



AGENDA

Planning Commission Regular Meeting

Wednesday, April 09, 2025

Town Hall / Council Chambers - 302 Pine St Minturn, CO

The agenda is subject to change, including the addition of items 24 hours in advance or the deletion of items at any time. The order of agenda items listed are approximate.

This agenda and meetings can be viewed at www.minturn.org.

MEETING ACCESS INFORMATION AND PUBLIC PARTICIPATION:

This will be an in-person meeting with access for the public to attend in person or via the Zoom link included. Zoom Link: <https://us02web.zoom.us/j/84338965581>

Zoom Call-In Information: 1 651 372 8299 or 1 301 715 8592 **Webinar ID:** 843 3896 5581

Please note: All virtual participants are muted. In order to be called upon an unmuted, you will need to use the “raise hand” feature in the Zoom platform. When it’s your turn to speak, the moderator will unmute your line and you will have five (5) minutes for public comment.

Public Comments: If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner 1, prior to the meeting and will be included as part of the record.

1. **CALL TO ORDER - 5:30 PM**
2. **ROLL CALL AND PLEDGE OF ALLEGIANCE**
3. **APPROVAL OF REGULAR AGENDA**

Opportunity for amendment or deletions to the agenda.

4. **APPROVAL OF MINUTES**
[A.](#) March 26, 2025
5. **DECLARATION OF CONFLICTS OF INTEREST**
6. **PUBLIC COMMENT**

Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made

for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.

7. SPECIAL PRESENTATIONS

Presentations are limited to 5 minutes unless prior arrangements are made with the Town Planner.

8. DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

A. 532 Main Street - Changes to Approved Plans

9. DISCUSSION / DIRECTION ITEMS

10. STAFF REPORTS

A. Managers Report - Brunvand

B. Managers Report - Sickles

C. Planning Director Report

11. PLANNING COMMISSION COMMENTS

12. FUTURE MEETINGS

A. April 28, 2025 (Note: this is the Monday after when our regular meeting would be)

B. May 14, 2025

13. ADJOURN



OFFICIAL MINUTES
Planning Commission Regular Meeting 5:30PM
Wednesday, March 26, 2025
Town Hall / Council Chambers - 302 Pine St Minturn, CO

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Public Comments: If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner 1, prior to the meeting and will be included as part of the record.

1. CALL TO ORDER - 5:30 PM

Lynn Teach called the meeting to order at 5:30 p.m.

2. ROLL CALL AND PLEDGE OF ALLEGIANCE

Planning Commission Chair Lynn Teach and Planning Commission Members Jeff Armistead, Michael Boyd, Eric Rippeth, and Darell Wegert.

Staff Members Present: Planning Director Scot Hunn and Planner II Madison Harris.

Note: Amanda Mire is excused absent.

3. APPROVAL OF REGULAR AGENDA

Opportunity for amendment or deletions to the agenda.

Motion by Eric R., second by Michael., to approve the agenda as presented. Motion passed 5-0.

Note: Amanda M. is excused absent.

4. APPROVAL OF MINUTES

A. March 12, 2025

Motion by Darell W., second by Jeff A., to approve the minutes of March 12, 2025 as presented. Motion passed 5-0.

Note: Amanda M. is excused absent.

5. DECLARATION OF CONFLICTS OF INTEREST

No conflicts of interest.

6. PUBLIC COMMENT

Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.

No public comment.

7. SPECIAL PRESENTATIONS

Presentations are limited to 5 minutes unless prior arrangements are made with the Town Planner.

No Special Presentations

8. DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

A. 1010 Two Elk Lane - New Single Family Residence

Madison H. introduced the agenda item. This is a two bedroom, 2,482 square feet new single family home. There are 4 parking spaces, and enough snow storage. Staff is recommending approval with conditions.

Darell W. clarified the condition of approval and provided a suggestion that the proposed landscaping ground cover be changed from cedar bark to gravel or something not flammable.

Jeff A. asked about the roof encroachment

- Sam Eckerson, Architect stated that it's 1.5 ft which is allowable

Lynn T. asked about Radon

- Mr. Fletcher Groff, General Contractor said that there will be a radon mitigation system.

Public comment opened.

No public comment.

Public comment closed.

Motion by Jeff A., second by Darell W., to approve with conditions 1010 Two Elk Lane – New Single Family Residence. Motion passed 5-0.

Note: Amanda M. is excused absent.

1. The Applicant shall provide details for all exterior lighting locations on floor plans, building elevations and reflected ceiling/roof plan sheets. Additionally, the Applicant shall submit final cut sheets/specifications for proposed exterior light fixtures prior to or concurrent with building permit application to ensure compliance with the Town's lighting standards.

B. 0186 Miles End Lane - Changes to Approved Plans

Madison H. introduced the agenda item. This is changes to approved plans. This is a four-bedroom, 5,969 (gross) square foot (originally 5,818 gross square feet) single family residence. Along the rear, the height changed from 16 feet 10 and 1/2 inches to 15 feet 4 and 3/8 inches. The Maximum Lot Coverage changed: it is now 3,347 sq. ft. (48.63%) Proposed from what was originally proposed 3,154 sq.ft. (45.83%). The Maximum Impervious Coverage changed as well: it is now 4,064 sq. ft. (59.05%) Proposed from what was originally proposed 4,127 sq.ft. (59.96%). Staff is recommending approval.

Darell W. pointed out the cedar wood chips were called out in the landscape plans and suggested river rock or gravel for the 4-5 foot barrier around the house.

Public comment opened.
No public comment.
Public comment closed.

Motion by Michael B., second by Eric R., to approve 0186 Miles End Lane - Changes to Approved Plans as presented. Motion passed 5-0.
Note: Amanda M. is excused absent.

C. 0155 Miles End Lane - New Single Family Residence

Madison H. introduced the agenda item. This is a four bedroom, 3,584 (gross) square foot single-family residence, building height measured to the midpoint of the roof at 27 feet and 7 and 1/4 inches. There are four off-street spaces and adequate snow storage. Staff is recommending approval.

Public comment opened.
No public comment.
Public comment closed.

Darell W. had the same comment as above.

Motion by Michael B., second by Darell W., to approve 0155 Miles End Lane - New Single Family Residence as presented. Motion passed 5-0.
Note: Amanda M. is excused absent.

D. 0083 Miles End Lane - New Single Family Residence

Madison H. introduced the agenda item. This is a four-bedroom, 4,396 (gross) square foot single-family residence, building height measured to the midpoint of the roof at 26 feet and 11 and 3/8 inches. There are six off-street spaces and adequate snow storage. Staff is recommending approval.

Public comment opened.
No public comment.
Public comment closed.

Darell W. had the same comment as above.

Motion by Michael B., second by Darell W., to approve 0083 Miles End Lane - New Single Family Residence as presented. Motion passed 5-0.
Note: Amanda M. is excused absent.

9. DISCUSSION / DIRECTION ITEMS

10. STAFF REPORTS

A. Managers Report - Jay Brunvand

MuniBilling Utility Billing System

This continues but is going quite well considering the massive changes. Please let me know if you have constituents that have questions or if you have any questions.

Minturn Education Fund

The Minturn Education Fund Scholarship applications were due by end of business on March 14, 2025! As of this writing we have received eight applications and I know of one that should

be coming in. Early the week of 3/17 I will get the applications to the Scholarship Board Secretary who will review each one for completeness. I am looking at scholarship interviews in a couple weeks and awards thereafter.

Town Manager Search

We are pressing down the final stretch of this phase of the search. I anticipate an update from KRW for the April 2 council packet with next steps. The close date for applications is Friday March 14.

Holy Cross Electric

I met with HCE regarding the Avon to Gilman high power transmission line project that has been under study for the past several years. The current proposal was agreed to by HCE about a year ago and has been the foundation of the NEPA hearings. The difference from prior iterations is an additional mile or so of undergrounding from the Vail Boneyard to the USFS office and they eliminated the HWY 24 overhead crossing by undergrounding it. They have been talking with the USFS regarding the NEPA review and the FS would like to extend the public process a little. Although HCE would like to meet with Council, they need to hold off until some of these matters have played out. They noted a tentative meeting with Council would be late summer or Fall of this year.

Water Treatment Plant

Although this project is on Katie's radar, I am involved as the Town Treasurer. We are looking at several meetings in the coming week or so to try to get a handle on a VERY expensive project while still trying to maintain our current timeline. My concerns continue that the time line is too tight in light of the mass of the project, the uncertainty of our Federal Government's financial commitments, and the Fed's efforts to exacerbate already high costs.

Please feel free to contact either or both Katie and I if you have any questions

B. Managers Report - Katie Sickles

Rails to Trails:

The City/County of Montrose are using a rail bed for a trail. I have a colleague that worked on that project many years ago. She could not give many specifics but directed me to the Rails to Trails website. Has the Town of Minturn explored railbanking? Although there are several publicly available videos and resources it may be worth joining and bringing other interested local governments or entities on board.

Bellm Bridge and Quiet Title:

I am matching an assortment of projects together. Yowza Minturn!

Water Plant Development, Resources and Operations:

There are several elements of the water plant development that I am piecing together. I thought I would attach the one page 30% cost summary. The document details are an additional 19 pages. If any are interested, please contact me.

Little Beach Park Playground:

There are sentimental items at Little Beach Park that I would like to protect. In addition, the playground equipment could be of value. In order to dispose, per state statute, the town must dispose via a competitive bid process. An advertisement has been created to request a bid for the used playground equipment before it is marked for demolition.

Revitalizing Main Street – Phase II Sidewalks:

A preferred contractor submitted a bid under review by the Engineers.

C. Planning Director Report

Minturn Forward Code Update Project:

Staff and Western Slope Consulting have completed the majority of Module 1 including:

- Article 5: Land Use Applications
- Article 8: Subdivision Applications
- Article 11: Annexation & Disconnections
- Article 12: Development Impact Report

Staff and Western Slope will be following up with the Planning Commission at their first meeting in April regarding questions and comments by Planning Commission members about Vacation of Public Rights-of-Way.

Next steps include:

- Staff and Western Slope Consulting are working on preparing materials and analyses for a community discussion regarding new or updated zone districts, permitted uses, development standards and dimensional limitations. As previously reported to the Planning Commission, this first step in reviewing existing zoning regulations and providing recommendations for new zoning regulations will be based on:
 - Direction provided by the Minturn Community Plan.
 - Community Input on key characteristics of Minturn’s neighborhoods.
 - Previous work performed by the Planning Commission (circa 2019-2020).
 - Recent changes to state/or federal legislation.
 - Recent amendments to Minturn’s Municipal Code that are relevant to the Town’s zoning regulations.
- Staff and Western Slope Consulting are designing a public engagement process that include:
 - A series of open house(s)
 - Review and discussion of the zoning regulations and the input received from the public with the Planning Commission and the Town Council. Staff anticipate that the first open house(s) will be scheduled in mid- late April. Staff will ensure that the Planning Commission is apprised of scheduling of any public open houses.

Active Land Use Applications:

- **Midtown Village Planned Unit Development Final Plan Review**
At their regular meeting of January 15, 2025, the Town Council approved Resolution No. 4, Series 2025, a resolution approving the Preliminary Plan and Plat for Midtown Village PUD. Staff anticipates an application for Final Plan for PUD and Final Subdivision Plat, along with a draft Subdivision Improvements Agreement to be submitted to the Town in the coming weeks. As a reminder, the Minturn Municipal Code provides the Planning Commission the opportunity to review the Final Subdivision Plat, but not the Final Plan for PUD (which is reviewed and approved by the Town Council).
- **Eagle County School District – Maloit Park Preliminary Subdivision Plat Review**
Staff continues to review the Eagle County School District Maloit Park Preliminary Plat for Subdivision application. The Applicant has been provided referral agency comments and is in the process of meeting with Town staff, Town consultants, and referral agencies to address, resolve and/or respond to referral comments. Staff are unable to estimate when referral comments will be fully addressed and, therefore, cannot predict how soon this application will be scheduled for its first public hearing.

Other Planning Department Activities:

- **Highlands Parcels Public Engagement Process**

Staff has created a webpage and survey as a way to engage the public and solicit feedback related to the Town-owned “Highlands Parcels 1 & 2” in the Bolts Lake Area. A public open house was held on January 29, 2025 and staff presented the results of the survey and open house to the Town Council in February. Staff hosted a discussion at the regular Council meeting of March 19th with representatives from the Eagle County Open Space and Natural Resources Department along with the Eagle Valley Land Trust. The focus of this discussion with Council was to educate staff, the Council, and the public about what each of these organizations does, how they may be involved in any Highlands scenario that involves land conservation and/or conservation easements, and what the Town can expect for a process (working with either or both of these organizations) and likely time frames.

Staff also received direction from Council to:

- Schedule another work session or discussion to specifically discuss with the Eagle Valley Land Trust the alternatives for funding partnerships, potential conservation purchases (by private buyers), and other creative approaches to balance the Town’s needs regarding the Highlands. Staff will apprise the Planning Commission when this work session/discussion is scheduled.
- Work with the Town Attorney to commence the rezoning process for the Highlands Parcels. As a reminder, the Highlands Parcels currently have a zoning designation of “Bolts Holding Zone” which requires zoning to another zone district in to realize any potential uses.

• **Eagle County Regional Housing Action Plan Partnership**

The planning director has been participating alongside representatives from Eagle County, Avon, Eagle, Gypsum, Red Cliff, and Vail in a regional housing action plan task force spearheaded by Eagle County and the Town of Avon. The purpose of this effort is to create a regional housing action plan – looking at alignment between land use policies and community housing goals within and across jurisdictions, as well as identifying potential funding sources to implement priorities and projects - and is based on a housing needs assessment being finalized by Economic Planning Systems (EPS). The assessment is based on community survey work and an extensive process by EPS to work with each partner jurisdiction to compile data on existing land use and development, existing housing policies and housing units/supply in each jurisdiction, as well as demographics and market trends. The partnership presented the initial results of the assessment to each of the partner jurisdictions in October and November.

Since then, EPS has finalized a report which will be presented to the Town Council at their regular meeting of April 16, 2025.

• **Eagle County Wildland Urban Interface (WUI) Code Working Group**

The planning director and the code enforcement officer have been participating in a regional effort spearheaded by the Eagle County Wildfire Collaborative group to understand and discuss alternatives, pros, and cons related to the potential adoption of Wildland Urban Interface (WUI) code requirements in member jurisdictions (towns, special districts, and the fire districts). This group has been meeting since the start of 2024 and work completed to date includes sharing and analysis of each jurisdictions’ existing land use, zoning, and building code regulations and policies to better understand where, if at all, there are commonalities across or among jurisdictions by way of fire or wildfire related terms, regulations, or design requirements for things like home construction, landscape design and materials, and access to private property.

11. PLANNING COMMISSION COMMENTS

Lynn T. thanked Darell W. and Amanda M. for reapplying.

Jeff A. said that everyone should keep their eyes open/on the Holy Cross high power line.

12. FUTURE MEETINGS

- A. April 9, 2025
- B. April 23, 2025

13. ADJOURN

Motion by Michael B., second by Darell W., to adjourn the regular meeting of March 26, 2025 at 5:53 p.m. Motion passed 5-0.

Note: Amanda M. is excused absent.

Lynn Teach, Commission Chair

ATTEST:

Scot Hunn, Planning Director

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Michael Boyd
Amanda Mire
Eric Rippeth
Darell Wegert

Design Review Board Hearing

Final Plan Review for New Home – Changes to Approved Plans

532 Main Street

| | |
|-------------------------------|--|
| Hearing Date: | April 9, 2025 |
| File Name and Process: | Single-Family Residence Changes to Approved Plans Review |
| Owner/Applicant: | Ken & Patty Halliday |
| Representative: | Tobin Smith, Tobin Smith Architect |
| Legal Description: | Section: 26 Township: 5 Range: 81 PCLIN SE1/4SW1/4 Subdivision: BOOCO 2ND Block: 3 Lot: 3 |
| Address: | 532 Main Street |
| Zoning: | Old Town Character Area – Residential Zone District |
| Staff Member: | Madison Harris, Planner I |
| Recommendation: | Approval |

Staff Report

I. Summary of Request:

Staff has underlined within the text of this report those items that changed since approval.

The Applicants, Ken and Patty Halliday, request Final Plan review of changes to approved plans for a new, four-bedroom, 5,508 (gross) square foot (originally 6,597 gross square feet) single-family residence located at 532 Main Street in the Old Town Residential Zone District. The Applicant’s representative, Tobin Smith, has been proactive in meeting with Town staff prior to submitting plans for a new home and have provided a relatively complete and thorough set of site, landscaping, and architectural plans.

Proposed Plans

The plans show a two- to three-story, three-bedroom (previously four-bedroom) structure with a maximum building height - measured to the midpoint of the roof – of 27 feet 9 inches, under the maximum allowable 28-foot limit within the Old Town Residential Zone District.

Additionally, the massing, forms, and scale of the proposed structure, as well as proposed exterior materials, textures and detailing also appear to achieve the design objectives of Appendix B – *Design Guidelines and Standards*, Minturn Municipal Code.

The plans show the ground level with the garage, primary living area, and master bedroom, the upper level has a game room which could double as a bedroom, and the lower level has the two remaining bedrooms and a craft studio. Parking is adequate, even with the potential extra bedroom, with four off-street spaces, two of which are provided within the garage and two in front of the garage.

According to staff’s analysis of development standards and dimensional limitations in Section III below the project appears to meet the Town’s standards.

Overall, staff believes that the Applicants and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review.

As a reminder, the Planning Commission has the option to review the proposal as a “conceptual” plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or the Commission may take action to approve, approve with conditions, or deny the Final Plans.

Staff is recommending approval.

II. Summary of Process and Code Requirements:

These plans are being presented by the Applicant as “Final Plan” level of review for changes to approved plans for a new single-family residential structure on a legally created lot within the Town of Minturn. This is a formal hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB’s concerns or feedback regarding suggested revisions to the project.

If the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve the plans without conditions, or to approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions, additions or updates to the plans.

No variances are required or requested at this time.

Design Review Process

Appendix ‘B’ of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection “d” below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

(d) *Administrative procedure.*

(1) *Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.*

(2) *Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:*

- a. The proposal's adherence to the Town's zoning regulations.*
- b. The proposal's adherence to the applicable goals and objectives of the Community Plan.*
- c. The proposal's adherence to the Design Standards.*

(3) *Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:*

- a. That the proposal is in conformance with the Town zoning regulations.*
- b. That the proposal helps achieve the goals and objectives of the Community Plan.*
- c. That the proposal complies with the Design Standards.*

Staff suggests that the final plans for 532 Main Street meet or can be revised to meet the required findings ‘a,’ ‘b,’ and ‘c’ or subparagraph 3 – *Necessary findings.*

III. Zoning Analysis:

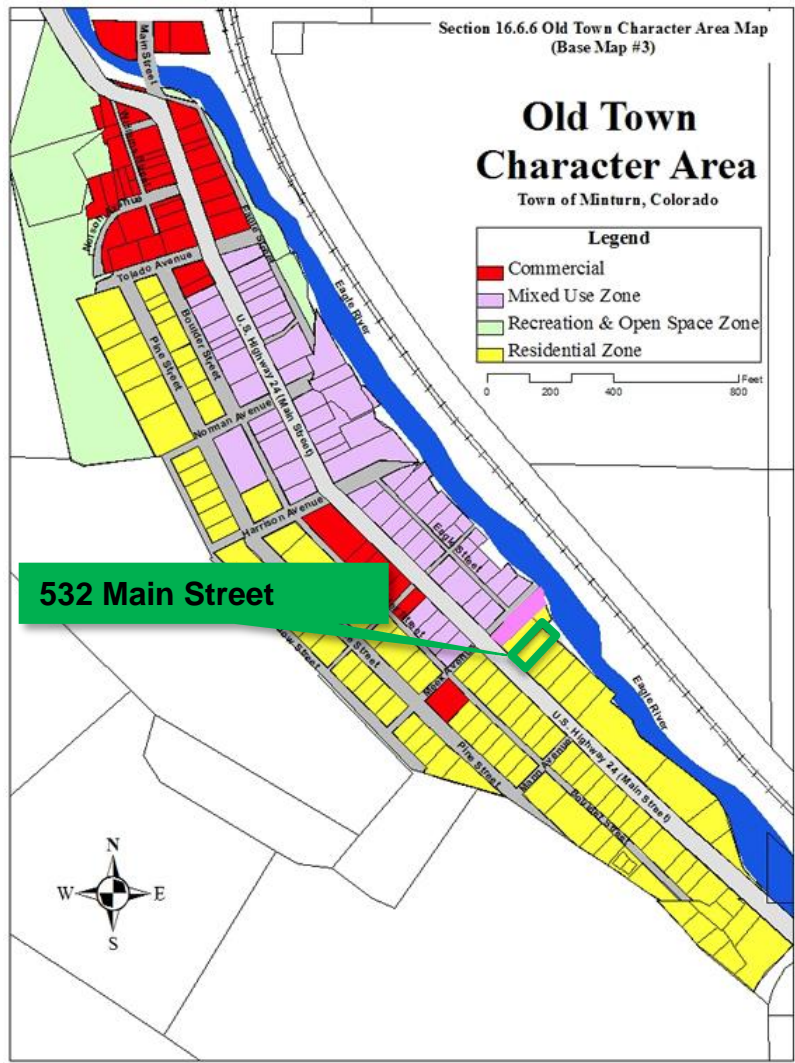
Zoning

The subject property is located within the “Old Town Character Area” Residential Zone District, described as follows:

- (a) The neighborhood is bisected by Highway 24 and is **characterized by single-family residences** with a mix of business and institutional uses. **The residences are typically one (1) and two (2) stories**, with outbuildings and minimal setback between structures.*
- (b) **The purpose of this zone is to provide for continued residential use** and redevelopment that preserves the unique character and scale of the neighborhood. **An objective is to retain the historically residential areas as quiet and safe neighborhoods** while allowing for limited home-based occupations and home-based businesses to encourage permanent residency. This area can accommodate reasonable growth where land and services are available.*

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Figure 1: Old Town Character Area Zoning Map



Dimensional Limitations and Development Standards

The following table summarizes the lot, development and dimensional standards and limitations applicable to the subject property pursuant to Sections 16-2-40. - *General lot requirements and dimensional standards* and 16-16-20 – *Parking Required for Residential and Lodging Uses*.

| Regulation | Allowed/Required | Proposed/Existing |
|--------------------------|------------------|---|
| Minimum Lot Area: | 5,000 sq. ft. | 8,640.8 sq. ft. (.198 ac.) |
| Maximum Building Height: | 28 feet | 27 feet – 9 inches |
| Minimum Front Setback: | 10 feet | <u>44 feet 9 inches</u> (previously approx. 25 feet) |

| | | |
|------------------------------|--|---|
| Minimum Side Setback: | 5 feet | 5 feet |
| Minimum Rear Setback: | 10 feet (to property line) 30 feet (to high water mark) | 10+ feet (to property line) 30+ feet (to high water mark) |
| Maximum Lot Coverage: | 45% (3,888.36 sq. ft.) | <u>2,695 sq. ft. (31.2%) Proposed</u> Originally 3,260 sq. ft. (37.73%) |
| Maximum Impervious Coverage: | 55% (4,752.44 sq. ft.) | <u>4,451 sq. ft. (50.8%) Proposed</u> Originally 4,743 sq. ft. (54.89%) |
| Minimum Snow Storage Area: | 5% of Lot Area (8,640.8 sq. ft. x .05 = 432.04 sq. ft.) | <u>478 sq. ft.</u> Originally 507 sq. ft. |
| Parking: | 2 spaces | 4 spaces |

IV. Applicable Standards and Design Guideline Criteria:

Design

In addition to the development standards listed above, the following general design principles are provided for reference.

