



Special Meeting of the Planning and Historic Preservation Board Agenda

Tuesday, July 15, 2025 at 6:00 PM

706 NE Chokolka BLVD

CALL TO ORDER

INVOCATION AND PLEDGE OF ALLEGIANCE TO FLAG

ROLL CALL

CITIZEN'S FORUM

Public Comment (public comments limited to 2 minutes per speaker, please)

NEW BUSINESS

1. Concept Review - Micanopy Area Cooperative School

BOARD MEMBER COMMENTS

2. Troy Blakely (Seat 1)
3. Mike Davis (Seat 2)
4. Open Seat (Seat 3)
5. Stephen Elder (Seat 5)

CHAIR FRO WARREN (SEAT 4) REPORT

ADJOURN

PLEASE NOTE: PURSUANT TO SECTION 286.015, FLORIDA STATUTES, IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE COMMISSION WITH RESPECT TO ANY MATTER CONSIDERED DURING THIS MEETING, HE OR SHE WILL NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, A PERSON WITH DISABILITIES NEEDING ANY SPECIAL ACCOMODATIONS TO PARTICIPATE IN TOWN MEETINGS SHOULD CONTACT THE TOWN ADMINISTRATOR, 706 NE CHOLOKKA BLVD., MICANOPY, FLORIDA 32667-0137, TELEPHONE (352) 466-3121.

GENERAL DEVELOPMENT INFORMATION

- 1. PROJECT TITLE: MACS PRE-K BUILDING EXPANSION
- 2. PROJECT DESCRIPTION: THIS PROJECT INCLUDES THE WORK NECESSARY TO DESIGN AND PERMIT A 8,422 SQ. FT. BUILDING WITH NECESSARY STORMWATER AND UTILITIES.
- 3. PROPERTY ADDRESS: 803 NW SEMINARY AVE, MICANOPY, FL 32667
- 4. TAX PARCEL NO.: 16808-002-000 & 16520-067001
- 5. SEC/TOWN/RANGE: 27/ 11/ 20
- 6. ZONING: VACANT COMM.
- 7. FUTURE LAND USE: EMPLOYMENT CENTER
- 8. JURISDICTION: TOWN OF MICANOPY
- 9. CONTACT INFORMATION:
 - A. PROPERTY OWNER: MICANOPY AREA COOPERATIVE SCHOOL INC. CONTACT: BRENDA MAYNARD, DIRECTOR MICANOPY AREA CO-OPERATIVE SCHOOL 802 NW SEMINARY AVENUE MICANOPY, FL 32667 (353) 466-0990
 - B. ENGINEER: J.BROWN PROFESSIONAL GROUP INC. CONTACT: TIMOTHY J. BOEHLEIN, P.E. (352) 375-8999
 - C. SURVEYOR: J.BROWN PROFESSIONAL GROUP INC. CONTACT: TROY WRIGHT, P.S.M., (352) 375-8999

- 10. DEVELOPMENT DATA:
 - A. TOTAL SITE AREA ± 51,441 SF. ± 1.18 AC.
 - B. TOTAL BUILDING AREA ± 8,422 SF. ± 0.19 AC. = 16%
 - C. TOTAL IMPERVIOUS AREA ± 12,830 SF. ± 0.29 AC. = 25%
 - D. OPEN AREA ± 19,957 SF. ± 0.46 AC. = 38%
 - E. TOTAL STORMWATER AREA ± 10,876 SF. ± 0.25 AC. = 21%

- 12. BUILDING INFORMATION:
 - A. NO. OF STORIES: 1 STORY
 - B. BUILDING AREA: 8,422 SF.
 - C. SPRINKLED: YES

- 13. MINIMUM BUILDING SETBACKS:
 - A. FRONT/STREET 25 FT
 - B. REAR 50 FT
 - C. SIDE 50 FT

- 14. UTILITY INFORMATION:
 - A. WATER: SERVED BY CONNECTION TO EXISTING MICANOPY WATER UTILITY WATER MAIN.
 - B. WASTEWATER: SERVED BY CONNECTION TO A PROPOSED ON-SITE SEPTIC TANK.
 - C. ELECTRIC: EXISTING CLAY ELECTRIC COOPERATIVE UTILITIES.

15. THIS SITE AND BUILDING SHALL COMPLY WITH THE FLORIDA BUILDING CODE 8TH EDITION (2023).

16. THIS SITE IS NOT LOCATED IN A FEMA FLOOD ZONE.

17. THE SITE IS NOT LOCATED IN MICANOPY TOWN'S HISTORIC DISTRICT OVERLAY (H1-5).

18. THIS SITE AND BUILDING COMPLIES WITH THE STATE OF FLORIDA'S ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.

19. THE SITE PLAN SHOWS THE EXISTING TREES TO REMAIN. THE LANDSCAPE PLAN PROVIDES THE PROPOSED NEW PLANTINGS. THE TREES TO REMAIN HAVE BEEN PROVIDED WITH TREE BARRICADES. SEE DEMOLITION PLAN FOR DETAIL.

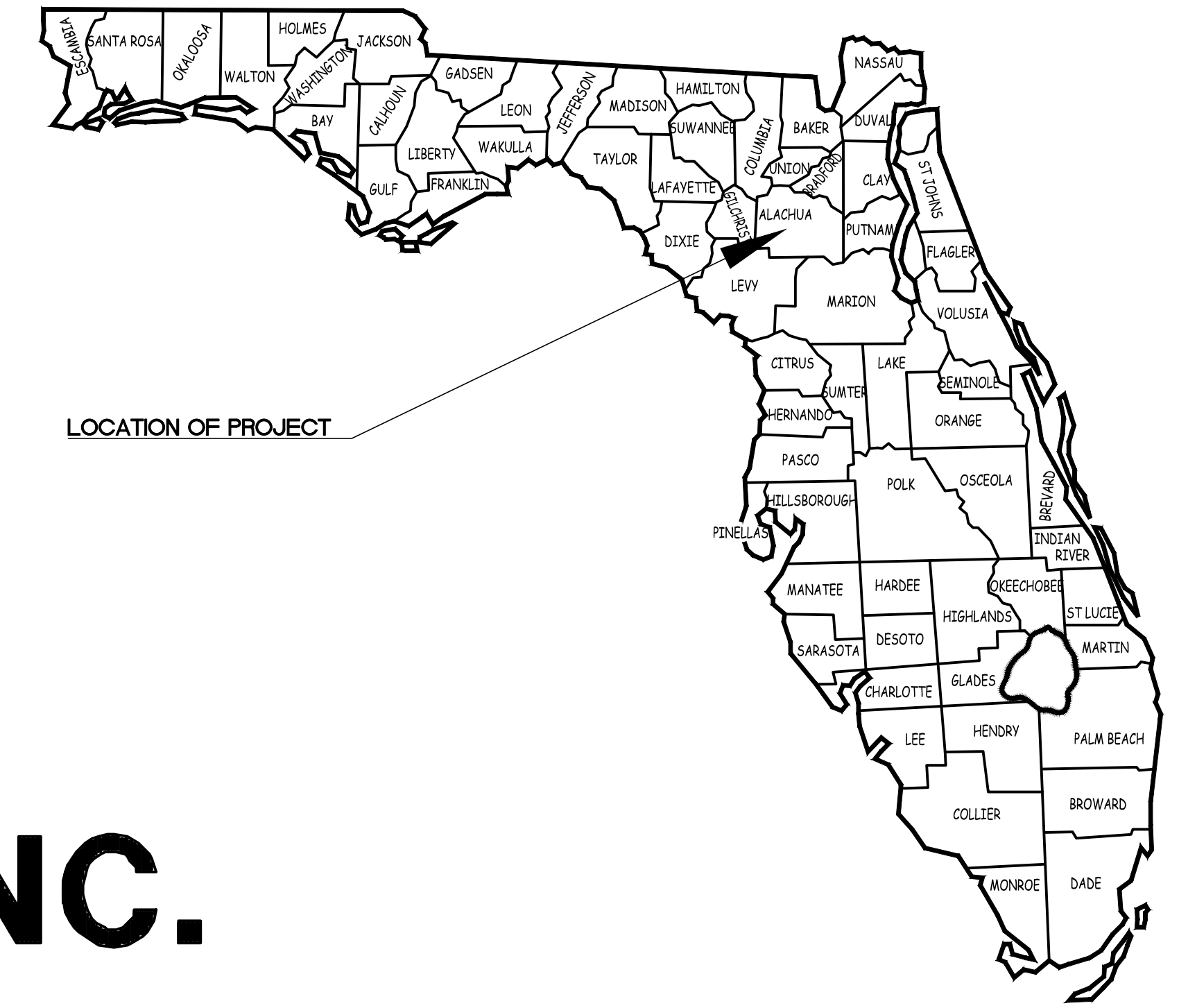
CONSTRUCTION PLANS

MACS PRE-K

BUILDING EXPANSION

FOR

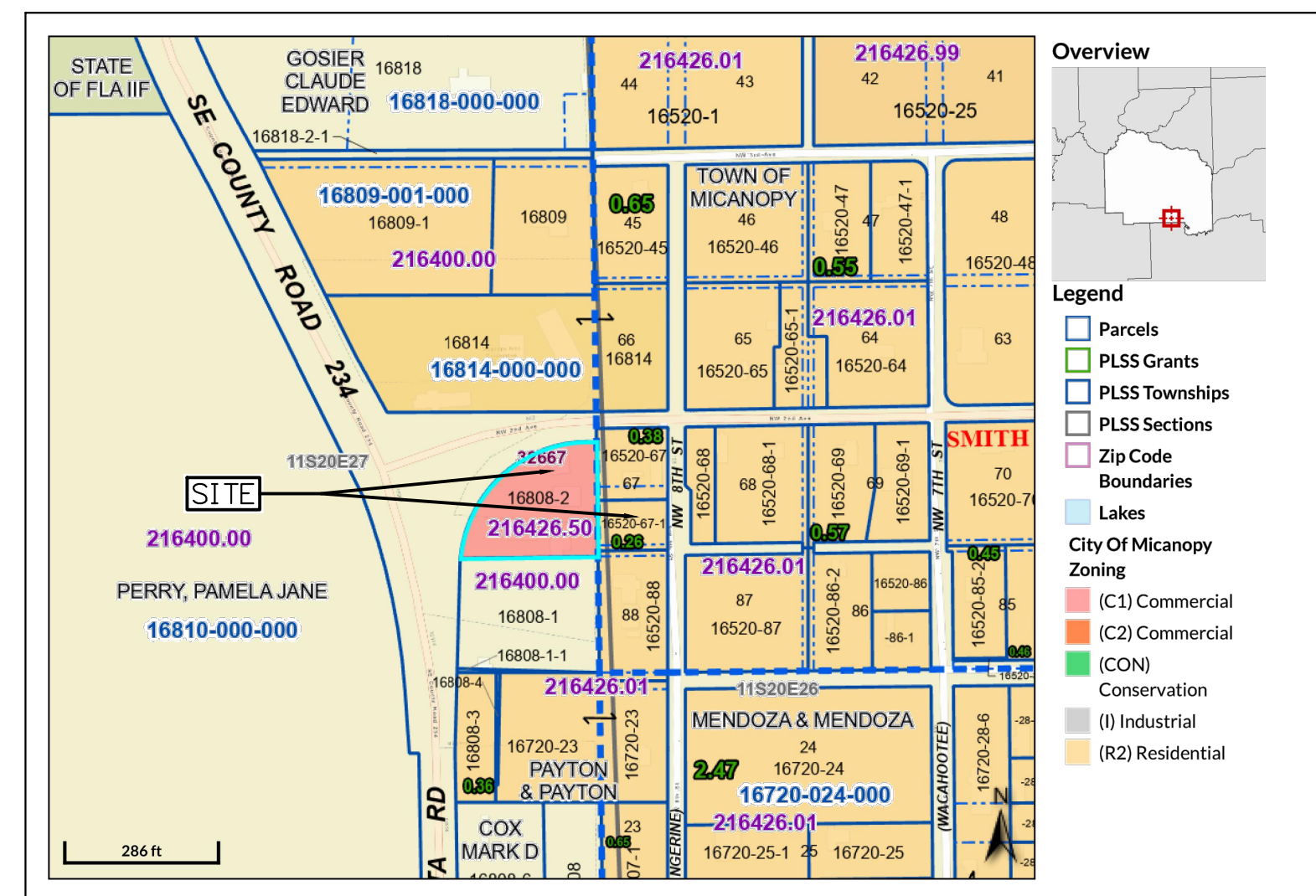
MICANOPY AREA COOPERATIVE SCHOOL INC.



LEGAL DESCRIPTION PER TITLE COMMITMENT:

PARCEL 1:
 A PARCEL OF LAND SITUATE, LYING AND BEING LOCATED IN SECTIONS 26 & 27, TOWNSHIP 11 SOUTH, RANGE 20 EAST, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT A 1/2" ROD & CAP STAMPED "L85075" LYING ON THE EAST BOUNDARY OF SECTION 27 & THE WEST BOUNDARY OF SECTION 26, ALSO MARKING THE NORTHWEST CORNER OF LOT 88 OF SMITH'S ADDITION TO THE TOWN OF MICANOPY AS RECORDED IN PLAT BOOK A, PAGE 31 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, AND RUN THENCE SOUTH 88 DEGREES 46 MINUTES 21 SECONDS WEST A DISTANCE OF 261.62 FEET TO A 5/8" ROD & CAP WITH NO IDENTIFICATION LYING ON THE SOUTHEASTERLY RIGHT-OF-WAY BOUNDARY OF COUNTY ROAD 234 AND MARKING A POINT OF CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ALONG SAID CURVE AND RIGHT-OF-WAY BOUNDARY WITH A RADIUS OF 254.94 FEET, THROUGH A CENTRAL ANGLE OF 79 DEGREES 21 MINUTES 14 SECONDS, FOR AN ARC LENGTH OF 353.09 FEET (THE CHORD OF SAID ARC BEING NORTH 49 DEGREES 17 MINUTES 45 SECONDS EAST 325.54 FEET) TO A 1/2" ROD WITH NO IDENTIFICATION; THENCE NORTH 86 DEGREES 57 MINUTES 34 SECONDS EAST A DISTANCE OF 10.80 FEET TO A 1/2" ROD WITH NO IDENTIFICATION LYING ON THE EAST BOUNDARY OF SECTION 27 & THE WEST BOUNDARY OF SECTION 26 AND THE AFORESAID PLAT; THENCE SOUTH 01 DEGREES 30 MINUTES 15 SECONDS EAST ALONG SAID WEST BOUNDARY A DISTANCE OF 107.14 FEET TO A SET 5/8" ROD & CAP STAMPED "JBPRO LB8031"; THENCE SOUTH 00 DEGREES 37 MINUTES 47 SECONDS EAST ALONG SAID BOUNDARIES A DISTANCE OF 89.79 FEET TO A 5/8" ROD & CAP STAMPED "L8921"; THENCE SOUTH 03 DEGREES 13 MINUTES 22 SECONDS WEST ALONG SAID BOUNDARIES A DISTANCE OF 10.44 FEET TO THE POINT OF BEGINNING, CONTAINING 0.95 ACRES, MORE OR LESS

PARCEL 2:
 A PARCEL OF LAND SITUATE, LYING AND BEING LOCATED IN SECTIONS 26 & 27, TOWNSHIP 11 SOUTH, RANGE 20 EAST, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT A 1/2" ROD & CAP STAMPED "L85075" LYING ON THE EAST BOUNDARY OF SECTION 27 & THE WEST BOUNDARY OF SECTION 26, ALSO MARKING THE NORTHWEST CORNER OF LOT 88 OF SMITH'S ADDITION TO THE TOWN OF MICANOPY AS RECORDED IN PLAT BOOK A, PAGE 31 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, AND RUN THENCE NORTH 03 DEGREES 13 MINUTES 22 SECONDS EAST ALONG SAID SECTION BOUNDARIES A DISTANCE OF 10.44 FEET TO A 5/8" ROD & CAP STAMPED "L8921" FOR THE POINT OF BEGINNING. FROM SAID POINT OF BEGINNING RUN THENCE ALONG SAID PLAT & SECTION BOUNDARIES NORTH 00 DEGREES 37 MINUTES 47 SECONDS EAST A DISTANCE OF 89.79 FEET TO A SET 5/8" ROD & CAP STAMPED "JBPRO LB8031"; THENCE LEAVING SAID BOUNDARIES RUN NORTH 88 DEGREES 58 MINUTES 55 SECONDS EAST A DISTANCE OF 112.43 FEET TO A SET 5/8" ROD & CAP STAMPED "L8921" FOR THE POINT OF BEGINNING. FROM SAID POINT OF BEGINNING RUN THENCE ALONG SAID PLAT & SECTION BOUNDARIES NORTH 00 DEGREES 37 MINUTES 47 SECONDS EAST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 90.50 FEET TO A 1/2" ROD & CAP STAMPED "GTY LB821"; THENCE LEAVING SAID RIGHT-OF-WAY RUN NORTH 89 DEGREES 08 MINUTES 12 SECONDS WEST ALONG THE SOUTH BOUNDARY OF SAID LOT A DISTANCE OF 111.444 FEET TO THE POINT OF BEGINNING, CONTAINING 0.23 ACRES, MORE OR LESS



LOCATION MAP SCALE: 1" = 300'

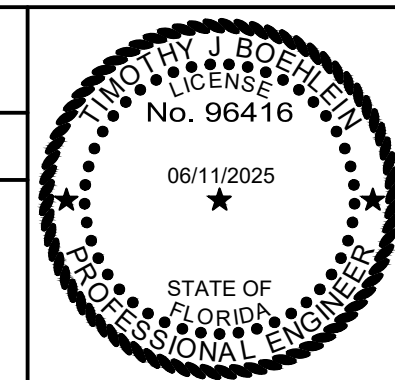
| MACS PRE-K BUILDING EXPANSION | |
|-------------------------------|---|
| SHEET INDEX | |
| SHEET NO. | TITLE |
| C0.00 | COVER SHEET |
| C0.01 | LEGEND, ABBREVIATIONS, & NOTES |
| C0.02 | STORMWATER POLLUTION PREVENTION PLAN |
| C1.00 | DEMOLITION PLAN |
| C1.01 | EROSION AND SEDIMENTATION CONTROL PLAN |
| C2.00 | DIMENSION PLAN |
| C3.00 - C3.02 | PAVING GRADING & DRAINAGE PLAN |
| C3.03 | BASIN DRAINAGE PLAN AND BORING PROFILES |
| C4.00 | UTILITY PLAN |
| C4.01 - C4.02 | UTILITY DETAILS & NOTES |
| C5.00 | DETAILS & NOTES |
| L001 - L002 | LANDSCAPE PLANS |
| S001 - S002 | BOUNDARY AND TOPOGRAPHIC SURVEY |

| REVISIONS | | | | |
|-----------|------|-------------|------|------|
| NO. | DATE | DESCRIPTION | DRWN | APPR |
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Digitally signed by Timothy J. Boehlein
 DN: cn=Timothy J. Boehlein, o=JBPro, ou=Engineering, email=timothy.boehlein@jbpro.com, c=US
 Date: 2025.06.11 15:25:00 -0400

ENGINEER OF RECORD: **TIMOTHY J. BOEHLEIN, P.E.**
 FLORIDA LICENSE NO. 96416

This item has been digitally signed and sealed by Timothy J. Boehlein, PE on the date adjacent to the seal. Signature must be verified on any electronic copies.



JBPro
 CIVIL ENGINEERING | LAND PLANNING
 SURVEYING | CONSTRUCTION SERVICES

3530 NW 43rd Street | Gainesville, Florida 32606
 4420 US-1 S, Suite 1 | St. Augustine, Florida 32086

Gainesville: (352) 375-8999 | St. Augustine: (904) 789-8999
 Toll Free: (844) Go-JBPro | E-mail: contact@jbpro.com

SHEET TITLE: **COVER SHEET**

CLIENT: MICANOPY AREA COOPERATIVE SCHOOL INC.
 MICANOPY, FL

PROJECT: MACS PRE-K BUILDING EXPANSION

DATE: **JUNE 2025**

PROJECT NO: **0802-24-001**

SHEET NO: **C0.00**

GENERAL CONSTRUCTION NOTES

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES WITHIN THE WORK LIMITS OF ALL IMPROVEMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES DURING CONSTRUCTION. IN THE EVENT THAT A UTILITY CONFLICT OCCURS, CONTRACTOR SHALL NOTIFY THE ENGINEER AND UTILITY PROVIDER TO COORDINATE REMEDIAL ACTION.
2. THE TOWN OF Micanopy SHALL BE NOTIFIED 24 HOURS IN ADVANCE FOR INSPECTION OF PERTINENT STAGES OF CONSTRUCTION WITHIN THEIR RESPECTIVE P/W/SUBGRADE PREPARATION, LIMEROCK PLACEMENT, INSPECTION OF THE SWEPT LIMEROCK BASE PRIOR TO THE PLACEMENT OF ASPHALT, AND OTHERS AS REQUIRED FOR APPROVAL.
3. IF UNDERDRAINS ARE NECESSARY, GEOTECHNICAL ENGINEER, SHALL DETERMINE THE EXACT LOCATION AND REQUIREMENTS. THE CONTRACTOR SHALL INSTALL UNDERDRAINS AS REQUIRED.
4. WHERE SUBSOIL EXCAVATION IS REQUIRED, THE LIMITS OF EXCAVATION SHALL BE A MINIMUM OF 24" BELOW THE LIMEROCK BASE. EXACT LOCATIONS OF SUBSOIL EXCAVATION SHALL BE AS DIRECTED BY THE TOWN OF Micanopy OR THE GEOTECHNICAL ENGINEER.
5. CONTRACTOR SHALL DISPOSE OF SUBSOIL EXCAVATED MATERIALS (UNSUITABLE FOR FILL) OFF SITE TO A PERMITTED LOCATION OR PER AN APPROVED DISPOSAL PLAN AND LOCATION SITE.
6. CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL FOREIGN DEBRIS AND MATERIAL OFFSITE. DISPOSAL METHODS AND LOCATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND REQUIREMENTS.
7. ALL PAVEMENT CUT/REPAIR WILL BE MADE THE FULL ROAD WIDTH AT LEAST 6 FT WIDE AND REQUIRES APPROVAL FOR CUT AND INSPECTION OF THE REPAIR BY THE TOWN OF Micanopy.
8. EXISTING TOPOGRAPHY INFORMATION DEPICTED IS BASED ON THE PROJECT TOPOGRAPHIC SURVEY CONDUCTED BY JBP Pro ON 12/19/2024. THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATION GRADES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT WILL AFFECT FINISH GRADE DESIGN FOR PROPER RUNOFF CONDITIONS PRIOR TO CONSTRUCTION. JBP Pro WILL ASSIST THE CONTRACTOR IN REVISING ANY GRADING DISCREPANCIES PRIOR TO CONSTRUCTION TO ASSURE PROPER GRADING AND RUNOFF CONDITIONS RESULT UPON COMPLETION OF CONSTRUCTION.
9. ALL STRUCTURES SHALL ADHERE TO THE 2023 FLORIDA BUILDING CODE(S), THE 2020 NATIONAL ELECTRIC CODE AND THE 2020 FLORIDA FIRE PREVENTION CODE, AS AMENDED.
10. ALL INTERSECTIONS OF PEDESTRIAN SIDEWALKS AND ROADWAYS SHALL COMPLY WITH THE 2020 FLORIDA ACCESSIBILITY CODE. DETECTABLE WARNINGS AND CURB RAMPS SHALL BE USED.

PAVING, GRADING AND DRAINAGE SPECIFICATIONS

- 1. ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88) AND BASED ON MULTIPLE GPS OBSERVATIONS REFERENCING THE FLORIDA DEPARTMENT OF TRANSPORTATION PERMANENT REFERENCE NETWORK (FPRN).
2. STATE PLANE COORDINATES ARE REFERENCED TO THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT, FLORIDA NORTH COORDINATE ZONE BASED ON MULTIPLE GPS OBSERVATIONS REFERENCING THE FLORIDA DEPARTMENT OF TRANSPORTATION PERMANENT REFERENCE NETWORK (FPRN).
3. ALL DRAINAGE CONSTRUCTION, INCLUDING MATERIALS, CONSTRUCTION TECHNIQUES, AND TECHNICAL STANDARDS, SHALL BE IN ACCORDANCE WITH THE FDOT FY 2023-26 STANDARD PLANS.
4. ALL AREAS OF NEW CONSTRUCTION SHALL BE CLEANED AND GRUBBED. TOP SOIL REMAINING ONSITE MAY BE STOCKPILED FOR FINE GRADING IN LANDSCAPED AREAS, IF SUITABLE. THE CONTRACTOR SHALL FURNISH ALL FILL REQUIRED AND DISPOSE OF ALL EXCESS OR UNSUITABLE MATERIAL OFFSITE IN ACCORDANCE WITH ALL REGULATORY REQUIREMENTS. TREES TO REMAIN SHALL BE PROTECTED PRIOR TO STARTING CONSTRUCTION AND SHALL BE PROTECTED THROUGHOUT SITE CONSTRUCTION.
5. ALL PROPOSED UNDERGROUND UTILITY INSTALLATIONS WITHIN THE LIMITS OF ROADWAY SUBGRADE, INCLUDING STORMWATER, POTABLE WATER, WASTEWATER, GAS, ELECTRICAL CONDUIT, AND SLEEVES FOR FUTURE UTILITIES, SHALL BE INSTALLED PRIOR TO STABILIZATION OF THE ROADWAY SUBGRADE.
6. ALL NEW ASPHALT PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
A. EARTHWORK: FILL MATERIALS SHALL CONFORM TO AASHTO SOIL GROUPS A-1, A-2, A-3, OR A-4 AND SHALL BE PLACED IN 6" - 12" LOOSE LIFTS AND COMPACTED TO 95% DENSITY USING MODIFIED PROCTOR METHOD (AASHTO T-180).
B. SUBSOIL EXCAVATION: WHERE SUBSOIL EXCAVATION IS REQUIRED, UNSUITABLE MATERIALS SHALL BE REMOVED TO A DEPTH OF 24" BELOW THE LIMEROCK BASE AND BACKFILLED WITH CLEAN FILL.
C. STABILIZED SUBGRADE: ALL STABILIZED MATERIAL SHALL CONFORM TO SECTION 914 AND PLACED ACCORDING TO SECTION 160 IN ONE 12" MINIMUM COMPACTED LIFT. SUBGRADE SHALL BE STABILIZED TO A MINIMUM LBR VALUE OF 40 PER DESIGN SECTION.
D. BASE COURSE: ALL MATERIAL SHALL BE LIMEROCK CONFORMING TO SECTION 911 AND PLACED ACCORDING TO SECTION 200 IN A SINGLE OR TWO EQUAL COMPACTED LIFTS (PER DESIGN SECTION). BASE MATERIAL SHALL BE COMPACTED TO 98% DENSITY BY MODIFIED PROCTOR METHOD (AASHTO T-180). THE PRIME COAT SHALL CONFORM TO SECTION 300.
E. ASPHALTIC CONCRETE: ALL ASPHALTIC CONCRETE MATERIAL SHALL BE TYPE SP STRUCTURAL COURSE (TYPE & THICKNESS PER DESIGN SECTION) AND SHALL CONFORM TO SECTION 334. ALL ASPHALTIC CONCRETE CONSTRUCTION SHALL CONFORM TO SECTION 330.
7. ALL ASPHALTIC CONCRETE MIX DESIGN AND PORTLAND CONCRETE CEMENT MIX DESIGN SHALL BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION. ASPHALT MIX DESIGN MUST BE APPROVED BY THE TOWN OF Micanopy. DENSITY REPORTS AND ASPHALT MIX DESIGN REPORT SHALL BE SUBMITTED TO THE TOWN OF Micanopy FOR APPROVAL PRIOR TO PAVING BEING PERFORMED.
8. ALL CONCRETE USED FOR CONSTRUCTION OF DRAINAGE STRUCTURES, SIDEWALKS, SPILLWAYS, ETC. SHALL BE CLASS I CONFORMING TO SECTION 347.
9. REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO SECTION 449-4.
10. POLYPROPYLENE PIPE (PP) SHALL CONFORM TO SECTION 449.
11. ALL TESTING REPORTS AND ASPHALT DESIGN REPORTS MUST BE SUBMITTED FOR APPROVAL BY THE TOWN OF Micanopy PRIOR TO ANY PAVEMENT INSTALLATION.
12. POST INSTALLATION VIDEO INSPECTIONS SHALL BE REQUIRED FOR ALL PIPE IN THE CITY RIGHT-OF-WAY AND THE COST SHALL BE BORNE BY THE CONTRACTOR.

STORMWATER MAINTENANCE PLAN

- 1. MAINTENANCE RESPONSIBILITY: Micanopy AREA COOPERATIVE SCHOOL INC. SHALL BE THE ENTITY RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER CONVEYANCE SYSTEM WITHIN THE OWNER'S PROPERTY.
2. MAINTENANCE PLAN NOTES:
A. TRASH AND DEBRIS SHALL BE REMOVED FROM STORMWATER CONVEYANCE SYSTEM AS NEEDED.
B. STABILIZATION AND RESTORATION OF ERODED AREAS SHALL BE PERFORMED AS NEEDED.
C. GRASSED AREAS SHALL BE REGULARLY MOWED.

REQUIRED SUBMITTALS

- 1. PRIOR TO CONSTRUCTION INSTALLATION OF SPECIFIC WORK SCOPE ITEMS THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SUBMITTAL INFORMATION TO THE EOR FOR REVIEW AND APPROVAL. THESE SUBMITTALS SHALL INCLUDE SOURCE PROVIDER, MANUFACTURER LITERATURE, CUT SHEETS, DIMENSIONED DRAWINGS, FABRICATION DRAWINGS, SKETCHES, DETAILS AND ANY OTHER INFORMATION NECESSARY FOR THE EOR TO REVIEW AND APPROVE AS TO COMPLIANCE WITH THE DESIGN DRAWINGS AND SPECIFICATIONS.
2. THE FOLLOWING SCOPE ITEMS SHALL REQUIRE SUBMITTALS:
A. STORM SEWER STRUCTURES, PIPING AND APPURTENANCES
B. POTABLE WATER SYSTEM MATERIALS, FITTINGS AND APPURTENANCES
C. WASTEWATER PIPING, FITTINGS, STRUCTURES AND APPURTENANCES
D. EROSION CONTROL MATERIALS AND DEVICES
E. ASPHALT MIX DESIGN(S)
F. CONCRETE MIX DESIGN(S)
G. EARTHWORK SOIL IMPORT SOURCE
H. GRASSING / SOD TYPE AND SOURCE
3. MATERIALS SHALL NOT BE DELIVERED ONSITE OR INSTALLED UNTIL SUBMITTAL APPROVAL IS PROVIDED BY THE EOR OR EOR'S REPRESENTATIVE.
4. CONTRACTOR IS RESPONSIBLE FOR ANY COST INCURRED TO REVISE ANY WORK COMPLETED PRIOR TO SUBMITTAL APPROVAL. THE OWNER OR EOR ARE NOT RESPONSIBLE FOR COSTS INCURRED IF ANY MATERIALS ARE PURCHASED, DELIVERED OR INSTALLED PRIOR TO SUBMITTAL REVIEW AND APPROVAL.
5. THE CONTRACTOR SHALL PROVIDE A LIST OF SUB-CONTRACTORS THAT WILL BE PERFORMING ANY PHASES OF WORK ON THE PROJECT. THE LIST SHALL INCLUDE NAME OF COMPANY, ADDRESS, PHONE NUMBERS, AND EMAIL ADDRESSES OF INDIVIDUALS RESPONSIBLE FOR THE SUB-CONSULTANT WORK EFFORT AND THE CONTACT INFORMATION FOR THE INDIVIDUALS IN RESPONSIBLE CHARGE OF PERFORMING THE WORK IN THE FIELD.

GEOTECHNICAL TESTING GENERAL NOTE

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING GEOTECHNICAL TESTING FOR EACH SPECIFIED DESIGN COURSE, SUBGRADE, BASE COURSE, AND PAVEMENT. TESTING REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF Micanopy PUBLIC SERVICES CONSTRUCTION AND INSPECTION STANDARDS AND FDOT CONSTRUCTION AND INSPECTION STANDARDS. TESTING RESULTS SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER FOR REVIEW AND APPROVAL OF CONFORMANCE TO DESIGN SPECIFICATIONS PRIOR TO CONSTRUCTION OF THE SUBSEQUENT COURSE.
2. IN THE EVENT THE CONTRACTOR PROCEEDS TO THE NEXT COURSE PRIOR TO SUBMITTING AND RECEIVING APPROVAL OF THE TEST RESULTS, THE CONTRACTOR SHALL BE REQUIRED TO REMOVE AND RECONSTRUCT ANY WORK NECESSARY TO BRING ALL DESIGN COURSES INTO COMPLIANCE WITH THE DESIGN SECTION SPECIFICATIONS.
3. TESTING REPORTS WITH GEOTECHNICAL TESTING RESULTS SHALL DENOTE THE TESTING LOCATIONS.

NPDES EROSION AND SEDIMENTATION CONTROL PERMITTING NOTES

- 1. THE CONTRACTOR IS REQUIRED TO FILE THE FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION (FDEP) NOTICE OF INTENT (NOI) TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (CGP) (RULE 62-621.300(4), F.A.C.). CONSTRUCTION ACTIVITY SHALL NOT COMMENCE PRIOR TO OBTAINING AN ACKNOWLEDGEMENT LETTER FROM FDEP VERIFYING THE NOI IS COMPLETE. THE PROJECT IS COVERED BY THE GENERIC PERMIT, AND THE PROJECT IDENTIFICATION NO. IS ESTABLISHED. CONTRACTOR SHALL PROVIDE THE EOR AND PROPERTY OWNER WITH A COPY OF THE FDEP ACKNOWLEDGEMENT LETTER VERIFYING COVERAGE.
2. THE CONTRACTOR SHALL ABIDE BY THE REQUIREMENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND CGP AT ALL TIMES THROUGHOUT CONSTRUCTION, AND UTILIZE ALL APPROPRIATE BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED TO PREVENT EROSION AND SEDIMENTATION DISCHARGE OFFSITE DURING CONSTRUCTION.
3. SEDIMENTATION AND EROSION CONTROL BMP'S SHALL BE IN ACCORDANCE WITH THE STATE OF FLORIDA EROSION AND SEDIMENTATION CONTROL DESIGNER AND REVIEWER MANUAL, DATED JULY 2013, OR LATEST UPDATE. THE CONTRACTOR IS RESPONSIBLE TO UTILIZE ALL BMP'S, AS NECESSARY THROUGHOUT CONSTRUCTION, AND MAY UTILIZE MULTIPLE BMP'S OR OTHER MEANS AND METHODS DEEMED APPROPRIATE TO CONTROL EROSION AND SEDIMENTATION DISCHARGE.
4. THE CONTRACTOR SHALL UTILIZED A STATE OF FLORIDA CERTIFIED EROSION & SEDIMENTATION CONTROL (ESC) INSPECTOR DURING CONSTRUCTION TO ABIDE BY THE TERMS OF THE NOI PERMIT COVERAGE. AT A MINIMUM THE CERTIFIED INSPECTOR SHALL INSPECT ALL DISCHARGE POINTS, DISTURBED AREAS, MATERIAL STORAGE AREAS, STRUCTURAL CONTROLS AND CONSTRUCTION ENTRANCES/EXITS AT LEAST ONCE EVERY SEVEN (7) DAYS AND AFTER EVERY 1/2 INCH OR GREATER STORM EVENT. MAJOR OBSERVATIONS AND INCIDENTS OF NON-COMPLIANCE SHOULD BE RECORDED IN THE INSPECTION REPORT, AS WELL AS CORRECTIVE ACTIONS AND MAINTENANCE, UNLESS ADVISED OTHERWISE, MAINTENANCE MUST OCCUR WITHIN SEVEN (7) CALENDAR DAYS OF THE INSPECTION. THESE INSPECTIONS MUST BE DOCUMENTED AND SIGNED BY A QUALIFIED INSPECTOR AS DEFINED BY THE CGP. THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE SWPPP AND THE CGP WHEN THE REPORTS DO NOT IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.
5. UPON SATISFACTORY COMPLETION OF THE PROJECT CONSTRUCTION AND SITE STABILIZATION, THE CONTRACTOR SHALL FILE THE NPDES STORMWATER NOTICE OF TERMINATION (NOT) (RULE 62-621.300(6), F.A.C.) WITH FDEP. THE PERMIT COVERAGE IS DEEMED COMPLETE WHEN ALL SOIL DISTURBING CONSTRUCTION ACTIVITIES ARE COMPLETE AND STABILIZATION OF ALL DISTURBED OPEN AREAS HAVE REACHED AT LEAST 70% VEGETATIVE COVER OR OTHER PERMANENT STABILIZATION IS IN PLACE. A COPY OF THE NOT SHALL BE PROVIDED TO THE EOR AND PROPERTY OWNER.

