtown, is opening an additional venue in the Kemifer Building at the corner of College and McCown Streets. Suite 150 is the former home of Whitley Vineyards/Wine Bar. The applicant plans on attaching a 4'x4' metal sign attached to the wall of the building (see attached graphic). The sign appears to be in scale for the location and uses durable materials. Staff has no objection to the request.

Approved By

Director of Planning & Development	Dave McCorquodale	Date: 02/01/2023



WWW.MONTGOMERYTEXAS.GOV

Sign Permit Application

CITY OF MONTGOMERY

101 Old Plantersville Road
Montgomery, Texas 77356
936-597-6434

permits@ci.montgomery.tx.us

SIGN PERMIT APPLICATION EXPIRES IN
180 DAYS (NON-TRANSFERABLE)

TEMPORARY SIGN?	YES <input type="checkbox"/>	NO <input type="checkbox"/>
PERMANENT SIGN?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
Pre-Existing OR New	Pre-Existing <input type="checkbox"/>	New <input type="checkbox"/>

Permit: _____

Date: _____

JOB ADDRESS: 401 College St, Suite 150, MONTGOMERY, TX 77356	BUSINESS NAME: H-BISTROT	
BUSINESS OWNER: Steve HARI	MAILING ADDRESS: 705 College St, MONTGOMERY, TX 77356	TELEPHONE: 832-870-9303
APPLICANT: Steve HARI	MAILING ADDRESS: 705 College St, MONTGOMERY, TX 77356	TELEPHONE: 832-870-9303

CONTRACTOR LICENSE (if electrical): _____

IS THE SIGN IN THE HISTORIC PRESERVATION DISTRICT?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	IS THE SIGN ILLUMINATED?	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>
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SIGN PLACEMENT: BUILDING WALL	VALUATION:
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SIGN DESIGN & COLOR SCHEME:
White, Burgundy, yellow.

SIGN TYPE	SIGN DIMENSIONS	
FREESTANDING MONUMENT SIGN	SIGN HEIGHT	4 feet
BUILDING WALL SIGN <input checked="" type="checkbox"/>	SIGN WIDTH	4 feet
BANNER	TOTAL SQ FT	16 ft ²
OTHER	SET BACK	
	LOT LINEAR FOOTAGE	

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of law and ordinances governing this type of work will be complied with whether or not specified herein. The granting of a permit does not presume to give authority to violate or cancel the provisions of any state or local law regulating construction or the performance of construction.

NAME: STEVE HARI SIGNATURE:

OFFICE USE ONLY

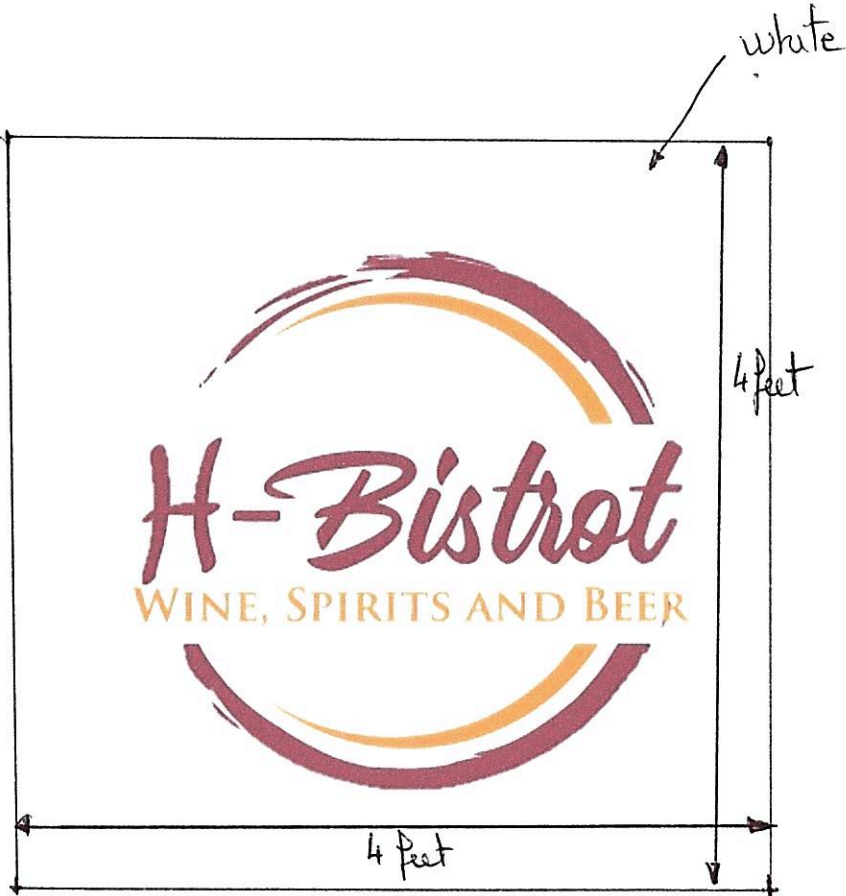
APPROVED		TOTAL FEE:	\$
DATE			

COMMENTS: _____



Sign H-Bistro
4 feet x 4 feet

401 College St, Suite 150
MONTGOMERY, TX 77356.



Montgomery Planning and Zoning Commission
AGENDA REPORT

Meeting Date: February 7, 2023	Budgeted Amount: N/A
Department: Administration	Prepared By: Dave McCorquodale

Subject

Consideration and possible action on a revised design for the proposed home at 704 Caroline Street located in the Historic Preservation District.

Recommendation

Discuss the revisions and decide on final design to approve.

Discussion

The Commission reviewed the design for a proposed new home at 704 Caroline at the January 2023 meeting. The Commission had discussion about several of the design elements:

- Garage roof was proposed as a single pitch design; the Commission requested the roof be redesigned to match the roof design of the house.
- Two options were presented for the rear façade upper windows: one with an angular in shape and the other more traditional rectangular windows; the Commission preferred the more traditional windows
- Siding pattern; the Commission asked the applicants to consider a more uniform siding between the upper and lower stories.

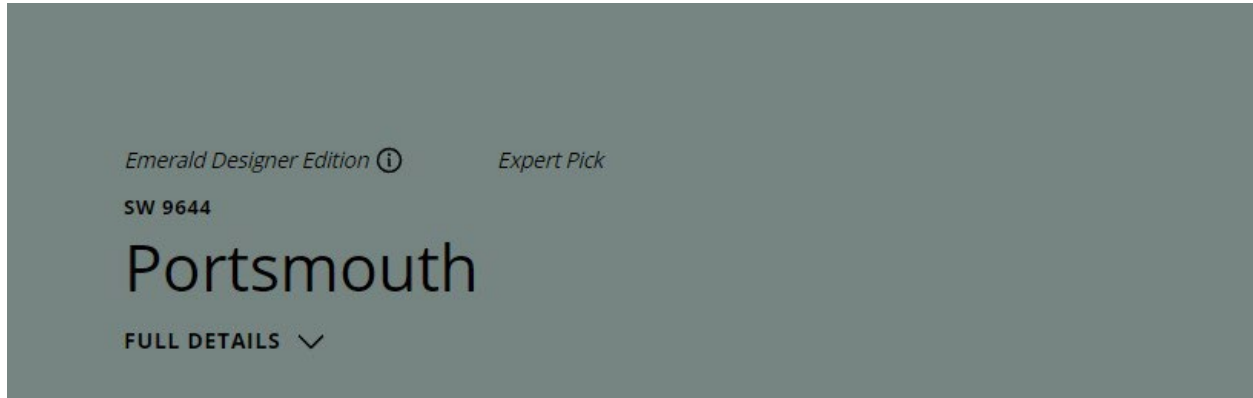
The applicants have redesigned the garage roof to match the main residence. They would like to discuss the rectangular window design for the rear façade windows and siding patterns in more detail with the Commission to ask if you are open to considering options with the new garage roof. The applicants have also provided the final color selections for the home.

