



## CITY COUNCIL MEETING AGENDA

June 01, 2026 at 6:30 PM

7701 County Road 110 West Minnetrista, MN 55364

*Pursuant to Minnesota Statutes, section 13D.02, one or more council members may participate remotely.*

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### 1) CALL TO ORDER

- a) Pledge of Allegiance
- b) Introductions: City Council: Mayor Lisa Whalen, Cathleen Reffkin, Claudia Lacy, Peter Vickery, Brian Govern Staff: City Administrator Jasper Kruggel, Finance Director Brian Grimm, Community Development Director David Abel, Director of Public Safety Craig Squires, Assistant City Administrator Paula Bauman, Director of Public Works Gary Peters and City Clerk Ann Meyerhoff Consultants: City Attorney Sarah Sonsalla, Kennedy & Graven and City Engineer Alyson Fauske, WSB Engineering
- c) Approval of Agenda

### 2) SPECIAL PRESENTATIONS

### 3) PERSONS TO BE HEARD

The City Council invites residents to share new ideas or concerns related to city business not already on the agenda; however, individual question and remarks are limited to three (3) minutes per speaker. No City Council action will be taken, although the Council may refer issues to staff for follow up or for consideration at a future meeting. The Mayor may use discretion if speakers are repeating views already expressed or ask for a spokesperson for groups of individuals with similar views. Speakers should state their name and home address at the podium before speaking.

### 4) CONSENT AGENDA

- a) Approve Work Session Meeting Minutes from May 18, 2026
- b) Approve City Council Regular Meeting Minutes from May 18, 2026
- c) Res. No. 62-26 Approve Claims
- d) Res. No. 63-26 Approve Application from R. Carol Spalding for a Conditional Use Permit to Allow for the Construction of a Guest Home over 1,000 square feet at 2501 County Road 92
- e) Approve Conditional Offer of Employment to Richard Griffiths for the position of Police Officer
- f) Approve Termination of Officer Robbins
- g) Accept Resignation of Police Officer Brandon White

### 5) PUBLIC HEARINGS

- a) Nuisance Declaration - 9550 West Hill Road
  - i) Res. No. 64-26 Declaring 9550 West Hill Road a Public Nuisance and Issuing an Abatement Order

## 6) BUSINESS ITEMS

- a)** Early Voting 18- Day Option Consideration
- b)** Westedge/North Saunders Trail Replacement - Accept Quotes and Award Contract
- c)** 2026 Pavement Maintenance - Accept Bids and Award Contract
  - i) Res. No. 66-26 Accept Bids and Awarding Contract for the 2026 Pavement Maintenance Project - Crack Fill, Sealcoat & Fog Seal
  - ii) Res. No. 67-26 Accept Bids and Awarding Contract for the 2026 Pavement Maintenance Project - Reclamite

## 7) ADMINISTRATIVE ITEMS

- a)** Future Agenda Items
  - Tobacco Ordinance (6-15-2026 WS)
  - Lift Assist Ordinance (6-15-2026 WS)
  - Budget Kick - Off (6-15-2026 WS)
  - Water Rate Adjustments Effective July 1, 2026 (6-15-2026 WS/RM)
  - Land Lease for Cell Tower Discussion (6-15-2026 WS)
  - Water Meter Software Update (7-13-2026 WS)
- b)** Staff Reports
- c)** Council Reports
  - i)** Mayor Lisa Whalen – Economic Development Authority; Planning Commission (rotating); Parks Commission (rotating); Public Safety Advisory Committee; Northwest Hennepin League of Municipalities; Regional Council of Mayors; Minnehaha Creek Watershed District; Mound Fire Advisory Committee (alternate); Fire Partnership Committee
  - ii)** Cathleen Reffkin – Acting Mayor; Economic Development Authority; Personnel Committee, Planning Commission (rotating); Parks Commission (rotating); St Bonifacius Fire Advisory Committee; Mound Fire Advisory Committee; Fire Partnership Committee
  - iii)** Claudia Lacy - Economic Development Authority; Planning Commission (rotating); Parks Commission (rotating), Gillespie Center Advisory Council, Westonka Community Commerce Committee
  - iv)** Peter Vickery – Economic Development Authority; Personnel Committee, Planning Commission (rotating); Parks Commission (rotating); Pioneer-Sarah Creek Watershed Management Commission
  - v)** Brian Govern – Economic Development Authority; Planning Commission (rotating); Parks Commission (rotating); Pioneer-Sarah Creek Watershed Management Commission, Westonka Community & Commerce

## 8) ADJOURNMENT

The agenda packet with all background material will be available on the City's website for viewing by the public. Published agenda is subject to change without notice. Information

and materials relating to the above items are available for review at city hall by appointment.



## CITY COUNCIL WORK SESSION MINUTES

May 18, 2026 at 5:00 PM

7701 County Road 110 West Minnetrista, MN 55364

*Pursuant to Minnesota Statutes, section 13D.02, one or more council members may participate remotely.*

### 1) CALL TO ORDER

Mayor Whalen called the meeting to order at 5:00 p.m.

Council Present: Mayor Whalen, Councilmembers Reffkin, Vickery, Lacy, Govern. Staff; City Administrator Kruggel, Assistant City Administrator Bauman, Community Development Director Abel, Finance Director Grimm, Public Works Director Peters (Remote), Director of Safety Squires, Deputy Chief Cummings, City Clerk Meyerhoff (Remote), City Engineer Fauske, City Attorney Sonsalla (Remote)

### 2) DISCUSSION ITEMS

#### a) 2027 Street Improvement Project Scoping

City Engineer Fauske presented several potential areas for the 2027 street improvement project, with preliminary budget discussions ranging between \$600,000 and \$700,000. The proposed project areas included the Painters Road/Painters Creek rural residential area, Ridgewood Cove, Marina Drive near the high school, and the Island neighborhood excluding Tuxedo Road and Enchanted Lane, which were completed in 2018. Staff explained that most of the proposed areas would likely require full-depth reclamation based on pavement conditions and prior pavement core samples. Ridgewood Cove was highlighted as needing further discussion because there is currently no water main in the area, prompting questions regarding whether residents would want future water service and what installation methods might be appropriate. Staff also noted that the Island neighborhood project fit within the anticipated budget range and would likely qualify for assessments due to the age and condition of the roads.

Council discussed the city's road fund balance, which currently stands at approximately \$2 million, and debated whether additional road projects should be pursued rather than carrying a large fund balance while construction costs continue to rise. Staff explained that the city had intentionally reduced annual road spending in anticipation of larger future projects, including the Hunter's Crest reconstruction project estimated at approximately \$4.6 million or more. Councilmembers discussed balancing current spending with future bonding needs and agreed that while preserving funds for upcoming major projects is important, road costs are increasing annually. Staff also reviewed upcoming bond obligations and explained that few road-related debts will be retiring in the near future.

Councilmembers expressed support for prioritizing the Island neighborhood project, citing the roadway condition, density of homes in the area, and the amount of maintenance currently required. Staff indicated that additional pavement cores would still be needed to better define the scope of work and provide contractors with accurate information regarding pavement thickness and reclamation needs. Council also requested information regarding estimated assessments per property once unit counts

are completed. Staff noted that reconstruction projects typically result in lower per-household assessments in denser neighborhoods and explained that approximately 40 percent of assessments are often prepaid by residents.

Discussion continued regarding Ridgewood Cove and the possibility of extending municipal water service if street improvements are pursued there. Staff explained that while no requirement exists to extend water service, reconstructing the roadway without addressing water infrastructure could effectively delay future water installation for several decades. Councilmembers noted that similar neighborhoods have previously expressed little interest in city water service. Staff recommended first focusing on the Island project while continuing to evaluate Ridgewood Cove as a possible future project. Council directed staff to proceed with feasibility studies for both the Island and Ridgewood Cove areas, gather additional pavement and cost information, and determine the timeframe for validity of the feasibility study should Ridgewood Cove be delayed until the 2028 construction season.

b) Bosma Property Update

City Administrator Kruggel presented an update regarding the Basma property at 9550 W. Hill Road, including video evidence and inspection findings documenting extensive accumulations of vehicles, scrap materials and garbage on the site. Council members agreed the property likely constitutes a public nuisance under city code and discussed possible next steps, including formally declaring the site a nuisance and pursuing a nuisance abatement order. Staff explained the legal and financial implications of the process, noting cleanup costs could range from \$50,000 to \$100,000 and would initially be paid by the city before being assessed against the property taxes. Council members expressed concern for the elderly property owner and his family while also emphasizing the ongoing impact on neighbors and the community. The city attorney outlined that court involvement would likely be necessary before the city could enter the property and remove materials. After discussion, the council directed staff to prepare nuisance declaration and abatement documents for the June 1 meeting, with a proposed cleanup deadline of August 1, despite some debate over whether that timeline was too short.

c) Utility Bill Process Analysis

City staff and council members discussed the proposed utility billing process changes related to transitioning water billing from quarterly to monthly statements and whether to outsource the printing and mailing portion of the process. Staff explained that outsourcing to InfoSend would streamline operations, reduce costs through economies of scale, improve turnaround times, and lessen the administrative burden on city employees, particularly as monthly billing is expected to significantly increase customer service inquiries and processing time. Staff estimated that moving to monthly billing would add approximately 672 staff hours annually, with about 96 hours related specifically to printing and mailing tasks that could be outsourced. Several council members supported the proposal, citing efficiency, redundancy concerns, and reduced operational risk if key staff are unavailable or equipment fails. Other council members raised concerns about the procurement process, questioning whether sufficient vendor comparisons and cost analysis had been presented before recommending outsourcing. The discussion also included ideas for encouraging residents to enroll in paperless billing through incentives or bill credits to reduce future mailing costs. Ultimately, the majority of the council expressed support for outsourcing the printing and mailing

services to InfoSend, and staff was directed to bring the contract back as a formal business item at the regular meeting following the work session.

d) Update of Boulevard Tree Replacement in Hunters Crest and Discuss Potential Cost Share for Replacement of Ash Trees Removed

City staff updated the council on the ongoing removal of dead ash trees throughout the city, particularly in the Hunters Crest neighborhood, where several trees located within boulevard areas have recently been removed. Staff raised the issue proactively in anticipation of potential resident or homeowners association requests for replacement trees and noted that replacement costs are estimated at approximately \$600 per tree based on prior street project data. Council members discussed possible approaches for handling replacement requests, including replacing trees only upon homeowner request, considering cost-sharing arrangements, and potentially locating replacement trees on private property so maintenance responsibility would fall to the homeowner rather than the city. Staff also noted that grant opportunities may be available through Hennepin County, although a recent grant application had been denied. The council generally supported tracking resident requests before establishing a formal replacement policy, with staff proposing to return to the council once a meaningful number of requests had been received and to provide updates on the city's ash tree removal efforts and any future grant opportunities.

3) **ADJOURNMENT**

Motion by Reffkin, seconded by Vickery to adjourn the work session at 6:10 p.m.

Motion passed 5-0

\_\_\_\_\_  
Lisa Whalen, Mayor

ATTEST:

\_\_\_\_\_  
Ann Meyerhoff, City Clerk



## CITY COUNCIL MEETING MINUTES

May 18, 2026 at 6:30 PM

7701 County Road 110 West Minnetrista, MN 55364

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### 1) CALL TO ORDER

Mayor Whalen called the meeting to order at 6:30 p.m.

- a) Pledge of Allegiance
- b) Introductions: City Council: Mayor Lisa Whalen, Cathleen Reffkin, Claudia Lacy, Peter Vickery, Brian Govern Staff: City Administrator Jasper Kruggel, Finance Director Brian Grimm, Community Development Director David Abel (Remote), Director of Public Safety Craig Squires, Assistant City Administrator Paula Bauman, Director of Public Works Gary Peters (Remote) and City Clerk Ann Meyerhoff (Remote) Consultants: City Attorney Sarah Sonsalla, Kennedy & Graven (Remote) and City Engineer Alyson Fauske, WSB Engineering
- c) Approval of Agenda

Mayor Whalen added item 5C to Business Items, Approve Master Plan Agreement with InfoSend

Motion made by Councilmember Vickery, Seconded by Councilmember Reffkin to approve the agenda as amended.

Voting Yea: Mayor Whalen, Councilmember Reffkin, Councilmember Vickery, Councilmember Lacy, Councilmember Govern

### 2) SPECIAL PRESENTATIONS

- a) MMCD Presentation - Alex Carlson

Alex Carlson from Minnesota Mosquito Control District gave a presentation on mosquitos in Minnesota.

- b) Audit Presentation - 2025 Financial Report

The City Council received a presentation of the 2025 audit results from Troy Gabler and Austin Wolf. Mr. Gabler explained that the audit provides reasonable assurance, rather than absolute assurance, and is based on risk assessments, testing, and interviews with management and board members. He reported that the City received an unmodified, or "clean," audit opinion, which is the highest level of assurance auditors can provide. Auditors identified no uncorrected or corrected misstatements, no material weaknesses or significant deficiencies in internal controls, and no Minnesota legal compliance findings. Mr. Gabler noted that it is uncommon for municipalities to receive a clean opinion with no compliance issues and credited City staff, particularly the finance department, for maintaining accurate records and implementing new governmental accounting standards effectively. The auditors also confirmed that all required state reporting would be submitted on time.

Mr. Wolf reviewed financial trends and fund balances for the City. He reported that the General Fund unassigned fund balance remained healthy at just over \$2.5 million, or approximately 40 percent of expenditures, with plans to increase the balance above \$3 million in 2026. General Fund revenues and expenditures have remained stable over recent years, with property taxes serving as the largest revenue source. Public safety expenditures increased slightly in 2025 due to higher fire contract costs and the addition of police officers. Enterprise funds for water, sewer, and stormwater were also reviewed. The water fund experienced a decline in unrestricted net position due primarily to capital expenditures and lower water usage caused by wetter weather conditions. The sewer fund continued to operate at a loss due to flat base fees, while the stormwater fund remained financially healthy with revenues exceeding expenditures. Mr. Wolf also reviewed the City's debt position, noting that total debt decreased from the previous year despite recent bond issuances, and compared the City's tax and expenditure levels to similar communities, highlighting that the City maintains lower taxes and expenditures while continuing to provide comparable services.

Mr. Gabler concluded the presentation by reviewing upcoming Governmental Accounting Standards Board (GASB) statements that will affect future reporting. He explained that the upcoming standards are less impactful than those implemented in recent years and will primarily involve changes to financial statement presentation and disclosures, including revised management discussion and analysis sections and additional reporting requirements for enterprise funds and capital assets. No major new audit areas or significant implementation challenges are anticipated. Council members thanked the auditors for the thorough presentation.

i) Receive and Accept 2025 Financial Audit

Motion made by Councilmember Reffkin, Seconded by Councilmember Vickery to Receive and Accept 2025 Financial Audit.

Voting Yea: Mayor Whalen, Councilmember Reffkin, Councilmember Vickery, Councilmember Lacy, Councilmember Govern

### 3) PERSONS TO BE HEARD

Barbara Salik Schaefer, 6750 Woodland Cove Boulevard, appeared before the Council to dispute her first quarter utility bill, which included a water charge of \$1,952.25. Ms. Schaefer stated that she is a seasonal resident and was away during the first quarter of the year, though friends and family occasionally stayed at the home. She explained that she had received endpoint data from City staff showing daily water usage from February 16 through March 27, including a spike of approximately 600 gallons on March 15 when her daughter and family were staying at the residence. However, Ms. Schaefer expressed concern that the City could not provide daily usage documentation for the entire billing period and requested supporting documentation for the reported 130,926 gallons of water usage. She noted that her bill had already been paid through auto-pay but requested either additional documentation or an adjustment to the bill if documentation could not be produced.

Council and staff discussed the matter with Ms. Schaefer and explained that the current metering system stores only 40 days of daily usage data, while billing is currently conducted on a quarterly basis. Staff confirmed that the water meter had been tested and passed a bucket test, indicating that the meter was functioning properly. Staff further explained that while daily usage data beyond 40 days is unavailable, the utility billing is based on beginning and ending meter readings for the quarter, which documented the total water

usage. Ms. Schaefer clarified that she was not disputing the functionality of the meter itself but rather the lack of detailed documentation showing when the water was used during the billing period. Council members acknowledged her concerns and discussed similar past experiences with unexpected high water bills, including instances involving running toilets or unnoticed water usage. Staff noted that the City plans to transition to monthly billing, which will allow daily usage data to be available within the system's 40-day storage window and provide residents with more timely information regarding water usage. No formal action was taken by the Council.

#### 4) CONSENT AGENDA

- a) Approve Work Session Meeting Minutes from May 4, 2026
- b) Approve City Council Regular Meeting Minutes from May 4, 2026
- c) Res. No. 57-26 Approve Claims
- d) Res. No. 58-26 to Examine Fire Partnership with St. Bonifacius
- e) Res. No. 59-26 Award the Production of a Sanitary Lift Station Control Panel for Lift Station #2
- f) Res. No. 60-26 Approve Lift Station Control Panel Installation at Lift Station #2
- g) Res. No. 61-26 Authorize installation of 4-way Stop and Crosswalk at Woodland Cove Boulevard/Lotus Trail and Bellflower Drive

Motion made by Councilmember Reffkin, Seconded by Councilmember Govern to adopt the consent agenda as presented.

Voting Yea: Mayor Whalen, Councilmember Reffkin, Councilmember Vickery, Councilmember Lacy, Councilmember Govern

#### 5) BUSINESS ITEMS

- a) Approve Task Order 17 and Authorize Preparation of Plans and Specifications for CR 110/151 Drainage Improvements, City Project 04-26

The council reviewed a drainage improvement project located at the southeast corner of County Road 110 and 151, where runoff from nearby county roads has been causing erosion between adjacent properties. The area also includes a sanitary sewer manhole that requires consideration in the design. City staff reported that coordination with Hennepin County resulted in approval of a 50/50 cost-sharing agreement for the project, which was viewed positively by the council.

A task order totaling \$24,400 was presented for engineering services, including design, bidding support, and construction administration. Staff recommended moving forward with design work this year with the goal of completing construction during the fall and winter construction season to address the ongoing erosion issues before the end of the year. Council members generally supported the proposal, noting that the shared responsibility for runoff and infrastructure made the cost split appropriate and beneficial for both parties.

Motion made by Councilmember Vickery, Seconded by Councilmember Lacy Approving Task Order 17 and Authorize Preparation of Plans and Specifications for CR 110/151 Drainage Improvements, City Project 04-26.

Voting Yea: Mayor Whalen, Councilmember Reffkin, Councilmember Vickery, Councilmember Lacy, Councilmember Govern

- b) Water Treatment Plant Change Order No. 02

The council considered Change Order #2 for the water treatment plant, which included three main adjustments: a pump modification to improve the facility's ability to reclaim and reuse process water, a required revision to the stormwater basin in response to comments from the watershed district, and a deduct related to fitting materials for the spray system on the reclaim tank. Staff noted that additional change orders are expected as the project progresses but indicated that most submittals have been completed so far. The net impact of this change order was approximately a \$23,000 increase, bringing the cumulative change order total to about \$18,000, within the 5% contingency allowance.

Council members asked for clarification on the technical aspects of the reclaim system and piping changes. Staff explained that the reclaim process captures water used during treatment, allows solids to settle, and then recycles the cleaner water back through the filtration system rather than sending it directly to the sewer, reducing discharge costs. The pump upgrades support handling thicker sludge and moving material more efficiently over longer distances. The reduction in pipe size and removal of certain manual valves were tied to the revised system design, which relies more on internal water reuse rather than direct discharge. Staff also confirmed that pump lead times will not impact the project schedule, as they are not needed until final completion, expected in 2027.

Motion made by Councilmember Reffkin, Seconded by Councilmember Vickery to Approve Water Treatment Plant Change order No. 02.

Voting Yea: Mayor Whalen, Councilmember Reffkin, Councilmember Vickery, Councilmember Lacy, Councilmember Govern

c) Approve Master Plan Agreement with InfoSend

The council discussed approving a master services agreement with InfoSend for monthly water and sewer billing mailings, which will handle printing and distribution as the city transitions from quarterly to monthly billing. The contract is estimated at about \$0.80 per mailed piece and is intended to improve efficiency by outsourcing the final step of the billing process. Staff noted the vendor reviewed and accepted some contract revisions prior to the meeting.

Councilmember Reffkin raised concerns about contract provisions allowing annual fee increases, a discontinuance fee equal to two months of prior average billing, and language permitting rate adjustments if mailing volumes change significantly. Discussion focused on how these terms could affect the city if costs rise or if more residents shift to paperless billing, potentially reducing mailing volumes. Staff and legal counsel explained that fee changes would require notice, good-faith negotiation, and could ultimately allow either party to terminate the agreement if terms cannot be resolved, though concerns remained about timing and financial exposure during any transition.