STANDARD ABBREVIATIONS

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Includes terms like ADJ (ADJACENT), ALUM (ALUMINUM), APT (APARTMENT), ASPH (ASPHALT), B&J (BORE & JACK), BC (BACK OF CURB), BCCMP (BITUMINOUS COATED CORRUGATED METAL PIPE), BLDG (BUILDING), BM (BENCHMARK), BOP (BEGINNING OF PROFILE), BSL (BUILDING SETBACK LINE), C&G (CURB & GUTTER), CI (CURVE ONE), CATV (CABLE TELEVISION), CET (CURB END TAPER), CF (CUBIC FEET), CI (CAST IRON), CIP (CAST-IN-PLACE), CL (CENTER LINE), CLF (CHAIN LINK FENCE), CMP (CORRUGATED METAL PIPE), CMA (CORRUGATED METAL PIPE ARCHED), CMU (CONCRETE MASONRY UNIT), CO (CLEAN OUT), COMM (COMMUNICATIONS), CONC (CONCRETE), CPE (CORRUGATED POLYETHYLENE PIPE), CY (CUBIC YARD), PVM (PAVEMENT), DBI (DITCH BOTTOM INLET), DCBP (DOUBLE CHECK BACKFLOW PREVENTER), DEG (DEGREES), DHWL (DESIGN HIGH WATER LEVEL), DI (DUCTILE IRON), DIA (DIAMETER), DIM (DIMENSION), DIP (DUCTILE IRON PIPE), E (EAST), E/M (EASEMENT), EL (ELEVATION), ELEC (ELECTRIC), EOP (END OF PROFILE), EP (EDGE OF PAVEMENT), ERCP (ELLIPTICAL REINFORCED CONCRETE PIPE), EX (EXISTING), FC (FACE OF CURB), FDC (FIRE DEPARTMENT CONNECTION), FDEP (FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION), FDOT (FLORIDA DEPARTMENT OF TRANSPORTATION), FF (FINISH FLOOR), FG (FINISH GRADE), FH (FIRE HYDRANT), FL (FIRE LINE), FLL (FLOW LINE), FM (FORCE MAIN), FO (FIBER OPTIC), FP (FLOOD PLAIN), FT (FEET), FUT (FUTURE), GALV (GALVANIZED), GRU (GAINESVILLE REGIONAL UTILITIES), GV (GATE VALVE), HC (HANDICAP), HORIZ (HORIZONTAL), HP (HIGH-PERFORMANCE POLYPROPYLENE), HR (HOUR), INV (INVERT), IRR (IRRIGATION), KO (KNOCK-OUT), LF (LINEAR FEET), LI (LINE ONE), LAT (LATITUDE), LBR (LIMEROCK BEARING RATIO), LONG (LONGITUDE), LTG (LIGHT), LP (LOW POINT), LT (LEFT), MAINT (MAINTENANCE), MAX (MAXIMUM), MERS (MITERED END SECTION), MH (MANHOLE), MIN (MINIMUM), MO (MONTH), N (NORTH), N/A (NOT APPLICABLE), NE (NORTH EAST), NG (NATURAL GRADE), NIC (NOT IN CONTRACT), NO (NUMBER), NTS (NOT TO SCALE), NW (NORTH WEST), OC (ON CENTER), PCPE (PERFORATED CORRUGATED POLYETHYLENE PIPE), PE (POLYETHYLENE PIPE), POB (POINT OF BEGINNING), PP (POLYETHYLENE PIPE), POE (POINT OF ENDING), PL (PROPERTY LINE), PRVT (PRIVATE), PRI (PRIMARY), PSI (POUNDS PER SQUARE INCH), PT (PRESSURE TREATED (NON ARSENIC)), PUD (PLANNED URBAN DEVELOPMENT), PVI (POINT OF VERTICAL INTERSECTION), PVC (POLYVINYL CHLORIDE), PVM (PAVEMENT), P&P (PLAN & PROFILE), R/W (RIGHT OF WAY), R1' (ONE FOOT RADIUS), RB (DESIGN HIGH WATER LEVEL), RCP (DUCTILE IRON), REF (REFERENCE), RPBFP (REDUCED PRESSURE BACKFLOW PREVENTER), REQ'D (REQUIRED), RT (RIGHT), RW (RESILIENT WEDGE), S (SOUTH), S/W (SIDEWALK), SE (SOUTH EAST), SEC (SECONDARY), SF (SQUARE FEET), SO (SWITCH GEAR), SI (SURFACE INLET), SPA (SPACE), SRWMD (SUWANNEE RIVER WATER MANAGEMENT DISTRICT), SPT (STANDARD PENETRATION TEST), SS (SANITARY SEWER), SSL (STAINLESS STEEL), ST (STORM), ST (STREET), STA (STATION), STD (STANDARD), STL (STEEL), SW (SOUTH WEST), SY (SQUARE YARD), TBC (TRAFFIC BEARING COVER), TBM (TEMPORARY BENCHMARK), TEL (TELEPHONE), TMR (TRANSFORMER), TV (TELEVISION), TW (TOP OF WALL), TYP (TYPICAL), UD (UNDER DRAIN), UTIL (UTILITIES), VCP (VITRIFIED CLAY PIPE), VEH (VEHICLE), W (WEST), W/ (WITH), W/W (WATER/WASTEWATER), WM (WATER MAIN), WS (WATER SERVICE), WW (WASTEWATER), YR (YEAR).

LEGEND

Legend table with 2 columns: Symbol, Description. Includes symbols for EST (EXISTING STORM SEWER LINE), EWW (EXISTING SANITARY SEWER LINE), EGAS (EXISTING GAS SERVICE LINE), ECATV (EXISTING CATV & TELEPHONE LINE), EUE (EXISTING UNDERGROUND ELECTRIC LINE), EWM (EXISTING WATER MAIN), 76 (EXISTING CONTOUR LINE), +89.8 (NATURAL GROUND SPOT ELEVATION), 9 LA (2060) (EXISTING TREE TO REMAIN), 7 LA (2221) (EXISTING TREE TO BE REMOVED), PROPOSED ASPHALT PAVEMENT, PROPOSED CONC PAVEMENT/SIDEWALK, PROPOSED FINISH ELEVATION CONTOUR, PROPOSED FINISH SPOT ELEVATION, PROPOSED DIRECTIONAL FLOW ARROW, DRAINAGE AREA DIVIDE, PROPOSED SILT FENCE, PROPOSED TREE BARRICADE FENCE, PROPOSED CENTERLINE, PROPOSED STORM SEWER LINE, PROPOSED WATER MAIN, PROPOSED PRIMARY ELECTRIC SERVICE CONDUIT, PROPOSED SECONDARY ELECTRIC SERVICE CONDUIT, PROPOSED GAS MAIN, PROPOSED CATV & TELEPHONE SERVICE, PROPOSED CATV & TELEPHONE SERVICE, PROPOSED WASTEWATER, PROPOSED SANITARY SEWER FORCE MAIN, PROPOSED PUE, PROPOSED DRAINAGE SWALE, RIGHT-OF-WAY, PROPOSED PVC SANITARY SEWER SERVICE LATERAL WITH CLEANOUT, GRAVEL FILTER BAGS INLET PROTECTION, FILTER CLOTH INLET PROTECTION.

Table with 3 columns: NO, DATE, DESCRIPTION. Includes a section for REVISIONS and a table for ENGINEER OF RECORD (TIMOTHY J. BOEHLEIN, P.E. FLORIDA LICENSE NO. 96416).

Professional Engineer Seal for Timothy J. Boehlein, License No. 96416, State of Florida, Professional Engineer, dated 06/11/2025.

JBP Pro CIVIL ENGINEERING | LAND PLANNING SURVEYING | CONSTRUCTION SERVICES

3530 NW 43rd Street | Gainesville, Florida 32606 4420 US-1 S, Suite 1 | St. Augustine, Florida 32086 Gainesville: (352) 375-8999 | St. Augustine: (904) 789-8999 Toll Free: (844) Go-JBPro | E-mail: contact@jbpro.com

LEGEND ABBREVIATIONS AND NOTES CLIENT: Micanopy AREA COOPERATIVE SCHOOL INC. PROJECT: MACS PRE-K BUILDING EXPANSION

DATE: JUNE 2025 PROJECT NO: 0802-24-001 SHEET NO: C0.01

STORMWATER POLLUTION PREVENTION PLAN

A. PROJECT NAME AND LOCATION

PROJECT NAME: MACS PRE-K BUILDING EXPANSION
ADDRESS: 803 NW SEMINARY AVE, MICANOPY, FL 32667
SECTION: 27
TOWNSHIP: 11
RANGE: 20
COUNTY: ALACHUA COUNTY
LATITUDE: 29.504082
LONGITUDE: -82.289789

B. SITE MAP

THE SITE MAP IS DEPICTED ON SHEET C2.00.

C. NATURE OF THE CONSTRUCTION ACTIVITY

THE PROJECT PROPOSES A 8,422 SQ. FT. BUILDING THAT WILL BE ROUTED THROUGH A STORM SYSTEM TO A PROPOSED DETENTION POND.

D. SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES

- 1. INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES AND IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL PLAN.
2. EXCAVATION OF STORMWATER MANAGEMENT BASIN IMPROVEMENTS. STABILIZE BASIN SLOPES.
3. CLEARING AND GRUBBING OF PROPOSED ROAD RIGHT-OF-WAY AND UTILITY EASEMENTS AND BUILDING PAD AREAS.
4. SITE GRADING.
5. INSTALLATION OF STORM SEWER, SANITARY SEWER AND UTILITIES.
6. ROAD AREA SUBGRADE.
7. CONSTRUCTION OF CURB & GUTTER.
8. ROAD AREA BASE.
9. FINISHED GRADING OF LOT BUILDING PADS, LOT GRADING, AND STABILIZATION OF THE SITE.
10. INSTALLATION OF SIDEWALKS.
11. FINAL GRASSING AND LANDSCAPING.
12. CLEANING SEDIMENT FROM STORM SEWER SYSTEM AND BASIN OUTFALL.

E. TOTAL AREA OF THE PROJECT SITE: 1.18 ACRES

F. TOTAL AREA OF THE SITE TO BE DISTURBED: 1.18 ACRES

G. SOIL TYPES AND WATER TABLE

- 1. SOILS ARE SANDY HYDROLOGIC SOIL GROUP A.
2. THE SEASONAL HIGH WATER TABLE IS APPROXIMATELY 3.5± BELOW THE SURFACE.

H. LOCATION AND DRAINAGE AREA FOR EACH DISCHARGE POINT

Table with 4 columns: STORMWATER BASIN NO., DRAINAGE AREA, LOCATION OF DISCHARGE POINT, RECEIVING WATERS. Row 1: BASIN 1, 1.3200, EXISTING SWALE ON SOUTHWEST OF SITE, LEVY LAKE.

I. CONTROLS

- 1. PRIOR TO SOIL DISTURBING ACTIVITIES THE CONTRACTOR SHALL INSTALL THE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS SHOWN ON THE SEDIMENTATION AND EROSION CONTROL PLAN.
2. THE CONTRACTOR SHALL CONTROL AND RESTRICT SITE ACCESS. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MATERIALS AT THE ACCESS POINT, AS REQUIRED, TO PREVENT MIGRATION OF ERODABLE MATERIALS OFFSITE, EITHER BY VEHICLE, WIND OR STORM WATER TRANSPORT.
3. THE CONTRACTOR SHALL CONSTRUCT, INSTALL AND STABILIZE STORM WATER BASINS. SITE GRADING SHALL DIRECT STORM WATER RUNOFF TO THESE FACILITIES DURING CONSTRUCTION AND PRIOR TO DISCHARGE FROM THE PROJECT SITE.
4. UPON INSTALLATION, THE CONTRACTOR SHALL PROTECT THE STORM AND SANITARY SEWER SYSTEMS WITH HAYBALES AND/OR FILTER FABRIC TO PREVENT DEBRIS AND SEDIMENTS FROM ENTERING THESE SYSTEMS.
5. THE CONTRACTOR SHALL UTILIZE TEMPORARY CONTROLS SUCH AS SEEDING, MULCHING, GEOTEXILES, WATERING, SOD STABILIZATION OR OTHER MEANS TO PREVENT EROSION OF EXPOSED SOILS FROM WIND, WATER OR RAIN.

J. CONTROLS TO DIVERT STORMWATER FLOW DURING CONSTRUCTION

- 1. THE CONTRACTOR SHALL TAKE MEASURES TO INSURE STORM WATER RUNOFF DOES NOT LEAVE THE PROJECT SITE WITHOUT FIRST PASSING THROUGH A SEDIMENT BASIN TO ALLOW SETTLING OF SUSPENDED SOLIDS IN THE STORM WATER PRIOR TO DISCHARGE FROM THE PROJECT SITE.
2. THE CONTRACTOR SHALL INSTALL SILT FENCING AS SHOWN ON THE SEDIMENTATION AND EROSION CONTROL PLAN.
3. THE CONTRACTOR SHALL CONSTRUCT, INSTALL AND STABILIZE STORM WATER BASINS. SITE GRADING SHALL DIRECT STORM WATER RUNOFF TO THESE FACILITIES DURING CONSTRUCTION AND PRIOR TO DISCHARGE FROM THE PROJECT SITE.
4. THE CONTRACTOR SHALL USE SILT FENCING, TEMPORARY SWALES, EARTHEN DIKES, CHECK DAMS OR OTHER MEANS TO DIRECT STORM WATER RUNOFF TO TEMPORARY SETTLING BASINS OR STORM WATER BASINS DURING CONSTRUCTION.

K. TEMPORARY SEDIMENT BASINS

- 1. THE CONTRACTOR SHALL CONSTRUCT, INSTALL AND STABILIZE STORM WATER BASINS OR SUMP OUTFALLS. THE CONTRACTOR SHALL USE THESE FACILITIES AS TEMPORARY SEDIMENT BASINS DURING THE SITE CONSTRUCTION PHASE. SITE GRADING SHALL DIRECT STORM WATER RUNOFF TO THESE FACILITIES DURING CONSTRUCTION AND PRIOR TO DISCHARGE FROM THE PROJECT SITE.
2. THE CONTRACTOR SHALL CLEAN STORM WATER BASINS OF SILT AND SEDIMENT DEPOSITS AT THE END OF CONSTRUCTION AND DISPOSE OF THE MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.

L. PERMANENT STORM WATER MANAGEMENT CONTROLS

- 1. THE COMPLETED PROJECT HAS ONE (1) PERMANENT STORMWATER MANAGEMENT FACILITY. ALL STORMWATER MANAGEMENT FACILITIES SHALL BE PERMITTED AND APPROVED BY THE TOWN OF MICANOPY AND THE SJRWMD.
2. THE COMPLETED PROJECT WILL INCORPORATE AND MAINTAIN PERMANENT GRASSING, LANDSCAPING AND/OR GROUND COVERS TO PROTECT SITE SOILS FROM EROSION AND TRANSPORT.

M. CONTROLS FOR SPECIAL POLLUTANTS

- 1. WASTE DISPOSAL: WASTE CONSTRUCTION MATERIALS, DEBRIS AND GARBAGE WILL BE PLACED IN APPROPRIATE CONTAINERS. THE CONTRACTOR SHALL DISPOSE OF THESE MATERIALS IN AN APPROPRIATE MANNER AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. NO WASTE MATERIALS SHALL BE BURIED ON SITE.
2. OFFSITE VEHICLE TRACKING: THE CONTRACTOR SHALL CONTROL AND RESTRICT SITE ACCESS. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MATERIALS AT THE VEHICLE ACCESS POINT, AS REQUIRED, TO PREVENT MIGRATION OF ERODABLE MATERIALS OFFSITE, EITHER BY VEHICLE, WIND OR STORM WATER TRANSPORT.
3. FERTILIZERS, HERBICIDES AND PESTICIDES: FLORIDA FRIENDLY FERTILIZERS AND PESTICIDES WILL BE USED AT A MINIMUM AND IN ACCORDANCE WITH THE MANUFACTURER'S SUGGESTED APPLICATION RATES. THE CONTRACTOR SHALL NOT STORE THESE ITEMS ON SITE.
4. TOXIC SUBSTANCES: THE CONTRACTOR SHALL NOT STORE FUELS, PAINT, CHEMICALS OR OTHER MATERIALS THAT ARE CONSIDERED TO BE TOXIC ON SITE. SHOULD THE CONTRACTOR DESIRE TO STORE SUCH MATERIALS ON SITE, THE CONTRACTOR SHALL PREPARE AND SUBMIT A WRITTEN PLAN TO ADDRESS STORAGE, SPILL PREVENTION AND CLEANUP PRIOR TO STORING THE MATERIALS ON SITE.
5. OTHER: PORT-O-LETS OR OTHER TEMPORARY SANITATION FACILITIES SHALL BE LOCATED AWAY FROM THE INLET POINTS TO THE STORM SEWER SYSTEM AND AWAY FROM THE STORM WATER BASINS. THE CONTRACTOR SHALL NOT ALLOW VEHICLE MAINTENANCE ON SITE.

N. MAINTENANCE PLAN

- 1. THE CONTRACTOR SHALL MAINTAIN PERMANENT AND TEMPORARY SEDIMENT AND EROSION CONTROL FEATURES IN ACCORDANCE WITH THE PLANS AND TECHNICAL SPECIFICATIONS.
2. SILT FENCING SHALL BE INSPECTED WEEKLY BY THE CONTRACTOR AND ANY NECESSARY REPAIRS TO SHALL BE MADE IMMEDIATELY. THE CONTRACTOR SHALL REMOVE ACCUMULATED SEDIMENT FROM THE SILT FENCING WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE.
3. THE CONTRACTOR SHALL MAINTAIN THE SITE VEHICULAR ACCESS POINT TO PREVENT TO PREVENT MIGRATION OF ERODABLE MATERIALS OFFSITE, EITHER BY VEHICLE, WIND OR STORM WATER TRANSPORT.
4. THE CONTRACTOR SHALL INSPECT INLETS, MANHOLES AND OUTFALLS IMMEDIATELY AFTER EACH RAINFALL EVENT AND REPAIR THE CONTROLS NECESSARY TO PREVENT SILT AND SEDIMENTS FROM ENTERING THE STORM AND SANITARY SEWERS OR FROM DISCHARGING OFFSITE.
5. MULCH OR SOD THAT HAS WASHED OUT SHALL BE REPLACED IMMEDIATELY.
6. THE CONTRACTOR SHALL MAINTAIN ALL AREAS OF THE PROJECT SITE WITH PROPER EROSION AND SEDIMENT CONTROLS THROUGHOUT THE SITE CONSTRUCTION PERIOD OF THE PROJECT.

O. COMPLIANCE INSPECTIONS

- 1. QUALIFIED PERSONNEL WILL INSPECT ALL POINTS OF DISCHARGE, ALL DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN STABILIZED, ACTIVE CONSTRUCTION AREAS, VEHICULAR ACCESS POINTS AND ALL BEST MANAGEMENT PRACTICES AT LEAST ONCE EVERY 7 CALENDAR DAYS OR WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCHES OR GREATER. AREAS OF THE PROJECT SITE THAT HAVE BEEN STABILIZED SHALL BE INSPECTED AT LEAST ONCE A MONTH. THESE INSPECTIONS SHALL CONTINUE UNTIL A NOTICE OF TERMINATION IS FILED.

P. NON-STORM WATER DISCHARGES

- 1. IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES MAY OCCUR FROM THE SITE DURING CONSTRUCTION: FIRE FLOW TESTS OR FLUSHING, WATER FROM UTILITY LINE FLUSHING, PAVEMENT WASH WATER (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED) AND UNCONTAMINATED GROUNDWATER (FROM DEWATERING ACTIVITIES).
2. DEWATERING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEP GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUND WATER FROM ANY NONCONTAMINATED SITE ACTIVITY.
3. IF NON-STORM WATER DISCHARGES DO OCCUR, WATERS SHOULD BE DIRECTED TO STORM WATER BASINS OR TEMPORARY BASINS PRIOR TO DISCHARGE FROM THE PROJECT SITE.
4. TURBID WATERS FROM STORM WATER PONDS SHALL NOT BE PUMPED OFFSITE OR DIRECTLY TO OFFSITE RECEIVING WATERS.
5. ANY PUMPED WATER FROM THE STORM WATER PONDS SHALL BE TREATED SO AS NOT TO ALLOW DISCHARGE OF POLLUTED WATERS FROM THE PROJECT SITE. TREATMENT OPTIONS INCLUDE SILT FENCES, SETTLING PONDS, PROPERLY USED FLOCCULATING AGENTS OR OTHER APPROPRIATE MEANS.

CONSTRUCTION INSPECTION FORM
STORMWATER POLLUTION PREVENTION PLAN
INSPECTION FREQUENCY: WEEKLY OR AFTER 0.50 INCHES OF RAIN

PROJECT NAME: MACS PRE-K BUILDING EXPANSION
OWNER: MICANOPY AREA COOPERATIVE SCHOOL INC.
CONTRACTOR:
CONSTRUCTION MANAGER:

FORM INSTRUCTIONS: ENTER THE DATE OF THE INSPECTION. IF THE INSPECTED ITEM IS SATISFACTORY, INSERT A CHECK. IF THE INSPECTED ITEM IS UNSATISFACTORY, INSERT AN "X" AND DESCRIBE THE MAINTENANCE ACTIONS TAKEN TO CORRECT THE PROBLEM. THE INSPECTOR SHALL ENTER THEIR INITIALS. CREATE ADDITIONAL SHEETS IF NECESSARY.

INSPECTOR INFORMATION:

NAME QUALIFICATION DATE

THE ABOVE SIGNATURE ALSO SHALL CERTIFY THAT THIS FACILITY IS IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES IF THERE ARE NOT ANY INCIDENTS OF NON-COMPLIANCE IDENTIFIED ABOVE.

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

NAME (RESPONSIBLE AUTHORITY) DATE

CERTIFICATION STATEMENT
STORMWATER POLLUTION PREVENTION PLAN

ALL CONTRACTOR(S) AND/OR SUB-CONTRACTOR(S) RESPONSIBLE FOR COMPLYING WITH THIS STORMWATER POLLUTION PREVENTION PLAN SHALL SIGN THE CERTIFICATION STATEMENT BELOW. MULTIPLE COPIES OF THIS CERTIFICATION STATEMENT MAY BE NECESSARY DEPENDING ON THE NUMBER OF SUB-CONTRACTORS ASSOCIATED WITH THE PROJECT.

SITE: MACS PRE-K BUILDING EXPANSION
CONTRACTING FIRM:
FIRM NAME:
ADDRESS:
TELEPHONE NUMBER:

I CERTIFY, UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC STORMWATER PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

NAME TITLE

SIGNATURE DATE

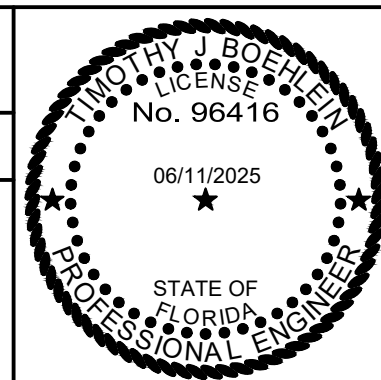
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OBSERVATIONS OR MAINTENANCE ACTIONS TAKEN

INSPECTED BY

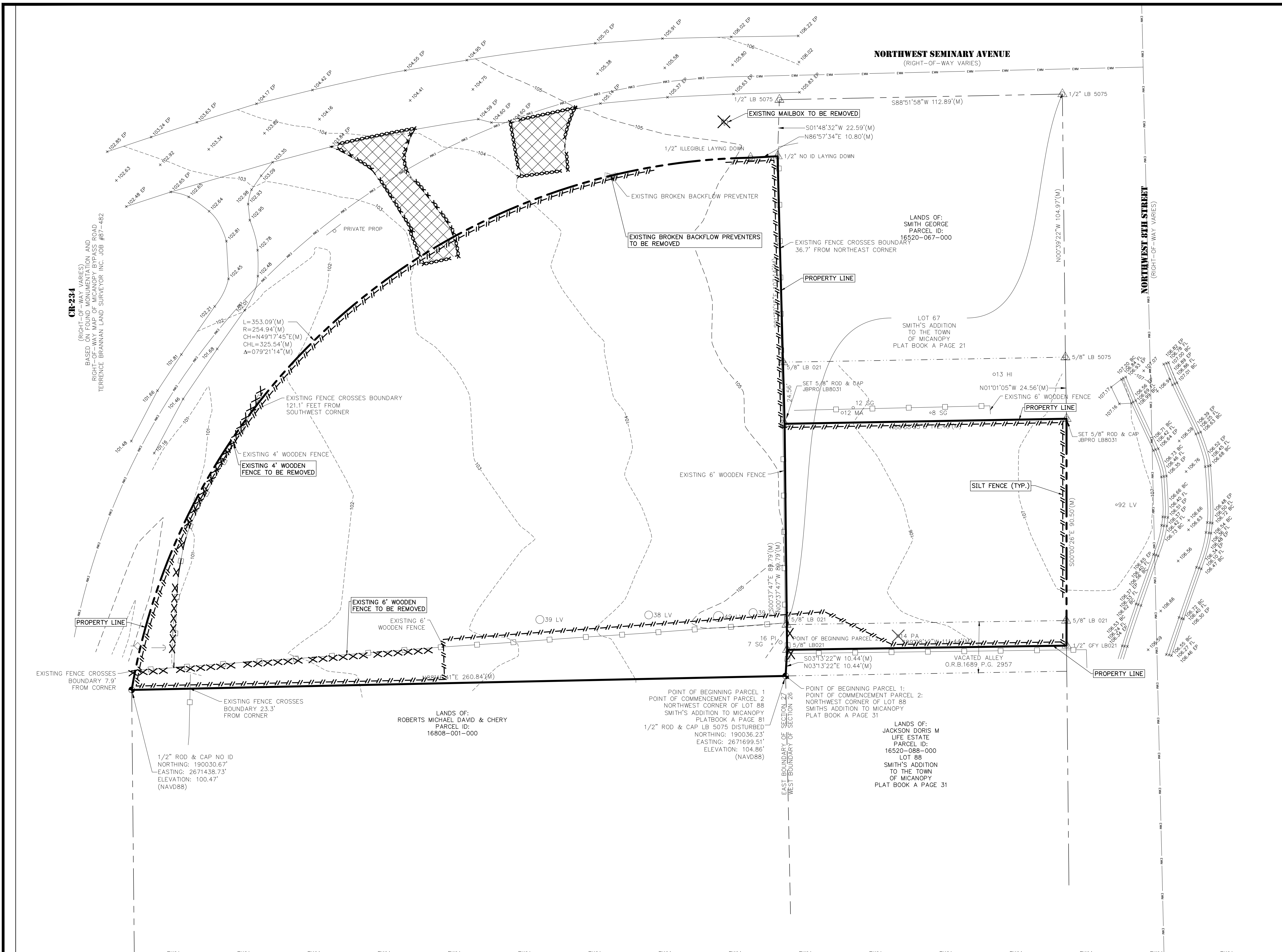
Table with 4 columns: NO., DATE, DESCRIPTION, DRWN APPR. Under heading REVISIONS.

ENGINEER OF RECORD: TIMOTHY J. BOEHLEIN, P.E. FLORIDA LICENSE NO. 96416



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SHEET TITLE: STORMWATER POLLUTION PREVENTION PLAN
CLIENT: MICANOPY AREA COOPERATIVE SCHOOL INC.
PROJECT: MACS PRE-K BUILDING EXPANSION
DATE: JUNE 2025
PROJECT NO: 0802-24-001
SHEET NO: C0.02

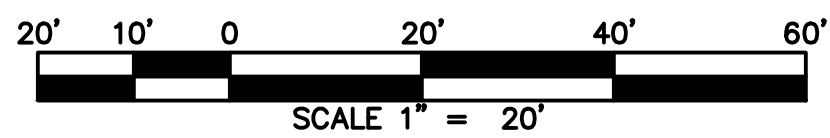
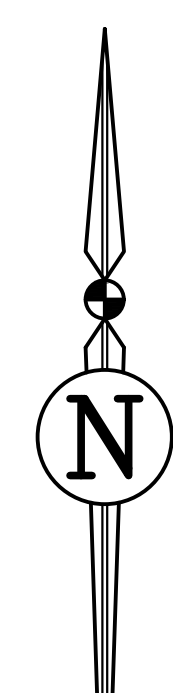


LEGEND

- EXISTING LIGHT POLES AND SIGNS TO BE REMOVED
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING CURB/ASPHALT TO BE REMOVED
- EXISTING FENCE TO BE REMOVED

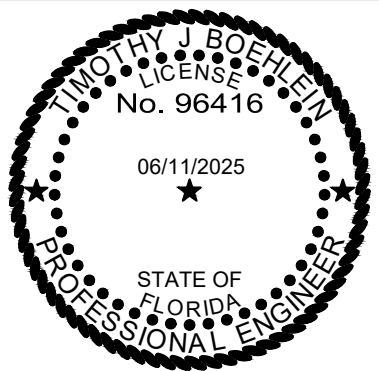
GENERAL DEMOLITION NOTES

1. PRIOR TO DEMOLITION AND CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO VERIFY THE LOCATION OF ALL ABOVE GROUND AND UNDERGROUND UTILITIES TO BE REMOVED OR RELOCATED.
2. CONTRACTOR IS RESPONSIBLE FOR ALL SITE DEMOLITION AND MATERIAL REMOVAL. IN ADDITION TO THE DEMOLITION SHOWN, THE CONTRACTOR SHALL REMOVE ALL MISCELLANEOUS TRASH, DEBRIS, FENCING ETC., IN ORDER TO PROVIDE A CLEAN CONSTRUCTION SITE.
3. CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL DEMOLITION MATERIAL OFF SITE. DISPOSAL METHODS AND LOCATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
4. REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOO AREAS IS THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. SOIL IN AREAS TO BE LANDSCAPED SHALL BE UNCOMPACTED, SUITABLE FOR ROOT GROWTH WITH APPROPRIATE AMOUNTS OF ORGANIC MATTER, AND OF PH RANGE OF 5.5 - 6.5.
5. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL DESIGNATE A TEMPORARY CONSTRUCTION ENTRANCE AND STOCKPILE AREA.
6. BACKFILL PLANTING AREAS AS NEEDED WITH A SANDY-LOAM SOIL, SUITABLE FOR PLANT GROWTH, FRIABLE, AND FREE OF CLAY LUMPS, BRUSH, WEEDS, SEEDS, ROOTS, STONES, ORGANIC MUCK, HARD PAN CLAY, LITTER AND CONSTRUCTION DEBRIS INCLUDING LIMEROCK OR PAVING BASE MATERIAL, ASPHALT, AND CONCRETE, AND OTHER EXTRANEUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. USE NEW, DEEP FILL MATERIAL AS PER USDA STANDARD TEXTURES AND THAT IS TAKEN FROM WELL-DRAINING LOCAL SOURCES WITH SIMILAR SOIL TYPES AS FOUND AT THE PROJECT SITE. FILL TO BE OF PH 5-6.5. DO NOT COMPACT.



| REVISIONS | | | DRWN | APPR |
|-----------|------|-------------|------|------|
| NO. | DATE | DESCRIPTION | | |
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ENGINEER OF RECORD: **TIMOTHY J. BOEHLEIN, P.E.**
FLORIDA LICENSE NO. 96416



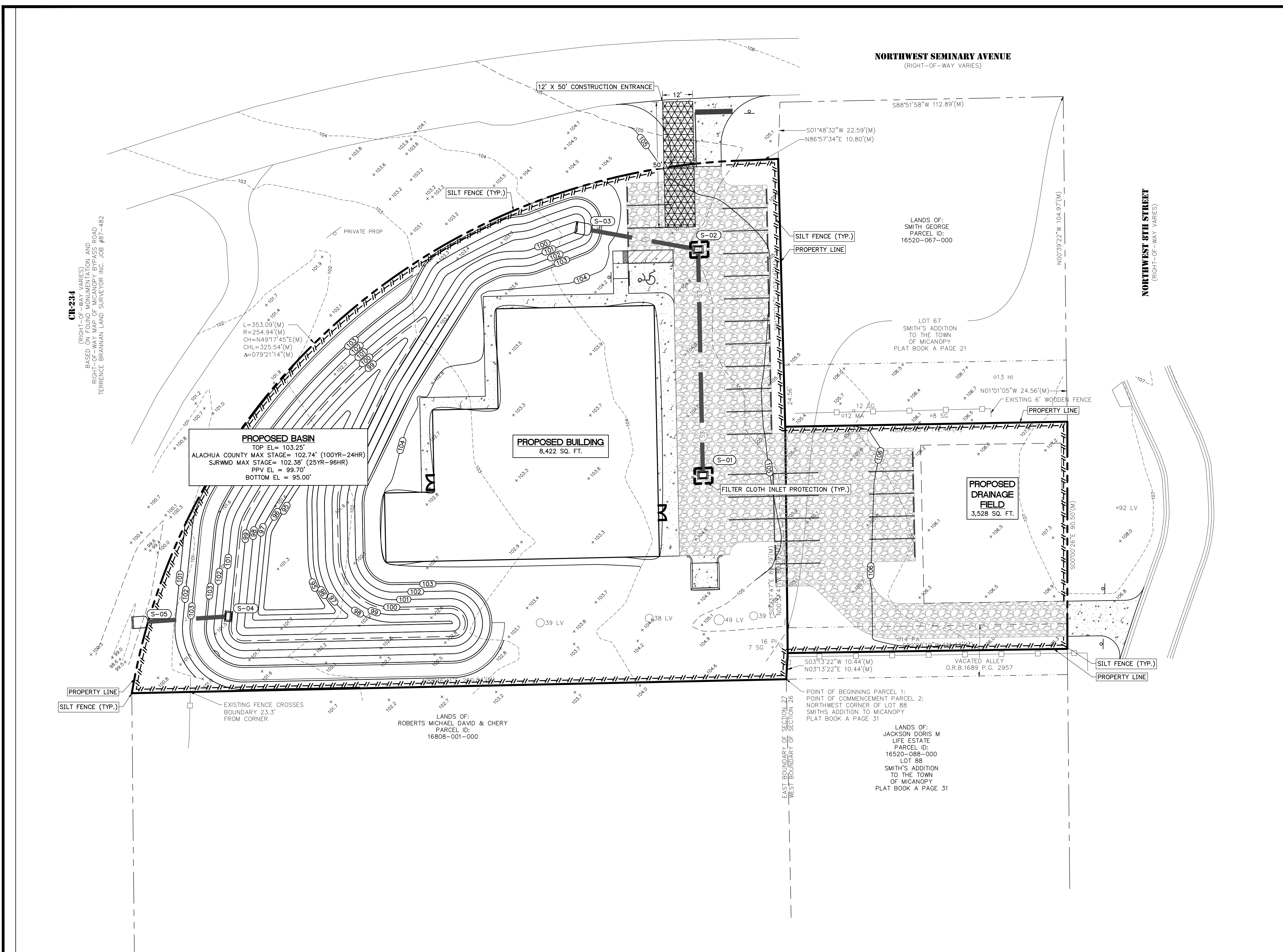
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SHEET TITLE: **DEMOLITION PLAN**
CLIENT: MICANOPY AREA COOPERATIVE SCHOOL INC.
MICANOPY, FL

PROJECT: **MACS PRE-K BUILDING EXPANSION**

DATE: **JUNE 2025**
PROJECT NO: **0802-24-001**
SHEET NO: **C1.00**



LEGEND

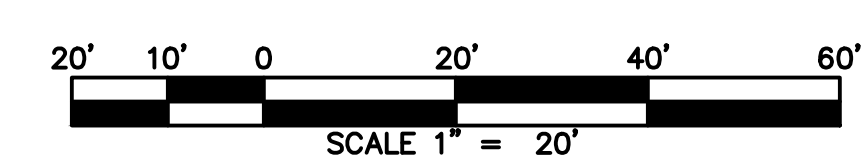
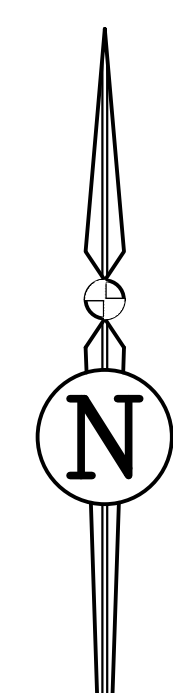
- -87- - EXISTING TOPOGRAPHY CONTOUR
- SILT-FENCE BARRIERS PER FDOT EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL (JUNE 2007)
- GRAVEL FILTER BAGS INLET PROTECTION
- FILTER CLOTH INLET PROTECTION
- NEW CONCRETE SIDEWALK
- CONSTRUCTION ENTRANCE

CR-234
 (RIGHT-OF-WAY VARIES)
 BASED ON FOUND MONUMENTATION AND
 RIGHT-OF-WAY MAP OF MICANOPY BYPASS ROAD
 TERRANCE BRANNAN LAND SURVEYOR INC. JOB #87-482

PROPOSED BASIN
 TOP EL = 103.25'
 ALACHUA COUNTY MAX STAGE = 102.74' (100YR-24HR)
 SURWMD MAX STAGE = 102.38' (25YR-96HR)
 PPV EL = 99.70'
 BOTTOM EL = 95.00'

PROPOSED BUILDING
 8,422 SQ. FT.