Approved By

Director of Planning & Development	Dave McCorquodale	Date: 02/03/2023

704 Caroline Street Color Selections

Exterior Wall Color:



Exterior Trim Color:



704 Caroline Street Rear Elevation Options

Traditional Upper Window Option

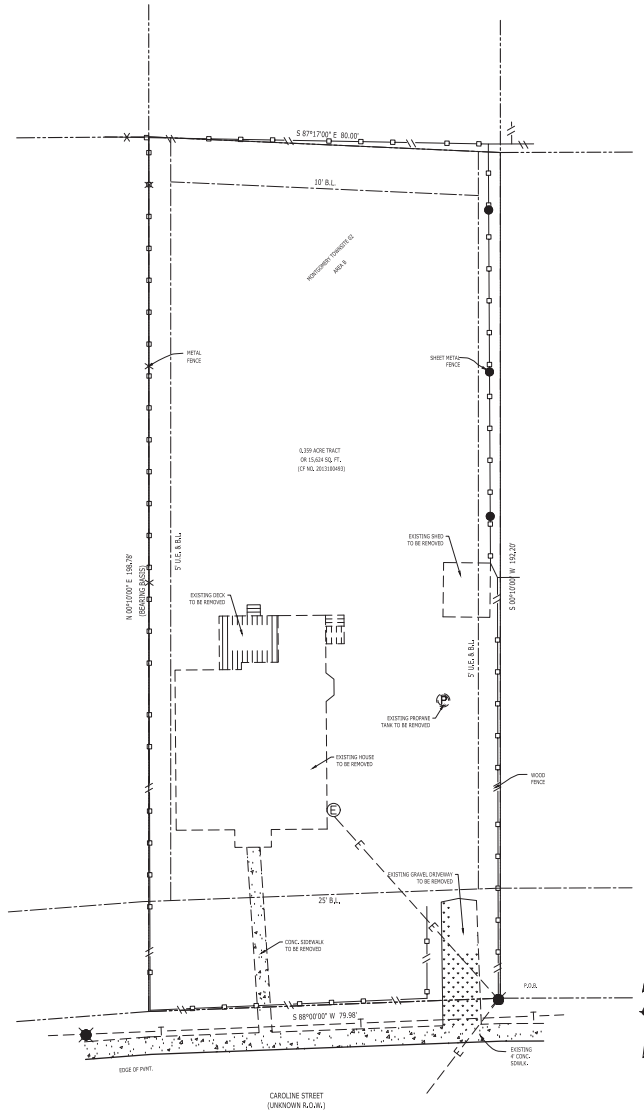


Angled Upper Window Option



STUD PACK BUILDERS

704 CAROLINE
MONTGOMERY, TX 77356



GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL APPLICABLE AGREEMENTS AND JOB SETBACKS PRIOR TO BEGINNING ANY CONSTRUCTION.
2. ALL STYMS AND BOOTS SHALL BE REMOVED TO A MINIMUM DEPTH OF 12 INCHES BELOW THE SURFACE WITHIN BUILDING FOOTPRINT AREA.
3. ROOF GUTTERS AND PENETRATIONS SHALL BE LOCATED TO REAR ROOF SLOPE AND PAINTED TO MATCH SHINGLE COLOR.
4. WATER LEAKY ITEMS SHALL BE PROTECTED FROM FREEZING BY A MINIMUM OF 14" OF EXTERN COVERING.
5. WATER SERVICES SHALL BE INSTALLED 1" BELOW GRADE AT A LOCATION INSIDE THE FOUNDATION FOOTPRINTS EQUIPPED WITH A STOP AND RESTART VALVE AND FITTED WITH A HANDLE THAT IS EASILY ACCESSIBLE.
6. ALL WATER PIPING SHALL BE GRADED TO DRAIN.
7. WATERLINE TO BE INSPECTED BEFORE COVERING.