Final Site, Grading and Drainage Design

The Minturn Design Guidelines encourage designs that integrate or account for site topography and existing conditions, surrounding conditions, solar orientation, placement on lots relative to streets and natural features, snow storage and snow shed from roof structures.

Mass and Form

The following excerpt from the Design Guidelines is applicable to the proposed home design:

“c. Massing and Scale

“A simple central form with additive features shall be designed. This style creates visual interest and is appropriate for the community due to its compatibility with existing structures. Buildings and improvements should complement, rather than overpower, the

adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

“Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.”

-Town of Minturn Design Guidelines

Staff Response:

Staff believes that the design and scale of the proposed structure incorporates a simple central form with additive features and is complementary to adjacent residential structures and character on nearby parcels. Staff further suggests that the scale of the project is appropriate and will not overpower surrounding natural and built environments. Proposed roof forms and pitches, materials and textures are compatible and complementary to the surrounding built and natural environments.

V. Items of Note:

Items of Note

There are no new items of note

VI. Staff Recommendation:

Staff suggests that the Changes to Approved Plans for 532 Main Street generally **comply** with or exceed the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix ‘B’) of the Minturn Town Code.

Staff is **recommending approval** of the plans.



DESIGN REVIEW APPLICATION

Section 8, Item A.

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT
 P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
 Phone: 970-827-5645 Fax: 970-827-5545 Email: planner@minturn.org

Project Name:

Eagle River Residence

Project Location

Street Address: 532 Main St. Minturn, CO 81645

| | |
|--|---|
| Zoning: single-family residence | Parcel Number(s): 201908667 & 201802728 |
|--|---|

Application Request:

Approval of the architectural design for this proposed single-family residence

Applicant:

Name: Tobin Smith (Tobin Smith Architect)

Mailing Address: 2201 San Pedro Ave. San Antonio, TX 78212

| | |
|---------------------|--------------------------------------|
| Phone: 210-817-4744 | Email: tobin@tobinsmitharchitect.com |
|---------------------|--------------------------------------|

Property Owner:

Name: **Patty and Ken Halliday**

Mailing Address: 5150 Broadway #615 San Antonio, TX 78209

| | |
|---------------------|------------------------------|
| Phone: 210-867-1514 | Email: khalliday62@gmail.com |
|---------------------|------------------------------|

Required Information:

| | | | |
|-------------------------|--|--|--|
| Lot Size: 8,640.8 sq ft | Type of Residence (Single Family, ADU, Duplex) Single Family | # of Bedrooms 4 | # On-site Parking Spaces 4 |
| # of Stories: 3 | Snow storage sq ft: 478 sq ft | Building Footprint sq ft: 2,695 sq ft | Total sq ft Impervious Surface: 4,451 sq ft |

Signature:

Tobin Smith

Fee Paid: _____ Date Received: _____ Planner: _____

DESIGN REVIEW APPLICATION

**SUBMITTAL CHECKLIST REQUIREMENTS
(TO BE INCLUDED WITH APPLICATION)**

Applicant **Staff**

 Application Fee (Non-Refundable application fee shall be collected)

- Design Review Board - \$200.00

 Letter of Intent
-- What is the purpose of the project including;

- Relevant Background
- Current Status of the Site
- All Proposed Uses and Structures
- How the Proposal Differs from what already exists
- Information regarding Easements or Dedicated Tracts, etc.

 Vicinity Map
-- Directional Map indicating how to get to the Property involved in the request.

- Zoning of Property

 Improvement Location Certificate of Survey (ILC or ILS)

 Site Plan showing Precise Nature of the Proposed Use – To Scale

- Scaled Drawings of Proposed Design of Structure
 - Plan View and Sections
- Building Heights – all 4 directions N/S/E/W
- topography
- Building Location
- Setbacks
- River or Creek Setbacks
- Parking Plan
- Traffic Circulation
 - Location and Width of Existing and Proposed Access Points
 - Location of Existing Driveways and Intersections
- Landscaped Area – Plan
- Approximate Location of Existing Wooded Areas and Rock Outcrops
- Location and Type of Existing and Proposed Easements
- Utility Easements
- Drainage Features

 Preliminary Building Plans and Elevations

- Indicates Dimensions
- General Appearance
- Scale
- Interior Plan for the Buildings



Elements needed on the Site Plan

- Scale
- North Arrow
- Date Prepared
- Lot Dimensions, Area, Entire Site Acreage



Architecture Details – Materials Board

- Windows – Placement and Color
- Doors – Placement and Color
- Siding – Type and Color
- Roof Material – Type and Color
- Paint Color

PLANNING COMMISSION DESIGN REVIEW PROCESS

Applicants requesting a Design Review Board, Planning and Zoning Commission, and/or Town Council Review must submit to a pre-submittal conference and complete a formal application. The pre-submittal review process is completed within a period of 14 working days depending on the day of pre-submittal. The pre-submittal review provides valuable information regarding Town requirements for the formal application.

The Town Planner shall have the following powers and duties:

- **Zoning Compliance** – To review, consider, and approve, approve with conditions, or deny applications for building permits, limited use permits, conditional use permits, and temporary use permits based on compliance with this Section.
- **Process Applications** – To receive applications for development permits for processing pursuant to the terms of Section 16 of the Minturn Municipal Code.

Planning Commission as Design Review Board

Powers and Duties

The Planning Commission is hereby established as the Town of Minturn Design Review Board. The Design Review Board shall have the following powers and duties under the provisions of this Code.

1. To prepare, or cause to be prepared or amended, the Design Review Standards and Guidelines or any element or portion thereof, for adoption by the Town Council.
2. To hear, review, consider and approve, approve with conditions, or disapprove applications for Design Review Approval.
3. To hear and decide upon appeals on design review decisions made by the Zoning Administrator.

Board Procedure

The Town staff will forward applications (other than minor design applications), and recommendations, to the DRB.

The DRB shall review the application and supporting material submitted by the applicant, as well as the staff recommendation. After review, the DRB, through a formal motion, seconded and passed by a majority of the members present, shall take one of the following courses of action:

1. **Table the application.** The application may be tabled for a period not to exceed thirty (30) days if the application is incomplete or if the DRB determines that changes are required to bring the application into compliance with design standards and guidelines or other regulations of the Town. The Board may specify additional requirements for the applicant is to bring to the future meeting. These requirements may include additional information necessary to determine whether the application complies with all zoning, building, design codes adopted by the Town, and may include plans, reports, surveys or other documents completed by registered architects, surveyors, engineers or other professionals in order to indicate conformance with such codes. The DRB may also table the application if it determines that changes in the application are required which would bring the proposed project into compliance with zoning, building, design codes, and other regulations of the Town.
2. **Conceptual/Preliminary approval.** The DRB may grant conceptual approval to applicants who in a general fashion appear to meet design and other regulations of the Town but submit applications inadequate to warrant final approval. Conceptual approvals are also appropriate where a complete application has not been submitted, or where an applicant wishes to obtain a preliminary review of a sketch plan. A conceptual approval does not deem final approval of an application, nor does it deem that an application conforms to design or other regulations, nor shall it bind the DRB to grant final approval to a completed or final application.
3. **Disapproval of application.** If an application is found to conflict with the purposes and/or any one (1) or more of the design guidelines, codes or any other regulations of the Town, the DRB shall disapprove the application. Any disapproval shall be in writing and shall specifically describe the reasons upon which the disapproval is based.

4. **Approval of application.** If the application is complete and is found to comply with the design standards, codes and other regulations of the Town, the DRB shall approve the project. The DRB shall keep a record of all such approvals, and the applicant should keep a copy of the approval. The DRB may approve an application with conditions or modifications. The DRB shall not approve an application that does not meet the requirements of the Town or any other provision required to ensure compliance with the design standards and guidelines, codes and other regulations of the Town.

If a motion for approval, for conceptual approval, or to table an application results in a tie vote, the motion will fail.

DESIGN REVIEW CRITERIA

1. SITE DESIGN

Site planning involves the design and location of buildings and other improvements on a property. General principles include the maximization of site attributes such as views and solar orientation while minimizing adverse impacts to adjacent properties and natural features. Design of the building(s) shall consider the following criteria:

a. Natural Features

(1) Topography

A building site that is flat or gently sloping at less than 10% shall comply with applicable minimum standards for setbacks as defined in Chapter 16.

A building site that slopes at greater than 10% is urged to consider “stepping” the structure rather than grading the site to allow for traditional building layout. The intent is to avoid large cuts and/or fills as well as retaining walls, and to avoid the need for additional erosion control measures.

Setbacks may be increased for lots that slope greater than 30%.

(2) Water Bodies

Setbacks from water bodies shall include consideration of the Eagle River, tributary creeks, ponds, and wetlands. In addition to the regulatory setbacks, the Town of Minturn encourages conformance with the Eagle River Watershed Plan and sensitive design to protect the riparian areas and to utilize the water bodies for passive recreational purposes. The Town discourages “turning your back” on the Eagle River, one of Minturn’s greatest assets.

Site grading and drainage plans shall be submitted with design review applications that are adjacent to or within fifty (50) feet of a water body.

b. Orientation

The orientation of improvements shall consider adjacent properties as well as snow storage, snow shedding, and solar orientation. Another important component of orientation is drainage impact to adjacent properties, water bodies and streets.

Snow Storage, Snow Shedding and Solar Orientation

The atmospheric and weather-related elements common of the Town of Minturn justify the added dimension of siting improvements to minimize the impact of the environment.

Adequate snow storage area(s) or provisions for removal shall be provided. The total area may be broken up or provided as a whole. Location within the required setbacks shall be permitted provided it does not impede adequate and safe access to the structure(s). Landscape areas may also be used for snow storage purposes.

Snow shedding shall be considered in the use of material and pitch of the roof, as well as the location of windows, door and walkways. In no case shall snow shedding be permitted to occur onto an adjacent property.

Solar orientation shall be considered in the siting of the structures as well as in the landscaping of the lot or parcel. Orientation of the structure, as well as placement of trees, can be utilized to block prevailing winds in the winter and to provide shade in the summer. The structure should be placed on the lot in a manner that will not cast substantial

shadows over adjacent properties. Walkway and driveway location shall consider snowmelt in design location. These considerations include locating driveways, walkways, and structures, so that they are sheltered from the wind, and oriented to the east or south, where possible, to aid quicker snow and ice melt.

The front of the structure and its primary entrance shall be oriented to the street.

c. Massing and Scale

A simple central form with additive features shall be designed. This style creates visual interest and is appropriate for the community due to its compatibility with existing structures.

Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.

2. ARCHITECTURAL ELEMENTS

a. Roof Pitch and Form

Roofs are a very prominent visual element and can be used to provide strong unifying characteristics between buildings. The use of consistent roof form, materials, slope and direction can create a cohesive appearance to a neighborhood even when the architectural styles vary. Roof pitch and form are an important element of building design in the Town.

The incorporation of dormers into the roof form can be utilized to provide individual identity and to create and delineate upper living areas or lofts. Dormer roofs shall be similar in slope and material with the primary roof form. See Illustration.

Roofs shall be designed with consideration to snow accumulation and shedding. Entryways, garages and pedestrian areas shall be protected from potential snow shedding.

Chimneys may also be utilized as a unifying element. The size, location, and shape of chimney can be mimicked to provide a common feature in adjacent structures that have different architectural styles.

b. Facade

Vast expanses of a blank facade are not considered appropriate in Minturn due the mass and scale of the existing buildings in the Town. Therefore, facades must be interrupted every 15' at minimum. This interruption can occur through the use of projections and recessions for doors and windows, balconies or porches or any other element that creates visual interest. The use of architectural elements such as horizontal and vertical architectural details and floor articulation (delineation of 'floors' in a building) can be utilized to create a vertical human scale to the structure.

Windows and doors offer the opportunity to provide individual character and refinement of scale by introducing openings and patterns on otherwise blank walls. Consideration should be given to locating doors and windows in order to establish symmetry on primary facades, while being responsive to interior functions and views. The location of windows and doors can also be utilized as a unifying element with adjacent structures.

In order to maintain a smaller scale and to avoid the use of vast expanses of large windows, window openings should be composed of multiple panes of glass that are consistent with the scale of the building. Mirrored or reflective glass is prohibited.

Shutters and window boxes are encouraged to create visual interest and to reinforce the Town ambiance.

c. Building Details

The requirement for a simple building form allows for the introduction of building details to create character and interest. These details may include elements such as accents to doors and windows, porches, gates, dormers and chimneys.

3. MATERIALS AND SCREENING

a. Materials

The use of building materials is essential to the design and appearance of a structure, therefore the use of materials is indicative of the adjacent community character. Materials shall be consistent with adjacent properties and the natural environment. The Town of Minturn does not seek to limit or prohibit the use of specific building materials.

however the use of non-reflective materials are strongly encouraged. Highly reflective roofing materials are not allowed.

The historic character of Minturn is exhibited in the use of wood siding and native stone, therefore the use of these particular materials are encouraged. Many modern equivalents can be found which mimic the natural materials, and the Design Review Board may approve such materials if their appearance is found to be compatible with adjacent material and consistent with the intent of these standards and guidelines.

b. Streetscape and Landscape Design

Small towns evoke many images, but one that appears to be consistent with many residents is the neighborliness of the area. Porches, plaza, parks and simply strolling down the street allow neighbors and visitors to meet and greet each other and to get to know one another. The Town encourages the man-made elements that promote these activities, and in some instances the Design Review Board shall require the provision of streetscape improvements to encourage and reinforce the small town atmosphere.

Porches and awnings are encouraged for all residential design as these elements create and encourage a human scale that is consistent with the small town image. Commercial structures, particularly those that are located in renovated residential units, shall maintain these elements and incorporate the use of pedestrian walkways, street furniture such as benches and trashcans where possible. Commercial developments that exceed 2500 square feet of gross leasable area shall be required to provide a plaza area that incorporates these elements.

Landscape standards are defined in Section 16.17.14, 15 and 16 and shall be reviewed with all applications for design review. Compliance with the minimum standards defined within those sections shall be required. The Design Review Board shall review the list of plant material to be utilized, particularly for determination of irrigation requirements. Exhibit B lists plant materials that are suitable for use in the Town, drought-resistant and therefore their use is encouraged. Other plant materials listed that require substantial water and therefore the Design Review Board may require the provision of an irrigation system and the provision of collateral to assure its completion.

c. Screening

Both residential and commercial areas within the Town shall be required to screen certain visually obtrusive areas, including, but not limited to, refuse storage, general storage, loading areas, mechanical equipment and parking areas.

The screening may occur with landscaping, compliant with Section 16.17.14, 15 and 16, or these uses may be screened with fencing or by containing the uses within a structure or parapet walls. Fences shall not exceed 3-feet in height for opaque fences and 4 feet in height for fences with you can see through. Higher fences may be used to screen the sides and rear of the lot but should not exceed 6 feet in height. In no case shall a fence or screening structure obstruct a driver's view of an intersection.

Additional information regarding the Design Review processes and guidelines including the Character Areas can be found in Chapter 16, Appendix B of the Minturn Town Code.



TOBIN SMITH ARCHITECT

EAGLE RIVER RESIDENCE

Letter of Intent

21 March 2025

Eagle River Residence is a proposed single-family home for Patty and Ken Halliday, current Minturn residents. This structure would replace an existing single-family structure and detached shed currently on the site. A notice of intent to demolish these structures was previously filed and notice posted; the structures were not nominated for historic status.

The design of Eagle River Residence will allow Patty and Ken to live primarily on one level giving them confidence that they can enjoy this home for years to come. A lower level, hidden from the street, contains bedrooms and bathrooms to accommodate their grown children as well as young grandchildren, when they visit. Viewed from the street, a game room above the garage gives the impression of a two-story pitched-roof residence in keeping with the adjacent homes. While the massing and rooflines are different from house to house, the overall scale and building forms are similar.

Located approximately forty-five feet from the front property line, significantly beyond the ten-foot setback line, the home is sited to continue the pattern of development established by the adjacent houses. This larger buffer space accommodates both parking and plantings. A flagstone walkway flanked by five new Aspen trees and native grasses connects the sidewalk and driveway to the welcoming entry porch, a design element that reinforces Minturn’s architectural character and neighborliness. The architectural design accommodates four on-site parking spaces with snow storage conveniently located adjacent to the driveway and flagstone entry walkway.

The exterior palette includes vertical wood siding, dry-stacked stone, and standing seam metal roofing – materials utilized throughout town on both historic and contemporary structures. Oxidized steel accents, touches of warm wood tones, and bronze window and door cladding complete the grouping of materials. The varied tones and textures will connect Eagle River Residence with the town’s fabric and history.

Last, Patty and Ken will be pursuing an upper-level deck encroachment agreement with Eagle River Water & Sanitation District. As designed, the deck cantilevers four feet over the district’s easement approximately eleven feet above natural grade. The support columns are set back from the edge of the deck and are located outside of the easement. Final approval of the proposed design shall be contingent upon approval of the proposed encroachment.



EAGLE RIVER RESIDENCE

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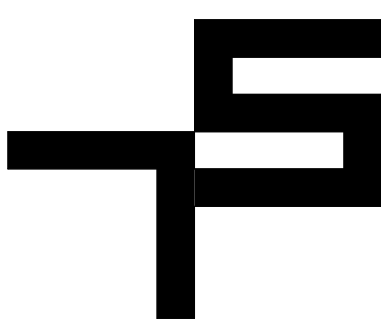
Patty + Ken Halliday

DESIGN REVIEW PACKAGE
21 MARCH 2025

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21 MARCH 2025 PROJ. NO. 2401 PROJ. ARCHITECT: TS DRAWN BY: ES

Table with 2 columns: DATE, ISSUE. Includes a section for SET ISSUE DATES.

Table with 3 columns: NO., DATE, DESCRIPTION. Includes a section for REVISIONS.

INDEX SHEET

G000

DRAWING INDEX

Table listing drawing sheets: G000 INDEX SHEET, G001 BOILER PLATE, G002 SITE PHOTOS - WINTER, G003 SITE PHOTOS - SUMMER, G004 COLORADO COLORS, G005 EXTERIOR MATERIALS, 3D-01 3D VIEWS, 3D-02 3D VIEWS, 3D-03 3D VIEWS, 3D-04 3D VIEWS, 3D-05 3D VIEWS CURRENT/ PREVIOUS, EX100 SURVEY - EXISTING, EX101 SURVEY - EXISTING

CIVIL

Table listing civil drawings: C1.0 GRADING + DRAINAGE PLAN, C2.0 STORM SEWER PLAN, C4.0 DETAILS, C4.1 DETAILS

ARCHITECTURAL

Table listing architectural drawings: A100 SITE CONTEXT, A101 SITE PLANS, A102 ARCHITECTURAL FOUNDATION PLANS, A200 FLOOR PLAN - GROUND LEVEL, A201 FLOOR PLAN - UPPER LEVEL, A202 FLOOR PLAN - LOWER LEVEL, A240 ROOF PLAN, A262 EXTERIOR DOOR & WINDOW SCHEDULE, A400 EXTERIOR ELEVATIONS, A401 EXTERIOR ELEVATIONS, A500 BUILDING SECTIONS, A501 BUILDING SECTIONS

ABBREVIATION SYMBOLS

Table of abbreviation symbols: Δ ANGLE, ⊕ CENTERLINES, c CHANNEL, d PENNY, P PLATE, φ DIAMETER, W WIDE FLANGE BEAM

DRAWING SYMBOLS

Table of drawing symbols: 100A DOOR NUMBER, 100 WINDOW NUMBER, ELEVATION MARK - HEIGHT ABOVE REF. ELEV. (0' - 0"), REVISION NUMBER, ROOM NAME & NUMBER, INTERIOR ELEVATION NUMBER & SHEET NUMBER, DETAIL NUMBER SHEET NUMBER, SHEET NUMBER EXTERIOR ELEVATION NUMBER, SECTION NUMBER SHEET NUMBER

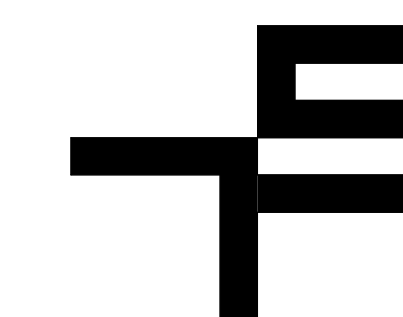
ABBREVIATIONS (CONT.)