PROPOSED DRAINAGE FIELD
 3,528 SQ. FT.



| REVISIONS | | | DRWN | APPR |
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| NO. | DATE | DESCRIPTION | | |
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ENGINEER OF RECORD: **TIMOTHY J. BOEHLEIN, P.E.**
 FLORIDA LICENSE NO. 96416

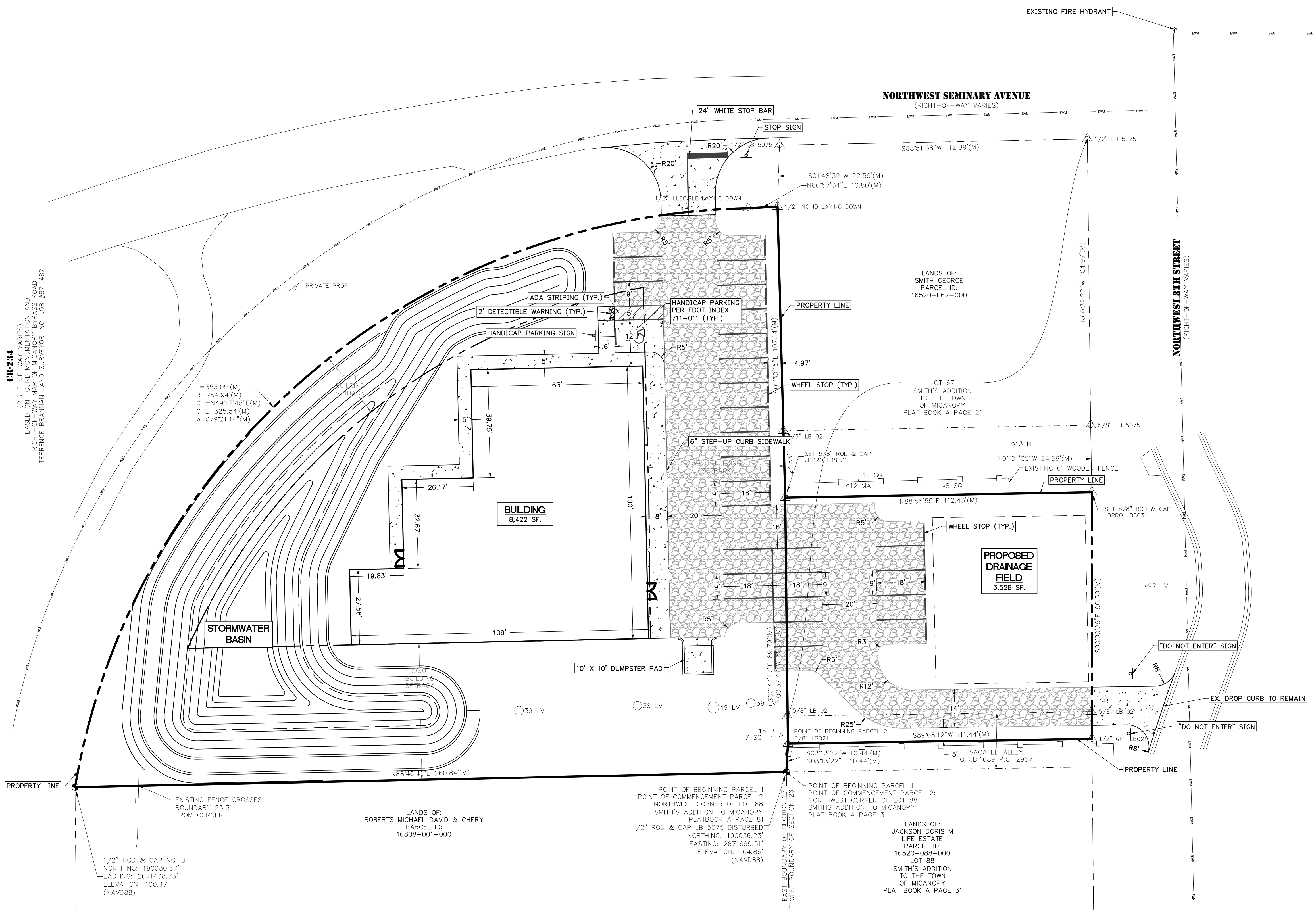
JBPro
 CIVIL ENGINEERING | LAND PLANNING
 SURVEYING | CONSTRUCTION SERVICES

3530 NW 43rd Street | Gainesville, Florida 32606
 4420 US-1 S, Suite 1 | St. Augustine, Florida 32086
 Gainesville: (352) 375-8999 | St. Augustine: (904) 789-8999
 Toll Free: (844) Go-JBPro | E-mail: contact@jbpro.com

SHEET TITLE: **EROSION AND SEDIMENTATION CONTROL PLAN**
 CLIENT: **MICANOPY AREA COOPERATIVE SCHOOL INC.**
 MICANOPY, FL

PROJECT: **MACS PRE-K BUILDING EXPANSION**

DATE: **JUNE 2025**
 PROJECT NO: **0802-24-001**
 SHEET NO: **C1.01**



CR-234
 (SHEET NUMBER)
 BASED ON FOUND MONUMENTATION AND
 RIGHT-OF-WAY MAP OF MICANOPY BYPASS ROAD
 TERRANCE BRANNAN LAND SURVEYOR INC. JOB #57-482

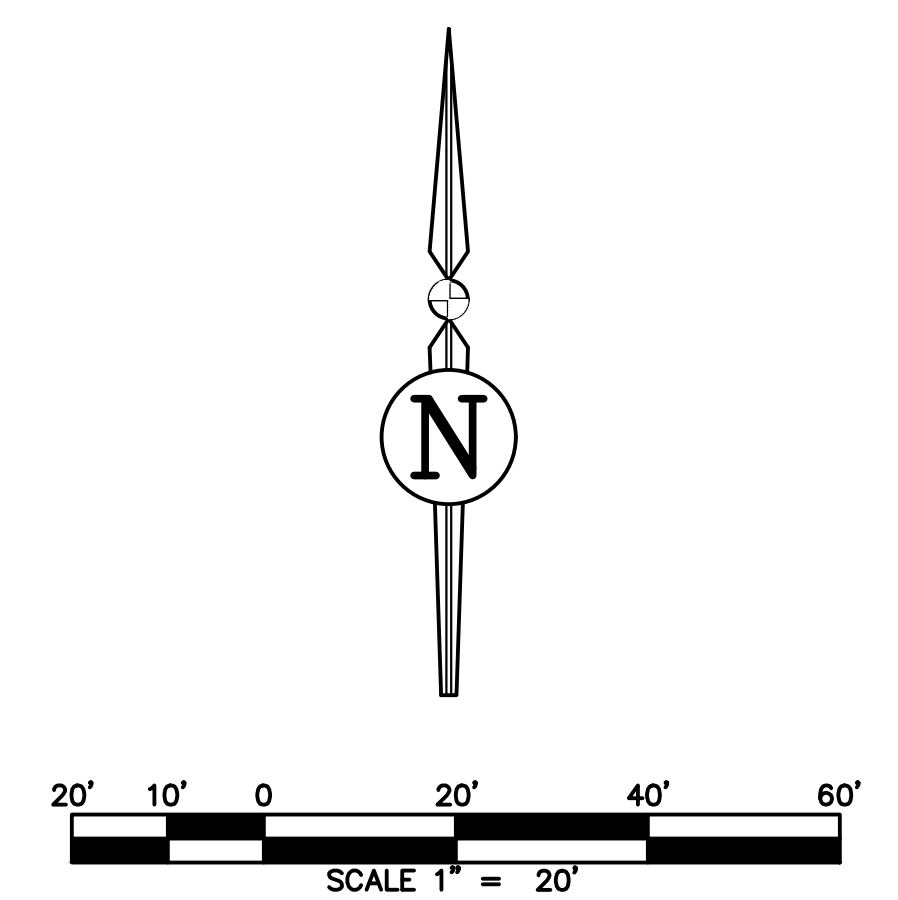
LEGEND

- PROPOSED CONCRETE SIDEWALK
- PROPOSED GRAVEL

- DIMENSION NOTES**
- BOUNDARY INFORMATION SHOWN IS BASED ON THE PROJECT SURVEY CONDUCTED BY JBPRO, ON 12-19-2024.
 - CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PROJECT SURVEY AND DESIGN DRAWINGS, AND SHALL VERIFY EXISTING SITE CONDITIONS. ANY APPARENT DISCREPANCIES OR ADDITIONAL PERTINENT INFORMATION SHALL BE BROUGHT TO THE PROJECT ENGINEER'S ATTENTION IMMEDIATELY.
 - ALL STRIPING SHALL CONFORM TO FDOT STANDARD INDEX 711-001.
 - ALL SIGNAGE TO BE INSTALLED SHALL CONFORM TO MUTCD REQUIREMENTS, 2009 VERSION W/ REV. NO. 1&2, INCORPORATED 2012.

SITE DATA:

| | |
|---------------------------------|-------------------------------|
| 1. TAX PARCEL NO.: | 16808-002-000 & 16520-067-001 |
| 2. FUTURE LAND USE: | COMMERCIAL AND RESIDENTIAL |
| 3. ZONING: | R-2 AND C-1 |
| 4. TOTAL SITE AREA: | 1.18± ACRES |
| 5. GROSS FLOOR AREA: | 8,422± SF. |
| 6. PROPOSED DEVELOPMENT AREA: | 1.18± ACRES |
| 7. SETBACKS: FRONT/ SIDE/ REAR: | 25' / 50' / 50' |
| 10. DEVELOPMENT DATA: | |
| A. TOTAL SITE AREA | ± 51,441 SF. ± 1.18 AC. = 16% |
| B. TOTAL BUILDING AREA | = 8,422 SF. = 0.19 AC. = 25% |
| C. TOTAL IMPERVIOUS AREA | = 12,830 SF. = 0.29 AC. = 38% |
| D. OPEN AREA | = 19,957 SF. = 0.46 AC. = 38% |
| E. TOTAL STORMWATER AREA | = 10,876 SF. = 0.25 AC. = 21% |



REVISIONS

| NO. | DATE | DESCRIPTION | DRWN | APPR |
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ENGINEER OF RECORD: **TIMOTHY J. BOEHLEIN, P.E.**
 FLORIDA LICENSE NO. 96416

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SHEET TITLE: **DIMENSION PLAN**

CLIENT: MICANOPY AREA COOPERATIVE SCHOOL INC.
 MICANOPY, FL

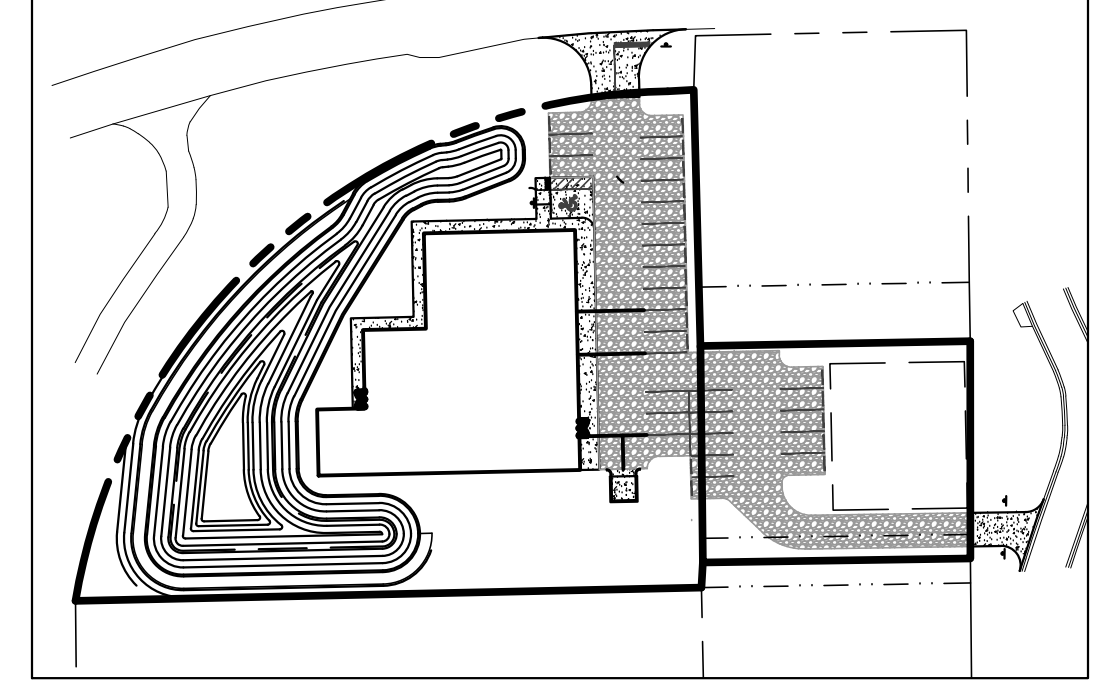
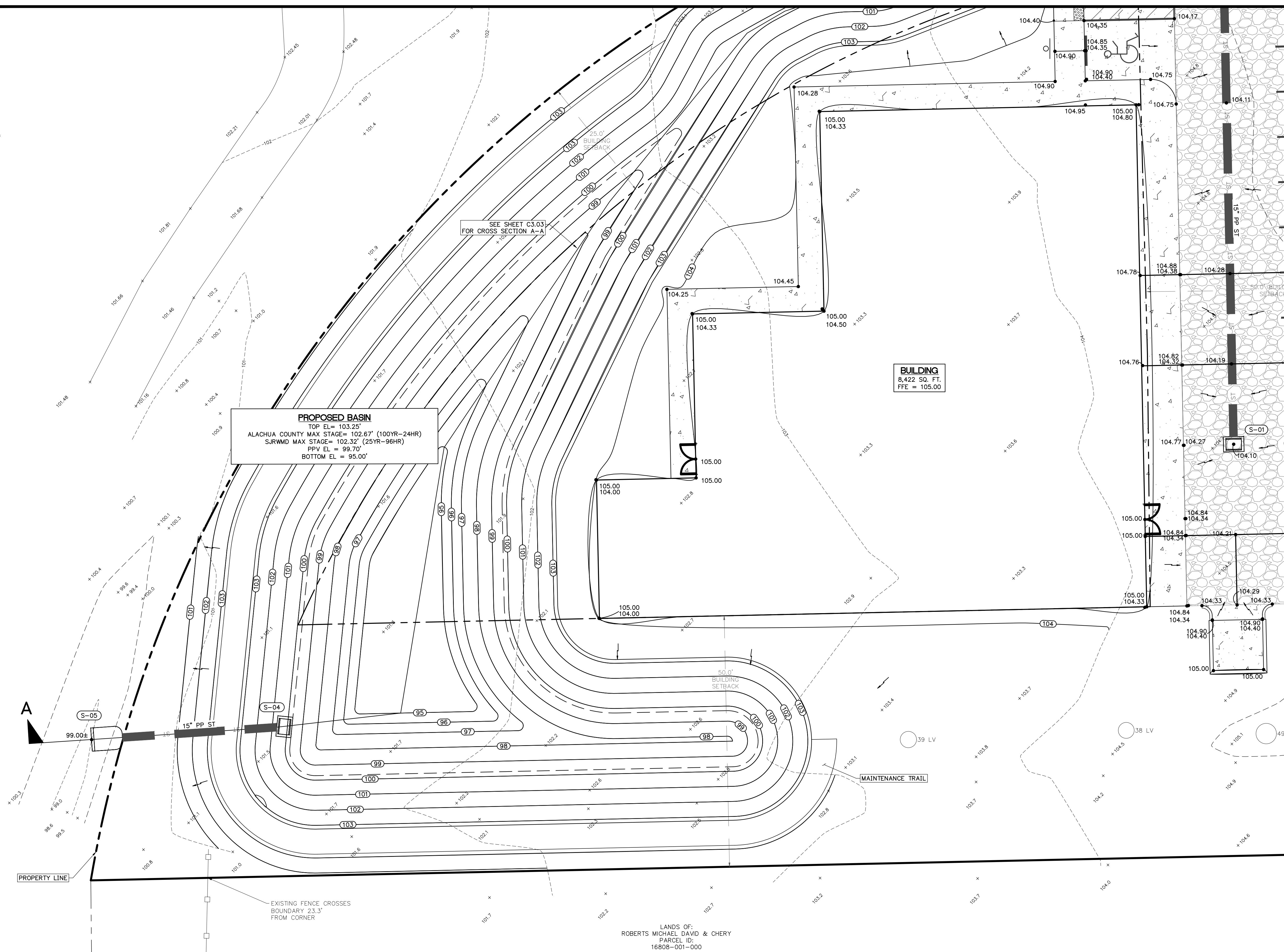
PROJECT: **MACS PRE-K BUILDING EXPANSION**

DATE: **JUNE 2025**

PROJECT NO: **0802-24-001**

SHEET NO: **C2.00**

CR-234
 (RIGHT-OF-WAY VARIES)
 BASED ON FOUND MONUMENTATION AND
 RECORD PLANS. ALL ELEVATIONS ARE
 PERMANENT MEAN SEA LEVEL. ALL
 TERRACE BRANNAN LAND SURVEYOR, INC. JOB #87-482



- LEGEND**
- DRAINAGE FLOW ARROW
 - PROPOSED ELEVATION
 - EXISTING ELEVATION

STORM STRUCTURE TABLE

| UPSTREAM STRUCTURE | DOWNSTREAM STRUCTURE | SIZE & MATERIAL | LENGTH | SLOPE |
|--------------------|----------------------|-----------------|--------|-------|
| S-01 | S-02 | 15" PP | 90' | 0.50% |

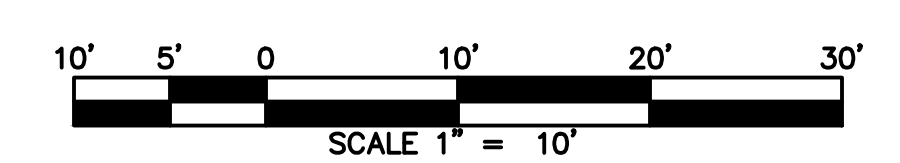
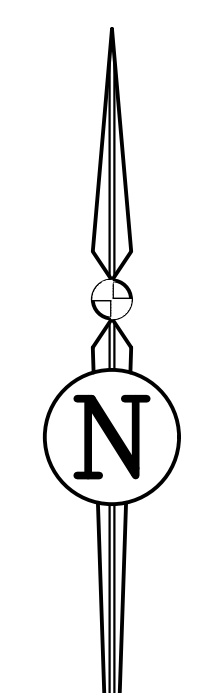
DITCH BOTTOM INLETS

S-01
 FDOT INDEX 425-052
 TPE C DBI
 GRATE EL = 104.10
 N INV EL = 100.68 (15" PP)

S-04
 FDOT INDEX 425-052
 TPE C DBI
 GRATE EL = 102.75
 W INV EL = 99.70 (15" PP)

STORM MES TABLE

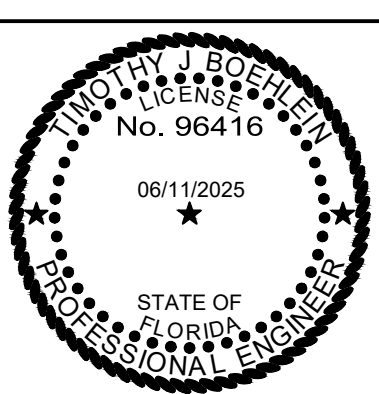
S-05
 FDOT INDEX 430-022
 MITERED END SECTION
 E INV EL = 99.00 (15" PP)



REVISIONS

| NO. | DATE | DESCRIPTION | DRWN | APPR |
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ENGINEER OF RECORD: **TIMOTHY J. BOEHLIN, P.E.**
 FLORIDA LICENSE NO. 96416



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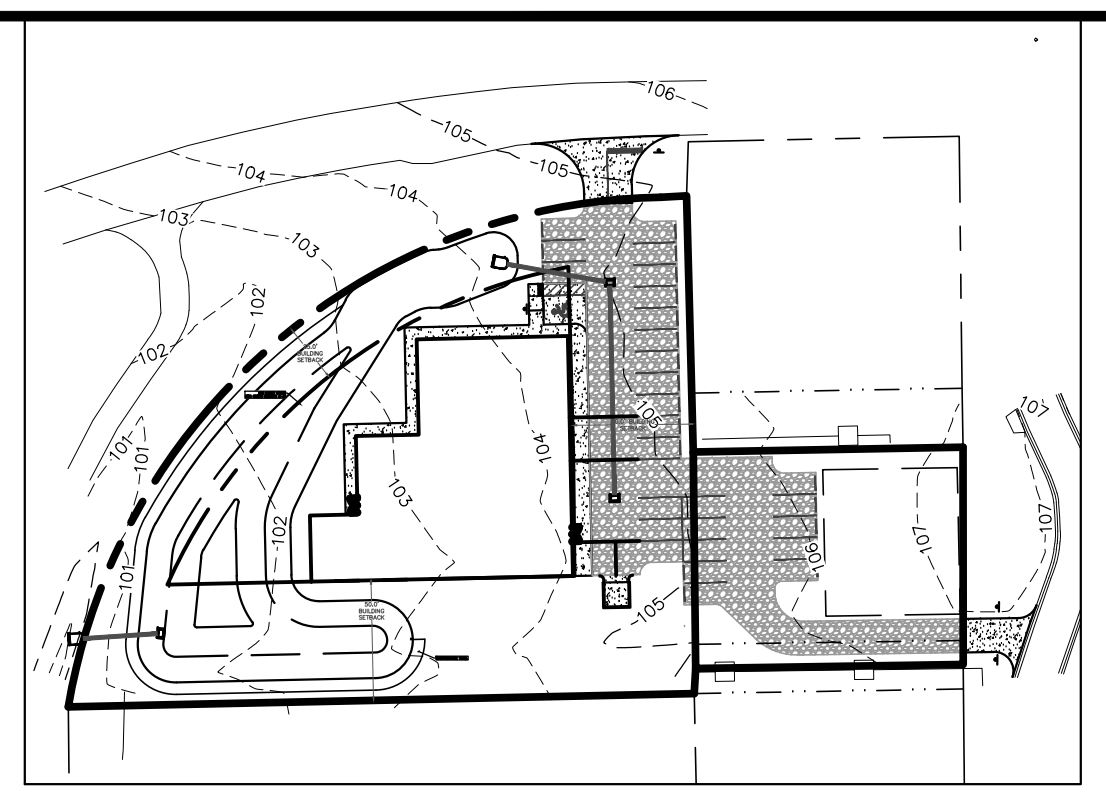
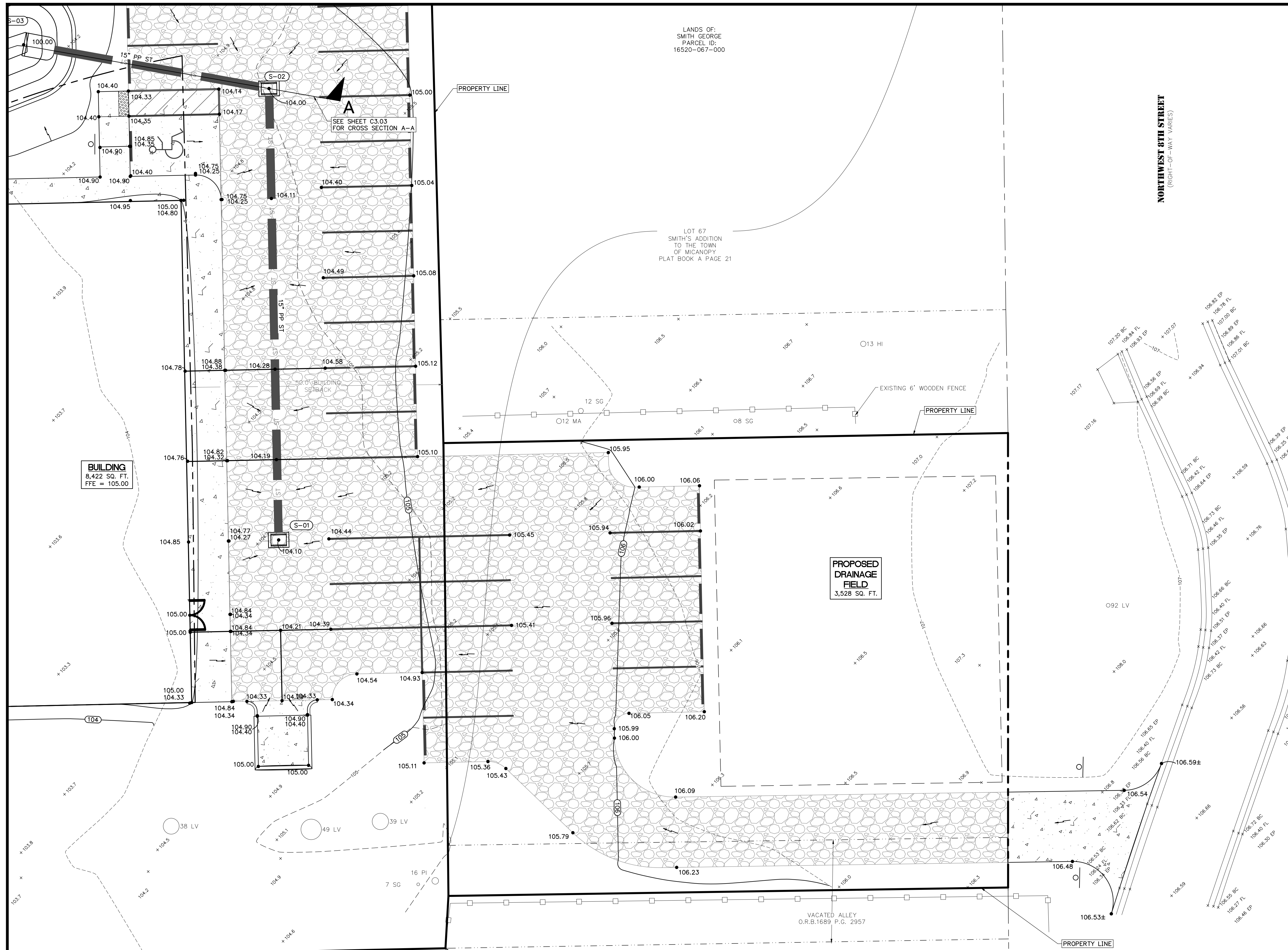
3530 NW 43rd Street | Gainesville, Florida 32606
 4420 US-1 S, Suite 1 | St. Augustine, Florida 32086
 Gainesville: (352) 375-8999 | St. Augustine: (904) 789-8999
 Toll Free: (844) Go-JBPro | E-mail: contact@jbpro.com

SHEET TITLE: **PAVING GRADING AND DRAINAGE PLAN**

CLIENT: **MICANOPY AREA COOPERATIVE SCHOOL INC.**
 MICANOPY, FL

PROJECT: **MACS PRE-K BUILDING EXPANSION**

DATE: **JUNE 2025**
 PROJECT NO: **0802-24-001**
 SHEET NO: **C3.00**



KEY MAP
N.T.S.

LEGEND

- DRAINAGE FLOW ARROW
- 11.50 PROPOSED ELEVATION
- 11.50± EXISTING ELEVATION

STORM STRUCTURE TABLE

| UPSTREAM STRUCTURE | DOWNSTREAM STRUCTURE | SIZE & MATERIAL | LENGTH | SLOPE |
|--------------------|----------------------|-----------------|--------|-------|
| S-01 | S-02 | 15" PP | 90' | 0.50% |
| S-02 | S-03 | 15" PP | 46' | 0.50% |

STORM PIPE TABLE

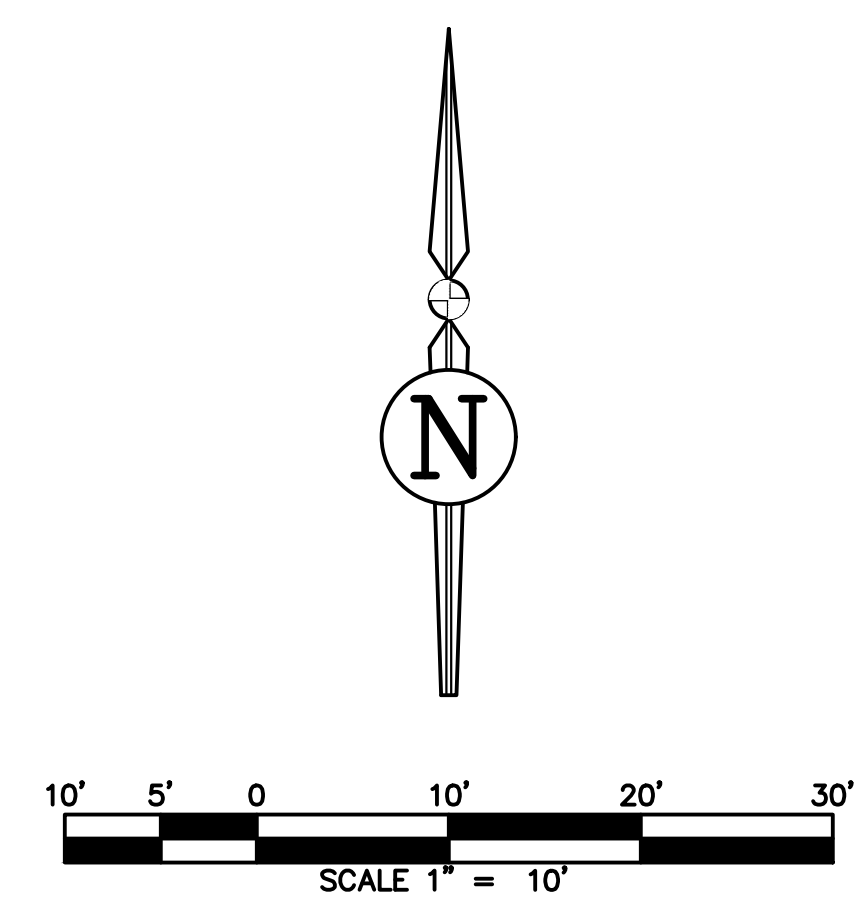
| UPSTREAM STRUCTURE | DOWNSTREAM STRUCTURE | SIZE & MATERIAL | LENGTH | SLOPE |
|--------------------|----------------------|-----------------|--------|-------|
| S-01 | S-02 | 15" PP | 90' | 0.50% |
| S-02 | S-03 | 15" PP | 46' | 0.50% |

DITCH BOTTOM INLETS

- S-01
FDOT INDEX 425-052
TPE C DBI
GRATE EL = 104.10
N INV EL = 100.68 (15" PP)
- S-02
FDOT INDEX 425-052
TPE C DBI
GRATE EL = 104.00
S INV EL = 100.23 (15" PP)
W INV EL = 100.23 (15" PP)

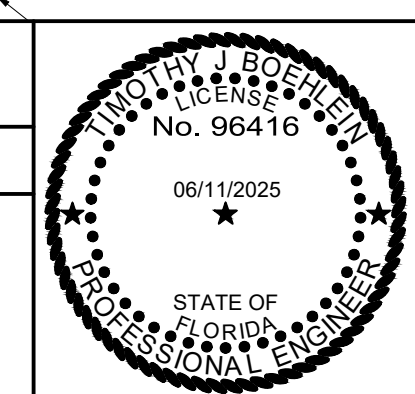
STORM MES TABLE

- S-03
FDOT INDEX 430-022
MITERED END SECTION
E INV EL = 100.00 (15" PP)



| REVISIONS | | | |
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| NO. | DATE | DESCRIPTION | DRWN/ APPR |
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ENGINEER OF RECORD: **TIMOTHY J. BOEHLEIN, P.E.**
FLORIDA LICENSE NO. 96416



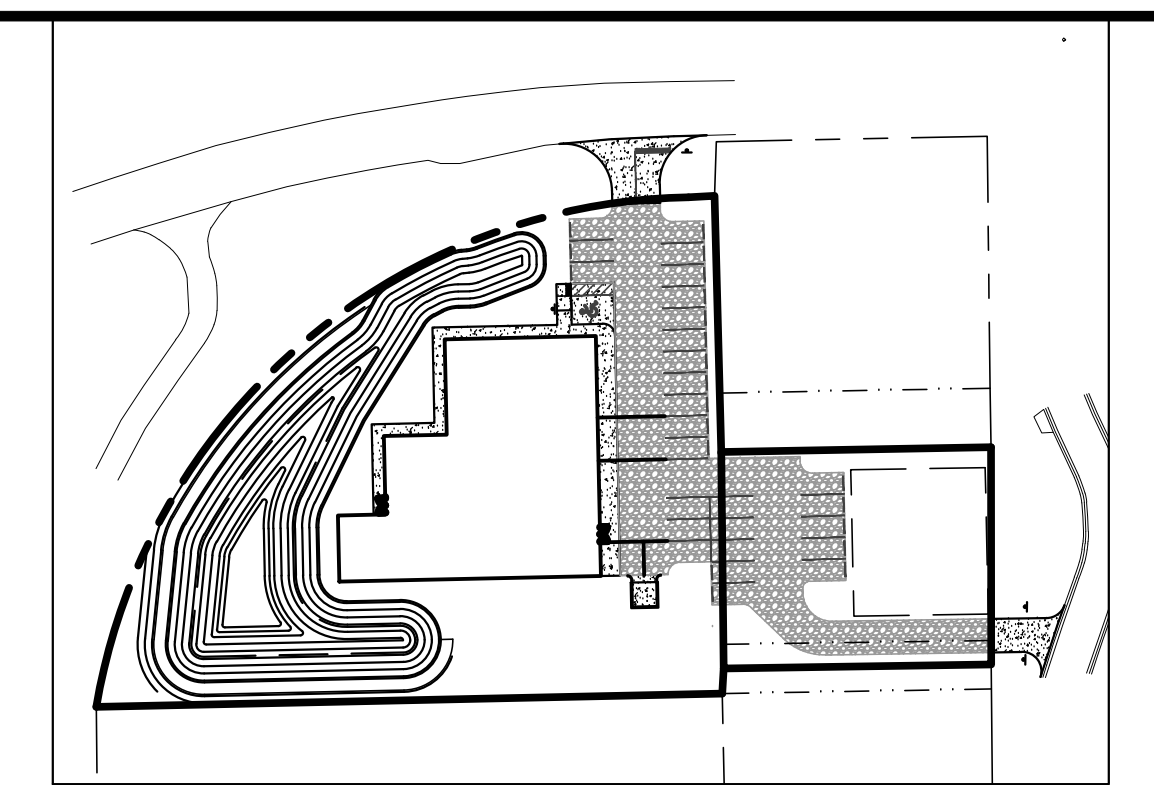
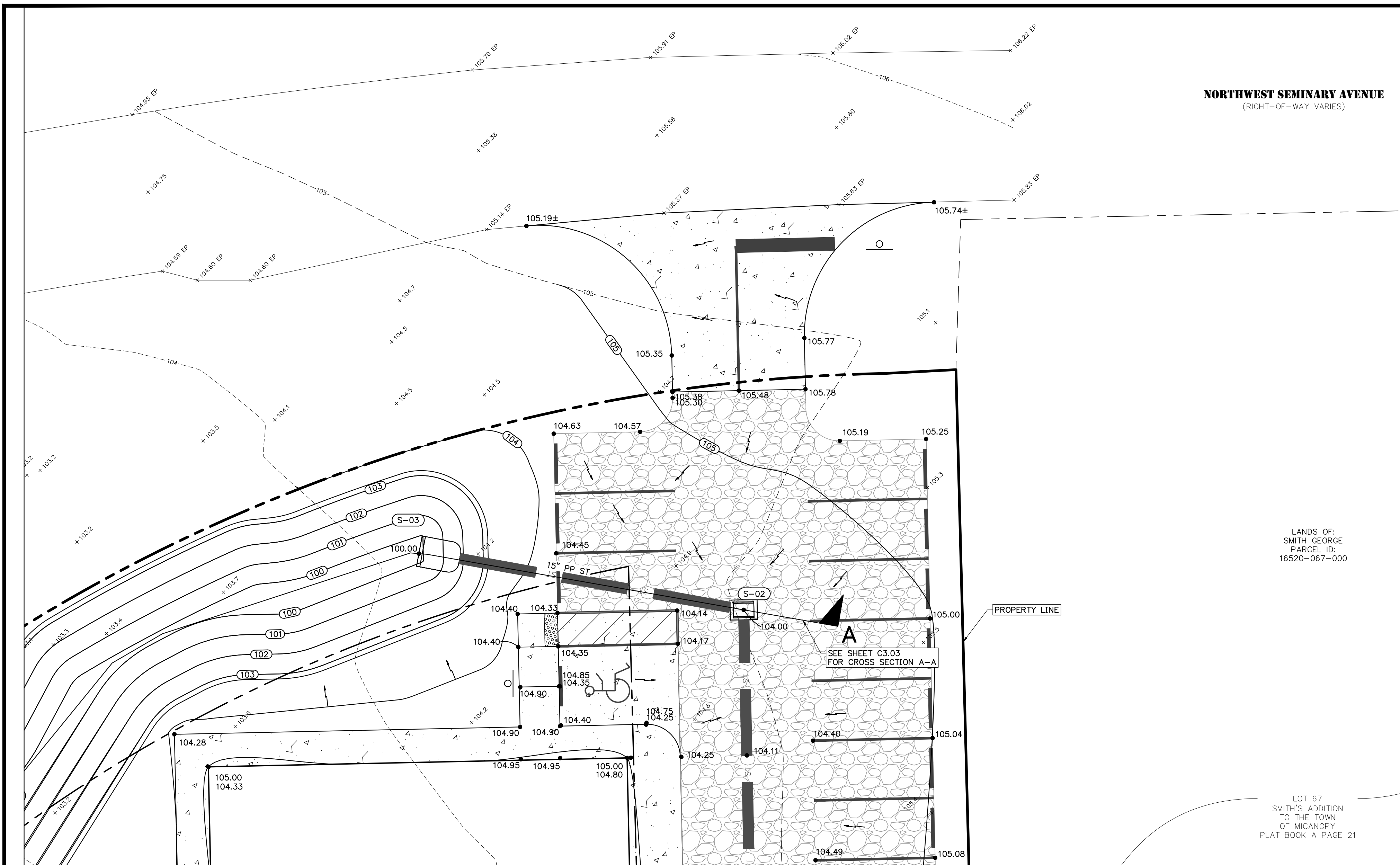
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4420 US-1 S, Suite 1 | St. Augustine, Florida 32086
Gainesville: (352) 375-8999 | St. Augustine: (904) 789-8999
Toll Free: (844) Go-JBPro | E-mail: contact@jbpro.com

SHEET TITLE: **PAVING GRADING AND DRAINAGE PLAN**
CLIENT: **MICANOPY AREA COOPERATIVE SCHOOL INC.**
MICANOPY, FL

PROJECT: **MACS PRE-K BUILDING EXPANSION**

DATE: **JUNE 2025**
PROJECT NO: **0802-24-001**
SHEET NO: **C3.01**



STORM STRUCTURE TABLE

STORM PIPE TABLE

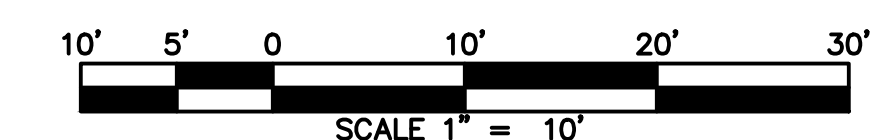
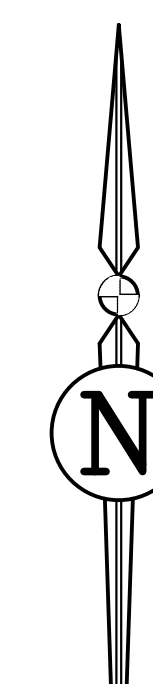
| UPSTREAM STRUCTURE | DOWNSTREAM STRUCTURE | SIZE & MATERIAL | LENGTH | SLOPE |
|--------------------|----------------------|-----------------|--------|-------|
| S-02 | S-03 | 15" PP | 46' | 0.50% |

DITCH BOTTOM INLETS

S-02
FDOT INDEX 425-052
TPE C DBI
GRATE EL = 104.00
S INV EL = 100.23 (15" PP)
W INV EL = 100.23 (15" PP)

STORM MES TABLE

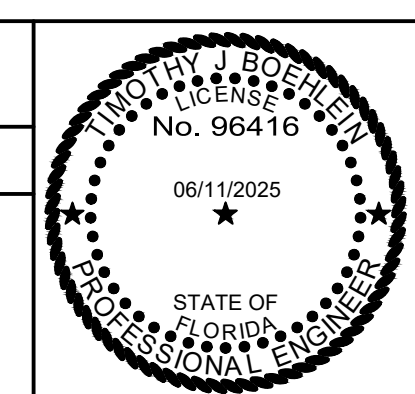
S-03
FDOT INDEX 430-022
MITERED END SECTION
E INV EL = 100.00 (15" PP)



REVISIONS

| NO. | DATE | DESCRIPTION | DRWN | APPR |
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ENGINEER OF RECORD:
TIMOTHY J. BOEHLEIN, P.E.
FLORIDA LICENSE NO. 96416



