



## AGENDA

### Planning Commission Meeting

Wednesday, September 11, 2024

Town Hall / Council Chambers - 302 Pine St Minturn, CO

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The agenda is subject to change, including the addition of items 24 hours in advance or the deletion of items at any time. The order of agenda items listed are approximate.

This agenda and meetings can be viewed at [www.minturn.org](http://www.minturn.org).

#### MEETING ACCESS INFORMATION AND PUBLIC PARTICIPATION:

This will be an in-person meeting with access for the public to attend in person or via the Zoom link included. Zoom Link: <https://us02web.zoom.us/j/82331728176>

**Zoom Call-In Information:** 1 651 372 8299 or 1 301 715 8592 **Webinar ID:** 823 3172 8176

**Please note:** All virtual participants are muted. In order to be called upon an unmuted, you will need to use the “raise hand” feature in the Zoom platform. When it’s your turn to speak, the moderator will unmute your line and you will have five (5) minutes for public comment.

**Public Comments:** If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner 1, prior to the meeting and will be included as part of the record.

1. **CALL TO ORDER - 5:30 PM**
2. **ROLL CALL AND PLEDGE OF ALLEGIANCE**
3. **APPROVAL OF REGULAR AGENDA**

Opportunity for amendment or deletions to the agenda.

4. **APPROVAL OF MINUTES**  
[A.](#) August 28, 2024
5. **DECLARATION OF CONFLICTS OF INTEREST**
6. **PUBLIC COMMENT**

Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made

for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.

**7. SPECIAL PRESENTATIONS**

Presentations are limited to 5 minutes unless prior arrangements are made with the Town Planner.

**8. DESIGN REVIEW AND LAND USE PUBLIC HEARINGS**

A. 0036 Abby Road - New Multi-family building

**9. DISCUSSION / DIRECTION ITEMS**

**10. STAFF REPORTS**

A. Manager's Report

**11. PLANNING COMMISSION COMMENTS**

**12. FUTURE MEETINGS**

A. September 25, 2024

B. October 9, 2024

**13. ADJOURN**



# OFFICIAL MINUTES

## Planning Commission Meeting

Wednesday, August 28, 2024

Town Hall / Council Chambers - 302 Pine St Minturn, CO

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### MEETING ACCESS INFORMATION AND PUBLIC PARTICIPATION:

This will be an in-person meeting with access for the public to attend in person or via the Zoom link included. Zoom Link: <https://us02web.zoom.us/j/81040253148>

**Zoom Call-In Information:** 1 651 372 8299 or 1 301 715 8592 **Webinar ID:** 810 4025 3148

**Please note:** All virtual participants are muted. In order to be called upon an unmuted, you will need to use the “raise hand” feature in the Zoom platform. When it’s your turn to speak, the moderator will unmute your line and you will have five (5) minutes for public comment.

**Public Comments:** If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner 1, prior to the meeting and will be included as part of the record.

**1. CALL TO ORDER - 5:30 PM**

Lynn Teach called the meeting to order at 5:30 p.m.

**2. ROLL CALL AND PLEDGE OF ALLEGIANCE**

Those present at roll call: Planning Commission Chair Lynn Teach, and Planning Commission Members Jeff Armistead, Amanda Mire, Eric Rippeth, and Darell Wegert.

Staff members present: Planning Director Scot Hunn and Planner I Madison Harris.

*Note: Michael Boyd is excused absent.*

**3. APPROVAL OF REGULAR AGENDA**

Opportunity for amendment or deletions to the agenda.

Motion by Darell W., second by Eric R., to approve the agenda as presented. Motion passed 5-0.

*Note: Michael B. is excused absent.*

**4. APPROVAL OF MINUTES**

**A.** August 14, 2024

Motion by Amanda M., second by Darell W., to approve the minutes as presented. Motion passed 5-0.

*Note: Michael B. is excused absent.*

**5. DECLARATION OF CONFLICTS OF INTEREST**

Lynn T. has a conflict of interest for agenda item 8B as she weighed in on this in her capacity as a Historic Preservation Commissioner.

**6. PUBLIC COMMENT**

Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.

No public comment.

**7. SPECIAL PRESENTATIONS**

Presentations are limited to 5 minutes unless prior arrangements are made with the Town Planner.

**8. DESIGN REVIEW AND LAND USE PUBLIC HEARINGS**

*Note: 5 minute recess called at 5:33 p.m.*

- A. 161 Main Street and 161 Nelson Avenue - Variance Request for Relief from Rear Setback  
 Madison H. introduced the topic. She explained the public notice sequence of events. Scot H. detailed the conversation he had had with the Town Attorney. He advised that this is something for the Planning Commission to decide on. The Commission decided to go ahead with the hearing.

The Applicants, Spence and Stefanie Neubauer, request review of a request for relief from the thirty foot (30') rear setback at 161 Main Street and 161 Nelson Avenue in the Old Town 100 Block A Zone District. The 100-Block Design Guidelines within Appendix B of Chapter 16 were adopted in 2023. At that time, the purpose and intent of requiring the rear setbacks along Eagle and Williams streets was to ensure the provision of parking for residential uses (in mixed use buildings) and, in the case of Williams Street, to create the physical conditions necessary to promote a "Woonerf" concept which allows for vehicular and pedestrian use within the same travel corridor. Since adoption, the Guidelines – specifically the rear yard setback requirement – have not been implemented as there have been no new building or major redevelopment proposals. Additionally, staff suggest that upon adoption, the rear yard setback requirement did not contemplate 1) the proposed use is 100% commercial (parking requirements for commercial uses were eliminated at the time the Guidelines were adopted to incentivize commercial, sales tax generating uses), 2) there may be a valid need for an expanded first floor area due to federal regulations, and 3) an inability to utilize the full capacity for building height and massing due to those federal regulations. In an effort to work within the spirit and intent of the Guidelines, and to otherwise reduce the amount of relief (from the rear setback) requested to achieve the project design goals, the Applicant is proposing reducing the rear setback from 30 feet to 10 feet for the first floor of the building and from 30 feet to 20 feet for the second floor of the building. The first floor on the rear would be capped at a 14-foot eave height, and the second floor would be capped at a 20-foot eave height.

According to Sec. 16-21-690(d) "**Findings required.** *The Planning Commission and Zoning Board of Appeals shall make the following findings before granting a variance:*

- (1) *There are exceptional or extraordinary circumstances or conditions applicable to the site of the variance that do not apply generally to other properties in the same zone;*
- (2) *The exceptional or extraordinary circumstances of the site create a situation in which the strict, literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of this Chapter;*

(3) *That the granting of the variance will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity and will not result in substantial impairment to the purposes of this Chapter.*

(4) *There is no substantial impairment to the public that would result from the granting of the variance.”*

The Applicant has reduced the total amount of relief requested as evidenced by the building design which steps up in mass and form from first floor to second floor remaining cognizant of the impacts on the pedestrian experience, and in keeping with the overall intent of the Design Guidelines. Staff does not believe that this will have a negative impact on light or air, and in fact is respectful of the shading effects on walkways around the building based on the massing presented. The proposed design does not contemplate perpendicular parking along Williams Street except for a loading dock area, and so there should be minimal conflict with the parking across the street at the Molly G Building. Staff suggests that the intention of the 30-foot rear setback is to ensure enough area within a lot to provide adequate parking area for any second story and above residential uses. As stated within the Applicant’s letter of intent “since federal rules do not allow residential use above a distillery, we cannot utilize the code allowed height for other uses.” With no residential uses allowed within the proposed building per federal regulations; the prioritization of economic viability and welfare within the downtown corridor by the Minturn Municipal Code Old Town Character Area purpose and intent, the 2023 Imagine Minturn Community Plan, and Town of Minturn Town Council 2023-2025 Strategic Plan; and the proposed design of the building, which otherwise complies with the Design Guidelines and goals for activation on Williams Street, there may be a case for physical hardship and/or practical difficulty to allow for the requested relief from the rear setback. Staff recommends that the Applicant’s request for a variance for relief from the strict application of the Town’s Rear Setback limits at 161 Main Street and 161 Nelson Avenue may be granted as the request generally meets all variance criteria, particularly for practical difficulty.

Robert Creasy, 453 Pine St, Architect for the project

Hoping to provide an iconic building that provides character and a friendly pedestrian experience. Trying to reinforce the woonerf character by allowing for more sunlight. They are requesting the minimum area to make this business work. Unable to utilize different uses on the 2<sup>nd</sup> and 3<sup>rd</sup> floor due to federal regulations. There are only three lots that have this 30’ rear setback. The code allows balconies to project 10’ into the setback. By stepping the height it makes it more pedestrian friendly. This also reduces the amount of asphalt from a 70’ foot wide span to something less than 50’. It more closely approximates the Town’s guidelines and vision for Williams. What is being proposed is in keeping with the massing around. Maintaining views to the water tank. Thankful for the multiple letters of support for this project and appreciate the concern expressed by the other two letters. They will be applying for a Conditional Use for the use and believe that they meet the goals of the community plan. There is a recycling plan, solar arrays, and have been issued an Actively Green certification

Public comment opened.

Krista Driscoll, 115 Nelson Ave

There is no ability to have residential so this won’t have as negative an impact. They are proposing more parking than needed, and maintains views of the water tower and the valley. The intent of the 100 Block Guideline was to create thoughtful growth and character. This building addresses that. In terms of backing up trucks, anything developed there will impede trucks even if a variance isn’t granted.

Ken Mintz, 167 Williams St

Very supportive of having something built at the empty lot and likes the drawings that have been submitted and the less bulky building that’s proposed. Questioned whether the use was allowed. This project doesn’t really reach the threshold of a retail business. Retail occupies the entire ground floor, but that is not the case with a distillery occupying a bulk of the ground

space. Not building a retail space, but a factory. This is not light industrial, but major manufacturing. A conditional use would be required if deemed light industrial. Need to get beyond the trendy ambiance of a distillery and look at it as a factory in the 100 Block. Asked if the applicant had an approved state license for a distillery in this location. If they don't this might be the cart before the horse. Variances are forever, and what happens if the applicant decides not to do a distillery. Then there would be all this extra mass/20 feet. A future owner could come in and put something else in there. One of the requirements to get a license from the state is that it meets the desire of the adult inhabitants of the neighborhood. No survey has been conducted. Doesn't believe there is a legal argument for the variance based on the applicant not being able to utilize the height. There are dozens of permitted uses in the code that would not require a variance to be built. The highest and best use of a property is not a reason to grant a variance. The Applicant's purchased the property with the reliance on securing variance relief. This is a self-created hardship. The street level should be dedicated to retail. The variance should not be detrimental to existing uses. This would be detrimental to the Minturn Market. The Town and MR Minturn use a lot of that space for snow storage. The space is currently being used for parking for all of the other commercial businesses so this would hinder the existing businesses. As for compatibility, this goes back farther than other structures in the area. The semis that deliver to Magustos and the Country Club cannot exit without going onto this property. Have there been any vehicular studies on the turning radii of semis. The number of vehicles that come onto Nelson off Main Street, about 50% turn around, and they will not be able to maneuver. More people enter Williams Street illegally because they can't turn around. Stated that distilleries are among the highest polluting uses. Unaware of what practices the applicant has or if ERWSD has been contacted. Odor is something that should be considered. The Planning Department failed to consider the Town's comprehensive plans.

Ken Halliday, 532 Main Street  
Cares about the development of Minturn. This building and use fit the character of Minturn. This is the type of business that we should have as it's unique. Planning Commission should consider that this is the right kind of business and they need the extra space to operate. We should try to be flexible to keep this business here. Since they can't have residential, this shouldn't set a precedent.

Devin Schow, 115 Nelson  
Has concern about snow storage and where that pile of snow is going to end up, but in support of the variance. This is a good business to support.

Lynn T. read into the record the written public comment received.  
Hope all is well. My name is Ashley Saunders and I am a Minturn resident living at 440 Eagle River Street. I wanted to reach out to express my support for the proposed 161 Main Street variance application.  
Thank you for your consideration.  
Ashley Saunders  
440 Eagle River Street

My name is Brady Schlichting, and I own Evoke Outdoors, the bike shop at 102 Main St. I've heard a little about the variance at 161 Main St and I'm for it, if it can help the business, I'm all about it. The owner is a Minturn local and all he wants is the best for the town.  
Thanks,  
Brady Schlichting  
Evoke Outdoors

I am writing to express my opposition to the granting of the variance request of Eagle River Whisky Company at 161 Main St. This is not something the downtown will benefit from. It really doesn't fit in with the other business in the area and I am opposed to it being built.  
Sincerely,  
Frank G. Sanders

I am writing to express my opposition to the granting of the variance request of Eagle River Whisky Company at 161 Main ST. The town just spent hundreds of thousands of dollar updating the Town Community Plan to create standards for the lot's and buildings and a vision on what the downtown area was to be and look like. Now the first developer to submit a proposal can't live within the new guidelines and wants to develop their lot to their needs and their own vision of what the area needs to look like. They need to adhere to the new regulations.

I am also curious as to why they are requesting a variance for a use that is not allowed in the mixed use zone of downtown. Distilling whiskey is a manufacturing process and light manufacturing is not allowed in that zone.

Lastly please consider that a distillery is an environment and fire disaster just waiting to happen. Please review the attached information sheet on the potential environmental damage a distillery can cause.

Sincerely,  
Hawkeye Flaherty

Just writing to express my support for the 161 Main variance application. Please feel free to reach out if you have any questions. Thanks so much.  
Justin Ross  
1141 Main Street

Myself and my wife Lindsey would like to express our support for the 161 Main st variance. We currently reside on 261 Main street.  
Thank you  
Sean Adams  
Public comment closed.

Mr. Creasy said that they would be asking for a conditional use for light manufacturing. There will be retail space on all three frontages and the distillery will be open to the public. This will be a substantial economic benefit to the Town. The need for the variance is the first step. There would be more impairment on Williams if a terrace was built all the way out, and there would be more ice on Nelson if the full height was built. The variance is only good for one year and the variance would be specific to the heights proposed. Snow storage, the Market, are issues for the Town and not on the owners to figure it out. There will be no discharge from the product and it is a closed system that should not produce odors.

Spence Neubauer, 161 Main  
Has their DSP and the state license for manufacturing at Meadow Mountain. This would be another property that would go into that current license.

Stef Neubauer, 161 Main Street  
Appreciates the comments about sustainability. Has their Actively Green certification. Want this to be a place to teach people about small manufacturing. The whisky fungus is about air filtration that they have no problem addressing. Have no desire to hurt anyone and want to be as cutting edge as can be.

Scot H. stated that the Town can approve a variance without a formal DRB application in front of it. There are plans that are needed to demonstrate the proposed building, but the variance

is not required to be based on a use. If the lot sells or never gets built, the variance is specific to the plans provided.

Jeff A. also clarified that if the variance is granted and is only valid for one year, so there's only one year for the applicant to initiate the construction of this building.

Scot H. gave the definition of Light Manufacturing from Sec. 16-2-20.

Amanda M. asked if the variance would still be required if the lots are combined

- Yes
- Amanda M. asked if there can be conditional use constraints to ensure that it always remains Light Manufacturing
- Scot H. advised against it.

Darell W. asked if there was a variance for height

- No, this is self imposed
- Darell W. asked if it is sprinkled
- Mr. Creasy said that it is completely sprinkled, and while they haven't officially decided on materials, they will be primarily stone and stucco with accents of wood, metal, and glass.
- Darell W. asked about odor.
- Ms. Neubauer said that there will be little odor, but they will have air filtration.

Jeff A. thinks that the intent of the 100 Block Design Guidelines, and his interpretation is that there was a lot of maximization of what could be built. Some of the provided renderings of what could be built are helpful based on some of the plans that the Commission saw. These opportunities are rare. The good thing about being a recommending body is that they aren't the final say. Appreciates that the public came out to give comment. Some of the things stated tonight and in the code are subjective and can be interpreted. One of those things is "detrimental use". Thinks it is important for this property to be built upon that is not maximized is rare. This is a thoughtful plan. This is an iconic building for this town, something to be proud of. It fits and has so much potential. There will never be a scenario where all boxes get checked, but this is close. Negative impacts will come out in the wash when it comes to the DRB and CUP applications. Would agree that this variance meets criteria 3 and 4. The code that was changed in 2023 is a direct result of the maximized plans seen in prior years. This fits in with the Town and fits the bill to be considered as a variance.

Eric R. appreciates the building and the comments. Has questions about the 10' setback meeting the woonerf concept. What's going to happen in the future. As a building does it keep the historical look of the downtown. Is it going to make the downtown look different.

Amanda M. asked about the time line.

- Jeff A. asked if in the future someone comes in and wants to create condos then would it become a non-conformity or would they have to conform.
- Scot H. believes they would have to conform to the current code at the time.

Lynn T. had concerns about the traffic issues and asked them to consider putting bollards at the corner of Williams and Nelson. Does want the commission to consider the conditions recommended by Scot and Mike

Motion by Amanda M., second by Darell W., to forward a recommendation of approval to the Town Council with conditions. Motion passed 5-0.

1. The Applicants shall apply for and successfully complete a formal Design Review Board application; and

2. The Applicants shall apply for and successfully complete a Conditional Use Permit application; and
3. The Applicants shall apply for and successfully complete an administrative subdivision process to eliminate the common lot line between the two lots and to combine the lots into one lot.

*Note: Michael B. is excused absent.*

*Note: 5 minute recess called at 7:25 p.m.*

**B. Ordinance TBD - Series 2024 An Ordinance Amending Chapter 16 - Zoning and Chapter 19 - Historic Preservation of the MMC**

*Note: Lynn T. recused herself and left the room.*

Jeff A. introduced the agenda item. At the June 5, 2024 meeting Council discussed balancing historic preservation, economic feasibility, and the utilization of property, particularly in the Town's downtown, commercial generating area. In response to this a work session was scheduled at the July 17, 2024 meeting. During the work session staff brought forth nine different ideas for Council to discuss and give direction on. Staff was directed to bring back an ordinance addressing Options 1-7:

1. Option 1: Eliminate the requirement for two sets of design review guidelines
2. Option 2: Eliminating potentially redundant approval requirements
3. Option 3: Allow for historically designated structures in the downtown corridor to have the immediate ability to functions as short term rentals on all floors
4. Option 4: Encourage historic preservation reinvestment as part of the Downtown Development Authority Operations Plan
5. Option 5: Require a minimum of two nominators for a structure to be nominated for historic designation
6. Option 6: Create a process whereby property owners can determine if their structure would be historically designated without necessarily "supporting" such a designation
7. Option 7: Allow residential in the Downtown Character Area on the back 50% ground floor of historically designated commercial buildings to create live/work opportunities

When discussed at HPC, staff received the following direction:

- Amend the definition for alteration and the historic designation process to allow for the selection of facades (not to exceed 50% of the exterior of the structure) to be prioritized to remain the same and trigger the Certificate of Appropriateness process even if 50% of the structure is not affected.
- To add a visual example to the definition of alteration.
- To amend the intent statement of Sec. 16-6-35 - 100 Block Commercial Zones subsection (b) to add lodging as a use at the street level.
- To amend the \*\*\* clause at the end of the Old Town Character Area Use Table to specify 50% of the "proposed ground floor area"

Staff presented this ordinance to the HPC at their August 20, 2024 meeting, and is presenting this ordinance to the Planning Commission to receive feedback and a recommendation before bringing it to Council for final decision. Several of these options, should they be implemented, should provide additional flexibility and stability to individual property owners within the 100 Block and throughout the rest of Town.

Public comment opened.

No public comment.

Public comment closed.

Eric R. likes the encouragement of the reinvestment of the DDA. It needs to be more visualized.

Darell W. clarified the two nominators.

Amanda M. had no questions, but thinks that some of this is not in conformance with the Community Plan.

Jeff A. asked about the use table.

Motion by Amanda M., second by Eric R., to forward a recommendation of approval of Ordinance TBD - Series 2024 An Ordinance Amending Chapter 16 - Zoning and Chapter 19 - Historic Preservation of the MMC with the strike through of option 3 in that it does not meet the intent of the comp plan for 100 Block. Motion passed 4-0.

*Note: Michael B. is excused absent and Lynn T. is recused.*

*Note: Lynn T. unrecused herself.*

**9. DISCUSSION / DIRECTION ITEMS**

**A. Minturn Forward: Draft Article 5 - Land Use Application Requirements & Procedures**

Scot H. went through the changes proposed to the Land Use Application Requirements and Procedures. The goal is to create a standard way for how to accept and review applications in easy to understand language.

- Sec. 16-5-130-16-5-160: Planned Unit Developments (PUDs)
  - Amanda M. asked for clarification on what a 30% slope would look like
    - Jeff A. stated that just because you can't build on a slope doesn't mean that you can't recreate it
    - Amanda M. thinks this clause should be taken out
    - Jeff A. said that if you dedicated it permanently via an easement on the plat then it should be counted.
  - Eric R. asked about the critical wildlife areas counting
    - Scot H. said that there's some room to wordsmith to allow this as long as the areas are properly protected. There needs to be a balance between protecting sensitive areas and having active recreation areas specifically for residential projects that will have kids.
  - Jeff A. said that there should be a requirement that the developer is trying to
  - Amanda M. would like to say that 130D(5) should say "recreation area standards". There should be a definition for common elements as well.
    - Jeff A. thinks this should be left broad so that we don't leave things out.
  - Darell W. asked if we should list golf courses, pickleball courts in "areas that count" under open space. Table title should not say county, but count. Also clarified pg 85 6. Remedies Authorized, there should be clarification that this would be billed to the Applicant. On page 97, there should be water conservation/water budget plans under 8c. on Page 110 add review water conservation criteria.
  - Lynn T. would like to define wet water
  - Jeff A. G2b thinks the 20 feet between buildings should be 10 feet. 25% open space requirement on page 100 and 110 shows up. Should add on page 97 the percentage of construction ready documents that we need. Should also add Engineers Estimate of Probable Cost to the Preliminary Plan. On page 98 there should be clarification on whether or not you need a traffic study vs. an access permit. Asked why we aren't referencing the plat in the recording on pg 115 and throughout the PUD section.
  - Eric R. asked if there is a limit on Hwy 24 or do we just keep adding.
- Sec. 16-5-170: Minor PUD Amendments
  - Jeff A. doesn't think that changes in bulk/height/character are minor.
    - Amanda M. thinks that A2b should be moved to Major Amendment.
- Sec. 16-5-180: Major PUD Amendments

- Sec. 16-5-190: Sign Permit
  - Jeff A. said that in Step 6 that there should be added staff decisions shall be forwarded to the Commission at their next meeting.
- Sec. 16-5-200: Master Sign Program
- Sec/ 16-5-210: Sign Variance

## 10. STAFF REPORTS

### A. Manager's Report

#### **Colorado Municipal League (CML) Policy Committee**

In preparation for the 2025 legislative session, Colorado Municipal League (CML) member municipalities are now asked to appoint/confirm representatives who will serve on the League’s 2024-2025 Policy Committee, as well as for municipal members to submit any legislative or policy proposals for committee consideration and recommendation to the CML Executive Board. Each representative will be expected to read and adhere to the Policy Committee Roles and Responsibilities, as outlined in the attachment and covered in more detail below.

General policy committee responsibilities include:

1. Attending and participating in all Policy Committee meetings, in-person or virtually, and voting on policy positions to recommend to the CML Executive Board.
2. Evaluating requests from member municipalities for CML-initiated legislation and making a recommendation to the Executive Board.
3. Reviewing the League’s 2024-2025 Policy Statement that guides League positions on policy issues affecting municipalities and proposing revisions, if necessary. (Any recommended changes to the policy statement are voted on by CML members at the Annual Business Meeting that takes place as part of CML’s Annual Conference.)

2024-2025 Meeting dates (subject to change)

All meetings are 9:00 - Noon

- Friday, Oct. 11
- Friday, Dec. 6
- Friday, Jan. 17 (Virtual)
- Friday, Feb. 21
- Friday, March 14 (Virtual)

Unless a Council member specifically volunteers for this position, I will add myself to the Policy Committee and Mayor Earle Bidez will be appointed as the alternate.

#### **Community Events: First Fridays**

Staff reached out to the business community to gauge interest in hosting a First Friday event. This would be a sponsored event by the Town and would seek to spotlight our local businesses while bringing community together. Thus far two businesses have responded expressing interest. The “first” First Friday will be September 6th at the Eagle River Inn with Whisky tasting by Eagle River Whisky. The October First Friday will be at Kirby Cosmos with a pig roast. More to come.

#### **Safe Streets 4 All (SS4A)**

Minturn is looking for one to two business owners to join the SS4A Working Group. This is a local group of stakeholders who will meet up to four times (virtually) over the next year to provide discussion and feedback on the state of the safety of Minturn streets. Those interested should contact Michelle Metteer at manager@minturn.org or 970-445-2418.

**B. Planning Department Update**  
**541 Main Street - Minor DRB Permit**

The owners of 541 Main recently applied for a Minor DRB Permit to change windows and a door. This was approved August 9, 2024.

**11. PLANNING COMMISSION COMMENTS**

No planning commission comments.

**12. FUTURE MEETINGS**

- A. September 11, 2024**
  - a. Darell W. isn't here
  - b. Eric R. might not be here
- B. September 25, 2024**

**13. ADJOURN**

Motion by Jeff A., second by Eric R., to adjourn the regular meeting of August 28, 2024 at 9:23 p.m. Motion passed 5-0.

*Note: Michael B. is excused absent.*

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Lynn Teach, Commission Chair

ATTEST:

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Scot Hunn, Planning Director

Minturn Planning Department  
Minturn Town Center  
302 Pine Street  
Minturn, Colorado 81645



**Minturn Planning Commission**  
Chair – Lynn Teach  
Jeff Armistead  
Michael Boyd  
Amanda Mire  
Eric Rippeth  
Darell Wegert

## Design Review Board Hearing

### Final Plan Review for New 12-Plex

#### 0036 Abby Road

<b>Hearing Date:</b>	September 11, 2024
<b>File Name and Process:</b>	Multi-Family Residence Final Plan Review
<b>Owner/Applicant:</b>	Alison Perry, Miners Base Camp LLC
<b>Representative:</b>	Greg Macik, TAB Associates, Inc.
<b>Legal Description:</b>	Subdivision: BELDEN PLACE PUD Lot: 7
<b>Address:</b>	0036 Abby Road
<b>Zoning:</b>	South Town Character Area – Belden Place PUD Zone District
<b>Staff Member:</b>	Madison Harris, Planner I
<b>Recommendation:</b>	<b>Approval</b>

### Staff Report

#### I. Summary of Request:

The Applicant, Alison Perry, requests Final Plan review of a new, twelve-plex, 28,519 (gross) square foot multi-family building located at 0036 Abby Road in the South Town Belden Place PUD Zone District. The Applicant’s representative, Greg Macik of TAB Associates Inc., has been proactive in meeting with Town staff prior to submitting plans for the new structure and has provided a relatively complete and thorough set of site, landscaping, and architectural plans.

#### **Proposed Plans**

The plans show four, three-story towers on top of an underground parking with a maximum building height - measured via a weighted height calculation approved in the Belden Place PUD Guide – of 33 feet 4 and 11/16 inches, under the maximum allowable 35-foot limit within the South Town Belden Place PUD Zone District for multi-family units.

Additionally, the massing, forms, and scale of the proposed structure, as well as proposed exterior materials, textures and detailing also appear to achieve the design objectives of Appendix B – *Design Guidelines and Standards*, Minturn Municipal Code.

Parking is more than adequate, with thirty-seven off-street spaces, twenty-seven of which are provided within the garage and ten at surface level. The plans show the four towers of three stacked flats each, with each floor being it’s own unit.

According to staff’s analysis of development standards and dimensional limitations in Section III below the project appears to meet the Town’s standards.

Overall, staff believes that the Applicants and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review.

As a reminder, the Planning Commission has the option to review the proposal as a “conceptual” plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or the Commission may take action to approve, approve with conditions, or deny the Final Plans.

Staff is **recommending approval**.

**II. Summary of Process and Code Requirements:**

These plans are being presented by the Applicant as “Final Plan” level of review for a new single-family residential structure on a legally created lot within the Town of Minturn. This is a formal hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB’s concerns or feedback regarding suggested revisions to the project.

If the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve the plans without conditions, or to approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions, additions or updates to the plans.

No variances are required or requested at this time.

**Design Review Process**

Appendix ‘B’ of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection “d” below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

- (d) *Administrative procedure.*
  - (1) *Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.*

(2) *Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:*

- a. The proposal's adherence to the Town's zoning regulations.*
- b. The proposal's adherence to the applicable goals and objectives of the Community Plan.*
- c. The proposal's adherence to the Design Standards.*

(3) *Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:*

- a. That the proposal is in conformance with the Town zoning regulations.*
- b. That the proposal helps achieve the goals and objectives of the Community Plan.*
- c. That the proposal complies with the Design Standards.*

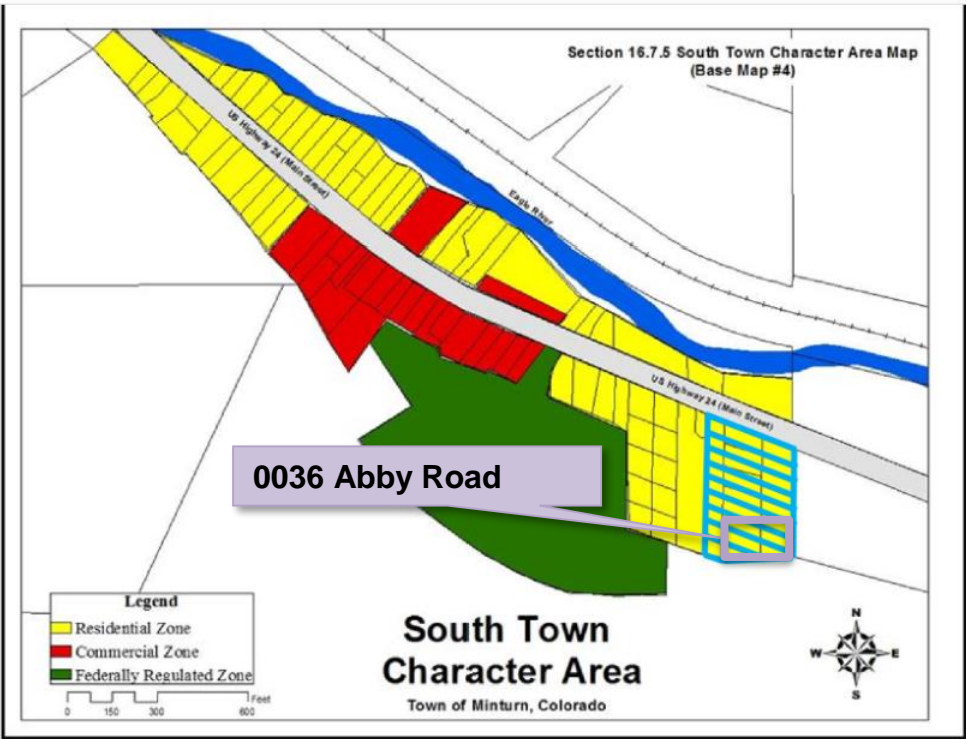
Staff suggests that the final plans for 0036 Abby Road meet the required findings ‘a,’ ‘b,’ and ‘c’ or subparagraph 3 – *Necessary findings* – with proposed conditions of approval.

**III. Zoning Analysis:**

**Zoning**

The subject property is located within the “South Town Character Area” Belden Place PUD Zone District

**Figure 1: Game Creek Character Area Zoning Map**



■ - PUD Overlay Zoning

**Dimensional Limitations and Development Standards**

The following table summarizes the lot, development and dimensional standards and limitations applicable to the subject property pursuant the approved Final Development Plan for the Belden Place PUD.

Regulation	Allowed/Required	Proposed/Existing
Minimum Lot Area:	27,233 sq. ft.	27,233 sq. ft. (.625 ac.)
Maximum Building Height:	35 feet	33 feet – 4 11/16 inches
Minimum Front Setback:	20-25 feet	25+ feet
Minimum Side Setback:	4 feet	4+ feet
Minimum Rear Setback:	4 feet	4+ feet
Maximum Lot Coverage:	50% (13,616.5 sq. ft.)	11,423 sq. ft. (41.95%) Proposed
Maximum Impervious Coverage:	50% (13,616.5 sq. ft.)	13,554 sq. ft. (49.77%) Proposed

Minimum Snow Storage Area:	5% of Lot Area (27,233 sq. ft. x .05 = 1361.65 sq. ft.)	1500 sq. ft.
Parking:	27 spaces	37 spaces

**IV. Applicable Standards and Design Guideline Criteria:**

**Design**

In addition to the development standards listed above, the following general design principles are provided for reference.

**Final Site, Grading and Drainage Design**

The Minturn Design Guidelines encourage designs that integrate or account for site topography and existing conditions, surrounding conditions, solar orientation, placement on lots relative to streets and natural features, snow storage and snow shed from roof structures.

**Mass and Form**

The following excerpt from the Design Guidelines is applicable to the proposed home design:

*“c. Massing and Scale*

*“A simple central form with additive features shall be designed. This style creates visual interest and is appropriate for the community due to its compatibility with existing structures. Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.*

*“Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.”*

*-Town of Minturn Design Guidelines*

**Staff Response:**

Staff believes that the design and scale of the proposed structure incorporates a simple central form with additive features and is complementary to adjacent residential structures and character on nearby parcels. Staff further suggests that the scale of the project is appropriate and will not overpower surrounding natural and built environments. Proposed roof forms and pitches, materials and textures are compatible and complementary to the surrounding built and natural environments.

**V. Items of Note:**

**Items of Note**

Staff has identified no items of note.

**VI. Staff Recommendation:**

Staff suggests that the Final Plans for 0036 Abby Road generally **comply** with or exceed the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix 'B') of the Minturn Town Code.

Staff is **recommending approval** of the plans.



# DESIGN REVIEW APPLICATION

**TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT**  
 P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309  
 Phone: 970-827-5645 Fax: 970-827-5545 Email: planner@minturn.org

**Project Name:**

Belden Place - Duplex Lot 7 (12 Plex) Flats

**Project Location**

Street Address: 0036 Abby Road

Zoning: **PUD**

Parcel Number(s): **Not assigned**

**Application Request:**

Design review for a multi-family 12 Plex (Flats)

**Applicant:**

Name: Greg Macik, TAB Associates, Inc.

Mailing Address: 56 Edwards Village Blvd, Suite 210, Edwards, CO 81632

Phone: 970-766-1470 x107

Email: greg@tabassociates.com

**Property Owner:**

Name: **Alison Perry, Miners Base Camp LLC**

Mailing Address: PO Box 1134 Minturn, CO 81645

Phone: 970-306-2264

Email: perry@vailland.com

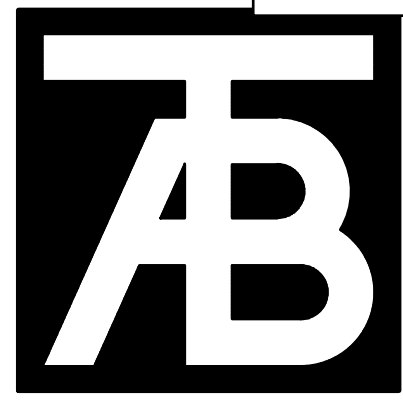
**Required Information:**

Lot Size: 27,233	Type of Residence (Single Family, ADU, Duplex) <b>Multi Family</b>	# of Bedrooms 12 units 30 beds	# On-site Parking Spaces 10 ext 27 int
# of Stories: 4	Snow storage sq ft: 1500	Building Footprint sq ft: <b>11,423</b>	Total sq ft Impervious Surface: <b>15,336</b>

**Signature:**

**Greg Macik**

**Fee Paid:** \_\_\_\_\_ **Date Received:** \_\_\_\_\_ **Planner:** \_\_\_\_\_



# Belden Place

## 12 Plex (Flats) - 0036 Abby Road

### Lot 7

## Minturn, Colorado 81645

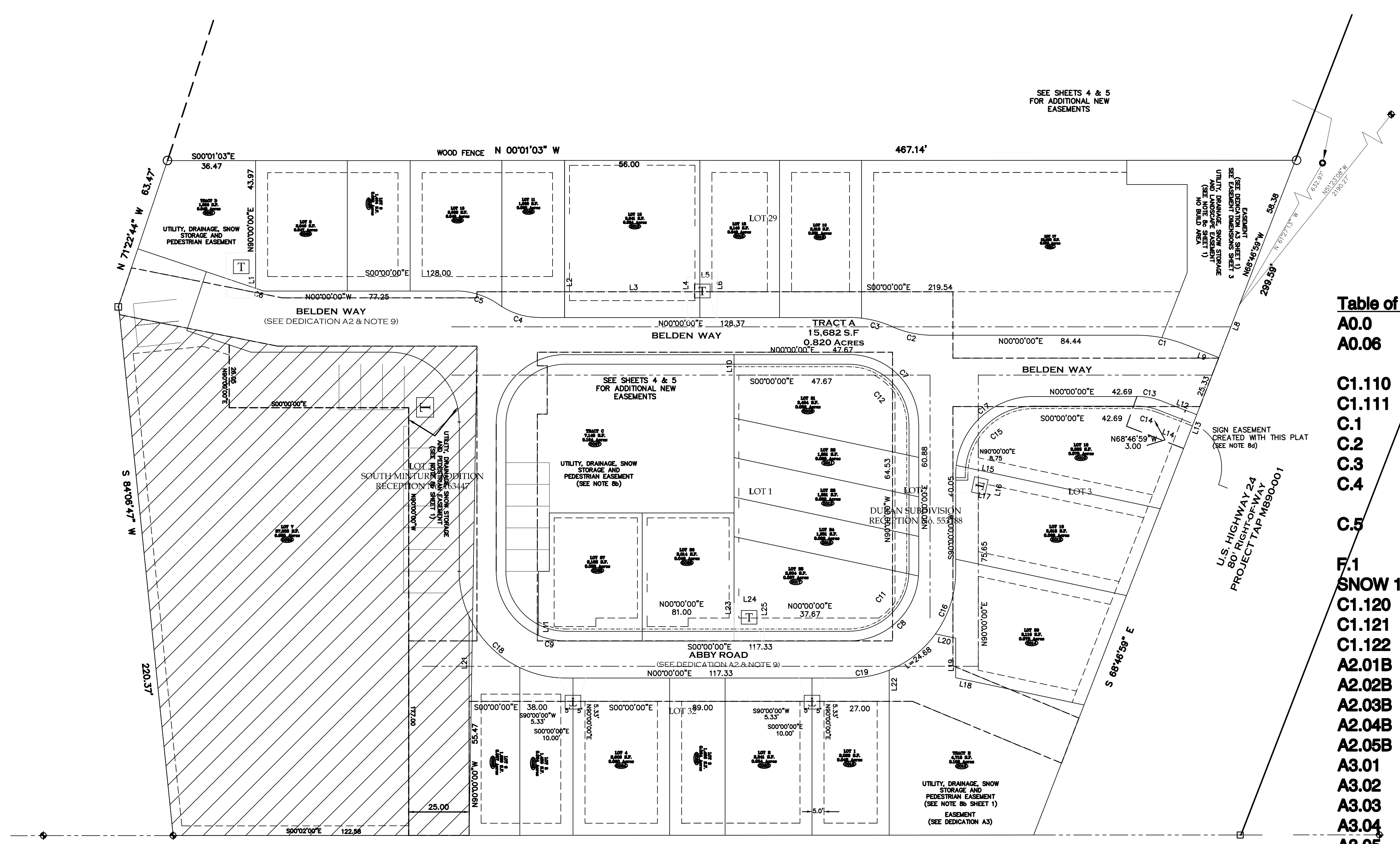
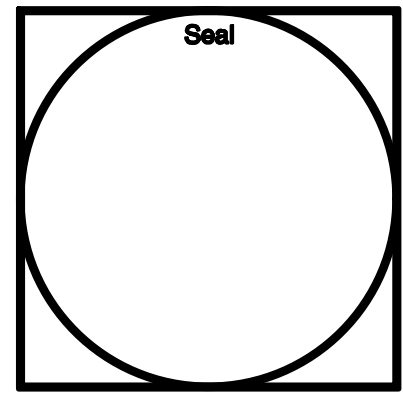
**TAB Associates**  
*The Architectural Balance*  
 0056 Edwards Village Blvd.  
 Edwards, CO 81622  
 (970) 766-1470  
 fax: (970) 766-1471  
 email: tab@tab.net  
 www.tabassociates.com

Civil Engineer:  
 (970) 963 9889  
 Timberline Engineering

Structural Engineer:  
 (303) 838-1983  
 James Hefficks

Mechanical Engineer:  
 (970) 241 8708  
 Bighorn Consulting Engineers

Electrical Engineer:



**Table of Contents**

- A0.0 COVER SHEET
- A0.06 PUD GUIDE INFORMATION
- FINAL PLAT
- C1.110 SURVEY
- C1.111 SITE PLAN
- C.1 SITE GRADING & DRAINAGE PLAN
- C.2 GARAGE DRAINAGE PLAN
- C.3 DRAINAGE DETAILS
- C.4 GARAGE ENTRANCE PLAN & PROFILE
- C.5 STORM WATER MANAGEMENT PLAN & DETAILS
- F.1 FIRE SITE PLAN
- SNOW 1 SNOW REMOVAL & STORAGE PLAN
- C1.120 LANDSCAPE PLAN
- C1.121 LANDSCAPE NOTES
- C1.122 LANDSCAPE DETAILS
- A2.01B GARAGE FLOOR PLAN - DIMENSIONS
- A2.02B FIRST FLOOR PLAN - DIMENSIONS
- A2.03B SECOND FLOOR PLAN - DIMENSIONS
- A2.04B THIRD FLOOR PLAN - DIMENSIONS
- A2.05B ROOF PLAN - DIMENSIONS
- A3.01 EXTERIOR ELEVATIONS
- A3.02 EXTERIOR ELEVATIONS
- A3.03 EXTERIOR ELEVATIONS
- A3.04 RENDERS
- A3.05 MATERIALS
- A3.06 LIGHT FIXTURES
- A5.01 DETAILS
- A5.02 DETAILS
- A5.03 DETAILS
- A5.04 DETAILS
- VICINITY MAP

**Belden Place - 12 Plex (Flats)**  
 Lot 7  
 0036 Abby Road, Minturn, Colorado 81645

Revisions:  
 1. BLDG DEP. CHGS. 08/29/2024

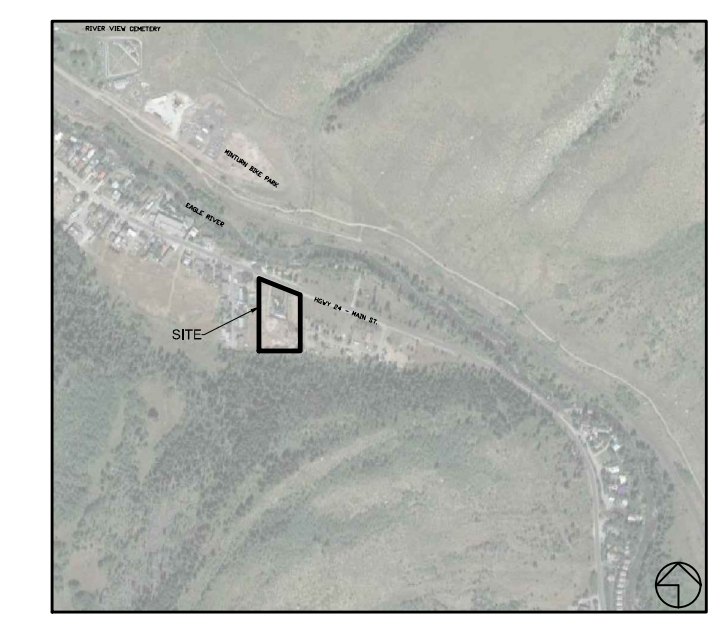
Issue Dates:  
 C06 - 12/18/2023

Sheet Title:  
**Cover Sheet**

Project No:  
**2136**

Sheet No:  
**A0.00**

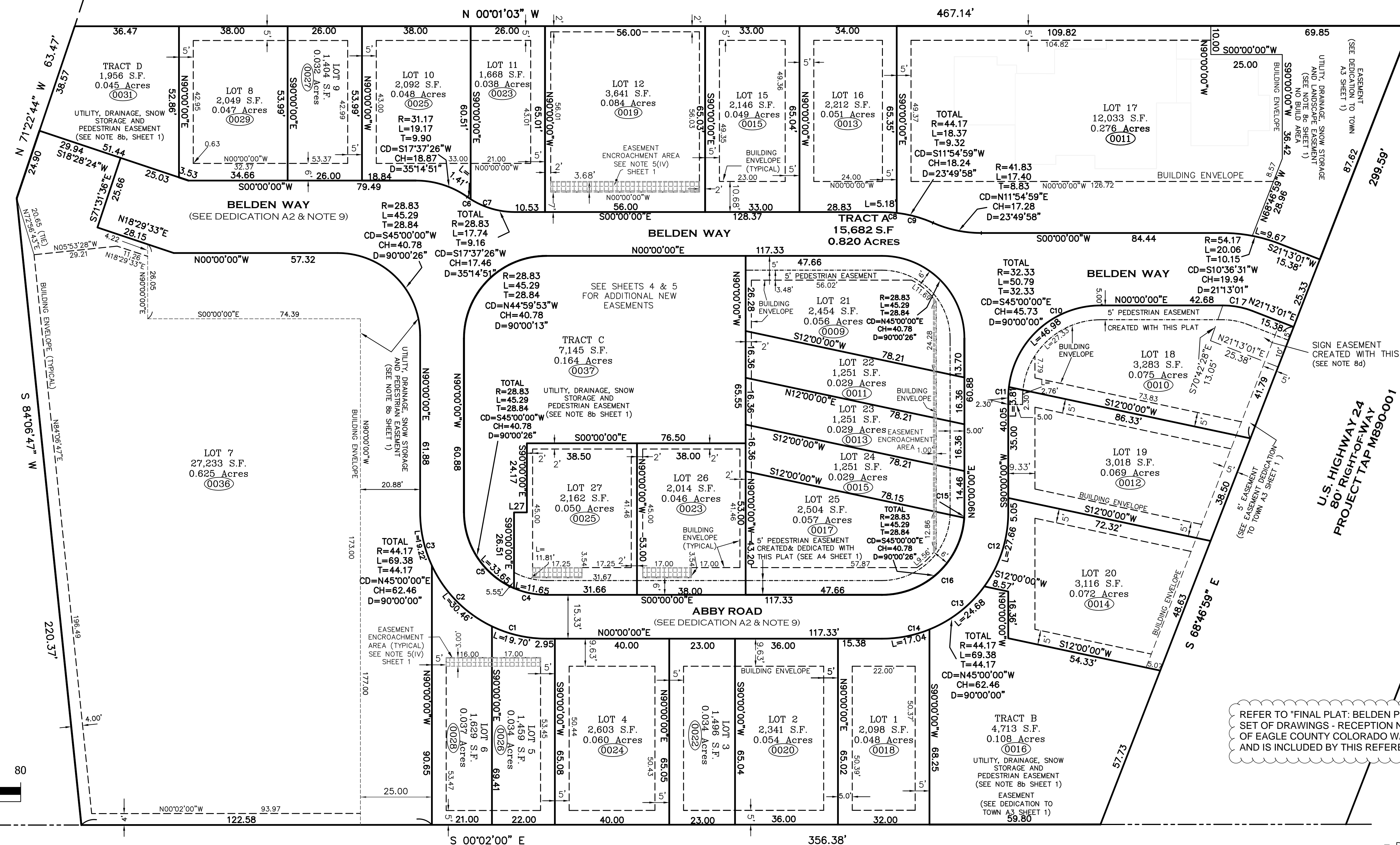
**Design Review Submittal - Rev.**  
**09/04/2024**



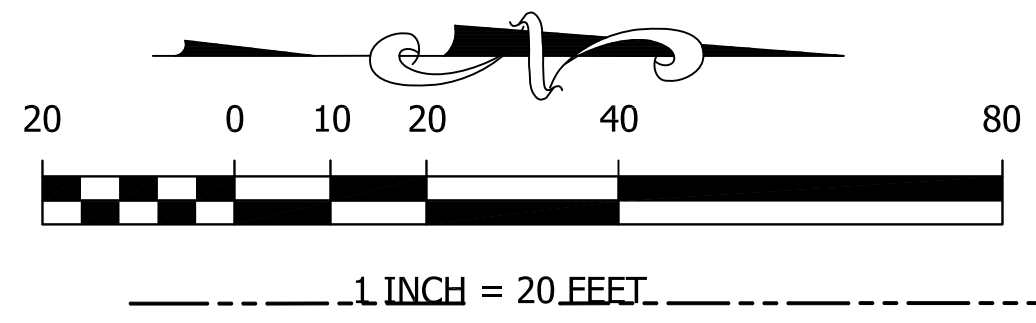
# FINAL PLAT BELDEN PLACE, P.U.D. Town of Minturn, County of Eagle, State of Colorado

SHEET 3 OF 5  
SUBDIVISION  
EASEMENTS

LOT 28  
SOUTH MINTURN ADDITION  
RECEPTION No. 163447



UNITED STATES OF AMERICA  
RECEPTION No. 186352



REFER TO "FINAL PLAT: BELDEN PLACE PUD" FOR FINAL AND FULL SET OF DRAWINGS - RECEPTION NUMBER 246983 OF THE RECORDS OF EAGLE COUNTY COLORADO WAS USED AS THE BASIS OF DESIGN AND IS INCLUDED BY THIS REFERENCE.

--- = PLATTED BUILDING ENVELOPE  
 - - - - - = PEDESTRIAN EASEMENT  
 [Hatched Area] = EASEMENT ENCROACHMENT AREA SEE NOTE 5(V)

CURVE TABLE						
CURVE	LENGTH	RADIUS	Tangent	Chord	Chd Bng	Delta
C1	19.70	44.17	10.01	19.53	N12°46'33"E	25°33'06"
C2	30.46	44.17	15.86	29.86	N45°18'32"E	39°30'53"
C3	19.22	44.17	9.76	19.07	N77°31'59"E	24°56'01"
C4	11.65	28.83	5.91	11.57	N11°34'15"E	23°08'56"
C5	33.65	28.83	19.03	31.77	N56°34'28"E	66°51'30"
C6	1.41	28.83	0.71	1.41	N33°50'32"E	2°48'39"
C7	16.32	28.83	8.39	16.11	N16°13'06"E	32°26'12"
C8	5.18	44.17	2.59	5.18	S03°21'35"W	6°43'11"
C9	13.19	44.17	6.65	13.14	S15°16'34"W	17°06'47"
C10	46.98	32.33	28.73	42.95	S41°37'23"E	83°14'46"
C11	3.81	32.33	1.91	3.81	S86°37'23"E	6°45'14"
C12	27.66	44.17	14.30	27.21	N72°03'40"W	35°52'40"
C13	24.68	44.17	12.67	24.36	N38°06'40"W	32°01'20"
C14	17.04	44.17	8.63	16.93	N11°03'00"W	22°06'00"
C15	1.89	28.83	0.94	1.89	N88°07'42"W	3°45'03"
C16	43.41	28.83	27.01	39.42	N43°07'29"W	86°15'24"
C17	10.68	28.83	5.40	10.62	N10°36'31"E	21°13'28"

L27 = S00°00'00"W 4.50

UNITED STATES OF AMERICA  
RECEPTION No. 246983



Matthew S. Slagle PLS 34998  
Professional Land Surveyor  
State of Colorado



**SLAGLE SURVEY SERVICES**  
 800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631  
 970.471.1499 Office    matthew@slaglesurvey.com  
 www.SlagleSurvey.com

**FINAL PLAT  
BELDEN PLACE, P.U.D.**  
 Town of Minturn, County of Eagle, State of Colorado

DRAWN BY: MSS	JOB NUMBER: 18029	DRAWING NAME: 18029_PUD-23.dwg
SHEET 3 OF 5	DATE: 11-11-2023	

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.



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# Belden Place - 12 Plex (Flats) Lot 7

0036 Abby Road, Minturn, Colorado 81645

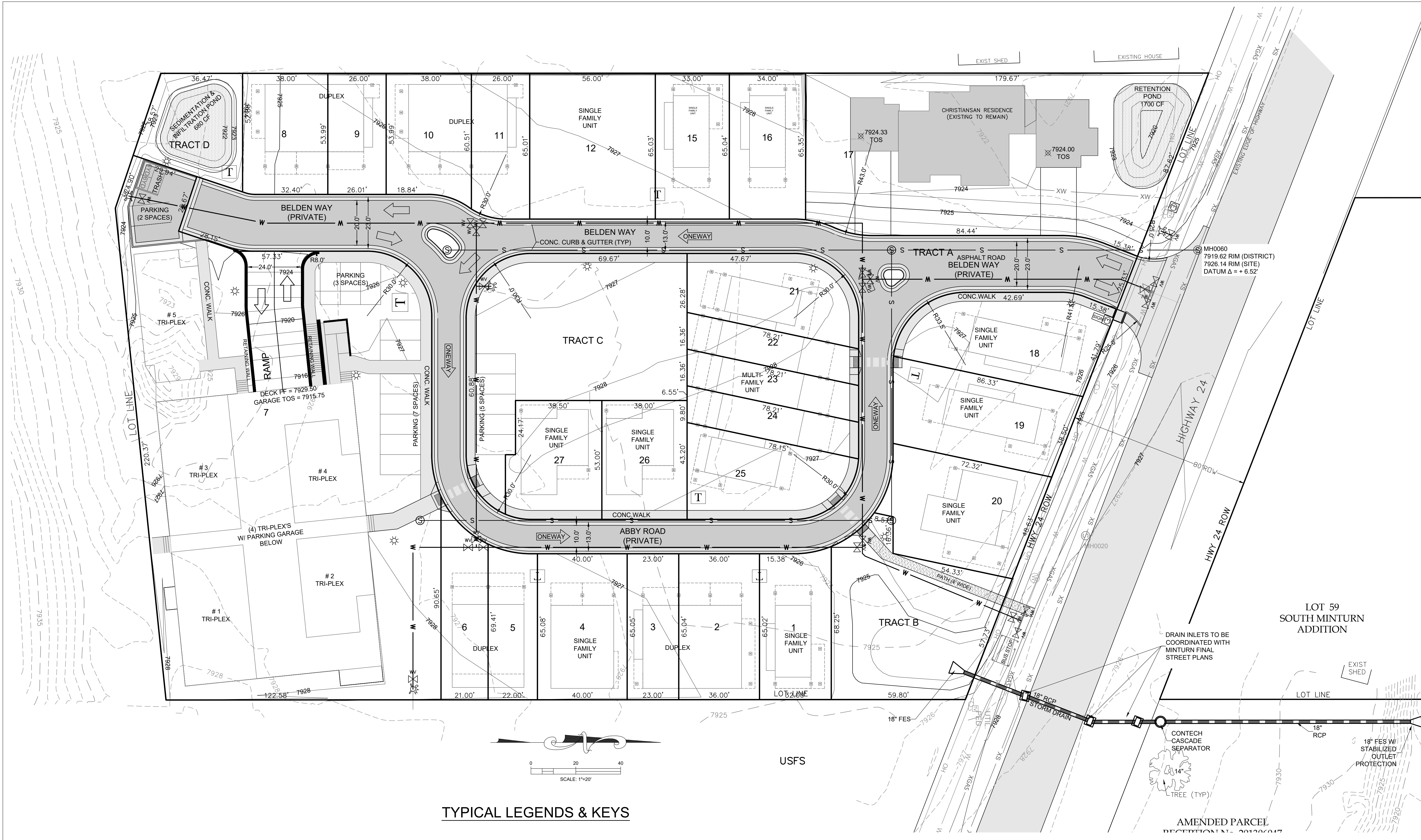
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DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1

PROPOSED SITE PLAN

Sheet:

C.111



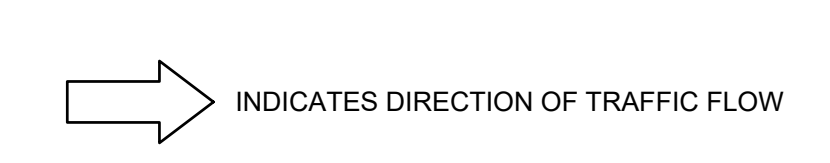
### TYPICAL LEGENDS & KEYS

- AD = AREA DRAIN
- CFS = CUBIC FEET PER SECOND
- CONC = CONCRETE
- EC = EDGE OF CONCRETE
- EOA = EDGE OF ASPHALT
- EP = EDGE OF PAVEMENT
- EX = EXISTING
- FF = FINISHED FLOOR
- FG = FINISHED GRADE
- FL = FLOW LINE
- GD = GRADE/GROUND
- HP = HIGH POINT
- LP = LOW POINT
- TBC = TOP BACK OF CURB
- TD = TRENCH DRAIN
- TOS = TOP OF SLAB
- TOW = TOP OF WALL
- TYP = TYPICAL
- WH = WALL HEIGHT
- TOW = TOP BACK OF WALK
- EL = ELEVATION
- TOP = TOP OF PIPE

- CONTOUR LEGEND:**
- EXISTING 1' CONTOUR --- 7929
  - EXISTING 5' CONTOUR --- 7930
  - PROPOSED 1' CONTOUR --- 7929
  - PROPOSED 5' CONTOUR --- 7930
- EXISTING UTILITIES LINE KEY:**
- WATER --- XW ---
  - SEWER --- XS ---
  - OVERHEAD ELEC, TELE, CATV --- OH ---
  - GAS --- XGAS ---

- EXISTING UTILITIES SYMBOL KEY:**
- Water Vault
  - Water Valve
  - Fire Hydrant
  - Sewer Manhole
  - Utility Pole
  - Electric Transformer
  - Cable TV Pedestal

- PROPOSED UTILITY SYMBOL KEY:**
- Water Vault
  - Water Valve
  - Fire Hydrant
  - Sewer Manhole
  - Utility Pole
  - Electric Transformer
  - Cable TV Pedestal
  - Electric Splice Vault
  - Street Light

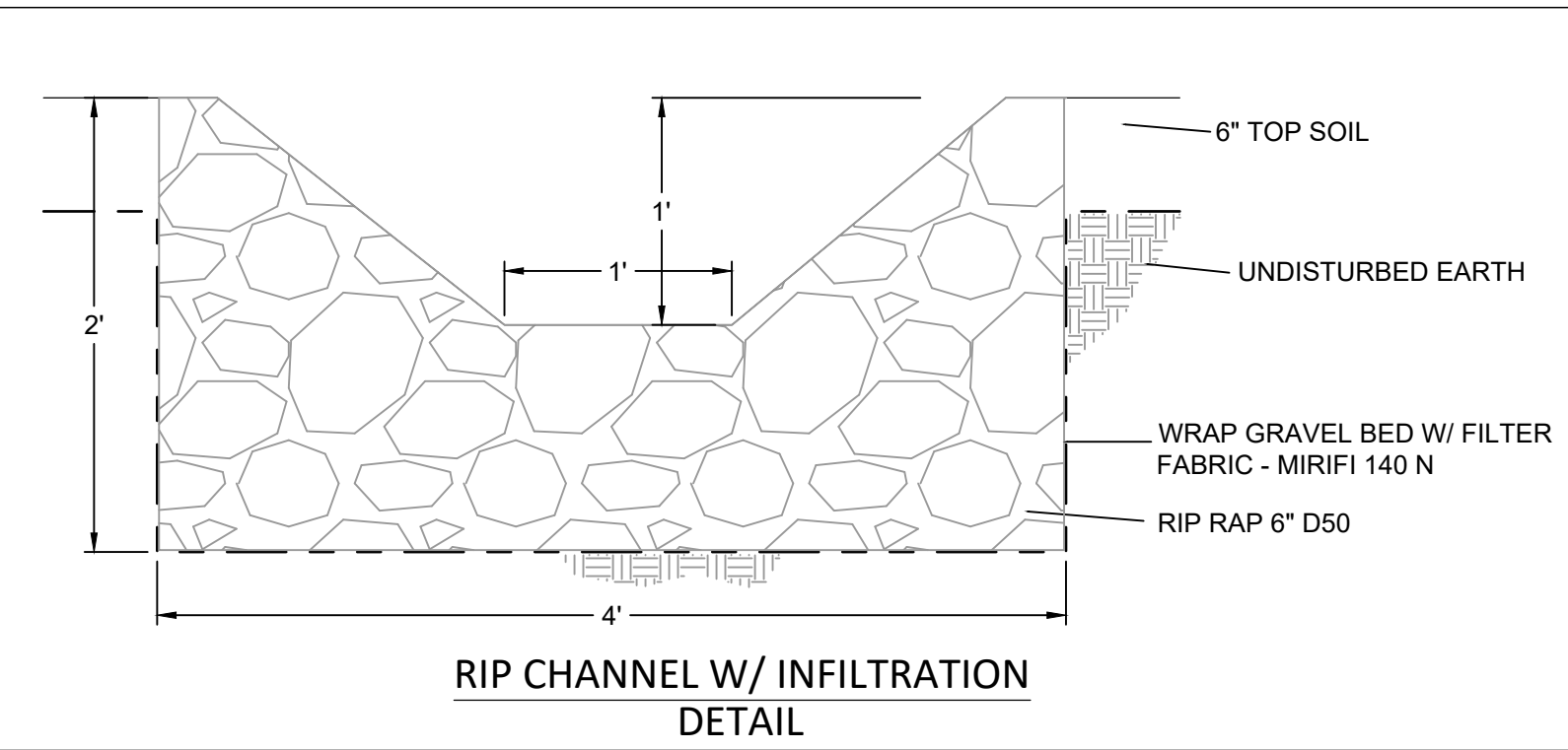
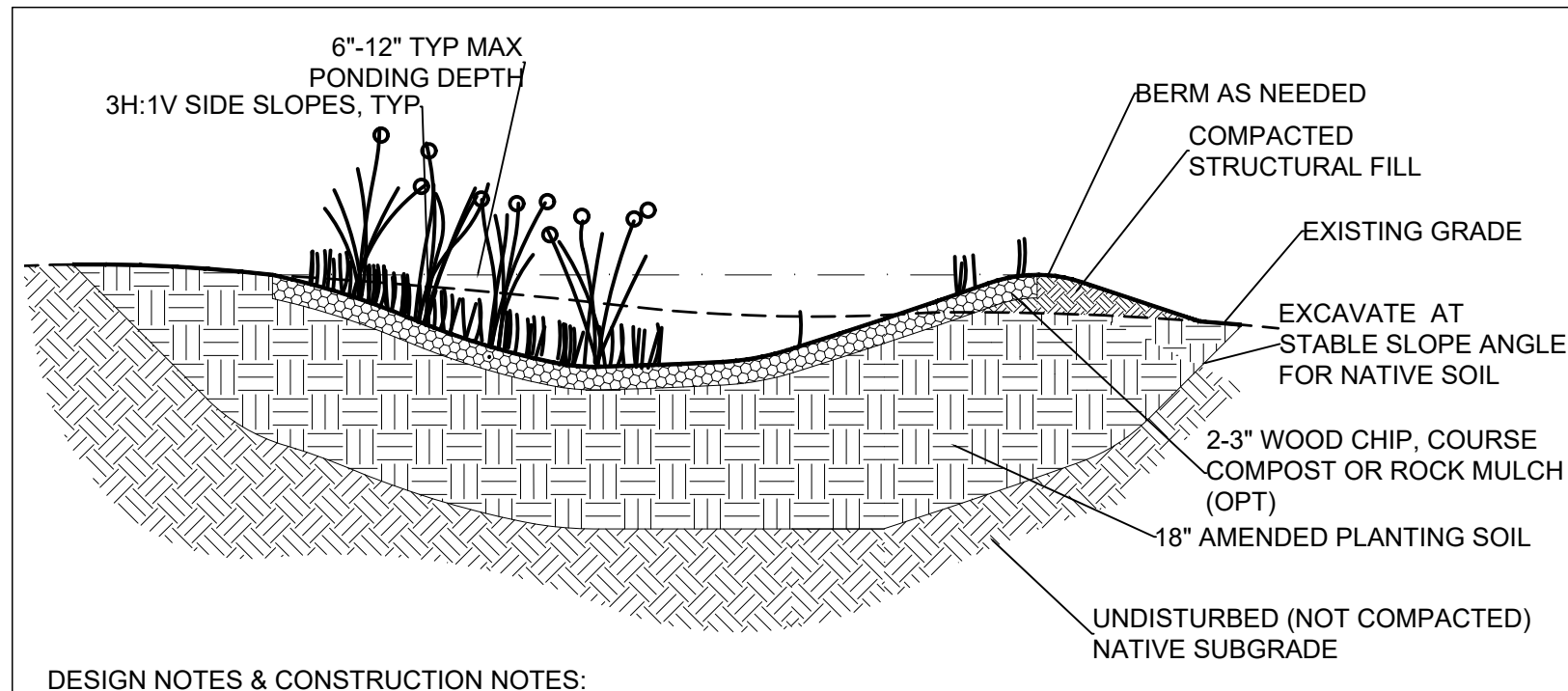


- LINE KEY:**
- WATER --- W ---
  - SEWER --- S ---

**PARKING NOTES:**  
 PARKING SPACES 9' X 18' MIN.

REFER TO "BELDEN PLACE PUD - FINAL PLAN SUBMITTAL" FOR FULL DEVELOPMENT SITE PLANE, PREPARED BY TIMBERLINE ENGINEERING DATE JULY 12, 2024, WAS USED AS THE BASIS OF DESIGN AND IS INCLUDED BY THE REFERENCE.