IMPORTANT GENERAL NOTES

- THESE ARE ALL PROVISIONS FOR GENERAL DESIGN & CONSTRUCTION PURPOSES ONLY. THE ARCHITECT/DESIGNER DOES NOT WARRANT ANY MATERIAL, DESIGN, DETAIL, CODES, CONSTRUCTION METHODS, EQUIPMENT, METHODS, ETC., WHETHER SPECIFIED OR EXPLICITLY NOTED ON THE PLAN.
- THE INFORMATION CONTAINED IN THIS PLAN IS INTENDED TO SHOW DESIGN INTENT ONLY, AND DOES NOT WARRANT BY IT OR THE GENERAL CONTRACTOR'S RESPONSIBILITY TO USE. CHECKED INDUSTRY APPROVED CONSTRUCTION PRACTICES THAT WILL INSURE A SAFE STRUCTURAL DESIGN ARE INTERPRETED HERE.
- ALL CONSTRUCTION TO FOLLOW THE CURRENTLY ADOPTED INTERNATIONAL RESIDENTIAL CODE. THE CURRENTLY ADOPTED INTERNATIONAL BUILDING CODE AND ANY CITY AMENDMENTS TO THESE CODES. ALL CODES SHALL HAVE PRECEDENCE OVER ANYTHING BEING SPECIFIED, OR IMPLIED ON THE PLAN WHERE CONFLICT AS APPLICABLE.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY ARCHITECT & ASSOC., INC. OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS PRESENTED HEREIN.
1. **OWNER'S RESPONSIBILITY:** PRIOR TO CONSTRUCTION THE OWNER WILL DETERMINE THAT THIS PLAN MEETS THE OWNER'S NEEDS AND DESIRES. ANY QUESTIONS OR AMBIGUOUS QUESTIONS SHOULD BE DIRECTED TO THE ARCHITECT/DESIGNER FOR CLARIFICATION OR CORRECTION.
 2. **DIMENSIONS & ERRORS:** THE GENERAL CONTRACTOR AND OWNER WILL BECOME FAMILIAR WITH ALL DESIGN DETAILS OF THIS PLAN. ANY DESIGN CHANGES SHALL BE ACCOMPANIED WITH SUBMITTED DRAWINGS PROVIDED BY THE CONTRACTOR FOR THE OWNER'S APPROVAL. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY ERRORS TO AVOID UNAUTHORIZED CHANGES TO THE ORIGINAL DESIGN DETAILS.
 3. **MODIFICATIONS:** ANY CHANGES TO THE PLAN ARE TO BE MADE BY A QUALIFIED PROFESSIONAL ARCHITECT, ENGINEER, OR DESIGNATED DESIGNER. THE ORIGINAL DESIGNER WILL NOT BE RESPONSIBLE FOR MODIFICATIONS MADE TO THIS PLAN.
 4. **CHANGE ORDERS:** ALL CHANGES TO THE CONSTRUCTION AND DESIGN OF THIS PLAN WILL BE DONE WITH WRITTEN CHANGE ORDERS ISSUED BY THE OWNER AND GENERAL CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COSTS TO COMPLETE CHANGES MADE TO THE CONSTRUCTION THAT ARE NOT APPROVED BY A WRITTEN CHANGE ORDER.
 5. **DETAILS:** ALL IMPORTANT DESIGN DETAILS SUCH AS CORNERS, CORNERS AND JOINTS, ETC. SHALL BE FOLLOWED AS SHOWN ON THE PLAN. ANY DESIGN CHANGES SHALL BE ACCOMPANIED WITH SUBMITTED DRAWINGS PROVIDED BY THE CONTRACTOR FOR THE OWNER'S APPROVAL. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY ERRORS TO AVOID UNAUTHORIZED CHANGES TO THE ORIGINAL DESIGN DETAILS.
 6. **FLOOR FINISHES:** PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR WILL STAKE OUT ON THE JOB - THE FLOOR, PERIMETER, AND FOOT FLOOR AND GARAGE FLOOR ELEVATIONS FOR THE FINISHING APPROVAL. THIS WILL BE ACCOMPANIED WITH SITE PLAN APPROVED IN WRITING BY THE OWNER.
 7. **OWNER'S APPROVAL:** ALL MATERIAL, FINISH AND COLOR SELECTIONS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION. MATERIALS, FINISHES, FINISHES, JOINTS, FINISHES, FINISHES, FINISHES, ETC. AND FINISH APPROVALS WILL BE PROVIDED TO THE OWNER FOR APPROVAL. ORIGINAL, VERNY FINISHES (SIZES) AND SPECIAL FINISHES SUCH AS SANITARY, ETC. BEFORE CONSTRUCTION.
 8. **SQUARE FOOTAGE CALCULATIONS:** THE ACTUAL LIVING SQUARE FOOTAGE IS CALCULATED TO THE EXTENSION OF FINISH FLOOR TO THE FINISH FLOOR FINISHES. THIS DOES NOT INCLUDE FINISHES, IMPROVED BENCHMARKS, OR UNFINISHED SQUARE FOOTAGE. UNFINISHED SQUARE FOOTAGE SUCH AS GARAGE FLOOR, FINISHES, AND STAIRS ARE CALCULATED ON THE FINISH FLOOR FINISHES. THE UNFINISHED SQUARE FOOTAGE OF A WALL IS NOT INCLUDED IN THE LIVING SQUARE FOOTAGE. THIS DOES NOT INCLUDE THE TOTAL SQUARE FOOTAGE.
 9. **TEMPERED GLASS:** TEMPERED GLASS WILL BE INCLUDED PER PER CODE. CONTRACTOR WILL VERIFY TEMPERED GLASS REQUIREMENTS WITH LOCAL BUILDING AUTHORITIES PRIOR TO ORDERING AND INSTALLING WINDOWS.

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CEILING FLOOR JOIST PLANS	B2.1
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PROJECT DESCRIPTION

HOUSE HOUSE
PROPOSED HOUSE BEHIND UNSEEN OFF THE INTERNET FOR 610.000. ARCHITECTURAL PHOTOS REULATOR PHOTOS OF HOUSE LOOKED GOOD.

HULLER HOUSE LOOK LIKE PARKER WATCHE NOT ONE SMOOTH WALL MOST OF THE DETAIL IN THE HOUSE IS NOT FINISHED. ORIGINAL LINES AND CORNERS EXPOSED TO EXHIBIT IN THE HOUSE. FLOORS ARE SLOPING AND THE ROOF IS OPEN IN SEVERAL SPOTS, WHICH HAS CAUSED UNPREDICTABLE WATER DRAINAGE AND DISTURBANCE TO THE HOUSE.

THE BACK PORCH IS IN DISRUPTION SEPARATING FROM THE WALL IN THE BATHROOM, THE TOILET IN A CLOSET ACCESS FROM THE BATHROOM AND DOOR WILL NOT CLOSE IF USING TOILET.

FIELD ROOM VERY UNUSUAL, AND THE ROOM SETS SHALL BE IN THE CORNER AND THE EXISTING SETS COVERED. BEARING GLASS DOOR HAS A GAP IN IT, AND DOES NOT CLOSE COMPLETELY. FAN WILL FROM MICHEN TO COOL ROOM, THE AC DOES NOT WORK AND NEEDS TO BE REPLACED.

HITCHEN HAS A SHEET ROOF DESIGN, WHICH IS UNDESIRABLE OF THE KITCHEN. LET ALONG THE FACT THAT IT IS CONCRETE FROM MAIN HALL FAN PULLING AC FROM ANOTHER ROOM CORPUSUS NOT ATTACHED TO WALL, COUNTER TOP NOT BUSHING DOWN, JUST A MASON TOP OF THE 1/2" INK COMPLETELY UNDONE NOT SCHEDULED CORNER, WINDING ABOVE STOVE, MISSED THE FIRST FLOOR, SO SHELLS ANOTHER BEHIND NEXT TO THE OPERA HOUSE CORNER, FINISHES UNFINISHED ROOMS.

LAUNDRY ROOM IS DANGEROUS BECAUSE YOU NEED TO CLIMB UP TO GET IN THE HOUSE, WATER HEATER (PUMPING) BY VERY POOR CONDITION AND NOT UP TO CODE.

OUTSIDE HOUSE
PROPANE TANK IN BACK YARD DOESN'T WORK, AND WILL BE REMOVED.
BENCHES IN POOR CONDITION AND NEEDS REPLACING ALONG WITH THE ROOF.
SO AFTER DANIELL REPAIRS, IT IS BETTER TO START OVER NEW PLAN BUILD.

THESE PLANS INCLUDE THE NEW USER WE ARE PROPOSING, A SMALL AMOUNT OF TREES WILL NEED TO BE REMOVED TO BUILD THE HOUSE. CONCRETE DIM FROM STREET TO THE GARAGE WILL BE POURED IN PLACE OF THE EXISTING GARAGE WALL. THE 2ND STORY, WITH A GARAGE ROOM ABOVE GARAGE, THERE WILL BE A BRIDGEWAY FROM THE GARAGE TO THE HOUSE ON THE GROUND FLOOR WITH AN UNFINISHED WALKWAY ABOVE TO GET TO THE GARAGE ROOM.

HOUSE WILL BE TWO STORES, AND THE BACK OF THE HOUSE WILL BE ALL WINDOWS UPSTAIRS AND BEARING GLASS DOOR CORNERS OVERLOOKING THE BACK YARD. WANTS HOUSE TO BE A SHOW PLACE IN THE NEIGHBORHOOD.

Item 5.

