



AGENDA

Planning Commission Regular Meeting

Wednesday, February 12, 2025

Town Hall / Council Chambers - 302 Pine St Minturn, CO

The agenda is subject to change, including the addition of items 24 hours in advance or the deletion of items at any time. The order of agenda items listed are approximate.

This agenda and meetings can be viewed at www.minturn.org.

MEETING ACCESS INFORMATION AND PUBLIC PARTICIPATION:

This will be an in-person meeting with access for the public to attend in person or via the Zoom link included. Zoom Link: <https://us02web.zoom.us/j/89284306088>

Zoom Call-In Information: 1 651 372 8299 or 1 301 715 8592 **Webinar ID:** 892 8430 6088

Please note: All virtual participants are muted. In order to be called upon an unmuted, you will need to use the “raise hand” feature in the Zoom platform. When it’s your turn to speak, the moderator will unmute your line and you will have five (5) minutes for public comment.

Public Comments: If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner 1, prior to the meeting and will be included as part of the record.

1. **CALL TO ORDER - 5:30 PM**
2. **ROLL CALL AND PLEDGE OF ALLEGIANCE**
3. **APPROVAL OF REGULAR AGENDA**

Opportunity for amendment or deletions to the agenda.

4. **APPROVAL OF MINUTES**
 - A. January 22, 2025
5. **DECLARATION OF CONFLICTS OF INTEREST**
6. **PUBLIC COMMENT**

Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made

for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.

7. SPECIAL PRESENTATIONS

Presentations are limited to 5 minutes unless prior arrangements are made with the Town Planner.

8. DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

A. 532 Main Street - New Single Family Residence

B. 0019 Belden Way - New Single Family Residence with Accessory Dwelling Unit

C. Ordinance TBD - Series 2025 An Ordinance Amending Chapter 13, 16, and 17 of the MMC to Incorporate into the Code Restrictions on Connection to the Town's Water System Based on Limitations of Available Legal and Physical Water Supply - Request for Continuance

9. DISCUSSION / DIRECTION ITEMS

A. Minturn Forward: Land Use Code Update

10. STAFF REPORTS

A. Manager's Report

B. Planning Director Report

11. PLANNING COMMISSION COMMENTS

12. FUTURE MEETINGS

A. February 26, 2025

B. March 12, 2025

13. ADJOURN



OFFICIAL MINUTES
Planning Commission Regular Meeting
Wednesday, January 22, 2025
Town Hall / Council Chambers - 302 Pine St Minturn, CO

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This agenda and meetings can be viewed at www.minturn.org.

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Zoom Call-In Information: 1 651 372 8299 or 1 301 715 8592 **Webinar ID:** 831 6842 3246

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Public Comments: If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner 1, prior to the meeting and will be included as part of the record.

1. CALL TO ORDER - 5:30 PM

Lynn Teach called the meeting to order at 5:30 p.m.

2. ROLL CALL AND PLEDGE OF ALLEGIANCE

Those present at roll call: Planning Commission Chair Lynn Teach and Planning Commission Members Jeff Armistead, Amanda Mire, and Eric Rippeth.
Staff members present: Planning Director Scot Hunn and Planner I Madison Harris.
Note: Michael Boyd and Darell Wegert are excused absent.

3. APPROVAL OF REGULAR AGENDA

Opportunity for amendment or deletions to the agenda.
Motion by Amanda M., second by Eric R., to approve the agenda as presented. Motion passed 4-0.
Note: Michael B. and Darell W. are excused absent.

4. APPROVAL OF MINUTES

- A.** January 8, 2025
Motion by Eric R., second by Jeff A., to approve the minutes of January 8, 2025 as presented.
Motion passed 4-0.

Note: Michael B. and Darell W. are excused absent.

5. DECLARATION OF CONFLICTS OF INTEREST

No conflicts of interest.

6. PUBLIC COMMENT

Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.

Hawkeye Flaherty, 162 Main Street

Apologized to the Commission and staff for his behavior at the last meeting. Recognizes that this is a tough job and appreciates the efforts and time put in.

7. SPECIAL PRESENTATIONS

Presentations are limited to 5 minutes unless prior arrangements are made with the Town Planner.

8. DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

A. 0226 Miles End Lane - Changes to Approved Plans for Single Family Residence
Madison H. introduced the agenda item. This is changes to approved plans for 226 Miles End Lane changing the following:

1. The grading at the rear of the home has been revised to provide a usable yard space.
2. The storage area on the garage was expanded, adding additional building coverage.
3. The entry foyer was expanded adding additional living space.
4. The front porch area was redesigned to include a covered porch area in addition to the covered entry, adding additional building coverage.
5. Exterior finish materials have been revised. This includes a mix of horizontal and vertical siding, additional stone veneer and a metal deck railing.

Public comment opened.

No public comment.

Public comment closed.

Motion by Amanda M., second by Eric R., to approve 0226 Miles End Lane - Changes to Approved Plans for Single Family Residence. Motion passed 4-0.

Note: Michael B. and Darell W. are excused absent.

9. DISCUSSION / DIRECTION ITEMS

A. Minturn Forward: Land Use Code Update

Scot H. introduced the topic. Matt Farrar, Western Slope Consultant went through his memo.

Jeff A. asked if the minor subdivision restriction applies to lots that were subdivided in the 70s and 80s.

- Mr. Farrar believes that it would.

Lynn T. asked clarification on the process of subdivision applications for party walls.

Eric R. believes we are closer to the Town of Telluride in regards to the example given.

Lynn T. does not believe that allowing things to be approved through the Minor PUD Amendment process at the staff level is transparent enough for the public. Would not support any reduction than approved open space or reducing approved parking.

Amanda M. is ok with staff exploring this option and providing concrete examples for the Planning Commission to evaluate and make sure there are no loopholes to go against the Community Plan.

Jeff A. suggested that even if it's labeled a Minor Amendment that there still be public notice requirements that can direct the public to come to a meeting should they have concerns. Ok with the road moving over a little.

10. STAFF REPORTS

A. Manager's Report

Bellm Bridge Planning Grant

The Special Highway Committee has awarded Minturn \$297,823 for the design costs to begin the replacement of Bellm Bridge (award letter included). This is very exciting news! Minturn will now get underway on finalizing the review of a potential bridge replacement, including the review of the Dolores Bridge. Inter-Mountain Engineering has started evaluating the use of the Dolores bridge as a replacement option and although the length of the bridge is longer than the current span (map included), there may be options for a new bridge location if all parties are interested in evaluating such an option. Special thanks to Sustainable Strategies, SEH and Jeff Spanel for their work in submitting the grant application.

Taylor Street Paving Open House

The Open House for the Taylor Street repair and repaving project occurred on the evening of January 9th at Minturn town hall. Taylor Street residents attended and provided feedback on ways to improve drainage, slow traffic through the addition of dips in the road and other considerations. Jeff Spanel will now be compiling the feedback received and will provide an analysis to the Town Council prior to creating an RFP for construction services.

Eagle County Sheriff's Office

I met with Sheriff Van Beek, Undersheriff Loya and Seargent Mosness on Thursday, Jan 9th to review Minturn's current services. As always, the ECSO is a pleasure to have as a partner and willing to look for ways to ensure Minturn is receiving a value for services. With Deputy Peterson's resignation, there will be a rotation in ECSO Deputies servicing the Town moving forward. The goal remains community policing and education wherever possible. The Sheriff extended an offer to attend an upcoming Town Council meeting to provide additional updates.

Municipal Traffic Code (2024 Update)

Minturn staff will be working with Mike Sawyer and the ECSO toward adopting the 2024 Municipal Traffic Code (MTC). As a reminder, the hands-free legislation has gone into effect as of January 1, 2025, and it is therefore now against the law to have your phone in your hands while driving.

Department of Local Affairs (EIAF Grant Award)

DOLA has awarded Minturn funds toward the repair/replacement of the retaining wall at Little Beach Park. This work will also include a new access road from the small basketball court to the stage. As part of this project Minturn requested to utilize the Town's match dollars to purchase a new playground. DOLA has denied this request. Minturn is now looking at utilizing cash funds within the Little Beach Park escrow account to include a new playground as part of the summer 2025 construction work.

B. Planning Director Report

Minturn Forward Code Update Project:

Staff and Western Slope Consulting have generally completed Articles 5 – Land Use Application Requirements and Procedures and are working to finalize Article 8 – Subdivision

Application Requirements and Procedures. Article 8 still needs review and feedback from the Town Attorney and staff continues to address several outstanding components of this article.

Western Slope Consulting is also working on a draft of Article 11 – Annexation and Disconnection which will be presented to the Planning Commission in February. Staff and Western Slope Consulting will be discussing outstanding issues/questions related to Minor PUD Amendments (from Article 5) at the Planning Commission’s regular meeting of January 22nd.

Active Land Use Applications:

- **Midtown Village Planned Unit Development Preliminary Plan Review**
At their regular meeting of January 15, 2025, the Town Council approved Resolution No. 4, Series 2025, a resolution approving the Preliminary Plan and Plat for Midtown Village PUD. During their review, the Council acknowledged the Planning Commission’s work in reviewing the application and forwarding recommendations with conditions.
- **Eagle County School District – Maloit Park Preliminary Subdivision Plat Review**
Staff continues to review the Eagle County School District Maloit Park Preliminary Plat for Subdivision application. The Applicant has been provided referral agency comments and is in the process of meeting with Town staff, Town consultants, and referral agencies to address, resolve and/or respond to referral comments. Staff are unable to estimate when referral comments will be fully addressed and, therefore, cannot predict how soon this application will be scheduled for its first public hearing.

Other Planning Department Activities:

- **Highlands Parcels Public Engagement Process**
Staff has created a webpage and survey as a way to engage the public and solicit feedback related to the Town-owned “Highlands Parcels 1 & 2” in the Bolts Lake Area. A public open house is scheduled for Wednesday, January 29, 2025 at Town Hall from 4:30pm to 7:30pm. The goal of the public engagement is to solicit input from the public on preferred land uses and potential options for generating funds for the Town’s use in offsetting water rates and/or the cost of design and construction of a new water treatment plant. As of January 17th, 93 people have taken the survey – a great response!
- **Eagle County Regional Housing Action Plan Partnership**
The planning director has been participating alongside representatives from Eagle County, Avon, Eagle, Gypsum, Red Cliff, and Vail in a regional housing action plan task force spearheaded by Eagle County and the Town of Avon. The purpose of this effort is to create a regional housing action plan – looking at alignment between land use policies and community housing goals within and across jurisdictions, as well as identifying potential funding sources to implement priorities and projects - and is based on a housing needs assessment being finalized by Economic Planning Systems (EPS). The assessment is based on community survey work and an extensive process by EPS to work with each partner jurisdiction to compile data on existing land use and development, existing housing policies and housing units/supply in each jurisdiction, as well as demographics and market trends. The partnership presented the initial results of the assessment to each of the partner jurisdictions in October and November.

Since then, EPS has worked to finalize a report which should be published in February or March 2025. EPS will now work with each partner jurisdiction to develop individualized action plans (based on the findings from the report) laying out strategies for defining opportunities that fit each jurisdiction, and generally aimed at improving or protecting local’s housing stock. In February and March, the partnership – lead by EPS

– will again visit each jurisdiction to present the final report along with individualized recommendations (action plans) for consideration.

- **Eagle County Wildland Urban Interface (WUI) Code Working Group**
The planning director and the code enforcement officer have been participating in a regional effort spearheaded by the Eagle County Wildfire Collaborative group to understand and discuss alternatives, pros, and cons related to the potential adoption of Wildland Urban Interface (WUI) code requirements in member jurisdictions (towns, special districts, and the fire districts). This group has been meeting since the start of 2024 and work completed to date includes sharing and analysis of each jurisdictions’ existing land use, zoning, and building code regulations and policies to better understand where, if at all, there are commonalities across or among jurisdictions by way of fire or wildfire related terms, regulations, or design requirements for things like home construction, landscape design and materials, and access to private property.
- **Exterior Lighting Regulations – Holiday Lighting**
At their regular meeting of January 15, 2025, the Town Council approved on first reading Ordinance No. 2, Series 2025, an ordinance approving amendments to Chapter 16, Article 17 – Exterior Lighting, to provide new definitions for “Holiday Lighting,” “Festoon Lighting,” and to provide time limits for outdoor displays of holiday lighting (sunrise to 10:00pm).

11. PLANNING COMMISSION COMMENTS

No Planning Commission comments.

12. FUTURE MEETINGS

- A. February 12, 2025
 - a. Eric R. will not be here
- B. February 26, 2025
 - a. Amanda M. will not be here
 - b. Eric R. will be attending via zoom

13. ADJOURN

Motion by Amanda M., second by Jeff A., to adjourn the regular meeting of January 22, 2025 at 7:05 p.m. Motion passed 4-0.

Note: Michael B. and Darell W. are excused absent.

Lynn Teach, Commission Chair

ATTEST:

Scot Hunn, Planning Director

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Michael Boyd
Amanda Mire
Eric Rippeth
Darell Wegert

Design Review Board Hearing

Final Plan Review for New Home

532 Main Street

| | |
|-------------------------------|--|
| Hearing Date: | February 12, 2025 |
| File Name and Process: | Single-Family Residence Final Plan Review |
| Owner/Applicant: | Ken & Patty Halliday |
| Representative: | Tobin Smith, Tobin Smith Architect |
| Legal Description: | Section: 26 Township: 5 Range: 81 PCLIN SE1/4SW1/4 Subdivision: BOOCO 2ND Block: 3 Lot: 3 |
| Address: | 532 Main Street |
| Zoning: | Old Town Character Area – Residential Zone District |
| Staff Member: | Madison Harris, Planner I |
| Recommendation: | Approval, with conditions |

Staff Report

I. Summary of Request:

The Applicants, Ken and Patty Halliday, request Final Plan review of a new, four-bedroom, 6,597 (gross) square foot single-family residence located at 532 Main Street in the Old Town Residential Zone District. The Applicant’s representative, Tobin Smith, has been proactive in meeting with Town staff prior to submitting plans for a new home and have provided a relatively complete and thorough set of site, landscaping, and architectural plans.

Proposed Plans

The plans show a two- to three-story, four-bedroom structure with a maximum building height - measured to the midpoint of the roof – of 27 feet 9 inches, under the maximum allowable 28-foot limit within the Old Town Residential Zone District.

Additionally, the massing, forms, and scale of the proposed structure, as well as proposed exterior materials, textures and detailing also appear to achieve the design objectives of Appendix B – *Design Guidelines and Standards*, Minturn Municipal Code.

The plans show the ground level with the garage, primary living area, and master bedroom, the upper level has a game room which could double as a bedroom, and the lower level has the three remaining bedrooms and a craft studio. Parking is adequate, even with the potential extra bedroom, with four off-street spaces, two of which are provided within the garage and two in front of the garage.

According to staff’s analysis of development standards and dimensional limitations in Section III below the project appears to meet the Town’s standards.

Overall, staff believes that the Applicants and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review.

As a reminder, the Planning Commission has the option to review the proposal as a “conceptual” plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or the Commission may take action to approve, approve with conditions, or deny the Final Plans.

Staff is **recommending approval**, with conditions.

II. Summary of Process and Code Requirements:

These plans are being presented by the Applicant as “Final Plan” level of review for a new single-family residential structure on a legally created lot within the Town of Minturn. This is a formal hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB’s concerns or feedback regarding suggested revisions to the project.

If the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve the plans without conditions, or to approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions, additions or updates to the plans.

No variances are required or requested at this time.

Design Review Process

Appendix ‘B’ of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection “d” below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

- (d) *Administrative procedure.*

- (1) Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.
- (2) *Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:*
 - a. *The proposal's adherence to the Town's zoning regulations.*
 - b. *The proposal's adherence to the applicable goals and objectives of the Community Plan.*
 - c. *The proposal's adherence to the Design Standards.*
- (3) *Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:*
 - a. *That the proposal is in conformance with the Town zoning regulations.*
 - b. *That the proposal helps achieve the goals and objectives of the Community Plan.*
 - c. *That the proposal complies with the Design Standards.*

Staff suggests that the final plans for 532 Main Street meet or can be revised to meet the required findings ‘a,’ ‘b,’ and ‘c’ or subparagraph 3 – *Necessary findings* – with proposed conditions of approval.

III. Zoning Analysis:

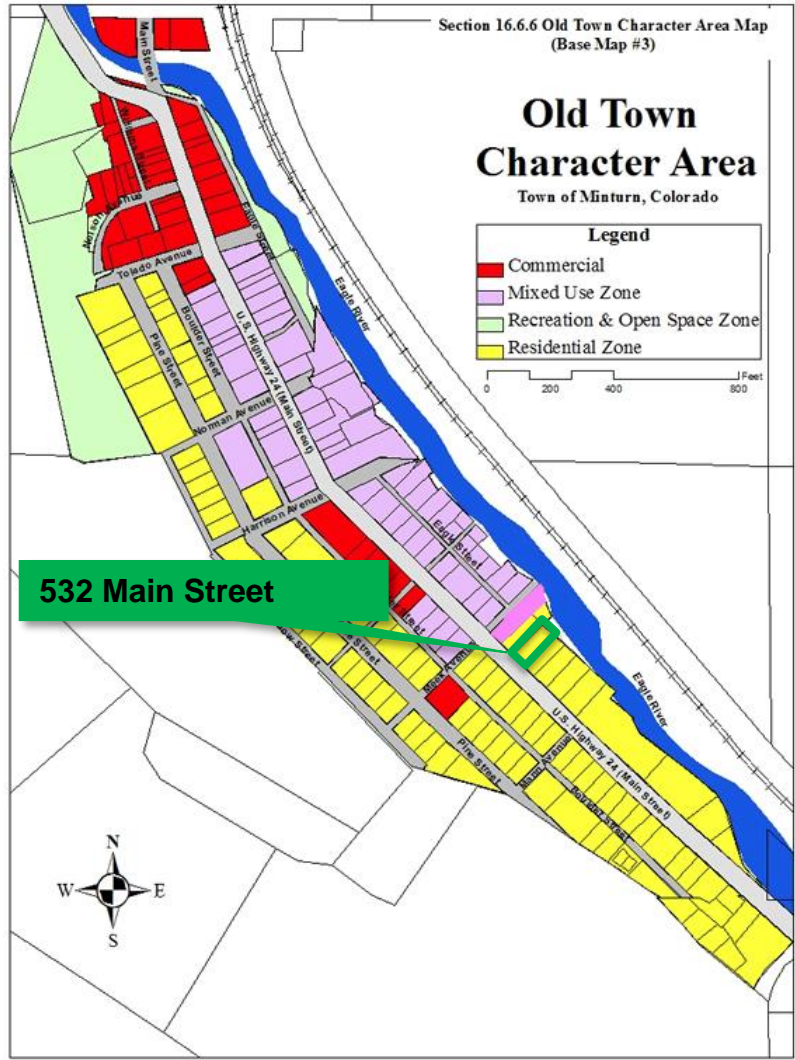
Zoning

The subject property is located within the “Old Town Character Area” Residential Zone District, described as follows:

- (a) *The neighborhood is bisected by Highway 24 and is **characterized by single-family residences** with a mix of business and institutional uses. **The residences are typically one (1) and two (2) stories**, with outbuildings and minimal setback between structures.*
- (b) ***The purpose of this zone is to provide for continued residential use** and redevelopment that preserves the unique character and scale of the neighborhood. **An objective is to retain the historically residential areas as quiet and safe neighborhoods** while allowing for limited home-based occupations and home-based businesses to encourage permanent residency. This area can accommodate reasonable growth where land and services are available.*

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Figure 1: Old Town Character Area Zoning Map



Dimensional Limitations and Development Standards

The following table summarizes the lot, development and dimensional standards and limitations applicable to the subject property pursuant to Sections 16-2-40. - *General lot requirements and dimensional standards* and 16-16-20 – *Parking Required for Residential and Lodging Uses*.

| Regulation | Allowed/Required | Proposed/Existing |
|--------------------------|------------------|----------------------------|
| Minimum Lot Area: | 5,000 sq. ft. | 8,640.8 sq. ft. (.198 ac.) |
| Maximum Building Height: | 28 feet | 27 feet – 9 inches |
| Minimum Front Setback: | 10 feet | 10+ feet |
| Minimum Side Setback: | 5 feet | 5 feet |

| | | |
|------------------------------|--|--|
| Minimum Rear Setback: | 10 feet (to property line) 30 feet (to high water mark) | 10+ feet (to property line) 30+ feet (to high water mark) |
| | | |
| Maximum Lot Coverage: | 45% (3,888.36 sq. ft.) | 3,260 sq. ft. (37.73%) Proposed |
| Maximum Impervious Coverage: | 55% (4,752.44 sq. ft.) | 4,743 sq. ft. (54.89%) Proposed |
| Minimum Snow Storage Area: | 5% of Lot Area (8,640.8 sq. ft. x .05 = 432.04 sq. ft.) | 507 sq. ft. |
| | | |
| Parking: | 3 spaces | 4 spaces |
| | | |

IV. Applicable Standards and Design Guideline Criteria:

Design

In addition to the development standards listed above, the following general design principles are provided for reference.

Final Site, Grading and Drainage Design

The Minturn Design Guidelines encourage designs that integrate or account for site topography and existing conditions, surrounding conditions, solar orientation, placement on lots relative to streets and natural features, snow storage and snow shed from roof structures.

Mass and Form

The following excerpt from the Design Guidelines is applicable to the proposed home design:

“c. Massing and Scale

“A simple central form with additive features shall be designed. This style creates visual interest and is appropriate for the community due to its compatibility with existing structures. Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

“Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.”
-Town of Minturn Design Guidelines

Staff Response:

Staff believes that the design and scale of the proposed structure incorporates a simple central form with additive features and is complementary to adjacent residential structures and character on nearby parcels. Staff further suggests that the scale of the project is appropriate and will not overpower surrounding natural and built environments. Proposed roof forms and pitches, materials and textures are compatible and complementary to the surrounding built and natural environments.

V. Items of Note:

Items of Note

The following have been identified by staff that have been addressed or are in the process of being addressed that the Planning Commission should be aware about:

Encroachments into Easements

The back deck is cantilevered over and into an existing sewer easement. The applicant has indicated that they have initiated the encroachment agreement process with Eagle River Water and Sanitation District.

VI. Staff Recommendation:

Staff suggests that the Final Plans for 532 Main Street, as conditioned below, generally **comply** with or exceed the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix 'B') of the Minturn Town Code.

Staff is **recommending approval** of the plans, with the following recommended condition(s):

1. Prior to or concurrent with building permit application submission, the Applicant shall provide documentation for any required encroachment agreement(s) with the Eagle River Water and Sanitation District for any improvements within the platted sewer easement.

January 19, 2025

Madison Harris
Town of Minturn Planner
PO Box 309
Minturn, CO 81645

Re: 532 Main
Lot 3, Block 3, Booco's 2nd Addition to Minturn
DRB resubmittal Review
Project No. 24-0001

Dear Madison:

We reviewed the plans entitled "Eagle River Residence; 532 Main Street, Minturn Colorado" prepared December 16, 2024, by Tobin Smith Architect (Plans). Sheet A101 "Site Plans" dated January 16, 2025, was submitted to supplement the DRB application for 532 Main. Our review compares the Plans with the engineering requirements of Section 16-21-615: Design Review applications of the Minturn Municipal Code (MMC).

MMC Section 16-21-615 Section C:

Section (C) (2) Boundary Survey:

Paragraphs a through l:

"Improvement Survey Plat with Topography; Lot 3, Block 3 Booco's 2nd Addition to Minturn & a Parcel of Land Situated in Section 26, Township 5 South, Range 81 West, 6th PM; Town of Minturn, County of Eagle, State of Colorado, prepared October 3, 2024 by Kipp Land Surveying has been included as the Boundary and Topographical survey.

We offer the following comments:

- a. Survey Note 7 references Land Title Guarantee Company Order No. V50071530-3 dated September 19, 2024. We recommend a copy of the Commitment be provided and made a part of the Town's file.
- b. On October 17, 2024, we reviewed an Amended Final Plat combining the two parcels shown on the survey. We understand from Randy Kipp PLS "Final Plat of Booco's 2nd Addition to the Town of Minturn, Lot 3, Block 3" was never recorded.

Please note these are not required elements and the plat meets MMC requirements for the Boundary Survey.

Section (C) (3) Site Plan:

Sheet A101 "Site Plans" revised January 16, 2025, was submitted to supplement the application. ~~does not meet the requirements of Subsection (C)(3) Site Plan:~~

VAIL VALLEY OFFICE

30 Benchmark Road, Suite 216 | PO Box 978 | Avon, CO 81620

DENVER OFFICE

9618 Brook Hill Lane | Lone Tree, CO 80124

970.949.5072 | info@inter-mtn.net

Madison Harris

Re: 532 Main
Lot 3, Block 3, Booco's 2nd Addition to Minturn
DRB resubmittal Review

Project No. 24-0001

- a. ~~The Site Plan should show dimensioned property lines, easements, setbacks, dimensioned building location, etc.~~ Dimensions locating the residence on the lot have been added. The revised plan meets the requirements of MMC Subsection (C)(3) Site Plan.

Section (C) (4) Grading & Drainage Plan:

Sheets C1.0, C2.0, C4.0, and C4.1 "532 Main Street, Minturn CO" prepared by Alpine Engineering Inc. November 19, 2024 presents the Grading and Drainage Plans for the project.

- a. The Plans meet MMC Grading and Drainage Plan requirements.
- b. The details include water service line information. Please note Minturn requires copper water service line.

Review by Inter-Mountain Engineering is for general conformance with Minturn Municipal Code requirements and is not a peer review. Review by Inter-Mountain Engineering in no way relieves any responsibilities of design professionals associated with the project.

Please feel free to contact us if you have additional questions.

Respectfully,
Inter-Mountain Engineering (Town Engineer)



Jeffery M. Spanel PE

CC: Scot Hunn, Arnold Martinez, Tobin Smith



DESIGN REVIEW APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT
 P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
 Phone: 970-827-5645 Fax: 970-827-5545 Email: planner@minturn.org

Project Name:

Eagle River Residence

Project Location

Street Address: 532 Main St. Minturn, CO 81645

| | |
|--|---|
| Zoning: single-family residence | Parcel Number(s): 201908667 & 201802728 |
|--|---|

Application Request:

Approval of the architectural design for this proposed single-family residence

Applicant:

Name: Tobin Smith (Tobin Smith Architect)

Mailing Address: 2201 San Pedro Ave. San Antonio, TX 78212

| | |
|---------------------|--------------------------------------|
| Phone: 210-817-4744 | Email: tobin@tobinsmitharchitect.com |
|---------------------|--------------------------------------|

Property Owner:

Name: **Patty and Ken Halliday**

Mailing Address: 5150 Broadway #615 San Antonio, TX 78209

| | |
|---------------------|------------------------------|
| Phone: 210-867-1514 | Email: khalliday62@gmail.com |
|---------------------|------------------------------|

Required Information:

| | | | |
|-------------------------|--|--|--|
| Lot Size: 8,640.8 sq ft | Type of Residence (Single Family, ADU, Duplex) Single Family | # of Bedrooms 5 | # On-site Parking Spaces 5 |
| # of Stories: 3 | Snow storage sq ft: 473 sq ft | Building Footprint sq ft: 3,260 sq ft | Total sq ft Impervious Surface: 4,743 sq ft |

Signature:

Tobin Smith

Fee Paid: _____ **Date Received:** _____ **Planner:** _____

DESIGN REVIEW APPLICATION

**SUBMITTAL CHECKLIST REQUIREMENTS
(TO BE INCLUDED WITH APPLICATION)**

Applicant **Staff**

 Application Fee (Non-Refundable application fee shall be collected)

- Design Review Board - \$200.00

 Letter of Intent
-- What is the purpose of the project including;

- Relevant Background
- Current Status of the Site
- All Proposed Uses and Structures
- How the Proposal Differs from what already exists
- Information regarding Easements or Dedicated Tracts, etc.

 Vicinity Map
-- Directional Map indicating how to get to the Property involved in the request.

- Zoning of Property

 Improvement Location Certificate of Survey (ILC or ILS)

 Site Plan showing Precise Nature of the Proposed Use – To Scale

- Scaled Drawings of Proposed Design of Structure
 - Plan View and Sections
- Building Heights – all 4 directions N/S/E/W
- topography
- Building Location
- Setbacks
- River or Creek Setbacks
- Parking Plan
- Traffic Circulation
 - Location and Width of Existing and Proposed Access Points
 - Location of Existing Driveways and Intersections
- Landscaped Area – Plan
- Approximate Location of Existing Wooded Areas and Rock Outcrops
- Location and Type of Existing and Proposed Easements
- Utility Easements
- Drainage Features

 Preliminary Building Plans and Elevations

- Indicates Dimensions
- General Appearance
- Scale
- Interior Plan for the Buildings



Elements needed on the Site Plan

- Scale
- North Arrow
- Date Prepared
- Lot Dimensions, Area, Entire Site Acreage



Architecture Details – Materials Board

- Windows – Placement and Color
- Doors – Placement and Color
- Siding – Type and Color
- Roof Material – Type and Color
- Paint Color

PLANNING COMMISSION DESIGN REVIEW PROCESS

Applicants requesting a Design Review Board, Planning and Zoning Commission, and/or Town Council Review must submit to a pre-submittal conference and complete a formal application. The pre-submittal review process is completed within a period of 14 working days depending on the day of pre-submittal. The pre-submittal review provides valuable information regarding Town requirements for the formal application.

The Town Planner shall have the following powers and duties:

- **Zoning Compliance** – To review, consider, and approve, approve with conditions, or deny applications for building permits, limited use permits, conditional use permits, and temporary use permits based on compliance with this Section.
- **Process Applications** – To receive applications for development permits for processing pursuant to the terms of Section 16 of the Minturn Municipal Code.

Planning Commission as Design Review Board

Powers and Duties

The Planning Commission is hereby established as the Town of Minturn Design Review Board. The Design Review Board shall have the following powers and duties under the provisions of this Code.

1. To prepare, or cause to be prepared or amended, the Design Review Standards and Guidelines or any element or portion thereof, for adoption by the Town Council.
2. To hear, review, consider and approve, approve with conditions, or disapprove applications for Design Review Approval.
3. To hear and decide upon appeals on design review decisions made by the Zoning Administrator.

Board Procedure

The Town staff will forward applications (other than minor design applications), and recommendations, to the DRB.

The DRB shall review the application and supporting material submitted by the applicant, as well as the staff recommendation. After review, the DRB, through a formal motion, seconded and passed by a majority of the members present, shall take one of the following courses of action:

1. **Table the application.** The application may be tabled for a period not to exceed thirty (30) days if the application is incomplete or if the DRB determines that changes are required to bring the application into compliance with design standards and guidelines or other regulations of the Town. The Board may specify additional requirements for the applicant is to bring to the future meeting. These requirements may include additional information necessary to determine whether the application complies with all zoning, building, design codes adopted by the Town, and may include plans, reports, surveys or other documents completed by registered architects, surveyors, engineers or other professionals in order to indicate conformance with such codes. The DRB may also table the application if it determines that changes in the application are required which would bring the proposed project into compliance with zoning, building, design codes, and other regulations of the Town.
2. **Conceptual/Preliminary approval.** The DRB may grant conceptual approval to applicants who in a general fashion appear to meet design and other regulations of the Town but submit applications inadequate to warrant final approval. Conceptual approvals are also appropriate where a complete application has not been submitted, or where an applicant wishes to obtain a preliminary review of a sketch plan. A conceptual approval does not deem final approval of an application, nor does it deem that an application conforms to design or other regulations, nor shall it bind the DRB to grant final approval to a completed or final application.
3. **Disapproval of application.** If an application is found to conflict with the purposes and/or any one (1) or more of the design guidelines, codes or any other regulations of the Town, the DRB shall disapprove the application. Any disapproval shall be in writing and shall specifically describe the reasons upon which the disapproval is based.

4. **Approval of application.** If the application is complete and is found to comply with the design standards codes and other regulations of the Town, the DRB shall approve the project. The DRB shall keep a record of all such approvals, and the applicant should keep a copy of the approval. The DRB may approve an application with conditions or modifications. The DRB shall not approve an application that does not meet the requirements of the Town or any other provision required to ensure compliance with the design standards and guidelines, codes and other regulations of the Town.

If a motion for approval, for conceptual approval, or to table an application results in a tie vote, the motion will fail.

DESIGN REVIEW CRITERIA

1. SITE DESIGN

Site planning involves the design and location of buildings and other improvements on a property. General principles include the maximization of site attributes such as views and solar orientation while minimizing adverse impacts to adjacent properties and natural features. Design of the building(s) shall consider the following criteria:

a. Natural Features

(1) Topography

A building site that is flat or gently sloping at less than 10% shall comply with applicable minimum standards for setbacks as defined in Chapter 16.

A building site that slopes at greater than 10% is urged to consider “stepping” the structure rather than grading the site to allow for traditional building layout. The intent is to avoid large cuts and/or fills as well as retaining walls, and to avoid the need for additional erosion control measures.

Setbacks may be increased for lots that slope greater than 30%.

(2) Water Bodies

Setbacks from water bodies shall include consideration of the Eagle River, tributary creeks, ponds, and wetlands. In addition to the regulatory setbacks, the Town of Minturn encourages conformance with the Eagle River Watershed Plan and sensitive design to protect the riparian areas and to utilize the water bodies for passive recreational purposes. The Town discourages “turning your back” on the Eagle River, one of Minturn’s greatest assets.

Site grading and drainage plans shall be submitted with design review applications that are adjacent to or within fifty (50) feet of a water body.

b. Orientation

The orientation of improvements shall consider adjacent properties as well as snow storage, snow shedding, and solar orientation. Another important component of orientation is drainage impact to adjacent properties, water bodies and streets.

Snow Storage, Snow Shedding and Solar Orientation

The atmospheric and weather-related elements common of the Town of Minturn justify the added dimension of siting improvements to minimize the impact of the environment.

Adequate snow storage area(s) or provisions for removal shall be provided. The total area may be broken up or provided as a whole. Location within the required setbacks shall be permitted provided it does not impede adequate and safe access to the structure(s). Landscape areas may also be used for snow storage purposes.

Snow shedding shall be considered in the use of material and pitch of the roof, as well as the location of windows, door and walkways. In no case shall snow shedding be permitted to occur onto an adjacent property.

Solar orientation shall be considered in the siting of the structures as well as in the landscaping of the lot or parcel. Orientation of the structure, as well as placement of trees, can be utilized to block prevailing winds in the winter and to provide shade in the summer. The structure should be placed on the lot in a manner that will not cast substantial

shadows over adjacent properties. Walkway and driveway location shall consider snowmelt in design location. These considerations include locating driveways, walkways, and structures, so that they are sheltered from the wind, and oriented to the east or south, where possible, to aid quicker snow and ice melt.

The front of the structure and its primary entrance shall be oriented to the street.

c. Massing and Scale

A simple central form with additive features shall be designed. This style creates visual interest and is appropriate for the community due to its compatibility with existing structures.

Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.

2. ARCHITECTURAL ELEMENTS

a. Roof Pitch and Form

Roofs are a very prominent visual element and can be used to provide strong unifying characteristics between buildings. The use of consistent roof form, materials, slope and direction can create a cohesive appearance to a neighborhood even when the architectural styles vary. Roof pitch and form are an important element of building design in the Town.

The incorporation of dormers into the roof form can be utilized to provide individual identity and to create and delineate upper living areas or lofts. Dormer roofs shall be similar in slope and material with the primary roof form. See Illustration.

Roofs shall be designed with consideration to snow accumulation and shedding. Entryways, garages and pedestrian areas shall be protected from potential snow shedding.

Chimneys may also be utilized as a unifying element. The size, location, and shape of chimney can be mimicked to provide a common feature in adjacent structures that have different architectural styles.

b. Facade

Vast expanses of a blank facade are not considered appropriate in Minturn due the mass and scale of the existing buildings in the Town. Therefore, facades must be interrupted every 15' at minimum. This interruption can occur through the use of projections and recessions for doors and windows, balconies or porches or any other element that creates visual interest. The use of architectural elements such as horizontal and vertical architectural details and floor articulation (delineation of 'floors' in a building) can be utilized to create a vertical human scale to the structure.

Windows and doors offer the opportunity to provide individual character and refinement of scale by introducing openings and patterns on otherwise blank walls. Consideration should be given to locating doors and windows in order to establish symmetry on primary facades, while being responsive to interior functions and views. The location of windows and doors can also be utilized as a unifying element with adjacent structures.

In order to maintain a smaller scale and to avoid the use of vast expanses of large windows, window openings should be composed of multiple panes of glass that are consistent with the scale of the building. Mirrored or reflective glass is prohibited.

Shutters and window boxes are encouraged to create visual interest and to reinforce the Town ambiance.

c. Building Details

The requirement for a simple building form allows for the introduction of building details to create character and interest. These details may include elements such as accents to doors and windows, porches, gates, dormers and chimneys.

3. MATERIALS AND SCREENING

a. Materials

The use of building materials is essential to the design and appearance of a structure, therefore the use of materials is indicative of the adjacent community character. Materials shall be consistent with adjacent properties and the natural environment. The Town of Minturn does not seek to limit or prohibit the use of specific building materials.

however the use of non-reflective materials are strongly encouraged. Highly reflective roofing materials are not allowed.

The historic character of Minturn is exhibited in the use of wood siding and native stone, therefore the use of these particular materials are encouraged. Many modern equivalents can be found which mimic the natural materials, and the Design Review Board may approve such materials if their appearance is found to be compatible with adjacent material and consistent with the intent of these standards and guidelines.

b. Streetscape and Landscape Design

Small towns evoke many images, but one that appears to be consistent with many residents is the neighborliness of the area. Porches, plaza, parks and simply strolling down the street allow neighbors and visitors to meet and greet each other and to get to know one another. The Town encourages the man-made elements that promote these activities, and in some instances the Design Review Board shall require the provision of streetscape improvements to encourage and reinforce the small town atmosphere.

Porches and awnings are encouraged for all residential design as these elements create and encourage a human scale that is consistent with the small town image. Commercial structures, particularly those that are located in renovated residential units, shall maintain these elements and incorporate the use of pedestrian walkways, street furniture such as benches and trashcans where possible. Commercial developments that exceed 2500 square feet of gross leasable area shall be required to provide a plaza area that incorporates these elements.

Landscape standards are defined in Section 16.17.14, 15 and 16 and shall be reviewed with all applications for design review. Compliance with the minimum standards defined within those sections shall be required. The Design Review Board shall review the list of plant material to be utilized, particularly for determination of irrigation requirements. Exhibit B lists plant materials that are suitable for use in the Town, drought-resistant and therefore their use is encouraged. Other plant materials listed that require substantial water and therefore the Design Review Board may require the provision of an irrigation system and the provision of collateral to assure its completion.

c. Screening

Both residential and commercial areas within the Town shall be required to screen certain visually obtrusive areas, including, but not limited to, refuse storage, general storage, loading areas, mechanical equipment and parking areas.

The screening may occur with landscaping, compliant with Section 16.17.14, 15 and 16, or these uses may be screened with fencing or by containing the uses within a structure or parapet walls. Fences shall not exceed 3-feet in height for opaque fences and 4 feet in height for fences with you can see through. Higher fences may be used to screen the sides and rear of the lot but should not exceed 6 feet in height. In no case shall a fence or screening structure obstruct a driver's view of an intersection.

Additional information regarding the Design Review processes and guidelines including the Character Areas can be found in Chapter 16, Appendix B of the Minturn Town Code.



TOBIN SMITH ARCHITECT

EAGLE RIVER RESIDENCE

Letter of Intent

02 February 2025

Eagle River Residence is a proposed single-family home for Patty and Ken Halliday, current Minturn residents. This structure would replace an existing single-family structure and detached shed currently on the site. A notice of intent to demolish these structures was previously filed and notice posted; the structures were not nominated for historic status.

The design of Eagle River Residence will allow Patty and Ken to live primarily on one level giving them confidence that they can enjoy this home for years to come. A lower level, hidden from the street, contains bedrooms and bathrooms to accommodate their two grown children and spouses, as well as young grandchildren, when they visit. Viewed from the street, a game room above the garage gives the impression of a two-story pitched-roof residence in keeping with the adjacent homes. While the massing and rooflines are different from house to house, the overall scale and building forms are similar.

Located approximately thirty feet from the front property line, significantly beyond the ten-foot setback line, the home is sited to continue the pattern of development established by the adjacent houses. This larger buffer space accommodates both parking and plantings. A flagstone walkway flanked by five new Aspen trees and native grasses connects the sidewalk and driveway to the welcoming entry porch, a design element that reinforces Minturn’s architectural character and neighborliness. The architectural design accommodates four on-site parking spaces with snow storage conveniently located adjacent to the driveway and flagstone entry walkway.

The exterior palette includes vertical wood siding, dry-stacked stone, and standing seam metal roofing – materials utilized throughout town on both historic and contemporary structures. Oxidized steel accents, touches of warm wood tones, and bronze window and door cladding complete the grouping of materials. The varied tones and textures will connect Eagle River Residence with the town’s fabric and history.

Last, Patty and Ken will be pursuing an upper-level deck encroachment agreement with Eagle River Water & Sanitation District. As designed, the deck cantilevers four feet over the district’s easement approximately nine feet above natural grade. The support columns are set back from the edge of the deck and are located outside of the easement. Final approval of the proposed design shall be contingent upon approval of the proposed encroachment.



EAGLE RIVER RESIDENCE

532 MAIN STREET
MINTURN, CO 81645

Patty + Ken Halliday

DESIGN REVIEW PACKAGE
05 FEBRUARY 2025

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TOBIN SMITH ARCHITECT



TOBIN SMITH ARCHITECT

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NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION

EAGLE RIVER RESIDENCE

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970 390 9540 T

05 FEB 2025 PROJ. NO. 2401
PROJ. ARCHITECT TS DRAWN BY

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DESIGN REVIEW PACKAGE

BOILER PLATE

A000

DRAWING INDEX

A000 ABBREVIATIONS / SYMBOLS / INDEX
A001 MAPS / DATA / SQ FTG
A002 SITE PHOTOS - WINTER
A003 SITE PHOTOS - SUMMER
A004 COLORADO COLORS
A005 EXTERIOR MATERIALS
3D-01 3-D VIEWS [AERIAL]
3D-02 3-D VIEWS [EYE LEVEL]
3D-03 3-D VIEWS [EYE LEVEL]
3D-04 3-D VIEWS [AERIAL W/ 28' PLANE]

EX100 SURVEY - EXISTING
EX101 SURVEY - EXISTING

CIVIL

C1.0 GRADING + DRAINAGE PLAN
C2.0 STORM SEWER PLAN
C4.0 DETAILS
C4.1 DETAILS

ARCHITECTURAL

A100 SITE CONTEXT
A101 SITE PLANS
A102 ARCHITECTURAL FOUNDATION PLANS
A200 FLOOR PLAN - GROUND LEVEL
A201 FLOOR PLAN - UPPER LEVEL
A202 FLOOR PLAN - LOWER LEVEL
A240 ROOF PLAN
A260 EXTERIOR DOOR + WINDOW SCHEDULE
A400 EXTERIOR ELEVATIONS
A401 EXTERIOR ELEVATIONS
A500 BUILDING SECTIONS
A501 BUILDING SECTIONS

ABBREVIATIONS (CONT.)

| | |
|---------|-----------------------------|
| NOM | NOMINAL |
| N | NORTH |
| NIC | NOT IN CONTRACT |
| NTS | NOT TO SCALE |
| OC | ON CENTER (S) |
| O.H. | OPPOSITE HAND |
| OPG | OPENING |
| OPP | OPPOSITE |
| OD | OUTSIDE DIAMETER |
| PTD | PAINTED |
| PANEL | ELECTRICAL PANELBOARD |
| PERF | PERFORATED |
| PLAS | PLASTER |
| P LAM | PLASTIC LAMINATE |
| PNL | PANEL |
| PL | PLATE |
| PLYWD | PLYWOOD |
| PVC | POLYVINYL CHLORIDE |
| POLYISO | POLYISOCYANURATE BOARD |
| PSI | POUNDS PER SQUARE INCH |
| PROP | PROPERTY LINE |
| R. | RADIUS |
| REF | REFER (ENCE) |
| REFL | REFLECTED |
| REFG | REFRIGERATOR |
| RAG | RETURN AIR GRILLE |
| REQ'D | REQUIRED |
| RH | RIGHT HAND |
| RD | ROOF DRAIN |
| RO | ROUGH OPENING |
| SCHED. | SCHEDULE |
| SEC | SECTION |
| SHT | SHEET |
| SHLV | SHELVING |
| SIM | SIMILAR |
| SC | SOLID CORE |
| S | SOUTH |
| SP | SPACES |
| SPEC | SPECIFICATION, SPECIFIED |
| SQ | SQUARE |
| STND | STAINED |
| SS | STAINLESS STEEL |
| STD | STANDARD |
| STL | STEEL |
| STOR | STORAGE |
| STR | STAIR - STRINGER |
| SD | STORM DRAIN |
| STRUCT | STRUCTURAL |
| TAS | TEXAS ACCESSIBLTY STANDARDS |
| TEL | TELEPHONE |
| TV | TELEVISION |
| THK | THICK (NESS) |
| T&G | TONGUE AND GROOVE |
| T.O.P. | TOP OF PLATE |
| T.O.S. | TOP OF STEEL |
| T.O.W. | TOP OF WALL |
| T | TREAD, TEMPERED |
| TYP | TYPICAL |
| UNO | UNLESS NOTED OTHERWISE |
| VERT | VERTICAL |
| WSCOT | WAINSCOT |
| WH | WATER HEATER |
| W/C | WATER CLOSET |
| WP. | WATERPROOFING |
| WWF | WELDED WIRE FABRIC |
| W | WEST |
| WIN | WINDOW |
| W/ | WITH |
| W/O | WITHOUT |
| WD | WOOD |

DRAWING SYMBOLS

| | |
|--|--|
| | DOOR NUMBER |
| | WINDOW NUMBER |
| | ELEVATION MARK - HEIGHT ABOVE REF. ELEV. (0'-0") |
| | REVISION NUMBER |
| | ROOM NUMBER |
| | INTERIOR ELEVATION NUMBER AND SHEET NUMBER |
| | DETAIL NUMBER SHEET NUMBER |
| | EXTERIOR ELEVATION NUMBER SHEET NUMBER |
| | SECTION NUMBER SHEET NUMBER |

ABBREVIATION SYMBOLS

| | |
|--|------------------|
| | ANGLE |
| | CENTERLINE |
| | CHANNEL |
| | PENNY |
| | PLATE |
| | DIAMETER |
| | WIDE FLANGE BEAM |

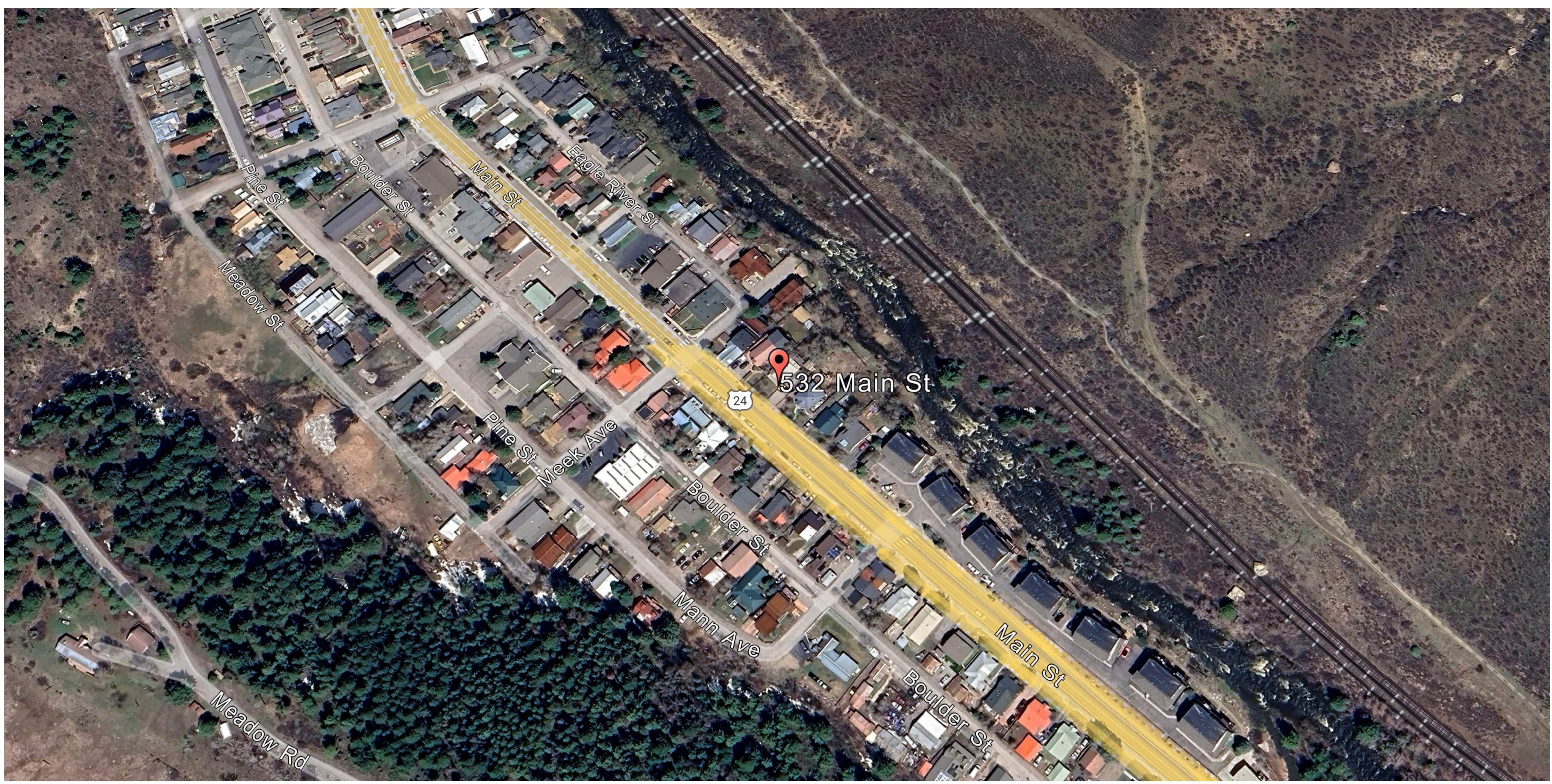
ABBREVIATIONS

| | |
|----------|---------------------------------------|
| ABV | ABOVE |
| AFF | ABOVE FINISHED FLOOR |
| ACOUST | ACOUSTICAL |
| ADJ | ADJUSTABLE |
| ANOD | ANODIZED |
| A/C | AIR CONDITIONING |
| ALT | ALTERNATE |
| ALUM | ALUMINUM |
| ADA | AMERICANS WITH DISABILITIES ACT |
| A.B. | ANCHOR BOLT |
| ARCH | ARCHITECT (URAL) |
| AD | AREA DRAIN |
| ASPH | ASPHALT |
| BRG | BEARING |
| BM | BEAM |
| B.M. | BENCH MARK |
| BTWN | BETWEEN |
| BIT | BITUMINOUS |
| BLK (G) | BLOCK (ING) |
| BD | BOARD |
| B.S. | BOTH SIDES |
| B.W. | BOTH WAYS |
| BOT | BOTTOM |
| B.O.B. | BOTTOM OF BEAM |
| B.O.D. | BOTTOM OF DECK |
| B.O.S. | BOTTOM OF STEEL |
| BULDG | BUILDING |
| BU | BUILT UP |
| CABT | CABINET |
| C.I. | CAST IRON |
| C.B. | CATCH BASIN |
| CLG | CEILING |
| CEM | CEMENT |
| CER TILE | CERAMIC TILE |
| CIR | CIRCLE |
| CIRC | CIRCULAR, CIRCUMFERENCE |
| CLR | CLEAR |
| COL | COLUMN |
| COMB | COMBINATION |
| CONC | CONCRETE |
| CMU | CONCRETE MASONRY UNIT |
| CONST | CONSTRUCTION |
| CONT | CONTINUOUS, CONTINUE |
| CTR | CONTRACTOR |
| C.J. | CONTROL JOINT |
| CNTR | COUNTERTOP |
| D. | DEEP |
| DEMO | DEMOLISH, DEMOLITION |
| DTL | DETAIL |
| DIAG | DIAGONAL |
| DIA | DIAMETER |
| DIM | DIMENSION |
| DR | DOOR |
| D.H. | DOUBLE HUNG |
| DBL | DOUBLE |
| DS | DOWNSPOUT |
| DISP | DISPENSER |
| DWR | DRAWER |
| DWG | DRAWING |
| E | EAST |
| ELEC | ELECTRIC (AL) |
| ELEV | ELEVATION |
| ELV | ELEVATOR |
| EXIST | EXISTING |
| EPS | EXPANDED (EXTRUDED) POLYSTYRENE BOARD |
| EQ | EQUAL |
| EMERG | EMERGENCY |
| EX | EXHAUST |
| EXP | EXPOSED |
| EXP JT | EXPANSION JOINT |
| EIFS | EXTERIOR INSULATING FINISH SYSTEM |
| FEC | FIRE EXTINGUISHER CABINET |
| FIN | FINISH (ED) |
| FIN FLR | FINISHED FLOOR |
| FP | FIREPLACE |
| FLR | FLOOR (ING) |
| F.D. | FINISHED DIMENSION |
| FD | FLOOR DRAIN |
| FLUOR | FLUORESCENT |
| FRP | FIBERGLASS REINFORCED PANEL |
| FRZR | FREEZER |
| FT | FOOT (FEET) |
| FTG | FOOTING |
| FOUND | FOUNDATION |
| GA | GAGE, GAUGE |
| GALV | GALVANIZED |
| G.C. | GENERAL CONTRACTOR |
| GL | GLASS |
| GYP BD | GYP SUM WALL BOARD |
| GYP | GYP SUM |
| H/C | HANDICAPPED |
| HDWE | HARDWARE |
| HDR | HEADER |
| HVAC | HEATING/VENTILATING/AIR CONDITIONING |
| H.D. | HEAVY DUTY |
| HGT | HEIGHT |
| H. | HIGH |
| HC | HOLLOW CORE |
| HM | HOLLOW METAL |
| HORIZ | HORIZONTAL |
| HB | HOSE BIBB |
| INCAND | INCANDESCENT |
| IN | INCHES |
| INCL | INCLUDE (D), (ING) |
| ID | INSIDE DIAMETER |
| INSUL. | INSULATION, INSULATING |
| INT | INTERIOR |
| LAM | LAMINATE (D) |
| LAV | LAVATORY |
| LH | LEFT HAND |
| L | LENGTH, LONG |
| LLH | LONG LEG HORIZONTAL |
| LLV | LONG LEG VERTICAL |
| MSRY | MASONRY |
| MAX | MAXIMUM |
| MECH | MECHANICAL |
| M.C. | MEDICINE CABINET |
| MED | MEDIUM |
| MBR | MEMBER |
| MEMB | MEMBRANE |
| MTL | METAL |
| M. | METER (S) |
| MIN | MINIMUM |
| MISC | MISCELLANEOUS |

VICINITY MAP



LOCAL MAP



PROJECT DATA

NAME: EAGLE RIVER RESIDENCE
 PROJECT ADDRESS:
 532 MAIN STREET
 MINTURN, CO 81645
 ZONING: OLD TOWN CHARACTER AREA - RESIDENTIAL ZONE
 BUILDING USE: SINGLE FAMILY RESIDENCE

SQUARE FOOTAGE

HOUSE - CONDITIONED:

GROUND LEVEL = 2,595 SQ FT
 UPPER LEVEL = 886 SQ FT
 LOWER LEVEL = 2,286 SQ FT [+ 165 MECH]
 TOTAL CONDITIONED = 5,767 SQ FT [+ 165 MECH]

HOUSE - NON-CONDITIONED:

GARAGE = 665 SQ FT
 TOTAL NON-CONDITIONED = 665 SQ FT

EXTERIOR ELEMENTS:

ENTRY PORCH = 113 SQ FT
 DECK / STAIRS = 607 SQ FT
 PATIO = 688 SQ FT
 BALCONY = 75 SQ FT
 WINDOW WELL WALLS = 30 SQ FT
 TOTAL EXTERIOR ELEMENTS = 1,513 SQ FT

*** SEE SHEET A101 FOR LOT COVERAGE + IMPERVIOUS AREA CALCULATIONS ***



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 APPROVAL,
 PERMITTING
 OR
 CONSTRUCTION

EAGLE RIVER RESIDENCE

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 970.350.4531

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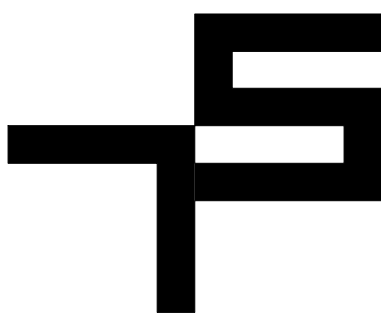
05 FEB 2025 PROJ. NO. 2401
 PROJ. ARCHITECT TS DRAWN BY

| REVISION | DESCRIPTION |
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DESIGN REVIEW PACKAGE

BOILER PLATE

A001



TOBIN SMITH ARCHITECT

NOTE
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970 390 4931 T

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970 926 3373 T

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479 821 1914 T

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MPD LAND SURVEYING
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EAGLE, CO 81631
970 390 9540 T

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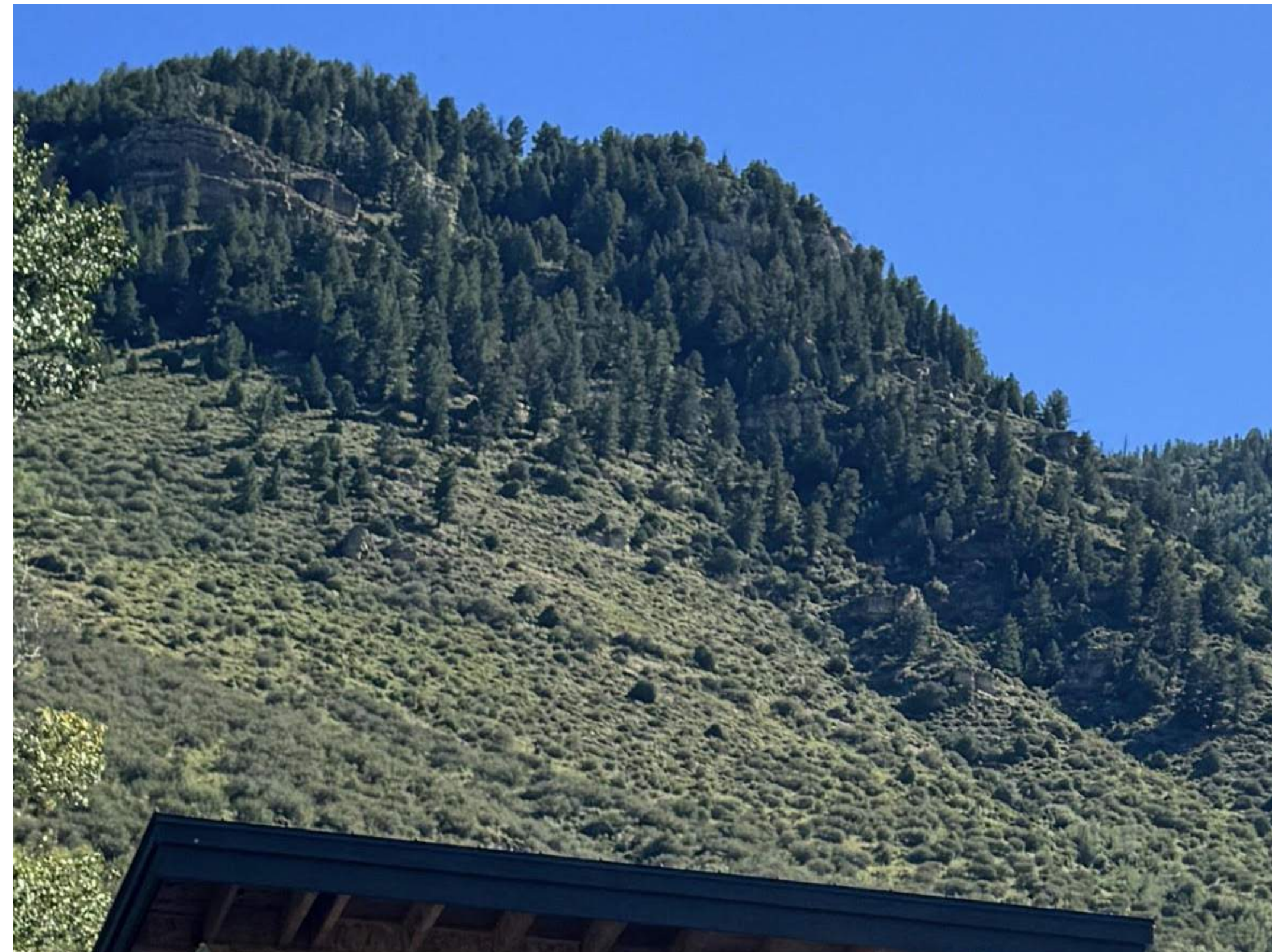
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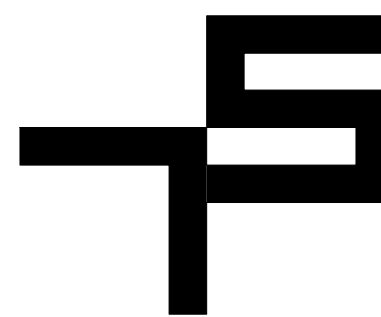
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DESIGN REVIEW PACKAGE

SITE PHOTOS - SUMMER

A003





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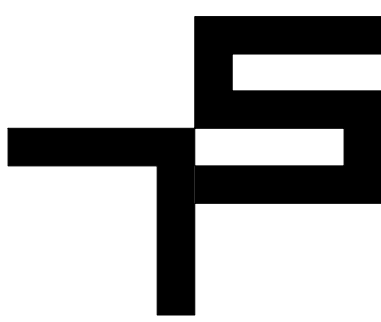
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COLORADO COLORS

A004



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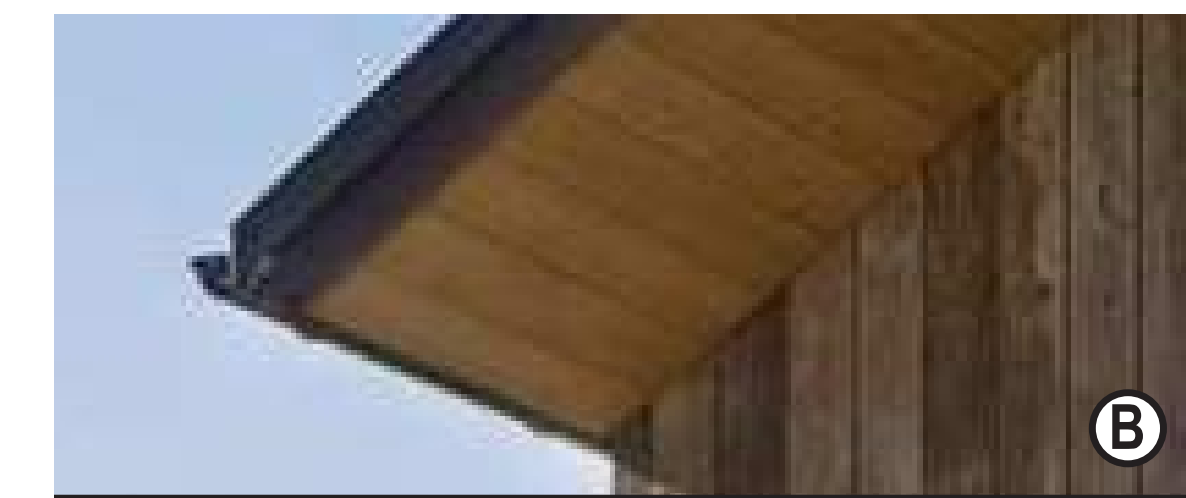
DESIGN REVIEW PACKAGE

EXTERIOR MATERIALS

A005



A STANDING SEAM METAL ROOF - GREY



B WOOD EAVES / SOFFIT + FRONT DOOR - BLOND



C WINDOW + DOOR CLADDING - BRONZE



D WOOD SIDING - GREY



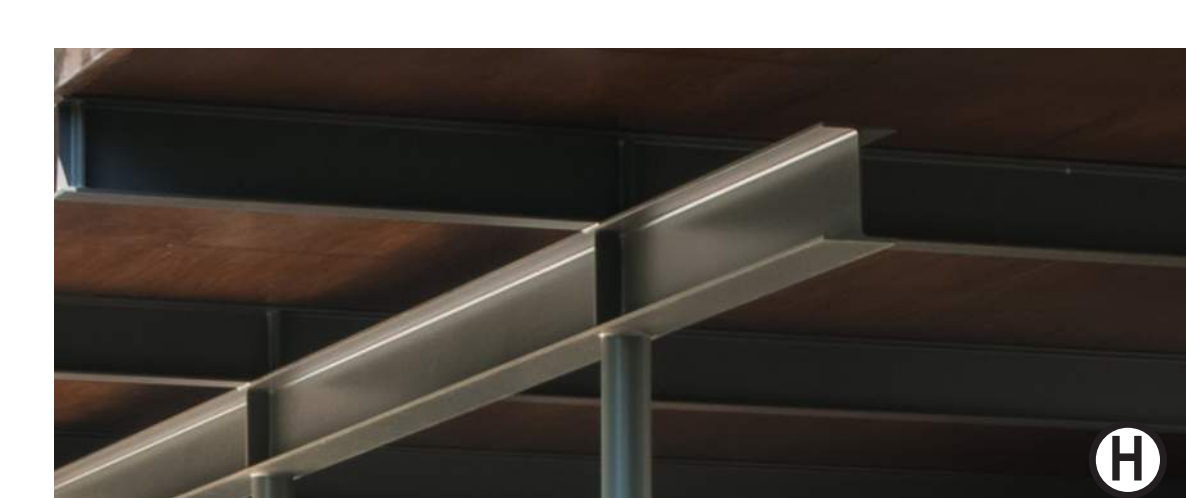
E CORRUGATED METAL SIDING - OXIDIZED



F FLAT METAL PANEL CLADDING - OXIDIZED



G FLAT BAR FRAME + WOVEN WIRE MESH INFILL - OXIDIZED



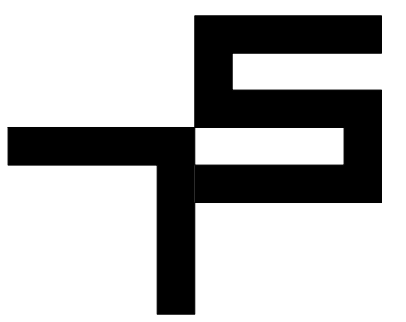
H PAINTED STEEL STRUCTURE - BRONZE



I STONE VENEER - TELLURIDE GOLD



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DESIGN REVIEW PACKAGE

3D VIEWS

3D-01



AERIAL LOOKING NORTHEAST



AERIAL LOOKING NORTHWEST



AERIAL LOOKING SOUTHWEST



AERIAL LOOKING SOUTHEAST

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DESIGN REVIEW PACKAGE

3D VIEWS

3D-02



FRONT VIEW - NORTHEAST



FRONT VIEW - SOUTHEAST

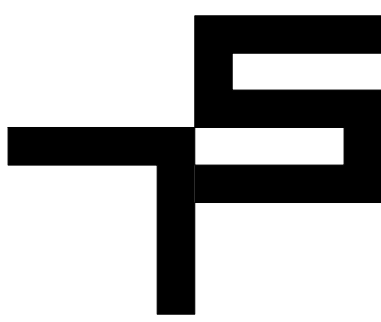


FRONT VIEW - GARAGE



FRONT VIEW - WALK-UP

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DESIGN REVIEW PACKAGE

3D VIEWS

3D-03



REAR VIEW - NORTHWEST



REAR VIEW - SOUTHWEST



REAR VIEW - ON AXIS



REAR VIEW - LOWER PATIO



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DESIGN REVIEW PACKAGE

3D VIEWS

3D-04



AERIAL LOOKING NORTHEAST W/ 28° PLANE



AERIAL LOOKING NORTHWEST W/ 28° PLANE

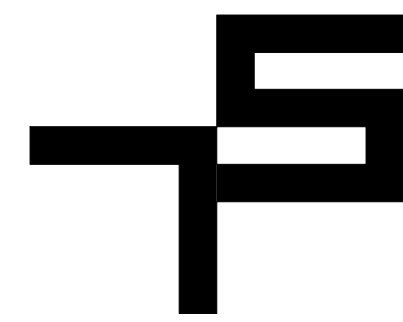


AERIAL LOOKING SOUTHWEST W/ 28° PLANE



AERIAL LOOKING SOUTHEAST W/ 28° PLANE

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Table with 2 columns: REVISION, DESCRIPTION

DESIGN REVIEW PACKAGE

SURVEY-EXISTING

EX100

IMPROVEMENT SURVEY PLAT WITH TOPOGRAPHY Lot 3, Block 3 Booco's 2nd Addition to Minturn & a Parcel of Land Situated in Section 26, Township 5 South, Range 81 West, 6th P.M. TOWN OF MINTURN, COUNTY OF EAGLE, STATE OF COLORADO

LEGAL DESCRIPTION: (PARCEL 1) SPECIAL WARRANTY DEED REC.NO. 202400298 LOT 3, BLOCK 3, BOOCO'S 2ND ADDITION TO THE TOWN OF MINTURN, ACCORDING TO THE RECORDED PLAT THEREOF, RECORDED 10-10-1901 AT RECEPTION NO. 20577 AND WARRANTY DEED REC.NO. 201908667 IN THE OFFICE OF THE CLERK AND RECORDER, COUNTY OF EAGLE, STATE OF COLORADO. TOGETHER WITH (PARCEL 2) SPECIAL WARRANTY DEED REC.NO. 202400298 AND QUIET TITLE DECREE REC.NO. 201802728 A PARCEL OF LAND LOCATED IN THE SOUTHEAST 1/4, OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 81 WEST, 6TH PRINCIPAL MERIDIAN, TOWN OF MINTURN, EAGLE COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTH CORNER OF LOT 3, BLOCK 3, BOOCO'S SECOND ADDITION, ALSO BEING THE EAST CORNER OF LOT 2, SAID BLOCK 3, AND THE SOUTH CORNER OF A TRACT OF LAND DESCRIBED IN RECEPTION NUMBER 893824 TO ELIZABETH & TIMOTHY CAMPBELL. THENCE NORTH 44 DEGREES 40 MINUTES 00 SECONDS EAST, ALONG THE SOUTHEAST LINE OF SAID CAMPBELL TRACT, A DISTANCE OF 37.46 FEET TO THE EAST CORNER OF SAID CAMPBELL TRACT, BEING ON THE SOUTHWESTERLY HIGH WATER LINE OF THE EAGLE RIVER PER RECORDED DEED; THENCE ALONG SAID SOUTHWESTERLY HIGH WATER LINE OF THE EAGLE RIVER THE FOLLOWING COURSES AND DISTANCES: SOUTH 10 DEGREES 31 MINUTES 22 SECONDS WEST, A DISTANCE OF 11.51 FEET; SOUTH 35 DEGREES 27 MINUTES 44 SECONDS EAST, A DISTANCE OF 16.44 FEET; SOUTH 13 DEGREES 50 MINUTES 16 SECONDS EAST, A DISTANCE OF 13.76 FEET; SOUTH 48 DEGREES 37 MINUTES 29 SECONDS EAST, A DISTANCE OF 15.57 FEET TO THE NORTH CORNER OF A TRACT OF LAND DESCRIBED IN RECEPTION NUMBER 20065871 TO BENJAMIN RADER, TRUSTEE; THENCE SOUTH 44 DEGREES 32 MINUTES 25 SECONDS WEST, A DISTANCE OF 16.95, DEPARTING SAID HIGH WATER LINE ALONG THE NORTHWEST LINE OF SAID RADER TRACT, TO THE WEST CORNER OF SAID RADER TRACT, ALSO BEING THE EAST CORNER OF SAID LOT 1; THENCE NORTH 47 DEGREES 40 MINUTES 00 SECONDS WEST, LONG THE NORTHEAST LINE OF SAID LOT 3, A DISTANCE OF 46.06 FEET; THENCE NORTH 45 DEGREES 20 MINUTES 00 SECONDS WEST, CONTINUING ALONG SAID NORTHEAST LINE, A DISTANCE OF 3.95 FEET TO THE POINT OF BEGINNING.

