



AGENDA

Planning Commission Meeting

Wednesday, January 24, 2024

Town Hall / Council Chambers - 302 Pine St Minturn, CO

The agenda is subject to change, including the addition of items 24 hours in advance or the deletion of items at any time. The order of agenda items listed are approximate.

This agenda and meetings can be viewed at www.minturn.org.

MEETING ACCESS INFORMATION AND PUBLIC PARTICIPATION:

This will be an in-person meeting with access for the public to attend in person or via the Zoom link included. Zoom Link: <https://us02web.zoom.us/j/84625173862>

Zoom Call-In Information: 1 651 372 8299 or 1 301 715 8592 **Webinar ID:** 846 2517 3862

Please note: All virtual participants are muted. In order to be called upon an unmuted, you will need to use the “raise hand” feature in the Zoom platform. When it’s your turn to speak, the moderator will unmute your line and you will have five (5) minutes for public comment.

Public Comments: If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner 1, prior to the meeting and will be included as part of the record.

1. **CALL TO ORDER - 6:30 PM**
2. **ROLL CALL AND PLEDGE OF ALLEGIANCE**
3. **APPROVAL OF REGULAR AGENDA**

Opportunity for amendment or deletions to the agenda.

4. **APPROVAL OF MINUTES**
[A.](#) January 10, 2024
5. **DECLARATION OF CONFLICTS OF INTEREST**
6. **PUBLIC COMMENT**

Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made

for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.

7. SPECIAL PRESENTATIONS

Presentations are limited to 5 minutes unless prior arrangements are made with the Town Planner.

8. DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

A. Ordinance TBD - Series 2024 Amending Provisions of General Applicability Contained in Chapter 13 (Utilities Code), Chapter 16 (Zoning Code), Chapter 17 (Subdivision Code), and Chapter 18 (Building Code) of the Minturn Municipal Code - Request for Continuance

B. 806 Cemetery Road - New Maintenance and Storage Building

9. DISCUSSION / DIRECTION ITEMS

A. Minturn Forward: Code Update Project

10. STAFF REPORTS

A. Manager's Report

11. PLANNING COMMISSION COMMENTS

12. FUTURE MEETINGS

A. February 14, 2024

B. February 28, 2024

13. ADJOURN



OFFICIAL MINUTES

Planning Commission Meeting

Wednesday, January 10, 2024

Town Hall / Council Chambers - 302 Pine St Minturn, CO

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MEETING ACCESS INFORMATION AND PUBLIC PARTICIPATION:

This will be an in-person meeting with access for the public to attend in person or via the Zoom link included. Zoom Link: <https://us02web.zoom.us/j/85780957326>

Zoom Call-In Information: 1 651 372 8299 or 1 301 715 8592 **Webinar ID:** 857 8095 7326

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Public Comments: If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner 1, prior to the meeting and will be included as part of the record.

1. CALL TO ORDER - 6:30 PM

Lynn Teach called the meeting to order at 6:32 p.m.

2. ROLL CALL AND PLEDGE OF ALLEGIANCE

Those present at roll call: Planning Commission Chair Lynn Teach and Planning Commission members Michael Boyd, Amanda Mire, and Jeff Armistead.

Staff Members present: Planning Director Scot Hunn and Planner I Madison Harris.

Note: Tom Priest and Sage Pierson are excused absent.

3. APPROVAL OF REGULAR AGENDA

Opportunity for amendment or deletions to the agenda.

Motion by Amanda M., second by Michael B., to approve the agenda as presented. Motion passed 4-0.

Note: Tom P. and Sage P. are excused absent.

4. APPROVAL OF MINUTES

A. December 13, 2023

Motion by Amanda M., second by Michael B., to approve the minutes as presented. Motion passed 4-0.

Note: Tom P. and Sage P. are excused absent.

5. DECLARATION OF CONFLICTS OF INTEREST

No conflicts.

6. PUBLIC COMMENT

Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.

No public comment.

7. SPECIAL PRESENTATIONS

Presentations are limited to 5 minutes unless prior arrangements are made with the Town Planner.

8. DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

9. DISCUSSION / DIRECTION ITEMS

A. Minturn Forward: Code Assessment

Scot H. introduced the topic. This is a presentation on traditional codes, form-based codes, and hybrid codes.

Matt Farrar, Western Slope Consulting

Land use zoning code options fall into three categories: Traditional Code, Form-Based Code, and Hybrid Codes.

Traditional Code focuses on regulating land use types.

Key Components:

- 1. Zoning Map
- 2. Use Table
- 3. Use Standards
- 4. Dimensional Standards
- 5. Design Standards/Guidelines
- 6. Administration
- 7. Glossary

Form-based code focuses on physical form of development.

Key Components:

- 1. Regulating Plan
- 2. Public Space Standards
- 3. Building Form Standards
- 4. Administration
- 5. Glossary

Other Components:

- 1. Block Standards
- 2. Architectural Standards
- 3. Landscape Standards
- 4. Green Building Standards

Hybrid code is a mix of components from a traditional code and a form-based code. It can be structured to focus more on regulating land use types, focus more on regulating form of

development, or to have a balance of regulations. The community needs to determine what mix of components works best for them.

Jeff A. said that he believes we have a version of a hybrid code that leans traditional. Doesn't matter what we call it as it will just be our code. We will naturally pick elements of a form-based code just because of how we illustrate/address certain portions of town. The more prescriptive we are, the less it feels like Minturn.

Amanda M. would lean towards traditional with form based peppered inside of it for the format. Would like to keep consistency with what the community has used historically as well as with our neighbors in the county. Likes the public space standards from the form-based code and wants to apply it consistently throughout all the zone districts.

Lynn T. agrees.

Michael B. is leaning towards traditional because form-based seems a lot more complicated as well as a lot more governing, but is ok with peppering it in to the traditional format.

The Planning Commission decided to come back at the next meeting with the key elements from a form-based code that they would like to see integrated into the traditional code format.

10. STAFF REPORTS

A. Manager's Report

Bulb-Outs on Main Street Intersections

As a reminder, CDOT denied Minturn's request for temporary blub-outs at Minturn's four main intersections along Main Street. These bulb outs would provide increased line of sight and improve safety at these intersections extensively. Although CDOT was not supportive of the temporary option, they did indicate they would support permanent bulb-out options. I am now interested in understanding Council's interest in exploring permanent bulb-out options. If Council is interested, I will request Jeff Spanel to provide an engineer's opinion of probable cost.

Snow Plowing Operations

As a reminder, only residents are approved to push snow into the Not-A-Park snow dump area for free. If snowplow contractors want to push snow into that area, they need to have the property owner sign up with the town and pay the fee. There has been some confusion with contractors thinking they can also push snow into this area and that is not how the Ordinance was approved.

Minturn Tank Operations

Tank #3 is now online and operational. I will be discussing tank loan options with the State Revolving Loan Fund representative to determine if leftover loan funds can be used to facilitate the functioning of the two tanks interchangeably. If funds can be used to improve the functioning of the system, Minturn may want to install a valve box on HWY 24. I will have more information after discussing this option with the SRF representative.

USGS Gauge on Cross Creek

Minturn currently pays for the USGS gauge on Cross Creek. This comes at an annual cost of around \$16,000. This is a federal program and I have reached out to USGS to understand why Minturn incurs this cost. Unless there is a specific reason in one of Minturn's water rights decrees I expect Minturn to drop this expense. The CWCB and Division 5 Engineer use this gauge to make the instream flow call on Cross Creek. I expect if they wish to continue making the instream flow call on Cross Creek, they will support the federal government in maintaining the costs of the gauge.

11. PLANNING COMMISSION COMMENTS

Lynn T. would like to address the parking situation on Nelson.

12. FUTURE MEETINGS

13. ADJOURN

Motion by Amanda M., second by Michael B., to adjourn the regular meeting of January 10, 2024 at 8:34 p.m. Motion passed 4-0.

Note: Tom P. and Sage P. are excused absent.

Lynn Teach, Commission Chair

ATTEST:

Scot Hunn, Planning Director

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Michael Boyd
Amanda Mire
Sage Pierson
Tom Priest

To: Planning Commission
From: Scot Hunn, Planning Director
Date: January 19, 2024
Re: Bolts Lake Code Changes – Ordinance Request for Tabling

As previously reported to the Planning Commission, the Town of Minturn staff has been working with Battle North to review a draft ordinance inclusive of amendments to the Town of Minturn Municipal Code (Chapters 13, 16, 17, and 18) that will affect the Bolts Lake properties that are subject to and required as part of the settlement agreement by and between the Town of Minturn and Battle North.

Staff anticipated that an ordinance with the code changes would be presented at the January 24, 2024, regular meeting of the Planning Commission. However, staff and Battle North representatives continue to work together to finalize code amendment language and to finalize a draft ordinance.

The Town provided public notice of the Ordinance and the public hearing on January 24th, and staff therefore recommends and requests that – to avoid renotification of the same ordinance – the Planning Commission open the public hearing on the matter at the meeting on January 24th, and then continue or “table” the hearing to a date certain. Staff recommends the ordinance hearing be continued to the regular meeting of February 14, 2024.

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Michael Boyd
Amanda Mire
Sage Pierson
Tom Priest

Design Review Board Hearing

Final Plan Review for New Maintenance and Storage Building

806 Cemetery Road

Hearing Date:	January 24, 2024
File Name and Process:	Maintenance and Storage Building Final Plan Review
Owner/Applicant:	Riverview Cemetery
Representative:	Pedro Campos, Zehren and Associates
Legal Description:	Subdivision: River View Cemetery Lot: 2
Address:	806 Cemetery Road
Zoning:	Lionshead Character Area – No Zoning
Staff Member:	Madison Harris, Planner I
Recommendation:	Approval, with Conditions

Staff Report

I. Summary of Request:

The Applicant requests Final Plan review of a new, 864 square foot maintenance and storage building located at 806 Cemetery Road in the Lionshead Character Area. Although the DRB has not reviewed any conceptual plans, the Applicant’s representative, Pedro Campos, has been proactive in meeting with Town staff prior to submitting plans for a new building and has provided a complete and thorough set of site, landscaping, and architectural plans allowing staff to conduct a final plan level review of the project.

Proposed Plans

The plans show a single-level structure with a maximum height measured to the midpoint of the roof of 14 feet 3 inches above proposed grade.

Parking is not an issue as this is a storage and maintenance building.

According to staff’s analysis of development standards and dimensional limitations in Section III below, the project meets the Town’s standards.

Staff believes that the Applicant and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review.

As a reminder, the Planning Commission has the option to review the proposal as a “conceptual” plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or, the Commission may take action to approve, approve with conditions, or deny the Final Plans.

Staff is **recommending approval**, with conditions.

II. Summary of Process and Code Requirements:

This is a final plan-level of review for a new maintenance and storage building on a legally created lot within the Town of Minturn. This is a formal hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB’s concerns or feedback regarding suggested revisions to the project.

If the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve or approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions to the plans.

No variances are required or requested at this time.

Design Review Process

Appendix ‘B’ of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection “d” below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

- (d) Administrative procedure.*
 - (1) Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.*
 - (2) Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:*
 - a. The proposal's adherence to the Town's zoning regulations.*
 - b. The proposal's adherence to the applicable goals and objectives of the Community Plan.*
 - c. The proposal's adherence to the Design Standards.*
 - (3) Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:*
 - a. That the proposal is in conformance with the Town zoning regulations.*

- b. That the proposal helps achieve the goals and objectives of the Community Plan.
- c. That the proposal complies with the Design Standards.

Staff suggests that the final plans for 806 Cemetery Road meet or can be revised to meet the required findings ‘a,’ ‘b,’ and ‘c’ of subparagraph 3 – *Necessary findings*.

III. Zoning Analysis:

Zoning

The subject property is located within the “Lionshead Character Area”. This property does not have any zoning standards governing it at this time.

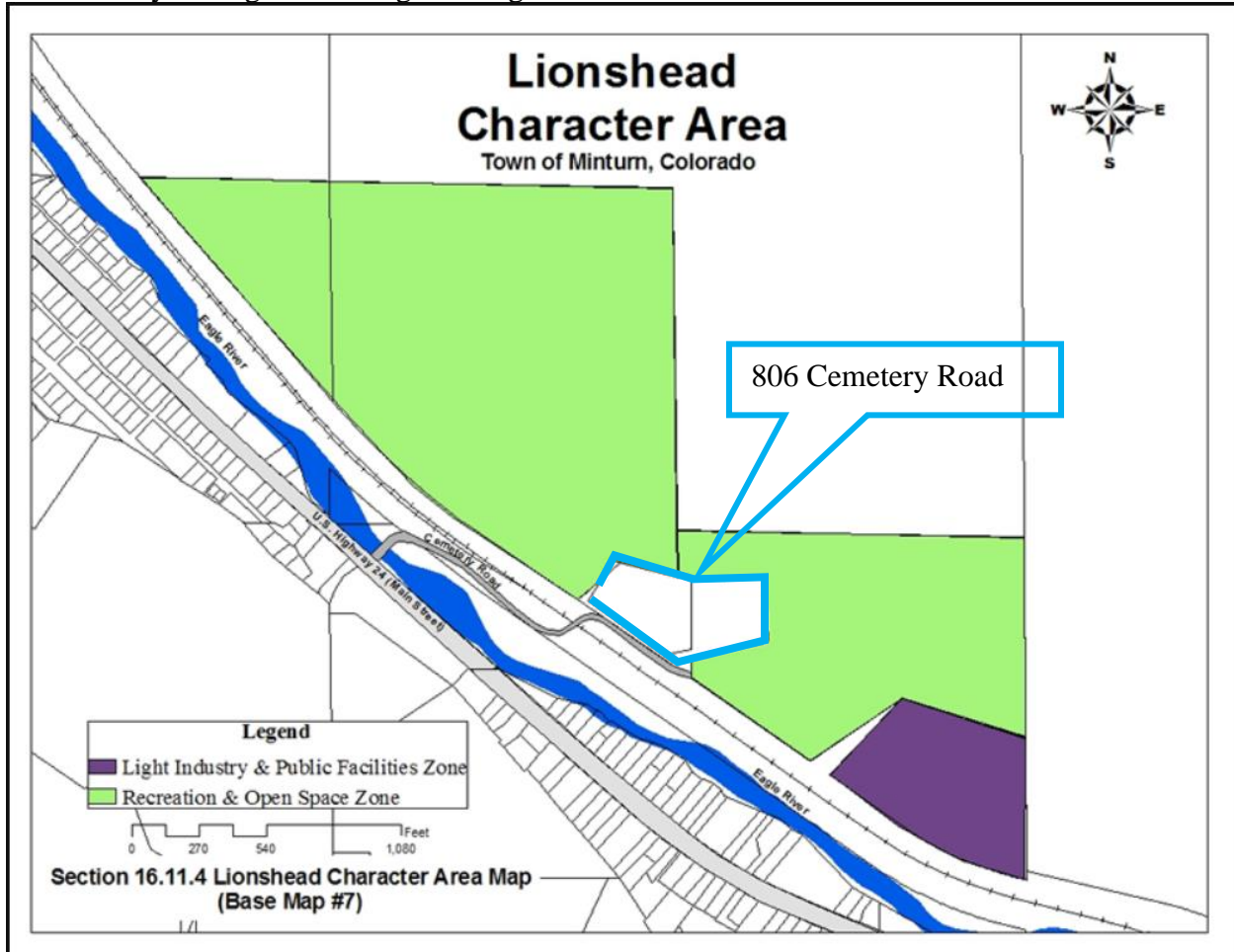


Figure 1: Lionshead Character Area Zoning Map

Dimensional Limitations and Development Standards

As evidenced in Figure 1 above, 806 Cemetery Road is not zoned. There are no dimensional limitations or development standards that apply to this property currently. It is staff’s recommendation that a condition of approval be added to ensure that zoning standards i.e. uses, dimensional limitations, and development standards, be implemented in a timely fashion otherwise DRB approval is extinguished.

IV. Applicable Standards and Design Guideline Criteria:

Final Site, Grading and Drainage Design

The design guidelines encourage designs that integrate or account for snow storage and snow shed from roof structures, along with ensuring that the orientation of buildings is considered.

The proposed design maintains the structures 15 feet away from the property line, thus allowing for use of that area for snow shed and drainage. Likewise, the site plan and final grading details generally demonstrate that proper (positive) grading will be directed away from the structure; that drainage is handled on the subject property. The Town Engineer has provided a comment in the attached letter dated January 8, 2024, regarding drainage.

Mass and Form

Staff believes that the design and scale of the proposed structure is typical of storage and maintenance buildings. Staff further suggests that the scale of the project is appropriate and will not overpower surrounding natural and build environments.

V. Issues and Areas of Non-Conformance:

Issues or Required Plan Revisions

The following issues or areas of refinement have been identified by staff that must be addressed prior to any building permit submittal:

Zoning Standards

As mentioned earlier in this staff report, the subject property is not subject to zoning as the property, upon annexation, was not zoned. This means that there are no setbacks, height restrictions, impervious coverage limitations, or allowed uses formally expressed within the Minturn Municipal Code. However, what is being proposed would likely conform to typical standards applicable to other zone districts in Town: this building is 15 feet away from the rear property line when the most common rear setback in town is 10 feet, the building height is well under 28 feet which is the most common height restriction, and a building that allow the Cemetery to store their equipment away from the elements would likely be an allowed use. Still, it is necessary to formalize zoning on this property. Staff will work with the property owner to facilitate the initiation of a zone district amendment to create a new zone district. Standards would need to be applied and added to the Municipal Code to ensure the DRB approval is valid.

VI. Staff Recommendation and Suggested Conditions:

Staff suggests that the Final Plans for 806 Cemetery Road **comply** with applicable provisions of Chapter 16 and the Town of Minturn Design Standards (Appendix ‘B’) of the Minturn Town Code.

In the event the Planning Commission, acting as the Town of Minturn Design Review Board, recommends approval of the Final Plans, staff respectfully suggests the following conditions of approval.

1. The Applicant shall work with the Town of Minturn to initiate a zone district amendment for the subject property within 3 months of any DRB approval.

January 8, 2024

Madison Harris
Town of Minturn Planner
PO Box 309
Minturn, CO 81645

Re: Minturn Cemetery
806 Cemetery Road
DRB Resubmittal Review
Project No. 23-0001

Dear Madison:

We reviewed the revised DRB submittal for the Minturn Cemetery Maintenance Shed dated December 18, 2023, for compliance with the engineering requirements of Section 16-21-165; Design Review applications of the Minturn Municipal Code (MMC).

MMC Section 16-21-615 Section C:

Section (C) (2) Boundary Survey:

The “Partial Topographic Survey” prepared by Eagle Valley Surveying Inc. dated September 5, 2023, has been updated and provided with the application.

- The survey has been revised to address the comments in our letters of October 16 and October 20, 2023.

The revised survey complies with the requirements of the MMC; however, there are two technical items which should be revised. *“Note 1 – Date of Update: 9/5/23” and “Surveyor’s Certificate”*: The dates associated with these items should be revised to reflect the date additional information was added to the map – i.e., additional monuments, November 2023 title report, and utility locations.

The Survey included with the revised application is satisfactory to proceed with Design Review; however an updated map reflecting the revised dates should be provided for inclusion in the Town file.

Section (C) (3) Site Plan:

- The site plan has been revised to reflect the information provided on the updated survey and is complete.

VAIL VALLEY OFFICE

30 Benchmark Road, Suite 216 | PO Box 978 | Avon, CO 81620

DENVER OFFICE

9618 Brook Hill Lane | Lone Tree, CO 80124

970.949.5072 | info@inter-mtn.net

Madison Harris

Re: Minturn Cemetery
806 Cemetery Road
DRB Resubmittal Review
Project No. 23-0001

Section (C) (4) Grading & Drainage Plan:

- Alpine Engineering, Inc, provided calculations dated October 30, 2023, to demonstrate the adequacy of the proposed drainage.

The revised application is complete as noted and we recommend the Town proceed with Design Review.

Please feel free to contact us if you have additional questions.

Respectfully,
Inter-Mountain Engineering (Town Engineer)



Jeffery M. Spanel PE

CC: Michelle Metteer, Scot Hunn



DESIGN REVIEW APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT
 P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
 Phone: 970-827-5645 Fax: 970-827-5545 Email: planner1@minturn.org

Project Name:

Riverview Cemetery - Maintenance Shed

Project Location

Street Address: 806 Cemetery Road, Minturn, CO 81645

Zoning: Lionshead Light Industrial and Public Facilities	Parcel Number(s): 210335110002
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Application Request:

Construction of a new maintenance shed on the northwest corner of the property. The shed will be utilized for equipment storage and maintenance.

Applicant:

Name: Zehren and Associates - Pedro Campos

Mailing Address: PO Box 1976, Avon, CO 81620

Phone: 970.949.0257

Email: pedroc@zehren.com

Property Owner:

Name: Minturn Cemetery Association

Mailing Address: PO Box 297, Minturn, CO 81645

Phone: 970.827.4160

Email: office@minturncemetery.org

Required Information:

Lot Size: 2.37 Acres	Type of Residence (Single Family, ADU, Duplex) No Residential	# of Bedrooms N/A	# On-site Parking Spaces 4
# of Stories: 1	Snow storage sq ft: 1,089	Building Footprint sq ft: 864	Total sq ft Impervious Surface: 16,201.5

Signature:

Pedro Campos 9/26/2023.

Fee Paid: _____ **Date Received:** _____ **Planner:** _____

DESIGN REVIEW APPLICATION

SUBMITTAL CHECKLIST REQUIREMENTS (TO BE INCLUDED WITH APPLICATION)

Applicant Staff

Application Fee (Non-Refundable application fee shall be collected)

- Design Review Board - \$200.00 —

Letter of Intent

-- What is the purpose of the project including;

- Relevant Background

- Current Status of the Site

- All Proposed Uses and Structures

- How the Proposal Differs from what already exists

- Information regarding Easements or Dedicated Tracts, etc.

Vicinity Map

-- Directional Map indicating how to get to the Property involved in the request.