Stud Pack Builders

JOB SITE ADDRESS:
704 Caroline St.
Montgomery, TX 77356

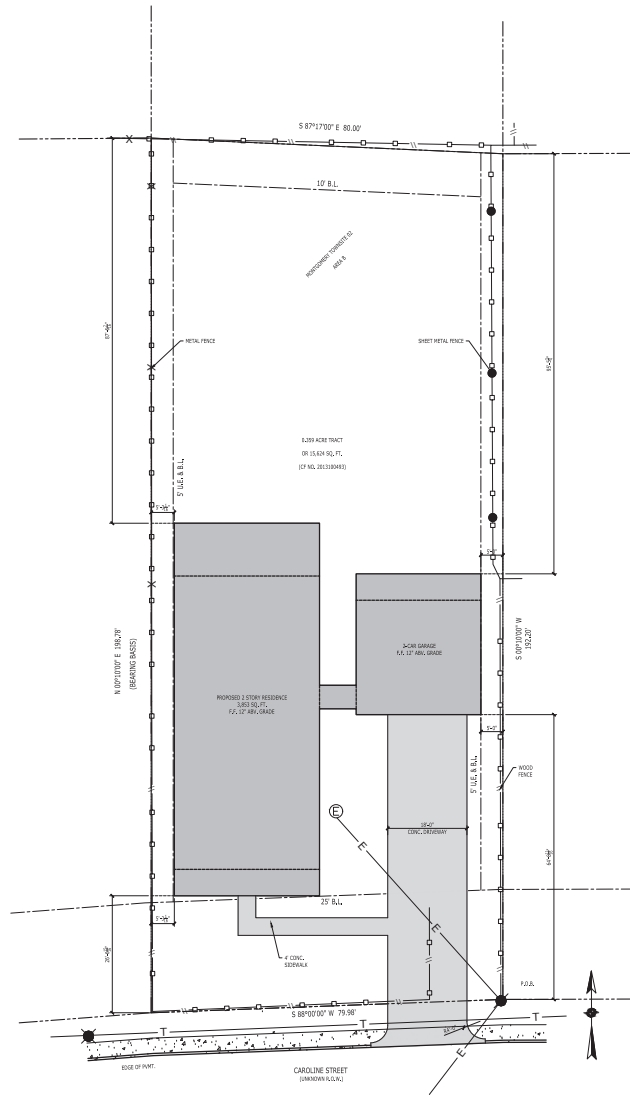
HERRIDGE
4 ASSOCIATES, INC.
8000 BURNING WOODS DRIVE
MONTGOMERY, TEXAS 77124
WWW.HERRIDGE.COM
CONTACT: 713.719.2800

Daniel F. Holak
TX 476
CERTIFICATION NO. 441-422

STATE INFORMATION:
LOCAL: No. Bldg. No. SEC. No.
Bldg. No.
Bldg. No. City/County St.
COUNTY: Montgomery County, TX

DEMO SITE PLAN

DATE: 08/14/2024
TIME: 11:23:00AM
PROJECT: 2401000000



GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL APPLICABLE EASEMENTS AND JOB SETBACKS PRIOR TO BEGINNING ANY CONSTRUCTION.
2. ALL STAIRS AND ROOFS SHALL BE REMOVED TO A MINIMUM DEPTH OF 12 INCHES BELOW THE SURFACE WITHIN BUILDING FOOTPRINT AREA.
3. ROOF GUTTERS AND DRAINATIONS SHALL BE LOCATED TO REAR ROOF SLOPE AND PAINTED TO MATCH SHINGLE COLOR.
4. WATER LEAKY FITTINGS SHALL BE PROTECTED FROM FREEZING BY A MINIMUM OF 14" OF EXTERIOR COVERING.
5. WATER SERVICES SHALL BE INSTALLED 1" BELOW GRADE AT A LOCATION INSIDE THE FOUNDATION FOOTPRINTS EQUIPPED WITH 2" STOP AND CHECK VALVE AND FITTED WITH A HANDLE THAT IS EASILY ACCESSIBLE.
6. ALL WATER PIPING SHALL BE GRADED TO DRAIN.
7. WATERLINE TO BE INSPECTED BEFORE COVERING.

IMPORTANT GENERAL NOTES

OWNER HAS ALL PROVISIONS FOR GENERAL DESIGN & CONSTRUCTION PURPOSES ONLY. THE ARCHITECT/DESIGNER DOES NOT WARRANT ANY MATERIAL, DESIGN DETAIL, CONSTRUCTION METHOD, EQUIPMENT, MATERIALS, ETC., WHETHER SPECIFIED OR EXPLICITLY NOTED ON THE DRAWINGS.

NO REPRESENTATION OR WARRANTY IS MADE AS TO WHETHER TO SHOW DESIGN INTENT ONLY AND SHALL BE MADE BY THE GENERAL CONTRACTOR'S RESPONSIBILITY TO USE STANDARD INDUSTRY APPROVED CONSTRUCTION PRACTICES THAT WILL INSURE A SAFE STRUCTURE AND BE INTERPRETED HERE.

ALL CONSTRUCTION TO FOLLOW THE CURRENTLY ADOPTED INTERNATIONAL RESIDENTIAL CODE. THE CURRENTLY ADOPTED INTERNATIONAL BUILDING CODE AND ANY CITY AMENDMENTS TO THESE CODES. ALL CODES SHALL HAVE PRECEDENCE OVER ANYTHING SHOWN, LOCATED, OR IMPLIED ON THE PLAN WHERE CONFLICTS AT HANDING.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY HERZOG & ASSOC., INC. OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS REGISTERED HEREIN.

1. **OWNER'S RESPONSIBILITY:** PRIOR TO CONSTRUCTION THE OWNER WILL DETERMINE THAT THIS PLAN MEETS THE CURRENT NEEDS AND DESIGN EXPECTATIONS - ANY DESIGN QUESTIONS SHOULD BE DIRECTED TO THE ARCHITECT/DESIGNER FOR CLARIFICATION OR CORRECTION.
2. **DIMENSIONS & ERRORS:** THE GENERAL CONTRACTOR AND OWNER WILL BECOME FAMILIAR WITH ALL DESIGN ASPECTS OF THESE PLANS. ANY QUESTIONS WILL BE COVERED BY THE ARCHITECT/DESIGNER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ERRORS NOT IDENTIFIED ON ANY SCALE DRAWINGS.
3. **MODIFICATIONS:** ANY CHANGES TO THE PLAN ARE TO BE MADE BY A QUALIFIED PROFESSIONAL ARCHITECT, ENGINEER, OR ARCHITECTURAL DESIGNER. THE ORIGINAL DESIGNER WILL NOT BE RESPONSIBLE FOR MODIFICATIONS MADE TO THE PLAN.
4. **CHANGE ORDERS:** ALL CHANGES TO THE CONSTRUCTION AND DESIGN OF THIS PLAN WILL BE DONE WITH WRITTEN CHANGE ORDERS ISSUED BY THE OWNER AND GENERAL CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COSTS TO COMPLETE CHANGES MADE TO THE CONSTRUCTION THAT ARE NOT APPROVED BY A WRITTEN CHANGE ORDER.
5. **DETAILS:** ALL IMPORTANT DESIGN DETAILS SUCH AS CORNERS, CORNERS AND ROOFINGS, ETC. SHALL BE FOLLOWED AS BY THE PLANS. ANY DESIGN CHANGES SHALL BE ACCOMPANIED WITH SUBSTITUTES DRAWINGS PROVIDED BY THE CONTRACTOR FOR THE OWNER APPROVAL. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ERRORS TO AVOID UNAUTHORIZED CHANGES TO THE ORIGINAL DESIGN DETAILS.

FLOOR ELEVATIONS: PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR WILL STAKE OUT ON THE JOB - THE HOUSE, DRIVEWAY, AND FOOT CURE AND GARAGE FLOOR ELEVATIONS FOR THE OWNER'S APPROVAL. THIS WILL BE ACCOMPANIED WITH SITE PLAN APPROVED IN WRITING BY THE OWNER.