- NOTES: 1) DATE OF SURVEY: JANUARY 10, 2024 AND UPDATED SEPTEMBER 12, 2024. 2) STREET ADDRESS: 532 MAIN STREET (POSTED) 3) LOCATION OF IMPROVEMENTS AND LOT LINES ARE BASED UPON THE LEGAL DESCRIPTION ABOVE PROVIDED BY LAND TITLE GUARANTEE COMPANY AND SURVEY MONUMENTS FOUND AT THE TIME OF THIS SURVEY AS SHOWN HEREON. 4) BENCHMARK: S-280 3.25" BRASS CAP SET IN ROCK, ELEVATION = 7894.4' 5) U.S. SURVEY FEET USED FOR THIS SURVEY. 6) BASIS OF BEARINGS: AN ASSUMED BEARING OF S 44° 32' 25" W BETWEEN THE SOUTHERLY PROPERTY CORNER OF LOT 3, BOOCO'S 2ND ADDITION TO THE TOWN OF MINTURN, REC.NO. 20077 (A FOUND 1.25" YELLOW PLASTIC CAP ON #5 REBAR, LS # ILLEGIBLE) AND THE NORTHEASTERLY PROPERTY CORNER OF PARCEL 2, AS DESCRIBED IN REC.NO. 20198667 (A FOUND 1.5" ALUMINUM CAP ON #5 REBAR, LS #27598). ALL BEARINGS HEREON ARE RELATIVE THERETO. 7) TITLE COMMITMENT PROVIDED BY LAND TITLE GUARANTEE COMPANY, ORDER NO. V50071530-3, WITH AN EFFECTIVE DATE OF 9-19-2024. 8) 1' CONTOURS SHOWN HEREON. 9) THE CENTERLINE FOR THE RECORDED SANITARY EASEMENT RECEPTION NO. 899598, DOES NOT COVER THE QUIET TITLE REC.NO. 201802728 PARCEL 2, BECAUSE IT DID NOT EXIST WHEN THE EASEMENT WAS CREATED. IT ALSO DOES NOT MATCH THE AS-BUILT LOCATION FOR CENTERLINE MANHOLES WERE LOCATED AND POPPED TO MEASURE LOCATION OF THE CENTERLINE BURIED PIPE. THERE IS AN APPARENT 20' EASEMENT WITH THE CENTERLINE RUNNING ALONG THE AS-BUILT LOCATION AS SHOWN HEREON, ACROSS LOTS (PARCEL 1) AND PARCEL 2. 10) FEMA FLOOD INSURANCE RATE MAP NO. 080370688D, DATED 12/4/2007 DESIGNATES THIS PROPERTY AS - ZONE X - AREA OF MINIMAL FLOOD HAZARD, EXCEPT AS SHOWN HEREON. 11) NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

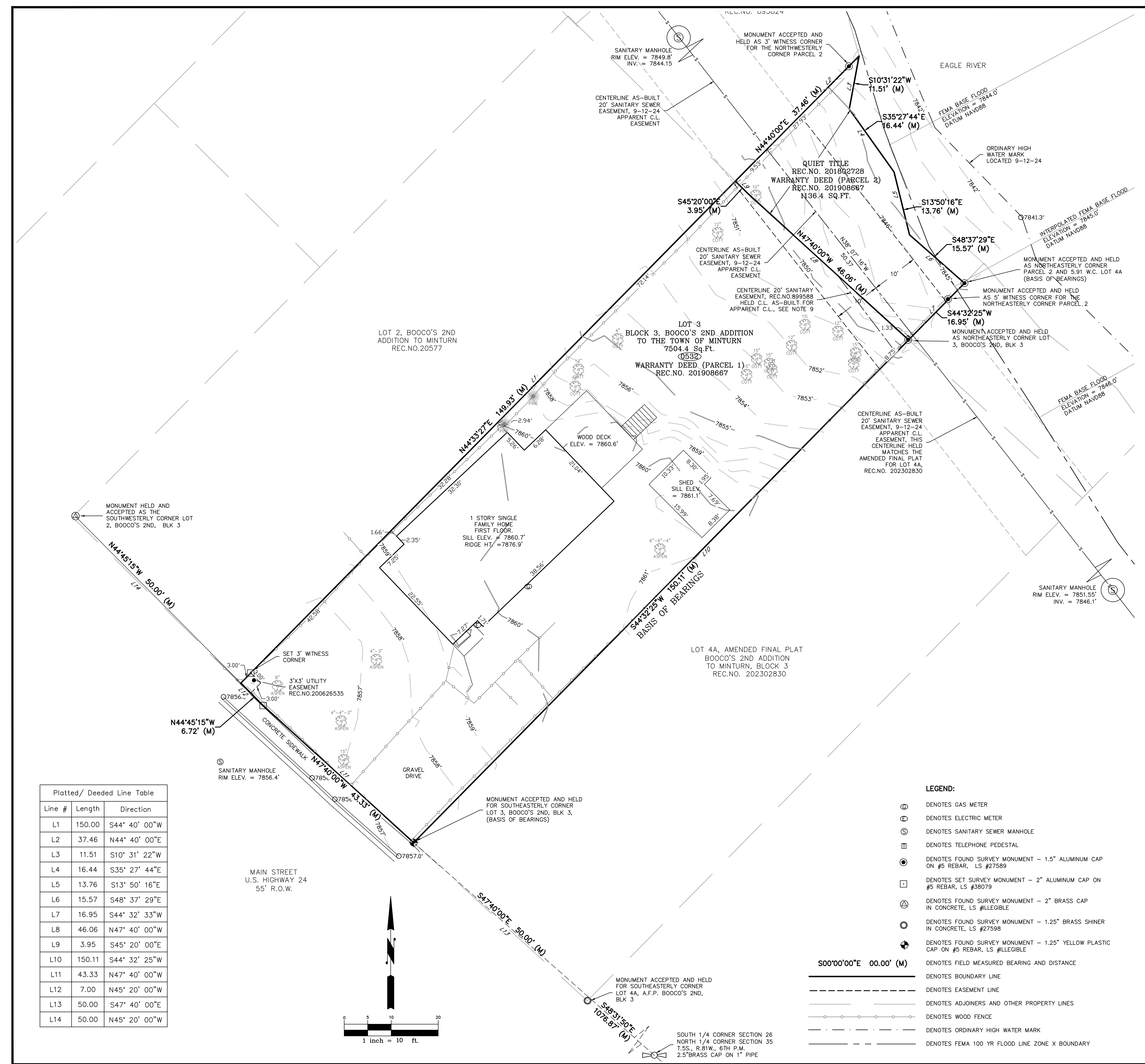
CERTIFICATION: I, RANDALL P. KIPP, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS LAND SURVEY PLAT WAS PREPARED FOR ME AND PARTY HALLIDAY REVOCABLE TRUST, AND IS THE RESULT OF A SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, RESPONSIBILITY AND CHECKING. I FURTHER CERTIFY THAT THIS LAND SURVEY PLAT IS IN CONFORMANCE WITH 38-31-106 C.R.S. MINIMUM STANDARDS FOR LAND PLATS, AND IS BASED ON THE LAND SURVEYOR'S KNOWLEDGE, INFORMATION AND BELIEF, IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE, AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.



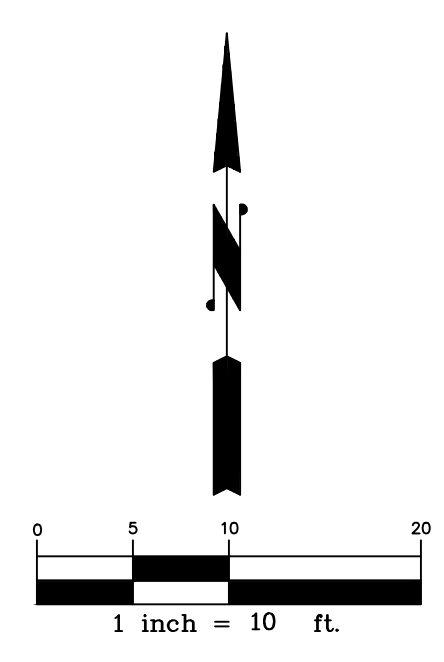
RANDALL P. KIPP P.L.S. #38079 COLORADO PROFESSIONAL LAND SURVEYOR

COUNTY SURVEYOR CERTIFICATION: DEPOSITED THIS ____ DAY OF _____, 20____ AT _____ IN BOOK 1 OF THE EAGLE COUNTY SURVEYOR'S LAND SURVEY PLATS/ RIGHTS-OF-WAY SURVEYS AT PAGE ____ THIS LAND SURVEY PLAT COMPLES WITH SECTION 38-31-102, OF THE COLORADO REVISED STATUTES.

Table with 2 columns: REV. DATE, ADDED NOTES. Includes information for KIPP LAND SURVEYING, Randy Kipp P.L.S., P.O. Box 3154, Eagle, CO 81631, (970) 390-9540, email: randy@kipplandsurveying.com, web: kipplandsurveying.com



Platted/ Deeded Line Table with columns: Line #, Length, Direction. Lists 14 lines with their respective bearings and distances.



- LEGEND: DENOTES GAS METER, DENOTES ELECTRIC METER, DENOTES SANITARY SEWER MANHOLE, DENOTES TELEPHONE PEDESTAL, DENOTES FOUND SURVEY MONUMENT - 1.5" ALUMINUM CAP ON #5 REBAR, LS #27598, DENOTES SET SURVEY MONUMENT - 2" ALUMINUM CAP ON #5 REBAR, LS #38079, DENOTES FOUND SURVEY MONUMENT - 2" BRASS CAP IN CONCRETE, LS #ILLEGIBLE, DENOTES FOUND SURVEY MONUMENT - 1.25" BRASS SHINER IN CONCRETE, LS #27598, DENOTES FOUND SURVEY MONUMENT - 1.25" YELLOW PLASTIC CAP ON #5 REBAR, LS #ILLEGIBLE, DENOTES FIELD MEASURED BEARING AND DISTANCE, DENOTES BOUNDARY LINE, DENOTES EASEMENT LINE, DENOTES ADJOINERS AND OTHER PROPERTY LINES, DENOTES WOOD FENCE, DENOTES ORDINARY HIGH WATER MARK, DENOTES FEMA 100 YR FLOOD LINE ZONE X BOUNDARY

1 SURVEY - EXISTING

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EAGLE RIVER RESIDENCE

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ARCHITECT TOBIN SMITH ARCHITECT 2201 SAN PEDRO AVE SAN ANTONIO, TX 78212 210 817 4744

ARCHITECTURAL CONSULTANT APP DESIGN SHOP, INC. P.O. BOX 288 GYPSUM, CO 81637 970 350 4531

STRUCTURAL ENGINEER COMPANY ALPINE ENGINEERING, INC. 34510 HWY 6, UNIT A9 P.O. BOX 97 EDWARDS, CO 81632 970 926 3373

CIVIL ENGINEER COMPANY ALPINE ENGINEERING, INC. 34510 HWY 6, UNIT A9 P.O. BOX 97 EDWARDS, CO 81632 970 926 3373

MECHANICAL CONSULTANT COMPANY VESPR DESIGN, LLC P.O. BOX 30550 SAN ANTONIO, TX 78210 347 821 1914

LIGHTING CONSULTANT COMPANY VESPR DESIGN, LLC P.O. BOX 30550 SAN ANTONIO, TX 78210 347 821 1914

GEOTECHNICAL ENGINEER COMPANY KIPP LAND SURVEYING P.O. BOX 3154 EAGLE, CO 81631 970 390 9540

SURVEYOR COMPANY KIPP LAND SURVEYING P.O. BOX 3154 EAGLE, CO 81631 970 390 9540

05 FEB 2025 PROJ. NO. 2401

PROJ. ARCHITECT TS DRAWN BY

Table with 2 columns: REVISION, DESCRIPTION. Includes entry for RANDY KIPP P.L.S. and contact information.

DESIGN REVIEW PACKAGE

SURVEY-EXISTING

EX101

IMPROVEMENT SURVEY PLAT WITH TOPOGRAPHY Lot 3, Block 3 Booco's 2nd Addition to Minturn & a Parcel of Land Situated in Section 26, Township 5 South, Range 81 West, 6th P.M. TOWN OF MINTURN, COUNTY OF EAGLE, STATE OF COLORADO

LEGAL DESCRIPTION:

(PARCEL 1) SPECIAL WARRANTY DEED REC.NO. 202400298 LOT 3, BLOCK 3, BOOCO'S 2ND ADDITION TO THE TOWN OF MINTURN, ACCORDING TO THE RECORDED PLAT THEREOF, RECORDED 10-10-1901 AT RECEPTION NO. 20577 AND WARRANTY DEED REC.NO. 201908667 IN THE OFFICE OF THE CLERK AND RECORDER, COUNTY OF EAGLE, STATE OF COLORADO. TOGETHER WITH (PARCEL 2) SPECIAL WARRANTY DEED REC.NO. 202400298 AND QUIET TITLE DECREE REC.NO. 201802728 A PARCEL OF LAND LOCATED IN THE SOUTHEAST 1/4, OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 81 WEST, 6TH PRINCIPAL MERIDIAN, TOWN OF MINTURN, EAGLE COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTH CORNER OF LOT 3, BLOCK 3, BOOCO'S SECOND, ADDITION, ALSO BEING THE EAST CORNER OF LOT 2, SAID BLOCK 3, AND THE SOUTH CORNER OF A TRACT OF LAND DESCRIBED IN RECEPTION NUMBER 893824 TO ELIZABETH & TIMOTHY CAMPBELL. THENCE NORTH 44 DEGREES 40 MINUTES 00 SECONDS EAST, ALONG THE SOUTHEAST LINE OF SAID CAMPBELL TRACT, A DISTANCE OF 37.46 FEET TO THE EAST CORNER OF SAID CAMPBELL TRACT, BEING ON THE SOUTHWESTERLY HIGH WATER LINE OF THE EAGLE RIVER PER RECORDED DEED; THENCE ALONG SAID SOUTHWESTERLY HIGH WATER LINE OF THE EAGLE RIVER THE FOLLOWING COURSES AND DISTANCES: SOUTH 10 DEGREES 31 MINUTES 22 SECONDS WEST, A DISTANCE OF 11.51 FEET; SOUTH 35 DEGREES 27 MINUTES 44 SECONDS EAST, A DISTANCE OF 16.44 FEET; SOUTH 13 DEGREES 50 MINUTES 16 SECONDS EAST, A DISTANCE OF 13.76 FEET; SOUTH 48 DEGREES 37 MINUTES 29 SECONDS EAST, A DISTANCE OF 15.57 FEET TO THE NORTH CORNER OF A TRACT OF LAND DESCRIBED IN RECEPTION NUMBER 20065871 TO REJANAM RADER, TRUSTEE; THENCE SOUTH 44 DEGREES 32 MINUTES 25 SECONDS WEST, A DISTANCE OF 16.95, DEPARTING SAID HIGH WATER LINE ALONG THE NORTHWEST LINE OF SAID RADER TRACT, TO THE WEST CORNER OF SAID RADER TRACT, ALSO BEING THE EAST CORNER OF SAID LOT 3; THENCE NORTH 47 DEGREES 40 MINUTES 00 SECONDS WEST, LONG THE NORTHEAST LINE OF SAID LOT 3, A DISTANCE OF 46.06 FEET; THENCE NORTH 45 DEGREES 20 MINUTES 00 SECONDS WEST, CONTINUING ALONG SAID NORTHEAST LINE, A DISTANCE OF 3.95 FEET TO THE POINT OF BEGINNING.

NOTES:

- 1) DATE OF SURVEY: JANUARY 10, 2024 AND UPDATED SEPTEMBER 12, 2024. 2) STREET ADDRESS: 532 MAIN STREET (POSTED) 3) LOCATION OF IMPROVEMENTS AND LOT LINES ARE BASED UPON THE LEGAL DESCRIPTION ABOVE PROVIDED BY LAND TITLE GUARANTEE COMPANY AND SURVEY MONUMENTS FOUND AT THE TIME OF THIS SURVEY AS SHOWN HEREON. 4) BENCHMARK: S-280 3.25" BRASS CAP SET IN ROCK, ELEVATION = 7894.4' 5) U.S. SURVEY FEET USED FOR THIS SURVEY. 6) BASIS OF BEARINGS: AN ASSUMED BEARING OF S 44° 32' 25" W BETWEEN THE SOUTHERLY PROPERTY CORNER OF LOT 3, BOOCO'S 2ND ADDITION TO THE TOWN OF MINTURN, REC.NO. 20577 (A FOUND 1.25" YELLOW PLASTIC CAP ON #5 REBAR, LS # ILLEGIBLE) AND THE NORTHEASTERLY PROPERTY CORNER OF PARCEL 2, AS DESCRIBED IN REC.NO. 20198667 (A FOUND 1.5" ALUMINUM CAP ON #5 REBAR, LS #27598). ALL BEARINGS HEREON ARE RELATIVE THERETO. 7) TITLE COMMITMENT PROVIDED BY LAND TITLE GUARANTEE COMPANY, ORDER NO. V50071530-3, WITH AN EFFECTIVE DATE OF 9-19-2024. 8) 1' CONTOURS SHOWN HEREON. 9) THE CENTERLINE FOR THE RECORDED SANITARY EASEMENT RECEPTION NO. 899598, DOES NOT COVER THE QUIET TITLE REC.NO. 201802728 PARCEL 2 BECAUSE IT DID NOT EXIST WHEN THE EASEMENT WAS CREATED. IT ALSO DOES NOT MATCH THE AS-BUILT LOCATION FOR CENTERLINE MANHOLES WERE LOCATED AND POPPED TO MEASURE LOCATION OF THE CENTERLINE BURIED PIPE. THERE IS AN APPARENT 20' EASEMENT WITH THE CENTERLINE RUNNING ALONG THE AS-BUILT LOCATION AS SHOWN HEREON, ACROSS LOTS (PARCEL 1) AND PARCEL 2. 10) FEMA FLOOD INSURANCE RATE MAP NO. 080370688D, DATED 12/4/2007 DESIGNATES THIS PROPERTY AS - ZONE X - AREA OF MINIMAL FLOOD HAZARD. EXCEPT AS SHOWN HEREON. 11) NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

CERTIFICATION:

I, RANDALL P. KIPP, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS LAND SURVEY PLAT WAS PREPARED FOR ME AND PARTY HALLIDAY REVOCABLE TRUST, AND IS THE RESULT OF A SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, RESPONSIBILITY AND CHECKING. I FURTHER CERTIFY THAT THIS LAND SURVEY PLAT IS IN CONFORMANCE WITH 38-51-106 C.R.S.: MINIMUM STANDARDS FOR LAND PLATS, AND IS BASED ON THE LAND SURVEYORS KNOWLEDGE, INFORMATION AND BELIEF, IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE, AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.



RANDALL P. KIPP P.L.S. #38079 COLORADO PROFESSIONAL LAND SURVEYOR

COUNTY SURVEYOR CERTIFICATION:

DEPOSITED THIS ____ DAY OF _____, 20____ AT _____ IN BOOK 1 OF THE EAGLE COUNTY SURVEYOR'S LAND SURVEY PLATS/ RIGHTS-OF-WAY SURVEYS AT PAGE ____ THIS LAND SURVEY PLAT COMPLES WITH SECTION 38-51-102, OF THE COLORADO REVISED STATUTES.

Table with 2 columns: REV. DATE, ADDED NOTES. Includes entries for 11-19-24 (ADDED NOTES) and 10-28-24 (ADDED FEMA FIRM FLOODPLAIN INFORMATION). Includes title block for KIPP LAND SURVEYING and job details.



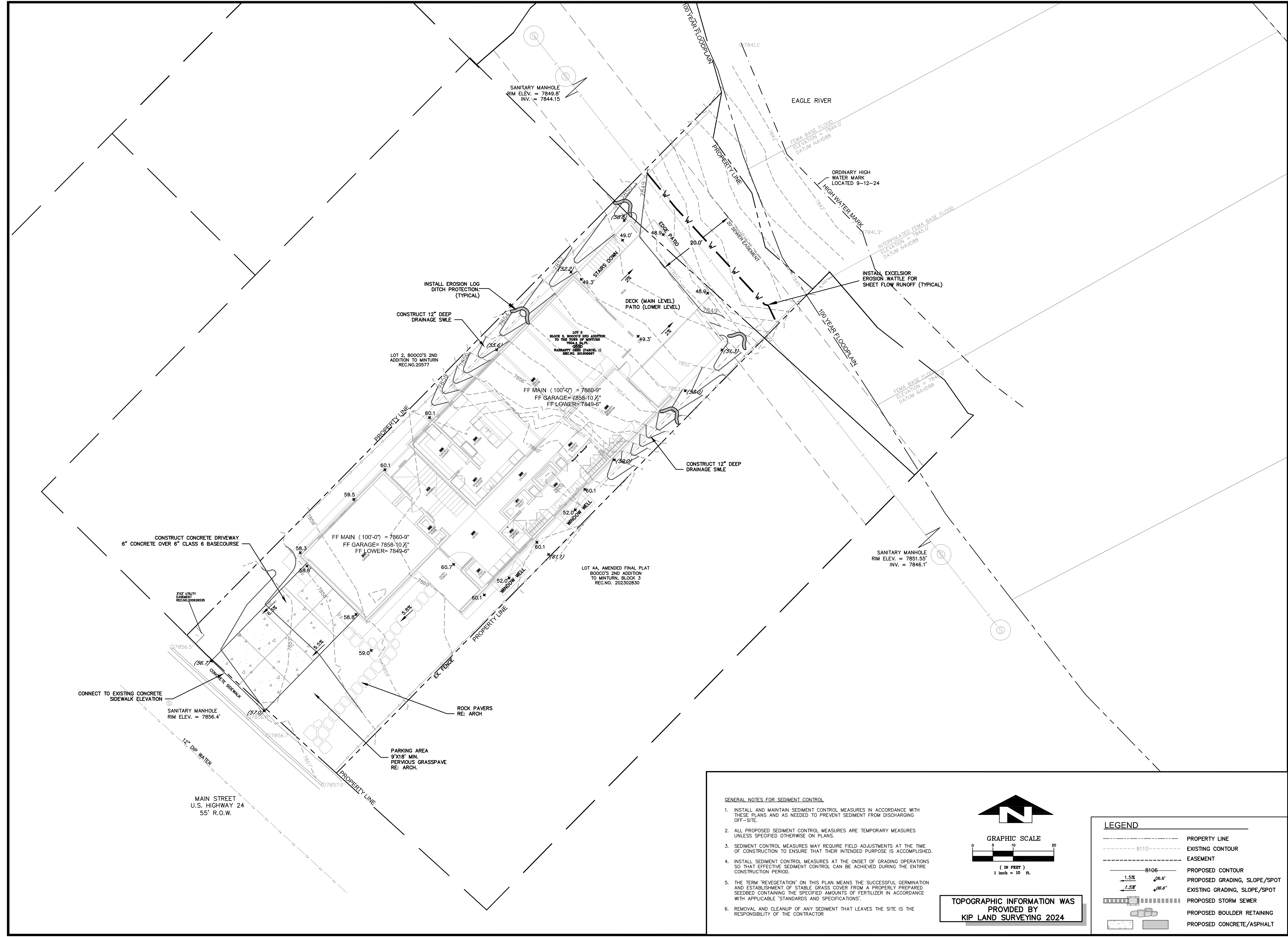
Platted / Deeded Line Table with columns: Line #, Length, Direction. Lists 14 lines with bearings and distances.

LEGEND:

- Denotes Gas Meter
Denotes Electric Meter
Denotes Sanitary Sewer Manhole
Denotes Telephone Pedestal
Denotes Found Survey Monument - 1.5" Aluminum Cap on #5 Rebar, LS #27598
Denotes Set Survey Monument - 2" Aluminum Cap on #5 Rebar, LS #27598
Denotes Found Survey Monument - 2" Brass Cap in Concrete, LS #27598
Denotes Found Survey Monument - 1.25" Brass Shiner in Concrete, LS #27598
Denotes Found Survey Monument - 1.25" Yellow Plastic Cap on #5 Rebar, LS #ILLEGIBLE
Denotes Field Measured Bearing and Distance
Denotes Boundary Line
Denotes Easement Line
Denotes Adjacent and Other Property Lines
Denotes Wood Fence
Denotes Ordinary High Water Mark
Denotes FEMA 100 Yr Flood Line Zone X Boundary

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**532 MAIN STREET
 MINTURN, CO
 GRADING AND DRAINAGE PLAN**



GENERAL NOTES FOR SEDIMENT CONTROL

1. INSTALL AND MAINTAIN SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THESE PLANS AND AS NEEDED TO PREVENT SEDIMENT FROM DISCHARGING OFF-SITE.
2. ALL PROPOSED SEDIMENT CONTROL MEASURES ARE TEMPORARY MEASURES UNLESS SPECIFIED OTHERWISE ON PLANS.
3. SEDIMENT CONTROL MEASURES MAY REQUIRE FIELD ADJUSTMENTS AT THE TIME OF CONSTRUCTION TO ENSURE THAT THEIR INTENDED PURPOSE IS ACCOMPLISHED.
4. INSTALL SEDIMENT CONTROL MEASURES AT THE ONSET OF GRADING OPERATIONS SO THAT EFFECTIVE SEDIMENT CONTROL CAN BE ACHIEVED DURING THE ENTIRE CONSTRUCTION PERIOD.
5. THE TERM "REVEGETATION" ON THIS PLAN MEANS THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF STABLE GRASS COVER FROM A PROPERLY PREPARED SEEDBED CONTAINING THE SPECIFIED AMOUNTS OF FERTILIZER IN ACCORDANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS.
6. REMOVAL AND CLEANUP OF ANY SEDIMENT THAT LEAVES THE SITE IS THE RESPONSIBILITY OF THE CONTRACTOR.

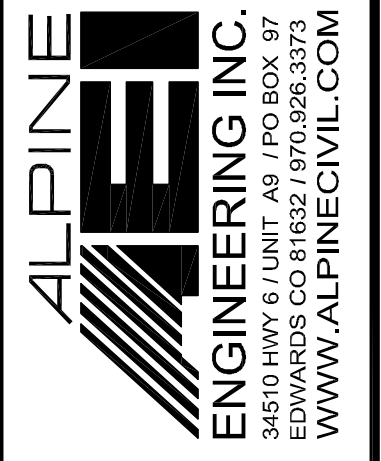
GRAPHIC SCALE
 (IN FEET)
 1 inch = 10 ft

| LEGEND | |
|--------|------------------------------|
| | PROPERTY LINE |
| | EXISTING CONTOUR |
| | EASEMENT |
| | PROPOSED CONTOUR |
| | PROPOSED GRADING, SLOPE/SPOT |
| | EXISTING GRADING, SLOPE/SPOT |
| | PROPOSED STORM SEWER |
| | PROPOSED BOULDER RETAINING |
| | PROPOSED CONCRETE/ASPHALT |

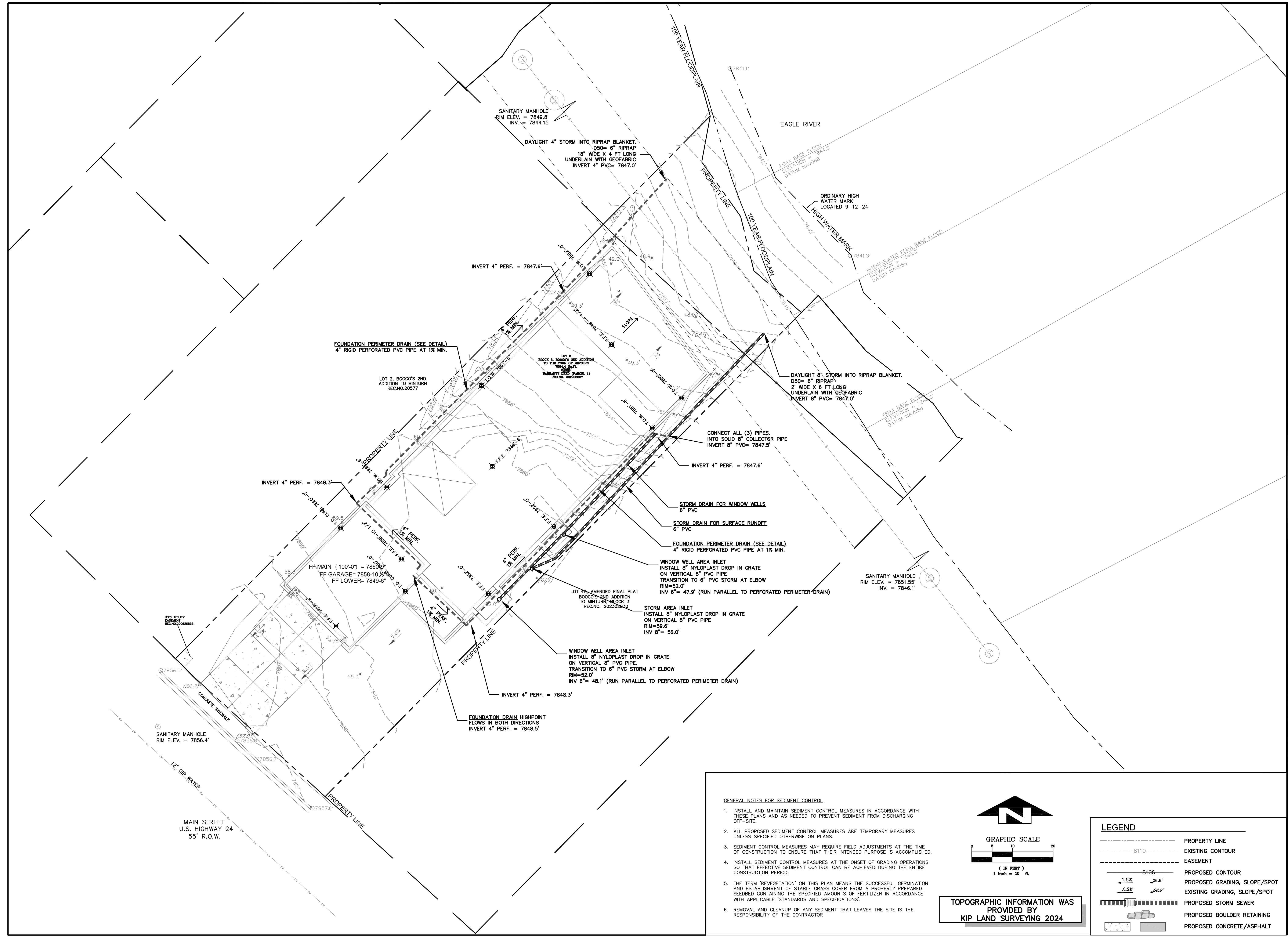
| NO. | DATE | REVISIONS | BY |
|-----|------------|---------------|-----|
| | 12/16/2024 | DRB SUBMITTAL | MCW |

| | |
|----------|------------|
| DESIGNED | MCW |
| DRAWN | TSL, MCW |
| CHECKED | MCW |
| JOB NO. | --- |
| DATE | 11/19/2024 |

**SHEET
 C1.0**



532 MAIN STREET MINTURN, CO STORM SEWER PLAN

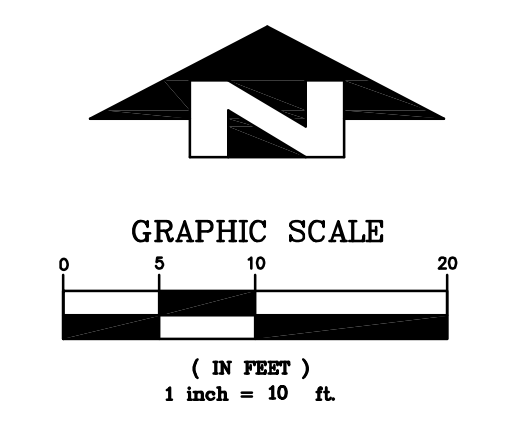


| NO. | DATE | REVISIONS | BY |
|-----|------------|---------------|-----|
| | 12/16/2024 | DRG SUBMITTAL | MCW |

| | |
|----------|------------|
| DESIGNED | MCW |
| DRAWN | TSL, MCW |
| CHECKED | MCW |
| JOB NO. | -- |
| DATE | 11/19/2024 |

SHEET C2.0

- GENERAL NOTES FOR SEDIMENT CONTROL**
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 - ALL PROPOSED SEDIMENT CONTROL MEASURES ARE TEMPORARY MEASURES UNLESS SPECIFIED OTHERWISE ON PLANS.
 - SEDIMENT CONTROL MEASURES MAY REQUIRE FIELD ADJUSTMENTS AT THE TIME OF CONSTRUCTION TO ENSURE THAT THEIR INTENDED PURPOSE IS ACCOMPLISHED.
 - INSTALL SEDIMENT CONTROL MEASURES AT THE ONSET OF GRADING OPERATIONS SO THAT EFFECTIVE SEDIMENT CONTROL CAN BE ACHIEVED DURING THE ENTIRE CONSTRUCTION PERIOD.
 - THE TERM "REVEGETATION" ON THIS PLAN MEANS THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF STABLE GRASS COVER FROM A PROPERLY PREPARED SEEDBED CONTAINING THE SPECIFIED AMOUNTS OF FERTILIZER IN ACCORDANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS.
 - REMOVAL AND CLEANUP OF ANY SEDIMENT THAT LEAVES THE SITE IS THE RESPONSIBILITY OF THE CONTRACTOR

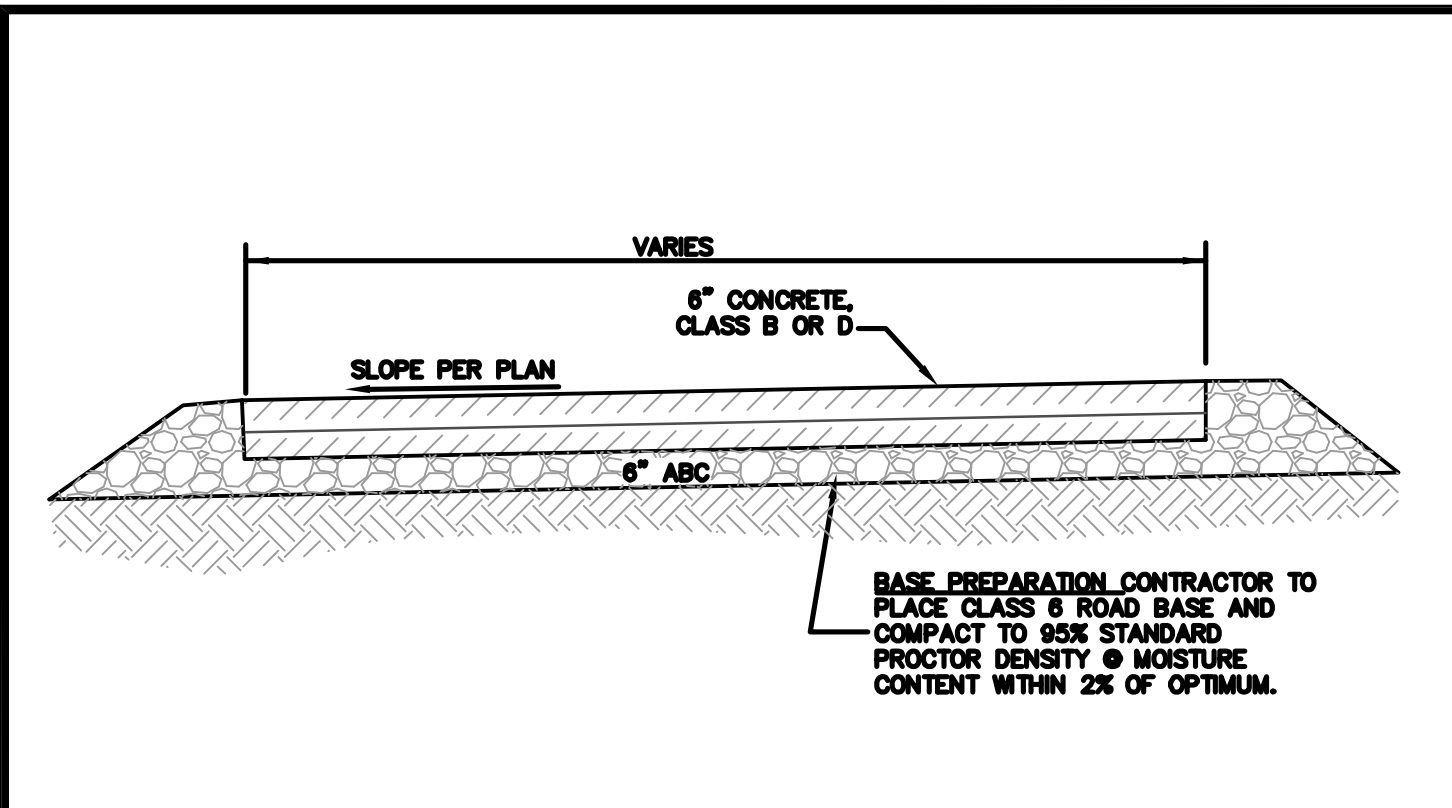


TOPOGRAPHIC INFORMATION WAS PROVIDED BY KIP LAND SURVEYING 2024

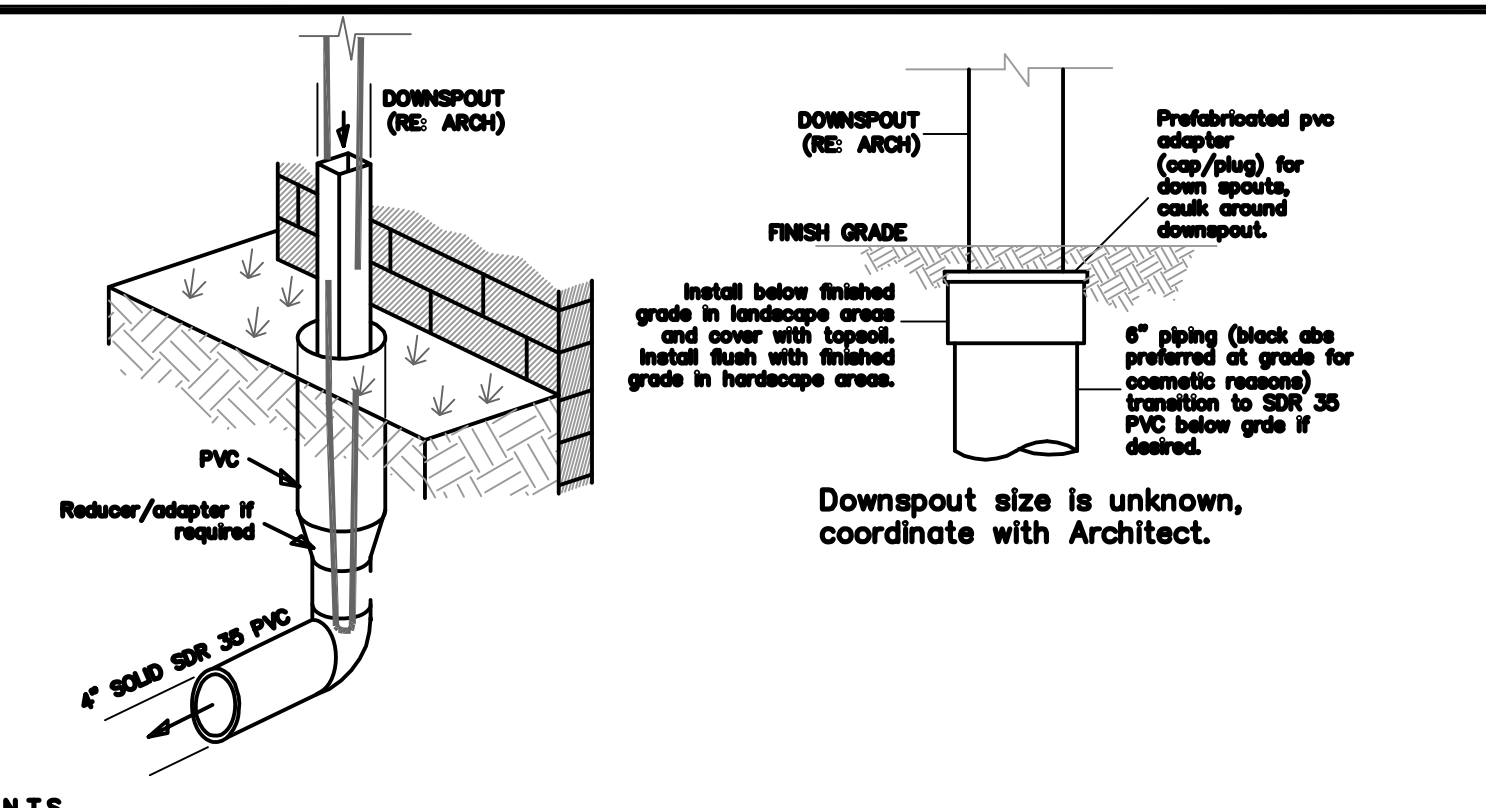
| LEGEND | |
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| | PROPERTY LINE |
| | EXISTING CONTOUR |
| | EASEMENT |
| | PROPOSED CONTOUR |
| | PROPOSED GRADING, SLOPE/SPOT |
| | EXISTING GRADING, SLOPE/SPOT |
| | PROPOSED STORM SEWER |
| | PROPOSED BOULDER RETAINING |
| | PROPOSED CONCRETE/ASPHALT |

| NO. | DATE | REVISIONS | BY |
|-----|------------|---------------|-----|
| | 12/16/2024 | DRB SUBMITTAL | MCW |

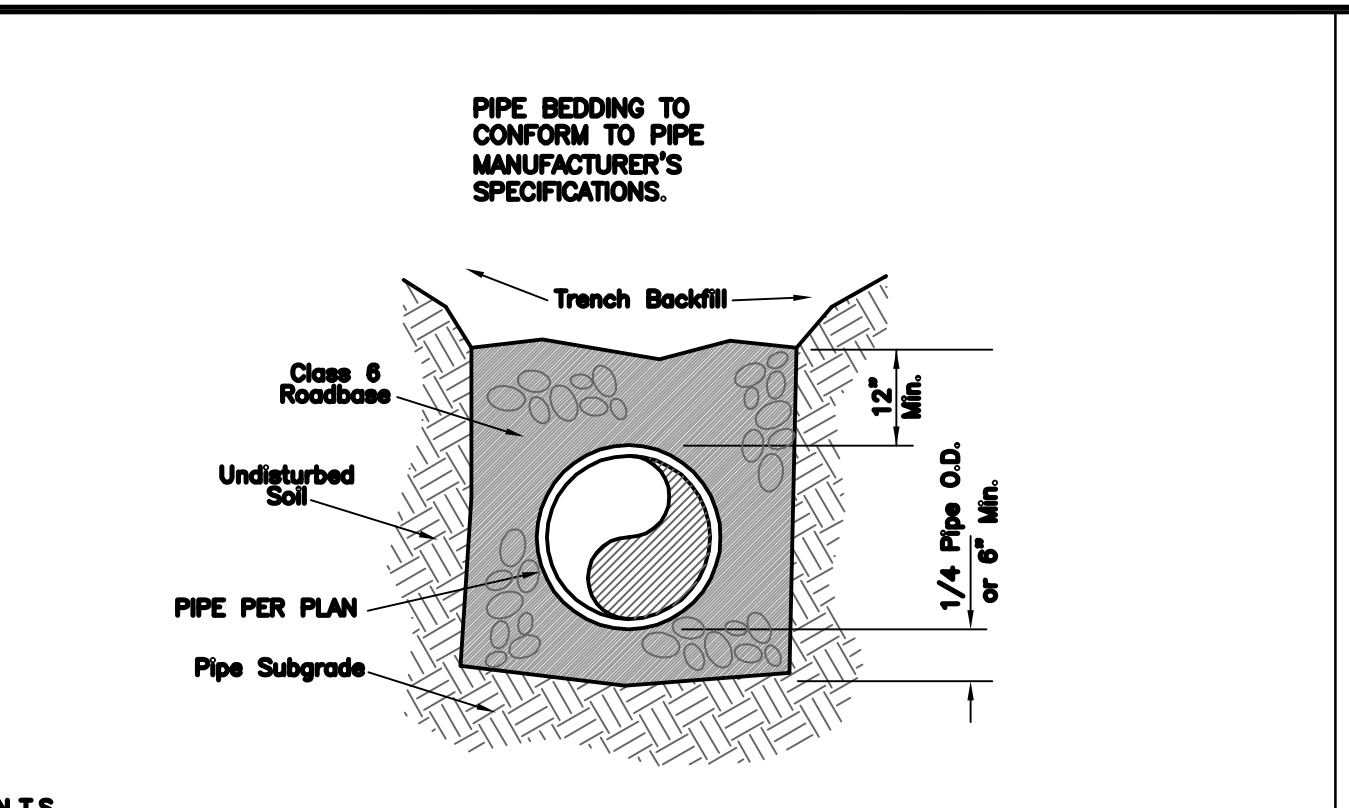
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| DESIGNED | MCW |
| DRAWN | TSL, MCW |
| CHECKED | MCW |
| JOB NO. | |
| DATE | 11/19/2024 |



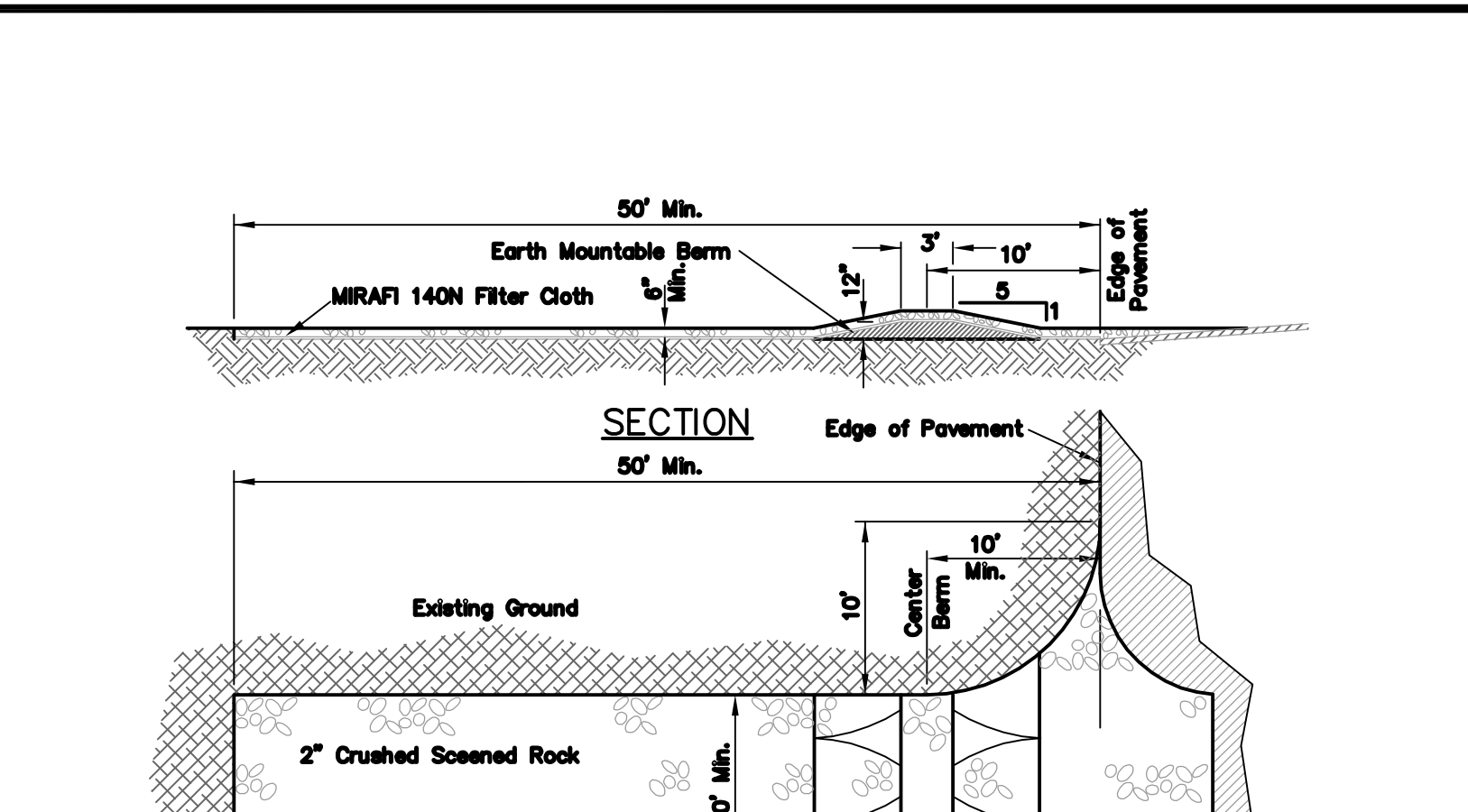
A CONCRETE DRIVEWAY SECTION



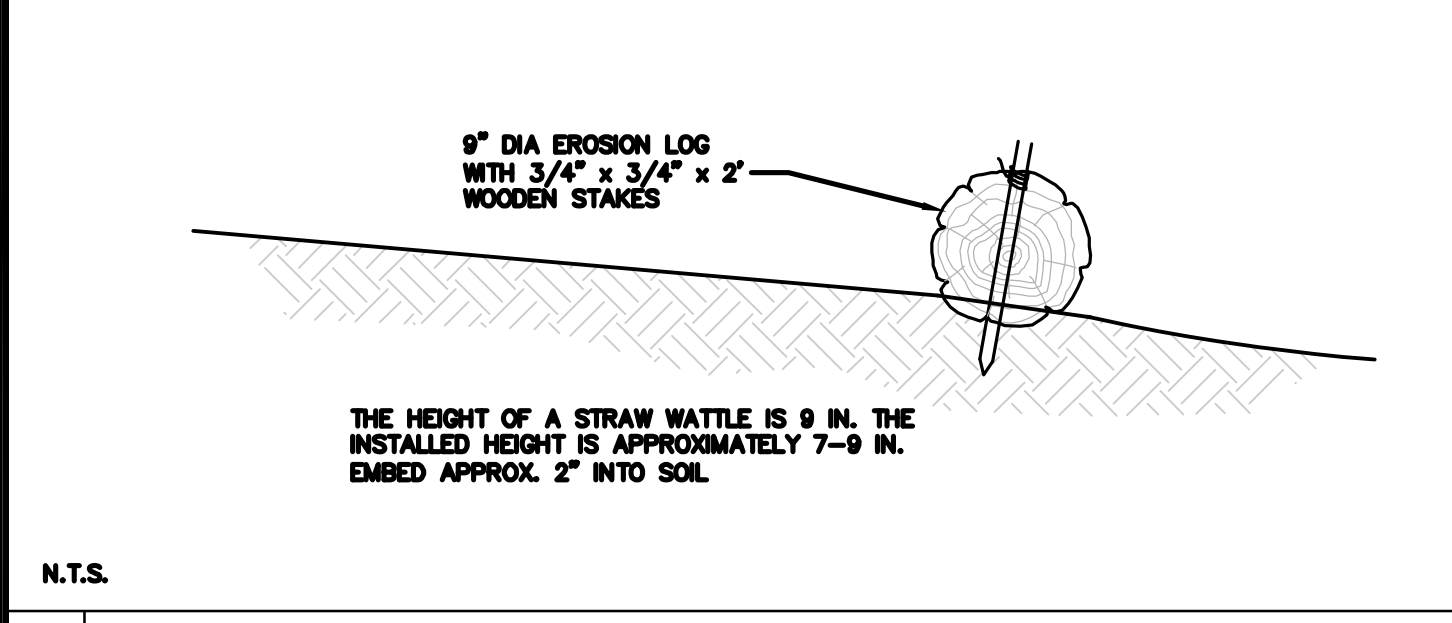
E DOWNSPOUT (BURIED)