Table of abbreviations (continued): PANEL ELECTRICAL PANELBOARD, PERF PERFORATED, PLAS PLASTER, P LAM PLASTIC LAMINATE, PNL PANEL, PL PLATE, PLYWD PLYWOOD, PVC POLYVINYL CHLORIDE, POLYISO POLYISOCYANURATE BOARD, PSI POUNDS PER SQUARE INCH, PROP PROPERTY LINE, R RADIUS, REF REFER (ENCE), REFL REFLECTED, REFG REFRIGERATOR, RAG RETURN AIR GRILLE, REQ'D REQUIRED, RC RAIN CHAIN, RD ROOF DRAIN, RH RIGHT HAND, RO ROUGH OPENING, SCHED. SCHEDULE, SEC SECTION, SHT SHEET, SHLV SHELVING, SIM SIMILAR, SC SOLID CORE, S SOUTH, SP SPACE (S), SPEC SPECIFICATION, SPECIFIED, SQ SQUARE, SS STAINLESS STEEL, STD STANDARD, STL STEEL, STR STORAGE, STR STAIR, STRINGER, SD STORM DRAIN, STRUCT STRUCTURAL, TAS TEXAS ACCESSIBILITY STANDARDS, TEL TELEPHONE, TV TELEVISION, THK THICK (NESS), T&G TONGUE AND GROOVE, T.O.P. TOP OF PLATE, T.O.S. TOP OF STEEL, T.O.W. TOP OF WALL, T TREAD, TEMPERED, TYP TYPICAL, UNO UNLESS NOTED OTHERWISE, VERT VERTICAL, WSCOT WAINSCOT, WH WATER HEATER, W/C WATER CLOSET, WP WATERPROOFING, WWF WELDED WIRE FABRIC, W WEST, WIN WINDOW, W/ WITH, W/O WITHOUT, WD WOOD

ABBREVIATIONS

Table of abbreviations: ABV ABOVE, AFF ABOVE FINISHED FLOOR, ACOUS ACOUSTICAL, ADJ ADJUSTABLE, ANOD ANODIZED, A/C AIR CONDITIONING, ALT ALTERNATE, ALUM ALUMINUM, ADA AMERICANS WITH DISABILITIES ACT, A.B. ANCHOR BOLT, ARCH ARCHITECT (URAL), AD AREA DRAIN, ASPH ASPHALT, BRG BEARING, BM BEAM, B.M. BENCH MARK, BTWN BETWEEN, BIT BITUMINOUS, BLK (G) BLOCK (ING), BD BOARD, B.S. BOTH SIDES, B.W. BOTH WAYS, BOT BOTTOM, B.O.B. BOTTOM OF BEAM, B.O.D. BOTTOM OF DECK, B.O.S. BOTTOM OF STEEL, BLDG BUILDING, BU BUILT UP, CAB CABINET, C.I. CAST IRON, C.B. CATCH BASIN, CLG CEILING, CEM CEMENT, CER TILE CERAMIC TILE, CIR CIRCLE, CIRC CIRCULAR, CIRCUMFERENCE, CLR CLEAR, COL COLUMN, COMB COMBINATION, CONC CONCRETE, CMU CONCRETE MASONRY UNIT, CONST CONSTRUCTION, CONT CONTINUOUS, CONTINUE, CTR CONTRACTOR, C.J. CONTROL JOINT, CNTR COUNTERTOP, D DEEP, DEMO DEMOLISH, DEMOLITION, DTL DETAIL, DIAG DIAGONAL, DIA DIAMETER, DIM DIMENSION, DR DOOR, D.H. DOUBLE HUNG, DBL DOUBLE, DS DOWNSPOUT, DISP DISPENSER, DWR DRAWER, DWG DRAWING, E EAST, ELEC ELECTRIC (AL), ELEV ELEVATION, ELV ELEVATOR, EXIST EXISTING, EPS EXPANDED (EXTRUDED) POLYSTYRENE BOARD, EQ EQUAL, EMERG EMERGENCY, EX EXHAUST, EXP EXPOSED, EXP JT EXPANSION JOINT, EIFS EXTERIOR INSULATING FINISH SYSTEM, FEC FIRE EXTINGUISHER CABINET, FIN FINISH (ED), FIN FLR FINISHED FLOOR, FP FIREPLACE, FLR FLOOR (ING), F.D. FINISHED DIMENSION, FD FLOOR DRAIN, FLUOR FLUORESCENT, FRP FIBERGLASS REINFORCED PANEL, FRZR FREEZER, FT FOOT (FEET), FTG FOOTING, FOUND FOUNDATION, GA GAGE, GAUGE, GALV GALVANIZED, G.C. GENERAL CONTRACTOR, GL GLASS, GYP BD GYPSUM WALL BOARD, GYP GYPSUM, H/C HANDICAPPED, HDWE HARDWARE, HDR HEADER, HVAC HEATING / VENTILATING / AIR CONDITIONING, H.D. HEAVY DUTY, HGT HEIGHT, H HIGH, HC HOLLOW CORE, HM HOLLOW METAL, HORIZ HORIZONTAL, HB HOSE BIBB, INCAND INCANDESCENT, IN INCHES, INCL INCLUDE (D), (ING), ID INSIDE DIAMETER, INSUL INSULATION, INSULATING, INT INTERIOR, LAM LAMINATE (D), LAV LAVATORY, LH LEFT HAND, L LENGTH, LONG, LLH LONG LEG HORIZONTAL, LLV LONG LEG VERTICAL, MSRY MASONRY, MAX MAXIMUM, MECH MECHANICAL, M.C. MEDICINE CABINET, MED MEDIUM, MBR MEMBER, MEMB MEMBRANE, MTL METAL, M METER (S), MIN MINIMUM, MISC MISCELLANEOUS, NOM NOMINAL, N NORTH, NIC NOT IN CONTRACT, NTS NOT TO SCALE, OC ON CENTER (S), O.H. OPPOSITE HAND, OPG OPENING, OPP OPPOSITE, OD OUTSIDE DIAMETER, PTD PAINTED

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21 MARCH 2025 PROJ. NO. 2401

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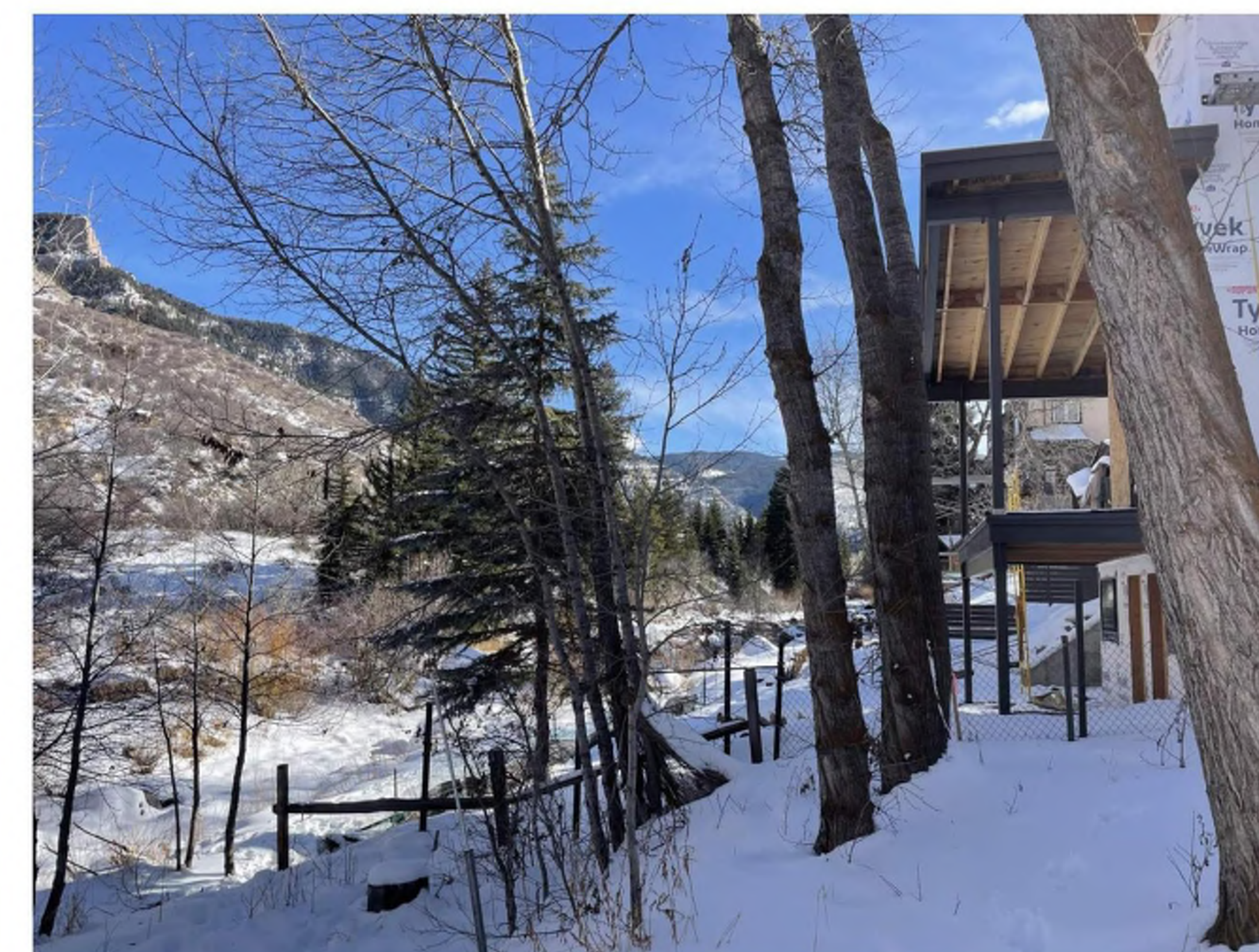
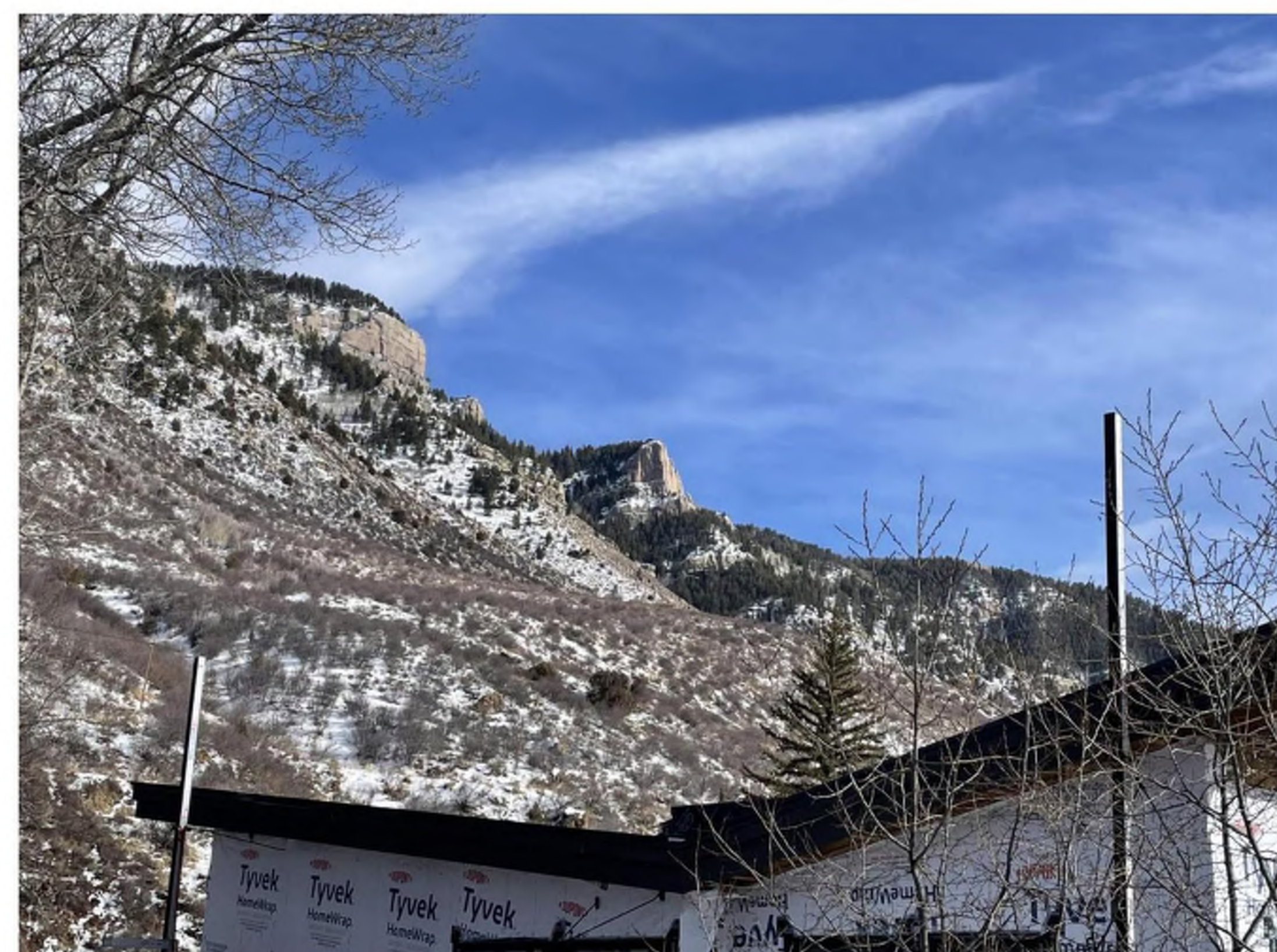
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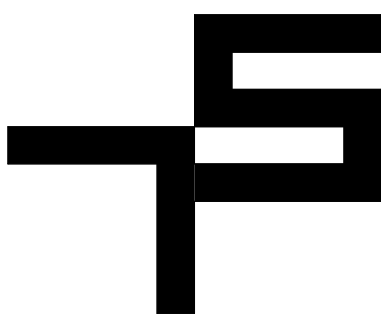
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**SITE PHOTOS -
WINTER**

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21 MARCH 2025 PROJ. NO. 2401
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**SITE PHOTOS -
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SAGAN DESIGN
7443 S. CLARKSON CIR.
CENTENNIAL, CO 80122
303.566.0925 T

CIVIL ENGINEER
ALPINE ENGINEERING, INC.
34510 HWY 6, UNIT A91 P.O. BOX 97
EDWARDS, CO 81632
970.526.3373 T

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SKYLINE MECHANICAL, INC.
16 ALPINE RANCH RD.
GYPSUM, CO 81637
970.524.6899 T

LIGHTING CONSULTANT
BRYDWATERS DESIGN, LLC.
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DALLAS, TX 75247
214.460.2873 T

GEOTECHNICAL ENGINEER
KUMAR & ASSOCIATES, INC.
5020 COUNTRY ROAD 154
GLENWOOD SPRINGS, CO 81601
970.845.7881 T

SURVEYOR
KPP LAND SURVEYING
P.O. BOX 3154
EAGLE, CO 81631
970.390.9540 T

21 MARCH 2025 PROJ. NO. 2401
PROJ. ARCHITECT: TS DRAWN BY: ES

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EXTERIOR MATERIALS

G005



A STANDING SEAM METAL ROOF - GREY



B WOOD EAVES / SOFFIT - BLOND



C WINDOW + DOOR CLADDING - BRONZE



D WOOD SIDING - GREY



E CORRUGATED METAL SIDING - OXIDIZED



F FLAT METAL PANEL CLADDING - OXIDIZED



G FLAT BAR FRAME + WOVEN WIRE MESH INFILL - OXIDIZED



H PAINTED STEEL STRUCTURE - BRONZE



I STONE VENEER - TELLURIDE GOLD





TOBIN SMITH ARCHITECT

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21 MARCH 2025

EAGLE RIVER RESIDENCE

532 MAIN STREET MINTURN, CO 81645

ARCHITECT TOBIN SMITH ARCHITECT, L.L.C. 2201 SAN PEDRO AVE. SAN ANTONIO, TX 78212 210 326 6646 P

ARCHITECTURAL CONSULTANT MPP DESIGN SHOP, INC. P.O. BOX 288 GYPSUM, CO 81637 970.390.4931 T

STRUCTURAL ENGINEER SAGAN DESIGN 7443 S. CLARKSON CIR. CENTENNIAL, CO 80122 303.556.0923 T

CIVIL ENGINEER ALPINE ENGINEERING, INC. 34510 HWY 6, UNIT A9/P.O. BOX 97 EDWARDS, CO 81632 970.526.3373 T

MECHANICAL ENGINEER SKYLINE MECHANICAL, INC. 16 ALPINE RANCH RD. GYPSUM, CO 81637 970.524.6899 T

LIGHTING CONSULTANT BRYDOWATERS DESIGN, LLC. 3939 BLACK GOLD DR. DALLAS, TX 75247 214.460.2873 T

GEOTECHNICAL ENGINEER KUMAR & ASSOCIATES, INC. 5020 COUNTRY ROAD 154 GLENWOOD SPRINGS, CO 81601 970.945.7880 T

SURVEYOR KIPP LAND SURVEYING P.O. BOX 3154 EAGLE, CO 81631 970.390.9540 T

21 MARCH 2025 PROJ. NO. 2401

PROJ. ARCHITECT: TS DRAWN BY: Author

SET ISSUE DATES

Table with columns DATE and ISSUE

REVISIONS

Table with columns NO., DATE, DESCRIPTION

SURVEY - EXISTING

EX101

IMPROVEMENT SURVEY PLAT WITH TOPOGRAPHY Lot 3, Block 3 Booco's 2nd Addition to Minturn & a Parcel of Land Situated in Section 26, Township 5 South, Range 81 West, 6th P.M. TOWN OF MINTURN, COUNTY OF EAGLE, STATE OF COLORADO

LEGAL DESCRIPTION:

(PARCEL 1) SPECIAL WARRANTY DEED REC.NO. 202400298 LOT 3, BLOCK 3, BOOCO'S 2ND ADDITION TO THE TOWN OF MINTURN, ACCORDING TO THE RECORDED PLAT THEREOF, RECORDED 10-10-1901 AT RECEPTION NO. 20577 AND WARRANTY DEED REC.NO. 201908667 IN THE OFFICE OF THE CLERK AND RECORDER, COUNTY OF EAGLE, STATE OF COLORADO. TOGETHER WITH (PARCEL 2) SPECIAL WARRANTY DEED REC.NO. 202400298 AND QUIET TITLE DECREE REC.NO. 201802728 A PARCEL OF LAND LOCATED IN THE SOUTHEAST 1/4, OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 81 WEST, 6TH PRINCIPAL MERIDIAN, TOWN OF MINTURN, EAGLE COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTH CORNER OF LOT 3, BLOCK 3, BOOCO'S SECOND ADDITION, ALSO BEING THE EAST CORNER OF LOT 2, SAID BLOCK 3, AND THE SOUTH CORNER OF A TRACT OF LAND DESCRIBED IN RECEPTION NUMBER 893824 TO ELIZABETH & TIMOTHY CAMPBELL. THENCE NORTH 44 DEGREES 40 MINUTES 00 SECONDS EAST, ALONG THE SOUTHWEST LINE OF SAID CAMPBELL TRACT, A DISTANCE OF 37.46 FEET TO THE EAST CORNER OF SAID CAMPBELL TRACT, BEING ON THE SOUTHWESTERLY HIGH WATER LINE OF THE EAGLE RIVER PER RECORDED DEED; THENCE ALONG SAID SOUTHWESTERLY HIGH WATER LINE OF THE EAGLE RIVER THE FOLLOWING COURSES AND DISTANCES: SOUTH 10 DEGREES 31 MINUTES 22 SECONDS WEST, A DISTANCE OF 11.51 FEET; SOUTH 35 DEGREES 27 MINUTES 44 SECONDS EAST, A DISTANCE OF 16.44 FEET; SOUTH 13 DEGREES 50 MINUTES 16 SECONDS EAST, A DISTANCE OF 13.76 FEET; SOUTH 48 DEGREES 37 MINUTES 20 SECONDS EAST, A DISTANCE OF 15.97 FEET TO THE NORTH CORNER OF A TRACT OF LAND DESCRIBED IN RECEPTION NUMBER 200605871 TO BENJAMIN RADER, TRUSTEE; THENCE SOUTH 44 DEGREES 32 MINUTES 25 SECONDS WEST, A DISTANCE OF 16.95 FEET, DEPARTING SAID HIGH WATER LINE, ALONG THE SOUTHWEST LINE OF SAID RADER TRACT, TO THE WEST CORNER OF SAID RADER TRACT, ALSO BEING THE EAST CORNER OF SAID LOT 3; THENCE NORTH 47 DEGREES 40 MINUTES 00 SECONDS WEST, LONG THE NORTHEAST LINE OF SAID LOT 3, A DISTANCE OF 46.06 FEET; THENCE NORTH 45 DEGREES 20 MINUTES 00 SECONDS WEST, CONTINUING ALONG SAID NORTHEAST LINE, A DISTANCE OF 3.95 FEET TO THE POINT OF BEGINNING.

NOTES:

- 1) DATE OF SURVEY: JANUARY 10, 2024 AND UPDATED SEPTEMBER 12, 2024. 2) STREET ADDRESS: 532 MAIN STREET (POSTED) 3) LOCATION OF IMPROVEMENTS AND LOT LINES ARE BASED UPON THE LEGAL DESCRIPTION ABOVE PROVIDED BY LAND TITLE GUARANTEE COMPANY AND SURVEY MONUMENTS FOUND AT THE TIME OF THIS SURVEY AS SHOWN HEREON. 4) BENCHMARK: S-280 3.25" BRASS CAP SET IN ROCK, ELEVATION = 7894.4' 5) U.S. SURVEY FEET USED FOR THIS SURVEY. 6) BASIS OF BEARINGS: AN ASSUMED BEARING OF S 44° 32' 25" W BETWEEN THE SOUTHERLY PROPERTY CORNER OF LOT 3, BOOCO'S 2ND ADDITION TO THE TOWN OF MINTURN, REC.NO. 20577 (A FOUND 1.25" YELLOW PLASTIC CAP ON #5 REBAR, LS # ILLEGIBLE) AND THE NORTHEASTERLY PROPERTY CORNER OF PARCEL 2, AS DESCRIBED IN REC.NO. 20198667 (A FOUND 1.5" ALUMINUM CAP ON #5 REBAR, LS #27598). ALL BEARINGS HEREON ARE RELATIVE THERETO. 7) TITLE COMMITMENT PROVIDED BY LAND TITLE GUARANTEE COMPANY, ORDER NO. V50071530-3, WITH AN EFFECTIVE DATE OF 8-19-2024. 8) 1' CONTOURS SHOWN HEREON. 9) THE CENTERLINE FOR THE RECORDED SANITARY EASEMENT RECEPTION NO. 899598, DOES NOT COVER THE QUIET TITLE REC.NO. 201802728 PARCEL 2 BECAUSE IT DID NOT EXIST WHEN THE EASEMENT WAS CREATED. IT ALSO DOES NOT MATCH THE AS-BUILT LOCATION FOR CENTERLINE, MANHOLES WERE LOCATED AND POPPED TO MEASURE LOCATION OF THE CENTERLINE BURIED PIPE. THERE IS AN APPARENT 20' EASEMENT WITH THE CENTERLINE RUNNING ALONG THE AS-BUILT LOCATION AS SHOWN HEREON, ACROSS LOTS (PARCEL 1) AND PARCEL 2. 10) FEMA FLOOD INSURANCE RATE MAP NO. 08037C0658D, DATED 12/4/2007 DESIGNATES THIS PROPERTY AS - ZONE X - AREA OF MINIMAL FLOOD HAZARD. EXCEPT AS SHOWN HEREON. 11) NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT, IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

CERTIFICATION:

I, RANDALL P. KIPP, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS LAND SURVEY PLAT WAS PREPARED FOR KEN AND PATTY HALLIDAY REVOCABLE TRUST, AND IS THE RESULT OF A SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, RESPONSIBILITY AND CHECKING. I FURTHER CERTIFY THAT THIS LAND SURVEY PLAT IS IN CONFORMANCE WITH 38-51-106 C.F.S. MINIMUM STANDARDS FOR LAND PLATS, AND IS BASED ON THE LAND SURVEYORS KNOWLEDGE AND BELIEF, IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE, AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.



RANDALL P. KIPP P.L.S. #38079 COLORADO PROFESSIONAL LAND SURVEYOR

COUNTY SURVEYOR CERTIFICATION:

DEPOSITED THIS _____ DAY OF _____, 20____ AT _____ IN BOOK 1 OF THE EAGLE COUNTY SURVEYOR'S LAND SURVEY PLATS / RIGHTS-OF-WAY SURVEYS AT PAGE _____ THIS LAND SURVEY PLAT COMPLIES WITH SECTION 38-51-102, OF THE COLORADO REVISED STATUTES.

