



CITY OF MERCER ISLAND

CITY COUNCIL REGULAR HYBRID MEETING

Tuesday, May 03, 2022 at 5:00 PM

MERCER ISLAND CITY COUNCIL:

Mayor Salim Nice, Deputy Mayor David Rosenbaum,
Councilmembers: Lisa Anderl, Jake Jacobson,
Craig Reynolds, Wendy Weiker, and Ted Weinberg

LOCATION & CONTACT:

Mercer Island City Hall and via Zoom
9611 SE 36th Street | Mercer Island, WA 98040
206.275.7793 | www.mercerisland.gov

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The virtual meeting will be broadcast live on MITV Channel 21 and live streamed on the City Council's [YouTube Channel](#)

Registering to Speak for Appearances: Individuals wishing to speak live during Appearances (public comment period) or comment during one of the Public Hearings must register with the City Clerk at **206.275.7793** or cityclerk@mercerisland.gov before 4 PM on the day of the Council meeting.

Please reference "Appearances" or "Public Hearing" on your correspondence and state if you would like to speak either in person at City Hall or remotely using Zoom. If providing your comments using Zoom, staff will be prepared to permit temporary video access when you enter the live Council meeting. Please remember to activate the video option on your phone or computer, ensure your room is well lit, and kindly ensure that your background is appropriate for all audience ages. Screen sharing will not be permitted, but documents may be emailed to council@mercerisland.gov.

Each speaker will be allowed three (3) minutes to speak. A timer will be visible in Council Chambers, online to speakers, City Council, and meeting participants. Please be advised that there is a time delay between the Zoom broadcast and the YouTube or Channel 21 broadcast.

Join by Telephone at 5:00 PM (Appearances will start sometime after 5:45 PM): To listen to the meeting via telephone, please call **253.215.8782** and enter Webinar ID **816 5041 2245** and Password **730224** if prompted.

Join by Internet at 5:00 PM (Appearances will start sometime after 5:45 PM): To watch the meeting over the internet via your computer, follow these steps:

- 1) Click this [link](#)
- 2) If the Zoom app is not installed on your computer, you will be prompted to download it.
- 3) If prompted for Webinar ID, enter **816 5041 2245**; Enter Password **730224**
- 4) The City Clerk will call on you by name or refer to your email address when it is your turn to speak.
Please confirm that your audio works prior to participating.

Join in person at Mercer Island City Hall at 5:00 PM (Appearances will start sometime after 5:45 PM): – Council Chambers - 9611 SE 36th Street

Submitting Written Comments: Written comments may be submitted at the Mercer Island [Let's Talk Council Connects](#) page. Written comments received by 3 PM on the day of the meeting will be forwarded to all Councilmembers and a brief summary of the comments will be included in the minutes of the meeting.

MEETING AGENDA - REVISED

CALL TO ORDER & ROLL CALL, 5 PM

PLEDGE OF ALLEGIANCE

AGENDA APPROVAL

STUDY SESSION

1. AB 6059: Climate Action Plan Update – REVISED

Recommended Action: Receive report and provide staff direction on the Climate Action Plan community engagement process.

CITY MANAGER REPORT

APPEARANCES

(This is the opportunity for anyone to speak to the City Council on any item.)

CONSENT AGENDA

2. AB 6072: April 22, 2022 Payroll Certification

Recommended Action: Approve the April 22, 2022 Payroll Certification (Exhibit 1) in the amount of \$855,207.84 and authorize the Mayor to sign the certification on behalf of the entire City Council.

3. Certification of Claims:

A. Check Register 211456 – 211541 | 4/22/2022 | \$454,377.52

Recommendation Action: Certify that the City Council has reviewed the documentation supporting claims paid and approved all checks or warrants issued in payment of claims.

4. City Council Meeting Minutes of April 19, 2022

Recommendation: Approve the minutes of the April 19, 2022 City Council Meeting.

5. AB 6069: Affordable Housing Week (Proclamation No. 289)

Recommended Action: Proclaim May 8 – 14, 2022 as Affordable Housing Week.

6. AB 6071: 2022 Arterial and Residential Street Overlays Project Bid Award

Recommended Action: Award all four schedules of the 2022 Arterial and Residential Street Overlays project to Watson Asphalt Paving Co., Inc., authorize the City Manager to execute a contract with Watson Asphalt Paving Co, Inc in an amount not to exceed \$1,449,990.80, and appropriate \$95,733 from the Street Fund balance to fully fund the 2022 Arterial and Residential Street Overlays project.

7. AB 6060: Heat Pump Installation Campaign Proposal

Recommended Action: Appropriate \$25,000 of ARPA funds to subsidize qualified low-income households participating in the Heat Pump Installation pilot campaign.

8. AB 6048: Resolution to Apply for RCO ALEA, WWRP and LWCF grant funding programs for Luther Burbank Park Waterfront Renovation and Upgrades

Recommended Action: Adopt Resolution No. 1623 authorizing staff to submit grant applications for the Luther Burbank Waterfront Renovation and Upgrade project.

9. AB 6077: 2022-2023 Port of Seattle Economic Development Partnership Grant Award

Recommended Action: Authorize the City Manager to sign the Port of Seattle Economic Development Partnership agreement, accepting grant funds in the form substantially as attached in Exhibit A of the agreement.

10. AB 6070: One Washington MOU Among Washington Municipalities

Recommended Action: Authorize the City Manager to sign the One Washington MOU, relating to allocation and use of future settlement proceeds from opioid litigation by Washing municipalities, substantially in the form attached as Exhibit 1 to AB 6070.

11. AB 6076: ADA Transition Plan Adoption – Documents added 4/28/2022

Recommended Action: Adopt ADA Transition Plan.

12. AB 6085: Mayor’s Letter to the Community - ADDED 5/2/2022

Recommended Action: Approve Mayor Nice sending the Letter to the Community in substantially the form as presented in Exhibit 1.

REGULAR BUSINESS

13. AB 6067: Town Center Moratorium Renewal

Recommended Action: Conduct a Public Hearing and consider public testimony on Ordinance No. 22-03. Move to second reading Ordinance No. 22-03 extending the Town Center moratorium for an additional six-month period.

14. AB 6073: Comprehensive Plan Update Project Status and Selection of Volunteers for Economic Development and Housing Work Groups

Recommended Action: Select two City Councilmembers to serve on the Economic Development Work Group and two City Councilmembers to serve on the Housing Work Group.

15. AB 6075: Puget Sound Regional Council (PSRC) General Assembly Voting Delegate

Recommended Action: Appoint Councilmember _____ as the voting delegate at the PSRC General Assembly in May.

16. AB 6068: 2023-2028 Six-Year Transportation Improvement Program Review and Public Hearing

Recommended Action: Receive comments from the public hearing and provide feedback to staff.

17. AB 6074: Development Code Amendment ZTR21-006 Land Use Review Types (Ord. No. 22C-05 First Reading)

Recommended Action: Schedule Ordinance No. 22C-05 for second reading on June 7, 2022.

OTHER BUSINESS

18. Planning Schedule

19. Councilmember Absences & Reports

EXECUTIVE SESSION

20. Pending or Potential Litigation

Executive Session to discuss with legal counsel pending or potential litigation pursuant to RCW 42.30.110(1)(i)

Collective Bargaining

Executive Session for planning or adopting the strategy or position to be taken by the City Council during the course of any collective bargaining, professional negotiations, or grievance or mediation proceedings, or reviewing the proposals made in the negotiations or proceedings while in progress pursuant to RCW 42.30.140(4)(b)

No action will be taken following the Executive Session.

ADJOURNMENT



BUSINESS OF THE CITY COUNCIL CITY OF MERCER ISLAND

AB 6059
May 3, 2022
Study Session

AGENDA BILL INFORMATION

TITLE:	AB 6059: Climate Action Plan Update	<input checked="" type="checkbox"/> Discussion Only <input type="checkbox"/> Action Needed: <input type="checkbox"/> Motion <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution
RECOMMENDED ACTION:	Receive report and provide staff direction on the Climate Action Plan community engagement process.	

DEPARTMENT:	Public Works		
STAFF:	Jason Kintner, Chief of Operations Ross Freeman, Sustainability Analyst		
COUNCIL LIAISON:	Craig Reynolds	Jake Jacobson	Ted Weinberg
EXHIBITS:	1. Draft MI CAP Engagement Plan 2. CAP Online Community Kickoff Summary 3. CAP Online Survey Summary 4. Audit of Existing City Policies and Plans 5. Summary of Outreach and Promotion		
CITY COUNCIL PRIORITY:	1. Prepare for the impacts of growth and change with a continued consideration on environmental sustainability.		

AMOUNT OF EXPENDITURE	\$ n/a
AMOUNT BUDGETED	\$ n/a
APPROPRIATION REQUIRED	\$ n/a

EXECUTIVE SUMMARY

The purpose of this agenda bill is to provide an update on Mercer Island’s Climate Action Plan (CAP) schedule and activities to date, to present an overview of the proposed public engagement process, and to seek Council feedback.

- At its November 1, 2021 meeting, the City Council approved the development of Mercer Island’s first CAP (view presentation and discussion [here](#), [AB 5965](#)), and staff began developing a scope for the 12-month project in coordination with the Council Sustainability Committee.
- Staff seek to determine whether the Draft Engagement Plan (see Exhibit 1) meets Council’s expectations, with the understanding that Council has asked for the CAP to be completed by December 2022.
- The City’s Let’s Talk website has a page dedicated to Climate Action Plan meeting notes, schedule, supporting materials, and more, at: <https://letstalk.mercergov.org/climate-action-plan>

BACKGROUND

In 2007, the City adopted a GHG reduction target of 25% by 2020, 50% by 2030, and 80% by 2050 (compared to 2007), and in 2011, Mercer Island was a founding member of the King County-Cities Climate Collaboration (K4C). This alliance of 20 local governments helps support climate solutions, share success stories, and coordinate multi-city initiatives to achieve shared climate goals and targets.

In June 2021, King County’s Growth Management Planning Council (GMPC) updated countywide planning policies that tightened the 2050 emissions target to a 95% reduction. The Mercer Island City Council ratified this, and other new policies, with [Resolution No. 1620](#) on March 1, 2022, and it took effect on April 6, 2022.

While Mercer Island has a long history of stewardship and protection of the environment, and adopted GHG emission targets almost 15 years ago, there is not currently a long-term cohesive planning document that organizes actions and programs in a strategic manner, ranks implementation priority, and measures progress on a regular schedule. At its November 1, 2021 meeting, the City Council approved the development of Mercer Island’s first CAP (view presentation and discussion [here, AB 5965](#)), and staff began developing a scope for the 12-month project in coordination with the Council Sustainability Committee.

