

**REGULAR CITY COUNCIL
MEETING**

June 22, 2021

7:00 PM

City Hall



CITY OF MILLS
EST. 1921

Mayor:
Seth Coleman
Council President:
Darla Ives
Council Members:
James Hollander
Sara McCarthy
Brad Neumiller

AGENDA

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

CONSENT AGENDA

Minutes

- [1.](#) Council Meeting Minutes from June 8th, 2021
- [2.](#) Special Meeting Minutes from June 11th, 2021
3. Executive Session Minutes from June 8th, 2021 for a Legal Issue

Town Licenses

- [4.](#) New and Renewal Business and Contractor Licenses for 6-22-2021

Financial Approvals

- [5.](#) Financial Breakdown Report
- [6.](#) Payroll Fire 6-4-2021 to 6-15-2021
- [7.](#) Regular/Police Payroll: 5-24-2021 to 6-6-2021

ORDINANCES AND RESOLUTIONS

- [8.](#) **Resolution 2021-19** A RESOLUTION FOR APPROVAL OF A SITE PLAN FOR A PROPOSED 10,460 SQ. FT. COMMERCIAL BUILDING, LOCATED (AT 4570 WEST YELLOWSTONE HWY) ON LOTS 5-7, THE WEST 35 FEET OF LOT 8, LOTS 42 &43, AND THE EAST 10 FEET OF LOT 44, BLOCK 16, MOUNTAIN VIEW SUBURB, CITY OF MILLS, WY
- [9.](#) **Resolution 2021-20**: A Resolution Authorizing the Submission of An Application for Federal Funding Through The Transportation Alternatives Program Administered by the Wyoming Department of Transportation for the Purpose of The Mills Riverfront to Robertson Road Mixed Use Path Project
- [10.](#) **Resolution 2021-21**: A Resolution Fixing the Tax Levey for the City of Mills for Fiscal Year Ending June 30th, 2022
- [11.](#) **Resolution 2021-22**: Fixed Assets

- 12. Resolution 2021-23:** A Resolution of the City of Mills, Designating the Banking Institutions to be Used for Fiscal Year Beginning July 1st, 2021 and Ending June 30th, 2022
- 13. Resolution 2021-24:** A Resolution Authorizing The Mayor To Execute An Agreement with Children's Advocacy Project and Providing for the Payment of Services Provided
- 14. Resolution 2021-25:** Fair Housing
- 15. Resolution 2021-26:** A RESOLUTION CERTIFYING COMPLIANCE WITH W.S SECTION 24-2-111 (Clean Streets)

COUNCIL APPROVALS

- 16.** Council Approval of the Hideaway Bar Catering Permit for July 31st, 2021 on the River
- 17.** Council Approval of the Agreement with the Casper Humane Society from July 1st 2021 to June 30th, 2022

OPEN DISCUSSION

EXECUTIVE SESSION

- 18. Personnel Issue
- 19. Legal Issue
- 20. Legal Issue

ADJOURNMENT

NEXT MEETING - July 13th, 2021 @ 7:00pm/ July 27th, 2021 @ 7:00pm

NEXT WORK SESSION - July 12th, 2021 @ 9:00am/ July 13th, 2021 @ 6:00pm/ July 27th, 2021 @ 6:00pm

In accordance with the Americans with Disabilities Act, persons who need accommodation in order to attend or participate in this meeting should contact Town Hall at 307-234-6679 within 48 hours prior to the meeting in order to request such assistance.

**REGULAR CITY COUNCIL
MEETING**

June 08, 2021

7:00 PM

City Hall



CITY OF MILLS
EST. 1921

Mayor:
Seth Coleman
Council President:
Darla Ives
Council Members:
James Hollander
Sara McCarthy
Brad Neumiller

MINUTES

CALL TO ORDER

Mayor called the meeting to order at 7:01pm.

ROLL CALL

PRESENT

Mayor Seth Coleman
Council President Darla Ives
Council Member Jim Hollander
Council Member Sara McCarthy
Council Member Brad Neumiller

PLEDGE OF ALLEGIANCE

Pledge was said

PUBLIC HEARINGS

- 1. Hammond Petition for Variance for Lots 47-49

Mayor closed the Council Meeting at 701pm

Mayor opened the Public Hearing at 702pm

Mayor Coleman now declared the Public Hearing opened for considering the Hammond Petition for Variance for Lots 46-49. The hearing will be conducted in accordance with state statues and has been set and advertised in accordance with the statutes. I would ask those individuals who wish to address the council on this issue to approach the lectern, state your name, and address for the record. Do we have a report on this item? Scott Radden stated that the P & Z heard Hammonds petition and changes he has made since the last meeting on this topic. He will put a 20 foot variance on the front setback with a 10 foot rear setback. The original petition was in April but with the recommendations from others on set backs we had to make some changes. The Mayor asked if there anyone in the audience who wishes to speak in favor of this item? Mr Hammond was present to speak in favor of this item. He stated that under stands that these lots are challenging and believes his houses will make the area nice and will look good on the lots. The house will be ranch style with about 1250 sq. feet. He believes he meets the criteria for a variance. Again, the Mayor asked if there was anyone in the audience to speak

in favor of this item. For a third and final time is there anyone in the audience who wishes to speak in favor of this item. Mayor Coleman asked if there was anyone in the audience who wishes to speak in opposition to this item. No one spoke up. Again, is there anyone in the audience who wishes to speak in opposition to this item? No one spoke up. For a third and final time is there anyone in the audience who wishes to speak in opposition to this item. Mayor Coleman mentioned that after all have spoken and there being no others to speak for or against this item, I now declare the public hearing closed at 7:06pm

Mayor opened the Council Meeting at 7:06pm

CONSENT AGENDA

Minutes

2. Council Meeting Minutes 5-25-2021

Motion made by Council Member McCarthy, Seconded by Council Member Hollander.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy, Council Member Neumiller

3. Executive Session Meeting Minutes: Personnel Issue

Motion made by Council Member McCarthy, Seconded by Council Member Hollander.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy, Council Member Neumiller

4. Executive Session Meeting Minutes:

Motion made by Council Member McCarthy, Seconded by Council Member Hollander.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy, Council Member Neumiller

Town Licenses

5. New and Renewal Business and Contractor Licenses

Motion made by Council Member McCarthy, Seconded by Council Member Hollander.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy, Council Member Neumiller

Financial Approvals

6. **Financial Break Down Report**

Motion made by Council Member McCarthy, Seconded by Council Member Hollander.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy, Council Member Neumiller

7. **Fire Payroll**

Motion made by Council Member McCarthy, Seconded by Council Member Hollander.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy, Council Member Neumiller

8. **Fire Payroll #2**

Motion made by Council Member McCarthy, Seconded by Council Member Hollander.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy, Council Member Neumiller

9. **Regular/Police Payroll**

Motion made by Council Member McCarthy, Seconded by Council Member Hollander.

Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy, Council Member Neumiller

ORDINANCES AND RESOLUTIONS

10. Resolution 2021-11: A Resolution for a Variance to Allow for a Twenty-Front and Ten Foot Rear Setback on Lots 47-49 of the Agate Addition

Motion made by Council Member McCarthy, Seconded by Council Member Hollander.
Voting Nay: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy, Council Member Neumiller

Resolution 2021-11 does not pass

11. Resolution 2021-15: A Resolution Establishing an Increase in Water, Sewer and Sanitation Rates to Meet the Fiscal Obligations of this Enterprise

Motion made by Council President Ives, Seconded by Council Member Neumiller.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy, Council Member Neumiller

12. Resolution 2021-16: A Resolution Authorizing the Mayor to Unfreeze Wages and Step in Grades for all City Employees Beginning July 1st, 2021

Motion made by Council Member Neumiller, Seconded by Council President Ives.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member

McCarthy, Council Member Neumiller

13. Resolution 2021-17: A Resolution Supporting Placing a Proposition For Imposition of a 1% Specific Purpose Excise Tax In Natrona County

Motion made by Council Member McCarthy, Seconded by Council President Ives.
Voting Nay: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy, Council Member Neumiller

Resolution 2021-17 not not pass

14. Resolution 2021-18: A Resolution to Approve the Carry Over of Revenue from FY 21 Budget to Help Offset FY 22 Budget Items

Motion made by Council Member Neumiller, Seconded by Council President Ives.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy, Council Member Neumiller

15. Ordinance 764: THIRD AND FINAL READING: Adopting the 2021 International Building Code

Motion made by Council Member Neumiller, Seconded by Council Member Hollander.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy, Council Member Neumiller

16. Ordinance 765: THIRD AND FINAL READING: Adopting the 2021 International Residential Code for One and Two Family Dwellings

Motion made by Council Member McCarthy, Seconded by Council Member Hollander.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy, Council Member Neumiller

17. Ordinance 766: THIRD AND FINAL READING: Adopting the 2021 International Fuel Gas Code

Motion made by Council Member Neumiller, Seconded by Council President Ives.
Voting Yea: Council President Ives, Council Member Hollander, Council Member McCarthy, Council Member Neumiller

COUNCIL APPROVALS

18. Council Approval of the MOU With the Natrona County Health Department with Approval from the City and Health Department Attorney's

Motion made by Council Member McCarthy, Seconded by Council Member Neumiller.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy, Council Member Neumiller

19. Council Approval of the MOU with Evansville for Animal Shelter with Approval from the City and Town Attorney's

Motion made by Council President Ives, Seconded by Council Member Hollander.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member
McCarthy, Council Member Neumiller

**20. Council Approval of the MOU With The Town of Evansville Regarding Assistance with City and
Town Attorney's Acceptance Review**

Motion made by Council President Ives, Seconded by Council Member McCarthy.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member
McCarthy, Council Member Neumiller

21. Council will be advised that there is an Appeal for Dangerous Buildings

Motion made by Council Member McCarthy, Seconded by Council President Ives.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member
McCarthy, Council Member Neumiller

22. Council Approval of the Catering Permit for Backwards Distilling Company for a Drag Show

Motion made by Council Member McCarthy, Seconded by Council President Ives.
Voting Yea: Mayor Coleman, Council President Ives, Council Member McCarthy, Council Member
Neumiller
Voting Abstaining: Council Member Hollander

OPEN DISCUSSION

None

EXECUTIVE SESSION

23. Legal Issue

Mayor made a motion to go into Executive Session at 7:20pm.

Motion made by Council Member Neumiller, Seconded by Council Member McCarthy.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member
McCarthy, Council Member Neumiller.

Back from Executive Session at 7:45pm. Mayor made a motion for Council to Authorize The Mayor to
work with New Legal Counsel on the CATC Situation.

Motion made by Council President Ives, Seconded by Council Member McCarthy. Voting Yea: Mayor
Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy, Council
Member Neumiller.

ADJOURNMENT

Mayor asked to adjourn the meeting at 7:46pm

Motion made by Council Member McCarthy, Seconded by Council Member Hollander.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy,
Council Member Neumiller

NEXT MEETING - June 22nd, 2021 @ 7:00pm/July 13th, 2021 @ 7:00pm

NEXT WORK SESSION - June 8th, 2021 @ 6:00pm/ June 22nd, 2021 @ 6:00pm/ July 12th, 2021 @ 9:00am

SPECIAL COUNCIL MEETING: June 11th, 2021 @ 9:00am

In accordance with the Americans with Disabilities Act, persons who need accommodation in order to attend or participate in this meeting should contact Town Hall at 307-234-6679 within 48 hours prior to the meeting in order to request such assistance.

Mayor, Seth Coleman

CITY Clerk, Christine Trumbull

**SPECIAL CITY COUNCIL
MEETING
June 11, 2021
9:00 AM
Town Hall**



CITY OF MILLS
EST. 1921

Mayor:
Seth Coleman
Council President:
Darla Ives
Council Members:
James Hollander
Sara McCarthy
Brad Neumiller

MINUTES

Mayor called the meeting to order at 9:00am.

PRESENT

Mayor Seth Coleman
Council President Darla Ives
Council Member Jim Hollander
Council Member Sara McCarthy
Council Member Brad Neumiller

Pledge was said

1. Mayor closed the Council Meeting at 9:01am.

Mayor opened the Public Hearing at 9:01am

Mayor Coleman now declared the Public Hearing opened for considering the FY 22 Budget. The hearing will be conducted in accordance with state statues and has been set and advertised in accordance with the statutes. I would ask those individuals who wish to address the council on this issue to approach the lectern, state your name, and address for the record. Do we have a report on this item? No report from staff on this item. Is there anyone in the audience who wishes to speak in favor of this item? For a third and final time is there anyone in the audience who wishes to speak in favor of this item. Mayor Coleman asked if there was anyone in the audience who wishes to speak in opposition to this item. No one spoke up. Again, is there anyone in the audience who wishes to speak in opposition to this item? No one spoke up. For a third and final time is there anyone in the audience who wishes to speak in opposition to this item. Mayor Coleman mentioned that after all have spoken and there being no others to speak for or against this item, I now declare the public hearing closed at 9:02am.

Mayor opened the Council Meeting at 9:02am.

2. Motion made by Council Member Neumiller, Seconded by Council Member McCarthy.
Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member

McCarthy, Council Member Neumiller

Mayor asked for a motion to adjourn the meeting at 9:02am.

Motion made by Council Member McCarthy, Seconded by Council President Ives.

Voting Yea: Mayor Coleman, Council President Ives, Council Member Hollander, Council Member McCarthy, Council Member Neumiller

In accordance with the Americans with Disabilities Act, persons who need accommodation in order to attend or participate in this meeting should contact Town Hall at 307-234-6679 within 48 hours prior to the meeting in order to request such assistance.

Mayor, Seth Coleman

Town Clerk, Christine Trumbull

Council Meeting JUNE 22, 2021

Item # 4.

NEW BUSINESS LICENSES

BUSINESS NAME	FIRE INSPECTION	INSURANCE
Crimson Tire Company	Yes	Yes
J & D's Cajun Kitchen	N/A	Yes

RENEWAL BUSINESS LICENSES

	BUSINESS NAME	FIRE INSPECTION	INSURANCE
1	R-2 Properties	N/A	N/A
2	C & M Enterprises	N/A	N/A
3	Amber Valley Estates	N/A	Yes
4	Hansen Qwik Lube, Inc	Yes	Yes
5	Computer Professionals Unltd	N/A	Yes
6	Gary Brink, Inc.	N/A	Yes
7	Overhead Door Co of Casper, Inc.	N/A	Yes
8	Coastal Chemical Co, LLC	Yes	Yes
9	Jim May Welding, Inc.	Yes	Yes
10	Rocky Mountain Healthcare Advocates, Inc.	N/A	Yes

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Council Meeting JUNE 22th, 2021

Item # 4.

NEW CONTRACTOR LICENSES

BUSINESS NAME	CONTRACTOR ID	INSURANCE	FIRE
Colling Brothers Roofing	Yes	Yes	N/A

RENEWAL CONTRACTOR LICENSES

	BUSINESS NAME	CONTRACTOR ID	INSURANCE	FIRE
7	Arc Electric	Yes	Yes	N/A
8	Cleary Buildings Corp	Yes	Yes	Yes
9	AC Electric of Casper, LLC	Yes	Yes	N/A
10	Barns by Design	Yes	Yes	N/A
11	Bird Contracting	Yes	Yes	N/A
12	Plumbing Masters	Yes	Yes	N/A
13	Taylor Consulting & Construction LLC	Yes	Yes	N/A
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CITY OF MILLS

EST. 1921

BILLS

Meeting Date: June 22nd, 2021

Bills

PETTY CASH.....	\$500.00
VOUCHERS.....	\$68,832.75
MANUAL CHECKS CITY HALL.....	\$97,140.45
MANUAL CHECKS COURT.....	\$50.00
VOIDED CHECKS.....	\$1553.60



CITY OF MILLS

EST. 1921

CHECK LIST FOR

June 22nd, 2021

COUNCIL MEETING

City Hall/Court

6-8-2021	27607-27610	Transmittals
6-11-2021	27611-27626	Manuals
6-11-2021	27627-27628	Transmittals
6-11-2021	27629	Void
6-11-2021	27630-27647	Manuals
6-18-2021	27648-27683	Vouchers
	COURT	
6-8-2021	1627	Manual

COUNCIL:

MAYOR: _____

CITY CLERK: _____



CITY OF MILLS

EST. 1921

MANUAL CHECKS

City Hall

June 22nd, 2021

COUNCIL MEETING

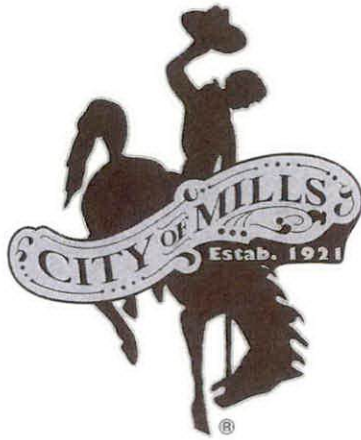
6-11-2021	27611	Casey Coates	Stipend	\$550.00
6-11-2021	27612	Casey Gallinger	Stipend	\$550.00
6-11-2021	27613	Grizzley	Mills Water Tank	\$6160.84
6-11-2021	27614	H. B Rentals	Rentals for Summerfest	\$1300.00
6-11-2021	27615	Keith Pike	Stipend	\$250.00
6-11-2021	27616	Matt Vincent	Stipend	\$550.00
6-11-2021	27617	Dept. OF Work Force Services	Workers Comp	\$6373.83
6-11-2021	27618	Fun on the Go	Summerfest	\$10,500.00
6-11-2021	27619	Legend Records	Artist Summerfest	\$3500.00
6-11-2021	27620	Lionel Adams	Artist Summerfest	\$200.00
6-11-2021	27621	Monica Posada	Summer Fest	\$480.00



CITY OF MILLS

EST. 1921

6-11-2021	27622	Day Drinkers	Artist Summerfest	\$1000.00
6-11-2021	27623	P.H. Enterprise	Summerfest	\$3460.00
6-11-2021	27624	PSI	Summerfest	\$12,950.92
6-11-2021	27625	Penny Shoemake	Summerfest	\$173.32
6-11-2021	27626	Christine Trumbull	Summerfest	\$97.27
6-17-2021	27630	Altitude Landscape	Landscape at Eagle	\$2436.25
6-17-2021	27631	ARS	Clean up	\$4872.52
6-17-2021	27632	Asphalt Presevation	Crack Seal	\$33,482.10
6-17-2021	27633	BB'S Q	Summerfest	\$588.01
6-17-2021	27634	J & D Cajun Kitchen	Summerfest	\$253.30
6-17-2021	27635	Jonah Visa	Bill	\$553.60
6-17-2021	27636	Lost Arrow Catering	Sumer fest	\$282.00
6-17-2021	27637	Matt Miskimins	Summerfest	\$1000.00
6-17-2021	27638	Merrily-Go Around	Summerfest	\$375.00
6-17-2021	27639	Monica Posada	Summerfest	\$160.00
6-17-2021	27640	National Testing	Fire Class	\$500.00
6-18-2021	27641	P. H. Enterprise	Summerfest	\$350.00
6-18-2021	27642	Secure Guns LLC	Summerfest	\$2900.00



CITY OF MILLS

EST. 1921

Voided Checks

June 8th, 2021

Council Meeting

6-8-2021	27589	27635	Microsoft	Wrong Vendor	\$553.60
6-11-2021	27622	27637	Day Drinkers	Wrong name on Check	\$1000.00
6-18-2021	272629	None	Blank	Blank	0.00

TOTAL: \$1553.60



CITY OF MILLS

EST. 1921

PAYROLL

Meeting Date: June 22nd, 2021

Payroll Type: Fire Payroll

Date Range: 6-4-2021 to 6-15-2021

NET..... \$12,705.45

DEDUCTIONS.....\$5,069.51

Federal Taxes.....\$1554.00

Medicare..... \$240.49

Retirement \$1821.04

Union Dues..... \$165.00

Supplemental Insurance.....\$117.35

Insurance.....\$1171.63

TOTAL PAYROLL.....\$17,774.96

Town Clerk, Christine Trumbull

Mayor, Seth Coleman



CITY OF MILLS

EST. 1921

PAYROLL

Meeting Date: June 22nd, 2021

Payroll Type: Regular/Police Payroll

Date Range: 5-24-2021 to 6-6-2021

NET..... 74,854.16

DEDUCTIONS.....\$28,780.20

Federal Taxes.....\$8082.00

Medicare..... \$1448.30

Retirement \$8344.20

Social Security.....\$6192.51

Supplemental Retirement..... \$900.00

Supplemental Insurance.....\$544.25

Child Support..... \$0

Insurance.....\$3268.94

TOTAL PAYROLL.....\$103,634.36

Town Clerk, Christine Trumbull

Mayor, Seth Coleman

Resolution No. 2021-19

A RESOLUTION FOR APPROVAL OF A SITE PLAN FOR A PROPOSED 10,460 SQ. FT. COMMERCIAL BUILDING, LOCATED (AT 4570 WEST YELLOWSTONE HWY) ON LOTS 5-7, THE WEST 35 FEET OF LOT 8, LOTS 42 &43, AND THE EAST 10 FEET OF LOT 44, BLOCK 16, MOUNTAIN VIEW SUBURB, CITY OF MILLS, WY

WHEREAS, the City of Mills is a municipal corporation under the laws of the State of Wyoming; and

WHEREAS, FT Investments, LLC is the owner of Lots 5-7, the west 35 feet of Lot 8, Lots 42 &43, and the east 10 feet of Lot 44, Block 16, Mountain View Suburb, City of Mills, WY; and

WHEREAS, said owner has submitted a site plan for a proposed 10,460 sq. ft. commercial building with associated parking and landscaping on the property, located within an Established Business (E-B) Zoning District; and

WHEREAS, the City Staff and Utility Providers have reviewed the information submitted and found the Site Plan complies with the Town of Mills Zoning regulations and requirements; and

WHEREAS, at a meeting on 17 June 2021, the Mills Planning and Zoning Board forwarded a “Do Pass” recommendation to the City Council for approval of the site plan; and

THEREFORE, BE IT RESOLVED, the Mills City Council considered the application and recommendations of staff, at a Council meeting held on 13 April 2021, and approved a request to allow the proposed 4,000 sq. ft. storage building on Lot 22 (Parcel A), City of Mills, Natrona County, Wyoming with the following conditions:

1. That prior to obtaining building permits to construct, the Owner signs a Site Plan Agreement which will be recorded with the Natrona County Clerk’s office stating construction will comply with all design provisions as shown on the Site Plan and any other improvements required by the City of Mills.
2. The Owner obtains all required building permits, and complies with all Mills Code and inspection requirements, and State and Federal regulations.
3. That prior to the issuance of certificates of occupancy, all requirements shall be completed to the satisfaction of the City Planner, City Engineer, Public Works Director, Fire Inspector, and Building Inspector.