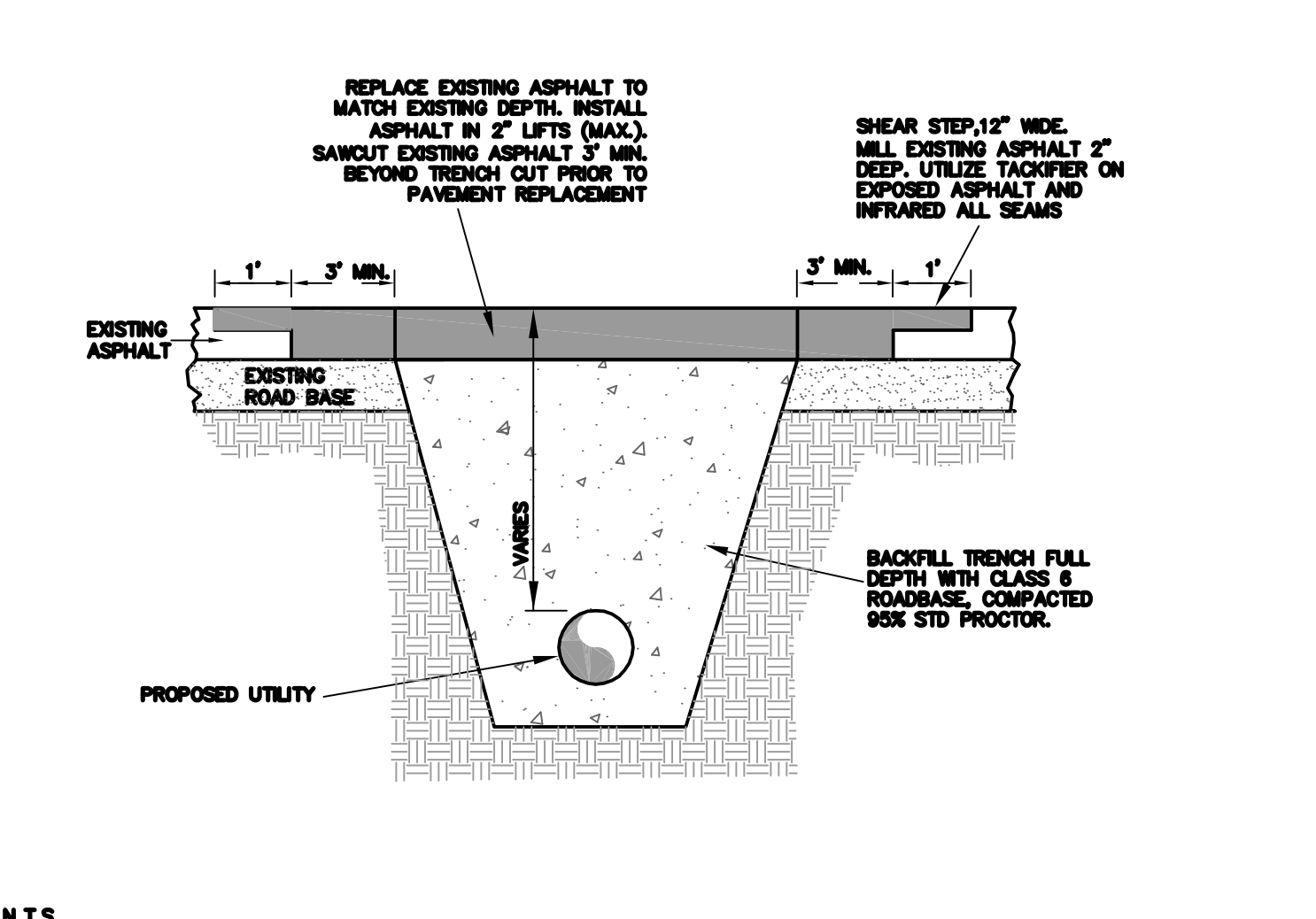
I CULVERT BEDDING



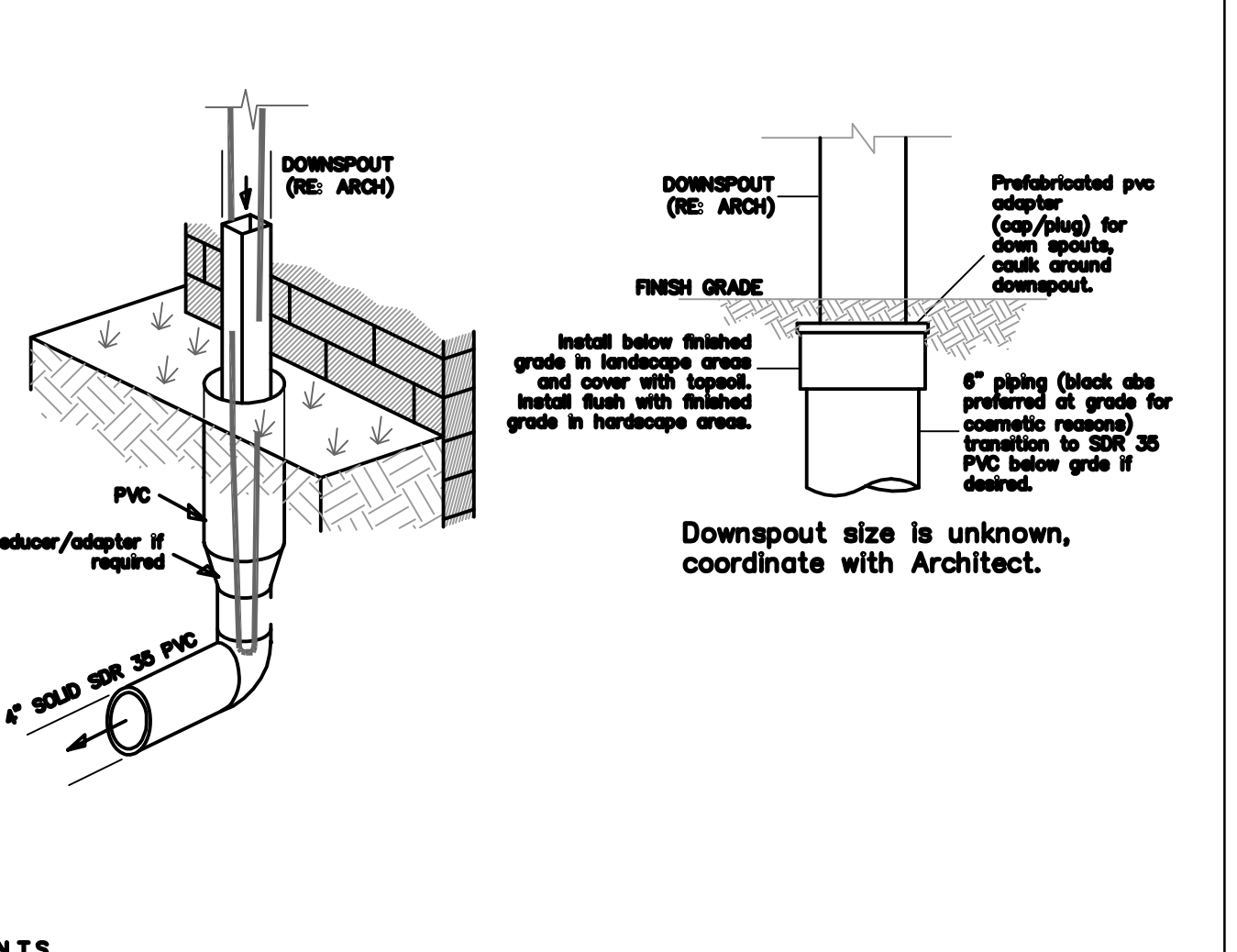
K STABILIZED CONSTRUCTION ENTRANCE



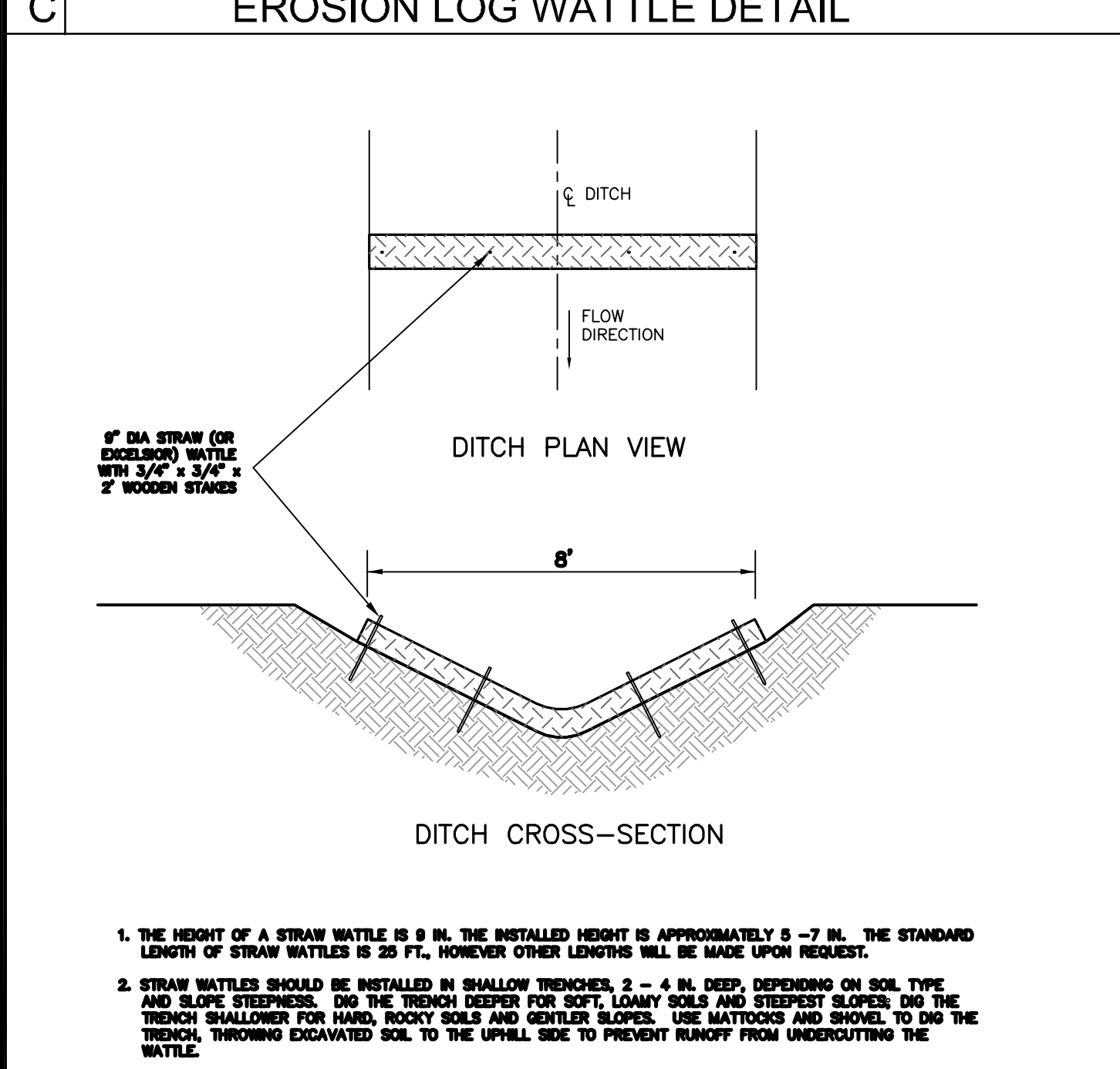
C EROSION LOG WATTLE DETAIL



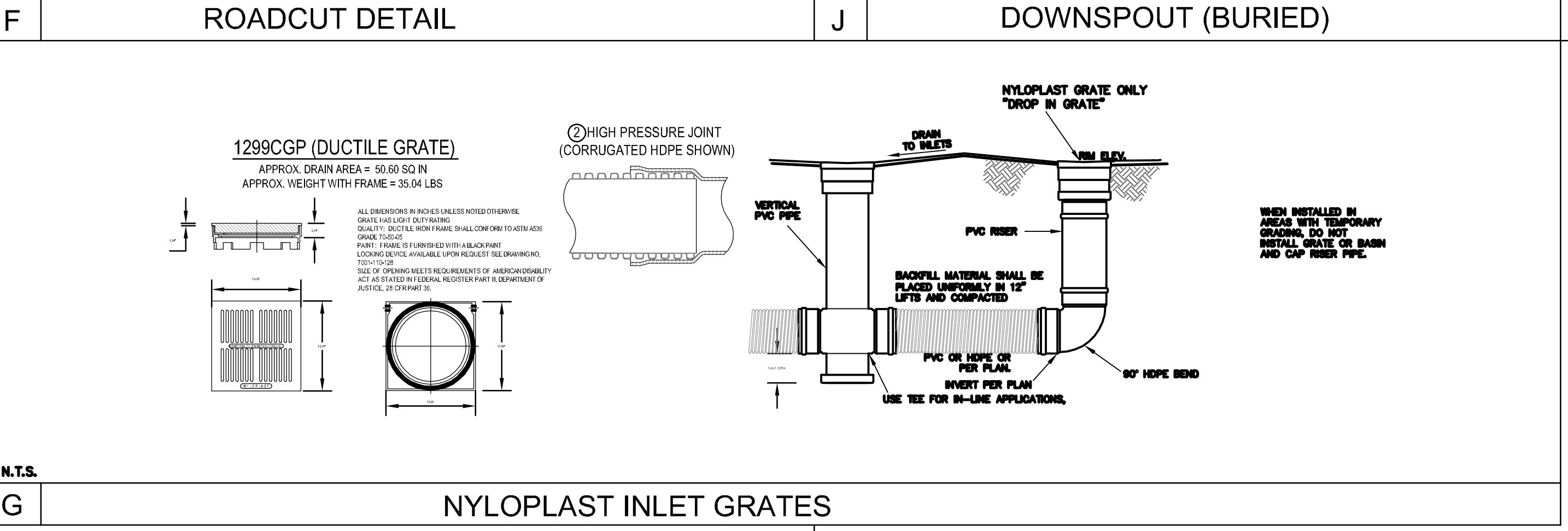
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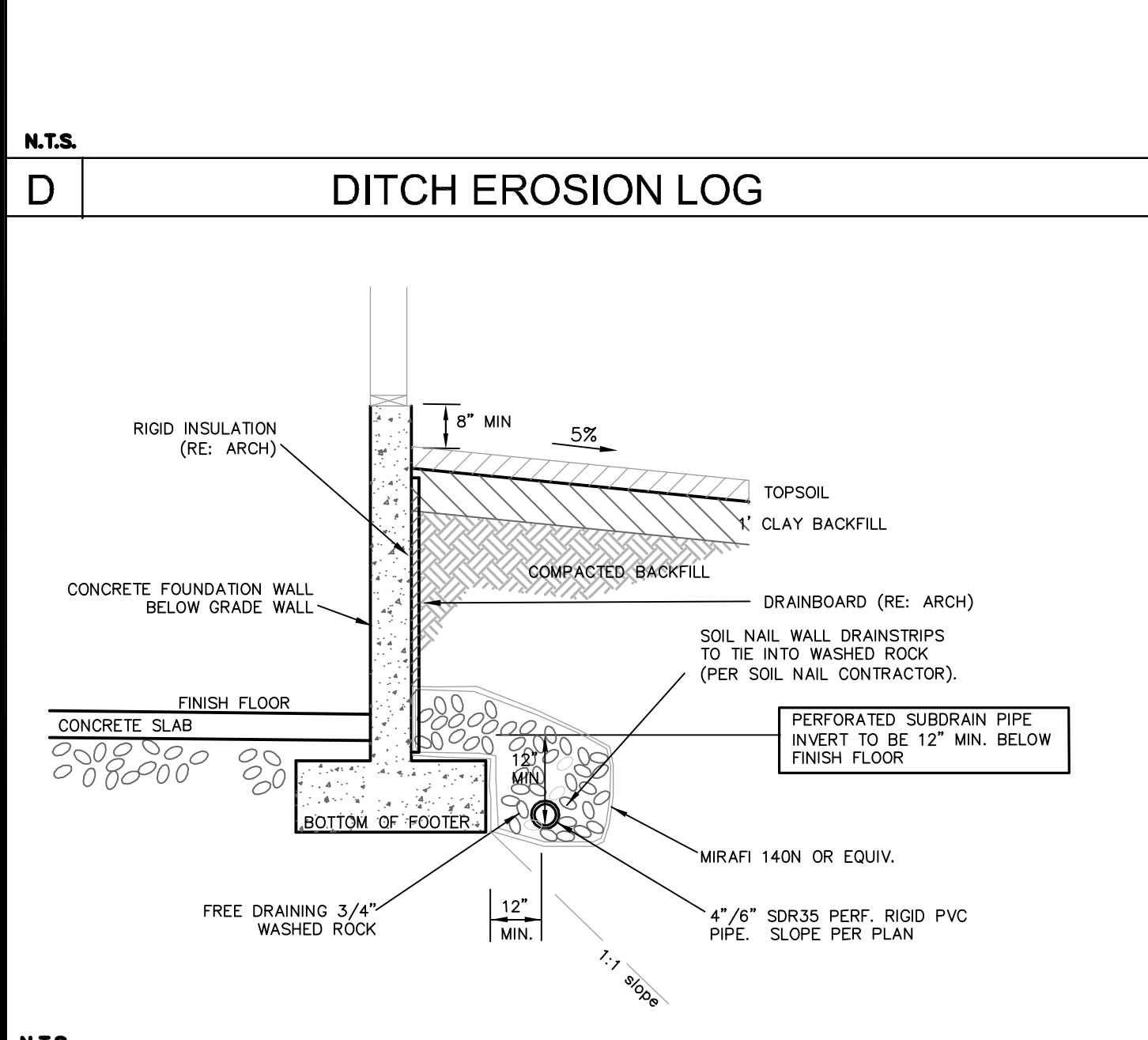
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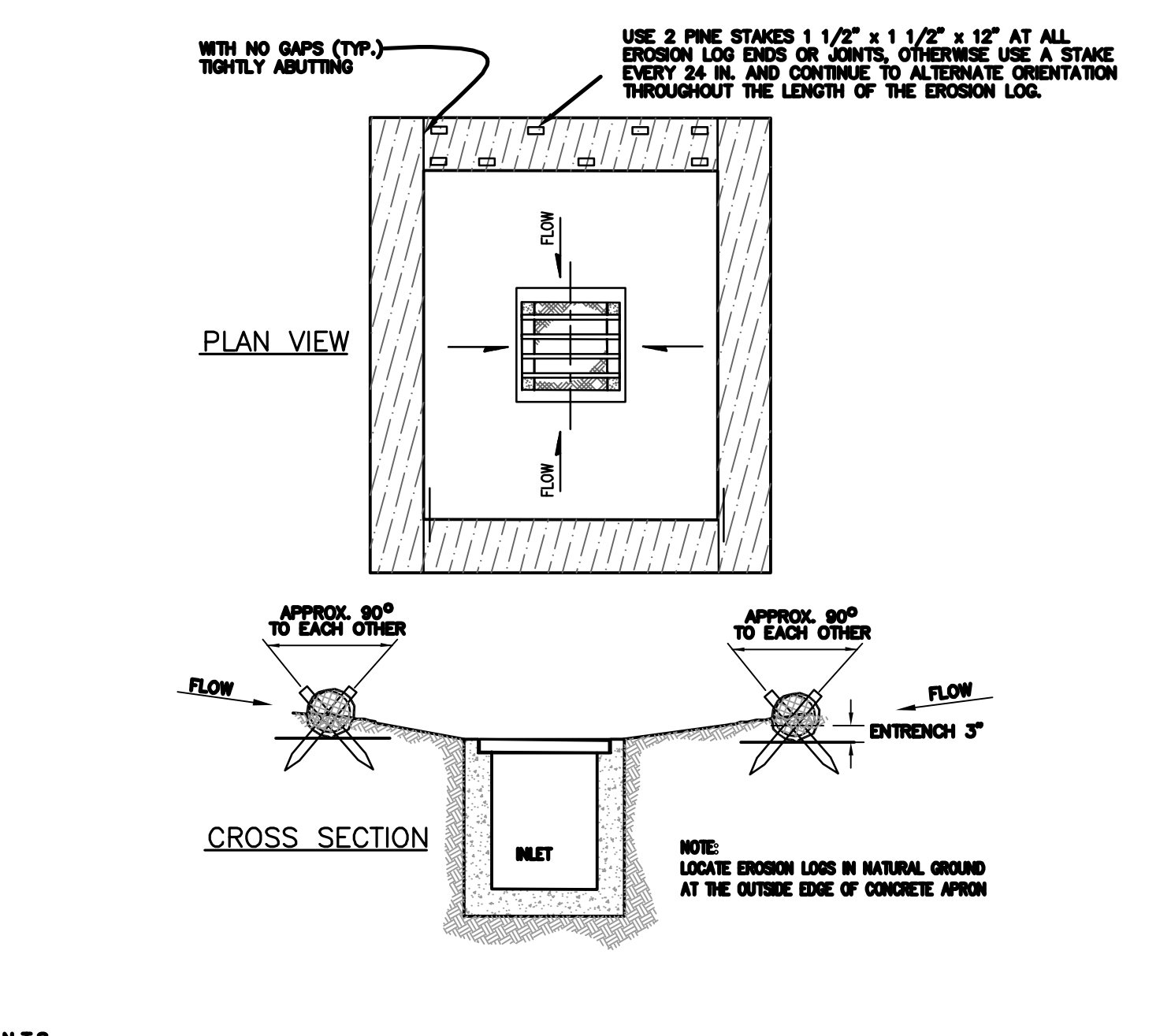
D DITCH EROSION LOG



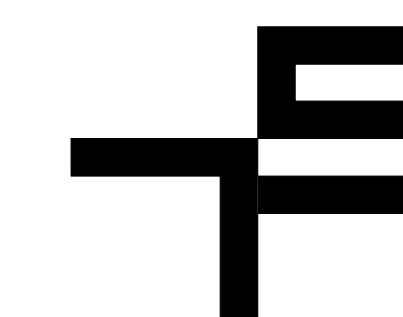
G NYLOPLAST INLET GRATES



B EXTERIOR FOUNDATION PERIMETER DRAIN



H EROSION LOG INLET PROTECTION



TOBIN SMITH ARCHITECT

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EAGLE RIVER RESIDENCE

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DYSBURG, CO 81037
970.390.4931

STRUCTURAL ENGINEER
COMPANY
ADDRESS
CITY, STATE ZIP
XXX XXXX XXXX T

MECHANICAL CONSULTANT
COMPANY
ADDRESS
CITY, STATE ZIP
XXX XXXX XXXX T

LIGHTING CONSULTANT
VESPR DESIGNS, LLC
P.O. BOX 90599
SAN ANTONIO, TX 78209
347.821.1914 T

GEOTECHNICAL ENGINEER
COMPANY
ADDRESS
CITY, STATE ZIP
XXX XXXX XXXX T

SURVEYOR
MPP LAND SURVEYING
P.O. BOX 3154
EAGLE, CO 81631
970.390.9540 T

05 FEB 2025 PROJ. NO. 2401

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DESIGN REVIEW PACKAGE

SITE CONTEXT

A100

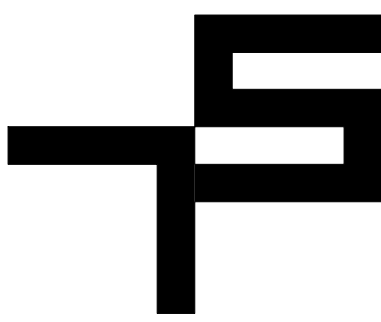


2 SITE CONTEXT - EYE LEVEL VIEW



1 SITE CONTEXT - AERIAL VIEW

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EAGLE RIVER RESIDENCE

532 MAIN STREET MINTURN, CO 81645

ARCHITECT TOBIN SMITH ARCHITECT 2201 SAN PEDRO AVE. SAN ANTONIO, TX 78212 210.871.4744

ARCHITECTURAL CONSULTANT MPV DESIGN SHOP, INC. P.O. BOX 288 OTTUMWA, CO 81637 970.390.4931

STRUCTURAL ENGINEER COMPANY ADDRESS CITY, STATE ZIP XXX XXX XXXX T

CIVIL ENGINEER ALPINE ENGINEERING, INC. 34510 HWY 6, UNIT A9 / P.O. BOX 97 EDWARDS, CO 81612 970.926.3373 T

MECHANICAL CONSULTANT COMPANY ADDRESS CITY, STATE ZIP XXX XXX XXXX T

LIGHTING CONSULTANT COMPANY ADDRESS CITY, STATE ZIP XXX XXX XXXX T

GEOTECHNICAL ENGINEER KUMAR & ASSOCIATES, INC. 5050 COUNTY ROAD 154 GLENWOOD SPRINGS, CO 81601 970.945.7988 T

SURVEYOR MPV LAND SURVEYING P.O. BOX 3154 GLENWOOD SPRINGS, CO 81601 970.390.9540 T

05 FEB 2025 PROJ. NO. 2401

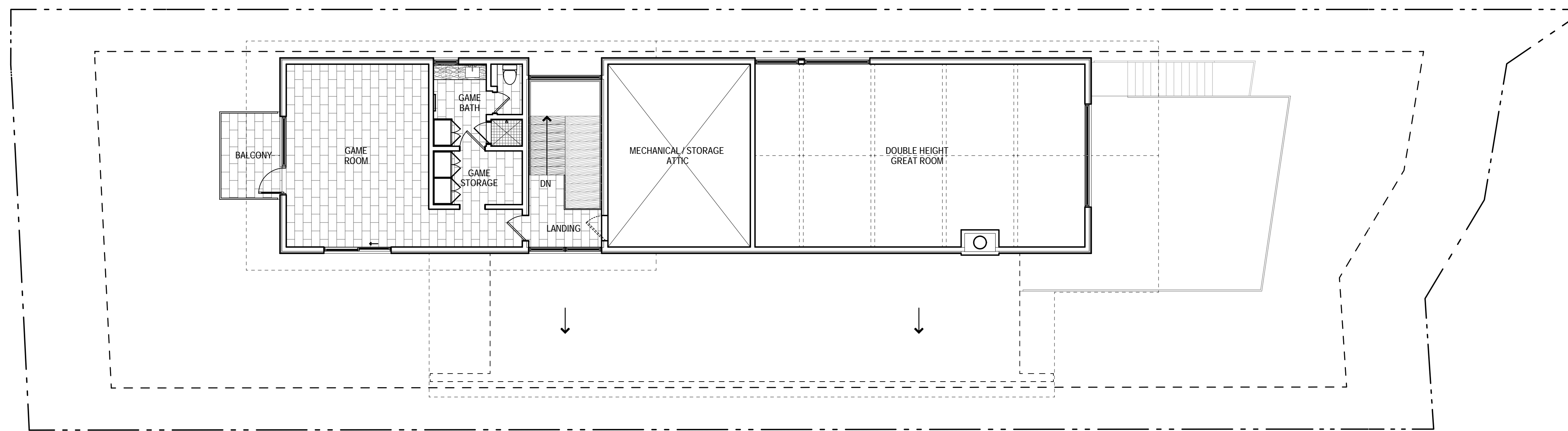
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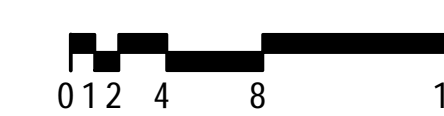
DESIGN REVIEW PACKAGE

SITE PLANS

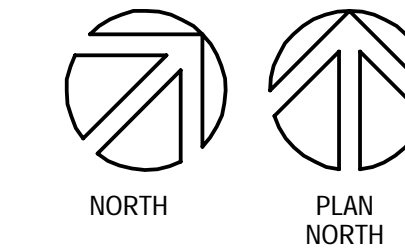
A101



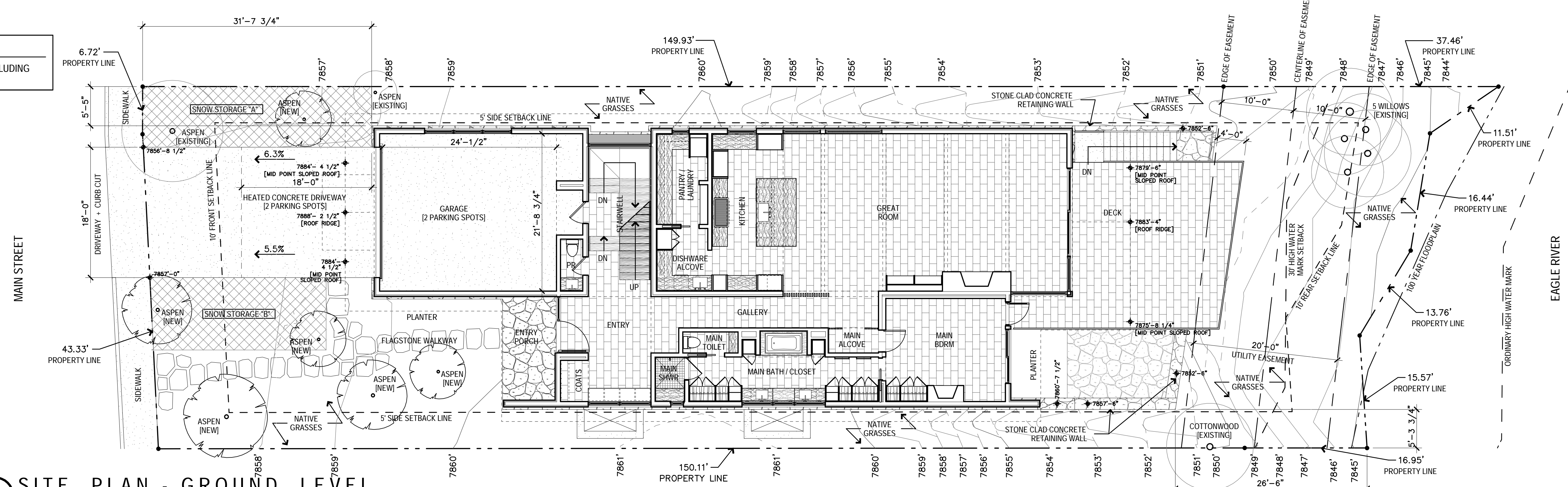
CONDITIONED = 886 SQ FT
BALCONY = 75 SQ FT



3 PLAN - UPPER LEVEL
SCALE: 1/8" = 1'-0"



NOTE:
-SEE EX100 FOR EXISTING BUILDINGS INCLUDING HOUSE, DECK AND SHED STRUCTURES

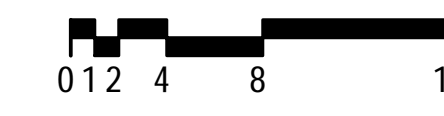


SNOW STORAGE "A" = 265 SQ FT
SNOW STORAGE "B" = 242 SQ FT
TOTAL = 507 SQ FT [5.9% OF LOT AREA]

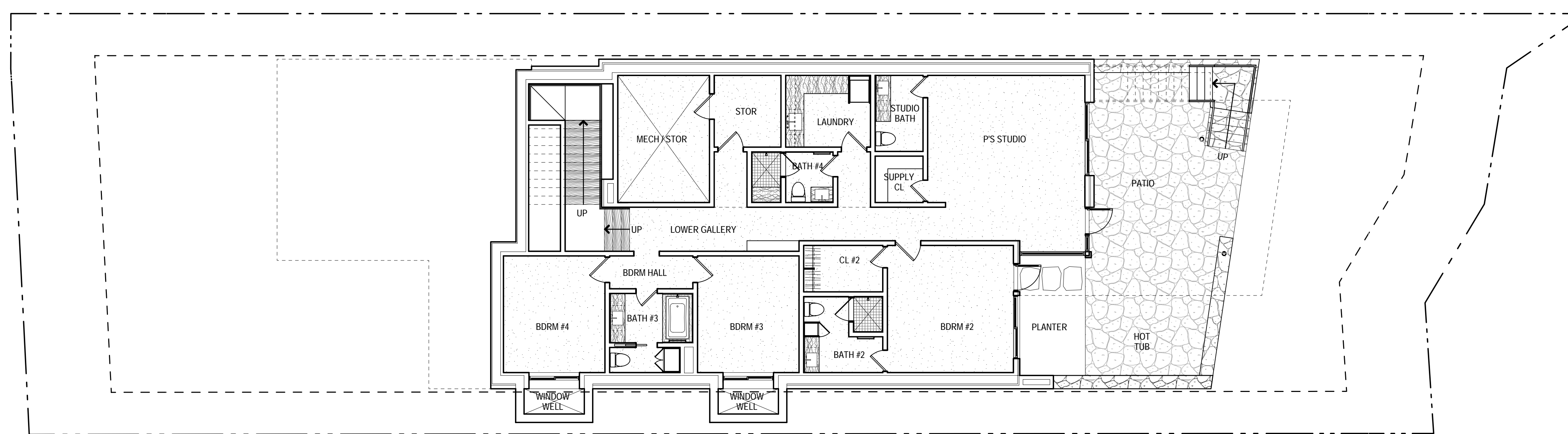
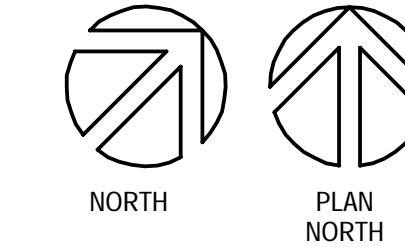
EXISTING TREES = 8
NEW TREES = 6
TOTAL TREES = 14

LOT AREA = 8,640.8 SQ FT
CONDITIONED = 2,595 SQ FT
GARAGE = 665 SQ FT
TOTAL STRUCTURES = 3,260 SQ FT
LOT COVERAGE = 37.7% [45% MAX]

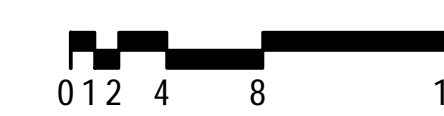
DRIVEWAY = 560 SQ FT
ENTRY PORCH = 113 SQ FT
DECK / STAIRS / PATIO = 780 SQ FT
WINDOW WELL WALLS = 30 SQ FT
TOTAL IMPERV = 4,743 SQ FT [INC STRUCTS]
IMPERV AREA = 54.9% [55% MAX]
*50% OF AREA OVER PREVIOUS YARD BELOW



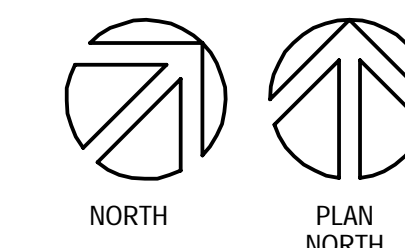
2 SITE PLAN - GROUND LEVEL
SCALE: 1/8" = 1'-0"



CONDITIONED = 2,286 SQ FT
MECHANICAL = 165 SQ FT
PATIO = 688 SQ FT
WINDOW WELL WALLS = 30 SQ FT



1 PLAN - LOWER LEVEL
SCALE: 1/8" = 1'-0"



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970.390.4931

STRUCTURAL ENGINEER
COMPANY
ADDRESS
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ALPINE ENGINEERING, INC.
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EDWARDS, CO 81632
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MPR LAND SURVEYING
P.O. BOX 3154
OTISDALE, CO 81637
970.390.9545 T

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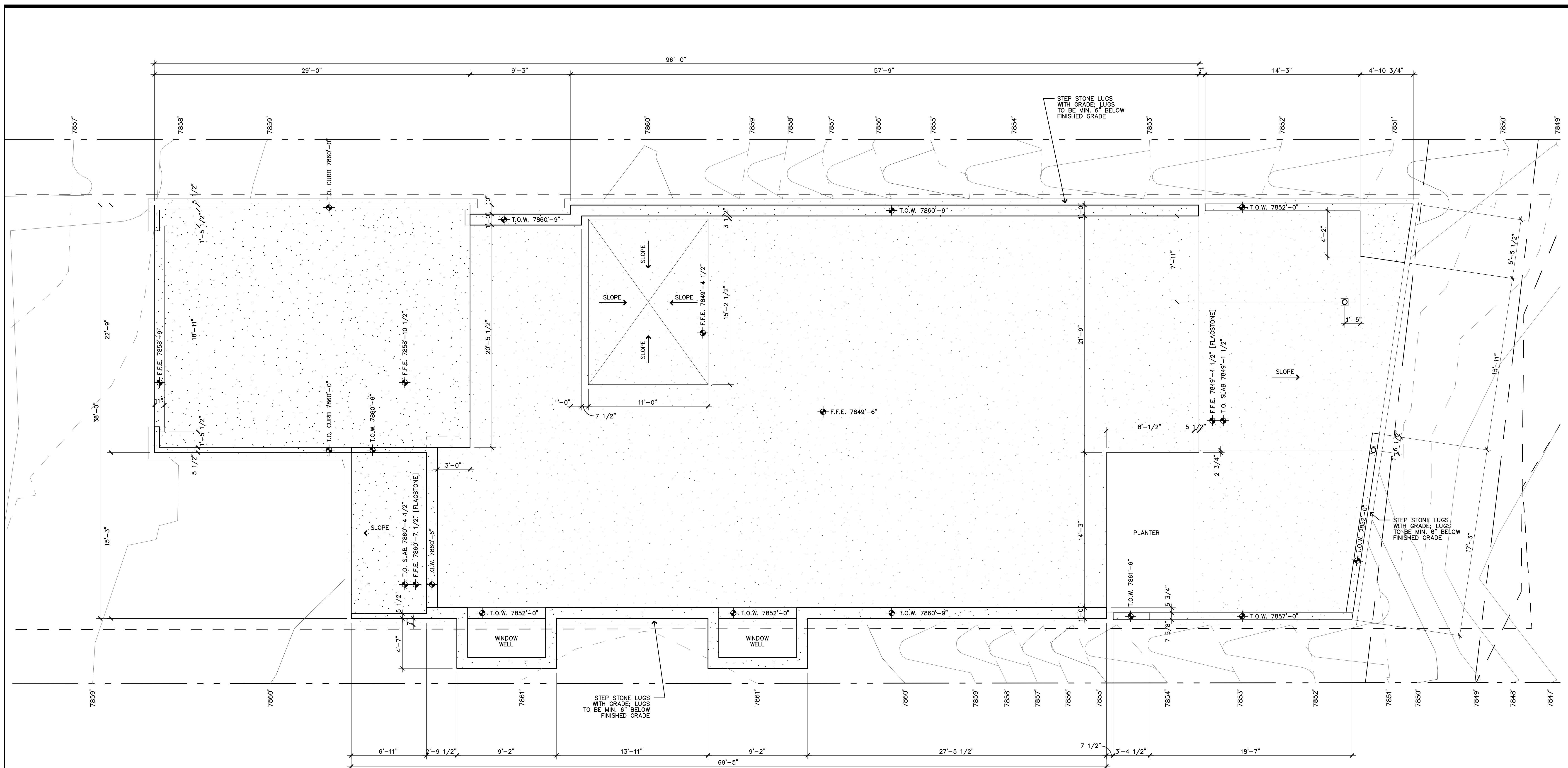
PROJ. ARCHITECT TS DRAWN BY

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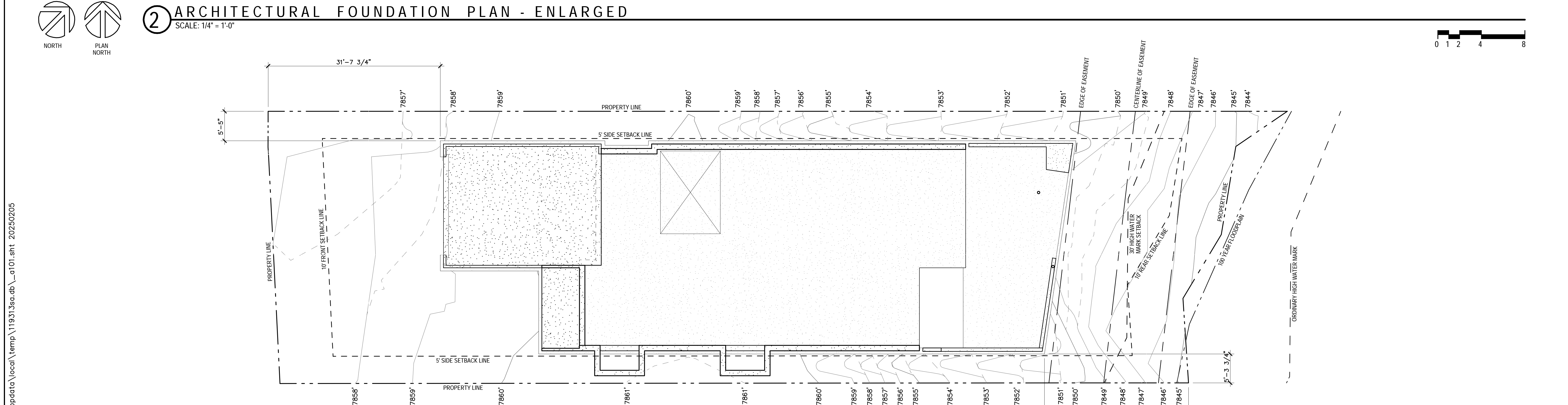
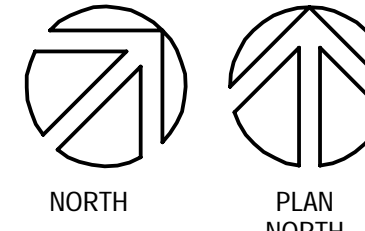
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ARCHITECTURAL FOUNDATION PLANS

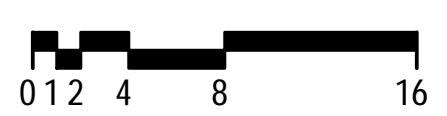
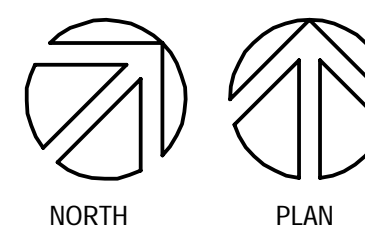
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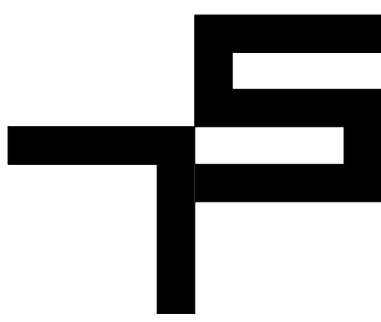
2 ARCHITECTURAL FOUNDATION PLAN - ENLARGED
SCALE: 1/4" = 1'-0"



1 ARCHITECTURAL FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



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OTISDALE, CO 81637
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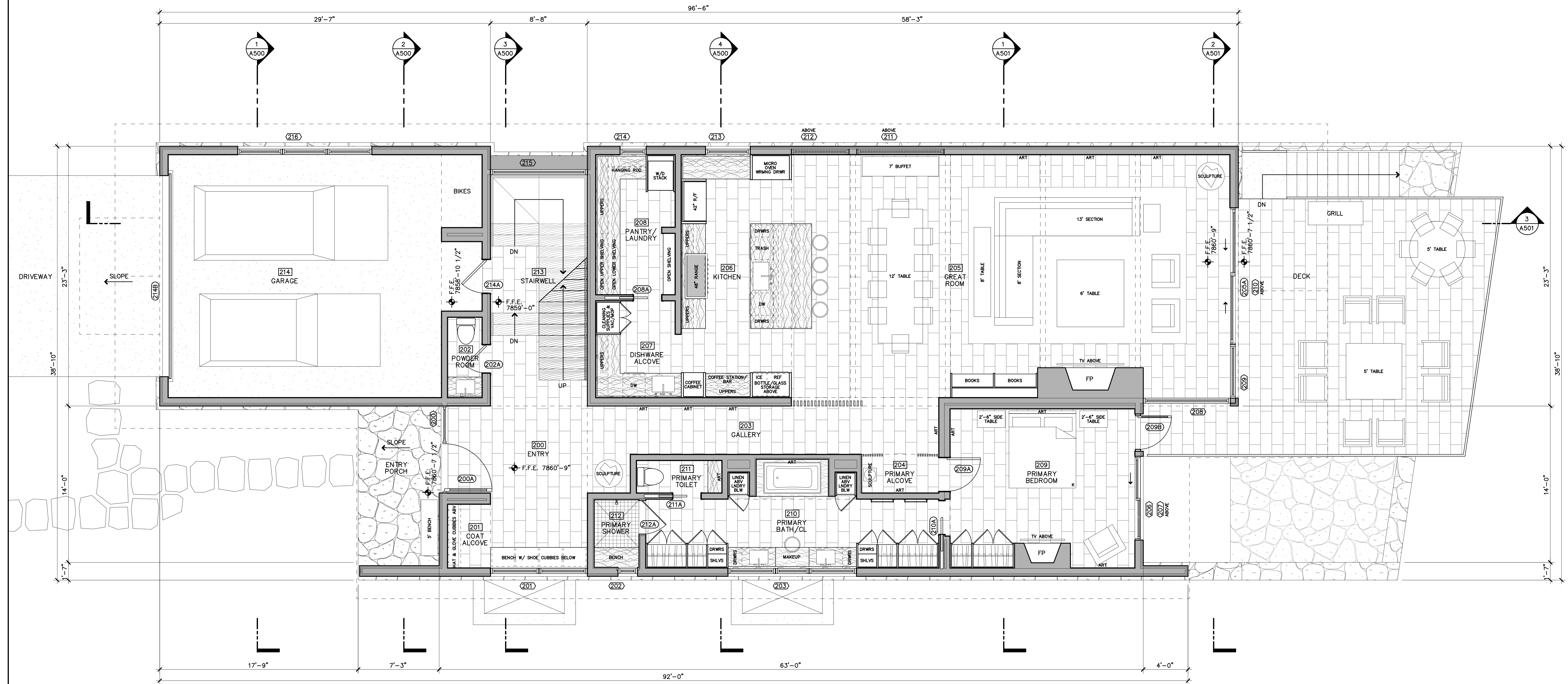
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FLOOR PLAN-GROUND LEVEL

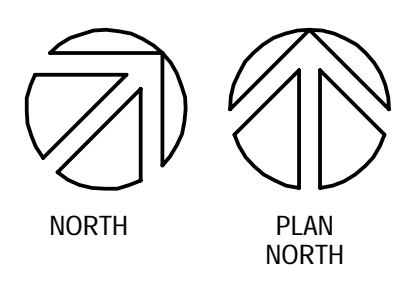
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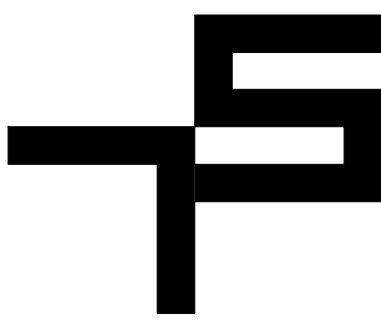
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| | PORCELAIN |
| | CONCRETE |
| | TILE |
| | WOOD |
| | STONE [SLAB] |
| | FLAGSTONE |



1 FLOOR PLAN - GROUND LEVEL
SCALE: 1/4" = 1'-0"



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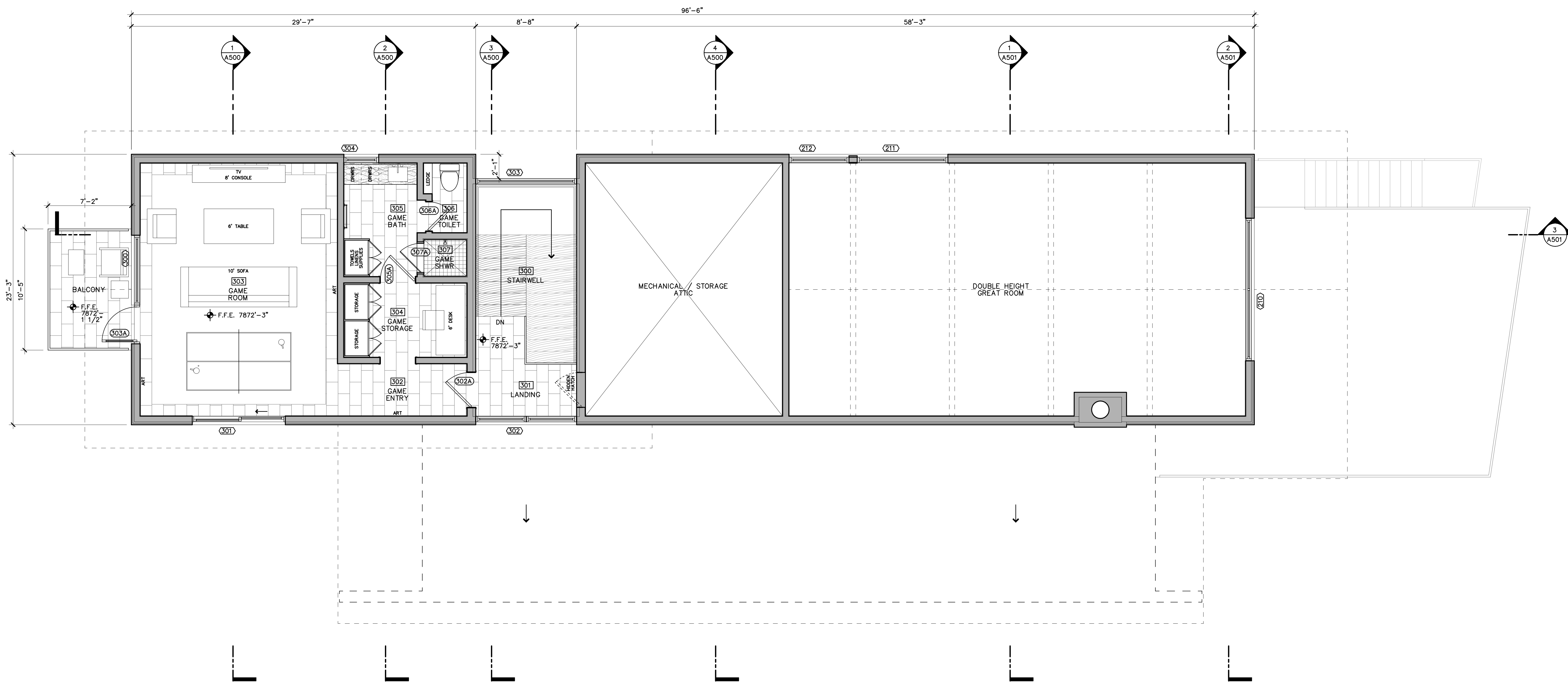
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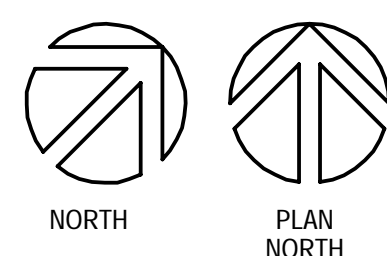
FLOOR PLAN-
UPPER LEVEL

A201

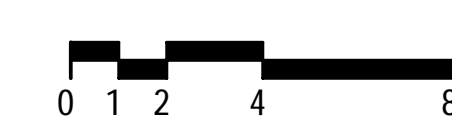
| SYMBOL LEGEND | |
|---------------|--------------|
| | PORCELAIN |
| | CONCRETE |
| | TILE |
| | WOOD |
| | STONE [SLAB] |
| | FLAGSTONE |



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1 FLOOR PLAN - UPPER LEVEL
SCALE: 1/4" = 1'-0"





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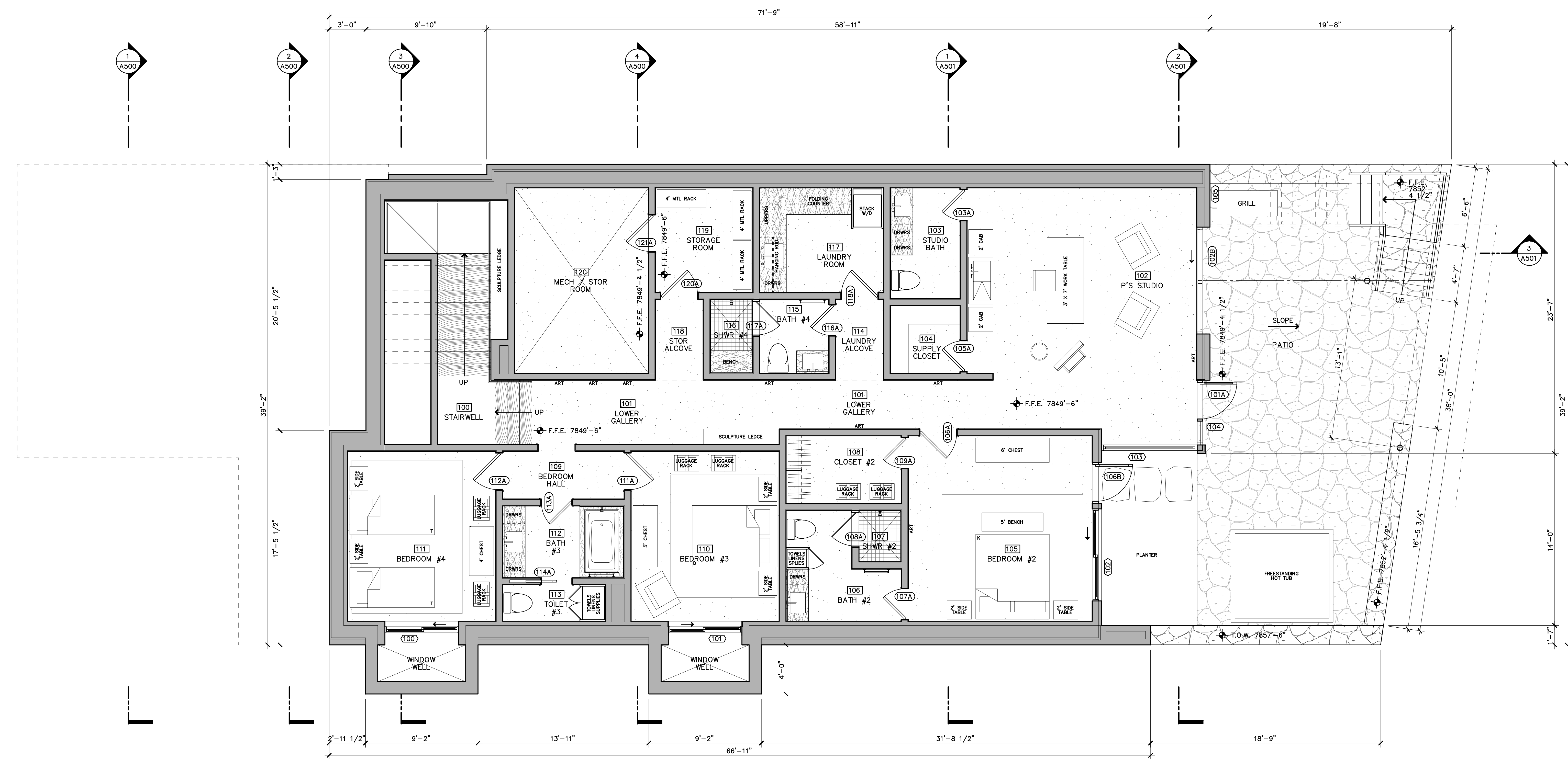
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FLOOR PLAN - LOWER LEVEL

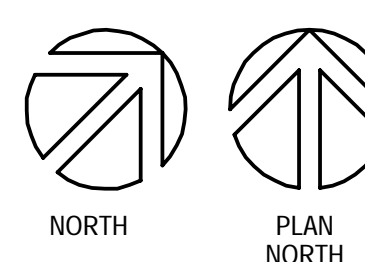
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SYMBOL LEGEND

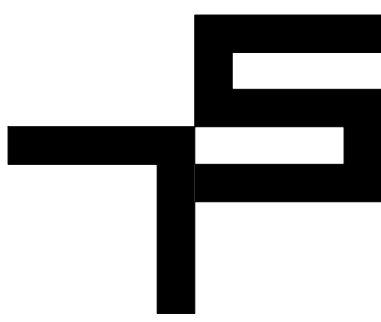
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| | PORCELAIN |
| | CONCRETE |
| | TILE |
| | WOOD |
| | STONE [SLAB] |
| | FLAGSTONE |



1 FLOOR PLAN - LOWER LEVEL
SCALE: 1/4" = 1'-0"



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970 945 7988 T

SURVEYOR
MPV LAND SURVEYING
P.O. BOX 3164
EAGLE, CO 81631
970 390 9540 T

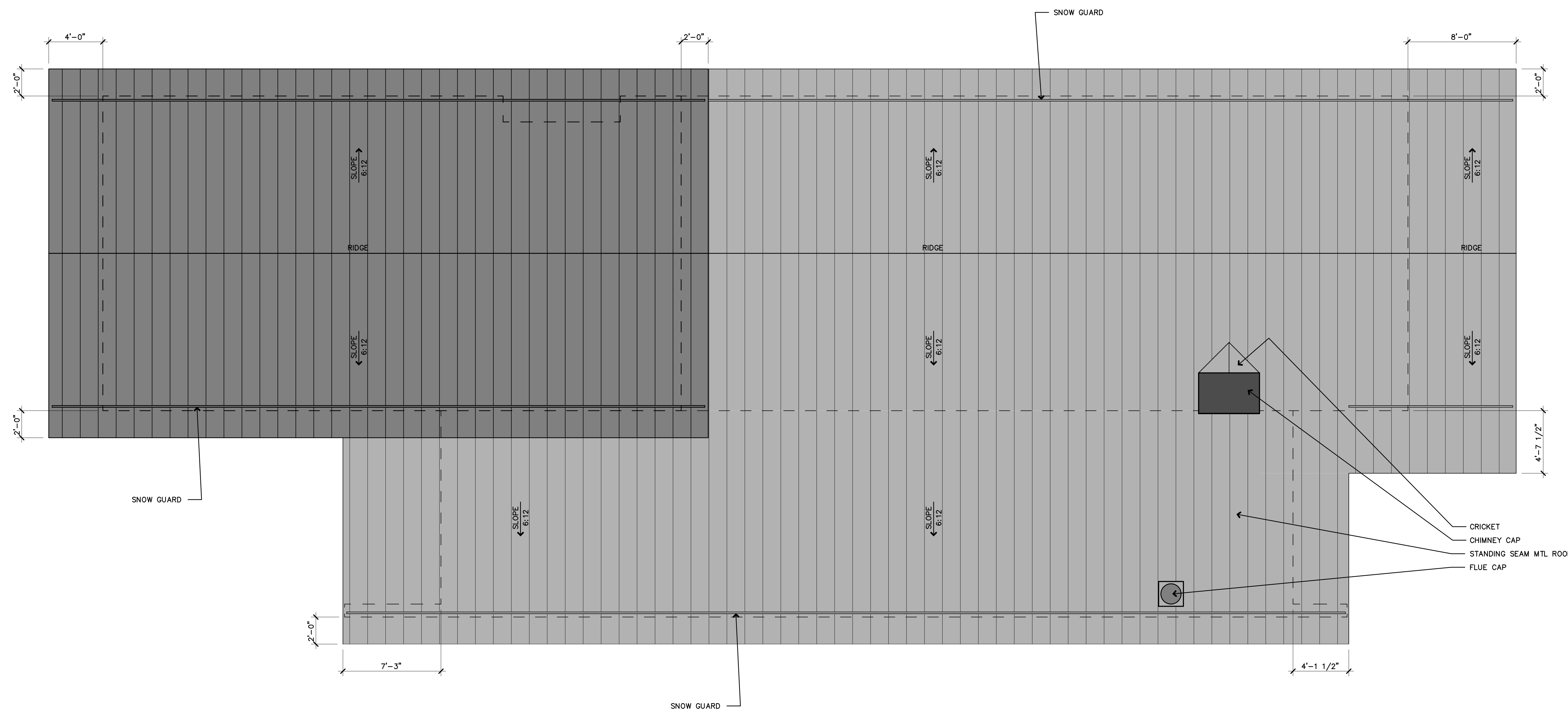
05 FEB 2025 PROJ. NO. 2401
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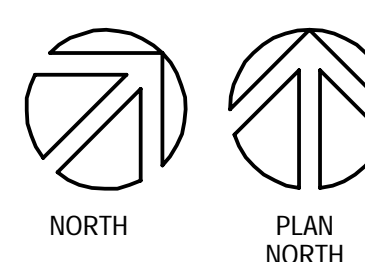
DESIGN REVIEW PACKAGE

ROOF PLAN

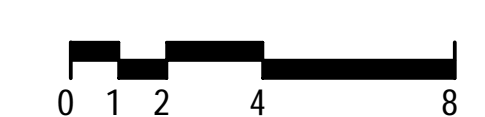
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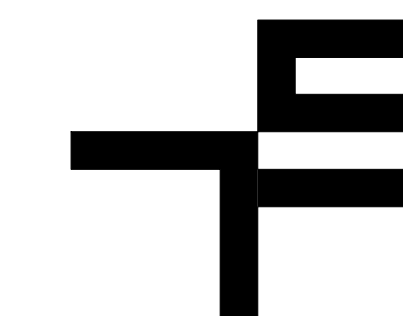


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1 ROOF PLAN
SCALE: 1/4" = 1'-0"





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970 945 7988 T

SURVEYOR
MPF LAND SURVEYING
P.O. BOX 3154
EAGLE, CO 81631
970 390 9540 T

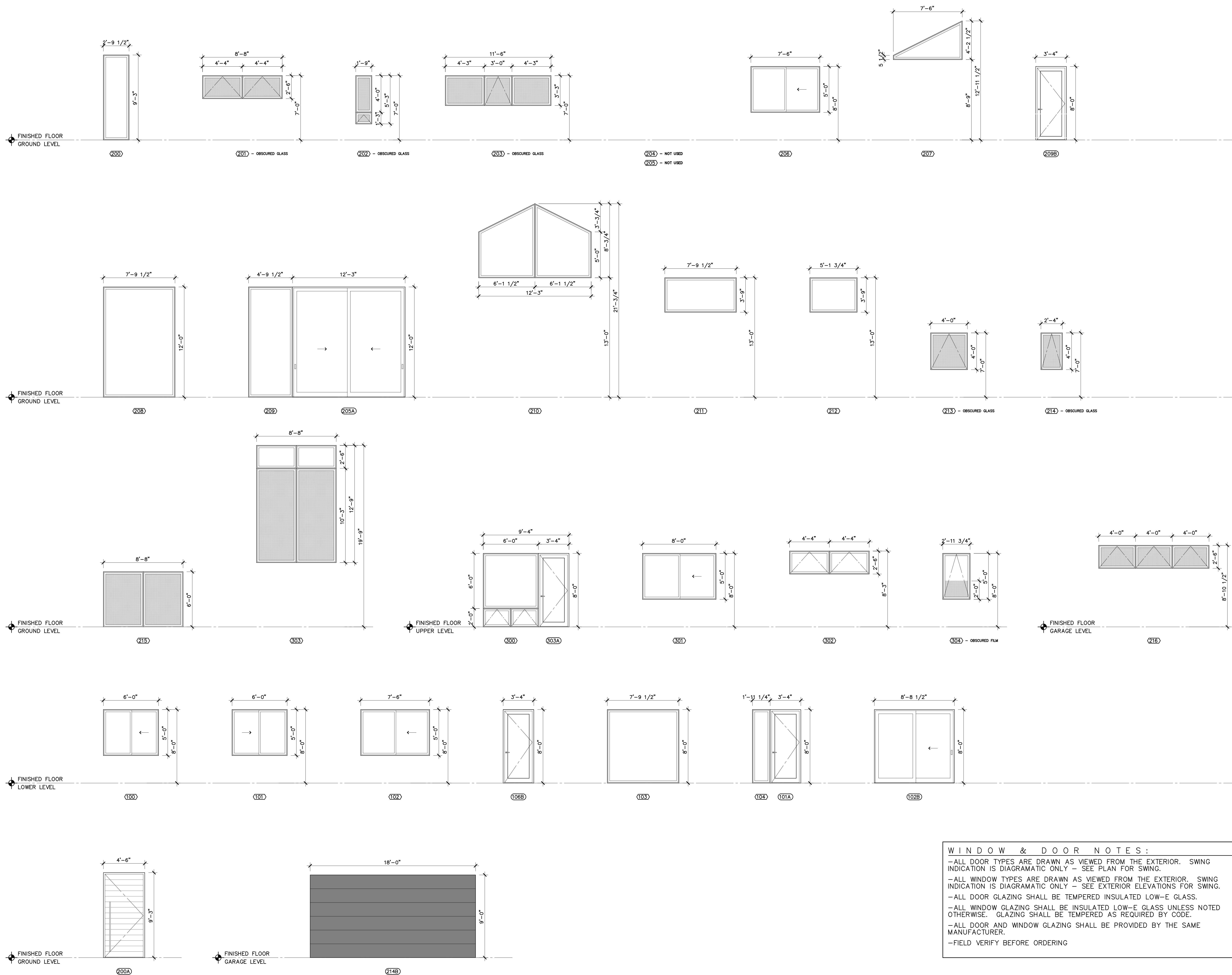
05 FEB 2025 PROJ. NO. 2401
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EXTERIOR DOOR & WIND SCHEDULE

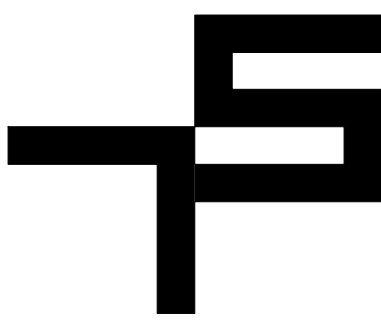
A260



WINDOW & DOOR NOTES:
 -ALL DOOR TYPES ARE DRAWN AS VIEWED FROM THE EXTERIOR. SWING INDICATION IS DIAGRAMATIC ONLY - SEE PLAN FOR SWING.
 -ALL WINDOW TYPES ARE DRAWN AS VIEWED FROM THE EXTERIOR. SWING INDICATION IS DIAGRAMATIC ONLY - SEE EXTERIOR ELEVATIONS FOR SWING.
 -ALL DOOR GLAZING SHALL BE TEMPERED INSULATED LOW-E GLASS.
 -ALL WINDOW GLAZING SHALL BE INSULATED LOW-E GLASS UNLESS NOTED OTHERWISE. GLAZING SHALL BE TEMPERED AS REQUIRED BY CODE.
 -ALL DOOR AND WINDOW GLAZING SHALL BE PROVIDED BY THE SAME MANUFACTURER.
 -FIELD VERIFY BEFORE ORDERING

1 EXTERIOR WINDOW & DOOR SCHEDULE
SCALE: 1/4" = 1'-0"

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MPD LAND SURVEYING
P.O. BOX 3154
EAGLE, CO 81631
970 390 9540 T

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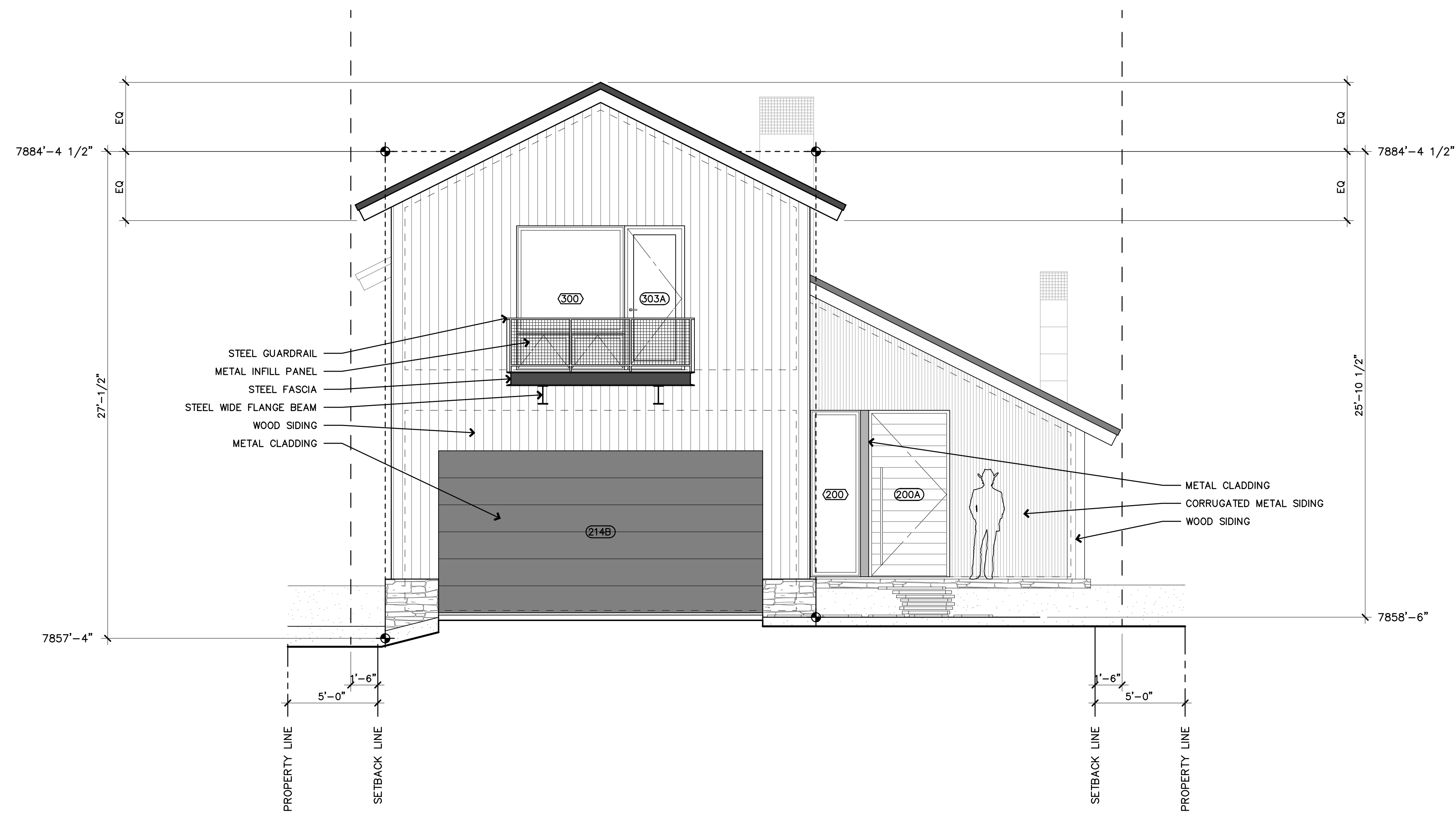
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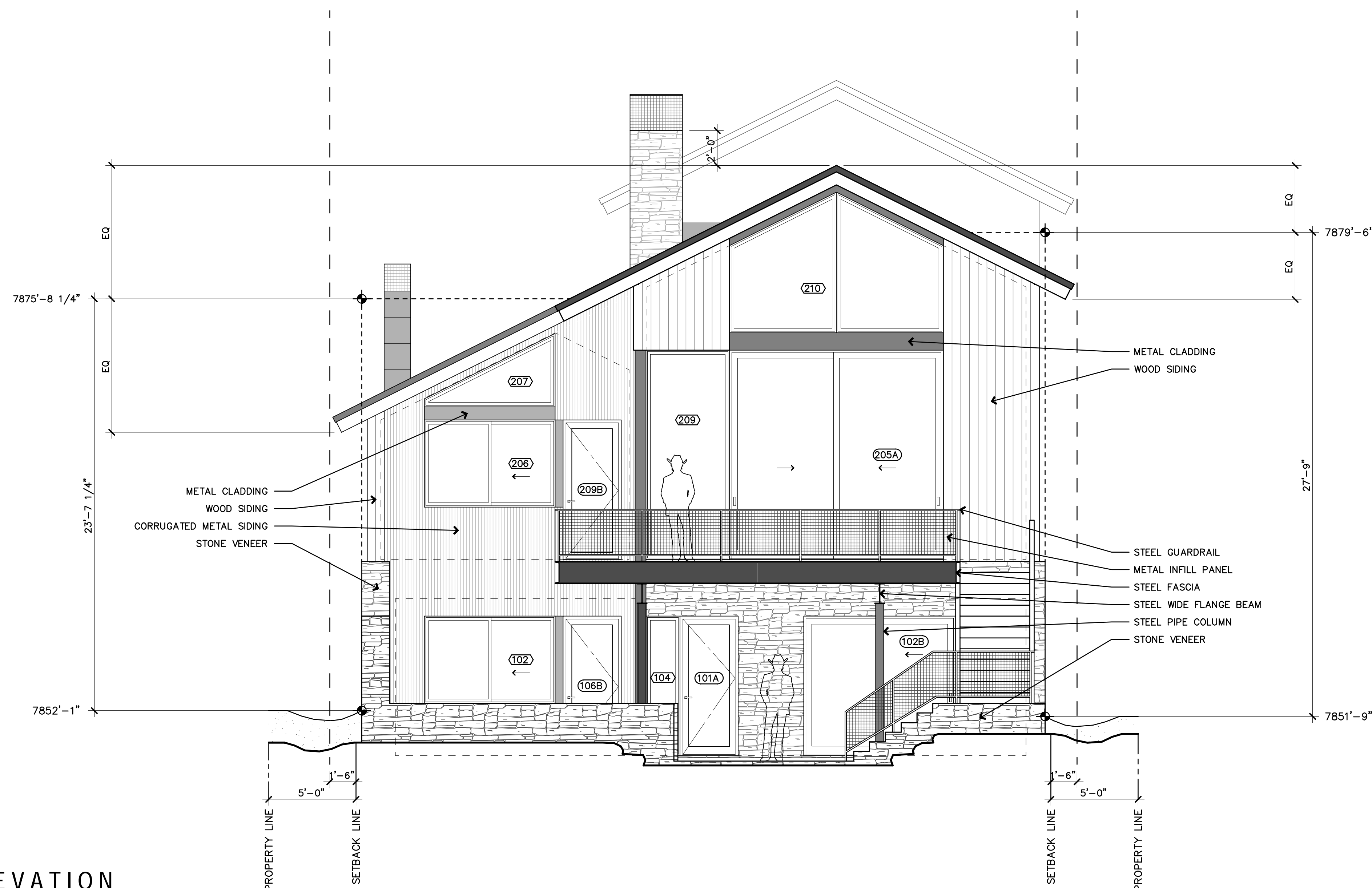
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EXTERIOR ELEVATIONS