ISSUE/DISCUSSION

The formal launch of the CAP process commenced with a new [City webpage](#) for general background information, and a new [Let’s Talk campaign page](#) to house the public engagement activities and associated materials.

The public engagement process kicked off in December 2021 with an online community meeting drawing 63 attendees. A related online survey addressed the same questions as those covered at the kickoff meeting, and drew an additional 82 responses, mostly from individuals who were not at the kickoff. See demographic information, event summaries, and thematic analysis contained within Exhibits 2 and 3.

CONSULTING SUPPORT

The City solicited proposals for CAP consulting support, and early in 2022, selected the Seattle-based Cascadia Consulting Group (Cascadia) from among six applicants. Cascadia has assisted dozens of communities along the West Coast in developing and writing their Climate Action Plans, brings a great deal of local expertise and extensive support services to Mercer Island’s CAP, including public engagement, emissions data analysis, suggested GHG mitigation measures, and ultimately, drafting of the Plan itself including graphic design.

During the current stage of the CAP process, Cascadia has completed reviewing a wide range of City planning documents and policies (such as the Comp Plan, PROS Plan, Transportation Improvement Plan, etc.) to ensure that the CAP harmonizes with existing climate-related work, that prior achievements are captured appropriately, and that progress is properly reflected. See Exhibit 4 - Audit of Existing City Policies and Plans.

Cascadia is also in the process of organizing and analyzing municipal and community emissions data from 2017-2020, in order to update the City’s emissions inventory. While the City has continued to collect raw data since 2016, a full calculation of total and per capita emissions (i.e., Carbon Dioxide equivalent, or CO₂e) has not been performed since 2016, when the City ended its contract for a prior tracking platform known as Scope 5. In the interim, the City has published a number of more [general tracking metrics](#) on its sustainability webpages. Once this catch-up work is complete, Cascadia will also generate a “wedge analysis” that graphically depicts the relative contribution of various GHG actions at the federal, state, and local level, and

the amount of reduction that is yet to be attained by Mercer Island in order to meet its adopted emissions goals through 2050.

A great deal of work on locally-relevant greenhouse gas reduction measures has been completed recently, and can be found in the heavily-researched [Climate Action Toolkit](#), published by King County, as well as in freshly-adopted CAP's from other cities, also produced by Cascadia, such as Bothell and Issaquah. In addition, Mercer Island's larger neighbors (namely Bellevue, Kirkland, and Redmond) have all completed extensive recent updates to their existing CAP's and assessed progress toward their published emissions goals. This exhaustive body of work means that Mercer Island has a very large pool of vetted and tested GHG actions to draw on and should be able to progress very efficiently towards the Draft Goals and Actions phase even before the Wedge Analysis is complete.

COMMUNITY ENGAGEMENT

Starting in November 2021, the City has used a wide range of channels to build general awareness of the CAP process and the opportunities to engage. These range from Council Meeting presentations to news releases and website updates, to social media posts and newsletter articles, and coverage in the local MI-Reporter newspaper. A summary of general outreach and awareness activities, as well as media coverage, is available as Exhibit 5 - Summary of Outreach and Promotion.

In addition to the community kickoff meeting held in December, and a staff kickoff meeting held in March, more meetings are now scheduled with the City Council, as well as the Planning Commission, Parks & Recreation Commission, Arts Council, and Utility Board. It is anticipated that the next formal opportunity for widespread public feedback and engagement will be when the Draft Goals and Actions are issued in Late May or early June. Ongoing general feedback will still be incorporated from the City's Let's Talk forum and from input gathered at various pop-up events, such as Earth Day, the Farmers Market, etc.

The full breadth of the CAP's anticipated outreach and engagement components are explained in detail in Exhibit 1 – Draft Engagement Plan, and Cascadia will walk Council through the various components during its presentation.

NEXT STEPS

Based on the many resources available itemizing relevant GHG actions, and public input to date, Cascadia will begin the Draft Goals and Actions document in close collaboration with staff and the Sustainability Committee.

At this time, the next scheduled appearance before the full City Council is set for this summer (likely July), when Council will review the set of drafted Goals, Strategies, and Actions after they have been refined and improved by public feedback.

RECOMMENDED ACTION

Receive report and provide staff direction on the Climate Action Plan community engagement process.

DRAFT

PUBLIC ENGAGEMENT PLAN

**MERCER ISLAND
CLIMATE ACTION PLAN**

APRIL 2022



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OVERVIEW OF PUBLIC ENGAGEMENT PLAN

Background

The City of Mercer Island (City) is developing its first Climate Action Plan (CAP) that will serve as a foundational framework and roadmap to manage current and future carbon emissions and climate change impacts in Mercer Island. The overarching goal of this CAP is to establish a suite of ambitious and feasible strategies to reduce Mercer Island's GHG emissions, get back on track to meet emissions targets, prepare residents for future climate impacts, and bring additional benefits to all members of the community. In recognizing that community engagement is essential in developing and implementing a successful CAP, this Public Engagement Plan (Plan) will support the City in re-envisioning what a climate-smart community looks like and identify pathways that help achieve that vision.

This Plan has been developed to **provide a strategic framework for engaging with key partners and the public in the climate action planning process.** This Plan outlines the goals and objectives of public engagement, community demographics, key messages, and strategic engagement strategies to engage and communicate with a diversity of audiences and partners. Cascadia Consulting Group (CCG) will work with the City to implement this Plan.

Public Engagement Approach Overview

The outreach team will be engaging the public at key project milestones to identify key community priorities and preferences; gather input on proposed climate strategies to ensure that community needs, goals and preferences of the community are reflected; and to ensure community input shapes the final product. The outreach team will do this by using a series of tools, including but not limited to: online open house & survey, community workshops, briefings at events, newsletters/mailers, and direct outreach to key community members through focus groups.

The Public Engagement Plan is a living document intended to guide the project team through the engagement process.

Project Team

Project Managers:	Ross Freeman (City Sustainability Program), Andrea Martin (CCG), Addie Bash (CCG)
City Staff:	Alaine Sommargren (Public Works Deputy Director), Alison Van Gorp (Deputy CPD Director), Jaime Paige (Support Services Manager), Jason Kinter (Chief of Operation), Mason Luvera (Communications Manager), Merrill Thomas-Schadt (Senior Management Analyst), Patrick Yamashita (City Engineer/Public Works Deputy Director), Sarah Bluvus (Economic Development Coordinator)
Outreach Support:	Mike Chang (CCG), Megan Lee (CCG)



GOALS, OBJECTIVES, & GUIDING PRINCIPLES

Vision: Develop a Public Engagement Plan that engages the Mercer Island community for the CAP, so that the CAP reflects the community’s goals, needs and priorities.

<p>Goal A</p>	<p>Educate, empower, and energize the citizens of Mercer Island to cultivate a shared understanding around climate change and clearly communicate the overall engagement process.</p> <p>Objective 1: Equip citizens with a baseline level of knowledge of concepts and terms about climate change.</p> <p>Objective 2: Build awareness around climate change, the climate action planning process, and convey how this relates to and supports the interests and values of all audiences within the community.</p> <p>Objective 3: Ensure the citizens of Mercer Island are aware of where and when public input is available and have access to information and resources to participate.</p>
<p>Goal B</p>	<p>Gather community perspectives and feedback on the CAP that is representative of the community and build communitywide support and buy-in to inform CAP development and guide decision-making.</p> <p>Objective 1: Reduce barriers to participation and use relevant, in-language messaging to different audiences across ages, industries, cultures, and locations.</p> <p>Objective 2: Provide opportunities for community members to voice their priorities, concerns, and expectations as they relate to the CAP—and be responsive to them—to ensure buy-in throughout the planning process.</p> <p>Objective 3: Provide transparency regarding how community input is used and will guide the CAP process.</p>

These goals and objectives are aligned with the following **public engagement guiding principles**:

- **Education & Awareness** – ensure the community has access to information and resources to participate and provide input
- **Access & Transparency** – the community knows when and how they can participate in the CAP process
- **Equity** – intentional efforts are taken to engage historically underrepresented communities in a meaningful way
- **Support** – the community feels respected and heard
- **Trust** – the community understands how their input and participation shapes the final product



ENGAGEMENT PHASES

The CAP engagement process will consist of the following key phases:

- **Phase 1 Engagement:** Vet proposed targets/goals; brainstorm and begin vetting/prioritizing actions; identify high-level barriers/challenges/opportunities.
- **Phase 2 Engagement:** Review draft CAP; finalize actions & implementation details.
- **Phase 3 Engagement:** Final review of CAP; adoption; transition to implementation.

KEY AUDIENCES AND PARTNERS

Mercer Island Community Context

Mercer Island is situated in Lake Washington, east of the City of Seattle and west of the City of Bellevue against the backdrop of the Cascade Mountains, Mount Rainier, and Lake Washington. While Mercer Island is a relatively small and affluent City, it has a diversity of residents, community groups, and interests that will be essential to integrate into the planning process. These audiences include local small businesses, senior citizens, ethnic groups, and residents from different income demographics.

The table below describes some of the ways Mercer Island’s demographics compare to the rest of King County, and what those characteristics might mean for engagement:

Mercer Island...	Engagement considerations
...has a large population of people 65 years old and over	✓ Identify and partner with senior adult organizations identified in Appendix A.
...is highly educated.	<ul style="list-style-type: none"> ✓ Tap community knowledge for CAP development and implementation support. ✓ Meet the community where they’re at – can provide more technical background information.
...has a large Asian population ¹	<ul style="list-style-type: none"> ✓ Identify and partner with Asian community-based organizations. ✓ Provide translation services for Asian languages (specifically, traditional Chinese/Mandarin).
...has a high rate of home ownership.	✓ Include homeowners’ associations as part of targeted community outreach.

¹ The percentage of Mercer Island residents who identify as Asian alone differs only 0.1% from the rest of King County but has a 10.2% larger Asian alone population when compared to Washington State.



