



AGENDA

Planning Commission Meeting

Wednesday, May 22, 2024

Town Hall / Council Chambers - 302 Pine St Minturn, CO

The agenda is subject to change, including the addition of items 24 hours in advance or the deletion of items at any time. The order of agenda items listed are approximate.

This agenda and meetings can be viewed at www.minturn.org.

MEETING ACCESS INFORMATION AND PUBLIC PARTICIPATION:

This will be an in-person meeting with access for the public to attend in person or via the Zoom link included. Zoom Link: <https://us02web.zoom.us/j/84008279892>

Zoom Call-In Information: 1 651 372 8299 or 1 301 715 8592 **Webinar ID:** 840 0827 9892

Please note: All virtual participants are muted. In order to be called upon an unmuted, you will need to use the “raise hand” feature in the Zoom platform. When it’s your turn to speak, the moderator will unmute your line and you will have five (5) minutes for public comment.

Public Comments: If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner 1, prior to the meeting and will be included as part of the record.

1. **CALL TO ORDER - 6:30 PM**
2. **ROLL CALL AND PLEDGE OF ALLEGIANCE**
3. **APPROVAL OF REGULAR AGENDA**

Opportunity for amendment or deletions to the agenda.

4. **APPROVAL OF MINUTES**
[A.](#) May 8, 2024
5. **DECLARATION OF CONFLICTS OF INTEREST**
6. **PUBLIC COMMENT**

Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made

for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.

7. SPECIAL PRESENTATIONS

Presentations are limited to 5 minutes unless prior arrangements are made with the Town Planner.

8. DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

A. 1010 Two Elk Lane - New Single Family Home

9. DISCUSSION / DIRECTION ITEMS

10. STAFF REPORTS

A. Manager's Report

11. PLANNING COMMISSION COMMENTS

12. FUTURE MEETINGS

A. June 12, 2024

B. June 26, 2024

13. ADJOURN



OFFICIAL MINUTES

Planning Commission Meeting

Wednesday, May 08, 2024

Town Hall / Council Chambers - 302 Pine St Minturn, CO

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MEETING ACCESS INFORMATION AND PUBLIC PARTICIPATION:

This will be an in-person meeting with access for the public to attend in person or via the Zoom link included. Zoom Link: <https://us02web.zoom.us/j/81800854136>

Zoom Call-In Information: 1 651 372 8299 or 1 301 715 8592 **Webinar ID:** 818 0085 4136

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Public Comments: If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner 1, prior to the meeting and will be included as part of the record.

1. CALL TO ORDER - 6:30 PM

Lynn Teach called the meeting to order at 6:45 p.m.

2. ROLL CALL AND PLEDGE OF ALLEGIANCE

Those present at roll call: Planning Commission Chair Lynn Teach and Planning Commission Members Michael Boyd, Amanda Mire, Eric Rippeth, and Darell Wegert.

Staff members present: Planning Director Scot Hunn and Planner I Madison Harris.

Note: Jeff Armistead is excused absent.

3. APPROVAL OF REGULAR AGENDA

Opportunity for amendment or deletions to the agenda.

Madison H. requested that the Planning Commissioner training be moved to June 12th.

Motion by Amanda M., second by Darell W., to approve the agenda as amended. Motion passed 5-0.

Note: Jeff A. is excused absent.

4. APPROVAL OF MINUTES

A. April 10, 2024

Motion by Amanda M., second by Michael B., to approve the minutes of April 10, 2024 as presented. Motion passed 5-0.

Note: Jeff A. is excused absent.

5. DECLARATION OF CONFLICTS OF INTEREST

No conflicts of interest.

6. PUBLIC COMMENT

Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.

No public comment.

7. SPECIAL PRESENTATIONS

Presentations are limited to 5 minutes unless prior arrangements are made with the Town Planner.

8. DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

A. Conditional Use Permit Application on Union Pacific Railroad Property for Temporary Construction Office and Storage Uses

Madison H. introduced the topic. This is a Conditional Use Permit for temporary construction management office and storage uses. This is very similar to other CUPs in the area, of which there are five. Per the Applicant’s application narrative *“Due to the amount of construction that will be ongoing throughout the site, we believe the construction management office, unpaved parking, construction material and equipment storage and associated restroom facilities are better located on an adjacent 0.66-acre Union Pacific Railroad property across from Fourth Street. This location will have less impact on Taylor Avenue residents and Owners within the Minturn North PUD. By placing a management office at this location, we can see who is entering and exiting the construction site and it gives the sub-contractors a good place to check-in with added parking when needed. The more efficient we can be, the less impact there will be on existing surrounding land uses.”* This review should result in the Planning Commission making a formal recommendation for approval, approval with conditions, or denial of the CUP request in accordance with the standards, criteria and findings outlined in Section 16-21-620 – *Conditional Use*, Minturn Municipal Code.

- a. *The relationship and impact of the use on the community development objectives of the Town.*
- b. *The effect of the use on distribution of population, transportation, utilities, schools, parks and recreational facilities and other public facilities and public facility needs.*
- c. *The effect upon traffic, with particular reference to congestion, automotive and pedestrian safety, traffic flow and control, access, maneuverability and snow removal.*
- d. *The effect upon the character of the area in which the proposed use is to be located, including the scale and bulk of the proposed use in relation to surrounding uses, the amount of noise, lighting and glare, dust and compatibility of the use with the Character Area it is in and surrounding areas.*
- e. *Necessary findings. The Planning Commission and Town Council shall make the following findings before making a recommendation or decision that a conditional use permit be granted:*
 - 1. *That the proposed location of the use is in accordance with the purposes of this Chapter, the Community Plan and the purposes of the zone in which the site is located.*
 - 2. *That the proposed location of the use and the conditions under which it would be operated or maintained will not be detrimental to the public health,*

safety or welfare, or materially injurious to properties or improvements in the vicinity.

3. That the proposed use will comply with each of the applicable provisions of this Chapter.”

Staff is recommending similar conditions to what the other CUPs operate under, with a few tweaks to be specific to Minturn North such as not allowing the storage of ATVs or snow mobiles, the timing of renewal (the others are every three years, while this is proposed to be for an initial three years and then have to come back annually for renewal), and shortened working hours (the others are 7-7, 7 days a week, and this is proposed to be 7-6 Mon.-Sat. for exterior work and 7-6 Mon.-Sun. for interior work). Staff has not identified any issues specific to this proposal. This proposal is similar to other CUPs associated with contractor storage and the Applicant has provided evidence to demonstrate that the use can meet all of the conditions and terms of use. Under “An Economically Vibrant Community: Commercial Development & Industry” of the 2023 Imagine Minturn Community Plan, it states, in part, that *“Data from the Town’s business licenses show a diverse and entrepreneurial mix of businesses. Construction and trades again represent a large proportion of businesses, ranging from general contracting and construction businesses to heavy construction.”* The UP property – and the lease areas - is one of the first things people see when they enter Town from the North. This is a unique piece of land which allows light industrial/contractor storage uses that are not permitted elsewhere in Town and thus adds to the diversity and mix of businesses. As part of the construction management plan submitted to the Town all contractor traffic should only be accessing the site via Minturn Road. There will likely be a material increase in local traffic, due to the development project, but unlikely to be as a result of the approval of the CUP. Congestion, pedestrian safety, traffic flow and control, access, maneuverability and snow removal in the immediate vicinity of the subject property should all be priorities for the Applicant. Staff believes that the main factor impacting the character of the surrounding area or, importantly, the compatibility of the use within the Game Creek Character Area is the visual or aesthetic quality of the lease area. The Applicant has stated that his intent is to utilize the fenced and screened area for storage of materials and equipment and a temporary construction office. No additional site (exterior) lighting is proposed with this CUP request and staff does not anticipate that the use of the lease area will generate noise, glare, or dust outside of the approved working hours as laid out in the recommended conditions. The continued leasing of UP lands in the Game Creek Character Area for temporary light-industrial and storage uses appears contrary to the Minturn Municipal Code. Yet, a primary purpose of the Conditional Use Permit review - the Town’s primary zoning and code enforcement tool to control uses on private property - is to ensure that permitted uses are, in effect, temporary and inspected on a regular basis for compliance; that, any such approval granted by the Town is valid so long as the terms and conditions are adhered to. Generally, the location and uses proposed, if properly conditioned, should not be detrimental to the public health, safety or welfare, nor should they be materially injurious to the properties or improvements in the vicinity if the site is maintained in accordance with the standards of the Minturn Municipal Code and any conditions of approval. Staff believes that as proposed, and if conditioned properly, the requested CUP for contractor storage will comply with the applicable provisions of the Town’s zoning code (Chapter 16). Staff suggests the proposed Conditional Use Permit for Temporary Construction Management Office and Storage uses for Minturn North Construction Company, as conditioned, will conform with the Towns community plan as well as the applicable provisions and requirements of Chapter 16 - Zoning.

Amanda M. asked how many cars would be parked in the parking area.

- Rick Hermes, Applicant said that it can accommodate 24 parking spaces.

Darell W. asked where the construction workers would park.

- Mr. Hermes said that there is plenty of room on the site for parking.

Michael B. clarified that parking would only be occurring on the site and in the CUP.

- Mr. Hermes said that is correct.

Amanda M. clarified that there would be no fabrication on the site and that the snow storage proposed would only be for the CUP.

Public comment opened.

Michael Gottino, 110 Taylor St

Will they forever be looking at the CUPs on the railroad property? Is there any pressure from the Railroad to grant this? Want to work with Rick on this.

Duncan Robinson, 531 Taylor

Thinks the development will put a strain on the area. This is where overflow for the trailhead used to park. During market days, people usually park on Minturn Road, but this will be tight with the fence now. This proposed uses can easily fit on Mr. Hermes' property, and this area should be used as parking for the trailhead.

Rob Gosiewski,

Parking is shrinking for trailhead and market users. The depot is an important area for turnaround for trucks. Worries about setting a precedent for granting a CUP on the east side of the tracks. There was no storage east of the tracks 10 years ago. There's been a huge effort from the Town to tidy up the CUP areas. Thought that the Town was trying to consolidate the CUPs. Doesn't think the need for a CUP is compelling enough to grant this project, and the Town has nothing to gain for it.

Mr. Hermes clarified that this is the already disturbed area. Understands that there is a use for trailhead and Minturn Market parking, but this is on UP property and doesn't know if that's an allowed use at this time. They will be providing 54 spaces at the trailhead once that infrastructure is built. Did the best they could to leave space at the trailhead currently without interrupting the drainage and grading work that needs to be done. Since they are working on the whole project from one end to the other, there will be a lot of heavy equipment and construction moving around so there isn't as much space as originally planned. Is planning on closing 4th street May 20 when heavy infrastructure starts. Is planning to place a QR code around the CUPs, have signs to communicate.

Madison H. read into the record public comment received before the meeting.

Duncan Robinson, 531 Taylor St

Special use permit for minturn north to use the UP property to the west of minturn rd. I vote no, why can't Rick use his own land to store his construction equipment? If he needs additional storage, there is plenty of construction storage in Avon. Rick says one thing and then does another. There is some gravel dirt area to the west of minturn road and this was used for overflow trail head parking in the past before Rick took away all but 5-10 spots at the trail head. This area should also be used for minturn market parking instead of construction materials. The business the town gains from trail head use and the minturn market are more important than Rick construction materials.

Justine LaCross, 322 Taylor St

Hello, I cannot make the meeting on Wednesday, May 8th 2024. I am writing to OBJECT to the idea of the Conditional Use Permit Application on Union Pacific Railroad Property for Temporary Construction Office and Storage Uses. Granting this use gives this project control of the WHOLE AREA. The closure of 4th street is concerning as traffic has already increased in front of my residence. The intersection at Taylor St. and Minturn Rd. is NOT SAFE and granting this permit basically closes off Minturn Road funneling all traffic to and from main street through Taylor. I have always felt unsafe walking through the International building/Turntable/Saloon area. Not to mention the worry I have for my kids. There have been several close calls.

The fence already constructed on the property seems pretty close to Taylor Street. My residence feels like a prison – no joke!

Trent Schaffler, 105 Lions Lane

Special use permit for Minturn North to use the UP property to the west of Minturn Road. If the Town/UP approves leasing this land, please put in appropriate controls limiting length of use.

David Clapp, 392 Taylor St

Thank you to all, I appreciate everyone's time. I am sorry that I can't attend this evening's meeting. I have attended many past CUP requests through the years. I am sure tonight's will be the same. The only one in favor will be the applicant. The residents will be opposed. Who wants storage containers blocking their view of the river? Why would you want to look down on piles of asphalt being stored for years? I don't recommend it. The Railroad nor its tenants pay taxes in Minturn or have a vote. Please heed the wishes of those of us who do.

Rob Gosiewski, 560 Taylor St

Construction storage areas were included on various plans and Resort Concepts should be held to that; A Conditional Use Permit for storage on Union Pacific land in the area of the old depot would likely lead to renewals of the CUP for the long-term. I think Minturn has done a good job containing and cleaning-up the area west of the tracks and this would be a step backwards. The old depot zone would serve the area better as overflow trailhead parking and for Minturn Market vendor parking (Minturn Road will be too busy now for the old vendor parking). It also serves as an important turnaround for large trucks that cannot easily make it through the turns over the tracks and past the Saloon. Areas beyond the depot are finally naturalizing with tall grasses and a few small trees. Rick has only sold half of the lots; he can utilize a few unsold lots for his infrastructure storage and construction trailers until the houses start going up.

Public comment closed.

Amanda M. asked if the Applicant has the ability to pass the lease on when he's done.

- Mr. Hermes said they have the right to extend the lease, but doesn't know if there's an assignability clause.
- Amanda M. would like to add language that causes the CUP to be shut down once the Minturn North project is done with, and can't be sub-leased out. Maybe change the report cycle to quarterly rather than annually. Because of the volume of anticipated of anticipated traffic, would like to be cognizant of any complaints received.

Darell W. followed up on the statement of trucks using this area as a turnaround. This might cause issues with traffic if they have to pull in and then back out.

- Mr. Hermes said that they can pull into the site and turnaround.

Michael B. thinks this is a good idea keeping this away from Taylor St and trailhead users. This project will happen sooner if everything can get excavated at the same time. There are currently multiple CUPs in that area, but this is specific to the construction site and isolates people down on the lower end, keeping them away from the residents. If residents want more parking, they can talk to Council about the land the town just acquired.

Lynn T. sees this as a positive so there might be not as much interruption to Taylor St. Agrees with Amanda M.'s comments on the conditions and the shorter review cycle at least for the first year. Would take any option to keep any noise away from residences. Expediting this project is a goal for everyone.

Amanda M. agrees with Lynn T. and Michael B., but just wants to shore up some of the language on the conditions.

Darell W. clarified that 4th street when he was mayor was a dirt road two wagons wide, and they asked the UP if they could pave it and they could. The Town never owned the street.

Motion by Michael B., second by Eric R., to forward a recommendation of approval with conditions to the Town Council of the Conditional Use Permit Application on Union Pacific Railroad Property for Temporary Construction Office and Storage Uses. Motion passed 5-0.

1. No vehicle entering the property shall exceed 40'-2" in length. This restriction does not apply to the installation of the construction management office and storage containers that may be used for storage of materials and equipment associated with or incidental to the business operations approved under this CUP. Such container(s) must be maintained in an orderly manner; must be screened to the greatest extent possible with fencing and green mesh screening materials.
2. No storage of campers, ATV's, dirt bikes, snowmobiles, pop-ups, conversion vans, camper trailers, or similar camping related vehicles or personal use vehicles are permitted.
3. No inoperable or unlicensed vehicles are to be kept on the property for longer than five (5) days. (Pursuant to Section 7-2-70 Minturn Municipal Code).
4. The CUP property is to be maintained in a clean and orderly condition, permitting no deposit or accumulation of refuse or materials other than those ordinarily attendant upon the use for which such premises are legally intended.
5. Minturn North Construction Company is to maintain and conduct business within the CUP area associated with the approved and valid CUP only.
6. Violations. The following schedule of fines shall be enforced for violations not remedied within thirty (30) days:
 - a. The first violation will be fined \$100.00
 - b. The second violation will be fined \$250.00
 - c. The third and subsequent violations will be fined \$500.00
7. The CUP will be subject to a quarterly review by the Town of Minturn Planning Staff with regard to compliance with the terms of use and conditionals of approval associated with the CUP for the first year of the CUP, and all subsequent years of the CUP there shall be an annual review by the Town of Minturn Planning Staff with regard to compliance with the terms of use and conditions of approval associated with the CUP. The Town Staff shall provide a report to the Town Council following such review. The report shall, in a general manner, provide updates on the following:
 - a. Any violations or other incidences requiring Staff response and Town resources out of the ordinary course of Town business and services. A violation will only be counted if the infraction has not been corrected within thirty (30) days of notice being sent to the CUP holder.
 - b. Compliance with the overall terms of use permitted by the CUP as well as observations regarding the condition of the CUP area.
 - c. Any changes in i). Lessee/Sub-Lessee; and ii). Uses within the CUP area.
 - d. At Staff's discretion, a recommendation may be made to Council to revoke the CUP having accumulated three violations in a calendar year (January 1 to December 31).
8. The CUP is valid for three (3) years. Applicant may request an extension of the CUP every year thereafter following a review with the Minturn Town Council. The review shall include but not limited to inspections by the Town Staff and the following reporting:
 - a. Report from a Code Compliance Officer.
 - b. Report from Planning Department
9. Working hours within the permitted area will coincide with the Minturn North PUD. Exterior hours may occur between the hours of 7:00 am MST and 6:00 pm MST Monday – Saturday. Interior hours may occur between the hours of 7:00 am MST and 6:00 pm MST Monday – Sunday.

10. Uses must be in compliance with the applicable laws, including Minturn Municipal Code, state and federal law. A violation of any law within the permitted premises shall be considered a violation of the CUP.
11. All uses associated with activities approved by the CUP shall adhere at all times with the noise and vibration standards of the Town (pursuant to Section 16-18-30, Minturn Municipal Code).
12. The CUP boundary must be gated, fenced and screened (green mesh screening materials).
13. Supplies, parking, vehicles, storage containers, structures, and equipment must be placed within the CUP boundary.
14. No fuel containment shall be permitted within the CUP boundary.
15. All overnight parking must be done within the approved and fenced CUP boundary.
16. No chemical storage is permitted within the approved CUP boundary.
17. A 20' ingress/egress access shall be maintained.
18. Proper snow storage areas must be maintained and sufficient for snow removal within the approved CUP area. The ingress/egress access shall be maintained at all times for emergency access.
19. Minturn North Construction Company is required to be under a valid lease agreement with Union Pacific Railroad.
20. Town Staff shall be allowed access to the site to inspect for approved CUP compliance at any time.
21. The Town Council shall determine that the CUP agreement shall be completed and expired upon final Certificates of Occupancy for all 39 lots.

Note: Jeff A. is excused absent.

- B.** Ordinance TBD - Series 2024 An Ordinance Amending the Belden Place PUD Final Plan Scot H. introduced the agenda item. This is a result of the 2022 Final Plan and Final Plat approvals and the subsequent lawsuit and resolution. As part of the settlement, it allowed for amendments to the Final Plan and Final Plat. What is being proposed is the combing of lots 12-14 from a tri-plex to a single family home with the option of an ADU effectively lowering the density of the PUD. This amends Ord. 4 – 2022 Final Plan and Ord. 5 – 2022 Final Plat

Amanda M. clarified that this doesn't change the water taps situation.

- Scot H. said that this does not change the water situation.

Public comment opened.

Tracy Andersen, 1016 Mountain Dr.

Would like to clarify that via the litigation that this is allowed.

- Scot H. clarified that via the settlement agreement, it allowed for certain things to happen such as the request for additional water taps, and the amendment to the Final Plan and Final Plat.

Public comment closed.

Motion by Michael B., second by Lynn T., to forward a recommendation of approval to the Town Council for Ordinance TBD - Series 2024 An Ordinance Amending the Belden Place PUD Final Plan. Motion passed 5-0.

Note: Jeff A. is excused absent.

- C.** Ordinance TBD - Series 2024 An Ordinance Amending the Belden Place PUD Final Plat Public comment opened.

Elmer Christianson would like to say thank you as this is 24 years in the making.

Public comment closed.

Motion by Michael B., second by Darell W., to forward a recommendation of approval to the Town Council for Ordinance TBD - Series 2024 An Ordinance Amending the Belden Place PUD Final Plat. Motion passed 5-0.

Note: Jeff A. is excused absent.

Note: 5 minute recess called at 8:08 p.m.

D. Ordinance TBD - Series 2024 An Ordinance Amending Chapter 16 in Regards to Housing Standards and Guidelines

Scot H. introduced the agenda item. He gave the history of Article 26. What was approved wasn't really going to affect affordable housing in Minturn. This is based on 2023 Community Plan and discussions at Planning Commission to lower the AMI. 140% AMI is \$126,000 for 3 people. Also added definitions for "price-capped for-sale" and "price-capped for-rent" and maintain the restrictions on subsequent sales past the initial deed restricted sale. Will need to figure out language to allow some equity appreciation and will work with the County to draft this.

Darell W. asked why we went to 140% AMI rather than 120% AMI.

- Scot H. said that when we initially adopted this, 140% AMI was judged as too restrictive, so hoping to start now at 140% AMI and go from there.
- Darell W. said that Council has prioritized workforce housing for servers, bartenders, and teachers so 120% AMI might be more appropriate for that demographic.

Lynn T. asked how to address developers saying that this isn't feasible.

- Scot H. said that he believed that it would still be feasible. This is just the first step, but a successful project takes partnerships.

Eric R. clarified that there were mitigation factors if a developer couldn't meet the 120% AMI.

Public comment opened.
No public comment.
Public comment closed.

Motion by Amanda M., second by Darell W., to forward a recommendation of approval to the Town Council for Ordinance TBD - Series 2024 An Ordinance Amending Chapter 16 in Regards to Housing Standards and Guidelines with the change of 200% AMI to 120% AMI. Motion passed 5-0.

Note: Jeff A. is excused absent.

9. DISCUSSION / DIRECTION ITEMS

A. Minturn Forward: Survey and Open House Responses

There were 100 respondents to the survey and 38 attendants to the open houses. Looked into what made each area unique to provide guidance when we get to the design standards and dimensional limitations of each zone district.

Michael B. thinks the responses with the breakdowns of the neighborhoods all over town, the responses go hand in hand for a good percentage. The results are good to have.

Amanda M. would like to highlight the Maloit Park responses.

Eric R. would like to take these numbers and take them into consideration when making zoning laws for everyone.

Lynn T. was not surprised by the results.

- B. Planning Commissioner Training
This item has been moved to June 12th.

10. STAFF REPORTS

A. Manager's Report

Congressman Neguse Community Meeting

I attended the community meeting of Congressman Neguse on Wednesday, April 24th where the Congressman graciously took questions from the audience. I took this opportunity to ask the Congressman for help in scheduling a meeting between local representatives and CDOT Director Lew for the purpose of discussing the West Vail Pass project. Minturn's desire to keep I-70 traffic out of our small community is imperative to Minturn's safety needs and completing this project is one element toward pushing that needle forward. The Congressman indicated his office was willing to help in this area and we hope to hear more soon.

Certified Local Government - Grant Award

Madison Harris completed and was awarded on behalf of the Town a grant to cover \$25,000 toward the costs of a Resource Survey for the Town. This Resource Survey analyzes the structures in Minturn and provides valuable historical insight for each property as appropriate. This Resource Survey will be a valuable addition to Minturn's Historic Preservation Program. This will work toward educating residents and property owners of the historic nature of the Town's structures. The grant award letter has been included for reference.

Intermountain Transportation Planning Region (IMTPR)

I represented Minturn at the IMPTR meeting and annual retreat on April 19th. At this meeting the voting members approved updated bylaws, discussed the West Vail Pass project, and then started the retreat process which will be ongoing for at least the next meeting. IMPTR is considering sending a West Vail Pass Project support letter to CDOT Director Lew and Governor Polis on behalf of the Planning Region which includes all the municipalities, counties and regional transit agencies for Summit, Eagle, Pitkin, Garfield, and Lake counties.