Despite reservations, staff emphasized the benefits of outsourcing billing mailings and noted that similar contracts have been successfully used by other municipalities. After extended discussion, the council considered moving forward with approval while also exploring potential modifications to strengthen the city's protections, particularly around discontinuation fees and termination flexibility in the event of significant cost increases.

Motion made by Councilmember Govern, Seconded by Councilmember Lacy to Approve the Master Service Agreement with InfoSend with the contingency of removing the two-month discontinuation fee.

Voting Yea: Mayor Whalen, Councilmember Vickery, Councilmember Lacy,  
Councilmember Govern

Voting Nay: Councilmember Reffkin

**6) PUBLIC HEARINGS**

**7) ADMINISTRATIVE ITEMS**

a) Staff Reports

Chief Squires updated Council on Trista Day stating that they had a very good turnout.

b) Council Reports

i) Mayor Lisa Whalen

- Minnetrista received \$3 million from the Bonding Bill
- State of the City was a success and well attended
- Attended County Attorney Debate hosted by Northwest League

ii) Cathleen Reffkin

- Updated Council on the St Bonifacius Fire Meeting

iii) Claudia Lacy

iv) Peter Vickery

v) Brian Govern

**8) ADJOURNMENT**

Motion made by Councilmember Lacy, Seconded by Councilmember Reffkin to adjourn the meeting at 8:03 p.m.

Voting Yea: Mayor Whalen, Councilmember Reffkin, Councilmember Vickery,  
Councilmember Lacy, Councilmember Govern

\_\_\_\_\_  
Lisa Whalen, Mayor

ATTEST:

\_\_\_\_\_  
Ann Meyerhoff, City Clerk

**RESOLUTION NO. 62-26**

**RESOLUTION APPROVING JUST AND CORRECT  
CLAIMS AGAINST CITY FUNDS**

WHEREAS, the City Council of the City of Minnetrista, pursuant to MS 412.241, shall have the full authority over the financial affairs of the City; and

WHEREAS, the City Council reviewed the Claims for payment, with checks numbered 74308 through 74353; electronic checks E1003648 through E1003657; Claims batch includes an electronic transfer for payroll in the amount of \$111,915.78.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MINNETRISTA, that the attached list of claims in the amount of \$467,318.31 is hereby approved.

ADOPTED this 1st day of June 2026 by a vote of \_\_\_\_ Ayes  
\_\_\_\_ Nays.

\_\_\_\_\_  
Lisa Whalen, Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

(seal)

CITY OF MINNETRISTA

\*Check Detail Register©

Batch: Xcel051326,5-15-26 BRIDGE,PR05212026,Medica052026,060126AP,AE2S060126

Check #	Check Date	Vendor Name	Amount	Invoice	Comment
<b>1010 1ST BK OF THE LAKES</b>					
<b>74308</b>	05/26/26	<b>MEDICA</b>			
E 101-41320-131		HEALTH & LIFE INS - E C	\$4,480.00	62596541344	Insurance Premium
E 101-41910-131		HEALTH & LIFE INS - E C	\$1,900.00	62596541344	Insurance Premium
E 101-43121-131		HEALTH & LIFE INS - E C	\$4,886.29	62596541344	Insurance Premium
E 101-42110-131		HEALTH & LIFE INS - E C	\$17,400.00	62596541344	Insurance Premium
E 101-43125-131		HEALTH & LIFE INS - E C	\$1,154.94	62596541344	Insurance Premium
E 101-45202-131		HEALTH & LIFE INS - E C	\$621.89	62596541344	Insurance Premium
E 601-49440-131		HEALTH & LIFE INS - E C	\$2,323.42	62596541344	Insurance Premium
E 602-49490-131		HEALTH & LIFE INS - E C	\$2,048.42	62596541344	Insurance Premium
E 651-49590-131		HEALTH & LIFE INS - E C	\$719.21	62596541344	Insurance Premium
E 101-42401-131		HEALTH & LIFE INS - E C	\$2,500.00	62596541344	Insurance Premium
G 101-2340		PAYROLL CLEARING HE	\$2,900.00	62596541344	Insurance Premium
		Total	\$40,934.17		
<b>74309</b>	06/01/26	<b>A-1 Rent It</b>			
E 101-42110-440		APPRECIATION EVENTS	\$190.00	230904-1	Sign for events
E 671-43230-241		RECYCLING DAY EXPEN	\$190.00	230904-1	Sign for events
		Total	\$380.00		
<b>74310</b>	06/01/26	<b>BAUMAN, PAULA</b>			
E 101-41320-331		TRAVEL EXPENSE	\$175.45		MCMA Conference Mileage
		Total	\$175.45		
<b>74311</b>	06/01/26	<b>BIFFS, INC.</b>			
E 101-45202-401		BLDG/STRUCT MAINTEN	\$127.14	INV298210	Lisle Park
E 101-45202-401		BLDG/STRUCT MAINTEN	\$127.14	INV298211	Linden Park
E 101-45202-401		BLDG/STRUCT MAINTEN	\$127.14	INV298212	Lisle Park
		Total	\$381.42		
<b>74312</b>	06/01/26	<b>BRIDGE TOWER MEDIA</b>			
E 406-43121-351		LEGAL NOTICE & ORD P	\$306.85	745867562	2026 Pavement Maintenance Project
		Total	\$306.85		
<b>74313</b>	06/01/26	<b>BROADWAY TENT &amp; EVENT</b>			
E 101-42110-440		APPRECIATION EVENTS	\$2,081.90	230903-3	Trista Day Rentals
		Total	\$2,081.90		
<b>74314</b>	06/01/26	<b>CANON FINANCIAL SERVICES INC</b>			
E 101-42110-202		COPY & PRINTING SUPP	\$104.50	43159256	Copier -PD
		Total	\$104.50		
<b>74315</b>	06/01/26	<b>CHARTER COMMUNICATIONS/LEROC</b>			
E 101-42110-307		PROFESSIONAL SERVIC	\$50.00	26-010468	Subpoena for Records
		Total	\$50.00		
<b>74316</b>	06/01/26	<b>CITY OF PLYMOUTH</b>			
E 401-42110-560		EQUIP AND FURNISHIN	\$1,000.00	2026-000000	Radios
		Total	\$1,000.00		
<b>74317</b>	06/01/26	<b>CLASSIC CLEANING COMPANY</b>			

CITY OF MINNETRISTA

**\*Check Detail Register©**

Batch: Xcel051326,5-15-26 BRIDGE,PR05212026,Medica052026,060126AP,AE2S060126

Check #	Check Date	Vendor Name	Amount	Invoice	Comment
E 101-42110-211		CLEANING & MAINT SUP	\$775.00	39211	Monthly Cleaning - May 2026
E 101-42110-221		EQUIPMENT PARTS, TIR	\$395.00	39211	Window Washing PD -May 2026
E 101-41940-211		CLEANING & MAINT SUP	\$400.00	39212	Monthly Cleaning- City Hall May 2026
E 101-43121-211		CLEANING & MAINT SUP	\$375.00	39212	Monthly Cleaning-PW May 2026
E 101-41940-211		CLEANING & MAINT SUP	\$495.00	39212	Window Washing City Hall May 2026
		Total	\$2,440.00		
<b>74318</b>	06/01/26	<b>Crooked Water Golf Club</b>			
E 101-41110-440		APPRECIATION EVENTS	\$1,019.75		State of the City
		Total	\$1,019.75		
<b>74319</b>	06/01/26	<b>DATAWORKS PLUS LLC</b>			
E 101-42110-404		VEHICLE & EQUIP MAIN	\$2,808.00	26-587	Maintenance Fee
		Total	\$2,808.00		
<b>74320</b>	06/01/26	<b>ECM Publishers, Inc.</b>			
E 101-41910-351		LEGAL NOTICE & ORD P	\$38.70	1098437	CUP
E 101-42110-440		APPRECIATION EVENTS	\$167.65	1098608	Trista Day
E 101-41910-351		LEGAL NOTICE & ORD P	\$176.25	1098609	Compl Plan Steering Committee
E 101-41320-351		LEGAL NOTICE & ORD P	\$30.10	1099356	Ord No 505
		Total	\$412.70		
<b>74321</b>	06/01/26	<b>SECOND CHANCE RECYCLING</b>			
E 671-43230-241		RECYCLING DAY EXPEN	\$2,715.00	1573	Mattresses for Recycling Day
		Total	\$2,715.00		
<b>74322</b>	06/01/26	<b>FIRST STATE TIRE RECYCLING</b>			
E 671-43230-241		RECYCLING DAY EXPEN	\$1,370.50	125749	Tires Recycling Day
		Total	\$1,370.50		
<b>74323</b>	06/01/26	<b>FLOCK GROUP INC DBA FLOCK SAFETY</b>			
E 401-42110-540		MOTOR VEHICLES & MA	\$7,000.00	INV-94326	Traffic Cameras
E 401-42110-560		EQUIP AND FURNISHIN	\$5,000.00	INV-94326	Traffic Cameras
		Total	\$12,000.00		
<b>74324</b>	06/01/26	<b>FRONTIER OH</b>			
E 601-49440-381		ELECTRIC UTILITIES	\$3,387.11	217-188-0265	Internet Service and Phone-2 months
		Total	\$3,387.11		
<b>74325</b>	06/01/26	<b>GFOA</b>			
E 101-41320-433		DUES & SUBSRIPT & TR	\$505.00		2025 Award Program-Financial Report
		Total	\$505.00		
<b>74326</b>	06/01/26	<b>GREAT AMERICA FINANCIAL SVCS</b>			
E 101-41320-322		POSTAGE	\$175.85	41963643	Postage Machine
		Total	\$175.85		
<b>74327</b>	06/01/26	<b>HAWKINS INC</b>			
E 601-49440-227		UTILITY SYSTEM MAINT	\$110.00	7424771	Monthly Charge for Chlorine Cylinder
		Total	\$110.00		
<b>74328</b>	06/01/26	<b>HIGHWAY 55 RENTAL &amp; SALES</b>			

## CITY OF MINNETRISTA

### \*Check Detail Register©

Batch: Xcel051326,5-15-26 BRIDGE,PR05212026,Medica052026,060126AP,AE2S060126

Check #	Check Date	Vendor Name	Amount	Invoice	Comment
E 101-42110-440		APPRECIATION EVENTS	\$628.00		
		Total	\$628.00		
<b>74329</b>	06/01/26	<b>INTERSTATE TESTING LLC</b>			
E 101-42110-401		BLDG/STRUCT MAINTEN	\$330.00	18027	Annual RPZ and PVB Testing
E 101-45202-401		BLDG/STRUCT MAINTEN	\$770.00	18027	Annual RPZ and PVB Testing
E 601-49440-401		BLDG/STRUCT MAINTEN	\$440.00	18027	Annual RPZ and PVB Testing
		Total	\$1,540.00		
<b>74330</b>	06/01/26	<b>JRS ADVANCED RECYCLERS</b>			
E 671-43230-241		RECYCLING DAY EXPEN	\$34.50	118056	Batteries Recycling day
		Total	\$34.50		
<b>74331</b>	06/01/26	<b>KENNEDY &amp; GRAVEN, CHARTERED</b>			
E 101-41610-304		LEGAL FEES - ATTORNE	\$3,000.00	MN415-0000	General
E 101-41610-304		LEGAL FEES - ATTORNE	\$1,165.20	MN415-0014	Administration
E 101-41610-304		LEGAL FEES - ATTORNE	\$444.40	MN415-0026	General Personnel Matters
E 101-41610-304		LEGAL FEES - ATTORNE	\$6,230.00	MN415-0038	Sunnyfield Road Code Enforcement
E 101-41610-304		LEGAL FEES - ATTORNE	\$2,150.00	MN415-0039	Nuisance Abatement Action
E 101-41610-304		LEGAL FEES - ATTORNE	\$676.70	MN415-0039	Great Plains Towers Lease
		Total	\$13,666.30		
<b>74332</b>	06/01/26	<b>LANGUAGE LINE SERVICES</b>			
E 101-42110-307		PROFESSIONAL SERVIC	\$2.84	11921445	Interpretation Services
		Total	\$2.84		
<b>74333</b>	06/01/26	<b>Lano Equipment of Loretto</b>			
E 101-43121-221		EQUIPMENT PARTS, TIR	\$90.75	03-1237807	Replacement Tooth for Stump Grinder
		Total	\$90.75		
<b>74334</b>	06/01/26	<b>LE-AST SERVICE COUNSELING</b>			
E 101-42110-307		PROFESSIONAL SERVIC	\$630.00	2062	Check Up from the Neck Up and Retainer
		Total	\$630.00		
<b>74335</b>	06/01/26	<b>LOFFLER</b>			
E 101-41320-410		COMPUTER SERVICES/F	\$127.50	5359033	Software Installation for Headset
		Total	\$127.50		
<b>74336</b>	06/01/26	<b>METRO SALES INC</b>			
E 101-41320-202		COPY & PRINTING SUPP	\$180.00	INV3097663	Copies
E 101-41910-202		COPY & PRINTING SUPP	\$180.00	INV3097663	Copies
E 101-42401-202		COPY & PRINTING SUPP	\$200.00	INV3097663	Copies
E 101-43121-437		MISCELLANEOUS EXPE	\$84.71	INV3097663	Copies
E 101-43121-437		MISCELLANEOUS EXPE	\$266.50	INV3098335	Copies
		Total	\$911.21		
<b>74337</b>	06/01/26	<b>MIDCO</b>			
E 673-49600-307		PROFESSIONAL SERVIC	\$815.39	37285950215	Internet
		Total	\$815.39		
<b>74338</b>	06/01/26	<b>MONTES DE OCA, MIGUEL</b>			

## CITY OF MINNETRISTA

**\*Check Detail Register©**

Batch: Xcel051326,5-15-26 BRIDGE,PR05212026,Medica052026,060126AP,AE2S060126

Check #	Check Date	Vendor Name	Amount	Invoice	Comment
E 101-43121-417		UNIFORMS	\$249.10		Boot Allowance
		Total	\$249.10		
<b>74339</b>	06/01/26	<b>MORRELL ENTERPRISES</b>			
E 671-43230-241		RECYCLING DAY EXPEN	\$6,656.43	45122	Junk Removal for Recycling Day
		Total	\$6,656.43		
<b>74340</b>	06/01/26	<b>OFFICE DEPOT</b>			
E 101-42110-202		COPY & PRINTING SUPP	\$102.65	46692989800	Paper, Plates, Tissues, USB
		Total	\$102.65		
<b>74341</b>	06/01/26	<b>OFFICE OF MNIT SERVICES</b>			
E 101-42110-410		COMPUTER SERVICES/F	\$100.00	DV26040450	WAN
		Total	\$100.00		
<b>74342</b>	06/01/26	<b>PLUNKETTS</b>			
E 101-43121-401		BLDG/STRUCT MAINTEN	\$140.61	10538294	Pest Control
		Total	\$140.61		
<b>74343</b>	06/01/26	<b>Postmaster</b>			
E 101-41320-322		POSTAGE	\$370.00	PI 89	First Class Presort
		Total	\$370.00		
<b>74344</b>	06/01/26	<b>RANDYS LANDSCAPE PLUS</b>			
E 651-49590-224		STREET MAINTENANCE	\$539.00	10228	Black Dirt
		Total	\$539.00		
<b>74345</b>	06/01/26	<b>SCHROEDER CONSTRUCTION INC</b>			
E 651-49590-530		IMPROVEMENTS	\$21,715.00	25346	Installation of Drain Pipe at 925 Bayside Lane
		Total	\$21,715.00		
<b>74346</b>	06/01/26	<b>STREICHER'S</b>			
E 401-42110-560		EQUIP AND FURNISHIN	\$105.00	I1821058	SWAT
		Total	\$105.00		
<b>74347</b>	06/01/26	<b>TEREX USA LLC</b>			
E 404-45202-580		OTHER EQUIPMENT	\$13,715.71	7661901	Repair of Bucket Truck approved by council
		Total	\$13,715.71		
<b>74348</b>	06/01/26	<b>TRUENORTH STEEL</b>			
E 651-49590-224		STREET MAINTENANCE	\$1,045.48	BL000001976	Replacement Culvert Pipe for Apple Garden Road
		Total	\$1,045.48		
<b>74349</b>	06/01/26	<b>TWIN PINES TREE AND LANDSCAPE</b>			
E 404-45202-530		IMPROVEMENTS	\$1,800.00	2149	Removal of Large Dead Ash tree from City owned Hardscrabble Fire Lane
		Total	\$1,800.00		
<b>74350</b>	06/01/26	<b>Wm Mueller &amp; Sons Inc.</b>			
E 101-43121-224		STREET MAINTENANCE	\$90.10	322855	Asphalt for Patching
E 101-43121-224		STREET MAINTENANCE	\$89.25	322946	Asphalt for Patching
		Total	\$179.35		

## CITY OF MINNETRISTA

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Check #	Check Date	Vendor Name	Amount	Invoice	Comment
<b>74351</b>	06/01/26	<b>WRIGHT-HENNEPIN COOPERATIVE</b>			
E 101-42110-339		SIREN AND MAINTENAN	\$290.32		150-1680-355 Co Rd 15
E 101-42110-339		SIREN AND MAINTENAN	\$289.67		150-1680-355 675 Apple Garden
E 101-42110-339		SIREN AND MAINTENAN	\$289.67		150-1680-381 Rolling Hills Drive
E 101-42110-339		SIREN AND MAINTENAN	\$289.67		150-1680-381 765 Game Farm Rd
E 101-42110-339		SIREN AND MAINTENAN	\$289.67		150-1680-433 Co Rd 26
		Total	\$1,449.00		
<b>74352</b>	06/01/26	<b>WSB &amp; ASSOCIATES</b>			
E 651-49590-303		ENGINEERING SERV	\$426.25	R-013428-00	MS4 Services
E 406-43121-303		ENGINEERING SERV	\$1,367.00	R-028526-00	2025 Pavement Maintenance Project
E 406-43121-303		ENGINEERING SERV	\$723.50	R-029049-00	2026 Street Improvement Project
E 601-49440-303		ENGINEERING SERV	\$500.00	R-031223-00	General Engineering Svcs
E 602-49490-303		ENGINEERING SERV	\$500.00	R-031223-00	General Engineering Svcs
E 651-49590-303		ENGINEERING SERV	\$500.00	R-031223-00	General Engineering Svcs
E 101-42600-303		ENGINEERING SERV	\$1,500.00	R-031223-00	General Engineering Svcs
E 651-49590-303		ENGINEERING SERV	\$657.50	R-031373-00	Bayside Meeting and Follow up
E 101-43121-307		PROFESSIONAL SERVIC	\$920.50	R-031373-00	Woodland Cove Crosswalk, Site visit
E 602-49490-303		ENGINEERING SERV	\$2,746.00	R-031373-00	Sewer Items for Hwy 7 Project
E 404-45202-303		ENGINEERING SERV	\$789.00	R-031373-00	Fence Rails and Trail replacement
E 406-43121-303		ENGINEERING SERV	\$3,566.75	R-033677-00	2026 Pavement Maintenance Project
G 801-1170		LAND USE RECEIVABLE	\$959.50	R-033738-00	* M/I Homes Hwy 7
E 101-43121-307		PROFESSIONAL SERVIC	\$3,600.00	R-035418-00	2026 Datafi Subscription
		Total	\$18,756.00		
<b>74353</b>	06/01/26	<b>XCEL ENERGY</b>			
E 101-43160-381		ELECTRIC UTILITIES	\$2,843.80		51-6565411-9 Electricity-Street Lights
		Total	\$2,843.80		
<b>1003648 e</b>	05/13/26	<b>XCEL ENERGY</b>			
E 601-49440-381		ELECTRIC UTILITIES	\$11,537.95		51-6565410-8 Electricity-Wells/Watertower
E 101-42110-381		ELECTRIC UTILITIES	\$6,839.10		51-9597547-2 Electricity-Police
		Total	\$18,377.05		
<b>1003649 e</b>	05/22/26	<b>BRIDGEWATER BANK</b>			
E 101-41320-437		MISCELLANEOUS EXPE	\$199.25	5/15/26	REMOTE DEPOSIT AND POSITIVE PAY MONTHLY FEE
		Total	\$199.25		
<b>1003650 e</b>	05/26/26	<b>ICMA</b>			
G 101-2370		PAYROLL CLEARING DE	\$288.46		* Roth IRA Contributions
		Total	\$288.46		
<b>1003651 e</b>	05/26/26	<b>HCSP</b>			
G 101-2370		PAYROLL CLEARING DE	\$275.00		* Retirement
		Total	\$275.00		
<b>1003652 e</b>	05/26/26	<b>Optum</b>			
G 101-2347		HSA CLEARING ACCT	\$5,657.18		HSA Employer and Employee Cont
		Total	\$5,657.18		