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According to the U.S. Census Bureau, Mercer Island has an **estimated population of approximately 25,820 persons** in 2020. Other recent demographics are summarized as follows, based on 2020 5-year estimates:

Age	
Under 5 years	4%
5-19 years	21.5%
20-44 years	23%
45-64 years	31.1%
65 and over	20.6%

Languages Spoken	
English only	77.9%
Asian and Pacific Island languages	12.1%
Other Indo-European languages	6.5%
Spanish	3%
Other	.5%

Housing Types	
Own	66.9%
Rent	33.1%

Sex	
Male	47.5%
Female	52.5%

Education	
Less than 9th grade	0.8%
9th to 12th grade, no diploma	0.8%
High school graduate (includes equivalency)	6.6%
Some college, no degree	10.1%
Associate's degree	5.6%
Bachelor's degree	38.3%
Graduate or professional degree	37.9%
High school graduate or higher	94.8%
Bachelor's degree or higher	76.2%

Race	
White alone	71.5%
American Indian and Alaska Native	0.1%
Asian alone	19.8%
Black or African American alone	0.9%
Native Hawaiian and Other Pacific Islander	0.1%
Other race alone	1.7%
Two or more races	6%
Hispanic or Latino of any race	3.5%



PUBLIC ENGAGEMENT PLAN

Language Needs

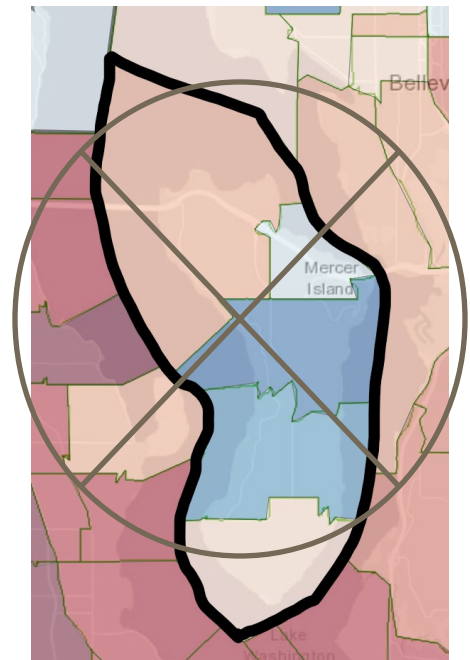
The City of Mercer Island’s Emergency Management Program conducted an audit of language needs in 2021. Project materials and information may be provided in non-English languages depending on budget and capacity. If budget allows, the City – with support from CCG – can translate materials into the following languages, ordered from most widely spoken to least widely spoken. Note that just because a person speaks a non-English language predominantly in the household, it does not mean that person necessarily requires translation services.

- Chinese
- Japanese
- Korean
- Spanish
- Hindi
- Vietnamese
- Russian

Health Disparities Map

The adjacent map is a subset of Washington’s Environmental Health Disparities Map, which shows social vulnerabilities by census tract. The map “estimates a cumulative environmental health impact score for each census tract reflecting pollutant exposures and factors that affect people’s vulnerability to environmental pollution.”²

Darker red areas are areas that are more socially vulnerable and bluer areas are areas that are less socially vulnerable. The City of Mercer Island’s overall environmental health disparities rank from three (3) to seven (7) which is relatively low compared to surrounding cities. Northern Mercer Island is the most vulnerable area on the island—more highly ranked environmental exposures in that area include populations near heavy traffic Roadways, toxic releases from facilities, and diesel pollution. Given that social vulnerability is a component of climate vulnerability, **it will be important to focus CAP engagement in this area.**



²-To view full Washington Environmental Health Disparities Map, visit: <https://fortress.wa.gov/doh/wtm/WTNIBL/>. Accessed April 20, 2022.



PUBLIC ENGAGEMENT PLAN

Levels of Engagement & Key Audiences

Levels of Engagement

Proposed engagement activities will span the four levels of engagement indicated in the table below. Activities included specifically in this Engagement Plan are **bolded**, and many have already begun.

1 Inform	2 Consult	3 Involve	4 Collaborate
Educate members of the group about the rationale for the project or decision; how it fits with City goals and policies; issues being considered, areas of choice or where input is needed.	Gather information and ask for feedback from group to better inform the City’s work on the project.	Work directly and consistently with group to ensure their concerns are understood and considered in the City’s planning process.	Create a partnership to work along with groups and give them meaningful ownership developing and implementing the planning process or project.
Activities			
<ul style="list-style-type: none"> • Social media • Emails/newsletters • Open houses • Presentations • Factsheets 	<ul style="list-style-type: none"> • Online surveys • Public comment • Focus groups 	<ul style="list-style-type: none"> • Interactive workshops • Community workshops 	<ul style="list-style-type: none"> • Citizen advisory committees • MOUs with community-based organizations



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Key Audiences

The following list includes key audiences to engage during the CAP development process. *This is not an exhaustive list and will serve as a guide during outreach.* A full list of audiences and community groups are in Appendix A.

INTERNAL AUDIENCES

Audience & Description	Groups	Engagement Goal
Decision-makers <i>City leaders who make decisions that drive investment and policy</i>	<ul style="list-style-type: none"> ▪ City Council <ul style="list-style-type: none"> ○ City Council’s Sustainability Committee ▪ City Manager 	Involve and collaborate for decision-making.
Implementation Leads <i>City staff who are responsible for directing climate strategy implementation in departments</i>	<ul style="list-style-type: none"> ▪ City Sustainability Office ▪ Department heads and staff 	Involve to gather feedback on potential strategies, align with priorities and processes, and garner support.
Guides and Analysts <i>City commission/committee members whose support and direction are important for community engagement, climate strategy development, and implementation</i>	<ul style="list-style-type: none"> ▪ Planning Commission ▪ Utility Board ▪ Open Space Conservancy Trust ▪ Parks & Recreation Commission ▪ Arts Council 	Involve and collaborate , as appropriate, to gather feedback on engagement opportunities and CAP strategies.

EXTERNAL AUDIENCES

Audience & Description	Groups	Engagement Goal
Advocates <i>Very supportive of climate action and willing to put in effort to support climate strategy process</i>	<ul style="list-style-type: none"> ▪ Environmental community-based organizations <ul style="list-style-type: none"> ○ Sustainable Mercer Island ○ Mercer Island Climate Action Now ○ IslandVision ○ Neighbors in Motion 	Inform and consult with to gather feedback in developing strategies and getting the word out on engagement opportunities.



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Audience & Description	Groups	Engagement Goal
<p>Community Groups and Critical Perspectives <i>Groups frequently not reached during public processes but critical to reach</i></p>	<ul style="list-style-type: none"> ▪ Community groups ▪ Cultural groups and organizations <ul style="list-style-type: none"> ○ IAWW (Indian Association of Western Washington) ○ MI Chinese Association ○ Faith Community ▪ Communities of color <ul style="list-style-type: none"> ○ ONE MI ▪ Mercer Island School District ▪ MI Preschool Association ▪ Limited/Non-English-speaking communities ▪ Households with low income ▪ People experiencing homelessness ▪ Religious organizations <ul style="list-style-type: none"> ○ Stroum Jewish Community Center ○ Island Synagogue ○ MI Congregational Church ▪ Social service organizations and facilities ▪ Arts organizations 	<p>Inform and consult and update for CAP development and foster participation.</p>
<p>Private Sector and Implementation Partners <i>Conduct operations that affect the success of public engagement and climate strategy implementation</i></p>	<ul style="list-style-type: none"> ▪ Businesses <ul style="list-style-type: none"> ○ Mercer Island Chamber of Commerce ▪ Developers and property owners ▪ Utilities ▪ Transit agencies ▪ Regulatory agencies ▪ Hospitals and medical centers 	<p>Inform and consult with to gather feedback and identify new strategies.</p>
<p>General Public <i>Climate strategies and implementation affect day-to-day lives</i></p>	<ul style="list-style-type: none"> ▪ Various groups and communities, e.g., those representing major employers, schools, and social/gathering places 	<p>Inform throughout the process and consult on strategies and opportunities.</p>



KEY ENGAGEMENT STRATEGIES

Successful engagement requires tailored approaches to meet the assorted needs and priorities of key audiences and partners. We acknowledge that individuals and organizations within the key audience groups will vary in their understanding of climate change and climate impacts and their level of support for climate action. To that end, we will strategically use several core engagement strategies to connect with audiences around their priorities and concerns – meeting audiences where they are at.

Our approach is designed to engage a representation of the public across these spectra by reaching out to groups who are critical to implementing CAP strategies, will be most affected by CAP actions, and/or are typically harder-to-reach populations.

During the time of COVID, we will use a hybrid approach – a combination of virtual and remote engagement as well as in-person events – to connect with the community and key partners. Below are proposed strategies to reach key audiences and partners. The sections below highlight different engagement methods and how they align with our public engagement goals.

We will work with the City on ensuring all CAP and engagement opportunities are listed on the City’s “Let’s Talk” platform.

Public Workshops, Survey, & Online Open House

Public workshops, surveys, and online open houses provide convenient and accessible opportunities for the public to learn about the CAP progress and share feedback, questions, and concerns. CCG will lead two (2) public workshops, one (1) public survey, and one (1) online open house.

The City has already held an initial public workshop and online survey. Objectives of the initial workshop were to educate the community about the CAP process and Mercer Island’s progress to-date, gather input on community priorities, and provide information on how to stay involved as the planning process progresses. The online survey gathered input on the community’s CAP Vision, collected ideas for potential CAP strategies and actions, and solicited feedback on criteria to use in ranking CAP priority actions.

The second public workshop and accompanying survey will take place during Phase 1, during which participants will learn about updates to the CAP since the first public workshop, including the GHG inventory and wedge analysis and provide feedback on CAP goals and preliminary strategies and actions. CCG will use the Let’s Talk platform or SurveyMonkey to develop the survey depending on the City’s preference and functionality required.

The third public workshop and accompanying online open house will occur during Phase 2, during which participants will learn about CAP progress and share feedback on the draft CAP content, strategies, and actions. CCG will use Konveio to host the online open house unless the City identifies otherwise. The online open house platform will provide the opportunity for all to learn about the current progress of the CAP and provide feedback. An online format also offers opportunity to increase accessibility and flexibility, as participants can engage on their own time from wherever they wish.



PUBLIC ENGAGEMENT PLAN

	CCG	Mercer Island
Public Workshops	Develop presentation/materials; facilitate public workshop; summarize findings	Review workshop materials; promote workshop; participate & facilitate/present, as applicable
Public Survey	Develop & host survey; compile response summary	Review draft survey; promote
Online Open House	Develop & host content; compile response summary	Review content; respond to public questions, as applicable

City Council Meetings and Commission/Committee Meetings

CCG and the City will optimize decision-makers and implementation leads' time by attending standing meetings, as needed, to provide updates on CAP development and solicit feedback. Anticipated City Council, Commission, and Committee meeting engagement are described in the table below. It is important that Council, Commission, and Committee members are aware of CAP development and share ownership over the strategies and actions.