Water Tank – Pressure Reducing Valve (For full use of both water tanks)

Minturn has received the list of action steps from the State of Colorado for the execution of installing a pressure reducing valve in an already-existing building. This will include a historic survey and environmental assessment in addition to following all BABA and Davis Bacon requirements. To summarize, going through the State to use the remainder of the water tank loan funds for this work will cost Minturn more than should the Town pay cash. I have asked Jarod Limke to provide a cost estimate for this project once he has reached sufficient design level to determine if this project as a cash expense is a better opportunity for the Town. The lining of the old tank will already be a cash project, it is just a matter of determining the pressure reducing valve installation costs. More to come.

Minturn North Development

The Minturn North team is preparing to start work on the grading and utilities portion of the newly approved project. There will be an illuminated message board by the project, as well as additional signage with a QR code for where to find project information and contact numbers. The Town will share this information via the Town website as well. The developer has assured the Town that parking for the Game Creek trailhead will remain open except for when specific utility work to that area is conducted.

Out of Office

I will be out of the office June 17-21 and not attending the June 19th Council meeting. Mike Sawyer will attend that meeting, in person, in my absence.

B. Planning Department Update

161 Main Street - Limited Use Permit and Sign Permit

The code requires all sheds in all zone districts to be processed under a Limited Use Review application. Stef and Spence Neubauer applied for a Limited Use Review permit for a shed at 161 Main Street to function as their tasting room as they work on plans for a more permanent structure. That application was approved by the Planning Director on April 12, 2024. Subsequently, the Town received an application for signage on the structure which was approved April 24, 2024. The site plan and the approved signage are attached.

1111 Main Street - Fence Permit

The Town received an application for a fence at 1111 Main Street for their backyard. That was administratively approved on April 23, 2024.

Planning Commission Appointment

Tom Priest was recently elected to the Town Council which left a vacancy to fill on the Planning Commission for the remainder of his term. At the May 1, 2024 Council meeting, Darell Wegert (Alternate) was promoted to full time member for the remainder of the term through March 31, 2025, and Eric Rippeth was appointed to the two year Alternate term through March 31, 2026. Congratulations to both!

Scot H. thanked Lynn T. for her store and the effort she puts into the Town.

11. PLANNING COMMISSION COMMENTS

No planning commission comments.

12. FUTURE MEETINGS

- A. May 22, 2024
- B. June 12, 2024

13. ADJOURN

Motion by Amanda M., second by Lyn T., to adjourn the regular meeting of May 8, 2024 at 9:06p.m. Motion passed 5-0.

Note: Eric R. is attending in his status as an alternate.

Lynn Teach, Commission Chair

ATTEST:

Scot Hunn, Planning Director

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Michael Boyd
Amanda Mire
Eric Rippeth
Darell Wegert

Design Review Board Hearing

Final Plan Review for New Home

1010 Two Elk Lane

Hearing Date:	May 22, 2024
File Name and Process:	Single-Family Residence Final Plan Review
Owner/Applicant:	Adam Minnick
Representative:	Fletcher Groff, The Groff Company
Legal Description:	Subdivision: CROSS CREEK PLACE Lot: 2
Address:	1010 Two Elk Lane
Zoning:	Cross Creek Character Area – Mixed Use Zone District
Staff Member:	Madison Harris, Planner I
Recommendation:	Approval, with Conditions

Staff Report

I. Summary of Request:

The Applicant, Adam Minnick, requests Final Plan review of a new, three-bedroom, 4,257 (gross) square foot single-family residence located at 1010 Two Elk Lane in the Cross Creek Mixed Use Zone District. The Applicant’s representative, Fletcher Groff of the Groff Company and Sam Eckerson with Boss Architecture, have been proactive in meeting with Town staff prior to submitting plans for a new home and has provided a relatively complete and thorough set of site, landscaping, and architectural plans.

Proposed Plans

The plans show a one-story with a basement, three-bedroom structure with a maximum building height - measured to the midpoint of the roof – of around 18 feet, well under the maximum allowable 28-foot limit within the Cross Creek Mixed Use Zone District.

Additionally, the massing, forms, and scale of the proposed structure, as well as proposed exterior materials, textures and detailing also appear to achieve the design objectives of Appendix B – *Design Guidelines and Standards*, Minturn Municipal Code.

Parking is adequate, with two off-street spaces provided within the garage. The plans show a basement space with the three bedrooms, and the main level has the primary living area.

According to staff’s analysis of development standards and dimensional limitations in Section III below the project appears to meet the Town’s standards.

Overall, staff believes that the Applicants and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review.

As a reminder, the Planning Commission has the option to review the proposal as a “conceptual” plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or the Commission may take action to approve, approve with conditions, or deny the Final Plans.

Staff is **recommending approval**, with conditions.

II. Summary of Process and Code Requirements:

These plans are being presented by the Applicant as “Final Plan” level of review for a new single-family residential structure on a legally created lot within the Town of Minturn. This is a formal hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB’s concerns or feedback regarding suggested revisions to the project.

If the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve the plans without conditions, or to approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions, additions or updates to the plans. No variances are required or requested at this time.

Design Review Process

Appendix ‘B’ of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection “d” below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

(d) *Administrative procedure.*

- (1) *Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.*

(2) *Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:*

- a. The proposal's adherence to the Town's zoning regulations.*
- b. The proposal's adherence to the applicable goals and objectives of the Community Plan.*
- c. The proposal's adherence to the Design Standards.*

(3) *Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:*

- a. That the proposal is in conformance with the Town zoning regulations.*
- b. That the proposal helps achieve the goals and objectives of the Community Plan.*
- c. That the proposal complies with the Design Standards.*

Staff suggests that the final plans for 1010 Two Elk Lane meet or can be revised to meet the required findings ‘a,’ ‘b,’ and ‘c’ or subparagraph 3 – *Necessary findings* - with proposed conditions of approval.

III. Zoning Analysis:

Zoning

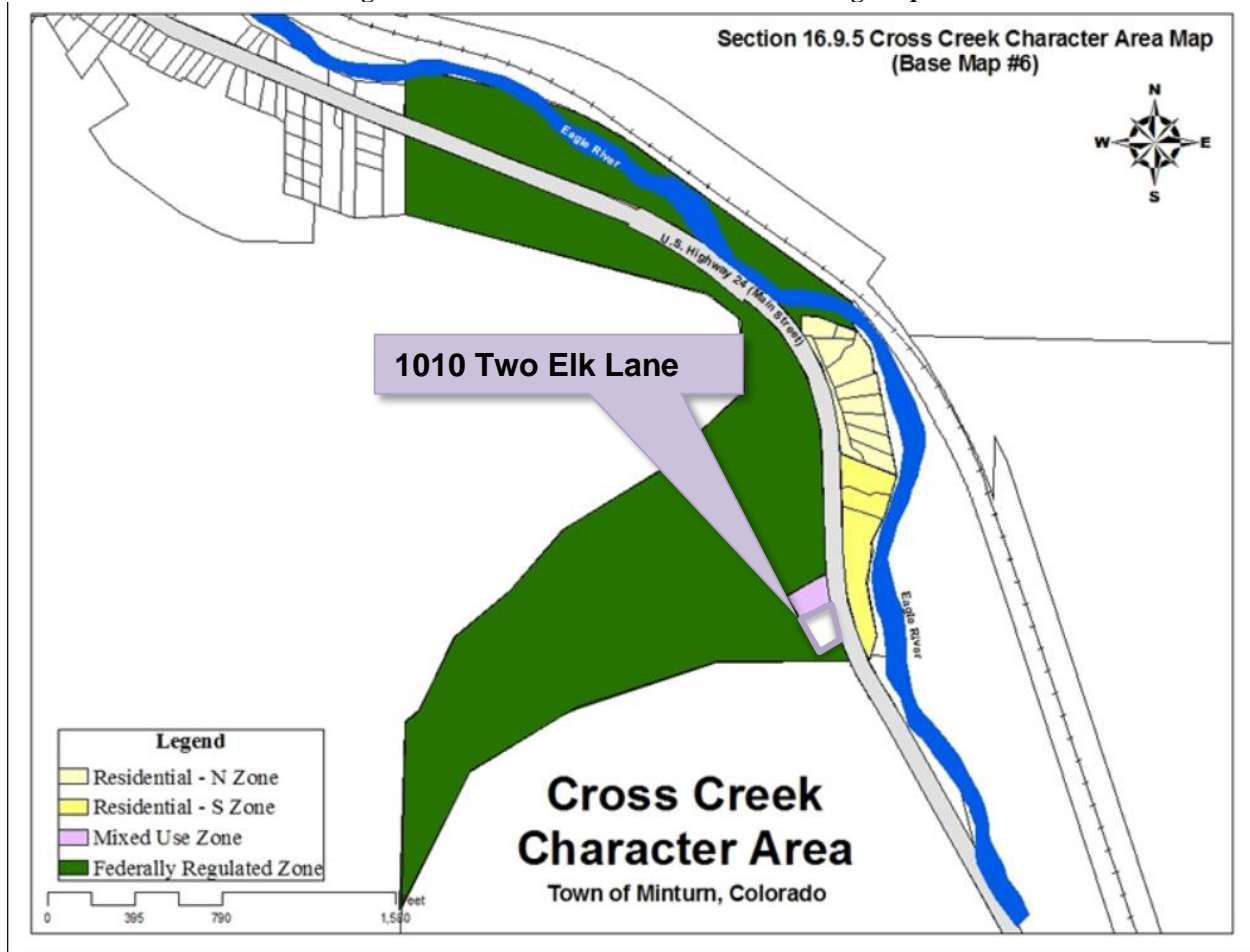
The subject property is located within the “Cross Creek Character Area” Mixed Use Zone District, described as follows:

- (a) The Cross Creek Mixed-Use Zone is characterized by a small area of mixed-use. The site has good access from Highway 24 and is highly visible as one enters Town from the south.*
- (b) The purpose of the Cross Creek Mixed-Use Overlay Zone is to **provide a variety of complementary and integrated uses such as residential**, office, light manufacturing and some retail in a concentrated area. **An objective of this area is to provide an attractive entrance statement** and economic activity **without causing significant impacts** on nearby residential and open space uses.*

- Town of Minturn Town Code Section 16-9-30

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Figure 1: Cross Creek Character Area Zoning Map



Dimensional Limitations and Development Standards

The following table summarizes the lot, development and dimensional standards and limitations applicable to the subject property pursuant to Sections 16-2-40. - *General lot requirements and dimensional standards* and 16-16-20 – *Parking Required for Residential and Lodging Uses*.

Regulation	Allowed/Required	Proposed/Existing
Minimum Lot Area:	10,000 sq. ft.	sq. ft. (ac.)
Maximum Building Height:	28 feet	18 feet - 3 inches
Minimum Front Setback:	10 feet	10 feet
Minimum Side Setback:	10 feet	10 feet
Minimum Rear Setback:	10 feet	10 feet

Maximum Lot Coverage:	70% (3,547.6 sq. ft.)	2,218.57 sq. ft. (43.8%) Proposed
Maximum Impervious Coverage:	80% (4,054.4 sq. ft.)	2,919.67 sq. ft. (57.6%) Proposed
Minimum Snow Storage Area:	5% of Lot Area (5,068 sq. ft. x .05 = 253.4 sq. ft.)	253.5 sq. ft.
Parking:	2 spaces	2 spaces

IV. Applicable Standards and Design Guideline Criteria:

Design

In addition to the development standards listed above, the following general design principles are provided for reference.

Final Site, Grading and Drainage Design

The Minturn Design Guidelines encourage designs that integrate or account for site topography and existing conditions, surrounding conditions, solar orientation, placement on lots relative to streets and natural features, snow storage and snow shed from roof structures.

Mass and Form

The following excerpt from the Design Guidelines is applicable to the proposed home design:

“c. Massing and Scale

“A simple central form with additive features shall be designed. This style creates visual interest and is appropriate for the community due to its compatibility with existing structures. Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

“Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.”

-Town of Minturn Design Guidelines

Staff Response:

Staff believes that the design and scale of the proposed structure incorporates a simple central form with additive features and is complementary to adjacent residential structures and character on nearby parcels. Staff further suggests that the scale of the project is appropriate and will not overpower surrounding natural and built environments. Proposed roof forms and pitches, materials and textures are compatible and complementary to the surrounding built and natural environments.

V. Issues and Recommended Revisions:

Issues or Required Plan Revisions

The following issues or areas of refinement have been identified by staff that must be addressed prior to any building permit application submittal and are reflected in staff’s recommended list of conditions:

Exterior Light Fixtures

The plans do not show exterior light locations and no spec sheets were provided for proposed exterior lighting. Plans submitted for building permit should include exterior lighting locations on floor plans, building elevations and, if applicable, reflected ceiling/roof plan. A final spec sheet for all exterior fixtures should be submitted for review prior to or concurrent with the building permit application to demonstrate that all exterior lighting will be full cutoff, dark sky compliant per the Minturn Municipal Code.

VI. Staff Recommendation and Suggested Conditions:

Staff suggests that the Final Plans for 1010 Two Elk Lane, as conditioned below, generally **comply** with or exceed the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix ‘B’) of the Minturn Town Code.

Staff is **recommending approval** of the plans, with the following recommended condition(s):

1. The Applicant shall provide details for all exterior lighting locations on floor plans, building elevations and reflected ceiling/roof plan sheets. Additionally, the Applicant shall submit final cut sheets/specifications for proposed exterior light fixtures prior to or concurrent with building permit application to ensure compliance with the Town’s lighting standards.



DESIGN REVIEW APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT
 P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
 Phone: 970-827-5645 Fax: 970-827-5545 Email: planner1@minturn.org

Project Name:

1010 TWO ELK LANE

Project Location

Street Address: 1010 TWO ELK LANE, MINTURN, CO 81645

Zoning: **CROSS CREEK**

Parcel Number(s): **2103-363-10-003**

Application Request:

MAJOR CONSTRUCTION

Applicant:

Name: FLETCHER GROFF

Mailing Address: 1036 POLAR STAR DR., EAGLE, CO 81631

Phone: (303) 638 - 0956

Email: fletcher@thegroffcompany.com

Property Owner:

Name: ADAM MINNICK

Mailing Address: 452 LEYDEN STREET, DENVER, CO 80220

Phone: (303) 319-6778

Email: aminnick@stonetowncapital.com

Required Information:

Lot Size: .11 ACRES	Type of Residence (Single Family, ADU, Duplex) SINGLE FAMILY	# of Bedrooms 2	# On-site Parking Spaces 4
# of Stories: 1	Snow storage sq ft: 253.3	Building Footprint sq ft: 2,355	Total sq ft Impervious Surface: 2,919

Signature:

Fee Paid: _____ Date Received: _____ Planner: _____

Fletcher Groff

The Groff Company, LLC
1036 Polar Star Dr.
Eagle, CO, 81631
14th December 2023

Madison Harris

Planner 1, Town of Minturn
302 Pine St
Minturn, CO 81645

To Whom it May Concern,

This letter serves as the Statement of Intent for the development of 1010 Two Elk Lane, in Minturn, Colorado, parcel number 2013-363-10-003.

I am acting as Agent to the Owners of the above referenced lot, who plan on developing the lot into a single family residence. The lot is currently undeveloped, and BOSS Architecture has been hired to design a one-story, single family residence for the Owner's family's personal use.

The design has been developed to minimize visual impact from the road, while maximizing views of the ridgeline to the east, and blending in with the adjacent condominium. The material palette has been carefully selected in accordance with Minturn guidelines to reflect the mining history and community character. The landscape will feature native grasses, and will artfully place any boulders found during excavation. Special attention has been paid to parking, with the design incorporating a four-car garage into the program.

On this lot there are three easements. The first is an access easement on the southwest corner for the adjacent condominium's front entry. The second is a sewer and drainage easement along the southeast lot boundary line. The third is a sewer easement located on the southeast corner of the lot. There is no work proposed within the access and drainage easements. An overheight variance has been secured from ERWSD for the roof to encroach over the sewer easement.

Sincerely,



Fletcher Groff

Adam and Lainie Minnick

452 Leyden St
Denver, CO 80220
15th November 2023

Madison Harris

Planner 1, Town of Minturn
302 Pine St
Minturn, CO 81645

To Whom it May Concern,

This letter serves as our Statement of Intent for the development of 1010 Two Elk Lane, in Minturn, Colorado, parcel number 2013-363-10-003.

I am the owner of the above referenced lot, and plan to develop the lot into a single family residence. The lot is currently undeveloped, and we have hired BOSS Architecture to design a one-story, single family residence for our family's personal use.

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Sincerely,



Adam Minnick

VIEW OF PROPOSED PROJECT



DRAWING INDEX

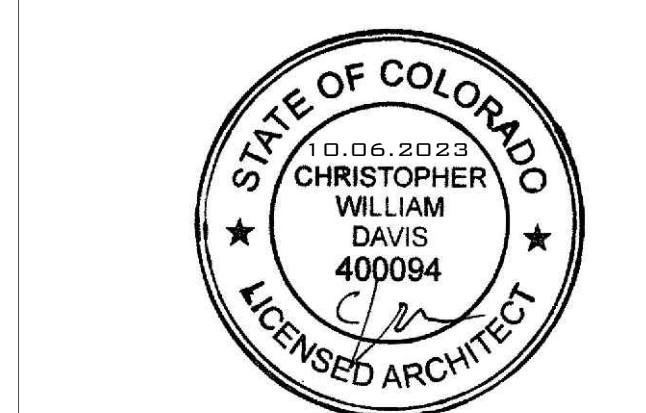
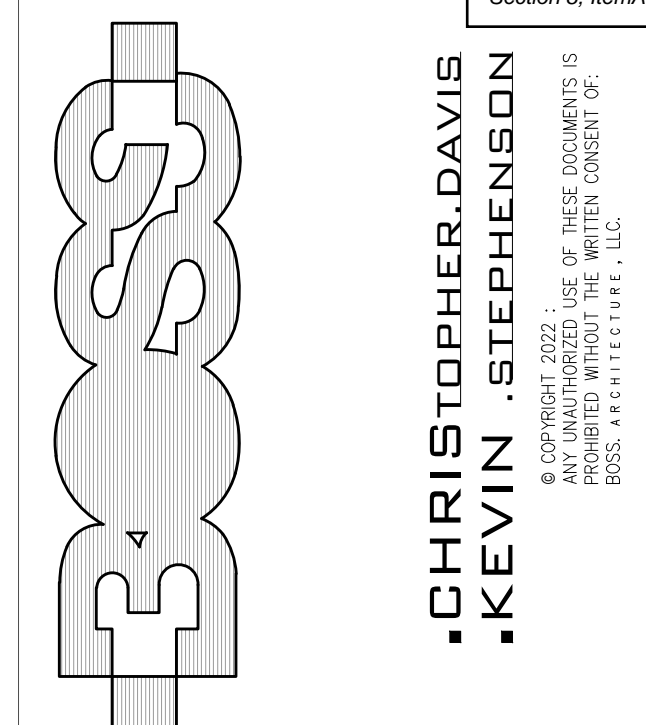
ISSUES AND REVISIONS		10.27.2023	REVIEW	APP.
●	NEW DRAWING			
◐	REVISED DRAWING			
○	REISSUED DRAWING w/ NO CHANGES	04.02.2024	REVISION #1	
—	OMITTED	04.29.2024	REVISION #2	

GENERAL DRAWINGS				
A0.0	COVER SHEET	●	●	●
A0.1	GENERAL NOTES AND ASSEMBLIES	●		
A0.2	VICINITY MAP	●		
A0.3	SURVEY	●	●	●
A0.4	LOT COVERAGE DIAGRAM	●		
A0.5	MATERIAL PALETTE	●		
A0.6	FIRE PROTECTION PLAN	●		

CIVIL DRAWINGS				
C1.0	COVER SHEET	●	●	●
C2.0	GRADING PLAN	●	●	●
C3.0	EROSION CONTROL PLAN	●	●	●

LANDSCAPE DRAWINGS				
L1.0	LANDSCAPE PLANTING PLAN	●	●	

ARCHITECTURAL DRAWINGS				
A1.0	SITE PLAN	●	●	●
A1.1	DRIVEWAY DIAGRAM	●	●	
A2.0	BASEMENT LEVEL DIMENSIONED PLAN	●		
A2.1	BASEMENT LEVEL FINISH PLAN	●		
A2.2	MAIN LEVEL DIMENSIONED PLAN	●		
A2.3	MAIN LEVEL FINISH PLAN	●		
A2.4	ROOF PLAN	●		
A3.0	EXTERIOR ELEVATIONS	●		
A3.1	EXTERIOR ELEVATIONS	●		
A4.0	BUILDING SECTIONS	●		



OWNER:
ADAM AND LAINIE MINNICK
LOCATION:
1010 TWO ELK LANE
MINTURN, COLORADO 81645

11 | 2023 DESIGN REVIEW
1 | 2024 (REVISION.01)
2 | 2024 (REVISION.02)

COVER SHEET

PROJECT SUMMARY

ADDRESS: 1010 TWO ELK LANE
MINTURN, CO 81645

TAX AREA: SCO24 - MINTURN (TOWN)

PARCEL NUMBER: 2103-363-10-003

LOT SIZE: .11 ACRES

LEGAL SUMMARY: SUBDIVISION: CROSS CREEK PLACE LOT: 2

BUILDING HEIGHT: 2B' MAX ALLOWED PER SEC, 16'-2'-60", TABLE 16-B "TABLE HEIGHT", MINTURN MUNICIPAL CODE HEIGHT MEASURED FROM FINISHED OR NATURAL GRADE, WHICHEVER IS MORE RESTRICTIVE, TO MIDPOINT OF ROOF

PLANS, SQ. FT.

LOT COVERAGE	
LOT SIZE	5,068 SF (.11 ACRES)
ALLOWABLE	2,543 SF (50%)
PROPOSED	2,355 SF (46%)
LOWER LEVEL FINISHED	2,080 SF
MECH. x	44 SF
GROSS	2,124 SF
MAIN LEVEL FINISHED	1,148 SF
GARAGE	985 SF
GROSS	2,133 SF
TOTAL FINISHED	3,228 SF
TOTAL GROSS	4,257 SF

SYMBOLS LEGEND

ROOM NAME	— AREA NAME
XXX	— AREA NUMBER
101	— DOOR NUMBER
X/AX.X	— EXTERIOR ELEVATION NUMBER
AX.X	— EXTERIOR ELEVATION SHEET NUMBER
X	— DETAIL NUMBER
AX.X	— DETAIL SHEET NUMBER
SECTION X/AXX	— BUILDING SECTION NUMBER
	— BUILDING SECTION SHEET NUMBER
ELEVATION LEVEL	— SPOT ELEVATION REFERENCE
X	— WINDOW TYPE
X	— INTERIOR GLASS TYPE
X	— SKYLIGHT TYPE
NORTH ARROW	— NORTH ARROW
X/AXX.X	— INTERIOR ELEVATION REFERENCE
X	— CHANGE IN FLOOR OR CEILING ELEVATION

PROJECT TEAM

OWNER
ADAM AND LAINIE MINNICK
452 LEYDEN STREE
DENVER, CO 80220
303.319.6178
303.956.2531
aminnick@torrefrancapital.com
lainie.minnick@gmail.com

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BOSS ARCHITECTURE
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KEVIN STEPHENSON
3300 E 17TH AVE
DENVER, COLORADO 80206
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kevin@bossarchitecture.com

GENERAL CONTRACTOR
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1036 POLAR STAR DR.
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303.638.0956
fletcher@thegroffcompany.com

STRUCTURAL ENGINEER
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MEGHAN C. BAKEMEYER
1400 BLENARY PLACE, SUITE 101
DENVER, CO 80202
303.623.4927
megan.c.bakemeyer@imegcorp.com

CIVIL ENGINEER
RAPTOR CIVIL ENGINEERING
8620 WOLF COURT
SUITE 105B
WESTMINSTER, CO 80031
720.774.7736
eric@raptor-civil.com

MECHANICAL
T.B.D.

LANDSCAPE ARCHITECT
T.B.D.

