



AGENDA

Planning Commission Meeting

Wednesday, June 12, 2024

Town Hall / Council Chambers - 302 Pine St Minturn, CO

The agenda is subject to change, including the addition of items 24 hours in advance or the deletion of items at any time. The order of agenda items listed are approximate.

This agenda and meetings can be viewed at www.minturn.org.

MEETING ACCESS INFORMATION AND PUBLIC PARTICIPATION:

This will be an in-person meeting with access for the public to attend in person or via the Zoom link included. Zoom Link: <https://us02web.zoom.us/j/85460387240>

Zoom Call-In Information: 1 651 372 8299 or 1 301 715 8592 **Webinar ID:** 854 6038 7240

Please note: All virtual participants are muted. In order to be called upon an unmuted, you will need to use the “raise hand” feature in the Zoom platform. When it’s your turn to speak, the moderator will unmute your line and you will have five (5) minutes for public comment.

Public Comments: If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner 1, prior to the meeting and will be included as part of the record.

- 1. CALL TO ORDER - 5:30 PM**
- 2. ROLL CALL AND PLEDGE OF ALLEGIANCE**
- 3. APPROVAL OF REGULAR AGENDA**

Opportunity for amendment or deletions to the agenda.

- 4. APPROVAL OF MINUTES**

[A.](#) May 22, 2024

- 5. DECLARATION OF CONFLICTS OF INTEREST**
- 6. PUBLIC COMMENT**

Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made

for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.

7. DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

- A. 171 Main Street and 191 Main Street - Temporary Use Permit - Summer Bike Parking
- B. 1014 Two Elk Lane - Exterior Modifications
- C. 0036 Silver Star Trail - New Single Family Residence
- D. 0095 Miles End Lane - New Single Family Residence
- E. 0196 Miles End Lane - New Single Family Residence

8. SPECIAL PRESENTATIONS

Presentations are limited to 5 minutes unless prior arrangements are made with the Town Planner.

- A. Planning Commissioner Training

9. DISCUSSION / DIRECTION ITEMS

10. STAFF REPORTS

- A. Manager's Report

11. PLANNING COMMISSION COMMENTS

12. FUTURE MEETINGS

13. ADJOURN



OFFICIAL MINUTES Planning Commission Meeting

Wednesday, May 22, 2024

Town Hall / Council Chambers - 302 Pine St Minturn, CO

The agenda is subject to change, including the addition of items 24 hours in advance or the deletion of items at any time. The order of agenda items listed are approximate.

This agenda and meetings can be viewed at www.minturn.org.

MEETING ACCESS INFORMATION AND PUBLIC PARTICIPATION:

This will be an in-person meeting with access for the public to attend in person or via the Zoom link included. Zoom Link: <https://us02web.zoom.us/j/84008279892>

Zoom Call-In Information: 1 651 372 8299 or 1 301 715 8592 **Webinar ID:** 840 0827 9892

Please note: All virtual participants are muted. In order to be called upon an unmuted, you will need to use the “raise hand” feature in the Zoom platform. When it’s your turn to speak, the moderator will unmute your line and you will have five (5) minutes for public comment.

Public Comments: If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner 1, prior to the meeting and will be included as part of the record.

1. CALL TO ORDER - 6:30 PM

Lynn Teach called the meeting to order at 6:30 p.m.

2. ROLL CALL AND PLEDGE OF ALLEGIANCE

Those present at roll call: Planning Commission Chair Lynn Teach and Planning Commission Members Jeff Armistead, Amanda Mire, Eric Rippeth, and Darell Wegert.

Staff members present: Planning Director Scot Hunn and Planner I Madison Harris

Note: Michael Boyd excused absent.

3. APPROVAL OF REGULAR AGENDA

Opportunity for amendment or deletions to the agenda.

Motion by Darell W., second by Jeff A., to approve the agenda as presented. Motion passed 5-0.

Note: Michael B. excused absent.

4. APPROVAL OF MINUTES

A. May 8, 2024

Madison H. stated that there was an error on the note on the adjournment section of the minutes which should have read that Jeff A. was excused absent instead of Eric R. attending in his status as an alternate.

Motion by Amanda M., second by Jeff A., to approve the minutes of May 8, 2024 as amended. Motion passed 5-0.

Note: Michael B. excused absent.

5. DECLARATION OF CONFLICTS OF INTEREST

No conflicts of interest.

6. PUBLIC COMMENT

Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.

7. SPECIAL PRESENTATIONS

Presentations are limited to 5 minutes unless prior arrangements are made with the Town Planner.

8. DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

A. 1010 Two Elk Lane - New Single Family Home

The Applicant requests Final Plan review of a new, three-bedroom, 4,257 (gross) square foot single-family residence located at 1010 Two Elk Lane in the Cross Creek Mixed Use Zone District. The plans show a one-story with a basement, three-bedroom structure with a maximum building height - measured to the midpoint of the roof – of around 18 feet, well under the maximum allowable 28-foot limit within the Cross Creek Mixed Use Zone District. Parking is adequate, with two off-street spaces provided within the garage. The plans show a basement space with the three bedrooms, and the main level has the primary living area. Staff believes that the design and scale of the proposed structure incorporates a simple central form with additive features and is complementary to adjacent residential structures and character on nearby parcels. Staff further suggests that the scale of the project is appropriate and will not overpower surrounding natural and built environments. Proposed roof forms and pitches, materials and textures are compatible and complementary to the surrounding built and natural environments. One point of issue is that the plans do not show exterior light locations and no spec sheets were provided for proposed exterior lighting. Plans submitted for building permit should include exterior lighting locations on floor plans, building elevations and, if applicable, reflected ceiling/roof plan. A final spec sheet for all exterior fixtures should be submitted for review prior to or concurrent with the building permit application to demonstrate that all exterior lighting will be full cutoff, dark sky compliant per the Minturn Municipal Code. Staff is recommending approval of the plans, with the following recommended condition(s): The Applicant shall provide details for all exterior lighting locations on floor plans, building elevations and reflected ceiling/roof plan sheets. Additionally, the Applicant shall submit final cut sheets/specifications for proposed exterior light fixtures prior to or concurrent with building permit application to ensure compliance with the Town's lighting standards.

Fletcher Groff, 1036 Polar Star Dr., Eagle
Loves Minturn and this is a continuation of the character of the area.

Amanda M. asked about the fence, but that is something that was installed before.

Darell W. asked if the soil tests showed any water to address the high water table

- Mr. Groff said that they are working with people to water proof the building.
- Darell W. followed up with asking about storage in the garage.

- Chris, Boss Arch said that there should be enough room for circulation with 4 parking spaces in the garage.

Jeff A. likes the design and likes that it is a ranch and not a two story. Asked if this is a primary or secondary residence.

- Adam Minnick, Owner said that it is a secondary residence.
- Jeff A. pointed out that there's a lot of wildlife down there and so need to make sure to keep trash inside.

Eric R. wanted to make the owner aware that since this is Mixed Use there might be an increase in use down there.

Motion by Jeff A., second by Darell W. to approve with conditions 1010 Two Elk Lane - New Single Family Home.

- The Applicant shall provide details for all exterior lighting locations on floor plans, building elevations and reflected ceiling/roof plan sheets. Additionally, the Applicant shall submit final cut sheets/specifications for proposed exterior light fixtures prior to or concurrent with building permit application to ensure compliance with the Town's lighting standards.

Motion passed 5-0.

Note: Michael B. excused absent.

9. DISCUSSION / DIRECTION ITEMS

10. STAFF REPORTS

A. Manager's Report

Minturn North Construction Information

Information on the Minturn North construction project can be found at:

<https://www.minturnnorth.com/construction-updates>. Additionally, the fully approved construction plan set is available here. An FAQ has also been created and is available on the town's website, in the town hall lobby and attached to this Manager's Report.

Wood Chipping Pickup

Eagle Valley Wildland is providing free wood chipping pickup to Minturn residents this year. This is part of an effort for residents to Firewise their homes. More details are on the attached information sheet as well as the scheduled pickup days.

Bear Aware

Please remember to properly lock your garbage containers if the containers are stored outside. There is a large bear who has been active in the area and needs to be trained to not access garbage. Thank you for the help!

Community Events

With the results of the Community Survey, staff will be reevaluating the community events to ensure the events being offered by the town are in alignment with the interests of the community. Any proposed changes to the annual event lineup will be brought to the Council and public for consideration.

Street Sweeping

Please excuse our mess while public works continues their annual street sweeping operations. Signs are posted the day before in hopes residents will avoid parking in upcoming street sweeping areas, so any help residents can provide by moving their vehicles in advance is greatly appreciated.

Safe Streets 4 All (SS4A)

I have submitted Minturn’s contract for the Safe Streets 4 All (SS4A) grant award Minturn received. Once approved by the Department of Transportation, this project will allow Minturn to facilitation public discussions and conduct a thorough analysis of Minturn’s roadways with an emphasis on finding ways to improve vehicular and pedestrian safety. A stakeholder group will be requested, and a representative Council member will be asked to take part in the process. More to come.

Out of Office

I will be out of the office June 17-21 and not attending the June 19th Council meeting. Mike Sawyer will attend that meeting, in person, in my absence.

Minor DRB/Color

Staff confirmed that the Planning Commission was ok with staff approving color changes on plans that had been previously approved by them.

2011 Annexation agreement

Jeff A. would like to enquire why they aren’t required to complete a traffic study.

Start Times

Everyone was fine with starting at 5:30 p.m.

11. PLANNING COMMISSION COMMENTS

Amanda M. commented that if there’s a wildfire the town doesn’t have anywhere to go because of all of the CDOT work which is supposed to go through August.

Lynn T. would like to look into having a moratorium on outdoor fires while this construction is going on.

Jeff A. said that the concert series is going to start the last week of June with 8 shows.

12. FUTURE MEETINGS

- A. June 12, 2024
- B. June 26, 2024

13. ADJOURN

Motion by Amanda M., second by Jeff A., to adjourn the regular meeting of May 22, 2024 at 7:13 p.m. Motion passed 5-0.
Note: Michael B. excused absent.

Lynn Teach, Commission Chair

ATTEST:

Scot Hunn, Planning Director

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Michael Boyd
Amanda Mire
Eric Rippeth
Darell Wegert

Planning Commission Public Hearing

Temporary Use Permit for Summer Bike Parking Tent

Hearing Date:	June 12, 2024
File Name and Process:	Town of Minturn Summer Bike Parking Tent Temporary Use
Owner/Applicant:	Town of Minturn
Representative:	Cindy Krieg
Legal Description:	Mackedon & Rathburns Block C Lots 3 and 4 and Booco Block D Lot 1 Thru Part of Lot 3
Zoning:	Old Town Character Area 100 Block A
Staff:	Madison Harris, Planner I
Recommendation:	Approval

Staff Report

I. Summary of Request:

The Applicant, Cindy Krieg, of the Town of Minturn requests review of a new Temporary Use Permit for portions of 171 Main Street and 191 Main Street to allow for temporary summer bike parking generally located east of the Colorado Mattress Store.



Figure 1: Vicinity Map

The Applicant proposes to use the area for a tent for summer bike parking.

From the application, the following description is provided by the Applicant:

“The Town has a 20x20 white tent with metal poles, which would need to be staked into the ground in the proposed area. The tent would be erected upon approval, hopefully in time for the first Market on June 22nd. The tent would remain up only through the summer, proposed through October 3rd.”

As outlined within this report, **staff is recommending approval** of the proposed Temporary Use Permit.

II. Summary of Process and Code Requirements:

This is a Temporary Use Permit review by the Town of Minturn Planning Commission, which should result in the Planning Commission making a formal recommendation for approval, approval with conditions, or denial of the request in accordance with the standards, criteria and findings outlined in Section 16-21-640 – *Temporary use permit*, Minturn Municipal Code. The Commission’s recommendation will be forwarded to the Town Council which will take formal action to approve, approve with conditions, or deny the request.

Specifically, the Planning Commission’s recommendation and any action of the Town of Minturn Town Council should be based on the following standards and findings:

(c) Criteria. Prior to approval of a temporary use permit, the Planning Director shall consider the following:

- (1) The building or use is not in conflict with applicable health, sanitation, safety or access laws.*
- (2) The building or use proposed is a use by right or limited review use in the zone, compatible with the surrounding uses and consistent with the Community Plan and this Chapter.*
- (3) There is written assurance that the building or use will be removed or ceased by the required time.*

- (4) *The Town has written permission from the applicant and landowner to remove the building or use, at the landowner's expense, when not in compliance with this Chapter or the temporary use permit.*

III. **Background:**

According to the Minturn Municipal Code, any uses and structures intended to be established for not more than six months - require the approval of a Temporary Use Permit.

Minturn sees many visitors throughout the year, but especially in the summer, and they come in multiple modes of transportation. It is staff's hope that providing an easily accessible location for people to parking their bikes during the summer will be helpful to all.

IV. **Zoning Analysis:**

Zoning

The subject property is located within the "Old Town Character Area" 100 Block A Zone District. The description and purposes of the PUD Holding Zone District are as follows:

Sec. 16-6-10. - Character Area characteristics.

*The intent of the Community Plan is that the Old Town Character Area maintain its **unique and friendly small town character** while providing for a compatible mix of retail/commercial and residential uses. Old Town provides for low-impact retail/commercial and residential uses that **support and enhance the friendly small town character**. Small town main street characteristics such as walkability, window fronts, main entrances fronting sidewalks, and smaller scale buildings are to be promoted. The intent is to concentrate retail/commercial uses on Main Street and Williams Street and discourage retail/commercial uses on secondary streets when they would conflict with existing residential uses. The Old Town Character Area is to function as the primary retail/commercial core that encourages compatible retail/commercial activity and economic vitality. Subdivisions and planned unit development occurring within the Old Town Character Area need to comply with the zoning code and promote the objectives in the Design Guidelines.*

*The small town main street characteristics for the Old Town Character Area are set forth in the Minturn Design Standards and Guidelines. The Design Guidelines are the foundation underlying the Design Review process and are essential for the Town in its **efforts to maintain the eclectic small town atmosphere, character and the overall charm of our community**. The Guidelines are a great starting point when considering building or remodeling in Town. Please visit the Planning Department Staff with any questions about your project after consulting the Design Guidelines.*

Sec. 16-6-35. – 100 Block Commercial Zones.

- (a) *The 100 Block Commercial Zones are characterized by a compact retail/commercial core area bisected by Highway 24. The area consists of*

businesses and residences with an identity of the historic commercial core that is distinct from other parts of the community.

- (b) ***The purpose of this area is to provide convenient commercial services to residents and visitors and to promote the development of the Town's primary retail commercial district.*** Accommodation of sales tax-generating commercial uses and non-street level residential units can enhance Old Town vitality while maintaining the visual character and scale. Street level space within the 100 Block Commercial Zones shall be dedicated to retail uses. Non-street level space within the 100 Block Commercial Zones may be used for compatible retail, office, and residential uses.
- (c) ***The 100 Block Commercial Zones should function as a pedestrian shopping corridor.*** Buildings shall orient toward sidewalks and pedestrian areas with storefront windows and main entrance doors. The scale of buildings both in terms of height and width should encourage transparency, pedestrian engagement, and facilitate pedestrian movement not only along Highway 24 but also between Highway 24, Williams Street and Eagle Street and along all streets in the 100 Block.
- (d) *The small town historic main street character will be maintained by keeping in scale with the original plat of twenty-five-foot by one hundred-foot lots and one-to two-story building frontages along Highway 24. Large monolithic buildings and "strip" retail areas are not allowed. New development in the 100 Block shall follow the standards and guidelines provided in Appendix B which seeks to ensure new structures maintain compatibility with historic structures while bringing new uses to increase vitality.*

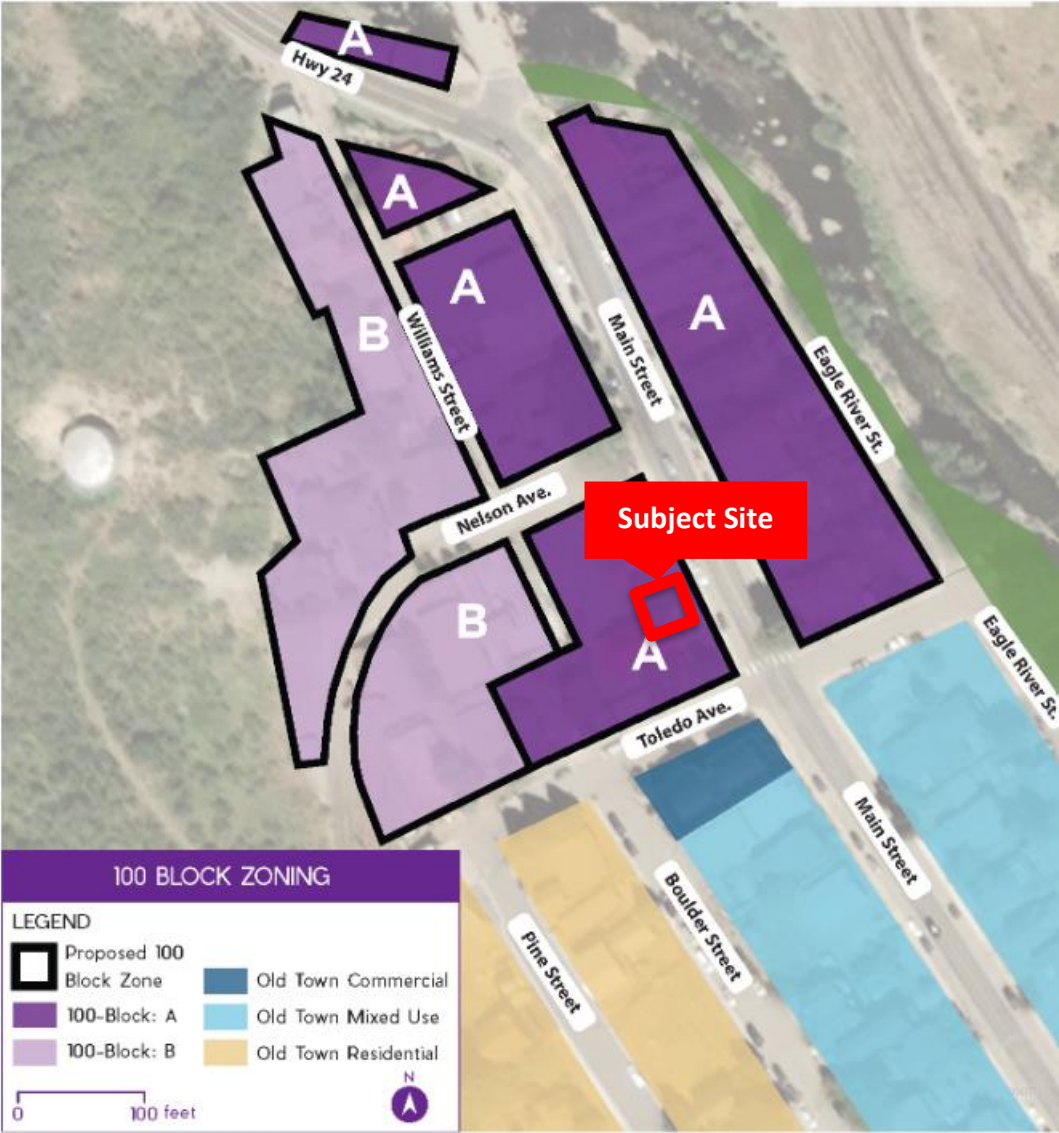


Figure 3: 100 Block Zoning Map

Dimensional Limitations and Development Standards

As this is a temporary use and a temporary structure, dimensional limitations do not apply.

V. Issues and Discussion Topics:

Staff has not identified any issues specific to this proposal. The Applicant has provided evidence to demonstrate that the use can meet all of the terms of use of a temporary use permit.

VI. Staff Findings and Analysis:

The following section provides staff responses to each of the applicable Temporary Use criteria.

- a. *The building or use is not in conflict with applicable health, sanitation, safety or access laws.*

Staff Response:

The tent will be south of the Colorado Mattress store and will not infringe on the sidewalk thus allowing pedestrian traffic to continue unhindered. No health or sanitation laws are involved.

- b. *The building or use proposed is a use by right or limited review use in the zone, compatible with the surrounding uses and consistent with the Community Plan and this Chapter.*

Staff Response:

Under Chapter 6: “Intuitive Mobility, Circulation & Connectivity” of the 2023 Imagine Minturn Community Plan, it states, in part, that “...numerous residents commented that they supported the Town’s efforts to provide street improvements, including new crosswalks and sidewalks in recent years. They expressed their desire for additional bike facilities...”
“Minturn currently lacks designated on-street bicycle facilities. During community engagement, residents expressed support for additional bike facilities...”

The Minturn Market and other summer events, as well as general summer traffic brings many bikes to Town with little to no place to park them so as to let people visit our businesses. This allows for a central, easily accessible location to park bikes within the downtown area.

- c. *There is written assurance that the building or use will be removed or ceased by the required time.*

Staff Response:

The letter of intent states that the tent will be taken down no later than October 3rd, 2024.

- d. *The Town has written permission from the applicant and landowner to remove the building or use, at the landowner's expense, when not in compliance with this Chapter or the temporary use permit.*

Staff Response:

As the Town is the applicant, this criteria is addressed.

VII. Staff Recommendation: Approval

Staff suggests the proposed Temporary Use Permit for Summer Bike Parking for the Town of Minturn, conforms with the Town’s Community Plan as well as the applicable provisions and requirements of Chapter 16 - Zoning. Therefore, staff is recommending approval.



LAND DEVELOPMENT APPLICATION

Section 7, Item A.

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT

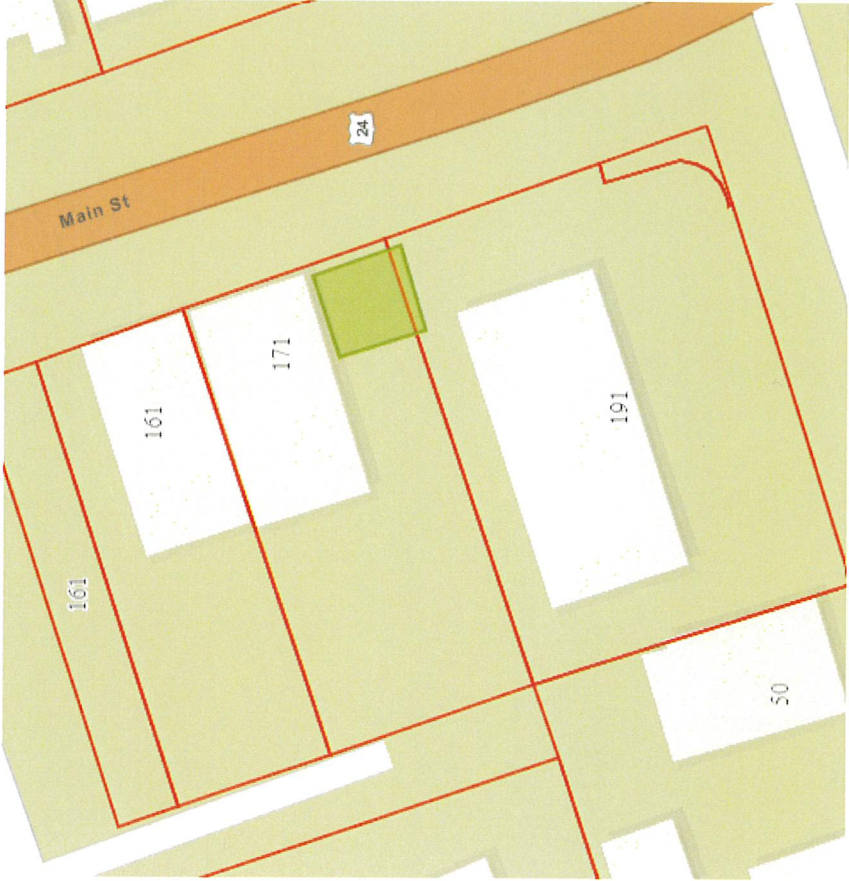
P.O. Box 309 302 Pine Street
Minturn, Colorado 81645-0309

Phone: 970-827-5645 Ext. 2

Email: planner1@minturn.org

APPLICANT:		ADDRESS:		SIGNATURE:	
Town of Minturn		302 Pine St Minturn CO 81645			
				NAME:	
		PHONE: 970-827-5645		Cindy Krieger	
		FAX:			
		EMAIL: events@minturn.org		TITLE:	
OWNER(S) OF RECORD:		ADDRESS:		SIGNATURE:	
MR Minturn LLC		5161 Collins Ave PHD Miami Beach FL 33140			
				NAME:	
		PHONE: 714-221-7799		Tom Warren	
		FAX:			
		EMAIL: trw@morganreed.com		TITLE:	
DEVELOPER:		ADDRESS:		CONTACT PERSON:	
N/A					
		PHONE:		FAX:	
		EMAIL:			
ENGINEERING FIRM:		ADDRESS:		CONTACT PERSON:	
N/A					
		PHONE:		FAX:	
		EMAIL:			
Presubmittal Date		Presubmittal Planner:			
Parcel ID Number		2103-263-11-001		(Example: 210326325001) from your full card printout	
Address or Intersection		171 Main St.			
Brief Legal Description		Subdivision Mackdon & Rathburns Block C Lot 3 & 4			
Subdivision Name & Filing #					
Project Description		Minturn Market/Summer Bike Parking Tent			
		Existing		Proposed:	
Zoning:		100 Block A			
Land Use:		Temporary			
Total Acres:		N/A			
F.A.R./Density:		N/A			
Project Name:		Summer Bike Parking Tent			
Related Case #'s:					
CASE TYPE					
PUD CDP: Concept Dev. Plan		PP: Prelim. Subdivision Plat		DRB - P: Des. Rev. Bd. Prelim	
PUD PDP: Prelim. Dev. Plan		FP: Final Subdivision Plat		DRB - F: Des. Rev. Bd. Final	
PUD FDP: Final Dev. Plan		MS: Minor Subdivision		ADM: Admin. Des. Review	
PUD ASP: Admin. Site Plan		ASR: Admin. Subdivision Replat		A-SIGN: Admin. Sign Review	
PUD FDP A: Amendment		V: Vacation of Easement		A-DIG: Admin. Dig Permit	
LU-V: Land Use - Variance		R.O.W. Vacation		A-DEMO: Admin. Demo Per.	
NU -V: Non Use - Variance		REZ -Rezoning -Straight Zoned		A-LTD: Admin. Limited Use	
				A-FP: Fence Permit	
				A-MOD: Modification/Add	
				A-MIN: Minor Ext. Mod.	
				ANNEX: Annexation	
				TU: Temporary Use	
				CU: Conditional Use	
				APPLS: Appeals	
This section for OFFICE USE ONLY					
Case No:		Case Mgr.		Case Eng.	
Fees Paid		Dates Referred Out			
Y N \$					
Dates to be Returned		Planning Comm Date:			

This development application shall be accompanied with the applicable fee and shall not be considered valid until the total application fee is received. If the application type requires a deposit, minimum deposit balances must be maintained or replenished upon notice by the Town. Submittal of this application does not mean you will receive automatic approval, nor does it establish a vested property right in accordance with C.R.S. 24-68-105(1). Further processing and review of this application may require additional information, and/or meetings, as outlined in the Town of Minturn Zoning and Development Code



Cindy Krieg
Economic Development /
Deputy Clerk
301 Boulder St. #309
Minturn, CO 81645
970-445-2415
events@minturn.org
www.minturn.org



Town Council
Mayor – Earle Bidez
Mayor Pro Tem – Eric Gotthelf
Council Members:
Gusty Kanakis
Tom Priest
Lynn Feiger
Kate Schifani
Brian Rodine

Section 7, ItemA.

May 29, 2024

The Town of Minturn wishes to erect a temporary 20x20 tent for summer bike parking, to allow for bike parking for the Minturn Market and other events as well as general bike parking, and to create a sense of “place” for said parking.

The Town has a 20x20 white tent with metal poles, which would need to be staked into the ground in the proposed area. The tent would be erected upon approval, hopefully in time for the first Market on June 22nd, 2024. The tent would remain up only through the summer, proposed through October 3rd, 2024.

The Town would like to create a sense of place with some simple signage and possibly some painting of the tent as well as additional decoration (to give it a “Minturn” feel). The Town may seek a local artist to assist with this.

The Town has obtained approval from the property owners of both the 171 Main St. lot as well as the 191 Main St. lot. The tent would be erected on the 171 Main St. lot, but may very slightly encroach onto 191 Main St. The tent is proposed to be placed next to the Colorado Mattress building, on the south side of the building.

Sincerely,

Cindy Krieg
Economic Development / Special Events
Town of Minturn

Minturn Planning Department
 Minturn Town Center
 302 Pine Street
 Minturn, Colorado 81645



Minturn Planning Commission
 Chair – Lynn Teach
 Jeff Armistead
 Michael Boyd
 Amanda Mire
 Eric Rippeth
 Darell Wegert

Design Review Board Hearing

Final Plan Review for Exterior Modifications

1014 Two Elk Lane

Hearing Date:	June 12, 2024
File Name and Process:	Duplex Residence Exterior Modifications Final Plan Review
Owner/Applicant:	Adam Minnick
Representative:	Fletcher Groff, The Groff Company
Legal Description:	Subdivision: CROSS CREEK PLACE Lot: 2
Address:	1014 Two Elk Lane
Zoning:	Cross Creek Character Area – Mixed Use Zone District
Staff Member:	Madison Harris, Planner I
Recommendation:	Approval

Staff Report

I. Summary of Request:

The Applicant, Adam Minnick, requests Final Plan review of exterior modifications to a duplex residence located at 1014 Two Elk Lane in the Cross Creek Mixed Use Zone District. The Applicant's representative, Fletcher Groff of the Groff Company and Sam Eckerson with Boss Architecture, have been proactive in meeting with Town staff prior to submitting plans for a new home and has provided a relatively complete and thorough set of architectural plans.

Proposed Plans

The plans show an existing two-story duplex, enclosing the deck approximately 98 square feet, and height unchanging within the Cross Creek Mixed Use Zone District.

Additionally, the massing, forms, and scale of the proposed structure, as well as proposed exterior materials, textures and detailing also appear to achieve the design objectives of Appendix B – *Design Guidelines and Standards*, Minturn Municipal Code.

The number of bedrooms is not changing and so the existing parking is not changing.

According to staff’s analysis of development standards and dimensional limitations in Section III below the project appears to meet the Town’s standards.

Overall, staff believes that the Applicants and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review.

As a reminder, the Planning Commission has the option to review the proposal as a “conceptual” plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or the Commission may take action to approve, approve with conditions, or deny the Final Plans.

Staff is **recommending approval**.

II. Summary of Process and Code Requirements:

These plans are being presented by the Applicant as “Final Plan” level of review for exterior modifications to a duplex residential structure on a legally created lot within the Town of Minturn. This is a formal hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB’s concerns or feedback regarding suggested revisions to the project.

If the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve the plans without conditions, or to approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions, additions or updates to the plans. No variances are required or requested at this time.

Design Review Process

Appendix ‘B’ of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection “d” below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

- (d) *Administrative procedure.*
 - (1) *Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.*

- (2) *Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:*
- a. The proposal's adherence to the Town's zoning regulations.*
 - b. The proposal's adherence to the applicable goals and objectives of the Community Plan.*
 - c. The proposal's adherence to the Design Standards.*
- (3) *Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:*
- a. That the proposal is in conformance with the Town zoning regulations.*
 - b. That the proposal helps achieve the goals and objectives of the Community Plan.*
 - c. That the proposal complies with the Design Standards.*

Staff suggests that the final plans for 1014 Two Elk Lane meet the required findings ‘a,’ ‘b,’ and ‘c’ or subparagraph 3 – *Necessary findings*.

III. Zoning Analysis:

Zoning

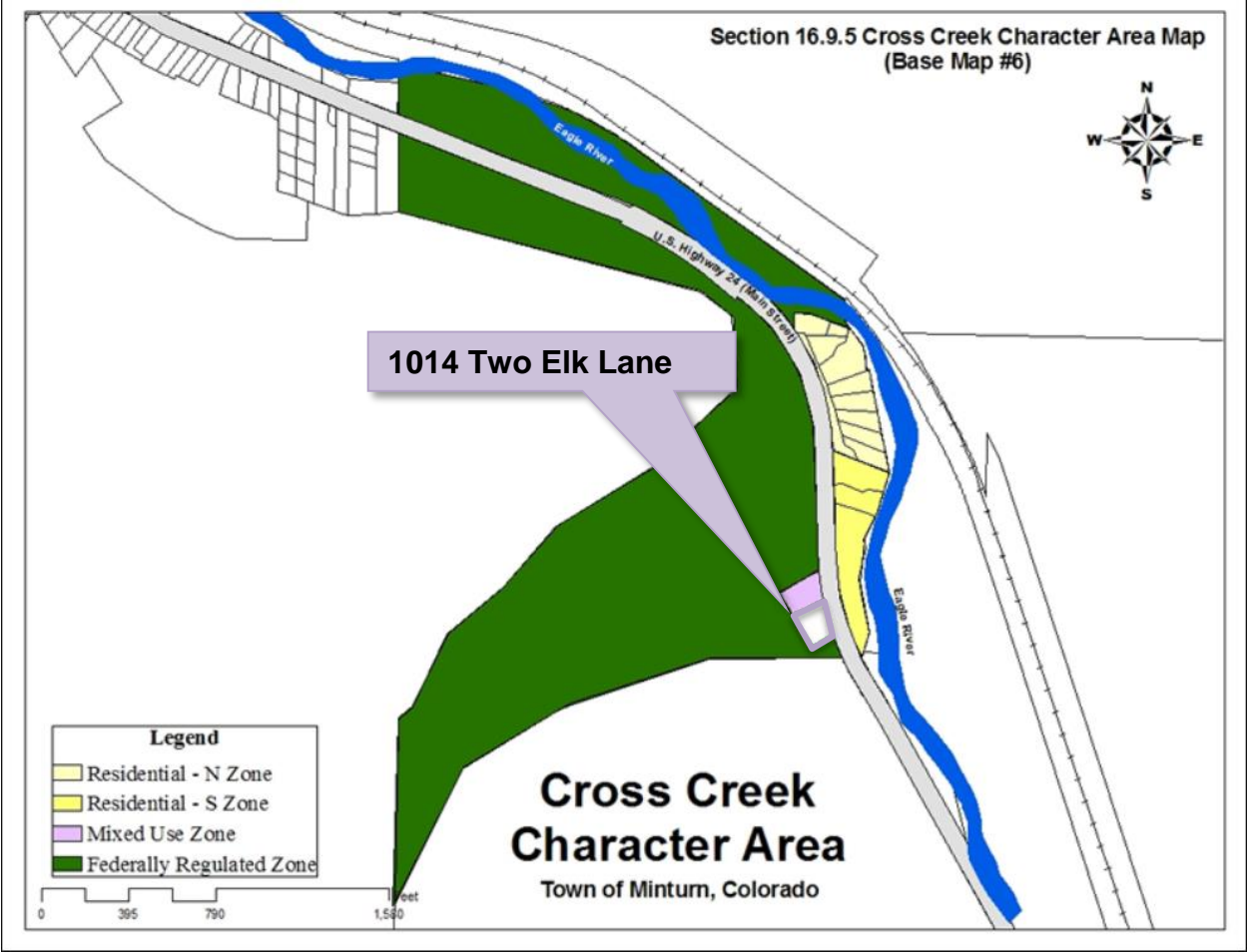
The subject property is located within the “Cross Creek Character Area” Mixed Use Zone District, described as follows:

- (a) The Cross Creek Mixed-Use Zone is characterized by a small area of mixed-use. The site has good access from Highway 24 and is highly visible as one enters Town from the south.*
- (b) The purpose of the Cross Creek Mixed-Use Overlay Zone is to **provide a variety of complementary and integrated uses such as residential**, office, light manufacturing and some retail in a concentrated area. **An objective of this area is to provide an attractive entrance statement** and economic activity **without causing significant impacts** on nearby residential and open space uses.*

- Town of Minturn Town Code Section 16-9-30

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Figure 1: Cross Creek Character Area Zoning Map



Dimensional Limitations and Development Standards

The following table summarizes the lot, development and dimensional standards and limitations applicable to the subject property pursuant to Sections 16-2-40. - *General lot requirements and dimensional standards* and 16-16-20 – *Parking Required for Residential and Lodging Uses*.

Regulation	Allowed/Required	Proposed/Existing
Minimum Lot Area:	10,000 sq. ft.	5,963 sq. ft. (ac.)
Maximum Building Height:	28 feet	28 feet (existing)
Minimum Front Setback:	10 feet	10 feet (existing)
Minimum Side Setback:	10 feet	10 feet (existing)
Minimum Rear Setback:	10 feet	10 feet (existing)

Maximum Lot Coverage:	70% (4,174.1 sq. ft.)	2,363 sq. ft. (39.6%) Proposed
Maximum Impervious Coverage:	80% (4,770.4 sq. ft.)	2986 sq. ft. (50.1%) Proposed
Minimum Snow Storage Area:	5% of Lot Area (5,963 sq. ft. x .05 = 253.4 sq. ft.)	Snow storage existing and not proposed to change
Parking:	3 spaces	3 spaces (existing)

IV.
Applicable Standards and Design Guideline Criteria:

Design

In addition to the development standards listed above, the following general design principles are provided for reference.

Mass and Form

The following excerpt from the Design Guidelines is applicable to the proposed home design:

“c. Massing and Scale

“*A simple central form with additive features shall be designed. This style creates visual interest and is appropriate for the community due to its compatibility with existing structures. Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.*

-Town of Minturn Design Guidelines

Staff Response:

Staff believes that the design and scale of the proposed modifications incorporates similar features to the rest of the duplex and is complementary to adjacent residential structures and character on nearby parcels. Proposed materials and textures are compatible and complementary to the surrounding built and natural environments.

V.
Staff Recommendation and Suggested Conditions:

Staff suggests that the Final Plans for 1014 Two Elk Lane generally **comply** with or exceed the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix ‘B’) of the Minturn Town Code.

Staff is **recommending approval** of the plans.

**DESIGN REVIEW APPLICATION**

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT
P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
Phone: 970-827-5645 Fax: 970-827-5545 Email: planner1@minturn.org

Project Name:

1014 TWO ELK LANE

Project Location

Street Address: 1014 TWO ELK LANE, MINTURN, CO 81645

Zoning: **CROSS CREEK**Parcel Number(s): **2103-363-10-005****Application Request:**

MAJOR CONSTRUCTION

Applicant:Name: **ADAM MINNICK**Mailing Address: **452 LEYDEN STREET, DENVER, CO 80220**Phone: **(303) 319-6778**Email: **aminnick@stonetowncapital.com****Property Owner:**Name: **ADAM MINNICK**Mailing Address: **452 LEYDEN STREET, DENVER CO 80220**Phone: **(303) 319-6778**Email: **aminnick@stonetowncapital.com****Required Information:**

Lot Size: .13 acres	Type of Residence (Single Family, ADU, Duplex) DUPLEX	# of Bedrooms 8	# On-site Parking Spaces 6
# of Stories: 2	Snow storage sq ft:	Building Footprint sq ft: 2363	Total sq ft Impervious Surface: 2986

Signature:

Fee Paid: _____ **Date Received:** _____ **Planner:** _____

DESIGN REVIEW APPLICATION

Section 7, ItemB.

SUBMITTAL CHECKLIST REQUIREMENTS (TO BE INCLUDED WITH APPLICATION)

Applicant Staff

☐

Application Fee (Non-Refundable application fee shall be collected)

- Design Review Board - \$200.00

☐

Letter of Intent

-- What is the purpose of the project including;

☐

- Relevant Background

☐

- Current Status of the Site

☐

- All Proposed Uses and Structures

☐

- How the Proposal Differs from what already exists

☐

- Information regarding Easements or Dedicated Tracts, etc.

☐

Vicinity Map

-- Directional Map indicating how to get to the Property involved in the request.

☐

- Zoning of Property

☐

Site Plan showing Precise Nature of the Proposed Use –

☐

To Scale

☐

- Scaled Drawings of Proposed Design of Structure

☐

- Plan View and Sections

☐

- Building Heights – all 4 directions N/S/E/W

☐

- topography

☐

- Building Location and impervious coverage

☐

- Setbacks

☐

- Ordinary High Water Mark determined by the Town Engineer and paid for by Applicant

☐

- Parking Plan

☐

- Traffic Circulation

☐

- Location and Width of Existing and Proposed Access Points

☐

- Location of Existing Driveways and Intersections

☐

- Landscaped Area – Plan including existing and proposed vegetation.

☐

- Approximate Location of Existing Wooded Areas and Rock Outcrops

☐

- Location and Type of Existing and Proposed Easements

☐

- Utility Easements

☐

- Drainage Features

☐

- Snow Storage areas expressed in square feet as a percentage of the overall site area

☐

Preliminary Building Plans and Elevations

☐

- Indicates Dimensions

☐

- General Appearance

☐

- Scale

- Interior Plan for the Buildings


☐
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☐
Elements needed on the Site Plan

- Scale
- North Arrow
- Date Prepared
- Lot Dimensions, Area, Entire Site Acreage


☐
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Architecture Details – Materials Board

- Windows – Placement and Color
- Doors – Placement and Color
- Siding – Type and Color
- Roof Material – Type and Color
- Paint Color


☐
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Boundary Survey with a stamp and signature of a licensed surveyor

- Date of survey (survey date must be within 6 months of the project application date)
- Right-of-way and property lines; including bearings, distances and curve information.
- Labeled ties to existing USGS benchmark.
- Property boundaries to the nearest one-hundredth (.01) of a foot accuracy. Distances and bearings and a basis of bearing must be shown. Show existing pins or monuments found and their relationship to the established corner.
- All existing easements recorded with the County Clerk and Recorder. Include bearings and distances.
- Spot elevations at the edge of asphalt along the street frontage of the property at five-foot intervals, and a minimum of two (2) spot elevations on either side of the lot.
- Topographic conditions at two-foot contour intervals.
- Existing trees or groups of trees having trunks with diameters of four (4) inches or more.
- Rock outcroppings and other significant natural features.
- All utility meter locations, including any pedestals on site or in the right-of-way adjacent to the site and the exact location of existing utility sources.
- Environmental hazards where applicable (i.e., rock fall, wetlands and floodplain).
- Watercourse setbacks, if applicable. Show centerline and edge of stream or creek in addition to the required stream setback from the ordinary high water mark.


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Grading and Drainage Plan

- Existing contours. Existing two-foot contours must be provided for all disturbed areas. Contours for undisturbed areas must be shown when drainage in those areas impacts the disturbed area.
- Proposed contours. Proposed two-foot contours for all disturbed areas must be shown and must demonstrate positive drainage.
- Spot elevations. Show critical spot elevations, as necessary to demonstrate positive drainage and the direction of flow. Finished grade at all building corners must be provided.
- Top-of-foundation elevations. The top-of-foundation elevation must be shown on the plan and must be consistent with the foundation plan. For buildings on slopes of thirty percent (30%) or greater, elevations for stepped foundation walls must be shown.
- Drainage arrows. Include drainage arrows that show how stormwater will be routed around buildings and where stormwater will exit the property. Stormwater cannot cause damage to any adjacent property. Drainage and erosion control features needed to prevent damage must be included.
- Drainage facilities. Proposed drainage facilities, such as French drains or culverts, must be shown.
- Retaining walls. Retaining wall details are required and must include drainage details. Note top- and bottom-of-wall elevations at each location where the retaining wall steps up or down, and include the tallest point of the retaining wall.


☐

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Fletcher Groff

The Groff Company, LLC
1036 Polar Star Dr.
Eagle, CO, 81631
14th December 2023

Madison Harris

Planner 1, Town of Minturn
302 Pine St
Minturn, CO 81645

To Whom it May Concern,

This letter serves as the Statement of Intent for the renovation of 1014 Two Elk Lane, in Minturn, Colorado, parcel number 2103-363-10-005.

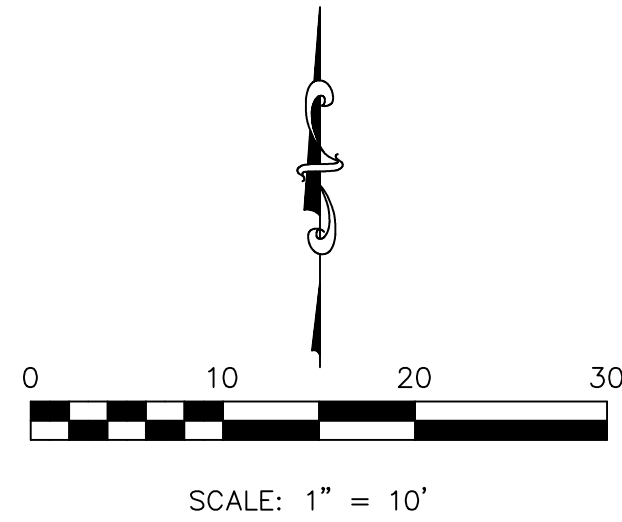
I am acting as Agent to the Owners of the above referenced duplex, who plan on enclosing a portion of the existing second-floor deck to interior space. There is no proposed work on the basement or ground-level floors, or any work proposed to the site.

The design has been developed to gain space for the second-floor dining room and a small office on the south east side of the unit. The renovation will capture approximately 98 square feet of the existing deck by moving the existing double-door wall 9’ south.

The design has been developed to match and/or directly tie into existing conditions wherever possible, such as modifying the existing flat roof to tie into the existing shed roof, and matching sill and head heights of existing windows. All new exterior finishes will match existing materials on the building.

Sincerely,

Fletcher Groff



CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	TANGENT	CHORD LENGTH	CHORD BEARING
C1	0°46'06"	756.30'	49.73'	24.88'	49.74'	N 17°36'39" W

NOTES:

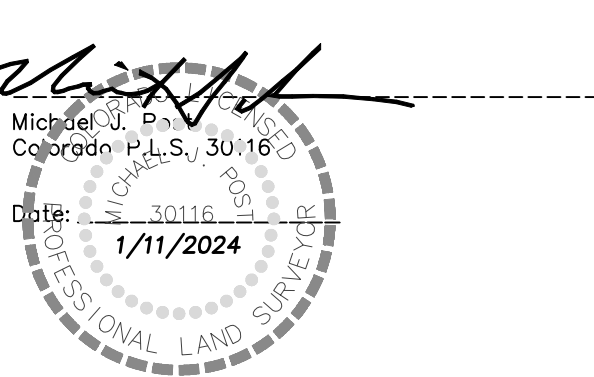
- 1) DATE OF SURVEY: 12/14/2023.
- 2) SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR AMENDED PLATS, EASEMENTS OF RECORD (OTHER THAN PLATTED), ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- 3) NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- 4) THIS SURVEY AND THE INFORMATION CONTAINED HEREON IS THE PROPERTY OF EAGLE VALLEY SURVEYING, INC. AND IS INTENDED FOR THE SOLE USE OF THE ORIGINAL CLIENT ONLY. ANY USE OF OR TRANSFER TO OTHERS IS PROHIBITED.
- 5) BASIS OF BEARINGS: MONUMENTS FOUND MARKING THE WEST CORNER LOT 1 AND SOUTH CORNER LOT 3W, (SEE DRAWING).
- 6) 1.0' OF SNOW ON LOT AT TIME OF SURVEY; SOME FEATURES MAY EXIST BENEATH SNOW THAT ARE NOT SHOWN ON THIS DRAWING.
- 7) BASIS OF ELEVATION: USGS NAVD 88 BM S-280 EAGLE COUNTY SURVEY CONTROL EL=7894.20'.
- 8) 1' CONTOUR INTERVAL.
- 9) THE U.S. SURVEY FOOT IS THE LINEAL UNIT USED FOR THE DIMENSIONS ON THIS PLAT.
- 10) THIS PROPERTY DOES NOT LIE WITHIN ANY 100 YEAR FLOOD PLAIN.

LEGEND	
	UTILITY POLE
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	CPP
	OVERHEAD POWER LINE
	ASPHALT SURFACE
	ROCK WALL
	FLAGSTONE SURFACE
	CONCRETE SURFACE
	DENOTES DECIDUOUS TREE W/ APPROX. 0.3' TRUNK DIAMETER
	DENOTES CONIFEROUS TREE W/ APPROX. 0.5' TRUNK DIAMETER

SURVEYORS CERTIFICATE:

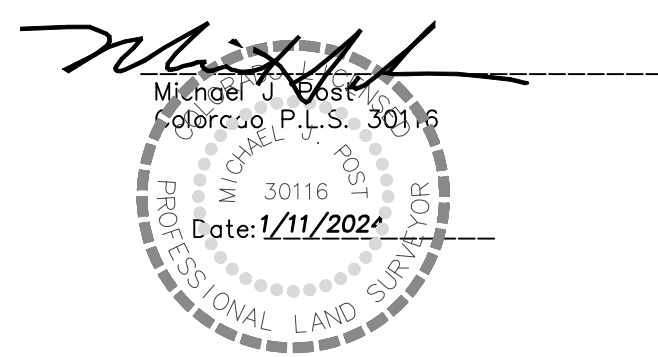
Certified to: ADAM & ELENI MINNICK.

I, Michael J. Post, a registered Professional Land Surveyor in the State of Colorado, do hereby certify that on 12/14/2023 this Improvement Survey Plat was performed under my supervision and that dimensions accurately represent said survey.



SURVEYOR'S CERTIFICATE

I, Michael J. Post, a Professional Land Surveyor registered under the laws of the State of Colorado, do hereby certify that this topographic survey was made by me and under my supervision, and that the survey is accurate and correct to the best of my knowledge.



LOT 1

LOT 2

LOT 3E
0.0653 AC.
1014

LOT 3W

WHITE RIVER
NATIONAL FOREST

HIGHWAY NO. 24 (80' ROW)
COLORADO STATE ROAD

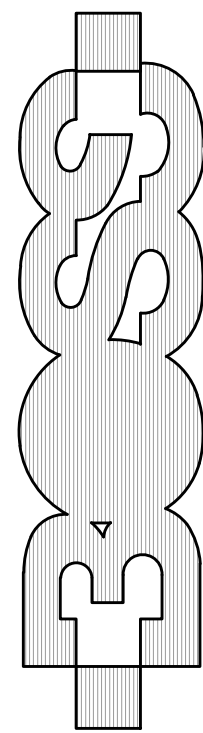
TOPOGRAPHIC SURVEY
IMPROVEMENT SURVEY PLAT
LOT 3E
CROSS CREEK PLACE
TOWN OF MINTURN, EAGLE COUNTY, COLORADO

JOB No. 3518

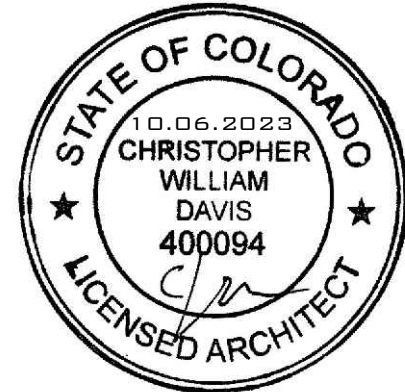
EAGLE VALLEY SURVEYING, INC.

41199 HIGHWAY 6 & 24, EAGLE-VAIL
P.O. BOX 1230
EDWARDS, CO. 81632
(970)949-1406

3518-T-ISP-2024.dwg	DATE: 12/2023
DRN. BY: MLT	PAGE: 1 OF 1



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BOSS ARCHITECTURE, LLC.



OWNERS:
ADAM AND LAINIE MINNICK

LOCATION:
1014 TWO ELK LANE
MINTURN, COLORADO 81645

03 | 2024 FOR PRICING
11
04 | 2024 DESIGN REVIEW
12

COVER SHEET

TWO.ELKCONDO

ARCHITECTURE
BOOKS
ARTS
3300 E 17TH AVE

303.377.6322 | P
303.377.6326 | F
WWW.BOSSARCHITECTURE.COM

VIEW OF PROPOSED PROJECT

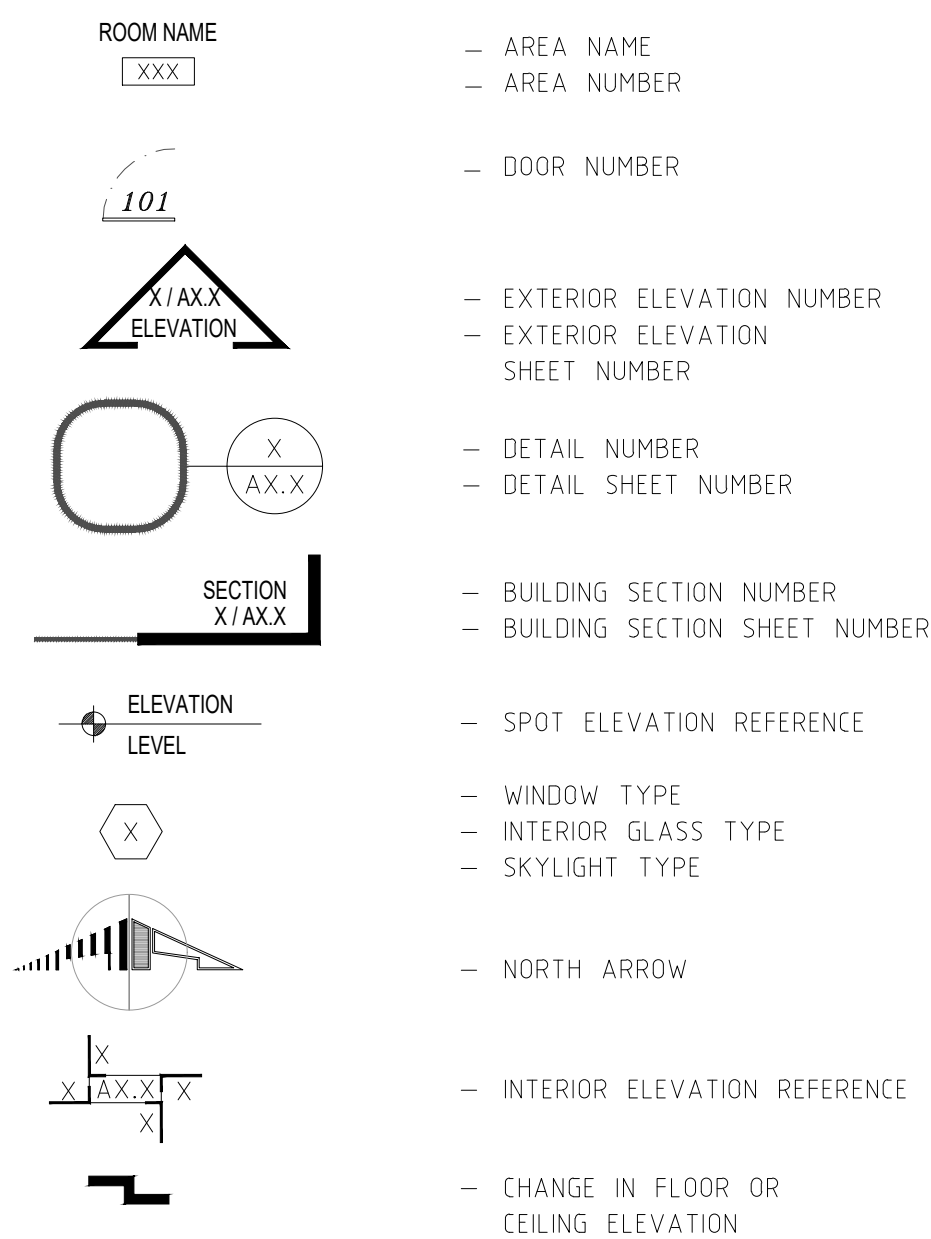


PROJECT.SUMMARY

ADDRESS:	1014 TWO ELK LANE MINTURN, CO 81645
TAX AREA:	SC024 - MINTURN (TOWN)
PARCEL NUMBER:	2103-363-10-005
LOT SIZE:	.11 ACRES
LEGAL SUMMARY:	SUBDIVISION: CROSS CREEK PLACE LOT: 3E
BUILDING HEIGHT:	28' ¹ MAX ALLOWED PER SEC. ¹ 16'-2'-60", TABLE 16-B "TABLE HEIGHT" ¹ , MINTURN MUNICIPAL CODE HEIGHT MEASURED FROM FINISHED OR NATURAL GRADE, WHICHEVER IS MORE RESTRICTIVE, TO MIDPOINT OF ROOF

PLANS.SQ. FT.

SYMBOLS.LEGEND



PROJECT TEAM

OWNER
ADAM AND LAINIE MINNICK
452 LEYDEN STREE
DENVER, CO 80220
303.319.6778
303.956.2537
aminnick@stonetowncapital.com
lainie.minnick@gmail.com

ARCHITECT
BOSS.ARCHITECTURE
CHRIS DAVIS
KEVIN STEPHENSON
3300 E 17TH AVE
DENVER, COLORADO 80206

303.377.6322
chris@BOSSarchitecture.com
kevin@BOSSarchitecture.com

GENERAL CONTRACTOR
THE GROFF COMPANY, LLC
1036 POLAR STAR DR.
EAGLE, CO 81631

303.638.0956
fletcher@thegroffcompany.com

STRUCTURAL ENGINEER
IMEG CORP.
MEGHAN C. BAKEMEYER
1400 BLENARM PLACE, SUITE 101
DENVER, CO 80202

303.623.4927
megan.c.bakemeyer@imegcorp.com

CIVIL ENGINEER
N/A

MECHANICAL
N/A

LANDSCAPE ARCHITECT
N/A

BUILDING CODE INFORMATION

APPLICABLE CODES

2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2021 INTERNATIONAL FIRE CODE (IFC)
2021 INTERNATIONAL PLUMBING CODE (IPC)

DRAWING INDEX

[illegible]



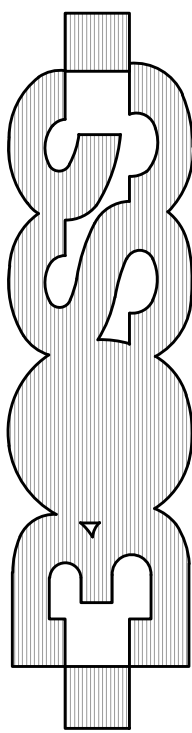
GARY R. GILMAN
JULIE M. STOXEN
PO BOX 1550
VAIL, CO 81658

PARCEL #210336310001
JOHN & CAROLINE OSBORNE
3454 NEWARK ST NW
WASHINGTON DC 20016

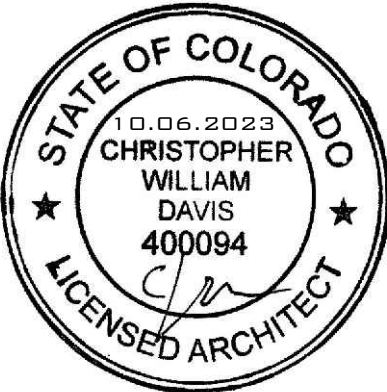
PARCEL #210336310006
JOHN & CAROLINE OSBORNE
3454 NEWARK ST NW
WASHINGTON DC 20016



1 VICINITY MAP
NOT TO SCALE



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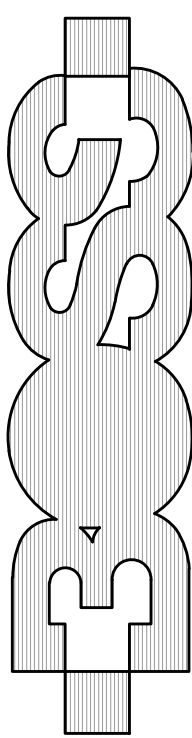
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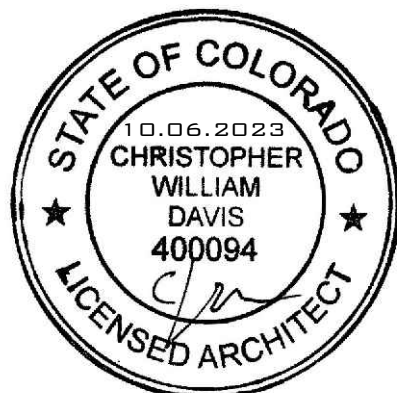
VICINITY MAP

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DATE: 2024 FOR PRICING
DATE: 2024 DESIGN REVIEW

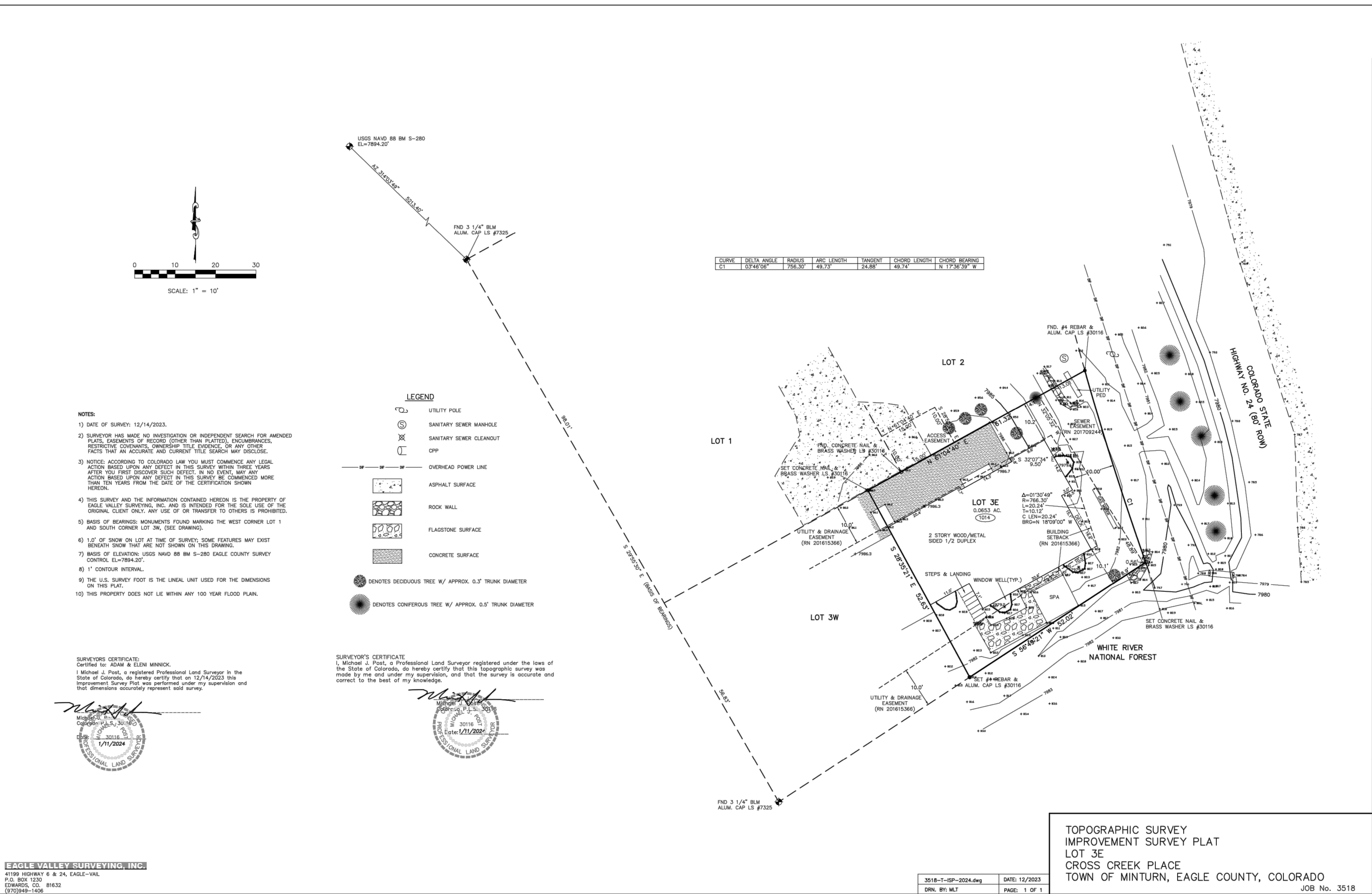
SURVEY

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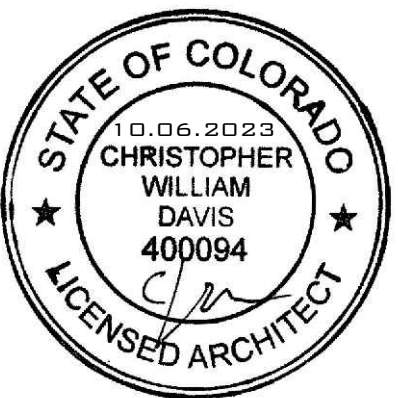
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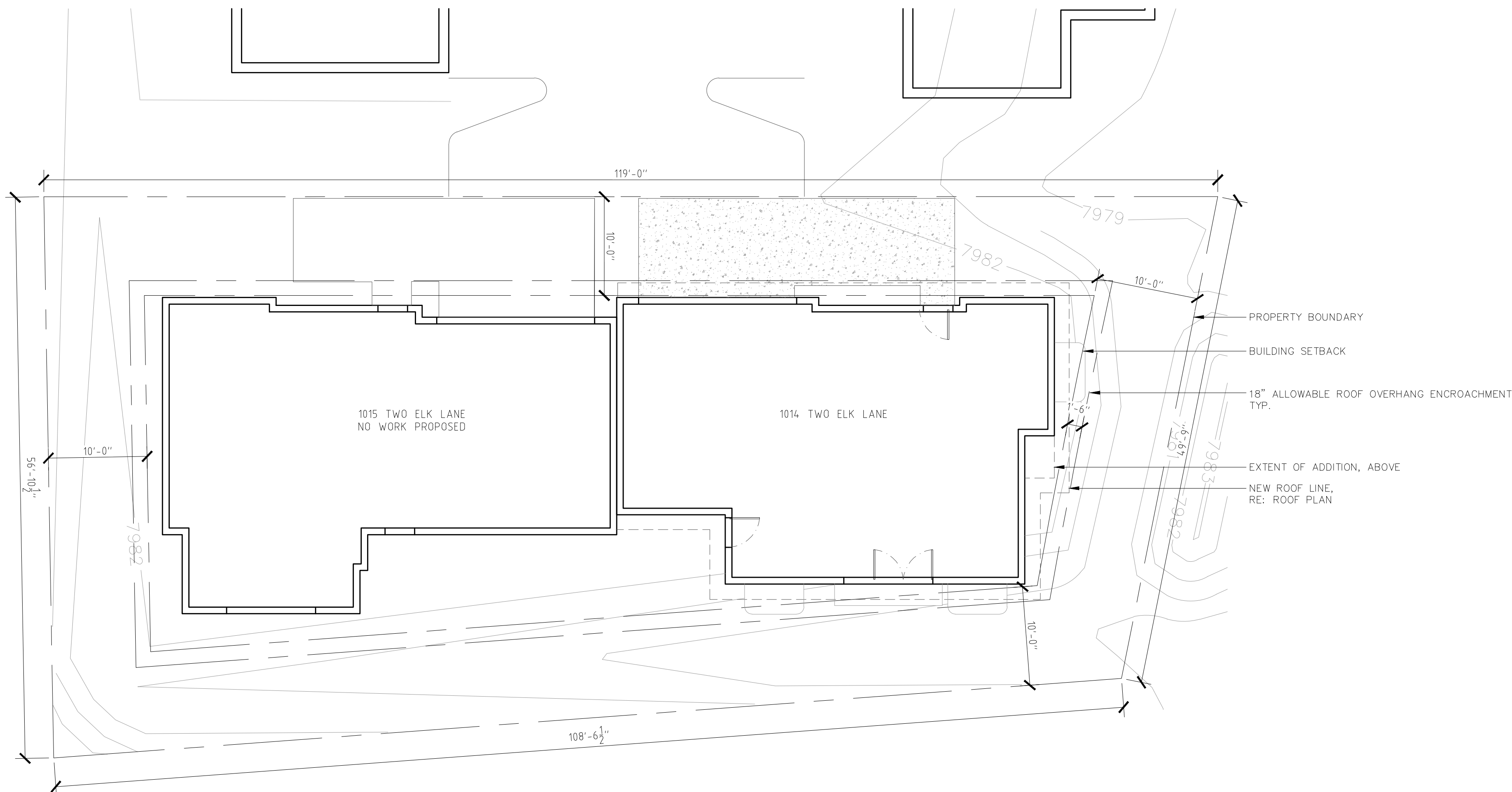
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9/9 | 2024 DESIGN REVIEW

SITE PLAN

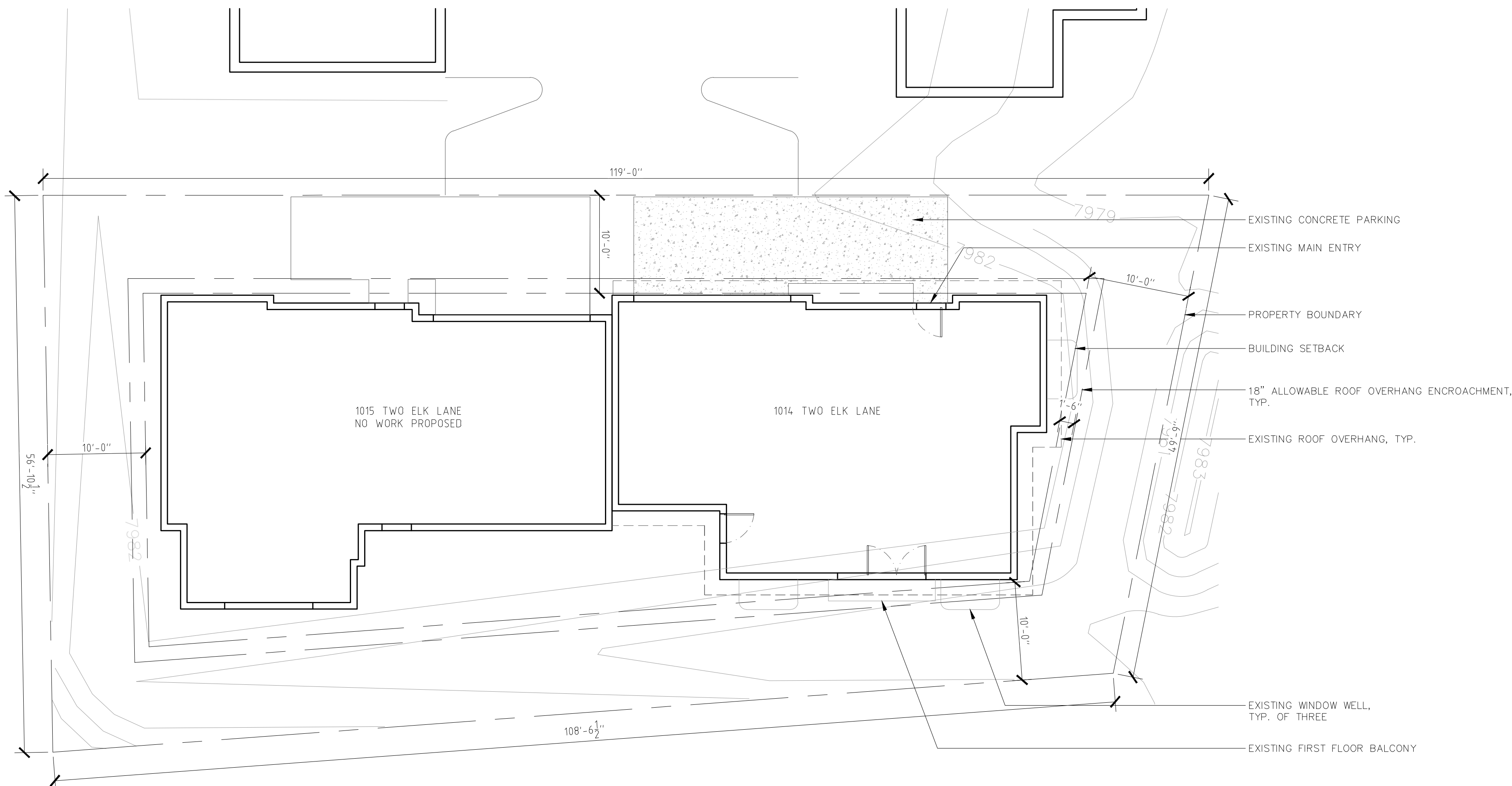
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LOT COVERAGE, SQ. FT.

LOT COVERAGE	
LOT SIZE	5,963 SF (.13 ACRES)
ALLOWED	2,981 SF (50%)
PROPOSED	2,363 SF (39%)
IMPERVIOUS	
ALLOWED	3,577.8 SF (60%)
PROPOSED	2,986 SF
BUILDING	2,363 SF
DRIVEWAYS (EX.)	623 SF
TOTAL	2,986 SF (50%)



2 PROPOSED SITE PLAN
1/4" : 1'



1 EXISTING SITE PLAN
1/4" : 1'

DEMO.LEGEND

EXISTING WALLS, PARTITIONS AND WINDOWS TO BE DEMOLISHED

EXISTING WALL TO REMAIN

NEW WALL

AREA TO BE DEMOLISHED

DEMOLITION.NOTES

THE GENERAL CONTRACTOR IS SUPPLIED, HEREIN, WITH THE CONSTRUCTION DOCUMENTS FOR THEIR USE IN PRICING & CONSTRUCTING THIS WORK. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL (E) CONDITIONS & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES & UNFORESEEN CONDITIONS & COORDINATE PRICING & CONSTRUCTION INFORMATION ACCORDINGLY.

THESE DEMOLITION DRAWINGS ARE INTENDED TO SHOW THE GENERAL CONDITIONS WHICH ARE EXPECTED TO OCCUR. VERIFY ALL CONDITIONS BEFORE PROCEEDING W/ THE DEMOLITION WORK IN ANY AREA. WHERE DISCREPANCIES INVOLVE STRUCTURAL ITEMS, REPORT SUCH DIFFERENCES TO THE ARCHITECT & STRUCTURAL ENGINEER, & SECURE INSTRUCTIONS PRIOR TO PROCEEDING WITH ANY WORK.

THE CONTRACTOR SHALL REMOVE (E) WALLS & OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE DEMOLITION PLANS W/ DASHED LINES.

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES & OTHER FORMS OF PROTECTION AS REQUIRED, TO PROTECT PERSONNEL, VISITORS, & GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.

ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT INTERNATIONAL RESIDENTIAL CODE, ADA, & ANY OTHER FEDERAL, STATE OR LOCAL AGENCIES HAVING JURISDICTION OVER THIS PROJECT.

DISCONNECT AND SAFELY PROTECT ALL UTILITY MAIN AND SUB CONNECTIONS SUCH AS BUT NOT LIMITED TO GAS, ELECTRIC, AND PLUMBING SO THEY CAN BE SAFELY TIED INTO, REMOVED OR RELOCATED AT A LATER DATE.

RECYCLE OR DISPOSE OF ALL REMOVED MATERIALS IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL GUIDELINES

PLAN.MATERIALS

STONE PAVERS

WOOD FLOORING

PLAN.NOTES

VERIFY ALL DIMENSIONS IN FIELD.

REFER TO SHEET A0.1 FOR THE FOLLOWING INFORMATION:

- GENERAL NOTES
- FLOOR, ROOF / CEILING, & WALL ASSEMBLY NOTES

REFER TO SHEET A0.2 FOR ROOM FINISH SCHEDULE.

SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

PROVIDE 6 MIL. POLY VAPOR RETARDER (INTERIOR SIDE OF FRAMING)
⊗ ALL EXTERIOR FRAMED WALL ASSEMBLIES.

REPLACE 5/8" GYP.BD. WITH 5/8" 'GREEN BOARD'
⊗ ALL BATHROOMS & WET LOCATIONS, (NOT TO RECEIVE TILE).

REPLACE 5/8" GYP.BD. WITH 3/4" 'CEMENTICIOUS TILE BACKER BOARD'
⊗ ALL LOCATIONS TO RECEIVE TILE.

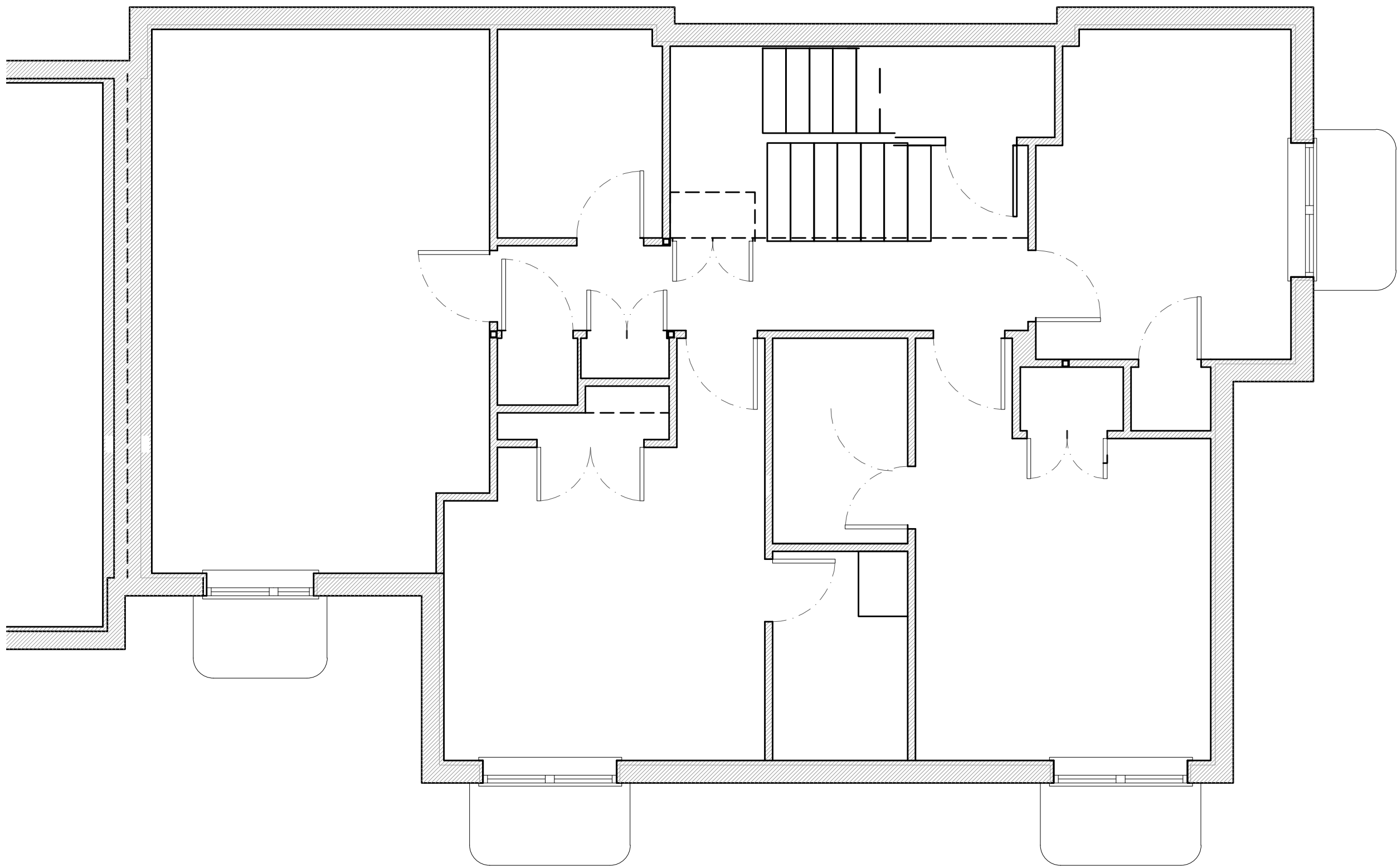
ALL ELEVATIONS ARE RELATIVE TO T.O. FINISH FLOOR '100'-0" = 5211.83'

CONTRACTOR TO VERIFY ASSEMBLY THICKNESSES AND ADJUST FRAMING AS REQUIRED TO ACHIEVE INTENDED FINISH ALIGNMENTS.

FLOOR REGISTERS:

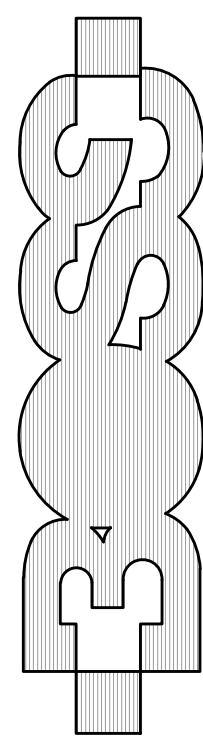
REGISTERS IN WOOD FLOORS TO BE SHOEMAKER MFG 'LCF-SUB' FLOOR GRILL, FINISH TBD. W/ 3/4" WIDE WOOD BORDER AROUND OPENING, CUT FROM MATCHING WOOD FLOORING MATERIAL, STAINED TO MATCH WOOD FLOORS.

REGISTERS IN TILE TO BE SHOEMAKER 'LTM' LINEAR BAR GRILLE WITH TAPE AND MUD FRAME AND REMOVABLE CORE, OR EQ. MECHANICAL GRILLE FINISH T.B.D.



1

BASEMENT PLAN
NO WORK PROPOSED
1/4" = 1'



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KEVIN STEPHENSON

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OWNERS:

ADAM AND LAINIE MINNICK

LOCATION:

1014 TWO ELK LANE
MINTURN, COLORADO 81645

07/24 | 2024 FOR PRICING

08/24 | 2024 DESIGN REVIEW

TWO.ELKCONDO

BOSS
ARCHITECTURE

3300 E 17TH AVE
DENVER, COLORADO 80206 USA

303.377.6322 | P
303.377.6326 | F
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BASEMENT PLAN

DEMO.LEGEND

	EXISTING WALLS, PARTITIONS AND WINDOWS TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL
	AREA TO BE DEMOLISHED

DEMOLITION.NOTES

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THE CONTRACTOR SHALL REMOVE (E) WALLS & OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE DEMOLITION PLANS W/ DASHED LINES.

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RECYCLE OR DISPOSE OF ALL REMOVED MATERIALS IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL GUIDELINES

PLAN.MATERIALS

	STONE PAVERS
	WOOD FLOORING

PLAN.NOTES

VERIFY ALL DIMENSIONS IN FIELD.

REFER TO SHEET A0.1 FOR THE FOLLOWING INFORMATION:

- GENERAL NOTES
- FLOOR, ROOF / CEILING, & WALL ASSEMBLY NOTES

REFER TO SHEET A0.2 FOR ROOM FINISH SCHEDULE.

SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

PROVIDE 6 MIL. POLY VAPOR RETARDER (INTERIOR SIDE OF FRAMING)
⊗ ALL EXTERIOR FRAMED WALL ASSEMBLIES.

REPLACE 5/8" GYP.BD. WITH 5/8" 'GREEN BOARD'
⊗ ALL BATHROOMS & WET LOCATIONS, (NOT TO RECEIVE TILE).

REPLACE 5/8" GYP.BD. WITH 3/4" 'CEMENTICIOUS TILE BACKER BOARD'
⊗ ALL LOCATIONS TO RECEIVE TILE.

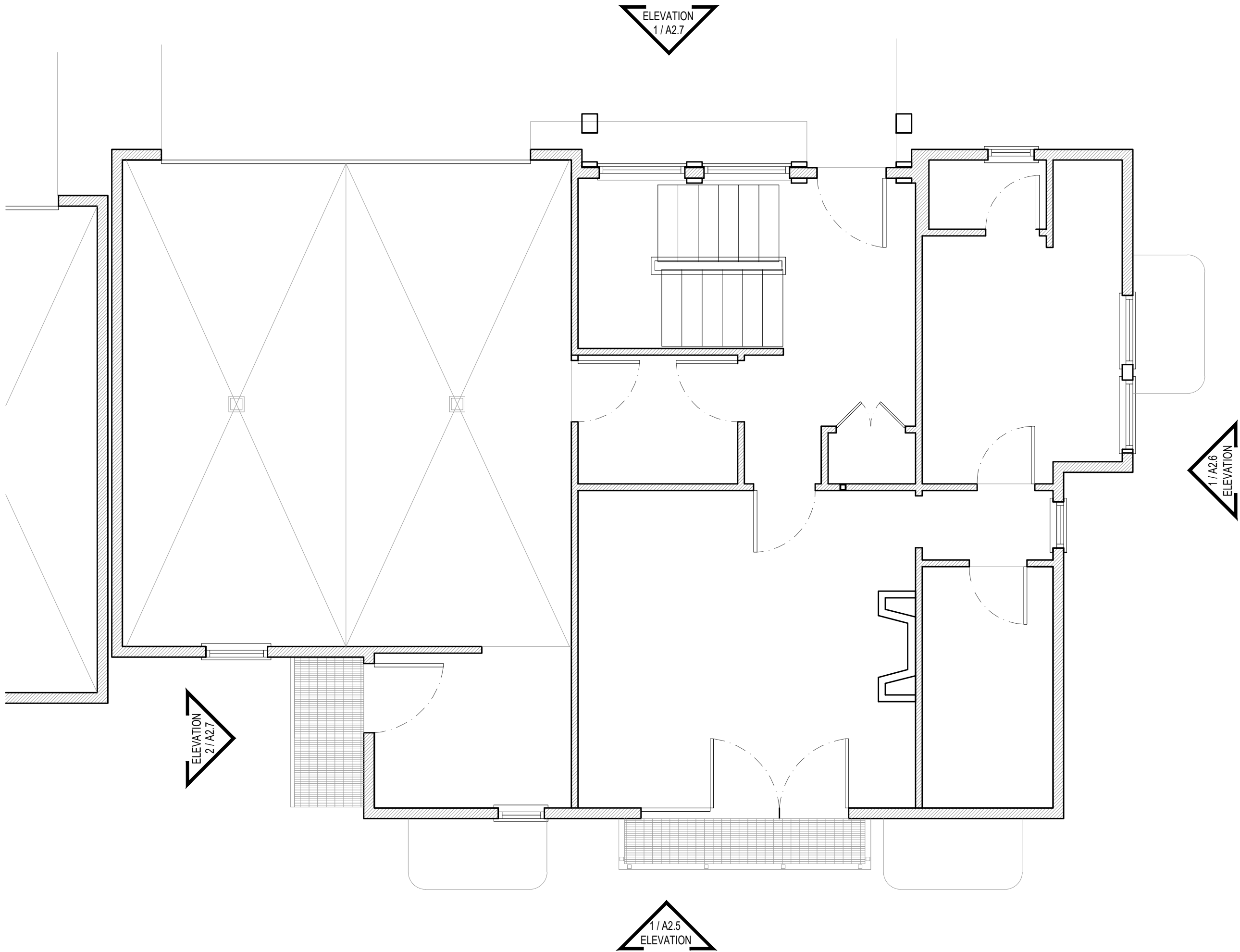
ALL ELEVATIONS ARE RELATIVE TO T.O. FINISH FLOOR '100'-0" = 5211.83'

CONTRACTOR TO VERIFY ASSEMBLY THICKNESSES, AND ADJUST FRAMING AS REQUIRED TO ACHIEVE INTENDED FINISH ALIGNMENTS.

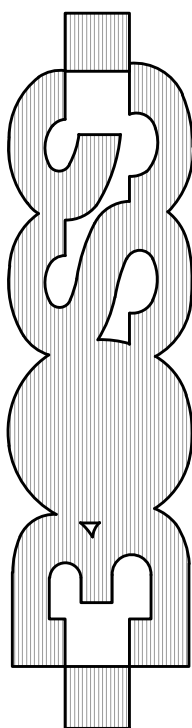
FLOOR REGISTERS:

REGISTERS IN WOOD FLOORS TO BE SHOEMAKER MFG 'LCF-SUB' FLOOR GRILL, FINISH TBD. W/ 3/4" WIDE WOOD BORDER AROUND OPENING, CUT FROM MATCHING WOOD FLOORING MATERIAL, STAINED TO MATCH WOOD FLOORS.

REGISTERS IN TILE TO BE SHOEMAKER 'LTM' LINEAR BAR GRILLE WITH TAPE AND MUD FRAME AND REMOVABLE CORE, OR EQ. MECHANICAL GRILLE FINISH T.B.D.



1 LOWER LEVEL PLAN
1/4" = 1'



Section 7, ItemB.

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DATE: 2024 FOR PRICING
DATE: 2024 DESIGN REVIEW

LOWER LEVEL PLAN

TWO.ELKCONDO

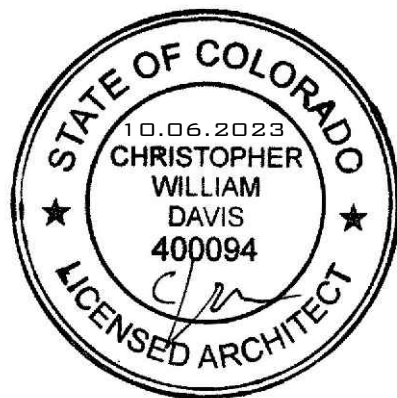
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DENVER, COLORADO 80206 USA

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UPPER LEVEL
PLANS

TWO.ELKCONDO

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DEMO.LEGEND

	EXISTING WALLS, PARTITIONS AND WINDOWS TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL
	AREA TO BE DEMOLISHED

DEMOLITION.NOTES

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	STONE PAVERS
	WOOD FLOORING

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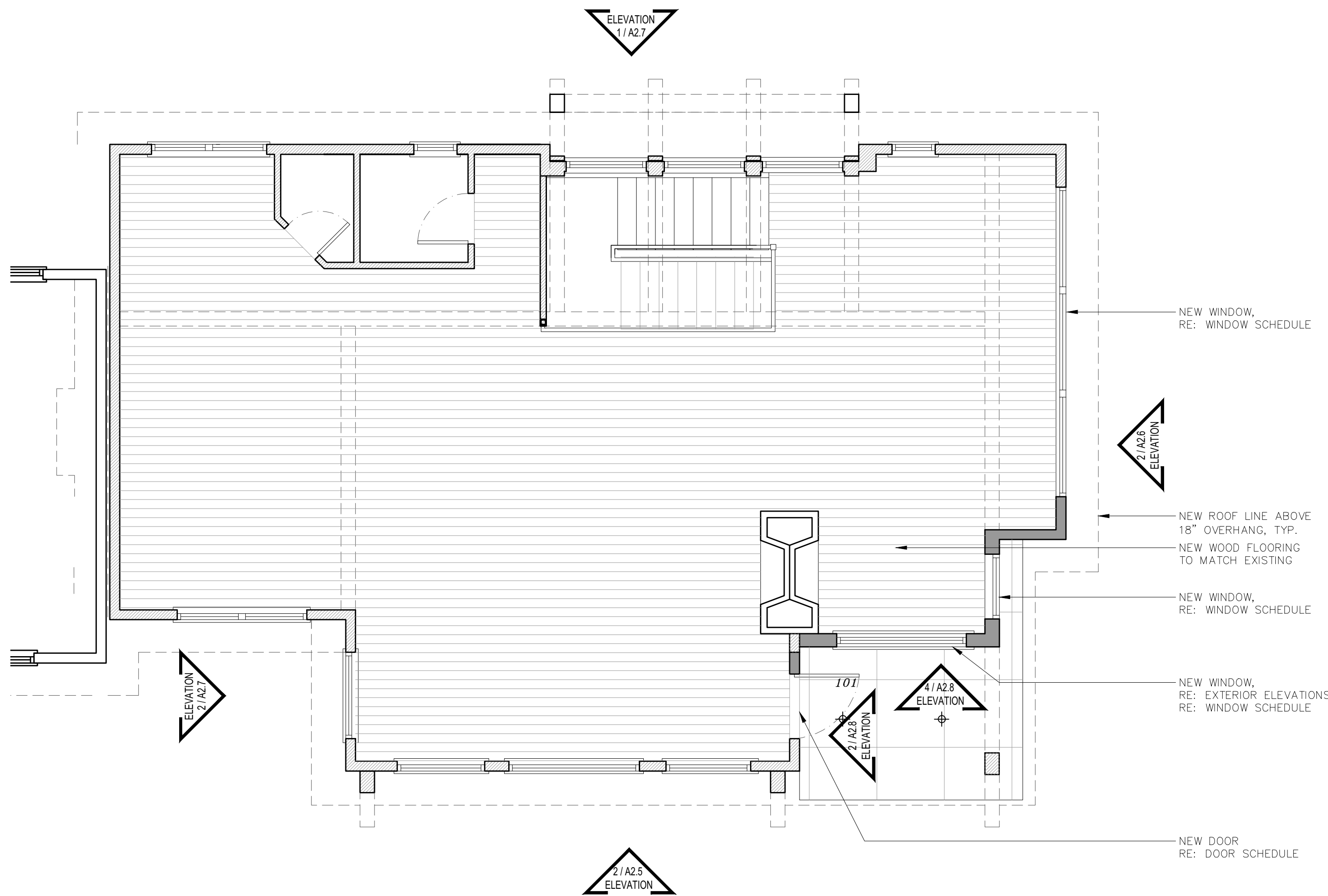
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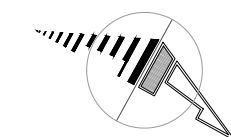
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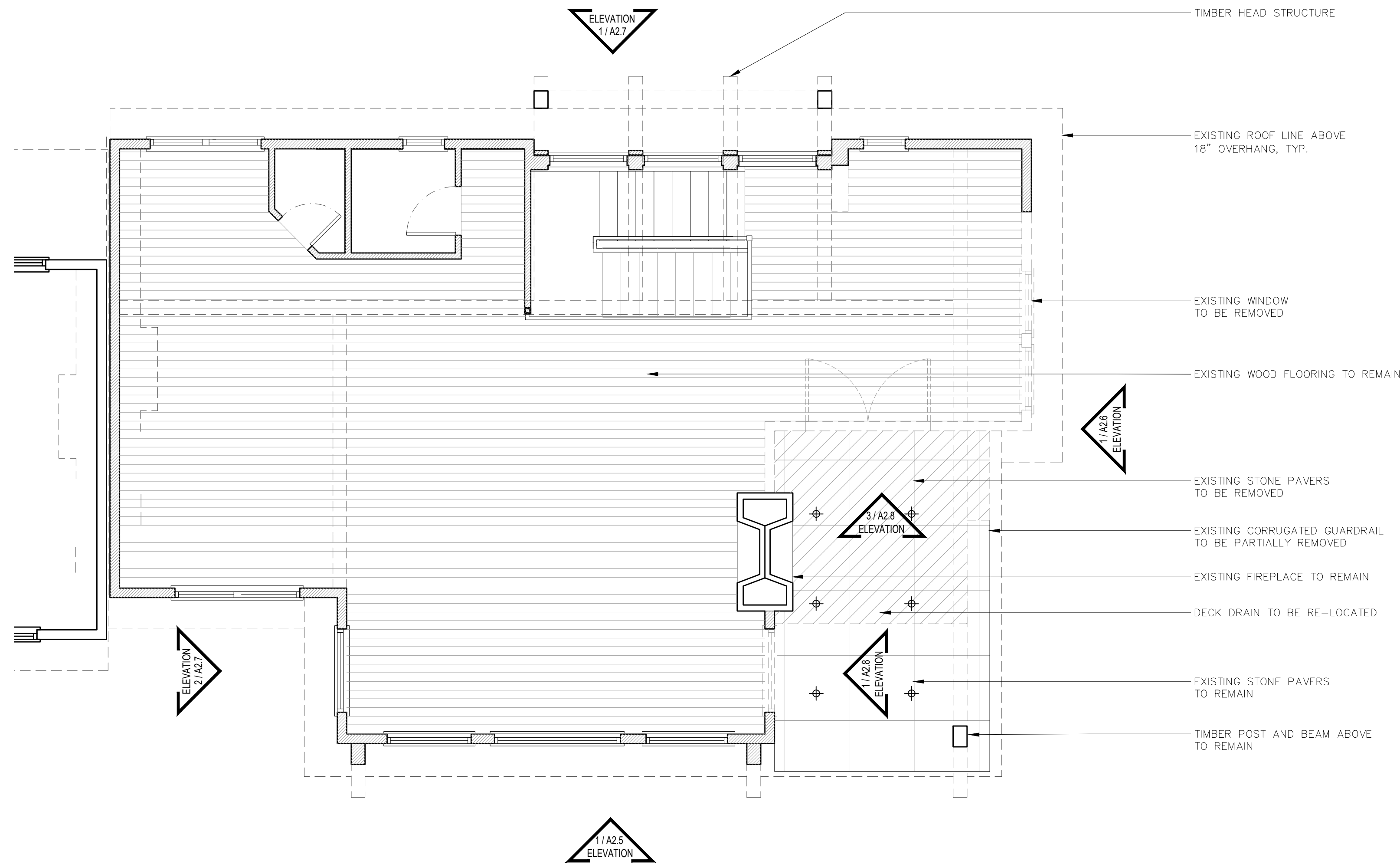
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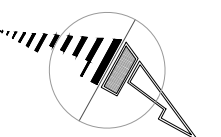
2



UPPER LEVEL
PROPOSED PLAN
1/4" : 1'



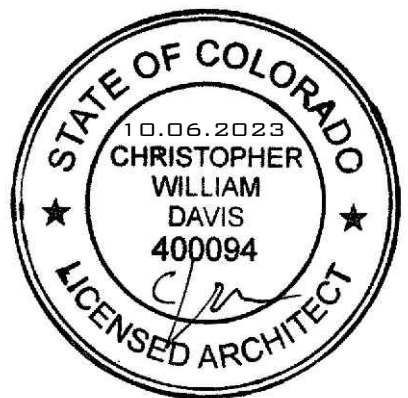
1



UPPER LEVEL
DEMO PLAN
1/4" : 1'

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ROOF PLANS

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303.377.6326 | F
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DEMO.LEGEND

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	EXISTING WALL TO REMAIN
	NEW WALL
	AREA TO BE DEMOLISHED

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ROOF PLAN.MATERIALS

	FULLY ADHERED, CONTINUOUS, 60 MIL. EPDM ROOFING
	CORRUGATED METAL ROOF
	DS. SYMBOL INDICATES LOCATIONS OF DOWNSPOUTS

ROOF PLAN.NOTES

SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

ALL LOW SLOPE ROOFED AREAS SHALL BE FULLY ADHERED 60 MIL. EPDM, (INCLUDING ALL REQUIRED EPDM FLASHINGS FOR CORNERS, TRANSITIONS, ROOF PENETRATIONS, & VENTS)

PROVIDE PROTECTIVE CAGES OVER ROOF DRAINS TO PREVENT DEBRIS FROM CLOGGING DRAINS, TYP.