**EARTHWORK:**  
 5175 CYD CUT  
 8130 CYD FILL  
 2955 CYD NET <FILL>  
 (DOES NOT INCLUDE ONSITE HAUL-IN ±1000 CYD)



**SHEET INDEX:**

- C.1 SITE GRADING & DRAINAGE PLAN
- C.2 GARAGE DRAINAGE PLAN
- C.3 DRAINAGE DETAILS
- C.4 GARAGE ENTRANCE PLAN & PROFILE
- C.5 STORM WATER MANAGEMENT PLAN

- DESIGN NOTES & CONSTRUCTION NOTES:**
1. PLANT WITH PLANTS PER LANDSCAPE ARCHITECT DWGS. NATIVE PLANTS ARE PREFERRED, BECAUSE NON-NATIVE AND INVASIVE SPECIES CAN MOVE DOWNSTREAM AND DAMAGE HABITAT. IF NON-NATIVES ARE CHOSEN, BE SURE THAT THEY WILL NOT DAMAGE DOWNSTREAM HABITAT.
  2. BUILD AND VEGETATE RAIN GARDEN AS EARLY AS POSSIBLE TO ESTABLISH PLANTINGS BEFORE DIRECTING STORMWATER RUNOFF TO IT OR DIVERT STORMWATER AROUND FACILITY. PREFERABLY, THIS PERIOD WOULD LAST A MINIMUM OF 3 MONTHS OR PER LANDSCAPE ARCHITECT/DESIGNER GUIDELINES.
  3. INFILTRATION AREAS (THE AREA OF THE RAIN GARDEN AS DEFINED BY THE TOP ELEVATION OF THE FACILITY) SHALL BE FENCED OFF FROM THE FIRST DAY OF EARTH MOVING UNTIL PROJECT COMPLETION TO PREVENT COMPACTION OF THE SUBGRADE, DIRT TRACKING ONTO ANY LAYER OF THE FACILITY AND STOCKPILING OF CONSTRUCTION MATERIALS THAT MAY CLOG THE SURFACE.
  4. DURING EXCAVATION OF NATIVE SOILS TO THE BOTTOM OF THE FACILITY, RAINFALL MAY CAUSE FINES TO CLOG THE SURFACE OF THE FACILITY. IF THE NATIVE SOIL HAS BEEN EXPOSED TO RAINFALL, HAND RAKE THE SURFACE TO A DEPTH OF 3" TO RESTORE INFILTRATION CAPACITY.
  5. CALL THE CIVIL ENGINEER 48 HOURS IN ADVANCE OF CONSTRUCTING THIS FACILITY SO CONSTRUCTION OBSERVATION MAY BE PERFORMED TO IDENTIFY VARIATIONS IN THE FIELD THAT MAY AFFECT DESIGN AND VERIFY PROPER CONSTRUCTION.
  6. DURING INSTALLATION, DISTURB NATIVE SOILS AS LITTLE AS POSSIBLE.

**RAIN GARDEN DETAIL**

**ABBREVIATION KEY**

AD	= AREA DRAIN
CFS	= CUBIC FEET PER SECOND
CONC	= CONCRETE
EC	= EDGE OF CONCRETE
EOA	= EDGE OF ASPHALT
EP	= EDGE OF PAVEMENT
EX	= EXISTING
FF	= FINISHED FLOOR
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FL	= FLOW LINE
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TOW	= TOP OF WALL
TYP	= TYPICAL
WH	= WALL HEIGHT
TOW	= TOP BACK OF WALK
EL	= ELEVATION
TOP	= TOP OF PIPE
WV	= WATER VALVE
WW	= WINDOW WELL

**CONTOUR LEGEND:**

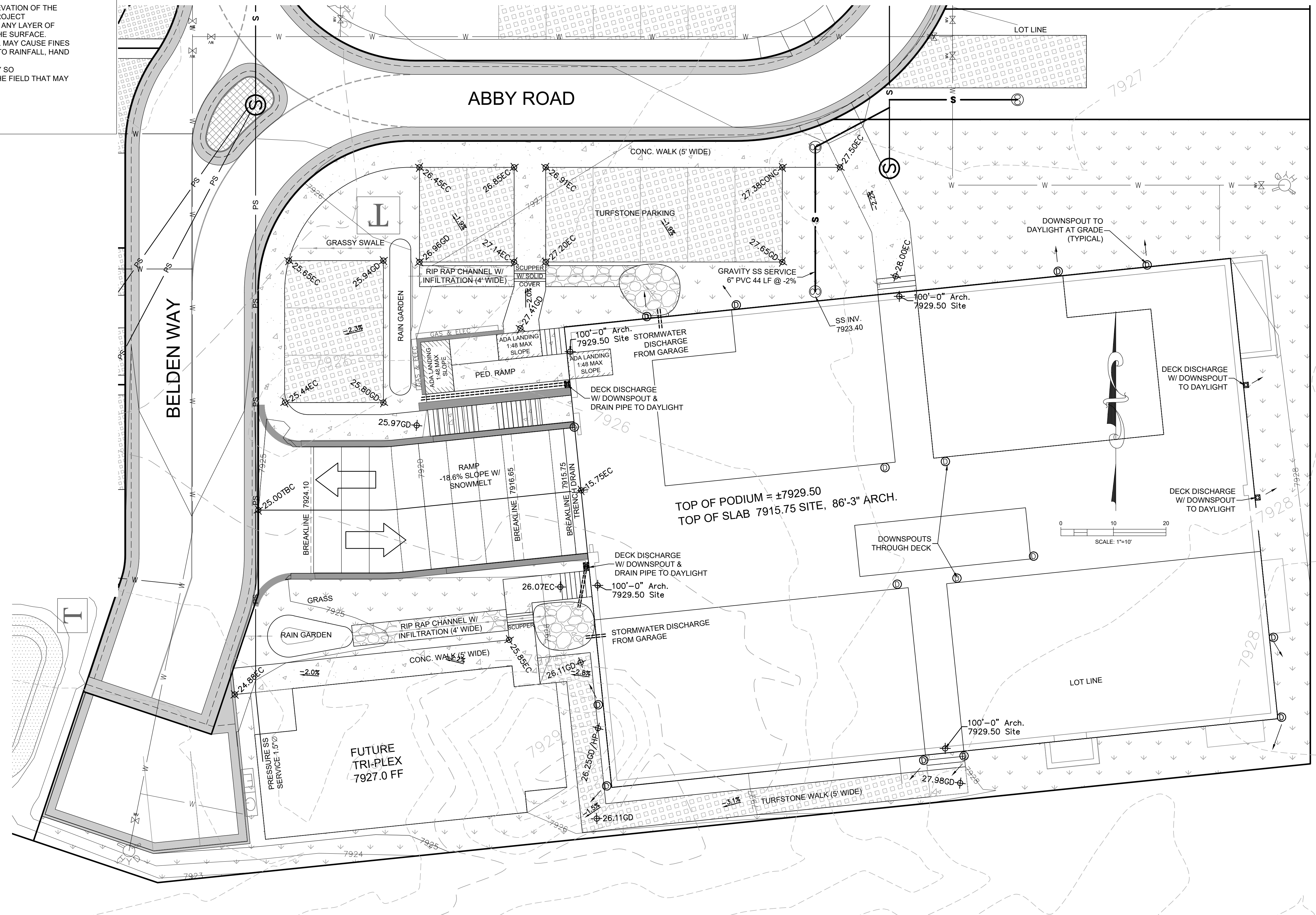
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EXISTING 5' CONTOUR	----- 7930
PROPOSED 1' CONTOUR	----- 7929
PROPOSED 5' CONTOUR	----- 7930

**LINE KEY:**

WATER	----- W
SEWER	----- S

**PROPOSED UTILITY SYMBOL KEY:**

	WATER VAULT		STREET LIGHT
	WATER VALVE		
	FIRE HYDRANT		
	SEWER MANHOLE		
	UTILITY POLE		
	ELECTRIC TRANSFORMER		
	CABLE TV PEDESTAL		
	ELECTRIC SPLICE VAULT		



**TIMBERLINE ENGINEERING** CIVIL STRUCTURAL  
 218 E. Valley Rd. P 970.963.9869  
 STE 104-PMB 177  
 Carbonade, Colorado 81623  
 timberlineengineering@gmail.com



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**Belden Place - 12 Plex (Flats) Lot 7**

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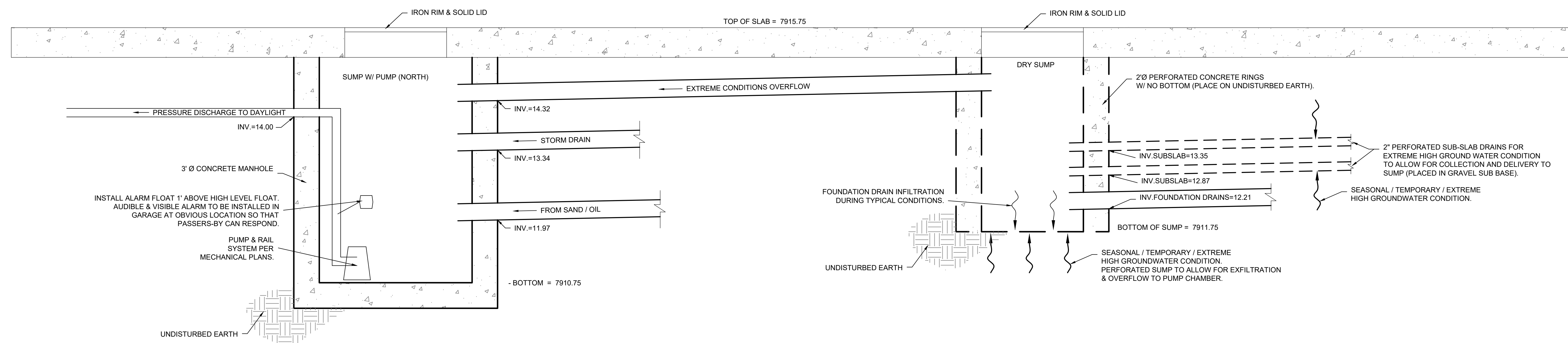
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DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1
9/4/24	Review comments 2

Title: **SITE GRADING & DRAINAGE PLAN**

Sheet: **C.1**





**DRY SUMP & NORTH DRAINAGE SCHEMATIC**

**TIMBERLINE**  
ENGINEERING  
CIVIL STRUCTURAL

218 E. Valley Rd.  
STE 104-PMB 177  
Carbondale, Colorado 81623  
p 970.963.9869  
timberlineengineering@gmail.com

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**Belden Place - 12 Plex (Flats)**  
**Lot 7**

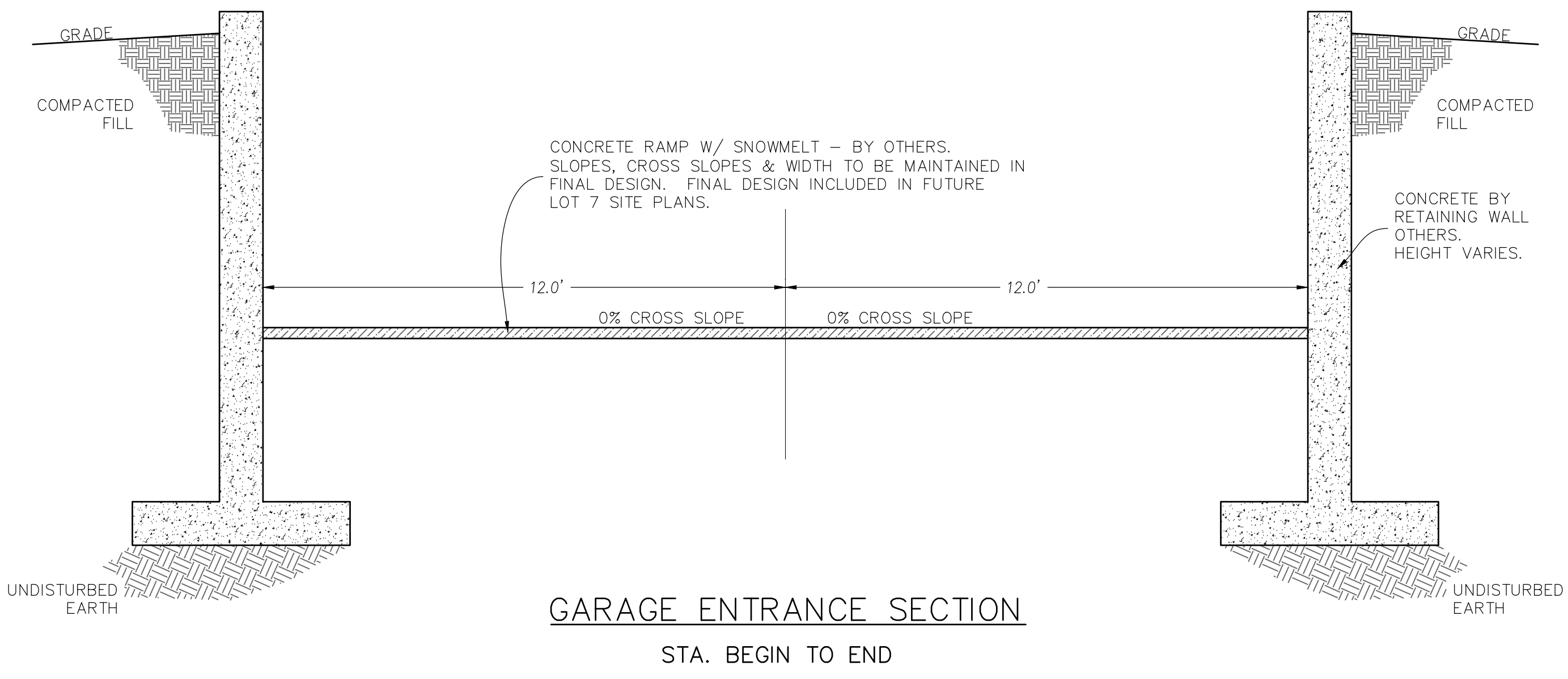
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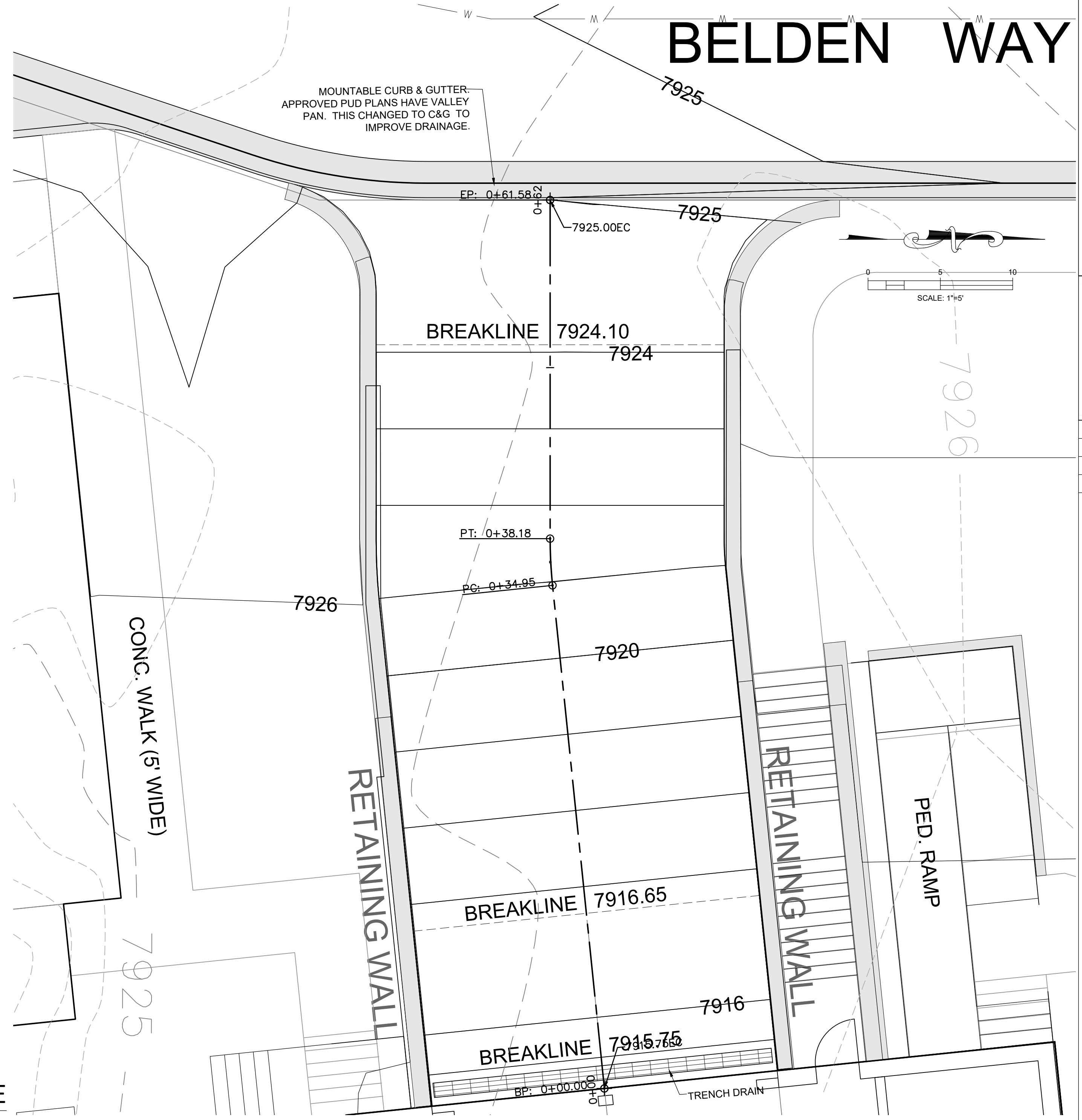
DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1
9/4/24	Review comments 2

Title:  
**DRAINAGE DETAILS**

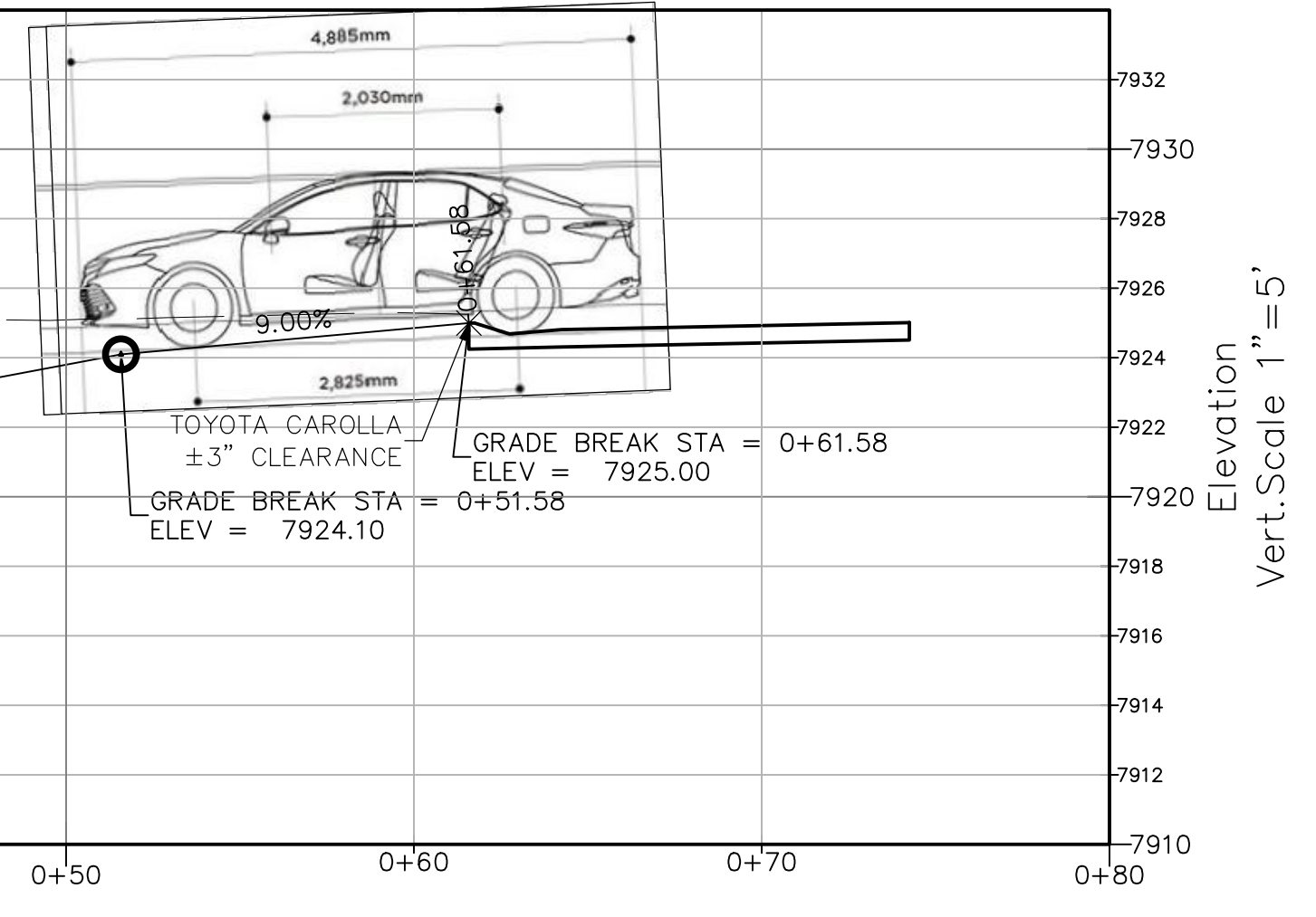
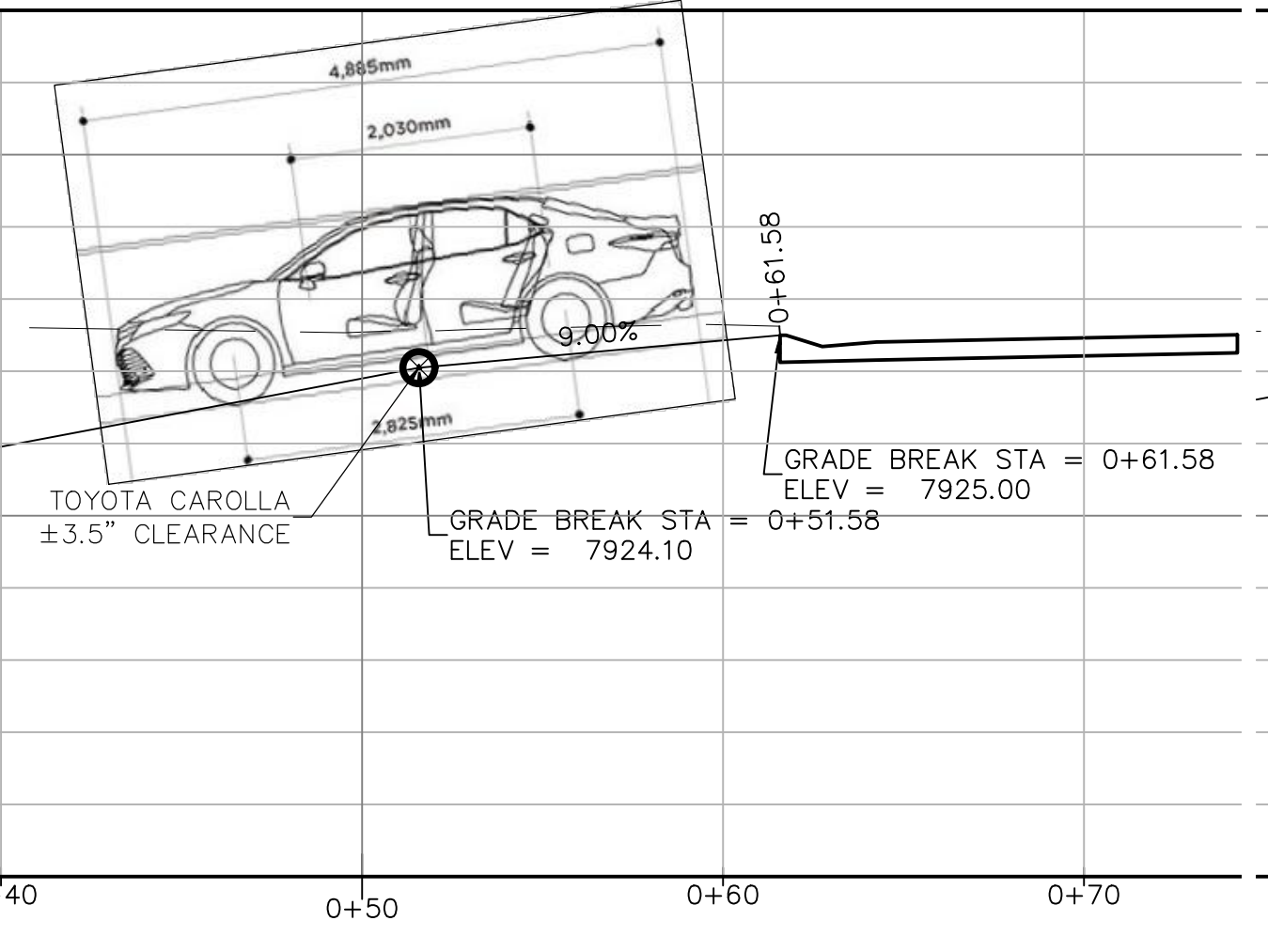
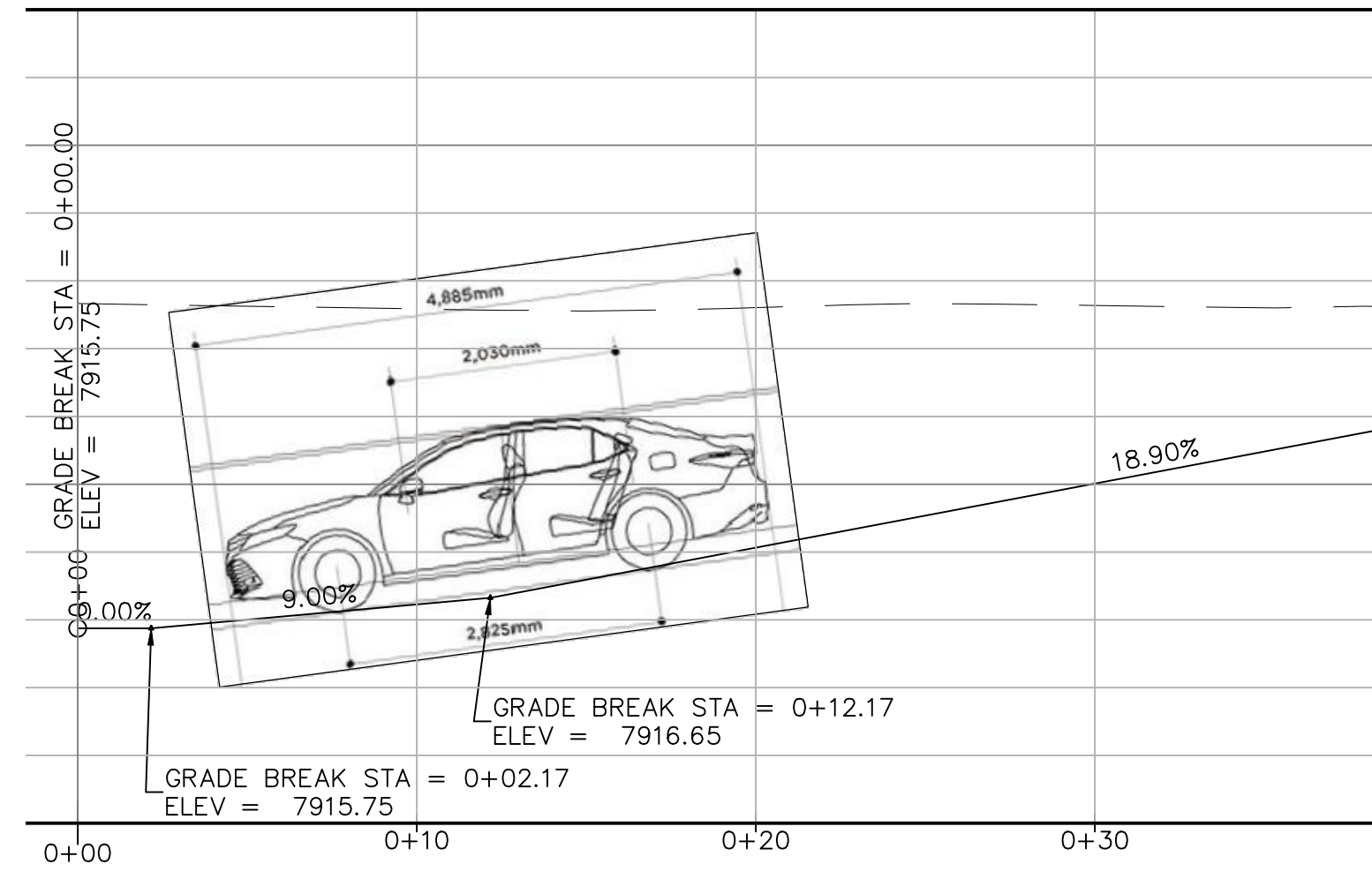
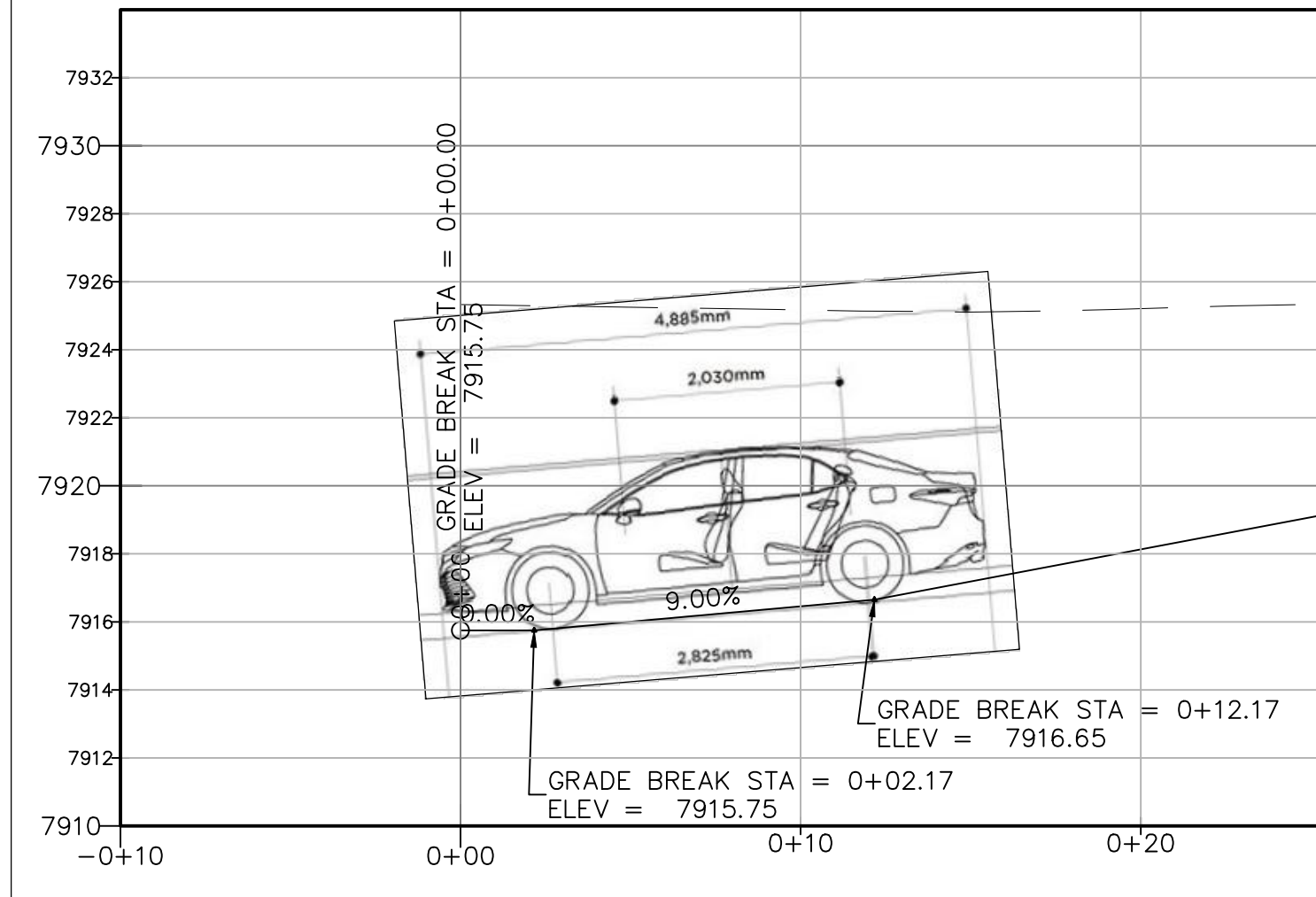
Sheet:  
**C.3**



**GARAGE ENTRANCE SECTION**  
STA. BEGIN TO END



**GARAGE ENTRANCE PROFILE W/ VEHICLE CLEARANCE**



Station  
Horiz. Scale 1"=5'

Elevation  
Vert. Scale 1"=5'

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 218 E. Valley Rd. P 970.963.9869  
 STE 104-PMB 177 Carbonade, Colorado 81623  
 timberlineengineering@gmail.com

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**Belden Place - 12 Plex (Flats)**  
**Lot 7**

0036 Abby Road, Minturn, Colorado 81645

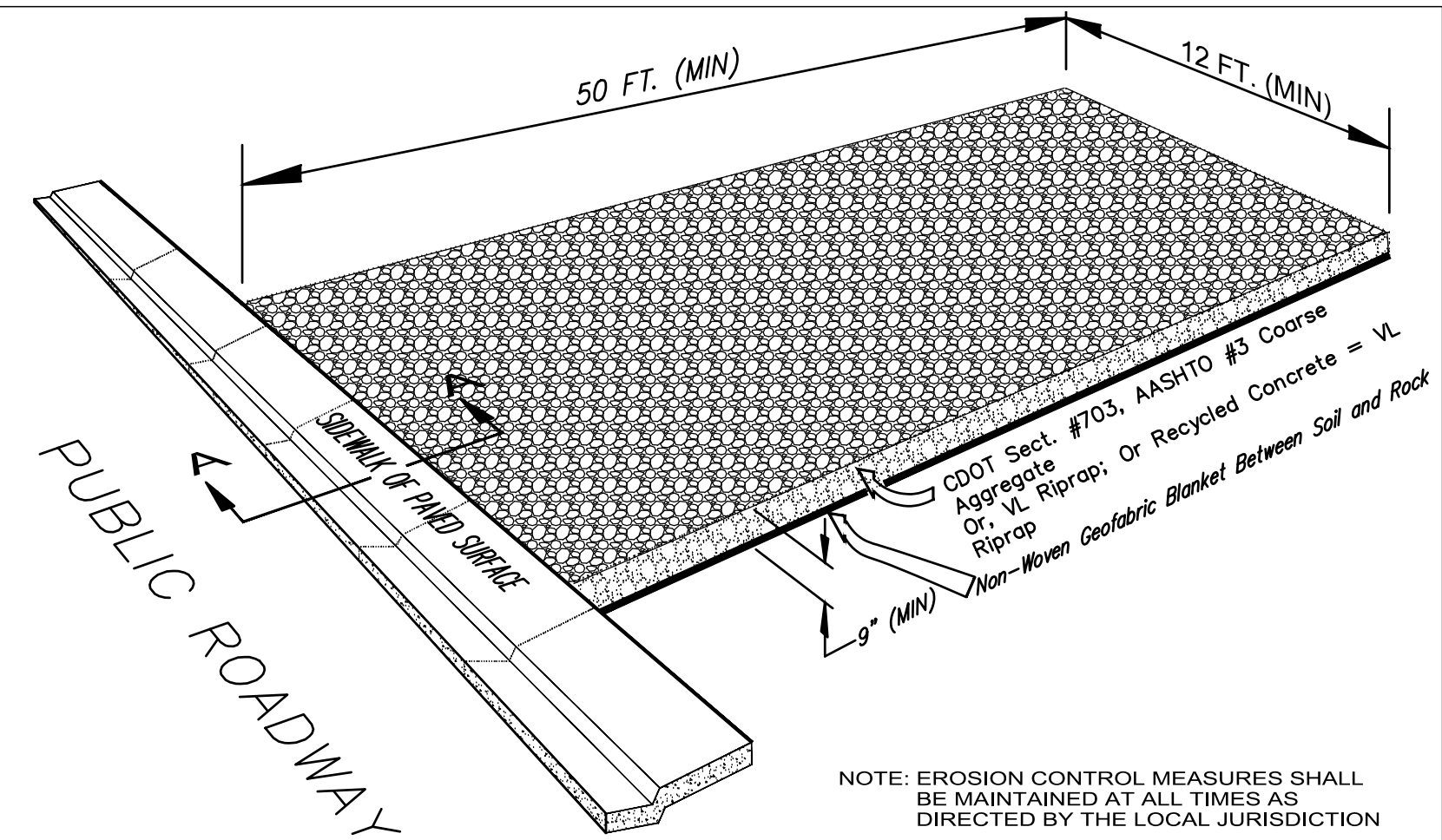
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DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1
9/4/24	Review comments 2

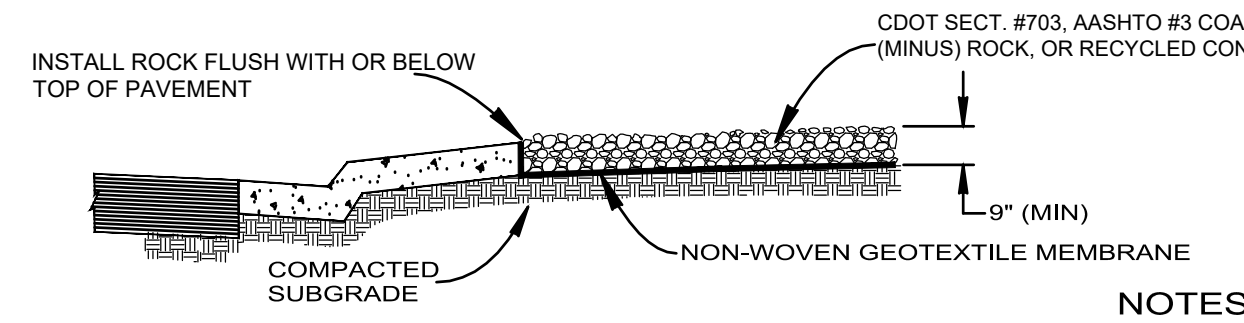
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**GARAGE ENTRANCE PLAN & PROFILE**

Sheet:

**C.4**



NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES AS DIRECTED BY THE LOCAL JURISDICTION

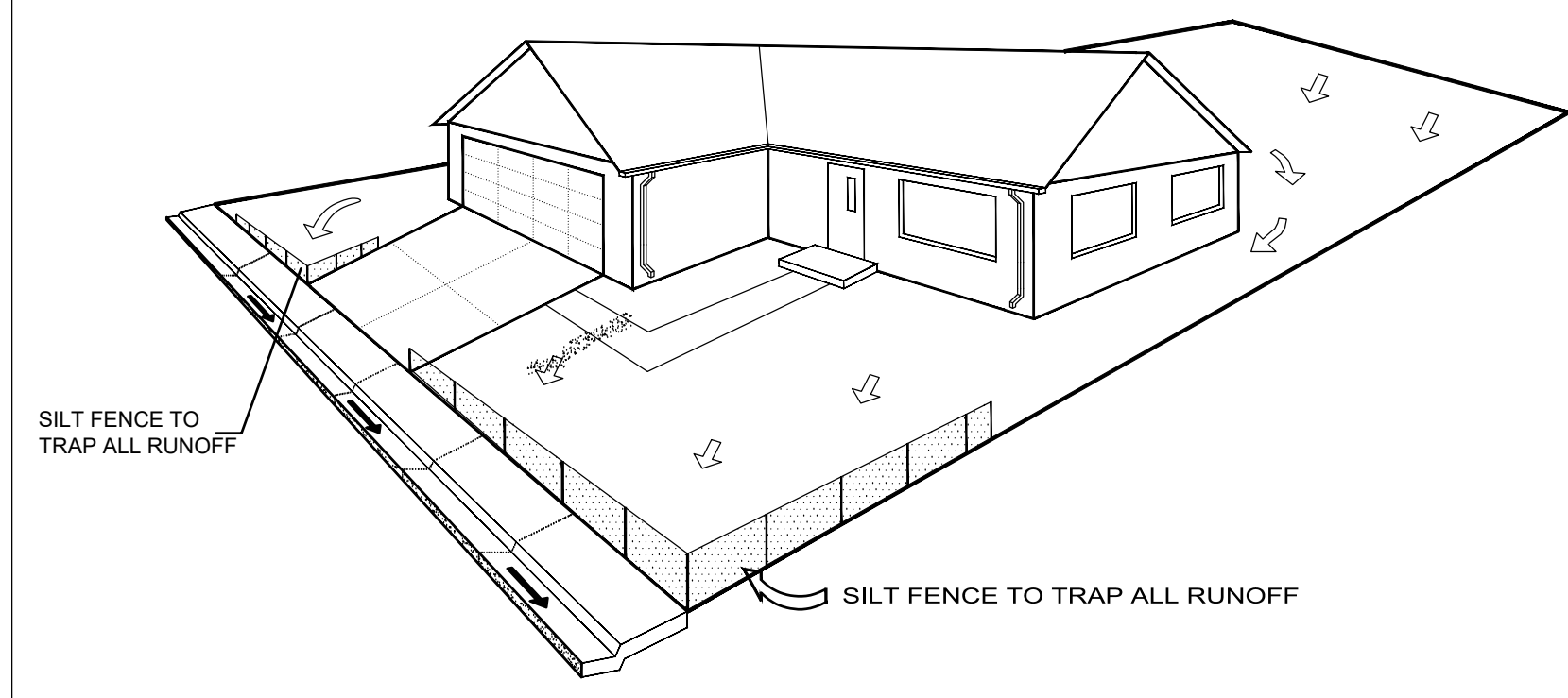


SECTION A-A  
-NTS-

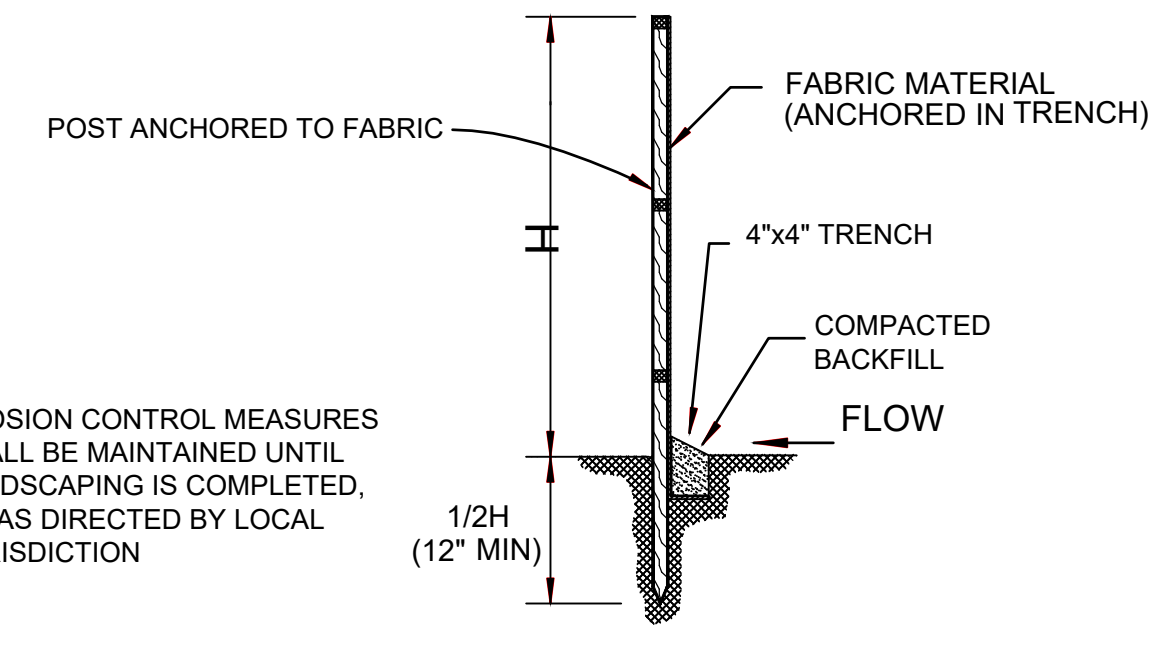
TEMPORARY VEHICLE TRACKING CONTROL  
DETAIL

- NOTES
1. ALL ROCK TO BE REMOVED UPON COMPLETION OF CONSTRUCTION.
  2. PUBLIC ROADWAY TO BE KEPT CLEAN AND FREE OF MUD, DIRT AND DEBRIS AT ALL TIMES.

SILT FENCE INSTALLATION  
DETAIL

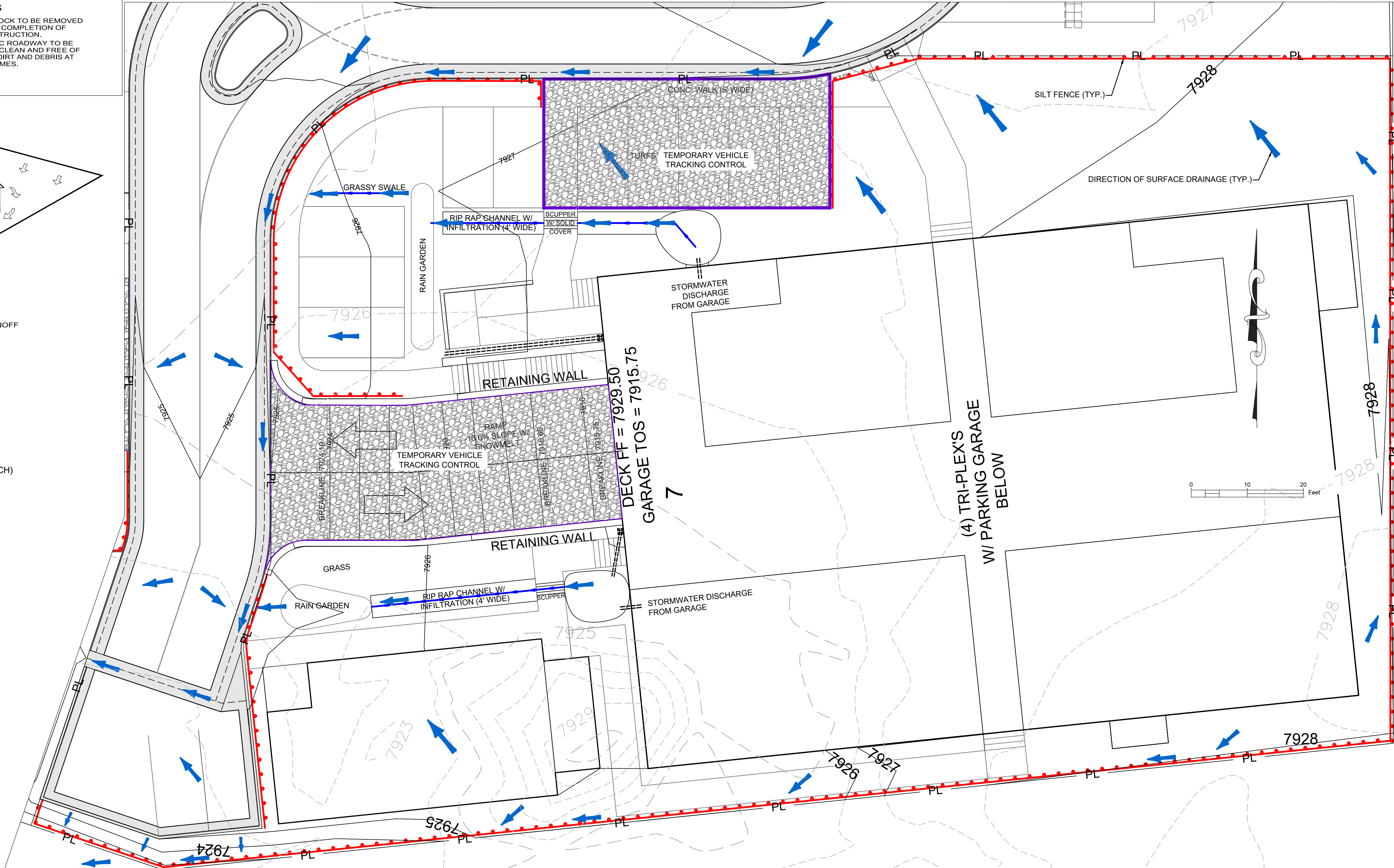
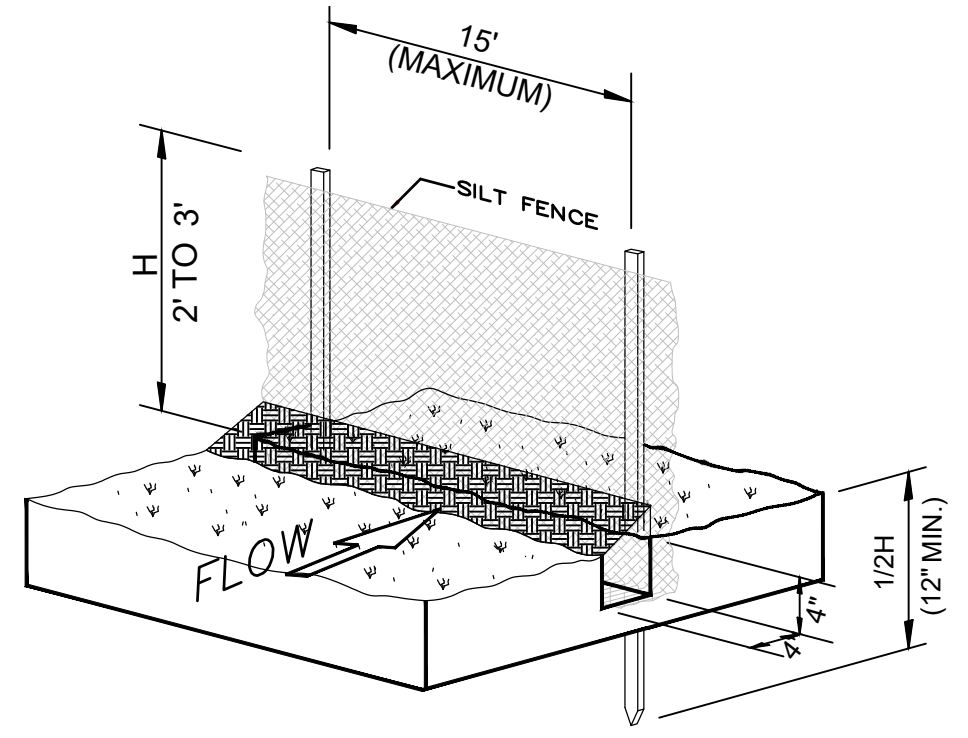


NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES AS DIRECTED BY LOCAL JURISDICTION



SECTION  
-NTS-

NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL LANDSCAPING IS COMPLETED, OR AS DIRECTED BY LOCAL JURISDICTION



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 STE 104-PMB 177  
 Carbonade, Colorado 81623  
 timberlineengineering@gmail.com



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**Belden Place - 12 Plex (Flats)  
Lot 7**

0036 Abby Road, Minturn, Colorado 81645

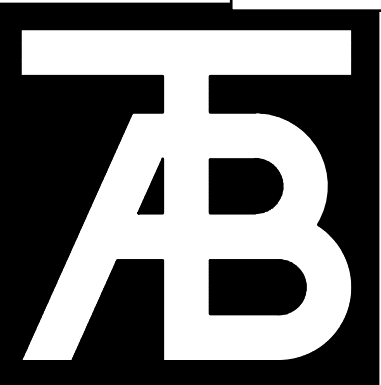
NOT FOR CONSTRUCTION

DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1
9/4/24	Review comments 2

Title:  
STORM WATER MANAGEMENT PLAN & DETAILS

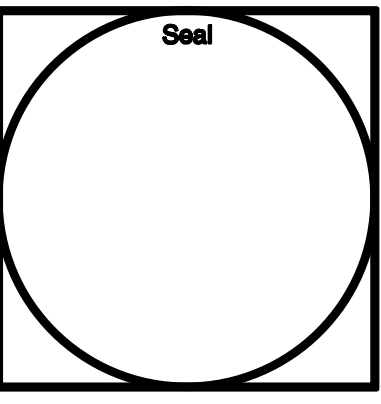
Sheet:

C.5



**TAB Associates**

*The Architectural Balance*  
 0056 Edwards Village Blvd.  
 Edwards, CO 81622  
 (970) 766-1470  
 fax: (970) 766-1471  
 email: tab@tab.com  
 www.tabassociates.com  
 Civil Engineer:  
 Timberline Engineering  
 (970) 963-9899  
 Structural Engineer:  
 James Hendrick  
 (303) 839-1963  
 Mechanical Engineer:  
 Bligham Consulting Engineers  
 (970) 241-8709  
 Electrical Engineer:



**Belden Place - 12 Plex (Flats)**  
**Lot 7**  
 0036 Abby Road, Mintum, Colorado 81645

Revisions:

Issue Dates:  
**CDs - 12/12/2023**

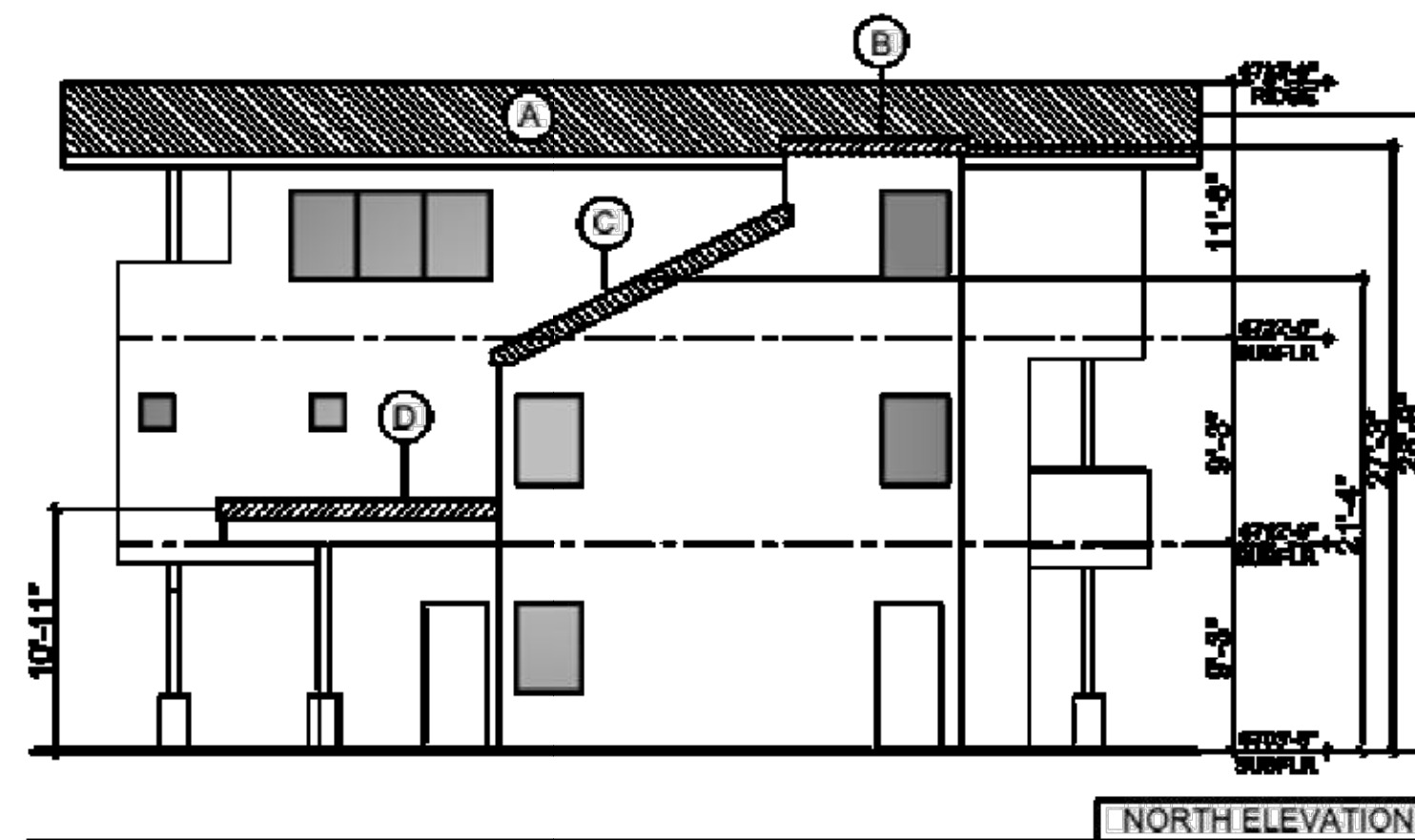
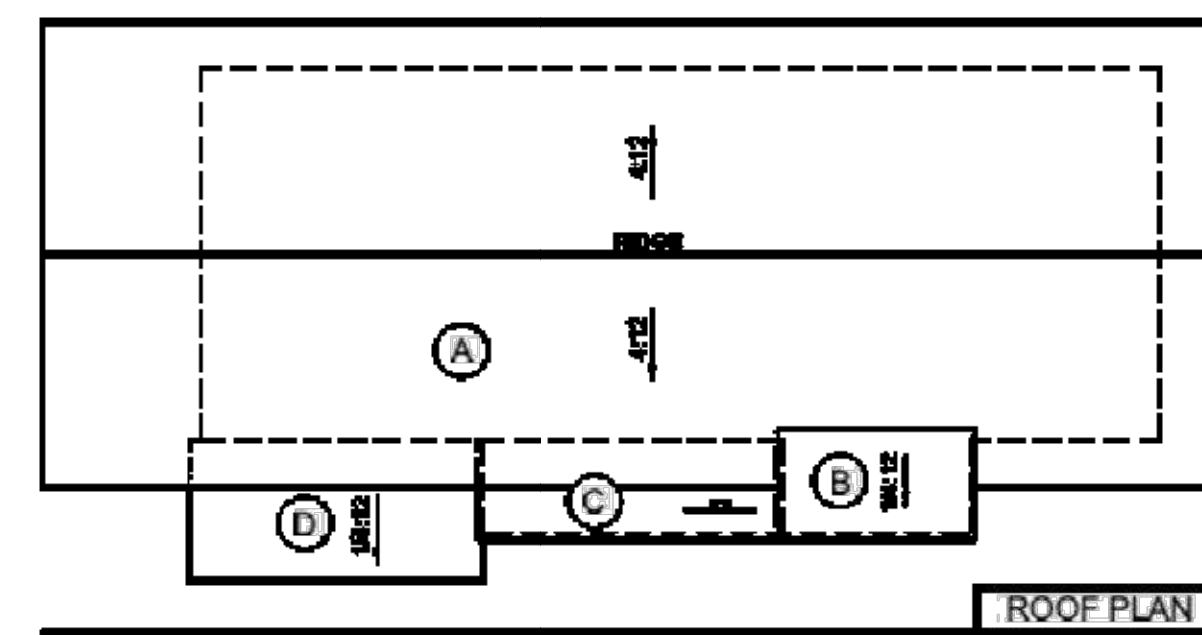
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**PUD Information**

Project No:  
**2136**  
 Sheet No:  
**A0.06**

**BELDEN PLACE PUD GUIDE INFORMATION**

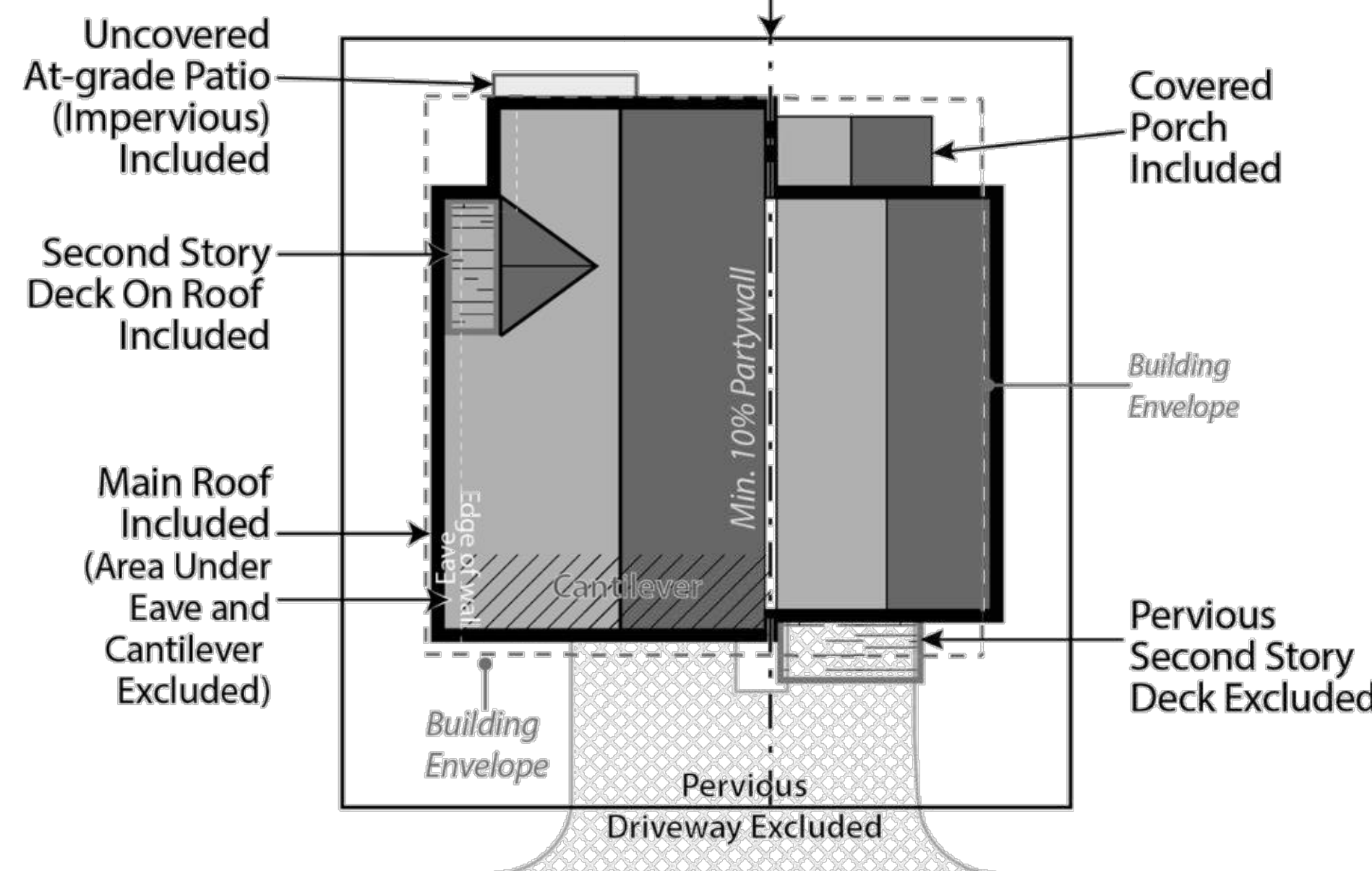
The following is an abbreviated version of information found in the PUD guide.

**Building Height.** Determining building height uses a weighted height calculation as measured from final/finished grade. Max heights - 28' for single famil and duplex, 35' for Row Houses and Flats.



ROOF AREA	ROOF AREA SQ. FT.	ROOF AREA %	Avg HEIGHT	WEIGHTED CLASS
A	589	56.1	28'-0"	2,428.28'
B	49	5.0	21'-0"	1,029.00'
C	55	4.8	21'-0"	1,155.00'
D	78	7.8	24'-0"	1,872.00'
<b>TOTAL</b>	<b>1,169</b>	<b>100.0</b>	<b>-</b>	<b>2,464.28'</b> <b>2,464.28' / 100 = 24.64' Avg ROOF HT</b>

**Site Coverage.** Site coverage means the portion of a lot covered by materials forming any unbroken surface, impervious to water including, but not limited to: buildings, streets, slab on-grade patios, exterior fireplaces, and other hardscape materials. Site coverage excludes non-hardscape areas under eaves or similar (e.g., open-sided cantilever).



**BUILDING PLACEMENT AND ENVELOPES**

Residential building envelopes are necessary in order to maximize the buildability and economic viability of the lots while offering greenspace and or space between neighbors to the greatest extent possible. All portions of structure- including fireplaces, chimneys, window wells, eaves, overhangs, etc. must be contained within property lines; however, with the platted building envelope acting as building setbacks for each lot, encroachments are available for certain features.

The following encroachments are permitted beyond the platted building envelope:

Unenclosed or uncovered decks; deck supports; eaves up to 18" beyond the envelope; porches, patios and landings less than 30" above the surrounding natural or finished grade; window or light wells; heat or A/C units; residential solar alternative energy installations; fences; counterforts below grade; staircases (enclosed or otherwise); structures of less than 6" in height; landscaping and drainage features. No encroachment may be located within 24" from the property line or directly on top of in-ground utility easements. Underground parking elements and staircases may encroach within 12" of the most southern property line on Lot 7.