OWNER'S APPROVAL: ALL MATERIAL, FINISH AND COLOR SELECTIONS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION. MATERIAL, FINISHES, FINISHES, BRICK, CERAMIC, STONE, ETC., AND FINISH SAMPLES SHALL BE PROVIDED TO THE OWNER FOR APPROVAL BEFORE ORDERING, VERIFY FINISHES, COLORS AND SPECIAL FINISHES SUCH AS SPA TUBS, ETC. BEFORE CONSTRUCTION.

SQUARE FOOTAGE CALCULATIONS: THE ACTUAL LIVING SQUARE FOOTAGE IS CALCULATED TO THE EXTERIOR OF FINISH FLOOR OF THE FINISH INTERIOR SPACE. THIS DOES NOT INCLUDE: FINISHES, UNFINISHED BASEMENTS OR UNFINISHED SECOND FLOORS, HALLS OR TRANSIT SPACES SUCH AS GREAT ROOMS, PORCHES, AND STAIRS ARE CALCULATED ONLY ON THE FIRST FLOOR ONLY. THE NON-STRUCTURAL FINISH COMPONENT OF A WALL IS NOT INCLUDED IN THE LIVING SQUARE FOOTAGE BUT IS INCLUDED IN THE TOTAL SQUARE FOOTAGE.

TEMPERED GLASS: TEMPERED GLASS WILL BE INCLUDED AS PER CODE. CONTRACTOR WILL VERIFY TEMPERED GLASS REQUIREMENTS WITH LOCAL BUILDING AUTHORITIES PRIOR TO ORDERING AND INSTALLING WINDOWS.

FOOTAGE SYNOPSIS

HOUSE FOUNDATION	3745
CONCRETE DRIVEWAY & SIDEWALK	1522
TOTAL HARD SURFACE	5268
LOT SIZE	15824
HARD SURFACE PERCENT	33.7%

Item 5.

Stud Pack Builders

JOB SITE ADDRESS:
704 Caroline St.
Montgomery, TX 77356

HERRIDGE & ASSOCIATES, INC.
RESIDENTIAL ARCHITECTURAL
COMMERCIAL ARCHITECTURAL
CONTRACTORS
WWW.HERRIDGE.COM

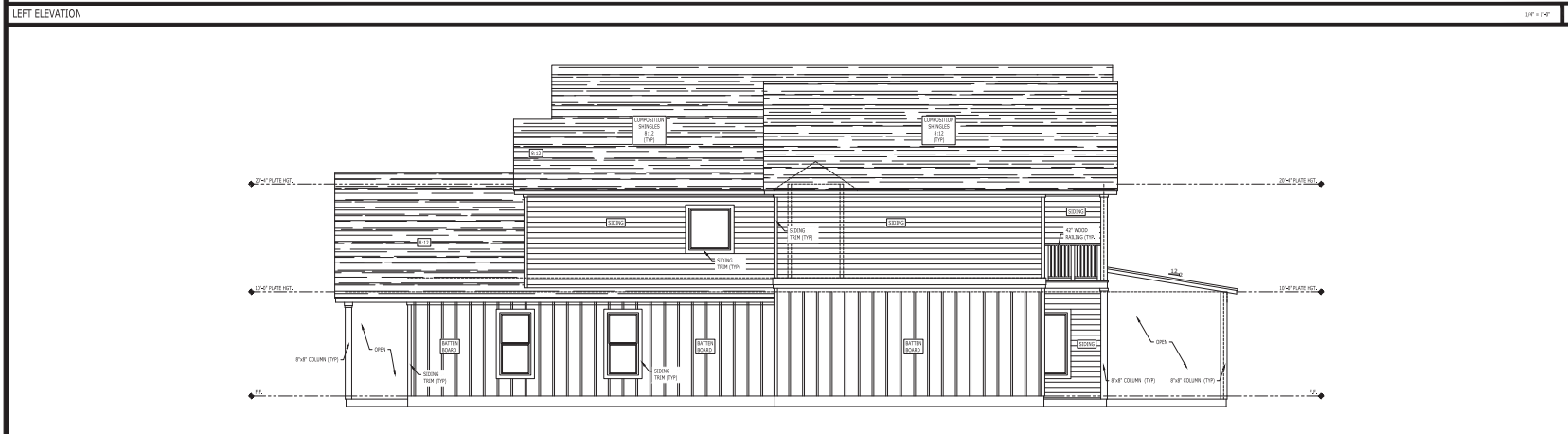
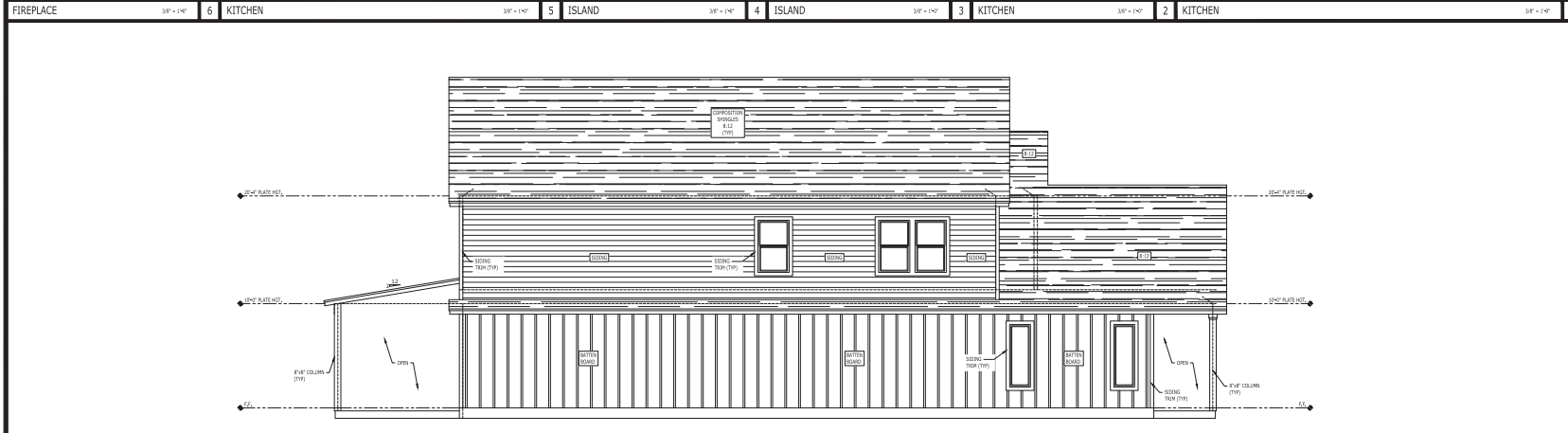
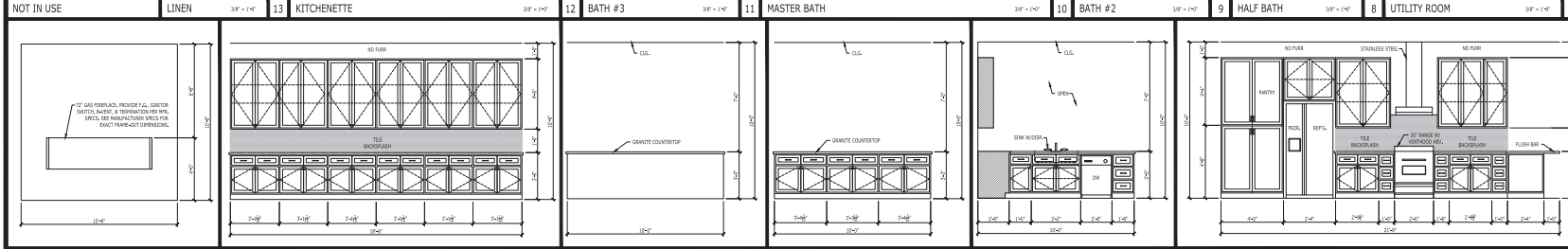
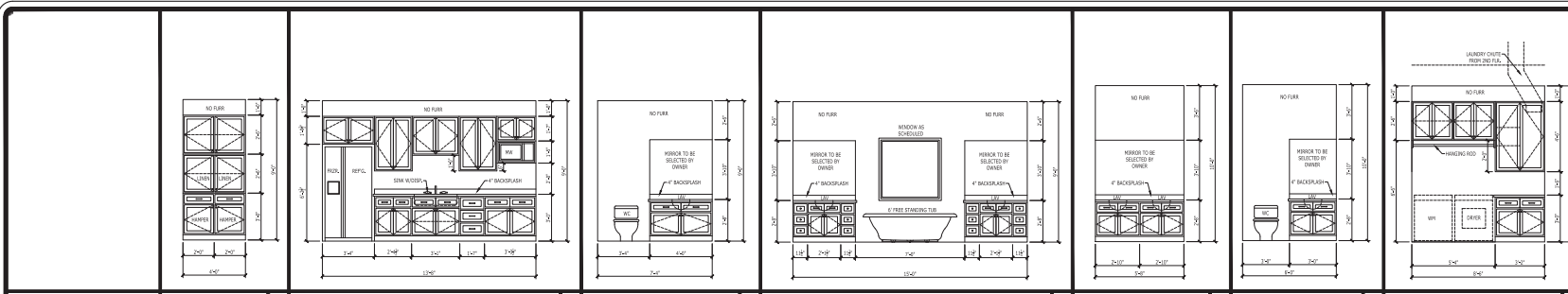
Daniel F. Holak
ARCHITECT
TX 476
REGISTRATION NO. 441-422

