

**REGULAR CITY COUNCIL  
MEETING**

**February 25, 2025**

**7:00 PM**

**City Hall**



**CITY OF MILLS**  
EST. 1921

**Mayor:**  
Leah Juarez  
**Council President:**  
Brad Neumiller  
**Council Members:**  
Cherie Butcher  
Sara McCarthy  
Tim Sutherland

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**AGENDA**

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**CALL TO ORDER**

**ROLL CALL**

**PLEDGE OF ALLEGIANCE**

**CONSENT AGENDA**

**Minutes**

- [1.](#) Council Meeting Minutes 2-11-25

**City Licenses**

- [2.](#) New and Renewal Business and Contractor Licenses

**Financial Approvals**

- [3.](#) Financial Breakdown - Check Register & Future ACH/EFT Transactions
- [4.](#) PAID ACH / EFT Transactions
- [5.](#) Payroll Regular / Police 1-27-25 to 2-9-25
- [6.](#) Fire Payroll 2-7-25 to 2-18-25
- [7.](#) Transmittal Transactions

**OPEN DISCUSSION**

**EXECUTIVE SESSION**

8. Executive Session - Legal Matter

**ORDINANCES AND RESOLUTIONS**

- [9.](#) **ORDINANCE NO 819 - VACATION - SECOND READING**

**AN ORDINANCE VACATING A .63 ACRE PARCEL OF THE FORMER WYOMING BOULEVARD IN THE CITY OF MILLS, WYOMING AND TRANSFERING THE SAME TO MOBILE CONCRETE, INC.**

- [10.](#) **ORDINANCE NO 820 - CHAPTER 13.03 UTILITY BILLING AND COLLECTION - SECOND READING**

**AN ORDINANCE AMENDING CERTAIN PROVISIONS OF TITLE 13, PUBLIC SERVICES,  
CHAPTER 13.03 UTILITY BILLING AND COLLECTION**

**11. RESOLUTION NO 2025-10 - SAGE ADDITION**

**A RESOLUTION APPROVING THE FINAL PLAT FOR LOTS 2A & 3A, SAGE  
ADDITION, AN ADDITION TO THE CITY OF MILLS**

**12. RESOLUTION NO 2025-11 - VISION BEYOND BORDERS DEVELOPMENT PLAN**

**A RESOLUTION FOR APPROVAL OF A DEVELOPMENT PLAN FOR A PROPOSED  
COMMERCIAL POLE BUILDING FOR VISION BEYOND BORDERS, LOCATED ON LOT  
3, VISION BEYOND BORDERS ADDITION, CITY OF MILLS, WYOMING**

**13. RESOLUTION NO 2025-12 - AMENDMENT TO T-LEE ORDINANCE 815**

**ADJOURNMENT**

**AGENDA SUBJECT TO CHANGE WITHOUT NOTICE**

**NEXT MEETING** - March 11, 2025 at 7:00 pm / March 25, 2025 at 7:00 pm

**NEXT WORK SESSION** - March 10, 2025 at 9:00 am / March 11, 2025 at 6:00 pm

In accordance with the Americans with Disabilities Act, persons who need accommodation in order to attend or participate in this meeting should contact City Hall at 307-234-6679 within 48 hours prior to the meeting in order to request such assistance.

**REGULAR CITY COUNCIL  
MEETING**

**February 11, 2025**

**7:00 PM**

**City Hall**



**CITY OF MILLS**  
EST. 1921

**Mayor:**  
Leah Juarez  
**Council President:**  
Brad Neumiller  
**Council Members:**  
Cherie Butcher  
Sara McCarthy  
Tim Sutherland

**MINUTES**

**CALL TO ORDER**

Mayor called the meeting to order at 7:02 pm

**ROLL CALL**

Present:

- Mayor Juarez
- President Neumiller
- Council Butcher
- Council McCarthy
- Council Sutherland

**PLEDGE OF ALLEGIANCE**

**APPOINTMENT**

1. Deputy Clerk - Nathan Romrell

The City Clerk swore in the Treasurer as Deputy Clerk

**PUBLIC HEARINGS**

Mayor closed the Council Meeting at 7:04 pm

Mayor opened the Public Hearing for 2024 Community Development Block Grant at 7:04 pm

2. 2024 Community Development Block Grant

Mayor Juarez declared the Public Hearing open for consideration for the 2024 Community Development Block Grant. The hearing will be conducted in accordance with state statute, Mills Council Procedures and other applicable laws. The hearing has been set and advertised in accordance with the statutes. The Mayor asked those individuals who wish to address council on this issue to approach the lectern and state your name and for the record. The Mayor requested a report from staff. No report from staff was given. The Mayor asked three times if there was anyone in the audience who wishes to speak in favor of this item. The Mayor asked three times if anyone wishes to speak in opposition of this item. There being no others to speak for or against this item, The Mayor declared the public hearing closed at 7:05pm.

Mayor re-opened the regular council meeting at 7:05pm

**CONSENT AGENDA**

**Minutes**

3. Council Meeting Minutes 1-28-25

**City Licenses**

- 4. New/Renewal Business, Contractor Licenses, and Home Occupation Permits

**Financial Approvals**

- 5. Financial Breackdown - Check Register & Future ACH Transactions
- 6. PAID ACH / EFT Transactions
- 7. Payroll Regular / Police 1-13-25 to 1-26-25
- 8. Fire Payroll 1-14-25 to 1-25-25
- 9. Fire Payroll 1-26-25 to 2-6-25
- 10. Transmittal Transactions

Motion made by Council President Neumiller, Seconded by Council Member Butcher  
 Voting Yea: Council Member Sutherland, Council Member McCarthy, Mayor Juarez, Council President Neumiller, and Council Member Butcher, motion passes

**OPEN DISCUSSION**

No one to speak

**EXECUTIVE SESSION**

- 11. Executive Session - Property Matter

The Mayor asked for a motion to go into Executive Session for a property matter at 7:06pm. Council Member Butcher made a motion, Council Member Sutherland seconded the motion. Voting Yea: Council Member Sutherland, Council Member McCarthy, Mayor Juarez, Council President Neumiller, and Council Member Butcher, motion passes

Council returned from executive session at 7:12pm.

No action necessary

**ORDINANCES AND RESOLUTIONS**

**12. ORDINANCE NO 819 – FIRST READING**

**AN ORDINANCE VACATING A .63 ACRE PARCEL OF THE FORMER WYOMING BOULEVARD IN THE CITY OF MILLS, WYOMING AND TRANSFERING THE SAME TO MOBILE CONCRETE, INC.**

Motion made by Council President Neumiller on the first reading, Seconded by Council Member McCarthy  
 Voting Yea: Council Member Sutherland, Council Member McCarthy, Mayor Juarez, Council President Neumiller, and Council Member Butcher, motion passes

**13. ORDINANCE NO 820 – FIRST READING**

**AN ORDINANCE AMENDING CERTAIN PROVISIONS OF TITLE 13, PUBLIC SERVICES, CHAPTER 13.03 UTILITY BILLING AND COLLECTION**

Motion made by Council Member McCarthy, Seconded by Council Member Sutherland  
Voting Yea: Council Member Sutherland, Council Member McCarthy, Mayor Juarez, Council President Neumiller, and Council Member Butcher, motion passes

**COUNCIL APPROVALS**

14. CEC Agreement

Member McCarthy asked about the CEC Agreement. The City Attorney explained that the CEC is the CAC facility that individuals go to as an alternative or other penal sentence. Stands for Community Education Center.

Motion made by Council President Neumiller, Seconded by Council Member Sutherland  
Voting Yea: Council Member Sutherland, Council Member McCarthy, Mayor Juarez, Council President Neumiller, and Council Member Butcher, motion passes

15. Enter into AIM Corp Contract for collections

Motion made by Council Member McCarthy, Seconded by Council President Neumiller  
Member McCarthy asked what we would be using the collection services for. The City Clerk let her know that it would be for Ambulance and utility collections. Member McCarthy asked if we needed to add on to our ordinance saying we will turn utility bills over to collections. The City Attorney said we didn't need to add it to the ordinance. He said it is our right to send them to collections if needed. Voting Yea: Council Member Sutherland, Council Member McCarthy, Mayor Juarez, Council President Neumiller, and Council Member Butcher, motion passes

16. Warrants Quashed after 10-Years

Motion made by Council President Neumiller, Seconded by Council Member McCarthy  
Voting Yea: Council Member Sutherland, Council Member McCarthy, Mayor Juarez, Council President Neumiller, and Council Member Butcher, motion passes

**EXECUTIVE SESSION**

17. Executive Session - Legal Matter

The Mayor asked for a motion to go into Executive Session for a legal matter at 7:16pm. Council Member McCarthy made a motion, Council President Neumiller seconded the motion. Voting Yea: Council Member Sutherland, Council Member McCarthy, Mayor Juarez, Council President Neumiller, and Council Member Butcher, motion passes

Council returned from executive session at 7:24pm.

No action necessary

**ADJOURNMENT**

The Mayor asked for a motion to adjourn.

Council Member Sutherland made a motion to adjourn the meeting at 7:24pm, Council Member McCarthy seconded the motion. Voting Yea: Council Member Sutherland, Council Member McCarthy, Mayor Juarez, Council President Neumiller, and Council Member Butcher, motion passes

**AGENDA SUBJECT TO CHANGE WITHOUT NOTICE**

**NEXT MEETING** - February 25, 2025 at 7:00pm / March 11, 2025 at 7:00pm

**NEXT WORK SESSION** - February 25, 2025 at 6:00pm / March 10, 2025 at 9:00am

In accordance with the Americans with Disabilities Act, persons who need accommodation in order to attend or participate in this meeting should contact City Hall at 307-234-6679 within 48 hours prior to the meeting in order to request such assistance.

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Mayor, Leah Juarez

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City Clerk, Sarah Osborn



**Council Meeting: February 25, 2025**

**New Business Licenses**

	<i>Business Name</i>	<i>Fire Inspection</i>	<i>Insurance</i>
9949	WinDor	2/13/2025	Yes

**Renewal Business Licenses**

	<i>Business Name</i>	<i>Fire Inspection</i>	<i>Insurance</i>
835	Ace Hi-Performance Engine & Machine	2/10/2025	Yes
9816	Black Bear Oil Corpotion	2/10/2025	N/A
812	Childers Trucking	2/10/2025	N/A
9814	Encino Enviromental Service LLC	2/10/2025	N/A
816	Fleetpride	1/30/2025	Yes
9862	Premium Oilfield Technologies	2/10/2025	N/A
9823	United Rentals (North America), Inc.	2/13/2025	Yes



**Council Meeting: February 25, 2025**

**New Contractor Licenses**

<i>Business Name</i>		<i>Insurance</i>	<i>Contractor ID</i>
9954	Elite Flow LLC	N/A	Yes
9948	Western Sign & Design	N/A	Yes

**Renewal Contractor Licenses**

<i>Business Name</i>		<i>Insurance</i>	<i>Contractor ID</i>
9509	Living Water Plumbing	Yes	Yes
9800	Tyler Plumbing	Yes	Yes



Payment Due Date	Description	Invoice	GL Period	Seq	Invoice Date	GL Account	Total Cost
<b>8380 Above All Cleaning</b>							
02/11/2025	Feb Cleaning City Hall	225	02/25	2	01/29/2025	12-4500-3515	582.50
02/11/2025	Feb Cleaning PD	225PD	02/25	2	01/29/2025	10-4600-1300	582.50
<b>310 All Out Fire, Inc</b>							
02/25/2025	Fire Extinguisher Service	28290	02/25	1	10/23/2024	10-6500-3605	341.00
02/25/2025	Fire Extinguisher Servicing	28292	02/25	1	10/23/2024	52-8200-3665	282.00
<b>350 ALSCO, Inc</b>							
02/25/2025	Alsco Rugs Feb 2025	LCAS1644865	02/25	1	02/12/2025	10-5400-1300	178.88
<b>450 Andreen Hunt, Inc</b>							
02/25/2025	Water Storage Tank Services Retainage Payment	5013	02/25	1	02/13/2025	10-4800-6060	90,575.00
<b>8242 ATLAS CPAs &amp; Advisors, PLLC</b>							
02/25/2025	Progress Billi for audit services for year ended Jun 30,	280-5384	02/25	1	02/01/2025	10-4400-1510	26,000.00
02/25/2025	Remaining billing for financial audit services & Single a	280-5545	02/25	1	02/18/2025	50-4600-1510	19,000.00
<b>7983 Big Horn Tire, Inc.</b>							
02/25/2025	Tires for Unit 10	80838	02/25	1	01/29/2025	10-5400-3545	1,186.50
<b>1160 Caselle, Inc</b>							
02/25/2025	Provide w-2s and Government Files	138460	02/25	1	01/31/2025	50-4600-2005	1,050.00
<b>1510 City of Casper</b>							
02/25/2025	Dispatch fee for January 2025	6245	02/25	1	02/18/2025	10-5600-3000	2,118.54
02/25/2025	02/03/25 Balefill Charges	631942	02/25	1	02/03/2025	54-8400-3050	883.52
02/25/2025	02/05/25 Balefill Charges	631973	02/25	1	02/03/2025	54-8400-3050	1,144.88
02/25/2025	02/05/25 Balefill Charges	631974	02/25	1	02/05/2025	54-8400-3050	882.64
02/25/2025	02/06/25 Balefill Charges	632019	02/25	1	02/06/2025	54-8400-3050	851.84
02/25/2025	02/07/25 Balefill Charges	632038	02/25	1	02/07/2025	54-8400-3050	579.04
02/25/2025	02/10/25 Balefill Charges	632083	02/25	1	02/10/2025	54-8400-3050	873.84
02/25/2025	02/11/25 Balefill Charges	632111	02/25	1	02/11/2025	54-8400-3050	1,202.08
02/25/2025	02/12/25 Balefill Charges	632133	02/25	1	02/12/2025	54-8400-3050	846.56
02/25/2025	02/13/25 Balefill Charges	632151	02/25	1	02/13/2025	54-8400-3050	710.16
02/25/2025	02/14/25 Balefill Charges	632171	02/25	1	02/14/2025	54-8400-3050	531.52
<b>8185 CY Ace Hardware</b>							
02/25/2025	Hose & Faucet Set	4178	02/25	1	01/29/2025	53-8300-3500	135.62
<b>1910 Dana Kepner Company Inc</b>							
02/25/2025	Annual Sensus RNI	2239456-00	02/25	1	01/31/2025	51-8100-2065	10,437.81
02/25/2025	Hydrant Seals & Gaskets	2239458-00	02/25	1	02/03/2025	51-8100-3500	19.19
02/25/2025	Grease & Gaskets	2239466-00	02/25	1	02/04/2025	51-8100-3500	73.72
<b>2080 Department of Workforce Services</b>							
02/25/2025	Alyssa Unemployment	20325	02/25	1	02/03/2025	10-23800	1,901.67
<b>2540 Ferguson Waterworks #1116</b>							
02/25/2025	Stem Adapter	1584174	02/25	1	02/14/2025	52-8200-3525	85.00
<b>2610 Fleetpride</b>							
02/25/2025	Hose Separator	123302590	02/25	1	02/06/2025	54-8400-4050	5.80
<b>3410 Floyd's Truck Center WY</b>							
02/25/2025	Wiper Blades	X302075234:01	02/25	1	01/27/2025	10-6000-3500	23.08
02/25/2025	Lights x2	X302075261:01	02/25	1	01/28/2025	10-6000-3500	27.82
<b>8144 Galls</b>							
02/25/2025	Jackets for Melin, Hiatt, Elliott and boots for Hiatt	030446439	02/25	1	02/12/2025	10-5600-1040	326.75
02/25/2025	Boots for Zamora	030472740	02/25	1	02/14/2025	10-5600-1040	146.60
02/25/2025	Soft shell jacket for Zamora	030483981	02/25	1	02/15/2025	10-5600-1040	70.03
<b>2840 Grainger, Inc</b>							
02/25/2025	spray lubricant	9386422431	02/25	1	01/27/2025	52-8200-3525	41.52
<b>7878 GW Mechanical, Inc</b>							
02/25/2025	Mountain View School water blow out	sv-9138	02/25	1	02/05/2025	12-4500-3515	8,271.76
02/25/2025	Repair Sewer Leak (School)	sv-9147	02/25	1	02/05/2025	53-8300-3525	3,038.26
<b>2950 Hach Company</b>							
02/25/2025	Laboratory Chemicals	14355740	02/25	1	02/03/2025	52-8200-3500	172.47
<b>3040 Hawkins Inc</b>							
02/25/2025	Chlorine Cylinder Rental	6938246	02/25	1	02/15/2025	52-8200-3500	50.00

Payment Due Date	Description	Invoice	GL Period	Seq	Invoice Date	GL Account	Total Cost
02/25/2025	Chlorine Cylinder Rental	6985719	02/25	1	02/15/2025	52-8200-3500	70.00
<b>3120 Homax</b>							
02/25/2025	55 Gallons DEF	0702206-IN	02/25	1	02/04/2025	54-8400-4000	173.25
02/25/2025	Fuel January MPD	CL32392	02/25	1	01/31/2025	10-5400-4000	2,720.86
02/25/2025	Fuel January CSO	CL32392	02/25	2	01/31/2025	10-5300-4000	112.14
02/25/2025	January 2025 Fuel for the fire dept	CL32393	02/25	1	01/31/2025	10-5600-4000	446.08
02/25/2025	January fuel Charges	CL32399	02/25	1	01/31/2025	52-8200-4000	106.47
02/25/2025	Streets	CL32400	02/25	1	01/31/2025	10-6000-4000	419.73
02/25/2025	Sewer	CL32401	02/25	1	01/31/2025	53-8300-4000	57.49
02/25/2025	water	CL32402	02/25	1	01/31/2025	51-8100-4000	506.38
02/25/2025	Parks	CL32405	02/25	1	01/31/2025	10-7000-4000	65.73
02/25/2025	Sanitation	CL32406	02/25	1	01/31/2025	54-8400-4000	1,639.19
02/25/2025	Shop	CL32407	02/25	1	01/31/2025	10-6500-4000	177.84
<b>3150 Hose &amp; Rubber Supply</b>							
02/25/2025	Hose & Fitting	02023920	02/25	1	02/05/2025	54-8400-4050	367.42
02/25/2025	Hose & Fitting	02024047	02/25	1	02/05/2025	54-8400-4050	97.26
02/25/2025	Hose & Fitting	2027170	02/25	1	02/13/2025	10-6000-4050	540.88
<b>8104 Imperial Pump Solutions</b>							
02/25/2025	Program soft Starters & Module	1695	02/25	1	01/27/2025	53-8300-3675	1,785.72
<b>3330 Installation &amp; Service Company Inc</b>							
02/25/2025	Repair Water Main Crescent Dr.	275256	02/25	1	02/13/2025	51-8100-3525	3,815.16
<b>8400 Jackson Group</b>							
02/25/2025	Fuel filter & Seperator	11573CA	02/25	1	01/28/2025	10-6000-3500	352.64
<b>8059 Jonah Visa</b>							
02/25/2025	Jonah Credit Card Payment Jan 25	013125	02/25	1	01/31/2025	99-21150	5,777.04
<b>7393 Keith R Nachbar P.C.</b>							
02/25/2025	Defence of D. Bever	3533	02/25	1	12/31/2024	10-5100-1090	1,073.87
02/25/2025	Defence of Edward Johnson	3534	02/25	1	12/31/2024	10-5100-1090	150.00
02/25/2025	Defence of Helbling	3552	02/25	1	12/31/2024	10-5100-1090	312.54
<b>7628 Kistler Tent &amp; Awning</b>							
02/25/2025	Tents for 2024 Summer Fest	28608	02/25	1	02/07/2025	12-4500-1027	2,880.00
<b>4600 NAPA Auto Parts</b>							
02/25/2025	Engine Oil filter for Unit 10	216151	02/25	1	01/28/2025	10-5400-4050	9.32
02/25/2025	Cleaner & 5 Callon Can	216194	02/25	1	01/28/2025	54-8400-3500	107.98
02/25/2025	Oil Pump	216301	02/25	1	01/28/2025	54-8400-3500	12.99
02/25/2025	Multi Purpose Cleaner	219581	02/25	1	02/06/2025	10-5600-4050	5.49
02/25/2025	Filters and Oil	219862	02/25	1	02/07/2025	51-8100-4050	81.63
02/25/2025	Oil	219864	02/25	1	02/07/2025	51-8100-4050	6.99
02/25/2025	Battery	221455	02/25	1	02/12/2025	51-8100-4050	153.03
02/25/2025	Parts for fire 92	221964	02/25	1	02/13/2025	10-5600-4050	15.39
02/25/2025	Pliers	221971	02/25	1	02/13/2025	50-4700-3545	85.80
02/25/2025	Zip Ties	222155	02/25	1	02/13/2025	51-8100-4050	64.44
02/25/2025	Creeper, Tools	222519	02/25	1	02/14/2025	50-4700-3545	341.44
02/25/2025	tool for radio repair on Brush 9	223424	02/25	1	02/18/2025	10-5600-3600	22.99
02/25/2025	Battery Brush	223473	02/25	1	02/18/2025	50-4700-3545	18.48
02/25/2025	Parts for Plow truck	223936	02/25	1	02/19/2025	10-5600-4050	48.44
<b>4760 Norco, Inc</b>							
02/25/2025	Disinfectant & Cleaner	0042706701	02/25	1	01/28/2025	53-8300-3500	83.21
02/25/2025	Winter coat for J. Zamora	42880786	02/25	1	02/18/2025	10-5600-1040	34.40
<b>4880 One Call of Wyoming</b>							
02/25/2025	67 Tickets for January/Membership	74373	02/25	1	02/07/2025	51-8100-3055	95.35
<b>5010 Peden's Inc.</b>							
02/25/2025	Plaque for George	15863	02/25	1	02/10/2025	10-4600-1040	75.00
<b>7985 Quadient, Inc</b>							
02/25/2025	Standard Maintenance	61719777	02/25	1	02/01/2025	50-4600-3530	162.10
<b>5560 Rocky Mountain Power</b>							
02/25/2025	Rocky Mountain Power	5560	02/25	1	01/31/2025	10-4600-2510	99.24

Payment Due Date	Description	Invoice	GL Period	Seq	Invoice Date	GL Account	Total Cost
<b>7521 Schwartz, Bon, Walker &amp; Studer, LLC</b>							
02/25/2025	Jan Services by Patrick Holscher	20125	02/25	1	02/01/2025	10-4600-1085	11,666.66
<b>6050 Sutherlands</b>							
02/25/2025	Wire Brush x2	020660	02/25	1	02/04/2025	10-6500-3545	10.98
02/25/2025	Council Chambers Ramp	40180	02/25	1	02/05/2025	12-4500-3515	20.57
<b>8367 Wash and Glow II LLC</b>							
02/25/2025	Wash & Glow Fleet Wash Jan 2025	385	02/25	1	02/04/2025	10-6500-4060	90.00
Grand Totals:							<u>212,189.71</u>

Report GL Period Summary

GL Period	Amount
02/25	<u>212,189.71</u>
Grand Totals:	<u><u>212,189.71</u></u>

Vendor number hash: 364133  
 Vendor number hash - split: 367253  
 Total number of invoices: 84  
 Total number of transactions: 85

Terms Description	Invoice Amount	Discount Amount	Net Invoice Amount
Open Terms	<u>212,189.71</u>	<u>.00</u>	<u>212,189.71</u>
Grand Totals:	<u><u>212,189.71</u></u>	<u><u>.00</u></u>	<u><u>212,189.71</u></u>





## PAYROLL

Meeting Date: February 25, 2025

Payroll Type: Regular/Police

Date Range: 1-27-25 to 2-9-25

Net: \$ 111,793.91

Deductions: \$ 29,538.65

Federal Taxes: \$ 9,158.00

Medicare: \$ 1,557.89

Retirement: \$ 6,361.48

Social Security: \$ 6,429.84

Child Support: \$ 540.32

Insurance: \$ 4,145.68

Supplemental Retirement: \$ 1,152.02

Supplemental Insurance: \$ 193.42

**TOTAL PAYROLL: \$ 82,255.26**

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City Clerk, Sarah Osborn

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Mayor, Leah Juarez



# PAYROLL

Meeting Date: February 25, 2025

Payroll Type: Fire

Date Range: 2-7-25 to 2-18-25

Net: \$ 20,796.73

Deductions: \$ 5,723.01

Federal Taxes: \$ 1,495.00

Medicare: \$ 283.13

Retirement: \$ 2,338.59

Union Dues \$ 210.00

Child Support: \$ -

Insurance: \$ 1,396.29

Supplemental Retirement: \$ -

Supplemental Insurance: \$ -

**TOTAL PAYROLL: \$ 15,073.72**

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City Clerk, Sarah Osborn

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Mayor, Leah Juarez



**Transmittal Transactions**  
**2-25-25**

***Payroll Regular/Police: 1-27-25 to 2-9-25***

<b>Date</b>	<b>Type/Check #</b>	<b>Payor</b>	<b>AMOUNT</b>
2/9/2025	ACH	IRS	\$ 25,133.46
2/9/2025	33775	American Funds	\$ 50.00
2/9/2025	ACH	Orchard Trust 457	\$ 925.00
		<b>Total:</b>	<b>\$ 26,108.46</b>

***Payroll Fire: 2-7-25 to 2-18-25***

<b>Date</b>	<b>Type/Check #</b>	<b>Payor</b>	<b>AMOUNT</b>
2/20/2025	ACH	IRS	\$ 1,495.00
2/20/2025	33776	Pathfinder FCU	\$ 210.00
		<b>Total:</b>	<b>\$ 1,705.00</b>

**TOTAL \$ 27,813.46**

**ORDINANCE NO. 819**

**AN ORDINANCE VACATING A .63 ACRE PARCEL OF THE FORMER WYOMING BOULEVARD IN THE CITY OF MILLS, WYOMING AND TRANSFERING THE SAME TO MOBILE CONCRETE, INC.**

**WHEREAS**, Wyoming Statute Sec. WS 15-4-305, which provides the following authority and means of a municipality to vacate a municipal street:

**15-4-305. Streets; vacation; petition required; consideration.**

The governing body has the exclusive power and, by ordinance, may vacate any highway, street, lane or alley, or portion thereof. No vacation may be ordered except upon petition of a majority of the owners owning a majority of the property abutting on the portion proposed to be vacated and extending three hundred (300) feet in either direction from the portion proposed to be vacated. The city or town may demand and receive the value of the land vacated as consideration for the vacation.

And;

**WHEREAS**, Wyoming Blvd was an original Town of Mills road as platted in the original plat for the Town of Mills. The road had a straight north/south direction and ran to the North Platte River; and

**WHEREAS**, In 1976 the State of Wyoming rebuilt Wyoming Blvd in Mills and other areas, putting in the wide road which exists in the city today, In order to do this Wyoming Blvd was reconstructed with portions of the reconstructed Wyoming Blvd having an new right of way; and

**WHEREAS**; This resulted in a .63 Acre parcel of real property where the former Wyoming Blvd had been which is bordered on the west entirely by Lot 3 Boatright Addition belonging to Mobile Concrete Inc., to the north by a portion held by the City of Mills, to the South by a portion held by the City of Mills, and to the East by the current City of Mills SW Wyoming Blvd right of way; and

**WHEREAS**, the legal description and depiction of the .63 acre parcel is more particularly describe in Exhibit A, attached hereto and made a part hereof; and

**WHEREAS**, the City of Mills has no use or need for the .63 acre parcel, with the same having no municipal use; and

**WHEREAS**, Mobile Concrete, Incl. does have a use for the .63 acre parcel as it provides a frontage for Lot 3 Boatright Addition to SW Wyoming Blvd and is willing to receive the same; and

**WHEREAS**, The City regards the .63 acres surplus to the City’s needs and a potential legal detriment in that it abuts areas with heavy truck traffic while serving no municipal purpose, and therefore does not demand the value of the property to be vacated, with said value in its existing condition being minimal.

**WHEREAS**, The City of Mills, which holds the majority of the property abutting the .63 parcel acre is self-petitioning, through this process, to vacate the .63 acre parcel and has undertaken to provide notice of the same to all those entitled under Wyo. State 15-4-305 to receive the same.

**NOW, THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF MILLS:**

The .63 acres, as more particularly described in Exhibit A attached here to is vacated with the fee title to the same vesting in Mobile Concrete, Inc, and, further, with no legal consideration being necessary or required as part of this Vacation.



This instrument, together with its attachments, is to be recorded in the Property Records for Natrona County, Wyoming.

PASSED on 1<sup>st</sup> reading the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

PASSED on 2<sup>nd</sup> reading the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

PASSED, APPROVED AND ADOPTED on 3<sup>rd</sup> and final reading this \_\_\_\_\_ day of \_\_\_\_\_, 2024

CITY OF MILLS, WYOMING

\_\_\_\_\_  
Leah Juarez, Mayor

\_\_\_\_\_  
Sara McCarthy, Council

\_\_\_\_\_  
Brad Neumiller, Council

\_\_\_\_\_  
Cherie Butcher, Council

\_\_\_\_\_  
Tim Sutherland, Council

ATTESTED:

\_\_\_\_\_  
Sarah Osborn, City Clerk



**EXHIBIT "A"**  
**CITY OF MILLS PARCEL**

A parcel of land previously platted as a public street right-of-way as shown on the original Map of the Town of Mills recorded on February 9, 1921, in Book 27 of Deeds, Page 572, situate within a portion of Lot 2 (SW¼NW¼) of Section 7, T.33N., R.79W., 6<sup>th</sup> P.M., City of Mills, Natrona County, Wyoming, as shown on Exhibit B attached hereto and by this reference made a part hereof and being more particularly described as follows:

Commencing at the west ¼ corner of said Section 7, monumented by a brass cap and being the southeast corner of Lot 3, Boatright Addition to the City of Mills, also being the southwest corner of the parcel being described and the Point of Beginning;

Thence N00°27'18"W, along the west line of the parcel being described, the west line of said Section 7, and the east line of Lot 3, Boatright Addition to the City of Mills, a distance of 484.43 feet to the northwest corner of the parcel also being the northeast corner of said Lot 3;

Thence N88°48'24"E, a distance of 47.55 feet to the northeast corner of the parcel being described, located on the west line of SW Wyoming Boulevard;

Thence S01°09'47"E, along the east line of the parcel being described and the west line of SW Wyoming Boulevard, a distance of 277.82 feet to a point of curvature;

Thence continuing along the east line of the parcel being described and the west line of SW Wyoming Boulevard and a non-tangential curve to the left having a radius of 498.37 feet, through a central angle of 24°24'01", a distance of 212.24 feet, with a chord bearing of S13°32'27"E, a distance of 210.64 feet to the southeast corner of the parcel;

Thence S88°20'17"W, along the north line of the City of Mills property, as referenced in the document recorded as Instrument No. 1049046, a distance of 98.69 feet to the Point of Beginning.

The above described parcel contains 0.63 acres, (27,540.54 S.F.) more or less, and is subject to all rights-of-way and/or easements, reservations and encroachments which have been legally acquired.