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SHEET TITLE:
PAVING GRADING AND DRAINAGE PLAN

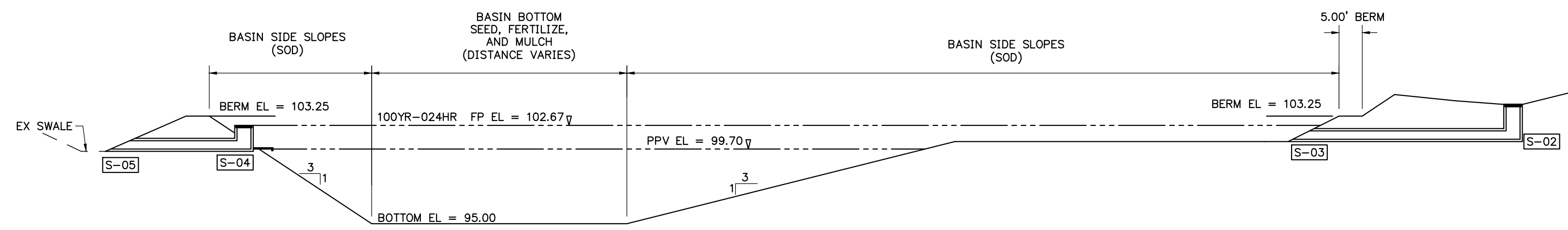
CLIENT:
MICANOPY AREA COOPERATIVE SCHOOL INC.
MICANOPY, FL

PROJECT:
MACS PRE-K BUILDING EXPANSION

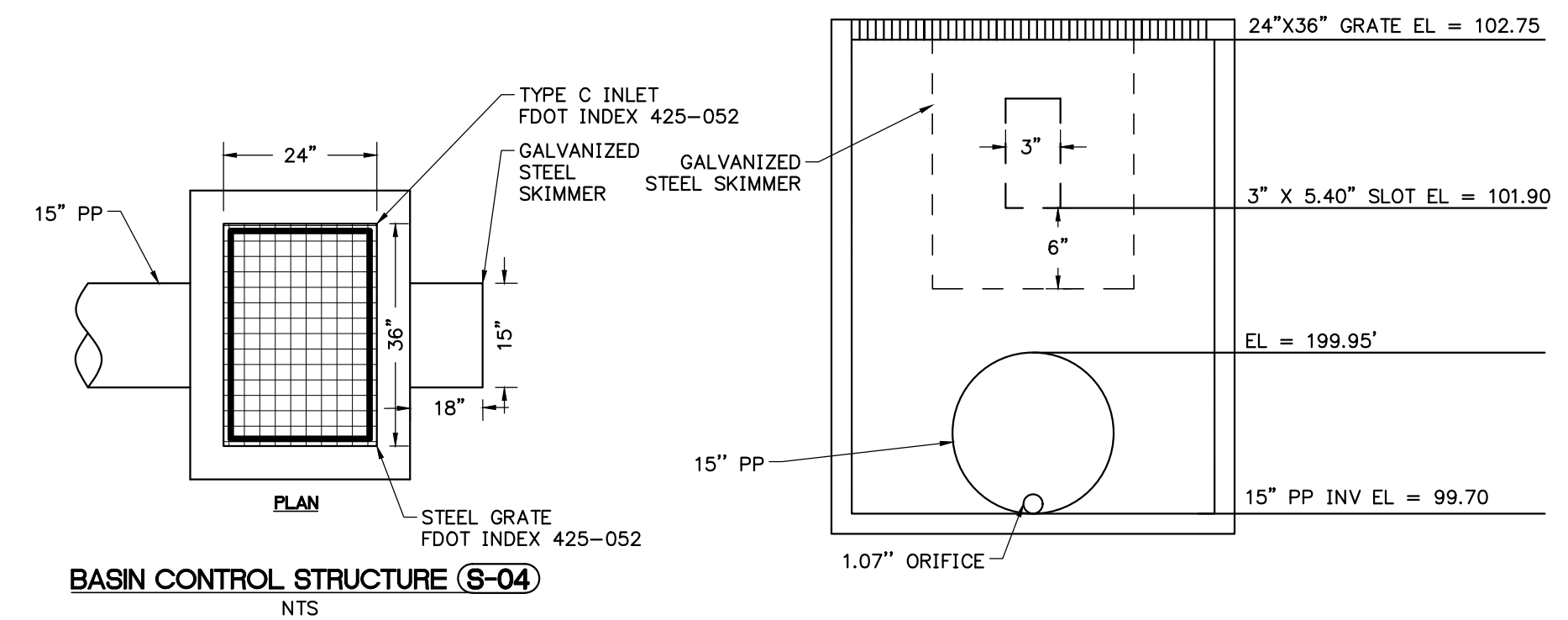
DATE:
JUNE 2025

PROJECT NO:
0802-24-001

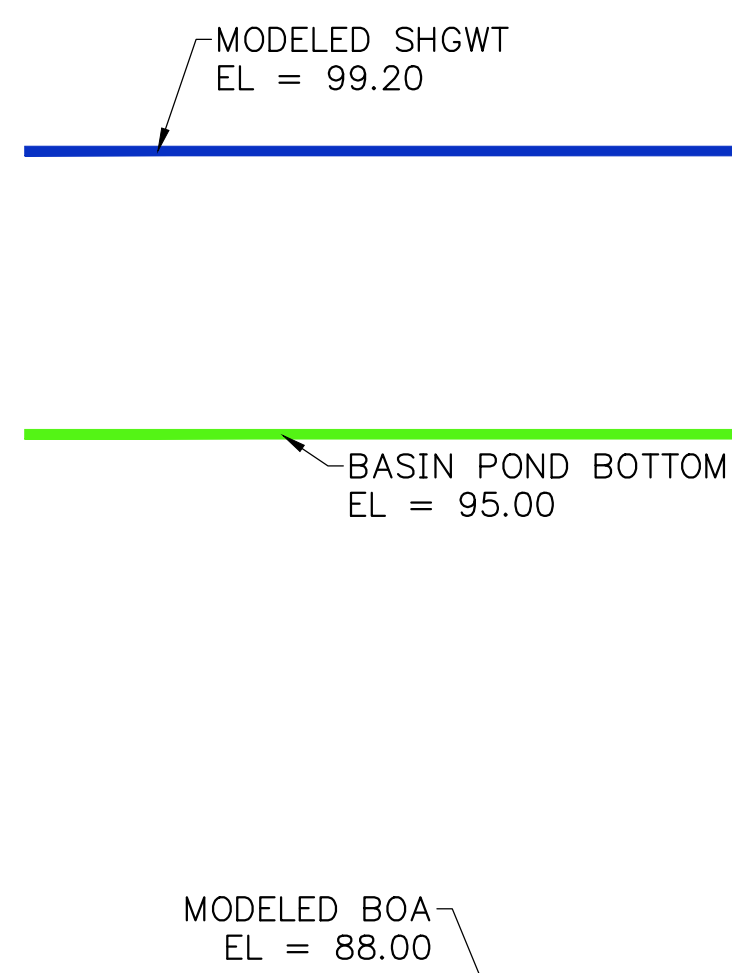
SHEET NO:
C3.02



BASIN CROSS SECTION A-A
N.T.S.



BASIN CONTROL STRUCTURE (S-04)
N.T.S.



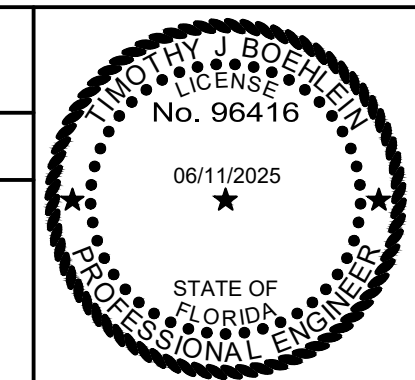
| GSE Engineering & Consulting, Inc. 5590 SW 64th Street, Suite B Gainesville, Florida 32608 Telephone: (352) 377-3233 Fax: (352) 377-0335 | | GSE Engineering & Consulting, Inc. 5590 SW 64th Street, Suite B Gainesville, Florida 32608 Telephone: (352) 377-3233 Fax: (352) 377-0335 | |
|--|---|---|---|
| CLIENT Micanopy Area Cooperative School PROJECT NUMBER 16897 DATE PERFORMED 3/4/2025 BORING NUMBER P-1 DRILLING CONTRACTOR Whitaker Drilling, Inc. GROUND WATER LEVELS: LOGGED BY WDI AT TIME OF DRILLING 5.0 ft CHECKED BY KPF ESTIMATED SEASONAL HIGH 2.0 ft NOTES | | PROJECT NAME Proposed MACS Preschool PROJECT LOCATION Micanopy, Alachua County, Florida DATE PERFORMED 3/4/2025 BORING NUMBER P-2 DRILLING CONTRACTOR Whitaker Drilling, Inc. GROUND WATER LEVELS: LOGGED BY WDI AT TIME OF DRILLING 5.0 ft CHECKED BY KPF ESTIMATED SEASONAL HIGH 2.0 ft NOTES | |
| DEPTH (ft) | GRAPHIC LOG | DEPTH (ft) | GRAPHIC LOG |
| 0.0 | (SM) Brown and gray silty SAND | 0.0 | (SM-SC) Brown silty SAND with clay |
| 2.5 | AU 1 PS %PASS-200 = 14 MC = 8.2 K _v = 0.67 _{day} | 2.5 | AU 1 PS %PASS-200 = 13 MC = 8.5 K _v = 0.67 _{day} |
| 5.0 | (SM/SC) Gray silty clayey SAND | 5.0 | (SM-SC) Brown and orange silty SAND with clay |
| 7.5 | AU 2 | 7.5 | (SC) Gray clayey SAND |
| 10.0 | (SC) Gray and green clayey SAND | 10.0 | (SC) Gray clayey SAND |
| 12.5 | AU 3 | 12.5 | (SC) Gray clayey SAND |
| 15.0 | (CL/CH) Green sandy CLAY | 15.0 | (CL/CH) Green sandy CLAY |
| Bottom of borehole at 15.0 feet. | | Bottom of borehole at 15.0 feet. | |

(Continued Next Page)

| GSE Engineering & Consulting, Inc. 5590 SW 64th Street, Suite B Gainesville, Florida 32608 Telephone: (352) 377-3233 Fax: (352) 377-0335 | | GSE Engineering & Consulting, Inc. 5590 SW 64th Street, Suite B Gainesville, Florida 32608 Telephone: (352) 377-3233 Fax: (352) 377-0335 | |
|--|---|---|---|
| CLIENT Micanopy Area Cooperative School PROJECT NUMBER 16897 DATE PERFORMED 3/4/2025 BORING NUMBER P-3 DRILLING CONTRACTOR Whitaker Drilling, Inc. GROUND WATER LEVELS: LOGGED BY WDI AT TIME OF DRILLING 5.0 ft CHECKED BY KPF ESTIMATED SEASONAL HIGH 2.0 ft NOTES | | PROJECT NAME Proposed MACS Preschool PROJECT LOCATION Micanopy, Alachua County, Florida DATE PERFORMED 3/4/2025 BORING NUMBER P-3 DRILLING CONTRACTOR Whitaker Drilling, Inc. GROUND WATER LEVELS: LOGGED BY WDI AT TIME OF DRILLING 5.0 ft CHECKED BY KPF ESTIMATED SEASONAL HIGH 2.0 ft NOTES | |
| DEPTH (ft) | GRAPHIC LOG | DEPTH (ft) | GRAPHIC LOG |
| 0.0 | (SP-SC) Brown SAND with clay | 0.0 | (SP-SC) Brown SAND with clay |
| 2.5 | AU 1 PS %PASS-200 = 11 MC = 7.0 K _v = 10 ⁻⁷ _{day} | 2.5 | AU 1 PS %PASS-200 = 11 MC = 7.0 K _v = 10 ⁻⁷ _{day} |
| 5.0 | (SM-SC) Gray and brown silty SAND with clay | 5.0 | (SM-SC) Gray and brown silty SAND with clay |
| 7.5 | (SC) Gray clayey SAND | 7.5 | (SC) Gray clayey SAND |
| 10.0 | (SC) Gray clayey SAND | 10.0 | (SC) Gray clayey SAND |
| 12.5 | (SC) Gray clayey SAND | 12.5 | (SC) Gray clayey SAND |
| 15.0 | (SC) Gray clayey SAND | 15.0 | (SC) Gray clayey SAND |
| Bottom of borehole at 15.0 feet. | | Bottom of borehole at 15.0 feet. | |

| REVISIONS | | | |
|-----------|------|-------------|-----------|
| NO. | DATE | DESCRIPTION | DRWN APPR |
| | | | |
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ENGINEER OF RECORD: **TIMOTHY J. BOEHLEIN, P.E.**
FLORIDA LICENSE NO. 96416

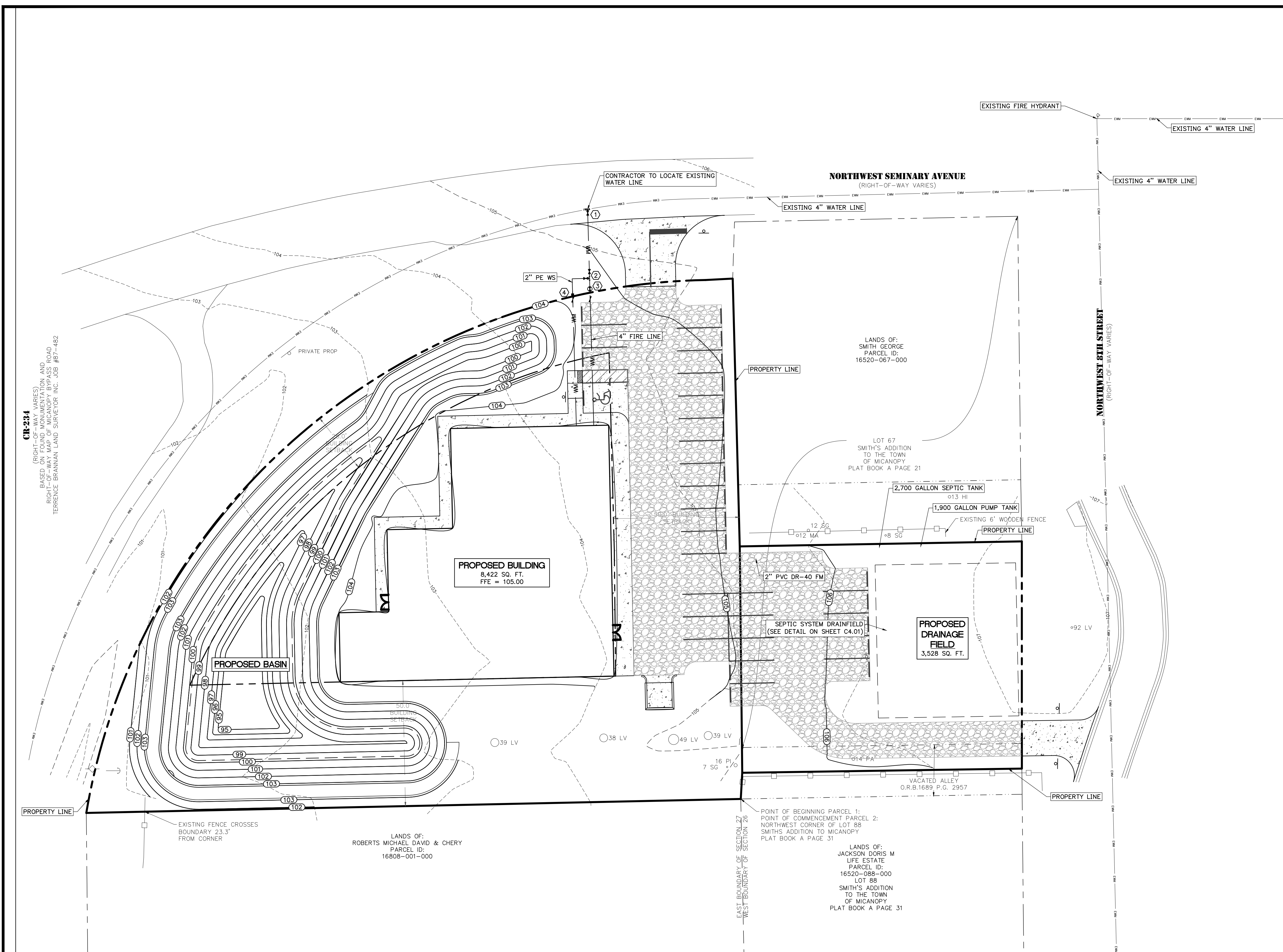


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Toll Free: (844) Go-JBPro | E-mail: contact@jbpro.com

SHEET TITLE: **BASIN DRAINAGE PLAN AND BORING PROFILES**
CLIENT: MICANOPY AREA COOPERATIVE SCHOOL INC. MICANOPY, FL
PROJECT: MACS PRE-K BUILDING EXPANSION

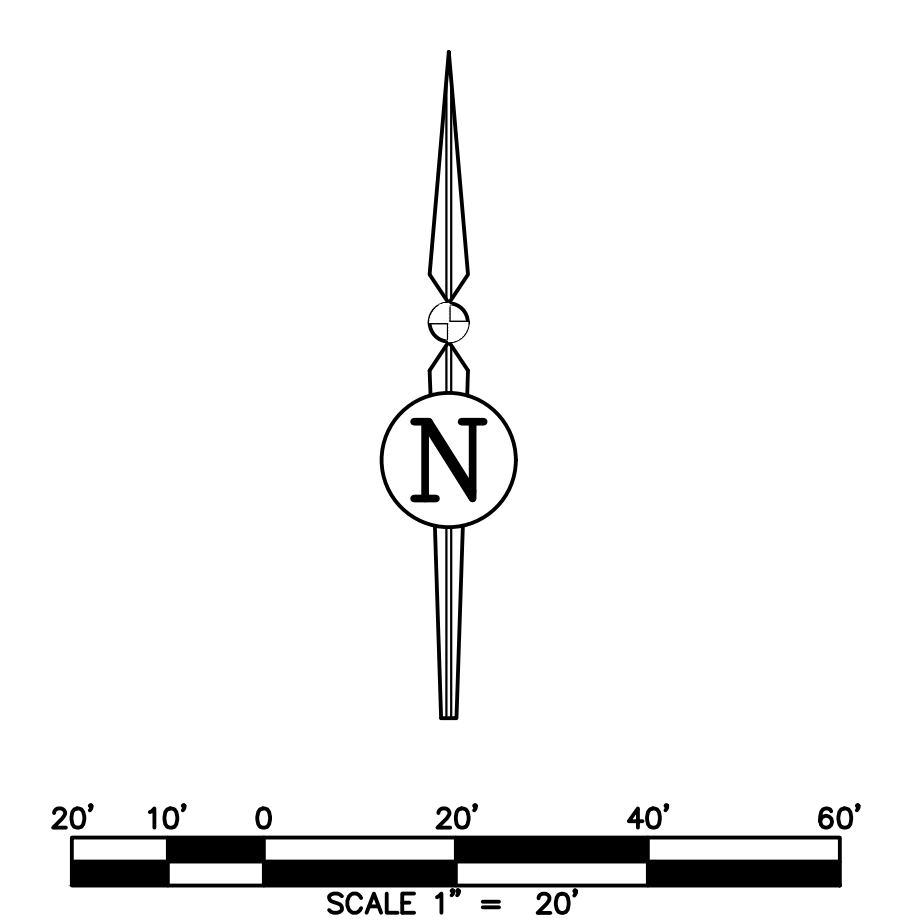
DATE: **JUNE 2025**
PROJECT NO: **0802-24-001**
SHEET NO: **C3.03**



WATER FITTING SCHEDULE

- ① 1 - 4 X 4 WET TAP
- ② 1 - 4" GATE VALVE
1 - 4 X 2 TEE
1 - 2" GATE VALVE
- ③ 1 - 4" PIV
1 - 4" DCBFP
- ④ 1 - 2" SINGLE WATER METER SERVICE CONNECTION (END OF MICANOPY WATER UTILITY AUTHORITY MAINTENANCE)
1 - 2" RPZBFP

CR-234
(RIGHT-OF-WAY VARIES)
BASED ON THE 2015 PLAT BOOK A AND
RIGHT-OF-WAY MAP OF MICANOPY BYPASS ROAD
TERRENCE BRANNAN LAND SURVEYOR INC. JOB #87-482



REVISIONS

| NO. | DATE | DESCRIPTION | DRWN | APPR |
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ENGINEER OF RECORD: **TIMOTHY J. BOEHLEIN, P.E.**
FLORIDA LICENSE NO. 96416

06/11/2025

STATE OF FLORIDA
PROFESSIONAL ENGINEER

JBPro
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Toll Free: (844) Go-JBPro | E-mail: contact@jbpro.com

SHEET TITLE: **UTILITY PLAN**

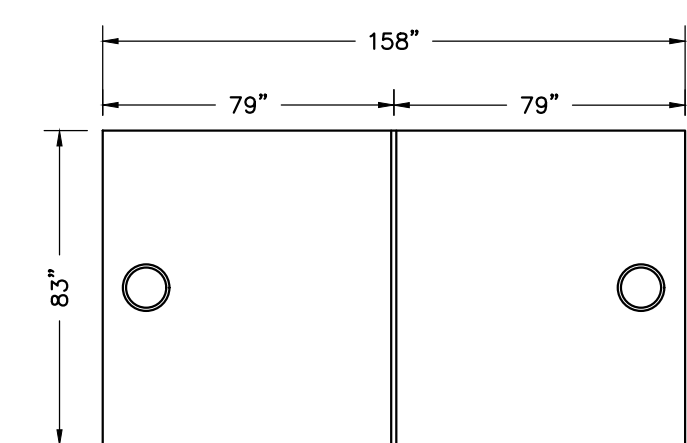
CLIENT: **MICANOPY AREA COOPERATIVE SCHOOL INC.**
MICANOPY, FL

PROJECT: **MACS PRE-K BUILDING EXPANSION**

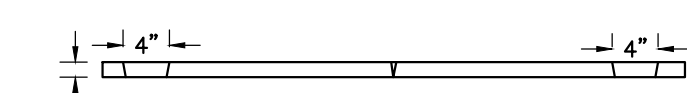
DATE: **JUNE 2025**

PROJECT NO.: **0802-24-001**

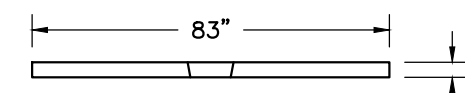
SHEET NO.: **C4.00**



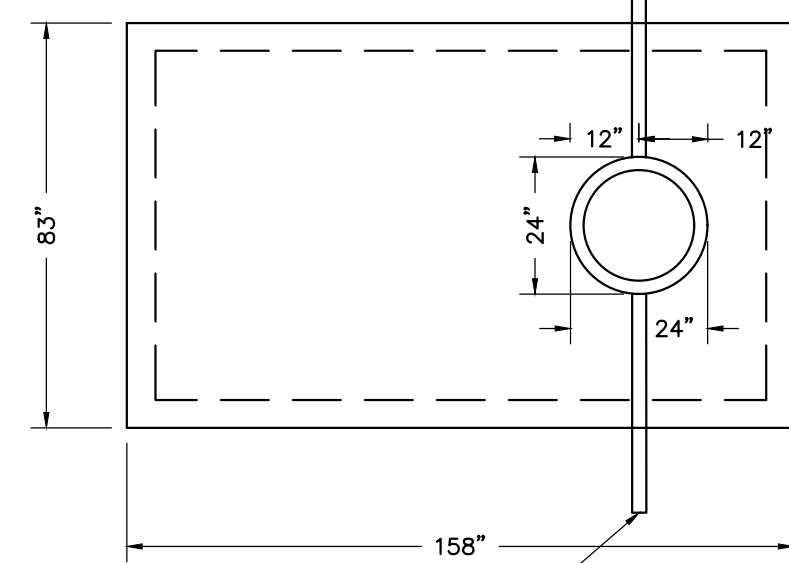
PLAN VIEW



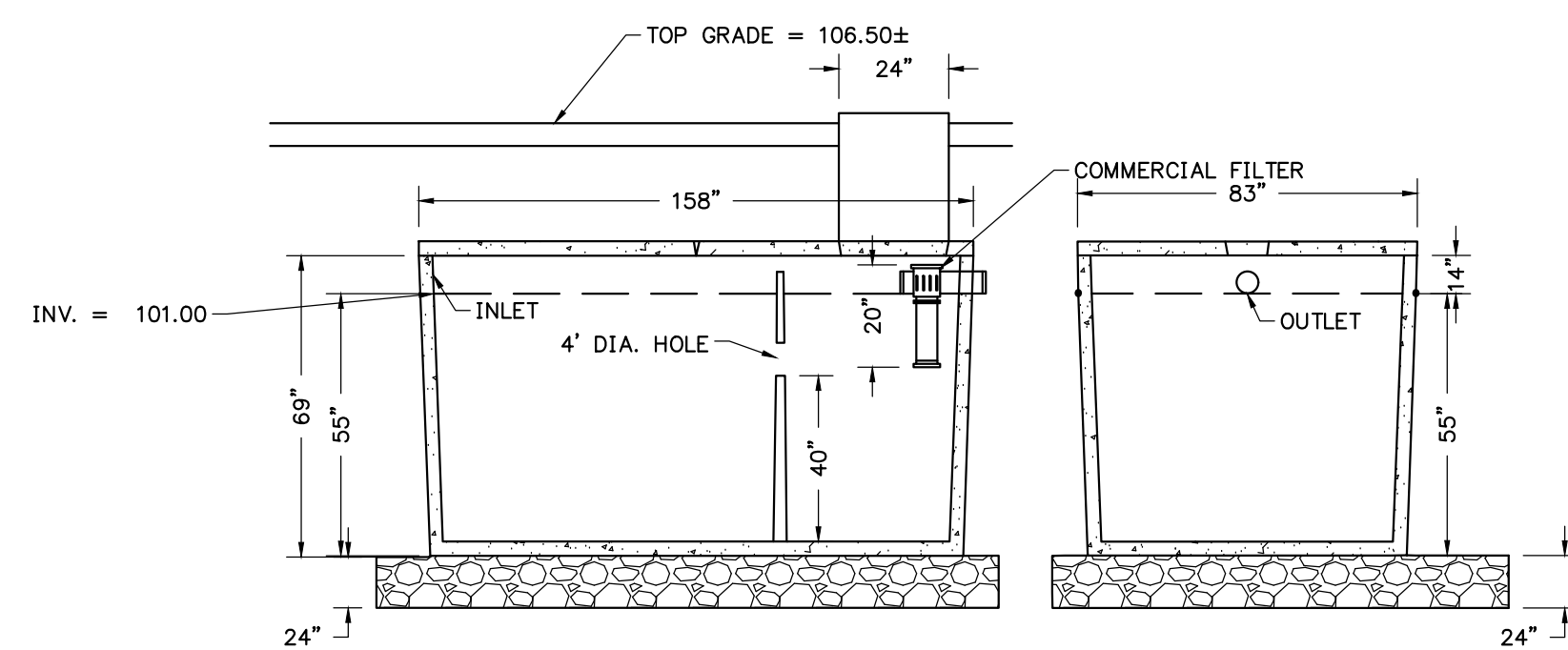
SIDE VIEW (LID)



END VIEW (LID)

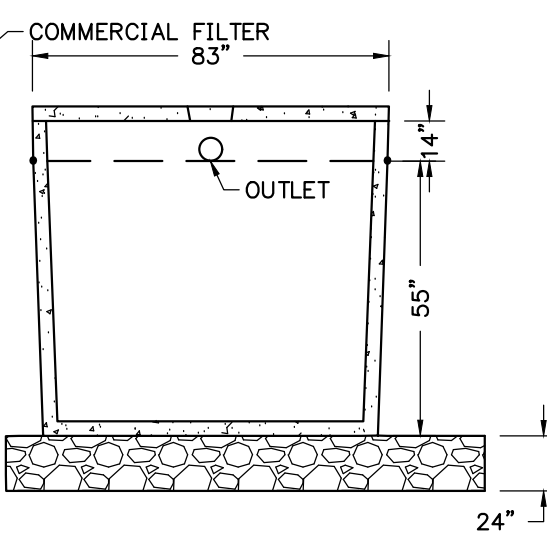


DOSING TANK HATCH COVER PLAN
N.T.S.

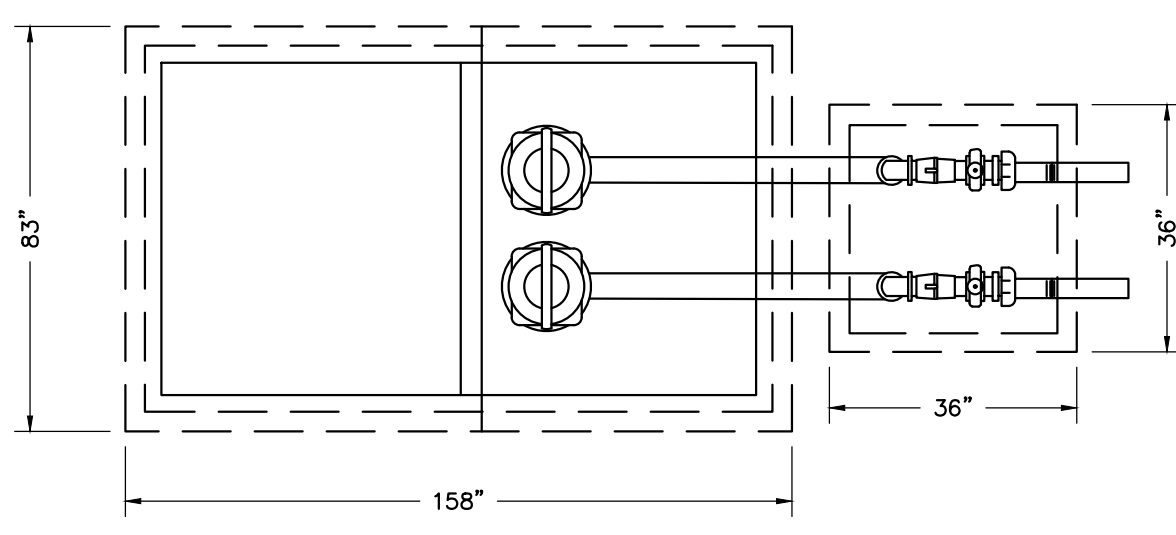


SIDE VIEW

2700 GALLON TANK
N.T.S.

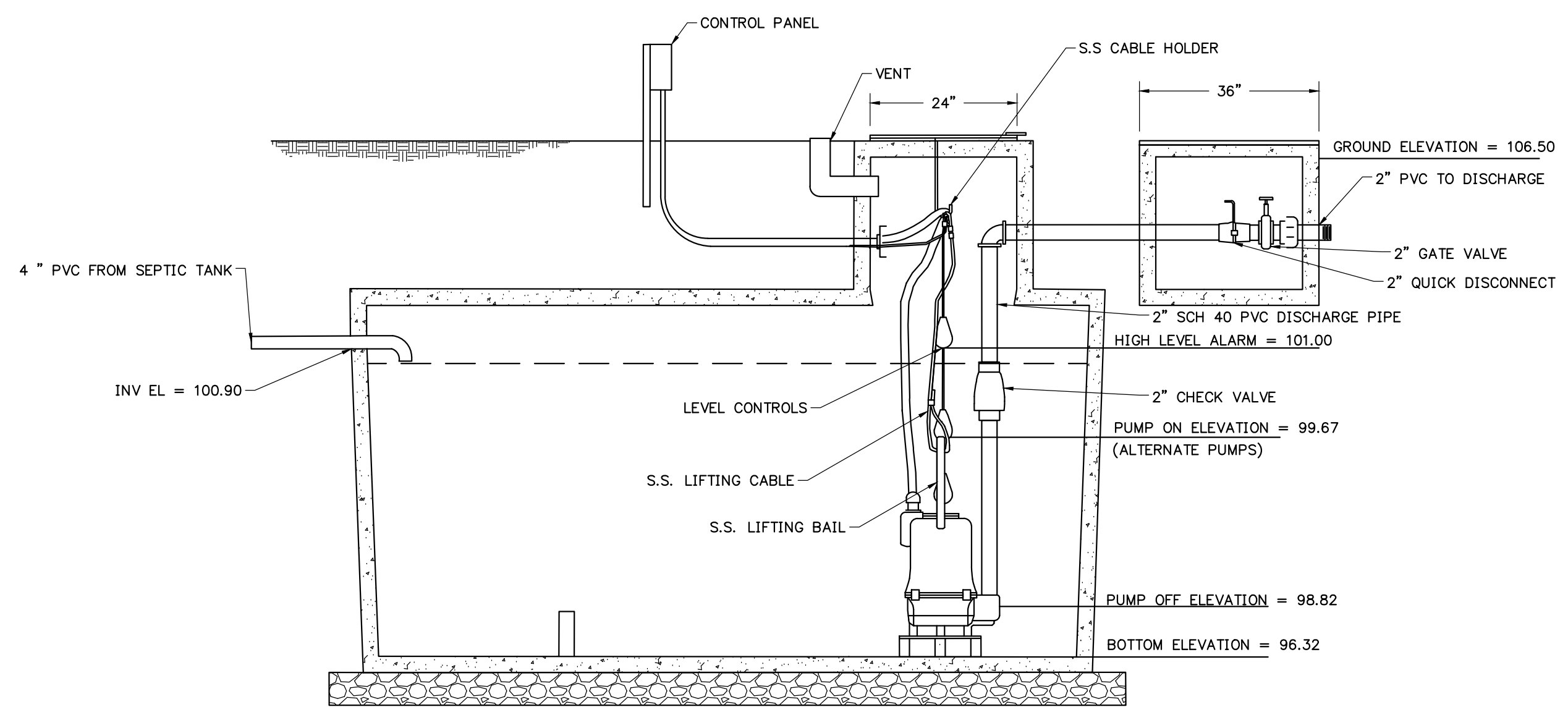


END VIEW

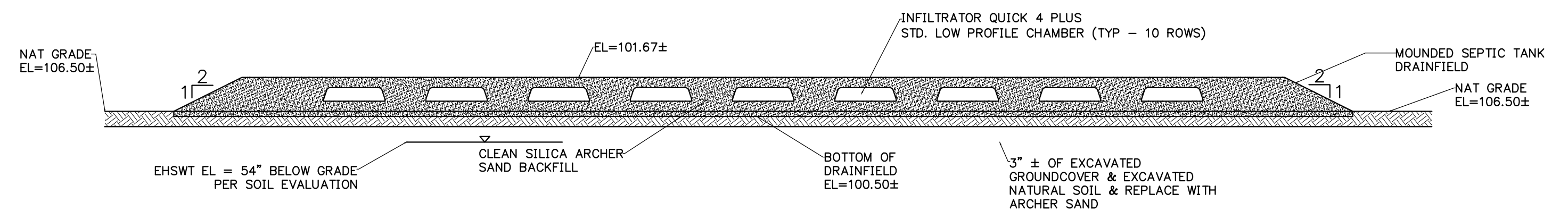


2700 GALLON DOSING TANK
N.T.S.

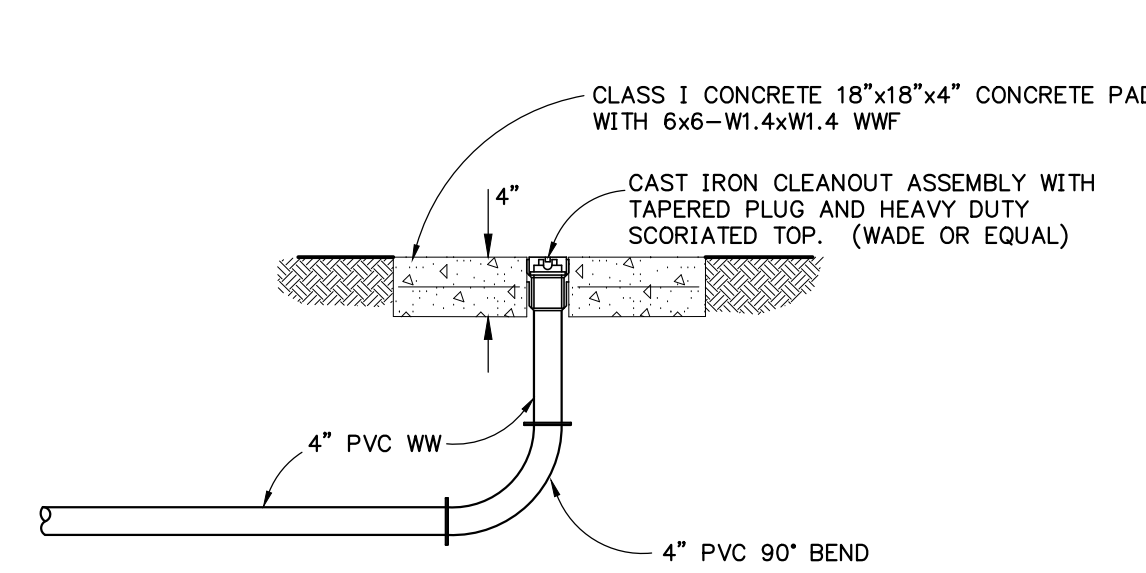
| PUMP CHARACTERISTICS | |
|--|---------------------------------------|
| TWO (2) EFFLUENT PUMPS SPD50-H - HYDROMATIC PUMPS 111 GPM @ 30.00' TDH | |
| MOTOR: | 1 HP, 3,450 RPM 1 PHASE, 230 VOLTS |
| DISCHARGE SIZE: | 2" VERTICAL |
| IMPELLER: | N/A |
| OPERATION: | AUTOMATIC |



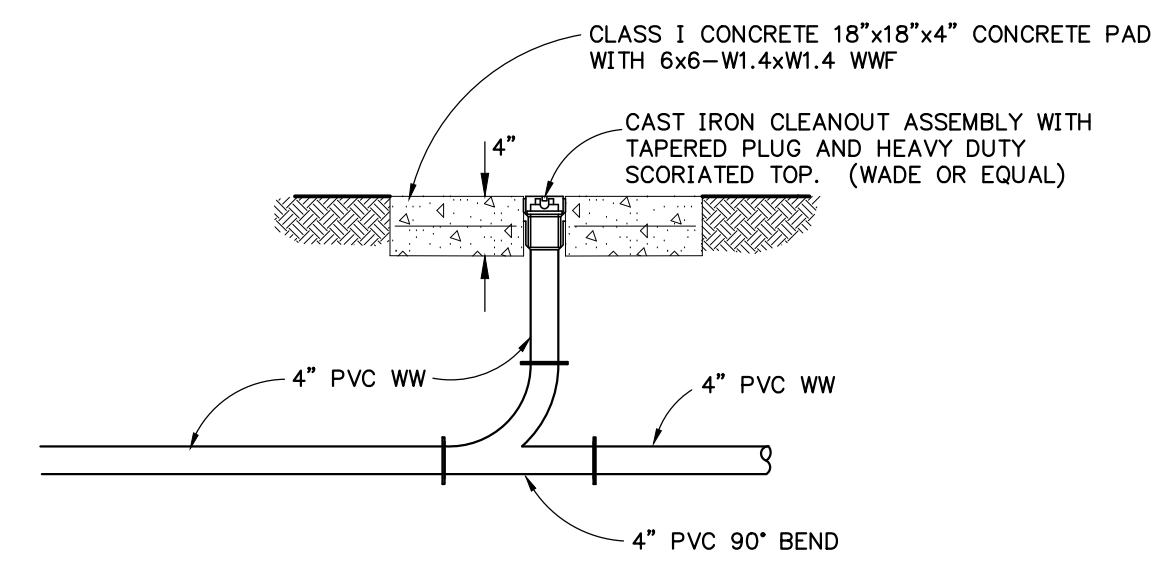
EFFLUENT PUMPS
N.T.S.