BUILDING CODE INFORMATION

APPLICABLE CODES
2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2021 INTERNATIONAL FIRE CODE (IFC)
2021 INTERNATIONAL PLUMBING CODE (IPC)

TWO · ELK

BOSS ARCHITECTURE

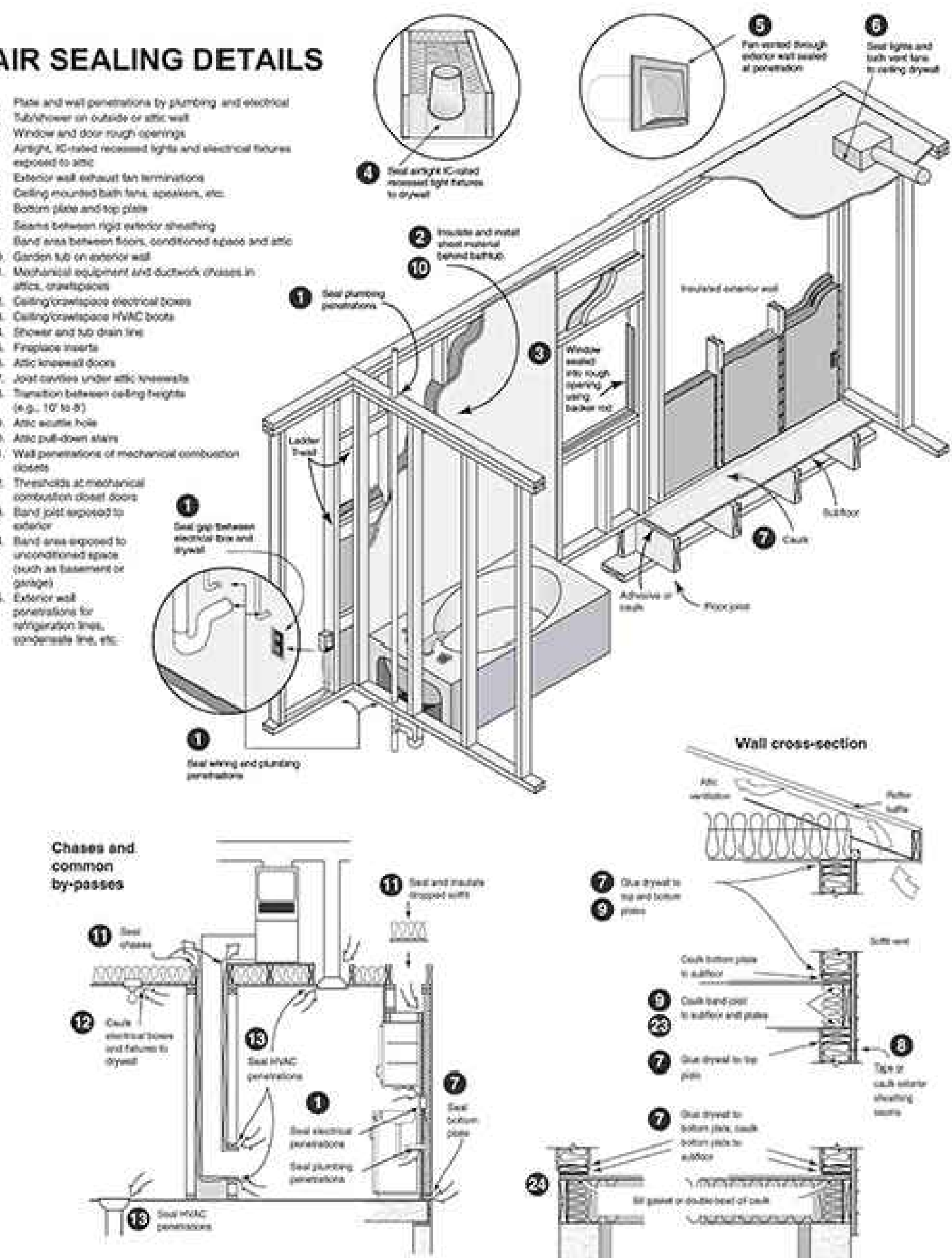
3300 E 17TH AVE
DENVER, COLORADO 80206 USA
303.377.6322 | P
303.377.6326 | F
WWW.BOSSARCHITECTURE.COM

GENERAL NOTES

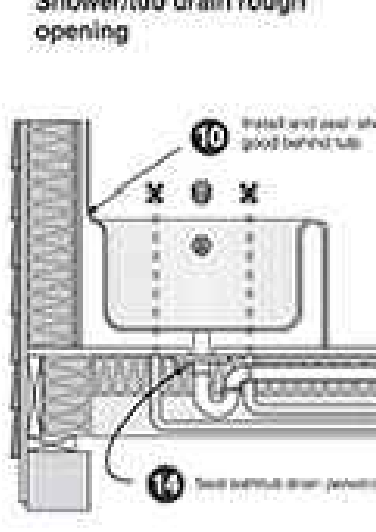
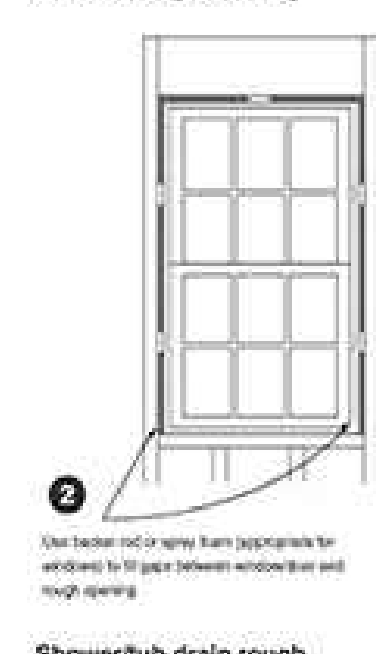
- ALL WORK SHALL BE DONE IN ACCORDANCE w/ THE 2021 IRC, ALL MINTURN AMENDMENTS TO THE CODE & ALL FEDERAL, STATE & LOCAL CODES & AGENCIES HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR & RESPECTIVE SUB-CONTRACTORS TO BUILD TO SATISFY THESE CODES & CALL FOR ALL NECESSARY INSPECTIONS.
- CONTRACTOR SHALL VERIFY & COORDINATE ALL NEW & EXISTING CONDITIONS & DIMENSIONS @ JOB SITE FOR COMPARISON w/ DWG'S & SPECIFICATIONS PRIOR TO BIDDING & START OF & DURING CONSTRUCTION. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED, IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING w/ WORK.
- DO NOT SCALE DWG'S. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS AS GIVEN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR & COORDINATED w/ ALL OF THE WORK OF ALL TRADES. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE THE COMMENCEMENT OR RESUMPTION OF WORK.
- DIMENSIONS SHOWN ON FLOOR PLANS, SECTIONS, ELEVATION, & DETAILS ARE TO FACE OF WOOD FRAMING AND TO FINISH FACE OF MASONRY, CONC. OR GRID LINES, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ON THE ARCHITECTURAL DRAWINGS LOCATING STRUCTURAL STEEL OR HEAVY TIMBER MEMBERS ARE TO CENTERLINE, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY ALL COLUMN COORDINATES & CHECK THEM AGAINST DIMENSIONS SHOWN ON PLANS & DETAILS. CONSTRUCTION MANAGER SHOULD BE NOTIFIED OF ANY DISCREPANCIES DURING STAKING.
- ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. NOTIFY THE ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.
- "V.I.F. OR F.V." ON DWG'S REFERS TO FIELD VERIFICATION FOR CORRECT DIMENSIONS & CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
CFI - CONTRACTOR FURNISHED CONTRACTOR INSTALLED
OFCI - OWNER FURNISHED CONTRACTOR INSTALLED
OFOI - OWNER FURNISHED OWNER INSTALLED
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDE, BUT NOT LIMITED TO: STRUCT. MEMBERS, MECH. DUCTS & INSUL., LIGHT FIXTURES, CEILING SYSTEMS, & ANY SPECIAL STRUCT. SUPPORTS REQUIRED) & SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE T.O. SUBFLOOR INDICATED IN THE WALL SECTIONS & THE REFLECTED CEILING PLANS. (CEILING HEIGHT DIMENSIONS ARE TO THE FINISH SURFACE OF CEILING).
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF ALL WALL & CEILING FRAMING MEMBERS TO FACILITATE THE INSTALLATION OF ALL WALL & CEILING MOUNTED ELECT. & MECH. DEVICES, ETC., PER THE ARCHITECTS DWG'S, RE: INTERIOR ELEVATIONS, & REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF DEVICES. IF NOT INDICATED, COORDINATE LOCATIONS w/ ARCHITECT PRIOR TO INSTALLATION.
- ACCESS PANELS SHALL BE PROVIDED & INSTALLED WHEREVER REQUIRED BY BLDG. CODE OR FOR THE PROPER OPERATION OR MAINTENANCE OF MECH. OR ELECT. EQUIPMENT, WHETHER OR NOT INDICATED ON THE DWG'S. CONTRACTOR SHALL COORDINATE SIZE, LOCATION, & TYPE OF ACCESS PANEL w/ OTHER CONTRACTORS' WORK & RECEIVE APPROVAL OF THE ARCHITECT. NO ACCESS PANEL SHALL BE LOCATED, FRAMED OR INSTALLED w/O THE EXPRESSED APPROVAL OF THE ARCHITECT. CLAD & PAINT PANELS TO MATCH ADJACENT FINISHED CONDITION (PROVIDE FOR INTEGRATED LOOK TO WALL OR CEILING ASSEMBLY BY ANY MEANS NECESSARY) OR AS APPROVED BY ARCHITECT.
- IN THE CASE OF A CONFLICT BETWEEN THE DWG'S & THE SPECIFICATIONS, SPECIFICATIONS SHALL TAKE PRECEDENCE. IN THE CASE OF A CONFLICT IN THE DWG'S & DETAILS, THE DWG'S w/ THE LARGER SCALE OR THE ASSEMBLY WHICH PRODUCES THE HIGHER QUALITY ASSEMBLY & FINISH SHALL TAKE PRECEDENCE. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICT BEFORE PROCEEDING w/ THE WORK.
- ALL DUCT PENETRATIONS THROUGH PARTITIONS & CEILING SHALL BE PROVIDED w/ THE NECESSARY FRAMES & BRACING AROUND THE OPENING.
- THE SPECIFICATIONS & ALL CONSULTANT DWG'S ARE SUPPLEMENTAL TO THE ARCHITECTURAL DWG'S IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE w/ THE ARCHITECTURAL DWG'S BEFORE THE INSTALLATION OF ANY OF THE CONSULTANTS' WORK & TO BRING ANY DISCREPANCIES OR CONFLICTS TO THE ARCHITECT'S ATTENTION IN WRITING, FOR CLARIFICATION. IMPROPERLY INSTALLED WORK SHALL BE CORRECTED BY THE GENERAL CONTRACTOR @ HIS/HER EXPENSE & @ NO EXPENSE TO THE ARCHITECT, HIS CONSULTANTS, OR THE OWNER.
- THE ARCHITECT SHALL BE CONSULTED IN ALL CASES WHERE CUTTING INTO AN EXISTING STRUCTURAL PORTION OF ANY BLDG. IS EITHER EXPEDIENT OR NECESSARY. PRIOR TO PROCEEDING w/ WORK, REINFORCEMENT &/OR SUPPORT SATISFACTORY TO ARCHITECTS & STRUCTURAL ENGINEER SHALL BE PROVIDED BY CONTRACTOR.
- TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY LOCAL REGULATIONS & COUNTY CODE.
- FINAL CLEAN UP & DISPOSAL: REMOVE DEBRIS, RUBBISH & WASTE MATERIAL FROM THE OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA & PAY ALL HAULING & DUMPING COSTS. CONFORM TO PERTAINING FEDERAL STATE & LOCAL LAWS, REGULATIONS & ORDERS. UPON COMPLETION OF WORK, ALL CONSTRUCTION AREAS SHALL BE LEFT VACUUM-CLEAN & FREE FROM DEBRIS, CLEAN ALL DUST, DIRT, STAINS, HAND MARKS, PAINT SPOTS, DROPPINGS, & OTHER BLEMISHES.
- IF THE CONTRACTOR ASCERTAINS @ ANY TIME THAT REQUIREMENT OF THIS CONTRACT CONFLICT w/, OR ARE IN VIOLATION OF, APPLICABLE LAWS, CODES, REGULATIONS & ORDINANCES, HE/SHE SHALL NOT PROCEED w/ WORK IN QUESTION, EXCEPT @ HIS/HER OWN RISK, UNTIL THE ARCHITECT HAS BEEN NOTIFIED IN WRITING & WRITTEN DETERMINATION IS MADE BY THE ARCHITECT. WHERE COMPLETED OR PARTIALLY COMPLETED WORK IS DISCOVERED TO BE IN VIOLATION w/ APPLICABLE LAWS, CODES, REGULATIONS & ORDINANCES, CONTRACTOR SHALL BE REQUIRED TO REMOVE THAT WORK FROM THE PROJECT & REPLACE SUCH WORK w/ ALL NEW COMPLYING WORK @ NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.
- ANY WORK INSTALLED IN CONFLICT w/ THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR @ HIS/HER EXPENSE & @ NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT, OR CONSULTANTS.
- STAIR ASSEMBLY:
HEADROOM 6'-8" MIN AND WIDTH 3'-0" MIN
THE MAXIMUM RISER HEIGHT SHALL BE 7-3/4". OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENING BETWEEN TREADS IS LESS THAN 4".
THE MINIMUM TREAD DEPTH SHALL BE 10".
HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN
34" AND NOT MORE THAN 38". HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE LENGTH OF THE FLIGHT, FROM THE TOP TO THE BOTTOM RISER. HANDRAILS SHALL RETURN, HANDRAILS ADJACENT TO A WALL SHALL BE A SPACE OF NOT LESS THAN 1-1/2" FROM THE WALL TO THE HANDRAIL.
OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A SPHERE OF 4" OR MORE IN DIAMETER CANNOT PASS THROUGH. DOORS TO THE EXTERIOR SHALL HAVE A MAX 7-3/4" STEP TO A MINIMUM 36" DEEP LANDING, BUT THE DOOR MAY NOT SWING OVER OR LAND ON PORCHES, BALCONIES OR RAISED FLOOR SURFACES MORE THAN 30" ABOVE THE FLOOR OR GRADE SHALL HAVE GUARD RAILS NOT LESS THAN 36" IN HEIGHT.

AIR SEALING DETAILS

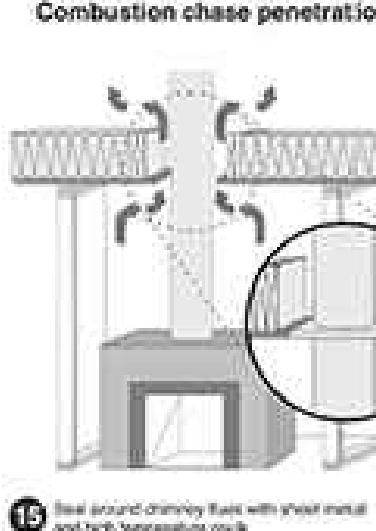
- Flare and seal penetrations by plumbing and electrical
- Sublimer on outside or attic wall
- Window and door rough openings
- Airtight, IC-rated recessed lights and electrical fixtures exposed to attic
- Exterior wall exhaust fan terminations
- Ceiling mounted bath fans, ventilation, etc.
- Bottom plate and top plate
- Seams between rigid exterior sheathing
- Band area between floor, conditioned space and attic
- Gasden tub on exterior wall
- Mechanical equipment and ductwork (chases in attics, crawlspaces)
- Ceiling/crawlspace electrical ducts
- Ceiling/crawlspace HVAC ducts
- Shower and tub drain line
- Fireplace inserts
- Attic kneewall doors
- Joint cavities under attic kneewalls
- Transition between ceiling heights (e.g. 10' to 8')
- Attic scullie hole
- Attic pull-down stairs
- Wall penetrations of mechanical combustion ducts
- Thresholds at mechanical conditioned closet doors
- Band joint exposed to exterior
- Band area exposed to unconditioned space (such as basement or garage)
- Exterior wall penetrations for refrigeration lines, copper/utility lines, etc.



Window rough opening

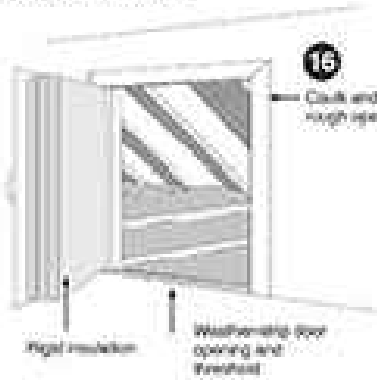


Shower/tub drain rough opening

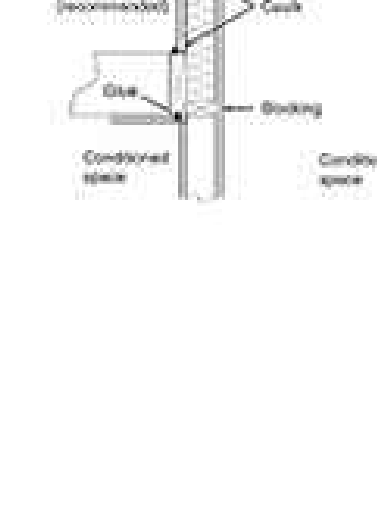


Combustion chase penetrations

Attic knee-walls

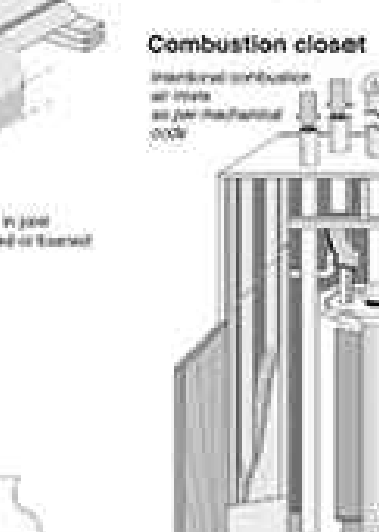
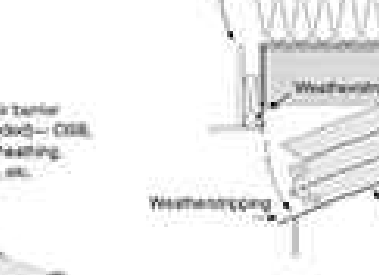
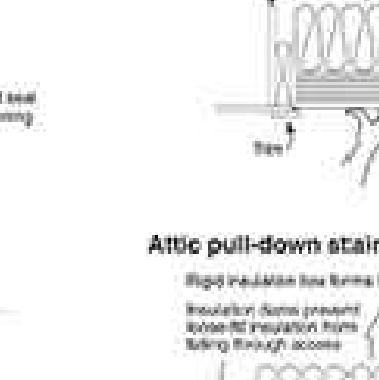


Two-level attic

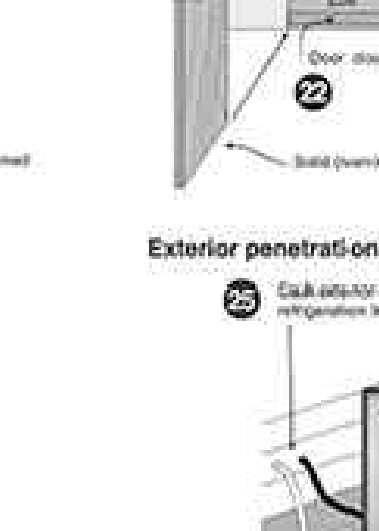


Exterior penetrations

Attic pull-down stairs



Combustion closet



Exterior penetrations

2015 IECC COMPLIANCE NOTES

- METHOD OF COMPLIANCE:
- PROJECT SHALL COMPLY w/ THE 2015 IECC RESIDENTIAL PROVISIONS AND THE 2015 IRC, CHAPTER 11
 - ALL MANDATORY REQUIREMENTS IN IECC SECTIONS R401 THROUGH R404 AND IRC SECTIONS N1101.14 THROUGH N1104 SHALL BE MET
 - COMPLIANCE SHALL BE SHOWN USING METHOD 1 PRESCRIPTIVE, IECC SECTION R401 THROUGH R404 AND IRC SECTION N110.14 THROUGH N1104
 - THE ENERGY COMPLIANCE SUBMITTAL SHALL INCLUDE:
 - METHOD OF COMPLIANCE: PRESCRIPTIVE
 - FOR BUILDING PLANS AND SECTIONS SHOWING THE BUILDING THERMAL ENVELOPE, RE: A.09
 - SEE ADJACENT NOTES SHOWING INSULATION VALUES
 - SEE PLAN AND WALL SECTION DETAIL KEY NOTES AND WALL ASSEMBLIES FOR MATERIALS
 - SEE ADJACENT NOTES SHOWING FENESTRATION VALUES
 - SEE ADJACENT AIR SEALING DETAILS
 - SEE ATTACHED ACCA MANUAL J CALCULATIONS
 - FOR HVAC EQUIPMENT SIZING AND INFORMATION.
 - RESIDENTIAL ENERGY EFFICIENCY CERTIFICATE OF COMPLIANCE AS REQUIRED IN IECC SECTION R401.3 AND IRC SECTION N1101.14, A PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE BUILDER AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED. THE CERTIFICATE MUST BE POSTED BY THE TIME OF THE PROJECT'S FINAL INSPECTION AND SHALL USE THE INCLUDED ENERGY COMPLIANCE CERTIFICATE FOR POSTING.