PASSED, APPROVED, AND ADOPTED this 22nd Day of June 2021.

CITY OF MILLS, WYOMING

Seth Coleman, Mayor

Sara McCarthy, Council

James Hollander, Council

Darla R. Ives, Council

Brad Neumiller, Council

ATTEST:

Christine Trumbull, City Clerk



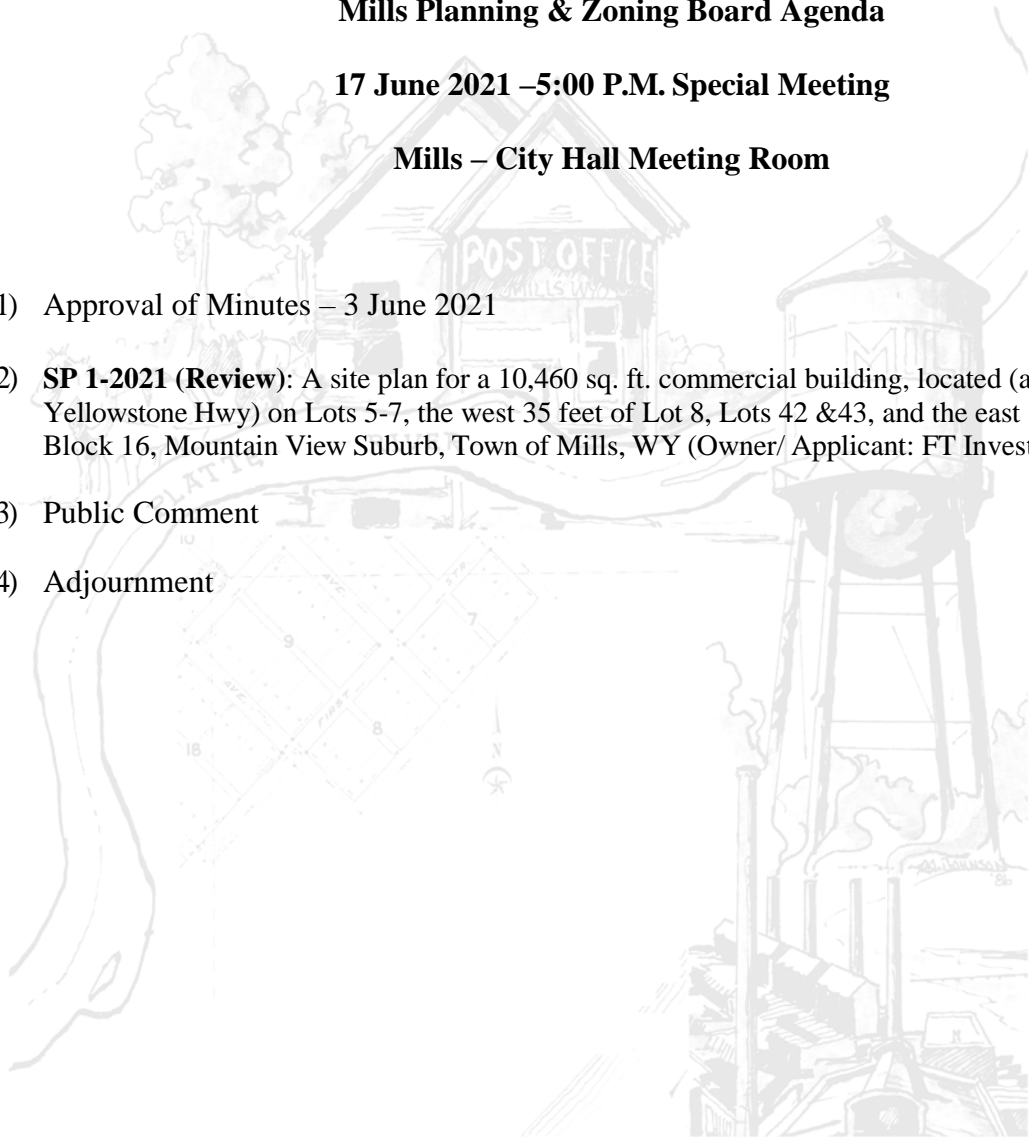
704 Fourth Street
P.O. Box 789
Mills, Wyoming 82644
Phone: 307-234-6679
Fax: 307-234-6528

Mills Planning & Zoning Board Agenda

17 June 2021 –5:00 P.M. Special Meeting

Mills – City Hall Meeting Room

- 1) Approval of Minutes – 3 June 2021
- 2) **SP 1-2021 (Review):** A site plan for a 10,460 sq. ft. commercial building, located (at 4570 West Yellowstone Hwy) on Lots 5-7, the west 35 feet of Lot 8, Lots 42 &43, and the east 10 feet of Lot 44, Block 16, Mountain View Suburb, Town of Mills, WY (Owner/ Applicant: FT Investments, LLC)
- 3) Public Comment
- 4) Adjournment





MEMORANDUM

Date: 14 June 2021
To: Mills Planning and Zoning Board
From: Scott Radden, Town Planner
Subject: 17 June Planning and Zoning Meeting (Special)

SP 1-2021 (Review): A site plan for a 10,460 sq. ft. commercial building, located (at 4570 West Yellowstone Hwy) on Lots 5-7, the west 35 feet of Lot 8, Lots 42 &43, and the east 10 feet of Lot 44, Block 16, Mountain View Suburb, Town of Mills, WY (Owner/ Applicant: FT Investments, LLC).

Background:

FT Investments, LLC is the owner of Lots 5-7, the west 35 feet of Lot 8, Lots 42 &43, and the east 10 feet of Lot 44, Block 16, Mountain View Suburb, Town of Mills, WY. The combined lots are approximately .98 acres in size, and zoned Established Business (E-B). It is surrounded by E-B Zoning on all other sides except for the north, which is Developing Residential (D-R). FT Investments, LLC is proposing to build a 10,460 sq. ft. commercial building and associated parking on the property.

Notifications were sent to utility providers on 25 May 2021:

Chris Coziahr (Rocky Mtn Power): "RMP does have facilities in the middle of this lot. The customer or developer will be responsible to relocate if needed."

Notifications were provided to Staff Members on 25 May 2021:

No requirements were received from Staff as of writing this report.

General Notes:

1. **Parking** – 27 parking spaces (10 x 20) and 2 ADA parking space are provided. Five and one-half spaces per 1,000 sq. ft. of gross leasable floor area is required per zoning regulations.
2. **Signs** – Wall sign proposed on south side of the building.
3. **Fencing** – Proposed fencing on the east and west sides of the lot.
4. **Lighting** – Building mounted flood Lighting south side with wall packs on east and west sides of building. All lighting must be downward facing and not project directly onto adjacent properties.

5. **Landscaping** – 11,787 sq. ft. (27%) of landscaping is shown on the site . 8% is required. Rock and trees/shrubs on the west/south/east side, grass and trees/shrubs on the north side.

Staff Recommendation: Staff recommends the Planning and Zoning Board forward a “**do pass**” recommendation to the Town Council to approve the site plan for a 10,460 sq. ft. commercial building, located (at 4570 West Yellowstone Hwy) on Lots 5-7, the west 35 feet of Lot 8, Lots 42 &43, and the east 10 feet of Lot 44, Block 16, Mountain View Suburb, Town of Mills, WY, with the following conditions:

1. That prior to obtaining building permits to construct, the Owner signs a Site Plan Agreement which will be recorded with the Natrona County Clerk’s office stating construction will comply with all design provisions as shown on the Site Plan and any other improvements required by the Town of Mills.
2. The Owner obtains all required building permits, and complies with all Mills Code and inspection requirements, and State and Federal regulations.
3. That prior to the issuance of certificates of occupancy, all requirements shall be completed to the satisfaction of the Town Planner, Town Engineer, Public Works Director, Fire Inspector, and Building Inspector.

MILLS DOLLAR GENERAL STORE #23300 PROJECT - PROTOTYPE 10640-D CIVIL DESIGN DRAWINGS 4570 W. YELLOWSTONE HWY MILLS, WYOMING 82644

CONTACT LIST

CIVIL ENGINEER
INBERG-MILLER ENGINEERS
ALIN CORTEZ, P.E.
124 E. MAIN ST
RIVERTON, WY 82501
PH: 307-856-8136
FX: 307-856-3851

LAND SURVEYOR
INBERG-MILLER ENGINEERS
RANDALL STELZNER, P.L.S.
124 E. MAIN ST
RIVERTON, WY 82501
PH: 307-856-8136
FX: 307-856-3851

UTILITY CONTACT LIST

SANITARY SEWER & WATER & GARBAGE
MILLS PUBLIC WORKS
704 4TH STREET
MILLS, WY 82604
PH: 307-234-6679

NATURAL GAS
BLACK HILLS ENERGY
PH: 888-890-5554

ELECTRIC
ROCKY MOUNTAIN POWER
PH: 800-469-3981

TELEPHONE
CENTURY LINK
PH: 844-674-3430

GENERAL NOTES:

1. THE BASIS OF BEARING IS NAD83 WYOMING STATE PLANE, EAST-CENTRAL ZONE, DISTANCES ARE AT GROUND.
2. VERTICAL DATUM IS BASED ON NAVD88, GEOID 12B.
3. ALL SITE WORK SHALL CONFORM TO WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.
4. PROPERTY DATA IS FOR REFERENCE ONLY AND THIS DRAWING IS NOT A RECORD PROPERTY SURVEY. FOR PROPERTY INFORMATION REFER ALTA SURVEY DRAWING BY INBERG-MILLER ENGINEERS.
5. THE UTILITY LOCATIONS SHOWN ARE AS MARKED BY THEIR OWNERS, FROM THE OWNERS RECORDS OR FROM FIELD EVIDENCE. THE SIZE AND LOCATION OF UNDERGROUND UTILITIES WAS NOT VERIFIED BY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES DURING CONSTRUCTION.
6. FIELD SURVEY WAS PERFORMED IN FEBRUARY OF 2021.
7. CONTRACTOR SHALL COORDINATE ALL REMOVAL AND RELOCATION OF PRIVATE UTILITIES SUCH AS GAS, ELECTRIC, AND COMMUNICATION WITH UTILITY OWNER.



MILLS, WYOMING
VICINITY MAP
SCALE: 1" = 600'

LEGEND

— 4960 —	PROPOSED CONTOUR
=====	EARTHWORK LIMITS
— W —	PROPOSED WATER LINE
— S —	PROPOSED SEWER LINE
— ST —	PROPOSED STORM LINE
— UE —	PROPOSED UNDERGROUND ELECTRIC
— UT —	PROPOSED UNDERGROUND TELEPHONE
— FO —	PROPOSED FIBER OPTIC LINE
— G —	PROPOSED GAS LINE
— 4960 —	EXISTING CONTOUR
— R/W —	RIGHT-OF-WAY
— — — —	SECTION LINE
— FL —	PROPERTY LINE
— ST —	EXISTING STORM SEWER
— W —	EXISTING WATER LINE
— S —	EXISTING SANITARY SEWER LINE
— FM —	EXISTING FORCED MAIN
— OE —	OVERHEAD ELECTRIC
— ED —	EARTHENED DITCH
— G —	GAS LINE
— UE —	UNDERGROUND ELECTRIC
— UT —	UNDERGROUND TELEPHONE
— UTV —	UNDERGROUND TV
— IRR —	IRRIGATION LINE
●	BRASS CAP
●	SET ALUMINUM CAP
○	FOUND ALUMINUM CAP
○	FOUND REBAR
▲	CONTROL POINT
●	SANITARY SEWER MANHOLE
○	CLEANOUT
○	FIRE HYDRANT
●	WATER VALVE
◇	LIGHT POLE
◇	UTILITY POLE
○	TREE
○	MONITORING WELL
○	CURB STOP
○	METER
→	SIGN
→	DRAINAGE ARROW
—	CENTERLINE
XING	CROSSING
FFE	FINISHED FLOOR ELEVATION
FS	FINISHED SURFACE
FL	FLOW LINE
TC	TOP OF CURB
(90.50)	EXISTING GRADE
INV	INVERT
(2)	CONSTRUCTION NOTE

SHEET DESCRIPTION

- C1.1 TITLE & NOTES SHEET
- C2.1 TOPOGRAPHICAL SURVEY & DEMOLITION PLAN
- C3.1 SITE, PAVING, & UTILITY PLAN
- C4.1 GRADING PLAN
- C4.2 SITE CROSS-SECTIONS
- C5.1 LANDSCAPE PLANS
- C6.1 CIVIL DETAILS
- C6.2 CIVIL DETAILS
- C6.3 CIVIL DETAILS
- C6.4 CIVILDDETAILS

**SITE PLAN SUBMITTAL SET
NOT FOR CONSTRUCTION
5/20/2021**



REVISIONS			
NO.	DESCRIPTION	DATE	BY

Any use, reuse, or CADD adaptation of this drawing other than for the specific purpose intended, by anyone, without written authorization from the engineer, will be at the Client's risk and full legal responsibility.

INBERG-MILLER ENGINEERS
124 East Main Street, 1100 East C Street, 2000 Prairie Boulevard, 1818 West Plumley, 10000 George Way, 200 E. Industrial St, 5101 F Street, 1300 US Hwy 1416
Riverton, WY 82501 Casper, WY 82601 Cheyenne, WY 82092 Douglas, WY 82633 Gillette, WY 82716
307-856-8136 307-677-0806 307-635-6827 307-875-4394 307-359-7000 307-682-5000

MILLS DOLLAR GENERAL STORE #23300 PROJECT
CAPITAL GROWTH BUCHALTER

TITLE & NOTES SHEET

SCALE: 1" = 20'
HORZ: N/A
VERT: N/A

DRN. ARC BK: 1303
CHK. CDW PAGE: 1-2
DATE: 5/20/2021 JOB NO. 21801-CE

SHEET **C1.1**

ZONE:D-R - DEVELOPING RESIDENTIAL ZONING

CHALMERS STREET

ZONE:D-B - DEVELOPING BUSINESS ZONING
LOTS 5-7, THE WEST 35 FEET OF LOT 8, LOTS 42 & 43 &
THE EAST 10 FEET OF LOT 44, BLOCK 16
MOUNTAIN VIEW SUBURB
42,630 S.F.
0.96 ACRES

LOTS 2-4, BLK 16
MOUNTAIN VIEW SUBURB
LANGE, THOMAS R.
ZONE:D-B - DEVELOPING BUSINESS ZONING

EAST 15' LOT 8, LOT 9 & 10
BLK 16
MOUNTAIN VIEW SUBURB
NEWMAYER, GERALD C
ZONE:D-B - DEVELOPING BUSINESS ZONING

LOT 44, BLK 16
MOUNTAIN VIEW SUBURB
LANGE, THOMAS R.
ZONE:D-B - DEVELOPING BUSINESS ZONING

LOT 41, BLK 16
MOUNTAIN VIEW SUBURB
PHILLIPS, MARK A
ZONE:D-B - DEVELOPING BUSINESS ZONING

WEST YELLOWSTONE HIGHWAY (US26/WY20)

ZONE:D-B - DEVELOPING BUSINESS ZONING

RADIO AVENUE

ZONE:D-B - DEVELOPING BUSINESS ZONING

CONSTRUCTION NOTES:

- ① DEMOLISH & REMOVE CURB & GUTTER
- ② DEMOLISH & REMOVE CONCRETE DRIVEWAY
- ③ DEMOLISH & REMOVE ASPHALT PARKING LOT
- ④ DEMOLISH & REMOVE EXISTING CONCRETE
- ⑤ REMOVE EXISTING UTILITY POLE
- ⑥ CONTRACTOR TO COORDINATE REMOVAL OF EXISTING OVERHEAD POWER AND REROUTING UNDERGROUND WITH POWER COMPANY.

GENERAL NOTES:

1. THE BASIS OF BEARING IS NAD83 WYOMING STATE PLANE, EAST-CENTRAL ZONE, DISTANCES ARE AT GROUND.
2. VERTICAL DATUM IS BASED ON NAVD88, GEOID 12B.
3. ALL SITE WORK SHALL CONFORM TO WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.
4. PROPERTY DATA IS FOR REFERENCE ONLY AND THIS DRAWING IS NOT A RECORD PROPERTY SURVEY. FOR PROPERTY INFORMATION REFER ALTA SURVEY DRAWING BY INBERG-MILLER ENGINEERS.
5. THE UTILITY LOCATIONS SHOWN ARE AS MARKED BY THEIR OWNERS, FROM THE OWNERS RECORDS OR FROM FIELD EVIDENCE. THE SIZE AND LOCATION OF UNDERGROUND UTILITIES WAS NOT VERIFIED BY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES DURING CONSTRUCTION.
6. FIELD SURVEY WAS PERFORMED IN FEBRUARY OF 2021.
7. CONTRACTOR SHALL COORDINATE ALL REMOVAL AND RELOCATION OF PRIVATE UTILITIES SUCH AS GAS, ELECTRIC, AND COMMUNICATION WITH UTILITY OWNER.

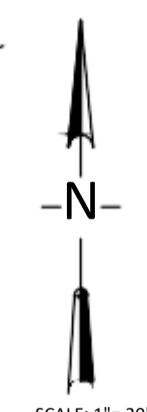
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L=28.52'
CH=N66°07'07"W
28.52'

D=0°04'55"
R=3766.21'
L=5.38'
CH=N66°01'32"W
5.38'

D=4°10'42"
R=820.10'
L=59.81'
CH=N76°16'09"W
59.79'

D=0°04'55"
R=3766.21'
L=5.38'
CH=N66°01'32"W
5.38'

D=4°10'42"
R=820.10'
L=59.81'
CH=N76°16'09"W
59.79'



SCALE: 1" = 20'

**SITE PLAN SUBMITTAL SET
NOT FOR CONSTRUCTION
5/20/2021**

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Know what's below.
Call before you dig.