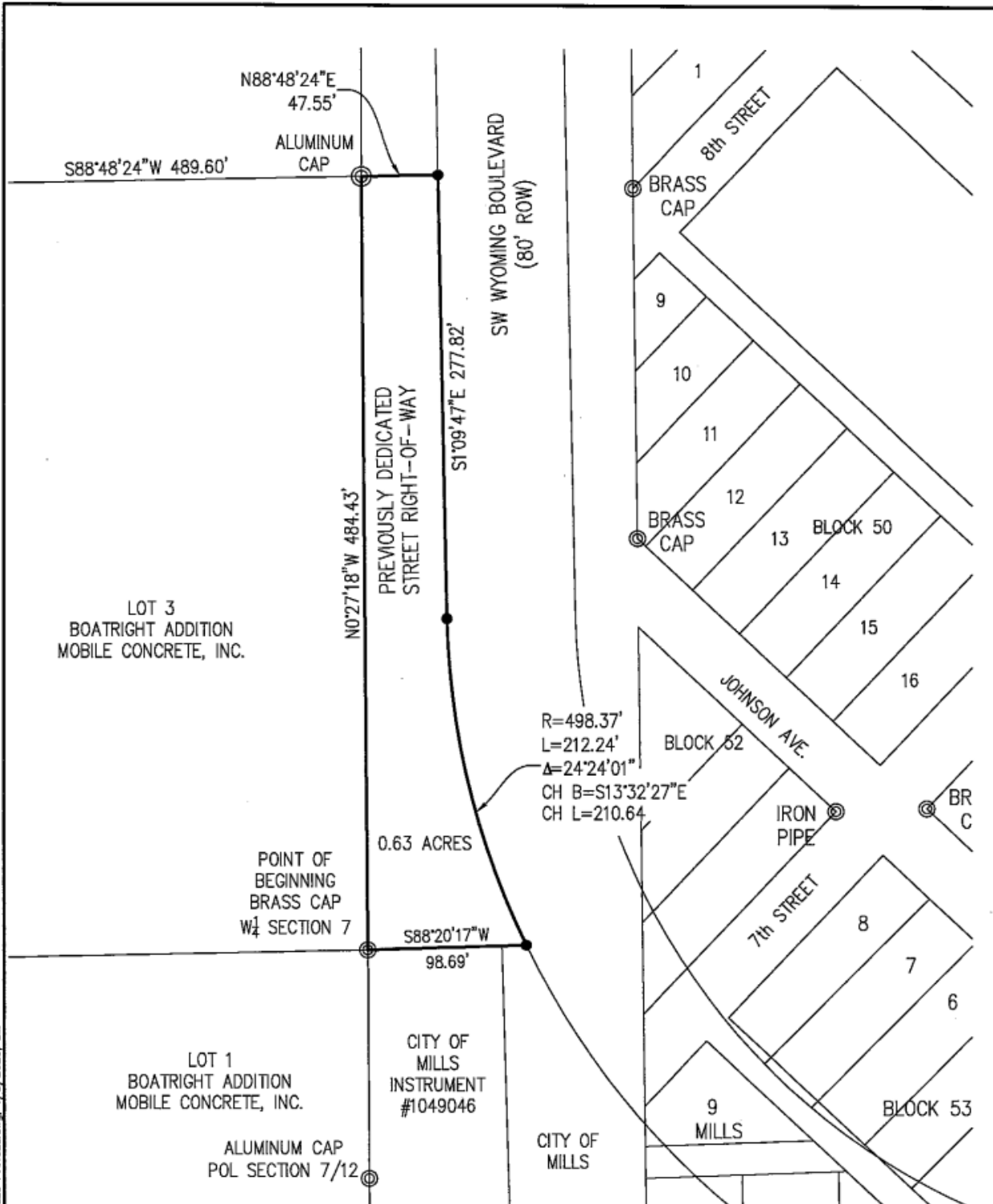
I hereby certify that this description was prepared from notes taken during an actual survey made under my direct supervision in February, 2023, and that on the basis of my information knowledge and belief as a Professional Land Surveyor that this description is true and correct.



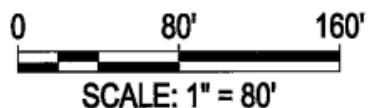
MODIFICATION IN ANY WAY OF THE FOREGOING DESCRIPTION IS STRICTLY PROHIBITED. I HAVE CAREFULLY REVIEWED THIS INFORMATION AND CERTIFY IT TO BE ACCURATE ON THE BASIS OF MY KNOWLEDGE AND BELIEF. ANY CHANGE, ADDITION OR DELETION OF ANY PART OF THIS DESCRIPTION WILL ACT TO VOID ANY WARRANTY OR RESPONSIBILITY, EXPRESSED OR IMPLIED, THAT I HAVE TOWARD THE SUBJECT PROPERTY.

W.O. #22-033  
Mills/Boatright Parcel

Civil Engineering Professionals, Inc.  
6080 Enterprise Dr. • Casper, WY 82609  
Phone 307.266.4346 • Fax 307.266.0103  
www.cepi-casper.com



M:\Land 2022\Engineering\22-033 Mills Pathway\Drawings\Survey\Parcel.dwg, 1/8/2025, Bill



SCALE: 1" = 80'



Civil Engineering Professionals, Inc.  
 6080 Enterprise Drive, Casper, WY 82609  
 Phone 307.266.4346 Fax 307.266.0103  
 www.cepi-casper.com



LEGEND

- SET MONUMENT 5/8" REBAR & ALUMINUM CAP
- ⊙ FOUND MONUMENT AS NOTED

**EXHIBIT B**  
**TOWN OF MILLS PARCEL**

Portion of Lot 2 (SW $\frac{1}{4}$ )  
 Section 7, T33N., R.79W., 6th P.M.  
 Town of Mills, Wyoming  
 January, 2025  
 W.O. 22-033

ORDINANCE NO. 820

AN ORDINANCE AMENDING CERTAIN PROVISIONS OF TITLE 13, PUBLIC SERVICES, CHAPTER 13.03 UTILITY BILLING AND COLLECTION

**WHEREAS**, The City of Mills Public Works Department and administrative staff have reviewed the process regarding utility billing and collection; and

**WHEREAS**, The City of Mills has a desire to modify its billing and collection system in order that it might be more efficiently and uniformly administered.

NOW, THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF MILLS that the following provisions of Title 13 of the City Ordinances shall be amended such that the text in red shall be added, and the lined through text stricken, starting immediately upon passage of this Ordinance.

Sec. 13.03.050. Connection or change of service.

(b) Service can be obtained by **completing a service application at the Mills City Hall during normal business hours.** ~~contacting the city hall, 704 4th St., Mills, Wyoming, between the hours of 8:00 a.m. to 5:00 p.m., Monday through Friday (except holidays); calling the city at (307) 234-6679, between the hours of 8:00 a.m. to 5:00 p.m., Monday through Friday (except holidays).~~ The request for service will include name of occupant, physical address, mailing address, social security number, day and nighttime telephone number, employer and requested date of service. The request must be made at least three working days prior to a request starting date. **Incomplete request will be returned to the customer for additional information.**

Sec. 13.03.070. Discontinuance of service.

(a) Service may be discontinued for nonpayment. In order to re-establish service, a delinquent turn-on fee and a deposit ~~may be~~ **are** required before service is restored. If the service is to be restored during non-working hours, the fee and deposit must be in city hall, 704 4th St., Mills, Wyoming, no later than 10:00 a.m. the next working day, or service will be disconnected, and additional applicable charges may be imposed. Service will not be provided if there are any outstanding bills or fees or any violations of this chapter.

(b) Customers will be charged a fee if an insufficient funds check **or a returned ACH** is received by the city. The bank automatically redeposits insufficient funds checks. If an insufficient funds check has been redeposited **or an ACH payment has been** ~~and is~~ returned to the city, the amount will be automatically reversed and applied to the customer's account. The customer will be responsible for any additional charges, interest or penalties accrued to the account. The unpaid balance will be subject to any interest or penalty charges associated with a past due account. The account will be subject to the city general billing and collection policy. ~~adopted by resolution of the city council. When an account has registered two non-sufficient funds (NSF) checks, all future utility charges will be required to be paid by cash, certified funds or money order.~~

Sec. 13.03.090. Billing.

(b) All ~~sewer and garbage~~ **utility** billing will be based upon a rate definition rather than a property definition.

Property may be designated as commercial in this Code; however, they may be charged a residential rate for any of the utilities. ~~Rates to be determined by resolution.~~

(d) ~~Residential and commercial sewer billing will be reevaluated each year, based on actual water usage during the billing period starting after January 1.~~

g) Customers **with an active account** will be charged any applicable minimum charges for all utility services during billing periods with no water usage.

(i) Sanitation charges are required on all active residential accounts where the residential service address is located within an area in which collection is serviced by the city. If the account is active with the city, it will incur sanitation charges, along with water and sewer charges. The property will be provided with access to the appropriate container needed for the disposal of solid waste, as set forth in Municipal Code 8.11.040 A

Sec. 13.03.100. Adjustments.

~~(a) Sewer adjustments may be given if a leak occurred during the sewer evaluation periods.~~

(c) Leak adjustments will only be completed for the three bills prior to the leak being repaired.

Sec. 13.03.110. Credit, payment terms and collection efforts.

(a) Bills will be considered delinquent if not paid ~~20~~ **30 thirty** days after the bill date. Authorized interest and penalty charges will start accruing on this date. A delinquent notice will be mailed to the customer on or shortly after the ~~21~~ **31st thirty first** day after the bill date. If the bill remains unpaid ~~ten~~ **45 forty-five** days after the bill date, all utility services will be discontinued.

Sec. 13.03.130. Appeals.

Bills and adjustments may be appealed to the City Council within thirty days of the bill date or adjustment date by submitting a written request to the Mills City Clerk. All decisions made by the City Council will be final.

Sec. 13.03.140. Payment arrangements.

Payment arrangements may be granted if a customer is unable to pay their past due balance before their disconnection date. If made, the arrangement would allow the customer to skip the current shut-off period for the service address that is delinquent or at risk of being shut-off. The account must be brought current by the due date of the current bill, which is not yet delinquent. This may allow up to, but will not exceed, thirty days to bring the account current, depending on when they contact the city. Customers must meet the following criteria to be eligible for a payment arrangement on their account.

- a) The customer must contact the city ~~prior to their week~~ within 5 business days prior to shut off.
- (b) The bill causing delinquency is not the first bill on the account.
- (c) Payment arrangements are not allowed on deposits. All deposits must be paid in full before water, sewer and sanitation services will begin.
- (d) The customer has had four months of good payment history.
- (e) All previous payment arrangements have been paid as agreed.
- (f) No more than one previous payment arrangement in the previous ~~twelve month rolling period~~ **eighteen-months is permitted**; ~~a total of two payment arrangements in the twelve month rolling period are allowed, including the one being requested.~~
- (g) A one-time exception may be made for a customer whose water has been disconnected when they have a good payment history on the disconnected account.

PASSED on 1<sup>st</sup> reading the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

PASSED on 2<sup>nd</sup> reading the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

PASSED, APPROVED AND ADOPTED on 3<sup>rd</sup> and final reading this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

CITY OF MILLS, WYOMING

\_\_\_\_\_  
Leah Juarez, Mayor

\_\_\_\_\_  
Sara McCarthy, Council

\_\_\_\_\_  
Brad Neumiller, Council

\_\_\_\_\_  
Cherie Butcher, Council

\_\_\_\_\_  
Tim Sutherland, Council

ATTESTED:

\_\_\_\_\_  
Sarah Osborn, City Clerk



**CITY OF MILLS**  
EST. 1921

704 Fourth Street  
P.O. Box 789  
Mills, WY 82644

Phone: 307-234-6679  
Fax: 307-234-6528

## Memorandum

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**TO:** Mills City Council  
**FROM:** Megan Nelms, AICP, City Planner  
**DATE:** February 25, 2025  
**SUBJECT:** Final Plat – Lots 2A & 3A, Sage Addition

---

**Case Number:** 25.01 FSP

**Summary:** The applicant is completing a boundary adjustment between Lots 2 & 3, Sage Addition. The adjustment will increase proposed Lot 3A from 2.23 to 2.45-acres and decrease proposed Lot 2A from 2.23 to 2.0-acres in size.

**Current Zoning:** I-1 (Light Industrial) \*no change of zoning is requested or required.

**Planning Commission Recommendation:** At their February 6, 2025, meeting the Planning & Zoning Commission made a “DO PASS” recommendation on the subdivision request, pending completion of all planning considerations.

**Staff Recommendation:** The applicant has completed all the required planning considerations and staff recommends APPROVAL of the subdivision final plat.

**Lots 2A & 3A, Sage Addition**

**Boundary Line Adjustment**

**Planning Commission Meeting**  
February 6, 2025

**City Council Meeting**  
February 25, 2025

**Applicants:** Lyle Vinich

**Case Number:** 25.01 FSP

**Agent:** ECS Engineering/Steve Granger

**Summary:** The applicant is completing a boundary adjustment between Lots 2 & 3, Sage Addition. The adjustment will reduce the size of proposed Lot 2A from 2.23 to 2.0-acres and increase proposed Lot 3A from 2.23 to 2.45-acres in size.

**Legal Description:** Lots 2 & 3, Sage Addition

**Location:** The property is located on the northwest side of the intersection of Chamberlin Rd and Pontiac St.

**Current Zoning:** I-1 (Light Industrial) \*no change of zoning is requested or required.

**Existing Land Use:** There is an existing shop building on proposed Lot 2A

**Adjacent Land Use:** North: Sage Addition/City Public Works Facilities (PLI)  
South: Boatright Addition/Mobile Concrete (I-2)  
East: Boatright Addition/Mobile Concrete (I-2)  
West: Buffalo Meadows (R-1)

**Planning Considerations:**

1. Submit a signed City of Mills Subdivision Plat application
2. Add a 5' general utility easement around the boundary of each lot
3. Label the lot line being vacated by the plat.
4. Buffalo Meadows Addition is adjacent on the western boundary of the subdivision, not Lot 4, Sage Addition. Re-label and update the calls in the legal description in the Certificate of Dedication.



5. The Dedication shows the acreage of the subdivision is 47.65-acres. Correct 4.457-acres.

Item # 11.

**6. Survey Reviews:**

- a. Verify the plat scale is 1" = 60' not 1" = 100'
- b. Verify all line types in the legend match those on the plat face
- c. Revise the plat in the vicinity map and Surveyors Certificate to match the Dedication.

---

**Staff Recommendation:**

Staff recommends APPROVAL of the final plat upon all planning considerations being completed and for the Planning Commission make a "Do Pass" recommendation on the Final Plat application.

**Planning Commission Recommendation:**

At their February 6, 2025 meeting, the Planning Commission made a "DO PASS" recommendation on the final plat application.

**City Council Decision:**



**CITY OF MILLS**  
**APPLICATION FOR SITE PLAN APPROVAL**  
Pursuant to the City of Mills Zoning Ordinance



Item # 11.

City of Mills, Wyoming  
704 4<sup>th</sup> Street (Physical Address)  
P.O. Box 789 (Mailing Address)  
Mills, Wyoming 82644

Date: 1/17/2025  
Return by: \_\_\_\_\_  
(Submittal Deadline)  
For Meeting on: \_\_\_\_\_

**PLEASE PRINT**

**SINGLE POINT OF CONTACT:** \_\_\_\_\_

**APPLICANT/PROPERTY OWNER(S) INFORMATION:**

Print Owner Name: Lyle Christopher Vinich  
Owner Mailing Address: 12274 Vacation Ct.  
City, State, Zip: Sturgis, SD 57785  
Owner Phone: (307)349-1847  
Applicant Email: cvinich@vindustrygroup.com

**AGENT INFORMATION:**

Print Agent Name: Shawn J. Gustafson  
Agent Mailing Address: 1607 CY Avenue, Suite 104  
City, State, Zip: Casper, WY 82604  
Agent Phone: 307-337-2883  
Agent Email: sgustafson@ecsengineers.net

**PROPERTY INFORMATION:**

Subject property legal description (attach separate page if long legal): Lot 2 & 3 Sage Addition  
Physical address of subject property if available: 280 Chamberlain Road  
Size of lot(s) sq. ft/acres: Lot 2 - 2.003 Acres, Lot 3 - 2.454 Acres  
Current zoning: I-1 Light Industrial Current use: \_\_\_\_\_  
Intended use of the property: \_\_\_\_\_  
Zoning within 300 feet: \_\_\_\_\_ Land use within 300 feet: \_\_\_\_\_

**ATTACHMENTS (REQUIRED):**

1. **Proof of ownership:** \_\_\_\_\_  
(such as deed, title certification, attorney's title opinion)
2. **Seven (7) full sized copies of the Site Plan:** \_\_\_\_\_
3. **One reproducible 11 x 17 Site Plan hard copy:** \_\_\_\_\_
4. **One Site Plan electronic copy (pdf):** \_\_\_\_\_

**IF APPLICABLE, INCLUDE:**

1. Number of employees on the premises: \_\_\_\_\_
2. Building occupant loading (if recreational, entertainment, place of assembly, a facility or building of similar nature): \_\_\_\_\_
3. Number of residential units: \_\_\_\_\_
4. Number of off-street parking spaces **provided:** \_\_\_\_\_
5. Number of off-street parking spaces **required:** \_\_\_\_\_

**SIGNATURE(S):**

The following owner's signature signifies that all information on this application is accurate and correct to the best of the owner's knowledge; and that the owner has thoroughly read and understands all application information and requirements. [In addition to the owner's signature(s), if an agent of the owner is to be the contact for all communications relating to this application, please have the agent sign below.]

I (We) the undersigned owner(s) of the property described above do hereby make application to the City of Mills as follows:

OWNER Signature Chris Vinich

OWNER Signature \_\_\_\_\_

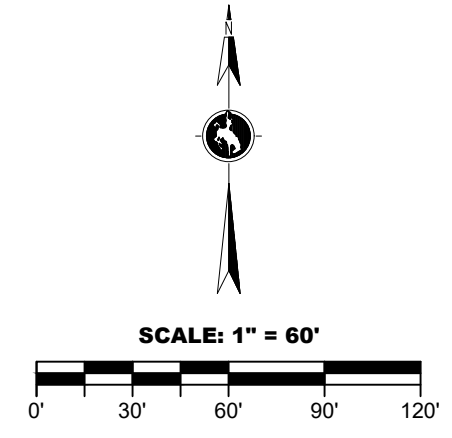
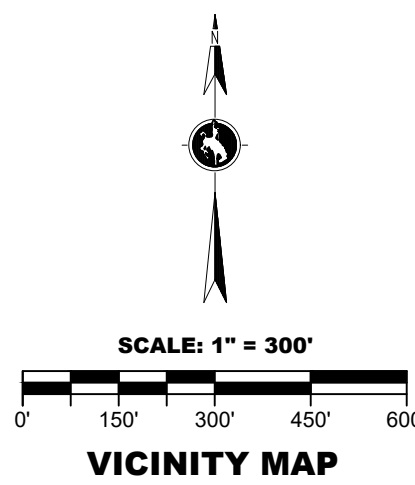
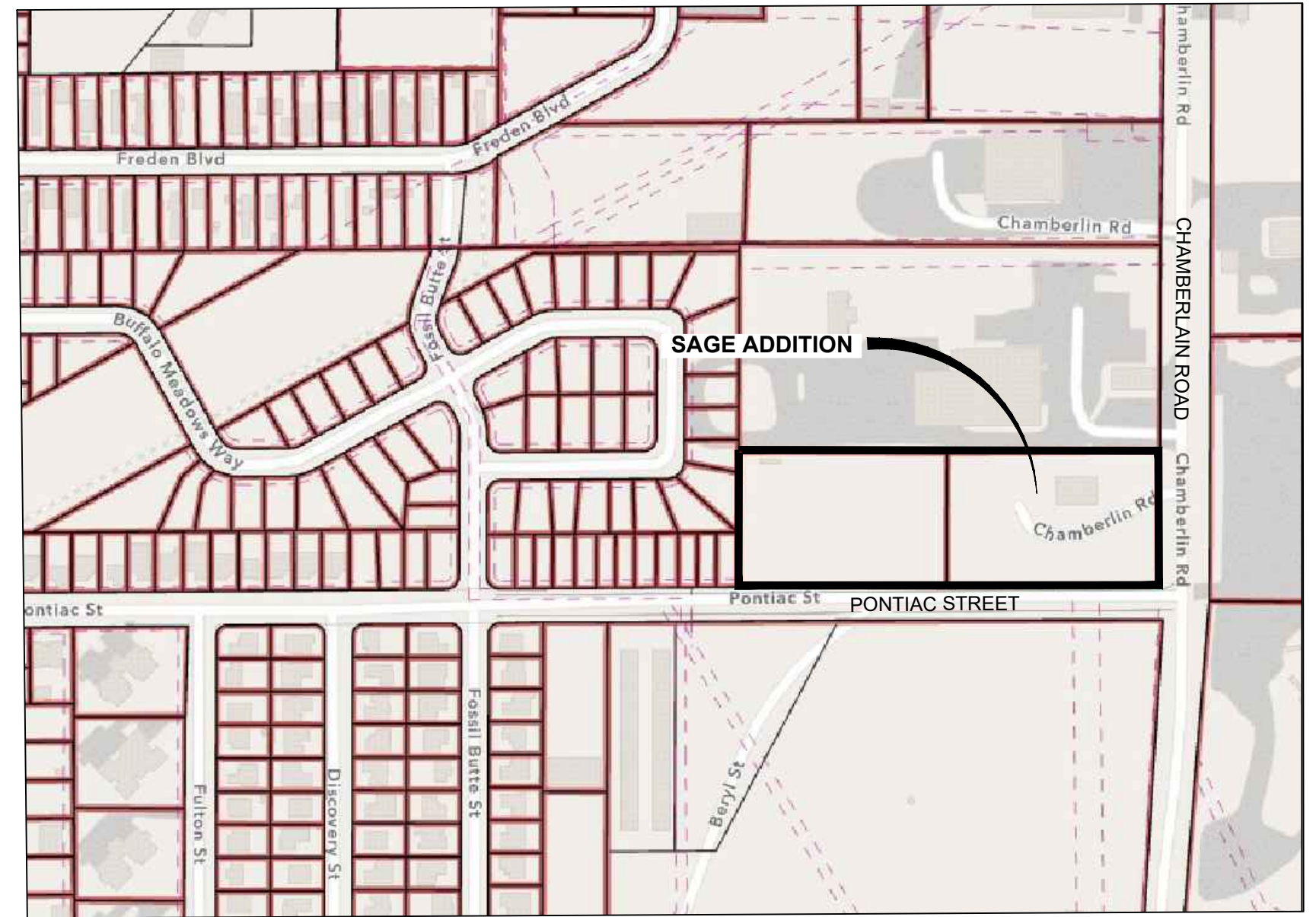
AGENT Signature \_\_\_\_\_

**FEE:** \$10.00 per dwelling unit with a \$250.00 minimum and a \$1000.00 maximum; plus a recordation fee of \$150.00.

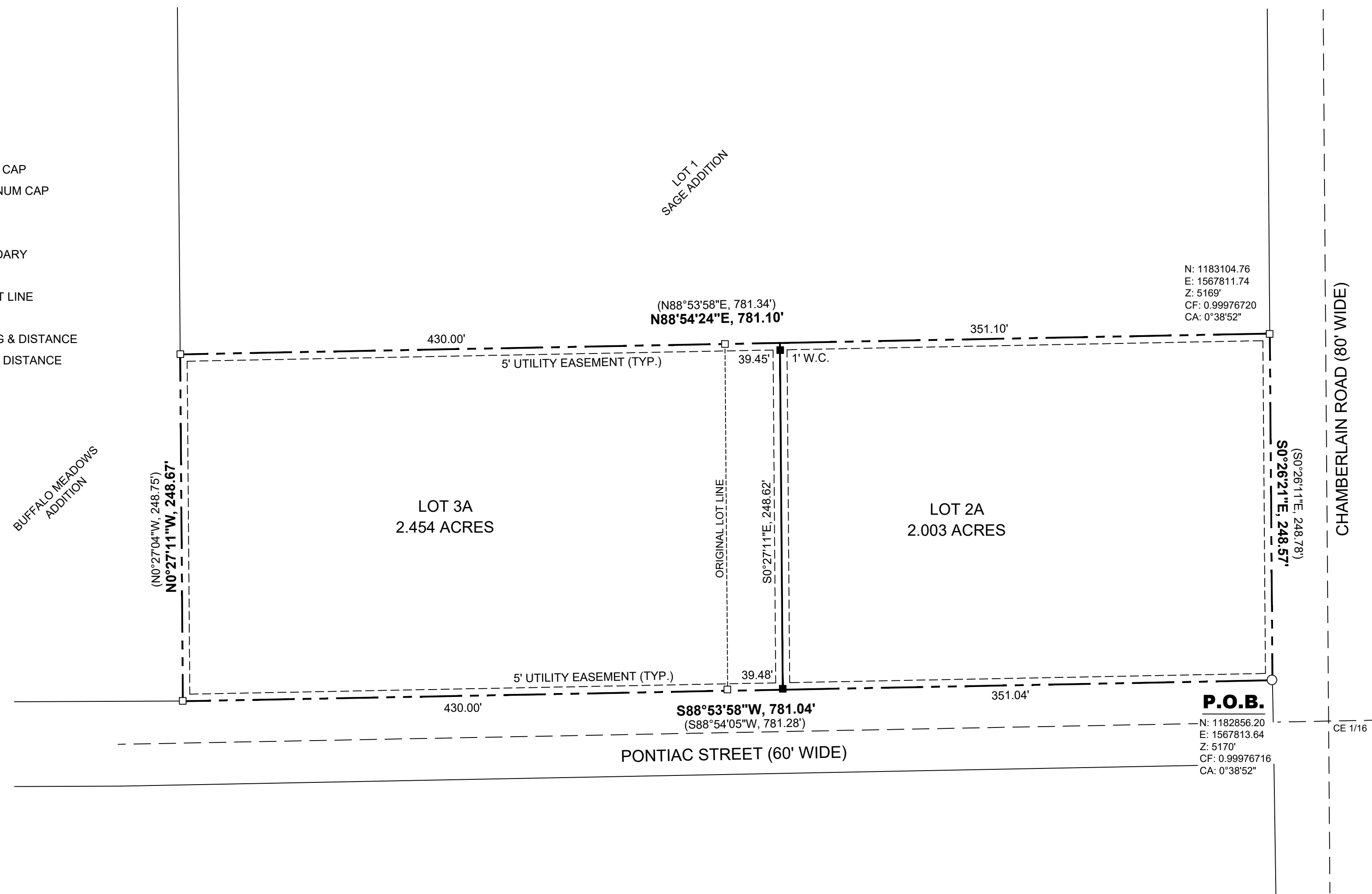
**For Office Use Only:** Signature verified: \_\_\_\_\_ Proof of ownership provided: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

# A MINOR BOUNDARY ADJUSTMENT PLAT OF LOTS 2 & 3 SAGE ADDITION AS **SAGE ADDITION**

THE NEWLY CREATED LOTS TO BE DESIGNATED AS LOTS 2A AND 3A, SAGE ADDITION  
AN ADDITION TO THE  
CITY OF MILLS, WYOMING  
LOCATED IN PORTIONS OF  
THE S1/2SW1/4NE1/4,  
SECTION 12, T.33N., R.80W, 6TH P.M.,  
NATRONA COUNTY, WYOMING



- LEGEND**
- RECOVERED BRASS CAP
  - RECOVERED ALUMINUM CAP
  - SET ALUMINUM CAP
  - W.C. WITNESS CORNER
  - - - - - SUBDIVISION BOUNDARY
  - — — — LOT LINE
  - - - - - EXISTING EASEMENT LINE
  - - - - - 1/16 SECTION LINE
  - S88°53'58"W, 781.04' MEASURED BEARING & DISTANCE
  - (S88°54'05"W, 781.28') RECORD BEARING & DISTANCE



### CERTIFICATE OF DEDICATION

STATE OF WYOMING  
COUNTY OF NATRONA

THE UNDERSIGNED, LYLE C. VINICH, OWNER, DO HEREBY CERTIFY THAT THEY ARE THE OWNERS AND PROPRIETORS OF LOTS 2 AND 3, SAGE ADDITION, LOCATED IN A PORTION OF THE S1/2SW1/4NE1/4, SECTION 12, T.33N., R.80W., 6TH P.M., CITY OF MILLS, NATRONA COUNTY, WYOMING, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE PARCEL BEING DESCRIBED AND A POINT IN THE INTERSECTION OF THE WEST LINE OF CHAMBERLAIN STREET WITH THE NORTH LINE OF PONTIAC STREET;  
THENCE FROM SAID POINT OF BEGINNING AND ALONG THE SOUTH LINE OF SAID PARCEL AND THE NORTH LINE OF SAID PONTIAC STREET, S.88°53'58"W., 781.04 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL AND THE SOUTHEAST CORNER OF OF BUFFALO MEADOWS ADDITION;  
THENCE ALONG THE WEST LINE OF SAID PARCEL AND THE EAST LINE OF SAID BUFFALO MEADOWS ADDITION, N.0°27'11"W., 248.67 FEET TO THE NORTHWEST CORNER OF SAID PARCEL AND THE SOUTHWEST CORNER OF LOT 1, OF SAID SAGE ADDITION;  
THENCE ALONG THE NORTH LINE OF SAID PARCEL AND THE SOUTH LINE OF SAID LOT 1, SAGE ADDITION, N.88°54'24"E., 781.10 FEET TO THE NORTHEAST CORNER OF SAID PARCEL, THE SOUTHEAST CORNER OF SAID LOT 1, SAGE ADDITION AND A POINT IN THE WEST LINE OF SAID CHAMBERLAIN STREET;  
THENCE ALONG THE EAST LINE OF SAID PARCEL AND THE WEST LINE OF SAID CHAMBERLAIN STREET, S.0°26'21"E., 248.57 FEET TO THE POINT OF BEGINNING;

THE ABOVE-DESCRIBED PARCEL OF LAND CONTAINS 4.457 ACRES, MORE OR LESS, AND IS SUBJECT TO ANY RIGHTS-OF-WAY AND/OR EASEMENTS, RESERVATIONS, AND ENCUMBRANCES WHICH HAVE BEEN LEGALLY ACQUIRED.

THE PARCEL OF LAND, BEING A MINOR ADJUSTMENT PLAT OF LOTS 2 AND 3, SAGE ADDITION AS IT APPEARS ON THIS PLAT, IS DEDICATED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE ABOVE NAMED OWNERS AND PROPRIETORS. THE NAME OF THE SUBDIVISION SHALL BE KNOWN AS "SAGE ADDITION", TO THE CITY OF MILLS, NATRONA COUNTY, WY, DESIGNATED AS LOTS 2A AND 3A. ALL STREETS SHOWN HEREON ARE HEREBY OR WERE PREVIOUSLY DEDICATED TO THE USE OF THE PUBLIC. EASEMENTS SHOWN HEREON, ARE HEREBY DEDICATED TO THE CITY OF MILLS AND TO THE PUBLIC AND PRIVATE UTILITY COMPANIES FOR THE PURPOSES OF CONSTRUCTION, OPERATION AND MAINTENANCE OF UTILITY LINES, CONDUITS, DITCHES, DRAINAGE AND ACCESS.