- Zoning of Property

Site Plan showing Precise Nature of the Proposed Use –

To Scale

- Scaled Drawings of Proposed Design of Structure

- Plan View and Sections

- Building Heights – all 4 directions N/S/E/W

- topography

- Building Location and impervious coverage

- Setbacks

NA Ordinary High Water Mark determined by the Town Engineer and paid for by Applicant

NA Parking Plan

- Traffic Circulation

- Location and Width of Existing and Proposed Access Points

- Location of Existing Driveways and Intersections

- Landscaped Area – Plan including existing and proposed vegetation.

- Approximate Location of Existing Wooded Areas and Rock Outcrops

- Location and Type of Existing and Proposed Easements

- Utility Easements

- Drainage Features

- Snow Storage areas expressed in square feet as a percentage of the overall site area

Preliminary Building Plans and Elevations

- Indicates Dimensions

- General Appearance

- Scale

- Interior Plan for the Buildings

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<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Elements needed on the Site Plan

- Scale
- North Arrow
- Date Prepared
- Lot Dimensions, Area, Entire Site Acreage

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Architecture Details – Materials Board

- Windows – Placement and Color
- Doors – Placement and Color
- Siding – Type and Color
- Roof Material – Type and Color
- Paint Color

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Boundary Survey with a stamp and signature of a licensed surveyor

- Date of survey (survey date must be within 6 months of the project application date)
- Right-of-way and property lines; including bearings, distances and curve information.
- Labeled ties to existing USGS benchmark.
- Property boundaries to the nearest one-hundredth (.01) of a foot accuracy. Distances and bearings and a basis of bearing must be shown. Show existing pins or monuments found and their relationship to the established corner.
- All existing easements recorded with the County Clerk and Recorder. Include bearings and distances.
- Spot elevations at the edge of asphalt along the street frontage of the property at five-foot intervals, and a minimum of two (2) spot elevations on either side of the lot.
- Topographic conditions at two-foot contour intervals.
- Existing trees or groups of trees having trunks with diameters of four (4) inches or more.
- Rock outcroppings and other significant natural features.
- All utility meter locations, including any pedestals on site or in the right-of-way adjacent to the site and the exact location of existing utility sources.
- *NA* Environmental hazards where applicable (i.e., rock fall, wetlands and floodplain).
- *NA* Watercourse setbacks, if applicable. Show centerline and edge of stream or creek in addition to the required stream setback from the ordinary high water mark.

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Grading and Drainage Plan

- Existing contours. Existing two-foot contours must be provided for all disturbed areas. Contours for undisturbed areas must be shown when drainage in those areas impacts the disturbed area.
- Proposed contours. Proposed two-foot contours for all disturbed areas must be shown and must demonstrate positive drainage.
- Spot elevations. Show critical spot elevations, as necessary to demonstrate positive drainage and the direction of flow. Finished grade at all building corners must be provided.
- Top-of-foundation elevations. The top-of-foundation elevation must be shown on the plan and must be consistent with the foundation plan. For buildings on slopes of thirty percent (30%) or greater, elevations for stepped foundation walls must be shown.
- Drainage arrows. Include drainage arrows that show how stormwater will be routed around buildings and where stormwater will exit the property. Stormwater cannot cause damage to any adjacent property. Drainage and erosion control features needed to prevent damage must be included.
- Drainage facilities. Proposed drainage facilities, such as French drains or culverts, must be shown.
- Retaining walls. Retaining wall details are required and must include drainage details. Note top- and bottom-of-wall elevations at each location where the retaining wall steps up or down, and include the tallest point of the retaining wall.

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Z E H R E N
AND ASSOCIATES

**Minturn Cemetery District
Design Review Application**

September 26, 2023

Ms. Madison Harris, Town Planner
Town of Minturn
301 Boulder Street, #309
Minturn, Colorado 81645
Ph: 970 827 5645 / Email: planner1@minturn.org

**RE: Minturn Cemetery District – Design Review Application Letter of Intent
New Storage Shed and Maintenance Area Expansion Project**
Zehren and Associates, Inc Project No. 20192747.00

Dear Madison,

On behalf of the Minturn Cemetery District located at 806 Cemetery Road, Minturn, Colorado (herein referenced as the 'District) please accept this letter as the letter of intent for the Design Review Application. Zehren and Associates, Inc and I are serving as the representative for the application on behalf of the District. We have been working closely with the District Manager and its Board the past few years on plans for additional space for service and maintenance. This Design Review Application is for a proposed new storage and maintenance shed. The intent of the project is to create additional covered space to store cemetery equipment and materials away from the elements. The new building will improve the overall layout, functionality, and appearance of the Cemetery 'back of house' area, and help staff operate the Cemetery across the seasons.

The application is based on Sections 16-21-170 and 16-21-615 of the Minturn Municipal Code. This is where the procedures and requirements for the design review application are described. The following materials are being submitted in support of the application:

- 1) A completed Design Review Form
- 2) A check for \$200 for the base application fee.
- 3) An updated topographic survey of the project area prepared by Eagle Valley Surveying, dated September 5, 2023.
- 4) An application packet with several key plans and displays including:
 - a. Site Grading and Drainage Plan
 - b. Landscape Plan
 - c. Retaining Wall Details
 - d. Architectural Plans and Elevations
 - e. Three-Dimensional Model and Images of proposed materials (to match existing shed)
- 5) Supporting Aerial Maps and Site Pictures



Z E H R E N
AND ASSOCIATES

Project Description:

The new storage shed building is a 48' long by 18' wide manufactured steel building. It is proposed to be located at the northwest corner of the Cemetery, adjacent to and immediately east of the existing metal shed. The new building is aligned with the existing shed, slightly rotated to relate to the curvature of the service drive accessing both buildings. The building has a shed roof, with the high point in the front at a height of 14'-7" on the east, and 18'-0" on the west based on a difference of finished grade at the front of the building, which slopes down to the west. The proposed materials are corrugated metal siding and using the same colors for siding, trim and roof to match the existing shed. A reinforced concrete slab will be poured over a compacted and prepared sub-grade to serve as the base and floor of the new building.

There are three roll-up garage doors proposed as part of the building facing south, to facilitate egress and ingress of vehicles and equipment used for burials and cemetery maintenance. The western section of the building and the western garage door is taller at 18' and the finished grade is lower with a finished floor elevation of 7912.46. The eastern section of the building includes the other two garage doors to the east, with a height of 14'-7" and a higher finished floor elevation of 7913.80. A small sloped concrete knee wall (16" maximum height) is proposed between the western most garage door and the adjacent door to the east to handle the grade break across the front of the building. The roof of the building is on the same plan despite the difference in height across the building.

Site work related to the project includes a new precast concrete block wall to match existing walls used elsewhere in the cemetery to retain grade. The new wall is aligned with an existing boulder wall and extends along the same alignment behind the proposed new building, to create flat space to accommodate the new building. The wall varies in height with a maximum height of 9' at the angled corner and stepping down with grade along the west side. At its western extent, the wall is 5.5' tall. Care has been taken to reduce the overall height of the wall and use materials already present within the Cemetery. A cobble lined drainage swale is proposed behind the building and in front of the wall to convey run-off and maintain drainage away from the building and tying in with the existing storm water detention basin behind the existing shed.

The service drive in front of the new building is proposed to be re-paved and slightly expanded by 5'-8" and 4'-9" to the south to allow for maneuvering equipment in and out of the building. Drainage is maintained as in existing conditions, sheet flowing into the adjacent cemetery lawn area. There are large existing trees in front of the building in the cemetery's burial areas. (11) new trees: 10 evergreens of different species and varying heights between 8' and 12' and 1 deciduous tree with a 3' caliper) are proposed behind the building and walls to help screen the structure. A limit of proposed work is indicated on the plans depicting the overall area that is anticipated to be disturbed during the project construction.

The project has been carefully sited, sized and designed to fit in the available space within the cemetery's existing boundaries and in the existing location where service and back of house functions have occurred. The Cemetery intends for the project to enhance its overall grounds with a more well-kept and organized service area, and to help normal day to day operations, and burials. Upon approval of the Design Review Application the project will finalize technical documents required for building permit, including structural engineering for the building and wall foundations. The intended schedule is a 2024 spring and summer construction, with ordering of materials and fabrication of the steel building to take place early in 2024.



Z E H R E N
AND ASSOCIATES

Madison,

Thank you for reviewing this design review application for completeness based on the Town's requirements. If any additional information is necessary or there are questions about any of the project details, please let me know. The Cemetery looks forward to presenting the project to the Planning Commission when it is scheduled for a hearing, hopefully in the near future.

Thank you for your continued guidance with this project and your assistance on behalf of the Minturn Cemetery District.

Very Sincerely,

Pedro Campos, Principal
Zehren and Associates, Inc.



Z E H R E N
AND ASSOCIATES

**Riverview Cemetery
Revised Design Review Application**

December 18, 2023

Ms. Madison Harris, Town Planner
Town of Minturn
301 Boulder Street, #309
Minturn, Colorado 81645
Ph: 970 827 5645 / Email: planner1@minturn.org

RE: Riverview Cemetery – Revised DRB Application
Zehren and Associates, Inc Project No. 20192747.00

Dear Madison,

On behalf of the Minturn Cemetery District located at 806 Cemetery Road, Minturn, Colorado; Zehren and Associates is submitting the attached drawings and documents in response to the comments provided by the Town Engineer dated 10/16/23 and 10/20/23.

The following updates have been made to the submittal drawings and documents:

1. A more recent Title Report has been provided (No changes from the previously submitted report have been noted)
2. The survey has been updated by Eagle Valley Surveying, per the request of the Town, with the following items:
 - a. Monuments were added and certified along the north and west property boundaries.
 - b. Note #4 has been revised to reflect that the monuments “were found and accepted on the North and West property boundaries of Lot 2 and Lot 3”
 - c. Note #2 has been revised to reflect the most recent Title Report regarding all title and easement information.
 - d. Spot elevations along the edge of the existing asphalt driveway
 - e. Utility lines have been added to the survey (Only Electric was found in the project area)
3. The Site Plan has been updated by Zehren and Associates, to reflect the additional information provided in the updated survey, and revisions requested in coordination with the drainage calculations. These include the following items:
 - a. A drainage swale has been added above the retaining walls to direct runoff from the hillside to the west and around the existing detention basin.
 - b. The proposed retaining wall height has been raised 6” from a maximum of 9’ to a maximum of 9’-6”.
 - c. The proposed maintenance shed is located over an existing electrical line. The electrical line will be relocated to the south, as shown on the updated Site Plan.
4. A stamped drainage report has been provided by Alpine Engineering and includes calculations indicating that the existing detention basin is adequately sized for the existing and proposed impervious areas.



Z E H R E N
AND ASSOCIATES

We believe these revisions to the Design Review Submittal documents are in compliance with the code requirements for Design Review applications and adequately address the Town Engineers comments (attached for reference).

Please feel free to contact us with any questions or concerns on the revised submittal materials and thank you for your continued guidance and assistance on behalf of the Minturn Cemetery District.

Very Sincerely,

Pedro Campos, Principal
Zehren and Associates, Inc.

October 16, 2023

Madison Harris
Town of Minturn Planner
PO Box 309
Minturn, CO 81645

Re: Minturn Cemetery
806 Cemetery Road
DRB submittal Review
Project No. 23-0001

Dear Madison:

We reviewed the DRB submittal for the Minturn Cemetery Maintenance Shed for compliance with the engineering requirements of Section 16-21-165; Design Review applications of the Minturn Municipal Code (MMC).

MMC Section 16-21-615 Section C:

Section (C) (2) Boundary Survey:

A “Partial Topographic Survey” prepared by Eagle Valley Surveying Inc. dated September 25, 2023 was included with the application.

- Survey Note 4 states “BEARINGS AND DISTANCES ALONG PROPERTY LINES SHOWN HEREON ARE AS SHOWN ON THE SUBDIVISION PLAT ONLY. A BOUNDARY SURVEY WOULD BE NECESSARY TO DETERMINE THE TRUE DIMENSIONS OF THE LOT AND SETBACKS, WHICH MAY VARY FROM THE PLATTED DIMENSIONS.”
- The survey shows only the site of the proposed Maintenance Shed and is not a boundary survey of the property as required by the MMC.

e. All existing easements recorded with the County Clerk and Recorder.

- Survey Note 2 states “SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR AMENDED PLATS, EASEMENTS OF RECORD (OTHER THAN PLATTED), ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE”.
- A title report was not included in the materials provided. A current title report should be provided, and the survey updated to reflect any exceptions noted in the report.

VAIL VALLEY OFFICE

30 Benchmark Road, Suite 216 | PO Box 978 | Avon, CO 81620

DENVER OFFICE

9618 Brook Hill Lane | Lone Tree, CO 80124

970.949.5072 | info@inter-mtn.net

Madison Harris

Re: Minturn Cemetery
806 Cemetery Road
DRB submittal Review

Project No. 23-0001

f. Spot elevations at the edge of asphalt along the street frontage of the property at five-foot intervals, and a minimum of two (2) spot elevations on either side of the lot.

- Spot elevations along the edge of the existing road should be added to the survey.

j. All utility meter locations, including any pedestals on site or in the right-of-way adjacent to the site and the exact location of existing utility sources.

- Utility lines including storm sewers need to be added to the survey.

Section (C) (3) Site Plan:

- The site plan will need to be updated to reflect any revised information provided on the updated survey.

Section (C) (4) Grading & Drainage Plan:

- Drainage is directed to an existing storm water detention basin located behind the existing pump house. No information has been provided to show the existing basin is large enough to accept additional drainage from the proposed construction. A letter report prepared by a licensed professional engineer should be provided to demonstrate adequacy of the proposed drainage.

Please feel free to contact us if you have additional questions.

Respectfully,
Inter-Mountain Engineering (Town Engineer)



Jeffery M. Spanel PE

CC: Michelle Metteer, Scot Hunn

October 20, 2023

Scot Hunn
Town of Minturn
PO Box 309
Minturn, CO 81645

Re: Minturn Cemetery
806 Cemetery Road
DRB submittal Review – Boundary Survey
Project No. 23-0001

Dear Scot:

We reviewed the “Partial Topographic Survey” prepared by Eagle Valley Surveying Inc. dated September 25, 2023 to recommend revisions such that the survey would comply with the engineering requirements of Section 16-21-165 (C) (2) of the Minturn Municipal Code (MMC).

The proposed Maintenance Shed is located along the north property line of the Cemetery. The cemetery property is a large parcel and because the improvements are located adjacent to the north property line and not near any other property lines, the Town could consider a revision to the Topographic Survey which certifies the monuments shown on the west property line and adds monumentation for the north property line. This should allow Survey Note 4 to be removed or edited to certify monuments along the north and West property lines. A current title report should be provided to the surveyor such that Note 2 can be deleted from the survey.

The other comments in our October 16, 2023 letter regarding spot elevations and utility locations should be addressed on the revised survey.

Please feel free to contact us if you have additional questions.

Inter-Mountain Engineering (Town Engineer)



Jeffery M. Spanel PE

CC: Michelle Metteer, Madison Harris

VAIL VALLEY OFFICE

30 Benchmark Road, Suite 216 | PO Box 978 | Avon, CO 81620

DENVER OFFICE

9618 Brook Hill Lane | Lone Tree, CO 80124

970.949.5072 | info@inter-mtn.net

INVOICE



Land Title Guarantee Company
5975 Greenwood Plaza Blvd Suite 125
Greenwood Village, CO 80111
970-476-2251

TOWN OF MINTURN
SIDNEY HARRINGTON
P.O. BOX 309
Minturn, CO 81645

<u>Reference</u>	
Your Reference Number:	TBD Commitment - 50070500
Our Order Number:	VA-16216
Our Customer Number:	3002978.0
Invoice Requested by:	SIDNEY HARRINGTON
Invoice (Process) Date:	November 07, 2023
Transaction Invoiced By:	Web Services
Email Address:	system@ltgc.com

Invoice Number: VA-16216

Date: November 07, 2023

Order Number: 50070500

Property Address: 804, 806 AND 808 CEMETERY ROAD MINTURN 81645

Parties: A Buyer To Be Determined


Invoice Charges		
Service:	TBD Commitment	\$265.00
Ref:	50070500	
Addr:	804, 806 AND 808 CEMETERY ROAD	
Party:	MINTURN CEMETERY ASSOCIATION DISTRICT, AS TO PARCEL A AND TOWN OF MINTURN, COLORADO, A COLORADO MUNICIPALITY OF THE COUNTY OF EAGLE AND THE STATE OF COLORADO, AS TO PARCEL B, PARCELS 7 AND 9	\$265.00
		\$0.00
		\$265.00
Total Amount Invoiced:		
Less Payment(s):		
Balance Due:		

Due and Payable upon receipt

Please make check payable to Land Title Guarantee Company and send to the address at the top of Page 1.
Please reference **Invoice Number VA-16216** on your Payment



Customer Distribution

 **Prevent fraud** - Please call a member of our closing team for wire transfer instructions or to initiate a wire transfer. Note that our wiring instructions will never change.

Order Number: **RND50070500**

Date: **11/07/2023**

Property Address: **804, 806 AND 808 CEMETERY ROAD, MINTURN, CO 81645**

For Closing Assistance

For Title Assistance

Scott Cieslewicz
 5975 GREENWOOD PLAZA
 BLVD
 GREENWOOD VILLAGE, CO
 80111
 (303) 850-4189 (Work)
scieslewicz@ltgc.com

Seller/Owner

TOWN OF MINTURN
 Attention: SIDNEY HARRINGTON, CEMETERY DST. PO BOX 1230
 ADMIT.
 P.O. BOX 309
 MINTURN, CO 81645
 (970) 827-5645 (Work)
office@minturncemetery.org
 Delivered via: Electronic Mail

EAGLE VALLEY SURVEYING
 Attention: MIKE POST
 PO BOX 1230
 EDWARDS, CO 81632
 (970) 949-1406 (Work)
 (970) 845-9504 (Work Fax)
mikepost@evsurvey.com
 Delivered via: Electronic Mail

LAND TITLE GUARANTEE COMPANY
 Attention: SARAH DORMAN (FOR PLAT REVIEW)
 610 WEST LIONSHEAD CIRCLE #300
 VAIL, CO 81657
 (970) 476-2251 (Work)
 (970) 476-4534 (Work Fax)
sdorman@ltgc.com
 Delivered via: Electronic Mail

ZEHREN & ASSOCIATES
 Attention: PEDRO CAMPOS
 48 E BEAVER CREEK BLVD SUITE 303
 AVON, CO 81620
 (970) 949-0257 (Work)
 (970) 949-1080 (Work Fax)
pedroc@zehren.com
 Delivered via: Electronic Mail



Estimate of Title Fees

Order Number: RND50070500

Date: 11/07/2023

Property Address: 804, 806 AND 808 CEMETERY ROAD, MINTURN, CO 81645

Seller(s): MINTURN CEMETERY ASSOCIATION DISTRICT, AS TO PARCEL A AND TOWN OF MINTURN, COLORADO, A COLORADO MUNICIPALITY OF THE COUNTY OF EAGLE AND THE STATE OF COLORADO, AS TO PARCEL B, PARCELS 7 AND 9

Buyer(s): A BUYER TO BE DETERMINED

Thank you for putting your trust in Land Title. Below is the estimate of title fees for the transaction. The final fees will be collected at closing. Visit ltgc.com to learn more about Land Title.

Estimate of Title Insurance Fees	
"TBD" Commitment	\$265.00
TOTAL	\$265.00

Note: The documents linked in this commitment should be reviewed carefully. These documents, such as covenants conditions and restrictions, may affect the title, ownership and use of the property. You may wish to engage legal assistance in order to fully understand and be aware of the implications of the documents on your property.

Chain of Title Documents:

- [Eagle county recorded 12/05/1967 under reception no. 107055 at book 211 page 705](#)
- [Eagle county recorded 12/17/1979 under reception no. 192473 at book 296 page 80](#)
- [Eagle county recorded 06/10/2002 under reception no. 798235](#)
- [Eagle county recorded 06/10/2002 under reception no. 798234](#)
- [Eagle county recorded 06/10/2002 under reception no. 798233](#)

Plat Map(s):

- [Eagle county recorded 06/10/2002 under reception no. 798232](#)

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule A

Order Number: RND50070500

Property Address:

804, 806 AND 808 CEMETERY ROAD, MINTURN, CO 81645

1. Effective Date:

11/01/2023 at 5:00 P.M.

2. Policy to be Issued and Proposed Insured:

"TBD" Commitment \$0.00
Proposed Insured:
A BUYER TO BE DETERMINED

3. The estate or interest in the land described or referred to in this Commitment and covered herein is:

A FEE SIMPLE

4. Title to the estate or interest covered herein is at the effective date hereof vested in:

MINTURN CEMETERY ASSOCIATION DISTRICT, AS TO PARCEL A AND TOWN OF MINTURN, COLORADO, A COLORADO MUNICIPALITY OF THE COUNTY OF EAGLE AND THE STATE OF COLORADO, AS TO PARCEL B, PARCELS 7 AND 9

5. The Land referred to in this Commitment is described as follows:

PARCEL A:

LOTS 2 AND 3 AND PARCEL A, RIVER VIEW CEMETERY, COUNTY OF EAGLE, STATE OF COLORADO.

PARCEL B:

LOT 1, RIVER VIEW CEMETERY, COUNTY OF EAGLE, STATE OF COLORADO.

PARCEL 7:

NOTE: THE FOLLOWING LEGAL DESCRIPTION IS PRELIMINARY AND IS SUBJECT TO CHANGE UPON COMPLIANCE WITH THE REQUIREMENTS UNDER SCHEDULE B-1, HEREIN.