SYSTEM 1 DRAINFIELD SECTION



WASTEWATER END-LINE CLEANOUT DETAIL
N.T.S.



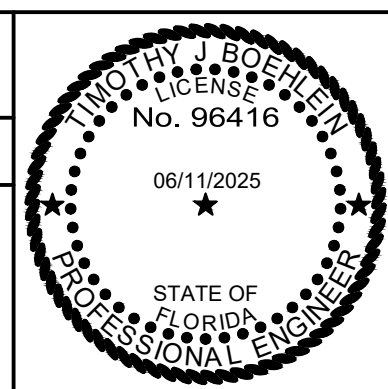
WASTEWATER IN-LINE CLEANOUT DETAIL
N.T.S.

FIRE PROTECTION NOTES

- THE DEVELOPMENT SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE. [GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-5(A) & (B)]
- FIRE HYDRANTS AND STABILIZED SURFACES SHALL BE IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES ON SITE. [GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-16.4.3)]
- IN-BUILDING PUBLIC SAFETY RADIO ENHANCEMENT SYSTEMS SHALL BE PROVIDED IN ALL BUILDINGS WHERE MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS IS NOT ACHIEVED AT A LEVEL DETERMINED BY THE AHJ. IT IS HIGHLY RECOMMENDED THAT DEVELOPERS EVALUATE AND ADDRESS THE POTENTIAL NEED FOR IBPES IN THE EARLY STAGES OF PROJECT PLANNING. FOR ADDITIONAL SPECIFIC REQUIREMENTS PERTAINING TO SIGNAL STRENGTH, COVERAGE, MAINTENANCE AND TESTING REFER TO NFPA 72-14.4.12 AND 24.5.2. [GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-11.10)]
- THE OWNER OR THE OWNER'S AUTHORIZED AGENT SHALL DEVELOP A FIRE SAFETY PROGRAM TO ADDRESS ALL ESSENTIAL FIRE AND LIFE SAFETY REQUIREMENTS FOR THE DURATION OF DEMOLITION, ALTERATION AND CONSTRUCTION. AS SPECIFIED IN THE FLORIDA FIRE PREVENTION CODE, INCLUDING NFPA 241, THE FIRE SAFETY PROGRAM SHALL INCLUDE AN EMERGENCY RESPONSE PLAN, AS WELL AS IDENTIFYING FIRE PREVENTION PRECAUTIONS, SITE AND BUILDING EMERGENCY ACCESS ROUTES, TEMPORARY AND PERMANENT WATER SUPPLIES, BUILDING EGRESS ROUTES, GOOD HOUSEKEEPING PRACTICES, AND FIRE PROTECTION SYSTEM INSTALLATION AND MAINTENANCE. [GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-16)]

| REVISIONS | | | |
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| NO. | DATE | DESCRIPTION | DRWN/ APPR |
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ENGINEER OF RECORD: **TIMOTHY J. BOEHLEIN, P.E.**
FLORIDA LICENSE NO. 96416



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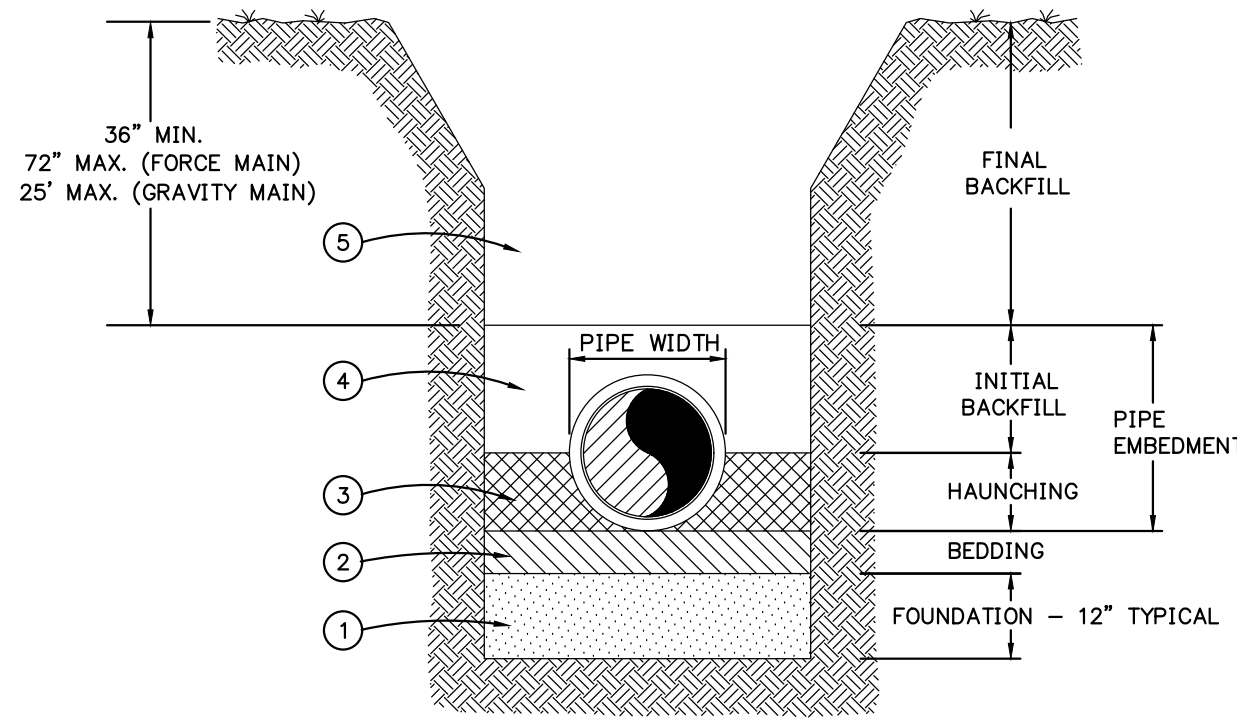
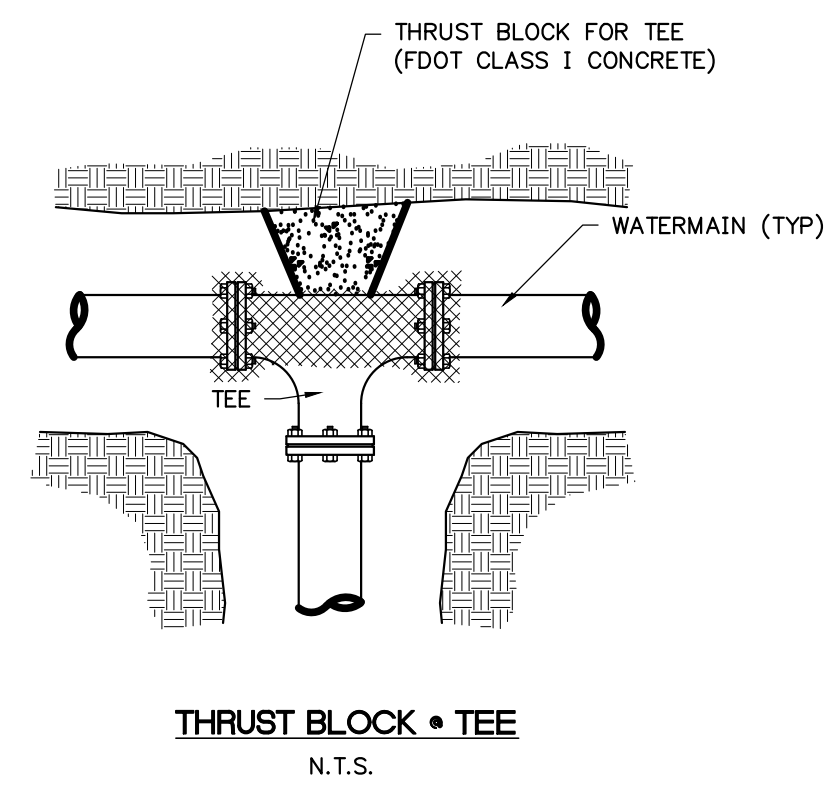
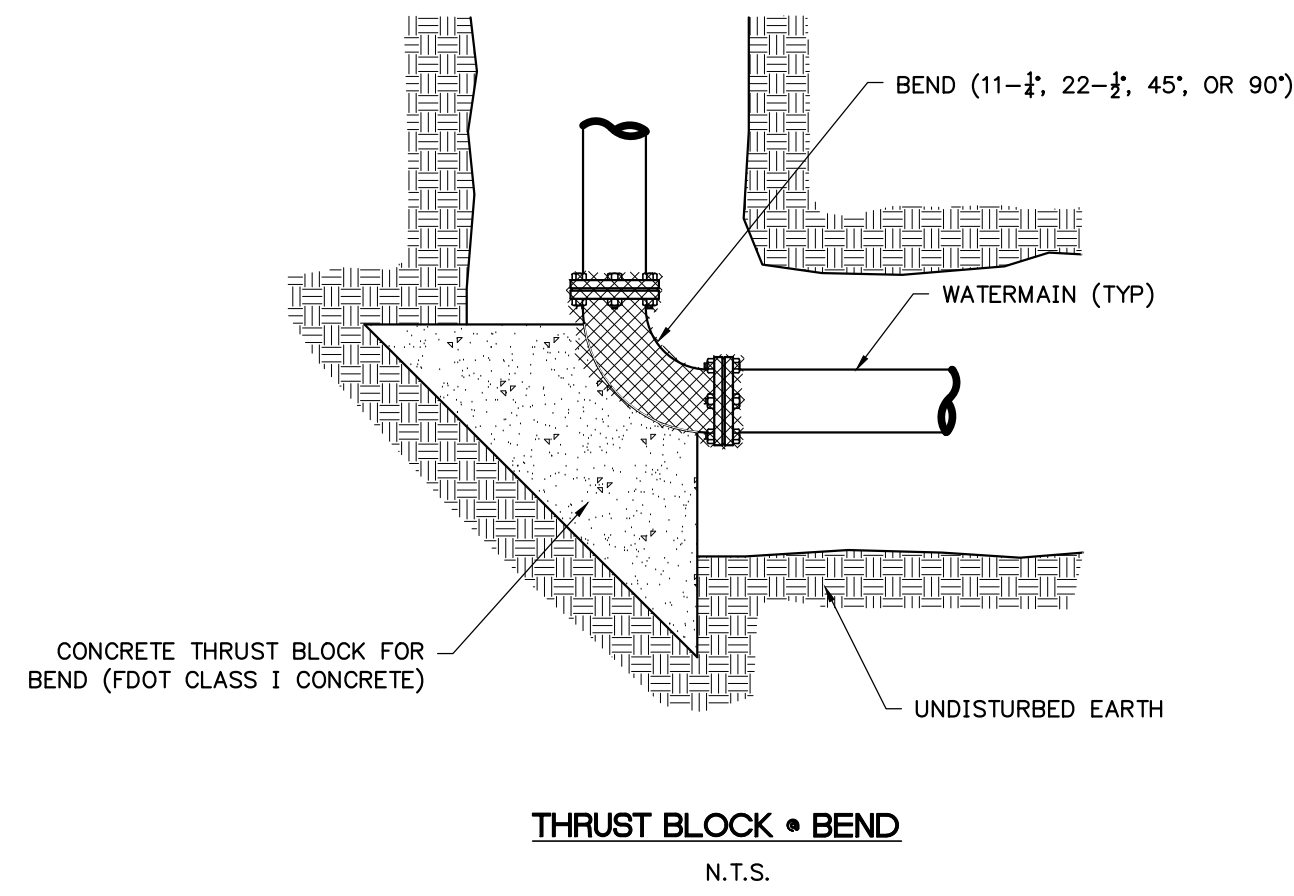
SHEET TITLE: **UTILITY DETAILS AND NOTES**

PROJECT: **MICANOPY AREA COOPERATIVE SCHOOL INC. MACS PRE-K BUILDING EXPANSION**

DATE: **JUNE 2025**

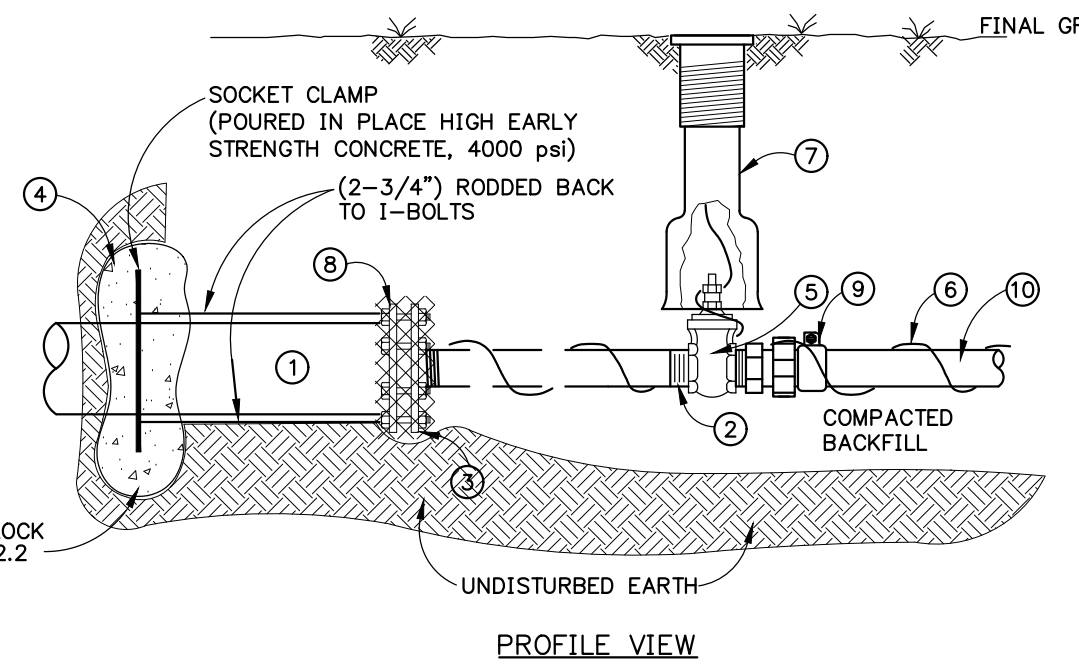
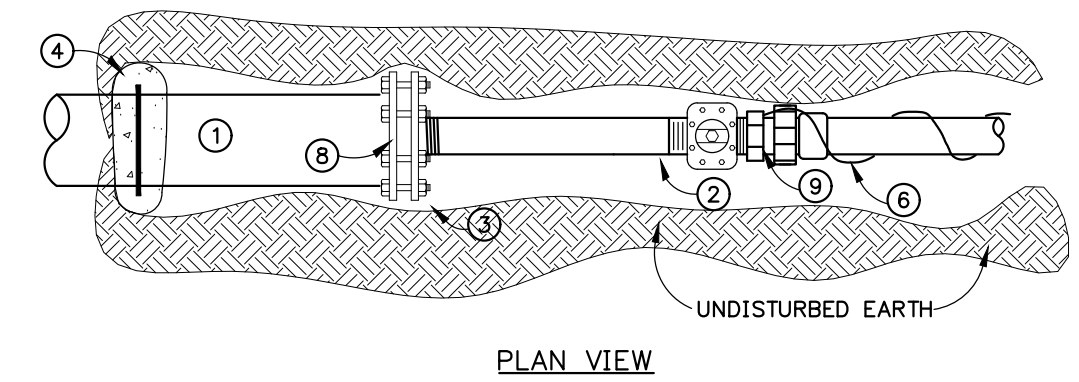
PROJECT NO: **0802-24-001**

SHEET NO: **C4.01**



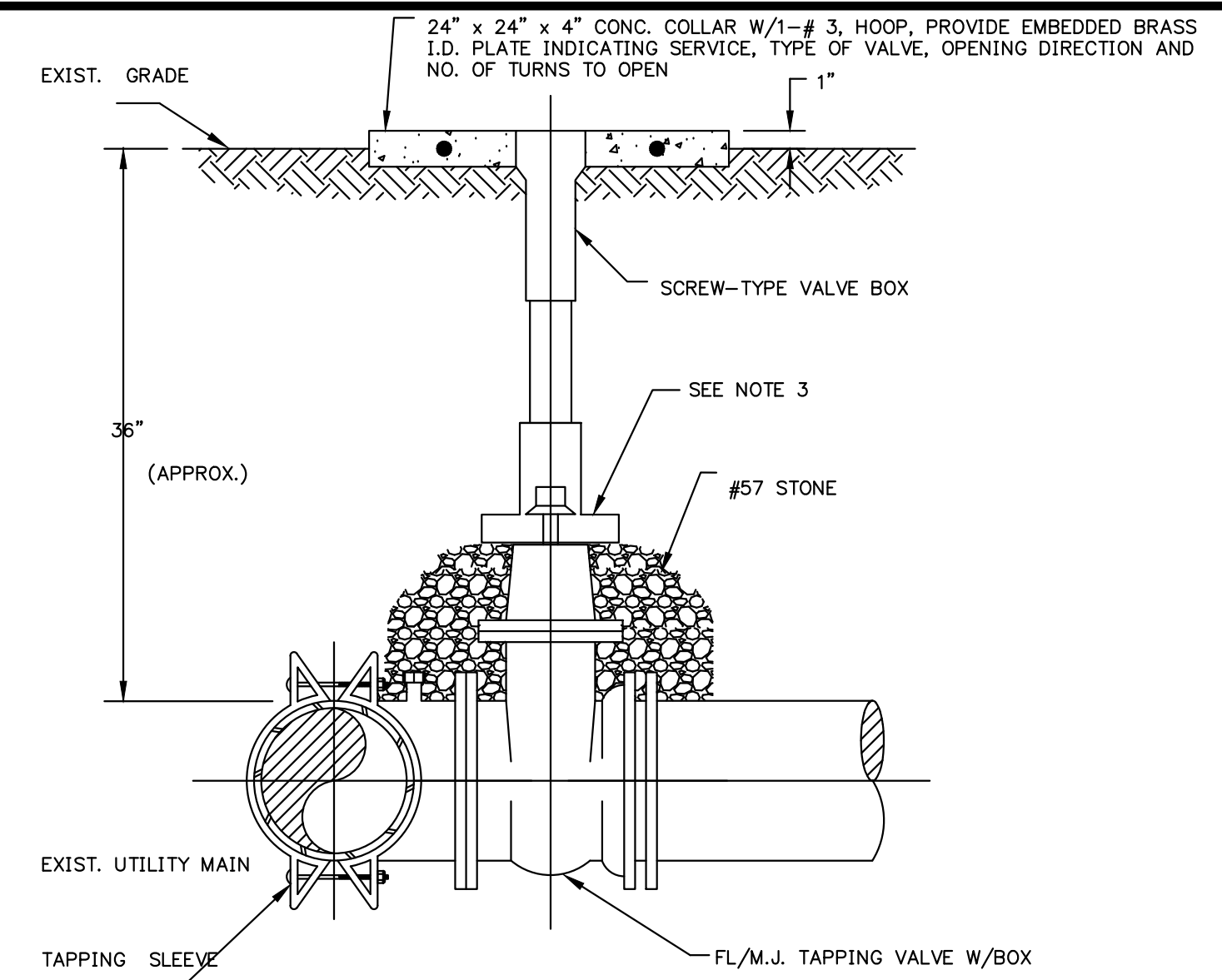
- NOTES:
1. A FOUNDATION MAY BE REQUIRED IN VERY POOR SOIL CONDITIONS. FIELD DETERMINATION WILL BE PROVIDED BY GRU INSPECTOR. TYPICAL FOUNDATION THICKNESS SHALL BE 12", BUT MAY VARY ACCORDING TO NATURAL MATERIAL.
 2. BEDDING IS REQUIRED PRIMARILY TO BRING THE TRENCH BOTTOM UP TO GRADE. BEDDING MATERIALS SHALL PROVIDE A UNIFORM AND ADEQUATE LONGITUDINAL SUPPORT UNDER THE PIPE. IN DRY SOIL CONDITIONS CLASS II OR CLASS III MATERIAL SHALL BE HAND PLACED 4" TO 6", LIGHTLY COMPACTED, UNIFORM AND NOT FINER THAN THE FOUNDATION MATERIAL. IN WET SOIL CONDITIONS CLASS I, CLASS II OR CLASS III SHALL BE HAND PLACED, 4" TO 6", UNIFORM AND NOT FINER THAN THE FOUNDATION MATERIAL. WHEN UTILIZING CLASS I MATERIAL, SUFFICIENT AMOUNTS OF CLASS II OR CLASS III MATERIAL SHALL BE ADDED TO FILL ALL VOIDS CREATED BY THE CLASS I MATERIAL.
 3. HAUNCHING MATERIAL SHALL BE HAND PLACED TO THE SPRINGLINE OF THE PIPE. CLASS II OR CLASS III MATERIAL SHALL BE CONSOLIDATED UNDER THE PIPE AND HAND TAMPED TO PROVIDE ADEQUATE SIDE SUPPORT.
 4. INITIAL BACKFILL MATERIAL SHALL BE CLASS II OR CLASS III. IT SHALL BE HAND PLACED TO 12", ABOVE THE TOP OF THE PIPE. THE SOIL SHALL BE CONSOLIDATED BY HAND TAMPING OR WALKING THE SOIL IN PLACE.
 5. FINAL BACKFILL MATERIAL MAY BE MACHINE PLACED. THE MATERIAL SHALL BE CLASS II OR CLASS III MATERIAL. CLASS IV MATERIAL MAY BE INSTALLED OUTSIDE OF THE ROADWAY. FINAL BACKFILL UNDER ROADWAYS MAY REQUIRE SPECIAL COMPACTION AND DENSITY TESTS.

BACKFILLING REQUIREMENTS



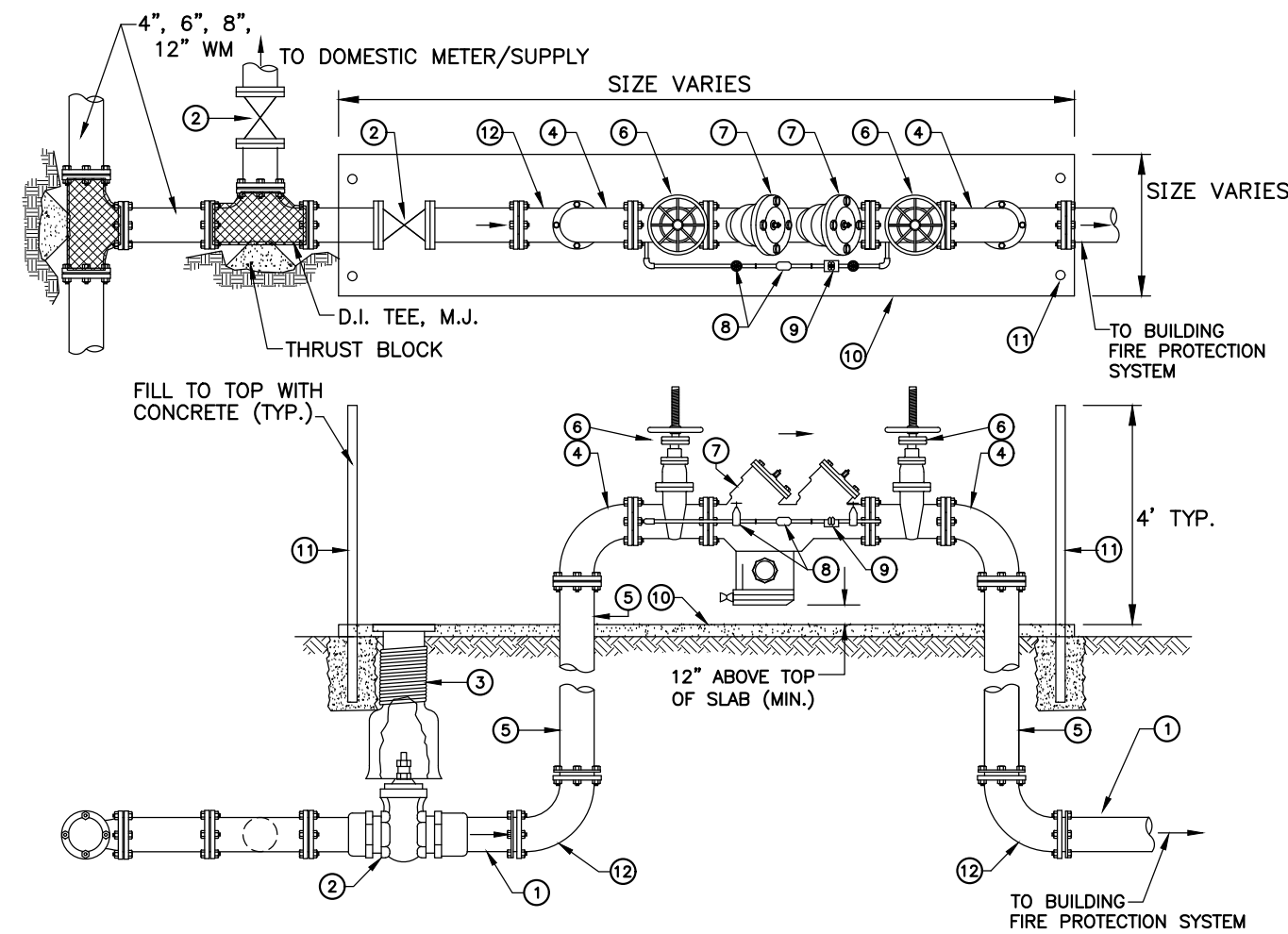
| MATERIALS | |
|-----------|---|
| ITEM | DESCRIPTION |
| 1 | 4", 6", 8", 12" PIPE, D.I. OR PVC (DR-18) |
| 2 | 2" x 6" L BRASS NIPPLE INTO VALVE |
| 3 | 2" (TAP) CAP D.I. (THREADED) |
| 4 | CONCRETE THRUST BLOCK (4000 psi) |
| 5 | GATE VALVE, SQUARE NUT, RESILIENT WEDGE |
| 6 | WIRE, COPPER, INSULATED PURPLE, #10 AWG |
| 7 | BOX, VALVE |
| 8 | EBAA MEGA LUG |
| 9 | MIP x PVC COMPRESSION COUPLING FORD CATALOG # 87-77 OR APPROVED EQUAL |
| 10 | PVC PIPE (SCH 80) |

GATE VALVE



- NOTES:
1. RESILIENT WEDGE GATE VALVE SHALL BE EPOXY COATED.
 2. TAPPING SLEEVES SHALL BE STAINLESS STEEL.
 3. SELF-CENTERING ALIGNMENT RING EQUIVALENT TO AMERICAN FLOW CONTROL.

WET TAP DETAIL N.T.S.



| MATERIALS | |
|-----------|---|
| ITEM | DESCRIPTION |
| 1 | 2", 3", 4", 6", 8", 10" FIRE MAIN |
| 2 | 2", 3", 4", 6", 8", 10" GATE VALVE, FL X FL (END GRU MAINTENANCE) |
| 3 | VALVE BOX, C.I. |
| 4 | 2", 3", 4", 6", 8", 10" BEND 90° FL X FL |
| 5 | 2", 3", 4", 6", 8", 10" DUCTILE IRON PIPE-FLANGE X P.E. |
| 6 | 2", 3", 4", 6", 8", 10" OS & Y TYPE GATE VALVE |
| 7 | 2", 3", 4", 6", 8", 10" BACKFLOW PREVENTOR (DOUBLE CHECK OR REDUCED PRESSURE) |
| 8 | 3/4" SHUTOFF VALVE AND DETECTION BYPASS METER |
| 9 | 3/4" DETECTOR CHECK VALVE |
| 10 | 4" CONCRETE SLAB (3500 PSI) |
| 11 | 4" GALVANIZED STEEL PIPE (SCH 40) GUARD POST - PAINTED OSHA YELLOW |
| 12 | 2", 3", 4", 6", 8", 10" D.I. 90° BEND M.J. WITH EBAA MEGA LUG |

BACKFLOW PREVENTER N.T.S.

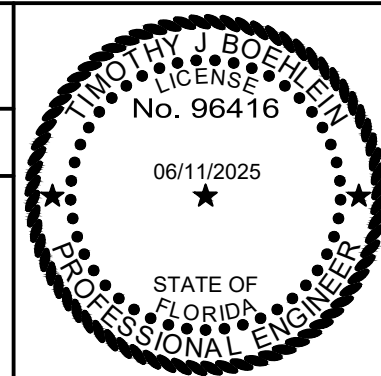
GENERAL NOTES

1. FREEZE PROTECTION SHALL BE PROVIDED ON ALL BACKFLOW PREVENTORS.
2. OPENINGS AND OUTLETS SHALL BE PROTECTED BY A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY OR A REDUCED PRESSURE PRINCIPLE FIRE PROTECTION BACKFLOW PREVENTION ASSEMBLY ON POTABLE WATER SUPPLIES.
3. PIPING IN A PLUMBING SYSTEM SHALL BE INSTALLED SO AS TO PREVENT STRAINS AND STRESSES THAT EXCEED THE STRUCTURAL STRENGTH OF THE PIPE. WHERE NECESSARY, PROVISIONS SHALL BE MADE TO PROTECT PIPING FROM DAMAGE RESULTING FROM EXPANSION, CONTRACTION AND STRUCTURAL SETTLEMENT.
4. HANGERS, ANCHORS AND SUPPORTS SHALL SUPPORT THE PIPING AND THE CONTENTS OF THE PIPING. HANGERS AND STRAPPING MATERIAL SHALL BE OF APPROVED MATERIAL THAT WILL NOT PROMOTE GALVANIC ACTION.

REVISIONS

| NO. | DATE | DESCRIPTION | DRWN | APPR |
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| ENGINEER OF RECORD: | TIMOTHY J. BOEHLEIN, P.E. FLORIDA LICENSE NO. 96416 |
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SHEET TITLE:

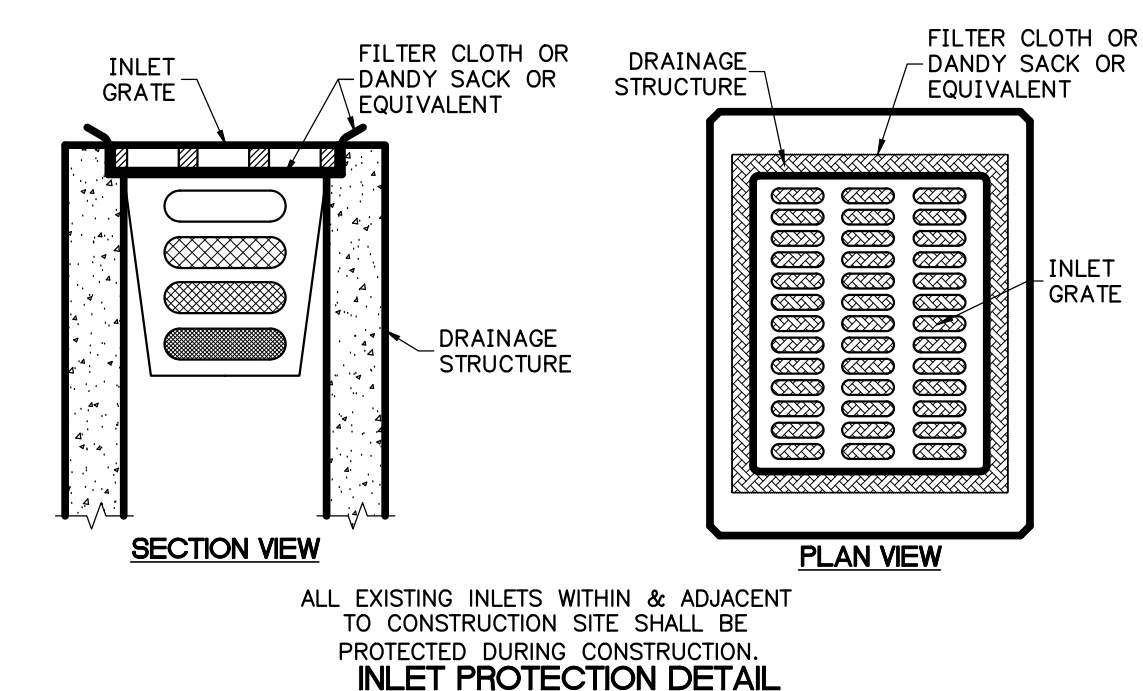
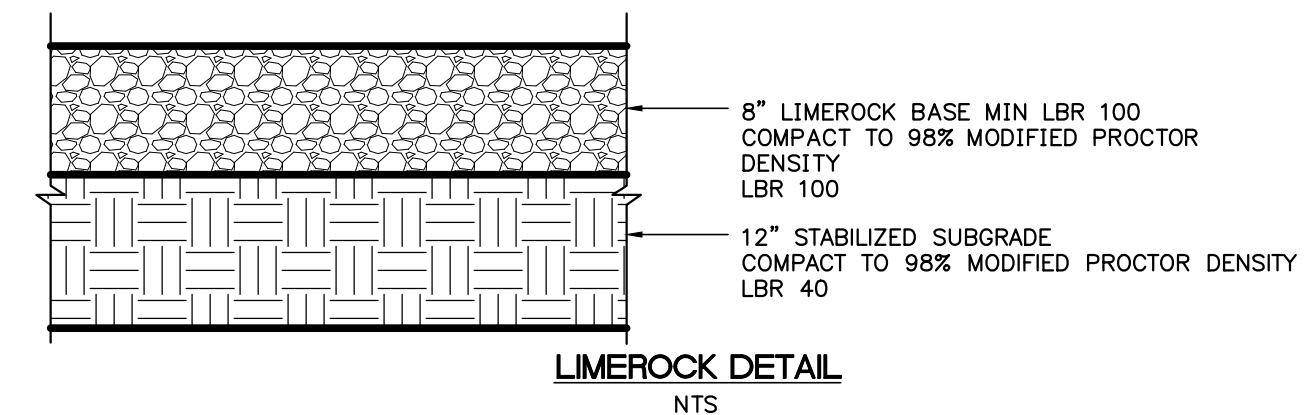
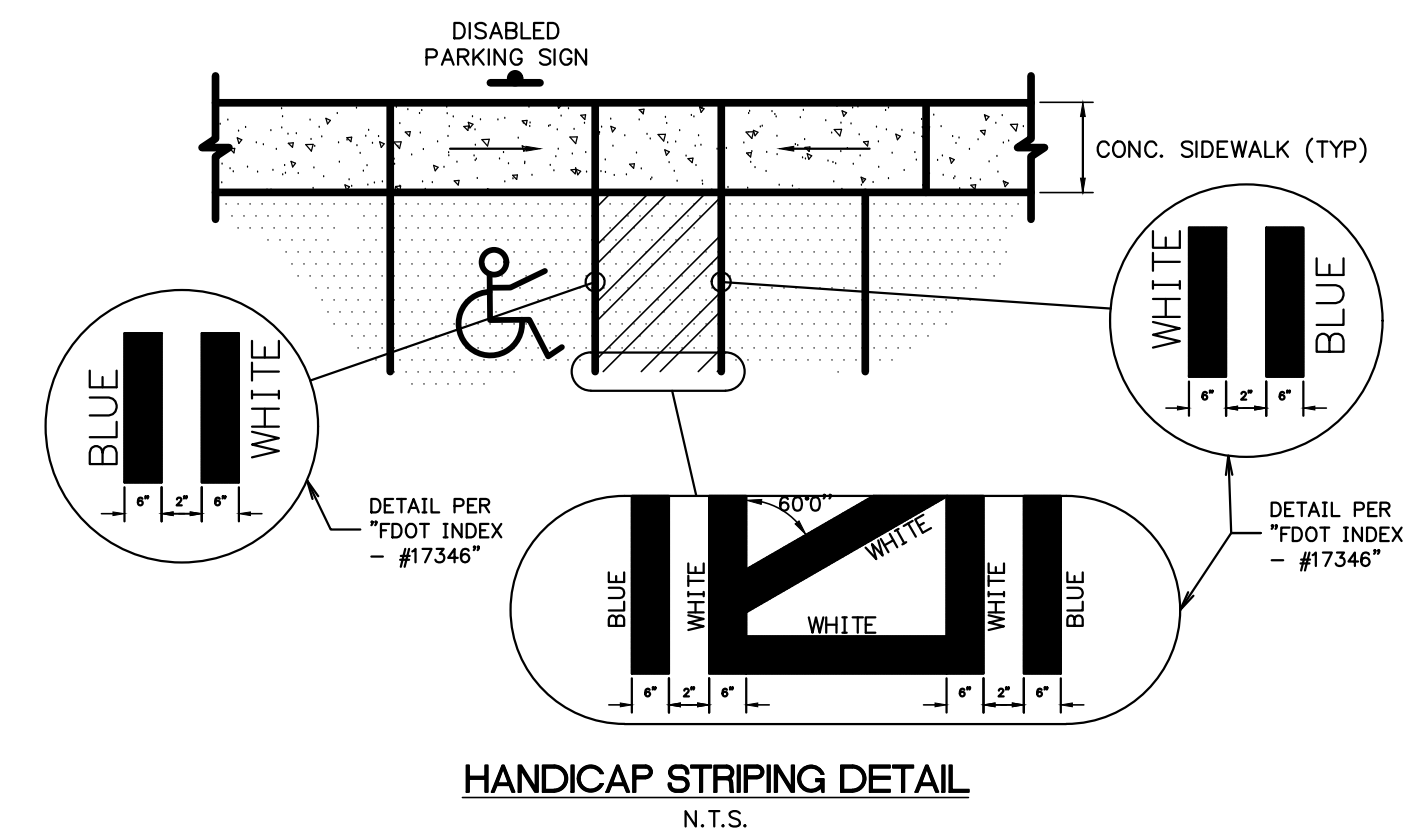
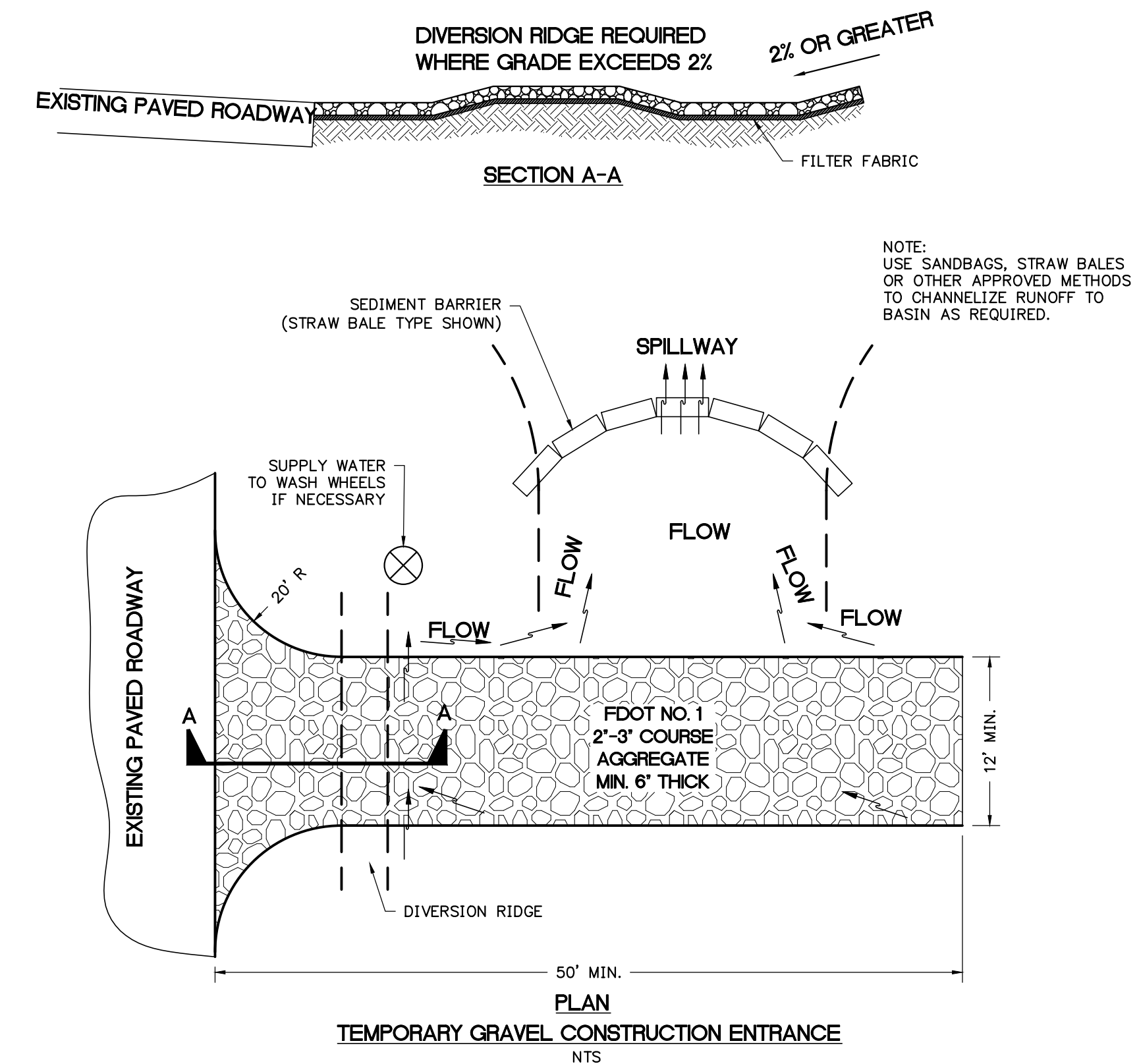
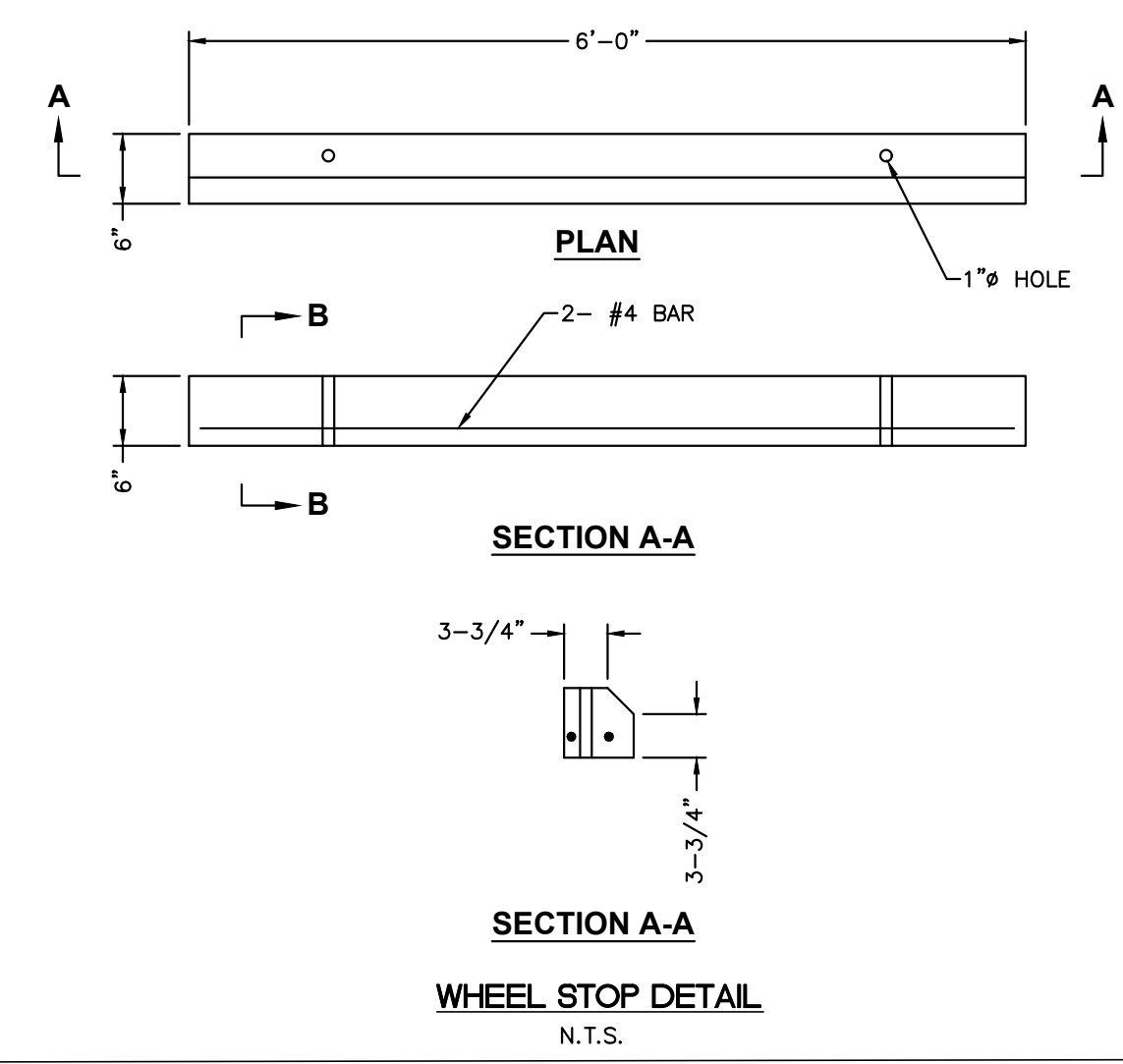
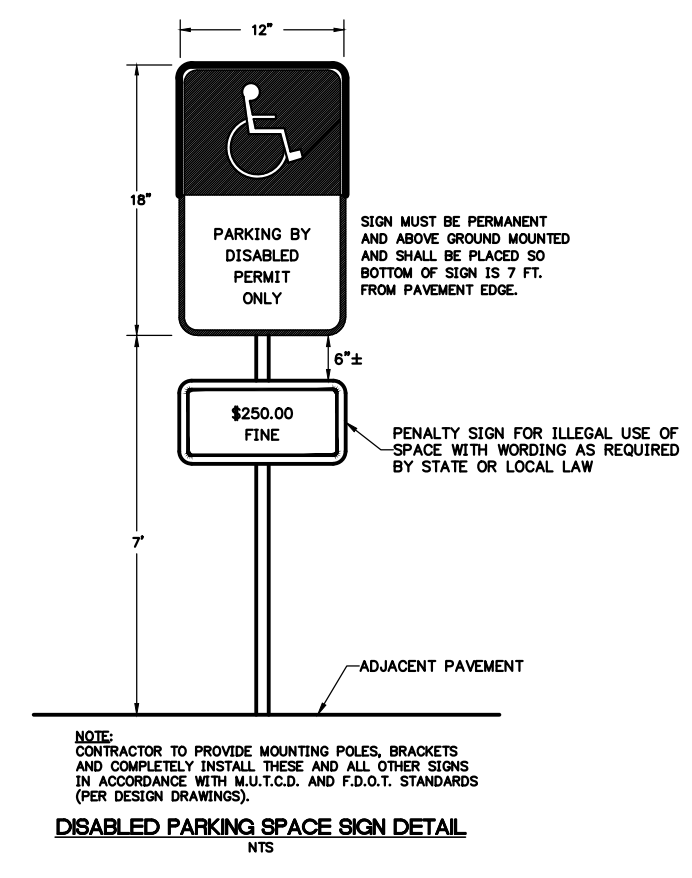
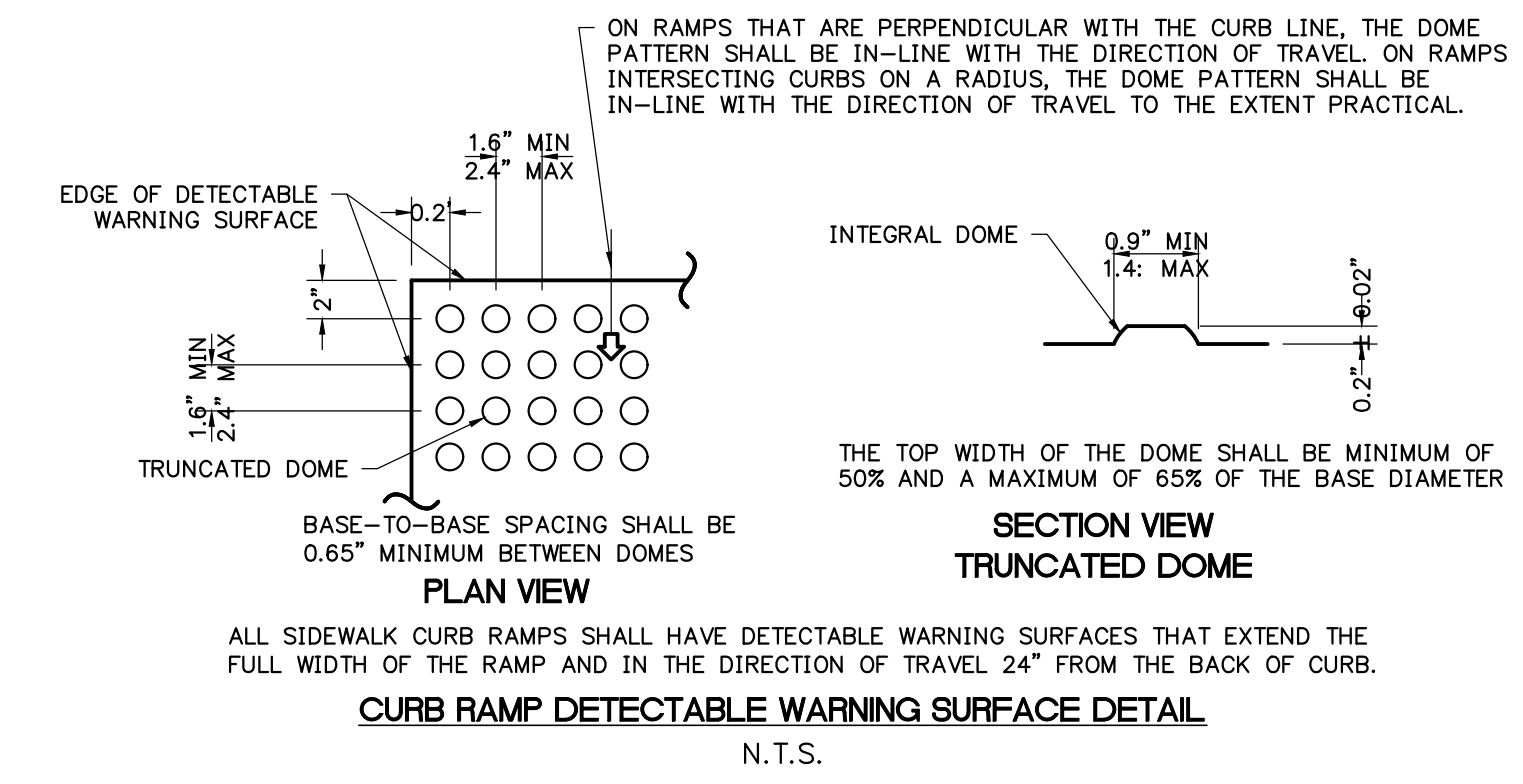
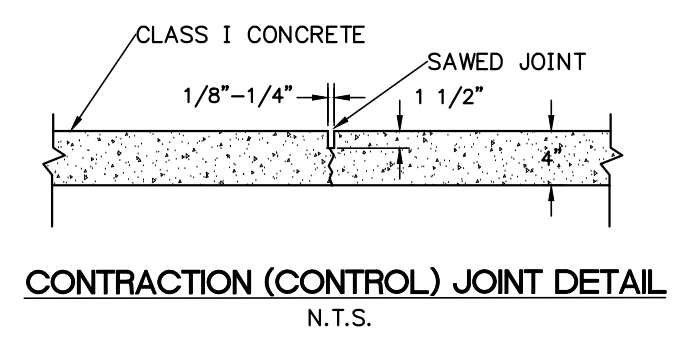
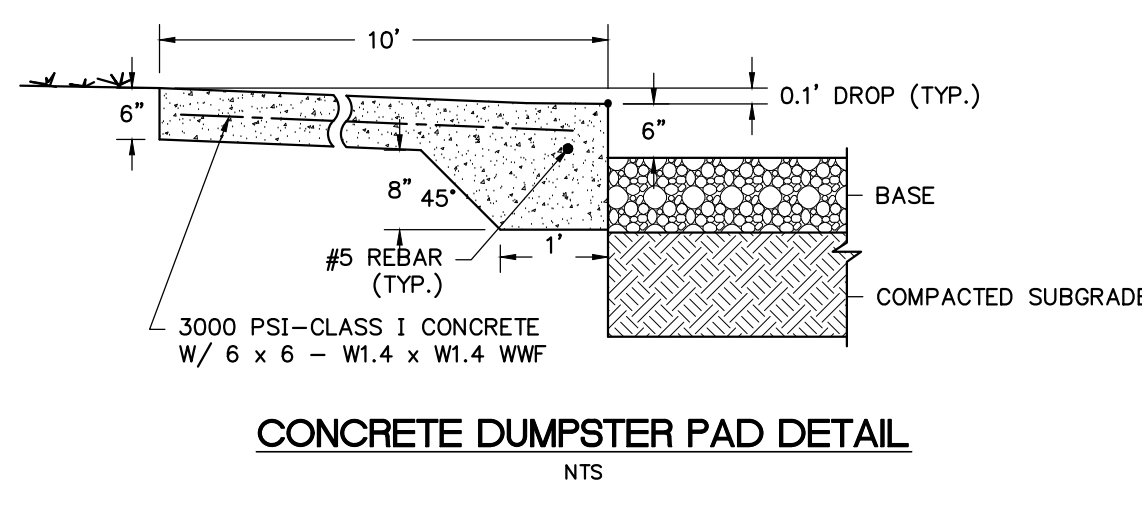
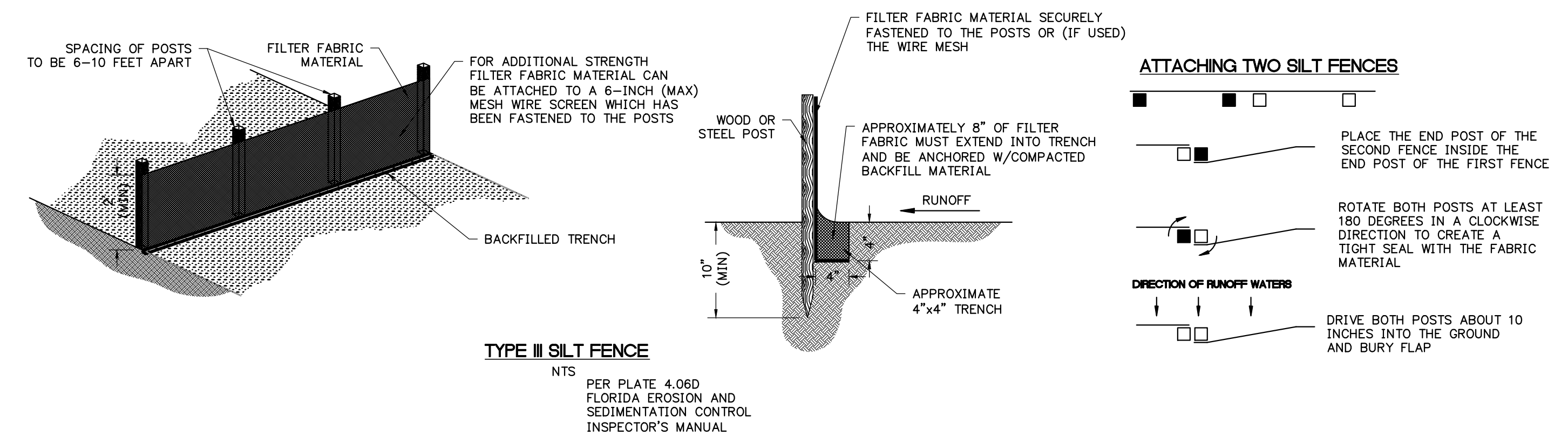
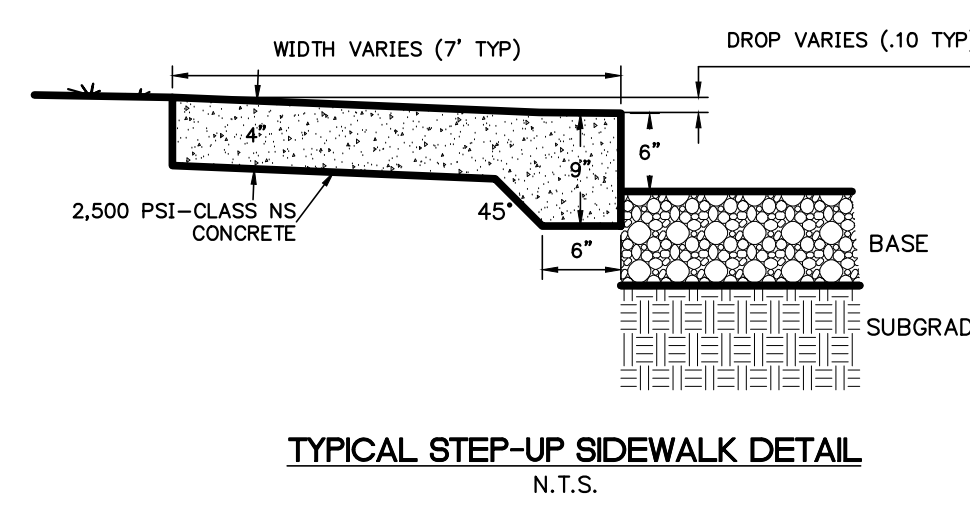
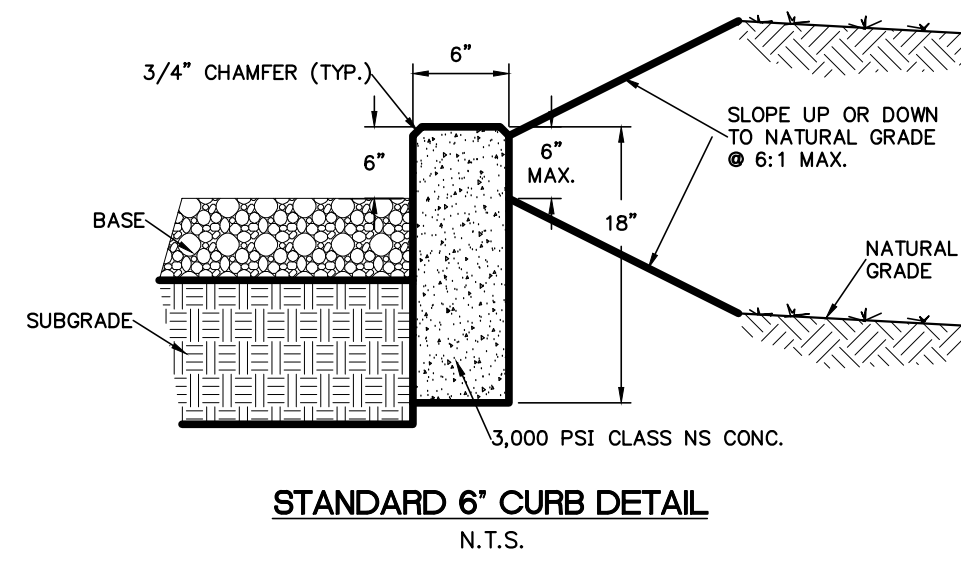
UTILITY DETAILS AND NOTES

CLIENT: MICANOPY AREA COOPERATIVE SCHOOL INC.
MICANOPY, FL

PROJECT: MACS PRE-K BUILDING EXPANSION

DATE: JUNE 2025
PROJECT NO: 0802-24-001
SHEET NO:

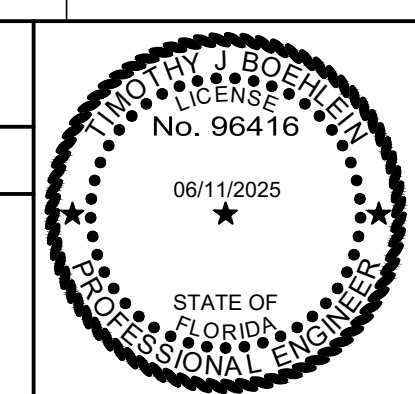
C4.02



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

| REVISIONS | | | | DRWN | APPR |
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| NO. | DATE | DESCRIPTION | | | |
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ENGINEER OF RECORD: **TIMOTHY J. BOEHLEIN, P.E.**
FLORIDA LICENSE NO. 96416



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SHEET TITLE: **DETAILS AND NOTES**
CLIENT: **MICANOPY AREA COOPERATIVE SCHOOL INC.**
PROJECT: **MACS PRE-K BUILDING EXPANSION**
MICANOPY, FL

DATE: **JUNE 2025**
PROJECT NO.: **0802-24-001**
SHEET NO.: **C5.00**

SUPPLEMENTAL LANDSCAPE ARCHITECT NOTES FOR SOIL AMENDMENTS AND LANDSCAPE INSTALLATION (CONTINUED):

PART III. DEFINITIONS AND BASIS OF DESIGN FOR LANDSCAPE PRODUCTS.

A. DEFINITIONS: THE FOLLOWING PROVIDES SPECIFIC NOTES FOR VEGETATIVE (A.K.A. LANDSCAPE) INSTALLATION. THE FOLLOWING DEFINITIONS SHALL APPLY TO THESE LANDSCAPE ARCHITECTURAL PLAN AND DETAIL DRAWINGS:

- BOVED TREES: A CONTAINER ROOT BALL PACKAGE MADE OF WOOD IN THE SHAPE OF A FOUR-SIDED BOX.
- CALIPER: TRUNK CALIPER (A.K.A. TRUNK DIAMETER) IS MEASURED SIX INCHES (6") FROM THE GROUND ON TREES UP TO AND INCLUDING FOUR INCHES (4") IN CALIPER, AND TWELVE INCHES (12") ABOVE THE GROUND FOR LARGER TREES.
- CLEAR TRUNK: AS APPLIED TO PALM TREES, A MEASUREMENT FROM THE TOP OF THE ROOT BALL TO THE POINT WHERE THE LOWEST UNTRIMMED LEAF'S PETIOLE DIVERGES FROM THE TRUNK.
- CONTAINER PLANT: PLANTS THAT ARE GROWN IN AND/OR ARE CURRENTLY IN A CONTAINER INCLUDING BOXED TREES.
- DEFECTIVE PLANT: ANY PLANT THAT FAILS TO MEET THE PLANT QUALITY REQUIREMENT OF THE LANDSCAPE ARCHITECTURAL NOTES, PLAN AND DETAIL DRAWINGS.
- DIAMETER AT BREAST HEIGHT (DBH): DIAMETER OF A TREE TRUNK AT BREAST HEIGHT, CONSIDERED FOUR-AND-OHALF FOOT (4½") FROM THE GROUND. USED TO MEASURE EXISTING TREES ON A PROJECT SITE; THIS IS NOT AN APPROPRIATE METHOD FOR MEASURING NURSERY TREES.
- DRIP LINE: IMAGINARY LINE DEFINED BY THE BRANCH SPREAD OF A SINGLE OR GROUP OF PLANTS PROJECTED ONTO THE GROUND; SPECIFICALLY APPLIED TO TREES.
- FIELD GROWN TREES OF BALLED AND BURLAPPED (BB&B): TREES GROWING IN FIELD SOIL FOR AT LEAST TWELVE (12) MONTHS PRIOR TO HARVEST.
- FLORIDA-FRIENDLY LANDSCAPING (FFL™): A FLORIDA-WIDE PROGRAM, BASED ON FLORIDA STATUTE 373.185, OF NINE (9) PRINCIPALS PROMOTING SUSTAINABLE ALTERNATIVES TO CONVENTIONAL LANDSCAPING, PROVIDING GUIDANCE ON LOW IMPACT, ENVIRONMENTALLY FRIENDLY, SCIENCE-BASED LANDSCAPE PRACTICES THAT USE LESS WATER AND REDUCE POLLUTANT LOADING TO STATE WATERS.
- HARDENED OFF FIELD GROWN TREE: ROOTS GROWING THROUGH BURLAP INDICATE TREE HAS OVERCOME STRESS ASSOCIATED WITH DIGGING THE TREE. THIS TREE WILL NOT DIE DUE TO THE STRESS ASSOCIATED WITH DIGGING. IF THIS TREE DIES IN THE LANDSCAPE, IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE TREE, NOT THE NURSERY.
- HEALTHY: PLANTS THAT ARE GROWING IN A CONDITION THAT EXPRESSES LEAF SIZE, CROWN DENSITY, COLOR, AND WITH ANNUAL GROWTH RATES TYPICAL OF THE SPECIES AND CULTIVAR'S HORTICULTURAL DESCRIPTION, ADJUSTED FOR THE PLANTING SITE SOIL, DRAINAGE, AND WEATHER CONDITIONS.
- INVASIVE PLANT: PLANT SPECIES, GENERALLY ALIEN TO THE STATE OF FLORIDA, WHOSE INTRODUCTION OR CONTINUED CULTIVATION DOES, OR IS LIKELY, TO CAUSE ECONOMIC OR ENVIRONMENTAL HARM OR HARM TO HUMAN HEALTH.
- KINKED ROOT: A ROOT WITHIN THE ROOT PACKAGE THAT BENDS MORE THAN NINETY (90) DEGREES.
- LANDSCAPE MAINTENANCE: ACTIONS THAT PRESERVE THE HEALTH OF PLANTS AFTER INSTALLATION AND AS DEFINED IN THIS SPECIFICATION.
- MULCH: CAN BE WOOD CHIPS, BARK, STRAW, PINE NEEDLES, LEAVES, NON-ORGANIC SUBSTANCES, AND SHREDDED RUBBER APPLIED TO THE SOIL SURFACE AROUND PLANTS TO CREATE A FAVORABLE ENVIRONMENT FOR GROWTH BY RETAINING MOISTURE, SUPPRESSING WEEDS, REGULATING TEMPERATURE, AND ENRICHING SOIL.
- MULCH, PINE STRAW: MULCH MADE FROM THE FRESH, UNDECOMPOSED PINE NEEDLES RAKED FROM A FOREST FLOOR.
- MULCH, WOOD: MULCH MADE FROM GROUND TREES AND WOODY BRUSHES.
- NORMAL: THE PREVAILING PROTOCOL OF INDUSTRY STANDARD(S).
- REASONABLE AND REASONABLY: WHEN USED IN THIS SPECIFICATION RELATIVE TO PLANT QUALITY, IT IS INTENDED TO MEAN THAT THE CONDITIONS CITED WILL NOT AFFECT THE ESTABLISHMENT OR LONG-TERM STABILITY, HEALTH, OR GROWTH OF THE PLANT. THESE NOTES RECOGNIZES THAT NURSERIES CANNOT PRODUCE PLANTS FREE OF ALL DEFECTS, BUT THAT SOME ACCEPTED INDUSTRY PROTOCOLS AND STANDARDS RESULT IN PLANTS UNACCEPTABLE TO THIS PROJECT.
 - WHEN REASONABLE OR REASONABLY IS USED IN RELATION TO OTHER ISSUES SUCH AS WEEDS, DISEASED, INSECTS, IT SHALL MEAN AT LEVELS LOW ENOUGH THAT NO TREATMENT WOULD BE REQUIRED WHEN APPLYING RECOGNIZED INTEGRATED PLANT MANAGEMENT PRACTICES.
 - THESE NOTES RECOGNIZE SOME DECISIONS CANNOT BE TOTALLY BASED ON MEASURED FINDINGS AND THAT PROFESSIONAL JUDGMENT IS REQUIRED. IN CASES OF DIFFERING OPINION, THE LANDSCAPE ARCHITECT SHALL DETERMINE WHEN CONDITIONS ARE JUDGED AS REASONABLE.
- REGENERATED PALMS: PALMS THAT HAVE BEEN COLLECTED/DUG AND MAINTAINED UNTIL NEW WHITE OR CREAM COLORED ROOT GROWTH IS VISIBLE AROUND A MINIMUM OF SEVENTY-FIVE PERCENT (75%) OF THE PERIMETER OF THE ROOT BALL. THE NEW ROOTS ARE HELD WITHIN A CONTAINMENT BARRIER. ROOTS WHICH PENETRATE OR ESCAPE THE BARRIER CANNOT BE INCLUDED IN THIS PERCENTAGE.
- ROOT BALL: THE MASS OF ROOTS INCLUDING ANY SOIL OR SUBSTRATE THAT IS SHIPPED WITH THE TREE WITHIN THE ROOT BALL PACKAGE.
- ROOT BALL PACKAGE: THE MATERIAL THAT SURROUNDS THE ROOT BALL DURING SHIPPING. THE ROOT PACKAGE MAY INCLUDE THE MATERIAL IN WHICH THE PLANT WAS GROWN, OR NEW PACKAGING PLACED AROUND THE ROOT BALL FOR SHIPPING.
- ROOT COLLAR (ROOT CROWN, ROOT FLARE, TRUNK FLARE, FLARE): THE REGION AT THE BASE OF THE TRUNK WHERE THE MAJORITY OF THE STRUCTURAL ROOTS JOIN THE PLANT STEM, USUALLY AT OR NEAR GROUND LEVEL.
- SHRUB: WOODY PLANTS WITH A MATURE HEIGHT OF APPROXIMATELY LESS THAN FIFTEEN FEET (15').
- SPADE HARVESTED AND TRANSPLANTED: FIELD GROWN TREES THAT ARE MECHANICALLY HARVESTED AND IMMEDIATELY TRANSPLANTED TO THE FINAL GROWING SITE WITHOUT BEING REMOVED FROM THE DIGGING MACHINE.
- STEM: THE TRUNK OF THE TREE.
- SUBSTANTIAL COMPLETION ACCEPTANCE: THE DATE AT THE END OF THE PLANTING, PLANTING SOIL, AND IRRIGATION INSTALLATION WHERE THE LANDSCAPE ARCHITECT ACCEPTS THAT ALL WORK IN THESE SECTIONS IS COMPLETE AND THE WARRANTY PERIOD HAS BEGUN. THIS DATE MAY BE DIFFERENT THAN THE DATE OF SUBSTANTIAL COMPLETION FOR THE OTHER SECTIONS OF THE PROJECT.
- STEM GIRDLING ROOT: ANY ROOT MORE THAN ONE-QUARTER INCH (¼") DIAMETER CURRENTLY TOUCHING THE TRUNK, OR WITH THE POTENTIAL TO TOUCH THE TRUNK, ABOVE THE ROOT COLLAR APPROXIMATELY TANGENT TO THE TRUNK CIRCUMFERENCE OR CIRCLING THE TRUNK. ROOTS SHALL BE CONSIDERED AS STEM GIRDLING THAT HAVE, OR ARE LIKELY TO HAVE IN THE FUTURE, ROOT TO TRUNK BARK CONTACT.
- STRUCTURAL ROOT: ONE OF THE LARGEST ROOTS EMERGING FROM THE ROOT COLLAR.
- TREE: SINGLE AND MULTI-STEMMED PLANTS WITH MATURE HEIGHT APPROXIMATELY GREATER THAN FIFTEEN FEET (15').
- TREE, CANOPY: A TREE WITH A NORMAL OVERALL HEIGHT AT MATURITY OF THIRTY FEET (30') OR MORE.
- TREE, CHAMPION: TREES IDENTIFIED BY THE FLORIDA DIVISION OF FORESTRY AS BEING THE LARGEST OF THEIR SPECIES WITHIN THE STATE OF FLORIDA, OR, BY THE AMERICAN FORESTRY ASSOCIATION, AS THE LARGEST OF THEIR SPECIES IN THE UNITED STATES.
- TREE, HERITAGE: A REGULATED TREE WHOSE GROWTH (RECORDED BY DBH) REACHES A

THRESHOLD TO QUALIFY IT, IF REMOVED, FOR ADDITIONAL MITIGATION.

- TREE, MITIGATION OR MOVEMENT: TREES SHOWN ON THE LANDSCAPE ARCHITECTURAL PLAN AND DETAIL DRAWINGS REQUIRED TO REPLACE, IN QUANTITY AND/OR SIZE, TREES CUT DOWN FOR CONSTRUCTION.
- TREE, NUISANCE: A SPECIES OF TREE A MUNICIPALITY DECLARES UNDESIRABLE. BY BEST PRACTICE, NUISANCE TREES ARE NOT CONSIDERED REGULATED TREES AND, THEREFORE, DO NOT REQUIRE MITIGATION IN THE FORM OF FEE OR REPLACEMENT.
- TREE, REGULATED: SURVEY TREE WHOSE GROWTH (RECORDED BY DBH) REACHES A THRESHOLD TO QUALIFY IT, IF REMOVED, FOR MITIGATION, USUALLY IN THE FORM OF FEE OR NEW TREE PLANTINGS.
- TREE, SURVEY: TREE RECORDED ON A TREE SURVEY WITH LOCATION, DBH, AND SPECIES.
- TREE, UNDERSTORY: A TREE WITH A NORMAL HEIGHT AT MATURITY LESS THAN THIRTY FEET (30') AND GREATER THAN FIFTEEN FEET (15').