NO.	DESCRIPTION	DATE	BY	CKD

INBERG-MILLER ENGINEERS
 124 East Main Street • 4200 East C Street • 350 Piney Grove Road • 103 West Flamingo Circle • 630 E. Rainbow • 4100 East UD Hwy • 44-46
 Riverton, WY 82501 Casper, WY 82601 Cheyenne, WY 82007 Green River, WY 82935 Douglas, WY 82633 Gillette, WY 82716
 307-856-8136 307-677-0806 307-635-6827 307-875-4394 307-652-9000

MILLS DOLLAR GENERAL STORE #2300 PROJECT
 CAPITAL GROWTH BUCHALTER

TOPOGRAPHICAL SURVEY & DEMOLITION PLAN SHEET
 SCALE: HORIZ 1" = 20' VERT N/A
 DRN: ARC CHK: CDW DATE: 5/20/2021 BK: 1303 PAGE: 1-2 JOB NO. 21801-CE
C2.1



CHALMERS STREET

STRIPING LEGEND	
YELLOW CURBING AND BOLLARDS - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST. 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW 855300
STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN AND DRY. PROMAR TRAFFIC MARKING PAINT YELLOW TMS495
HANDICAP STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN AND DRY. PROMAR TRAFFIC MARKING PAINT YELLOW TMS495

NOTE: IF PARKING LOT PAVING IS CONCRETE, ADD 4" WIDE SAFETY YELLOW STRIPE AT EDGE OF ALL SIDEWALK BORDERING PAVEMENT.

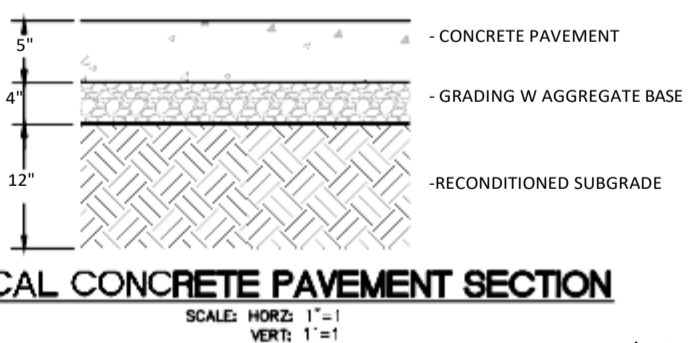
LEGEND:	
	CONCRETE PAVEMENT 5" CONCRETE PAVEMENT 4" WYDOT GRADING W BASE 12" RECONDITIONED SUBGRADE 10'X10' MAXIMUM JOINTS, SEAL ALL JOINTS
	SIDEWALK 4" PORTLAND CEMENT CONCRETE 4" BASE COURSE 6'X6' MAXIMUM JOINTS, SEAL ALL JOINTS
	SIDEWALK @ DOORS 4" PORTLAND CEMENT CONCRETE 48" BASE COURSE (6.0' X 6.0' MIN.)
	LANDSCAPE REFER TO LANDSCAPE PLANS

- CONSTRUCTION NOTES:**
- INSTALL TYPE-A CURB & GUTTER PER DETAIL ON SHEET C6.1.
 - INSTALL THICKEN EDGE SIDEWALK PER DETAIL ON SHEET C6.1.
 - INSTALL 2-FOOT WIDE CURB CUT.
 - INSTALL 2-FT WIDE VALLEY PAN PER DETAIL ON SHEET C6.1.
 - INSTALL 1-INCH WATER SERVICE LINE PER DETAILS ON SHEET C6.2. MINIMUM BURIAL DEPTH SHALL BE 6.0-FEET.
 - CONNECT WATER LINE TO EXISTING WATER METER VAULT. ADJUST LID TO FINISHED GRADE.
 - INSTALL 4-INCH SANITARY SEWER SERVICE PER DETAIL ON SHEET C6.2.
 - INSTALL DOUBLE CLEANOUT PER DETAIL ON SHEET C6.2.
 - INSTALL LIGHT POLE & LUMINARIES BY USLED. SEE PHOTOMETRIC PLAN BY USLED.
 - INSTALL TRASH ENCLOSURE GATE PER DETAIL ON SHEET C6.4.
 - INSTALL TRASH ENCLOSURE WOOD WALL PER DETAIL ON SHEET C6.4.
 - INSTALL VAN HANDICAP PARKING SIGN PER DETAIL ON SHEET C6.3.
 - INSTALL HANDICAP PARKING SIGN PER DETAIL ON SHEET C6.3.
 - INSTALL BOLLARD PER DETAIL ON SHEET C6.3.
 - INSTALL TEMPORARY ADDRESS SIGN
 - INSTALL 8-INCH HDPE STORM LINE WITH FITTINGS @ 0.5% MINIMUM GRADE.
 - CONNECT ROOF DRAINS TO STORM SEWER PER DETAIL ON SHEET C6.3.
 - INSTALL NEW UTILITY POLE WITH TRANSFORMER. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY
 - RELOCATE OVERHEAD ELECTRIC TO UNDERGROUND ELECTRIC. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY.
 - INSTALL 2-INCH PVC IRRIGATION LINESLEEVE.
 - INSTALL FENCE PER DETAIL SHEET C6.4.
 - INSTALL 6-FT WIDE WYDOT DOUBLE GUTTER PER DETAIL ON SHEET C6.1.
 - INSTALL SANITARY MANHOLE INSIDE DROP BOWN PER DETAIL ON SHEET C6.2.

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S 02°06'40" W	83.52
L2	S 02°06'40" W	42.24
L3	S 09°26'40" W	13.43
L4	S 02°06'40" W	101.48
L5	S 89°57'42" E	7.39
L6	S 87°53'20" E	10.53
L7	N 02°06'40" E	13.00
L8	N 02°06'40" E	27.50
L9	S 87°53'20" E	20.50
L10	S 02°06'40" W	46.18
L11	N 87°53'20" W	1.50
L12	S 02°06'40" W	44.11
L13	S 02°06'40" W	17.00
L14	N 87°53'20" W	4.75
L15	N 02°06'40" E	17.00
L16	N 87°53'20" W	10.25
L17	N 87°53'20" W	137.00
L18	S 02°06'40" W	17.50
L19	N 87°53'20" W	30.55
L20	S 02°06'40" W	29.00

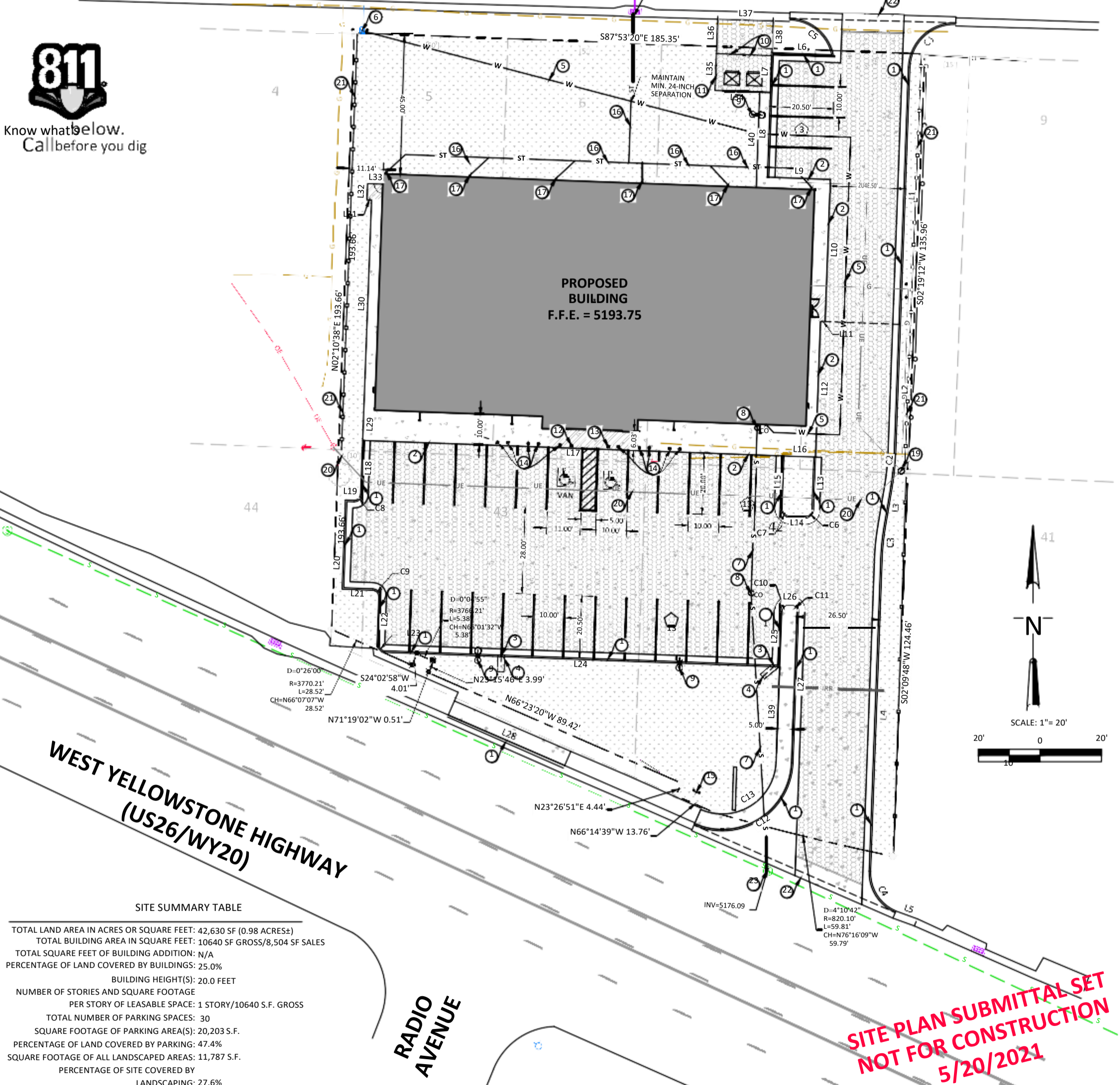
LINE TABLE		
LINE #	DIRECTION	LENGTH
L21	S 87°53'20" E	10.00
L22	S 02°06'40" W	16.27
L23	S 42°53'20" E	2.75
L24	S 87°53'20" E	129.27
L25	N 02°06'40" E	18.00
L26	S 87°53'20" E	1.00
L27	S 02°06'40" W	48.95
L28	S 66°54'29" E	41.23
L29	N 02°06'40" E	10.00
L30	N 02°06'40" E	68.08
L31	N 87°53'20" W	1.50
L32	N 02°06'40" E	5.33
L33	S 87°53'20" E	5.00
L34	N 87°53'20" W	14.50
L35	N 02°06'40" E	14.00
L36	N 02°06'40" E	9.17
L37	S 88°13'50" E	18.03
L38	S 02°06'40" W	10.28
L39	S 02°06'40" W	30.55
L40	N 02°06'40" E	31.00

CURVE TABLE					
CURVE #	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD LENGTH
C1	14.50	89°40'45"	22.20	S 45°52'02" W	20.45
C2	80.50	7°30'00"	10.54	S 05°51'40" W	10.53
C3	79.50	7°30'00"	10.41	S 05°51'40" W	10.40
C4	13.50	88°08'52"	16.29	S 12°27'46" E	15.32
C5	14.50	75°44'43"	19.17	N 50°24'24" E	17.80
C6	2.50	90°00'00"	3.93	S 47°06'40" W	3.54
C7	2.50	90°00'00"	3.93	N 42°53'20" W	3.54
C8	2.00	90°00'00"	3.14	S 47°06'40" W	2.83
C9	2.00	90°00'00"	3.14	S 47°06'40" E	2.83
C10	2.00	90°00'00"	3.14	N 42°53'20" E	2.83
C11	2.00	90°00'00"	3.14	S 47°06'40" E	2.83
C12	22.50	111°26'47"	45.76	S 57°50'43" W	42.18
C13	17.50	111°26'47"	34.04	S 57°50'43" W	28.92



- GENERAL NOTES:**
- ALL DIMENSION ON CURB ARE TO BACK OF CURB UNLESS OTHERWISE NOTED
 - SAWCUT JOINTS SHALL HAVE A MAXIMUM WIDTH OF 1/8 INCH AND BE CUT AT LEAST 1/4 OF THE DEPTH OF THE CONCRETE. ALL SITE CONCRETE SHALL BE CLASS 4000.
 - ALL BASE COARSE AND EARTHWORK FILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-99 (STANDARD PROCTOR)
 - ALL SITE WORK SHALL CONFORM TO WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND STANDARD DRAWINGS, 2015 EDITION
 - PROPOSED GAS, ELECTRIC, AND COMMUNICATION LINES ARE SHOWN FOR REFERENCE ONLY. ACTUAL PLACEMENT AND SERVICE POINTS WILL BE DETERMINED BY THE UTILITY OWNER BASE ON THEIR REQUIREMENTS AND AVAILABILITY.

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SITE SUMMARY TABLE

TOTAL LAND AREA IN ACRES OR SQUARE FEET: 42,630 SF (0.98 ACRES±)
TOTAL BUILDING AREA IN SQUARE FEET: 10640 SF GROSS/8,504 SF SALES
TOTAL SQUARE FEET OF BUILDING ADDITION: N/A
PERCENTAGE OF LAND COVERED BY BUILDINGS: 25.0%
BUILDING HEIGHT(S): 20.0 FEET
NUMBER OF STORIES AND SQUARE FOOTAGE
PER STORY OF LEASABLE SPACE: 1 STORY/10640 S.F. GROSS
TOTAL NUMBER OF PARKING SPACES: 30
SQUARE FOOTAGE OF PARKING AREA(S): 20,203 S.F.
PERCENTAGE OF LAND COVERED BY PARKING: 47.4%
SQUARE FOOTAGE OF ALL LANDSCAPED AREAS: 11,787 S.F.
PERCENTAGE OF SITE COVERED BY LANDSCAPING: 27.6%

SITE PLAN SUBMITTAL SET NOT FOR CONSTRUCTION 5/20/2021

NO.	REVISIONS DESCRIPTION	DATE	BY	CHKD

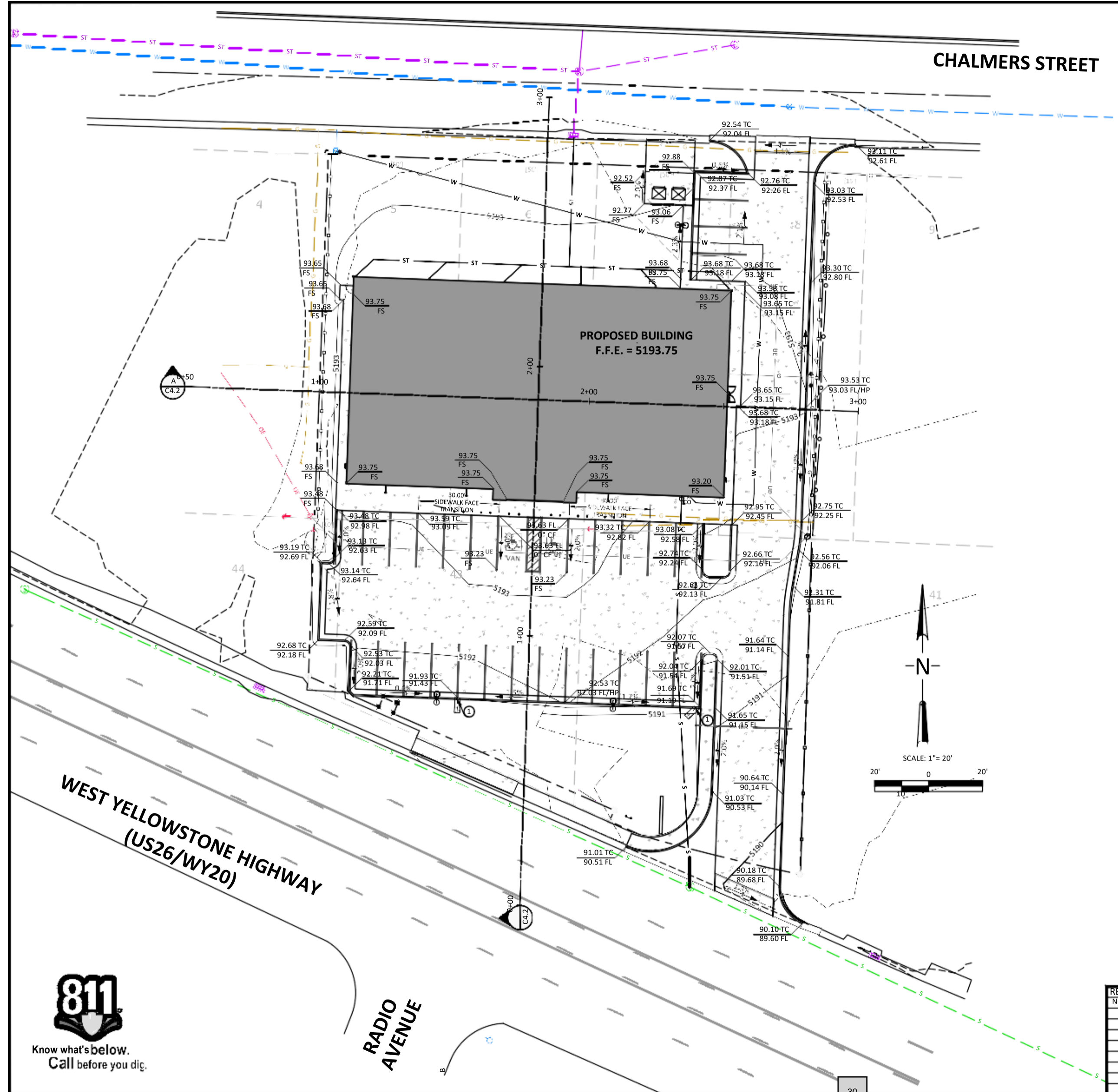
INBERG-MILLER ENGINEERS
124 East Main Street 1120 East C Street 350 Preston Boulevard 193 West Fleming Court Way 830 E Richards St Ste 1 1300 East US Hwy 14-19
Riverton, WY 82501 Casper, WY 82501 Cheyenne, WY 82007 Green River, WY 82935 Douglas, WY 82633 Gillette, WY 82716
307-856-8138 307-677-0866 307-626-6827 307-875-4394 307-359-7000 307-682-9000

WILLS DOUGLAS GENERAL STORE #23300 PROJECT CAPITAL GROWTH BUCHALTER

SITE, PAVING, & UTILITY PLAN

SCALE: HORIZ: 1"=20' VERT: N/A
DRN: ARC BK: 1303 PAGE: 1-2
CHK: CDW JOB NO. 21801-CE

SHEET C3.1



GENERAL NOTES:

1. ADD 5100 TO ALL PROPOSED SPOT ELEVATIONS.
2. ALL SIDEWALKS SHALL HAVE A MAXIMUM OF 2.0% CROSS-SLOPE.
3. ALL SITE WORK SHALL CONFORM TO WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND STANDARD DRAWINGS, 2015 EDITION.
4. THE UTILITY LOCATIONS SHOWN ARE AS MARKED BY THEIR OWNERS, FROM THE OWNERS RECORDS OR FROM FIELD EVIDENCE. THE SIZE AND LOCATION OF UNDERGROUND UTILITIES WAS NOT VERIFIED BY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES DURING CONSTRUCTION.
5. FIELD SURVEY WAS PERFORMED IN FEBRUARY OF 2021.