WHEN ROOF & OVERFLOW DRAINS DRAIN INTERNALLY, THEY SHALL EXIT THE STRUCTURE VIA LAMBS TONGUES, ROUTED TO RAIN GARDEN #2. (RE: CIVIL.)

FOR EVERY ROOF DRAIN, A SECONDARY OVERFLOW DRAIN SHALL BE PROVIDED, TYP. PER IRC 903.4 AND R903.4.1. (ALL OVERFLOW DRAIN INLET ELEVATIONS SHALL BE NO MORE THAN 2" ABOVE ROOF DRAIN INLETS, TYP.)

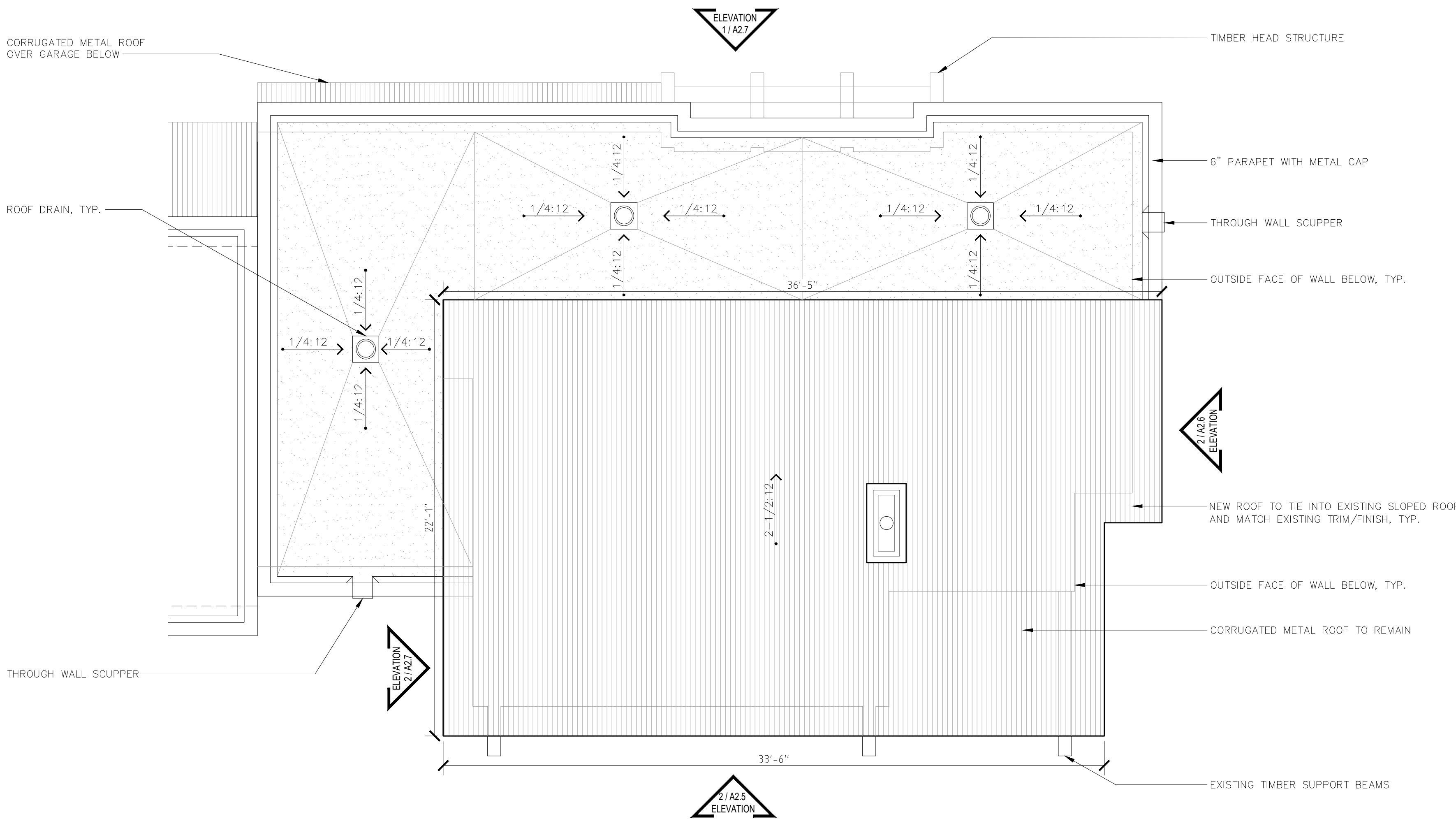
PROVIDE SLOPED PARAPET CAP FLASHING & GRAVEL STOPS, AS INDICATED ON THE WALL SECTIONS. (ALL PARAPET CAPS, GRAVEL STOPS, SHALL BE SEAMLESS, PREFINISHED METAL, TYP.)

ALL FLASHING SHALL BE PREFINISHED METAL, U.N.O.

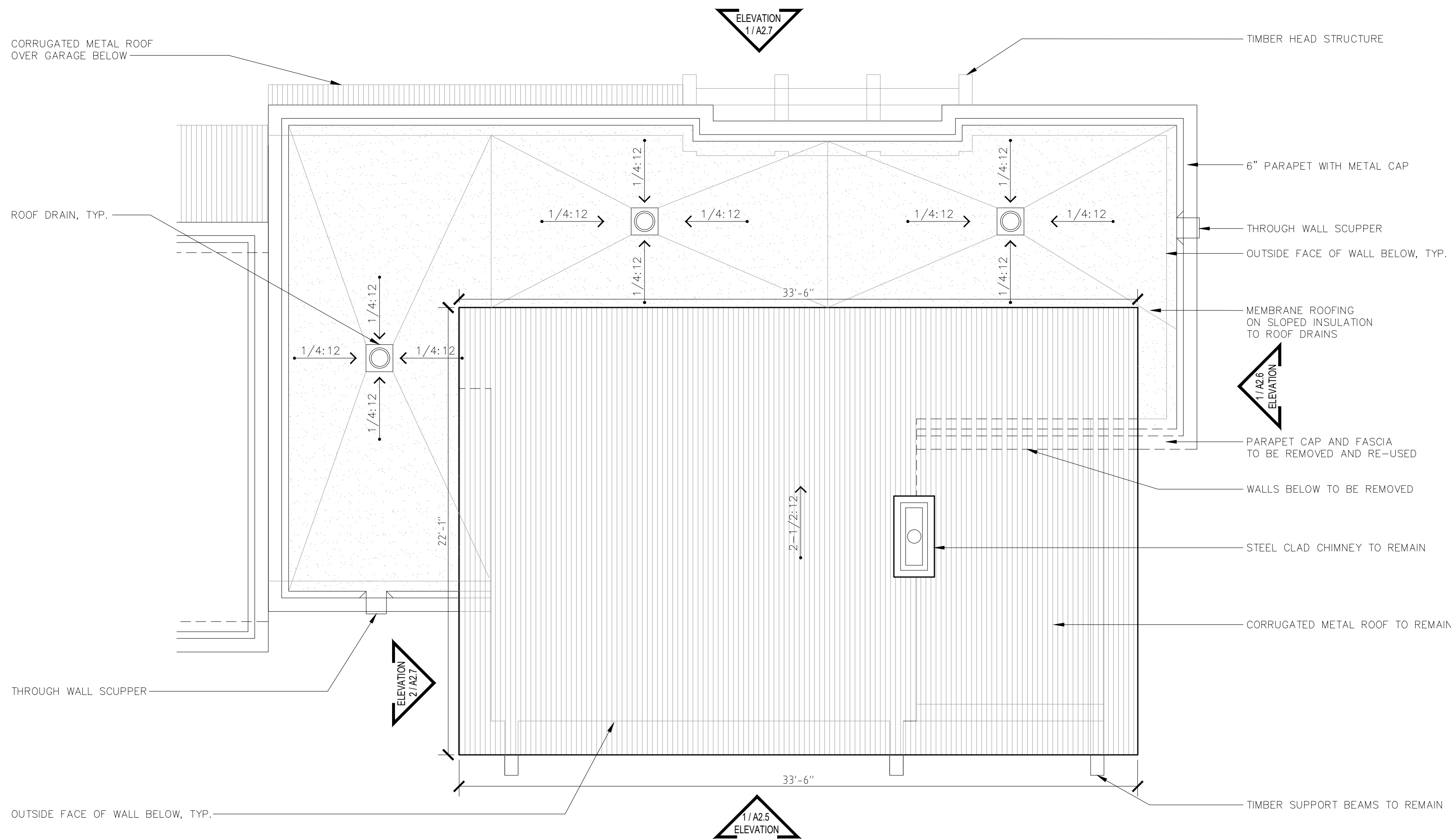
CONTRACTOR TO INSTALL HPC APPROVED 4" DOWN SPOUTS AND 6" GUTTERS WHERE INDICATED. AND INSTALL HPC APPROVED SNOW GUARDS AS REQ'D.

COORDINATE ALL VENT PIPE / FLUE / AND OTHER ROOF PENETRATIONS WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

NOTE: ICE DAM BARRIER OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL EXTEND FROM THE ROOF EAVE EDGE AT LEAST SIX FEET INSIDE THE EXTERIOR WALL LINE AS MEASURED ALONG THE ROOF SURFACE. EIGHTEEN INCHES FROM THE CENTERLINE OF THE VALLEY AND UP TWENTY-FOUR INCHES ON THE VERTICAL WALL AT A ROOF AND WALL JUNCTURE.
(CITY OF ASPEN, ORDINANCE 31, 2011)



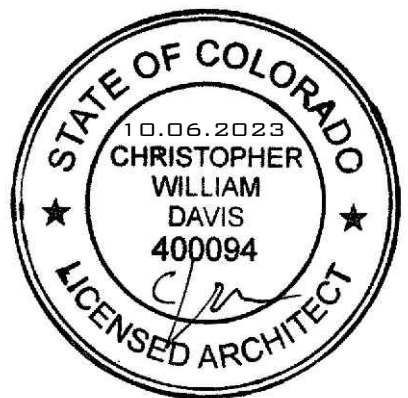
2 ROOF
PROPOSED PLAN
1/4" = 1'



1 ROOF
DEMO PLAN
1/4" = 1'

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REFLECTED CEILING
PLANS

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DEMO.LEGEND

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RCP.MATERIALS

	GYP BOARD, PRIME & PAINT
	CVG T&G SOFFIT
	AREA TO BE REMOVED

RCP.NOTES

REFER TO THE FOLLOWING SHEETS FOR :

- A0.0 - GENERAL NOTES
- A0.3 - WALL ASSEMBLIES
- A0.3 - FLOOR, ROOF / CEILING / SOFFIT ASSEMBLIES
- A0.3 - ROOM FINISH SCHEDULE

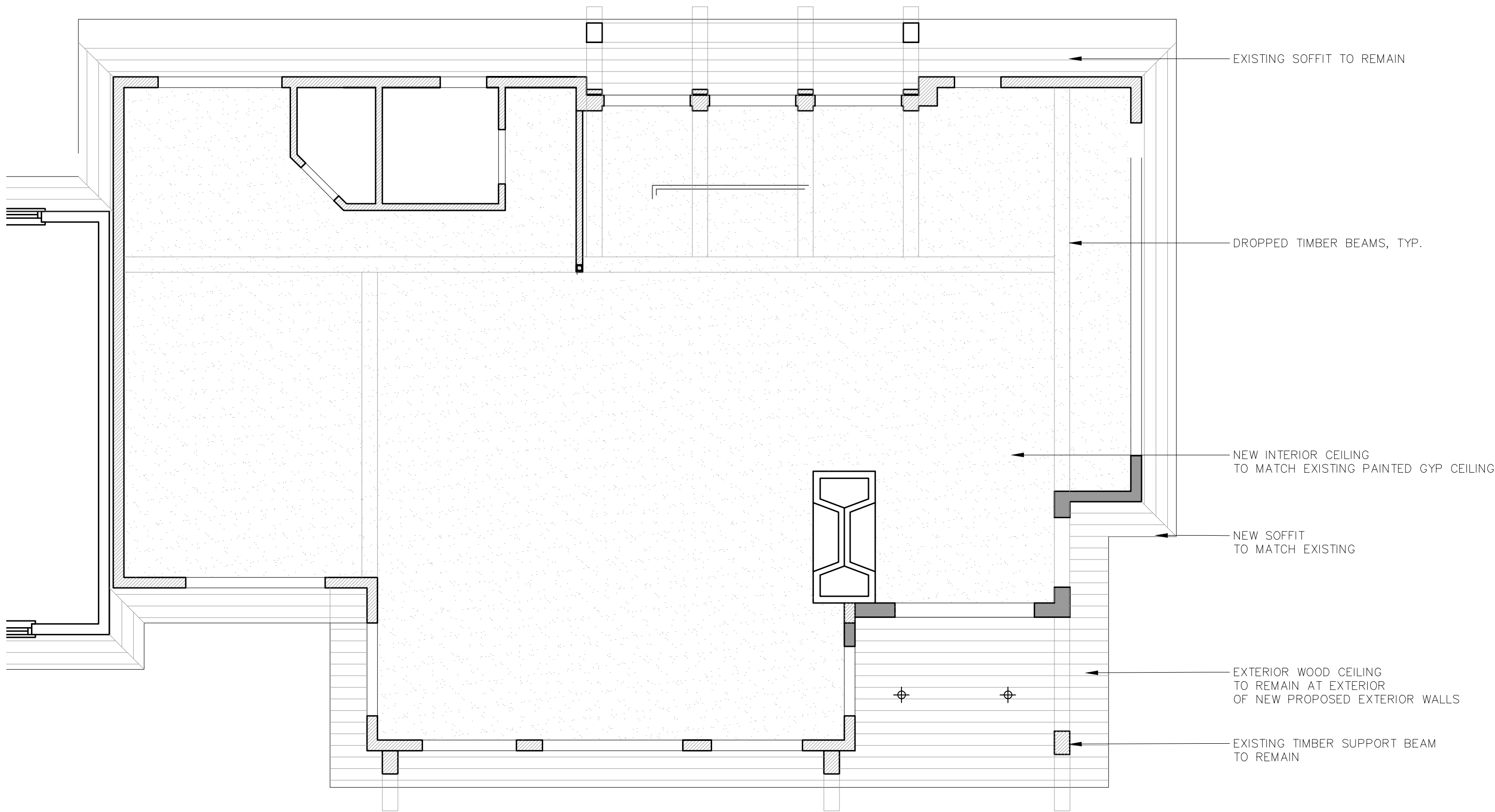
PROVIDE SMOKE DETECTORS, AS REQUIRED BY CODE.

REFER TO MECHANICAL PLANS FOR DIFFUSER AND GRILLE LOCATIONS.

NOTIFY OWNER & ARCHITECT OF ANY CONFLICTS BETWEEN LIGHT FIXTURES & MECHANICAL EQUIPMENT PRIOR TO INSTALLATION. PENDANT LIGHT FIXTURES MAY BE "TRAPEZED" AROUND CONFLICTING MECHANICAL EQUIPMENT, PER OWNER'S AND ARCHITECT'S APPROVAL.

SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

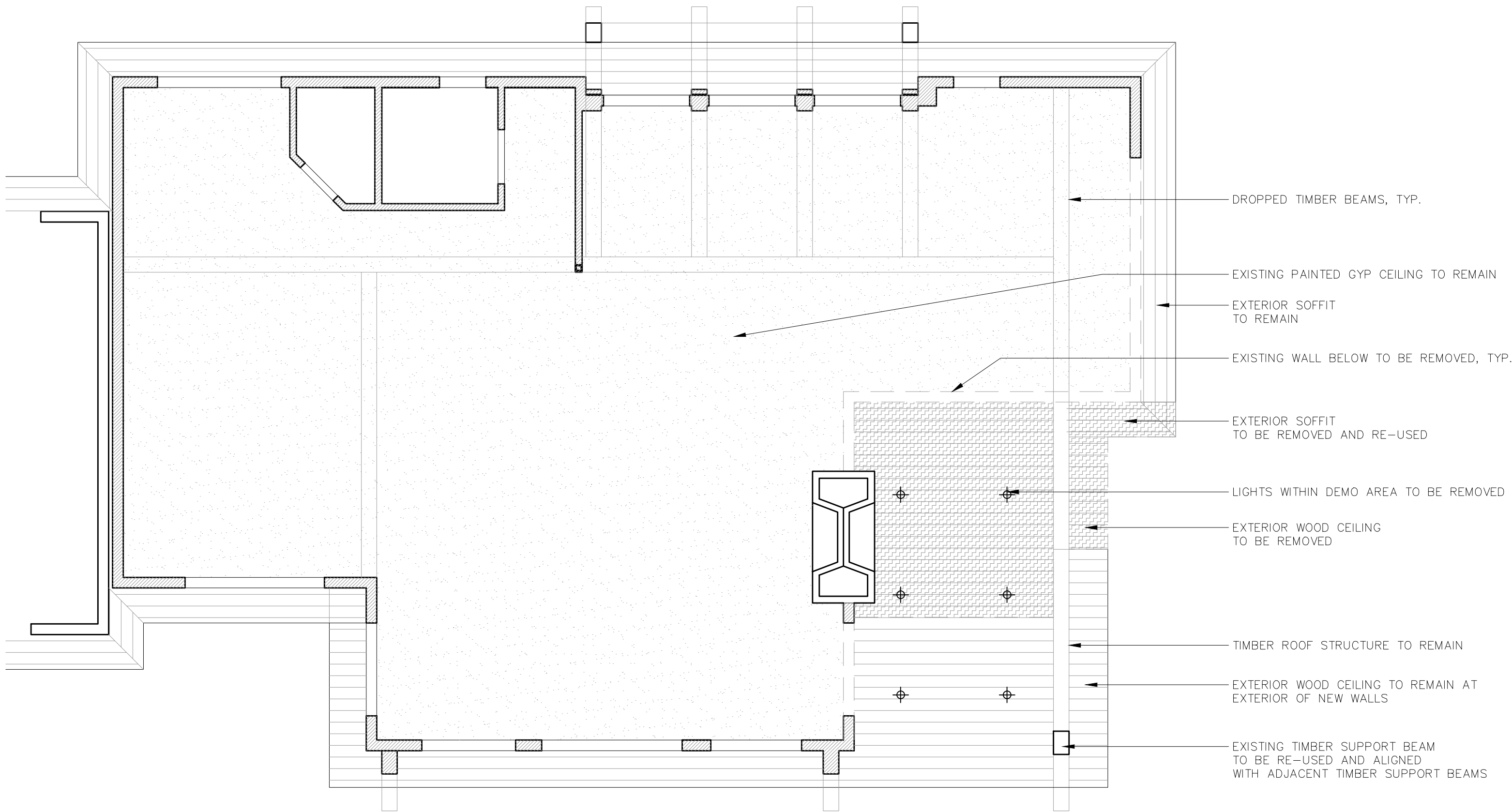
ALL SPRINKLER HEADS AND PIPE IN AREAS EXPOSED TO STRUCTURE TO ALIGN WITH STRUCTURAL MEMBERS, AND BE INSTALLED IN A CLEAN & ORGANIZED MANNER COORD. LAYOUT WITH ARCHITECT PRIOR TO SUBMITTING FOR PERMIT. ALL EXPOSED SPRINKLER PIPE TO BE PAINTED (COLOR T.B.D.)



2



UPPER LEVEL
PROPOSED RCP
1/4" : 1'



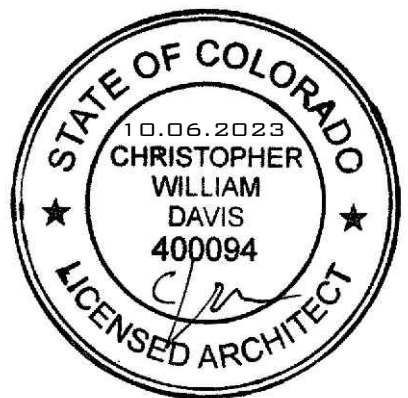
1



UPPER LEVEL
DEMO RCP
1/4" : 1'

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EXTERIOR ELEVATIONS

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ELEVATION.NOTES

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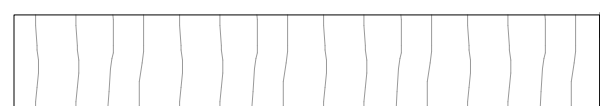
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ALL WINDOWS ARE EXISTING, TO REMAIN, UNLESS NOTED OTHERWISE. ALL NEW WINDOWS TO MATCH EXISTING WINDOWS IN FRAME, PROFILE, FRAME SIZE, FRAME FINISH / COLOR, AND GLASS TYPE.

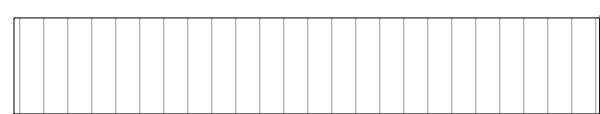
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COORDINATE MOUNTING HEIGHTS FOR ALL EXTERIOR SCONCES AND SUSPENSION HEIGHTS FOR ALL SUSPENDED LIGHT FIXTURES.

ELEVATION.MATERIALS



WOOD SIDING



CORRUGATED STEEL SIDING



AREA TO BE REMOVED



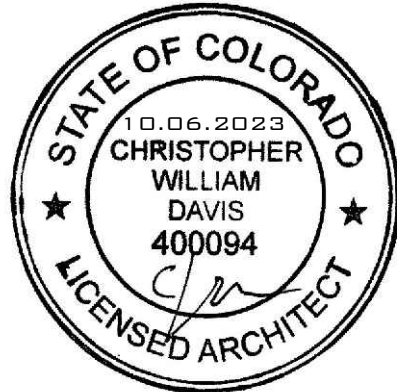
EXISTING WINDOWS OR DOORS
TO BE REMOVED



2 SOUTHEAST
PROPOSED ELEVATION
1/4" = 1'



1 SOUTHEAST
DEMO ELEVATION
1/4" = 1'



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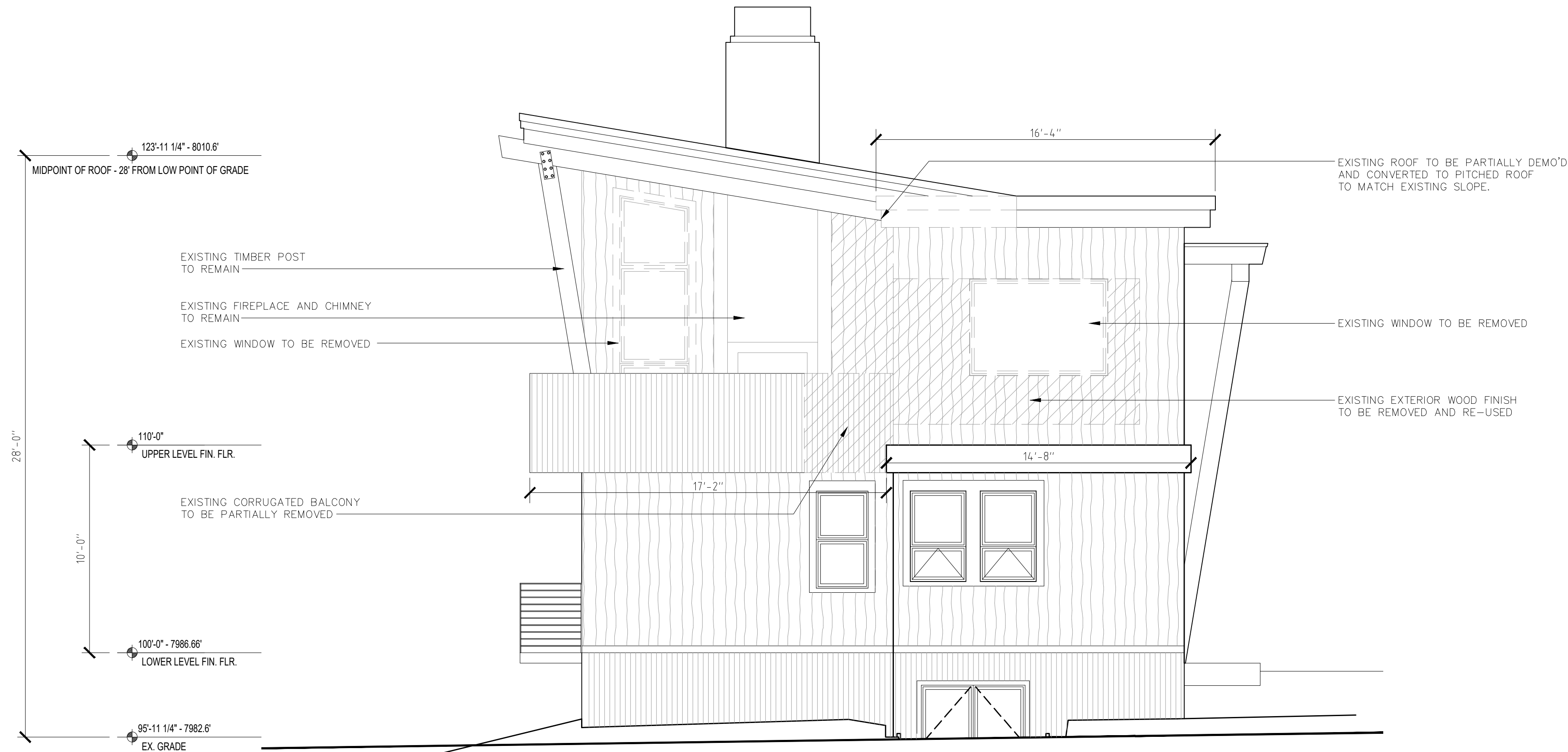
CORRUGATED STEEL SIDING

AREA TO BE REMOVED

EXISTING WINDOWS OR DOORS TO BE REMOVED



2 NORTHEAST
PROPOSED ELEVATION
1/4" : 1'



1 NORTHEAST
DEMO ELEVATION
1/4" : 1'

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.KEVIN .STEPHENSON

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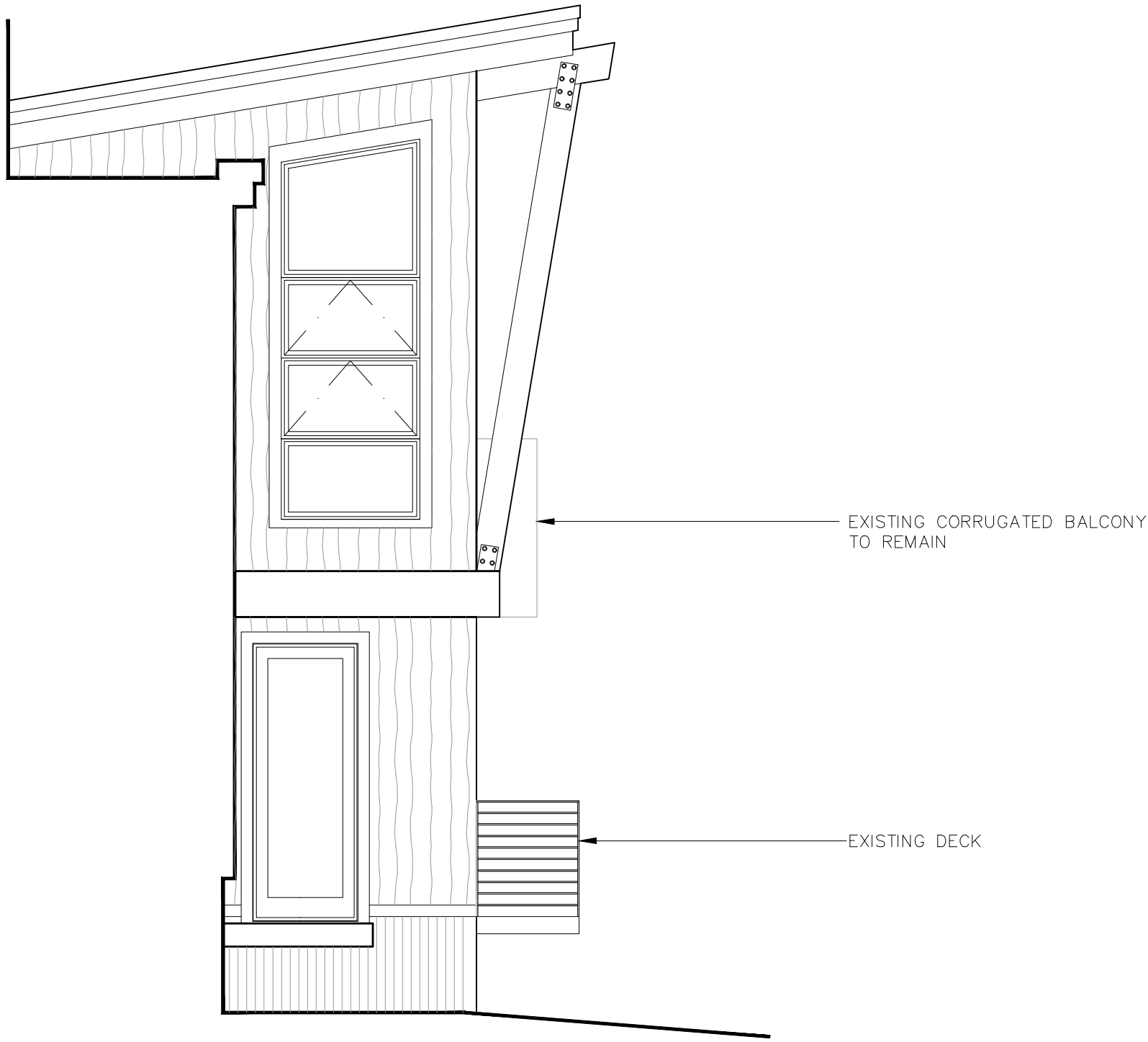
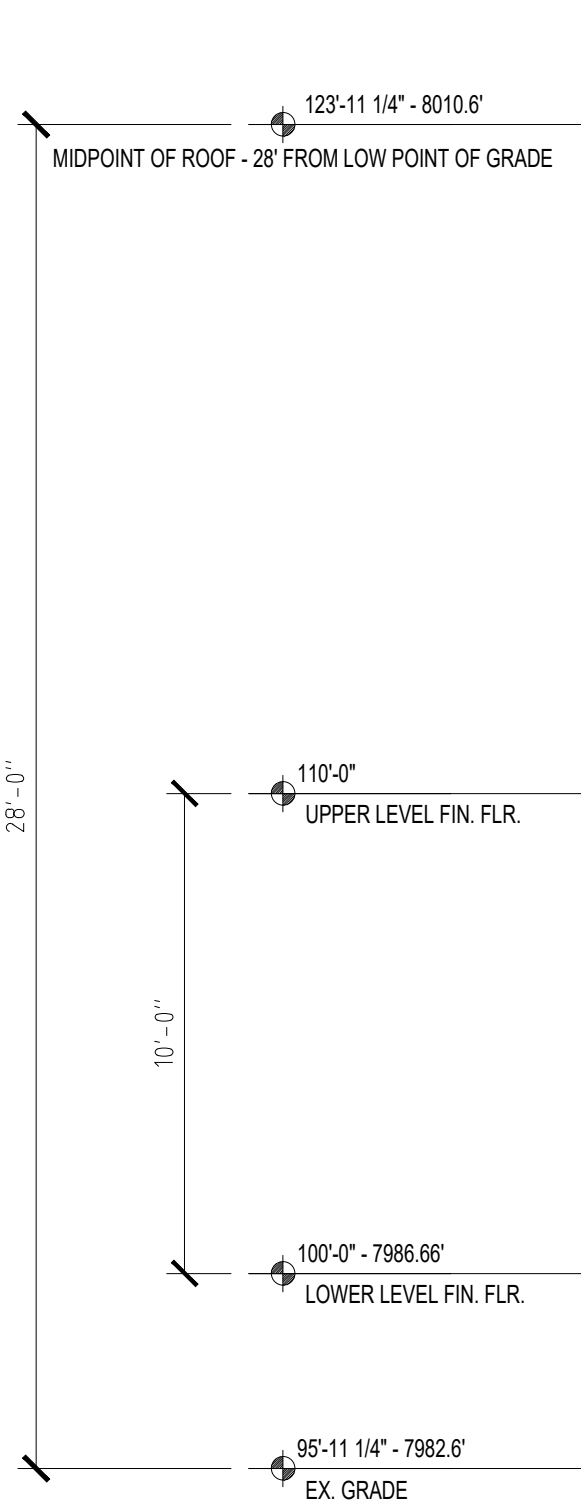
ELEVATION.MATERIALS

WOOD SIDING

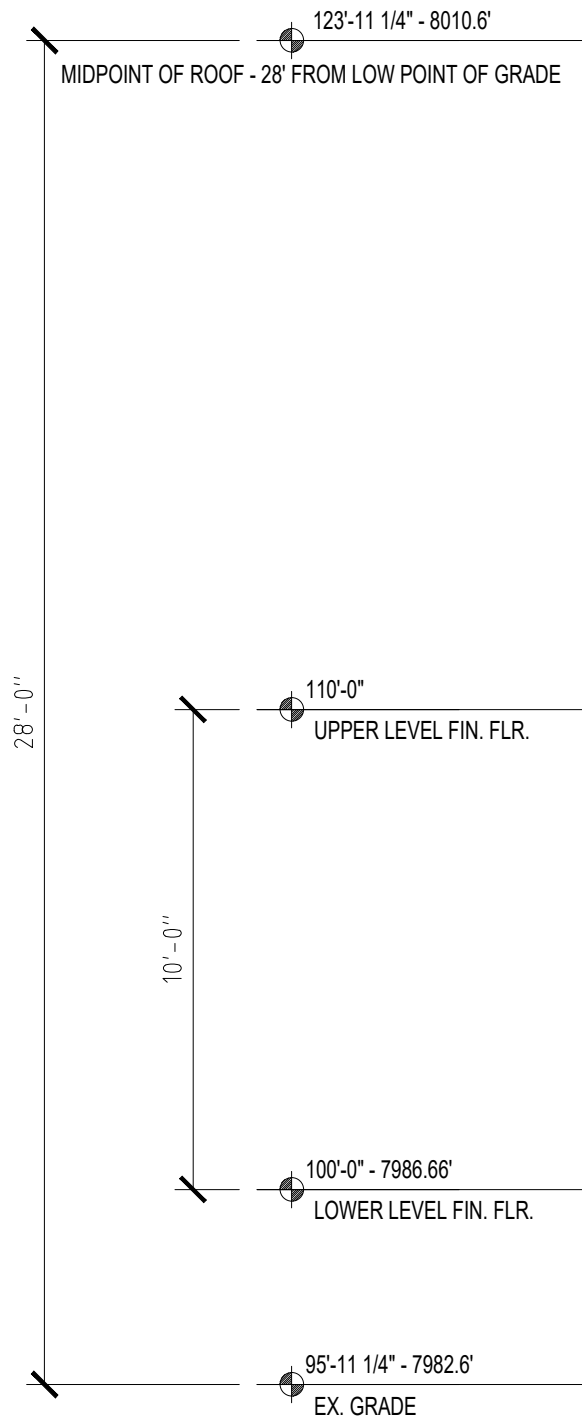
CORRUGATED STEEL SIDING

AREA TO BE REMOVED

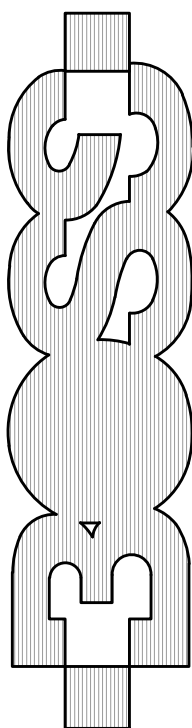
EXISTING WINDOWS OR DOORS TO BE REMOVED



2 SOUTHWEST ELEVATION
NO WORK PROPOSED
1/4" : 1'

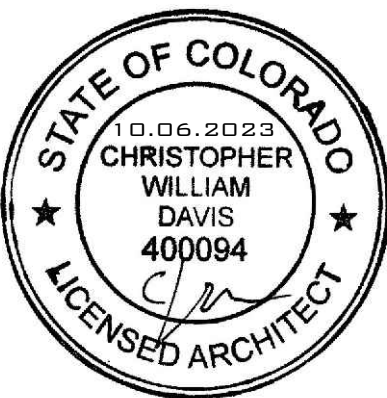


1 NORTHWEST ELEVATION
NO WORK PROPOSED
1/4" : 1'



CHRISTOPHER.DAVIS
KEVIN STEPHENSON

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PROHIBITED WITHOUT THE WRITTEN CONSENT OF
BOSS ARCHITECTURE, LLC.



OWNERS:
ADAM AND LAINIE MINNICK
LOCATION:
1014 TWO ELK LANE
MINTURN, COLORADO 81645

9/7 | 2024 FOR PRICING
9/8 | 2024 DESIGN REVIEW

EXTERIOR ELEVATIONS

TWO.ELKCONDO

BOSS
ARCHITECTURE
3300 E 17TH AVE
DENVER, COLORADO 80206 USA
303.377.6322 | P
303.377.6326 | F
WWW.BOSSARCHITECTURE.COM

ELEVATION.NOTES

VERIFY ALL DIMENSIONS IN FIELD.

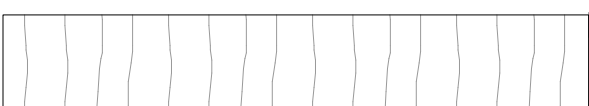
SUBMIT SAMPLES OF ALL MATERIALS FOR APPROVAL.

ALL WINDOWS ARE EXISTING, TO REMAIN, UNLESS NOTED OTHERWISE. ALL NEW WINDOWS TO MATCH EXISTING WINDOWS IN FRAME, PROFILE, FRAME SIZE, FRAME FINISH / COLOR, AND GLASS TYPE.

ALL EXTERIOR MATERIALS AND FINISHES ARE EXISTING, TO REMAIN, UNLESS NOTED OTHERWISE. ALL NEW MATERIALS TO MATCH EXISTING MATERIALS IN SIZE, COLOR AND INSTALLATION.

COORDINATE MOUNTING HEIGHTS FOR ALL EXTERIOR SCONCES AND SUSPENSION HEIGHTS FOR ALL SUSPENDED LIGHT FIXTURES.

ELEVATION.MATERIALS



WOOD SIDING



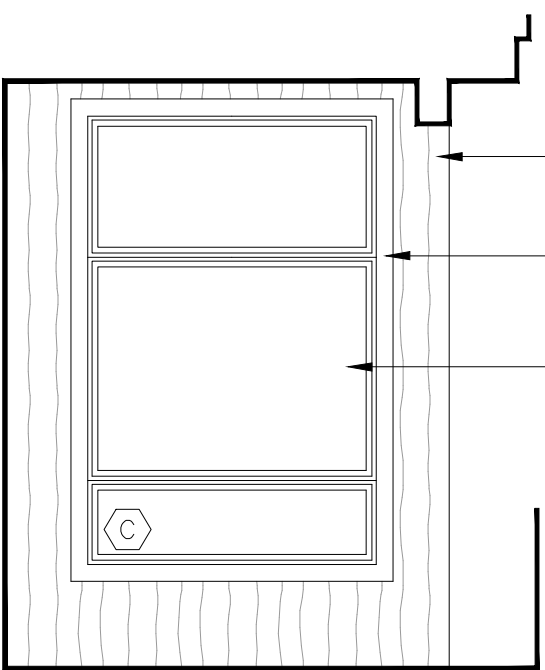
CORRUGATED STEEL SIDING



AREA TO BE REMOVED



EXISTING WINDOWS OR DOORS
TO BE REMOVED

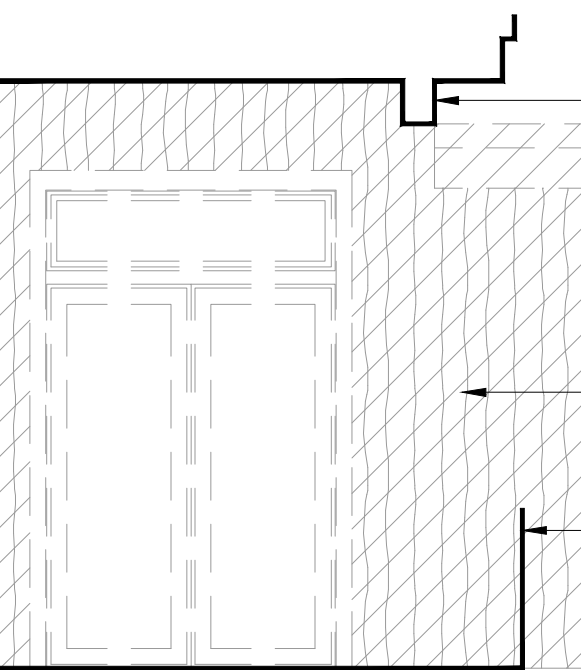


NEW WALL TO BE FRAMED
BELOW EXISTING STRUCTURAL TIMBER

NEW TRIM
TO MATCH EXISTING

NEW WINDOW
RE: WINDOW SCHEDULE

4 SOUTHEAST DECK
PROPOSED ELEVATION
1/4" : 1'



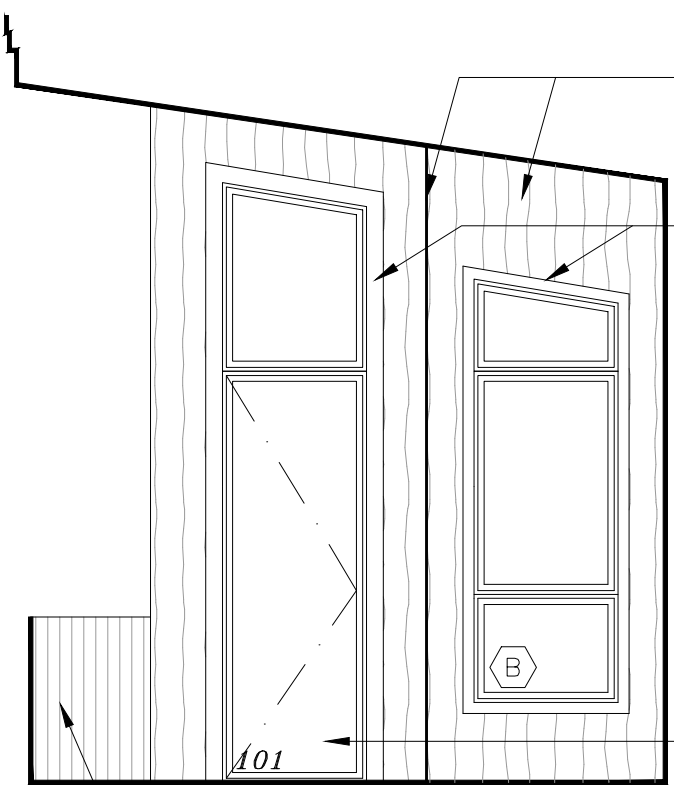
EXISTING TIMBER BEAM
TO REMAIN

EXISTING TRIM TO BE REMOVED
AND RE-USED

EXISTING WOOD SIDING
TO BE REMOVED AND RE-USED

EXISTING CORRUGATED BALCONY
TO BE PARTIALLY REMOVED.
RE: PLANS

3 SOUTHEAST DECK
DEMO ELEVATION
1/4" : 1'



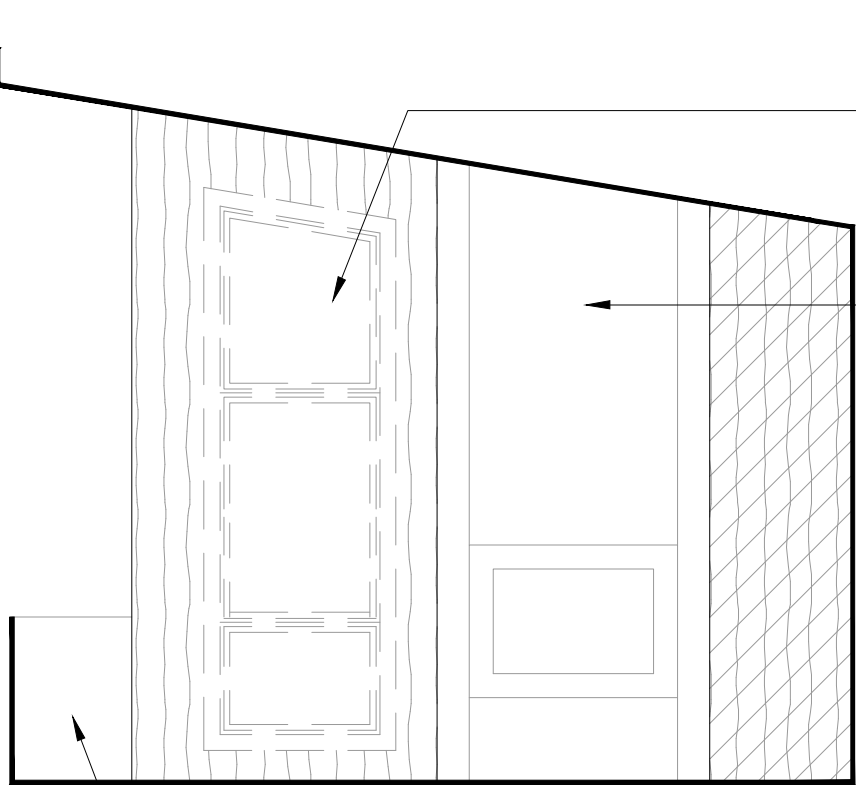
NEW FRAMED EXTERIOR WALL
RE: PLANS

NEW TRIM
TO MATCH EXISTING

NEW DOOR WITH TRANSOM
RE: DOOR SCHEDULE

EXISTING GUARDRAIL TO REMAIN

2 NORTHEAST DECK
PROPOSED ELEVATION
1/4" : 1'



EXISTING WINDOW TO BE REMOVED

EXISTING FIREPLACE AND CHIMNEY
TO REMAIN

EXISTING GUARDRAIL TO REMAIN

1 NORTHEAST DECK
DEMO ELEVATION
1/4" : 1'

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Michael Boyd
Amanda Mire
Eric Rippeth
Darell Wegert

Design Review Board Hearing

Final Plan Review for New Home

0036 Silver Star Trail

Hearing Date:	June 12, 2024
File Name and Process:	Single-Family Residence Final Plan Review
Owner/Applicant:	Jennifer Babcock
Representative:	Taylor Hermes & Rick Hermes, Minturn North Construction Company
Legal Description:	Subdivision: MINTURN NORTH PUD Lot: 34
Address:	0036 Silver Star Trail
Zoning:	Game Creek Character Area – Minturn North PUD Zone District
Staff Member:	Madison Harris, Planner I
Recommendation:	Approval

Staff Report

I. Summary of Request:

The Applicant, Jennifer Babcock, requests Final Plan review of a new, three-bedroom, 3,305 (gross) square foot single-family residence located at 0036 Silver Star Trail in the Game Creek Minturn North PUD Zone District. The Applicant’s representatives, Taylor Hermes and Rick Hermes of the Minturn North Construction Company, have been proactive in meeting with Town staff prior to submitting plans for a new home and have provided a relatively complete and thorough set of site, landscaping, and architectural plans.

Proposed Plans

The plans show a two-story, three-bedroom structure with a maximum building height - measured to the midpoint of the roof – of 27 feet 11 and ¼ inches, under the maximum allowable 28-foot limit within the Game Creek Minturn North PUD Zone District.

Additionally, the massing, forms, and scale of the proposed structure, as well as proposed exterior materials, textures and detailing also appear to achieve the design objectives of Appendix B – *Design Guidelines and Standards*, Minturn Municipal Code.

Parking is adequate, with three off-street spaces, two of which are provided within the garage. The plans show the entry level with one bedroom and garage, and the main level has the primary living area and two more bedrooms.

According to staff’s analysis of development standards and dimensional limitations in Section III below the project appears to meet the Town’s standards.

Overall, staff believes that the Applicants and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review.

As a reminder, the Planning Commission has the option to review the proposal as a “conceptual” plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or the Commission may take action to approve, approve with conditions, or deny the Final Plans.

Staff is **recommending approval**.

II. Summary of Process and Code Requirements:

These plans are being presented by the Applicant as “Final Plan” level of review for a new single-family residential structure on a legally created lot within the Town of Minturn. This is a formal hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB’s concerns or feedback regarding suggested revisions to the project.

If the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve the plans without conditions, or to approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions, additions or updates to the plans. No variances are required or requested at this time.

Design Review Process

Appendix ‘B’ of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection “d” below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

- (d) *Administrative procedure.*
 - (1) *Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.*

- (2) *Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:*
- a. The proposal's adherence to the Town's zoning regulations.*
 - b. The proposal's adherence to the applicable goals and objectives of the Community Plan.*
 - c. The proposal's adherence to the Design Standards.*
- (3) *Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:*
- a. That the proposal is in conformance with the Town zoning regulations.*
 - b. That the proposal helps achieve the goals and objectives of the Community Plan.*
 - c. That the proposal complies with the Design Standards.*

Staff suggests that the final plans for 0036 Silver Star Trail meet the required findings ‘a,’ ‘b,’ and ‘c’ or subparagraph 3 – *Necessary findings*.

III. Zoning Analysis:

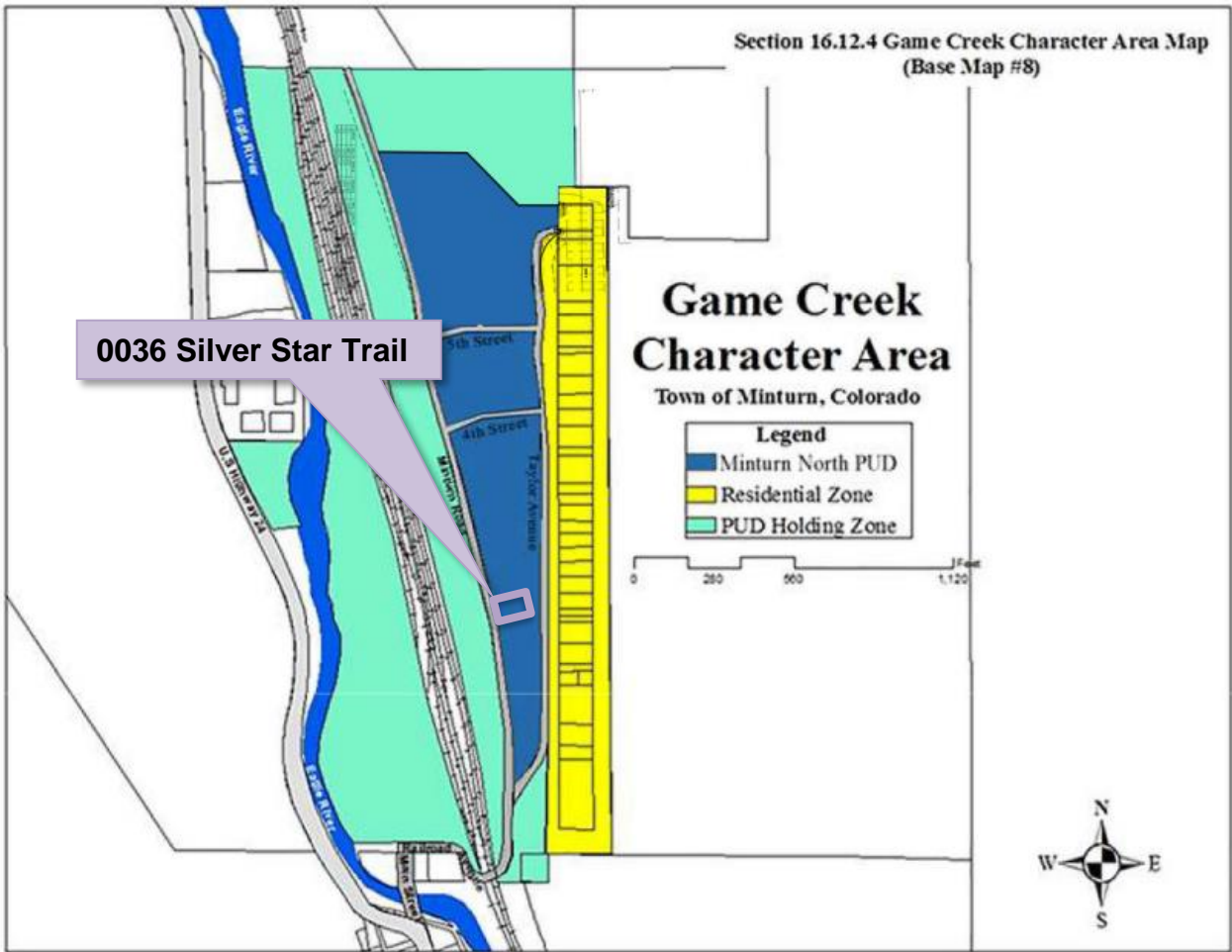
Zoning

The subject property is located within the “Game Creek Character Area” Minturn North PUD Zone District Planning Area 2 (PA-2), described as follows:

“The primary intent of this Planning Area is to create a market rate, permanent resident occupied single-family residential use zone.”
- Ordinance No. 15 – Series 2023 Minturn North PUD Guide

Rest of page left intentionally blank

Figure 1: Game Creek Character Area Zoning Map



Dimensional Limitations and Development Standards

The following table summarizes the lot, development and dimensional standards and limitations applicable to the subject property pursuant the approved Final Development Plan for the Minturn North PUD.

Regulation	Allowed/Required	Proposed/Existing
Minimum Lot Area:	4,486.68 sq. ft.	4,486.68 sq. ft. (.103 ac.)
Maximum Building Height:	28 feet	27 feet – 11 1/4 inches
Minimum Front Setback:	10 feet	10+ feet
Minimum Side Setback:	5 feet	10 feet
Minimum Rear Setback:	10 feet	10 feet

Maximum Lot Coverage:	50% (2,243.34 sq. ft.)	2,032 sq. ft. (45.29%) Proposed
Maximum Impervious Coverage:	65% (2,916.3 sq. ft.)	2,782 sq. ft. (62.01%) Proposed
Minimum Snow Storage Area:	5% of Lot Area (4,486.68 sq. ft. x .05 = 224.3 sq. ft.)	285 sq. ft.
Parking:	2 spaces	3 spaces

IV. Applicable Standards and Design Guideline Criteria:

Design

In addition to the development standards listed above, the following general design principles are provided for reference.

Final Site, Grading and Drainage Design

The Minturn Design Guidelines encourage designs that integrate or account for site topography and existing conditions, surrounding conditions, solar orientation, placement on lots relative to streets and natural features, snow storage and snow shed from roof structures.

Mass and Form

The following excerpt from the Design Guidelines is applicable to the proposed home design:

“c. Massing and Scale

“A simple central form with additive features shall be designed. This style creates visual interest and is appropriate for the community due to its compatibility with existing structures. Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

“Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.”

-Town of Minturn Design Guidelines

Staff Response:

Staff believes that the design and scale of the proposed structure incorporates a simple central form with additive features and is complementary to adjacent residential structures and character on nearby parcels. Staff further suggests that the scale of the project is appropriate and will not overpower surrounding natural and built environments. Proposed roof forms and pitches, materials and textures are compatible and complementary to the surrounding built and natural environments.

V. Issues and Recommended Revisions:

Issues or Required Plan Revisions

Staff has identified no issues.

VI. Staff Recommendation:

Staff suggests that the Final Plans for 0036 Silver Star Trail generally **comply** with or exceed the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix ‘B’) of the Minturn Town Code.

Staff is **recommending approval** of the plans.

May 23, 2024

Madison Harris
Town of Minturn Planner
PO Box 309
Minturn, CO 81645

Re: 36 Silver Star Trail
Lot 34, Minturn North PUD
DRB 5.23.24 Resubmittal Review
Project No. 24-0001

Dear Madison:

We reviewed the plans entitled “Babcock Residence; Lot 34, Minturn North, Minturn Colorado” prepared April 19, 2024 (Revised 5.22.24) by Eggers Architecture Inc.(Plans) included in the DRB application for 36 Silver Star Trail. Our review was for compliance with the engineering requirements of Section 16-21-615: Design Review applications of the Minturn Municipal Code (MMC). Updated comments are in red

MMC Section 16-21-615 Section C:

Section (C) (2) Boundary Survey:

Paragraphs a through e:

“Final Plat: Minturn North PUD” recorded March 4, 2024 (Reception No. 202402234) has been included as the Boundary Survey. This plat and associated title commitment were reviewed by the Town and the Plat is suitable as the Boundary Survey for this application.
Resolved

Paragraphs f through i:

The plans reference the basis of elevation as the “Original Topographic Map of Minturn North” prepared by Gore Range Surveying LLC, Job No.19-1203 prepared April, 1, 2021.

Sheet C1 of the Plans “Lot 34 and 35, Minturn North PUD; Site Grading and Drainage Plan” prepared April 19, 2024 by Boundaries Unlimited presents the proposed site grading and drainage. The basis of this map appears to be Sheet C.4 of the “Minturn North PUD Overall Grading and Drainage Plan; Construction Plan Set 5/1/24” prepared by Boundaries Unlimited Inc.

The Town issued a Grading Permit based on the Construction Plan Set and Sheet C.4 shows the grading and utilities underway at Minturn North. This plan more accurately reflects the

VALE VALLEY OFFICE

30 Benchmark Road, Suite 216 | PO Box 978 | Avon, CO 81620

DENVER OFFICE

9618 Brook Hill Lane | Lone Tree, CO 80124

970.949.5072 | info@inter-mtn.net

Madison Harris

Re: 36 Silver Star Trail

DRB 5.23.24 Resubmittal Review

Project No. 24-0001

basis for design, and we recommend Sheet C.4 be included in the DRB plan set to fulfill the requirements of Paragraphs f through i.

Resolved.

Section (C) (3) Site Plan:

~~We offer the following regarding the Site Plan:~~

- ~~e. The ridge elevation shown on Sheet A1.4 is measured relative to the finished floor elevation. Calculations of roof height meeting MMC requirements should be added to the plan.~~

Resolved – The revisions to Sheet BH1 provides Building height information for Planning Staff review.

Section (C) (4) Grading & Drainage Plan:

~~The Plans included in the DRB submittal fulfill Grading and Drainage Plan requirements and we take no exception to the design as presented.~~

Resolved.

Review by Inter-Mountain Engineering is for general conformance with Minturn Municipal Code requirements and is not a peer review. Review by Inter-Mountain Engineering in no way relieves any responsibilities of design professionals associated with the project.

Please feel free to contact us if you have additional questions.

Respectfully,
Inter-Mountain Engineering (Town Engineer)



Jeffery M. Spanel PE

CC: Michelle Metteer, Scot Hunn



April 19, 2024
Town of Minturn Planning Commission
Attn: Madison Harris

RE: Babcock Residence
Lot 34 Minturn North – 0036 Silver Star Trail, Minturn, CO 81645
Design Review Letter of Intent

Madison:

The attached submittal includes a single-family residence within the Minturn North neighborhood. The home is subject to the Minturn North PUD Guide, Town of Minturn Code and all pertinent documents approved by the Town Council.

Lot 34 is located at 0036 Silver Star Trail on a downhill sloping undisturbed vacant lot which drops in elevation approximately 4' through the building envelope. The home has been oriented facing west, parallel to the building envelope lines to maximize the site's primary view facing Meadow Mountain. The home has been designed as a patio residence due to the gently sloping topography. The architectural style is a mix of gable forms and low pitch shed roofs to create a composition of forms rather than a single massive structure. Overall, the structure has been nestled into the topography to balance the entry elevation with the west facing patio elevation of the home.

The home exterior is a balanced mix of stone and wood with appropriate architectural detailing which enhances the mountain vernacular. The landscaping is intentionally minimal in-keeping with the intent of the approved Minturn North PUD.

Should you have any questions or need clarifications, please don't hesitate to contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Taylor Hermes', is written over a light blue horizontal line.

Taylor Hermes
512.468.3012



DESIGN REVIEW APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT
 P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
 Phone: 970-827-5645 Fax: 970-827-5545 Email: planner@minturn.org

Project Name:

Minturn North

Project Location

Street Address: 36 Silver Star Trail

Zoning:

Residential

Parcel Number(s):

2103-262-30-038
Application Request:

Design review of new single-family home

Applicant:

Name: Taylor Hermes & Rick Hermes – Minturn North Construction Company

Mailing Address: PO Box 2633 Edwards, CO 81632

Phone: 970-926-1720

 Email: THermes@ResortConceptsCO.com
Property Owner:

Name: Jennifer Babcock

Mailing Address: 1106 Crazy Horse Circle Edwards, CO 81632

Phone: 970-390-0265

 Email: Babcock@CirqueCivil.com
Required Information:

Lot Size: 0.103 acres	Type of Residence (Single Family, ADU, Duplex) SFH	# of Bedrooms 3	# On-site Parking Spaces 2
# of Stories: 2	Snow storage sq ft: 285 sf	Building Footprint sq ft: 2,032 sf	Total sq ft Impervious Surface: 2,782 sf

Signature:

Fee Paid: _____ Date Received: _____ Planner: _____

DESIGN REVIEW APPLICATION

Section 7, ItemC.

SUBMITTAL CHECKLIST REQUIREMENTS (TO BE INCLUDED WITH APPLICATION)

Applicant Staff



Application Fee (Non-Refundable application fee shall be collected)

- Design Review Board - \$200.00



Letter of Intent

-- What is the purpose of the project including;



- Relevant Background



- Current Status of the Site



- All Proposed Uses and Structures



- How the Proposal Differs from what already exists



- Information regarding Easements or Dedicated Tracts, etc.



Vicinity Map

-- Directional Map indicating how to get to the Property involved in the request.



- Zoning of Property



Site Plan showing Precise Nature of the Proposed Use –



To Scale



- Scaled Drawings of Proposed Design of Structure
 - Plan View and Sections



- Building Heights – all 4 directions N/S/E/W



- topography



- Building Location and impervious coverage



- Setbacks



- Ordinary High Water Mark determined by the Town Engineer and paid for by Applicant



- Parking Plan



- Traffic Circulation



- Location and Width of Existing and Proposed Access Points
- Location of Existing Driveways and Intersections



- Landscaped Area – Plan including existing and proposed vegetation.



- Approximate Location of Existing Wooded Areas and Rock Outcrops



- Location and Type of Existing and Proposed Easements



- Utility Easements



- Drainage Features



- Snow Storage areas expressed in square feet as a percentage of the overall site area



Preliminary Building Plans and Elevations



- Indicates Dimensions



- General Appearance



- Scale



- Interior Plan for the Buildings

☐**Elements needed on the Site Plan**

- Scale
- North Arrow
- Date Prepared
- Lot Dimensions, Area, Entire Site Acreage

☐☐☐☐☐**Architecture Details – Materials Board**

- Windows – Placement and Color
- Doors – Placement and Color
- Siding – Type and Color
- Roof Material – Type and Color
- Paint Color

☐☐☐☐☐☐**Boundary Survey with a stamp and signature of a licensed surveyor**

- Date of survey (survey date must be within 6 months of the project application date)
- Right-of-way and property lines; including bearings, distances and curve information.
- Labeled ties to existing USGS benchmark.
- Property boundaries to the nearest one-hundredth (.01) of a foot accuracy. Distances and bearings and a basis of bearing must be shown. Show existing pins or monuments found and their relationship to the established corner.
- All existing easements recorded with the County Clerk and Recorder. Include bearings and distances.
- Spot elevations at the edge of asphalt along the street frontage of the property at five-foot intervals, and a minimum of two (2) spot elevations on either side of the lot.
- Topographic conditions at two-foot contour intervals.
- Existing trees or groups of trees having trunks with diameters of four (4) inches or more.
- Rock outcroppings and other significant natural features.
- All utility meter locations, including any pedestals on site or in the right-of-way adjacent to the site and the exact location of existing utility sources.
- Environmental hazards where applicable (i.e., rock fall, wetlands and floodplain).
- Watercourse setbacks, if applicable. Show centerline and edge of stream or creek in addition to the required stream setback from the ordinary high water mark.

☐☐☐☐☐☐☐☐☐☐☐☐☐**Grading and Drainage Plan**

- Existing contours. Existing two-foot contours must be provided for all disturbed areas. Contours for undisturbed areas must be shown when drainage in those areas impacts the disturbed area.
- Proposed contours. Proposed two-foot contours for all disturbed areas must be shown and must demonstrate positive drainage.
- Spot elevations. Show critical spot elevations, as necessary to demonstrate positive drainage and the direction of flow. Finished grade at all building corners must be provided.
- Top-of-foundation elevations. The top-of-foundation elevation must be shown on the plan and must be consistent with the foundation plan. For buildings on slopes of thirty percent (30%) or greater, elevations for stepped foundation walls must be shown.
- Drainage arrows. Include drainage arrows that show how stormwater will be routed around buildings and where stormwater will exit the property. Stormwater cannot cause damage to any adjacent property. Drainage and erosion control features needed to prevent damage must be included.
- Drainage facilities. Proposed drainage facilities, such as French drains or culverts, must be shown.
- Retaining walls. Retaining wall details are required and must include drainage details. Note top- and bottom-of-wall elevations at each location where the retaining wall steps up or down, and include the tallest point of the retaining wall.

☐☐☐☐☐☐☐☐☐☐☐☐☐



Terraces & Walkways
Stained Concrete



Exterior Stone
Colorado Buff



Fascia, Columns & Railing
Color: Custom Stain



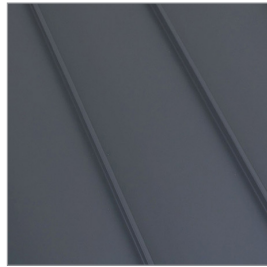
Vertical Siding & Soffits
1"x8" – Butt Joint, Smooth
Color: Custom Stain



Wood Columns per Plan
Color: Custom Stain



Roofing
Mfg: CertainTeed Belmont
Asphalt Shingles
Color: Black Granite



Roofing
Standing Seam Metal
Color: Dark Gray



Garage Door
9'-0" x 18'-0" Insulated Metal
Color: Matte Black



Windows and Doors
Mfg: Alan Bradley Cityline
Color: Matte Black



Exterior Lighting
Mfg: Hinkley Mist 22" Sconce
Color: Satin Black



Entry Door
Solid Wood
Color: Custom Stain



Entry Door Hardware
Emtek Lausanne Full Plate
with Helios Interior Lever
Color: Matte Black

PERSPECTIVE 1



DISCLAIMER: All plans, renderings, specifications and marketing materials are subject to revisions and modifications at Developers sole discretion due to site specific grading conditions, availability of materials, availability of labor, manufacturer supply shortages, and Governmental Agency changes. All plans and specifications are subject to revisions and conditions of approval by the Minturn North Design Review Board, Town of Minturn City Council, Town of Minturn Design Review Board, Town of Minturn Building Permit Department and all other applicable regulatory agencies. Artist renderings have been provided for illustrative and marketing purposes only and should not be relied upon as a basis for purchasing. Color, materials and design elements are subject to refinement and revision without notice at Developers sole discretion.

MINTURN NORTH - Lot 34

DRB DESIGN REVIEW - 3D VIEWS
MAY 22, 2024

EGGERS ARCHITECTURE, INC. AXIS DESIGN

RESORT CONCEPTS

PERSPECTIVE 2



DISCLAIMER: All plans, renderings, specifications and marketing materials are subject to revisions and modifications at Developers sole discretion due to site specific grading conditions, availability of materials, availability of labor, manufacturer supply shortages, and Governmental Agency changes. All plans and specifications are subject to revisions and conditions of approval by the Minturn North Design Review Board, Town of Minturn City Council, Town of Minturn Design Review Board, Town of Minturn Building Permit Department and all other applicable regulatory agencies. Artist renderings have been provided for illustrative and marketing purposes only and should not be relied upon as a basis for purchasing. Color, materials and design elements are subject to refinement and revision without notice at Developers sole discretion.

MINTURN NORTH - LOT 34

DRB DESIGN REVIEW - 3D VIEWS
MAY 22, 2024

EGGERS ARCHITECTURE, INC. AXIS DESIGN

RESORT CONCEPTS

BABCOCK RESIDENCE

LOT 34 MINTURN NORTH MINTURN, COLORADO

DRB SUBMITTAL SET
REVISED DRB SUBMITTAL SET

APRIL 19, 2024
MAY 22, 2024



NOTE: ALL SITE & LANDSCAPE PLANS, FLOOR PLANS, ELEVATIONS & DETAILS ARE SUBJECT TO TOWN OF MINTURN DESIGN REVEIW BOARD APPROVAL

OWNER'S REPRESENTATIVE

RESORT CONCEPTS
PO BOX 5127
EDWARDS, COLORADO 81632
(970) 926-1720

ARCHITECT

EGGERS ARCHITECTURE, INC.
PO BOX 798
KREMMLING, COLORADO 80459
(970) 409-9790

STRUCTURAL ENGINEER

SUNDQUIST DESIGN GROUP
PO BOX 249
TARPON SPRINGS, FLORIDA 34688
(303) 335-6034

LANDSCAPE ARCHITECT

TOMINA TOWNSEND
PO BOX 3000
EDWARDS, COLORADO 81632
(303) 945-5252

CIVIL ENGINEER

BOUNDARIES UNLIMITED, INC.
923 COOPER AVENUE, SUITE 201
GLENWOOD SPRINGS, COLORADO 81601
(970) 945-5252

SURVEYOR

SLAGLE SURVEY SERVICES
PO BOX 751
EAGLE, COLORADO 81631
(970) 471-1499

PROJECT INFORMATION:

FLOOR AREA:	FINISHED	MECH	GARAGE	TOTAL
ENTRY LEVEL:	1,058SF	81 SF	518 SF	1,657 SF
MAIN LEVEL:	1,648 SF			1,648 SF
TOTALS:	2,706SF	81 SF	518 SF	3,305 SF

LOT AREA:	4,486.68 SF		
BUILDING COVERAGE:	2,032 SF	45.29 %	50% ALLOWABLE
IMPERVIOUS COVERAGE:	2,782 SF	62.01 %	65% ALLOWABLE

CODE INFORMATION:

JURISDICTION:	TOWN OF MINTURN, COLORADO
CODES:	2021 INTERNATIONAL RESIDENTIAL CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE + LOCAL AMENDMENTS

DRAWING SCHEDULE

C	COVER
C.4	FINAL PLAT MINTURN NORTH P.U.D. MINTURN NORTH PUD FINAL GRADING PLAN
C1	SITE GRADING, DRAINAGE & EROSION CONTROL PLAN
C2	CIVIL DETAILS
L1	LANDSCAPE PLANTING PLAN
L2	LANDSCAPE SCHEDULES & DETAILS
A1.1	ENTRY LEVEL PLAN
A1.2	MAIN LEVEL PLAN
A1.3	ROOF PLAN
A2.1	BUILDING ELEVATIONS
A2.2	BUILDING ELEVATIONS
BH1	BUILDING HEIGHT CALCULATIONS

EGGERS
ARCHITECTURE, INC.
PO BOX 798
KREMMLING, CO 80459
(970) 724-3411 CELL: (970) 409-9790
don.eggars@eggarsarchitecture.com

R RESORT CONCEPTS
225 MAIN STREET, SUITE C-101
EDWARDS, COLORADO
(970) 926-1720

BABCOCK
LOT 34
MINTURN NORTH
MINTURN, COLORADO

PROJECT NO: 2412-22 L34

#	DATE	BY	COMMENTS	#	DATE	BY	COMMENTS
4	5-22-24			4	5-22-24		REV. DRB SUBMITTAL
3	4-19-24			3	4-19-24		DRB SUBMITTAL SET

C

MINTURN TOWN CERTIFICATE

This plat is approved by the town council of the Town of Minturn, County of Eagle, State of Colorado this 1 day of March, 2024, for filing with the Clerk and Recorder of the County of Eagle, Colorado, and for conveyance of the dedications shown hereon; subject to the provisions that approval in no way obligates the Town of Minturn for financing or construction of improvements of said lands, streets or easements dedicated to the public, except as specifically agreed to by the Town Council of the Town of Minturn.

WITNESS MY HAND AND THE SEAL OF THE TOWN OF MINTURN
TOWN COUNCIL OF THE TOWN OF MINTURN

BY:



MAYOR
TOWN OF MINTURN, COLORADO

ATTEST:

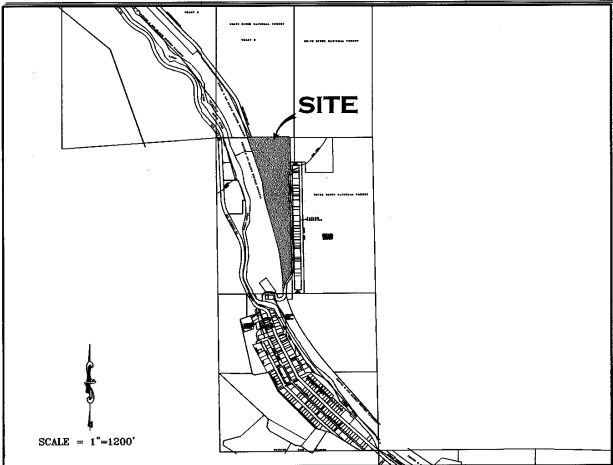
TOWN CLERK
TOWN OF MINTURN, COLORADO

LAND USE TABLE

LOT	USE	AREA	ADDRESS
1	SINGLE FAMILY	0.196 Acres	0246 Miles End Lane
2	SINGLE FAMILY	0.189 Acres	0236 Miles End Lane
3	SINGLE FAMILY	0.193 Acres	0226 Miles End Lane
4	SINGLE FAMILY	0.181 Acres	0216 Miles End Lane
5	SINGLE FAMILY	0.191 Acres	0206 Miles End Lane
6	SINGLE FAMILY	0.166 Acres	0196 Miles End Lane
7	SINGLE FAMILY	0.158 Acres	0186 Miles End Lane
8	SINGLE FAMILY	0.166 Acres	0176 Miles End Lane
9	SINGLE FAMILY	0.164 Acres	0166 Miles End Lane
10	SINGLE FAMILY	0.164 Acres	0156 Miles End Lane
11	SINGLE FAMILY	0.164 Acres	0146 Miles End Lane
12	SINGLE FAMILY	0.172 Acres	0136 Miles End Lane
13	SINGLE FAMILY	0.157 Acres	0126 Miles End Lane
14	SINGLE FAMILY	0.176 Acres	0112 Miles End Lane
15	SINGLE FAMILY	0.209 Acres	0096 Miles End Lane
16	SINGLE FAMILY	0.263 Acres	0070 Miles End Lane
17	SINGLE FAMILY	0.189 Acres	0243 Miles End Lane
18	SINGLE FAMILY	0.200 Acres	0221 Miles End Lane
19	SINGLE FAMILY	0.165 Acres	0201 Miles End Lane
20	SINGLE FAMILY	0.164 Acres	0185 Miles End Lane
21	SINGLE FAMILY	0.164 Acres	0171 Miles End Lane
22	SINGLE FAMILY	0.166 Acres	0155 Miles End Lane
23	SINGLE FAMILY	0.174 Acres	0141 Miles End Lane
24	SINGLE FAMILY	0.185 Acres	0125 Miles End Lane
25	SINGLE FAMILY	0.166 Acres	0111 Miles End Lane
26	SINGLE FAMILY	0.202 Acres	0095 Miles End Lane
27	SINGLE FAMILY	0.199 Acres	0083 Miles End Lane
28	SINGLE FAMILY	0.160 Acres	0071 Miles End Lane
29	SINGLE FAMILY	0.159 Acres	0057 Miles End Lane
30	SINGLE FAMILY	0.158 Acres	0043 Miles End Lane
31	SINGLE FAMILY	0.178 Acres	0031 Miles End Lane
32	SINGLE FAMILY	0.177 Acres	0017 Miles End Lane
33	SINGLE FAMILY	0.176 Acres	0003 Miles End Lane
34	SINGLE FAMILY	0.103 Acres	0036 Silver Star Trail
35	SINGLE FAMILY	0.103 Acres	0030 Silver Star Trail
36	SINGLE FAMILY	0.103 Acres	0024 Silver Star Trail
37	SINGLE FAMILY	0.103 Acres	0018 Silver Star Trail
38	SINGLE FAMILY	0.099 Acres	0008 Silver Star Trail
39	SINGLE FAMILY	0.129 Acres	0001 Silver Star Trail
Tract B	OPEN SPACE	2.958 Acres	
Tract C	Town Property	0.904 Acres	0052 Minturn Road (Not of PUD)
Tract D	Right of Way	0.966 Acres	Miles End Lane (North)
Tract D1	Right of Way	0.431 Acres	Miles End Lane (South)
Tract E	Open Space	1.220 Acres	
Tract F	Open Space	0.074 Acres	
Tract G	Right of Way	0.030 Acres	Silver Star Trail
Tract H	Right of Way	0.369 Acres	Fourth Street
TOTAL		13.485 ACRES	

ADDRESSES ARE FOR INFORMATIONAL PURPOSES ONLY

FINAL PLAT MINTURN NORTH P.U.D. Town of Minturn, County of Eagle, State of Colorado



GENERAL NOTES AND NOTES FOR CREATED EASEMENTS:

- The purpose of this Final Plat is to create various lots with building envelopes, open space areas and tracts, along with easements and Right of Ways, for the purposes described herein, all pursuant to Town of Minturn Land Use Regulations and Colorado Revised Statutes concerning the subdivision of land.
- Basis of Bearing: N27°04'04" W between monuments marking the C-W 16th Corner and the Northwest Corner Section 26, Township 5 South, Range 81 West, of the 6th P.M., shown and described herein. This bearing is based on the non-recorded stumped Land Survey Plat performed by Eagle Valley Survey and dated August 7, 2018.
- Survey Date: December, 2022 through July 2023.
- Legal description, easements and location of boundary lines are based on Old Republic National Title Insurance Company order number no. ABC30450645-9, dated August 03, 2023, Quitclaim Deed recorded December 02, 2014 as Reception No. 201400764 along with plat and survey monumentation referenced herein (to include the non-recorded stumped Land Survey Plat performed by Eagle Valley Survey and dated August 7, 2018). In regards to items referenced in schedule B II of this title commitment referenced above: Items 1-8, 10, 21, 24, 27 and 30 were not researched by surveyor or found to not contain certain restrictions or other survey or platting related issues.
- Item 9 - Pipe easement does not effect this platted parcel, falls in Northeast Quarter of the Northwest Quarter of Sec 26, T5S, R81W.
- Item 11 & 12 - Ordinance and Dedication regarding Taylor Avenue. Depicted hereon by eastern boundary, recorded in Book 248 at Page 178 and Book 248 at Page 452.
- Item 13 - 20 foot Sewer Easement, Does not effect this platted Parcel.
- Item 14 - Conveyance to State Department of Highways, Does not Effect these platted lands.
- Item 15 - Does not effect these Platted lands but references conveyance of portions of Taylor Addition to the Town of Minturn.
- Item 16 - effects subject parcel as it is an Annexation of property to Town of Minturn recorded in Book 333 at Page 349.
- Item 17 & 18 - Does not effect subject Parcel.
- Item 19 - Conveyance described in Book 687 at Page 268 does not contain any easements not already defined herein.
- Item 20 - Does not effect these Platted lands. (k.a. subject parcel)
- Item 21 - Public Service Company of Colorado Easement, Reception No. 897924, falls off subject Parcel.
- Item 22 - Boundary Agreement recorded as Reception No. 200824177, called out as adjoiner herein.
- Item 25 & 26 - Parcel is subject to Mapping of Piping and Ditches in area of this subject parcel defined in document recorded as Reception No. 201703240, and 201703454 any rights or restrictions and exact location thereof not clear to surveyor from face of documents.
- Item 29 - Parcel is subject to 190440 foot wide easement for right of way from Denver Rio Grand Railroad to Eagle County, the location of which is not determinable from face of document. This Agreement has to be have been Terminated prior to the Recording of this Plat.
- These platted lands are subject to:
 - The Minturn North P.U.D. Guide recorded as Reception no. 202402232
 - The Declarations of Covenants, Conditions, Restrictions and Easements for Minturn North recorded as Reception No. 202402232
- The non-exclusive Heritage Utility Easement as shown herein on page five (5) - on, over, under, above, across and through those areas designated herein as "Heritage Utility Easement" as defined in document recorded in the Eagle County Clerk and Recorder's Office as Reception No. 202316489.

PERTAINING TO HEREON CREATED EASEMENTS:

- the owner, hereby reserves for themselves their successors and / or assigns the following non-exclusive easements created herein:
 - a non-exclusive utility and drainage easement as shown herein - on, over, under, above, across and through those areas designated herein as "Utility and Drainage Easement" AND those areas of each lot outside of Building Envelopes, for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, including but not limited to waterlines and hydrants, sanitary sewerlines and manholes, telephone lines, cable television lines, gaslines, electrical lines, fiber optic lines, other communication lines and all related structures, together with right of ingress and egress.
 - a non-exclusive Utility Easement as shown herein - on, over, under, above, across and through those areas designated herein as "Access, Utility and Drainage Easement", and "Private Right of Way" to include, but not limited to, areas shown as Fourth Street, Tract D, Tract D1 and Tract G, for the purpose of i) Ingress and Egress, reasonable Pedestrian use including ingress and egress of persons including vehicle, foot, bicycle or small wheel use ii) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, and iii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto.

GENERAL NOTES CONTINUED:

- Continued...
 - Tract D, Tract D1, and Tract G, shall be open to Public vehicular and non-vehicular access.
 - Any Easement that permits public recreation on Private Property shall benefit from the provision of C.R.S. 33-41-101 et seq.
- FOLLOWING CREATED EASEMENTS DEDICATED TO TOWN OF MINTURN:
- the owner, hereby dedicates to the Town of Minturn the following non-exclusive easements:
 - non-exclusive Utility, Drainage, Parking, Snow Storage and Landscape Easement on, over, under, above, across and through those areas designated herein as "Utility, Drainage, Parking, Snow Storage & Landscape Easement" for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto, iii) reasonable local snow storage, iv) Landscape use, and maintenance.
 - non-exclusive Utility, Drainage, Snow Storage, Landscape and Trail Easement on, over, under, above, across and through those areas designated herein as "Utility, Drainage, Snow Storage, Landscape and Trail Easement" for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto, iii) reasonable local snow storage, iv) Landscape use, and maintenance.
 - non-exclusive Utility, Drainage, Snow Storage and Landscape Easement on, over, under, above, across and through those areas designated herein as "Utility, Drainage, Snow Storage & Landscape Easement" for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto, iii) reasonable local snow storage, iv) Landscape use, and maintenance.
 - non-exclusive Trail Easement on, over, under, above, across and through those areas designated herein as "Trail Easement" for the purpose of i) Pedestrian and Trail use including reasonable ingress and egress of persons to include foot, bicycle or non-motorized use along with sidewalk or path construction, use and repair.
 - a non-exclusive trail easement on, over, across, and through those strips of land depicted and designated herein as "Trail Easement" on sheet 5 of 5 for Pedestrian and Trail use including reasonable ingress and egress of persons to include foot, bicycle or non-motorized use along with path construction, use and repair.
 - Maintenance of any path improvements within the "Trail Easement" shall be at the sole cost and expense of the Minturn North P.O.A.
 - a non-exclusive utility and drainage easement as shown herein - on, over, under, above, across and through those areas designated herein as "Public Utility and Drainage Easement", as shown in Tract C, on sheet 2 of 5, for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, including but not limited to waterlines and hydrants, sanitary sewerlines and manholes, telephone lines, cable television lines, gaslines, electrical lines, fiber optic lines, other communication lines and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto.

SURVEYOR'S CERTIFICATE

I, Matthew S. Slagle, do hereby certify that I am a Professional Land Surveyor licensed to practice land surveying under the laws of the State of Colorado, that this Subdivision Plat is a true, correct and complete plat of MINTURN NORTH P.U.D., as laid out, platted, dedicated and shown hereon, that such plat was made from an accurate survey of said property by me and/or under my supervision and accurately shows the location and dimensions of the lots, easements and rights-of-way of said plat as the same are monumented upon the ground in compliance with applicable regulation governing the subdivision of land, that such plat is based upon the professional land surveyor's knowledge, information and belief, that it has been prepared in accordance with applicable standards of practice, and that such plat is not a guaranty or warranty, either expressed or implied.



Matthew S. Slagle PLS #4998
Professional Land Surveyor
State of Colorado

Revised 02-07-24 Edited C.O.D. MSS
Revised 12-02-23 Edited Note 6a MSS
Revised 11-14-23 minor text MSS
Revised 11-07-23 Certain Dimensions MSS
Revised 11-06-23 Tract C Easements MSS
Revised 11-03-23 Town Comments MSS
Revised 10-11-23 Town Comments MSS
Revised 10-06-23 Town Comments MSS
Revised 09-26-23 Added Note regarding Tract C MSS

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

CERTIFICATE OF DEDICATION AND OWNERSHIP

Know all men by these presents that Minturn Crossing LLC (being sole owner in fee simple, mortgagee or lienholder, of all that real property situated in the Town of Minturn, County of Eagle, State of Colorado) do hereby certify that the following: Parcel 1, UPRR Subdivision according to the Final Plat thereof recorded on 13th day of December, 2023 as Reception No. 202316483 in the Office of the Eagle County Clerk and Recorder, Eagle County, Colorado. Containing 13.485 acres more or less; and has caused the same to be laid out, platted and subdivided, and designated as MINTURN NORTH P.U.D. subdivision in the Town of Minturn, County of Eagle, State of Colorado, and does hereby accept responsibility for the completion of the improvements required by this plat, and does hereby accept responsibility for the completion of the improvements required by this plat and does hereby dedicate and set aside the following tracts, parcels and easements as follows: -To the Town of Minturn Tract H (Fourth Street) and the easements described and depicted hereon in General Note 7, together with associated public improvements. -To Utility Providers such utility easements as depicted herein in which utility infrastructure is located.

OWNER: MINTURN CROSSING LLC
ADDRESS: 225 Main Street, Suite C-101
Edwards, Colorado 81632

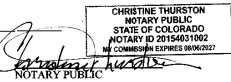
BY: RICK HERMES
TITLE: MANAGER

STATE OF COLORADO)
COUNTY OF EAGLE)

THE FOREGOING CERTIFICATE OF DEDICATION AND OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS 4 DAY OF MARCH, A.D. 2024 BY RICK HERMES AS MANAGER OF MINTURN CROSSING LLC.

MY COMMISSION EXPIRES 6 AUG 27

WITNESS MY HAND AND OFFICIAL SEAL



SUBORDINATION BY MORTGAGEE

Philip Hadley, being the holder of a promissory note secured by deed of trust recorded the 13th day of December 2023, at Reception No. 202316490, in the Office of the Clerk and Recorder of Eagle County, Colorado, hereby consents to the Subdivision of the lands set forth in this Final Plat of Minturn North, P.U.D., and subordinates the lien represented by the aforesaid deed of Trust to the Dedication and restrictions as shown on this final plat and relative covenants, conditions and restrictions.

MORTGAGEE: Philip Hadley

BY: Philip Hadley as Individual

STATE OF Colorado)
COUNTY OF Eagle)

The foregoing Subordination by Mortgagee was acknowledged before me this 26 day of February, 2024, By Philip Hadley as Individual

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES: Aug 01, 2025



CERTIFICATE OF TAXES PAID

I, the undersigned, do hereby certify that the entire amount of taxes and assessments due and payable as of January 1, 2023, upon all parcels of real estate described on this Plat are paid in full.