A400

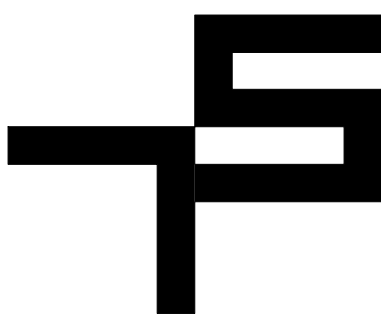


1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"





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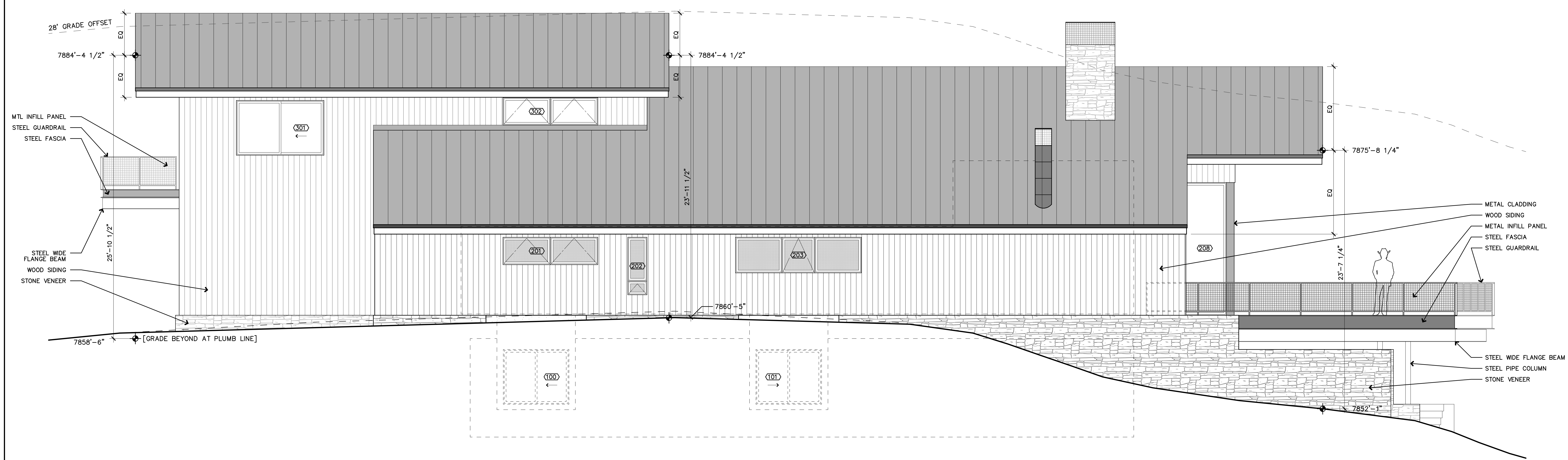
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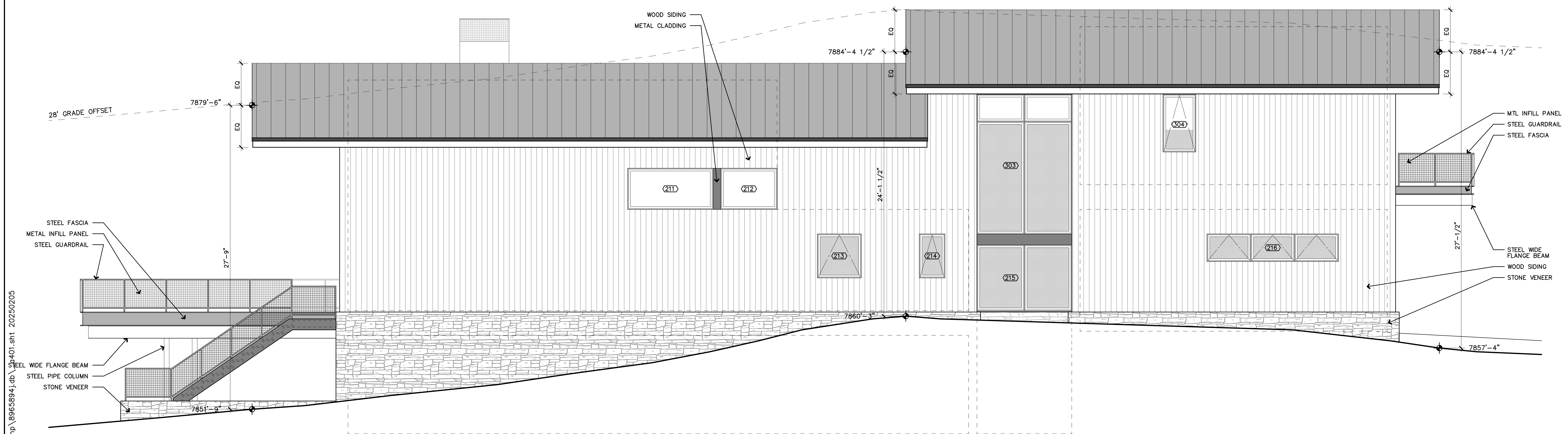
DESIGN REVIEW PACKAGE

EXTERIOR ELEVATIONS

A401

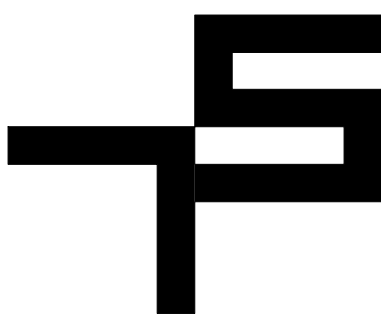


1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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970 390 9540 T

05 FEB 2025 PROJ. NO. 2401

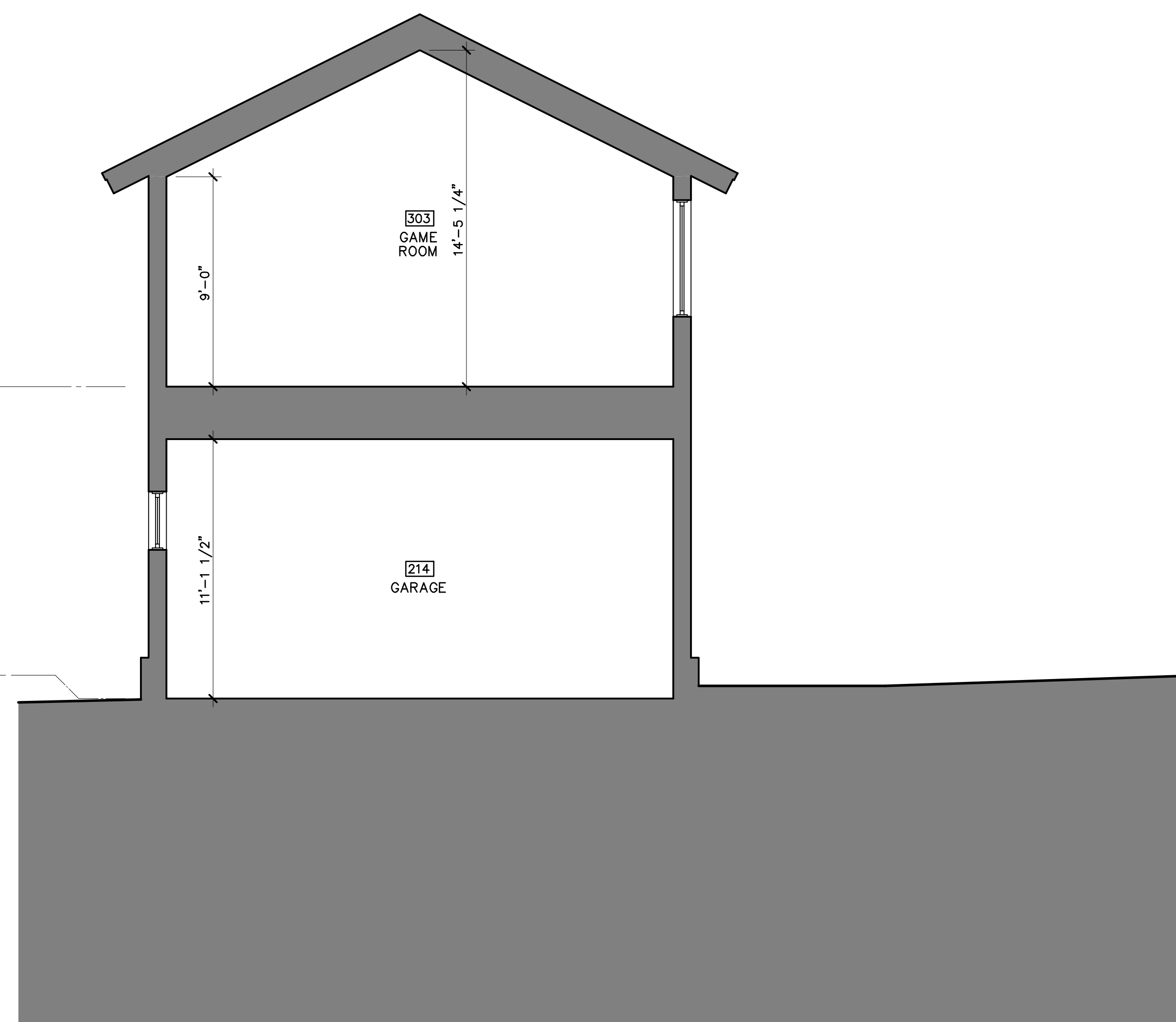
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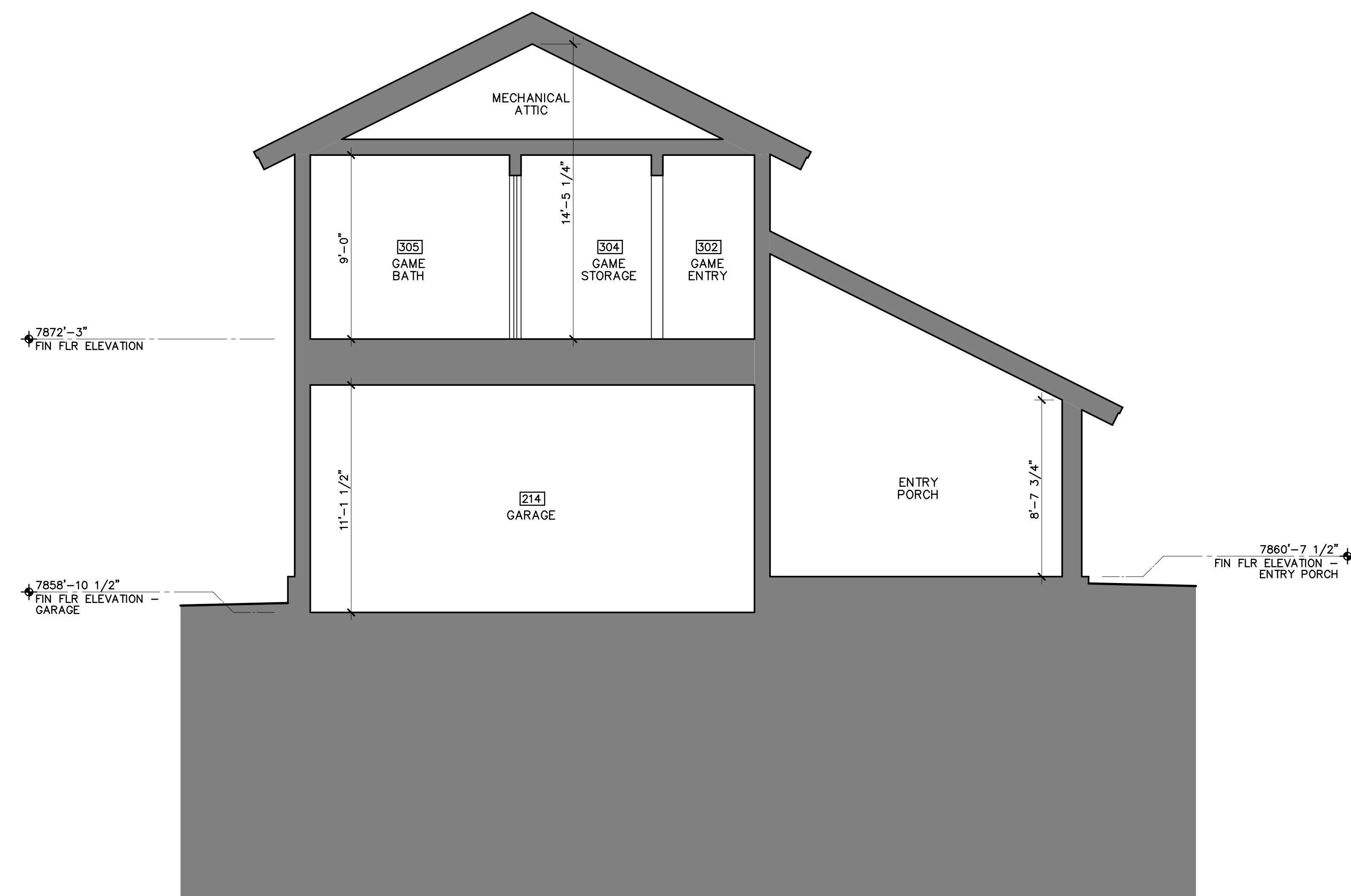
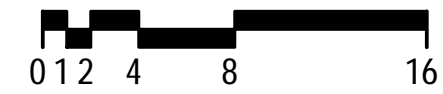
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BUILDING SECTIONS

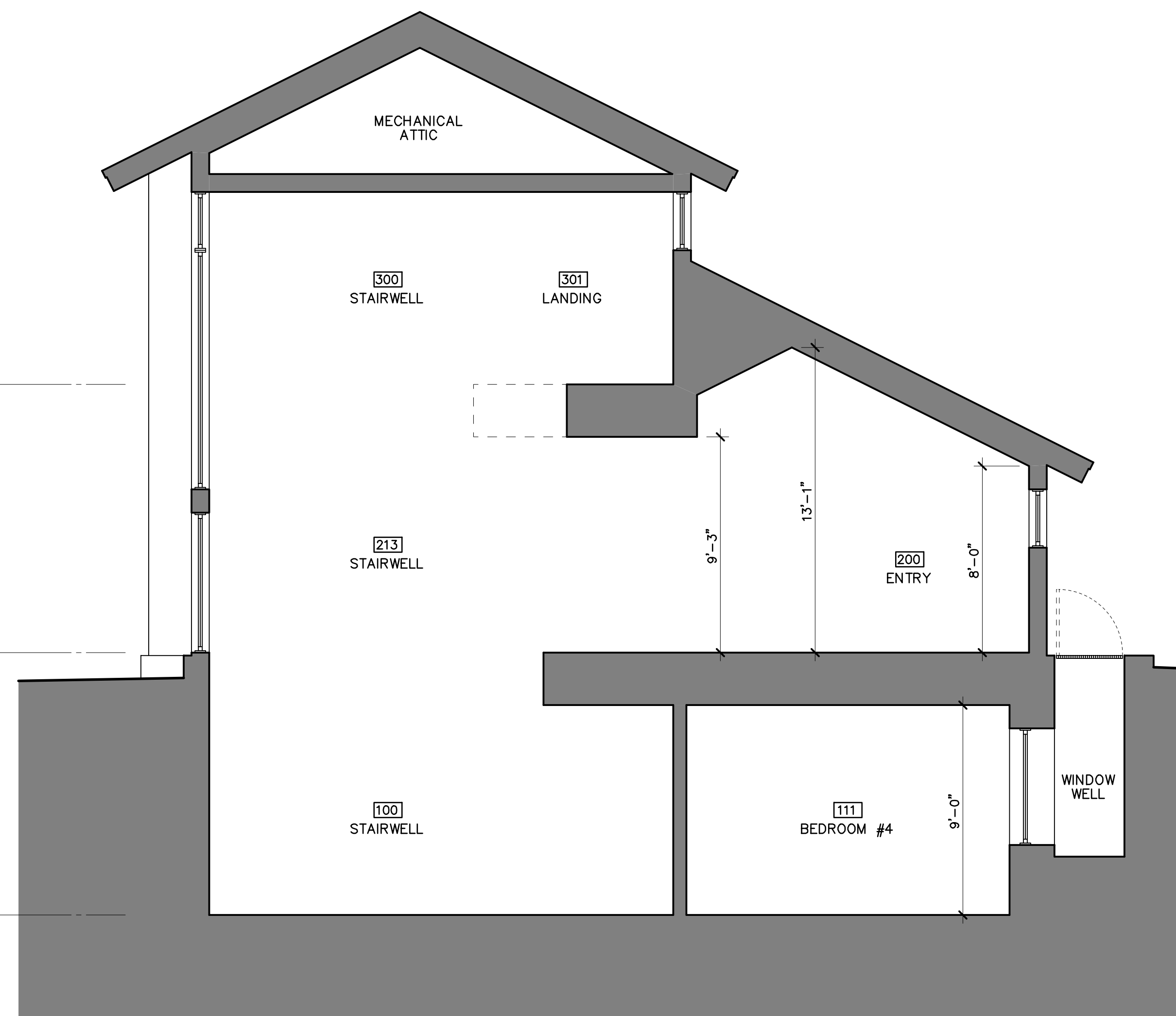
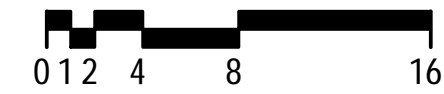
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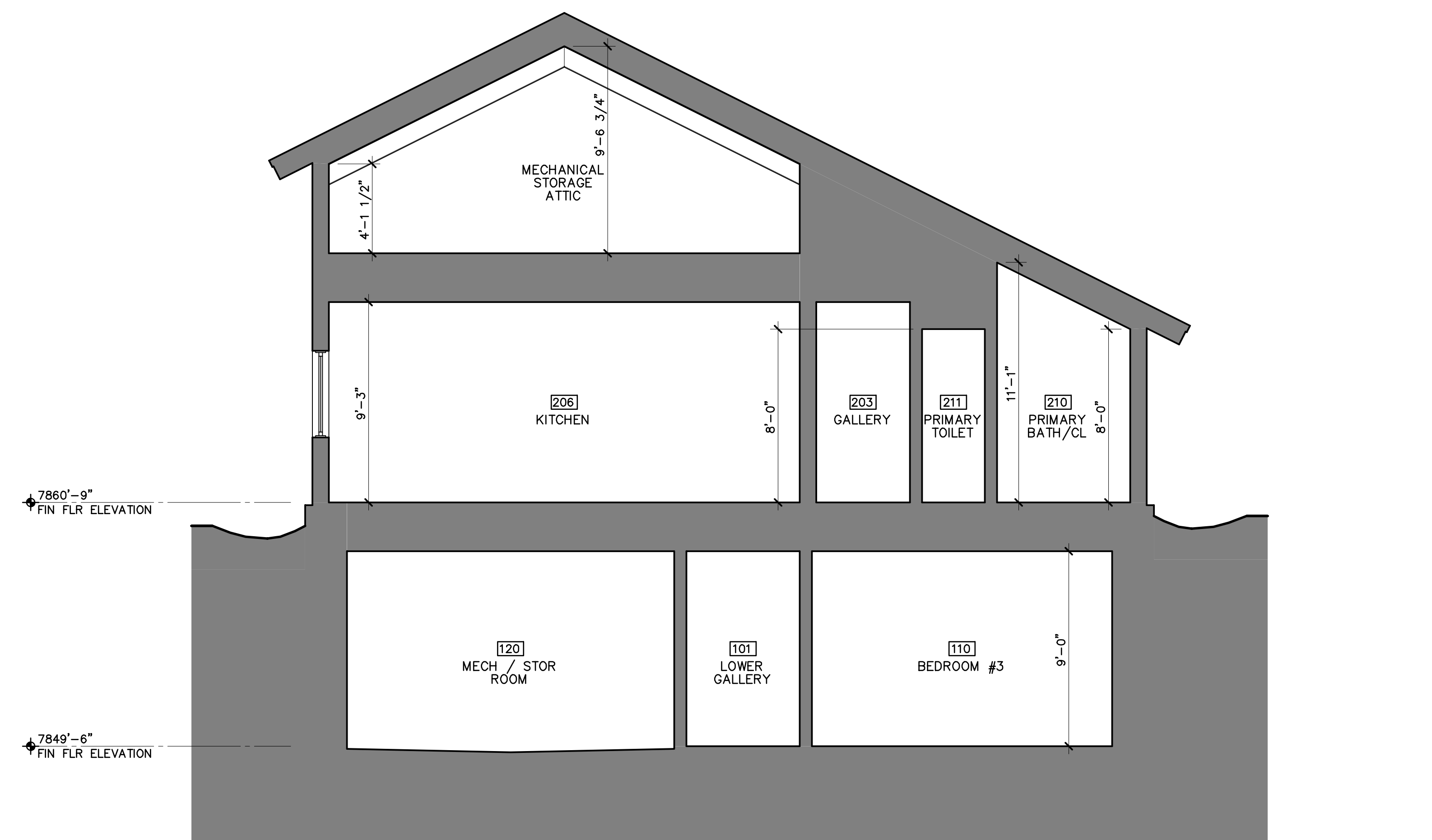
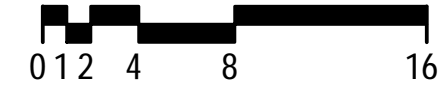
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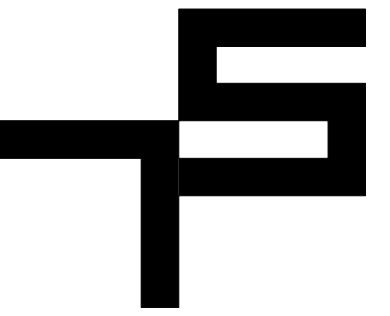
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TOBIN SMITH
ARCHITECT

NOTE
ALL DRAWINGS & WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

NOT FOR
REGULATORY
APPROVAL,
PERMITTING
OR
CONSTRUCTION

EAGLE RIVER
RESIDENCE

532 MAIN STREET
MINTURN, CO 81645

ARCHITECT
TOBIN SMITH ARCHITECT
2201 SAN PEDRO AVE.
SAN ANTONIO, TX 78212
210 817 4744

ARCHITECTURAL CONSULTANT
MPD DESIGN SHOP, INC.
P.O. BOX 288
OTISDALE, CO 81637
970 390 4831

STRUCTURAL ENGINEER
COMPANY
ADDRESS
CITY, STATE ZIP
XXX XXX XXXX T

CIVIL ENGINEER
ALPINE ENGINEERING, INC.
34510 HWY 6, UNIT A9 / P.O. BOX 97
EDWARDS, CO 81632
970 926 3373 T

MECHANICAL CONSULTANT
COMPANY
ADDRESS
CITY, STATE ZIP
XXX XXX XXXX T

LIGHTING CONSULTANT
COMPANY
ADDRESS
CITY, STATE ZIP
XXX XXX XXXX T

GEOTECHNICAL ENGINEER
KUMAR & ASSOCIATES, INC.
5020 COUNTY ROAD 154
GLENWOOD SPRINGS, CO 81601
970 945 7988 T

SURVEYOR
MPD LAND SURVEYING
P.O. BOX 3154
EAGLE, CO 81631
970 390 9540 T

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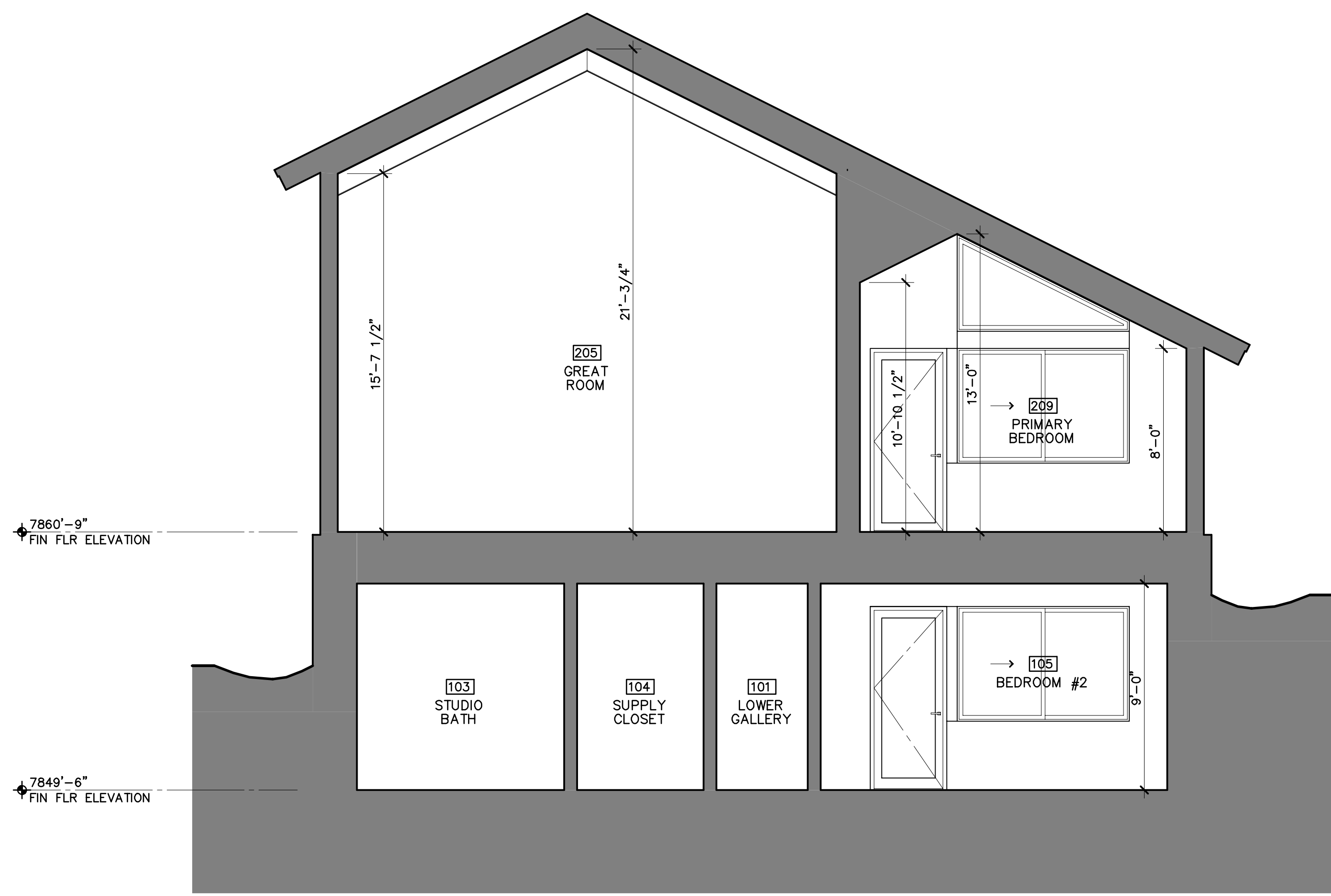
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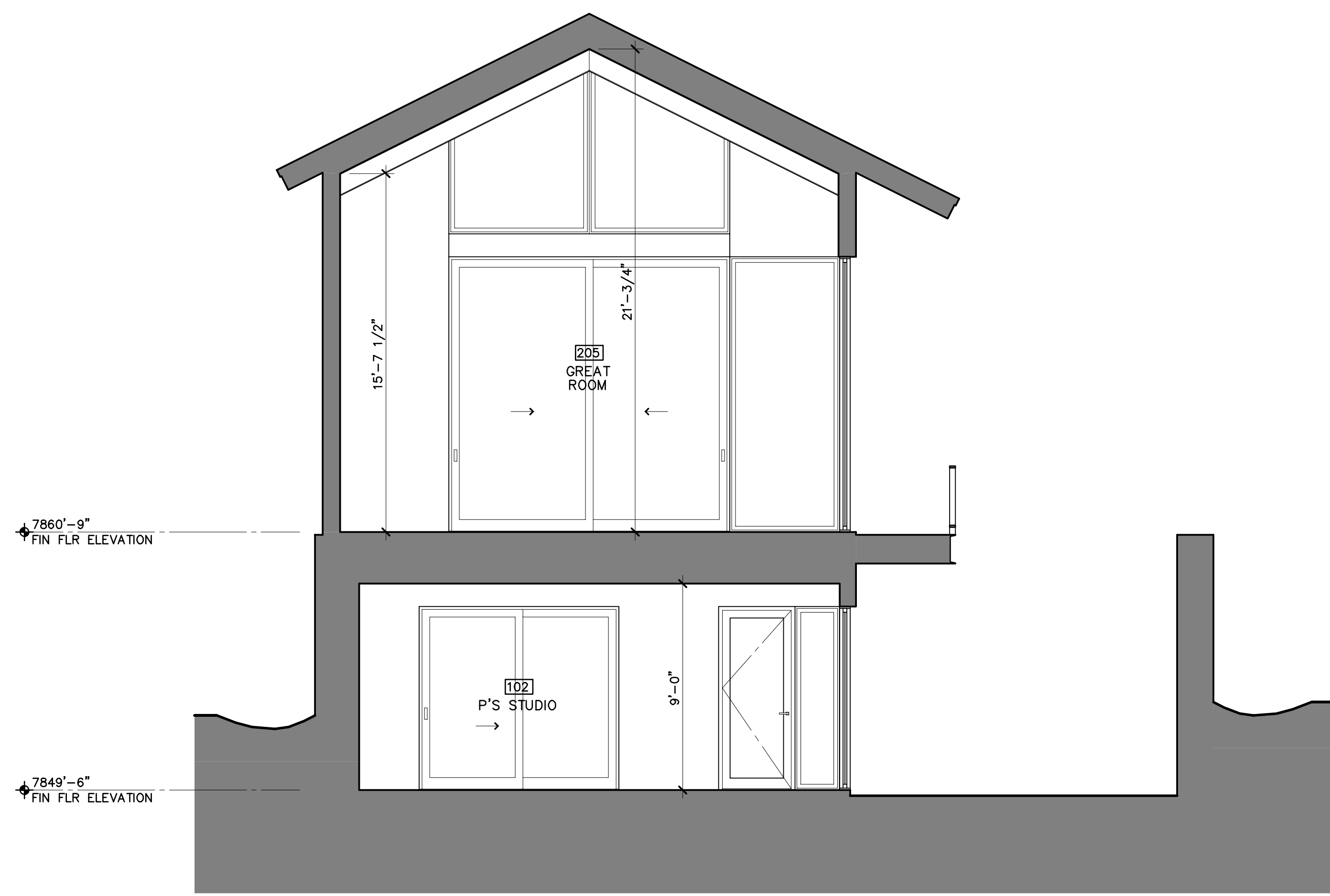
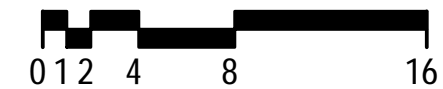
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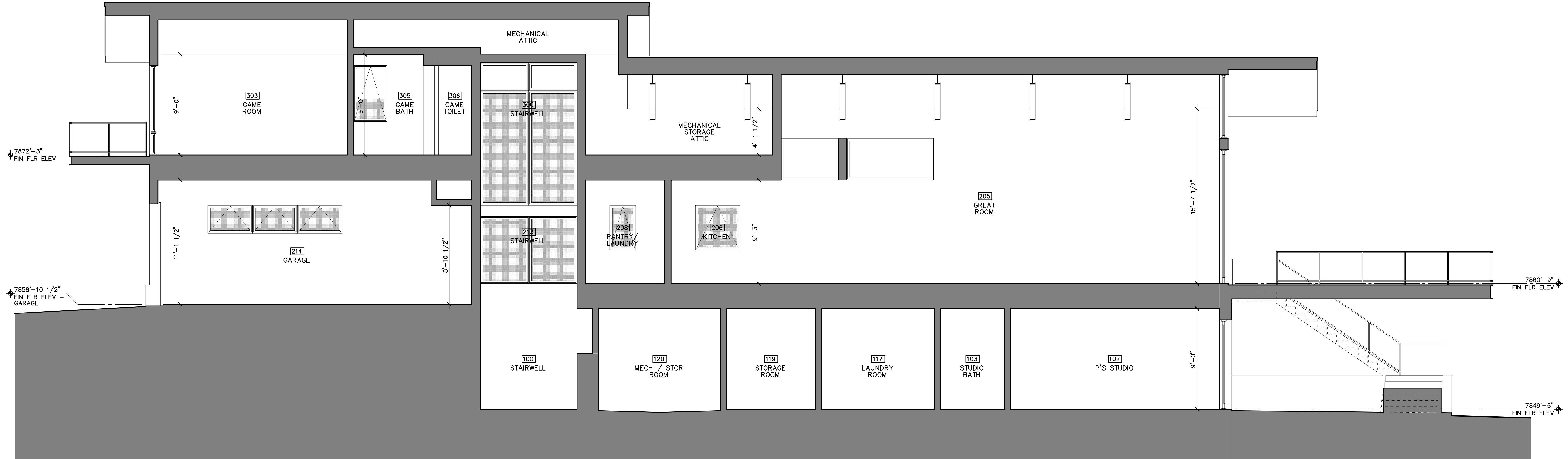
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Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Michael Boyd
Amanda Mire
Eric Rippeth
Darell Wegert

Design Review Board Hearing

Final Plan Review for New Single Family Residence and Accessory Dwelling Unit (ADU) 0019 Belden Way

| | |
|-------------------------------|---|
| Hearing Date: | February 12, 2025 |
| File Name and Process: | Single Family Residence and Accessory Dwelling Unit Final Plan Review |
| Owner/Applicant: | Alison Perry, Miners Base Camp LLC |
| Representative: | Greg Macik, TAB Associates, Inc. |
| Legal Description: | Subdivision: BELDEN PLACE PUD Lot: 12 |
| Address: | 0019 Belden Way |
| Zoning: | South Town Character Area – Belden Place PUD Zone District |
| Staff Member: | Madison Harris, Planner I |
| Recommendation: | Approval |

Staff Report

I. Summary of Request:

The Applicant, Alison Perry, requests Final Plan review of a five bedroom, 3,525 (gross) square foot single-family residence and a one bedroom, 1,033 (gross) square foot accessory dwelling unit (ADU) located at 0019 Belden Way in the South Town Belden Place PUD Zone District. The Applicant’s representative, Greg Macik of TAB Associates Inc., has been proactive in meeting with Town staff prior to submitting plans for the new structure and has provided a relatively complete and thorough set of site, landscaping, and architectural plans.

Proposed Plans

The plans show a three-story with a basement single family residence and ADU with a maximum building height - measured via a weighted height calculation approved in the Belden Place PUD Guide – of 27 feet and 2 and 3/8 inches, under the maximum allowable 28-foot limit within the South Town Belden Place PUD Zone District for single-family units.

Additionally, the massing, forms, and scale of the proposed structure, as well as proposed exterior materials, textures and detailing also appear to achieve the design objectives of Appendix B – *Design Guidelines and Standards*, Minturn Municipal Code.

Parking is adequate, with four off-street spaces for the single family dwelling, two of which are provided within the garage and two at surface level in front of the garage, and with two off-street spaces for the ADU, one provided in the garage and one at surface level in front of the garage. The plans show the three levels plus a basement.

According to staff’s analysis of development standards and dimensional limitations in Section III below the project appears to meet the Town’s standards.

Overall, staff believes that the Applicants and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review.

As a reminder, the Planning Commission has the option to review the proposal as a “conceptual” plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or the Commission may take action to approve, approve with conditions, or deny the Final Plans.

Staff is **recommending approval**.

II. Summary of Process and Code Requirements:

These plans are being presented by the Applicant as “Final Plan” level of review for a new single-family residential structure and ADU on a legally created lot within the Town of Minturn. This is a formal hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB’s concerns or feedback regarding suggested revisions to the project.

If the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve the plans without conditions, or to approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions, additions or updates to the plans.

No variances are required or requested at this time.

Design Review Process

Appendix ‘B’ of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection “d” below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

- (d) *Administrative procedure.*
 - (1) *Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.*

(2) *Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:*

- a. The proposal's adherence to the Town's zoning regulations.*
- b. The proposal's adherence to the applicable goals and objectives of the Community Plan.*
- c. The proposal's adherence to the Design Standards.*

(3) *Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:*

- a. That the proposal is in conformance with the Town zoning regulations.*
- b. That the proposal helps achieve the goals and objectives of the Community Plan.*
- c. That the proposal complies with the Design Standards.*

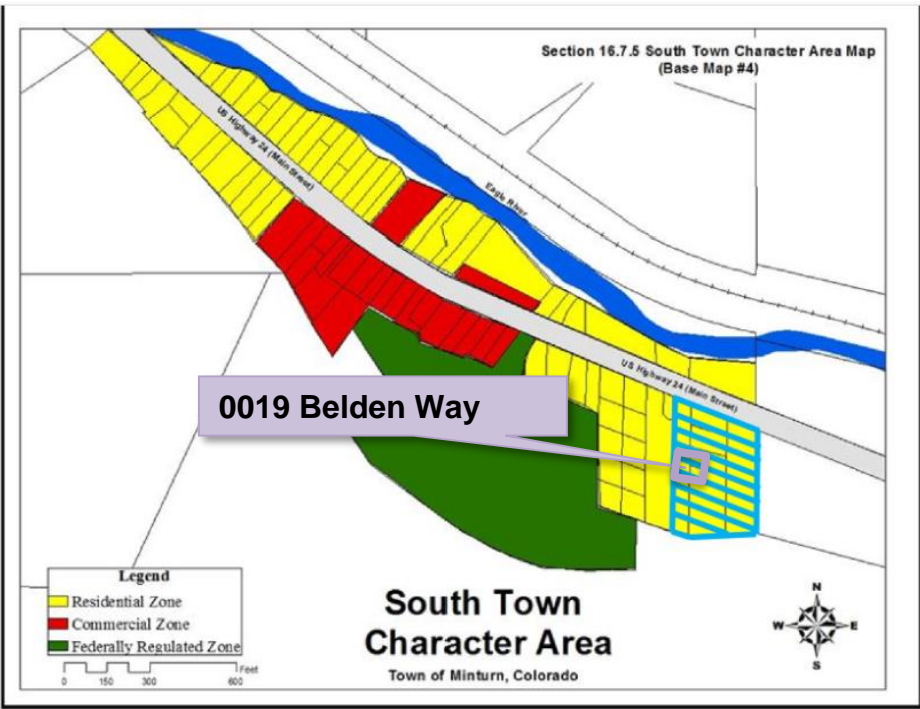
Staff suggests that the final plans for 0019 Belden Way meet the required findings ‘a,’ ‘b,’ and ‘c’ or subparagraph 3 – *Necessary findings*.

III. Zoning Analysis:

Zoning

The subject property is located within the “South Town Character Area” Belden Place PUD Zone District

Figure 1: Game Creek Character Area Zoning Map



■ - PUD Overlay Zoning

Dimensional Limitations and Development Standards

The following table summarizes the lot, development and dimensional standards and limitations applicable to the subject property pursuant the approved Final Development Plan for the Belden Place PUD.

| Regulation | Allowed/Required | Proposed/Existing |
|------------------------------|-----------------------|---------------------------------|
| Minimum Lot Area: | 3,641 sq. ft. | 3,641 sq. ft. (.084 ac.) |
| Maximum Building Height: | 28 feet | 27 feet – 2 3/8 inches |
| Minimum Front Setback: | 10.68 feet | 10.68+ feet |
| Minimum Side Setback: | 2 feet | 2+ feet |
| Minimum Rear Setback: | 2 feet | 2+ feet |
| | | |
| Maximum Lot Coverage: | 70% (2,548.7 sq. ft.) | 1,820 sq. ft. (49.99%) Proposed |
| Maximum Impervious Coverage: | 70% (2,548.7 sq. ft.) | 2,180 sq. ft. (59.87%) Proposed |
| Minimum Snow Storage Area: | 5% of Lot Area | 190 sq. ft. |

| | | |
|----------|--|----------|
| | (3,641 sq. ft. x .05 = 182.05 sq. ft.) | |
| | | |
| Parking: | 6 spaces | 6 spaces |
| | | |

IV. Applicable Standards and Design Guideline Criteria:

Design

In addition to the development standards listed above, the following general design principles are provided for reference.

Final Site, Grading and Drainage Design

The Minturn Design Guidelines encourage designs that integrate or account for site topography and existing conditions, surrounding conditions, solar orientation, placement on lots relative to streets and natural features, snow storage and snow shed from roof structures.

Mass and Form

The following excerpt from the Design Guidelines is applicable to the proposed home design:

“c. Massing and Scale

“A simple central form with additive features shall be designed. This style creates visual interest and is appropriate for the community due to its compatibility with existing structures. Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

“Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.”

-Town of Minturn Design Guidelines

Staff Response:

Staff believes that the design and scale of the proposed structure incorporates a simple central form with additive features and is complementary to adjacent residential structures and character on nearby parcels. Staff further suggests that the scale of the project is appropriate and will not overpower surrounding natural and built environments. Proposed roof forms and pitches, materials and textures are compatible and complementary to the surrounding built and natural environments.

V. Items of Note:

Items of Note

Staff has identified no items of note.

VI. Staff Recommendation:

Staff suggests that the Final Plans for 0019 Belden Way generally **comply** with or exceed the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix 'B') of the Minturn Town Code.

Staff is **recommending approval** of the plans.

January 19, 2025

Madison Harris
Town of Minturn Planner
PO Box 309
Minturn, CO 81645

Re: 0019 Belden Way
Lot 12, Belden Place PUD
DRB Resubmittal Review
Project No. 24-0001

Dear Madison:

We reviewed the plans entitled “Belden Place; Lot 12 – 0019 Street, Single Family w/ADU, Minturn Colorado” prepared December 12, 2024, by TAB Associates (Plans) included in the Resubmittal of the DRB application for Lot 12, Minturn North PUD. Our review was for compliance with the engineering requirements of Section 16-21-615: Design Review applications of the Minturn Municipal Code (MMC).

General:

- ~~1. The cover page title is incorrect—it refers to “0019 Street”. The address is 0019 Belden Way. The Title has been corrected.~~
- ~~2. The Application form is incomplete and incorrect. It shows the street address as 14 Beldwn (sp) Way. The correct address is 0019 Belden Way and the applicant portion of the checklist has not been completed. The Application form has been corrected; however, the applicant portion of the checklist has not been completed.~~

MMC Section 16-21-615 Section C:

Section (C) (2) Boundary Survey:

Paragraphs a through e:

Sheet 3 of 5 of the “Final Plat: Belden Place PUD” has been included as the Boundary Survey. A note was added to Sheet 3 of 5 incorporating the complete “Final Plat, Belden Place PUD” by reference as part of the Application. The Plat and associated title commitment were reviewed by the Town and fulfill the requirements as the Boundary Survey for this application.

Paragraphs f through i:

Sheets C.110 and C.111 of the “Belden Place PUD – Final Plan Submittal” prepared by Timberline Engineering have been included in the application. A note was added to Sheet

VAIL VALLEY OFFICE

30 Benchmark Road, Suite 216 | PO Box 978 | Avon, CO 81620

DENVER OFFICE

9618 Brook Hill Lane | Lone Tree, CO 80124

970.949.5072 | info@inter-mtn.net

Madison Harris

Re: 0019 Belden Way
 Lot 12, Belden Plane PUD
 DRB Resubmittal Review
 Project No. 24-0001

C.111 incorporating the complete “Belden Place PUD – Final Plan Submittal” by reference. These plans are the basis of the design and fulfil the requirements of paragraph f through i.

Section (C) (3) Site Plan:

Sheet C.1 of the Plans “Belden Place – Unit 12 Single Family Residence W/ADU” prepared by Timberline Engineering dated 10/9/24 presents the proposed site plan ~~The following elements from the MMC should be added:~~ **A revised plan dated December 30, 2024, has been included with the resubmittal.**

- a. ~~Paragraphs a, b, and c: The Site Plan should show dimensioned property lines, easements, setbacks and include dimensions locating the building. Please darken the property line dimensions and add building dimensions.~~ **Dimensions have been added to the Site Plan.**
- b. Sheet A3.1 provides Building height information for Planning Staff review.

Section (C) (4) Grading & Drainage Plan:

Sheet C.1 of the Plans “Belden Place – Unit 12 Single Family Residence W/ADU” prepared by Timberline Engineering dated 10/9/24 presents the proposed site grading plan. ~~The following elements from the MMC should be added:~~ **A revised plan dated December 30, 2024, has been included with the resubmittal.**

- a. ~~Paragraph c. requires “Spot elevations. Show critical spot elevations, as necessary to demonstrate positive drainage and the direction of flow. Finished grade at all building corners must be provided.”~~ **Finish grades are provided at the building corners.**
- b. ~~Paragraph d. requires: “Top-of foundation elevations. The top-of foundation elevation must be shown on the plan and must be consistent with the foundation plan.”~~ **Elevations at the top of the foundation have been added.**
- c. ~~The grading does not meet the requirements of Section 1804.4 of the IBC. The minimum recommended slope away from foundations is 5% and the minimum slope of a landscaped swale is 2%.~~ **Slopes have been revised to meet IBC requirements.**

Review by Inter-Mountain Engineering is for general conformance with Minturn Municipal Code requirements and is not a peer review. Review by Inter-Mountain Engineering in no way relieves any responsibilities of design professionals associated with the project.

Please feel free to contact us if you have additional questions.

Respectfully,
 Inter-Mountain Engineering (Town Engineer)



Jeffery M. Spanel PE

January 19, 2025

Page 3 of 3

Section 8, Item B.

Madison Harris

Re: 0019 Belden Way
Lot 12, Belden Plane PUD
DRB Resubmittal Review
Project No. 24-0001

CC: Scot Hunn, Arnold Martinez



DESIGN REVIEW APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT
 P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
 Phone: 970-827-5645 Fax: 970-827-5545 Email: planner@minturn.org

Project Name:

Belden Place - Single Family w/ ADU

Project Location

Street Address: 0019 Belden Way (Lot 12)

Zoning: **PUD**

Parcel Number(s): **L10-210335113013**

Application Request:

Design review for single family with ADU.

Applicant:

Name: Greg Macik, TAB Associates, Inc.

Mailing Address: 56 Edwards Village Blvd, Suite 210, Edwards, CO 81632

Phone: **970-766-1470 x107**

Email: **greg@tabassociates.com**

Property Owner:

Name: **Alison Perry, Miners Base Camp LLC**

Mailing Address: PO Box 1134 Minturn, CO 81645

Phone: **970-306-2264**

Email: **perry@vailland.com**

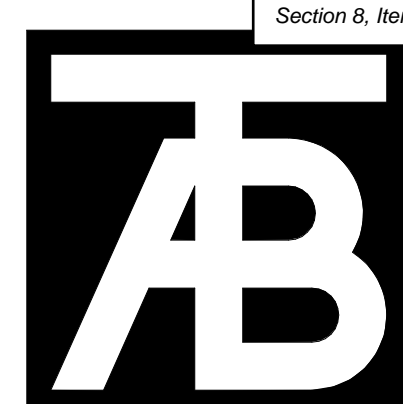
Required Information:

| | | | |
|---|---|--|--|
| Lot Size: 3641 sf | Type of Residence (Single Family, ADU, Duplex) Single Family, ADU | # of Bedrooms 6 | # On-site Parking Spaces 6 |
| # of Stories: 3 + Partial Basement | Snow storage sq ft: 192 | Building Footprint sq ft: 1820 | Total sq ft Impervious Surface: 2180 |

Signature:

Greg Macik

Fee Paid: _____ **Date Received:** _____ **Planner:** _____



TAB Associates
 The Architectural Balance
 0050 Edwards Village Blvd.
 Suite 210
 Edwards, CO 81432
 (970) 766-1470
 fax: (970) 766-4471
 email: tab@tab.net
 www.tabassociates.com

Civil Engineer
 Timberline Engineering
 (970) 963-9869
 Structural Engineer
 KRM Consultants, Inc.
 (970) 949-9391
 Mechanical Engineer

Seal

Belden Place - Single Family w/ ADU
Lot 12 - 0019 Belden Way
 Minturn, CO 81645

BELDEN PLACE

Lot 12 - 0019 Belden Way

Single Family w/ ADU

Minturn, CO 81645

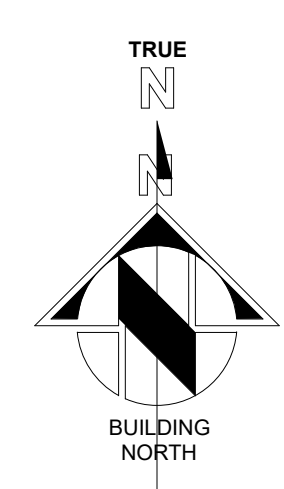
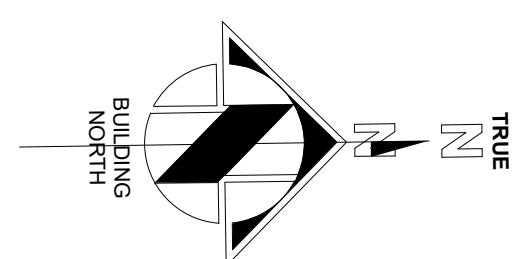


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- A0.0 COVER SHEET
- A0.02 PUD GUIDE
- P0.01 PLAT
- C1.110 SURVEY
- C1.111 OVERALL SITE PLAN
- C.1 SITE PLAN
- C.2 DETAILS AND CROSS SECTIONS
- A1.1 LANDSCAPE PLAN AND DETAILS
- A2.1 BASEMENT AND GROUND FLOOR PLANS
- A2.2 MAIN AND UPPER FLOOR PLANS
- A2.3 ROOF PLAN
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A3.3 RENDERINGS
- A3.4 MATERIALS
- A4.1 SECTIONS
- A5.01 DETAILS
- A5.02 DETAILS
- A5.03 DETAILS



VICINITY MAP



DESIGN REVIEW
12/11/2024

| Revisions: | | |
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| No. | Description | Date |
| | | |
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Issue Dates:
 DRB-10/10/2024
 DRB-12/11/2024

Sheet Title:
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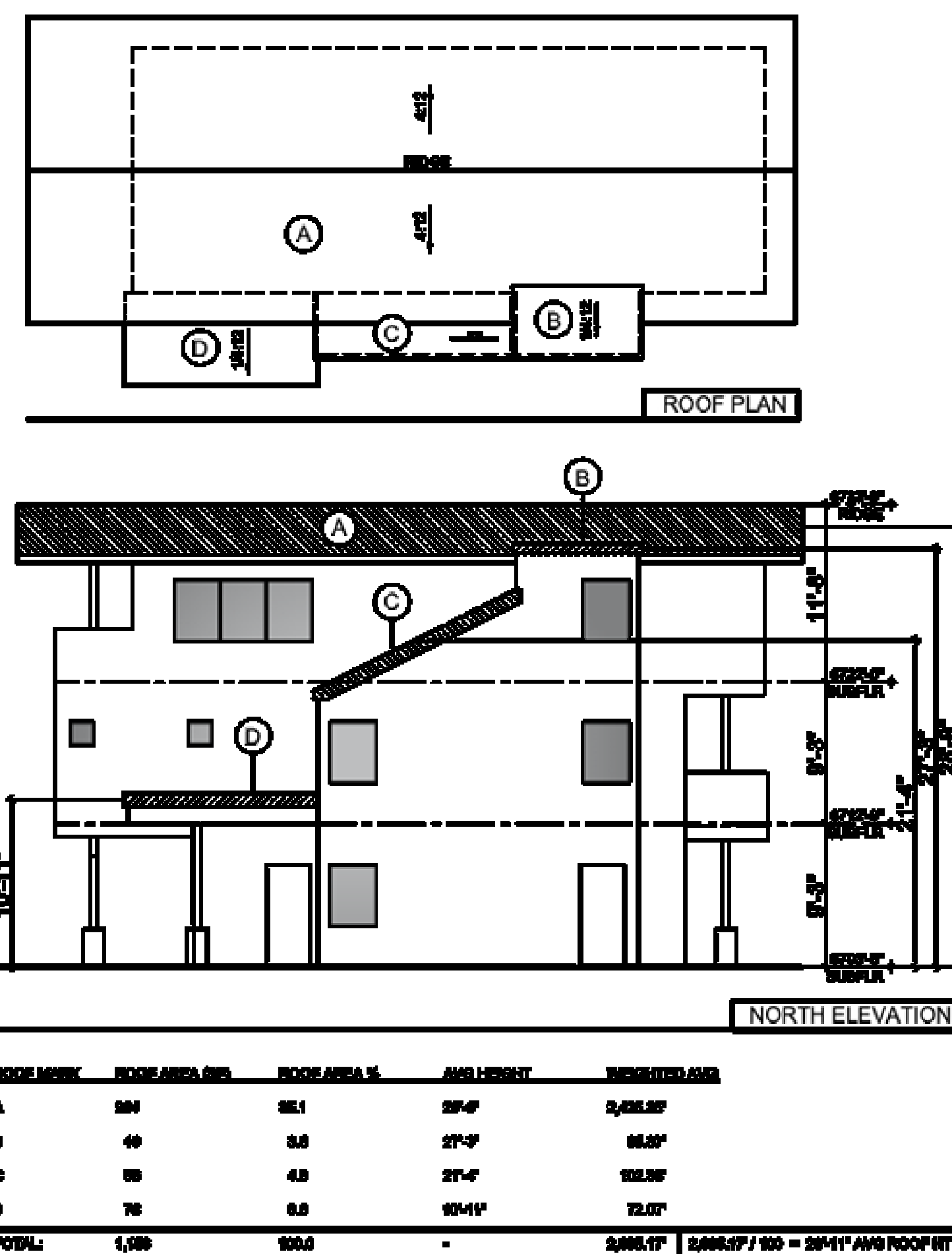
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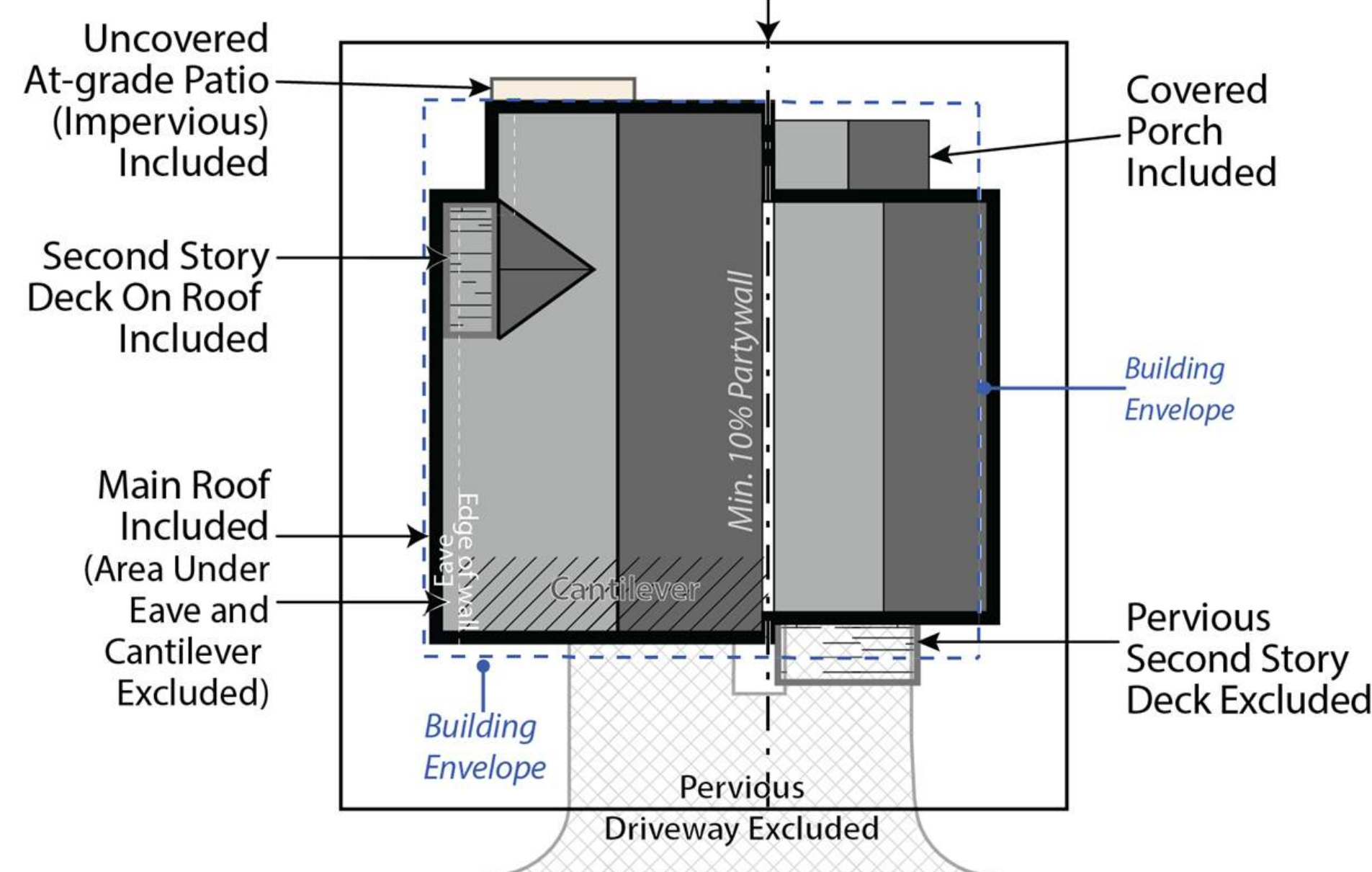
BELDEN PLACE PUD GUIDE INFORMATION

The following is an abbreviated version of information found in the PUD guide.

Building Height. Determining building height uses a weighted height calculation as measured from final/finished grade. Max heights - 28' for single famill and duplex, 35' for Row Houses and Flats.



Site Coverage. Site coverage means the portion of a lot covered by materials forming any unbroken surface, impervious to water including, but not limited to: buildings, streets, slab on-grade patios, exterior fireplaces, and other hardscape materials. Site coverage excludes non-hardscape areas under eaves or similar (e.g., open-sided cantilever).



BUILDING PLACEMENT AND ENVELOPES

Residential building envelopes are necessary in order to maximize the buildability and economic viability of the lots while offering greenspace and or space between neighbors to the greatest extent possible. All portions of structure- including fireplaces, chimneys, window wells, eaves, overhangs, etc. must be contained within property lines; however, with the platted building envelope acting as building setbacks for each lot, encroachments are available for certain features.

The following encroachments are permitted beyond the platted building envelope:

Unenclosed or uncovered decks; deck supports; eaves up to 18" beyond the envelope; porches, patios and landings less than 30" above the surrounding natural or finished grade; window or light wells; heat or A/C units; residential solar alternative energy installations; fences; counterforts below grade; staircases (enclosed or otherwise); structures of less than 6" in height; landscaping and drainage features. No encroachment may be located within 24" from the property line or directly on top of in-ground utility easements. Underground parking elements and staircases may encroach within 12" of the most southern property line on Lot 7.

1. SINGLE-FAMILY DETACHED

- a. Style
 - (1) Residences with the same architectural elevations and coloring shall not be placed adjacent to each other or directly across the street from one another.
 - (2) Each residential unit type shall have at least two (2) elevations to provide stylistic diversity. This may include:
 - i. Roof forms/lines and profiles
 - ii. Varied window and door styles
 - iii. Varied entry treatments and locations including porches, columns, etc.
 - iv. Two or three story homes
 - v. Second or third story decks or balconies
- b. Building Form
 - (1) The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front and sides of the homes.
 - (2) Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
 - (3) Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

2. DUPLEX/TRI-PLEX or MULTIFAMILY STRUCTURES

- a. Style
 - (1) Structures shall have at least two (2) elevations to provide stylistic diversity.
 - (2) Units may be multi-stories.
 - (3) Units may be divided horizontally (townhomes) or vertically (flats).
 - (4) Second story decks or balconies permitted.
 - (5) Units have no minimum length of connection and may be joined via shared walls of the garage, external staircases, or main living area wall(s) or floors.
- b. Building Form
 - (1) The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front of the homes.
 - (2) Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
 - (3) Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

3. MATERIALS

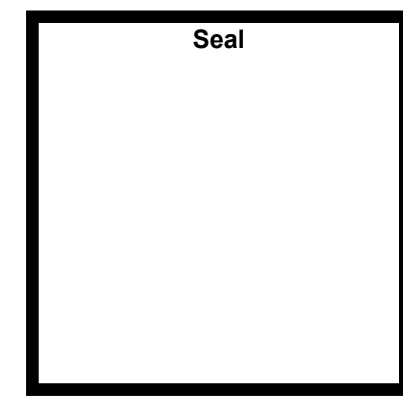
- a. Roofing materials are limited to the following:
 - (1) Artificial wood shingle (to mimic wood shake shingle). Treated wood shake shingles or any other combustible material is prohibited.
 - (2) Standing seam metal.
 - (3) Asphalt shingles.
 - (4) Imitation (composite or similar); or, real slate tiles.
 - (5) Non-reflective solar tiles that mimic the above-mentioned products
 - (6) Any other recommended FireWise materials similar to the above-mentioned products.
- b. Siding materials are limited to the following:
 - (1) Metal
 - (2) Wood
 - (3) Composite siding
 - (4) Fiber cement board (commonly known as "Hardie Board")
 - (5) Stucco.
 - (6) Any other recommended FireWise materials similar to the above-mentioned products.
 - (7) All siding materials to have non-reflective finishes.
- c. Doors and Windows:
 - (1) Structures with multiple garage doors must always have identical, matching doors.
 - (2) All replacement windows shall be consistent and match the aesthetic of previous windows unless otherwise approved by the design review board. Skylight or solar tubes permitted.
 - (3) Screen or storm doors, in addition to typical front doors are permitted. Screen or storm doors cannot replace front doors at any time.
- d. Design Elements. This development may incorporate mountain appropriate design elements into the buildings, including, but not limited to, exposed heavy timber beams as accent elements or entry features, walls faced with wood, stone, faux stone or cultured stone, metal railings or accents. Stucco may only be utilized in small quantities on building facades and is not to be used as a primary material for home.
- e. Building materials for residential exteriors shall include at least two (2) types of materials as part of the building façade.

I. LANDSCAPING – See also PUD Landscaping Plan

Shall not interfere with any drainage way, utility, pedestrian access, or entry into any structure. Landscaping shall not obscure windows, be installed under gas fireplace or dryer vents, nor shall any landscaping material overtake any yard, or spread into any common or neighboring yards.

Landscaping minimums:

- 1. At least one (1) tree per 1,200 sf of lot area and two (2) shrubs for all lots. See also official Landscaping Plan for Belden Place.
- 2. All landscaping proposed on the approved Landscaping Plan shall be installed initially with expectations for maintenance.
- 3. No exposed soil is permitted. Soil must be covered in groundcover that may consist of seed (includes wildflower seed), cobble, perennials, mulch, or similar.
- 4. All dead materials must be replaced during the same season death occurs.