## CITY OF MINNETRISTA

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Batch: Xcel051326,5-15-26 BRIDGE,PR05212026,Medica052026,060126AP,AE2S060126

Check #	Check Date	Vendor Name	Amount	Invoice	Comment
<b>1003653 e</b>	05/26/26	<b>EDWARD JONES</b>			
G 101-2370		PAYROLL CLEARING DE	\$3,087.57		* Deferred Comp w/h
		Total	\$3,087.57		
<b>1003654 e</b>	05/26/26	<b>Public Employees Retirement</b>			
G 101-2330		PAYROLL CLEARING PE	\$33,807.03		* Pera w/h
		Total	\$33,807.03		
<b>1003655 e</b>	05/26/26	<b>MINNESOTA DEPT. OF REV.</b>			
G 101-2310		PAYROLL CLEARING ST	\$8,312.92		* State w/h
		Total	\$8,312.92		
<b>1003656 e</b>	05/26/26	<b>Internal Revenue Service</b>			
G 101-2300		PAYROLL CLEARING FE	\$18,268.70		* PR - Fed w/h
G 101-2320		PAYROLL CLEARING FIC	\$17,142.82		* PR - SS/Medicare w/h
		Total	\$35,411.52		
<b>1003657 e</b>	06/01/26	<b>AE2S</b>			
E 601-49440-303		ENGINEERING SERV	\$1,330.00	110821	AE2 April Invoicing for Communication Services (WTP & Billing)
E 601-49440-303		ENGINEERING SERV	\$7,272.75	110854	AE2 April Invoicing for General Engineering Services
E 601-49440-303		ENGINEERING SERV	\$745.50	110862	AE2 April Invoicing for Westonka Watermain replacement
E 602-49490-303		ENGINEERING SERV	\$3,010.81	110989	AE2 April Invoicing for FS#14 Communication upgrades
E 601-49440-381		ELECTRIC UTILITIES	\$63,643.20	110995	AE2 April Invoicing for SWTP Construction Services
E 602-49490-303		ENGINEERING SERV	\$1,322.50	110997	AE2 April Invoicing for LS 4 and LS 6 Control Panel Replacement
E 602-49490-303		ENGINEERING SERV	\$7,434.50	110999	AE2 April Invoicing for LS#2 Panel replacement Services
E 601-49440-303		ENGINEERING SERV	\$2,405.47	111065	AE2 April Invoicing for Scada Services
E 602-49490-303		ENGINEERING SERV	\$2,250.00	111065	AE2 April Invoicing for Scada Services
		Total	\$89,414.73		
		<b>1010</b>	<b>\$355,402.53</b>		

#### Fund Summary

<b>1010 1ST BK OF THE LAKES</b>	
101 GENERAL FUND	\$168,677.33
401 CAPITAL IMPROVEMENT PROGRAM	\$13,105.00
404 PARK DEDICATION FUND	\$16,304.71
406 ROAD MAINTENANCE FUND	\$5,964.10
601 WATER FUND	\$93,695.40
602 SEWER FUND	\$19,312.23
651 STORM WATER MGMT FUND	\$25,602.44
671 RECYCLING FUND	\$10,966.43
673 CABLE	\$815.39
801 LANDUSE AGENCY	\$959.50
	\$355,402.53

CITY OF MINNETRISTA



CITY COUNCIL CONSENT AGENDA ITEM

**Subject:** Application from R. Carol Spalding for a conditional use permit to allow for the construction of a guest home over 1,000 square feet at 2501 County Road 92.

**Prepared By:** Nickolas Olson, Senior City Planner  
**Through:** David Abel, Community Development Director

**Meeting Date:** June 1, 2026

**Overview:** R. Carol Spalding (the “Applicant”) has made an application for a conditional use permit to allow for the construction of a guest home over 1,000 square feet at 2501 County Road 92; AP: Agriculture Preserve Zoning District; PID # 19-117-24-11-0001 (the “Property”).

**Background:** It is the intent of the city in establishing general and specific criteria for conditional uses that such uses, by subject to careful evaluation to ensure that their location, size, and design, are consistent with the standards, purposes, and procedures of the city code and the comprehensive plan. The city may also consider whether the proposed use complies or is likely to comply in the future with all standards and requirements set out in other regulations or ordinances of the city or other governmental bodies having jurisdiction over the city.

The city may grant conditional use permits when such permits are authorized by this section and may impose conditions and safeguards in such permits to protect the health, safety and welfare of the community and assure harmony with the comprehensive plan of the city.

**Discussion:** When acting upon an application for a conditional use permit, the city will consider the effect of the proposed use upon the health, safety, and general welfare of the city. When considering the effect, the city should look at the following:

- (1) The factors of noise, glare, odor, electrical interference, vibration, dust, and other nuisances; fire and safety hazards; existing and anticipated traffic conditions; parking facilities on adjacent streets and land.**

In regards to nuisances, a guest home should operate in a very similar manner as any other accessory building, which means no discernable nuisances tied to its presence. It also will not present any additional fire or safety concerns. Since the guest home is intended for the Applicant and their family, the traffic conditions should not change and with the size of the Property, there should be ample off-street parking for the use.

Mission Statement:

The City of Minnetrista will deliver quality services in a cost effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.

**(2) The effect on surrounding properties, including valuation, aesthetics and scenic views, land uses, character and integrity of the neighborhood.**

The proposed guest home has been designed to match the existing primary single-family dwelling unit. It is also a large property and the guest home is far away from any adjacent homes, so there shouldn't be impact on neighboring views. Taking these circumstances into consideration, there should not be a negative impact on the surrounding properties or the character of the neighborhood.

**(3) Consistency with the city's comprehensive plan; impact on governmental facilities and services, including roads, sanitary sewer, water and police and fire.**

The City's comprehensive plan and zoning code allow for a guest home over 1,000 square feet by conditional use permit. The Applicant has appropriately applied for a conditional use permit and, as the Commission will see later in the staff report, the criteria for a guest home are being complied with as proposed and conditioned. As the guest home is intended for family and non-paying guests of the Applicant, the property use will remain single family residential, which is consistent with the future land use map. Therefore, the proposed guest home is consistent with the comprehensive plan. The guest home will also have no negative impacts on governmental facilities and services as there should be no additional traffic as a result of the proposed guest home and the guest home will be served by a private sewer and water system. It is also anticipated that the need for police and fire services will not change with a guest home.

**(4) The effect on sensitive environmental features including lakes, surface and underground water supply and quality, wetlands, slopes, flood plains and soils.**

The proposed guest home is located in the middle of an open field. The proposed guest home complies with all the required building setbacks, so there shouldn't be any impact on sensitive environmental features.

**(5) Any other factors as found relevant by the city.**

Based on the request, the information submitted with this land use application, and the lack of neighborhood concerns, there appears to be no other relevant factors to consider.

Where permitted by city code, guest homes shall be subject to the following requirements:

**(1) The lot must contain an existing conforming single-family dwelling unit.**

There is an existing conforming single-family home on the Property. This requirement will be met.

**(2) The guest home must be completely detached from the primary residence.**

The proposed primary home is completely detached from the guest home. This requirement will be met.

**Mission Statement:**

The City of Minnetrista will deliver quality services in a cost effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.

- (3) **The guest home must conform to accessory structure setbacks, lot coverage and all other requirements set forth by the city code that are applicable to primary residential dwellings in the zoning district in which the property is located.**

The existing home conforms to all the zoning requirements for an accessory structure. This requirement will be met.

- (4) **The height of the guest home must not exceed 25 feet.**

The existing home is less than 25' from the average grade to the mean of the highest peak of the roof. This requirement will be met.

- (5) **The roof pitch, architectural design, and exterior materials and colors of the guest home shall be consistent with the primary residence, and the appearance of the guest home shall be that of a single-family dwelling unit.**

Based on the information included with the application, the proposed primary guest home is designed to match the existing single-family dwelling unit. This requirement will be met.

- (6) **The driveway to the primary residence must be used to access the guest home. No additional driveway or curb cut will be permitted.**

The primary residence and guest home are proposed to access off of the existing driveway. There are no additional curb cuts being proposed. This requirement will be met.

- (7) **A guest home may have an attached garage. The attached garage shall count towards the total allowed square footage of the guest home with the exception for guest homes that are located in agricultural zoning districts.**

There is no attached garage on the guest home, but the Property is also zoned Agriculture. This requirement need not be considered.

- (8) **The guest home shall have a separate address from the primary residence.**

The guest home shall be used by the occupants residing in the primary residence on the Property, their nonpaying guests or their domestic service employees that work on the premises. There is no reason at this time to assign a separate address. This requirement will be met.

- (9) **The guest home must be served by the same electrical, water, and gas meters that serve the primary residence. A separate individual sewage treatment system is permitted if required by the county or other permitting authority.**

This has been included as a condition of approval. As conditioned, this requirement will be met.

- (10) **Any riparian rights belong to the primary residence on the property. No additional boat slips will be permitted for the guest home.**

This has been included as a condition of approval. As conditioned, this requirement will be met.

*Mission Statement:*

The City of Minnetrista will deliver quality services in a cost effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.

**(11) No guest home shall be sold or conveyed separate from the primary residence.**

This has been included as a condition of approval. As conditioned, this requirement will be met.

**(12) A conditional use permit is required for guest homes that have a gross floor area of more than 1,000 square feet or square footage that is 30 percent or more of the primary residence’s footprint, whichever is less.**

The Applicant has appropriately applied for a conditional use permit. This requirement is being met.

**Neighborhood Comments:** Notices were sent out to all property owners within 500 feet of the subject property. To date, staff has spoken with one neighboring property owner who didn’t raise any concerns or comments. Staff have not received any written comments or concerns regarding this request as a result of sending the public notice.

**Planning Commission Recommendation:** The Applicant’s request was presented to the Planning Commission at their May 26, 2026 meeting. At that meeting, the Planning Commission held the required public hearing. There was no one besides the Applicant present to speak. After holding the required public hearing, hearing no public testimony, and reviewing the request amongst themselves, the Planning Commission made a motion to recommend the City Council approve the request, based on certain findings of fact and subject to conditions. Motion passed 5-0. Absent Livermore, Gangestad, Gehring, and Rognli.

**Conclusion:** The City Council should review the staff report and the recommendation of the Planning Commission. After review, the City Council should consider the entire record before them prior to making a motion. Along with making a motion, findings of fact should be established which support the motion. Findings of fact based on the information submitted by the Applicant may be as follows:

1. The proposed conversion of the existing home to a guest home over 1,000 square feet is allowed with a Conditional Use Permit;
2. The proposed use does not pose any discernable concerns to the general public health, safety, morals, comfort or general welfare of the inhabitants of the city; and
3. The request is consistent with the Minnetrista Comprehensive Plan.

**Recommended Action:** Motion to adopt a resolution approving the requested conditional use permit for a guest home over 1,000 square feet at 2501 County Road 92, based on the findings of fact outlined in the staff report and subject to the following conditions:

1. The guest home shall not be sold or conveyed separate from the primary residence;
2. The guest home must be served by the same electrical, water, and gas meters that serve the primary residence. A separate individual sewage treatment system is permitted if required by the county or other permitting authority;
3. No additional driveway or curb cut shall be permitted for the guest home;
4. Any riparian rights belong to the primary residence on the property. No additional boat slips will be permitted for the guest home;

**Mission Statement:**

The City of Minnetrista will deliver quality services in a cost effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.

5. The Property shall be developed in accordance with the plans submitted with this land use application last dated March 26, 2026;
6. The Applicant shall obtain all necessary permits and approvals from the City and other applicable agencies with jurisdiction over the Property prior to any construction;
7. The Applicant is responsible for all fees incurred by the City in the review of this application;
8. This approval is valid for one year from the date of approval and will become void and expire unless a building permit has been issued for the Property; and
9. Any other conditions as required by the City Council.

**Attachments:**

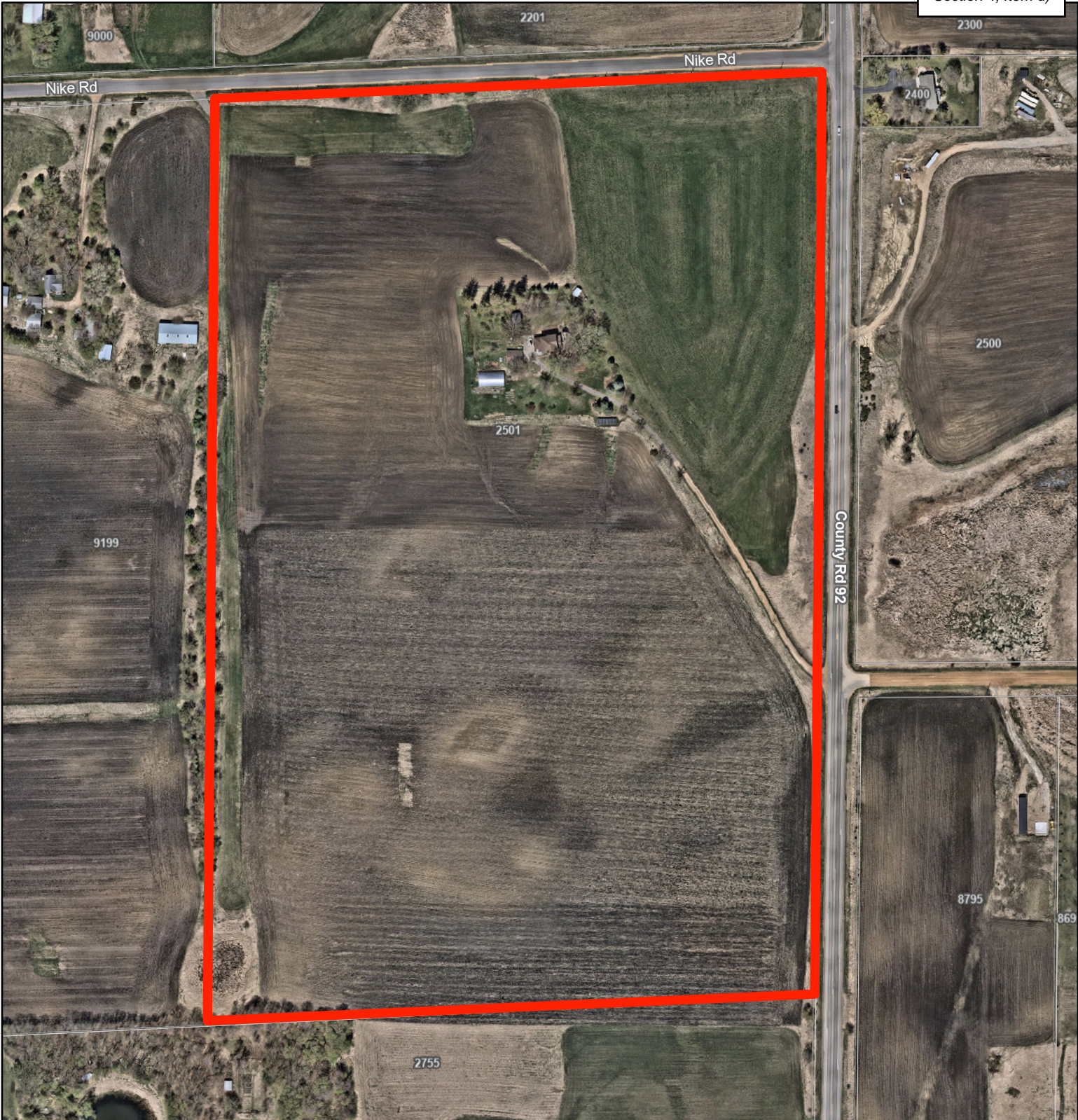
1. Location Map
2. Applicant's Narrative
3. Property Survey
4. Building Plans
5. Res. No. 63-26 Approve Conditional Use Permit for Guest Home at 2501 County Road 92

**Mission Statement:**

The City of Minnetrista will deliver quality services in a cost effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.

# 2501 County Road 92

Section 4, Item d)



1 in = 400 Ft

 City Boundary

 Address Labels

 Parcels



N  
May 21, 2024  
Map Powered by  
wsb

CUP (Conditional Use Permit) Narrative  
2501 County Road 92

04/20/2026

a. Property owner:

R. Carol Spalding  
2128 Stalke Way, Chaska MN 55318  
[rcarol100@gmail.com](mailto:rcarol100@gmail.com)  
612-210-0509

Authorized representatives:

Carl Spalding  
2501 CR 92, Minnetrista MN 55359  
[ces0923@aol.com](mailto:ces0923@aol.com)  
952-452-6739  
Jill Lundstrom  
1101 Rowley Drive, Cedar Park TX 78613  
[lund121@me.com](mailto:lund121@me.com)  
612-889-5784

Surveyor: Schoborg Land Services, Inc.

8997 County Rd 13 SE Delano, MN 55328 ph: 763-972-3221

Designer/Builder: Justin Riddle, Paltrin ph: 612-568-7253

b. Property info:

2501 Co Rd 92, Minnetrista, MN 55359  
Farm  
57.32 acres  
2,496,789 sq ft  
PID 1911724110001  
NE 1/4 of NE 1/4 and N 1/2 of SE 1/4 of NE 1/4 of Section 19 Ex Road

c. Currently the portion of the land for the new building is leased out as farmland for hay and alfalfa. This has been farmland since settlement.

d. The proposed building will be a guest house used for family. The owner proposes to make an independent living space for family members who spend winters in warmer climates and space to live if the owner desires more family support in the future.

The house will have a footprint of 1152 s.f. with finished living space of 1352 s.f. that includes 962 s.f. on the main level and 400 sf in a loft. There will also be 902 sf of unfinished basement space for utilities and storage.

Access will be from an extension off of the existing driveway to a parking spot on the north side of the house, where a garage may be added in the future.

Proposed structure will not have any new effect on wetlands or natural areas.

e. The proposed use would not affect the health, safety, or general welfare of the city.

f. The proposed building is a permitted use under city zoning guidelines. The addition of a guest house will not change the property's use under current zoning guidelines.

g. Five of the neighbors currently living on adjacent properties have been contacted and no concerns have been raised.

h. There are no conflicts with land uses and there will be no disturbance of wetland or natural areas.

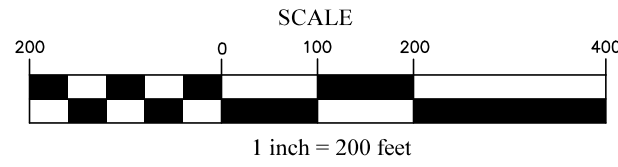
i. There will be no increase to current levels of traffic, sewage or any public service. The proposed guest house will maintain its own well and septic system. Electricity will be offset by roof mounted solar panels and heat/cooling will be supplemented with a heat pump system.

j. Construction is expected to begin in the summer of 2026 with expected completion by late 2027.