PLEASE NOTE: IN ADDITION TO THE AIR SEALING DETAILS SHOWN ON SHEET A0.8, THE FOLLOWING CONSTRUCTION METHODS SHALL BE PROVIDED WHERE APPLICABLE TO COMPLY w/ THE REQUIREMENTS OF IECC R402.1.1 AND R402.2.1:

- 2 OR 3 STUD INSULATED CORNERS
- LADDER BLOCKING WHERE INTERIOR WALLS MEET EXTERIOR WALLS TO FULLY INSULATE THEM
- INSULATED HEADERS
- SEALING THE DRYWALL TO THE TOP PLATE ADJACENT TO THE VENTILATED ATTIC
- RAFTER FRAMING AND BLOCKING TO ENSURE THAT INSULATION CAN FULLY COVER THE TOP PLATE

INSULATION AND FENESTRATION COMPONENTS TO COMPLY WITH N1102.1.2				
TABLE BELOW FROM 2015 IECC TABLE R402.1.2 (AS AMENDED BY CITY OF ASPEN ORDINANCE 4.0, 2016)				
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE
7	0.28	0.55	NR	4.9
WOOD FRAMED WALL R-VALUE MASS WALL R-VALUE FLOOR R-VALUE BASEMENT WALL R-VALUE				
20-5 OR 13-10	19/21	38 OR R-19 MIN.	15/19	
SLAB R-VALUE & DEPTH CRAWL SPACE WALL R-VALUE				
10, 4 FT	15/19			

AIR BARRIER & INSULATION INSTALLATION

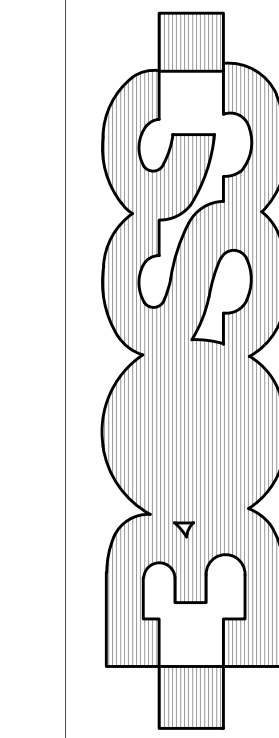
THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE SHALL BE INSTALLED IN ACCORDANCE w/ THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN IECC TABLE R402.4.1, AS ENUMERATED BELOW, WHETHER OR NOT INDICATED ON THE DRAWINGS:

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING/ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED w/ THE INSULATION & ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED w/ THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION & SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE & THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITHIN CORNERS & HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY w/ A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT & CONTINUOUS ALIGNMENT w/ THE AIR BARRIER.
WINDOWS, SKYLIGHTS, & DOORS	THE SPACE BETWEEN WINDOW/DOOR JAMBS & FRAMING, & SKYLIGHTS & FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED. 2" CLOSED CELL SPRAY FOAM @ R12 BATT
FLOORS (INCLUDING CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT w/ THE UNDERSIDE OF SUBFLOOR (DECKING, OR FLOOR FRAMING CAVITY INSULATIONS SHALL BE PERMITTED TO BE IN CONTACT w/ THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING & EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED w/ A CLASS I VAPOR RETARDER w/ OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, & FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.	
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE & CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT & IC RATED.
PLUMBING & WIRING	BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING & PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING & WIRING.	
SHOWER/TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS & TUBS SHALL SEPARATE THEM FROM THE SHOWERS & TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS & TUBS SHALL BE INSULATED
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	HVAC REGISTER BOOTS THAT PENETRATE THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES &	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER

2021 IECC COMPLIANCE NOTES

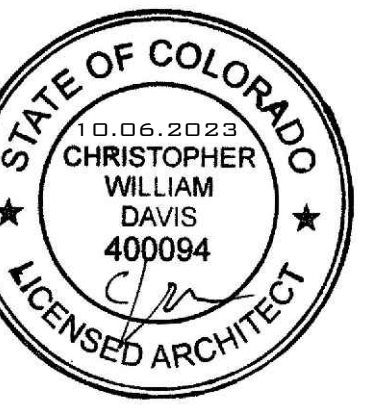
INSULATION & R-VALUES			
CEILING / ROOF	R-60 MIN.	9" CLOSED CELL SPRAY FOAM @ R-6.7/IN. = R-60.3 TOTAL INSULATION R VALUE: 60.3	
EXTERIOR WOOD FRAME WALLS	R-30 MIN. R-20-5ci R-13-10ci R-0-20ci	1.25" ROCKWOOL COMFORTBOARD 80, (CONTINUOUS EXTERIOR INSUL.) = @ R-4.2/IN. = R-5.25 w/ DENSE PACKED CELLULOSE CAVITY INSULATION. FULL HEIGHT OF WALL, TYP. 5.5" CAVITY DEPTH @ R-4/IN = R-22 w/ CLASS II VAPOR RETARDER ON INTERIOR SIDE OF WALL TO COMPLY WITH R702.7, TOTAL INSULATION R VALUE: R-27.25	
BASEMENT WALLS	R-19 MIN. R-0-15ci R-13-5ci	R19 (5.5" THICK) BATT INSULATION	
SLAB	R-0-10ci MIN.	2" RIGID INSULATION UNDER SLABS ON GRADE OR LESS THAN 48" BELOW GRADE 1" RIGID INSULATION PROVIDED AT ALL OTHER SLABS	
FENESTRATION U VALUES			
WINDOWS	U-.30	PELLA ARCHITECT SERIES CONTEMPORARY ALUMINUM CLAD WOOD WINDOWS & DOORS, DUAL-PANE INSULATED GLAZING, SUN DEFENSE LOW-E IG, PEL-N-30-13230-00002	
MULTI-SLIDE WINDOW	U-.30	PELLA ARCHITECT SERIES CONTEMPORARY ALUMINUM CLAD WOOD MULTI-SLIDE, DUAL PANE INSULATED GLAZING, ADVANCEDCOMFORT LOW-E IG, PEL-N-250-00524-00001	
DOORS (PATIO)	U-.30	PELLA ARCHITECT SERIES CONTEMPORARY ALUMINUM CLAD WOOD SWING DOOR, DUAL-PANE GLAZING, E LOW-E IG, PEL-N-212-02765-00001	
SKYLIGHTS SKYLIGHTS	U-.55 U-.55	VELUX FCM SKYLIGHT, TEMPERED OVER HEAT LAMINATED HEAT STRENGTHENED 0.02 L6E3, ARGON FILLED IGI DALTYE DOME, FIBERGLASS SELF FLASHING CURB, CR-96, DOUBLE BRONZE OVER CLEAR ACRYLIC GLAZING	

- ALL HVAC DUCTWORK IS LOCATED WITHIN THE THERMAL ENVELOPE AND THEREFORE DOES NOT REQUIRE INSULATION
- ALL INTERIOR PARTITION WALLS SHALL BE FILLED w/ ACOUSTIC BATT INSULATION (TYP.)
- ALL FLOOR / CEILING CAVITIES SHALL BE FILLED w/ ACOUSTIC BATT INSULATION (TYP.)
- ALL FRAME WALLS TO RECEIVE CLASS I VAPOR RETARDER ON INTERIOR SIDE TO COMPLY WITH R702.7
- IN ADDITION TO SECTION N1102.1, INSULATION FOR ENVELOPE ASSEMBLIES SHALL COMPLY WITH SECTIONS N1102.2.1 THROUGH N1102.2.13 AS REQUIRED FOR EACH INDIVIDUAL ENVELOPE ASSEMBLY TYPE.
- IN ADDITION TO SECTION N1102.1 FENESTRATION SHALL COMPLY WITH SECTIONS N1102.3.1 THROUGH N1102.3.5
- PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE CONTROLLED WITH EITHER A DIMMER, AN OCCUPANT SENSOR CONTROL OR OTHER CONTROL THAT IS INSTALLED ON THE FIXTURE
- LIGHTING CONTROL SHALL NOT BE REQUIRED FOR THE FOLLOWING: BATHROOMS, HALLWAYS, EXTERIOR LIGHTING FIXTURES, LIGHTING FOR SAFETY WHERE TOTAL PERMANENTLY INSTALLED EXTERIOR LIGHTING POWER IS GREATER THAN 30 WATTS, THE PERMANENTLY INSTALLED EXTERIOR LIGHTING SHALL COMPLY WITH THE FOLLOWING
- LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH WHICH PERMITS AUTOMATIC SHUT-OFF ACTIONS.
- LIGHTING SHALL BE AUTOMATICALLY SHUT OFF WHEN DAYLIGHT IS PRESENT AND SATISFIES THE LIGHTING NEEDS
- CONTROLS THAT OVERRIDE AUTOMATIC SHUT-OFF ACTIONS SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY RETURNS AUTOMATIC CONTROL TO ITS NORMAL OPERATION WITHIN 24 HOURS.



TWO.ELK
ARCHITECTURE
3300 E 17TH AVE
DENVER, COLORADO 80206 USA

CHRISTOPHER DAVIS
KEVIN STEPHENSON
LICENSED ARCHITECT
OWNERS:
ADAM AND LAINE MINNICK
LOCATION:
1010 TWO ELK LANE
MINTURN, COLORADO 81645

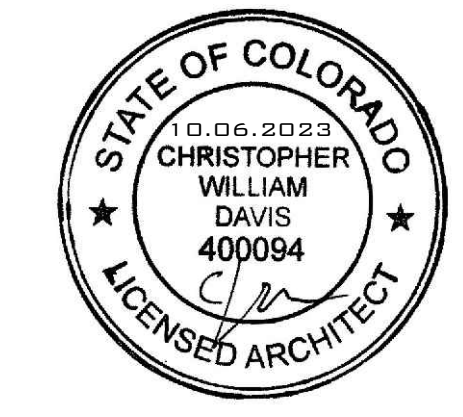
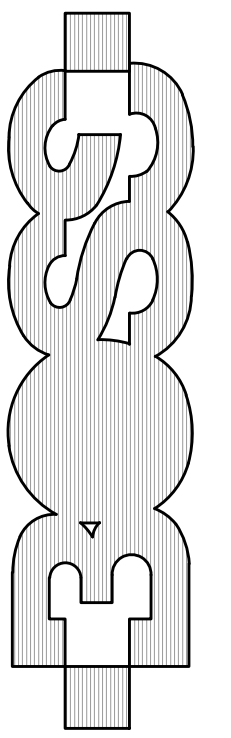


2023 DESIGN REVIEW

GENERAL NOTES
AND ASSEMBLIES

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303.377.6326
WWW.TWOELKARCHITECTURE.COM

CHRISTOPHER DAVIS
KEVIN STEPHENSON
A COMPANY OF BOSS ARCHITECTURE, LLC
BOSS ARCHITECTURE, LLC



OWNER:
ADAM AND LAINIE MINNICK
LOCATION:
1010 TWO ELK LANE
MINTURN, COLORADO 81645

2023 DESIGN REVIEW

VICINITY MAP

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 3300 E 17TH AVE
 DENVER, COLORADO 80206 USA
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VICINITY MAP



GARY R. GILMAN
JULIE M. STOXEN
PO BOX 1550
VAIL, CO 81658

PARCEL #210336310001
JOHN & CAROLINE OSBORNE
3454 NEWARK ST NW
WASHINGTON DC 20016

PARCEL #210336310006
JOHN & CAROLINE OSBORNE
3454 NEWARK ST NW
WASHINGTON DC 20016

EAGLE RIVER

PARCEL #210336310003
1010 TWO ELK LANE
MINTURN, CO 81645

PARCEL #210336310005
ADAM & ELENI MINNICK
452 LEYDEN ST
DENVER CO 80220

HIGHWAY 24

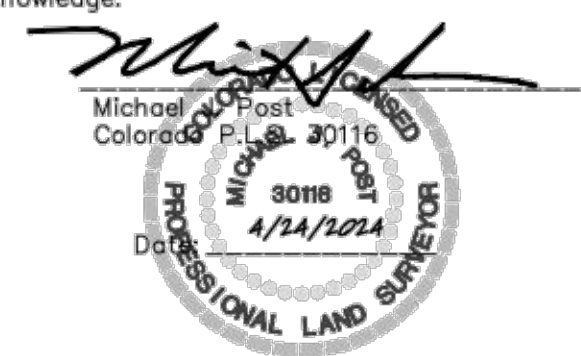
CROSS CREEK

CROSS CREEK ROAD

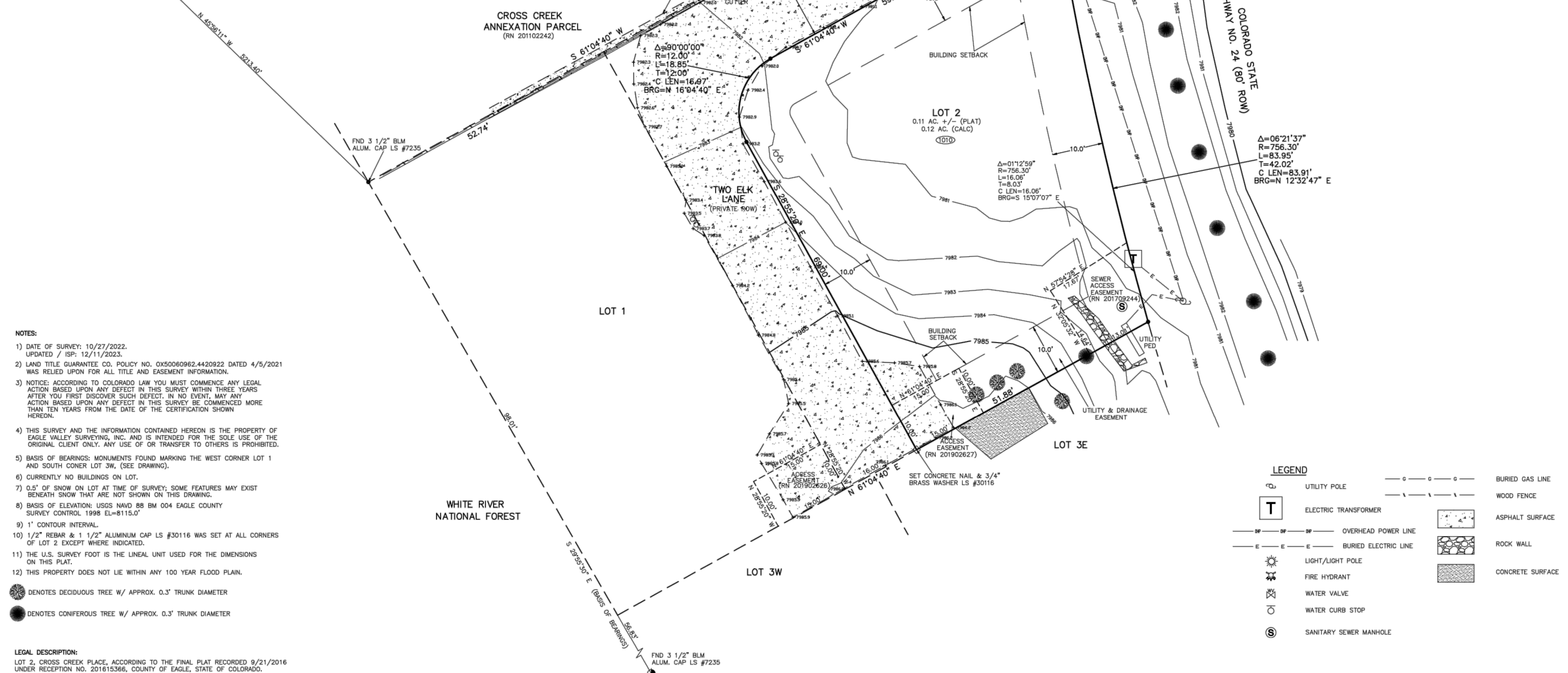
SURVEYORS CERTIFICATE:
 Certified to: ADAM & ELINI MINNICK 452 LEYDEN ST., DENVER CO. 80220-5954
 I, Michael J. Post, a registered Professional Land Surveyor in the State of Colorado, do hereby certify that on 12/9/2023 this Improvement Survey Plat was performed under my supervision and that dimensions accurately represent said survey.



SURVEYOR'S CERTIFICATE:
 I, Michael J. Post, a Professional Land Surveyor registered under the laws of the State of Colorado, do hereby certify that this topographic survey was made by me and under my supervision, and that the survey is accurate and correct to the best of my knowledge.



USGS NAVD 88 BM S-280
 EL=7894.20'



- NOTES:**
- DATE OF SURVEY: 10/27/2022. UPDATED / ISP: 12/11/2023.
 - LAND TITLE GUARANTEE CO. POLICY NO. OX5006982.4420922 DATED 4/5/2021 WAS RELIED UPON FOR ALL TITLE AND EASEMENT INFORMATION.
 - NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
 - THIS SURVEY AND THE INFORMATION CONTAINED HEREON IS THE PROPERTY OF EAGLE VALLEY SURVEYING, INC. AND IS INTENDED FOR THE SOLE USE OF THE ORIGINAL CLIENT ONLY. ANY USE OF OR TRANSFER TO OTHERS IS PROHIBITED.
 - BASIS OF BEARINGS: MONUMENTS FOUND MARKING THE WEST CORNER LOT 1 AND SOUTH CORNER LOT 3W. (SEE DRAWING).
 - CURRENTLY NO BUILDINGS ON LOT.
 - 0.5' OF SNOW ON LOT AT TIME OF SURVEY; SOME FEATURES MAY EXIST BENEATH SNOW THAT ARE NOT SHOWN ON THIS DRAWING.
 - BASIS OF ELEVATION: USGS NAVD 88 BM 004 EAGLE COUNTY SURVEY CONTROL 1988 EL=8115.0'
 - 1' CONTOUR INTERVAL.
 - 1/2" REBAR & 1 1/2" ALUMINUM CAP LS #30116 WAS SET AT ALL CORNERS OF LOT 2 EXCEPT WHERE INDICATED.
 - THE U.S. SURVEY FOOT IS THE LINEAL UNIT USED FOR THE DIMENSIONS ON THIS PLAT.
 - THIS PROPERTY DOES NOT LIE WITHIN ANY 100 YEAR FLOOD PLAIN.
- DENOTES DECIDUOUS TREE W/ APPROX. 0.3" TRUNK DIAMETER
 DENOTES CONIFEROUS TREE W/ APPROX. 0.3" TRUNK DIAMETER

LEGAL DESCRIPTION:
 LOT 2, CROSS CREEK PLACE, ACCORDING TO THE FINAL PLAT RECORDED 9/21/2016 UNDER RECEPTION NO. 201615386, COUNTY OF EAGLE, STATE OF COLORADO.

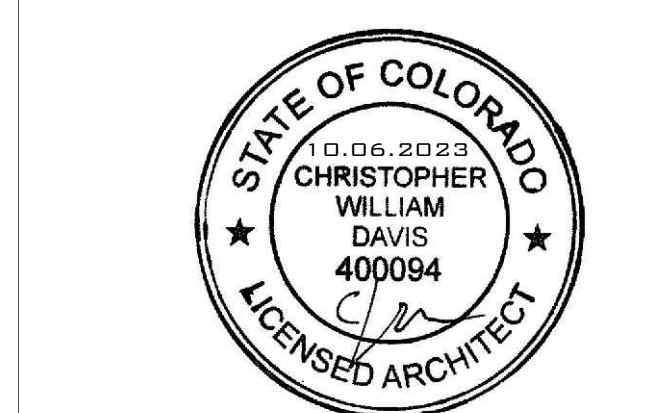
EAGLE VALLEY SURVEYING, INC.
 41199 HIGHWAY 6 & 24, EAGLE-VALE
 P.O. BOX 1230
 EDWARDS, CO. 81632
 (970)948-1406

3518-T-ISP-L2-2023-24 DATE: 3/2024
 DRN. BY: M. POST PAGE: 1 OF 1

TOPOGRAPHIC SURVEY
 IMPROVEMENT SURVEY PLAT
 LOT 2, CROSS CREEK PLACE
 TOWN OF MINTURN, EAGLE COUNTY, COLORADO
 JOB No. 3518



Section 8, Item A
CHRISTOPHER DAVIS
KEVIN STEPHENSON
 ARCHITECTS
 3008 1/2 W. 17TH AVE.
 DENVER, CO 80202

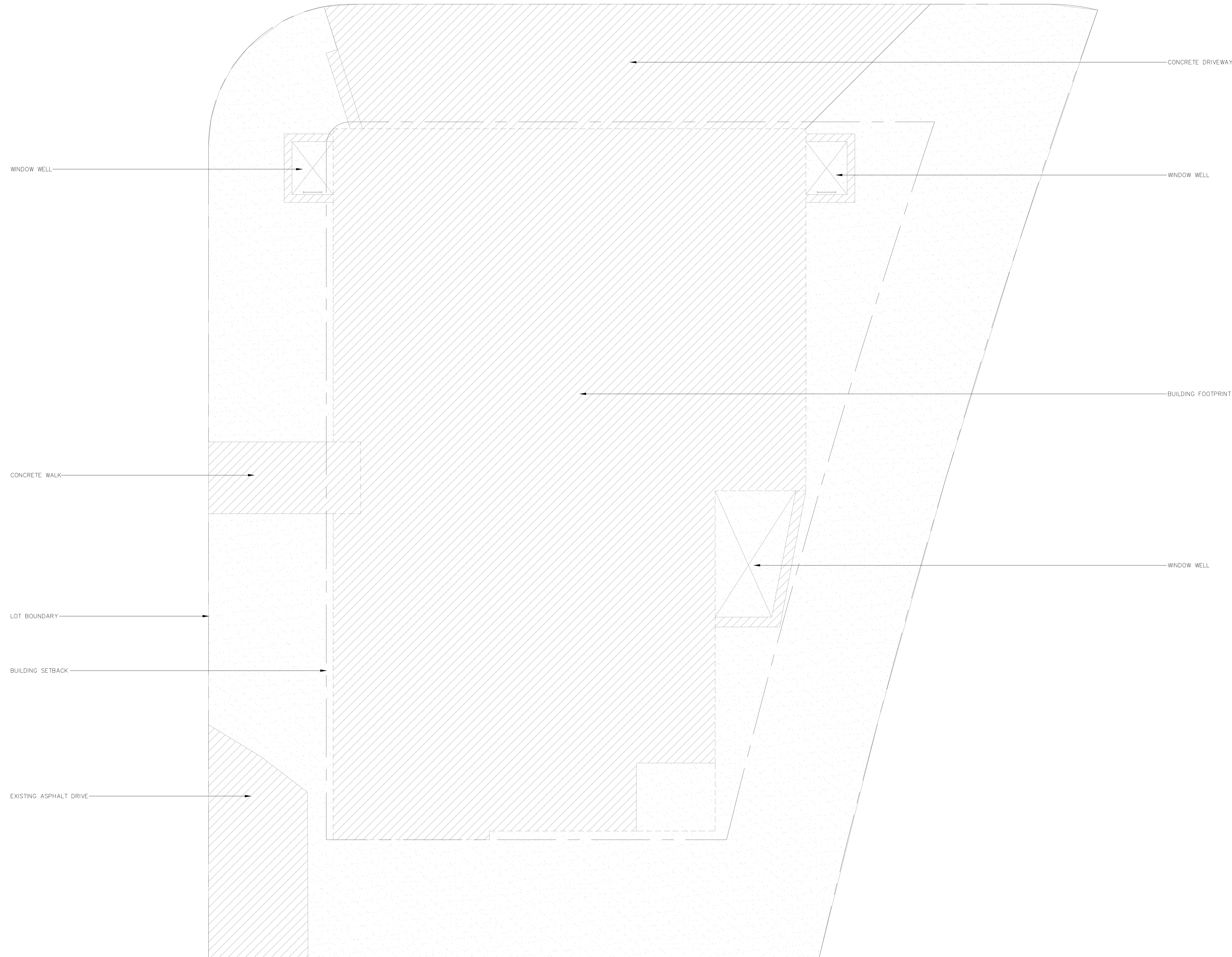


OWNER:
 ADAM AND LAINIE MINNICK
 LOCATION:
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 2024 (REVISION.02)

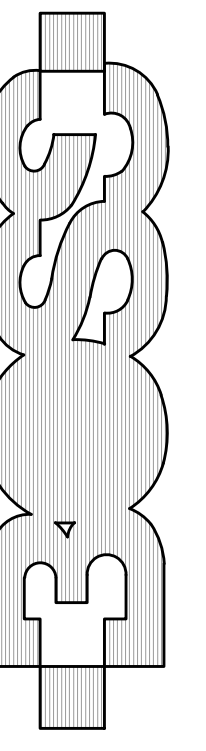
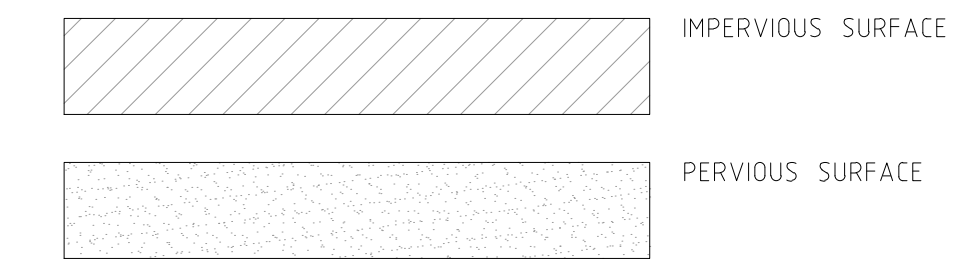
SURVEY

TWO-ELK ARCHITECTURE
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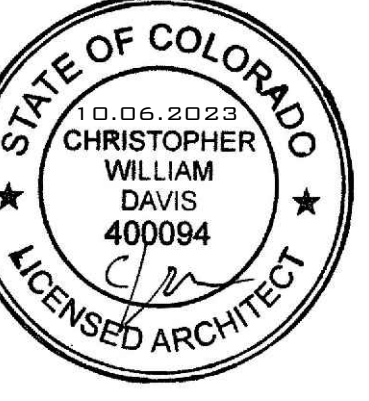


LOT COVERAGE, SQ. FT.	
LOT COVERAGE	
LOT SIZE	5,068 SF (.11 ACRES)
ALLOWABLE	2,534 SF (50%)
PROPOSED	2,355 SF (46%)
IMPERVIOUS	
ALLOWABLE	3,040.8 SF (60%)
PROPOSED	
BUILDING	2,218.57 SF
SITE ELEMENTS	701.1 SF
TOTAL	2,919.67 SF (57.6%)
PERVIOUS	
ALLOWABLE	NO MAX
PROPOSED	2,205.9 SF (43%)