CONSTRUCTION NOTES:

1. INSTALL 24-INCH WIDE CURB CUT . TRANSITION VALLEY PAN TO CURB CUT.
- 2.
- 3.

LEGEND:

- FS FINISHED SURFACE
- FFE FINISHED FLOOR ELEVATION
- FL FLOWLINE
- TC TOP OF CURB
- TG TOP OF GRATE

**SITE PLAN SUBMITTAL SET
NOT FOR CONSTRUCTION
5/20/2021**



REVISIONS				
NO.	DESCRIPTION	DATE	BY	CKD

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INBERG-MILLER ENGINEERS
 124 East Main Street | 1100 East C Street | 300 Parkway Boulevard | 193 West Pumping Garage Way | 300 E. Richards St | 1100 East US Hwy 14-16
 Riverton, WY 82501 | Casper, WY 82501 | Cheyenne, WY 82002 | Green River, WY 82905 | Douglas, WY 82633 | Gillette, WY 82716
 307-856-8136 | 307-577-0806 | 307-635-6827 | 307-875-4394 | 307-359-7000 | 307-682-5000

**MILLS DOLLAR GENERAL STORE #23300 PROJECT
CAPITAL GROWTH BUCHALTER**

GRADING PLAN

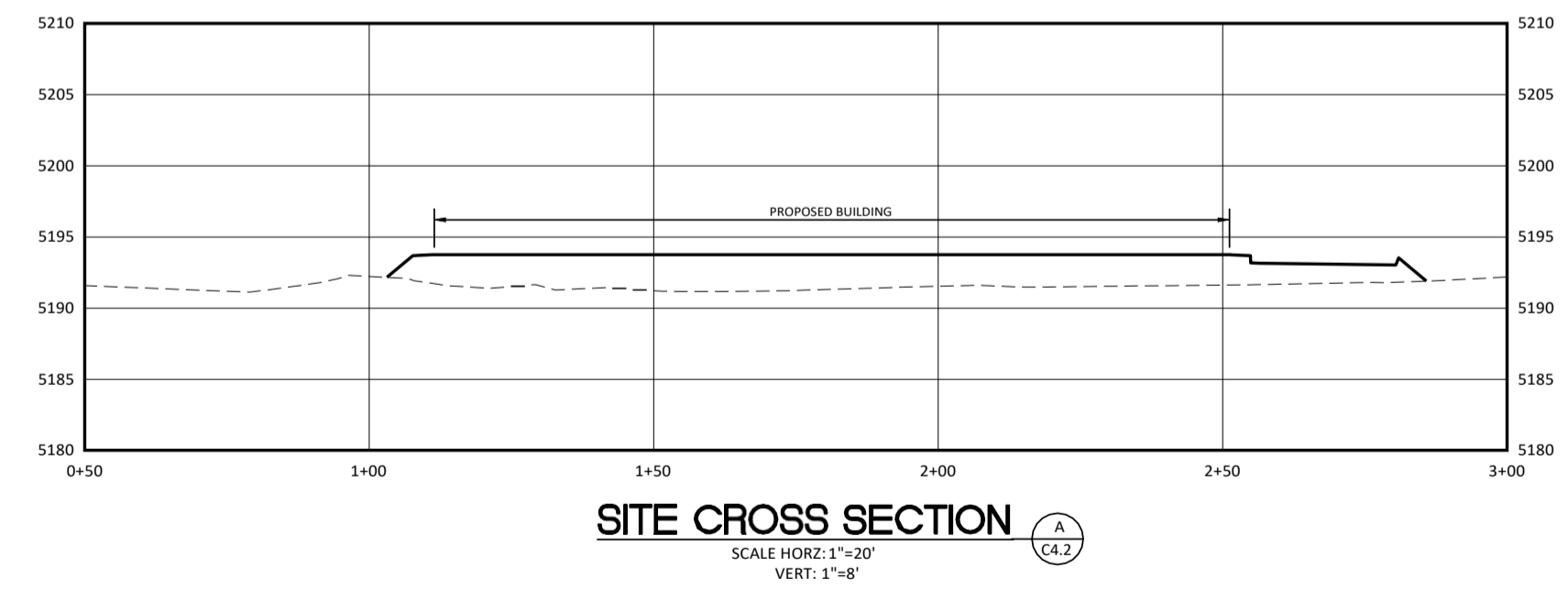
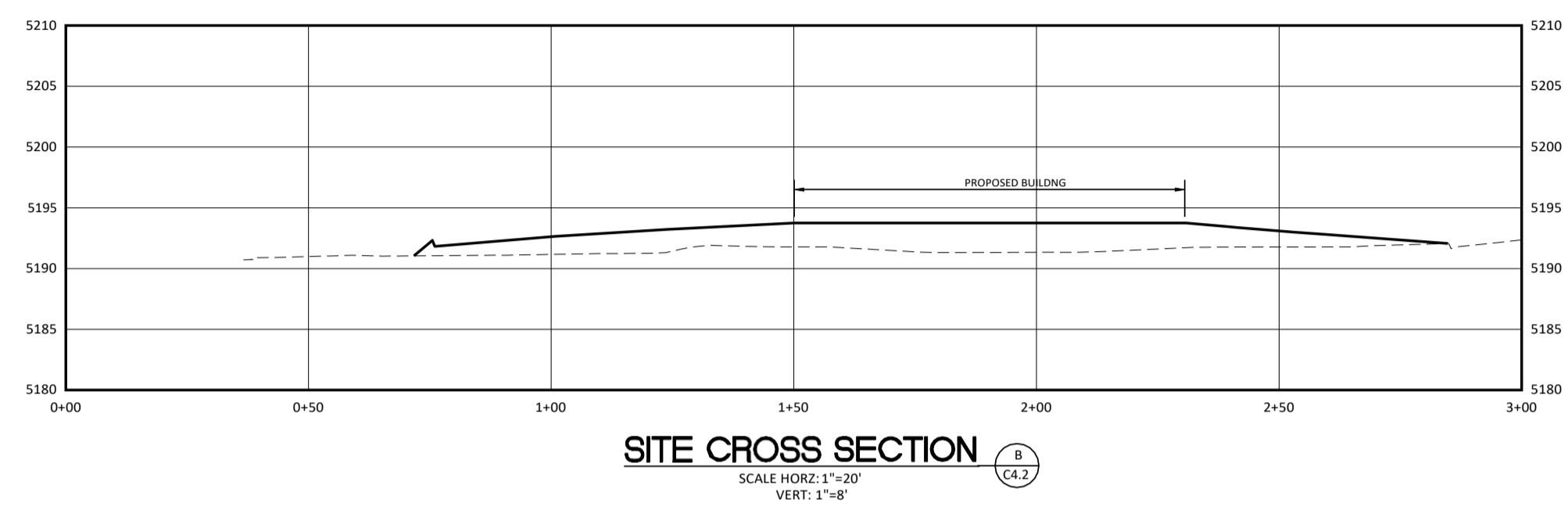
SCALE: 1" = 20'
 HORZ: 1" = 20'
 VERT: N/A

DRN: ARC
 CHK: CDW
 DATE: 5/20/2021

BK: 1303
 PAGE: 1-2
 JOB NO. 21801-CE

SHEET **C4.1**

**SITE PLAN SUBMITTAL SET
NOT FOR CONSTRUCTION
5/20/2021**

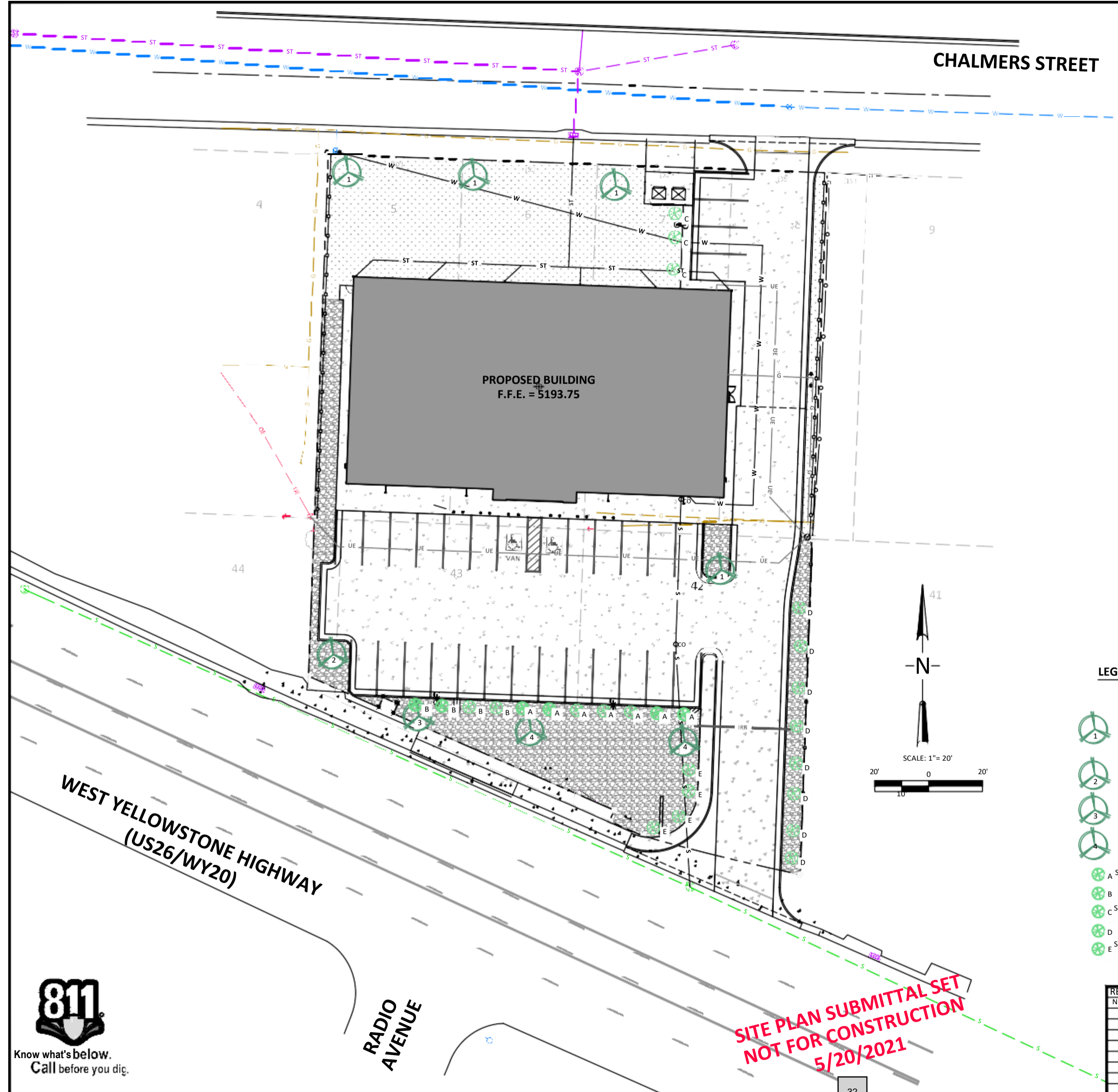


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REVISIONS				
NO.	DESCRIPTION	DATE	BY	CKD

<p>INBERG-MILLER ENGINEERS 124 East Main Street 1120 East C Street 350 Parsley Boulevard 193 West Flaming Gorge Way 830 E Richards St Ste 1 1300 East US Hwy 14-16 Riverton, WY 82501 Casper, WY 82401 Cheyenne, WY 82007 Green River, WY 82535 Douglas, WY 82533 Gillette, WY 82716 307-856-8136 307-577-0808 307-635-6827 307-875-4384 307-359-7000 307-682-5000</p>	<p>MILLS DOLLAR GENERAL STORE #23300 PROJECT CAPITAL GROWTH/BUCHALTER</p>		<p>SHEET C4.2</p>
	<p>GRADING PLAN</p>		
<p>SCALE HORZ 1" = 20' VERT 1" = 8'</p>	<p>DRN. ARC BK: 1303 CHK. CDW PAGE: 1-2 DATE: 5/20/2021</p>	<p>JOB NO. 21801-CE</p>	<p>FILE: 21801-CE-C4.DWG</p>



GENERAL NOTES:

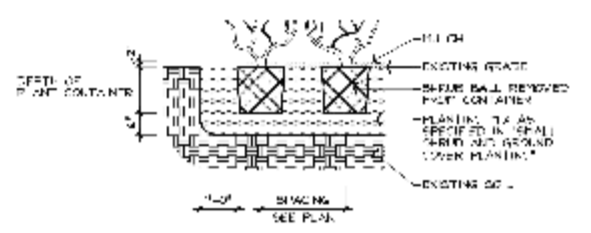
1. INSTALL AUTOMATIC IRRIGATION SYSTEM TO ALL PLANTS, AND LAWNS.
2. PLANTS SHALL BE EQUAL TO WELL-FORMED No.1 GRADE OR BETTER NURSERY STOCK IN ACCORDANCE WITH REQUIREMENTS OF APPLICABLE STANDARDS, SUBJECT TO OWNER'S REPRESENTATIVE APPROVAL.
3. PLANTS SHALL BE HEALTHY, VIGOROUS, AND FREE FROM DEFECTS, DECAY, GIRDLING ROOTS, SUN SCALD INJURIES, ABRASIONS OF THE BARK, PLANT DISEASES, AND INSECTS PESTS, THEIR EGGS AND LARVAE.
4. INSTALL WEED BARRIER AND ROCK MULCH IN PLANTING BEDS WHERE TREES AND SHRUBS ARE TO BE INSTALLED.
5. ALL DECIDUOUS TREES SHALL HAVE A MINIMUM 2.5-INCH CALIPER.
6. ALL SHRUBS SHALL BE A MINIMUM OF 24" HIGH.
7. ROCK MULCH SHALL BE 3"+ SIZE.
8. ALL SITE WORK SHALL CONFORM TO WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND STANDARD DRAWINGS, 2015 EDITION AND CITY OF CHEYENNE STANDARD DETAILS ISSUED MARCH 2013.
9. CONTRACTOR SHALL PROTECT ALL EXISTING TREES TO REMAIN DURING CONSTRUCTION.
10. CONTRACTOR SHALL INSTALL 1-INCH PVC IRRIGATION SLEEVES TO ALL ISLANDS PRIOR TO PAVING.
11. EROSION CONTROL BLANKETS SHALL PROVIDE AND USE A MACHINE-MADE MAT CONSISTING ENTIRELY OF AGRICULTURAL STRAW, WEIGHING APPROXIMATELY 0.50 lb/yd² (270 g/m²), AND OF CONSISTENT THICKNESS WITH THE STRAW EVENLY DISTRIBUTED. ENSURE THAT THE BLANKETS ARE SEWN WITH DURABLE THREAD, TREATED WITH AN EPA-LABELED FUMIGANT TO KILL WEED SEEDS AND PESTS. THEY SHALL BE COVERED ON TOP WITH PHOTODEGRADABLE POLYPROPYLENE NETTING WEIGHING APPROXIMATELY 1 LB/1000 FT² (485 g/100 m²).
12. INSTALL DRYLAND SEEDING BEFORE PLACING EROSION CONTROL BLANKETS.

HATCH LEGEND:

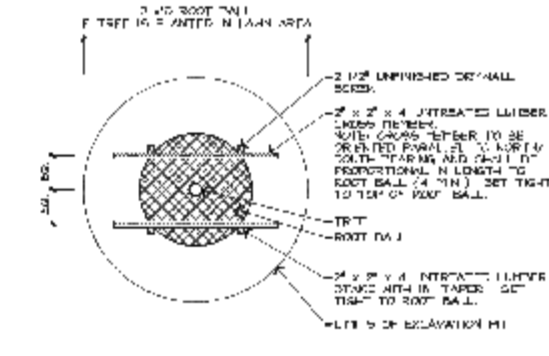
- 6-INCH TOPSOIL & DRYLAND SEEDING (EROSION CONTROL BLANKETS REQUIRED ON ALL SLOPES GREATER THAN 4H:1V)
- ROCK MULCH

LEGEND:

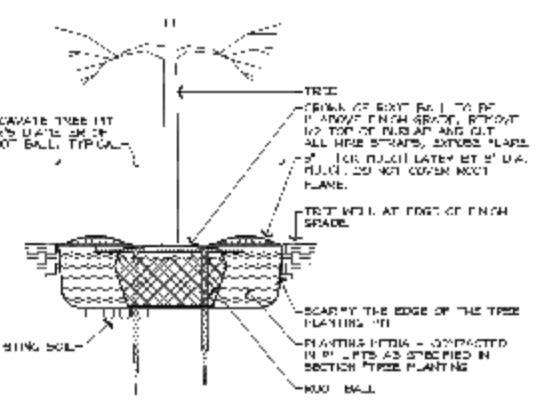
- TREE - THUNDER CHILD CRAB (MALUS THUNDERCHILD)
- TREE - PRINCESS KAY PLUM (PRUNUS NIGRA PRINCESS KAY)
- TREE - CANADA RED CHOKECHERRY, SUCKER PUNCH VARIETY (PRUNUS VIRGINIANA CAN. RED)
- TREE - HONEYLOCUS (GLEDTISA TRIACANTHOS INERMIS)
- SHRUB - PINK FLOWERING ALMOND (PRUNUS GLANDULOSA ROSEA)
- SHRUB - BAGETTELE BARBERRY (BERBERIS THUNBERGII BAGATELLE)
- SHRUB - PEKING COTONEASTER (COTONEASTER ACUTIFOLIUS)
- SHRUB - WESTERN SANDCHERRY (PRUNUS BESSEYI)
- SHRUB - HARRISON YELLOW ROSE (ROSA HARRISONI)



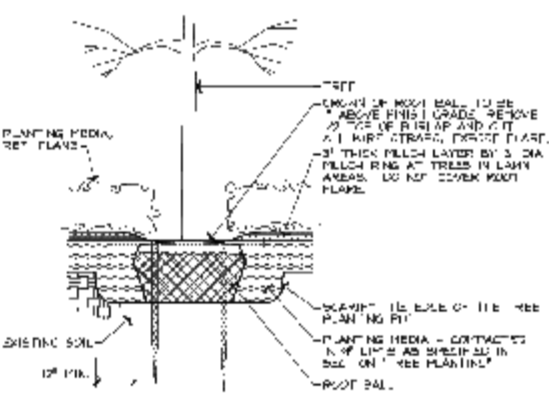
SHRUB PLANTING DETAIL
SCALE HORZ: NTS



TREE STAKING DETAIL
SCALE HORZ: NTS



TREE PLANTING IN LAWN DETAIL
SCALE HORZ: NTS



TREE PLANTING IN PLANTER DETAIL
SCALE HORZ: NTS

Any use, reuse, or CADD adaptation of this drawing other than for the specific purpose intended, by anyone, without written authorization from the engineer, will be at the Client's risk and full legal responsibility.