# Certificate of Survey

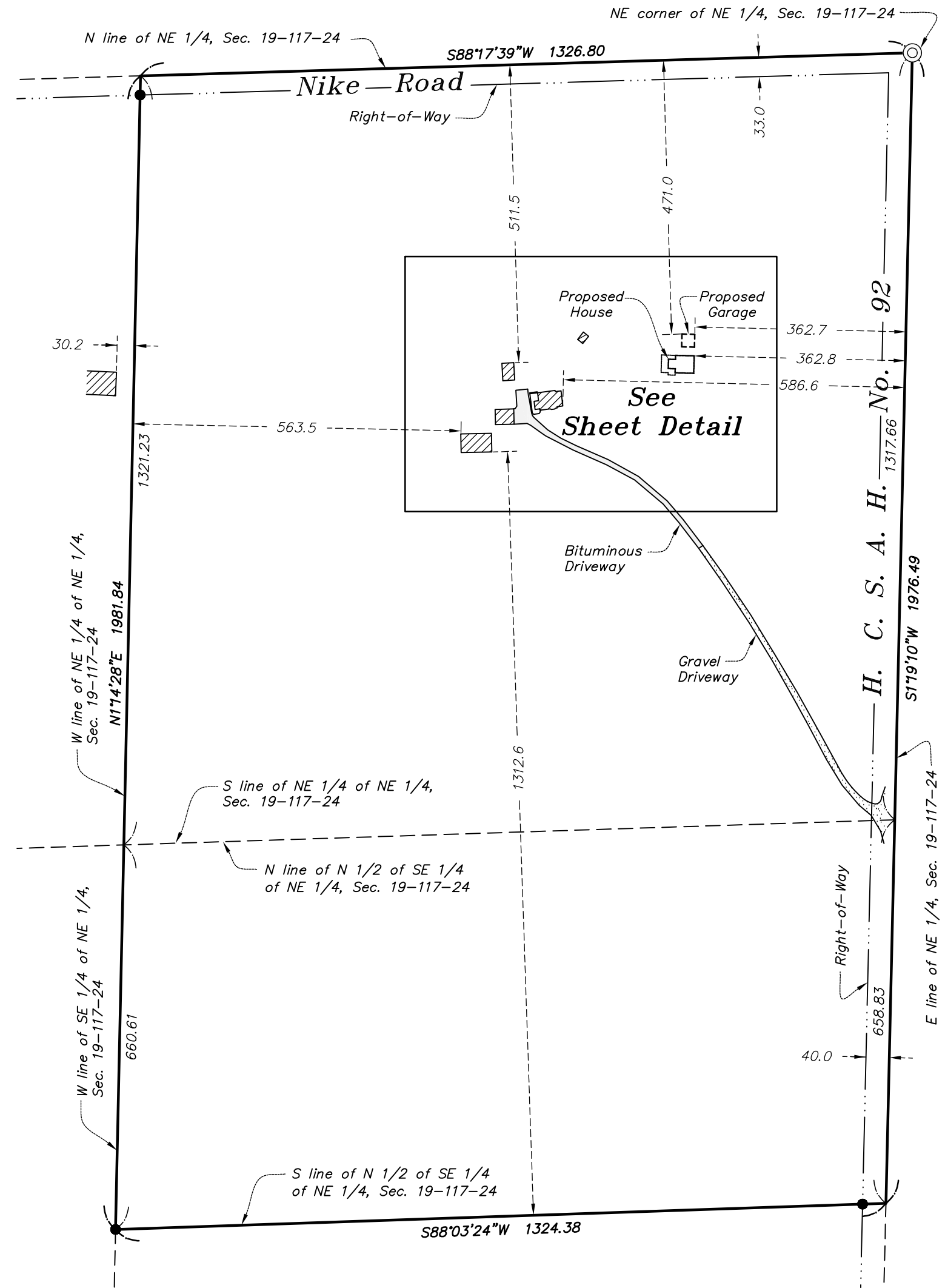
Prepared for:  
Jill Lundstrom

- Legend**
- Found Iron Monument
  - ⊙ Cast Iron Monument
  - 000- Existing Contour
  - ▨ Existing Structure



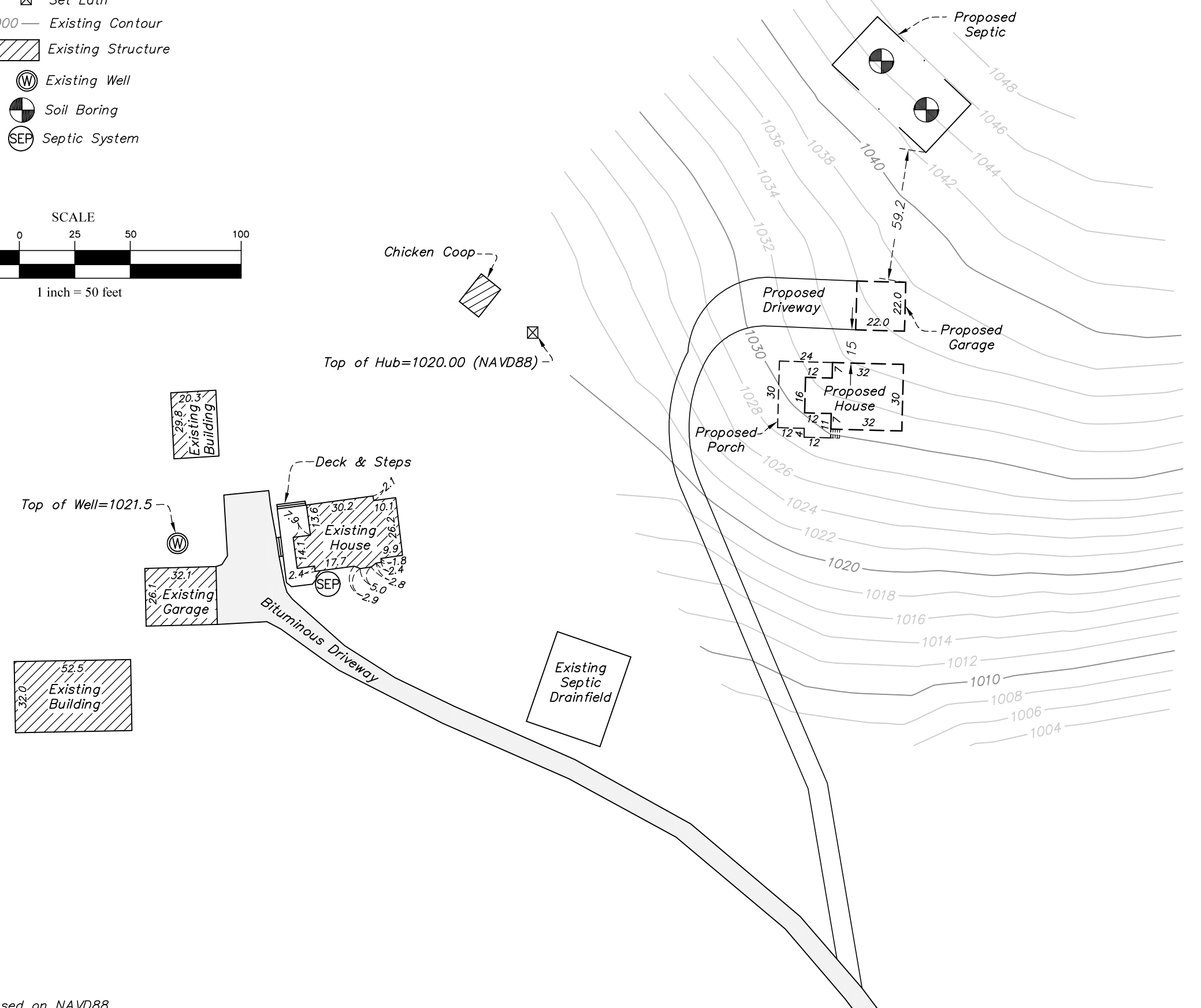
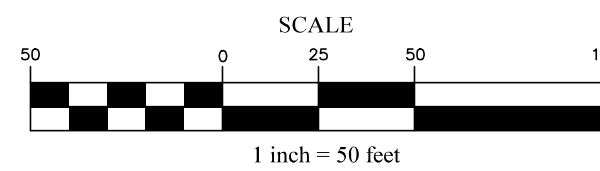
**Boundary Description (Per Doc. No. 6012508)**  
 Parcel 1: The Northeast Quarter of the Northeast quarter of Section 19, Township 117, Range 24 West of the Fifth Principal Meridian, Hennepin county, Minnesota. (Torrens Certificate Number 1339059)  
 Parcel 2: The North Half of the Southeast Quarter of the Northeast Quarter of Section 19, Township 117, Range 24 West of the Fifth Principal Meridian, according to the Government Survey thereof, Hennepin County, Minnesota. (Torrens Certificate Number 804107)

**Site Address:**  
 2501 County Road 92  
 Maple Plain, MN



## Sheet Detail

- Legend**
- ▣ Set Lath
  - 000- Existing Contour
  - ▨ Existing Structure
  - ⊙ Existing Well
  - ⊙ Soil Boring
  - SEP Septic System



Bearings based on Hennepin County Coordinate System.

**SCHOBORG**  
**LAND SERVICES**  
**INC.**

763-972-3221 8997 Co. Rd. 13 SE  
 www.SchoborgLand.com Delano, MN 55328

I hereby certify that this certificate of survey was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Kelly L. Brouwer*  
 Kelly L. Brouwer

Date: April 23, 2026 Registration No. 48328

Job Number: 9975  
 Survey Date: 09/24/25  
 Drawing Name: Lundstrom.dwg  
 Drawn by: SKH  
 Revisions: 4/23/26 (house footprint)  
 4/23/26 (house rotated)

Elevations based on NAVD88.

# GENERAL NOTES

PLANS COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE AND LATEST ADOPTED STATE AND LOCAL BUILDING CODE  
ALL NOTES ARE TYPICAL UNLESS NOTED OTHERWISE ON DETAILED DRAWINGS

## FOUNDATION SQUARE FOOTAGE

(ITEM)	000
(ITEM)	000
<b>TOTAL SQUARE FEET</b>	<b>0,000</b>

**RADON CONTROL SYSTEM - PASSIVE**  
COMPLIES WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE AND 2020 MINNESOTA RESIDENTIAL CODE - 1303.2402

**PASSIVE RADON CONTROL SYSTEM** - MEANS A SYSTEM DESIGNED TO ACHIEVE LOWER AIR PRESSURE BELOW THE SOIL-GAS MEMBRANE RELATIVE TO THE INDOOR AIR PRESSURE BY USE OF A VENT PIPE THAT RELIES ON STACK EFFECT TO PROVIDE AN UPWARD FLOW OF AIR FROM BENEATH THE SOIL-GAS MEMBRANE.

**RADON GAS** - MEANS A NATURALLY OCCURRING, CHEMICALLY INERT, RADIOACTIVE GAS

**SEALED** - MEANS TO PREVENT THE MOVEMENT OF AIR OR AIRBORNE GASES THROUGH A FLOOR, WALL, OR CEILING ASSEMBLY

**SOIL-GAS MEMBRANE** - MEANS A CONTINUOUS MEMBRANE OR 6-MIL (0.15 MM) POLYETHYLENE, OR 3-MIL (0.075 MM) CROSS-LAMINATED POLYETHYLENE

**VENT PIPE** - MEANS A 3-INCH (76MM) OR 4-INCH (102MM) DIAMETER ABS OR PVC USED TO VENT SUBSOIL GASES THAT HAVE COLLECTED UNDER THE SOIL-GAS MEMBRANE TO THE EXTERIOR OF THE DWELLING

- A GAS-PERMEABLE MATERIAL SHALL BE PLACED ON THE PREPARED SUB-GRADE UNDER ALL FLOOR SYSTEMS.
- A SOIL-GAS MEMBRANE SHALL BE PLACED ON TOP OF THE GAS-PERMEABLE MATERIAL PRIOR TO PLACING A FLOOR ON TOP OR ABOVE THE SOIL. THE SOIL-GAS MEMBRANE SHALL COVER THE ENTIRE FLOOR AREA. SEPARATE SECTIONS OF MEMBRANE SHALL BE LAPPED AT LEAST 12 INCHES (305MM). THE MEMBRANE SHALL FIT CLOSELY AROUND ANY PENETRATION OF THE MEMBRANE TO REDUCE LEAKAGE OF SOIL GASES. ALL PUNCTURES OR TEARS IN THE SOIL-GAS MEMBRANE SHALL BE REPAIRED BY SEALING AND PATCHING THE SOIL-GAS MEMBRANE WITH THE SAME KIND OF MATERIAL, MAINTAINING A MINIMUM 12-INCH (305MM) LAP.
- A "T" FITTING SHALL BE INSTALLED BENEATH THE SOIL-GAS MEMBRANE WITH A MINIMUM OF 10 FEET OF PERFORATED PIPE CONNECTED TO ANY TWO OPENINGS OF THE "T" FITTING, OR BY CONNECTING THE TWO OPENINGS TO THE INTERIOR DRAIN TILE SYSTEM. THE THIRD OPENING OF THE "T" FITTING SHALL BE CONNECTED TO THE VENT PIPE. THE PERFORATED PIPE OR DRAIN TILE AND THE "T" FITTING SHALL BE THE SAME SIZE AS THE VENT PIPE. ALL CONNECTIONS TO THE "T" FITTING SHALL BE TIGHT FITTING.
- POTENTIAL ENTRY ROUTES FOR RADON GAS SHALL BE SEALED ACCORDINGLY
- FLOOR OPENINGS AROUND THE BATHTUB, SHOWERS, WATER CLOSETS, PIPES, WIRES, OR OTHER OBJECTS THAT PENETRATE THE SOIL-GAS MEMBRANE AND THE CONCRETE SLAB OR OTHER FLOOR SYSTEMS SHALL BE SEALED.
- ALL CONTROL JOINTS, ISOLATION JOINTS, CONSTRUCTION JOINTS, OR ANY OTHER JOINTS IN THE CONCRETE SLAB, OR THE JOINT BETWEEN THE CONCRETE SLAB AND A FOUNDATION WALL, SHALL BE SEALED. ALL GAPS AND JOINTS SHALL BE CLEARED OF ALL LOOSE MATERIAL PRIOR TO SEALING.
- PENETRATIONS OF ALL FOUNDATION WALL TYPES SHALL BE SEALED. JOINTS, CRACKS, OR OTHER OPENINGS AROUND ALL PENETRATIONS OF BOTH EXTERIOR AND INTERIOR SURFACES OF FOUNDATION WALLS SHALL BE SEALED.
- ALL PENETRATIONS THROUGH FLOORS OR WALLS INTO THE UNCONDITIONED CRAWL SPACES SHALL BE SEALED. ACCESS DOORS INTO UNCONDITIONED CRAWL SPACES SHALL BE GASKETED. CRAWL SPACE VENTILATION SHALL BE PROVIDED ACCORDING TO PART 1303.2400.
- A SUMP CONNECTED TO INTERIOR DRAIN TILE MAY SERVE AS THE TERMINATION POINT FOR THE VENT PIPE, IF THE SUMP COVER IS SEALED OR GASKETED AND DESIGNED TO ACCOMMODATE THE VENT PIPE. THE SUMP PUMP WATER DISCHARGE PIPE SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
- THE VENT PIPE SHALL BE PRIMED AND GLUED AT ALL FITTINGS AND SHALL EXTEND UP FROM THE RADON CONTROL SYSTEM'S COLLECTION POINT TO A POINT TERMINATING A MINIMUM OF 12 INCHES (305MM) ABOVE THE ROOF. THE VENT PIPE SHALL BE LOCATED AT LEAST 10 FEET (3,048MM) AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING.
- VENT PIPES ROUTED THROUGH UNCONDITIONED SPACES SHALL BE INSULATED WITH MINIMUM OF R-4 INSULATION. VENT PIPES WITHIN THE CONDITIONED ENVELOPE OF THE BUILDING SHALL NOT BE INSULATED.
- ALL COMPONENTS OF THE RADON GAS VENT PIPE SYSTEM SHALL BE INSTALLED TO PROVIDE DRAINAGE TO THE GROUND BENEATH THE SOIL-GAS MEMBRANE
- RADON GAS VENT PIPES SHALL BE PROVIDED WITH SPACE AROUND THE VENT PIPE FOR FUTURE INSTALLATION OF A FAN. THE SPACE REQUIRED FOR THE FUTURE FAN INSTALLED SHALL BE A MINIMUM OF 24-INCHES IN DIAMETER, CENTERED ON THE AXIS OF THE VENT PIPE, AND SHALL EXTEND A MINIMUM DISTANCE OF 3 VERTICAL FEET.
- ALL RADON GAS VENT PIPES SHALL BE IDENTIFIED WITH AT LEAST 1 LABEL ON EACH STORY AND IN ATTICS AND CRAWL SPACES. THE LABEL SHALL READ "RADON GAS VENT SYSTEM".
- COMBINATION BASEMENT/CRAWL SPACE OR SLAB-ON-GRADE/CRAWL SPACE FOUNDATIONS SHALL HAVE SEPARATE RADON GAS VENT PIPES INSTALLED IN EACH TYPE OF FOUNDATION AREA. EACH RADON GAS VENT PIPE SHALL TERMINATE ABOVE THE ROOF OR SHALL BE CONNECTED TO A SINGLE VENT PIPE THAT TERMINATES ABOVE THE ROOF.
- A POWER SOURCE CONSISTING OF AN ELECTRICAL CIRCUIT TERMINATING IN AN APPROVED ELECTRICAL BOX SHALL BE INSTALLED DURING CONSTRUCTION IN THE ANTICIPATED LOCATION OF THE VENT PIPE FAN TO ALLOW FOR THE FUTURE INSTALLATION OF A FAN INTO A PASSIVE RADON CONTROL SYSTEM TO MAKE THE SYSTEM AN ACTIVE RADON CONTROL SYSTEM. THE POWER SOURCE SHALL NOT BE INSTALLED IN ANY CONDITIONED SPACE, BASEMENT, OR CRAWL SPACE.

### FRAMING NOTES

- ALL HEADERS, POSTS, AND BEAMS SHALL BE DESIGNED AND SIZED BY SUPPLIER, CONTRACTOR, AND/OR ENGINEER PER LOCAL CODE, SITE, SOIL, SNOW LOAD, AND/OR OTHER LOCAL CONDITIONS
- ALL EXTERIOR WALLS ARE 2X6 @16" O.C. UNLESS SPECIFIED ON PLAN
- ALL INTERIOR WALLS ARE 2X4 @16" O.C. UNLESS SPECIFIED ON PLAN
- ALL DIMENSIONAL LUMBER HEADERS TO HAVE MIN. ONE TRIMMER AT EACH END UP TO 4'-11" SPAN
- HEADERS GREATER THAN 5'-0" TO HAVE MIN. TWO TRIMMERS AT EACH END
- ALL CONNECTIONS TO BE MADE WITH ADEQUATE SIMPSON, USP, OR EQUAL. ALL POINT LOAD SUPPORTS (JACK STUDS) TO BE CARRIED THROUGH EACH FLOOR AND SOLIDLY BEAR ON THE FOUNDATION. PROVIDE SOLID BLOCKING AT ALL POINT LOAD LOCATIONS IN FLOOR SYSTEM BELOW.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- SILL SEALER/TERMITE BARRIER TO APPLIED PER CODE.
- TWO BEADS OF CAULKING ON ALL INTERIOR AND EXTERIOR WALL PLATES.
- HALF WALLS TO HAVE 2X STRUCTURAL BRACING CARRIED THROUGH SUB FLOOR MECHANICALLY FASTENED TO FLOOR SYSTEM AT CORNERS, WALL ENDS, AND EVERY 5'-0" IF REQUIRED.
- HALF HIGH WALLS SLOPED AT STAIRS ARE 30" HIGH, SIZE PER PLAN.

### FOUNDATION NOTES

- WALL PROFILES ARE NOTED ON PLAN
- WALL THICKNESS IS NOMINAL UNLESS STATED OTHERWISE
- WALL INSULATION PER CODE (SEE SECTION DETAILS)
- FOOTINGS TYPICALLY 8" DEEP (SEE FOUNDATION PLAN)
- INTERIOR BEARING WALLS - 2X6 OR 2X4 ON 20"X8" CONTINUOUS CONCRETE FOOTINGS
- PAD FOOTINGS AT LOAD LOCATIONS ARE NOTED ON PLAN WITH SIZE AND LOCATION

### WINDOWS & DOORS

- WINDOWS AND DOORS ARE NOTED AS NOMINAL (EXAMPLE 3060 = 3'-0" x 6'-8")
- DOORS AND WINDOWS TO SHOW SWING OR OPERATION ON PLAN
- APPLICABLE SPECIAL NOTES ARE INDICATED ON PLAN SUCH AS EGRESS OR TEMPERED  
**VERY ROUGH OPENINGS PER WINDOW MANUFACTURER PRIOR TO CONSTRUCTION**
- TYPICAL TOP OF WINDOW HEIGHTS - REFER TO SECTION DETAILS
- NON-TYPICAL T.O. WINDOWS ARE INDICATED ON PLAN
- LOOKOUT FOUNDATION - WINDOWS ARE SET ON TREATED DOUBLE BOTTOM PLATE

### EGRESS NOTES

EGRESS WINDOWS SHALL ABIDE BY ALL SPECIFICATIONS INDICATED IN IRC SECTION 310

BASEMENT, HABITABLE ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESURE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AND EMERGENCY ESCAPE AND RESURE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

### WINDOW REQUIREMENTS

- OPEN FROM INSIDE WITHOUT KEYS, SPECIAL TOOLS, OR KNOWLEDGE
- MINIMUM OPENING: 5.7 SQFT
- CLEAR OPENING HEIGHT NOT LESS THAN 24" AND CLEAR OPENING WIDTH NOT LESS THAN 20"
- SILL HEIGHT NOT MORE THAN 44" ABOVE FLOOR

### WINDOW WELL REQUIREMENTS

- SHALL NOT BE LESS THAN 9 SQFT
- SHALL NOT BE LESS THAN 36" (CLEAR) FROM EDGE OF EXTERIOR WALL TO INSIDE EDGE OF WELL. WINDOW SHOULD BE ABLE TO BE FULLY OPEN
- WELLS WITH A DEPTH OF GREATER THAN 44" SHALL BE EQUIPPED WITH PERMANENTLY FIXED LADDER PER CODE.
- WINDOW WELLS SHALL BE PROVIDED WITH ADEQUATE MEANS OF DRAINAGE.