DATED THIS 1st OF March, A.D. 2024
Rose ID1
Bill K. Dwyer
TREASURER OF EAGLE COUNTY

TITLE CERTIFICATE
I, Matthew S. Slagle, does hereby certify that it has examined the title to all lands shown upon this plat and that title to such is vested in MINTURN CROSSING LLC, free and clear of all liens, taxes, and encumbrances, except DEED OF TRUST recorded 12/13/23, 202316490

DATED THIS 26th DAY OF February, A.D. 2024

AGENT:

CLERK AND RECORDER'S CERTIFICATE # 539

This Plat was filed for record in the Office of the Clerk and Recorder at 1:59 o'clock P.M., on this 26th day of March, A.D. 2024

CLERK AND RECORDER

DEPUTY



SLAGLE SURVEY SERVICES
800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631
970.471.1499 Office matthew@slaglesurvey.com
www.SlagleSurvey.com

FINAL PLAT
MINTURN NORTH P.U.D.
Town of Minturn, County of Eagle, State of Colorado

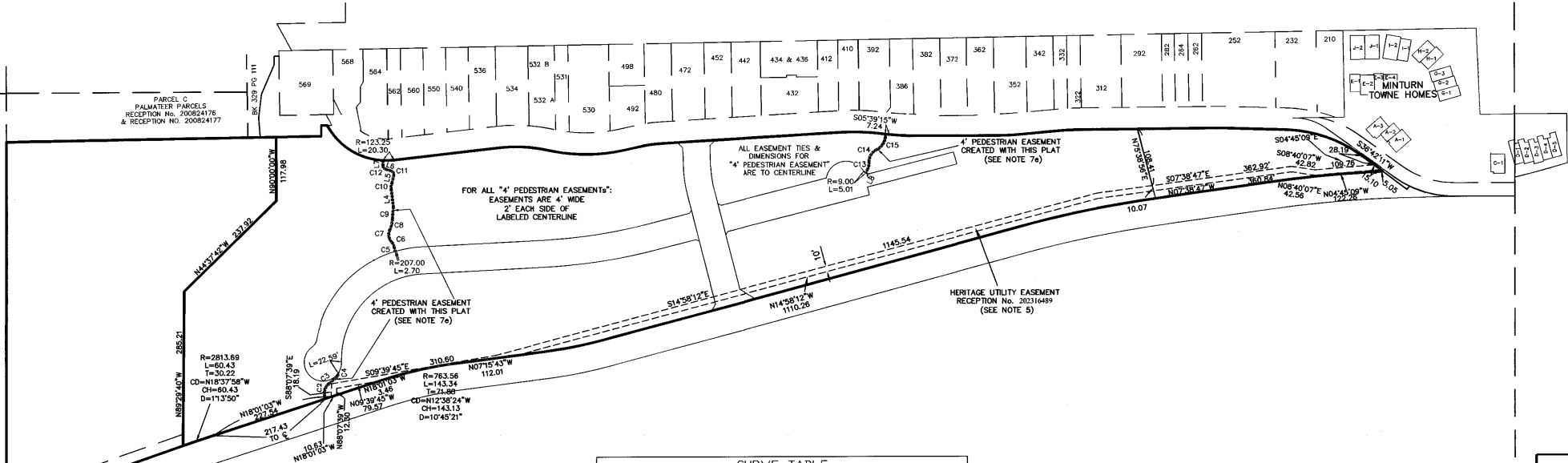
DRAWN BY: MSS JOB NUMBER: 22055 DRAWING NAME: 22055 FP2.dwg
SHEET: 1 OF 5 DATE: 08-13-2023

Section 7, Item C.

Eagle County, CO
Regina O'Brien
Pgs: 5
REC: \$55.00 DOC: \$0.00
03/04/2024
12:59:18 PM
202402234

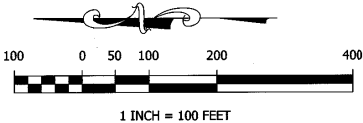
FINAL PLAT
MINTURN NORTH P.U.D.
Town of Minturn, County of Eagle, State of Colorado
SHEET 5 OF 5

ADDITIONAL EASEMENT DETAIL SHEET



LINE TABLE		
LINE	LENGTH	BEARING
L4	32.13	N63°15'49\"E
L5	14.91	S77°04'30\"E
L6	11.48	N18°26'21\"E
L7	9.83	S89°36'46\"E
L8	7.28	N62°43'18\"W

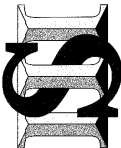
CURVE TABLE						
CURVE	LENGTH	RADIUS	Tangent	Chord	Chd Bng	Delta
C2	29.35	22.25	17.26	27.27	S79°27'12\"E	75°35'30\"
C3	18.66	276.62	9.33	18.65	S39°43'38\"E	3°51'51\"
C4	9.01	8.52	4.97	8.59	S66°04'17\"E	60°33'21\"
C5	7.90	333.24	3.95	7.90	S79°46'25\"W	12°13'31\"
C6	11.08	18.95	5.70	10.93	N63°41'55\"E	33°30'33\"
C7	24.01	20.01	13.69	22.60	S81°19'10\"W	68°45'04\"
C8	20.65	49.15	10.48	20.50	S76°20'24\"E	24°04'13\"
C9	22.78	236.37	11.40	22.77	S85°36'54\"E	5°31'15\"
C10	12.77	20.27	6.60	12.56	S83°06'39\"E	36°05'40\"
C11	9.29	7.31	5.39	8.68	N57°19'53\"E	72°46'53\"
C12	8.09	6.45	4.68	7.57	N54°28'07\"E	71°50'14\"
C13	15.45	30.72	7.89	15.28	S77°07'28\"E	28°48'21\"
C14	27.14	23.79	15.26	25.69	S58°50'20\"E	65°22'36\"
C15	35.79	30.20	20.33	33.73	S60°06'18\"E	67°54'31\"



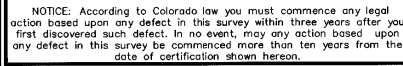
Matthew S. Slagle PLS 34998
Professional Land Surveyor
State of Colorado

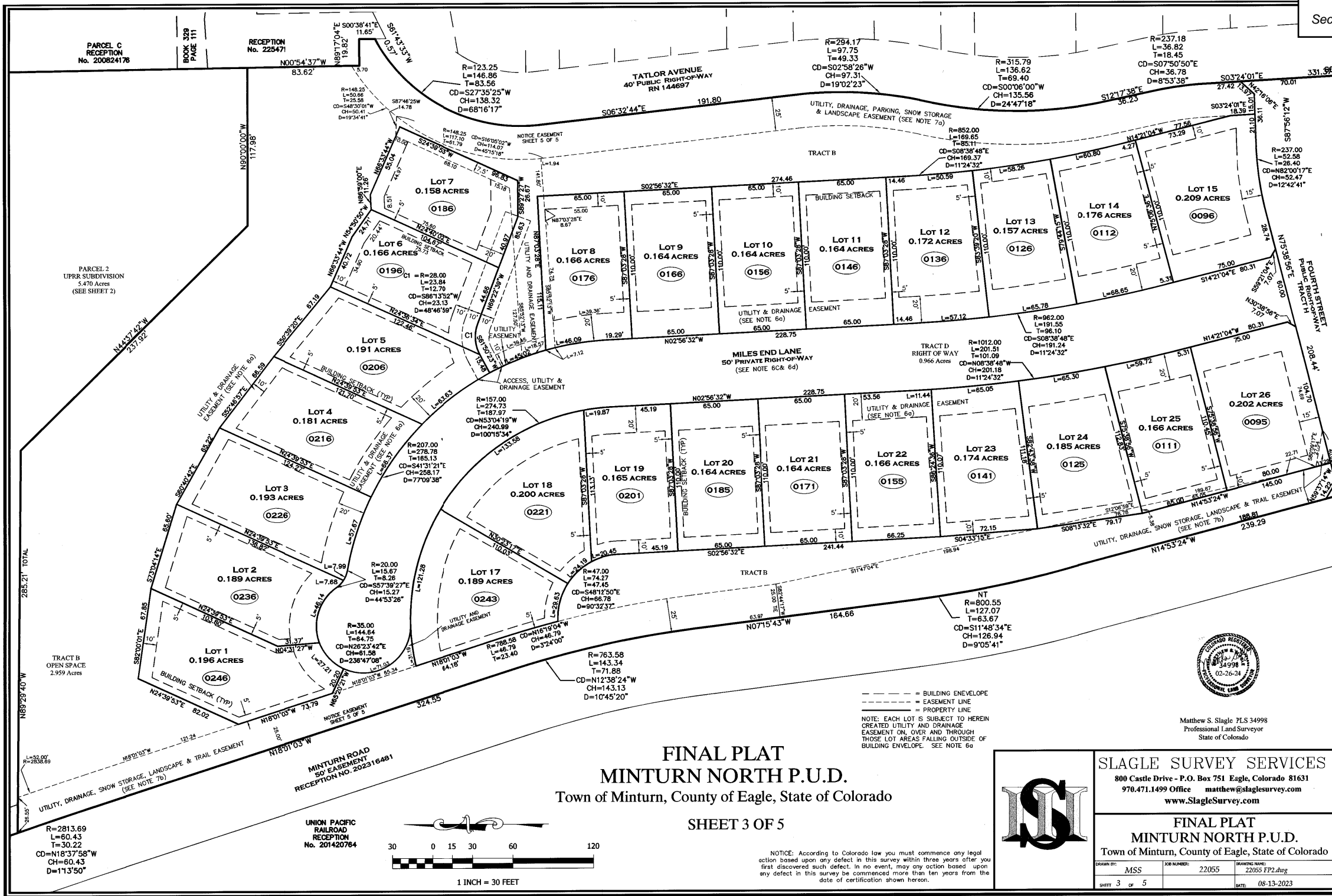
SLAGLE SURVEY SERVICES
800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631
970.471.1499 Office matthew@slaglesurvey.com
www.SlagleSurvey.com

FINAL PLAT
MINTURN NORTH P.U.D.
Town of Minturn, County of Eagle, State of Colorado
DRAWN BY: MGS
JOB NUMBER: 22055
DATE: 08-13-2023
SHEET: 5 OF 5



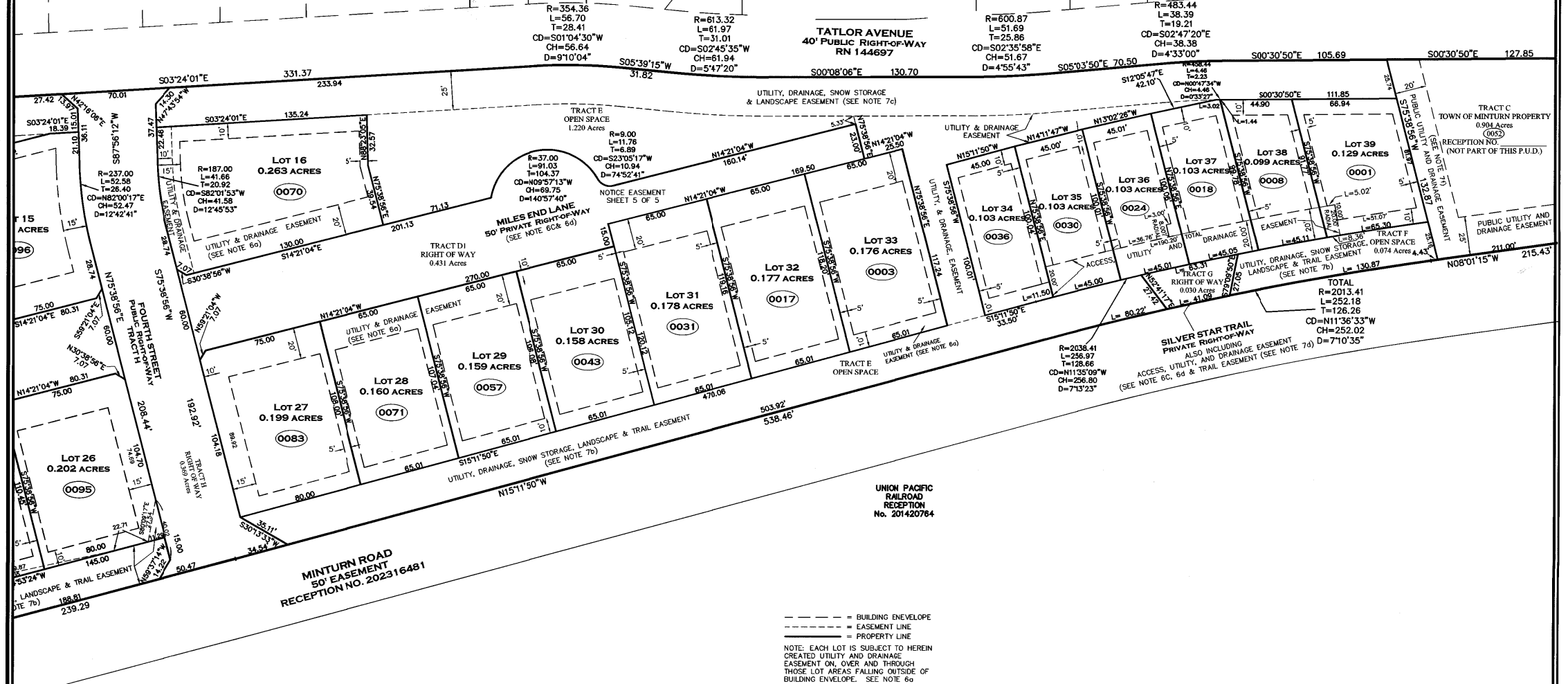
NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect, in no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.





202402234

FINAL PLAT
MINTURN NORTH P.U.D.
Town of Minturn, County of Eagle, State of Colorado
SHEET 4 OF 5

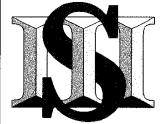
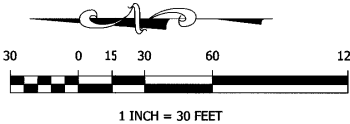


UNION PACIFIC
RAILROAD
RECEPTION
No. 201420764

--- = BUILDING ENVELOPE
- - - = EASEMENT LINE
___ = PROPERTY LINE
NOTE: EACH LOT IS SUBJECT TO HEREIN
CREATED UTILITY AND DRAINAGE
EASEMENT ON, OVER AND THROUGH
THOSE LOT AREAS FALLING OUTSIDE OF
BUILDING ENVELOPE. SEE NOTE 6a



Matthew S. Slagle P.L.S. 34998
Professional Land Surveyor
State of Colorado



SLAGLE SURVEY SERVICES
800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631
970.471.1499 Office matthew@slaglesurvey.com
www.SlagleSurvey.com

FINAL PLAT
MINTURN NORTH P.U.D.
Town of Minturn, County of Eagle, State of Colorado

DRAWN BY: MISS	JOB NUMBER: 22055	DRAWING NAME: 22055 FP2.dwg
SHEET 4 OF 5	DATE: 08-13-2023	

NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

202402234

923 Cooper Ave., Ste. 201
Glenwood Springs, CO 81601
(T) 970.945.5252
www.bu-inc.com

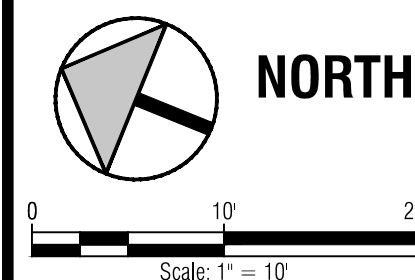
Subsurface Utility Engineering (SUE)
Required Project: **TBD**

If "Yes", SUE Certification by:
Firm: **TBD**
Job #: **TBD**
Date: **TBD**

Engineer or Surveyor Seal



Client Information:
MINTURN NORTH LAND COMPANY LLC
PO BOX 2633
EDWARDS, CO 81632
970 926-1720



Know what's below.
Call before you dig.

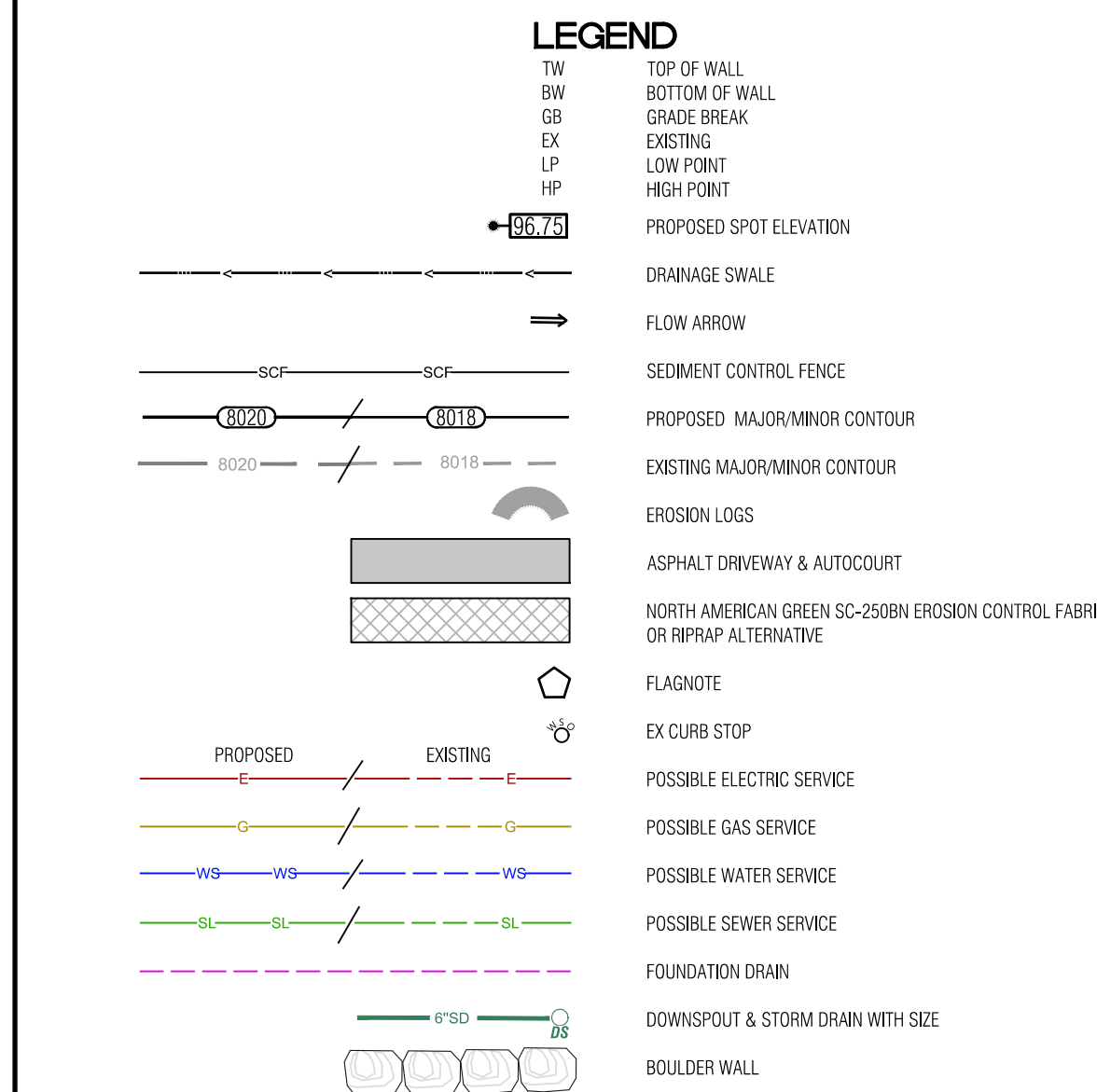
Lot 34 And 35, Minturn North P.U.D.
Site, Grading and Drainage Plan
DRB Resubmittal 5/22/24

By	Revision	Date	No.
			1
			2
			3
			4
			5
			6
			7
			8
			9

PROJECT NO.
23005
Designer:
PAH
Checker:
BUJ
Date:
4/18/24

Sheet
C1

File Name: **mn lot 34-35 sp-01.dwg**

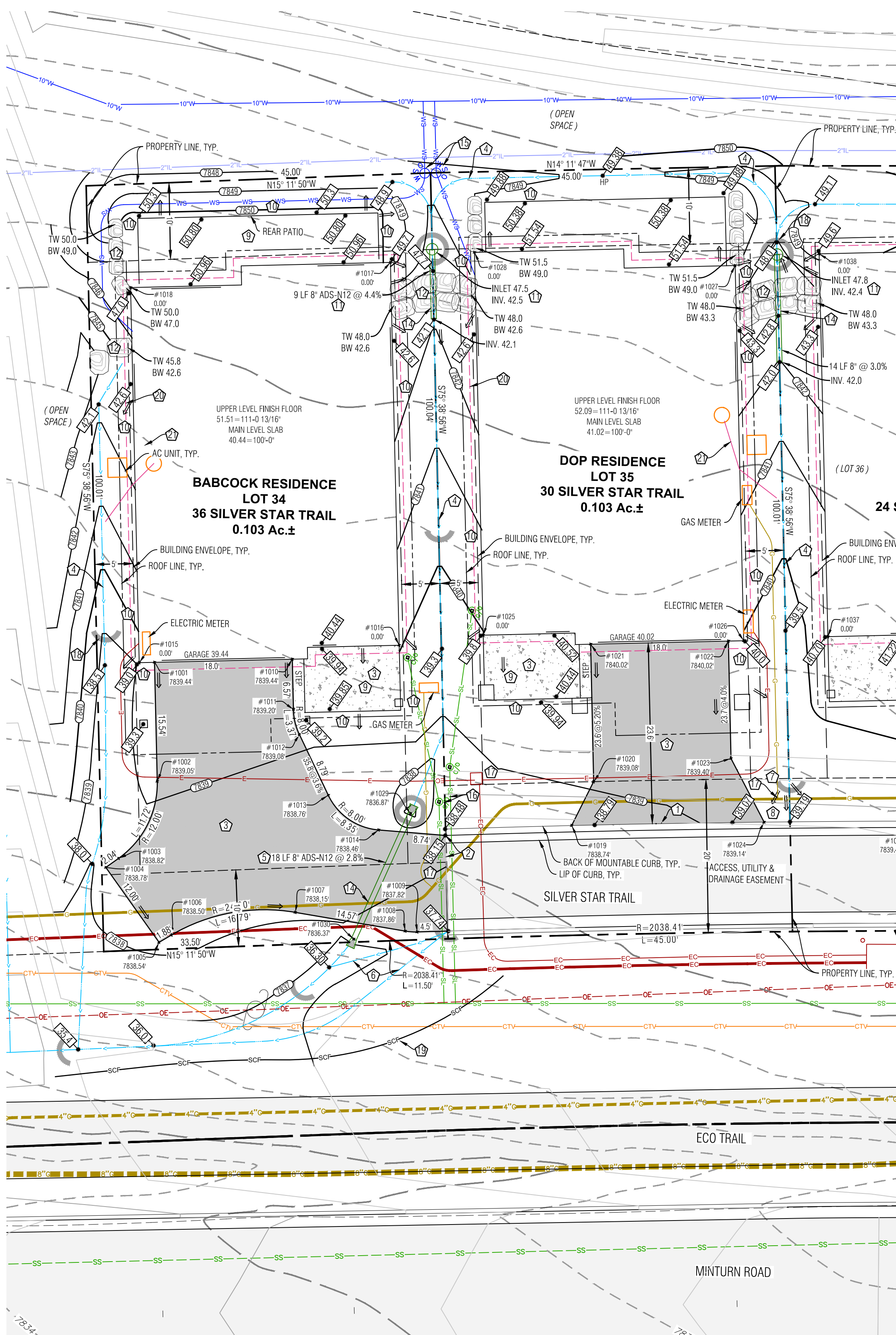
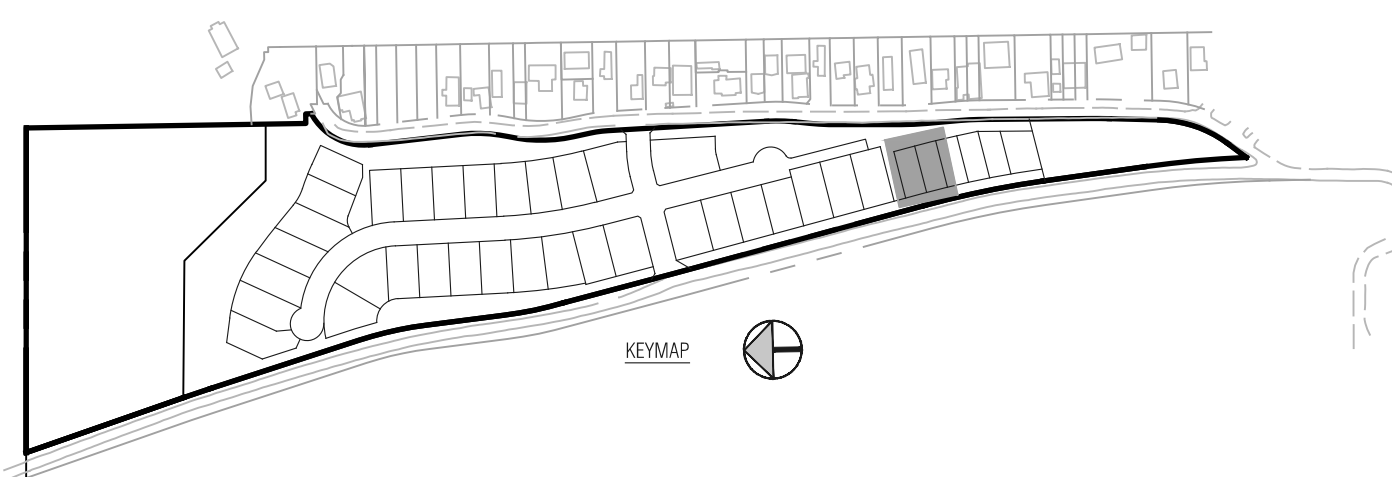


NOTES:

- 1) BASIS OF ELEVATION: NAVD88 BASED ON THE ORIGINAL TOPOGRAPHIC MAP OF MINTURN NORTH PREPARED BY GORE RANGE SURVEYING, LLC., JOB NO. 19-1203, DATED 4/1/21. NO BENCHMARK WAS NOTED ON THE BASE SURVEY.
- 2) THE BOUNDARY DIMENSIONS, EASEMENTS AND RIGHTS OF WAY SHOWN HEREON ARE BASED ON THE FINAL PLAT OF MINTURN NORTH PUD, AND SURVEY CONTROL MONUMENTS FOUND AT THE TIME OF THE SURVEY AND SHOWN ON THE SURVEY REFERENCED ABOVE.
- 3) SEE ADDITIONAL SITE NOTES & DETAILS ON SHEET C2.
- 4) EXISTING CONTOUR INTERVAL IS 1 FT., PROPOSED CONTOUR INTERVAL IS 1 FT.
- 5) LOT AREA: LOT 34 4,501 SF ±, LOT 35 4,497 SF ±
DISTURBANCE AREA: LOT 34 4,501 SF ±, LOT 35 4,497 SF ±
- 6) THIS (CIVIL) PLAN SET IS INTENDED TO BE PLOTTED IN COLOR. FAILURE TO DO SO MAY RESULT IN MISSING DATA & INFORMATION CRITICAL TO THE PROJECT.

FLAGNOTES:

- 1) MATCH TO BACK OF EXISTING CURB.
- 2) MATCH NEW DRIVEWAY TO EDGE OF ROADWAY AND FLOWLINE OF CURB.
- 3) PROPOSED ASPHALT DRIVEWAY, AUTO-COURT AND CONCRETE WALKWAYS. STRUCTURAL FILL UNDER THE BUILDING TO FOLLOW THE DIRECTION OF THE GEOTECH REPORT. ALL EARTHWORK CONSTRUCTION TO BE APPROVED BY THE GEOTECHNICAL ENGINEER.
- 4) PROVIDE DRAINAGE SWALE AS SHOWN, WITH NORTH AMERICAN GREEN SC250 EROSION FABRIC OR RIPRAP WHERE SLOPE EXCEEDS 5%. SEE DETAIL.
- 5) INSTALL STORM DRAIN W/FEES EACH END, INV. IN - 36.87, INV. OUT - 36.37.
- 6) RESHAPE SWALE TO ALLOW DRAINAGE TO DRAIN TO SUBDIVISION CHANNEL.
- 7) WHERE PROPOSED SWALE DAYLIGHTS WITH NATURAL GROUND, FAN OUT DRAINAGE SWALE TO EVENLY DISSIPATE DRAINAGE, TYP.
- 8) SPILL THE LOCAL CHANNEL OVER THE TOP OF THE CURB LINE.
- 9) SLOPE PATIOS, DECKS AND WALKS AT 2% MIN. AWAY FROM THE STRUCTURE.
- 10) GRADE AROUND THE PERIMETER OF BUILDING AS NECESSARY 10% FOR 5-FEET MIN. (10 FT. WHERE POSSIBLE) IN UNPAVED AREAS TO ENSURE PROPER DRAINAGE AWAY FROM THE FOUNDATION. IT WILL BE IMPORTANT TO CONSTRUCT AND DIRECT SURFACE DRAINAGE AWAY FROM BUILDING, WALKS AND WALLS TO EITHER THE AUTOCOURT, THE OUTLET SWALE, OR DOWNWARD SLOPING NATURAL GRADE. VERIFY DRAINAGE AND SWALE INTEGRITY ON A REGULAR BASIS.
- 11) INSTALL 6" NYLOPLAST DRAIN BASIN WITH DOME GRATE. SEE DETAIL ON SHEET C2. SHAPE & DRAIN ALL SURROUNDING AREA TO LOW POINT WHICH IS THE INLET. NO DRAINAGE ALLOWED TO BOULDER WALL. INSTALL HEAT TAPE IN DRAIN BASIN AND OUTLET PIPE.
- 12) INSTALL BOULDER WALL FOR LANDSCAPE AREAS PER THE DETAIL ON SHEET C2. WALL DRAIN LINES NOT SHOWN.
- 13) PROTECT STORM LINES AND UTILITIES WHEN CONSTRUCTING IMPROVEMENTS ABOVE FROM MATERIAL AND EQUIPMENT, TYP. BRIDGE ABOVE STORM DRAIN AS NECESSARY.
- 14) LOCATE EXISTING CURB STOP, CONFIRM LOCATION AND CONNECTION WITH THE WATER & SANITATION DISTRICT, CONNECT AND EXTEND NEW WATER SERVICE TO MECHANICAL ROOM. MAINTAIN COVER OVER NEW SERVICE PER DISTRICT REGULATIONS. INSULATE THE WATER SERVICE IF COVER IS LESS THAN 7 FEET NEAR THE RETAINING WALL AND IN THE VICINITY OF THE DRAINAGE INLET.
- 15) APPROXIMATE LOCATION OF SEWER SERVICE STUB, CONFIRM INVERT PRIOR TO CONSTRUCTION FOR ABILITY TO SERVICE HOUSE BY GRAVITY, OR WHETHER A PUMP MAY BE REQUIRED. CONNECT AND EXTEND NEW SEWER SERVICE TO MECHANICAL ROOM. MAINTAIN COVER OVER NEW SERVICE PER DISTRICT REGULATIONS. INSTALL CLEANOUTS AT HOUSE EXTERIOR AND ALL BEND LOCATIONS.
- 16) LOCATE, CONNECT TO, AND EXTEND GAS, ELECTRIC, AND COMMUNICATION SERVICES TO METER CABINET AND GAS METER LOCATION. MAINTAIN COVER & CLEARANCES BETWEEN/OVER NEW SERVICES PER UTILITY REGULATIONS
- 17) EROSION LOGS PER DETAIL ON SHEET C2.
- 18) SEDIMENT CONTROL FENCE PER DETAIL ON SHEET C2.
- 19) FOUNDATION DRAIN, TYP., INSTALL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. DRAIN @ 0.5% MIN. TO DAYLIGHT, SEE DETAIL ON SHT. C2. DRAIN TO A SUMP PUMP IN THE MECHANICAL ROOM. SUMP PUMP RE MECHANICAL.
- 20) EXTEND THE FOUNDATION DRAIN FROM SUMP PUMP IN HOUSE TO DAYLIGHT WITH SOLID PIPE. COVER WITH A RODENT SCREEN AT END.



Point #	Desc.	Elev.	North	East
1001	DW	7839.44	3169.66	5568.35
1002	DW	7839.05	3165.81	5553.29
1003	DW	7838.82	3168.46	5542.35
1004	DW	7838.78	3169.81	5540.82
1005	DW	7838.54	3160.84	5532.86
1006	DW	7838.50	3159.48	5534.15
1007	DW	7838.15	3144.38	5540.69
1008	DW	7837.86	3129.84	5541.54
1009	DW	7837.82	3128.29	5541.79
1010	DW	7839.44	3152.22	5572.81
1011	DW	7839.20	3150.59	5566.44
1012	DW	7839.08	3149.10	5563.44
1013	DW	7838.76	3143.63	5556.56
1014	DW	7838.46	3138.21	5553.63
1015	Bldg. Cor.	0.00	3171.60	5567.85

Point #	Desc.	Elev.	North	East
1016	Bldg. Cor.	0.00	3139.03	5577.73
1017	Bldg. Cor.	0.00	3151.42	5626.17
1018	Bldg. Cor.	0.00	3183.74	5615.32
1019	DW	7838.74	3111.77	5559.88
1020	DW	7839.08	3110.28	5566.08
1021	DW	7840.02	3114.70	5583.50
1022	DW	7840.02	3097.26	5587.96
1023	DW	7839.40	3093.47	5573.10
1024	DW	7839.14	3087.38	5565.99
1025	Bldg. Cor.	0.00	3128.63	5581.49
1026	Bldg. Cor.	0.00	3095.32	5588.46
1027	Bldg. Cor.	0.00	3107.47	5635.93
1028	Bldg. Cor.	0.00	3141.03	5629.93
1029	Inv.	7836.87	3132.62	5556.67
1030	Inv.	7836.37	3136.14	5539.01



Know what's below.
Call before you dig.

LANDSCAPE ARCHITECT:
TOMINA TOWNSEND, LA
PO BOX 3000, PMB 301
EDWARDS, CO 81632
P. 303.572.7876
TTownsend@ResortConceptsCO.com

MINTURN NORTH P.U.D.
LOT 34-LANDSCAPE PLAN
TOWN OF MINTURN, COLORADO

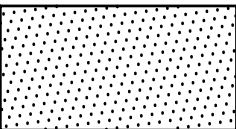
DESIGNED: TT
DRAWN: TT
CHECKED: RH
DATE: April 19, 2024
REVISIONS:
-REVISED DRB SUBMITTAL: 5/22/24
-REVISED SNOW STORAGE PER LOT SIZE
-REVISED TREE QUANTITY PER LOT SIZE

DRB SUBMITTAL

SHEET TITLE:
PROPOSED
LANDSCAPE PLAN
SCALE: 1"=10'-0"
SHEET NUMBER:

L1

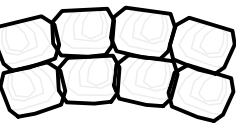
LEGEND



IRRIGATED SOD, REFER TO
L2 FOR DETAILS



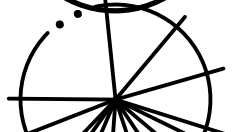
IRRIGATED NATIVE SEED MIX,
REFER TO L2 FOR DETAILS



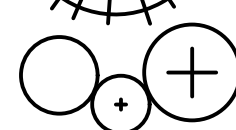
PROPOSED BOULDER
RETAINING WALL, REFER
TO CIVIL ENGINEERING
FOR DETAILS



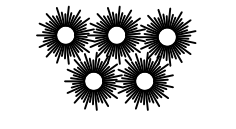
PROPOSED DECIDUOUS
TREE



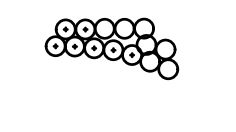
PROPOSED EVERGREEN
TREE



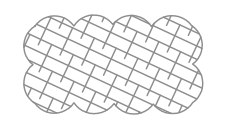
PROPOSED DECIDUOUS
SHRUBS



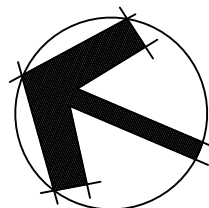
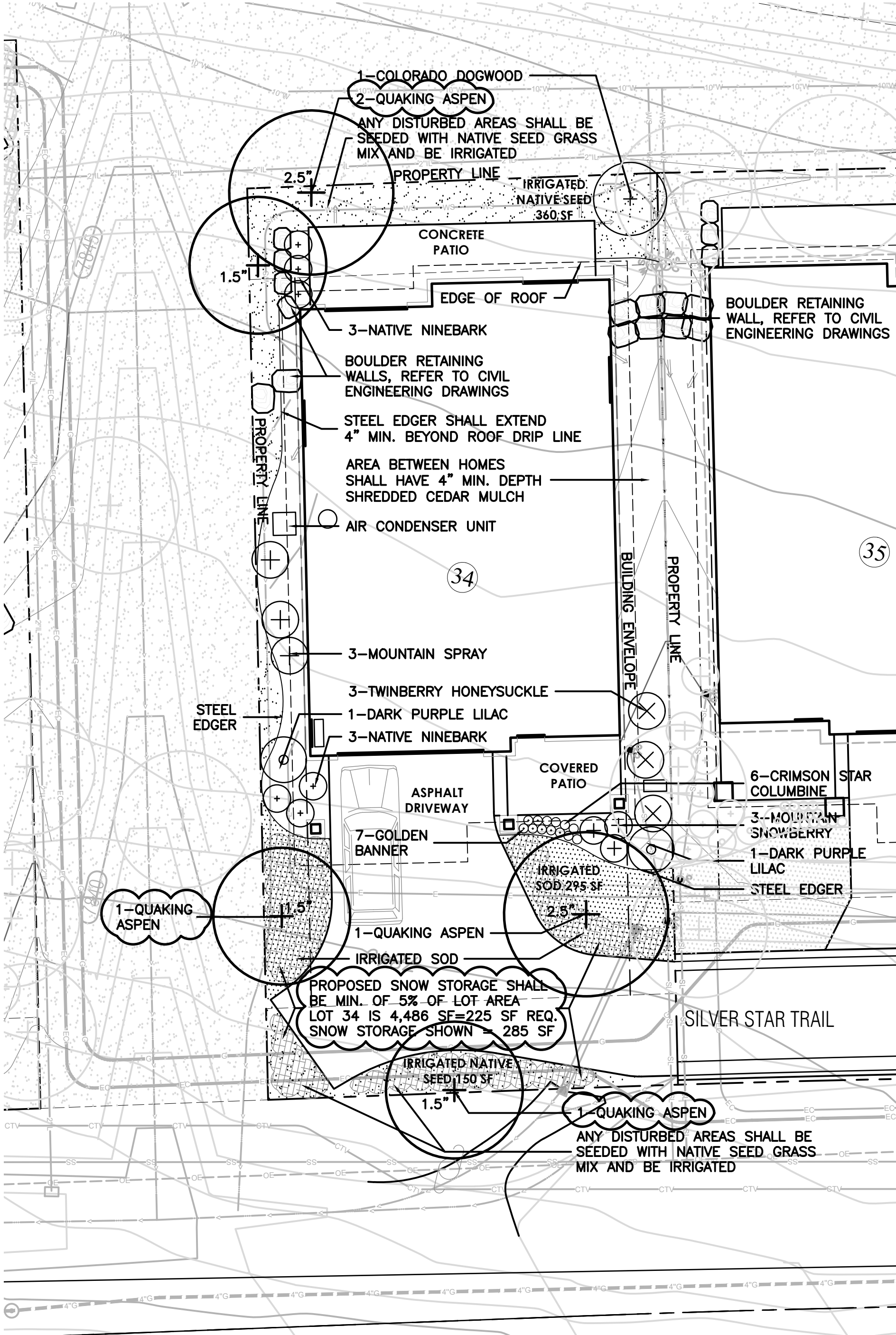
PROPOSED ORNAMENTAL
GRASSES



PROPOSED FLOWERING
PERENNIALS



SNOW STORAGE AREA



0 5 10 20
SCALE: 1"=10'-0"

General Notes and Specifications:

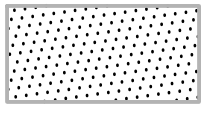

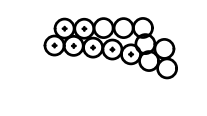
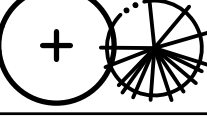
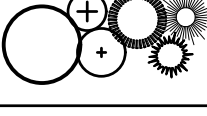
1. All areas disturbed by construction and not designated a shrub bed or sod, shall be planted with the specified native grass seed.
2. The contractor shall maintain positive drainage away from all walls and walkways. Fine grading shall be approved prior to planting.
3. The Landscape Plan shall be reviewed on site prior to installation to ensure planting meets the intent of the design guidelines and Town of Minturn standards.
4. See Civil Engineering sheets for final grading and drainage.
5. Snow Storage area shall be a min. of 25% of all driveway and parking areas.

Revegetation Notes:

1. Seed shall be broadcast and raked to ¼" depth.
2. Apply Biodegradable Green Dyed-Wood Cellulose-Fiber Mulch to all seeded Areas at a rate of 20 lbs. per 1,000 s.f.
3. Prior to seeding, apply min. 6" topsoil, 10 lbs./1,000 s.f. Superphosphate and 40 lbs./1,000 s.f. Biosol Complete Fertilizer.

Fire Mitigation Recommendations:

1. Zone 1 (15' from building and integral planting): no highly flammable plants, such as evergreen trees and shrubs should be planted within 15' of the structure or attachments.
2. Zone 2 (70' from building and Integral planting): a 10' crown separation must be maintained for all evergreen trees and shrubs over 4' height. A 4' crown separation must be maintained for evergreen shrubs under 4' height.
3. Plants listed on forest service publication 6.305 FireWise Plant Material can be used in any zone.
4. Existing junipers within Zone 1 and Zone 2 must be limbed ½ of their total height, but no more than 10' height.
5. Dead limbs shall be removed from all existing Serviceberry within Zone 1 or Zone 2.
6. If necessary, final existing vegetation to be limbed or removed for fire mitigation purposes will be subject to the constraints of the final unit site plans and reviewed on site with a representative from the Town of Minturn on a unit by unit basis prior to construction.

LEGEND & IRRIGATION CALCULATIONS:		
Permanent Irrigation		Square Footage of Irrigation
	Permanent Pop-Up Spray Irrigation For Bluegrass Sod	295 SF
	Permanent Spray Irrigation For Native Seed	510 SF
	Permanent micro-spray or drip irrigation for perennial beds	13 PERENNIALS x 1 SF = 13 SF
	Permanent Drip Irrigation For B&B Trees	5 TREES x 4.5 SF = 23 SF
	Permanent Drip Irrigation For 5 gal. Shrubs & Grasses	18 SHRUBS x 3 SF = 54 SF
		TOTAL PERMANENT IRRIGATED AREA: 895 SF

IRRIGATION NOTES:

1. DESIGN CRITERIA: DESIGN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO UNIFORMLY IRRIGATE ALL PLANTING AREAS. ZONE IRRIGATED SOD, NATIVE SEED GRASS, AND SHRUB PLANTING AREAS SEPARATELY. PROVIDE DRIP IRRIGATION FOR SHRUB BEDS. PROVIDE MICRO-SPRAY HEADS OR DRIP IRRIGATION, DEPENDING ON PLANT MATERIAL, IN PERENNIAL AND GROUNDCOVER BEDS. DESIGN ROTORS FOR TURF GRASS AREAS MORE THAN 40' WIDE, AND POP-UP SPRAY HEADS FOR AREAS LESS THAN 40' WIDE.
2. ALL TREES AND SHRUBS TO BE DRIP IRRIGATED.

ALL DISTURBED AREAS SHALL BE SEEDED WITH:
'DRY NATIVE MOUNTAIN' SEED MIX

THIS SEED MIX HAS BEEN CHOSEN FOR THE SPECIFIC PROJECT LOCATION AND ELEVATION. LANDSCAPE INSTALLER SHALL NOT DEVIATE FROM THIS REVEGETATION SEED MIX WITHOUT WRITTEN APPROVAL FROM THE RESORT CONCEPTS SITE MANAGER.

COMMON NAME	SEEDING RATE % MIX	BULK LBS PER ACRE
SANDBERG BLUE	10%	5.00
MOUNTAIN BROME	20%	10.00
SLENDER WHEATGRASS	15%	7.50
BLUEBUNCH WHEATGRASS	10%	5.00
ROCKY MOUNTAIN FESCUE	10%	5.00
THICKSPIKE WHEATGRASS	15%	7.50
BOTTLEBRUSH SQUIRRELTAIL	2.5%	1.25
STREAMBANK WHEATGRASS	15%	7.50
PRAIRIE JUNEGRASS	2.5%	1.25
TOTAL LBS./ACRE	100%	50

NOTES:

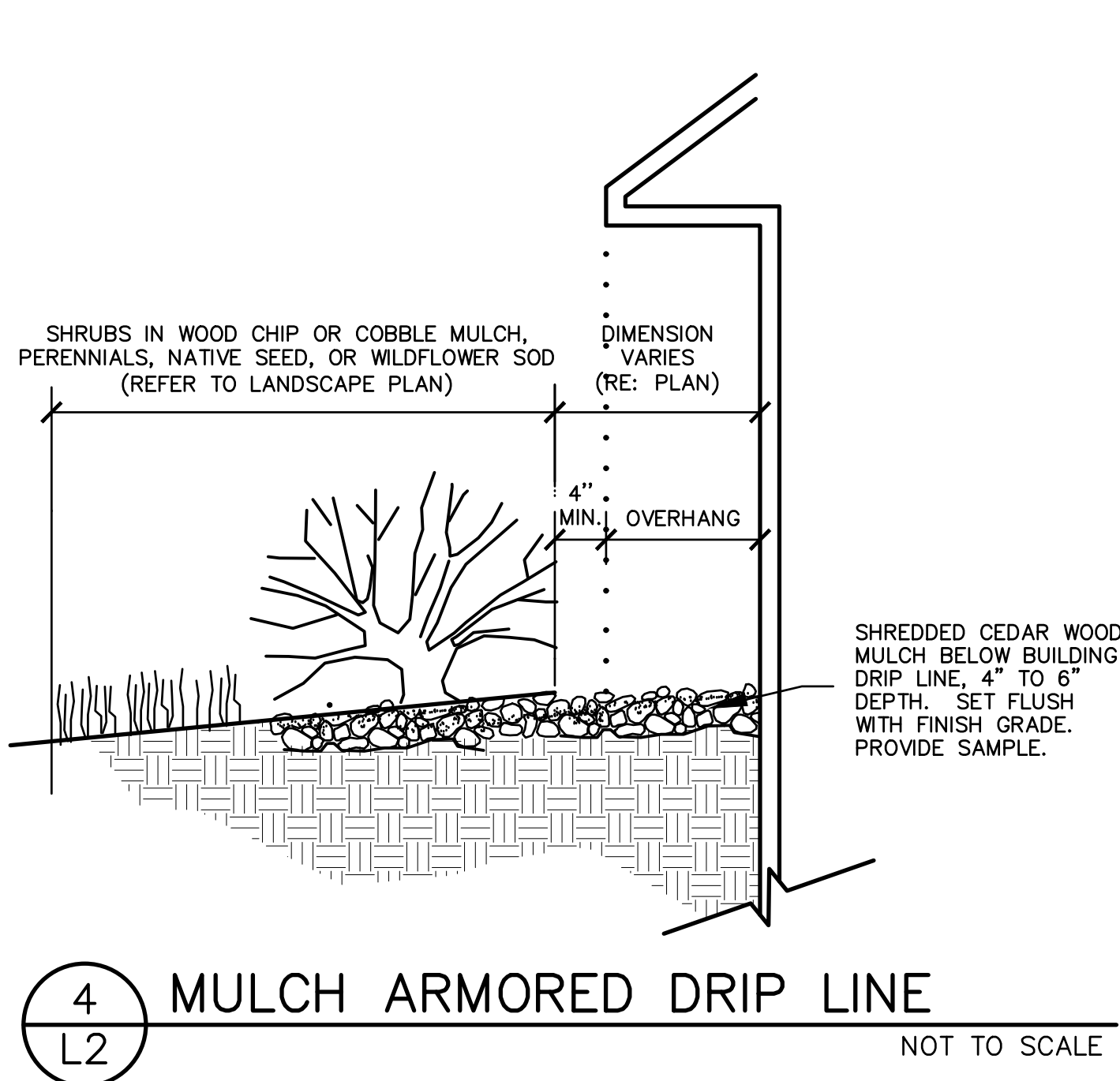
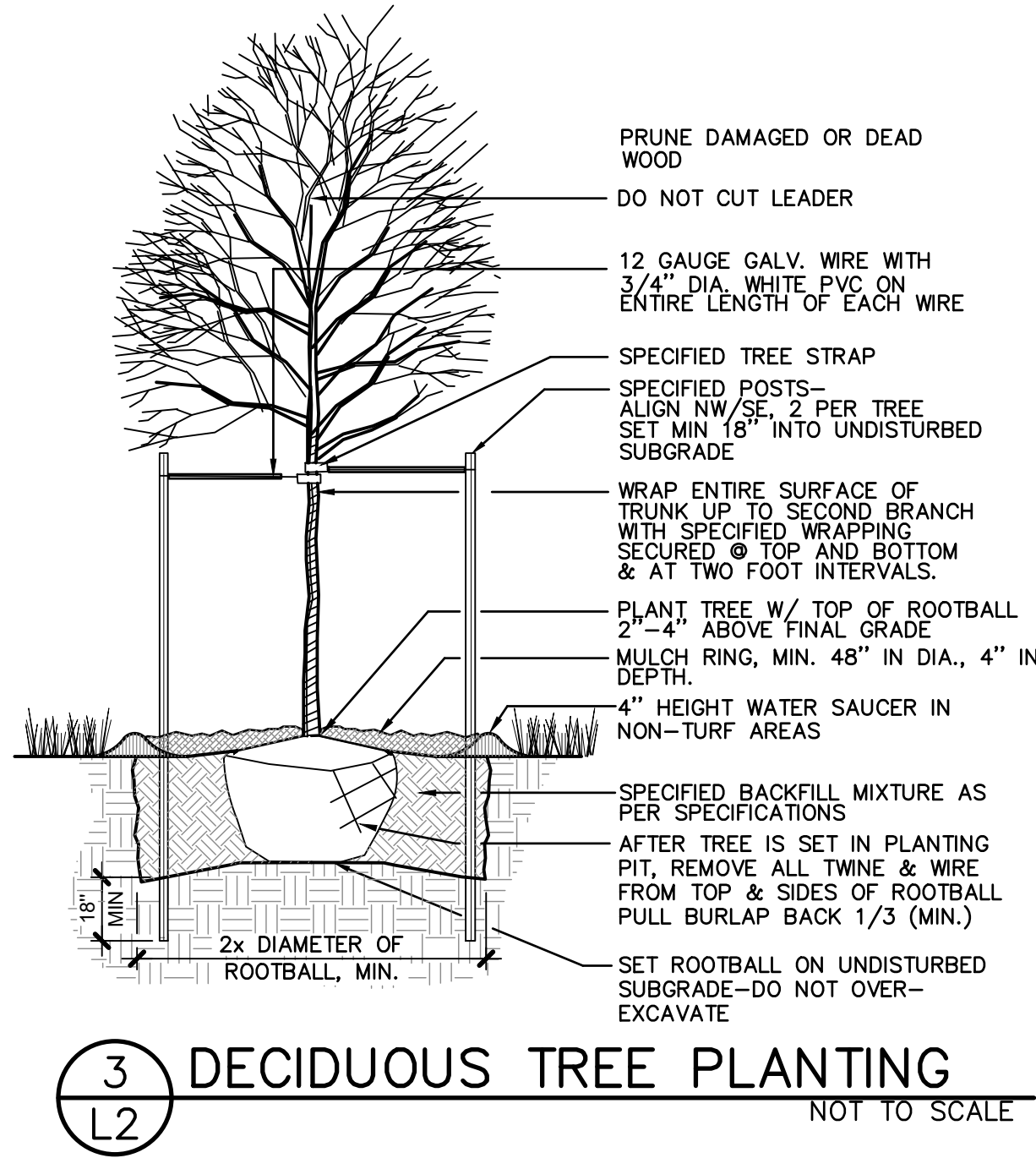
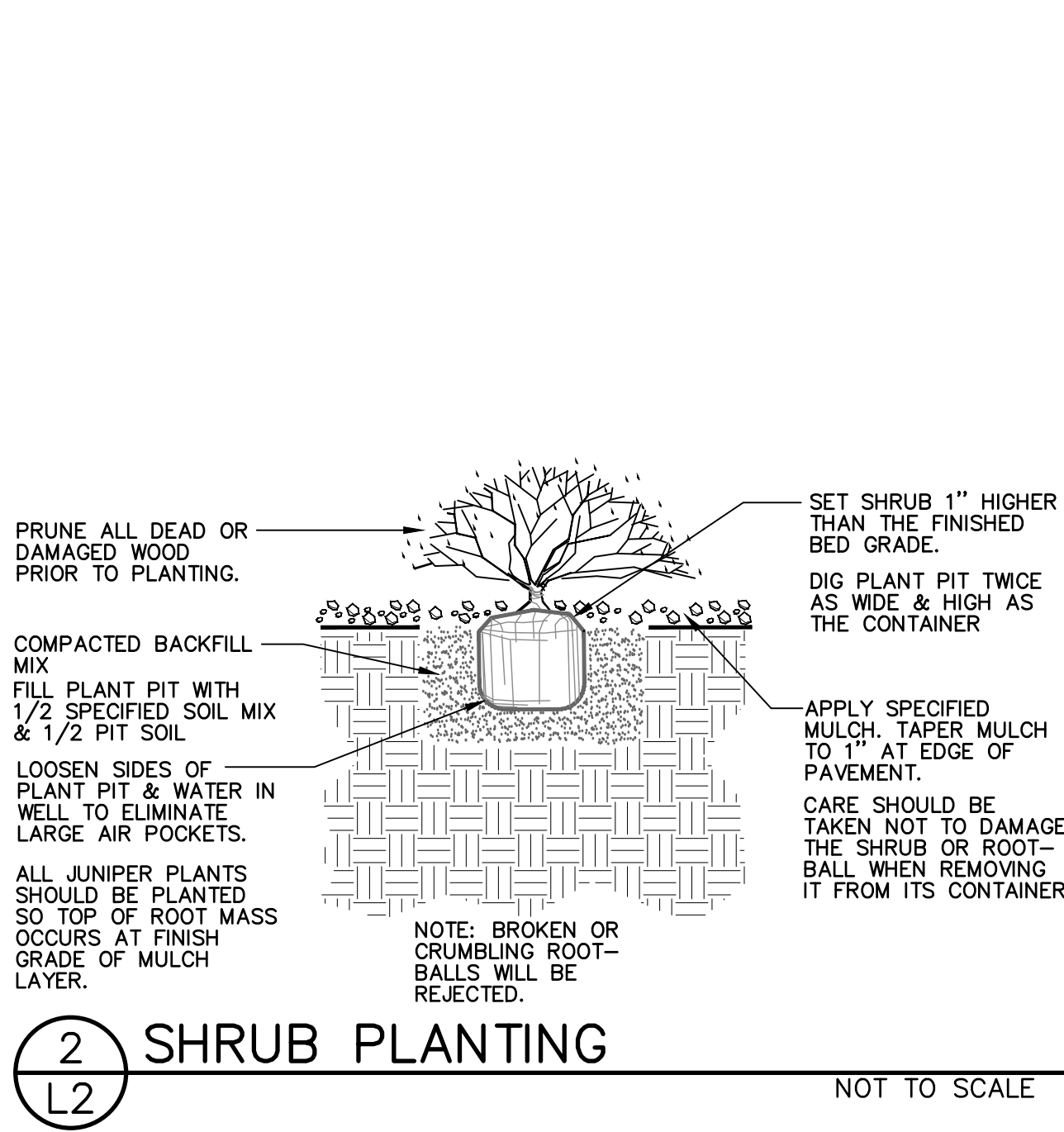
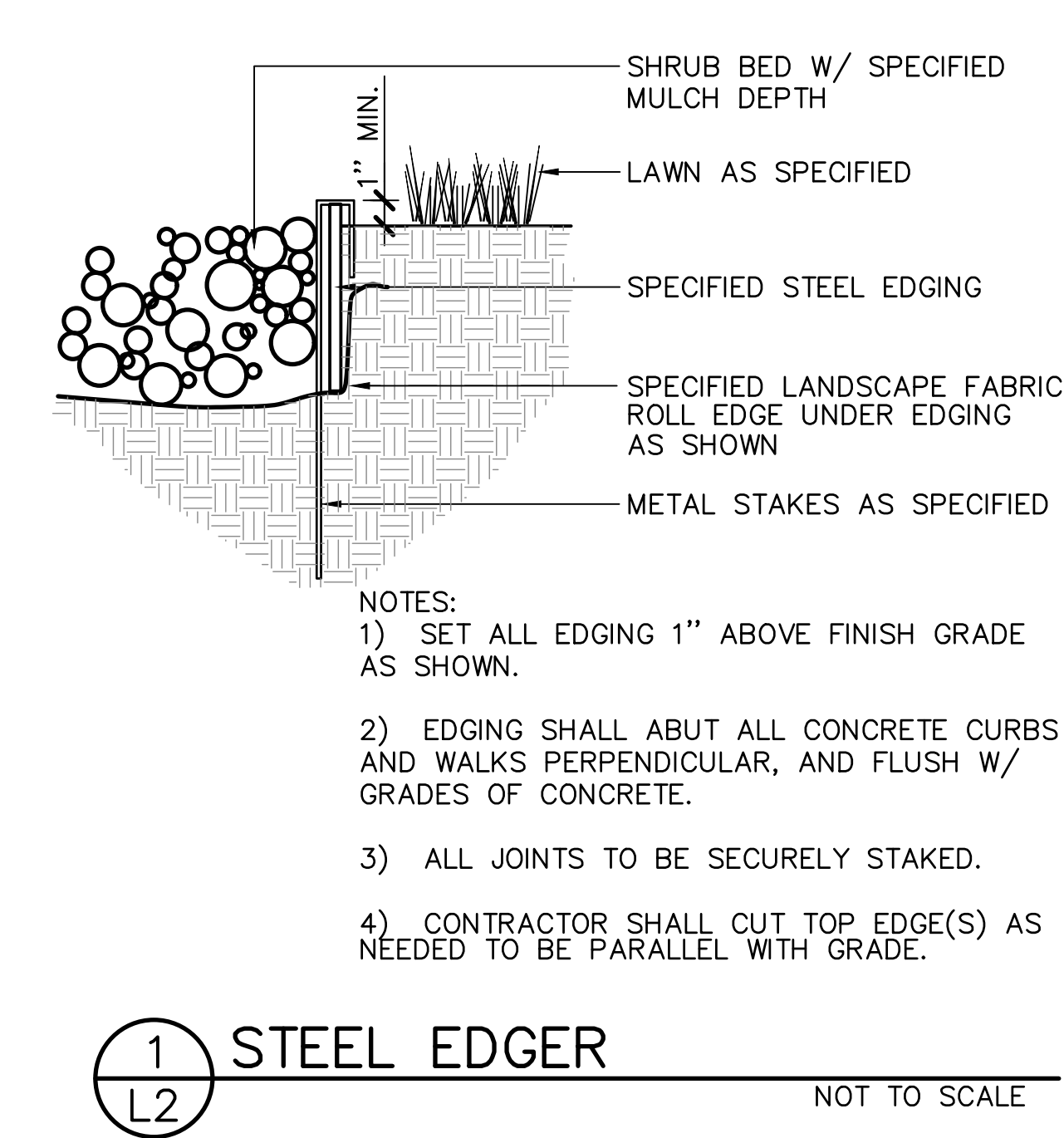
PERCENTAGES OF MIXES VARY YEAR-TO-YEAR DEPENDING ON HARVEST OF SEEDS. HYDROSEED OR HAND BROADCAST: 1 LB. PER 1,000 SQ. FT. OR 50 LBS. PER ACRE. RAKE IN ¼" DEEP AND IRRIGATE, IF POSSIBLE UNTIL ESTABLISHED. 'DRY NATIVE MOUNTAIN' SEED MIX IS AVAILABLE FROM PAWNEE BUTTES SEED INC., 605 25TH STREET, GREELEY, CO 80632. PHONE: 1-800-782-5947 WEBSITE: PAWNEEBUTTESSEED.COM

PROPOSED PLANT MATERIALS LIST


Note: All plant material has been chosen from the CSU Extension Office recommended plant lists. These lists have been cross referenced to find suitable plants for the elevation of Minturn (10,000 ft and above), and also to maximize use of plants native to the area, low-water use plants, and plants that enhance habitat and food sources for insects, butterflies, birds and other animals. The cross referenced lists are the following:

- CSU Extension, Fire Wise Plant Materials - 6.305
- CSU Extension, Trees and Shrubs for Mountain Areas - Fact Sheet No. 7.423
- CSU Extension, Low-Water Native Plants for Colorado Gardens, Mountains 7,500' and Above - CO Native Plant Society
- CSU Extension, Native Trees for Colorado Landscapes - Fact Sheet No. 7.421
- CSU Extension, Native Shrubs for Colorado Landscapes - Fact Sheet No. 7.422

QUAN.	COMMON/ BOTANICAL NAME	FIRE MITIGATION ZONE	SIZE	COMMENTS
DECIDUOUS TREES				
3	Quaking Aspen Populus tremuloides	1 & 2	1.5" cal.	Specimen quality B&B, guyed
2	Quaking Aspen Populus tremuloides	1 & 2	2.5" cal.	Specimen quality B&B, guyed
PERENNIAL FLOWERS (planted @ 12" O.C. spacing)				
6	Crimson Star Columbine Aquilegia 'Crimson Star'	1 & 2	Flats of 15	
7	Golden Banner Thermopsis divaricarpa	1 & 2	Flats of 15	
DECIDUOUS SHRUBS				
1	Colorado Dogwood Cornus sericea coloradense	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
2	Dark Purple Lilac Syringa vulgaris 'Yankee Doodle'	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
3	Mountain Snowberry Symphoricarpos oreophilus	1 & 2	5 gal.	Container, 5 canes minimum 12"-18" ht.
3	Mountain Spray Holodiscus dumosus	1 & 2	5 gal.	Container, 5 canes minimum 18"-24" ht.
6	Native Ninebark Physocarpus monogynus	1 & 2	5 gal.	Container, 5 canes minimum 12"-18" ht.
3	Twinberry Honeysuckle Lonicera involucrata	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.



Section 7, Item C.



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LANDSCAPE ARCHITECT:
TOMINA TOWNSEND, LA
PO BOX 3000, PMB 301
EDWARDS, CO 81632
P. 303.572.7876
TTownsend@ResortConceptsCO.com

MINTURN NORTH P.U.D.

LOT 34-LANDSCAPE PLAN

TOWN OF MINTURN, COLORADO

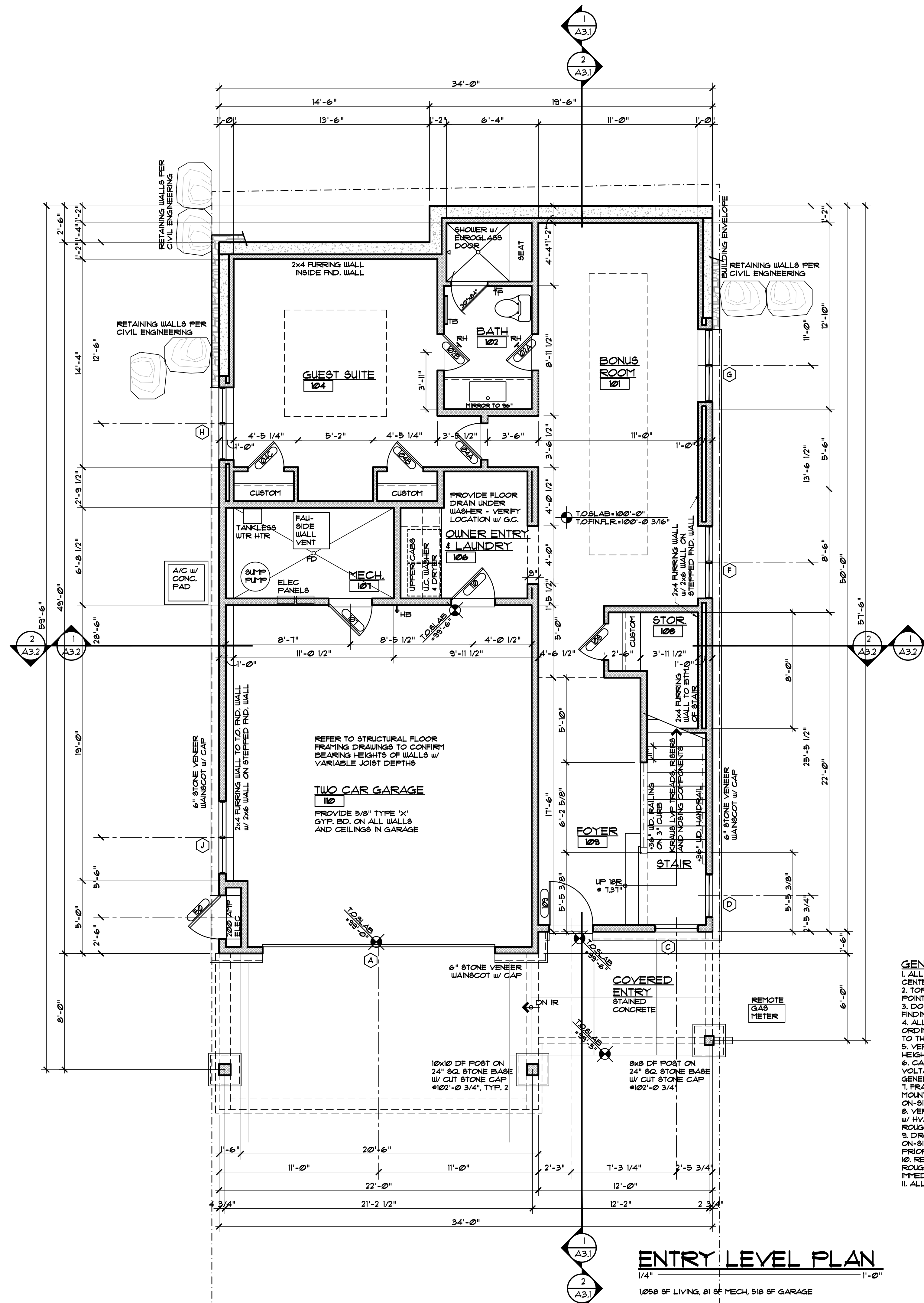
DESIGNED: TT
DRAWN: TT
CHECKED: RH
DATE: April 19, 2024
REVISIONS:
REVISED DRB SUBMITTAL: 5/22/24
-REVISED SNOW STORAGE PER LOT SIZE
-REVISED TREE QUANTITY PER LOT SIZE

DRB SUBMITTAL

SHEET TITLE:
LANDSCAPE
NOTES & DETAILS
SCALE: NOT TO SCALE
SHEET NUMBER:
L2

65

ISSUED		COMMENTS	
#	DATE	BY	
4	5-22-24	DUE	REV. DRB SUBMITTAL
3	4-19-24	DUE	DRB SUBMITTAL SET



EGGERS
ARCHITECTURE, INC.
PO BOX 798
KREMMLING, CO 80459
(970) 724-3411
CELL: (970) 409-9790
don.eggars@eggarsarchitecture.com

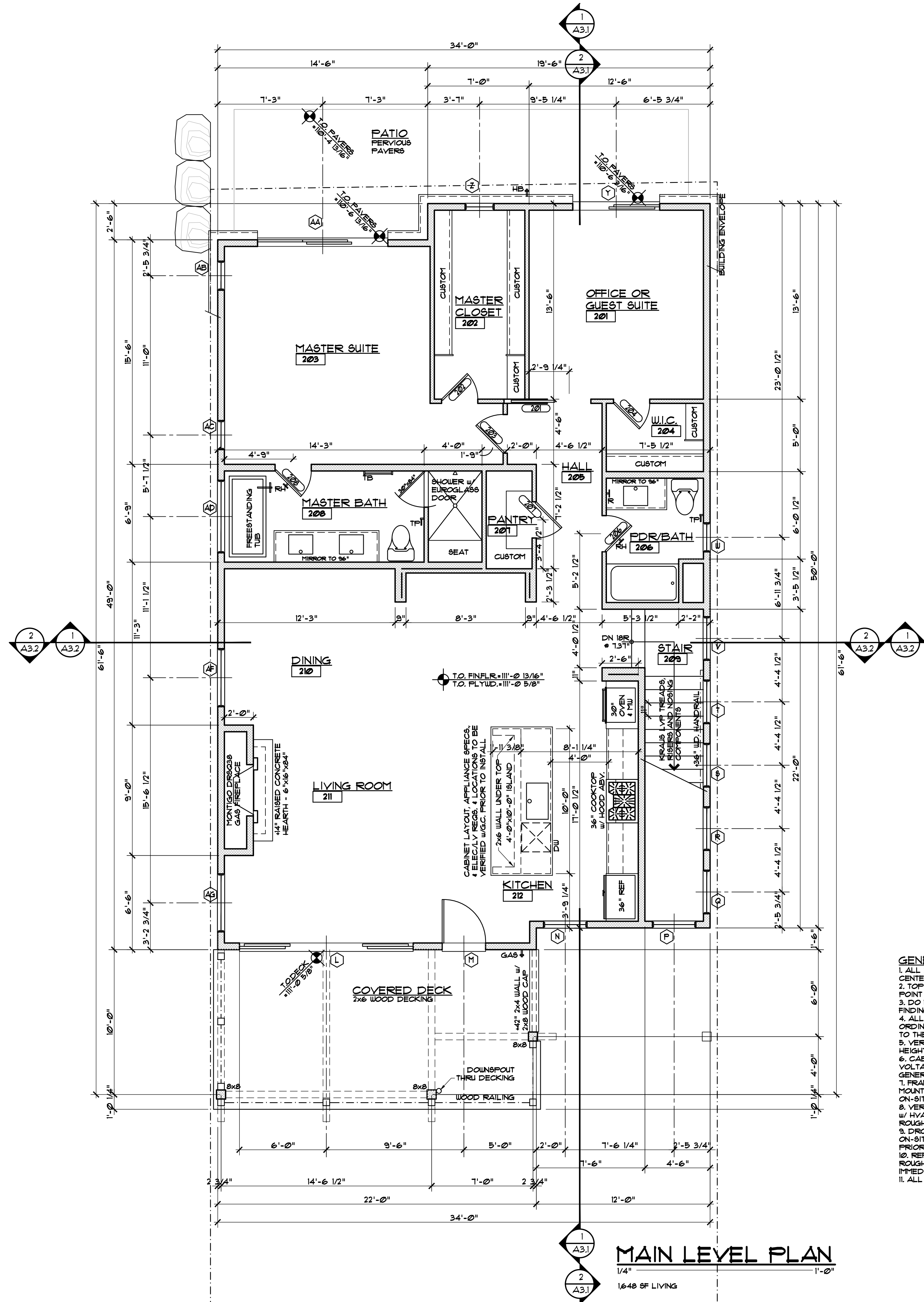
RESORT CONCEPTS
225 MAIN STREET, SUITE C-101
EDWARDS, COLORADO
(970) 926-1720

BABCOCK
LOT 34
MINTURN NORTH
MINTURN, COLORADO

PROJECT NO: 2412-22 L34

ISSUED		COMMENTS	
#	DATE	BY	
1			REV. DRG SUBMITTAL
2	5-22-24	DUE	DRG SUBMITTAL SET
3	4-19-24	DUE	

A1.2



DISCLAIMER: ALL PLANS, RENDERINGS, SPECIFICATIONS AND MARKETING MATERIALS ARE SUBJECT TO REVISIONS AND MODIFICATIONS AT DEVELOPERS SOLE DISCRETION DUE TO SITE SPECIFIC GRADING CONDITIONS, AVAILABILITY OF MATERIALS, AVAILABILITY OF LABOR, MANUFACTURER SUPPLY SHORTAGES, AND GOVERNMENTAL AGENCY CHANGES. ALL PLANS AND SPECIFICATIONS ARE SUBJECT TO REVISIONS AND CONDITIONS OF APPROVAL BY THE MINTURN NORTH DESIGN REVIEW BOARD, TOWN OF MINTURN CITY COUNCIL, TOWN OF MINTURN DESIGN REVIEW BOARD, TOWN OF MINTURN BUILDING PERMIT DEPARTMENT AND ALL OTHER APPLICABLE REGULATORY AGENCIES. ARTIST RENDERINGS HAVE BEEN PROVIDED FOR ILLUSTRATIVE AND MARKETING PURPOSES ONLY AND SHOULD NOT BE RELIED UPON AS A BASIS FOR PURCHASING. COLOR, MATERIALS AND DESIGN ELEMENTS ARE SUBJECT TO REFINEMENT AND REVISION WITHOUT NOTICE AT DEVELOPERS SOLE DISCRETION.

EGGERS
ARCHITECTURE, INC.
PO BOX 798 KREMMLING, CO 80459
(970) 724-3411 CELL: (970) 409-9790
don.eggars@eggarsarchitecture.com

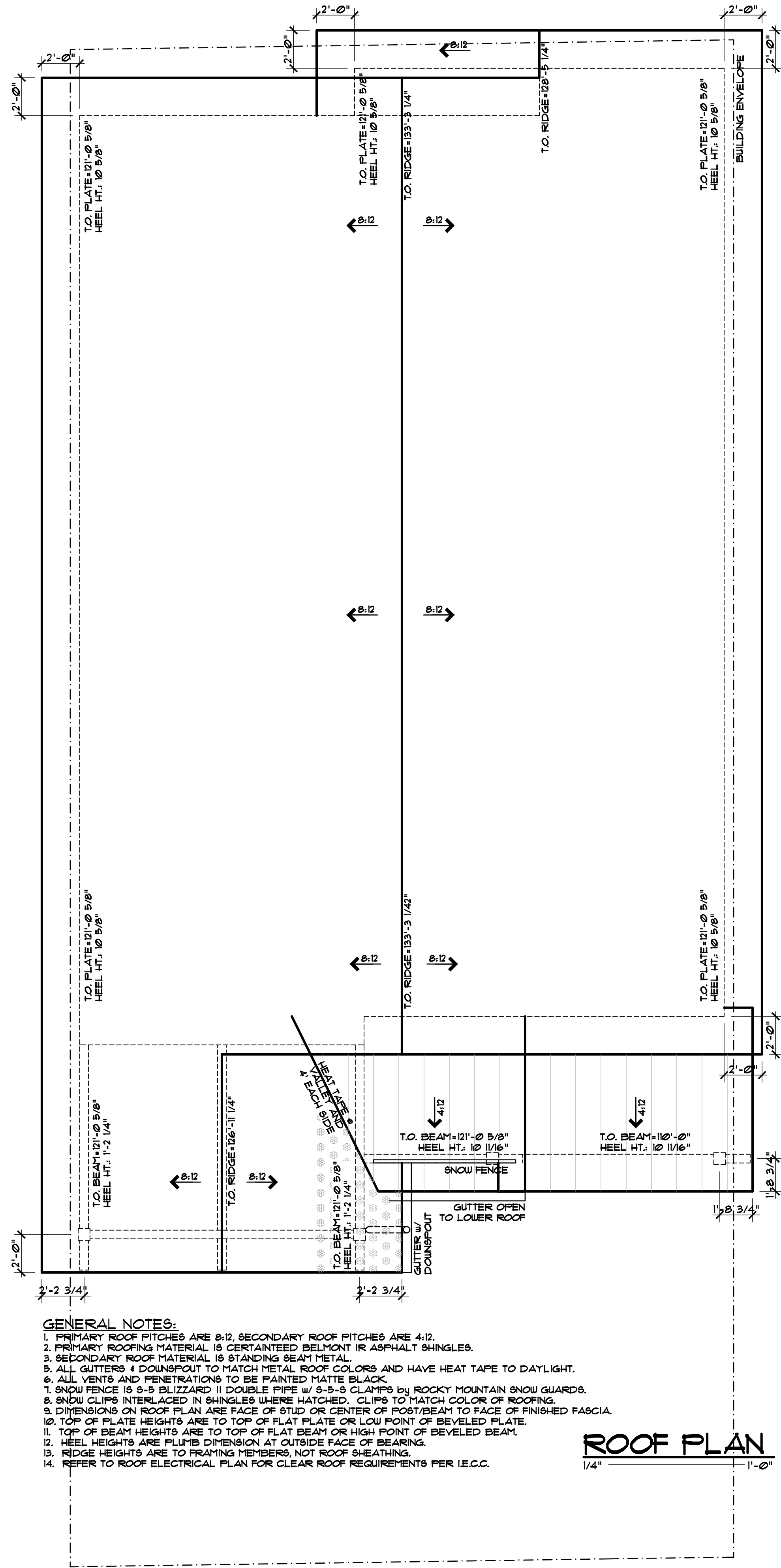
R RESORT CONCEPTS
225 MAIN STREET, SUITE C-101
EDWARDS, COLORADO
(970) 926-1720

BABCOCK
LOT 34
MINTURN NORTH
MINTURN, COLORADO

PROJECT NO: 2412-22 L34

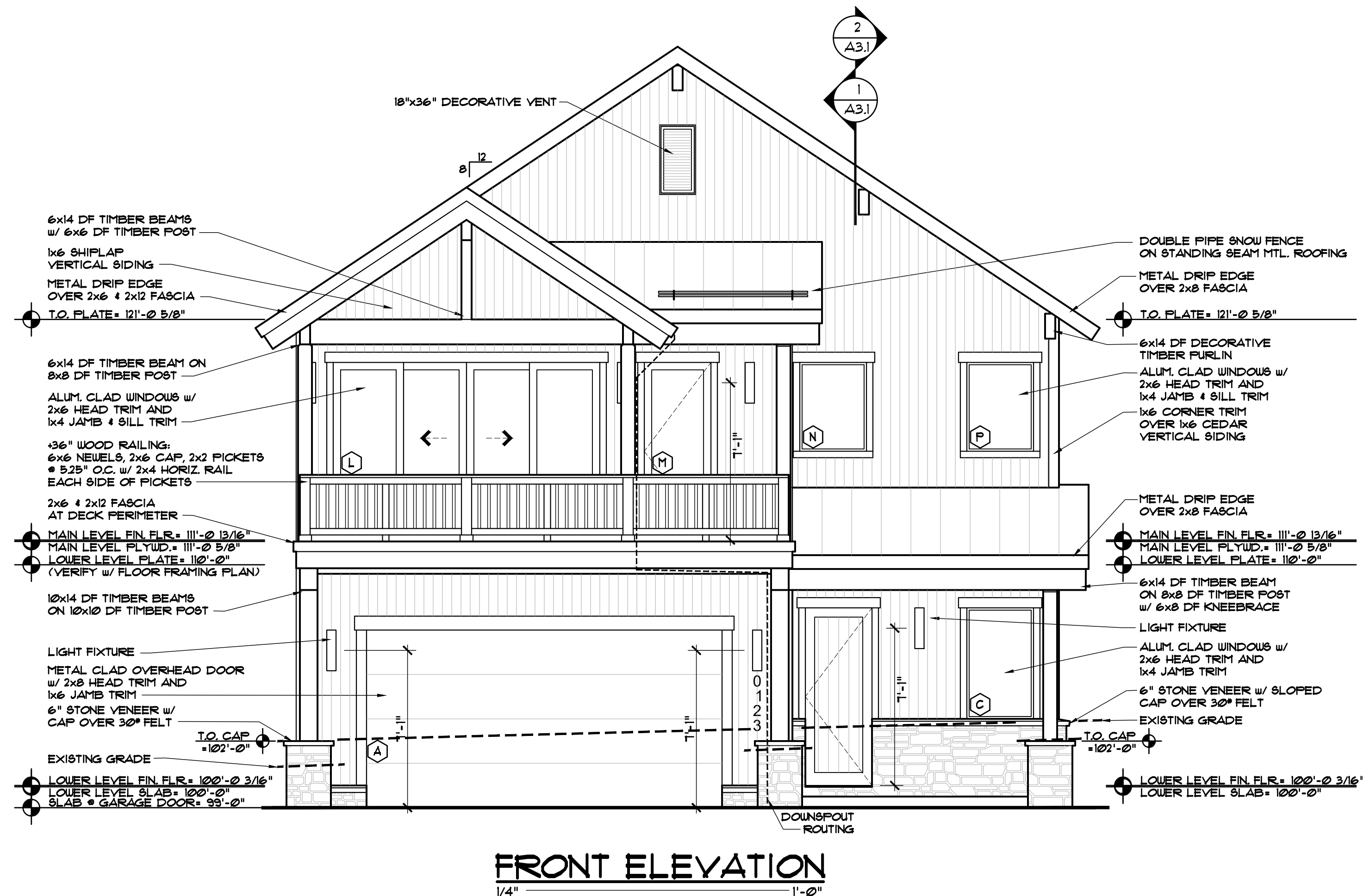
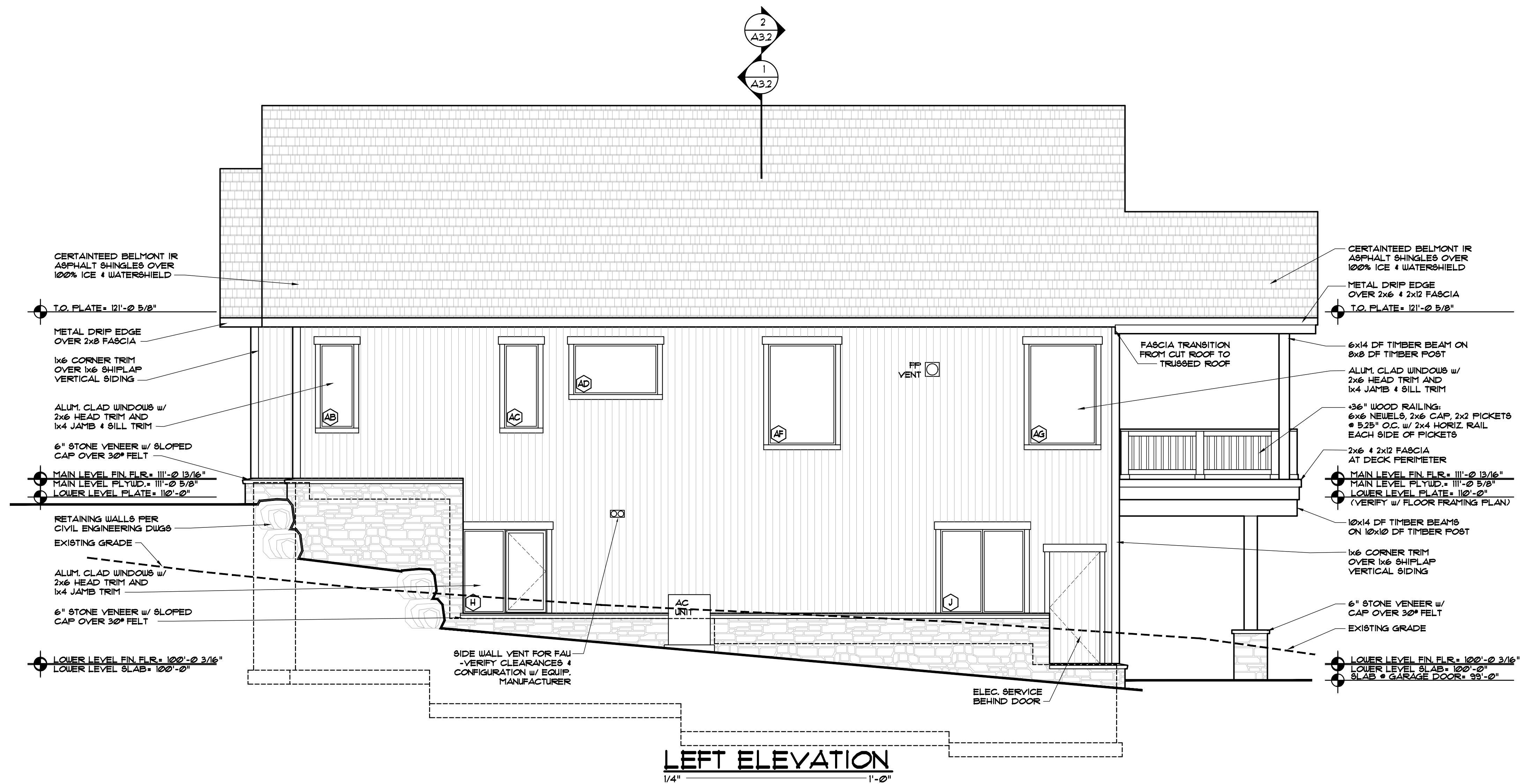
ISSUED		COMMENTS	
#	DATE	BY	
4	5-22-24	DUE	REV. DRB SUBMITTAL
3	4-19-24	DUE	DRB SUBMITTAL SET

A1.3



- GENERAL NOTES:**
1. PRIMARY ROOF PITCHES ARE 8:12, SECONDARY ROOF PITCHES ARE 4:12.
 2. PRIMARY ROOFING MATERIAL IS CERTAINTED BELMONT IR ASPHALT SHINGLES.
 3. SECONDARY ROOF MATERIAL IS STANDING SEAM METAL.
 5. ALL GUTTERS & DOWNSPOUT TO MATCH METAL ROOF COLORS AND HAVE HEAT TAPE TO DAYLIGHT.
 6. ALL VENTS AND PENETRATIONS TO BE PAINTED MATTE BLACK.
 7. SNOW FENCE IS 6-5 BLIZZARD II DOUBLE PIPE W/ 5-5-5-5 CLAMPS BY ROCKY MOUNTAIN SNOW GUARDS.
 8. SNOW CLIPS INTERLACED IN SHINGLES WHERE HATCHED. CLIPS TO MATCH COLOR OF ROOFING.
 9. DIMENSIONS ON ROOF PLAN ARE FACE OF STUD OR CENTER OF POST/BEAM TO FACE OF FINISHED FASCIA.
 10. TOP OF PLATE HEIGHTS ARE TO TOP OF FLAT PLATE OR LOW POINT OF BEVELED PLATE.
 11. TOP OF BEAM HEIGHTS ARE TO TOP OF FLAT BEAM OR HIGH POINT OF BEVELED BEAM.
 12. HEEL HEIGHTS ARE PLUMB DIMENSION AT OUTSIDE FACE OF BEARING.
 13. RIDGE HEIGHTS ARE TO FRAMING MEMBERS, NOT ROOF SHEATHING.
 14. REFER TO ROOF ELECTRICAL PLAN FOR CLEAR ROOF REQUIREMENTS PER I.E.C.C.