**1. SINGLE-FAMILY DETACHED**

- a. Style
  - (1) Residences with the same architectural elevations and coloring shall not be placed adjacent to each other or directly across the street from one another.
  - (2) Each residential unit type shall have at least two (2) elevations to provide stylistic diversity. This may include:
    - i. Roof forms/lines and profiles
    - ii. Varied window and door styles
    - iii. Varied entry treatments and locations including porches, columns, etc.
    - iv. Two or three story homes
    - v. Second or third story decks or balconies
- b. Building Form
  - (1) The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front and sides of the homes.
  - (2) Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
  - (3) Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

**2. DUPLEX/TRI-PLEX or MULTIFAMILY STRUCTURES**

- a. Style
  - (1) Structures shall have at least two (2) elevations to provide stylistic diversity.
  - (2) Units may be multi-stories.
  - (3) Units may be divided horizontally (townhomes) or vertically (flats).
  - (4) Second story decks or balconies permitted.
  - (5) Units have no minimum length of connection and may be joined via shared walls of the garage, external staircases, or main living area wall(s) or floors.
- b. Building Form
  - (1) The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front of the homes.
  - (2) Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
  - (3) Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

**3. MATERIALS**

- a. Roofing materials are limited to the following:
  - (1) Artificial wood shingle (to mimic wood shake shingle). Treated wood shake shingles or any other combustible material is prohibited.
  - (2) Standing seam metal.
  - (3) Asphalt shingles.
  - (4) Imitation (composite or similar); or, real slate tiles.
  - (5) Non-reflective solar tiles that mimic the above-mentioned products
  - (6) Any other recommended FireWise materials similar to the above-mentioned products.
- b. Siding materials are limited to the following:
  - (1) Metal
  - (2) Wood
  - (3) Composite siding
  - (4) Fiber cement board (commonly known as "Hardie Board")
  - (5) Stucco.
  - (6) Any other recommended FireWise materials similar to the above-mentioned products.
  - (7) All siding materials to have non-reflective finishes.
- c. Doors and Windows:
  - (1) Structures with multiple garage doors must always have identical, matching doors.
  - (2) All replacement windows shall be consistent and match the aesthetic of previous windows unless otherwise approved by the design review board. Skylight or solar tubes permitted.
  - (3) Screen or storm doors, in addition to typical front doors are permitted. Screen or storm doors cannot replace front doors at any time.
- d. Design Elements. This development may incorporate mountain appropriate design elements into the buildings, including, but not limited to, exposed heavy timber beams as accent elements or entry features, walls faced with wood, stone, faux stone or cultured stone, metal railings or accents. Stucco may only be utilized in small quantities on building facades and is not to be used as a primary material for home.
- e. Building materials for residential exteriors shall include at least two (2) types of materials as part of the building façade.

**I. LANDSCAPING – See also PUD Landscaping Plan**

Shall not interfere with any drainage way, utility, pedestrian access, or entry into any structure. Landscaping shall not obscure windows, be installed under gas fireplace or dryer vents, nor shall any landscaping material overtake any yard, or spread into any common or neighboring yards.

Landscaping minimums:

1. At least one (1) tree per 1,200 sf of lot area and two (2) shrubs for all lots. See also official Landscaping Plan for Belden Place.
2. All landscaping proposed on the approved Landscaping Plan shall be installed initially with expectations for maintenance.
3. No exposed soil is permitted. Soil must be covered in groundcover that may consist of seed (includes wildflower seed), cobble, perennials, mulch, or similar.
4. All dead materials must be replaced during the same season death occurs.

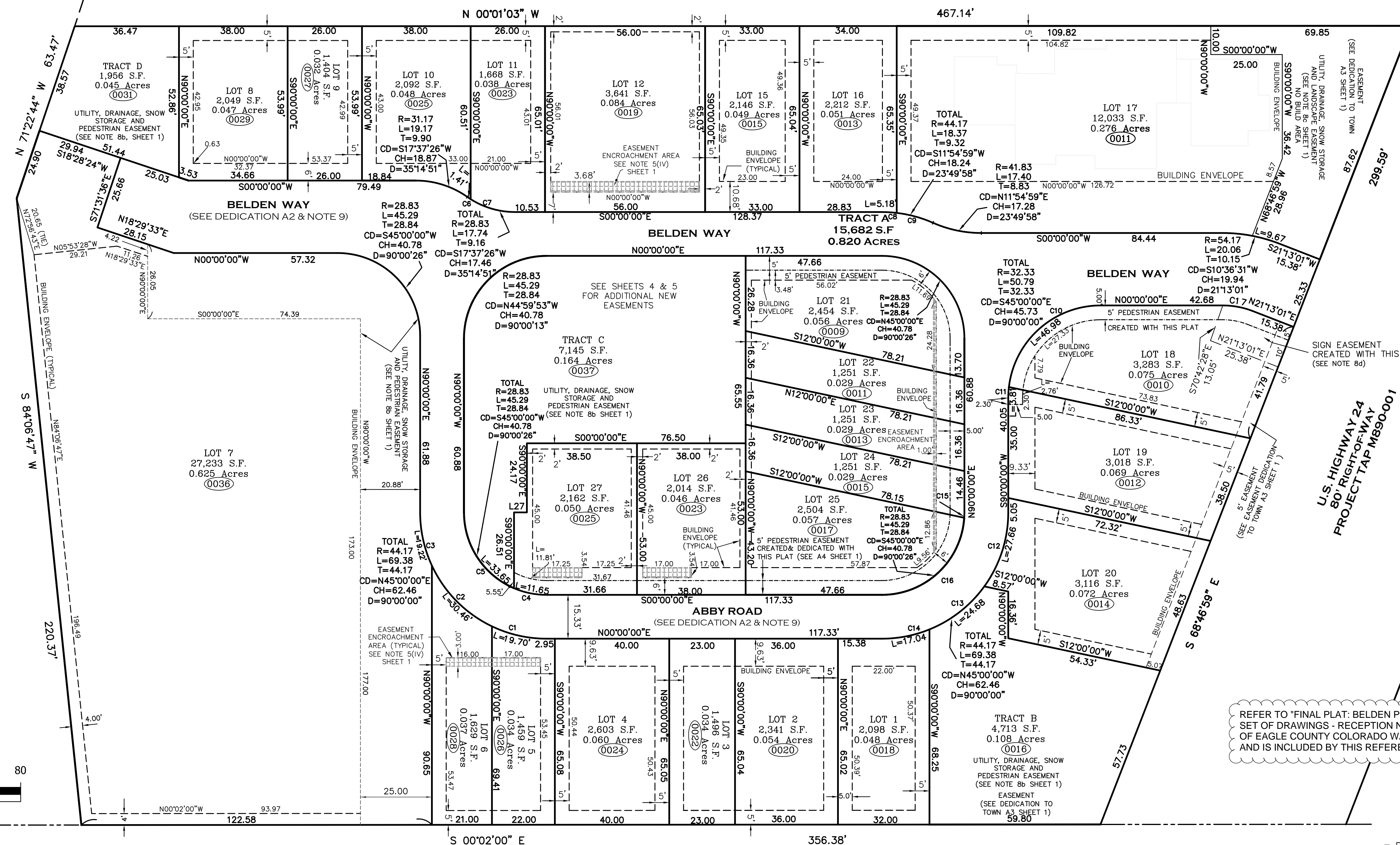
# FINAL PLAT

## BELDEN PLACE, P.U.D.

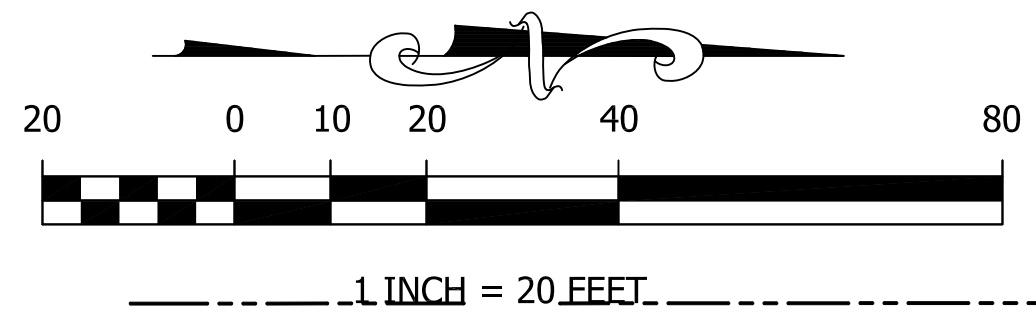
Town of Minturn, County of Eagle, State of Colorado

SHEET 3 OF 5  
SUBDIVISION

LOT 28  
SOUTH MINTURN ADDITION  
RECEPTION No. 163447



UNITED STATES OF AMERICA  
RECEPTION No. 186352



REFER TO "FINAL PLAT: BELDEN PLACE PUD" FOR FINAL AND FULL SET OF DRAWINGS - RECEPTION NUMBER 246983 OF THE RECORDS OF EAGLE COUNTY COLORADO WAS USED AS THE BASIS OF DESIGN AND IS INCLUDED BY THIS REFERENCE.

--- = PLATTED BUILDING ENVELOPE  
 - - - - - = PEDESTRIAN EASEMENT  
 [Hatched Area] = EASEMENT ENCROACHMENT AREA SEE NOTE 5(V)

CURVE TABLE						
CURVE	LENGTH	RADIUS	Tangent	Chord	Chd Bng	Delta
C1	19.70	44.17	10.01	19.53	N12°46'33"E	25°33'06"
C2	30.46	44.17	15.86	29.86	N45°18'32"E	39°30'53"
C3	19.22	44.17	9.76	19.07	N77°31'59"E	24°56'01"
C4	11.65	28.83	5.91	11.57	N11°34'15"E	23°08'56"
C5	33.65	28.83	19.03	31.77	N56°34'28"E	66°51'30"
C6	1.41	28.83	0.71	1.41	N33°50'32"E	2°48'39"
C7	16.32	28.83	8.39	16.11	N16°13'06"E	32°26'12"
C8	5.18	44.17	2.59	5.18	S03°21'35"W	6°43'11"
C9	13.19	44.17	6.65	13.14	S15°16'34"W	17°06'47"
C10	46.98	32.33	28.73	42.95	S41°37'23"E	83°14'46"
C11	3.81	32.33	1.91	3.81	S86°37'23"E	6°45'14"
C12	27.66	44.17	14.30	27.21	N72°03'40"W	35°52'40"
C13	24.68	44.17	12.67	24.36	N38°06'40"W	32°01'20"
C14	17.04	44.17	8.63	16.93	N11°03'00"W	22°06'00"
C15	1.89	28.83	0.94	1.89	N88°07'42"W	3°45'03"
C16	43.41	28.83	27.01	39.42	N43°07'29"W	86°15'24"
C17	10.68	28.83	5.40	10.62	N10°36'31"E	21°13'28"

L27 = S00°00'00"W 4.50

UNITED STATES OF AMERICA  
RECEPTION No. 246983



Matthew S. Slagle PLS 34998  
Professional Land Surveyor  
State of Colorado



**SLAGLE SURVEY SERVICES**  
 800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631  
 970.471.1499 Office    matthew@slaglesurvey.com  
 www.SlagleSurvey.com

**FINAL PLAT**  
**BELDEN PLACE, P.U.D.**  
 Town of Minturn, County of Eagle, State of Colorado

DRAWN BY: MSS	JOB NUMBER: 18029	DRAWING NAME: 18029_PUD-23.dwg
SHEET 3 OF 5	DATE: 11-11-2023	

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.





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# Belden Place - 12 Plex (Flats) Lot 7

0036 Abby Road, Minturn, Colorado 81645

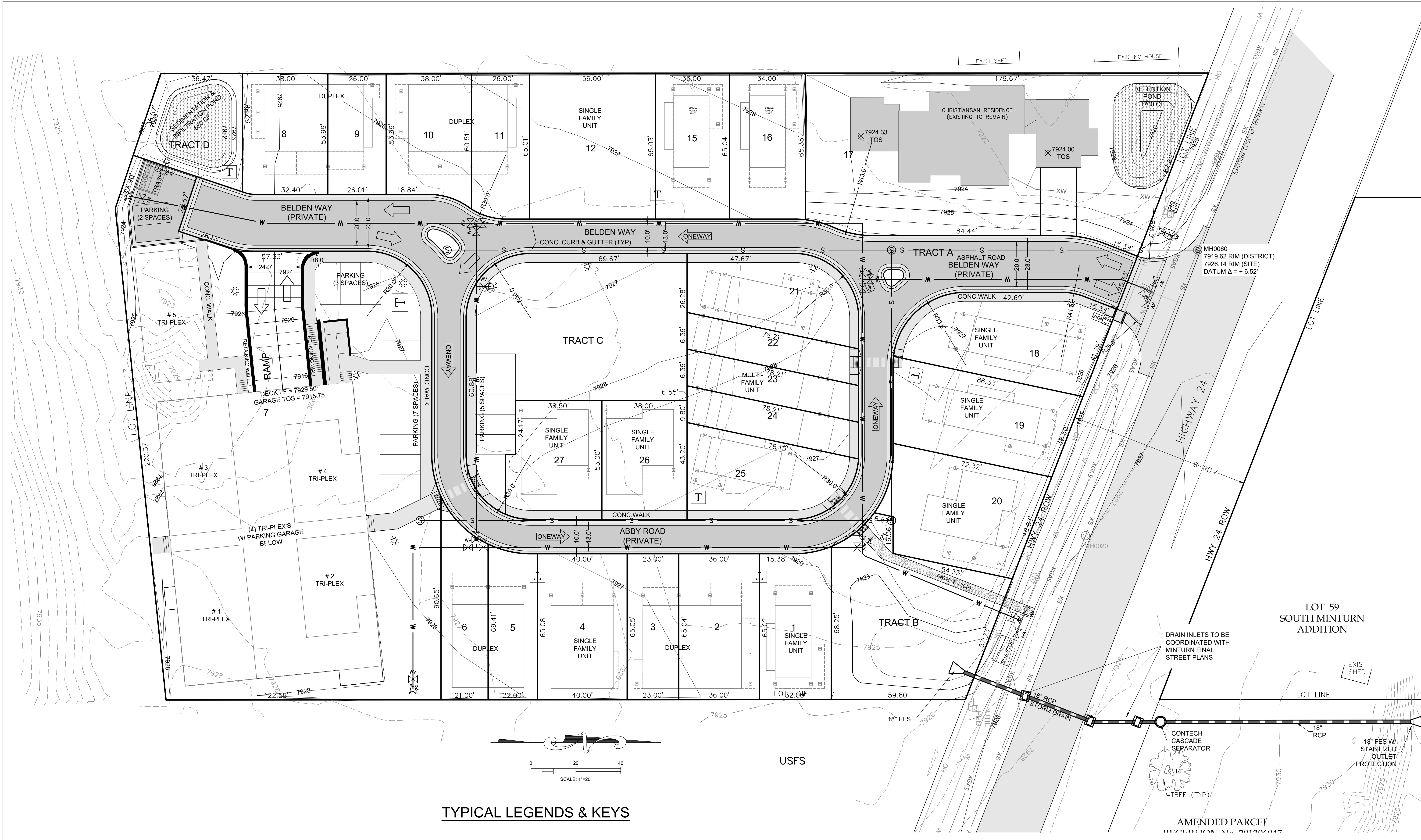
NOT FOR CONSTRUCTION

DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1

PROPOSED SITE PLAN

Sheet:

C.111



### TYPICAL LEGENDS & KEYS

- AD = AREA DRAIN
- CFS = CUBIC FEET PER SECOND
- CONC = CONCRETE
- EC = EDGE OF CONCRETE
- EOA = EDGE OF ASPHALT
- EP = EDGE OF PAVEMENT
- EX = EXISTING
- FF = FINISHED FLOOR
- FG = FINISHED GRADE
- FL = FLOW LINE
- GD = GRADE/GROUND
- HP = HIGH POINT
- LP = LOW POINT
- TBC = TOP BACK OF CURB
- TD = TRENCH DRAIN
- TOS = TOP OF SLAB
- TOW = TOP OF WALL
- TYP = TYPICAL
- WH = WALL HEIGHT
- TOW = TOP BACK OF WALK
- EL = ELEVATION
- TOP = TOP OF PIPE

- CONTOUR LEGEND:**
- EXISTING 1' CONTOUR --- 7929
  - EXISTING 5' CONTOUR --- 7930
  - PROPOSED 1' CONTOUR --- 7929
  - PROPOSED 5' CONTOUR --- 7930

- EXISTING UTILITIES LINE KEY:**
- WATER --- XW ---
  - SEWER --- XS ---
  - OVERHEAD ELEC, TELE, CATV --- OH ---
  - GAS --- XGAS ---

- EXISTING UTILITIES SYMBOL KEY:**
- Water Vault
  - Water Valve
  - Fire Hydrant
  - Sewer Manhole
  - Utility Pole
  - Electric Transformer
  - Cable TV Pedestal

- PROPOSED UTILITY SYMBOL KEY:**
- Water Vault
  - Water Valve
  - Fire Hydrant
  - Sewer Manhole
  - Utility Pole
  - Electric Transformer
  - Cable TV Pedestal
  - Electric Splice Vault
  - Street Light

INDICATES DIRECTION OF TRAFFIC FLOW

**LINE KEY:**

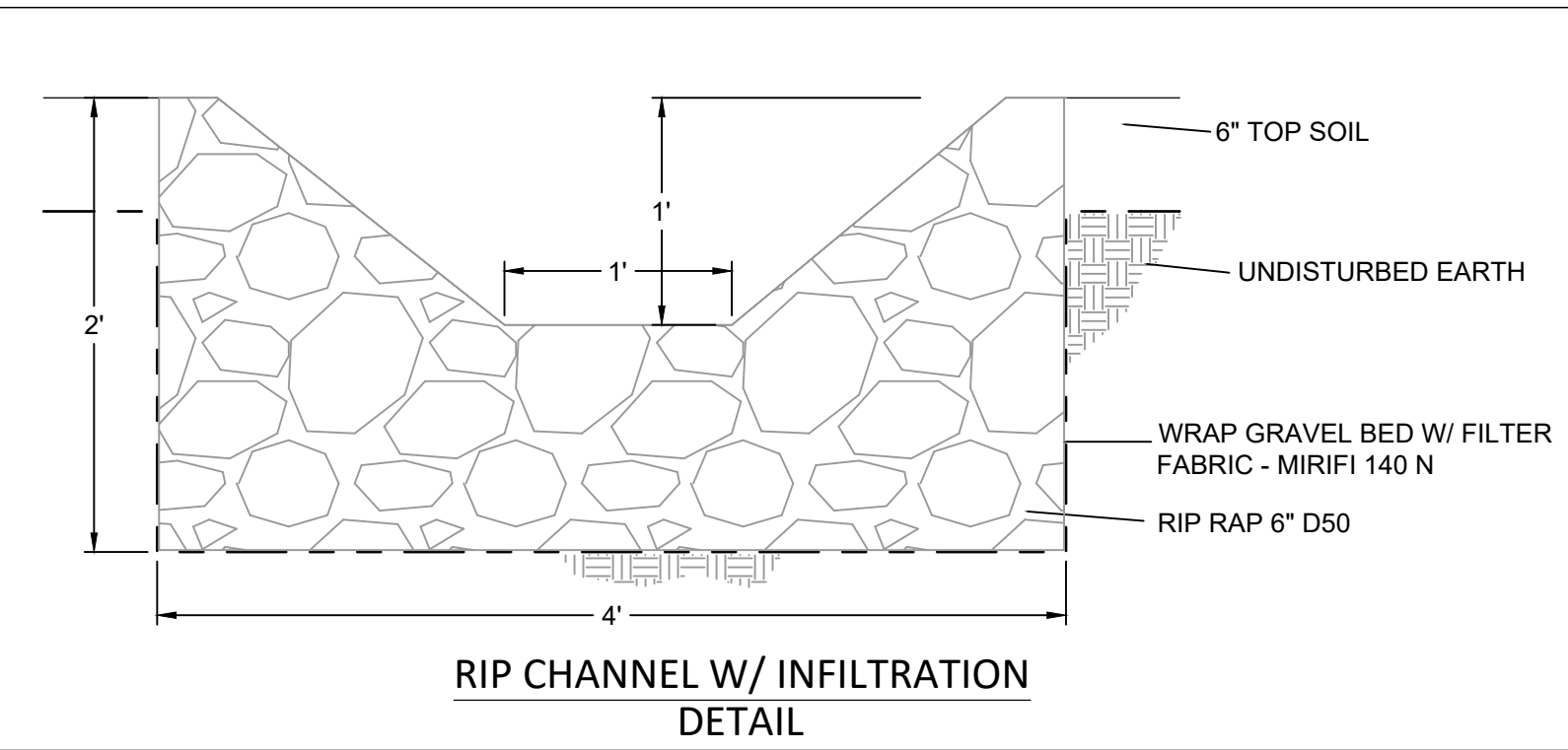
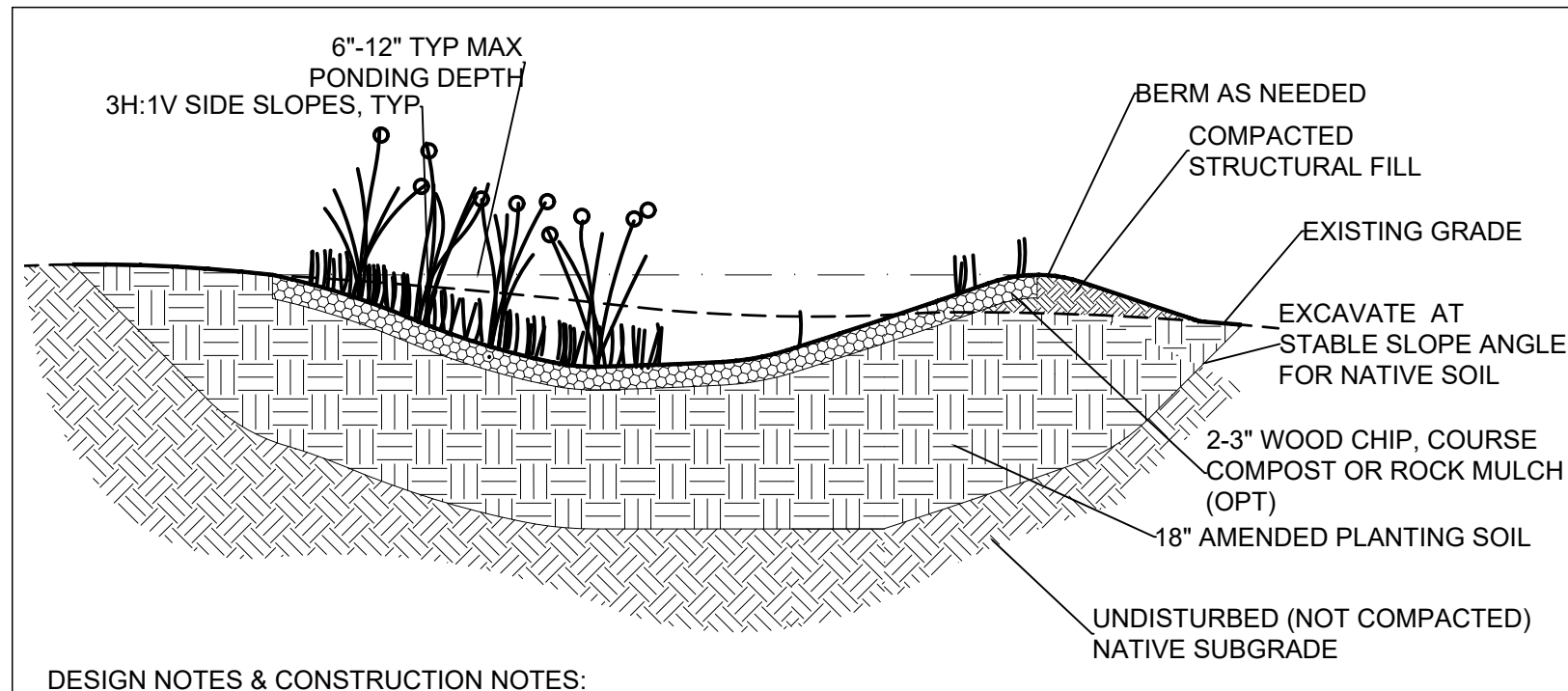
WATER --- W ---

SEWER --- S ---

**PARKING NOTES:**  
 PARKING SPACES 9' X 18' MIN.

REFER TO "BELDEN PLACE PUD - FINAL PLAN SUBMITTAL" FOR FULL DEVELOPMENT SITE PLANE, PREPARED BY TIMBERLINE ENGINEERING DATE JULY 12, 2024, WAS USED AS THE BASIS OF DESIGN AND IS INCLUDED BY THE REFERENCE.

**EARTHWORK:**  
 5175 CYD CUT  
 8130 CYD FILL  
 2955 CYD NET <FILL>  
 (DOES NOT INCLUDE ONSITE HAUL-IN ±1000 CYD)



**SHEET INDEX:**

- C.1 SITE GRADING & DRAINAGE PLAN
- C.2 GARAGE DRAINAGE PLAN
- C.3 DRAINAGE DETAILS
- C.4 GARAGE ENTRANCE PLAN & PROFILE
- C.5 STORM WATER MANAGEMENT PLAN

- DESIGN NOTES & CONSTRUCTION NOTES:**
1. PLANT WITH PLANTS PER LANDSCAPE ARCHITECT DWGS. NATIVE PLANTS ARE PREFERRED, BECAUSE NON-NATIVE AND INVASIVE SPECIES CAN MOVE DOWNSTREAM AND DAMAGE HABITAT. IF NON-NATIVES ARE CHOSEN, BE SURE THAT THEY WILL NOT DAMAGE DOWNSTREAM HABITAT.
  2. BUILD AND VEGETATE RAIN GARDEN AS EARLY AS POSSIBLE TO ESTABLISH PLANTINGS BEFORE DIRECTING STORMWATER RUNOFF TO IT OR DIVERT STORMWATER AROUND FACILITY. PREFERABLY, THIS PERIOD WOULD LAST A MINIMUM OF 3 MONTHS OR PER LANDSCAPE ARCHITECT/DESIGNER GUIDELINES.
  3. INFILTRATION AREAS (THE AREA OF THE RAIN GARDEN AS DEFINED BY THE TOP ELEVATION OF THE FACILITY) SHALL BE FENCED OFF FROM THE FIRST DAY OF EARTH MOVING UNTIL PROJECT COMPLETION TO PREVENT COMPACTION OF THE SUBGRADE, DIRT TRACKING ONTO ANY LAYER OF THE FACILITY AND STOCKPILING OF CONSTRUCTION MATERIALS THAT MAY CLOG THE SURFACE.
  4. DURING EXCAVATION OF NATIVE SOILS TO THE BOTTOM OF THE FACILITY, RAINFALL MAY CAUSE FINES TO CLOG THE SURFACE OF THE FACILITY. IF THE NATIVE SOIL HAS BEEN EXPOSED TO RAINFALL, HAND RAKE THE SURFACE TO A DEPTH OF 3" TO RESTORE INFILTRATION CAPACITY.
  5. CALL THE CIVIL ENGINEER 48 HOURS IN ADVANCE OF CONSTRUCTING THIS FACILITY SO CONSTRUCTION OBSERVATION MAY BE PERFORMED TO IDENTIFY VARIATIONS IN THE FIELD THAT MAY AFFECT DESIGN AND VERIFY PROPER CONSTRUCTION.
  6. DURING INSTALLATION, DISTURB NATIVE SOILS AS LITTLE AS POSSIBLE.

**RAIN GARDEN DETAIL**

**ABBREVIATION KEY**

- AD = AREA DRAIN
- CFS = CUBIC FEET PER SECOND
- CONC = CONCRETE
- EC = EDGE OF CONCRETE
- EOA = EDGE OF ASPHALT
- EP = EDGE OF PAVEMENT
- EX = EXISTING
- FF = FINISHED FLOOR
- FG = FINISHED GRADE
- FL = FLOW LINE
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- TOS = TOP OF SLAB
- TOW = TOP OF WALL
- TYP = TYPICAL
- WH = WALL HEIGHT
- TOWH = TOP BACK OF WALK
- EL = ELEVATION
- TOP = TOP OF PIPE
- WV = WATER VALVE
- WW = WINDOW WELL

**CONTOUR LEGEND:**

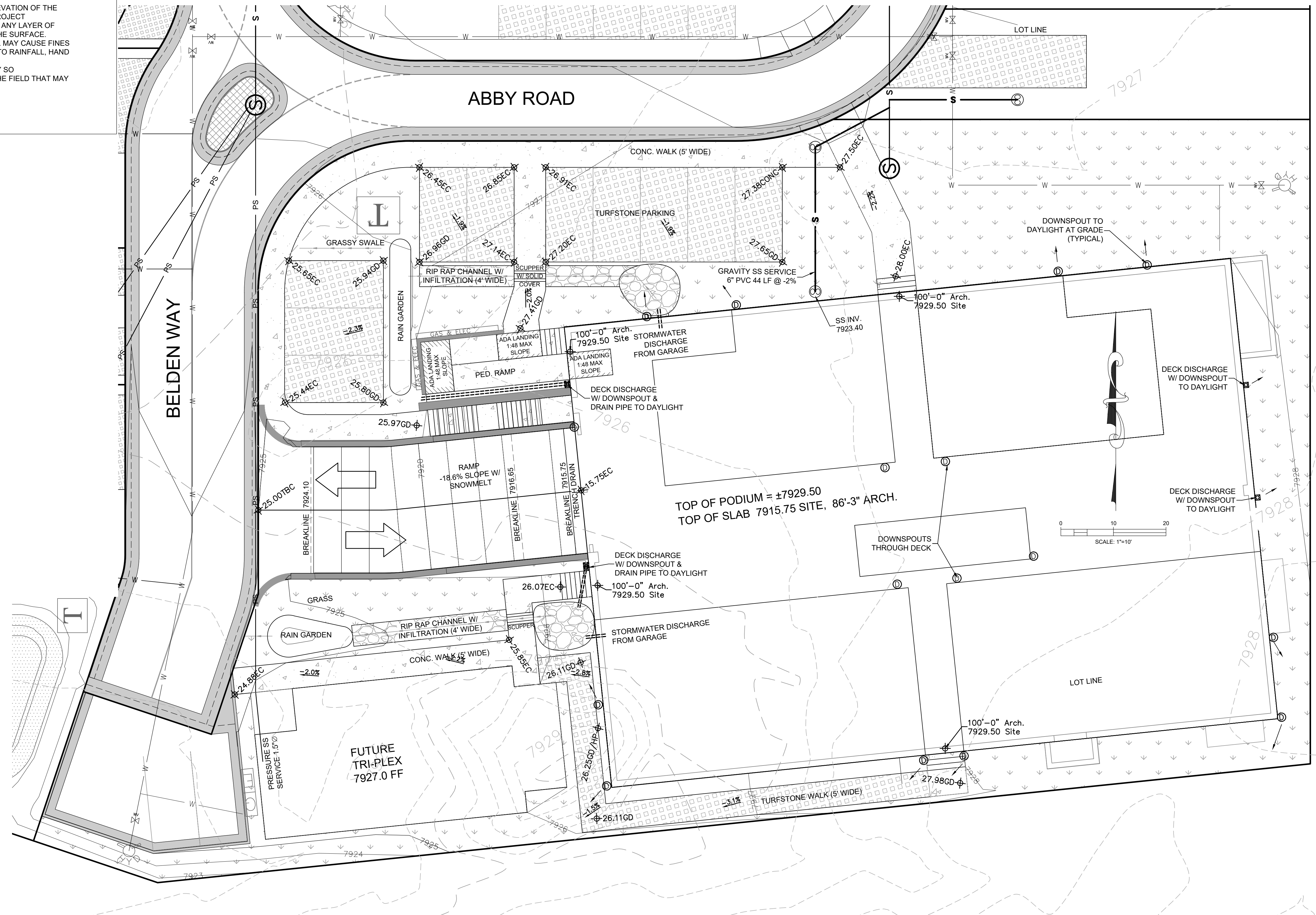
- EXISTING 1' CONTOUR --- 7929 ---
- EXISTING 5' CONTOUR --- 7930 ---
- PROPOSED 1' CONTOUR --- 7929 ---
- PROPOSED 5' CONTOUR --- 7930 ---

**LINE KEY:**

- WATER --- W ---
- SEWER --- S ---

**PROPOSED UTILITY SYMBOL KEY:**

- WATER VAULT
- WATER VALVE
- FIRE HYDRANT
- SEWER MANHOLE
- UTILITY POLE
- ELECTRIC TRANSFORMER
- CABLE TV PEDESTAL
- ELECTRIC SPLICE VAULT
- STREET LIGHT



**TIMBERLINE ENGINEERING** CIVIL STRUCTURAL

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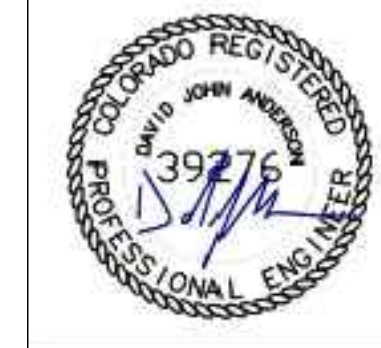
0036 Abby Road, Minturn, Colorado 81645

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DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1
9/4/24	Review comments 2

Title: **SITE GRADING & DRAINAGE PLAN**

Sheet: **C.1**



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# Belden Place - 12 Plex (Flats) Lot 7

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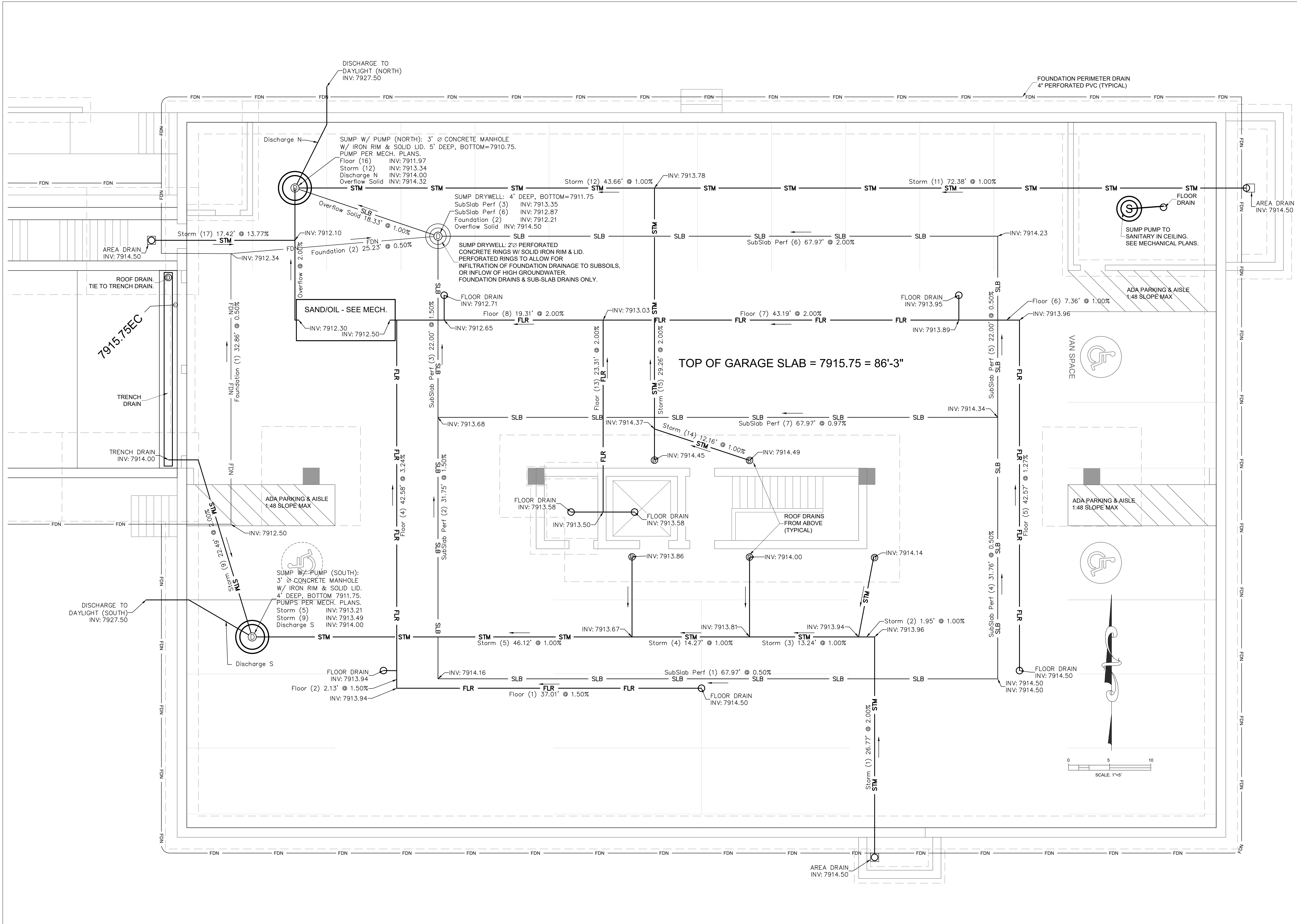
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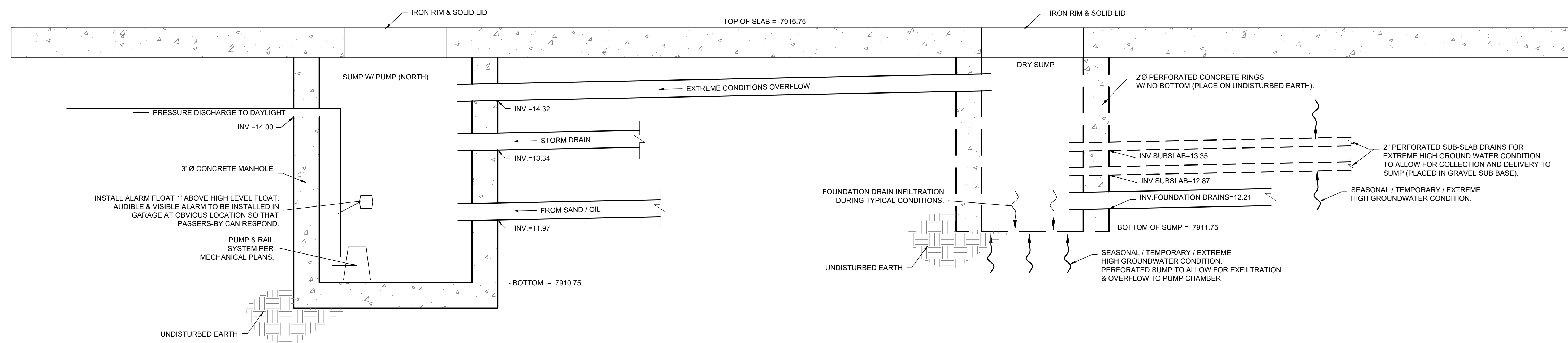
DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1
9/4/24	Review comments 2

Title:  
**GARAGE DRAINAGE PLAN**

Sheet:

C.2





**DRY SUMP & NORTH DRAINAGE SCHEMATIC**

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ENGINEERING  
CIVIL STRUCTURAL

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**Belden Place - 12 Plex (Flats)  
Lot 7**

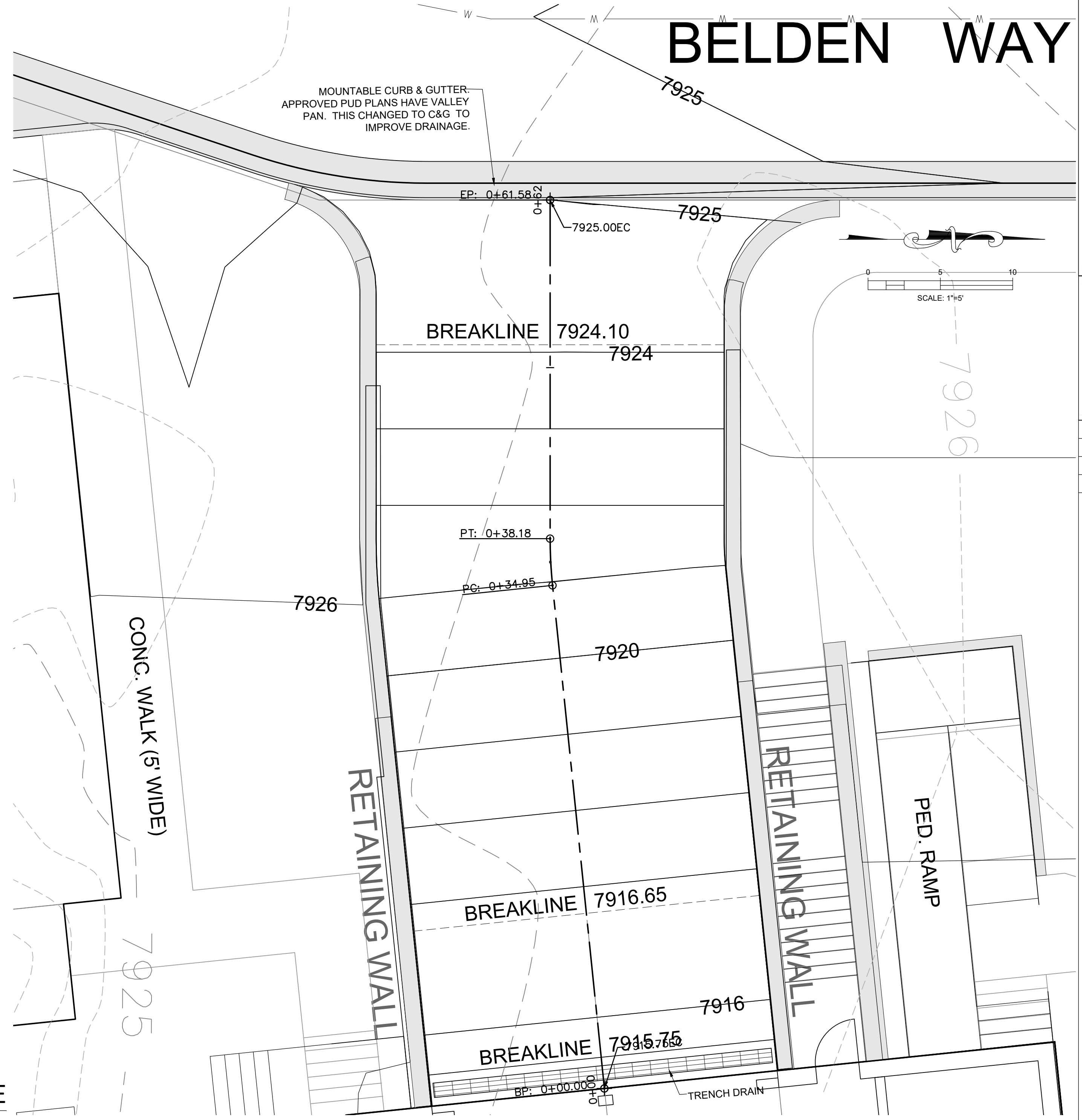
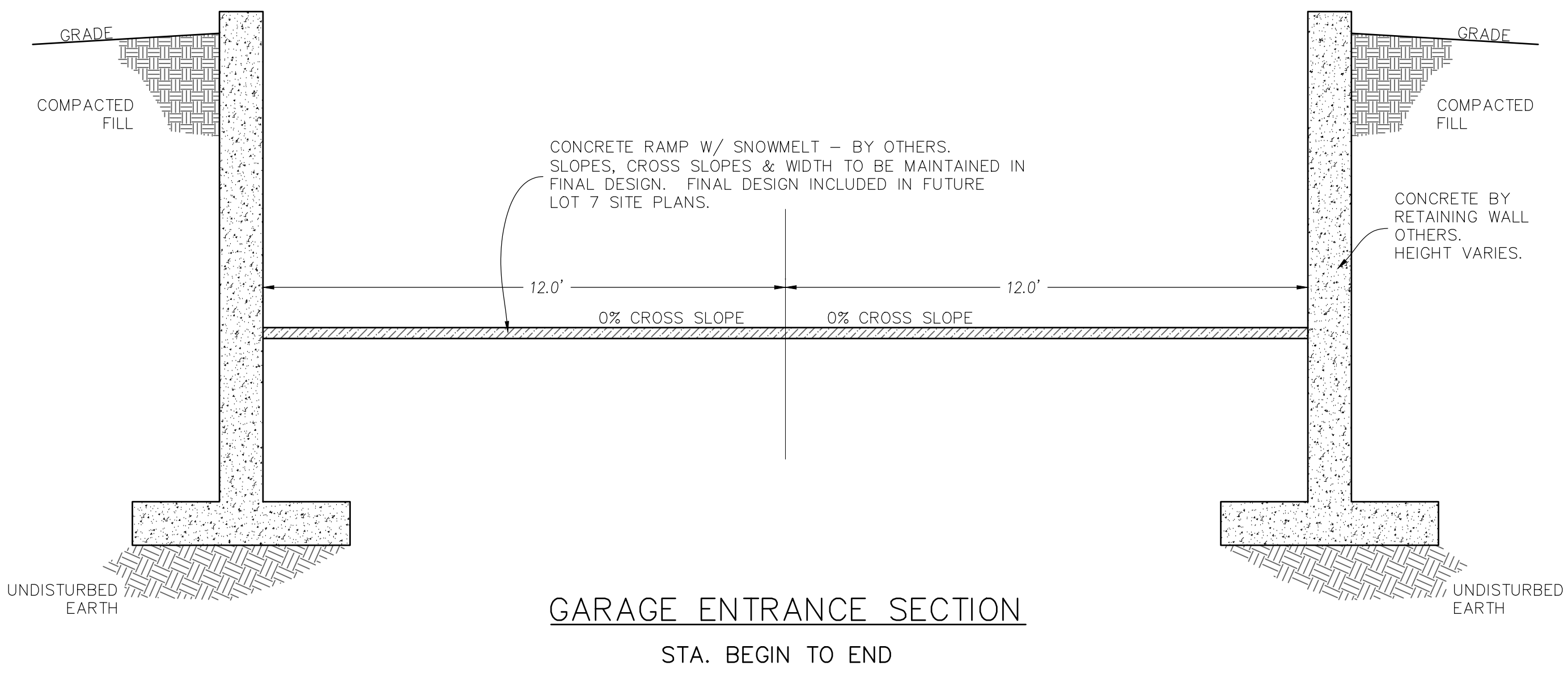
0036 Abby Road, Minturn, Colorado 81645

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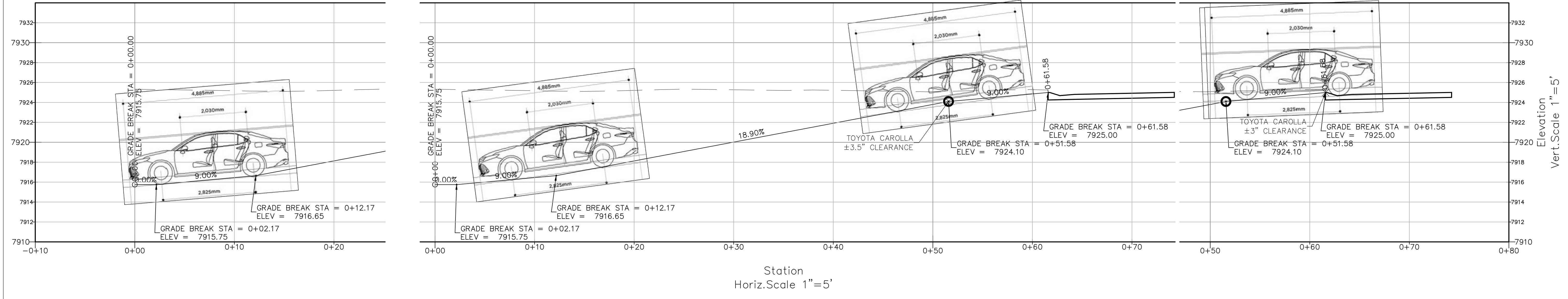
DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1
9/4/24	Review comments 2

Title:  
**DRAINAGE  
DETAILS**

Sheet:  
**C.3**



**GARAGE ENTRANCE PROFILE W/ VEHICLE CLEARANCE**



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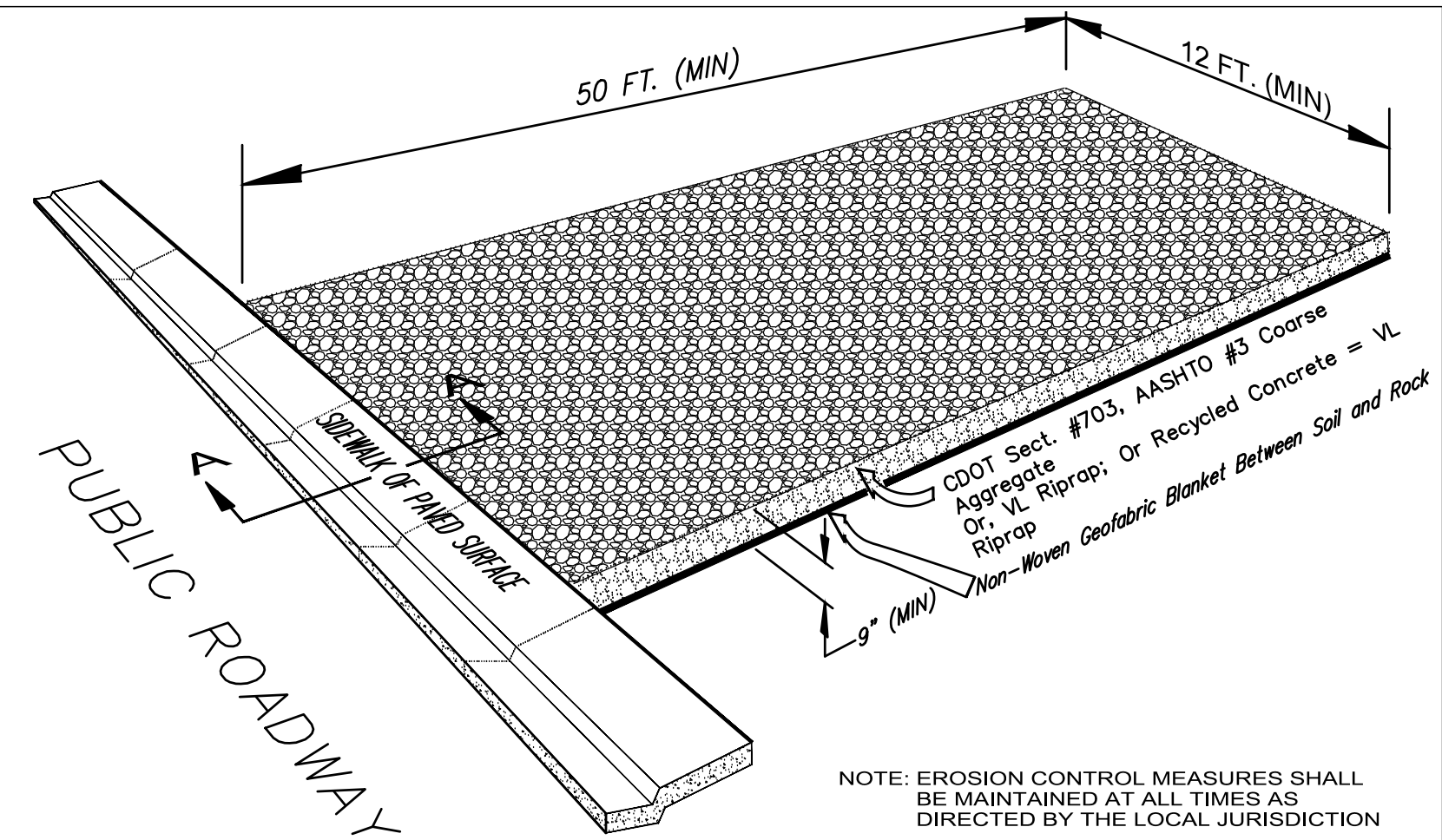
0036 Abby Road, Minturn, Colorado 81645

NOT FOR CONSTRUCTION

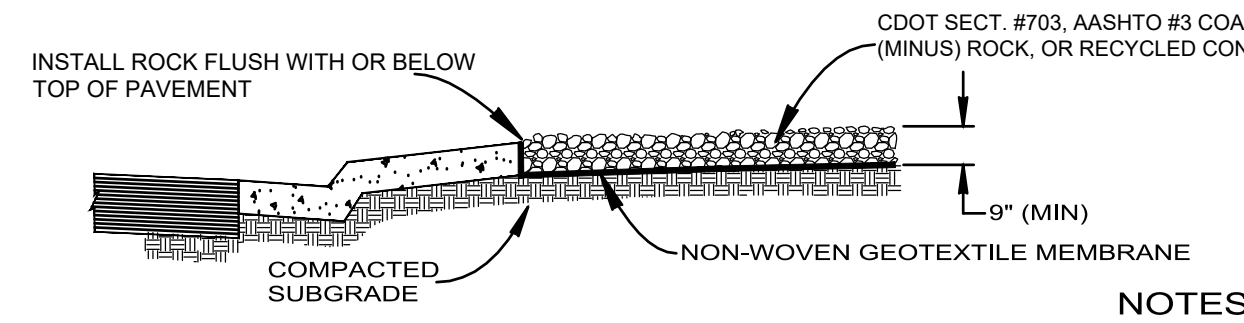
DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1
9/4/24	Review comments 2

Title: **GARAGE ENTRANCE PLAN & PROFILE**

Sheet: **C.4**



NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES AS DIRECTED BY THE LOCAL JURISDICTION

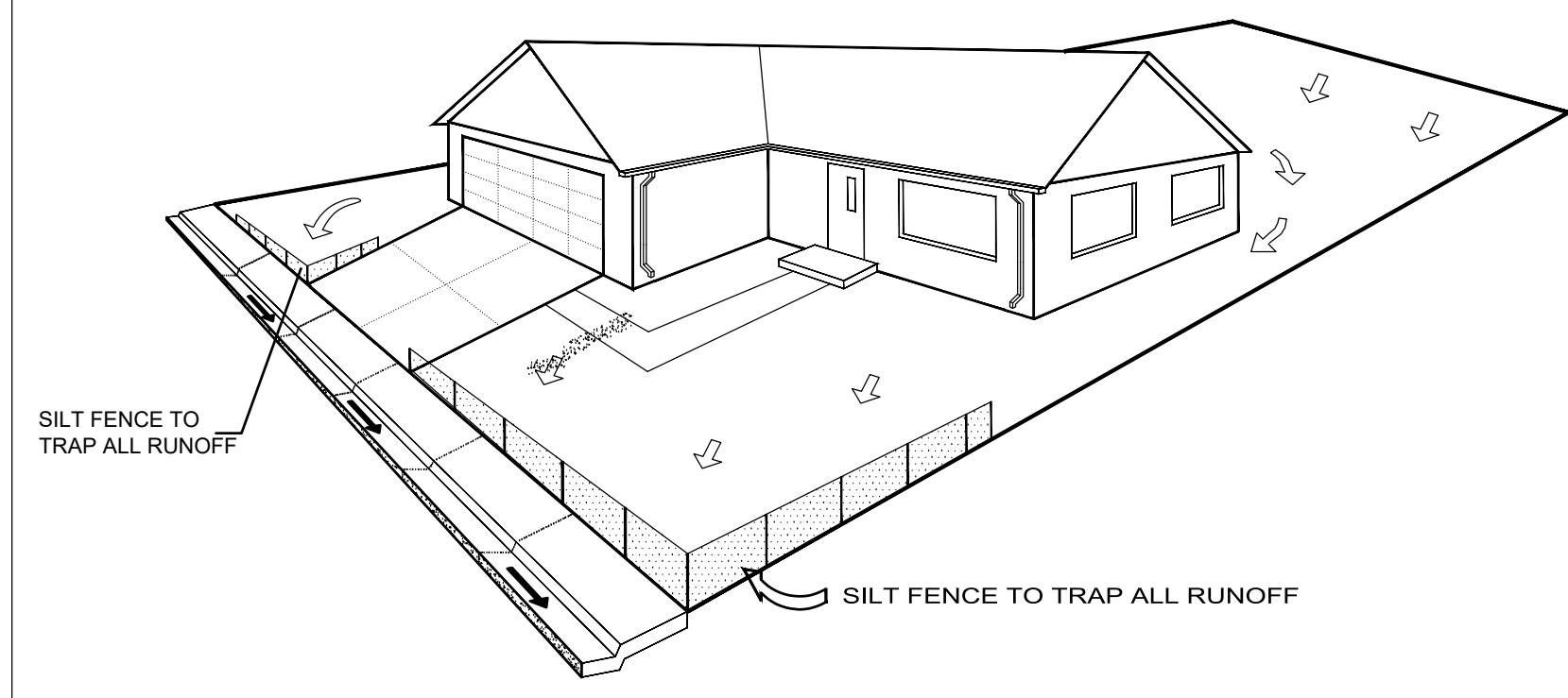


SECTION A-A  
-NTS-

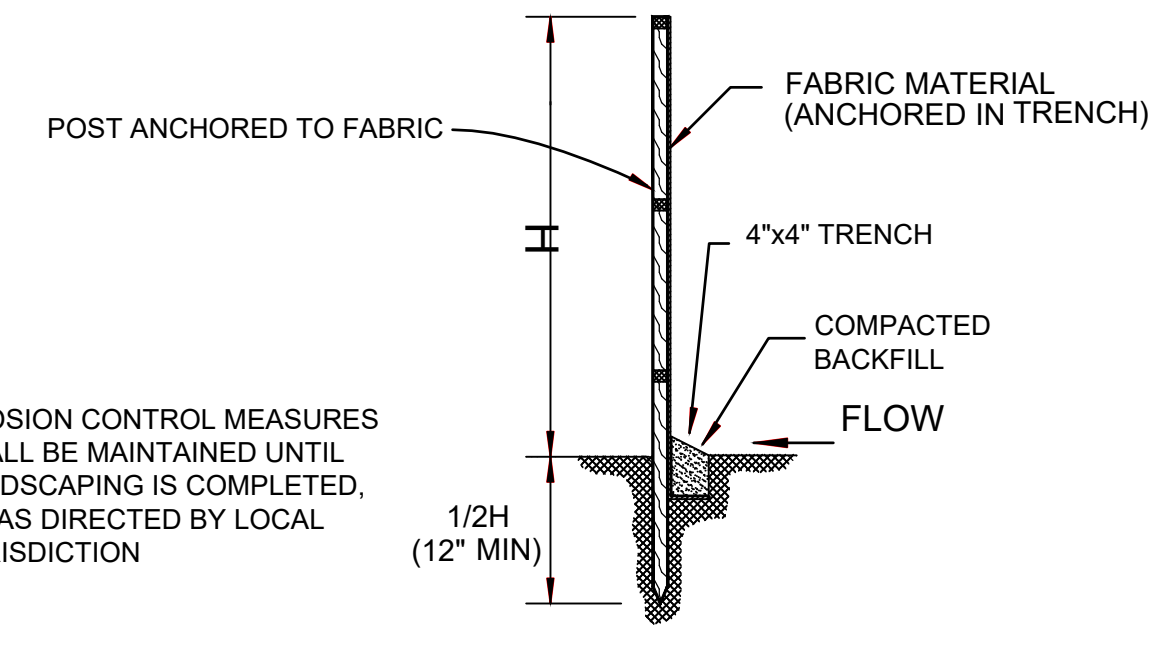
TEMPORARY VEHICLE TRACKING CONTROL  
DETAIL

- NOTES
1. ALL ROCK TO BE REMOVED UPON COMPLETION OF CONSTRUCTION.
  2. PUBLIC ROADWAY TO BE KEPT CLEAN AND FREE OF MUD, DIRT AND DEBRIS AT ALL TIMES.