PLAN MATERIALS



Section 8, Item A
 •CHRISTOPHER DAVIS
 •KEVIN STEPHENSON
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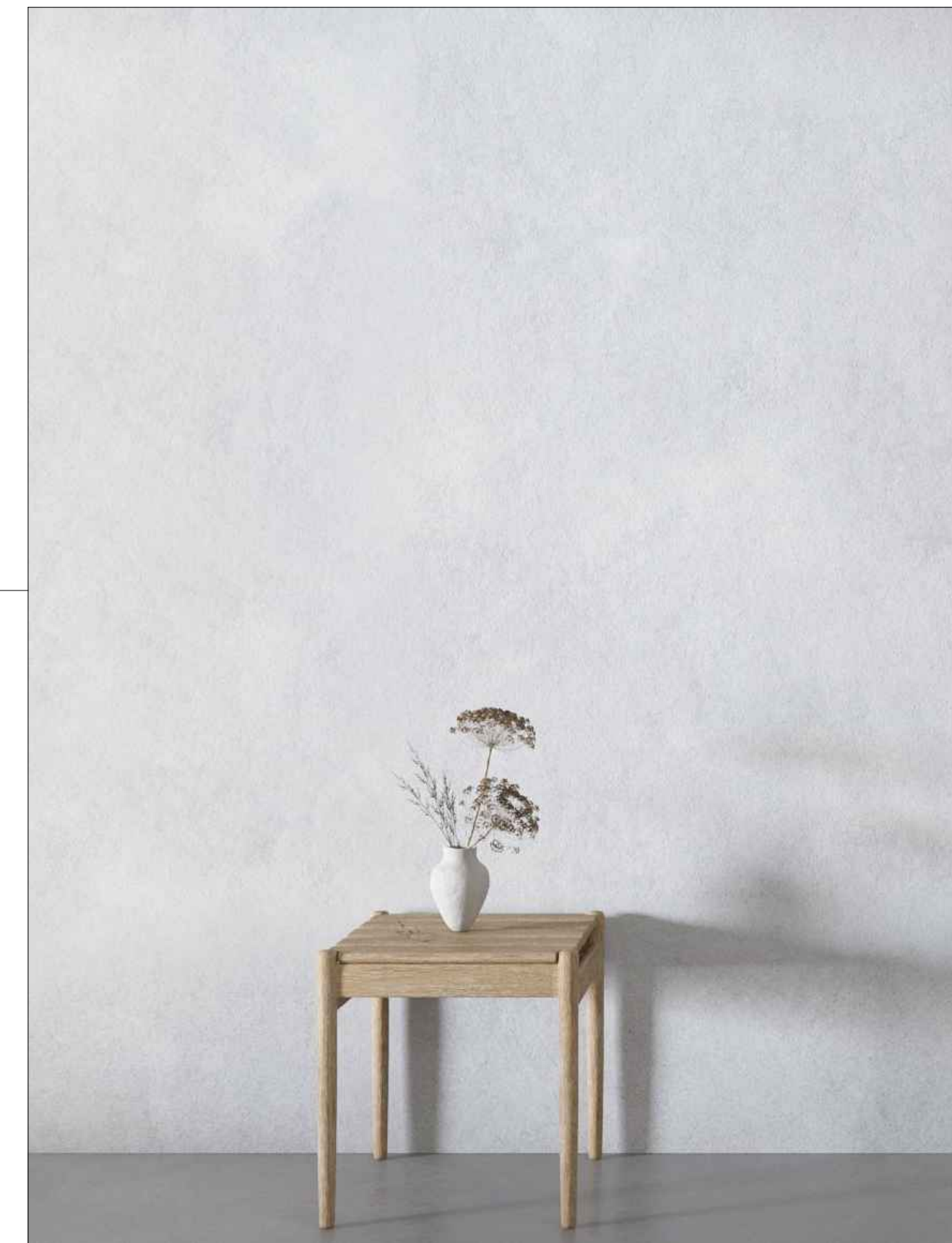
|| 2023 DESIGN REVIEW

LOT COVERAGE DIAGRAM

TWO ELK
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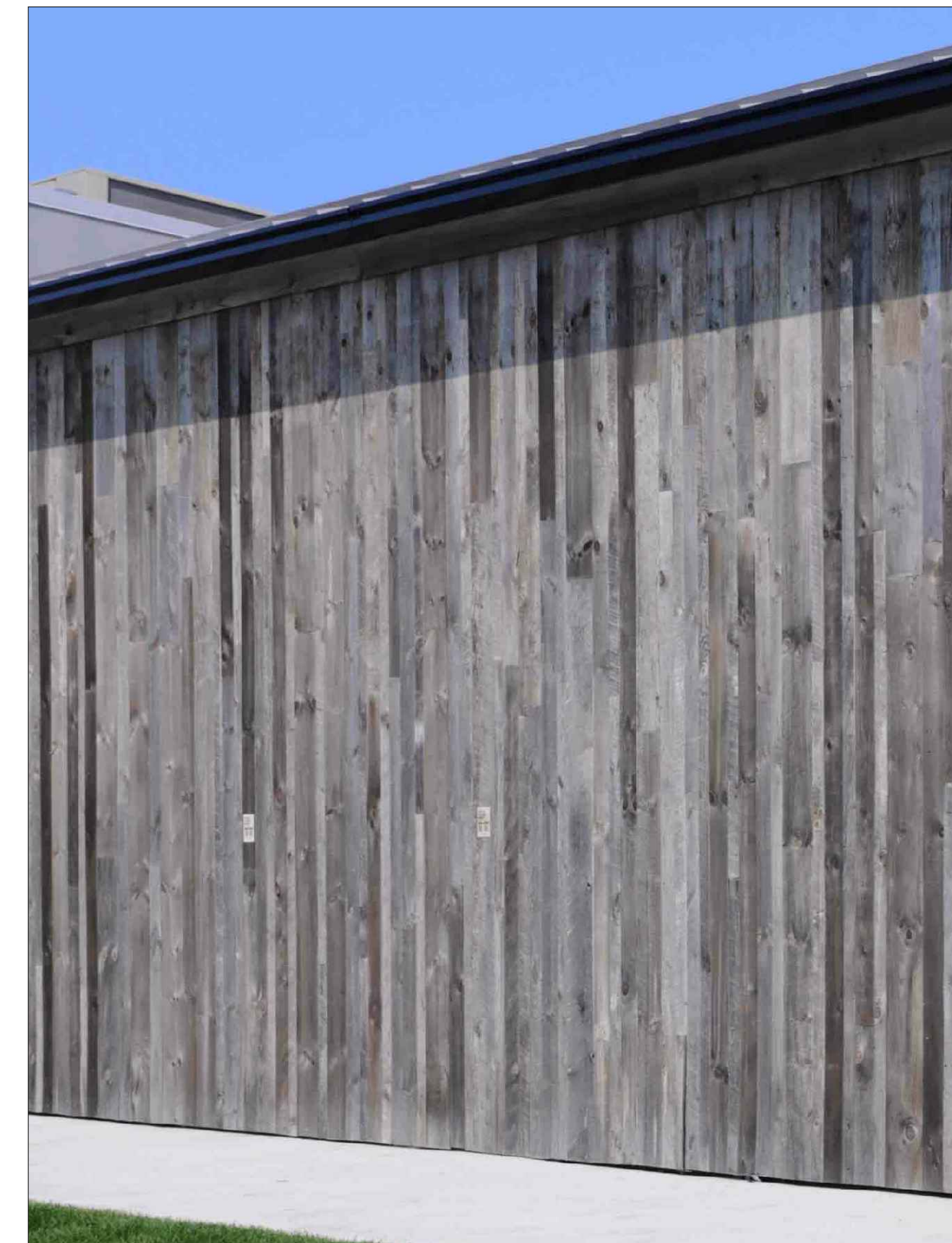
BLACKENED STEEL.
TO BE USED AT GARAGE DOOR, FLASHING,
MULLION CAPS, AND COLUMNS.



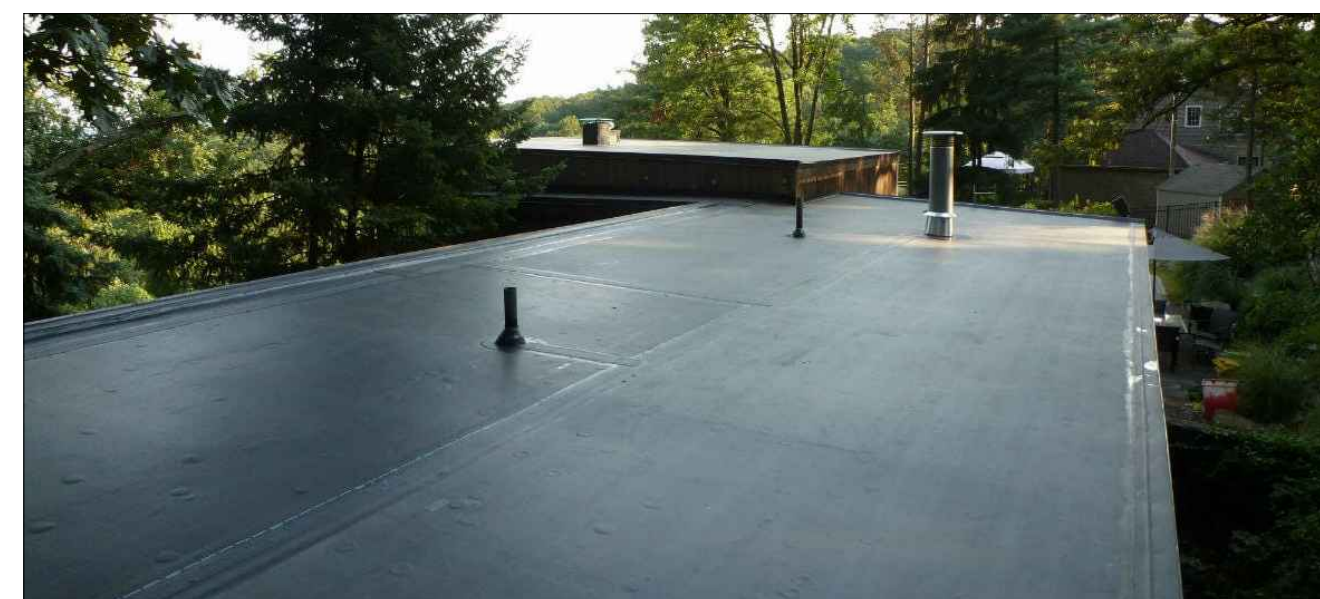
PLASTER WALLS.
TO BE USED AT INTERIOR ON ALL FRAMED WALLS



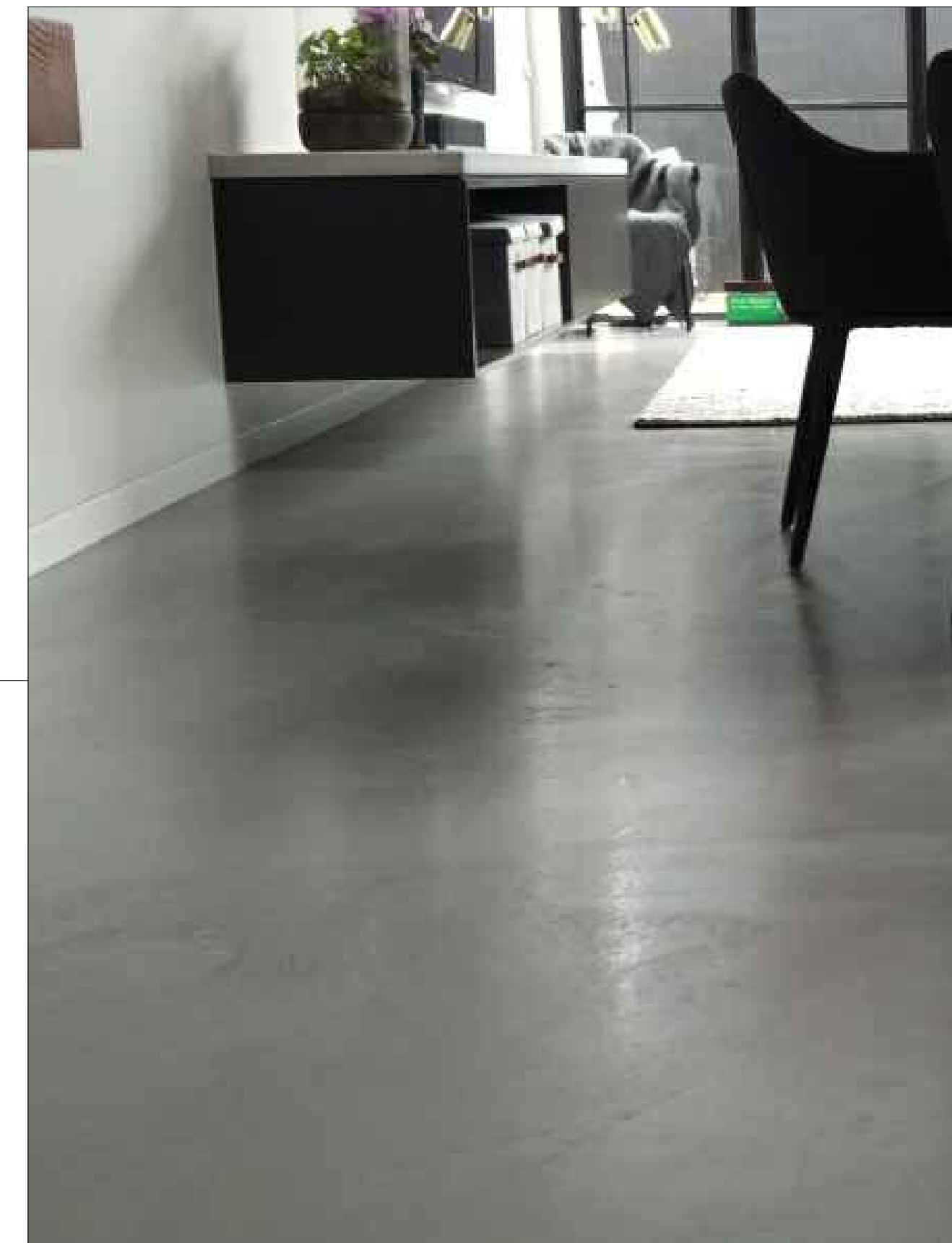
HEAVY TIMBERS WITH STEEL PLATES AND BOLTS



RECLAIMED BARNWOOD SIDING, ALLOWED TO
AGE AND WEATHER NATURALLY.
TO BE USED AT ALL EXTERIOR FRAMED
WALLS.



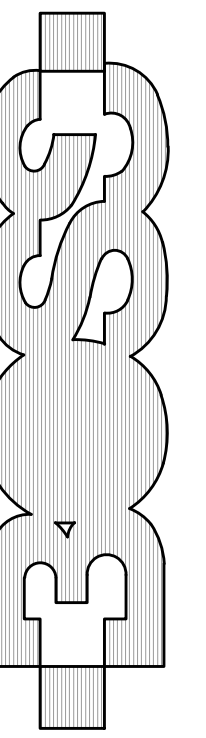
ROOF MATERIAL
BLACK EPDM ROOFING MEMBRANE
ON ALL ROOFS



BURNISHED CONCRETE FLOORING.
TO BE USED ON ALL FLOORS AS FINISH
MATERIAL.



NATIVE LANDSCAPE.
NATIVE GRASS SEED MIX
AND GRANITE BOULDERS FOUND DURING EXCAVATION
TO BE USED AS LANDSCAPE ELEMENTS.



Section 8, Item A
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KEVIN STEPHENSON
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LOCATION:
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|| 2023 DESIGN REVIEW

MATERIAL PALETTE

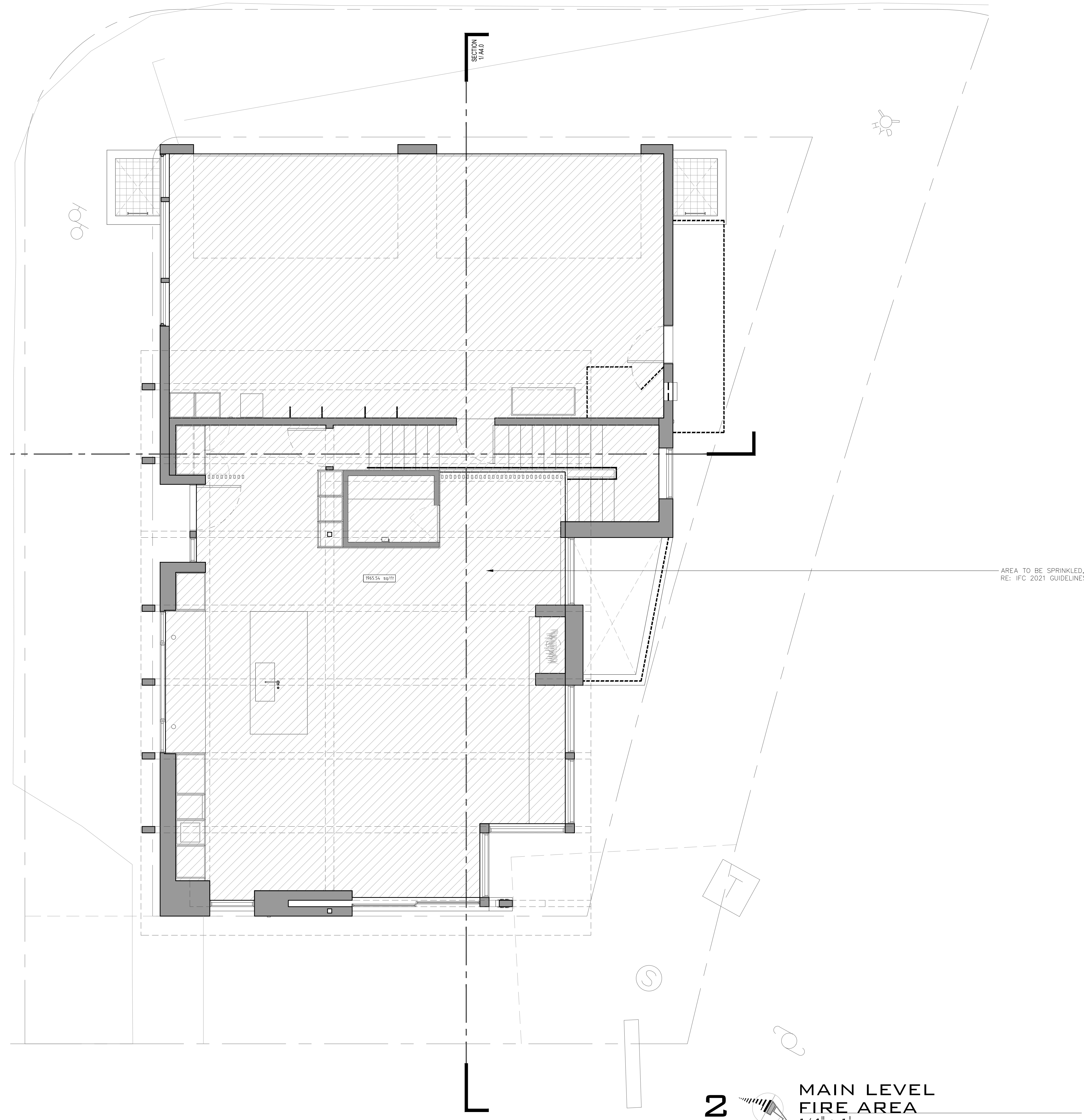
TWO · ELK

BOSS
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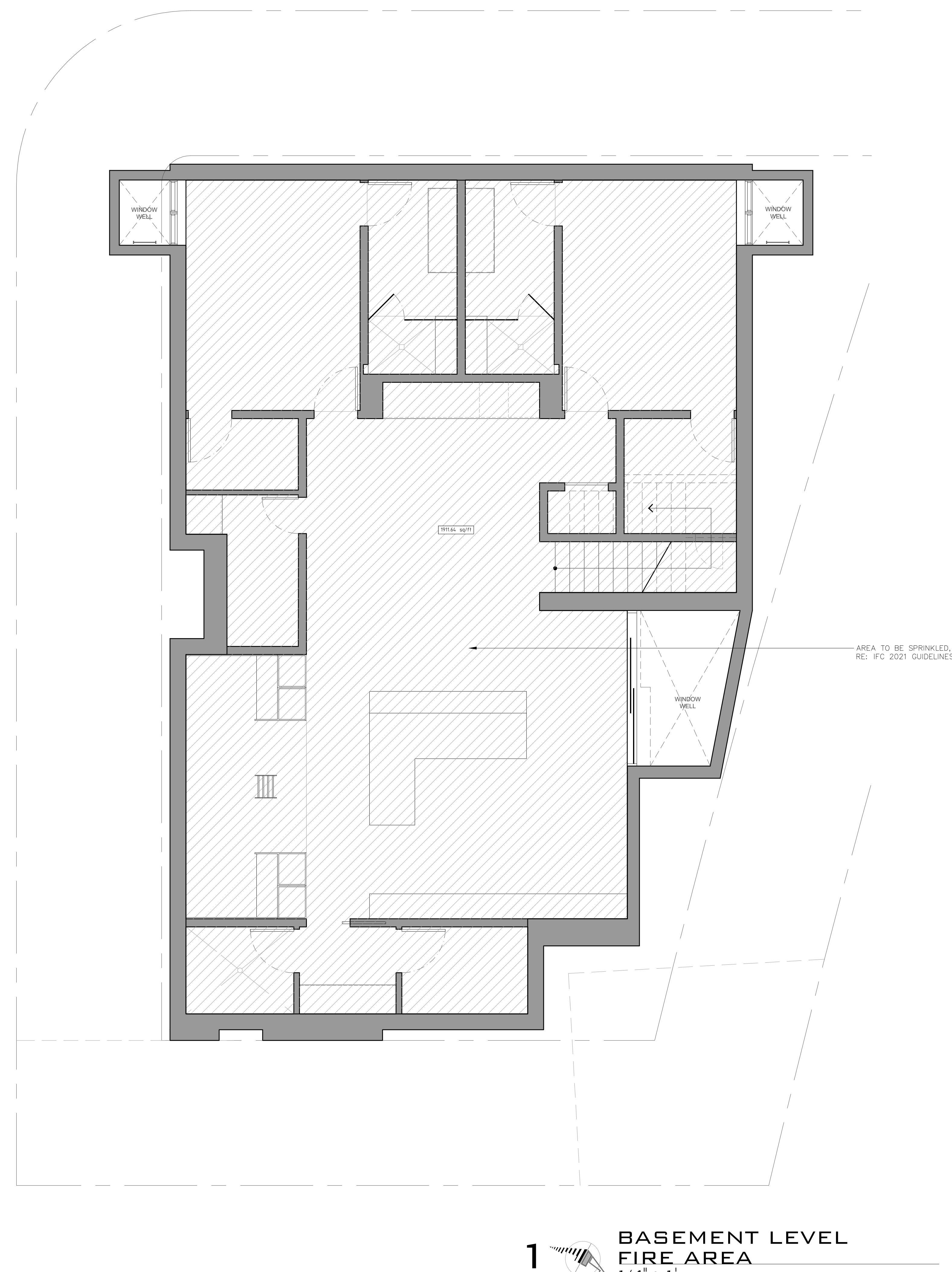
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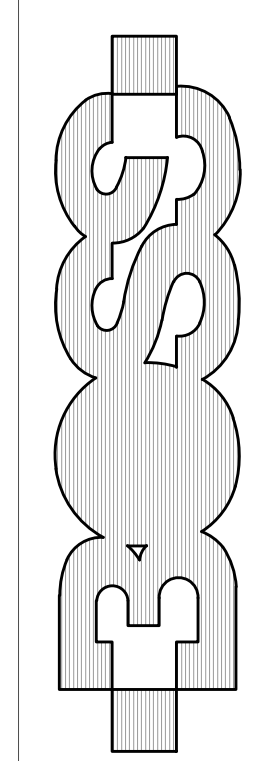
MATERIAL PALETTE
NOT TO SCALE



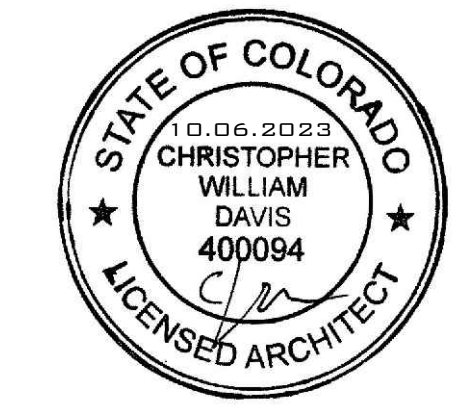
2 MAIN LEVEL
FIRE AREA
1/4" = 1'