LYLE C. VINICH  
12274 VACATION CT  
STURGIS, SD 57785

LYLE C. VINICH, OWNER

### ACKNOWLEDGEMENTS

STATE OF WYOMING )  
) SS  
COUNTY OF NATRONA )

THIS THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025,  
BY LYLE C. VINICH - OWNER.  
WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: \_\_\_\_\_  
NOTARY PUBLIC

### APPROVALS

CITY OF MILLS:  
APPROVED BY THE CITY COUNCIL OF THE CITY OF MILLS, WYOMING BY RESOLUTION NUMBER \_\_\_\_\_ DULY PASSED, ADOPTED AND  
APPROVED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

MAYOR \_\_\_\_\_ ATTEST: CITY CLERK \_\_\_\_\_  
CITY ENGINEER \_\_\_\_\_ CITY SURVEYOR \_\_\_\_\_ CITY PLANNER \_\_\_\_\_

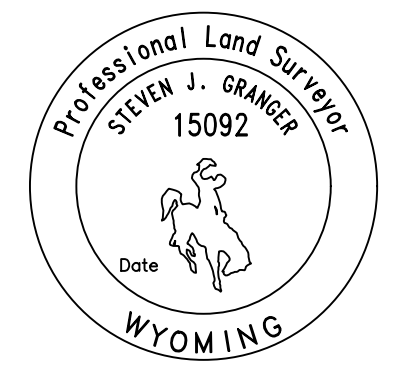
### CERTIFICATE OF SURVEYOR

I, STEVEN J. GRANGER, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, REGISTERED UNDER THE LAWS OF THE STATE OF WYOMING, THAT THIS PLAT IS A TRUE, CORRECT AND COMPLETE PLAT OF PLAT OF SAGE ADDITION, DESIGNATED AS LOTS 2A AND 3A, AS LAID OUT, PLATTED, DEDICATED AND SHOWN HEREON, AND THAT THIS PLAT WAS MADE FROM NOTES DURING AN ACTUAL SURVEY MADE BY ME OR OTHERS UNDER MY DIRECT SUPERVISION DURING THE MONTH OF DECEMBER, 2024 AND THAT THE PHYSICAL AND MATHEMATICAL DETAILS SHOWN HEREON ARE CORRECT AT THE TIME OF SAID SURVEY.

STATE OF WYOMING )  
) SS  
COUNTY OF NATRONA )

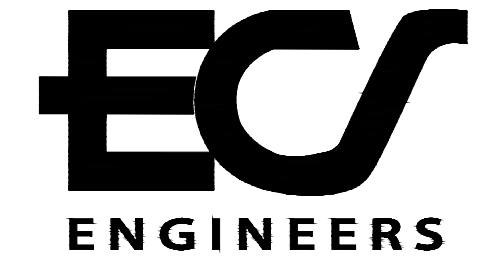
THIS THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025,  
BY STEVEN J. GRANGER

WITNESS MY HAND AND OFFICIAL SEAL.  
MY COMMISSION EXPIRES: \_\_\_\_\_  
NOTARY PUBLIC



### NOTES

1. ERROR OF CLOSURE EXCEEDS 1:1,004,367.
2. BEARINGS AND COORDINATES ARE BASED ON THE WYOMING STATE PLANE COORDINATE SYSTEM, EAST CENTRAL ZONE, NAD 83/2011.
3. ELEVATIONS ARE NAVD88 AND NOT TO BE USED AS BENCHMARKS.
4. DISTANCES: US SURVEY FOOT/GRID.



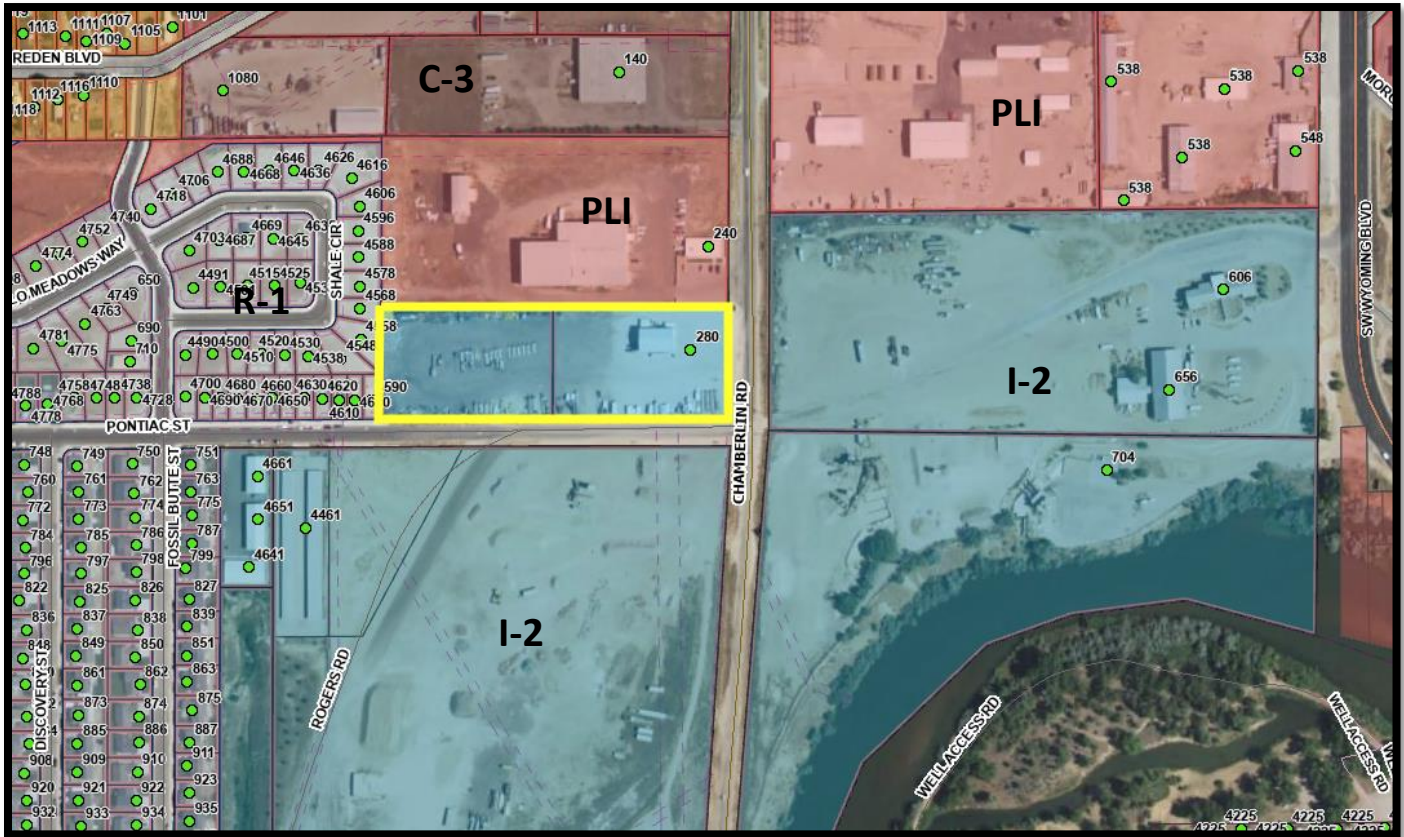
Environmental and Civil Solutions, LLC  
111 West 2nd Street, Suite 600  
Casper, WY 82604  
Phone: 307.337.2883  
www.ecsengineers.net

OWNER:  
LYLE C. VINICH  
12274 VACATION CT  
STURGIS, SD 57785

DATE DRAWN:  
2.20.2025

PROJECT NO. 240050

## Lots 2A & 3A, Sage Addition – Boundary Line Adjustment Final Plat



### Mills Zoning Districts

<span style="display: inline-block; width: 15px; height: 15px; background-color: #e91e63; border: 1px solid black; margin-right: 5px;"></span> Mills, C-1: General Commercial	<span style="display: inline-block; width: 15px; height: 15px; background-color: #ffff00; border: 1px solid black; margin-right: 5px;"></span> Mills, O-B: Office Business District
<span style="display: inline-block; width: 15px; height: 15px; background-color: #a1887f; border: 1px solid black; margin-right: 5px;"></span> Mills, C-3: Business Service District	<span style="display: inline-block; width: 15px; height: 15px; background-color: #add8e6; border: 1px solid black; margin-right: 5px;"></span> Mills, R-1: Single Family Dwelling District
<span style="display: inline-block; width: 15px; height: 15px; background-color: #00b0f0; border: 1px solid black; margin-right: 5px;"></span> Mills, I-1: Light Industrial	<span style="display: inline-block; width: 15px; height: 15px; background-color: #6a5acd; border: 1px solid black; margin-right: 5px;"></span> Mills, R-2: One and Two Family Dwelling District
<span style="display: inline-block; width: 15px; height: 15px; background-color: #008080; border: 1px solid black; margin-right: 5px;"></span> Mills, I-2: Heavy Industrial	<span style="display: inline-block; width: 15px; height: 15px; background-color: #800080; border: 1px solid black; margin-right: 5px;"></span> Mills, R-3: Multiple Family Dwelling District
<span style="display: inline-block; width: 15px; height: 15px; background-color: #ffcc00; border: 1px solid black; margin-right: 5px;"></span> Mills, M-H: Manufactured Home District	<span style="display: inline-block; width: 15px; height: 15px; background-color: #8b4513; border: 1px solid black; margin-right: 5px;"></span> Mills, UA: Urban Agriculture
<span style="display: inline-block; width: 15px; height: 15px; background-color: #ffcc99; border: 1px solid black; margin-right: 5px;"></span> Mills, M-P: Manufactured Home Park	<span style="display: inline-block; width: 15px; height: 15px; background-color: #c08040; border: 1px solid black; margin-right: 5px;"></span> Mills, UR: Urban Agriculture Residential
<span style="display: inline-block; width: 15px; height: 15px; background-color: #e91e63; border: 1px solid black; margin-right: 5px;"></span> Mills, PLI: Public Land Institutions	



5/31/2023 3:32:57 PM NATRONA COUNTY

Pages: 1

Tracy Good  
Recorded: CC  
Fee: \$12.00  
AMERICAN TITLE AGENCY

QUITCLAIM DEED  
(280 Chamberlin Rd.)

1140299

KNOW ALL MEN BY THESE PRESENTS THAT Rustin L. Anderson and Lyle Christopher Vinich, collectively as "Grantor," for and in consideration of \$10.00 Dollars in hand paid, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, hereby QUITCLAIMS AND CONVEYS TO Lyle Christopher Vinich, as "Grantee," all of Grantor's right, title and interest in and to the following described real estate, situate in Natrona County and State of Wyoming, hereby releasing and waiving all rights under and by virtue of the homestead exemption laws of the State, to-wit:

LOTS 2 AND 3, SAGE ADDITION TO THE TOWN OF MILLS, NATRONA COUNTY, WYOMING, AS PER PLAT RECORDED OCTOBER 30, 2019, AS INSTRUMENT NO. 1072368,

TOGETHER with any and all tenements, hereditaments and appurtenances belonging or in anywise appertaining thereto, any and all improvements and fixtures thereon, and any and all easements, rights of way, and other rights appurtenant thereto, and FURTHER TOGETHER WITH any after acquired title Grantor receives in and to any part of the above-described property.

This deed is intended to sever any co-ownership arrangement between the Grantors in the above-described property and vest title solely in the above-named Grantee.

Dated May 30, 2023  
Rustin L. Anderson Rustin L. Anderson     Lyle Christopher Vinich Lyle Christopher Vinich

ACKNOWLEDGMENTS

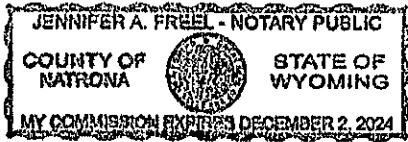
STATE OF WYOMING )  
 ) SS:  
COUNTY OF NATRONA )

The foregoing instrument was signed and acknowledged before me by Rustin L. Anderson on May 30, 2023.

Witness my hand and official seal.

J. A. Freel  
Notary Public

My Commission Expires: 12/2/24



ACKNOWLEDGMENTS

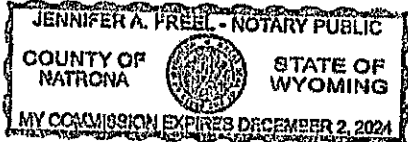
STATE OF WYOMING )  
 ) SS:  
COUNTY OF NATRONA )

The foregoing instrument was signed and acknowledged before me by Lyle Christopher Vinich on May 31, 2023.

Witness my hand and official seal.

J. A. Freel  
Notary Public

My Commission Expires: 12/2/24



**Board Members Present:** John Gudger, Chris Volzke, John Bryson and Robin Baye were present for the P&Z Meeting. Member Nick Sterling was absent.

**City Staff in Attendance:** Megan Nelms, City Planner, Building Inspector Kevin O'Hearn, Sabrina Kemper, Community Development Director and Sarah Osborn, City Clerk

Chairman John Gudger called meeting to order at 5:32pm on February 6, 2025, as a quorum was present.

Chairman Gudger asked if everyone had a chance to read the minutes from the previous meeting on January 2, 2025. Board Member Chris Volzke made a motion to approve the minutes. Board Member Robin Baye seconded the motion. Chairman Gudger called for a vote to pass the minutes of the January 2, 2025 P&Z meeting. All ayes, motion passed.

Chairman Gudger introduced the first item on the agenda, the Final Plat for the replat of Lots 2 & 3, Sage Addition and ask Megan for a staff report. Megan provided an overview of the application, stating that it was completing a boundary adjustment between Lots 2 & 3, Sage Addition. The Applicant is Lyle Vinich and the agent is ECS Engineering. The adjustment will reduce the size of proposed Lot 2A from 2.23 to 2.0 acres and increase proposed Lot 3A from 2.23 to 2.45 acres in size. The subdivision is located on the northwest side of the intersection of Chamberlin Rd and Pontiac Street and zoned as I-1 (Light Industrial). There is an existing shop building on proposed Lot 2A. There are just a few planning considerations. They are as follows:

**Planning Considerations:**

1. Add a 5' general utility easement around the boundary of each lot
2. Label the line shown on Lot 3A
3. Survey Reviews:
  - Verify the plat scale is 1" = 60' not 1" = 100'
  - Verify all line types in the legend match those on the plat face
  - Revise the plat in the vicinity map and Surveyors Certificate to match the Dedication.

**Staff Recommendations:**

Staff recommends approval of the Final Plat, pending all considerations being completed and recommends the Planning Commission make a do-pass recommendation on the application to City Council.

Board Member Bryson had questions regarding line labels. Steve Granger with ECS Engineers came forward. He stated that the next item on the agenda is the development plan related to this subdivision but wanted to clarify that he has not seen the site plan and has only worked on the plat. Kevin brought the site plan to the podium to show Steve. He let the

commission know that the line being discussed is the original lot line. He can add the line to the legend or remove it all together. Member Bryson asked him to just label the line. Megan stated she will revise the considerations to remove or label the line being vacated.

There was discussion regarding the 50' wide easement running along the eastern side of the subdivision. Mr. Granger said that the easement shows up on the original Sage Addition plat and it is recorded, but he was unsure about the site plan. Chairman Gudger referred to the site plan and detailed that the building is roughly 124' and based on those dimensions, the existing building is within the easement. Mr. Granger agreed and said it was a possible conflict. He thinks that it is one of the large transmission lines that runs up through there.

Megan stated that, in reviewing the aerial photo, there is not any overhead transmission infrastructure within the shown easement. She stated that based on the recording information, you can tell it is a very old easement. Megan recommended that they do locates and make sure the lines are not underground. Member Bryson advised he would like them to provide positive evidence of vacation of the easement. Mr. Granger said that may be hard to do, but he would provide some information to Megan. Megan said we could ask the City Attorney for more clarification as to the process of vacating the easement, based on who it is in favor of, and other issues. She reminded the commission that at this time, they are only reviewing the subdivision plat, not the development plan. Chairman Gudger made it clear that they would be approving the plat, but not the site plan at this time. Megan confirmed.

Chairman Gudger opened the floor for questions or comments from the commission or the public. There were none. Chairman Gudger then asked for a motion. Vice Chairman Volzke made a motion to approve the final plat for the resubdivision of Sage Addition, pending completion of all planning considerations. Member Bryson seconded the motion. All voted aye, motion carried.

Chairman Gudger introduced the next item on the agenda, the Vinich Development Plan, and asked Megan for a staff report. Megan provided an overview of the case, 25.01 DEV. The applicant is proposing to construct additions to an existing commercial shop building on Lot 2A, Sage Addition. The existing building is approximately 3,750 sf in size and the application proposes future additions of 3,600 sf on the north side of the existing structure and a second addition of 1,710 sf on the south side. The property is located on the northwest corner of the intersection of Chamberlin Rd and Pontiac St.

Megan provided an overview of the development plan review process and the criteria for approval. She provided details on the current application, stating that the site encompasses approximately 2.0-acres and is zoned I-1 (Light Industrial). The development plan notes that exterior lighting will be on the building, with no proposed parking lot illumination. Specifications for the types of exterior lighting for the building need to be provided. A 'potential future building' is depicted on the adjacent Lot 3A. It should be noted that any future development on Lot 3A will require a separate Development Plan application and review. She also advised that the applicant should also be aware of additional setbacks and buffering that will be required for commercial or industrial development adjacent to the residential Buffalo Meadows Addition.

Megan then provided a summary of the planning considerations for the development plan application:

**Planning Considerations:**

1. Submit a detailed lighting plan per Section 40.35 detailing the types of lighting proposed for the building. Submit an exterior lighting plan per Section 40.35(4) showing the location and types of lighting for the building, along with manufacturer's specifications.
2. Per Section 40.10(6) all required parking spaces and all driveways, entrances and exits from the parking area shall be paved with asphalt, concrete or similar permanent surface.
  - a. Nine (9) parking spaces are required. 14 are shown on the development plan with asphalt surfacing. This meets the intent of the regulations.
3. Submit a final drainage plan
4. Enter into an approved Site Plan Agreement upon approval of the Development Plan.
5. Obtain all required building permits for:
  - a. All site lighting
  - b. All on-premise signage.
6. Clarify and show the power 15' wide power easement on the site plan and clarify whether there is a holds infrastructure and the encroachment of the building in the easement.

**Staff Recommendation:**

Staff recommends approval of the Development Plan pending completion of all planning considerations and recommends the Planning Commission make a do-pass recommendation on the application to City Council.

Board Member Bryson had questions regarding the required paving area. There was general discussion centered around the requirements for paving the required parking area in industrial zoning districts. Megan stated that the commission will see upcoming amendments to the LDRs and she will be sure to include some clarifying language regarding parking surfacing at that time.

There was extensive discussion over the location of the 50' easement on the eastern portion of the property in relation to the existing building and proposed additions. Chairman Gudger state that he did not want to move the application forward without knowing more about the easement. Megan stated staff's recommendation is still approval, as the applicant and their agent will be required to provide information on the easement as part of completing the planning considerations prior to council review and approval. Chairman Gudger stated he feels the application should be tabled. There was general discussion by the commission on whether they wanted to review the development plan and easement information again before making a recommendation.

Chairman Gudger then asked if there was any other discussion. There was none. He then made a motion to table the Vinich Development Plan Application, pending additional information regarding the 50' wide easement. Vice-Chairman Volzke seconded the motion. All voted aye, motion carried.



Chairman Gudger introduced the final item on the agenda, the Vision Beyond Borders Development Plan and asked Megan to provide a staff report. Megan reminded the commission that the case had been tabled at the previous meeting and that the commission should entertain a motion to remove it from the table for consideration. Member Volzke motioned to remove the case from the table for review. Member Bryson seconded. All voted aye, motion carried.

Megan provided an overview of the case, 25.01 DEV, stating the case had been tabled at the previous meeting with a request from the commission that the applicant provide additional details and required items per the LDRs. The applicant is Patrick Klein with Vision Beyond Borders and the agent is Steve Granger with ECS Engineering.

Megan provided an overview of the development plan review process and the criteria for approval of a development plan. Vision Beyond Borders has applied to construct a new pole building for Vision Beyond Borders, located just off Yellowstone Highway, accessing via Radio Ave. She stated that the site encompasses .75-acres and is zoned C-1 (General Commercial).

Megan provided a summary of the outstanding items that were previously missing from the application that were now included, such as a detailed landscaping plan, exterior lighting plan and updated site plan. She stated that one outstanding issue remains. Per Section 40.10(6) all required parking spaces and all driveways, entrances and exits from the parking area shall be paved with asphalt, concrete or similar permanent surface. The development plan shows the (6) parking spaces. The applicant has indicated on the development plan and in the application their intent to utilize gravel surfacing across the remainder of the site with plans to pave in the future. Megan stated that the commission should evaluate this request and include a recommendation to city council to allow the exception to the paving requirement or request a revision of the application showing fully paved surface at the time of construction and building occupation. She also provided a summary of the planning considerations.

**Planning Considerations:**

1. The previous application contained a conceptual exterior lighting plan. A more detailed exterior lighting plan has been provided with this submittal and appears to be in conformance with the LDRs.
  - a. No parking lot lighting is proposed
  - b. Exterior lighting will be limited to the building with shielded wall-packs. The applicant needs to specify which model of the Sling Series Slender Wallpack light will be utilized.
2. Section 40.40(4), a minimum of 10% of the site shall be landscaped. A conceptual landscaping plan was submitted with the previous application. An updated, detailed landscape plan has been submitted and appears to be in conformance with the LDRs.
3. Per Section 40.10(6) all required parking spaces and all driveways, entrances and exits from the parking area shall be paved with asphalt, concrete or similar permanent surface.
  - a. If the Planning Commission desires to allow an alternate surfacing type, either temporarily or permanently, the motion and recommendation to Council should include language to that effect.
  - b.

4. Enter into an approved Site Plan Agreement upon approval of the Development Plan.
5. A new address will be assigned after approval of the site plan.
6. Provide final, City Engineer approved design plans for:
  - a. Final grading plan
  - b. Final access/approach plans
  - c. Final utility service plans
7. Obtain all required building permits for:
  - a. All site lighting
  - b. All on premise signage.

**Staff Recommendation:**

Megan stated that staff recommends APPROVAL of the Development Plan with the requirement that all paving requirements of the LDRs be met prior to occupancy of the building as well as all other planning considerations.

Chairman Gudger then asked if there were any questions from the commission. Vice Chairman Volzke questioned the updated drainage plan, saying it shows a small storm water detention area next to the thrift store, and he wants to confirm that a final drainage plan and design will be forthcoming. Megan confirmed that a final drainage plan would be required as part of the approval. Board Member Bryson commented there still wasn't a shared access easement shown for the access aisle between the two lots.

Board Member Bryson next asked about the paving requirement. Megan stated that staff suggests the commission make a recommendation on the request to delay the required paving to city council if they feel differently than the staff recommendation. Mike Elston and Jana Beeson with Vision Beyond Borders came forward to address the delayed paving request and the concerns they have about having to pave the lot immediately. Mr. Elston stated the request is that they be allowed to pave the property in phases. He stated that VBB is a non-profit organization and trying to be fiscally conservative with their construction and operating funds.

There was general discussion about the paving requirements and what would be paved when. Chairman Gudger stated that he would be okay with granting a 5-year time period by which they would have to have all required paving complete. Vice Chair Volzke disagreed, stating that enforcement of conditions like this is difficult with staff changes and things being forgotten over a period of time. He stated that he believes VBB has good intentions, but this isn't something that can be easily tracked.

Chairman Gudger asked Kevin if there was a way to enforce this through the CSO. Kevin explained that the paving usually happens a lot quicker due to trucks driving over the gravel and pavement. Kevin did say that there is no way to track it. In order to protect the asphalt, they will want to pave it sooner. Chairman Gudger asked if we could add a clause in the application.

Megan provided some additional information, stating that paving was a requirement for all lots within the commercial zoning districts. As Kevin stated, tracking mud, gravel and dirt onto city streets is not the city's best interest, hence the requirement for paved parking lots. Megan stated that if the commission made a

recommendation to allow the delayed paving and the council approved it, it would become a condition in the recorded Development Plan agreement that the applicant will be required to enter into with the city.

Board Member Bryson also had comments regarding the landscaping plan, stating he would like to see the landscaping closer to Yellowstone Highway, be recognizing that the landscaping is required to be installed on the lot being developed.

There was general discussion about the lot lines and a shared access and utility easement shown on the plat. Board Member Bryson stated that the site plan shows vehicles on the access drive to the parking area will be crossing over the lot line a bit and he doesn't want to see any issues if there are ever two different owners of the parcels.

Shawn Gustafson, ECS Engineering approached the commission and stated that the easement shown on the plat is a shared access and general utility easement, with 10' on each side of the property line. Clarification was provided and Megan stated that the commission was worried about the access coming off Radio Rd and the east/west property line. There was general consensus from the commission that the applicants should record a separate shared access agreement for the two lots.

Chairman Gudger then asked if there were any other comments or questions from the commission. There were none. Chairman Gudger then made a motion to recommend approval of the development plan and recommend to city council to allow for a 5-year delay of paving the required parking area and only require paving of the areas highlighted in yellow on the exhibit drawn by the applicants at the time of building occupancy. His motion also included an additional planning consideration to require a shared access agreement along the east/west property line to ensure access to the new commercial building on Lot 3. Board Member Bryson seconded the motion. All voted aye, motion carried.

Chairman Gudger then opened the floor for public comment. Shawn Gustafson approached the commission and apologized for being late to the building. He stated that he was working on the final drainage plan for the Vinich Development Plan and that he would send it to Megan shortly. He also commented on the easement issue and stated he would provide information to staff on that as well.

With no other business, Chairman Gudger adjourned the meeting at 6:57pm.

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John Gudger, Chairman

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Attest: Sarah Osborn, City Clerk

**Resolution No. 2025-10**

**A RESOLUTION APPROVING THE FINAL PLAT FOR  
LOTS 2A & 3A, SAGE ADDITION,  
AN ADDITION TO THE CITY OF MILLS**

**WHEREAS**, the City of Mills is a municipal corporation under the laws of the State of Wyoming; and

**WHEREAS**, Lyle C. Vinich is the owner of Lots 2 & 3, Sage Addition, an addition to the City of Mills, Natrona County, Wyoming.

**WHEREAS**, said owner has petitioned the City of Mills to plat said property as Lots 2A & 3A, Sage Addition; and

**WHEREAS**, said plat was modified to satisfactorily address requests and requirements made by City Staff and Utility Providers; and

**WHEREAS**, said plat complies with City of Mills subdivision standards; and

**WHEREAS**, said plat complies with the minimum lot size and lot width requirements for the Light Industrial Zoning District; and

**WHEREAS**, the Planning & Zoning Commission met on February 6, 2025, and forwarded a “Do Pass upon completion of all planning considerations” recommendation for said plat to the City Council.

**THEREFORE, BE IT RESOLVED**, the Mills City Council considered the application and recommendations of staff and the Planning & Zoning Commission at a Council meeting held on 25 February 2025 and approved the Final Plat for Lots 2A & 3A, Sage Addition, an addition to the City of Mills, Wyoming.

1. All planning considerations shall be met.
2. Upon City Council approval, a “Final Plat” will be provided to the City of Mills for recordation with the Natrona County Clerk’s Office.

**PASSED, APPROVED AND ADOPTED THIS 25<sup>TH</sup> Day of February, 2025.**

CITY OF MILLS, WYOMING

\_\_\_\_\_  
Leah Juarez, Mayor

\_\_\_\_\_  
Sara McCarthy, Council

\_\_\_\_\_  
Cherie Butcher, Council

\_\_\_\_\_  
Tim Sutherland, Council

\_\_\_\_\_  
Brad Neumiller, Council

ATTEST:

\_\_\_\_\_  
Sarah Osborn, City Clerk

**Resolution No. 2025-11**

**A RESOLUTION FOR APPROVAL OF A DEVELOPMENT PLAN FOR A PROPOSED COMMERCIAL POLE BUILDING FOR VISION BEYOND BORDERS, LOCATED ON LOT 3, VISION BEYOND BORDERS ADDITION, CITY OF MILLS, WYOMING**

**WHEREAS**, the City of Mills is a municipal corporation under the laws of the State of Wyoming; and

**WHEREAS**, Vision Beyond Borders is the owner of Lot 3, Vision Beyond Borders Addition, City of Mills; and

**WHEREAS**, Vision Beyond Borders has submitted a site plan for a proposed commercial pole building, located within the C-1 (General Commercial) Zoning District; and

**WHEREAS**, the City Staff and Utility Providers have reviewed the information submitted and found the Development Plan complies with the City of Mills Land Development Regulations and requirements; and

**WHEREAS**, at a meeting on February 6, 2025, the Mills Planning and Zoning Board forwarded a “Do Pass” recommendation to the City Council for approval of the site plan; and

**THEREFORE, BE IT RESOLVED**, the Mills City Council considered the application and recommendations of staff and the Planning & Zoning Board at a Council meeting held on February 25, 2025, and approved a request to allow the proposed commercial pole building on Lot 3, Vision Beyond Borders Addition, City of Mills, Wyoming with the following conditions:

1. All planning consideration shall be met.
2. Prior to obtaining building permits to construct, Vision Beyond Borders signs a Development Plan Agreement which will be recorded with the Natrona County Clerk’s Office stating construction will comply with all design provisions as shown on the Site Plan, all planning considerations and any other improvements required by the City of Mills.
3. That Vision Beyond Borders obtains all required building permits and complies with all Mills Code and inspection requirements and State and Federal regulations.
4. Prior to the issuance of certificates of occupancy, all requirements shall be completed to the satisfaction of the City Planner, City Engineer, Public Works Director, Fire Inspector and Building Inspector.

**PASSED, APPROVED AND ADOPTED THIS 25<sup>th</sup> DAY OF FEBRUARY 2025.**

CITY OF MILLS, WYOMING

\_\_\_\_\_  
Leah Juarez, Mayor

\_\_\_\_\_  
Sara McCarthy, Council

\_\_\_\_\_  
Cherie Butcher, Council

\_\_\_\_\_  
Tim Sutherland, Council

\_\_\_\_\_  
Brad Neumiller, Council

ATTEST:

\_\_\_\_\_  
Sarah Osborn, City Clerk



**CITY OF MILLS**  
EST. 1921

704 Fourth Street  
P.O. Box 789  
Mills, WY 82644

Phone: 307-234-6679  
Fax: 307-234-6528

## Memorandum

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**TO:** Mills City Council  
**FROM:** Megan Nelms, AICP, City Planner  
**DATE:** February 25, 2025  
**SUBJECT:** Vision Beyond Borders – Development Plan

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**Case Number:** 24.04 DEV

**Summary:** Vision Beyond Borders (VBB) has submitted a Development Plan application to construct a new pole building on Lot 3, Vision Beyond Borders Addition, which is a .75-acre lot on the southwest side of Yellowstone Hwy, at the intersection with Radio Rd. Access to the parcel will be from a new approach off Radio Rd.

At their February 6, 2025, meeting, the Planning Commission made a DO PASS recommendation for the Development Plan. However, one outstanding consideration remains for Council review and decision. Section 40.10(6) of the Land Development Regulations requires all parking spaces, driveways, entrances and exits from the parking area to be paved with asphalt, concrete or similar pavement surface.

Vision Beyond Borders has made a request to be allowed to delay paving of the entire parking area. Section 40.10(14) allows the City Council to review off-street parking exception requests. VBB has requested up to five years from approval of the Development Plan to pave the parking area for the new building. The Planning Commission reviewed the request and made a recommendation to Council to allow VBB to delay paving the entirety of the parking area, however, they recommended that VBB be required to pave the required parking spaces and the drive/access aisle prior to occupancy of the building. The area recommended to be paved immediately is highlighted in yellow on the attached exhibit.

**Staff Recommendation:** Staff’s recommendation is to require paving of all the required parking area prior to occupying the new building. All other requirements

for the Development Plan have been met, and staff recommends approval of the Development Plan and that Council enter into a Development Plan Agreement with the applicant.

**Planning Commission Recommendation:** At their February 6, 2025, meeting the Planning & Zoning Commission made a “DO PASS” recommendation on the Development Plan, pending completion of all planning considerations. Planning Commission recommends the applicant be allowed to delay paving of the entire parking area for up to 5 years but require paving of all off-street parking spaces and the access drive/aisle, as shown on the attached exhibit, prior to occupancy of the building.