SILT FENCE INSTALLATION  
DETAIL

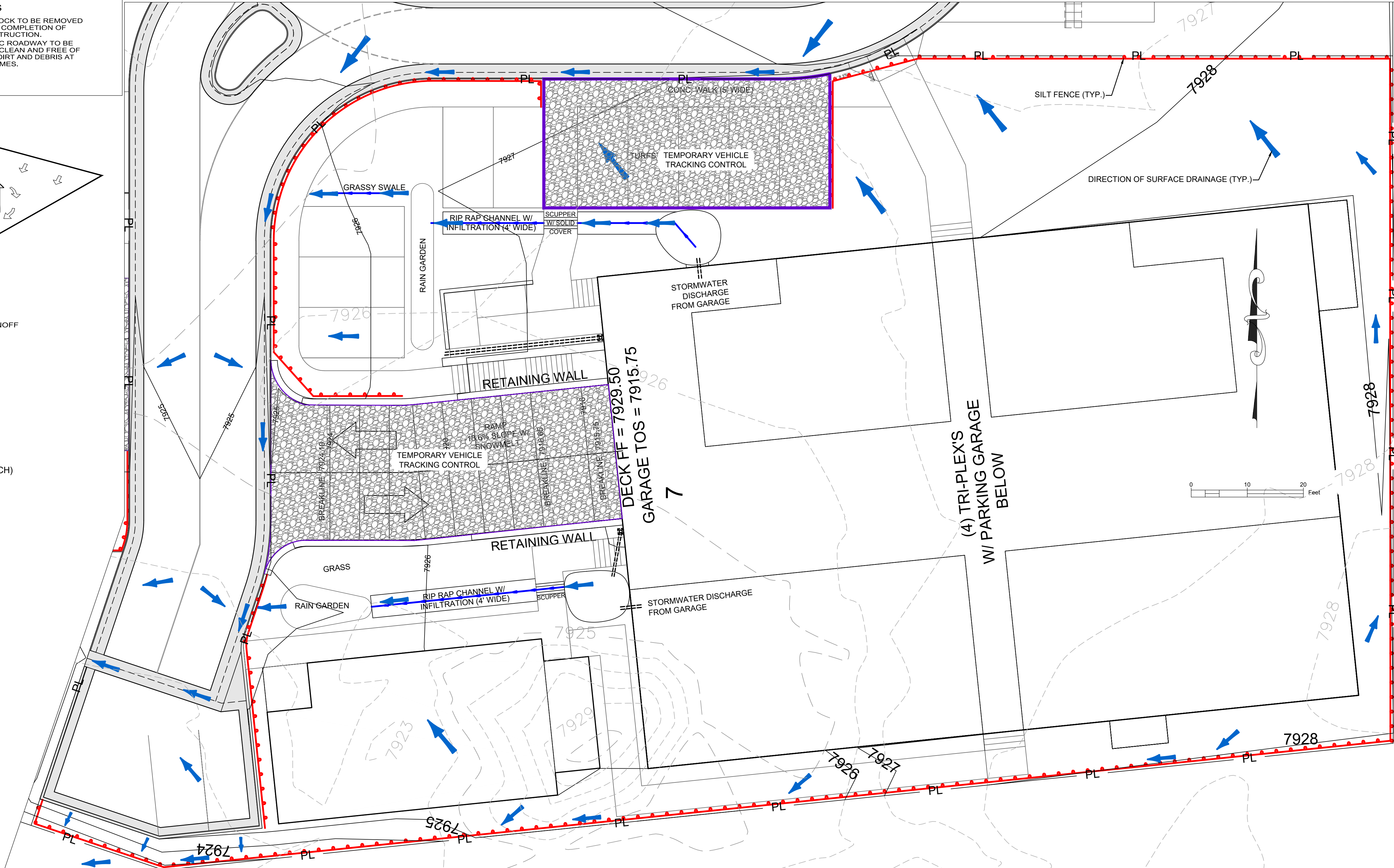
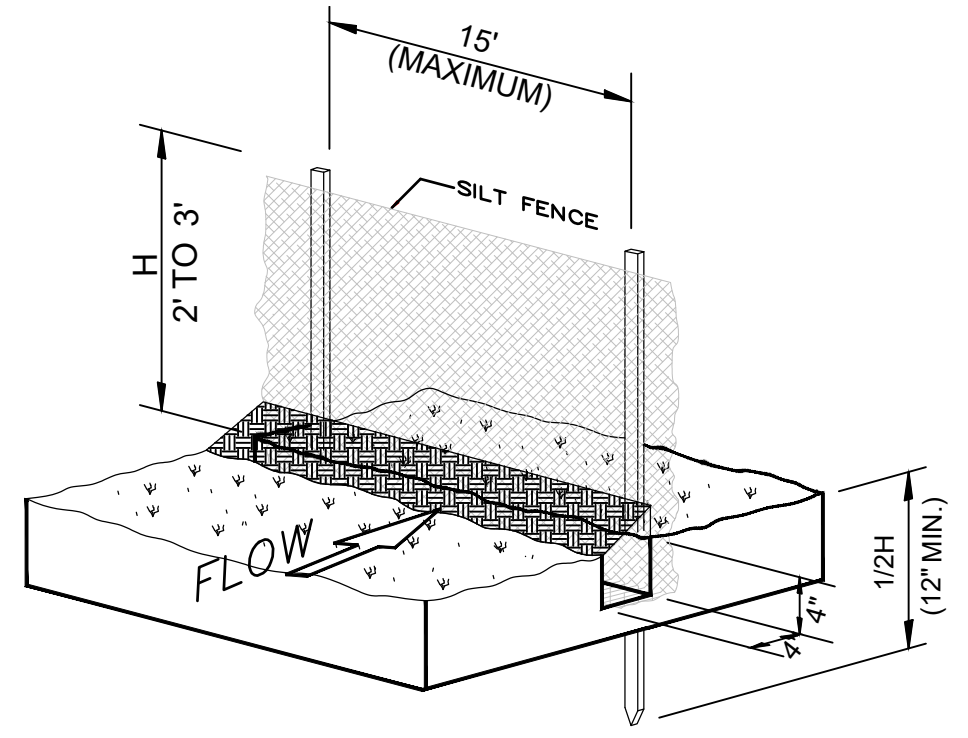


NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES AS DIRECTED BY LOCAL JURISDICTION



SECTION  
-NTS-

NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL LANDSCAPING IS COMPLETED, OR AS DIRECTED BY LOCAL JURISDICTION



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P 970.963.9869



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**Belden Place - 12 Plex (Flats)  
Lot 7**

0036 Abby Road, Minturn, Colorado 81645

NOT FOR CONSTRUCTION

DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1
9/4/24	Review comments 2

Title:  
**STORM WATER MANAGEMENT PLAN & DETAILS**

Sheet:

**C.5**



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# Belden Place - 12 Plex (Flats) Lot 7

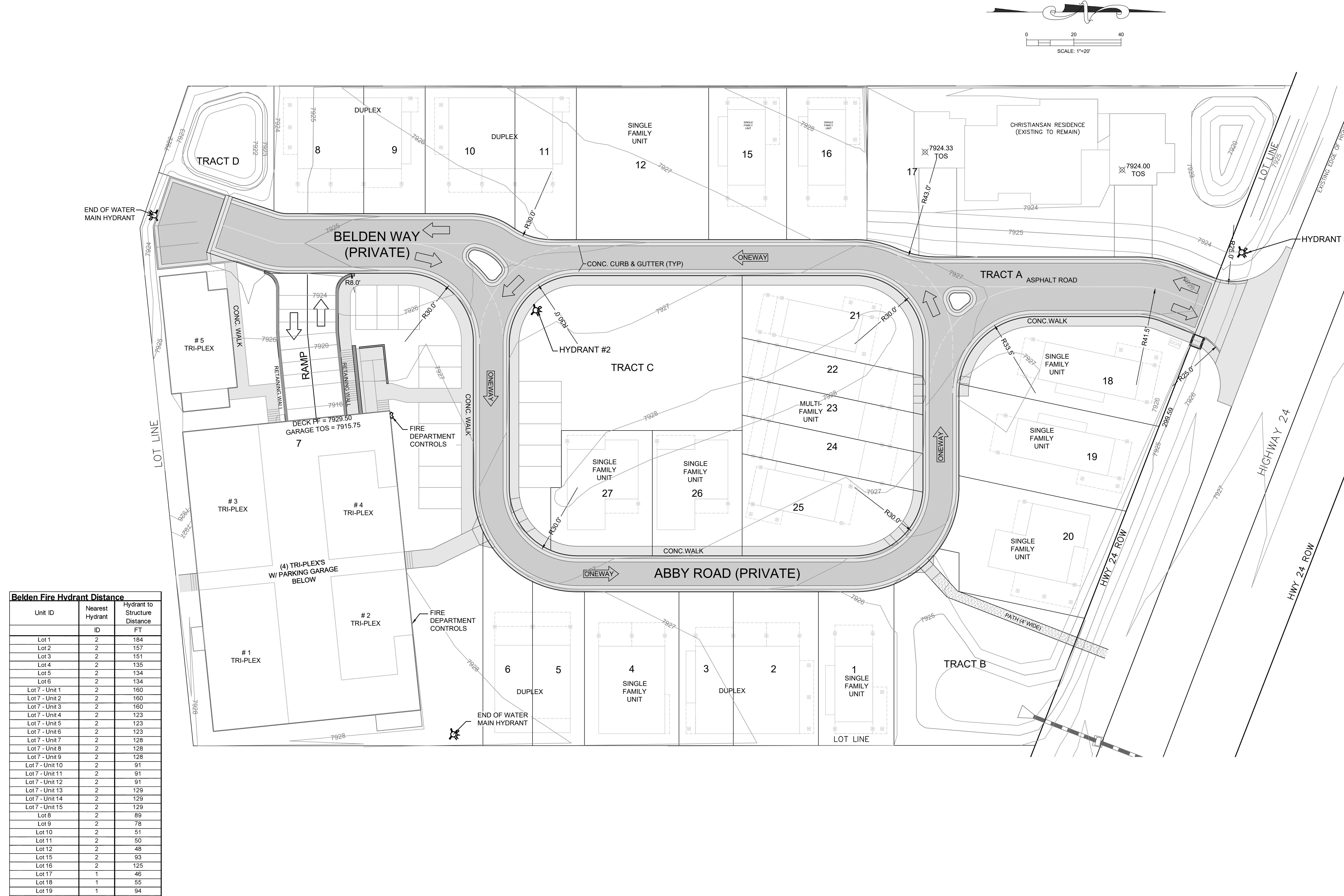
NOT FOR CONSTRUCTION

DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1

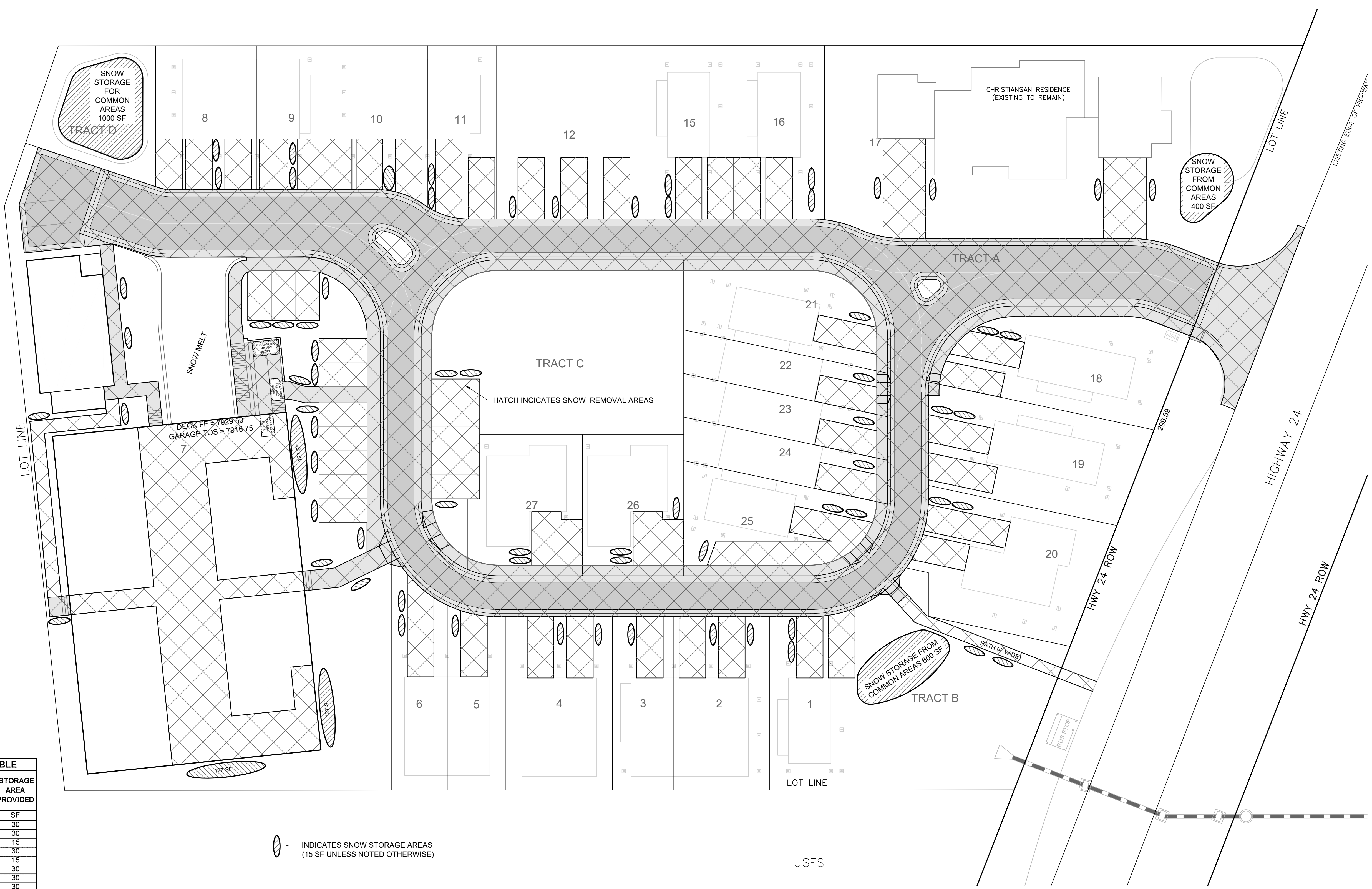
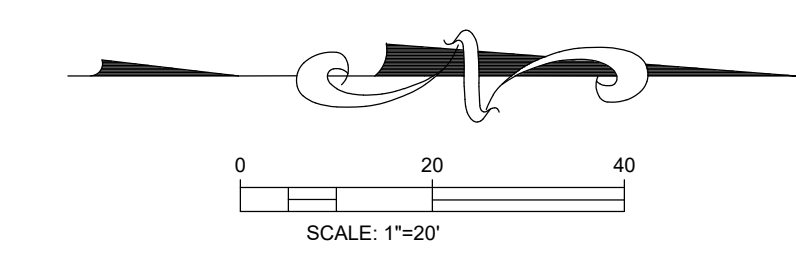
Title:  
**FIRE**

Sheet:  
**F.1**

0036 Abby Road, Minturn, Colorado 81645



Unit ID	Nearest Hydrant ID	Hydrant to Structure Distance FT
Lot 1	2	184
Lot 2	2	157
Lot 3	2	151
Lot 4	2	135
Lot 5	2	134
Lot 6	2	134
Lot 7 - Unit 1	2	160
Lot 7 - Unit 2	2	160
Lot 7 - Unit 3	2	160
Lot 7 - Unit 4	2	123
Lot 7 - Unit 5	2	123
Lot 7 - Unit 6	2	123
Lot 7 - Unit 7	2	128
Lot 7 - Unit 8	2	128
Lot 7 - Unit 9	2	128
Lot 7 - Unit 10	2	91
Lot 7 - Unit 11	2	91
Lot 7 - Unit 12	2	91
Lot 7 - Unit 13	2	129
Lot 7 - Unit 14	2	129
Lot 7 - Unit 15	2	129
Lot 8	2	89
Lot 9	2	78
Lot 10	2	51
Lot 11	2	50
Lot 12	2	48
Lot 15	2	93
Lot 19	2	125
Lot 17	1	46
Lot 18	1	55
Lot 19	1	94
Lot 20	1	130
Lot 21	2	94
Lot 22	2	94
Lot 23	2	97
Lot 24	2	103
Lot 25	2	115
Lot 26	2	75
Lot 27	2	56



LOT ID	REMOVAL AREA	STORAGE AREA REQUIRED 5%	STORAGE AREA PROVIDED
	SF	SF	SF
1	477	24	30
2	460	23	30
3	230	12	15
4	460	23	30
5	236	12	15
6	337	17	30
8	568	28	30
9	406	20	30
10	591	30	30
11	519	26	30
12	690	35	45
15	460	23	30
16	460	23	30
17	1088	54	60
18	452	23	30
19	495	25	30
20	501	25	30
21	234	12	15
22	228	11	15
23	228	11	15
24	228	11	15
25	726	36	45
26	356	18	30
27	356	18	30

REMOVAL AREA ID	REMOVAL AREA	STORAGE AREA REQUIRED 5%	STORAGE AREA PROVIDED
	SF	SF	SF
ROAD, WALK & PATH	20615	1031	2000
GUEST PARKING	810	41	45

REMOVAL AREA ID	REMOVAL AREA	STORAGE AREA PROVIDED
	SF	SF
LOT 7 PARKING WALKS	4565	228
LOT 7 PODIUM	4804	240

○ INDICATES SNOW STORAGE AREAS (15 SF UNLESS NOTED OTHERWISE)

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# Belden Place - 12 Plex (Flats) Lot 7

0036 Abby Road, Minturn, Colorado 81645

NOT FOR CONSTRUCTION

DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1

Title: SNOW REMOVAL & STORAGE PLAN

Sheet: SNOW 1

**PLANT LEGEND:**

**DECIDUOUS TREES**

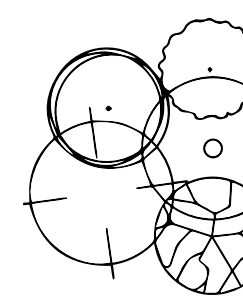
ABB.	BOTANIC	COMMON	SPACING	SIZE	QTY
MAH	<i>Malus 'Honeycrisp'</i>	Honeycrisp Apple	as shown	2" Cal	4
POT	<i>Populus tremuloides</i>	Quaking Aspen	as shown	2" Cal	9
SAB	<i>Sorbus aucuparia</i> 'Black Hawk'	Black Hawk European Mountain Ash	as shown	2" Cal	6

**EVERGREEN TREES**

ABB.	BOTANIC	COMMON	SPACING	SIZE	QTY
PPB	<i>Picea pungens</i> 'Baby Blue Eyes'	Baby Blue Eyes Spruce	as shown	6'	11

**ORNAMENTAL TREES**

ABB.	BOTANIC	COMMON	SPACING	SIZE	QTY
AMG	<i>Amelanchier x grandiflora</i>	Autumn Brilliance Serviceberry	as shown	8' clump	21
CMT	<i>Crataegus x mordenensis</i> 'Toba'	Toba Hawthorn	as shown	2" Cal	5
MAS	<i>Malus x 'Spring Snow'</i>	Spring Snow Crabapple	as shown	2" Cal	8
MAT	<i>Malus 'Thunderchild'</i>	Thunderchild Crabapple	as shown	2" Cal	5
QUG	<i>Quercus gambelii</i>	Gambel Oak	as shown	8' clump	11



# BELDEN PLACE P.U.D.

## PRELIMINARY SUBMITTAL

### Minturn, Colorado

**PLANT LEGEND:**

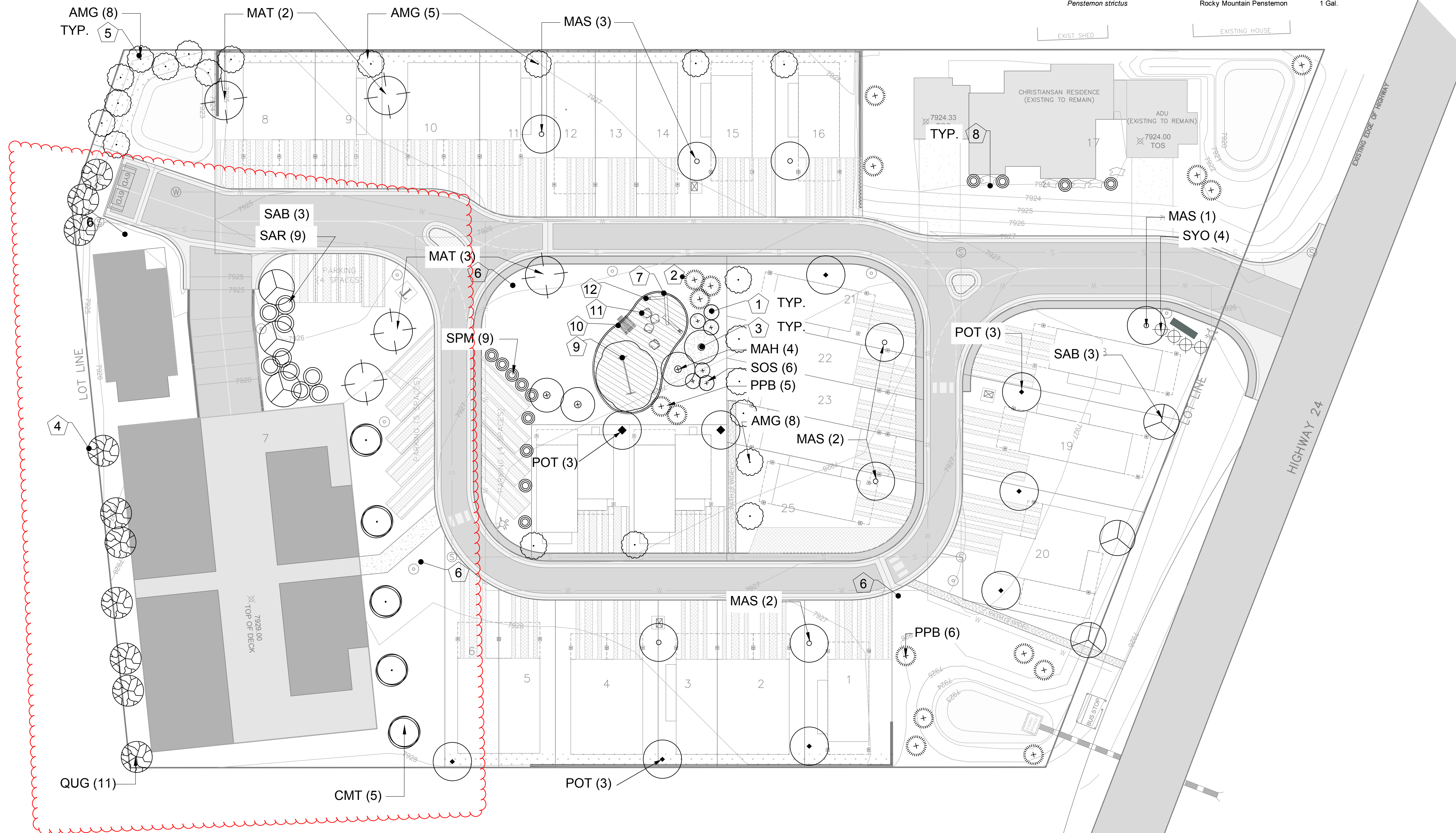
**DECIDUOUS SHRUBS**

ABB.	BOTANIC	COMMON	SPACING	SIZE	QTY	*Plus a mini
SAR	<i>Salix repens</i>	Creeping Willow	as shown	5 Gal.	9	
SOS	<i>Sorbaria sorbifolia</i>	Ash-leaf Spirea	as shown	5 Gal.	6	
SPM	<i>Syringa patula</i> 'Miss Kim'	Miss Kim Lilac	as shown	5 Gal.	9	
SYO	<i>Symphoricarpos occidentalis</i>	Western Snowberry	as shown	5 Gal.	4	

**PERENNIALS**

\*This list will be used as a guide for planting

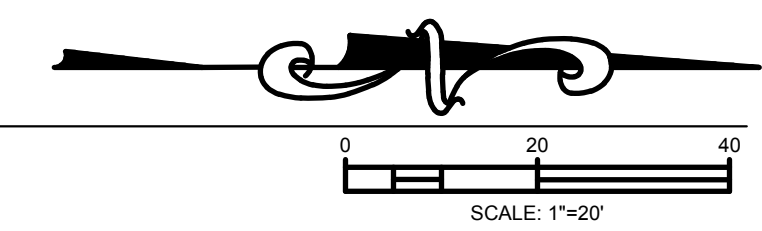
BOTANIC	COMMON	SIZE
<i>Ajuga reptans</i>	Bronze Carpet Bugle	4"
<i>Fragaria frel</i> 'Lipstick'	Lipstick Strawberry	4"
<i>Potentilla neumanniana</i>	Creeping Potentilla	4"
<i>Viola labradorica</i>	Labrador Violet	4"
<i>Acquilegia hybrid</i>	Rocky Mountain Columbine	1 Gal.
<i>Geranium macrorrhizum</i> 'Bevan's Variety'	Bevan's Geranium	1 Gal.
<i>Hemerocallis</i> 'Little Business'	Little Business Daylily	1 Gal.
<i>Iris missouriensis</i>	Rocky Mountain Iris	1 Gal.
<i>Liatris spicata</i>	Liatris	1 Gal.
<i>Leucanthemum superbum</i> 'Becky'	Shasta Daisy	1 Gal.
<i>Penstemon strictus</i>	Rocky Mountain Penstemon	1 Gal.



**Belden Place PUD**  
 South Minturn Addition  
 Lot 7  
 Minturn, Colorado

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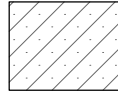
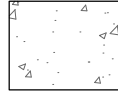

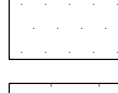


Title:  
 LANDSCAPE  
 Sheet:  
**C.120**











# BELDEN PLACE P.U.D. PRELIMINARY SUBMITTAL Minturn, Colorado

NOT FOR CONSTRUCTION

**HATCH LEGEND:**

-  FIBAR ENGINEERED PLAYGROUND SURFACE
-  CONCRETE DRIVEWAY RIBBON
-  3" SHREDDED MULCH
-  TURF GRASS
-  PERENNIAL MIX. MAY BE WILDFLOWER MIX (SEED)
-  TREDSTONE DRIVEABLE GRASSCPAE ADJACENT TO DRIVE-WAY RIBBONS

**MATERIAL & DETAIL LEGEND:**

-  1 SHRUB PLANTING, RE: 1, SHEET C.122
-  2 TYPICAL MULCHING UNDER PLANTED MATERIALS RE: 9, SHEET C.122
-  3 TREE PLANTING, RE: 3, SHEET C.122
-  4 EXISTING TREE PROTECTION, RE: 4, SHEET C.122
-  5 TREE ON SLOPE, RE: 5, SHEET C.122
-  6 DOG WASTE STATION, RE: 6, SHEET C.122
-  7 CONCRETE EDGER, RE: 7, SHEET C.122
-  8 METAL EDGER, RE: 8, SHEET C.122
-  9 TIRE SWING, RE: 9, SHEET C.122
-  10 ADA PICNIC TABLE, RE: 10, SHEET C.122
-  11 BOULDER, RE: 11, SHEET C.122
-  12 BALANCE LOGS RE: 12, SHEET C.122

**GENERAL NOTES:**

1. CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND REGULATIONS.
2. CONTRACTOR TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO BEFORE DIGGING, INCLUDING BUT NOT LIMITED TO, TRENCHING, SHRUB AND TREE PLANTING PITS. IF UTILITIES OCCUR WITHIN (3) THREE FEET OF PROPOSED FOOTINGS, THE CONTRACTOR SHALL REPORT SUCH CONDITIONS TO THE OWNER.
3. CONTRACTOR IS RESPONSIBLE FOR FULL ON-SITE INVESTIGATIONS AS NEEDED IN ORDER TO GAIN A FULL UNDERSTANDING OF EXISTING CONDITIONS PRIOR TO CONSTRUCTION. FAILURE TO INSPECT THE SITE PRIOR TO CONSTRUCTION SHALL NOT BE CAUSE FOR REQUESTING ADDITIONAL MONIES BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
5. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR FOR SAFETY PRECAUTIONS OR PROBLEMS UTILIZED IN CONNECTION WITH THE WORK, AND HE/SHE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. VERIFY ALL CONDITIONS AT THE JOB SITE AND NOTIFY LANDSCAPE ARCHITECT AND THE OWNER'S REP. IMMEDIATELY OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO ANY DEMOLITION OR CONSTRUCTION.

**SIGHT TRIANGLE NOTES:**

**PEDESTRIAN SIGHT TRIANGLES:** NO ITEMS THAT ARE WIDER THAN 18" MAY BE TALLER THAN 30" WITHIN THE PEDESTRIAN SIGHT TRIANGLE.

**CORNER SIGHT TRIANGLES:** NO ITEMS TALLER THAN 30" MAY BE PLACED WITHIN THE CORNER SIGHT TRIANGLE, EXCEPT FOR TRAFFIC CONTROL DEVICES AND EQUIPMENT. TREES MUST BE LIMBED TO 8 FEET AT ADEQUATE MATURITY. TREES SHALL BE PLANTED A MINIMUM OF 10 FEET FROM LIGHT OR UTILITY POLES.

**ROADWAY SIGHT TRIANGLES:** NO ITEMS THAT ARE WIDER THAN 18" MAY BE TALLER THAN 30" WITHIN THE ROADWAY SIGHT TRIANGLE EXCEPT FOR STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT.

**TREE PROTECTION ZONE (TPZ) NOTES:**

1. CONTRACTOR SHALL VERIFY FINAL BOUNDARIES OF TPZ PRIOR TO COMMENCEMENT OF CONSTRUCTION/DEMOLITION ACTIVITIES. EXCESSIVE BRANCH PRUNING ON EXISTING TREES FOR CONSTRUCTION CLEARANCE WILL NOT BE PERMITTED. PRUNING FOR BUILDING CLEARANCE SHALL BE MINIMIZED. DUE TO SCOPE OF CONSTRUCTION AND SIZE OF EX. ROW TREES, USE CHAIN LINK FENCING TO ESTABLISH TPZ.
2. THE TREE LAWN WITHIN THE BOUNDARY OF THE TREE DRIPLINE SHALL NOT BE ROTOTILLED AT ANY TIME. ROTOTILLING IS ONLY PERMITTED IN AREAS OUTSIDE OF EXISTING TREE DRIPLINE WHERE CONCRETE & HARDSCAPE ARE REMOVED.

**LANDSCAPE NOTES:**

1. ALL NEW LANDSCAPE AND IRRIGATION SHALL BE UNDER WARRANTY FOR A PERIOD OF (1) ONE YEAR. THE WARRANTY PERIOD SHALL COMMENCE ONCE ALL PUNCH LIST ITEMS ARE SATISFACTORY COMPLETED AND A LETTER OF FINAL COMPLETION IS PROVIDED FROM THE OWNER'S REPRESENTATIVE. ALL LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1 YEAR AFTER THE FINAL COMPLETION IS PROVIDED IN WRITING.
2. PLANT MATERIAL AND BED LOCATIONS TO BE STAKED BY THE LANDSCAPE CONTRACTOR FOR REVIEW BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ALL ADJUSTMENTS SHALL BE MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT DIG PLANT PITS UNTIL LOCATIONS ARE APPROVED.
3. ROUGH GRADING TO PLUS OR MINUS ONE TENTH OF A FOOT BY GENERAL CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE FINISH GRADING IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR TO APPROVE ROUGH GRADES PRIOR TO MOBILIZATION. MOBILIZATION ON THE PART OF THE LANDSCAPE CONTRACTOR WILL INDICATE THAT ROUGH GRADING IS ACCEPTABLE TO THE LANDSCAPE CONTRACTOR, AND THEREFORE BE RESPONSIBLE FOR PROVIDING ALL FINISHED GRADES TO MEET THE CIVIL GRADING PLANS.
4. TREES AND SHRUBS WILL BE INSPECTED ON-SITE. LANDSCAPE PLANT MATERIALS MAY BE REJECTED AT ANY TIME DUE TO ISSUES OF QUALITY.
5. ALL NEW LANDSCAPE AREAS SHALL BE IRRIGATED BY A COMMERCIAL GRADE, FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. TREES, SHRUBS, AND DECORATIVE GRASSES SHALL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS; THIS INCLUDES TREES PLANTED IN SOD/GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED. IRRIGATION TO BE DESIGN/BUILD. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ARCHITECT, LANDSCAPE ARCHITECT, AND MECHANICAL AND FOR GENERATION OF AN IRRIGATION PLAN FOR REVIEW WITH AS BUILT PLAN AS REQUIRED.
6. ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULE AND REGULATIONS.
7. TRUNK-WRAP TAPE: TWO LAYERS OF CRINKLED PAPER CEMENTED TOGETHER WITH BITUMINOUS MATERIAL, 4 INCHES (102 MM) WIDE MIN.
8. WRAPPING TREE TRUNKS: WRAP TREES WITH TRUNK-WRAP TAPE. START AT BASE OF TRUNK AND SPIRAL COVER TRUNK TO HEIGHT OF FIRST BRANCHES. OVERLAP WRAP, EXPOSING HALF THE WIDTH, AND SECURELY ATTACH WITHOUT CAUSING GIRDLING. DO NOT USE STAPLES. INSPECT TREE TRUNKS FOR INJURY, IMPROPER PRUNING, AND INSECT INFESTATION AND TAKE CORRECTIVE MEASURES REQUIRED BEFORE WRAPPING. DO NOT WRAP ROUGH BARK, POPULUS OR GLEDITSIA TREES. REMOVE WRAP IN SPRING.
- 8.1. NO TREE SHALL BE WRAPPED AFTER MAY 21 OR BEFORE NOVEMBER 1.
- 8.2. ALL DECIDUOUS TREES SHALL BE WRAPPED BY NOV. 15. REMOVE TREE WRAP BY MAY 15.
- 8.3. CONTRACTOR SHALL BE RESPONSIBLE FOR WRAPPING AND UNWRAPPING TREES DURING THE WARRANTY PERIOD.
9. FIBER MULCH AT PLANTING BEDS: ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, CONSISTING OF SHREDDED REDWOOD MULCH NOT LARGER THAN FOUR INCHES (4") IN LENGTH. SUBMIT 1.0 CF SAMPLE FOR APPROVAL.

**SOIL PREPARATION:**

SOIL SHALL BE AMENDED BASED ON THE SOIL TEST RECOMMENDATIONS (TO ADDRESS SPECIFIC DEFICIENCIES & ISSUES IN EXISTING SOIL). THE FOLLOWING INCLUDES THE SOIL TEST REQUIREMENTS AND RECOMMENDATIONS TO BE USED IN CONJUNCTION WITH THE SOIL TEST RESULTS:

1. SOIL ANALYSIS, BULK DENSITY TESTING AND REMEDIATION REQUIRED. SOIL ANALYSIS FROM A LOCAL ACCREDITED SOIL ANALYSIS LABORATORY WITH EXPERIENCE IN LOCAL URBAN SOILS SHALL BE REQUIRED WHEN PLANTS ARE TO BE INSTALLED IN GREEN SPACE. ALL SOIL REMEDIATION SHALL BE BASED ON THE SOIL ANALYSIS.
  - 1.1. MINIMUM SOIL ANALYSIS MUST DETERMINE SOIL TEXTURE AND STRUCTURE, PH BALANCE, SOIL SALINITY, FREE LIME, ORGANIC MATTER (OM) CONTENT, PLANT AVAILABLE NUTRIENTS AND COMPACTION.
  - 1.2. DEPTH OF LANDSCAPE SOIL ANALYSIS SHALL BE 24IN FOR TREES AND 8IN FOR ALL OTHER AREAS
  - 1.3. SOIL REMEDIATION REQUIRED BASED ON SOIL ANALYSIS.
2. COMPOSTED MATERIAL SHALL CONSIST OF AGED ORGANIC MATTER, FREE OF WEED OR OTHER NOXIOUS PLANT SEEDS, LUMPS, STONES, OR OTHER FOREIGN CONTAMINANTS HARMFUL TO PLANT LIFE, AND HAVING THE FOLLOWING CHARACTERISTICS BASED ON A NUTRIENT TEST PERFORMED NO LONGER THAN 3 MONTHS PRIOR TO ITS INCORPORATION INTO THE PROJECT:
  - 1.1. ORGANIC MATTER: 25% MINIMUM.
  - 1.2. SALT CONTENT: 5.0 MMHOS/CM MAXIMUM.
  - 1.3. PH: 8.5 MAXIMUM.
  - 1.4. CARBON TO NITROGEN RATIO OF 10:1 TO 20:1.
  - 1.5. PARTICLE SIZE NO PARTICLE SMALLER THAN SILT OR CLAY SIZE, OR LARGER THAN ½" DIAMETER
  - 1.6. ACCEPTABLE COMPOST PRODUCT: CLASS I COMPOST, SUCH AS ECOGRO OR BIO-COMP, AS PROVIDED BY A1 ORGANICS, EATON, CO, OR APPROVED EQUAL.
2. FINISH GRADE TO BE BELOW THE EDGE OF PAVEMENT PRIOR TO SODDING OR PLANTING:
  - 1.1. SEEDED/SODDED AREAS: ALLOW 1 INCH FOR SOD.
  - 1.2. PLANTED AREAS: ALLOW 3 INCHES FOR MULCH.
4. AFTER APPLYING SOIL CONDITIONER AND FERTILIZER, THOROUGHLY TILL AREA TO DEPTH OF 6" MINIMUM UNTIL SOIL IS WELL PULVERIZED AND THOROUGHLY MIXED.

**Belden Place PUD**

South Minturn Addition  
Lot 7  
Minturn, Colorado

TIMBERLINE ENGINEERING, LLC

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Title:

LANDSCAPE NOTES

Sheet:

**C.121**

Nurture Design

KELLY HYZY, PLA  
8047 Lodgespole Trail  
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Belden Place PUD  
South Minturn Addition  
Lot 7  
Minturn, Colorado

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DATE	REVISION
3/23/20	Coordination
4/03/20	Conceptual Plan

Title:  
LANDSCAPE DETAILS

Sheet:  
C.122

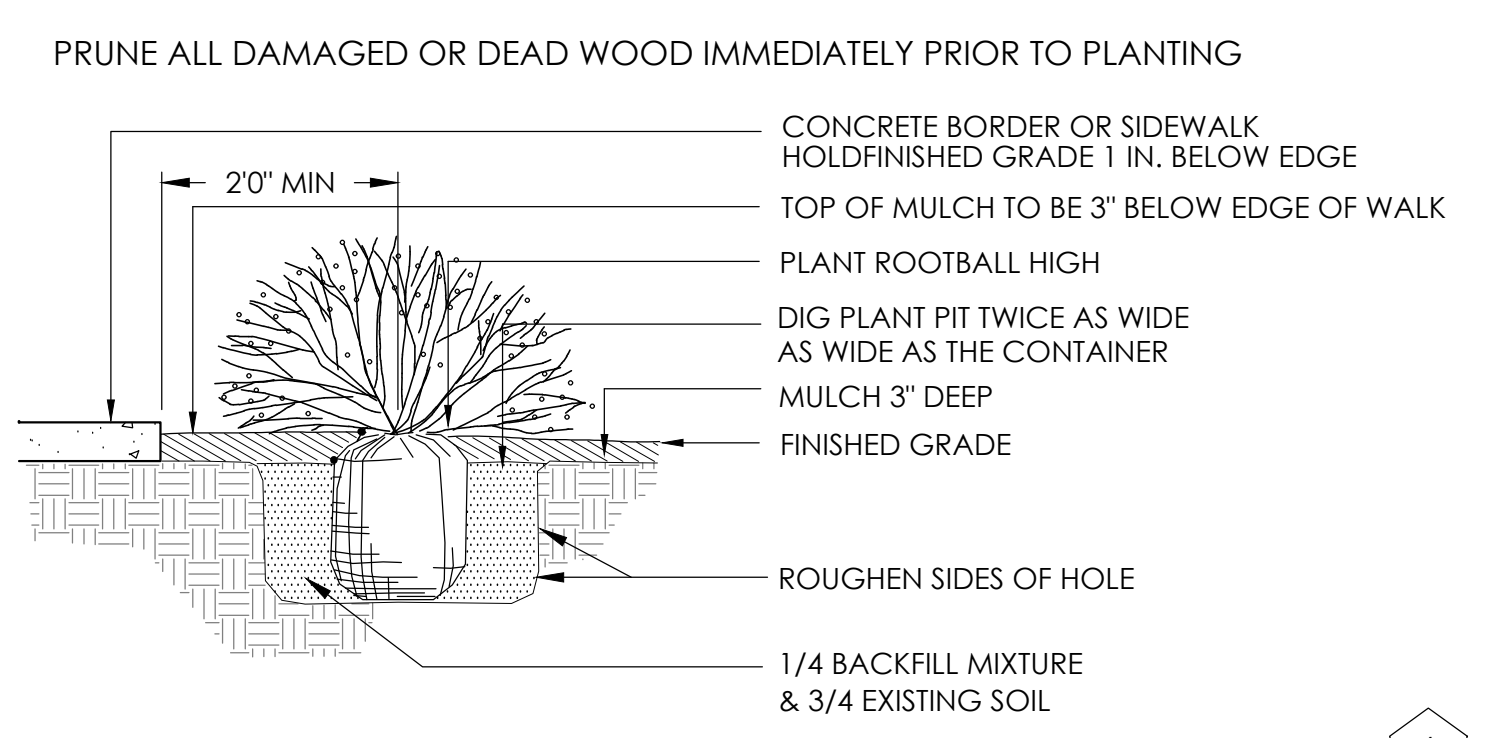
# BELDEN PLACE P.U.D.

## PRELIMINARY PLAT SUBMITTAL

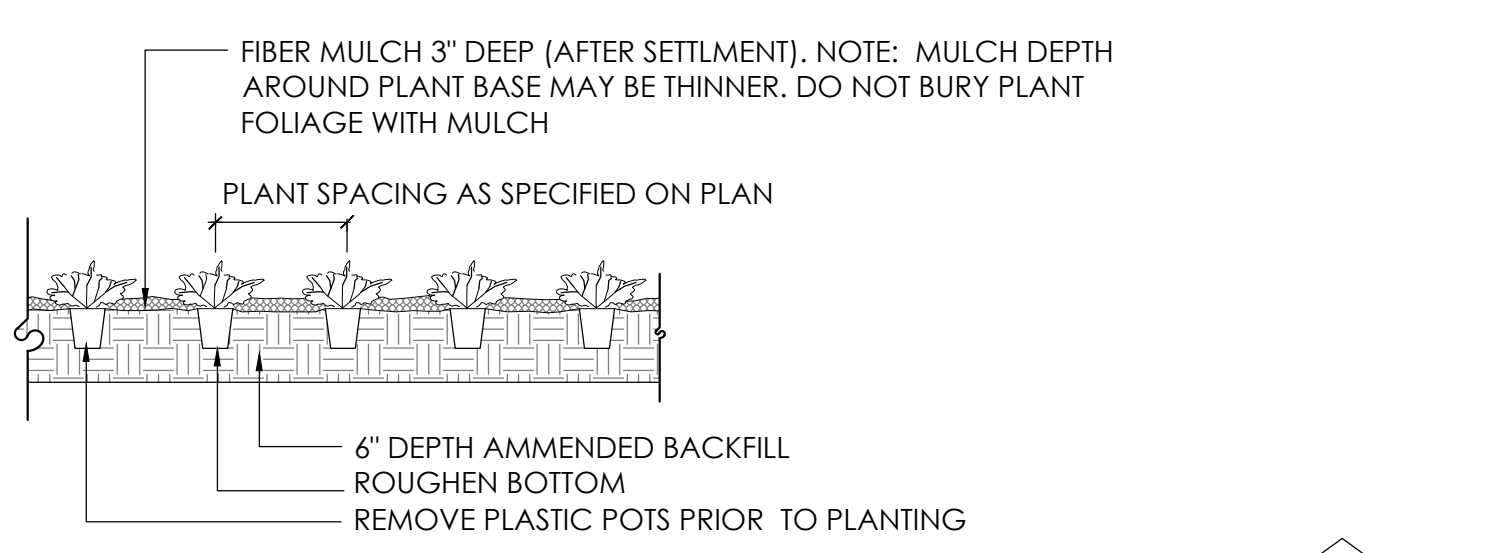
### South Minturn Addition

#### Lots 29,31 & 32

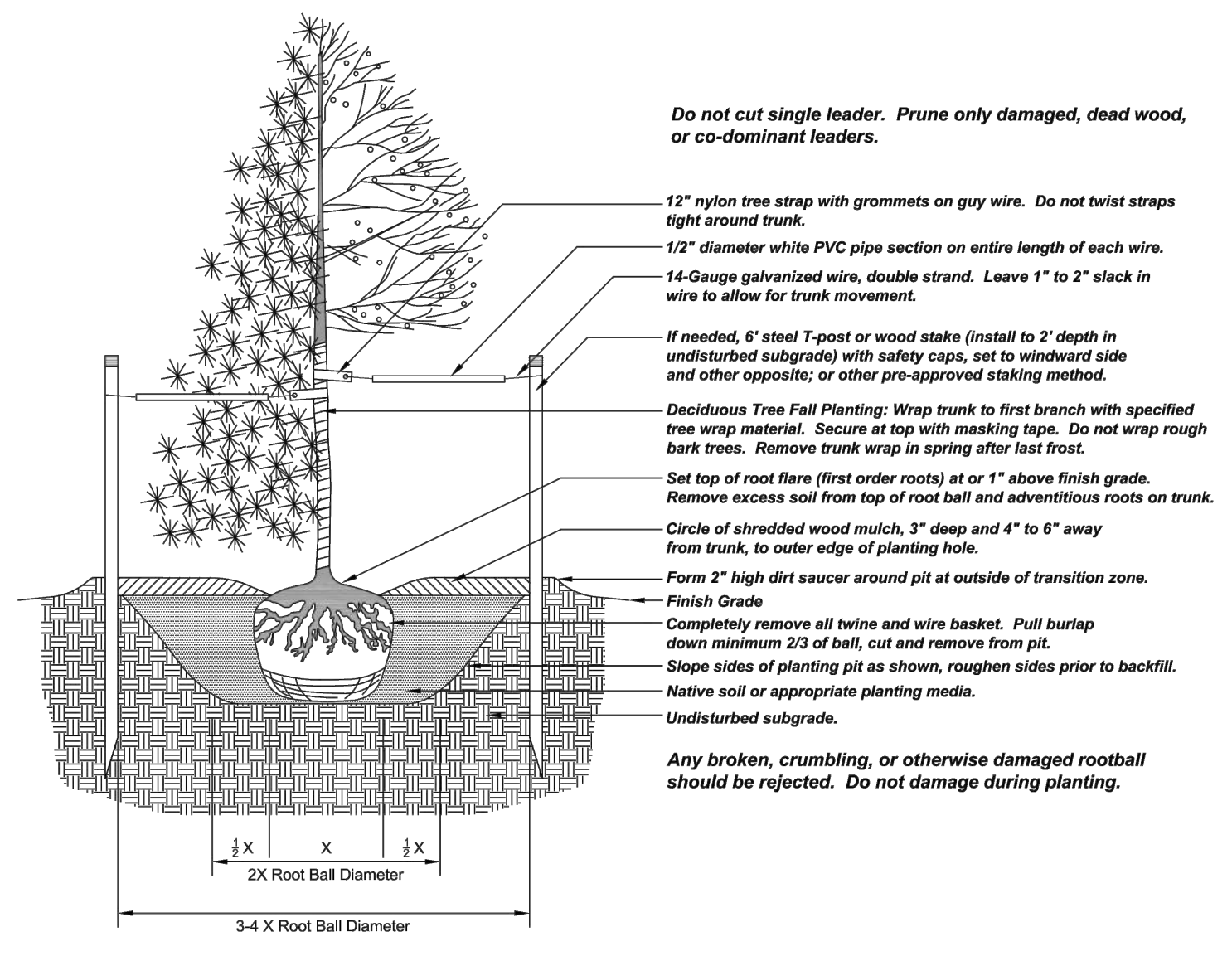
#### Minturn, Colorado



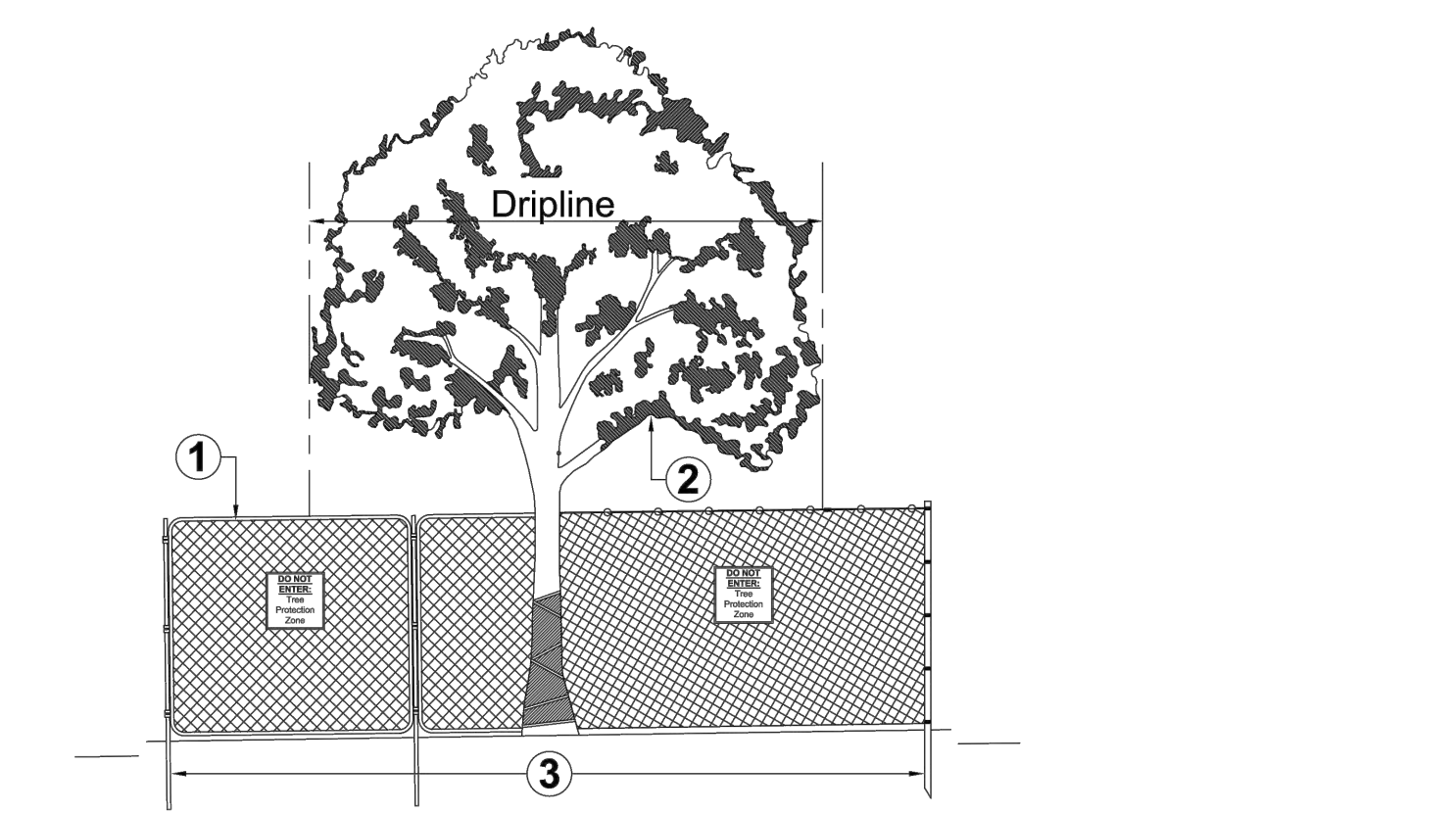
1 SHRUB PLANTING  
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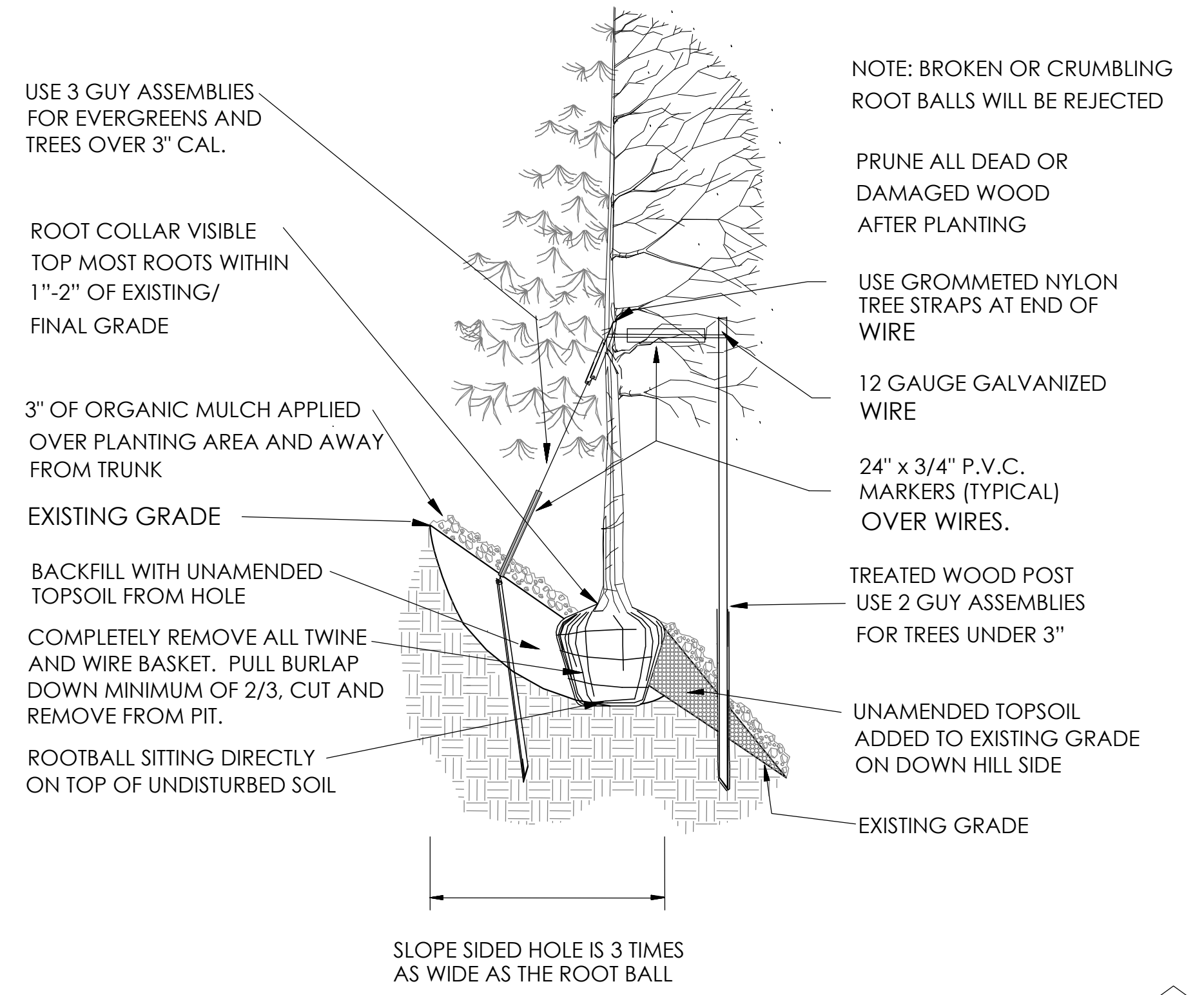
2 PERENNIAL & GROUND COVER PLANTING  
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3 TREE PLANTING  
SCALE: N.T.S.



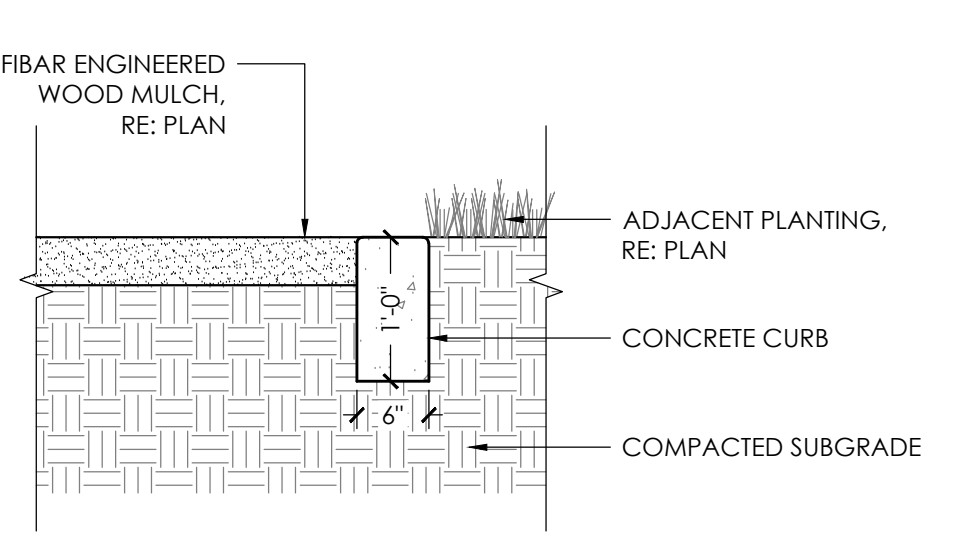
4 EXISTING TREE PROTECTION  
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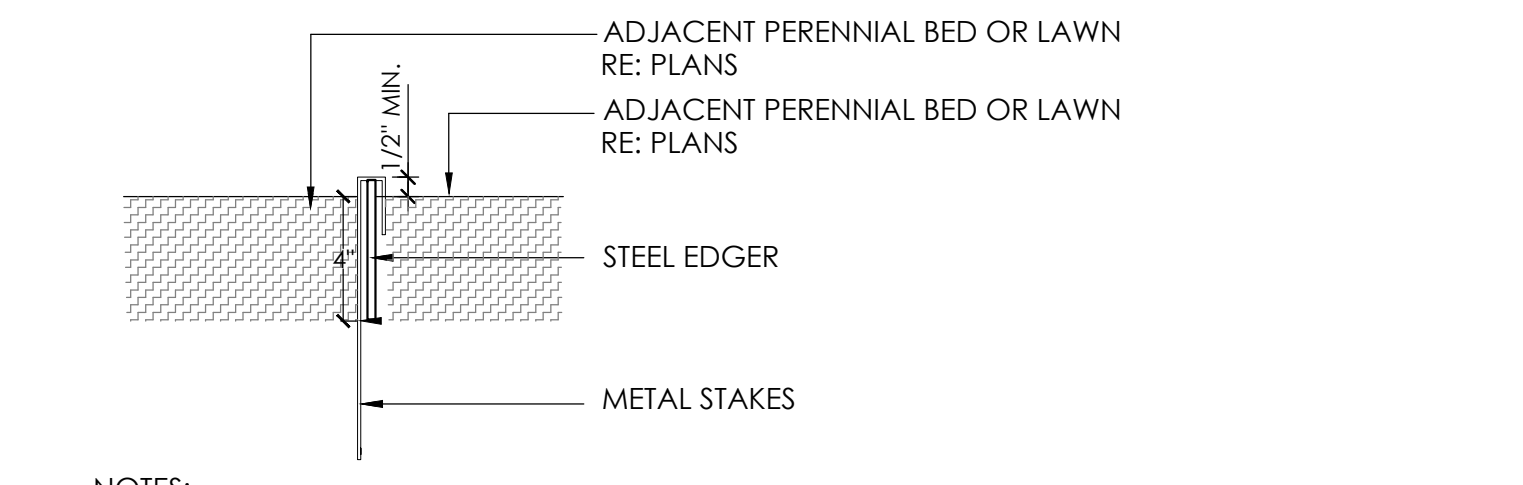
5 TREE ON SLOPE  
N.T.S.



6 DOG WASTE STATION  
N.T.S.



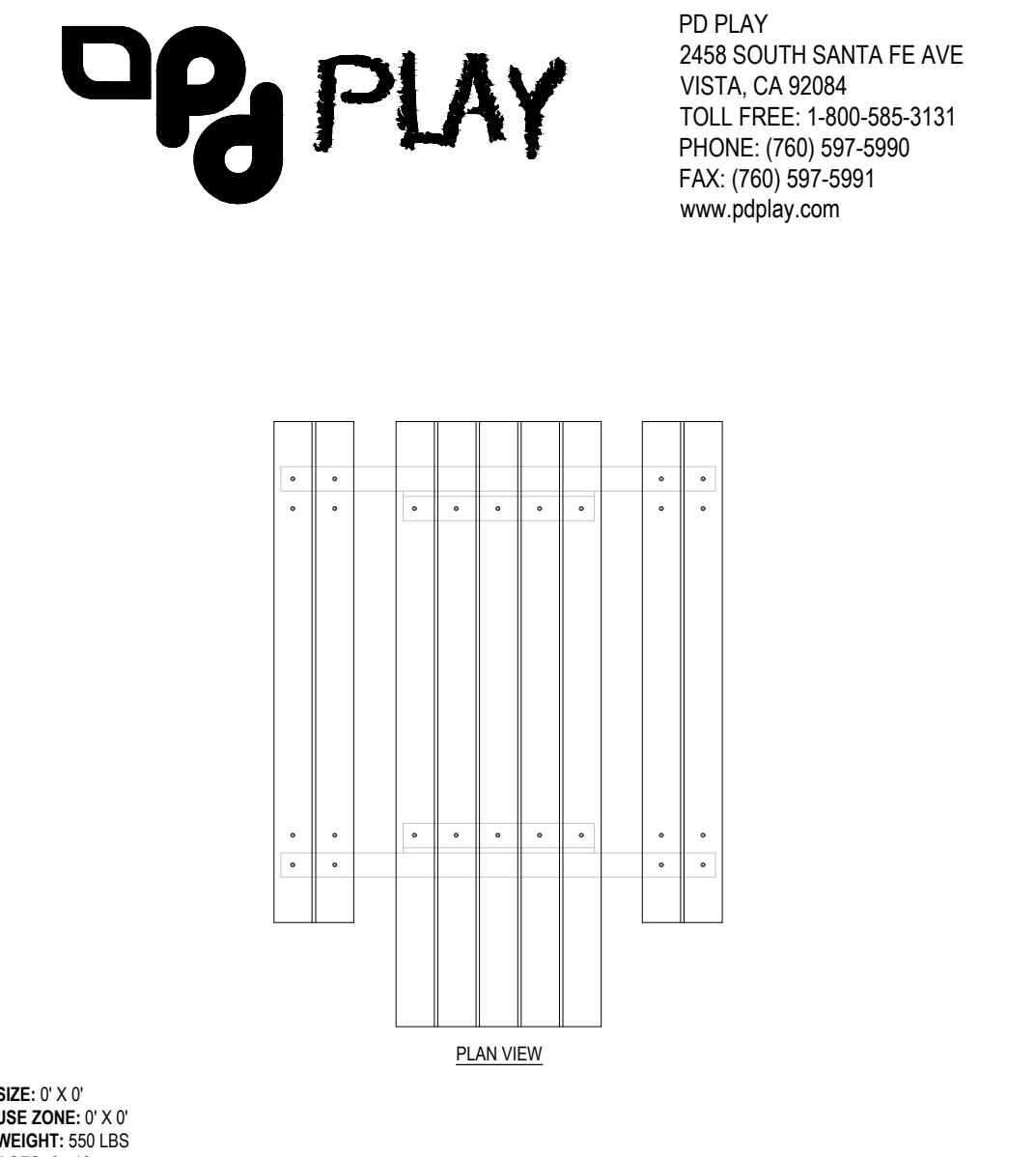
7 CONCRETE EDGER  
SCALE: 3/4" = 1'-0"



8 METAL EDGER  
SCALE: 3/4" = 1'-0"



9 TIRE SWING  
SCALE: N.T.S.



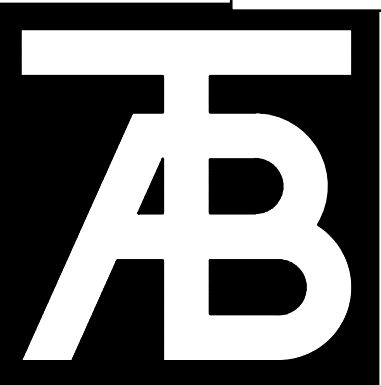
10 ADA PICNIC TABLE  
SCALE: N.T.S.