REVISIONS				
NO.	DESCRIPTION	DATE	BY	CKD

INBERG-MILLER ENGINEERS

124 East Main Street 1100 East C Street 350 Parsley Boulevard 193 West Flaming Gorge Way 830 E Richards St Box 11301 East US Hwy 14 16
 Riverton, WY 82501 Casper, WY 82401 Cheyenne, WY 82007 Green River, WY 82525 Douglas, WY 82523 Gillette, WY 82716
 307-856-8136 307-577-0806 307-635-6827 307-875-4394 307-359-7000 307-682-5000

MILLS DOLLAR GENERAL STORE #23300 PROJECT
CAPITAL GROWTH BUCHALTER

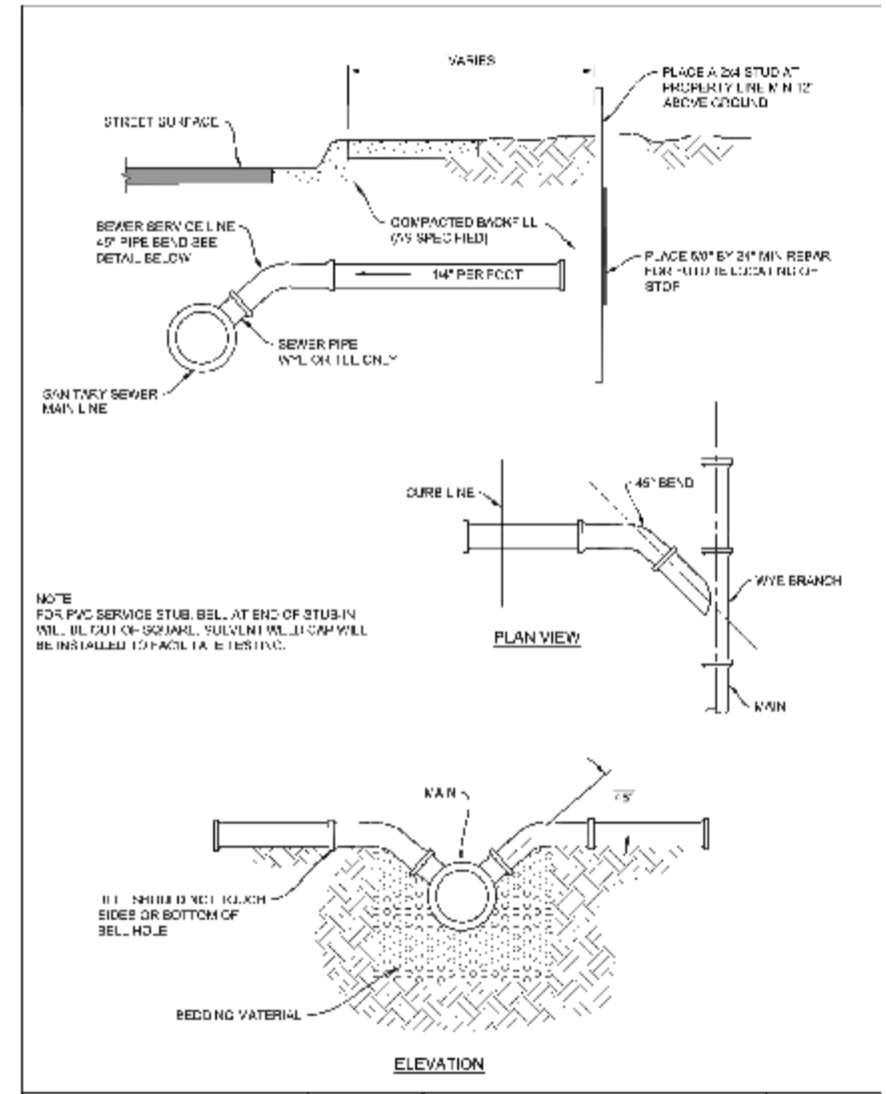
LANDSCAPE PLAN SHEET **C5.1**

SCALE HORZ: 1" = 20'
 VERT: N/A

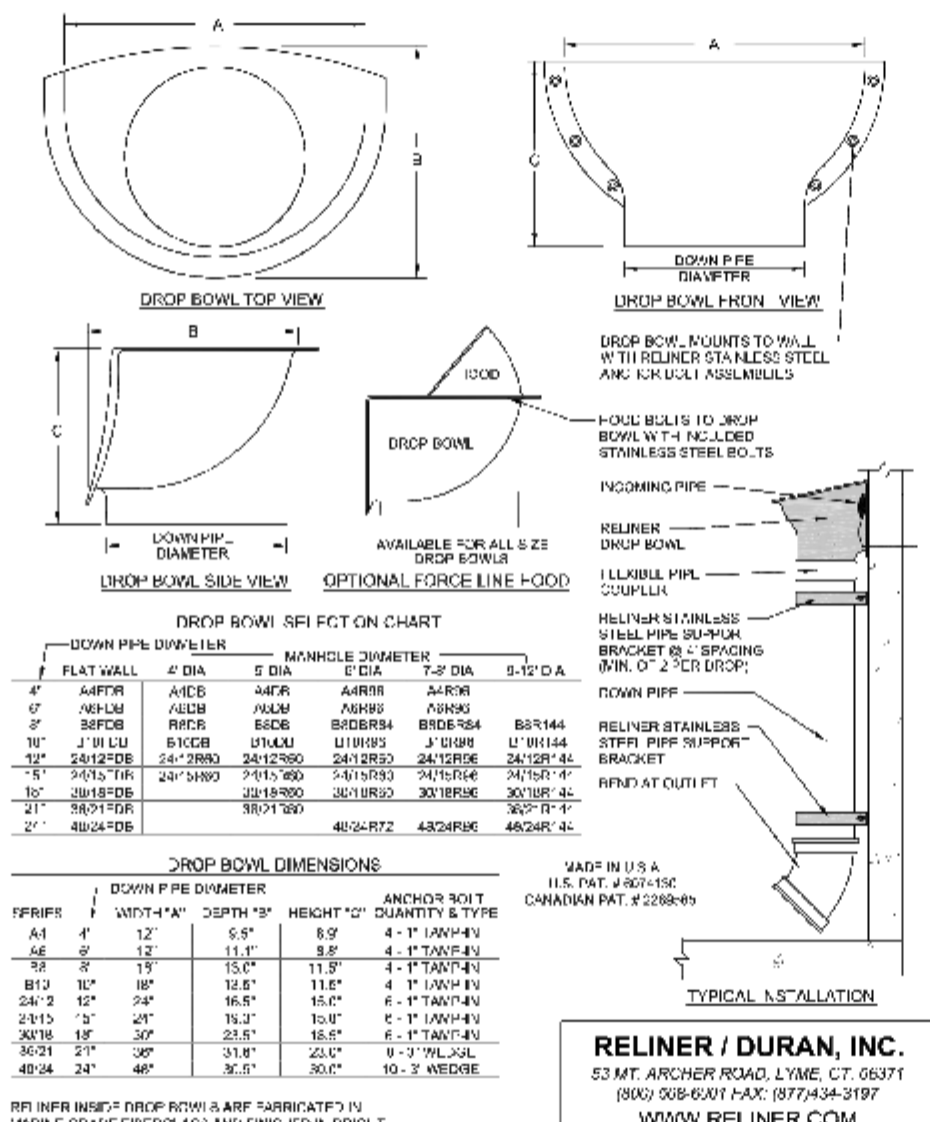
DRN. ARC BK: 1303 PAGE: 1-2
 CHK. CDW
 DATE: 5/20/2021 JOB NO. 21801-CE

SITE PLAN SUBMITTAL SET
NOT FOR CONSTRUCTION
5/20/2021

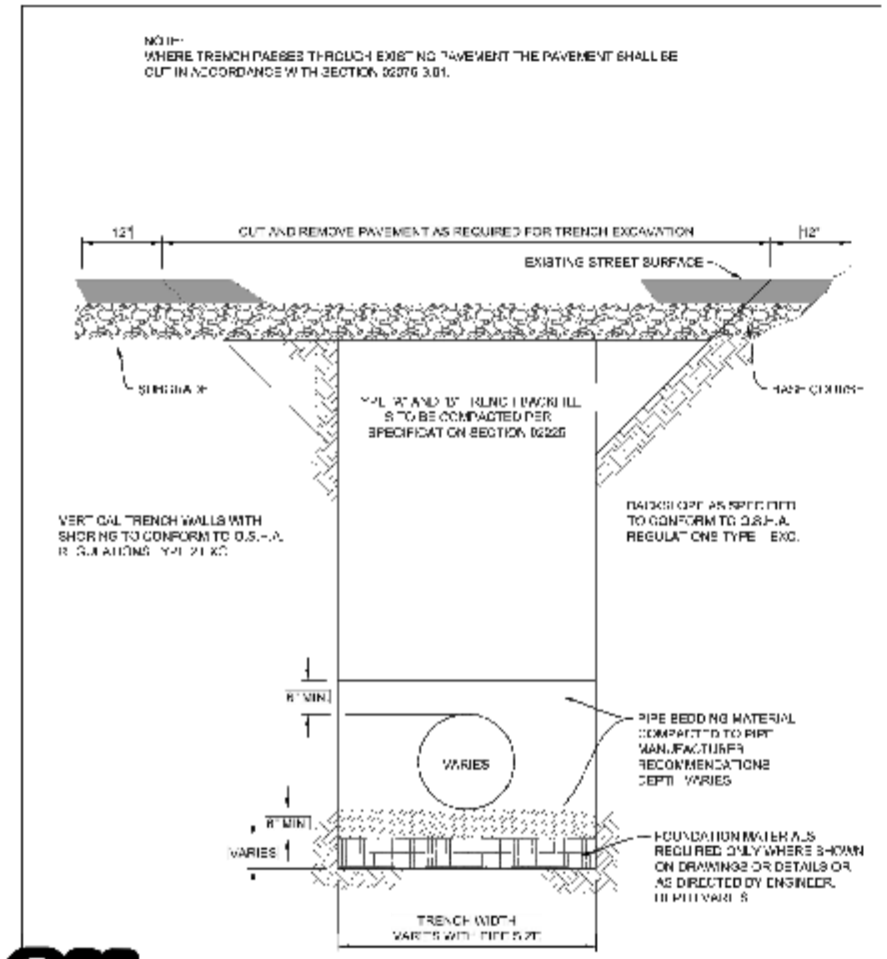




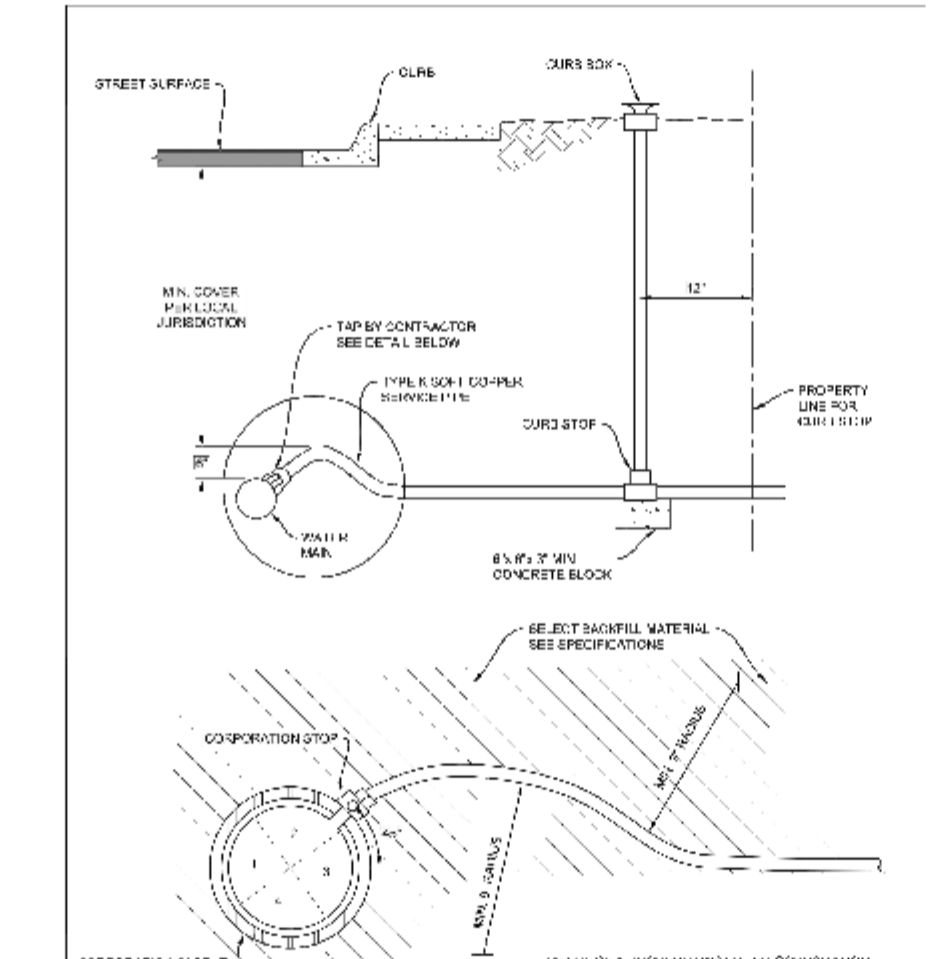
2015 WORKING DRAWINGS 8/11/2015 SPECIFICATIONS	NOT TO SCALE	SANITARY SEWER SERVICE LINE	STANDARD DRAWING NO. 0220.01
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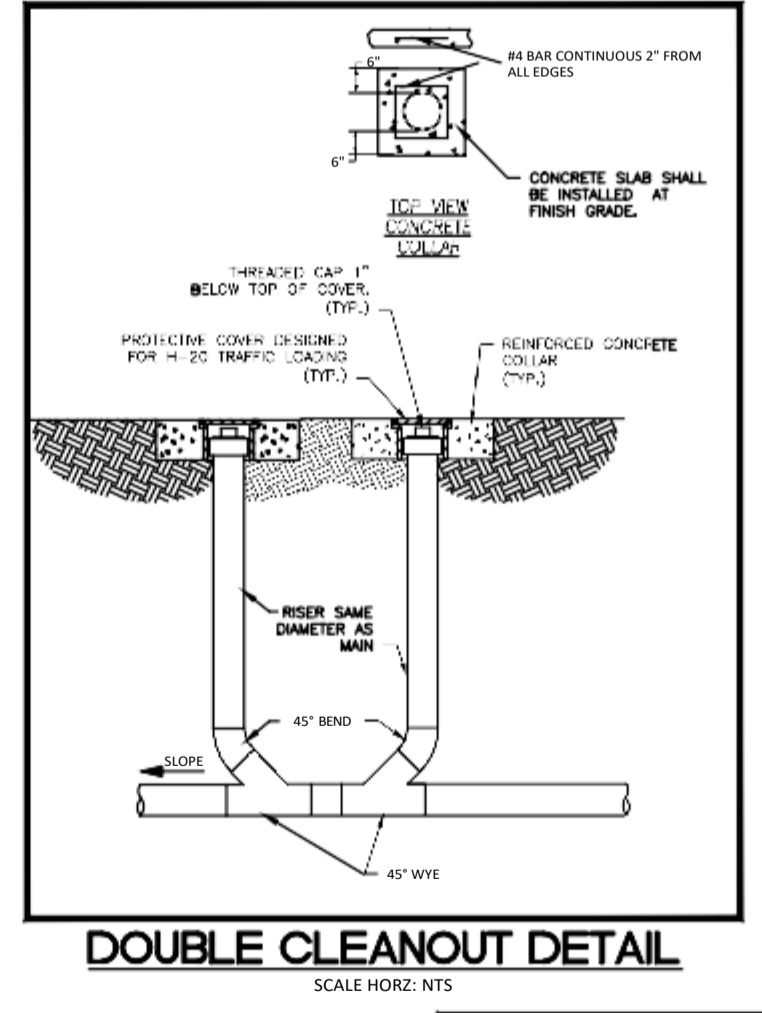
2015 WORKING DRAWINGS 8/11/2015 SPECIFICATIONS	NOT TO SCALE	WATER SERVICE LINE	STANDARD DRAWING NO. 0220.01
--	--------------	--------------------	------------------------------



2015 WORKING DRAWINGS 8/11/2015 SPECIFICATIONS	NOT TO SCALE	TYPICAL TRENCH DETAIL	STANDARD DRAWING NO. 0220.01
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2015 WORKING DRAWINGS 8/11/2015 SPECIFICATIONS	NOT TO SCALE	WATER SERVICE LINE	STANDARD DRAWING NO. 0220.01
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SITE PLAN SUBMITTAL SET NOT FOR CONSTRUCTION 5/20/2021



2015 WORKING DRAWINGS 8/11/2015 SPECIFICATIONS	NOT TO SCALE	TYPICAL TRENCH DETAIL	STANDARD DRAWING NO. 0220.01
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Any use, reuse, or CADD adaptation of this drawing other than for the specific purpose intended, by anyone, without written authorization from the engineer, will be at the Client's risk and full legal responsibility.

INBERG-MILLER ENGINEERS
124 East Main Street 1120 East C Street 350 Parsley Boulevard 193 West Flaming Gorge Way 830 E Richards St Ste 1 1300 East US Hwy 14-16
Riverton, WY 82501 Casper, WY 82501 Cheyenne, WY 82007 Green River, WY 82530 Douglas, WY 82533 Gillette, WY 82719
307-856-8136 307-577-0808 307-635-6827 307-875-4384 307-359-7000 307-682-5000

MILLS DOLLAR GENERAL STORE #23300 PROJECT
CAPITAL GROWTH BUCHALTER

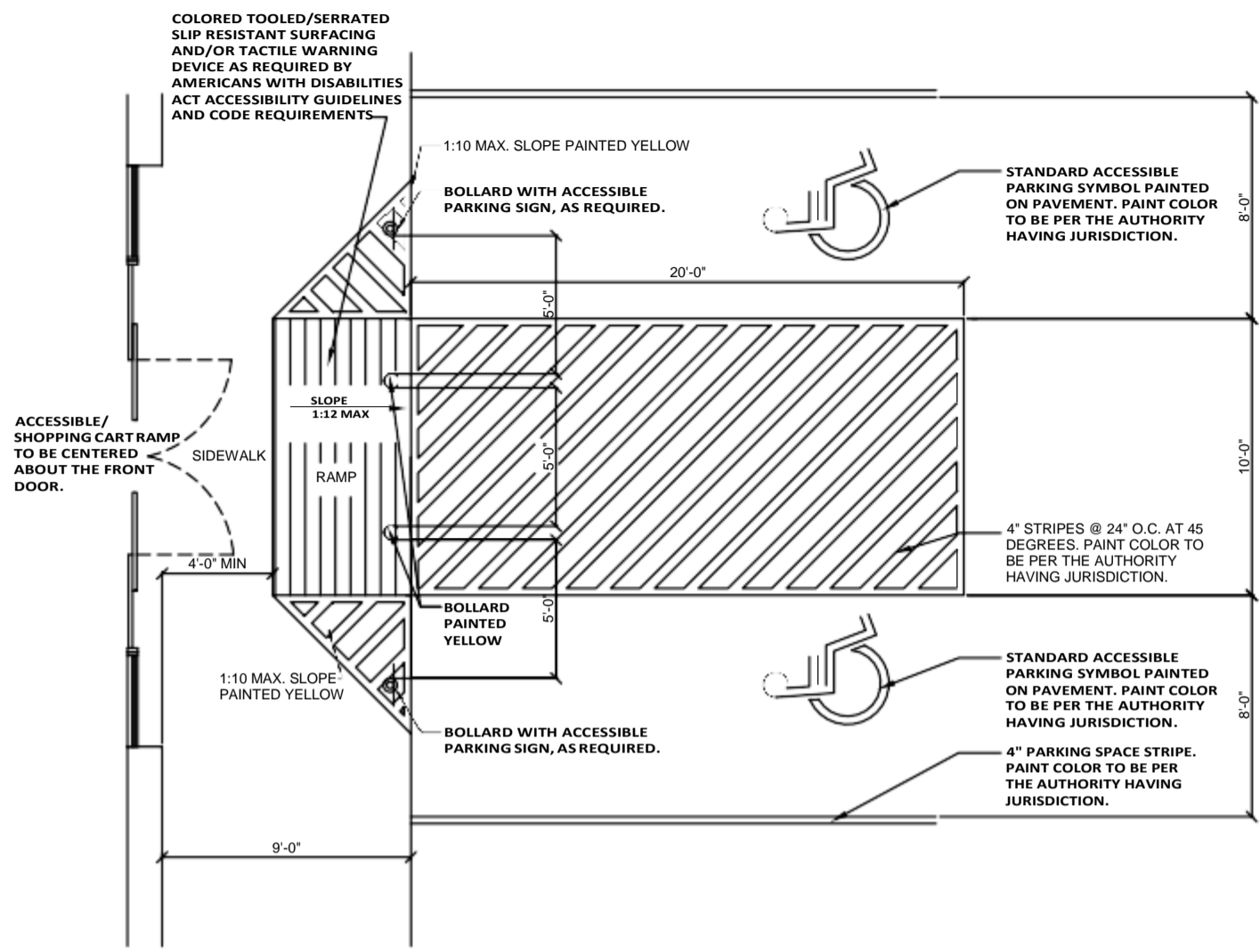
CIVIL DETAILS

REVISIONS

NO.	DESCRIPTION	DATE	BY	CKD

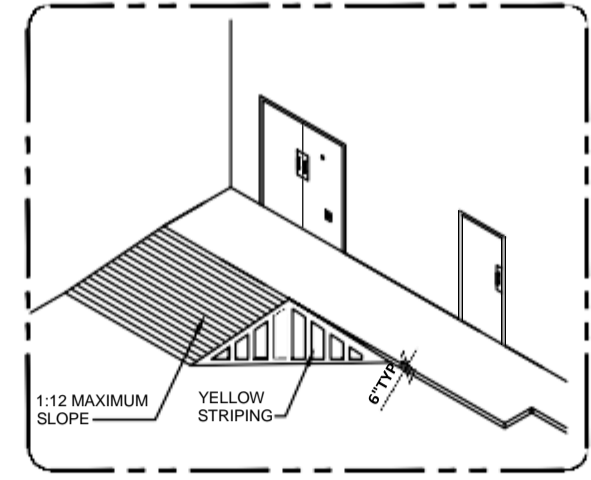
SCALE: HORZ: N/A VERT: N/A
DRN: ARC CHK: CDW DATE: 5/20/2021
BK: 1303 PAGE: 1-2
JOB NO. 21801-CE