	CCG	Mercer Island
City Council Meetings	Support preparation & attend/present at the following meetings: <ol style="list-style-type: none"> 1. Present community engagement plan 2. Present draft CAP 3. Final plan study session <p>(Up to 15 total hours of consultant time [~5 hrs/meeting])</p>	Support preparation & attend CCG -led meetings; lead preparation & attend/present at the following meetings: <ol style="list-style-type: none"> 4. Present proposed strategies/actions 5. Final Plan adoption
Commission/Committee Meetings	Support preparation & attend/present at up to seven (7) meetings: <ol style="list-style-type: none"> 1. Up to 3 during Phase 1 2. Up to 4 during Phase 2 <p>(Up to 35 total hours of consultant time [~5 hrs/meeting]; assume that preparation materials are identical in each phase)</p>	Support preparation & attend CCG -led meetings; lead other Commission/Committee meetings, as needed

City Staff Engagement

Feedback from key City staff is critical to inform CAP development. The City and Cascadia met with staff for the initial CAP kickoff to gather feedback on staff and community priorities, relevant parallel City policies and plans, lessons learned from similar planning efforts, and other key information to inform the plan. We advise the City continue to gather input and leverage expertise from relevant City staff throughout Phases 1 and 2 of CAP development to weigh in on recommended targets and/or review components of the plan. To do this, we recommend the City lead and facilitate two working sessions with key City staff.

- In the first phase, the working session will focus on reviewing past/future GHG and climate impact trends, target-setting recommendations, existing City sustainability initiatives, key barriers, and key opportunities.
- In the second phase, the working session will focus on gathering input on the draft CAP and the feasibility of draft strategies and implementation details.

CCG	Mercer Island
Not currently budgeted/scoped	Lead two working sessions with City staff



External Community Focus Groups

Strategic and focused community engagement provides an opportunity to gather critical voices to participate in the planning process. Creating a space for key audiences who may not otherwise engage in the CAP process ensures that we are hearing from all members of the community. We recommend organizing focus groups that gather the following community groups:

- Those who haven't participated in public engagement opportunities to-date, but are priority community members for the CAP.
- Priority community members with whom having a more personal, detailed, and confidential discussion could be helpful, such as implementation partners, vulnerable groups, and groups who could oppose key CAP actions.

CCG	Mercer Island
Lead material development, facilitation, and summarization of up to two focus group meetings.	Review meeting materials, identify and recruit participants.

Pop-up Events

Pop-up events provide community members the opportunity to learn about the CAP in-person and provide real time feedback and questions to the project team. We recommend that the pop-up event include at least one custom engagement collateral (e.g., poster) and additional materials such as factsheets and postcards, as available. We further recommend the event either:

- Takes place in an area that will reach a broad range of Mercer Island residents (e.g., downtown, community centers, farmers market).
- Takes place at a location that focuses on the key audiences identified above. Depending on location, all materials will be translated into the most prominent languages.

CCG	Mercer Island
Not currently budgeted/scoped.	Lead pop-up events, as able, potentially using volunteers in some instances.

Outreach Collateral

In order to support the wide variety of engagement strategies and key audiences, Cascadia will develop a custom style guide and branded Microsoft word/PPT template.

CCG	Mercer Island
Develop a Microsoft word and PPT template, and style guide.	Develop factsheet and palm card/postcard. Review and provide comments (assume up to one round of review on all materials).



PUBLIC ENGAGEMENT PLAN

TIMELINE AND BUDGET

Budget

The table below describes how the public engagement budget will be spent and key assumptions about the responsibilities of City staff and the consultant team.

Engagement Approach	#	CCG Role	CCG Budget
Public Engagement Plan	1	Lead development of Public Engagement Plan & tracker.	\$3,840
Public Workshop, Online Open House, & Survey	2 public workshops 1 public survey 1 online open house	Plan, facilitate, & summarize outcomes from two virtual public workshops. Develop, host, & summarize outcomes from one public survey. Develop and summarize outcomes from 1 Konveio online open house site	\$21,950
City Council and Commission/Committee Meetings	4 Council Meetings 8 Commission /Committee Meetings	Support preparation & attend/present at 3 Council meetings and up to 7 Commission/Committee meetings.	\$9,115 (~5 hrs/mtg)
City Staff Engagement	2	The City to lead two working sessions with City staff.	\$0
External Community Focus Groups	2	CCG to facilitate two external community focus group meetings.	\$7,720
Pop-up event	1	Not currently scoped/budgeted.	\$0
Outreach collateral	#	Develop style guide & MS Word/PPT template.	\$845
Total			\$43,470

Timeline & Roles

The table below outlines how each community group identified above will be engaged over the course of the CAP planning process. Roles have been categorized as follows:



Engagement Approach	Touchpoint	Date	City Role	CCG Role	Goal
Phase 1 Engagement:					
<ul style="list-style-type: none"> Vet proposed targets/goals; brainstorm and begin vetting/prioritizing actions; identify high-level barriers/challenges/opportunities 					
City Council Meetings and Commission + Committee Meetings	City Council Meeting #1	5/3/22	Co-lead	Co-lead	Study session to review Community Engagement Plan
	Parks & Rec Commission	6/2/22	Lead	Attend	Update on work to date; gather feedback on goals, strategies, and actions
	Planning Commission	6/8/22	Lead	Attend	Update on work to date; gather feedback on goals, strategies, and actions
	Utility Board Meeting	6/14/22	Lead	Attend	Update on work to date; gather feedback on goals, strategies, and actions
Public Workshop & Surveys	Community Meeting #1	6/X/22	Attend	Lead	Gather feedback on goals, strategies, and actions
	Online Survey	6/X/22	Attend	Lead	Gather feedback on goals, strategies, and actions
City Council Meetings	City Council Meeting #2	7/5/22	Lead	No role	Gather feedback on goals, strategies, and actions
	Focus Group #1	7/X/22	No role	Lead	Review final proposed actions

Engagement Approach	Touchpoint	Date	City Role	CCG Role	Goal
External Focus Groups					
	Focus Group #2	7/X/22	No role	Lead	Review final proposed actions
City Council Meetings and Commission + Committee Meetings	Council Sustainability Committee	7/X/22	Lead	Attend	Review final proposed actions
City Staff Engagement	City Staff Working Group Meeting #1	8/X/22	Lead	No role	Review final proposed actions
Phase 2 Engagement:					
<ul style="list-style-type: none"> <i>Review draft CAP; finalize actions & implementation details</i> 					
City Council Meetings and Commission + Committee Meetings	Board/Commission Meeting	9/X/22	Lead	Attend	Gather feedback on public CAP draft
	Board/ Commission Meeting	9/X/22	Lead	Attend	Gather feedback on public CAP draft
	Council Sustainability Committee	9/15/22	Lead	Attend	Gather feedback on public CAP draft
	City Council Meeting #3	9/20/22	Co-lead	Co-lead	Gather feedback on public CAP draft
Public Workshop & Surveys	Draft Plan Public Comment Period	9/27/22 – 10/10/22	No role	Lead	Gather feedback on the plan via the Konveio online platform
	Community Meeting #2	10/X/22	Attend	Lead	Gather feedback on public CAP draft
City Council Meetings and Commission +	Board/ Commission Meeting	10/X/22	Lead	No role	Gather feedback on public CAP draft

Engagement Approach	Touchpoint	Date	City Role	CCG Role	Goal
Committee Meetings					
City Staff Engagement	City Staff Working Group Meeting #2	10/ X /22	Lead	No role	Gather feedback on public CAP draft
Phase 3 Engagement:					
<ul style="list-style-type: none"> <i>Final review of CAP; adoption; transition to implementation</i> 					
City Council Meetings and Commission + Committee Meetings	Planning Commission	11/ X /22	Lead	No role	Final plan review/approval
	City Council Meeting #4	11/15/22	Co-lead	Co-lead	Final plan study session
	City Council Meeting #5	12/ 6 /22	Lead	No role	Final plan adoption
Additional Planned Engagement Touchpoints					
Event Pop-Ups	Summer Celebration	7/9/22	Lead	No role	Input (& awareness-building); potentially volunteer-led
	MI Farmers Market	Sundays Jun-Oct	Lead	No role	Input (& awareness-building); potentially volunteer-led
	Concerts in Park	Thurs Jul-Aug	Lead	No role	Input (& awareness-building); potentially volunteer-led

APPENDIX A. FULL LIST OF INTERNAL AND EXTERNAL AUDIENCES

Internal Audiences

Audiences	Examples
Internal	<ul style="list-style-type: none"> • City Council • Parks & Recreation Commission • Arts Council • Planning Commission • Utility Board

External Audiences

Audiences	Examples
General Community Groups	<ul style="list-style-type: none"> • Youth/student residents • Senior residents • Volunteers • Forest Stewards • Families • Local businesses
Community Partners, Organizations & Businesses	<ul style="list-style-type: none"> • Mercer Island Boys & Girls Club • Mercer Island Food Revolution • Mercer Island Library • Mary Wayte Pool • Mercer Island Pediatrics • Stroum Jewish Community Center • Mercer Island Chamber of Commerce • Town Center businesses • South End businesses • My MI • Mercer Island Youth and Family Services Foundation • Mercer Island School District • Mercer Island Farmer’s Market • IAWW (Indian Association of Western Washington) • Mercer Island Sister City Association • Mercer Island Historical Society • French American School of Puget Sound • Additional groups identified by the City of Mercer Island

Audiences	Examples
HOAs and Community Clubs	<ul style="list-style-type: none"> • Mercer Island Women’s Club • Mercer Island Kiwanis Club • Mercer Island Rotary Club • Mercer Island Lions Club • Mercer Island Community Fund • Concerned Citizens for Mercer Island Parks/Protect Mercer Island Parks • Friends of Luther Burbank Park • MI Chinese Association • ONE MI • Shorewood Apartments Community • Special Olympics • Solemates • Scouts • Sustainable Mercer Island • Neighbors in Motion • Nextdoor neighborhoods <ul style="list-style-type: none"> ○ Avalon Drive & Place ○ East Mercer – 85th Benotho ○ Island Point ○ Island Terrace ○ Mercer Meadows ○ Mercer Way 72nd ○ Mid Mercer Island ○ North Mercer Island ○ Pioneer Park ○ South Clark Beach ○ Southend West of Fleurry ○ The Lakes
Leagues/Sports Affiliates	<ul style="list-style-type: none"> • Sports leagues identified by City
Faith Based	<ul style="list-style-type: none"> • Faith-based groups identified by City
Schools	<ul style="list-style-type: none"> • Mercer Island High School <ul style="list-style-type: none"> ○ MIHS Outdoors Club ○ MIHS Senior Service Club ○ MIHS Green Team ○ 889 The Bridge • Crest Learning Center • Islander Middle School • Mercer Island Preschool Association (MIPA)

Audiences	Examples
	<ul style="list-style-type: none">● PTAs<ul style="list-style-type: none">○ MI PTA Council○ Island Pak Elementary PTA○ Northwood PTA○ West Mercer PTA○ Lakeridge PTA○ Islander Middle School PTA○ Mercer Island High School PA● MISD Green Team
Senior Adult organizations	<ul style="list-style-type: none">● Aljoya● Island House● Covenant Shores● Aegis Living● Sunrise Senior Living● Senior Foundation of Mercer Island● Grace Place subsidized housing● Island Crest (KCHA) subsidized housing

APPENDIX B. MERCER ISLAND STYLE GUIDE

STYLE GUIDE FOR MERCER ISLAND Climate Action Plan

Colors

PRIMARY



R:3
G:103
B:174
#0367AE

R:38
G:139
B:139
#268B8B

R:188
G:113
B:59
#BC713B

R:175
G:180
B:106
#AFB46A

SECONDARY



R:172
G:216
B:216
#ACD8D8

R:235
G:173
B:132
#EBAD84

R:66
G:66
B:66
#424242

R:223
G:224
B:222
#DFE0DE

NEUTRALS

Photos

Where possible, photos should be local and showcase nature, people, and positive action.