11 BOULDER  
N.T.S.

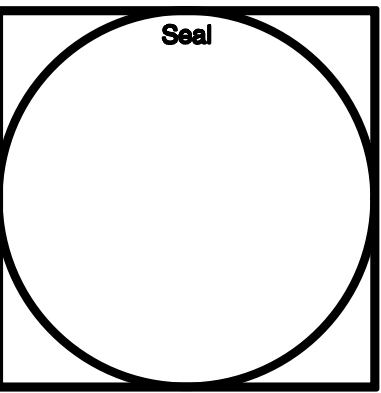


12 BALANCE LOGS  
N.T.S.



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Electrical Engineer:



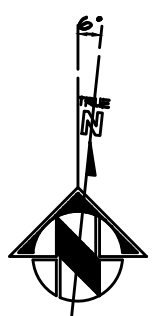
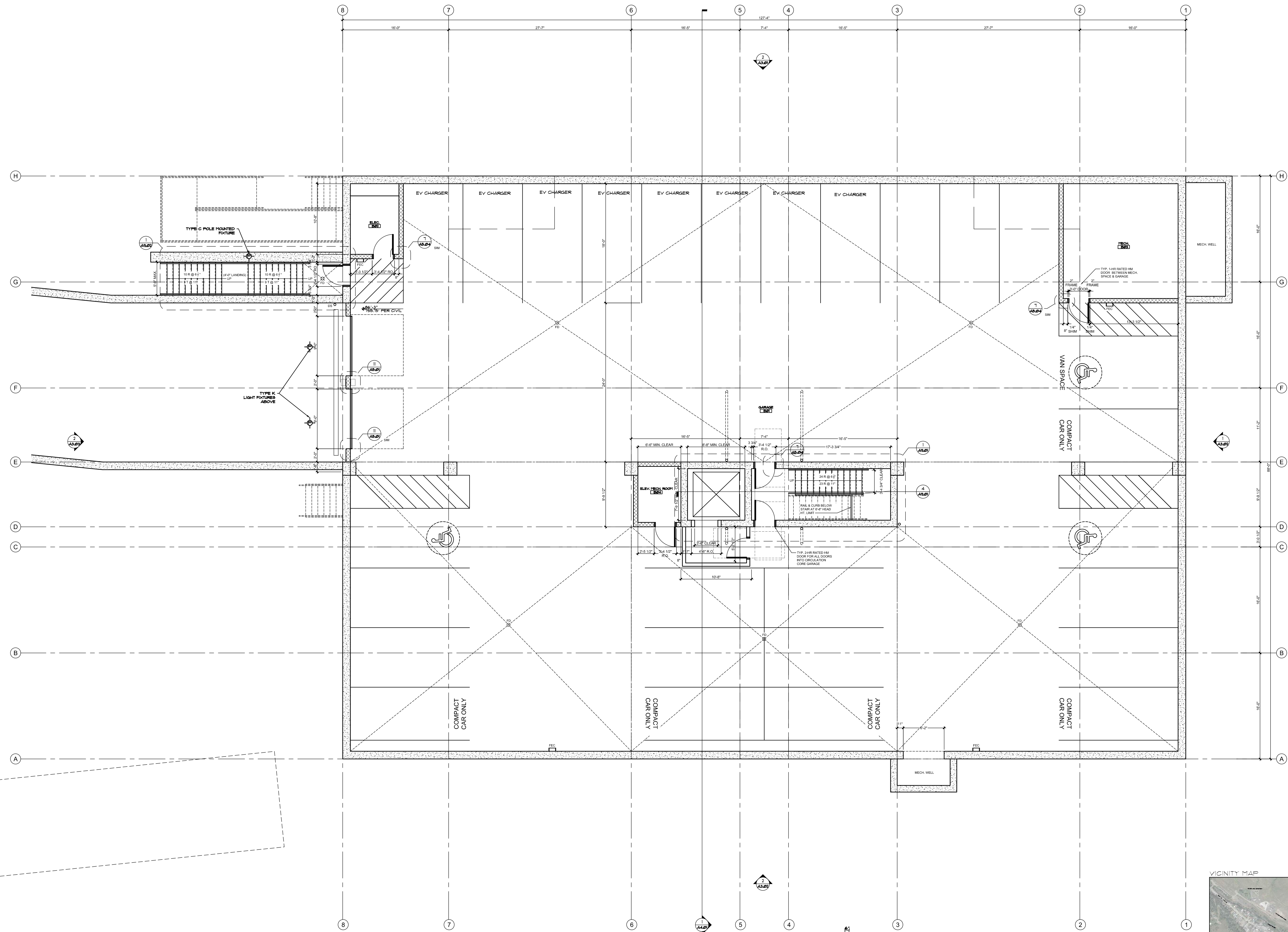
**Belden Place - 12 Plex (Flats)**  
**Lot 7**  
0036 Abby Road, Mintum, Colorado 81645

Revisions:

Issue Date:  
CDs - 10/12/2023

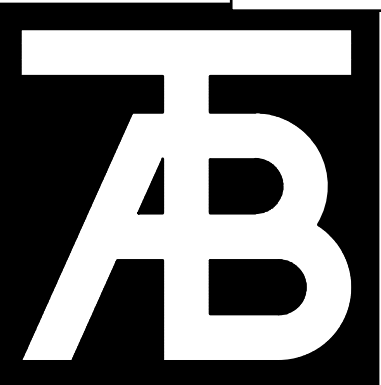
Sheet Title:  
**Garage Floor Plan - Dimensions**

Project No:  
**2136**  
Sheet No:  
**A2.01B**



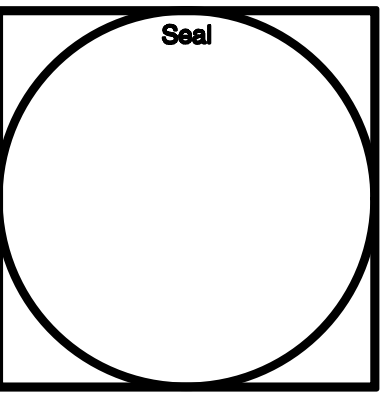
**GARAGE FLOOR PLAN - DIMENSIONS**  
SCALE: 3/16"=1'-0"





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**Belden Place - 12 Plex (Flats)**  
**Lot 7**  
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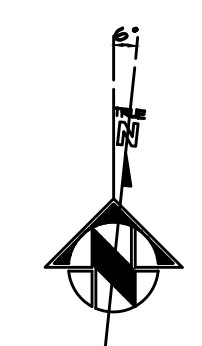
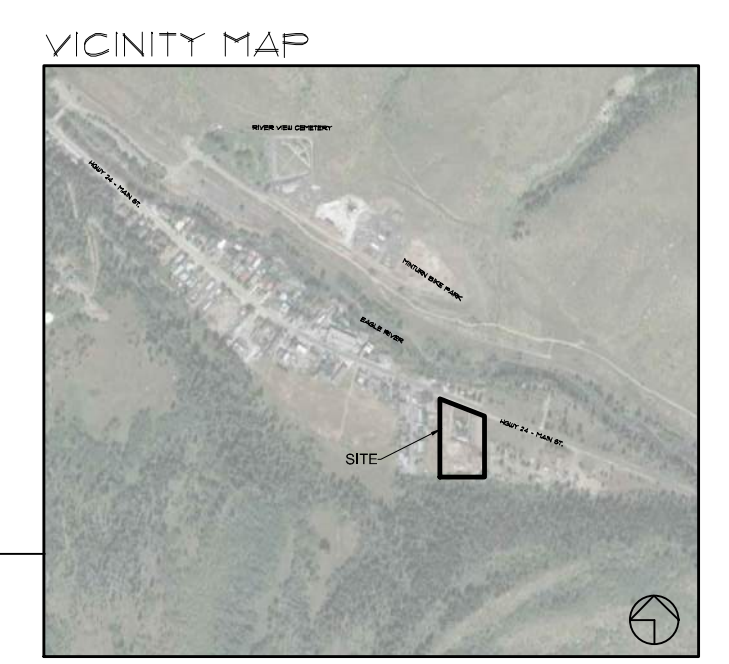
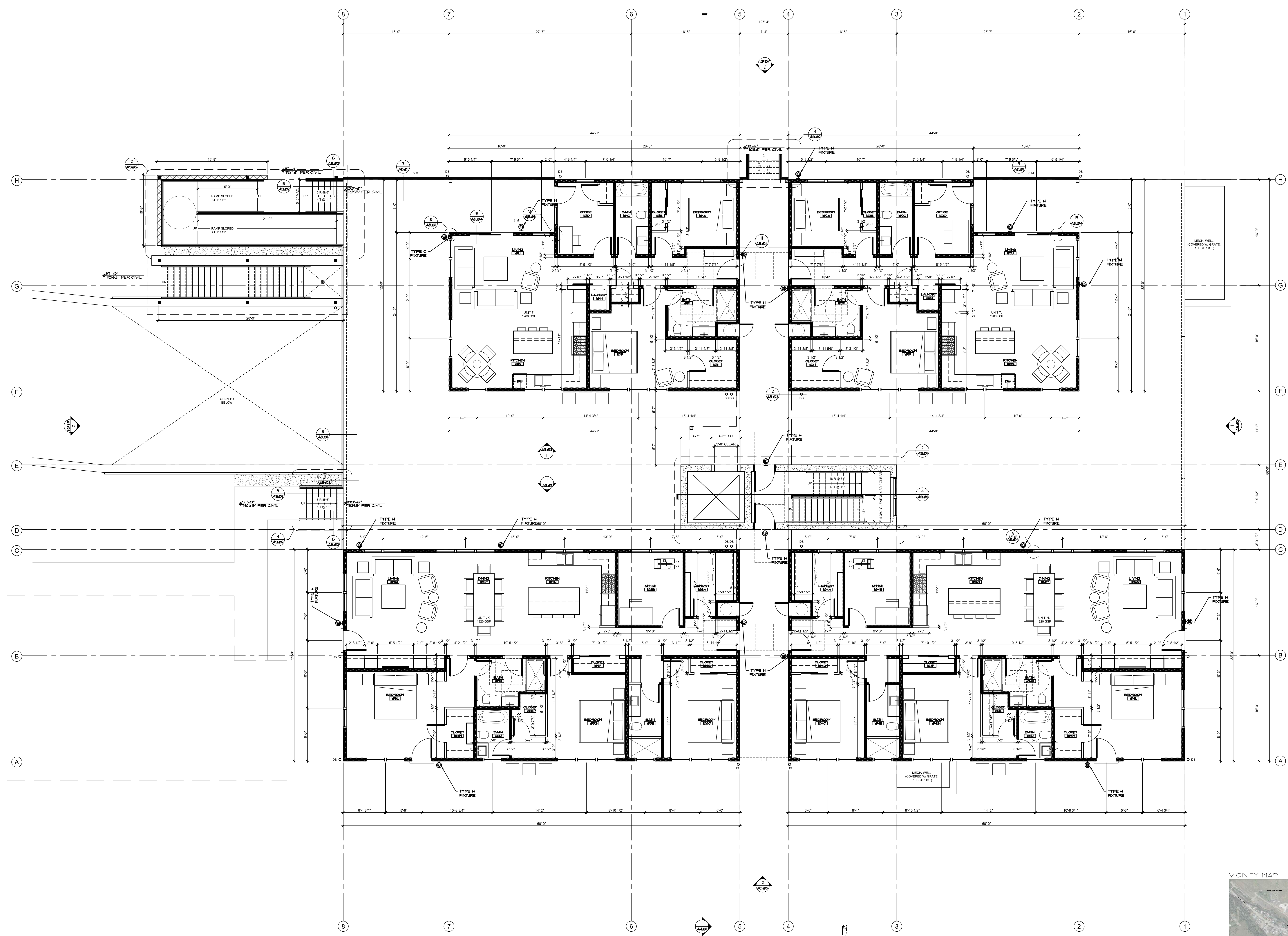
Revisions:

Issue Date:  
CO - 10/12/2009

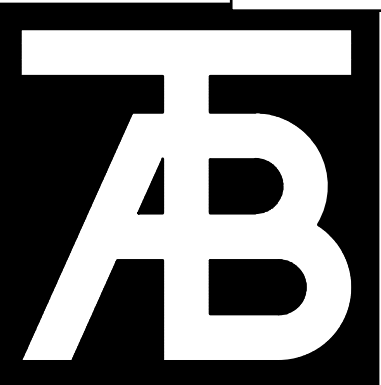
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**First Floor Plan - Dimensions**

Project No:  
**2136**

Sheet No:  
**A2.02B**

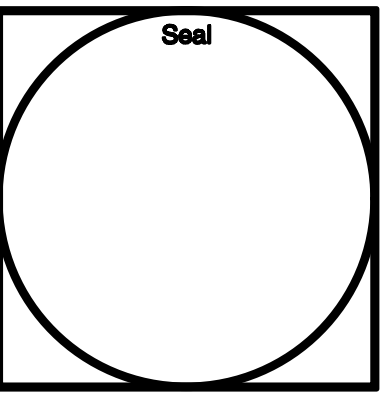


**1 FIRST FLOOR PLAN - DIMENSIONS**  
A2.02B SCALE: 3/16"=1'-0"



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Electrical Engineer:



**Belden Place - 12 Plex (Flats)**  
**Lot 7**  
0036 Abby Road, Mintum, Colorado 81645

Revisions:

Issue Date:  
**CDs - 10/12/2023**

Sheet Title:  
**Second Floor Plan - Dimensions**

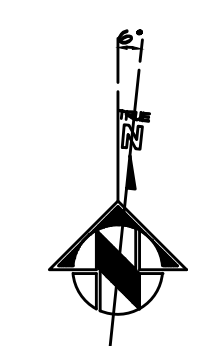
Project No:  
**2136**

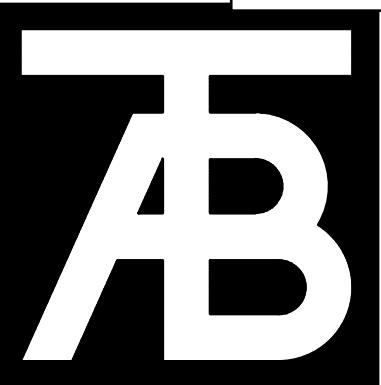
Sheet No:  
**A2.03B**



**SECOND FLOOR PLAN - DIMENSIONS**

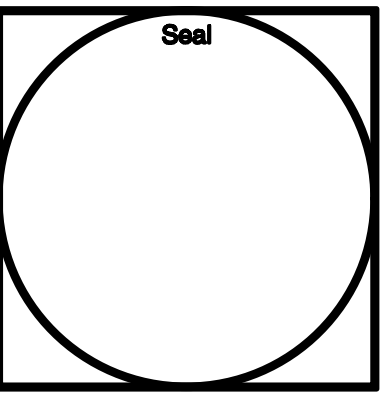
SCALE: 3/16"=1'-0"





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Electrical Engineer:



**Belden Place - 12 Plex (Flats)**  
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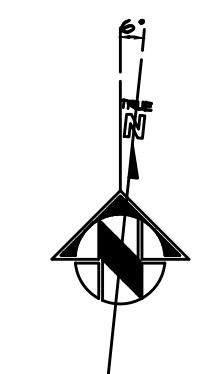
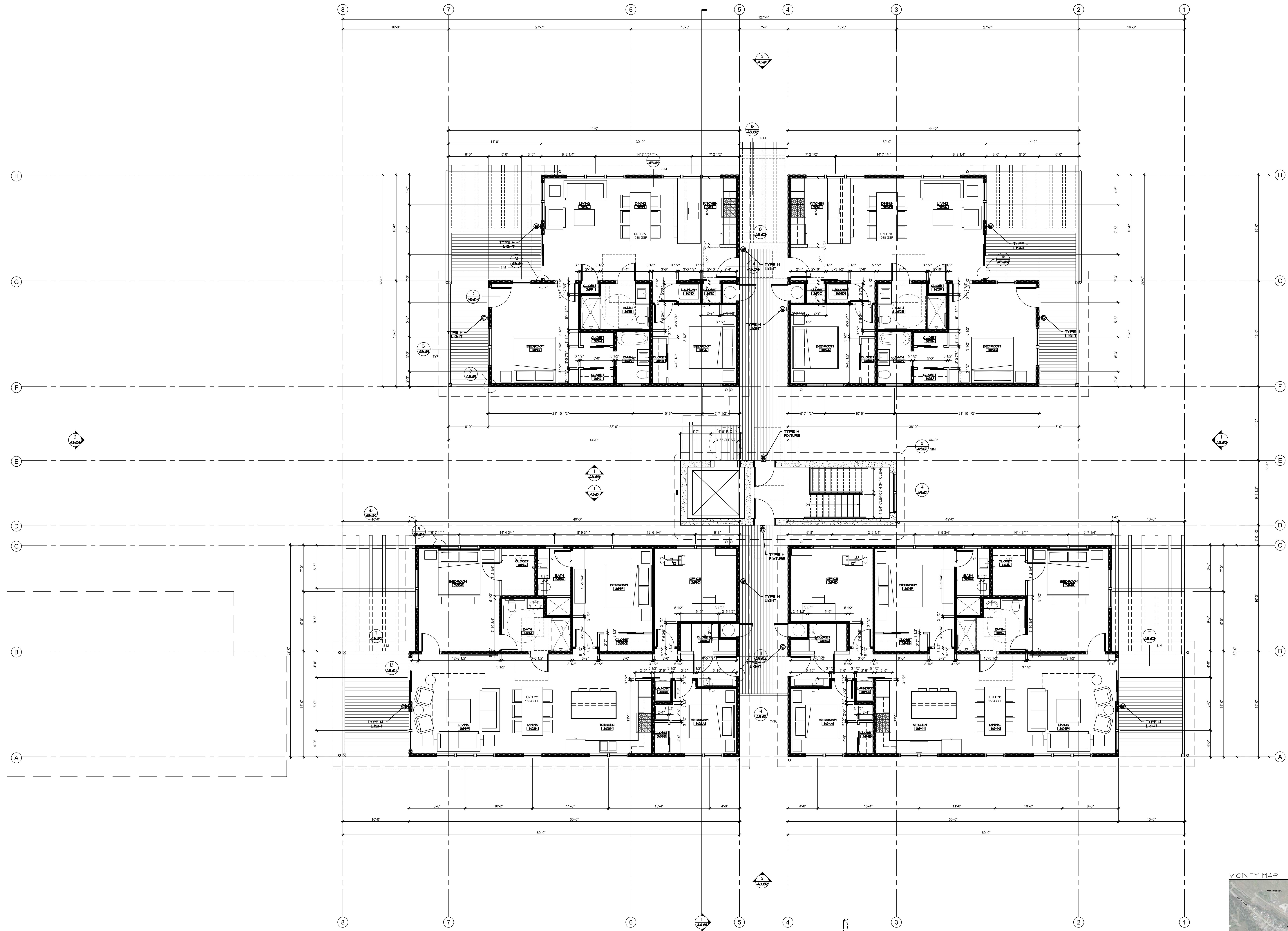
Revisions:

Issue Dates:  
COs - 10/12/2023

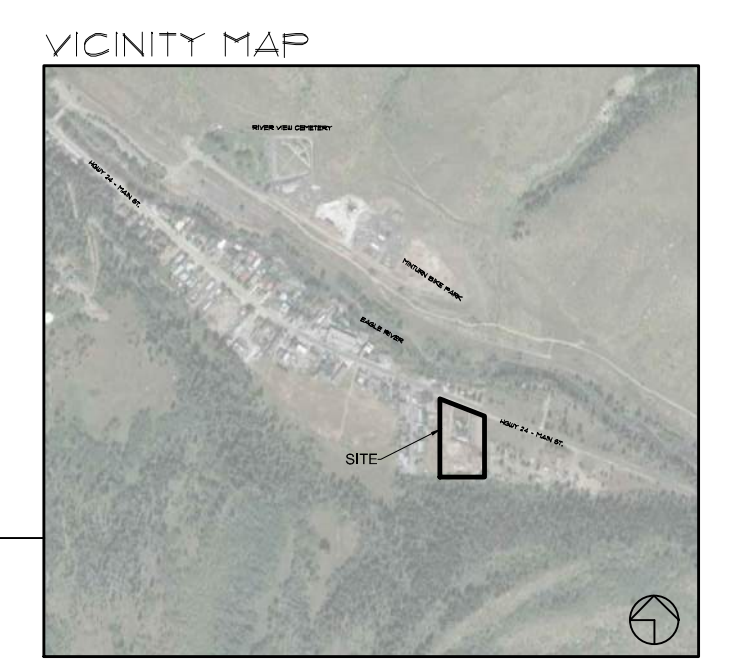
Sheet Title:  
**Third Floor Plan - Dimensions**

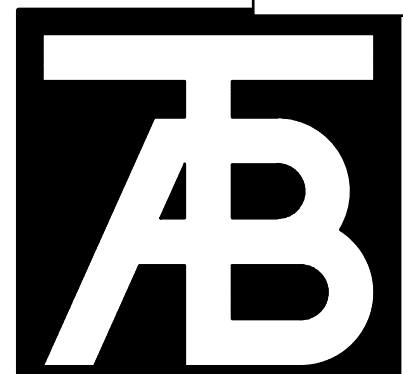
Project No:  
**2136**

Sheet No:  
**A2.04B**



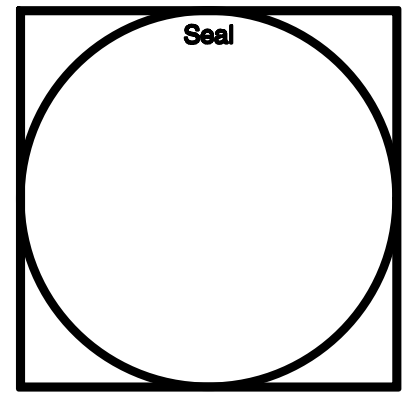
**THIRD FLOOR PLAN - DIMENSIONS**  
SCALE: 3/16"=1'-0"





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Electrical Engineer:



**Belden Place - 12 Plex (Flats)**  
**Lot 7**  
0036 Abby Road, Mintum, Colorado 81645

Revisions:

Issue Date:  
COs - 10/18/2023

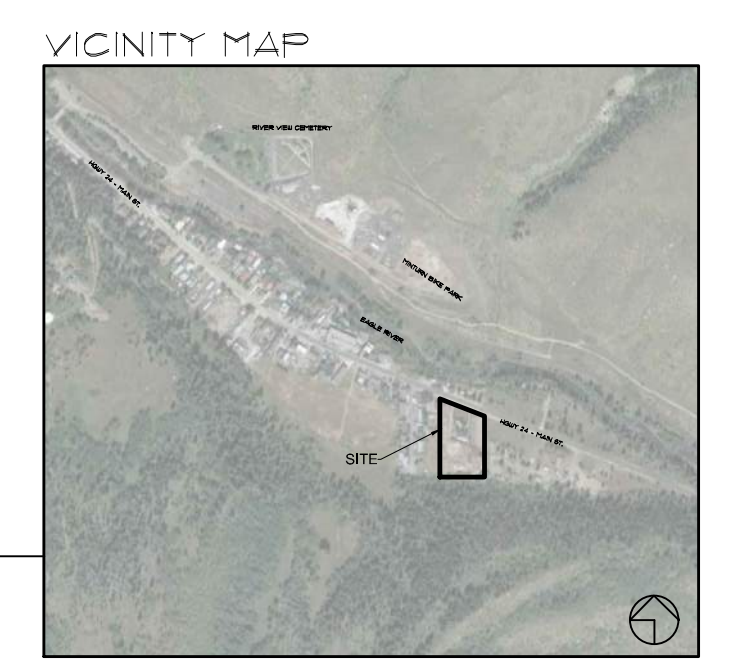
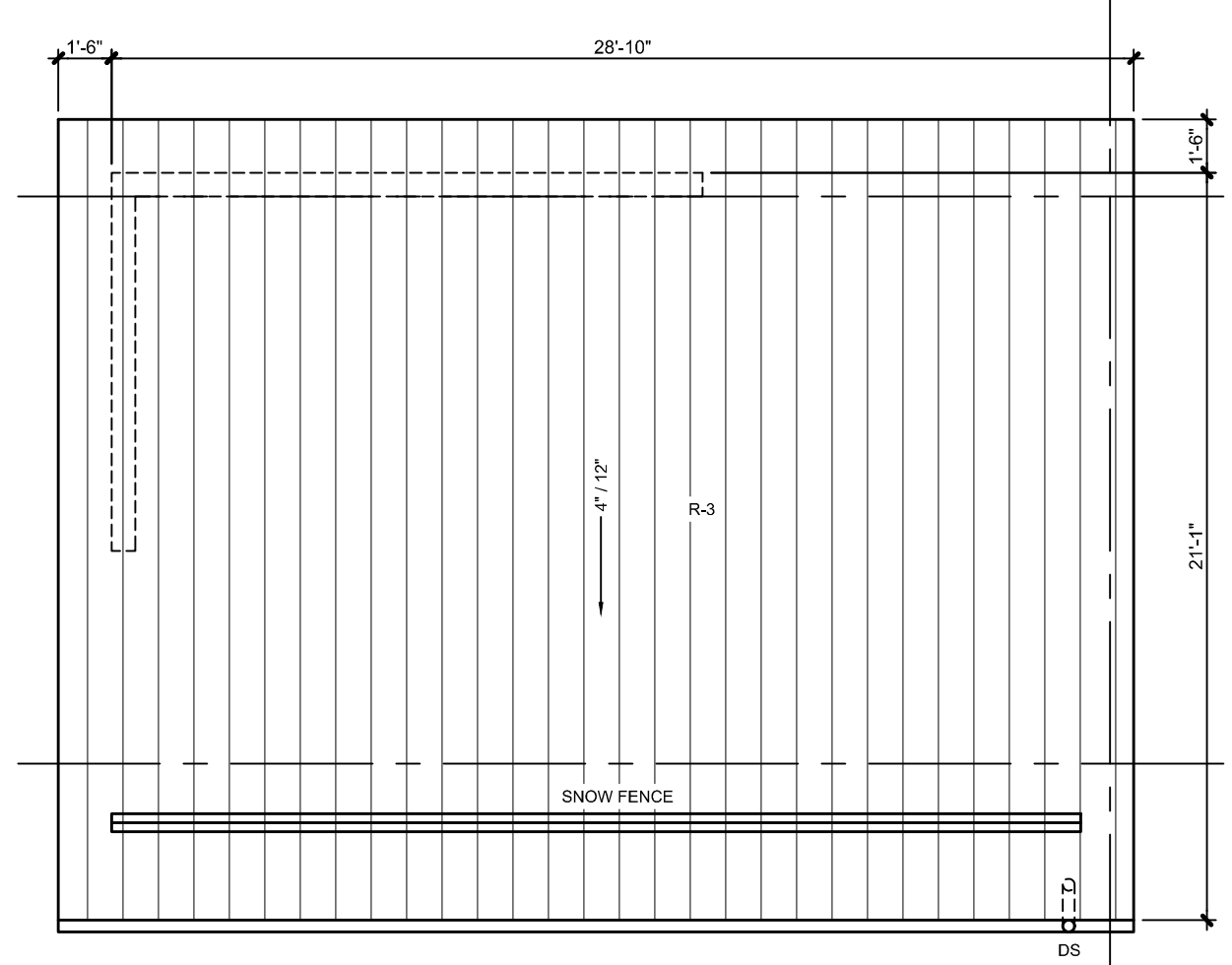
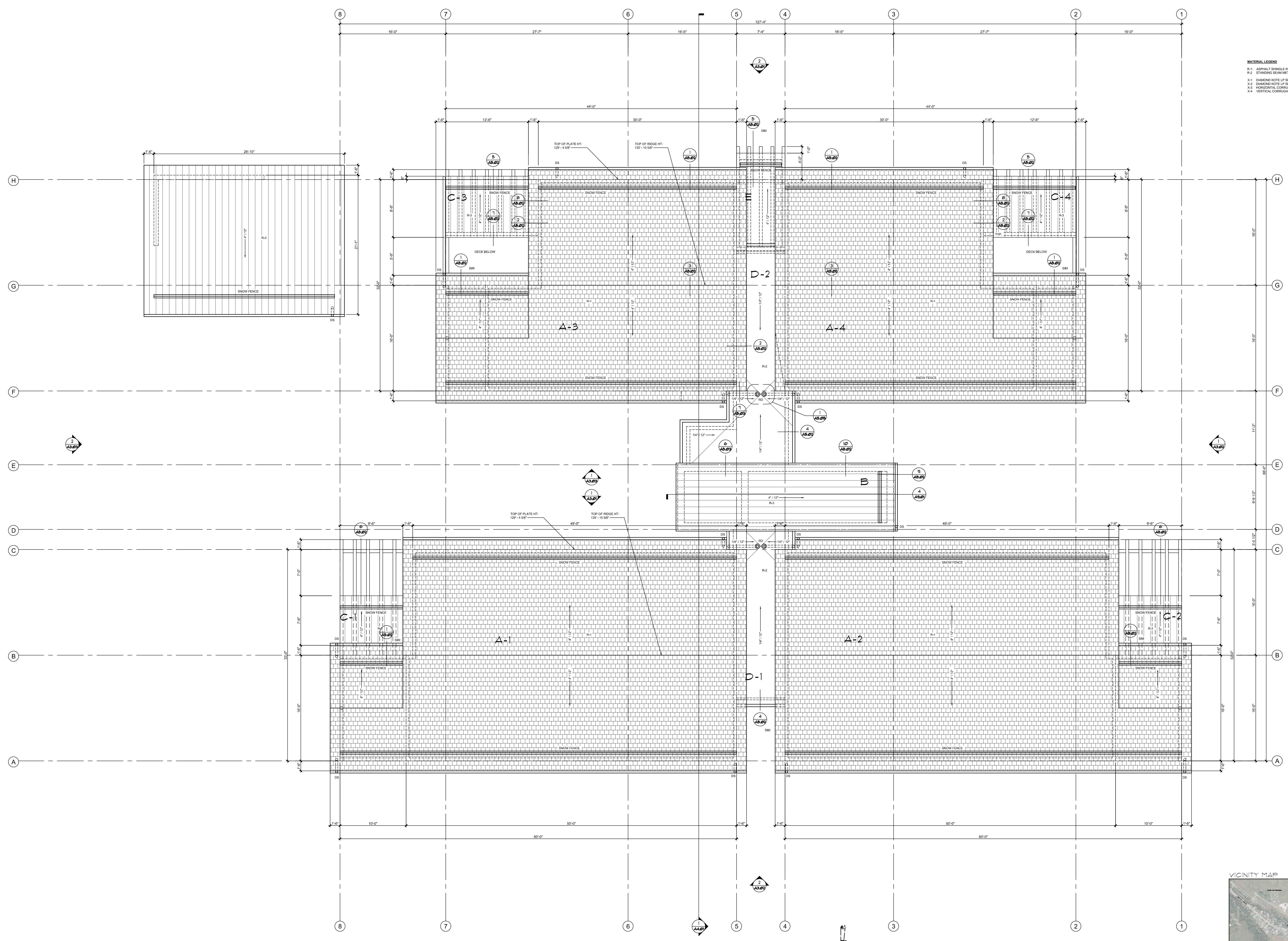
Sheet Title:  
**Roof Plan - Dimensions**

Project No:  
**2136**

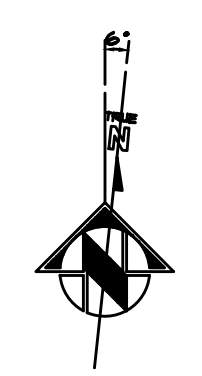
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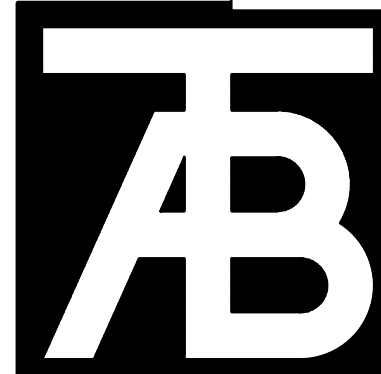
46

**MATERIAL LEGEND**  
R-1 ASPHALT SHINGLE ROOF  
R-2 STANDING SEAM METAL ROOF  
X-1 DIAMOND NOTE LP SMARTSIDE LAP SIDING  
X-2 DIAMOND NOTE LP SMARTSIDE VERTICAL SIDING  
X-3 HORIZONTAL CORRUGATED METAL SIDING  
X-4 VERTICAL CORRUGATED METAL SIDING



**1 ROOF PLAN - DIMENSIONS**  
SCALE: 3/16"=1'-0"

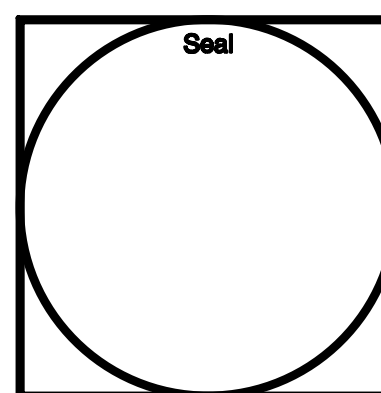




**TAB**  
Associates

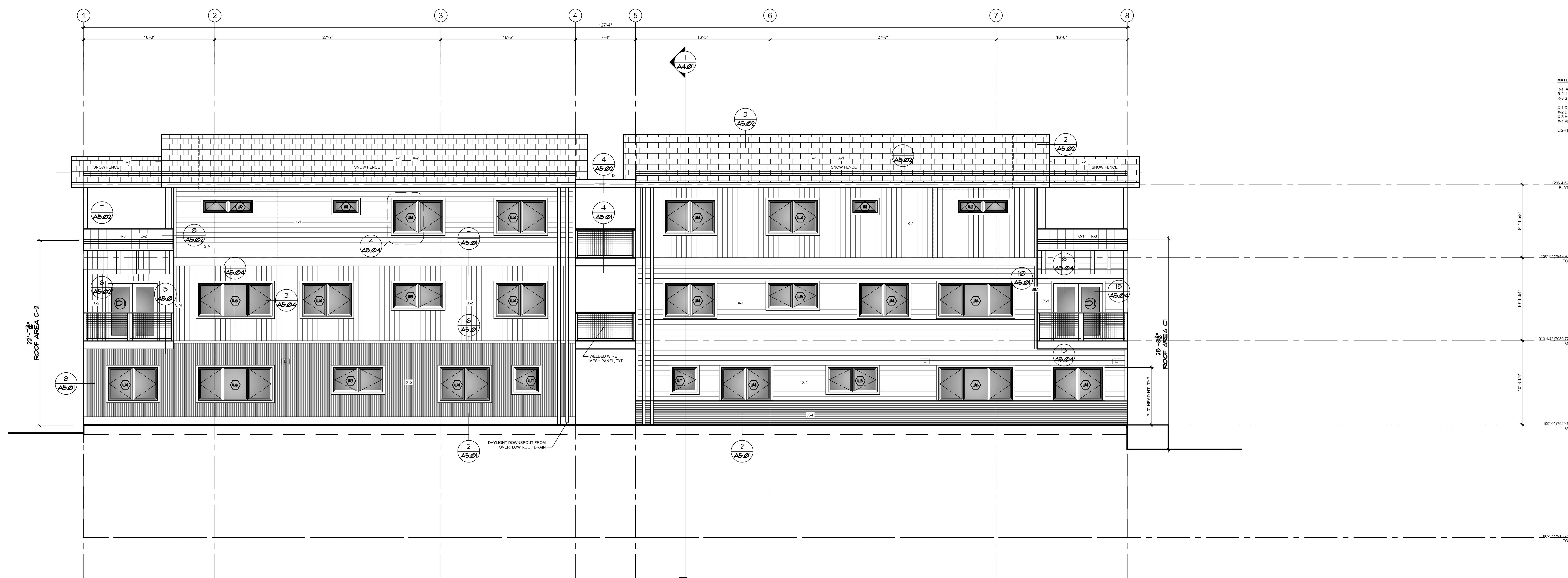
*The Architectural Balance*  
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Electrical Engineer:



**Belden Place - 12 Plex (Flats)**  
**Lot 7**  
0036 Abby Road, Minturn, Colorado 81645

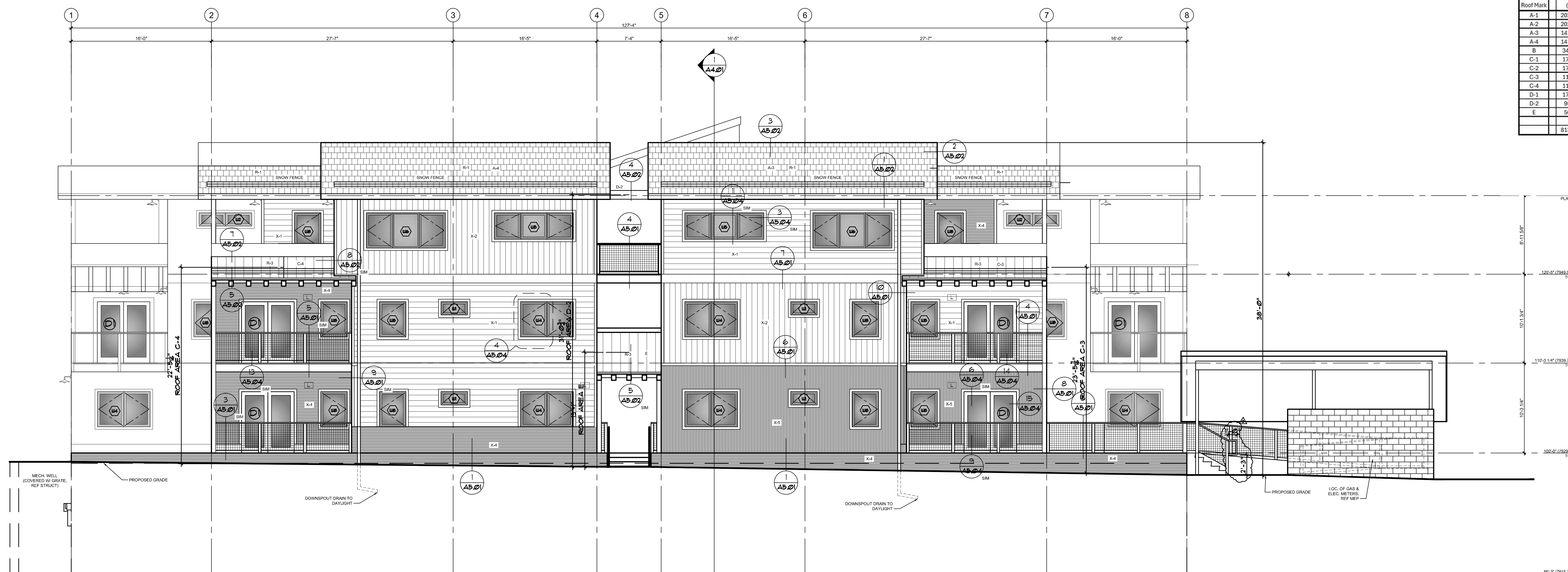
**MATERIAL LEGEND**  
R-1 ASPHALT SINGLE ROOF  
R-2 LOW SLOPE EPDM  
R-3 STANDING SEAM METAL ROOF  
X-1 DIAMOND KOTE LP SMARTSIDE LAP SIDING  
X-2 DIAMOND KOTE LP SMARTSIDE VERTICAL SIDING  
X-3 HORIZONTAL CORRUGATED METAL SIDING  
X-4 VERTICAL CORRUGATED METAL SIDING  
LIGHT FIXTURES (L)



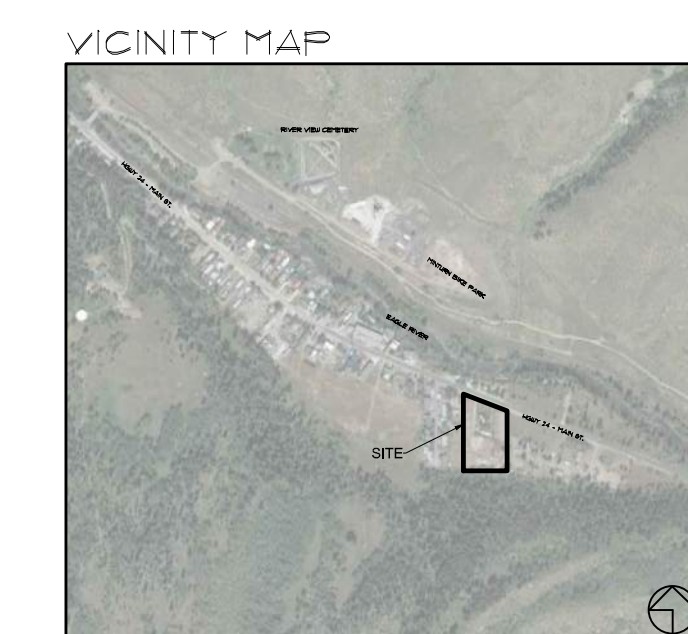
**1 EXTERIOR ELEVATION - NORTH (REAR UNITS)**  
SCALE: 3/16"=1'-0"

ROOF AREA DIMENSIONS (HEIGHT) SHOWN ON ELEVATION WITH MOST RESTRICTIVE HEIGHT

Roof Mark	Roof Area (SF)	Avg Hgt (Ft)	Weighted Avg (Ft)
A-1	2024.50	24.90	35.53
A-2	2024.50	24.90	33.52
A-3	1416.50	17.42	35.03
A-4	1416.50	17.42	33.52
B	241.34	4.20	34.00
C-1	176.00	2.16	25.70
C-2	176.00	2.16	22.65
C-3	119.00	1.46	23.45
C-4	119.00	1.46	22.42
D-1	172.00	2.12	31.46
D-2	95.00	1.17	31.06
E	50.00	0.61	13.08
<b>TOTAL</b>	<b>8130.34</b>	<b>100.00</b>	<b>341.44</b>



**2 EXTERIOR ELEVATION - NORTH**  
SCALE: 3/16"=1'-0"



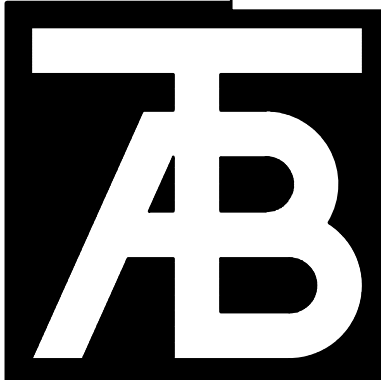
**Revisions:**  
REVIEW COPY 01/09/2024

**Issue Date:**  
CDs - 12/12/2023

**Sheet Title:**  
Exterior Elevations

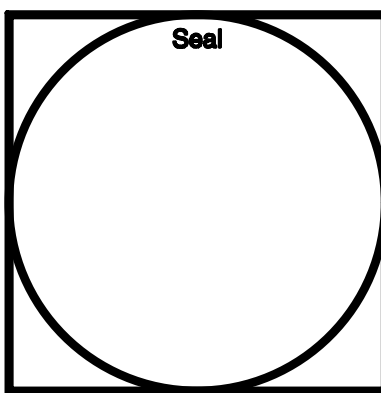
**Project No:**  
2136

**Sheet No:**  
A3.01



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(970) 241-8708  
Electrical Engineer:



**Belden Place - 12 Plex (Flats)**  
**Lot 7**  
0036 Abby Road, Mintum, Colorado 81645

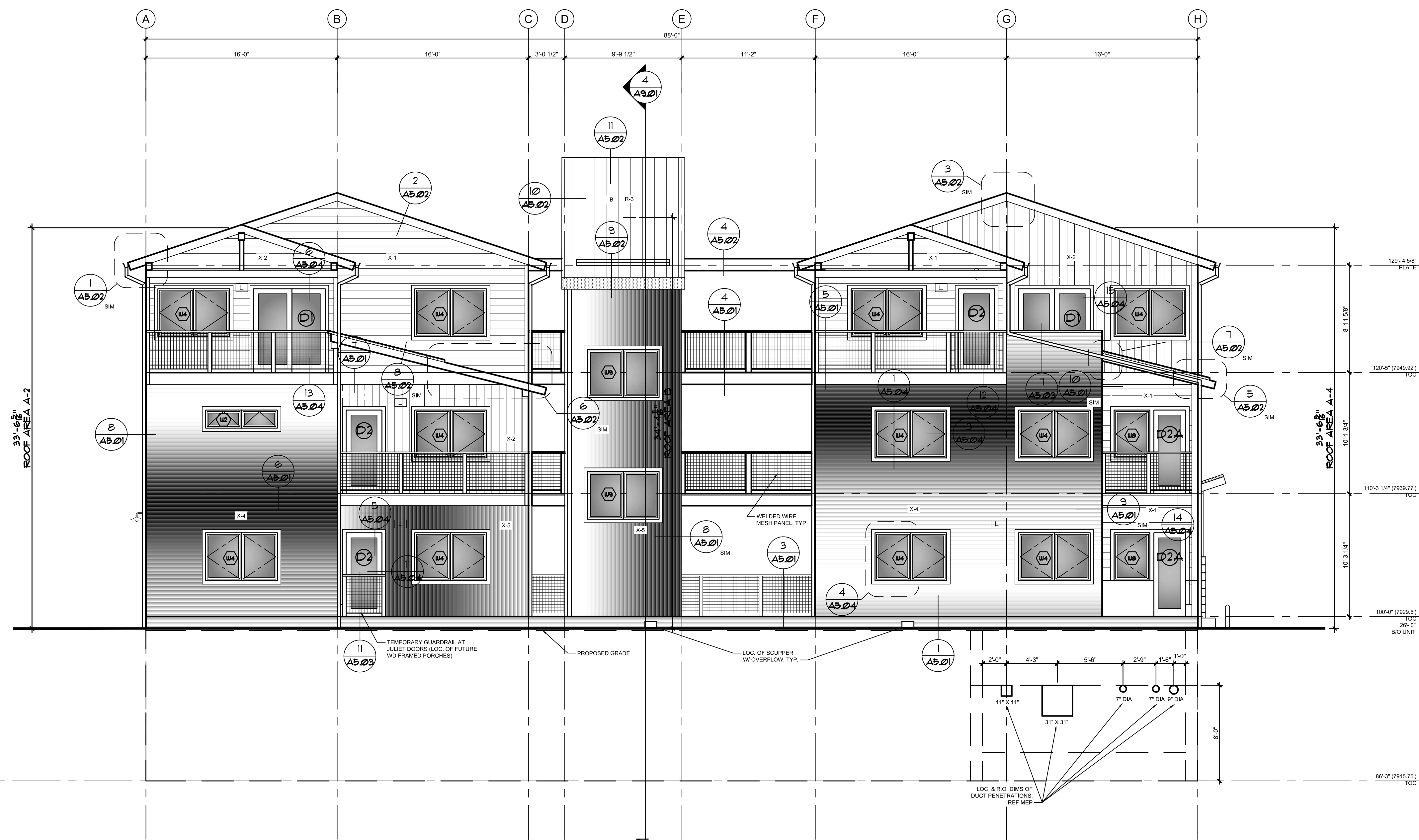
Revisions:  
REVISION COR-1 07/06/2024

Issue Dates:  
CDs - 12/18/2023

Sheet Title:  
**Exterior Elevations**

Project No:  
**2136**  
Sheet No:  
**A3.02**

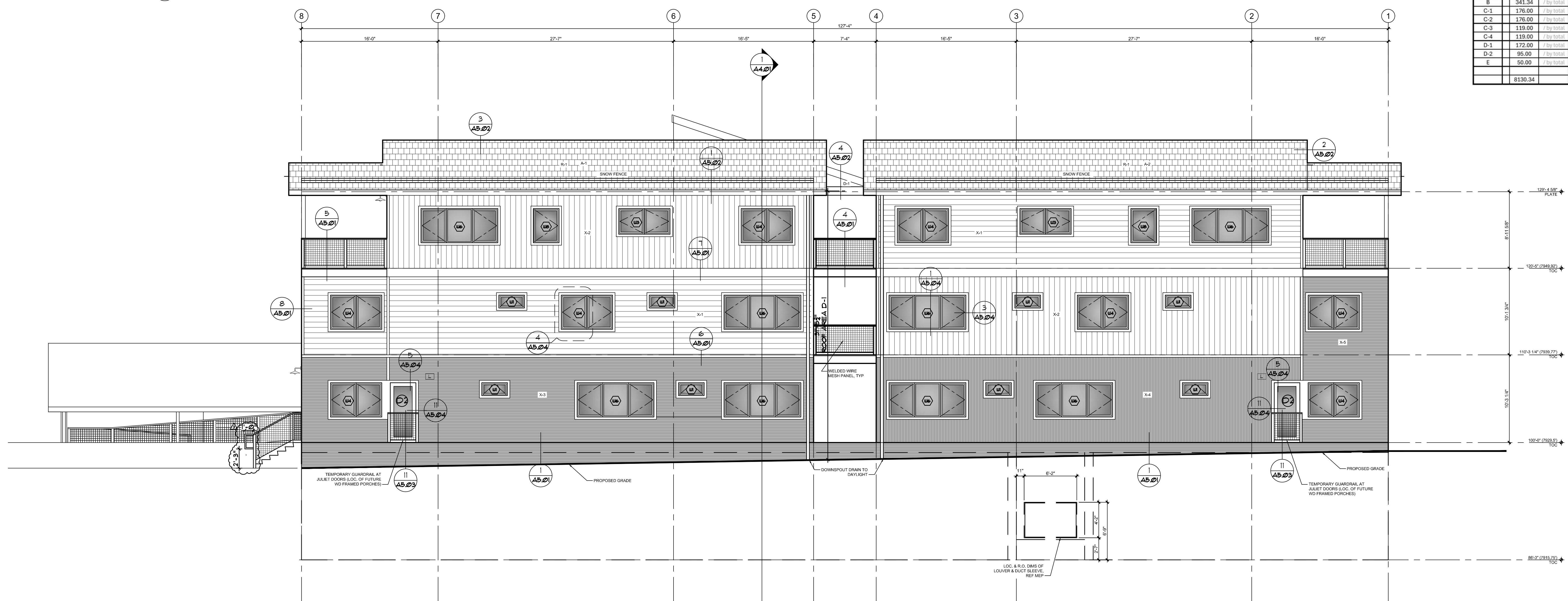
**MATERIAL LEGEND**  
R-1 ASPHALT SHINGLE ROOF  
R-2 LOW SLOPE EPDM  
R-3 STANDING SEAM METAL ROOF  
X-1 DIAMOND KOTE LP SMARTSIDE LAP SIDING  
X-2 DIAMOND KOTE LP SMARTSIDE VERTICAL SIDING  
X-3 HORIZONTAL CORRUGATED METAL SIDING  
X-4 VERTICAL CORRUGATED METAL SIDING  
LIGHT FIXTURES (L)



ROOF AREA DIMENSIONS (HEIGHT) SHOWN ON ELEVATION WITH MOST RESTRICTIVE HEIGHT

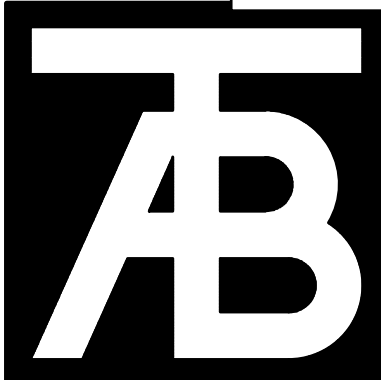
Roof Mark	Roof Area (SF)	Roof Area %	Avg Hgt (Ft)	Weighted Avg (Ft)
A-1	2024.50	24.90	35.53	884.72
A-2	2024.50	24.90	33.52	678.67
A-3	1416.50	17.42	35.03	500.31
A-4	1416.50	17.42	33.52	472.00
B	341.34	4.20	34.00	116.24
C-1	176.00	2.16	25.70	45.63
C-2	176.00	2.16	22.65	39.83
C-3	119.00	1.46	23.45	27.92
C-4	119.00	1.46	22.42	26.62
D-1	172.00	2.12	31.48	53.94
D-2	95.00	1.17	31.06	29.52
E	50.00	0.61	13.08	6.54
<b>TOTAL</b>	<b>8130.34</b>	<b>100.00</b>	<b>341.44</b>	<b>3339.17</b>

**1 EXTERIOR ELEVATION - EAST**  
SCALE: 3/16" = 1'-0"



**2 EXTERIOR ELEVATION - SOUTH**  
SCALE: 3/16" = 1'-0"

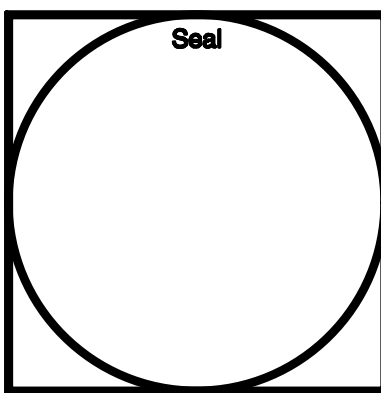




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Electrical Engineer:



**Belden Place - 12 Plex (Flats)**  
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0036 Abby Road, Minturn, Colorado 81645

Revisions:

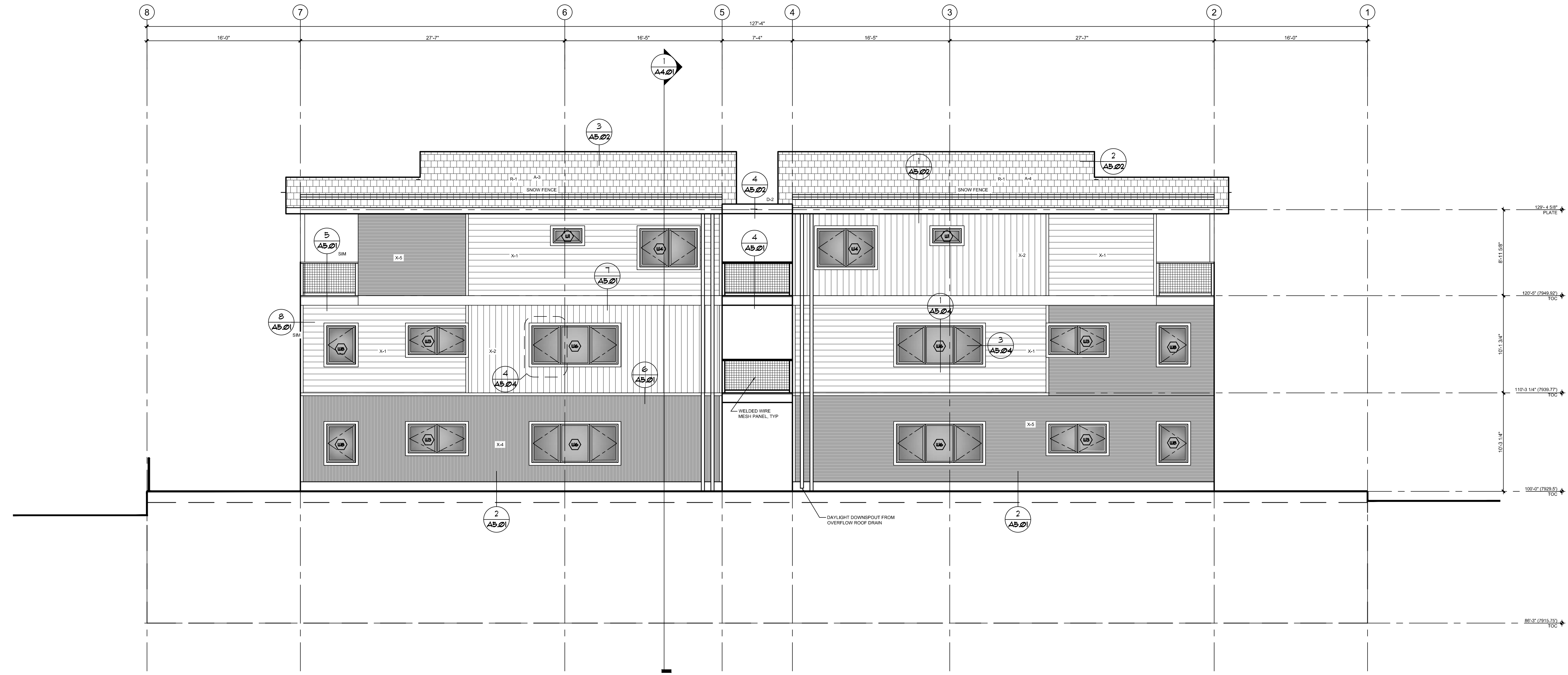
Issue Dates:  
CDs - 12/18/2025

Sheet Title:  
**Exterior Elevations**

Project No:  
**2136**

Sheet No:  
**A3.03**

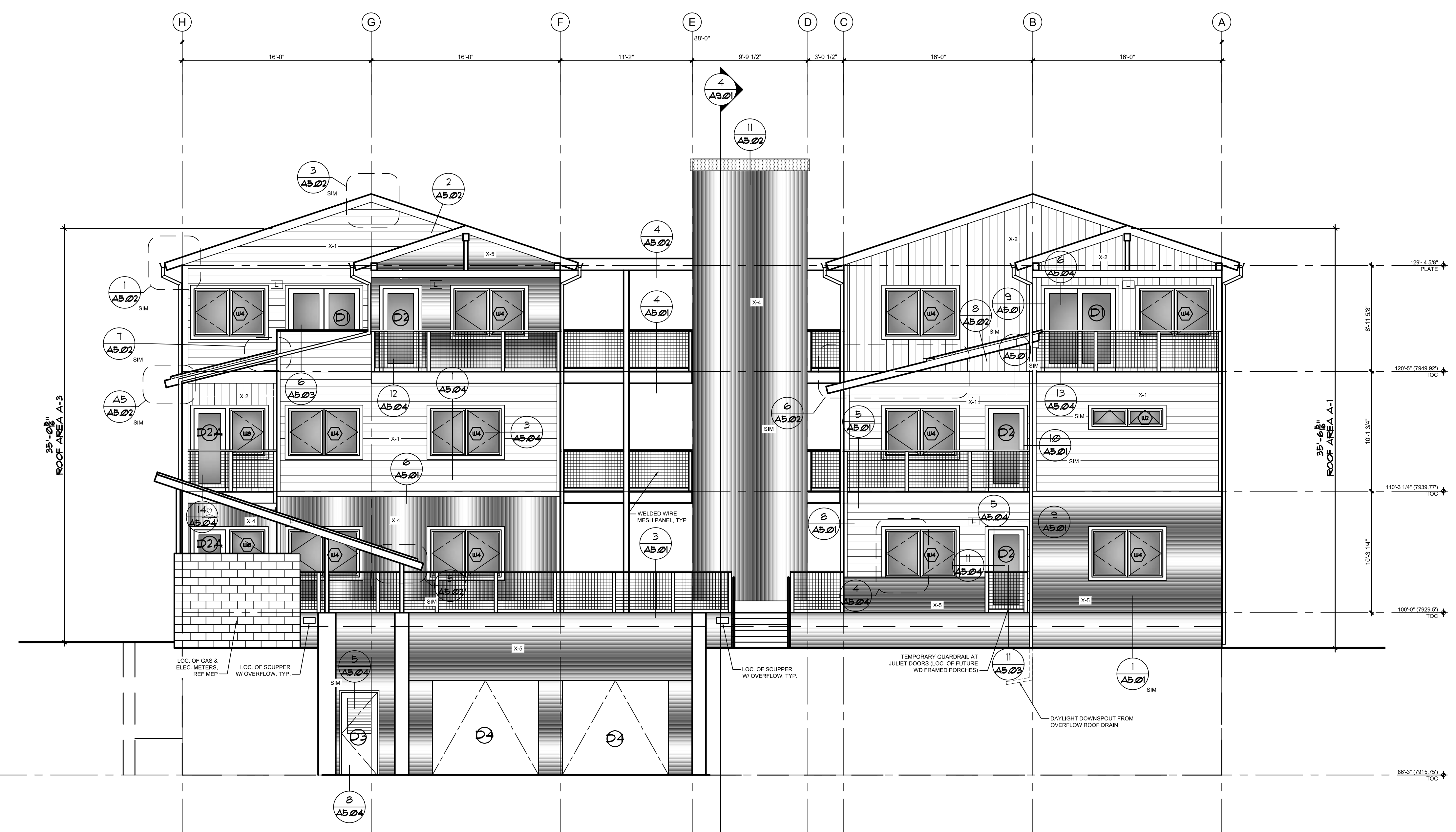
**MATERIAL LEGEND**  
R-1 ASPHALT SHINGLE ROOF  
R-2 LOW SLOPE FROM  
R-3 STANDING BEAM METAL ROOF  
X-1 DIAMOND KOTE LP SMARTSIDE LAF SIDING  
X-2 DIAMOND KOTE LP SMARTSIDE VERTICAL SIDING  
X-3 HORIZONTAL CORRUGATED METAL SIDING  
X-4 VERTICAL CORRUGATED METAL SIDING  
LIGHT FIXTURES [L]



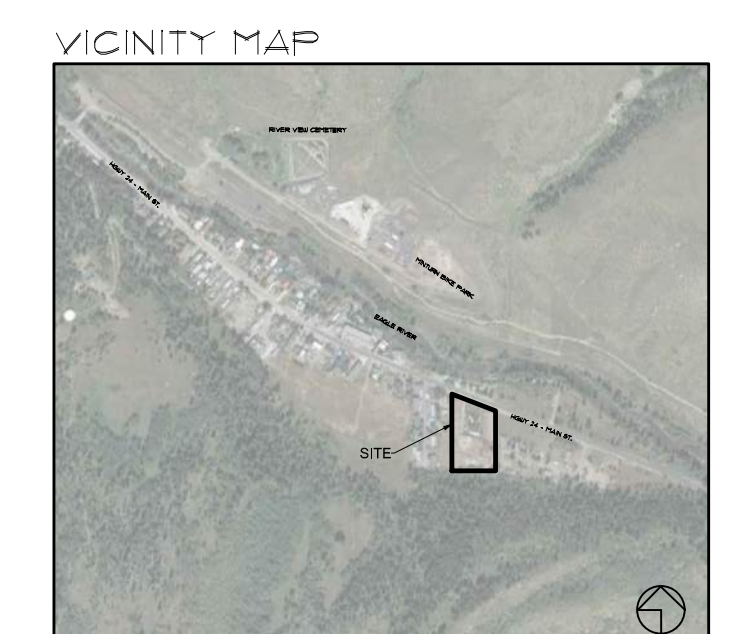
**1 EXTERIOR ELEVATION - SOUTH (FRONT UNITS)**  
SCALE: 3/16"=1'-0"

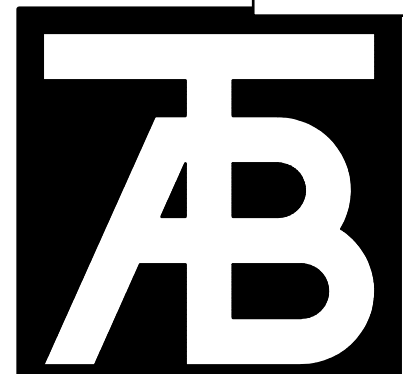
**ROOF AREA DIMENSIONS (HEIGHT) SHOWN ON ELEVATION WITH MOST RESTRICTIVE HEIGHT**

Roof Mark	Roof Area (SF)	Roof Area (%)	Avg Hgt (FT)	Weighted Avg (FT)
A-1	2024.50	24.90	35.53	884.72
A-2	2024.50	24.90	33.52	834.07
A-3	1416.50	17.42	35.03	610.31
A-4	1416.50	17.42	33.52	584.00
B	341.34	4.20	34.00	142.74
C-1	176.00	2.16	25.70	55.63
C-2	176.00	2.16	22.65	49.03
C-3	119.00	1.46	23.45	34.32
C-4	119.00	1.46	22.42	32.82
D-1	172.00	2.12	31.48	66.60
D-2	95.00	1.17	31.06	36.29
E	50.00	0.61	13.08	8.04
	8130.34	100.00	34.44	3339.17
				33'-4 11/16"



**2 EXTERIOR ELEVATION - WEST**  
SCALE: 3/16"=1'-0"





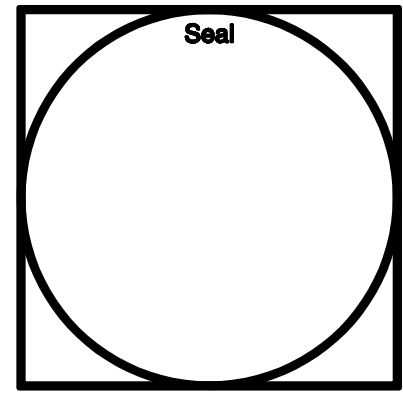
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Revisions:

Issue Dates:  
 CDs - 12/12/2023

Sheet Title:  
**Renders**



Project No:  
 2136

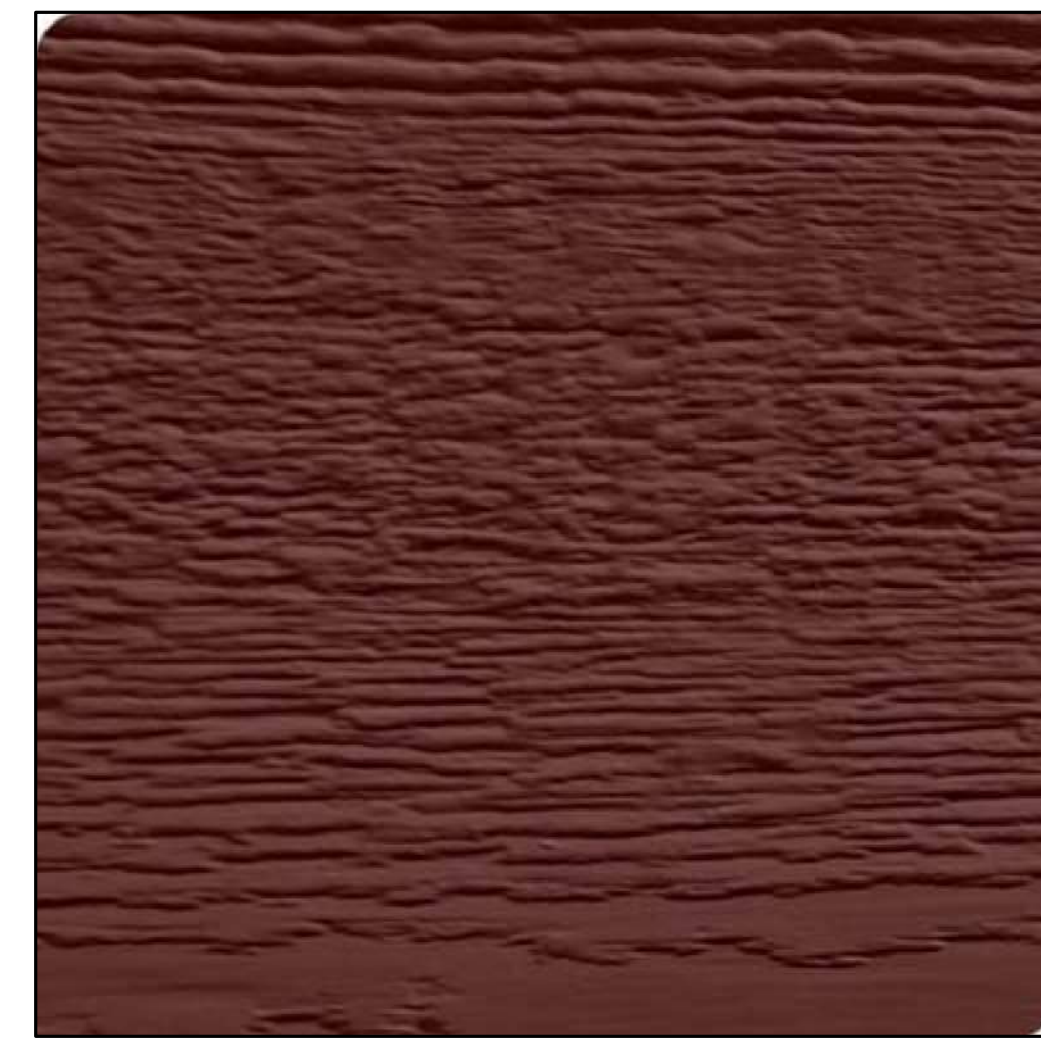
Sheet No:  
**A3.04**

\*\*\* NOTE: RENDERS ARE FOR VISUAL REPRESENTATION.  
 PLEASE SEE ELEVATIONS FOR ACCURATE MATERIAL  
 PALETTE \*\*\*

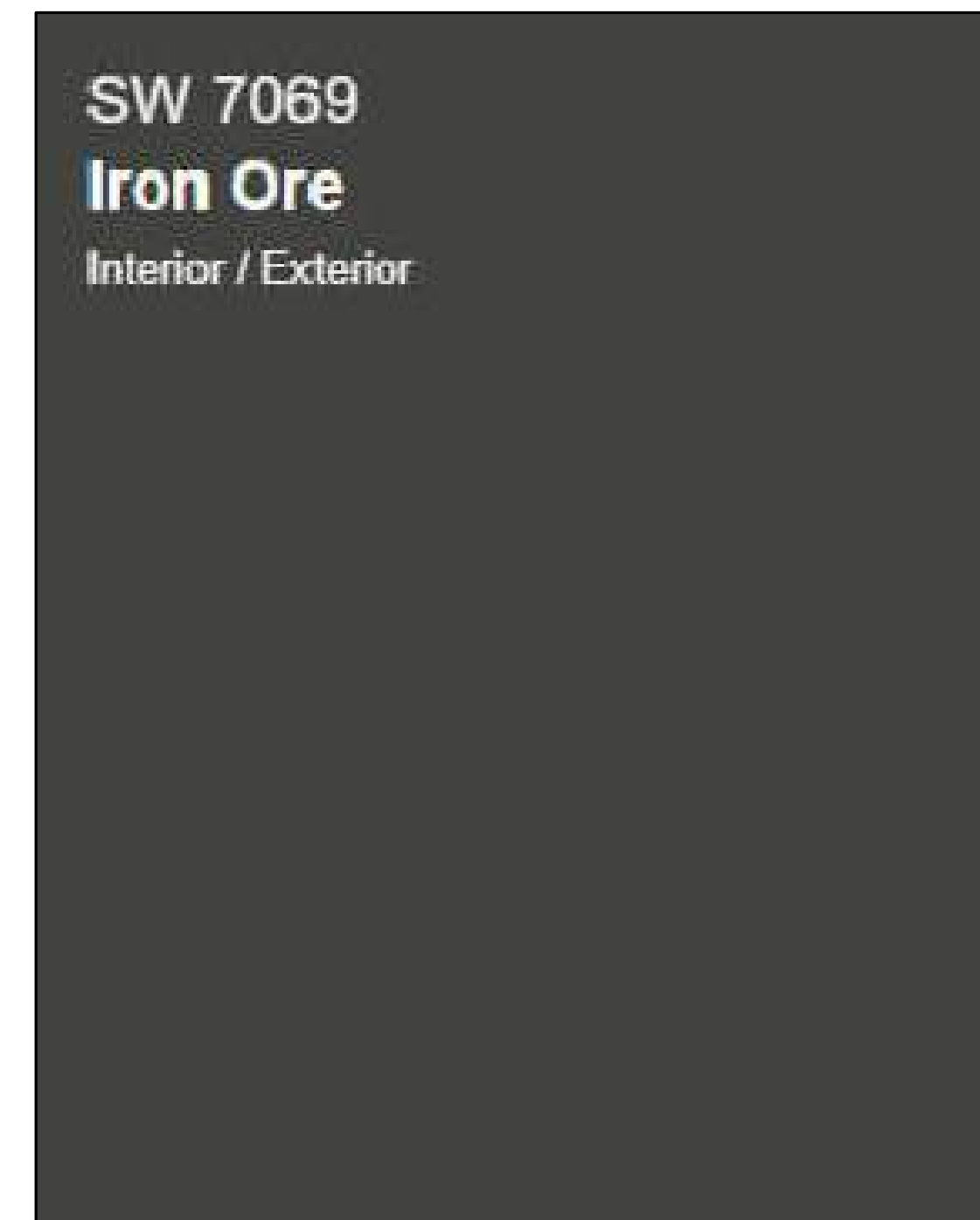




LAP SIDING EXAMPLE  
MATERIAL EXAMPLE ONLY  
NOT FOR COLOR



VERTICAL SIDING EXAMPLE  
MATERIAL EXAMPLE ONLY  
NOT FOR COLOR



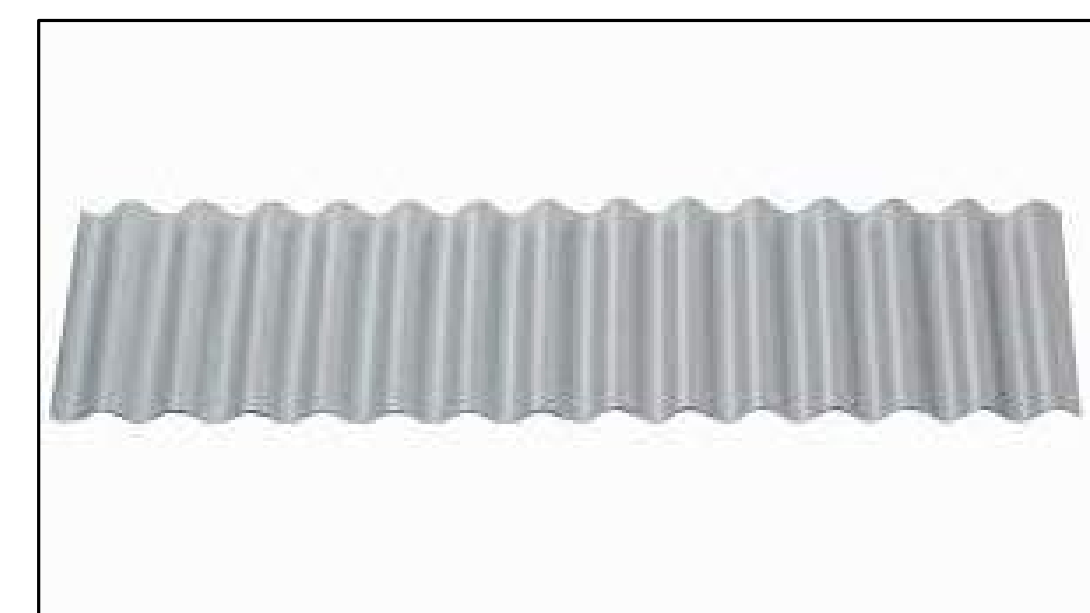
PAINTED ITEMS:  
SHERWIN WILLIAMS 7069 -  
IRON ORE  
TRIM, WOOD BEAMS, GUTTERS  
AND OTHER METALS