A PARCEL OF LAND LYING IN THE NE1/4NE1/4 OF SECTION 35, TOWNSHIP 5 SOUTH, RANGE 81 WEST OF THE 6TH PRINCIPAL MERIDIAN, EAGLE COUNTY, COLORADO, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN EXISTING BRASS CAP MONUMENT MARKING THE NE SECTION CORNER OF SAID SECTION 35;
THENCE S 00°02'00" E ALONG THE EASTERLY BOUNDARY LINE OF SAID NE1/4NE1/4 OF SECTION 35 A DISTANCE OF 898.29 FEET TO A POINT ON THE NORTHERLY BOUNDARY LINE OF A PARCEL OF LAND DESCRIBED AT RECEPTION NO. 88960;
THENCE THE FOLLOWING TWO COURSES ALONG SAID PARCEL OF LAND:
(1) N 72°40'00" W A DISTANCE OF 517.20 FEET;
(2) S 54°38'07" W A DISTANCE OF 425.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF THE DENVER AND RIO GRANDE RAILROAD;
THENCE N 55°30'00" W ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF THE DENVER AND RIO GRANDE RAILROAD A DISTANCE OF 611.93 FEET TO A POINT ON THE EASTERLY BOUNDARY LINE OF THE RIVER VIEW CEMETERY;
THENCE THE FOLLOWING TWO COURSES ALONG SAID BOUNDARY LINE OF THE RIVER VIEW CEMETERY:

ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule A

Order Number: RND50070500

(1) NORTH A DISTANCE OF 397.97 FEET;
(2) N 76°48'00" W A DISTANCE OF 58.03 FEET TO A POINT ON THE WESTERLY BOUNDARY LINE OF SAID NE1/4NE1/4 OF SECTION 35;
THENCE N 01°20'42" W ALONG SAID WESTERLY BOUNDARY LINE OF THE NE1/4NE1/4 OF SECTION 35 A DISTANCE OF 221.53 FEET TO THE E 1/16TH CORNER OF SECTION 35 AND SECTION 26, TOWNSHIP 5 SOUTH, RANGE 81 WEST OF THE 6TH PRINCIPAL MERIDIAN;
THENCE N 89°33'22" E ALONG THE NORTHERLY BOUNDARY LINE OF SAID NE1/4NE1/4 OF SECTION 35 A DISTANCE OF 1405.89 FEET TO THE POINT OF BEGINNING.

PARCEL 9:

NOTE: THE FOLLOWING LEGAL DESCRIPTION IS PRELIMINARY AND IS SUBJECT TO CHANGE UPON COMPLIANCE WITH THE REQUIREMENTS UNDER SCHEDULE B-1, HEREIN.

A PARCEL OF LAND LYING IN THE SW1/4 SE1/4 OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 81 WEST OF THE 6TH PRINCIPAL MERIDIAN, EAGLE COUNTY, COLORADO, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT OF THE EASTERLY RIGHT-OF-WAY LINE OF THE DENVER AND RIO GRANDE RAILROAD, WHENCE AN EXISTING BRASS CAP MONUMENT MARKIN THE SOUTH 1/4 CORNER OF SAID SECTION 26 BEARS S 89°33'22" W A DISTANCE OF 555.63 FEET, SAID POINT OF BEGINNING ALSO BEING ON THE SOUTHERLY BOUNDARY LINE OF SAID SECTION 26;
THENCE THE FOLLOWING FIVE COURSES ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF THE DENVER AND RIO GRANDE RAILROAD:
(1) 0.28 FOOT ALONG A 7119.28 FOOT RADIUS CURVE TO THE RIGHT, WHOSE CENTRAL ANGLE IS 00°00'01" AND WHOSE CHORD BEARS N 55°00'01" W A DISTANCE OF 0.28 FEET;
(2) 41.13 FEET ALONG A 4712.86 FOOT RADIUS CURVE TO THE RIGHT, WHOSE CENTRAL ANGLE IS 00°30'00" AND WHOSE CHORD BEARS N 54°45'00" W A DISTANCE OF 41.13 FEET;
(3) 40.48 FEET ALONG A 3509.65 FOOT RADIUS CURVE TO THE RIGHT, WHOSE CENTRAL ANGLE IS 00°40'00" AND WHOSE CHORD BEARS N 54°10'00" W A DISTANCE OF 40.84 FEET;
(4) 654.29 FEET ALONG A 3342.16 FOOT RADIUS CURVE TO THE RIGHT, WHOSE CENTRAL ANGLE IS 11°13'00" AND WHOSE CHORD BEARS N 48°13'30" W A DISTANCE OF 653.24 FEET;
(5) 13.98 FEET ALONG A 3509.65 FOOT RADIUS CURVE TO THE RIGHT, WHOSE CENTRAL ANGLE IS 00°13'41" AND WHOSE CHORD BEARS N 42°30'09" W A DISTANCE OF 13.98 FEET TO A POINT ON THE WESTERLY BOUNDARY LINE OF THE SW1/4 SE1/4 OF SAID SECTION 26;
THENCE N 00°54'41" W ALONG SAID WESTERLY BOUNDARY LINE OF SE1/4 SE1/4 OF SECTION 26 A DISTANCE OF 898.89 FEET TO THE SOUTH 1/16TH CORNER OF SAID SECTION 26;
THENCE N 89°42'12" E ALONG THE NORTHERLY BOUNDARY LINE OF SAID SW1/4 SE1/4 OF SECTION 26 A DISTANCE OF 1400.67 FEET TO THE SE 1/16TH CORNER OF SAID SECTION 26;
THENCE S 01°07'36" E ALONG THE EASTERLY BOUNDARY LINE OF SAID SW1/4 SE1/4 OF SECTION 26 A DISTANCE OF 1394.02 FEET TO THE EAST 1/16TH OF SAID SECTION 26 AND 35, TOWNSHIP 5 SOUTH, RANGE 81 WEST OF THE 6TH PRINCIPAL MERIDIAN;
THENCE S 89°33'22" W ALONG THE SOUTHERLY BOUNDARY LINE OF SAID SECTION 26 A DISTANCE OF 850.23 FEET TO THE POINT OF BEGINNING.

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule A

Order Number: RND50070500

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ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule B, Part I
(Requirements)

Order Number: RND50070500

All of the following Requirements must be met:

This proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.

Pay the agreed amount for the estate or interest to be insured.

Pay the premiums, fees, and charges for the Policy to the Company.

Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.

1. CERTIFIED COPY OF ORDINANCE OF THE TOWN OF MINTURN, COLORADO, A COLORADO MUNICIPALITY, OF THE COUNTY OF EAGLE AND STATE OF COLORADO (AUTHORIZING THE PROPOSED TRANSACTION OF THE SUBJECT PROPERTY AND THE EXECUTION OF NECESSARY DOCUMENTS) AND RECITING THAT THE BOARD HAS BEEN DULY AUTHORIZED IN THE PREMISES BY THE CORPORATION. SAID ORDINANCE MUST BE PROPERLY CERTIFIED BY AN OFFICER OF THE CORPORATION. SAID ORDINANCE MUST BE SUBMITTED TO AND APPROVED BY LAND TITLE GUARANTEE COMPANY.
2. FURNISH A CURRENTLY CERTIFIED COPY OF A RESOLUTION OF THE BOARD OF DIRECTORS OF THE CORPORATION NAMED BELOW, AUTHORIZING THE EXECUTION AND DELIVERY BY THE PROPER OFFICERS OF ALL INSTRUMENTS NECESSARY FOR THE CONSUMMATION OF THIS TRANSACTION, AND SPECIFICALLY NAMING SAID OFFICERS AND THEIR TITLES. SAID CERTIFICATION MUST BE BY A PARTY OTHER THAN THE PARTY AUTHORIZED TO SIGN AND MUST STATE THAT THE RESOLUTION HAS NOT BEEN MODIFIED OR REVOKED.

CORPORATION: RIVER VIEW CEMETERY ASSOCIATION DISTRICT.

3. LAND TITLE GUARANTEE COMPANY REQUIRES AN ACCURATE LEGAL DESCRIPTION OF SUBJECT PROPERTY TO BE PROVIDED FOR REVIEW AND APPROVAL. UPON FURTHER REVIEW THE COMPANY HEREBY RESERVES THE RIGHT TO INSERT ADDITIONAL REQUIREMENTS AND/OR EXCEPTIONS AS MAY BE NECESSARY.

(AFFECTS PARCELS 7 AND 9)

NOTE: ADDITIONAL REQUIREMENTS OR EXCEPTIONS MAY BE NECESSARY WHEN THE BUYERS NAMES ARE ADDED TO THIS COMMITMENT. COVERAGES AND/OR CHARGES REFLECTED HEREIN, IF ANY, ARE SUBJECT TO CHANGE UPON RECEIPT OF THE CONTRACT TO BUY AND SELL REAL ESTATE AND ANY AMENDMENTS THERETO.

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule B, Part II
(Exceptions)

Order Number: RND50070500

This commitment does not republish any covenants, condition, restriction, or limitation contained in any document referred to in this commitment to the extent that the specific covenant, conditions, restriction, or limitation violates state or federal law based on race, color, religion, sex, sexual orientation, gender identity, handicap, familial status, or national origin.

1. **Any facts, rights, interests, or claims thereof, not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.**
2. **Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.**
3. **Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.**
4. **Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.**
5. **Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date of the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this Commitment.**
6. **(a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.**
7. **(a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water.**
8. **RIGHT OF THE PROPRIETOR OF A VEIN OR LODE TO EXTRACT AND REMOVE HIS ORE THEREFROM, SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES HEREBY GRANTED, AND A RIGHT OF WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES, AS RESERVED IN UNITED STATES PATENT RECORDED MAY 02, 1904 IN BOOK 48 AT PAGE [502](#).**
(AFFECTS NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 35)
9. **RIGHT OF THE PROPRIETOR OF A VEIN OR LODE TO EXTRACT AND REMOVE HIS ORE THEREFROM, SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES HEREBY GRANTED, AND A RIGHT OF WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES, AS RESERVED IN UNITED STATES PATENT RECORDED FEBRUARY 04, 1929 IN BOOK 106 AT PAGE [517](#) AND RECORDED MARCH 21, 1977 IN BOOK 253 AT PAGE [461](#).**
(AFFECTS NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 35)
10. **RIGHT OF WAY EASEMENT AS GRANTED TO WESTERN SLOPE GAS COMPANY, A COLORADO CORPORATION IN INSTRUMENT RECORDED JANUARY 23, 1967, IN BOOK 201 AT PAGES [19](#) AND [20](#) (SEE PAGE [20](#)).**
11. **RESERVATIONS AS CONTAINED IN DEED RECORDED NOVEMBER 18, 1937 IN BOOK 116 AT PAGE [488](#).**

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule B, Part II
(Exceptions)

Order Number: RND50070500

12. ORDINANCE NO. 128, SERIES OF 1974, ANNEXING CERTAIN REAL PROPERTY TO THE TOWN OF MINTURN RECORDED DECEMBER 20, 1974 UNDER RECEPTION NO. [134024](#) AND RECORDED DECEMBER 30, 1974 UNDER RECEPTION NO. [134115](#) AND RECORDED DECEMBER 14, 1981 UNDER RECEPTION NO. [229705](#).

(NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 35).
13. RESERVATIONS AS CONTAINED IN DEED RECORDED DECEMBER 17, 1979 IN BOOK 296 AT PAGE [80](#).
14. NOTES AND EASEMENTS AS SHOWN ON THE PLAT OF RIVER VIEW CEMETERY RECORDED JUNE 10, 2002 UNDER RECEPTION NO. [798232](#).
15. ANY RIGHT TITLE OR INTEREST WHICH MAY BE CLAIMED BY THE UNION PACIFIC RAILROAD COMPANY, THE RIGHT OF WAY OF WHICH ADJOINS LOT 1, RIVER VIEW CEMETERY AS SHOWN ON THE PLAT THEREOF RECORDED JUNE 10, 2002 UNDER RECEPTION NO. [798232](#).
16. COVENANTS, CONDITIONS AND RESTRICTIONS, WHICH CONTAIN A REVERTER CLAUSE, AS SET FORTH IN DEEDS RECORDED JUNE 10, 2002 UNDER RECEPTION NOS. [798233](#) AND [798235](#).
17. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE EAGLE RIVER FIRE PROTECTION DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED JUNE 24, 2002, UNDER RECEPTION NO. [799500](#) AND MAP RECORDED DECEMBER 7, 2009 UNDER RECEPTION NO. [26003](#).
18. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN EASEMENT AGREEMENT RECORDED SEPTEMBER 16, 2010 UNDER RECEPTION NO. [201018417](#).
19. RIGHTS OF THE PUBLIC AND THE COUNTY TO AND OVER ANY OF THE STREETS, ROADS, ALLEYS, WALKS, PATHS, PARKS OR PARKWAYS SHOWN ON THE MAP OF SAID RIVER VIEW CEMETERY, RECORDED JULY 19, 2017 UNDER RECEPTION NO. [13828](#).
20. RESERVATIONS AS CONTAINED IN WARRANTY DEED RECORDED FEBRUARY 19, 1970 IN BOOK 217 AT PAGE [120](#).
21. ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE UPPER EAGLE VALLEY SANITATION DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED MARCH 28, 2017, UNDER RECEPTION NO. [201705247](#).
22. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN TOWN OF MINTURN, COLORADO ORDINANCE NO. 06 - SERIES 2018 RECORDED DECEMBER 03, 2018 UNDER RECEPTION NO. [20619](#).
23. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN TOWN OF MINTURN ORDINANCE NO. 10 - SERIES 1995 RECORDED JANUARY 18, 2019 UNDER RECEPTION NO. [866](#).
24. RESTRICTIONS IMPOSED BY LAW REGARDING THE SALE AND DISPOSITION OF SAID LAND OR A PLACE WITHIN ANY MAUSOLEUM OR COLUMBARIUM ERECTED THEREON RESULTING FROM THE USE OR DEDICATION OF SAID LAND FOR CEMETERY PURPOSES.

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule B, Part II
(Exceptions)

Order Number: RND50070500

- 25. EASEMENTS, RIGHTS, OR INTERESTS ARISING OUT OF
 - (A) THE SALE OR TRANSFER OF LOTS, BLOCKS, PLOTS OR SECTIONS IN MINTURN CEMETERY (RIVER VIEW CEMETERY) OR OF BURIAL RIGHTS THEREIN,
 - (B) THE SALE OR TRANSFER OF CRYPTS OR VAULTS IN ANY MAUSOLEUM, AND OF NICHES IN ANY COLUMBARIUM TO BE ERECTED ON THE HEREIN DESCRIBED LAND, OR,
 - (C) ANY INTERMENT IN SAID LAND.
- 26. LACK OF ACCESS.
(AFFECTS PARCELS 7 AND 9)
- 27. ANY ADVERSE CLAIM OR BOUNDARY DISPUTE WHICH MAY EXIST OR ARISE BY REASON OF THE FAILURE OF THE SURVEY REFERRED TO IN SCHEDULE A TO LOCATE WITH CERTAINTY THE BOUNDARIES OF THE PREMISES IN SAID TRANSACTION. NO INSURANCE IS GIVEN AS TO THE DIMENSIONS AND LOCATION OF SAID PREMISES WITHIN SAID DESCRIBED LAND.
(AFFECTS PARCELS 7 AND 9)



Land Title Guarantee Company Disclosure Statements

Note: Pursuant to CRS 10-11-122, notice is hereby given that:

- (A) The Subject real property may be located in a special taxing district.
- (B) A certificate of taxes due listing each taxing jurisdiction will be obtained from the county treasurer of the county in which the real property is located or that county treasurer's authorized agent unless the proposed insured provides written instructions to the contrary. (for an Owner's Policy of Title Insurance pertaining to a sale of residential real property).
- (C) The information regarding special districts and the boundaries of such districts may be obtained from the Board of County Commissioners, the County Clerk and Recorder, or the County Assessor.

Note: Effective September 1, 1997, CRS 30-10-406 requires that all documents received for recording or filing in the clerk and recorder's office shall contain a top margin of at least one inch and a left, right and bottom margin of at least one half of an inch. The clerk and recorder may refuse to record or file any document that does not conform, except that, the requirement for the top margin shall not apply to documents using forms on which space is provided for recording or filing information at the top margin of the document.

Note: Colorado Division of Insurance Regulations 8-1-2 requires that "Every title entity shall be responsible for all matters which appear of record prior to the time of recording whenever the title entity conducts the closing and is responsible for recording or filing of legal documents resulting from the transaction which was closed". Provided that Land Title Guarantee Company conducts the closing of the insured transaction and is responsible for recording the legal documents from the transaction, exception number 5 will not appear on the Owner's Title Policy and the Lenders Policy when issued.

Note: Affirmative mechanic's lien protection for the Owner may be available (typically by deletion of Exception no. 4 of Schedule B, Section 2 of the Commitment from the Owner's Policy to be issued) upon compliance with the following conditions:

- (A) The land described in Schedule A of this commitment must be a single family residence which includes a condominium or townhouse unit.
- (B) No labor or materials have been furnished by mechanics or material-men for purposes of construction on the land described in Schedule A of this Commitment within the past 6 months.
- (C) The Company must receive an appropriate affidavit indemnifying the Company against un-filed mechanic's and material-men's liens.
- (D) The Company must receive payment of the appropriate premium.
- (E) If there has been construction, improvements or major repairs undertaken on the property to be purchased within six months prior to the Date of Commitment, the requirements to obtain coverage for unrecorded liens will include: disclosure of certain construction information; financial information as to the seller, the builder and or the contractor; payment of the appropriate premium fully executed Indemnity Agreements satisfactory to the company, and, any additional requirements as may be necessary after an examination of the aforesaid information by the Company.

No coverage will be given under any circumstances for labor or material for which the insured has contracted for or agreed to pay.

Note: Pursuant to CRS 10-11-123, notice is hereby given:

This notice applies to owner's policy commitments disclosing that a mineral estate has been severed from the surface estate, in Schedule B-2.

- (A) That there is recorded evidence that a mineral estate has been severed, leased, or otherwise conveyed from the surface estate and that there is substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property; and
- (B) That such mineral estate may include the right to enter and use the property without the surface owner's permission.

Note: Pursuant to CRS 10-1-128(6)(a), It is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance, and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado Division of Insurance within the Department of Regulatory Agencies.

Note: Pursuant to Colorado Division of Insurance Regulations 8-1-3, notice is hereby given of the availability of a closing protection letter for the lender, purchaser, lessee or seller in connection with this transaction.

Note: Pursuant to CRS 24-21-514.5, Colorado notaries may remotely notarize real estate deeds and other documents using real-time audio-video communication technology. You may choose not to use remote notarization for any document.



**Joint Notice of Privacy Policy of
Land Title Guarantee Company
Land Title Guarantee Company of Summit
County
Land Title Insurance Corporation and
Old Republic National Title Insurancy Company**

This Statement is provided to you as a customer of Land Title Guarantee Company as agent for Land Title Insurance Corporation and Old Republic National Title Insurance Company.

We want you to know that we recognize and respect your privacy expectations and the requirements of federal and state privacy laws. Information security is one of our highest priorities. We recognize that maintaining your trust and confidence is the bedrock of our business. We maintain and regularly review internal and external safeguards against unauthorized access to your non-public personal information ("Personal Information").

In the course of our business, we may collect Personal Information about you from:

- applications or other forms we receive from you, including communications sent through TMX, our web-based transaction management system;
 - your transactions with, or from the services being performed by us, our affiliates, or others;
 - a consumer reporting agency, if such information is provided to us in connection with your transaction;
- and
- The public records maintained by governmental entities that we obtain either directly from those entities, or from our affiliates and non-affiliates.

Our policies regarding the protection of the confidentiality and security of your Personal Information are as follows:

- We restrict access to all Personal Information about you to those employees who need to know that information in order to provide products and services to you.
- We may share your Personal Information with affiliated contractors or service providers who provide services in the course of our business, but only to the extent necessary for these providers to perform their services and to provide these services to you as may be required by your transaction.
- We maintain physical, electronic and procedural safeguards that comply with federal standards to protect your Personal Information from unauthorized access or intrusion.
- Employees who violate our strict policies and procedures regarding privacy are subject to disciplinary action.
- We regularly assess security standards and procedures to protect against unauthorized access to Personal Information.

WE DO NOT DISCLOSE ANY PERSONAL INFORMATION ABOUT YOU WITH ANYONE FOR ANY PURPOSE THAT IS NOT STATED ABOVE OR PERMITTED BY LAW.

Consistent with applicable privacy laws, there are some situations in which Personal Information may be disclosed. We may disclose your Personal Information when you direct or give us permission; when we are required by law to do so, for example, if we are served a subpoena; or when we suspect fraudulent or criminal activities. We also may disclose your Personal Information when otherwise permitted by applicable privacy laws such as, for example, when disclosure is needed to enforce our rights arising out of any agreement, transaction or relationship with you.

Our policy regarding dispute resolution is as follows: Any controversy or claim arising out of or relating to our privacy policy, or the breach thereof, shall be settled by arbitration in accordance with the rules of the American Arbitration Association, and judgment upon the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof.



Commitment For Title Insurance Issued by Old Republic National Title Insurance Company

NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY’S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON. .

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, Old Republic National Title Insurance Company, a Minnesota corporation (the “Company”), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured. If all of the Schedule B, Part I—Requirements have not been met within 6 months after the Commitment Date, this Commitment terminates and the Company’s liability and obligation end.

COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) “Knowledge” or “Known”: Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) “Land”: The land described in Schedule A and affixed improvements that by law constitute real property. The term “Land” does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) “Mortgage”: A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) “Policy”: Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) “Proposed Insured”: Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) “Proposed Policy Amount”: Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) “Public Records”: Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) “Title”: The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, Commitment terminates and the Company’s liability and obligation end.

3. The Company’s liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I—Requirements; and
- (f) Schedule B, Part II—Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY’S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company’s liability under Commitment Condition 4 is limited to the Proposed Insured’s actual expense incurred in the interval between the Company’s delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured’s good faith reliance to:
 - i. comply with the Schedule B, Part I—Requirements;
 - ii. eliminate, with the Company’s written consent, any Schedule B, Part II—Exceptions; or
 - iii. acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company’s liability shall not exceed the lesser of the Proposed Insured’s actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company’s liability is limited by the terms and provisions of the Policy.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.

- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

IN WITNESS WHEREOF, Land Title Insurance Corporation has caused its corporate name and seal to be affixed by its duly authorized officers on the date shown in Schedule A to be valid when countersigned by a validating officer or other authorized signatory.