Type

Heading

Rockwell Bold

Body

Two Cen MT regular

Icons

Icons are displayed in solid circles. Icon style is simple, solid/glyph design.



Logo

The City of Mercer Island's logo is always used in full color.





Mercer Island Climate Action Plan

Online Community Kickoff Summary

Event Details:

- **Date:** December 8, 2021, 6:30-8:00pm (Zoom mtg)
- **Attendees:** 63 community members, and 7 hosts/speakers/volunteers
- **Additional Registrations** (not in attendance): 40+
- **Public Engagement Website:** <https://letstalk.mercergov.org/climate-action-plan>

Event Overview:

The City of Mercer Island is writing its first **Climate Action Plan** to guide the government, business, and resident actions needed to reduce the community’s [greenhouse gas \(GHG\) emissions](#) and protect our environment. Widespread citizen participation is critical to ensure that planning is a success: the City will engage the community with a variety of workshops, surveys, webpages, and other means. Development of the Plan started in fall 2021 and is expected to be adopted by the City Council in December 2022.

This document outlines the findings of the first community-wide workshop that served to kickoff the 12-month CAP process. Attendees heard a short update on the proposed plan timeline and an overview of recent City actions and greenhouse gas (GHG) emissions status. Staff gathered feedback from attendees via live chat, Q&A, and several polling questions. A 30-minute facilitated breakout session split the audience into five equal groups and provided an opportunity for attendees to begin outlining their climate priorities and personal vision for the CAP. Feedback in the breakout sessions was gathered by volunteer notetakers and reported back to the entire audience afterwards. NOTE: All discussion questions posed during the meeting remain available via [an online survey](#) to allow feedback from all interested community members:

Event Objectives:

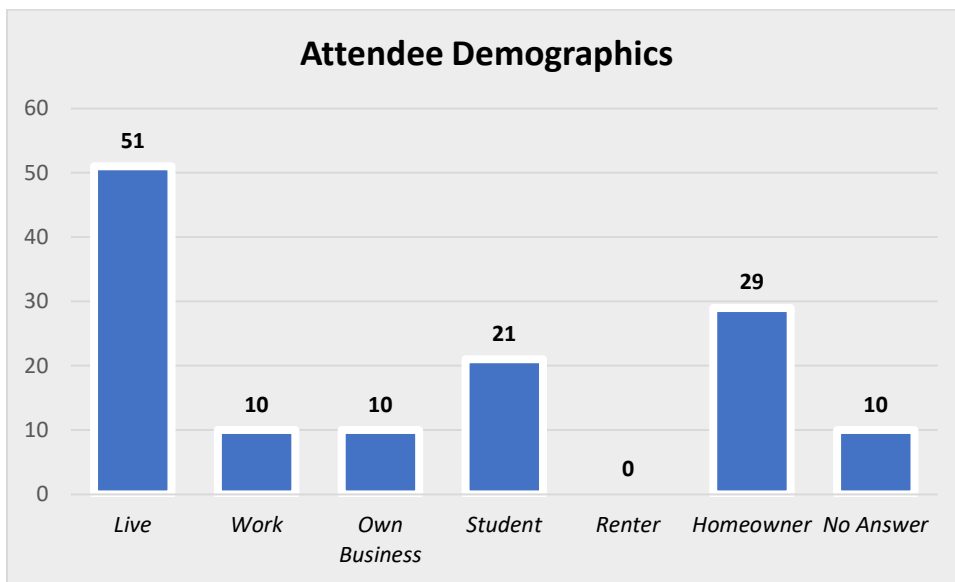
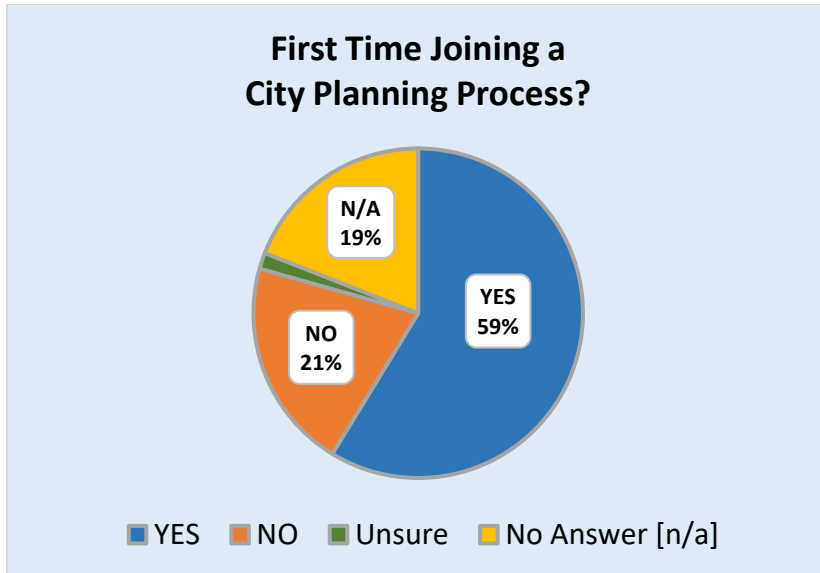
- Understand more about the CAP process
- Learn how we got here
- City & community actions so far
- Gather input on community priorities
- Learn how to stay involved and hear what’s coming next

Key Findings:

ATTENDEES

- Information was gathered about attendees via live polling. The first yes/no question asked if each attendee had ever participated in a City planning process before (see pie chart below).
- The second question asked attendees to self-report by selecting all the categories that applied to them (see graph below). Available categories were: Live on MI; Work on MI, Own a MI Business; Student; Renter on MI; Homeowner on MI.

- The City was pleased to attract a large number of first-time participants, as well as business owners and students, but must work harder to reach out to renters.



VISION

Chat comments (verbatim) gathered about a 2050 Vision – “What do you want MI to look like in 2050?”

- I want MI to *look* like it does today, but with a more vibrant downtown core
- Copenhagen!
- Fossil Fuel Free!
- Lots of trees
- Green and leafy
- More public and park space

- As beautiful, and no more dense, and yes a more vibrant downtown
- Easy access to light rail
- I appreciate light rail coming and want the last mile solution!
- I want the City to be a carbon neutral community!
- Trees, particularly keeping old trees
- Walkable everywhere
- Clean Lake WA
- Easy way to get from light rail train to south end
- 100% clean energy, autonomous EV circulating vans bringing people to light rail
- Fully solarized
- Better bike paths
- Clean air
- Better public transport; better walkability
- I would like to walk on nice paths and get easily to public transport, and not feel it's mandatory to own a car.
- Better use of retail space
- In 2050 fewer cars on our roads; more cycling and walking.
- Bike path around Island
- More electric cars, smaller cars
- Socialist?
- Common sense solutions
- 100% clean electricity in buildings; Last-mile solution; Protection from heat island effect in neighborhoods, with trees in neighborhoods.
- Affordable housing for service providers and teachers
- I want to retain our parks, our trees and beaches; fewer cars, replaced by more buses and bike lanes. Fossil fuel free. More solar panels for all, where they are viable. No more boats than we have at the moment.
- Buy-in from retail/restaurants, etc to reduce GHG's
- Less coyotes?!
- School curriculum fully aligned with CAP
- Would love to see our community rise up and become a leader for other communities: less provincial & more generous.

DISCUSSION THEMES

Listed below are the summary themes observed during the 30-minute breakout session (5 separate groups, all discussing the same 4 questions; notes taken by volunteers)

- **Question 1: *What do you love most about living in MI?***
 - People taking action; friendly; walkable community; extensive green space; quiet neighborhoods; bike paths; safe community; good leadership; great for kids; informed community; great schools; good City services.
- **Question 2: *What near-term climate impacts are you most concerned about?***
 - Stronger storms; increased flooding; landslides; heat events; smoke; invasive species/disease; shrinking snowpack
 - Emissions from excessive vehicle use
 - Wasteful water use

- Low-density development & very large houses
 - Perception that greener choices are inconvenient
 - Perception that we can “pay our way out of the problem”
 - Inequitable impacts of extreme weather
 - Future reliance on air-conditioning
 - How to lead by example and help others
- **Question 3: What suggestions do you have for specific actions, programs, policies to address climate change?**
 - **Expanded Green Building Programs**
 - ✓ Stronger MI Green Building Code
 - ✓ Policies encouraging denser housing
 - ✓ More rainwater harvesting
 - ✓ Heat pump installation campaign
 - ✓ Subsidized energy retrofits
 - ✓ Phase out natural gas in commercial buildings
 - ✓ Onsite wind and solar installation
 - ✓ Incentives for using renewable materials
 - ✓ Lobby for stricter State Building Codes in Olympia
 - ✓ Lobby for a “reach code” option allowing stronger local residential energy codes
 - **Enhanced Bike & Pedestrian Facilities**
 - ✓ A complete North-South bike route
 - ✓ More dedicated bike lanes
 - ✓ An updated Pedestrian and Bicycle Facilities (PBF) Plan
 - **Support for Cleaner Transit and Transportation**
 - ✓ North-South transit shuttle (to/from Park & Ride)
 - ✓ More public EV Chargers
 - ✓ Last-mile connection to light rail station
 - ✓ Education campaigns marketing transit, especially at high school level
 - **Cleaner Power**
 - ✓ Advocacy for PSE to reduce coal-powered electricity
 - ✓ More education on the Eastside PUD citizens campaign
 - ✓ More community solar options
 - **Improved Air Quality**
 - ✓ Consider exploring whether Island trees can be enrolled in carbon banking
 - ✓ Ban gas-powered leaf blowers
 - **Community**
 - ✓ Consider a new Climate Action Commission (like existing Planning Commission)
 - ✓ Assess resiliency of infrastructure to climate impacts
 - ✓ Offer easy-to-access online GHG tracking info
 - ✓ Support more local food production
 - ✓ Collaborate with other communities

- **Question 4: *What does successful public engagement look like?***
 - Continue these interactive public meetings (maybe with smaller breakout rooms)
 - Conduct high school seminars
 - Ensure City website has good materials and recent GHG data
 - Ensure consultant reaches out to all possible groups
 - Lots of community education, including on NextDoor.com
 - Develop leaflets and flyers to handout at busy areas, Farmers Market, etc.
 - Mass-mailers
 - Keep using the MI-Weekly E-newsletter
 - Develop neighborhood block captains to enhance local engagement
 - Use an online climate survey
 - Keep in mind people who don't speak English as a first language
 - Conduct targeted outreach w/standardized slidedeck at various service clubs, churches, senior homes, youth groups, business groups, Farmers Market, etc.