SITE INFORMATION:
LOT: 363,100 SQ. FT. (C/MO. 201310048)
BLOCK: 704 Caroline St.
CITY: Montgomery STATE: TX
COUNTY: Montgomery County

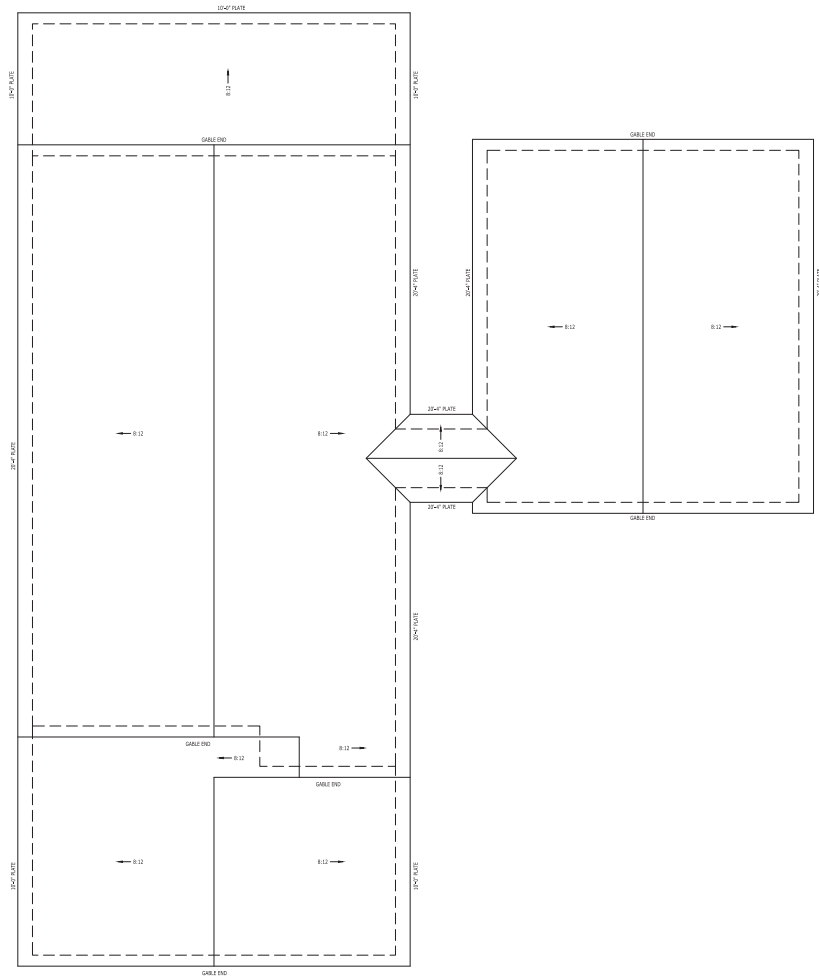
SITE PLAN

OWNER: []
DESIGNER: []
DATE: 08-20-2023
SCALE: 1" = 10'-0"
PROJECT NO.: 23-03-02004
PLANNING PERMIT:

- ELEVATION GENERAL NOTES:**
(SEE UTILITY AND MECH. NOTES)
1. ALL CONSTRUCTION TO FOLLOW THE CURRENTLY ADOPTED INTERNATIONAL RESIDENTIAL CODE AND ANY CITY AMENDMENTS TO THE CODE.
 2. ALL CITY PERMITS, WITHIN THE JURISDICTION OF THE CITY, SHALL BE OBTAINED BY THE CONTRACTOR AND BE RESPONSIBLE FOR THE COMPLETION OF THE PERMITTING PROCESS.
 3. ALL NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE GENERAL NOTES ON THESE DRAWINGS.
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LEFT ELEVATION 2
RIGHT ELEVATION 1



- ROOF GENERAL NOTES:**
(SEE OPERATE NOTE)
1. DIMENSIONS SHOWN TO CENTER OF ALL WALLS, PER AND TRUSS, UNLESS FOR VENTILATION PROJECTIONS 3/4" ABOVE WITH FLASHING AND DETAIL IF BEYOND GABLE HEIGHT TO MATCH ROOF.
 2. CHIMNEY FEETES SHALL EXT THROUGH THE ROOF FLASHING UNDER ALL FLASHING AND DETAIL UNDER.
 3. GALVANIZED STEEL FLASHING AT ALL ROOF TO WALL AND ROOF TO ROOF INTERFACES (PANT TO MATCH ROOF AND WALL).
 4. COPINGS TO BE A MINIMUM 2"X4 ABOVE ANY ROOF LINE WITHIN A 1/2"X4 RADIUS, OR 2"X4 FROM ANY ROOF LINE TO WALLS, SEE DETAIL 200-100-100-100.
 5. FLASHING SHALL BE CENTERED TO CENTER, UNLESS OTHERWISE SPECIFIED.
 6. CONTINUOUS GALVANIZED STEEL FLASHING SHALL BE APPLIED OVER MAIN ROOF DECK AND TRIM.
 7. ALL ROOF FLASHING SHALL BE APPLIED OVER MAIN ROOF DECK AND TRIM.
 8. ALL ROOF FLASHING SHALL BE APPLIED OVER MAIN ROOF DECK AND TRIM.
 9. ALL ROOF FLASHING SHALL BE APPLIED OVER MAIN ROOF DECK AND TRIM.
 10. ALL ROOF FLASHING SHALL BE APPLIED OVER MAIN ROOF DECK AND TRIM.