ROOF PLAN
1/4" = 1'-0"



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CELL: (970) 409-9790
don.eggars@eggarsarchitecture.com

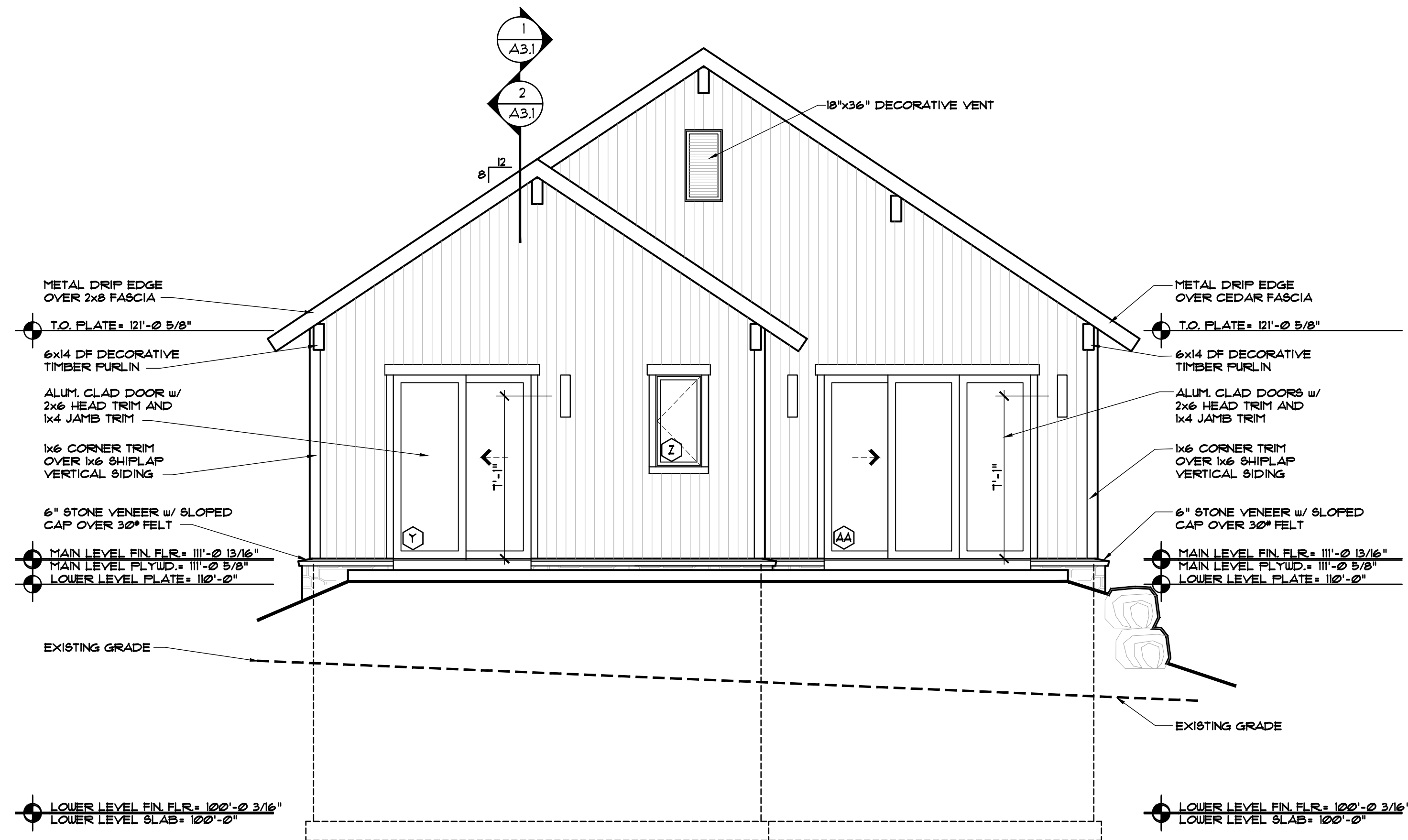
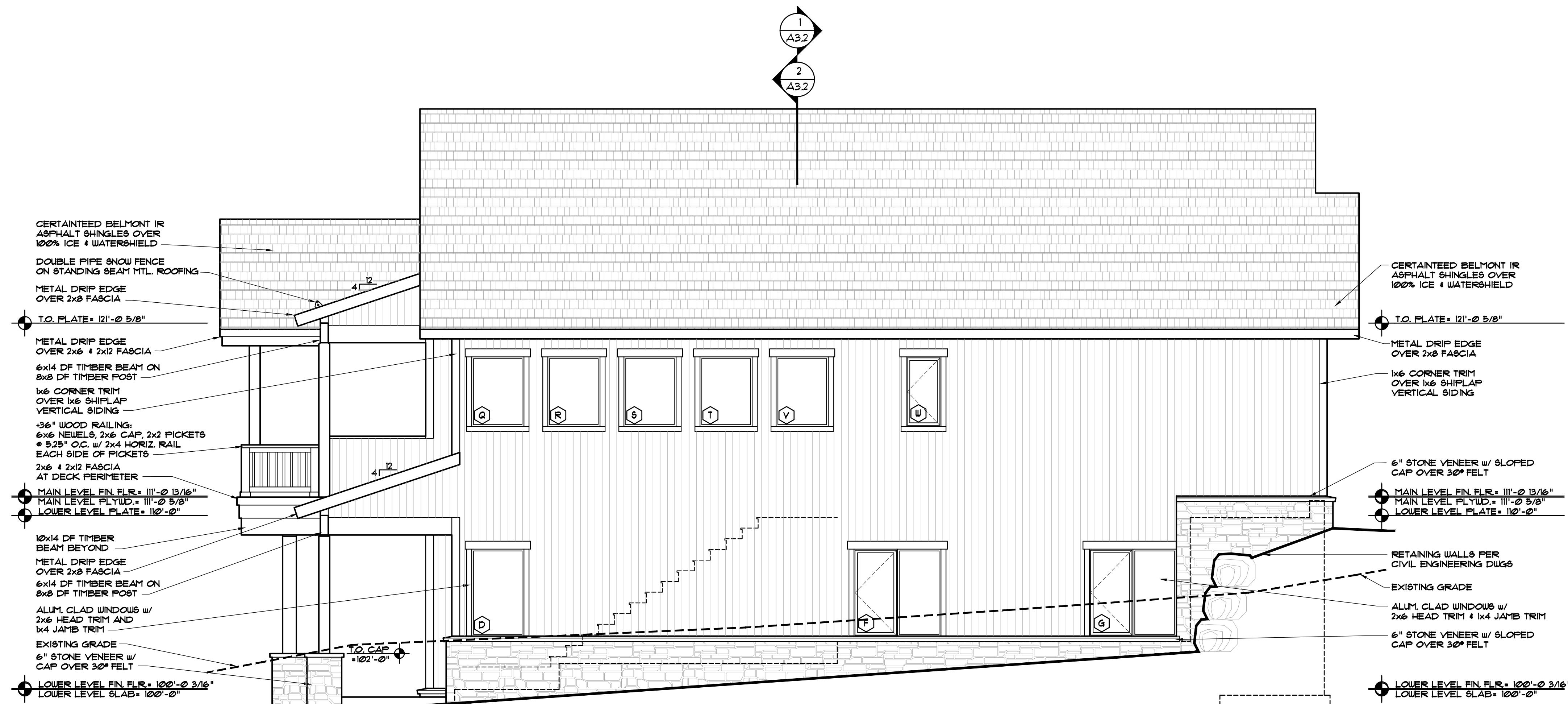
RESORT CONCEPTS
225 MAIN STREET, SUITE C-101
EDWARDS, COLORADO
(970) 926-1720

BABCOCK
LOT 34
MINTURN NORTH
MINTURN, COLORADO

PROJECT NO: 2412-22 L34

#	DATE	BY	COMMENTS	#	DATE	BY	COMMENTS
4	5-22-24			4	5-22-24		
3	4-19-24			3	4-19-24		

A2.1



EGGERS
ARCHITECTURE, INC.
PO BOX 798
KREMMLING, CO 80459
(970) 724-3411
CELL: (970) 409-9790
don.eggars@eggarsarchitecture.com

RESORT CONCEPTS
225 MAIN STREET, SUITE C-101
EDWARDS, COLORADO
(970) 926-1720

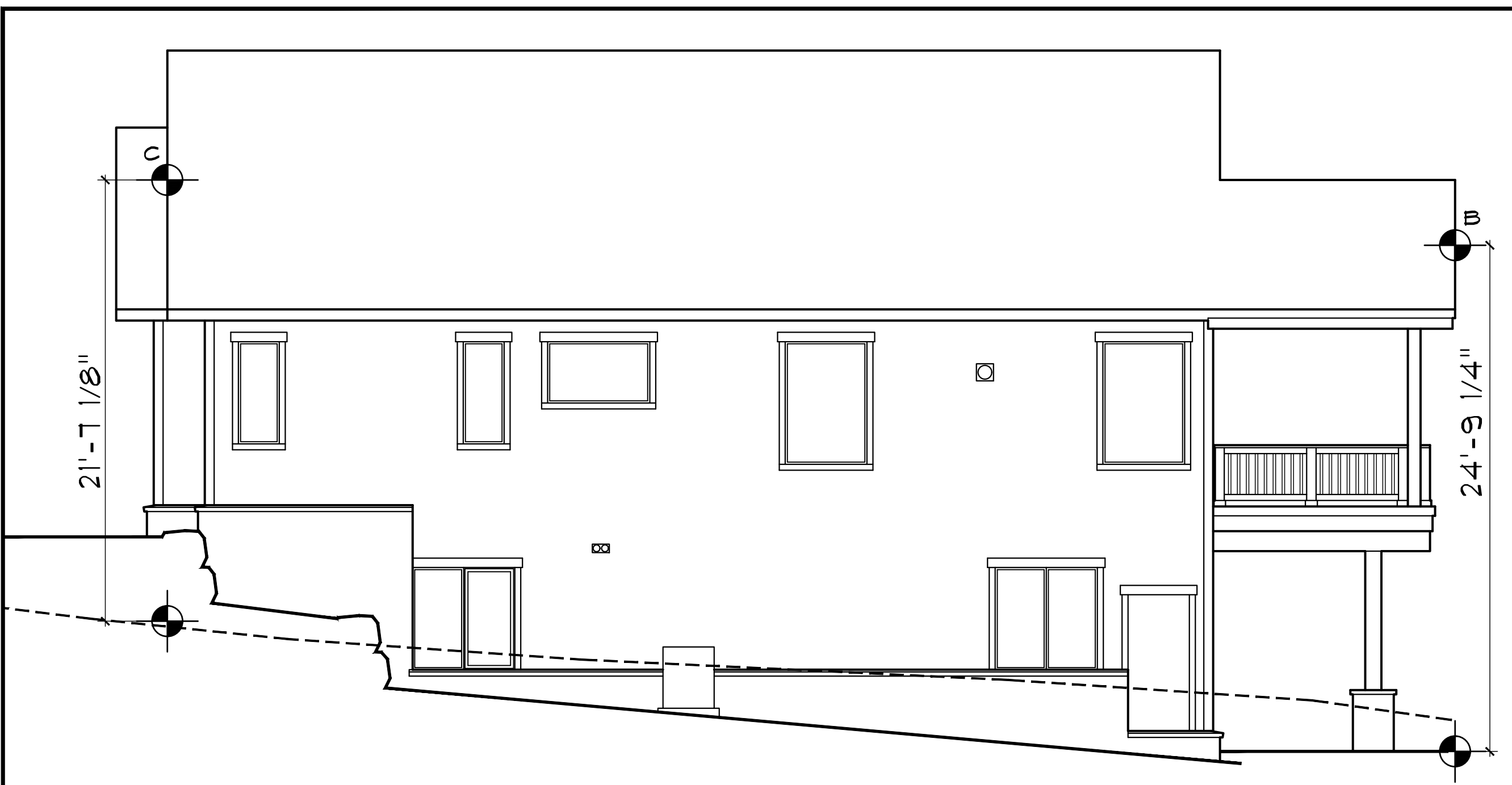
BABCOCK
LOT 34
MINTURN NORTH
MINTURN, COLORADO

PROJECT NO: 2412-22 L34

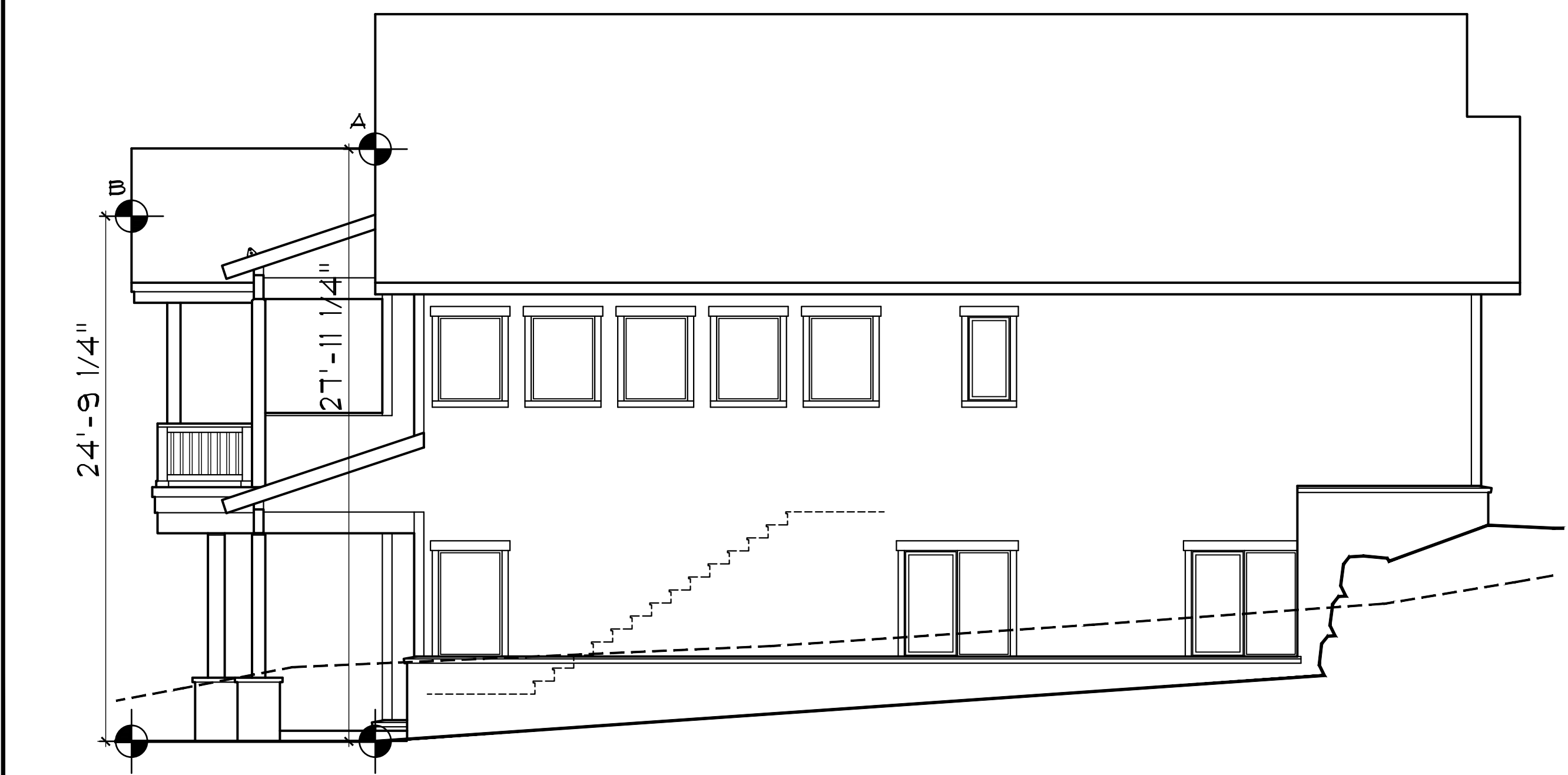
ISSUED	#	DATE	BY	COMMENTS	#	DATE	BY	COMMENTS
					4	5-22-24	DUE	REV. DRB SUBMITTAL
					3	4-19-24	DUE	DRB SUBMITTAL SET

A2.2

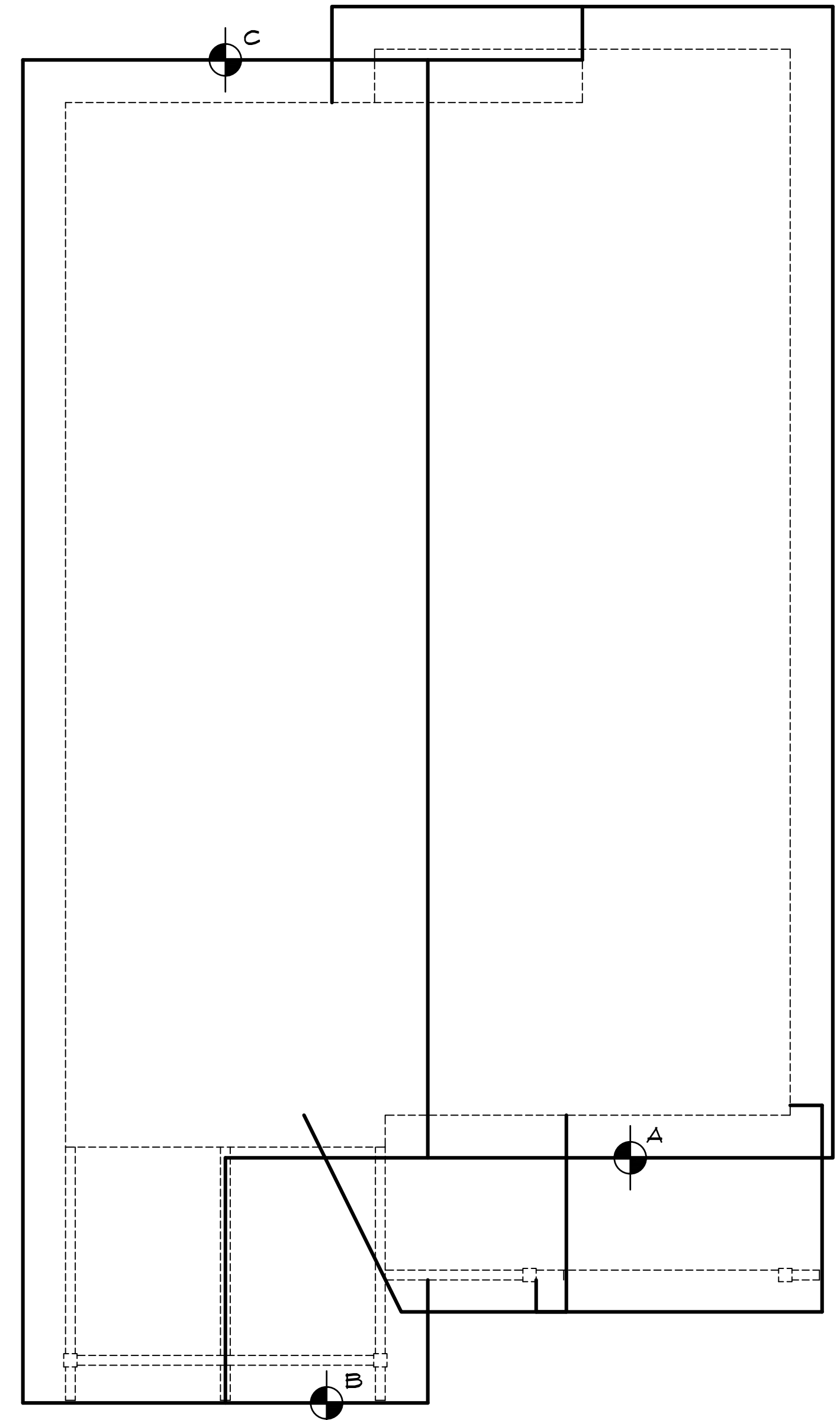
DISCLAIMER: ALL PLANS, RENDERINGS, SPECIFICATIONS AND MARKETING MATERIALS ARE SUBJECT TO REVISIONS AND MODIFICATIONS AT DEVELOPERS SOLE DISCRETION DUE TO SITE SPECIFIC GRADING CONDITIONS, AVAILABILITY OF MATERIALS, AVAILABILITY OF LABOR, MANUFACTURER SUPPLY SHORTAGES, AND GOVERNMENTAL AGENCY CHANGES. ALL PLANS AND SPECIFICATIONS ARE SUBJECT TO REVISIONS AND CONDITIONS OF APPROVAL BY THE MINTURN NORTH DESIGN REVIEW BOARD, TOWN OF MINTURN CITY COUNCIL, TOWN OF MINTURN DESIGN REVIEW BOARD, TOWN OF MINTURN BUILDING PERMIT DEPARTMENT AND ALL OTHER APPLICABLE REGULATORY AGENCIES. ARTIST RENDERINGS HAVE BEEN PROVIDED FOR ILLUSTRATIVE AND MARKETING PURPOSES ONLY AND SHOULD NOT BE RELIED UPON AS A BASIS FOR PURCHASING. COLOR, MATERIALS AND DESIGN ELEMENTS ARE SUBJECT TO REFINEMENT AND REVISION WITHOUT NOTICE AT DEVELOPERS SOLE DISCRETION.



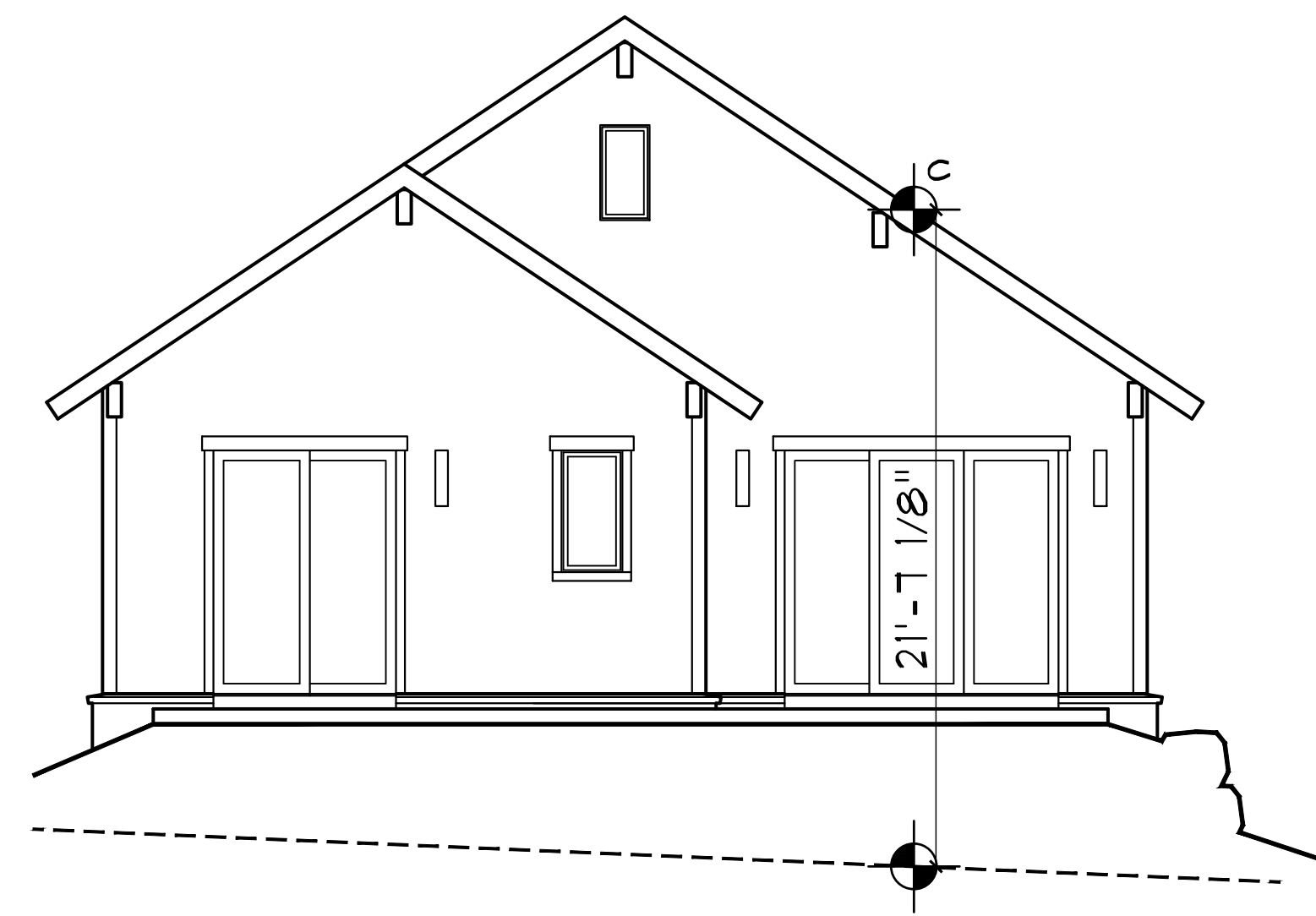
LEFT ELEVATION
1/4" = 1'-0"



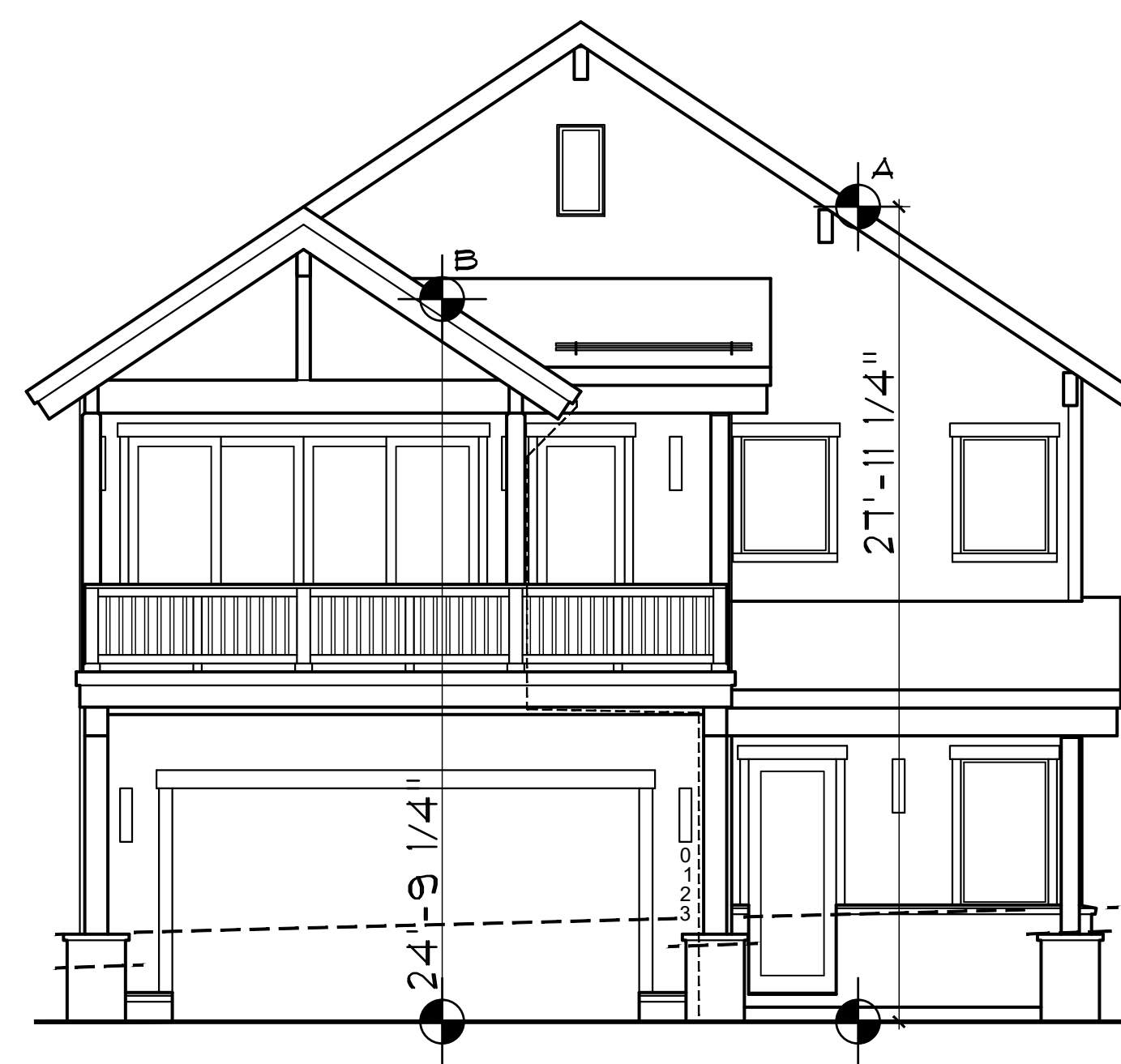
RIGHT ELEVATION
1/4" = 1'-0"



ROOF PLAN
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

EGGERS
ARCHITECTURE, INC.
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(970) 724-3411 CELL: (970) 409-9790
don.eggars@eggarsarchitecture.com

R RESORT CONCEPTS
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BABCOCK
LOT 34
MINTURN NORTH
MINTURN, COLORADO

PROJECT NO: 2412-22 L34

ISSUED		COMMENTS	
#	DATE	BY	
4	5-22-24	DUE	REV. DRB SUBMITTAL
3	4-19-24	DUE	DRB SUBMITTAL SET

BH1

DISCLAIMER: ALL PLANS, RENDERINGS, SPECIFICATIONS AND MARKETING MATERIALS ARE SUBJECT TO REVISIONS AND MODIFICATIONS AT DEVELOPERS SOLE DISCRETION DUE TO SITE SPECIFIC GRADING CONDITIONS, AVAILABILITY OF MATERIALS, AVAILABILITY OF LABOR, MANUFACTURER SUPPLY SHORTAGES, AND GOVERNMENTAL AGENCY CHANGES. ALL PLANS AND SPECIFICATIONS ARE SUBJECT TO REVISIONS AND CONDITIONS OF APPROVAL BY THE MINTURN NORTH DESIGN REVIEW BOARD, TOWN OF MINTURN CITY COUNCIL, TOWN OF MINTURN DESIGN REVIEW BOARD, TOWN OF MINTURN BUILDING PERMIT DEPARTMENT AND ALL OTHER APPLICABLE REGULATORY AGENCIES. ARTIST RENDERINGS HAVE BEEN PROVIDED FOR ILLUSTRATIVE AND MARKETING PURPOSES ONLY AND SHOULD NOT BE RELIED UPON AS A BASIS FOR PURCHASING. COLOR, MATERIALS AND DESIGN ELEMENTS ARE SUBJECT TO REFINEMENT AND REVISION WITHOUT NOTICE AT DEVELOPERS SOLE DISCRETION.

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Michael Boyd
Amanda Mire
Eric Rippeth
Darell Wegert

Design Review Board Hearing

Final Plan Review for New Home

0095 Miles End Lane

Hearing Date:	June 12, 2024
File Name and Process:	Single-Family Residence Final Plan Review
Owner/Applicant:	Bret & Carryn Burton
Representative:	Taylor Hermes & Rick Hermes, Minturn North Construction Company
Legal Description:	Subdivision: MINTURN NORTH PUD Lot: 26
Address:	0095 Miles End Lane
Zoning:	Game Creek Character Area – Minturn North PUD Zone District
Staff Member:	Madison Harris, Planner I
Recommendation:	Approval

Staff Report

I. Summary of Request:

The Applicants, Bret and Carryn Burton, request Final Plan review of a new, four-bedroom, 4,711 (gross) square foot single-family residence located at 0095 Miles End Lane in the Game Creek Minturn North PUD Zone District. The Applicant’s representatives, Taylor Hermes and Rick Hermes of the Minturn North Construction Company, have been proactive in meeting with Town staff prior to submitting plans for a new home and have provided a relatively complete and thorough set of site, landscaping, and architectural plans.

Proposed Plans

The plans show a two-story with a basement, four-bedroom structure with a maximum building height - measured to the midpoint of the roof – of 27 feet 6 and 7/8 inches measured to existing

grade which is the most restrictive, under the maximum allowable 28-foot limit within the Game Creek Minturn North PUD Zone District.

Additionally, the massing, forms, and scale of the proposed structure, as well as proposed exterior materials, textures and detailing also appear to achieve the design objectives of Appendix B – *Design Guidelines and Standards*, Minturn Municipal Code.

Parking is adequate, with four off-street spaces, two of which are provided within the garage and two in front of the garage. The plans show an unfinished basement, the main level with one bedroom, garage, and living room, and the upper level has the three remaining bedrooms.

According to staff’s analysis of development standards and dimensional limitations in Section III below the project appears to meet the Town’s standards.

Overall, staff believes that the Applicants and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review.

As a reminder, the Planning Commission has the option to review the proposal as a “conceptual” plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or the Commission may take action to approve, approve with conditions, or deny the Final Plans.

Staff is **recommending approval**.

II. Summary of Process and Code Requirements:

These plans are being presented by the Applicant as “Final Plan” level of review for a new single-family residential structure on a legally created lot within the Town of Minturn. This is a formal hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB’s concerns or feedback regarding suggested revisions to the project.

If the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve the plans without conditions, or to approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions, additions or updates to the plans.
No variances are required or requested at this time.

Design Review Process

Appendix ‘B’ of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection “d” below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

- (d) *Administrative procedure.*

- (1) Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.*

- (2) Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:*
 - a. The proposal's adherence to the Town's zoning regulations.*
 - b. The proposal's adherence to the applicable goals and objectives of the Community Plan.*
 - c. The proposal's adherence to the Design Standards.*

- (3) Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:*
 - a. That the proposal is in conformance with the Town zoning regulations.*
 - b. That the proposal helps achieve the goals and objectives of the Community Plan.*
 - c. That the proposal complies with the Design Standards.*

Staff suggests that the final plans for 0095 Miles End Lane meet the required findings ‘a,’ ‘b,’ and ‘c’ or subparagraph 3 – *Necessary findings*.

III. Zoning Analysis:

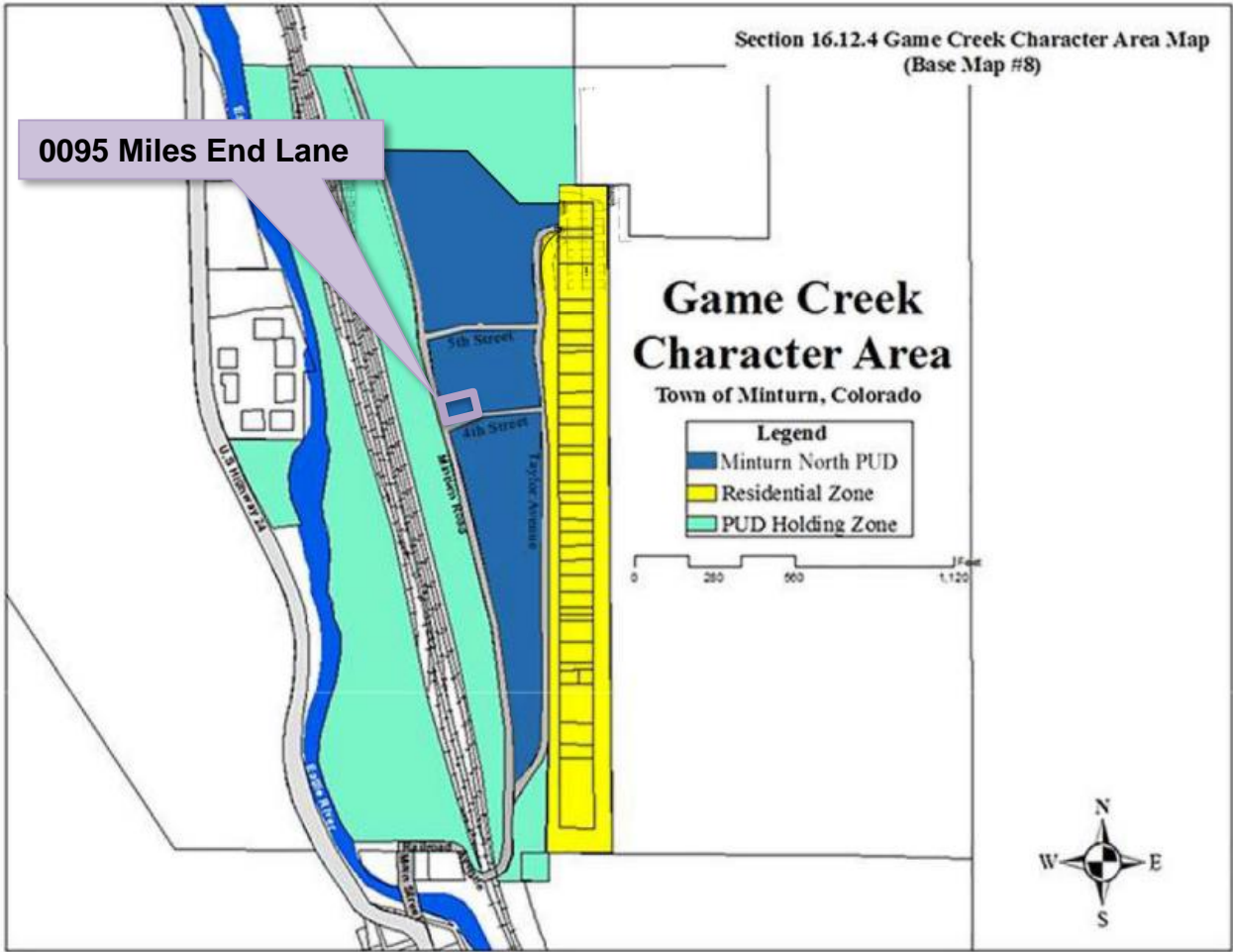
Zoning

The subject property is located within the “Game Creek Character Area” Minturn North PUD Zone District Planning Area 1 (PA-1), described as follows:

“The primary intent of this Planning Area is to create a market rate single-family residential use zone surrounded by common area and open space.”
- Ordinance No. 15 – Series 2023 Minturn North PUD Guide

Rest of page left intentionally blank

Figure 1: Game Creek Character Area Zoning Map



Dimensional Limitations and Development Standards

The following table summarizes the lot, development and dimensional standards and limitations applicable to the subject property pursuant the approved Final Development Plan for the Minturn North PUD.

Regulation	Allowed/Required	Proposed/Existing
Minimum Lot Area:	8,799.12 sq. ft.	8,799.12 sq. ft. (.202 ac.)
Maximum Building Height:	28 feet	27 feet – 6 7/8 inches
Minimum Front Setback:	20 feet	20 feet
Minimum Side Setback:	5 feet (15 feet along Fourth Street)	5+ feet (15 feet along Fourth Street)
Minimum Rear Setback:	10 feet	10+ feet

Maximum Lot Coverage:	50% (4,399.56 sq. ft.)	2,530 sq. ft. (28.75%) Proposed
Maximum Impervious Coverage:	60% (5,279.47 sq. ft.)	3,110 sq. ft. (35.34%) Proposed
Minimum Snow Storage Area:	5% of Lot Area (8,799.12 sq. ft. x .05 = 439.96 sq. ft.)	562 sq. ft.
Parking:	4 spaces	4 spaces

IV. Applicable Standards and Design Guideline Criteria:

Design

In addition to the development standards listed above, the following general design principles are provided for reference.

Final Site, Grading and Drainage Design

The Minturn Design Guidelines encourage designs that integrate or account for site topography and existing conditions, surrounding conditions, solar orientation, placement on lots relative to streets and natural features, snow storage and snow shed from roof structures.

Mass and Form

The following excerpt from the Design Guidelines is applicable to the proposed home design:

“c. Massing and Scale

“A simple central form with additive features shall be designed. This style creates visual interest and is appropriate for the community due to its compatibility with existing structures. Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

“Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.”

-Town of Minturn Design Guidelines

Staff Response:

Staff believes that the design and scale of the proposed structure incorporates a simple central form with additive features and is complementary to adjacent residential structures and character on nearby parcels. Staff further suggests that the scale of the project is appropriate and will not

overpower surrounding natural and built environments. Proposed roof forms and pitches, materials and textures are compatible and complementary to the surrounding built and natural environments.

V. Issues and Recommended Revisions:

Issues or Required Plan Revisions

Staff has identified no issues.

VI. Staff Recommendation:

Staff suggests that the Final Plans for 0095 Miles End Lane generally **comply** with or exceed the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix ‘B’) of the Minturn Town Code.

Staff is **recommending approval** of the plans.

May 23, 2024

Madison Harris
Town of Minturn Planner
PO Box 309
Minturn, CO 81645

Re: 95 Miles End Lane
Lot 26, Minturn North PUD
DRB 5.23.24 Resubmittal Review
Project No. 24-0001

Dear Madison:

We reviewed the plans entitled "Burton Residence; Lot 26, Minturn North, Minturn Colorado" prepared April 19, 2024 (Revised 5.22.24) by Eggers Architecture Inc. (Plans) included in the DRB application for 95 Miles End Lane. Our review was for compliance with the engineering requirements of Section 16-21-615: Design Review applications of the Minturn Municipal Code (MMC). Our comments are in **Red**.

MMC Section 16-21-615 Section C:

Section (C) (2) Boundary Survey:

Paragraphs a through e:

~~"Final Plat: Minturn North PUD" recorded March 4, 2024 (Reception No. 202402234) has been included as the Boundary Survey. This plat and associated title commitment were reviewed by the Town and the Plat is suitable as the Boundary Survey in this application.~~

Resolved.

Paragraphs f through i:

~~The plans reference the basis of elevation as the "Original Topographic Map of Minturn North" prepared by Gore Range Surveying LLC, Job No. 19-1203 prepared April, 1, 2021.~~

~~Sheet C1 of the Plans "Lot 26, Minturn North PUD; Site Grading and Drainage Plan" prepared April 19, 2024 by Boundaries Unlimited presents the proposed site grading and drainage. The basis of this map appears to be Sheet C.5 of the "Minturn North PUD Overall Grading and Drainage Plan; Construction Plan Set 5/1/24" prepared by Boundaries Unlimited Inc. (Sheet C.5)~~

~~The Town issued a Grading Permit based on the Construction Plan Set and Sheet C.5 shows the grading and utilities underway at Minturn North. This plan more accurately reflects the basis for design, and we recommend Sheet C.5 be included in the DRB plan set to fulfill the requirements of Paragraphs f through i.~~

Resolved.

VAIL VALLEY OFFICE

30 Benchmark Road, Suite 216 | PO Box 978 | Avon, CO 81620

DENVER OFFICE

9618 Brook Hill Lane | Lone Tree, CO 80124

970.949.5072 | info@inter-mtn.net

Madison Harris

Re: 95 Miles End Lane

DRB 5.23.24 Resubmittal Review

Project No. 24-0001

Section (C) (3) Site Plan:

~~We offer the following regarding Site Plan requirements:~~

- ~~e. Sheet C.5 shows the ground surface at the east building envelope line will be raised 2 to 3 feet.~~

~~Raising the ground elevation will not change the maximum roof height. Minturn Municipal Code (MMC) Section 16-2-20 defines building height: "Building height or height of building means the maximum vertical (plumb) distance measured at any point along the perimeter of the structure from the finished, natural, or established grade (whichever is more restrictive) and a point on the roof depending on the roof type. No portion of any structure included in building height measurements where height is measured to a mean or mid-point shall exceed the applicable building height limitation contained in this Code." Section 4.9 of the "Final PUD Development Plan Application" for Minturn North binds the development to this MMC requirement.~~

~~The ridge elevation shown on Sheet A1.4 is measured relative to the finished floor elevation. Calculations of roof height meeting MMC requirements should be added to the plan.~~

The revisions to Sheet BH1 measures Building Height from existing grade to provide Building height information for Planning Staff review. In this case, the existing ground elevation should be the most restrictive; however, for clarity we recommend both existing and proposed grade be shown.

Section (C) (4) Grading & Drainage Plan:

~~The Plans included in the DRB submittal fulfill Grading and Drainage Plan requirements and we take no exception to the design as presented.~~

Resolved

Review by Inter-Mountain Engineering is for general conformance with Minturn Municipal Code requirements and is not a peer review. Review by Inter-Mountain Engineering in no way relieves any responsibilities of design professionals associated with the project.

Please feel free to contact us if you have additional questions.

Respectfully,

Inter-Mountain Engineering (Town Engineer)



Jeffery M. Spanel PE

CC: Michelle Metteer, Scot Hunn



April 19, 2024
Town of Minturn Planning Commission
Attn: Madison Harris

RE: Burton Residence
Lot 26 Minturn North – 0095 Miles End Lane, Minturn, CO 81645
Design Review Letter of Intent

Madison:

The attached submittal includes a single-family residence within the Minturn North neighborhood. The home is subject to the Minturn North PUD Guide, Town of Minturn Code and all pertinent documents approved by the Town Council.

Lot 26 is located at 0095 Miles End Lane on a downhill sloping undisturbed vacant lot which drops in elevation approximately 4' through the building envelope. The home has been oriented facing west, parallel to the building envelope lines to maximize the site's primary view facing Meadow Mountain. The home has been designed as a patio residence due to the gently sloping topography. The architectural style is a mix of gable forms and low pitch shed roofs to create a composition of forms rather than a single massive structure. Overall, the structure has been nestled into the topography to balance the entry elevation with the west facing patio elevation of the home.

The home exterior is a balanced mix of stone and wood with appropriate architectural detailing which enhances the mountain vernacular. The landscaping is intentionally minimal in-keeping with the intent of the approved Minturn North PUD.

Lot 26 includes a minor easement encroachment on the southwest corner for the purpose of the Fourth Street sidewalk.

Should you have any questions or need clarifications, please don't hesitate to contact me.

Sincerely,

Taylor Hermes
512.468.3012



DESIGN REVIEW APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT

P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
 Phone: 970-827-5645 Fax: 970-827-5545 Email: planner@minturn.org

Project Name:			
Minturn North			
Project Location			
Street Address: 95 Miles End Lane			
Zoning: Residential		Parcel Number(s): 2103-262-30-027	
Application Request:			
Design review of new single-family home			
Applicant:			
Name: Taylor Hermes & Rick Hermes – Minturn North Construction Company, LLC			
Mailing Address: PO Box 2633 Edwards, CO 81632			
Phone: 970-926-1720		Email: THermes@ResortConceptsCO.com	
Property Owner:			
Name: Bret & Carryn Burton			
Mailing Address: PO Box 8623 Avon, CO 81620			
Phone: 970-688-1819 (Bret)		Email: BBurton@LIVSothebysRealty.com	
Required Information:			
Lot Size: 0.202 acres	Type of Residence (Single Family, ADU, Duplex) SFH	# of Bedrooms 4	# On-site Parking Spaces 4
# of Stories: 3	Snow storage sq ft: 257 sf	Building Footprint sq ft: 2,032 sf	Total sq ft Impervious Surface: 2,276 sf
Signature:			
Fee Paid: _____ Date Received: _____ Planner: _____			

DESIGN REVIEW APPLICATION

SUBMITTAL CHECKLIST REQUIREMENTS
(TO BE INCLUDED WITH APPLICATION)

Applicant Staff

☒☐

Application Fee (Non-Refundable application fee shall be collected)

- Design Review Board - \$200.00

☒☐

Letter of Intent

-- What is the purpose of the project including;

☒☐

- Relevant Background

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- Current Status of the Site

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- All Proposed Uses and Structures

☒☐

- How the Proposal Differs from what already exists

☒☐

- Information regarding Easements or Dedicated Tracts, etc.

☒☐

Vicinity Map

-- Directional Map indicating how to get to the Property involved in the request.

☒☐

- Zoning of Property

☒☐

Site Plan showing Precise Nature of the Proposed Use –

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To Scale

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- Scaled Drawings of Proposed Design of Structure

- Plan View and Sections

☒☐

- Building Heights – all 4 directions N/S/E/W

☒☐

- topography

☒☐

- Building Location and impervious coverage

☒☐

- Setbacks

☒☐

- Ordinary High Water Mark determined by the Town Engineer and paid for by Applicant

☒☐

- Parking Plan

☒☐

- Traffic Circulation

- Location and Width of Existing and Proposed Access Points

- Location of Existing Driveways and Intersections

☒☐

- Landscaped Area – Plan including existing and proposed vegetation.

☒☐

- Approximate Location of Existing Wooded Areas and Rock Outcrops

☒☐

- Location and Type of Existing and Proposed Easements

☒☐

- Utility Easements

☒☐

- Drainage Features

☒☐

- Snow Storage areas expressed in square feet as a percentage of the overall site area

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Preliminary Building Plans and Elevations

- Indicates Dimensions

☒☐

- General Appearance

☒☐

- Scale

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- Interior Plan for the Buildings

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Elements needed on the Site Plan

- Scale
- North Arrow
- Date Prepared
- Lot Dimensions, Area, Entire Site Acreage

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Architecture Details – Materials Board

- Windows – Placement and Color
- Doors – Placement and Color
- Siding – Type and Color
- Roof Material – Type and Color
- Paint Color

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Boundary Survey with a stamp and signature of a licensed surveyor

- Date of survey (survey date must be within 6 months of the project application date)
- Right-of-way and property lines; including bearings, distances and curve information.
- Labeled ties to existing USGS benchmark.
- Property boundaries to the nearest one-hundredth (.01) of a foot accuracy. Distances and bearings and a basis of bearing must be shown. Show existing pins or monuments found and their relationship to the established corner.
- All existing easements recorded with the County Clerk and Recorder. Include bearings and distances.
- Spot elevations at the edge of asphalt along the street frontage of the property at five-foot intervals, and a minimum of two (2) spot elevations on either side of the lot.
- Topographic conditions at two-foot contour intervals.
- Existing trees or groups of trees having trunks with diameters of four (4) inches or more.
- Rock outcroppings and other significant natural features.
- All utility meter locations, including any pedestals on site or in the right-of-way adjacent to the site and the exact location of existing utility sources.
- Environmental hazards where applicable (i.e., rock fall, wetlands and floodplain).
- Watercourse setbacks, if applicable. Show centerline and edge of stream or creek in addition to the required stream setback from the ordinary high water mark.

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Grading and Drainage Plan

- Existing contours. Existing two-foot contours must be provided for all disturbed areas. Contours for undisturbed areas must be shown when drainage in those areas impacts the disturbed area.
- Proposed contours. Proposed two-foot contours for all disturbed areas must be shown and must demonstrate positive drainage.
- Spot elevations. Show critical spot elevations, as necessary to demonstrate positive drainage and the direction of flow. Finished grade at all building corners must be provided.
- Top-of-foundation elevations. The top-of-foundation elevation must be shown on the plan and must be consistent with the foundation plan. For buildings on slopes of thirty percent (30%) or greater, elevations for stepped foundation walls must be shown.
- Drainage arrows. Include drainage arrows that show how stormwater will be routed around buildings and where stormwater will exit the property. Stormwater cannot cause damage to any adjacent property. Drainage and erosion control features needed to prevent damage must be included.
- Drainage facilities. Proposed drainage facilities, such as French drains or culverts, must be shown.
- Retaining walls. Retaining wall details are required and must include drainage details. Note top- and bottom-of-wall elevations at each location where the retaining wall steps up or down, and include the tallest point of the retaining wall.

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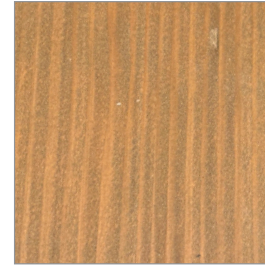
Terraces & Walkways
Stained Concrete



Exterior Stone
Colorado Buff



Fascia & Vertical Siding
Color: Custom Stain



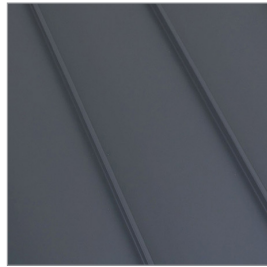
Vertical Siding, Columns & Soffits
1"x8" – Butt Joint, Smooth
Color: Custom Stain



Wood Columns per Plan
Color: Custom Stain



Roofing
Mfg: CertainTeed Belmont
Asphalt Shingles
Color: Black Granite



Roofing
Standing Seam Metal
Color: Dark Gray



Garage Door
9'-0" x 18'-0" Insulated Metal
Color: Matte Black



Windows and Doors
Mfg: Alan Bradley Cityline
Color: Matte Black



Exterior Lighting
Mfg: Hinkley Mist 22" Sconce
Color: Satin Black



Entry Door
Solid Wood
Color: Custom Stain



Entry Door Hardware
Emtek Lausanne Full Plate
with Helios Interior Lever
Color: Matte Black

PERSPECTIVE 1



DISCLAIMER: All plans, renderings, specifications and marketing materials are subject to revisions and modifications at Developers sole discretion due to site specific grading conditions, availability of materials, availability of labor, manufacturer supply shortages, and Governmental Agency changes. All plans and specifications are subject to revisions and conditions of approval by the Minturn North Design Review Board, Town of Minturn City Council, Town of Minturn Design Review Board, Town of Minturn Building Permit Department and all other applicable regulatory agencies. Artist renderings have been provided for illustrative and marketing purposes only and should not be relied upon as a basis for purchasing. Color, materials and design elements are subject to refinement and revision without notice at Developers sole discretion.

MINTURN NORTH - LOT 26

DRB DESIGN REVIEW - 3D VIEWS
MAY 22, 2024

EGGERS ARCHITECTURE, INC. AXIS DESIGN

RESORT CONCEPTS

PERSPECTIVE 2



DISCLAIMER: All plans, renderings, specifications and marketing materials are subject to revisions and modifications at Developers sole discretion due to site specific grading conditions, availability of materials, availability of labor, manufacturer supply shortages, and Governmental Agency changes. All plans and specifications are subject to revisions and conditions of approval by the Minturn North Design Review Board, Town of Minturn City Council, Town of Minturn Design Review Board, Town of Minturn Building Permit Department and all other applicable regulatory agencies. Artist renderings have been provided for illustrative and marketing purposes only and should not be relied upon as a basis for purchasing. Color, materials and design elements are subject to refinement and revision without notice at Developers sole discretion.

MINTURN NORTH - LOT 26

DRB DESIGN REVIEW - 3D VIEWS
MAY 22, 2024

EGGERS ARCHITECTURE, INC. AXIS DESIGN

RESORT CONCEPTS

MINTURN TOWN CERTIFICATE

This plat is approved by the town council of the Town of Minturn, County of Eagle, State of Colorado this 1 day of March, 2024, for filing with the Clerk and Recorder of the County of Eagle, Colorado, and for conveyance of the dedications shown hereon; subject to the provisions that approval in no way obligates the Town of Minturn for financing or construction of improvements of said lands, streets or easements dedicated to the public, except as specifically agreed to by the Town Council of the Town of Minturn.

WITNESS MY HAND AND THE SEAL OF THE TOWN OF MINTURN
TOWN COUNCIL OF THE TOWN OF MINTURN

BY:

MAYOR
TOWN OF MINTURN, COLORADO

ATTEST:

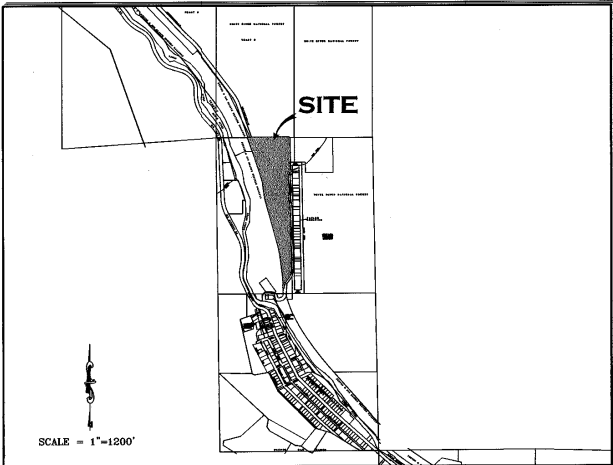
TOWN CLERK
TOWN OF MINTURN, COLORADO

LAND USE TABLE

LOT	USE	AREA	ADDRESS
1	SINGLE FAMILY	0.196 Acres	0246 Miles End Lane
2	SINGLE FAMILY	0.189 Acres	0236 Miles End Lane
3	SINGLE FAMILY	0.193 Acres	0226 Miles End Lane
4	SINGLE FAMILY	0.181 Acres	0216 Miles End Lane
5	SINGLE FAMILY	0.191 Acres	0206 Miles End Lane
6	SINGLE FAMILY	0.166 Acres	0196 Miles End Lane
7	SINGLE FAMILY	0.158 Acres	0186 Miles End Lane
8	SINGLE FAMILY	0.166 Acres	0176 Miles End Lane
9	SINGLE FAMILY	0.164 Acres	0166 Miles End Lane
10	SINGLE FAMILY	0.164 Acres	0156 Miles End Lane
11	SINGLE FAMILY	0.164 Acres	0146 Miles End Lane
12	SINGLE FAMILY	0.172 Acres	0136 Miles End Lane
13	SINGLE FAMILY	0.157 Acres	0126 Miles End Lane
14	SINGLE FAMILY	0.176 Acres	0112 Miles End Lane
15	SINGLE FAMILY	0.209 Acres	0096 Miles End Lane
16	SINGLE FAMILY	0.263 Acres	0070 Miles End Lane
17	SINGLE FAMILY	0.189 Acres	0243 Miles End Lane
18	SINGLE FAMILY	0.200 Acres	0221 Miles End Lane
19	SINGLE FAMILY	0.165 Acres	0201 Miles End Lane
20	SINGLE FAMILY	0.164 Acres	0185 Miles End Lane
21	SINGLE FAMILY	0.164 Acres	0171 Miles End Lane
22	SINGLE FAMILY	0.166 Acres	0155 Miles End Lane
23	SINGLE FAMILY	0.174 Acres	0141 Miles End Lane
24	SINGLE FAMILY	0.185 Acres	0125 Miles End Lane
25	SINGLE FAMILY	0.166 Acres	0111 Miles End Lane
26	SINGLE FAMILY	0.202 Acres	0095 Miles End Lane
27	SINGLE FAMILY	0.199 Acres	0083 Miles End Lane
28	SINGLE FAMILY	0.160 Acres	0071 Miles End Lane
29	SINGLE FAMILY	0.159 Acres	0057 Miles End Lane
30	SINGLE FAMILY	0.158 Acres	0043 Miles End Lane
31	SINGLE FAMILY	0.178 Acres	0031 Miles End Lane
32	SINGLE FAMILY	0.177 Acres	0017 Miles End Lane
33	SINGLE FAMILY	0.176 Acres	0003 Miles End Lane
34	SINGLE FAMILY	0.103 Acres	0036 Silver Star Trail
35	SINGLE FAMILY	0.103 Acres	0030 Silver Star Trail
36	SINGLE FAMILY	0.103 Acres	0024 Silver Star Trail
37	SINGLE FAMILY	0.103 Acres	0018 Silver Star Trail
38	SINGLE FAMILY	0.099 Acres	0008 Silver Star Trail
39	SINGLE FAMILY	0.129 Acres	0001 Silver Star Trail
Tract B	OPEN SPACE	2.958 Acres	
Tract C	Town Property	0.904 Acres	0052 Minturn Road (Not of PUD)
Tract D	Right of Way	0.966 Acres	Miles End Lane (North)
Tract D1	Right of Way	0.431 Acres	Miles End Lane (South)
Tract E	Open Space	1.220 Acres	
Tract F	Open Space	0.074 Acres	
Tract G	Right of Way	0.030 Acres	Silver Star Trail
Tract H	Right of Way	0.369 Acres	Fourth Street
TOTAL		13.485 ACRES	

ADDRESSES ARE FOR INFORMATIONAL PURPOSES ONLY

FINAL PLAT MINTURN NORTH P.U.D. Town of Minturn, County of Eagle, State of Colorado



PORTION OF SECTION 26,
TOWNSHIP 5 SOUTH, RANGE 81 WEST, 6th P.M.

GENERAL NOTES AND NOTES FOR CREATED EASEMENTS:

- The purpose of this Final Plat is to create various lots with building envelopes, open space areas and tracts, along with easements and Right of Ways, for the purposes described herein, all pursuant to Town of Minturn Land Use Regulations and Colorado Revised Statutes concerning the subdivision of land.
- Basis of Bearing: N27°04'04" W between monuments marking the C-W 16th Corner and the Northwest Corner Section 26, Township 5 South, Range 81 West, of the 6th P.M., shown and described herein. This bearing is based on the non-recorded stumped Land Survey Plat performed by Eagle Valley Survey and dated August 7, 2018.
- Survey Date: December, 2022 through July 2023.
- Legal description, easements and location of boundary lines are based on Old Republic National Title Insurance Company order number no. ABC30450645-9, dated August 03, 2023, Quitclaim Deed recorded December 02, 2014 as Reception No. 2014/00764 along with plat and survey monumentation referenced herein (to include the non-recorded stumped Land Survey Plat performed by Eagle Valley Survey and dated August 7, 2018). In regards to items referenced in schedule B II of this title commitment referenced above: Items 1-8, 10, 21, 24, 27 and 30 were not researched by surveyor or found to not contain easement restrictions or other survey or platting related issues.
- Item 9 - Pipe easement does not effect this platted parcel, falls in Northeast Quarter of the Northwest Quarter of Sec 26, T5S, R81W.
- Item 11&12- Ordinance and Dedication regarding Taylor Avenue. Depicted hereon by eastern Boundary, recorded in Book 248 at Page 178 and Book 248 at Page 452.
- Item 13 - 20 foot Sewer Easement, Does not effect this platted Parcel.
- Item 14 - Conveyance to State Department of Highways, Does not Effect these platted lands.
- Item 15 - Does not effect these Platted lands but references conveyance of portions of Taylor Addition to the Town of Minturn.
- Item 16 - effects subject parcel as it is an Annexation of property to Town of Minturn recorded in Book 333 at Page 349.
- Item 17 & 18- Do not effect subject Parcel.
- Item 19 - Conveyance described in Book 687 at Page 268 does not contain any easements not already defined herein.
- Item 20 - Does not effect these Platted lands. (k.a. subject parcel)
- Item 21 - Public Service Company of Colorado Easement, Reception No. 897924, falls off subject Parcel.
- Item 22 - Boundary Agreement recorded as Reception No. 200824177, called out as adjoiner herein.
- Item 25 & 26 - Parcel is subject to Mapping of Piping and Ditches in area of this subject parcel defined in document recorded as Reception No. 201703240, and 201703454 any rights or restrictions and exact location thereof not clear to surveyor from face of documents.
- Item 29 - Parcel is subject to 190440 foot wide easement for right of way from Denver Rio Grand Railroad to Eagle County, the location of which is not determinable from face of document. This Agreement has to be have been Terminated prior to the Recording of this Plat.
- These platted lands are subject to:
 - The Minturn North P.U.D. Guide recorded as Reception no. 202402232
 - The Declarations of Covenants, Conditions, Restrictions and Easements for Minturn North recorded as Reception No. 202402232
 - The non-exclusive Heritage Utility Easement as shown herein on page five (5) - on, over, under, above, across and through those areas designated herein as "Heritage Utility Easement" as defined in document recorded in the Eagle County Clerk and Recorder's Office as Reception No. 202316489.

PERTAINING TO HEREON CREATED EASEMENTS:

- the owner, hereby reserves for themselves their successors and / or assigns the following non-exclusive easements created herein:
 - a) a non-exclusive utility and drainage easement as shown herein - on, over, under, above, across and through those areas designated herein as "Utility and Drainage Easement" AND those areas of each lot outside of Building Envelopes, for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, including but not limited to waterlines and hydrants, sanitary sewerlines and manholes, telephone lines, cable television lines, gaslines, electrical lines, fiber optic lines, other communication lines and all related structures, together with right of ingress and egress.
 - b) a non-exclusive Utility Easement as shown herein - on, over, under, above, across and through those areas designated herein as "Access, Utility and Drainage Easement", and "Private Right of Way" to include, but not limited to, areas shown as Fourth Street, Tract D, Tract D1 and Tract G, for the purpose of i) Ingress and Egress, reasonable Pedestrian use including ingress and egress of persons including vehicle, foot, bicycle or small wheel use ii) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, and iii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto.
 - c) non-exclusive Access, Utility, and Drainage Easement - on, over, under, above, across and through those areas designated herein as "Access, Utility and Drainage Easement", and "Private Right of Way" to include, but not limited to, areas shown as Fourth Street, Tract D, Tract D1 and Tract G, for the purpose of i) Ingress and Egress, reasonable Pedestrian use including ingress and egress of persons including vehicle, foot, bicycle or small wheel use ii) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, and iii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto.

GENERAL NOTES CONTINUED:

- Continued...
 - Tract D, Tract D1, and Tract G, shall be open to Public vehicular and non-vehicular access.
 - Any Easement that permits public recreation on Private Property shall benefit from the provision of C.R.S. 33-41-101 et seq.
- FOLLOWING CREATED EASEMENTS DEDICATED TO TOWN OF MINTURN:
- the owner, hereby dedicates to the Town of Minturn the following non-exclusive easements:
 - a) non-exclusive Utility, Drainage, Parking, Snow Storage and Landscape Easement on, over, under, above, across and through those areas designated herein as "Utility, Drainage, Parking, Snow Storage & Landscape Easement" for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto, iii) reasonable local snow storage, iv) Landscaping use, and maintenance.
 - b) non-exclusive Utility, Drainage, Snow Storage, Landscape and Trail Easement on, over, under, above, across and through those areas designated herein as "Utility, Drainage, Snow Storage, Landscape and Trail Easement" for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto, iii) reasonable local snow storage, iv) Landscaping use, and maintenance along with v) Pedestrian and Trail use including reasonable ingress and egress of persons to include foot, bicycle or non-motorized use along with sidewalk or path construction, use and repair.
 - c) non-exclusive Utility, Drainage, Snow Storage and Landscape Easement on, over, under, above, across and through those areas designated herein as "Utility, Drainage, Snow Storage & Landscape Easement" for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto, iii) reasonable local snow storage and iv) Landscaping use, and maintenance.
 - d) non-exclusive Trail Easement on, over, under, above, across and through those areas designated herein as "Trail Easement" for the purpose of i) Pedestrian and Trail use including reasonable ingress and egress of persons to include foot, bicycle or non-motorized use along with sidewalk or path construction, use and repair.
 - e) a non-exclusive trail easement on, over, across, and through those strips of land depicted and designated herein as "Trail Easement" on sheet 5 of 5 for Pedestrian and Trail use including reasonable ingress and egress of persons to include foot, bicycle or non-motorized use along with path construction, use and repair.
 - Maintenance of any path improvements within the "Trail Easement" shall be at the sole cost and expense of the Minturn North P.O.A.
 - a non-exclusive utility and drainage easement as shown herein - on, over, under, above, across and through those areas designated herein as "Public Utility and Drainage Easement", as shown in Tract C, on sheet 2 of 5, for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, including but not limited to waterlines and hydrants, sanitary sewerlines and manholes, telephone lines, cable television lines, gaslines, electrical lines, fiber optic lines, other communication lines and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto.

SURVEYOR'S CERTIFICATE

I, Matthew S. Slagle, do hereby certify that I am a Professional Land Surveyor licensed to practice land surveying under the laws of the State of Colorado. That this Subdivision Plat is a true, correct and complete plat of MINTURN NORTH P.U.D., as laid out, platted, dedicated and shown hereon, that such plat was made from an accurate survey of said property by me and/or under my supervision and accurately shows the location and dimensions of the lots, easements and rights-of-way of said plat as the same are monumented upon the ground in compliance with applicable regulation governing the subdivision of land, that such plat is based upon the professional land surveyor's knowledge, information and belief, that it has been prepared in accordance with applicable standards of practice, and that such plat is not a guaranty or warranty, either expressed or implied.



Matthew S. Slagle PLS #4998
Professional Land Surveyor
State of Colorado

Revised 02-07-24 Edited C.O.D. MSS
Revised 12-02-23 Edited Note 6a MSS
Revised 11-14-23 minor text MSS
Revised 11-07-23 Certain Dimensions MSS
Revised 11-06-23 Tract C Easements MSS
Revised 11-03-23 Town Comments MSS
Revised 10-11-23 Town Comments MSS
Revised 10-06-23 Town Comments MSS
Revised 09-26-23 Added Note regarding Tract C MSS

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

CERTIFICATE OF DEDICATION AND OWNERSHIP

Know all men by these presents that Minturn Crossing LLC (being sole owner in fee simple, mortgagee or lienholder, of all that real property situated in the Town of Minturn, County of Eagle, State of Colorado) as follows:
Parcel 1, UPRR Subdivision according to the Final Plat thereof recorded on 13th day of December, 2023 as Reception No. 202316483 in the Office of the Eagle County Clerk and Recorder, Eagle County, Colorado. Containing 13.485 acres more or less; and has caused the same to be laid out, platted and subdivided, and designated as MINTURN NORTH P.U.D. subdivision in the Town of Minturn, County of Eagle, State of Colorado, and does hereby accept responsibility for the completion of the improvements required by this plat, and does hereby accept responsibility for the completion of the improvements required by this plat and does hereby dedicate and set aside the following tracts, parcels and easements as follows:
-To the Town of Minturn Tract H (Fourth Street) and the easements described and depicted hereon in General Note 7, together with associated public improvements.
-To Utility Providers such utility easements as depicted herein in which utility infrastructure is located.

OWNER: MINTURN CROSSING LLC
ADDRESS: 225 Main Street, Suite C-101
Edwards, Colorado 81632

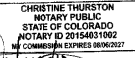
BY: RICK HERMES
TITLE: MANAGER

STATE OF COLORADO)
COUNTY OF EAGLE)

THE FOREGOING CERTIFICATE OF DEDICATION AND OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS 4 DAY OF MARCH, A.D. 2024 BY RICK HERMES AS MANAGER OF MINTURN CROSSING LLC.

MY COMMISSION EXPIRES 6 AUG 27

WITNESS MY HAND AND OFFICIAL SEAL



SUBORDINATION BY MORTGAGEE

Philip Hadley, being the holder of a promissory note secured by deed of trust recorded the 13th day of December 2023, at Reception No. 202316490, in the Office of the Clerk and Recorder of Eagle County, Colorado, hereby consents to the Subdivision of the lands set forth in this Final Plat of Minturn North P.U.D., and subordinates the lien represented by the aforesaid deed of Trust to the Dedication and restrictions as shown on this final plat and relative covenants, conditions and restrictions.

MORTGAGEE: Philip Hadley

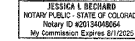
BY: Philip Hadley as Individual

STATE OF Colorado)
COUNTY OF Eagle)

The foregoing Subordination by Mortgagee was acknowledged before me this 26 day of February, 2024, By Philip Hadley as Individual

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES: Aug 01, 2025



CERTIFICATE OF TAXES PAID

I, the undersigned, do hereby certify that the entire amount of taxes and assessments due and payable as of January 1, 2023, upon all parcels of real estate described on this Plat are paid in full.

DATED THIS 1st OF March, A.D. 2024
ROSE DI
TREASURER OF EAGLE COUNTY

TITLE CERTIFICATE

LAND TITLE does hereby certify that it has examined the title to all lands shown upon this plat and that title to such is vested in MINTURN CROSSING LLC free and clear of all liens, taxes, and encumbrances, except DEED OF TRUST recorded 12/13/23, 202316490

DATED THIS 26th DAY OF February, A.D. 2024

AGENT:

CLERK AND RECORDER'S CERTIFICATE # 539

This Plat was filed for record in the Office of the Clerk and Recorder at 1:59 o'clock P.M., on this 4 day of March, A.D. 2024

CLERK AND RECORDER

BY: Alan J. Slagle

DEPUTY



SLAGLE SURVEY SERVICES
800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631
970.471.1499 Office matthew@slaglesurvey.com
www.SlagleSurvey.com

FINAL PLAT
MINTURN NORTH P.U.D.
Town of Minturn, County of Eagle, State of Colorado

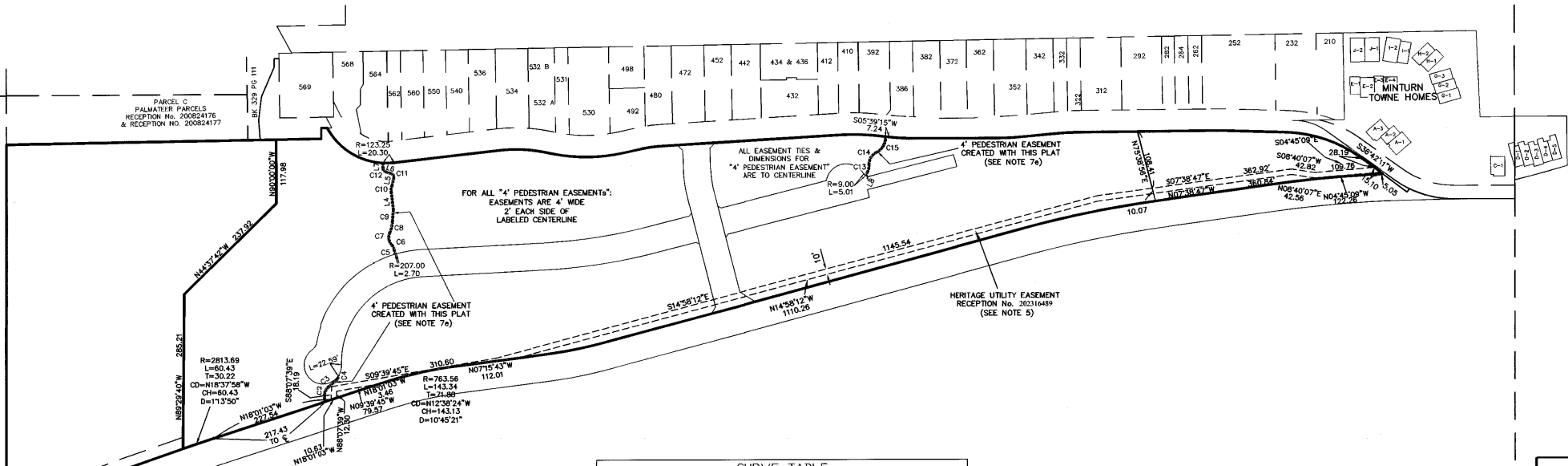
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SHEET 1 OF 5 DATE: 08-13-2023

Section 7, Item D.

Eagle County, CO
Regina O'Brien
Pg: 5
REC: \$55.00 DOC: \$0.00
03/04/2024
12:59:18 PM
2024022324

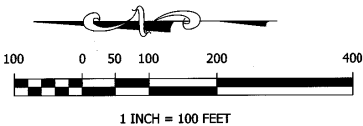
FINAL PLAT
MINTURN NORTH P.U.D.
Town of Minturn, County of Eagle, State of Colorado
SHEET 5 OF 5

ADDITIONAL EASEMENT DETAIL SHEET



LINE TABLE		
LINE	LENGTH	BEARING
L4	32.13	N63°15'49"E
L5	14.91	S77°04'30"E
L6	11.48	N18°26'21"E
L7	9.83	S89°36'46"E
L8	7.28	N62°43'18"W

CURVE TABLE						
CURVE	LENGTH	RADIUS	Tangent	Chord	Chd Bng	Delta
C2	29.35	22.25	17.26	27.27	S79°27'12"E	75°35'30"
C3	18.66	276.62	9.33	18.65	S39°43'32"E	3°51'51"
C4	9.01	8.52	4.97	8.59	S66°04'17"E	60°33'21"
C5	7.90	333.24	3.95	7.90	S79°46'25"W	12°13'31"
C6	11.08	18.95	5.70	10.93	N63°41'55"E	33°30'33"
C7	24.01	20.01	13.69	22.60	S81°19'10"W	68°45'04"
C8	20.65	49.15	10.48	20.50	S76°20'24"E	24°04'13"
C9	22.78	236.37	11.40	22.77	S85°36'54"E	5°31'15"
C10	12.77	20.27	6.60	12.56	S83°06'39"E	36°05'40"
C11	9.29	7.31	5.39	8.68	N57°19'55"E	72°46'53"
C12	8.09	6.45	4.68	7.57	N54°28'07"E	71°50'14"
C13	15.45	30.72	7.89	15.28	S77°07'28"E	28°48'21"
C14	27.14	23.79	15.26	25.69	S58°50'20"E	65°22'36"
C15	35.79	30.20	20.33	33.73	S60°06'18"E	67°54'31"

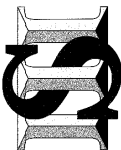


Matthew S. Slagle PLS 34998
Professional Land Surveyor
State of Colorado

SLAGLE SURVEY SERVICES
800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631
970.471.1499 Office matthew@slaglesurvey.com
www.SlagleSurvey.com

FINAL PLAT
MINTURN NORTH P.U.D.
Town of Minturn, County of Eagle, State of Colorado

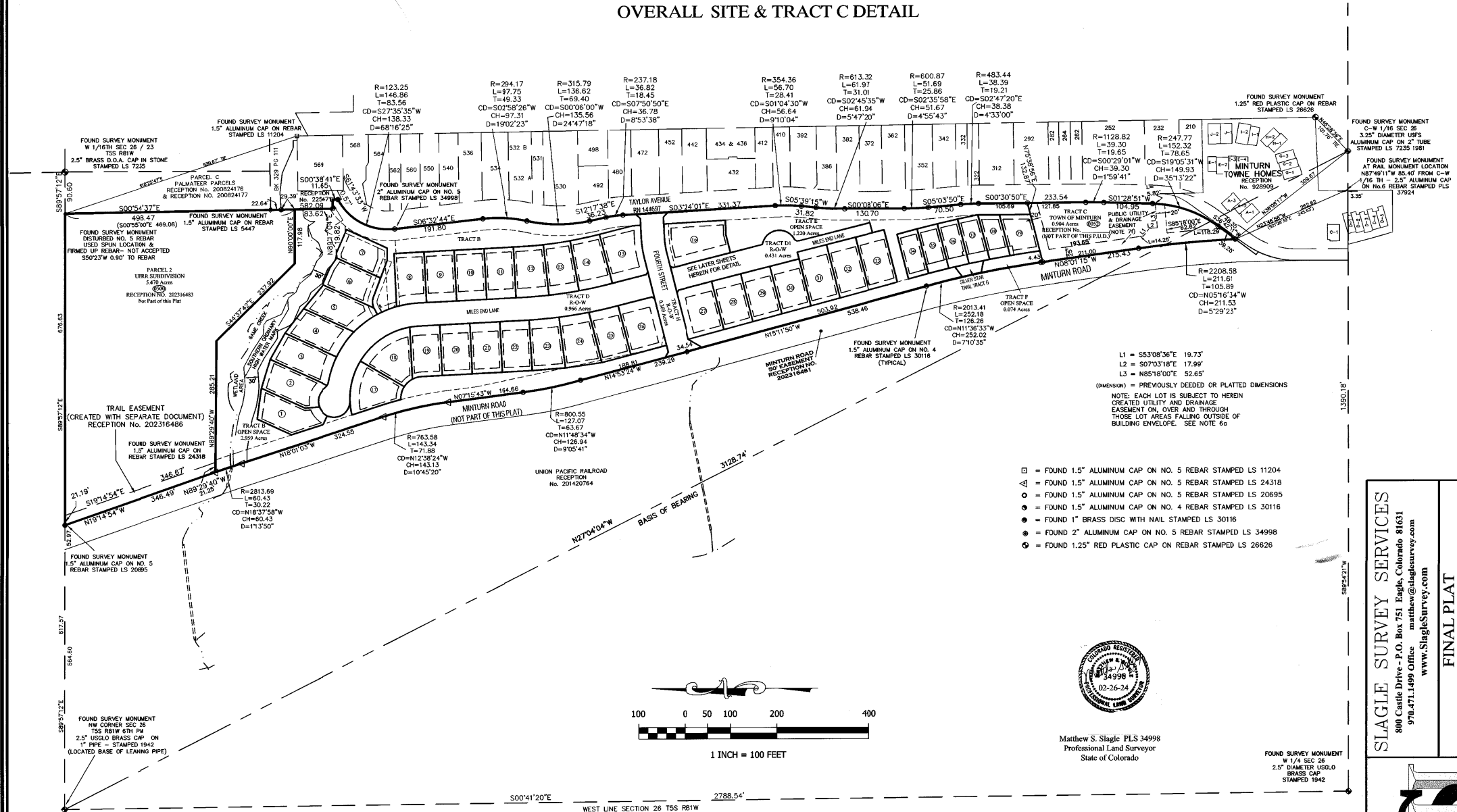
DRAWN BY:	MSS	DATE:	08-13-2023
CHECKED BY:	MSS	DATE:	08-13-2023
DATE:	2/20/25	DATE:	08-13-2023



NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect, in no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

FINAL PLAT
MINTURN NORTH P.U.D.
Town of Minturn, County of Eagle, State of Colorado
SHEET 2 OF 5

OVERALL SITE & TRACT C DETAIL



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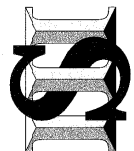
Matthew S. Slagle PLS 34998
Professional Land Surveyor
State of Colorado

FOUND SURVEY MONUMENT
W 1/4 SEC 26
2.5" DIAMETER USGLO
BRASS CAP
STAMPED 1942

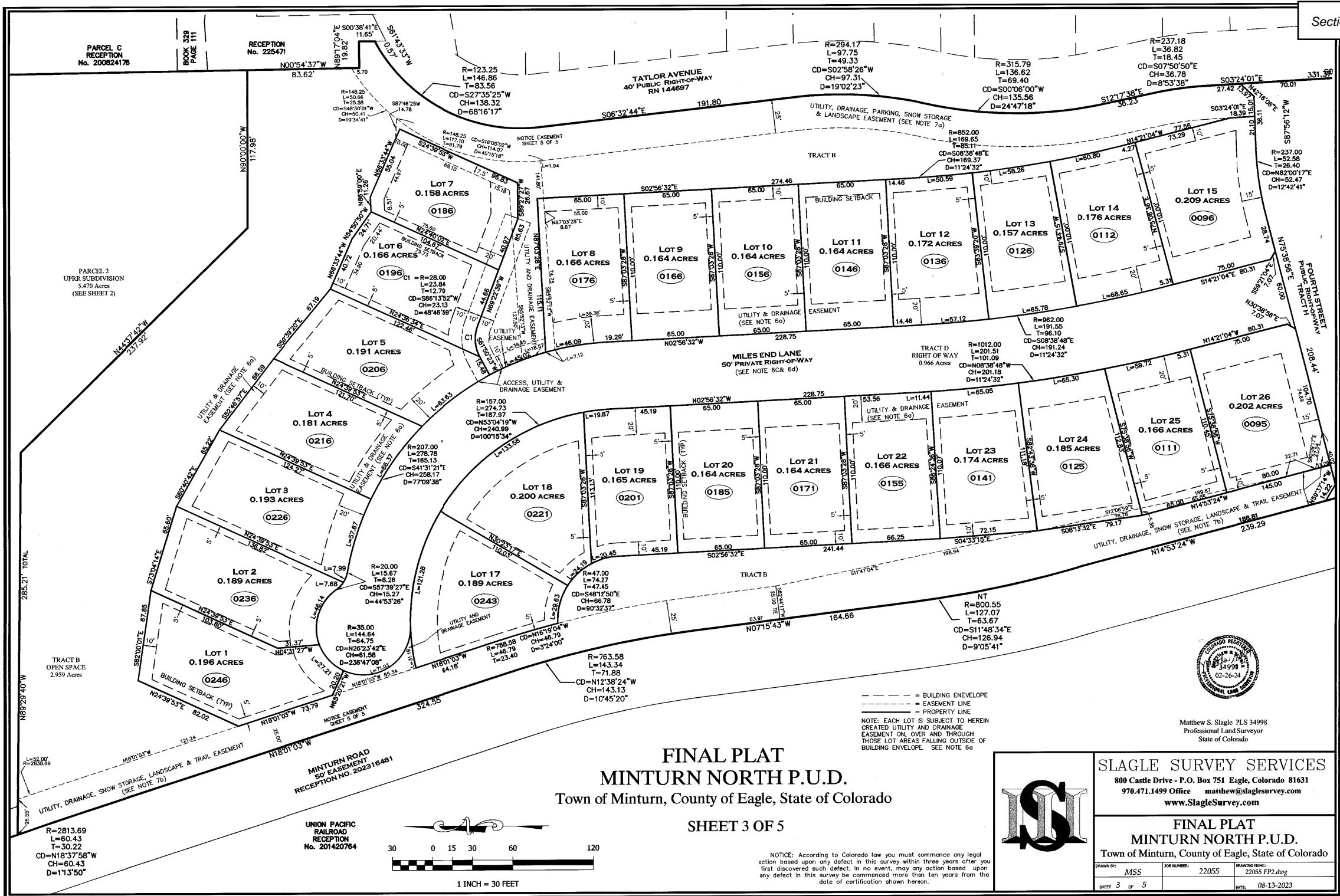
SLAGLE SURVEY SERVICES
800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631
970.471.1499 Office matthew@slaglesurvey.com
www.SlagleSurvey.com

**FINAL PLAT
MINTURN NORTH P.U.D.
Town of Minturn, County of Eagle, State of Colorado**

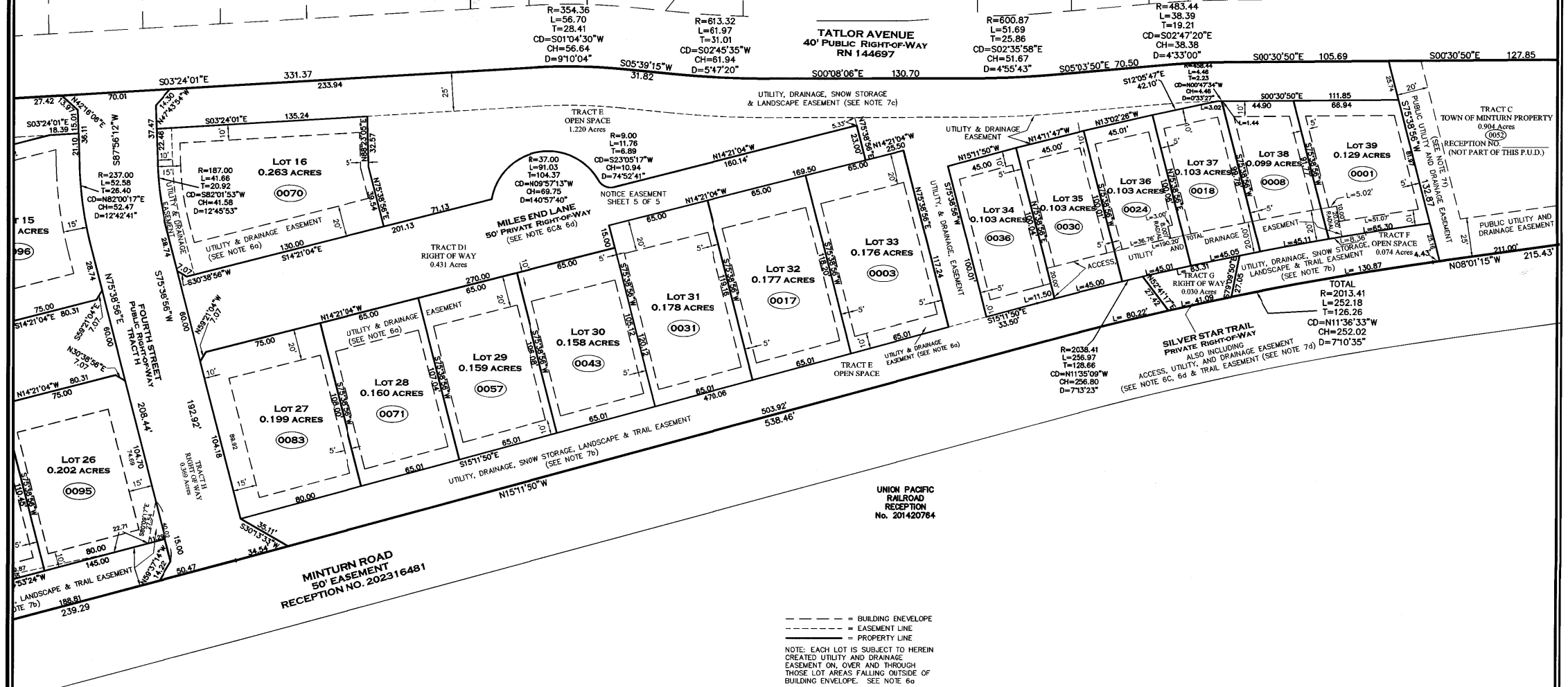
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SHEET 2 OF 5		DATE: 08-13-2023



91



FINAL PLAT
MINTURN NORTH P.U.D.
Town of Minturn, County of Eagle, State of Colorado
SHEET 4 OF 5

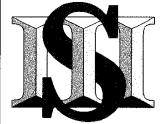
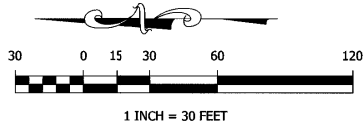


UNION PACIFIC
RAILROAD
RECEPTION
No. 201420764

--- = BUILDING ENVELOPE
- - - = EASEMENT LINE
___ = PROPERTY LINE
NOTE: EACH LOT IS SUBJECT TO HEREIN
CREATED UTILITY AND DRAINAGE
EASEMENT ON, OVER AND THROUGH
THOSE LOT AREAS FALLING OUTSIDE OF
BUILDING ENVELOPE. SEE NOTE 6a



Matthew S. Slagle P.L.S. 34998
Professional Land Surveyor
State of Colorado



SLAGLE SURVEY SERVICES
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970.471.1499 Office matthew@slaglesurvey.com
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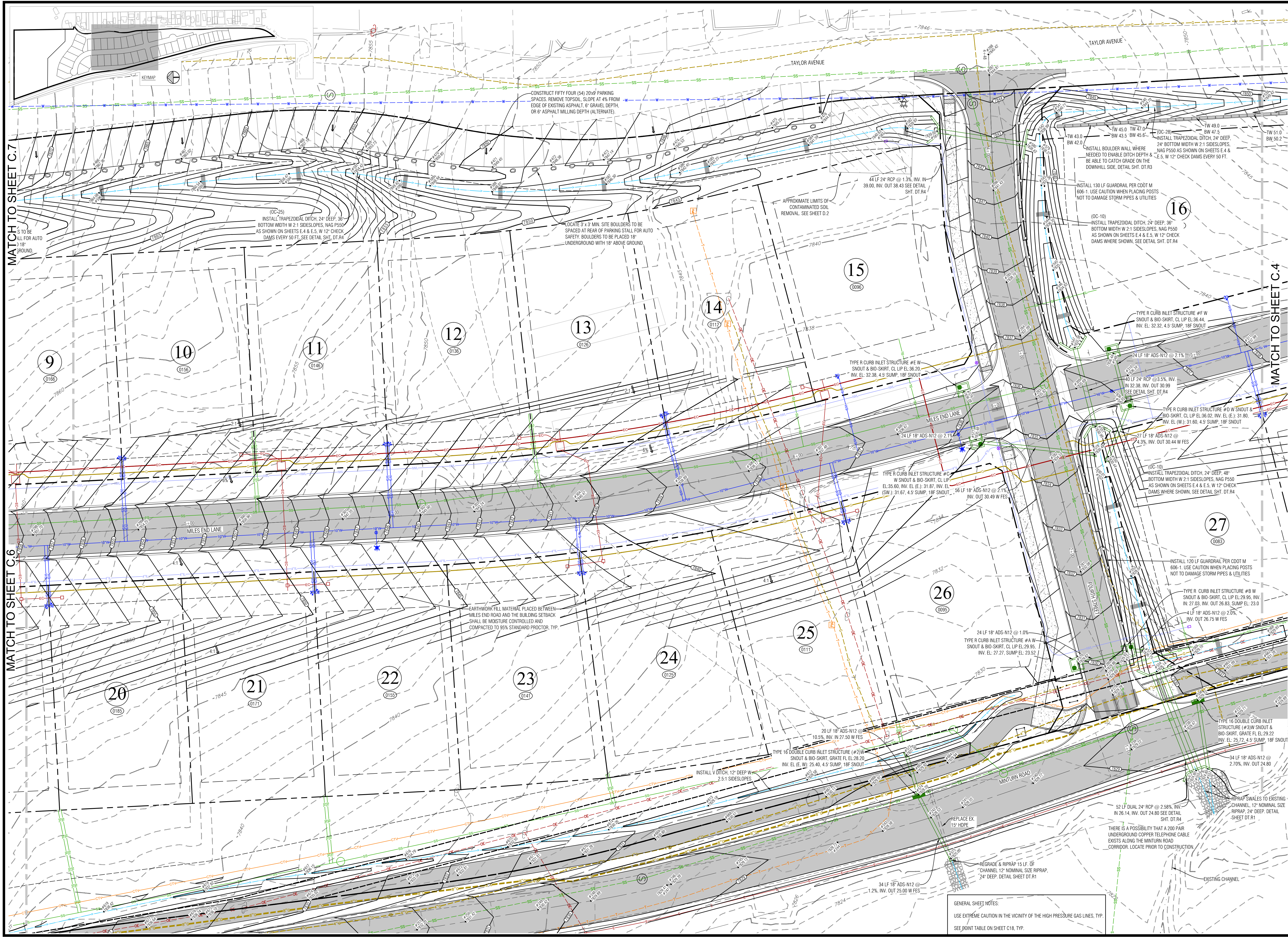
FINAL PLAT
MINTURN NORTH P.U.D.
Town of Minturn, County of Eagle, State of Colorado

DRAWN BY: MISS	JOB NUMBER: 22055	DRAWING NAME: 22055 FP2.dwg
SHEET 4 OF 5	DATE: 08-13-2023	

NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

202402234

N:\PROJECTS\2022\22038-Minturn North\dwg\22038-C-Grading.dwg 5/15/2024 11:34 AM



Section 7, Item D.

Civil Engineering
Surveying
& Beyond

Boundaries Unlimited Inc.

923 Cooper Ave., Ste. 201
Glenwood Springs, CO 81601
(T) 970.945.5252
www.bu-inc.com

Subsurface Utility Engineering (SUE)
Required Project: TBD
Firm: TBD
Job #: TBD
Date: TBD
If "Yes", SUE Certification by:
Engineer or Surveyor Seal

COLORED LICENSE
19082
PROFESSIONAL ENGINEER

Client Information:
MINTURN NORTH LAND COMPANY LLC
PO BOX 2633
EDWARDS, CO 81632
970 926-1720

NORTH

Scale: 1" = 20'

811

Know what's below.
Call before you dig.

TOWN OF MINTURN, COLORADO

Minturn North P.U.D.
Overall Grading and Drainage Plan
Construction Plan Set 5/1/24

By	Revision	Date
	1	
	2	
	3	
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	9	

PROJECT NO.
22038

Designer:
PAH

Checker:
BUJ

Date:
12/26/22

Sheet
C.5

File Name: 22038 c-grading.dwg

93

Subsurface Utility Engineering (SUE)
Required Project: **TBD**
If "Yes", SUE Certification by:
Firm: **TBD**
Job #: **TBD**
Date: **TBD**



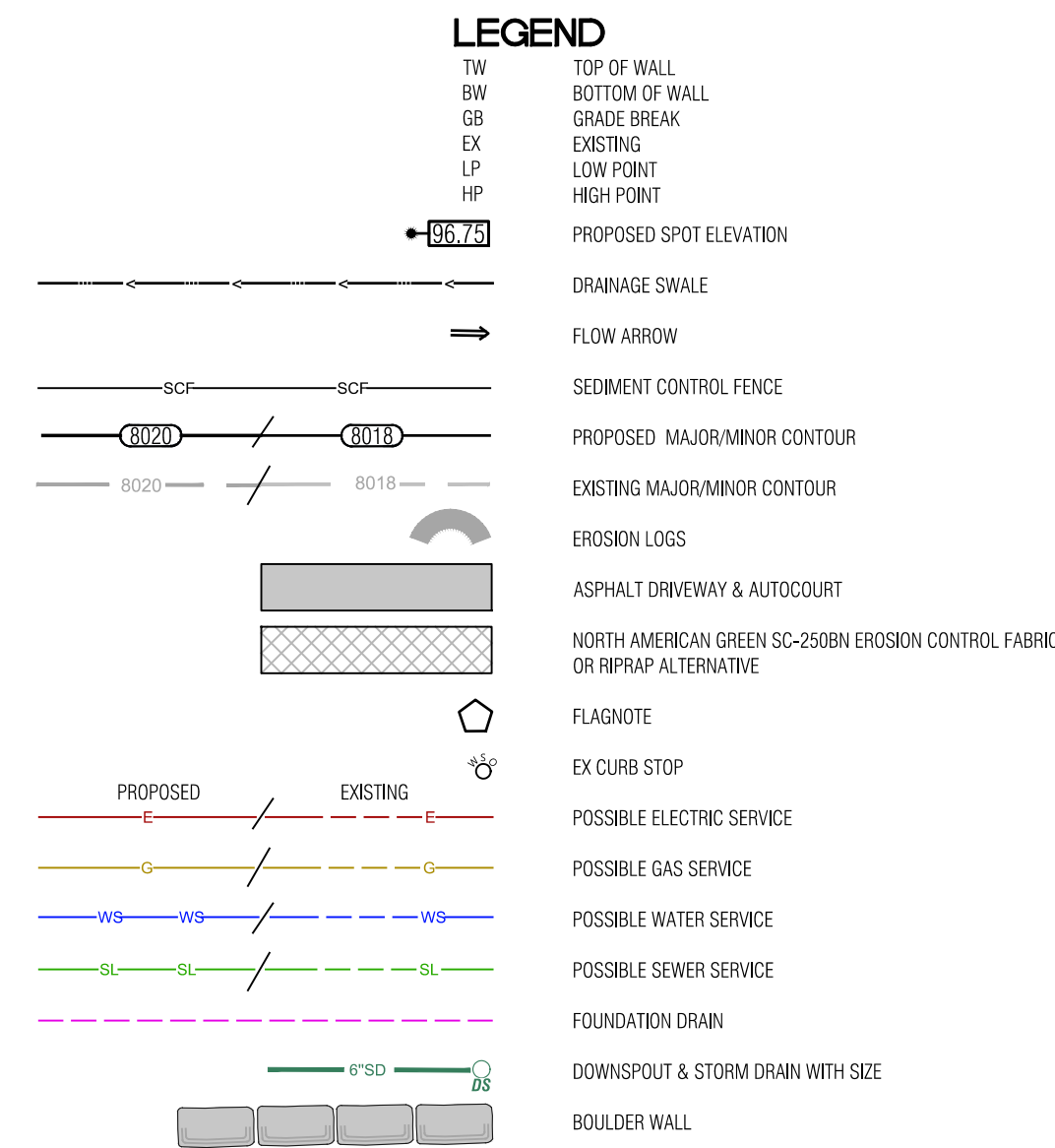
TOWN OF MINTURN, COLORADO

Lot 26, Minturn North P.U.D.