1 BASEMENT LEVEL
FIRE AREA
1/4" = 1'



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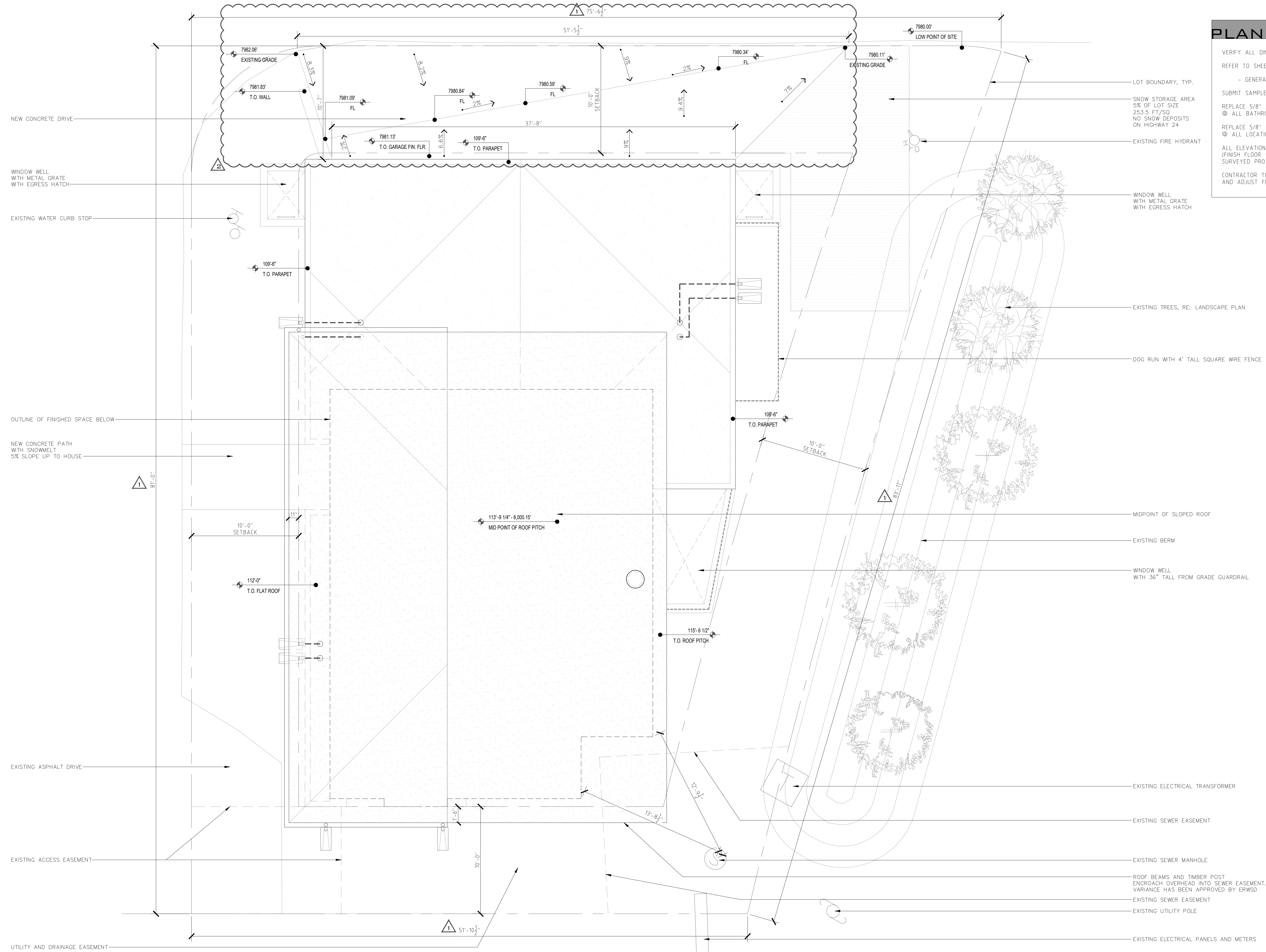


OWNER:
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 LOCATION:
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FIRE PROTECTION PLAN



PLAN NOTES

VERIFY ALL DIMENSIONS IN FIELD.

REFER TO SHEET A0.1 FOR THE FOLLOWING INFORMATION:

- GENERAL NOTES

SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

REPLACE 5/8" GYP. BD. WITH 5/8" "GREEN BOARD"
 @ ALL BATHROOMS & WET LOCATIONS, (NOT TO RECEIVE TILE).

REPLACE 5/8" GYP. BD. WITH 5/8" "CEMENTITIOUS TILE BACKER BOARD"
 @ ALL LOCATIONS TO RECEIVE TILE.

ALL ELEVATIONS ARE RELATIVE TO T.O. FIN FLOOR 100'-0"
 (FINISH FLOOR 100'-0" = 7895.38' RELATIVE TO
 SURVEYED PROJECT BENCHMARK; RECVIL)

CONTRACTOR TO VERIFY ASSEMBLY THICKNESSES,
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2023 DESIGN REVIEW

1 2024 (REVISION.01)

2 2024 (REVISION.02)

MIDPOINT OF SLOPED ROOF

EXISTING BERM

WINDOW WELL WITH 36" TALL FROM GRADE GUARDRAIL

EXISTING ELECTRICAL TRANSFORMER

EXISTING SEWER EASEMENT

EXISTING SEWER MANHOLE

ROOF BEAMS AND TIMBER POST ENCR OACH OVERHEAD INTO SEWER EASEMENT. VARIANCE HAS BEEN APPROVED BY ERWSD.

EXISTING SEWER EASEMENT

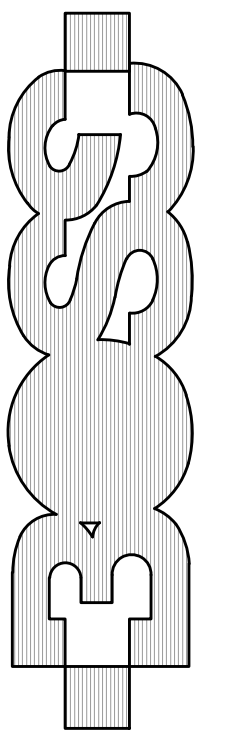
EXISTING UTILITY POLE

EXISTING ELECTRICAL PANELS AND METERS

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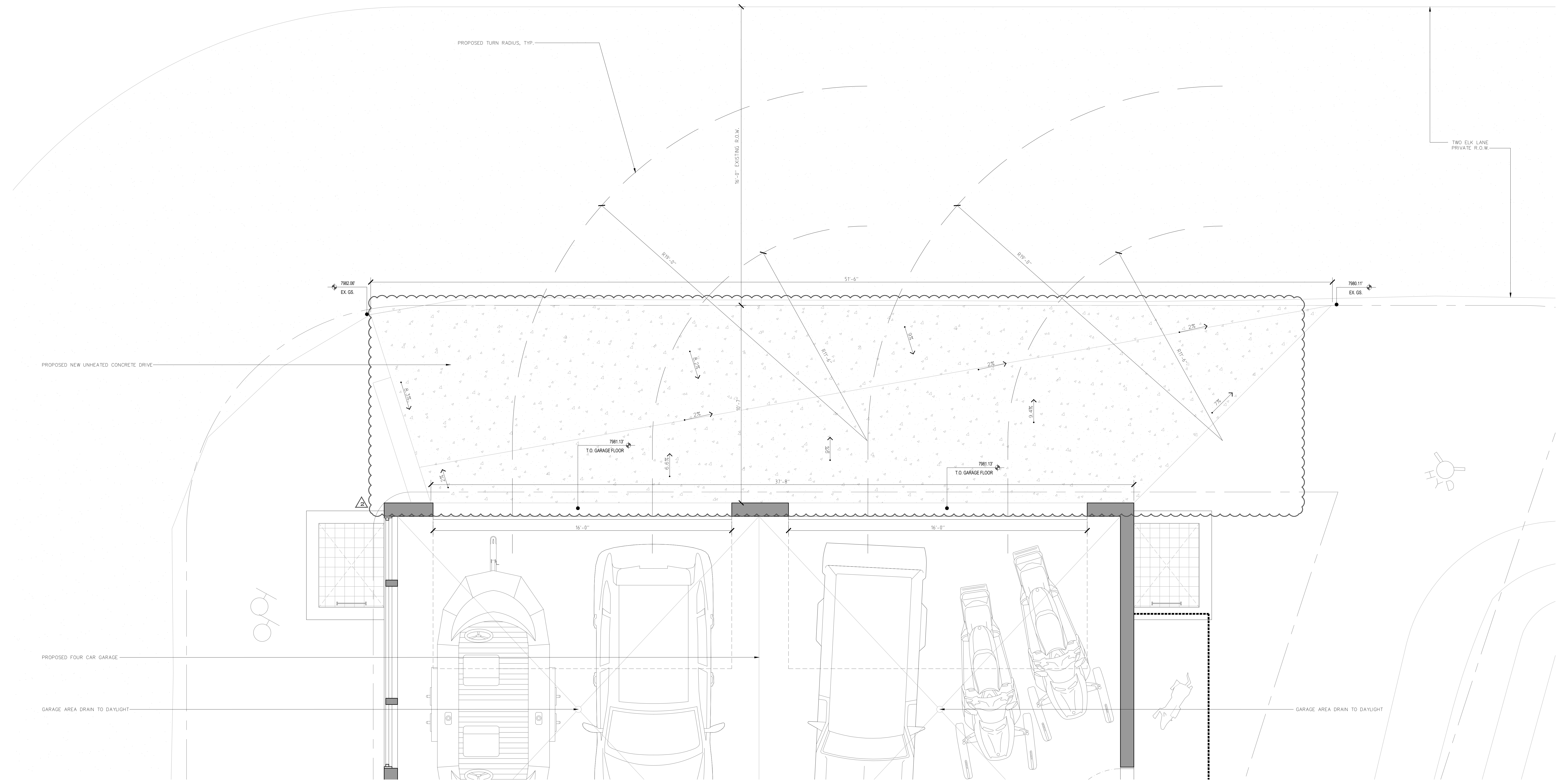


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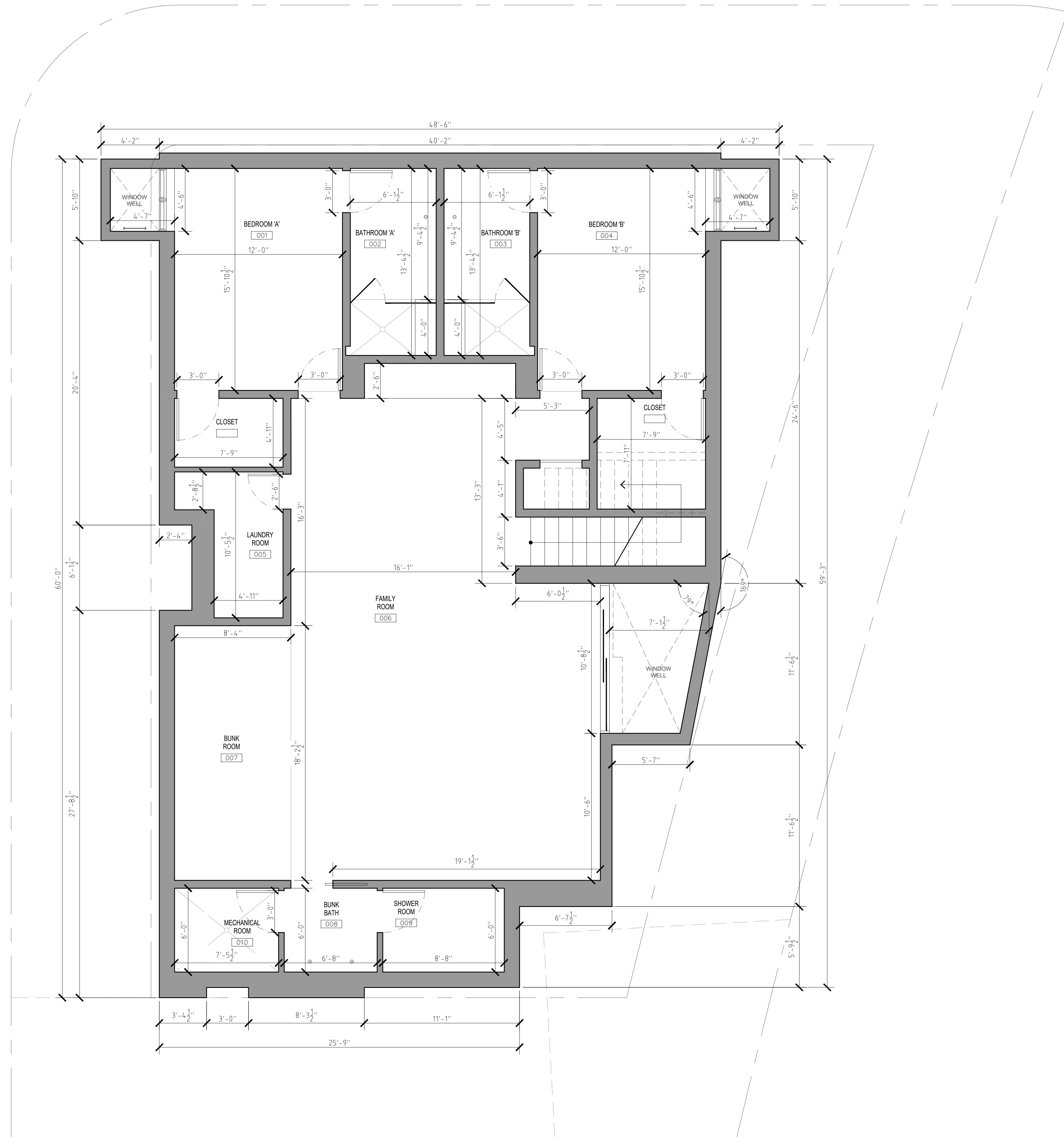
- 2023 DESIGN REVIEW
- 2024 (REVISION.01)
- 2024 (REVISION.02)

DRIVEWAY DIAGRAM

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1 DRIVEWAY AND PARKING DIAGRAM
1/2" = 1'



PLAN NOTES

VERIFY ALL DIMENSIONS IN FIELD.

REFER TO SHEET A0.1 FOR THE FOLLOWING INFORMATION:

- GENERAL NOTES

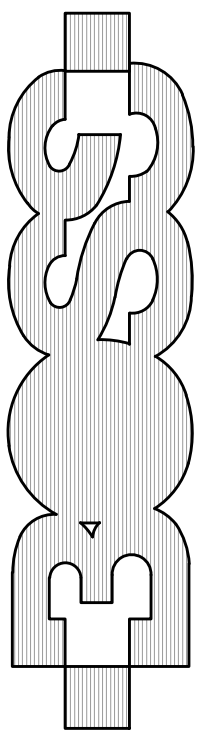
SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

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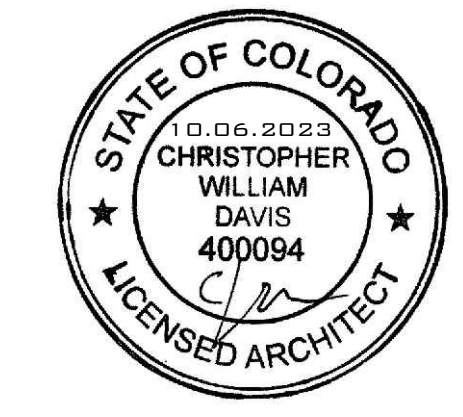
ALL ELEVATIONS ARE RELATIVE TO T.O. FIN FLOOR 100'-0"
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2023 DESIGN REVIEW

BASEMENT LEVEL
 DIMENSIONED PLAN

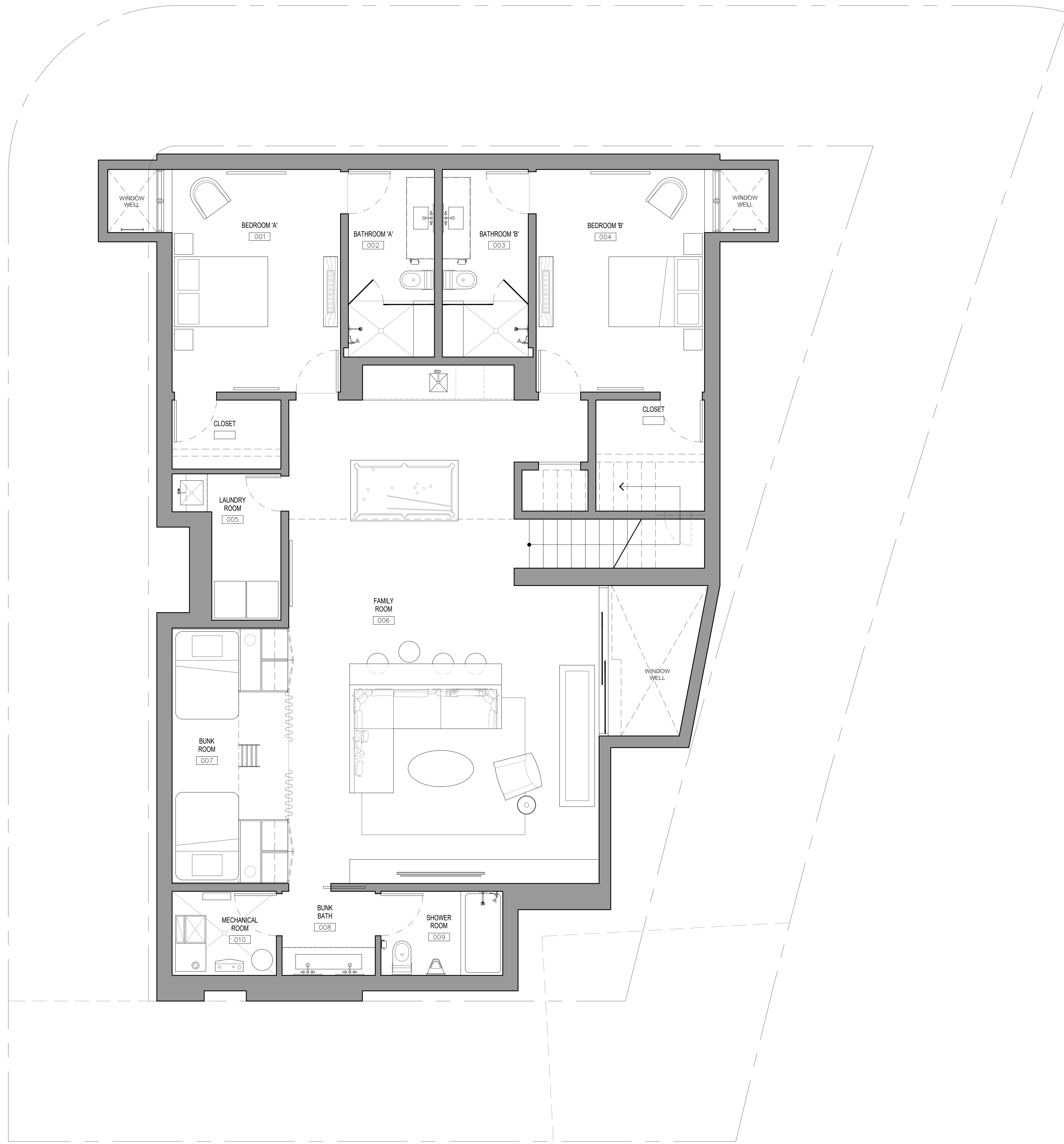
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1 BASEMENT LEVEL
 DIMENSIONED PLAN
 1/4" = 1'



PLAN NOTES

VERIFY ALL DIMENSIONS IN FIELD.

REFER TO SHEET A0.1 FOR THE FOLLOWING INFORMATION:

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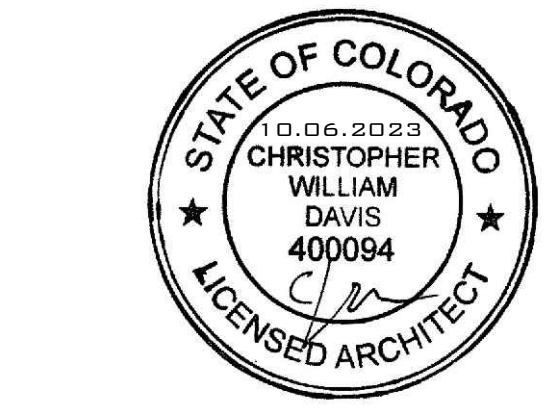
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2023 DESIGN REVIEW

BASEMENT LEVEL
 FINISH PLAN

1 BASEMENT LEVEL
 FINISH PLAN
 1/4" = 1'

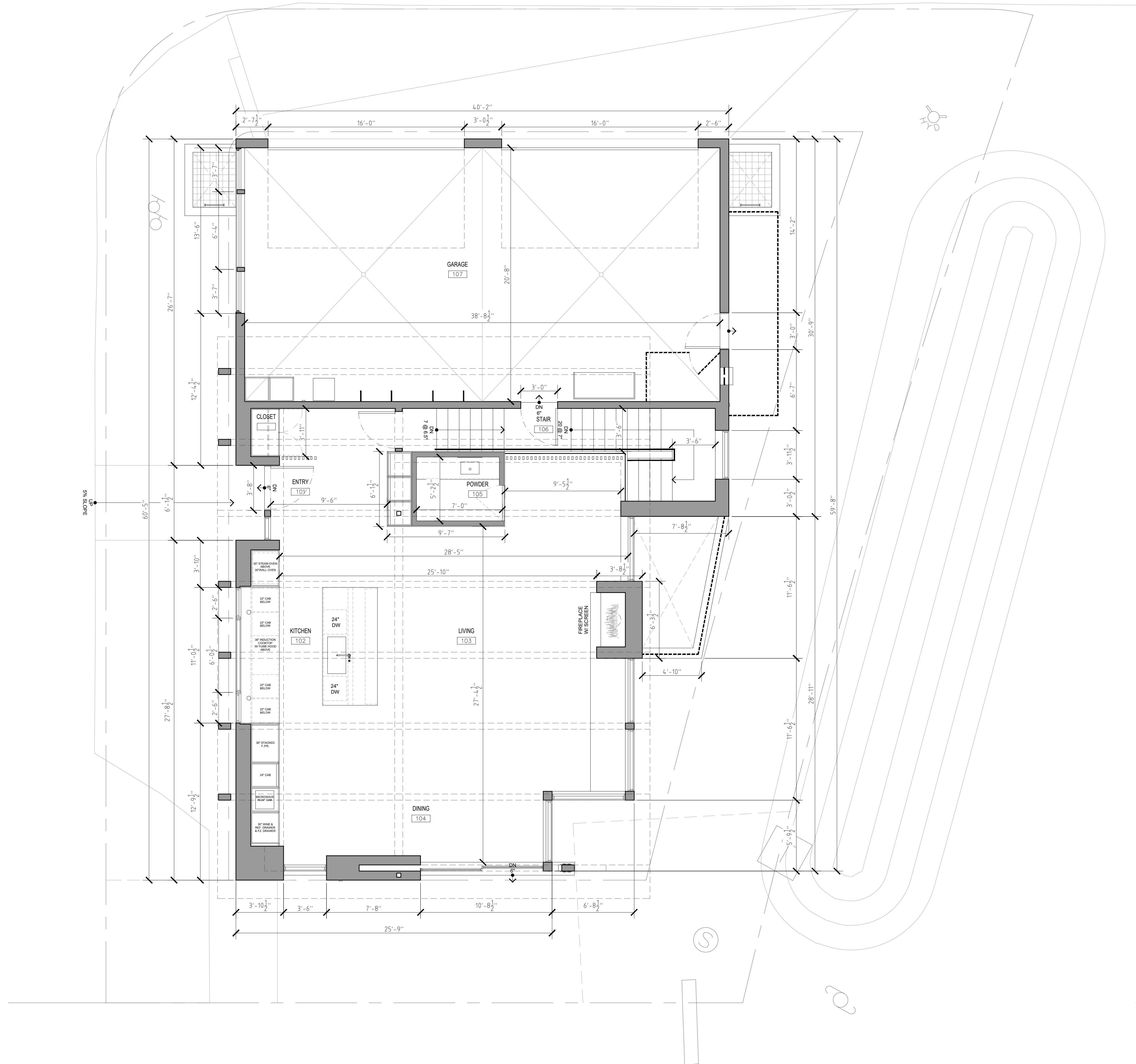
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PLAN NOTES