Issued by:
Land Title Guarantee Company
3033 East First Avenue Suite 600
Denver, Colorado 80206
303-321-1880

Craig B. Rants, Senior Vice President



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
400 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

By President
Attest Secretary

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Old Republic National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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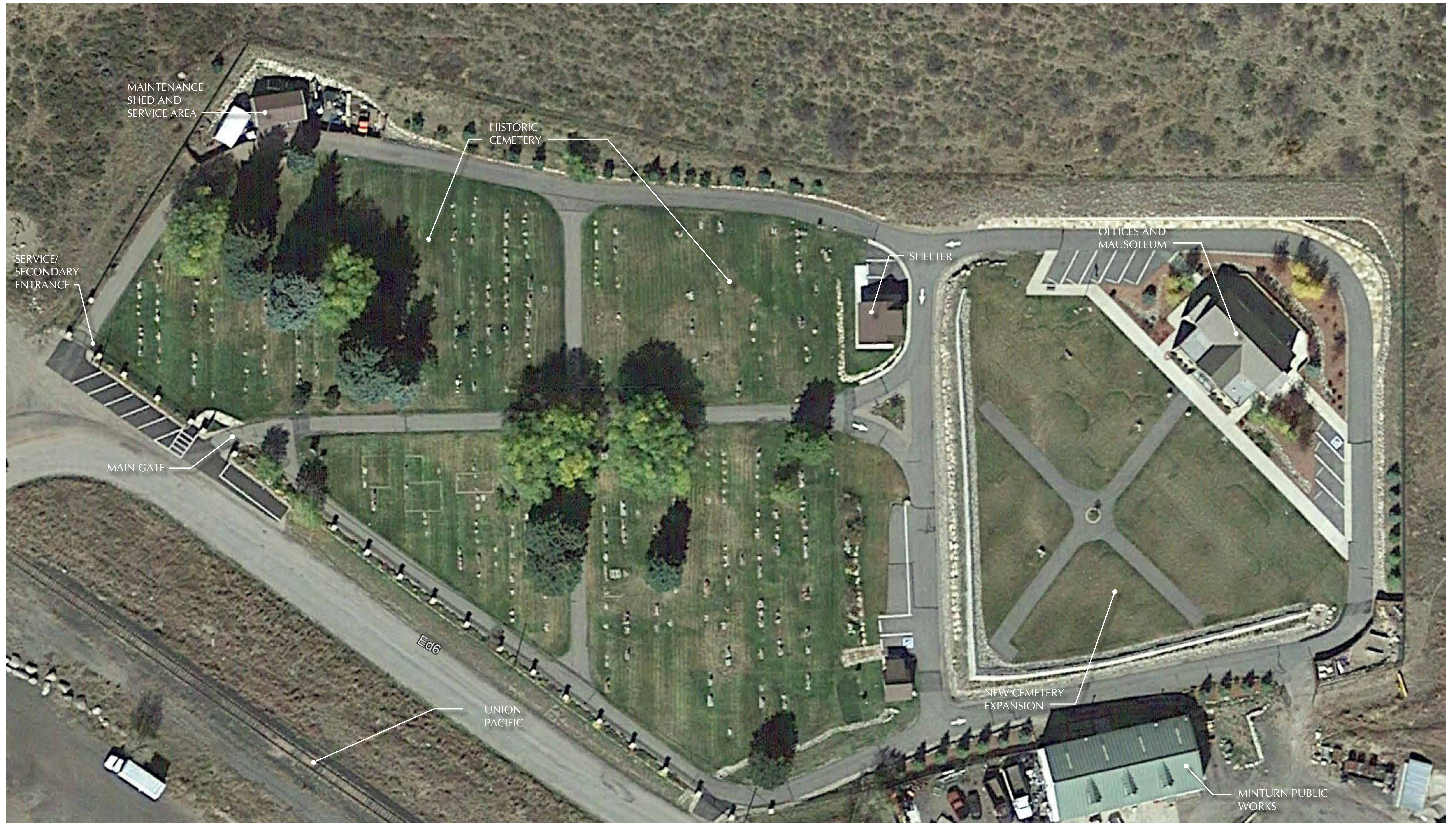
RIVERVIEW CEMETERY Minturn, CO

New Maintenance Shed Revised Design Review Application

December 18th, 2023

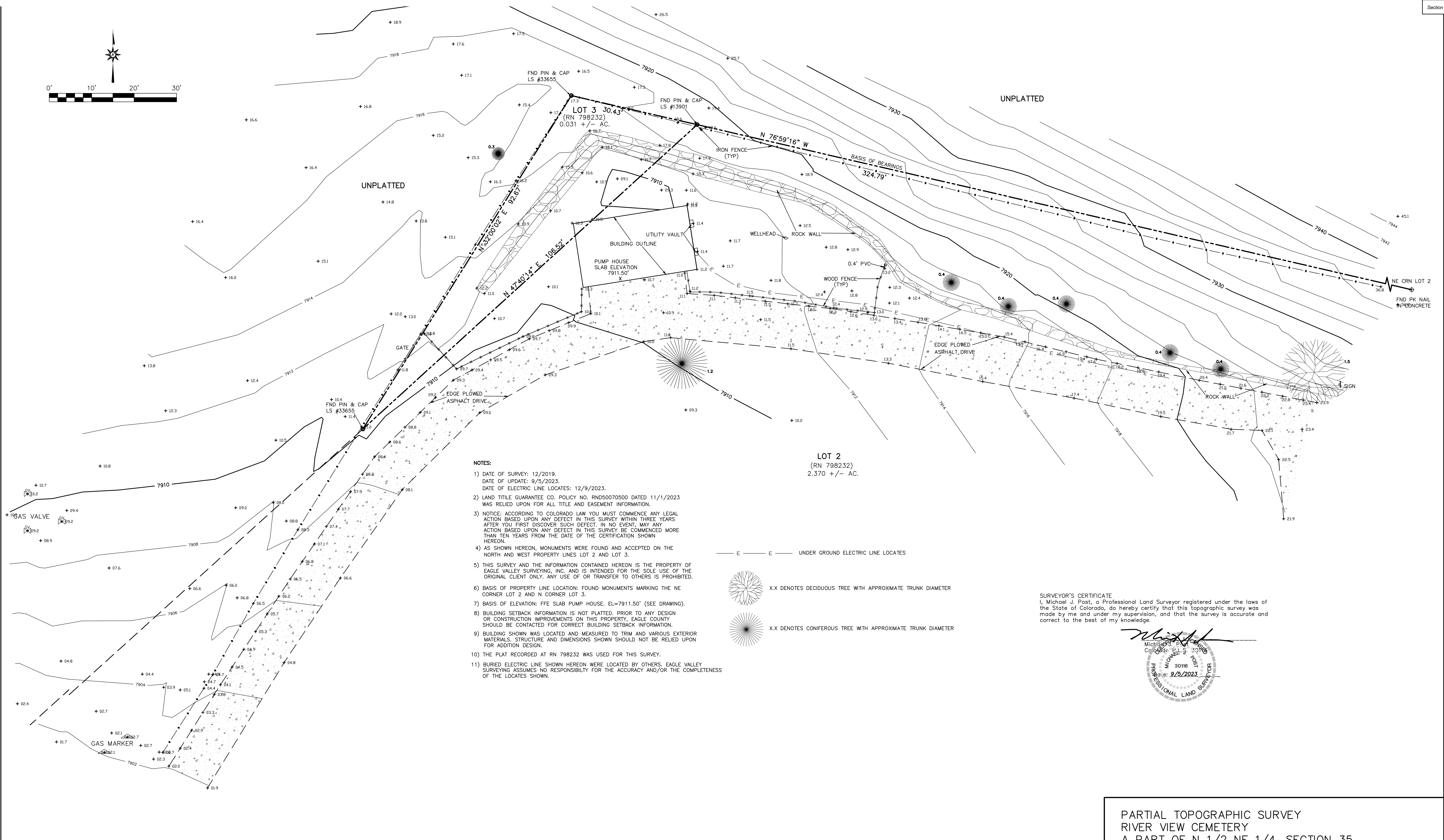
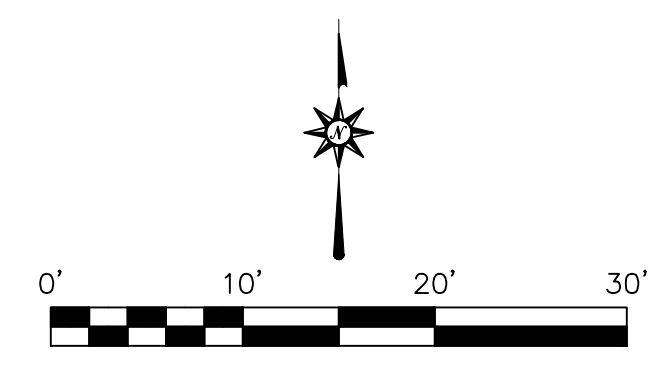




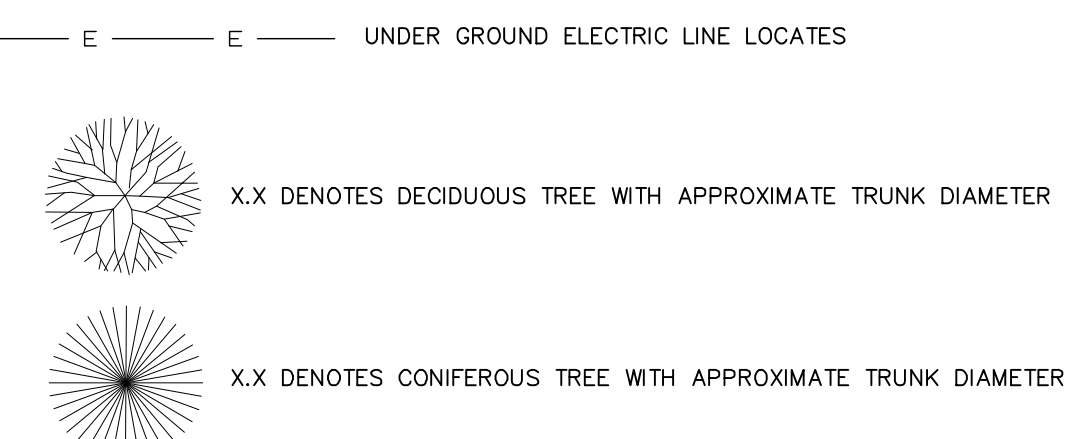


AERIAL IMAGE OF EXISTING CEMETERY PROPERTY

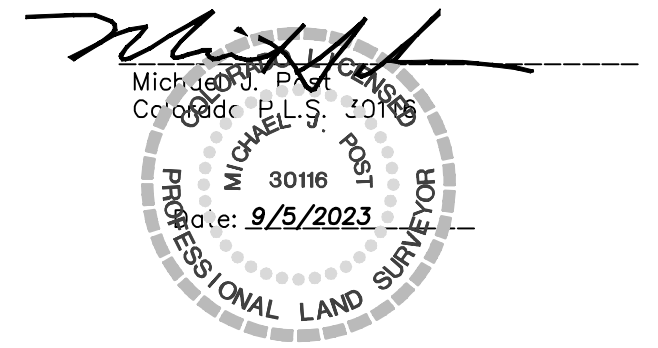




- NOTES:**
- 1) DATE OF SURVEY: 12/2019.
DATE OF UPDATE: 9/5/2023.
DATE OF ELECTRIC LINE LOCATES: 12/9/2023.
 - 2) LAND TITLE GUARANTEE CO. POLICY NO. RND50070500 DATED 11/1/2023 WAS RELIED UPON FOR ALL TITLE AND EASEMENT INFORMATION.
 - 3) NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
 - 4) AS SHOWN HEREON, MONUMENTS WERE FOUND AND ACCEPTED ON THE NORTH AND WEST PROPERTY LINES LOT 2 AND LOT 3.
 - 5) THIS SURVEY AND THE INFORMATION CONTAINED HEREON IS THE PROPERTY OF EAGLE VALLEY SURVEYING, INC. AND IS INTENDED FOR THE SOLE USE OF THE ORIGINAL CLIENT ONLY. ANY USE OF OR TRANSFER TO OTHERS IS PROHIBITED.
 - 6) BASIS OF PROPERTY LINE LOCATION: FOUND MONUMENTS MARKING THE NE CORNER LOT 2 AND N CORNER LOT 3.
 - 7) BASIS OF ELEVATION: FFE SLAB PUMP HOUSE. EL=7911.50' (SEE DRAWING).
 - 8) BUILDING SETBACK INFORMATION IS NOT PLATTED. PRIOR TO ANY DESIGN OR CONSTRUCTION IMPROVEMENTS ON THIS PROPERTY, EAGLE COUNTY SHOULD BE CONTACTED FOR CORRECT BUILDING SETBACK INFORMATION.
 - 9) BUILDING SHOWN WAS LOCATED AND MEASURED TO TRIM AND VARIOUS EXTERIOR MATERIALS. STRUCTURE AND DIMENSIONS SHOWN SHOULD NOT BE RELIED UPON FOR ADDITION DESIGN.
 - 10) THE PLAT RECORDED AT RN 798232 WAS USED FOR THIS SURVEY.
 - 11) BURIED ELECTRIC LINE SHOWN HEREON WERE LOCATED BY OTHERS. EAGLE VALLEY SURVEYING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY AND/OR THE COMPLETENESS OF THE LOCATES SHOWN.



SURVEYOR'S CERTIFICATE
I, Michael J. Post, a Professional Land Surveyor registered under the laws of the State of Colorado, do hereby certify that this topographic survey was made by me and under my supervision, and that the survey is accurate and correct to the best of my knowledge.



PARTIAL TOPOGRAPHIC SURVEY
RIVER VIEW CEMETERY
A PART OF N 1/2 NE 1/4, SECTION 35
TOWNSHIP 5 SOUTH, RANGE 81 WEST, 6TH P.M.
EAGLE COUNTY, COLORADO




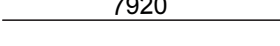




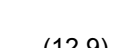




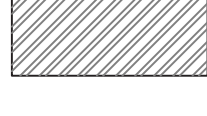
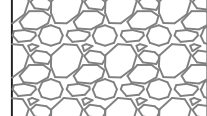
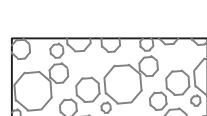
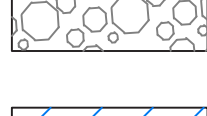

EAGLE VALLEY SURVEYING, INC.
41199 HIGHWAY 6 & 24, EAGLE-VALE
P.O. BOX 1230
EDWARDS, CO. 81632
(970)949-1406

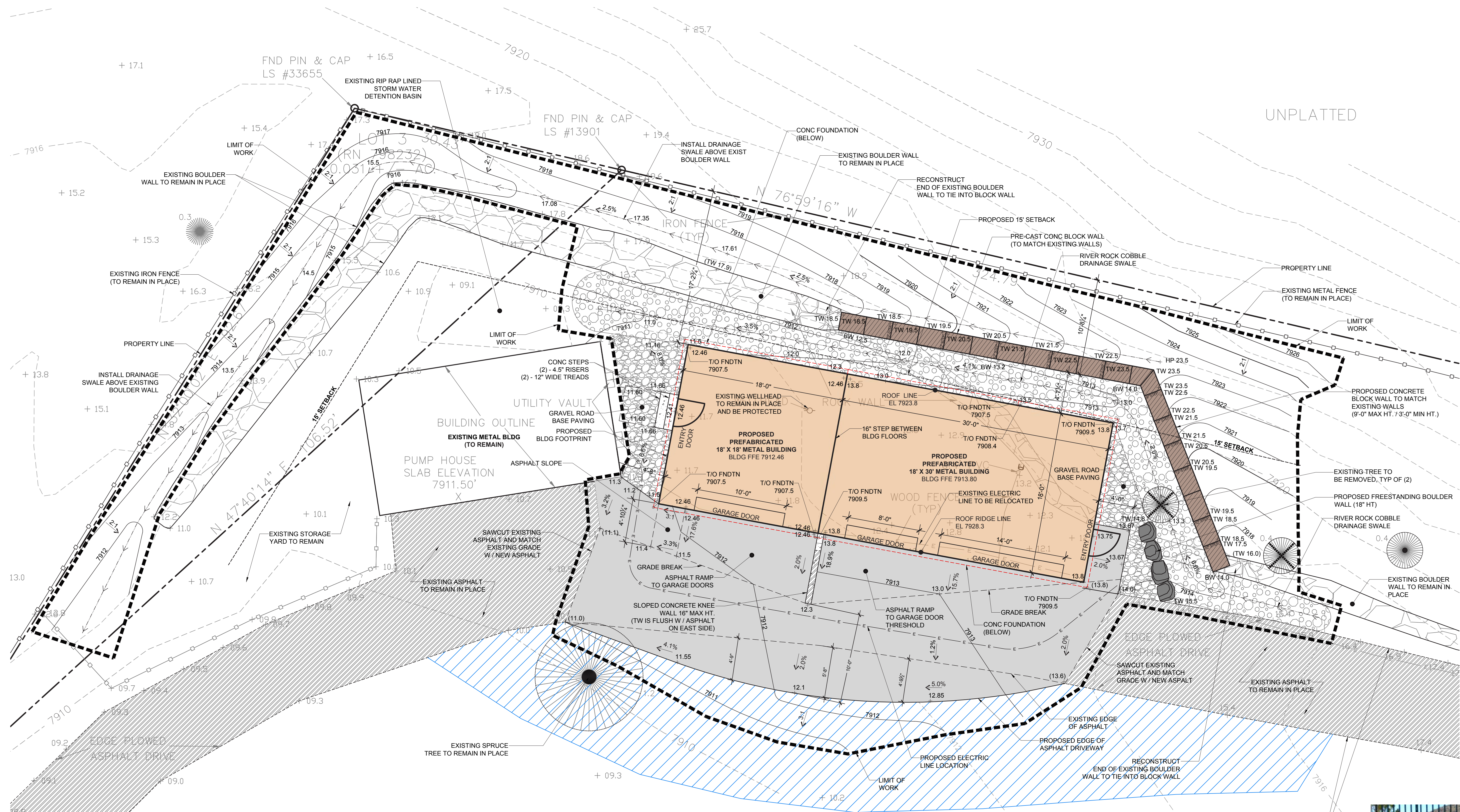
1747-T2-2023.DWG	DATE: 12/2012
DRN. BY: M. POST	PAGE: 1 OF 1

JOB No. 1747



SYMBOL LEGEND:

-  EXISTING TREE TO REMAIN
TYP OF (2)
-  EXISTING TREE TO BE REMOVED
TYP OF (2)
-  PROPERTY LINE
-  PROPOSED CONTOUR
-  EXISTING CONTOUR
-  EXISTING ELECTRIC LINE
-  PROPOSED ELECTRIC LINE (RELOCATED)
-  LIMIT OF WORK
-  PROPOSED SPOT ELEVATION
-  EXISTING SPOT ELEVATION
-  PROPOSED MAINTENANCE BUILDINGS
AREA: 864 SQ FT
-  NEW ASPHALT PAVING
QTY: 944.93 SQ FT
-  EXISTING ASPHALT PAVING
(TO REMAIN IN PLACE)
-  GRAVEL ROAD BASE PAVING
QTY: 165
PRODUCT: COMPACTED CDOT CLASS 6 ROAD BASE
-  RIVER ROCK COBBLE
QTY: 462
TYPE: 3 - 6" RIVER ROCK
-  SNOW STORAGE AREA
QTY: 1,089 SF
-  PRE-CAST CONCRETE BLOCK RETAINING WALL
QTY: 57.5 LF
PRODUCT: TO MATCH EXISTING WALLS
-  SITE SALVAGED BOULDERS
QTY: 9 LF
SIZE: 30" X 21" X 24"



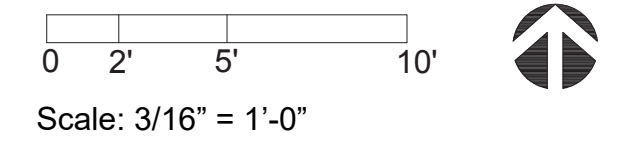
UNPLATTED

SITE AREA CALCULATIONS:

TOTAL AREA OF LOT 2 = 2.370 AC (103,237.2 SF)
EXISTING IMPERVIOUS SURFACE COVERAGE
BUILDING AREA = 413.5 SF
PAVED AREAS + WALLS = 14,467.5 SF
TOTAL = 14,881 SF (14% OF TOTAL LOT 2 AREA)
PROPOSED IMPERVIOUS SURFACE COVERAGE BEING ADDED AS A RESULT OF THIS PROJECT:
BUILDING AREA = 864 SF
PAVED AREAS + WALL = 456.5 SF
TOTAL = 1,320.5 SF (1.3% OF TOTAL LOT 2 AREA)
TOTAL PROPOSED IMPERVIOUS SURFACE COVERAGE = 16,201.2 SF (15.7% OF TOTAL LOT 2 AREA)
PROPOSED SNOW STORAGE AREA = 1,089 SF (69% ADJACENT ASPHALT PAVING)

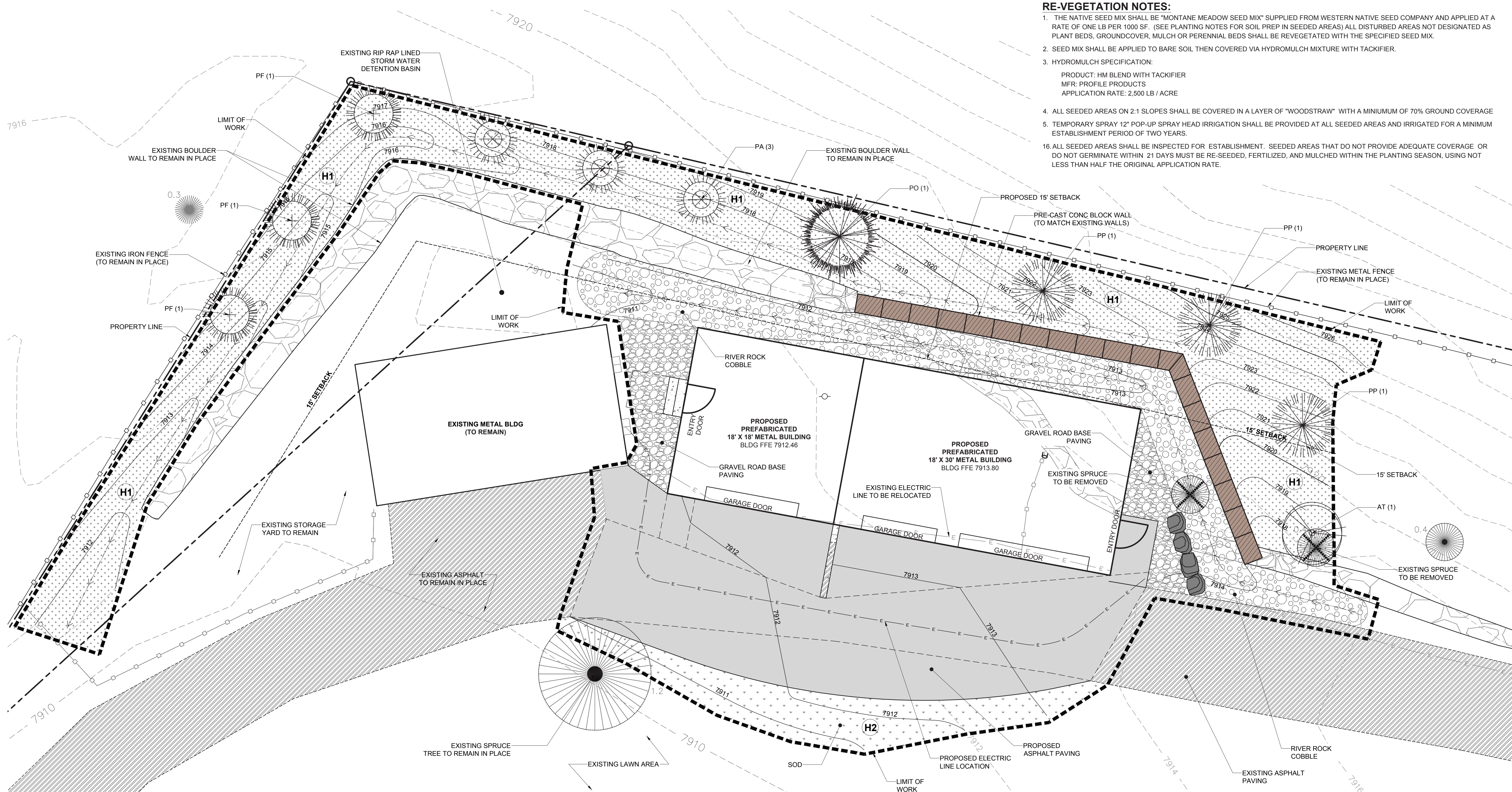
EXISTING CEMETERY PLOTS (LAWN AREA)

LOT 2 (RN 798232) 2.370 +/- AC.