#



Mercer Island Climate Action Plan

Online Survey Summary

Survey Details:

- **Date:** December 9, 2021 through March 9, 2022
- **Responses:** 82 community members
- **Survey Location:** https://letstalk.mercergov.org/climate-action-plan?tool=survey_tool#tool_tab

Survey Background:

The City of Mercer Island held its first community-wide workshop about the Climate Action Plan on December 8, 2021. After the meeting, attendees were invited to submit additional feedback, or clarifying comments, via an online survey. About 20 attendees took advantage of this opportunity.

The questions in the survey were the same as those posed during the kickoff meeting, with one additional question about how the City should prioritize the actions in the CAP, and another asking what climate-related changes people have made in their own lives.

The survey remained open for another 3 months, and was widely publicized via all City outreach channels, in the local newspaper, and within various public meetings. These efforts led to an additional 60 (+/-) responses.

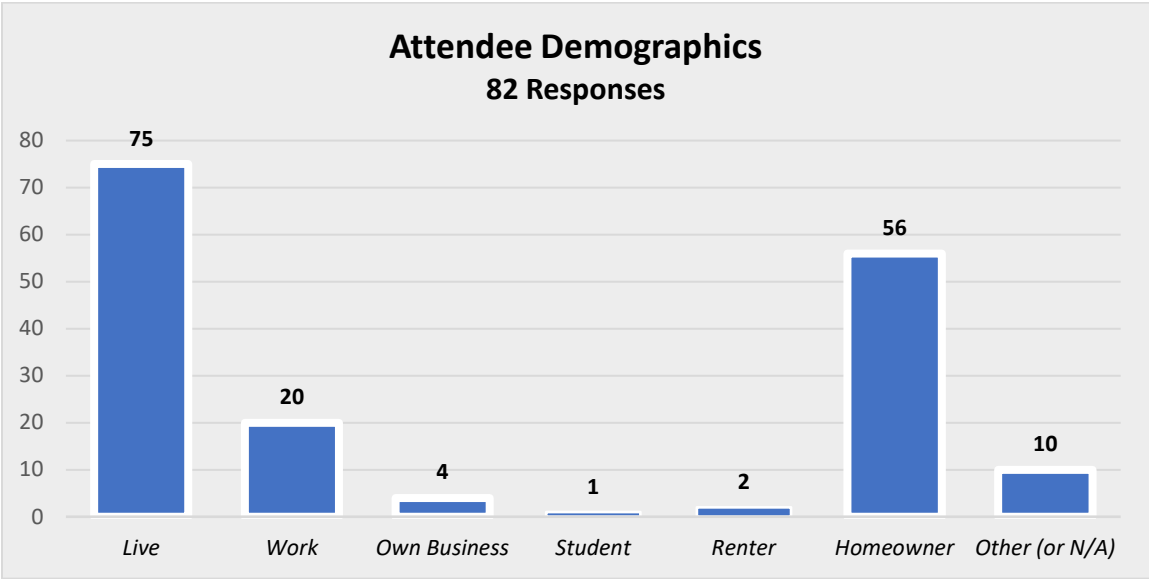
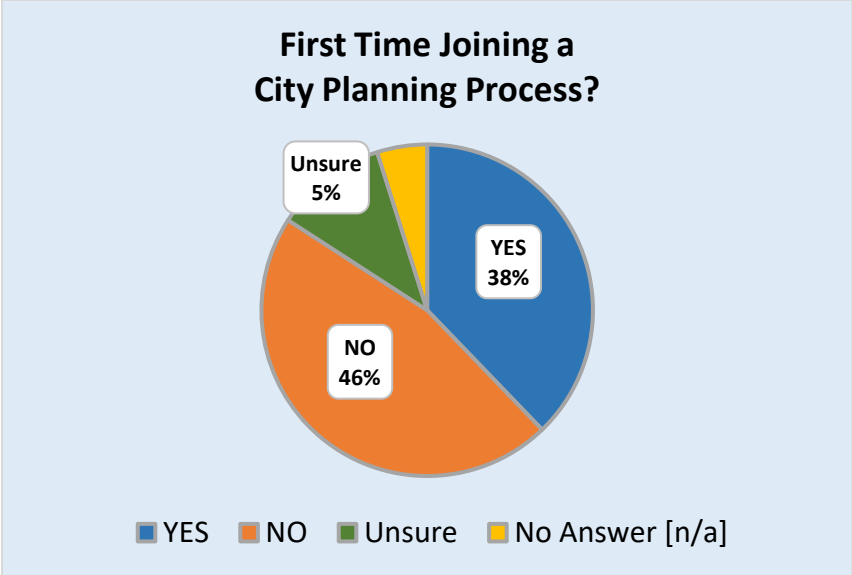
Survey Objectives:

- Understand more about survey participants
- Gather input on community's CAP Vision
- Collect ideas for potential CAP Actions and Strategies to include
- Solicit feedback on best factors for use in ranking of CAP priority actions

Key Findings:

ATTENDEES

- Information was gathered about attendees via two demographic questions:
 - The first yes/no question asked if each attendee had ever participated in a City planning process before (see pie chart below).
 - The other question asked attendees to self-report by selecting all the categories that applied to them (see graph below). Available categories were: Live on MI; Work on MI, Own a MI Business; Student; Renter on MI; Homeowner on MI; Other (or N/A). See graph below.
- The City was pleased that the online survey attracted a large number of first-time participants, similar to the December Kickoff Meeting, but business owners and students were far less represented than was observed at the Kickoff Meeting.



VISION

Responses to the Vision question – “What do you want MI to look like in 2050?”

64 (verbatim) responses.

- A park
- A safe, green, neighborly place to live where it is safe for everyone to walk, ride bikes, or scooter to shop or go to school. Our carbon-based power will be a small fraction of our current usage.
- A leader on climate action
- Retain the general residential character, but accommodate growth through thoughtful redevelopment of Town Center and planning for the huge growth in E-Bike transit as a last mile solution.

- A community that makes being green the easiest choice to make
- A model community for climate-change awareness and action: low carbon footprint, low-consumption values, no pesticides, active 'partnership with nature' outlook, pride in helping lead the way nationally! City reg's that make it possible for lower incomes.
- A green 100% renewable energy community with the same amount, or more, of trees and parks than it has now, with the same or more beaches. I would like more bike lanes, more frequent around-island public transport. Only renewable transport.
- Continue to have parks and wooded areas; safe parks for walks and children
- A verdant, beautiful, safe, and coveted community where people of diverse backgrounds come to raise thriving families
- I miss the trees and wild(ish?) flowers on the ICW median
- Healthy and thriving community
- Green: literally and figuratively
- Not that much different than now. More density including low-income and for Seniors in Town Center (renamed village center). A safe and separated bike and pedestrian trail goes along the island's spine. Some park space has been added and none removed.
- Walkable
- 100% powered by clean energy sources
- It's a leader in making our community look and be environmentally friendly
- An inclusive community full of trees with multi-modal transportation connections throughout the Island, and resilient green spaces
- Full-service community, not reliant on other communities for residents' every need
- A vibrant and diverse multicultural community emphasizing connectivity & sustainable development with convenient and accessible on-Island businesses and community organizations. I would like to see more investment in green infrastructure and low-impact development.
- Houses -if they have construction- must cover the roof in solar or pay for another building to go solar if solar does not work in their location. All electric cars, good walking and biking trails, people have electric heating, dryers, etc.
- A community invested in the future with education for all ages embraced. With green spaces and connecting paths. With opportunities for work, family and play. With a lively, nourishing community energy. With a vision for what makes our world better.
- Similar number of trees. Majority of roofs have solar on roofs. Majority of cars be electric or hybrid.
- Still heavily wooded (preserve our parks), only electric vehicles on roads, EV shuttle circulating EMW/WMW/ICW/CBD to connect to light rail, all energy is rooftop solar (+battery storage) or a solar/wind Utility, NO FOSSIL FUELS, no gas lawnmowers or leaf blowers.
- A place where we are happy to not use our cars so much, because there are other climate-friendly modes of travel to choose from, and we are willing to give up our personal efficiency and convenience goals for the greater good.
- A city that is completely transformed to sustainable (green) sources of power, with abundant green transportation choices and stringent green building standards. Also with more affordable housing options.
- Similar to today
- Sooner than 2050, population of MI and the world-at-large should be decreased substantially, as that would decrease the burden of humans over-populating planet Earth.