Site, Grading and Drainage Plan

Revised DRB Submittal 5/22/24

File Name: lot 26 sp-01.dwg

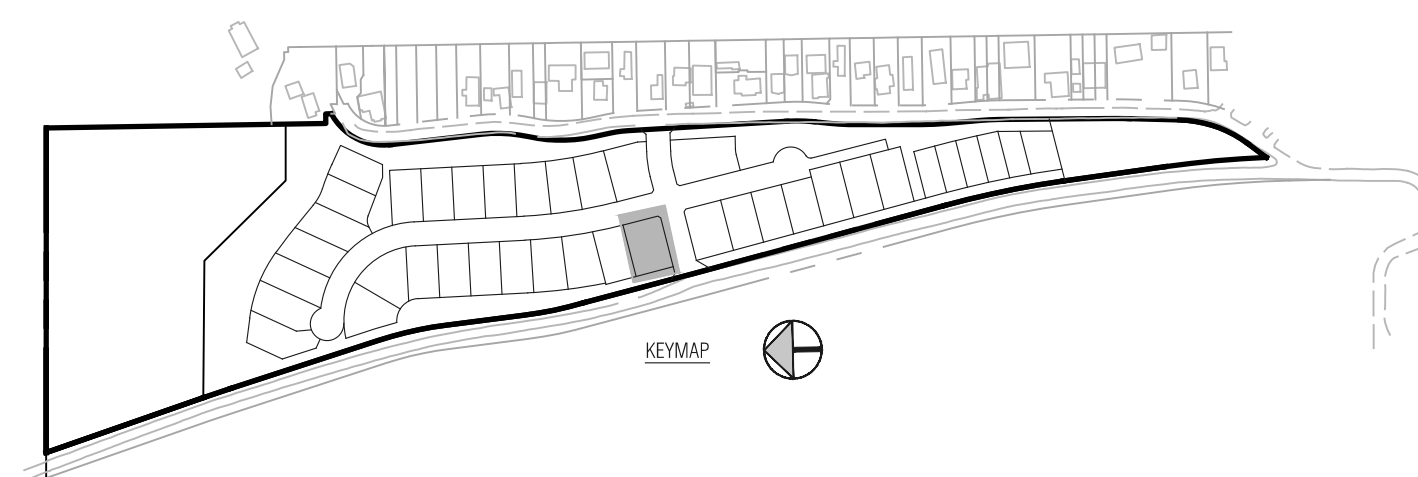


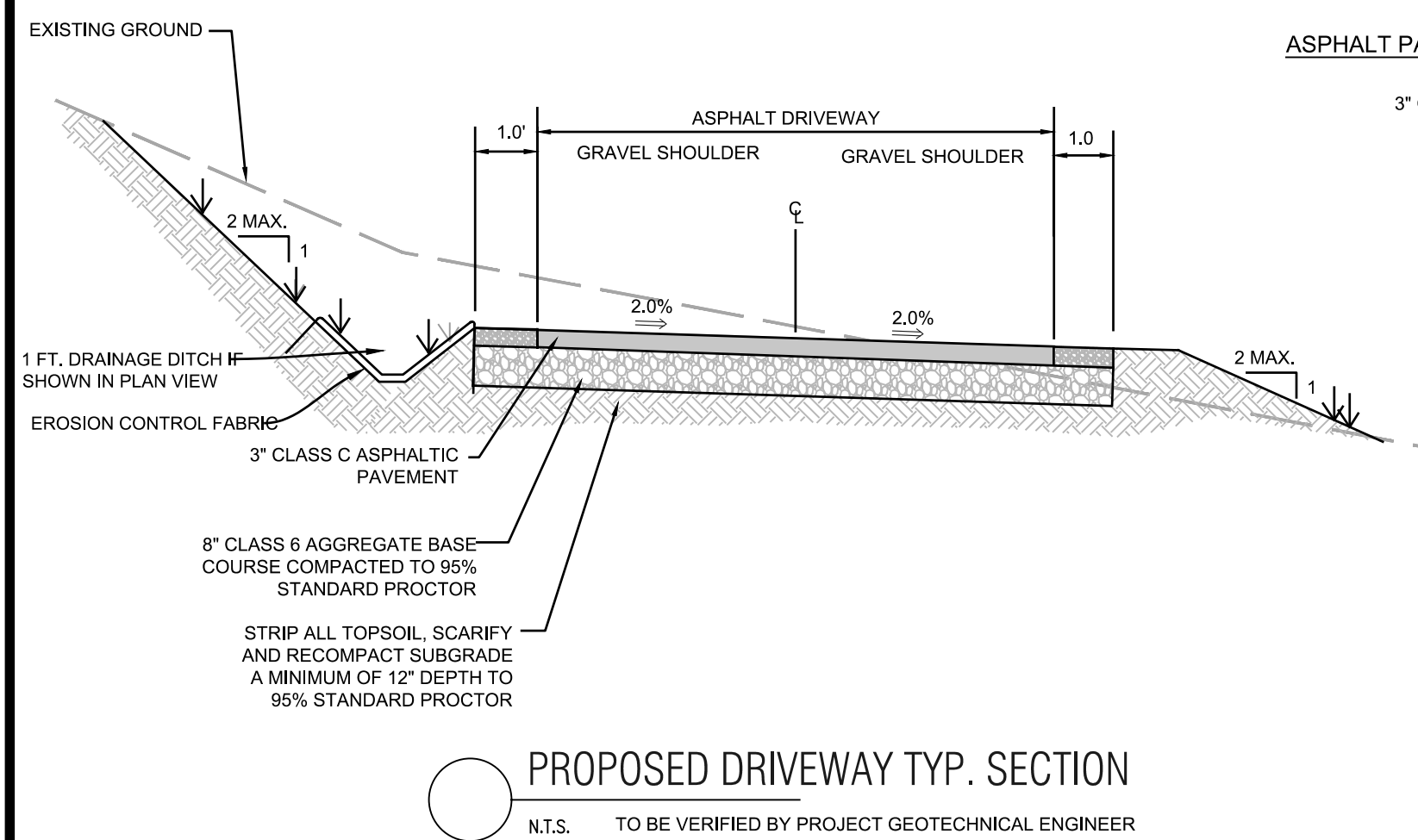
Point Table				
Point #	Desc.	Elev.	North	East
1061	Driveway	7837.00	3783.69	5490.153
1062	Driveway	7836.60	3780.26	5484.83
1063	Driveway	7835.24	3773.16	5457.06
1064	Driveway	7835.24	3753.78	5462.01
1065	Driveway	7836.28	3760.89	5489.73
1066	Driveway	7836.52	3760.44	5496.10
1067	House Corner	0.00	3776.30	5456.25
1068	House Corner	0.00	3750.63	5462.82
1069	House Corner	0.00	3717.98	5413.88
1070	House Corner	0.00	3762.18	5401.03

NOTES:

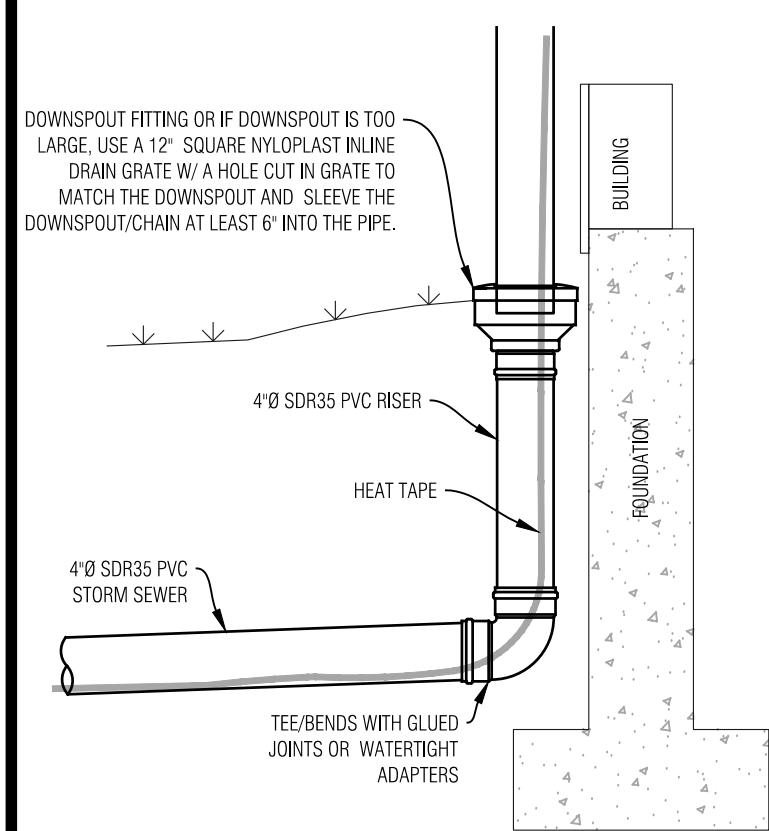
- 1) BASIS OF ELEVATION: NAVD83 BASED ON THE ORIGINAL TOPOGRAPHIC MAP OF MINUTUN NORTH PREPARED BY GEORGE ARNOLD SURVEYING, LLC. JOB NO. 19-1203 DATED 4/1/21. NO BENCHMARK WAS NOTED ON THE BASE SURVEY.
- 2) THE BOUNDARY DIMENSIONS, EASEMENTS AND RIGHTS OF WAY SHOWN HEREON ARE BASED ON THE FINAL PLAT OF MINUTUN NORTH PUD, AND SURVEY CONTROL MONUMENTS FIELD AT THE TIME OF THE SURVEY AND SHOWN ON THE SURVEY REFERENCED ABOVE.
- 3) SEE ADDITIONAL, SITE NOTES & DETAILS ON SHEET C2.
- 4) EXISTING CONTOUR INTERVAL IS 1 FT., PROPOSED CONTOUR INTERVAL IS 1 FT.
- 5) LOT AREA: 8,794 SF ±
DISTURBANCE AREA: 8,794 SF ±
- 6) THIS CIVIL PLAN SET IS INTENDED TO BE PLOTTED IN COLOR. FAILURE TO DO SO MAY RESULT IN MISSING DATA & INFORMATION CRITICAL TO THE PROJECT.

- ⑤ MATCH TO BACK OF EXISTING CURB.
- ⑤ PROPOSED ASPHALT DRIVEWAY, AUTO-CORNER AND CONCRETE WALKWAYS. STRUCTURAL FILL UNDER THE DRIVEWAY AND AUTOCORNER AREA TO BE COMPACTED TO 98% STANDARD PROCTOR IN LIFTS OF 8" MAX. STRUCTURAL FILL UNDER THE BUILDING TO FOLLOW THE DIRECTION OF THE GEOTECH REPORT. ALL EARTHWORK CONSTRUCTION TO BE APPROVED BY THE GEOTECHNICAL ENGINEER.
- ⑤ TURN LINEAR DRAIN, SEE DETAIL ON SHEET C2. INSTALL 7 LF 4" SCHEDULE 80 PVC AT 1.7% OUTFALL PIPE. INSTALL HEAT TAPE IN DRAIN & ALL PIPE.
- ⑤ INSTALL LINED RIPRAP CHANNEL FROM OUTFALL TO COMMON SWALE AT THE LOTLINE. SEE DETAIL ON SHEET C2.
- ⑤ PROVIDE DRAINAGE SWALE AS SHOWN, WITH NORTH AMERICAN GREEN SC250 EROSION FABRIC OR RIPRAP WHERE SLOPE EXCEEDS 5%. SEE DETAIL.
- ⑤ WHERE PROPOSED SWALE DAYLIGHTS WITH NATURAL GROUND, FAN OUT DRAINAGE SWALE TO EVENLY DISSIPATE DRAINAGE. TYP.
- ⑤ SLOPE PATIOS, DECKS AND WALKS AT 2% MIN. AWAY FROM THE STRUCTURE.
- ⑤ GRADE AROUND THE PERIMETER OF BUILDING AS NECESSARY 10% FOR 5-FEET MIN. (10 FT. WHERE POSSIBLE) IN UNPAVED AREAS TO ENSURE PROPER DRAINAGE AWAY FROM THE FOUNDATION. IT WILL BE IMPORTANT TO CONSTRUCT AND DIRECT SURFACE DRAINAGE AWAY FROM BUILDING, WALKS AND WALLS TO EITHER THE AUTOCORNER, THE OUTLET SWALE, OR DOWNWARD SLOPING NATURAL GRADE. VERIFY DRAINAGE AND SWALE INTEGRITY ON A REGULAR BASIS.
- ⑤ LOCATE EXISTING CURB STOP, CONFIRM LOCATION AND CONNECTION WITH THE WATER & SANITATION DISTRICT. CONNECT AND EXTEND NEW SERVICE TO MECHANICAL ROOM. MAINTAIN COVER OVER NEW SERVICE PER DISTRICT REGULATIONS.
- ⑤ APPROXIMATE LOCATION OF SEWER SERVICE STUB. CONNECT AND EXTEND NEW SEWER SERVICE TO MECHANICAL ROOM. MAINTAIN COVER OVER NEW SERVICE PER DISTRICT REGULATIONS. INSTALL CLEANOUTS AT HOUSE EXTERIOR AND ALL BEND LOCATIONS.
- ⑤ LOCATE, CONNECT TO, AND EXTEND GAS, ELECTRIC, AND COMMUNICATION SERVICES TO METER CABINET AND GAS METER LOCATION. MAINTAIN COVER & CLEARANCES BETWEEN/OVER NEW SERVICES PER UTILITY REGULATIONS
- ⑤ EROSION LOGS PER DETAIL ON SHEET C2.
- ⑤ SEDIMENT CONTROL FENCE PER DETAIL ON SHEET C2.
- ⑤ FOUNDATION DRAIN, TYP., INSTALL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. DRAIN @ 0.5% MIN. TO DAYLIGHT. SEE DETAIL ON SHT. C2.
- ⑤ EXTEND THE FOUNDATION DRAIN FROM SUMP PUMP IN HOUSE TO DAYLIGHT WITH SOLID PIPE. COVER WITH A RODENT SCREEN AT END.



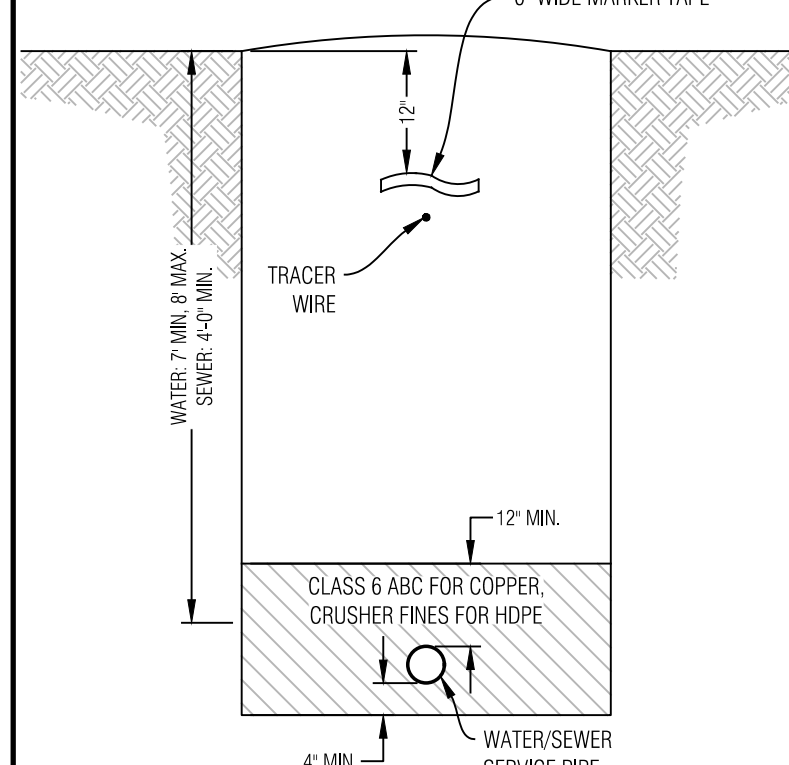


- NOTES:**
- ROOF AND AREA DRAINS SHALL NOT BE CONNECTED TO THE FOUNDATION DRAIN SYSTEM.
 - ALL DOWNSPOUTS SHALL BE CONNECTED TO ADS N-12-WT OPP (WATERTIGHT). SCH.40 PVC OR SDR35 PVC. FLEXIBLE CORRUGATED PLASTIC IS NOT ACCEPTABLE.
 - ADDITIONAL FITTINGS AND BENDS MAY BE REQUIRED TO DEFLECT OVER OR AROUND LANDSCAPE WALLS.
 - HEAT TAPE SHALL BE INSTALLED IN ALL DOWNSPOUTS/STORM SEWER PIPES.



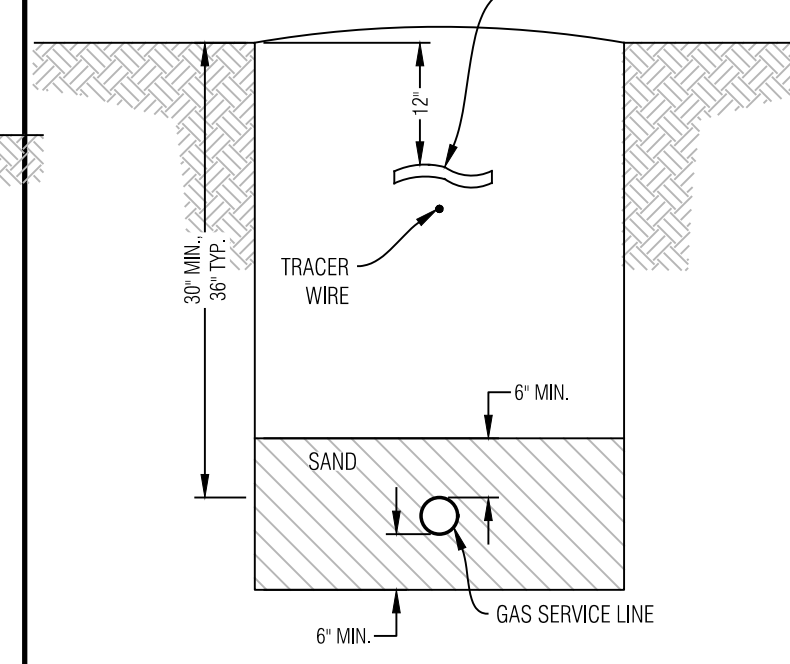
NOTES:

- WATER SHALL BE INSTALLED WITH AT LEAST 10" OF SEPARATION BETWEEN WATER/SEWER AND 4" OF SEPARATION BETWEEN OTHER UTILITIES.
- BACKFILL THE TRENCH WITH 4" MINUS ON-SITE SELECT MATERIAL COMPACTED TO 95% STANDARD PROCTOR.



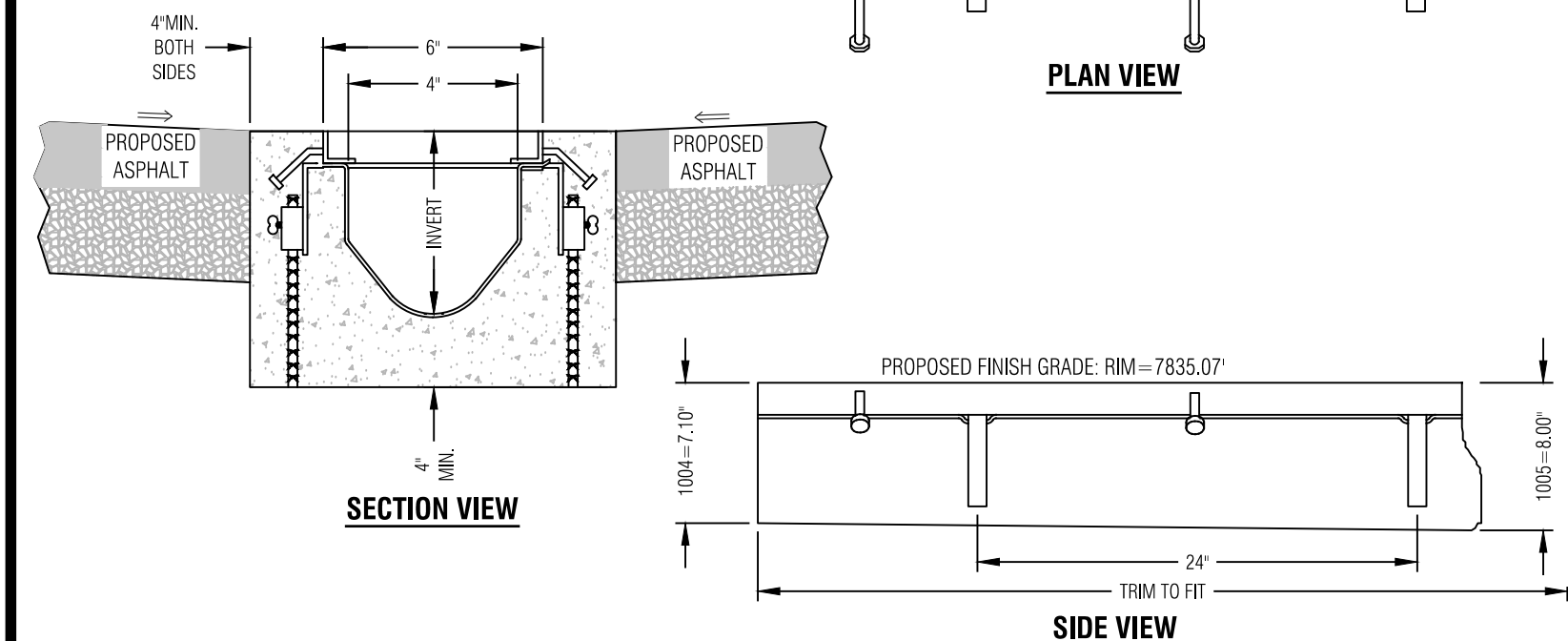
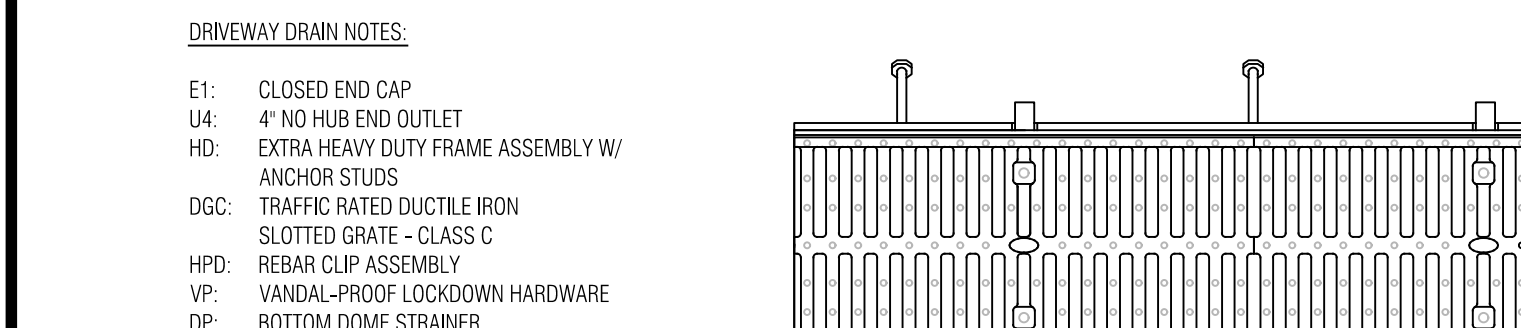
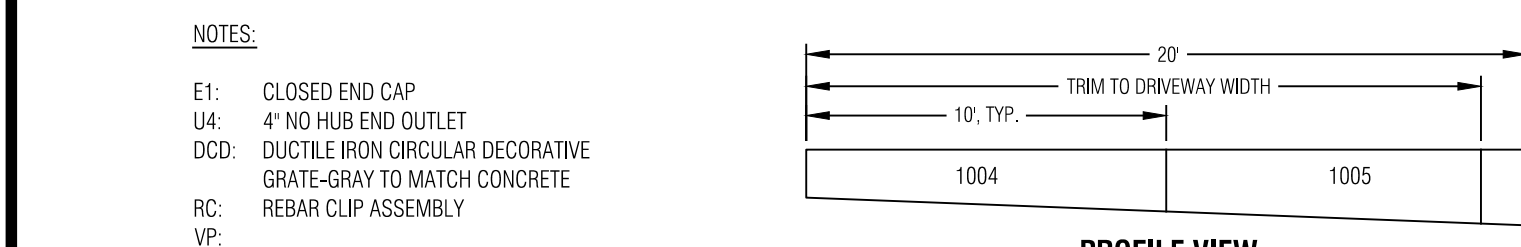
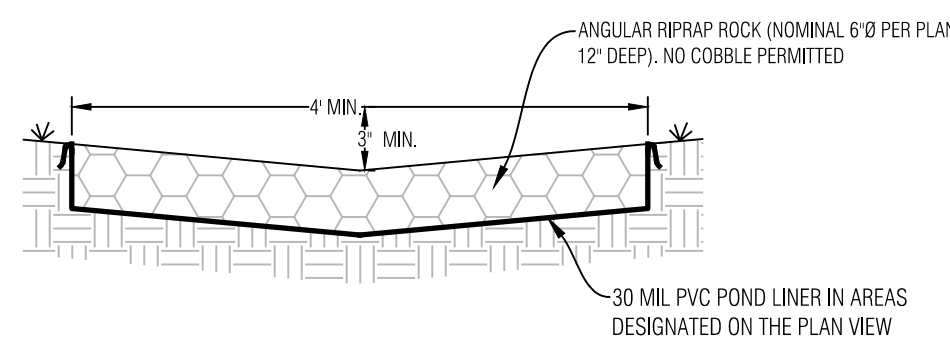
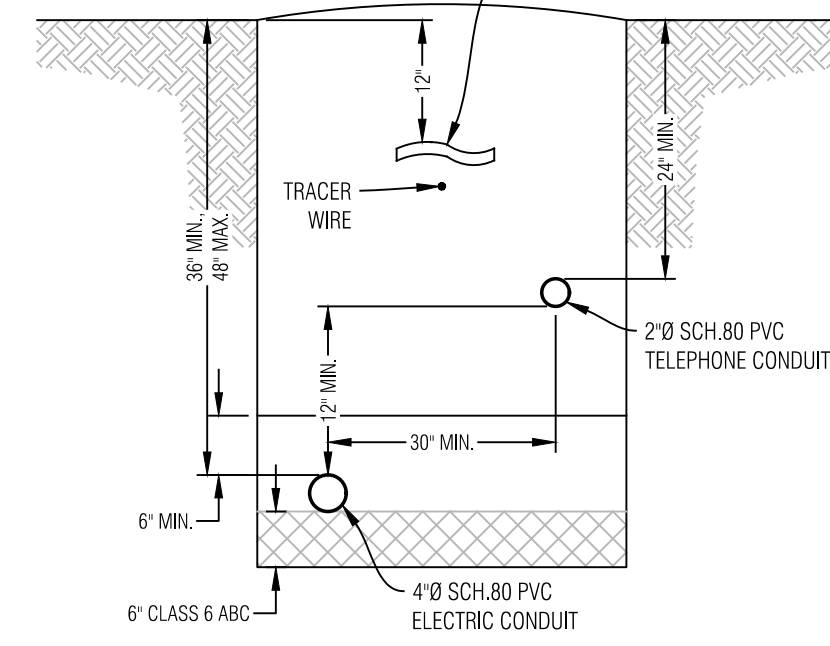
NOTES:

- GAS SHALL BE INSTALLED WITH AT LEAST 4" OF SEPARATION BETWEEN OTHER UTILITIES.
- BACKFILL THE TRENCH WITH 4" MINUS ON-SITE SELECT MATERIAL COMPACTED TO 95% STANDARD PROCTOR.

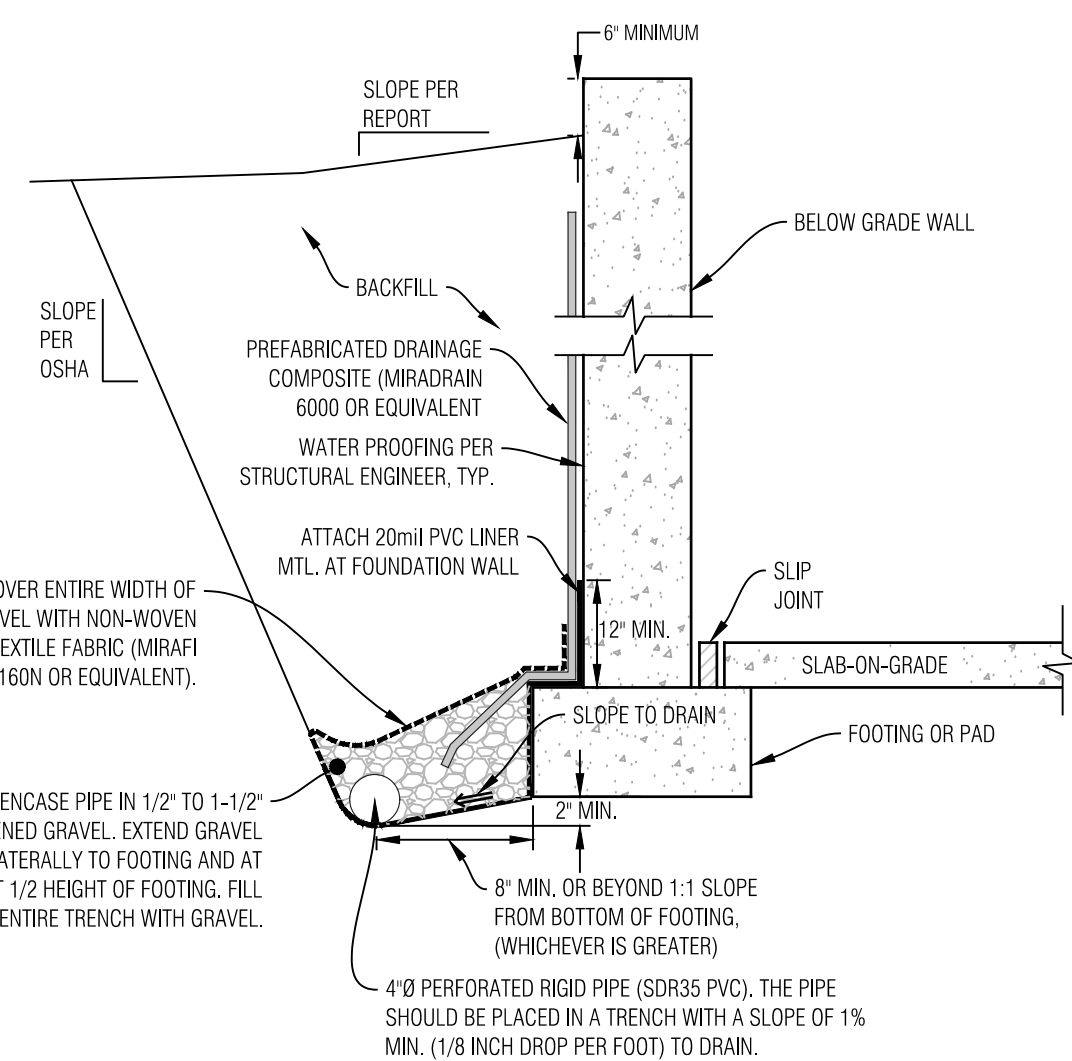
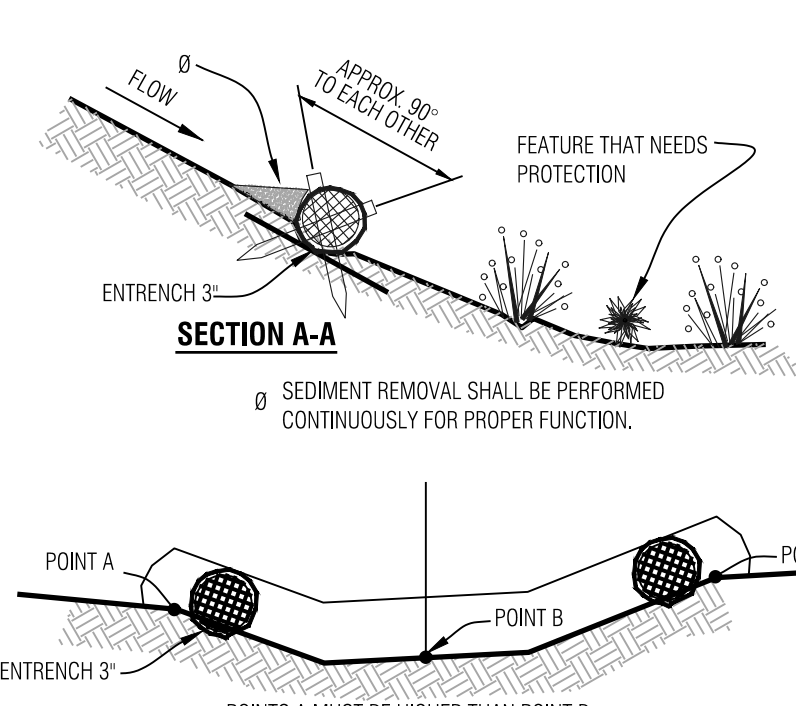
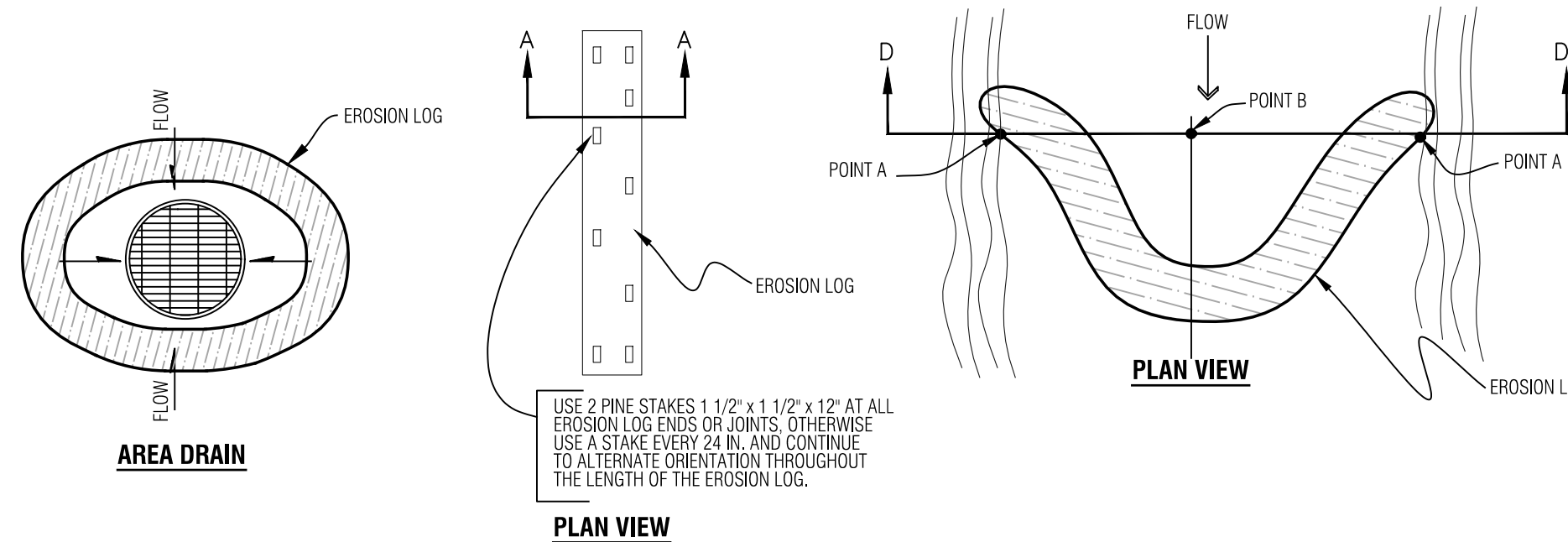


NOTES:

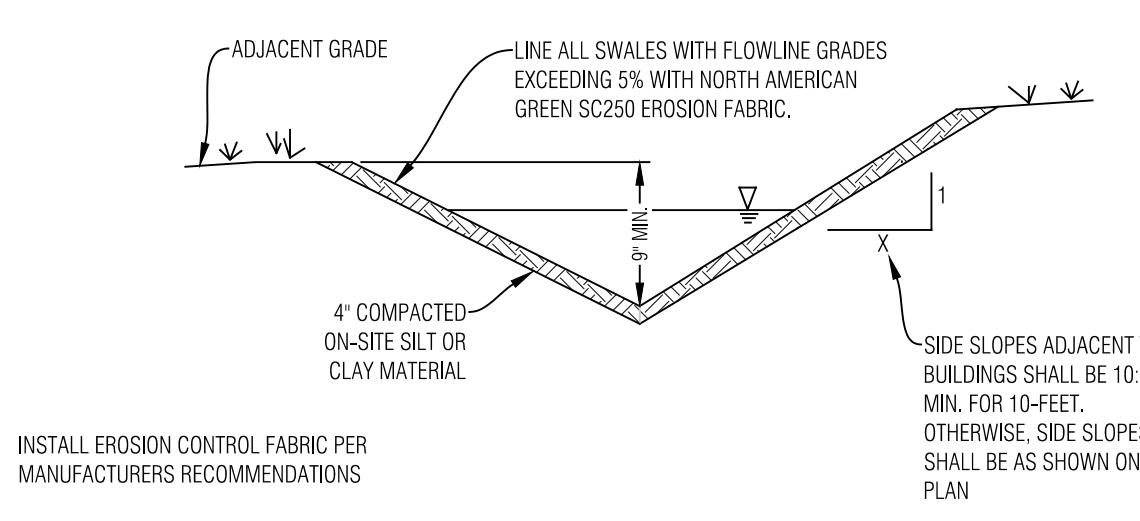
- ELECTRIC & TELEPHONE SHALL BE INSTALLED WITH AT LEAST 4" OF SEPARATION BETWEEN OTHER UTILITIES.
- BACKFILL THE TRENCH WITH 4" MINUS ON-SITE SELECT MATERIAL COMPACTED TO 95% STANDARD PROCTOR.



Zurn Z-806:1004-1005, E1, U4, DCD, RC, VP Trench Drain
Scale: N.T.S.



- NOTES:**
- THE BOTTOM OF THE DRAIN SHOULD BE AT LEAST 2 INCHES BELOW BOTTOM OF FOOTING AT THE HIGHEST POINT AND SLOPE DOWNWARD TO A POSITIVE GRAVITY OUTLET OR TO A SUMP WHERE WATER CAN BE REMOVED BY PUMPING.
 - CONTRACTOR TO FOLLOW ANY ADDITIONAL RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER



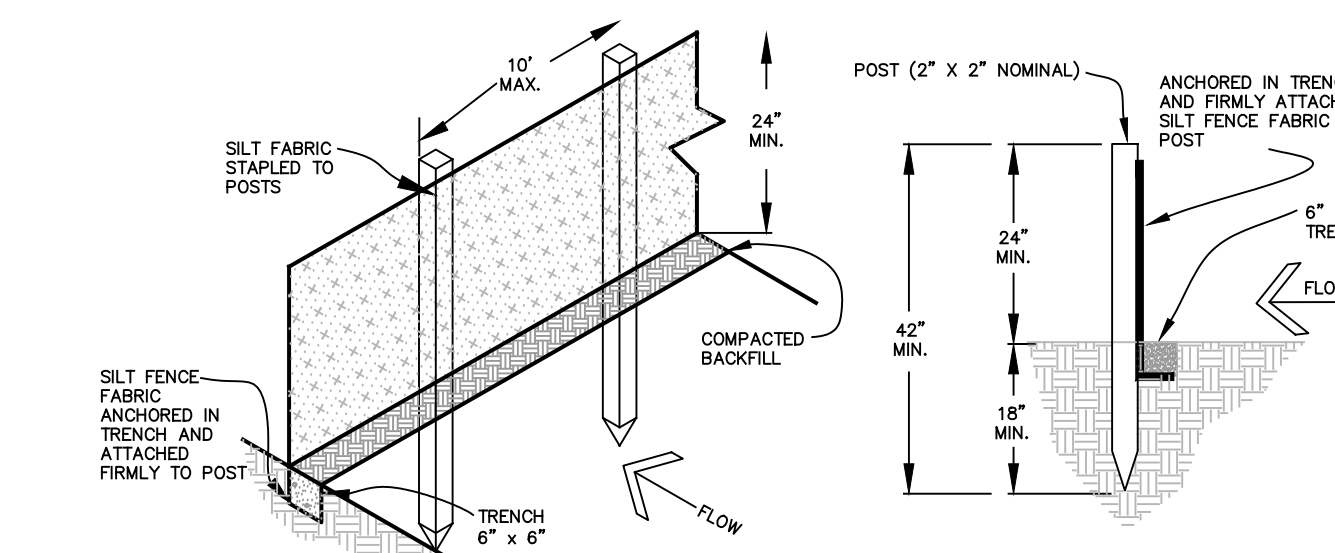
NOTE
SEE THE GRADING, DRAINAGE AND EROSION CONTROL SHEET FOR SWALE LOCATIONS

GENERAL NOTES:

- ALL CONSTRUCTION SHALL MEET OR EXCEED THE CURRENT CONSTRUCTION AND DESIGN STANDARDS ESTABLISHED BY THE DESIGN GUIDELINES AND TOWN OF MINTURN AND BE SUBJECT TO OBSERVATION BY THE TOWN AND THE PROJECT ENGINEER. IN THE EVENT OF CONFLICT PUD GUIDELINES SUPERCEDE TOWN.
- THIS DESIGN WAS PREPARED WITHOUT THE BENEFIT OF A SUBSURFACE UTILITY ENGINEERING (SUE) STUDY OR MAP. THIS DESIGN HAS BEEN PREPARED FOR A PRIVATE DEVELOPMENT USING EXISTING UTILITY INFORMATION PROVIDED BY OTHERS. EXISTING UTILITIES ARE SHOWN AS THEY ARE BELIEVED TO EXIST, BUT MAY NOT REPRESENT ACTUAL FIELD CONDITIONS. BOUNDARIES UNLIMITED INC. DID NOT CONFIRM ANY DATA PROVIDED OR PERFORM ANY ADDITIONAL RESEARCH OR NOTIFICATION TO ELEVATE THESE PLANS TO SENATE BILL 18-167 STANDARDS. AS SUCH, BOUNDARIES UNLIMITED INC. MAKES NO GUARANTEE, EXPRESSED OR IMPLIED, FOR THE LOCATION OF SUBSURFACE UTILITIES CONTAINED WITHIN THIS PLAN SET. IF THE CLIENT AND/OR CONTRACTOR REQUIRES A SUBSURFACE UTILITY ENGINEERING STUDY OR MAP FOR FULL COMPLIANCE WITH SENATE BILL 18-167, THEN A MORE EXHAUSTIVE INVESTIGATION SHALL BE OBTAINED BY THE CLIENT AND/OR CONTRACTOR PRIOR TO COMMENCING WITH ANY CONSTRUCTION. OTHERWISE, PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER OF ANY POTENTIAL CONFLICTS PRIOR TO UTILITY CONSTRUCTION SO THAT LINE OR GRADE CHANGES CAN BE MADE TO AVOID A CONFLICT WITH ANY EXISTING UTILITY. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION AND, AT NO EXPENSE TO THE CLIENT OR PROJECT ENGINEER, REPAIR ANY DAMAGED UTILITIES.
- ALL EXCAVATIONS FOR UTILITY LINES, RETAINING WALLS, ROADWAYS, BUILDING STRUCTURES, DRAINAGE FACILITIES AND TRENCHES, SHALL MEET THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), COLORADO INDUSTRIAL COMMISSION, OR THE COLORADO DIVISION OF MINES, WHICH EVER APPLIES. SAFETY IS THE CONTRACTOR'S RESPONSIBILITY. NO OTHER PARTIES ARE RESPONSIBLE FOR SAFETY IN, ON OR ABOUT THE SITE, NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY WITH ANY REGULATIONS RELATING HERETO.
- COMPACTION MUST BE ATTAINED AND COMPACTION RESULTS SUBMITTED TO THE TOWN AND THE PROJECT ENGINEER PRIOR TO ACCEPTANCE. CONTRACTOR SHALL MEET OR EXCEED TOWN REGULATIONS. 95% STANDARD PROCTOR DENSITY IS REQUIRED FOR ALL ROADWAY AND DRIVEWAY SURGRADE CONSTRUCTION. THE SAME, 80% STANDARD PROCTOR DENSITY IN LANDSCAPE AREAS, UNLESS NOTED OTHERWISE OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER. SEE SOILS REPORT FOR STRUCTURAL FOUNDATION RECOMMENDATIONS.
- THE CONTRACTOR SHALL CONTAIN HIS CONSTRUCTION ACTIVITIES TO THE AREA WITHIN THE STREET RIGHT OF WAY AND PROPERTY OWNED, OR EASEMENTS PROVIDED TO OWNER. THE CONTRACTOR SHALL NOT OPERATE OUTSIDE THIS AREA WITHOUT THE PRIOR CONSENT OF THE PROPERTY OWNER INVOLVED. ANY DAMAGE TO PRIVATE PROPERTY BY THE CONTRACTOR OUTSIDE THESE LIMITS WITHOUT THE PERMISSION OF THE PRIVATE PROPERTY OWNER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL ENSURE DRAINAGE AWAY FROM ALL STRUCTURES IN ALL DIRECTIONS. DO NOT ALLOW WATER TO POND ON-SITE. PROVIDE SWALES TO DRAINAGE STRUCTURES AND RUNOUT. SHALLOW DRAINAGE SWALES HAVE A TENDENCY OVER TIME TO FILL IN & BECOME LESS EFFECTIVE. PERIODIC MAINTENANCE, AT LEAST TWICE A YEAR, IS NECESSARY TO CHECK THE INTEGRITY OF THE SWALE & MAINTAIN DRAINAGE CHARACTERISTICS. BUILDING FOUNDATION WALL, HEIGHT TO BE A MINIMUM OF 6" ABOVE FINISH GROUND AT EXTERIOR WALL.
- THE CONTRACTOR SHALL AT ALL TIMES KEEP TWO FULL SETS OF CONTRACT DRAWINGS MARKED UP TO INDICATE THE AS-BUILT CONDITIONS. THE DRAWINGS SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER UPON COMPLETION OF THE WORK. WHERE PRACTICAL, THE CONTRACTOR IS TO PROVIDE AT LEAST TWO TIES FROM PHYSICAL MONUMENTS TO ALL FITTINGS, VALVES, MANHOLES, AND THE END OF ALL SERVICE LINES.
- ON-SITE OBSERVATIONS AND REVIEW CONDUCTED BY THE TOWN OR THE PROJECT ENGINEER OF CONSTRUCTION WORK IN PROGRESS ARE NOT TO BE CONSTRUED AS A GUARANTEE OR WARRANTY BY THE TOWN OR THE PROJECT ENGINEER OF THE COMPLETED WORK AND THE CONTRACTOR'S RESPONSIBILITIES.
- ALL PRODUCT INFORMATION SHOWN IS AS PROVIDED BY THE MANUFACTURER. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND COMPLYING WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS FOR THE INSTALLATION OF ALL MATERIALS WITH SPECIAL ATTENTION TO PROPER SEALING OF MATING SURFACES. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE DELIVERED PRODUCTS AND THOSE SHOWN ON THIS PLAN.
- FOUNDATION AND RETAINING WALL DESIGNS TO BE OBTAINED FROM, OR VERIFIED BY THE PROJECT STRUCTURAL OR GEOTECHNICAL ENGINEER.
- THE FOUNDATION DRAIN SYSTEM SHALL BE INSTALLED PER THE RECOMMENDATION OF THE STRUCTURAL AND GEOTECHNICAL ENGINEERS.
- THE SURVEYOR RESPONSIBLE FOR STAKING THE FOUNDATION OF THE HOUSE IS RESPONSIBLE TO MAKE SURE HE HAS THE LATEST SITE, FOUNDATION & ARCHITECTURAL PLANS AVAILABLE, ALONG WITH ANY UPDATED LOTLINE, SETBACK & EASEMENT INFORMATION.
- INSTALL ROOF GUTTERS AND DOWNSPOUTS THAT DISCHARGE WELL BEYOND THE LIMITS OF ALL BACKFILL. CONFIRM DOWNSPOUT DRAINAGE HAS GOOD POSITIVE GRADE RUNNING AWAY FROM THE HOUSE. STORM DRAIN PIPES TO BE INSTALLED WITH 1% MINIMUM SLOPE TO THE OUTFALL POINTS. HEAT TAPE SHALL BE INSTALLED IN ALL EXTERIOR ROOF GUTTERS, DRAIN PIPES, DOWNSPOUTS, AREA DRAINS, TRENCH DRAINS, STORM DRAIN PIPES AND REGULAR STRUCTURES.
- LANDSCAPING WHICH REQUIRES REGULAR HEAVY IRRIGATION SUCH AS SOD, AND LAWN SPRINKLER HEADS SHOULD BE LOCATED AT LEAST 10 FEET FROM FOUNDATION WALLS.
- ACCUMULATED SNOWFALL SHALL BE REMOVED TO GRASS AREA TO ENSURE THAT PROPER DRAINAGE AWAY FROM THE BUILDING IS MAINTAINED.
- FINISH GRADE & SPOT ELEVATIONS AT THE EXTERIOR OF THE STRUCTURE ASSUME THAT THE FOUNDATION WALLS EXTEND ABOVE THE BUILDING FINISH FLOOR & HANGER FLOOR JOISTS ARE USED. EXTERIOR GRADE TO BE A MINIMUM OF 6" BELOW TOP OF FOUNDATION WALL. THE FOUNDATION WALL HEIGHT MAY NEED TO BE EXTENDED IN ORDER TO ACHIEVE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE.
- INSTALL DEEP & SHALLOW UTILITY SERVICES ACCORDING TO RESPECTIVE UTILITY COMPANY OR METRO DISTRICT SPECIFICATIONS AND REGULATIONS. HORIZONTAL LOCATIONS OF SERVICE LINES ARE SUGGESTIONS ONLY. PROPOSED UTILITY SERVICES TO THE RESIDENCE MAY BE VARIED FROM THE LOCATIONS SHOWN. ALL WATER AND SEWER SERVICES SHALL BE INSTALLED PER METRO DISTRICT REGULATIONS.
- DRAINAGE PIPES CALLED OUT AS ADS SHALL BE ADVANCED DRAINAGE SYSTEMS N-12 WATER RESISTANT PIPE (ADS N-12-WT) OR ENGINEER APPROVED EQUAL. ALL PIPES SHALL BE INSTALLED WITH WATERTIGHT CONNECTIONS.
- CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITTING FOR CONSTRUCTION FROM THE APPROPRIATE GOVERNMENTAL ENTITIES.
- ALL UTILITIES, BOTH UNDERGROUND OR OVERHEAD, SHALL BE MAINTAINED IN CONTINUOUS SERVICE THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE OF DAMAGES TO, OR INTERRUPTION OF, SERVICES CAUSED BY THE CONSTRUCTION.

GENERAL NOTES

N.T.S.



EROSION CONTROL NOTES:

- IMPLEMENTATION OF THE EROSION AND SEDIMENT CONTROL MEASURES SHALL PRECEDE STRIPPING OF NATIVE VEGETATIVE COVER AND AS GRADING PROGRESSES.
- ALL TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. STRAW BALE DIKES OR SILT FENCING MAY REQUIRE PERIODIC REPLACEMENT. SEDIMENT TRAPS WILL REQUIRE PERIODIC SEDIMENT REMOVAL.
- INSTALL PERMANENT EROSION FABRIC IN THE FLOW LINES OF DRAINAGE SWALES.

Section 7, Item D.

Civil Engineering
Surveying
& Beyond

Boundaries Unlimited Inc.

923 Cooper Ave., Ste. 201
Glenwood Springs, CO 81601
(770) 970.945.5252
www.bu-inc.com

Subsurface Utility Engineering (SUE)

Required Project: **TBD**

If Yes: SUE Certification by:
Firm: **TBD**
Job #: **TBD**
Date: **TBD**

Engineer or Surveyor Seal

NOT FOR CONSTRUCTION

Review

Client Information:

MINTURN NORTH LAND COMPANY LLC
PO BOX 2633
EDWARDS, CO 81632
970 926-1720

NORTH

Scale: 1" = 10'

811

Know what's below.
Call before you dig.

TOWN OF MINTURN, COLORADO

Lot 26, Minturn North P.U.D.

Notes and Details

Revised DRB Submittal 5/22/24

By																			
Revision																			
Date																			
No.	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19

PROJECT NO.
23005

Designer:
PAH

Checker:
BUI

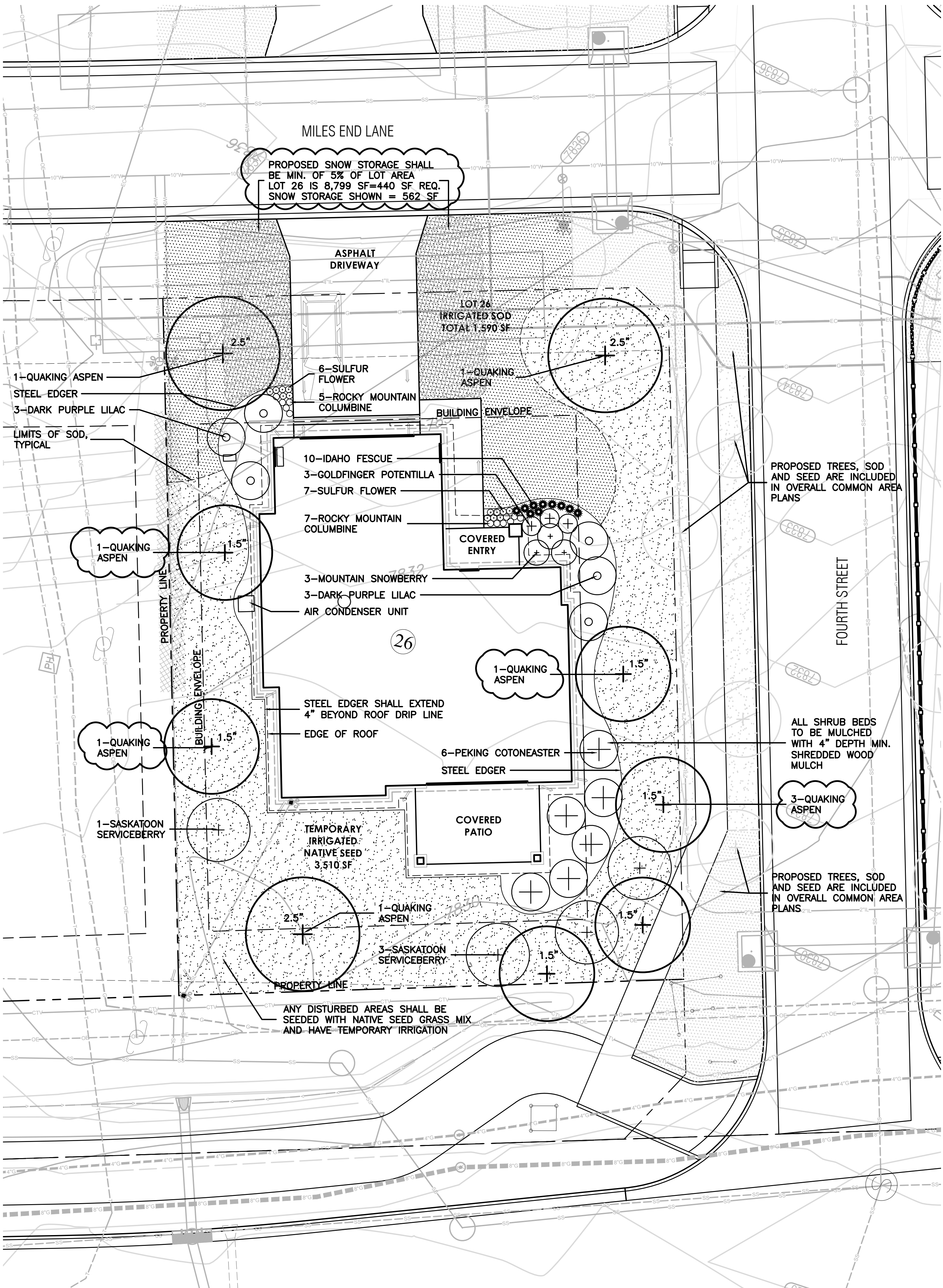
Date:
4/9/24

Sheet

C2

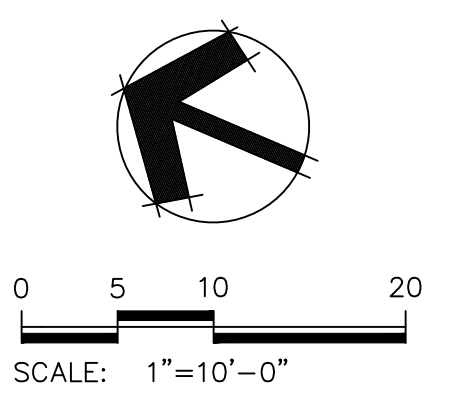
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95



LEGEND

- IRRIGATED SOD, REFER TO L2 FOR DETAILS
- NATIVE SEED MIX WITH TEMPORARY IRRIGATION, REFER TO L2 FOR DETAILS
- PROPOSED BOULDER RETAINING WALL, REFER TO CIVIL ENGINEERING FOR DETAILS
- PROPOSED DECIDUOUS TREE
- PROPOSED EVERGREEN TREE
- PROPOSED DECIDUOUS SHRUBS
- PROPOSED ORNAMENTAL GRASSES
- PROPOSED FLOWERING PERENNIALS
- SNOW STORAGE AREA



Section 7, Item D.

811

Know what's below.
Call before you dig.

LANDSCAPE ARCHITECT:
TOMINA TOWNSEND, LA
PO BOX 3000, PMB 301
EDWARDS, CO 81632
P. 303.572.7876
TTownsend@ResortConceptsCO.com

MINTURN NORTH P.U.D.
LOT 26-LANDSCAPE PLAN
TOWN OF MINTURN, COLORADO

DESIGNED: TT
DRAWN: TT
CHECKED: RH
DATE: April 19, 2024
REVISIONS:
REVISED DRB SUBMITTAL: 5/22/24
-REVISED SNOW STORAGE PER LOT SIZE
-REVISED TREE QUANTITY PER LOT SIZE

DRB SUBMITTAL

SHEET TITLE:
PROPOSED
LANDSCAPE PLAN
SCALE: 1"=10'-0"
SHEET NUMBER:
L1

General Notes and Specifications:

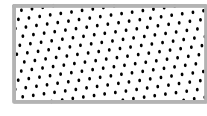
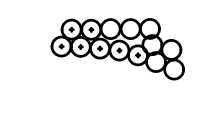
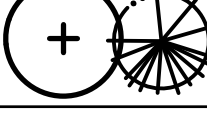
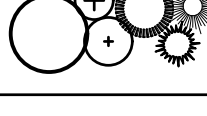

1. All areas disturbed by construction and not designated a shrub bed or sod, shall be planted with the specified native grass seed.
2. The contractor shall maintain positive drainage away from all walls and walkways. Fine grading shall be approved prior to planting.
3. The Landscape Plan shall be reviewed on site prior to installation to ensure planting meets the intent of the design guidelines and Town of Minturn standards.
4. See Civil Engineering sheets for final grading and drainage.
5. Snow Storage area shall be a min. of 25% of all driveway and parking areas.

Revegetation Notes:

1. Seed shall be broadcast and raked to ¼" depth.
2. Apply Biodegradable Green Dyed-Wood Celluose-Fiber Mulch to all seeded Areas at a rate of 20 lbs. per 1,000 s.f.
3. Prior to seeding, apply min. 6" topsoil, 10 lbs./1,000 s.f. Superphosphate and 40 lbs./1,000 s.f. Biosol Complete Fertilizer.

Fire Mitigation Recommendations:

1. Zone 1 (15' from building and integral planting): no highly flammable plants, such as evergreen trees and shrubs should be planted within 15' of the structure or attachments.
2. Zone 2 (70' from building and Integral planting): a 10' crown separation must be maintained for all evergreen trees and shrubs over 4' height. A 4' crown separation must be maintained for evergreen shrubs under 4' height.
3. Plants listed on forest service publication 6.305 FireWise Plant Material can be used in any zone.
4. Existing junipers within Zone 1 and Zone 2 must be limbed ½ of their total height, but no more than 10' height.
5. Dead limbs shall be removed from all existing Serviceberry within Zone 1 or Zone 2.
6. If necessary, final existing vegetation to be limbed or removed for fire mitigation purposes will be subject to the constraints of the final unit site plans and reviewed on site with a representative from the Town of Minturn on a unit by unit basis prior to construction.

LEGEND & IRRIGATION CALCULATIONS:		
Permanent Irrigation		Square Footage of Irrigation
	Permanent Pop-Up Spray Irrigation For Bluegrass Sod	1,590 SF
	Permanent micro-spray or drip irrigation for perennial beds	25 PERENNIALS x 1 SF = 25 SF
	Permanent Drip Irrigation For B&B Trees	9 TREES x 4.5 SF = 40.5 SF
	Permanent Drip Irrigation For 5 gal. Shrubs & Grasses	32 SHRUBS x 3 SF = 96 SF
		TOTAL PERMANENT IRRIGATED AREA: 1,752 SF
	Temporary Spray Irrigation For Native Seed	3,510 SF

IRRIGATION NOTES:

1. DESIGN CRITERIA: DESIGN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO UNIFORMLY IRRIGATE ALL PLANTING AREAS. ZONE IRRIGATED SOD, NATIVE SEED GRASS, AND SHRUB PLANTING AREAS SEPARATELY. PROVIDE DRIP IRRIGATION FOR SHRUB BEDS. PROVIDE MICRO-SPRAY HEADS OR DRIP IRRIGATION, DEPENDING ON PLANT MATERIAL, IN PERENNIAL AND GROUNDCOVER BEDS. DESIGN ROTORS FOR TURF GRASS AREAS MORE THAN 40' WIDE, AND POP-UP SPRAY HEADS FOR AREAS LESS THAN 40' WIDE.
2. ALL TREES AND SHRUBS TO BE DRIP IRRIGATED.

ALL DISTURBED AREAS SHALL BE SEEDED WITH:

'DRY NATIVE MOUNTAIN' SEED MIX

THIS SEED MIX HAS BEEN CHOSEN FOR THE SPECIFIC PROJECT LOCATION AND ELEVATION. LANDSCAPE INSTALLER SHALL NOT DEViate FROM THIS REVEGETATION SEED MIX WITHOUT WRITTEN APPROVAL FROM THE RESORT CONCEPTS SITE MANAGER.

COMMON NAME	SEEDING RATE % MIX	BULK LBS PER ACRE
SANDBERG BLUE	10%	5.00
MOUNTAIN BROME	20%	10.00
SLENDER WHEATGRASS	15%	7.50
BLUEBUNCH WHEATGRASS	10%	5.00
ROCKY MOUNTAIN FESCUE	10%	5.00
THICKSPIKE WHEATGRASS	15%	7.50
BOTTLEBRUSH SQUIRRELTAIL	2.5%	1.25
STREAMBANK WHEATGRASS	15%	7.50
PRAIRIE JUNGRASS	2.5%	1.25
TOTAL LBS./ACRE	100%	50

NOTES:

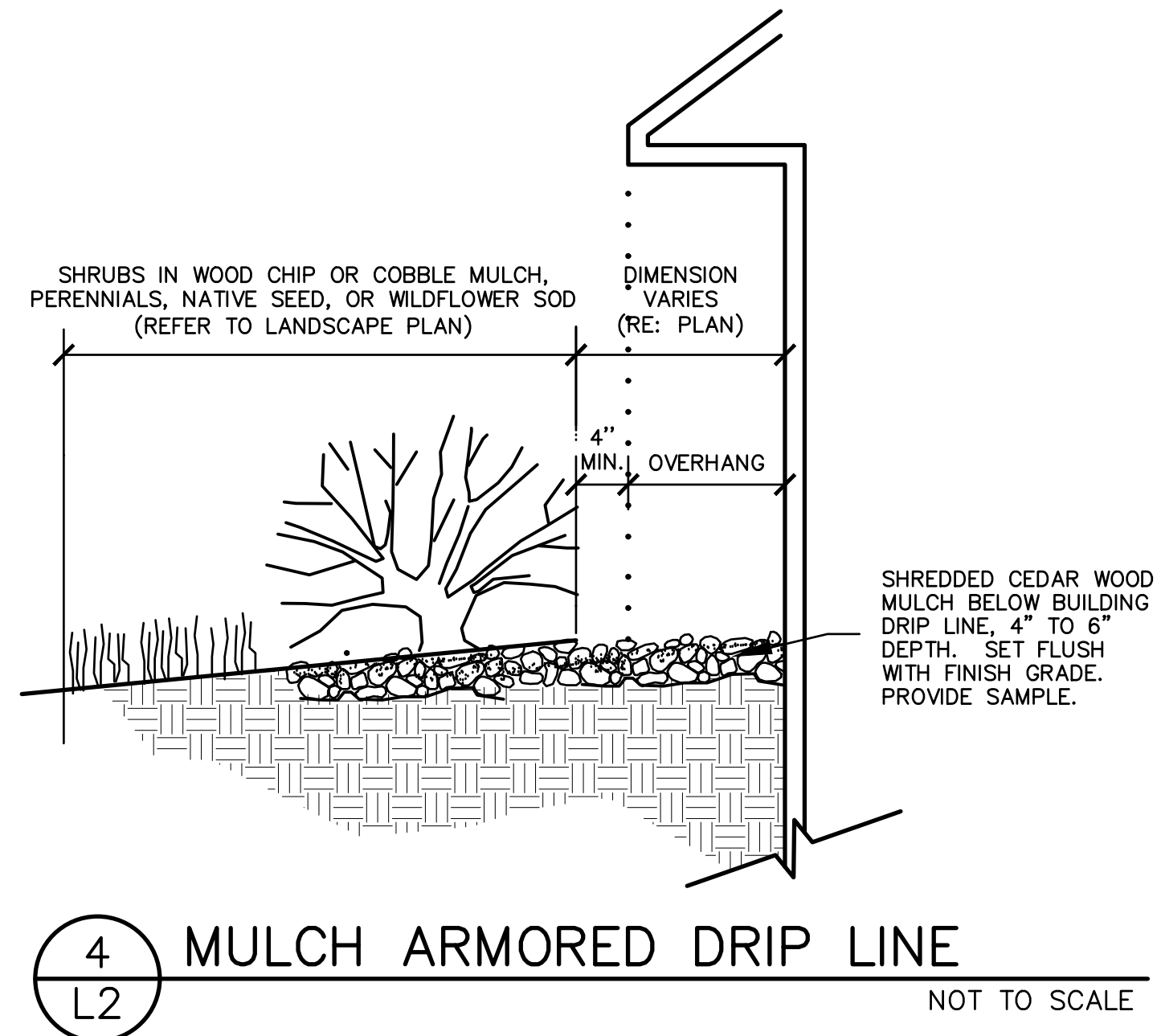
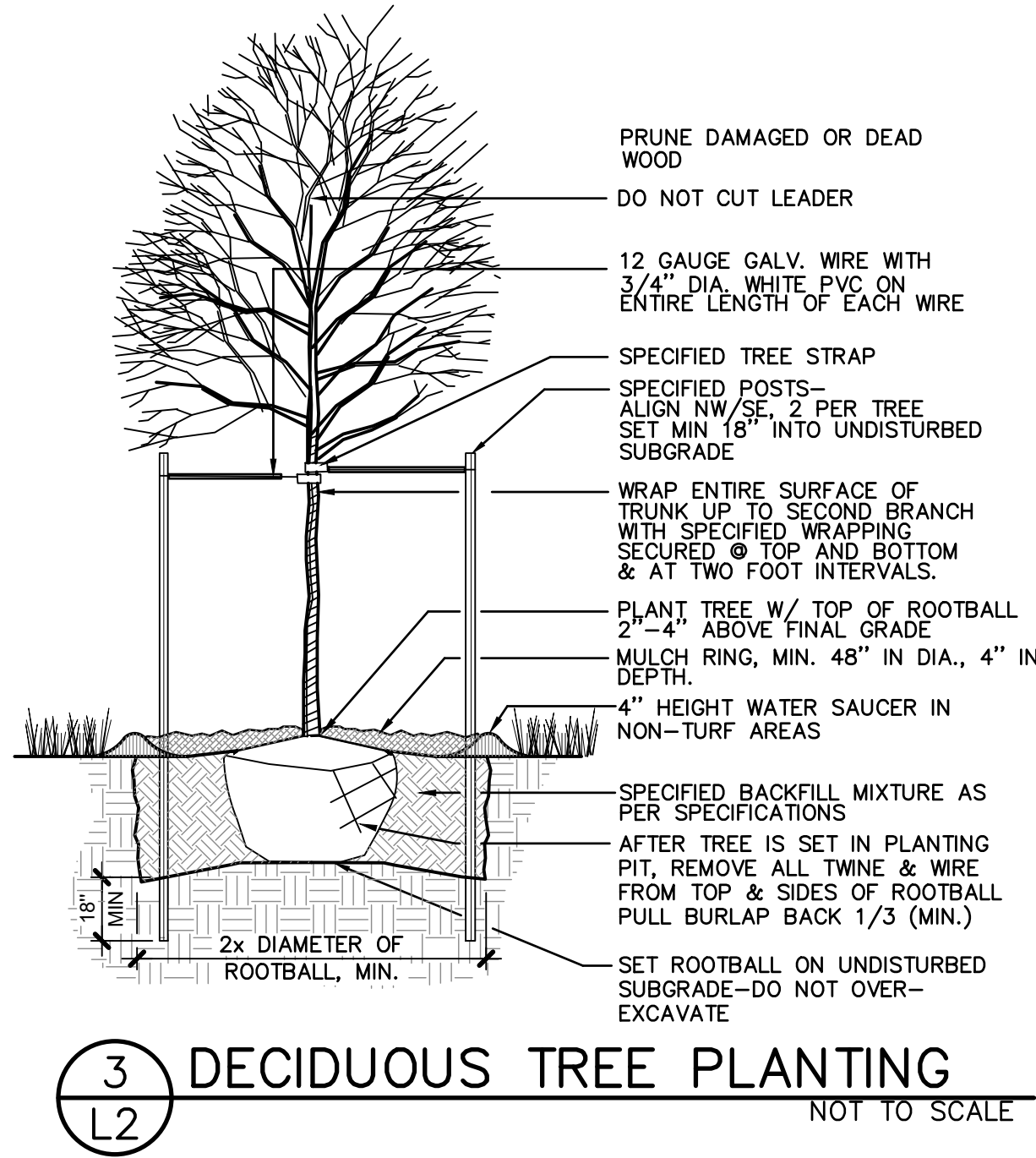
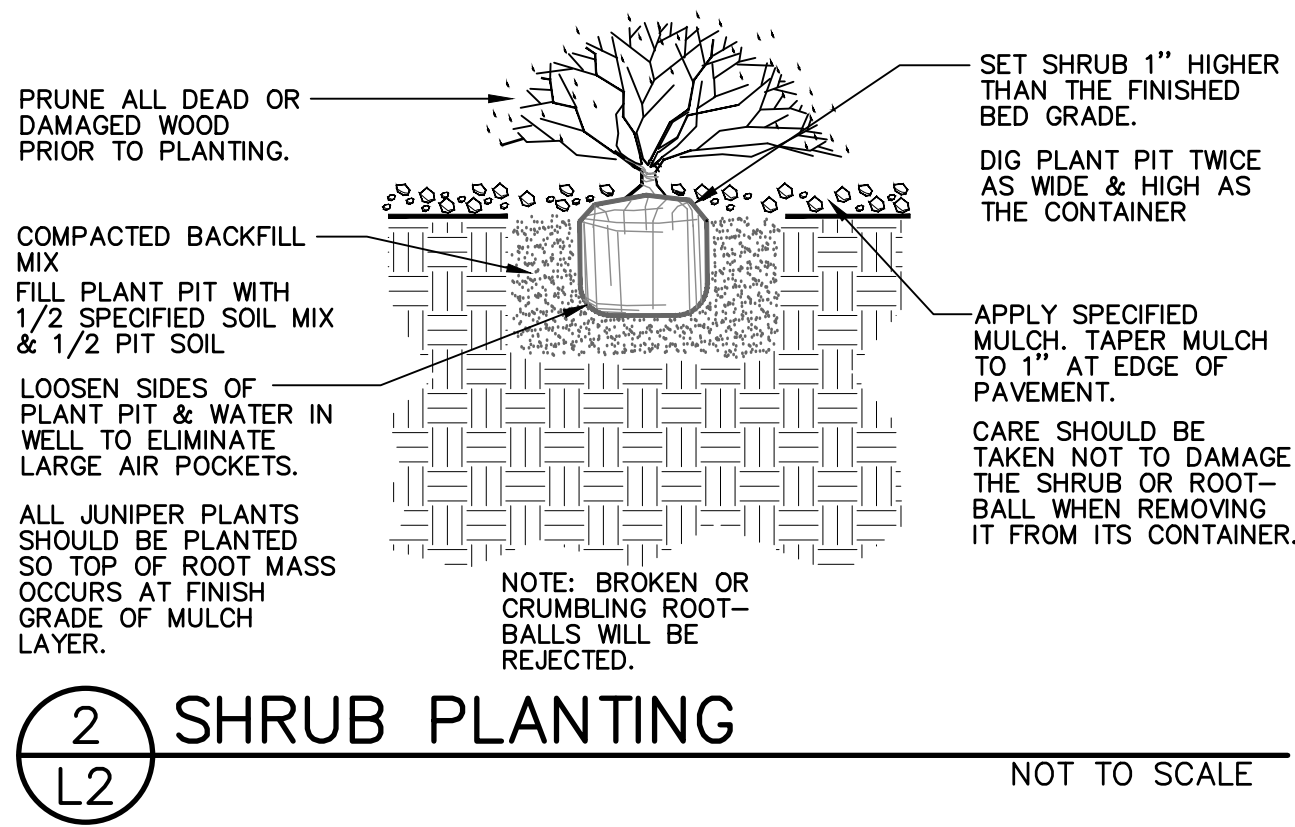
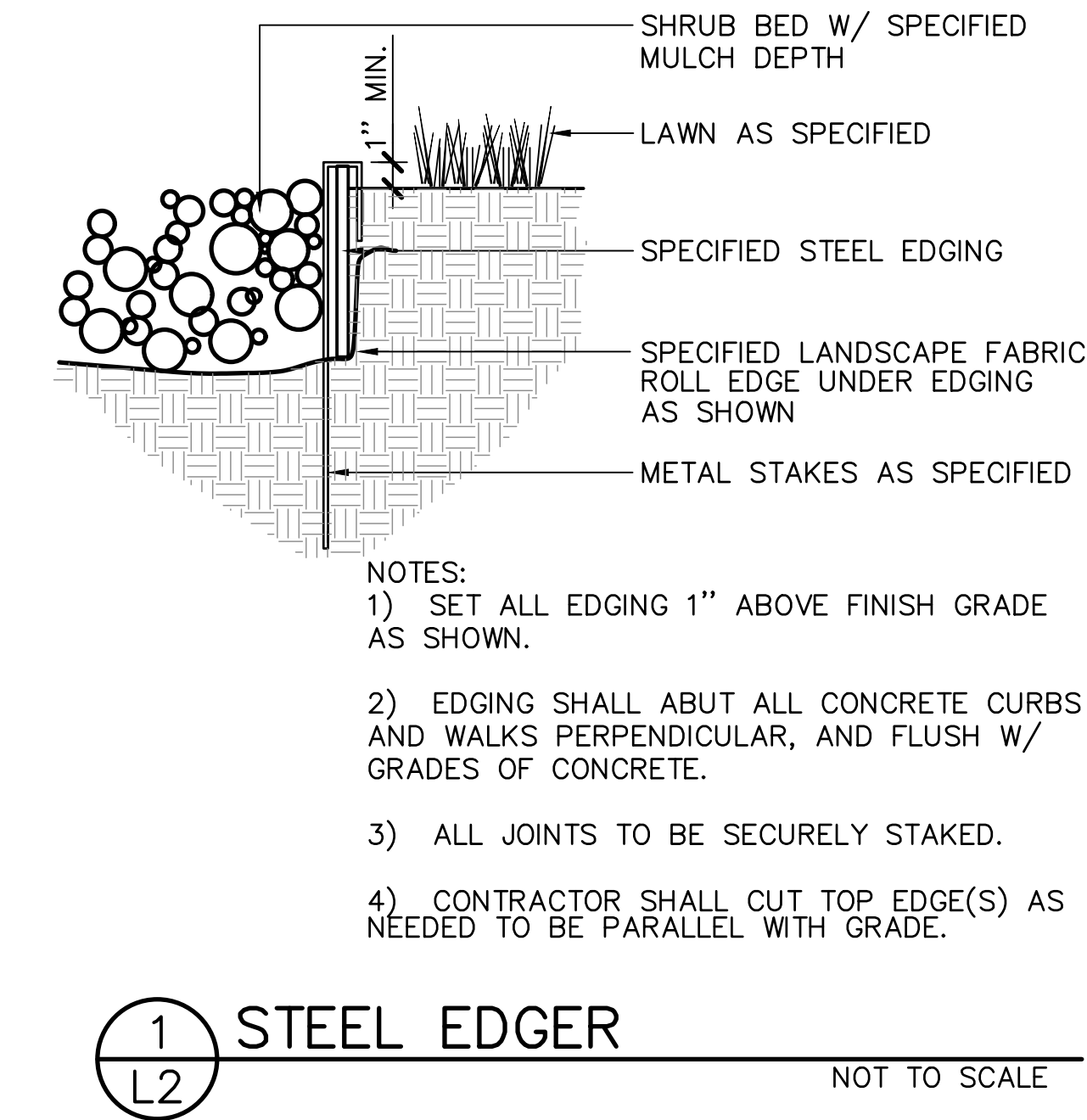
PERCENTAGES OF MIXES VARY YEAR-TO-YEAR DEPENDING ON HARVEST OF SEEDS. HYDROSEED OR HAND BROADCAST: 1 LB. PER 1,000 SQ. FT. OR 50 LBS. PER ACRE. RAKE IN ¼" DEEP AND IRRIGATE, IF POSSIBLE UNTIL ESTABLISHED. 'DRY NATIVE MOUNTAIN' SEED MIX IS AVAILABLE FROM PAWNEE BUTTES SEED INC., 605 25TH STREET, GREELEY, CO 80632. PHONE: 1-800-782-5947 WEBSITE: PAWNEEBUTTESSEED.COM

PROPOSED PLANT MATERIALS LIST


Note: All plant material has been chosen from the CSU Extension Office recommended plant lists. These lists have been cross referenced to find suitable plants for the elevation of Minturn (10,000 ft and above), and also to maximize use of plants native to the area, low-water use plants, and plants that enhance habitat and food sources for insects, butterflies, birds and other animals. The cross referenced lists are the following:

- CSU Extension, Fire Wise Plant Materials - 6.305
- CSU Extension, Trees and Shrubs for Mountain Areas - Fact Sheet No. 7.423
- CSU Extension, Low-Water Native Plants for Colorado Gardens, Mountains 7,500' and Above - CO Native Plant Society
- CSU Extension, Native Trees for Colorado Landscapes - Fact Sheet No. 7.421
- CSU Extension, Native Shrubs for Colorado Landscapes - Fact Sheet No. 7.422

QUAN.	COMMON/ BOTANICAL NAME	FIRE MITIGATION ZONE	SIZE	COMMENTS
DECIDUOUS TREES				
9	Quaking Aspen Populus tremuloides	1 & 2	2.5" cal.	Specimen quality B&B, guyed
ORNAMENTAL GRASSES (planted @ 12" O.C. spacing)				
10	Idaho Fescue Grass, Festuca idahoensis 'Siskiyou Blue'	1 & 2	1 gal.	Container Full
PERENNIAL GROUNDCOVERS (planted @ 12" O.C. spacing)				
13	Sulfur Flower Eriogonum umbellatum	1 & 2	Flats of 15 or 32	
PERENNIAL FLOWERS (planted @ 12" O.C. spacing)				
12	Rocky Mountain Columbine Aquilegia coerulea	1 & 2	Flats of 15 or 32	
DECIDUOUS SHRUBS				
6	Dark Purple Lilac Syringa vulgaris 'Yankee Doodle'	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
3	Goldfinger Potentilla Potentilla fruticosa 'Goldfinger' or 'Gold Drop'	1 & 2	5 gal.	Container, 5 canes minimum 12"-18" ht.
3	Mountain Snowberry Symphoricarpos oreophilus	1 & 2	5 gal.	Container, 5 canes minimum 12"-18" ht.
6	Peking Cotoneaster Cotoneaster lucidus	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
4	Saskatoon Serviceberry Amelanchier alnifolia	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.



Section 7, Item D.



Know what's below.
Call before you dig.

LANDSCAPE ARCHITECT:
TOMINA TOWNSEND, LA
PO BOX 3000, PMB 301
EDWARDS, CO 81632
P. 303.572.7876
TTownsend@ResortConceptsCO.com

MINTURN NORTH P.U.D.

LOT 26-LANDSCAPE PLAN

TOWN OF MINTURN, COLORADO

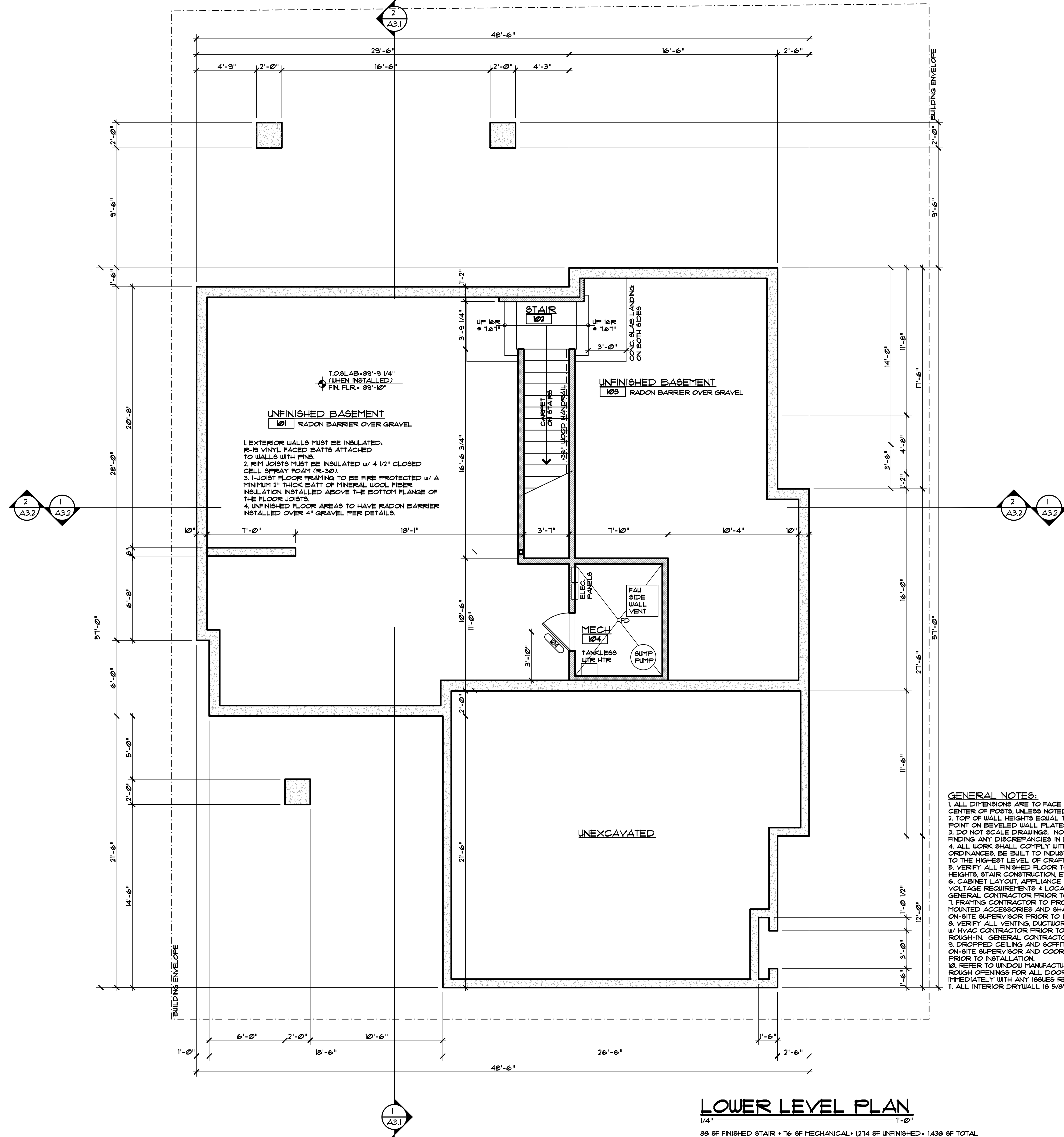
DESIGNED: TT
DRAWN: TT
CHECKED: RH
DATE: April 19, 2024
REVISIONS:
REVISED DRB SUBMITTAL: 5/22/24
-REVISED SNOW STORAGE PER LOT SIZE
-REVISED TREE QUANTITY PER LOT SIZE

DRB SUBMITTAL

SHEET TITLE:
LANDSCAPE
NOTES & DETAILS
SCALE: NOT TO SCALE
SHEET NUMBER:
L2

97

ISSUED			
#	DATE	BY	COMMENTS
3	5-22-24	DUE	REVISED DRB SUBMITTAL
2	4-19-24	DUE	DRB SUBMITTAL SET



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EGGERS
ARCHITECTURE, INC.
PO BOX 798
KREMMLING, CO 80459
(970) 724-3411 CELL: (970) 409-9790
don.eggars@eggarsarchitecture.com

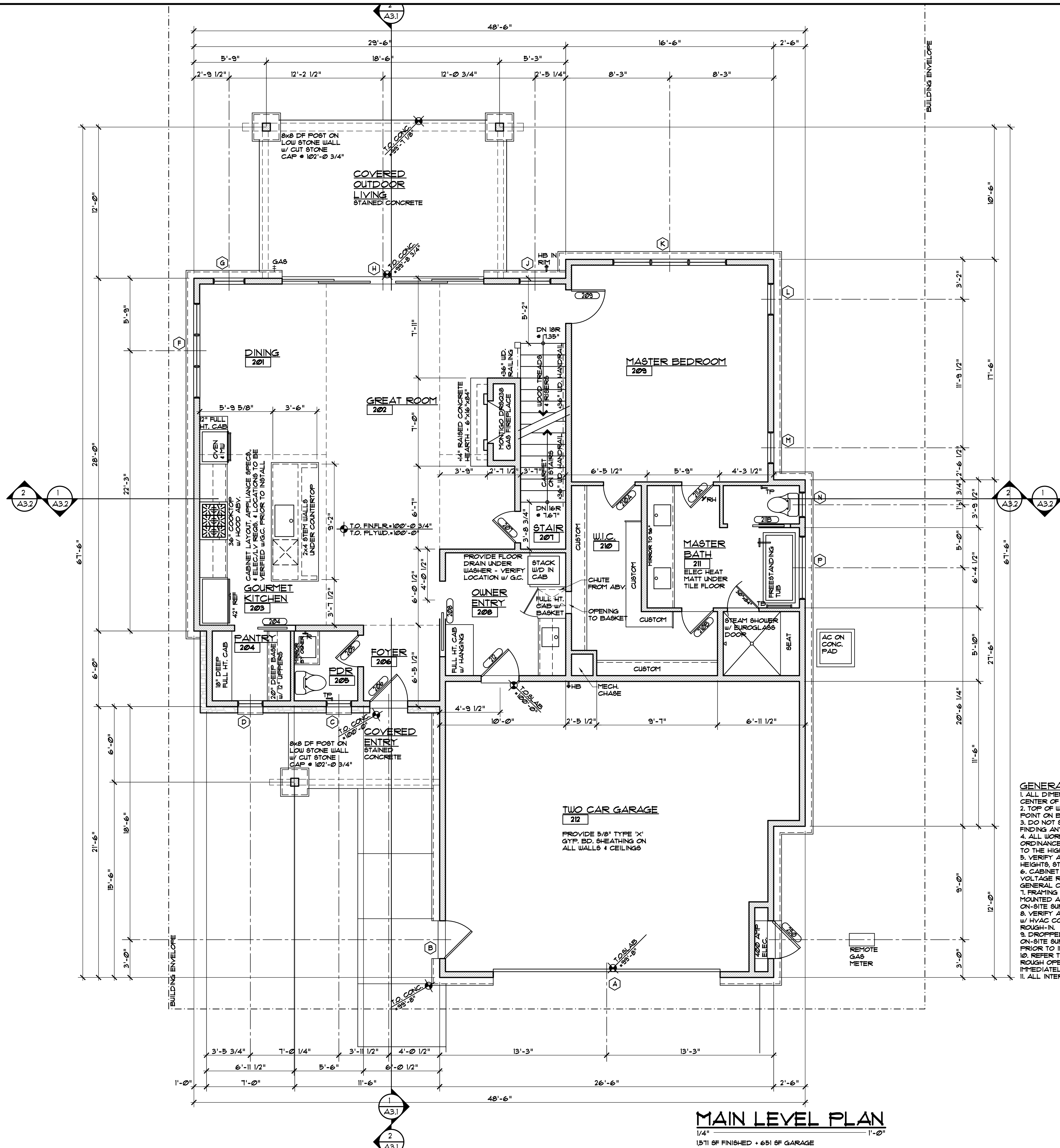
RESORT CONCEPTS
225 MAIN STREET, SUITE C-101
EDWARDS, COLORADO
(970) 926-1720

BURTON
LOT 26
MINTURN NORTH
MINTURN, COLORADO

PROJECT NO: 2412-22 L26

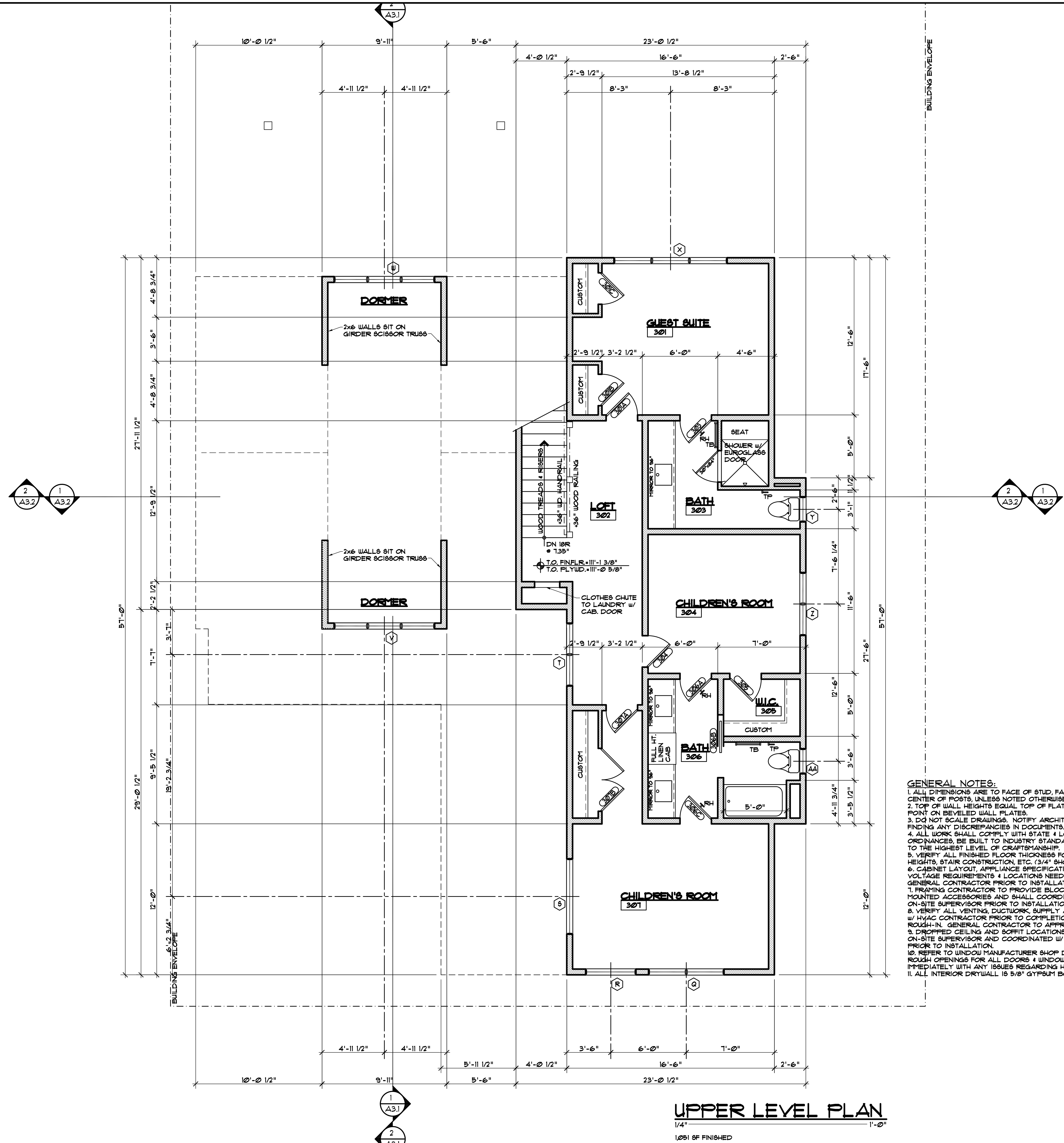
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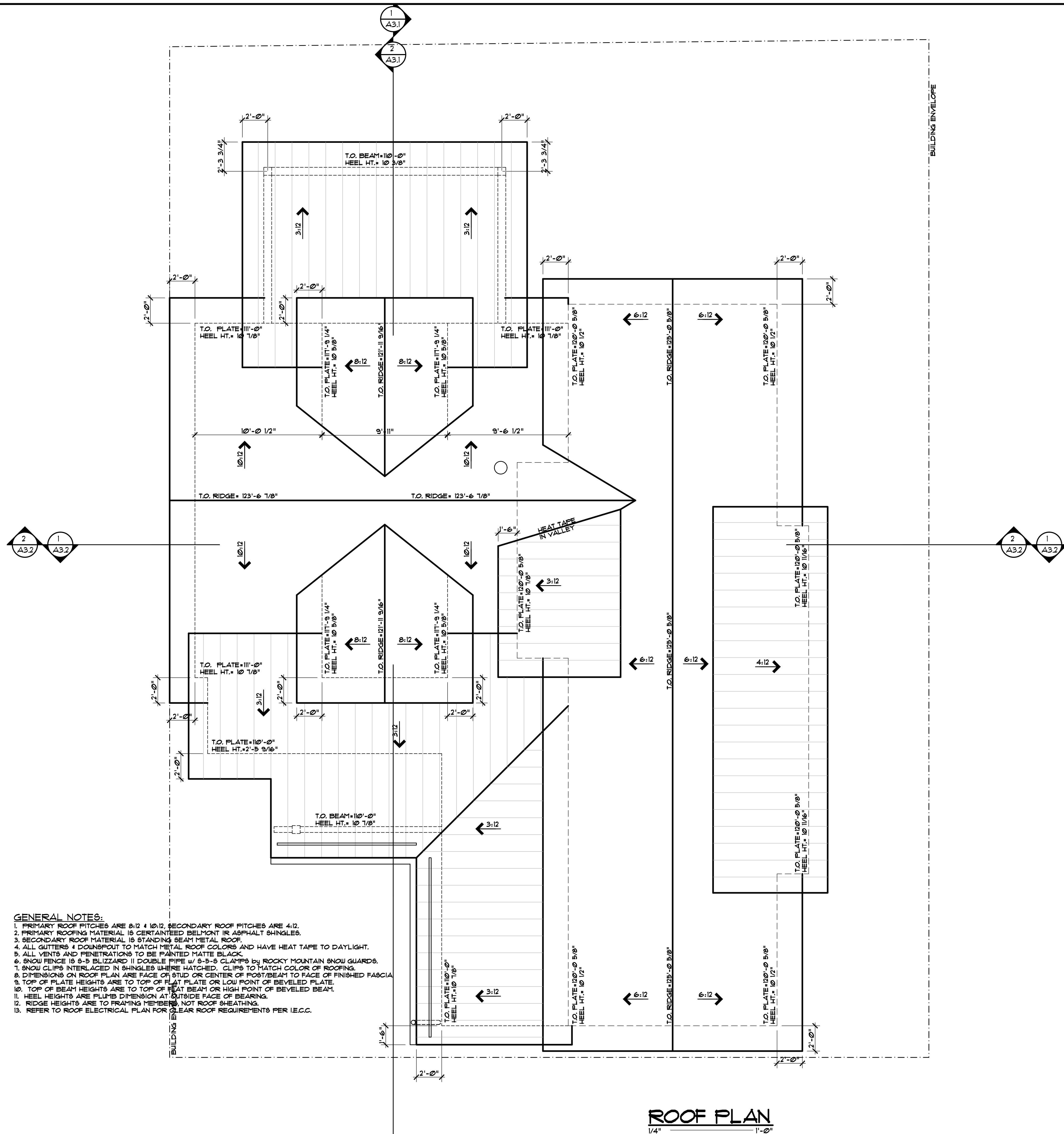