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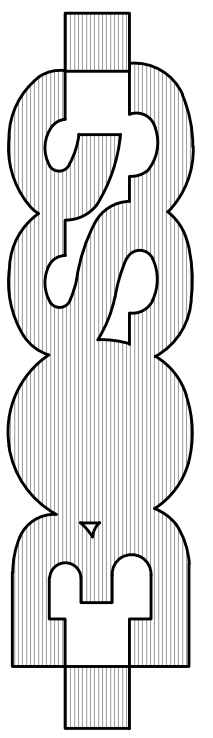
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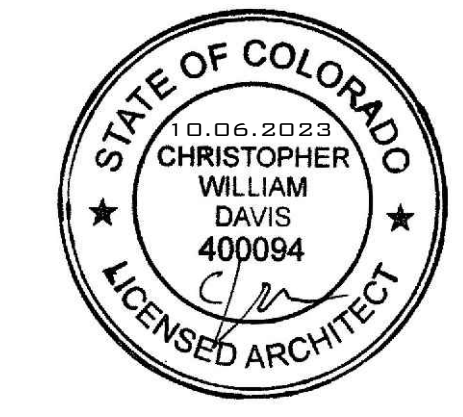
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2023 DESIGN REVIEW

MAIN LEVEL
DIMENSIONED PLAN

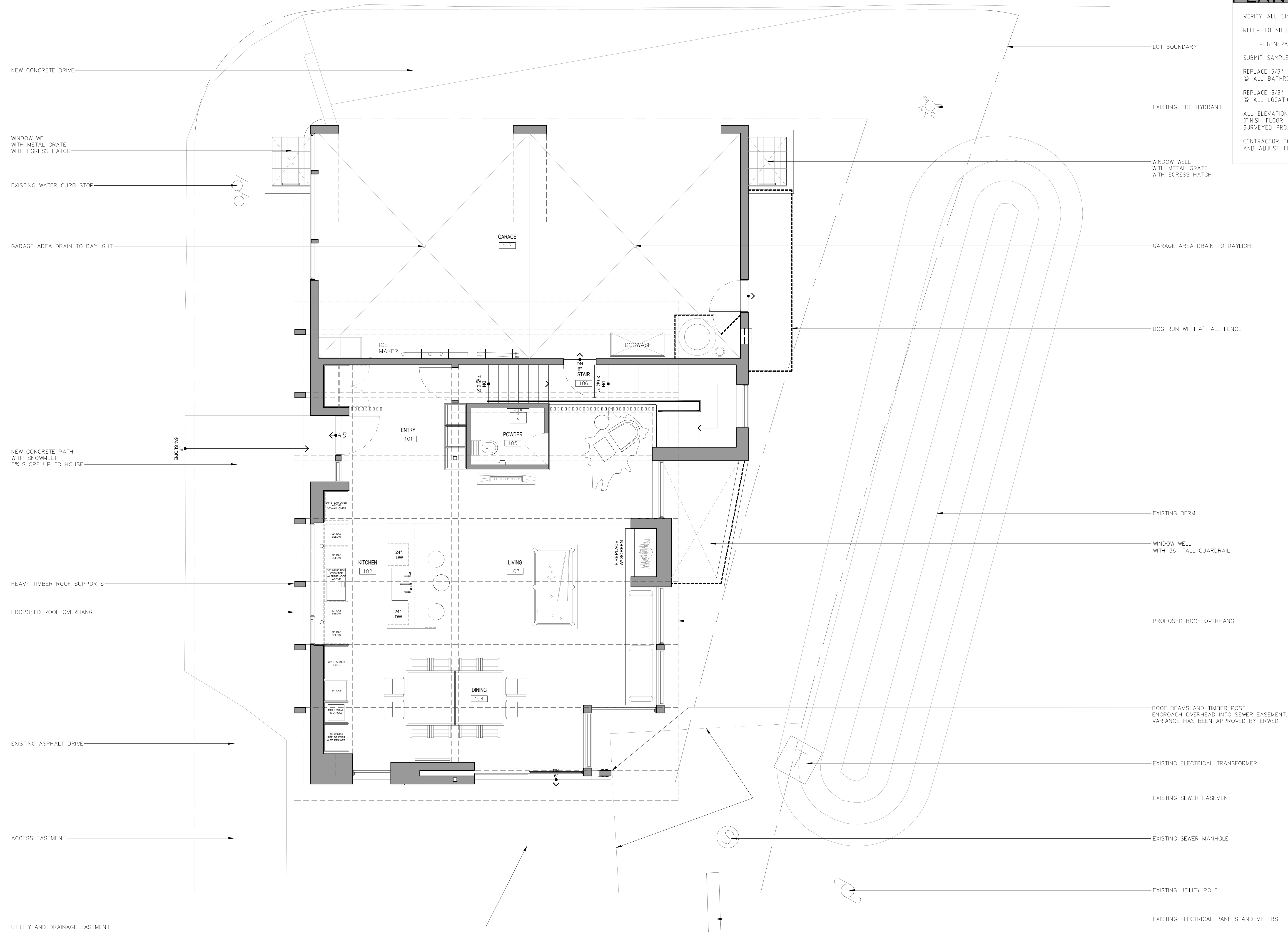
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1 MAIN LEVEL
DIMENSIONED PLAN
1/4" : 1"



PLAN NOTES

VERIFY ALL DIMENSIONS IN FIELD.

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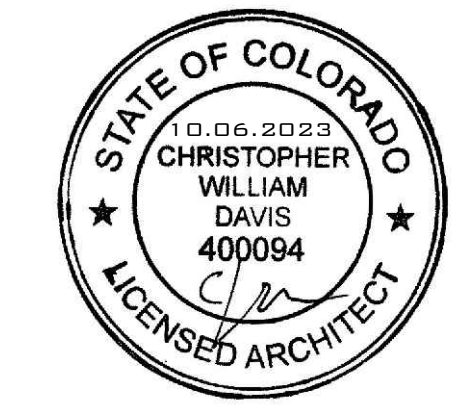
ALL ELEVATIONS ARE RELATIVE TO T.O. FIN FLOOR 100'-0" (FINISH FLOOR 100'-0" = 7985.38" RELATIVE TO SURVEYED PROJECT BENCHMARK, RECEIVED)

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MAIN LEVEL
 FINISH PLAN

TWO ELK

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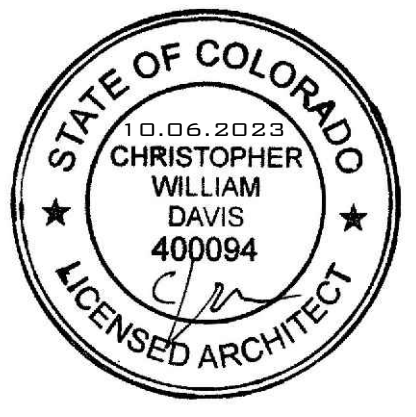
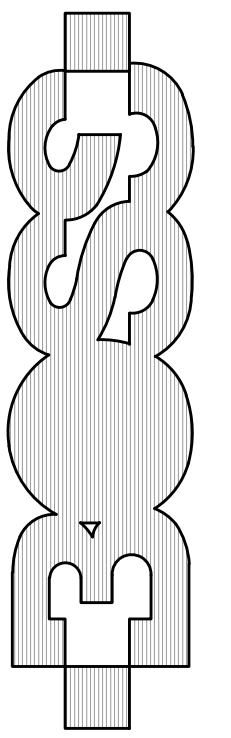
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1

**MAIN LEVEL
 FINISH PLAN**

1/4" = 1'

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2023 DESIGN REVIEW

ROOF PLAN

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PLAN NOTES

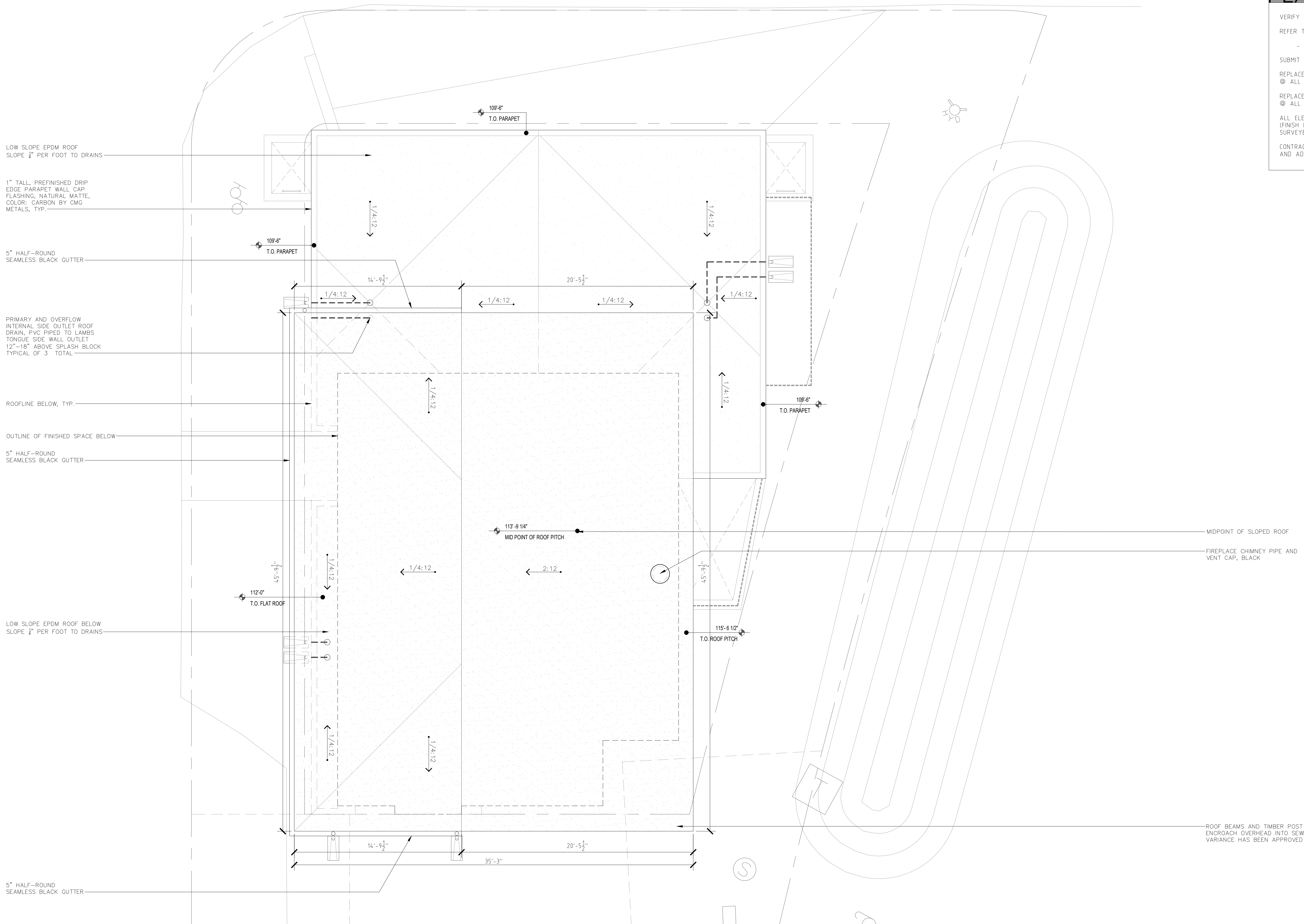
VERIFY ALL DIMENSIONS IN FIELD.

REFER TO SHEET A0.1 FOR THE FOLLOWING INFORMATION:

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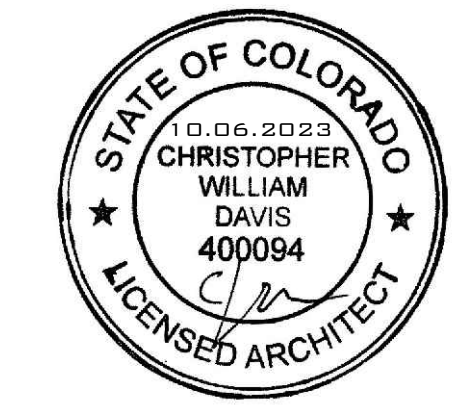
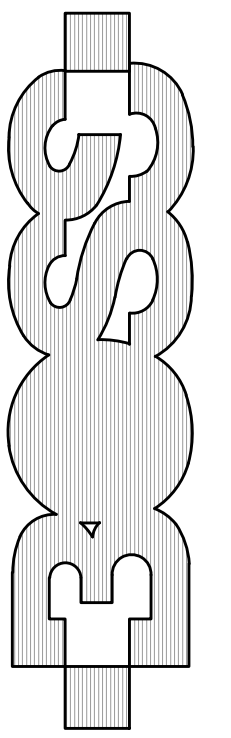
ALL ELEVATIONS ARE RELATIVE TO T.O. FIN FLOOR 100'-0" (FINISH FLOOR 100'-0" + 7985.38" RELATIVE TO SURVEYED PROJECT BENCHMARK; RECALL)

CONTRACTOR TO VERIFY ASSEMBLY THICKNESSES, AND ADJUST FRAMING AS REQUIRED TO ACHIEVE INTENDED FINISH ALIGNMENTS.



1 ROOF PLAN
1/4" = 1'

CHRISTOPHER DAVIS
KEVIN STEPHENSON
ARCHITECTS



OWNER:
ADAM AND LAINIE MINNICK
LOCATION:
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2023 DESIGN REVIEW
2024 (REVISION 01)

LANDSCAPE PLAN

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2.0

LANDSCAPE NOTES

VERIFY ALL DIMENSIONS IN FIELD.
REFER TO SHEET A.0.0 FOR THE FOLLOWING INFORMATION:

- GENERAL NOTES
- FLOOR, ROOF / CEILING & WALL ASSEMBLY NOTES, MILLWORK KEYNOTES
- REFER TO SHEET A.0.5 FOR RATING REQUIREMENTS (NEW + EXISTING)
- REFER TO SHEET A.70 FOR DOOR SCHEDULE, TYPES, AND DETAILS

SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.
CONTRACTOR TO VERIFY PLANT SPACING.

PLAN MATERIALS

- AREA TO BE SEEDED WITH NATIVE SEED MIX
- AREA TO BE FILLED WITH GRAVEL
- CONCRETE

PLAN LEGEND

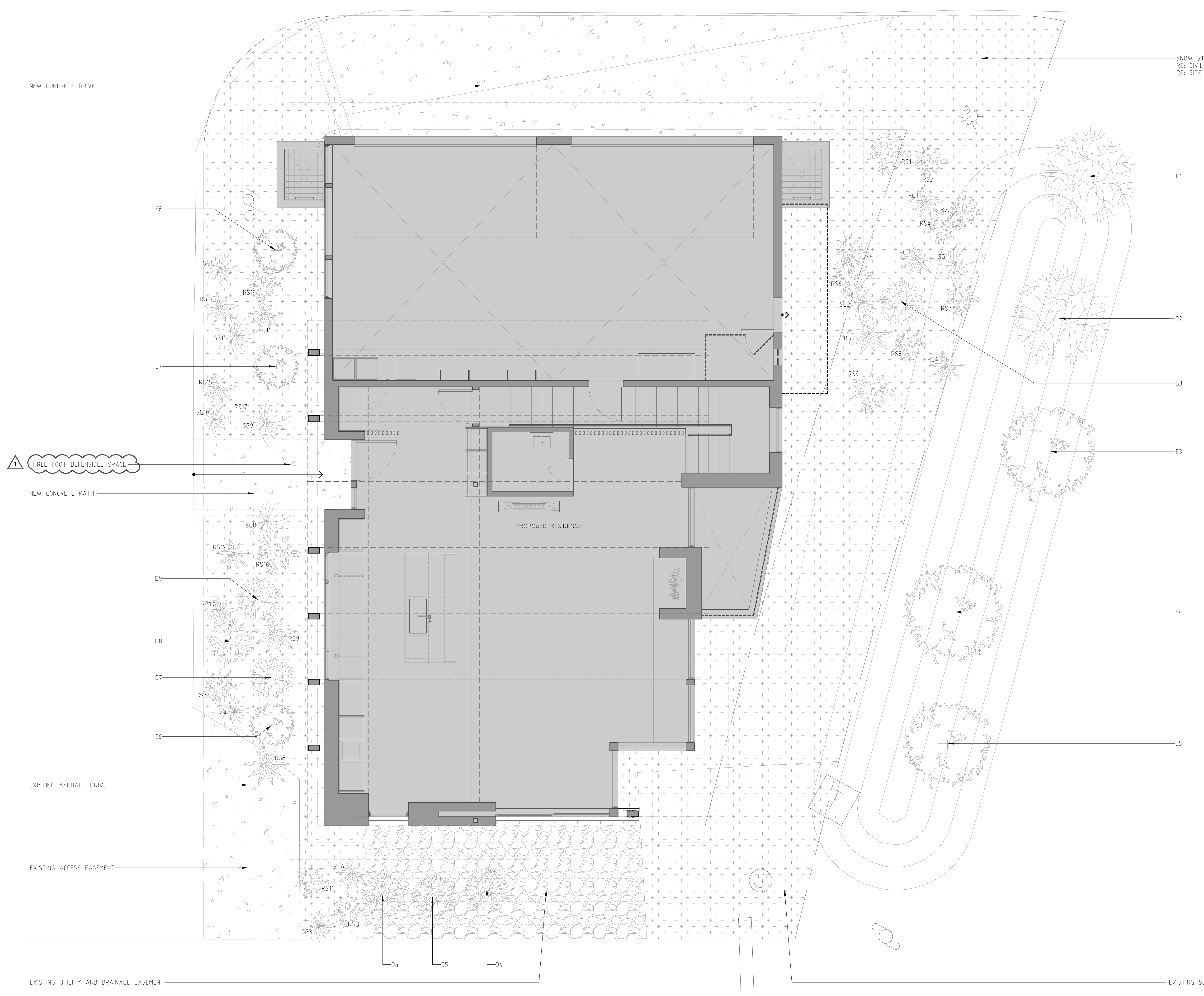
- ASPEN TREE (POPULUS TREMULOIDES)
- WHITE FIR (ABIES CONCOLOR)
- RUSSIAN SAGE (PETROVSKIA ATRIPLICIFOLIA)
- SWITCHGRASS (PANICUM VIRGATUM)
- FEATHER REED GRASS (CALAMAGROSTIS X ACUTIFLORA)
- DECORATIVE BOULDER

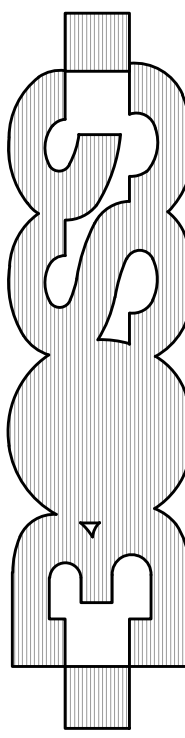
TREE SCHEDULE

ID	LATIN NAME	COMMON NAME	CALIPER	HEALTH	STATUS
	DECIDUOUS				
D1	POPULUS TREMULOIDES	ASPEN	4"	GOOD	RETAIN
D2	POPULUS TREMULOIDES	ASPEN	4"	GOOD	RETAIN
D3	POPULUS TREMULOIDES	ASPEN	2"	-	NEW
D4	POPULUS TREMULOIDES	ASPEN	4"	FAIR	REMOVE
D5	POPULUS TREMULOIDES	ASPEN	4"	FAIR	REMOVE
D6	POPULUS TREMULOIDES	ASPEN	4"	FAIR	REMOVE
D7	POPULUS TREMULOIDES	ASPEN	2"	-	NEW
D8	POPULUS TREMULOIDES	ASPEN	2"	-	NEW
D9	POPULUS TREMULOIDES	ASPEN	2"	-	NEW
E1	EVERGREEN				
E1	REMOVED				
E2	REMOVED				
E3	ABIES CONCOLOR	WHITE FIR	4"	GOOD	RETAIN
E4	ABIES CONCOLOR	WHITE FIR	4"	GOOD	RETAIN
E5	ABIES CONCOLOR	WHITE FIR	4"	GOOD	RETAIN
E6	ABIES CONCOLOR	WHITE FIR	2"	-	NEW
E7	ABIES CONCOLOR	WHITE FIR	2"	-	NEW
E8	ABIES CONCOLOR	WHITE FIR	2"	-	NEW

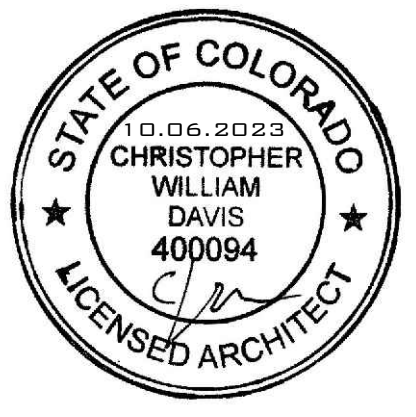
PLANTING SCHEDULE

ID	LATIN NAME	COMMON NAME	SIZE
	PLANTING		
RS1	PETROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#3
RS2	PETROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#1
RS3	PETROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#1
RS4	PETROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#1
RS5	PETROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#1
RS6	PETROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#3
RS7	PETROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#1
RS8	PETROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#1
RS9	PETROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#3
RS10	PETROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#1
RS11	PETROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#1
RS12	REMOVED		
RS13	REMOVED		
RS14	PETROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#1
RS15	REMOVED		
RS16	PETROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#3
RS17	PETROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#1
RS18	REMOVED		
SG1	PANICUM VIRGATUM	SWITCHGRASS	#3
SG2	PANICUM VIRGATUM	SWITCHGRASS	#3
SG3	PANICUM VIRGATUM	SWITCHGRASS	#1
SG4	REMOVED		
SG5	REMOVED		
SG6	PANICUM VIRGATUM	SWITCHGRASS	#1
SG7	REMOVED		
SG8	PANICUM VIRGATUM	SWITCHGRASS	#3
SG9	PANICUM VIRGATUM	SWITCHGRASS	#3
SG10	PANICUM VIRGATUM	SWITCHGRASS	#1
SG11	PANICUM VIRGATUM	SWITCHGRASS	#3
SG12	REMOVED		
SG13	PANICUM VIRGATUM	SWITCHGRASS	#1
RG1	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	#1
RG2	REMOVED		
RG3	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	#1
RG4	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	#1
RG5	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	#3
RG6	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	#1
RG7	REMOVED		
RG8	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	#3
RG9	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	#3
RG10	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	#1
RG11	REMOVED		
RG12	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	#1
RG13	REMOVED		
RG14	REMOVED		
RG15	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	#1
RG16	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	#1
RG17	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	#1
RG18	REMOVED		





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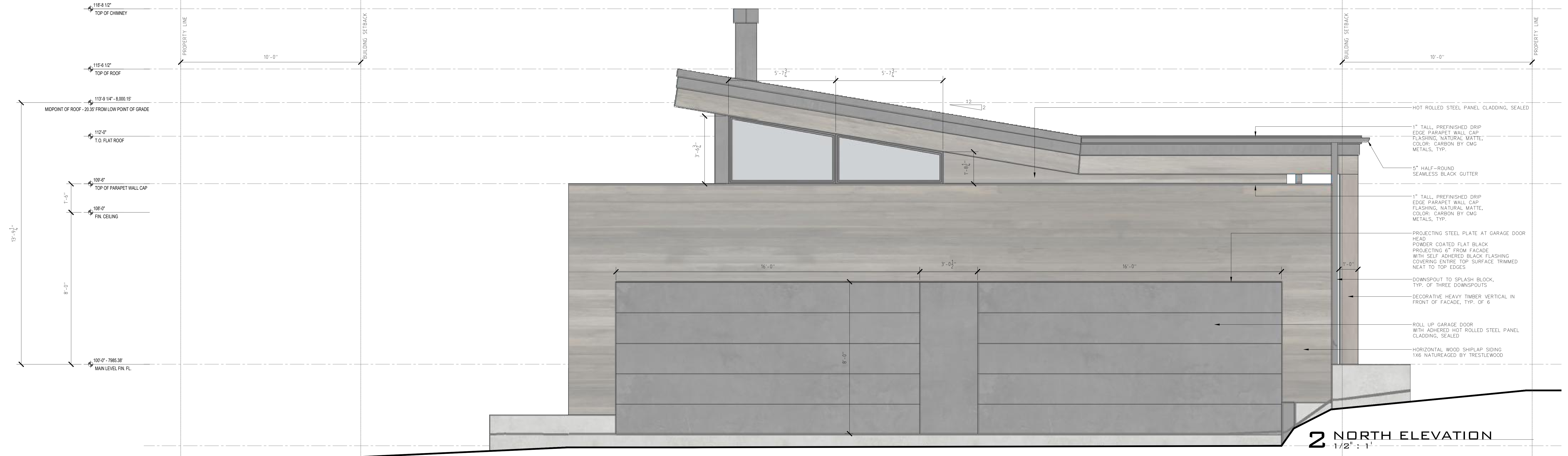