PRELIMINARY DRAINAGE PLAN FOR  
**VISION BEYOND BORDERS**  
IN THE CITY OF MILLS  
NATRONA COUNTY, WYOMING

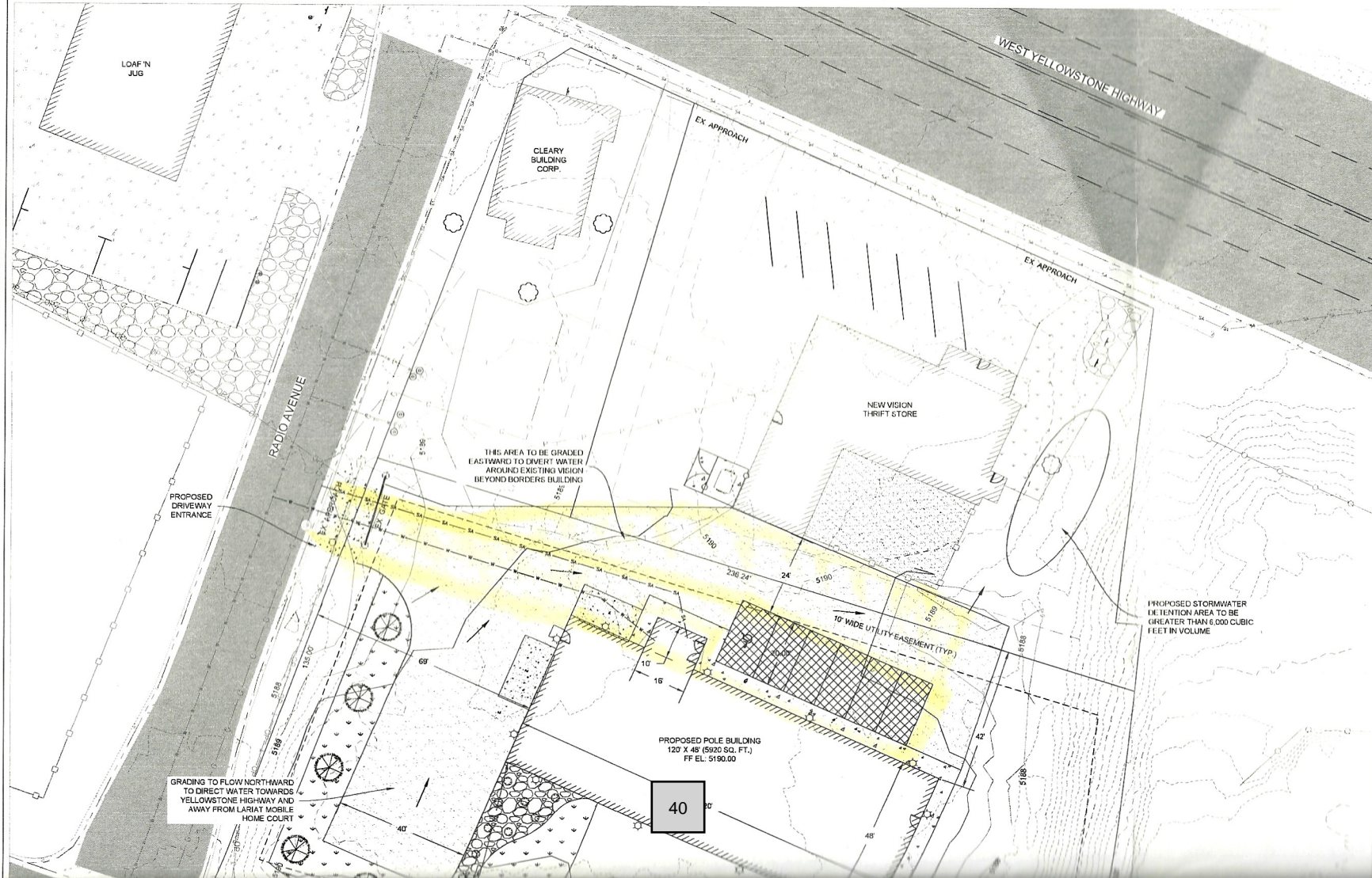
*Exhibit*  
*Proposed Paving*

**SYMBOLS**

- PROPOSED TREE
- TREE
- △ ECS CONTROL POINT
- ELECTRICAL VAULT
- ▣ FIBER OPTIC PEDESTAL
- ◆ FIRE HYDRANT
- ◊ PROFILE FIRE HYDRANT
- ▤ FLARED END SECTION
- ⊞ GAS METER
- ▨ CATCH BASIN
- ⋈ GUY WIRE ANCHOR
- ⊞ POWER POLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEAN OUT
- DRAINAGE DIRECTION ARROW
- ⊙ STORM SEWER MANHOLE
- ⊙ STREET LAMP
- ⊙ TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- ⊙ BORE HOLE LOCATION
- WATER TEE
- WATER CROSS
- ⊙ WATER VALVE
- ⊙ CURB STOP
- ⊞ ELECTRICAL METER CABINET
- ⊙ SINGLE SIGN POST
- ⊙ BOLLARD
- ◇ RECOVERED BRASS CAP
- RECOVERED ALUMINUM CAP
- RECOVERED REBAR
- ⊙ RECOVERED ALUMINUM CAP

ARCH-FULL BLEED D (24.00" X 36.00" INCHES)

WYOMING ARCHITECTURAL DESIGN INC.





**Vision Beyond Borders  
Commercial Development Plan**

**Planning Commission Meeting**  
January 2, 2025  
February 6, 2025

**City Council Meeting**

**Applicants:** Patrick Klein, Vision Beyond Borders

**Case Number:** 24.04 DEV

**Agent:** Steve Granger, ECS Engineering

**Summary:** The applicant is proposing to construct a commercial pole building.

**Legal Description:** Lot 3, Vision Beyond Borders Addition

**Location:** The property is located on the southwest side of Yellowstone Highway, at the intersection with Radio Rd.

**Current Zoning:** C-1 (General Commercial) \*no change of zoning is requested or required.

**Adjacent Land Use:** North: Yellowstone Highway ROW  
South: Lariat Mobile Home Court (MP)  
East: Lariat Mobile Home Court (MP)  
West: Various commercial businesses (C-1)

**Applicable Land Development Regulations**

Section 10.40 of the Mills LDRs provides the review criteria for the approval of a Development Plan. Those criteria include whether the site plan complies with all applicable regulations and if the development requires any additional site and design considerations. The proposed development should not create conflicts with vehicle, bicycle or pedestrian circulation and the Commission and/or City Council may require modifications, or condition plans, to ensure specific design features and conformance with all applicable standards.

**Summary:**

A Development Plan application has been submitted for a new pole building for Vision Beyond Borders, located just off Yellowstone Highway, accessing via Radio Ave. The site encompasses .75-acres and is zoned C-1 (General Commercial).

The Planning Commission is tasked with reviewing certain design considerations required with a Development Plan. Per Section 40.40 of the LDRs, a minimum of 10% of this site must be landscaped. An exterior lighting plan is a 41 to be submitted with a Development Plan

application. Off-street parking requirements are also required to be met. Per Section 40.10, (6) off-street parking spaces are required and all parking spaces, driveways, entrances and exits from the parking area to be paved with asphalt, concrete or a similar permanent surface.

The submitted Development Plan depicts the required six (6) parking spaces as paved, however, the applicant has indicated on the Development Plan and in the application their intention to utilize gravel surfacing across the remainder of the site, with plans to pave in the future. The Commission should evaluate this request and either include a recommendation to Council to allow an exception to the paving requirement or request a revision of the application to show a fully paved surface at time of construction.

**Planning Considerations:**

1. The previous application contained a conceptual exterior lighting plan. A more detailed exterior lighting plan has been provided with this submittal and appears to be in conformance with the LDRs.
  - a. No parking lot lighting is proposed
  - b. Exterior lighting will be limited to the building with shielded wall-packs. The applicant needs to specify which model of the Sling Series Slender Wallpack light will be utilized.
  
2. Section 40.40(4), a minimum of 10% of the site shall be landscaped. A conceptual landscaping plan was submitted with the previous application. An updated, detailed landscape plan has been submitted and appears to be in conformance with the LDRs.
  
3. Per Section 40.10(6) all required parking spaces and all driveways, entrances and exits from the parking area shall be paved with asphalt, concrete or similar permanent surface.
  - a. If the Planning Commission desires to allow an alternate surfacing type, either temporarily or permanently, the motion and recommendation to Council should include language to that effect.
  
4. Enter into an approved Site Plan Agreement upon approval of the Development Plan.
  
5. A new address will be assigned after approval of the site plan.
  
6. Provide final, City Engineer approved design plans for:
  - a. Final grading plan
  - b. Final access/approach plans
  - c. Final utility service plans
  
7. Obtain all required building permits for:
  - a. All site lighting
  - b. All on-premise signage.

**Staff Recommendation:**

Staff recommends APPROVAL of the Development Plan if all requirements of the LDRs are met, including paving of all entrances, exits and required parking area and all other planning considerations are completed and met.

**Planning Commission Recommendation:**

**City Council Decision:**



CITY OF MILLS
APPLICATION FOR SITE PLAN APPROVAL
Pursuant to the City of Mills Zoning Ordinance

City of Mills, Wyoming
704 4th Street (Physical Address)
P.O. Box 789 (Mailing Address)
Mills, Wyoming 82644

Date: 12/23/2024
Return by: (Submittal Deadline)
For Meeting on:

PLEASE PRINT

SINGLE POINT OF CONTACT:

APPLICANT/PROPERTY OWNER(S) INFORMATION:
Print Owner Name: Patrick Klein
Owner Mailing Address:
City, State, Zip:
Owner Phone: 406-839-5674
Applicant Email: ptthomas@hushmail.com
AGENT INFORMATION:
Print Agent Name: ECS Engineers
Agent Mailing Address: 1607 CY Avenue, Suite 104
City, State, Zip: Casper, WY 82604
Agent Phone: 307-337-2883
Agent Email:

PROPERTY INFORMATION:
Subject property legal description (attach separate page if long legal): Lot 3, Vision Beyond Borders Addition
Physical address of subject property if available:
Size of lot(s) sq. ft./acres: 32,497 sq. ft.
Current zoning: Current use: Vacant
Intended use of the property:
Zoning within 300 feet: Land use within 300 feet:

ATTACHMENTS (REQUIRED):
1. Proof of ownership: (such as deed, title certification, attorney's title opinion)
2. Seven (7) full sized copies of the Site Plan:
3. One reproducible 11 x 17 Site Plan hard copy:
4. One Site Plan electronic copy (pdf):
IF APPLICABLE, INCLUDE:
1. Number of employees on the premises:
2. Building occupant loading (if recreational, entertainment, place of assembly, a facility or building of similar nature):
3. Number of residential units:
4. Number of off-street parking spaces provided:
5. Number of off-street parking spaces required:

SIGNATURE(S):
The following owner's signature signifies that all information on this application is accurate and correct to the best of the owner's knowledge; and that the owner has thoroughly read and understands all application information and requirements. [In addition to the owner's signature(s), if an agent of the owner is to be the contact for all communications relating to this application, please have the agent sign below.]

I (We) the undersigned owner(s) of the property described above do hereby make application to the City of Mills as follows:

OWNER Signature: Patrick T. Klein
OWNER Signature:

AGENT Signature:

FEE: \$10.00 per dwelling unit with a \$250.00 minimum and a \$1000.00 maximum; plus a recordation fee of \$150.00.

For Office Use Only: Signature verified: Proof of ownership provided: Fee Paid: \$

January 14, 2025

Dear Planning and Zoning Committee,

Greetings! I apologize for not speaking up at the last meeting. I realize now that I missed an important opportunity to share the heart of our mission and the critical need we have for a new warehouse.

Vision Beyond Borders has been serving people and communities in need for over 40 years, both domestically and internationally. We work to send Bibles and much needed supplies around the world, support orphanages, rescue women and children from sex trafficking and help refugees and those affected by natural catastrophes. Our work is made possible through the generosity of donors and the efforts of countless volunteers who come together to collect, sort, and distribute supplies to those in desperate situations around the world. However, since selling our previous warehouse facility near Bar Nunn, our ability to continue this vital work has been severely impacted.

In the past year alone, we have carried out several significant outreach efforts:

- We sent two 40-foot containers filled with clothes, school supplies, dry food, and hygiene items to Syrian refugees in Jordan.
- We provided a 40-foot container of essential supplies to a nursing home in Cuba.
- We delivered a truck and trailer full of children's Bibles and clothing to Navajo children on the reservation in Arizona.
- We sent a semi-truck load of clothes and supplies to North Carolina to assist hurricane victims; we are hoping to send more supplies once our new warehouse is constructed and functioning.
- Most recently, we transported 36 suitcases filled with crucial supplies to help tribal people caught in the midst of a civil war in Burma. We are in need of more room to sort and pack suitcases full of much needed medicine and vitamins for Cuba and Burma.

These efforts have provided hope and relief to tens of thousands of individuals enduring unimaginable hardships. However, without a dedicated warehouse to store, sort, and pack donations, continuing our mission has become increasingly difficult. We wish we could have extended support to those affected by the fires in California, but without adequate storage, it simply wasn't possible. While our donors have been remarkably generous, we've been forced to turn away contributions due to a lack of space. Currently, we're operating out of our thrift store and relying on rented storage units—a temporary solution that is neither practical nor sustainable for the future.

As a ministry, we have always prioritized financial stewardship, ensuring that every dollar is used to help those in need rather than incurring unnecessary debt. At this point, our need for a new warehouse has become urgent. With a dedicated space, we can maximize the impact of our ministry, efficiently manage donations, and continue providing relief to those in crisis. I want to stress that we are fully committed to complying with all regulations set by the City of Mills, and we are more than willing to pave the parking area and landscaping where applicable.

I really appreciate the time and consideration that the committee has given to our request. We are eager to move forward, and your support in securing the necessary approvals for our new warehouse would be an invaluable step in enabling us to resume our mission of helping those in need.

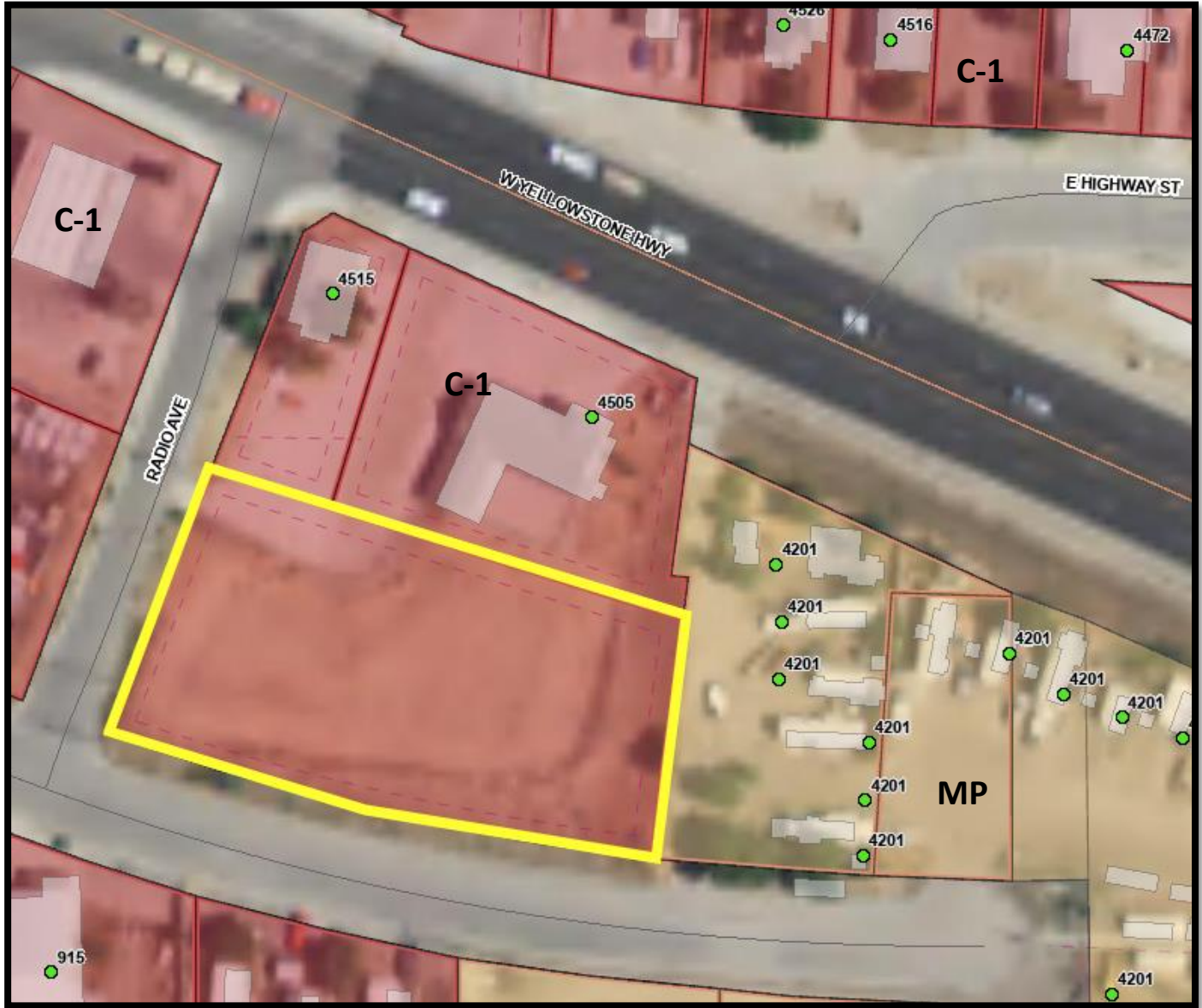
Thank you for your time, understanding, and assistance in this matter.

Sincerely,

Patrick T. Klein Vision Beyond Borders

"Jesus said, I am the way, the truth and the life, no one comes to the Father but by me." John 14:6

### Vision Beyond Borders – Development Plan



### Mills Zoning Districts

Mills, C-1: General Commercial	Mills, O-B: Office Business District
Mills, C-3: Business Service District	Mills, R-1: Single Family Dwelling District
Mills, I-1: Light Industrial	Mills, R-2: One and Two Family Dwelling District
Mills, I-2: Heavy Industrial	Mills, R-3: Multiple Family Dwelling District
Mills, M-H: Manufactured Home District	Mills, UA: Urban Agriculture
Mills, M-P: Manufactured Home Park	Mills, UR: Urban Agriculture Residential
Mills, PLI: Public Land Institutions	

# SITE PLAN FOR VISION BEYOND BORDERS IN THE CITY OF MILLS NATRONA COUNTY, WYOMING

## SYMBOLS

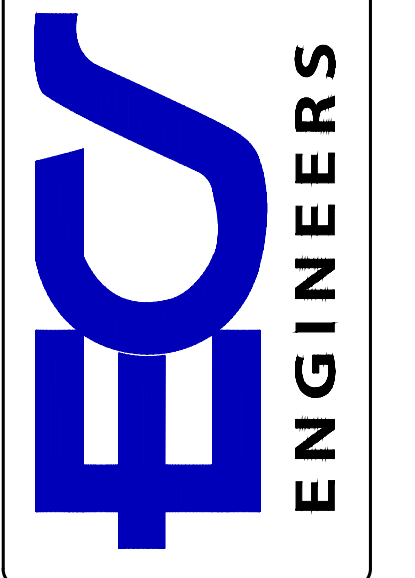
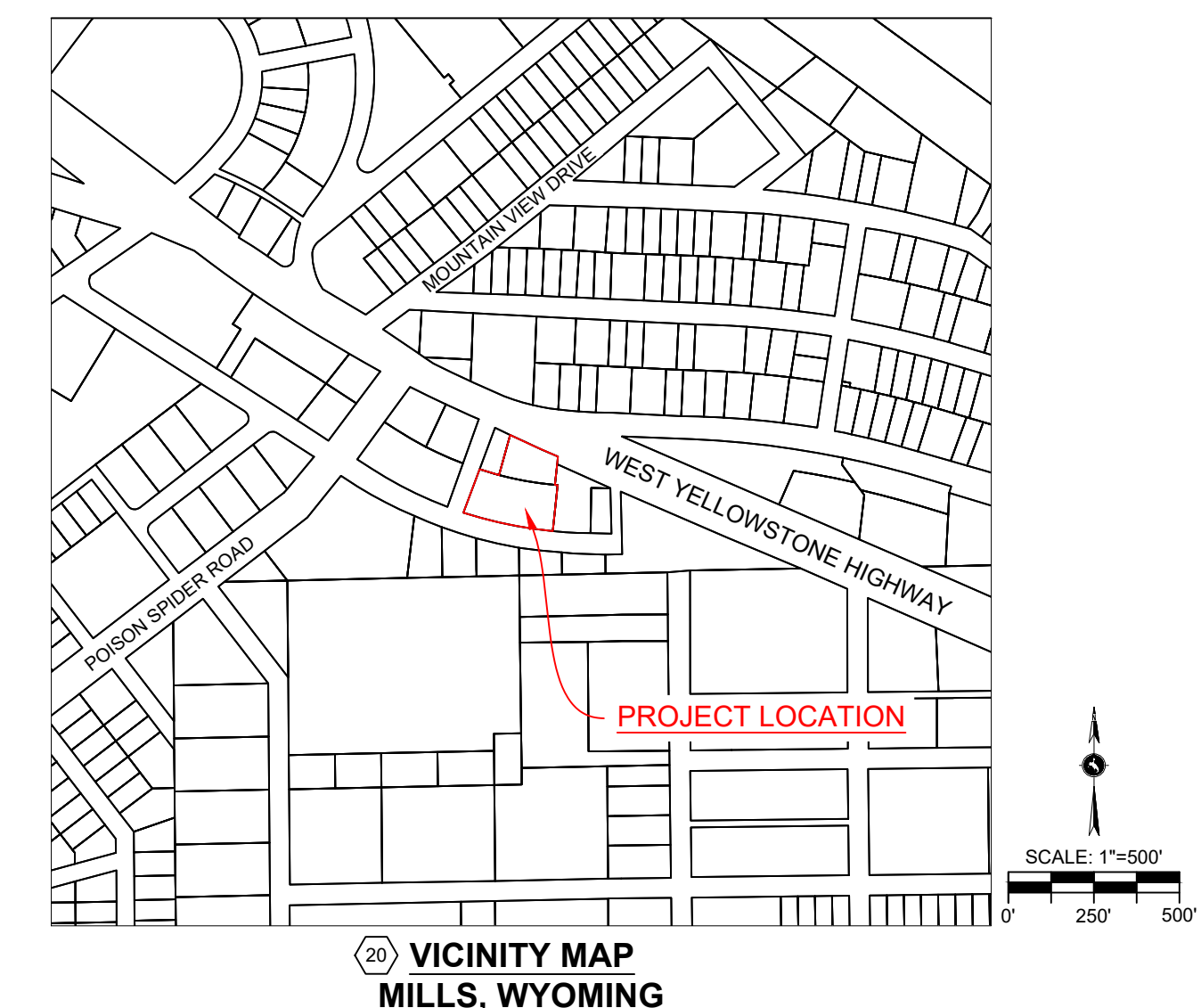
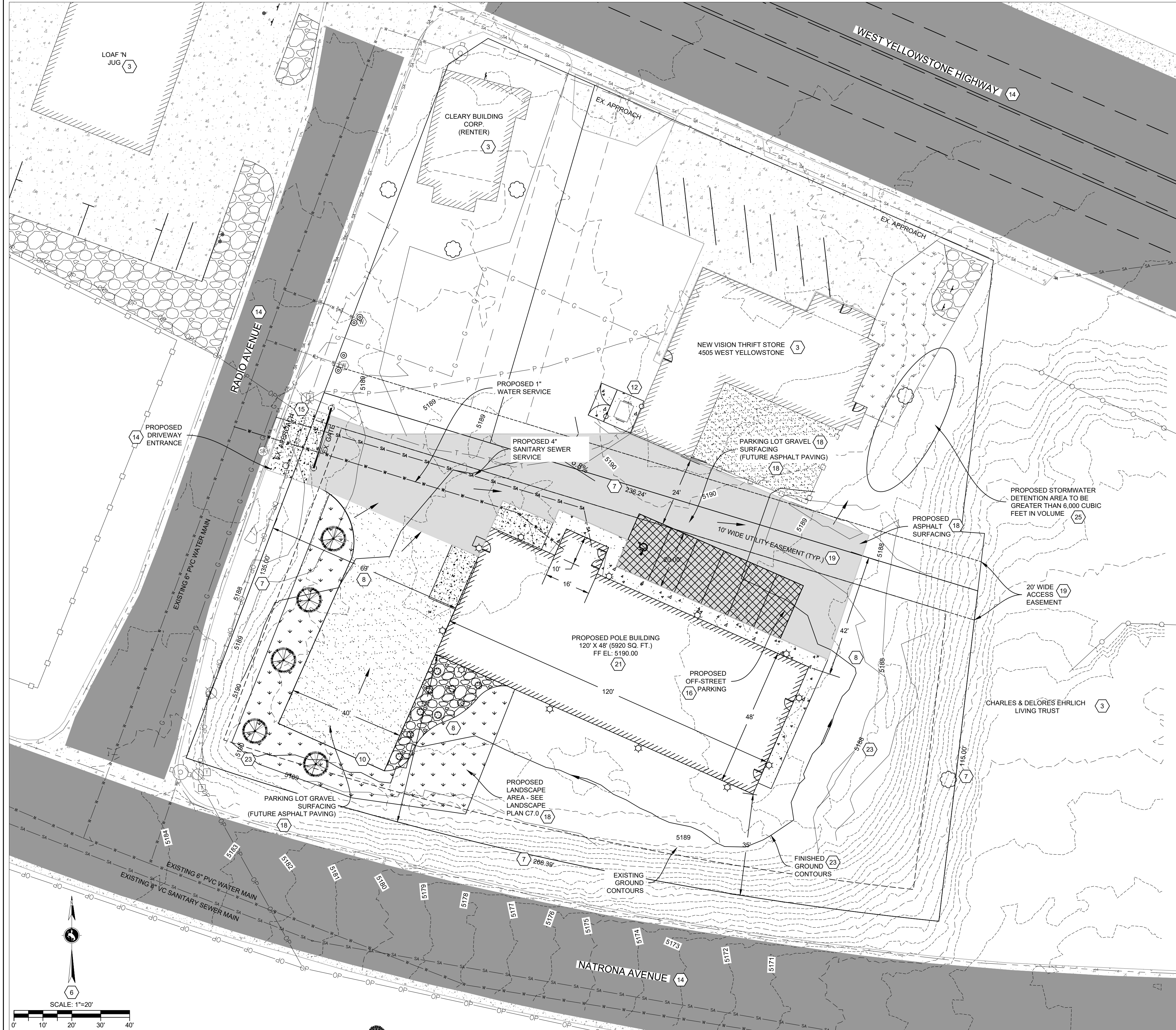
- PROPOSED TREE
- TREE
- △ ECS CONTROL POINT
- ELECTRICAL VAULT
- FIBER OPTIC PEDESTAL
- FIRE HYDRANT
- PROFILE FIRE HYDRANT
- FLARED END SECTION
- GAS METER
- CATCH BASIN
- GUY WIRE ANCHOR
- POWER POLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN OUT
- DRAINAGE DIRECTION ARROW
- STORM SEWER MANHOLE
- STREET LAMP
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- BORE HOLE LOCATION
- WATER TEE
- WATER CROSS
- WATER VALVE
- CURB STOP
- ELECTRICAL METER CABINET
- SINGLE SIGN POST
- BOLLARD
- RECOVERED BRASS CAP
- RECOVERED ALUMINUM CAP
- RECOVERED REBAR
- RECOVERED ALUMINUM CAP

## LEGEND

- RIGHT OF WAY
- PROPERTY LINES
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EDGE EXISTING ASPHALT
- EXISTING WOOD FENCE
- PROPOSED CHAINLINK FENCE
- G — G — G — EXISTING GAS LINE
- G — G — G — PROPOSED CRUDE MAIN
- W — W — W — EXISTING WATER MAIN
- W — W — W — PROPOSED WATER MAIN
- SA — SA — SA — EXISTING SANITARY MAIN
- SA — SA — SA — PROPOSED SANITARY MAIN
- SW — SW — SW — EXISTING STORM MAIN
- SW — SW — SW — PROPOSED STORM MAIN
- OP — OP — OP — OVERHEAD POWER LINE
- T — T — T — TELEPHONE LINE
- P — P — P — UNDERGROUND POWER
- EXISTING FIBEROPTIC LINE
- PROPOSED MAJOR CONTOUR
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- EXISTING CONCRETE SURFACING
- PROPOSED CONCRETE SURFACING
- EXISTING ASPHALT SURFACING
- PROPOSED ASPHALT SURFACING
- PROPOSED LANDSCAPING
- EXISTING GRAVEL

## SITE PLAN CHECKLIST

1. SITE ADDRESSES:  
LEGAL DESCRIPTION: LOT 3 OF VISION BEYOND BORDERS ADDITION  
COMMON ADDRESS: UNKNOWN
2. TITLE BLOCK: AS SHOWN
3. NAMES OF ADJACENT PROPERTY OWNERS: AS SHOWN
4. SURROUNDING LAND USES & ZONING:  
NORTH: YELLOWSTONE HIGHWAY  
SOUTH: LARIAT MOBILE HOME COURT (MP)  
EAST: LARIAT MOBILE HOME COURT (MP)  
WEST: C-1 BUSINESS
5. CURRENT & PROPOSED ZONING OF THE SITE: C-1 (GENERAL COMMERCIAL)
6. NORTH ARROW & SCALE: AS SHOWN
7. LAND AREA DIMENSIONS: AS SHOWN
8. BUILDING HEIGHT & SETBACKS:  
BUILDING HEIGHT: 18' - 1"  
FRONT SETBACK: 69.0'  
SIDE (NORTH) SETBACK: 46.6'  
SIDE (SOUTH) SETBACK: 57.8'  
REAR SETBACK: 73.0'
9. LOCATION & DIMENSION OF PROPOSED OFF-STREET LOADING DOCKS: N/A
10. LOCATION OF TRASH RECEPTACLE: AS SHOWN
11. ADVERTISING SIGNS & FENCES: N/A
12. SCREENING & SCREENING DEVICES: AS SHOWN
13. EXISTING & PROPOSED LIGHTING: SEE LIGHTING PLAN - SHEET C8.0
14. ADJACENT STREETS, ROADWAYS, DRIVEWAYS & RIGHTS-OF-WAY: AS SHOWN
15. EXISTING & PROPOSED SIDEWALKS & CURB CUTS: AS SHOWN
16. LOCATION & DIMENSIONS OF OFF-STREET PARKING: AS SHOWN
17. WHEEL STOPS, BUMPER GUARDS, AND CURBS: N/A
18. TYPES OF SURFACING: AS SHOWN
19. EXISTING & PROPOSED EASEMENTS: AS SHOWN
20. VICINITY MAP: AS SHOWN
21. GENERAL NOTES:  
A. TOTAL LAND AREA: 32,497 SQFT (0.75 ACRES)  
B. TOTAL BUILDING AREA: 5,920 SQFT  
C. TOTAL BUILDING ADDITION: N/A  
D. PERCENT OF LAND COVERED BY BUILDINGS: 18.2%  
E. BUILDING HEIGHT: 18' - 1"  
F. NUMBER OF STORIES: 1 STORY  
G. TOTAL NUMBER OF PARKING SPACES: 6 SPACES  
H. AREA OF PARKING SPACES: 1,240 SQFT  
I. PERCENT OF LAND COVERED BY PARKING: 3.8%  
J. TOTAL LANDSCAPED AREA: 3,369 SQ. FT.  
K. PERCENT OF LAND COVERED BY LANDSCAPING: 10.3%
22. NUMBERING CORRESPONDING TO THIS CHECKLIST: AS SHOWN
23. EXISTING & PROPOSED CONTOURS: AS SHOWN
24. BUILDING ELEVATIONS: SEE ATTACHED BUILDING PLANS
25. SURFACE DRAINAGE PLAN: SEE DRAINAGE PLAN - SHEET C5.0
26. PAVEMENT DESIGN REPORT: N/A
27. TRAFFIC STUDY: N/A