X-1  
1 A3.5 LAP SIDING

SIMILAR TO DIAMOND KOTE LP  
8" LAP SIDING  
COLOR: ELKHORN

X-2  
2 A3.5 VERTICAL SIDING

SIMILAR TO DIAMOND KOTE LP  
VERTICAL GROOVED SIDING  
COLOR: BORDEAUX



X-3  
4-5 A3.5 HORIZONTAL CORRUGATED PANELS

X-4  
VERTICAL CORRUGATED PANELS  
SIMILAR TO WESTERN STATES METAL  
ROOFING - GALVANIZED 1/8"  
CORRUGATED PANELS



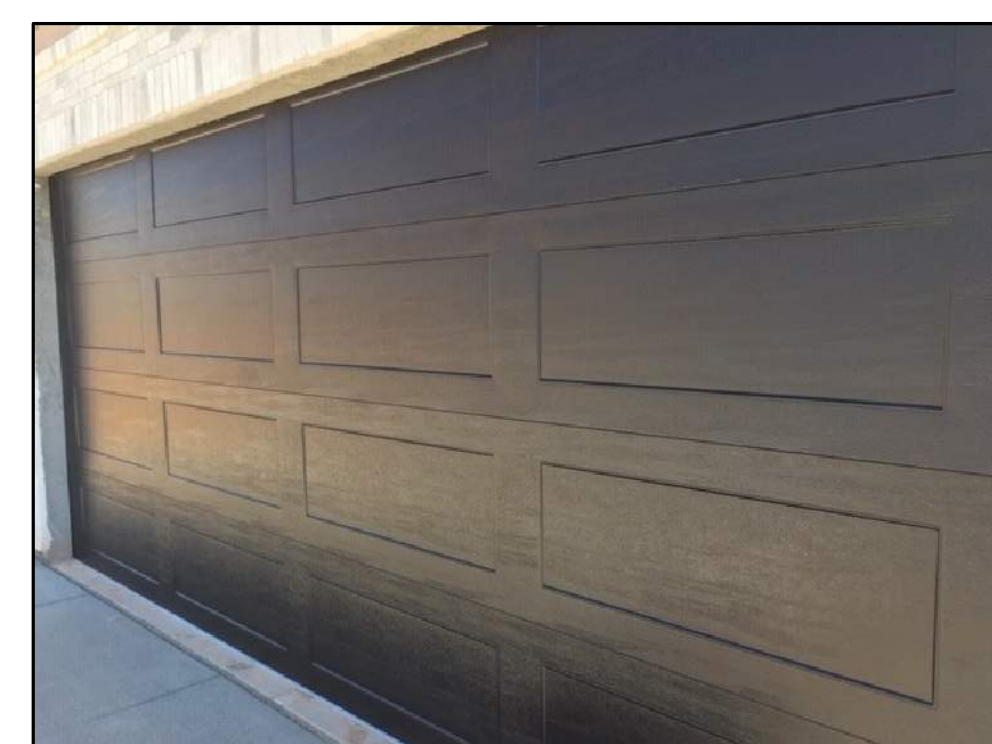
R-1  
1A A3.5 ROOFING

SIMILAR GAF DESIGNER SHINGLES  
WOODLAND "CASTLEWOOD GRAY"



R-3  
1B A3.5 ROOFING

SIMILAR WESTERN STATES  
2" STANDING SEAM - 12" WIDTH  
COLOR: GALVANIZED TO MATCH  
CORRUGATED PANELS

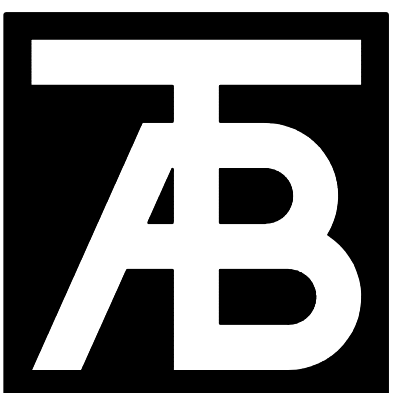


B A3.5 GARAGE DOOR

SIMILAR RAYNOR ASPEN SERIES  
TEXTURED PANELS  
COLOR: SLATE GRAY

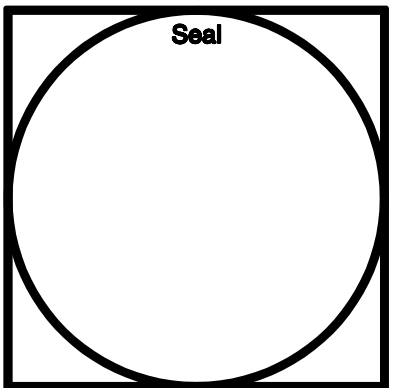
NOTE:

- WINDOWS SIMILAR TO: SIERRA PACIFIC "BLACK" WOOD CLAD WINDOWS



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Mechanical Engineer:  
Elghom Consulting Engineers  
(970) 241-8700  
Electrical Engineer:



**Belden Place - 12 Plex (Flats)**  
**Lot 7**  
0036 Abby Road, Minturn, Colorado 81645

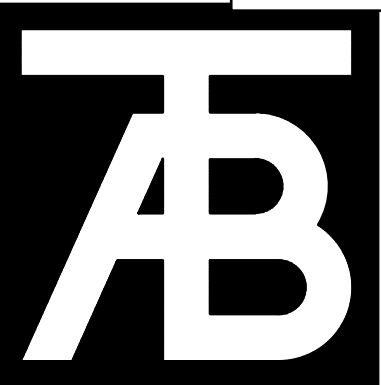
Revisions:

Issue Dates:  
CDs - 12/12/2023

Sheet Title:  
**Materials**

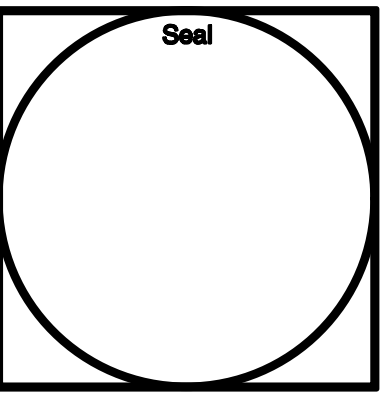
Project No:  
2136  
Sheet No:  
**A3.05**





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(303) 838-1983  
Mechanical Engineer:  
Blyhorn Consulting Engineers  
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Electrical Engineer:



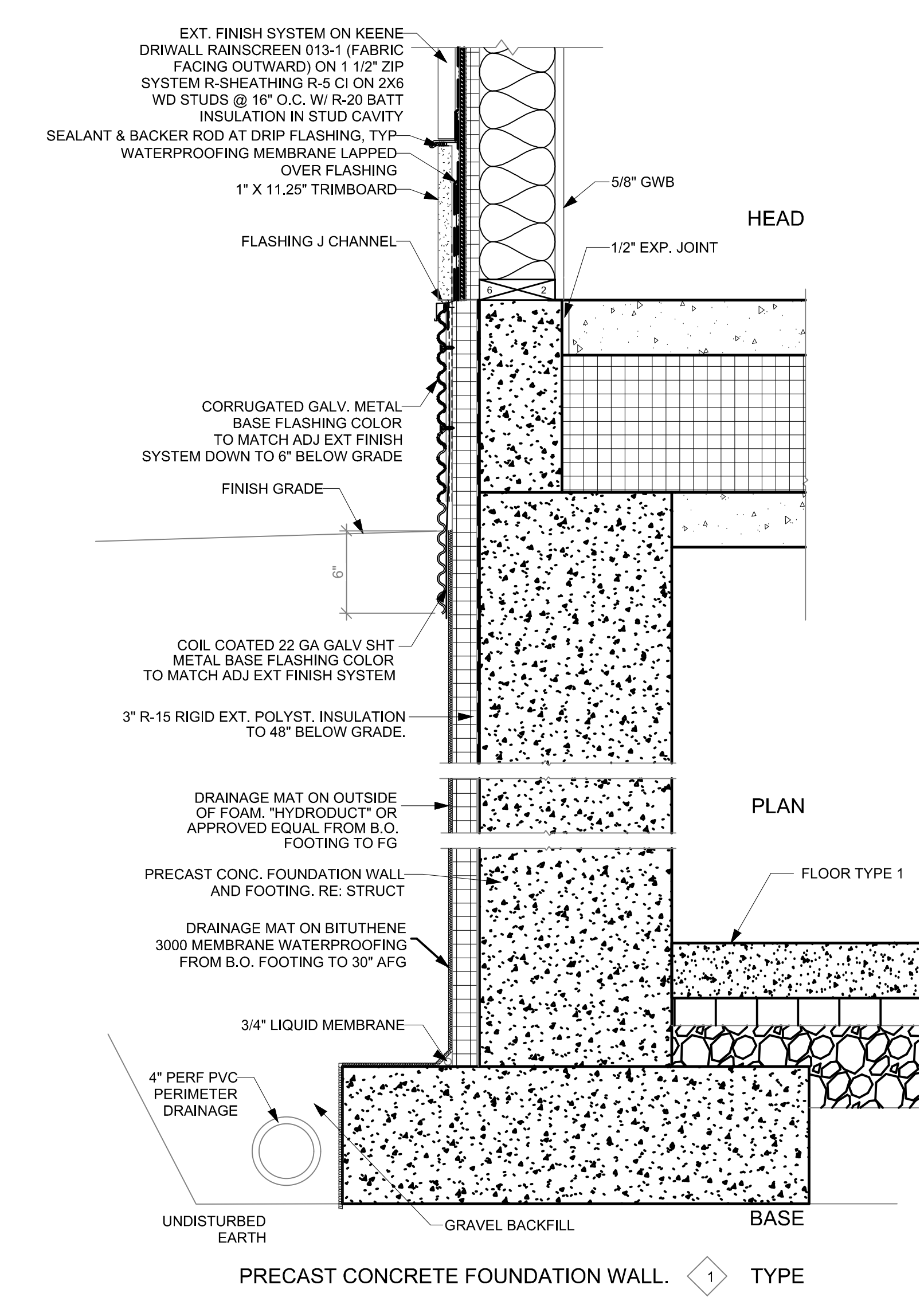
**Belden Place - 12 Plex (Flats)**  
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0036 Abby Road, Mintum, Colorado 81645

Revisions:

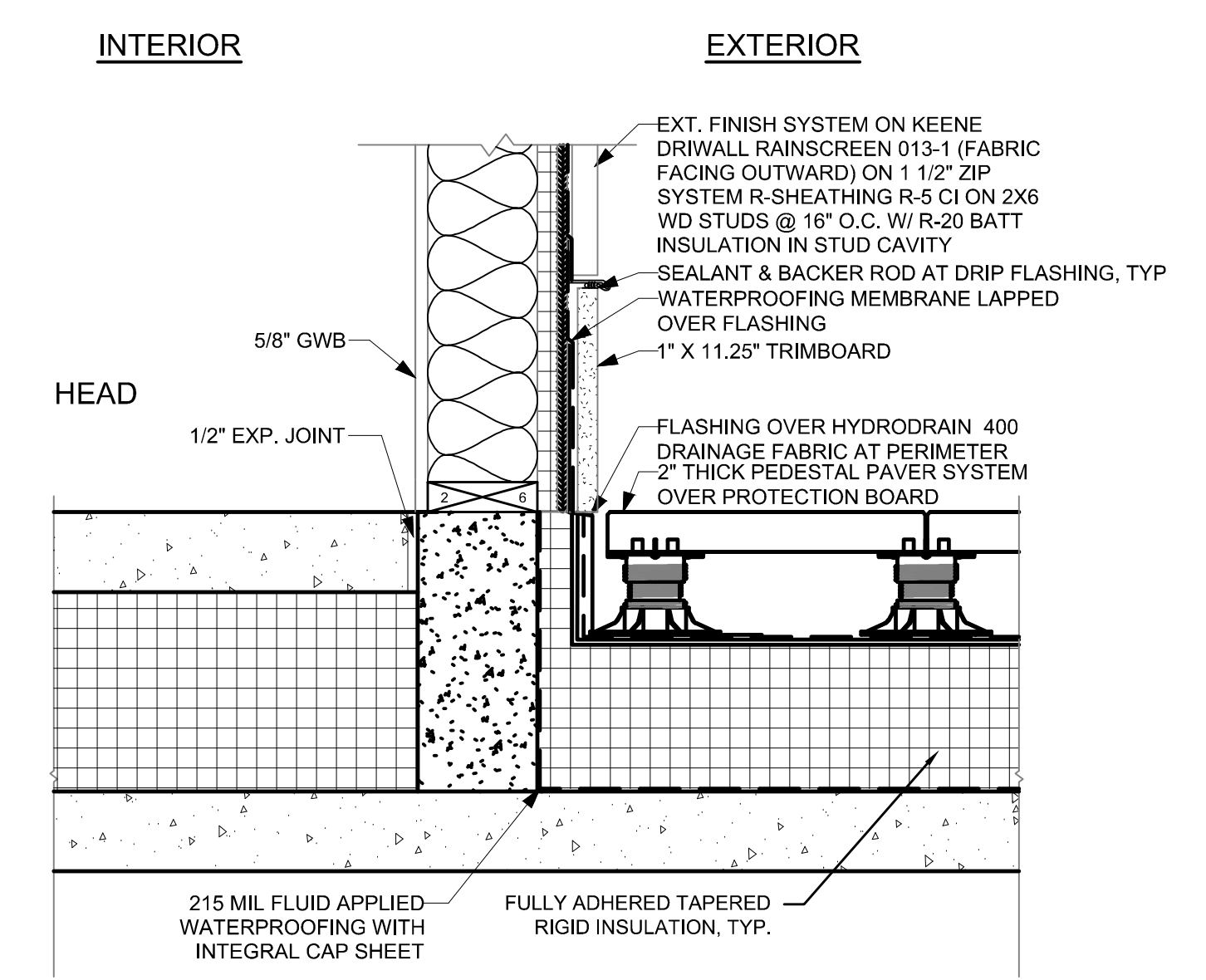
Issue Dates:  
**CDs - 10/12/2023**

Sheet Title:  
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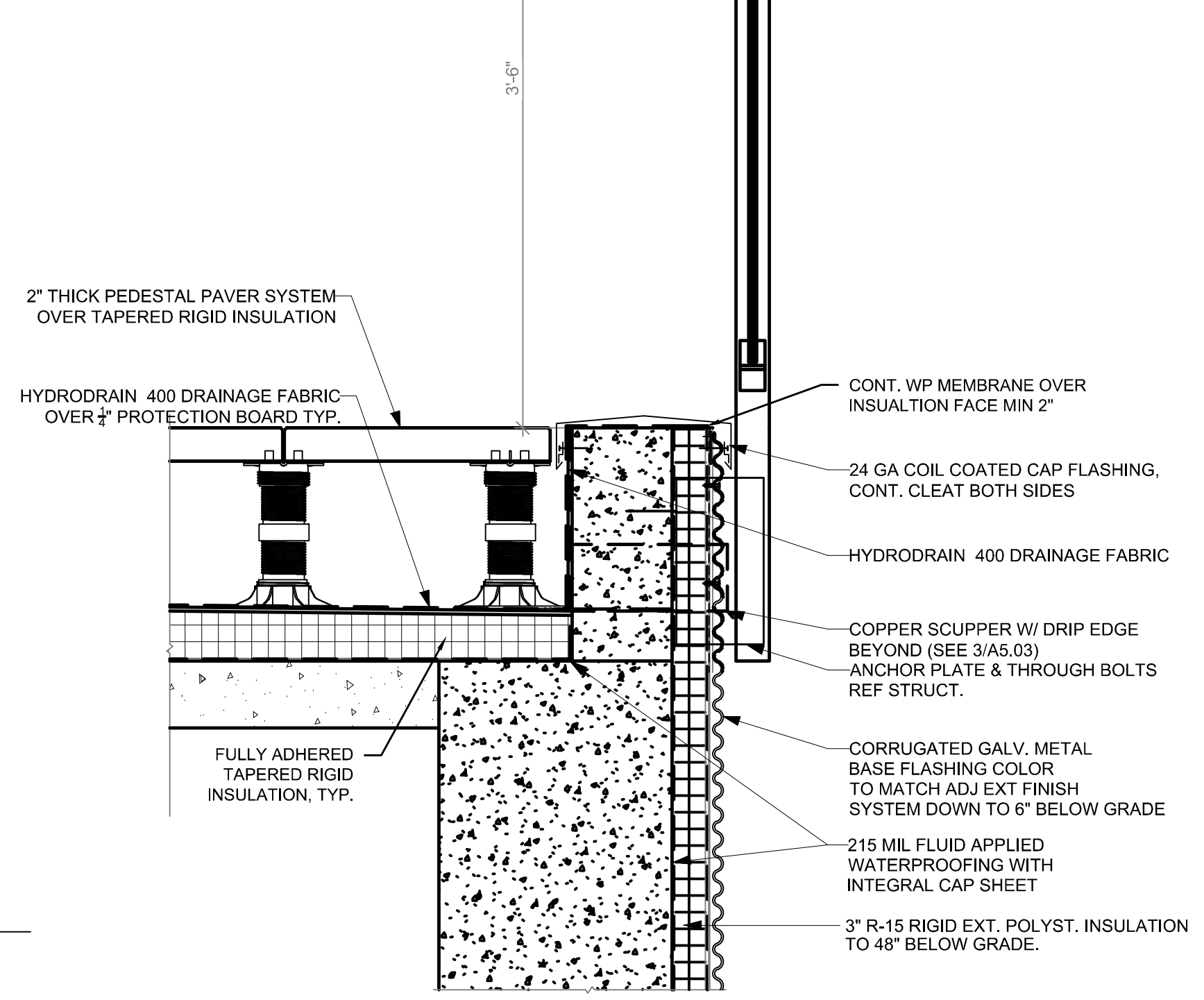
Project No:  
**2136**  
Sheet No:  
**A5.01**



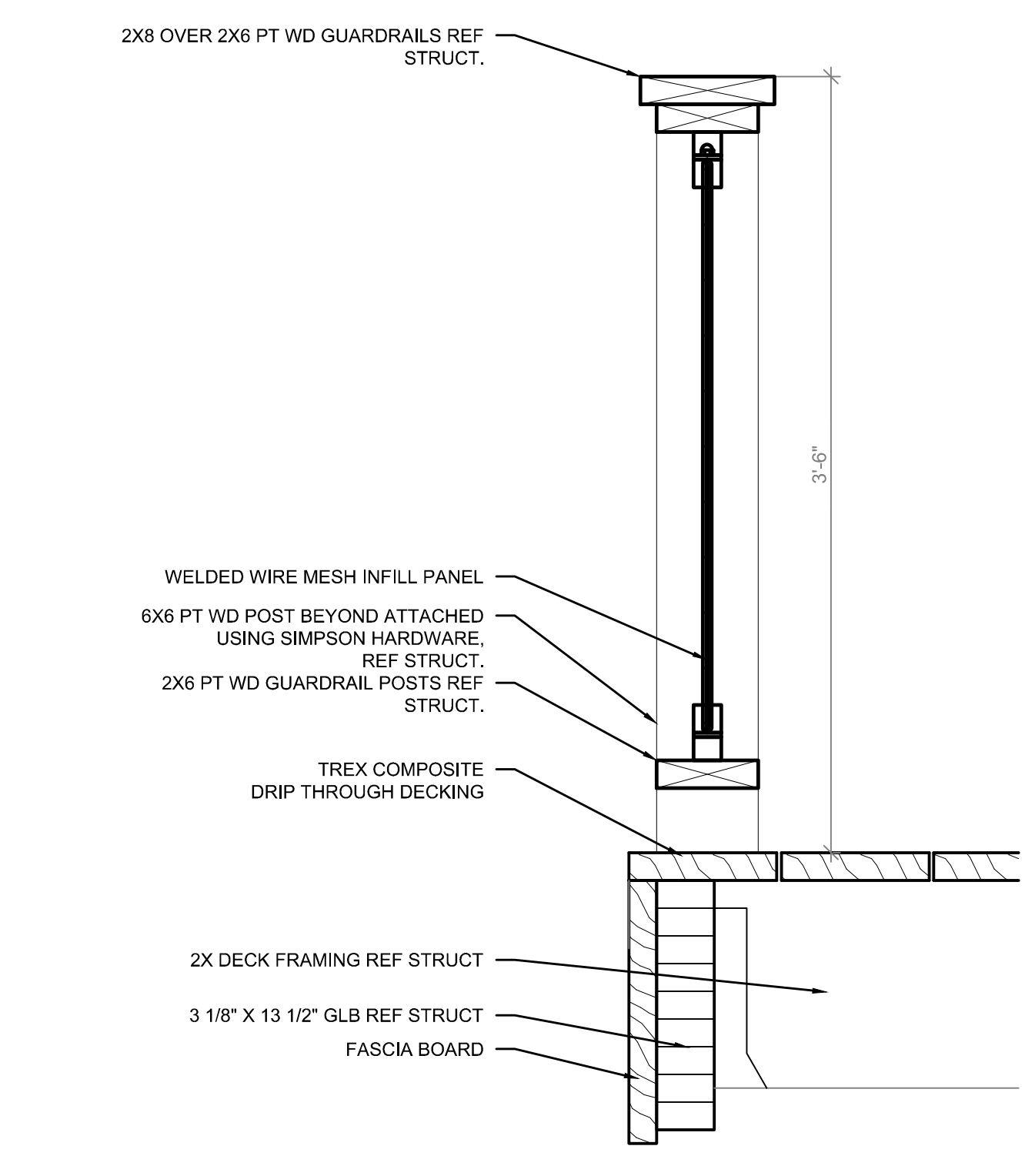
**SECTION DETAIL - CURB AT GRADE**  
SCALE: 3/4"=1'-0"



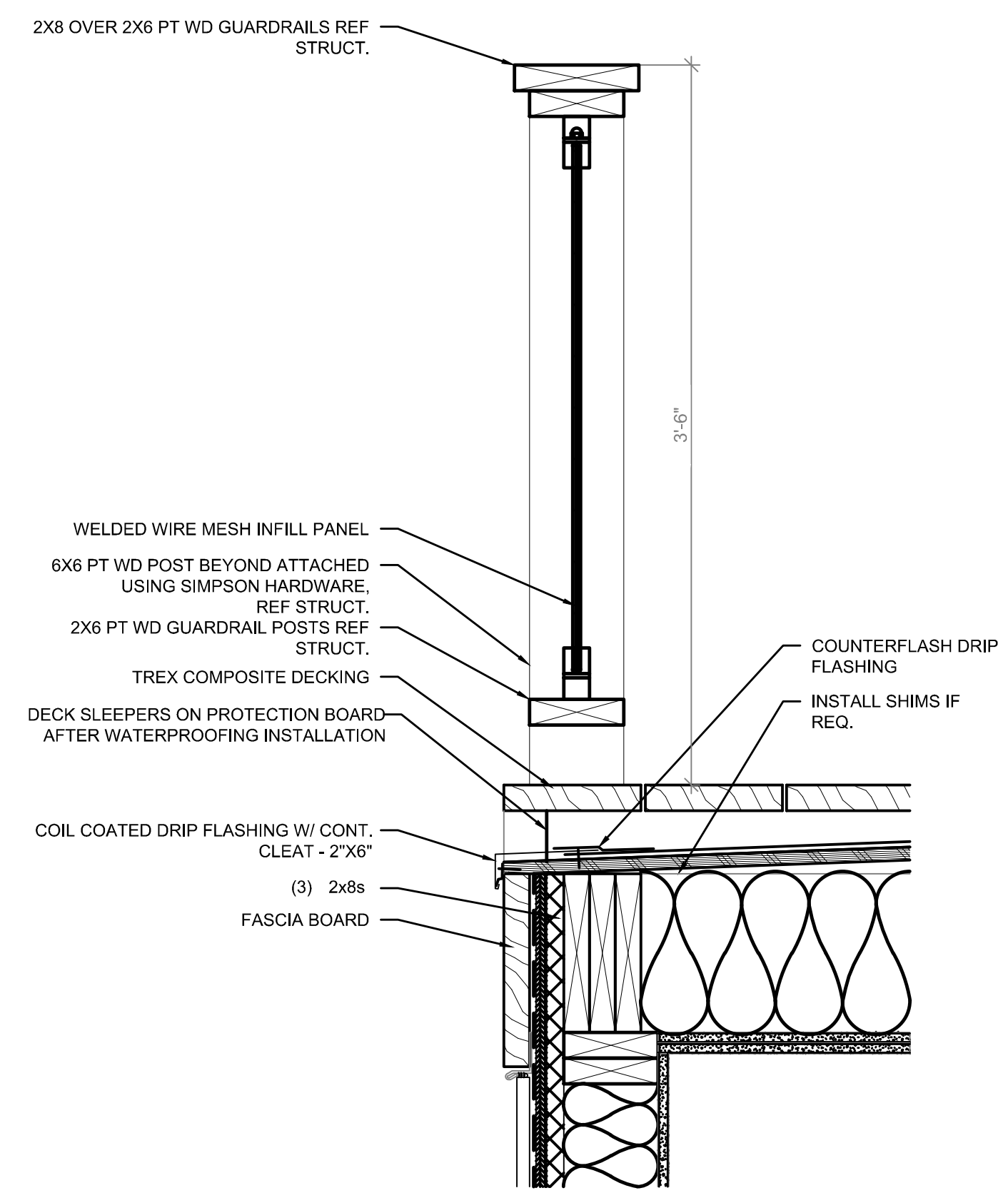
**SECTION DETAIL - CURB AT PLAZA**  
SCALE: 1 1/2"=1'-0"



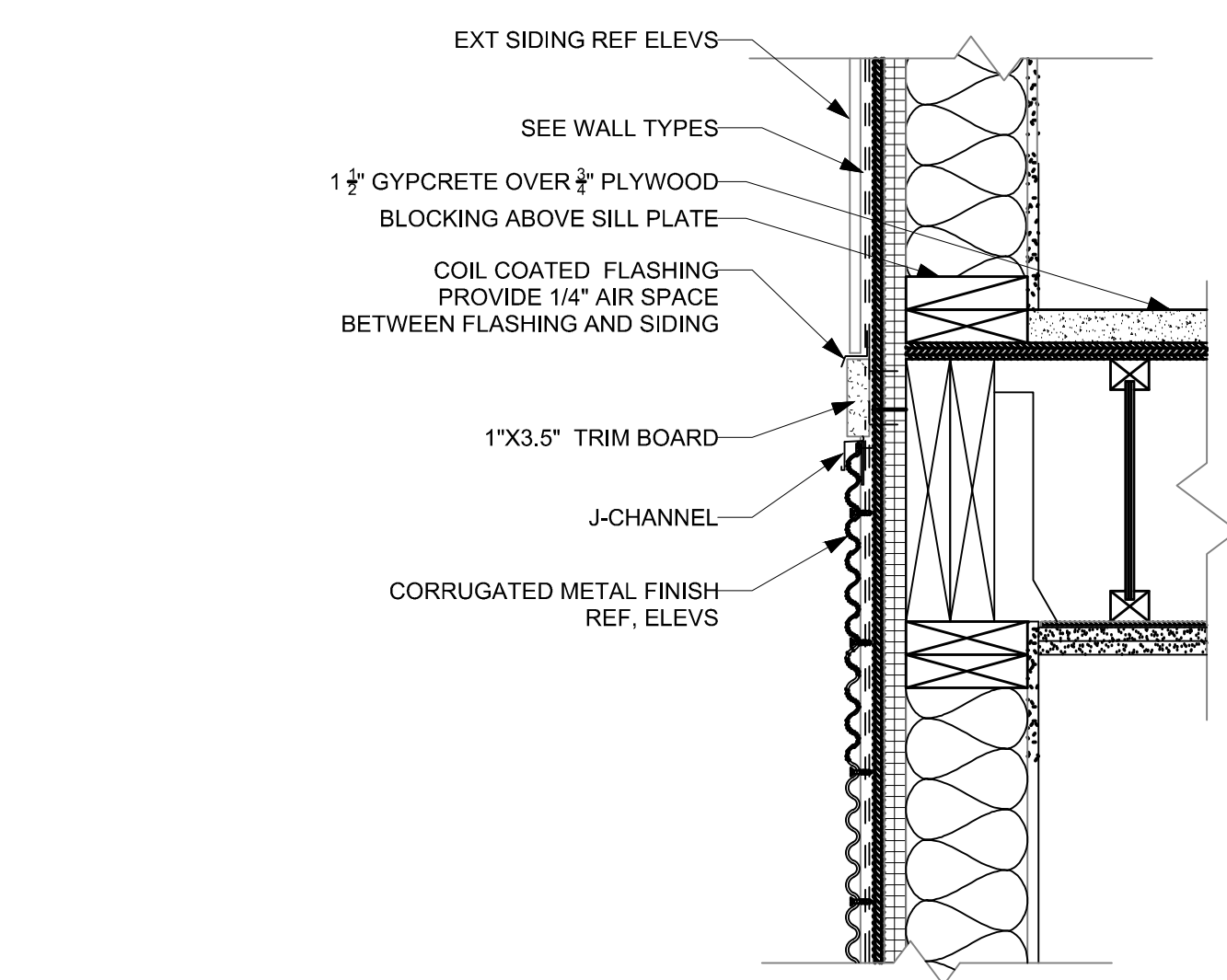
**SECTION DETAIL - CURB AT GUARDRAIL**  
SCALE: 1 1/2"=1'-0"



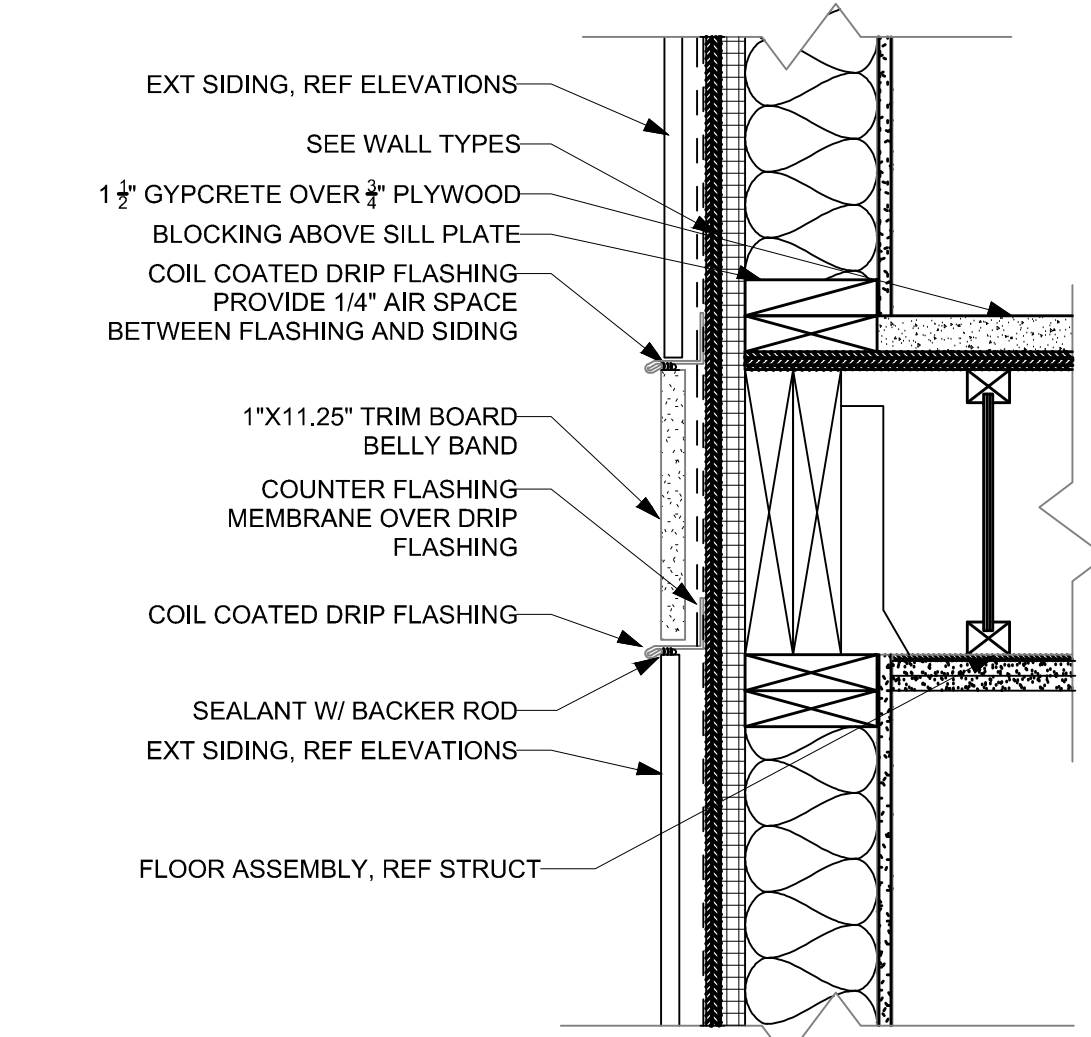
**SECTION DETAIL - W.W.M. GUARDRAIL**  
SCALE: 1 1/2"=1'-0"



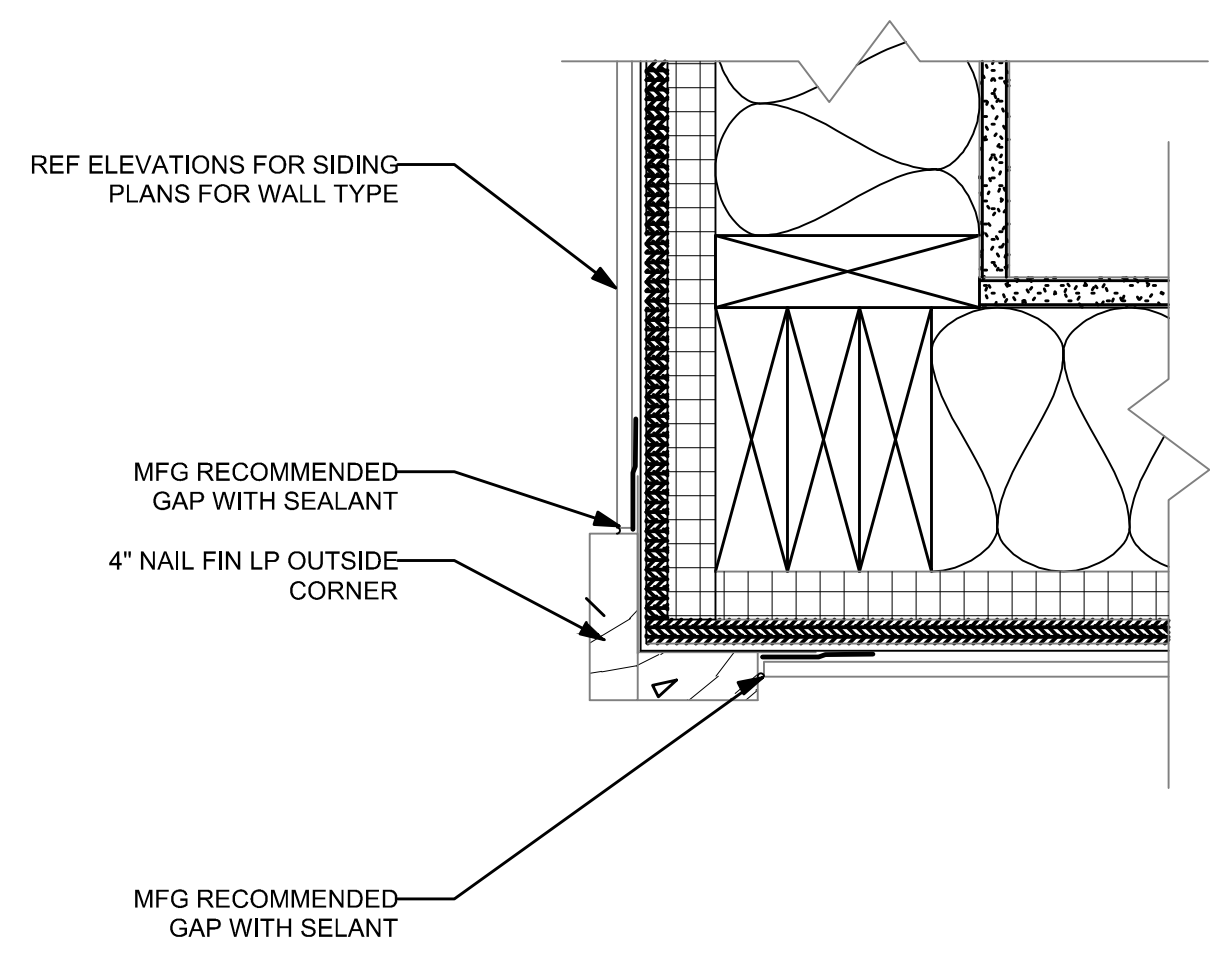
**SECTION DETAIL - W.W.M. GUARDRAIL**  
SCALE: 1 1/2"=1'-0"



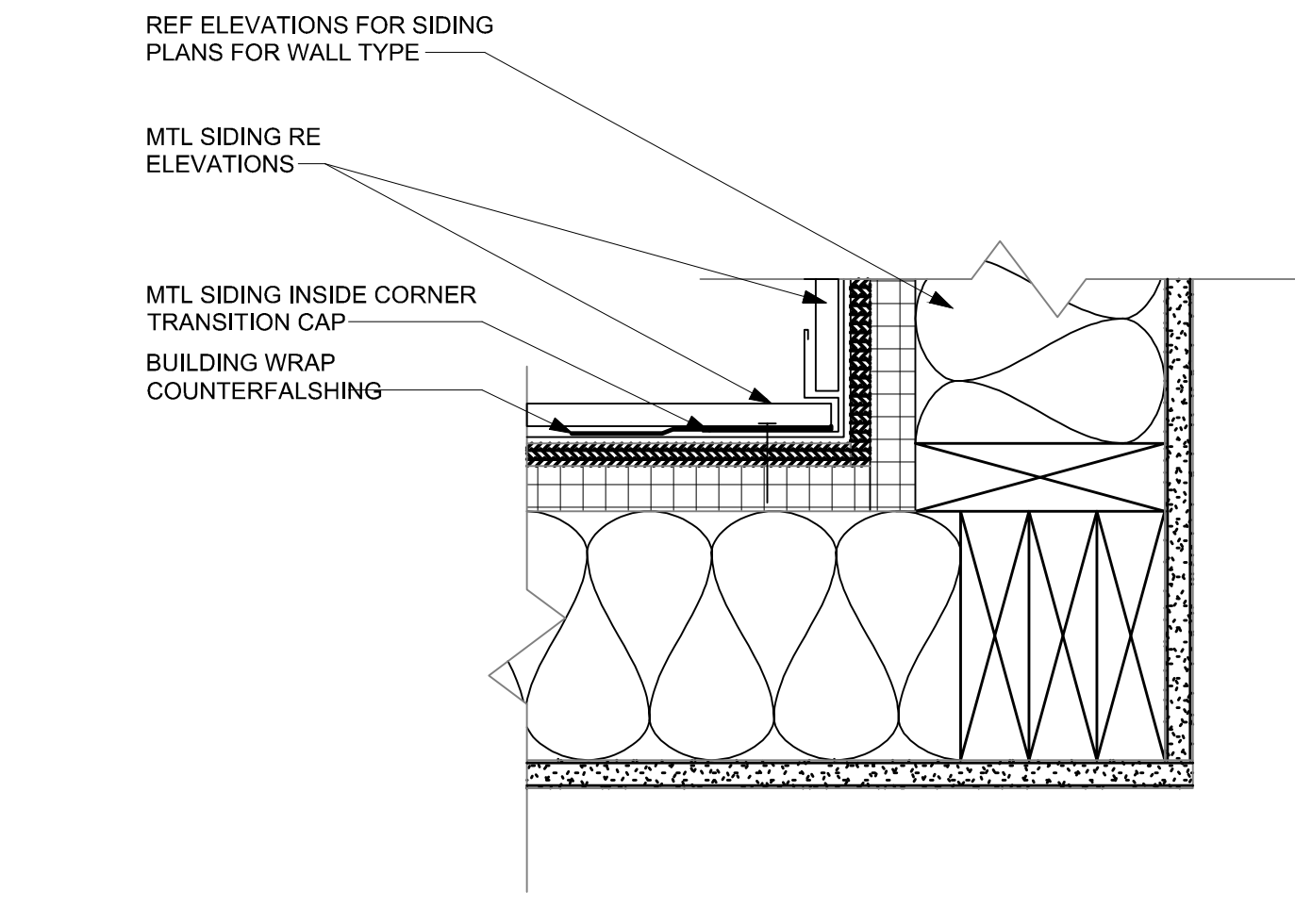
**SECTION DETAIL - FLOOR TRANSITION**  
SCALE: 1 1/2"=1'-0"



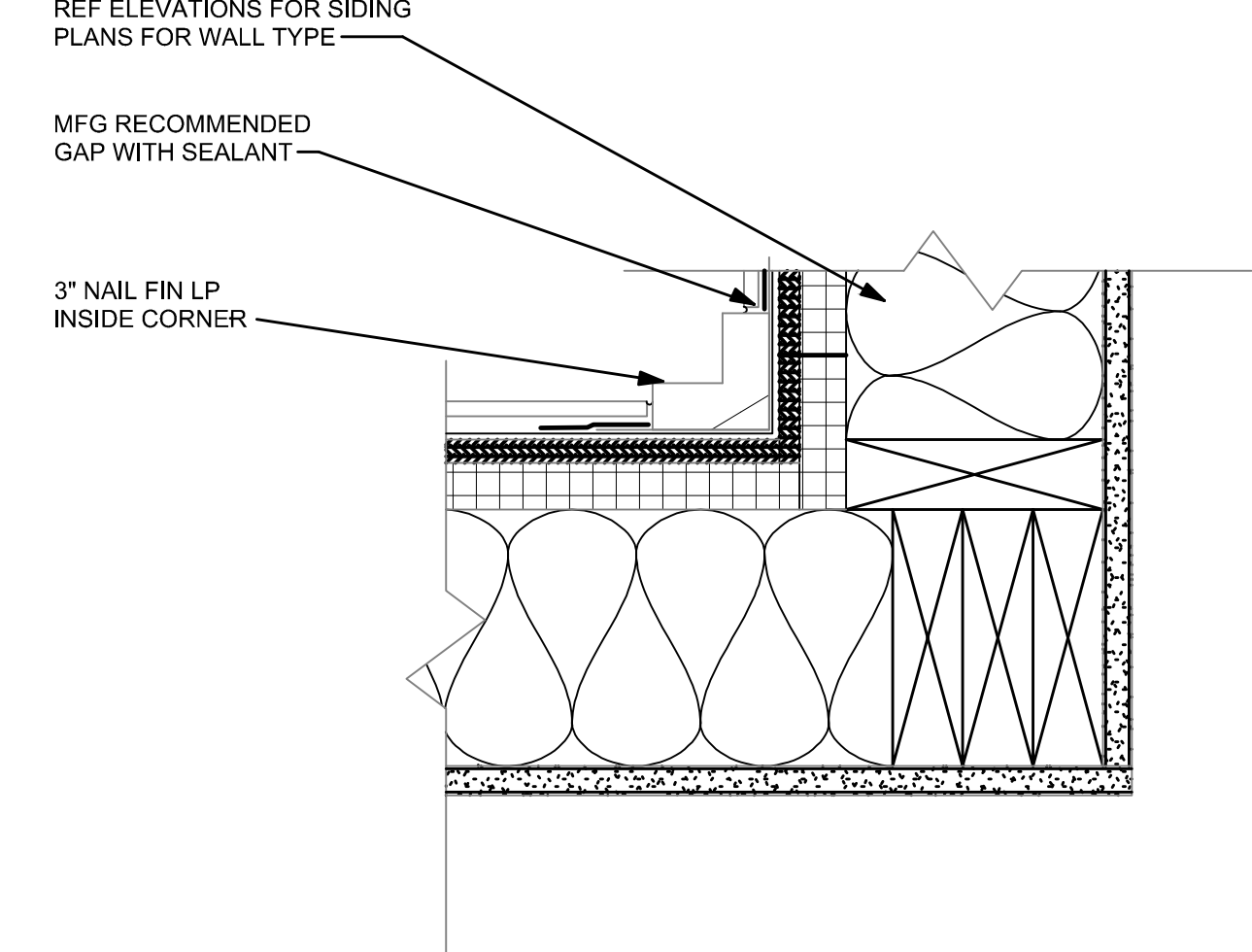
**SECTION DETAIL - FLOOR TRANSITION**  
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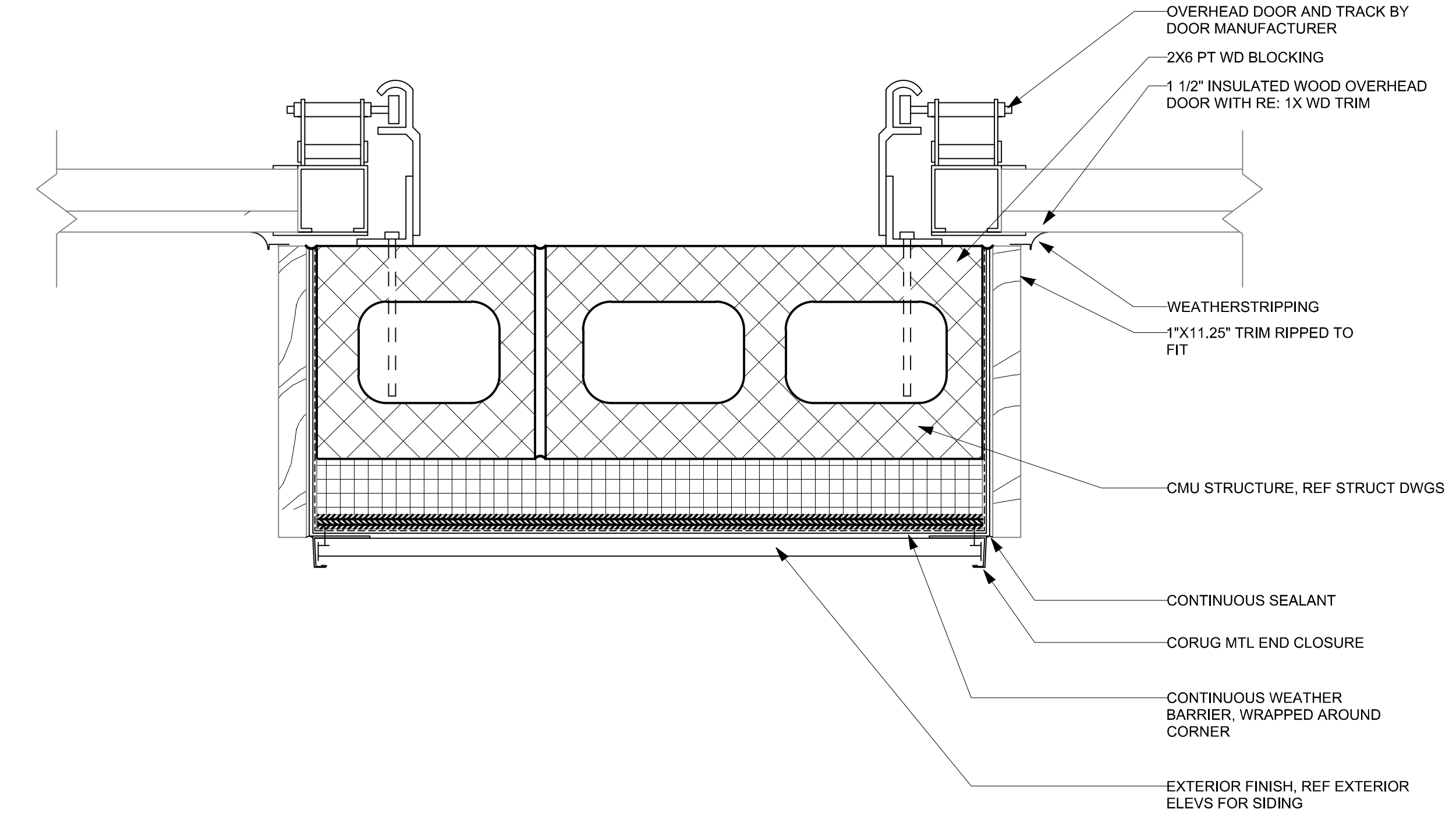
**PLAN DETAIL - CORNER TRIM**  
SCALE: 3/4"=1'-0"



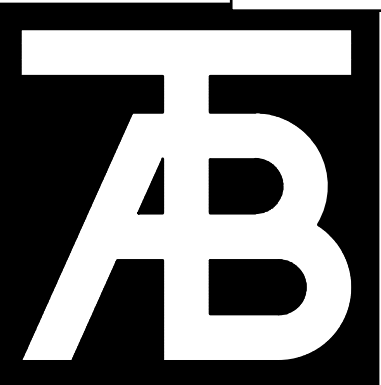
**PLAN DETAIL - CORNER TRIM**  
SCALE: 3/4"=1'-0"



**PLAN DETAIL - CORNER TRIM**  
SCALE: 3/4"=1'-0"

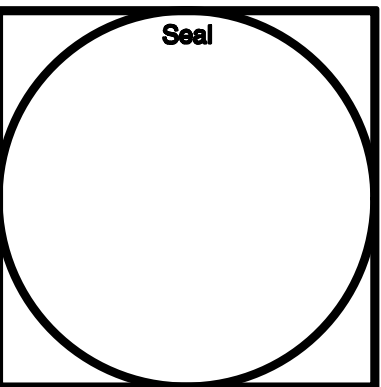


**PLAN DETAIL - GARAGE DOOR**  
SCALE: 3/4"=1'-0"



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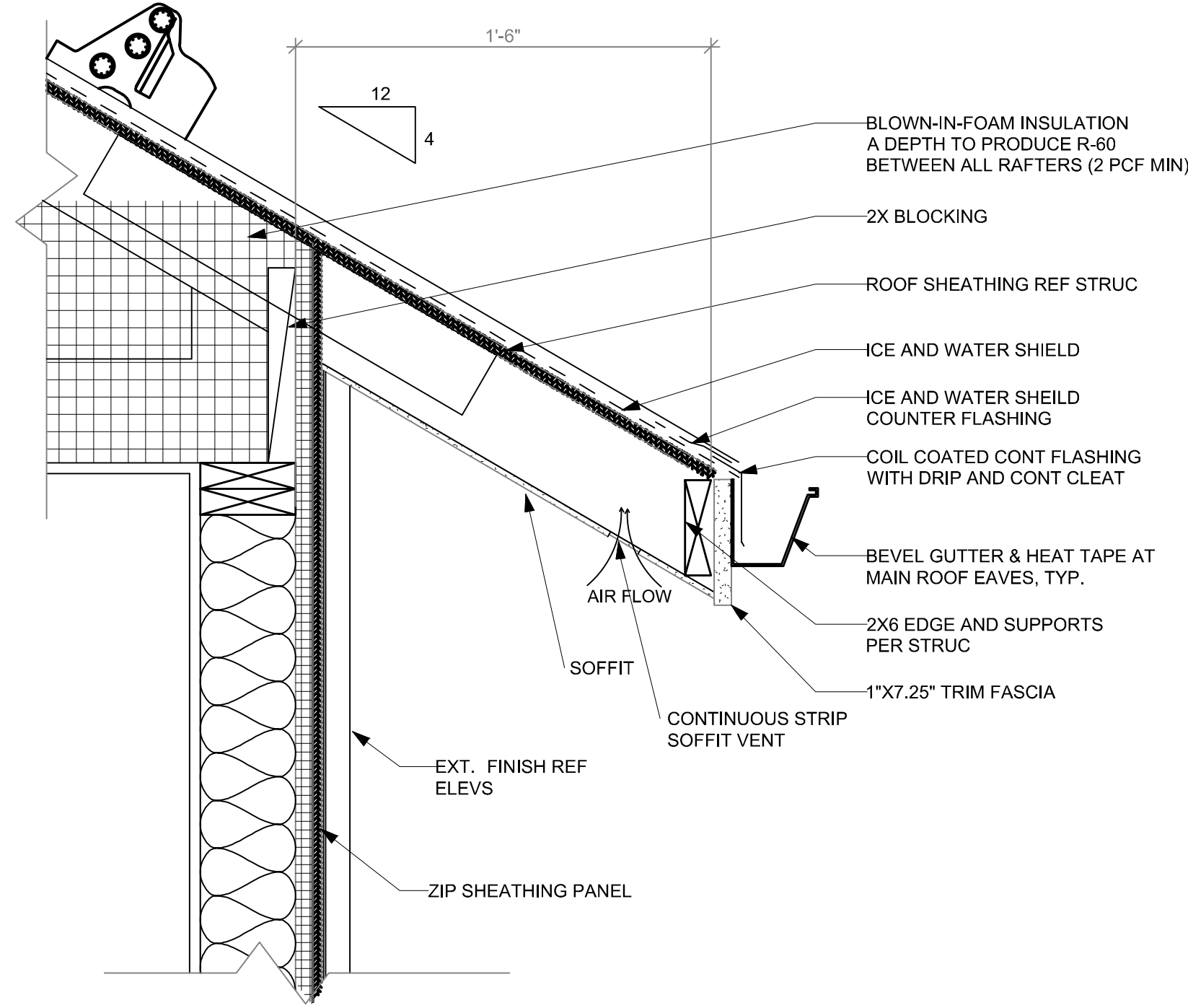
**Belden Place - 12 Plex (Flats)**  
**Lot 7**  
0036 Abby Road, Mintum, Colorado 81645

Revisions:

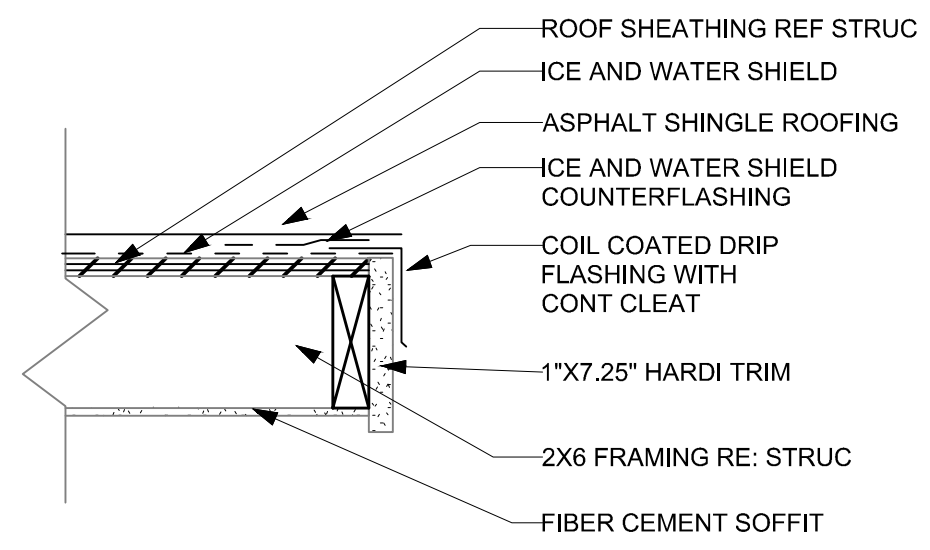
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**COA - 10/12/2009**

Sheet Title:  
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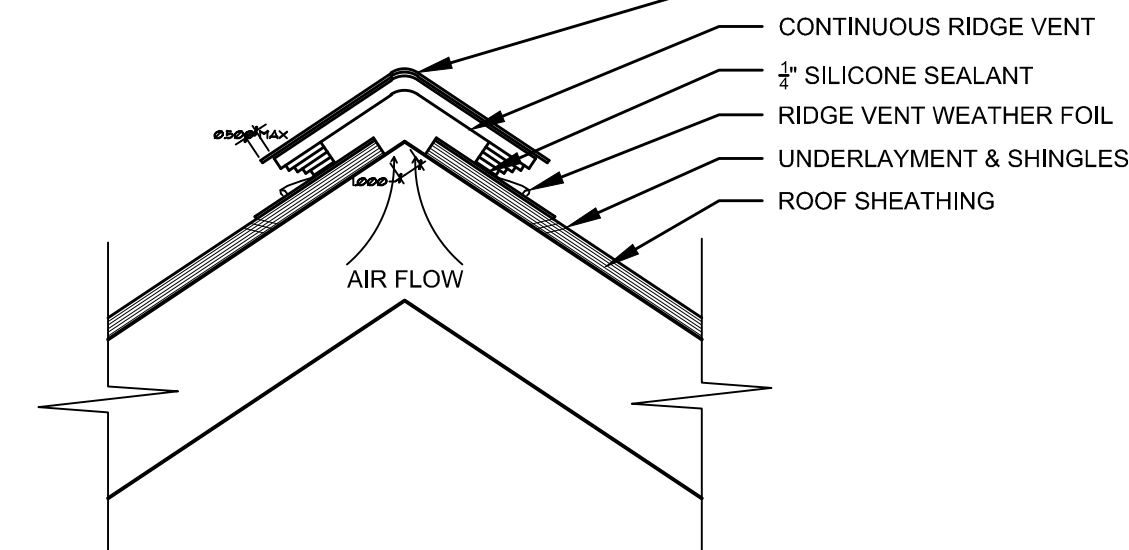
Project No:  
**2196**  
Sheet No:  
**A5.02**



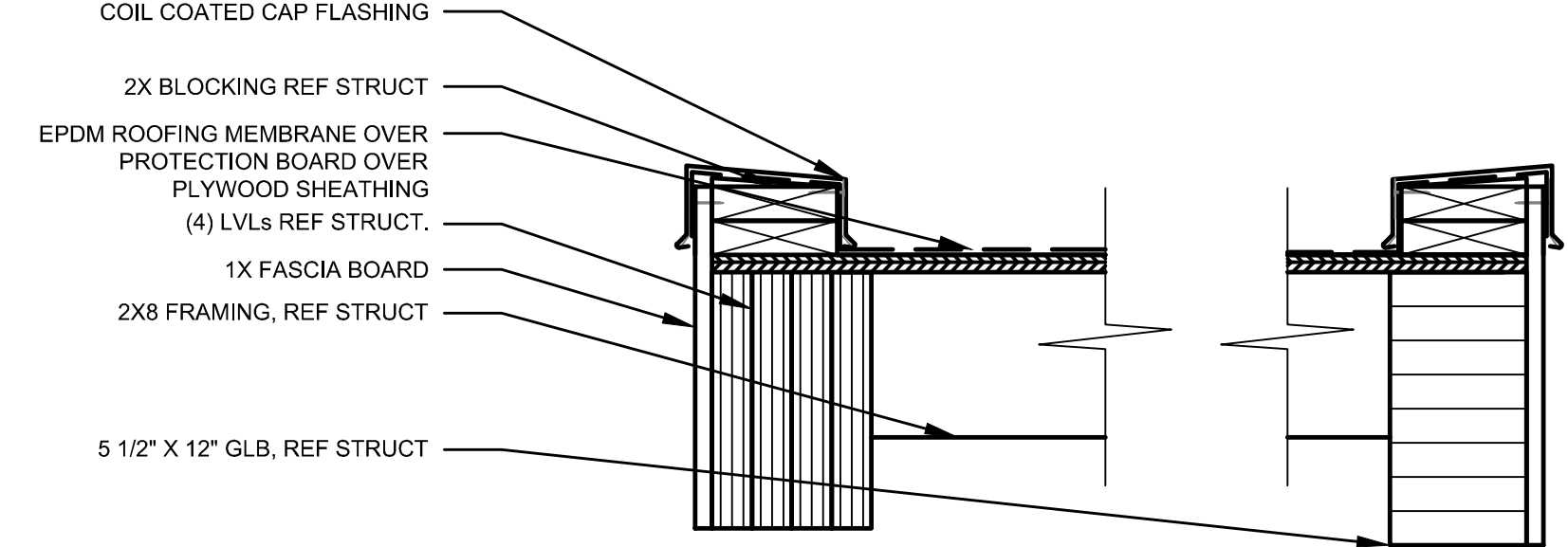
**1 SECTION DETAIL - FASCIA**  
SCALE: 1/2"=1'-0"



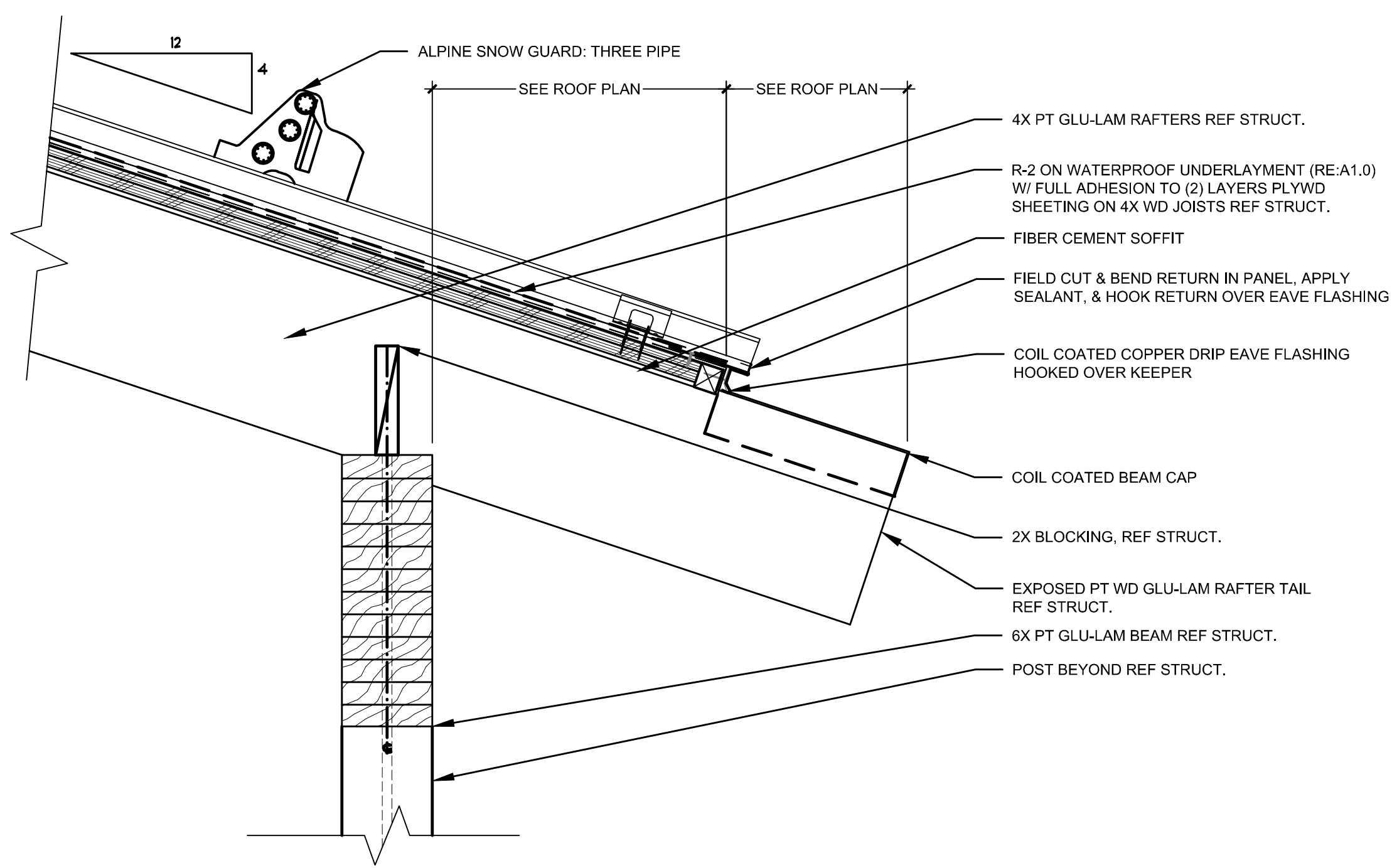
**2 SECTION DETAIL - EAVE**  
SCALE: 1/2"=1'-0"