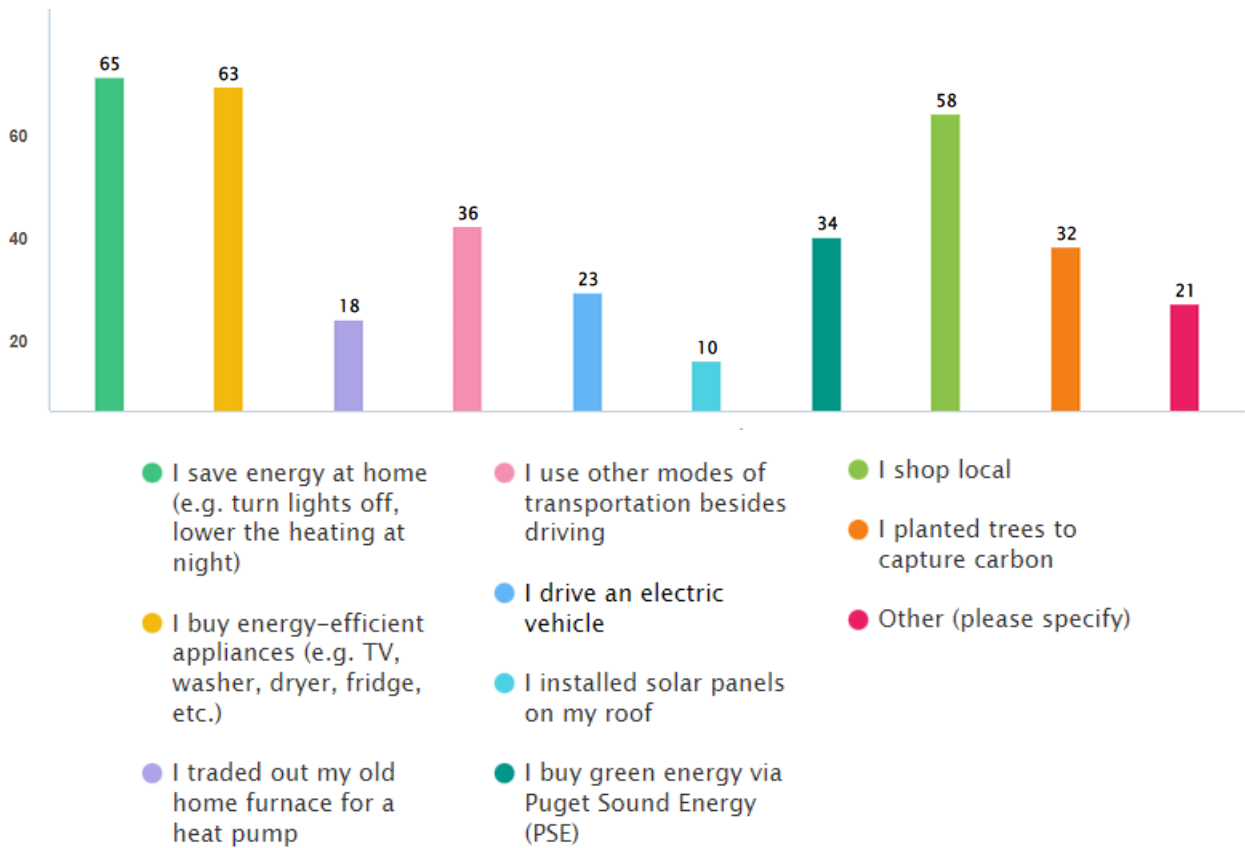
- A safe, climate-respectful place
- Green canopy, parks, access to park and ride, low-carbon footprints, safe, walkable village
- Plenty of trees, parks, and a walkable Town Center
- [Same as] the Mercer Island of 2020. There should be an abundance of parks and open spaces. Parks should retain a rustic or cohesive look that partners with Mercer Island's appeal.
- City center with more shops, but everywhere else no increase in building density
- The previous generation cared about our city and our planet
- Pretty much like it does now
- [Same as] it does now
- Much like today, but with more housing options for a range of incomes
- A community of green neighborhoods with a lively city center, and walking and biking paths to connect people to parks, activities, shopping and transit
- A pleasant, suburban community with an urban core near the light rail station (walking distance!)
- A more diverse community
- [Same as] 2020: no more 4-lane roads, good shoulders for walking etc. No more tall, huge buildings in Town Center.
- A pleasant community for all
- Same number of trees/natural areas
- As green as it can be, given the inevitable temperature rise
- A quiet, single-family home community with basic resources for shopping, walking, dining
- More green
- About the same as today!
- [Same as] it does now: single-family homes and quiet residential neighborhoods; no additional density
- Home
- An urban park
- A responsible, productive community in the Puget Sound area
- Highly sustainable in its energy consumption, and generating solar energy
- Green
- A carbon-neutral community: smaller houses, more green space, fewer cars on the roads
- A place that is respectful of nature
- A verdant small city that is a model for sustainability practices. We have excellent local shopping/dining options, reliably available parking at the light rail station, and other first/last-mile solutions. Walk and bike friendly.
- Carbon neutral
- Carbon neutral, all-electric, exceptional bike network, autonomous EV shuttle system, more multi-family, mixed use housing, increased density, affordable "workforce" housing, micro home community clusters.
- (Same as] it does now
- Fully sustainable community that can support its residents without a need for them to go off island to supply their needs

- Copenhagen? Bike paths, frequent electric buses (or shuttle vans) to train station, neighborhood solar all over, EKCPUD in full sway and PSE no longer in existence. Organic gardens in the schools. Universal (functional) broadband.
- Same as now or greener
- Rural except for the city center. The prominent feature being PNW-forest-feel with mature, native evergreen trees: Douglas fir, western hemlock and western red cedar. Town Center should serve residents.
- Single-family residential community with robust Town Center retail. Cost-conscious and careful financial governance.
- Park space with areas to use for all recreation

PERSONAL CLIMATE ACTION

Responses to the Multiple-Choice Question – “What changes have you made in your own life with climate change in mind?”

78 Responses, 4 skips



Actions submitted in “Other” category:

1. I don't eat meat or dairy and try to reduce my consumption of goods
2. I quit using pesticides outdoors (or in!); consume as little of any materials as feasible; cultivate a personal growing awareness of the natural forces of which we are (merely) a part, in the cosmic community of life.
3. I drive a hybrid car

4. I advocate for strong policies that make significant progress towards 50% GHG reduction by 2030
5. I compost and recycle
6. I'm trying to make the house more energy efficient (insulation, heat pump will happen)
7. Buy less plastic packaging
8. Drive a hybrid vehicle
9. Whole house LED bulbs
10. Composting, recycling, reusing
11. I vote for politicians who prioritize sustainability and climate action
12. Besides composting – nothing, as this is just another boondoggle
13. I am careful and conscious regarding recycling and composting foods
14. 1 - Support research and progressive political action on (a) climate change, and (b) energy production/consumption. 2 - improve insulation in home and business: windows and walls.
15. More diligent recycling; subscribe to Ridwell
16. Foregone air travel (before pandemic!); buy carbon offsets when I do travel by air (tree planting); changed what I buy and eat to reduce carbon impact; changed to LED bulbs; donate time and money to climate causes; totally reframed my decision-making to think about climate impact of just about any decision.
17. Our family is vegan
18. We retained several MATURE trees (which absorb more carbon). The climate action plan should recognize the premium value of preserving mature, native evergreen trees.

DISCUSSION THEMES

Listed below are the summary themes submitted in response to four questions about the Scope and Focus of the Climate Action Plan:

- **Question 1: *What do you love most about living in MI? What are the challenges? What would you like to see more of or see this Plan achieve?* (67 responses)**
 - **Likes:** Parks, natural areas, beaches, public spaces; quiet; slower pace; walkability; convenient to Seattle & Bellevue; future access to light rail; good government; intelligent/passionate/friendly/engaged public; family safety; good schools.
 - **Challenges:** Be a leader in regional transportation (light rail) not an obstacle; too much divisiveness in discourse; too many giant SUV's; don't mix Single-Family & Multi-Family zoning; too much wealth; too many people who don't take any climate action; lack of compassion.
 - **CAP should deliver:**
 - Ensure: A climate lens for all City Departments actions/programs; common vision for future
 - More: Climate education, community gardens, tree retention rules & promotion of native plants, events in public spaces, local dining and diverse retail offerings, GHG and performance data, community leadership on climate, parking for local light rail users, rules on idling, bike lanes; bus service; energy efficiency upgrades for all older homes, outreach/webinars/workshops on environmental choices and technologies, EV charging, EV school busses.

- Less: Draconian or overly restrictive regulations; actions that don't have a rigorous cost-benefit analysis.
- **Question 2: *What near-term climate impacts are you most concerned about?* (66 responses)**
 - Stronger storms; increased flooding; landslides; heat events; smoke & air quality; shrinking snowpack; unpredictable weather; summer drought; sea-levels
 - Salmon and insect extinctions
 - Invasive species
 - Lake WA water temperature
 - Water supply
 - Infrastructure resilience
 - Overloaded power grid
 - Future reliance on air-conditioning
 - Increasing need for disaster relief
 - Impacts to food production & food chain
 - Over-reliance on diesel buses
 - Inequitable impacts of extreme weather and access to mitigation
 - "Climate refugees" from outside the Pacific Northwest
 - City spending too much money on mitigation measures
- **Question 3: *What suggestions do you have for specific actions, programs, policies to address climate change?* (60 responses)**
 - **Expanded Green Building Programs**
 - ✓ Phase out natural gas use in all construction types
 - ✓ More LEED-certified (or other) green buildings
 - ✓ City code mandating solar power and heat pumps on new construction & remodels
 - ✓ EV chargers in all new construction and substantial remodels
 - ✓ More city incentives to retrofit solar panels on existing buildings
 - ✓ Stricter tree protection code
 - ✓ Heat pump installation campaign
 - **Enhanced Bike & Pedestrian Facilities**
 - ✓ More dedicated bike lanes and a North-South bike route
 - ✓ Plan thoroughly for expansion of commuter E-Bikes
 - **Support for Cleaner Transit and Transportation**
 - ✓ More Electric Vehicles (EV)
 - ✓ More public EV chargers
 - ✓ Promote car-sharing of private vehicles
 - ✓ Don't restrict store parking lots only to customers at that store
 - ✓ Last-mile connections to light rail station
 - ✓ Install more roundabouts to avoid idling at 4-way stops and signaled junctions
 - ✓ Operate EV circulator shuttle to connect riders to Light Rail and Park&Ride

- **Cleaner Power**
 - ✓ Advocate for more local power generation and microgrids
 - ✓ More community solar options
 - ✓ City incentives for using renewable energy
 - ✓ Push PSE to decarbonize faster
 - ✓ More education on the Eastside PUD citizens campaign
 - ✓ Solar power on all City facilities
 - ✓ Enhance power grid reliability
 - ✓ Encourage sign-ups for PSE green power and carbon offsets
- **Improved Air Quality**
 - ✓ Ban gas-powered leaf blowers and lawnmowers
- **Community**
 - ✓ Buy more park land
 - ✓ More support for local retail
 - ✓ Education on plant-based diets
 - ✓ Stronger tie-in with MISD curriculum
 - ✓ City-wide book groups
 - ✓ Make all streetlights LED
 - ✓ Incentivize more low-to-moderate income workforce housing in Town Center
 - ✓ Encourage more local food production
 - ✓ Water conservation programs
 - ✓ Tree planting programs
 - ✓ Actions and programs with a positive ROI
- **Question 4: What does successful public engagement look like? (57 responses)**
 - Open-minded City Council following the public lead
 - Efforts to reduce divisiveness
 - People understand how they can be involved
 - Hearing from all voices, including those not in support of CAP
 - People understand why decisions were made
 - Goals, strategies and measurable performance metrics
 - Plenty of public meetings or different options to weigh in
 - Pop-up discussion groups
 - Over 50% of Island is aware of process
 - Make good use of trained volunteers
 - Possible rewards for participation?
 - People say: *"I own the process because I was part of it."*
 - Easy ways to get involved like online Zoom meetings
 - Reaching the underrepresented voices
 - Hearing from parents, faith leaders, business community
 - More online surveys like this!