B. BASIS OF DESIGN LANDSCAPE PRODUCTS

- PLANTS: GENERAL
 - THE CONTRACTOR SHALL PROVIDE PLANTS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY OR CULTIVARS AS SHOWN AND SCHEDULED IN THE LANDSCAPE ARCHITECTURAL PLAN AND DETAIL DRAWINGS.
 - ALL PLANTS SHALL CONFORM TO THE LATEST EDITIONS OF THE *FLORIDA GRADES AND STANDARDS FOR NURSERY STOCK* AND *ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK* UNLESS MODIFIED BY PROVISIONS IN THESE NOTES, DETAILS, AND DRAWINGS.
 - QUALITY PLANTS ARE OF HEALTHY STOCK, GROWN IN A NURSERY, AND REASONABLY FREE OF DIE-BACK, DISEASE, INSECTS, EGGS, BORES, AND LARVAE. AT THE TIME OF PLANTING ALL PLANTS SHALL HAVE A ROOT SYSTEM, STEM, AND BRANCH FORM THAT WILL NOT RESTRICT NORMAL GROWTH, STABILITY, AND HEALTH FOR THE EXPECTED LIFE OF THE PLANT.
 - PLANTS LARGER THAN SPECIFIED MAY BE USED IF ACCEPTABLE TO THE LANDSCAPE ARCHITECT. THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE, BUT LARGER PLANTS WILL BE UNACCEPTABLE IF THE RESULTING ROOT BALL CANNOT BE FIT INTO THE REQUIRED PLANTING SPACE.
 - IF A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE. THE MEASUREMENTS SPECIFIED ARE THE MINIMUM AND MAXIMUM SIZE ACCEPTABLE AND ARE THE MEASUREMENTS AFTER PRUNING, WHERE PRUNING IS REQUIRED.
 - ALL PLANTS SHALL BE TRUE TO NAME AS ORDERED OR SHOWN ON PLANTING PLANS.
 - ALL TREES SHALL COMPLY WITH FEDERAL AND STATE LAWS AND REGULATIONS REQUIRING OBSERVATION FOR PLANT DISEASE, PESTS, AND WEEDS. OBSERVATION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT OF PLANTS.
 - PLANTS SHALL BE HEALTHY WITH THE COLOR, SHAPE, SIZE AND DISTRIBUTION OF TRUNK, STEMS, BRANCHES, BUDS AND LEAVES NORMAL TO THE PLANT TYPE SPECIFIED. TREE QUALITY ABOVE THE SOIL LINE SHALL COMPLY WITH FLORIDA GRADES AND STANDARDS, TREE GRADE FLORIDA, FANCY OR FLORIDA #1, AND THE FOLLOWING:
 - TREES SHALL HAVE ONE CENTRAL LEADER. IF THE LEADER WAS HEADED, A NEW LEADER (WITH A LIVE TERMINAL BUD) AT LEAST ONE-HALF THE DIAMETER OF THE PRUNING CUT SHALL BE PRESENT.
 - ALL TREES ARE ASSUMED TO HAVE ONE CENTRAL LEADER TREES UNLESS A DIFFERENT FORM IS SPECIFIED IN THE PLANT LIST OR DRAWINGS.
 - ALL GRAFT UNIONS, WHERE APPLICABLE, SHALL BE COMPLETELY CLOSED WITHOUT THE VISIBLE SIGN OF GRAFT REJECTION. ALL GRAFTS SHALL BE VISIBLE ABOVE THE SOIL LINE.
 - TRUNK CALIPER AND TAPER SHALL BE SUFFICIENT SO THAT THE LOWER FIVE FEET (5') OF THE TRUNK REMAINS VERTICAL WITHOUT A STAKE. AUXILIARY STAKE MAY BE USED TO MAINTAIN A STRAIGHT LEADER IN THE UPPER HALF OF THE TREE.
 - GROWTH: THE FORM AND DENSITY OF THE CROWN SHALL BE TYPICAL FOR A YOUNG SPECIMEN OF THE SPECIES OR CULTIVAR PRUNED TO A CENTRAL AND DOMINANT LEADER.
 - CROWN SPECIFICATIONS DO NOT APPLY TO PLANTS THAT HAVE BEEN SPECIFICALLY TRAINED IN THE NURSERY AS TOPIARY, ESPALIER, MULTI-STEM, CLUMP, OR UNIQUE SELECTIONS SUCH AS CONTORTED OR WEEPING CULTIVARS.
 - LEAVES: THE SIZE, COLOR, AND APPEARANCE OF LEAVES SHALL BE TYPICAL FOR THE TIME OF YEAR AND STAGE OF GROWTH OF THE SPECIES OR CULTIVAR. TREES SHALL NOT SHOW SIGNS OF PROLONGED MOISTURE STRESS OR OVER WATERING AS INDICATED BY WILTED, SHRIVELED, OR DEAD LEAVES.
 - BRANCHES: SHOOT GROWTH (LENGTH AND DIAMETER) THROUGHOUT THE CROWN SHOULD BE APPROPRIATE FOR THE AGE AND SIZE OF THE SPECIES OR CULTIVAR. TREES SHALL NOT HAVE DEAD, DISEASED, BROKEN, DISTORTED, OR OTHERWISE INJURED BRANCHES.
 - MAIN BRANCHES SHALL BE DISTRIBUTED ALONG THE CENTRAL LEADER NOT CLUSTERED TOGETHER. THEY SHALL FORM A BALANCED CROWN APPROPRIATE FOR THE CULTIVAR/SPECIES.
 - BRANCH DIAMETER SHALL BE NO LARGER THAN TWO-THIRDS (ONE-HALF IS PREFERRED) THE DIAMETER OF THE CENTRAL LEADER MEASURED ONE-INCH (1") ABOVE THE BRANCH UNION.
 - THE ATTACHMENT OF THE LARGEST BRANCHES (SCAFFOLD BRANCHES) SHALL BE FREE OF INCLUDED BARK.
 - TRUNK: THE TREE TRUNK SHALL BE RELATIVELY STRAIGHT, VERTICAL, AND FREE OF WOUNDS THAT PENETRATE TO THE WOOD (PROPERLY MADE PRUNING CUTS, CLOSED OR NOT, ARE ACCEPTABLE AND ARE NOT CONSIDERED WOUNDS), SUNBURNED AREAS, CONKS (FUNGAL FRUITING BODIES), WOOD CRACKS, SAP LEAKAGE, SIGNS OF BORING INSECTS, GALLS, CANKERS, GIRDLING TIES, OR LESIONS (MECHANICAL INJURY).
 - TEMPORARY BRANCHES, UNLESS OTHERWISE SPECIFIED, CAN BE PRESENT ALONG THE LOWER TRUNK BELOW THE LOWEST MAIN (SCAFFOLD) BRANCH, PARTICULARLY FOR TREES LESS THAN ONE INCH (1") IN CALIPER. THESE BRANCHES SHOULD BE NO GREATER THAN THREE-EIGHTHS INCH (¾") DIAMETER. CLEAR TRUNK SHOULD BE NO MORE THAN FORTY PERCENT (40%) OF THE TOTAL HEIGHT OF THE TREE.
 - PLANTS: QUALITY AT OR BELOW THE SOIL LINE
 - PLANT ROOTS SHALL BE NORMAL TO THE PLANT TYPE SPECIFIED. ROOT OBSERVATIONS SHALL TAKE PLACE WITHOUT IMPACTING TREE HEALTH. ROOT QUALITY AT OR BELOW THE SOIL LINE SHALL COMPLY WITH THE PROJECT ROOT ACCEPTANCE DETAILS AND THE FOLLOWING:
 - THE ROOTS SHALL BE REASONABLY FREE OF SCRAPES, BROKEN OR SPLIT WOOD.
 - THE ROOT SYSTEM SHALL BE REASONABLY FREE OF INJURY FROM BIOTIC (E.G., INSECTS AND PATHOGENS) AND ABIOTIC (E.G., HERBICIDE TOXICITY AND SALT INJURY) AGENTS. WOUNDS RESULTING FROM ROOT PRUNING USED TO PRODUCE A HIGH-QUALITY ROOT SYSTEM ARE NOT CONSIDERED INJURIES.
 - A MINIMUM OF THREE STRUCTURAL ROOTS REASONABLY DISTRIBUTED AROUND THE TRUNK (NOT CLUSTERED ON ONE SIDE) SHALL BE FOUND IN EACH PLANT. ROOT DISTRIBUTION SHALL BE UNIFORM THROUGHOUT THE ROOT BALL, AND GROWTH SHALL BE APPROPRIATE FOR THE SPECIES.
 - PLANTS WITH STRUCTURAL ROOTS ON ONLY ONE SIDE OF THE TRUNK (J ROOTS) SHALL BE REJECTED.
 - THE ROOT COLLAR SHALL BE WITHIN THE UPPER TWO INCHES (2") OF THE SUBSTRATE/SOIL. TWO (2) STRUCTURAL ROOTS SHALL REACH THE SIDE OF THE ROOT BALL NEAR THE TOP SURFACE OF THE ROOT BALL. THE GROWER MAY REQUEST A MODIFICATION TO THIS REQUIREMENT FOR SPECIES WITH ROOTS THAT RAPIDLY DESCEND, PROVIDED THAT THE GROWER REMOVES ALL STEM GIRDLING ROOTS ABOVE THE STRUCTURAL ROOTS ACROSS THE TOP OF THE ROOT BALL.
 - THE ROOT SYSTEM SHALL BE REASONABLY FREE STEM GIRDLING ROOTS OVER THE ROOT COLLAR OR KINKED ROOTS FROM NURSERY PRODUCTION PRACTICES.
 - THE FINAL PLANT GROWER SHALL BE RESPONSIBLE TO HAVE DETERMINED THAT THE PLANTS HAVE BEEN ROOT PRUNED AT EACH STEP IN THE PLANT PRODUCTION PROCESS TO REMOVE STEM GIRDLING ROOTS AND KINKED ROOTS, OR THAT THE PREVIOUS PRODUCTION SYSTEM USED PRACTICES THAT PRODUCE A ROOT SYSTEM THROUGHOUT THE ROOT BALL THAT MEETS THESE SPECIFICATIONS. REGARDLESS OF THE WORK OF PREVIOUS GROWERS, THE PLANT'S ROOT SYSTEM SHALL BE MODIFIED AT THE FINAL PRODUCTION STAGE, IF NEEDED, TO PRODUCE

THE REQUIRED PLANT ROOT QUALITY.

- TIME OF OBSERVATIONS AND DELIVERY. THE ROOT BALL SHALL BE MOST THROUGHOUT. ROOTS SHALL NOT SHOW SIGNS OF EXCESS SOIL MOISTURE CONDITIONS AS INDICATED BY STUNTED, DISCOLORED, DISTORTED, OR DEAD ROOTS.
 - THE CONTRACTOR SHALL SUBMIT THE FINAL PLANT GROWER'S PLANT QUALITY CERTIFICATIONS FOR EACH PLANT TYPE TO THE LANDSCAPE ARCHITECT. THE CERTIFICATION MUST STATE THAT EACH PLANT MEETS ALL THE ABOVE PLANT QUALITY REQUIREMENTS.
 - THE GROWER'S CERTIFICATION OF PLANT QUALITY DOES NOT PROHIBIT THE LANDSCAPE ARCHITECT FROM OBSERVING ANY PLANT OR REJECTING THE PLANT IF IT IS FOUND TO NOT MEET THE SPECIFICATION REQUIREMENTS.
 - ROOT BALL PACKAGE OPTIONS. SPECIFIC ROOT BALL PACKAGES SHALL BE REQUIRED WHERE INDICATED ON THE PLANT LIST OR IN THIS SPECIFICATION. ANY TYPE OF ROOT BALL PACKAGES THAT IS NOT SPECIFICALLY DEFINED IN THESE NOTES OR DRAWINGS SHALL NOT BE PERMITTED. THE FOLLOWING ROOT BALL PACKAGES ARE PERMITTED:
 - BALLED AND BURLAPPED PLANTS
 - ALL BALLED AND BURLAPPED PLANTS SHALL BE FIELD GROWN, AND THE ROOT BALL PACKAGED IN A BURLAP AND TWINE AND/OR BURLAP AND WIRE BASKET PACKAGE.
 - PLANTS SHALL BE HARVESTED WITH THE FOLLOWING MODIFICATIONS TO STANDARD NURSERY PRACTICES.
 - PRIOR TO DIGGING ANY TREE THAT FAILS TO MEET THE REQUIREMENT FOR MAXIMUM SOIL AND ROOTS ABOVE THE ROOT COLLAR, CAREFULLY REMOVED THE SOIL FROM THE TOP OF THE ROOT BALL OF EACH PLANT, USING HAND TOOLS, WATER OR AN AIR SPADE, TO LOCATE THE ROOT COLLAR AND ATTAIN THE SOIL DEPTH TO THE STRUCTURAL ROOTS REQUIREMENTS. REMOVE ALL STEM GIRDLING ROOTS ABOVE THE ROOT COLLAR. CARE MUST BE EXERCISED NOT TO DAMAGE THE SURFACE OF THE ROOT COLLAR AND THE TOP OF THE STRUCTURAL ROOTS.
 - TREES SHALL BE DUG FOR A MINIMUM OF FOUR (4) WEEKS AND A MAXIMUM OF FIFTY-TWO (52) WEEKS PRIOR TO SHIPPING. TREES DUG FOUR TO FIFTY-TWO (4 TO 52) WEEKS PRIOR TO SHIPPING ARE DEFINED AS HARDENED OFF. DIGGING IS DEFINED AS CUTTING ALL ROOTS AND LIFTING THE TREE OUT OF THE GROUND AND EITHER MOVING IT TO A NEW LOCATION IN THE NURSERY OR PLACING IT BACK INTO THE SAME HOLE. TREES THAT ARE STORED OUT OF THE GROUND SHALL BE PLACED IN A HOLDING AREA PROTECTED FROM EXTREMES OF WIND AND SUN WITH THE ROOT BALL PROTECTED BY COVERING WITH MULCH OR STRAW AND IRRIGATED SUFFICIENTLY TO KEEP MOISTURE IN THE ROOT BALL ABOVE WILT POINT AND BELOW SATURATION.
 - IF WIRE BASKETS ARE USED TO SUPPORT THE ROOT BALL, A "LOW PROFILE" BASKET SHALL BE USED. A LOW-PROFILE BASKET IS DEFINED AS HAVING THE TOP OF THE HIGHEST LOOPS ON THE BASKET NO LESS THAN FOUR-INCHES (4") AND NO GREATER THAN EIGHT-INCHES (8") BELOW THE SHOULDER OF THE ROOT BALL PACKAGE.
 - AT NURSERIES WHERE SANDY SOILS PREVENT THE USE OF "LOW PROFILE BASKETS", BASKETS THAT SUPPORT THE ENTIRE ROOT BALL, INCLUDING THE TOP, ARE ALLOWABLE.
 - TWINE AND BURLAP USED FOR WRAPPING THE ROOT BALL PACKAGE SHALL BE NATURAL, BIODEGRADABLE MATERIAL. IF THE BURLAP DECOMPOSES AFTER DIGGING THE TREE, THEN THE ROOT BALL SHALL BE RE-WRAPPED PRIOR TO SHIPPING IF ROOTS HAVE NOT YET GROWN TO KEEP ROOT BALL INTACT DURING SHIPPING.
 - CONTAINER (INCLUDING ABOVE-GROUND FABRIC CONTAINERS AND BOXES) PLANTS
 - CONTAINER PLANTS MAY BE PERMITTED ONLY WHEN INDICATED ON THE DRAWING, IN THIS SPECIFICATION, OR APPROVED BY THE LANDSCAPE ARCHITECT.
 - PROVIDE PLANTS SHALL BE ESTABLISHED AND WELL ROOTED IN REMOVABLE CONTAINERS.
 - PALMS
 - STANDARDS FOR PREPARING PALMS FOR TRANSPLANTING AND ESTABLISHMENT VARY BY SPECIES. GENERALLY, IN PREPARING PALM TREES FOR RELOCATION, ONLY REMOVE FRONDS THAT ARE COMPLETELY BROWN AND THAT HANG BELOW THE NINE (9)' O'CLOCK OR THREE (3)' O'CLOCK POSITION.
 - ALL FRONDS CAN BE REMOVED ON SABAL PALMS.
 - ALL REMAINING FRONDS ABOVE HORIZONTAL SHALL BE LIFTED UP AND TIED TOGETHER AROUND THE CROWN IN AN UPRIGHT POSITION. UP TO TWO-THIRDS (2/3) OF THE OLDEST LIVE FRONDS CAN BE REMOVED; DO NOT TIE TOO TIGHTLY, BIND OR INJURE THE BUD. JUDE BINDER TWINE SHALL BE USED IN TYING UP THE FRONDS; WIRE WILL NOT BE PERMITTED. FRONDS SHALL BE UNTIED IMMEDIATELY AFTER PLANTING.
 - THE CONTRACTOR SHALL NOT FREE-FALL, DRAG, ROLL OR ABUSE THE TREE OR PUT A STRAIN ON THE CROWN (BUD AREA) AT ANY TIME. A PROTECTIVE DEVICE SHALL BE USED AROUND THE TRUNK OF THE TREE WHILE LIFTING AND RELOCATING SO AS NOT TO INJURE THE BUD, OR SCAR OR SKIN THE TRUNK IN ANY WAY.
 - BELOW GROUND ANCHORAGE SYSTEMS (TREE STAPLES), TREE GUYING MATERIAL AND STAKING
 - THE USE OF WOOD TREE STAPLES IS THE PREFERRED SYSTEM OF JBPRO FOR SECURING MOST NEWLY PLANTED TREES. METAL TREE STAPLES ARE ACCEPTABLE.
 - BASIS OF DESIGN FOR TREE STAPLES TO BE CONSTRUCTED OF TWO-BY-TWO (2x2) DIMENSIONAL UNTREATED WOOD SECURING (USING THREE-INCH (3") DRIVEN SCREWS) HORIZONTAL PORTIONS TO FOUR-FEET (4') LONG VERTICAL STAKES DRIVEN STRAIGHT INTO THE GROUND OUTSIDE THE ROOT BALL.
 - THE BASIS OF DESIGN FOR TREE GUYING IS ARBOR-TIE, FLAT WOVEN POLYPROPYLENE, THREE-QUARTERS INCH (¾") WIDE, AND NINE HUNDRED (900) POUND BREAK STRENGTH. COLOR TO BE GREEN. MANUFACTURED BY DEEP ROOT PARTNERS, L.P. OR APPROVED EQUAL. AVAILABLE ONLINE AT <https://www.deeproot.com/products/arbortie/arbortie-green/#head>
 - THE BASIS OF DESIGN FOR STAKING IS LODGEPOLE PINE STAKES FREE OF KNOTS AND OF DIAMETERS AND LENGTHS APPROPRIATE TO THE SIZE OF PLANT AS REQUIRED TO ADEQUATELY SUPPORT THE PLANT.
 - THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF THE METHOD FOR SECURING TREES, SUBMIT PRODUCT SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
 - WOOD MULCH (PLANTING AREAS AND PATHWAYS)
 - WOOD MULCH SHALL BE "WALK ON" GRADE (A.K.A. "PATHWAY" GRADE), COARSE, GROUND, FROM TREE AND WOODY BRUSH SOURCES. PINE BARK IS ACCEPTABLE IF IT IS SHREDDED AND MEETS THE FOLLOWING CRITERIA. THE SIZE RANGE SHALL BE A MINIMUM (LESS THAN TWENTY-FIVE PERCENT (25%) OR LESS OF VOLUME) FINE PARTICLES THREE-EIGHTHS-INCH (¾") OR LESS IN SIZE, AND A MAXIMUM SIZE OF INDIVIDUAL PIECES (LARGEST TWENTY PERCENT (20%) OR LESS OF VOLUME) SHALL BE APPROXIMATELY ONE TO ONE-AND-OHALF INCHES (1" TO 1½") IN DIAMETER AND MAXIMUM LENGTH APPROXIMATELY FOUR TO EIGHT INCHES (4" TO 8"), PIECES LARGER THAN EIGHT INCHES (8") LONG THAT ARE VISIBLE ON THE SURFACE OF THE MULCH AFTER INSTALLATION SHALL BE REMOVED. APPLY WOOD MULCH TO A DEPTH OF THREE INCHES (3") UNLESS SPECIFICALLY NOTED IN LANDSCAPE ARCHITECTURAL DETAILS.
 - SUBMIT MANUFACTURER'S PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS TO THE LANDSCAPE ARCHITECT FOR APPROVAL, OR
 - SUBMIT A WOOD MULCH SAMPLE TO THE OFFICES OF JBPRO FOR LANDSCAPE ARCHITECT FOR APPROVAL IN A ONE (1) GALLON CONTAINER.
 - BECAUSE WOOD MULCH QUALITY CAN VARY SIGNIFICANTLY BETWEEN SUPPLIERS AND REGIONS, THE CONTRACTOR MAY SUBMIT A REQUEST TO THE LANDSCAPE ARCHITECT TO DEVIATE FROM THE ABOVE REQUIREMENTS TO PROVIDE ADEQUATE MATERIAL FROM LOCALLY RELIABLE SUPPLIERS.
 - STRAW
 - PINE STRAW MULCH SHALL BE COMPRISED OF PINE NEEDLES BETWEEN EIGHT INCHES AND SEVENTEEN INCHES (8" AND 17"). PINE STRAW MULCH SHOULD BE FREE OF PINE BARK, TWIGS, AND OTHER FOREST FLOOR DEBRIS. IN FLORIDA, PINE STRAW IS TYPICALLY GATHERED FROM LONGLEAF, SLASH, AND LOBLOLY PINES. APPLY PINE STRAW MULCH TO A DEPTH OF THREE INCHES (3") UNLESS SPECIFICALLY NOTED IN LANDSCAPE ARCHITECTURAL DETAILS. HOWEVER, PINE STRAW MULCH READILY COMPACTS WITH TIME, AND MULTIPLE APPLICATIONS ARE

NECESSARY TO ESTABLISH THE THREE INCH (3") DEPTH. MULTIPLE PINE STRAW MULCH APPLICATIONS MAY BE NECESSARY WITHIN A YEAR OF THE FIRST APPLICATION.

- SUBMIT MANUFACTURER'S PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS TO THE LANDSCAPE ARCHITECT FOR APPROVAL, OR
 - SUBMIT PINE STRAW MULCH SAMPLE TO THE OFFICES OF JBPRO FOR LANDSCAPE ARCHITECT FOR APPROVAL IN A ONE (1) GALLON CONTAINER.
 - SUBMIT A SCHEDULE TO THE LANDSCAPE ARCHITECT FOR DELIVERING AND APPLYING FOLLOW-ON APPLICATIONS OF PINE STRAW MULCH WITHIN A YEAR OF THE FIRST APPLICATION.
- TREE BARK PROTECTION
 - TREE BARK PROTECTORS SHALL BE BLACK EXTRUDED RESIN MESH, FOUR INCHES (4") IN DIAMETER, FIVE FEET (5') LONG. THE BASIS OF DESIGN IS MANUFACTURED BY INDUSTRIAL NETTING, MINNEAPOLIS, MN, USA OR APPROVED EQUAL, AVAILABLE ONLINE AT <https://www.industrialnetting.com/tree-bark-protectors.html>.
 - FASTEN THE SPLIT SIDE OF THE TREE BARK PROTECTOR TOGETHER IN THREE PLACES WITH BLACK PLASTIC TAPE.
 - SUBMIT MANUFACTURERS' PRODUCT DATA TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
 - TREE WATERING BAGS
 - IF IRRIGATION IS UNAVAILABLE FOR NEWLY PLANTED TREES, THE CONTRACTOR SHALL SUBMIT A PLAN FOR USING SLOW-RELEASE WATERING BAGS OR OTHER MEANS.
 - WATER BAGS ARE ONLY FOR TREES BETWEEN ONE AND EIGHT INCHES (1" TO 8") TRUNK DIAMETER WITH BRANCHES AT LEAST TWENTY-FIVE INCHES (25") FROM THE GROUND.
 - TREE WATERING BAGS SHOULD HOLD A MINIMUM OF TWENTY-FIVE (25) GALLONS OF WATER AND WITH A SLOW DRIP HOLE(S) WATER RELEASE SYSTEM, SPECIFICALLY DESIGNED TO WATER ESTABLISHING TREES. WATER SHOULD RELEASE OVER A SEVERAL DAY PERIOD, NOT WITHIN A FEW HOURS.
 - THE BASIS OF DESIGN FOR WATERING BAGS IS TREGATOR® BRAND BAGS MANUFACTURED BY SPECTRUM PRODUCTS, INC., YOUNGVILLE, NORTH CAROLINA 27596, AND AVAILABLE ONLINE AT <https://tregator.com/products/original/index.html>, OR APPROVED EQUAL.
 - SUBMIT THE MANUFACTURER'S PRODUCT DATA FOR APPROVAL ALONG WITH A SCHEDULE FOR REFILLING THE WATERING BAGS.
 - THE WATERING BAGS SHALL REMAIN THE PROPERTY OF THE OWNER AT THE COMPLETION OF THE WORK.
 - VOLUMETRIC SOIL MOISTURE READER
 - THE VOLUMETRIC SOIL MOISTURE READER SHALL BE A PRECISION DIGITAL SOIL MOISTURE METER WITH ELECTRIC CONDUCTIVITY PROBE.
 - MODEL DSM500 BY GENERAL® SPECIALTY TOOLS AND INSTRUMENTS <https://generaltools.com/soil-moisture-meter>, OR APPROVED EQUIVALENT.
 - SUBMIT MANUFACTURER'S PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
 - SOIL COMPACTION TESTER
 - FOR ASSESSING SOIL COMPACTION, USE A SPONTON® DIGITAL SOIL COMPACTION METER.
 - MODEL 29360, AVAILABLE THROUGH FORESTRY SUPPLIERS <https://genplers.com/products/spoton-digital-soil-compaction-meter>, OR APPROVED EQUIVALENT.
 - SUBMIT MANUFACTURER'S PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS TO THE LANDSCAPE ARCHITECT FOR APPROVAL.

C. SELECTION AND OBSERVATION OF PLANTS

- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SELECT AND OBSERVE ALL PLANTS AT THE NURSERY PRIOR TO DELIVERY AND TO REJECT PLANTS THAT DO NOT MEET SPECIFICATIONS AS SET FORTH IN LANDSCAPE ARCHITECTURAL PLAN AND DETAIL DRAWINGS. IF A PARTICULAR DEFECT OR SUBSTANDARD ELEMENT CAN BE CORRECTED AT THE NURSERY, AS ACCEPTED BY THE LANDSCAPE ARCHITECT, THE REMEDY MAY BE APPLIED AT THE NURSERY. ANY WORK TO CORRECT PLANT DEFECTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
 - IF THE LANDSCAPE ARCHITECT IS UNABLE TO OBSERVE PLANTS AT THE NURSERY PRIOR TO DELIVERY, THE LANDSCAPE ARCHITECT MAY OBSERVE AND APPROVAL ALL PLANTS UPON DELIVERY SUBJECT TO SIZE, HEALTH, QUALITY, CHARACTER, ETC.
 - REVIEW OR APPROVAL OF ANY PLANT DURING THE PROCESS OF SELECTION, DELIVERY, INSTALLATION AND ESTABLISHMENT PERIOD SHALL NOT PREVENT THAT PLANT FROM LATER REJECTION IN THE EVENT THAT THE PLANT QUALITY CHANGES OR PREVIOUSLY EXISTING DEFECTS BECOME APPARENT.
 - THE LANDSCAPE ARCHITECT MAY MAKE INVASIVE OBSERVATION OF ANY PLANT'S ROOT SYSTEM IN THE AREA OF THE ROOT COLLAR AND THE TOP OF THE ROOT BALL IN GENERAL, TO DETERMINE THAT THE PLANT MEETS THE QUALITY REQUIREMENTS FOR DEPTH OF THE ROOT COLLAR AND PRESENCE OF ROOTS ABOVE THE ROOT COLLAR. SUCH OBSERVATIONS WILL NOT HARM THE PLANT.
 - THE CONTRACTOR SHALL BEAR ALL COST RELATED TO PLANT CORRECTIONS.
 - ALL PLANTS THAT ARE REJECTED SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND ACCEPTABLE REPLACEMENT PLANTS PROVIDED AT NO COST TO THE OWNER.
 - PER LANDSCAPE ARCHITECT GENERAL NOTES ON SHEET LG-01, SUBMIT TO THE LANDSCAPE ARCHITECT THE NAMES AND LOCATIONS OF NURSERIES PROPOSED AS SOURCES OF ACCEPTABLE PLANTS, AND A LIST OF THE PLANTS (BY COMMON AND SCIENTIFIC NAME) THEY WILL PROVIDE.
 - WHERE REQUESTED BY THE LANDSCAPE ARCHITECT, SUBMIT PHOTOGRAPHS OF PLANTS OR REPRESENTATIVE SAMPLES OF PLANTS. PHOTOGRAPHS SHALL BE LEGIBLE AND CLEARLY DEPICT THE PLANT SPECIMEN. EACH SUBMITTED IMAGE SHALL CONTAIN A HEIGHT REFERENCE, SUCH AS A MEASURING STICK. THE APPROVAL OF PLANTS BY THE LANDSCAPE ARCHITECT VIA PHOTOGRAPH DOES NOT PRECLUDE THE LANDSCAPE ARCHITECT'S RIGHT TO REJECT MATERIAL WHILE ON SITE.
 - THE CONTRACTOR SHALL PURCHASE TREES SHALL BE PURCHASED FROM THE GROWING NURSERY.
 - IF THE CONTRACTOR SEEKS TO USE A RE-WHOLESALE PLANT SUPPLIER FOR TREES, S/HE MUST SUBMIT A LETTER TO THE LANDSCAPE ARCHITECT CERTIFYING THE REQUIRED TREES ARE NOT DIRECTLY AVAILABLE FROM A GROWING NURSERY.
 - THE CONTRACTOR SHALL SUBMIT THE NAME AND LOCATION OF THE GROWING NURSERY FROM WHERE THE TREES WERE OBTAINED BY THE RE-WHOLESALE SELLER TO THE LANDSCAPE ARCHITECT.
 - THE RE-WHOLESALE NURSERY SHALL BE RESPONSIBLE FOR ANY REQUIRED PLANT QUALITY CERTIFICATIONS.
 - THE CONTRACTOR SHALL REQUIRE THE GROWER OR RE-WHOLESALE SUPPLIER TO PERMIT THE LANDSCAPE ARCHITECT TO OBSERVE THE ROOT SYSTEM OF ALL PLANTS AT THE NURSERY OR JOB SITE PRIOR TO PLANTING INCLUDING RANDOM REMOVAL OF SOIL OR SUBSTRATE AROUND THE BASE OF THE PLANT. OBSERVATION MAY BE AS FREQUENT AND AS EXTENSIVE AS NEEDED TO VERIFY THAT THE PLANTS MEET THE REQUIREMENTS OF THE SPECIFICATIONS AND CONFORM TO REQUIREMENTS.

D. PLANT SUBSTITUTIONS FOR UNAVAILABLE PLANTS

- THE CONTRACTOR SHALL SUBMIT ALL REQUESTS FOR PLANT SPECIES SUBSTITUTIONS, OR PLANT SIZE, TO THE LANDSCAPE ARCHITECT FOR APPROVAL AND PRIOR TO PURCHASING THE PROPOSED SUBSTITUTION.
 - REQUESTS SHALL ALSO INCLUDE SOURCES OF PLANTS FOUND THAT MAY BE OF A SMALLER OR LARGER SIZE, OR A DIFFERENT SHAPE OR HABIT THAN SPECIFIED, OR PLANTS OF THE SAME GENUS AND SPECIES BUT DIFFERENT CULTIVAR ORIGIN, OR WHICH MAY OTHERWISE NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS, BUT WHICH MAY BE AVAILABLE FOR SUBSTITUTION.

PART IV. LANDSCAPE INSTALLATION

A. SITE CONDITIONS

- THE LANDSCAPE ARCHITECTURAL PLAN AND DETAIL DRAWINGS REQUIRE ALL APPLICABLE

PLANTING SOIL AND IRRIGATION WORK BE COMPLETED AND ACCEPTED PRIOR TO THE INSTALLATION OF ANY PLANTS.

- PLANTING OPERATIONS SHALL NOT BEGIN UNTIL SUCH TIME THAT THE IRRIGATION SYSTEM IS COMPLETELY OPERATIONAL FOR THE AREA(S) TO BE PLANTED, AND THE IRRIGATION SYSTEM FOR THAT AREA HAS BEEN PRELIMINARILY OBSERVED AND APPROVED BY THE LANDSCAPE ARCHITECT.
- ACTUAL PLANTING SHALL BE PERFORMED DURING THOSE PERIODS WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED HORTICULTURAL PRACTICES.
 - UNLESS A TIME PERIOD IS SPECIFIED IN THE LANDSCAPE ARCHITECTURAL PLAN AND DETAIL DRAWINGS, AN APPROVED REFERENCE IS THE COUNTY/REGIONAL UF/IFAS AGRICULTURAL EXTENSION.
 - DO NOT INSTALL PLANTS INTO SATURATED SOILS. DO NOT INSTALL PLANTS DURING INCLEMENT WEATHER, SUCH AS RAIN OR DURING EXTREMELY HOT, COLD OR WINDY CONDITIONS.
 - IN HARDINESS ZONES 7-11, PLANTING HARDENED-OFF AND BALLED AND BURLAPPED TREES AND SHRUBS CAN GENERALLY OCCUR YEAR-ROUND.
 - IN HARDINESS ZONES 7-11, PLANTING TREES AND SHRUBS FROM CONTAINERS CAN GENERALLY OCCUR YEAR-ROUND.
 - IN REGIONS WHERE THE SOIL TEMPERATURE DROPS BELOW 40-DEGREES FAHRENHEIT, CEASE PLANTING TREES AND SHRUBS FOUR (4) WEEKS PRIOR TO THE SOIL REACHING THIS TEMPERATURE. RESUME PLANTING WHEN THE SOIL TEMPERATURE IS EXPECTED TO REMAIN ABOVE 40 DEGREES.
 - DO NOT PLANT FRESHLY DUG TREES THAT ARE NOT HARDENED-OFF.
 - NO PLANTING SHALL TAKE PLACE DURING EXTREMELY HOT, DRY, WINDY OR FREEZING WEATHER.
 - THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CIVIL, RECORD, AND SURVEY DRAWINGS TO BECOME FAMILIAR WITH THE EXISTING UNDERGROUND CONDITIONS BEFORE DIGGING.
 - NOTIFICATION OF THE LOCAL UTILITY LOCATOR SERVICE IS REQUIRED FOR ALL PLANTING AREAS: **THE CONTRACTOR IS RESPONSIBLE FOR KNOWING THE LOCATION AND AVOIDING UTILITIES THAT ARE NOT COVERED BY THE LOCAL UTILITY LOCATOR SERVICE.**

B. DELIVERY, STORAGE AND HANDLING

- THE CONTRACTOR SHALL PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND STORAGE. ADEQUATELY PROTECT PLANTS FROM DRYING OUT, EXPOSURE OF ROOTS TO SUN, WIND OR EXTREMES OF HEAT AND COLD TEMPERATURES. IF PLANTING IS DELAYED MORE THAN TWENTY (24) HOURS AFTER DELIVERY, SET PLANTS IN A LOCATION PROTECTED FROM SUN AND WIND.
 - WHILE IN STORAGE, BRACE TREES TO PREVENT TOPPLING OVER ONTO THEIR SIDES
 - THE LANDSCAPE ARCHITECT WILL REJECT TREES WITH MULTIPLE DAMAGED OR BROKEN BRANCHES ON A SINGLE SIDE.
 - PROVIDE ADEQUATE WATER TO THE ROOT BALL PACKAGE DURING THE SHIPPING AND STORAGE PERIOD.
 - DELIVER MORE PLANTS TO THE SITE THAN THERE IS SPACE WITH ADEQUATE STORAGE CONDITIONS. PROVIDE A SUITABLE REMOTE STAGING AREA FOR PLANTS AND OTHER SUPPLIES.
 - PROVIDE PROTECTIVE COVERING OVER ALL PLANTS DURING TRANSPORTING.
- THE CONTRACTOR, USING A SOIL MOISTURE METER, SHALL DAILY CHECK THE SOIL MOISTURE IN THE ROOT BALLS OF ALL PLANTS TO ASSURE THE PLANTS ARE BEING ADEQUATELY WATERED. VOLUMETRIC SOIL MOISTURE SHALL BE MAINTAINED ABOVE WILTING POINT AND BELOW FIELD CAPACITY FOR THE ROOT BALL SUBSTRATE OR SOIL.

C. LAYOUT AND PLANTING SEQUENCE

- NOTIFY THE LANDSCAPE ARCHITECT, MINIMUM OF FOURTEEN (14) DAYS PRIOR TO LAYOUT. LAYOUT ALL INDIVIDUAL TREE AND SHRUB LOCATIONS. PLACE PLANTS ABOVE SURFACE AT PLANTING LOCATION OR PLACE A LABELED STAKE AT PLANTING LOCATION.
 - LAYOUT BED LINES WITH PAINT FOR THE LANDSCAPE ARCHITECT'S APPROVAL. RELATIVE POSITIONS OF ALL PLANTS AND TREES ARE SUBJECT TO LANDSCAPE ARCHITECT APPROVAL.
 - THE LANDSCAPE ARCHITECT UNDERSTANDS PLANTS ARE NOT PRECISE OBJECTS AND MINOR ADJUSTMENTS IN THE LAYOUT WILL BE REQUIRED AS THE CONTRACTOR INSTALLS THE PLANTING PLAN. THESE ADJUSTMENTS MAY NOT BE APPARENT UNTIL SOME OR ALL OF THE PLANTS ARE INSTALLED. MAKE ADJUSTMENTS AS REQUIRED BY THE LANDSCAPE ARCHITECT INCLUDING RELOCATING PREVIOUSLY INSTALLED PLANTS.
 - THE LANDSCAPE ARCHITECT MAY REQUEST THAT PLANTS ORIENTATION BE ROTATED WHEN PLANTED BASED ON THE FORM OF THE PLANT.
 - WHEN APPLICABLE, PLANT TREES BEFORE OTHER PLANTS ARE INSTALLED.

D. SOIL PROTECTION DURING PLANT DELIVERY AND INSTALLATION

- PROTECT SOIL FROM COMPACTION DURING THE DELIVERY OF PLANTS TO THE PLANTING LOCATIONS, DIGGING OF PLANTING HOLES AND INSTALLING PLANTS.
 - WHERE POSSIBLE DELIVER AND PLANT TREES THAT REQUIRE THE USE OF HEAVY MECHANIZED EQUIPMENT PRIOR TO FINAL SOIL PREPARATION AND TILLING. WHERE POSSIBLE, RESTRICT THE DRIVING LANES TO ONE AREA INSTEAD OF DRIVING OVER AND COMPACTING A LARGE AREA OF SOIL.
 - TILL TO A DEPTH OF SIX INCHES (6"), ALL SOIL THAT HAS BEEN DRIVEN OVER DURING THE INSTALLATION OF PLANTS.