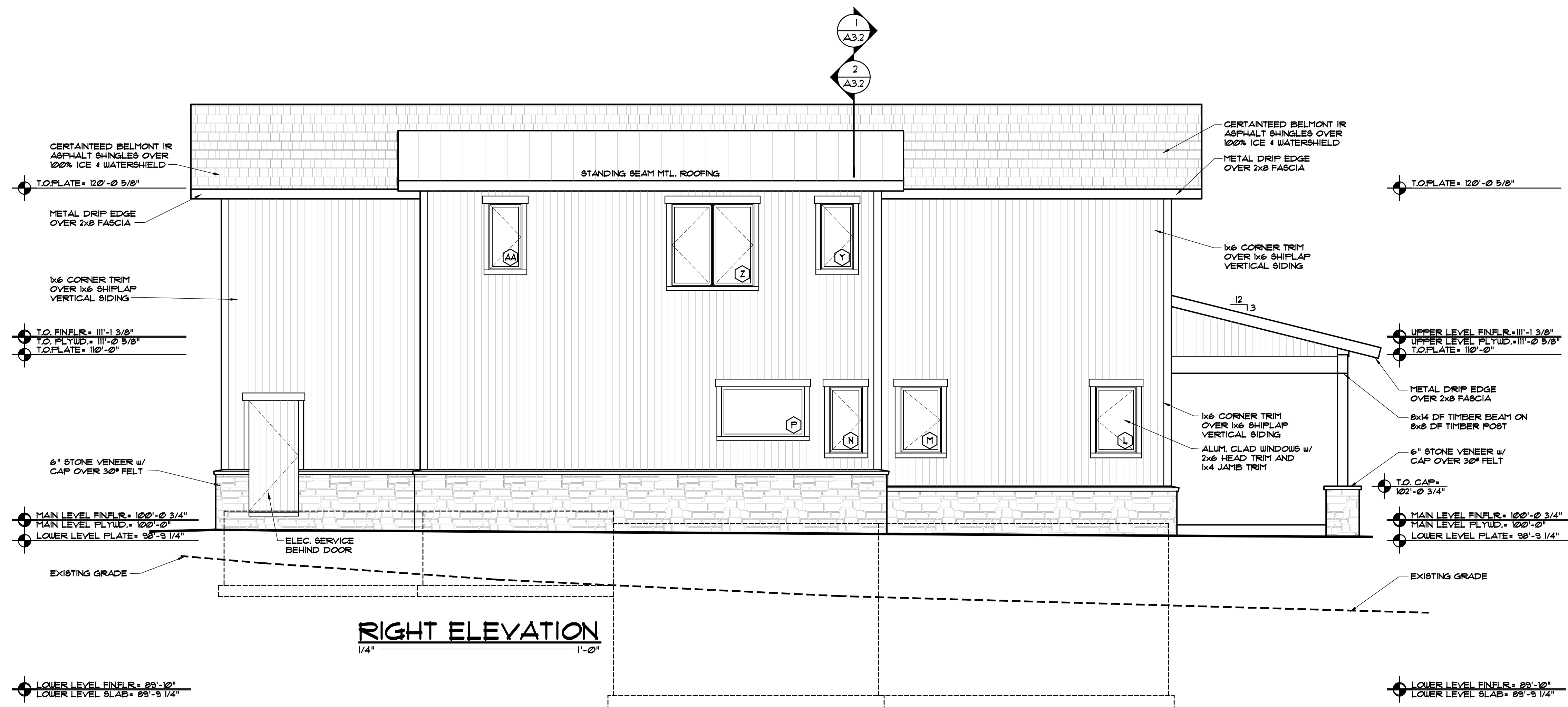
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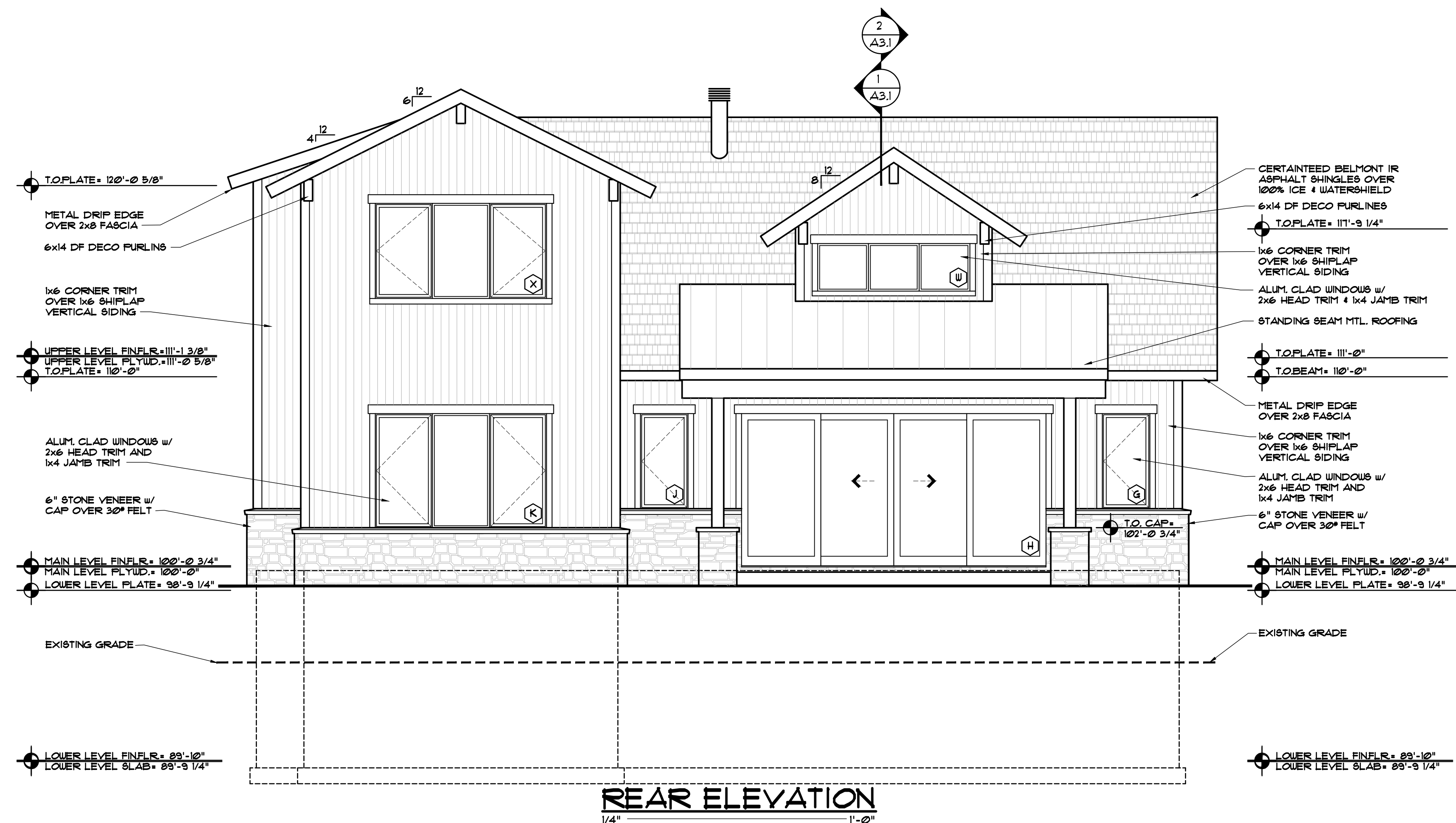
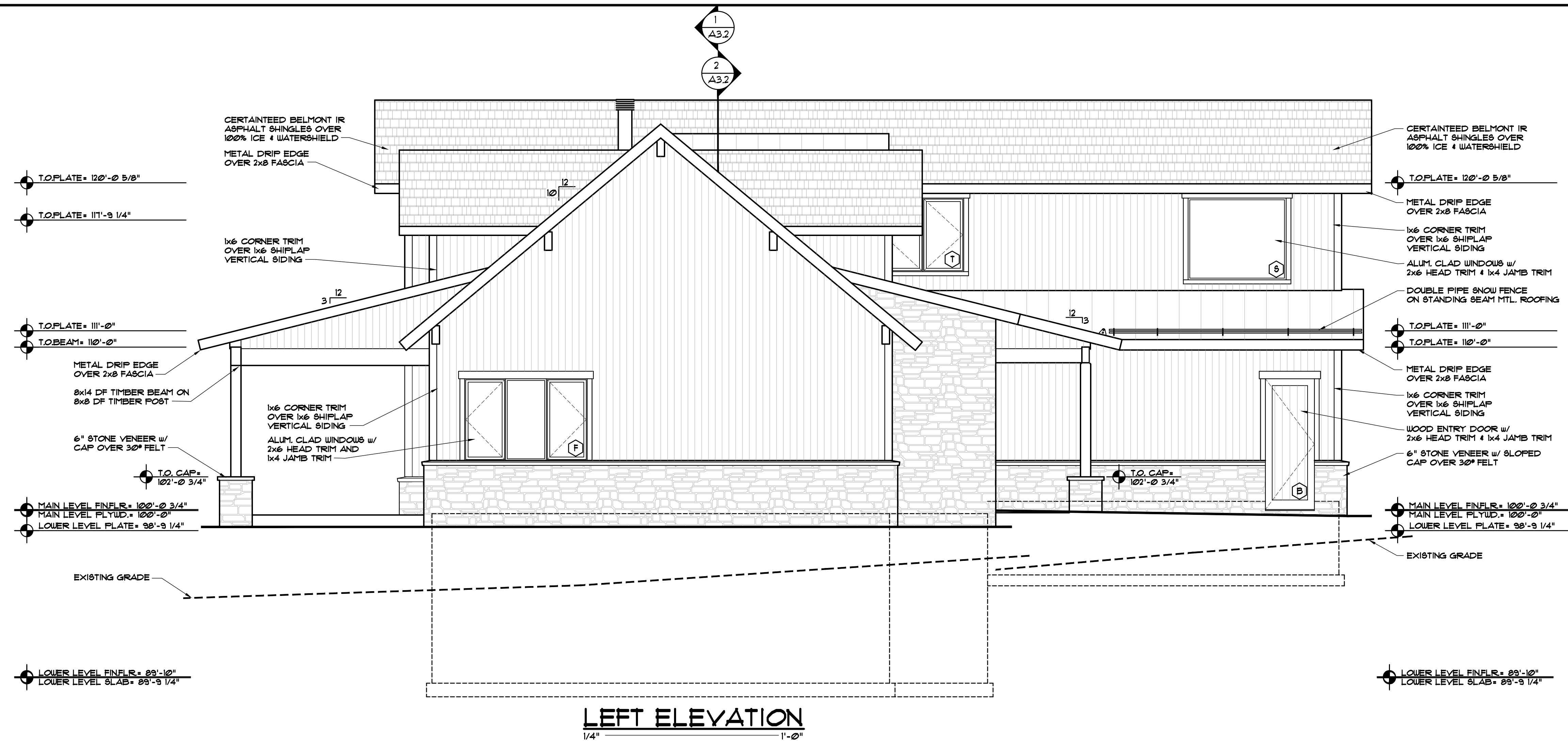
BURTON
LOT 26
MINTURN NORTH
MINTURN, COLORADO

PROJECT NO: 2412-22 L26

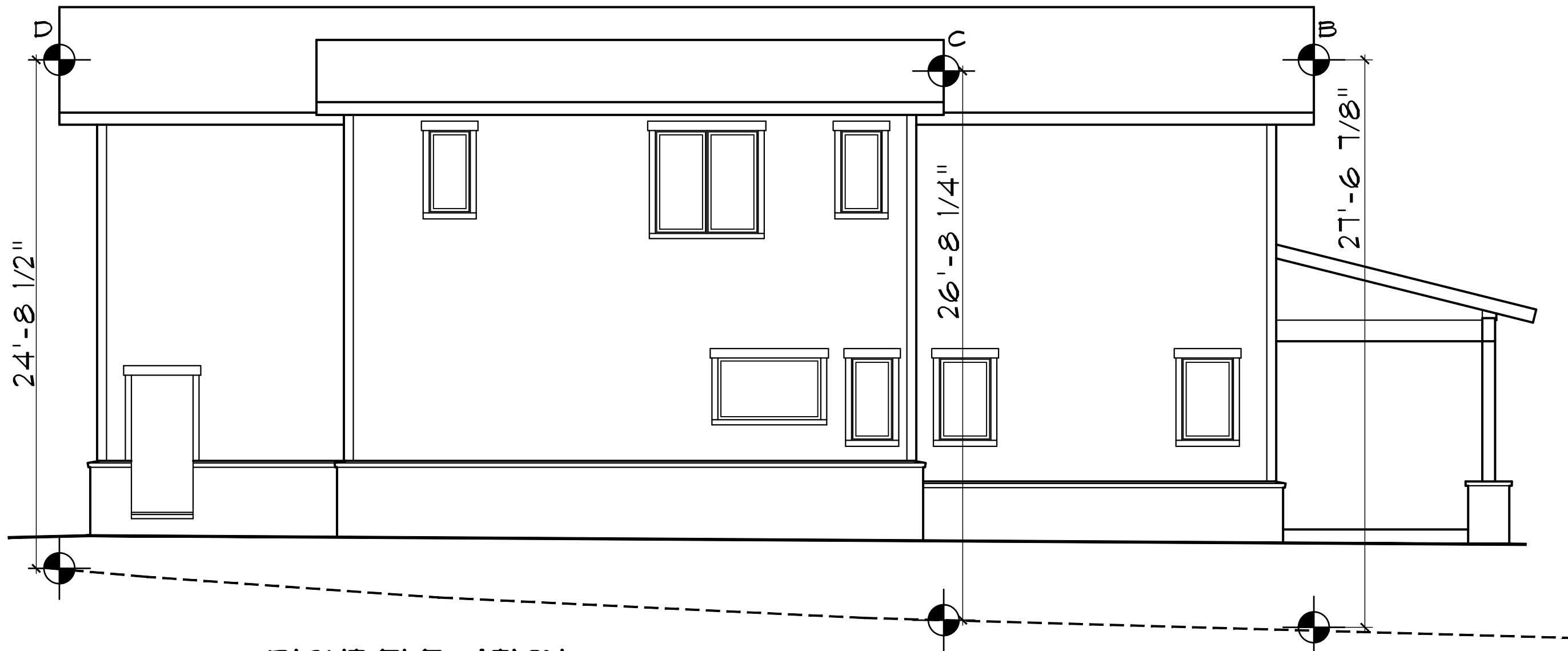
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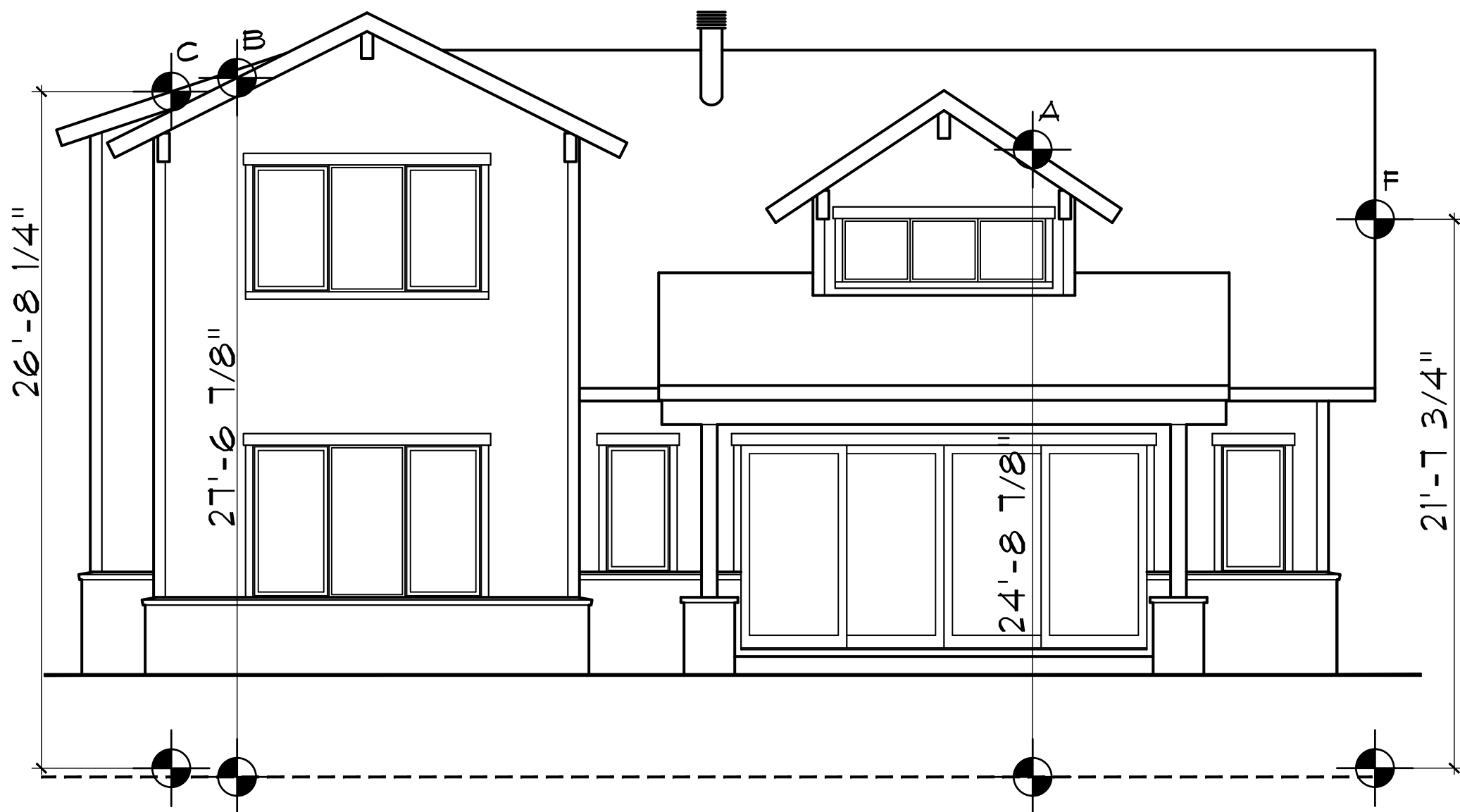
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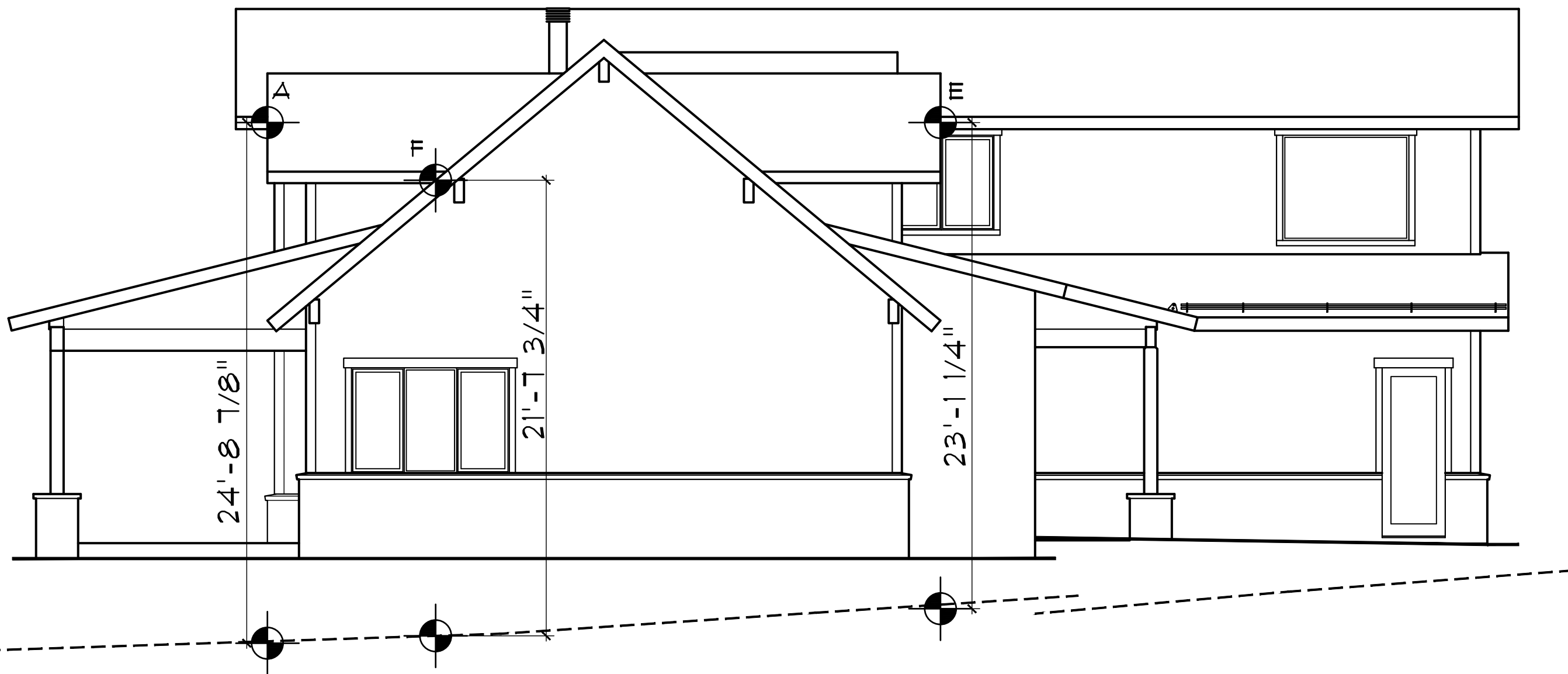
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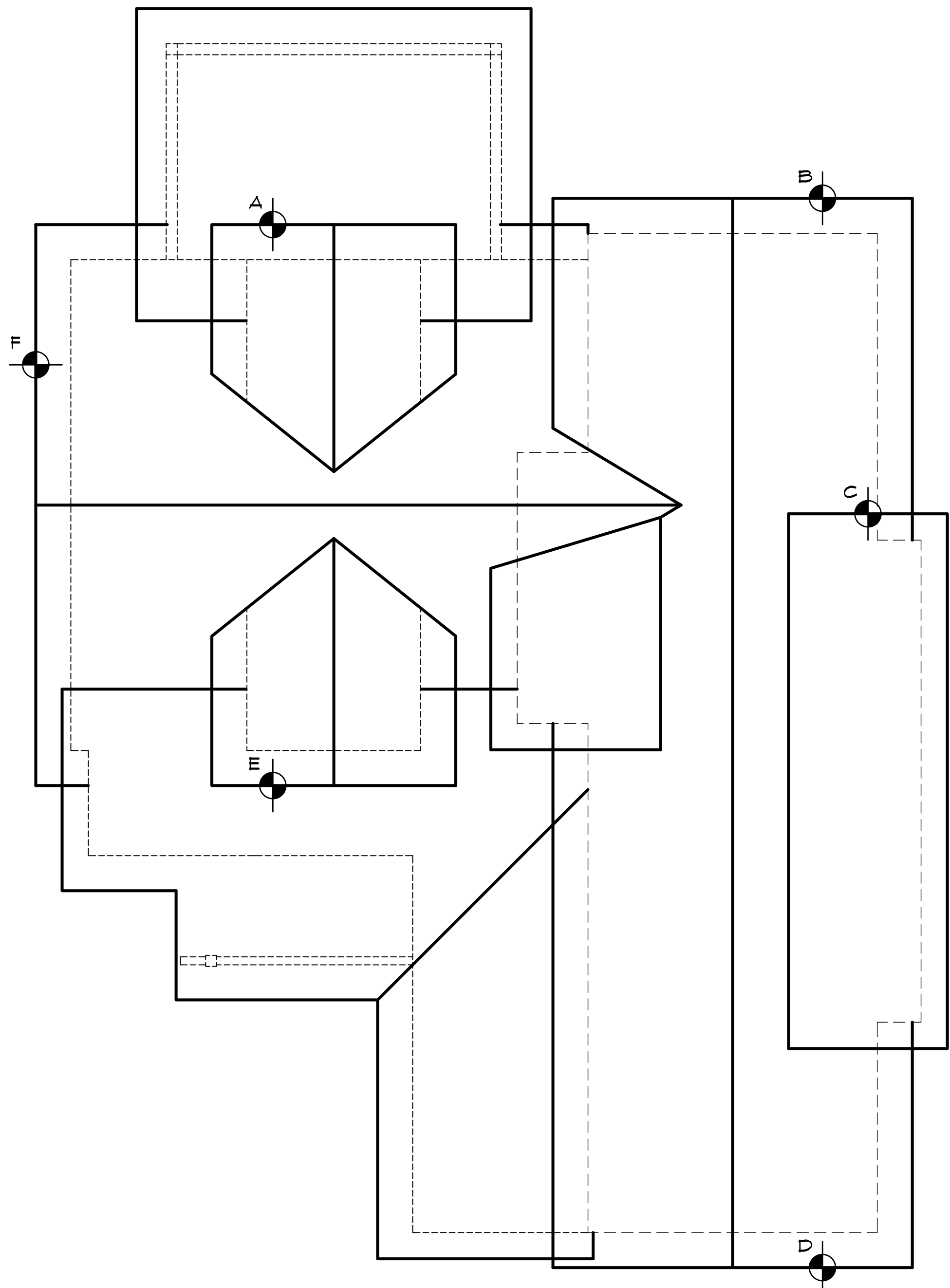
RIGHT ELEVATION
1/4" = 1'-0"



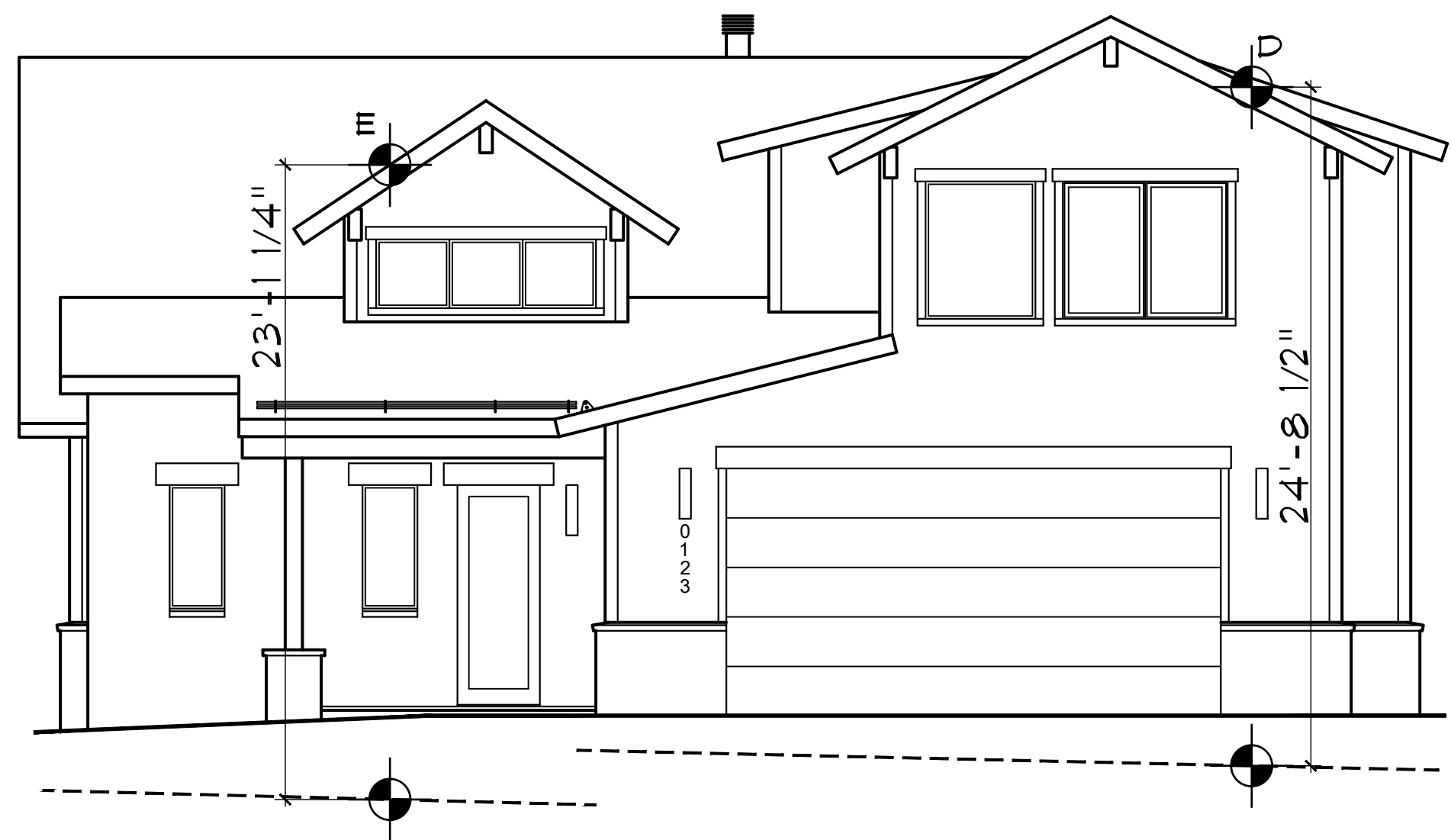
REAR ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"



ROOF PLAN
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

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ISSUED		COMMENTS	
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2	4-19-24	DUE	DRB SUBMITTAL SET

BH1

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Michael Boyd
Amanda Mire
Eric Rippeth
Darell Wegert

Design Review Board Hearing

Final Plan Review for New Home

0196 Miles End Lane

Hearing Date:	June 12, 2024
File Name and Process:	Single-Family Residence Final Plan Review
Owner/Applicant:	Kristine & Ian Widmer
Representative:	Taylor Hermes & Rick Hermes, Minturn North Construction Company
Legal Description:	Subdivision: MINTURN NORTH PUD Lot: 6
Address:	0196 Miles End Lane
Zoning:	Game Creek Character Area – Minturn North PUD Zone District
Staff Member:	Madison Harris, Planner I
Recommendation:	Approval, with Conditions

Staff Report

I. Summary of Request:

The Applicants, Kristine and Ian Widmer, request Final Plan review of a new, four-bedroom, 5,299 (gross) square foot single-family residence located at 0196 Miles End Lane in the Game Creek Minturn North PUD Zone District. The Applicant’s representatives, Taylor Hermes and Rick Hermes of the Minturn North Construction Company, have been proactive in meeting with Town staff prior to submitting plans for a new home and have provided a relatively complete and thorough set of site, landscaping, and architectural plans.

Proposed Plans

The plans show a two-story, four-bedroom structure with a maximum building height - measured to the midpoint of the roof – of 27 feet 10 and 3/4 inches, under the maximum allowable 28-foot limit within the Game Creek Minturn North PUD Zone District.

Additionally, the massing, forms, and scale of the proposed structure, as well as proposed exterior materials, textures and detailing also appear to achieve the design objectives of Appendix B – *Design Guidelines and Standards*, Minturn Municipal Code.

Parking is adequate, with four off-street spaces, two of which are provided within the garage and two in front of the garage. The plans show the entry level with one bedroom, garage, and entertainment lounge, and the upper level has the three remaining bedrooms and primary living area.

According to staff’s analysis of development standards and dimensional limitations in Section III below the project appears to meet the Town’s standards.

Overall, staff believes that the Applicants and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review.

As a reminder, the Planning Commission has the option to review the proposal as a “conceptual” plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or the Commission may take action to approve, approve with conditions, or deny the Final Plans.

Staff is **recommending approval**, with conditions.

II. Summary of Process and Code Requirements:

These plans are being presented by the Applicant as “Final Plan” level of review for a new single-family residential structure on a legally created lot within the Town of Minturn. This is a formal hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB’s concerns or feedback regarding suggested revisions to the project.

If the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve the plans without conditions, or to approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions, additions or updates to the plans. No variances are required or requested at this time.

Design Review Process

Appendix ‘B’ of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection “d” below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

- (d) *Administrative procedure.*

- (1) *Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.*

- (2) *Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:*
 - a. *The proposal's adherence to the Town's zoning regulations.*
 - b. *The proposal's adherence to the applicable goals and objectives of the Community Plan.*
 - c. *The proposal's adherence to the Design Standards.*

- (3) *Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:*
 - a. *That the proposal is in conformance with the Town zoning regulations.*
 - b. *That the proposal helps achieve the goals and objectives of the Community Plan.*
 - c. *That the proposal complies with the Design Standards.*

Staff suggests that the final plans for 0196 Miles End Lane meet or can be revised to meet the required findings ‘a,’ ‘b,’ and ‘c’ or subparagraph 3 – *Necessary findings* – with proposed conditions of approval.

III. Zoning Analysis:

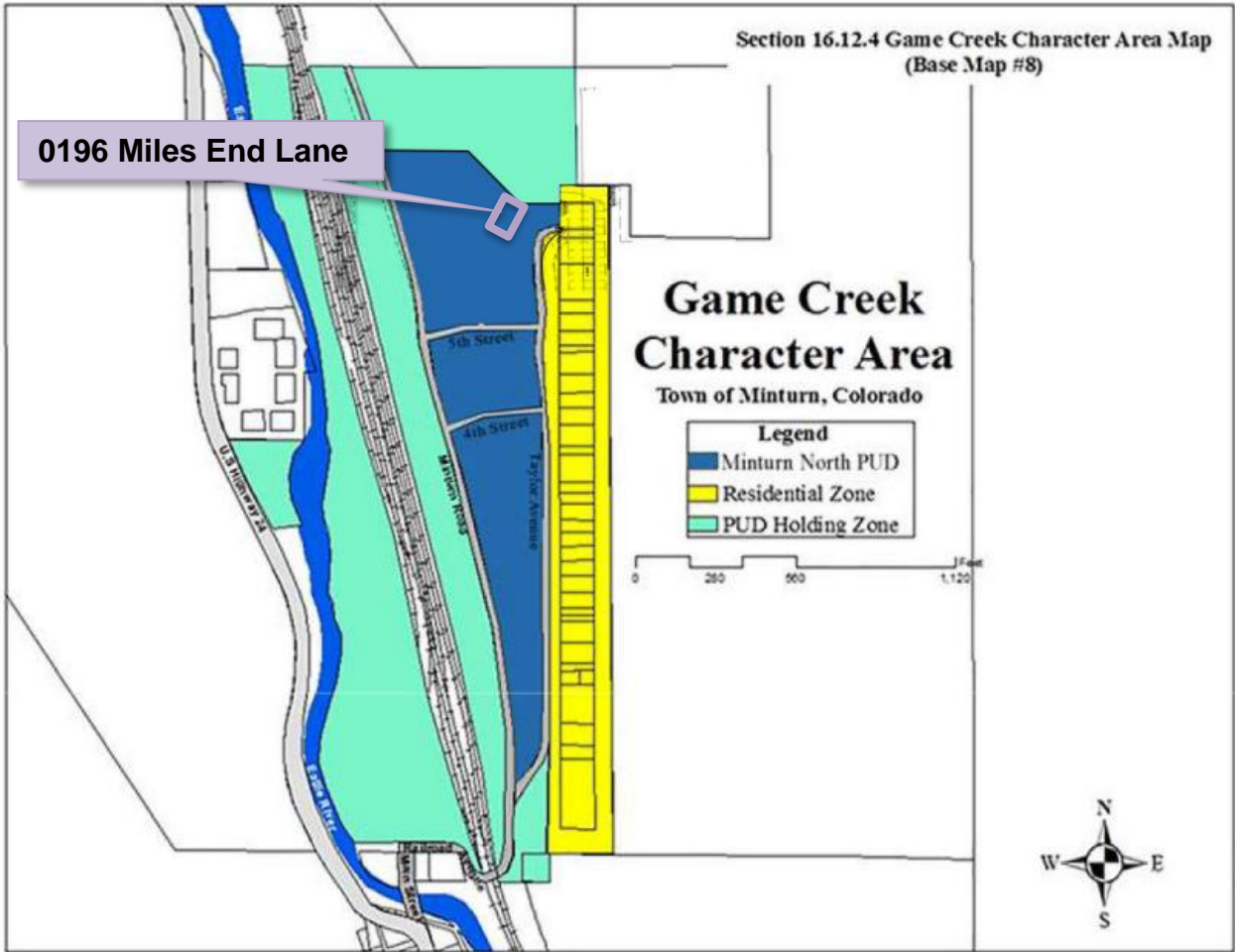
Zoning

The subject property is located within the “Game Creek Character Area” Minturn North PUD Zone District Planning Area 1 (PA-1), described as follows:

“The primary intent of this Planning Area is to create a market rate single-family residential use zone surrounded by common area and open space.”
- Ordinance No. 15 – Series 2023 Minturn North PUD Guide

Rest of page left intentionally blank

Figure 1: Game Creek Character Area Zoning Map



Dimensional Limitations and Development Standards

The following table summarizes the lot, development and dimensional standards and limitations applicable to the subject property pursuant the approved Final Development Plan for the Minturn North PUD.

Regulation	Allowed/Required	Proposed/Existing
Minimum Lot Area:	7,274.52 sq. ft.	7,274.52 sq. ft. (.166 ac.)
Maximum Building Height:	28 feet	27 feet – 10 3/4 inches
Minimum Front Setback:	20 feet	20+ feet
Minimum Side Setback:	5 feet	5 feet
Minimum Rear Setback:	10 feet	10 feet

Maximum Lot Coverage:	50% (3,637.26 sq. ft.)	2,976 sq. ft. (40.91%) Proposed
Maximum Impervious Coverage:	60% (4,364.71 sq. ft.)	3,799 sq. ft. (52.22%) Proposed
Minimum Snow Storage Area:	5% of Lot Area (7,274.52 sq. ft. x .05 = 363.73 sq. ft.)	413 sq. ft.
Parking:	4 spaces	4 spaces

IV. Applicable Standards and Design Guideline Criteria:

Design

In addition to the development standards listed above, the following general design principles are provided for reference.

Final Site, Grading and Drainage Design

The Minturn Design Guidelines encourage designs that integrate or account for site topography and existing conditions, surrounding conditions, solar orientation, placement on lots relative to streets and natural features, snow storage and snow shed from roof structures.

Mass and Form

The following excerpt from the Design Guidelines is applicable to the proposed home design:

“c. Massing and Scale

“A simple central form with additive features shall be designed. This style creates visual interest and is appropriate for the community due to its compatibility with existing structures. Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

“Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.”

-Town of Minturn Design Guidelines

Staff Response:

Staff believes that the design and scale of the proposed structure incorporates a simple central form with additive features and is complementary to adjacent residential structures and character on nearby parcels. Staff further suggests that the scale of the project is appropriate and will not

overpower surrounding natural and built environments. Proposed roof forms and pitches, materials and textures are compatible and complementary to the surrounding built and natural environments.

V. Issues and Recommended Revisions:

Issues or Required Plan Revisions

The following issues or areas of refinement have been identified by staff that must be addressed prior to any building permit application submittal and are reflected in staff’s recommended list of conditions:

Site Plan

Due to the proximity of Game Creek staff and the Town Engineer recommend providing the layback distance needed and potential disturbance between the proposed MSE wall and the Game Creek Live Stream Setback area as well as showing the limits of the Debris Flow area on the site plan.

VI. Staff Recommendation:

Staff suggests that the Final Plans for 0196 Miles End Lane, as conditioned below, generally **comply** with or exceed the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix ‘B’) of the Minturn Town Code.

Staff is **recommending approval** of the plans, with the following recommended condition(s):

1. The Applicant shall provide details on the site plan regarding the layback distance needed and potential disturbance between the proposed MSE wall and the Game Creek Live Stream Setback area as well as showing the limits of the Debris Flow area on the site plan prior to or concurrent with building permit application.

May 24, 2024

Madison Harris
Town of Minturn Planner
PO Box 309
Minturn, CO 81645

Re: 196 Miles End Lane
Lot 6, Minturn North PUD
DRB Resubmittal Review
Project No. 24-0001

Dear Madison:

We reviewed the plans entitled “Widmer Residence; Lot 06, Minturn North, Minturn Colorado” prepared April 19, 2024 (revised 5.22.24) by Eggers Architecture Inc. (Plans) included in the DRB application for Lot 6, Minturn North PUD. Our review was for compliance with the engineering requirements of Section 16-21-615: Design Review applications of the Minturn Municipal Code (MMC). Review comments in **Red** below:

MMC Section 16-21-615 Section C:

Section (C) (2) Boundary Survey:

Paragraphs a through e:

“Final Plat: Minturn North PUD” recorded March 4, 2024 (Reception No. 202402234) has been included as the Boundary Survey. This plat and associated title commitment were reviewed by the Town and the plat is suitable as the Boundary Survey for this application. **Resolved,**

Paragraphs f through i:

The plans reference the basis of elevation as the “Original Topographic Map of Minturn North” prepared by Gore Range Surveying LLC, Job No. 19-1203 prepared April, 1, 2021.

Sheet C1 of the Plans “Lot 6, Minturn North PUD; Site Grading and Drainage Plan” prepared April 19, 2024 by Boundaries Unlimited presents the proposed site grading and drainage. The basis of this map appears to be Sheet C.7 of the “Minturn North PUD Overall Grading and Drainage Plan; Construction Plan Set 5/1/24” prepared by Boundaries Unlimited Inc. (Sheet C.7).

The Town issued a Grading Permit based on the Construction Plan Set and Sheet C.7 shows the grading and utilities underway at Minturn North. This plan more accurately reflects the

VALE VALLEY OFFICE

30 Benchmark Road, Suite 216 | PO Box 978 | Avon, CO 81620

DENVER OFFICE

9618 Brook Hill Lane | Lone Tree, CO 80124

970.949.5072 | info@inter-mtn.net

Madison Harris

Re: 196 Miles End Lane
DRB Resubmittal Review
Project No. 24-0001

basis for design, and we recommend Sheet C.7 be included in the DRB plan set to fulfill the requirements of Paragraphs f through i.

Resolved.

Section (C) (3) Site Plan:

~~We offer the following regarding the Site Plan:~~

- ~~e. The ridge elevation shown on Sheet A1.3 is measured relative to the finished floor elevation. Calculations of roof height meeting MMC requirements should be added to the plan.~~

Resolved.

Other:

- ~~i. The Ordinary High Water Mark (OHWM) is shown on the plan but needs to be labeled.~~
- ~~ii. The OHWM setback line needs to be shown.~~
- ~~iii. Limits of the 100 year flood plain needs to be shown.~~
- iv. Limits of the Debris Flow needs to be shown.

We recommend the limits of the Debris Flow be shown on the Site Plan.

Section (C) (4) Grading & Drainage Plan:

~~The Plans included in the DRB submittal fulfill Grading and Drainage Plan requirements and we take no exception to the design as presented.~~

Resolved.

Review by Inter-Mountain Engineering is for general conformance with Minturn Municipal Code requirements and is not a peer review. Review by Inter-Mountain Engineering in no way relieves any responsibilities of design professionals associated with the project.

Please feel free to contact us if you have additional questions.

Respectfully,
Inter-Mountain Engineering (Town Engineer)



Jeffery M. Spanel PE

CC: Michelle Metteer, Scot Hunn



April 19, 2024
Town of Minturn Planning Commission
Attn: Madison Harris

RE: Widmer Residence
Lot 6 Minturn North – 0196 Miles End Lane, Minturn, CO 81645
Design Review Letter of Intent

Madison:

The attached submittal includes a single-family residence within the Minturn North neighborhood. The home is subject to the Minturn North PUD Guide, Town of Minturn Code and all pertinent documents approved by the Town Council.

Lot 6 is located at 0196 Miles End Lane on a downhill sloping undisturbed vacant lot which drops in elevation approximately 4' through the building envelope. The home has been oriented facing south, parallel to the building envelope lines to maximize the site's location to Game Creek. The home has been designed as a patio residence due to the gently sloping topography. The architectural style is a mix of gable forms and low pitch shed roofs to create a composition of forms rather than a single massive structure.

The home exterior is a balanced mix of stone and wood with appropriate architectural detailing which enhances the mountain vernacular. The landscaping is intentionally minimal in-keeping with the intent of the approved Minturn North PUD.

Should you have any questions or need clarifications, please don't hesitate to contact me.

Sincerely,

Taylor Hermes
512.468.3012



DESIGN REVIEW APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT

P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
 Phone: 970-827-5645 Fax: 970-827-5545 Email: planner@minturn.org

Project Name:

Minturn North

Project Location

Street Address: 196 Miles End Lane

Zoning:

Residential

Parcel Number(s):

2103-262-30-006

Application Request:

Design review of new single-family home

Applicant:

Name:

Taylor Hermes & Rick Hermes – Minturn North Construction Company, LLC

Mailing Address:

PO Box 2633 Edwards, CO 81632

Phone:

970-926-1720

Email:

THermes@ResortConceptsCO.com

Property Owner:

Name:

Kristine & Ian Widmer

Mailing Address:

PO Box 6379 Vail, CO 81657

Phone:

763-442-4619 (Kristine) / 612-280-9522 (Ian)

Email:

Kristine.R.Widmer@gmail.com / Widmer1513@gmail.com

Required Information:

Lot Size: 0.166 acres	Type of Residence (Single Family, ADU, Duplex) SFH	# of Bedrooms 5	# On-site Parking Spaces 4
# of Stories: 2	Snow storage sq ft: 325 sf	Building Footprint sq ft: 2,976 sf	Total sq ft Impervious Surface: 3,799 sf

Signature:

Fee Paid: _____

Date Received: _____

Planner: _____

DESIGN REVIEW APPLICATION

SUBMITTAL CHECKLIST REQUIREMENTS
(TO BE INCLUDED WITH APPLICATION)

Applicant	Staff	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application Fee (Non-Refundable application fee shall be collected) <ul style="list-style-type: none">• Design Review Board - \$200.00
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Letter of Intent -- What is the purpose of the project including; <ul style="list-style-type: none">• Relevant Background• Current Status of the Site• All Proposed Uses and Structures• How the Proposal Differs from what already exists• Information regarding Easements or Dedicated Tracts, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Vicinity Map -- Directional Map indicating how to get to the Property involved in the request. <ul style="list-style-type: none">• Zoning of Property
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Site Plan showing Precise Nature of the Proposed Use –
<input checked="" type="checkbox"/>	<input type="checkbox"/>	To Scale <ul style="list-style-type: none">• Scaled Drawings of Proposed Design of Structure<ul style="list-style-type: none">○ Plan View and Sections• Building Heights – all 4 directions N/S/E/W• topography• Building Location and impervious coverage• Setbacks• Ordinary High Water Mark determined by the Town Engineer and paid for by Applicant• Parking Plan• Traffic Circulation<ul style="list-style-type: none">○ Location and Width of Existing and Proposed Access Points○ Location of Existing Driveways and Intersections• Landscaped Area – Plan including existing and proposed vegetation.• Approximate Location of Existing Wooded Areas and Rock Outcrops• Location and Type of Existing and Proposed Easements• Utility Easements• Drainage Features• Snow Storage areas expressed in square feet as a percentage of the overall site area
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Preliminary Building Plans and Elevations <ul style="list-style-type: none">• Indicates Dimensions• General Appearance• Scale• Interior Plan for the Buildings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	


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Elements needed on the Site Plan

- Scale
- North Arrow
- Date Prepared
- Lot Dimensions, Area, Entire Site Acreage


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Architecture Details – Materials Board

- Windows – Placement and Color
- Doors – Placement and Color
- Siding – Type and Color
- Roof Material – Type and Color
- Paint Color


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Boundary Survey with a stamp and signature of a licensed surveyor

- Date of survey (survey date must be within 6 months of the project application date)
- Right-of-way and property lines; including bearings, distances and curve information.
- Labeled ties to existing USGS benchmark.
- Property boundaries to the nearest one-hundredth (.01) of a foot accuracy. Distances and bearings and a basis of bearing must be shown. Show existing pins or monuments found and their relationship to the established corner.
- All existing easements recorded with the County Clerk and Recorder. Include bearings and distances.
- Spot elevations at the edge of asphalt along the street frontage of the property at five-foot intervals, and a minimum of two (2) spot elevations on either side of the lot.
- Topographic conditions at two-foot contour intervals.
- Existing trees or groups of trees having trunks with diameters of four (4) inches or more.
- Rock outcroppings and other significant natural features.
- All utility meter locations, including any pedestals on site or in the right-of-way adjacent to the site and the exact location of existing utility sources.
- Environmental hazards where applicable (i.e., rock fall, wetlands and floodplain).
- Watercourse setbacks, if applicable. Show centerline and edge of stream or creek in addition to the required stream setback from the ordinary high water mark.


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Grading and Drainage Plan

- Existing contours. Existing two-foot contours must be provided for all disturbed areas. Contours for undisturbed areas must be shown when drainage in those areas impacts the disturbed area.
- Proposed contours. Proposed two-foot contours for all disturbed areas must be shown and must demonstrate positive drainage.
- Spot elevations. Show critical spot elevations, as necessary to demonstrate positive drainage and the direction of flow. Finished grade at all building corners must be provided.
- Top-of-foundation elevations. The top-of-foundation elevation must be shown on the plan and must be consistent with the foundation plan. For buildings on slopes of thirty percent (30%) or greater, elevations for stepped foundation walls must be shown.
- Drainage arrows. Include drainage arrows that show how stormwater will be routed around buildings and where stormwater will exit the property. Stormwater cannot cause damage to any adjacent property. Drainage and erosion control features needed to prevent damage must be included.
- Drainage facilities. Proposed drainage facilities, such as French drains or culverts, must be shown.
- Retaining walls. Retaining wall details are required and must include drainage details. Note top- and bottom-of-wall elevations at each location where the retaining wall steps up or down, and include the tallest point of the retaining wall.


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Terraces & Walkways
Stained Concrete



Exterior Stone
Colorado Buff



Horizontal Siding, Fascia & Columns
Color: Custom Stain



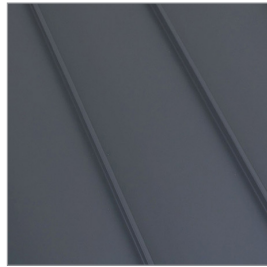
Vertical Siding, Soffits & Railing
1"x8" – Butt Joint, Smooth
Color: Custom Stain



Wood Columns per Plan
Color: Custom Stain



Roofing
Mfg: CertainTeed Belmont
Asphalt Shingles
Color: Black Granite



Roofing
Standing Seam Metal
Color: Dark Gray



Garage Door
9'-0" x 18'-0" Insulated Metal
Color: Matte Black



Windows and Doors
Mfg: Alan Bradley Cityline
Color: Matte Black



Exterior Lighting
Mfg: Hinkley Mist 22" Sconce
Color: Satin Black



Entry Door
Solid Wood
Color: Custom Stain



Entry Door Hardware
Emtek Lausanne Full Plate
with Helios Interior Lever
Color: Matte Black

PERSPECTIVE 1



DISCLAIMER: All plans, renderings, specifications and marketing materials are subject to revisions and modifications at Developers sole discretion due to site specific grading conditions, availability of materials, availability of labor, manufacturer supply shortages, and Governmental Agency changes. All plans and specifications are subject to revisions and conditions of approval by the Minturn North Design Review Board, Town of Minturn City Council, Town of Minturn Design Review Board, Town of Minturn Building Permit Department and all other applicable regulatory agencies. Artist renderings have been provided for illustrative and marketing purposes only and should not be relied upon as a basis for purchasing. Color, materials and design elements are subject to refinement and revision without notice at Developers sole discretion.

MINTURN NORTH - LOT 6

DRB DESIGN REVIEW - 3D VIEWS
MAY 22, 2024

EGGERS ARCHITECTURE, INC. AXIS DESIGN

RESORT CONCEPTS

PERSPECTIVE 2



DISCLAIMER: All plans, renderings, specifications and marketing materials are subject to revisions and modifications at Developers sole discretion due to site specific grading conditions, availability of materials, availability of labor, manufacturer supply shortages, and Governmental Agency changes. All plans and specifications are subject to revisions and conditions of approval by the Minturn North Design Review Board, Town of Minturn City Council, Town of Minturn Design Review Board, Town of Minturn Building Permit Department and all other applicable regulatory agencies. Artist renderings have been provided for illustrative and marketing purposes only and should not be relied upon as a basis for purchasing. Color, materials and design elements are subject to refinement and revision without notice at Developers sole discretion.

MINTURN NORTH - LOT 6

DRB DESIGN REVIEW - 3D VIEWS
MAY 22, 2024

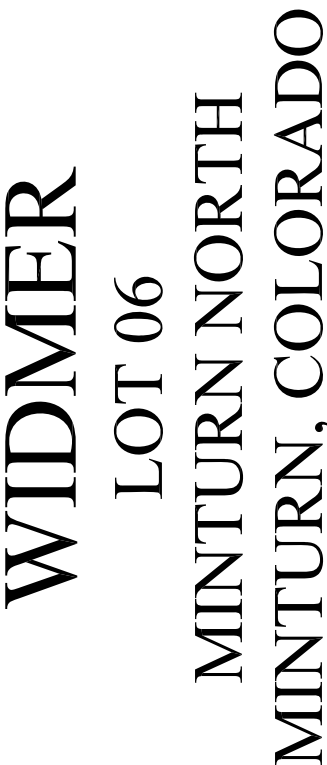
EGGERS ARCHITECTURE, INC. AXIS DESIGN

RESORT CONCEPTS

ection 7, ItemE.

EGGERS
ARCHITECTURE, INC.
PO BOX 798 KREMMLING, CO 80459
(970) 724-3411 CELL: (970) 409-9790
don.eggars@eggarsarchitecture.com

RESORT CONCEPTS
2225 MAIN STREET, SUITE C-101
EDWARDS, COLORADO
(970) 926-1720



PROJECT NO: 2412-22 L06

7000

#	DATE	BY	COMMENTS
6	5-22-24	DUE	REV. DRB SUBMITTAL
5	4-19-24	DUE	DRB SUBMITTAL SET

C

DISCLAIMER: ALL PLANS, RENDERINGS, SPECIFICATIONS AND MARKETING MATERIALS ARE SUBJECT TO REVISIONS AND MODIFICATIONS AT DEVELOPERS SOLE DISCRETION DUE TO SITE SPECIFIC GRADING CONDITIONS, AVAILABILITY OF MATERIALS, AVAILABILITY OF LABOR, MANUFACTURER SUPPLY SHORTAGES, AND GOVERNMENTAL AGENCY CHANGES. ALL PLANS AND SPECIFICATIONS ARE SUBJECT TO REVISIONS AND CONDITIONS OF APPROVAL BY THE MINTURN NORTH DESIGN REVIEW BOARD, TOWN OF MINTURN CITY COUNCIL, TOWN OF MINTURN DESIGN REVIEW BOARD, TOWN OF MINTURN BUILDING PERMIT DEPARTMENT AND ALL OTHER APPLICABLE REGULATORY AGENCIES. ARTIST RENDERINGS HAVE BEEN PROVIDED FOR ILLUSTRATIVE AND MARKETING PURPOSES ONLY AND SHOULD NOT BE RELIED UPON AS A BASIS FOR PURCHASING. COLOR, MATERIALS AND DESIGN ELEMENTS ARE SUBJECT TO REFINEMENT AND REVISION WITHOUT NOTICE AT DEVELOPERS SOLE DISCRETION.

MINTURN TOWN CERTIFICATE

This plat is approved by the town council of the Town of Minturn, County of Eagle, State of Colorado this 1 day of March, 2024, for filing with the Clerk and Recorder of the County of Eagle, Colorado, and for conveyance of the dedications shown hereon; subject to the provisions that approval in no way obligates the Town of Minturn for financing or construction of improvements of said lands, streets or easements dedicated to the public, except as specifically agreed to by the Town Council of the Town of Minturn.

WITNESS MY HAND AND THE SEAL OF THE TOWN OF MINTURN
TOWN COUNCIL OF THE TOWN OF MINTURN

BY:



MAYOR
TOWN OF MINTURN, COLORADO

ATTEST:

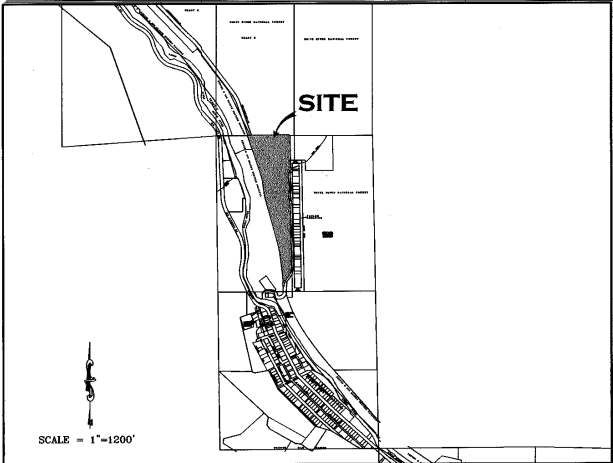
TOWN CLERK
TOWN OF MINTURN, COLORADO

LAND USE TABLE

LOT	USE	AREA	ADDRESS
1	SINGLE FAMILY	0.196 Acres	0246 Miles End Lane
2	SINGLE FAMILY	0.189 Acres	0236 Miles End Lane
3	SINGLE FAMILY	0.193 Acres	0226 Miles End Lane
4	SINGLE FAMILY	0.181 Acres	0216 Miles End Lane
5	SINGLE FAMILY	0.191 Acres	0206 Miles End Lane
6	SINGLE FAMILY	0.166 Acres	0196 Miles End Lane
7	SINGLE FAMILY	0.158 Acres	0186 Miles End Lane
8	SINGLE FAMILY	0.166 Acres	0176 Miles End Lane
9	SINGLE FAMILY	0.164 Acres	0166 Miles End Lane
10	SINGLE FAMILY	0.164 Acres	0156 Miles End Lane
11	SINGLE FAMILY	0.164 Acres	0146 Miles End Lane
12	SINGLE FAMILY	0.172 Acres	0136 Miles End Lane
13	SINGLE FAMILY	0.157 Acres	0126 Miles End Lane
14	SINGLE FAMILY	0.176 Acres	0112 Miles End Lane
15	SINGLE FAMILY	0.209 Acres	0096 Miles End Lane
16	SINGLE FAMILY	0.263 Acres	0070 Miles End Lane
17	SINGLE FAMILY	0.189 Acres	0243 Miles End Lane
18	SINGLE FAMILY	0.200 Acres	0221 Miles End Lane
19	SINGLE FAMILY	0.165 Acres	0201 Miles End Lane
20	SINGLE FAMILY	0.164 Acres	0185 Miles End Lane
21	SINGLE FAMILY	0.164 Acres	0171 Miles End Lane
22	SINGLE FAMILY	0.166 Acres	0155 Miles End Lane
23	SINGLE FAMILY	0.174 Acres	0141 Miles End Lane
24	SINGLE FAMILY	0.185 Acres	0125 Miles End Lane
25	SINGLE FAMILY	0.166 Acres	0111 Miles End Lane
26	SINGLE FAMILY	0.202 Acres	0095 Miles End Lane
27	SINGLE FAMILY	0.199 Acres	0083 Miles End Lane
28	SINGLE FAMILY	0.160 Acres	0071 Miles End Lane
29	SINGLE FAMILY	0.159 Acres	0057 Miles End Lane
30	SINGLE FAMILY	0.158 Acres	0043 Miles End Lane
31	SINGLE FAMILY	0.178 Acres	0031 Miles End Lane
32	SINGLE FAMILY	0.177 Acres	0017 Miles End Lane
33	SINGLE FAMILY	0.176 Acres	0003 Miles End Lane
34	SINGLE FAMILY	0.103 Acres	0036 Silver Star Trail
35	SINGLE FAMILY	0.103 Acres	0030 Silver Star Trail
36	SINGLE FAMILY	0.103 Acres	0024 Silver Star Trail
37	SINGLE FAMILY	0.103 Acres	0018 Silver Star Trail
38	SINGLE FAMILY	0.099 Acres	0008 Silver Star Trail
39	SINGLE FAMILY	0.129 Acres	0001 Silver Star Trail
Tract B	OPEN SPACE	2.958 Acres	
Tract C	Town Property	0.904 Acres	0052 Minturn Road (Not of PUD)
Tract D	Right of Way	0.966 Acres	Miles End Lane (North)
Tract D1	Right of Way	0.431 Acres	Miles End Lane (South)
Tract E	Open Space	1.220 Acres	
Tract F	Open Space	0.074 Acres	
Tract G	Right of Way	0.030 Acres	Silver Star Trail
Tract H	Right of Way	0.369 Acres	Fourth Street
TOTAL		13.485 ACRES	

ADDRESSES ARE FOR INFORMATIONAL PURPOSES ONLY

FINAL PLAT MINTURN NORTH P.U.D. Town of Minturn, County of Eagle, State of Colorado



PORTION OF SECTION 26,
TOWNSHIP 5 SOUTH, RANGE 81 WEST, 6th P.M.

GENERAL NOTES AND NOTES FOR CREATED EASEMENTS:

- The purpose of this Final Plat is to create various lots with building envelopes, open space areas and tracts, along with easements and Right of Ways, for the purposes described herein, all pursuant to Town of Minturn Land Use Regulations and Colorado Revised Statutes concerning the subdivision of land.
- Basis of Bearing: N27°04'04" W between monuments marking the C-W 16th Corner and the Northwest Corner Section 26, Township 5 South, Range 81 West, of the 6th P.M., shown and described herein. This bearing is based on the non-recorded stumped Land Survey Plat performed by Eagle Valley Survey and dated August 7, 2018.
- Survey Date: December, 2022 through July 2023.
- Legal description, easements and location of boundary lines are based on Old Republic National Title Insurance Company order number no. ABC30450645-9, dated August 03, 2023, Quitclaim Deed recorded December 02, 2014 as Reception No. 201400764 along with plat and survey monumentation referenced herein (to include the non-recorded stumped Land Survey Plat performed by Eagle Valley Survey and dated August 7, 2018). In regards to items referenced in schedule B II of this title commitment referenced above: Items 1-8, 10, 21, 24, 27 and 30 were not researched by surveyor or found to not contain easement restrictions or other survey or platting related issues.
- Item 9 - Pipe easement does not effect this platted parcel, falls in Northeast Quarter of the Northwest Quarter of Sec 26, T5S, R81W.
- Item 11&12- Ordinance and Dedication regarding Taylor Avenue. Depicted hereon by eastern Boundary, recorded in Book 248 at Page 178 and Book 248 at Page 452.
- Item 13 - 20 foot Sewer Easement, Does not effect this platted Parcel.
- Item 14 - Conveyance to State Department of Highways, Does not Effect these platted lands.
- Item 15 - Does not effect these Platted lands but references conveyance of portions of Taylor Addition to the Town of Minturn.
- Item 16 - effects subject parcel as it is an Annexation of property to Town of Minturn recorded in Book 333 at Page 349.
- Item 17 & 18- Do not effect subject Parcel.
- Item 19 - Conveyance described in Book 687 at Page 268 does not contain any easements not already defined herein.
- Item 20 - Does not effect these Platted lands. (k.a. subject parcel)
- Item 21 - Public Service Company of Colorado Easement, Reception No. 897924, falls off subject Parcel.
- Item 22 - Boundary Agreement recorded as Reception No. 200824177, called out as adjoiner herein.
- Item 25 & 26 - Parcel is subject to Mapping of Piping and Ditches in area of this subject parcel defined in document recorded as Reception No. 201703240, and 201703454 any rights or restrictions and exact location thereof not clear to surveyor from face of documents.
- Item 29 - Parcel is subject to 190440 foot wide easement for right of way from Denver Rio Grand Railroad to Eagle County, the location of which is not determinable from face of document. This Agreement has to be to have been Terminated prior to the Recording of this Plat.
- These platted lands are subject to:
 - The Minturn North P.U.D. Guide recorded as Reception no. 202402232
 - The Declarations of Covenants, Conditions, Restrictions and Easements for Minturn North recorded as Reception No. 202402240
 - The non-exclusive Heritage Utility Easement as shown herein on page five (5) - on, over, under, above, across and through those areas designated herein as "Heritage Utility Easement" as defined in document recorded in the Eagle County Clerk and Recorder's Office as Reception No. 202316489.

PERTAINING TO HEREON CREATED EASEMENTS:

- the owner, hereby reserves for themselves their successors and / or assigns the following non-exclusive easements created herein:
 - a) a non-exclusive utility and drainage easement as shown herein - on, over, under, above, across and through those areas designated herein as "Utility and Drainage Easement" AND those areas of each lot outside of Building Envelopes, for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, including but not limited to waterlines and hydrants, sanitary sewerlines and manholes, telephone lines, cable television lines, gaslines, electrical lines, fiber optic lines, other communication lines and all related structures, together with right of ingress and egress.
 - b) a non-exclusive Utility Easement as shown herein - on, over, under, above, across and through those areas designated herein as "Utility Easement" for the purpose of the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, including but not limited to waterlines and hydrants, sanitary sewerlines and manholes, telephone lines, cable television lines, gaslines, electrical lines, fiber optic lines, other communication lines and all related structures, together with right of ingress and egress.
 - c) non-exclusive Access, Utility, and Drainage Easement - on, over, under, above, across and through those areas designated herein as "Access, Utility and Drainage Easement", and "Private Right of Way" to include, but not limited to, areas shown as Fourth Street, Tract D, Tract D1 and Tract G, for the purpose of i) Ingress and Egress, reasonable Pedestrian use including ingress and egress of persons including vehicle, foot, bicycle or small wheel use ii) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, and iii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto.

GENERAL NOTES CONTINUED:

- Continued...
 - Tract D, Tract D1, and Tract G, shall be open to Public vehicular and non-vehicular access.
 - Any Easement that permits public recreation on Private Property shall benefit from the provision of C.R.S. 33-41-101 et seq.
- FOLLOWING CREATED EASEMENTS DEDICATED TO TOWN OF MINTURN:
- the owner, hereby dedicates to the Town of Minturn the following non-exclusive easements:
 - a) non-exclusive Utility, Drainage, Parking, Snow Storage and Landscape Easement on, over, under, above, across and through those areas designated herein as "Utility, Drainage, Parking, Snow Storage & Landscape Easement" for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto, iii) reasonable local snow storage, iv) Landscaping use, and maintenance along with v) Pedestrian and Trail use including reasonable ingress and egress of persons to include foot, bicycle or non-motorized use along with sidewalk or path construction, use and repair.
 - b) non-exclusive Utility, Drainage, Snow Storage, Landscape and Trail Easement on, over, under, above, across and through those areas designated herein as "Utility, Drainage, Snow Storage, Landscape and Trail Easement" for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto, iii) reasonable local snow storage, iii) Landscaping use, and maintenance along with v) Pedestrian and Trail use including reasonable ingress and egress of persons to include foot, bicycle or non-motorized use along with sidewalk or path construction, use and repair.
 - c) non-exclusive Utility, Drainage, Snow Storage and Landscape Easement on, over, under, above, across and through those areas designated herein as "Utility, Drainage, Snow Storage & Landscape Easement" for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto, iii) reasonable local snow storage, iii) Landscaping use, and maintenance along with v) Pedestrian and Trail use including reasonable ingress and egress of persons to include foot, bicycle or non-motorized use along with sidewalk or path construction, use and repair.
 - d) non-exclusive Trail Easement on, over, under, above, across and through those areas designated herein as "Trail Easement" for the purpose of i) Pedestrian and Trail use including reasonable ingress and egress of persons to include foot, bicycle or non-motorized use along with sidewalk or path construction, use and repair.
 - e) a non-exclusive trail easement on, over, across, and through those strips of land depicted and designated herein as "Trail Easement" on sheet 5 of 5 for Pedestrian and Trail use including reasonable ingress and egress of persons to include foot, bicycle or non-motorized use along with path construction, or use. Maintenance of any path improvements within the "Trail Easement" shall be at the sole cost and expense of the Minturn North P.O.A..
 - f) a non-exclusive utility and drainage easement as shown herein - on, over, under, above, across and through those areas designated herein as "Public Utility and Drainage Easement", as shown in Tract C, on sheet 2 of 5, for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, including but not limited to waterlines and hydrants, sanitary sewerlines and manholes, telephone lines, cable television lines, gaslines, electrical lines, fiber optic lines, other communication lines and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto.

SURVEYOR'S CERTIFICATE

I, Matthew S. Slagle, do hereby certify that I am a Professional Land Surveyor licensed to practice land surveying under the laws of the State of Colorado. That this Subdivision Plat is a true, correct and complete plat of MINTURN NORTH P.U.D., as laid out, platted, dedicated and shown hereon, that such plat was made from an accurate survey of said property by me and/or under my supervision and accurately shows the location and dimensions of the lots, easements and right-of-way of said plat as the same are monumented upon the ground in compliance with applicable regulation governing the subdivision of land, that such plat is based upon the professional land surveyor's knowledge, information and belief, that it has been prepared in accordance with applicable standards of practice, and that such plat is not a guaranty or warranty, either expressed or implied.



Matthew S. Slagle PLS 14998
Professional Land Surveyor
State of Colorado

Revised 02-07-24 Edited C.O.D. MSS
Revised 12-02-23 Edited Note 6a MSS
Revised 11-14-23 minor text MSS
Revised 11-07-23 Certain Dimensions MSS
Revised 11-06-23 Tract C Easements MSS
Revised 11-03-23 Town Comments MSS
Revised 10-11-23 Town Comments MSS
Revised 10-06-23 Town Comments MSS
Revised 09-26-23 Added Note regarding Tract C MSS

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

CERTIFICATE OF DEDICATION AND OWNERSHIP

Know all men by these presents that Minturn Crossing LLC (being sole owner in fee simple, mortgagee or lienholder, of all that real property situated in the Town of Minturn, County of Eagle, State of Colorado) des as follows:
Parcel 1, UPRR Subdivision according to the Final Plat thereof recorded on 13th day of December, 2023 as Reception No. 202316483 in the Office of the Eagle County Clerk and Recorder, Eagle County, Colorado. Containing 13.485 acres more or less; and has caused the same to be laid out, platted and subdivided, and designated as MINTURN NORTH P.U.D. subdivision in the Town of Minturn, County of Eagle, State of Colorado, and does hereby accept responsibility for the completion of the improvements required by this plat, and does hereby accept responsibility for the completion of the improvements required by this plat and does hereby dedicate and set aside the following tracts, parcels and easements as follows:
-To the Town of Minturn Tract H (Fourth Street) and the easements described and depicted hereon in General Note 7, together with associated public improvements.
-To Utility Providers such utility easements as depicted herein in which utility infrastructure is located.

OWNER: MINTURN CROSSING LLC
ADDRESS: 225 Main Street, Suite C-101
Edwards, Colorado 81632

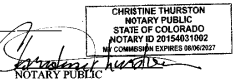
BY: RICK HERMES
TITLE: MANAGER

STATE OF COLORADO)
COUNTY OF EAGLE)

THE FOREGOING CERTIFICATE OF DEDICATION AND OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS 4 DAY OF MARCH, A.D. 2024 BY RICK HERMES AS MANAGER OF MINTURN CROSSING LLC.

MY COMMISSION EXPIRES 6 AUG 27

WITNESS MY HAND AND OFFICIAL SEAL



SUBORDINATION BY MORTGAGEE

Philip Hadley, being the holder of a promissory note secured by deed of trust recorded the 13th day of December 2023, at Reception No. 202316490, in the Office of the Clerk and Recorder of Eagle County, Colorado, hereby consents to the Subdivision of the lands set forth in this Final Plat of Minturn North, P.U.D., and subordinates the lien represented by the aforesaid deed of Trust to the Dedication and restrictions as shown on this final plat and relative covenants, conditions and restrictions.

MORTGAGEE Philip Hadley

BY: Philip Hadley as Individual

STATE OF Colorado)
COUNTY OF Eagle)

The foregoing Subordination by Mortgagee was acknowledged before me this 26 day of February, 2024, By Philip Hadley as Individual

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES: Aug 01, 2025



CERTIFICATE OF TAXES PAID

I, the undersigned, do hereby certify that the entire amount of taxes and assessments due and payable as of January 1, 2023, upon all parcels of real estate described on this Plat are paid in full

DATED THIS 1st OF March, A.D. 2024
ROSE DI
TREASURER OF EAGLE COUNTY

TITLE CERTIFICATE
I, Matthew S. Slagle, does hereby certify that it has examined the title to all lands shown upon this plat and that title to such is vested in MINTURN CROSSING LLC free and clear of all liens, taxes, and encumbrances, except DEED OF TRUST RECORDED 12/13/23, 202316490

DATED THIS 26th DAY OF February, A.D. 2024

AGENT:

CLERK AND RECORDER'S CERTIFICATE # 539

This Plat was filed for record in the Office of the Clerk and Recorder at 1:59 o'clock P.M., on this 4 day of March, A.D. 2024

BY: Matthew S. Slagle
CLERK AND RECORDER

BY: Christine Thurston
DEPUTY



SLAGLE SURVEY SERVICES
800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631
970.471.1499 Office matthew@slaglesurvey.com
www.SlagleSurvey.com

FINAL PLAT
MINTURN NORTH P.U.D.
Town of Minturn, County of Eagle, State of Colorado

DRAWN BY: MSS JOB NUMBER: 22055 DRAWING NAME: 22055 FP2.dwg
SHEET: 1 OF 5 DATE: 08-13-2023

Section 7, Item E.

Eagle County, CO
Regina O'Brien
Pgs: 5
REC: \$55.00 DOC: \$0.00

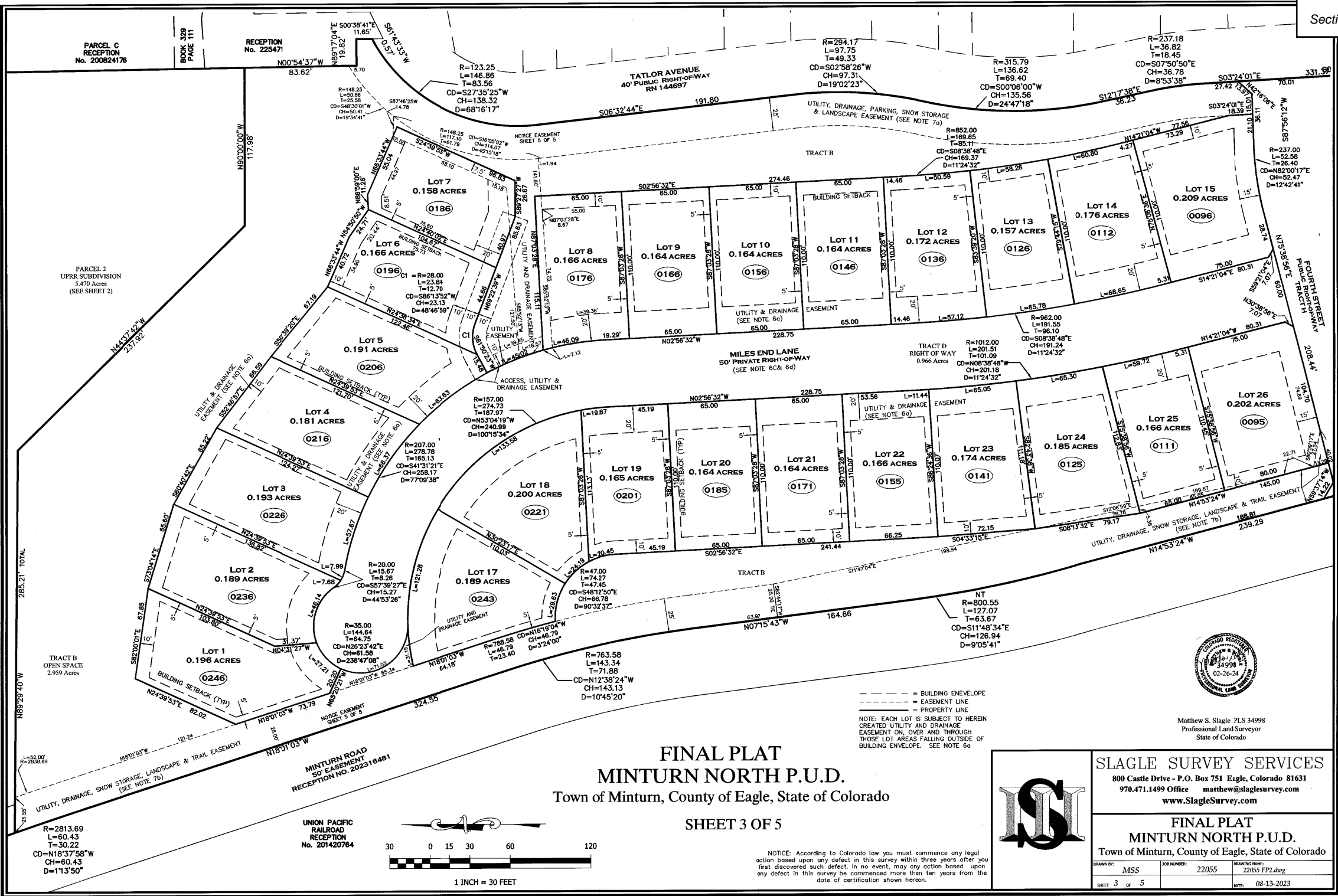
03/04/2024
12:59:18 PM
02234

121

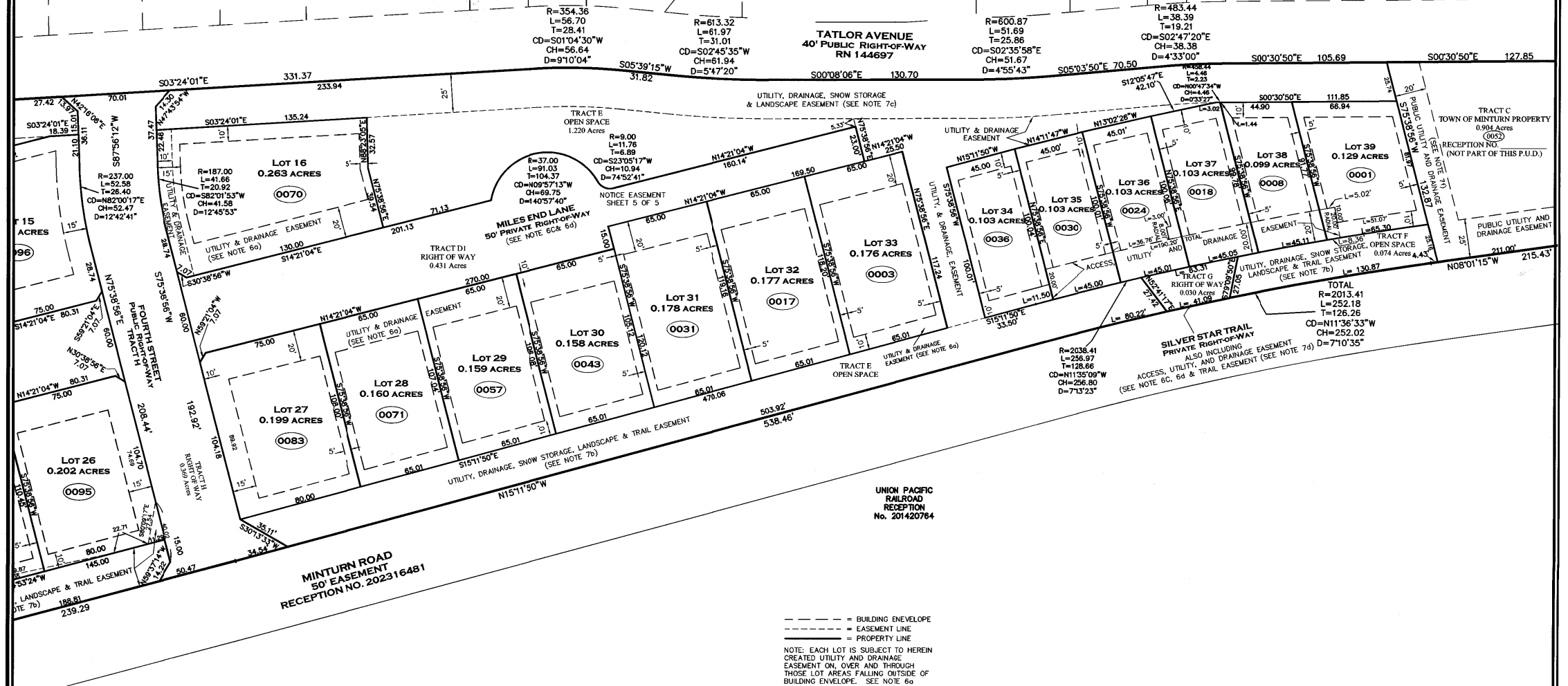
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SHEET 3 OF 5		DATE: 08-13-2023



R=2813.69
L=60.43
T=30.22
CD=N18°37'58"W
CH=60.43
D=113°50"



FINAL PLAT
MINTURN NORTH P.U.D.
Town of Minturn, County of Eagle, State of Colorado
SHEET 4 OF 5

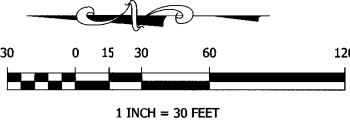


UNION PACIFIC
RAILROAD
RECEPTION
No. 201420764


--- = BUILDING ENVELOPE
- - - = EASEMENT LINE
___ = PROPERTY LINE
NOTE: EACH LOT IS SUBJECT TO HEREIN
CREATED UTILITY AND DRAINAGE
EASEMENT ON, OVER AND THROUGH
THOSE LOT AREAS FALLING OUTSIDE OF
BUILDING ENVELOPE. SEE NOTE 6a



Matthew S. Slagle P.L.S. 34998
Professional Land Surveyor
State of Colorado



NOTICE: According to Colorado law you must commence any legal
action based upon any defect in this survey within three years after you
first discovered such defect. In no event, may any action based upon
any defect in this survey be commenced more than ten years from the
date of certification shown hereon.