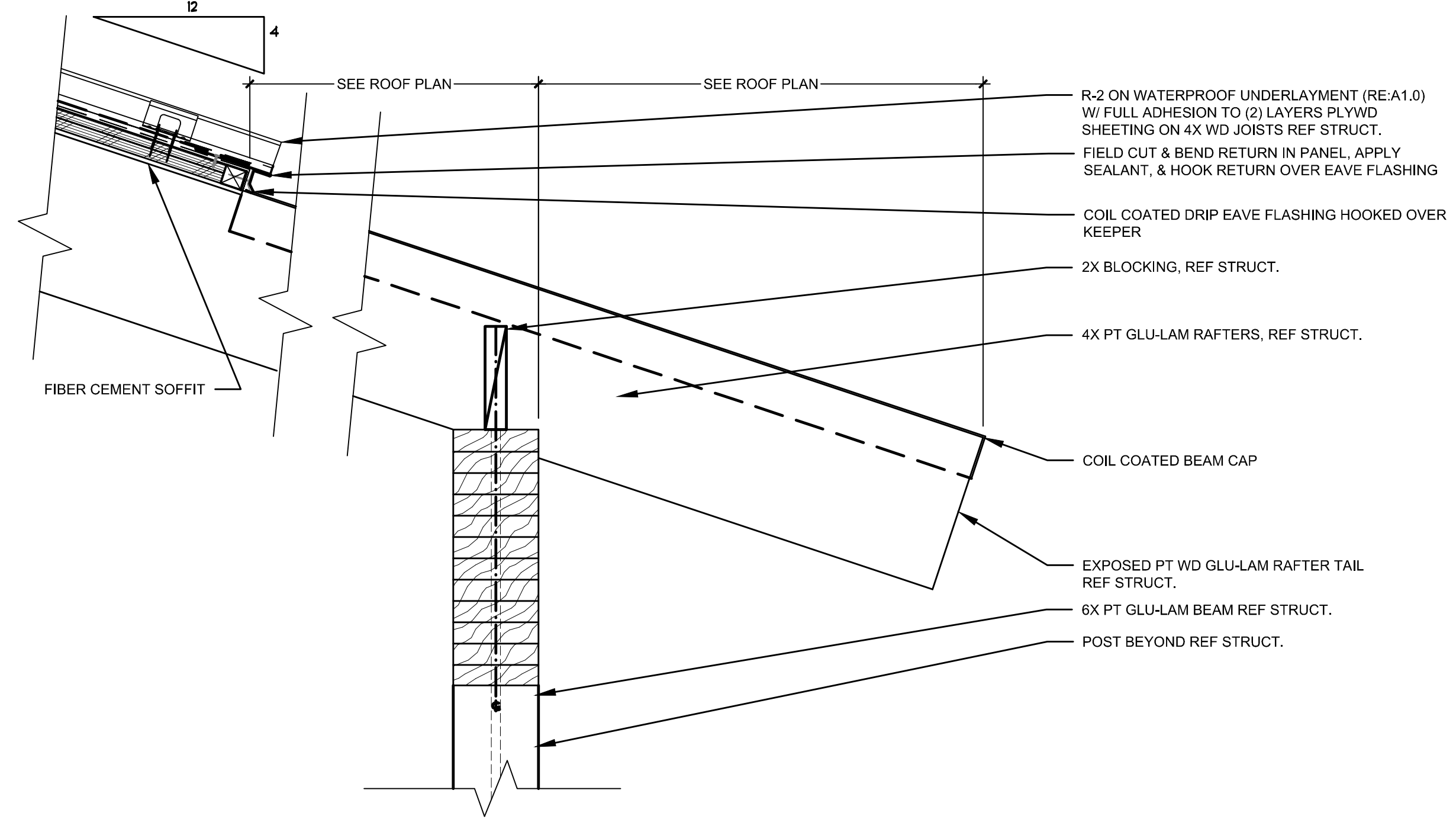
**3 SECTION DETAIL - RIDGE**  
SCALE: 1/2"=1'-0"



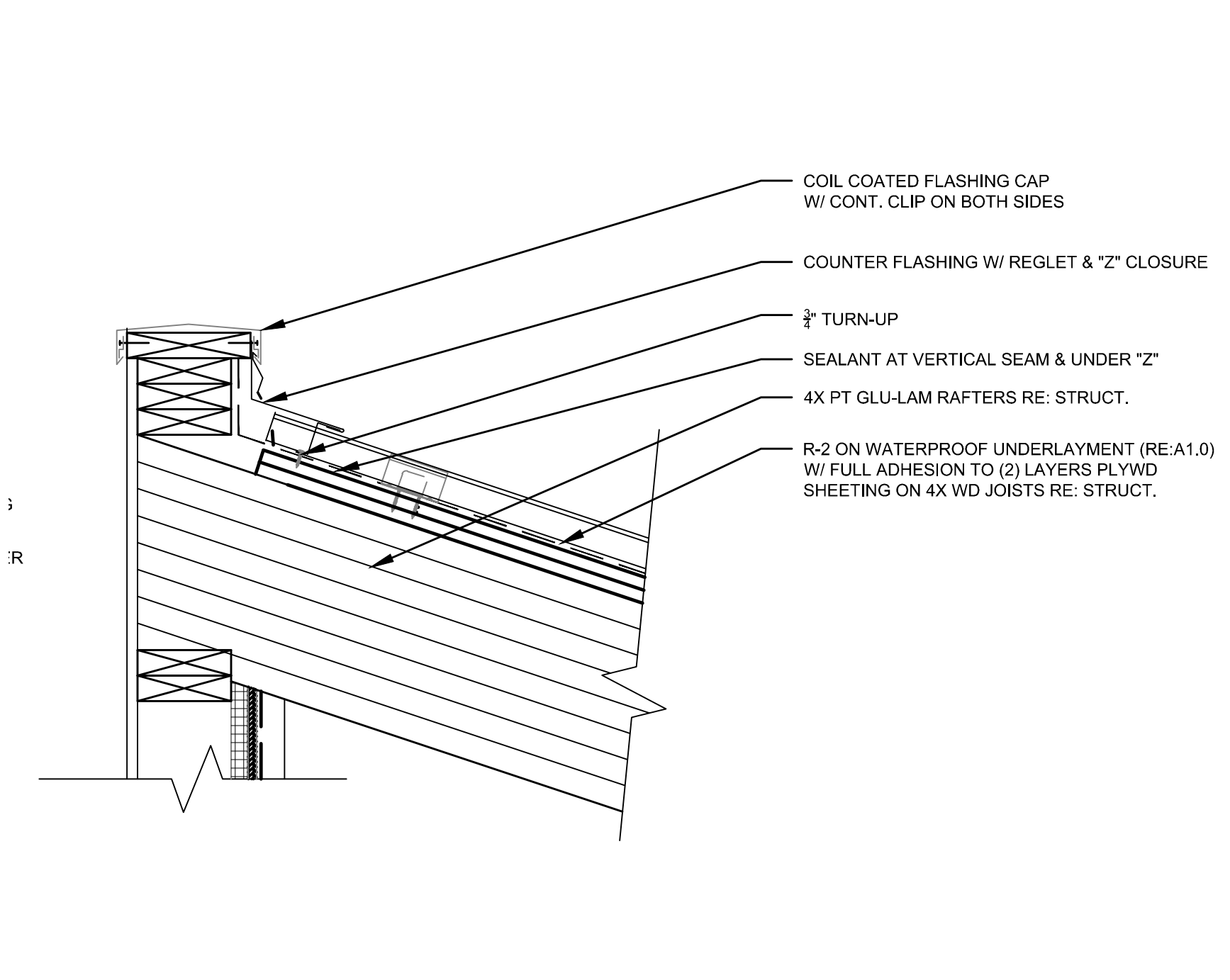
**4 SECTION DETAIL - COVERED WALKWAY**  
SCALE: 1/2"=1'-0"



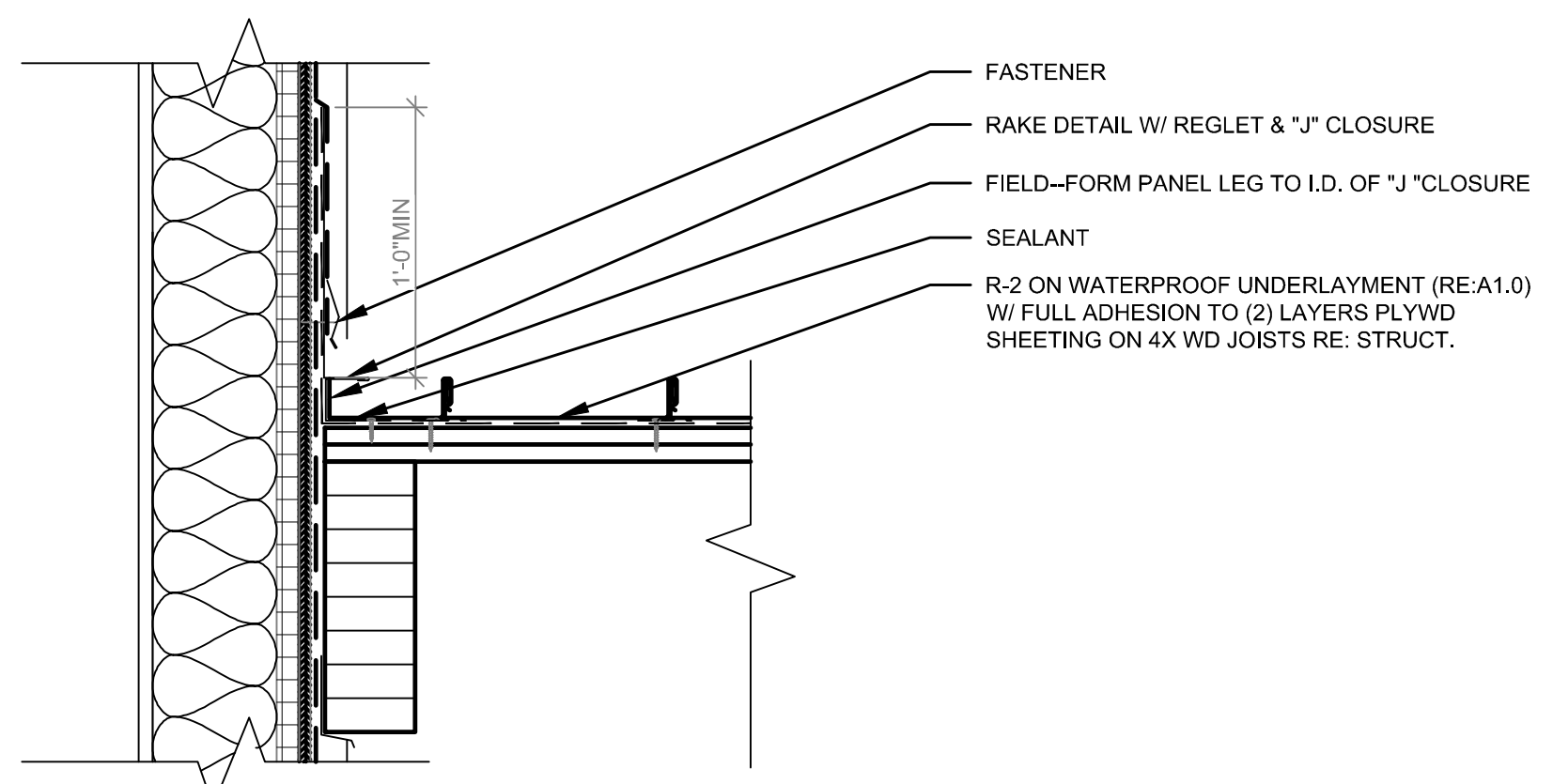
**5 SECTION DETAIL - OVERHANG**  
SCALE: 1/2"=1'-0"



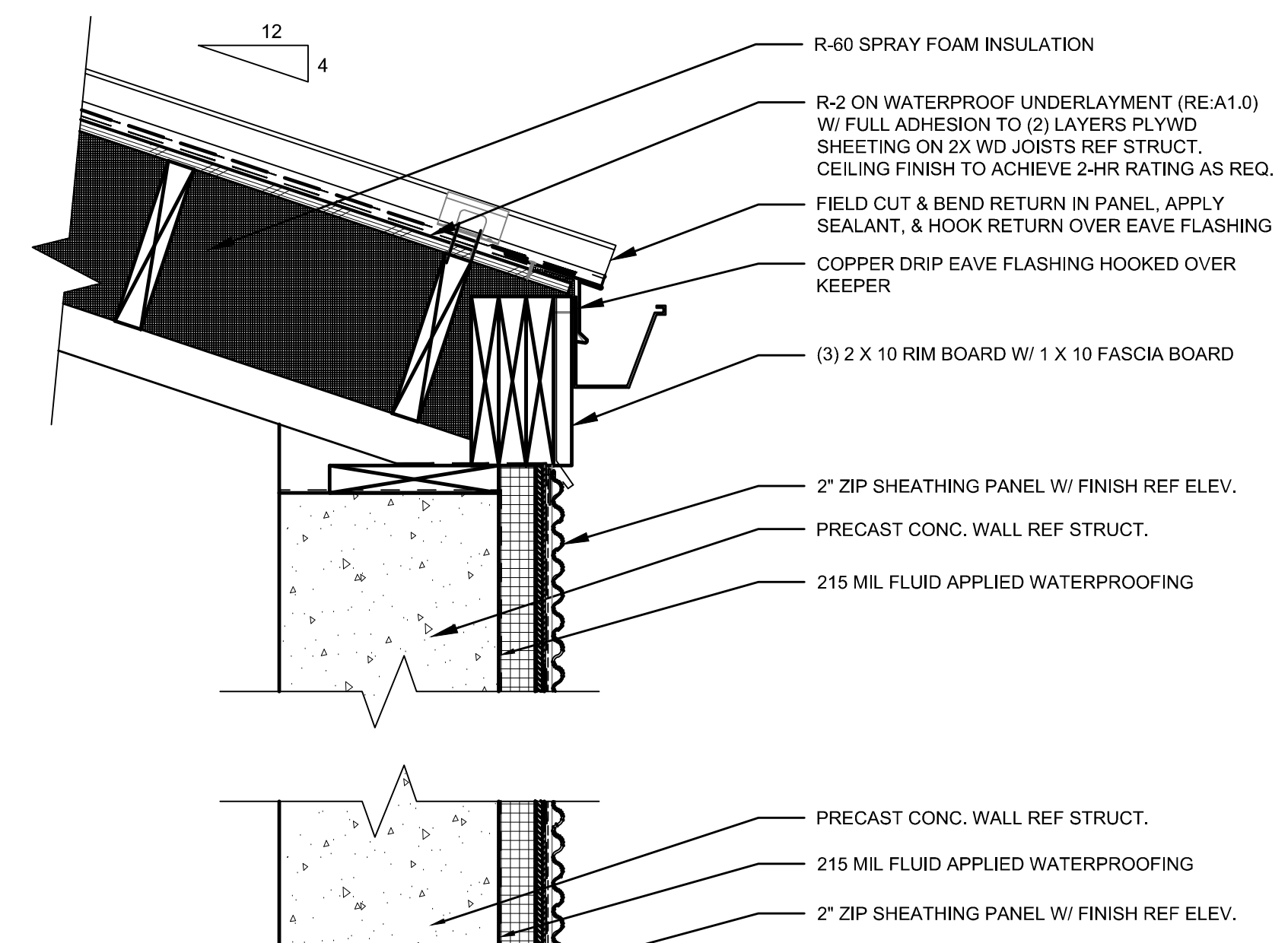
**6 SECTION DETAIL - OVERHANG**  
SCALE: 1/2"=1'-0"



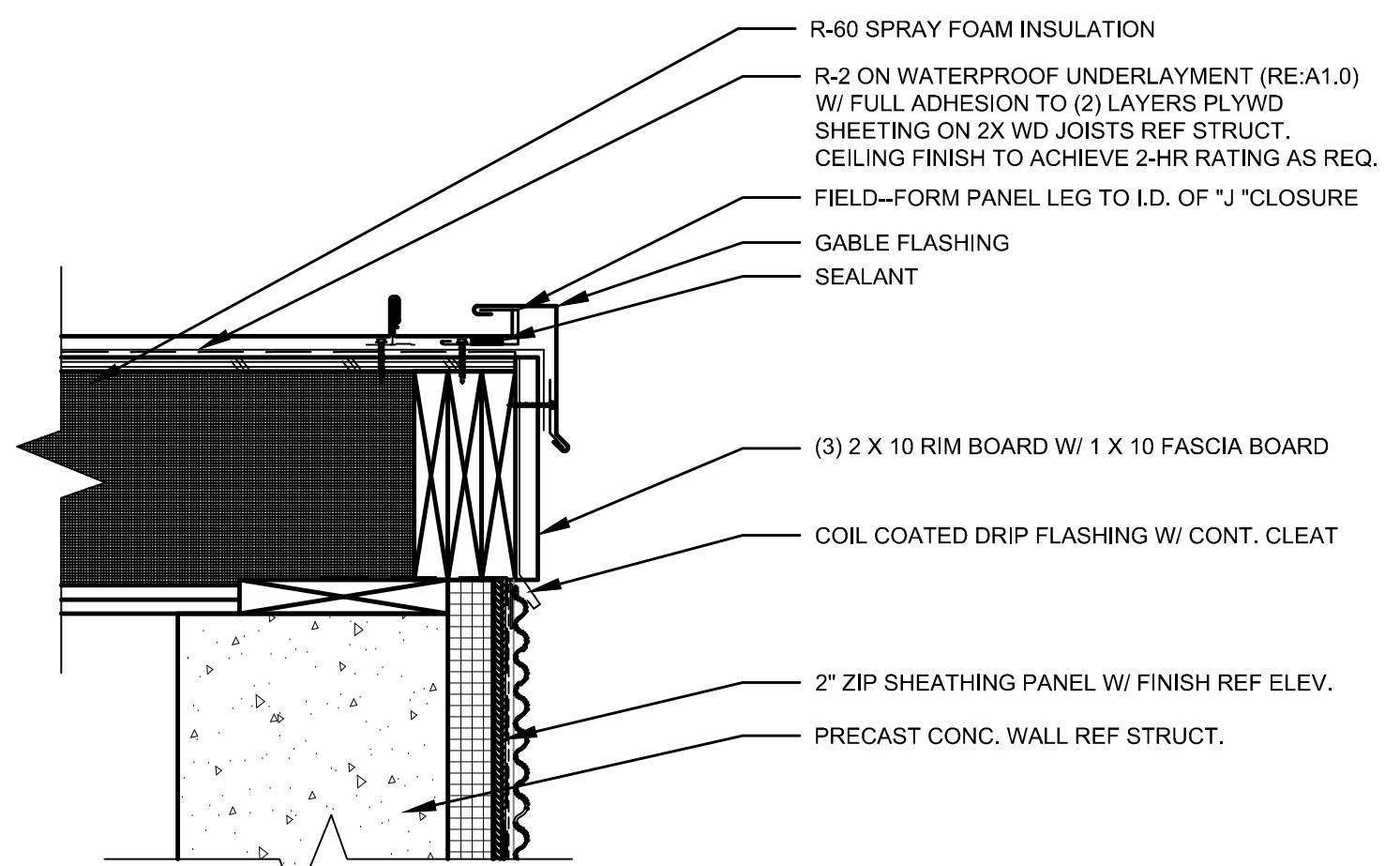
**7 SECTION DETAIL - OVERHANG**  
SCALE: 1/2"=1'-0"



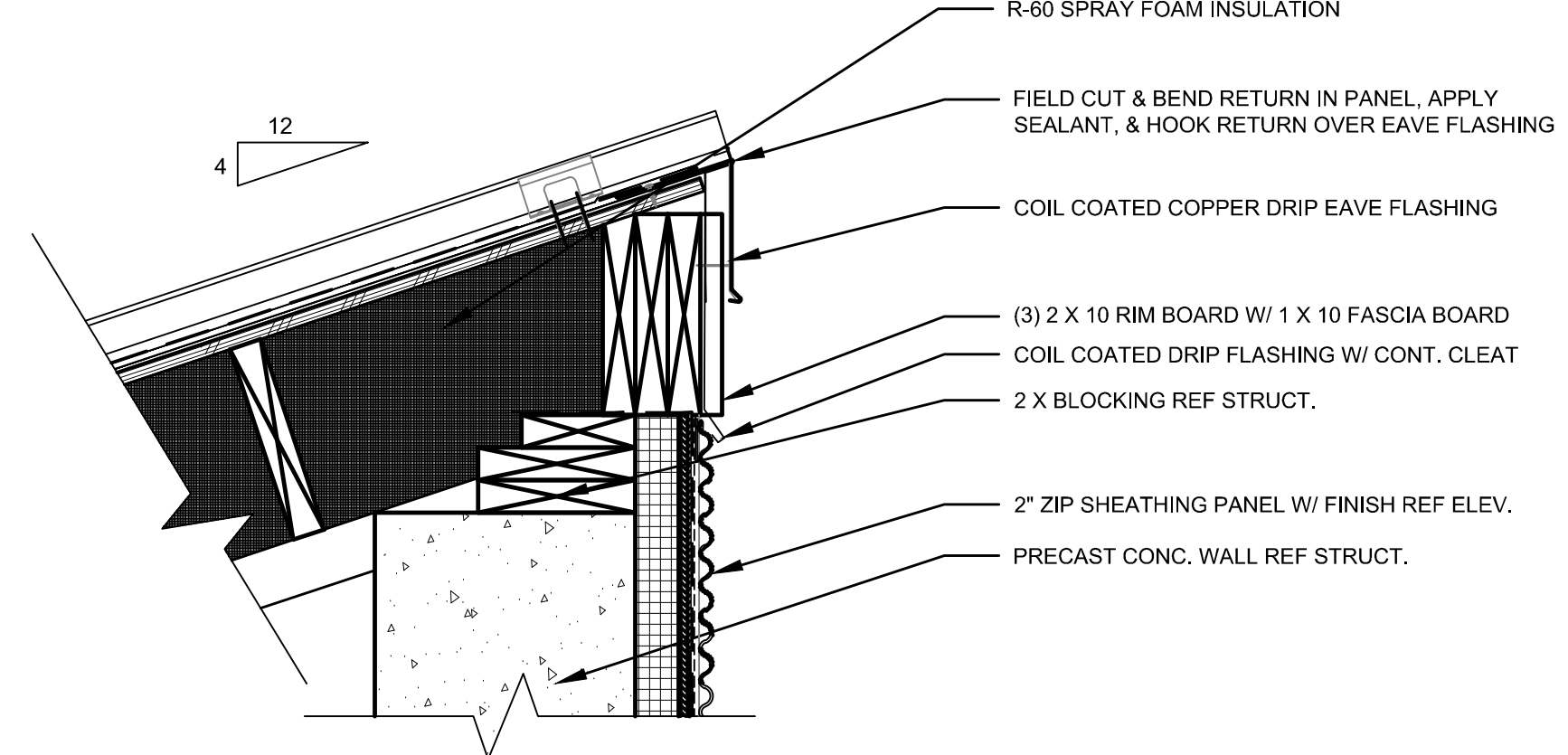
**8 SECTION DETAIL - OVERHANG**  
SCALE: 1/2"=1'-0"



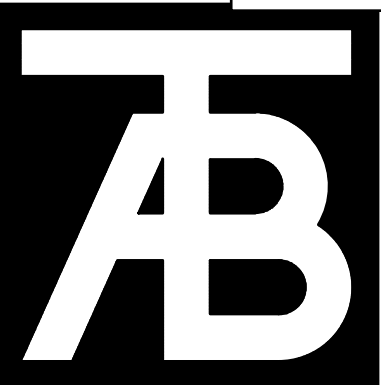
**9 SECTION DETAIL - STAIR TOWER**  
SCALE: 1/2"=1'-0"



**10 SECTION DETAIL - STAIR TOWER**  
SCALE: 1/2"=1'-0"

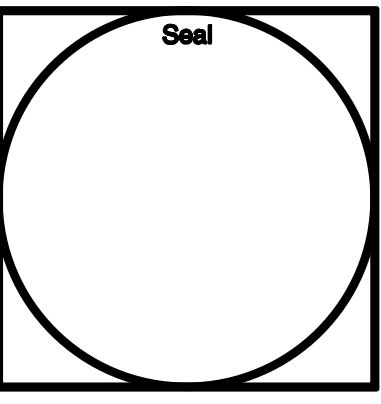


**11 SECTION DETAIL - STAIR TOWER**  
SCALE: 1/2"=1'-0"



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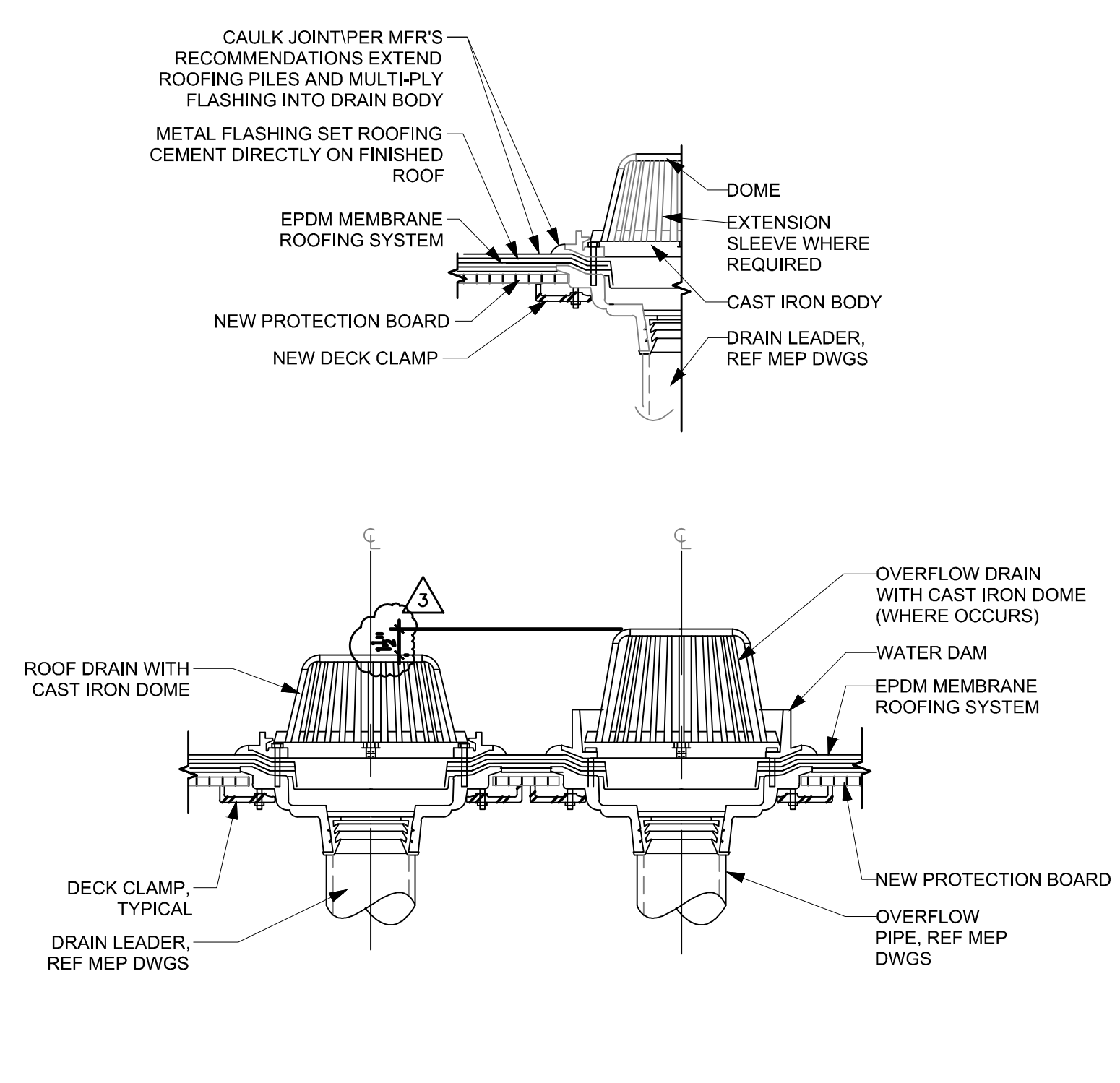
**Belden Place - 12 Plex (Flats)**  
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Revisions:

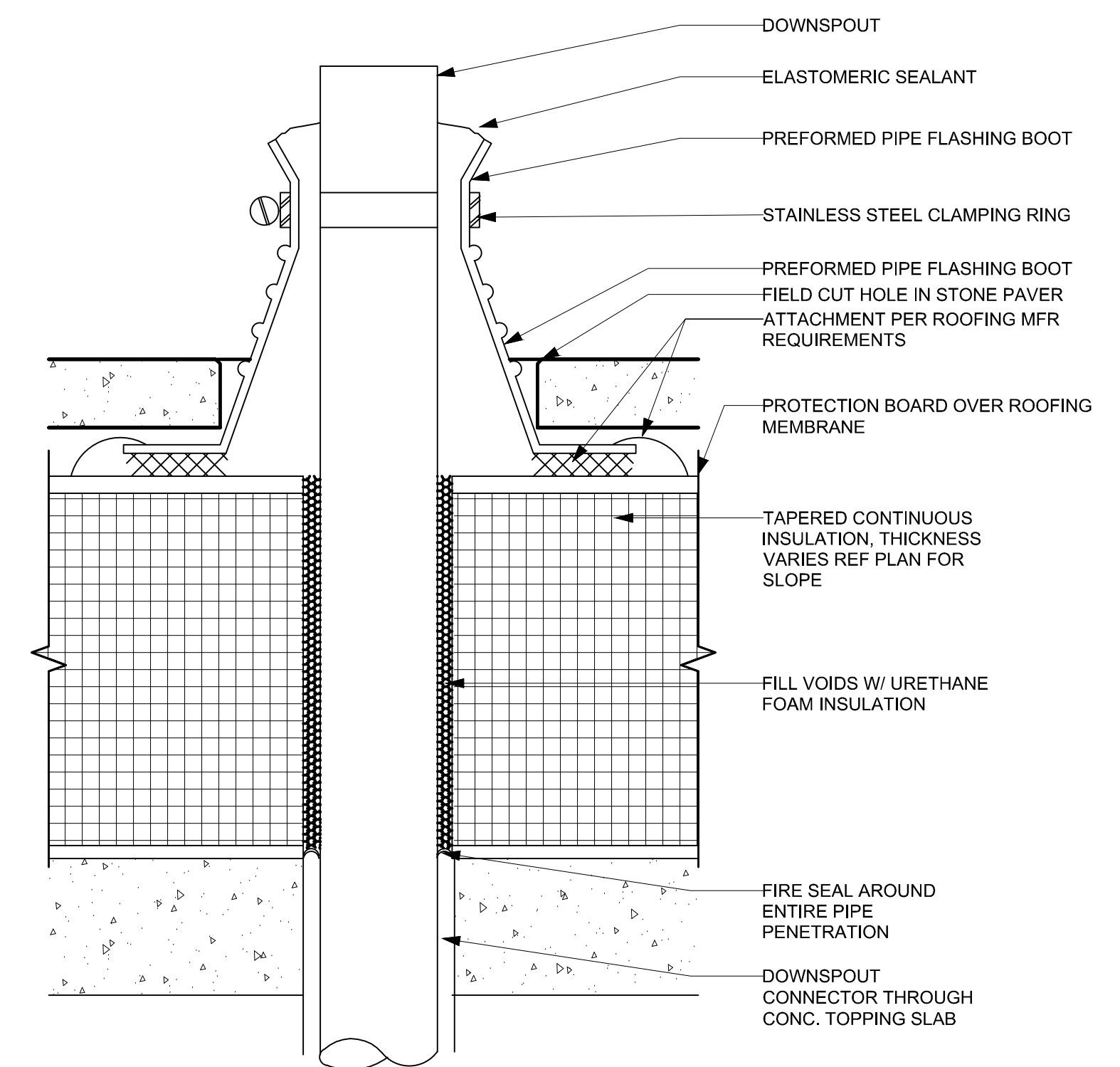
Issue Dates:  
CDs - 10/12/2009

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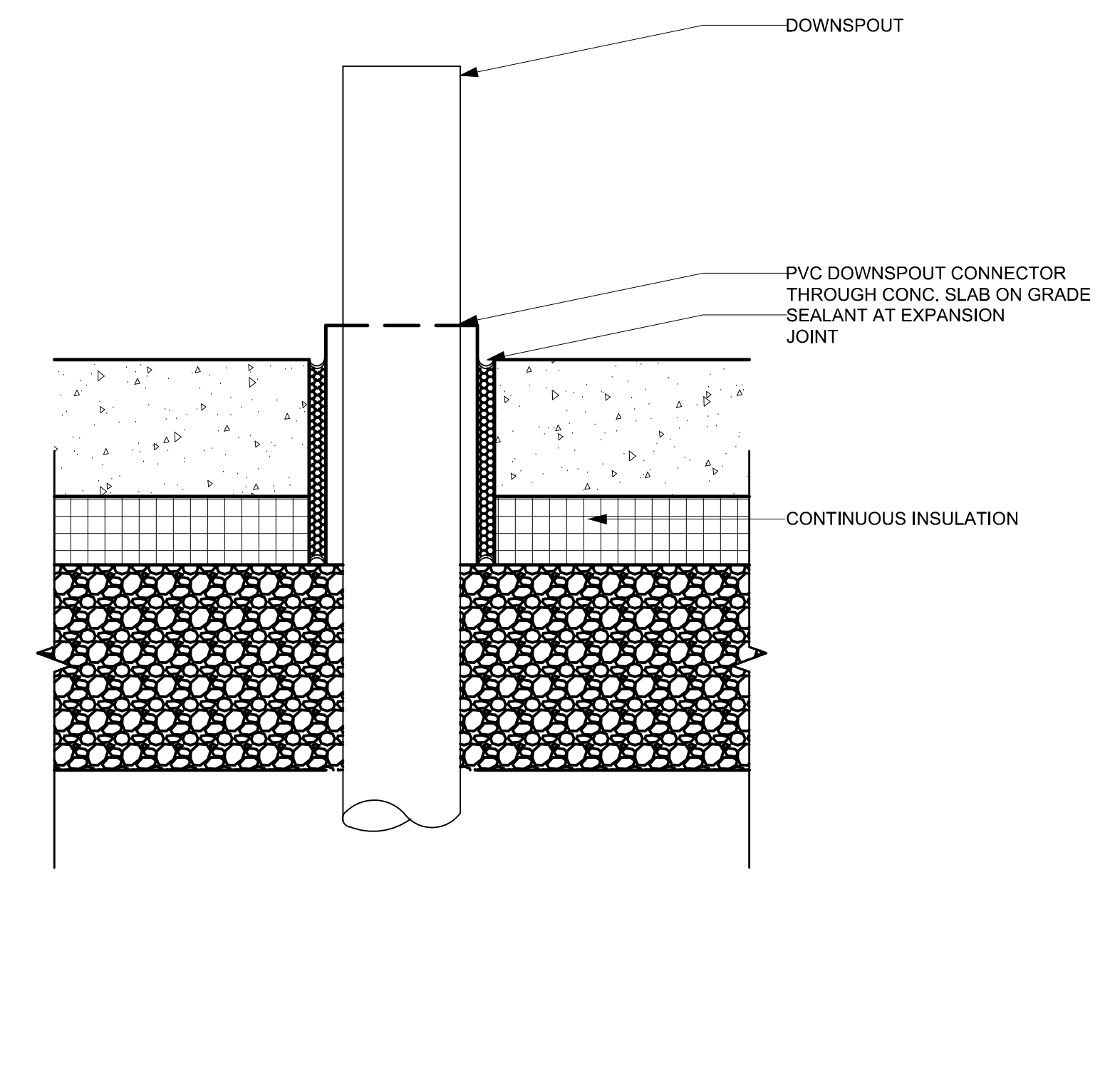
Project No:  
**2136**  
Sheet No:  
**A5.03**



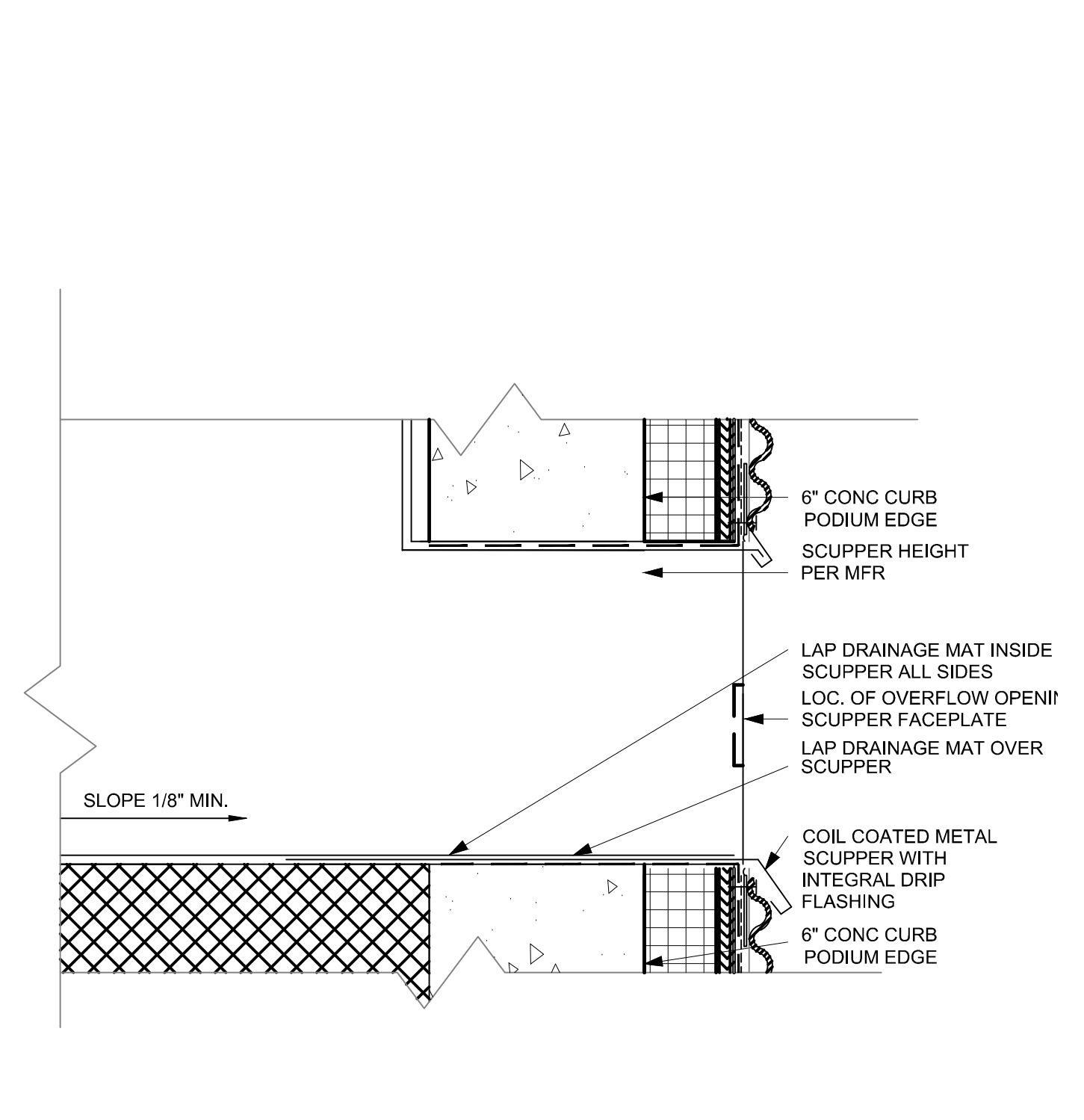
**1 SECTION DETAIL - ROOF DRAIN**  
SCALE: 1/2"=1'-0"



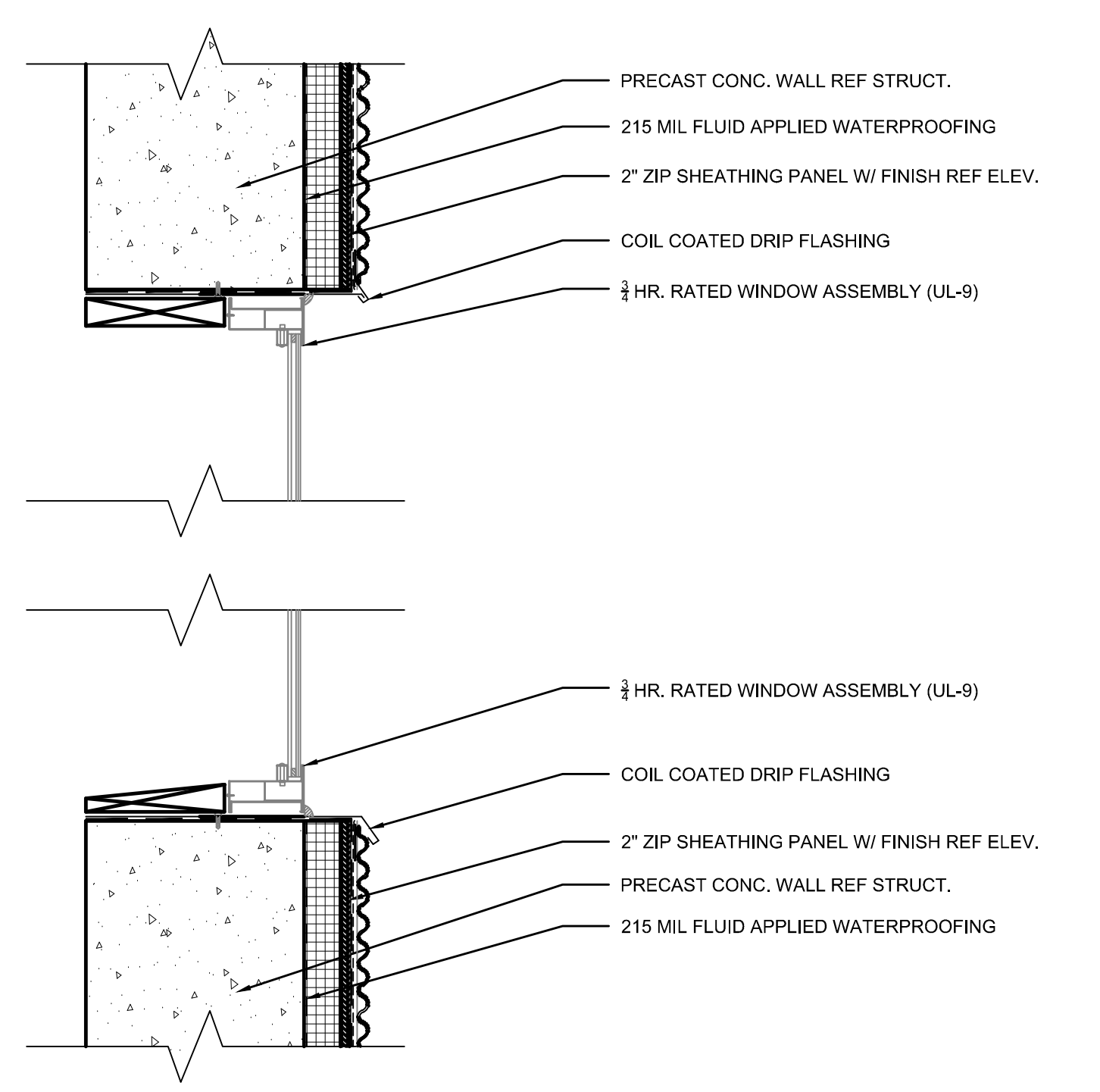
**2 SECTION DETAIL - DS @ PODIUM**  
SCALE: 3/4"=1'-0"



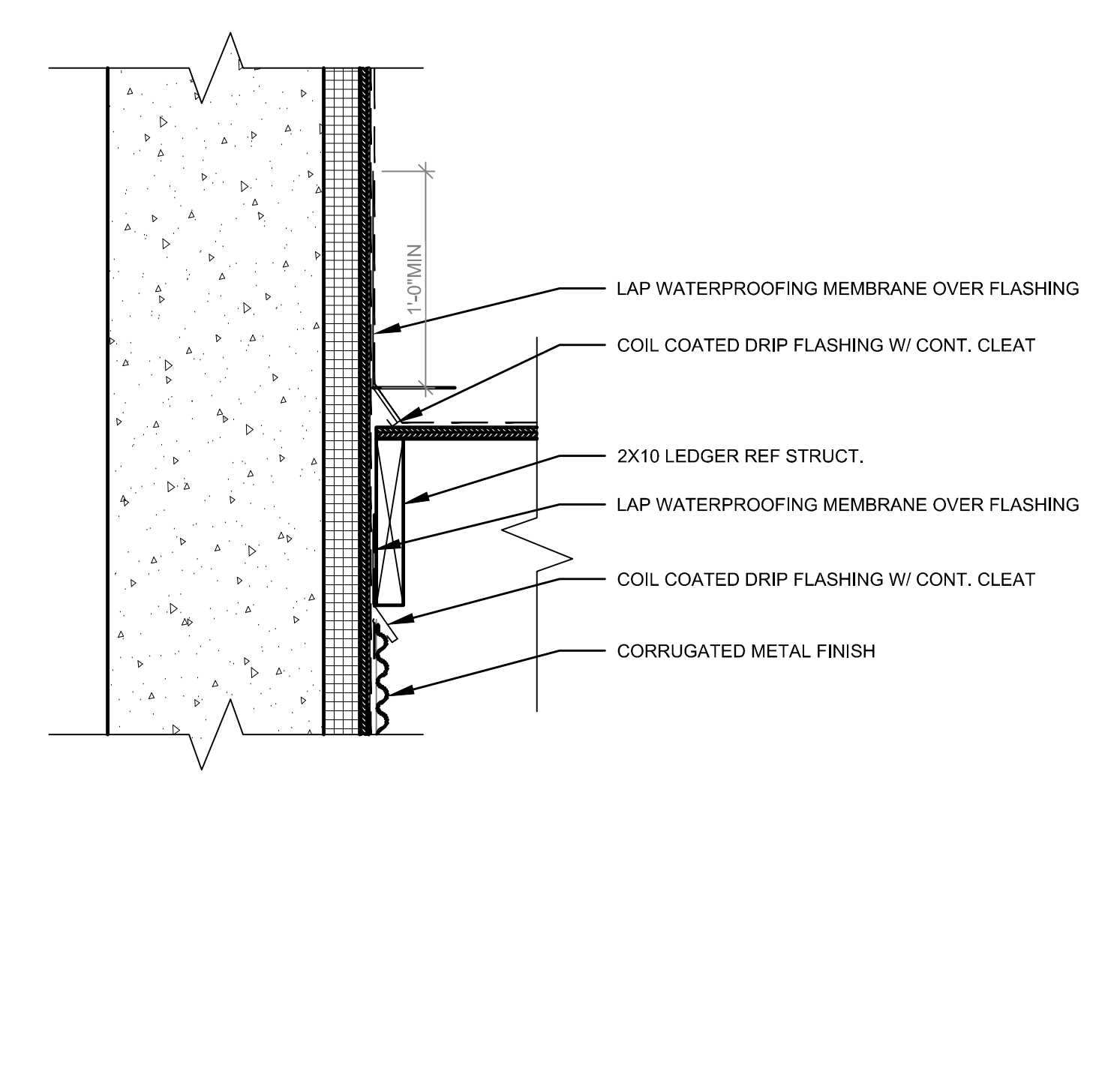
**3 SECTION DETAIL - DS @ SLAB**  
SCALE: 3/4"=1'-0"



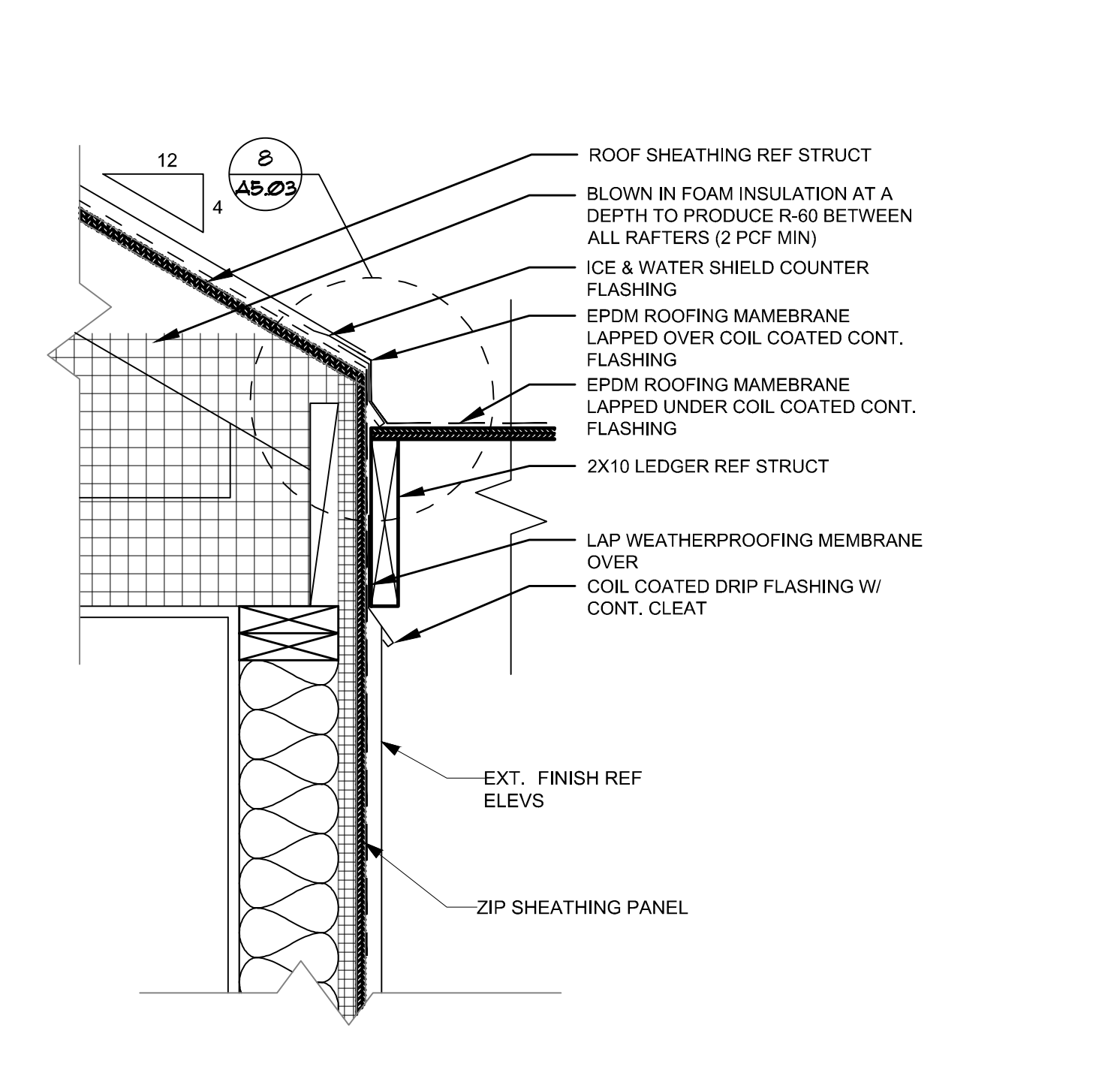
**4 SECTION DETAIL - SCUPPER**  
SCALE: 3/4"=1'-0"



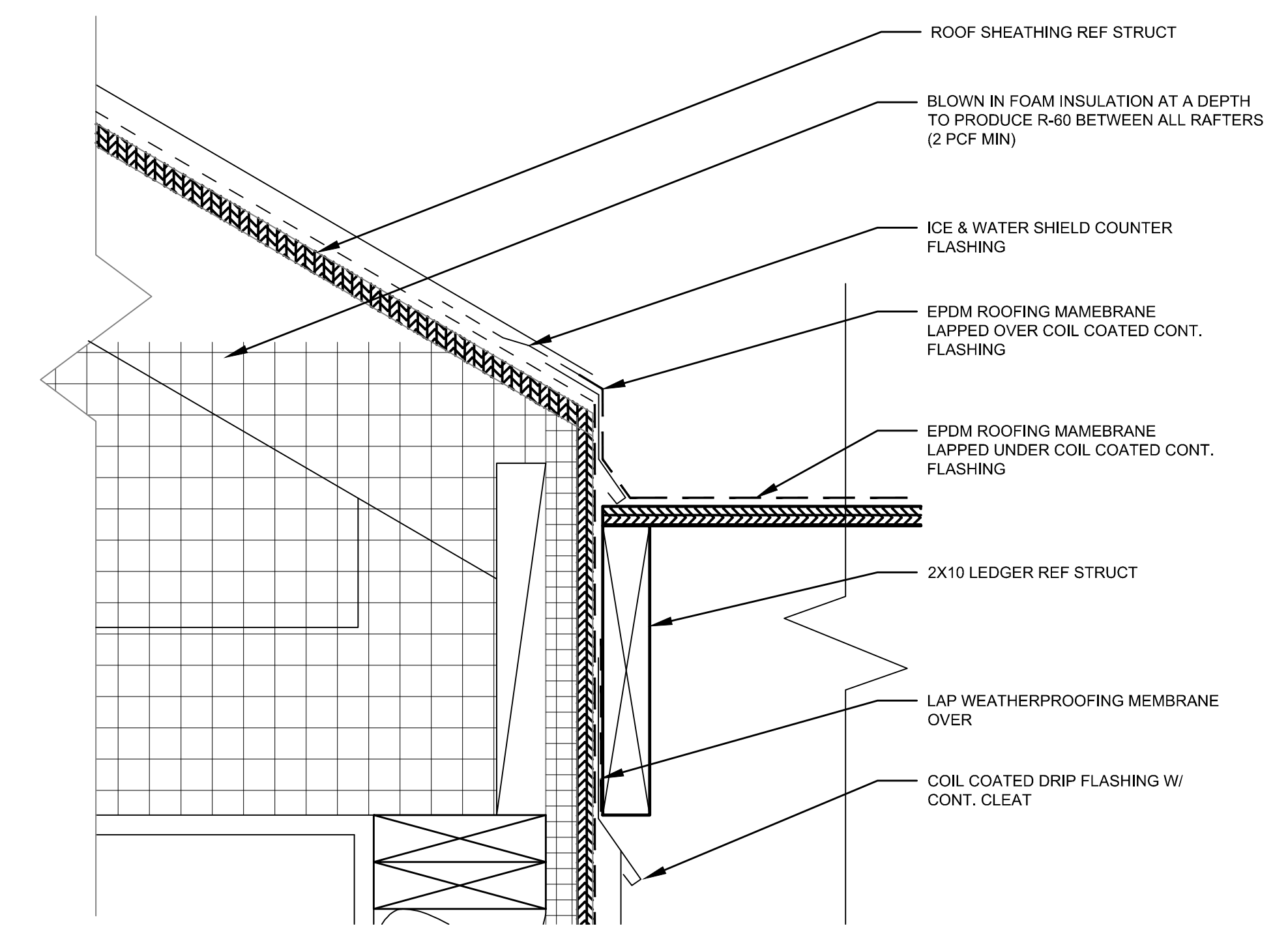
**5 WINDOW DETAIL - HEAD/SILL**  
SCALE: 1/2"=1'-0"



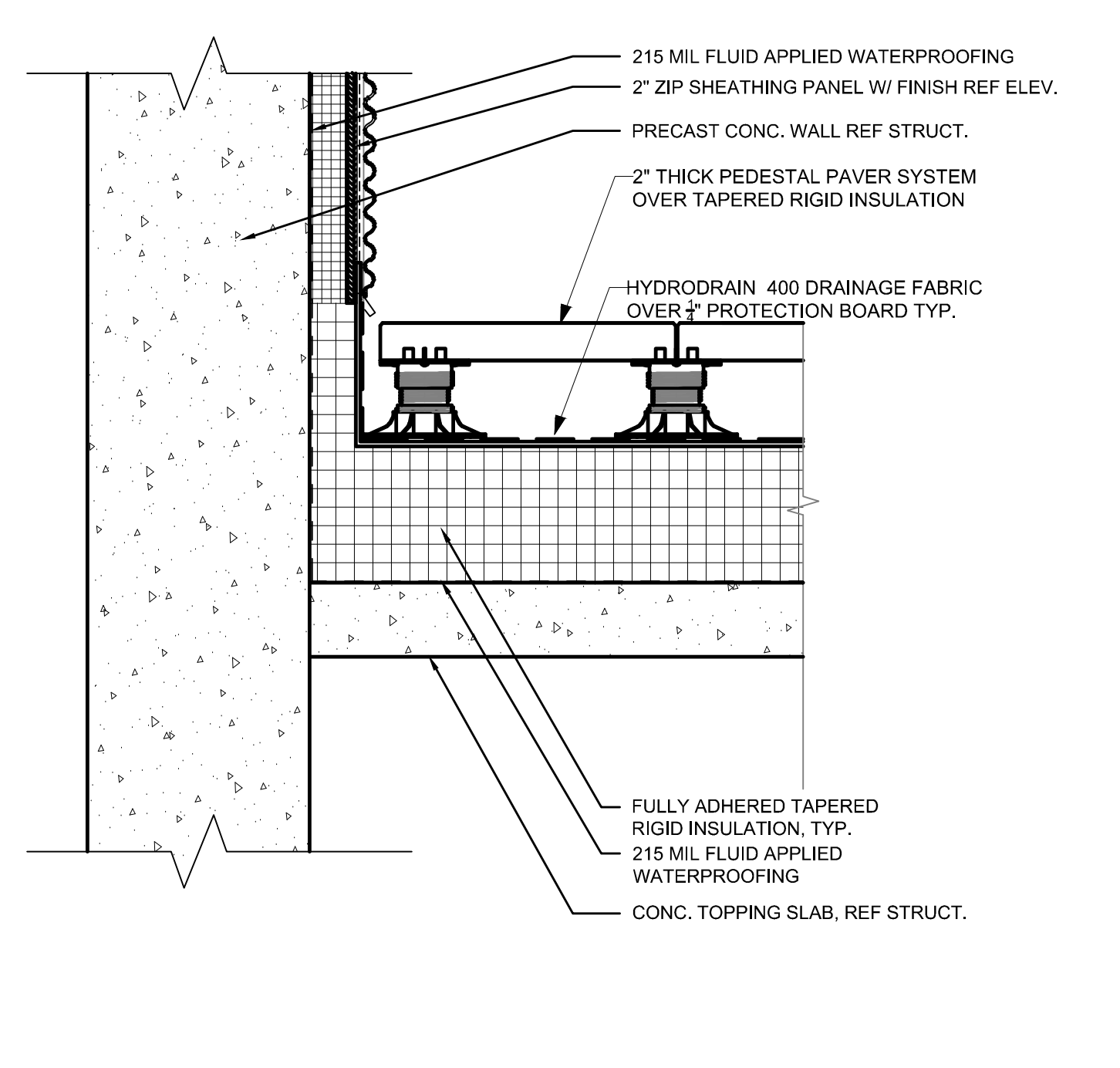
**6 SECTION DETAIL - FLAT ROOF**  
SCALE: 1/2"=1'-0"



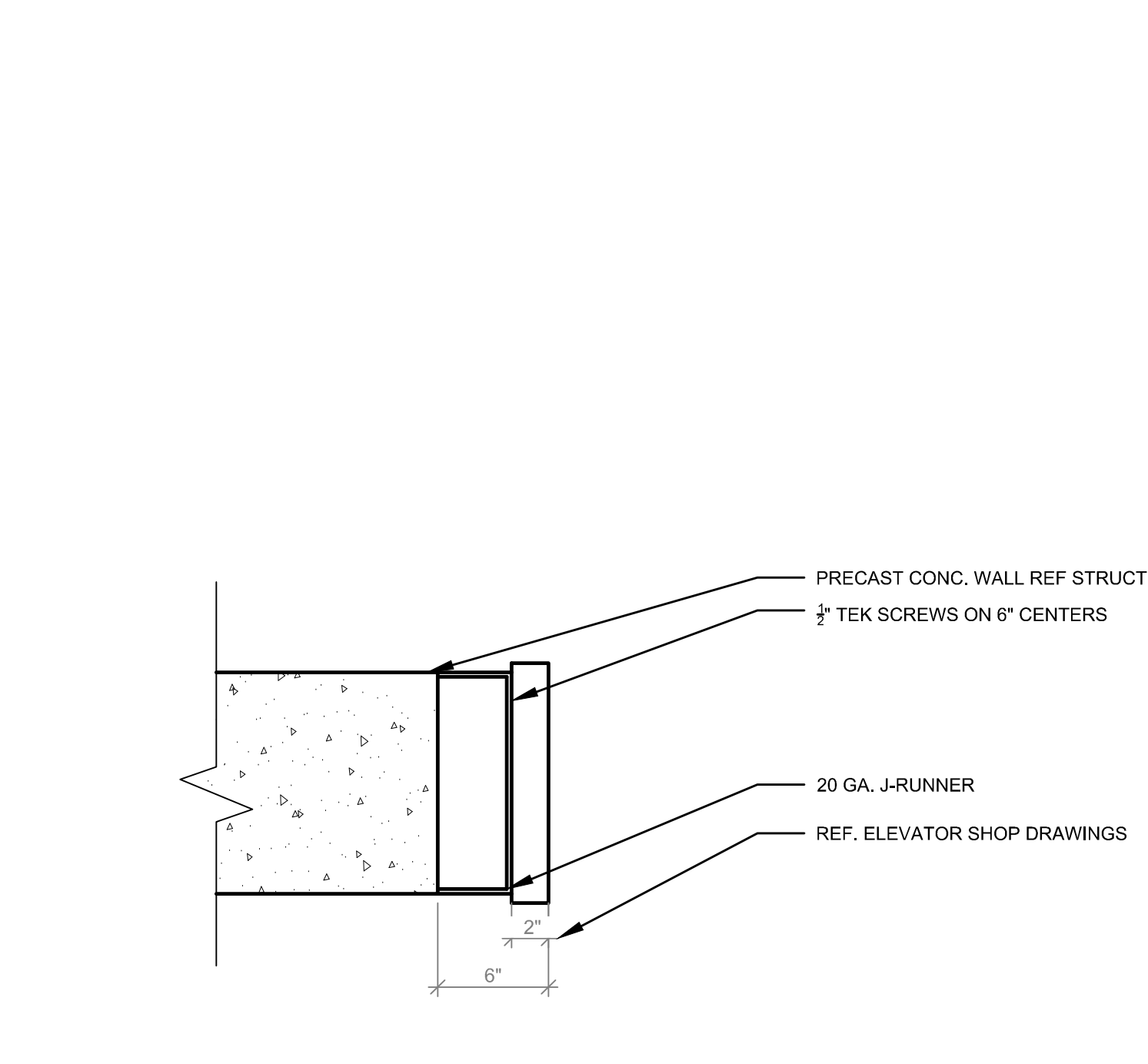
**7 SECTION DETAIL - FLAT ROOF**  
SCALE: 1/2"=1'-0"



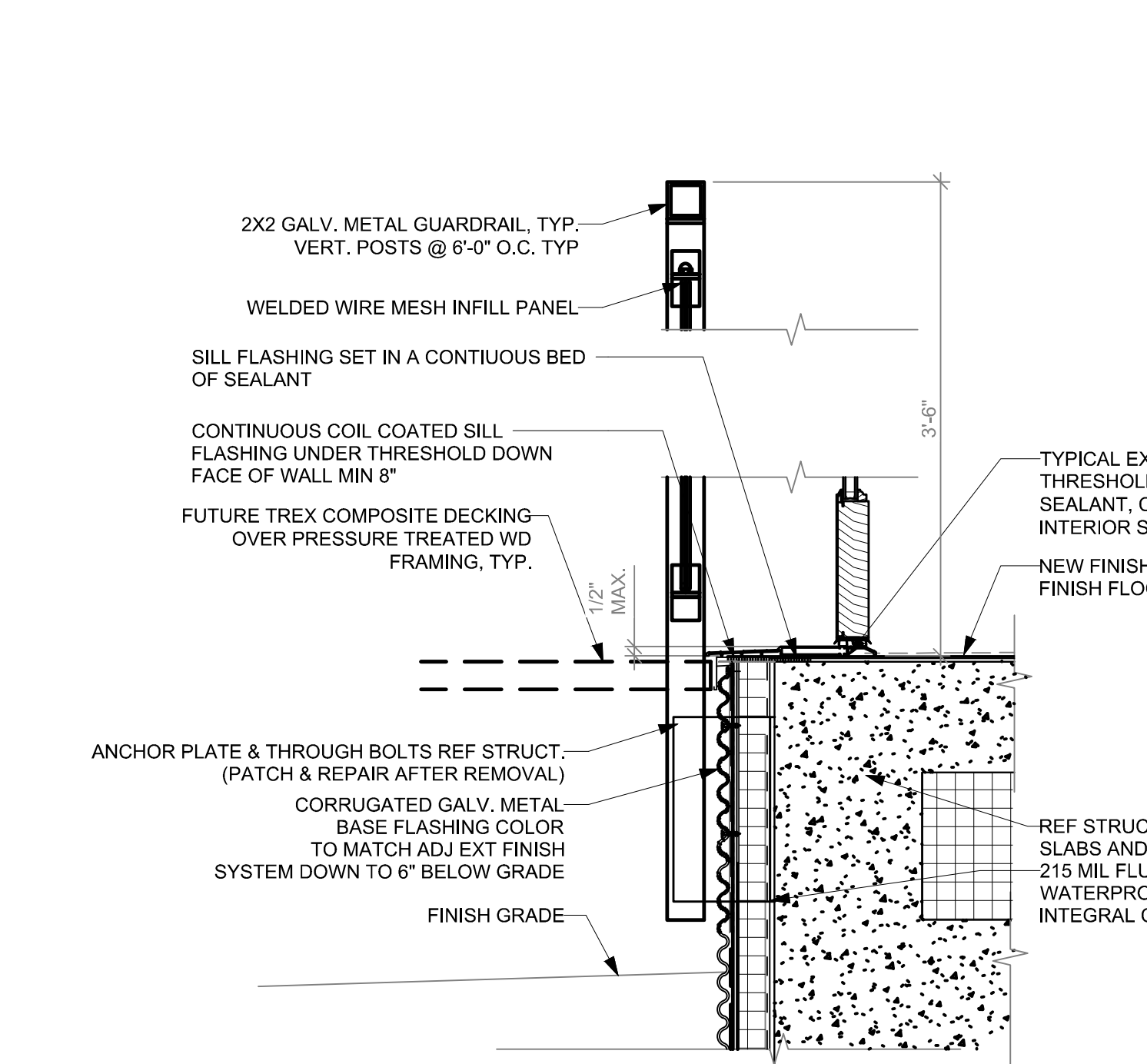
**8 SECTION DETAIL - FLAT ROOF**  
SCALE: 3/4"=1'-0"