### STAIR NOTES

STAIRS SHALL ABIDE BY ALL SPECIFICATIONS INDICATED IN IRC SECTION 311.7

- TREADS SHALL BE MINIMUM OF 10"
- RISERS SHALL BE MAXIMUM OF 7 3/4"
- MINIMUM WIDTH SHALL BE NOT LESS THAN 36" (CLEAR)
- MINIMUM HEADROOM SHALL BE MINIMUM OF 6'-8" FROM THE SLOPED LINE OF READ NOSING TO CEILING AT ALL POINTS ALONG STAIR RUN
- MINIMUM 36" LANDING SHALL BE PROVIDED ON ONE SIDE OF STAIRS IF OVER 4 RISERS
- HANDRAILS SHALL BE PROVIDED ON ONE SIDE OF STAIRS IF OVER 4 RISERS
- ALL RAILINGS TO HAVE LESS THAN 4" SPACE BETWEEN BALUSTERS
- STAIRWELLS SHALL BE ILLUMINATED PER CODE



### TEMPERED GLASS

TEMPERED GLASS SHALL ABIDE BY ALL SPECIFICATIONS INDICATED IN IRC SECTION 308

WINDOWS SHALL BE TEMPERED IN THE FOLLOWING SCENARIOS:

- BOTTOM EDGE OF WINDOW IS LESS THAN 18" A.F.F.
- SIZE OF WINDOW PANEL IS GREATER THAN 9 SQ.FT
- IN ALL ENTRY AND PATIO DOORS, ALONG WITH AN INTERIOR DOOR WITH GLASS IN THE DOOR PANEL
- EDGE OF WINDOW IS LESS THAN 24" FROM EITHER SIDE OF THE DOOR, ON THE SAME WALL/PLANE, AND THE BOTTOM OF THE BOTTOM EDGE OF WINDOW IS LESS THAN 60" A.F.F.
- EDGE OF WINDOW IS LESS THAN 24" FROM THE HINGE SIDE OF DOOR, ON AN ADJACENT WALL AND THE BOTTOM OF THE BOTTOM EDGE OF WINDOW IS LESS THAN 60" A.F.F.
- BATHTUBS: LESS THAN 60" VERTICALLY OR HORIZONTALLY FROM A BATHTUB OR HOTUB
- SHOWERS: LESS THAN 60" HORIZONTALLY FROM A SHOWER IF BOTTOM OF WINDOW IS LESS THAN 60" A.F.F.
- STAIRS: BOTTOM OF WINDOW IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF THE STAIRS, LANDINGS, AND RAMPS
- ADJACENT TO LANDING; BOTTOM OF WINDOW IS LESS THAN 36" A.F.F. AND WITH-IN 60" OF THE BOTTOM OF THE STAIRS.

### DRYWALL NOTES

- ALL INTERIOR WALLS TO HAVE 1/2" DRYWALL
- CEILINGS TO HAVE 1/2" (ANTI-SAG) DRYWALL
- SEE FIRE PROTECTION NOTES FOR DRYWALL IN GARAGE, LOWER LEVEL, AND UNDERSTAIRS
- SEE MECHANICAL NOTES FOR DRYWALL IN MECHANICAL ROOM(S)

### FIRE PROTECTION

SHALL ABIDE BY ALL SPECIFICATIONS INDICATED IN IRC SECTION 302

- CEILINGS IN MECHANICAL, STORAGE AREAS, AND UNDER STAIRS HAVE 1/2" DRYWALL INSTALLED
- WALLS AND CEILINGS IN GARAGE TO HAVE 1/2" DRYWALL INSTALLED
- DOORS BETWEEN GARAGE AND HOUSE SHALL BE 20 MINUTE FIRE RATED.
- FIREBLOCKING SHALL BE PROVIDED TO STOP VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS.
- DRAFTSTOP ANY PENETRATIONS, GAPS, OR SEAMS.
- UNFINISHED LOWER LEVELS TO HAVE 1/2" DRYWALL

### SMOKE DETECTORS NOTES

SHALL ABIDE BY ALL SPECIFICATIONS INDICATED IN IRC SECTION 314

- INSTALLED INSIDE EACH SLEEPING ROOM, OUTSIDE IMMEDIATE AREA WITHIN 10'-0" OF EACH SLEEPING ROOM, AND AT LEAST ONE ON EACH FLOOR
  - SHALL NOT BE INSTALLED WITH-IN 3'-0" OF A BATHROOM
  - SHALL BE INTERCONNECTED
  - SHALL BE HARDWIRED WITH BATTERY BACK UP.
- NOTE: DETECTORS IN HALLWAYS, OR AREA OUTSIDE OF SLEEPING AREAS SHALL BE COMBINATION SMOKE/CARBON MONOXIDE DETECTORS WHERE EVER POSSIBLE AND SHALL ABIDE BY IRC SECTION 314 AND 315.

### CARBON MONOXIDE NOTES

SHALL ABIDE BY ALL SPECIFICATIONS INDICATED IN IRC SECTION 315

- SHALL BE INSTALLED ON CEILINGS AND SHALL BE INSTALLED OUTSIDE THE IMMEDIATE WITHIN 10'-0" OF EACH SLEEPING ROOM
- SHALL BE INSTALLED INSIDE OF SLEEPING AREA WHERE GAS FIREPLACE IS PRESENT IN THE ROOM.
- SHALL BE COMBINATION SMOKE/C.O. WHERE EVER POSSIBLE. (SEE NOTE ABOVE)
- SHALL BE INTERCONNECTED
- SHALL BE HARDWIRED WITH BATTERY BACK UP

### MECHANICAL NOTES

- MECHANICAL ROOMS TO HAVE 1/2" DRYWALL ATTACHED TO CEILING AND PROVIDE ADEQUATE FIRESTOP PER CODE
- FURNACE AND AIR CONDITIONER TO BE HIGH EFFICIENCY
- SUMP BASKET TO BE PLACED AS CLOSE TO FOOTINGS AS POSSIBLE BE TIED INTO DRAIN TILE SYSTEM WITH SUMP PUMP TO EXTERIOR
- RADON SYSTEM TO BE TIED INTO DRAIN TILE SYSTEM - SEE RADON DETAIL ON THIS PAGE
- SEWER CLEANOUT TO BE PLACED AS CLOSE TO EXTERIOR FOOTING AS POSSIBLE AND EASILY ACCESSIBLE. IT SHALL NOT CROSS UNDER ANY UNEXCAVATED AREAS OR WINDOW WELLS.
- FLOOR DRAIN TO BE LOCATED IN MECHANICAL ROOM
- FLOOR DRIBBS SHALL BE FROST PROOF AND ANTI-SIPHON.
- AIR CONDITIONING UNITS ARE TO BE MOUNTED ON SIDE OF HOME WITH STEEL BRACKET OR PLACED ON FIBERGLASS PAD ON FLAT GRADE. POWER DISCONNECT AND WF GFCI OUTLET SHALL BE PROVIDED AT LOCATION.

STUDIO  
Jill & Russ

### DESIGN DISCLAIMER

PLANS MUST BE PROPERLY SUBMITTED TO ACQUIRE LOCAL BUILDING PERMIT(S) BEFORE CONSTRUCTION. PLEASE REVIEW CONSTRUCTION WITH STRUCTURAL ENGINEER OR LUMBER YARD BEFORE CONSTRUCTION. STUDIO LOLLY DOES NOT ASSUME ANY RESPONSIBILITY OF STRUCTURAL FAILURES OR DEFICIENCIES. PLANS MAY NEED TO BE STAMPED AND SIGNED BY AN ARCHITECT.

Jill & Russ

(ADDRESS)

(ADDRESS)

CUSTOMER SIGNATURE FOR APPROVAL

COVER SHEET

ISSUED 03/26/2026



**DESIGN DISCLAIMER**

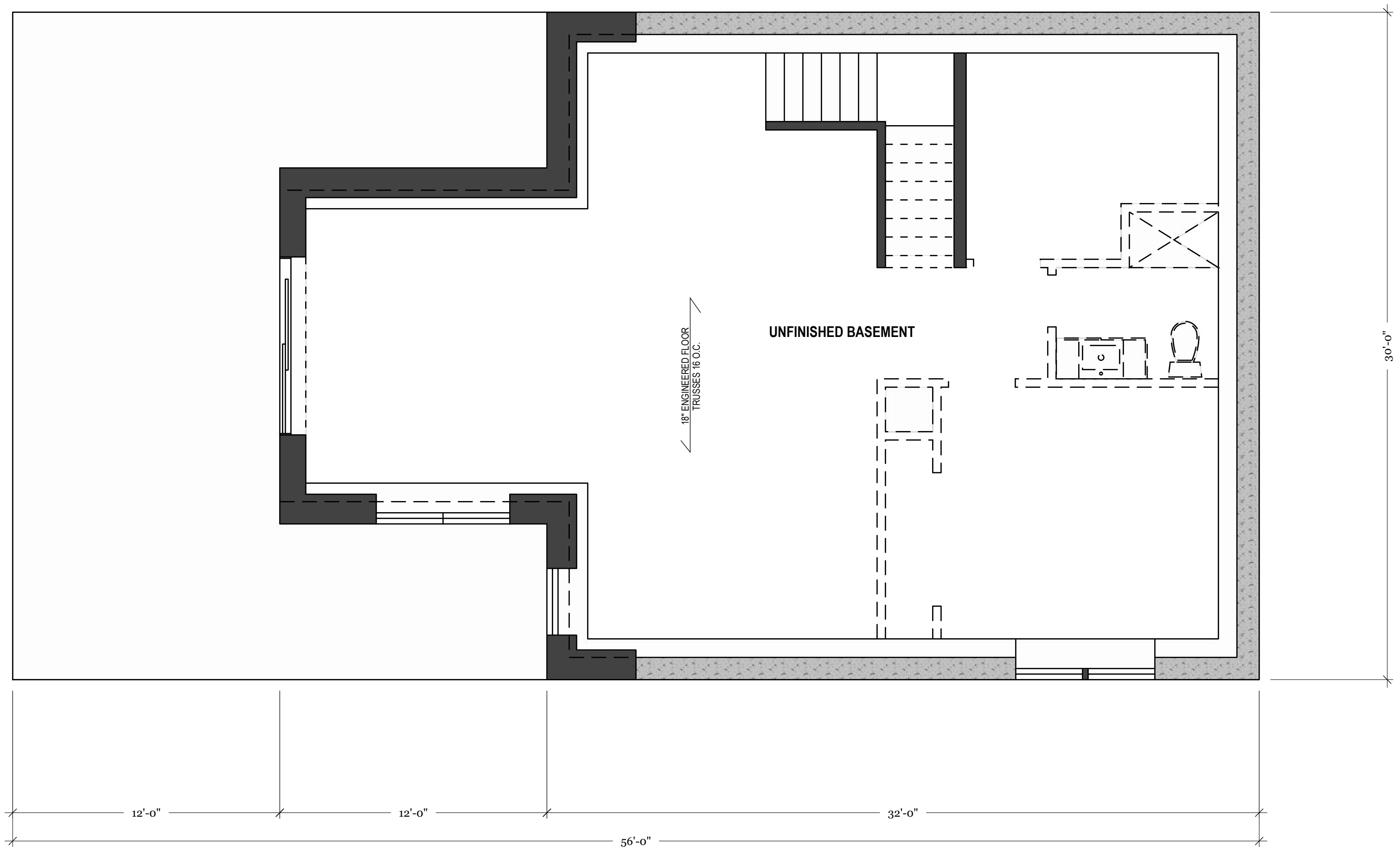
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**Jill & Russ**  
(ADDRESS)  
(ADDRESS)

\_\_\_\_\_  
CUSTOMER SIGNATURE FOR APPROVAL

**LAND SURVEY**

ISSUED 03/26/2026



**A** BASEMENT PLAN  
 1/4" = 1'-0"

**DESIGN DISCLAIMER**

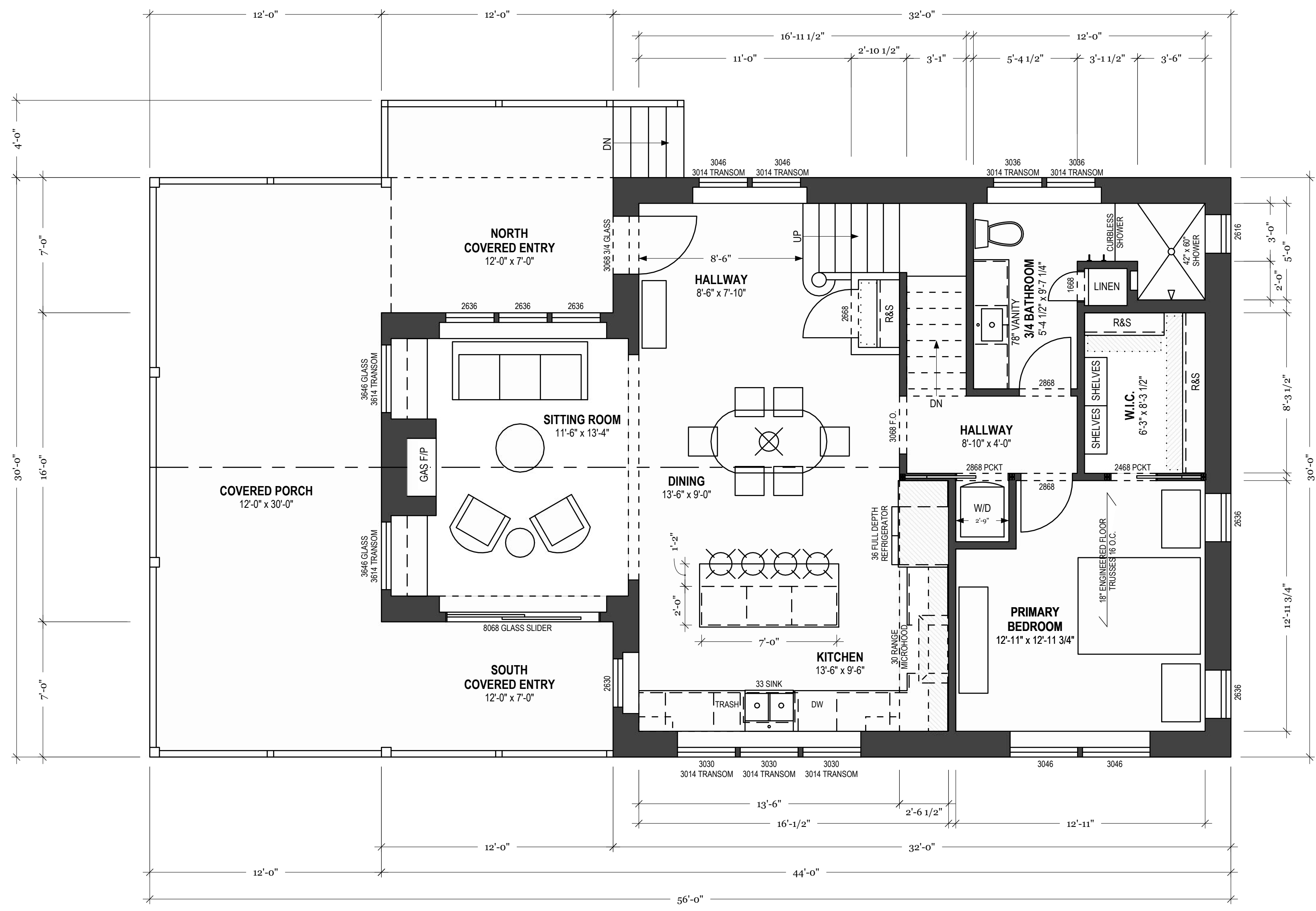
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**Jill & Russ**  
 (ADDRESS)  
 (ADDRESS)

CUSTOMER SIGNATURE FOR APPROVAL

**BASEMENT**

ISSUED 03/26/2026



**B** MAIN FLOOR PLAN  
1/4" = 1'-0"

**DESIGN DISCLAIMER**

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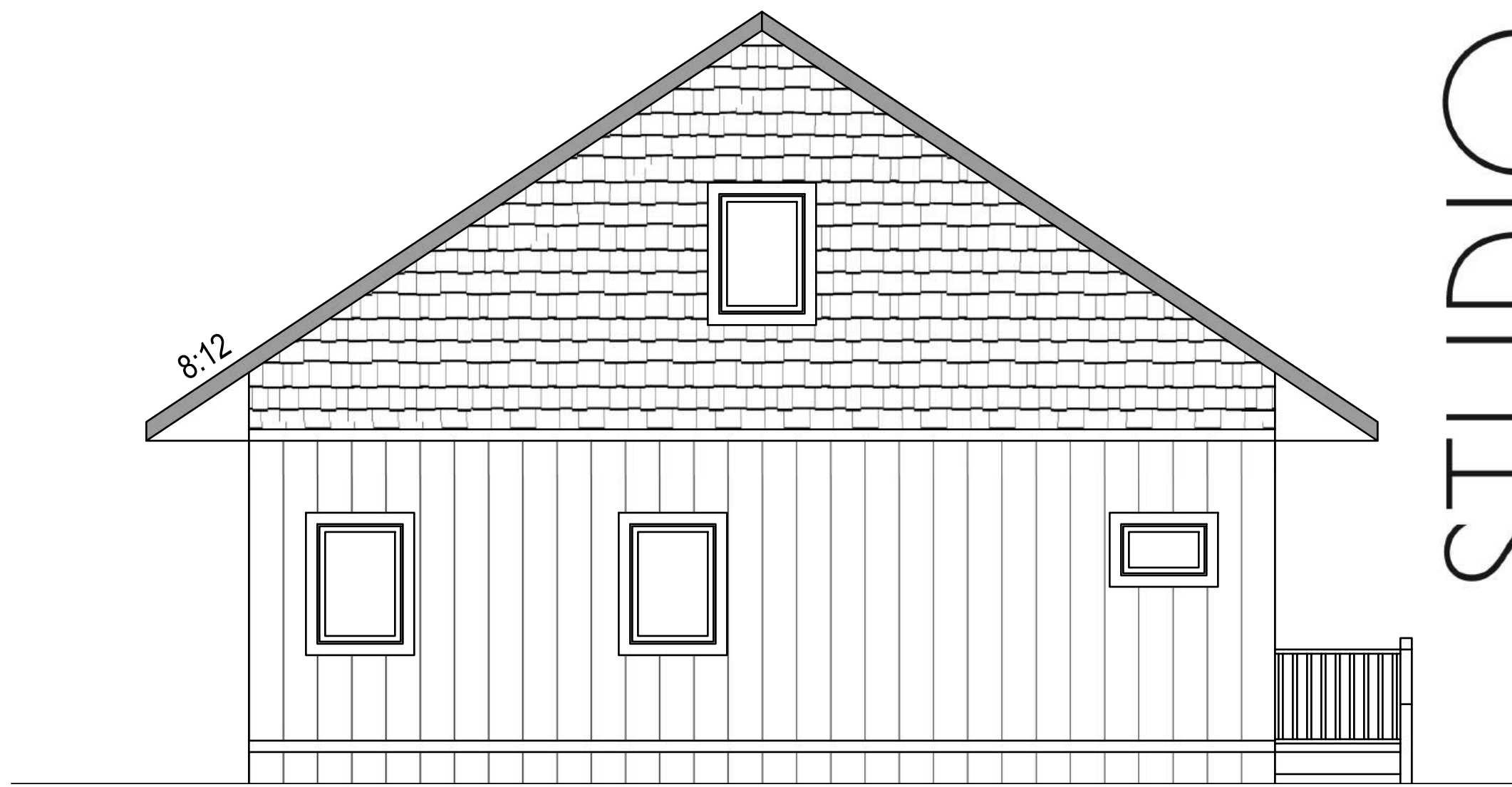
**Jill & Russ**  
(ADDRESS)  
(ADDRESS)

CUSTOMER SIGNATURE FOR APPROVAL

**MAIN FLOOR**

ISSUED 03/26/2026





**D** EAST ELEVATION  
1/4" = 1'-0"

STUDIO  
*Lolly*

**DESIGN DISCLAIMER**

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**E** NORTH ELEVATION  
1/4" = 1'-0"