Proposed Concrete Block Wall to Match Existing Walls





RE-VEGETATION NOTES:

- THE NATIVE SEED MIX SHALL BE "MONTANE MEADOW SEED MIX" SUPPLIED FROM WESTERN NATIVE SEED COMPANY AND APPLIED AT A RATE OF ONE LB PER 1000 SF. (SEE PLANTING NOTES FOR SOIL PREP IN SEEDED AREAS) ALL DISTURBED AREAS NOT DESIGNATED AS PLANT BEDS, GROUND COVER, MULCH OR PERENNIAL BEDS SHALL BE REVEGETATED WITH THE SPECIFIED SEED MIX.
- SEED MIX SHALL BE APPLIED TO BARE SOIL THEN COVERED VIA HYDROMULCH MIXTURE WITH TACKIFIER.
- HYDROMULCH SPECIFICATION:
 PRODUCT: HM BLEND WITH TACKIFIER
 MFR: PROFILE PRODUCTS
 APPLICATION RATE: 2,500 LB / ACRE
- ALL SEEDED AREAS ON 2:1 SLOPES SHALL BE COVERED IN A LAYER OF "WOODSTRAW" WITH A MINIMUM OF 70% GROUND COVERAGE
- TEMPORARY SPRAY 12" POP-UP SPRAY HEAD IRRIGATION SHALL BE PROVIDED AT ALL SEEDED AREAS AND IRRIGATED FOR A MINIMUM ESTABLISHMENT PERIOD OF TWO YEARS.
- ALL SEEDED AREAS SHALL BE INSPECTED FOR ESTABLISHMENT. SEEDED AREAS THAT DO NOT PROVIDE ADEQUATE COVERAGE OR DO NOT GERMINATE WITHIN 21 DAYS MUST BE RE-SEEDED, FERTILIZED, AND MULCHED WITHIN THE PLANTING SEASON, USING NOT LESS THAN HALF THE ORIGINAL APPLICATION RATE.

LANDSCAPE LEGEND:

- EXISTING TREE TO REMAIN
TYP OF (2)
- EXISTING TREE TO BE REMOVED
TYP OF (2)
- PROPERTY LINE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- LIMIT OF WORK
- HOT WINGS TARTARIAN MAPLE (AT)**
Acer tartaricum 'Hot Wings'
QTY: 1
SIZE: 3" CALIPER
- COLORADO BLUE SPRUCE (PP)**
Picea pungens 'Glauca'
QTY: 3
SIZE: 12" HT.
- BRISTLECONE PINE (PA)**
Pinus aristata
QTY: 3
SIZE: 8" HT.
- LIMBER PINE (PF)**
Pinus flexilis
QTY: 3
SIZE: 10" HT.
- PONDEROSA PINE (PO)**
Pinus ponderosa
QTY: 1
SIZE: 12" HT.
- NATIVE SEED**
QTY: 1,361 SF
PRODUCT: MONTANE MEADOW MIX
SUPPLIER: WESTERN NATIVE SEED
- SOD**
QTY: 237 SF
TYPE: KENTUCKY BLUEGRASS
- PRE-CAST CONCRETE BLOCK RETAINING WALL**
QTY: 57.5 LF
PRODUCT: TO MATCH EXISTING WALLS
- SITE SALVAGED BOULDERS**
QTY: 9 LF
SIZE: 30" X 21" X 24"

PLANTING NOTES AND SPECIFICATIONS:

- ALL PLANT MATERIALS SHALL BE NURSERY GROWN. PLANTS SHALL BE HEALTHY AND FREE OF DISEASE AND PESTS. ALL PLANT MATERIAL IS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR SHALL SUPPLY PHOTOS AND LOCATION OF THE SOURCE OF ALL TREES AND SHRUBS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO DELIVERY OF MATERIALS TO THE PROJECT SITE(S).
- ALL CONTAINER PLANTS SHALL HAVE BEEN GROWN IN THE CONTAINERS IN WHICH THEY ARE DELIVERED FOR A MINIMUM OF TWO MONTHS, BUT NOT MORE THAN TWO YEARS FOR SHRUBS AND GRASSES AND ONE YEAR FOR PERENNIALS AND GROUND COVERS.
- PLANTING BACKFILL IS TO CONSIST OF 66% NATIVE TOPSOIL AND 33% ORGANIC COMPOST TO A DEPTH OF 8". TILL 6" OF TOPSOIL IMPORT AND 2" OF COMPOST FOR ALL AREAS TO BE PLANTED. PROVIDE A 36" DEPTH OF PLANTING BACKFILL AROUND ALL TREES
- ALL TREES AND SHRUBS SHALL HAVE 3" DEPTH MULCH RINGS INSTALLED TO THE OUTSIDE EDGE OF THE ROOT BALL
- TREES SHALL HAVE ALL BINDING MATERIAL REMOVED AROUND THE BASE ON THE TRUNK AND BURLAP MATERIALS REMOVED AT LEAST HALFWAY TO THE MIDDLE OF THE ROOT BALL PRIOR TO BACKFILLING AND PLANTING.
- SOIL PREPARATION OF ALL SOD OR NATIVE SEED AREAS WILL INCLUDE THE FOLLOWING:
 - LOOSENING THE SOIL TO A MINIMUM OF 4" DEPTH REMOVING ROCKS OVER 2" IN DIAMETER, ROOTS, STICKS, DEBRIS AND ANY OTHER EXTRANEIOUS MATERIAL.

- AMENDING SOIL WITH 2" COMPOST AND 2" TOPSOIL, AND TILLING TO A MINIMUM 6" DEPTH.
- GRADED TO A SMOOTH, FREE DRAINING EVEN SURFACE WITH A LOOSE, MODERATELY COARSE TEXTURE. REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO DRAIN.
- FILL ANY VERTICAL STRIATIONS AND GULLIES PRIOR TO APPLYING HYDROSEED
- ONE APPLICATION OF A DI-AMMONIUM PHOSPHATE FERTILIZER, 18-46-0, SHALL BE BROADCAST PRIOR TO SEEDING AT A RATE OF 8 LBS. PER 1000 S.F. NATIVE SEED SHALL BE
- NATIVE SEED SHALL BE BROADCAST BY HAND THEN COVERED VIA HYDROMULCH SLURRY WITH UNIFORM COVERAGE OVER ENTIRE SEEDED AREA. (SEE RE-VEGETATION NOTES)
- ALL SEEDED AREAS SHALL BE INSPECTED FOR ESTABLISHMENT. SEEDED AREAS THAT DO NOT PROVIDE ADEQUATE COVERAGE OR DO NOT GERMINATE WITHIN 21 DAYS MUST BE RE-SEEDED, FERTILIZED, AND MULCHED WITHIN THE PLANTING SEASON, USING NOT LESS THAN HALF THE ORIGINAL APPLICATION RATE.
- EVERGREEN TREES GREATER THAN 6" ARE TO BE STAKED WITH (3) 5" STEEL T-STAKES AND GUYED WITH GALVANIZED WIRE. SEE PLANTING DETAILS
- CONTRACTOR SHALL BE RESPONSIBLE FOR ERADICATION, REMOVAL, DISPOSAL OF WEEDS WITHIN THE LIMITS OF WORK DURING THE CONSTRUCTION PERIOD AND THROUGH THE PROJECT'S FINAL ACCEPTANCE.
- AT THE TIME OF PLANTING ALL NEWLY PLANTED TREES AND SHRUBS SHALL BE FERTILIZED WITH BIOSOIL MIX, ALL PURPOSE FERTILIZER PER MANUFACTURER'S SPECIFICATIONS. THIS FERTILIZER TO BE MIXED IN WITH PLANTING BACKFILL. PLEASE CONTACT ROCKY MOUNTAIN BIO-PRODUCTS, 10801 E. 54TH AVENUE, DENVER, CO. 80239, PHONE (303) 696-8964.
- PRIOR TO PLANTING OR SEEDING, THE IRRIGATION SYSTEM SHALL BE FULLY IN PLACE AND OPERATIONAL.
- ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH SOD OR MATERIALS THAT MATCH ADJACENT CONDITIONS.
- ALL EXCESS NATIVE SOIL RESULTING FROM SOIL PREP SHALL BE DISPOSED OF AND REMOVED FROM THE SITE OR STOCKPILED IN LOCATION APPROVED BY OWNER.

IRRIGATION NOTES:

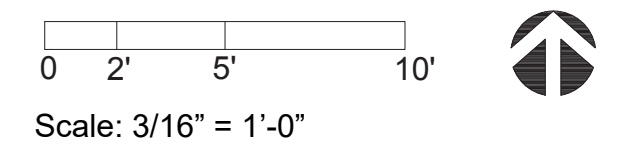
- IRRIGATION SYSTEM IS TO BE DESIGN BUILD BY CONTRACTOR
- EXISTING IRRIGATION SYSTEM SHALL BE MODIFIED TO ACCOMMODATE NEW PAVING EXTENTS AND LANDSCAPING.
- AUTOMATIC DRIP EMITTER IRRIGATION SHALL BE PROVIDED AT ALL NEW TREES, SHRUBS, AND GRASSES. AUTOMATIC MICRO-SPRAY OR SUBSURFACE DRIP IRRIGATION SHALL BE PROVIDED AT ALL PERENNIAL BEDS. AUTOMATIC 6" POP-UP SPRAY HEADS OR ROTORS SHALL BE PROVIDED FOR SOD OR LAWN AREAS. ALL OVERHEAD IRRIGATION HEADS SHALL BE SPACED ON CENTER PER THEIR COVERAGE RADIUS TO PROVIDE EVEN AND EFFICIENT WATERING. ALL SPRAY HEADS SHALL BE INSTALLED WITH A SWING PIPE CONNECTION AT EACH HEAD.
- FLUSH DIRT AND DEBRIS FROM PIPING BEFORE INSTALLING SPRINKLERS AND OTHER DEVICES.
- MAINLINE IS TO BE BURIED 12"-18" BELOW FINISHED GRADE. LATERAL PIPES SHALL BE BURIED 8"-12" BELOW FINISHED GRADE IN LANDSCAPED AREAS AND A MINIMUM OF 2" BELOW FINISHED GRADE IN NATIVE/UNDISTURBED AREAS. ALL PIPE TRENCHES SHALL BE FREE OF ROCKS AND DEBRIS PRIOR TO PIPE INSTALLATION. BACKFILL TRENCHES WITH SOIL THAT IS FREE OF ROCKS AND DEBRIS.
- PROVIDE SCHEDULE 80 4" PVC SLEEVING BELOW ALL HARDSCAPE TO ADJACENT PLANTING AREAS.

EROSION CONTROL & SITE PROTECTION NOTES & SPECIFICATIONS:

- SILT FENCE, WADDLES, OR HAY BALES ARE TO BE PLACED AT THE LIMIT OF CONSTRUCTION AS NEEDED TO PREVENT EROSION AND SEDIMENTATION. A CONSTRUCTION FENCE WILL BE PLACED AT THE LIMIT OF DISTURBANCE WHERE THE SILT FENCE OR HAY BALES ARE NOT USED.
- ALL TREES WITHIN THE LIMITS OF DISTURBANCE THAT ARE TO BE PRESERVED SHALL BE PROTECTED AT EVERGREEN TREES WITH SNOW FENCING AT DRIP-LINE, AT DECIDUOUS TREES USE SNOW FENCING AT DRIP-LINE. IF YOU CANNOT PROVIDE SNOW FENCE @ DRIP-LINE DUE TO CONSTRUCTION PROXIMITY, WRAP TRUNK WITH PLASTIC CORRUGATED CULVERT SECTIONS TO A HEIGHT OF 6' OR TO FIRST MAJOR BRANCH. IF IT IS NECESSARY TO DRIVE WITHIN THE DRIP-LINE OF THE TREE, CONTRACTOR SHALL INSTALL 4" OF BARK MULCH OR WOOD CHIPS IN A RING EXTENDING FROM THE TRUNK TO THE TREE'S DRIP LINE.

- SPECIAL CARE NEEDS TO BE TAKEN FOR TREES WITHIN CONSTRUCTION ACCESS ROUTE AND WORK AREAS. PLASTIC CORRUGATED CULVERT SECTIONS WITH INTERIOR INSULATION OF 1.5" MIN. TO SURROUND TREE TRUNK TO A HEIGHT OF 6' OR TO FIRST MAJOR BRANCH.
- ERECT AND MAINTAIN TEMPORARY FENCING AROUND TREE PROTECTION ZONES BEFORE STARTING SITE CLEARING. REMOVE FENCE WHEN CONSTRUCTION IS COMPLETE. DO NOT STORE CONSTRUCTION MATERIALS, DEBRIS, OR EXCAVATED MATERIAL WITHIN FENCED AREA. DO NOT PERMIT VEHICLES, EQUIPMENT OR FOOT TRAFFIC WITHIN FENCED AREA. MAINTAIN FENCED AREA FREE OF WEEDS AND TRASH.
- ALL DISTURBED AREAS NOT DESIGNATED AS SHRUB BEDS, PERENNIAL BEDS, OR LAWN SHALL BE REVEGETATED WITH THE SPECIFIED SEED MIXTURE. SEE PLANTING NOTE #15 FOR MORE INFORMATION.
- PROVIDE SILT FENCE OR SNOW FENCING AROUND ALL REVEGETATED AREAS FOR A MINIMUM OF ONE YEAR PERIOD OF ESTABLISHMENT (TWO YEARS IDEAL), PARTICULARLY FOR SEEDED SHRUBS.

- HYDRO ZONES**
- H1** NATIVE SEED WITH NATIVE OR ADAPTABLE TREES
TEMPORARY SPRAY IRRIGATION FOR NATIVE SEED
PERMANENT DRIP IRRIGATION TO TREES
LOW TO MEDIUM WATER REQUIREMENTS
 - H2** LAWN AREAS
SPRAY OR ROTOR IRRIGATION
HIGH WATER REQUIREMENT

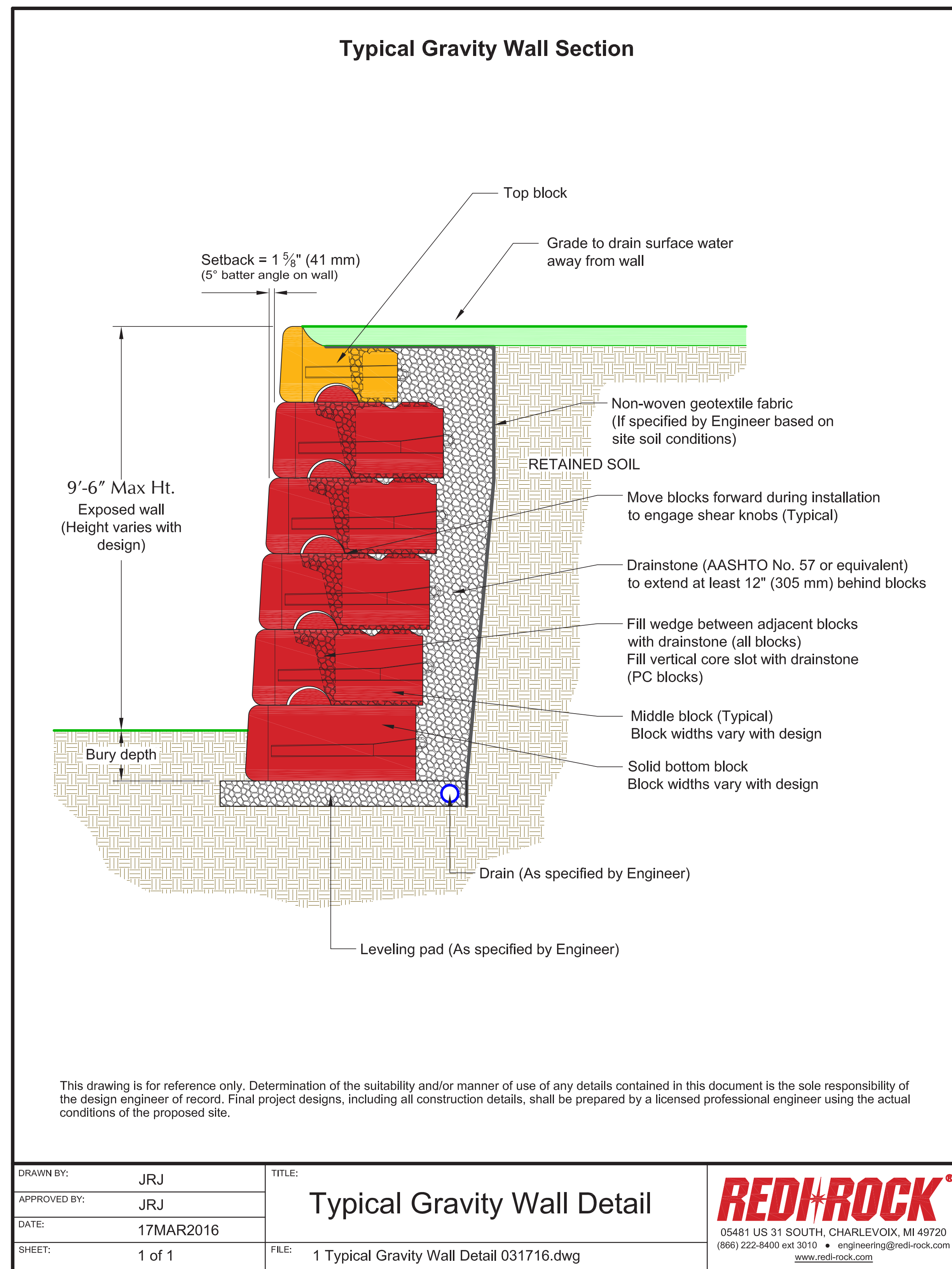


LANDSCAPE MAINTENANCE NOTES:

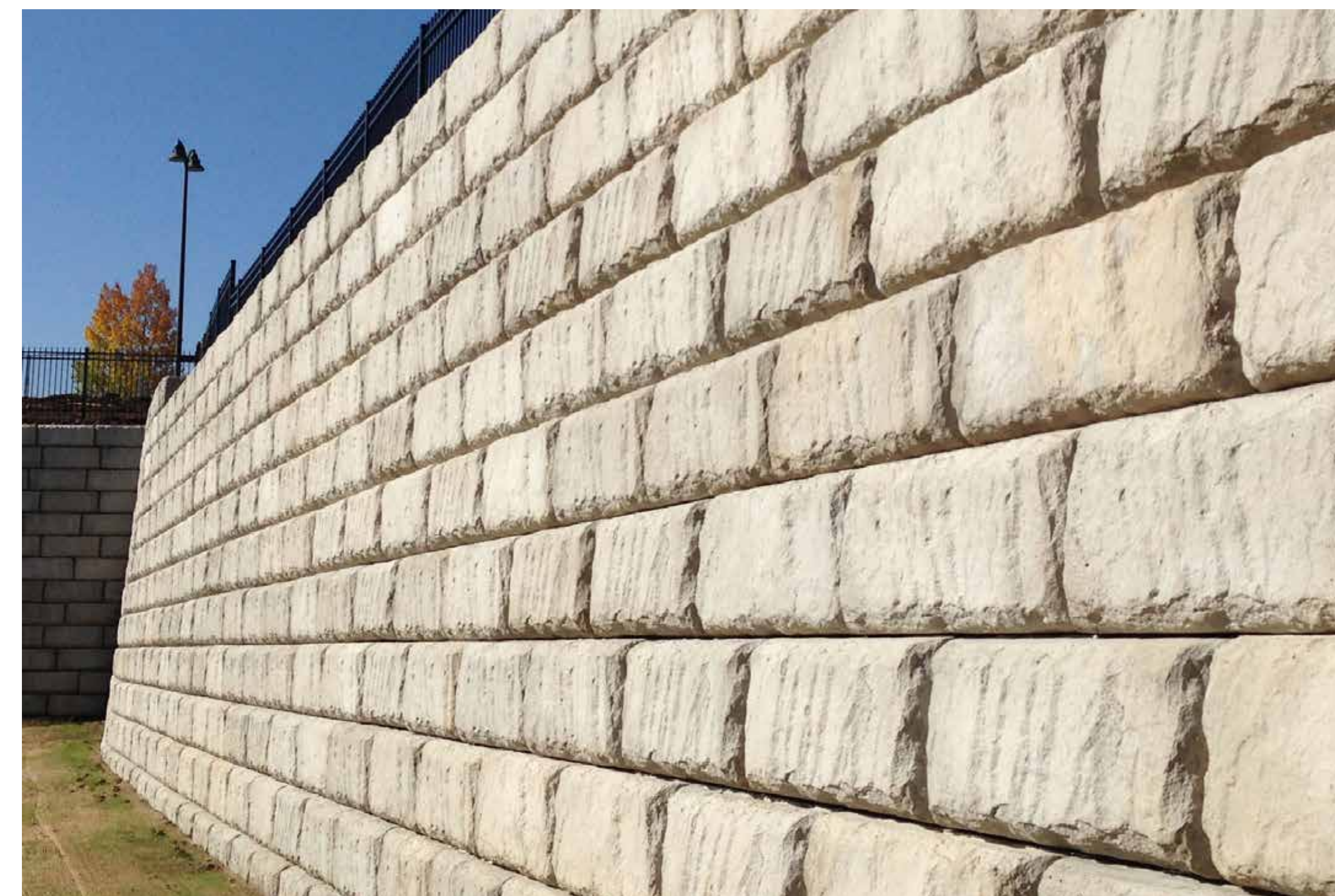
- REMOVED WEEDS IN NATIVE SEED AREAS.
- APPLY WEED CONTROL PESTICIDES TO GRAVEL AND RIVER ROCK COBBLE AREAS AS NEEDED THROUGHOUT THE GROWING SEASON.
- ADD BARK MULCH TO TREE RINGS AS NEEDED ON A SEASONAL BASIS
- PRUNE DEAD BRANCHES FROM TREES AS NEEDED
- CLEAN ALL FILTERS AND INSPECT IRRIGATION SYSTEM FOR PROPER FUNCTION
- APPLY FERTILIZER TO SPRUCE TREES IN SPRING
- MONITOR TREES FOR INFESTATIONS AND RECOMMEND ARBOR SERVICES AS REQUIRED.
- TREAT ALL TREES FOR PEST INFESTATIONS AS REQUIRED
- REMOVE LEAVES AND DEBRIS FROM PLANTING AREAS AND FENCE AS REQUIRED.