Item 5.

Stud Pack Builders

10000 N. Loop West, Suite 1000, Houston, TX 77067
 281-461-1111
 www.studpackbuilders.com

10000 N. Loop West, Suite 1000, Houston, TX 77067
 281-461-1111
 www.studpackbuilders.com

JOB SITE ADDRESS:
 704 Conline St.
 Montgomery, TX 77356

HERRIDGE & ASSOCIATES, INC.
 8800A KIRKLAND - COMMERCIAL/RESIDENTIAL
 10000 N. LOOP WEST - COMMERCIAL/RESIDENTIAL
 CONLINE, TX 77356

Daniel F. Holak
 ARCHITECT
 TX 476
 REGISTRATION NO. 441-422

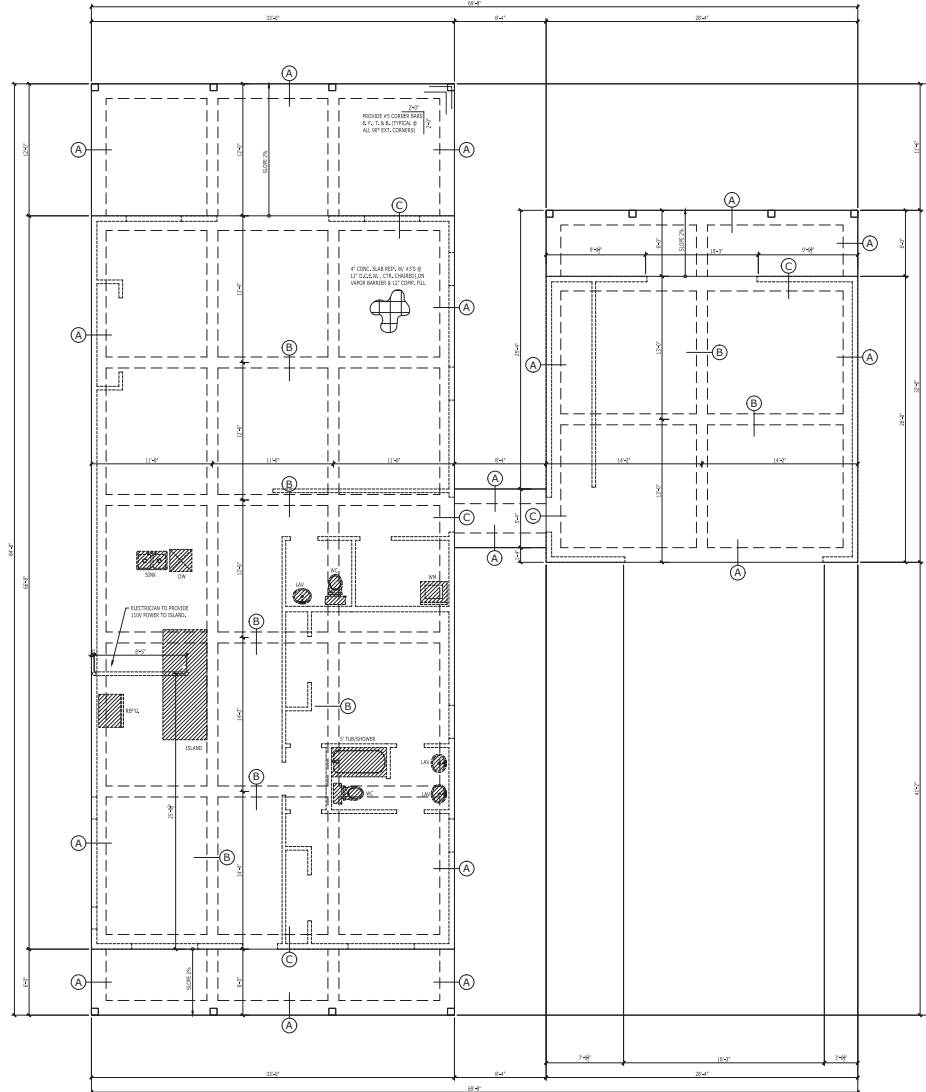
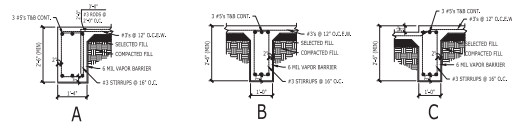
SITE INFORMATION:
 LOC: 36 34 34 SEC. 34
 RANGE: 704 Conline St.
 CITY: Montgomery STATE: TX
 COUNTY: Montgomery County

ROOF PLAN

DATE: 08/20/2024
 TIME: 10:00 AM
 DRAWN BY: J. HERRIDGE
 CHECKED BY: J. HERRIDGE

A 33

FOUNDATION DETAILS



FOUNDATION PLAN

SOIL PREPARATION

1. THE AREA WITHIN THE FOUNDATION WALLS SHALL HAVE ALL VEGETATION, TOP SOIL AND FORESKID MATERIAL REMOVED.
2. INSPECTOR TO VERIFY.
3. CONSTRUCT FIVE (5) TEST PITS SELECTED UNIFORMLY HAVING A BULKHEAD INDEX OF FOUR AS A MINIMUM OF 12\"/>

2

Item 5.

Stud Pack Builders

JOB SITE ADDRESS:
704 Caroline St.
Montgomery, TX 77356

HERRIDGE
& ASSOCIATES, INC.
8 BELLEVUE DRIVERS - COMMERCIAL/RESIDENTIAL
WWW.HERRIDGE.COM
CONTRACT # 17-17-001



SITE INFORMATION:
LOC: 86 84 84 84 84 84
DATE: 7/24/2024
CITY: Montgomery STATE: TX
COUNTY: Montgomery County

FOUNDATION PLAN

DATE: 7/24/24
BY: [Signature]
CHECKED: [Signature]
SCALE: AS SHOWN
PROJECT: 17-17-001

DEL-PMI ENGINEERING
ASSOCIATES, INC.
FIRM #: 002236

34

Montgomery Planning and Zoning Commission
AGENDA REPORT

Meeting Date: February 7, 2023	Budgeted Amount: N/A
Department: Administration	Prepared By: Dave McCorquodale

Subject

Consideration and possible action on a recommendation to City Council on a side yard setback variance request for Montgomery Bend, an 80-acre single family residential development.

Recommendation

Consider the information and recommend approval or denial of the variance request to city council.

Discussion

The Commission reviewed the Feasibility Study for Montgomery Bend in July 2022 and the Preliminary Plat for Section One in December 2022. The development includes 309 single-family homes and a recreation/amenity center. The residential lots are 45-feet wide and were approved as part of the Development Agreement with the City.

The developer has submitted a variance request to allow 5-foot side yards for all of the lots in the subdivision instead of the 10-foot side yard required by current city regulations. 5-foot side yards are found in neighborhoods like Hills of Town Creek, Terra Vista, Villas of Mia Lago, and newer sections of the Buffalo Springs development with lots widths of 50-60 feet.