REV. DATE 11-19-24 -- ADDED NOTES REV. DATE 10-28-24 -- ADDED FEMA FIRM FLOODPLAIN INFORMATION

IMPROVEMENT SURVEY PLAT WITH TOPOGRAPHY Lot 3, Block 3, Booco's 2nd Addition to Minturn and a Parcel of Land in S-26, T.5S., R.81W., 6th P.M. TOWN OF MINTURN, COUNTY OF EAGLE, COLORADO KIPP LAND SURVEYING Randy Kipp P.L.S. P.O. Box 3154 Eagle, CO 81631 (970) 390-9540 email: randy@kipplandsurveying.com web: kipplandsurveying.com

JOB NO.: 241001 DATE: 10-03-24 SHEET 1 OF 1 DWG. NAME: 241001-L3Booco's2ndBlk3 REV. DATE: 9-12-24 -- ADDED OHWM

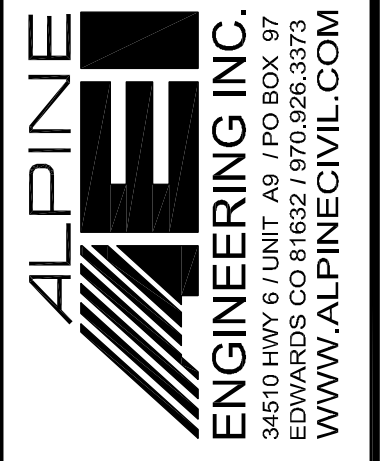


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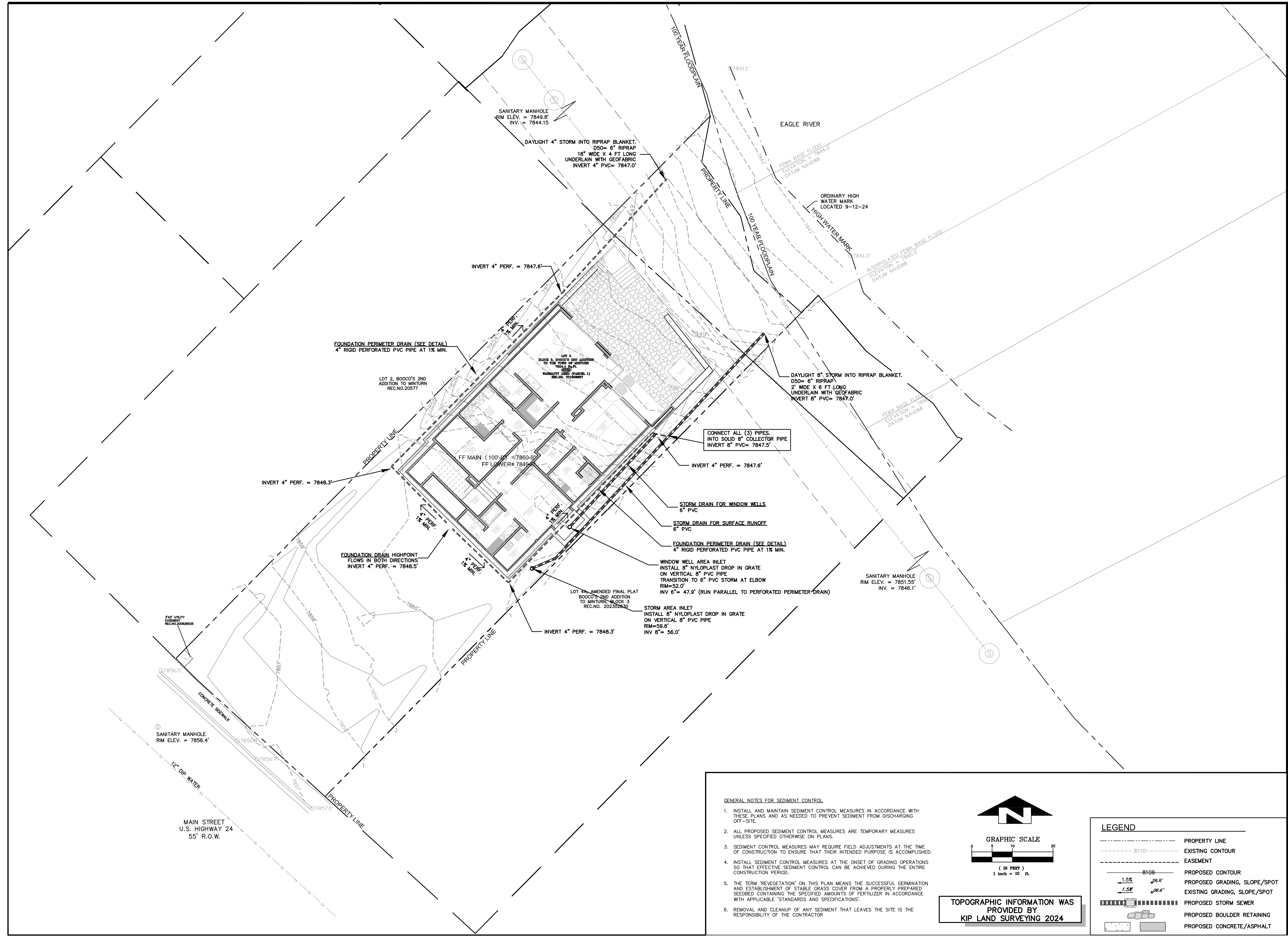
- LEGEND: DENOTES GAS METER, DENOTES ELECTRIC METER, DENOTES SANITARY SEWER MANHOLE, DENOTES TELEPHONE PEDESTAL, DENOTES FOUND SURVEY MONUMENT - 1.5" ALUMINUM CAP ON #5 REBAR, LS #27598, DENOTES FOUND SURVEY MONUMENT - 2" ALUMINUM CAP ON #5 REBAR, LS #38079, DENOTES FOUND SURVEY MONUMENT - 2" BRASS CAP IN CONCRETE, LS #ILLEGIBLE, DENOTES FOUND SURVEY MONUMENT - 1.25" BRASS SHINER IN CONCRETE, LS #27598, DENOTES FOUND SURVEY MONUMENT - 1.25" YELLOW PLASTIC CAP ON #5 REBAR, LS #ILLEGIBLE, DENOTES FIELD MEASURED BEARING AND DISTANCE, DENOTES BOUNDARY LINE, DENOTES EASEMENT LINE, DENOTES ADJOINERS AND OTHER PROPERTY LINES, DENOTES WOOD FENCE, DENOTES ORDINARY HIGH WATER MARK, DENOTES FEMA 100 YR FLOOD LINE ZONE X BOUNDARY

1 SURVEY - EXISTING

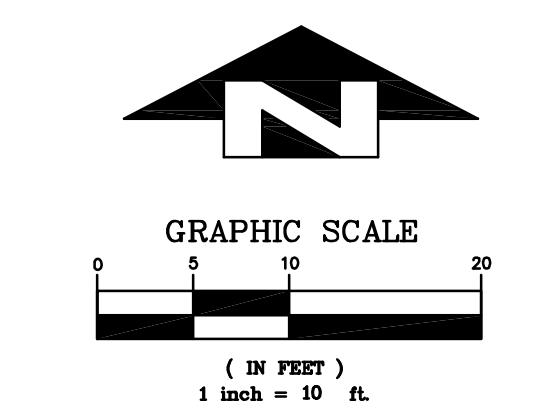
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532 MAIN STREET MINTURN, CO STORM SEWER PLAN



- GENERAL NOTES FOR SEDIMENT CONTROL**
1. INSTALL AND MAINTAIN SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THESE PLANS AND AS NEEDED TO PREVENT SEDIMENT FROM DISCHARGING OFF-SITE.
 2. ALL PROPOSED SEDIMENT CONTROL MEASURES ARE TEMPORARY MEASURES UNLESS SPECIFIED OTHERWISE ON PLANS.
 3. SEDIMENT CONTROL MEASURES MAY REQUIRE FIELD ADJUSTMENTS AT THE TIME OF CONSTRUCTION TO ENSURE THAT THEIR INTENDED PURPOSE IS ACCOMPLISHED.
 4. INSTALL SEDIMENT CONTROL MEASURES AT THE ONSET OF GRADING OPERATIONS SO THAT EFFECTIVE SEDIMENT CONTROL CAN BE ACHIEVED DURING THE ENTIRE CONSTRUCTION PERIOD.
 5. THE TERM "REVEGETATION" ON THIS PLAN MEANS THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF STABLE GRASS COVER FROM A PROPERLY PREPARED SEEDBED CONTAINING THE SPECIFIED AMOUNTS OF FERTILIZER IN ACCORDANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS.
 6. REMOVAL AND CLEANUP OF ANY SEDIMENT THAT LEAVES THE SITE IS THE RESPONSIBILITY OF THE CONTRACTOR



| LEGEND | |
|--------|------------------------------|
| | PROPERTY LINE |
| | EXISTING CONTOUR |
| | EASEMENT |
| | PROPOSED CONTOUR |
| | PROPOSED GRADING, SLOPE/SPOT |
| | EXISTING GRADING, SLOPE/SPOT |
| | PROPOSED STORM SEWER |
| | PROPOSED BOULDER RETAINING |
| | PROPOSED CONCRETE/ASPHALT |

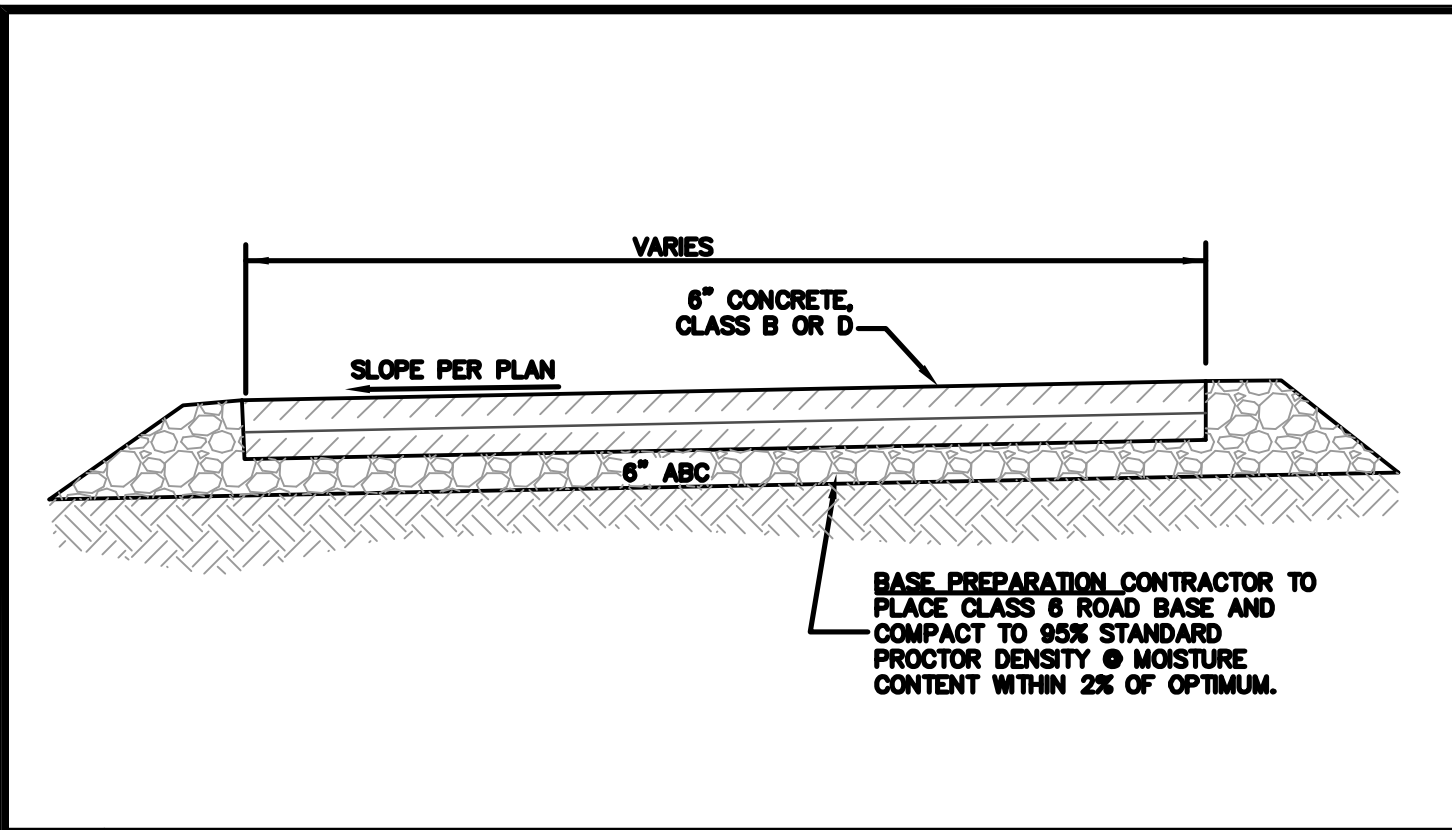
TOPOGRAPHIC INFORMATION WAS PROVIDED BY KIP LAND SURVEYING 2024

| NO. | DATE | REVISIONS | BY |
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| | 12/16/2024 | DRB SUBMITTAL | MCW |
| | 03/20/2024 | DRB SUBMITTAL | |

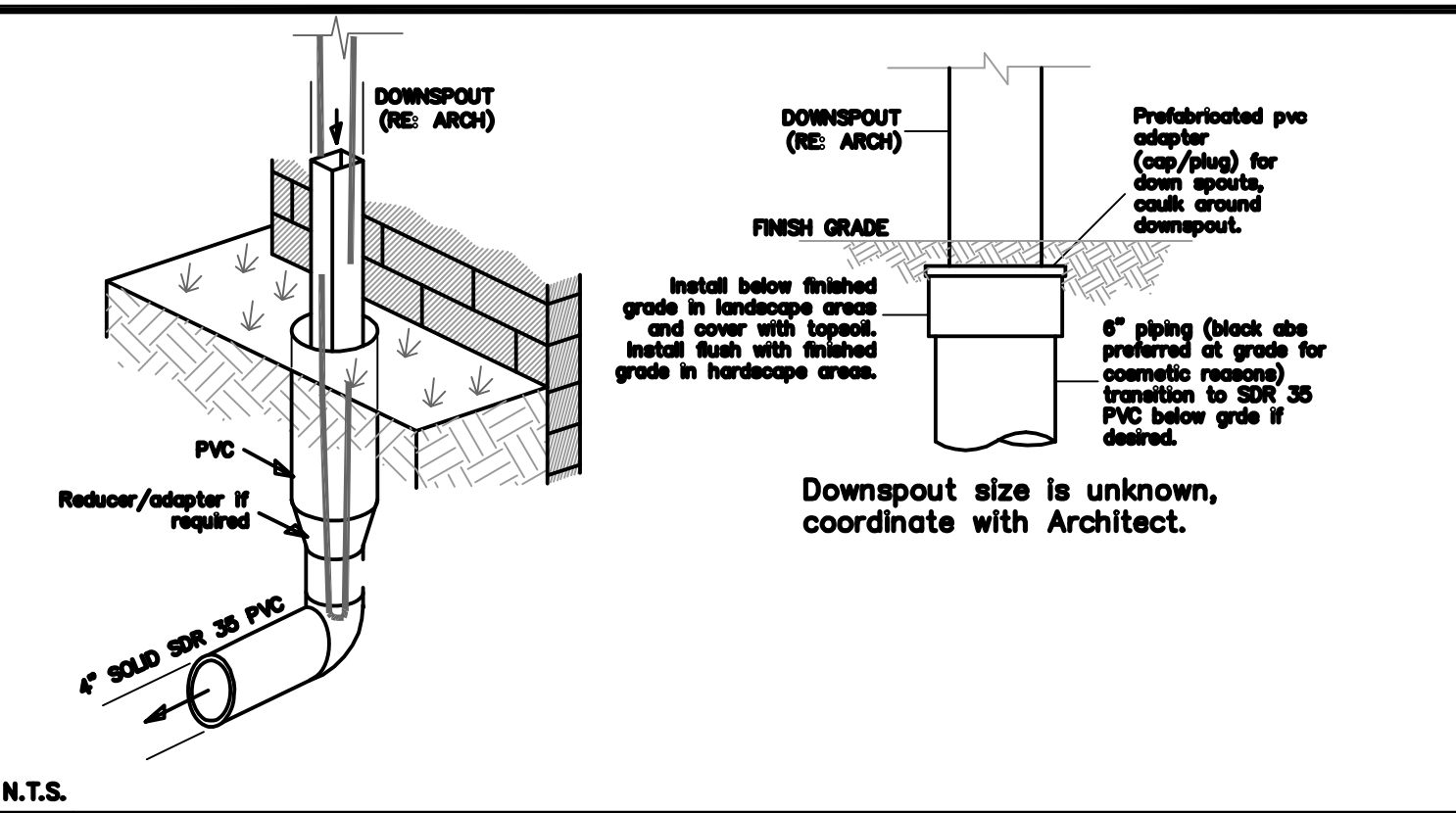
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| DESIGNED | MCW |
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| DATE | 11/19/2024 |

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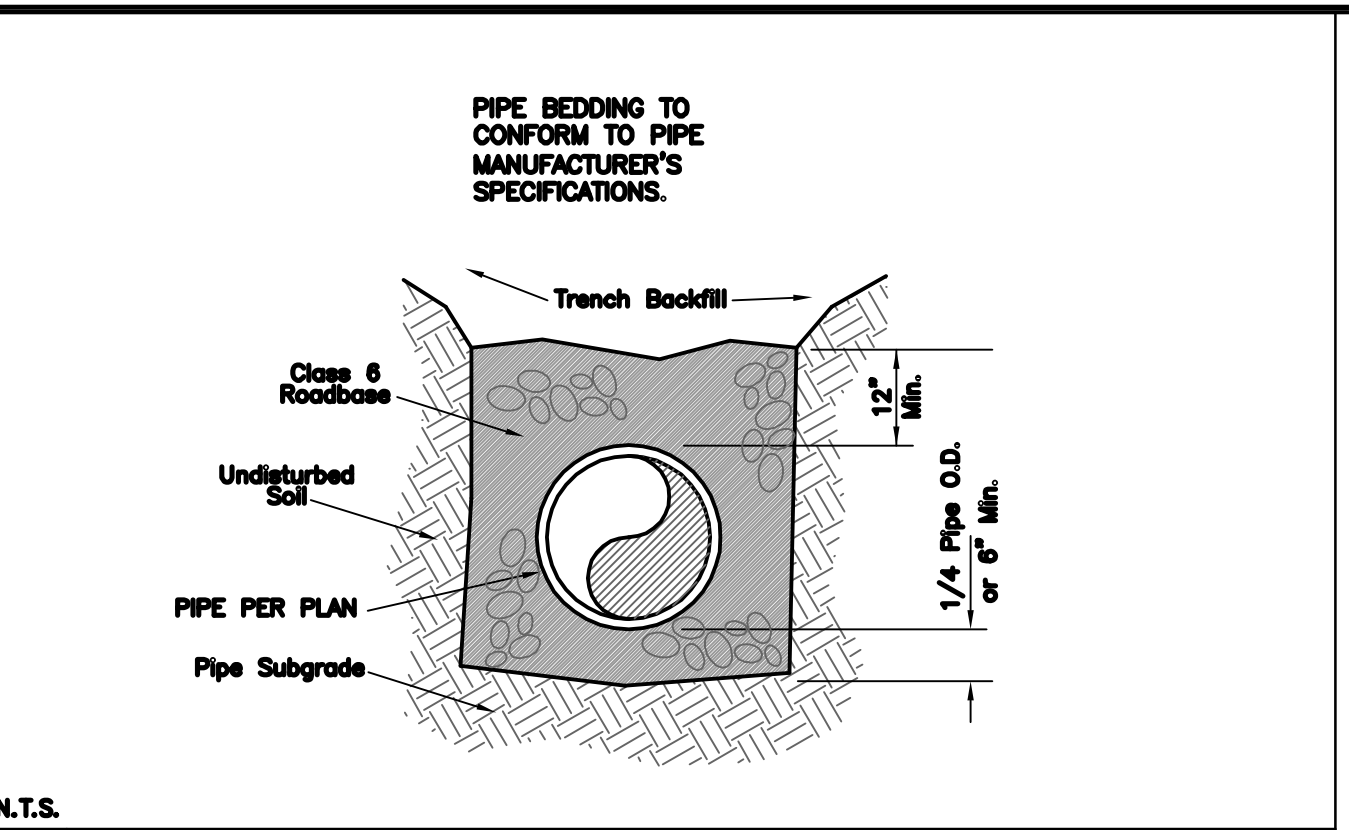
532 MAIN STREET MINTURN, CO DETAILS



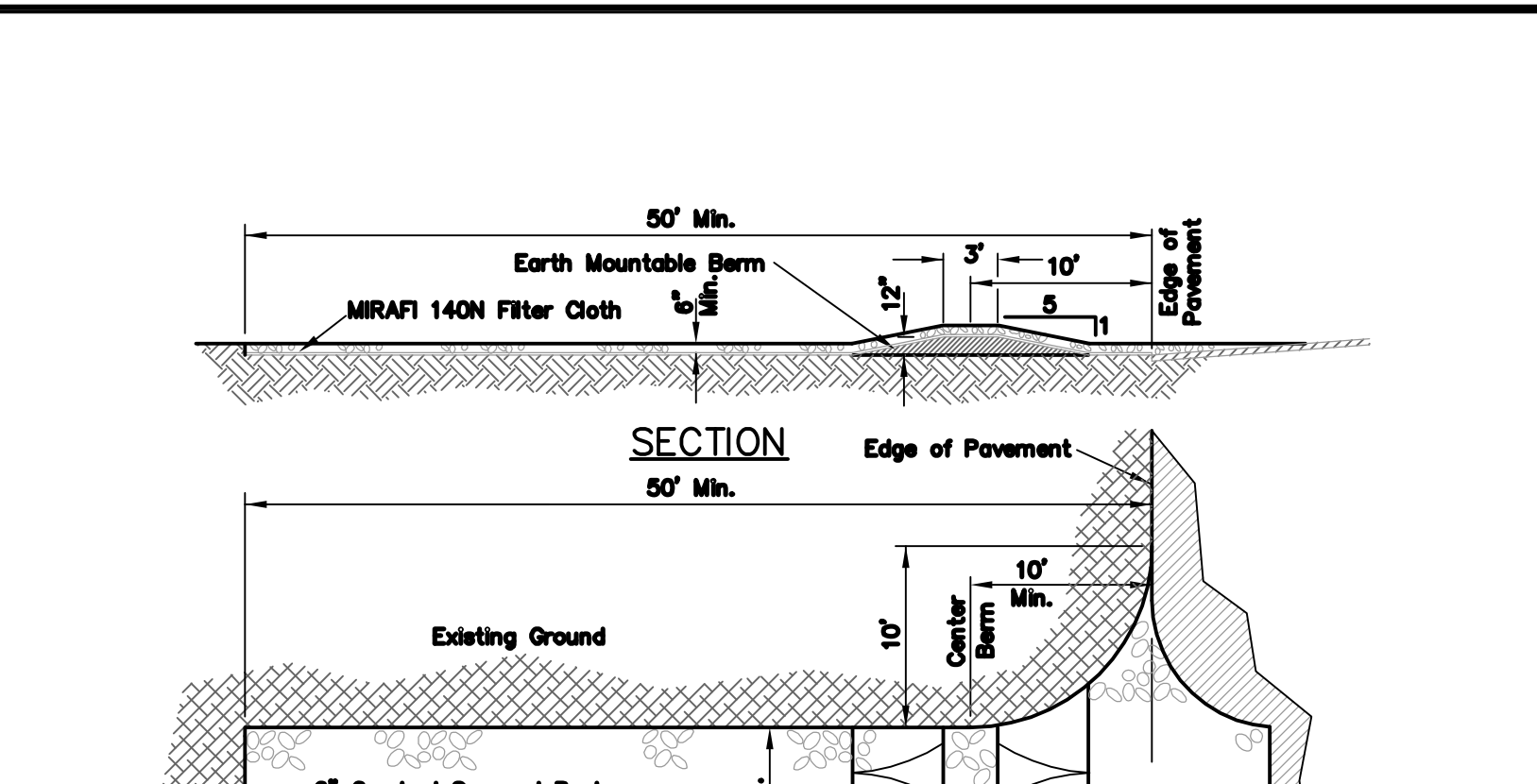
A CONCRETE DRIVEWAY SECTION



E DOWNSPOUT (BURIED)