Belden Place - Single Family w/ ADU
Lot 12 - 0019 Belden Way
 Minturn, CO 81645

| Revisions: | | |
|------------|-------------|------|
| No. | Description | Date |
| | | |
| | | |

Issue Dates:
DRB-10/10/2024

Sheet Title:
PUD Guide

Project No:
2215

Sheet No:
A0.2

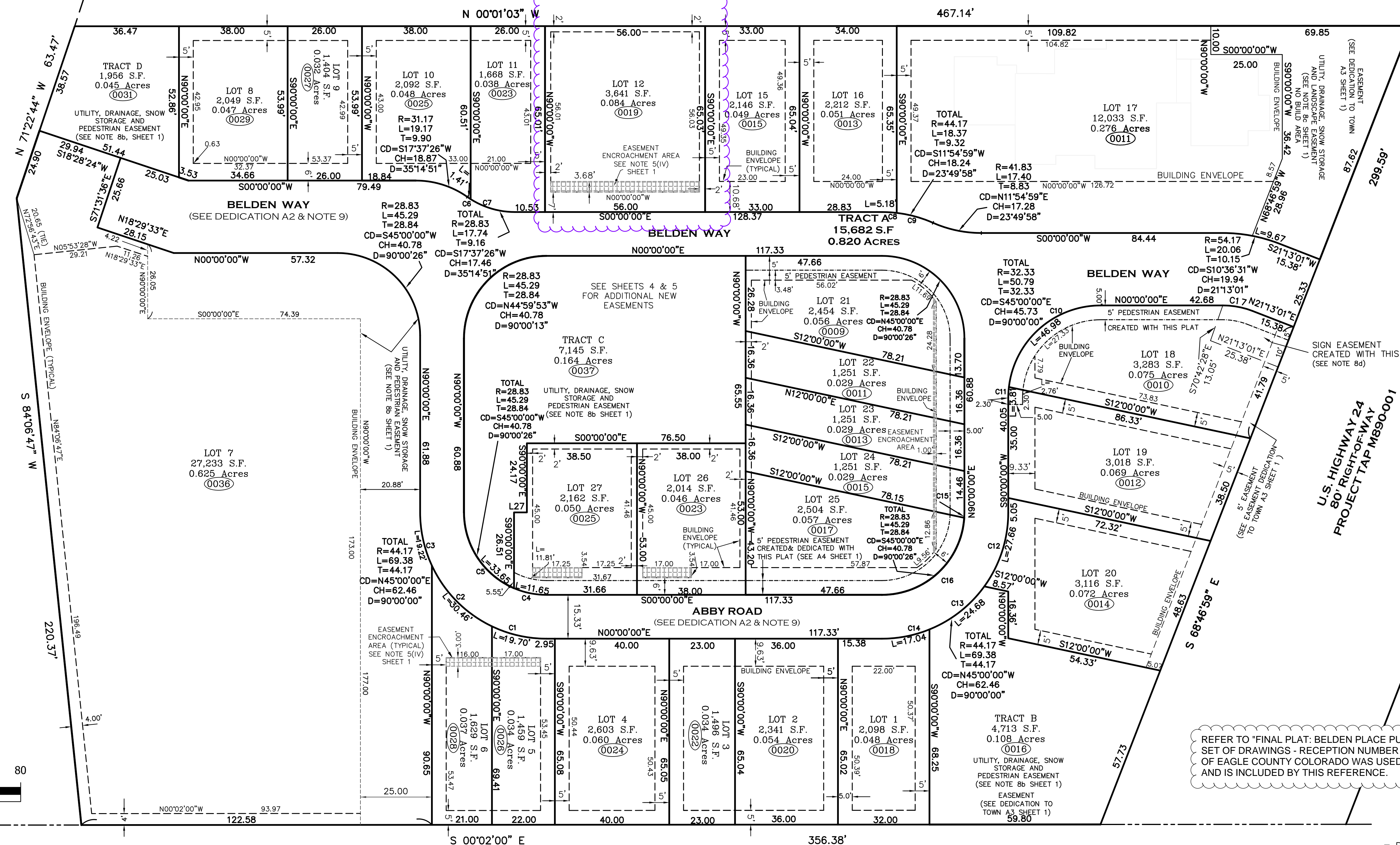
FINAL PLAT

BELDEN PLACE, P.U.D.

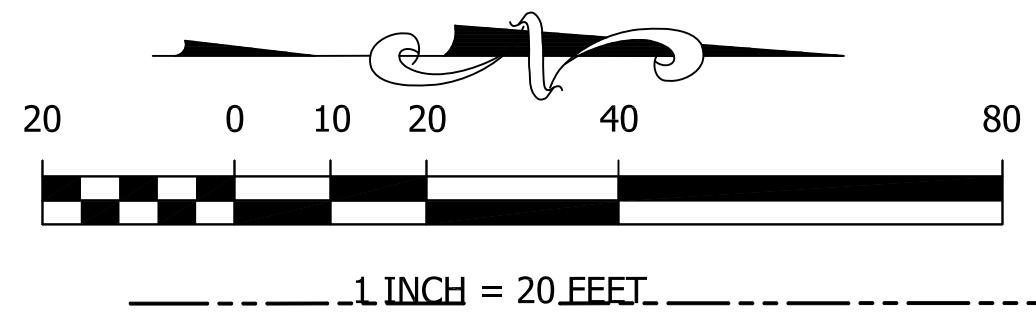
Town of Minturn, County of Eagle, State of Colorado

SHEET 3 OF 5
SUBDIVISION

LOT 28
SOUTH MINTURN ADDITION
RECEPTION No. 163447



UNITED STATES OF AMERICA
RECEPTION No. 186352



REFER TO "FINAL PLAT: BELDEN PLACE PUD" FOR FINAL AND FULL SET OF DRAWINGS - RECEPTION NUMBER 202409455 OF THE RECORDS OF EAGLE COUNTY COLORADO WAS USED AS THE BASIS OF DESIGN AND IS INCLUDED BY THIS REFERENCE.

--- = PLATTED BUILDING ENVELOPE
 - - - - - = PEDESTRIAN EASEMENT
 [Hatched Area] = EASEMENT ENCROACHMENT AREA SEE NOTE 5(V)

| CURVE TABLE | | | | | | |
|-------------|--------|--------|---------|-------|-------------|-----------|
| CURVE | LENGTH | RADIUS | Tangent | Chord | Chd Bng | Delta |
| C1 | 19.70 | 44.17 | 10.01 | 19.53 | N12°46'33"E | 25°33'06" |
| C2 | 30.46 | 44.17 | 15.86 | 29.86 | N45°18'32"E | 39°30'53" |
| C3 | 19.22 | 44.17 | 9.76 | 19.07 | N77°31'59"E | 24°56'01" |
| C4 | 11.65 | 28.83 | 5.91 | 11.57 | N11°34'15"E | 23°08'56" |
| C5 | 33.65 | 28.83 | 19.03 | 31.77 | N56°34'28"E | 66°51'30" |
| C6 | 1.41 | 28.83 | 0.71 | 1.41 | N33°50'32"E | 2°48'39" |
| C7 | 16.32 | 28.83 | 8.39 | 16.11 | N16°13'06"E | 32°26'12" |
| C8 | 5.18 | 44.17 | 2.59 | 5.18 | S03°21'35"W | 6°43'11" |
| C9 | 13.19 | 44.17 | 6.65 | 13.14 | S15°16'34"W | 17°06'47" |
| C10 | 46.98 | 32.33 | 28.73 | 42.95 | S41°37'23"E | 83°14'46" |
| C11 | 3.81 | 32.33 | 1.91 | 3.81 | S86°37'23"E | 6°45'14" |
| C12 | 27.66 | 44.17 | 14.30 | 27.21 | N72°03'40"W | 35°52'40" |
| C13 | 24.68 | 44.17 | 12.67 | 24.36 | N38°06'40"W | 32°01'20" |
| C14 | 17.04 | 44.17 | 8.63 | 16.93 | N11°03'00"W | 22°06'00" |
| C15 | 1.89 | 28.83 | 0.94 | 1.89 | N88°07'42"W | 3°45'03" |
| C16 | 43.41 | 28.83 | 27.01 | 39.42 | N43°07'29"W | 86°15'24" |
| C17 | 10.68 | 28.83 | 5.40 | 10.62 | N10°36'31"E | 21°13'28" |

L27 = S00°00'00"W 4.50

UNITED STATES OF AMERICA
RECEPTION No. 246983

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

Matthew S. Slagle PLS 34998
Professional Land Surveyor
State of Colorado



SLAGLE SURVEY SERVICES
 800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631
 970.471.1499 Office matthew@slaglesurvey.com
 www.SlagleSurvey.com

FINAL PLAT
BELDEN PLACE, P.U.D.
 Town of Minturn, County of Eagle, State of Colorado

| | | |
|---------------|-------------------|--------------------------------|
| DRAWN BY: MSS | JOB NUMBER: 18029 | DRAWING NAME: 18029_PUD-23.dwg |
| SHEET 3 OF 5 | DATE: 11-11-2023 | |



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Belden Place - 12 Plex (Flats) Lot 7

0036 Abby Road, Minturn, Colorado 81645

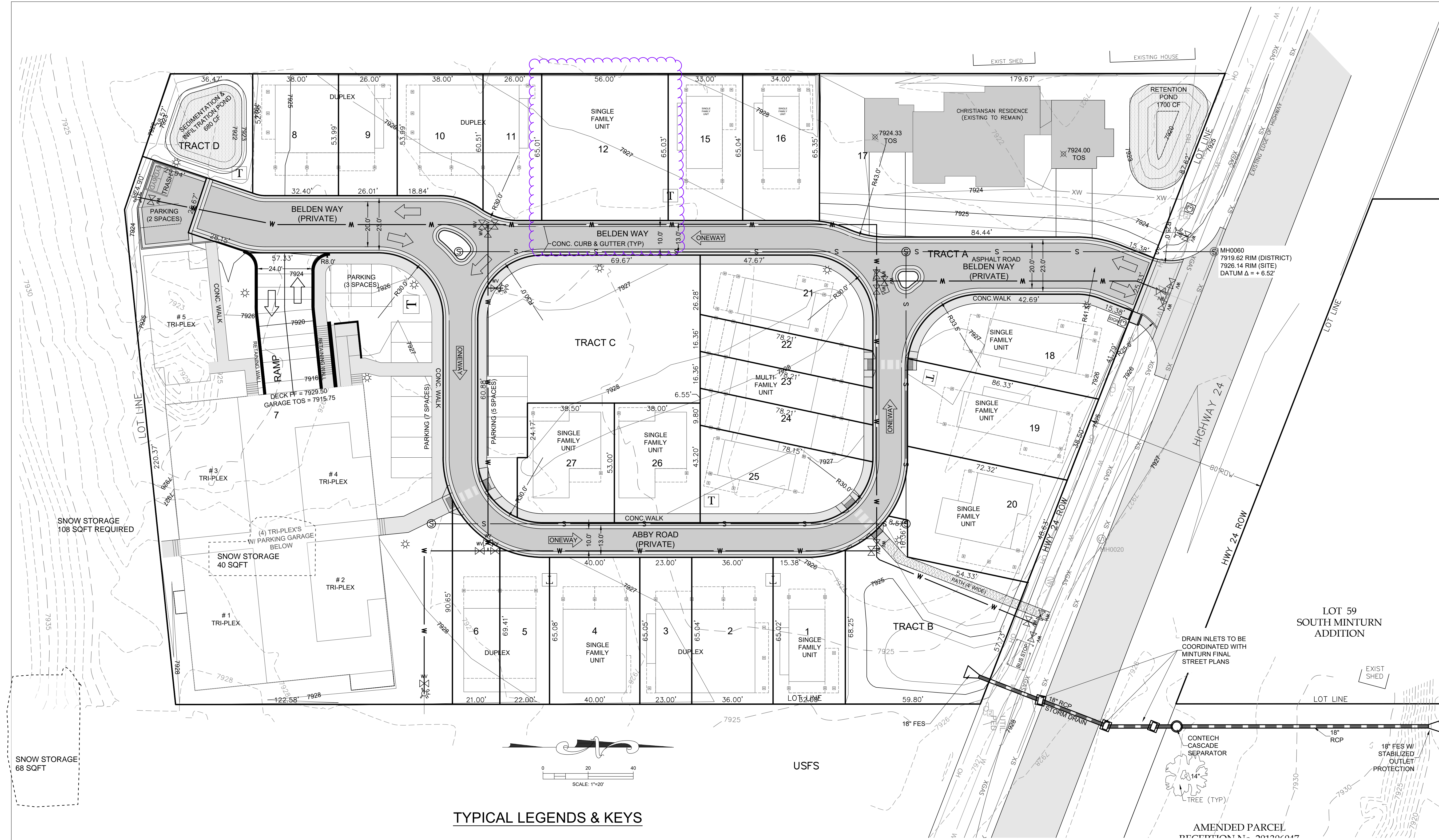
NOT FOR CONSTRUCTION

| DATE | REVISION |
|---------|-------------------|
| 2/15/22 | Permit Set |
| 7/29/24 | Review comments 1 |

PROPOSED SITE PLAN

Sheet:

C.111



TYPICAL LEGENDS & KEYS

- AD = AREA DRAIN
- CFS = CUBIC FEET PER SECOND
- CONC = CONCRETE
- EC = EDGE OF CONCRETE
- EOA = EDGE OF ASPHALT
- EP = EDGE OF PAVEMENT
- EX = EXISTING
- FF = FINISHED FLOOR
- FG = FINISHED GRADE
- FL = FLOW LINE
- GD = GRADE/GROUND
- HP = HIGH POINT
- LP = LOW POINT
- TBC = TOP BACK OF CURB
- TD = TRENCH DRAIN
- TOS = TOP OF SLAB
- TOW = TOP OF WALL
- TYP = TYPICAL
- WH = WALL HEIGHT
- TOW = TOP BACK OF WALK
- EL = ELEVATION
- TOP = TOP OF PIPE

CONTOUR LEGEND:

- EXISTING 1' CONTOUR --- 7929 ---
- EXISTING 5' CONTOUR --- 7930 ---
- PROPOSED 1' CONTOUR --- 7929 ---
- PROPOSED 5' CONTOUR --- 7930 ---

EXISTING UTILITIES LINE KEY:

- WATER --- XW ---
- SEWER --- XS ---
- OVERHEAD ELEC, TELE, CATV --- OH ---
- GAS --- XGAS ---

EXISTING UTILITIES SYMBOL KEY:

- WATER VAULT
- WATER VALVE
- FIRE HYDRANT
- SEWER MANHOLE
- UTILITY POLE
- ELECTRIC TRANSFORMER
- CABLE TV PEDESTAL

PROPOSED UTILITY SYMBOL KEY:

- WATER VAULT
- WATER VALVE
- FIRE HYDRANT
- SEWER MANHOLE
- UTILITY POLE
- ELECTRIC TRANSFORMER
- CABLE TV PEDESTAL
- ELECTRIC SPICE VAULT
- STREET LIGHT

INDICATES DIRECTION OF TRAFFIC FLOW

LINE KEY:

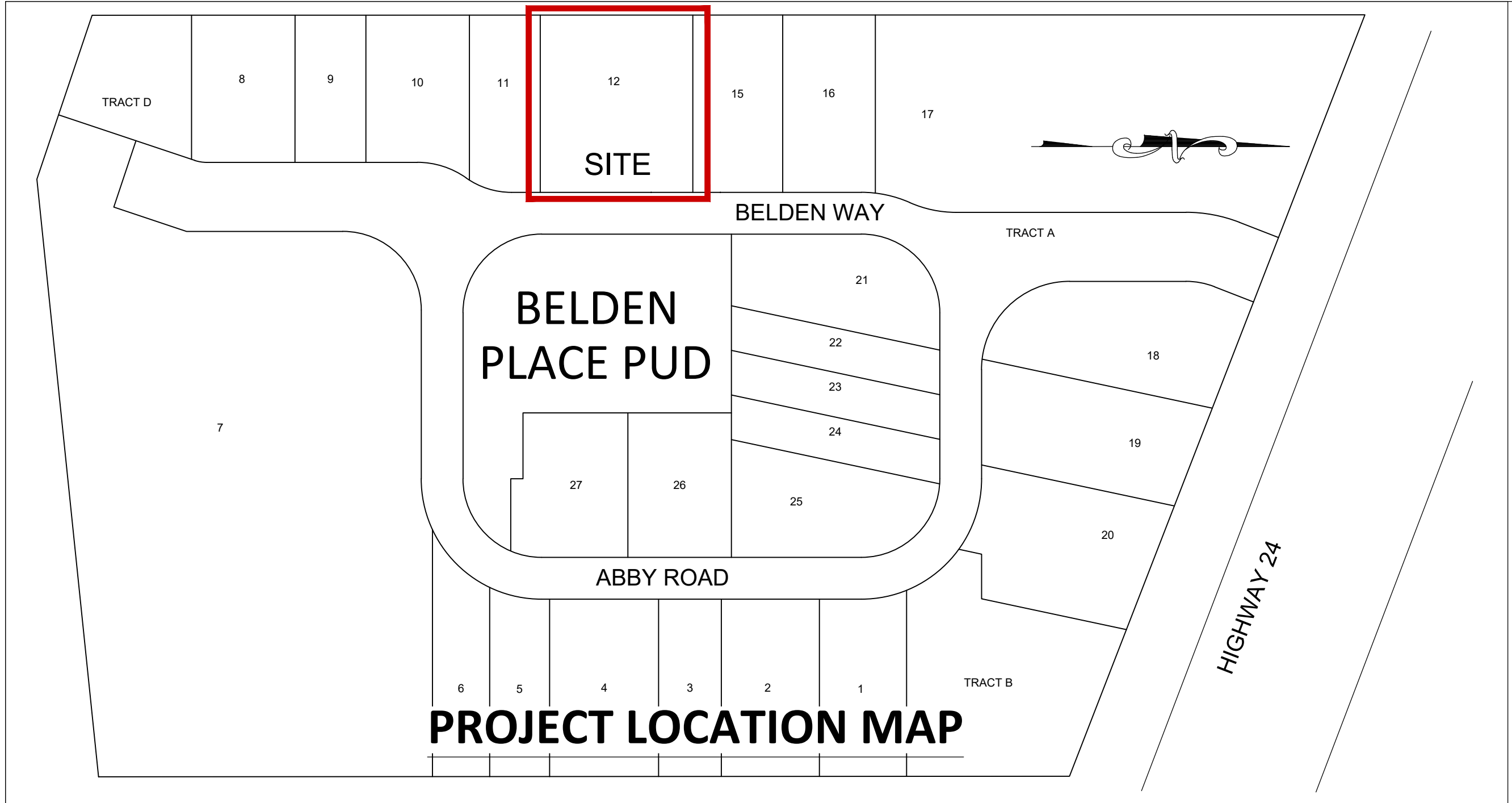
WATER --- W ---

SEWER --- S ---

PARKING NOTES:
 PARKING SPACES 9' X 18' MIN.

REFER TO 'BELDEN PLACE PUD - FINAL PLAN SUBMITTAL' FOR FULL DEVELOPMENT SITE PLANE. PREPARED BY TIMBERLINE ENGINEERING DATE JULY 12, 2024. WAS USED AS THE BASIS OF DESIGN AND IS INCLUDED BY THE REFERENCE.

EARTHWORK:
 5175 CYD CUT
 8130 CYD FILL
 2955 CYD NET <FILL>
 (DOES NOT INCLUDE ONSITE HAUL-IN ±1000 CYD)



CONTACTS

Owner/contractor: Peter Murray Group
Brian Claydon
970 390-3489

Architect: TAB Associates, Inc.
56 Edwards Village Boulevard
Edwards, CO 81632
970 766-1470

Structural Engineer: KRM Consultants, Inc.
PO Box 4572
Vail, CO 81658
970 949-9391

Geotechnical Engineer: Kumar & Associates, Inc.
5020 County Road 154
Glenwood Springs, CO 81601
970 345-7988

Water: Town of Minturn Public Works
Arnold Martinez
970 445-2416

Sewer: Eagle River Water & Sanitation District
970 477-5451

Electric & Gas: Excel Energy 800 895-1999
Electrical Emergency 800 895-2999
Gas Emergency 800 895-2999

Call before you dig: 811

UNIT 12

SHEET INDEX:

C.1 SITE PLAN
C.2 DETAILS & CROSS SECTION



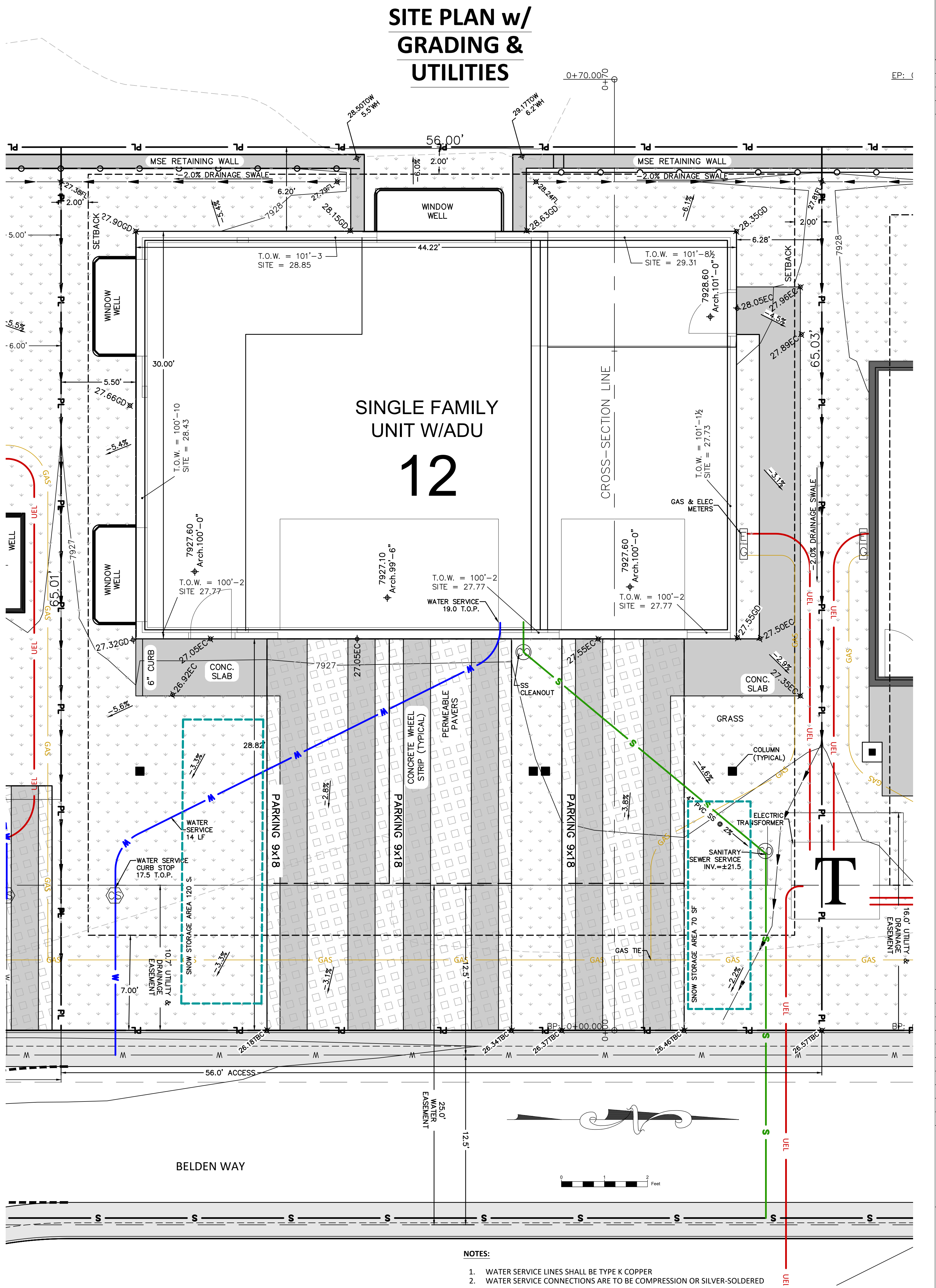
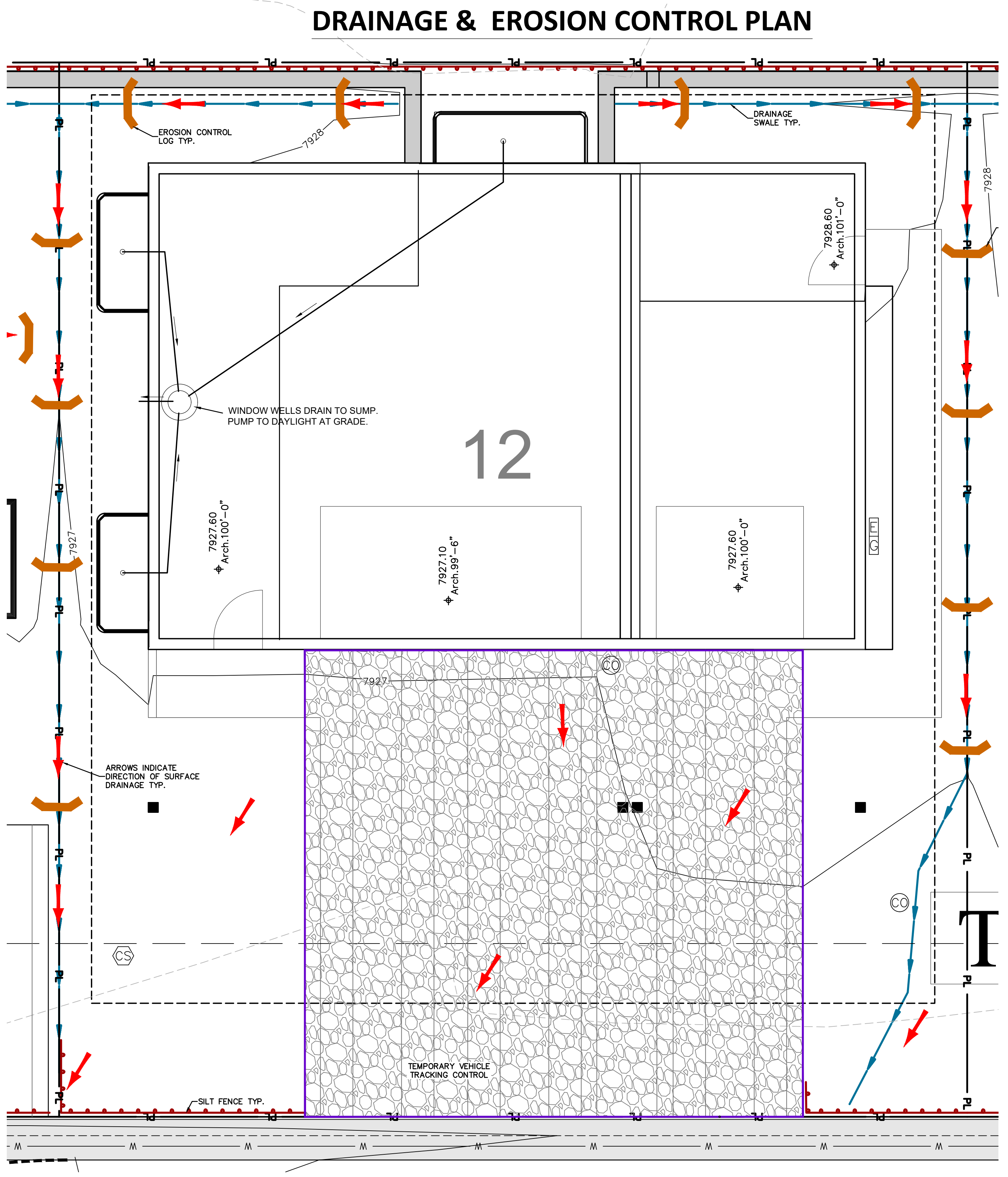
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- ABBREVIATION KEY**
- AD = AREA DRAIN
 - CFS = CUBIC FEET PER SECOND
 - CONC = CONCRETE
 - EC = EDGE OF CONCRETE
 - EOA = EDGE OF ASPHALT
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 - TOS = TOP OF SLAB
 - TOW = TOP OF WALL
 - TY = TYPICAL
 - WH = WALL HEIGHT
 - TOW = TOP BACK OF WALK
 - EL = ELEVATION
 - TOP = TOP OF PIPE
 - WV = WATER VALVE
 - WW = WINDOW WELL

- CONTOUR LEGEND:**
- EXISTING 1' CONTOUR --- 7929
 - EXISTING 5' CONTOUR --- 7930
 - PROPOSED 1' CONTOUR --- 7929
 - PROPOSED 5' CONTOUR --- 7930

- LINE KEY:**
- WATER --- W
 - SEWER --- S
 - ELECTRIC --- UEL
 - GAS --- GAS
 - TELEPHONE --- TEL
 - CATV --- CTV
 - PROPERTY LINE --- PL

- PROPOSED UTILITY SYMBOL KEY:**
- Water Vault
 - Water Valve
 - Fire Hydrant
 - Sewer Manhole
 - Utility Pole
 - Electric Transformer
 - Cable TV Pedestal
 - Electric Splice Vault
 - Water Service Curb Stop
 - Sanitary Sewer Cleanout
 - Street Light



Belden Place
UNIT 12 SINGLE FAMILY RESIDENCE W/ ADU
 Minturn, Colorado

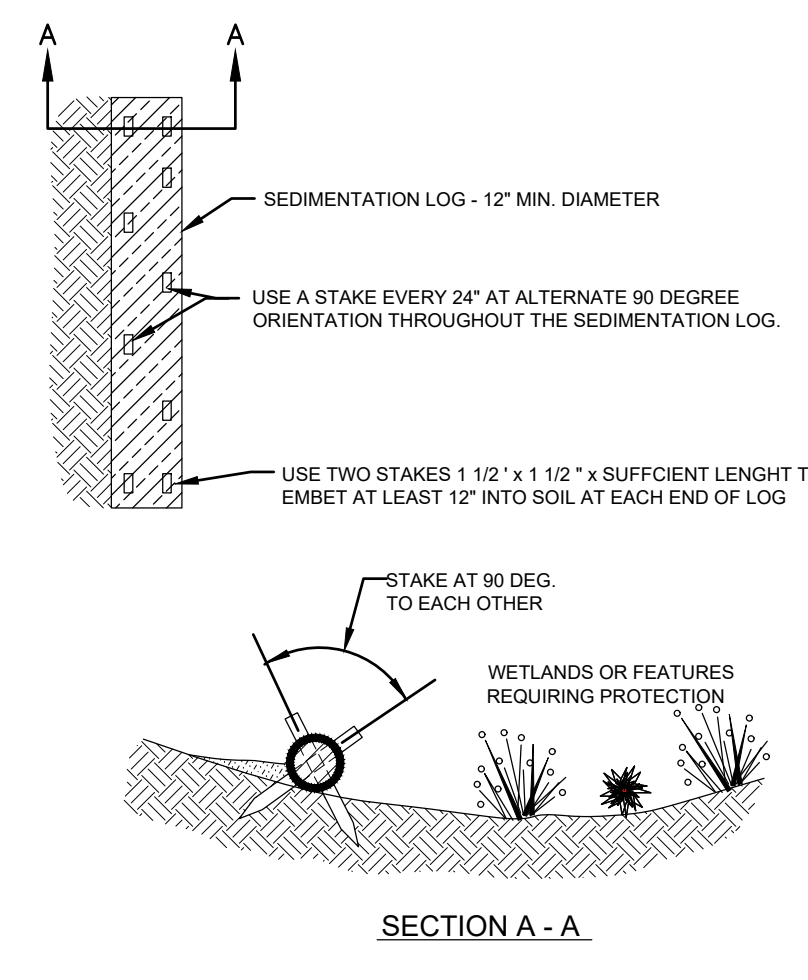
NOT FOR CONSTRUCTION

| DATE | REVISION |
|----------|--------------------|
| 10/9/24 | DRB Coordination |
| 11/11/24 | DRB Coord. updates |
| 12/5/24 | Permit submittal |
| 12/30/24 | Permit resubmittal |

Title: SITE PLAN

Sheet: C.1

- NOTES:**
1. WATER SERVICE LINES SHALL BE TYPE K COPPER
 2. WATER SERVICE CONNECTIONS ARE TO BE COMPRESSION OR SILVER-SOLDERED



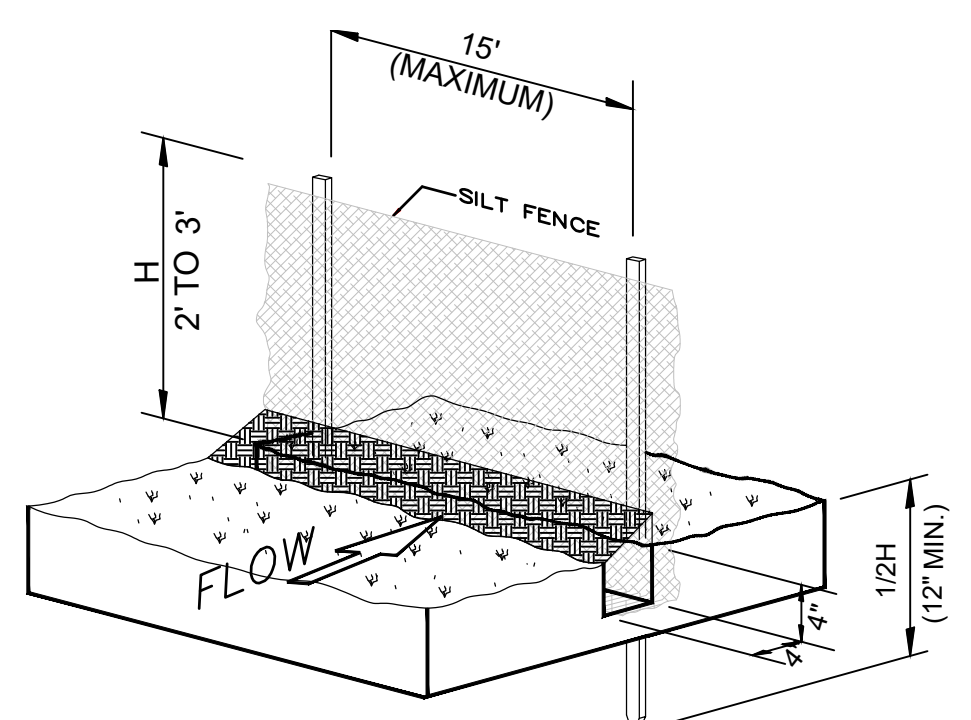
SEDIMENT CONTROL LOG INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
- LOCATION AND LENGTH OF SEDIMENT CONTROL LOG.
2. SEDIMENT CONTROL LOGS INDICATED ON INITIAL SWMP PLAN SHALL BE INSTALLED PRIOR TO ANY LAND-DISTURBING ACTIVITIES.
3. SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELISOR, OR COCONUT FIBER.
4. NOT FOR USE IN CONCENTRATED FLOW AREAS.
5. THE SEDIMENT CONTROL LOG SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 2".

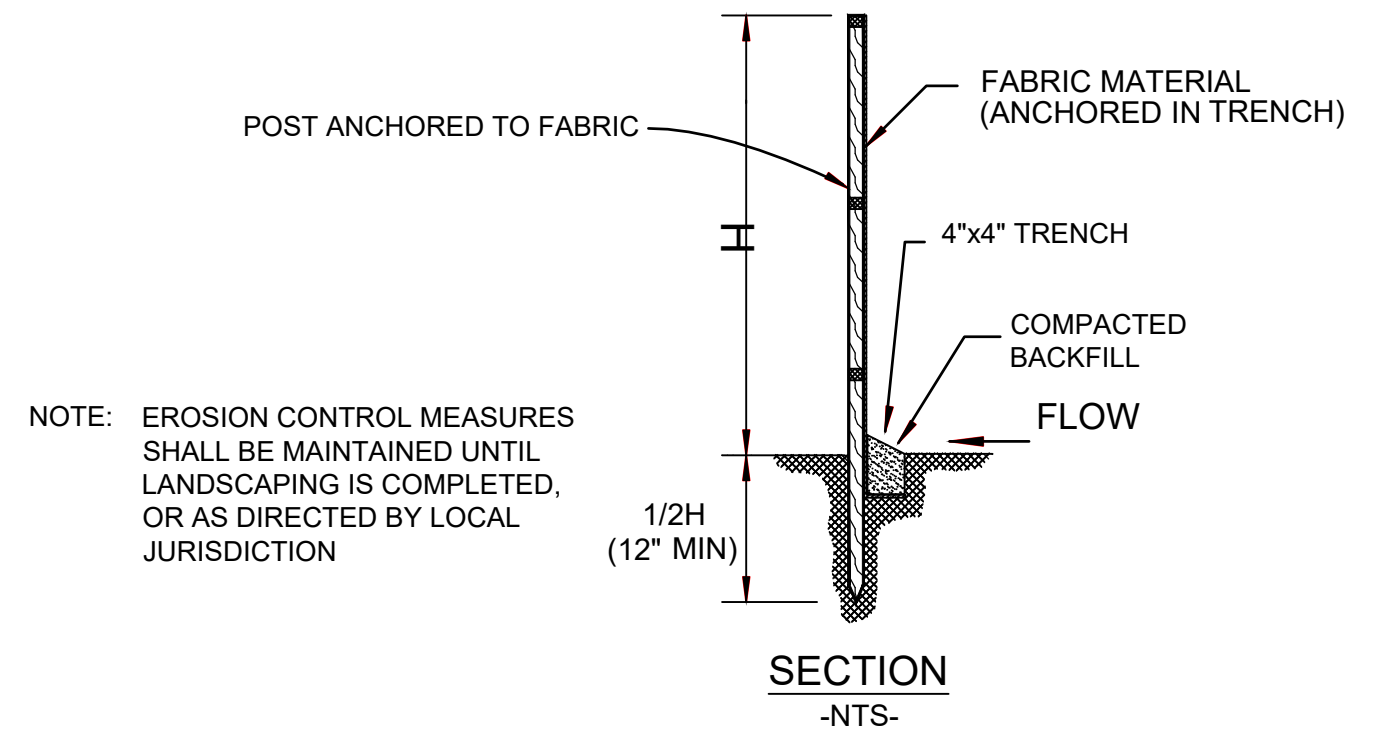
SEDIMENT CONTROL LOG MAINTENANCE NOTES

1. THE SWMP MANAGER SHALL INSPECT SEDIMENT CONTROL LOGS DAILY, DURING AND AFTER ANY STORM EVENT AND MAKE REPAIRS OR CLEAN OUT UPSTREAM SEDIMENT AS NECESSARY.
2. SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOGS SHALL BE REMOVED WHEN THE UPSTREAM SEDIMENT DEPTH IS WITHIN 1/2 THE HEIGHT OF THE CREST OF LOG.
3. SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION. IF ANY DISTURBED AREA EXISTS AFTER REMOVAL, IT SHALL BE COVERED WITH TOP SOIL, DRILL SEEDING AND CRIMP MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

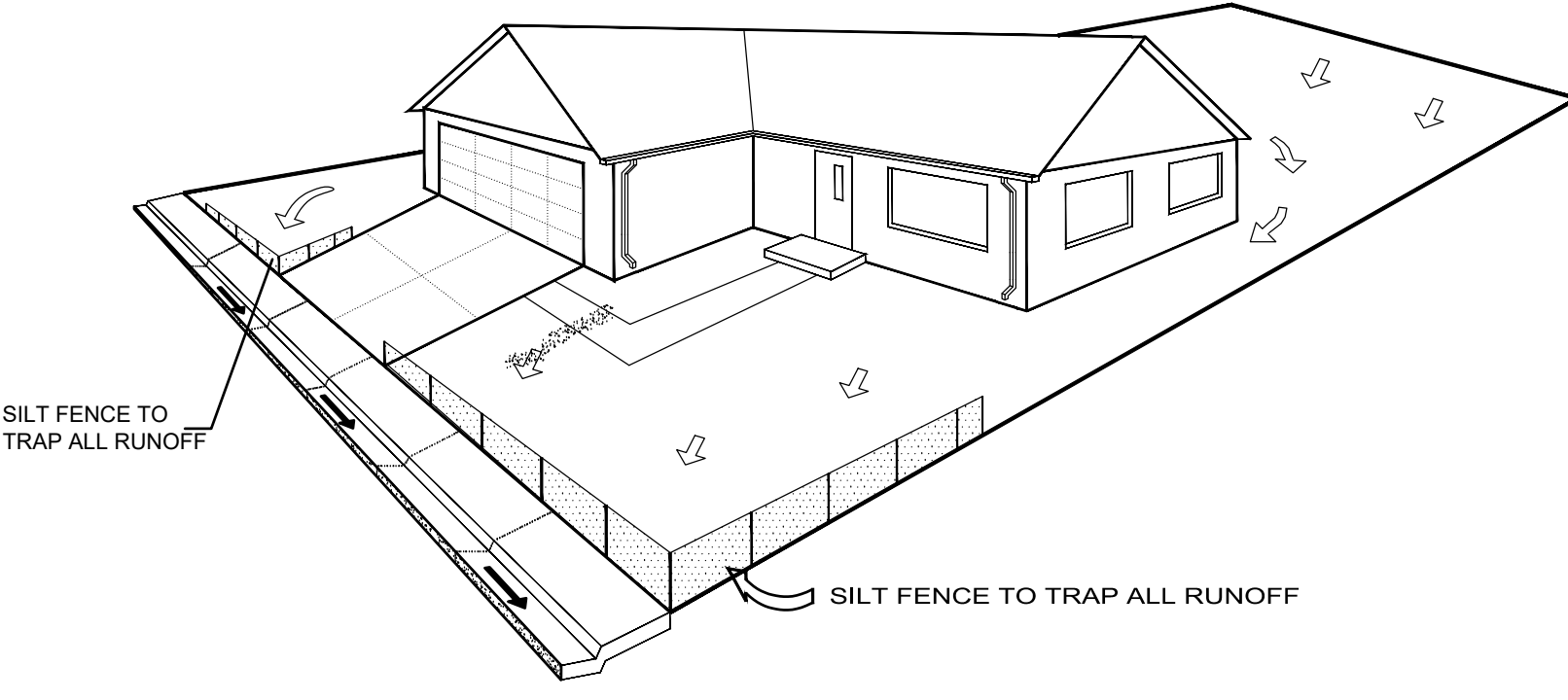
EROSION CONTROL LOG DETAIL



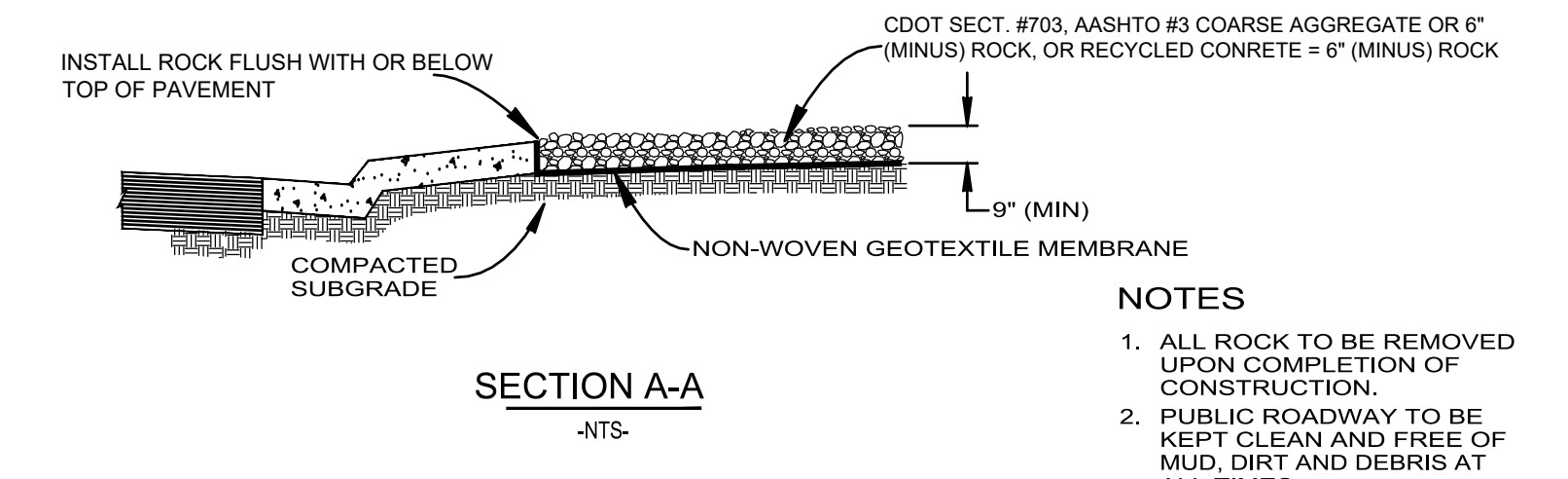
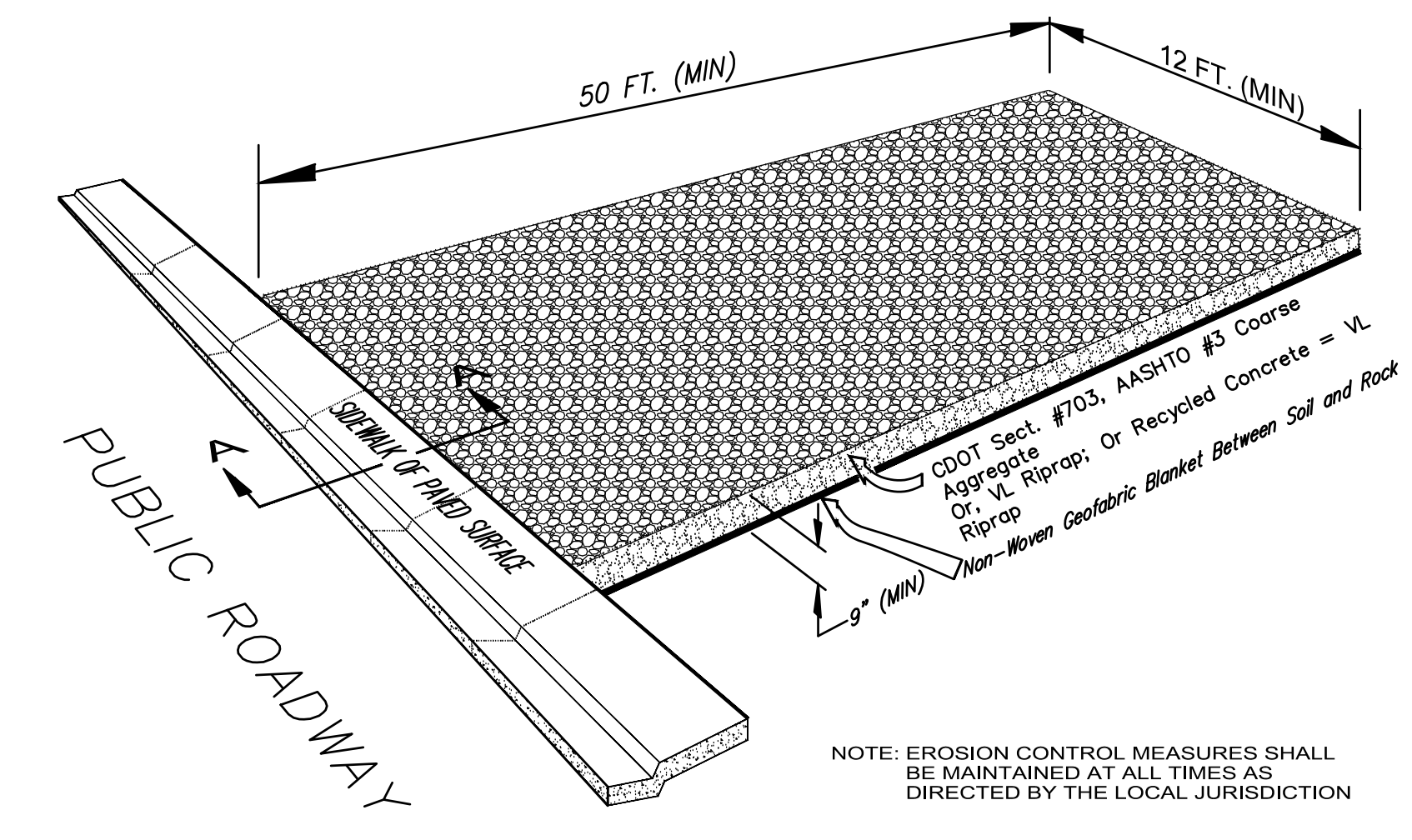
SILT FENCE INSTALLATION -NTS-



SILT FENCE INSTALLATION DETAIL

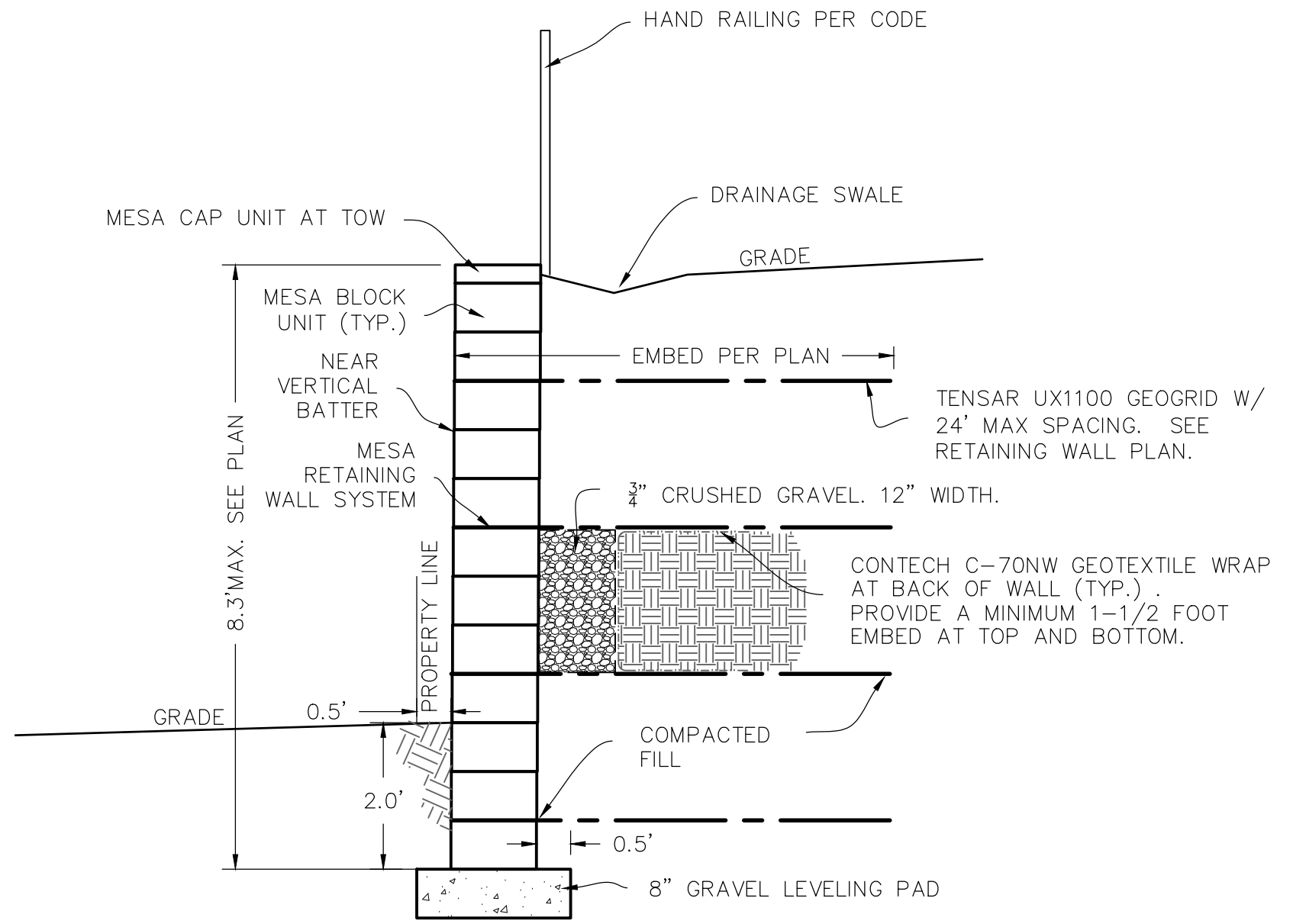
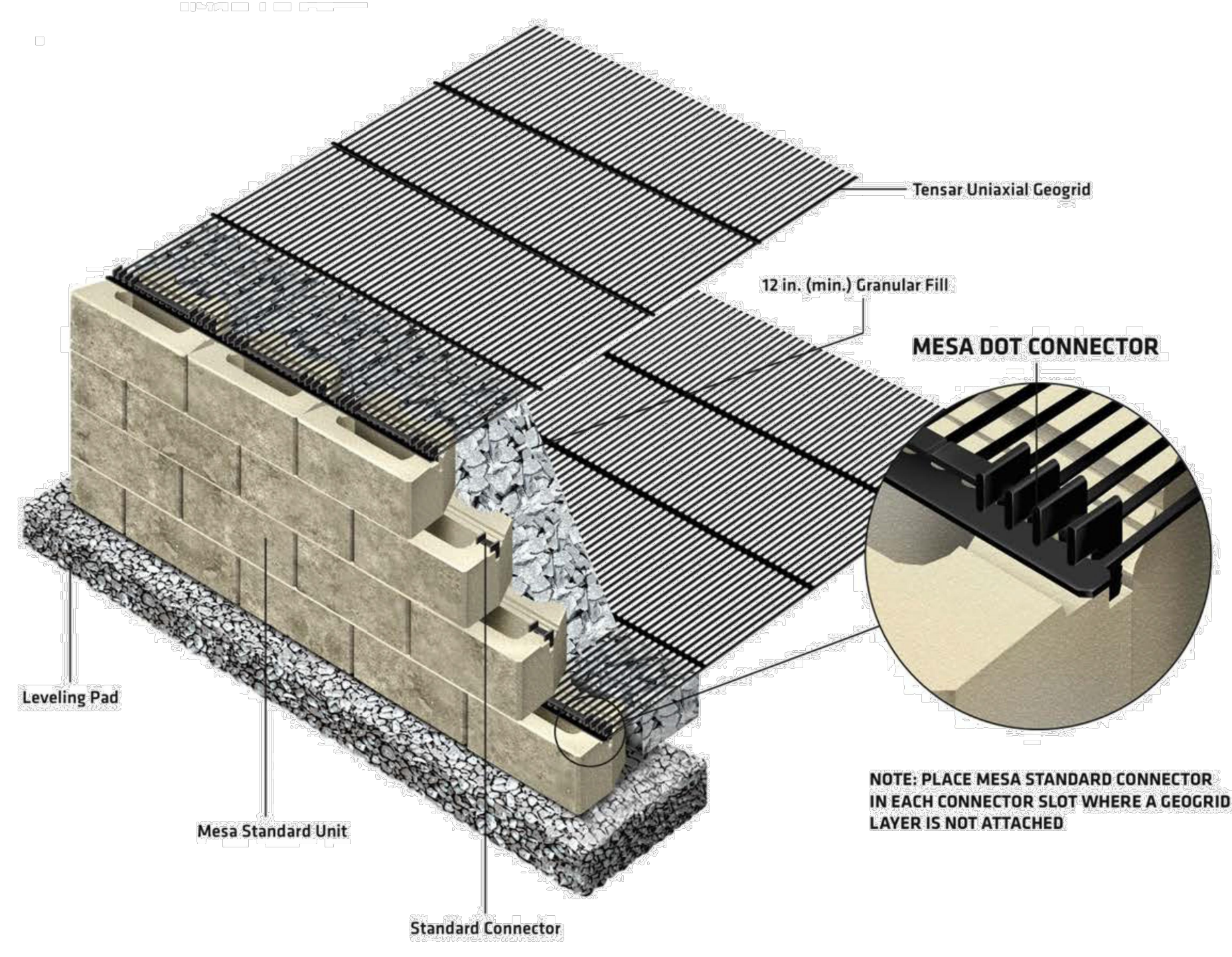


SILT FENCE PLACEMENT DETAIL



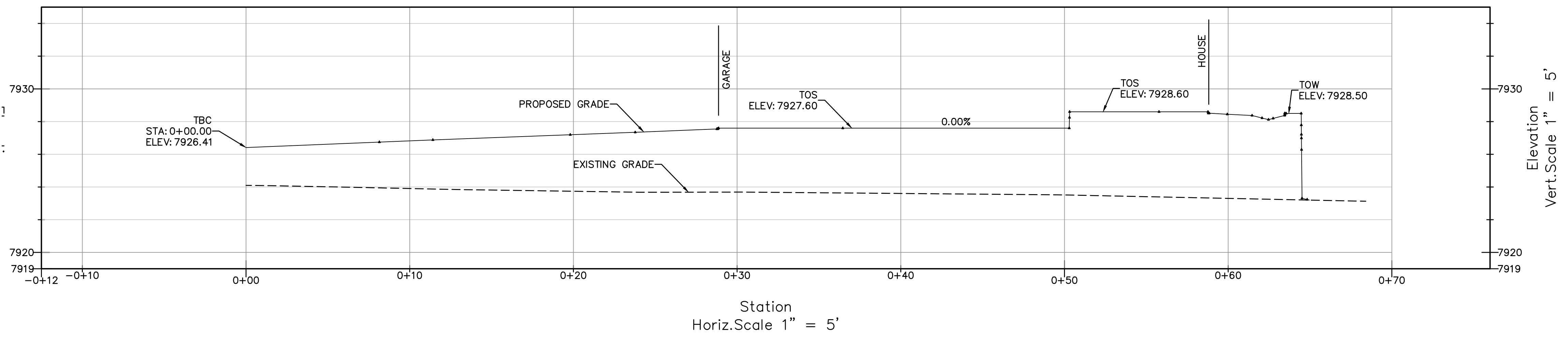
TEMPORARY VEHICLE TRACKING CONTROL DETAIL

MESA® SYSTEM NEAR VERTICAL SETBACK WITH DOT CONNECTOR



RETAINING WALL DETAIL

UNIT 12 SECTION



TIMBERLINE ENGINEERING CIVIL STRUCTURAL
 218 E. Valley Rd. P 970.963.9869
 STE 104-PMB 177
 Colorado, Colorado
 timberlineengineering@gmail.com



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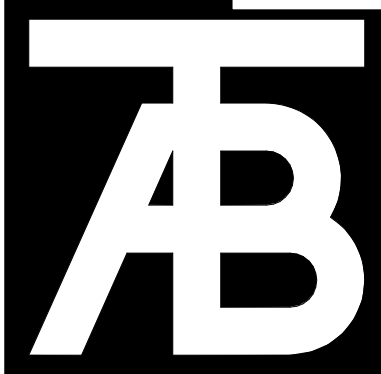
**Belden Place
 UNIT 12 SINGLE FAMILY RESIDENCE W/ ADU**
 Minturn, Colorado

NOT FOR CONSTRUCTION

| DATE | REVISION |
|----------|--------------------|
| 10/9/24 | DRB Coordination |
| 11/11/24 | DRB Coord. updates |
| 12/5/24 | Permit submittal |
| 12/30/24 | Permit resubmittal |

Title: **DETAILS & CROSS SECTION**

Sheet: **C.2**



TAB Associates
The Architectural Balance
0056 Edwards Village Blvd.
Suite 210
Edwards, CO 81432
(970) 766-1470
fax: (970) 766-4471
email: tab@tab.net
www.tabassociates.com
Civil Engineer
Timberline Engineering (970) 963-9869
Structural Engineer
KRM Consultants, Inc. (970) 949-9391
Mechanical Engineer
Electrical Engineer

Seal

Belden Place - Single Family w/ ADU
Lot 12 - 0019 Belden Way
Minturn, CO 81645

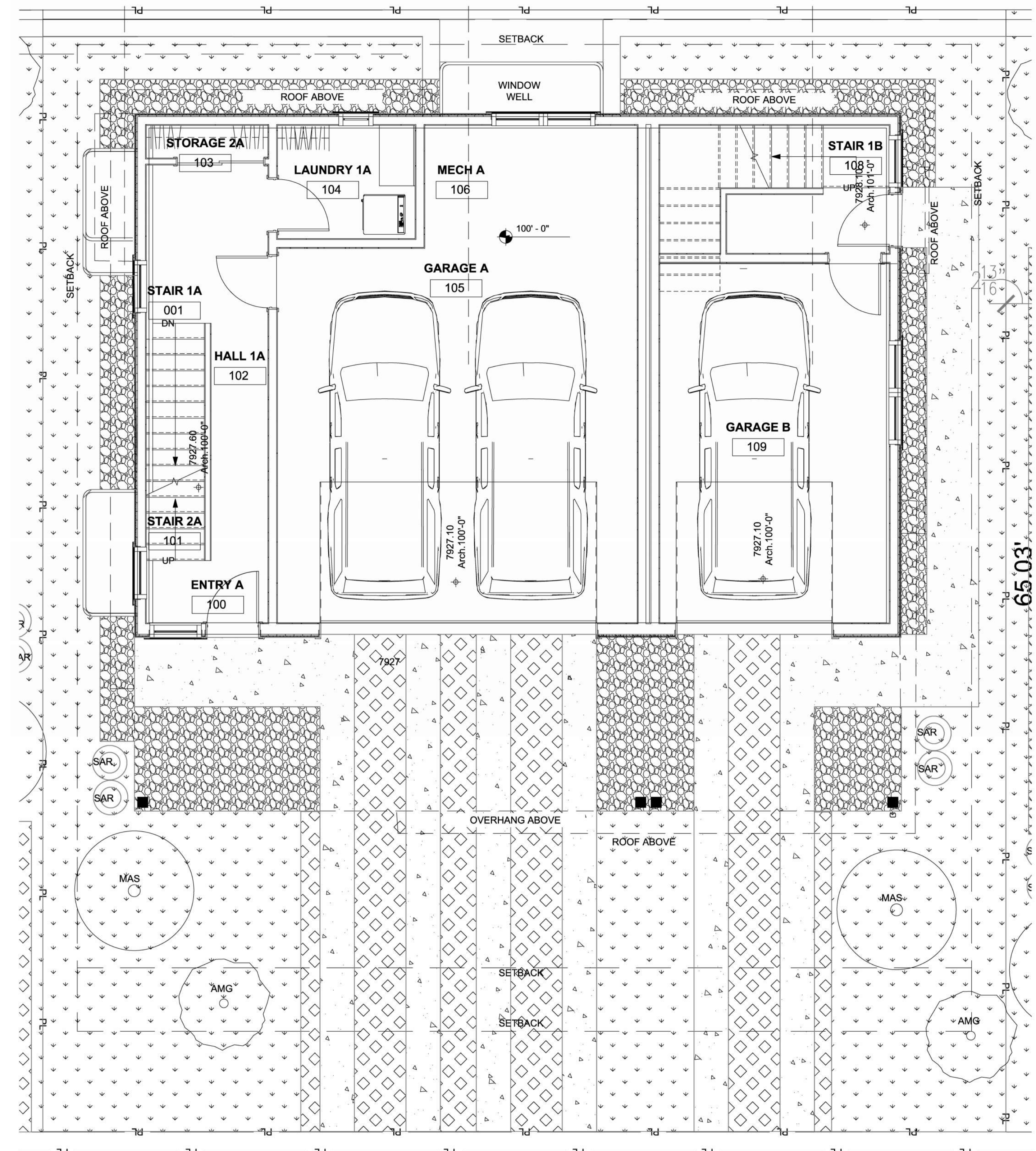
| Revisions: | | |
|------------|-------------|------|
| No | Description | Date |
| | | |
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Issue Dates:
DRB-10/10/2024

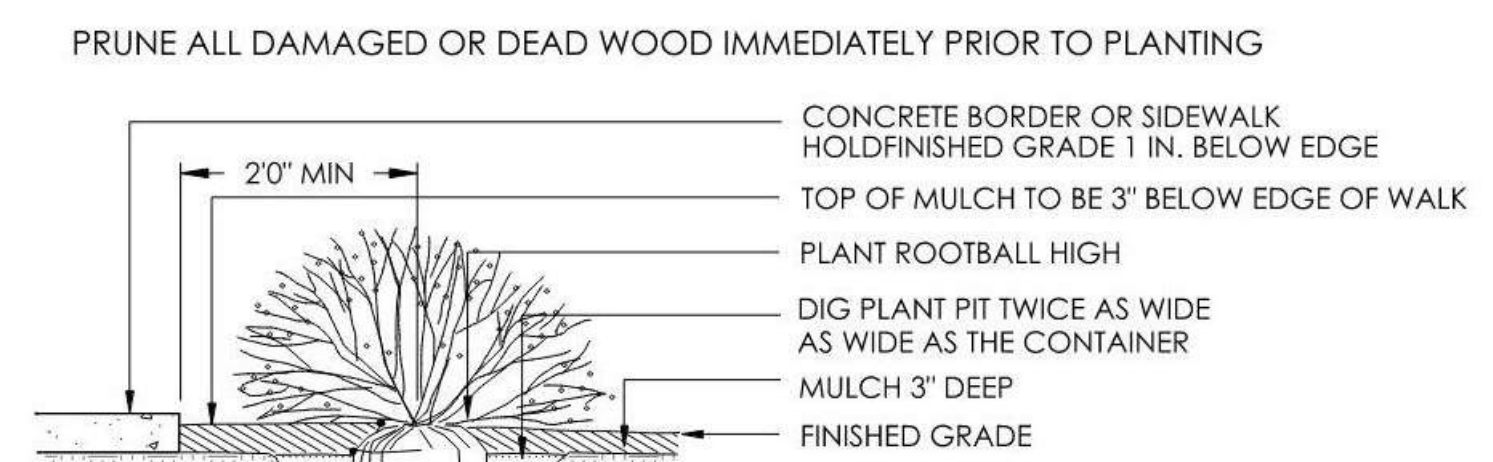
Sheet Title:
Landscape Plan

Project No:
2215

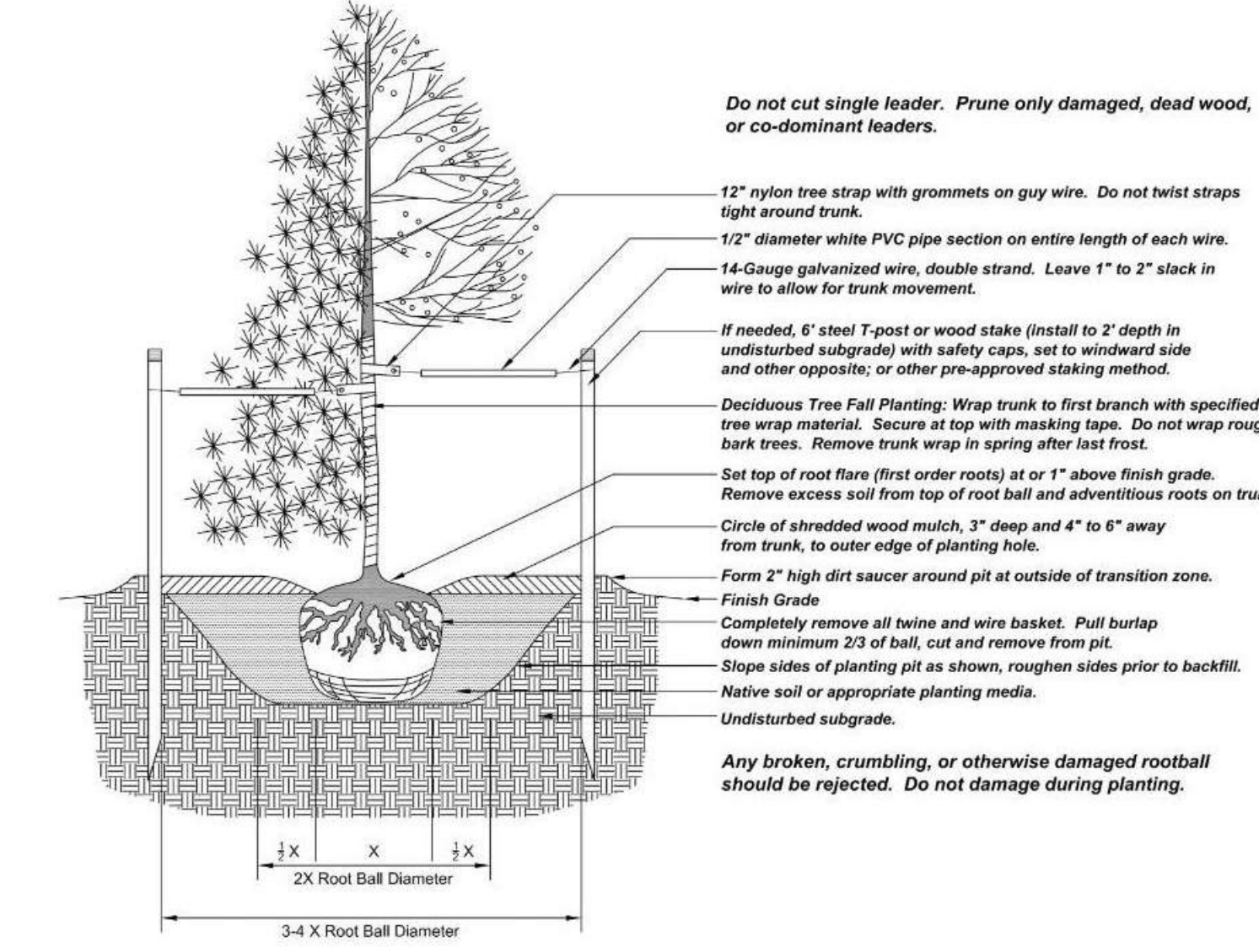
Sheet No:
A1.1



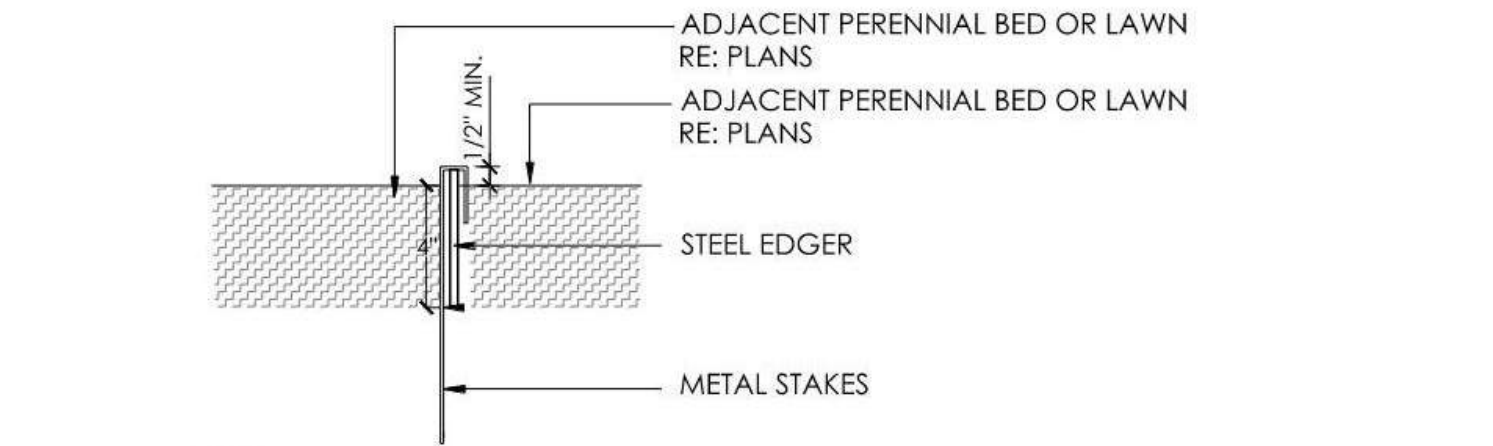
LANDSCAPE PLAN
A1.1 1/4" = 1'-0"



1 SHRUB PLANTING
SCALE: 3/4" = 1'-0"



2 TREE PLANTING
SCALE: N.T.S.



3 METAL EDGER
SCALE: 3/4" = 1'-0"

| ORNAMENTAL TREES | | | | | |
|------------------|---------------------------------------|--------------------------------|----------|----------|-----|
| ABB. | BOTANIC | COMMON | SPACING | SIZE | QTY |
| AMG | <i>Amelanchier x grandiflora</i> | Autumn Brilliance Serviceberry | as shown | 8' clump | 21 |
| CMT | <i>Crataegus x mordanensis</i> 'Toba' | Toba Hawthorn | as shown | 2' Cal | 5 |
| MAS | <i>Malus x 'Spring Snow'</i> | Spring Snow Crabapple | as shown | 2' Cal | 8 |
| MAT | <i>Malus 'Thunderchild'</i> | Thunderchild Crabapple | as shown | 2' Cal | 5 |
| QUG | <i>Quercus gambelii</i> | Gambel Oak | as shown | 8' clump | 11 |

| DECIDUOUS SHRUBS | | | | | |
|------------------|------------------------------------|-------------------|----------|--------|-----|
| ABB. | BOTANIC | COMMON | SPACING | SIZE | QTY |
| SAR | <i>Salix repens</i> | Creeping Willow | as shown | 5 Gal. | 9 |
| SOS | <i>Sorbaria sorbifolia</i> | Ash-leaf Spirea | as shown | 5 Gal. | 6 |
| SPM | <i>Syringa patula</i> 'Miss Kim' | Miss Kim Lilac | as shown | 5 Gal. | 9 |
| SYO | <i>Symphoricarpos occidentalis</i> | Western Snowberry | as shown | 5 Gal. | 4 |

PLAN IS ENLARGED DETAIL AND UPDATE FROM THE PUD APPROVED PLAN. REFER TO PUD APPROVED PLAN FOR ADDITIONAL INFORMATION

| | SITE CALCULATIONS |
|---------------------------|--|
| NATIVE GRASS | SITE SQFT 3,641 SQFT |
| 2" GRAVEL DRIP LINE MULCH | BUILDING COVERAGE 1,820 SQFT |
| 2" GRAVEL DRIP LINE MULCH | IMPERVIOUS COVERAGE 2,180 SQFT (Includes Building) |
| PERMEABLE PAVERS | SITE COVERAGE ALLOWED 70% |
| | SITE COVERAGE 59.9% |

GENERAL NOTES:

- CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND REGULATIONS.
- CONTRACTOR TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO BEFORE DIGGING, INCLUDING BUT NOT LIMITED TO, TRENCHING, SHRUB AND TREE PLANTING PITS. IF UTILITIES OCCUR WITHIN (3) THREE FEET OF PROPOSED FOOTINGS, THE CONTRACTOR SHALL REPORT SUCH CONDITIONS TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR FULL ON-SITE INVESTIGATIONS AS NEEDED IN ORDER TO GAIN A FULL UNDERSTANDING OF EXISTING CONDITIONS PRIOR TO CONSTRUCTION. FAILURE TO INSPECT THE SITE PRIOR TO CONSTRUCTION SHALL NOT BE CAUSE FOR REQUESTING ADDITIONAL MONIES BY THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
- THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR FOR SAFETY PRECAUTIONS OR PROBLEMS UTILIZED IN CONNECTION WITH THE WORK, AND HE/SHE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- VERIFY ALL CONDITIONS AT THE JOB SITE AND NOTIFY LANDSCAPE ARCHITECT AND THE OWNER'S REP. IMMEDIATELY OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO ANY DEMOLITION OR CONSTRUCTION.