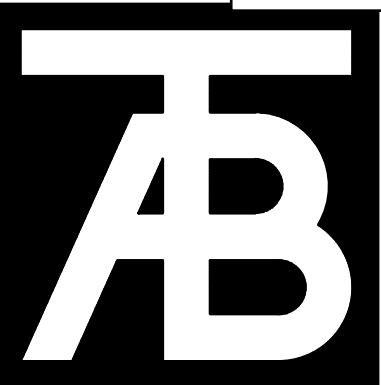
**9 SECTION DETAIL - PODIUM @ CORE**  
SCALE: 1/2"=1'-0"



**10 PLAN DETAIL - ELEVATOR DOOR JAMB**  
SCALE: 1/2"=1'-0"

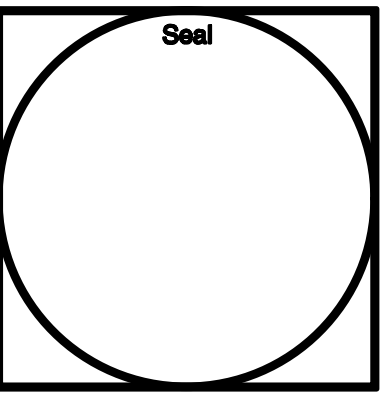


**11 SECTION DETAIL - TEMP. GUARDRAIL**  
SCALE: 1/2"=1'-0"



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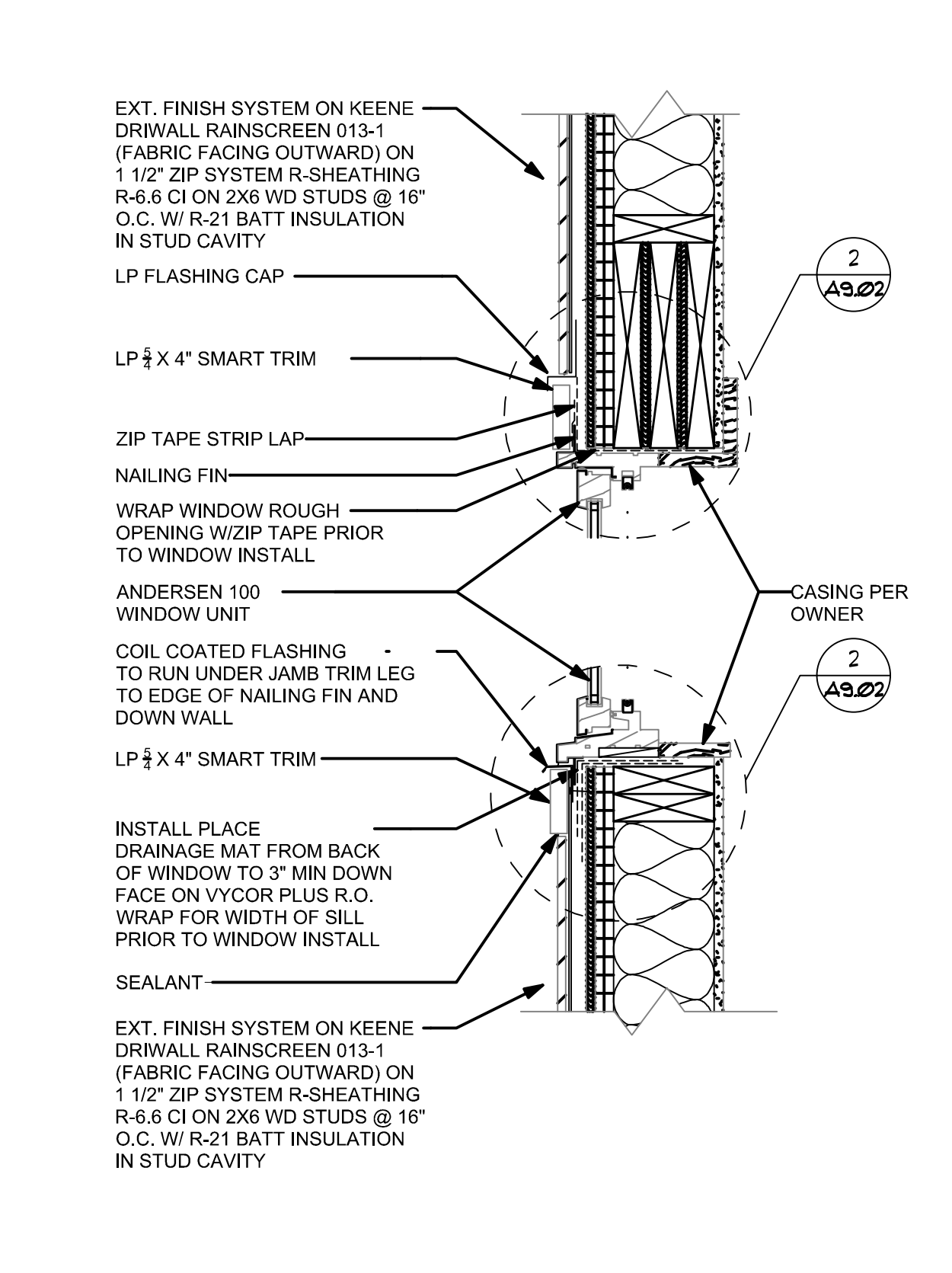
Revisions:

Issue Dates:  
CDs - 12/12/2009

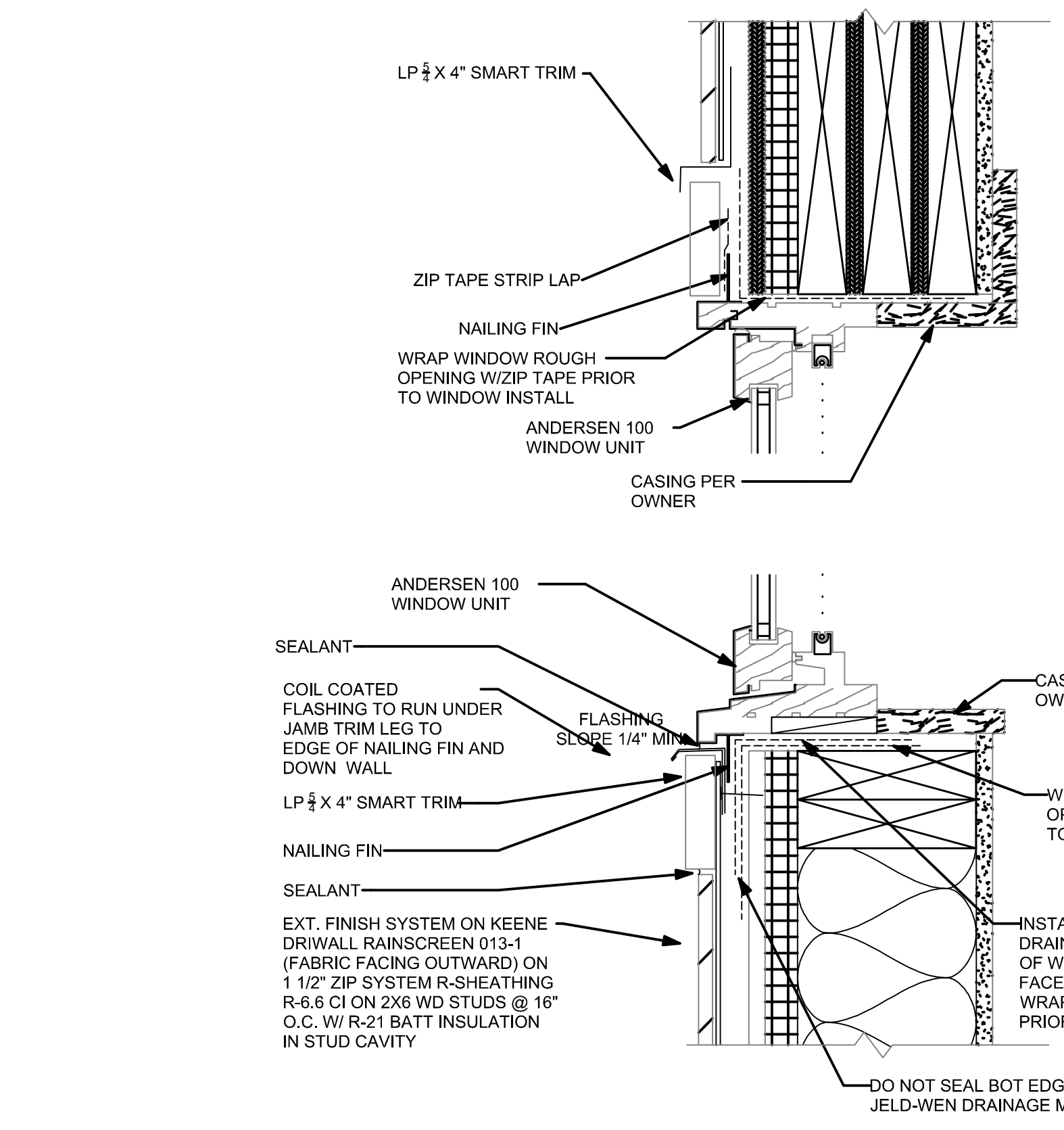
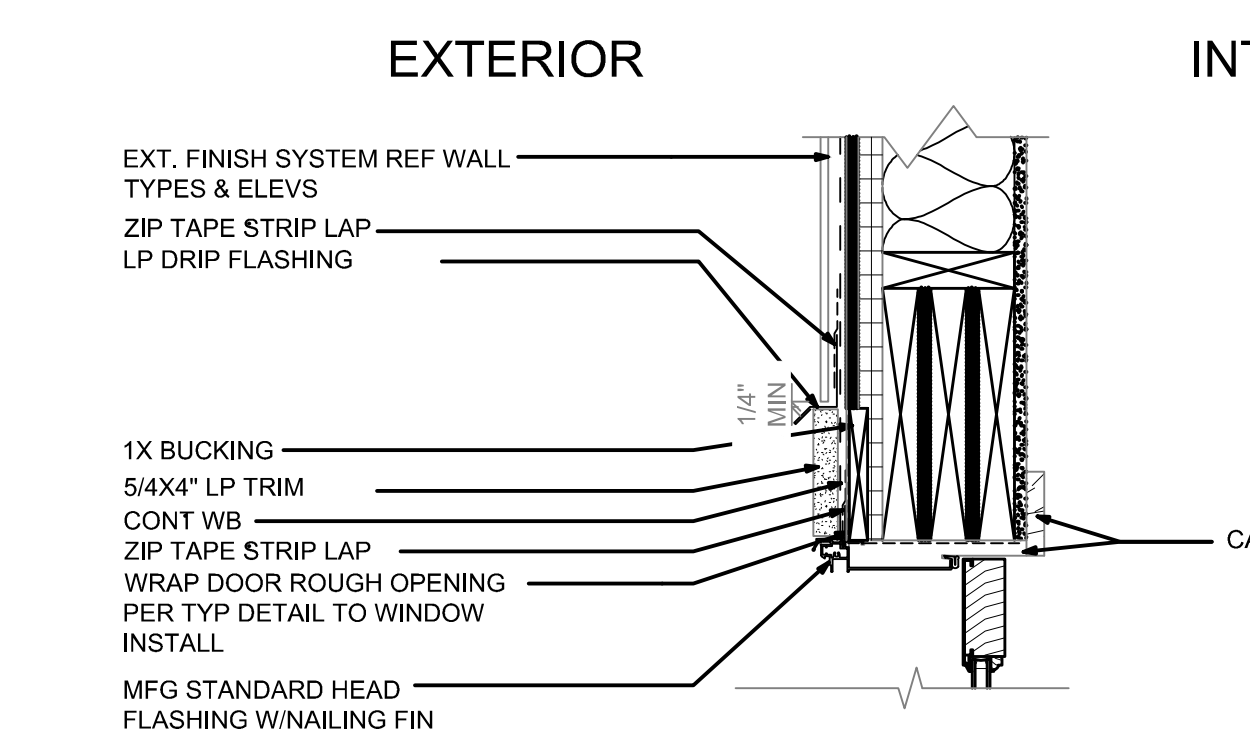
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Project No:  
**2136**  
Sheet No:  
**A5.04**

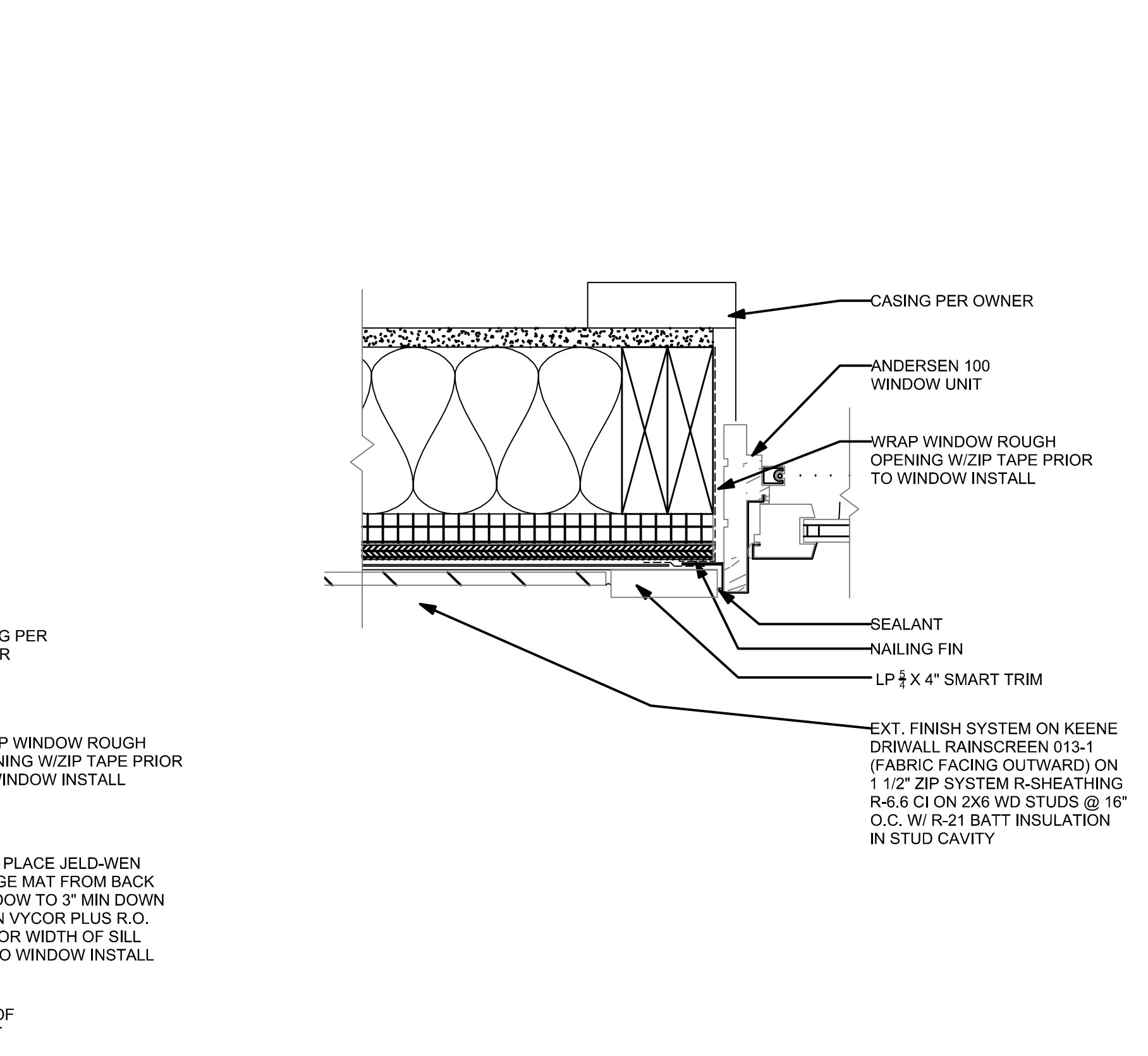
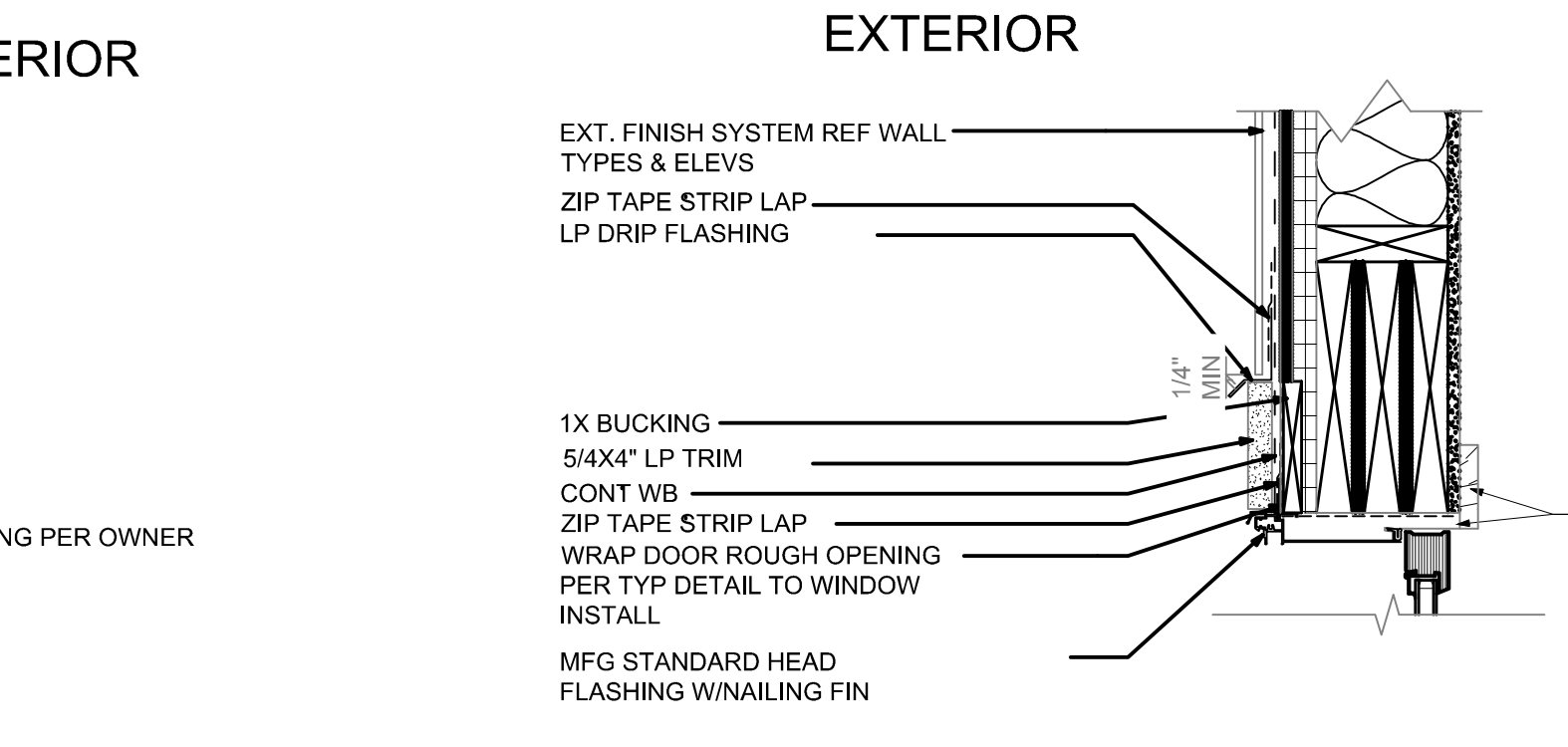
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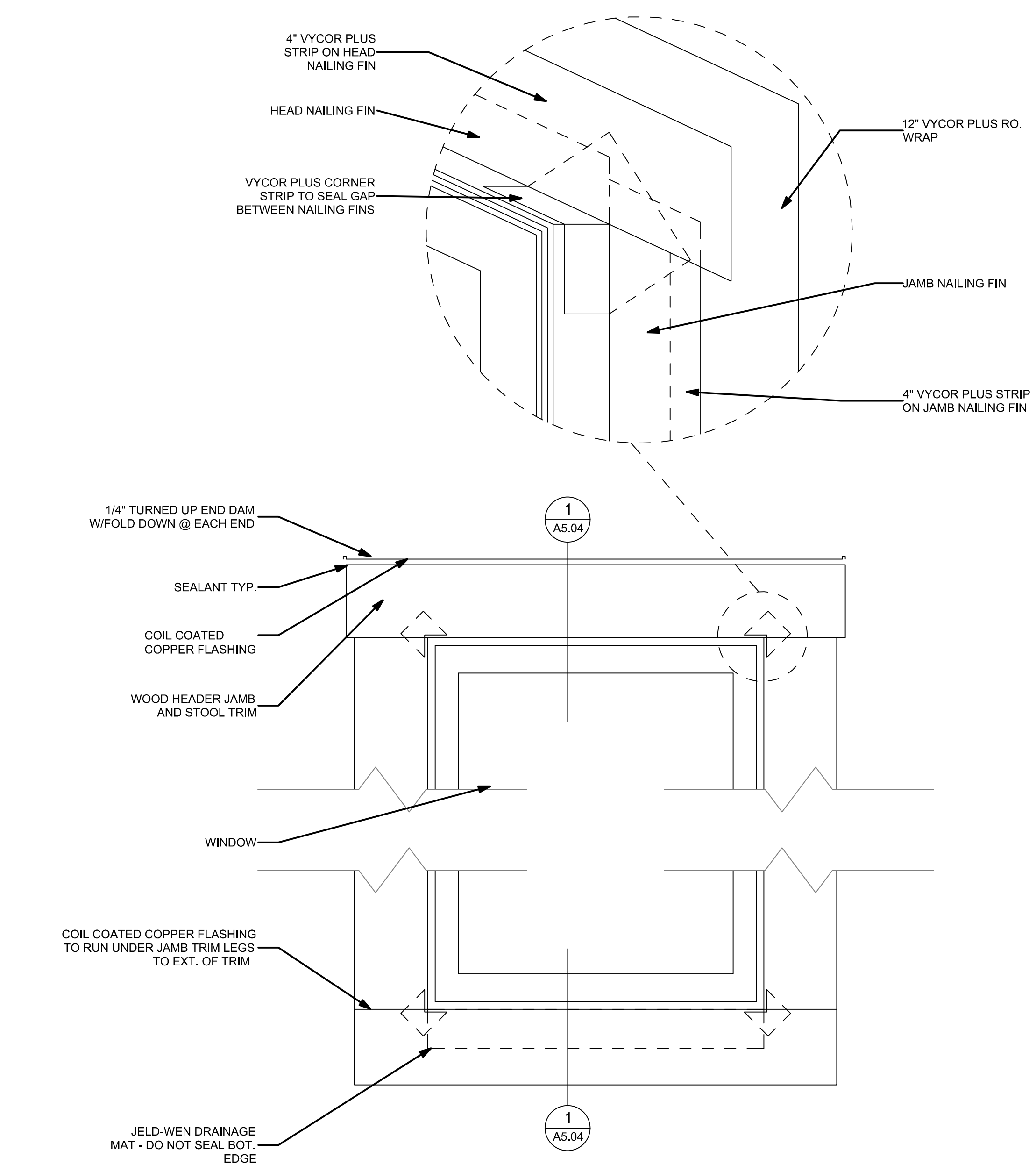
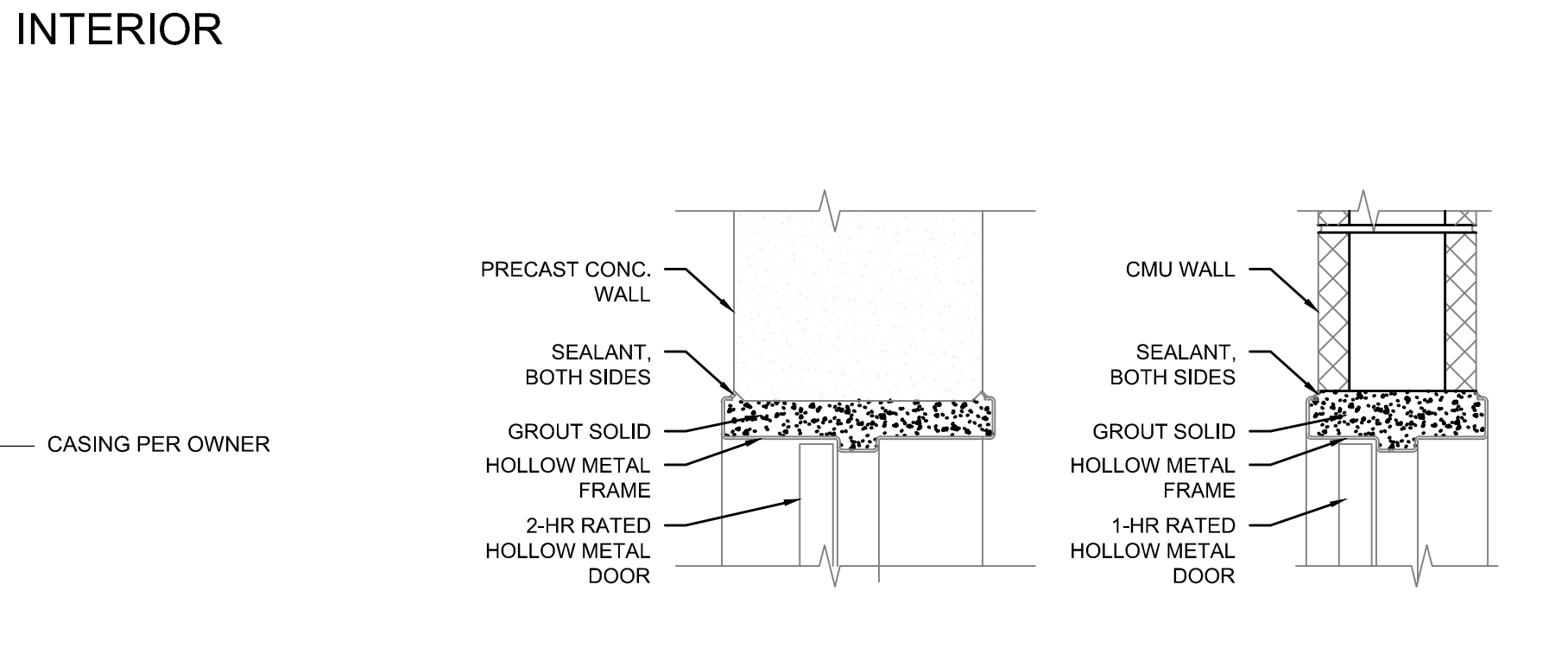
**1 WINDOW DETAIL - HEAD/SILL**  
SCALE: 1/2"=1'-0"



**2 WINDOW DETAIL - HEAD/SILL**  
SCALE: 3/4"=1'-0"

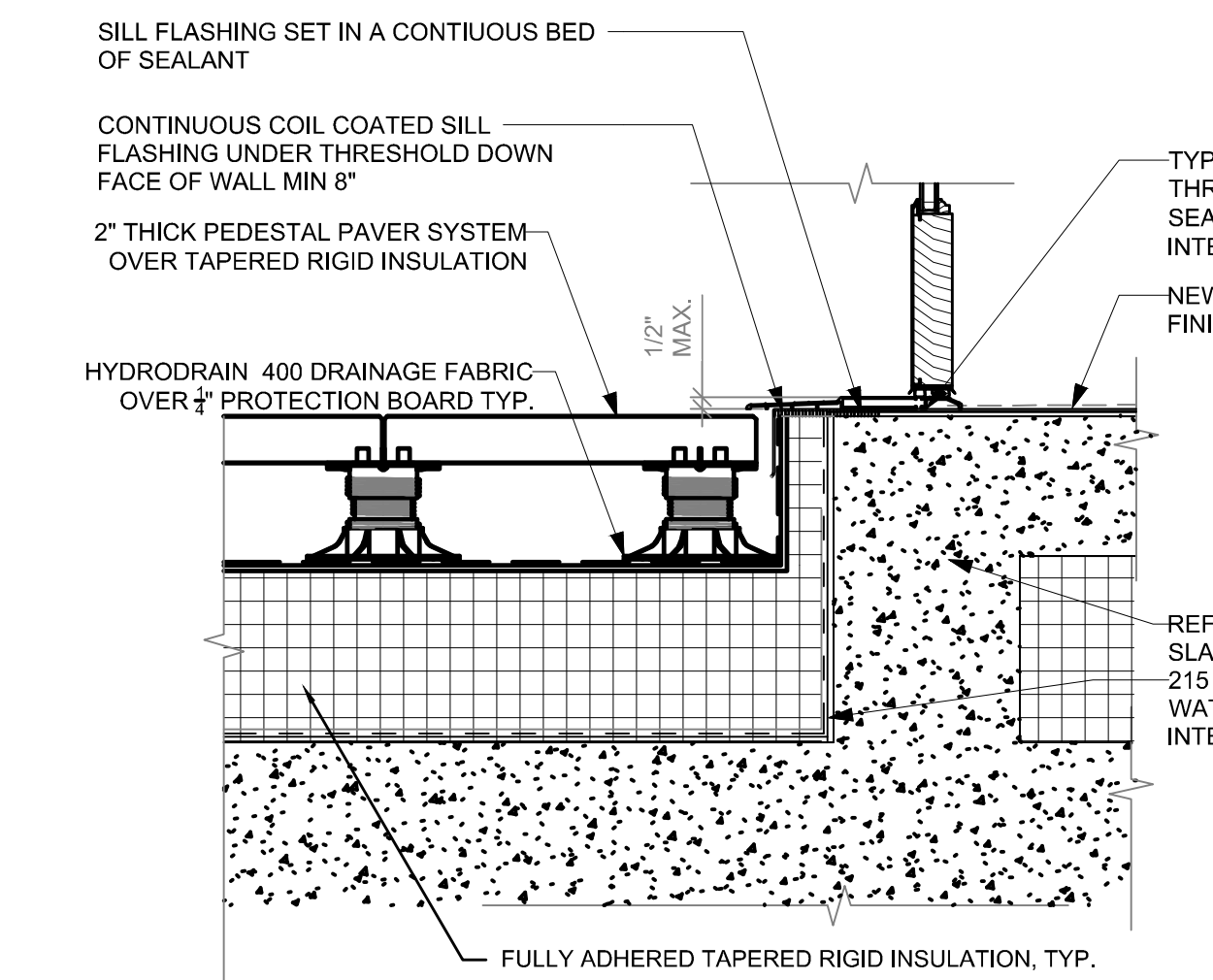


**3 WINDOW DETAIL - JAMB**  
SCALE: 3/4"=1'-0"

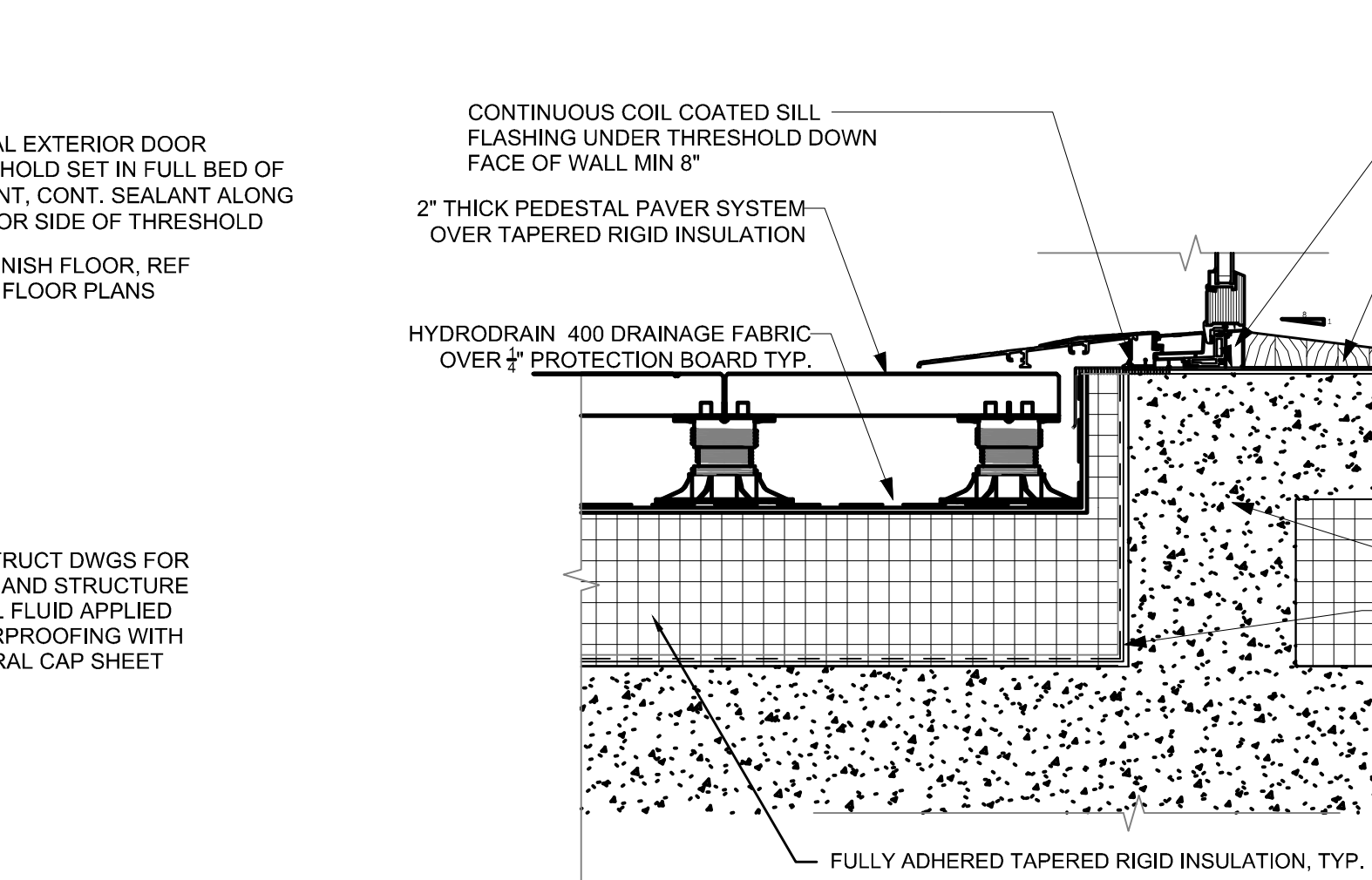


**4 WINDOW DETAIL - FLASHING**  
SCALE: 1/2"=1'-0"

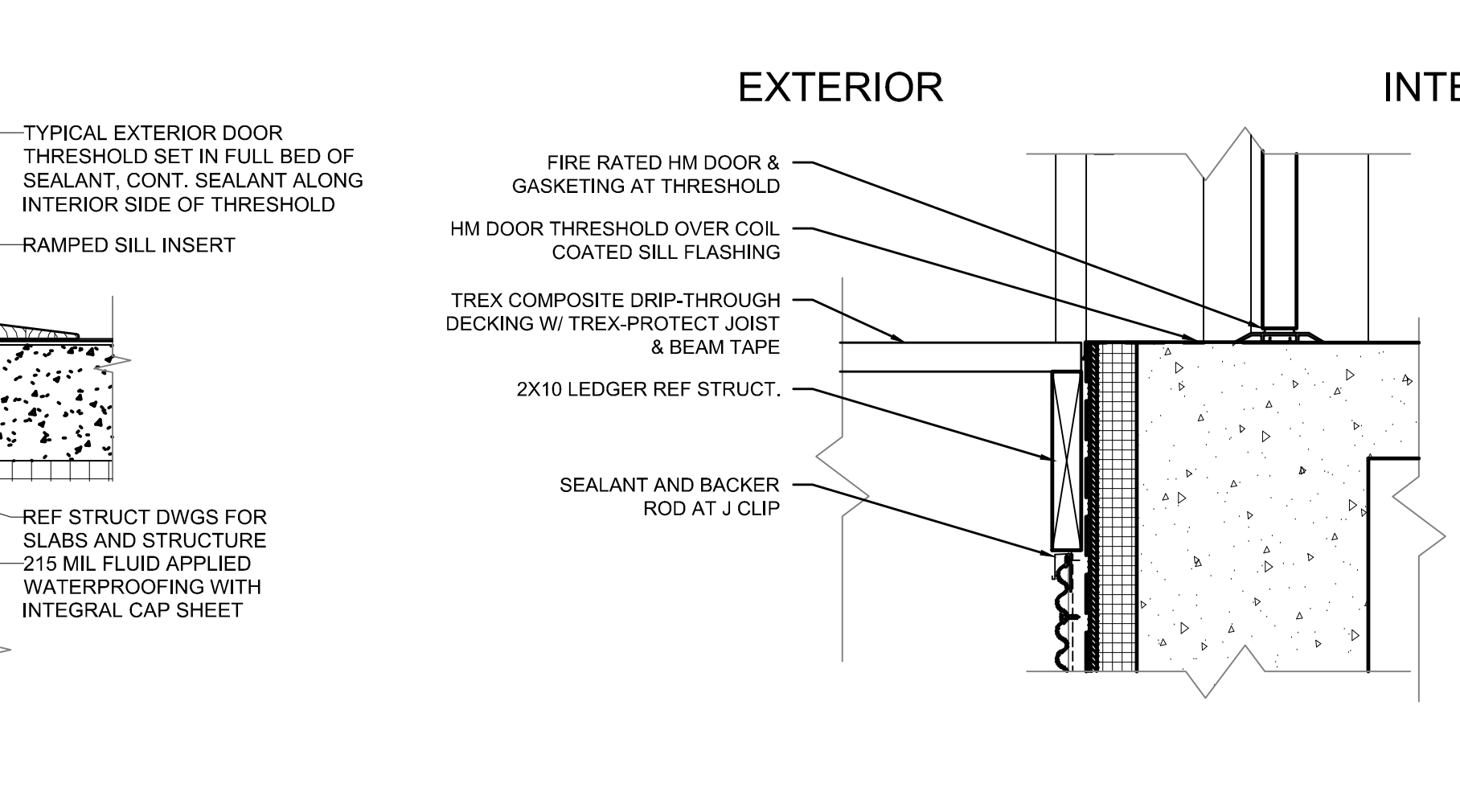
**5 DOOR DETAIL - INSWING HEAD TYP.**  
SCALE: 1/2"=1'-0"



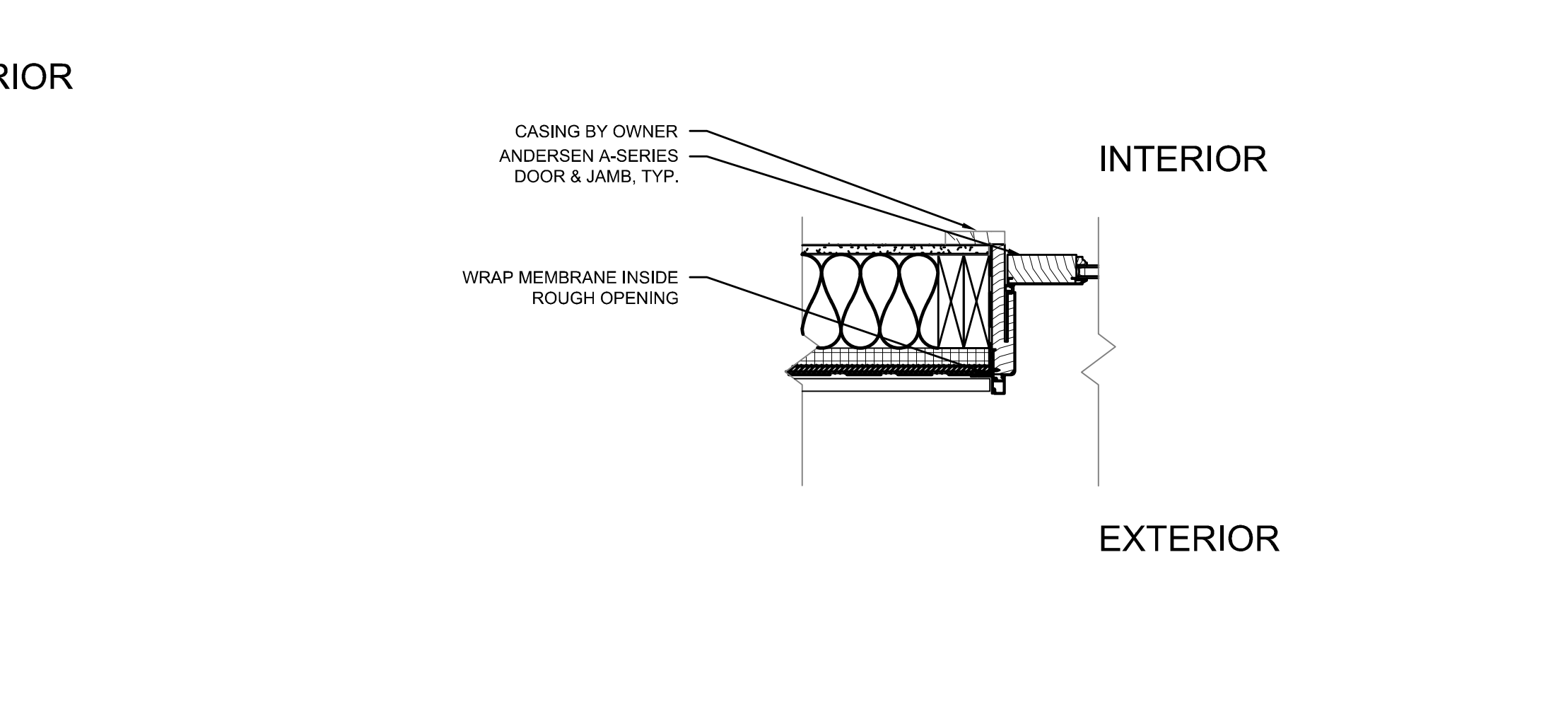
**6 DOOR DETAIL - SLIDER HEAD TYP.**  
SCALE: 1/2"=1'-0"



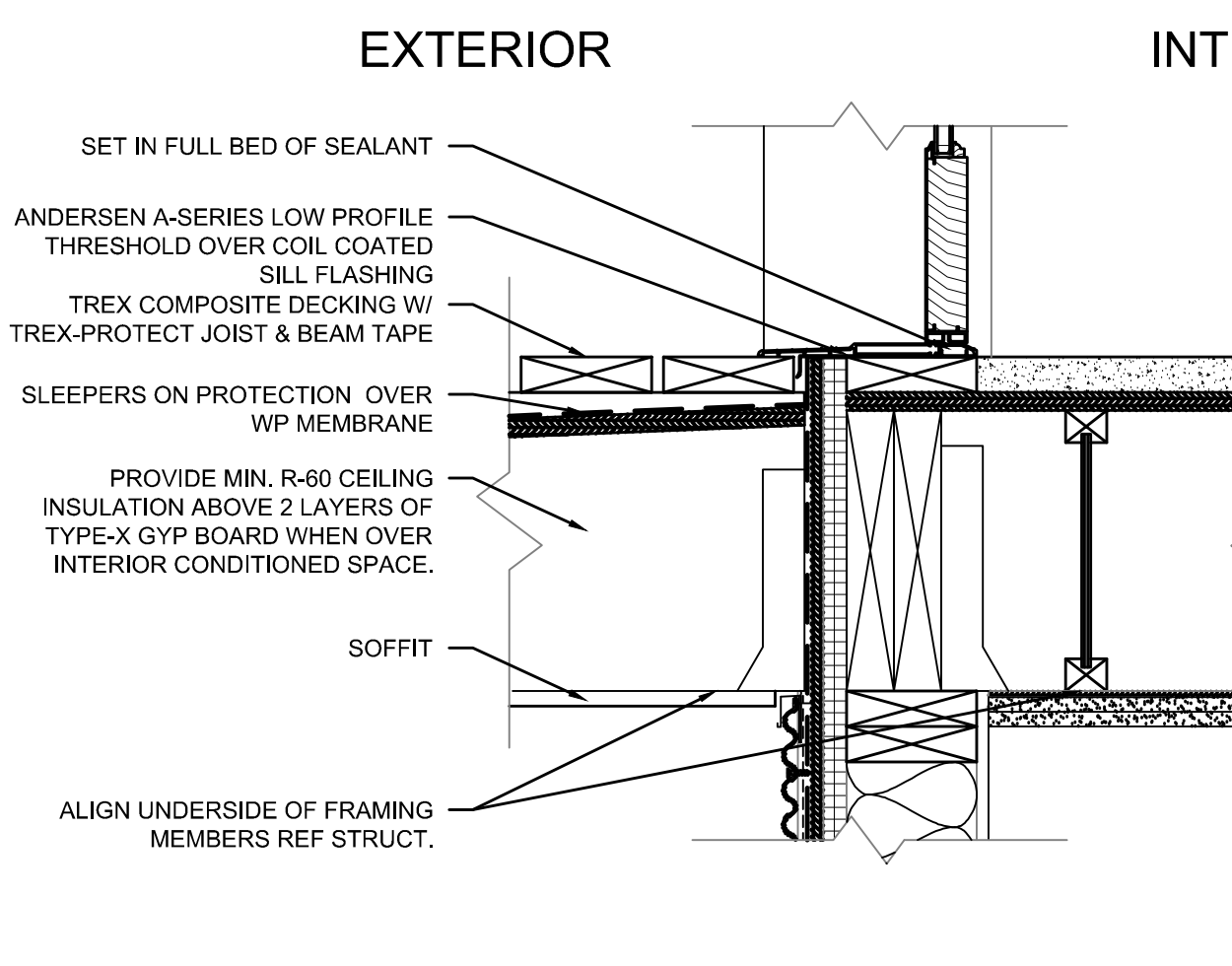
**7 DOOR DETAIL - HM HEAD / JAMB**  
SCALE: 1/2"=1'-0"



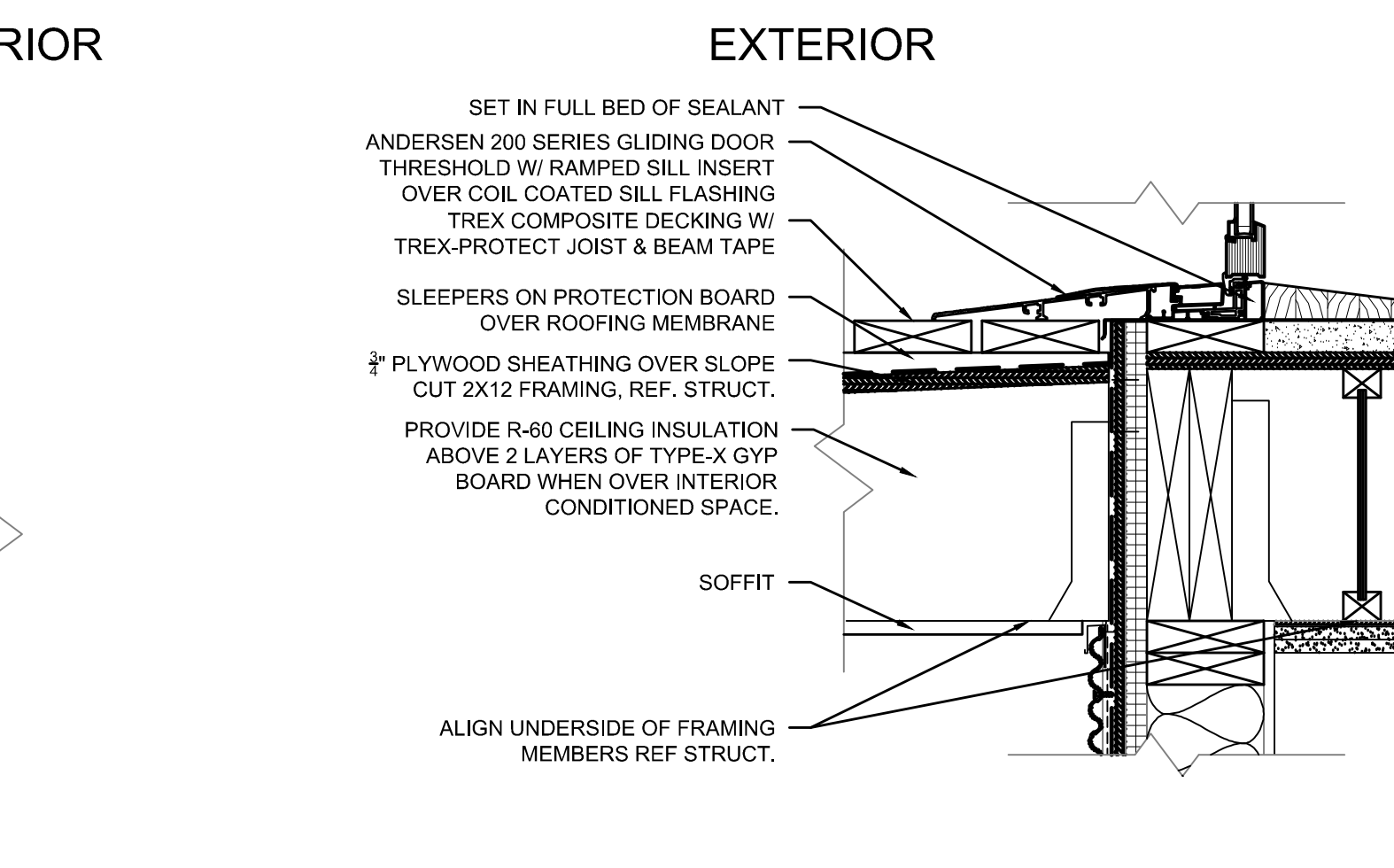
**11 DOOR DETAIL - INSWING JAMB, TYP.**  
SCALE: 1/2"=1'-0"



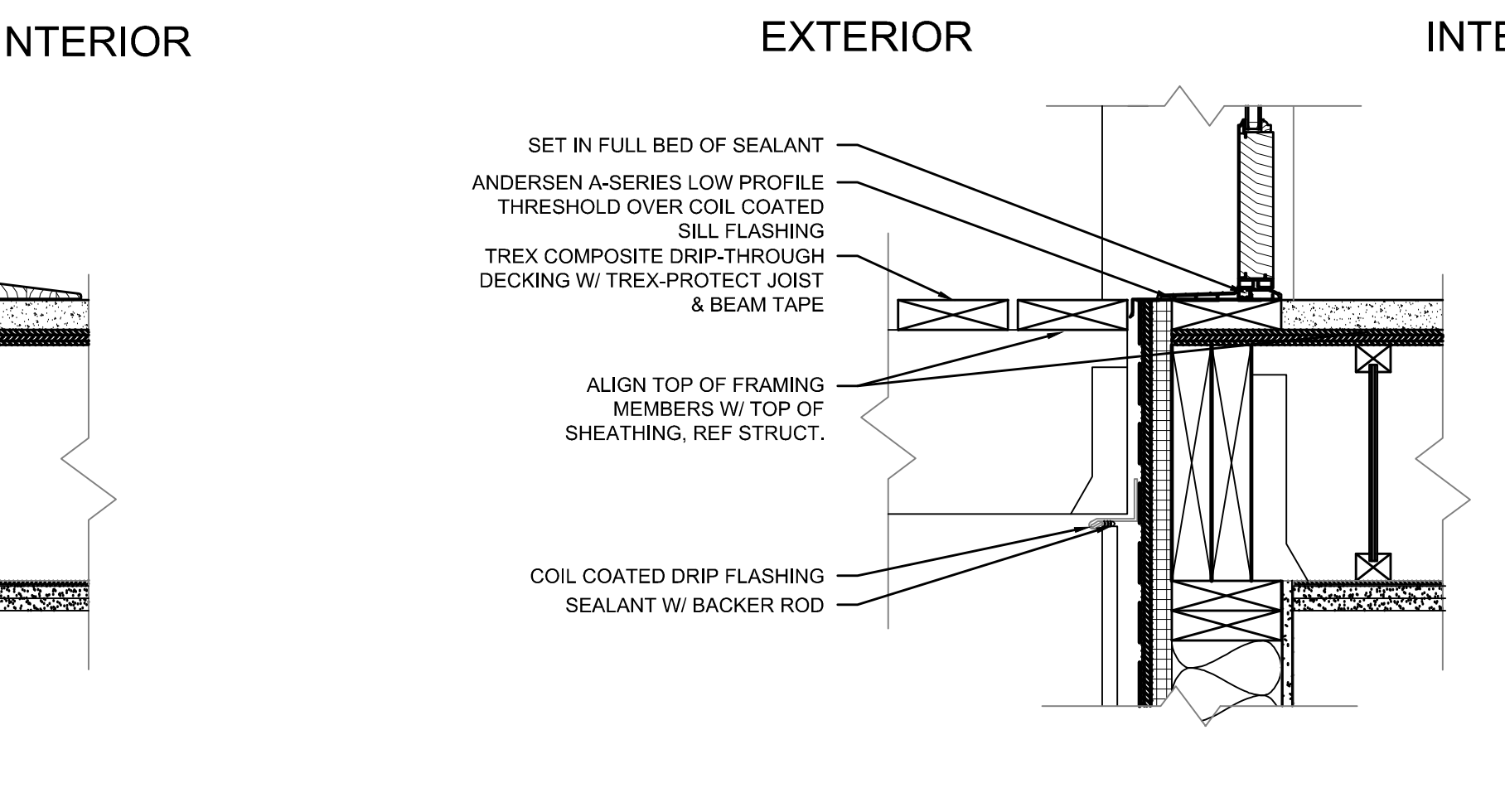
**8 DOOR DETAIL - INSWING THRESHOLD**  
SCALE: 1/2"=1'-0"



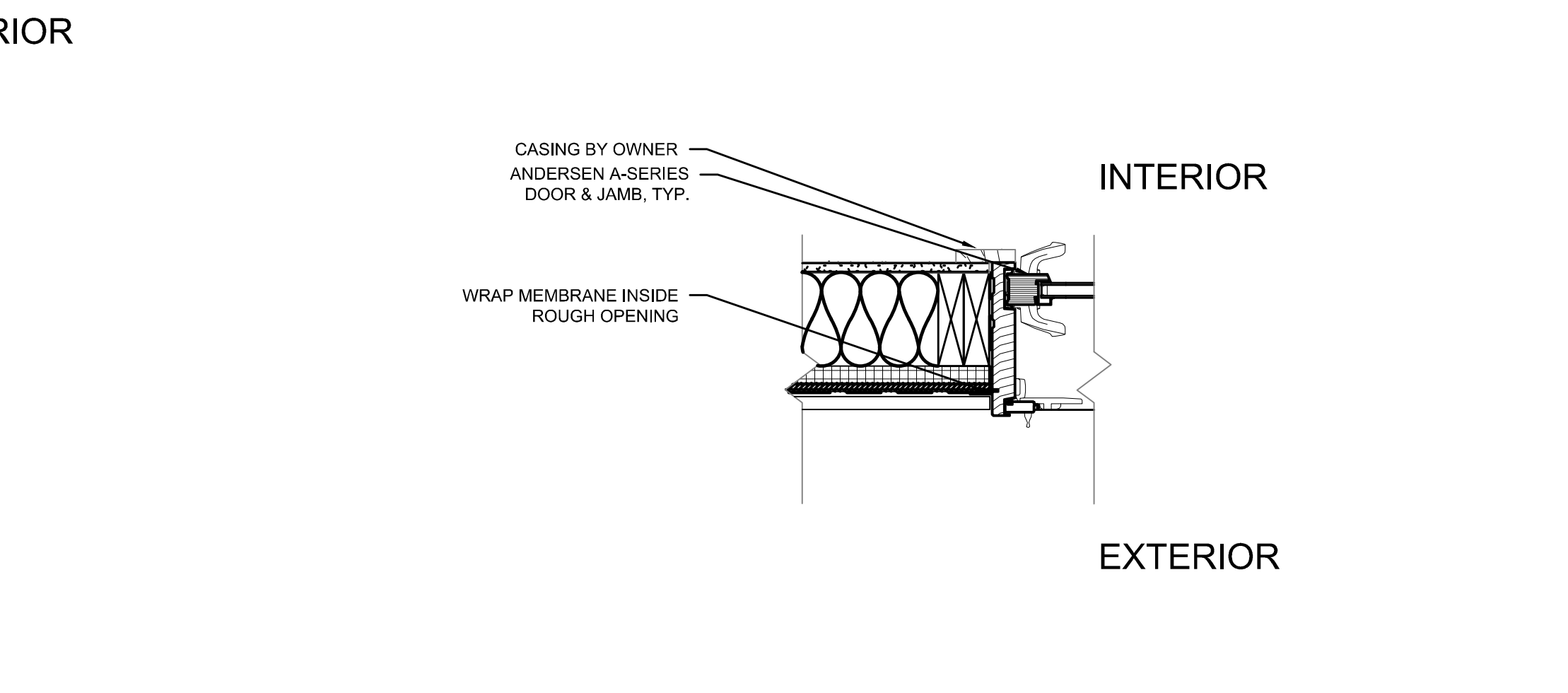
**9 DOOR DETAIL - SLIDER THRESHOLD**  
SCALE: 1/2"=1'-0"



**10 DOOR DETAIL - HM THRESHOLD**  
SCALE: 1/2"=1'-0"



**11 DOOR DETAIL - INSWING JAMB, TYP.**  
SCALE: 1/2"=1'-0"



**12 DOOR DETAIL - INSWING THRESHOLD**  
SCALE: 1/2"=1'-0"

**13 DOOR DETAIL - SLIDER THRESHOLD**  
SCALE: 1/2"=1'-0"

**14 DOOR DETAIL - INSWING THRESHOLD**  
SCALE: 1/2"=1'-0"

**15 DOOR DETAIL - SLIDER JAMB, TYP.**  
SCALE: 1/2"=1'-0"



To: Minturn Town Council  
From: Michelle Metteer  
Date: September 3, 2024  
RE: Town Manager Update

**Master Meter House RFP**

Following Resolution 09 – Series 2021, Procurement Policy and Procedures, the Town advertised the Request for Proposals (RFP) for the Master Meter House PRV installation from July 19, 2024, to August 23, 2024. Upon the deadline, no complete project submittals were received for consideration. Following Sec IV. Expenditure approval and Source Selection Requirements (i)(1), Waiver of Competitive Source Selection Requirements, due to no RFP submittals, the project will now be managed by John Volk on a time and materials basis not to exceed the projected estimated cost of \$300k.

**International City Manager’s Association (ICMA) Certified Manager Accreditation**

I have been nominated by the credentialing committee for approval of the ICMA-CM. The nomination will now be reviewed by the ICMA Executive Board in November and approvals will be announced thereafter.

**Boulder Street One Way**

As a friendly reminder, Boulder St between Harrison Ave and Mann Ave is a one-way street heading north. Signage along the street is already plentiful, but just a friendly reminder that cyclists, children and dog walkers all utilize this street and to ensure everyone’s safety, motorists need to please follow the rules of the road. Thank you!

**First Friday**

The Town is partnering with Minturn businesses to host First Fridays beginning this fall. The first one will be held on Friday, September 6th at the newly remodeled Eagle River Inn. "Whisky and Wine by the River" will run from 4-6pm, and will feature live music by Jen Mack, light snacks, and whisky tastings by Eagle River Whisky. Beer and wine will also be available.

**Boneyard Open Space**

Public Works will be removing dead and downed trees at the Boneyard Open Space in the coming weeks. Please be advised of safety precautions in the area and give room to crews as they remove and clean up debris. Thank you so much.

**Liquor License Renewals**

Through Colorado State Statute, liquor license renewals can be handled at an administrative level. If the Council is so inclined, a Resolution can be brought before the board for consideration of this direction.

**High Five Media Board Representation**

Just a reminder that the Council needs to appoint a member to the High Five Media Board.

**Radar Feedback Signs**

Two new illuminated signs will be installed along HWY 24 notifying drivers of their speed. These signs were donated by CDOT and will hopefully encourage vehicular traffic to slow down. Once sign is being installed at the S-curve near the entryway to downtown and the second is replacing the smaller illuminated signs near the Boneyard Open Space.

## Notice

### Basic Information

**Reference Number** 0000358150  
**Issuing Organization** Town of Minturn  
**Owner Organization** Minturn  
**Project Type** IFB - Invitation for Bid (Formal)  
**Project Number** 10348601  
**Title** Meter House Improvements  
**Source ID** PU.AG.USA.2383564.C17883476  
**Piggyback Solicitation** No

### Details

**Location** Eagle County, Colorado  
**Job Location** Minturn, CO  
**Description** Installation of new piping and appurtenances to develop a new pressure zone for the Owner. The piping shall include removal and replacement of existing flow meter, new flow control valves, new bypass piping, and a new control panel with a PLC and radio equipment.

### Dates

**Publication** 07/19/2024 11:17 AM CDT  
**Question Acceptance Deadline** 08/14/2024 06:00 PM CDT  
**Questions are submitted online** Yes  
**Bid Intent** Not Available  
**Closing Date** 08/23/2024 04:00 PM CDT

### Contact Information

Jarod Limke  
 3033186287  
 jarod.limke@hdrinc.com

### Bid Submission Process

**Bid Submission Type** Electronic Bid Submission  
**Pricing** Lump sum  
**Pricing** Lump sum  
**Bid Documents List**

Item Name	Description	Mandatory	Limited to 1 file
Bid Documents	Documents defining the proposal	No	No

## Documents

### Documents

Document	Size	Uploaded Date	Language
240711_Minturn_MeterHouse_Dwgs_IFB.pdf [pdf]	7 Mb	07/19/2024 11:08 AM CDT	English
240711_Minturn_MeterHouse_Specifications_IFB.pdf [pdf]	5 Mb	07/19/2024 11:08 AM CDT	English

## Categories

### Selected Categories

NIGP Category (1)	
890	<b>WATER SUPPLY, GROUNDWATER, SEWAGE TREATMENT, AND RELATED EQUIPMENT (NOT FOR AIR CONDITIONING, STEAM BOILER, OR LABORATORY REAGENT WATER)</b>
89000	<b>WATER SUPPLY, GROUNDWATER, SEWAGE TREATMENT, AND RELATED EQUIPMENT (NOT FOR AIR CONDITIONING, STEAM BOILER, OR LABORATORY REAGENT WATER)</b>

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## Courtesy Email

Sent using email addresses

ahunley@filanc.com;cole.philips@moltzconstruction.com;jheimbuck@garney.com;rw@gcci.com;sjavernick@henselphelps.com

## Plan Holders List

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Organization Name	Main Contact	Download Date	City	Province/State
Browns Hill Engineering and Controls LLC	Josh Johnson	08/12/2024 11:58 AM CDT	Littleton	Colorado
Benton Plumbing	Thomas Benton	07/30/2024 01:16 PM CDT	Atlanta	Georgia
Universal Industrial Sales	Milo Petersen	07/25/2024 02:31 PM CDT	Lindon	Utah
Rocky Mountain Valves and Automation	jonathan trolin	07/25/2024 08:43 AM CDT	Salt Lake	Utah
Metron-Farnier, LLC	Mike Walley	07/24/2024 03:07 PM CDT	Boulder	Colorado
Grand Junction Winwaterworks Company	Casey Kenney	07/24/2024 11:18 AM CDT	Grand Junction	Colorado
Legacy Fence Company	Ian Sandoval	07/23/2024 03:04 PM CDT	Denver	Colorado
Gov Solution Corp	Gov Solutions	07/23/2024 07:12 AM CDT	Los Angeles	California
Construction Bid Source	Angela R	07/22/2024 01:18 PM CDT	Holly Springs	North Carolina
Velocity Constructors, Inc.	John Swain	07/22/2024 11:34 AM CDT	Denver	Colorado
Whittaker Brothers	Roland Whittaker	07/22/2024 10:22 AM CDT	New York	New York
June Engineering & Planning, LLC.	Alex Stelzer	07/21/2024 11:52 PM CDT	Northglenn	Colorado
Construction Journal	Construction Journal	07/21/2024 11:03 PM CDT	Stuart	Florida
Everlast Concrete Work	Randy Quezada	07/20/2024 05:39 PM CDT	Westminster	Colorado
Blue Sky Electric	Connor Wakely	07/19/2024 11:19 PM CDT	thornton	Colorado
Lakeshore Learning Materials, LLC	Eunice Peterson	07/19/2024 04:28 PM CDT	Carson	California
Glacier Construction Co., Inc.	Randy Wambsganss	07/19/2024 02:28 PM CDT	Centennial	Colorado
CGRS, Inc.	Tim Goodrich	07/19/2024 01:35 PM CDT	Fort Collins	Colorado
North America Procurement Council, Inc. PBC	Tim Loncarich	07/19/2024 01:05 PM CDT	Grand Junction	Colorado
McCoy Service	Amanda Chavez	07/19/2024 12:26 PM CDT	Golden	Colorado
Direct Discharge Consulting	David Lewis	07/19/2024 11:25 AM CDT	Loveland	Colorado