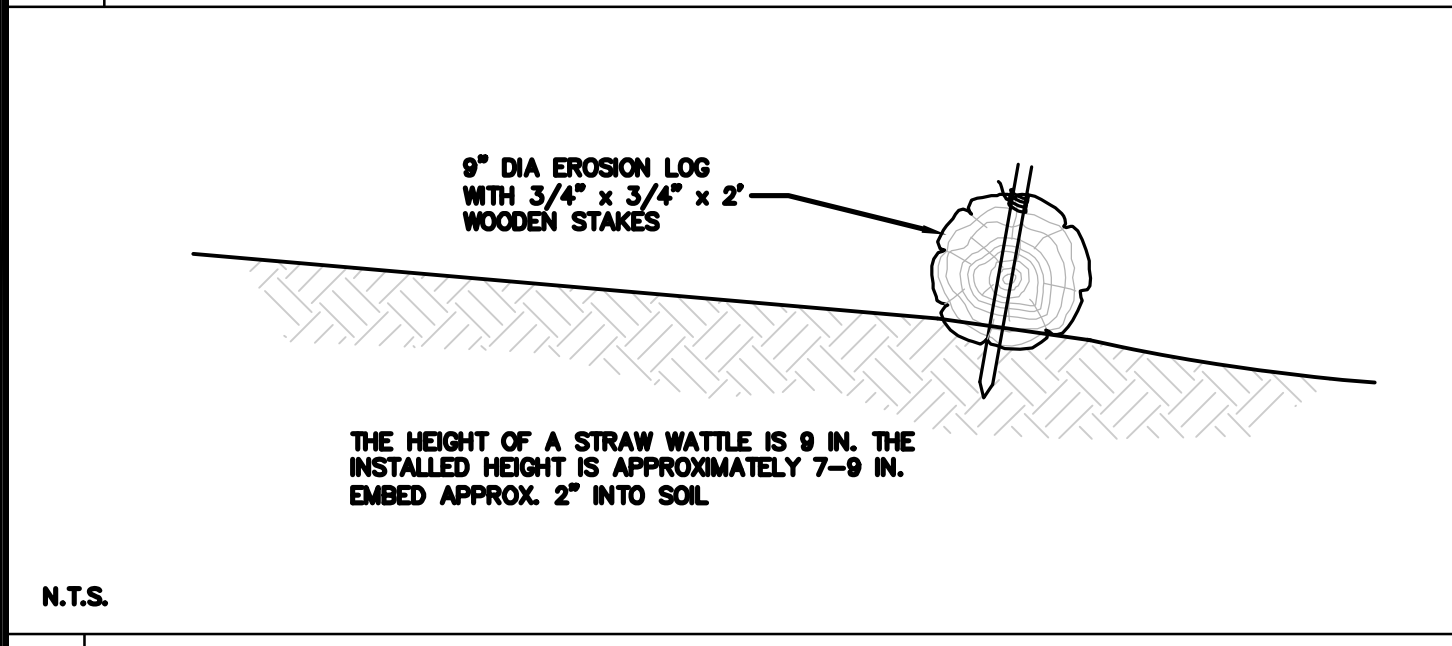


I CULVERT BEDDING

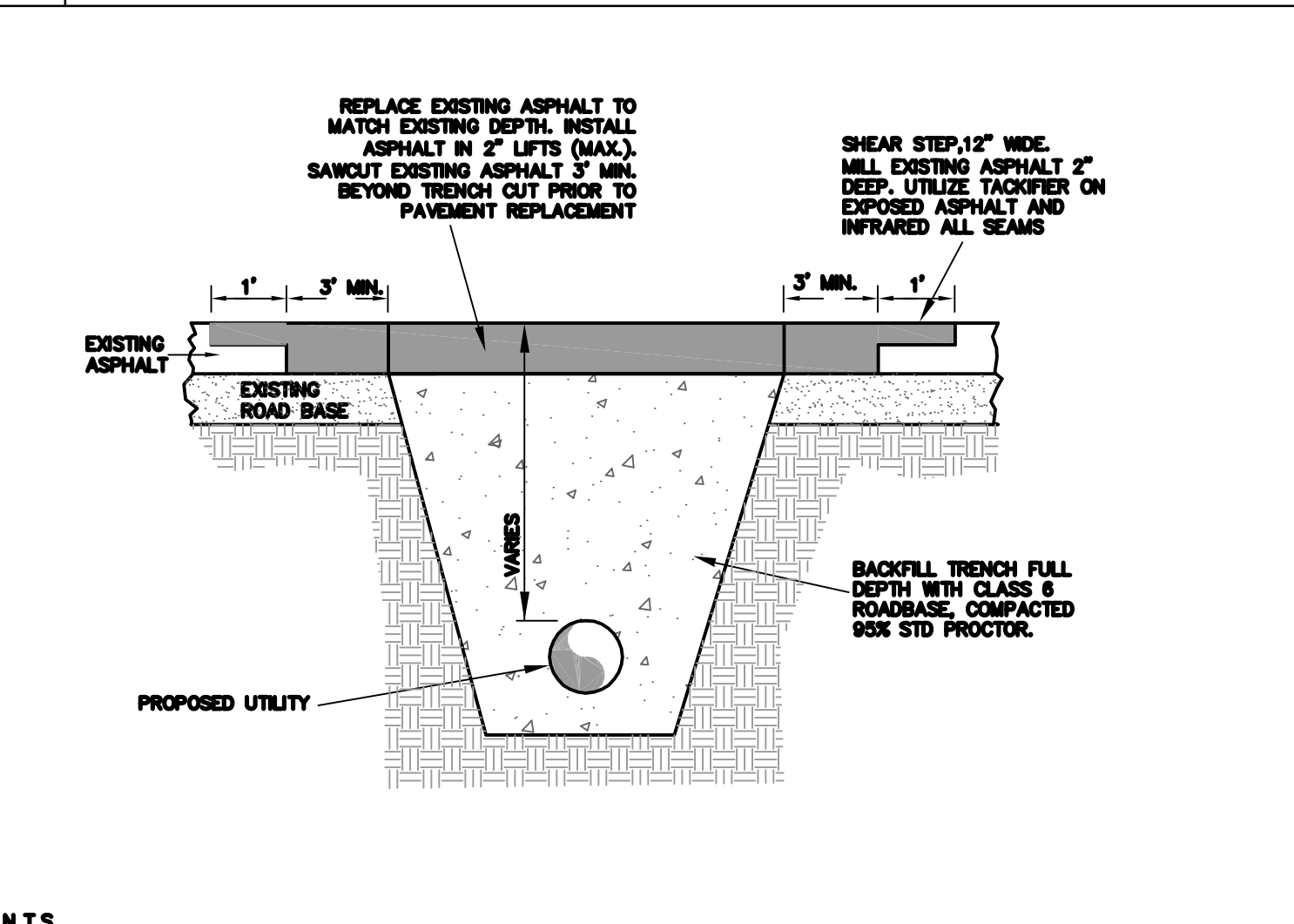


K STABILIZED CONSTRUCTION ENTRANCE

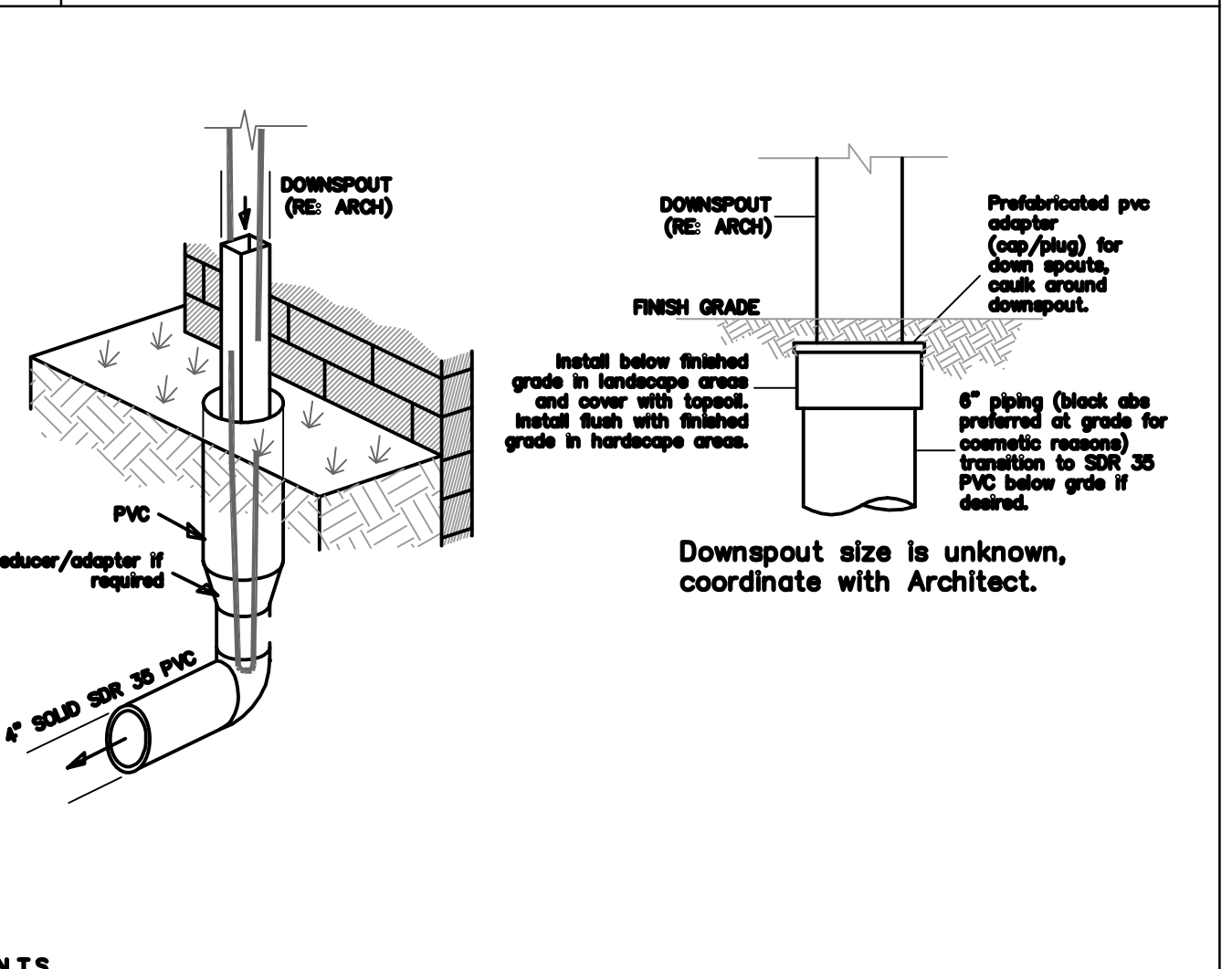
- CONSTRUCTION NOTES**
- STONE SIZE - USE 2" CRUSHED SCREENED ROCK.
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY. SEE SHALL REMAIN IN PLACE UNTIL PAVING OF ENTRANCE COMMENCES.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



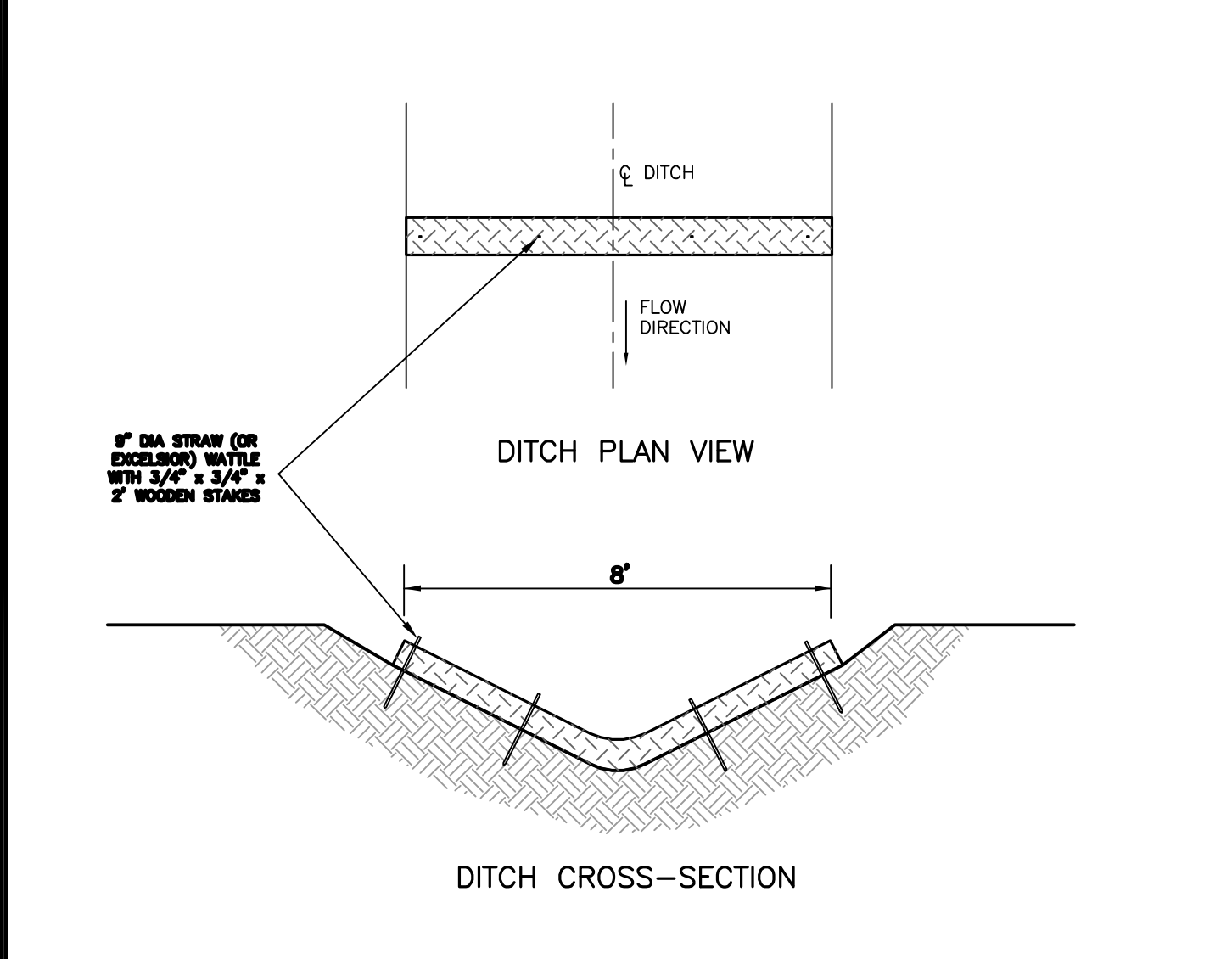
C EROSION LOG WATTLE DETAIL



F ROADCUT DETAIL

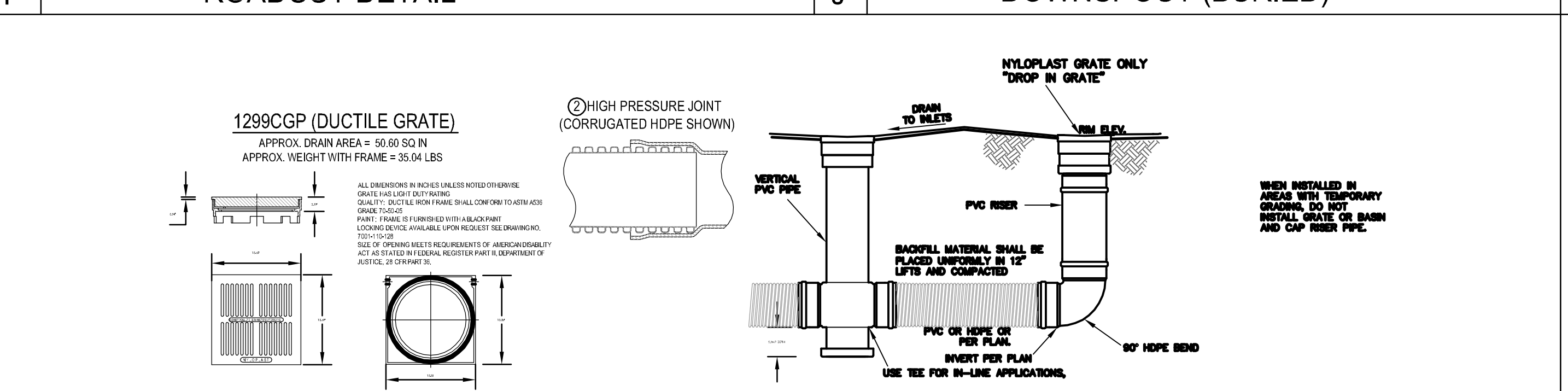


J DOWNSPOUT (BURIED)