SIGHT TRIANGLE NOTES:

- PEDESTRIAN SIGHT TRIANGLES:** NO ITEMS THAT ARE WIDER THAN 18" MAY BE TALLER THAN 30" WITHIN THE PEDESTRIAN SIGHT TRIANGLE.
- CORNER SIGHT TRIANGLES:** NO ITEMS TALLER THAN 30" MAY BE PLACED WITHIN THE CORNER SIGHT TRIANGLE, EXCEPT FOR TRAFFIC CONTROL DEVICES AND EQUIPMENT. TREES MUST BE LIMBED TO 8 FEET AT ADEQUATE MATURITY. TREES SHALL BE PLANTED A MINIMUM OF 10 FEET FROM LIGHT OR UTILITY POLES.
- ROADWAY SIGHT TRIANGLES:** NO ITEMS THAT ARE WIDER THAN 18" MAY BE TALLER THAN 30" WITHIN THE ROADWAY SIGHT TRIANGLE EXCEPT FOR STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT.

TREE PROTECTION ZONE (TPZ) NOTES:

- CONTRACTOR SHALL VERIFY FINAL BOUNDARIES OF TPZ PRIOR TO COMMENCEMENT OF CONSTRUCTION/DEMOLITION ACTIVITIES. EXCESSIVE BRANCH PRUNING ON EXISTING TREES FOR CONSTRUCTION CLEARANCE WILL NOT BE PERMITTED. PRUNING FOR BUILDING CLEARANCE SHALL BE MINIMIZED. DUE TO SCOPE OF CONSTRUCTION AND SIZE OF EX. ROW TREES, USE CHAIN LINK FENCING TO ESTABLISH TPZ.
- THE TREE LAWN WITHIN THE BOUNDARY OF THE TREE DRIFLINE SHALL NOT BE ROTOTILLED AT ANY TIME. ROTOTILLING IS ONLY PERMITTED IN AREAS OUTSIDE OF EXISTING TREE DRIFLINE WHERE CONCRETE & HARDSCAPE ARE REMOVED.

LANDSCAPE NOTES:

- ALL NEW LANDSCAPE AND IRRIGATION SHALL BE UNDER WARRANTY FOR A PERIOD OF (1) ONE YEAR. THE WARRANTY PERIOD SHALL COMMENCE ONCE ALL PUNCH LIST ITEMS ARE SATISFACTORY COMPLETED AND A LETTER OF FINAL COMPLETION IS PROVIDED FROM THE OWNER'S REPRESENTATIVE. ALL LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1 YEAR AFTER THE FINAL COMPLETION IS PROVIDED IN WRITING.
- PLANT MATERIAL AND BED LOCATIONS TO BE STAKED BY THE LANDSCAPE CONTRACTOR FOR REVIEW BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ALL ADJUSTMENTS SHALL BE MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT DIG PLANT PITS UNTIL LOCATIONS ARE APPROVED.
- ROUGH GRADING TO PLUS OR MINUS ONE TENTH OF A FOOT BY GENERAL CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE FINISH GRADING IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR TO APPROVE ROUGH GRADES PRIOR TO MOBILIZATION. MOBILIZATION ON THE PART OF THE LANDSCAPE CONTRACTOR WILL INDICATE THAT ROUGH GRADING IS ACCEPTABLE TO THE LANDSCAPE CONTRACTOR, AND THEREFORE BE RESPONSIBLE FOR PROVIDING ALL FINISHED GRADES TO MEET THE CIVIL GRADING PLANS.
- TREES AND SHRUBS WILL BE INSPECTED ON-SITE. LANDSCAPE PLANT MATERIALS MAY BE REJECTED AT ANY TIME DUE TO ISSUES OF QUALITY.
- ALL NEW LANDSCAPE AREAS SHALL BE IRRIGATED BY A COMMERCIAL GRADE, FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. TREES, SHRUBS, AND DECORATIVE GRASSES SHALL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS; THIS INCLUDES TREES PLANTED IN SOD/GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED. IRRIGATION TO BE DESIGN/BUILD. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ARCHITECT, LANDSCAPE ARCHITECT, AND MECHANICAL AND FOR GENERATION OF AN IRRIGATION PLAN FOR REVIEW WITH AS BUILT PLAN AS REQUIRED.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULE AND REGULATIONS.
- TRUNK-WRAP TAPE: TWO LAYERS OF CRINKLED PAPER CEMENTED TOGETHER WITH BITUMINOUS MATERIAL, 4 INCHES (102 MM) WIDE MIN.
- WRAPPING TREE TRUNKS: WRAP TREES WITH TRUNK-WRAP TAPE. START AT BASE OF TRUNK AND SPIRAL COVER TRUNK TO HEIGHT OF FIRST BRANCHES. OVERLAP WRAP, EXPOSING HALF THE WIDTH, AND SECURELY ATTACH WITHOUT CAUSING GIRDLING. DO NOT USE STAPLES. INSPECT TREE TRUNKS FOR INJURY, IMPROPER PRUNING, AND INSECT INFESTATION AND TAKE CORRECTIVE MEASURES REQUIRED BEFORE WRAPPING. DO NOT WRAP ROUGH BARK, POPULUS OR GLEDITSIA TREES. REMOVE WRAP IN SPRING.
- NO TREE SHALL BE WRAPPED AFTER MAY 21 OR BEFORE NOVEMBER 1.
- ALL DECIDUOUS TREES SHALL BE WRAPPED BY NOV. 15. REMOVE TREE WRAP BY MAY 15.
- CONTRACTOR SHALL BE RESPONSIBLE FOR WRAPPING AND UNWRAPPING TREES DURING THE WARRANTY PERIOD.
- FIBER MULCH AT PLANTING BEDS: ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, CONSISTING OF SHREDDED REDWOOD MULCH NOT LARGER THAN FOUR INCHES (4") IN LENGTH. SUBMIT 1.0 CF SAMPLE FOR APPROVAL.



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Seal

Belden Place - Single Family w/ ADU
Lot 12 - 0019 Belden Way
 Minturn, CO 81645

Revisions:

| No | Description | Date |
|----|-------------|------|
| | | |
| | | |
| | | |

Issue Dates:
 DRB-10/10/2024

Sheet Title:
Basement & Ground Floor Plans

Project No:
 2215

Sheet No:
A2.1

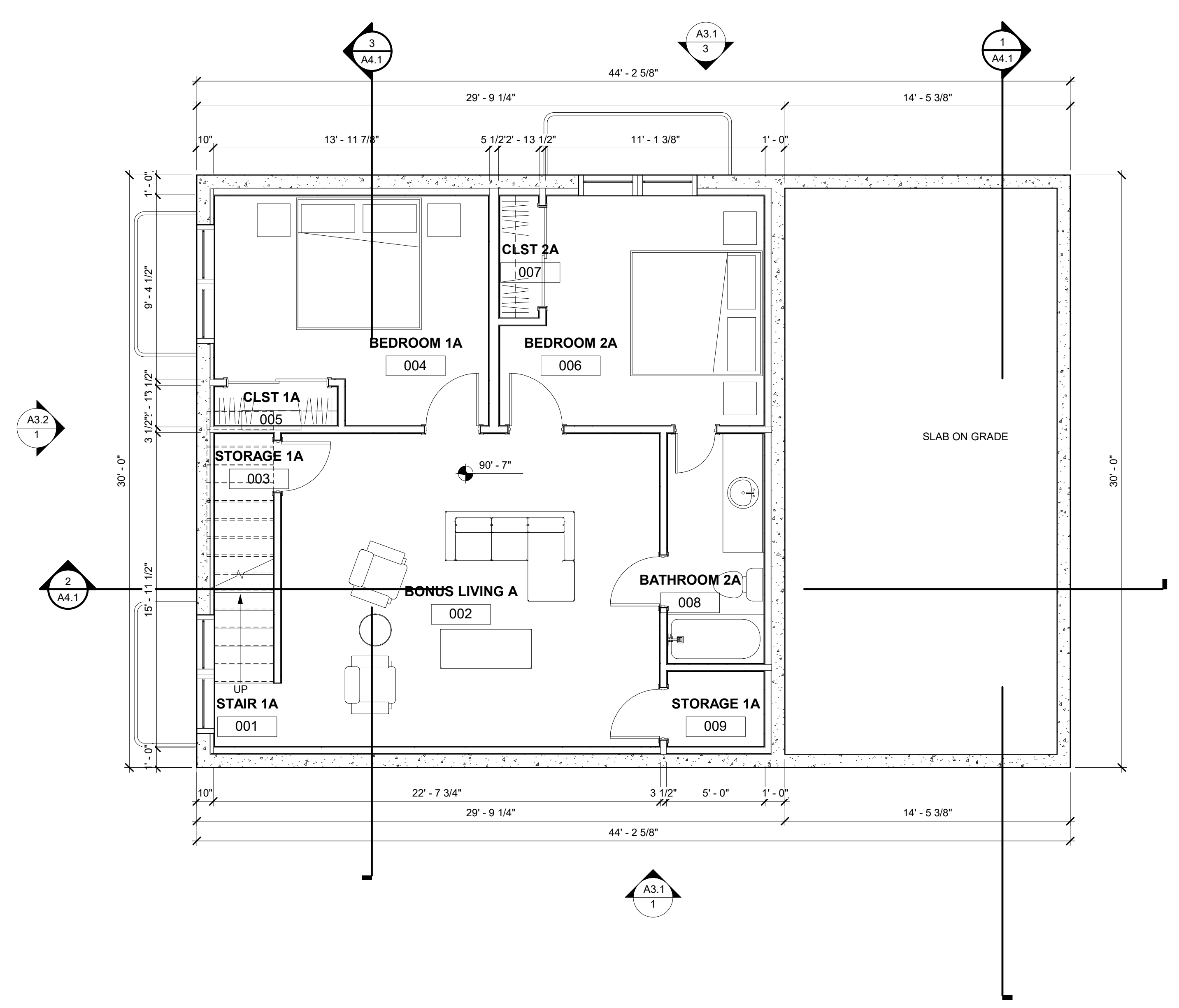
NOTES:

- CLOSET NOTES:**
- SINGLE HANGING: DESIGNATED BY SINGLE DASHED LINE IN CLOSETS TO BE 16" SHELF @ 7'-0" AFF, 18" SHELF & ROD @ 3'-0" AFF.
 - DOUBLE HANGING: DESIGNATED BY DOUBLE DASHED LINE IN CLOSETS TO BE 16" SHELF & ROD @ 7'-0" AFF, 12" SHELF & ROD @ 3'-0" AFF.
 - SHELVES @ WALK-IN CLOSETS: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, SHELF WIDTH TO BE CLOSET WIDTH, LESS 4'-0" OR AS OTHERWISE INDICATED.
 - LINEN SHELVES: 6 SHELVES, WIDTH AS NOTED, @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.
 - STORAGE SHELVES: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.

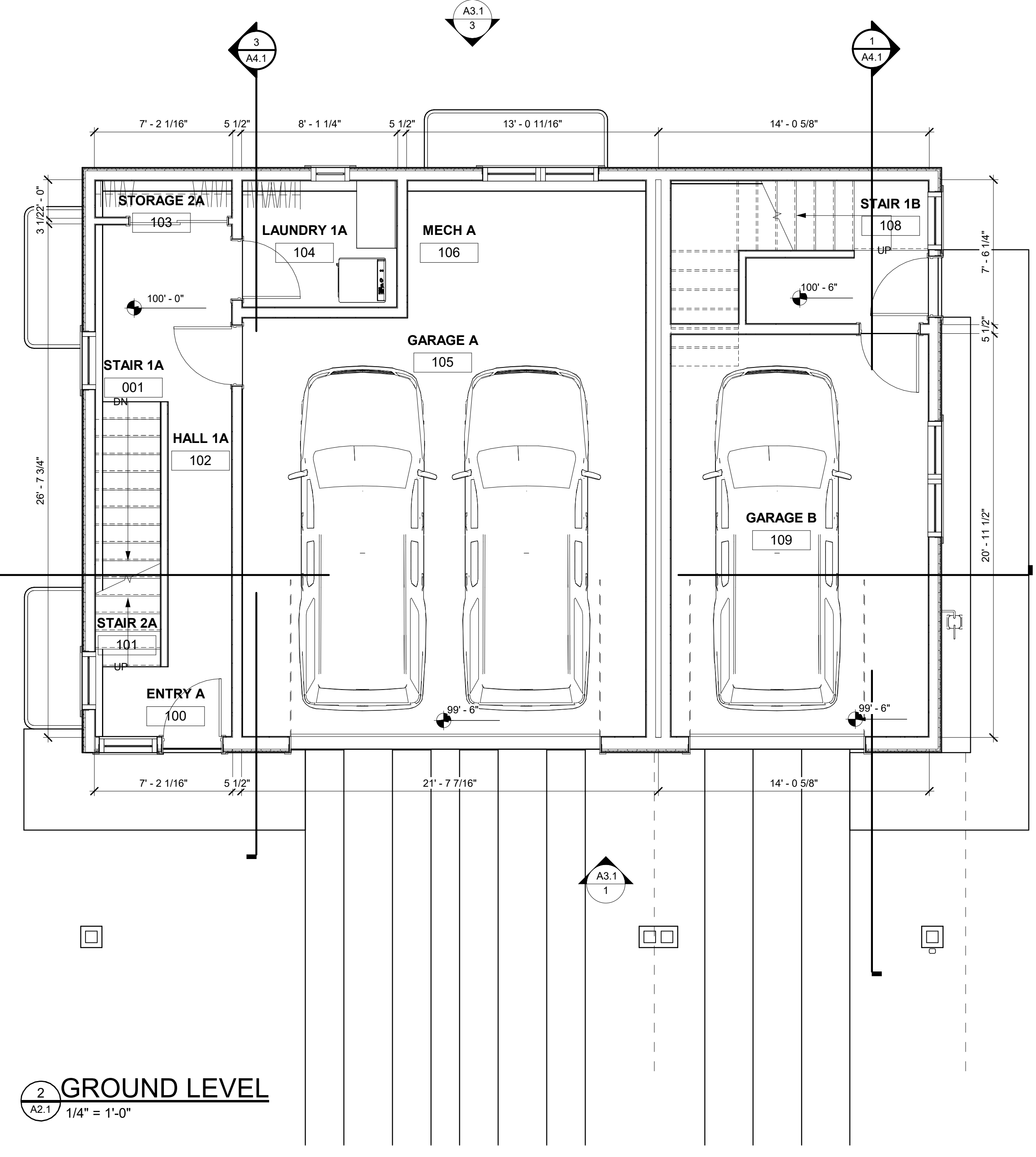
- GENERAL CLOSET NOTES:**
- ALL SHELVES & VERTICAL DIVIDERS TO BE AC PLYWOOD WITH 1/2 EDGE, SPECIES TO BE SPECIFIED BY DEVELOPER.
 - CLEATS TO BE 1/2 CLEAR PINE.
 - PROVIDE ROD SUPPORTS @ 36" OC MAX.
 - ALL TO BE STAINED TO MATCH CASE & BASE.

- FLOOR PLAN GENERAL NOTES:**
- PATCH EXISTING CONSTRUCTION SCHEDULED TO REMAIN, REPAIRED SURFACES TO BE FLUSH WITH ADJACENT FINISH SURFACES, TO SAME QUALITY AS NEW CONSTRUCTION PRIOR TO INSTALLING NEW FINISHES. REFER TO THE FINISH MANUFACTURER'S GUIDELINES FOR INSTALLATION.
 - PATCH EXISTING FIRE-RATED WALLS, FLOOR CEILINGS, ETC. SO AS TO MAINTAIN THE FIRE-RADIATING, ADD FIRE-SMOKE DAMPERS WHERE NEW DUCTS CROSS. ADD FIRE STOP AT ALL.
 - PATCH WALLS AT REMOVED RECEPTACLE OPENINGS SO AS TO RECEIVE SUBSEQUENT WORK.
 - PATCH AND LEVEL FLOOR SUBSTRATES TO RECEIVE NEW WORK AS SCHEDULED.
 - COORDINATE ALL FLOOR CORE DRILLING WITH EXISTING.
 - DO NOT SCALE DRAWINGS.
 - IN ROOMS WITH FLOOR DRAINS, SLOPE CONCRETE SURFACE WITH 1/8" RADIUS AT 14" PER FOOT TOWARD FLOOR DRAIN, UNLESS OTHERWISE INDICATED.
 - ALL SPOT ELEVATIONS SHOWN ON THE FLOOR PLANS OUTSIDE THE BUILDING RELATE TO USGS ELEVATIONS. ALL SPOT ELEVATIONS INSIDE THE BUILDING REFER TO BUILDING REFERENCE ELEVATIONS. NOTIFY ARCHITECT IMMEDIATELY SHOULD CONDITIONS BE FOUND CONTRADICTORY TO THESE DRAWINGS.
 - ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE TO GRID LINE, FACE OF CONCRETE OR MASONRY, OR FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
 - ALL FLOOR PLAN DIMENSIONS TO MASONRY ARE NOMINAL DIMENSIONS, UNLESS NOTED AS ACTUAL.
 - "TB" NEW CORK TACKBOARDS OR "MB" NEW MARKERBOARDS.
 - PROVIDE EXIT DOOR NUMBERS PER DOOR SIGNAGE SHEET AT ALL EXIT DOORS.

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS. IMMEDIATELY NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED. ALL DIMENSIONS ARE GIVEN TO FACE OF WALL FRAMING. SEE WALL SECTIONS AND WALL TYPES FOR EXACT CONSTRUCTION.
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 - PROVIDE 4" RETURN FROM FACE OF ADJACENT WALL FOR ANY DOORS NOT DIMENSIONED.
 - SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ITEMS NOT SHOWN ON ARCHITECTURAL DRAWINGS AND COORDINATE.
 - ALL INTERIOR WALLS SHALL EXTEND TO UNDERSIDE OF ROOF DECK AND STEEL STRUCTURE (BEAM) UNLESS NOTED OTHERWISE. SEE PARTITION WALL TYPES ON SHEET A0.03.
 - DATUM 100'-0" INDICATED ON ALL DRAWINGS, OTHER THAN CIVIL SERIES EQUALS XXXX.XX ON CIVIL DRAWINGS.
 - ALL STEEL LOCATED BELOW AND EXPOSED TO GRADE TO BE COATED WITH BITUMINOUS DAMPROOFING.
 - CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS FOR SPECIAL INSPECTIONS, 2015 IBC-1704.



1 BASEMENT
 A2.1 1/4" = 1'-0"

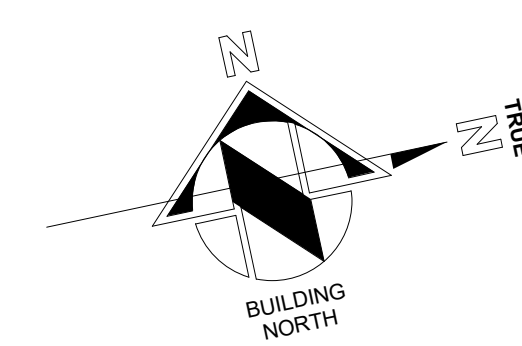


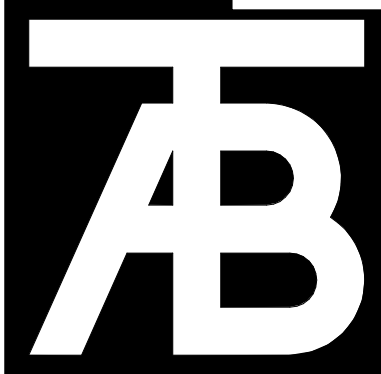
2 GROUND LEVEL
 A2.1 1/4" = 1'-0"

AREA SUMMARY

| | UNIT A | UNIT B |
|--|-----------------|-----------------|
| PROPOSED CONDITIONED SQUARE FOOTAGE | | |
| BASEMENT LEVEL | 736 SF | 0 SF |
| GROUND LEVEL | 271 SF | 41 SF |
| MAIN LEVEL | 1,031 SF | 428 SF |
| UPPER LEVEL | 932 SF | 281 SF |
| TOTAL | 2,972 SF | 750 SF |
| PROPOSED UNCONDITIONED SQUARE FOOTAGE | | |
| BASEMENT LEVEL | 0 | 0 |
| GROUND LEVEL | 553 SF | 283 SF |
| MAIN LEVEL DECK | 0 | 0 |
| UPPER LEVEL | 0 | 0 |
| TOTAL | 553 SF | 283 SF |
| TOTAL COND & UNCOND | 3,525 SF | 1,033 SF |

AREA SUMMARY
 1/2" = 1'-0"





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Seal

Belden Place - Single Family w/ ADU
Lot 12 - 0019 Belden Way
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| Revisions: | | |
|------------|-------------|------|
| No | Description | Date |
| | | |
| | | |
| | | |

Issue Dates:
 DRB-10/10/2024

Sheet Title:
Main & Upper Floor Plans

Project No:
 2215

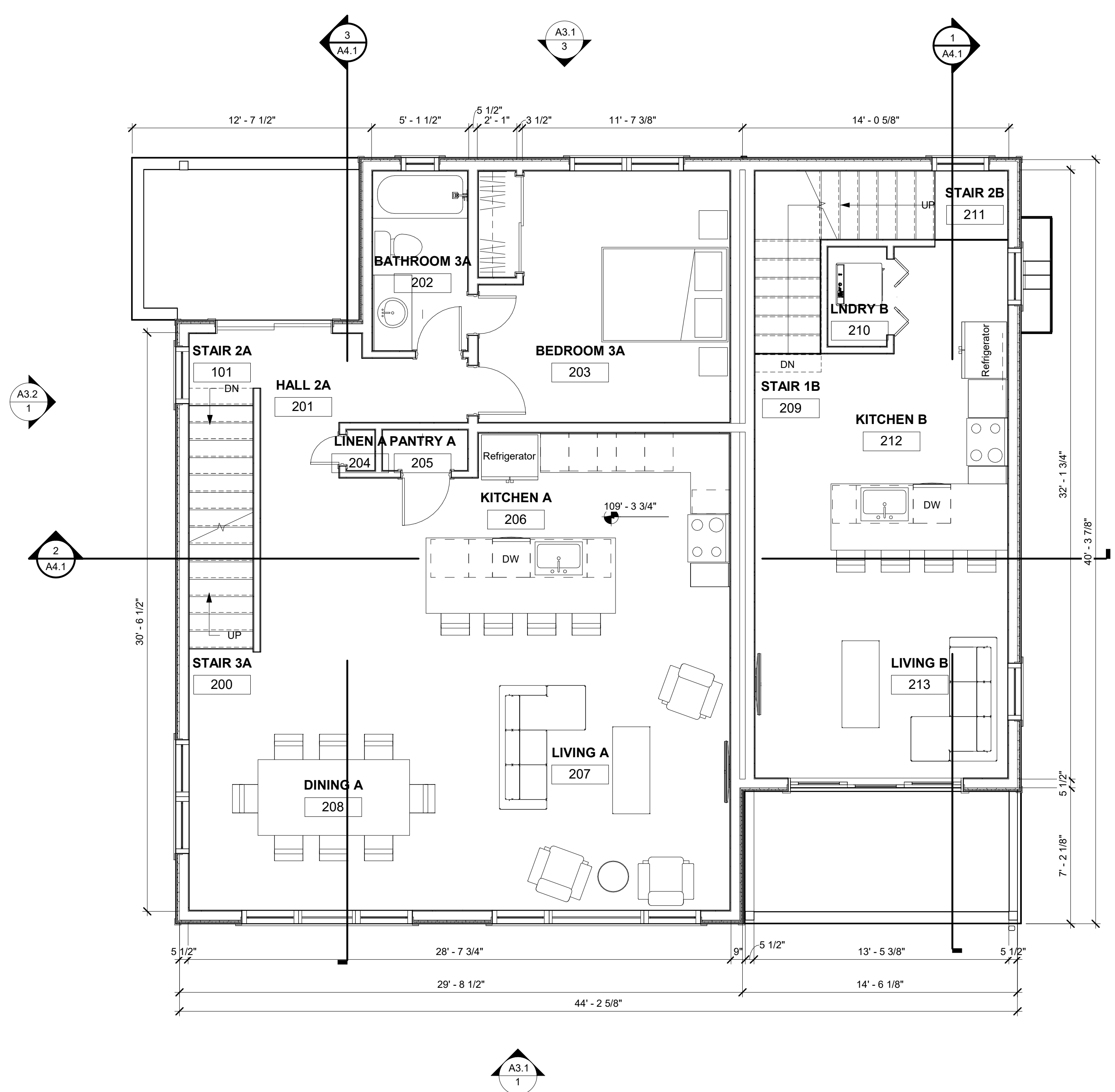
Sheet No:
A2.2

NOTES:

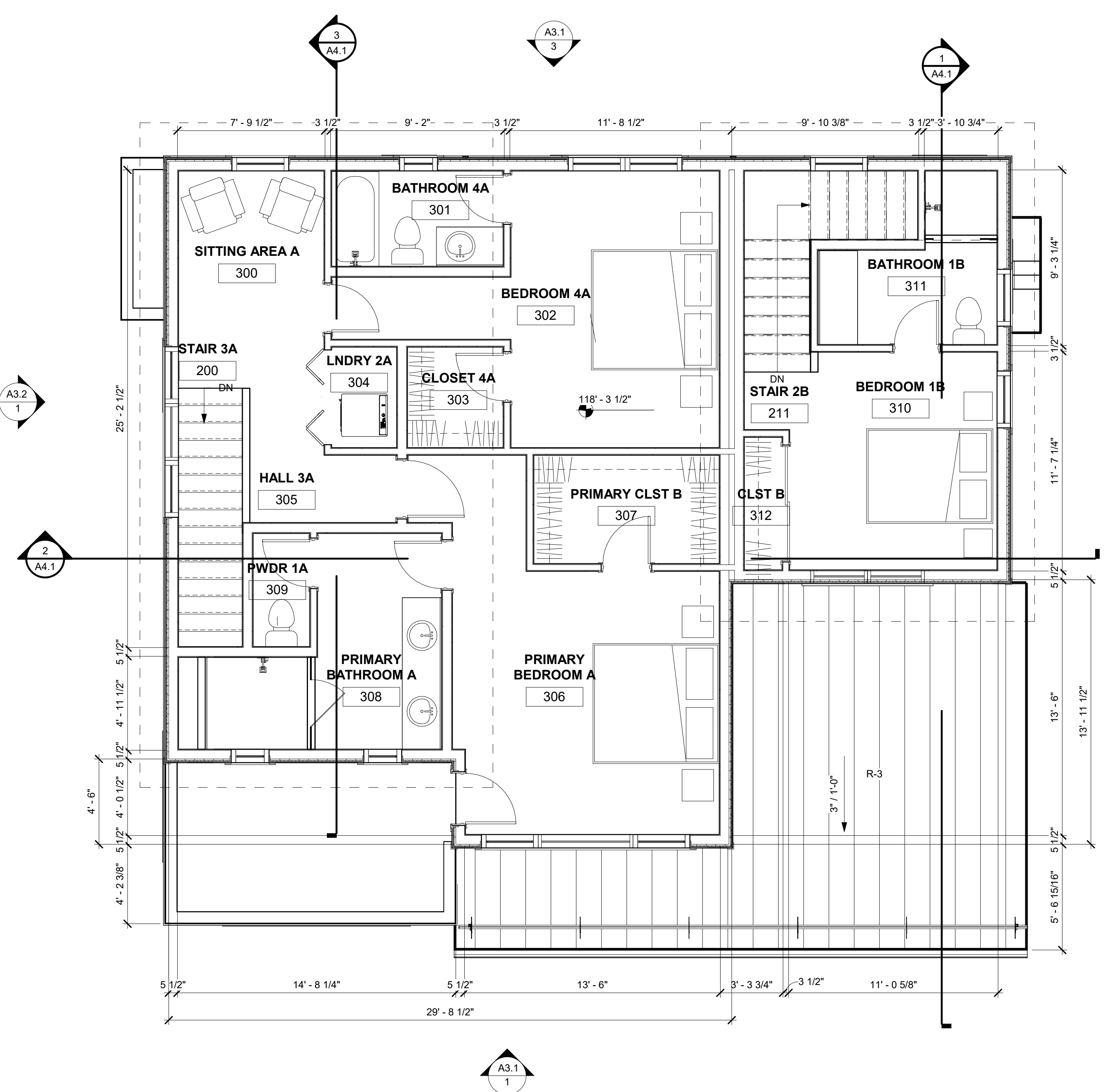
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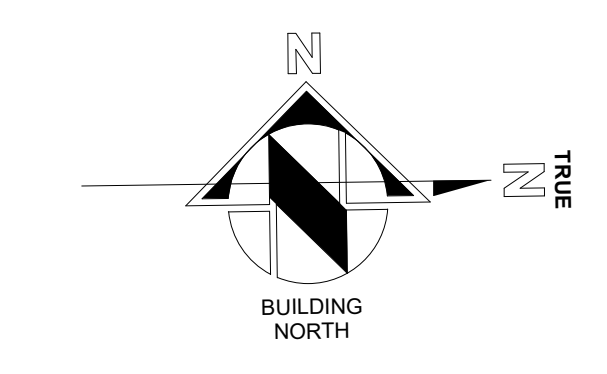
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 - CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS FOR SPECIAL INSPECTIONS, 2015 IBC-1704.

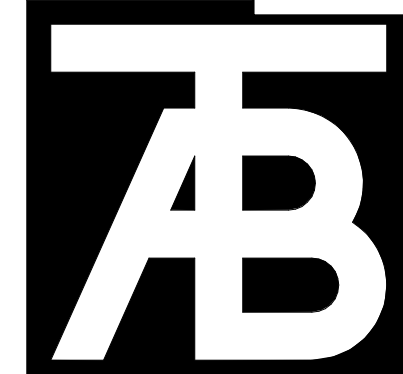


1 MAIN LEVEL
 1/4" = 1'-0"



2 UPPER LEVEL
 1/4" = 1'-0"





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Revisions:

| No | Description | Date |
|----|-------------|------|
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| | | |
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Issue Dates:
 DRB-10/10/2024

Sheet Title:
Roof Plan

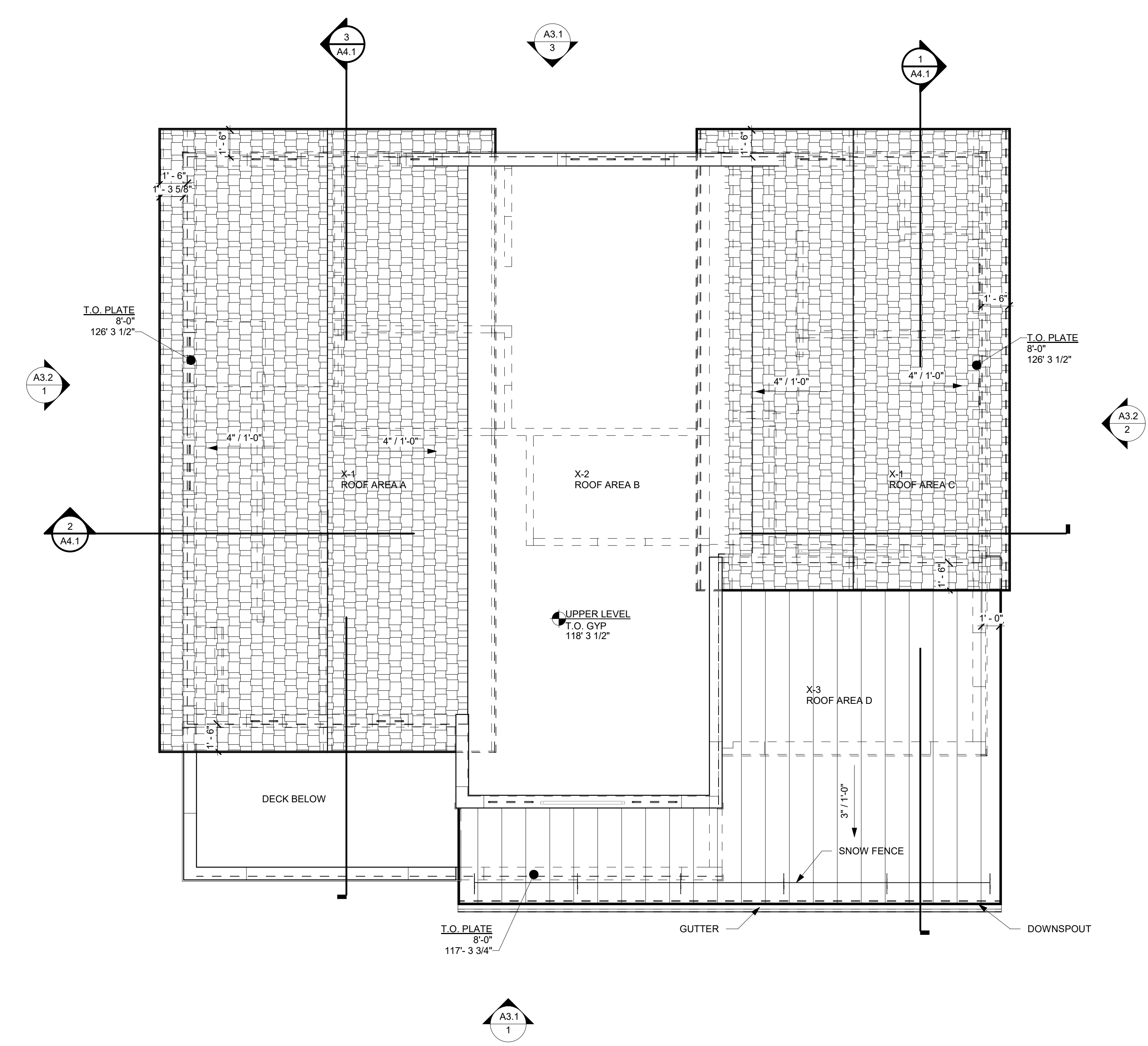
Project No:
 2215

Sheet No:
A2.3

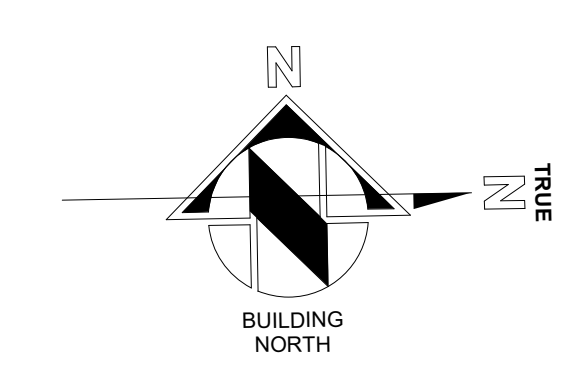
NOTES:

- ROOF FINISH LEGEND**
- NOTES:**
- HATCHED AREAS INDICATE OVERBUILT ROOF & CRICKETS, RE. STRUCTURAL
 - ALL GUTTERS & DOWNSPOUTS TO RECEIVE HEAT TAPE FOR ENTIRE LENGTH, RE. DIAGRAM ON ELECTRICAL PLANS
 - T.O. RIDGE ELEVATIONS GIVEN AT TOP OF ROOF SHEATHING
 - CONTRACTOR TO VERIFY CHIMNEY DIMENSIONS WITH FIREPLACE MANUFACTURERS' REQUIREMENTS
- R-1 TAMKO ASPHALT SHINGLES, HERITAGE PREMIUM, COLOR: NATURAL TIMBER
- R-2 COIL COATED MTL STANDING SEAM ROOF SEE SYSTEM NOTES SHEET A0.1
- COIL COATED MTL FLASHING, GUTTERS, AND DOWNSPOUTS
- OVERHANGS ARE 2'-0" FROM FACE OF FRAMING TYP. U.N.O.
- CHIMNEY CAP - 6" SANDSTONE CAP
- ROOF BEAMS - ROUGH SAWN TIMBER

- BEAMWORK LEGEND:**
- A - 4X10
 - B - 6X10
 - C - 6X12
 - D - 8X12
 - E - 10X14
 - F - 12X16
- STICK RIDGE ● B.O. RIDGE +20'-2 5/8"
 120'-2 5/8" (8359.22')
 T.O. RIDGE 8360.68'
- T.O. WALL PLATE ● T.O. PLATE
 +10'-0"
 110'-0"
- FLOOR SPOT ELEV ● MAIN LEVEL
 T.O. FLYWID/CONC/GYP
 100'-0" (8466.5')
- TRUSS RIDGE ● +20'-2 5/8"
 120'-2 5/8"
 T.O. RIDGE 8360.68'
- TRUSS BEARING ● T.O. PLATE
 +10'-0"
 110'-0"
 +18" HEEL



1 ROOF PLAN
 A2.3 1/4" = 1'-0"



| Roof Mark | Roof Area (SF) | | Roof Area % | Avg Hgt (Ft) | Weighted Avg (Ft) |
|-----------|----------------|------------|-------------|--------------|-------------------|
| A | 597.00 | / by total | 31.47 | X 28.91 | = 909.82 |
| B | 577.00 | / by total | 30.42 | X 29.04 | = 883.29 |
| C | 353.00 | / by total | 18.61 | X 28.81 | = 536.11 |
| D | 370.00 | / by total | 19.50 | X 20.04 | = 390.87 |
| | 1897.00 | | 100.00 | 106.80 | 2720.09 |
| | | | | | 27.23/8' |

NOTES:

EXTERIOR MATERIAL LEGEND:

- X-1 DIAMOND KOTE LP SMARTSIDE LAP SIDING
- X-2 DIAMOND KOTE LP SMARTSIDE LAP SIDING
- X-3 DIAMOND KOTE LP SMARTSIDE LAP SIDING
- X-4 VERTICAL CORRUGATED METAL SIDING
- R-1 ASPHALT SHINGLE ROOF
- R-2 LOW SLOPE EPDM
- R-3 STANDING SEAM METAL ROOF

EXTERIOR ELEVATION GENERAL NOTES:

1. EXTERIOR FINISHES INDICATED ON ELEVATIONS SEE "EXTERIOR MATERIAL LEGEND" FOR MATERIALS.
2. REFERENCE ROOF PLAN FOR LOCATIONS OF ROOF COMPONENTS NOT INDICATED ON EXTERIOR ELEVATIONS.
3. REFER TO MEP AND STRUCTURAL DRAWINGS FOR ANY ADDITIONAL WORK.
4. ASSUME ALL PAINTED SURFACES WILL BE REPAINTED THIS INCLUDES BUT IS NOT LIMITED TO: DOORS, DOOR FRAMES, WINDOW FRAMES, AND HEADERS, CEILINGS, HANDRAILS, EXPOSED MECHANICAL, CMU ACCENTS, SOFFITS, STRUCTURAL BEAMS, AND ETC.
5. PROVIDE ALLOWANCE TO SEAL AND CAULK VARIOUS WALL PENETRATIONS AND HOLES AROUND EXTERIOR PERIMETER OF BUILDING, SIMILAR AREAS SUCH AS HOSE BIBS, PIPES, ETC.
6. PROVIDE ALLOWANCE TO REVIEW ALL EXPOSED ELECTRICAL CONDUIT TO DETERMINE FEASIBILITY TO REMOVE OR RELOCATE. INCLUDE IN ALLOWANCE LABOR AND MATERIALS TO REMOVE OR RELOCATE.
7. SEE CIVIL PLANS FOR NOTE TO RESEAL ALL HORIZONTAL CONCRETE AND ASPHALT JOINTS AT BUILDING.
8. WHEN A PORTION OF A WALL IS PAINTED ASSUME THE ENTIRE WALL IS PAINTED TO INSIDE OR OUTSIDE CORNERS.
9. DO NOT SCALE DRAWINGS.
10. ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS NOTED OTHERWISE.



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Revisions:

| No | Description | Date |
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| | | |

Issue Dates:
 DRB-10/10/2024

Sheet Title:
Exterior Elevations

Project No:
 2215

Sheet No:
A3.1



SOUTH ELEVATION
 1-A3.1 1/4" = 1'-0"



NORTH ELEVATION
 3-A3.1 1/4" = 1'-0"

NOTES:

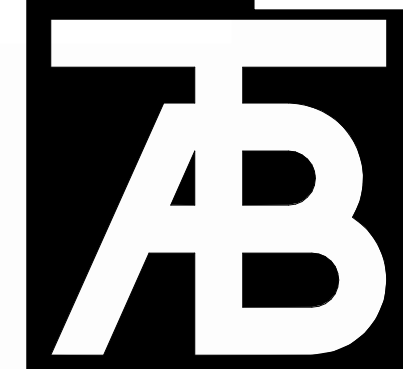
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5. PROVIDE ALLOWANCE TO SEAL AND CAULK VARIOUS WALL PENETRATIONS AND HOLES AROUND EXTERIOR PERIMETER OF BUILDING, SIMILAR AREAS SUCH AS HOSE BIBS, PIPES, ETC.
6. PROVIDE ALLOWANCE TO REVIEW ALL EXPOSED ELECTRICAL CONDUIT TO DETERMINE FEASIBILITY TO REMOVE OR RELOCATE. INCLUDE IN ALLOWANCE LABOR AND MATERIALS TO REMOVE OR RELOCATE.
7. SEE CIVIL PLANS FOR NOTE TO RESEAL ALL HORIZONTAL CONCRETE AND ASPHALT JOINTS AT BUILDING.
8. WHEN A PORTION OF A WALL IS PAINTED ASSUME THE ENTIRE WALL IS PAINTED TO INSIDE OR OUTSIDE CORNERS.
9. DO NOT SCALE DRAWINGS.
10. ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS NOTED OTHERWISE.



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 Electrical Engineer

Seal

Belden Place - Single Family w/ ADU
Lot 12 - 0019 Belden Way
 Minturn, CO 81645

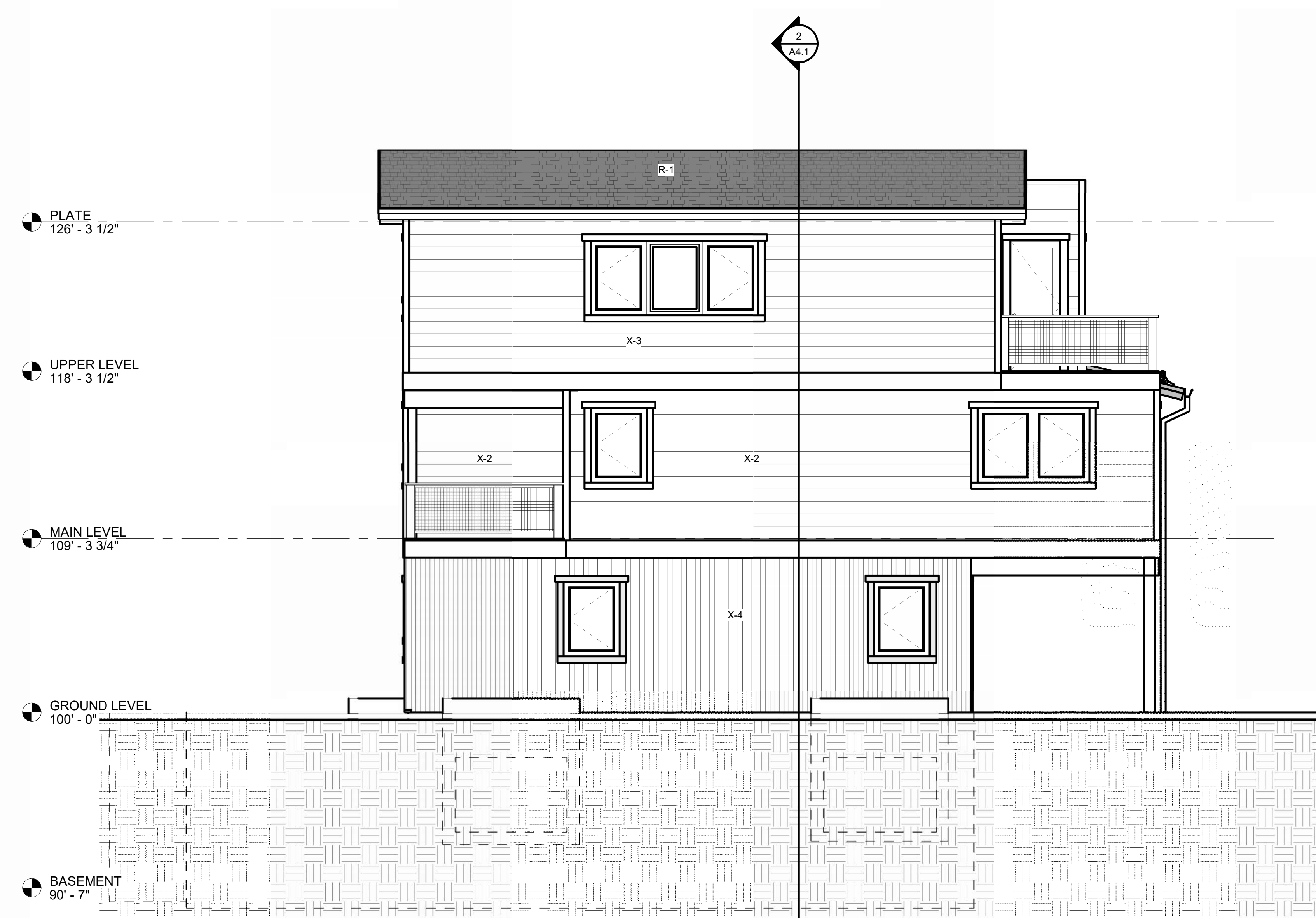
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Issue Dates:
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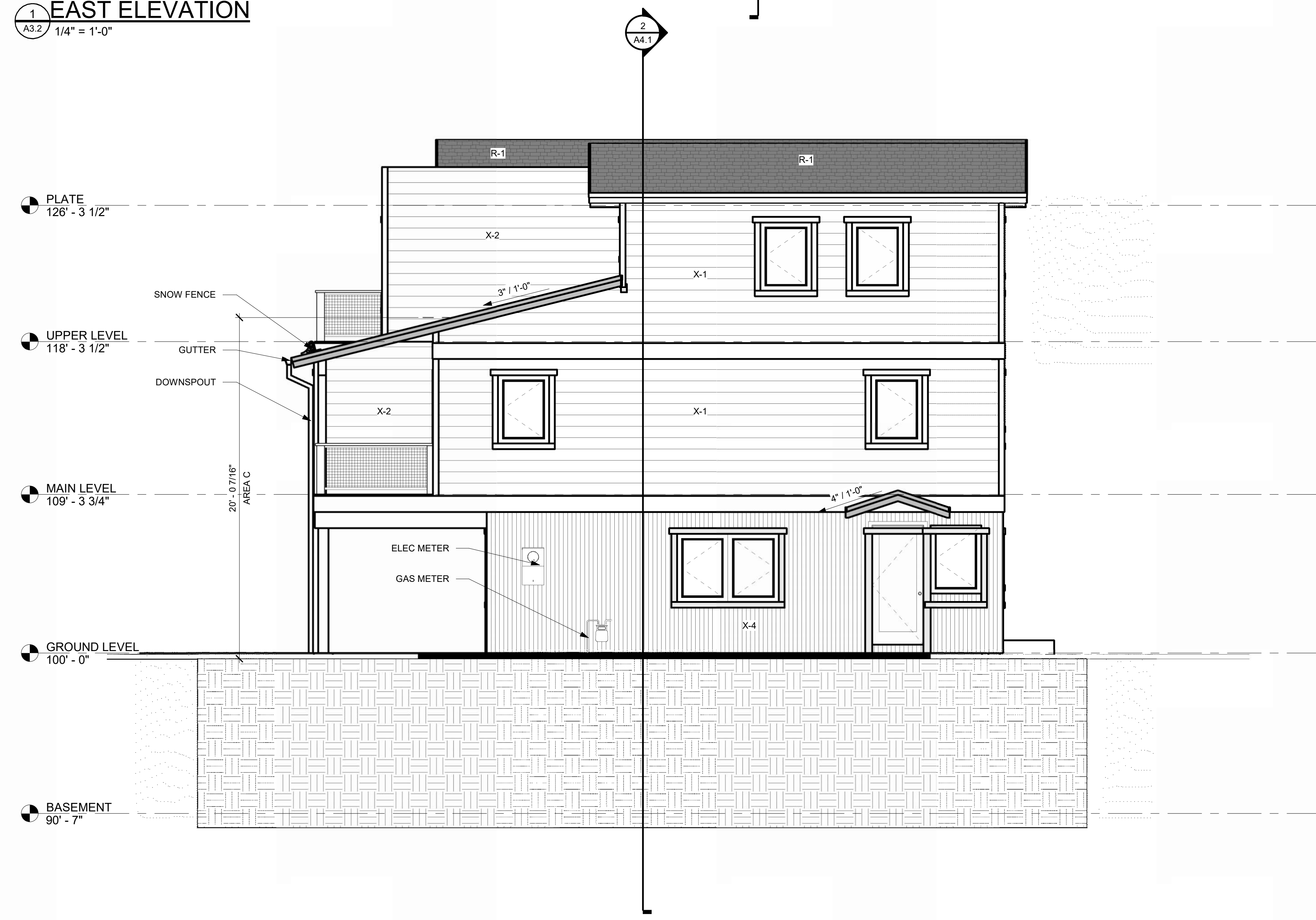
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Exterior Elevations

Project No:
 2215

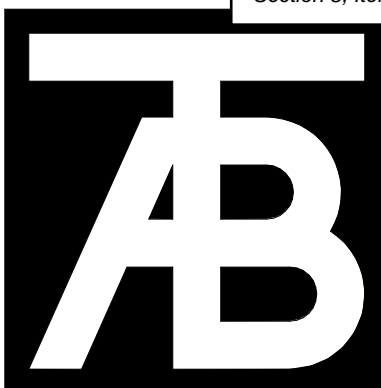
Sheet No:
A3.2



1 EAST ELEVATION
 A3.2 1/4" = 1'-0"



2 WEST ELEVATION
 A3.2 1/4" = 1'-0"



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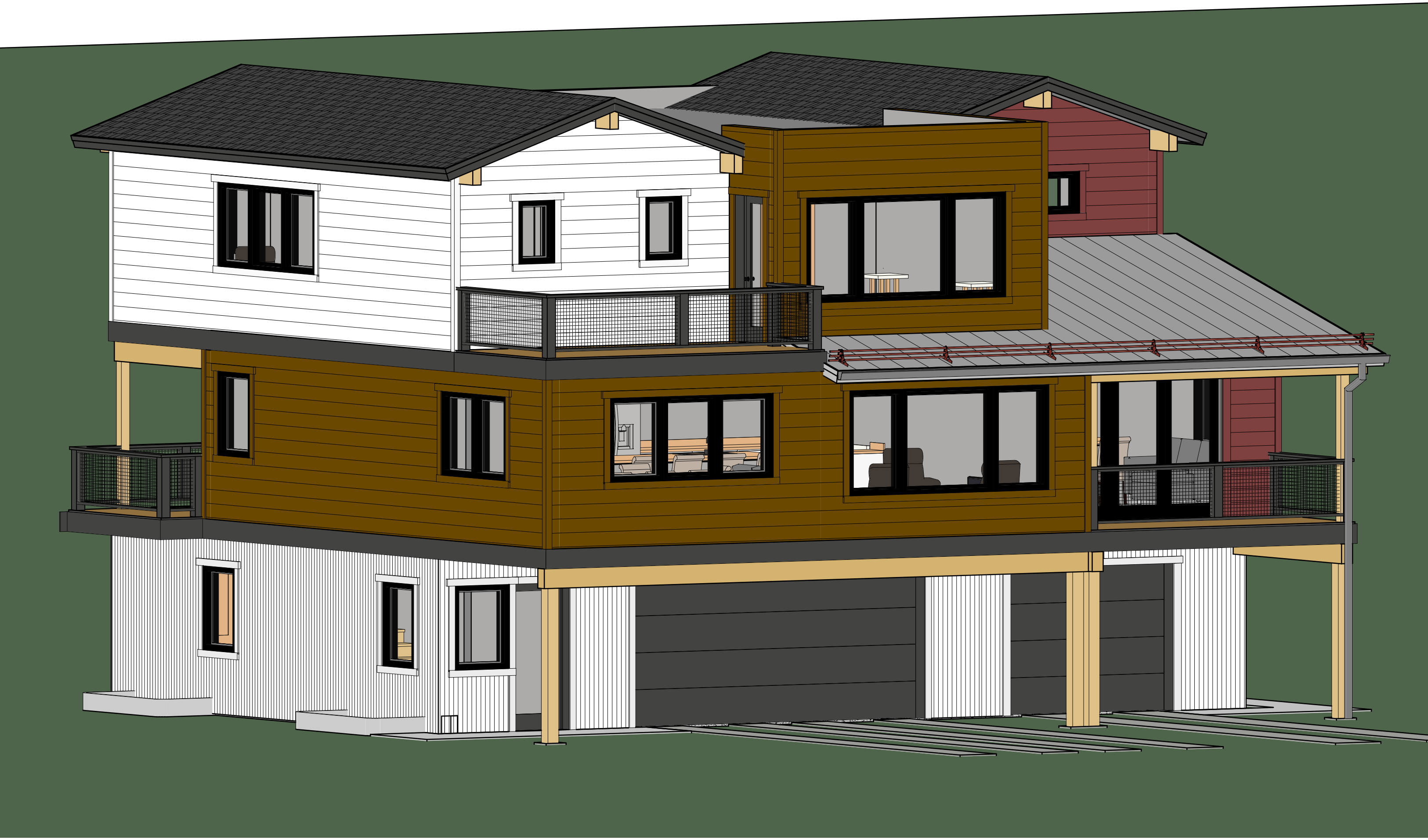
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Sheet Title:

Renderings

Project No:
2215

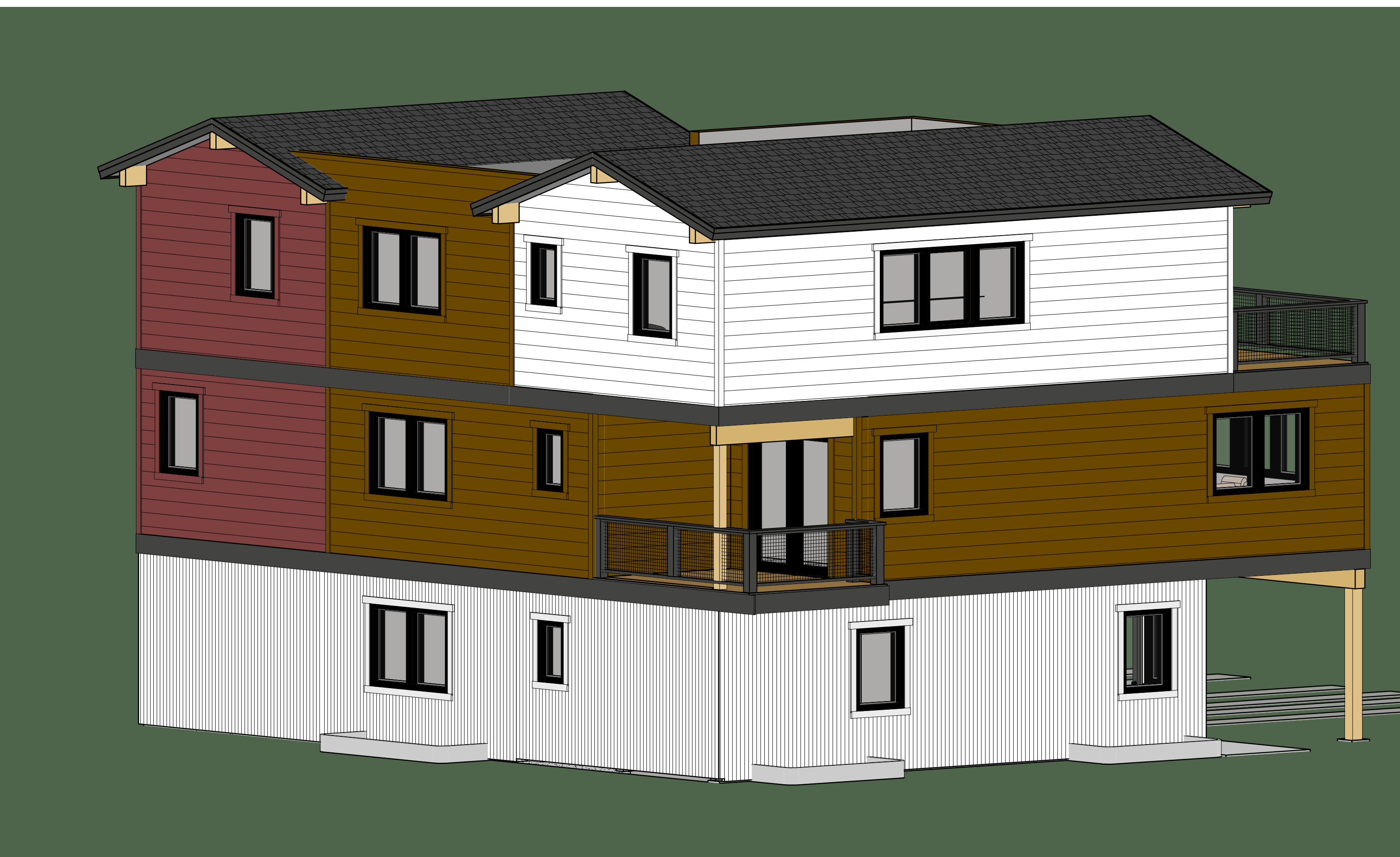
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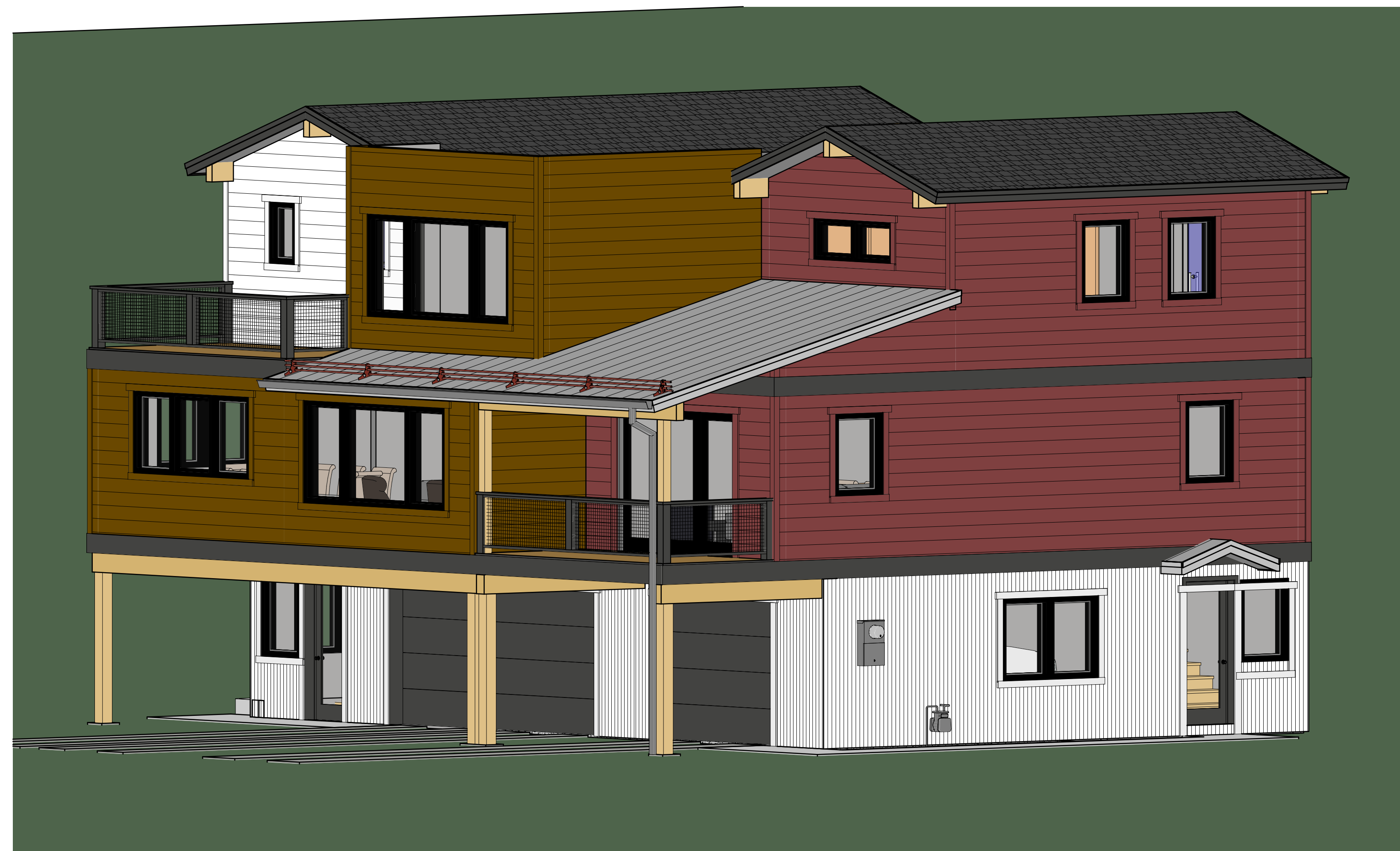
1 **SOUTHWEST CORNER**
A3.3



2 **NORTHEAST CORNER**
A3.3



3 **NORTHWEST CORNER**
A3.3



4 **SOUTHEAST CORNER**
A3.3

NOTES:

EXTERIOR MATERIAL LEGEND:

- X-1 DIAMOND KOTE LP SMARTSIDE LAP SIDING
- X-2 DIAMOND KOTE LP SMARTSIDE LAP SIDING
- X-3 DIAMOND KOTE LP SMARTSIDE LAP SIDING
- X-4 VERTICAL CORRUGATED METAL SIDING

- R-1 ASPHALT SHINGLE ROOF
- R-2 LOW SLOPE EPDM
- R-3 STANDING SEAM METAL ROOF



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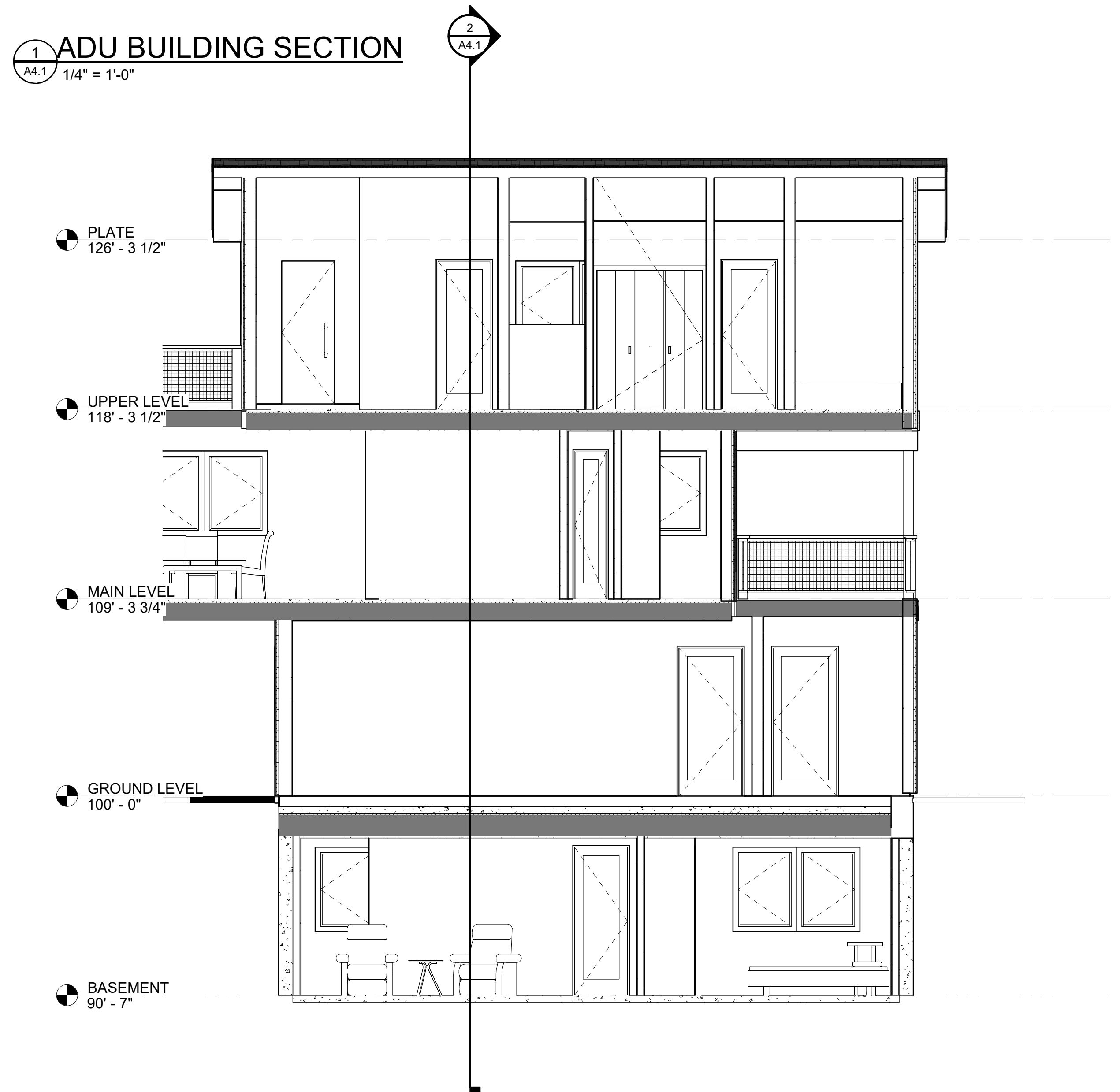
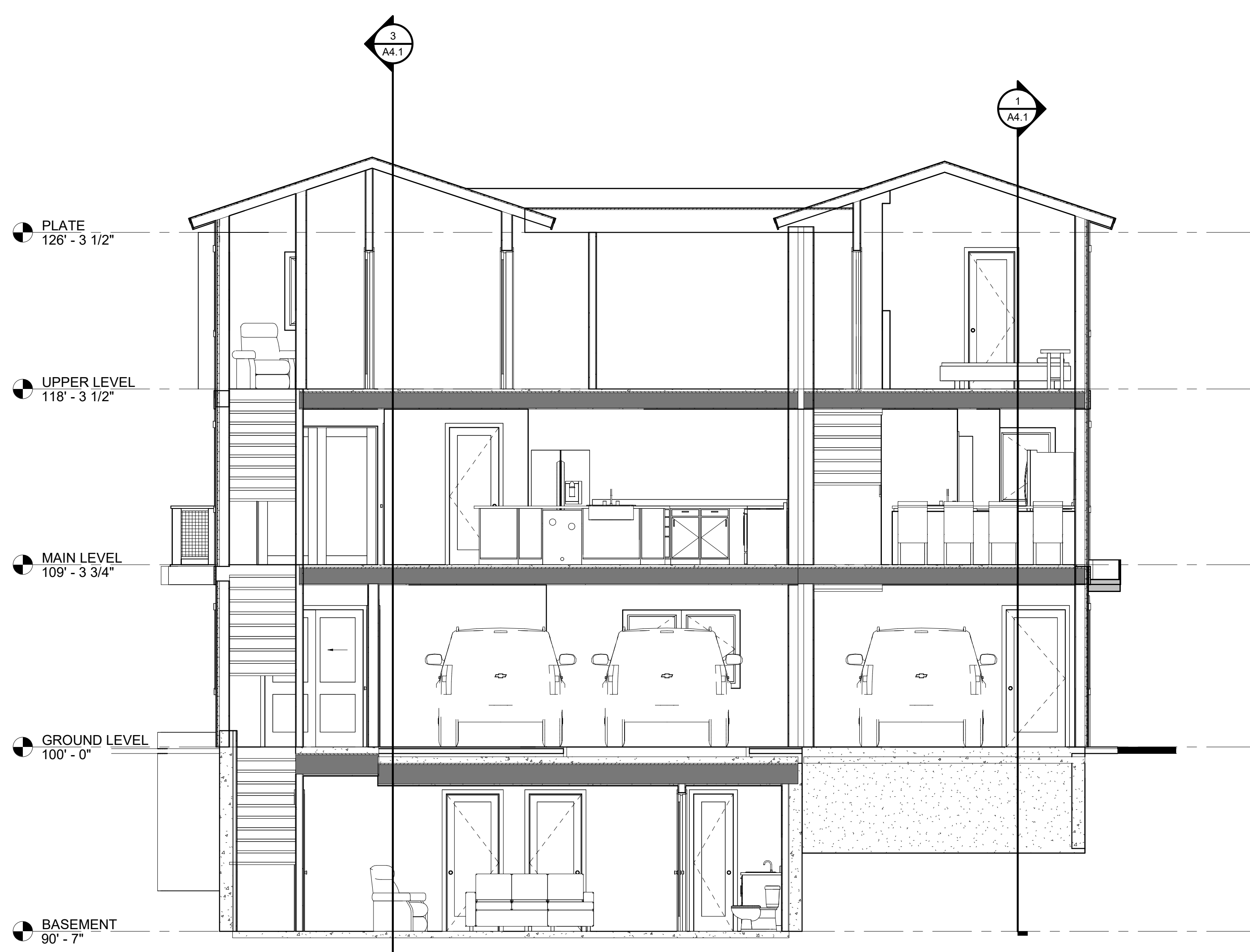
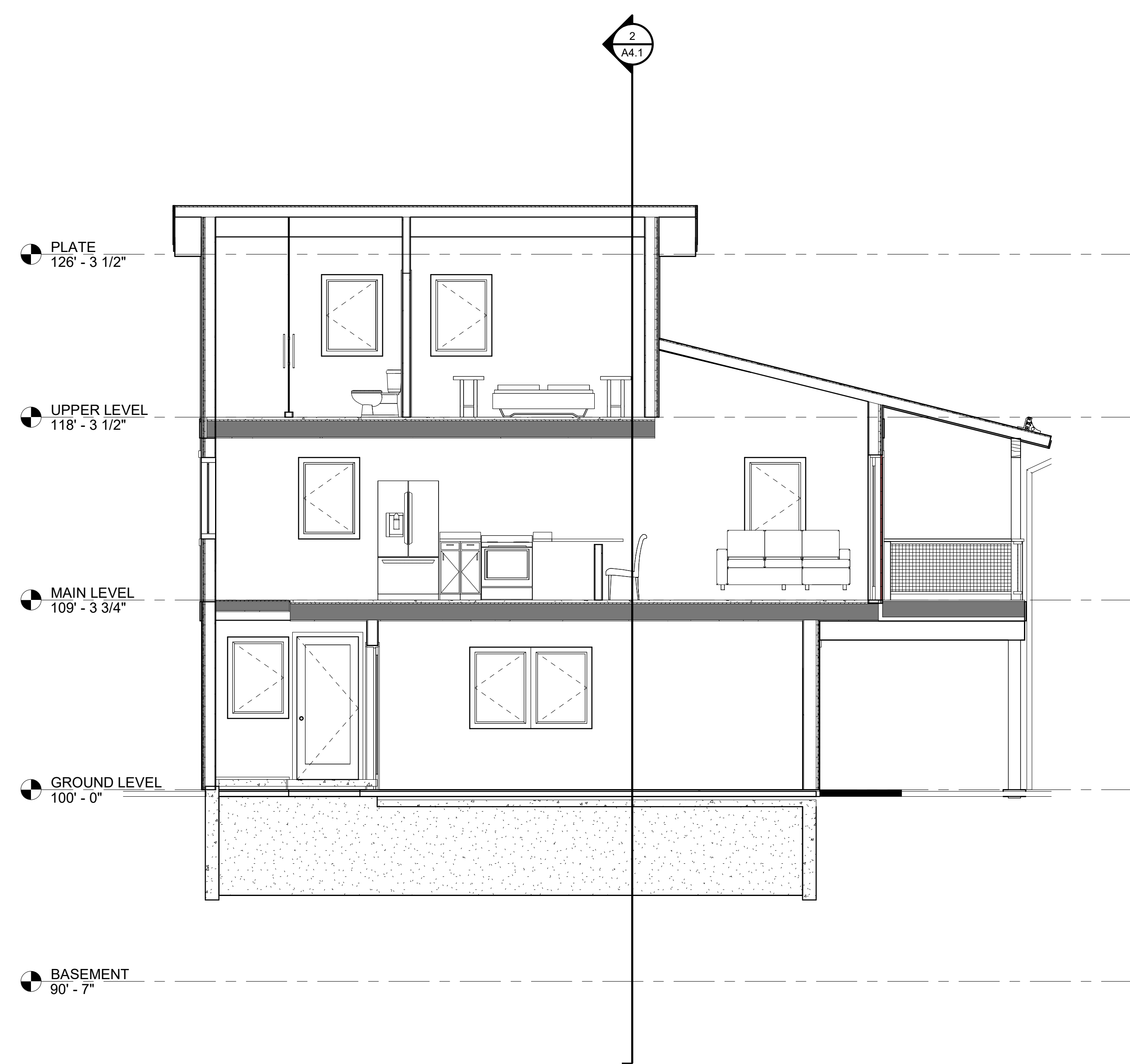
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Issue Dates:
 DRB-10/10/2024

Sheet Title:
Building Sections

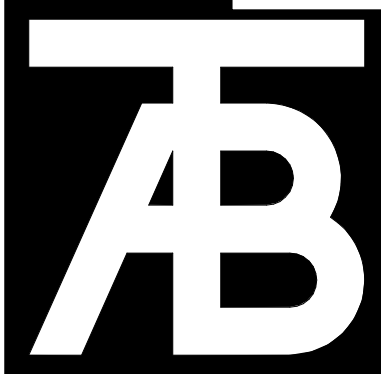
Project No:
 2215

Sheet No:
A4.1



2 LONG BUILDING SECTION
 1/4" = 1'-0"

3 SF BUILDING SECTION
 1/4" = 1'-0"



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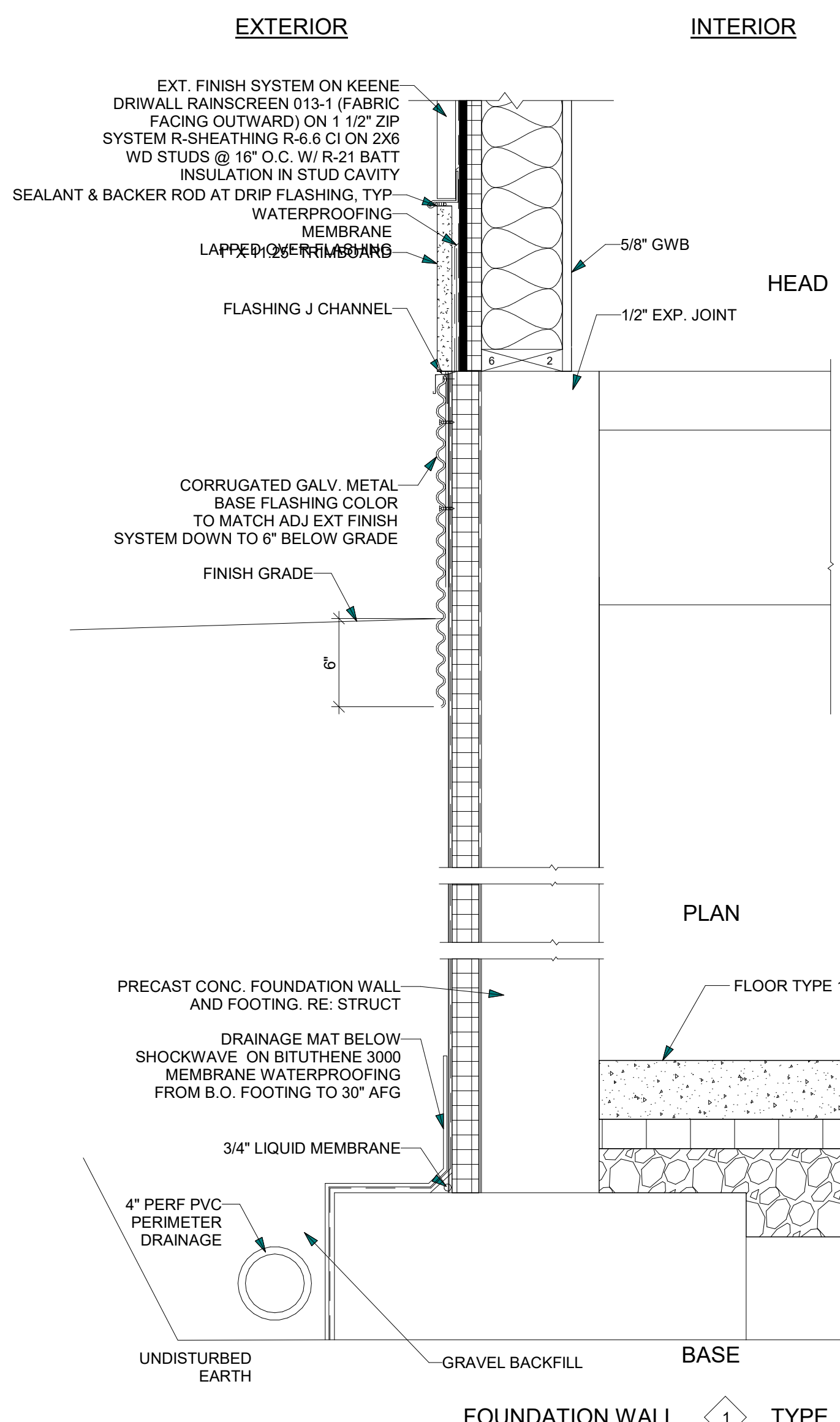
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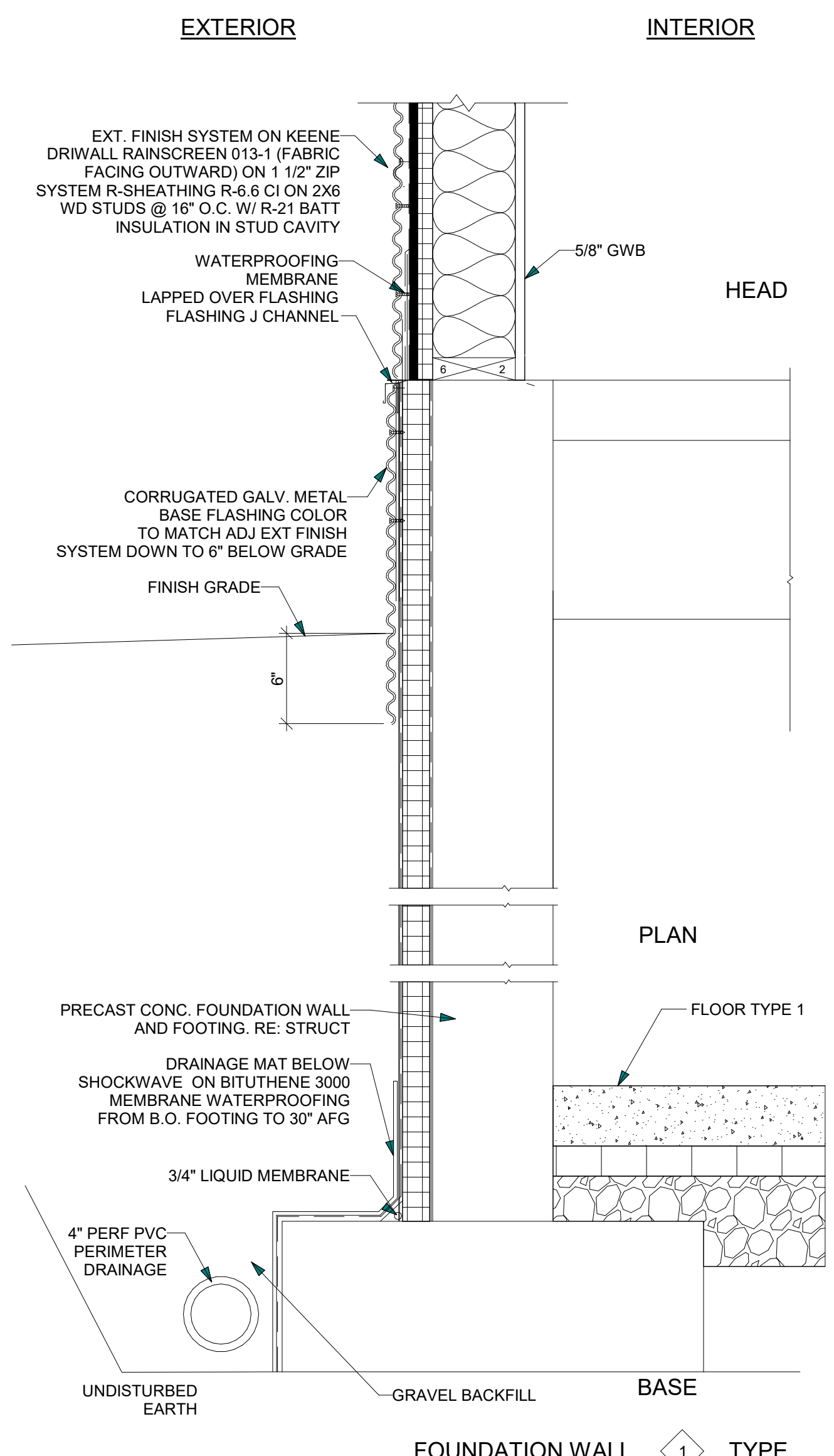
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Project No:
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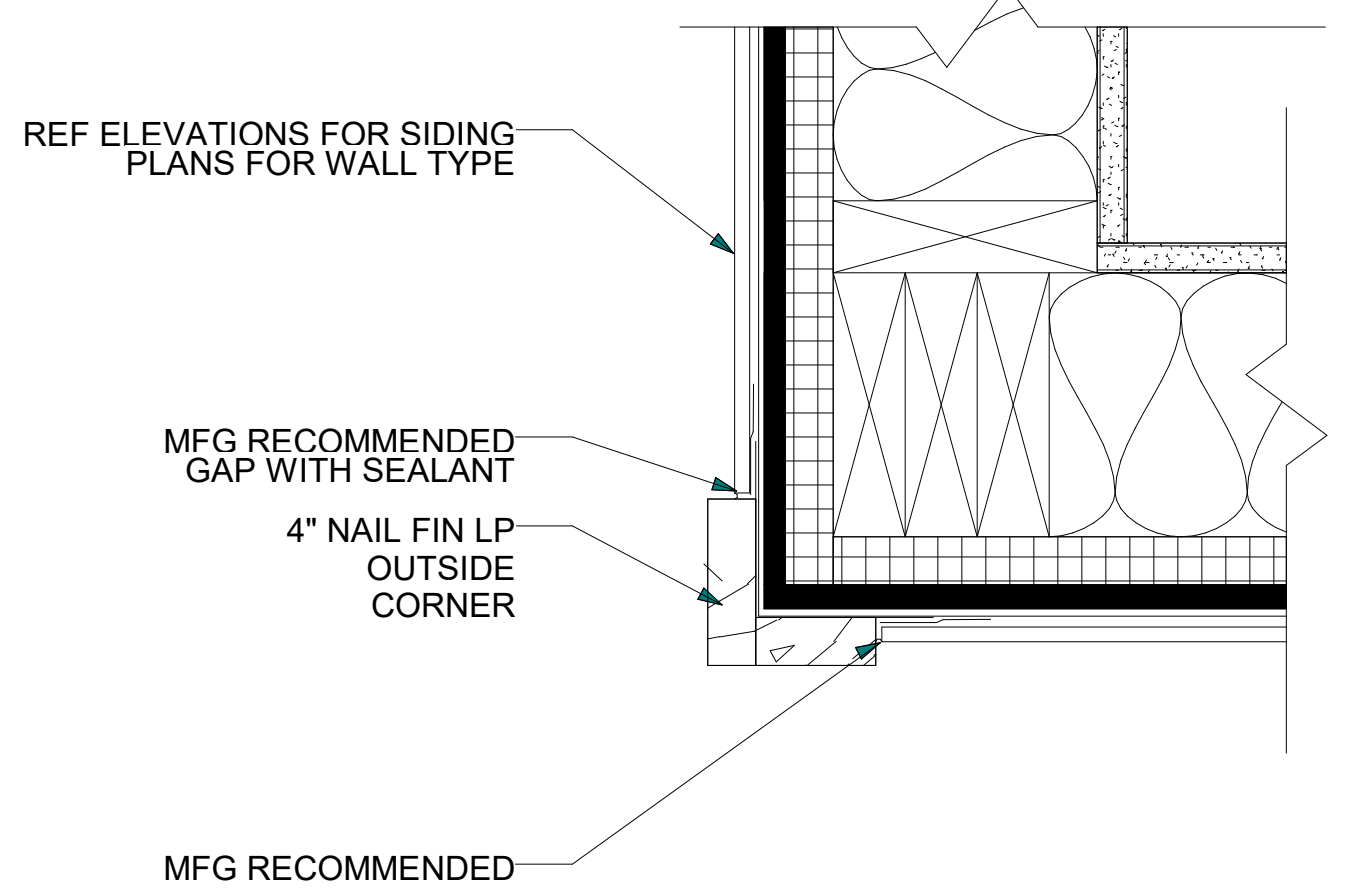
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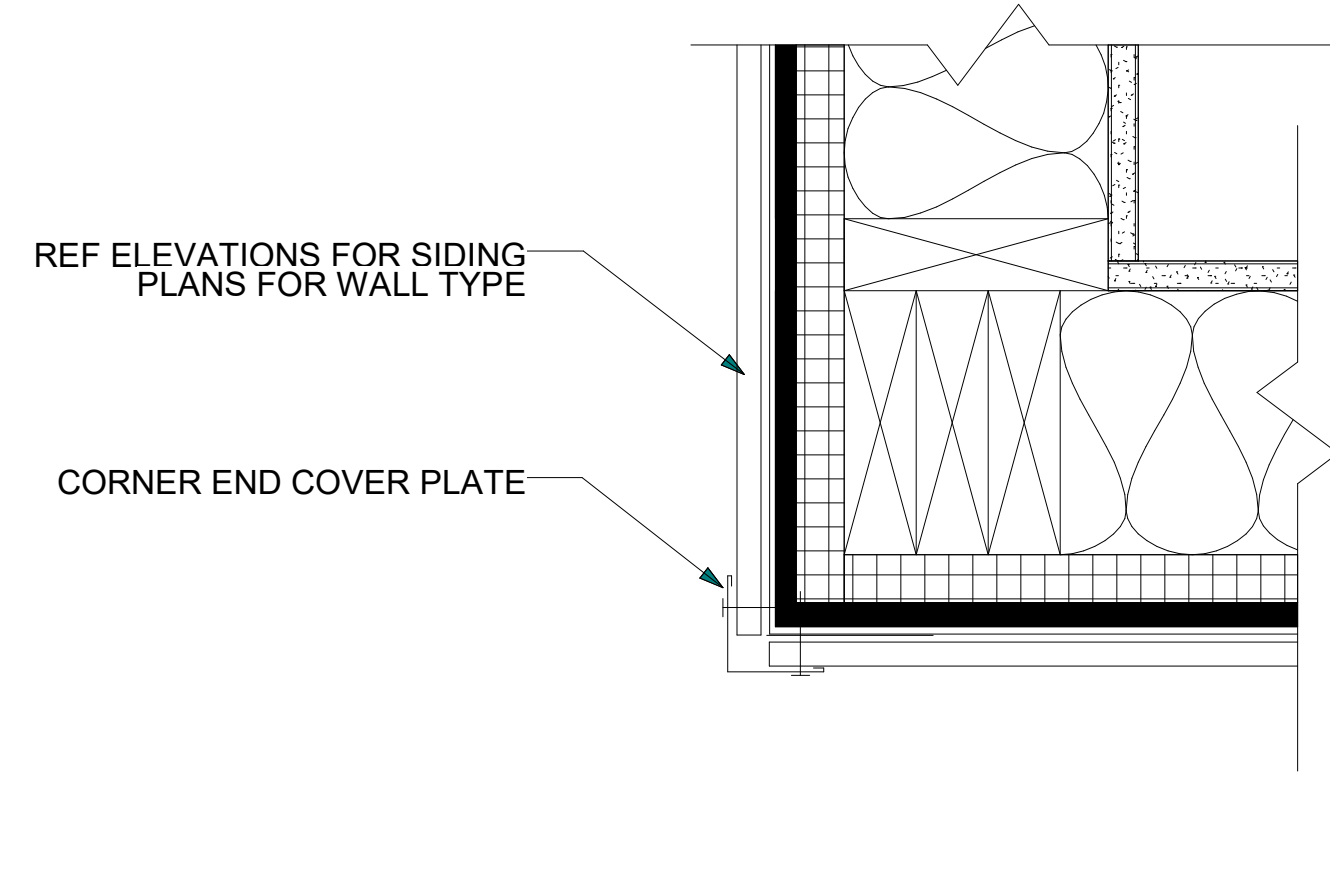
1 FOUNDATION DETAIL - CORRUGATED SIDING
 A5.1 1 1/2" = 1'-0"



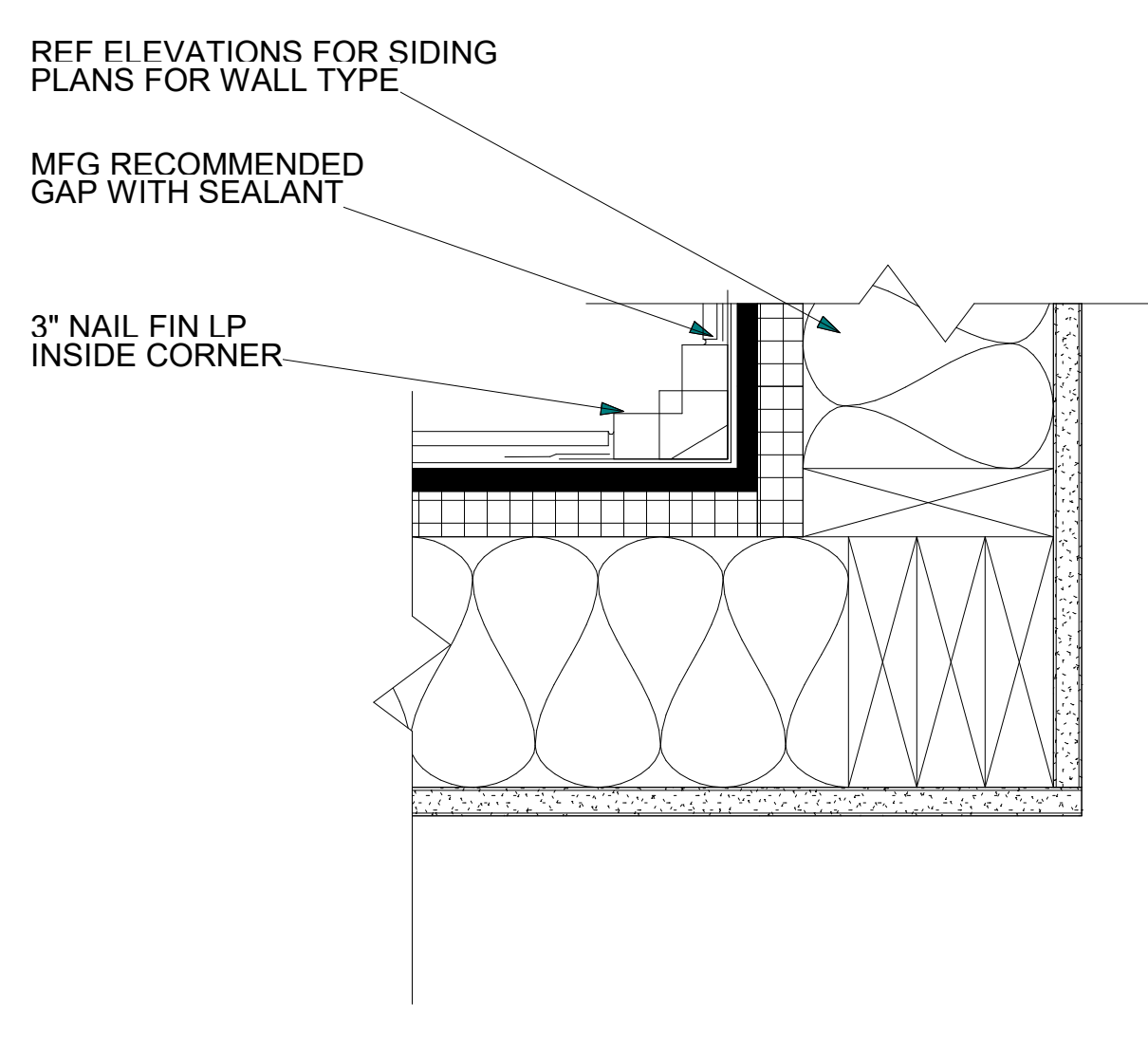
2 FOUNDATION DETAIL - WOOD SIDING
 A5.1 1 1/2" = 1'-0"



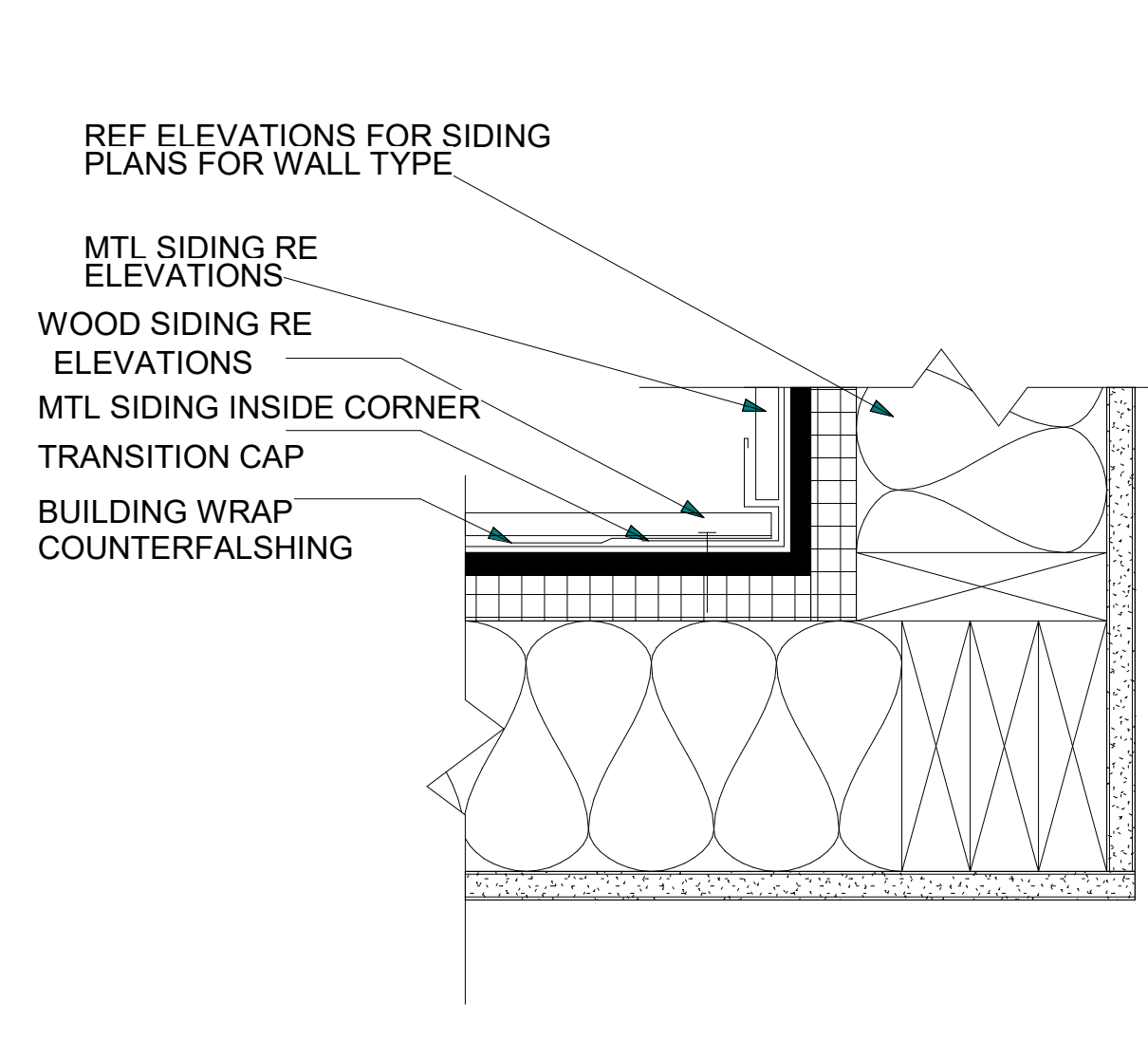
6 PLAN DETAIL - CORNER TRIM
 A5.1 3" = 1'-0"



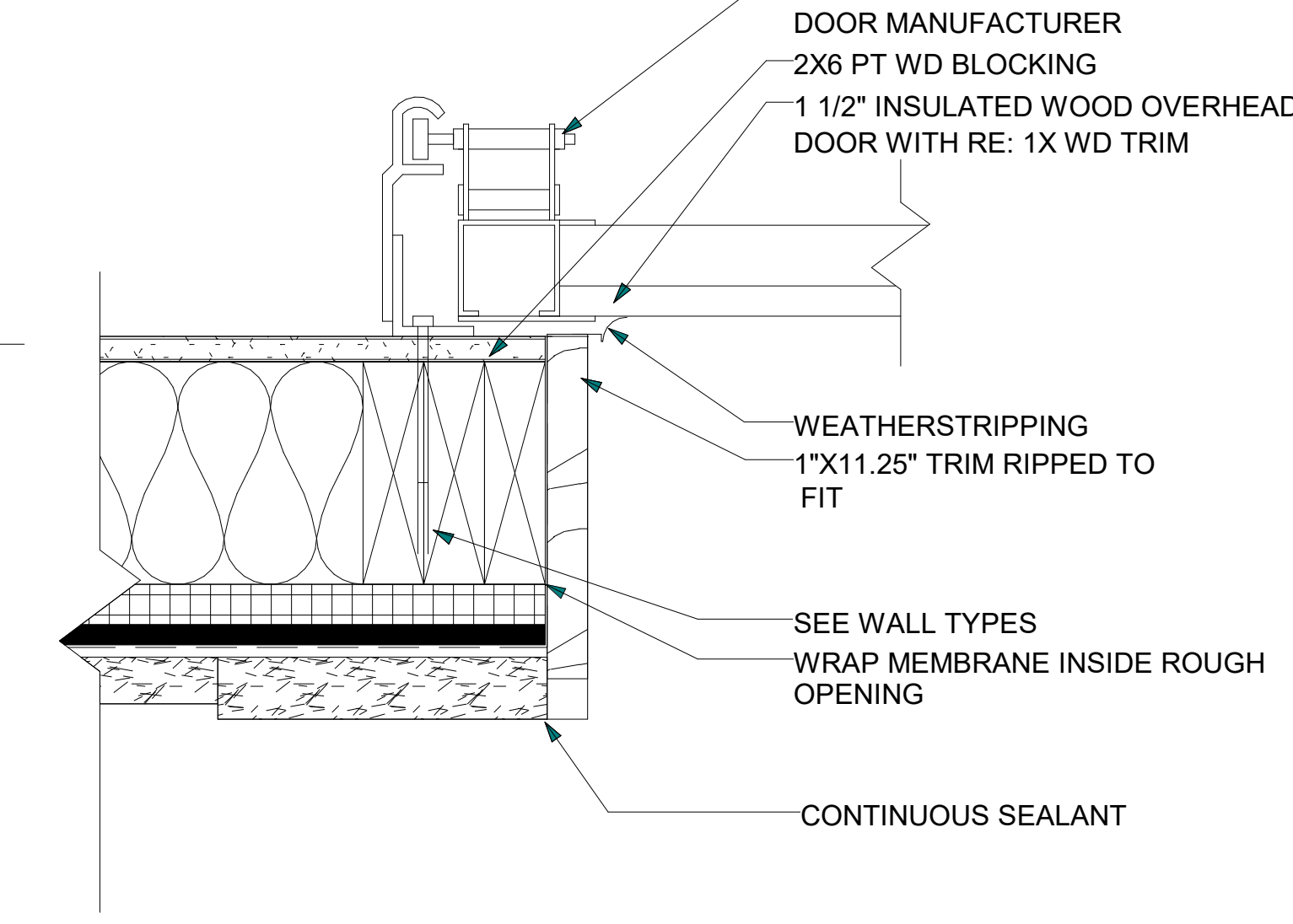
7 PLAN DETAIL - CORNER TRIM MTL
 A5.1 3" = 1'-0"



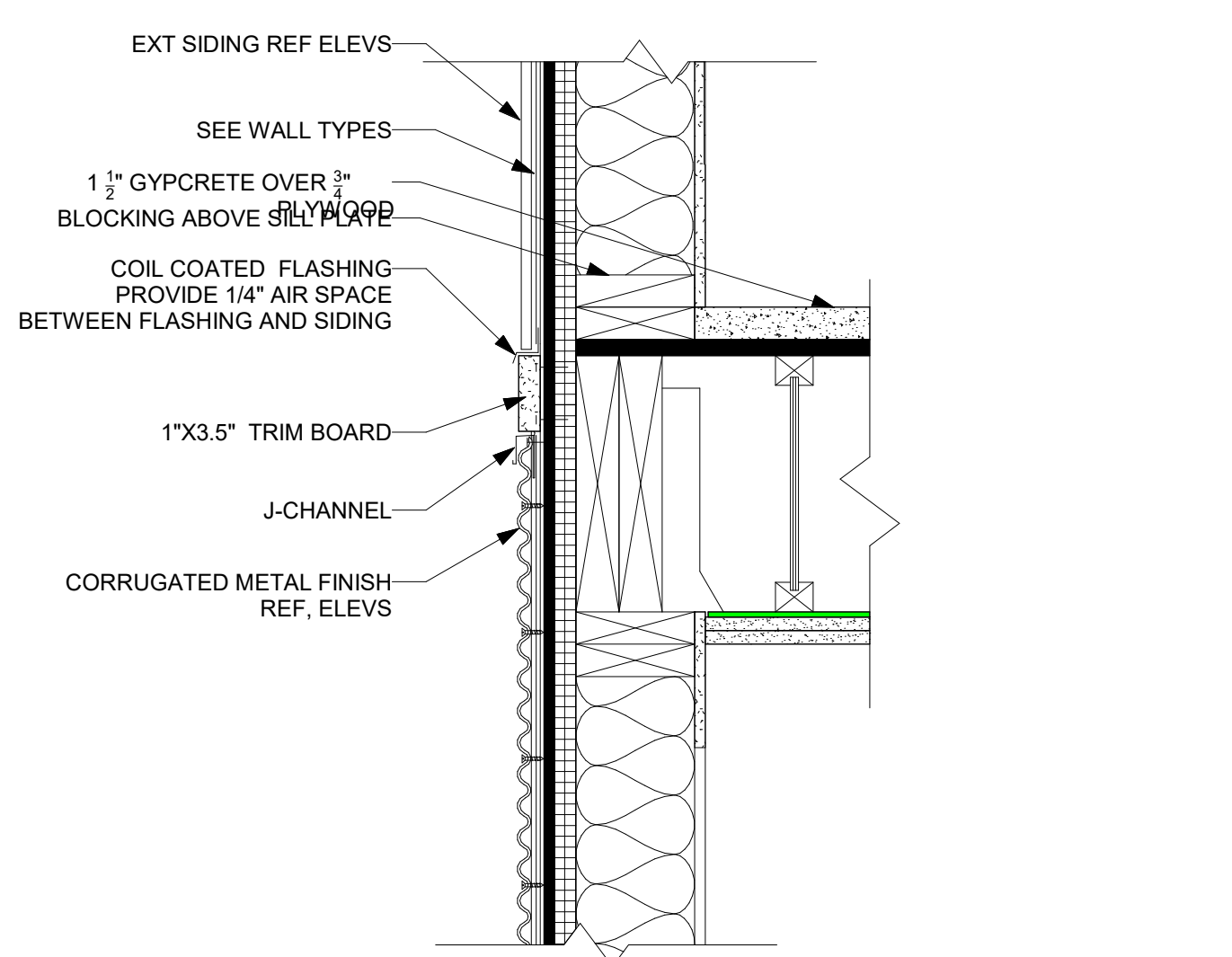
8 PLAN DETAIL - INSIDE TRIM
 A5.1 3" = 1'-0"



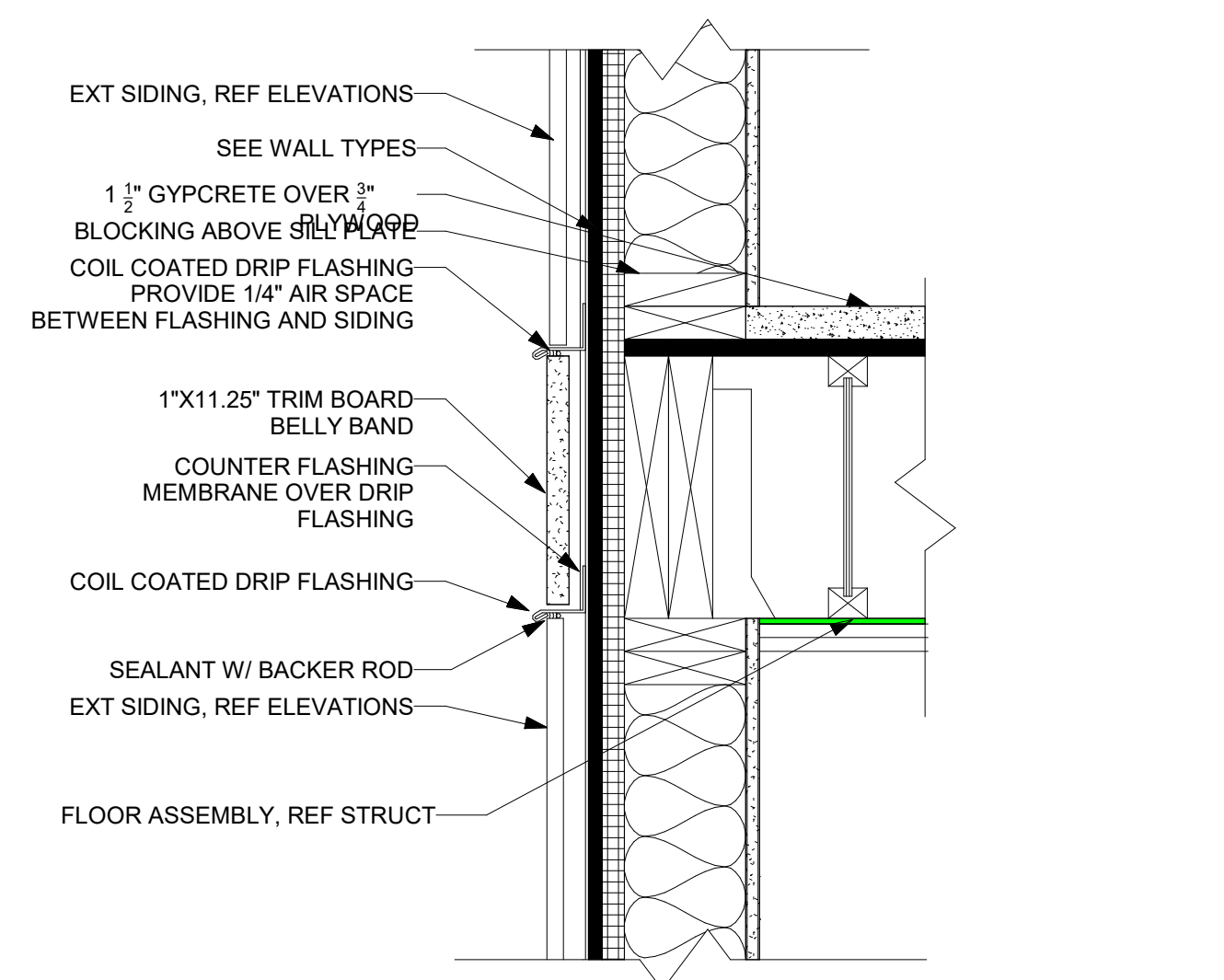
9 PLAN DETAIL - INSIDE TRIM MTL
 A5.1 3" = 1'-0"



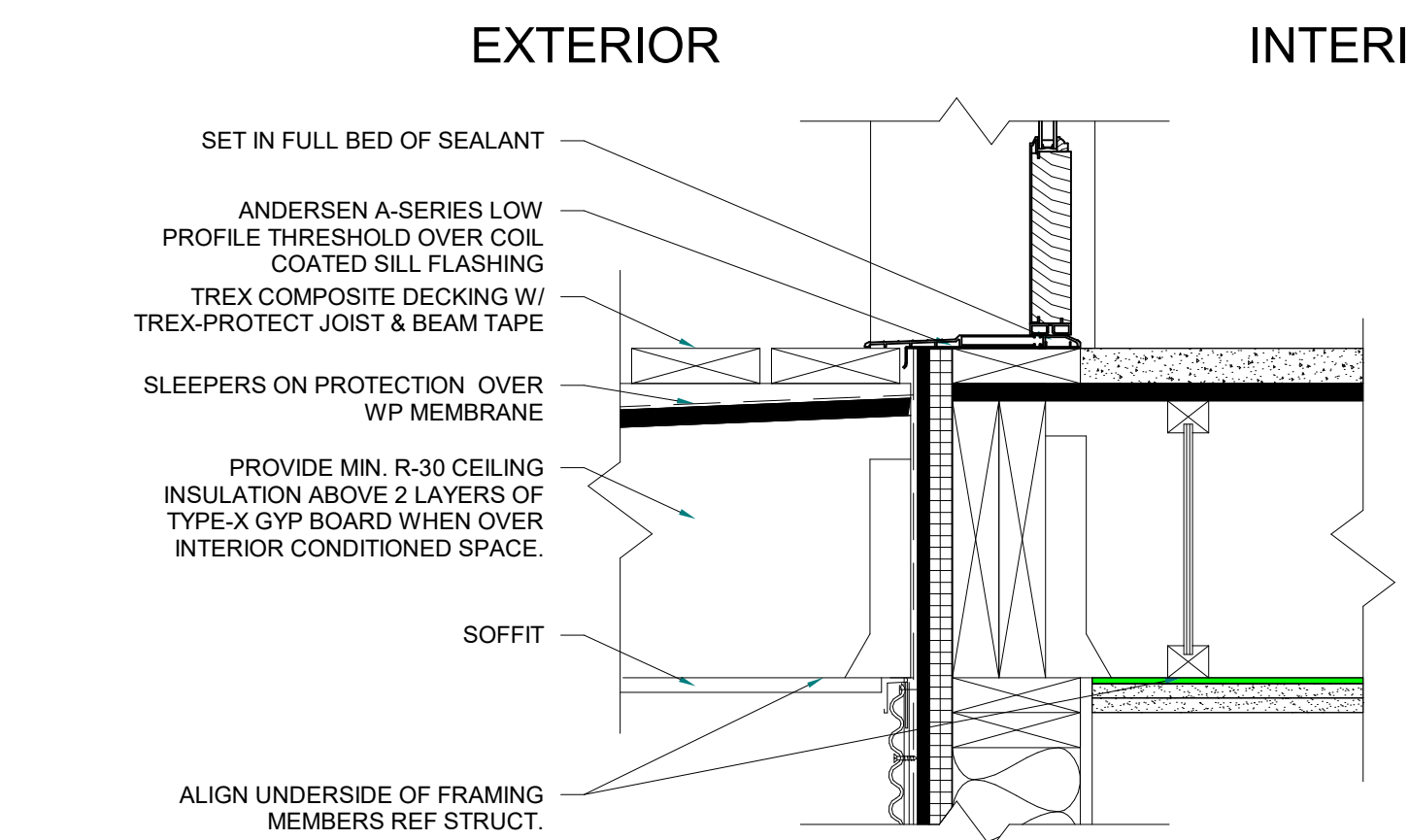
10 GARAGE DOOR JAMB
 A5.1 3" = 1'-0"



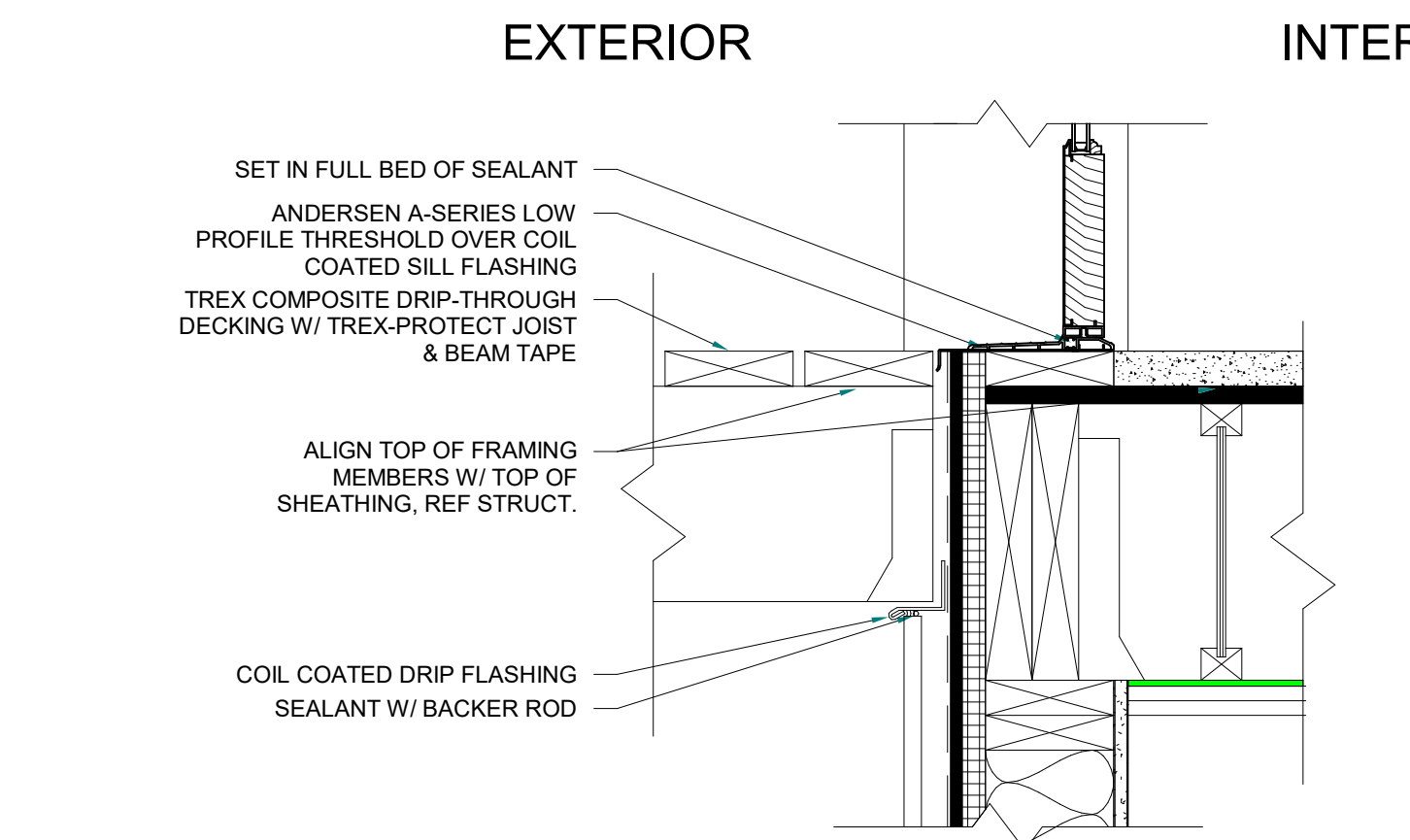
11 FLOOR TRANSITION MTL
 A5.1 1 1/2" = 1'-0"