**Jill & Russ**  
(ADDRESS)  
(ADDRESS)

CUSTOMER SIGNATURE FOR APPROVAL

**ELEVATIONS**

ISSUED 03/26/2026

STUDIO  
*Lolly*



**F** WEST ELEVATION  
1/4" = 1'-0"



**G** SOUTH ELEVATION  
1/4" = 1'-0"

DESIGN DISCLAIMER

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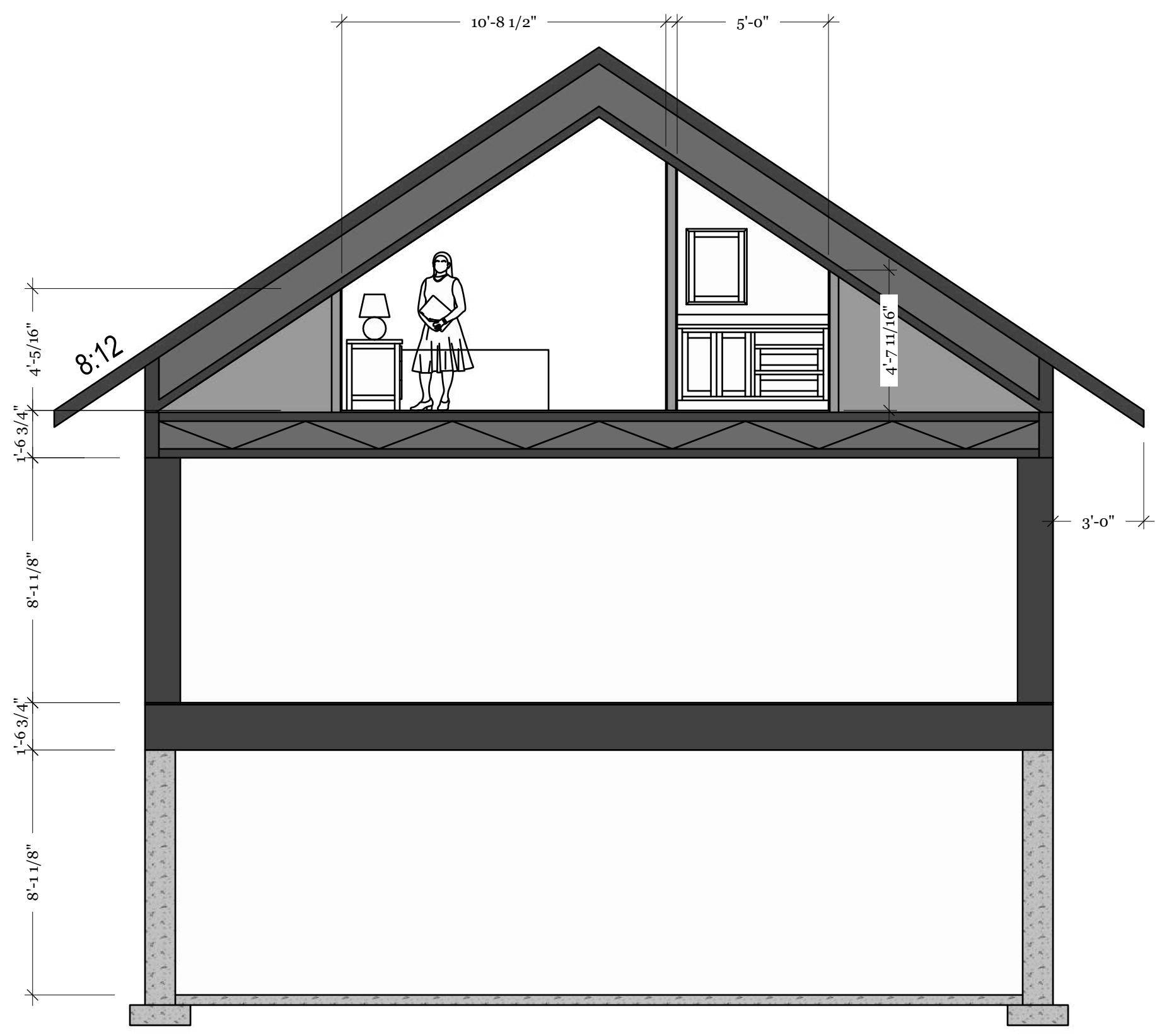
**Jill & Russ**  
(ADDRESS)  
(ADDRESS)

CUSTOMER SIGNATURE FOR APPROVAL

ELEVATIONS

ISSUED 03/26/2026

STUDIO  
*Lolly*



**H** SECTION  
1/4" = 1'-0"

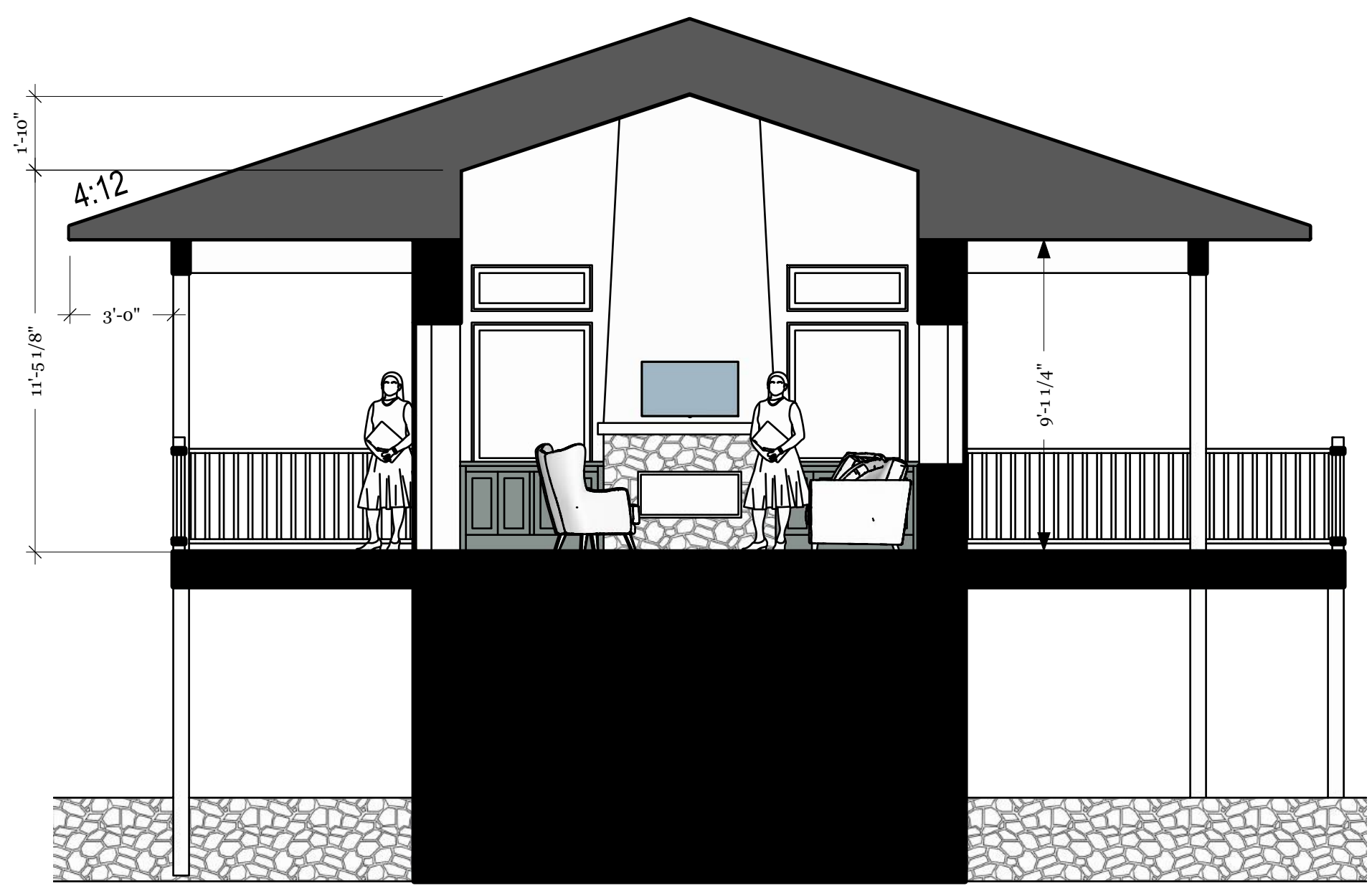
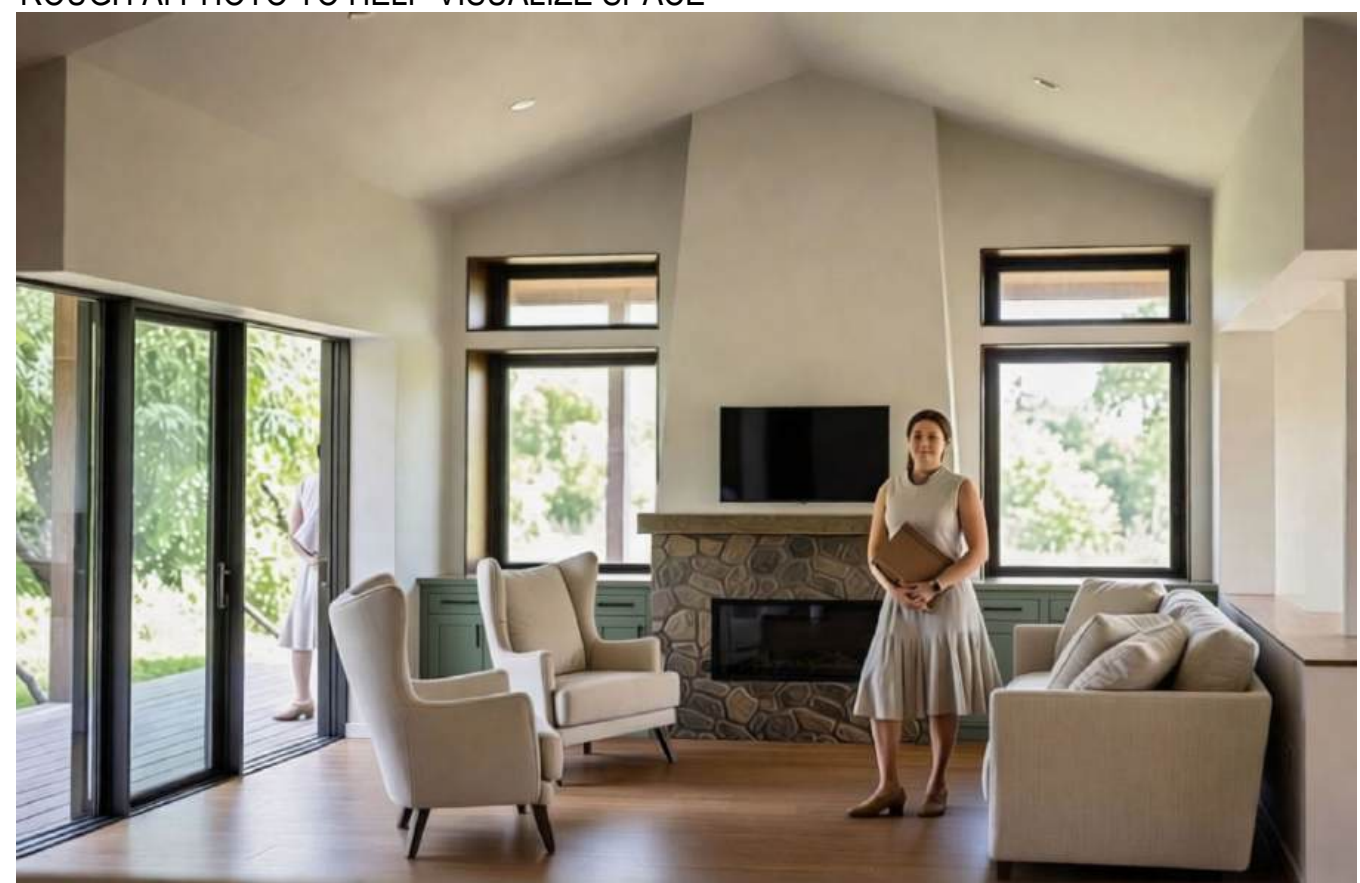
ROUGH AI PHOTO TO HELP VISUALIZE SPACE



**DESIGN DISCLAIMER**

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ROUGH AI PHOTO TO HELP VISUALIZE SPACE



**I** SECTION  
1/4" = 1'-0"

**Jill & Russ**  
(ADDRESS)  
(ADDRESS)

CUSTOMER SIGNATURE FOR APPROVAL

**SECTION DETAILS**

ISSUED 03/26/2026

**RESOLUTION NO. 63-26**

**CITY OF MINNETRISTA**

**RESOLUTION APPROVING A GUEST HOME CONDITIONAL USE PERMIT FOR LANCE AND DESIREE LIBENGOOD AT 7655 COUNTY ROAD 15**

WHEREAS, the City of Minnetrista (the “City”) is a municipal corporation, organized and existing under the laws of the State of Minnesota; and

WHEREAS, the City Council of the City of Minnetrista has adopted zoning and subdivision regulations, per Chapter 5 of the Municipal Code, to promote the orderly, economic and safe development and utilization of land within the city; and

WHEREAS, Lance and Desiree Libengood (the “Applicants”) have made an application for a guest home conditional use permit at 7655 County Road 15 (the “Property”) and which is legally described on Exhibit A attached hereto; and

WHEREAS, on November 24, 2025, the Minnetrista Planning Commission considered the requested guest home conditional use permit, held a public hearing and, after consideration of the entire record before it, voted 5-0 in favor of recommending approval of the requested conditional use permit; and

WHEREAS, the Minnetrista City Council has reviewed the application, as submitted, and has made the following findings of fact:

1. The proposed guest home over 1,000 square feet is allowed with a Conditional Use Permit;
2. The proposed use does not pose any discernable concerns to the general public health, safety, morals, comfort or general welfare of the inhabitants of the city; and
3. The request is consistent with the Minnetrista Comprehensive Plan.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Minnetrista hereby approves the requested guest home conditional use permit at the property generally located at 7655 County Road 15, subject to the following conditions:

1. The guest home is proposed to have an attached deck. The deck cannot exceed 30” above the adjacent grade as it does not meet the setback requirement from the wetland. If the deck is to be built and exceeds 30” above adjacent grade, then a variance must first be approved before a permit can be issued;
2. The guest home shall not be sold or conveyed separate from the primary residence;
3. The guest home must be served by the same electrical, water, and gas meters that serve the primary residence. A separate individual sewage treatment system is permitted if required by the county or other permitting authority;
4. No additional driveway or curb cut shall be permitted for the guest home;

5. Any riparian rights belong to the primary residence on the property. No additional boat slips will be permitted for the guest home;
6. The Property shall be developed in accordance with the plans submitted with this land use application last dated October 23, 2025;
7. The Applicants shall obtain all necessary permits and approvals from the City and other applicable agencies with jurisdiction over the Property prior to any construction;
8. The Applicants are responsible for all fees incurred by the City in the review of this application; and
9. This approval is valid for one year from the date of approval and will become void and expire unless a building permit has been issued for the Property.

This resolution was adopted by the City Council of the City of Minnetrista on the 8<sup>th</sup> day of December, 2025 by a vote of \_\_\_ Ayes and \_\_\_ Nays.

\_\_\_\_\_  
Lisa Whalen, Mayor

ATTEST:

\_\_\_\_\_  
Ann Meyerhoff, City Clerk

**EXHIBIT A**

Legal Description of 7655 County Road 15:

Lot 1, Block 1, Whale Tail Lake Estates, Hennepin County, Minnesota.

**CITY OF MINNETRISTA  
CITY COUNCIL AGENDA ITEM**



**Subject:** Approve a Conditional Offer of Employment to Richard Griffiths for the Position of Police Officer

**Prepared By:** Paula Bauman, Assistant City Administrator  
Craig Squires, Director of Public Safety  
Personnel Committee: Councilmembers Reffkin and Vickery

**Meeting Date:** June 1, 2026

**Issue:**

The City Council is asked to approve an offer of employment for Richard Griffiths to fill the position of Police Officer for the Minnetrista Police Department

**Background:**

As previously approved by the City Council, an additional police officer position was added to the Police Department. Since posting the position, staff have interviewed several applicants. Mr. Griffiths was interviewed by Chief Squires, Deputy Chief Cummings, and me. Following the interview process, staff agreed that Mr. Griffiths is a highly qualified candidate who would serve the Department well.

Mr. Griffiths previously served as a Patrol Officer for the City of Robbinsdale. He holds an associate's degree in criminal justice and is licensed by the Minnesota Board of Peace Officer Standards and Training.

Based on his qualifications and experience, staff recommends hiring Mr. Griffiths at Level 1 of the LELS 116 pay schedule at \$38.62 per hour, along with a \$3,000 signing incentive – half payable after six months of successful employment and the remaining half after one year. The conditional offer is attached for your review, and the candidate has accepted the terms of the letter.

**Summary:**

At tonight's Council meeting, staff is requesting approval of this conditional offer of employment, contingent upon Mr. Griffiths successful completion of a psychological evaluation and physical examination. His background investigation has been completed.

**Attachments:**

- Conditional Offer Letter

**Mission Statement:**

The City of Minnetrista will deliver quality services in a cost-effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.



**Municipal Offices**  
7701 County Road 110 West  
Minnetrista, MN 55364-9552  
minnetrista@cityofminnetrista.gov

May 22, 2026

Richard Griffiths  
[removed]  
[removed]

Dear Richard,

This letter serves as a conditional offer of employment for the Police Officer position with the City of Minnetrista. Final approval of your hiring will be granted by the Minnetrista City Council at a future meeting. In the meantime, this conditional offer allows us to proceed with the remaining steps in the hiring process.

The City of Minnetrista is offering you the 2026 rate of pay at Level 1 of the Police Officer wage program, which is \$38.62 per hour (equivalent to \$80,334.07 annually), along with a comprehensive benefits package that begins on your first day of employment. In addition, we are offering a signing incentive of \$1,500 payable after six months of successful employment, and an additional \$1,500 upon successful completion of your one-year probationary period. You will accrue leave benefits at the one-year threshold (80 hours per year) and will be placed at one year on the longevity schedule.

In accordance with City policy and the LELS Local #116 union contract, you will serve a one-year probationary period, with performance evaluations conducted at the six-month mark and at one year. Upon completing the probationary period, your status will change from “probationary” to “full-time” employee. In subsequent years, annual performance evaluations will occur at the end of each calendar year. You will also be eligible for level increases annually on your employment anniversary date.

Before finalizing your employment, several pre-placement requirements must be completed, including a physical examination, drug and alcohol screening, and a psychological evaluation. These examinations are conducted at the city’s expense. All information you provide for the evaluating professionals must be complete and accurate.

We look forward to working with you through these final steps and welcoming you to the Minnetrista Police Department. Please let us know if you have any questions as you move forward in the process.

Sincerely,

*Paula Bauman*  
Paula Bauman  
Assistant City Administrator

Richard Griffiths  
[removed]  
[removed]

I accept all terms and conditions outlined in this conditional offer of employment for the Police Officer position with the City of Minnetrista, Minnesota.

---

Richard Griffiths

---

Date

CC: Personnel File

**CITY OF MINNETRISTA  
CITY COUNCIL AGENDA ITEM**



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**Subject:** Termination of Police Officer, Officer Robbins  
**Prepared By:** Paula Bauman, Assistant City Administrator  
**Meeting Date:** June 1, 2026

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**Issue:**  
Termination of Minnetrista Police Officer, Officer Robbins

**Background:**

Following the direction of our City Attorney, staff has issued a notice of termination to Minnetrista Police Officer, Officer Robbins. Officer Robbins acknowledged receipt of the notice on Friday, May 15, 2026.

**Recommended City Council Action:**

Motion to approve the termination of Police Officer Robbins from the City of Minnetrista Public Safety Department.

**Attachments:**

- None

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**Mission Statement:**

The City of Minnetrista will deliver quality services in a cost-effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.

**CITY OF MINNETRISTA  
CITY COUNCIL AGENDA ITEM**



**Subject:** Accept Resignation from Minnetrista Police Officer, Officer White  
**Prepared By:** Paula Bauman, Assistant City Administrator  
**Meeting Date:** June 1, 2026

**Issue:**  
Staff received the resignation of Brandon White from the position of Police Officer with the City of Minnetrista Police Department, effective June 11, 2026.

**Background:**  
Staff received the resignation of Brandon White from his position as Police Officer with the City of Minnetrista Police Department, effective June 11, 2026. Officer White has served the Department in this role since 2008 and has made valuable contributions to the Department’s overall success.

**Recommended City Council Action:**  
Motion to accept the resignation of Officer White from the position of Police Officer, effective June 11, 2026.

**Attachments:**

- None

**Mission Statement:**  
The City of Minnetrista will deliver quality services in a cost-effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.



**CITY OF MINNETRISTA**  
**CITY COUNCIL AGENDA ITEM**

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**Subject:** 9550 West Hill Road Nuisance Declaration and Abatement Order

**Prepared By:** Jasper Kruggel, City Administrator  
Sarah Sonsolla, City Attorney

**Meeting Date:** June 1, 2026

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**Issue:** The City of Minnetrista is holding a public hearing related to the consideration of declaring the property located at 9550 West Hill Road a nuisance and issuing an abatement order to abate the declared nuisance.