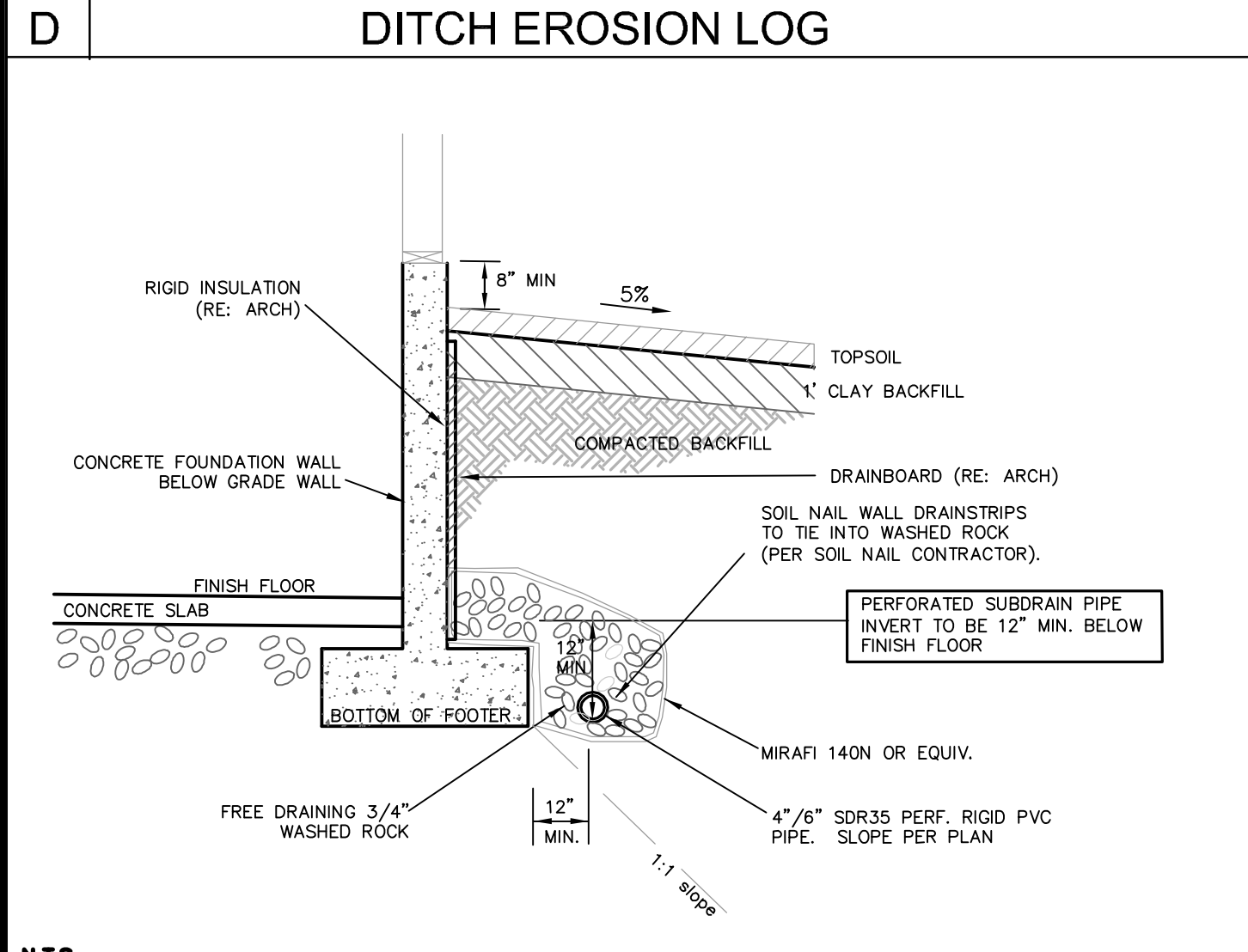


D DITCH EROSION LOG

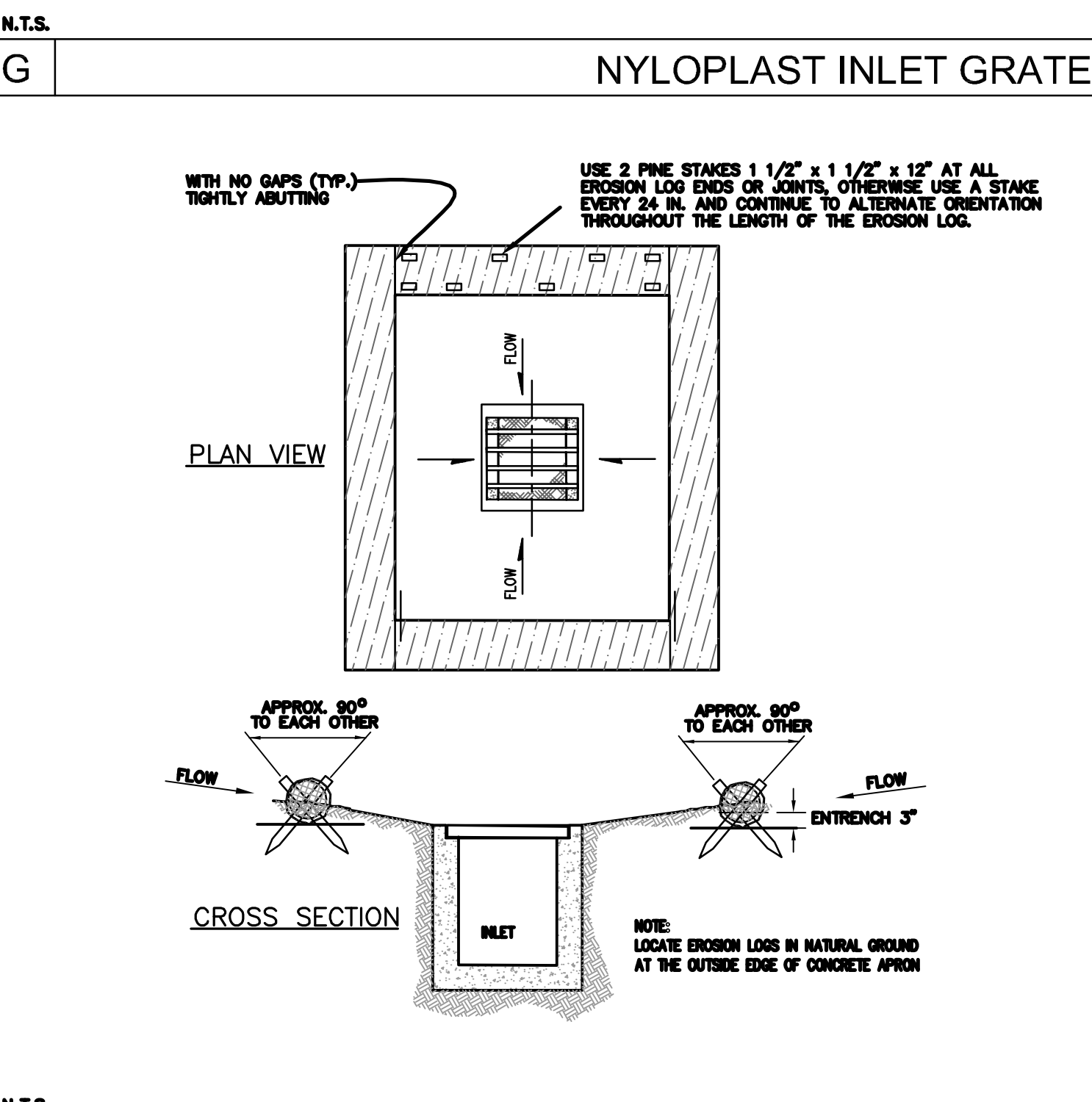
- THE HEIGHT OF A STRAW WATTLE IS 9 IN. THE INSTALLED HEIGHT IS APPROXIMATELY 5-7 IN. THE STANDARD LENGTH OF STRAW WATTLES IS 25 FT., HOWEVER OTHER LENGTHS WILL BE MADE UPON REQUEST.
- STRAW WATTLES SHOULD BE INSTALLED IN SHALLOW TRENCHES, 2-4 IN. DEEP, DEPENDING ON SOIL TYPE AND SLOPE STEEPNESS. DO THE TRENCH DEEPER FOR SOFT, LOAMY SOILS AND STEEPEST SLOPES. DO THE TRENCH SHALLOWER FOR HARD, ROCKY SOILS AND GENTLER SLOPES. USE MATCOCKS AND SHOVELS TO DO THE TRENCH, THROWING EXCAVATED SOIL TO THE UPHILL SIDE TO PREVENT RUNOFF FROM UNDERCUTTING THE WATTLE.
- INSTALL WATTLE IN DRAINAGE DITCH PERPENDICULAR TO FLOW DIRECTION.



G NYLOPLAST INLET GRATES



B EXTERIOR FOUNDATION PERIMETER DRAIN

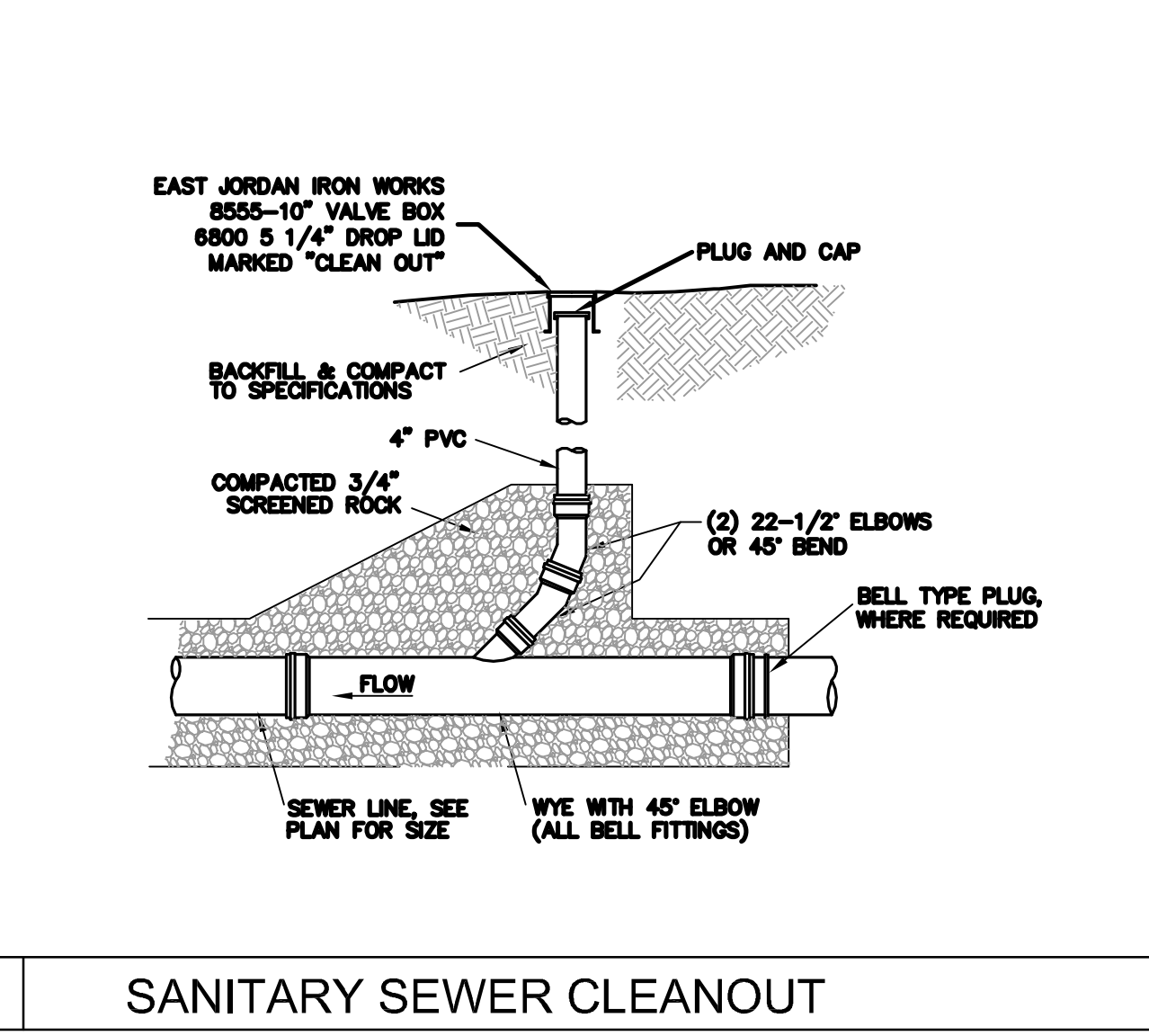
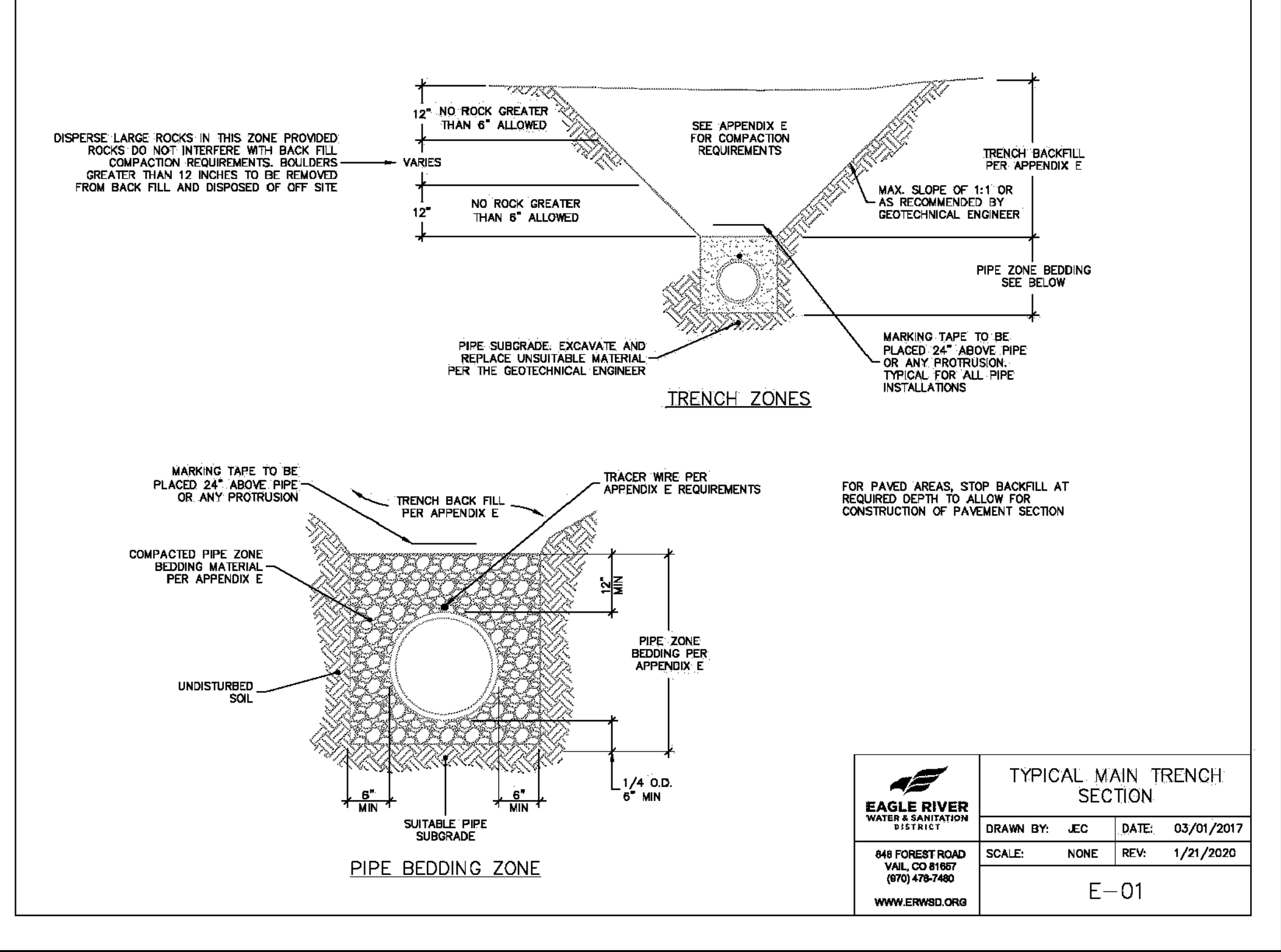
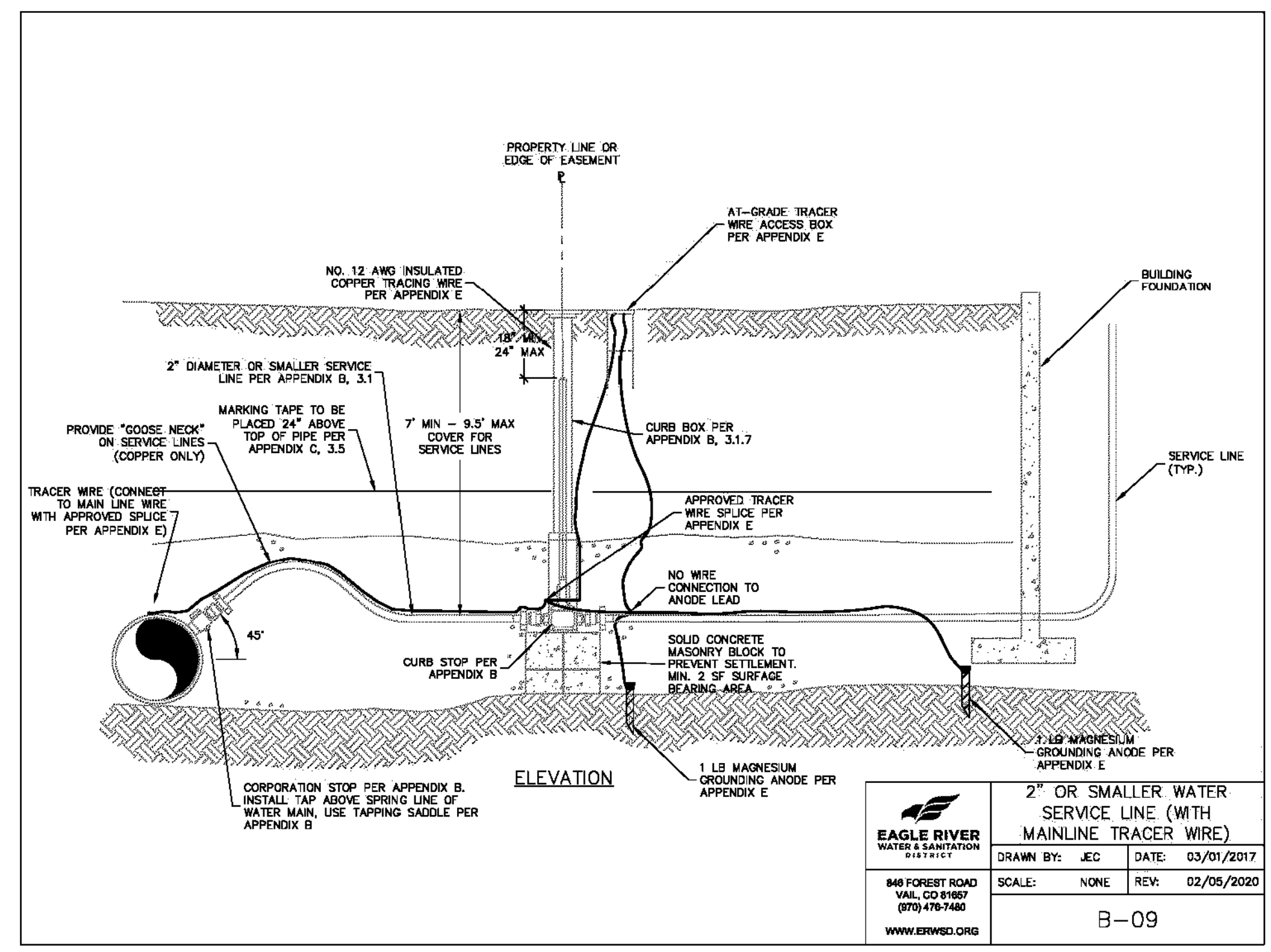
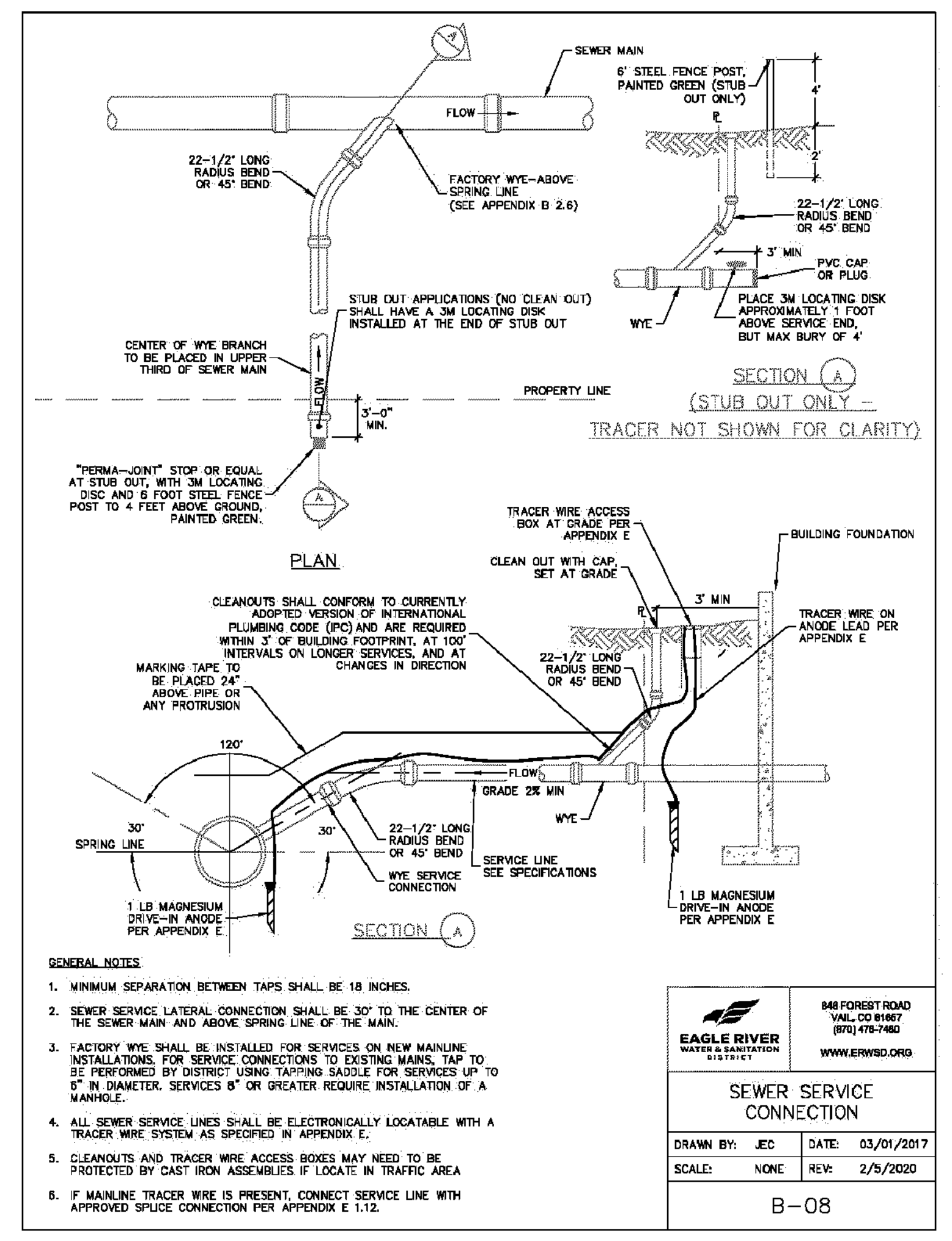


H EROSION LOG INLET PROTECTION

| NO. | DATE | REVISIONS | BY |
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| | 03/20/2024 | DRB SUBMITTAL | |

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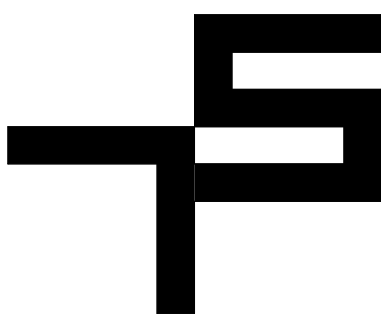
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**532 MAIN STREET
MINTURN, CO
DETAILS**

| NO. | DATE | REVISIONS | BY |
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| | 12/16/2024 | DRB SUBMITTAL | MCW |
| | 03/20/2024 | DRB SUBMITTAL | MCW |

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| DRAWN | TSL, MCW | |
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EAGLE RIVER RESIDENCE

532 MAIN STREET
MINTURN, CO 81645

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210 326 6646 P

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81637 970.390.4931 T

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3D VIEWS

3D-01



1 AERIAL LOOKING NORTHEAST



2 AERIAL LOOKING NORTHWEST

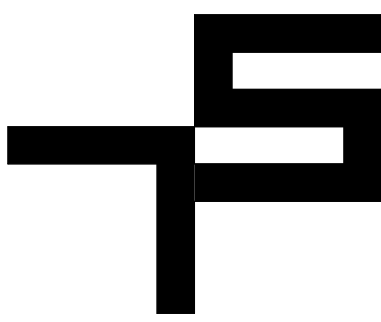


3 AERIAL LOOKING SOUTHEAST



4 AERIAL LOOKING SOUTHWEST

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EAGLE RIVER RESIDENCE

532 MAIN STREET
MINTURN, CO 81645

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TOBIN SMITH ARCHITECT, LLC.
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SAN ANTONIO, TX 78212
210 326 6646 P

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P.O. BOX 288
GYPSUM, CO
81637 970.390.4931 T

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SAGAN DESIGN
7443 S. CLARKSON CIR.
CENTENNIAL, CO 80122
303.566.0925 T

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ALPINE ENGINEERING, INC.
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EDWARDS, CO 81632
970.526.3373 T

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SKYLINE MECHANICAL, INC.
16 ALPINE RANCH RD.
GYPSUM, CO 81637
970.524.6899 T