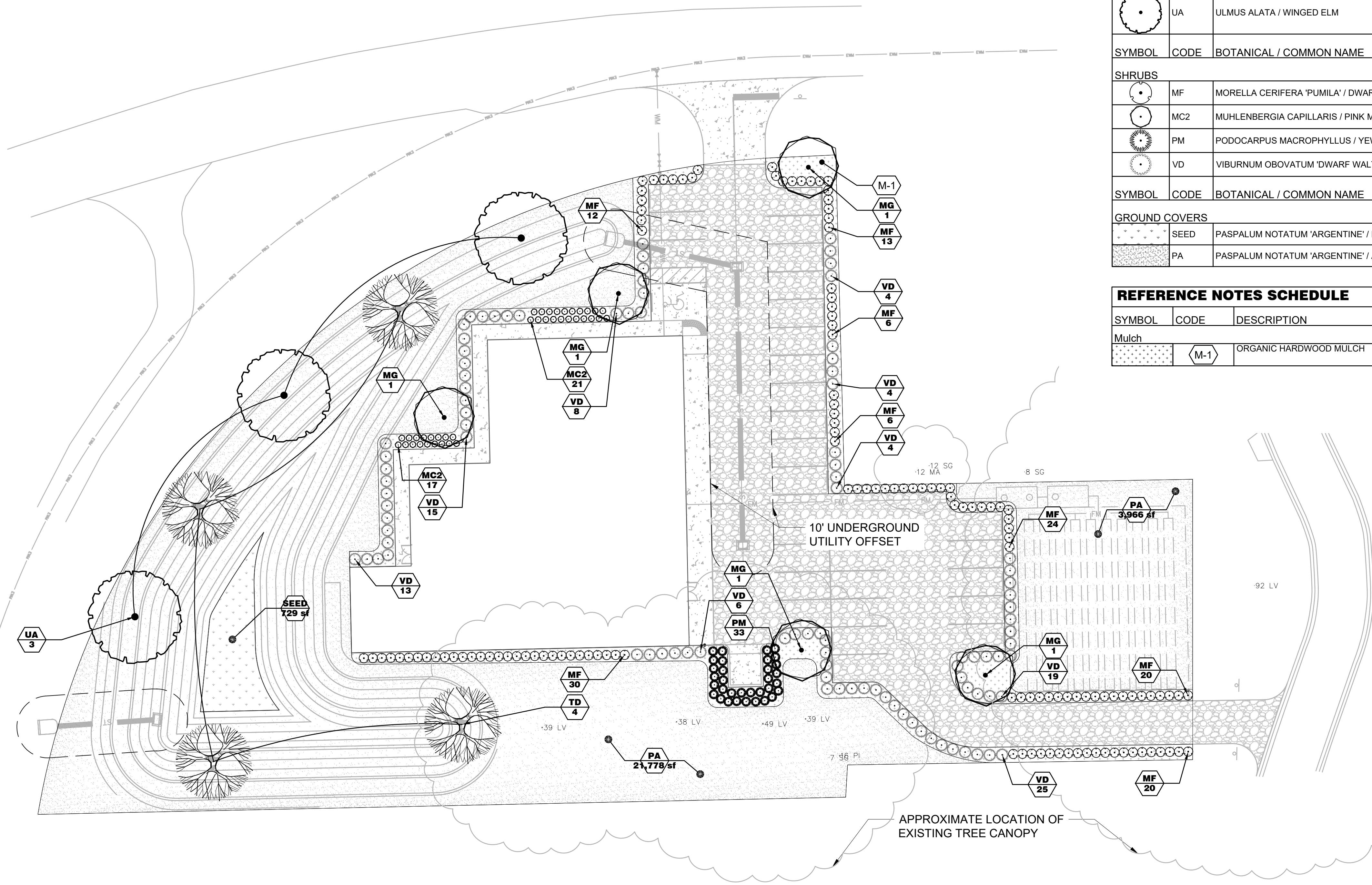
E. SOIL MOISTURE

- THE CONTRACTOR SHALL CONFIRM THE SOIL MOISTURE LEVELS IN PLANTING SOIL AND THE ROOT BALLS OF ALL PLANTS PRIOR TO, DURING, AND AFTER PLANTING USING A MOISTURE METER. IF THE MOISTURE IS TOO HIGH, SUSPEND PLANTING OPERATIONS UNTIL THE SOIL MOISTURE DRAINS TO BELOW FIELD CAPACITY.
- VOLUMETRIC SOIL MOISTURE LEVEL SHALL BE ABOVE PERMANENT WILTING POINT AND BELOW

| SOIL TYPE | PERMANENT WILT POINT | FIELD CAPACITY |
|-----------------------------------|----------------------|----------------|
| SAND, LOAMY SAND, SANDY LOAM | 5-8% | 12-18% |
| LOAM, SANDY CLAY, SANDY CLAY LOAM | 14-25% | 27-36% |
| CLAY LOAM, SILT LOAM | 11-22% | 31-36% |
| SILTY CLAY, SILTY CLAY LOAM | 22-27% | 38-41% |

F. INSTALLATION OF PLANTS: GENERAL

- THE CONTRACTOR SHALL OBSERVE EACH PLANT AFTER DELIVERY AND PRIOR TO INSTALLATION FOR DAMAGE OR OTHER CHARACTERISTICS THAT MAY CAUSE REJECTION.
- THE CONTRACTOR SHALL NOT DISTRIBUTE MORE PLANTS THAN CAN BE PLANTED AND WATERED ON THE SAME DAY.</



PLANT SCHEDULE

| SYMBOL | CODE | BOTANICAL / COMMON NAME | CONTAINER | CAL/HT | CANOPY/UNDERSTORY | FL GRADE | QTY |
|----------------------|------|--|-----------|---------------------|-------------------|----------|-----------|
| TREES | | | | | | | |
| | MG | MAGNOLIA GRANDIFLORA / SOUTHERN MAGNOLIA | B&B | 2" CAL. | CANOPY | FL #1 | 5 |
| | TD | TAXODIUM DISTICHUM / BALD CYPRESS | B&B | 2-IN / 10-FT (MIN.) | CANOPY | FL #1 | 4 |
| | UA | ULMUS ALATA / WINGED ELM | B&B | 2" CAL. | CANOPY | FL #1 | 3 |
| SYMBOL | CODE | BOTANICAL / COMMON NAME | CONTAINER | SPREAD/HEIGHT | SPACING | FL GRADE | QTY |
| SHRUBS | | | | | | | |
| | MF | MORELLA CERIFERA 'PUMILA' / DWARF WAX MYRTLE | 3 GAL. | 2-FT | AS SHOWN | FL #1 | 131 |
| | MC2 | MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS | 1 GAL. | 1.5-FT | AS SHOWN | FL #1 | 38 |
| | PM | PODOCARPUS MACROPHYLLUS / YEW PODOCARPUS | 5 GAL. | 2-FT | AS SHOWN | FL #1 | 33 |
| | VD | VIBURNUM OBOVATUM 'DWARF WALTER'S' / DWARF WALTER'S VIBURNUM | 3 GAL. | 2-FT | AS SHOWN | FL #1 | 98 |
| SYMBOL | CODE | BOTANICAL / COMMON NAME | CONTAINER | SPREAD | SPACING | FL GRADE | QTY |
| GROUND COVERS | | | | | | | |
| | SEED | PASPALUM NOTATUM 'ARGENTINE' / BAHIA GRASS | SEED | N/A | N/A | N/A | 729 SF |
| | PA | PASPALUM NOTATUM 'ARGENTINE' / ARGENTINE BAHIA GRASS | SOD | N/A | N/A | FL #1 | 25,744 SF |

REFERENCE NOTES SCHEDULE

| SYMBOL | CODE | DESCRIPTION | QTY |
|--------|------|------------------------|---------|
| | M-1 | ORGANIC HARDWOOD MULCH | 41.2 CY |

| REVISIONS | | | |
|-----------|------|-------------|-----------|
| NO. | DATE | DESCRIPTION | DRWN APPR |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

CIVIL ENGINEERING | LAND PLANNING
SURVEYING | CONSTRUCTION SERVICES

3530 NW 43rd Street | Gainesville, Florida 32606
4420 US-1 S, Suite 1 | St. Augustine, Florida 32086
 Gainesville: (352) 375-8999 | St. Augustine: (904) 789-8999
 Toll Free: (844) Go-JBPro | E-mail: contact@jbpro.com

SHEET TITLE: **LANDSCAPE PLAN**
 CLIENT: MICANOPY AREA COOPERATIVE SCHOOL INC.
 PROJECT: MACS PRE-K BUILDING EXPANSION
 DATE: **MAY 2025**
 PROJECT NO: **0802-24-001**
 SHEET NO: **LP-04**

DATE: **MAY 2025**
 PROJECT NO: **0802-24-001**
 SHEET NO: **LP-04**



Application for Land Use Approval

Date: 04/25/2025

Application Number: _____

Requested Approval

Certificate of Appropriateness

Lot Split

Variance

Re-Zoning

Site Plan Review

Sign

Fence

Tree Removal

Other _____

Property Owner Name: Micanopy Area Cooperative School Inc.

Property Owner Mailing Address: 802 NW Seminary Ave, Micanopy, FI 32667

Applicant (if other than property owner): JBPRO

Applicant Mailing Address: 3530 NW 43rd Street, Gainesville, FI 32606

Owner/Applicant Telephone: 352 - 375 - 8999 Email tim.boehlein@jbpro.com

Property Tax Parcel Number: 16808-002-000 & 16520-067001 Current Zoning: _____

Property Street Address: 803 NW Seminary Ave, Micanopy, FI 32667

Requested/Proposed Action: To permit the construction of a new building for Micanopy Area Co-Op School along with stormwater and utility infrastructure.

Reason/Justification for this Application: The proposed building will be about 8,422 sq. ft. and will require a stormwater basin and septic tank.

Included With this Application: Survey Site Plan Floor Plan
 Elevation Drawings Construction Drawings Project Photos
 Other: _____

Fee Amount: \$ _____ Date Paid: _____
 Cash Check: Date _____ Number _____

The undersigned property Owner/Applicant understands that this Application becomes a part of the permanent records of the Town of Micanopy; that the information and statements provided herein and documentation provided herewith are correct and true to the best of the undersigned's knowledge and belief, and all such information/documentation is public record; and that any work or other action associated with the approval granted must commence within one year of the date of the issuance of such approval.

Signature of Owner/Applicant: _____
Signature Owner/Applicant

Date

Town of Micanopy

Approval Conditional Approval Denied

Comments and/or Conditions:

Planning & Historic Preservation Board: _____ Date: _____

Signature _____ *Printed Name & Title*

Town of Micanopy: _____ Date: _____

Signature _____ *Printed Name & Title*

The purpose of concept review is to provide technical advice and information to the applicant with regard to the requirements of the LDC. The applicant is already aware their current preliminary site plan is in compliance with the LDC.

THIS IS NOT A QUASI-JUDICIAL HEARING – NO ACTION CAN BE TAKEN BY THE PHPB

The citizens are welcome to provide public comment on the concept review, but the Plan Board cannot make any representations about whether the site plan will ultimately be approved or disapproved.

10.02.04. Review Of Concept Plans. All site plans must be submitted to concept review as follows:

A. The developer shall file a completed application and a Concept Plan as a prerequisite to obtaining concept review.

B. Within 5 working days of receipt of an application and Concept Plan, the Town shall:

1. Determine that the submittals are incomplete and inform the developer in writing as to the deficiencies. The developer may submit an amended application within 30 working days without payment of a re-application fee, but, if more than 30 working days have elapsed, must thereafter re-initiate the application and pay an additional fee; or,

2. Determine that the submittals are complete and proceed with the following procedures.

C. The proposal shall be placed on the agenda of the next meeting of the Planning and Historic Preservation Board that allows the giving of required notice.

D. The Planning and Historic Preservation Board shall consider:

1. Characteristics of the site and surrounding area, including important natural and man-made features, the size and accessibility of the site, and surrounding land uses.

2. Whether the concurrency requirements of Micanopy

Comprehensive Plan and this Code could be met if the development were built.

3. The nature of the proposed development, including land use types and densities; the placement of proposed buildings and other improvements on the site; the location, type and method of maintenance of open space and public use areas; the preservation of natural features; proposed parking areas; internal traffic circulation system, including trails; the approximate total ground coverage of paved areas and structures; and, types of water and sewage treatment systems.

4. Conformity of the proposed development with the Comprehensive Plan, this Code and other applicable regulations.

5. Applicable regulations, review procedures, and submission requirements.

6. Concerns and desires of surrounding landowners and other affected persons.

7 . Other applicable factors and criteria prescribed by the Comprehensive Plan, this Code, or other law.

E. The Planning and Historic Preservation Board shall issue no order, finding or other

indication of approval or disapproval of the proposal, and no person may rely upon

any comment concerning the proposal, or any expression of any nature about the proposal, made by any person during the concept review process as a representation

or implication that the particular proposal will be ultimately approved or disapproved in any form.

F. Where the site plan is for very minor development, the Town may waive the requirement for concept plan review by the Planning and Historic Preservation Board.

Micanopy Area Cooperative School

Town of Micanopy Planning &
Historic Preservation Board

July 15, 2025

JBPro

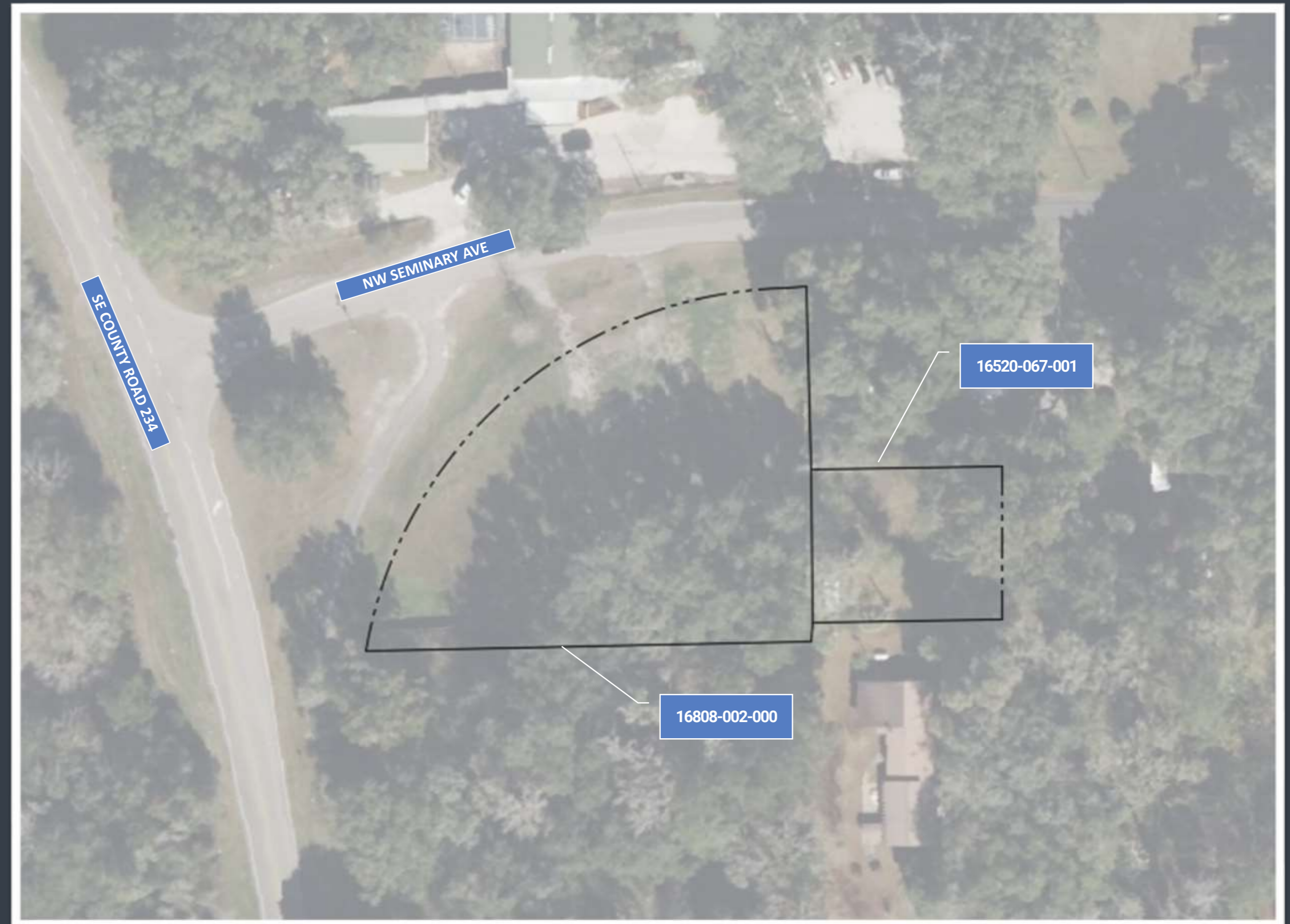
Micanopy Area School

- Micanopy Area Cooperative School has been serving Alachua County and the Town of Micanopy for over 20 years!
- Micanopy Area Cooperative School is a free charter school offering Pre-K through 5th Grade! This project will allow the school to expand to 6th – 8th Grade!

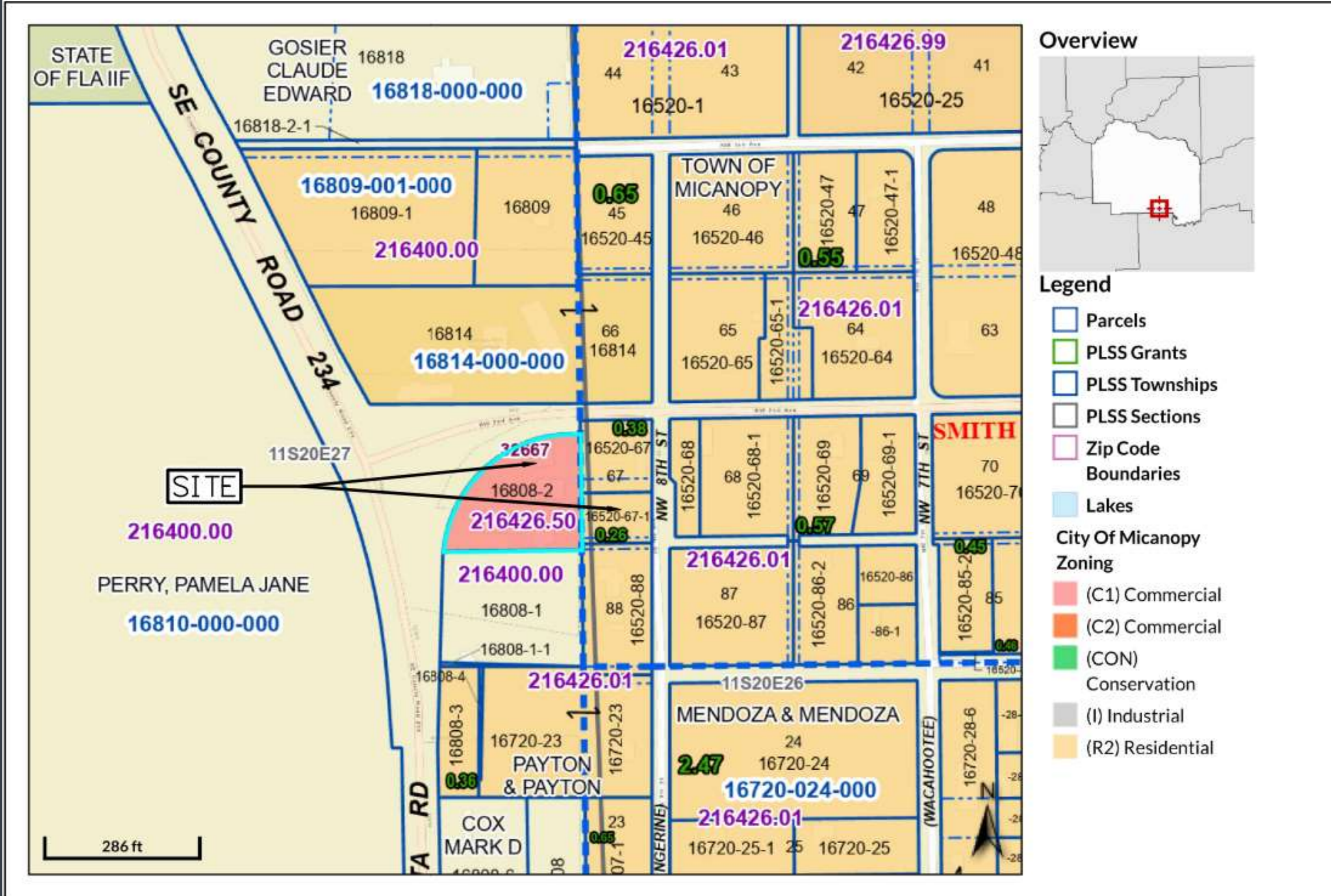


Project Background

- **Location:** 803 NW Seminary Ave, Micanopy, Florida 32667
- **Parcels:** 16808-002-000 & 16520-067-001
- **Acreage:** 1.18 AC
- **Zoning:** C-1 and R2



Adjacent Properties Zoning



Overview



Legend

- Parcels
- PLSS Grants
- PLSS Townships
- PLSS Sections
- Zip Code Boundaries
- Lakes
- City Of Micanopy Zoning**
- (C1) Commercial
- (C2) Commercial
- (CON) Conservation
- (I) Industrial
- (R2) Residential



LOCATION MAP

SCALE: 1" = 300'

C-1 Zoning

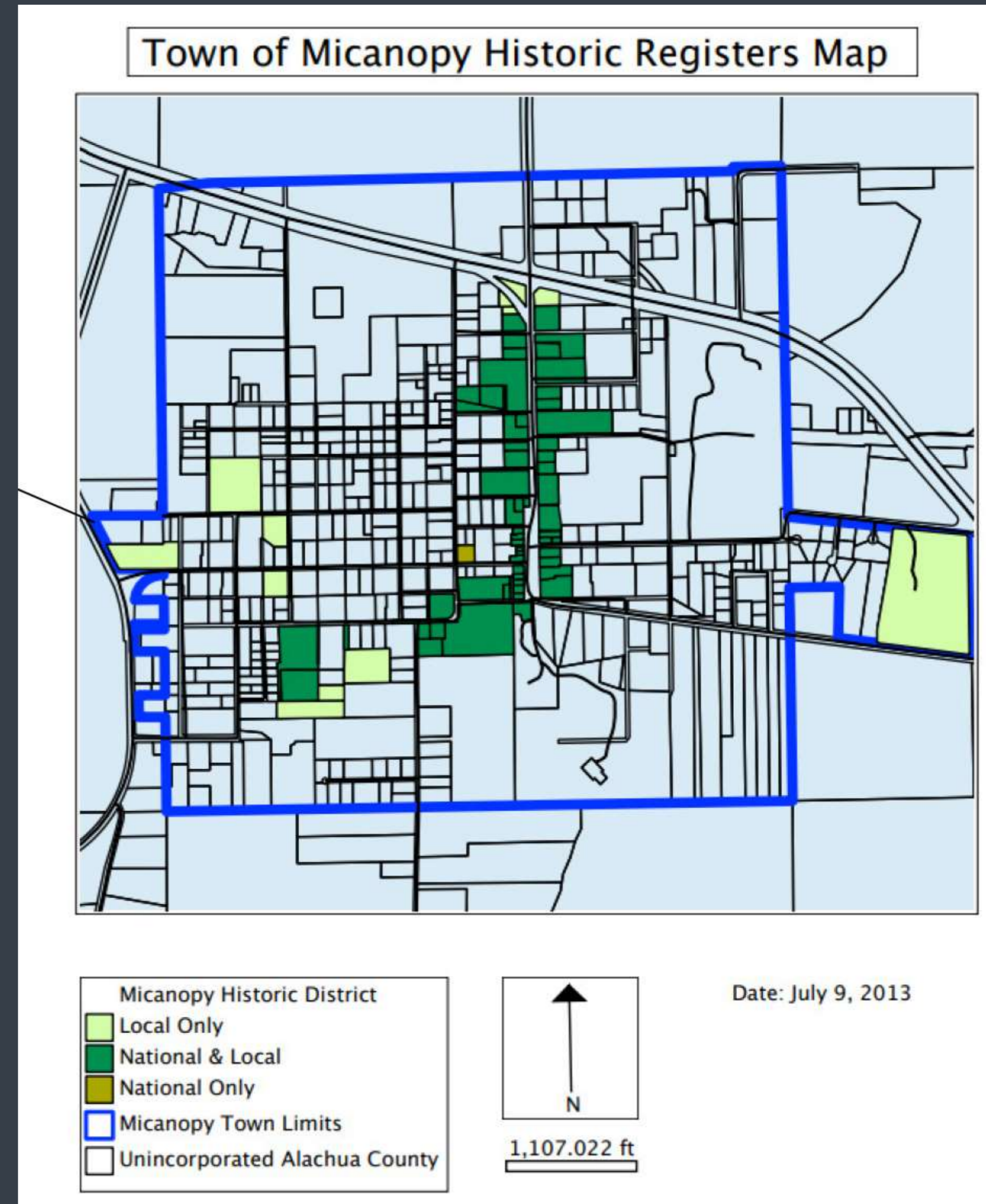
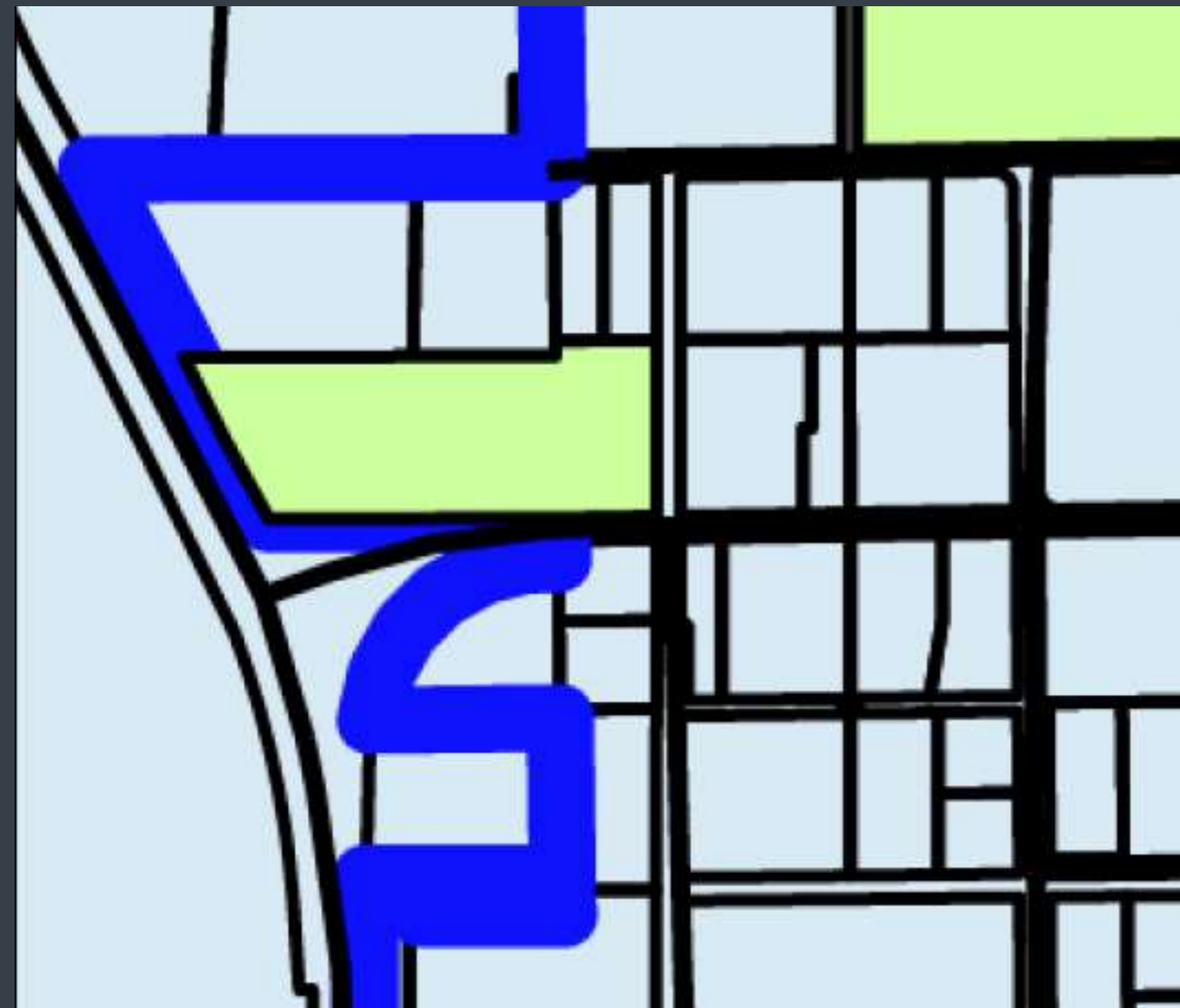
- Per the Town of Micanopy Land Development Code, Section 2.02.04 the C-1 zoning district allows the following uses by right:
 - Public and private schools
 - Hotels and motels
 - Retail stores/outlets
 - Multi-family residential complexes (Apartments)
 - Public buildings and facilities
 - Professional and Business Offices



Town of Micanopy Historical Register Map

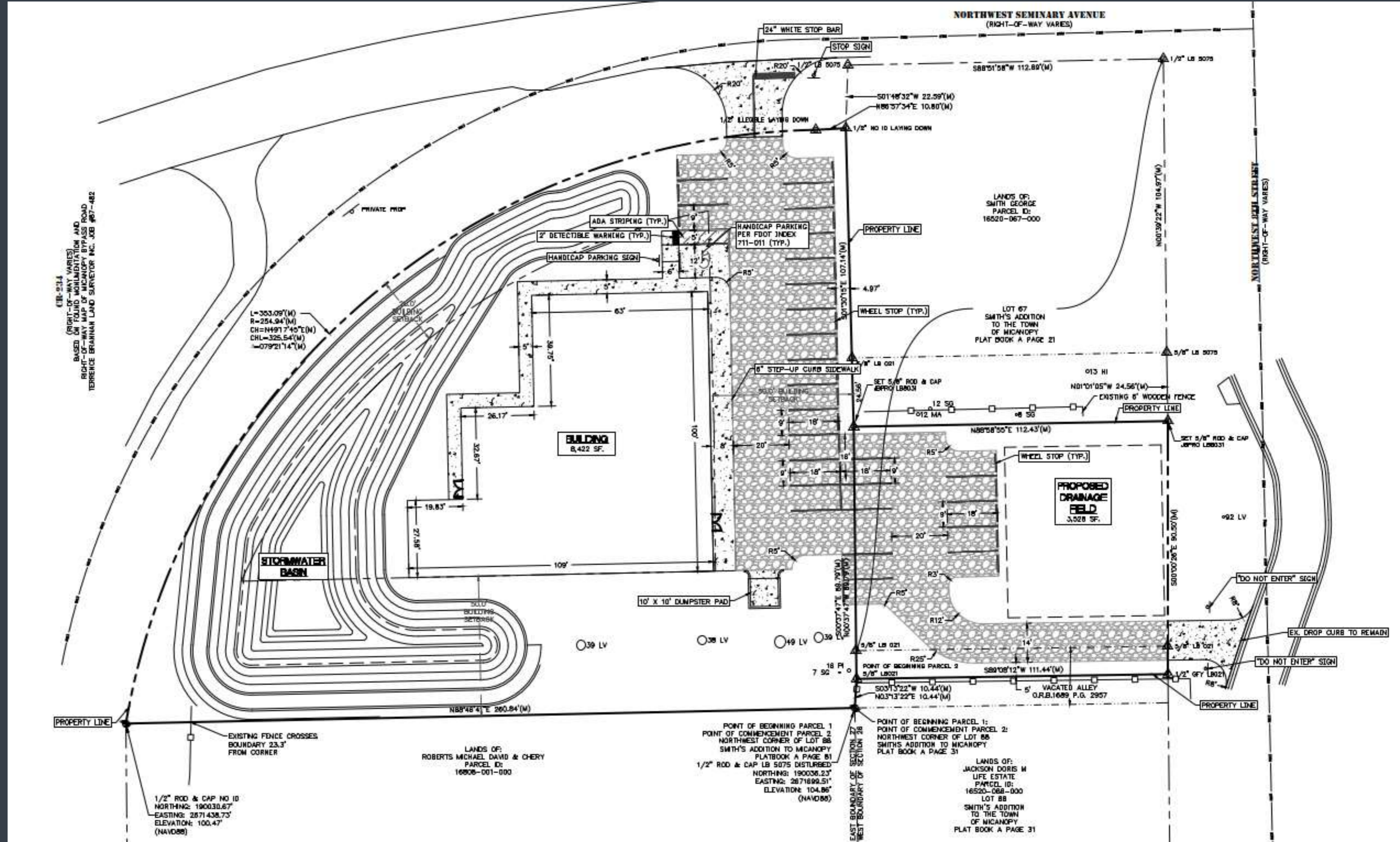


- The new site is not a part of the Town of Micanopy Historical Boundary. The existing school is a part of the Local Historical District.



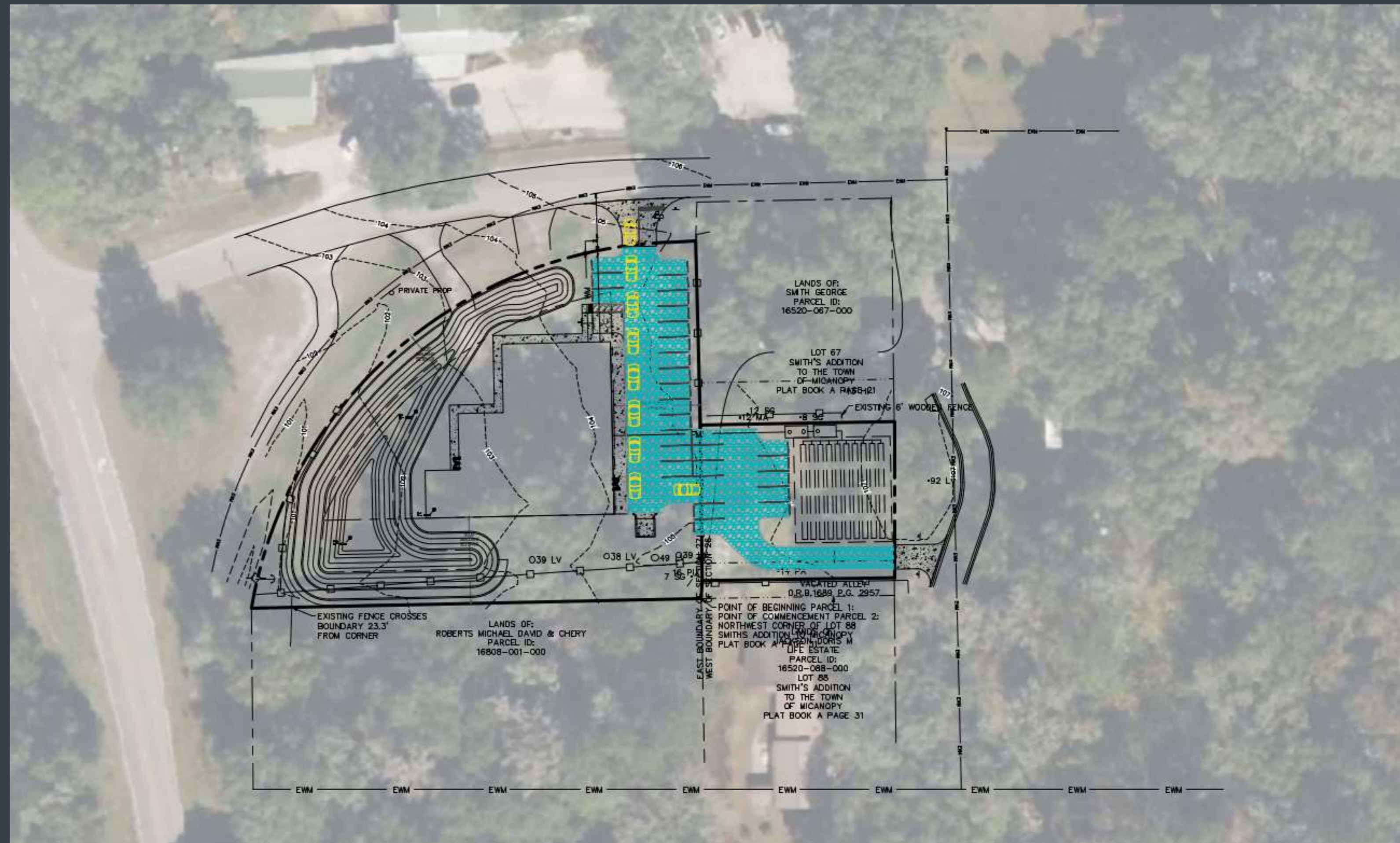
Proposed Site Plan

- 8,422+/- SF Building
- 27 Parking Spaces
- On-Site Stormwater Retention
- 50' building setback
- Main access on NW Seminary Ave across from existing school.
- Secondary "exit-only" access on NW 8th Street



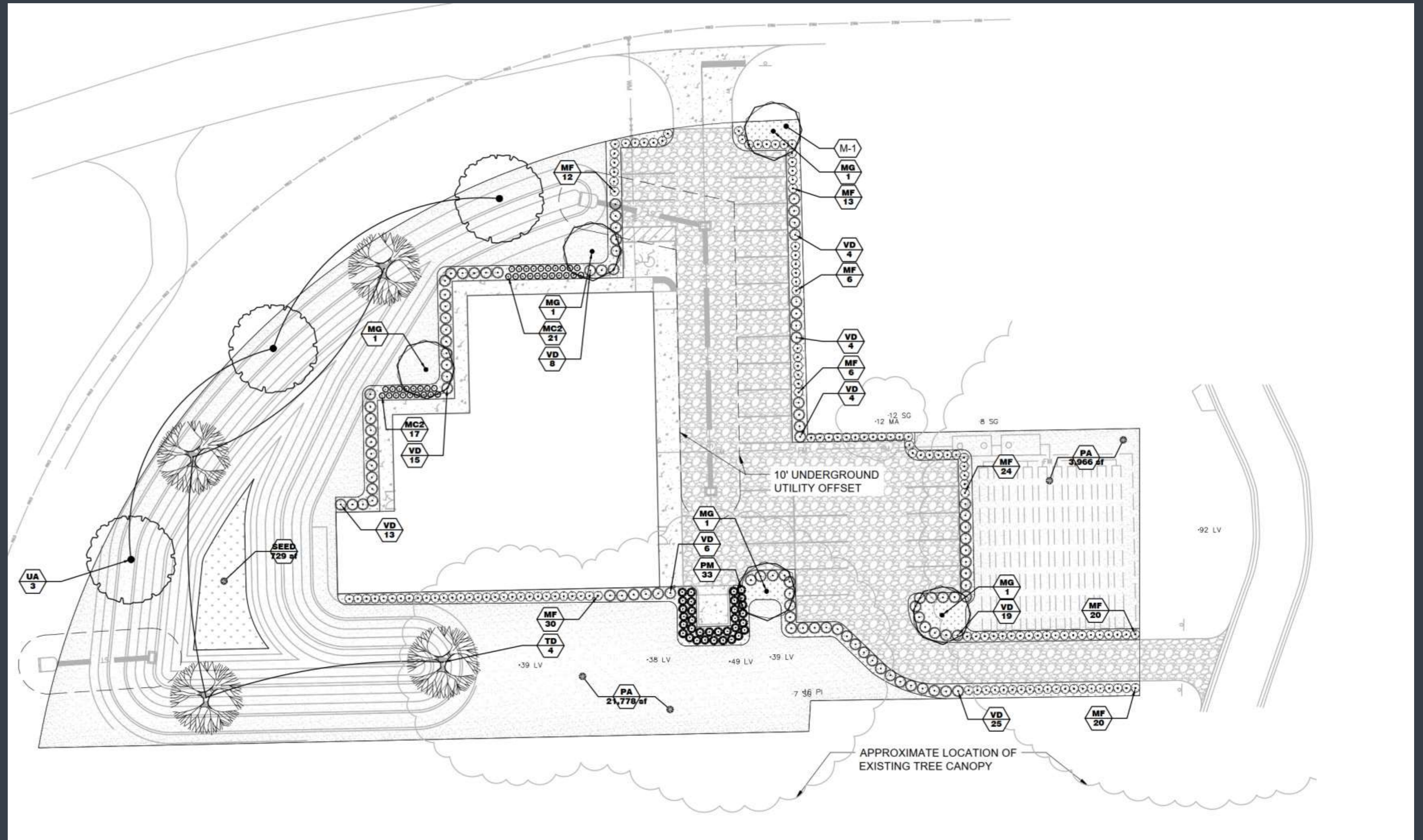
Proposed Traffic Patterns

- 8-10 cars can line-up on the property.
- 20 additional parking spots (not utilized for staff)
- New building will allow for new after-school programs which will significantly decrease the number of families in pick-up at once.
- Existing average pick-up delay on NW Seminary Ave: 9 minutes each afternoon (maximum 15 minutes during severe weather)



Landscape and Tree Preservation Plan

- No trees shall be removed on-site.
- Additional plantings and shrubbery provided along all buffers.



Thank you!

Tim Boehlein, P.E. – Tim.Boehlein@jbpro.com