SHEET **C6.2**



ACCESSIBLE PARKING DETAIL

SCALE HORZ: 1/4" = 1'-0"
VERT: N/A



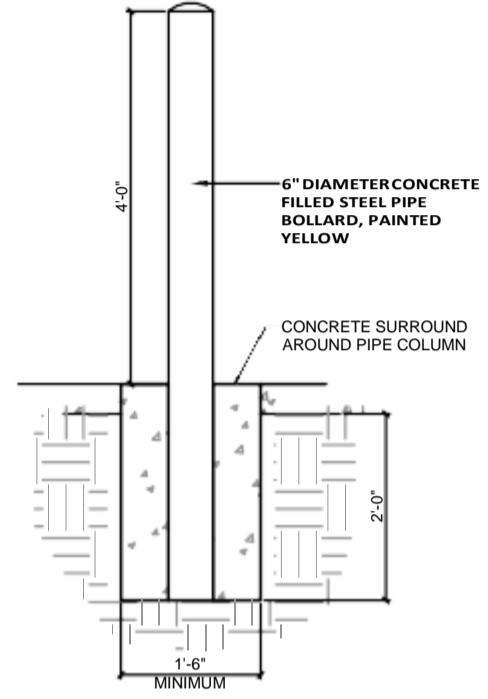
STRIPING LEGEND

YELLOW CURBING AND BOLLARDS	SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYL ENAMEL SAFETY YELLOW B55Y300
PARKING LOT STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PROMAR TRAFFIC MARKING PAINT YELLOW TM5495
HANDICAP STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PROMAR TRAFFIC MARKING PAINT "H.C." BLUE

CONTRACTOR IS RESPONSIBLE FOR ALL PUBLIC UTILITY CONNECTIONS (ELECTRIC, WATER, GAS, SEPTIC, SEWER) AS WELL AS PROVIDING ALL INFRASTRUCTURES REQUIRED BY UTILITY COMPANY

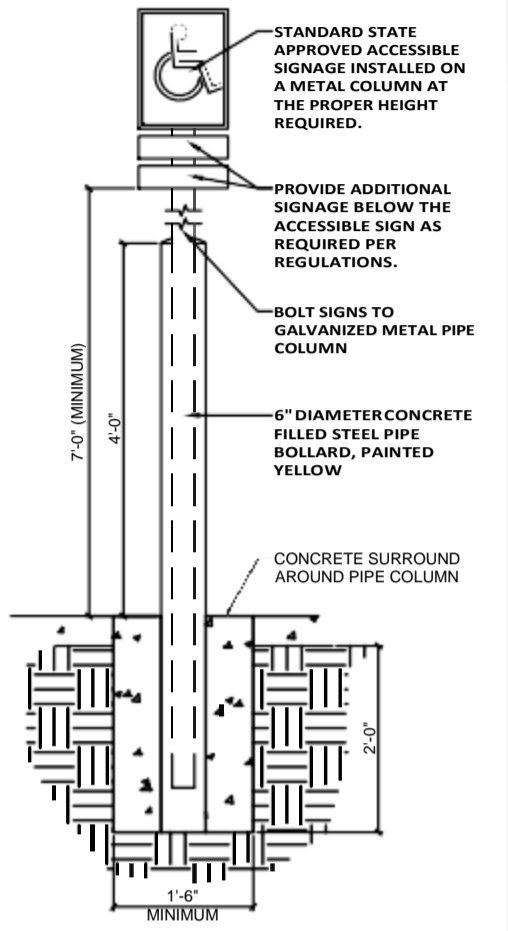
RECEIVING DOOR DETAIL

SCALE HORZ: N/A
VERT: N/A



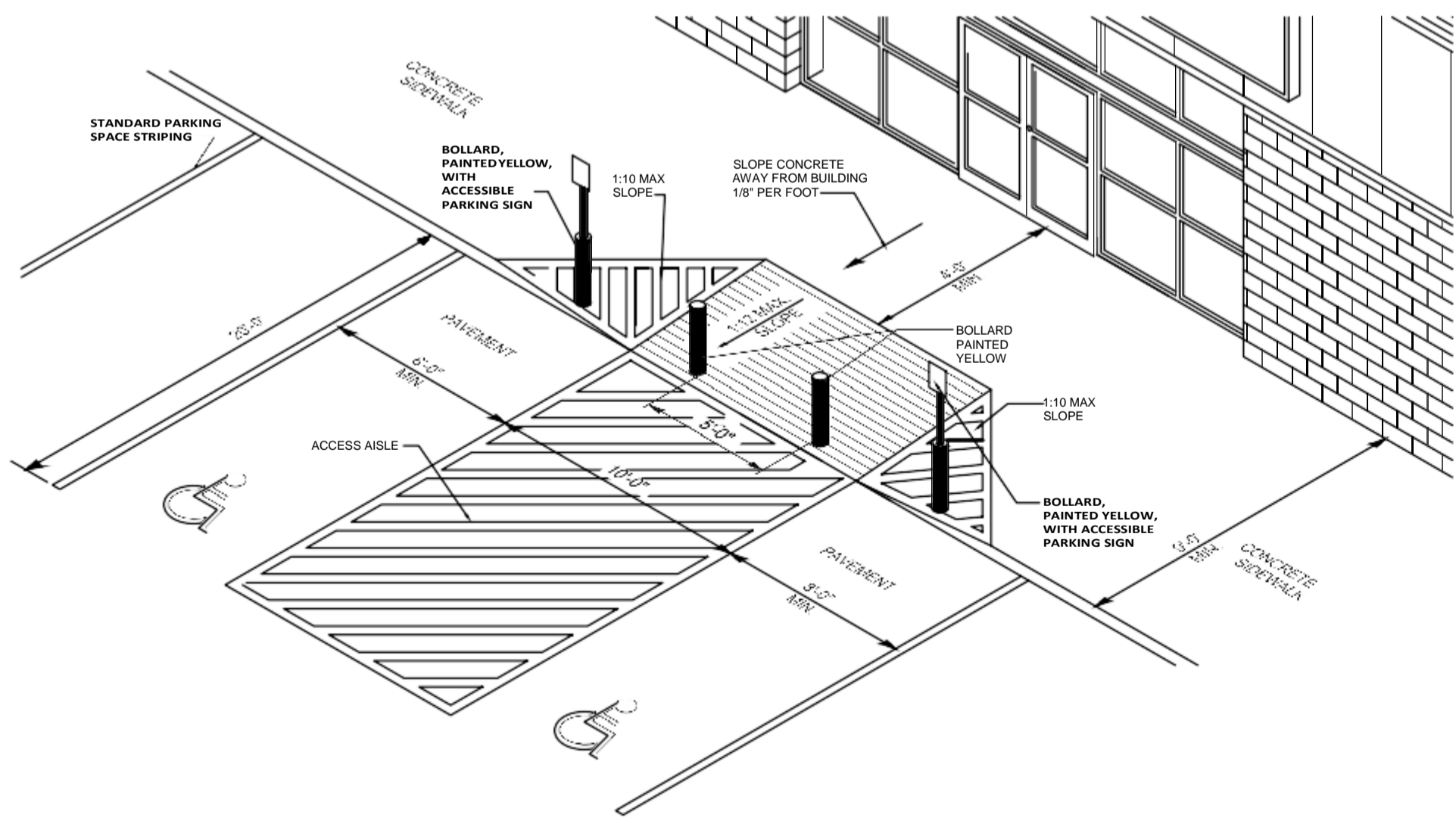
ENTRANCE BOLLARD DETAIL

SCALE HORZ: 3/4" = 1'-0"
VERT: N/A



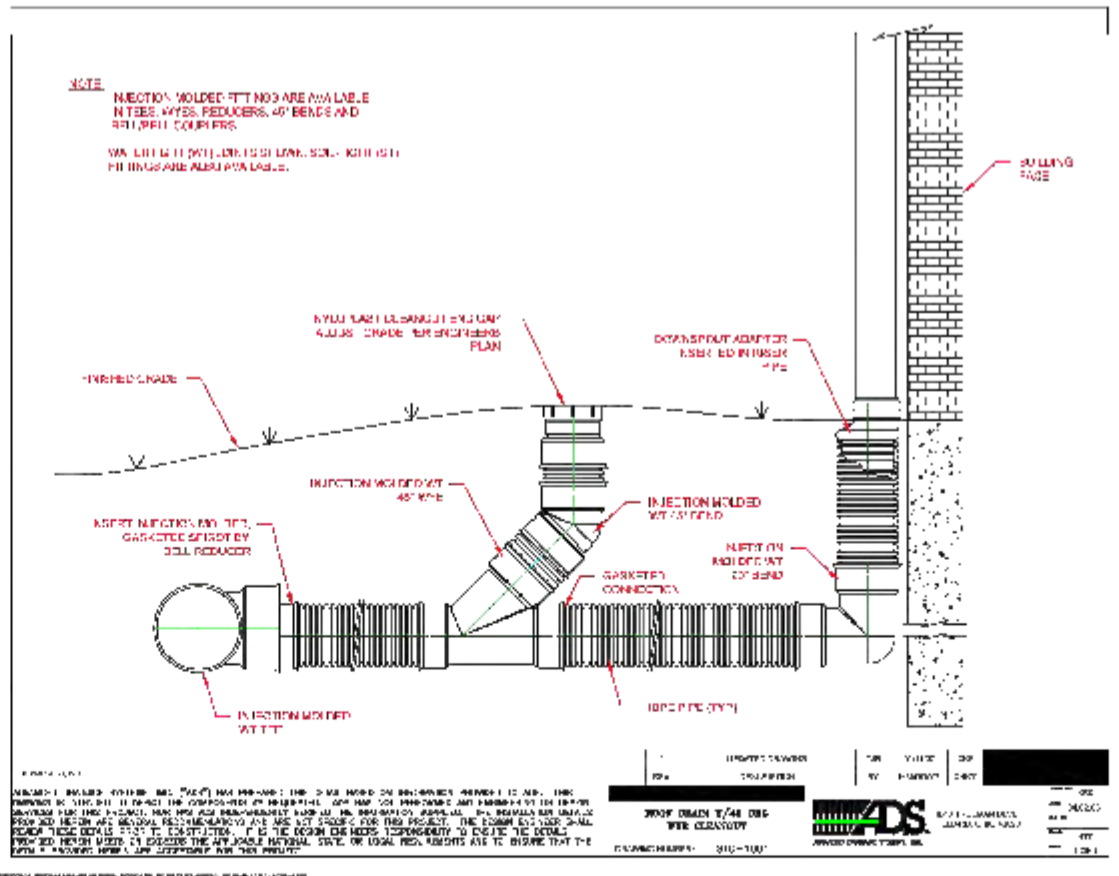
ACCESSIBLE PARKING SIGN DETAIL

SCALE HORZ: 3/4" = 1'-0"
VERT: N/A



ACCESS RAMP AND ACCESS AISLE DETAILS

SCALE HORZ: NTS
VERT: N/A



SITE PLAN SUBMITTAL SET NOT FOR CONSTRUCTION 5/20/2021



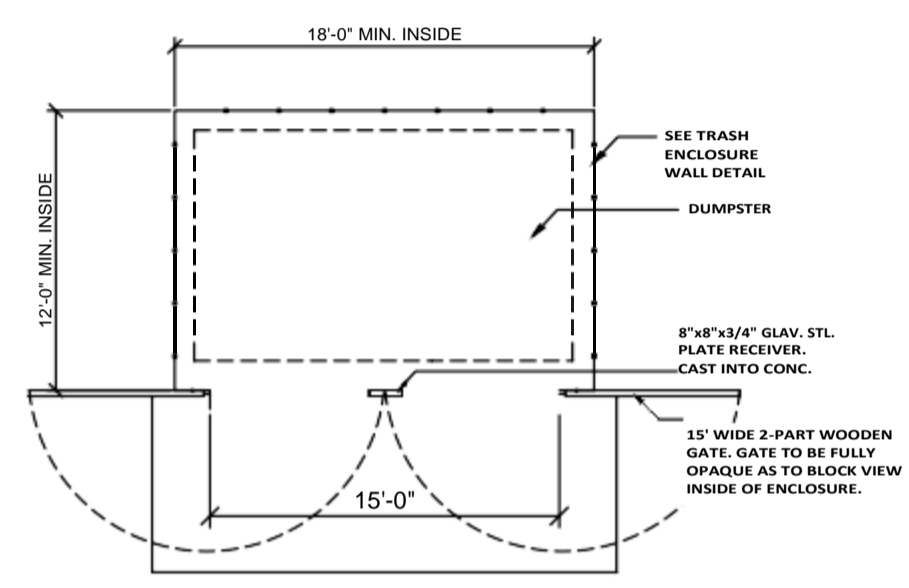
NO.	DESCRIPTION	DATE	BY	CKD

INBERG-MILLER ENGINEERS
124 East Main Street 1120 East C Street 350 Parsley Boulevard 193 West Fleming Gorge Way 830 E Richards St Ste 11300 East US Hwy 14-16
Riverton, WY 82501 Casper, WY 82401 Cheyenne, WY 82007 Green River, WY 82635 Douglas, WY 82633 Gillette, WY 82716
307-856-8136 307-577-0806 307-635-6827 307-875-4394 307-359-7000 307-682-5000

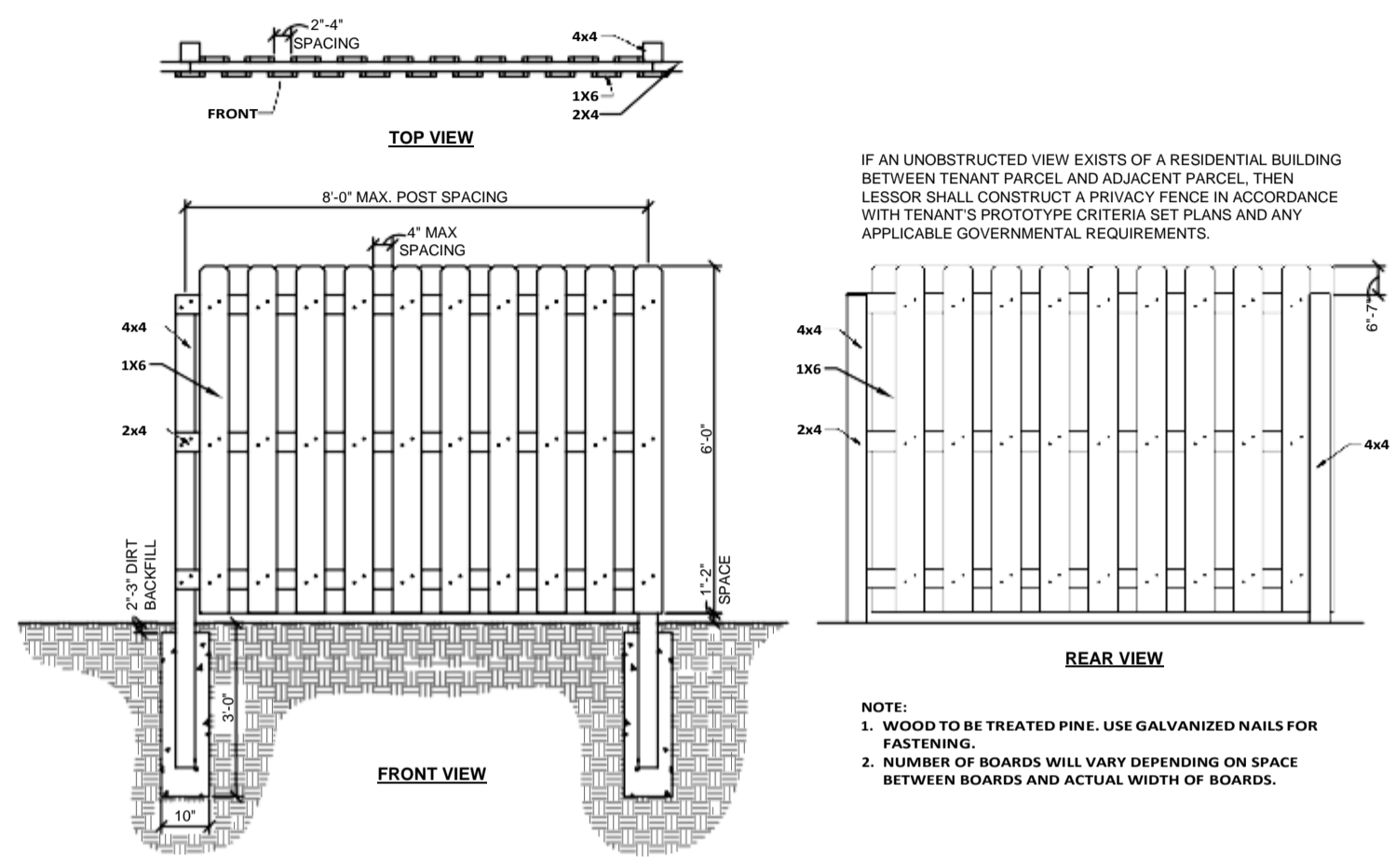
MILLS DOLLAR GENERAL STORE #23300 PROJECT
CAPITAL GROWTH BUCHALTER

CIVIL DETAILS SHEET C6.3

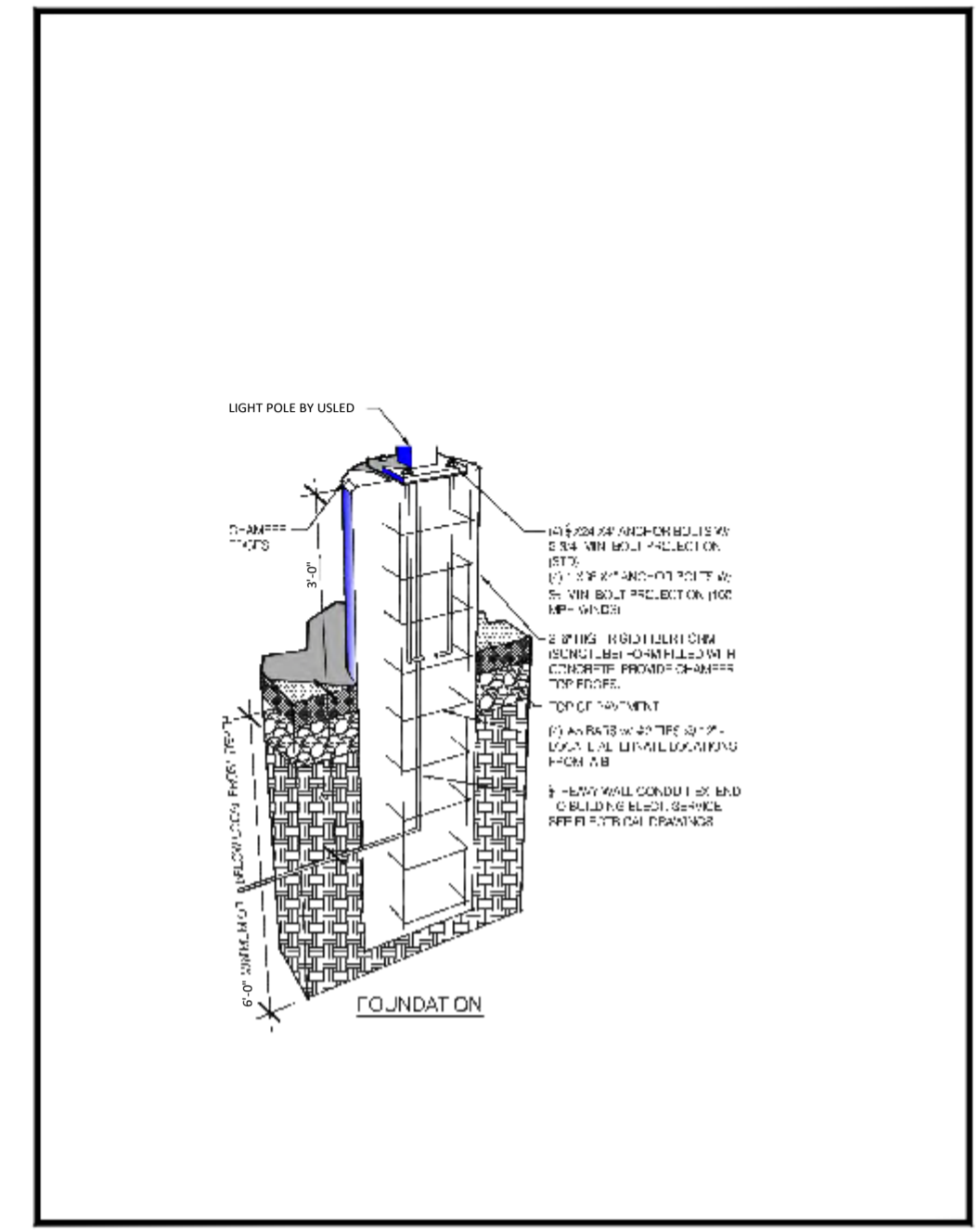
SCALE HORZ: N/A VERT: N/A
DRN. ARC BK: 1303 PAGE: 1-2
CHK. CDW
DATE: 5/20/2021
JOB NO. 21801-CE



TRASH ENCLOSURE PLAN
SCALE HORZ: 3/16" = 1'-0"

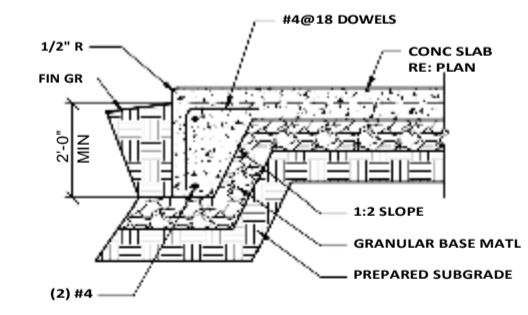


TRASH ENCLOSURE WALL AND SITE FENCE DETAIL
SCALE HORZ: 1/8" = 1'-0"



- NOTES:**
- USE 100 - MPH WIND LOADS FOR THIS PROJECT AND CORRESPONDING DIMENSIONS.
 - FOUNDATION SHOWN IS A TYPICAL DESIGN WIND LOADS OF MORE THAN 100 MPH & UNSTABLE SOIL CONDITIONS MAY REQUIRE AN ALTERNATE DESIGN. VERIFY CONDITION OF SOILS WITH SOILS REPORTS.
 - FOUNDATIONS SHALL EXTEND BELOW FROST DEPTH PER LOCAL CODES.
 - VERIFY ANCHOR BOLT & BASE PLATE SIZES AND LOCATIONS WITH OWNER AND LIGHT POLE SUPPLIER.
 - VERIFY FOUNDATION DIAMETER SIZE WITH LIGHT POLE SUPPLIER.
 - COORDINATE POWER TO LIGHT POLE WITH ELECTRICAL.
 - SEE CIVIL & PHOTOMETRIC DRAWINGS FOR LOCATIONS AND COORDINATE.