LIGHTING CONSULTANT
BRYDWATERS DESIGN, LLC.
3939 BLACK GOLD DR.
DALLAS, TX 75247
214.460.2873 T

GEOTECHNICAL ENGINEER
KUMAR & ASSOCIATES, INC.
5020 COUNTRY ROAD 154
GLENWOOD SPRINGS, CO 81601
970.845.7885 T

SURVEYOR
KPP LAND SURVEYING
P.O. BOX 3154
EAGLE, CO 81631
970.390.9540 T

21 MARCH 2025 PROJ. NO. 2401
PROJ. ARCHITECT: TS DRAWN BY: ES

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3D VIEWS

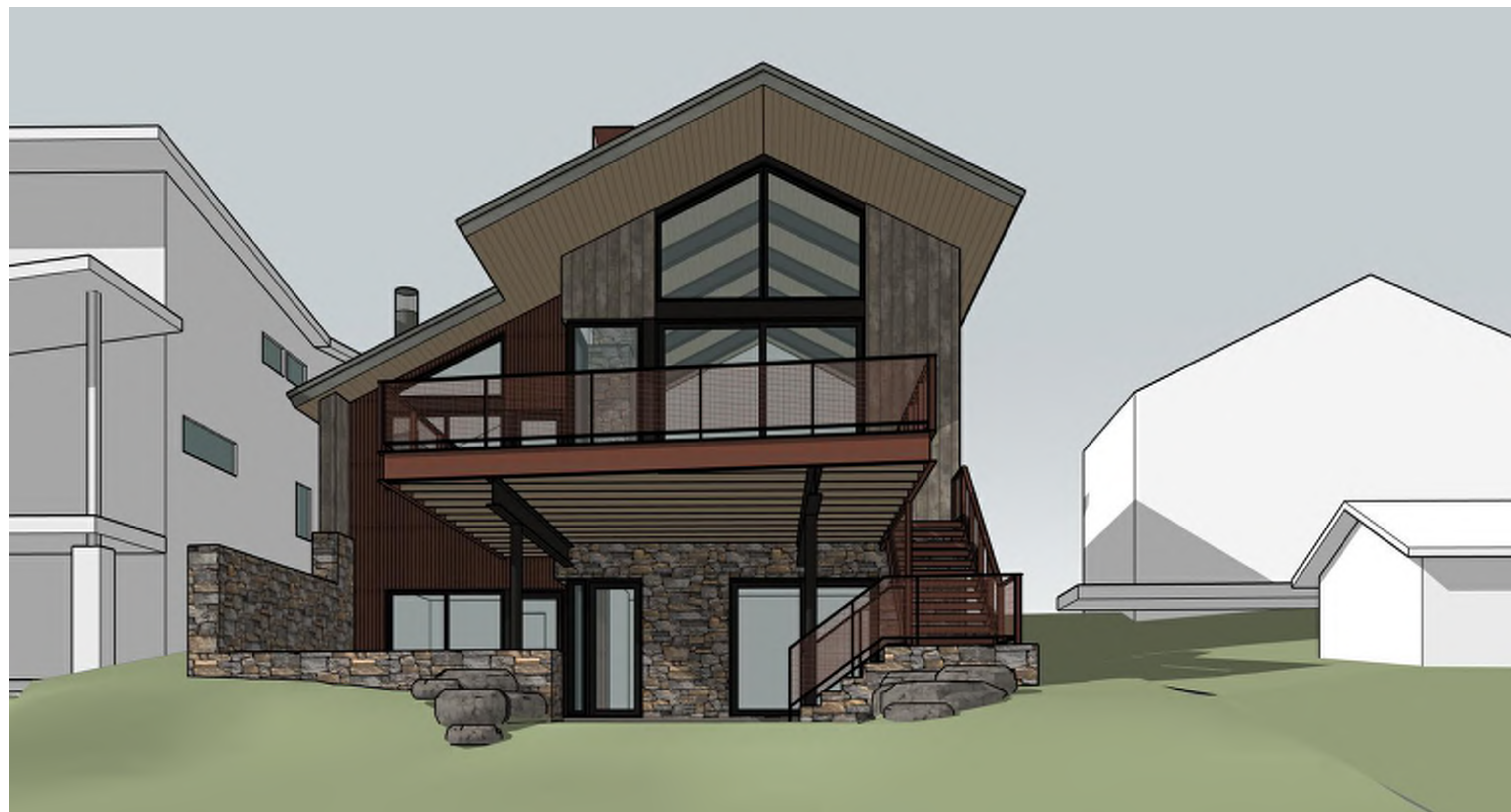
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1 REAR VIEW - NORTHWEST



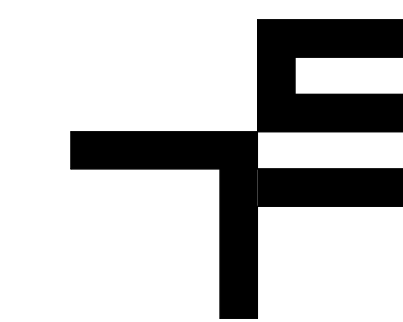
2 REAR VIEW - SOUTHWEST



3 REAR VIEW - ON AXIS



4 REAR VIEW - LOWER PATIO



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EAGLE RIVER RESIDENCE

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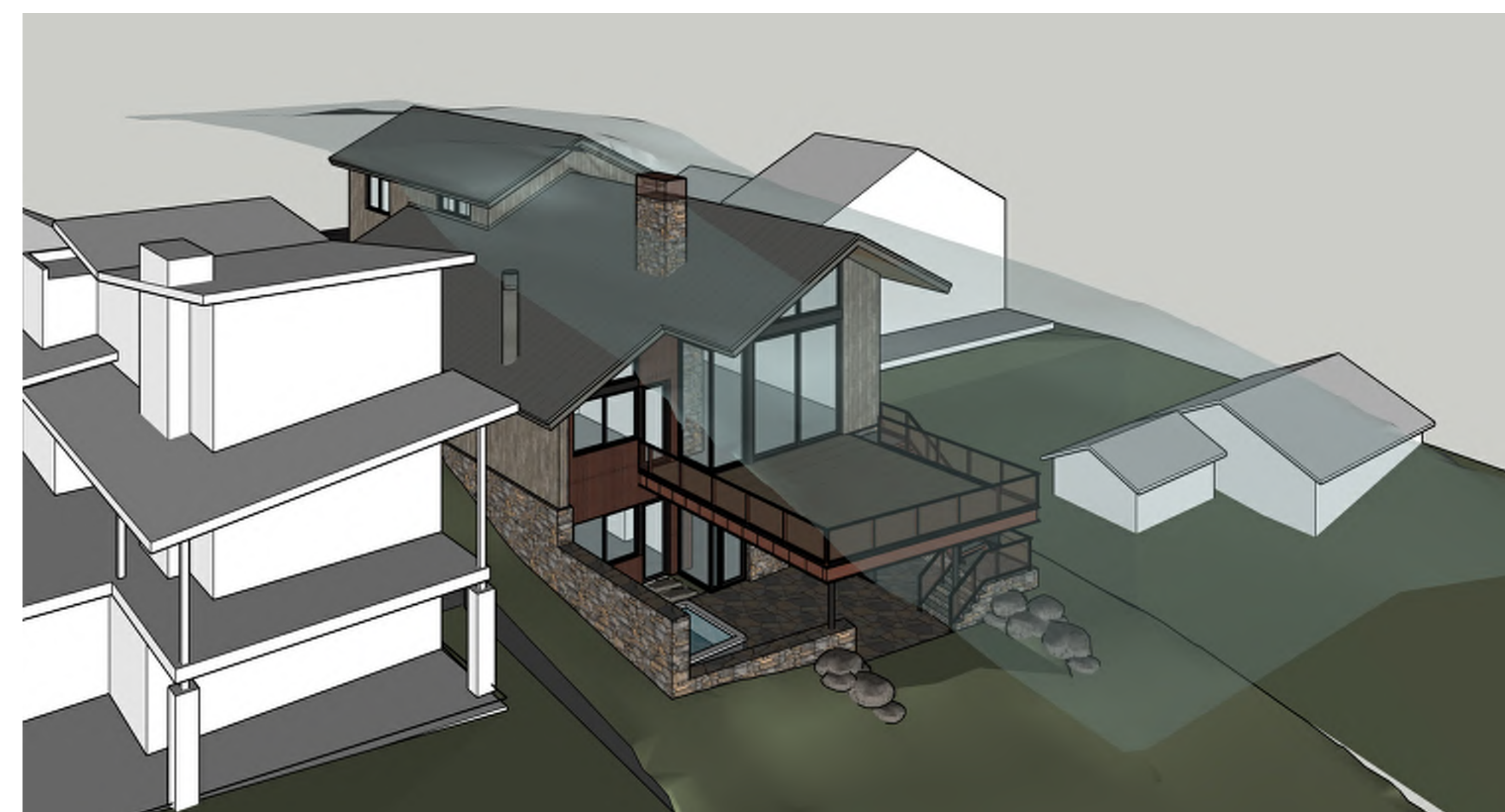
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3D VIEWS

3D-04



1 AERIAL LOOKING NORTHEAST W/ 28' PLANE
SCALE : 12" = 1'-0"



2 AERIAL LOOKING NORTHWEST W/ 28' PLANE
SCALE : 12" = 1'-0"

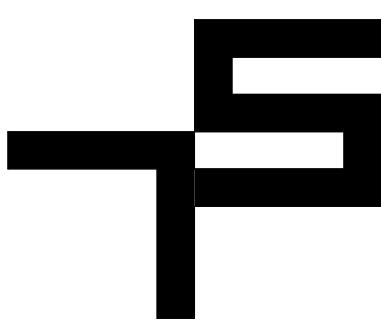


3 AERIAL LOOKING SOUTHWEST W/ 28' PLANE
SCALE : 12" = 1'-0"



4 AERIAL LOOKING SOUTHEAST W/ 28' PLANE
SCALE : 12" = 1'-0"

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**EAGLE RIVER
RESIDENCE**

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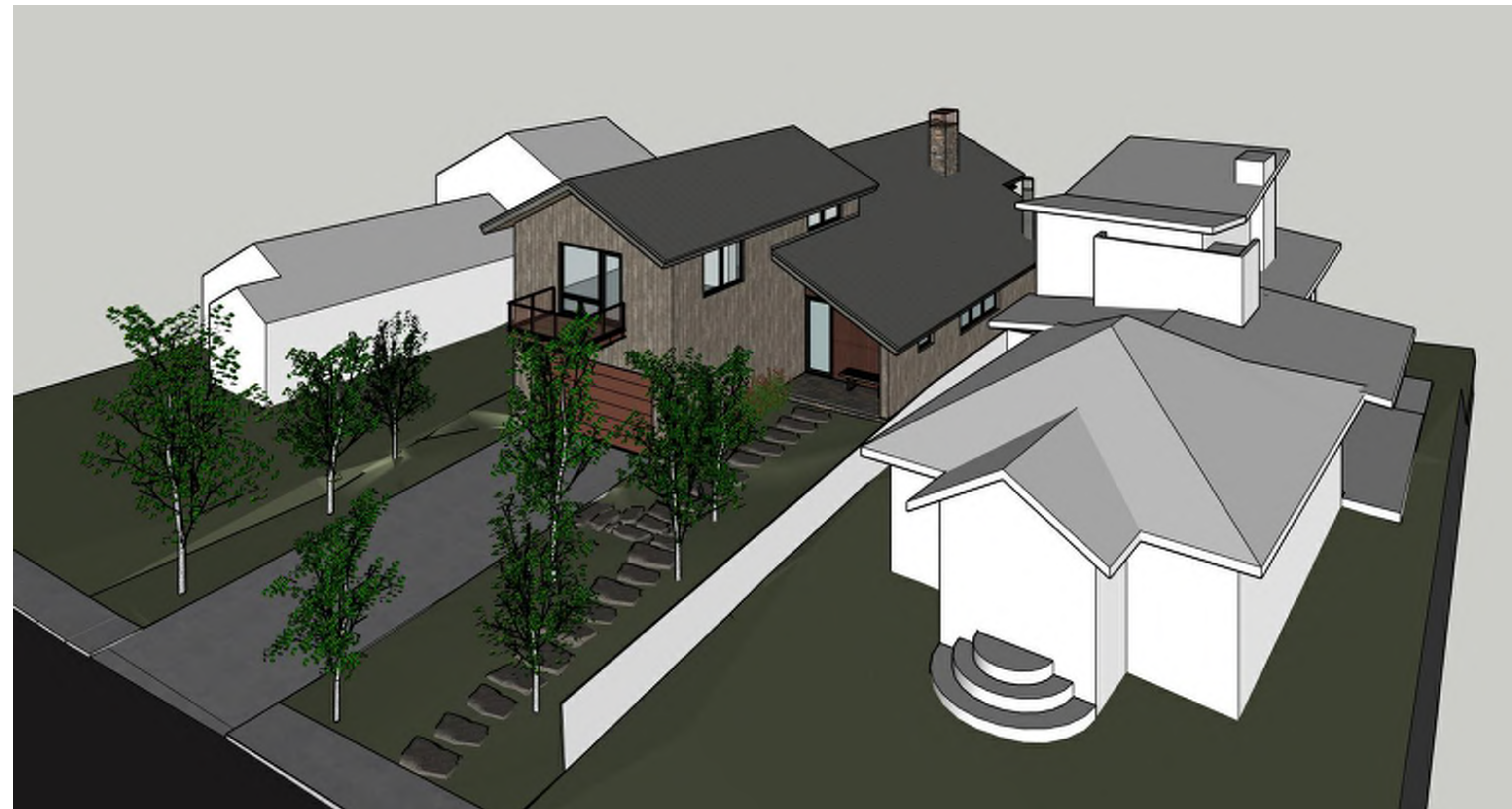
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3D VIEWS
CURRENT/
PREVIOUS

3D-05



1 NEW - AERIAL LOOKING NORTHEAST



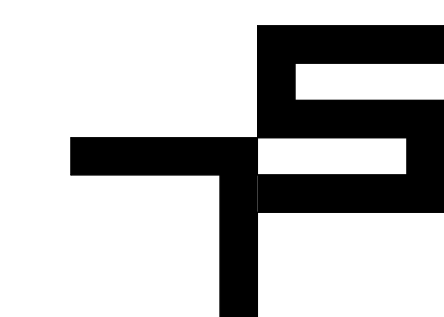
2 NEW - AERIAL LOOKING SOUTHEAST



3 OLD - AERIAL LOOKING NORTHEAST



4 OLD - AERIAL LOOKING SOUTHEAST



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214.460.2873 T

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5020 COUNTRY ROAD 154
GLENWOOD SPRINGS, CO 81601
970.845.7885 T

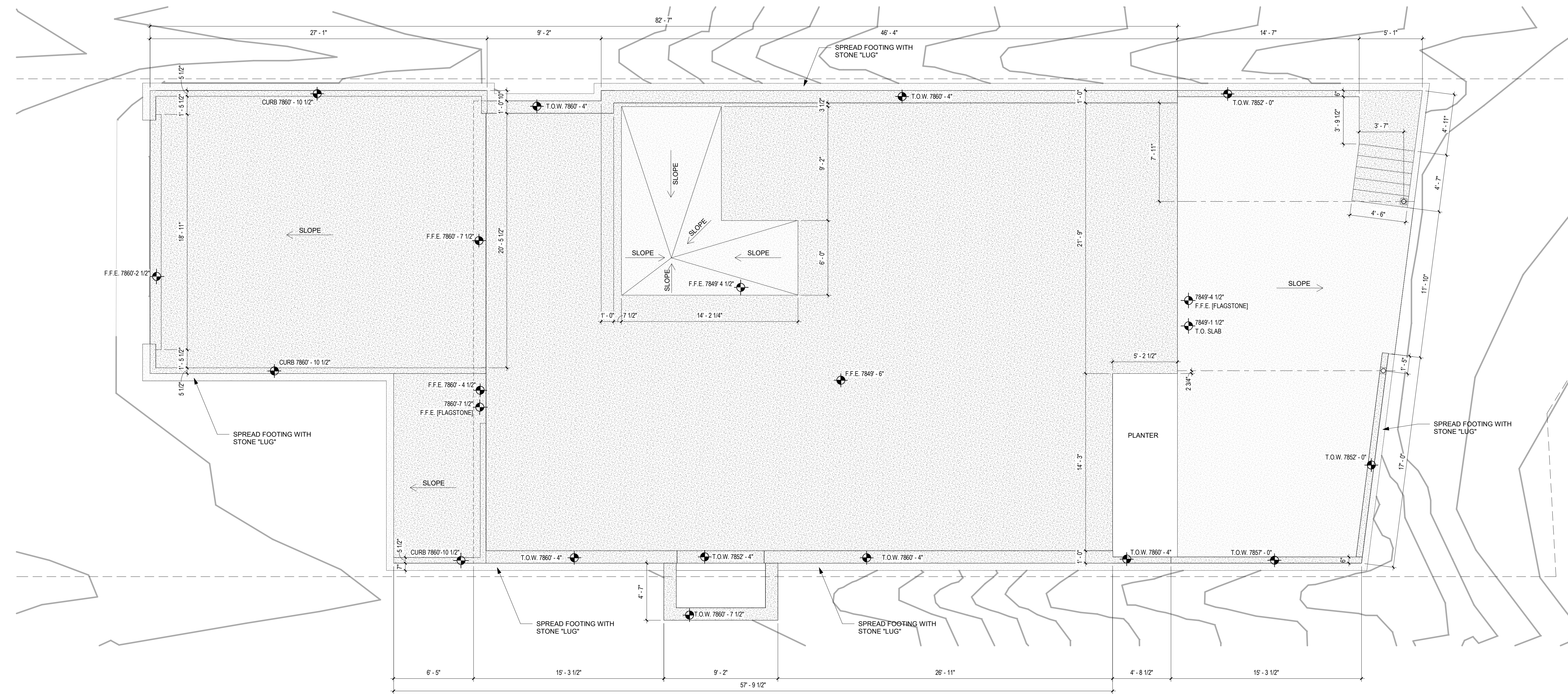
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KFP LAND SURVEYING
P.O. BOX 3154
EAGLE, CO 81631
970.390.9540 T

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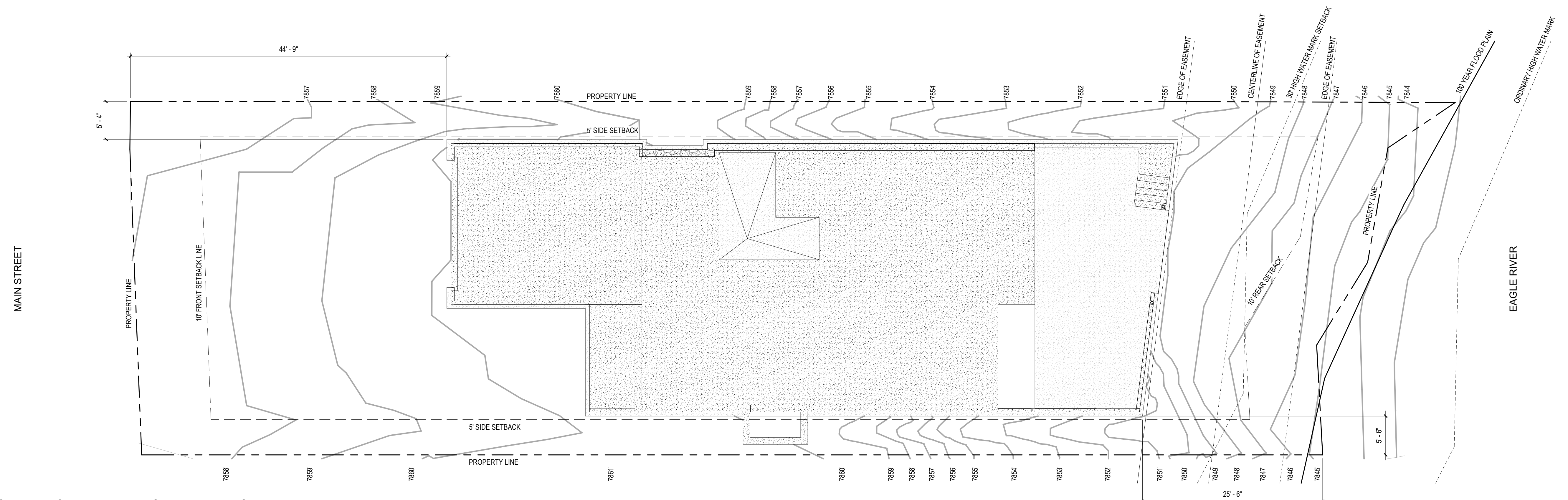
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ARCHITECTURAL FOUNDATION PLANS
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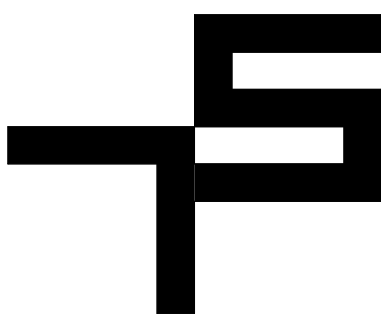


PROJECT TIME **1** **ARCHITECTURAL FOUNDATION PLAN - ENLARGED**
SCALE: 1/4" = 1'-0"



PROJECT TIME **2** **ARCHITECTURAL FOUNDATION PLAN**
SCALE: 1/8" = 1'-0"

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RESIDENCE**

532 MAIN STREET
MINTURN, CO 81645

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SITE CONTEXT

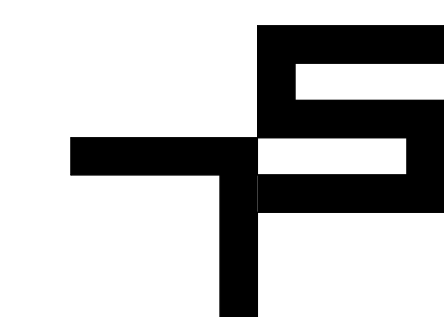
A100



2 SITE CONTEXT - EYE LEVEL VIEW



1 SITE CONTEXT - AERIAL VIEW



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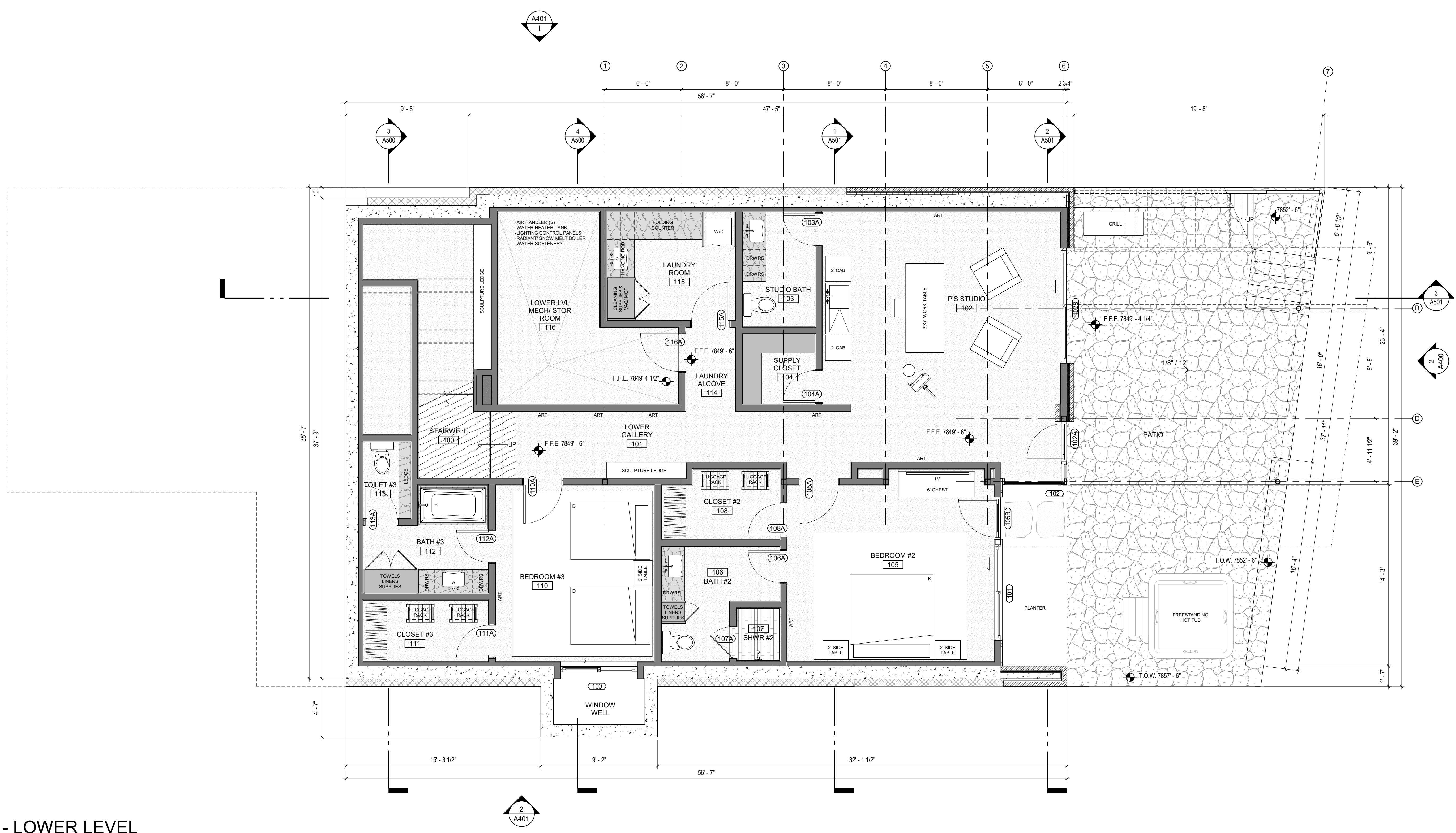
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FLOOR PLAN - LOWER LEVEL