**Legal Authority:**

This action is authorized under City Code Chapter 15, Section 1510 (Nuisances) and Chapter 5, Section 505.07 (Property Maintenance Standards). The City Council has authority to declare a public nuisance and order abatement following notice and a public hearing, consistent with applicable Minnesota statutory requirements.

**Background – Original Violations:**

On September 3, 2025, staff sent a notice letter to the property owner identifying the following three code violations and requiring correction within 45 calendar days:

**1. Chapter 5, Section 505.07, Subd. 7 – Storage of Materials**

Materials including junk vehicles, scrap wood, metal, appliances, and construction debris are stored outdoors in a manner inconsistent with city regulations. Outdoor storage of this type is not permitted unless properly screened and maintained per ordinance requirements.

**2. Chapter 5, Section 505.07, Subd. 10 – Home Occupations**

Evidence indicates a business (Westwood Tree Works) is being operated from the residential property in a manner that does not conform to permitted home occupation standards. These standards prohibit commercial activities that generate excessive traffic, require outdoor storage, or otherwise alter the residential character of the property.

**3. Chapter 15, Section 1510 – Nuisances**

The accumulation of debris and materials on the property constitutes a public nuisance as defined under City Code. Nuisance conditions that negatively impact surrounding properties or the public welfare must be addressed promptly.

**Mission Statement:**

The City of Minnetrista will deliver quality services in a cost effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.

**Enforcement Timeline:**

Date	Action
<b>Sept. 3, 2025</b>	Notice letter sent to property owner identifying three code violations; 45-day compliance deadline established.
<b>Nov. 17, 2025</b>	Staff presented matter to City Council. Due to onset of winter conditions, Council directed staff to re-evaluate in Spring 2026 but proceed with criminal charges.
<b>Nov. 19, 2025</b>	Criminal charges filed against the property owner for related violations. These proceedings remain pending and are independent of this civil abatement action.
<b>Mar. 2, 2026</b>	City Council directed staff to obtain an administrative search warrant to access and document conditions on the property.
<b>Apr. 17, 2026</b>	Minnetrista Police Department and Building Department conducted an on-site inspection. Current conditions were documented via body-worn cameras. Violations observed remain consistent with those identified in the original notice letter, with no material remediation having occurred.
<b>May 18, 2026</b>	City Council reviewed the inspection report and video documentation. Council directed staff to proceed with a nuisance declaration hearing at the June 1, 2026 meeting.

**Current Conditions:**

The April 17, 2026 inspection confirmed that violations identified in the September 2025 notice letter have not been abated. Outdoor storage of junk vehicles, scrap metal, wood, appliances, and construction debris remains present on the property. The property conditions documented during inspection are detailed in the attached police report and video evidence.

**Note on Criminal Proceedings:**

Criminal charges were filed against the property owner on November 19, 2025, and remain pending as of the date of this memo. The civil nuisance abatement process is independent of those criminal proceedings. The Council’s authority to declare a nuisance and order abatement is not contingent on the outcome of the criminal case.

**Recommended City Council Action:**

Staff recommend that the City Council:

- Declare the property at 9550 West Hill Road a public nuisance pursuant to City Code Chapter 15, Section 1510; and
- Issue an abatement order requiring the property owner to complete the following corrective actions no later than August 1, 2026:
  - Remove or properly screen all unauthorized outdoor storage in compliance with Section 505.07, Subd. 7(c);
  - Cease or modify any non-compliant home occupation activity in compliance with Section 505.07, Subd. 10; and

**Mission Statement:**

The City of Minnetrista will deliver quality services in a cost effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.

- Abate all nuisance conditions by cleaning, organizing, or otherwise remediating the affected areas.

The attached resolution (Attachment A) has been prepared for Council consideration.

**Attachments:**

- Attachment A: Proposed Resolution – Nuisance Declaration and Abatement Order
- Attachment B: September 3, 2025 Notice Letter to Property Owner

**Mission Statement:**

The City of Minnetrista will deliver quality services in a cost effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.



September 3, 2025

Robert R. Bosma  
9550 West Hill Road  
Minnetrista, MN 55388

**RE: NOTICE OF CODE VIOLATIONS – 9550 West Hill Road, Minnetrista, MN 55388**

Dear Mr. Bosma,

The City of Minnetrista is committed to maintaining the health, safety, and quality of life of our residents through the enforcement of local ordinances. As part of this responsibility, a recent complaint about the condition of your property located at **9550 West Hill Road** has revealed violations of the Minnetrista City Code.

The following code sections have been identified as being in violation:

**1. Chapter 5, Section 505.07, Subd. 7 – Storage of Materials**

It has been observed that materials including, but not limited to, junk vehicles, scrap wood, metal, appliances, construction debris, etc., are being stored outdoors on the premises in a manner inconsistent with city regulations. This type of outdoor storage is not permitted in the city unless it is properly screened and maintained per ordinance requirements. For a complete list of what type of outdoor storage is allowed, what must be screened, the proper type of screening, and what is not allowed for outside storage, please consult Section 505.07 Subd 7 (c) of City Code.

**2. Chapter 5, Section 505.07, Subd. 10 – Home Occupations**

Evidence suggests that a business is being operated at the residence that does not conform to the permitted standards for a home occupation (Westwood Tree Works). These standards restrict commercial activities from operating from residential properties that generate excessive traffic, require outdoor storage, or otherwise alter the residential character of the property.

**3. Chapter 15, Section 1510 – Nuisances**

Conditions on the property, including the accumulation of a large amount of debris and materials, may constitute a public nuisance as defined under City Code. Nuisances that negatively impact surrounding properties or the public welfare must be addressed promptly.

**Required Corrective Actions:**

You are hereby notified to bring your property into compliance with all applicable ordinances within **45 calendar days** of the date of this letter. This includes, but is not limited to:

- Removing or properly screening all unauthorized outdoor storage.
- Ceasing or modifying any non-compliant home occupation activity.
- Abating any nuisance conditions by cleaning, organizing, or otherwise remediating the affected areas.

Failure to correct these violations may result in the issuance of an abatement order or further legal action as authorized by law. Please contact the City of Minnetrista at (952) 446-1660 or via email at [nolson@ci.minnetrista.mn.us](mailto:nolson@ci.minnetrista.mn.us) to confirm your plan of corrective action or to request clarification on these violations. Thank you for your prompt attention to this matter and your cooperation in maintaining the standards of our community.

Sincerely,

*Nickolas Olson*

Nickolas Olson  
Senior City Planner

**RESOLUTION NO. 64-26**

**CITY OF MINNETRISTA  
HENNEPIN COUNTY, MINNESOTA**

**RESOLUTION ORDERING THE ABATEMENT OF PUBLIC NUISANCE  
CONDITIONS AT 9550 WEST HILL ROAD AND AUTHORIZING RELATED LEGAL  
PROCEEDINGS**

**WHEREAS**, the property located at 9550 West Hill Road (the “Subject Property”) is located in the City of Minnetrista (the “City”); and

**WHEREAS**, the Subject Property is owned by Robert Reinhart Bosma (the “Owner”); and

**WHEREAS**, conditions on the Subject Property have been the subject of numerous nuisance complaints over the course of several years, including complaints related to the storage of abandoned and junk vehicles and accumulations of rubbish visible from public areas; and

**WHEREAS**, in response to such complaints, City staff made repeated efforts to get the Owner to voluntarily bring the Subject Property into compliance with applicable code provisions and law;

**WHEREAS**, despite these efforts, up to and including misdemeanor and petty misdemeanor nuisance-related charges filed against the Owner on or about November 19, 2025, the Owner has not brought the Subject Property into compliance;

**WHEREAS**, City police and building department officials observed ongoing nuisance conditions during a thorough physical inspection of the Subject Property conducted on April 17, 2026, with consent from the Owner, including the following:

- (1) Garbage not stored in rodent free and fly-tight containers, or stored so as to emit foul and disagreeable odors, or stored so as to constitute a hazard to public health, in violation of Minnetrista Code of Ordinances (“Code”) section 1510.05, subdivision 3;
- (2) Accumulations of rubbish, such as piles of tires, wires, rusted metal, household items, batteries, logs, and miscellaneous equipment, in violation of Code section 1510.05, subdivision 4;
- (3) Accumulations of disused furniture, appliances, machinery, automobiles, trucks, buses, light and heavy equipment, boats, trailers, recreational vehicles, and any other related vehicles or equipment and parts thereof, and freight or cargo containers of any kind, which may become a harborage for rats, snakes or vermin, or which may be conducive to fire, or which endangers the health, safety or welfare of the public, or which leads to a blighting condition in a particular neighborhood, in violation of Code section 1510.05, subdivision 10;
- (4) Inoperable, partially dismantled, scrap, salvage, abandoned, and/or unregistered motor vehicles, in violation of Code sections 1510.05, subdivision 12, and 925.07;
- (5) Conditions whereby any fuel, oil, fluid, or other substance is allowed to leak from any motor vehicle and leach into the ground, in violation of Code section 1510.05, subdivision

- 14; and
- (6) Conditions which create excessive exterior storage resulting in a blighted condition of a property, or which is open and obvious to neighboring properties or to the general public from public areas, in violation of Code section 1510.05, subdivision 16;

**WHEREAS**, said conditions unreasonably annoy, injure, or endanger the safety, health, comfort, or repose of a considerable number of members of the public, in violation of Code section 1510.01, subdivision 1 and Minnesota Statutes section 609.74; and

**WHEREAS**, said conditions cause a blighted or undesirable effect on property, in violation of Code section 1510.01, subdivision 5; and

**WHEREAS**, a public hearing on the public nuisance conditions was held on June 1, 2026; and

**WHEREAS**, based on the information presented, the City Council has determined that the condition of the Subject Property constitutes a public nuisance in violation of local and state law and, therefore, should be abated; and

**WHEREAS**, based on the information presented, the City Council has further determined that it is necessary and appropriate for the City to take legal action to abate the nuisance condition of the Subject Property upon the Owner’s failure to do so.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MINNETRISTA, MINNESOTA:**

1. The City Council adopts, as factual findings, all of the recitals listed above.
2. The City Council also finds that the condition of the Subject Property constitutes a public nuisance, as defined by both state and local law, and violates the aforementioned sections of the Code, and is a menace to the health of the inhabitants of the City.
3. The Owner is hereby ordered to abate the identified nuisance conditions at the Subject Property by August 1, 2026.
4. The City Clerk shall provide for service of a copy of this resolution upon the Owner.
5. If nuisance conditions at the Subject Property persist after August 1, 2026, the City Attorney is authorized and directed to take all necessary legal steps to bring the Subject Property into compliance with the Code, in accordance with Code section 1510.09, subdivision 5, with costs to be recovered as provided in Code section 1510.11 and other applicable law.

This resolution was adopted by the City Council of the City of Minnetrista on the 1<sup>st</sup> day of June, 2026, by a vote of \_\_\_\_\_ Ayes and \_\_\_\_\_ Nays.

\_\_\_\_\_  
Lisa Whalen, Mayor

ATTEST:

\_\_\_\_\_  
Ann Meyerhoff, City Clerk

**CITY OF MINNETRISTA  
CITY COUNCIL AGENDA ITEM**



**Subject:** Designate Voting Period – Absentee and Early Voting

**Prepared By:** Paula Bauman, Assistant City Administrator  
Ann Meyerhoff, City Clerk

**Meeting Date:** June 1, 2026

**Issue:**  
Determine whether the city of Minnetrista will implement 18 days of in-person absentee voting (AB) at City Hall.

**Background:**  
The 2026 Minnesota legislative session concluded on May 20, resulting in new legislation requiring municipalities to determine their in-person voting period for future elections. Under the new law, municipalities must decide whether to begin administering in-person voting 46 days before an election or transition to the new 18-day early voting period. The statute states: “the municipality must determine whether the municipality's office will be designated to administer voting under section 203B.081 starting on the 46th day before the election or the 18th day before the election.”

In practice, this means municipalities must choose between continuing the current 46-day in-person absentee voting process, which uses absentee ballot envelopes, or implementing the 18-day early voting process, where voters cast ballots directly into the DS200 tabulator in a manner similar to Election Day voting.

The legislation can be viewed here: [Minnesota Session Law, Chapter 102](#)

If the city adopts the 18-day early voting period, the primary operational change would eliminate the first 28 days of in-person absentee voting at City Hall. Residents would still have the option to vote absentee during that time by requesting a ballot online or by mail through the Minnesota Secretary of State’s Office. Completed absentee ballots could still be returned to City Hall or mailed to the SOS office.

City staff supports transitioning to the 18-day early voting period. The change would continue to provide residents with accessible voting opportunities while improving the efficiency and consistency of election administration. It would also streamline staffing and operational planning, reduce costs, and provide a clearer and more manageable voting schedule for the public.

If Council chooses to designate the city’s voting administration period for the 2026 elections under Minnesota Statutes sections 203B.081 to begin on the 18th day before the election, Staff will create a communications plan to clearly communicate that voters can cast their ballot during the 18-day early voting period at City Hall. The messaging will emphasize the new timeline, the convenience of voting early at City Hall, and the continued availability of Election Day and mail voting options.

**Mission Statement:**

The City of Minnetrista will deliver quality services in a cost-effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.

**Recommended City Council Action:**

Hennepin County has requested municipalities voting period designations by June 1 to assist with election administration timelines. Staff recommends the City Council designate the city’s voting administration period for the 2026 elections under Minnesota Statutes section 203B.081 to begin on the 18th day before the election.

**Attachments:**

- Voter participation totals for 2022 and 2024 elections



**Mission Statement:**

The City of Minnetrista will deliver quality services in a cost-effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.



## Ballot Count: Accepted and Rejected

Section 6, Item a)

County-Hennepin, MCD-MINNETRISTA, Election-08/09/2022 - STATE PRIMARY, AB Designated-All Municipalities, Application Type-Regular, Regular Application Delivery Method-In Person

Municipality	Ward	Precinct	Accepted			Rejected		
			PCT	FED	PRS	PCT	FED	PRS
Hennepin								
151-Minnetrista		2240-MINNETRISTA P-1	4	0	0	0	0	0
		2245-MINNETRISTA P-2	1	0	0	0	0	0
		2250-MINNETRISTA P-3	1	0	0	0	0	0
		2255-MINNETRISTA P-4	9	0	0	0	0	0
		<b>Municipality Total:</b>	<b>15</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>Hennepin County Total:</b>			<b>15</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	



## Ballot Count: Accepted and Rejected

County-Hennepin, MCD-MINNETRISTA, Election-08/09/2022 - STATE PRIMARY, AB Designated-All Municipalities, Application Type-Regular, Regular Application Delivery Method-Direct Balloting

Municipality	Ward	Precinct	Accepted			Rejected		
			PCT	FED	PRS	PCT	FED	PRS
Hennepin								
151-Minnetrista		2240-MINNETRISTA P-1	12	0	0	0	0	0
		2245-MINNETRISTA P-2	9	0	0	0	0	0
		2255-MINNETRISTA P-4	39	0	0	0	0	0
		<b>Municipality Total:</b>	<b>60</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>Hennepin County Total:</b>			<b>60</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	




# Ballot Count: Accepted and Rejected

Section 6, Item a)

County-Hennepin, MCD-MINNETRISTA, Election-11/08/2022 - STATE GENERAL, AB Designated-All Municipalities, Application Type-Regular, Regular Application Delivery Method-In Person

Municipality	Ward	Precinct	Accepted			Rejected		
			PCT	FED	PRS	PCT	FED	PRS
Hennepin								
151-Minnetrista		2240-MINNETRISTA P-1	121	0	0	2	0	0
		2245-MINNETRISTA P-2	41	0	0	0	0	0
		2250-MINNETRISTA P-3	60	0	0	0	0	0
		2255-MINNETRISTA P-4	172	0	0	0	0	0
		Municipality Total:	394	0	0	2	0	0
Hennepin County Total:			394	0	0	2	0	0



## Ballot Count: Accepted and Rejected

County-Hennepin, MCD-MINNETRISTA, Election-11/08/2022 - STATE GENERAL, AB Designated-All Municipalities, Application Type-Regular, Regular Application Delivery Method-Direct Balloting

Municipality	Ward	Precinct	Accepted			Rejected		
			PCT	FED	PRS	PCT	FED	PRS
Hennepin								
151-Minnetrista		2240-MINNETRISTA P-1	157	0	0	0	0	0
		2245-MINNETRISTA P-2	70	0	0	0	0	0
		2250-MINNETRISTA P-3	121	0	0	0	0	0
		2255-MINNETRISTA P-4	312	0	0	0	0	0
		Municipality Total:	660	0	0	0	0	0
Hennepin County Total:			660	0	0	0	0	0



## Ballot Count: Accepted and Rejected

County-Hennepin, MCD-MINNETRISTA, Election-08/13/2024 - STATE PRIMARY, AB Designated-All Municipalities, Application Type-Regular, Regular Application Delivery Method-In Person

Municipality	Ward	Precinct	Accepted			Rejected		
			PCT	FED	PRS	PCT	FED	PRS
Hennepin								
151-Minnetrista		2245-MINNETRISTA P-2	2	0	0	0	0	0
		2250-MINNETRISTA P-3	1	0	0	0	0	0
		2255-MINNETRISTA P-4	3	0	0	0	0	0
		<b>Municipality Total:</b>	<b>6</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>Hennepin County Total:</b>			<b>6</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>



## Ballot Count: Accepted and Rejected

County-Hennepin, MCD-MINNETRISTA, Election-08/13/2024 - STATE PRIMARY, AB Designated-All Municipalities, Application Type-Regular, Regular Application Delivery Method-Direct Balloting

Municipality	Ward	Precinct	Accepted			Rejected		
			PCT	FED	PRS	PCT	FED	PRS
Hennepin								
151-Minnetrista		2240-MINNETRISTA P-1	13	0	0	0	0	0
		2245-MINNETRISTA P-2	9	0	0	0	0	0
		2250-MINNETRISTA P-3	14	0	0	0	0	0
		2255-MINNETRISTA P-4	12	0	0	0	0	0
		<b>Municipality Total:</b>	<b>48</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>Hennepin County Total:</b>			<b>48</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>



## Ballot Count: Accepted and Rejected

Section 6, Item a)

County-Hennepin, MCD-MINNETRISTA, Election-11/05/2024 - STATE GENERAL, AB Designated-All Municipalities, Application Type-Regular, Regular Application Delivery Method-In Person

Municipality	Ward	Precinct	Accepted			Rejected		
			PCT	FED	PRS	PCT	FED	PRS
Hennepin								
151-Minnetrista		2240-MINNETRISTA P-1	143	0	0	0	0	0
		2245-MINNETRISTA P-2	28	0	0	0	0	0
		2250-MINNETRISTA P-3	70	0	0	0	0	0
		2255-MINNETRISTA P-4	223	0	0	0	0	0
	<b>Municipality Total:</b>			464	0	0	0	0
<b>Hennepin County Total:</b>			464	0	0	0	0	0



## Ballot Count: Accepted and Rejected

County-Hennepin, MCD-MINNETRISTA, Election-11/05/2024 - STATE GENERAL, AB Designated-All Municipalities, Application Type-Regular, Regular Application Delivery Method-Direct Balloting

Municipality	Ward	Precinct	Accepted			Rejected		
			PCT	FED	PRS	PCT	FED	PRS
Hennepin								
151-Minnetrista		2240-MINNETRISTA P-1	577	0	0	0	0	0
		2245-MINNETRISTA P-2	222	0	0	0	0	0
		2250-MINNETRISTA P-3	422	0	0	0	0	0
		2255-MINNETRISTA P-4	1068	0	0	0	0	0
	<b>Municipality Total:</b>			2289	0	0	0	0
<b>Hennepin County Total:</b>			2289	0	0	0	0	0

**CITY OF MINNETRISTA**  
**CITY COUNCIL AGENDA ITEM**



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**Subject:** Award Contract for the Westedge Blvd Trail Replacement Project

**Prepared By:** Alyson Fauske, PE (MN), City Engineer

**Meeting Date:** June 1, 2026

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**Issue:**

Should the City Council award a contract to replace trail along Westedge Boulevard?

**Overview:**

The bids for the 2026 Street Improvement Project (2026 SIP) included an alternate for the mill and overlay of the trail along Westedge Boulevard. The low base bid for the 2026 SIP was \$79,210.32 less than the next lowest base bid, therefore the bid alternate for the trail work was not awarded and council directed staff to get quotes for the trail work.

While the quote package was being prepared Public Works cored the trail and found that the pavement is not thick enough for a mill and overlay, so the quote package is for removal and replacement of the trail pavement. The quotes package included an alternate for removals as this is work that Public Works could perform.