12 FLOOR TRANSITION
 A5.1 1 1/2" = 1'-0"

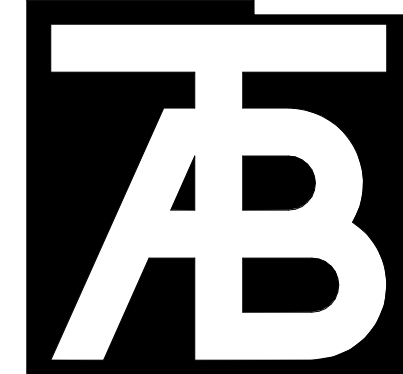


13 DOOR THRESHOLD @ WP DECK
 A5.1 1 1/2" = 1'-0"



14 DOOR THRESHOLD @ DECK
 A5.1 1 1/2" = 1'-0"

P:\2215 Belden Place Phase 201 Drawing Files\05 Schematic\Lot 12\2024_1008 - Lot 12.rvt
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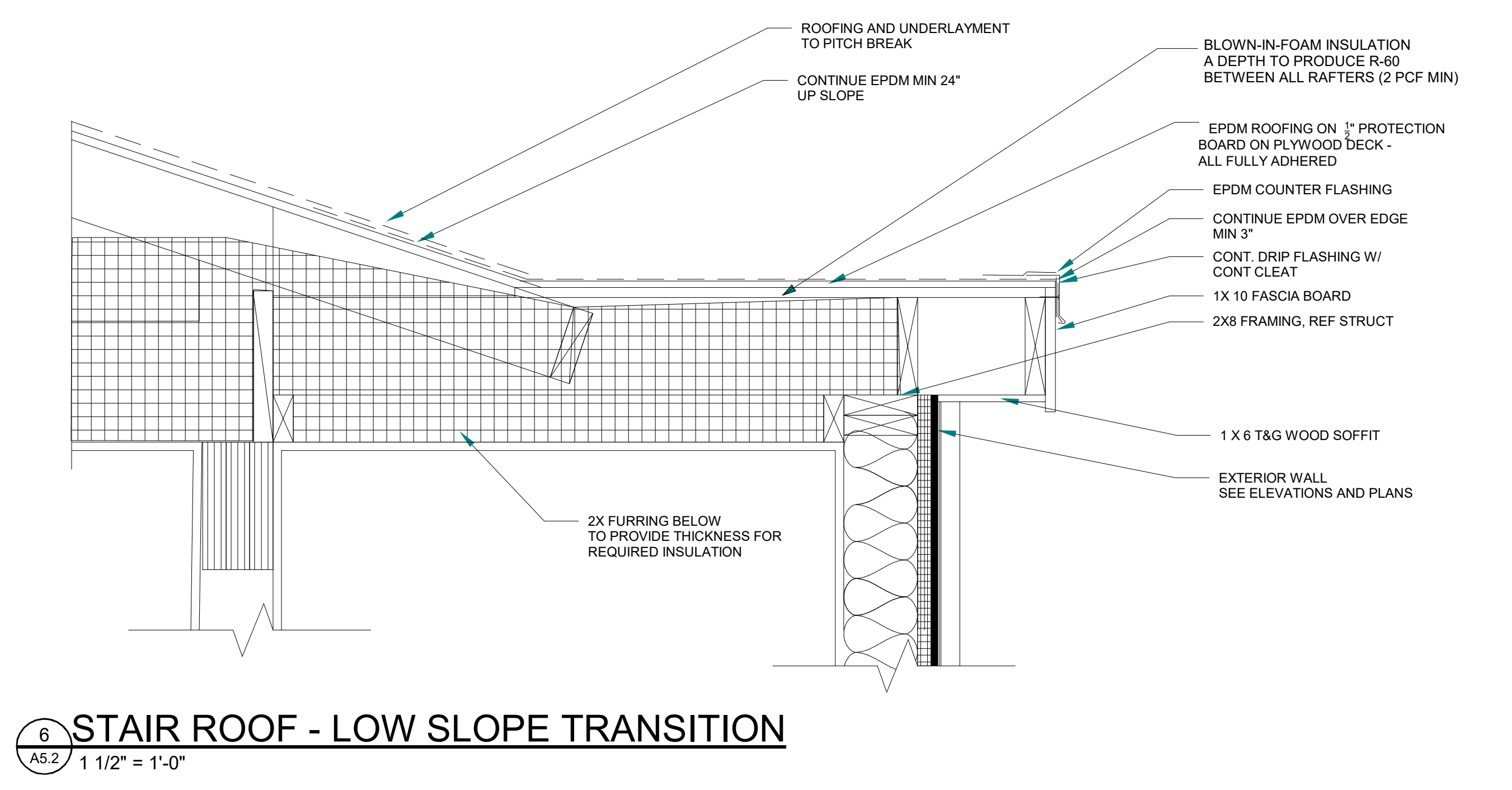
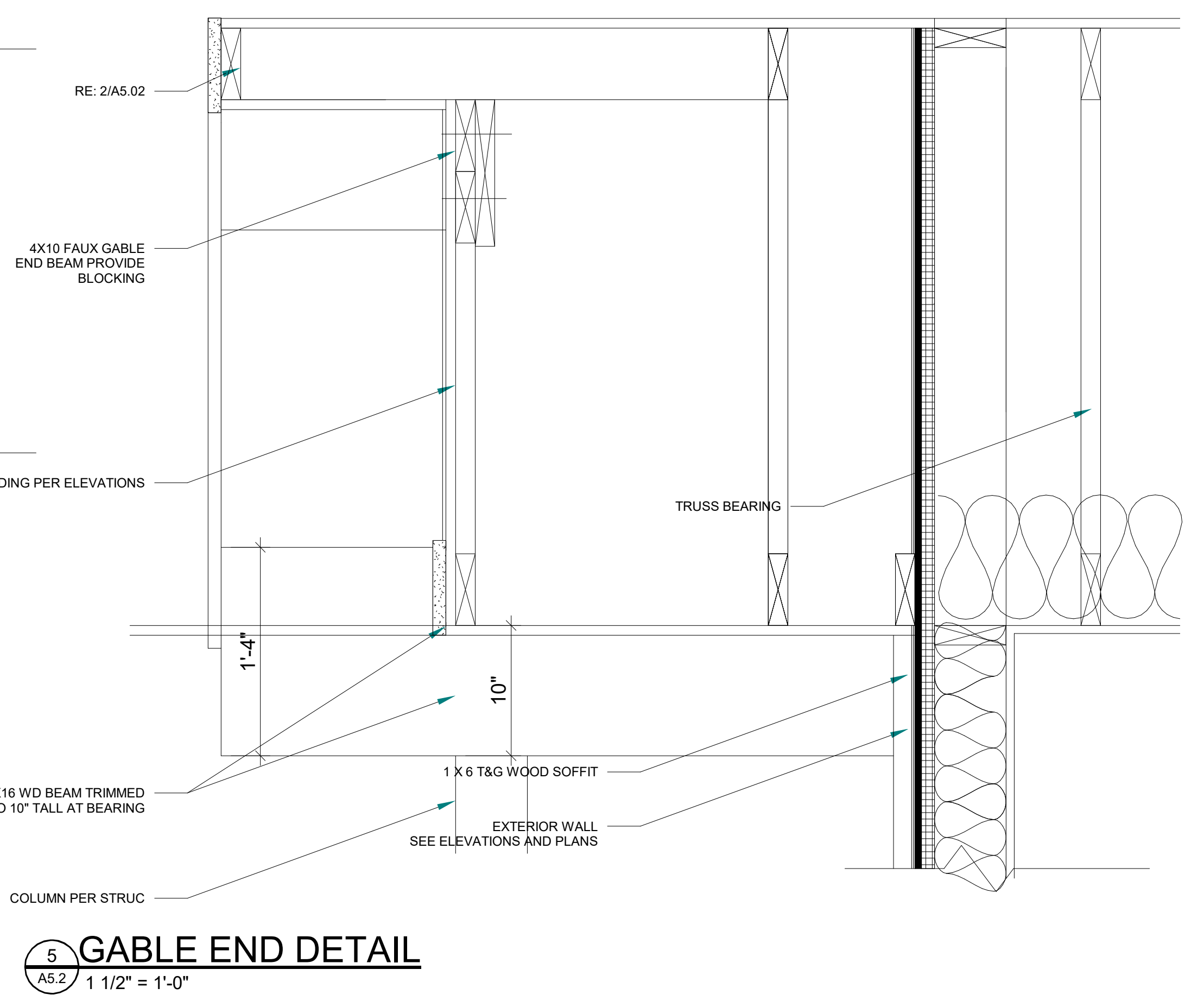
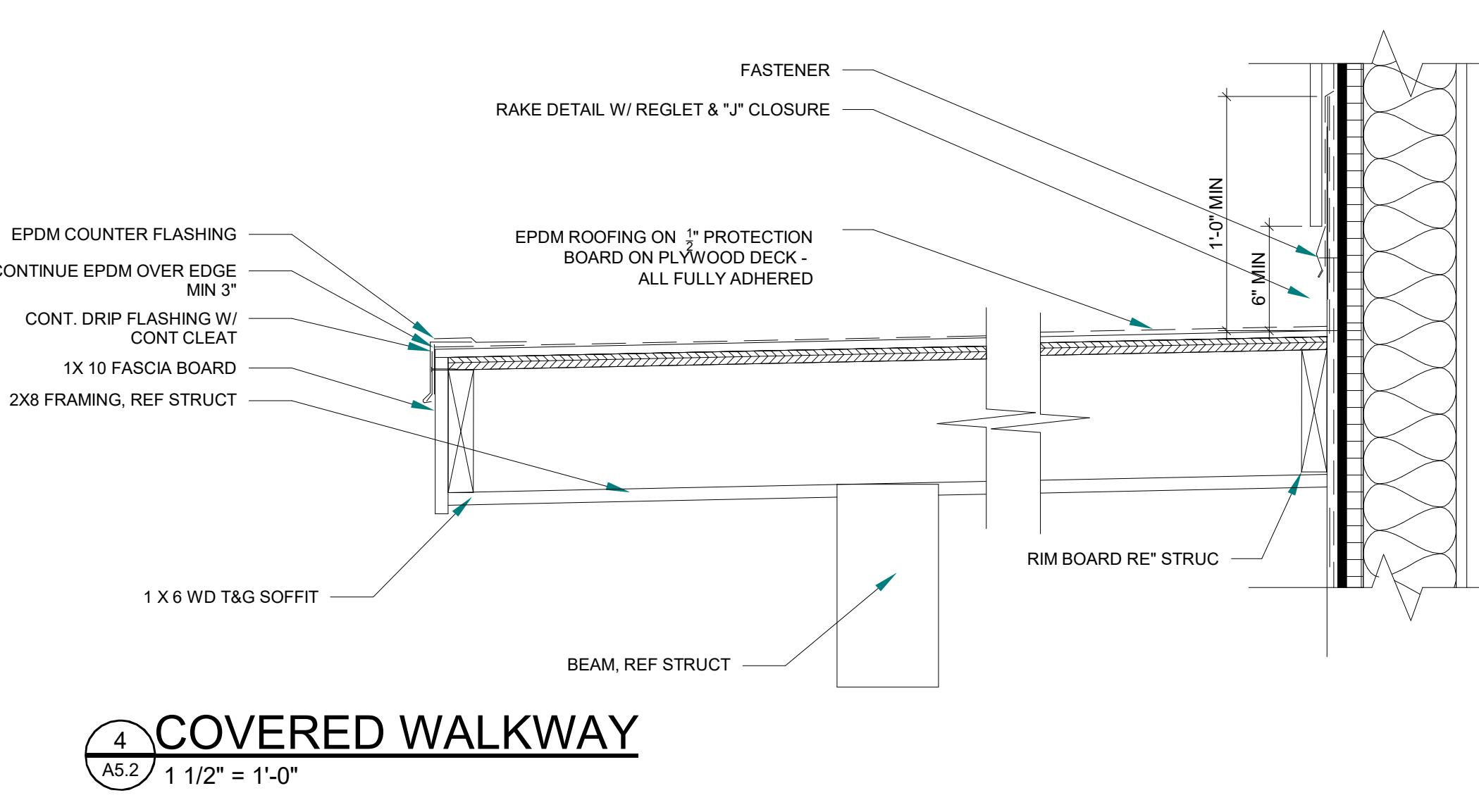
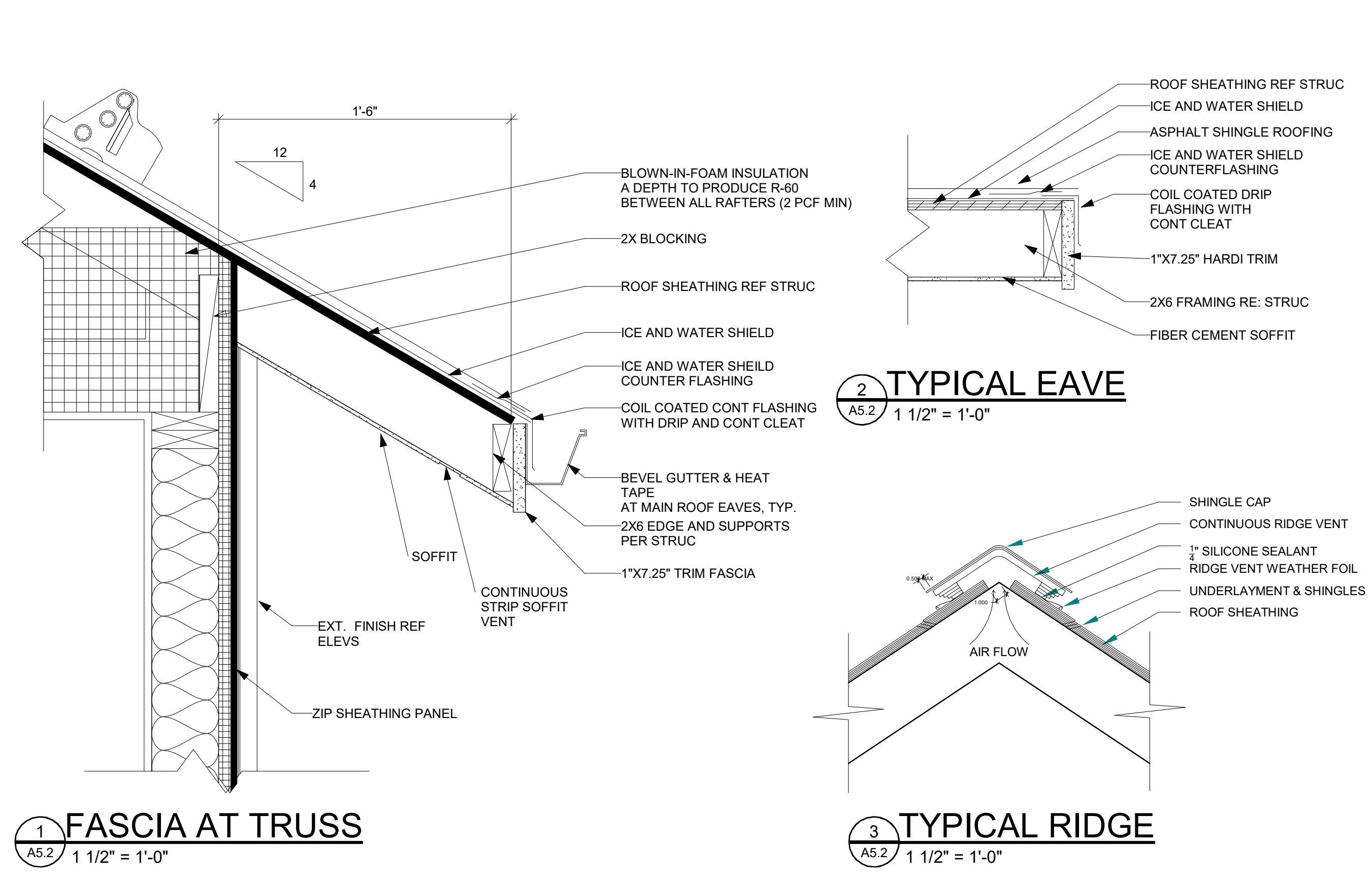
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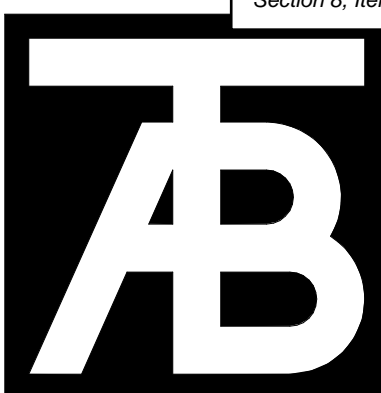
Issue Dates:
 DRB-10/10/2024

Sheet Title:
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Project No:
 2215

Sheet No:
A5.2





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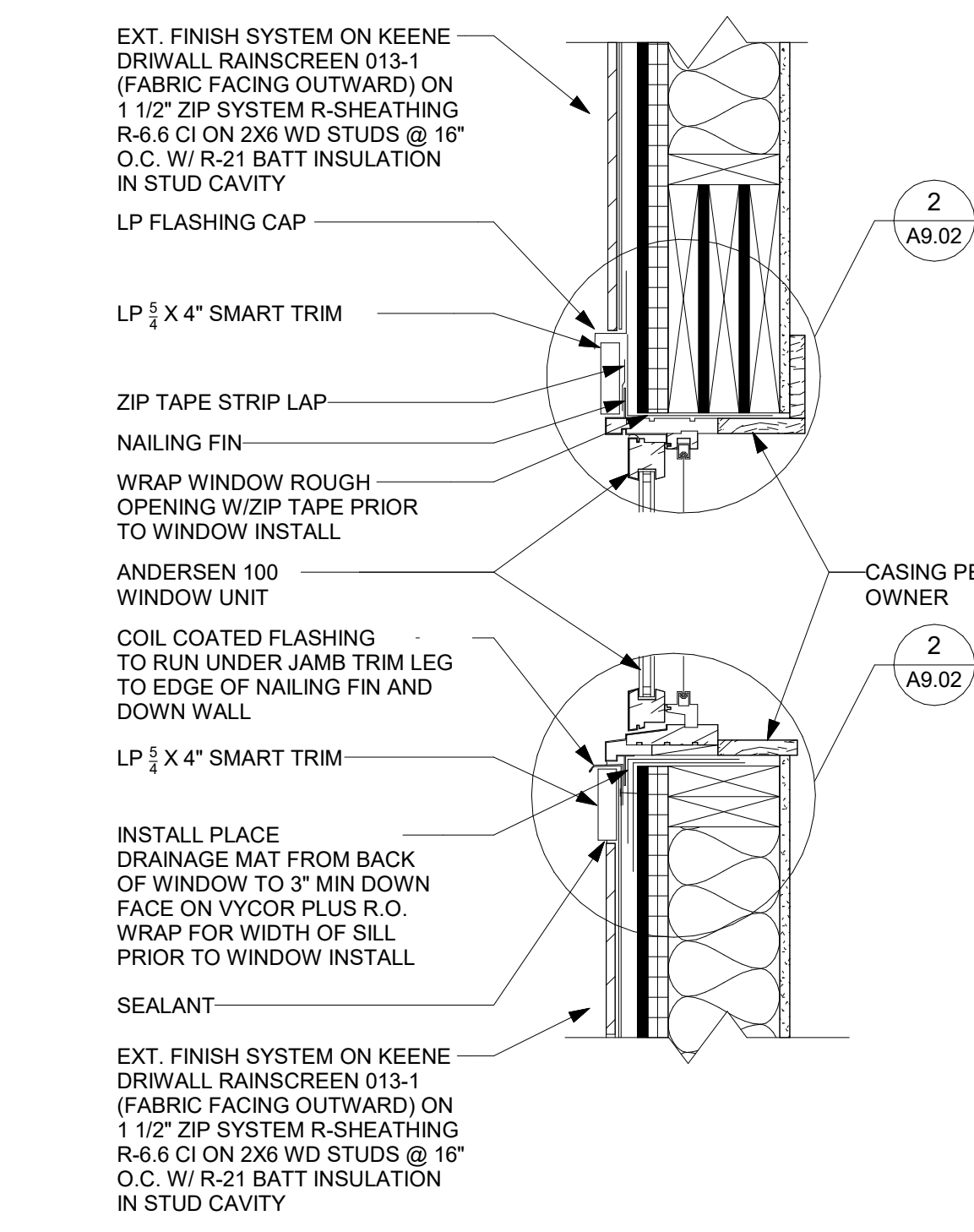
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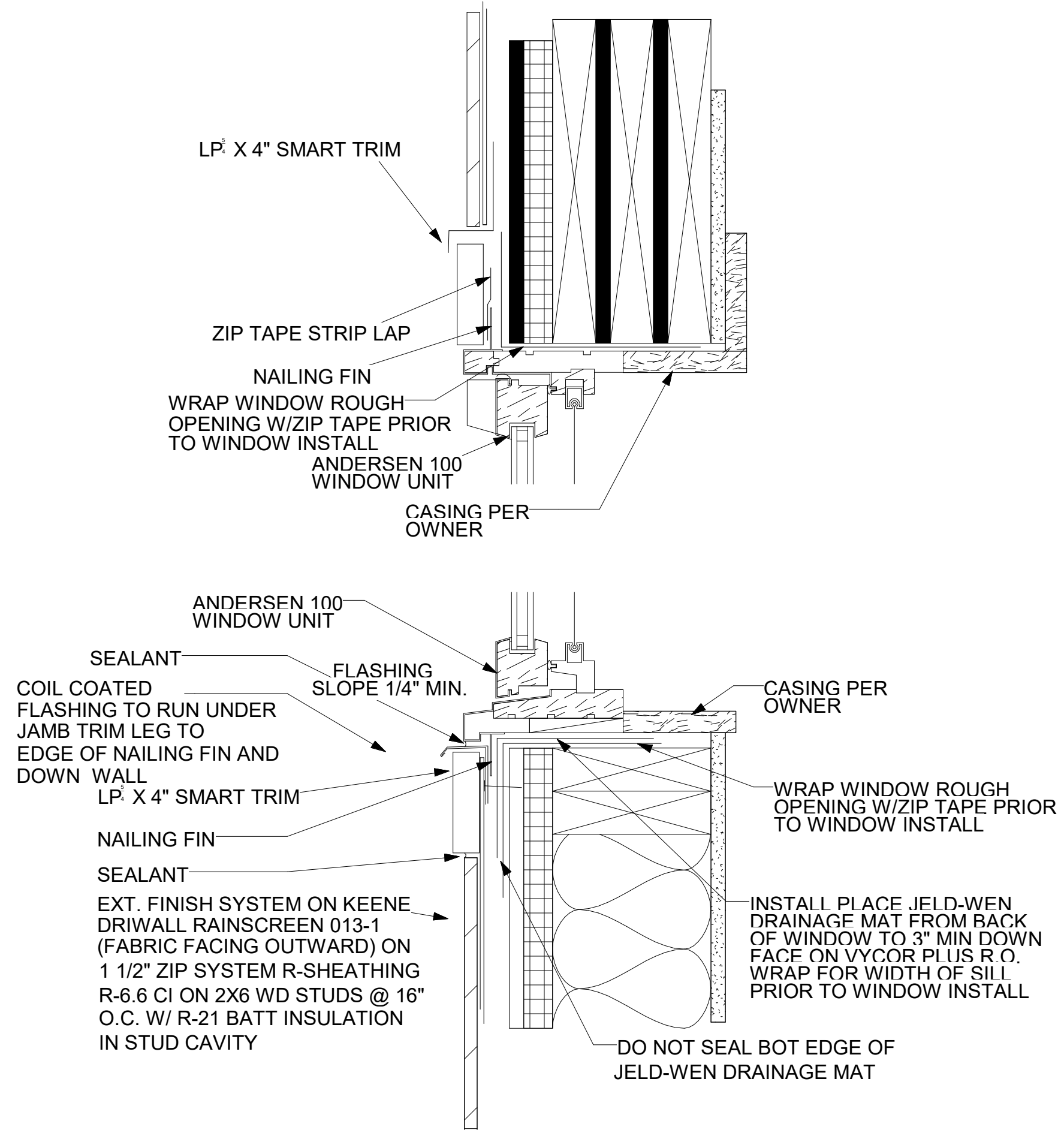
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Project No:
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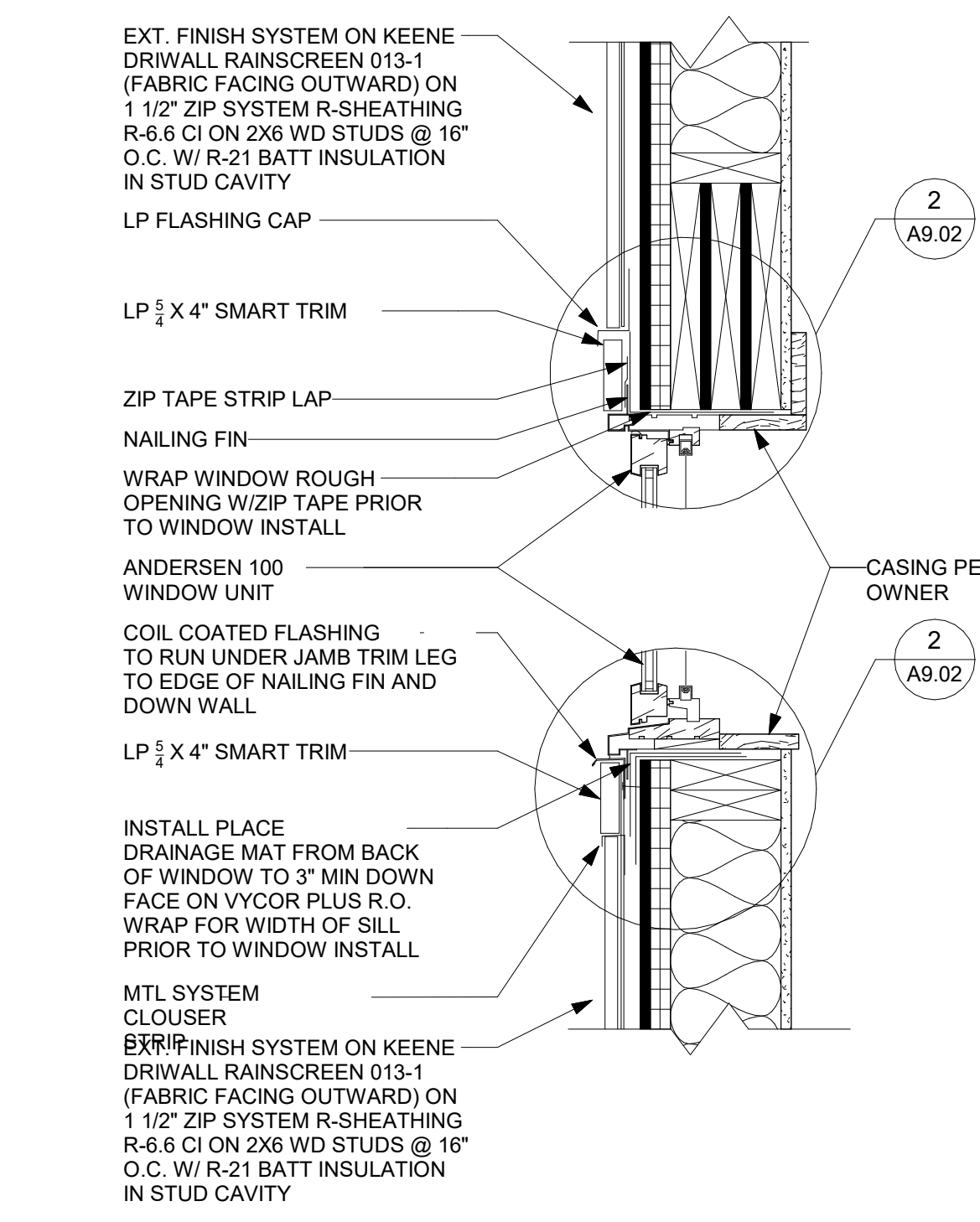
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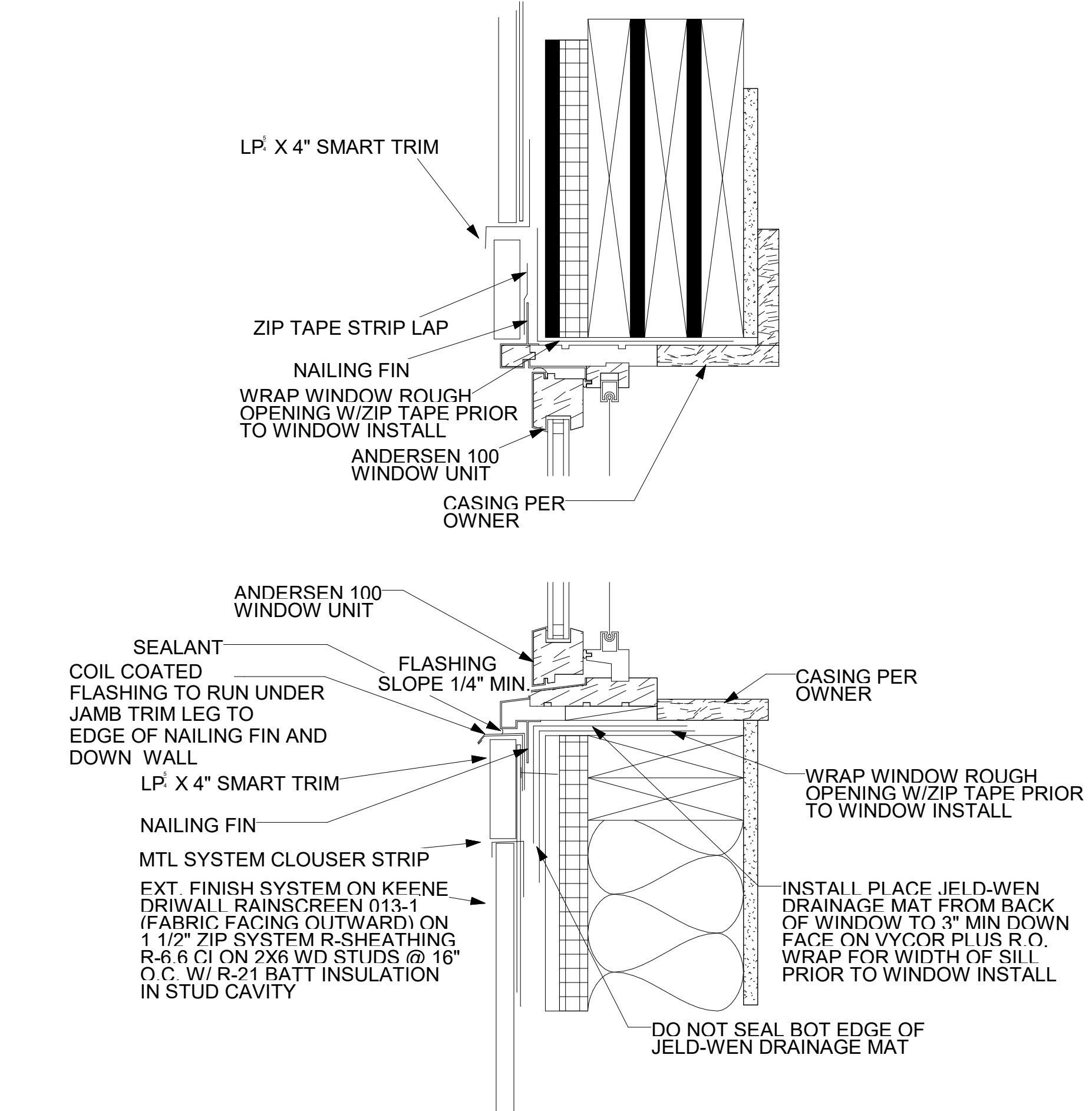
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 A5.3 1 1/2" = 1'-0"



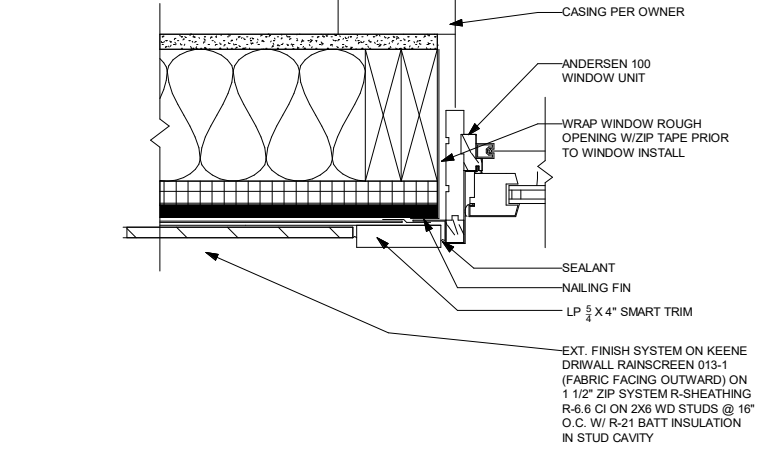
2 WINDOW HEAD SILL - ENLARGED
 A5.3 3" = 1'-0"



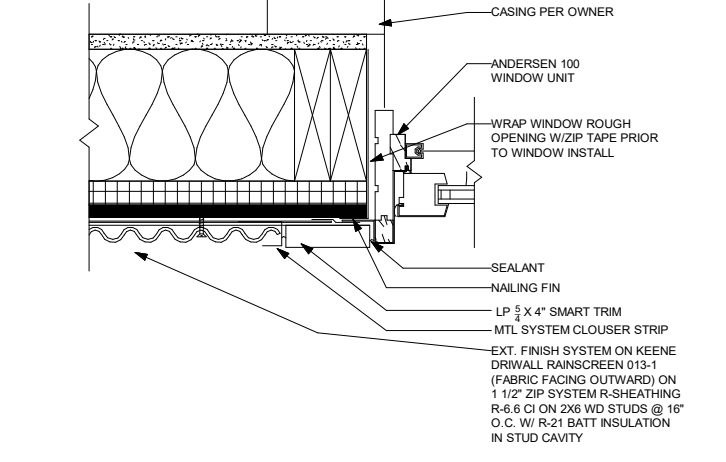
3 WINDOW HEAD SILL MTL
 A5.3 1 1/2" = 1'-0"



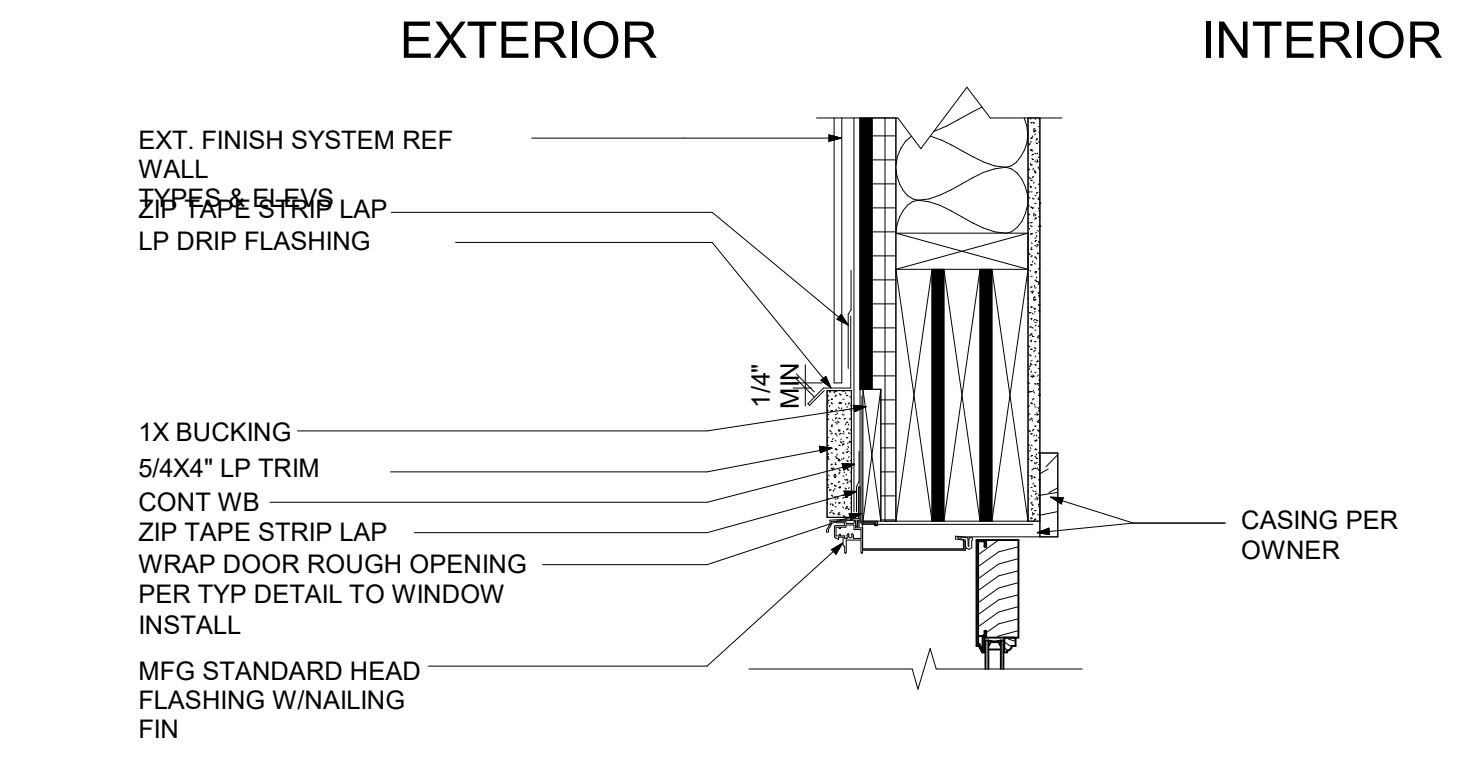
4 WINDOW HEAD SILL MTL - ENLARGED
 A5.3 3" = 1'-0"



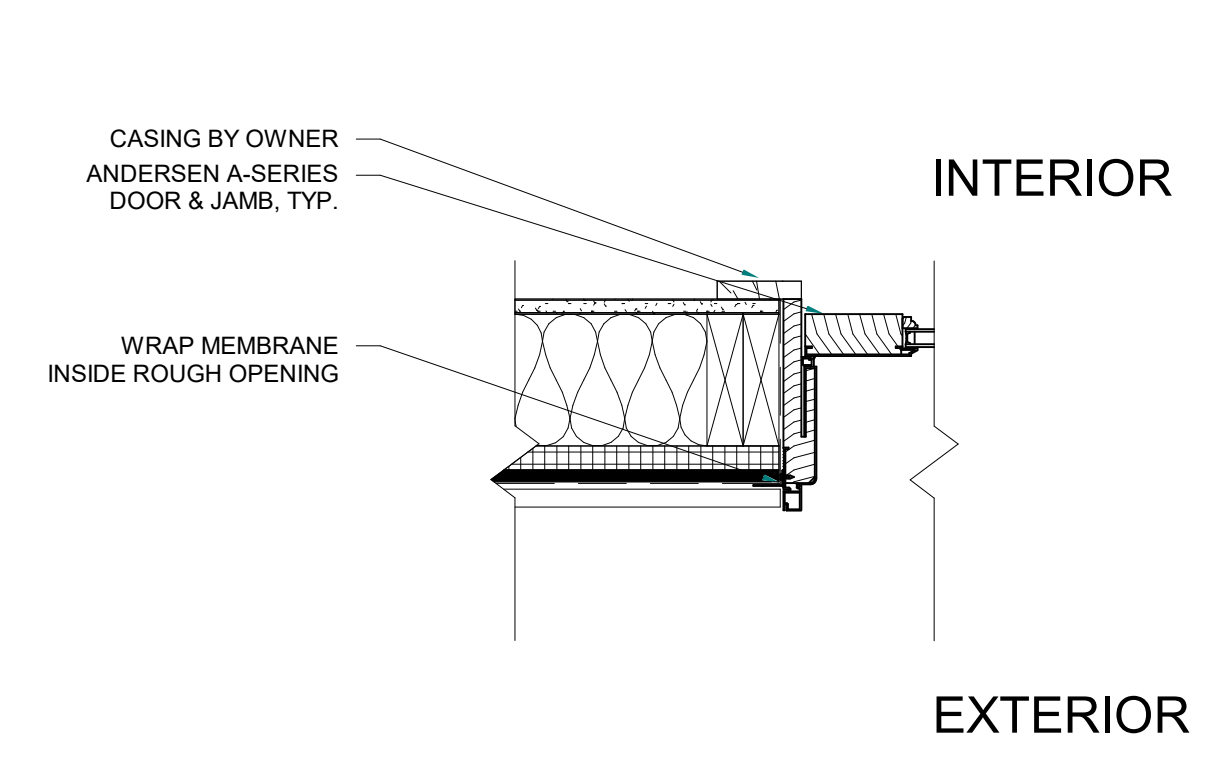
5 WINDOW JAMB
 A5.3 1 1/2" = 1'-0"



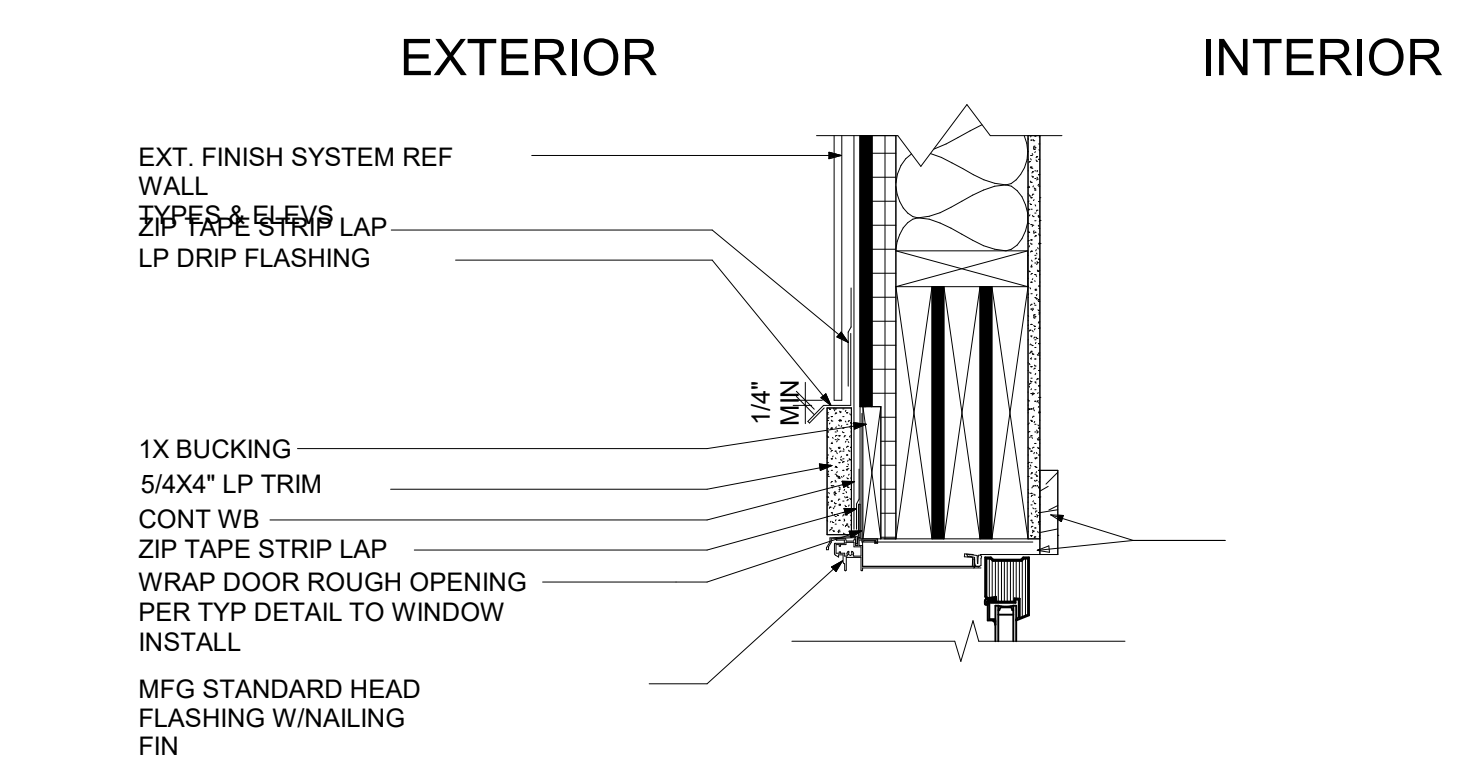
6 WINDOW JAMB MTL
 A5.3 1 1/2" = 1'-0"



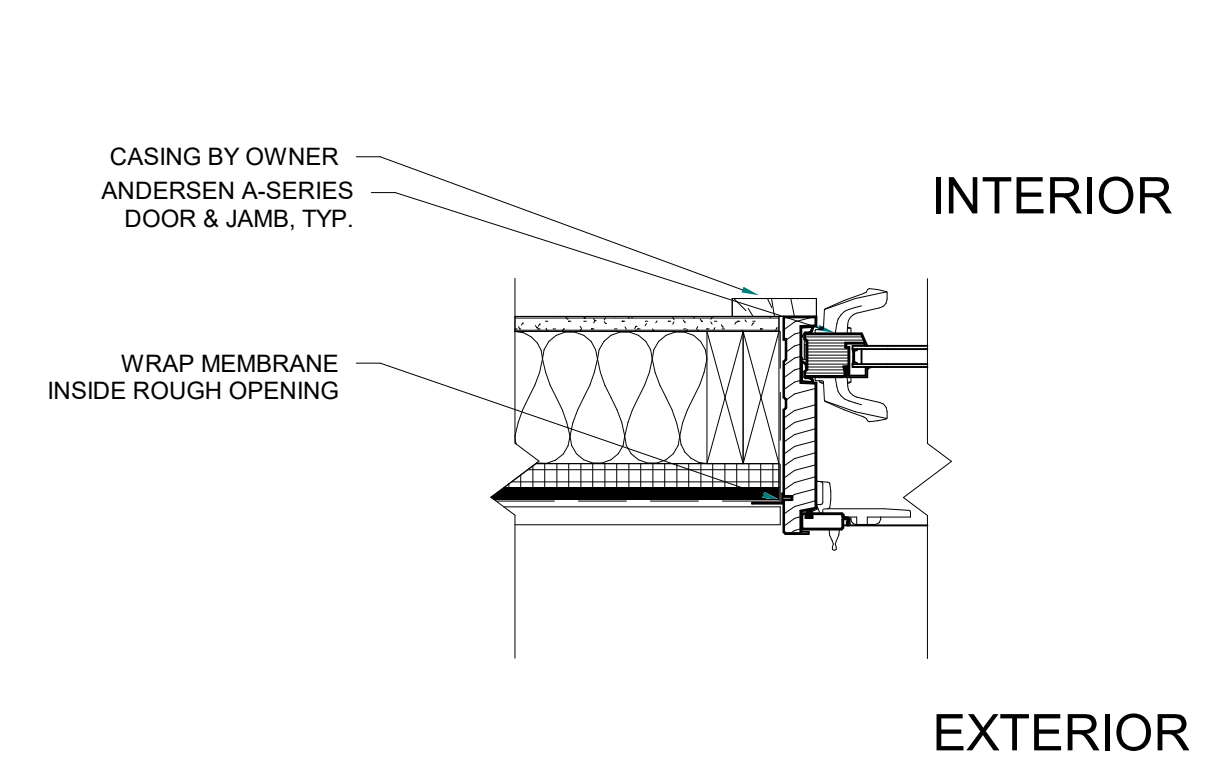
7 DOOR HEAD - SWING
 A5.3 1 1/2" = 1'-0"



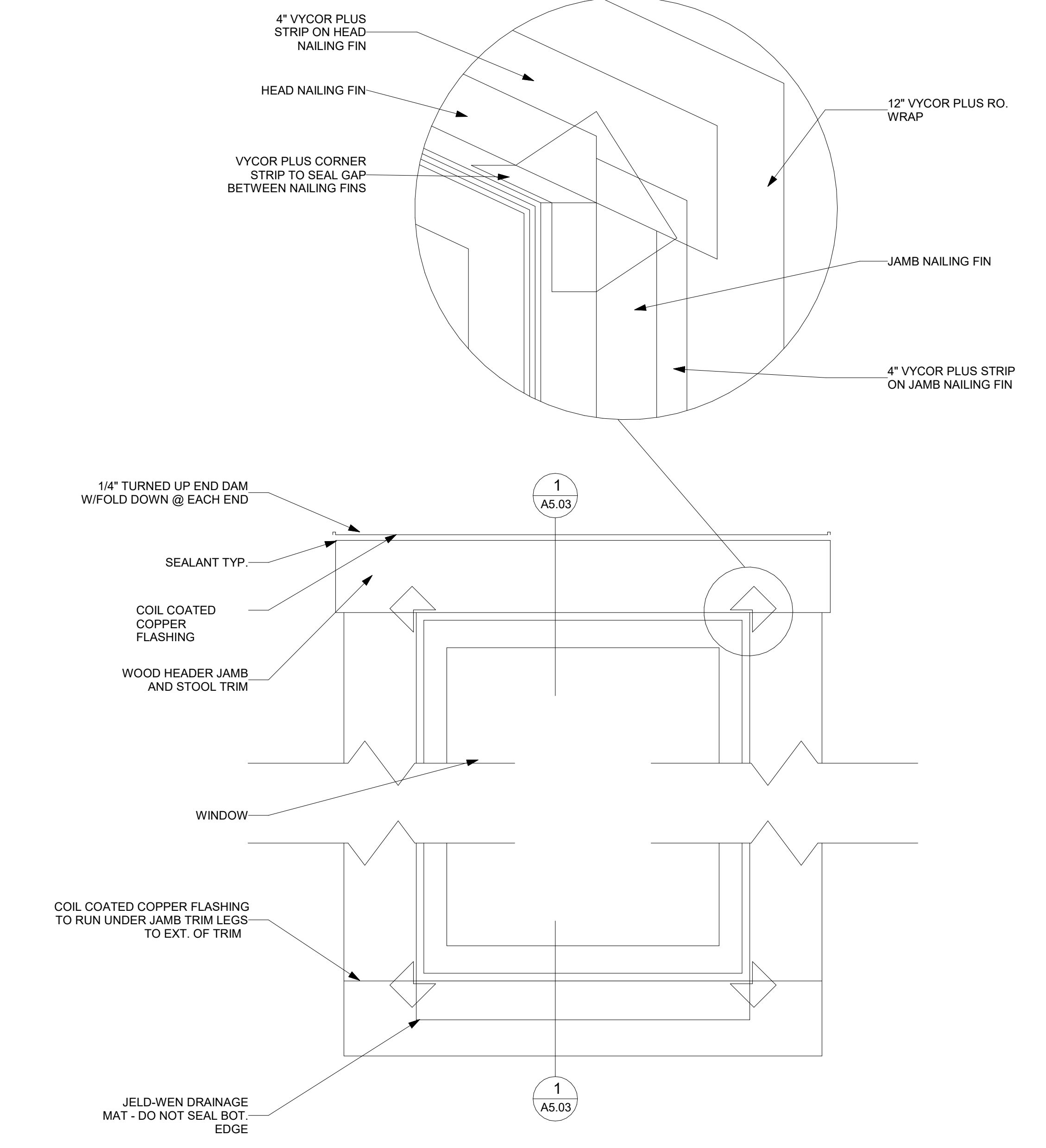
8 DOOR JAMB - SWING
 A5.3 1 1/2" = 1'-0"



9 DOOR HEAD - SLIDER
 A5.3 1 1/2" = 1'-0"



10 DOOR JAMB - SLIDER
 A5.3 1 1/2" = 1'-0"



11 WINDOW FLASHING
 A5.3 1 1/2" = 1'-0"



To: Planning Commission
From: Madison Harris
Date: February 7, 2025
Agenda Item: Ordinance TBD - Series 2025 An Ordinance Amending Chapter 13, 16, and 17 of the MMC to Incorporate into the Code Restrictions on Connection to the Town's Water System Based on Limitations of Available Legal and Physical Water Supply - Request for Continuance

REQUEST:

Continue Ordinance TBD - Series 2025 An Ordinance Amending Chapter 13, 16, and 17 of the MMC to Incorporate into the Code Restrictions on Connection to the Town's Water System Based on Limitations of Available Legal and Physical Water Supply to February 26, 2025.

ANALYSIS:

The Town Attorney is currently drafting an ordinance amending Chapters 13, 16, and 17 in order to incorporate restrictions on connection to the Town's water system based on limitations of available legal and physical water supply. That ordinance was initially slated to be at the February 12, 2025 meeting, but was unable to be finalized in time for the packet. Staff requests that the ordinance be continued to the February 26, 2025 meeting.

COMMUNITY INPUT:

Ongoing.

BUDGET / STAFF IMPACT: TBD

STRATEGIC PLAN ALIGNMENT:

The comprehensive review of the Town's regulations and processes aligns with the following key values:

- Transparency
- Collaboration
- Resourcefulness

ATTACHMENTS:

- None



Minturn Forward Memo

TO: Minturn Planning Commission
FROM: Matt Farrar, Western Slope Consulting
DATE: February 7, 2025
ATTACHMENTS: None

1. Proposed Modifications to Minor PUD Amendments (Section 16-5-180)

Based on previous discussion with the Planning Commission, staff has prepared the following list of changes that could be permitted as minor amendments to an approved PUD. Staff is looking for feedback from the Planning Commission on whether these types of changes are appropriate as minor amendments and/or any revisions to the proposed language that should be made.

- Changes that are necessary to address technical or engineering considerations discovered during the development of the PUD that could not have been reasonably anticipated during the initial approval process.
Any change to the location of a building(s) or structure(s) of no more than two feet (2') in any direction.
Any increase to the impervious surface area in a planning area within a PUD of no more than three percent (3%).
Any increase in the total number of residential units of no more than five percent (5%). The total number of residential units may be increased by no more than ten percent (10%) if the additional units are all deed-restricted for resident occupied community housing, in accordance with Article ##.
Any increase in the total square footage of non-residential buildings of no more than five percent (5%).
Any change to the number or location of vehicular and/or non-motorized access points within in the PUD as long as the change(s) does not negatively impact public safety and/or the flow of traffic onto public streets.
Any changes to landscaping that enhance water conservation and/or wildfire mitigation that do not change the overall character of the approved landscape plan.

Per the Planning Commission’s direction, staff used the Town of Telluride’s provisions for minor modifications to an approved PUD as a template for crafting the list of changes on the previous page.

Note: Telluride allows the number of dwelling units in a PUD to be increased by up to 1% via their Minor PUD Amendment process. Given the scale of PUDs in Minturn, staff is recommending that there be a higher threshold for the percent increase in residential units allowed via the Minor PUD Amendment process. From staff’s perspective, limiting the increase in residential units to 1% doesn’t work unless hundreds of units are included in a PUD (e.g., 1% of 100 residential units = 1 unit).

Staff is also working to incorporate the following changes to the Minor PUD Amendment Section based on direction from the Planning Commission:

- Requiring public notice (i.e., mailed, posted, and published notice) of an administrative decision on a Minor PUD Amendment.
- Including language that allows for a call up of an administrative decision on a Minor PUD Amendment. Staff is recommending that the Town Council be the body authorized to call up an administrative decision on a Minor PUD Amendment.

2. Minor PUD Amendment Examples

The following are examples of minor amendments that could be made to an approved PUD, according to the list of changes provided on the previous page. These examples were developed based on existing PUDs in Minturn, with the exception of the “Hypothetical PUD” that was included as an example of a larger scale PUD that doesn’t currently exist in the Town.

- Minturn North PUD
Total Number of Dwelling Units (DU): 39
Total PUD Area: 12.581 acres
Gross Density: 39 DU / 12.581 acres = 3.1 DU/acre
Maximum Impervious Surface Area Allowed (Planning Area 1): 60%
Maximum Impervious Surface Area Allowed (Planning Area 2): 65%

5% increase in total number of DU: 1.95 units (total DU = 40.95)
10% increase in total number of DU: 3.9 units (total DU = 42.9)

Effect on gross density from 5% increase in total DU:
40.95 DU / 12.581 acres = 3.25 DU/acre (+0.15 DU/acre)

Effect on gross density from 10% increase in total DU:
42.9 DU / 12.581 acres = 3.41 DU/acre (+0.31 DU/acre)

Maximum impervious surface area allowed with 3% increase (Planning Area 1): 63%
Maximum impervious surface area allowed with 3% increase (Planning Area 2): 68%

- Belden Place PUD
Total Number of Dwelling Units (DU): 41
Total PUD Area: 2.7 acres

Gross Density: 41 DU / 2.7 acres = 15.2 DU/acre

5% increase in total number of DU: 2.05 units (total DU = 43.05)

10% increase in total number of DU: 4.1 units (total DU = 45.1)

Effect on gross density from 5% increase in total DU:

43.05 DU / 2.7 acres = 15.94 DU/acre (+0.74 DU/acre)

Effect on gross density from 10% increase in total DU:

45.1 DU / 2.7 acres = 16.7 DU/acre (+1.5 DU/acre)

▪ Midtown Village PUD

Total Number of Dwelling Units (DU): 42

Total Square Footage (SF) of Non-Residential Buildings: 14,000

Total PUD Area: 2.53 acres

Gross Density: 42 DU / 2.53 acres = 16.6 DU/acre

5% increase in total number of DU: 2.1 units (total DU = 44.1)

10% increase in total number of DU: 4.2 units (total DU = 46.2)

Effect on gross density from 5% increase in total DU:

44.1 DU / 2.53 acres = 17.43 DU/acre (+ 0.83 DU/acre)

Effect on gross density from 10% increase in total DU:

46.1 DU / 2.53 acres = 18.22 DU/acre (+1.62 DU/acre)

5% increase in total SF of non-residential buildings: 700 SF (total SF = 14,700)

▪ Hypothetical PUD

Total Number of Dwelling Units (DU): 100

Total Square Footage (SF) of Non-Residential Buildings: 100,000*

Total PUD Area: 10 acres

Gross Density: 100 DU / 10 acres = 10.0 DU/acre

5% increase in total number of DU: 5 units (total DU = 105)

10% increase in total number of DU: 10 units (total DU = 110)

Effect on gross density from 5% increase in total DU:

105 DU / 10 acres = 10.5 DU/acre (+ 0.5 DU/acre)

Effect on gross density from 10% increase in total DU:

110 DU / 10 acres = 11 DU/acre (+1 DU/acre)

5% increase in total SF of non-residential buildings: 5,000 SF (total SF = 105,000)

*For reference, the Home Depot in Avon is roughly 117,000 square feet.

3. Examples from Other Communities

The following are examples of changes that other communities authorize their Planning Director to permit via a Minor PUD Amendment process. These are the same examples that have been included in previous memos to the Planning Commission and are being provided again, for convenience.

Town of Telluride

The Town of Telluride allows their Planning Director to authorize the following types of changes to an approved PUD via their Minor PUD Amendment process:

- Moving a building or street no more than two (2') feet.
- Increasing the ground coverage for all proposed structures by no more than three percent (3%).
- Reducing the amount of approved open space by no more than three percent (3%).
- Increasing the floor area of all proposed structures by no more than two percent (2%).
- Increasing the number of dwelling units or bedrooms by no more than one percent (1%).

Town of Eagle

The Town of Eagle allows their Planning Director to authorize the following types of changes to an approved PUD via their Minor PUD Amendment process:

- Modifying the ratio of residential units to square feet of non-residential building area in the PUD by more than 10%.
- Modifying the gross square footage of non-residential building area as long as the area does not increase by more than 10%.
- Modifying the number or location of vehicular access points as long as those changes don't negatively impact public safety or the flow of traffic onto public streets.

City of Glenwood Springs

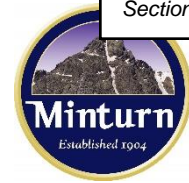
The City of Glenwood Springs allows their Planning Director to authorize the following types of changes to an approved PUD via their Minor PUD Amendment process:

- Modifying the ratio of residential units to square feet of non-residential building area in the PUD by more than 10%.
- Modifying the number of residential units as long as the number of units does not increase by more than 10%.
- Modifying the gross square footage of non-residential building area as long as the area does not increase by more than 10%.
- Modifying the number or location of vehicular access points as long as those changes don't negatively impact public safety or the flow of traffic onto public streets.

Town of Carbondale

The Town of Carbondale allows their Planning Director to authorize the following types of changes to an approved PUD via their Minor PUD Amendment process:

- Changing permitted land uses in any location, if the change does not affect overall PUD density or intensity.
- Increasing the total number of residential units by no more than 5%.
- Any change that results in a decrease of less than 5% of planned or identified public parks and/or improved open space.
- Any change that results in a decrease of less than 2% of the total amount of natural areas or preserved or undisturbed open space.
- Any change to parking, landscape buffer, or building design standards.



To: Minturn Town Council
From: Michelle Metteer
Date: February 05, 2025
RE: Town Manager Update

Main Street Phase II Sidewalks

This project is prepared to go to bid and will have an open bid period of three weeks. Postings will be placed in the Vail Daily, Town website, BidNet and CIP Information Service. In addition, the [RFQ for construction management services](#) will be published Feb 3rd. Jeff Spanel and Katie Sickles will oversee the RFP process. If any council members are interested in participating in the interview portion of the process, please let Katie know. Up to two council members can participate. Katie can be reached at interim@minturn.org.

Taylor Street Paving Project

Jeff Spanel and Cindy Krieg hosted an open house for Taylor Street residents to provide additional feedback for residents requesting improvements as part of the Taylor St repave project. This project has an estimated budget of \$750k and will need to address many deficiencies along the roadway including a variety of drainage issues, vehicle speed issues and parking. The Council directed NOT to take back any of the right of way already encroached upon, so the staff will work within the current [alignment](#) to find a balance of improvements that can be made within the confines of the budget.

Eagle River Quiet Title

Letters have been sent to property owners along the river within the Eagle River Restoration area notifying them of the Town’s effort to quiet title the river bottom. The letters further indicate that no legally obtained private property will be affected by this effort. This has been an ongoing effort since the Council in 2018 approved of this process and the Council in 2024 confirmed the commitment to this undertaking. Rob Marsh is leading this work for the Town and Mike Sawyer can provide additional context as needed after my departure.

Trump Administration’s Executive Orders, Directives & Guidance (Sustainable Strategies Update)

The change in the federal administration has led to uncertainty regarding project loan and funding opportunities (See M-25-13 below for reference). With President Trump pausing federal aid to many programs, Minturn was uncertain as to the \$3M in Congressionally Directed funding the Town plans to utilize for offsetting the cost of the water treatment plant. After listening to Sustainable Strategies analysis of the freeze, which has since been rescinded while the administration takes the next 90-days to review programming, it sounds as though CDS funds are unlikely to be affected as those funds were congressionally approved. More to come as this moves through the process.

[M-25-13: Temporary Pause of Agency Grant, Loan & Other Financial Assistance Programs](#)
[Rescinding of freeze order](#)
[Sustainable Strategies Federal Funding PowerPoint](#)
[Sustainable Strategies Full Presentation](#)

Department of Local Affairs (EIAF Grant Award)

DOLA has awarded Minturn funds toward the repair/replacement of the retaining wall at Little Beach Park. This work will also include a new access road from the small basketball court to the stage. As part of this project Minturn requested to utilize the Town’s match dollars to purchase a new playground. DOLA has denied this request. Minturn is now looking at utilizing cash funds within the Little Beach Park escrow account to include a new playground as part of the summer 2025 construction work.



To: Minturn Town Council
 From: Scot Hunn, Consulting Planning Director
 Date: January 31, 2025
 RE: Planning Director Update

Minturn Forward Code Update Project:

The Planning Department continues to work with Western Slope Consulting (Matt Farrar) and the Planning Commission to develop and review new articles and sections of Chapters 16 (Zoning) and 17 (Subdivision) of the Minturn Municipal Code as part of the Minturn Forward Code Update Project. The new Chapters 16 & 17 will replace the existing Chapters upon adoption. Priority has been placed on the creation of new administrative articles and sections that will have the most impact on improving processes and the implementation of the Town's policies. Each new article or section of code has been vetted internally (by the Planning department, the Town Attorney, and the Town Engineer) prior to presenting a draft document to the Planning Commission for review. Following Planning Commission review, the draft document is then revised and represented to the Planning Commission before moving on to additional articles and sections. Articles created and reviewed since June 2024 include:

- **Article 5 – Land Use Application Requirements & Procedures**
 - This article sets forth the purposes, application submittal requirements, review criteria, and processes for each land use application type (i.e. rezoning, PUDs, zoning variances, conditional use permits, DRB applications).
 - This is considered by staff as perhaps the most critical article in the new code. This article will correct contradictions and conflicts in the current code by standardizing language, processes, and terms while clarifying the intent of each different land use application review by the Town.
 - The clarity and standardization of certain elements of the code will create efficiency for the Town and predictability for applicants.
- **Article 8 – Subdivision Application Requirements and Procedures**
 - This article replaces previous Chapter 17 – Subdivisions, of the Town Code and adds clarity to the process and administrative aspects of applying for a subdivision.
 - Like Article 5, this new article will include elements (text, certain processes and/or requirements) of the existing code along with new language, new provisions, and layout/format to be more user-friendly.
 - Article 8 has been reviewed by the Planning Commission, has been updated based on Planning Commission feedback, and is now being reviewed by the Town's consultant team (Attorney and Engineer) before being presented again to the Planning Commission.
- **Article 12 – Environmental Impact Report**
 - This article replaces the previous environmental impact report section of the code and adds clarity to the process and administrative aspects.
 - This article includes existing provisions (existing code) along with new provisions that allow the Town to evaluate potential development impacts on the natural environment.
 - This article will also address potential development impacts on social, fiscal, or cultural environments of the Town.

Next steps in our process include review of Article 11 – Annexation and Disconnection (currently undergoing internal review by planning staff before being presented to the Planning Commission), wrapping up Article 8 – Subdivision Requirements and Procedures, and then moving on to Module 2 which will include work on the Town's zone districts, allowable uses, development standards, and official zone

district map. This step (zoning, uses, and allowable uses) will involve public engagement. Staff will keep Council informed as the public engagement process is being formulated.

Active Land Use Applications:

- **Eagle County School District – Maloit Park Preliminary Subdivision Plat Review**
 Staff has been reviewing the Eagle County School District Maloit Park Preliminary Plat for Subdivision application since late 2023. In fall 2024, the application was sent to referral agencies as well as the Town’s consultant team for review. The Applicant is currently working to address those comments and/or concerns and, in certain instances, to revise the application. Following the completion of the referral process, the subdivision application will be scheduled for a public hearing before the Planning Commission who will make a recommendation for the Council’s consideration.
- **Design Review Board Administration & Building Activity**
 Staff continue to meet with property owners interested in new or remodel projects; to accept and review Design Review Board applications for new homes and remodel projects; and to work with our building official to coordinate and complete review of building permits and inspections in the field. Staff anticipate a busy spring, with more DRB applications for projects like Belden Place and Minturn North PUDs, as well as individual new home projects

Other Planning Department Activities:

- **The Highlands Parcels 1 and 2 Public Engagement**
 Staff have completed the first step in the public process to determine the future use of the Highlands Parcels Nos. 1 and 2. In early January, the Town launched a webpage with background information about the parcels, as well as information about the Town’s intended process – including public input – to decide how best to use those parcels. A survey was conducted (online and handwritten options) and the Town hosted an open house on Wednesday, January 29th at Town Hall.

The January 2025 survey questions were based on similar questions asked during the Community Survey conducted in the spring of 2024, essentially asking respondents if they prefer the Highlands to be used or preserved as open space, or for development, or some combination of both. The premise of those (2024) questions were that the Town has the opportunity to sell the Highlands Parcels to generate revenue that directly benefits the Town’s Water Enterprise Fund. Staff drafted the most recent survey to reiterate the Town’s intent to generate revenue, while not speculating on which options (open space or real estate development sale options) would produce more, or less revenue.

As of this writing, the Town has received 231 responses to the survey (including online and written survey responses from residents and non-residents), and we welcomed approximately 40 people during the open house. The survey will close at the end of day on Friday January 31st. The survey response and the great attendance at the open house are indicative of the community’s interest in the Highlands Parcels.

Staff will take the next two weeks to analyze the survey results from the survey and the open house (which had boards/dot matrix exercise asking essentially the same questions as were posed

in the survey), as well as any written comments and ideas. An early assessment of public input received indicates that:

- 1) The 2025 Highlands Parcels Survey results mirror the responses related to Highlands Parcel questions asked in the Spring 2024 Community Survey (a preference for the Town to seek revenue generation through the sale of the parcels for open space/land conservation).
- 2) There is a strong preference by the public in 2025 for an open space alternative that limits or prohibits public access/recreation in lieu of protection of wildlife habitats.

Staff will provide a more detailed analysis and report of the survey and open house results to Council at its second meeting in February and will look for further direction from Council on next steps and action alternatives for the Highlands Parcels 1 and 2.

- **Eagle County Regional Housing Action Plan Partnership**

The planning director has been participating alongside representatives from Eagle County, Avon, Eagle, Gypsum, Red Cliff, and Vail in a regional housing action plan task force spearheaded by Eagle County and the Town of Avon. The purpose of this effort is to create a regional housing action plan – looking at alignment between land use policies and community housing goals within and across jurisdictions, as well as identifying potential funding sources to implement priorities and projects - and is based on a housing needs assessment being finalized by Economic Planning Systems (EPS). The assessment is based on community survey work and an extensive process by EPS to work with each partner jurisdiction to compile data on existing land use and development, existing housing policies and housing units/supply in each jurisdiction, as well as demographics and market trends. The partnership presented the initial results of the assessment to each of the partner jurisdictions in October and November.

Since then, EPS has worked to finalize a report which should be published in February or March 2025. EPS will now work with each partner jurisdiction to develop individualized action plans (based on the findings from the report) laying out strategies for defining opportunities that fit each jurisdiction and generally aimed at improving or protecting local’s housing stock. In February and March, the partnership – lead by EPS – will again visit each jurisdiction to present the final report along with individualized recommendations (action plans) for consideration.

- **Eagle County Wildland Urban Interface (WUI) Code Working Group**

The planning director and the code enforcement officer have been participating in a regional effort spearheaded by the Eagle County Wildfire Collaborative group to understand and discuss alternatives, pros, and cons related to the potential adoption of Wildland Urban Interface (WUI) code requirements in member jurisdictions (towns, special districts, and fire districts). This group has been meeting since the start of 2024 and work completed to date includes sharing and analysis of each jurisdictions’ existing land use, zoning, and building code regulations and policies to better understand where, if at all, there are commonalities across or among jurisdictions by way of fire or wildfire related terms, regulations, or design requirements for things like home construction, landscape design and materials, and access to private property.