A202

- NOTES: -ALL DIMENSIONS ARE TO FACE OF STUD, MASONRY OR CONCRETE OR TO CENTERLINE OF STEEL. -DO NOT SCALE FROM DRAWINGS. -HOSE BIB AND GAS LOCATIONS SHOWN ON THIS PLAN. -COORDINATE GAS REQUIREMENTS WITH APPLIANCES. -ALL EXTERIOR WALLS TO HAVE THERMAL INSULATION. ALL INTERIOR WALLS TO HAVE ACOUSTICAL INSULATION. -2x6 WALLS (STUDS AT 16" O.C.) -2x4 WALLS (STUDS AT 16" O.C.) -CMU WALLS -MASONRY VENEER -CONCRETE RETAINING WALLS

- MATERIAL LEGEND: TILE - FIELD, CONCRETE, WOOD, TILE - SHOWER, STONE - SLAB, COMPOSITE BOARDS, FLAGSTONE



PROJECT 1 FLOOR PLAN - LOWER LEVEL SCALE: 1/4" = 1'-0"

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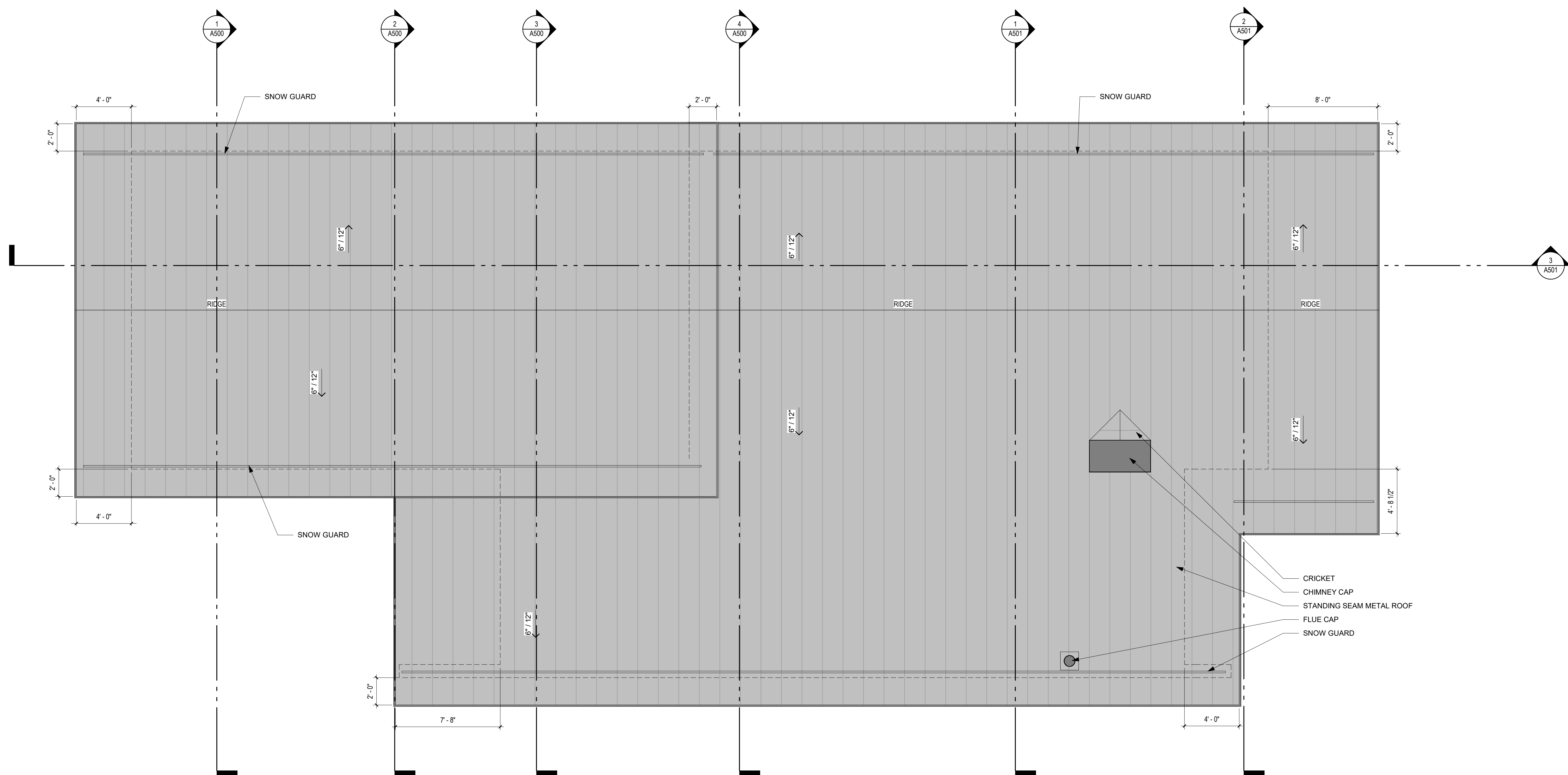
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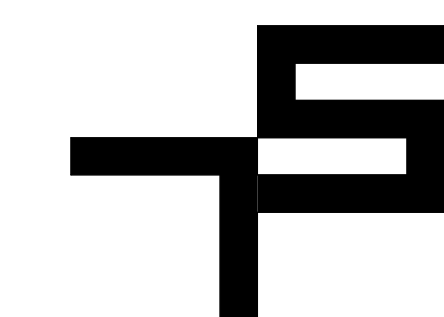
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ROOF PLAN

A240



PROJECT
1 ROOF PLAN
SCALE: 1/4" = 1'-0"



TOBIN SMITH ARCHITECT

WINDOW & DOOR NOTES

- ALL DOOR TYPES ARE DRAWN AS VIEWED FROM THE EXTERIOR. SWING INDICATION IS DIAGRAMMATIC ONLY - SEE PLAN FOR SWING.
- ALL WINDOW TYPES ARE DRAWN AS VIEWED FROM THE EXTERIOR. SWING INDICATION IS DIAGRAMMATIC ONLY - SEE EXTERIOR ELEVATIONS FOR SWING.
- ALL DOOR GLAZING SHALL BE TEMPERED INSULATED LOW-E GLASS.
- ALL WINDOW GLAZING SHALL BE INSULATED LOW-E GLASS UNLESS NOTED OTHERWISE. GLAZING SHALL BE TEMPERED AS REQUIRED BY CODE.
- ALL DOOR AND WINDOW GLAZING SHALL BE PROVIDED BY THE SAME MANUFACTURER.
- FIELD VERIFY BEFORE OPENING.

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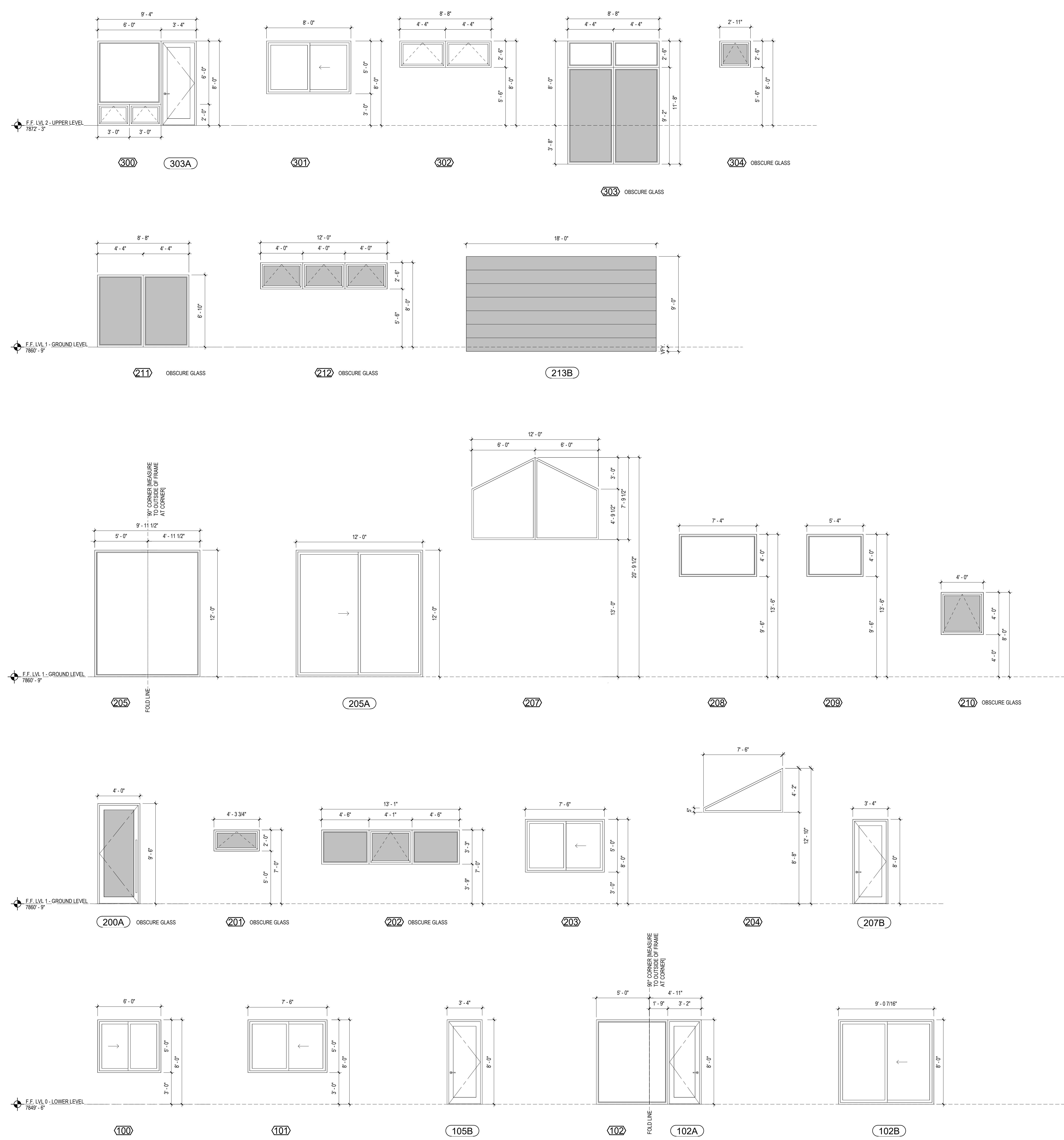
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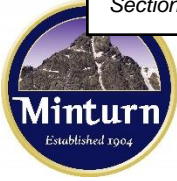
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EXTERIOR DOOR & WINDOW SCHEDULE

A262



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To: Minturn Town Council
From: Jay Brunvand
Date: April 2, 2025
RE: Town Manager Update

Minturn Education Fund

The Minturn Education Fund Scholarship applications were due by end of business on March 14, 2025! The Scholarship Board set up interviews for the eight applicants on 3/24, 25, and 31.

Seasonal Street Sweeping

The Town, annually each May, leases a large street sweeper to clean the streets and drainages. I have attached the tentative schedule for this year. This culminates with the annual clean up day. This year cleanup day is Saturday, May 31st.

Water Leak

The Town had a water leak in early March in the 900 block. This leak was Just off the main on an existing corp valve. That area of town is a looped system, so the shutoff only affected about 12 homes. Because the water didn't need to be completely shut down there was not a need to test or issue a boil order. The line was quickly repaired, the sidewalk formed and poured, and we were back in the game. It is estimated this leak was approximately 30,000g/day. Public Works are doing a lot of system check for leaks as the ground begins to warm.

Please feel free to contact either or both Katie and I if you have any questions.

MINTURN STREET SWEEPING SCHEDULE FOR 2025 SEASON

MAY 1 – Hwy-24 Main Street from Cemetery Road through 100 block North-bound

May 2—Hwy-24 Main Street from Cemetery Road through 100 block South-bound

May 5— From Cemetery Road through 900 block North-bound

May 6---From Cemetery Road through 900 block South-bound

May 7—From Cemetery Road through 900 block both North and South sides street drains

Will be cleaning out from dirt and debris on both sides of the drains on the road

May 8---Bellm bridge, Railroad Avenue, Taylor Street, and 4th Avenue

May 9---Nelson Avenue, Williams Street, the Mollie G Building parking lot and all the surrounding parking lots, and Toledo Avenue

May12---Eagle Street, Harrison Avenue, Meek Avenue, Bayer Avenue, and Mann Avenue

May13---Pine Street, east side, and Cemetery Bridge

May14---Pine Street on the west side, Post Office and Town Hall

May15---Boulder Street from Toledo Avenue to 700 block of Boulder

May16--- Boulder Street from Norman to Toledo Avenue on the west side of Boulder

May19---Boulder Street from Norman Avenue to Toledo Avenue on the east side of Boulder

May20—Street sweeper will be siphoning out, and the crew will be cleaning out, all 100 block drains, Eagle Street drains, and Williams Street drains

May21---Street sweeper will be siphoning out, and crew will be cleaning out, all drains on Main Street from 200 block to 400 block

May22—Street sweeper will be siphoning out, and the crew will be cleaning out, all drains on Main St Street from 500 block to 700 block

Week of May 23 – Final Sweep / Cleanup: Sweeper / crew will be doing final sediment removal / cleanup of concrete drainage vaults. Will also revisit any other areas as needed that the crew couldn't get to earlier.



Interim Town Manager Katie Sickles
April 2, 2025 Meeting Update

As I have become more oriented with the Minturn operations I am reducing my time in Minturn.

- A. Water Treatment Plant (WTP) Design & Engineering: I scheduled a meeting March 19, with Mayor Earle Bidez, Council Member Gusty Kanakis, Jarod Limke HDR Engineer, John Volk Water Plant ORC, Jay Brunvand Treasurer/Clerk, Jeff Spanel Town Engineer and myself for the purpose to consider funding options and value-added engineering. John and Jarod have continued this essential communication.
- B. Bellm Bridge Design & Engineering: From my understanding Town Council was interested in the Dolores Bridge as a cost savings measure but not interested in the bridge as an architectural feature. It may not hurt to notify CDOT that Minturn has passed on the Dolores Bridge. We are still waiting for an IGA from CDOT.
- C. North Main Street Pedestrian Improvements (Railroad Ave): Town Engineer Jeff Spanel is repairing the IFB for construction. I am planning to contact adjacent landowners and land users regarding some of the items that will need to be moved.
- D. Tank #2 / Steel Bolted Tank repairs: HDR Engineering has a (Tank Expert) member of their staff working on options for Tank #2. They had hoped to deliver around March 28. I will review with John Volk when available.
- E. Pressure Reducing Valve (PRV) Master Meter Housing upgrades: Weather dependent and moving forward.
- F. Repaving (reconstruction) of Taylor Street: Town Engineer Jeff Spanel thought he may need to come back to Council to review drainage options in addition to a couple other items before final design.
- G. Little Beach Park Retaining Wall repair/replacement: An IFB was posted for engineering/design. The project is relatively small, however within grant compliance is required to be advertised. Inter-Mountain Engineering/Town Engineer Jeff Spanel submitted the only proposal. I believe that within the current contract Inter-Mountain Engineering can proceed. Debra Figueroa from Strategies determined that the T-Mobile grant required a final playground design. Based on this information we had to pass on the March 31 deadline and prepare for June 30 or September 30. Cindy Kreig, Event Coordinator, has created a public survey to gain insight into the community's playground interest. This will help prepare an ad for playground design. The grant includes \$30,509 for playground design and should be adequate for the consultant to hold a couple of town halls during the design process.
- H. Main St / US HWY 24 Phase II Sidewalk construction: Agenda Item

- I. Prepare to update the Minturn Boneyard conservation easement management plan owned by the Town of Minturn: Waiting for EVLT staff availability. Working with Jeff Spanel on the Beldon stormwater installation project.
- J. Main Street-US Hwy 24/Cemetery Road Pedestrian Crossing: Town Engineer is drafting an advertisement.
- K. Nelson Street Improvement plus potential Heat Exchange: Not much activity in March.
- L. Safe Streets For All: Presentation is planned in April.
- M. Norman Street Repaving: Town Engineer is drafting an advertisement.



To: Planning Commission
From: Scot Hunn, Consulting Planning Director
Date: March 21, 2025
RE: Planning Director Update

Minturn Forward Code Update Project:

Staff and Western Slope Consulting have completed the majority of Module 1 including:

- Article 5: Land Use Applications
- Article 8: Subdivision Applications
- Article 11: Annexation & Disconnections
- Article 12: Development Impact Report

Staff and Western Slope will be following up with the Planning Commission at their first meeting in April regarding questions and comments by Planning Commission members about Vacation of Public Rights-of-Way.

Next steps include:

- Staff and Western Slope Consulting are working on preparing materials and analyses for a community discussion regarding new or updated zone districts, permitted uses, development standards and dimensional limitations. As previously reported to the Planning Commission, this first step in reviewing existing zoning regulations and providing recommendations for new zoning regulations will be based on:
 - Direction provided by the Minturn Community Plan.
 - Community Input on key characteristics of Minturn’s neighborhoods.
 - Previous work performed by the Planning Commission (circa 2019-2020).
 - Recent changes to state/or federal legislation.
 - Recent amendments to Minturn’s Municipal Code that are relevant to the Town’s zoning regulations.
- Staff and Western Slope Consulting are designing a public engagement process that include:
 - A series of open house(s)
 - Review and discussion of the zoning regulations and the input received from the public with the Planning Commission and the Town Council.

Staff anticipate that the first open house(s) will be scheduled in mid- late April. Staff will ensure that the Planning Commission is apprised of scheduling of any public open houses.

Active Land Use Applications:

- **Midtown Village Planned Unit Development Final Plan Review**
At their regular meeting of January 15, 2025, the Town Council approved Resolution No. 4, Series 2025, a resolution approving the Preliminary Plan and Plat for Midtown Village PUD. Staff anticipates an application for Final Plan for PUD and Final Subdivision Plat, along with a draft Subdivision Improvements Agreement to be submitted to the Town in the coming weeks. As a reminder, the Minturn Municipal Code provides the Planning Commission the opportunity to

review the Final Subdivision Plat, but not the Final Plan for PUD (which is reviewed and approved by the Town Council).

- **Eagle County School District – Maloit Park Preliminary Subdivision Plat Review**

Staff continues to review the Eagle County School District Maloit Park Preliminary Plat for Subdivision application. The Applicant has been provided referral agency comments and is in the process of meeting with Town staff, Town consultants, and referral agencies to address, resolve and/or respond to referral comments. Staff are unable to estimate when referral comments will be fully addressed and, therefore, cannot predict how soon this application will be scheduled for its first public hearing.

Other Planning Department Activities:

- **Highlands Parcels Public Engagement Process**

Staff has created a [webpage](#) and [survey](#) as a way to engage the public and solicit feedback related to the Town-owned “Highlands Parcels 1 & 2” in the Bolts Lake Area. A public open house is was held on January 29, 2025 and staff presented the results of the survey and open house to the Town Council in February. Staff hosted a discussion at the regular Council meeting of March 19th with representatives from the Eagle County Open Space and Natural Resources Department along with the Eagle Valley Land Trust. The focus of this discussion with Council was to educate staff, the Council, and the public about what each of these organizations does, how they may be involved in any Highlands scenario that involves land conservation and/or conservation easements, and what the Town can expect for a process (working with either or both of these organizations) and likely time frames.

Staff also received direction from Council to:

- Schedule another work session or discussion to specifically discuss with the Eagle Valley Land Trust the alternatives for funding partnerships, potential conservation purchases (by private buyers), and other creative approaches to balance the Town’s needs regarding the Highlands. Staff will apprise the Planning Commission when this work session/discussion is scheduled.
- Work with the Town Attorney to commence the rezoning process for the Highlands Parcels. As a reminder, the Highlands Parcels currently have a zoning designation of “Bolts Holding Zone” which requires zoning to another zone district in to realize any potential uses.

- **Eagle County Regional Housing Action Plan Partnership**

The planning director has been participating alongside representatives from Eagle County, Avon, Eagle, Gypsum, Red Cliff, and Vail in a regional housing action plan task force spearheaded by Eagle County and the Town of Avon. The purpose of this effort is to create a regional housing action plan – looking at alignment between land use policies and community housing goals within and across jurisdictions, as well as identifying potential funding sources to implement priorities and projects - and is based on a housing needs assessment being finalized by Economic Planning Systems (EPS). The assessment is based on community survey work and an extensive process by EPS to work with each partner jurisdiction to compile data on existing land use and development, existing housing policies and housing units/supply in each jurisdiction, as well as demographics

and market trends. The partnership presented the initial results of the assessment to each of the partner jurisdictions in October and November.

Since then, EPS has finalized a report which will be presented to the Town Council at their regular meeting of April 16, 2025.

- **Eagle County Wildland Urban Interface (WUI) Code Working Group**

The planning director and the code enforcement officer have been participating in a regional effort spearheaded by the Eagle County Wildfire Collaborative group to understand and discuss alternatives, pros, and cons related to the potential adoption of Wildland Urban Interface (WUI) code requirements in member jurisdictions (towns, special districts, and the fire districts). This group has been meeting since the start of 2024 and work completed to date includes sharing and analysis of each jurisdiction's existing land use, zoning, and building code regulations and policies to better understand where, if at all, there are commonalities across or among jurisdictions by way of fire or wildfire related terms, regulations, or design requirements for things like home construction, landscape design and materials, and access to private property.