FOR: VISION BEYOND BORDERS  
100 N. W. 3535  
CASPER, WY 82402  
307.333.6545

BY: EBS ENGINEERS  
1607 CY AVENUE, SUITE 104  
CASPER, WY 82404  
307.337.2683

Date Drawn: 2.13.2025  
Scale: SEE DRAWING  
File Name: 240024\_Design.dwg  
Project No.: 240024  
PAGE: 1 / 9

**SITE PLAN  
VISION BEYOND BORDERS  
MILLS, WY**

REV	DATE	DESCRIPTION

**C1.0**

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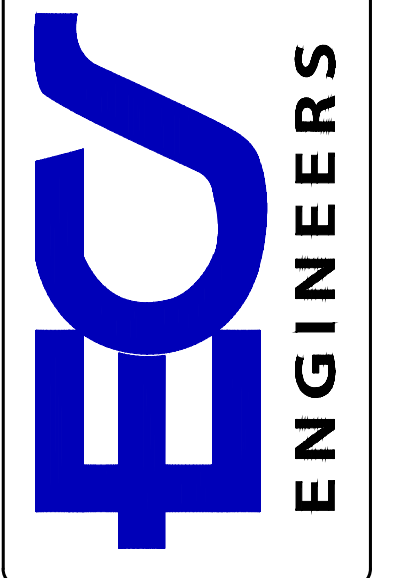
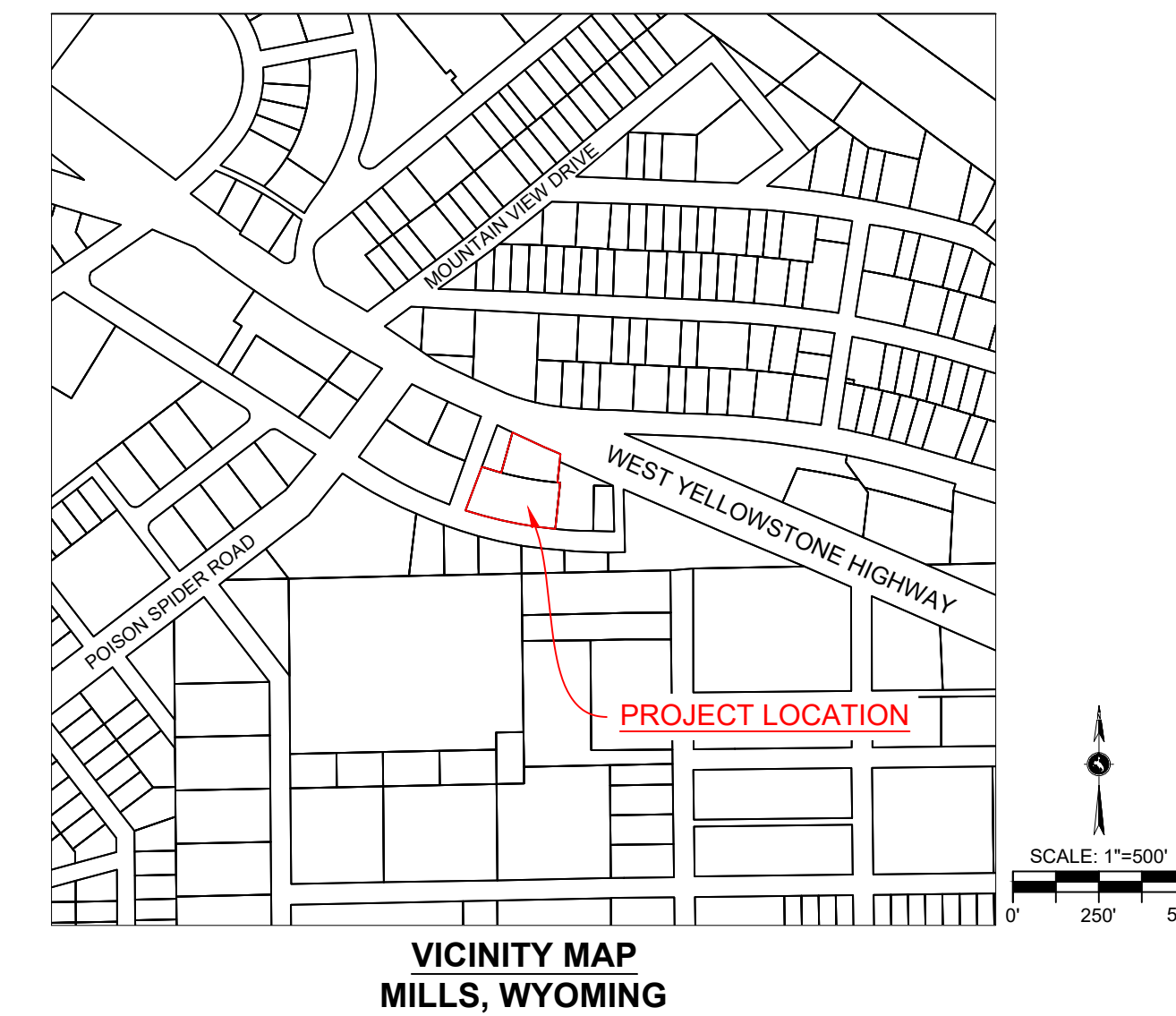
# EXISTING CONDITIONS FOR VISION BEYOND BORDERS IN THE CITY OF MILLS NATRONA COUNTY, WYOMING

## SYMBOLS

- PROPOSED TREE
- TREE
- △ ECS CONTROL POINT
- ELECTRICAL VAULT
- FIBER OPTIC PEDESTAL
- ⊕ FIRE HYDRANT
- ⊕ PROFILE FIRE HYDRANT
- ▭ FLARED END SECTION
- ⊕ GAS METER
- ▭ CATCH BASIN
- ⊕ GUY WIRE ANCHOR
- ⊕ POWER POLE
- ⊕ SANITARY SEWER MANHOLE
- ⊕ SANITARY SEWER CLEAN OUT
- DRAINAGE DIRECTION ARROW
- ⊕ STORM SEWER MANHOLE
- ⊕ STREET LAMP
- ⊕ TELEPHONE MANHOLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ BORE HOLE LOCATION
- ⊕ WATER TEE
- ⊕ WATER CROSS
- ⊕ WATER VALVE
- ⊕ CURB STOP
- ⊕ ELECTRICAL METER CABINET
- ⊕ SINGLE SIGN POST
- ⊕ BOLLARD
- ⊕ RECOVERED BRASS CAP
- ⊕ RECOVERED ALUMINUM CAP
- ⊕ RECOVERED REBAR
- ⊕ RECOVERED ALUMINUM CAP

## LEGEND

- RIGHT OF WAY
- PROPERTY LINES
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EDGE EXISTING ASPHALT
- EXISTING WOOD FENCE
- PROPOSED CHAINLINK FENCE
- G — G — G — G — EXISTING GAS LINE
- G — G — G — G — PROPOSED CRUDE MAIN
- W — W — W — W — EXISTING WATER MAIN
- W — W — W — W — PROPOSED WATER MAIN
- SA — SA — SA — SA — EXISTING SANITARY MAIN
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- PROPOSED MAJOR CONTOUR
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- EXISTING CONCRETE SURFACING
- PROPOSED CONCRETE SURFACING
- EXISTING ASPHALT SURFACING
- PROPOSED ASPHALT SURFACING
- PROPOSED LANDSCAPING
- EXISTING GRAVEL



FOR: VISION BEYOND BORDERS  
P.O. Box 1435  
CASPER, WY 82602  
307.333.6545

BY: ECS ENGINEERS  
1607 CY AVENUE, SUITE 104  
CASPER, WY 82604  
307.337.2883

Date Drawn: 2.13.2025  
Scale: SEE DRAWING  
Project No.: 240024  
File Name: 240024\_Design.dwg  
PAGE: 2/3

**EXISTING CONDITIONS  
VISION BEYOND BORDERS  
MILLS, WY**

REV	DATE	REVISIONS	BY

**C2.0**

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# UTILITY PLAN FOR

# VISION BEYOND BORDERS

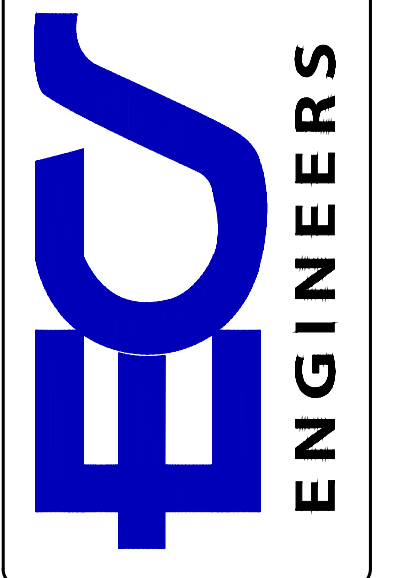
## IN THE CITY OF MILLS

### NATRONA COUNTY, WYOMING

SYMBOLS	
	PROPOSED TREE
	TREE
	ECS CONTROL POINT
	ELECTRICAL VAULT
	FIBER OPTIC PEDESTAL
	FIRE HYDRANT
	PROFILE FIRE HYDRANT
	FLARED END SECTION
	GAS METER
	CATCH BASIN
	GUY WIRE ANCHOR
	POWER POLE
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEAN OUT
	DRAINAGE DIRECTION ARROW
	STORM SEWER MANHOLE
	STREET LAMP
	TELEPHONE MANHOLE
	TELEPHONE PEDESTAL
	BORE HOLE LOCATION
	WATER TEE
	WATER CROSS
	WATER VALVE
	CURB STOP
	ELECTRICAL METER CABINET
	SINGLE SIGN POST
	BOLLARD
	RECOVERED BRASS CAP
	RECOVERED ALUMINUM CAP
	RECOVERED REBAR
	RECOVERED ALUMINUM CAP

### LEGEND

	RIGHT OF WAY		TELEPHONE LINE
	PROPERTY LINES		UNDERGROUND POWER
	EXISTING CENTERLINE		EXISTING FIBEROPTIC LINE
	PROPOSED CENTERLINE		PROPOSED MAJOR CONTOUR
	EDGE EXISTING ASPHALT		EXISTING MAJOR CONTOURS
	EXISTING WOOD FENCE		EXISTING MINOR CONTOURS
	PROPOSED CHAINLINK FENCE		EXISTING CONCRETE SURFACING
	EXISTING GAS LINE		PROPOSED CONCRETE SURFACING
	PROPOSED CRUDE MAIN		EXISTING ASPHALT SURFACING
	EXISTING WATER MAIN		PROPOSED ASPHALT SURFACING
	PROPOSED WATER MAIN		PROPOSED LANDSCAPING
	EXISTING SANITARY MAIN		EXISTING GRAVEL
	PROPOSED SANITARY MAIN		
	EXISTING STORM MAIN		
	PROPOSED STORM MAIN		
	OVERHEAD POWER LINE		



FOR: VISION BEYOND BORDERS  
 200 N. 15th St.  
 CASPER, WY 82402  
 307.333.6545

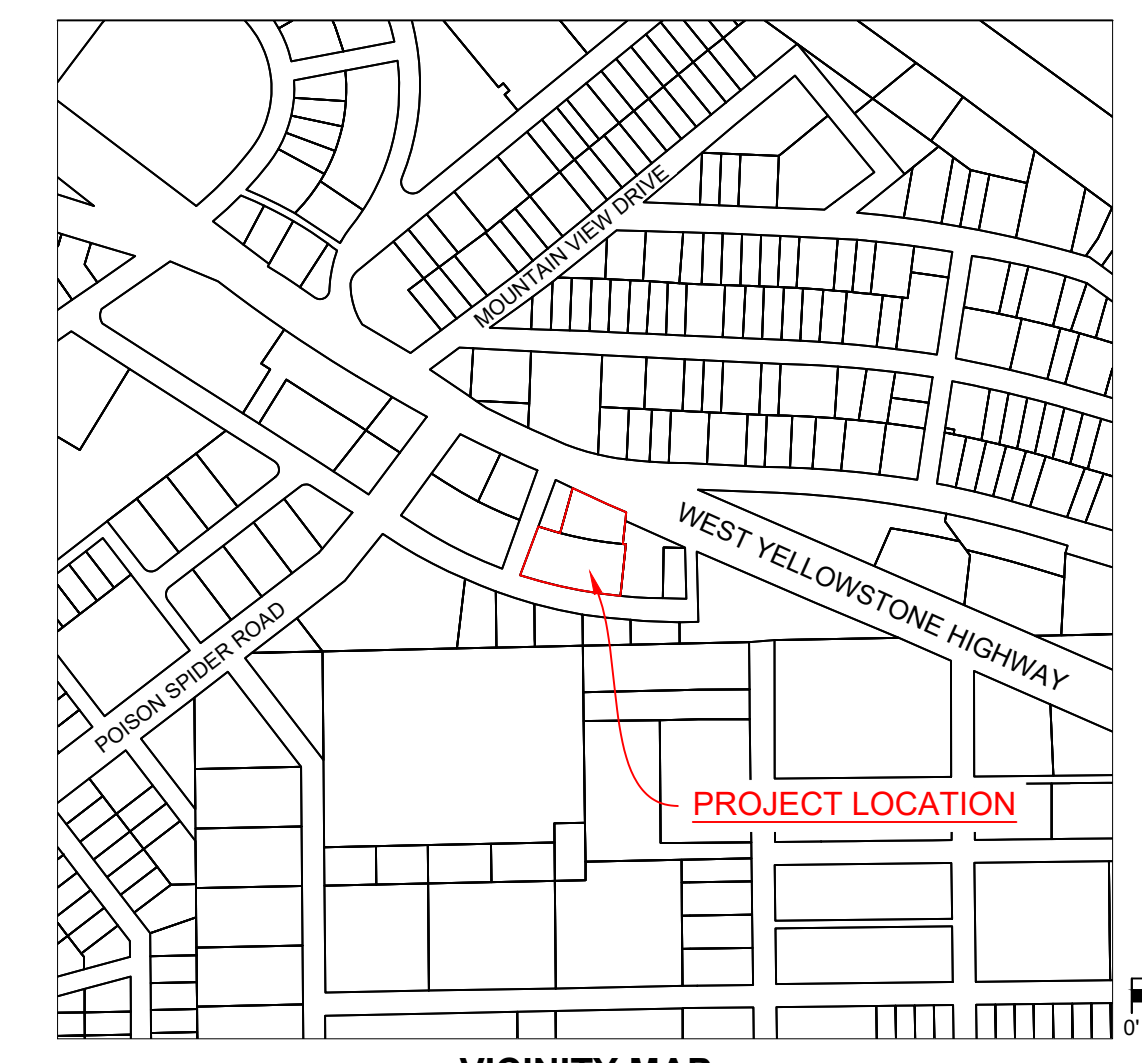
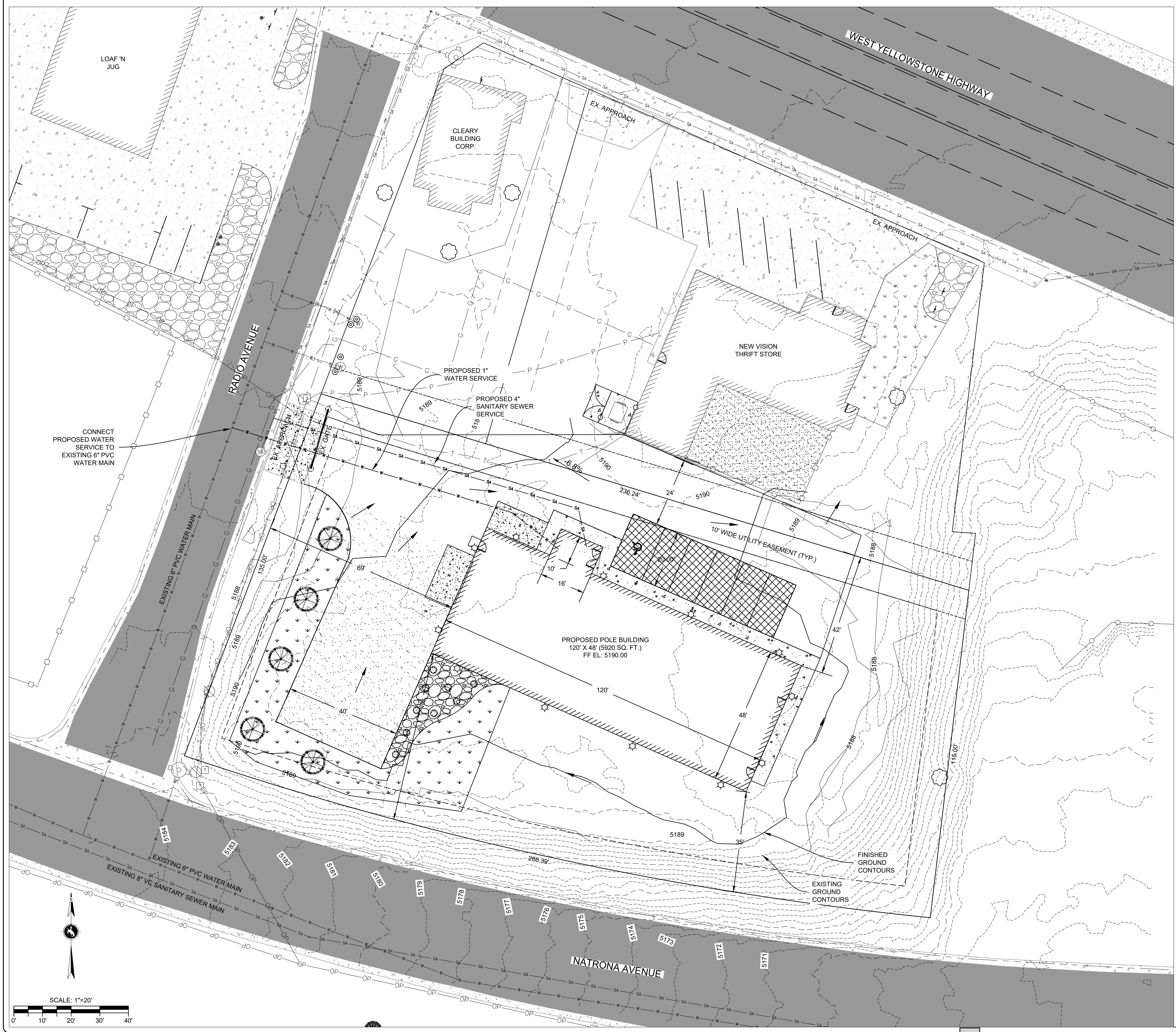
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 PAGE: 2/8

**UTILITY PLAN**  
**VISION BEYOND BORDERS**  
**MILLS, WY**

REV	DATE	REVISIONS	BY

**C3.0**



SCALE: 1"=500'

ARCH FULL BLEED D (24.00 X 36.00 INCHES)

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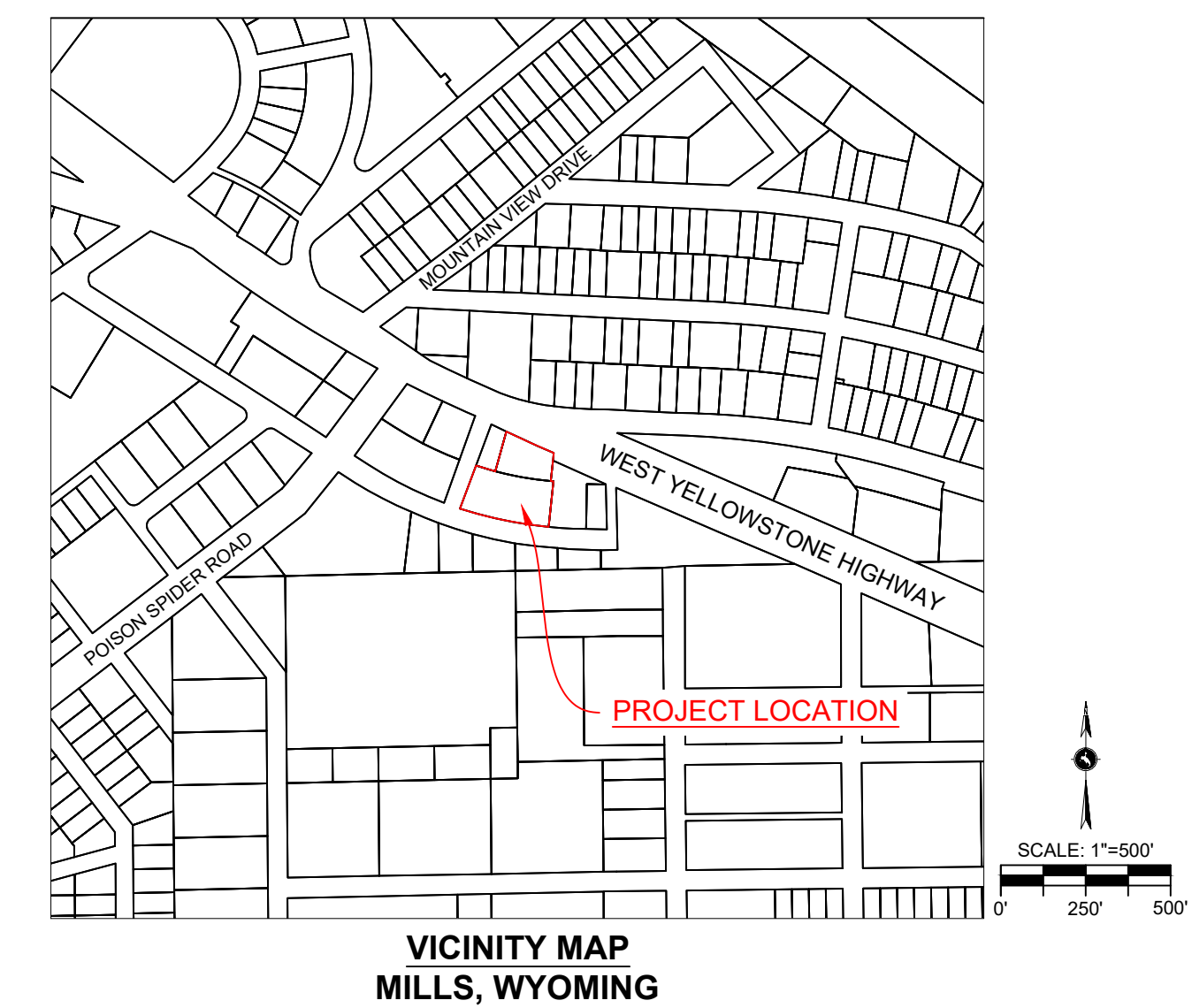
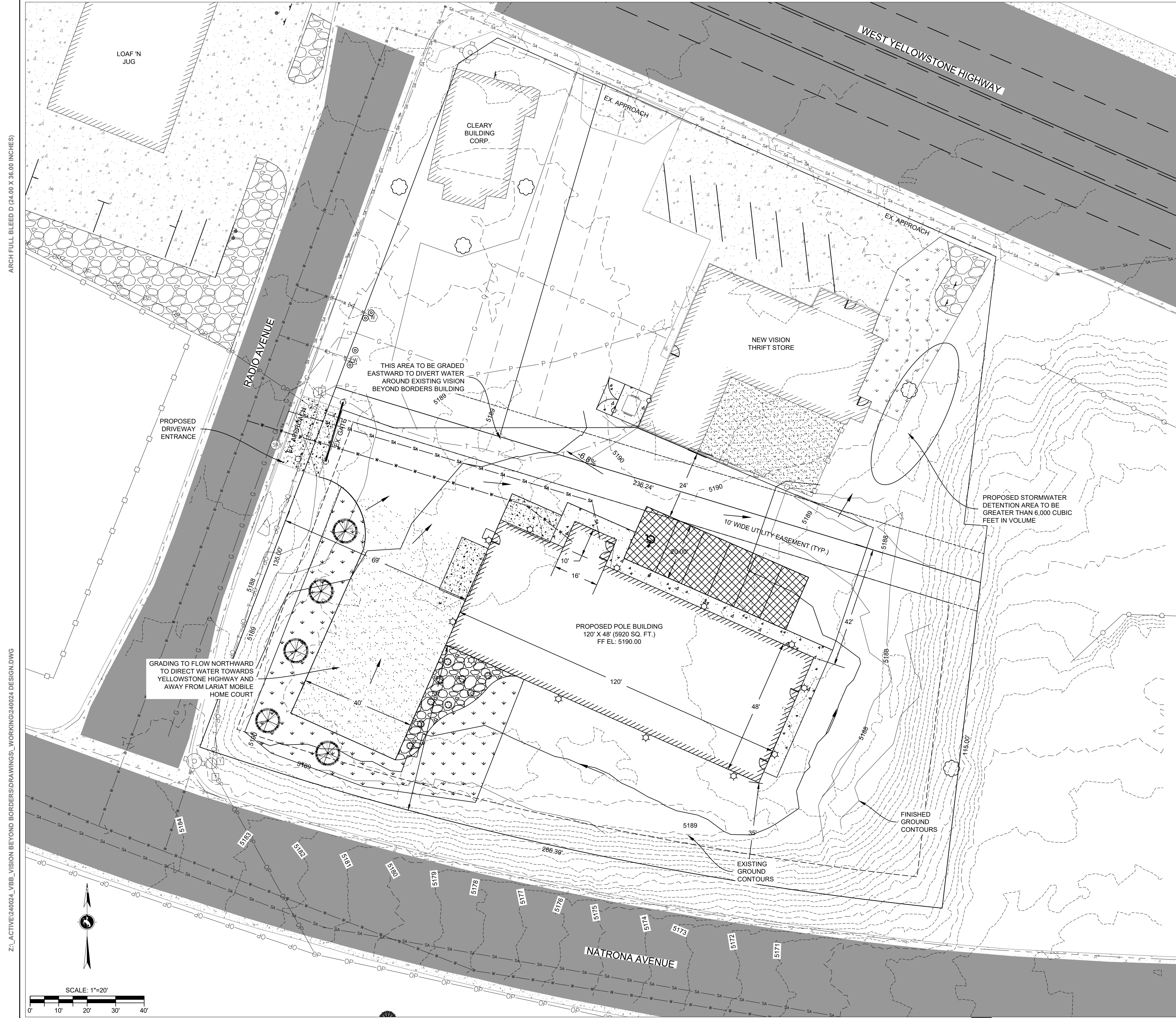
# GRADING PLAN FOR VISION BEYOND BORDERS IN THE CITY OF MILLS NATRONA COUNTY, WYOMING

## SYMBOLS

- |                            |                            |
|----------------------------|----------------------------|
| ○ PROPOSED TREE            | ⊙ STORM SEWER MANHOLE      |
| ○ TREE                     | ⊙ STREET LAMP              |
| △ ECS CONTROL POINT        | ⊙ TELEPHONE MANHOLE        |
| □ ELECTRICAL VAULT         | ⊙ TELEPHONE PEDESTAL       |
| □ FIBER OPTIC PEDESTAL     | ⊙ BORE HOLE LOCATION       |
| ⊙ FIRE HYDRANT             | ⊙ WATER TEE                |
| ⊙ PROFILE FIRE HYDRANT     | ⊙ WATER CROSS              |
| ⊙ FLARED END SECTION       | ⊙ WATER VALVE              |
| ⊙ GAS METER                | ⊙ CURB STOP                |
| ⊙ CATCH BASIN              | ⊙ ELECTRICAL METER CABINET |
| ⊙ GUY WIRE ANCHOR          | ⊙ SINGLE SIGN POST         |
| ⊙ POWER POLE               | ⊙ BOLLARD                  |
| ⊙ SANITARY SEWER MANHOLE   | ⊙ RECOVERED BRASS CAP      |
| ⊙ SANITARY SEWER CLEAN OUT | ⊙ RECOVERED ALUMINUM CAP   |
| → DRAINAGE DIRECTION ARROW | ⊙ RECOVERED REBAR          |
|                            | ⊙ RECOVERED ALUMINUM CAP   |

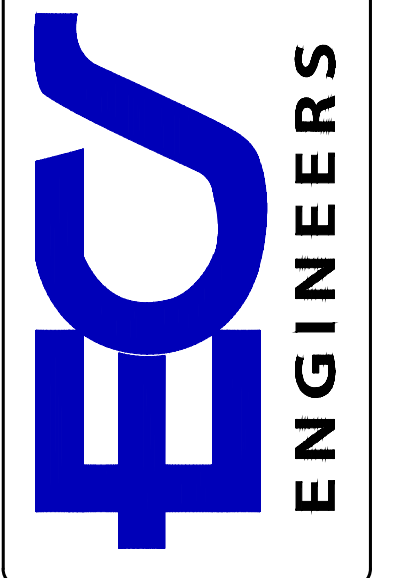
## LEGEND

- |                  |                             |
|------------------|-----------------------------|
| — T — T — T —    | TELEPHONE LINE              |
| — P — P — P —    | UNDERGROUND POWER           |
| — — — — —        | EXISTING FIBEROPTIC LINE    |
| — — — — —        | PROPOSED MAJOR CONTOUR      |
| — — — — —        | EXISTING MAJOR CONTOURS     |
| — — — — —        | EXISTING MINOR CONTOURS     |
| — — — — —        | EXISTING CONCRETE SURFACING |
| — — — — —        | PROPOSED CONCRETE SURFACING |
| — — — — —        | EXISTING ASPHALT SURFACING  |
| — — — — —        | PROPOSED ASPHALT SURFACING  |
| — — — — —        | PROPOSED LANDSCAPING        |
| — — — — —        | EXISTING GRAVEL             |
| — — — — —        | RIGHT OF WAY                |
| — — — — —        | PROPERTY LINES              |
| — — — — —        | EXISTING CENTERLINE         |
| — — — — —        | PROPOSED CENTERLINE         |
| — — — — —        | EDGE EXISTING ASPHALT       |
| — — — — —        | EXISTING WOOD FENCE         |
| — — — — —        | PROPOSED CHAINLINK FENCE    |
| — G — G — G —    | EXISTING GAS LINE           |
| — G — G — G —    | PROPOSED CRUDE MAIN         |
| — W — W — W —    | EXISTING WATER MAIN         |
| — W — W — W —    | PROPOSED WATER MAIN         |
| — SA — SA — SA — | EXISTING SANITARY MAIN      |
| — SA — SA — SA — | PROPOSED SANITARY MAIN      |
| — SW — SW — SW — | EXISTING STORM MAIN         |
| — SW — SW — SW — | PROPOSED STORM MAIN         |
| — OP — OP — OP — | OVERHEAD POWER LINE         |



ARCH FULL BLEED D (24.00 X 36.00 INCHES)

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FOR: VISION BEYOND BORDERS  
 P.O. Box 1535  
 CASPER, WY 82602  
 307.338.6545

BY: ECS ENGINEERS  
 1607 CY AVENUE, SUITE 104  
 CASPER, WY 82604  
 307.337.2683

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 File Name: 240024\_Design.dwg  
 Project No.: 240024  
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**GRADING PLAN  
VISION BEYOND BORDERS  
MILLS, WY**

REV	DATE	DESCRIPTION	BY

C4.0

IF THIS MEASUREMENT DOES NOT MATCH WHAT IS SHOWN, THE SHEET SIZE HAS BEEN MODIFIED FROM: ARCH FULL BLEED D (24.00 X 36.00 INCHES)