The quote package was sent to four contractors. Two contractors responded to the request for quotes. JBT Blacktopping indicated that they do not provide traffic control or sodding and therefore did not include a price for that work. Wm Mueller’s quote for the asphalt work (mobilization and 3” bituminous walk) is lower, and their price for removals is cheaper than what it would cost for Public Works to perform the work.

**Fiscal Impact:**

Staff recommends that the base bid and bid alternate be awarded to Wm Mueller & Sons, Inc. for \$61,283.40. The improvements are proposed to be paid by the Park Fund.

**Recommended City Council Action:**

Staff recommends approving Resolution No. 65-26 awarding the contract for the Westedge Boulevard Trail Replacement Project.

**Mission Statement:**

The City of Minnetrista will deliver quality services in a cost effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.

# Bid Tabulation

Westedge Trail Replacement

City of Minnetrista, MN

WSB Project No. 031373-000

Bid Opening: Thursday, May 21, 2026, at 2:00 p.m. local time



  DENOTES CORRECTED FIGURE

INCOMPLETE BID

Line No.	Material No.	Item	Units	Quantity	Wm. Mueller & Sons, Inc.		JBT Blacktopping	
					Unit Price	Total Price	Unit Price	Total Price
<b>Base Bid</b>								
1	2021.501	MOBILIZATION	LS	1	\$500.00	\$500.00	\$1,500.00	\$1,500.00
2	2521.518	3" BITUMINOUS WALK	S F	17,650	\$1.92	\$33,888.00	\$3.10	\$54,715.00
3	2563.601	TRAFFIC CONTROL	LS	1	\$300.00	\$300.00		\$0.00
4	2575.504	SODDING TYPE LAWN	S Y	440	\$30.76	\$13,534.40		\$0.00
		<b>TOTAL BASE BID</b>				<b>\$48,222.40</b>		<b>\$56,215.00</b>
<b>BID ALTERNATE #1 - TRAIL REMOVAL</b>								
5	2104.518	REMOVE BITUMINOUS WALK	S F	17,650	\$0.74	\$13,061.00	\$1.40	\$24,710.00
		<b>TOTAL BID ALTERNATE #1 - TRAIL REMOVAL</b>				<b>\$13,061.00</b>		<b>\$24,710.00</b>

I hereby certify that this is an exact reproduction of bids received.

Certified By: *Emily Brown*

License No. 51773

Date: May 21, 2026

**RESOLUTION NO. 65-26**

**RESOLUTION AWARDING A CONTRACT FOR THE WESTEDGE BOULEVARD TRAIL PROJECT**

**WHEREAS**, the City Council of Minnetrista previously directed the City Engineer to request quotes to repave the trail along Westedge Boulevard; and

**WHEREAS**, quotes were received on May 21, 2026.

**NOW, THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF MINNETRISTA:**

1. All quotes for the Westedge Boulevard trail project have been received and are tabulated on the attached summary.
2. The total bid of Wm Mueller & Sons, Inc., in the amount of \$61,283.40, for the construction of said improvements, is in accordance with the plans and specifications and request for quotes and is the lowest responsible total bid.
3. The Mayor and Clerk are hereby authorized and directed to enter into a contract with said bidder for the construction of said improvements for and on behalf of the City of Minnetrista.

This resolution was adopted by the City Council of the City of Minnetrista on the 1<sup>st</sup> day of June 2026, by a vote of \_\_\_\_\_Ayes and \_\_\_\_\_Nays.

\_\_\_\_\_  
Mayor Lisa Whalen

ATTEST:

\_\_\_\_\_  
Ann Meyerhoff  
City Clerk

**CITY OF MINNETRISTA**

**REQUEST FOR CITY COUNCIL  
ACTION/DISCUSSION**



**Subject:** Accept bids and award contracts for the 2026 Pavement Maintenance Project – City Project No. 03-26

**Prepared By:** Alyson Fauske, PE (MN), City Engineer

**Meeting Date:** June 1, 2026

**Attachments:** Maps, Letters of Recommendation, Resolutions

**Issue:**

Accept bids and award contracts to complete work as proposed in the quote packages for the 2026 Pavement Maintenance Project – City Project No. 03-26.

**Background/Discussion:**

At the April 20, 2026 meeting City Council approved plans and specifications and authorized advertisement for bids for the 2026 Pavement Maintenance Project, City Project 03-26. The project consists of approximately 10 miles of streets throughout the city receiving one or more surface treatments, including crack fill, seal coat, fog seal, and pavement rejuvenator.

Bids were opened and read aloud on May 27, 2026 and are summarized below (bold indicates low bid):

	Crack Fill, Seal Coat & Fog Seal	Reclamite
Allied Blacktop Company	<b>\$353,226.00</b>	-
Corrective Asphalt Materials LLC	-	<b>\$89,431.00</b>
Pearson Bros, Inc.	\$460,889.00	-
<i>Engineer's Estimate</i>	\$433,920.00	\$106,400.00

This is a joint project with the city of Excelsior so that both communities can realize savings in engineering costs and provide a larger project that may be more attractive to bidders. Minnetrista's portion of the project costs are \$57,604.00 for the Reclamite and \$271,250.00 for the Crack Seal, Seal Coat and Fog Seal.

**Mission Statement:**

The City of Minnetrista will deliver quality services in a cost effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.

The total estimated project cost for Minnetrista’s portion including 5% contingency and indirect costs is \$354,865.70. The pre-bid opinion of probable project costs, including indirect costs was \$493,463.00. The budget for 2026 pavement maintenance is \$900,000.

The Excelsior City Council will consider award of contract at their **June 1, 2026** meeting.

**Conclusion:**

Staff recommends the Council:

1. Accept the bids for the crack fill, seal coat and fog seal portion of the project,
2. Accept the bid for the reclamite portion of the project,
3. Award the crack fill, seal coat and fog seal portion of the project to Allied Blacktop Company in the amount of \$353,226.00, with Minnetrista’s portion being \$271,250.00,
4. Award the Reclamite portion of the project to Corrective Asphalt Materials LLC in the amount of 89,431.00, with Minnetrista’s portion being \$57,604.00, and
5. Authorize expenditure of funds to complete the improvements as described.

**Fiscal Impact:**

The project will be funded by the Road Maintenance Fund.

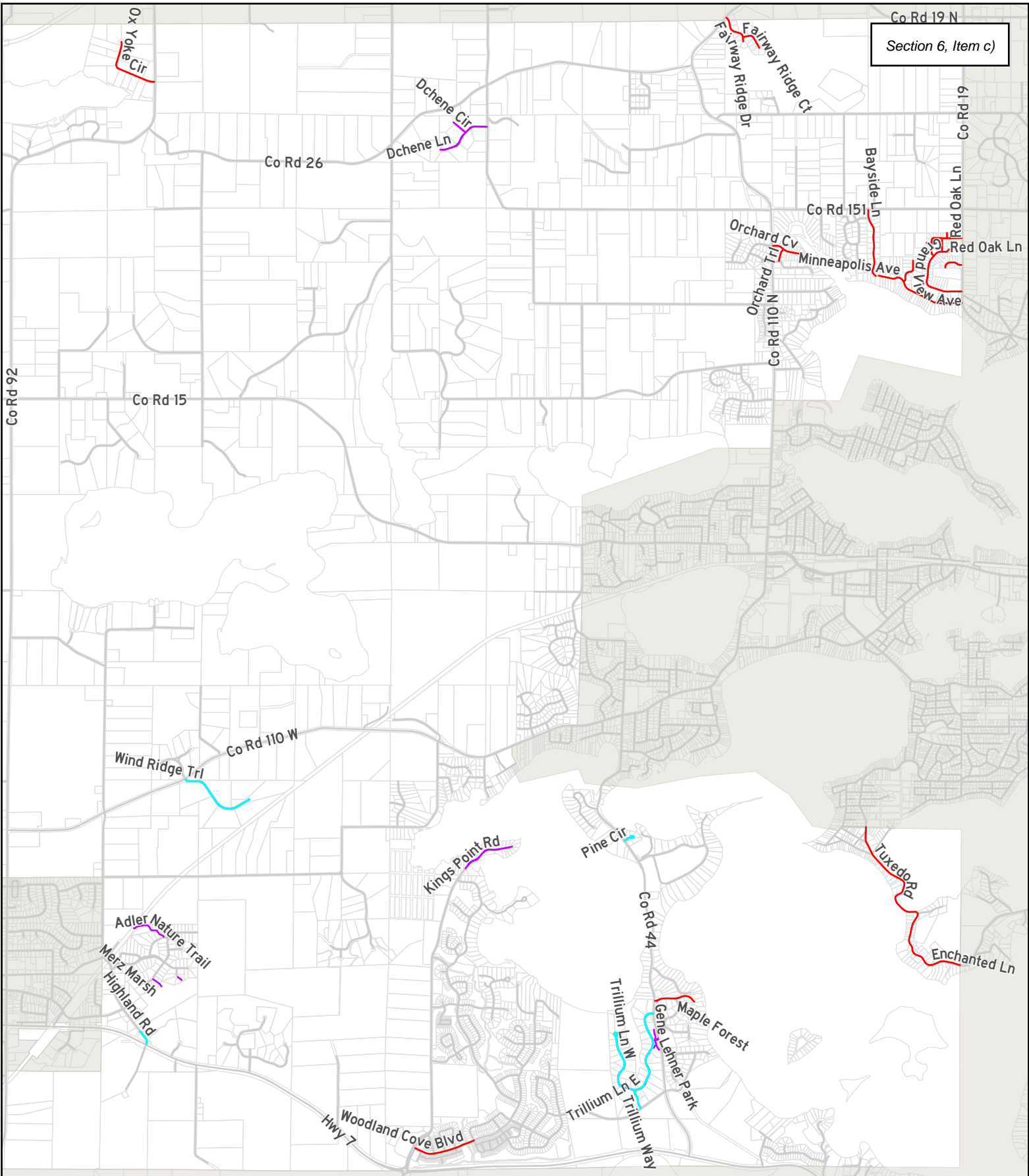
**Recommended City Council Action:** Staff recommends Council:

1. Approve Resolution 66-26, accepting the bids for the crack fill, seal coat and fog seal portion of the 2026 Pavement Maintenance Project, City Project 03-26 and awarding the contract to Allied Blacktop Company.
2. Approve Resolution 67-26, accepting the bids for the reclamite portion of the 2026 Pavement Maintenance Project, City Project 03-26 and awarding the contract to Corrective Asphalt Materials LLC.

Does Recommended Action meet City Mission Statement?       Yes     No  
 Does Recommended Action meet City Goals/Priorities?       Yes     No

**Mission Statement:**

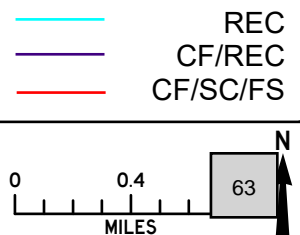
The City of Minnetrista will deliver quality services in a cost effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.



7701 COUNTY ROAD 110 WEST  
MINNETRISTA, MN 55364

# 2026 PAVEMENT MAINTENANCE PROJECT LOCATIONS

MINNETRISTA, MN



REC	Wind Ridge Tr	110 to cul-de-sac
REC	Pine Cir	Cty 44 to cul-de-sac
REC	Trillium Way	Lotus Dr to Trillium Ln split
REC	Trillium Ln E	Trillium Way to Cty 44
REC	Trillium Ln W	Trillium Way to cul-de-sac
REC	Highland Rd	Highway 7 to Six Mile Creek bridge
CF / REC	D'Chene Ln	N Branch to cul-de-sac
CF / REC	D'Chene Cir	D'Chene Ln to cul-de-sac
CF / REC	Adler Nature Trail	Walking trail off Eagle Nest Dr
CF / REC	Merz Marsh Park	Walking trail off Turtle Rd
CF / REC	Forest Ct Trail	Walking trail off Forest Ct
CF / REC	Gene Lehner Park	Walking trail in Park borders
CF / REC	Gene Lehner Park	Parking Lot by courts
CF / REC	Kings Point Rd	Park to cul-de-sac
CF / SC / FS	Ox Yoke Cir	Cty Rd 92 to cul-de-sac
CF / SC / FS	Minneapolis Ave	Cty Rd 19 to end
CF / SC / FS	Crest Ridge Ct	Mpls Ave to cul-de-sac
CF / SC / FS	Nicolas Way	Cty Rd 19 to cul-de-sac
CF / SC / FS	Maple Forest	Cty 44 to cul-de-sac
CF / SC / FS	Fairway Ln	Red Oak to Grandview
CF / SC / FS	Red Oak Ln (West Private Rd)	Main Red Oak Ln to gravel road
CF / SC / FS	Red Oak Ln (North Private Rd)	North private rd
CF / SC / FS	Grand View Ave	Cty 19 to cul-de-sac
CF / SC / FS	Bayside Ln (M&O 2015)	Cty 151 to cul-de-sac
CF / SC / FS	Tuxedo Rd	Sulgrove Rd to Lee Rd
CF / SC / FS	Enchanted Ln	Lee Rd to Shorewood border
CF / SC / FS	Orchard Cove	Cty Rd 110 to cul-de-sac
CF / SC / FS	Orchard Trail	Orchard Cove to Ridgewood Cove
CF / SC / FS	Fairway Ridge Dr	Cty 110 to cul-de-sac
CF / SC / FS	Fairway Ridge Ct	Fairway to cul-de-sac
CF / SC / FS	Woodland Cove Blvd	Kings Point Rd to Trail before Bluestem Dr



May 27, 2026

Honorable Mayor and City Council  
City of Minnetrista  
7701 County Road 110 West  
Minnetrista, MN 55364

Re: 2026 Pavement Maintenance Project – Crack Fill, Seal Coat & Fog Seal  
Cities of Excelsior and Minnetrista, MN  
Minnetrista City Project No. 03-26  
WSB Project Nos. 033771-000 and 033677-000

Dear Mayor and Council Members:

Bids were received online for the above-referenced project on Wednesday, May 27, 2026, and were viewed and read aloud. Two bids were received. Please find attached the Bid Tabulation Summary indicating Allied Blacktop Company, Maple Grove, Minnesota, as the low bidder with a grand total bid amount of \$353,226.00. The Engineer's Estimate for the project was \$433,920.00.

We recommend that the City Council consider these bids and award a contract to Allied Blacktop Company for the grand total bid amount of \$353,226.00, of which \$271,250.00 is the City of Minnetrista's portion of the total project cost.

If you have any questions, please contact me at 612.849.6157. Thank you.

Sincerely,

WSB

Emily Brown, PE  
Project Manager

Attachment

cc: Allied Blacktop Company  
Alyson Fauske, WSB

srb

178 E 9<sup>TH</sup> STREET | SUITE 200 | ST. PAUL, MN | 55101 | 651.286.8450 | WSBENG.COM



# Bid Tabulation Summary

2026 Pavement Maintenance Project - Crack Fill, Seal Coat & Fog Seal

Cities of Excelsior and Minnetrista, MN

Minnetrista City Project No. 03-26

WSB Project Nos. 033771-000 and 033677-000

Bids Received Online: Wednesday, May 27, 2026, at 10:30 a.m. Local Time

 DENOTES CORRECTED FIGURE

Contractor	Bid Bond (5%)	Addendum Received	Grand Total Bid
1 Allied Blacktop Company	X	N/A	\$353,226.00
2 Pearson Bros., Inc.	X	N/A	\$460,889.00
Engineer's Opinion of Probable Cost			\$433,920.00

I hereby certify that this is a true and correct tabulation of the bids as received on May 27, 2026.

Emily Brown, PE, Project Manager



May 27, 2026

Honorable Mayor and City Council  
City of Minnetrista  
7701 County Road 110 West  
Minnetrista, MN 55364

Re: 2026 Pavement Maintenance Project – Reclamite  
Cities of Excelsior and Minnetrista, MN  
Minnetrista City Project No. 03-26  
WSB Project Nos. 033771-000 and 033677-000

Dear Mayor and Council Members:

Bids were received online for the above-referenced project on Wednesday, May 27, 2026, and were viewed and read aloud. One bid was received. Please find attached the Bid Tabulation Summary indicating Corrective Asphalt Materials, LLC, South Roxana, Illinois, as the low bidder with a grand total bid amount of \$89,431.00. The Engineer's Estimate for the project was \$106,400.00.

We recommend that the City Council consider this bid and award a contract to Corrective Asphalt Materials, LLC for the grand total bid amount of \$89,431.00, of which \$57,604.00 is the City of Minnetrista's portion of the total project cost.

If you have any questions, please contact me at 612.849.6157. Thank you.

Sincerely,

WSB

Emily Brown, PE  
Project Manager

Attachment

cc: Corrective Asphalt Materials, LLC  
Alyson Fauske, WSB

srb

178 E 9<sup>TH</sup> STREET | SUITE 200 | ST. PAUL, MN | 55101 | 651.286.8450 | WSBENG.COM



# Bid Tabulation Summary

2026 Pavement Maintenance Project - Reclamite

Cities of Excelsior and Minnetrista, MN

Minnetrista City Project No. 03-26

WSB Project Nos. 033771-000 and 033677-000

Bids Received Online: Wednesday, May 27, 2026, at 10:00 a.m. Local Time

 DENOTES CORRECTED FIGURE

Contractor	Bid Bond (5%)	Addendum Received	Grand Total Bid
1 Corrective Asphalt Materials, LLC	X	N/A	\$89,431.00
Engineer's Opinion of Probable Cost			\$106,400.00

I hereby certify that this is a true and correct tabulation of the bids as received on May 27, 2026.



Emily Brown, PE, Project Manager

CITY OF MINNETRISTA  
HENNEPIN COUNTY, MINNESOTA

A RESOLUTION ACCEPTING BIDS AND AWARDING CONTRACT FOR THE 2026  
Pavement Maintenance Project – Crack Fill, Sealcoat & Fog Seal, Part of  
City Project No. 03-26

**WHEREAS**, a bid package for this project has been prepared by WSB and advertised according to Minnesota State Statutes, and

**WHEREAS**, this is a joint project with the City of Excelsior, and

**WHEREAS**, the City received bids from Allied Blacktop Company and Pearson Bros, Inc., and

**WHEREAS**, the low bid received is from Allied Blacktop Company in the amount of \$353,226.00, with Minnetrista’s portion being \$271,250.00.

**NOW, THEREFORE, IT BE RESOLVED**, by the City Council of the City of Minnetrista, Minnesota, as follows:

1. The City has accepted the bid from Allied Blacktop Company for all work associated with the 2026 Pavement Maintenance Project –Crack Fill and Fog Seal, Part of City Project No. 03-26, in the amount of \$353,226.00, with Minnetrista’s portion being \$271,250.00.
2. The Mayor and Clerk are hereby authorized and directed to enter into a contract with said bidder for the construction of said improvements for and on behalf of the City of Minnetrista.

This resolution was adopted by the City Council of the City of Minnetrista on the 1<sup>st</sup> day of June, 2026, by a vote of \_\_\_\_\_ Ayes and \_\_\_\_\_ Nays.

\_\_\_\_\_  
Lisa Whalen, Mayor

ATTEST:

\_\_\_\_\_  
Ann Meyerhoff, City Clerk

CITY OF MINNETRISTA  
HENNEPIN COUNTY, MINNESOTA

A RESOLUTION ACCEPTING THE BID AND AWARDING CONTRACT FOR THE  
2026 Pavement Maintenance Project – Reclamite  
Part of City Project No. 03-26

**WHEREAS**, A bid package for this project has been prepared by WSB and advertised according to Minnesota State Statutes, and

**WHEREAS**, this is a joint project with the City of Excelsior, and

**WHEREAS**, the City received one bid from Corrective Asphalt Materials, LLC, and

**WHEREAS**, the bid received from Corrective Asphalt Materials, LLC is in the amount of \$89,431.00 with Minnetrista’s portion being \$57,604.00.

**NOW, THEREFORE, IT BE RESOLVED**, by the City Council of the City of Minnetrista, Minnesota, as follows:

1. The City has accepted the bid from Corrective Asphalt Materials, LLC for all work associated with the 2026 Pavement Maintenance Project – Reclamite, Part of City Project No. 03-26, in the amount of \$89,431.00 with Minnetrista’s portion being \$57,604.00.
2. The Mayor and Clerk are hereby authorized and directed to enter into a contract with said bidder for the construction of said improvements for and on behalf of the City of Minnetrista.

This resolution was adopted by the City Council of the City of Minnetrista on the 1<sup>st</sup> day of June, 2026, by a vote of \_\_\_\_\_ Ayes and \_\_\_\_\_ Nays.

\_\_\_\_\_  
Lisa Whalen, Mayor

ATTEST:

\_\_\_\_\_  
Ann Meyerhoff, City Clerk