The engineer’s memo is attached for review and they offer no objections to the request. When the developer presented the project to City Council in July 2022, they indicated they would be requesting a 7.5-foot side yard setback. The City can place conditions on a reduced side yard such as not allowing air conditioners, generators, or other equipment in the smaller side yards. Considering the approved 45-foot lot widths, I believe a reduced side yard of 5-feet or 7.5-feet to be reasonable with the condition that no accessory equipment be allowed in the side yards.

The Planning & Zoning Commission makes a recommendation to City Council who will approve or deny the request.

Approved By

Director of Planning & Development	Dave McCorquodale	Date: 02/03/2023



February 3, 2023

The Planning and Zoning Commission
City of Montgomery
101 Old Plantersville Road
Montgomery, Texas 77316

Re: Variance Request
Montgomery Bend Subdivision (Dev. No. 2203)
City of Montgomery

Dear Commission:

Pulte Homes of Texas, LP (“the Developer”) plans to proceed with construction of approximately 79.9 acres of land located along FM 1097. The Developer is requesting the following variances from the City’s Code of Ordinances:

- Section 98-122: The City’s Code of Ordinances requires all R-1 single family residential side yards to be no less than 10 feet from the property line.

Enclosed you will find the request for variance as submitted by the engineer for the development. As stated in the application, the Developer is requesting to reduce the width of side yards between adjacent lots within their subdivision to be reduced from the required 10’ to 5’. This is consistent with lot size in the subdivision. The size variance previously approved (45’) and required in order to build the size house they originally presented to the City. We offer no objection’s to the Developer’s variance request.

If you have any questions or comments, please do not hesitate to contact me or Katherine Vu.

Sincerely,

Chris Roznovsky, PE
Engineer for the City

CVR/zlgt

Z:\00574 (City of Montgomery)_900 General Consultation\Correspondence\Letters\02.03.2023 MEMO to P&Z RE Montgomery Bend Variance Request.docx

Enclosures: Variance Application

Cc (via email): Mr. Gary Palmer – City of Montgomery, City Administrator
Mr. Dave McCorquodale – City of Montgomery, Director of Planning and Development
Ms. Nicola Browe – City of Montgomery, City Secretary
Mr. Alan Petrov – Johnson Petrov, LLP, City Attorney



January 31st, 2023

Dave McCorquodale
City Manager
City of Montgomery
101 Old Plantersville Road
Montgomery, Texas, 77316

Re: Montgomery Bend – Variance Request

Dear Mr. McCorquodale,

On behalf of The Pulte Group, we META Planning + Design LLC respectfully submit a variance application for the above listed Montgomery Bend Development. We are requesting a variance from section 98-122 of the City of Montgomery’s Code of Ordinances to reduce the minimum side setback requirement from 10 feet to 5 feet. This request is will not be injurious to the public health, safety, or welfare.

We request this be considered at the February 7th Planning and Zoning Commission Meeting. Please contact me if you need any additional information.

Sincerely,

Colin Davidson

Colin Davidson
cdavidson@meta-pd.com
(281)-895-3041



Variance Request Application

City of Montgomery
101 Old Plantersville Road
Montgomery, Texas 77316
(936) 597-6434

Item 6.

Upon completion return application to dmccorquodale@ci.montgomery.tx.us

Contact Information

Property Owner(s): Pulte Homes of Texas LP

Address: 1311 Broadfield Boulevard, Suite 100, Houston, Texas Zip Code: 77084

Email Address: Connor.Young@Pulte.com Phone: _____

Applicants: META Planning + Design

Address: 24285 Katy Freeway, Suite 525, Katy, Texas

Email Address: cdavidson@meta-pd.com Phone: 281-895-3041

Parcel Information

Property Identification Number (MCAD R#): R35187

Legal Description: A0036 - Shannon Owens, Tract 30, 31, 79.9 Acres

Street Address or Location: Southeast of FM 1097 and east of Terra Vista at Waterstone Sec 1.

Acreage: 79.9 Present Zoning: R-1 Single Family Residentil Present Land Use: Undeveloped

Variance Request

Applicant is requesting a variance from the following:

City of Montgomery Ordinance No.: 2014-03 Section(s): 98-122 (a.) (2)

Ordinance wording as stated in Section (122-98):

Side yard on main thoroughfare. There shall be a side yard on each side of the lot having a width of not less than ten feet.
A side yard adjacent to a side street shall not be less than 15 feet from the property line to the building line, except, where
the lots side on a major street, the building line shall be not less than 25 feet from the side street property line.

Detail the variance request by comparing what the ordinance states to what the applicant is requesting:

The request is to reduce the width of the side yard from 10 feet to 5 feet for all of the Montgomery Bend development.

Signatures

Owner(s) of record for the above described parcel:

Signature: Colin Davidson Date: 1/31/2023

Signature: _____ Date: _____

Signature: _____ Date: _____

Note: Signatures are required for all owners of record for the property proposed for variance. Attach additional signatures on a separate sheet of paper.

Additional Information

The following information must also be submitted:

Cover letter on company letterhead stating what is being asked.

A site plan.

All applicable fees and payments.

The application from must be signed by the owner/applicant. If the applicant is not the owner, written authorization from the owner authorizing the applicant to submit the variance request shall be submitted.

<p>Date Received <i>Office Use</i></p>	
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Public Hearings

Parties in interest and citizens shall have an opportunity to be heard at public hearings conducted by the Planning and Zoning Commission and the City Council before any variance to a district regulation, restriction, or boundary shall become effective. Regularly scheduled meetings are as follows and will be held accordingly unless public notice has been given of a change of dates:

Planning and Zoning Commission: **1st Tuesday of every month at 6:00 p.m.**

City Council: **2nd and 4th Tuesday of every month at 6:00 p.m.**

Finding of Undue Hardship

In order to grant a variance, the Board must make the following findings to determine that an undue hardship exists:

1. That literal enforcement of the controls will create an unnecessary hardship or practical difficulty in the development of the affected property; and
2. That the situation causing the hardship or difficulty is neither self-imposed nor generally affecting all or most properties in the same zoning district; and
3. That the relief sought will not injure the permitted use of adjacent conforming property; and
4. That the granting of a variance will be in harmony with the spirit and purpose of these regulations.
5. Financial hardship alone is not an “undue hardship” if the property can be used, meeting the requirements of the zoning district it is located in.

Factors not Considered

A variance shall not:

1. Be granted to relieve a self-created or personal hardship,
2. Be based solely upon economic gain or loss,
3. Permit or allow any person a privilege or advantage in developing a parcel of land not permitted or allowed by these Regulations to other parcels of land in the same particular zoning district,
4. Result in undue hardship upon another parcel of land.



SF-1
106 LOTS
(TYP. 45'X120')
±20.7 Ac.

SF-2
89 LOTS
(TYP. 45'X120')
±15.8 Ac.

SF-3
114 LOTS
(TYP. 45'X120')
±23.0 Ac.

a schematic development plan for
MABRY TRACT
 ±79.9 ACRES OF LAND
 prepared for
PULTE GROUP

META 24275 Katy Freeway, Ste. 200
 Katy, Texas 77494
 Tel: 281-810-1422



MTA-68007
 JULY 8, 2022

LOT SUMMARY

45'x120'	309 LOTS	100%
TOTAL	309 LOTS	

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