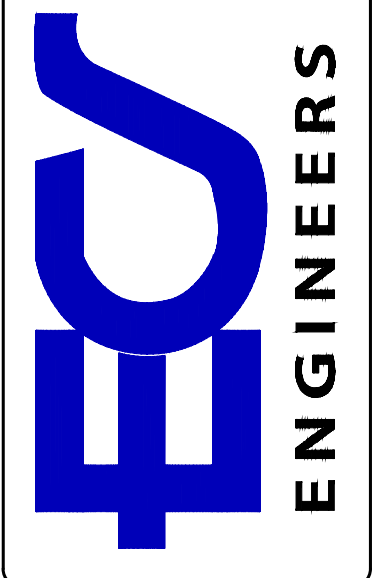
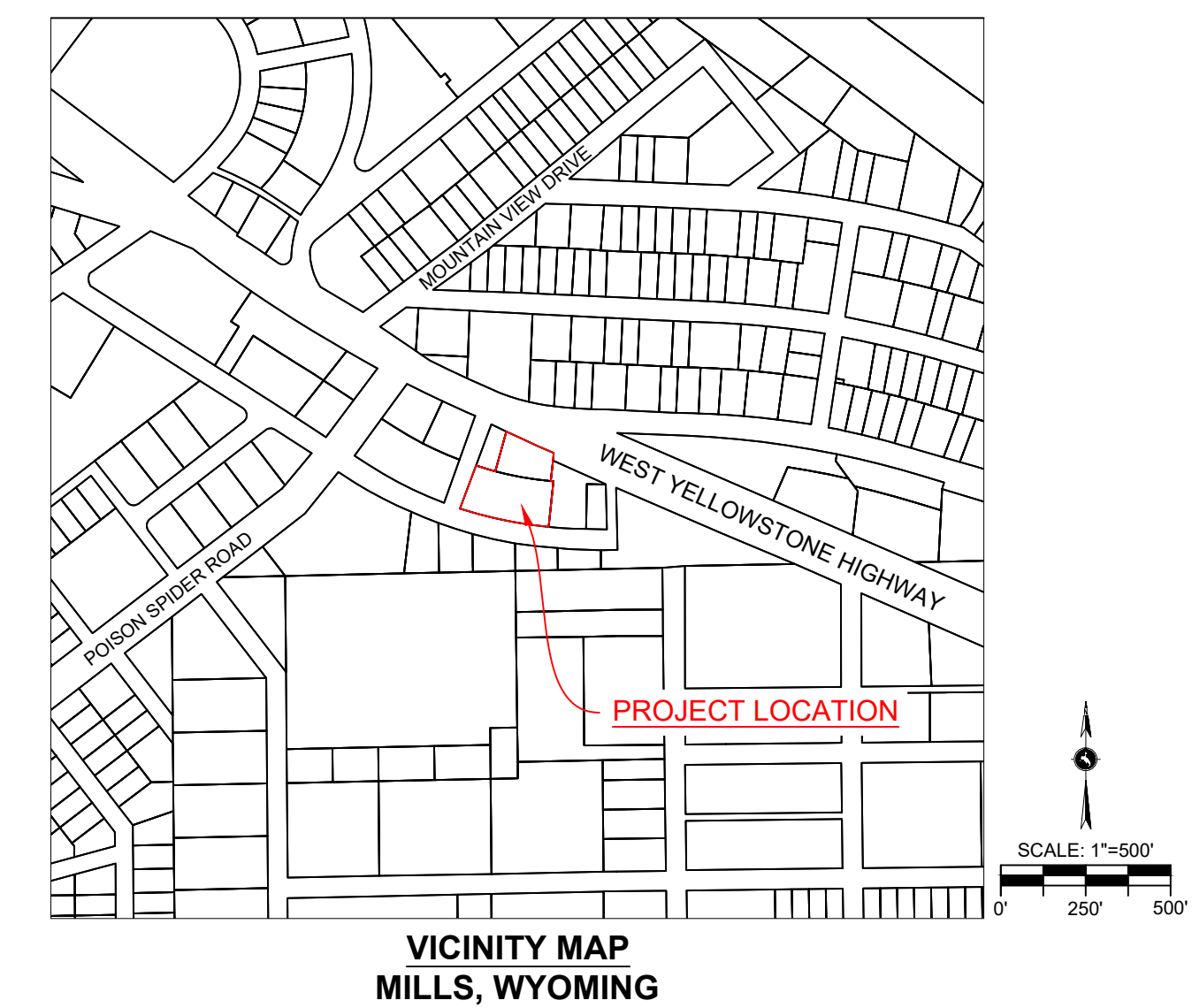
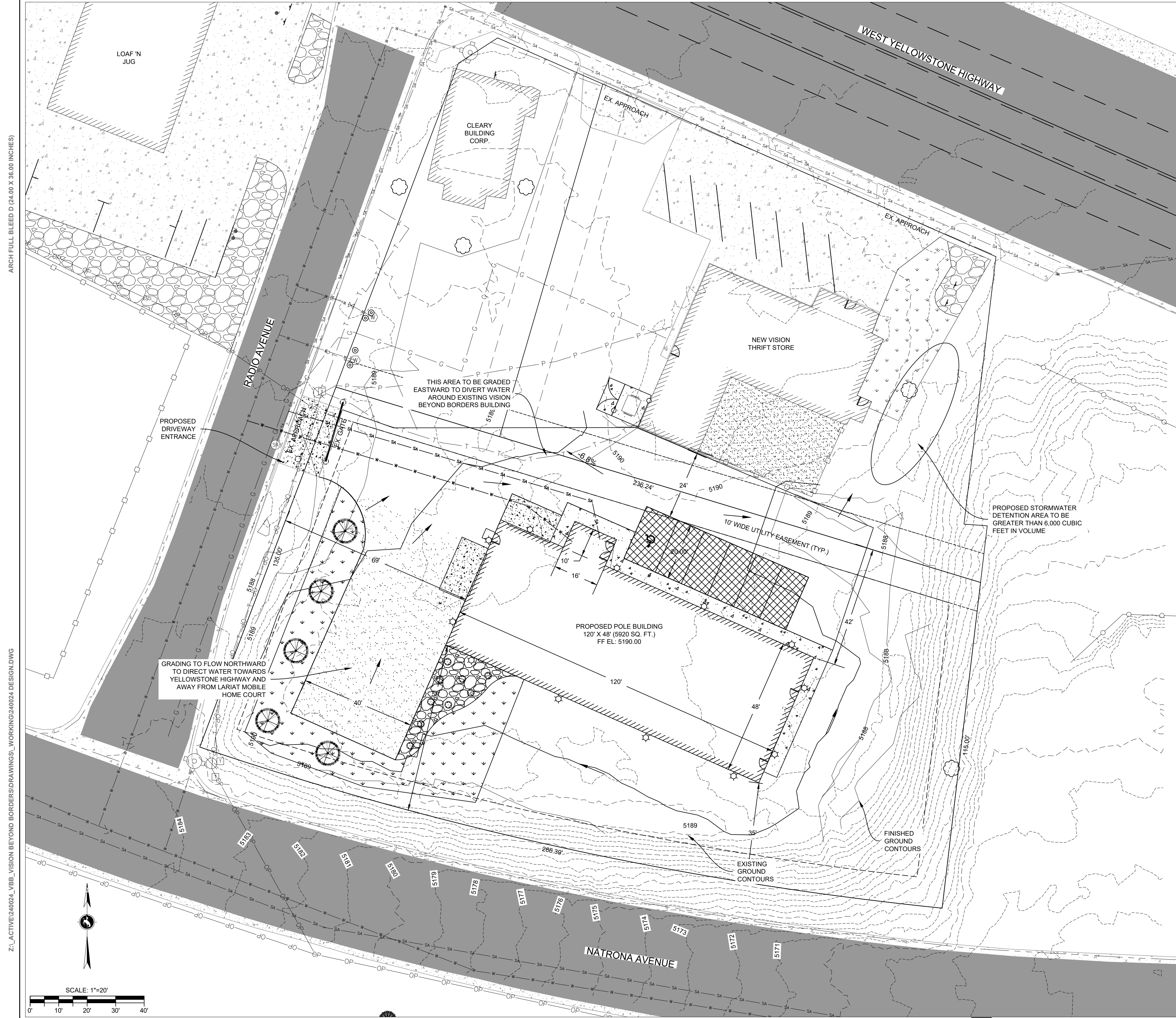
# DRAINAGE PLAN FOR VISION BEYOND BORDERS IN THE CITY OF MILLS NATRONA COUNTY, WYOMING

## SYMBOLS

- |                            |                            |
|----------------------------|----------------------------|
| ○ PROPOSED TREE            | ⊕ STORM SEWER MANHOLE      |
| ○ TREE                     | ⊕ STREET LAMP              |
| △ ECS CONTROL POINT        | ⊕ TELEPHONE MANHOLE        |
| □ ELECTRICAL VAULT         | ⊕ TELEPHONE PEDESTAL       |
| □ FIBER OPTIC PEDESTAL     | ⊕ BORE HOLE LOCATION       |
| ⊕ FIRE HYDRANT             | ⊕ WATER TEE                |
| ⊕ PROFILE FIRE HYDRANT     | ⊕ WATER CROSS              |
| ⊕ FLARED END SECTION       | ⊕ WATER VALVE              |
| ⊕ GAS METER                | ⊕ CURB STOP                |
| ⊕ CATCH BASIN              | ⊕ ELECTRICAL METER CABINET |
| ⊕ GUY WIRE ANCHOR          | ⊕ SINGLE SIGN POST         |
| ⊕ POWER POLE               | ⊕ BOLLARD                  |
| ⊕ SANITARY SEWER MANHOLE   | ⊕ RECOVERED BRASS CAP      |
| ⊕ SANITARY SEWER CLEAN OUT | ⊕ RECOVERED ALUMINUM CAP   |
| → DRAINAGE DIRECTION ARROW | ⊕ RECOVERED REBAR          |
|                            | ⊕ RECOVERED ALUMINUM CAP   |

## LEGEND

- |               |                             |
|---------------|-----------------------------|
| — T — T — T — | TELEPHONE LINE              |
| — P — P — P — | UNDERGROUND POWER           |
| — F — F — F — | EXISTING FIBEROPTIC LINE    |
| —             | PROPOSED MAJOR CONTOUR      |
| —             | EXISTING MAJOR CONTOURS     |
| —             | EXISTING MINOR CONTOURS     |
| ▨             | EXISTING CONCRETE SURFACING |
| ▨             | PROPOSED CONCRETE SURFACING |
| ▨             | EXISTING ASPHALT SURFACING  |
| ▨             | PROPOSED ASPHALT SURFACING  |
| ▨             | PROPOSED LANDSCAPING        |
| ▨             | EXISTING GRAVEL             |
- 
- |   |                          |
|---|--------------------------|
| — | RIGHT OF WAY             |
| — | PROPERTY LINES           |
| — | EXISTING CENTERLINE      |
| — | PROPOSED CENTERLINE      |
| — | EDGE EXISTING ASPHALT    |
| — | EXISTING WOOD FENCE      |
| — | PROPOSED CHAINLINK FENCE |
| — | EXISTING GAS LINE        |
| — | PROPOSED CRUDE MAIN      |
| — | EXISTING WATER MAIN      |
| — | PROPOSED WATER MAIN      |
| — | EXISTING SANITARY MAIN   |
| — | PROPOSED SANITARY MAIN   |
| — | EXISTING STORM MAIN      |
| — | PROPOSED STORM MAIN      |
| — | OVERHEAD POWER LINE      |



FOR: VISION BEYOND BORDERS  
1600 CY AVENUE, SUITE 104  
CASPER, WY 82404  
307.337.2683

BY: ECS ENGINEERS  
1600 CY AVENUE, SUITE 104  
CASPER, WY 82404  
307.337.2683

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**DRAINAGE PLAN  
VISION BEYOND BORDERS  
MILLS, WY**

REV	DATE	DESCRIPTION	BY

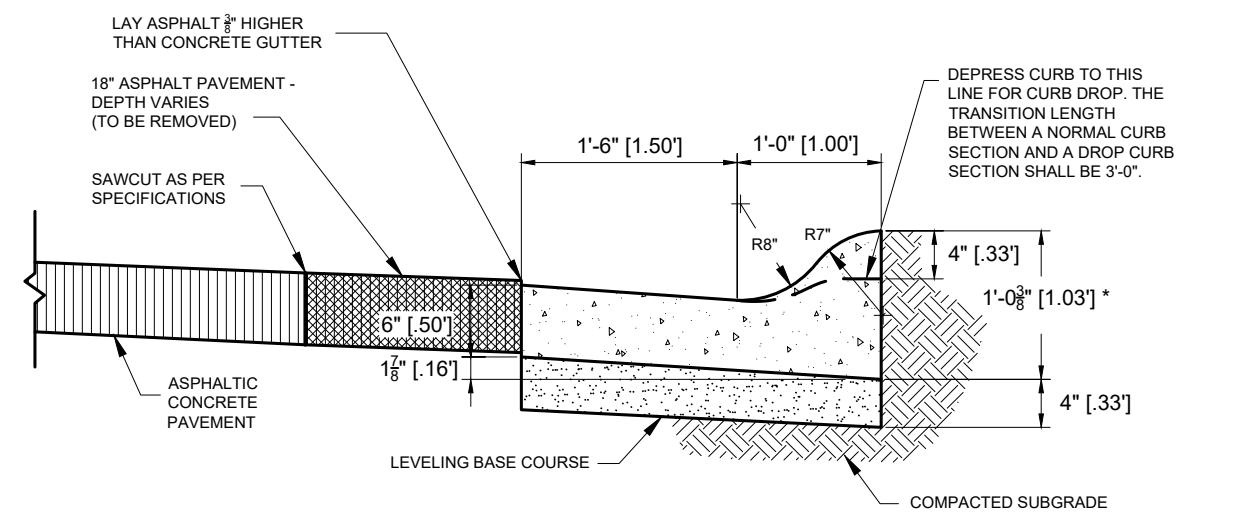
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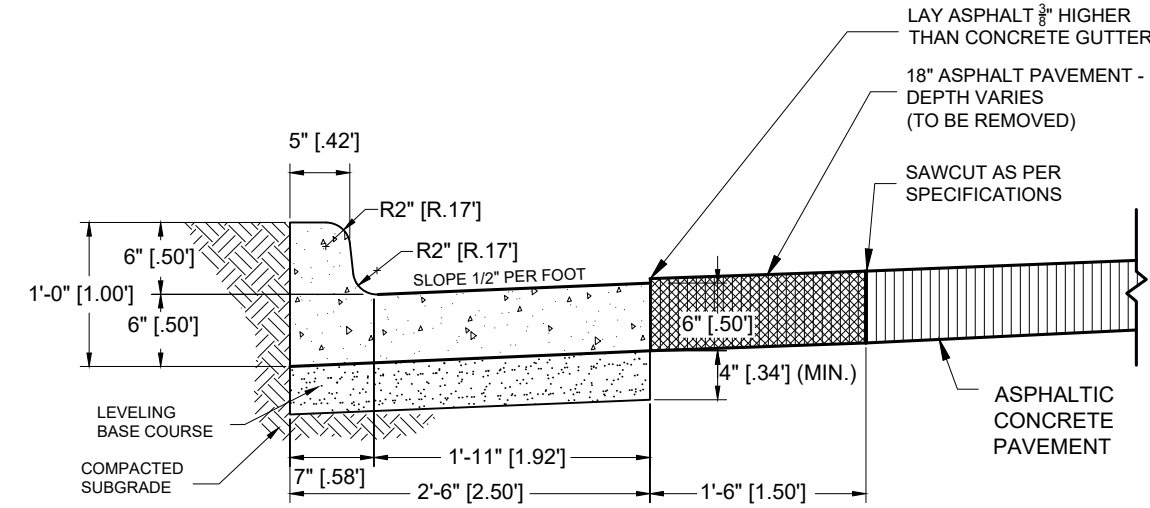
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# DETAILS FOR VISION BEYOND BORDERS IN THE CITY OF MILLS NATRONA COUNTY, WYOMING

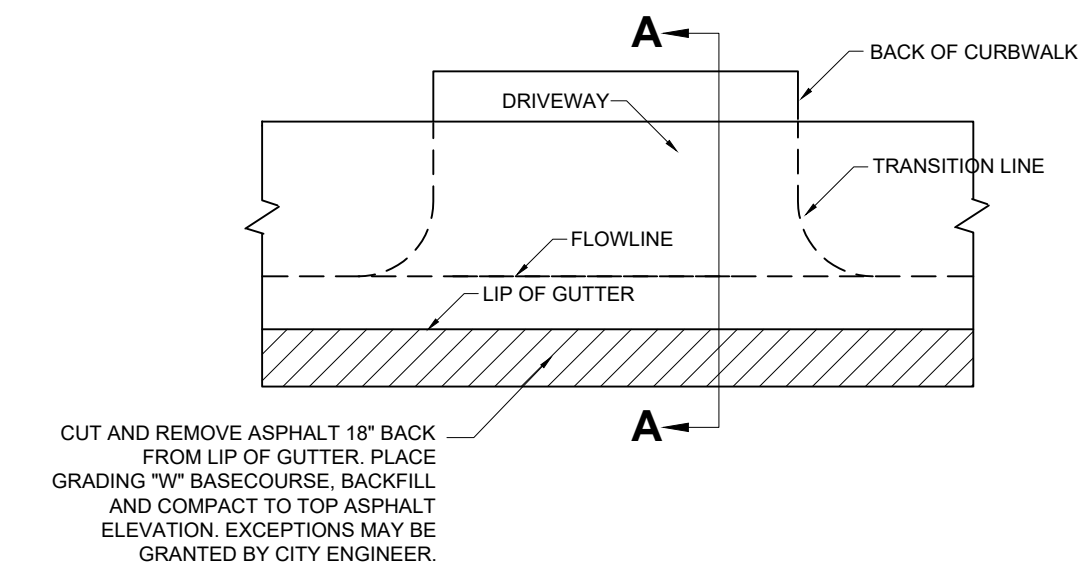


**30" CONCRETE CURB & GUTTER  
TYPE A**

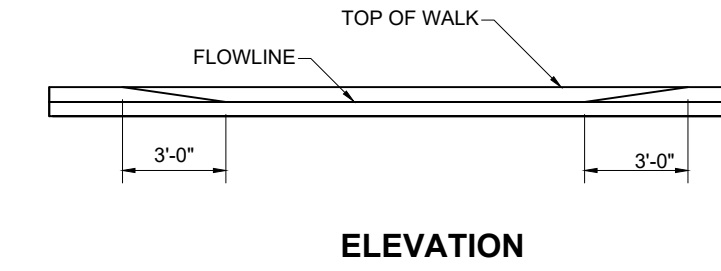


**30" CONCRETE CURB & GUTTER  
TYPE B**

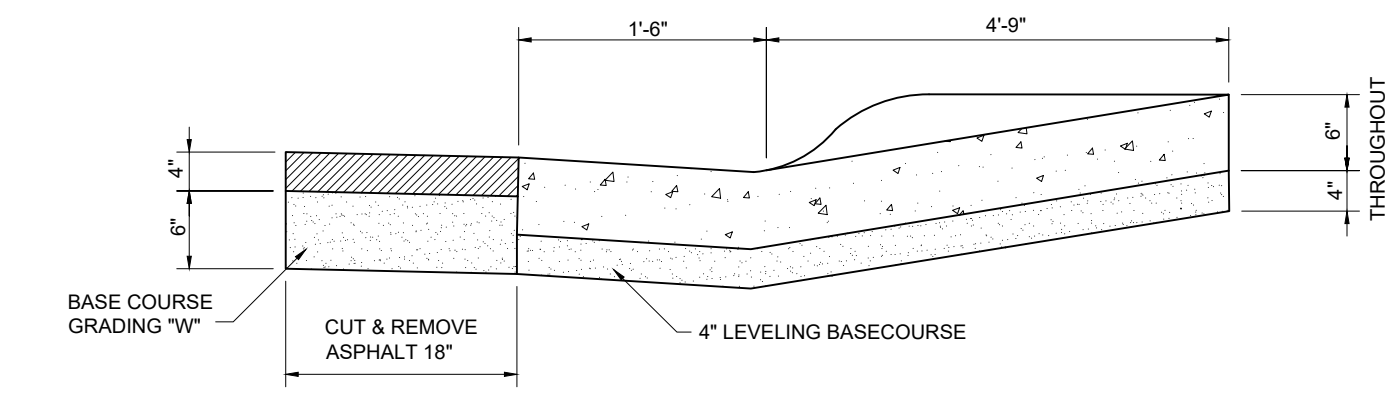
**TYPICAL CONCRETE CURB  
& GUTTER SECTIONS  
NOT TO SCALE**



**CURBWALK PLAN AT DRIVEWAY**



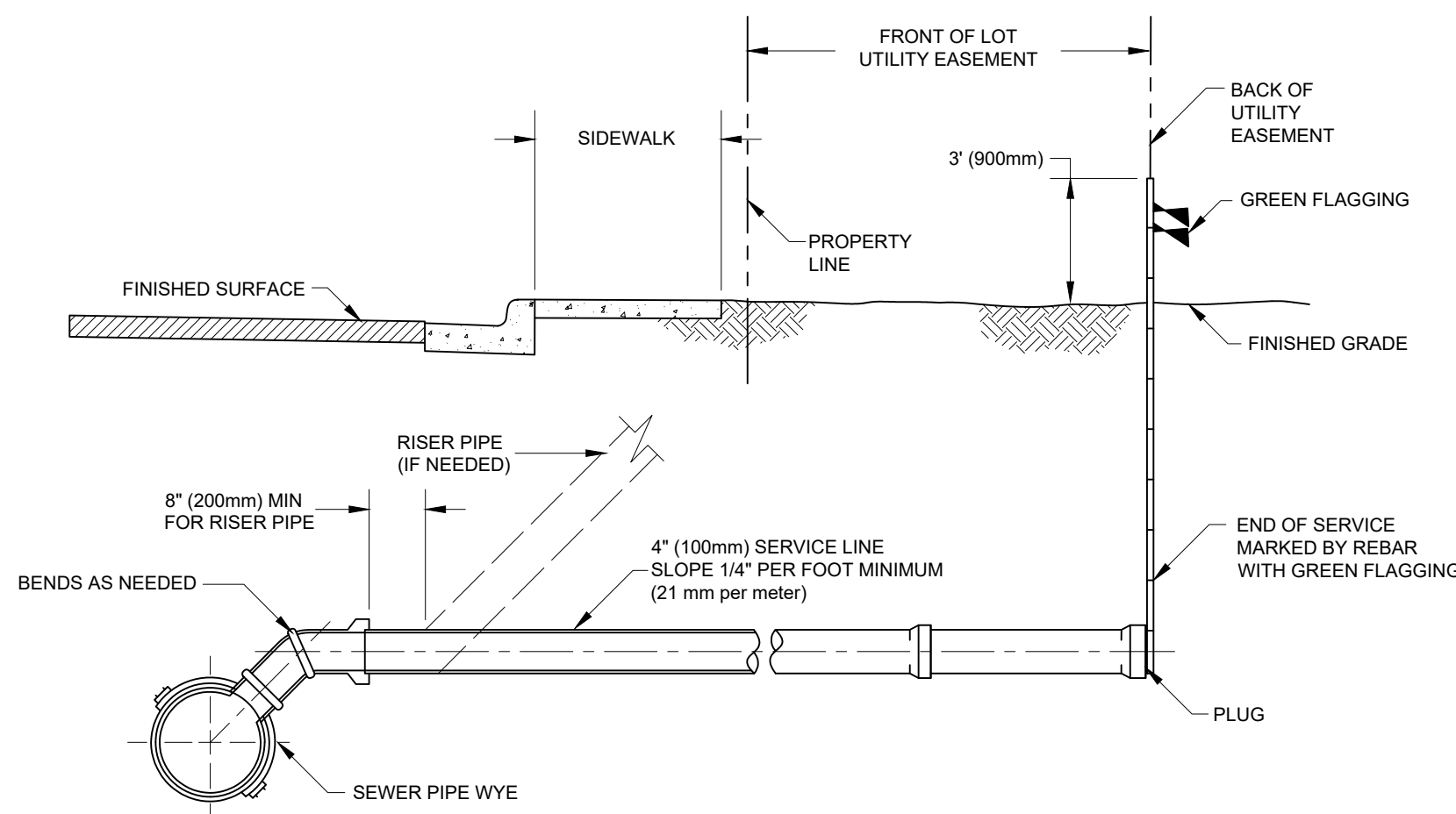
**ELEVATION**



**SECTION A-A  
TYPICAL CURB CUT SECTION FOR  
EXISTING CONSTRUCTION  
NOT TO SCALE**

**NOTES:**

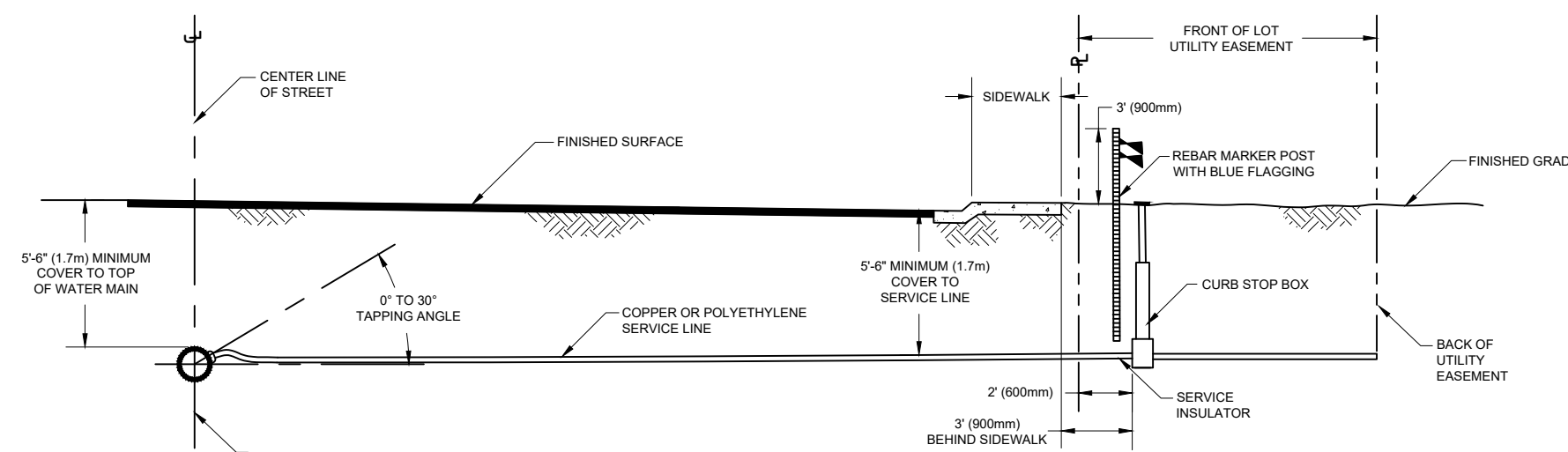
1. REINFORCING FOR DRIVEWAY SECTIONS SHALL CONSIST OF NO. 3 REBAR AT 18" ON CENTER EACH WAY OR FIBER-REINFORCED CONCRETE.
2. THE CITY OF CASPER DOES NOT PAVE BACK FOR COMMERCIAL PROPERTIES, SITE PLANS, SUBDIVISION DEVELOPMENT, NEW CONSTRUCTION, ETC.



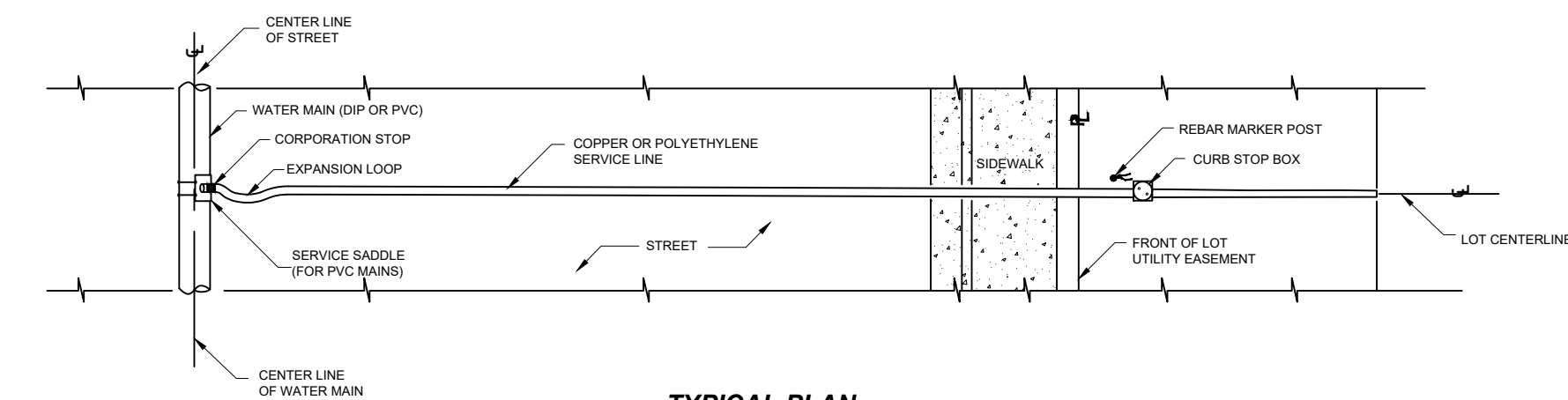
**SEWER SERVICE  
LINE DETAIL  
NOT TO SCALE**

**NOTES:**

1. THE ENDS OF SERVICE LINES SHALL END ABOVE THE GROUNDWATER TABLE.
2. SEWER SERVICE TO BE LOCATED AT 10 FEET (3m) FROM WATER SERVICE ON THE DOWNHILL FLOW SIDE OF SEWER MAIN.
3. A GROUNDWATER BARRIER SHALL BE INSTALLED IN THE SERVICE LINE TRENCH ON THE PROPERTY LINE.
4. SEWER SERVICE LINES WITH RISER PIPES SHALL MEET THE REQUIREMENTS OF SECTION 601.07. C.



**TYPICAL SECTION**

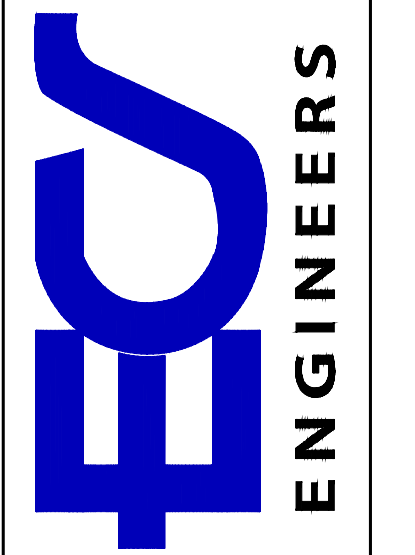


**TYPICAL PLAN**

**WATER SERVICE  
LINE DETAIL  
NOT TO SCALE**

**NOTES:**

1. WATER SERVICE TO BE LOCATED ON LOT CENTER LINE.
2. SEWER SERVICE TO BE LOCATED AT LEAST 10 FEET (3m) FROM WATER SERVICE LINE ON THE DOWNHILL FLOW SIDE OF SEWER MAIN.
3. A GROUNDWATER BARRIER SHALL BE INSTALLED IN THE SERVICE LINE TRENCH ON THE PROPERTY LINE.