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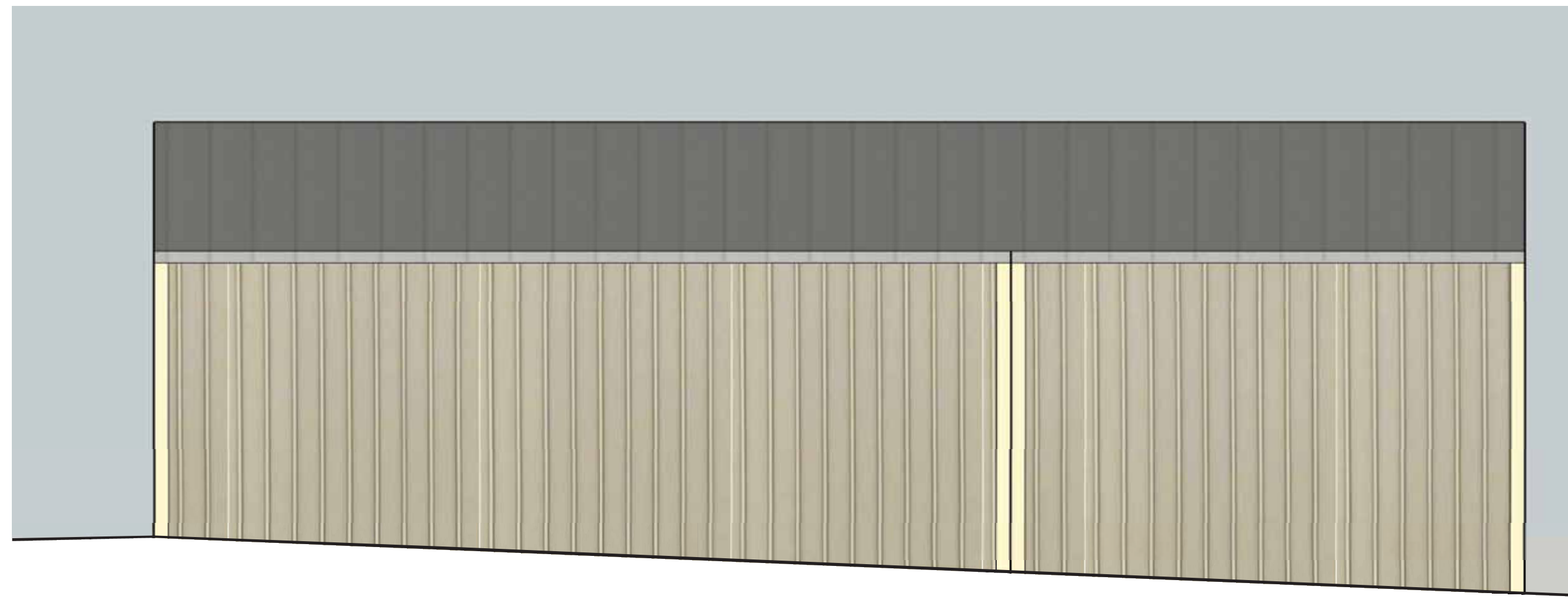




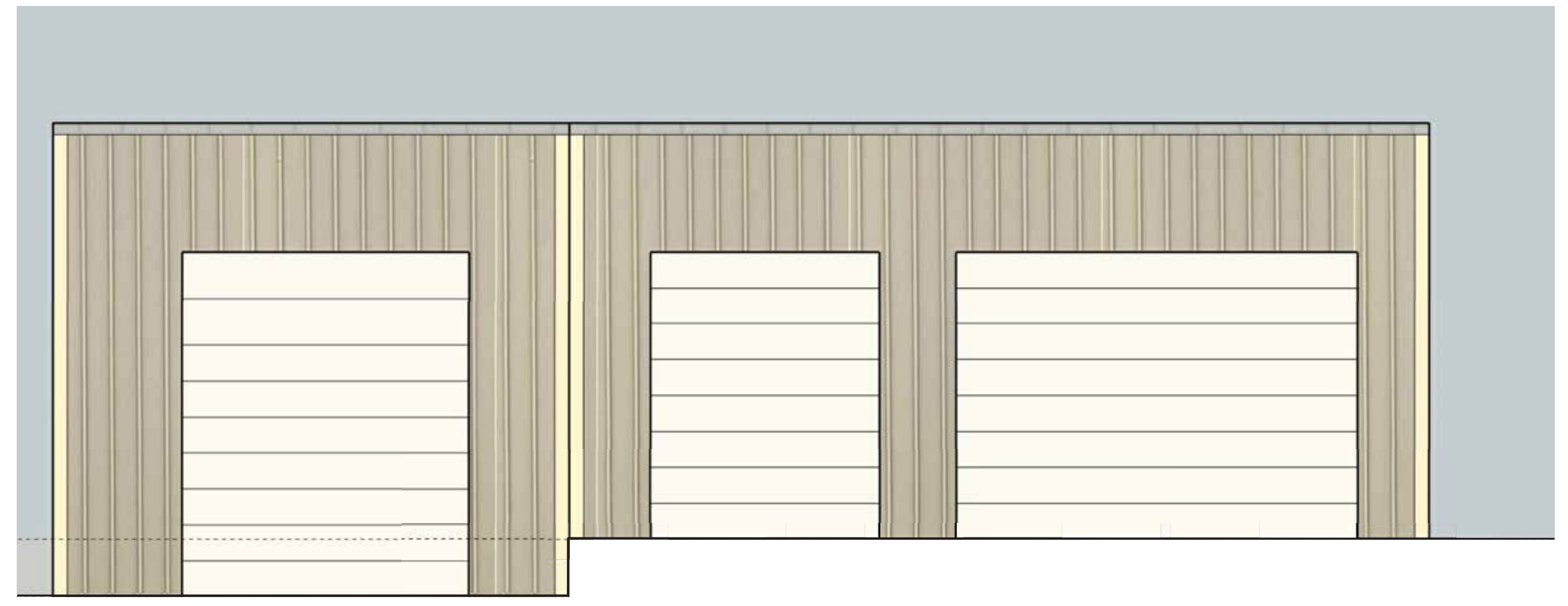
Existing Concrete Block Wall



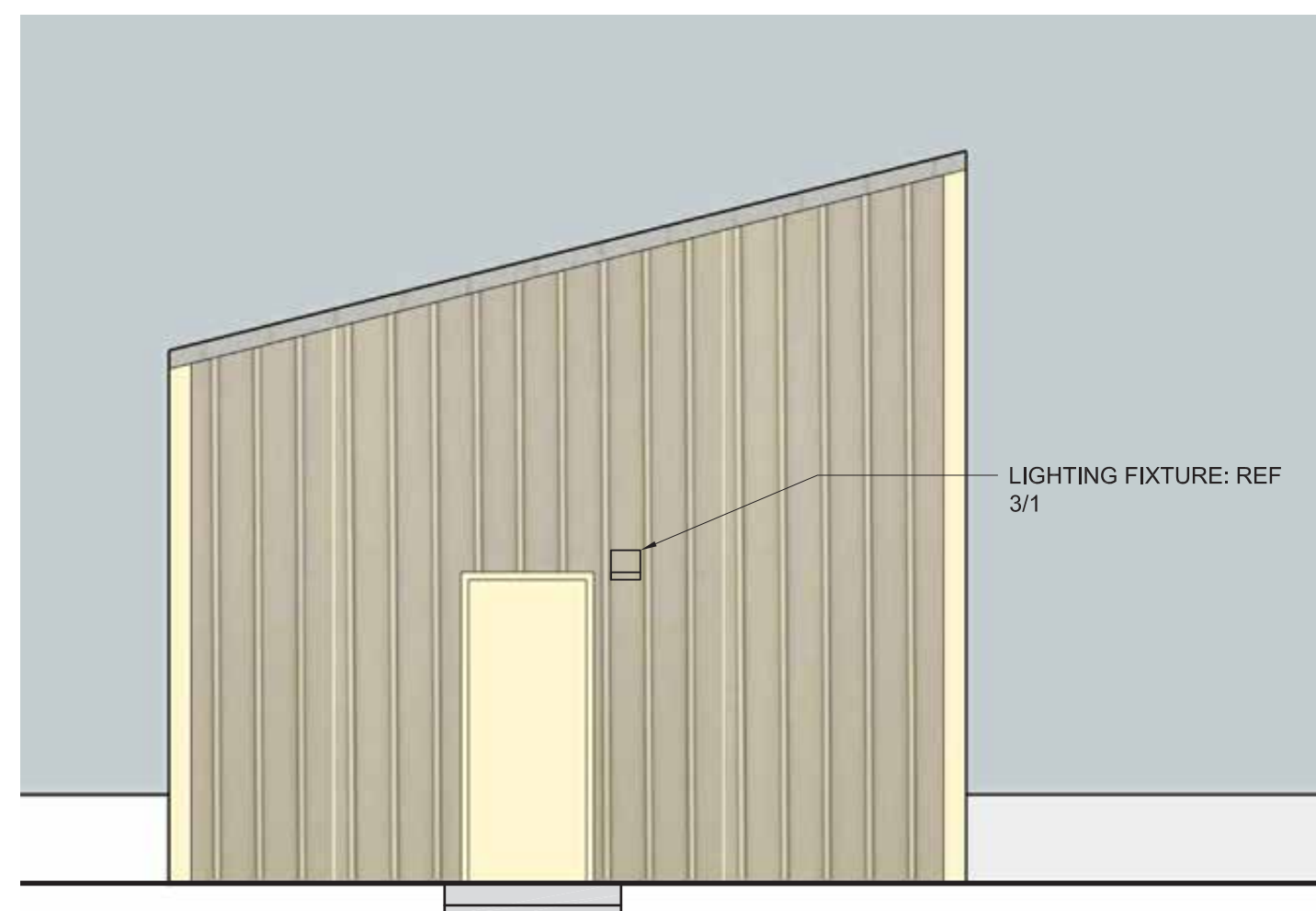
Proposed Concrete Block Wall
Redi-Rock Limestone



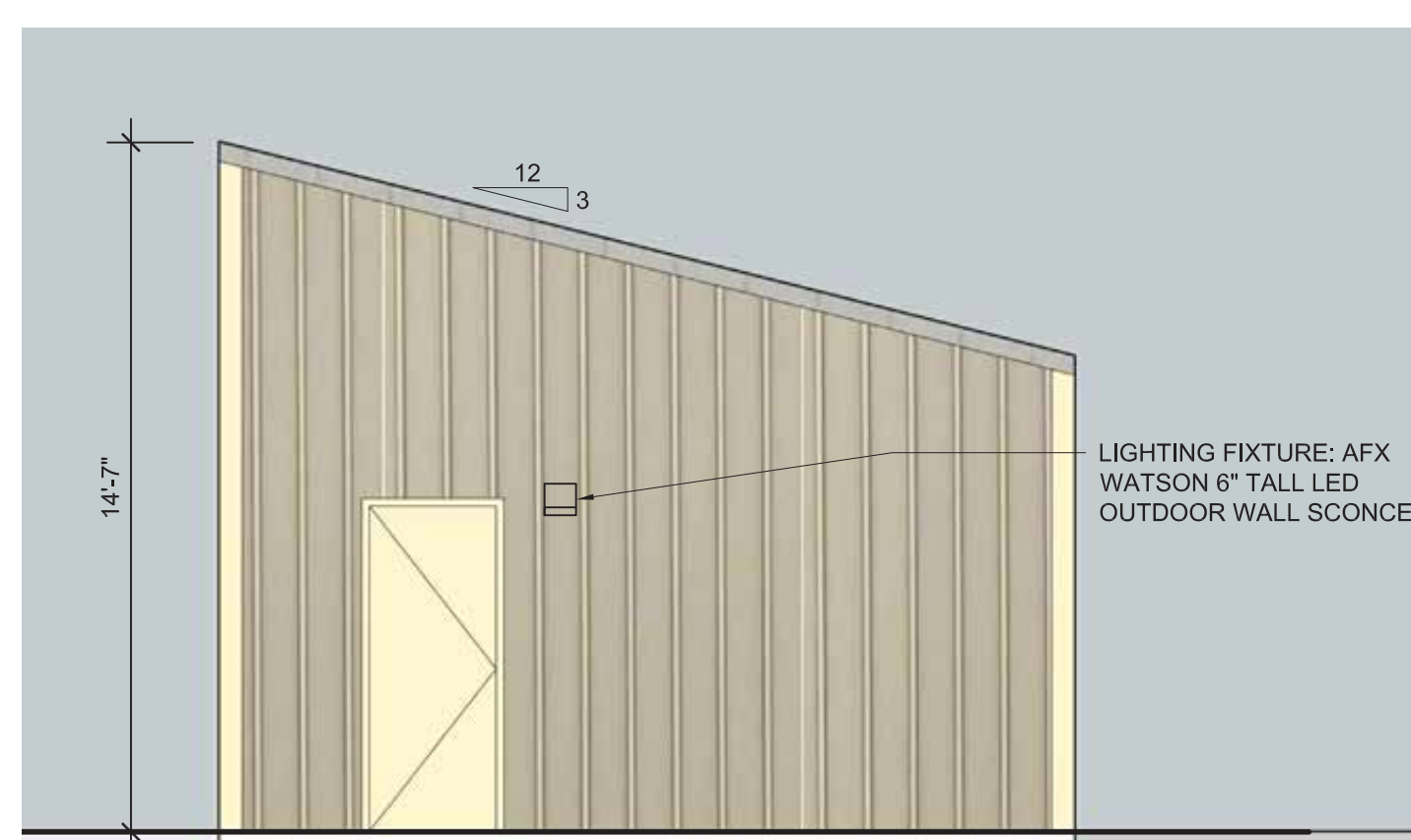
5 EAST ELEVATION
1 1/4" = 1'-0"



2 WEST ELEVATION
1 1/4" = 1'-0"



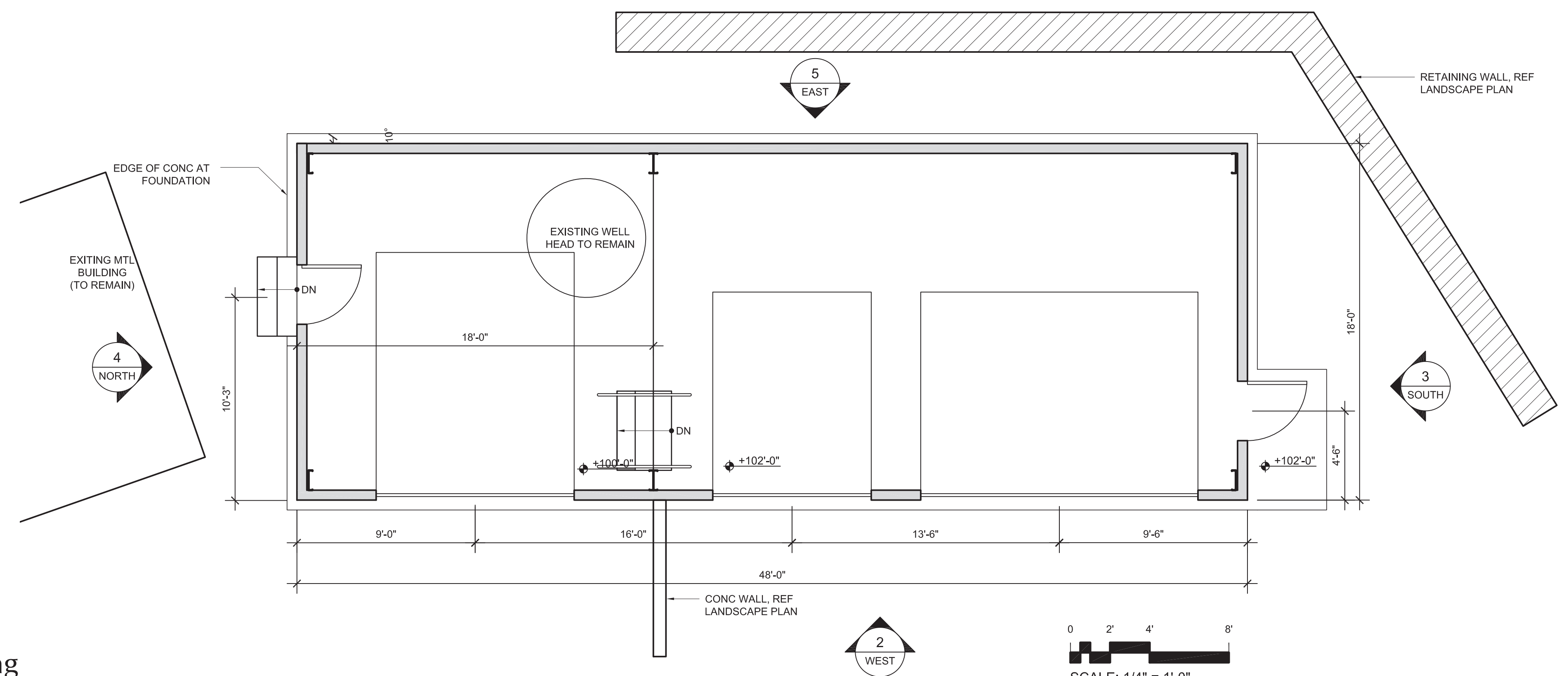
4 NORTH ELEVATION
1 1/4" = 1'-0"



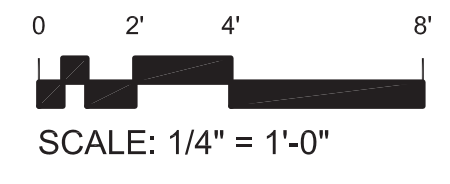
3 SOUTH ELEVATION
1 1/4" = 1'-0"



Exterior Lighting



1 FLOOR PLAN
1 1/4" = 1'-0"





3D Rendering



MATERIALS / COLORS



Existing Maintenance Building

Siding: Corrugated Metal Siding to Match Existing
 Trim: Metal Trim to Match Existing
 Roof: Corrugated Metal to Match Existing

Building Specifications

Building Type

18' - 0" wide x 18' - 0" long x 12' - 0" high building with roof pitch of Single Slope 3:12