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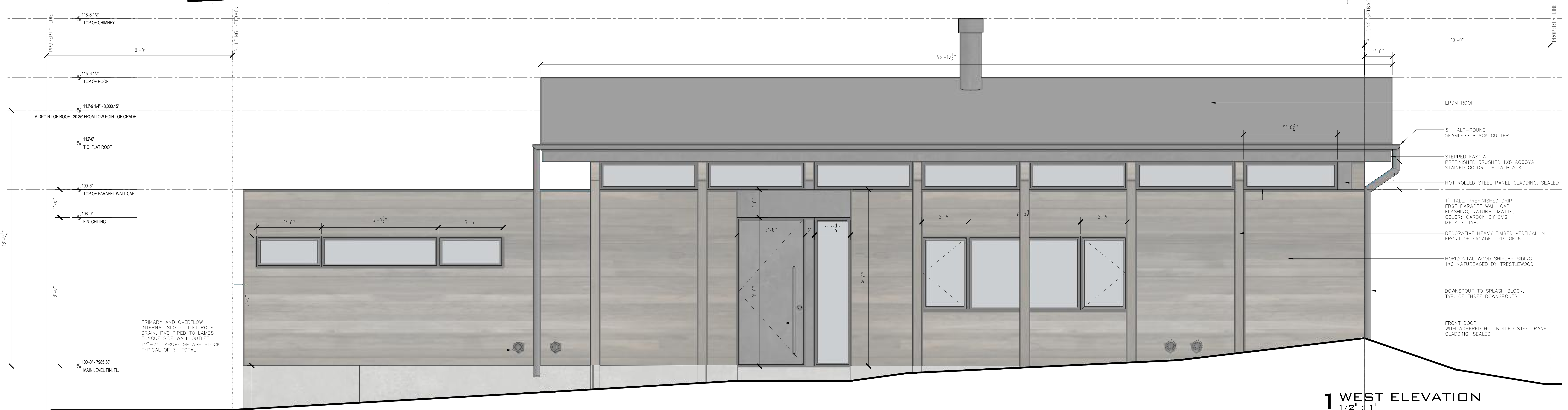
2023 DESIGN REVIEW

EXTERIOR ELEVATIONS

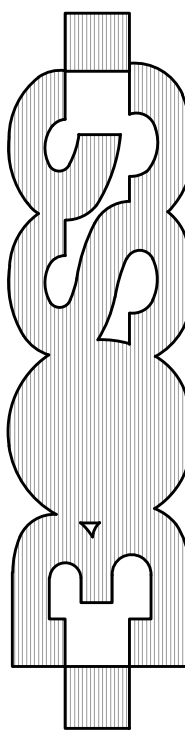
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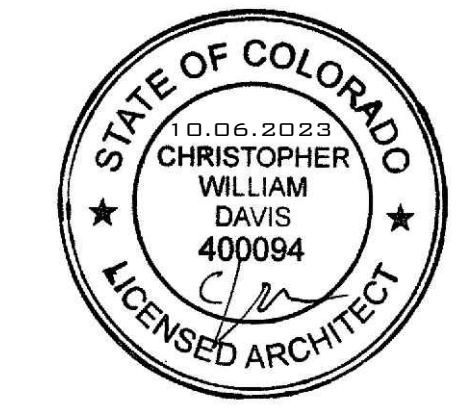
2 NORTH ELEVATION
1/2" = 1'



1 WEST ELEVATION
1/2" = 1'



Section 8, Item A
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 .KEVIN .STEPHENSON
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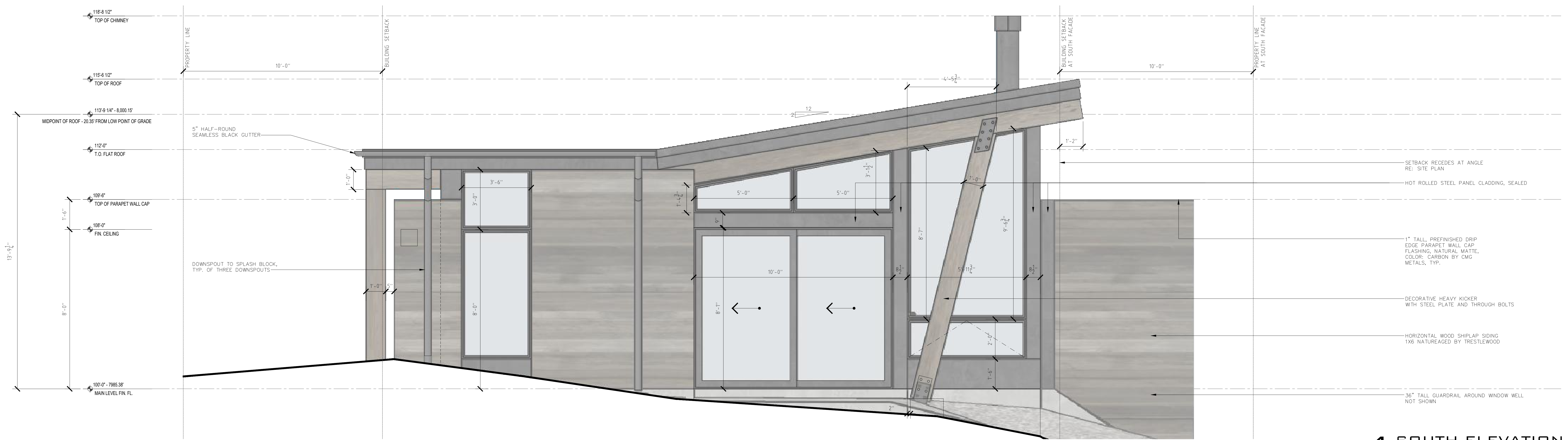


OWNER:
 ADAM AND LAINIE MINNICK
 LOCATION:
 1010 TWO ELK LANE
 MINTURN, COLORADO 81645

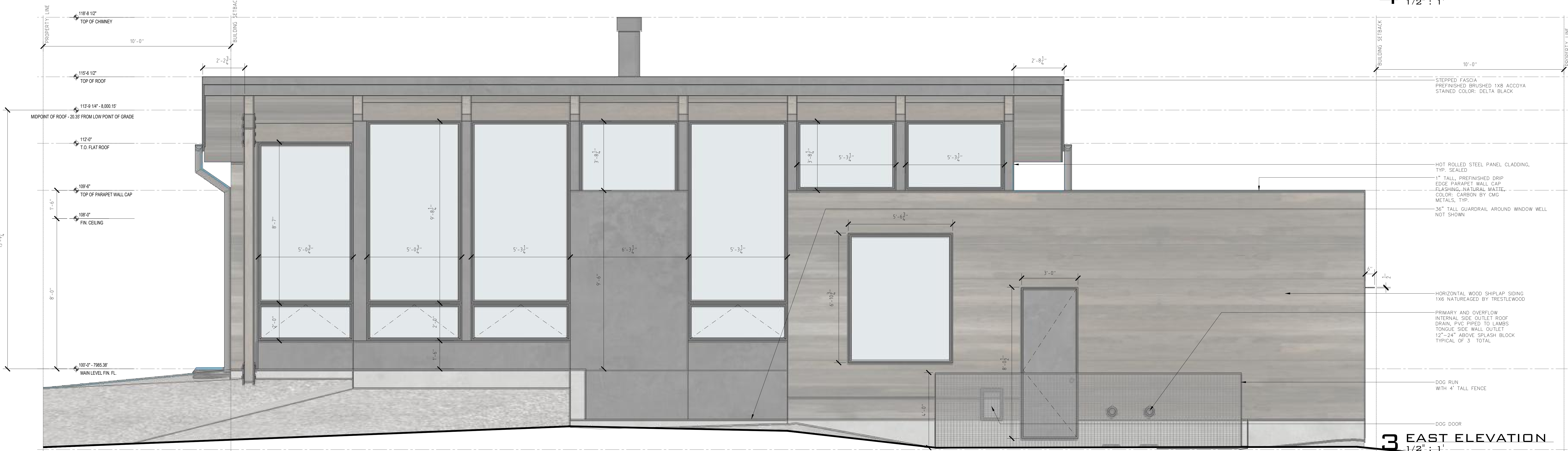
2023 DESIGN REVIEW

EXTERIOR ELEVATIONS

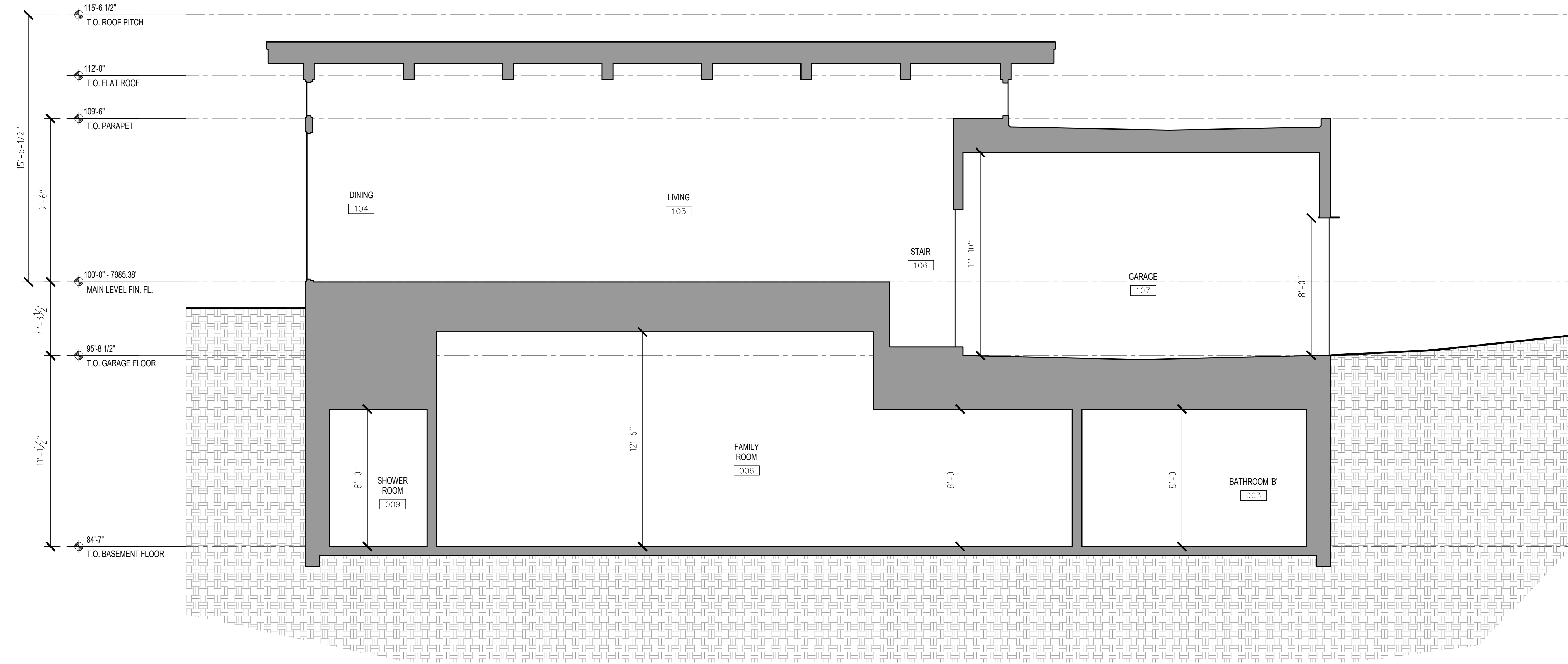
TWO.ELK
BOSS
 ARCHITECTURE
 3300 E 17TH AVE
 DENVER, COLORADO 80206 USA
 303.377.6322 | P
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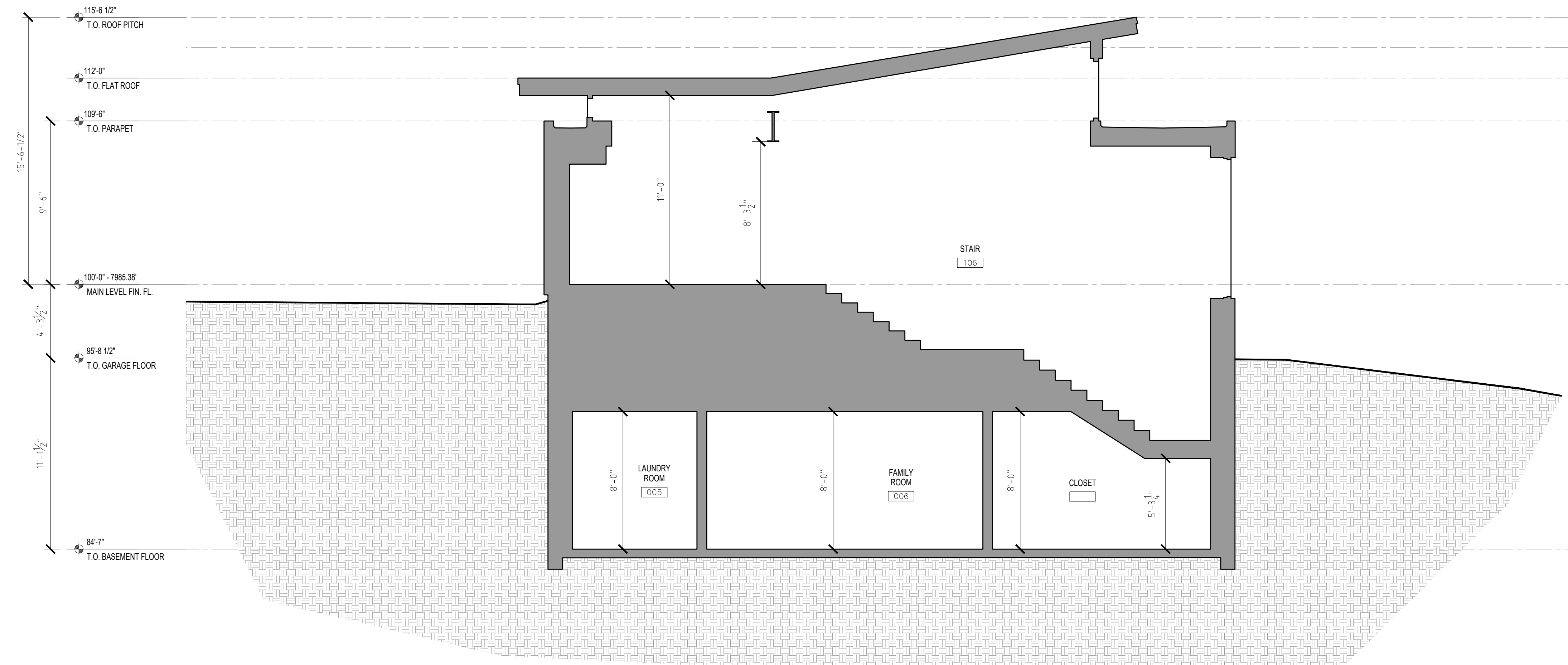
4 SOUTH ELEVATION
 1/2" : 1'



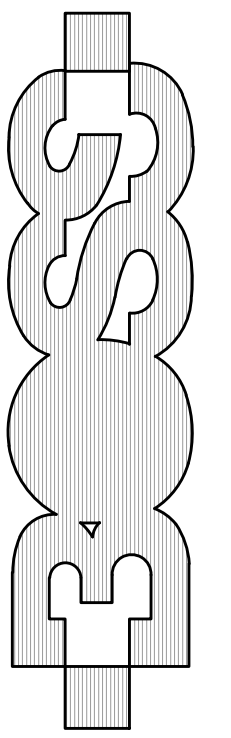
3 EAST ELEVATION
 1/2" : 1'



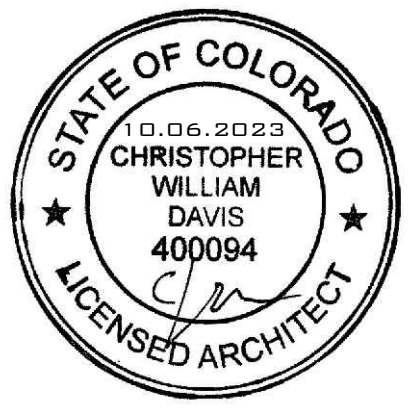
2 BUILDING SECTION
1/4" = 1'



1 BUILDING SECTION
1/4" = 1'



Section 8, Item A
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|| 2023 DESIGN REVIEW

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BUILDING SECTIONS



To: Minturn Town Council
From: Michelle Metteer
Date: May 15, 2024
RE: Town Manager Update

Minturn North Construction Information

Information on the Minturn North construction project can be found at: <https://www.minturnnorth.com/construction-updates>. Additionally, the fully approved construction plan set is available [here](#). An FAQ has also been created and is available on the town’s website, in the town hall lobby and attached to this Manager’s Report.

Wood Chipping Pickup

Eagle Valley Wildland is providing free wood chipping pickup to Minturn residents this year. This is part of an effort for residents to Firewise their homes. More details are on the attached information sheet as well as the scheduled pickup days.

Bear Aware

Please remember to properly lock your garbage containers if the containers are stored outside. There is a large bear who has been active in the area and needs to be trained to not access garbage. Thank you for the help!

Community Events

With the results of the Community Survey, staff will be reevaluating the community events to ensure the events being offered by the town are in alignment with the interests of the community. Any proposed changes to the annual event lineup will be brought to the Council and public for consideration.

Street Sweeping

Please excuse our mess while public works continues their annual street sweeping operations. Signs are posted the day before in hopes residents will avoid parking in upcoming street sweeping areas, so any help residents can provide by moving their vehicles in advance is greatly appreciated.

Safe Streets 4 All (SS4A)

I have submitted Minturn’s contract for the Safe Streets 4 All (SS4A) grant award Minturn received. Once approved by the Department of Transportation, this project will allow Minturn to facilitation public discussions and conduct a thorough analysis of Minturn’s roadways with an emphasis on finding ways to improve vehicular and pedestrian safety. A stakeholder group will be requested, and a representative Council member will be asked to take part in the process. More to come.

Out of Office

I will be out of the office June 17-21 and not attending the June 19th Council meeting. Mike Sawyer will attend that meeting, in person, in my absence.



MINTURN NORTH

CONSTRUCTION UPDATE

MAY 8, 2024

COMCAST SERVICE DISRUPTION

Comcast has not started work on the Minturn North project. If you have experienced service disruption, please contact Comcast.

TRASH ON SITE

The residents of the mobile homes owned by an unaffiliated third-party vacated the property at the end of last week. In doing so, they left trash strewn about which was further compounded by a bear. This incident occurred without our knowledge, however, we have ordered a dumpster to be placed on the site and all trash will be collected and removed. Please keep in mind daily supervision has not been directed to the site since we just received our grading permit this week, Monday, May 6th. Pursuant to Section 2.12 of the approved PUD, "Trash shall be contained within bear proof containers. Trash and debris must be cleaned from the site daily and placed in a trash receptacle to assure cleanliness. Trash receptacles shall be replaced when full within 24 hours."

TRAILHEAD PARKING

Per the approved PUD, we are adding space for 54 dedicated trailhead parking spaces.

SNOW REMOVAL

Minturn North donated 0.9 acres of land to the Town of Minturn at the South end of the property for snow removal and other uses as deemed appropriate by the Town.

CONSTRUCTION FENCING

Construction Fencing has been placed within the property boundary for the safety of the public and contractors working on site. Fencing avoided the property boundary at the trailhead parking so that the public parking could continue and in areas where Taylor Avenue encroaches onto the Minturn North property. Safety is our highest priority; therefore, the Minturn North property is being fenced to allow for heavy equipment work to occur safely and freely throughout the site. Unauthorized access to the site is not permitted under any circumstance.

FOURTH STREET CLOSURE

Fourth Street is currently open; however, it will be closed upon commencement of infrastructure work. Fourth Street is being rebuilt to meet the traffic safety requirements of the Town of Minturn Code and Minturn North PUD approvals.

Additionally, the following improvements benefitting the Town and Taylor Avenue residents will occur in the area of Fourth Street:

- Deep and shallow utility work will be crossing North to South which creates a "looped infrastructure system."
- Installation of a new sidewalk connection from Fourth Street to the ECO Trail
- New ECO Trail connection and S-Curve Improvements

All improvements are paid for by Minturn North. Fourth Street is expected to re-open upon the completion of the on-site infrastructure improvements this Fall.

We understand that there will be disruption to the Taylor Avenue Residents and will do our best to communicate utility disruptions as well as infrastructure progress to the Town and Taylor Avenue residents. Infrastructure work is expected to begin May 20 and continue for approximately 6-months except for Minturn Road paving which is to occur summer of 2025.

FUTURE NOTIFICATIONS

A QR Code will be placed on the construction fencing perimeter so that Taylor Avenue residents can easily obtain construction updates. Upon infrastructure commencement, an electronic sign will be placed at the intersection of Taylor Avenue and Minturn Road which will convey upcoming work and utility service disruptions. Proper notice will be provided by the utility companies. Additionally, the Town of Minturn website will also be available for updates.

MINTURN ROAD AND HWY 24 TURN LANE

The paving of Minturn Road is scheduled to occur summer of 2025; however, the Hwy 24 turn lane will be installed later this summer.

MOBILE HOME REMOVAL


Four of the five mobile homes are owned by a third party who originally leased the property from UPRR. The third-party owner of the mobile homes is responsible for the home removal and remediation. One of the mobile homes is owned by Minturn North. All homes are expected to be removed by June 1, 2024. Removal of the homes requires appropriate permitting which is in progress.

2024 ESTIMATED CONSTRUCTION SCHEDULE

Mobilization	May 20 – May 31
Earthwork	May 27 – August 5
Water Main	June 3 – August 19
Sewer Main	June 1 – August 2
Shallow Utilities	July 15 – September 15
Curb/Gutter/Paving	August 15 – September 23
Final Grade	September 23 – November 15

NOTE: All dates are subject to revision and refinement as work progresses.

- **Construction Days/Hours are 7:00 AM to 6:00 PM Monday through Saturday.**
- **48 Hours Written Notice to be provided to affected users in advance of any waterline shutdown.**
- **Maximum waterline shutdown length to be 6 hours.**
- **An electronic message board located at the Taylor St and Minturn Rd intersection will provide notices of utility outage dates/times.**
- **A project construction sign with safety and emergency contact information will be located at the Taylor Avenue and Minturn Road intersection.**



For additional construction updates, scan here.



COMMUNITY SLASH REMOVAL CHIPPING PROGRAM MAY 2024

Section 10, Item A.

COMMUNITIES SERVED:	PILES MUST BE STACKED BY:
Red Hill/Sky Legend	4/28
Town of Gypsum	4/28
Eagle Ranch	5/5
Town of Eagle	5/5
Edwards Metro (Homestead, Edwards Estates)	5/12
Cordillera Valley Club	5/12
Wildridge/Wildwood	5/12
Eagle-Vail	5/19
Minturn	5/19
Red Cliff	5/19

What we DO want:

- Trees, logs and branches up to 15 inches in diameter.
- All materials must be free from wire or nails.
- HIGH, neatly stacked piles.
- Piles must be clear of vehicles.
- Piles within 5 feet of roadway (not on road or sidewalk).
- Piles smaller than 2 cubic yards should be combined with neighboring piles if practical.



What we DON'T want:

- No construction materials or treated lumber.
- No rotten wood, root wads, stumps, dirt or rocks.
- No grass clippings, trash, weeds, or bags of leaves.
- No piles on the road or any paved surface.
- No piles in ditches or depressions.
- Do not place piles directly under power lines, near gas meters, phone/utility pedestals or mailboxes.



NON-CHIPPABLE ITEMS WILL NOT BE PICKED UP

QUESTIONS →



Tswaner@eagleriverfire.or