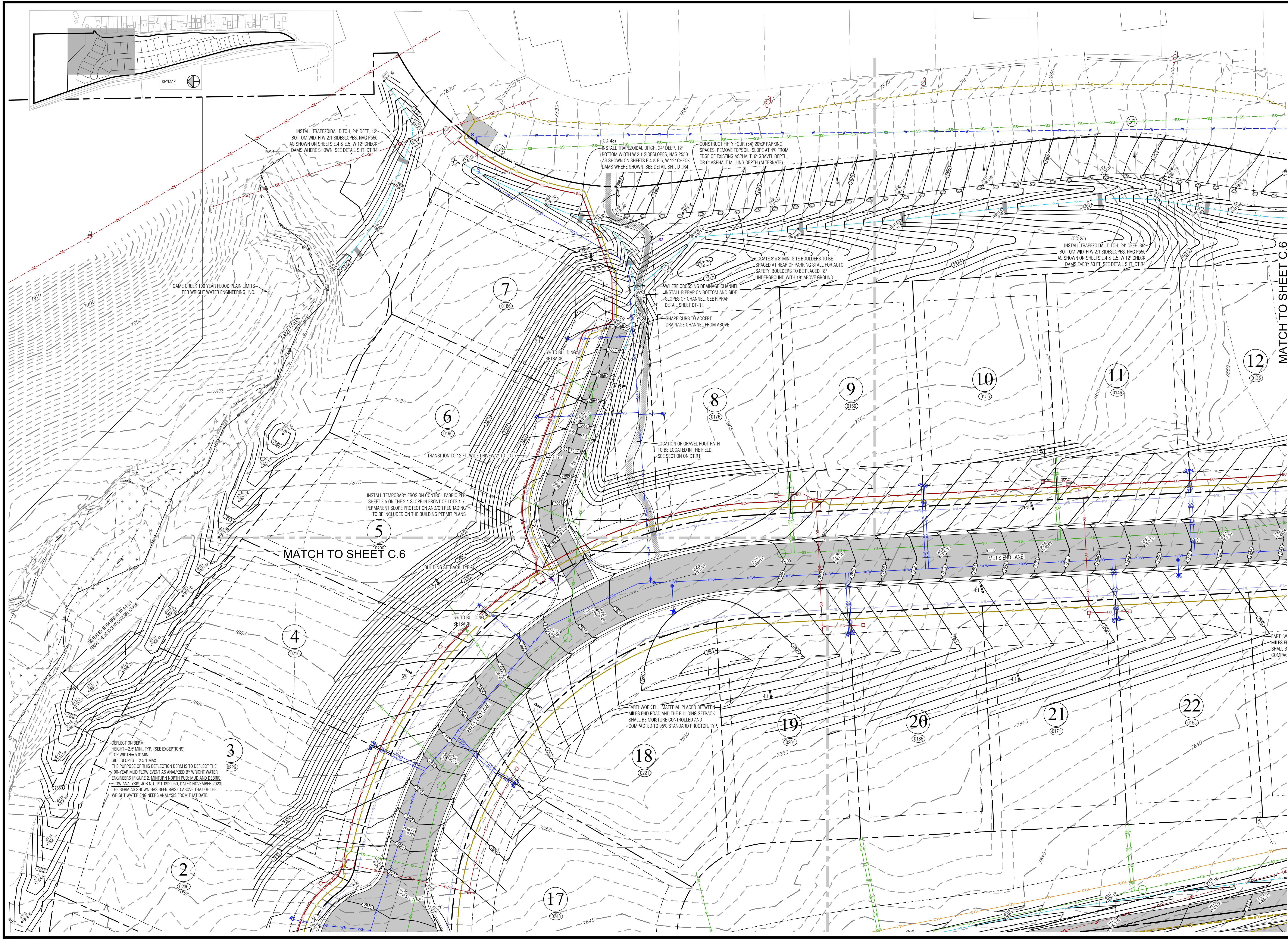


SLAGLE SURVEY SERVICES
800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631
970.471.1499 Office matthew@slaglesurvey.com
www.SlagleSurvey.com

FINAL PLAT
MINTURN NORTH P.U.D.
Town of Minturn, County of Eagle, State of Colorado

DRAWN BY: MISS	JOB NUMBER: 22055	DRAWING NAME: 22055 FP2.dwg
SHEET 4 OF 5	DATE: 08-13-2023	

202402234



Section 7, Item E

Boudaries Civil Engineering
Surveying & Beyond

923 Cooper Ave., Ste. 201
Glenwood Springs, CO 81601
(T) 970.945.5252
www.bu-inc.com

Subsurface Utility Engineering (SUE)
Required Project: **TBD**
If "Yes", SUE Certification by:
Firm: **TBD**
Job #: **TBD**
Date: **TBD**

Engineer or Surveyor Seal

COLORADO LICENSED
SINCE 5/1/24
19082
PROFESSIONAL ENGINEER

Client Information:
MINTURN NORTH LAND COMPANY LLC
PO BOX 2633
EDWARDS, CO 81632
970 926-1720

NORTH
Scale 1" = 20'

811
Know what's below.
Call before you dig.

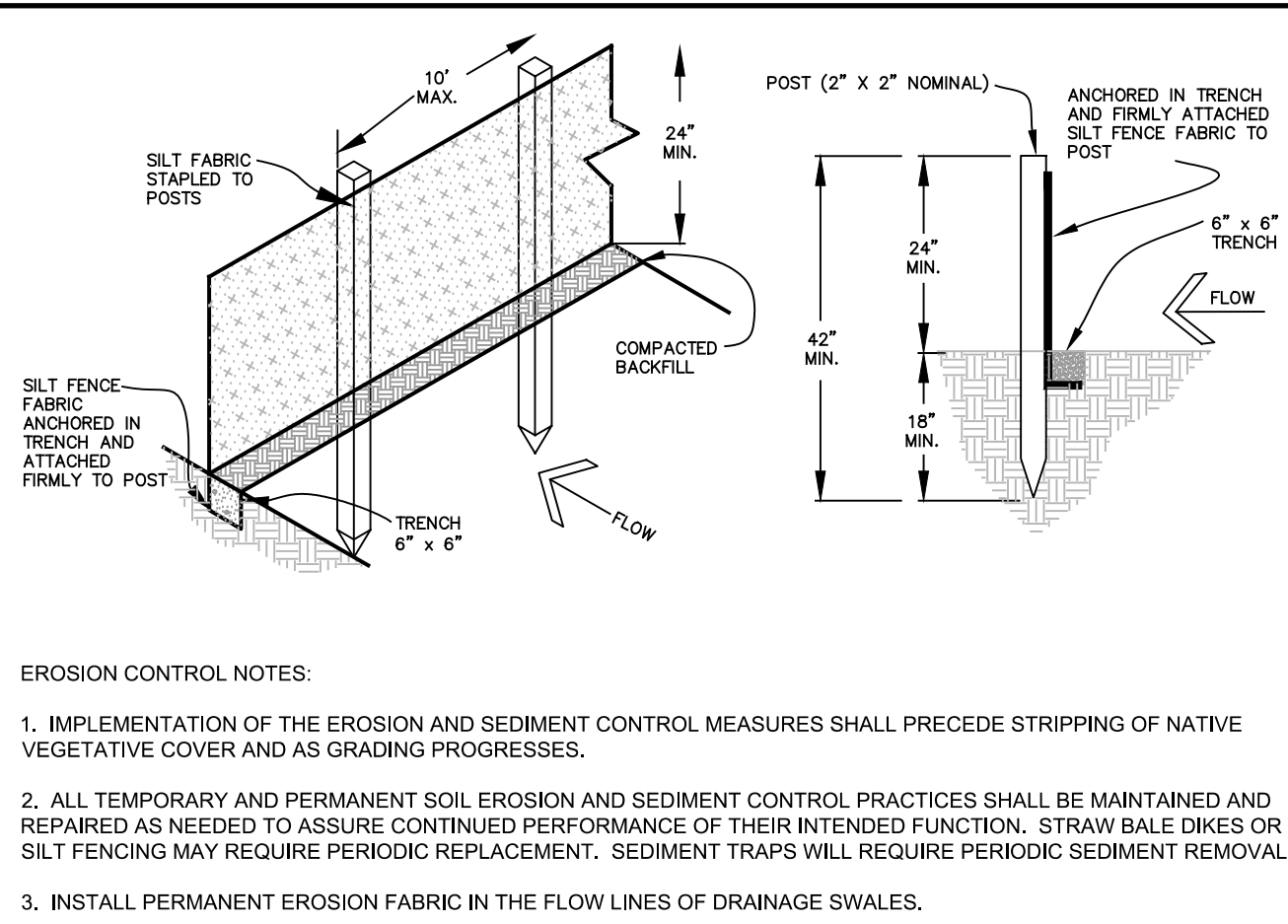
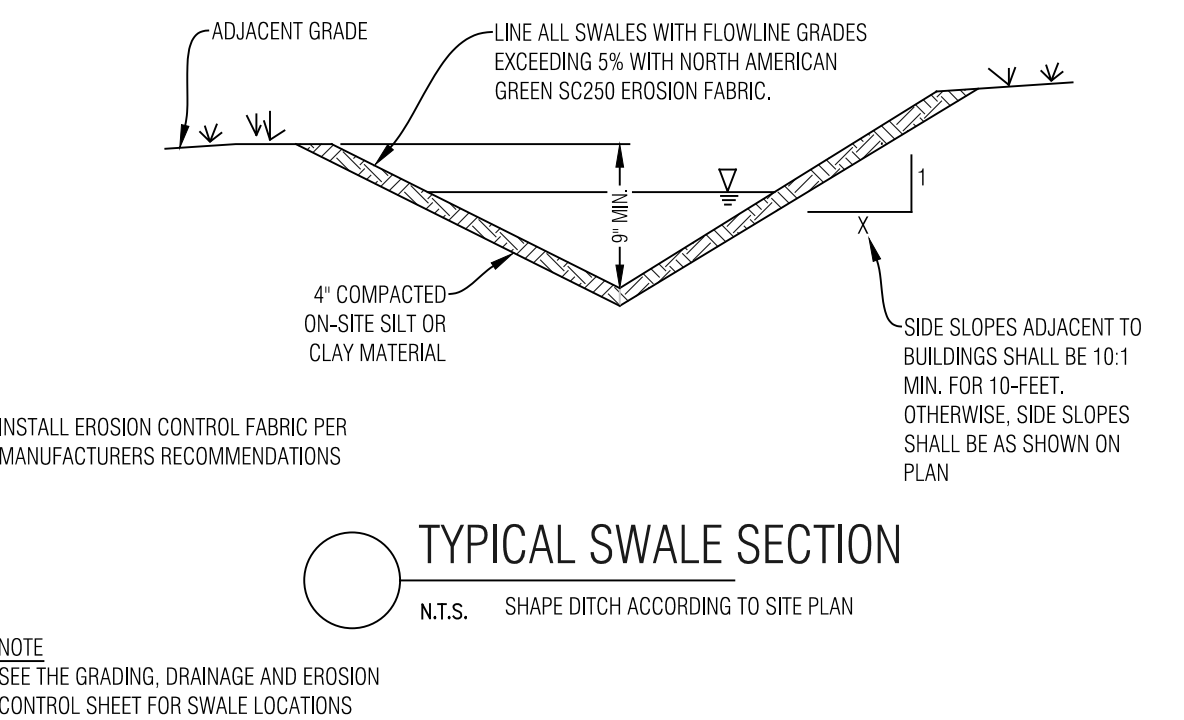
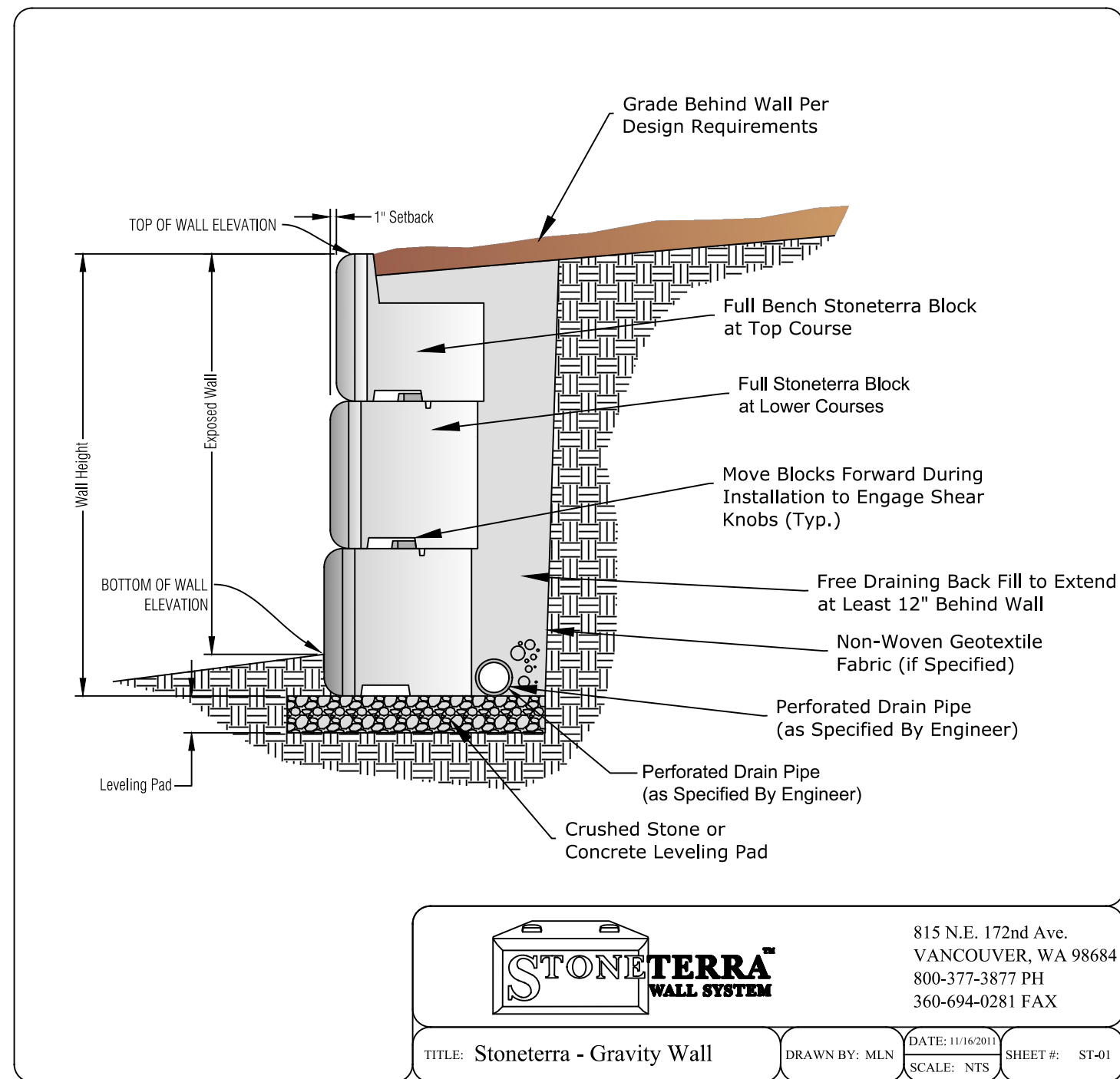
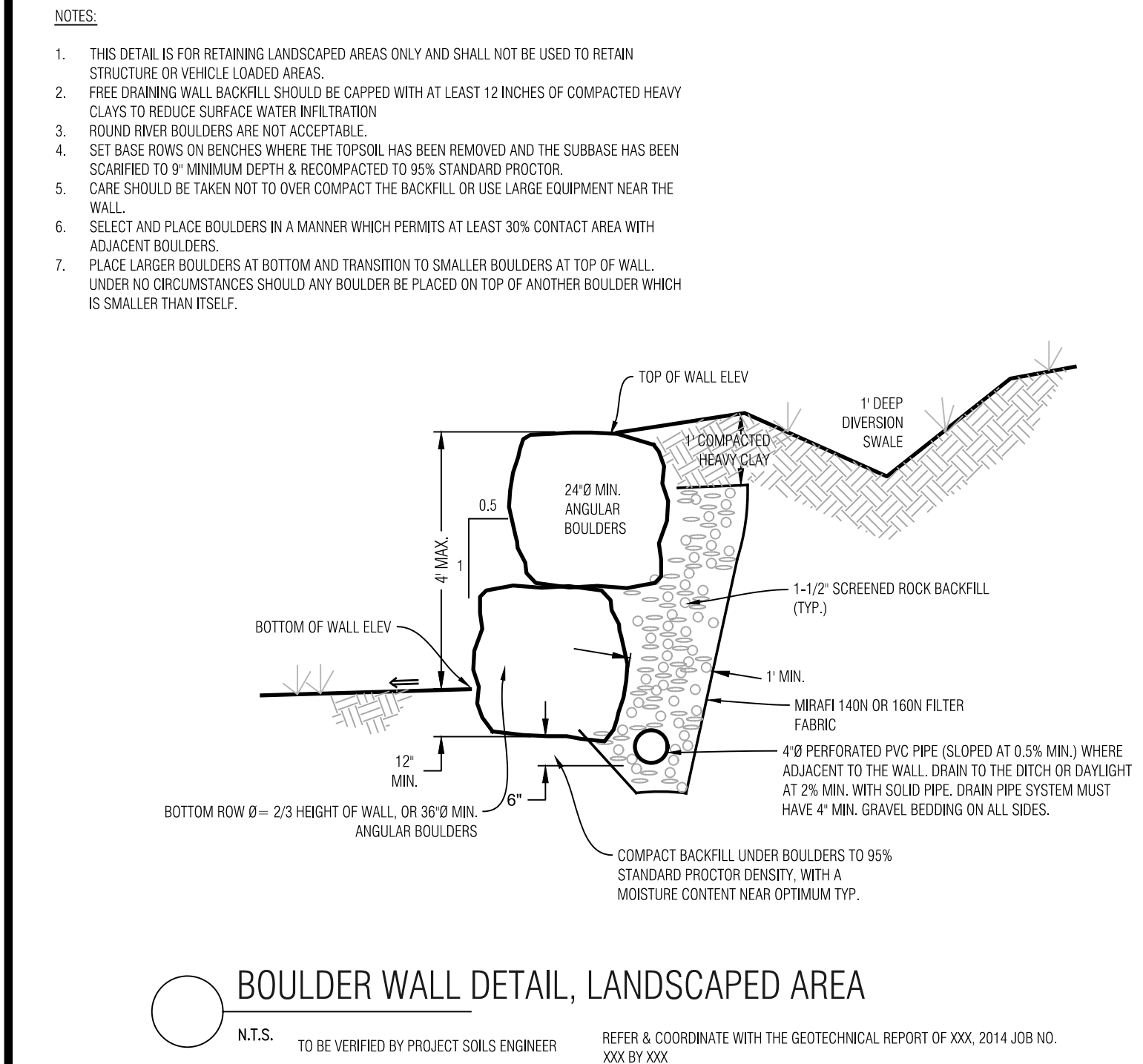
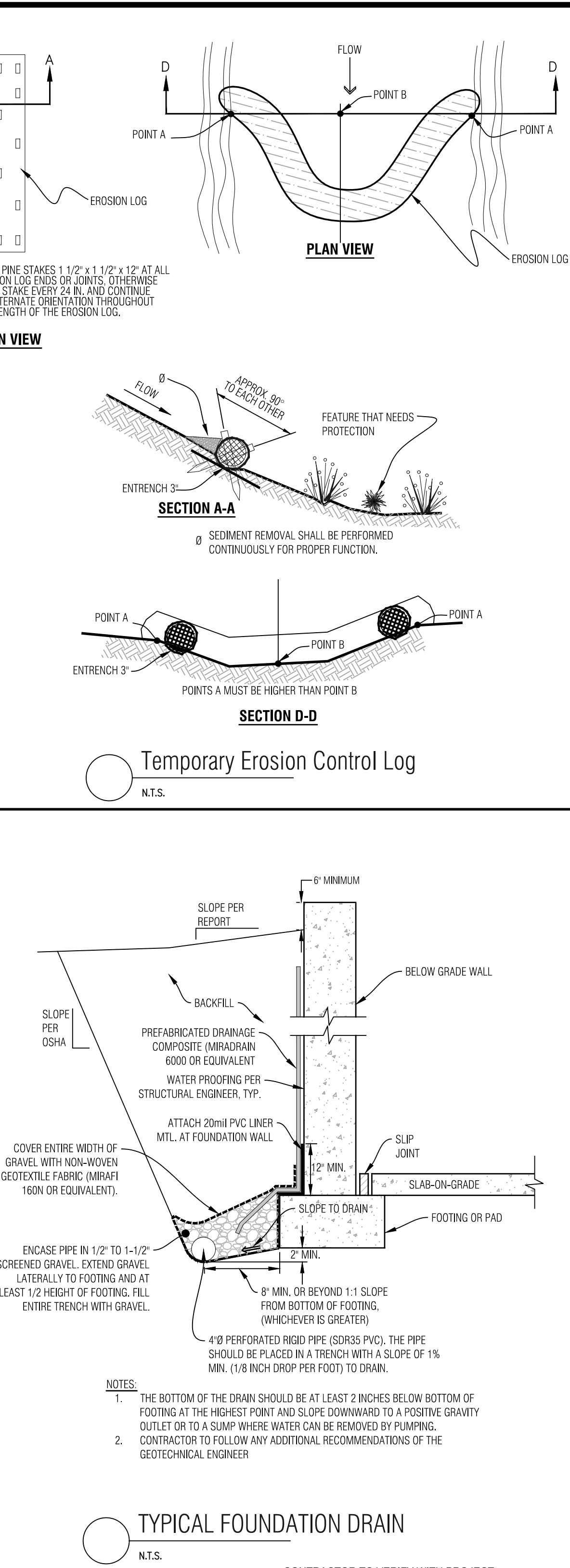
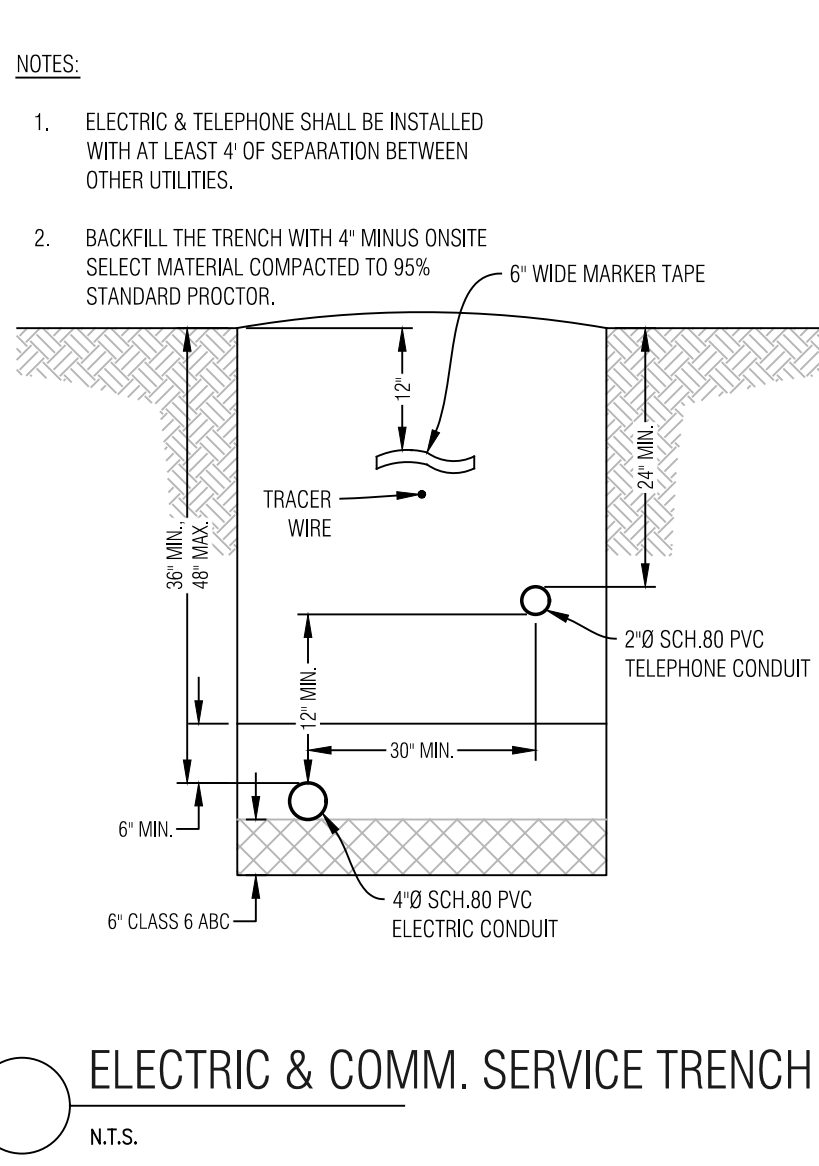
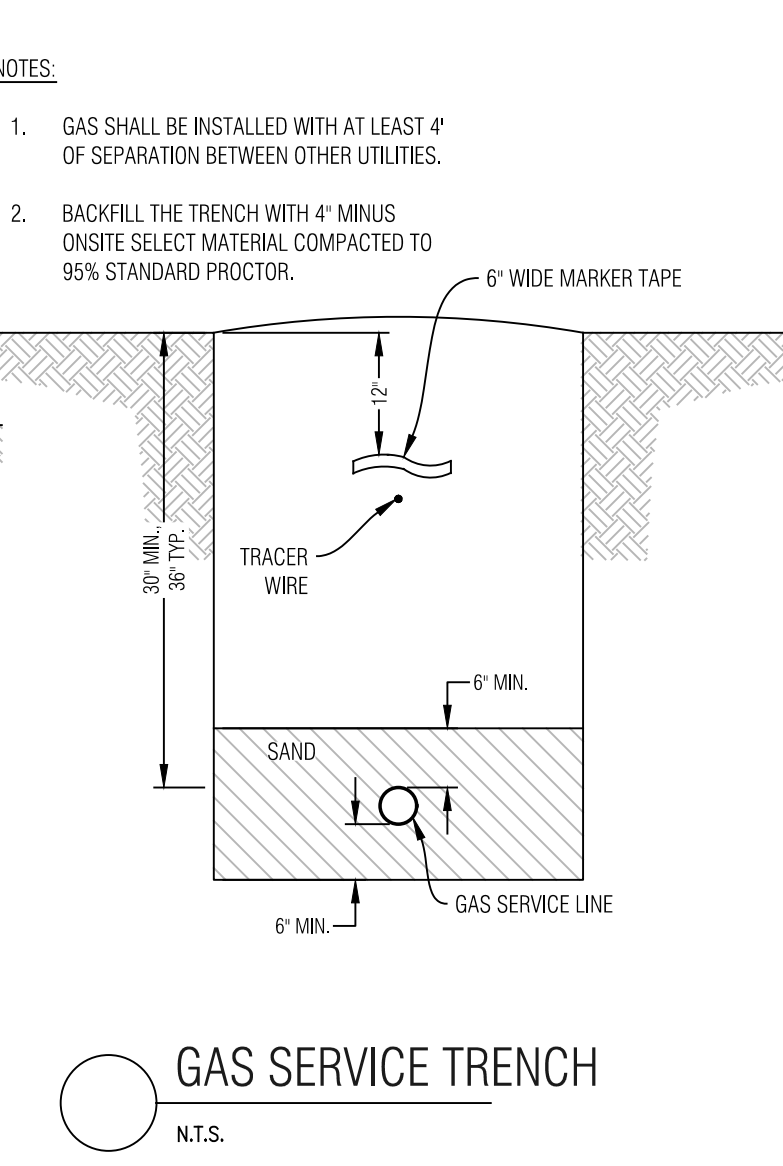
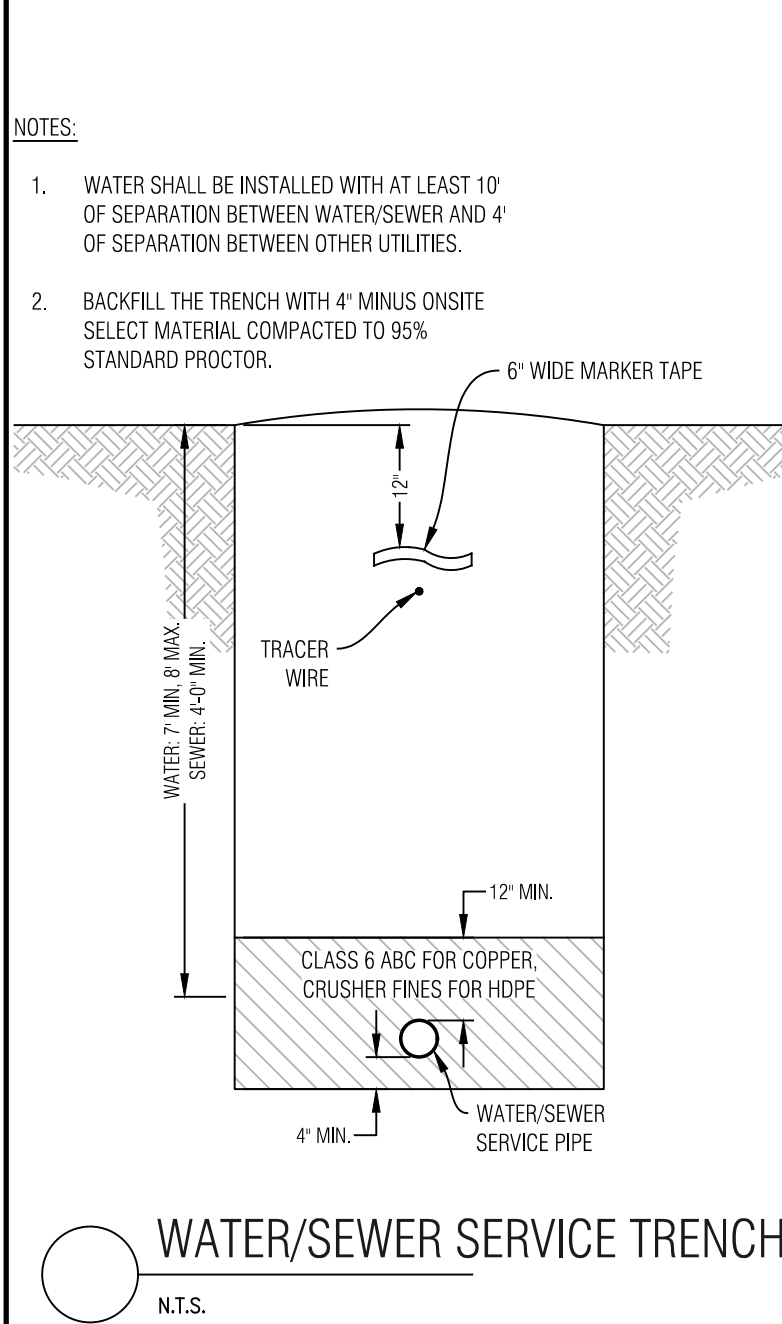
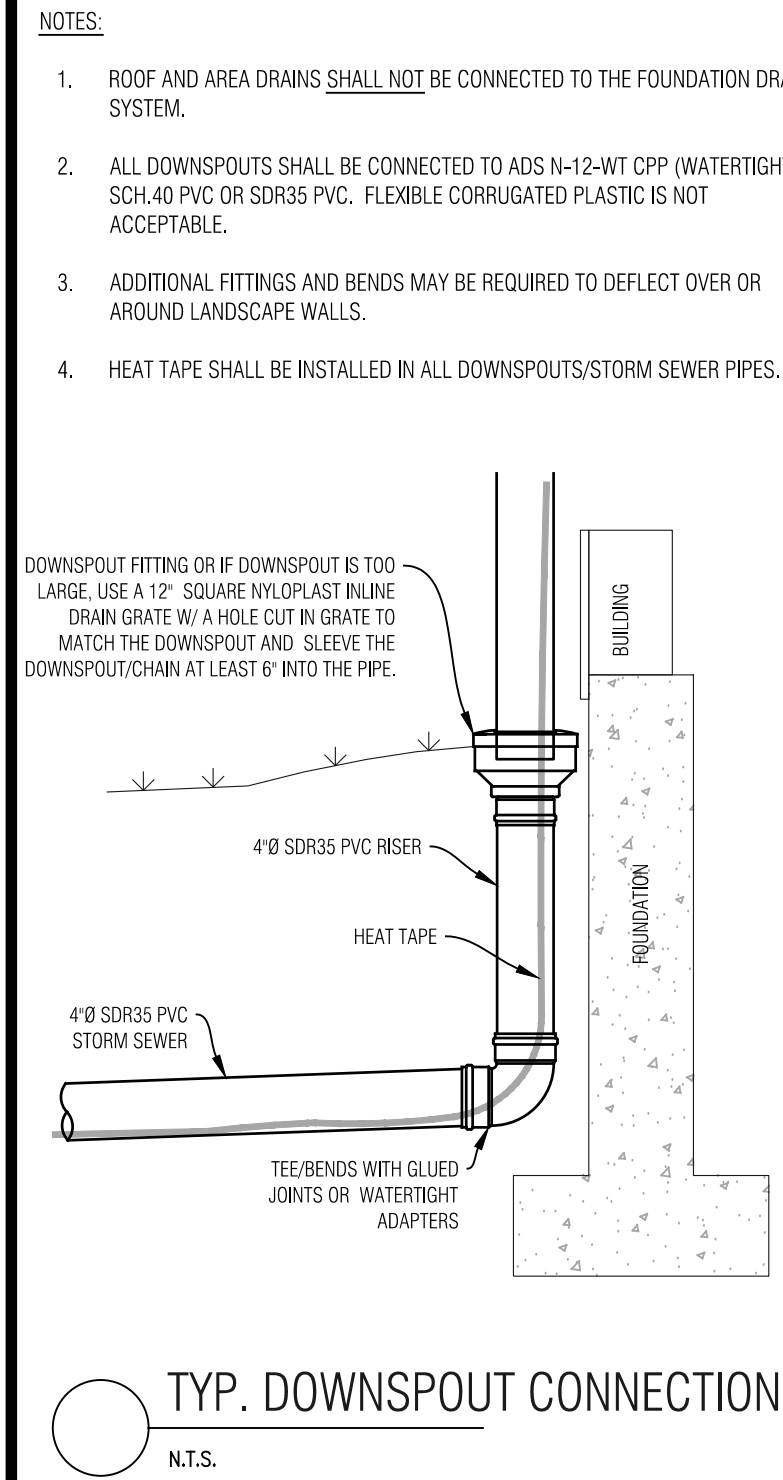
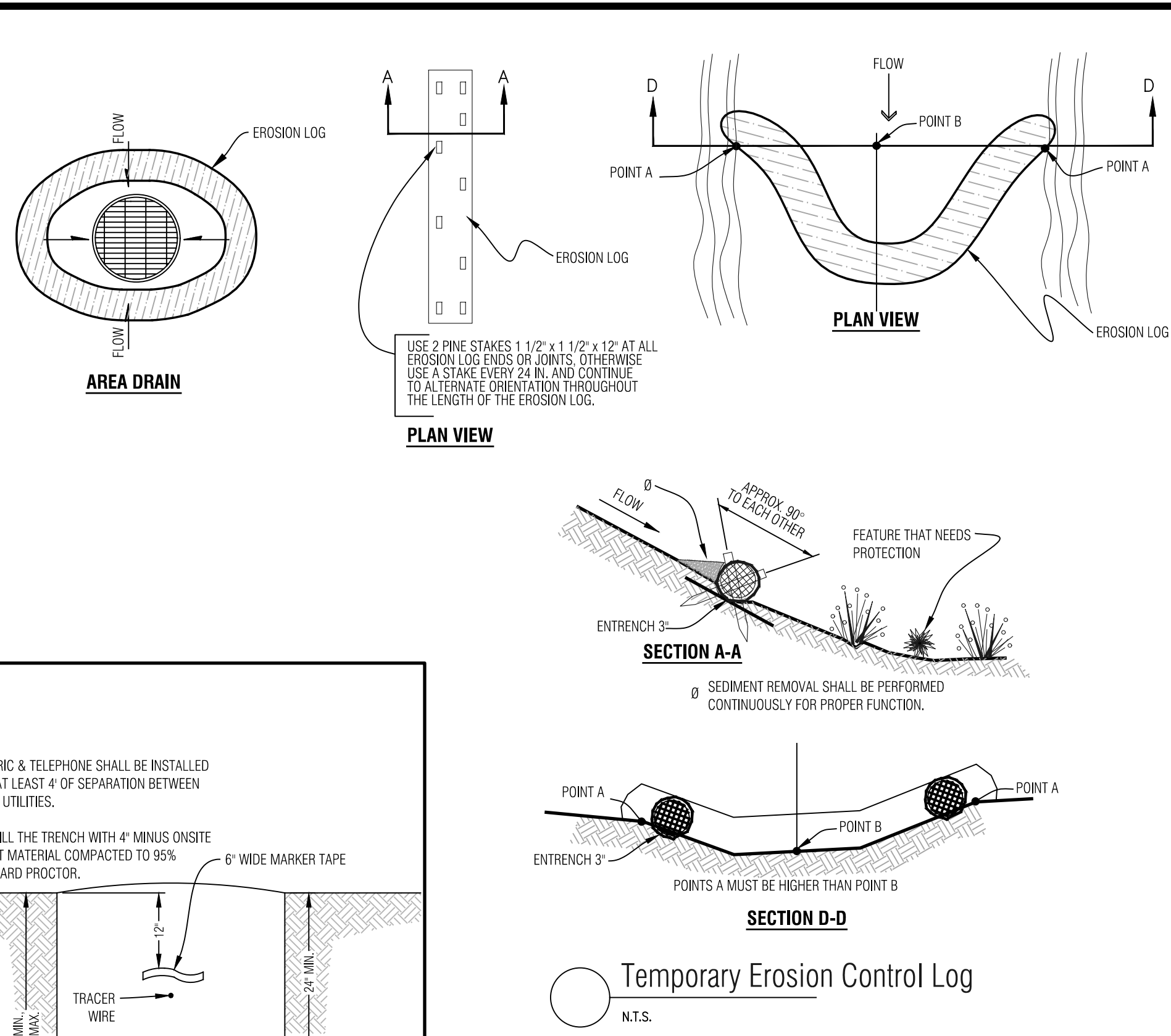
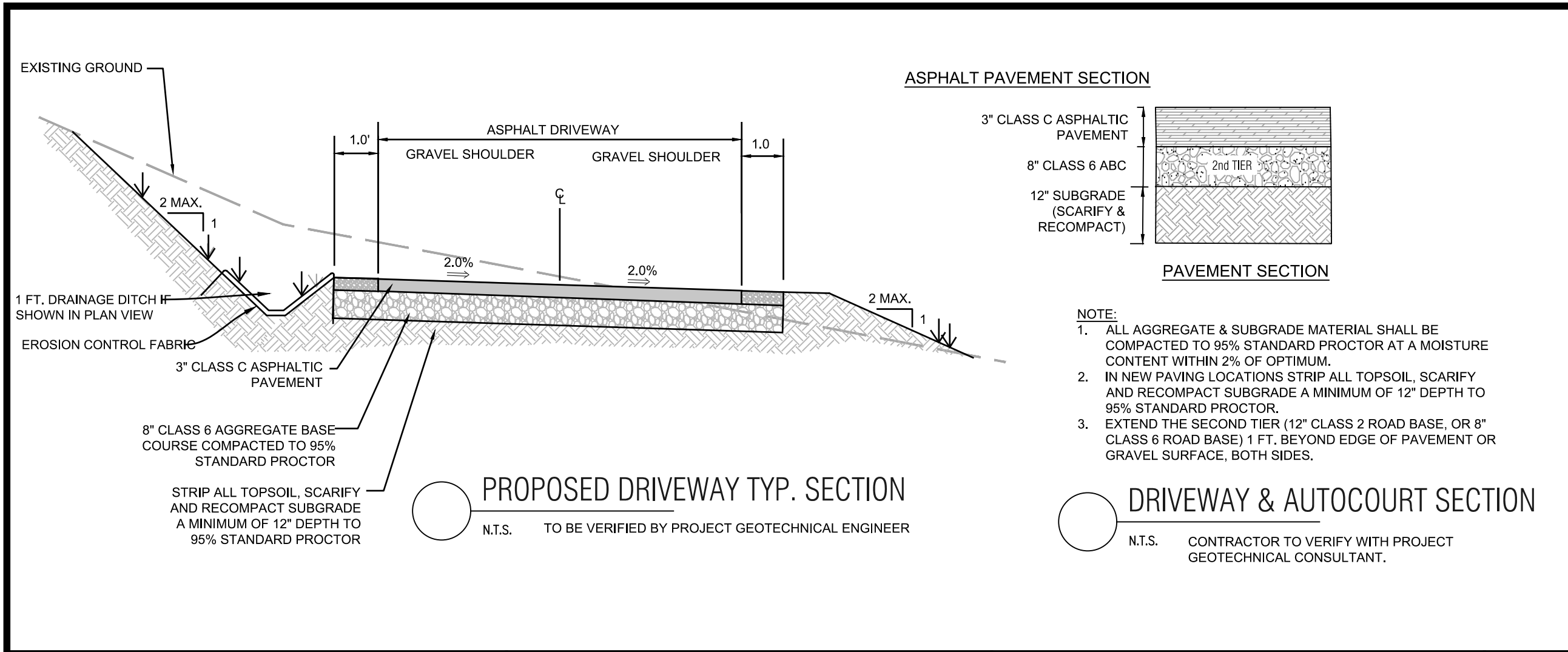
TOWN OF MINTURN, COLORADO
Minturn North P.U.D.
Overall Grading and Drainage Plan
Construction Plan Set 5/1/24

No.	Date	Revision	By
1			
2			
3			
4			
5			
6			
7			
8			
9			

PROJECT NO. **22008**
Designer: **PAH**
Checker: **BUJ**
Date: **12/26/22**

Sheet
C.7

File Name: 22008 c-grading.dwg



Section 7, Item E

Boundaries Civil Engineering Surveying & Beyond

Calumet Inc.

923 Cooper Ave., Ste. 201
Glenwood Springs, CO 81601
(770) 945.5252
www.bu-inc.com

Subsurface Utility Engineering (SUE)
Required Project: **TBD**
If Yes: SUE Certification by:
Firm: **TBD**
Job #: **TBD**
Date: **TBD**

Engineer or Surveyor Seal

NOT FOR REVIEW

Client Information:
MINTURN NORTH LAND COMPANY LLC
PO BOX 2633
EDWARDS, CO 81632
970 926-1720

NORTH

0 10' 20'
Scale: 1" = 10'

811

Know what's below.
Call before you dig.

TOWN OF MINTURN, COLORADO

Lot 6, Minturn North P.U.D.

Notes and Details

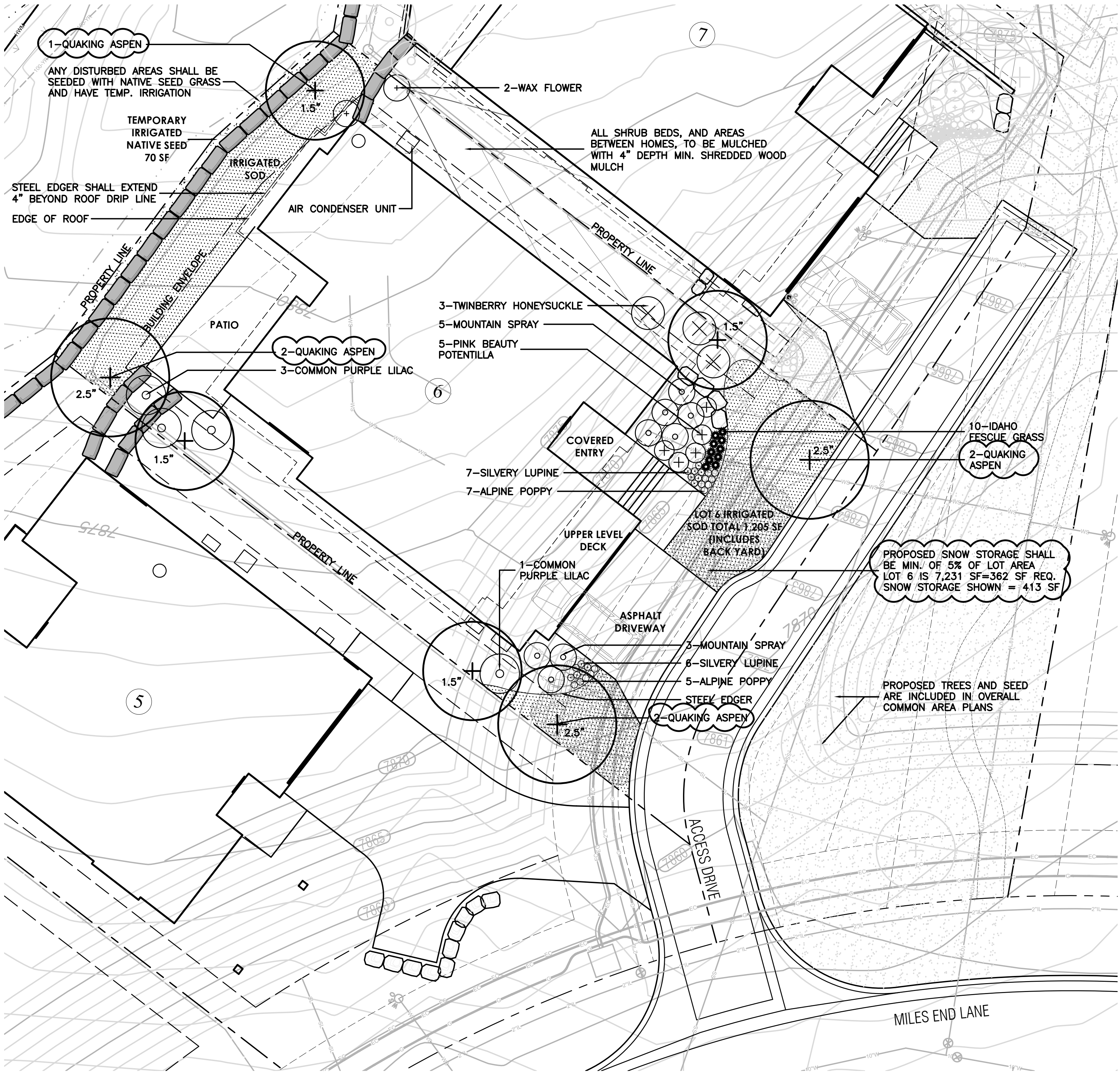
Revised DRB Submittal 5/22/24

By	Revision	Date
	1	
	2	
	3	
	4	
	5	
	6	
	7	
	8	
	9	

PROJECT NO. 2005
Designer: **PAH**
Checker: **BU**
Date: **4/9/24**

Sheet **C2**

File Name: **lot 6 sp-01.dwg**



General Notes and Specifications:

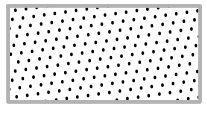
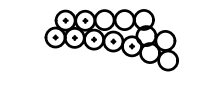
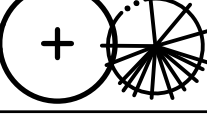
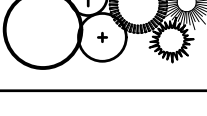

- 1. All areas disturbed by construction and not designated a shrub bed or sod, shall be planted with the specified native grass seed.
- 2. The contractor shall maintain positive drainage away from all walls and walkways. Fine grading shall be approved prior to planting.
- 3. The Landscape Plan shall be reviewed on site prior to installation to ensure planting meets the intent of the design guidelines and Town of Minturn standards.
- 4. See Civil Engineering sheets for final grading and drainage.
- 5. Snow Storage area shall be a min. of 25% of all driveway and parking areas.

Revegetation Notes:

- 1. Seed shall be broadcast and raked to ¼" depth.
- 2. Apply Biodegradable Green Dyed-Wood Cellulose-Fiber Mulch to all seeded Areas at a rate of 20 lbs. per 1,000 s.f.
- 3. Prior to seeding, apply min. 6" topsoil, 10 lbs./1,000 s.f. Superphosphate and 40 lbs./1,000 s.f. Biosol Complete Fertilizer.

Fire Mitigation Recommendations:

- 1. Zone 1 (15' from building and integral planting): no highly flammable plants, such as evergreen trees and shrubs should be planted within 15' of the structure or attachments.
- 2. Zone 2 (70' from building and Integral planting): a 10' crown separation must be maintained for all evergreen trees and shrubs over 4' height. A 4' crown separation must be maintained for evergreen shrubs under 4' height.
- 3. Plants listed on forest service publication 6.305 FireWise Plant Material can be used in any zone.
- 4. Existing junipers within Zone 1 and Zone 2 must be limbed ½ of their total height, but no more than 10' height.
- 5. Dead limbs shall be removed from all existing Serviceberry within Zone 1 or Zone 2.
- 6. If necessary, final existing vegetation to be limbed or removed for fire mitigation purposes will be subject to the constraints of the final unit site plans and reviewed on site with a representative from the Town of Minturn on a unit by unit basis prior to construction.

LEGEND & IRRIGATION CALCULATIONS:		
Permanent Irrigation		Square Footage of Irrigation
	Permanent Pop-Up Spray Irrigation For Bluegrass Sod	1,205 SF
	Permanent micro-spray or drip irrigation for perennial beds	25 PERENNIALS x 1 SF = 25 SF
	Permanent Drip Irrigation For B&B Trees	7 TREES x 4.5 SF = 32 SF
	Permanent Drip Irrigation For 5 gal. Shrubs & Grasses	32 SHRUBS x 3 SF = 96 SF
		TOTAL PERMANENT IRRIGATED AREA: 1,358 SF
	Temporary Spray Irrigation For Native Seed	70 SF

IRRIGATION NOTES:

- 1. DESIGN CRITERIA: DESIGN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO UNIFORMLY IRRIGATE ALL PLANTING AREAS. ZONE IRRIGATED SOD, NATIVE SEED GRASS, AND SHRUB PLANTING AREAS SEPARATELY. PROVIDE DRIP IRRIGATION FOR SHRUB BEDS. PROVIDE MICRO-SPRAY HEADS OR DRIP IRRIGATION, DEPENDING ON PLANT MATERIAL, IN PERENNIAL AND GROUNDCOVER BEDS. DESIGN ROTORS FOR TURF GRASS AREAS MORE THAN 40' WIDE, AND POP-UP SPRAY HEADS FOR AREAS LESS THAN 40' WIDE.
- 2. ALL TREES AND SHRUBS TO BE DRIP IRRIGATED.

ALL DISTURBED AREAS SHALL BE SEEDED WITH:

'DRY NATIVE MOUNTAIN' SEED MIX

THIS SEED MIX HAS BEEN CHOSEN FOR THE SPECIFIC PROJECT LOCATION AND ELEVATION. LANDSCAPE INSTALLER SHALL NOT DEVIATE FROM THIS REVEGETATION SEED MIX WITHOUT WRITTEN APPROVAL FROM THE RESORT CONCEPTS SITE MANAGER.

COMMON NAME	SEEDING RATE % MIX	BULK LBS PER ACRE
SANDBERG BLUE	10%	5.00
MOUNTAIN BROME	20%	10.00
SLENDER WHEATGRASS	15%	7.50
BLUEBUNCH WHEATGRASS	10%	5.00
ROCKY MOUNTAIN FESCUE	10%	5.00
THICKSPIKE WHEATGRASS	15%	7.50
BOTTLEBRUSH SQUIRRELTAIL	2.5%	1.25
STREAMBANK WHEATGRASS	15%	7.50
PRAIRIE JUNEGRASS	2.5%	1.25
TOTAL LBS./ACRE	100%	50

NOTES:

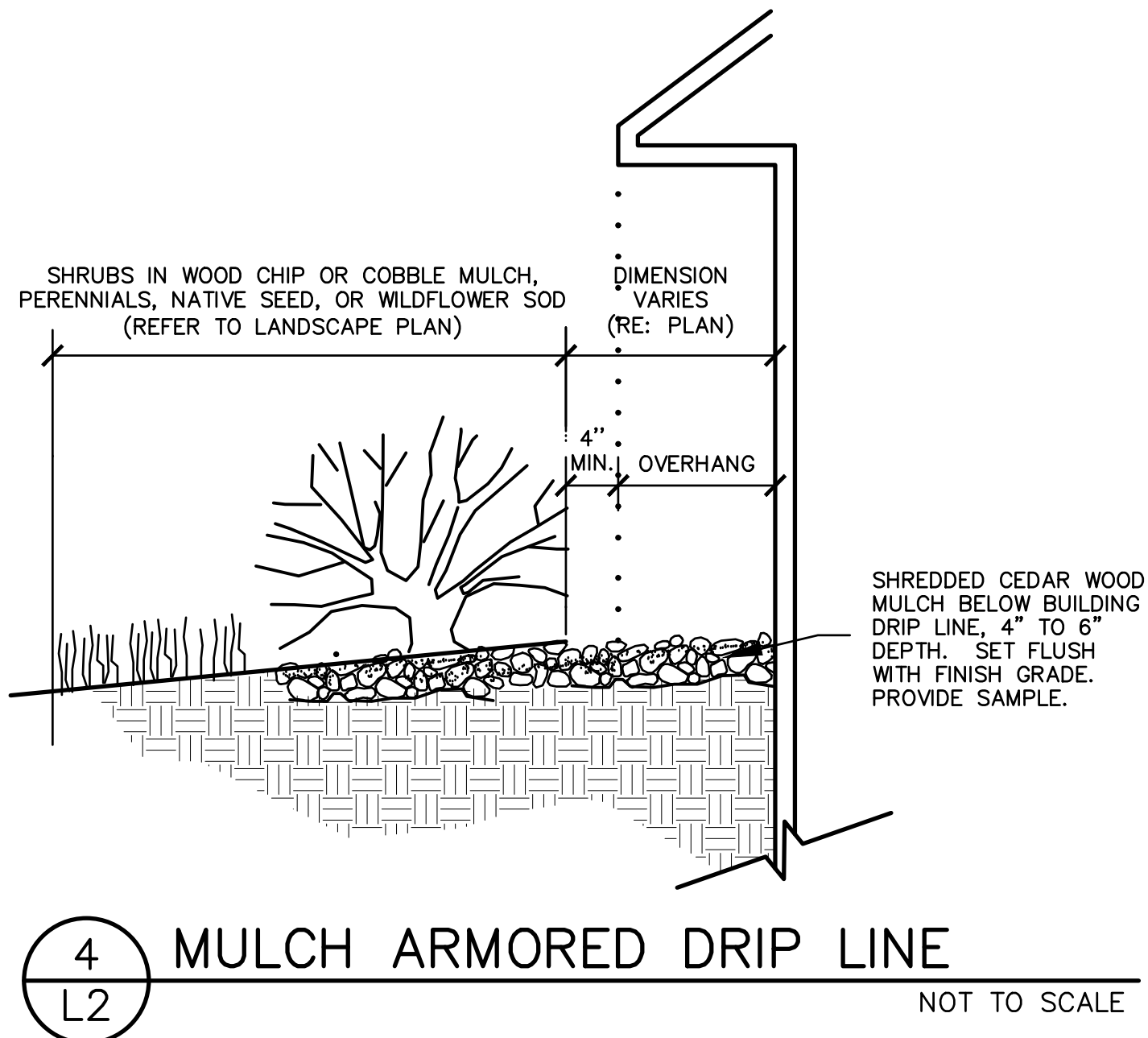
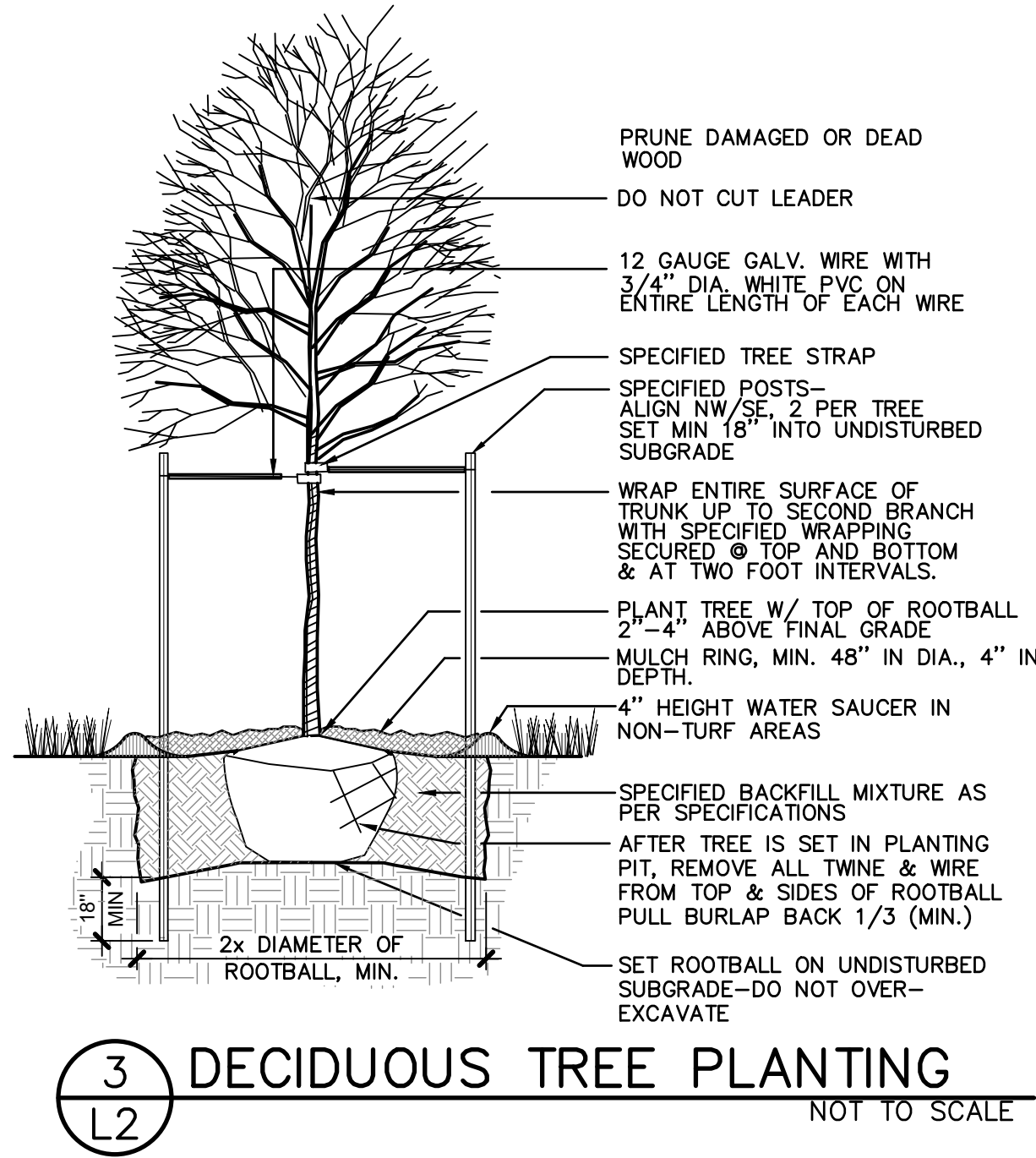
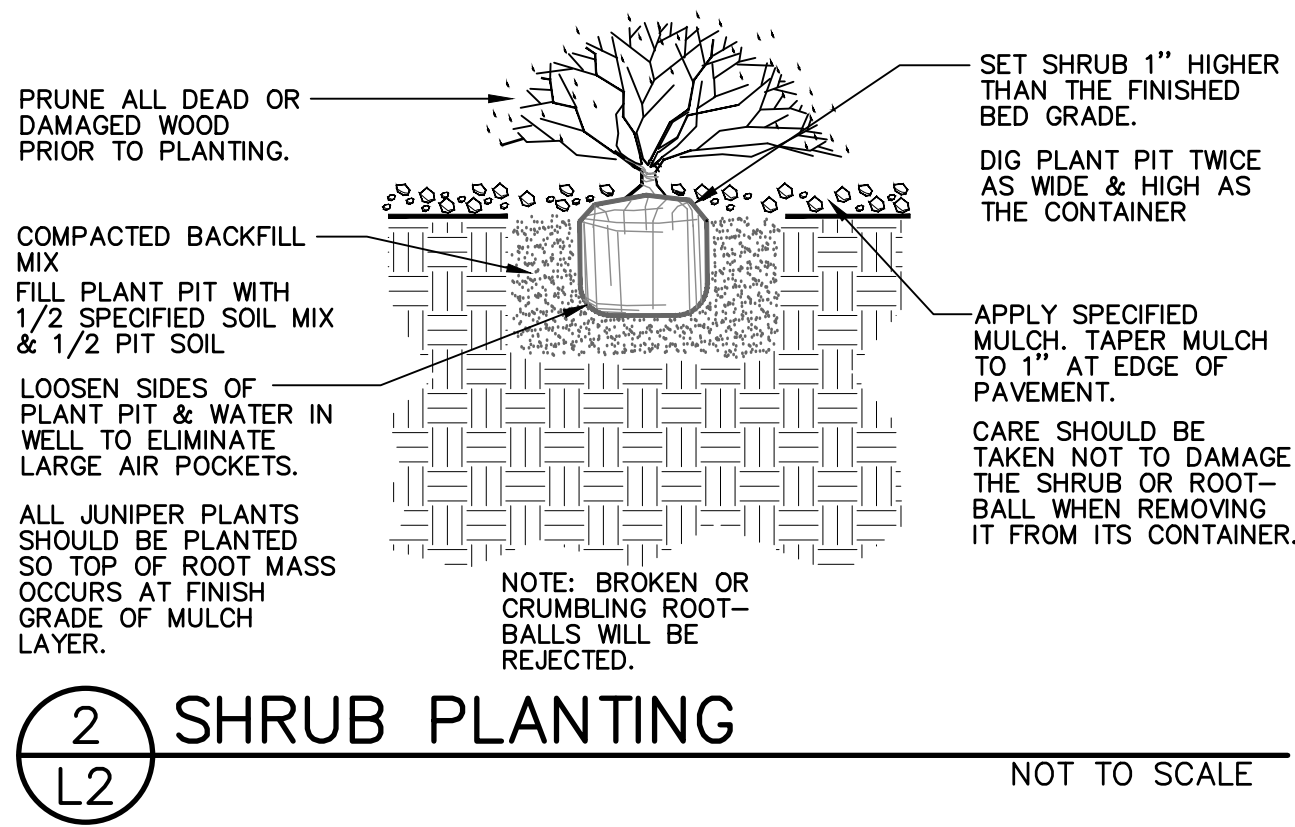
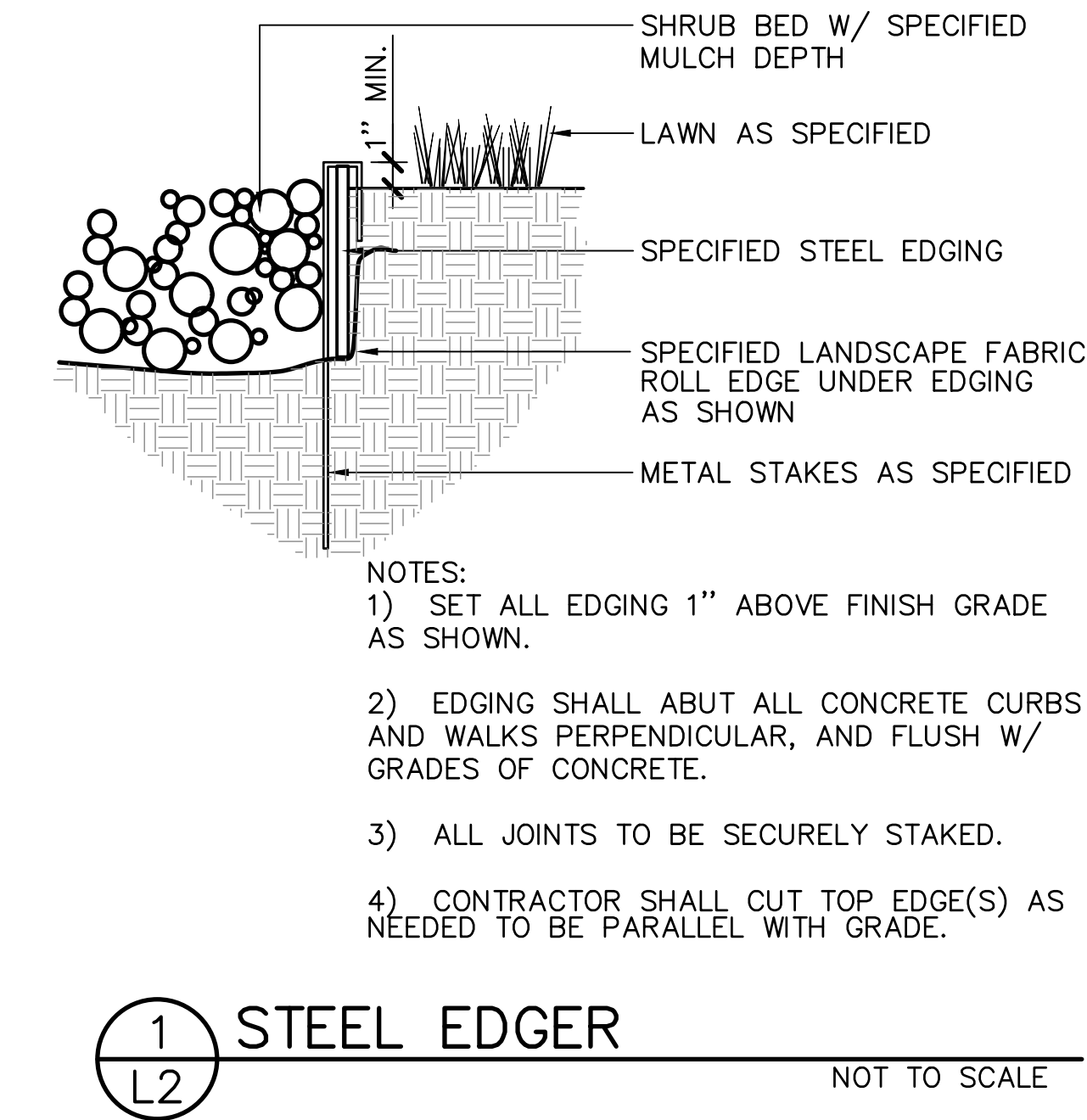
PERCENTAGES OF MIXES VARY YEAR-TO-YEAR DEPENDING ON HARVEST OF SEEDS. HYDROSEED OR HAND BROADCAST: 1 LB. PER 1,000 SQ. FT. OR 50 LBS. PER ACRE. RAKE IN ¼" DEEP AND IRRIGATE, IF POSSIBLE UNTIL ESTABLISHED. 'DRY NATIVE MOUNTAIN' SEED MIX IS AVAILABLE FROM PAWNEE BUTTES SEED INC., 605 25TH STREET, GREELEY, CO 80632. PHONE: 1-800-782-5947 WEBSITE: PAWNEEBUTTESSEED.COM

PROPOSED PLANT MATERIALS LIST


Note: All plant material has been chosen from the CSU Extension Office recommended plant lists. These lists have been cross referenced to find suitable plants for the elevation of Minturn (10,000 ft and above), and also to maximize use of plants native to the area, low-water use plants, and plants that enhance habitat and food sources for insects, butterflies, birds and other animals. The cross referenced lists are the following:

- CSU Extension, Fire Wise Plant Materials - 6.305
- CSU Extension, Trees and Shrubs for Mountain Areas - Fact Sheet No. 7.423
- CSU Extension, Low-Water Native Plants for Colorado Gardens, Mountains 7,500' and Above - CO Native Plant Society
- CSU Extension, Native Trees for Colorado Landscapes - Fact Sheet No. 7.421
- CSU Extension, Native Shrubs for Colorado Landscapes - Fact Sheet No. 7.422

QUAN.	COMMON/ BOTANICAL NAME	FIRE MITIGATION ZONE	SIZE	COMMENTS
DECIDUOUS TREES				
4	Quaking Aspen Populus tremuloides	1 & 2	1.5" cal.	Specimen quality B&B, guyed
3	Quaking Aspen Populus tremuloides	1 & 2	2.5" cal.	Specimen quality B&B, guyed
ORNAMENTAL GRASSES (planted @ 12" O.C. spacing)				
10	Idaho Fescue Grass, Festuca idahoensis 'Siskiyou Blue'	1 & 2	1 gal.	Container Full
PERENNIAL FLOWERS (planted @ 12" O.C. spacing)				
12	Alpine Poppy Papaver alpinum	1 & 2	Flats of 15	
13	Silvery Lupine Lupinus argenteus	1 & 2	Flats of 15	
DECIDUOUS SHRUBS				
4	Common Purple Lilac Syringa vulgaris	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
8	Mountain Spray Holodiscus dumosus	1 & 2	5 gal.	Container, 5 canes minimum 18"-24" ht.
5	Pink Beauty Potentilla Potentilla fruticosa 'Pink Beauty'	1 & 2	5 gal.	Container, 5 canes minimum 12"-18" ht.
3	Twinberry Honeysuckle Lonicera involucrata	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
2	Waxflower Jamesia americana	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.



Section 7, Item E.



Know what's below.
Call before you dig.

LANDSCAPE ARCHITECT:
TOMINA TOWNSEND, LA
PO BOX 3000, PMB 301
EDWARDS, CO 81632
P. 303.572.7876
TTownsend@ResortConceptsCO.com

MINTURN NORTH P.U.D.

LOT 6-LANDSCAPE PLAN

TOWN OF MINTURN, COLORADO

DESIGNED: TT
DRAWN: TT
CHECKED: RH
DATE: April 19, 2024
REVISIONS:
REVISED DRB SUBMITTAL: 5/22/24
-REVISED SNOW STORAGE PER LOT SIZE
-REVISED TREE QUANTITY PER LOT SIZE

DRB SUBMITTAL

SHEET TITLE:
LANDSCAPE
NOTES & DETAILS
SCALE: NOT TO SCALE
SHEET NUMBER:
L2

130

EGGERS
ARCHITECTURE, INC.
PO BOX 798
KREMMLING, CO 80459
(970) 724-3411
CELL: (970) 409-9790
don.eggars@eggarsarchitecture.com

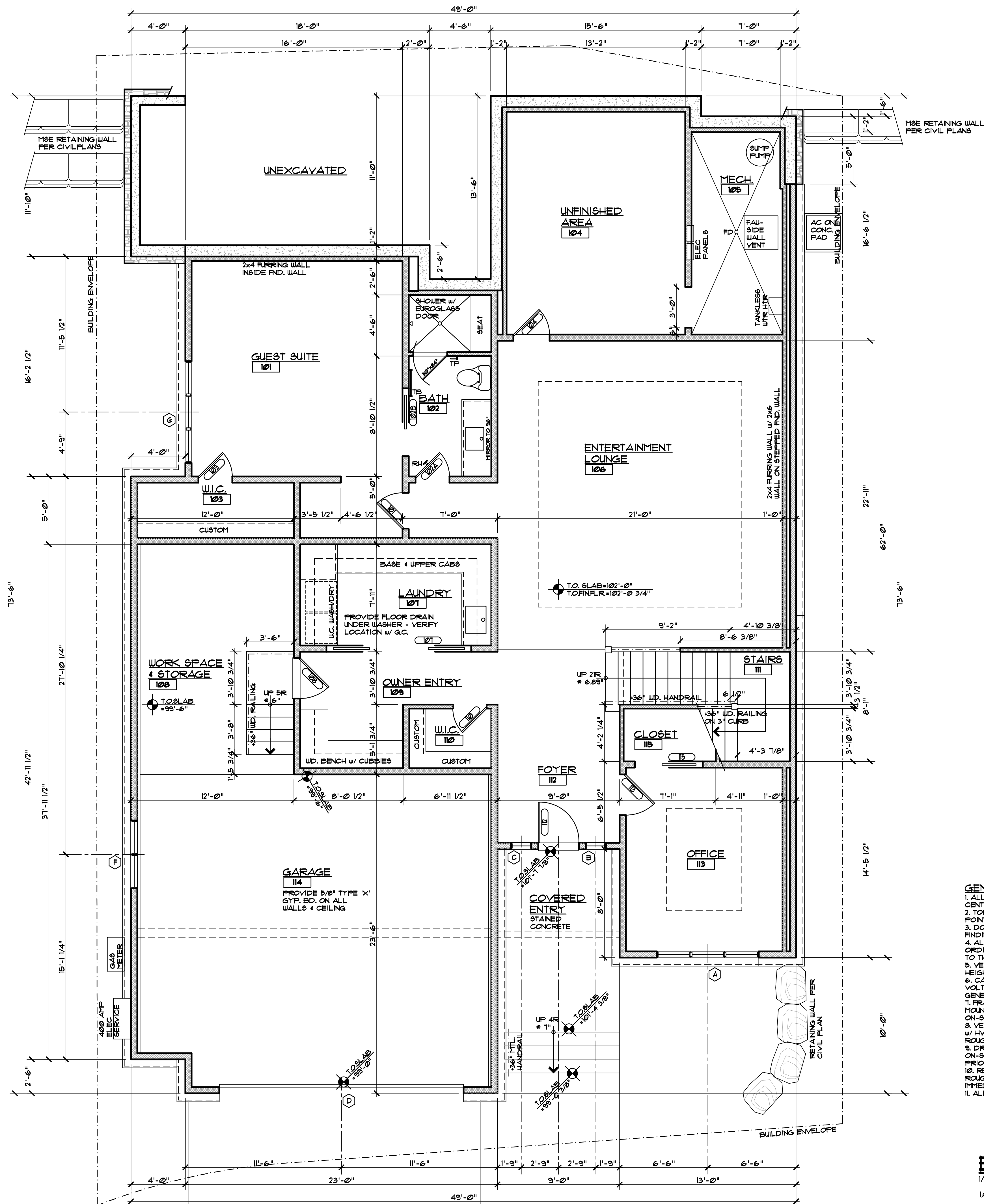
R RESORT CONCEPTS
225 MAIN STREET, SUITE C-101
EDWARDS, COLORADO
(970) 926-1720

WIDMER
LOT 06
MINTURN NORTH
MINTURN, COLORADO

PROJECT NO: 2412-22 L06

#	DATE	BY	COMMENTS	#	DATE	BY	COMMENTS
6	5-22-24		DUE	REV	DUE	REV	DUE
5	4-19-24		DUE	REV	DUE	REV	DUE

A1.1



- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE OR CENTER OF POSTS, UNLESS NOTED OTHERWISE.
 2. TOP OF WALL HEIGHTS EQUAL TOP OF FLAT PLATE OR LOWER POINT ON BEVELED WALL PLATES.
 3. DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT IMMEDIATELY UPON FINDING ANY DISCREPANCIES IN DOCUMENTS.
 4. ALL WORK SHALL COMPLY WITH STATE & LOCAL CODES AND ORDINANCES, BE BUILT TO INDUSTRY STANDARDS AND BE PERFORMED TO THE HIGHEST LEVEL OF CRAFTSMANSHIP.
 5. VERIFY ALL FINISHED FLOOR THICKNESS FOR DETERMINING MOUNTING HEIGHTS, STAIR CONSTRUCTION, ETC. (3/4" SHOWN ON PLANS MAY VARY).
 6. CABINET LAYOUT, APPLIANCE SPECIFICATIONS, AND ELECTRICAL/LOW VOLTAGE REQUIREMENTS & LOCATIONS NEED TO BE VERIFIED BY GENERAL CONTRACTOR PRIOR TO INSTALLATION.
 7. FRAMING CONTRACTOR TO PROVIDE BLOCKING FOR ALL SURFACE MOUNTED ACCESSORIES AND SHALL COORDINATE PLACEMENT WITH ON-SITE SUPERVISOR PRIOR TO INSTALLATION.
 8. VERIFY ALL VENTING, DUCTWORK, SUPPLY AND RETURN AIR LOCATIONS w/ HVAC CONTRACTOR PRIOR TO COMPLETION OF FRAMING & ELECTRICAL ROUGH-IN. GENERAL CONTRACTOR TO APPROVE ALL LOCATIONS.
 9. DROPPED CEILING AND SOFFIT LOCATIONS SHALL BE APPROVED BY ON-SITE SUPERVISOR AND COORDINATED w/ M.E.P. SUB-CONTRACTORS PRIOR TO INSTALLATION.
 10. REFER TO WINDOW MANUFACTURER SHOP DRAWINGS FOR EXACT ROUGH OPENINGS FOR ALL DOORS & WINDOWS. NOTIFY ARCHITECT IMMEDIATELY WITH ANY ISSUES REGARDING HEADERS AND/OR POSTING.
 11. ALL INTERIOR DRYWALL IS 5/8" GYPSUM BOARD, UNO.

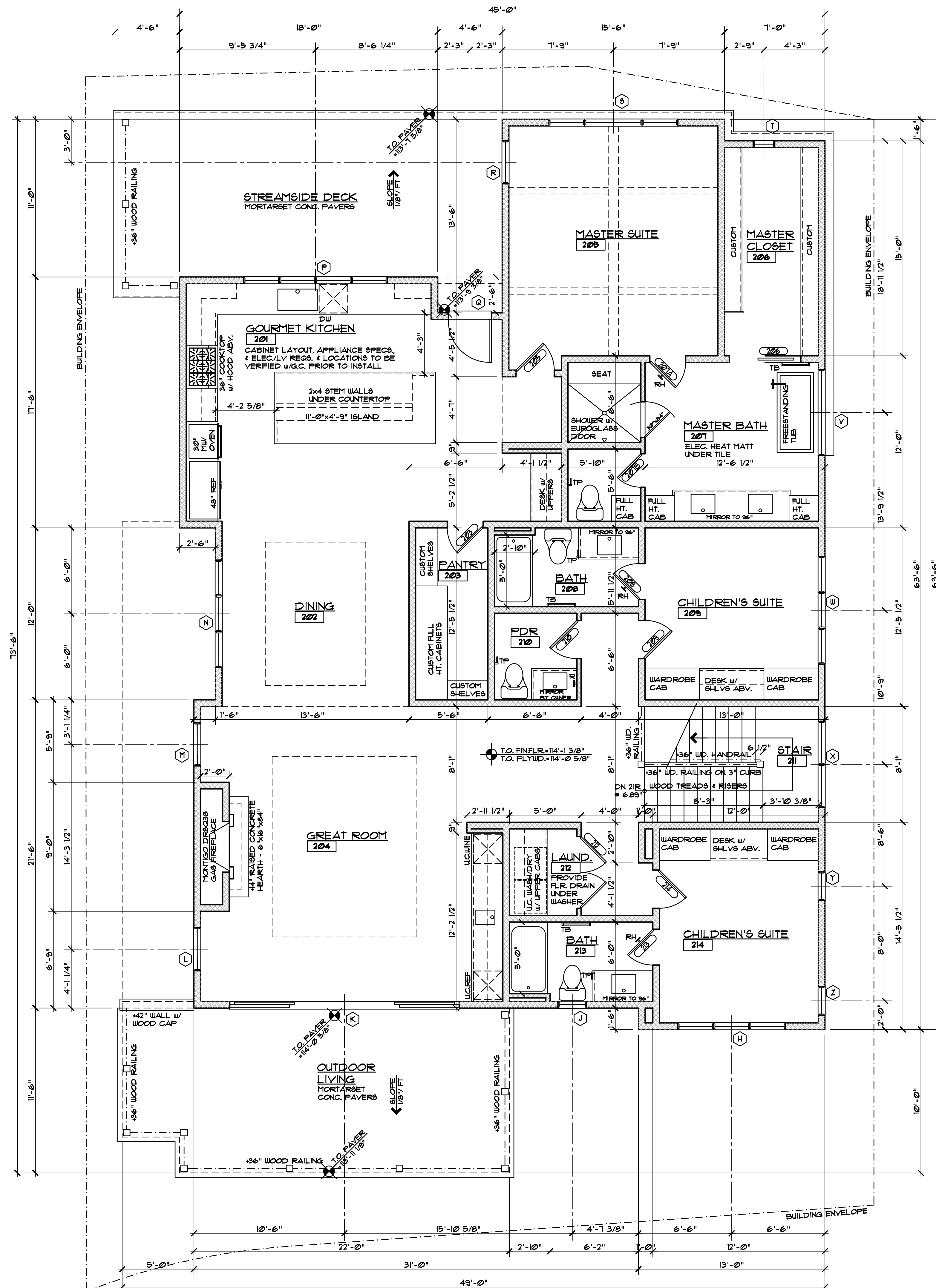
ENTRY LEVEL PLAN

1/4" = 1'-0"

1,688 SF LIVING, 232 SF UNFINISHED, 116 SF MECH, 825 SF GARAGE

DISCLAIMER: ALL PLANS, RENDERINGS, SPECIFICATIONS AND MARKETING MATERIALS ARE SUBJECT TO REVISIONS AND MODIFICATIONS AT DEVELOPERS SOLE DISCRETION DUE TO SITE SPECIFIC GRADING CONDITIONS, AVAILABILITY OF MATERIALS, AVAILABILITY OF LABOR, MANUFACTURER SUPPLY SHORTAGES, AND GOVERNMENTAL AGENCY CHANGES. ALL PLANS AND SPECIFICATIONS ARE SUBJECT TO REVISIONS AND CONDITIONS OF APPROVAL BY THE MINTURN NORTH DESIGN REVIEW BOARD, TOWN OF MINTURN CITY COUNCIL, TOWN OF MINTURN DESIGN REVIEW BOARD, TOWN OF MINTURN BUILDING PERMIT DEPARTMENT AND ALL OTHER APPLICABLE REGULATORY AGENCIES. ARTIST RENDERINGS HAVE BEEN PROVIDED FOR ILLUSTRATIVE AND MARKETING PURPOSES ONLY AND SHOULD NOT BE RELIED UPON AS A BASIS FOR PURCHASING. COLOR, MATERIALS AND DESIGN ELEMENTS ARE SUBJECT TO REFINEMENT AND REVISION WITHOUT NOTICE AT DEVELOPERS SOLE DISCRETION.

ISSUED			
#	DATE	BY	COMMENTS
6	5-22-24		REV. DRB SUBMITTAL
5	4-19-24		DRB SUBMITTAL SET



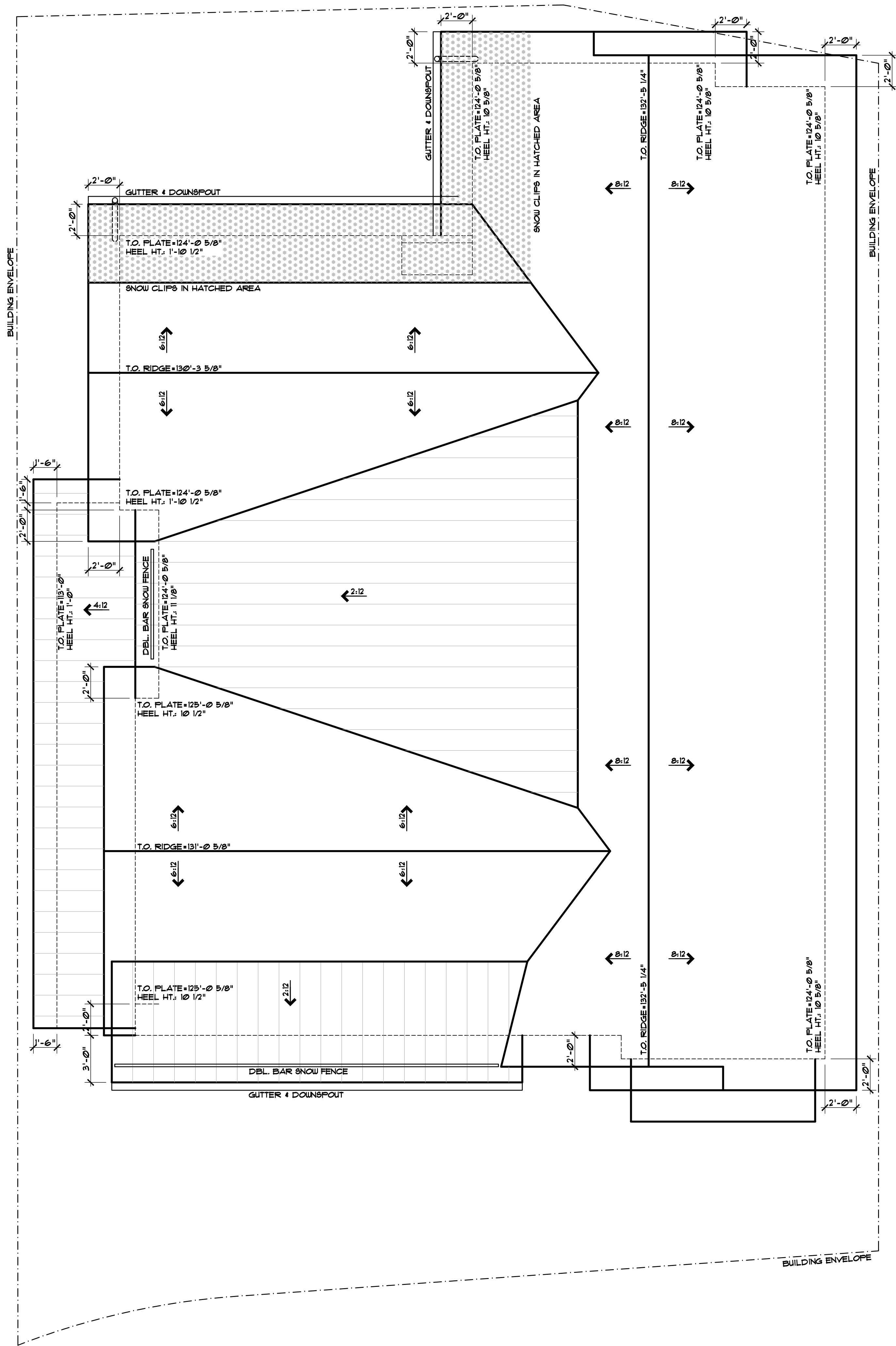
GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE OR CENTER OF POSTS, UNLESS NOTED OTHERWISE.
2. ALL WALL HEIGHTS ARE TO TOP OF FLAT PLATE OR LOWER POINT ON BEVELED WALL PLATES.
3. DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT IMMEDIATELY UPON FINDING ANY DISCREPANCIES IN DOCUMENTS.
4. ALL WORK SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES, BE BUILT TO INDUSTRY STANDARDS AND BE PERFORMED TO THE HIGHEST LEVEL OF CRAFTSMANSHIP.
5. ALL FIELD MEASUREMENTS SHALL BE FOR DETERMINING MOUNTING HEIGHTS, STAIR CONSTRUCTION, ETC. (3/4" SHOWN ON PLANS MAY VARY).
6. CABINET LAYOUT, APPLIANCE SPECIFICATIONS, AND ELECTRICAL LOADS REQUIRED SHALL BE PROVIDED BY THE ARCHITECT AND BE VERIFIED BY GENERAL CONTRACTOR PRIOR TO INSTALLATION.
7. FRAMING CONTRACTOR TO PROVIDE BLOCKING FOR ALL SURFACE MOUNTING OF CABINETS. PROVIDE APPROPRIATE PLACEMENT WITH ON-SITE SUPERVISOR PRIOR TO INSTALLATION.
8. VERIFY ALL VENTING, DUCTWORK, SUPPLY AND RETURN AIR LOCATIONS / HVAC CONTRACTOR PRIOR TO COMPLETION OF FRAMING / ELECTRICAL CONTRACTOR PRIOR TO INSTALLATION OF CABINETS.
9. DROPPED CEILING AND SOFFIT LOCATIONS SHALL BE APPROVED BY ON-SITE SUPERVISOR AND COORDINATED W/ M.E.P. SUB-CONTRACTORS PRIOR TO INSTALLATION.
10. REFER TO WINDOW MANUFACTURER SHOP DRAWINGS FOR EXACT ROUGH OPENINGS FOR ALL DOORS & WINDOWS. NOTIFY ARCHITECT IMMEDIATELY WITH ANY REQUIRED CHANGES HEADERS AND/OR POSTING.
11. ALL INTERIOR DRYWALL IS 5/8" GYPSUM BOARD, UNDO.

MAIN LEVEL PLAN
1/4" = 1'-0"
2,438 SF LIVING

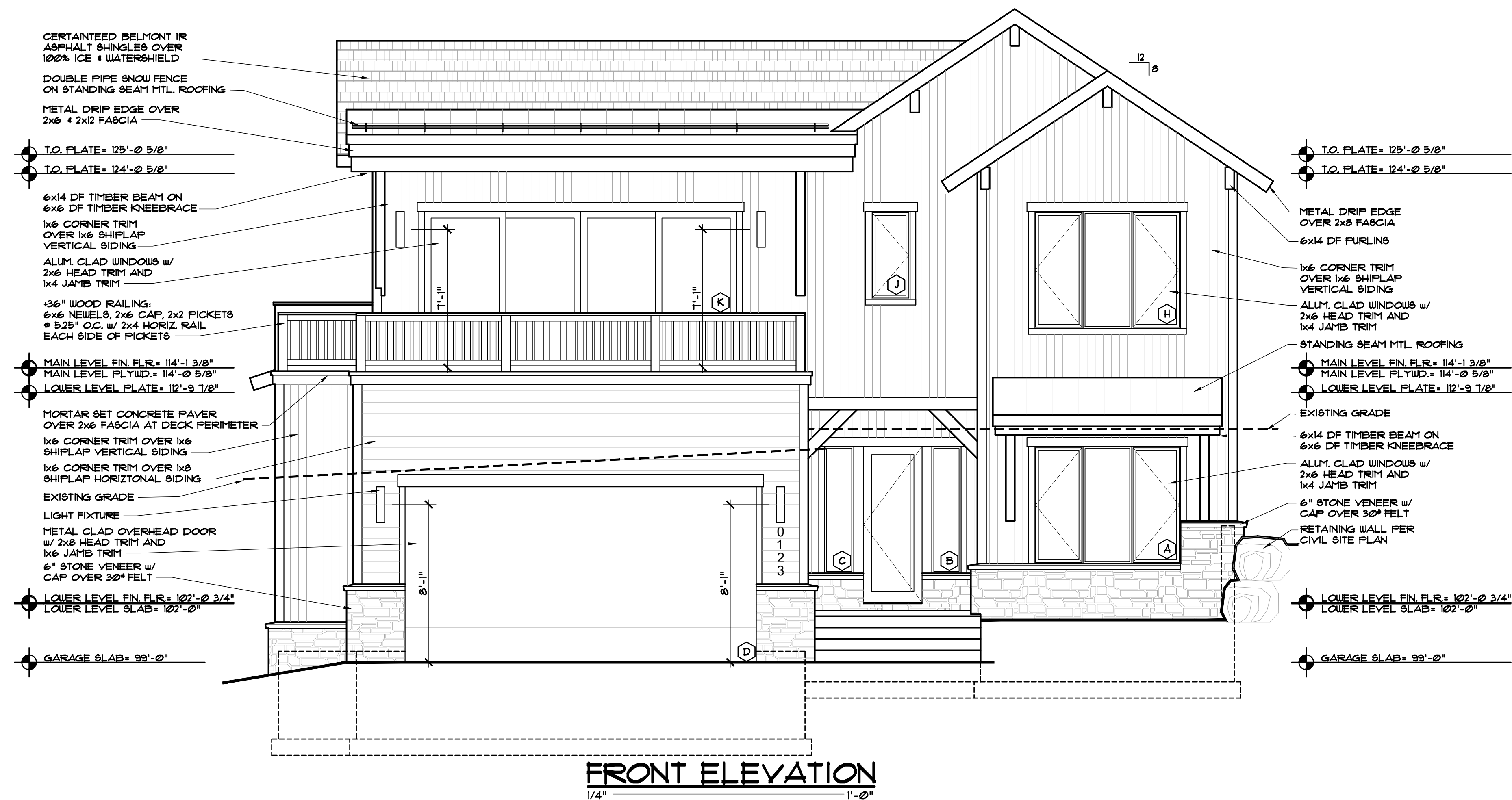
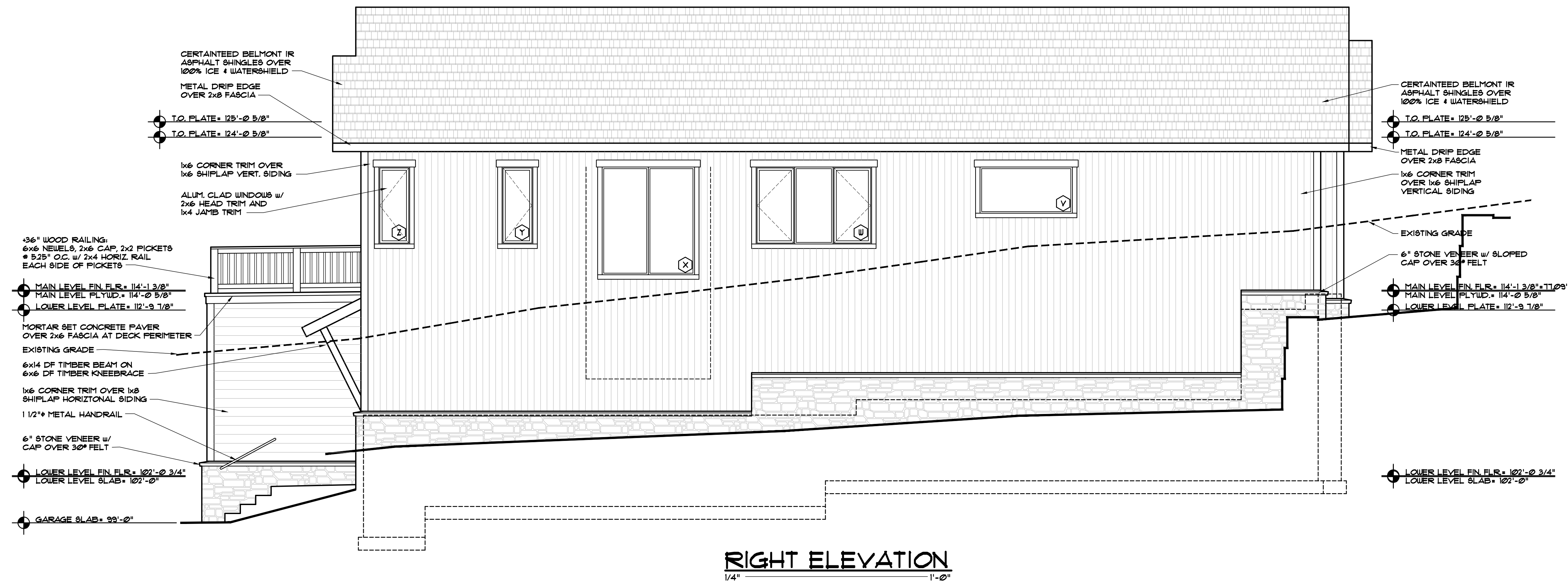
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ISSUED		COMMENTS	
#	DATE	BY	
6	5-22-24	DUE	REV DREB SUBMITTAL
5	4-19-24	DUE	DREB SUBMITTAL SET



- GENERAL NOTES:**
1. PRIMARY ROOF PITCHES ARE 6:12 & 8:12, SECONDARY ROOF PITCHES ARE 2:12 & 4:12.
 2. PRIMARY ROOFING MATERIAL IS CERTAINTED BELMONT R ASPHALT SHINGLES.
 3. SECONDARY ROOF MATERIAL IS TECHNICALLY BEAMED DOUBLE LOCK STANDING BEAM METAL ROOF WITH SEAM TAPE AT 2:12 PITCH. STANDARD STANDING BEAM METAL AT 4:12 PITCH.
 4. ALL GUTTERS & DOWNSPOUT TO MATCH METAL ROOF COLORS AND HAVE HEAT TAPE TO DAYLIGHT.
 5. ALL VENTS AND PENETRATIONS TO BE PAINTED MATTE BLACK.
 6. SNOW FENCE IS 8-5 BLIZZARD II DOUBLE PIPE W/ 8-5-S CLAMPS BY ROCKY MOUNTAIN SNOW GUARDS.
 7. SNOW CLIPS INTERLACED IN SHINGLES WHERE HATCHED. CLIPS TO MATCH COLOR OF ROOFING.
 8. DIMENSIONS ON ROOF PLAN ARE FACE OF STUD OR CENTER OF POST/BEAM TO FACE OF FINISHED FASCIA.
 9. TOP OF PLATE HEIGHTS ARE TO TOP OF FLAT PLATE OR LOW POINT OF BEVELED PLATE.
 10. TOP OF BEAM HEIGHTS ARE TO TOP OF FLAT BEAM OR HIGH POINT OF BEVELED BEAM.
 11. HEEL HEIGHTS ARE PLUMB DIMENSION AT OUTSIDE FACE OF BEARING.
 12. RIDGE HEIGHTS ARE TO FRAMING MEMBERS, NOT ROOF SHEATHING.
 13. REFER TO ROOF ELECTRICAL PLAN FOR CLEAR ROOF REQUIREMENTS PER I.E.C.C.

ROOF PLAN
1/4" = 1'-0"



EGGERS
ARCHITECTURE, INC.
PO BOX 798
KREMMLING, CO 80459
CELL: (970) 409-9790
don.eggars@eggarsarchitecture.com

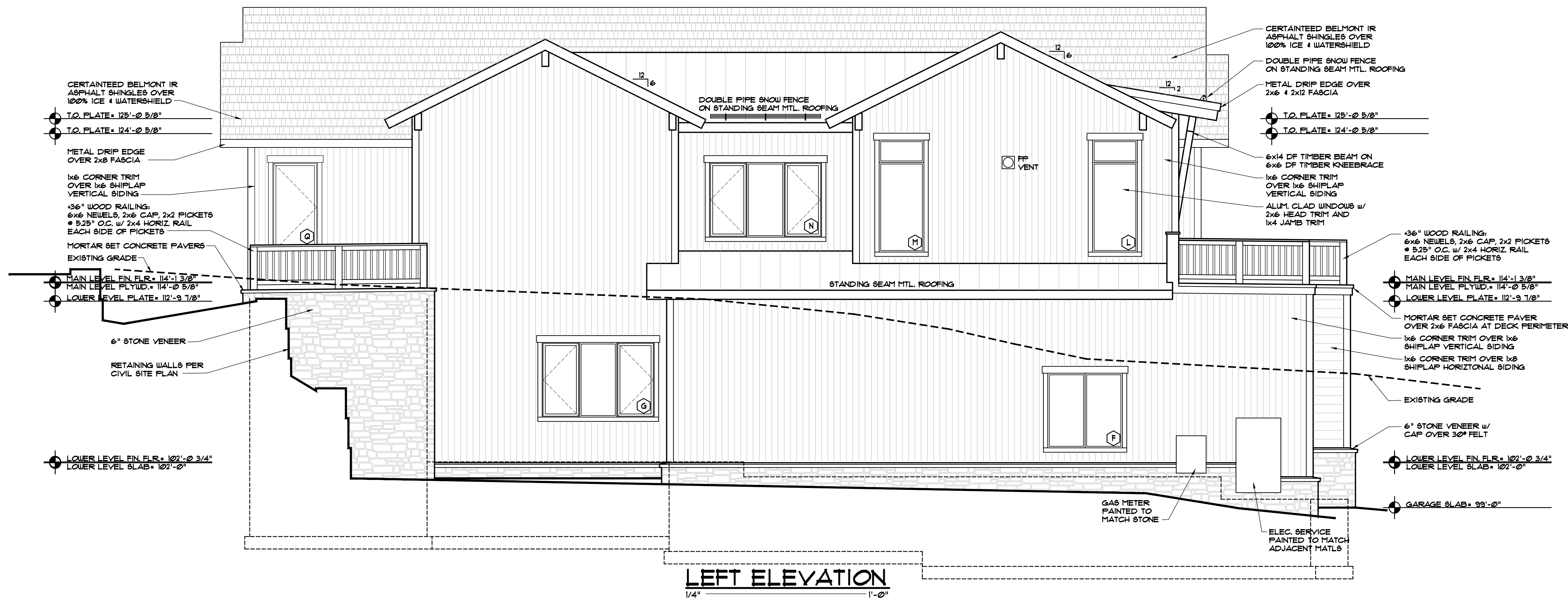
RESORT CONCEPTS
225 MAIN STREET, SUITE C-101
EDWARDS, COLORADO
(970) 926-1720

WIDMER
LOT 06
MINTURN NORTH
MINTURN, COLORADO

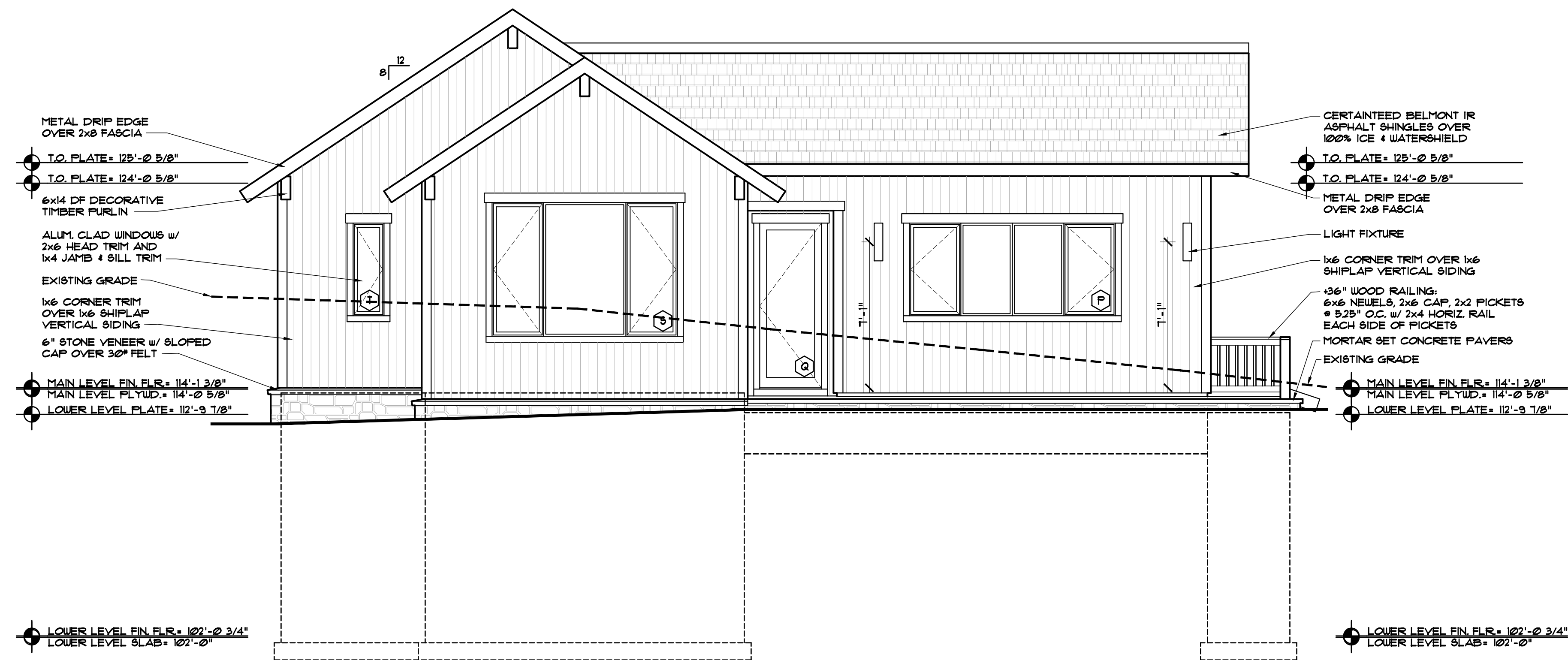
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	6	5-22-24		REV. DRB SUBMITTAL
	5	4-19-24		DRB SUBMITTAL SET

A2.1



LEFT ELEVATION



REAR ELEVATION

EGGERS
ARCHITECTURE, INC.
PO BOX 798 KREMMLING, CO 80459
(970) 724-3411 CELL (970) 409-9790
don.eggars@eggarsarchitecture.com

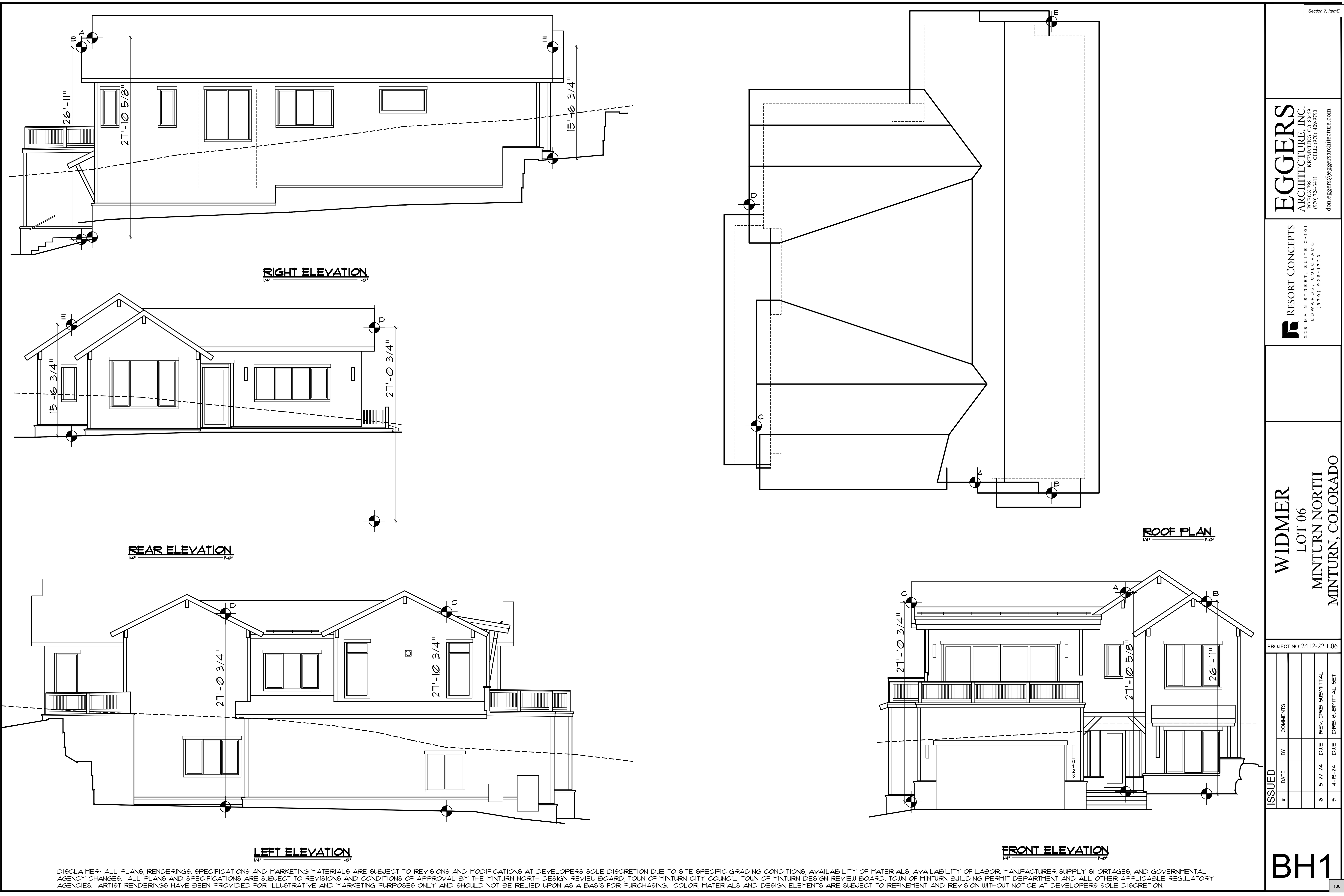
R RESORT CONCEPTS
225 MAIN STREET, SUITE C-101
EDWARDS, COLORADO
(970) 926-1720

WIDMER
LOT 06
MINTURN NORTH
MINTURN, COLORADO

PROJECT NO: 2412-22 L06

#	DATE	BY	COMMENTS	#	DATE	BY	COMMENTS
6	5-22-24		REV. DREB SUBMITTAL	5	4-19-24		DREB SUBMITTAL SET

A2.2



EGGERS
ARCHITECTURE, INC.
PO BOX 798 KREMMLING, CO 80459
(970) 724-3411 CELL: (970) 409-9790
don.eggars@eggarsarchitecture.com

R RESORT CONCEPTS
225 MAIN STREET, SUITE C-101
EDWARDS, COLORADO
(970) 926-1720

WIDMER
LOT 06
MINTURN NORTH
MINTURN, COLORADO

PROJECT NO: 2412-22 L06

ISSUED		COMMENTS	
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5	4-19-24	DUE	DRB SUBMITTAL SET

BH1

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Minturn Planning Department
Minturn Town Center
301 Boulder St. #309
Minturn, CO 81645
970-827-5645
planner1@minturn.org
www.minturn.org



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Michael Boyd
Amanda Mire
Eric Rippeth
Darell Wegert

Memorandum

Date: June 7, 2024
To: Minturn Planning Commission
From: Madison Harris, Planner I
Re: Planning Commissioner Training

The Planning Commission often handles applications or topics of a quasi-judicial matter. Thus, whenever there are new people on the Planning Commission, staff considers it best practice to go over the statutes and rules that the Board has to abide by. The presentation and training will likely cover, including but not limited to, the role of the Planning Commission, an introduction to the quasi-judicial role, best practices for quasi-judicial hearings, and tips for good deliberation. This is to set the foundation for the new Commissioners' terms and give a refresher course to the Commissioners that are only half-way through their terms.