Building Options

- (1) Roll up door supplied
- (1) Personnel door supplied

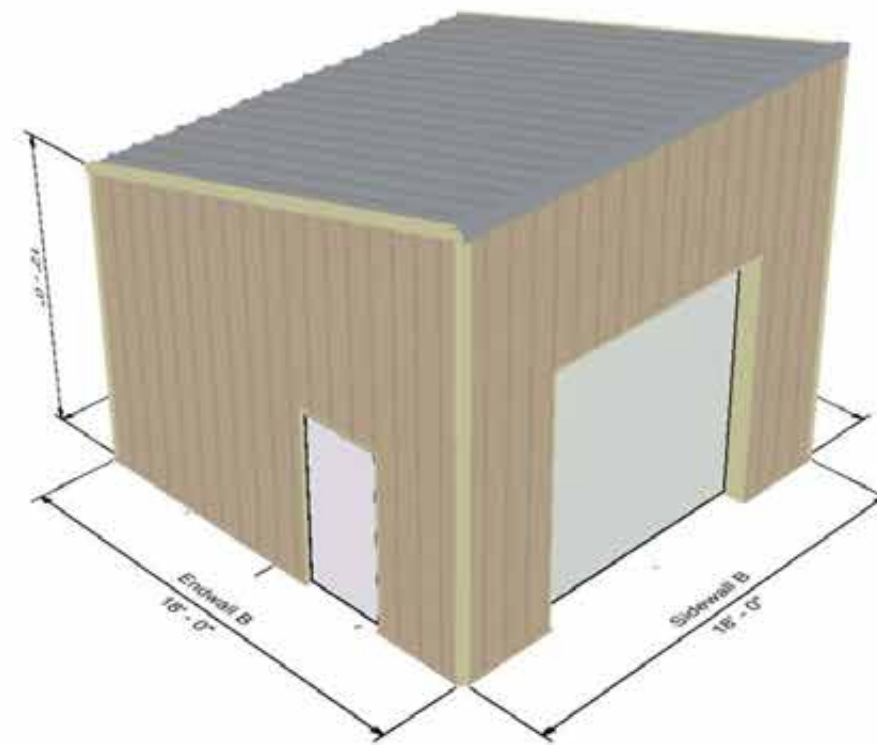
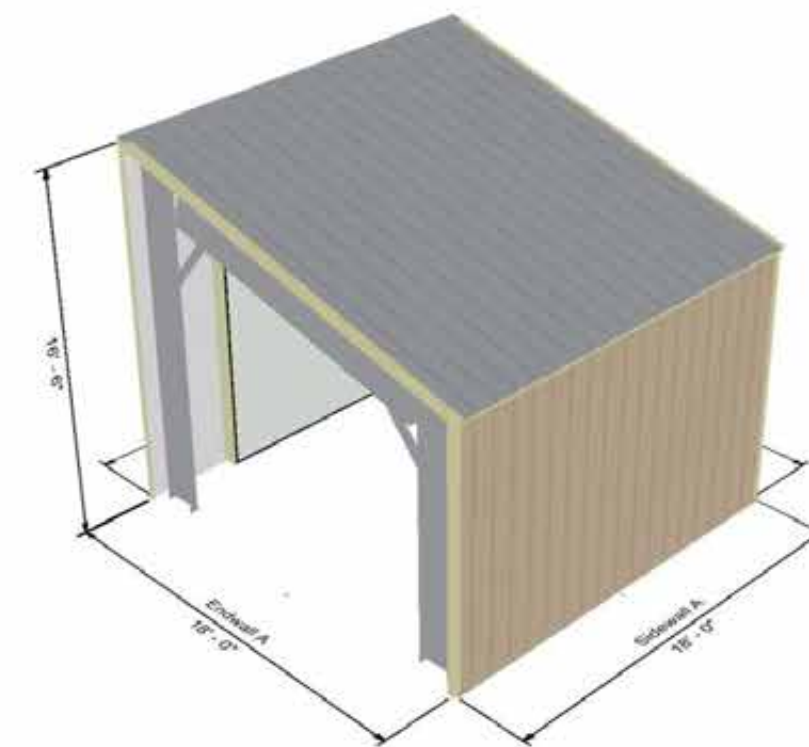
Frame finish: Galvanized Steel

Roof finish: 26G bare

Wall finish: 26G painted

Stamped Engineering Plans:

- 143 psf ground snow load, 100 psf min. roof snow load
- 115 mph wind speed, exposure 'C'
- 2015 IBC



Building & Site Requirements***

Ground Snow Load: 143 psf
 Design Roof Snow Load: 120 psf
 Wind Load/Exposure: 115 mph C
 Building Code: 2015 IBC
 Building Occupancy Category: II
 Building Heating: Unheated
 Extra Roof Dead Load: 3 psf

Building Specifications

Building Type

18' - 0" wide x 30' - 0" long x 10' - 0" high building with roof pitch of Single Slope 3:12

Building Options

- (2) Roll up doors supplied

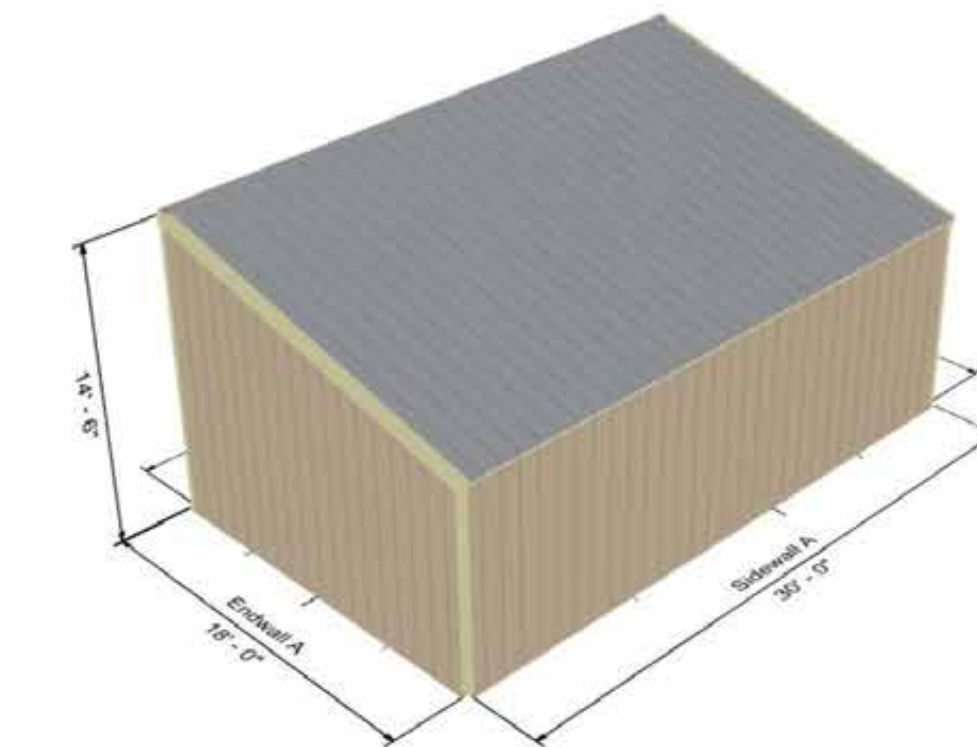
Frame finish: Galvanized Steel

Roof finish: 26G bare

Wall finish: 26G painted

Stamped Engineering Plans:

- 143 psf ground snow load, 100 psf min. roof snow load
- 115 mph wind speed, exposure 'C'
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Building & Site Requirements***

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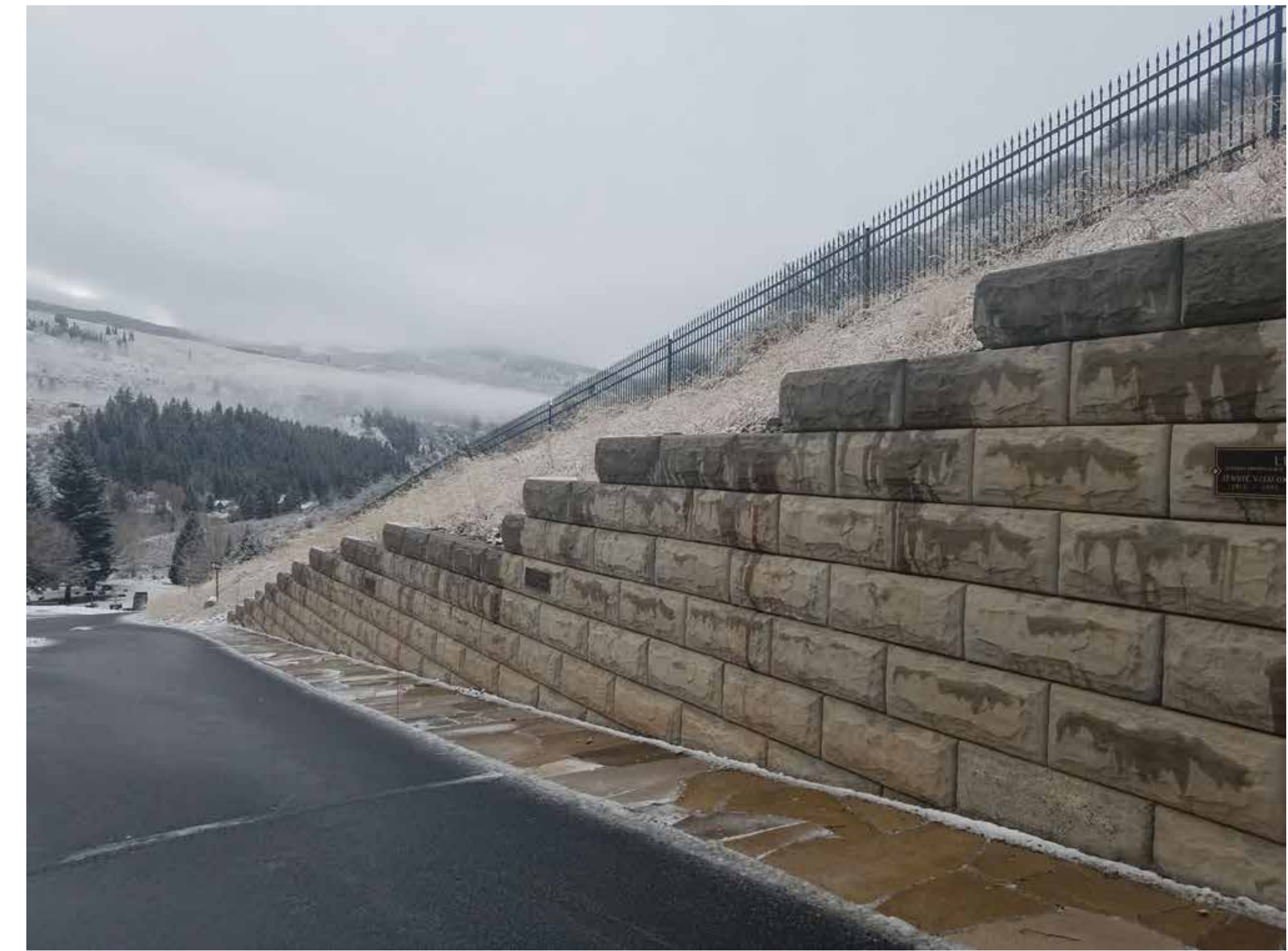




View from hillside above



Access driveway looking northwest



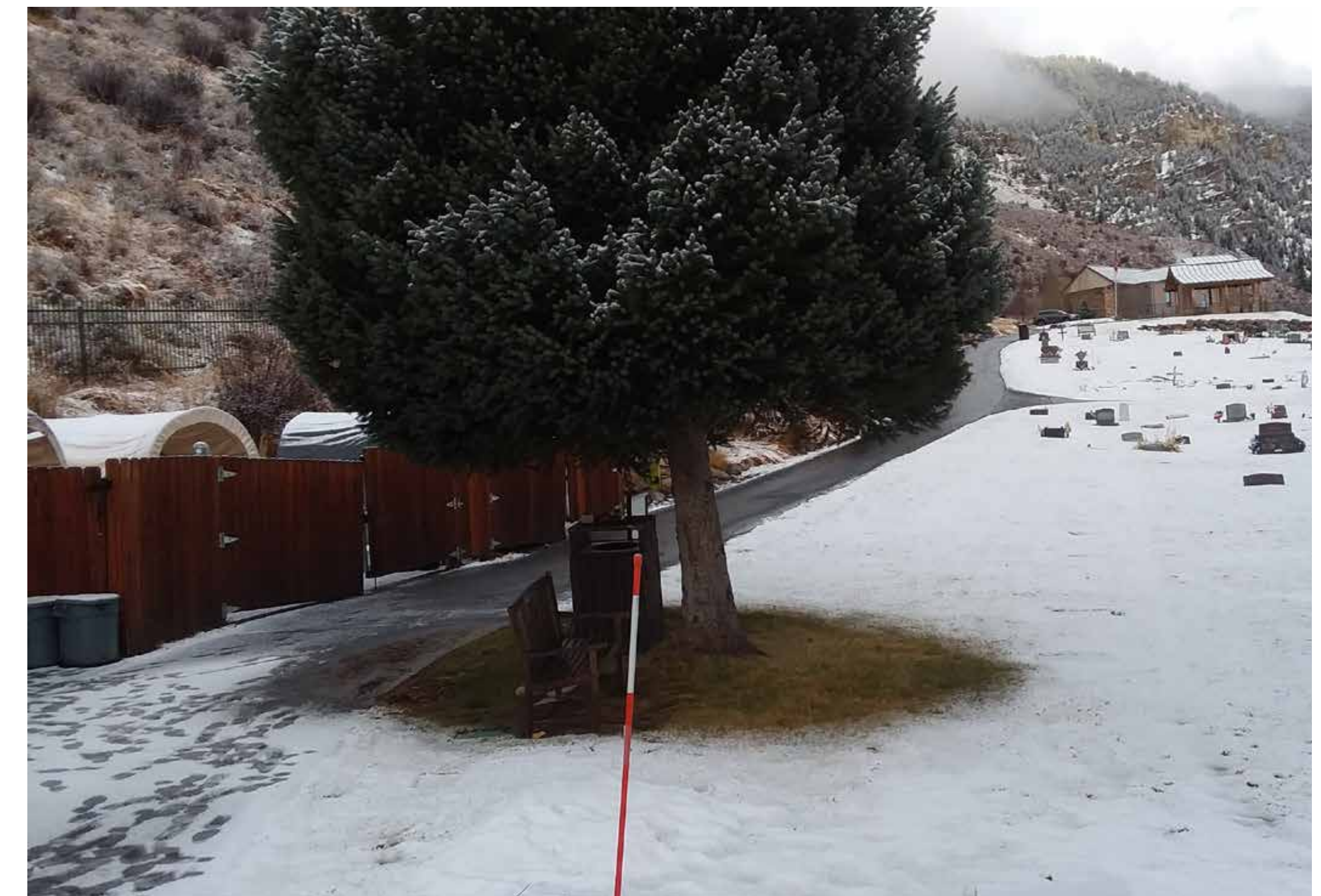
Existing concrete block wall



Existing maintenance building



Existing temporary storage



Existing spruce tree adjacent to site





October 30, 2023

Mr. Jesse Gregg
Zehren and Associates
Via email: jesseg@zehren.com

**RE: Minturn Cemetery
Drainage Calculations for Proposed Maintenance Shed Improvements**

Dear Mr. Gregg

Attached I have prepared drainage calculations that pertain to the proposed Maintenance Shed plans dated- DRB September 26, 2023, submitted to the Town of Minturn.

The existing shed and existing adjacent parking area have an impervious area almost the same footprint as the proposed building and the additional asphalt placed on the access drive. The increase in total impervious area for the proposed construction is only 446 square feet.

The proposed swale above the retaining walls will intercept off-site drainage and route it around the existing and proposed buildings. A new drainage swale below the retaining walls will route developed flow to the existing "detention pond" behind the existing shed. This separates the offsite historic runoff from the proposed runoff (see attached plan).

The storm water runoff calculations were performed using Urban Hydrology for Small Watersheds (TR-55) and criteria from Town Code. Soils Maps, Precipitation tables and spreadsheet calculations are attached.

The existing stormwater detention pond (approximately 280 cubic feet) can adequately contain the existing and proposed impervious area associated with the 100-year storm event (90 cubic feet).

Sincerely,



Matt Wadey, PE
President

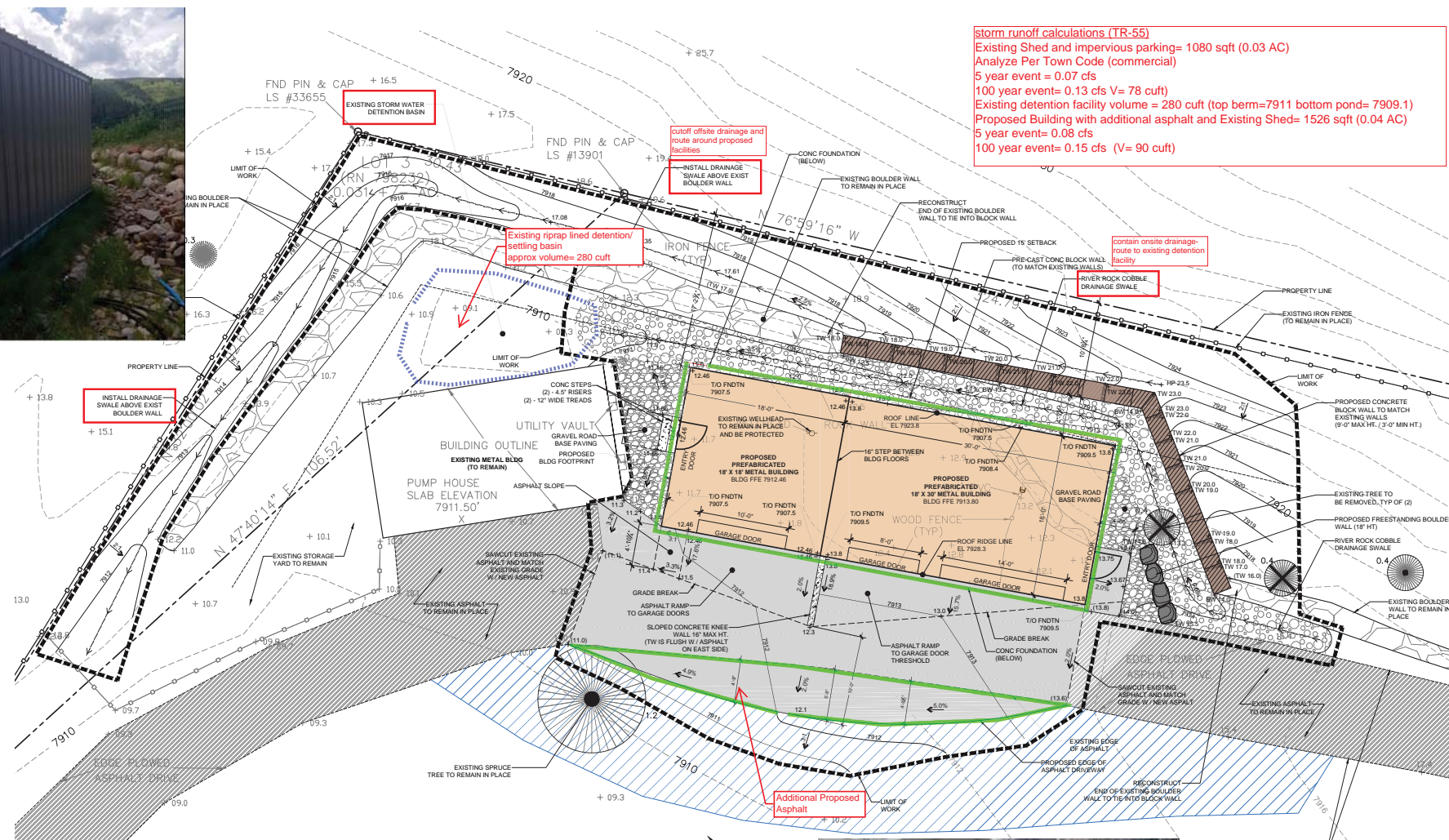


cc: Pedro Campos, Zehren and Associates.

Section 8, Item B.

storm runoff calculations (TR-55)
 Existing Shed and impervious parking = 1080 sqft (0.03 AC)
 Analyze Per Town Code (commercial)
 5 year event = 0.07 cfs
 100 year event = 0.13 cfs V= 78 cuft)
 Existing detention facility volume = 280 cuft (top berm=7911 bottom pond= 7909.1)
 Proposed Building with additional asphalt and Existing Shed = 1526 sqft (0.04 AC)
 5 year event= 0.08 cfs
 100 year event= 0.15 cfs (V= 90 cuft)

- SYMBOL LEGEND:**
- EXISTING TREE TO REMAIN TYP OF (2)
 - EXISTING TREE TO BE REMOVED TYP OF (2)
 - PROPERTY LINE
 - PROPOSED CONTOUR 7920
 - EXISTING CONTOUR 7916
 - LIMIT OF WORK
 - PROPOSED SPOT ELEVATION +18.95
 - EXISTING SPOT ELEVATION +12.9
 - PROPOSED MAINTENANCE BUILDINGS AREA: 864 SQ FT
 - NEW ASPHALT PAVING QTY: 923.36 SQ FT
 - EXISTING ASPHALT PAVING (TO REMAIN IN PLACE)
 - GRAVEL ROAD BASE PAVING QTY: 180 PRODUCT: CDOT CLASS 6 ROAD BASE
 - RIVER ROCK COBBLE QTY: 462 TYPE: 3" 6" RIVER ROCK
 - SNOW STORAGE AREA QTY: 1.089 SF
 - PRE-CAST CONCRETE BLOCK RETAINING WALL QTY: 57.5 LF PRODUCT: TO MATCH EXISTING WALLS
 - SITE SALVAGED BOULDERS QTY: 9 LF SIZE: 30" X 21" X 24"



SITE AREA CALCULATIONS:

TOTAL AREA OF LOT 2 = 2.370 AC (103,237.2 SF)
 EXISTING IMPERVIOUS SURFACE COVERAGE
 BUILDING AREA = 413.5 SF
 PAVED AREAS + WALLS = 14,467.5
 TOTAL = 14,881 SF (14% OF TOTAL LOT 2 AREA)

PROPOSED IMPERVIOUS SURFACE COVERAGE BEING ADDED AS A RESULT OF THIS PROJECT:
 BUILDING AREA = 864 SF
 PAVED AREAS + WALLS = 526.5 SF
 TOTAL = 1,320.5 SF (1.3% OF TOTAL LOT 2 AREA)

TOTAL PROPOSED IMPERVIOUS SURFACE COVERAGE = 16,201.2 SF (15.7% OF TOTAL LOT 2 AREA)
 PROPOSED SNOW STORAGE AREA = 1.089 SF (6% ADJACENT ASPHALT PAVING)

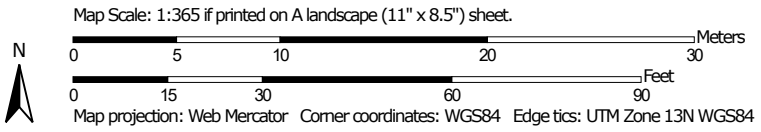


Existing Parking Area (to be removed)



































Hydrologic Soil Group—Aspen-Gypsum Area, Colorado, Parts of Eagle, Garfield, and Pitkin Counties

Section 8, Item B.