FOR: VISION BEYOND BORDERS  
200 N. W. 13th St.  
CASPER, WY 82402  
307.333.6545

BY: ECS ENGINEERS  
1607 CY AVENUE, SUITE 104  
CASPER, WY 82404  
307.337.2883

Date Drawn: 2.13.2025  
Scale: SEE DRAWING  
Project No.: 240024  
File Name: 240024\_06wp.dwg  
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**DETAILS  
VISION BEYOND BORDERS  
MILLS, WY**

REV	DATE	DESCRIPTION

**C6.0**

ARCH FULL BLEED D (24.00 X 36.00 INCHES)

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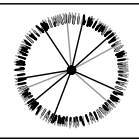
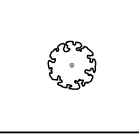
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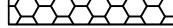
# LANDSCAPE PLAN FOR

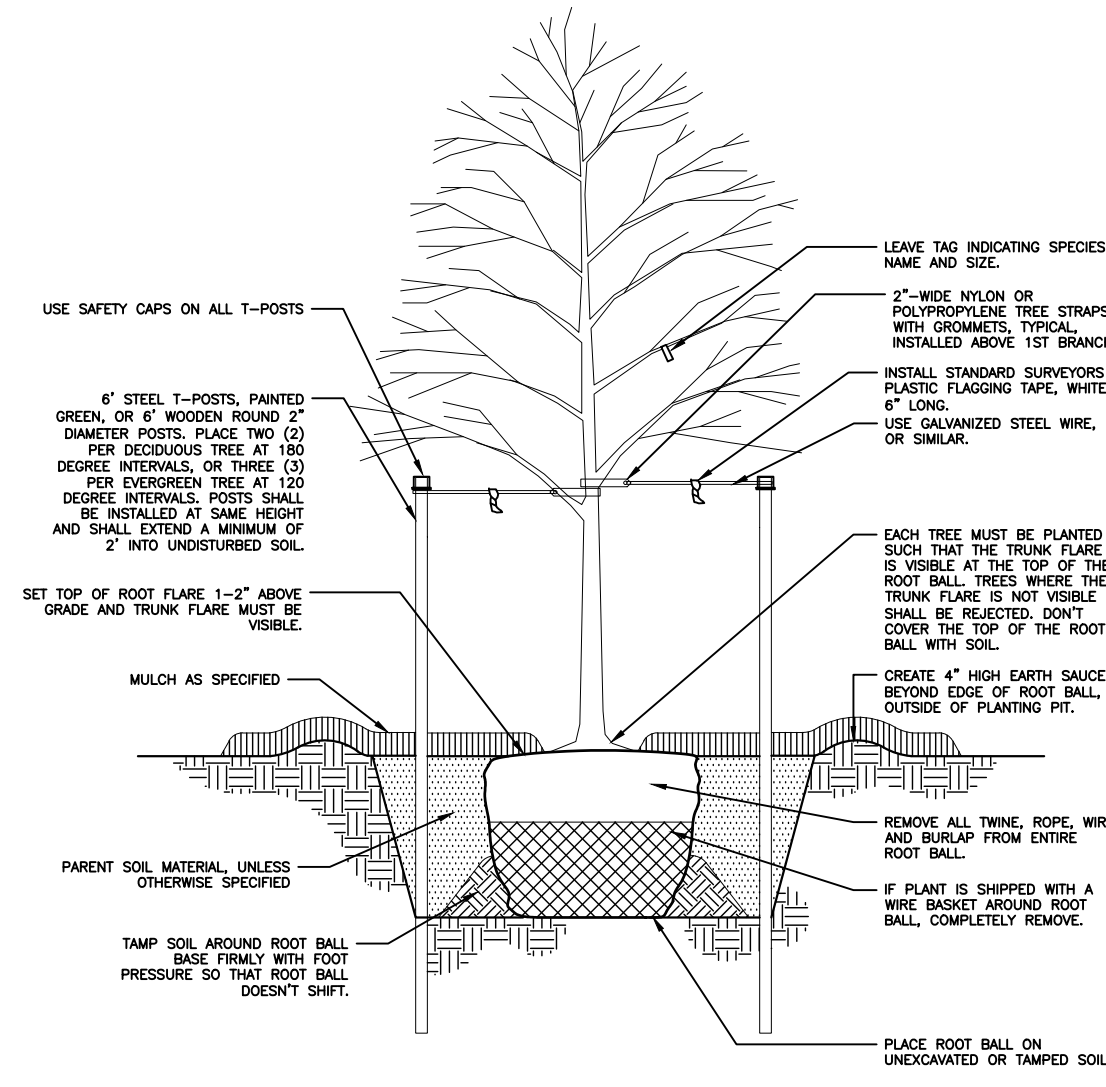
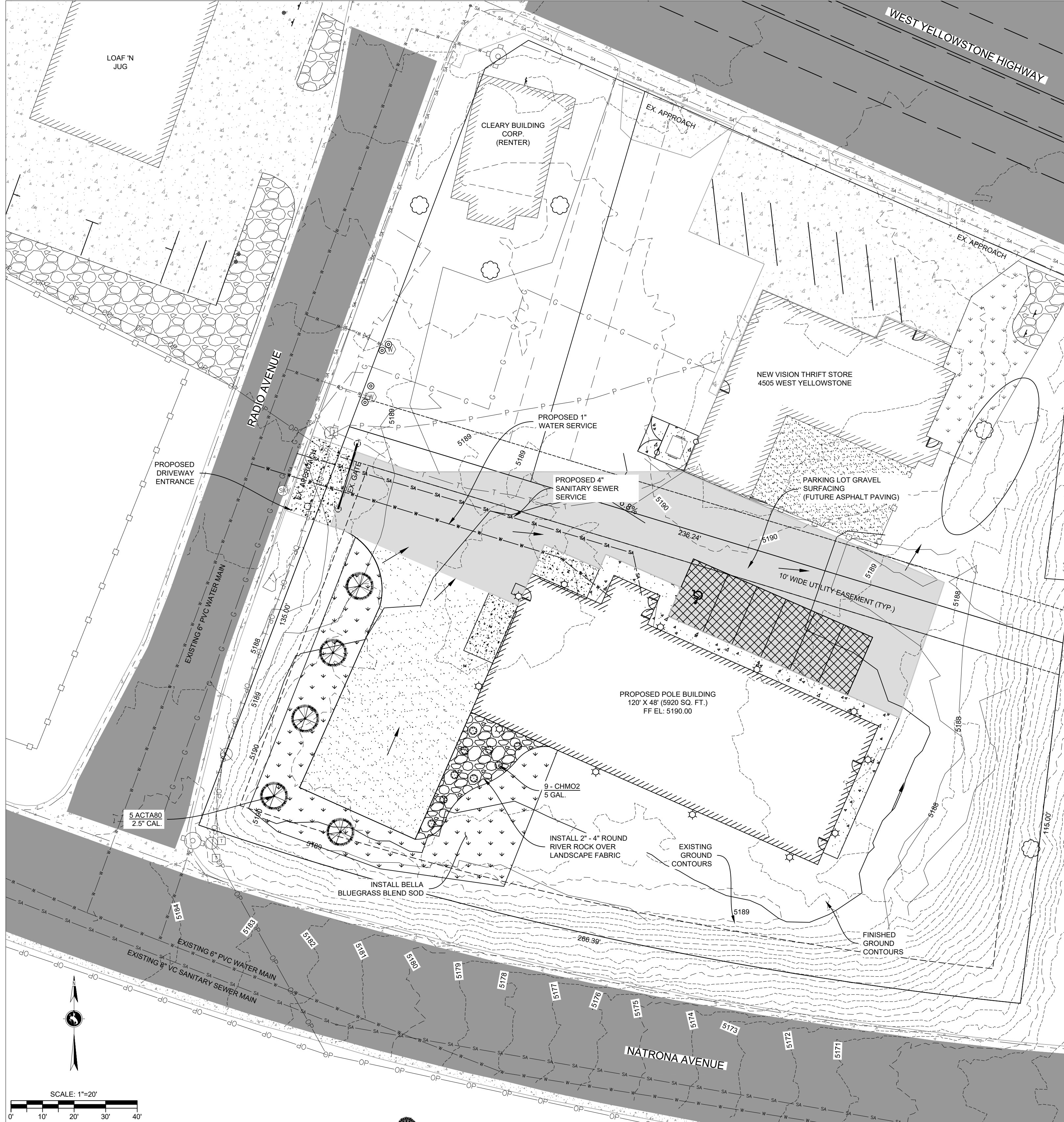
# VISION BEYOND BORDERS

## IN THE CITY OF MILLS

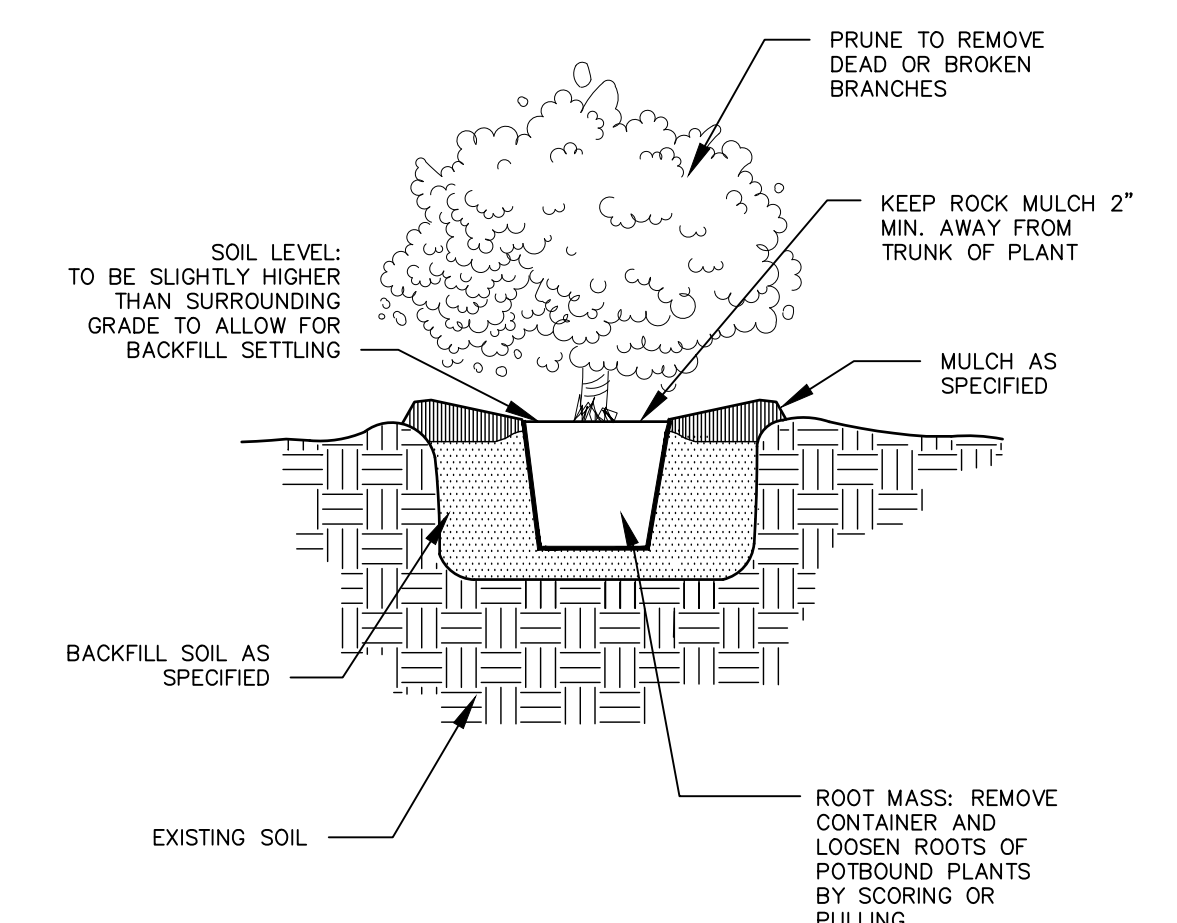
### NATRONA COUNTY, WYOMING

PLANT SCHEDULE					
TREES	CODE	BOTANICAL / COMMON NAME	SIZE	ROOT	QTY.
	ACTA80	ACER GINNALA AMUR MAPLE	2.5" CAL.	B&B	5
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	ROOT	QTY.
	CHMO2	CHRYSOTHAMNUS MOLESTUS RABBITBRUSH	5 GAL.	POT	9

REFERENCE NOTES SCHEDULE		
SYMBOL	DESCRIPTION	QTY
	BELLA BLUEGRASS BLEND SOD	2,835 SF
	2-4" ROUND RIVER ROCK OVER LANDSCAPE FABRIC	535 SF



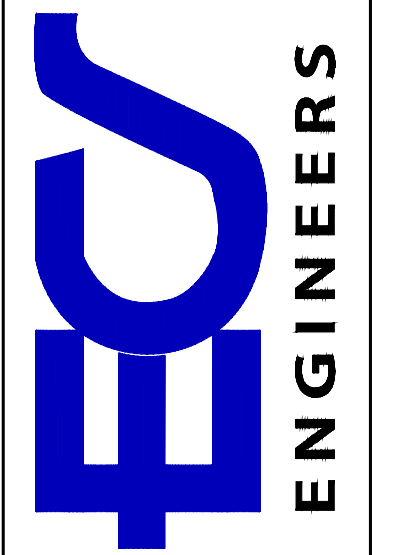
TYPICAL TREE PLANTING  
N.T.S.



TYPICAL SHRUB PLANTING  
N.T.S.

### LANDSCAPING NOTES

- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INSTALLATION, EXCAVATION, OR PLANTING OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTORS RESPONSIBILITIES.
- ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S NATIONAL STANDARD SPECIFICATIONS.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE PREPARED AND SEEDED OR SODDED AS SPECIFIED. A DISTURBED AREA SHALL BE WHERE CONSTRUCTION ACTIVITIES INCLUDING TRENCHING, DEMOLITION, EARTHWORK, MATERIAL STORAGE, STAGING, AND PARKING OR ANY OTHER FORM OF EXCAVATION, COMPACTION, OR TRAFFIC THAT RESULTS IN THE REMOVAL OR DISPLACEMENT OF EXISTING GROUND COVER OR GRADE. IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW ALL OTHER CONTRACT DOCUMENTS TO DETERMINE FULL SCOPE OF POTENTIAL SITE DISTURBANCE TO BE RECLAIMED.
- THE INSTALLATION OF LAWN, PLANT MATERIAL AND IRRIGATION SYSTEM SHALL BE PERFORMED BY ONE CONTRACTOR.
- CONTRACTOR SHALL FURNISH REQUIRED PLANT MATERIALS, INCLUDING TREES, SHRUBS, GRASSES, AND PERENNIALS OF ALL DESCRIPTIONS, FOR THE PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- IN THE EVENT OF A DISCREPANCY, NOTIFY THE ARCHITECT IMMEDIATELY.
- NO TREES SHALL BE PLANTED CLOSER THAN 10' TO A FIRE HYDRANT. ADJUST LAYOUT IF NECESSARY.
- NO TREE OR SHRUB SHALL BE PLANTED OVER OR WITHIN 10' LATERALLY FROM ANY SEWER OR WATER LINES OR 4' LATERALLY FROM GAS LINES. ADJUST LAYOUT IF NECESSARY.
- NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN CONSENT FROM CITY'S DEVELOPMENT OFFICE. CONTRACTOR TO LEAVE SPECIES LABEL ON PLANT FOR CITY STAFF INSPECTORS.
- CONTRACTOR SHALL PROVIDE PLANTS FREE FROM INSECTS AND DISEASES, SUN-SCALD INJURIES, ABRASIONS OF THE BARK, OR OTHER OBJECTIONABLE BLEMISHES. WEAK AND/OR DISFIGURED PLANTS WILL NOT BE ACCEPTED.
- CONTRACTOR SHALL PROVIDE FIELD GROWN NURSERY TREES, DUG WITH A BALL OF EARTH STILL INTACT IN WHICH THEY ARE GROWING, WRAPPED IN BURLAP OR OTHER SUITABLE MATERIAL TO COMPLETELY COVER THE ROOT BALL WITH A LACING OR OTHER BALL SUPPORTING DEVICE ON THE OUTSIDE TO HOLD THE BALL IN A FIRM, RIGID CONDITION.
- CONTAINER GROWN PLANTS SHALL BE HEALTHY, VIGOROUS, AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWN. THEY SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION. THE PLANTS SHALL HAVE A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM ROOT BALL.
- ALL 1.5-2" CALIPER DECIDUOUS TREES SHALL HAVE A SINGLE LEADER, 12-14' HEIGHT, BRANCHING AT 6-7' HEIGHT WITH A UNIFORM CANOPY BRANCHING, BRANCH ANGLES SHALL BE NO LESS THAN 30°.
- ALL 6-8" TALL EVERGREEN TREES SHALL HAVE A HEIGHT TO SPREAD RATIO OF 5:3, WITH A SINGLE LEADER.
- CONTRACTOR SHALL PROVIDE PLANT MATERIAL IN CONFORMANCE WITH STATE AND FEDERAL LAWS WITH RESPECT TO INSPECTION FOR PLANT DISEASE AND INFECTIONS.
- CONTRACTOR SHALL PROVIDE INSPECTION CERTIFICATES REQUIRED BY LAW WITH EACH SHIPMENT, INVOICE, OR ORDER OF STOCK TO THE OWNER.
- PLANT MATERIALS FOR THIS PROJECT ARE SUBJECT TO INSPECTION BEFORE, DURING, AND POST PLANTING. DAMAGED PLANT MATERIAL, CONTAINERS, OR LOOSE, TORN, AND BROKEN ROOT BALLS WILL NOT BE APPROVED BY THE OWNER AND WILL BE REPLACED AT THE CONTRACTORS EXPENSE AND MUST BE REMOVED FROM THE STORAGE AREA OR PROJECT.
- MAINTENANCE SERVICES TO BE PERFORMED BY THE CONTRACTOR. THE CONTRACTOR WILL BE EXPECTED TO FURNISH SERVICE AND MAINTENANCE OF ALL PLANTED AREAS THROUGH FINAL COMPLETION OF PROJECT OR AS REQUIRED PER THE REQUIREMENTS OF THE PROJECT WARRANTY PERIOD.
- ALL PLANT MATERIALS SHALL BE CERTIFIED BY THE STATE DEPARTMENT OF AGRICULTURE TO ASSURE THEM TO BE FREE OF DISEASE OR HAZARDOUS INSECTS.
- ALL FERTILIZER SHALL BE DELIVERED IN WATER PROOF BAGS SHOWING WEIGHT, CHEMICAL ANALYSIS, AND THE NAME OF THE MANUFACTURER.
- ALL PLANT MATERIAL SHALL BE DELIVERED TO THE SITE IN THEIR ORIGINAL CONTAINERS WITH ALL LABELS INTACT AND LEGIBLE.
- CONTRACTOR WILL BE RESPONSIBLE TO PROTECT AND MAINTAIN PLANT LIFE DURING THE STORAGE PERIOD PRIOR TO PLANTING.
- INSTALLATION OF PLANT LIFE WILL NOT BE PERMITTED WHEN THE AMBIENT TEMPERATURES MAY DROP BELOW 35°F OF RISE ABOVE 90°F.
- CONTRACTOR TO PROVIDE A ONE YEAR WARRANTY. WARRANTY TO INCLUDE COVERAGE FOR ONE ENTIRE GROWING SEASON FOR ALL DEAD OR UNHEALTHY PLANTINGS. ALL REPLACEMENT PLANTS SHALL BE REQUIRED TO BE OF THE SAME SIZE AND SPECIES AS SPECIFIED IN THE PLANT SCHEDULE, PLANTED IN THE FOLLOWING GROWING SEASON, WITH A NEW WARRANTY COMMENCING ON THE DATE OF PLACEMENT.
- SOIL MATERIALS:
  - ALL SOIL BACKFILL WILL BE FREE OF ROCKS LARGER THAN 1.5", STICKS, ROOTS, AND OTHER DEBRIS.
  - TOPSOIL TO BE STERILE, WEED FREE, PROCESSED, AND PASSED THROUGH A 3/4" SCREEN.
  - 4" OF TOPSOIL TO BE INSTALLED IN ALL NEW SITE LANDSCAPE AREAS, NATIVE GRASS PLANTINGS, AND PLANTING RINGS OR IN ANY AREAS DESIGNATED IN THE PLANS FOR CONSTRUCTION.
- SOIL AMENDMENT MATERIALS:
  - COMPOST SHALL BE 'GLACIER GOLD', 'SOIL PROP', OR AN APPROVED EQUAL.
  - FERTILIZER SHALL BE 100% ORGANIC, 'TRANSPANT ROOT STIMULATOR', 'BIOPLEX TRANSPARENT CONCENTRATE' OR APPROVED EQUAL.
- BOULDER ENCOUNTERED DURING EXCAVATION FOR THE PROJECT SITE SHALL BE HANDLED TO PREVENT SCARRING AND USED AS PART OF THE LANDSCAPING SCHEME. PLACE AS DIRECTED BY THE OWNER.
- WEED BARRIER FABRIC SHALL BE WOVEN POLYPROPYLENE FABRIC, 4.75 OZ. SQ./YD. OR HEAVIER WITH METAL LANDSCAPE PINS. DO NOT INSTALL WEED BARRIER UNDER PERENNIALS AND GRASSES.
- CONTRACTOR SHALL USE 1.5" DIA. ROUND POSTS WITH TAPERED END, 8.0' IN LENGTH OR DUCKBILL ANCHORS FOR TREE ANCHORING.
- CONTRACTOR SHALL USE 3 ANCHORS FOR DECIDUOUS TREES, 3 ANCHORS FOR CONIFEROUS TREES WITH WEBBING OR RUBBER TREE TIES MANUFACTURED SPECIFICALLY FOR USE ON TREES.
- CONTRACTOR WILL BE RESPONSIBLE TO REMOVE ALL ANCHORING AT THE END OF ONE CONTINUOUS GROWING SEASON.
- LANDSCAPE AREAS SHALL BE IRRIGATED PER CITY OF GILLETTE STANDARDS. CONTRACTOR SHALL COORDINATE PERMANENT UNDERGROUND IRRIGATION SYSTEM LAYOUT WITH PLANTINGS.
- CONTRACTOR TO MAINTAIN CURRENT SET OF IRRIGATION AS-BUILT DRAWINGS TO BE SUBMITTED UPON COMPLETION OF PROJECT TO ARCHITECT.
- AREAS THAT ARE TOO SMALL TO BE DRILL SEEDED SHALL BE BROADCAST, RAKED IN, AND ROLLED.
- CONTRACTOR TO PROVIDE FULL IRRIGATION AND EDGING SUBMITTAL WITH SHOP DRAWINGS OF LANDSCAPING AND IRRIGATION LAYOUT TO ARCHITECT.
- STREET LIGHTING SHALL BE ORNAMENTAL STREET LIGHTING, NO GLOBE LIGHTING. ORNAMENTAL STREET LIGHTING SHALL MEET CURRENT STREET LIGHTING STANDARD SPECIFICATIONS.
- REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.



FOR: VISION BEYOND BORDERS  
200 N. B. 1535  
CASPER, WY 82402  
307.333.6545

BY: ECS ENGINEERS  
1600 CY AVENUE, SUITE 104  
CASPER, WY 82404  
307.337.2883

Date: 2.10.2025  
Scale: SEE DRAWING  
File Name: 240024\_Landscape.dwg  
Project No.: 240024  
PAGE: 7/8

LANDSCAPE PLAN  
VISION BEYOND BORDERS  
MILLS, WY

REV	DATE	DESCRIPTION

**C7.0**

ARCH FULL BLEED D (24.00 X 36.00 INCHES)

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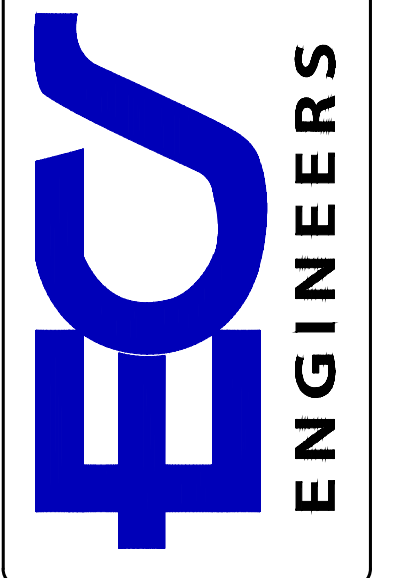
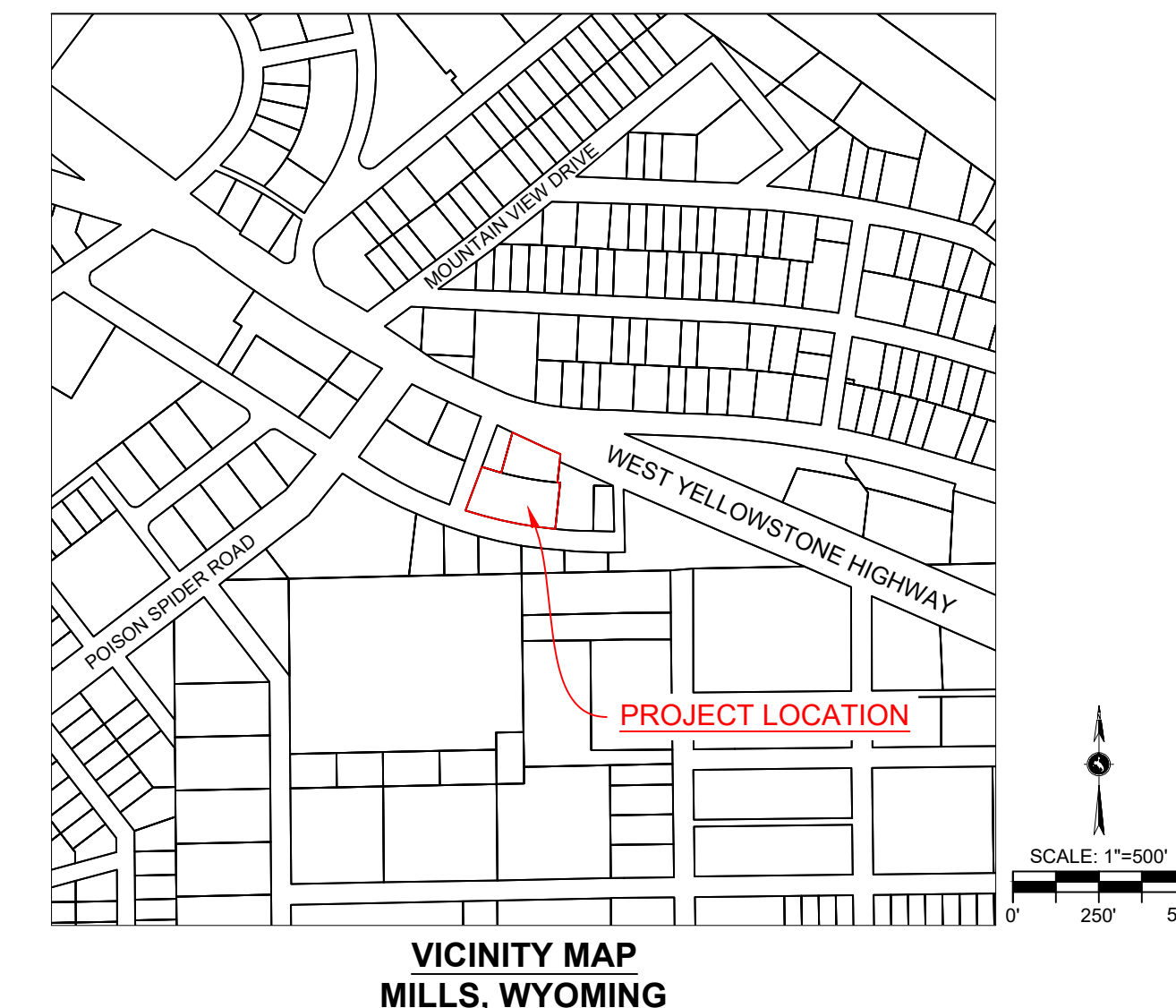
# LIGHTING PLAN FOR VISION BEYOND BORDERS IN THE CITY OF MILLS NATRONA COUNTY, WYOMING

## SYMBOLS

- PROPOSED TREE
- TREE
- △ ECS CONTROL POINT
- ELECTRICAL VAULT
- FIBER OPTIC PEDESTAL
- FIRE HYDRANT
- PROFILE FIRE HYDRANT
- FLARED END SECTION
- GAS METER
- CATCH BASIN
- GUY WIRE ANCHOR
- POWER POLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN OUT
- DRAINAGE DIRECTION ARROW
- ⊙ STORM SEWER MANHOLE
- ⊙ STREET LAMP
- ⊙ TELEPHONE MANHOLE
- ⊙ TELEPHONE PEDESTAL
- ⊙ BORE HOLE LOCATION
- WATER TEE
- WATER CROSS
- ⊙ WATER VALVE
- CURB STOP
- ⊙ ELECTRICAL METER CABINET
- ⊙ SINGLE SIGN POST
- BOLLARD
- ◇ RECOVERED BRASS CAP
- ◇ RECOVERED ALUMINUM CAP
- ◇ RECOVERED REBAR
- ◇ RECOVERED ALUMINUM CAP

## LEGEND

- RIGHT OF WAY
- PROPERTY LINES
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EDGE EXISTING ASPHALT
- EXISTING WOOD FENCE
- PROPOSED CHAINLINK FENCE
- EXISTING GAS LINE
- PROPOSED CRUDE MAIN
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- EXISTING SANITARY MAIN
- PROPOSED SANITARY MAIN
- EXISTING STORM MAIN
- PROPOSED STORM MAIN
- OVERHEAD POWER LINE
- TELEPHONE LINE
- UNDERGROUND POWER
- EXISTING FIBEROPTIC LINE
- PROPOSED MAJOR CONTOUR
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- EXISTING CONCRETE SURFACING
- PROPOSED CONCRETE SURFACING
- EXISTING ASPHALT SURFACING
- PROPOSED ASPHALT SURFACING
- PROPOSED LANDSCAPING
- EXISTING GRAVEL



FOR: VISION BEYOND BORDERS  
P.O. Box 1535  
Casper, WY 82602  
307.333.6545

BY: ECS ENGINEERS  
1607 CY AVENUE, SUITE 104  
CASPER, WY 82604  
307.337.2683

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PAGE 1/1

**LIGHTING PLAN  
VISION BEYOND BORDERS  
MILLS, WY**

REV	DATE	DESCRIPTION	BY

**C8.0**

ARCH FULL BLEED D (24.00 X 36.00 INCHES)

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# SLING Series

SLENDER WALLPACK

tradeSELECT™

## FEATURES

- Two sizes for a variety of applications
- Ranges from 21W to 80W with up to 8000 lumens
- SG1 Series replaces from 100W-150W HID; SG2 Series replaces from 150W-250W HID
- Comfort Lens available as an option or accessory provides glare control and enhanced uniformity
- Knuckle and trunnion accessory mounting kits available for flood applications
- IP65 and certified to UL 1598 for use in wet locations up to 40°C ambient
- DLC (DesignLights Consortium Qualified - see [www.designlights.org](http://www.designlights.org))



## SPECIFICATIONS

### HOUSING

- Rugged die-cast aluminum housing with corrosion resistant powder coat finish
- Heating dissipating fins provide superior thermal performance extending the life of the electronic components
- Impact resistant tempered glass offers zero uplight
- Comfort lens available as an option or accessory to reduce glare (7-10% lumen reduction) and provide better uniformity

### OPTICS

- 3000K, 4000K and 5000K CCT nominal with 70 CRI
- Smaller SG1 housing has 2 LEDs, larger SG2 housing has 3 LEDs

### INSTALLATION

- Side hinge allows for easy installation and wiring
- Side movement avoids damage to the lens and helps prevent injury common in drop down hinge designs
- Mounts to 4" junction box and includes a gasket to help seal electrical connections
- Four 1/2" threaded conduits hubs for surface conduit provided