Town of Minturn Planning Commission Training

Presented by

Sam Light, CIRSA Deputy Executive Director/General Counsel

Introduction

- Congratulations on your appointment to the Minturn Planning Commission, and thank you for your service!
- Refresher/intro on liability risks & risk prevention best practices surrounding quasi-judicial issues
- Presentation is a training resource only; is not intended as legal advice on any specific, pending issues; in case of any inconsistency between this presentation and your Town Attorney's advice, your Town Attorney is always right!
- For additional CIRSA resources:
 - The elected officials' page on CIRSA website has some resources relevant to boards and commissions: <https://www.cirsa.org/safety-training/elected-officials/>
 - CIRSA *Elected Officials Liability Handbook*: <https://www.cirsa.org/wp-content/uploads/2019/06/EthicsLiabilityBestPracticesHandbookForElectedOfficials.pdf>
 - And our newest video (<https://www.youtube.com/watch?v=bfhxvn1c1IA&t=10s>), which is 17 minutes long, or you can just watch the “due process” section here: <https://www.youtube.com/watch?v=2HeNb1SJfL8>

About CIRSA

Colorado Intergovernmental Risk Sharing Agency

- Public entity self-insurance pool for property, liability, and workers' compensation coverages
- Formed in 1982 by 18 municipalities pursuant to CML study committee recommendations
- Not an insurance company, but an entity created by IGA of our members
- Total membership today stands at 290 member municipalities & affiliated entities
- CIRSA views proactive approaches to risk management as critical member services – it's a win-win when issues can be addressed/resolved before they turn into more contentious disputes or litigation
 - The work of the Planning Commission can be a source of claims and litigation

Quasi-Judicial Issues

- Your role as a quasi-judicial decision-maker is one of the relatively little-known aspects of municipal service at your level
- The rules that apply to quasi-judicial decision-making are distinct from those that apply in other settings, and are often counter-intuitive
- But, because of the high stakes involved in these decisions, and because of the constitutional protections underlying the applicable rules, missteps in the quasi-judicial arena can have severe consequences
- Your responsibilities can be broadly broken out into two arenas:
 - Those involving the **big picture**—making and adopting comprehensive master plans including land use plans; recommending general amendments to the zoning, subdivision and development regulations
 - Those affecting the rights of **individual** property owners or developers, who come to you for your recommendation or decision concerning their property – development proposals
- When a decision concerning individual rights – e.g. a development proposal – is before you, you are acting in a **quasi-judicial capacity**

Quasi-Judicial vs. Legislative: A Comparison

- Comparing “quasi-judicial” activities with the kinds of “legislative” activities that you see coming before the Town Council can provide a useful contrast from a conduct standpoint
- Examples: Should we have a contractor licensing code? Should we adopt general amendments to the mixed-use design guidelines? Should we have (or repeal) a ban on food trucks? In such matters, the following activities by officials are commonplace, expected, and perfectly OK
 - **listening to citizens who contact you in person, by email, on social media, etc.**
 - **investigating the issues yourself, applying your own personal knowledge**
 - **communicating early and often with your fellow citizens**
 - **lobbying and being lobbied**
 - **working in advance to create a consensus (subject to open meetings laws)**
 - **having strong convictions/ opinions/prejudgments that you don’t hesitate to voice and share....**
- And then ultimately **voting on a policy-making enactment that will have prospective application to all who come within the ambit of the enactment** – that’s a good working definition of “legislative”
- The “rules of engagement” for legislative activities are easy and intuitive – the kinds of activities described above are OK! **Think legislator – State Capitol!**

A Comparison

- Your role of making and adopting comprehensive plans, including land use plans, and in making recommendations on generally applicable updates to the zoning ordinance or similar “legislative” regulations, is the part of your work that’s most analogous to the legislative work of the Town Council
 - You are visioning, looking prospectively and “big picture”
 - You aren’t seeking to make binding decisions concerning the individual rights of specific landowners, or concerning individual parcels of property
- But when you make decisions concerning requests such as the following (and others), you **are** affecting the individual rights of a specific landowner:
 - Request to subdivide a parcel
 - Request to rezone a property
 - Request for approval of a Preliminary or Final Development Plan (or amendment)
 - Request for approval of a conditional review use
 - Consideration of a design review application
 - These are **quasi-judicial! Think Judge – Courtroom!**

A Comparison

- When it comes to quasi-judicial issues, *the activities listed in red above for legislative issues are problematic, because you're not supposed to be acting like a **legislator**, you're supposed to be acting like a **judge**!*
- So, let's arrive at a working definition for "quasi-judicial":
 - Typically involves a decision affecting **property rights** at an **individual** level; Decision is made on the basis of **specific criteria (the law)** and the **testimony and other evidence concerning the application of the criteria (the facts)** that are brought forward **at a hearing** with a decision (or recommendation) rendered by a **fair and impartial decision-maker—that's you!**
 - Requires **notice, a public hearing, and a decision based on the record of the hearing** (what's submitted by testimony and other evidence admitted into the record at the hearing)
 - If your hearing was done correctly, judicial review is via a **"Rule 106" action** (Rule 106(a)(4) of the CO Rules of Procedure) – judge reviews the findings of fact and conclusions of law of the lower body (e.g. you or the Town Council) under an "arbitrary and capricious" standard – limited to a review of whether the lower body **exceeded its jurisdiction or abused its discretion based on the evidence in the record**. This is a very deferential standard but puts the burden on you to do the hearing correctly!

Rules of Engagement for Quasi-Judicial Conduct: Why?

- The “rules of engagement” that apply to quasi-judicial decision-making are premised on the existence of property rights that will be affected by your decision, and the constitutional requirement that **“no person shall be...deprived of life, liberty, or property, without due process of law.”**
- “Due process,” at its essence, **means a fair hearing before an unbiased decision-maker: you, acting as a judge!**
- When your Town Attorney emphasizes the need to follow the “rules of engagement” in quasi-judicial matters, their intent is to achieve two goals:
 - Protect YOUR right and responsibility to participate in the decision-making; and
 - Protect you, the Town, and the decision that is ultimately reached
- Not following these rules can jeopardize both of those goals!
- **If you violated constitutional rights in the conduct of the hearing and/or your decision, then Rule 106 is not the only remedy!**
 - Federal “Section 1983” (42 U.S.C. Section 1983) becomes another remedy – for **violation of civil rights**

Remedies for Disagreement with a Quasi-Judicial Decision

Section 8, Item A.

- To sum up, IF the hearing has been carried out properly, and the decision has been issued based on facts in the record and application of proper legal criteria:
 - Decision will likely be upheld in a Rule 106 review; and
 - Other recourse (such as a claim of a constitutional violation) will likely be unavailable or unsuccessful
- But IF there are procedural flaws in the hearing or the decision, a claimant may seek redress for a constitutional violation!
- This means that in **quasi-judicial matters, the PROCEDURE by which you arrived at a decision can be *more important*, from a legal and liability standpoint, than the SUBSTANCE of your decision!**

Quasi-Judicial Issues

- A Planning Commission member doesn't wear a robe, is easily recognized on the street, and might be expected by citizens and others to be "accessible" at all times, but . . .
- A judge reviewing your quasi-judicial decision in an appeal proceeding will judge your conduct against the way he/she would behave as a judge in his own courtroom – so keep the "judge – courtroom" scenario in mind in terms of how you conduct yourselves in quasi-judicial matters
- So "think like a judge" in your personal conduct and your collective conduct when a quasi-judicial matter is involved. . .

"Think Like A Judge"

- Don't make up your mind before the hearing
- Don't make prejudicial pre-hearing statements
- Don't speak with one side or the other before a hearing (ex parte contacts, more in a moment)
- Don't participate if you have a financial or other personal interest in the matter (code of ethics)
- Don't sign any "pro" or "con" petitions
- Don't bring to your decision-making facts you "know" to be true, but that aren't part of the testimony or other evidence that the parties bring into the hearing -- have the parties provide you with information at the hearing
- When deliberating and making findings, think and speak as a judge would—e.g., "I find...", "The evidence shows...", etc.—and not in terms of "I'm feeling...", etc.
- Don't be a witness, prosecutor, advocate, or investigator – you're a JUDGE!

Other Conduct Issues

- Discuss and consider quasi-judicial matters only at the Commission's duly noticed public hearing; that is:
 - Wait until the matter has arrived on your agenda and is "ripe" for you to hear, deliberate and decide
 - Don't engage in pre-hearing "buzz"—you get to make the decision but with that power comes the responsibility to be fair and unbiased and follow the rules of engagement
- Once the Commission has made its decision, let the decision speak for itself
- Even if you held a minority view, recognize your individual responsibility to respect the body's decision

Real-Life Scenarios: What Do You Think?

“We recently approved a controversial site plan and resolved the Fire District’s concerns with a condition of approval requiring the developer to obtain a fire access over the neighbor’s land. The neighbor testified at the hearing that he’s willing to grant an access easement. One of our members who voted against the project (it was a 4-3 vote) has approached the neighbor to suggest he not grant the easement.” Concerns?

““From prior comments, it seems one of our members generally disfavors any additional gas stations in town. We have an upcoming conditional use hearing for a proposed gas station and the member has been asking staff to include information about pollution and environmental impacts posed by gas stations in the packet and has been posting on social media about the upcoming hearing.” Concerns?

Ex Parte Contacts

- A bit more about “ex parte contacts”:
- A critical duty of the quasi-judge is to avoid “ex-parte” contacts, meaning any “outside the hearing” discussion with an interested party about the subject matter of the hearing.
Examples:
 - Meeting with the applicant outside the hearing to discuss the pro/cons of the request and how you might decide the case.
 - E-mailing your fellow decisionmakers before the hearing to persuade them why they should vote yes or no.
 - Attending meetings where folks for or against the application are discussing the application, even if you’re not participating.
- If it were your application and your property interests at stake, would these activities seem fair to you?
- Don’t these activities seem more like “advocate” than “judge”?

Ex Parte Contacts

- A proceeding loaded with “ex-parte” contacts is a clear path to having your decision overturned and, as important, having the integrity of your process eroded.
- When we and your Town Attorney advise against ex-parte contacts, we are protecting your ability to participate in the decision-making, and your ultimate decision.
- An ex-parte contact can be problematic whether with the applicant, citizens, or in some instances, staff.
- Or, even in the hearing itself (i.e., no texting or e-mailing about the subject matter of the hearing within the hearing itself).
- Go back to the activities commonly associated with “legislative” actions, and you can see that most of them can be problematic in the quasi-judicial arena!

Ex Parte Contacts

- Arm yourself (and staff, arm your quasi-judges!) with knowledge you need when persons want to talk about a pending quasi-judicial matter outside the hearing. Keep some “talking points” ready; e.g.:
 - **“Thanks for your interest [or e-mail, etc.] but I can’t talk with you about this application outside the upcoming hearing. I’d like to hear your views but because this is a specific property rights case, I need to hear and consider the evidence only through our public hearing process. Please plan to attend the hearing if you can. If you can’t attend, you can send written comments to our staff and they’ll include those comments in hearing materials.”**
- Consider having a short explanation, or “FAQs,” on the quasi-judicial process on your website – as noted, these “rules of engagement” are non-intuitive and may be baffling to those encountering them for the first time!
- If it’s an email—forward to staff; they can respond for you and assemble emails received for the hearing packet.

Ex Parte Contacts

- At what point does the ex parte prohibition kick in?
 - At the point at which an application is filed? Before? Ask your Town Attorney – this is a somewhat fluid issue!
 - But be extremely cautious about protecting your prerogative to participate as a neutral decision-maker at all times
 - Should individual members of the body be “working” on a matter that could result in an application?
 - What “individual” powers does any member have? Should your body have any individual “dealmakers”?
 - Such efforts could get you in front of your colleagues or the Town Council
 - Or jump in front of the staff – shouldn’t it be your planning staff that has the initial contact/does the up-front work on potential applications?
 - Or end up in a “divide and conquer” situation
 - Or end up displaying a seeming bias

Real-Life Scenarios: What Do You Think?

“Commissioner Nile is unable to attend the Planning Commission meeting next week at which the Commission will hold a public hearing on a conditional use request for a group home. Over the weekend he emails Commissioner Tami to tell her she should vote no because the proposed home will not have enough off-street parking. Tami responds to Nile and copies in Commissioner Bruce, telling them both that the number of proposed bedrooms is also a huge concern for her. Bruce responds to Tami (copying Nile) adding that there is a lot of social media “buzz” about the request and “people around Town don’t want us approving these things.” Concerns?

Beyond Ex Parte Communications

- In addition to due process concerns for ex-parte communications, public officials are subject to other laws of transparency.
- Commit to the “openness” requirement of the Open Meetings Law (OML).
 - Applies to 3 or more or a quorum, whichever is less, and requires that discussion/action on public business take place at a meeting open to the public.
 - A “meeting” includes any gathering to discuss public business, in person, by phone, or electronically.
 - Note, while 1-on-1 discussions are okay on legislative matters, such discussions are not okay with respect pending QJ matters.
- Separate from OML requirements, e-mails sent and received by public officials that concern their official duties are generally public records.
- Using social media?

A Word About Ethics

- As appointed public officials, you are also subject to ethics laws governing your conduct (e.g. Town of Minturn Code of Ethics). Because of the property interests at stake, the conduct of quasi-judicial decision-makers is an area where expectations and scrutiny around ethics can get heightened.
- Thus, become familiar with ethics rules applicable to your position. Make the code of ethics your “best friend” in resolving ethics issues. Key areas:
 - Conflicts of Interest: Disclose, recuse, don’t vote, and don’t influence others.
 - Don’t disclose or use any confidential information for personal benefit.
 - Decline any gifts that seem to be connected to your service (and abide by gift rules).
- Avoid situations that create an appearance of impropriety. Recognize that in matters of ethics, fair or not, sometimes perception = reality and reality = perception!

After the Hearing

- Deliberation/discussion of the evidence is critical in a quasi-judicial proceeding; this is where you “connect the dots” according to this “formula”:

Facts learned at the hearing
+ the legal criteria applicable to the matter
= Your decision

- In deliberating, the body formulates the bases of its impending decision by connecting up the evidence it heard at the hearing and that is in the hearing records (i.e., packet) with the legal criteria that apply to the decision.
- This is where the applicant and others obtain an understanding of your position.
- It’s also where the reviewing judge looks to understand why you decided the matter as you did (and whether it comports with your criteria and the law).

After the Hearing

- Deliberation is the time to “talk amongst yourselves.”
 - The time for questions for the applicant or other witnesses is over!
 - If you had questions about details as the hearing unfolded, jot them down and be prepared to ask them during the hearing, **not after**
 - Example: “When do you anticipate your opening day to be?”
 - But be cautious about questions during the evidentiary presentation portions of the hearing – you’re seeking clarification on essential points to plug into the “formula” – not asking about extraneous matters, or asking “leading” questions that may be perceived as bias, or that contain your own (uncorroborated) version of the “facts,” or make you appear to be an advocate rather than a judge
 - And remember, the “talk amongst yourselves” time is during deliberations, not during the hearing! Hearing time belongs to the applicant, staff, persons providing public comment, and others testifying.

After the Hearing

In deliberations:

- Focus on the key issues and the relevant decision-making criteria:
 - In quasi-judicial matters, you must make your decision based on the relevant existing criteria and **not on the basis of personal preferences, or irrelevant or non-existent standards, or considerations that don't apply to the application in front of you**
 - **It's easy to be led astray by pressing but irrelevant considerations!**
 - Have the criteria at the ready and ask questions as needed ("Staff, remind me, what's the rule that applies to this issue?")
 - Or consider asking Town Attorney or Staff to provide you with standard checklist of applicable decision-making criteria for ready reference
- Discuss the relevant evidence that has been presented to you (**not stuff you "know" but that isn't in the record!**)
- Remember - when you are prepared to discuss the criteria, you will arrive at a discussion of the defensible reasons for your decision. Use the "Rule of Why".

Deliberations Matter

Section 8, Item A.



After the Hearing

Deliberations Matter: Use the “Rule of Why”

Chair: “I’d like to thank everyone for their comments on this development plan. Now it’s time for the Commission to deliberate. Who would like to start the discussion?”

Member Sam: “I would, thank you, Madam Chair. I think we’ve heard a lot of differing opinions here and I just want to say I’m adamantly opposed and I’m voting no.”

Member Tami: “Sam, may I ask: Why do you intend to vote no?”

Member Sam: “I’m voting no because it doesn’t meet our standards.”

Member Nile: “Sam, why doesn’t it meet our standards? I have concerns too that I’ll mention in my comments but if you’d tell me what standards concern you and why you think they aren’t met, that will help frame our discussions.”

Member Sam: Yes, I’d be happy to. I think that compliance with the residential design standards is an issue because...”

After the Hearing

Deliberations Matter: Closing Out the Hearing

- All quasi-judges should have—and take—the opportunity to speak during deliberations.
- When getting ready to act, make sure the decision document is accurate and reflects your criteria, findings, desired conditions, etc.
 - If conditions of approval are being added or revised, be sure they are appropriate; follow your attorney and staff suggestions on conditions.
- Take the time you need to prepare the proper decision document, even if it requires bringing the matter back to a future meeting.

After the Hearing

- Be very cautious about commenting on the evidence or criteria when making motions or “explaining your vote”
 - Be very certain that any “comments from the bench” are 100 percent consistent with proper findings of fact and conclusions of law
- Don't reopen the hearing for a latecomer.
- If the Planning Commission has a general “public comment” period as part of its agenda—usually at the beginning of your meeting—during that period, don't allow comments on a matter that is the subject of a public hearing. Instead, let folks know there will be time for public testimony on the public hearing matter during the public hearing.
- Similarly, if you have “Commissioner reports” or similar after public hearing matters, don't hold or reopen deliberations on a QJ matter at that time.

Running Great Hearings: A Few Suggestions

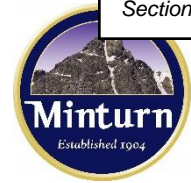
- The way a hearing is run —and how the members conduct themselves in hearings— significantly impact your risk profile and the community’s trust and confidence in your work.
- Follow “best practices” for hearings:
 - Use your script and follow it throughout.
 - Model and expect civility—applies to all meetings and participants.
 - Recognize and exercise your prerogative to maintain order.
 - Observe formalities, like signing up to testify, using titles, having a podium and requiring its use.
 - Ensure the room is set up to emphasize formality and good order.

Running Great Hearings: A Few Suggestions

- Ensure everyone stays focused on the matter and issues at hand and directly manage the flow of the hearing to get the necessary and relevant information.
- Use opportunities to “recalibrate” if discussion is straying off topic/off task, or if tensions seem to be rising in the room.
- Don’t engage or allow others to engage in free-wheeling “back-and-forth” during staff, applicant, or citizen witness comments.
- Ensure comments are made to the Commission, and not at each other; avoid outbursts and overtalking; coach witnesses, if necessary, to provide information rather than asking questions.

Conclusion

- The most important job for quasi-judges to is provide **great process!**
- Therefore, respect, follow, and be a champion of the fair and due process that you are set up to provide. Avoid process flaws and other acts that can cast doubt or create a sense of unfairness.
- Know that ***if*** you've carried out your hearing fairly and properly, and ***if*** you've issued a decision that is based on your hearing record and the applicable criteria, then your decision will withstand legal challenge...
- ...And interested parties and citizens will have faith and trust in how you handle quasi-judicial matters concerning their property. That's a great place to be!
- **And thank you for your service on behalf of the community!**



To: Minturn Town Council
 From: Michelle Metteer
 Date: June, 2024
 RE: Town Manager Update

Tract C (South of Minturn North Development)

Tract C: The Town is now the owner of Tract C, a parcel of land immediately adjacent to the southern end of the Minturn North project. [See final plat for reference.](#) The Council and public will need to conduct a public process which we expect to begin later this fall/early winter to determine the future use of this parcel. In the meantime, there is an opportunity to receive fill dirt from the Minturn North project that would allow the creation of parking and snow storage along the southern end of Taylor Ave which would support almost any future use, see included overall site plan which shows the establishment of a 25' wide by approximately 125' long shaded area. Although Jeff Spanel has indicated this tract is NOT an ideal area for a pocket park given the slopes of the parcel, by creating this parking/shoulder, the Town leaves open the option for almost any use while simultaneously increasing off-road parking on Taylor St and additional snow storage. I would like to take this opportunity for the free fill to create the parking and snow storage area as homes get developed. Here are a few more details from Jeff Spanel:

- The plan shows the shoulder extending 25' from the edge of asphalt on Taylor.
- The grade shown for the first 25' is 4% and then steepens to 2:1 to catch the existing ground surface.
- It will require about 700 Cubic Yards of material to construct the widened shoulder.
- About 80 Cubic yards of material would be required to build a 4" deep surface of gravel or asphalt millings.
- This could create about 25 parking spaces.
- Future access to Tract C will likely be from Taylor, so the shoulder widening could serve as access for a future use.
- Based on Minturn North estimates, removing the fill and reseeding the ground would cost about \$50,000.

Bulb Outs

I have attached the most up to date submittal to CDOT for the temporary bulb outs on Main Street. You will see that Mann Ave has been added to the design.

Community Events

With the results of the Community Survey, staff will be reevaluating the community events to ensure the events being offered by the town are in alignment with the interests of the community. We anticipate a brief survey to go live in the coming weeks asking the public for their feedback on what community events they would propose. Any proposed changes to the annual event lineup will be brought to the Council and public for consideration.

Safe Streets 4 All (SS4A)

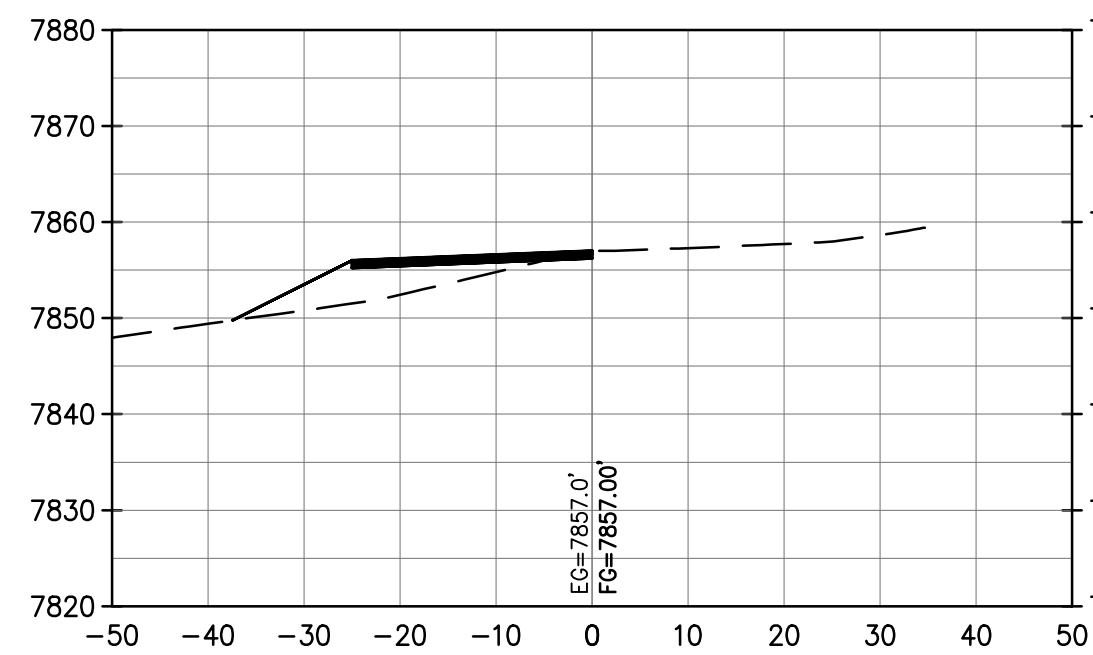
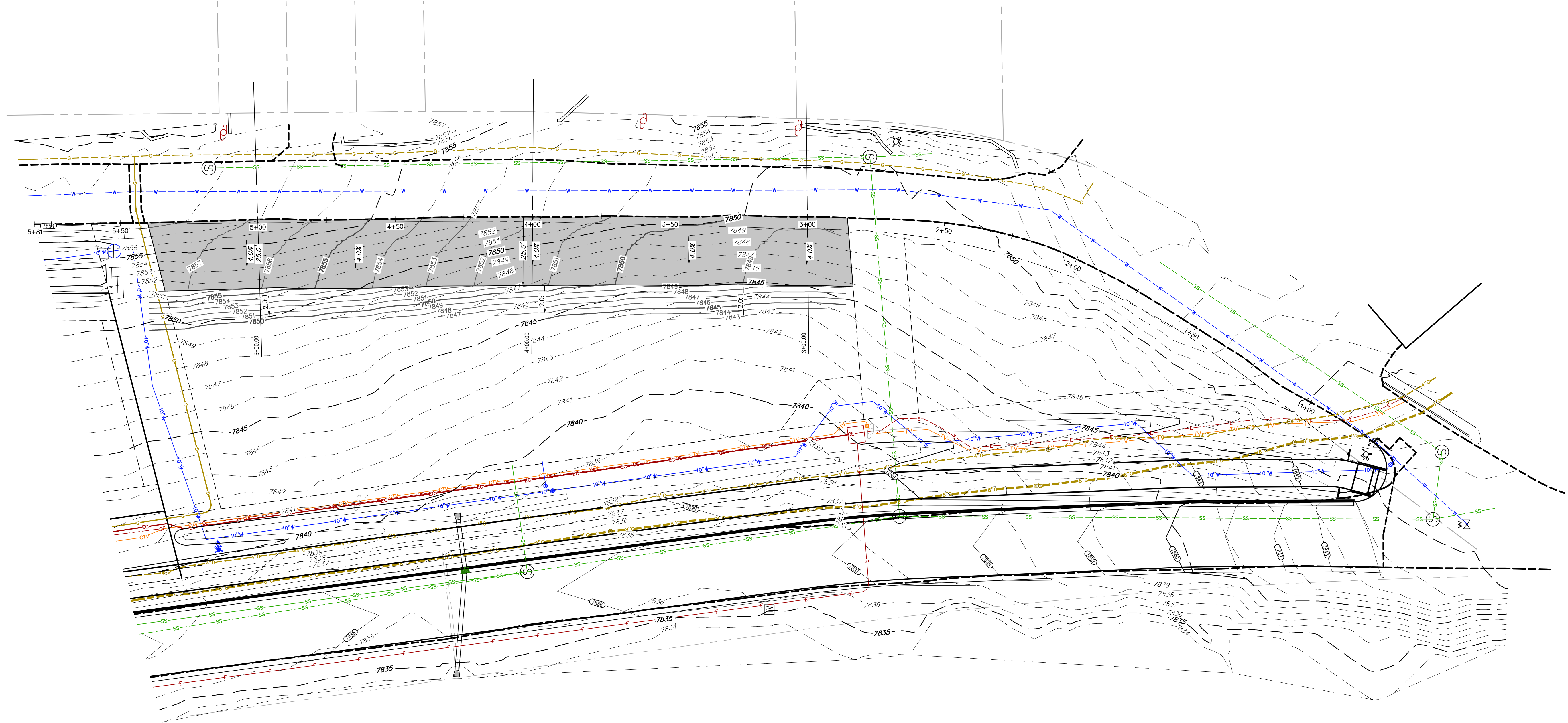
Brian Rodine, Jeff Spanel, and I conducted interviews for three of the five SS4A firm proposals. We anticipate selecting a firm, the three interviews and moving forward with a proposal which will require approval by the Town Council before the project can get underway.

Out of Office

I will be out of the office June 17-21 and not attending the June 19th Council meeting. Mike Sawyer will attend that meeting, in person, in my absence.

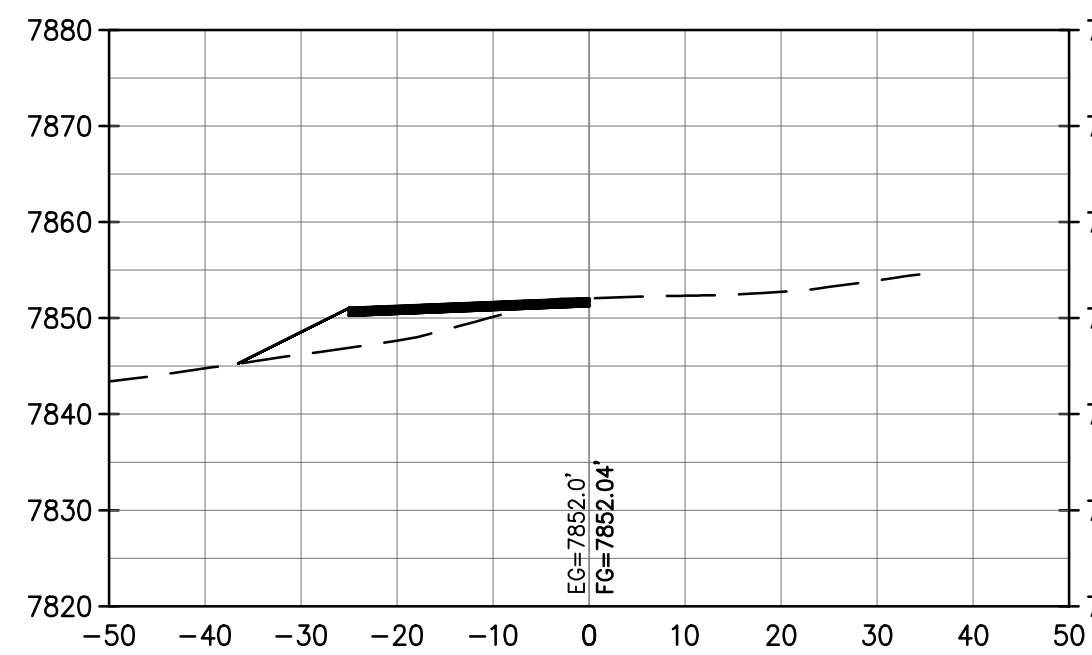


FOR BUREAU UTILITY INFORMATION
THREE (3) BUSINESS DAYS
BEFORE YOU DIG
CALL 811
(800) 485-4343
UTILITY INFORMATION
CENTER OF COLORADO (UICC)
WWW.811.CO.EDU



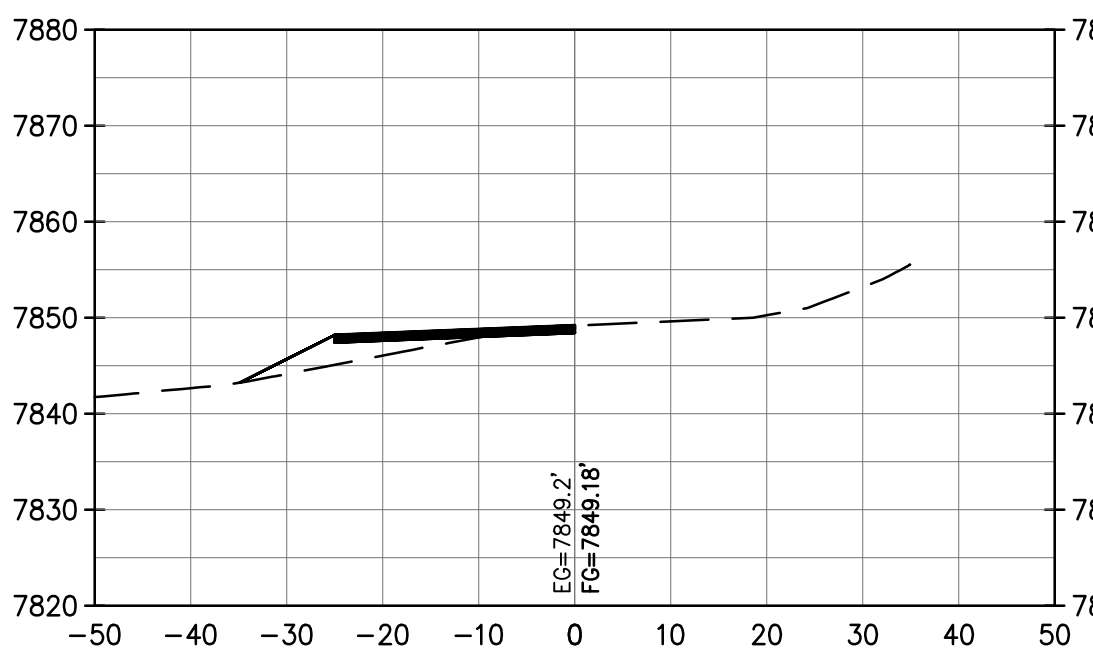
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V: 1"=10'

EG=7857.0'
FG=7857.00'



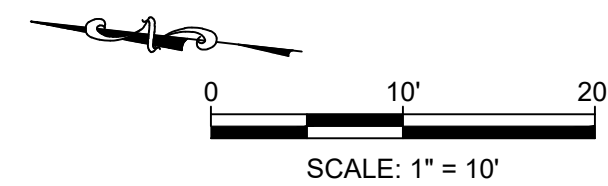
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STA.=3+00.00
H: 1"=10'
V: 1"=10'

EG=7849.2'
FG=7849.18'



PRELIMINARY
NOT FOR CONSTRUCTION

OVERALL SITE PLAN

TAYLOR AVE. - SNOW STORAGE
TOWN OF MINTURN, COLORADO

DESIGNED BY: BPS
DRAWN BY: BPS
CHECKED BY: BPS
DATE ISSUED: 5/21/24

PROJECT NO.: 24-0001

SHEET NO.: 1 OF 1

CLIENT: TOWN OF MINTURN

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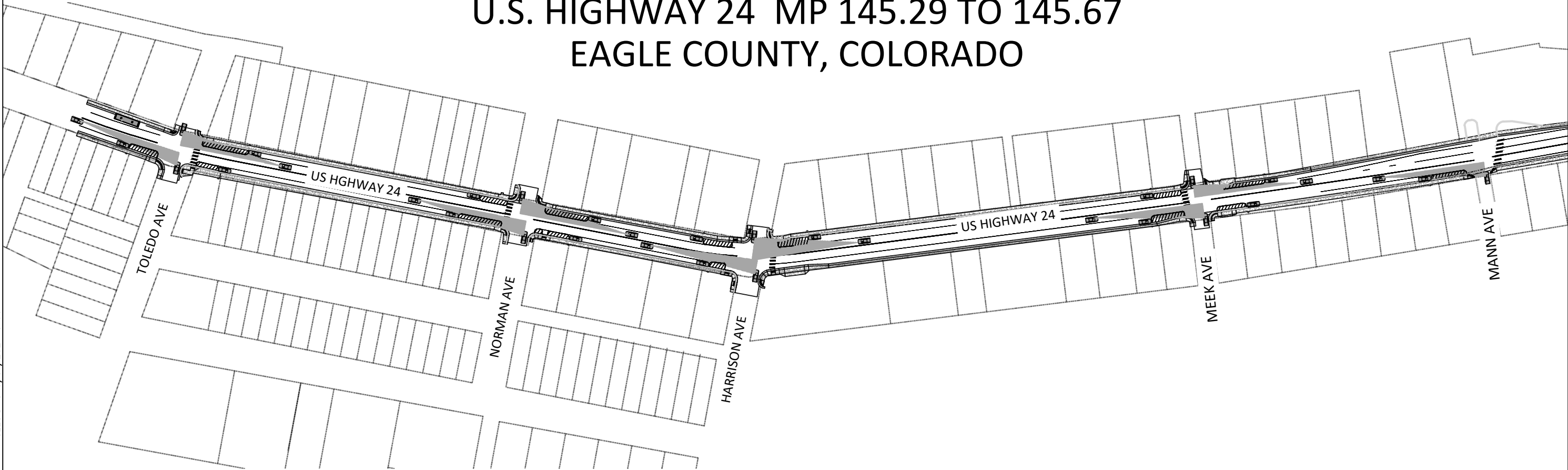
Inter-Mountain
ENGINEERS & SURVEYORS
Civil Engineers & Surveyors
301 E. 10TH AVE. SUITE 202 / DENVER, CO 80202
PH: (303) 733-0077 / EMAIL: INFO@INTER-MTN.NE

NO.	DATE	REVISION	BY

TOWN OF MINTURN INTERSECTION CHANNELIZATION PROJECT

U.S. HIGHWAY 24 MP 145.29 TO 145.67

EAGLE COUNTY, COLORADO



GENERAL NOTES:

1. THE CONTRACTOR SHALL CONFORM TO ALL COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) AND TOWN OF MINTURN (TOM) RULES, REGULATIONS AND STIPULATIONS WHILE ACCESSING THROUGH OR WORKING ON SITE. THE CONTRACTOR SHALL CONFORM TO THE TERMS, CONDITIONS, AND STIPULATIONS OF THE CDOT RIGHT-OF-WAY PERMIT, AND CDOT UTILITY PERMIT. THE TOWN WILL PROVIDE PERMIT COPIES.

2. ALL MATERIALS, EQUIPMENT, INSTALLATION, AND CONSTRUCTION WORK WITHIN THE STATE HIGHWAY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING STANDARD REFERENCES AS APPLICABLE:

A. CDOT FIELD MATERIAL MANUAL-2021

B. CDOT CONSTRUCTION MANUAL -2019 (UPDATED MARCH 15, 2022)

C. CDOT SURVEY MANUAL -2021 (UPDATED 2022)

D. CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION-2021 (UPDATED APRIL 11,2022)

E. CDOT STANDARD SPECIAL PROVISIONS, AS APPLICABLE TO THE PROJECT

F. CDOT STANDARD PLANS (M&S STANDARDS)-2019

G. FHWA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS-2009 (UPDATED JULY 2022)

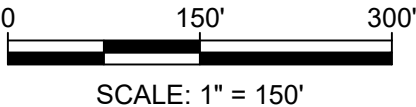
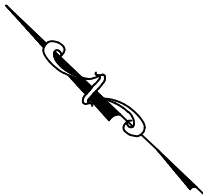
H. AASHTO ROADSIDE DESIGN GUIDE-2011 (UPDATED FEBRUARY 2012)

3. CONSTRUCTION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE ENGINEER OWNER, OR CDOT WILL BE RESPONSIBLE FOR MONITORING OR ASSURING CONTRACTOR'S COMPLIANCE WITH ANY APPLICABLE SAFETY LAWS, PROGRAMS, REGULATIONS, OR POLICES.

4. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE OWNER, ENGINEER, CDOT, AND PROPERTY OWNERS AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. NO CONSTRUCTION WILL BE PERMITTED PRIOR TO THE PRE-CONSTRUCTION MEETING. THE CONTRACTOR SHALL NOTIFY THE OWNER AND CDOT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO STARTING CONSTRUCTION.

5. HOURS OF CONSTRUCTION SHALL BE LIMITED TO MONDAY TO FRIDAY FROM 6:30AM TO 7:00 PM. NO WORK WILL BE ALLOWED AT NIGHT, SATURDAYS, SUNDAYS, OR LEGAL HOLIDAYS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER IN COMPLIANCE WITH THE CONDITIONS OF THE PROJECT PERMITS. CDOT MAY ALSO RESTRICT WORK WITHIN THE HIGHWAY RIGHT-OF-WAY DURING ADVERSE WEATHER CONDITIONS OR SPECIAL EVENTS.
6. THE CONTRACTOR SHALL PREPARE THE TRAFFIC CONTROL PLAN. A TRAFFIC CONTROL PLAN MUST BE PREPARED BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED INDIVIDUAL OR A PROFESSIONAL TRAFFIC ENGINEER, CONSISTENT WITH THE MUTCD. SAID PLAN MUST BE SIGNED AND STAMPED BY COLORADO REGISTERED PROFESSIONAL ENGINEER, OR OTHERWISE CERTIFIED BY THE ATSSA WORK-SITE CONTROL SUPERVISOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR FOLLOWING THE TRAFFIC CONTROL PLAN APPROVED BY CDOT AND THE LOCAL ISSUING AUTHORITY (7) DAYS PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY. THE CONTRACTOR SHALL DESIGNATE A CERTIFIED TRAFFIC CONTROL SUPERVISOR (TCS) TO MANAGE CONSTRUCTION SIGNAGE AND SAFETY OF OPERATIONS DURING ACTIVITIES WITHIN CDOT RIGHT-OF-WAY. THE TCS SHALL BE AVAILABLE WHENEVER WORK IS IN PROGRESS.

7. THE PLACEMENT OF STATE HIGHWAY STRIPING ON THE ASPHALT HIGHWAY MUST BE VERIFIED AND ACCEPTED BY CDOT A MINIMUM OF 24 HOURS PRIOR TO ACTUAL STRIPING. ALL STRIPING MUST BE PLACED IN ACCORDANCE WITH CDOT M&S STANDARDS DESCRIBED ON STANDARD PLAN NO. S-627-1, UNLESS OTHERWISE NOTED ON THE PLANS.



DRAWING INDEX	
Sheet Number:	Title:
1 of 8	COVER SHEET
2 of 8	TOLEDO AVENUE INTERSECTION
3 of 8	NORMAN AVENUE INTERSECTION
4 of 8	HARRISON AVENUE INTERSECTION
5 of 8	MEEK AVENUE INTERSECTION
6 of 8	MANN AVENUE INTERSECTION
7 of 8	DELINEATOR DETAILS
8 of 8	ADDITIONAL DETAILS

SHEET REVISIONS			
NO.	DATE:	DESCRIPTION:	BY:
1	5-8-24	Remove Street Art	JA
2	5-31-24	Revised Per CDOT Comments	BS



Inter-Mountain
ENGINEERING
Civil Engineers & Surveyors

30 BENCHMARK RD., STE 216, P.O. BOX 978, AVON, CO 81620
PH: (970)949-5072 / EMAIL: INFO@INTER-MTN.NET

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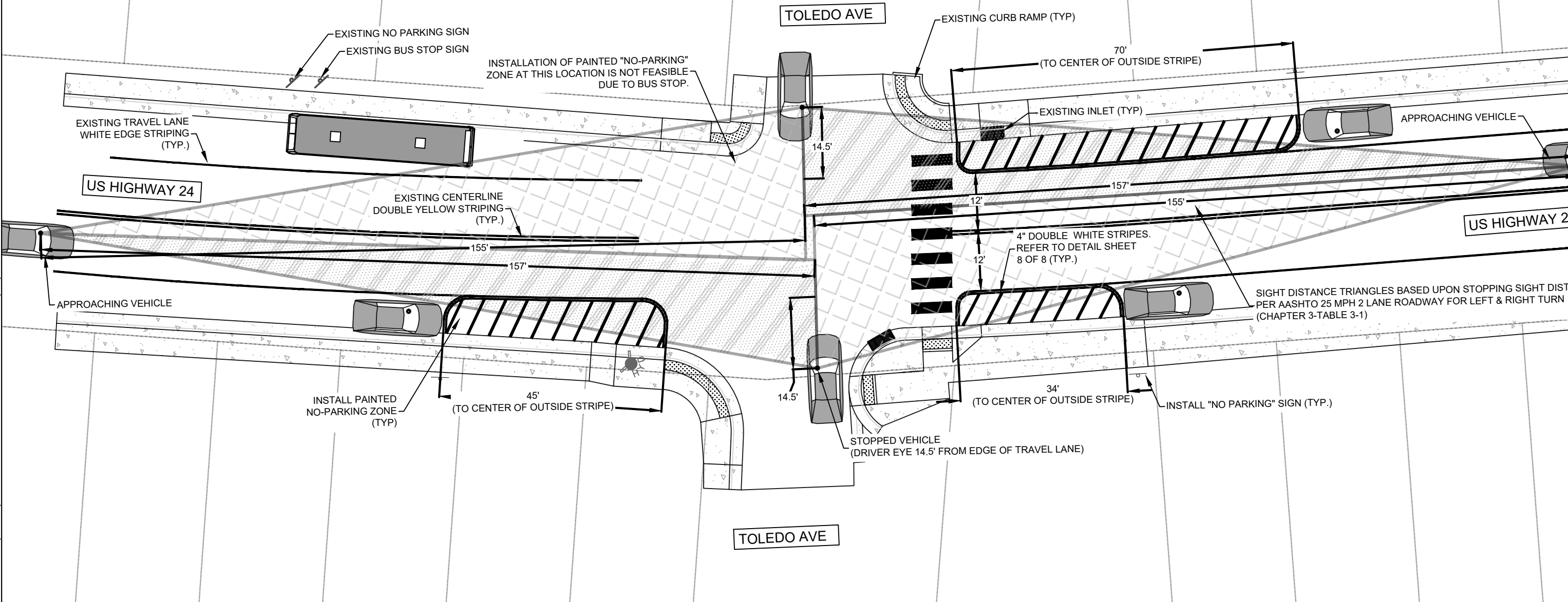
COVER SHEET

US HIGHWAY 24
TOWN OF MINTURN
STATE OF COLORADO

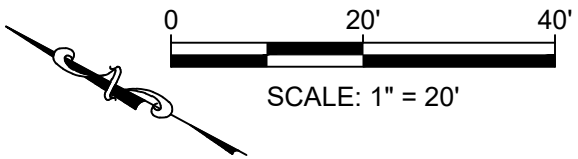
DESIGNED BY: JA
CHECKED BY: JS
DATE ISSUED: 5-8-24
PROJECT NO. 23-0001
SHEET NO. 1 of 8

C:\ME DROPBOX\CAD\CIVIL\3D\230001\MAIN STREET BULB-OUTS\DWG\S\230001-BULB-OUTS WITH TRIANGLES.DWG 5/31/2024 3:00 PM

- *TYPICAL AT ALL BULB-OUTS:
- 1.) OUTLINE BULB-OUT ON HIGHWAY SIDE ONLY WITH DOUBLE 4" WHITE STRIPE. START AND STOP STRIPE AT EACH EDGE OF CROSSWALK - STRIPE MUST NOT EXTEND THROUGH CROSSWALK. REFER TO DETAIL ON SHEET 8 OF 8.
 - 2.) INSTALL "NO PARKING" SIGN AT EACH BULB-OUT LOCATION AS SHOWN.



MAIN STREET & TOLEDO AVENUE INTERSECTION



SHEET REVISIONS			
NO.	DATE:	DESCRIPTION:	BY:
1	5-8-24	Remove Street Art	JA
2	5-31-24	Revised Per CDOT Comments	BS



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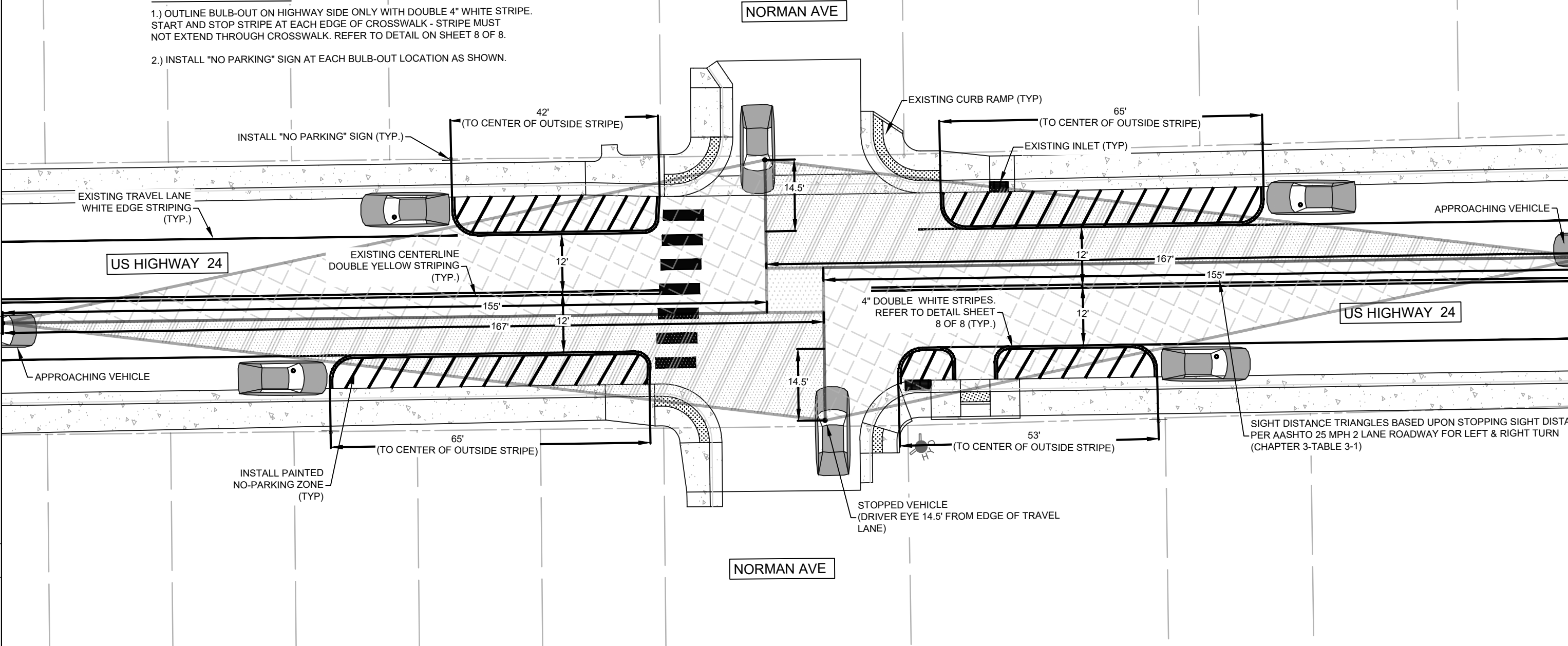
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TOLEDO AVENUE INTERSECTION

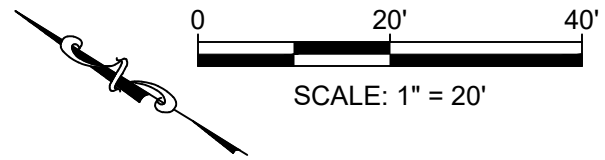
US HIGHWAY 24
TOWN OF MINTURN
STATE OF COLORADO

DESIGNED BY: JA
CHECKED BY: JS
DATE ISSUED: 5-8-2024
PROJECT NO. 23-0001
SHEET NO. 2 of 171

*TYPICAL AT ALL BULB-OUTS:
1.) OUTLINE BULB-OUT ON HIGHWAY SIDE ONLY WITH DOUBLE 4" WHITE STRIPE. START AND STOP STRIPE AT EACH EDGE OF CROSSWALK - STRIPE MUST NOT EXTEND THROUGH CROSSWALK. REFER TO DETAIL ON SHEET 8 OF 8.
2.) INSTALL "NO PARKING" SIGN AT EACH BULB-OUT LOCATION AS SHOWN.



MAIN STREET & NORMAN AVENUE INTERSECTION



SHEET REVISIONS			
NO.	DATE:	DESCRIPTION:	BY:
1	5-8-24	Remove Street Art	JA
2	5-31-24	Revised Per CDOT Comments	BS



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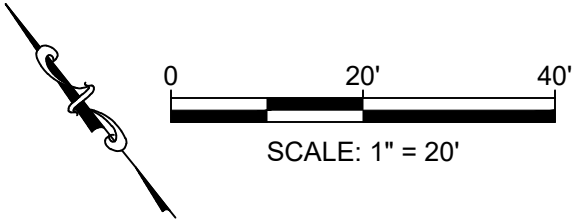
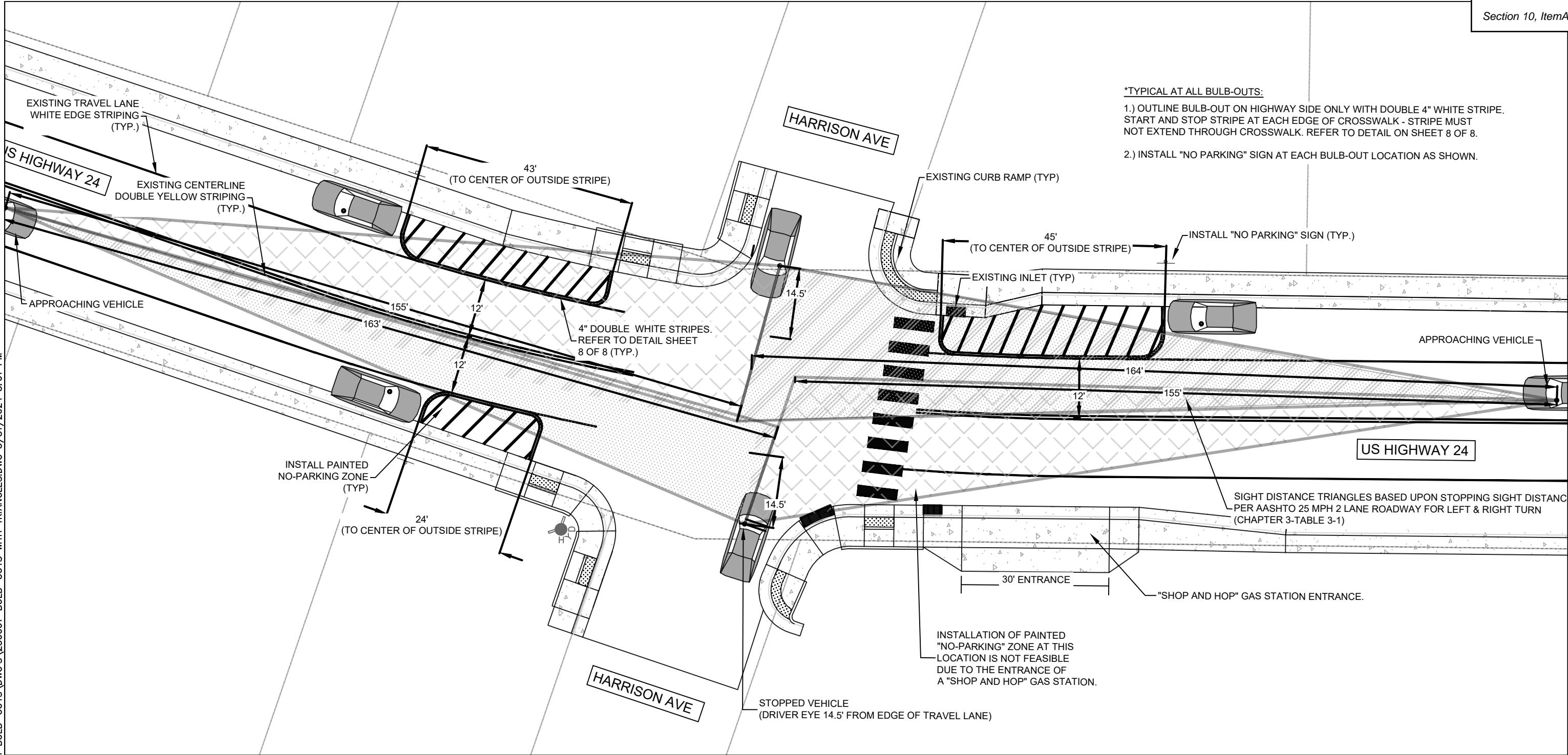
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NORMAN AVENUE INTERSECTION

US HIGHWAY 24
TOWN OF MINTURN
STATE OF COLORADO

DESIGNED BY: JA
CHECKED BY: JS
DATE ISSUED: 5-8-2024
PROJECT NO. 23-0001
SHEET NO. 3 of 172



MAIN STREET & HARRISON AVENUE INTERSECTION

SHEET REVISIONS			
NO.	DATE:	DESCRIPTION:	BY:
1	5-8-24	Remove Street Art	JA
2	5-31-24	Revised Per CDOT Comments	BS

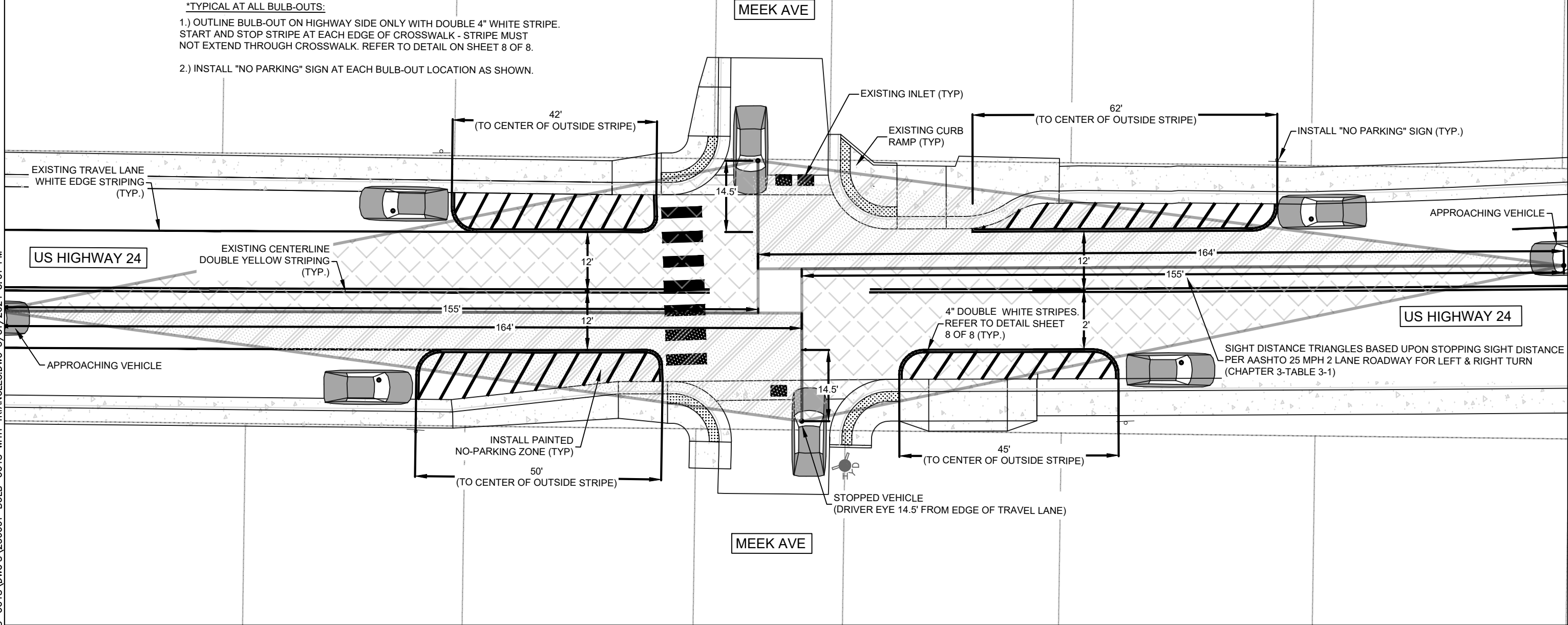


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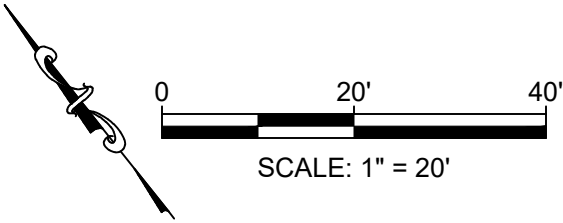
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HARRISON AVENUE INTERSECTION		DESIGNED BY: JA
US HIGHWAY 24		CHECKED BY: JS
TOWN OF MINTURN		DATE ISSUED: 5-8-2024
STATE OF COLORADO		PROJECT NO. 23-0001
		SHEET NO. 4 of 173

- *TYPICAL AT ALL BULB-OUTS:
- 1.) OUTLINE BULB-OUT ON HIGHWAY SIDE ONLY WITH DOUBLE 4" WHITE STRIPE. START AND STOP STRIPE AT EACH EDGE OF CROSSWALK - STRIPE MUST NOT EXTEND THROUGH CROSSWALK. REFER TO DETAIL ON SHEET 8 OF 8.
 - 2.) INSTALL "NO PARKING" SIGN AT EACH BULB-OUT LOCATION AS SHOWN.



MAIN STREET & MEEK AVENUE INTERSECTION



SHEET REVISIONS			
NO.	DATE:	DESCRIPTION:	BY:
1	5-8-24	Remove Street Art	JA
2	5-31-24	Revised Per CDOT Comments	BS



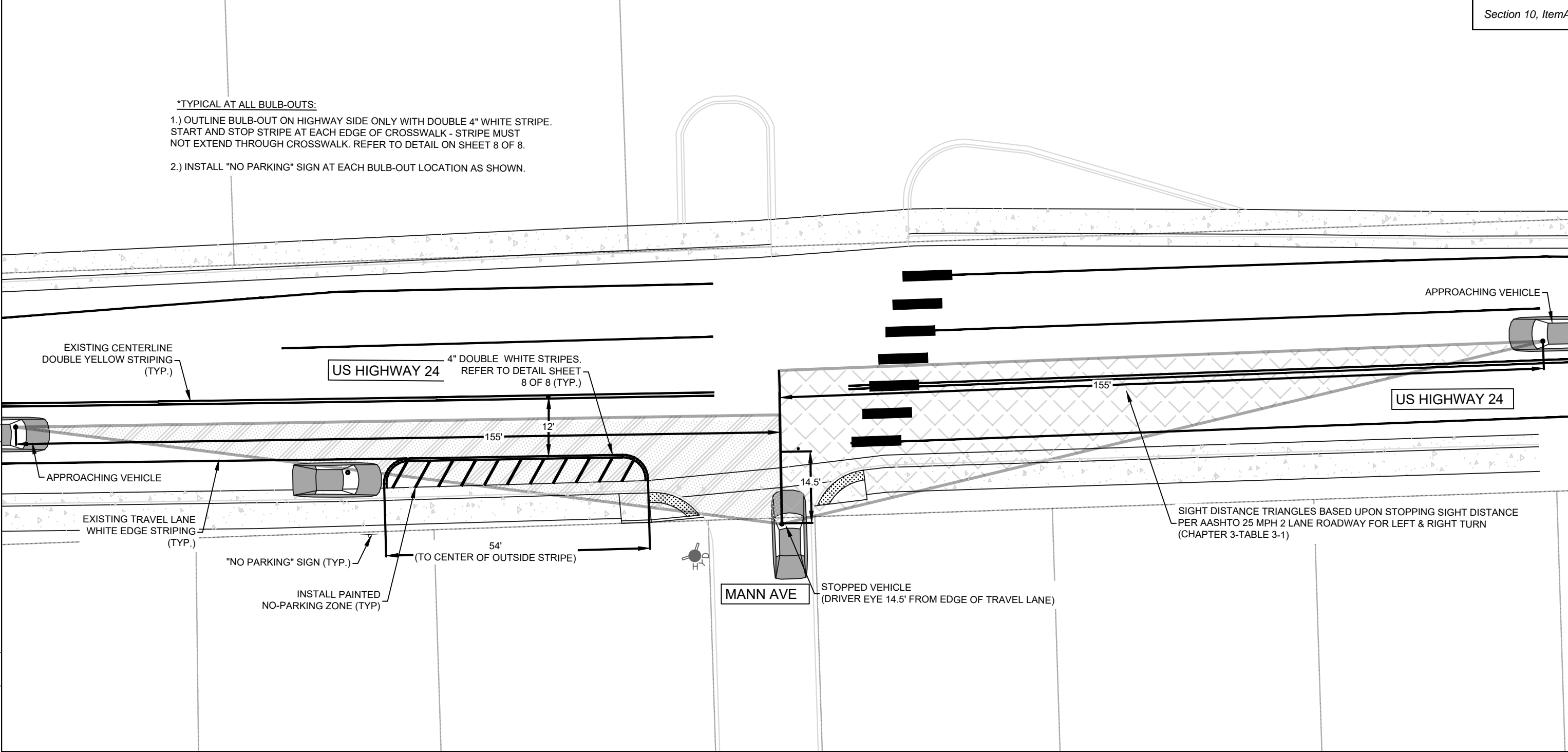
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MEEK AVENUE INTERSECTION	DESIGNED BY: JA
US HIGHWAY 24	CHECKED BY: JS
TOWN OF MINTURN	DATE ISSUED: 5-8-2024
STATE OF COLORADO	PROJECT NO. 23-0001
	SHEET NO. 5 of 174

*TYPICAL AT ALL BULB-OUTS:
1.) OUTLINE BULB-OUT ON HIGHWAY SIDE ONLY WITH DOUBLE 4" WHITE STRIPE. START AND STOP STRIPE AT EACH EDGE OF CROSSWALK - STRIPE MUST NOT EXTEND THROUGH CROSSWALK. REFER TO DETAIL ON SHEET 8 OF 8.
2.) INSTALL "NO PARKING" SIGN AT EACH BULB-OUT LOCATION AS SHOWN.

C:\NINE DROPBOX\CAD\CIVIL 3D\230001\MAIN STREET BULB-OUTS\DWG'S\230001-BULB-OUTS WITH TRIANGLES.DWG 5/31/2024 3:01 PM



MAIN STREET & MANN AVENUE INTERSECTION

SHEET REVISIONS			
NO.	DATE:	DESCRIPTION:	BY:
1	5-8-24	Remove Street Art	JA
2	5-31-24	Revised Per CDOT Comments	BS



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PH: (970) 949-5072 / EMAIL: INFO@INTER-MTN.NET

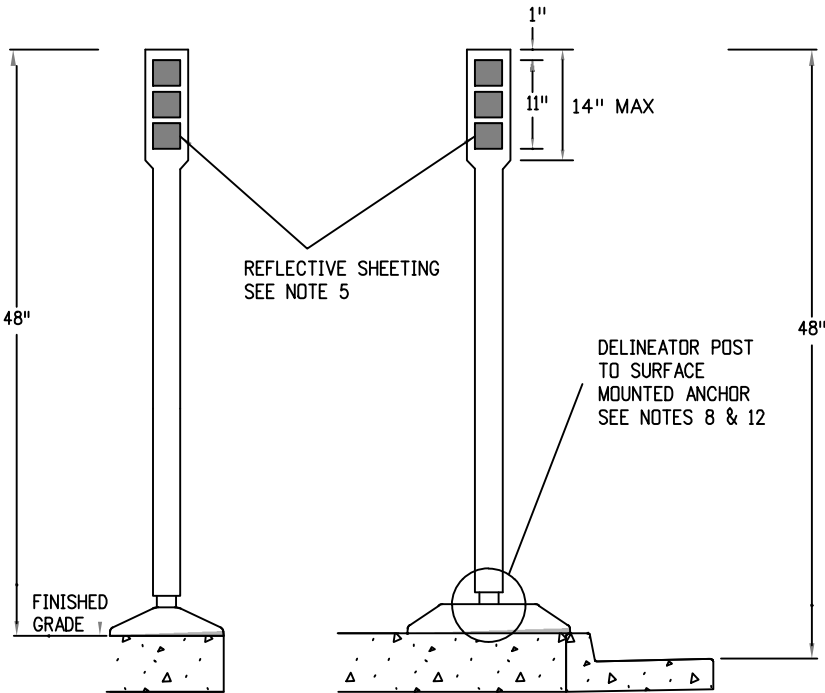
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MANN AVENUE INTERSECTION	DESIGNED BY: JA
US HIGHWAY 24 TOWN OF MINTURN STATE OF COLORADO	CHECKED BY: JS
	DATE ISSUED: 5-8-2024
	PROJECT NO. 23-0001
	SHEET NO. 6 of 175

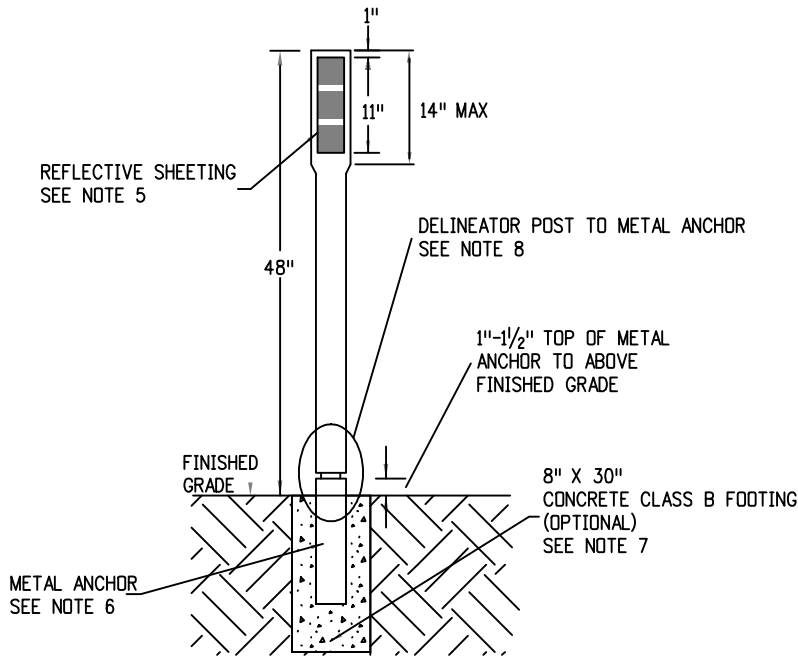
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GENERAL NOTES

1. FLEXIBLE DELINEATOR POSTS SHALL FOLLOW THE REQUIREMENTS AS OUTLINED IN CDOT'S MOST RECENT VERSION OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION". FLEXIBLE DELINEATOR POSTS SHALL BE LISTED ON CDOT'S "APPROVED PRODUCTS LIST" PRIOR TO INSTALLATION.
2. THE LENGTH OF THE FLEXIBLE DELINEATOR POST SHALL BE INSTALLED AS TO PROVIDE A HEIGHT OF 48 INCHES ABOVE THE EDGE OF PAVEMENT.
3. FLEXIBLE DELINEATOR POSTS SHALL BE INSTALLED SO THAT THE REFLECTIVE ELEMENTS FACE ONCOMING TRAFFIC.
4. REFLECTIVE ELEMENTS SHALL BE PRE-INSTALLED AT THE MANUFACTURER'S FACILITY.
5. REFLECTIVE ELEMENTS (SHEETING) SHALL BE TYPE IV OR TYPE V. REFLECTIVE SHEETS SHALL BE 3 INCH SQUARED. REFLECTIVE SHEETS SHALL BE PLACED IN A STRAIGHT VERTICAL COLUMN STARTING 1 INCH FROM THE TOP EDGE AND SEPARATED BY 1 INCH VERTICALLY IN THE COLUMN. SHEETING QUANTITY AND COLOR ARE DEPENDENT ON THE LOCATION OF THE DELINEATOR. SEE SHEET 2 OF S-612-01 FOR TYPICAL CONFIGURATIONS.
6. THE METAL ANCHOR SHALL BE 2 INCH GALVANIZED STEEL PERFORATED SQUARE TUBING MEASURING 24 INCHES IN LENGTH AND SHALL HAVE AN ANCHORING DEPTH OF 22 1/2 TO 23 INCHES.
7. WHEN A CONCRETE BASE IS REQUIRED OR AS DIRECTED BY THE ENGINEER, THE METAL ANCHOR SHALL BE ENCASED IN AN 8 INCH DIAMETER BY 30 INCH DEPTH CONCRETE CLASS B FOOTING. CONCRETE SHALL BE INCLUDED IN THE COST OF THE PAY ITEM.
8. THE CONNECTION BETWEEN THE FLEXIBLE DELINEATOR POST AND THE METAL ANCHOR IS PRODUCT SPECIFIC. ALL FLEXIBLE DELINEATOR POSTS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
9. CONCRETE MEDIAN INSTALLATIONS SHALL INCLUDE A 4 INCH DIAMETER SCHEDULE 80, PVC TUBE. THE TUBE LENGTH SHALL MATCH THE THICKNESS OF THE CONCRETE MEDIAN MATERIAL, BE CUT FLUSH WITH THE CONCRETE, AND BE BACKFILLED WITH SOIL.
10. "DRIVABLE METHOD" IS THE PREFERRED INSTALLATION METHOD FOR GROUND INSTALLATIONS.
11. "SURFACE MOUNTED" INSTALLATION SHALL ONLY BE INSTALLED DURING RETROFIT APPLICATIONS OR AS DIRECTED BY THE ENGINEER.
12. SURFACE MOUNTED DELINEATORS SHOULD ONLY BE UTILIZED FOR TEMPORARY CONFIGURATIONS DURING CONSTRUCTION. SURFACE MOUNTED DELINEATORS MAY BE UTILIZED FOR CURB AND GUTTER APPLICATIONS; HOWEVER, THE DRIVABLE METHOD IS PREFERRED. SURFACE MOUNTED BASES SHALL BE ATTACHED TO THE SURFACE VIA EITHER BOLT DOWN OR GLUE DOWN METHODS.

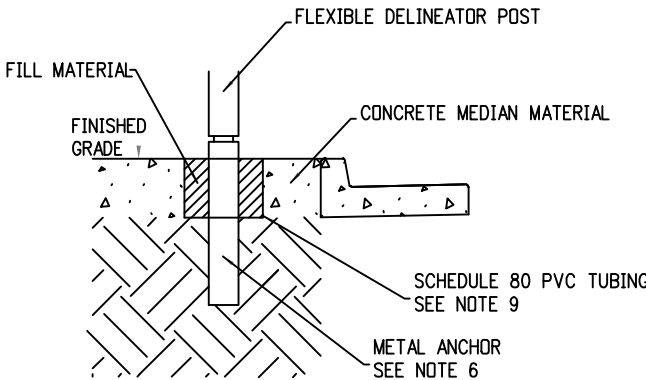


SURFACE MOUNTED

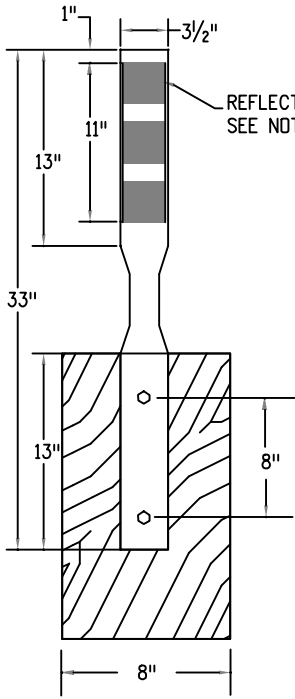


TYPICAL SOIL CONDITIONS

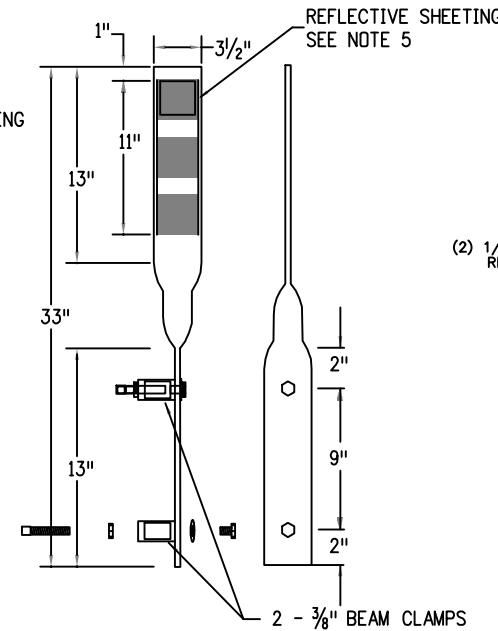
DRIVEABLE METHOD



CONCRETE MEDIAN MATERIAL

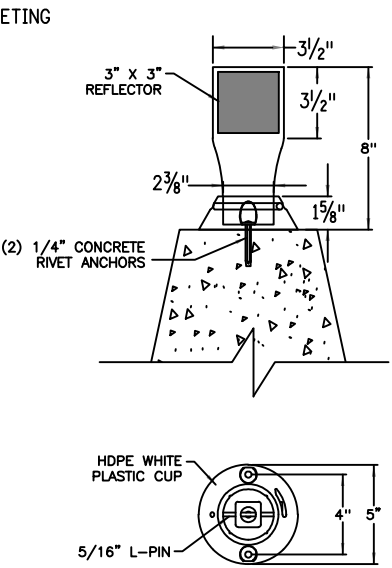


POST MOUNTED
GUARDRAIL



FRONT AND SIDE VIEW

CLAMP MOUNTED
CABLE RAIL



FRONT AND TOP VIEW

CUP MOUNTED
CONCRETE BARRIER

FLEXIBLE DELINEATOR INSTALLATIONS (STANDARD PLAN NO. S-612-1)

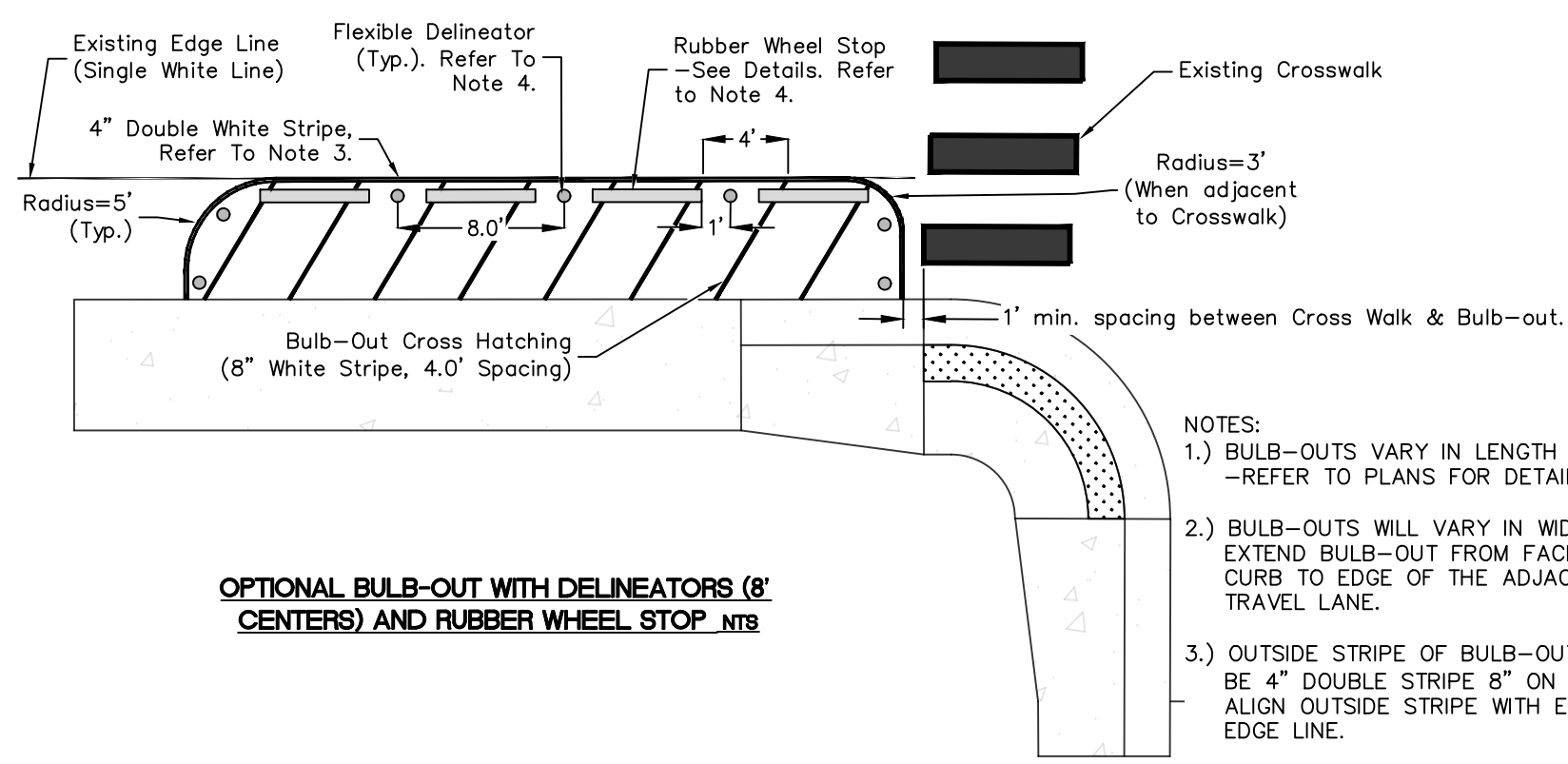
SHEET REVISIONS			
NO.	DATE:	DESCRIPTION:	BY:
1	5-8-24	Remove Street Art	JA
2	5-31-24	Revised Per CDOT Comments	BS



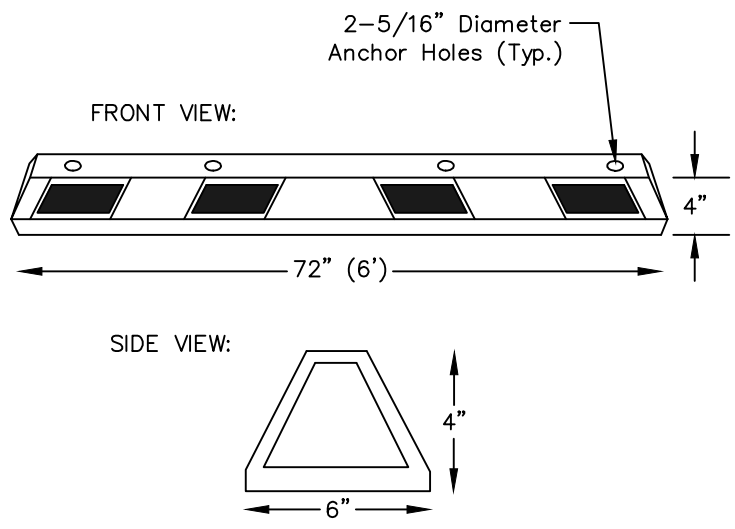
30 BENCHMARK RD., STE 216, P.O. BOX 978, AVON, CO 81620
PH: (970)949-5072 / EMAIL: INFO@INTER-MTN.NET

CLIENT:	TOWN OF MINTURN
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DELINEATOR DETAILS		DESIGNED BY: JA
US HIGHWAY 24 TOWN OF MINTURN STATE OF COLORADO		CHECKED BY: JS
		DATE ISSUED: 5-8-2024
		PROJECT NO. 23-0001
SHEET NO. 7 of 176		



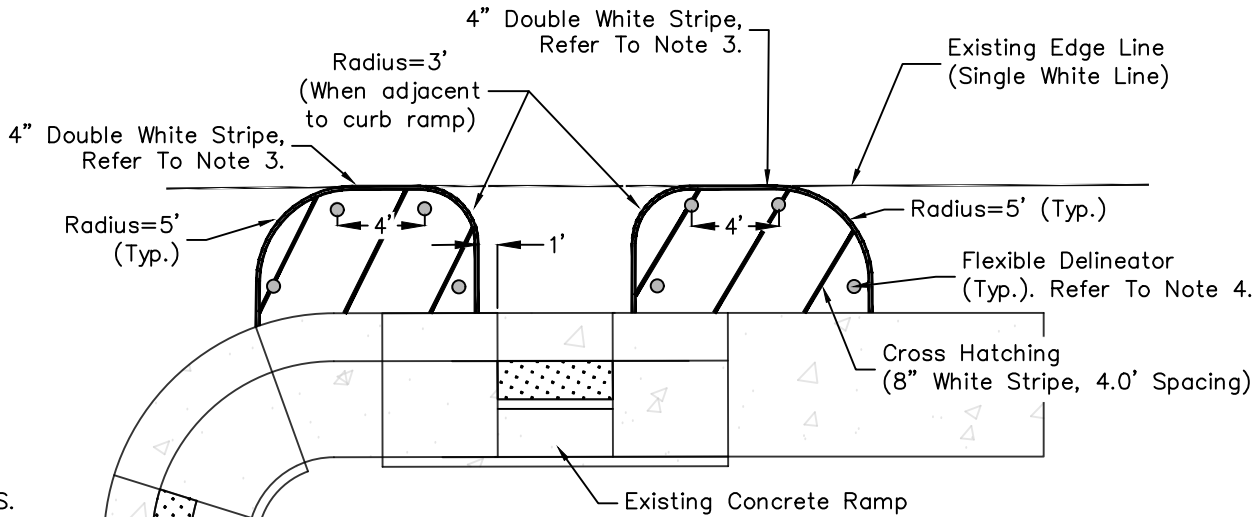
OPTIONAL BULB-OUT WITH DELINEATORS (8' CENTERS) AND RUBBER WHEEL STOP NTS



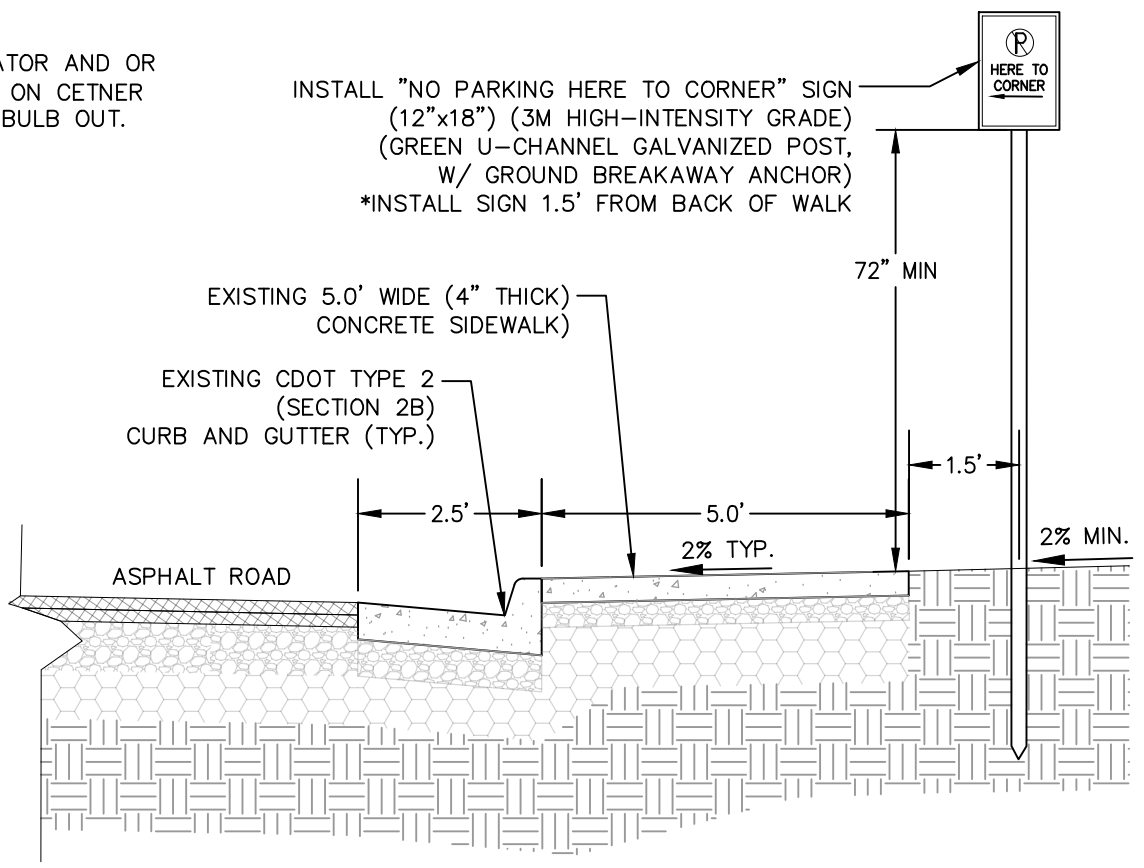
TYPICAL RUBBER WHEEL STOP NTS

- NOTES:
- 1.) THE CONNECTION BETWEEN THE RUBBER CURB AND THE METAL ANCHOR IS PRODUCT SPECIFIC. ALL RUBBER CURB SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 - 2.) SURFACE MOUNTED RUBBER CURB SHOULD ONLY BE UTILIZED FOR TEMPORARY CONFIGURATIONS DURING CONSTRUCTION. SURFACE MOUNTED RUBBER CURB MAY BE UTILIZED FOR CURB AND GUTTER APPLICATIONS; HOWEVER, THE DRIVABLE METHOD IS PREFERRED. SURFACE MOUNTED BASES SHALL BE ATTACHED TO THE SURFACE VIA EITHER BOLT DOWN OR GLUE METHODS.

- NOTES:
- 1.) BULB-OUTS VARY IN LENGTH -REFER TO PLANS FOR DETAILS.
 - 2.) BULB-OUTS WILL VARY IN WIDTH. EXTEND BULB-OUT FROM FACE OF CURB TO EDGE OF THE ADJACENT TRAVEL LANE.
 - 3.) OUTSIDE STRIPE OF BULB-OUT SHALL BE 4\"/>
 - 4.) PLACE FLEXIBLE DELINEATOR AND OR RUBBER WHEEL STOP 8\"/>



TYPICAL BULB-OUT WITH DELINEATORS (4' CENTERS) NTS



TYPICAL SIDEWALK-SIGN-FENCE CROSS SECTION NTS

C:\I\ME DROPBOX\CAD\CIVIL 3D\230001\MAIN STREET BULB-OUTS\DWG'S\230001-BULB-OUTS WITH TRIANGLES.DWG 5/31/2024 3:02 PM

SHEET REVISIONS			
NO.	DATE:	DESCRIPTION:	BY:
1	5-8-24	Remove Street Art	JA
2	5-31-24	Revised Per CDOT Comments	BS



**Inter-Mountain
ENGINEERING**
Civil Engineers & Surveyors

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PH: (970) 949-5072 / EMAIL: INFO@INTER-MTN.NET

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ADDITIONAL DETAILS

US HIGHWAY 24
TOWN OF MINTURN
STATE OF COLORADO

DESIGNED BY: JA
CHECKED BY: JS
DATE ISSUED: 5-8-24
PROJECT NO. 23-0001
SHEET NO. 8 of 177