MAP LEGEND

- Area of Interest (AOI)**
 -  Area of Interest (AOI)
- Soils**
 - Soil Rating Polygons**
 -  A
 -  A/D
 -  B
 -  B/D
 -  C
 -  C/D
 -  D
 -  Not rated or not available
 - Soil Rating Lines**
 -  A
 -  A/D
 -  B
 -  B/D
 -  C
 -  C/D
 -  D
 -  Not rated or not available
 - Soil Rating Points**
 -  A
 -  A/D
 -  B
 -  B/D
- Water Features**
 -  Streams and Canals
- Transportation**
 -  Rails
 -  Interstate Highways
 -  US Routes
 -  Major Roads
 -  Local Roads
- Background**
 -  Aerial Photography
- Other**
 -  C
 -  C/D
 -  D
 -  Not rated or not available

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.
 Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Aspen-Gypsum Area, Colorado, Parts of Eagle, Garfield, and Pitkin Counties
 Survey Area Data: Version 14, Aug 23, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Sep 5, 2021—Sep 7, 2021

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
46	Forsey cobbly loam, 12 to 25 percent slopes	C	0.0	2.2%
104	Torriorthents-Camborthids-Rock outcrop complex, 6 to 65 percent	C	0.3	97.8%
Totals for Area of Interest			0.3	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.



NOAA Atlas 14, Volume 8, Version 2
 Location name: Minturn, Colorado, USA*
 Latitude: 39.5858°, Longitude: -106.4305°
 Elevation: 7857 ft**
 * source: ESRI Maps
 ** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Michael Yekta, Geoffery Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

[PF tabular](#) | [PF graphical](#) | [Maps & aerials](#)

PF tabular

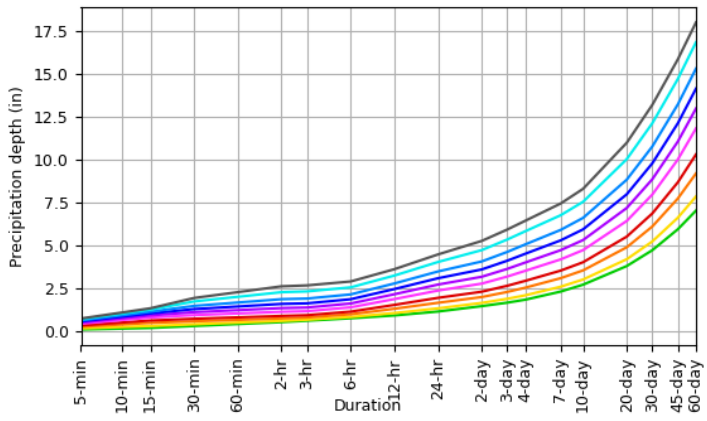
PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches) ¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.117 (0.090-0.151)	0.182 (0.141-0.236)	0.283 (0.218-0.368)	0.360 (0.276-0.472)	0.459 (0.334-0.615)	0.528 (0.377-0.724)	0.591 (0.409-0.837)	0.649 (0.432-0.953)	0.716 (0.460-1.09)	0.760 (0.481-1.20)
10-min	0.171 (0.132-0.222)	0.267 (0.206-0.346)	0.414 (0.319-0.539)	0.528 (0.404-0.691)	0.672 (0.489-0.901)	0.773 (0.553-1.06)	0.865 (0.600-1.23)	0.950 (0.633-1.40)	1.05 (0.673-1.60)	1.11 (0.704-1.75)
15-min	0.209 (0.161-0.270)	0.325 (0.251-0.422)	0.505 (0.389-0.657)	0.643 (0.493-0.842)	0.819 (0.596-1.10)	0.942 (0.674-1.29)	1.06 (0.731-1.50)	1.16 (0.772-1.70)	1.28 (0.821-1.95)	1.36 (0.859-2.14)
30-min	0.323 (0.250-0.419)	0.424 (0.327-0.550)	0.596 (0.458-0.775)	0.744 (0.570-0.975)	0.958 (0.712-1.32)	1.13 (0.820-1.58)	1.31 (0.919-1.89)	1.50 (1.01-2.24)	1.75 (1.14-2.72)	1.96 (1.24-3.08)
60-min	0.436 (0.337-0.565)	0.522 (0.403-0.677)	0.679 (0.523-0.884)	0.827 (0.633-1.08)	1.05 (0.792-1.47)	1.25 (0.913-1.77)	1.46 (1.03-2.13)	1.69 (1.15-2.55)	2.02 (1.32-3.16)	2.30 (1.45-3.62)
2-hr	0.549 (0.428-0.705)	0.619 (0.482-0.796)	0.763 (0.592-0.984)	0.909 (0.702-1.18)	1.15 (0.880-1.61)	1.37 (1.01-1.93)	1.61 (1.16-2.34)	1.89 (1.30-2.84)	2.30 (1.52-3.56)	2.64 (1.69-4.11)
3-hr	0.630 (0.494-0.805)	0.689 (0.540-0.882)	0.818 (0.638-1.05)	0.954 (0.740-1.23)	1.19 (0.915-1.65)	1.40 (1.05-1.97)	1.64 (1.19-2.38)	1.92 (1.33-2.88)	2.34 (1.56-3.61)	2.69 (1.73-4.17)
6-hr	0.773 (0.611-0.979)	0.851 (0.672-1.08)	1.01 (0.792-1.28)	1.16 (0.908-1.48)	1.41 (1.09-1.93)	1.64 (1.23-2.26)	1.88 (1.37-2.69)	2.16 (1.51-3.19)	2.58 (1.73-3.92)	2.92 (1.90-4.47)
12-hr	0.938 (0.748-1.18)	1.08 (0.859-1.36)	1.33 (1.05-1.68)	1.55 (1.23-1.97)	1.89 (1.46-2.53)	2.18 (1.64-2.95)	2.48 (1.81-3.47)	2.80 (1.97-4.06)	3.26 (2.21-4.88)	3.64 (2.39-5.51)
24-hr	1.17 (0.938-1.45)	1.35 (1.09-1.68)	1.68 (1.34-2.10)	1.96 (1.56-2.47)	2.39 (1.86-3.16)	2.74 (2.08-3.68)	3.11 (2.29-4.30)	3.50 (2.48-5.01)	4.06 (2.77-5.99)	4.50 (2.99-6.74)
2-day	1.48 (1.20-1.83)	1.67 (1.35-2.06)	2.01 (1.62-2.49)	2.32 (1.87-2.89)	2.80 (2.20-3.67)	3.19 (2.45-4.25)	3.62 (2.70-4.97)	4.09 (2.93-5.79)	4.75 (3.28-6.95)	5.28 (3.55-7.83)
3-day	1.68 (1.37-2.06)	1.91 (1.56-2.34)	2.31 (1.88-2.84)	2.67 (2.16-3.31)	3.21 (2.54-4.17)	3.65 (2.82-4.83)	4.13 (3.09-5.62)	4.64 (3.34-6.53)	5.37 (3.73-7.80)	5.95 (4.02-8.76)
4-day	1.86 (1.52-2.27)	2.11 (1.73-2.58)	2.56 (2.09-3.14)	2.96 (2.40-3.65)	3.54 (2.81-4.58)	4.03 (3.12-5.29)	4.54 (3.41-6.14)	5.09 (3.68-7.11)	5.85 (4.08-8.45)	6.46 (4.39-9.47)
7-day	2.33 (1.92-2.83)	2.61 (2.15-3.17)	3.11 (2.55-3.79)	3.55 (2.90-4.35)	4.21 (3.36-5.39)	4.75 (3.70-6.18)	5.32 (4.02-7.13)	5.93 (4.32-8.21)	6.78 (4.77-9.70)	7.47 (5.11-10.8)
10-day	2.73 (2.26-3.30)	3.04 (2.51-3.67)	3.57 (2.94-4.32)	4.04 (3.32-4.93)	4.75 (3.81-6.06)	5.34 (4.19-6.91)	5.96 (4.53-7.95)	6.63 (4.86-9.13)	7.57 (5.36-10.8)	8.32 (5.73-12.0)
20-day	3.82 (3.19-4.57)	4.22 (3.52-5.05)	4.92 (4.09-5.90)	5.54 (4.59-6.68)	6.45 (5.23-8.13)	7.21 (5.71-9.23)	8.01 (6.15-10.6)	8.86 (6.56-12.1)	10.1 (7.19-14.1)	11.0 (7.67-15.7)
30-day	4.74 (3.99-5.64)	5.26 (4.41-6.26)	6.13 (5.13-7.32)	6.89 (5.74-8.27)	7.99 (6.50-9.98)	8.88 (7.07-11.3)	9.81 (7.57-12.8)	10.8 (8.03-14.6)	12.2 (8.73-16.9)	13.2 (9.26-18.7)
45-day	5.97 (5.04-7.06)	6.64 (5.61-7.86)	7.76 (6.53-9.22)	8.71 (7.29-10.4)	10.0 (8.18-12.4)	11.1 (8.85-13.9)	12.2 (9.42-15.7)	13.3 (9.90-17.7)	14.7 (10.6-20.3)	15.9 (11.2-22.3)
60-day	7.05 (5.98-8.31)	7.88 (6.68-9.29)	9.22 (7.79-10.9)	10.3 (8.68-12.3)	11.8 (9.67-14.5)	13.0 (10.4-16.2)	14.2 (11.0-18.2)	15.3 (11.5-20.3)	16.9 (12.2-23.1)	18.0 (12.8-25.2)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

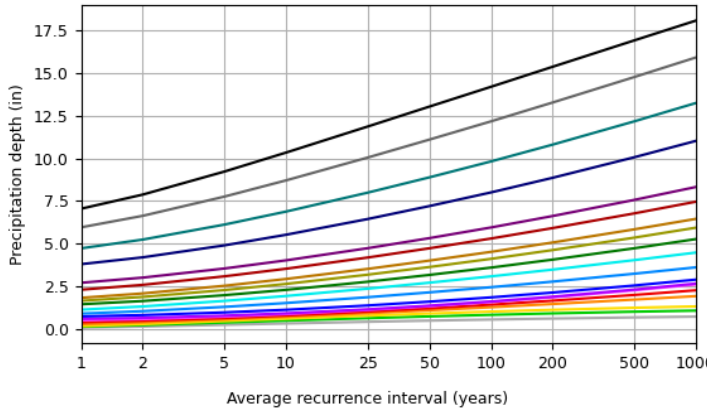
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PF graphical

PDS-based depth-duration-frequency (DDF) curves
 Latitude: 39.5858°, Longitude: -106.4305°



Average recurrence interval (years)
1
2
5
10
25
50
100
200
500
1000



Duration
5-min
10-min
15-min
30-min
60-min
2-hr
3-hr
6-hr
12-hr
24-hr
2-day
3-day
4-day
7-day
10-day
20-day
30-day
45-day
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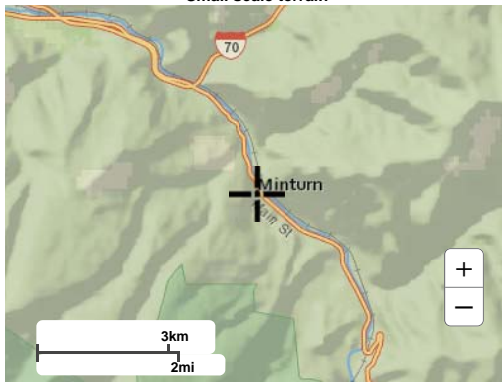
NOAA Atlas 14, Volume 8, Version 2

Created (GMT): Mon Oct 30 14:50:42 2023

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Maps & aerials

Small scale terrain



Large scale terrain

WinTR-55 Current Data Description

--- Identification Data ---

User: MW Date: 10/30/2023
 Project: Minturn Cemetery Units: English
 SubTitle: Existing Conditions Areal Units: Acres
 State: Colorado
 County: Eagle
 Filename: O:\Minturn\Cemetery-Riverview-2019\DRAINAGE\Shed-2023\TR55-existing.w55

--- Sub-Area Data ---

Name	Description	Reach	Area(ac)	RCN	Tc
Existing		Outlet	0.03	98	0.100

Total area: .03 (ac)

--- Storm Data ---

Rainfall Depth by Rainfall Return Period

2-Yr (in)	5-Yr (in)	10-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)	-Yr (in)
1.35	1.68	1.96	2.39	2.74	3.11	.0

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Type II
 Dimensionless Unit Hydrograph: <standard>

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MW Minturn Cemetery
 Existing Conditions
 Eagle County, Colorado

Watershed Peak Table

Sub-Area Peak Flow by Rainfall Return Period

Sub-Area or Reach Identifier	5-Yr (cfs)	25-Yr (cfs)	100-Yr (cfs)
SUBAREAS			
Existing	0.07	0.10	0.13

REACHES

OUTLET	0.07	0.10	0.13
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MW Minturn Cemetery
 Existing Conditions

Eagle County, Colorado

Sub-Area Summary Table

Sub-Area Identifier	Drainage Area (ac)	Time of Concentration (hr)	Curve Number	Receiving Reach	Sub-Area Description
Existing	.03	0.100	98	Outlet	
Total Area: .03 (ac)					

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MW Minturn Cemetery
Existing Conditions
Eagle County, Colorado

Sub-Area Land Use and Curve Number Details

Sub-Area Identifier	Land Use	Hydrologic Soil Group	Sub-Area Area (ac)	Curve Number
Existing	Paved parking lots, roofs, driveways	C	.03	98
Total Area / Weighted Curve Number			.03	98
			===	==

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WinTR-55 Current Data Description

--- Identification Data ---

User: MW Date: 10/30/2023
 Project: minturn cemetery Units: English
 SubTitle: Proposed Areal Units: Acres
 State: Colorado
 County: Eagle
 Filename: <new file>

--- Sub-Area Data ---

Name	Description	Reach	Area(ac)	RCN	Tc
proposed		Outlet	0.04	98	0.100

Total area: .04 (ac)

--- Storm Data ---

Rainfall Depth by Rainfall Return Period

2-Yr (in)	5-Yr (in)	10-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)	-Yr (in)
1.35	1.68	1.96	2.39	2.74	3.11	.0

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Type II
 Dimensionless Unit Hydrograph: <standard>

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MW minturn cemetery
 Proposed
 Eagle County, Colorado

Watershed Peak Table

Sub-Area or Reach Identifier Peak Flow by Rainfall Return Period

Sub-Area or Reach Identifier	5-Yr (cfs)	25-Yr (cfs)	100-Yr (cfs)
SUBAREAS proposed	0.08	0.12	0.15

REACHES

OUTLET	0.08	0.12	0.15
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MW minturn cemetery
 Proposed

Eagle County, Colorado

Sub-Area Summary Table

Sub-Area Identifier	Drainage Area (ac)	Time of Concentration (hr)	Curve Number	Receiving Reach	Sub-Area Description
proposed	.04	0.100	98	Outlet	
Total Area: .04 (ac)					

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MW minturn cemetery
Proposed
Eagle County, Colorado

Sub-Area Land Use and Curve Number Details

Sub-Area Identifier	Land Use	Hydrologic Soil Group	Sub-Area Area (ac)	Curve Number
proposed	CN directly entered by user	-	.04	98
Total Area / Weighted Curve Number			.04	98
			===	==

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Minturn Forward Memo

TO: Minturn Planning Commission
 FROM: Matt Farrar, Western Slope Consulting
 DATE: January 19, 2024
 ATTACHMENTS: Form-Based Code Components Worksheet

1. INCORPORATING FORM-BASED CODE COMPONENTS

At the meeting on January 10, 2024, the Planning Commission expressed interest in integrating components of a Form-Based Code as part of the update to Minturn’s Code. At that meeting, the Planning Commissioners were tasked with selecting the components of a Form-Based Code that they wanted to be included in the updated Code.

The hope is to discuss and finalize the Form-Based Code components to be incorporated with the updated Code at the Planning Commission’s meeting on January 24, 2024. A “Form-Based Code Components Worksheet” is attached to this memo to assist the Planning Commissioners with identifying the Form-Based Code components they want included in the updated Code.

2. COMMUNITY ENGAGEMENT FOR ZONING & DESIGN REGULATIONS

Preserving Minturn’s character is a top priority to be addressed via the update to the town’s Land Use Code. To better understand what defines “Minturn’s character,” the town will be distributing a brief survey and hosting a series of open houses. The purpose of these engagement activities will be to gather input from the community on what physical characteristics define Minturn’s character, specifically the character of distinct areas within the town.

The survey and open houses will ask community members to identify the types of land use activities (ex. homes, businesses, parks, etc.) and design elements (ex. architectural styles, building scale, etc.) that make Minturn such a special place. The hope is that this input, along with the 2023 Community Plan, will provide the direction necessary to refine the town’s zoning regulations and design standards.

A draft of the survey will be made available for review and discussion at the Planning Commission’s meeting in February. The goal is to distribute the survey to the community in February and make it available into mid to late March.

The town is working on determining the number of open houses to be held, as well as a schedule for the open houses. The plan is to host the open houses while the survey is available. An open house could be scheduled after the conclusion of the survey to provide an opportunity for the community to review and provide feedback on the results of the survey.

3. CONCURRENT WORK ON CODE UPDATE

While the town is working to gather community input on Minturn’s character, the hope is to also work with the Planning Commission on updating other portions of the town’s existing Code. The current thinking is to begin reviewing and revising the town’s review procedures for various land use applications (ex. Zoning Variance, Conditional Use, etc.).

FORM-BASED CODE COMPONENTS WORKSHEET

Please use the following checklist to select the Form-Based Code components that you would like to see integrated with the update to Minturn’s Code. Please note that even if some of these components are already included in the town’s existing Land Use Code, it is still important to select all the components that you think need to be incorporated with the updated Code.

Public Space Standards

These are regulations for elements within the “public realm.”

- Street design standards (design standards for different types of streets).
- Park space design standards.
- Civic space (ex. plaza) design standards.
- Open space design standards.

Building Form Standards

These are regulations that control the configuration, features, and function of buildings.

- Building type standards (what types of building are allowed in zone districts).
- Building design standards (design standards for different types of buildings such as building site dimensional requirements, building placement standards, building form/scale standards, etc.).
- Building function/use standards (types of land use activities allowed in different types of buildings).
- Building frontage design standards (design standards for the portion of a building that fronts on a street or alley).
- Building encroachment standards (standards for building elements, such as balconies or bay windows, that may extend into a setback).
- Off-street parking and loading/unloading area design standards (standards for the placement and design of off-street parking areas and loading/unloading areas).

Architectural Standards

These are regulations for the design/character of buildings. These may include requirements for: 1) roof types, materials, and pitch, along with specifications for dormers, gables, skylights, etc.; 2) The composition of façade elements, such as locations of windows and doors; 3) the types of windows and doors which are allowed, with specifications for height and width, overall proportions, depth, ornamentation, shutters, etc.; 4) other architectural elements that may define the local character of a community, such as eaves, cornices, porches, and balconies; and/or 5) the types of building materials that are allowed and how they can be used together.

Block Standards

These are regulations for large sites (ex. more than 2-acres) that dictate how the site is to be laid out into a new, interconnected, and walkable network of streets and blocks. These may include requirements for the maximum length and width of new blocks.

- Landscape Standards
These are regulations for the design/character of landscaping. These regulations typically apply to landscaping of private spaces but may apply to landscaping in the "public realm." These may include requirements for: 1) street trees; 2) the use of native plant species to address water usage; 3) screening of off-street parking areas from streets; 4) using landscaping to buffer certain types of land uses from each other; and/or 5) landscaping of parking areas.
- Stormwater Standards
These are regulations for the design of stormwater systems. These regulations could apply to public and/or private stormwater systems.
- "Green" Building Standards
These are regulations for buildings that work towards achieving a community's sustainability goals. These could include building energy efficiency requirements.

Other (please explain):



To: Minturn Town Council
From: Michelle Metteer
Date: January 17, 2024
RE: Town Manager Update

Water Treatment Facility Security Fence

A security fence will be installed at the Minturn water treatment facility this spring summer. The fence will border the eastern property line of the town and travel up the slopeside on the east side of the property only. CPW and CDPE required this design for wildlife movement to/from Cross Creek while still keeping out any vehicular traffic and pedestrians coming from the east.

Downtown Development Authority

With Jim Mann, municipal financial advisor, back on board, Minturn is moving forward again with our analysis of the Downtown Development Authority. One new factor for property valuations will be the recently adopted Historic Preservation Ordinance and how that seems to be affecting property values. This will impact the amount of funds a DDA could potentially secure, so Jim Madd will be adding this to his analysis. We hope to have a report in the coming months.

Minturn Tank Operations

Update – Jarod Limke, Jeff Spanel, Jim Mann, and I had a productive conversation with Sean Oliver, State Revolving Fund representative. Sean indicated Minturn CAN use the remaining funds from the concrete tank loan to install a PRV vault which would allow Minturn to efficiently operate both the steel bolted tank and the new concrete tank at maximum capacity. Minturn is now looking into the viability and costs associated for the rehabilitation of the steel-bolted tank. This route may also prove more cost-effective than installing a service line to the Median property for a separate project. More to come.

12/20/2023 update - Tank #3 is now online and operational. I will be discussing tank loan options with the State Revolving Loan Fund representative to determine if leftover loan funds can be used to facilitate the functioning of the two tanks interchangeably. If funds can be used to improve the functioning of the system, Minturn may want to install a valve box on HWY 24. I will have more information after discussing this option with the SRF representative.

USGS Gauge on Cross Creek

Update – I had a productive discussion with Steve Anders, USGS program manager. Steve provided a little more history regarding the stream gauge and has supplied the contact information for the CWCB representative I can reach out to for discussing cost share options. I expect the CWCB may be interested in supporting this gauge financially.

12/20/2023 update - Minturn currently pays for the USGS gauge on Cross Creek. This comes at an annual cost of around \$16,000. This is a federal program and I have reached out to USGS to understand why Minturn incurs this cost. Unless there is a specific reason in one of Minturn’s water rights decrees, I expect Minturn to drop this expense. The CWCB and Division 5 Engineer use this gauge to make the instream flow call on Cross Creek. I expect if they wish to continue making the instream flow call on Cross Creek, they will support the federal government in maintaining the costs of the gauge.