### ELECTRICAL

- 120-277V, 50/60Hz electronic drivers
- 347V and 480V available in large SG2 housing
- 10KA surge protection included

### OPTIONS/CONTROLS

- Button photocontrol for dusk to dawn energy savings. Stock versions include 120V-277V PC with a cover which provides a choice to engage photocontrol or not. PC is installed in top hub
- Occupancy sensor available for on/off and dimming control in larger SG2 housing
- Battery backup options available in larger SG2 housing rated for either 0° C or -30° C. Performance exceeds NEC requirement providing 1 fc minimum over 10'x10' at 11' mounting height

### CERTIFICATIONS

- Listed to UL1598 for use in wet location, listed for -40°C to 40°C applications
- Complies with IDA standards with zero uplight for 3000K and warmer CCT's
- IP65

### WARRANTY

- 5 year warranty

KEY DATA	
Lumen Range	2263-8079
Wattage Range	21-80
Efficacy Range (LPW)	101-113
Weights lbs. (kg)	4.3-11 (2.0-5.0)



# SLING SERIES

SLIMLINE WALLPACK

CATALOG #:

## ORDERING GUIDE

Example: SGI-20-3K7-FT-UNV-DBT-PCU-CS

CATALOG #

### ORDERING INFORMATION

Housing	CCT/CRI	Distribution	Voltage	Color/Finish	Control Options	Options
SG1-10 Size 1, 10W	3K7 3000K, 70 CRI	FT Fwd Throw	UNV 120V-277V	BLT Black Matte Textured	PCU Universal Button Photocontrol (120-277V)	CS Comfort Lens
SG1-20 Size 1, 20W	4K7 4000K, 70 CRI		120 120V	BLS Black Gloss Smooth	SCP <sup>1,2,3</sup> Occupancy Sensor Programmable (Dim)	E <sup>1,2</sup> Battery 0°C
SG1-30 Size 1, 30W	5K7 5000K, 70 CRI		277 277V	DBT Dark Bronze Matte Textured	Specify MTG HT for OCC Sensor	EH <sup>1,2</sup> Battery w/ heater -20°
SG1-40 Size 1, 40W			UHV 347V-480V	DBS Dark Bronze Gloss Smooth	8F Up to 8'	
SG2-50 Size 2, 50W				GTT Graphite Matte Textured	20F Up to 20'	
SG2-80 Size 2, 80W				LGS Light Grey Gloss Smooth		
				PSS Platinum Silver Smooth		
				WHT White Matte Textured		
				WHS White Gloss Smooth		
				VGT Verde Green Textured		
				<b>Color Option</b>		
				CC Custom Color		

Notes:

- 1 Available in SG2 only, UHV available in SG2-50 only
- 2 Sensor controls & battery backup can not be used with flood accessory or kit or for inverted/up mounting, 120-277V only for SCO/SCP, 120 or 277 only for SWP, SWPM, E & EH
- 3 Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings, 120-277V only

### STOCK ORDERING INFORMATION

Catalog Number	CCT/CRI	Wattage	Mounting Height	Color	Color	Delivered Lumens	LPW	Weight lbs. (kg)
SG1-10-PCU	5000K/70	11W	8-12ft	120-277V	Dark Bronze	1349	122	4.3 (2.0)
SG1-10-4K-PCU	4000K/70	11W	8-12ft	120-277V	Dark Bronze	1424	129	4.3 (2.0)
SG1-20-PCU	5000K/70	21W	8-12ft	120-277V	Dark Bronze	2263	108	4.3 (2.0)
SG1-20-4K-PCU	4000K/70	21W	8-12ft	120-277V	Dark Bronze	2310	110	4.3 (2.0)
SG1-30-PCU	5000K/70	29W	10-15ft	120-277V	Dark Bronze	3270	113	4.3 (2.0)
SG1-30-4K-PCU	4000K/70	29W	10-15ft	120-277V	Dark Bronze	3060	105	4.3 (2.0)
SG1-40-PCU	5000K/70	38W	10-15ft	120-277V	Dark Bronze	4008	105	4.3 (2.0)
SG1-40-4K-PCU	4000K/70	38W	10-15ft	120-277V	Dark Bronze	4070	106	4.3 (2.0)
SG2-50-PCU	5000K/70	51W	12-18ft	120-277V	Dark Bronze	5548	110	11 (5.0)
SG2-50-4K-PCU	4000K/70	51W	12-18ft	120-277V	Dark Bronze	5526	109	11 (5.0)
SG2-80-PCU	5000K/70	80W	15-25ft	120-277V	Dark Bronze	8061	101	11 (5.0)
SG2-80-4K-PCU	4000K/70	80W	15-25ft	120-277V	Dark Bronze	8079	101	11 (5.0)

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
 TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
 CATALOG #: \_\_\_\_\_

# SLING SERIES

SLENDER WALLPACK

## ORDERING GUIDE

### OPTIONS AND ACCESSORIES

	Catalog Number	Description	Weight lbs. (kg)
<input type="checkbox"/>	SG1-YOKE	SG1 Series Yoke/Floodlight mount kit, includes visor	2.0 (1.0)
<input type="checkbox"/>	SG1-KNUCKLE	SG1 Series Knuckle/Floodlight mount kit, includes visor	2.0 (1.0)
<input type="checkbox"/>	SG2-YOKE	SG2 Series Yoke/Floodlight mount kit, includes visor	2.0 (1.0)
<input type="checkbox"/>	SG2-KNUCKLE	SG2 Series Knuckle/Floodlight mount kit, includes visor	2.0 (1.0)
<input type="checkbox"/>	SCP-REMOTE*	Remote control for SCP option. Order at least one per project to program and control fixtures	1 (.45)

# SLING SERIES

SLINDER WALLPACK

## PERFORMANCE DATA

Description	# of LEDs	Drive Current	System Watts	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
SG1-10	2	140mA	11	1349	122	1	0	0	1424	129	1	0	0	1003	91	1	0	0
SG1-20	2	250mA	21	2449	115	1	0	0	2310	110	1	0	0	2054	95	1	0	0
SG1-30	2	350mA	29	3332	117	2	0	0	3060	106	1	0	0	2913	100	1	0	0
SG-40	2	450mA	38	4008	105	2	0	0	4070	106	2	0	0	3845	100	2	0	0
SG2-50-UHV	3	350mA	44	4633	106	2	0	0	4609	105	2	0	0	3895	90	2	0	0
SG2-50	3	415mA	51	5548	109	2	0	0	5526	107	2	0	0	4700	92	2	0	0
SG2-80	3	650mA	80	7851	98	2	0	1	8079	103	2	0	1	6721	86	2	0	1

\*347 and 460 VAC input Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment application and inherent performance balances of the electrical components.

## ELECTRICAL DATA

Catalog number	# of Drivers	Input Voltage	Current (AMPS)	System Power
SG1-10	1	120	0.09	11.0
	1	277	0.04	11.0
SG1-20	1	120	0.18	21.0
	1	277	0.08	21.0
SG1-30	1	120	0.24	28.9
	1	277	0.10	28.9
SG2-40	1	120	0.32	38.3
	1	277	0.14	38.3
SG-50-UHV	1	347	0.13	43.5
	1	480	0.18	43.5
SG2-50	1	120	0.42	50.6
	1	277	0.18	50.6
SG2-80	1	120	0.68	79.8
	1	277	0.29	79.8

## PROJECTED LUMEN MAINTENANCE

Ambient Temperature	OPERATING HOURS					
	0	25,000	50,000	TM-21-11 <sup>1</sup> L96 60,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.98	0.97	0.96	0.95	>791,000
40°C / 104°F	0.99	0.98	0.96	0.96	0.94	>635,000

1. Projected per IESNA TM-21-11<sup>1</sup> (Nichia 219B, 700mA, 85°C Ts, 10,000hrs) Data references the extrapolated performance projections for the base model in a 40°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08

**SLING SERIES**  
SLENDER WALLPACK

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
 TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
 CATALOG #: \_\_\_\_\_

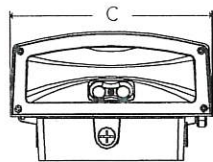
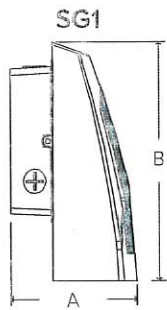
Item # 12.

**LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)**

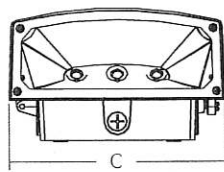
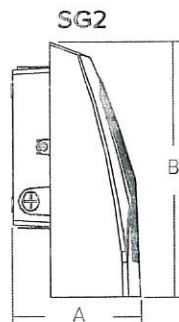
Ambient Temperature		Lumen Multiplier
0° C	32° F	1.02
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	1.00
40° C	104° F	0.99
50° C	122° F	0.96

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

**DIMENSIONS**

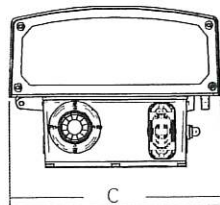
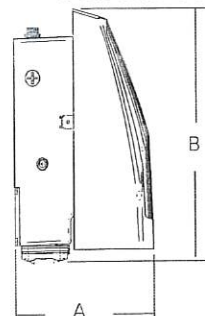


A	B	C	Weight
4.19" (107mm)	7.80" (198mm)	6.61" (168mm)	4.4lbs (2kg)



A	B	C	Weight
5.80" (147mm)	11.14" (283mm)	9.52" (242mm)	11lbs (5kg)

**SG2 with occupancy sensor and battery options**



A	B	C	Weight
7.26" (184mm)	13.64" (342mm)	9.52" (242mm)	11lbs (5kg)

# SLING SERIES

SLENDER WALLPACK

CATALOG #:

## PHOTOMETRY

### SG1-10-4K7

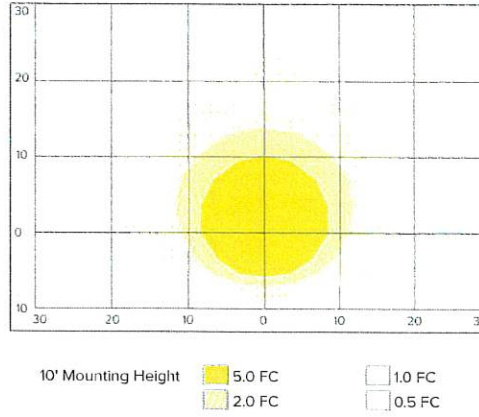
#### LUMINAIRE DATA

Description	4000 Kelvin, 70 CRI
Distribution Type	Forward Throw
Delivered Lumens	1424
Watts	11.4
Efficacy	125
Mounting	Wall

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	996.6	70.0
Downward House Side	427.8	30.0
Downward Total	1424.4	100.0
Upward Street Side	0.0	0.0
Upward House Side	0.0	0.0
Upward Total	0.0	0.0
Total Flux	1424.4	100.0

#### ISOMETRIC FOOTCANDLE



### SG1-20-4K7

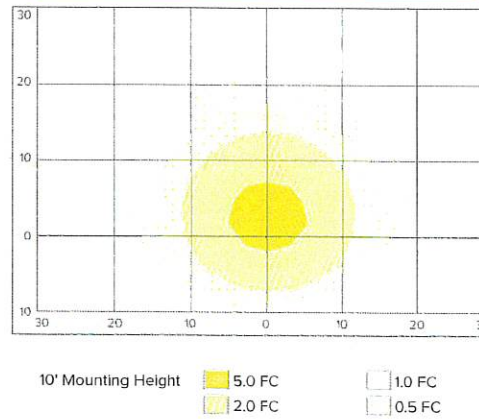
#### LUMINAIRE DATA

Description	4000 Kelvin, 70 CRI
Distribution Type	Forward Throw
Delivered Lumens	2310
Watts	20.9
Efficacy	111
Mounting	Wall

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	1618	70.0
Downward House Side	692.1	30.0
Downward Total	2310	100.0
Upward Street Side	0.0	0.0
Upward House Side	0.0	0.0
Upward Total	0.0	0.0
Total Flux	2310.3	100.0

#### ISOMETRIC FOOTCANDLE



### SG1-30

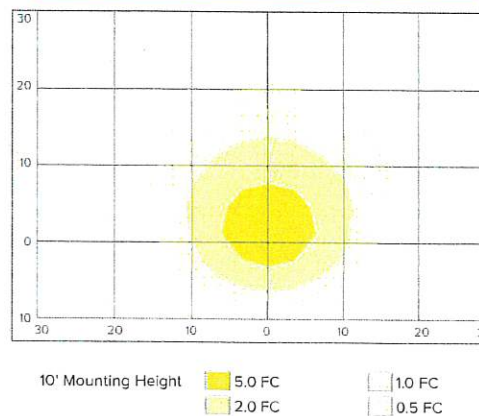
#### LUMINAIRE DATA

Description	4000 Kelvin, 70 CRI
Distribution Type	Forward Throw
Delivered Lumens	3060
Watts	29.1
Efficacy	105
Mounting	Wall

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	2619.4	70.9
Downward House Side	890.4	29.1
Downward Total	3059.8	100.0
Upward Street Side	0.0	0.0
Upward House Side	0.0	0.0
Upward Total	0.0	0.0
Total Flux	3059.8	100.0

#### ISOMETRIC FOOTCANDLE



**SLING SERIES**  
SLENDER WALLPACK

**PHOTOMETRY**

**SG1-40-4K7**

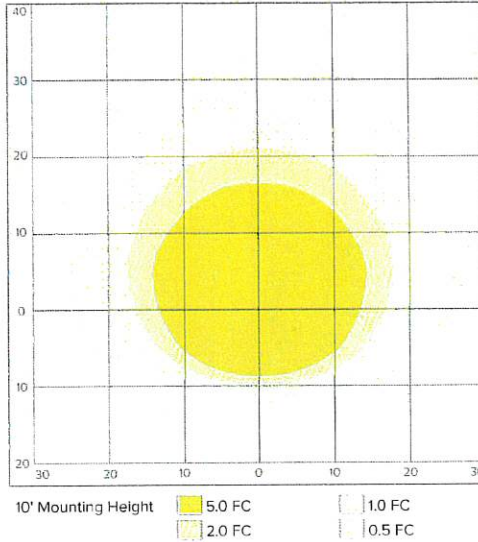
**LUMINAIRE DATA**

Description	4000 Kelvin, 70 CRI
Distribution Type	Forward Throw
Delivered Lumens	4070
Watts	38.1
Efficacy	107
Mounting	Wall

**ZONAL LUMEN SUMMARY**

Zone	Lumens	% Luminaire
Downward Street Side	2857.7	70.2
Downward House Side	1215.5	29.8
Downward Total	4070.2	100.0
Upward Street Side	0.0	0.0
Upward House Side	0.0	0.0
Upward Total	0.0	0.0
Total Flux	4070.2	100.0

**ISOMETRIC FOOTCANDLE**



**SG2-50-4K7**

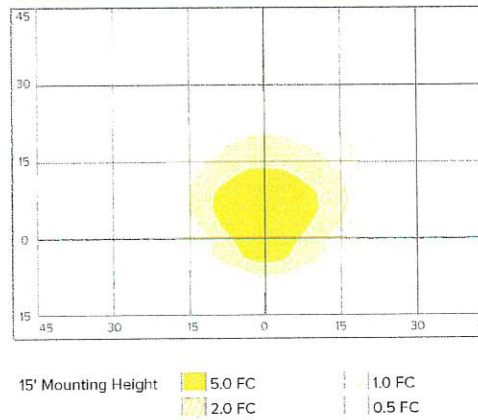
**LUMINAIRE DATA**

Description	4000 Kelvin, 70 CRI
Distribution Type	Forward Throw
Delivered Lumens	5525.7
Watts	51.7
Efficacy	107
Mounting	Wall

**ZONAL LUMEN SUMMARY**

Zone	Lumens	% Luminaire
Downward Street Side	4611.8	83.5
Downward House Side	913.9	16.5
Downward Total	5525.7	100.0
Upward Street Side	0.0	0.0
Upward House Side	0.0	0.0
Upward Total	0.0	0.0
Total Flux	5525.7	100.0

**ISOMETRIC FOOTCANDLE**



**SG2-80-4K7**

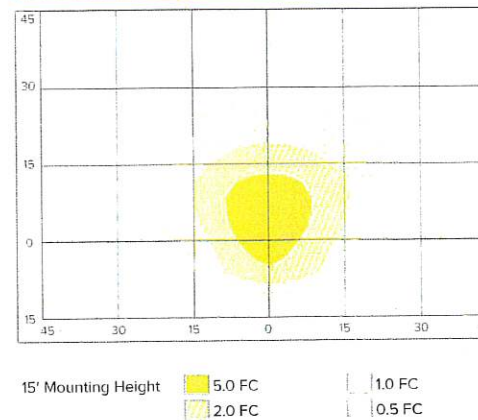
**LUMINAIRE DATA**

Description	4000 Kelvin, 70 CRI
Distribution Type	Forward Throw
Delivered Lumens	8453
Watts	78.5
Efficacy	108
Mounting	Wall

**ZONAL LUMEN SUMMARY**

Zone	Lumens	% Luminaire
Downward Street Side	6677.7	79.0
Downward House Side	1775.5	21.0
Downward Total	8453.2	100.0
Upward Street Side	0.0	0.0
Upward House Side	0.0	0.0
Upward Total	0.0	0.0
Total Flux	8453.2	100.0

**ISOMETRIC FOOTCANDLE**



# SLING SERIES

SLENDER WALLPACK

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
 TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
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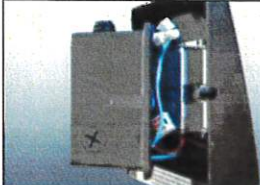
Item # 12.

## ADDITIONAL INFORMATION

### Shipping Information

Catalog Number	G.W(kg)/ CTN	Carton Dimensions			Carton Qty. per Master Pack	Pallet Qty.
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)		
SG1	4.35lbs (2kg)	9.5 (24)	8.25 (21)	5.25 (13)	6	98
SG2	11lbs (5kg)	14 (36)	11.5 (29)	8 (20)	2	64

### Accessories and Services

Visor	Mounting Options	Photocontrol	Hinged Housing Door
			
Visor accessory included with mounting accessory kits	Flood mounting accessories - 1/2" threaded knuckle or yoke (includes grommet and 3' SO cord)	Photocontrol option available for energy-saving dusk-to-dawn operation	Side hinged for easy installation and wiring access, single screw secures housing closure

**Board Members Present:** John Gudger, Chris Volzke, John Bryson and Robin Baye were present for the P&Z Meeting. Member Nick Sterling was absent.

**City Staff in Attendance:** Megan Nelms, City Planner, Building Inspector Kevin O'Hearn, Sabrina Kemper, Community Development Director and Sarah Osborn, City Clerk

Chairman John Gudger called meeting to order at 5:32pm on February 6, 2025, as a quorum was present.

Chairman Gudger asked if everyone had a chance to read the minutes from the previous meeting on January 2, 2025. Board Member Chris Volzke made a motion to approve the minutes. Board Member Robin Baye seconded the motion. Chairman Gudger called for a vote to pass the minutes of the January 2, 2025 P&Z meeting. All ayes, motion passed.

Chairman Gudger introduced the first item on the agenda, the Final Plat for the replat of Lots 2 & 3, Sage Addition and ask Megan for a staff report. Megan provided an overview of the application, stating that it was completing a boundary adjustment between Lots 2 & 3, Sage Addition. The Applicant is Lyle Vinich and the agent is ECS Engineering. The adjustment will reduce the size of proposed Lot 2A from 2.23 to 2.0 acres and increase proposed Lot 3A from 2.23 to 2.45 acres in size. The subdivision is located on the northwest side of the intersection of Chamberlin Rd and Pontiac Street and zoned as I-1 (Light Industrial). There is an existing shop building on proposed Lot 2A. There are just a few planning considerations. They are as follows:

**Planning Considerations:**

1. Add a 5' general utility easement around the boundary of each lot
2. Label the line shown on Lot 3A
3. Survey Reviews:
  - Verify the plat scale is 1" = 60' not 1" = 100'
  - Verify all line types in the legend match those on the plat face
  - Revise the plat in the vicinity map and Surveyors Certificate to match the Dedication.

**Staff Recommendations:**

Staff recommends approval of the Final Plat, pending all considerations being completed and recommends the Planning Commission make a do-pass recommendation on the application to City Council.

Board Member Bryson had questions regarding line labels. Steve Granger with ECS Engineers came forward. He stated that the next item on the agenda is the development plan related to this subdivision but wanted to clarify that he has not seen the site plan and has only worked on the plat. Kevin brought the site plan to the podium to show Steve. He let the



commission know that the line being discussed is the original lot line. He can add the line to the legend or remove it all together. Member Bryson asked him to just label the line. Megan stated she will revise the considerations to remove or label the line being vacated.

There was discussion regarding the 50' wide easement running along the eastern side of the subdivision. Mr. Granger said that the easement shows up on the original Sage Addition plat and it is recorded, but he was unsure about the site plan. Chairman Gudger referred to the site plan and detailed that the building is roughly 124' and based on those dimensions, the existing building is within the easement. Mr. Granger agreed and said it was a possible conflict. He thinks that it is one of the large transmission lines that runs up through there.

Megan stated that, in reviewing the aerial photo, there is not any overhead transmission infrastructure within the shown easement. She stated that based on the recording information, you can tell it is a very old easement. Megan recommended that they do locates and make sure the lines are not underground. Member Bryson advised he would like them to provide positive evidence of vacation of the easement. Mr. Granger said that may be hard to do, but he would provide some information to Megan. Megan said we could ask the City Attorney for more clarification as to the process of vacating the easement, based on who it is in favor of, and other issues. She reminded the commission that at this time, they are only reviewing the subdivision plat, not the development plan. Chairman Gudger made it clear that they would be approving the plat, but not the site plan at this time. Megan confirmed.

Chairman Gudger opened the floor for questions or comments from the commission or the public. There were none. Chairman Gudger then asked for a motion. Vice Chairman Volzke made a motion to approve the final plat for the resubdivision of Sage Addition, pending completion of all planning considerations. Member Bryson seconded the motion. All voted aye, motion carried.

Chairman Gudger introduced the next item on the agenda, the Vinich Development Plan, and asked Megan for a staff report. Megan provided an overview of the case, 25.01 DEV. The applicant is proposing to construct additions to an existing commercial shop building on Lot 2A, Sage Addition. The existing building is approximately 3,750 sf in size and the application proposes future additions of 3,600 sf on the north side of the existing structure and a second addition of 1,710 sf on the south side. The property is located on the northwest corner of the intersection of Chamberlin Rd and Pontiac St.

Megan provided an overview of the development plan review process and the criteria for approval. She provided details on the current application, stating that the site encompasses approximately 2.0-acres and is zoned I-1 (Light Industrial). The development plan notes that exterior lighting will be on the building, with no proposed parking lot illumination. Specifications for the types of exterior lighting for the building need to be provided. A 'potential future building' is depicted on the adjacent Lot 3A. It should be noted that any future development on Lot 3A will require a separate Development Plan application and review. She also advised that the applicant should also be aware of additional setbacks and buffering that will be required for commercial or industrial development adjacent to the residential Buffalo Meadows Addition.

Megan then provided a summary of the planning considerations for the development plan application:

**Planning Considerations:**

1. Submit a detailed lighting plan per Section 40.35 detailing the types of lighting proposed for the building. Submit an exterior lighting plan per Section 40.35(4) showing the location and types of lighting for the building, along with manufacturer's specifications.
2. Per Section 40.10(6) all required parking spaces and all driveways, entrances and exits from the parking area shall be paved with asphalt, concrete or similar permanent surface.
  - a. Nine (9) parking spaces are required. 14 are shown on the development plan with asphalt surfacing. This meets the intent of the regulations.
3. Submit a final drainage plan
4. Enter into an approved Site Plan Agreement upon approval of the Development Plan.
5. Obtain all required building permits for:
  - a. All site lighting
  - b. All on-premise signage.
6. Clarify and show the power 15' wide power easement on the site plan and clarify whether there is a holds infrastructure and the encroachment of the building in the easement.

**Staff Recommendation:**

Staff recommends approval of the Development Plan pending completion of all planning considerations and recommends the Planning Commission make a do-pass recommendation on the application to City Council.

Board Member Bryson had questions regarding the required paving area. There was general discussion centered around the requirements for paving the required parking area in industrial zoning districts. Megan stated that the commission will see upcoming amendments to the LDRs and she will be sure to include some clarifying language regarding parking surfacing at that time.

There was extensive discussion over the location of the 50' easement on the eastern portion of the property in relation to the existing building and proposed additions. Chairman Gudger state that he did not want to move the application forward without knowing more about the easement. Megan stated staff's recommendation is still approval, as the applicant and their agent will be required to provide information on the easement as part of completing the planning considerations prior to council review and approval. Chairman Gudger stated he feels the application should be tabled. There was general discussion by the commission on whether they wanted to review the development plan and easement information again before making a recommendation.

Chairman Gudger then asked if there was any other discussion. There was none. He then made a motion to table the Vinich Development Plan Application, pending additional information regarding the 50' wide easement. Vice-Chairman Volzke seconded the motion. All voted aye, motion carried.

Chairman Gudger introduced the final item on the agenda, the Vision Beyond Borders Development Plan and asked Megan to provide a staff report. Megan reminded the commission that the case had been tabled at the previous meeting and that the commission should entertain a motion to remove it from the table for consideration. Member Volzke motioned to remove the case from the table for review. Member Bryson seconded. All voted aye, motion carried.

Megan provided an overview of the case, 25.01 DEV, stating the case had been tabled at the previous meeting with a request from the commission that the applicant provide additional details and required items per the LDRs. The applicant is Patrick Klein with Vision Beyond Borders and the agent is Steve Granger with ECS Engineering.

Megan provided an overview of the development plan review process and the criteria for approval of a development plan. Vision Beyond Borders has applied to construct a new pole building for Vision Beyond Borders, located just off Yellowstone Highway, accessing via Radio Ave. She stated that the site encompasses .75-acres and is zoned C-1 (General Commercial).

Megan provided a summary of the outstanding items that were previously missing from the application that were now included, such as a detailed landscaping plan, exterior lighting plan and updated site plan. She stated that one outstanding issue remains. Per Section 40.10(6) all required parking spaces and all driveways, entrances and exits from the parking area shall be paved with asphalt, concrete or similar permanent surface. The development plan shows the (6) parking spaces. The applicant has indicated on the development plan and in the application their intent to utilize gravel surfacing across the remainder of the site with plans to pave in the future. Megan stated that the commission should evaluate this request and include a recommendation to city council to allow the exception to the paving requirement or request a revision of the application showing fully paved surface at the time of construction and building occupation. She also provided a summary of the planning considerations.

**Planning Considerations:**

1. The previous application contained a conceptual exterior lighting plan. A more detailed exterior lighting plan has been provided with this submittal and appears to be in conformance with the LDRs.
  - a. No parking lot lighting is proposed
  - b. Exterior lighting will be limited to the building with shielded wall-packs. The applicant needs to specify which model of the Sling Series Slender Wallpack light will be utilized.
2. Section 40.40(4), a minimum of 10% of the site shall be landscaped. A conceptual landscaping plan was submitted with the previous application. An updated, detailed landscape plan has been submitted and appears to be in conformance with the LDRs.
3. Per Section 40.10(6) all required parking spaces and all driveways, entrances and exits from the parking area shall be paved with asphalt, concrete or similar permanent surface.
  - a. If the Planning Commission desires to allow an alternate surfacing type, either temporarily or permanently, the motion and recommendation to Council should include language to that effect.
  - b.

4. Enter into an approved Site Plan Agreement upon approval of the Development Plan.
5. A new address will be assigned after approval of the site plan.
6. Provide final, City Engineer approved design plans for:
  - a. Final grading plan
  - b. Final access/approach plans
  - c. Final utility service plans
7. Obtain all required building permits for:
  - a. All site lighting
  - b. All on premise signage.

**Staff Recommendation:**

Megan stated that staff recommends APPROVAL of the Development Plan with the requirement that all paving requirements of the LDRs be met prior to occupancy of the building as well as all other planning considerations.

Chairman Gudger then asked if there were any questions from the commission. Vice Chairman Volzke questioned the updated drainage plan, saying it shows a small storm water detention area next to the thrift store, and he wants to confirm that a final drainage plan and design will be forthcoming. Megan confirmed that a final drainage plan would be required as part of the approval. Board Member Bryson commented there still wasn't a shared access easement shown for the access aisle between the two lots.

Board Member Bryson next asked about the paving requirement. Megan stated that staff suggests the commission make a recommendation on the request to delay the required paving to city council if they feel differently than the staff recommendation. Mike Elston and Jana Beeson with Vision Beyond Borders came forward to address the delayed paving request and the concerns they have about having to pave the lot immediately. Mr. Elston stated the request is that they be allowed to pave the property in phases. He stated that VBB is a non-profit organization and trying to be fiscally conservative with their construction and operating funds.

There was general discussion about the paving requirements and what would be paved when. Chairman Gudger stated that he would be okay with granting a 5-year time period by which they would have to have all required paving complete. Vice Chair Volzke disagreed, stating that enforcement of conditions like this is difficult with staff changes and things being forgotten over a period of time. He stated that he believes VBB has good intentions, but this isn't something that can be easily tracked.

Chairman Gudger asked Kevin if there was a way to enforce this through the CSO. Kevin explained that the paving usually happens a lot quicker due to trucks driving over the gravel and pavement. Kevin did say that there is no way to track it. In order to protect the asphalt, they will want to pave it sooner. Chairman Gudger asked if we could add a clause in the application.

Megan provided some additional information, stating that paving was a requirement for all lots within the commercial zoning districts. As Kevin stated, tracking mud, gravel and dirt onto city streets is not the city's best interest, hence the requirement for paved parking lots. Megan stated that if the commission made a

recommendation to allow the delayed paving and the council approved it, it would become a condition in the recorded Development Plan agreement that the applicant will be required to enter into with the city.

Board Member Bryson also had comments regarding the landscaping plan, stating he would like to see the landscaping closer to Yellowstone Highway, be recognizing that the landscaping is required to be installed on the lot being developed.

There was general discussion about the lot lines and a shared access and utility easement shown on the plat. Board Member Bryson stated that the site plan shows vehicles on the access drive to the parking area will be crossing over the lot line a bit and he doesn't want to see any issues if there are ever two different owners of the parcels.

Shawn Gustafson, ECS Engineering approached the commission and stated that the easement shown on the plat is a shared access and general utility easement, with 10' on each side of the property line. Clarification was provided and Megan stated that the commission was worried about the access coming off Radio Rd and the east/west property line. There was general consensus from the commission that the applicants should record a separate shared access agreement for the two lots.

Chairman Gudger then asked if there were any other comments or questions from the commission. There were none. Chairman Gudger then made a motion to recommend approval of the development plan and recommend to city council to allow for a 5-year delay of paving the required parking area and only require paving of the areas highlighted in yellow on the exhibit drawn by the applicants at the time of building occupancy. His motion also included an additional planning consideration to require a shared access agreement along the east/west property line to ensure access to the new commercial building on Lot 3. Board Member Bryson seconded the motion. All voted aye, motion carried.

Chairman Gudger then opened the floor for public comment. Shawn Gustafson approached the commission and apologized for being late to the building. He stated that he was working on the final drainage plan for the Vinich Development Plan and that he would send it to Megan shortly. He also commented on the easement issue and stated he would provide information to staff on that as well.

With no other business, Chairman Gudger adjourned the meeting at 6:57pm.

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John Gudger, Chairman

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Attest: Sarah Osborn, City Clerk