LIGHT POLE FOUNDATION DETAIL
SCALE HORZ: NTS



TRASH ENCLOSURE PAD DETAIL
SCALE HORZ: 3/16" = 1'-0"

**SITE PLAN SUBMITTAL SET
NOT FOR CONSTRUCTION
5/20/2021**



REVISIONS				
NO.	DESCRIPTION	DATE	BY	CKD

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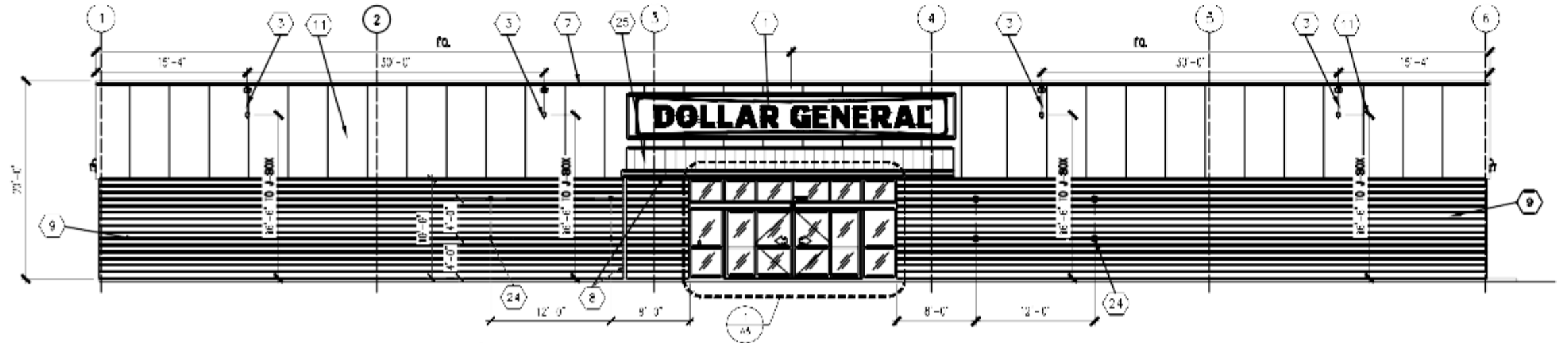
INBERG-MILLER ENGINEERS
124 East Main Street, 1100 East C Street, 200 Perry Boulevard, 193 West Plumtree Drive, 100 E. Main Street, 3000 E. Main Street, 1300 East US Hwy 16
Riverton, WY 82501 Casper, WY 82501 Cheyenne, WY 82092 Green River, WY 82530 Douglas, WY 82633 Gillette, WY 82716
307-856-8136 307-577-0806 307-635-6827 307-875-4394 307-875-7000 307-682-5000

**MILLS DOLLAR GENERAL STORE #23300 PROJECT
CAPITAL GROWTH BUCHALTER**

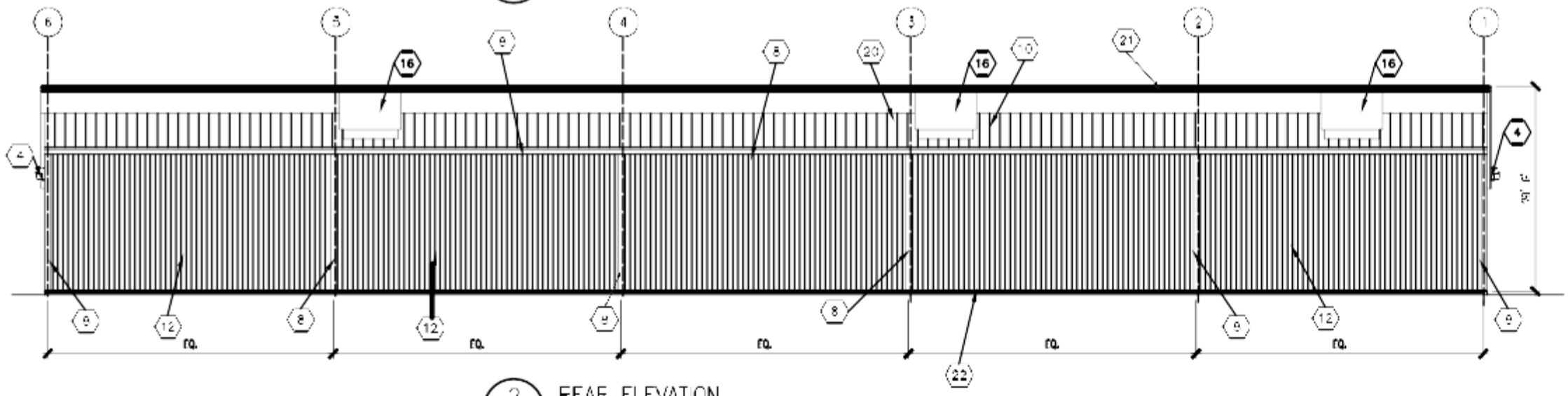
CIVIL DETAILS SHEET **C6.4**

SCALE: HORZ N/A, VERT N/A
DRN. ARC BK: 1303, CHK. CDW PAGE: 1-2, DATE: 5/20/2021, JOB NO. 21801-CE

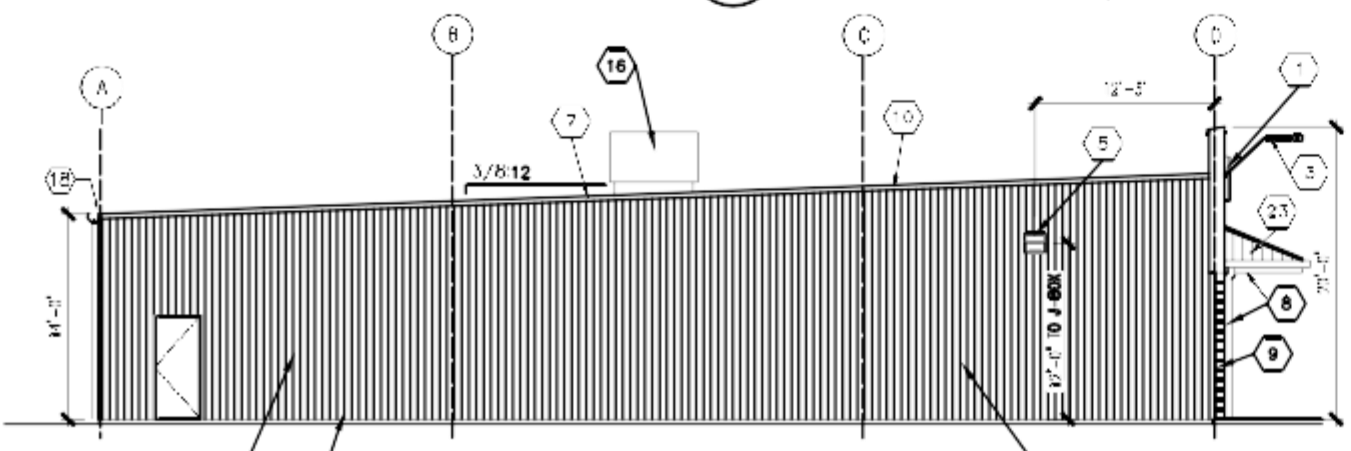
FINISHES	VP BUILDINGS		S'AR BUILDING SYSTEMS		NUCOR BUILDING SYSTEMS		60 BPT STEEL BUILDINGS		C-ITF BUILDINGS		PREFERRED COLORS IF ALTERNATE EX-FRAME MATERIALS ARE USED INSTEAD OF METAL PANELS
	ATTN: DAVID ENGLISH 901-568-4537		ATTN: JEFF HORN 866-664-8899		ATTN: BOB BARRY 315-622-4440		ATTN: KEVIN BUSLER 800-633-3378		ATTN: FRN SULLIVAN 800-846-1767		
EXTERIOR FINISHES ARE TO MATCH OR BE EQUAL TO VP METAL BUILDING SYSTEMS FINISH SCHEDULE UNLESS NOTED OTHERWISE. LOCAL JURISDICTION DOES NOT ALLOW.	Color Control	Color Control	Color Control	Color Control	Color Control	Color Control	Color Control	Color Control	Color Control	Color Control	Color Control
QUITTS											
DOWN SPOUTS											
SIDE AND REAR METAL WALL PANELS & RM. RECEIVING & EMERGENCY EX. DOORS (EXCEPT DOORS TO BE PAINTED, REFER TO DOOR SCHEDULE)											
ARCHITECTURAL BLOCK BUILDING FACADY TO BE PRE-FINISHED OR PAINTED (SEE COA'S)											
LOADING DOOR MASONRY COATING AS SHOWN ON COA'S											
EXTERIOR METAL WALL PANELS											
FLAT METAL ROOF WITH S'AR SYSTEM											
BUILDING FASCIA WALL, PARAPET OVER ENTRANCE, AND CANOPY											
S'AR SYSTEM											
STANDING SEAM METAL ROOF PANELS											
INTERIOR WALLS AND RECEIVING FLOOR LINER PANELS											



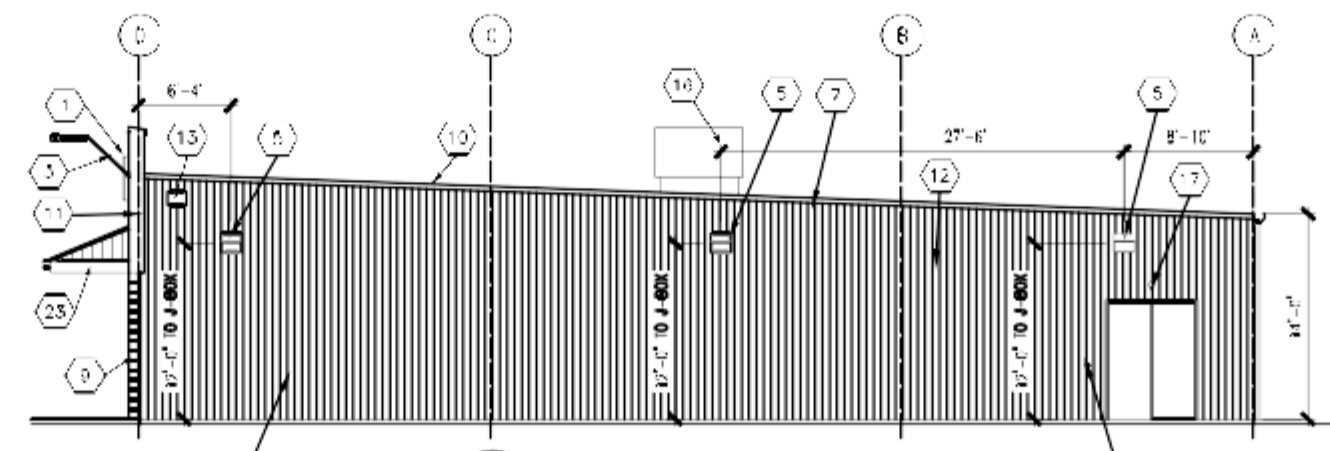
1 FRONT ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"



3 SIDE ELEVATION (NO ACCESS)
1/8" = 1'-0"



4 SIDE ELEVATION (TRUCK SIDE)
1/8" = 1'-0"

- ELEVATION KEYED NOTES
- SIGN FURNISHED AND INSTALLED BY DOLLAR GENERAL CORP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT UP TO 1400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF CANOPY. CONTRACTOR IS TO PROVIDE ADEQUATE STRUCTURE TO SUPPORT SIGN. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.
 - NOT USED.
 - FLOOD LIGHT. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
 - NOT USED.
 - WALL PACK. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
 - NOT USED.
 - TRM - SEE FINISH SCHEDULE FOR COLOR.
 - QUITTR AND DOWNSPOUT - SEE FINISH SCHEDULE FOR COLOR.
 - 8" SPLIT FACE CONCRETE MASONRY UNIT.
 - STANDING SEAM METAL ROOF.
 - PRE-FINISHED METAL WALL PANELS FOR FASCIA AND PARAPET OVER ENTRANCE. REVERSE RB PROFILE.
 - PRE-FINISHED METAL WALL PANELS FOR SIDE AND REAR. PROVIDE TAMPER-RESISTANT FASTENERS FOR BOTTOM 8'-0"
 - VEN. FOR BATH-ROOM EX-AUST. REFER TO MECHANICAL DRAWING M1 FOR ADDITIONAL INFORMATION.
 - DOOR BUZZER. REFER TO ELECTRICAL DRAWING E1 FOR ADDITIONAL INFORMATION.
 - NOT USED.
 - HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL SCHEDULE M1 FOR MORE INFORMATION.
 - OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOOR AT 9'-0" A.F.F.
 - MINIMUM EAVE HEIGHT IS 14'-0" A.F.F.
 - PARAPET BEYOND.
 - IN NORTHERN CLIMATE, PROVIDE SNOW GUARDS ON ROOF PER LOCAL CODE.
 - EXTEND PARAPET WALL UP AS NEEDED TO SCREEN ROOF MOUNTED EQUIPMENT IF REQUIRED BY LOCAL ORDINANCE.
 - FINISH GRADE TO BE A MINIMUM OF 6" BELOW FINISHED FLOOR LEVEL AT ALL NONPAVED AREAS.
 - NOT USED.
 - 1/2" DIAMETER x 6" LONG STEEL RYB BOLTS (CLASS 7) WITH 1" DOME TR OPENINGS. DRILL AND EPOXY IN 0 BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY. TOTAL OF 8 BOLTS.

DESIGNER NOTE:
IF ADDITIONAL SCREENING IS REQUIRED FOR ROOF MOUNTED EQUIPMENT PER LOCAL CODE, CONTACT DOLLAR GENERAL FOR APPROVAL.

DESIGNER NOTE:
IF JURISDICTION REQUIRES ANY DEVIATIONS FROM PROTOTYPE IN DESIGN OR SIGNAGE, ELEVATIONS MUST BE SUBMITTED TO DOLLAR GENERAL FOR APPROVAL PRIOR TO SUBMISSION TO CITY.

REVISIONS:

THESE DOCUMENTS ARE PROVIDED AS A CONSTRUCTION DOCUMENT TEMPLATE FOR THIS BUILDING TYPE. THESE DRAWINGS MUST BE REVIEWED AND ADAPTED BY A LICENSED ARCHITECT AND ENGINEER TO COMPLY WITH THE REQUIREMENTS OF ALL FEDERAL, STATE AND LOCAL AUTHORITIES FOR SITE SPECIFIC PROJECTS. ALL PROJECTS MUST BE APPROVED BY DOLLAR GENERAL PRIOR TO START OF CONSTRUCTION.

STORE NUMBER
STREET ADDRESS
CITY - STATE

DOLLAR GENERAL
PRCTOTYPE CRITERIA SET PLAN
76'-0" X 140'-0" 10,640 SF PROTOTYPE "D" PLUS"
ARCHITECTURAL AND ENGINEERING DEPARTMENT (615) 865-4753
BISPLANS@DOLLARGENERAL.COM

DATE: MARCH 23, 2019
DRAWING TITLE: EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"
SHEET NO.

A2



**TAP Attachment G: Resolution
RESOLUTION NO. Resolution #2021-20**

A RESOLUTION AUTHORIZING THE SUBMISSION OF AN APPLICATION FOR FEDERAL FUNDING THROUGH THE TRANSPORTATION ALTERNATIVES PROGRAM ADMINISTERED BY THE WYOMING DEPARTMENT OF TRANSPORTATION FOR City of Mills FOR THE PURPOSES OF THE Mills Riverfront to Robertson Road Mixed Use Path PROJECT.

WITNESSETH

WHEREAS, the governing body for City of MillsCity of Mills desires to participate in the Transportation Alternatives Program (TAP) to assist in funding this project;

WHEREAS, the governing body for City of Mills recognizes the need for the project;

WHEREAS, TAP requires that federal funding criteria be met, and City of Mills agrees to ensure satisfaction of all requirements;

WHEREAS, City of Mills acknowledges that if funded, the TAP project shall be completed prior to December 31, 2024;

WHEREAS, the governing body for City of Mills agrees to set aside a minimum of \$\$100,000.00 as a line item in its budget for the required twenty percent (20%) local cash match on the project;

WHEREAS, the governing body for City of Mills acknowledges TAP is funded on a reimbursement basis and all invoices must be 100% paid by City of Mills prior to reimbursement through TAP (80% Federal Reimbursement). City of Mills acknowledges that failure to comply with this requirement may result in cancellation of the award and repayment by City of Mills of all funds reimbursed.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY for City of Mills that a funding application requesting \$\$500,000.00 in federal TAP funding be submitted to the Wyoming Department of Transportation – TAP for consideration to assist in funding for the City of Mills project.

BE IT FURTHER RESOLVED, THAT Sabrina Kemper, project administrator is hereby designated as the Project Administrator, of City of Mills to act on behalf of the governing body on all matters relating to this funding application.

PASSED, APPROVED AND ADOPTED THIS ____ DAY OF ____, 2021.

Signature
Seth Coleman, Mayor

ATTEST:

Signature
Christine Trumbull, City Clerk

Darla R. Ives, Council

Sara McCarthy, Council

James Hollander, Council

Brad Neumiller, Council

CITY OF MILLS

RESOLUTION 2021-21

A RESOLUTION FIXING THE TAX LEVEY FOR THE CITY OF MILLS FOR THE FISCAL YEAR ENDING JUNE 30, 2022

WHEREAS, the governing body of the City of Mills, Wyoming must set the tax levy for the fiscal year ending June 30th , 2019.

SECTION 1. That the amount of taxes to meet the expenditures of the City of Mills, Wyoming, for the fiscal year beginning July 1st ,2021 and ending June 30th , 2022. Shall be 8 (eight) mills, known as the general tax.

PASSED, ADOPTED AND APPROVED ON THE _____ OF _____ 2021.

Seth Coleman, Mayor

Sara McCarthy, Council

Darla R. Ives, Council

James Hollander, Council

Brad Neumiller, Council

ATTESTED:

Christine Trumbull, City Clerk

RESOLUTION 2021-22

CITY OF MILLS

FIXED ASSETS

This document sets forth fixed asset accounting procedures for the City of Mills. These policies define “Fixed Assets”, system maintenance, capitalization and depreciation guidelines, and inventory guidelines. This document sets forth fixed asset accounting procedures for the City of Mills. These policies define “Fixed Assets”, system maintenance, capitalization and depreciation guidelines, and inventory guidelines.

Definition of a Fixed Asset

The City of Mills defines a fixed assets tangible property, obtained and controlled as a result of past transactions, events, or circumstances, which is to be used in a productive capacity by the City of Mills and which will benefit the City for a period of more than three years.

System Maintenance and Inventory Guidelines

To qualify for inclusion as a capitalized asset in the City of Mills fixed asset system, the following five (5) criteria must be met.

1. The asset must have a cost or dollar value of \$5,000 or more.
2. The asset must have a useful life exceeding three (3) years or more (based on reasonable estimates).
3. The asset must be land, building, building improvements, or be tangible in nature.
4. The asset doesn’t lose its identity as part of a larger unit.
5. The asset is not a repair part or supply item.

The City of Mills has determined that assets having a value under \$5,000, regardless of their useful life, will not be capitalized. As such, these assets will not be used for financial reporting purposes. However, assets having a value of at least \$2,500 may be entered into the computer system for control purposes only. Asset cost entered into the system will include any applicable ancillary costs. All computer assets will be inventoried by the Informational Technology Department. Remaining assets will be inventoried by the Shipping and Receiving Department.

Depreciation

All assets over \$5,000 will be depreciated annually using the straight-line method, with exception being given for building improvements, ground improvements, and infrastructure. These fixed asset exceptions will be depreciated only if the value is over \$50,000. Any building and ground improvements and infrastructure under \$50,000 will be expensed in the year incurred. The CITY of Mills has determined useful lives of assets based on the following general categories.

- | | |
|-----------------------------------|---------------------------------|
| Buildings – 40 years | Equipment – 3 to 14 years |
| Building Improvements – 20 years | Heavy Equipment – 3 to 14 years |
| Land/Site Improvements – 20 years | Vehicles – 5 years |
| Infrastructure – 25 to 50 years | Buses – 8 to 10 years |
| Library Books – 5 years | Computers – 3 to 5 years |

PASSED, APPROVED AND ADOPTED THIS _____ DAY OF _____
2021.

Seth Coleman, Mayor

Sara McCarthy, Council

Darla R. Ives, Council

James Hollander, Council

Bradley Neumiller, Council

ATTESTED:

Christine Trumbull, City Clerk

RESOLUTION 2021-23

CITY OF MILLS

A RESOLUTION OF THE CITY OF MILLS, WYOMING, DESIGNATING THE BANKING INSTITUTIONS TO BE USED FOR THE FISCAL YEAR BEGINNING JULY 1ST, 2021 TO JUNE 30TH, 2022.

WHEREAS, the City of Mills has designated the banking institutions below for the fiscal year beginning July 1st , 2021 and ending June 30th , 2022, and

WHEREAS, the City of Mills desires to continue to use the below institutions.

NOW THEREFORE, be it resolved by the Governing Body of the City of Mills, Wyoming, that the City of Mills use the following banks for the fiscal year beginning July 1st, 2021 and ending June 30th, 2022.

First Interstate Bank

Wyoming Government Investment Fund

Jonah Bank

First State Bank, Division of Glacier Bank

Hilltop National Bank

Passed, approved and adopted on this _____ day of _____ 2021.

Seth Coleman, Mayor

Sara McCarthy, Council

Darla R. Ives, Council

James Hollander, Council

Bradley Neumiller, Council

ATTESTED:

Christine Trumbull, City Clerk

RESOLUTION NO. 2021-24

A RESOLUTION AUTHORIZING THE MAYOR TO EXECUTE AN AGREEMENT WITH CHILDREN'S ADVOCACY PROJECT AND PROVIDING FOR THE PAYMENT OF SERVICES PROVIDED THEREIN

WHEREAS, the City of Mills is authorized by W.S. §35-1-614b to contract with private agencies or community boards to provide human service programs for persons within its jurisdiction, and;

WHEREAS, The CHILDREN'S ADVOCACY PROJECT is a Wyoming non-profit corporation which provides coordinated forensic and comprehensive services for alleged victims of child abuse and neglect in order to minimize trauma to children, and;

WHEREAS, the City of Mills has funding within its budget to enter into an agreement with The Children's Advocacy Project to provide these services for persons within its jurisdiction and to pay for the cost of said services.

THEREFORE, BE IT RESOLVED, the City Council of the City of Mills, Wyoming hereby finds that it is in the best interests of residents of the City to enter into an agreement with the Children's Advocacy Project to provide services for children of alleged abuse and neglect and the Interim Mayor is hereby authorized to enter into an agreement to provide for said services during the FY 21 budget year.

IT IS FURTHER RESOLVED that the cost of said services in the amount of three thousand dollars (\$5,000) shall be paid from funds budgeted in the City's Council Goals line item as contained in its budget for the FY 22.

PASSED, APPROVED, AND ADOPTED this _____ day of _____, 2021.

Seth Coleman, Mayor

ATTEST:

Christine Trumbull
City Clerk

Darla R. Ives, Council

Sara McCarthy, Council

James Hollander, Council

Bradley Neumiller, Council

RESOLUTION 2021-25

FAIR HOUSING

WHEREAS, the governing body of the City of Mills firmly believes that discrimination in housing, employment and public accommodation not only threatens the rights and privileges of the citizens of the community but also menace the institutions and foundations of a free and democratic society, and

WHEREAS, the governing body of the City of Mills desires to give effect to the guarantees for equal rights contained in the Constitution and laws of this State and the United States and to encourage and bring about mutual self-respect and understanding among all the citizens and groups in the community, and.

WHEREAS, under the Federal Fair Housing Law, it is illegal to deny housing to any persons because of race, color, religion, sex, familial status, disability or national origin:

Therefore, be it resolved that the City of Mills will: County of Natrona, Wyoming, makes a firm commitment to eliminate prejudice, intolerance, disorder and discrimination in housing based on race, color, religion, sex, familial status, disability or national origin.

THEREFORE, be it also resolved that the City of Mills will adhere to the following procedures to accomplish the purpose of the aforementioned resolution.

- 1. All and any discrimination complaints will be in writing, signed and addressed to the

**Office of Fair Housing and Urban Development
1405 Curtis Street
Executive Towers
Denver, CO 80202**

- 2. The Fair Housing and Equal opportunity Logo will be displayed in the City buildings.
- 3. The City of Mills:
 - a. Assist and promote community efforts and responsible local fair housing within the community
 - b. Encourage local fair housing advocates in developing education programs to provide fair housing information to the community:
 - c. Instruct all department heads regarding the goals and objectives of the Fair Housing Law:
 - d. Post a copy of the adopted Fair Housing Resolution in City Hall and Mills Post Office.

PASSED, APPROVED AND ADOPTED ON THIS _____ OF _____ 2020.

Seth Coleman, Mayor

Sara McCarthy, Council

Darla R. Ives, Council

James Hollander, Council

Bradley Neumiller, Council

ATTESTED:

Christine Trumbull, City Clerk



CITY OF MILLS
EST. 1921

City of Mills
704 Fourth Street / PO Box 789
Mills, WY, 82644
307-234-6679

Permit # _____ Item # 16.

Fee \$ 50.00

Catering Permit Application

Permit Fees Are Nonrefundable

ESTABLISHMENT APPLYING FOR PERMIT

BAYOU LIQUORS	BEACON CLUB
BIDS PLACE	D's OREGON TRAIL BAR
MAVERIK ADVENTURE STOP	STAGGERS BAR
THE HIDEAWAY LOUNGE	UNCORKED FINE WINE AND SPIRITS

APPLICANT INFORMATION		
APPLICANT: <u>Hideaway Bar</u>		
CONTACT PERSON: <u>David Wilson</u>		
ADDRESS: <u>211 Buenvista</u>		
CITY: <u>Mills</u>	STATE: <u>WY</u>	
TELEPHONE: <u>337-1983</u>		CELL: <u>247-032</u>

EVENT INFORMATION		
EVENT NAME: <u>Hot Rods & Harley ^{Bike and} Car Show / Hunting w Heros</u>		
TYPE OF EVENT:	<input type="checkbox"/> WEDDING <input type="checkbox"/> REUNION <input type="checkbox"/> ART SHOW <input type="checkbox"/> PRIVATE COMPANY PARTY <input type="checkbox"/> CONCERT <input checked="" type="checkbox"/> FUND RAISER <input type="checkbox"/> OTHER _____	
EVENT DATE: <u>7-31-21</u>	EVENT TIME: <u>6am to 8pm</u>	
EVENT ADDRESS:		
OUTSIDE EVENT: YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	STREET EVENT: YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	STREET CLOSURE NEEDED: YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

FEES	
CITY OF MILLS CATERING PERMIT: \$25.00 ^{50.00} A DAY	NUMBER OF DAYS PERMITTED: <u>1</u>
CITY OF MILLS CATERING PERMIT FEES ARE NON-REFUNDABLE:	TOTAL: _____
APPLICANTS SIGNATURE:	DATE:

CITY OFFICIALS	
POLICE CHIEF:	DATE:
FIRE CHIEF:	DATE:
APPROVAL SIGNATURE:	APPROVAL DATE:

TOWN OF MILLS
PO BOX 789
704 FOURTH STREET
MILLS WY 82644

307-234-6679

Receipt No: 1.029318 Jun 14, 2021

Hideaway Bar

Previous Balance: .00

Permits
Alcohol Permit - Hideaway Bar 50.00

10-36-100
Miscellaneous Revenue

Total: 50.00

Check - Jonah Operating
Check No: 6748 50.00

Payor:
Hideaway Bar - Catering Permit
Total Applied: 50.00

Change Tendered: .00

Duplicate Copy
06/14/2021 8:42 AM

**MANAGER AGREEMENT
MILLS ANIMAL CONTROL FACILITY**

Agreement between the City of Mills, Wyoming, a Wyoming municipal corporation organized under the laws of the State of Wyoming and hereinafter sometimes referred to as “Mills”, and the Casper Humane Society, a Wyoming Non-Profit Corporation hereinafter sometimes referred to as “Manager”

RECITALS

A. The City of Mills is a municipal corporation duly organized under the laws of the State of Wyoming which is located within the boundary of Natrona County, Wyoming.

B. The City of Mills anticipates undertaking to enforce the provisions of the law and ordinances applicable within the City of Mills in regard to animals.

C. The City of Mills further anticipate that it may enter into arraignments with other municipalities and governmental entities in Natrona County, Wyoming, exclusive of the City of Casper, Wyoming and Natrona County, Wyoming under which those other municipalities may contract with the City of Mills for the provision of animal control operations.

D. The Ci of Mills accordingly anticipates requiring an animal facility (“Animal Control Facility” or “Facility”) for animals coming into the custody of the City of Mills.

D. The Casper Humane Society is a Non-Profit Corporation organized under the laws of the State of Wyoming and located within Natrona County, Wyoming.

E. The Casper Humane Society has as part of its mission that it has the purpose of finding home for homeless animals, encouraging the neutering of pets, and preventing and alleviating cruelty to animals.

F. Mills desires to have the Casper Humane Society act as the Manager for the Animal Control Facility.

G. Mills desires to engage the services of Manager to manage and operate the Animal Control Facility and Manager desires to do the same in accordance with their respective goals and aims as set forth above.

In consideration of the mutual covenants contained herein, the parties, therefore agree:

SECTION ONE
COMPENSATION

The City of Mills Agrees to pay, and Manager agrees to accept, the sum of Twenty-Five Thousand Dollars (\$25,000.00) in compensation on an annual basis for all services to be performed under this Contract. Said compensation shall be deemed to be full and adequate consideration for the same. Said Compensation shall be paid in one single annual payment to be made no later than the 1st of July or the business day thereafter for each year this Agreement is in effect.

SECTION TWO
TERM

The term of this agreement shall be for One (1) year, with said year commencing on the 1st day of July 2021. This agreement shall be renewable upon the agreement of both parties for additional One (1) year terms thereafter. In the absence of an expressed notification by either party that it desires to terminate this agreement provided at least one hundred twenty (120) days prior to the commencement of the renewal date, this agreement shall be deemed to have been renewed.

After a period of five (5) years, this agreement shall be renewed as to all terms including Compensation and modified as appropriate. In the absence of specific written modifications, the terms of this agreement shall control.

SECTION THREE
EMPLOYMENT OF MANAGER

Manger shall act as the Manager of the Mills Animal Control Facility under the terms and conditions set forth in this Agreement. Manager shall be deemed to be a contractor, and not an employee of the City of Mills at all times.

SECTION FOUR
FACILITY

Initially, Mills shall provide an Animal Control Facility that shall consist of a 6,000 square foot shop with office space and a half acre fenced outside area. The Facility shall be equipped with kennels for ten (10) dogs and (15) cats. Mills will provide outside kennels for the Facility upon request. Supplies for the Facility shall be provided by the City of Mills. Manager shall be responsible for cleaning and maintenance of all kennels associated with the Facility.

The City shall be fully responsible for all physical upkeep and maintenance of the structure, including, but not limited to, the physical repair of the structure, its plumbing, and electrical facilities, except where otherwise provided herein. The City shall further be responsible for all reasonable and necessary charges associated with Facility including the provision of utilities to the same, including heating, water and electricity and the provision of all such fixtures such as would be deemed to be ordinary and necessary for the equipping of a facility of like kind and purpose.

Space within the Facility which is available for use by the City of Mills and which is not necessary for the use of Manager for Facility may be used by the City of Mills for other purposes. The City of Mills shall be fully responsible for all such space in Facility that is so used. Nothing in the City of Mills' use of said space shall interfere in any fashion with the operation of Facility.

SECTION FIVE
OPERATIONS

Manager shall use its best efforts to ensure that the Facility is operated professionally at all times. Manager shall provide personnel to take care of the animals in its custody in the Facility and make certain that they are provided with adequate food, shelter and veterinary care. Costs for food and veterinary care for such animals shall be borne at all times by the City of Mills as long as the animals are under the custody of the City of Mills pursuant to this agreement. Should Manager need to provide the same on an emergency basis the City shall reimburse Manager for the cost of the same.

Transportation of animals to the facility by the City of Mills shall be conducted by employees of the City of Mills and be the responsibility of the City of Mills during transportation. Cleaning and upkeep of all kennel facilities shall be the responsibility of Manager. Nothing in this agreement shall be deemed to transfer the City of Mills' enforcement of its ordinances and resolutions concerning Animal Control to the Manager.

The City of Mills' Facility shall be available for the use of Manager should Manger have a need or desire to transfer any animals housed at its other facilities and there is space available at the City's facility. Space at the Facility shall nonetheless be prioritized such that space shall first be used for animals that are transferred to the Facility by the City. Animals transferred to Facility by Manager from any of its other facilities shall remain in the custody and control of Manager for purposes of this agreement and Manager shall be responsible for their feeding and care.

SECTION SIX
ANIMALS

Throughout this Agreement it is to be understood that the use of the word "Animals" shall apply to domestic cats and dogs. The parties agree that the obligations of the parties to this Agreement shall not apply to any other animal type or species unless the parties mutually agree to the same by written exception to this Agreement.

It is further understood that, unless specifically provided by way of a written exception authored by the City of Mills, that animals brought into the Facility by the City of Mills from another municipality shall be treated in the same manner and with the same provisions that animals from the City of Mills shall be.

SECTION SEVEN
EMPLOYEES

Manager shall employ, discharge and supervise all its on-site employees, independent contractors or volunteers required for the efficient operation and maintenance of the Facility as

contemplated by this agreement. Manager shall be deemed to be an independent contractor and all its employees, independent contractors or volunteers shall be deemed to have a legal master servant relationship with Manger and not with the City of Mills. The parties agree that no employment contracts shall be deemed to arise between the City of Mills and any of Manager’s employees, independent contractors or volunteers. Manager shall undertake to enroll any such employee with Wyoming Workers Compensation who is required to be so enrolled. Manager understand and agrees that the City of Mills shall not cover Manager’s employees, agents or volunteers under its insurance or under its Workers Compensation accounts.

Employees and independent contractors of the City of Mills shall at all times be employees of the City of Mills and not Manager’s. It shall be the obligation of Mills to enroll any such employee with the City of Mills’ insurance. Mills understands and agrees that Manager shall not cover Mill’s employees, agents or volunteers under its insurance or under its Workers Compensation accounts.

SECTION EIGHT
TRANSFER OF ANIMALS TO MANAGER

The parties to this agreement provide that the City shall house animals that it acquires in the course and scope its duties in the Facility for a period of five (5) days. During that time the City shall facilitate the reunion of all such animals with their owners.

After five (5) days have expired, all animals that have not been reunited with their owners shall transfer to the custody of Manager, which may move them to its own facility if there is space available and which shall then care for the animal at its own expense and under its own internal policies no matter where they are located. At that point there shall be no further obligation of the City of Mills as to said animal.

The City of Mills will undertake to provide that for all such animals being transferred to Manager under this agreement that such animals shall be spayed or neutered prior to the transfer, with it being understood that the City shall undertake to arrange for veterinary services for animals subject to this Agreement and arrange for this accordingly as part of the same.

It is recognized that, from time to time, there may be animals that come into the facility by the City of Mills that the City of Mills will subsequently desire to retain custody and control of for a period in excess of five (5) days. In such cases said the City of Mills shall identify any such animals so that its status will be known to Manager. For any such extended period of time in which Mills shall retain custody of an animal beyond the five (5) day period mentioned above, the expense of the feeding and care of the animal shall remain the responsibility of Mills.

SECTION NINE
GOVERNMENT REGULATIONS

Manager shall manage the property in full compliance with all laws and regulations of any federal, state, county or municipal authority having jurisdiction over the property.

SECTION TEN
RECORDS AND REPORTS

Manager will keep all such books, accounts and records that are ordinary and customary for the operation of a facility of the type contemplated herein, including all such records that are appropriate under its own internal policies. Manager shall keep such records such as may be required for the operation of the facility by the City of Mills for its purposes in regard to identifying the animals in its care and as may pertain to the care of the same.

SECTION ELEVEN
NOTICE

All notices, requests, demands or other communications hereunder shall be in writing, and shall be deemed to have been duly given if delivered in person, or within two days after depositing such notices, requests, demands or other communication with an overnight delivery service, or as otherwise actually delivered to the other party at its respective business office. For purposes of this agreement, unless subsequently provided otherwise, for purpose of agreement those offices shall be:

City of Mills
704 4th Street
P.O. Box 789
Mills, WY 82644

Casper Humane Society
849 East E Street
Casper, WY 82601-2051

SECTION TWELVE
PARTIES BOUND; ASSIGNMENT

This agreement is not assignable without the prior written consent of both parties. Nothing in this agreement shall be read to presume that consent will be given. The non-assignability of this agreement is presumed.

SECTION THIRTEEN
EFFECT OF PARTIAL INVALIDITY

Should any section or any part of any section of this agreement be rendered void, invalid or unenforceable for any reason by any court of law exercising competent jurisdiction, such a determination shall not render void, invalid or unenforceable any other section or any part of any section in this agreement.

SECTION FOURTEEN
CHOICE OF LAW

This agreement has been made and entered into in the State of Wyoming, and the laws of such state shall govern the validity and interpretation of this agreement and the performance due hereunder. Should suit be required concerning this agreement or the obligations which are set forth hereunder the same must be brought in the court of appropriate jurisdiction in Natrona County, Wyoming.

SECTION FIFTEEN
INTEGRATION

The drafting, execution and delivery of this agreement by the parties have been induced by no representations, statements, warranties or agreements other than those expressed in this agreement. This agreement embodies the entire understanding of the parties, and there are no further or other agreements or understandings, written or oral, in effect between the parties relating to the subject matter hereof unless expressly referred to in this agreement.

SECTION SIXTEEN
ATTORNEY FEES

Should either party bring suit to enforce any of the terms of this agreement, the prevailing party shall be entitled to recover court costs and reasonable attorney fees.

SECTION SEVENTEEN
MODIFICATION

This agreement may not be modified unless such modification is in writing and signed by both parties to this agreement.

SECTION EIGHTEEN
CONSULTATION

The parties to this Agreement shall meet on a quarterly basis to address any and all issues that might arise regarding the terms of this agreement and the services to be provided herein. Topics to be addressed shall include information exchange, customer and public service concerns, and recommendations pertaining operations.

SECTION NINETEEN
LIABILITY APPORTIONMENT CONTROLLED BY LAW

Nothing in this agreement shall be read to require either party to indemnify or hold harmless the other for any claims, demands, or suits brought by their parties. Liability and apportionment of fault shall be controlled under the law of the State of Wyoming with it being accepted under the terms of this agreement that Manager is an independent contractor which is responsible at law for its own torts in accordance with the laws of the State of Wyoming.

The parties have executed this agreement this _____ day of _____, 2019.

THE CITY OF MILLS

CASPER HUMANE SOCIETY

By: _____

By: _____

Its: _____

Its: _____