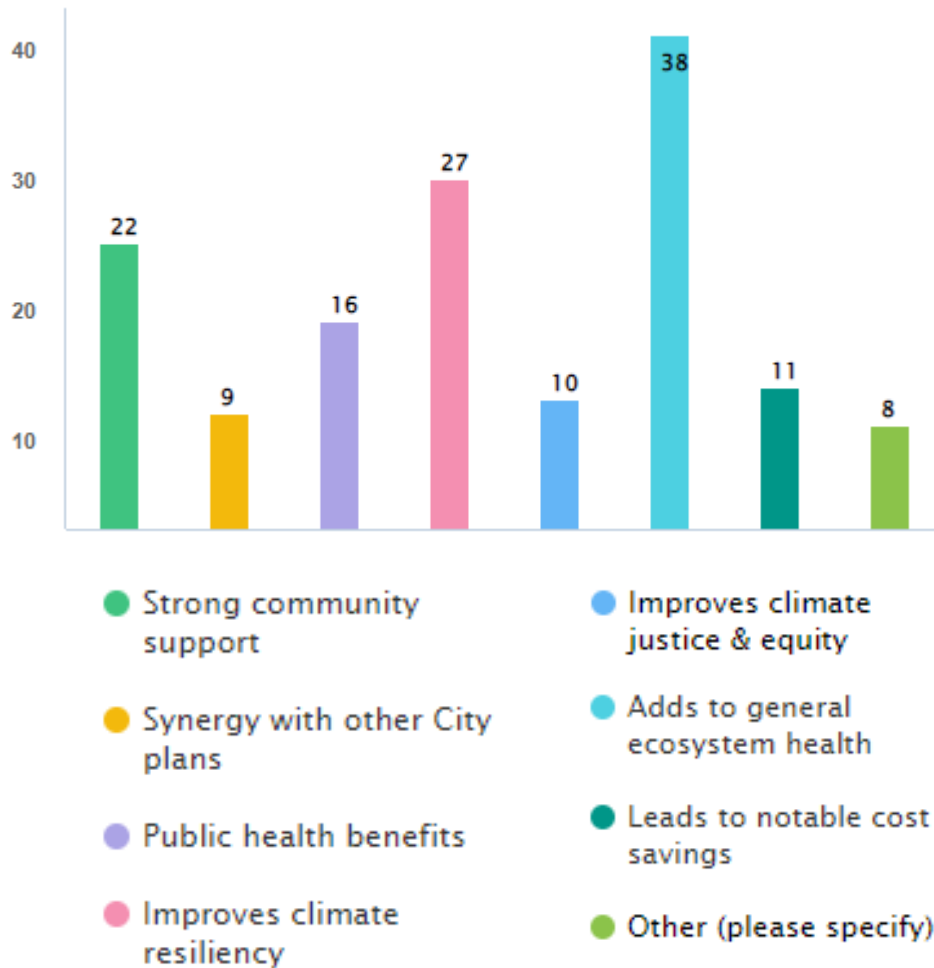
PRIORITIES

The final question in the survey covered Priorities... The City won't be able to implement all the CAP actions at once, so it will use various criteria to decide what's most important to the community and rank items. All actions and policies will have to at least meet three fundamental criteria: 1) reduce emissions; 2) be cost effective; 3) be feasible.

Respondents were then asked to:

“Choose their top two additional criteria from the list, or fill in their own (i.e. other)”

57 Responses, 25 skips



Responses submitted in “Other” category:

1. Leverages external resources partnering with residential and commercial property owners
2. Supports compassionate planetary stewardship
3. Measures things that people have direct control over (and provides feedback to create individual accountability, tracking progress with a dashboard).
4. Reduces energy use

#

Mercer Island Climate Action Plan

Policy Audit Findings

This document details findings from a review of Mercer Island and regional policy and program documents, as well as an overview of relevant climate change and sustainability state and federal policies. Our audit focused on identifying **key accomplishments, goals, programs, policies, and priorities of Mercer Island and its regional partners** to inform development of the Mercer Island Climate Action Plan.

The document is organized into the following sections:

- **State and Regional Policy Context:** Outlines relevant regional, state, and federal legislation and policy.
- **Key City Documents:** Provides an overview of key City documents reviewed, along with hyperlinks to these files in a SharePoint document library.
- **Program & Policy Checklist:** Details common climate action policies, programs, and activities, and their existence in Mercer Island.
- **Key Accomplishments, Programs, Policies, & Priorities:** Provides climate action highlights as identified in the policy audit.

State & Regional Policy Context

Policy/Program	Description/Notes	Effective Date
General/Climate		
PSRC Vision 2050	The Puget Sound Regional Council's worked to develop this document to prepare for continued growth and to act as a guide for sustaining a healthy environment, thriving communities and a strong economy.	Oct 2020
King County-Cities Climate Collaboration (K4C)	Partnership that sets common climate goals. In early 2022, as part of updates to King County Countywide Planning Policies, King County and the 39 cities in the County strengthened shared GHG emissions reduction targets to 50% below 2007 levels by 2030; 75% below 2007 levels by 2040; and 95% below 2007 levels and net carbon neutral by 2050.	Apr 2022
King County Strategic Climate Action Plan (KC SCAP)	The 2020 King County Strategic Climate Action Plan outlines a roadmap for the region to reduce GHG emissions and reach other climate and sustainability goals.	2020
WA Climate Commitment Act	Places an economy-wide cap on carbon to meet state GHG reduction targets & be consistent with best available science. Policy still under development.	Jan 2023
WA HEAL Act	Defines & embeds environmental justice (EJ) in state law. Includes state agency requirements for EJ in engagement, budgeting, funding, and strategic planning.	2021
WA HFC Superpollutants Act	Requires phasing out of HFC Superpollutants in new equipment, using climate friendly alternatives in compliance with the Act's 2020-2024 phasing timeline.	Jan 2020
WA low-GWP refrigerants (HB 1050)	Establishes a maximum global warming potential (GWP) threshold (150) for HPCs used in stationary air conditioning, stationary refrigeration, and ice rinks.	Jul 2021
Buildings & Energy		
WA Clean Energy Transformation Act (CETA)	Requires a phase-out of coal by 2025, carbon-neutral electricity sales by 2030, and 100% clean energy by 2045.	2019
WA Building/Energy Code (RCW 19.27A.160)	Requires permitted residential and nonresidential construction under the 2031 state energy code must achieve a 70% reduction in annual net energy consumption compared to the 2006 state energy code.	Dec 2012

Policy/Program	Description/Notes	Effective Date
WA Clean Buildings Act (HB 1257)	Establishes a state energy performance standard and other measures for new and existing large buildings over 50,000 sq ft with an early-adopter incentive program.	2021 (voluntary) 2026 (mandatory)
Transportation & Land Use		
Federal Fuel Economy Standards	Reduces fuel consumption by raising fuel efficiency standards in passenger cars and light trucks.	Latest standards apply to 2024-2026 vehicles
WA Clean Fuel Standard	Reduces overall carbon intensity of fuels through use of cleaner fuels or purchasing clean fuel credits.	Jan 2023
WA EV readiness (HB 1287)	Extended the Clean Building Act's requirement for EV readiness to new single-family construction.	Jul 2024
WA Clean Cars 2030	Passed as part of "Move Ahead WA," sets a date of 2030 for all new cars registered in the state to be electric. Also commits state funding to EV investment/infrastructure.	Proposed in 2022; not yet adopted
WA Commute Trip Reduction	Requires implementation of transportation demand management (TDM) programs for certain employers to reduce work trips.	2006
Puget Sound Regional Council's (PSRC) Regional Transportation Plan (<i>PSRC TransPlan</i>)	PSRC's long-term vision of the future transportation system through the Vision 2040 and Transportation 2040 plans. The Transportation Element of the Mercer Island Comp Plan is consistent with these plans.	May 2018
Materials & Consumption		
KC Comprehensive Solid Waste Mgmt Plan (<i>KC SWMP</i>)	Mercer Island adopted the first iteration of the plan in 1989 and has aligned with waste diversion targets in the years following. Sets goal of 70% diversion by 2030 and zero waste of resources (80%) by 2050.	Nov 2019
WA Plastic Pollution Reduction Policy SB 5022	Requires 1) single-use foodware be provided only upon request; and 2) minimum levels of recycled content in plastic beverage containers, trash bags, etc.	Phased in between 2022-2024

Policy/Program	Description/Notes	Effective Date
WA Organic Waste Goals (HB 1799/SB 5731 in 2022 legislative session)	Under development. Would establish a statewide goal for the landfill disposal of organic materials at a level representing 75% reduction by 2030, relative to 2015, and a goal of 20% reduction in volume of edible food disposed (relative to 2015) to be recovered for human consumption by 2025.	Under development (proposed date of Jan 2024)
KC C&D Waste Ordinance	In 2016, King County passed an ordinance that requires construction and demolition debris to be recycled and banned from landfill disposal.	2016
Natural Systems & Water		
Shoreline Management Act	Supports local land use decision-making and shoreline planning, including access, hazard mitigation, economic uses, and salmon recovery.	1971
King County 30-Year Forest Plan <i>(KC ForestPlan)</i>	Outlines 30-year countywide vision for rural and urban forest cover and forest health, including priorities and goals as well as strategies for achieving that vision.	Feb 2021
Community Resilience & Wellbeing		
King County Regional Hazard Mitigation Plan (2020-2025)	Assesses natural and human-caused hazards that can impact our region and develops strategies to reduce risk and build resilience.	2020

Key City Documents

The following table describes key City documents reviewed through this policy audit.

Document Name	Filename & Hyperlink	Description/Relevance
General		
Comprehensive Plan	<ul style="list-style-type: none"> • MI CompPlan • MI CompPlan AB 	<p>The Comprehensive Plan focuses on how to revitalize Mercer Island's Town Center, comply with regional requirements for clean water and transportation, meet local needs for affordable housing, and maintain public facilities and utilities. The 2024 update of the 2004 plan is currently in progress.</p> <p>Extensive goals outlined in the Mercer Island Comprehensive Plan relate to sustainability and climate action, including parks and open space policies, natural resource management, disaster planning, arts and culture, and green building standards. CAP actions could build from or directly support these goals.</p>
Buildings & Energy		
Green Building Standards	<i>Pending</i>	MI Code, Section 19.11.050 is a 2016 directive that new construction in town center meet LEED Gold or Built Green 4-Star standard.
Housing Strategy and Work Plan	<i>Pending</i>	
Transportation & Land Use		
Parks, Recreation & Open Space Plan	<ul style="list-style-type: none"> • MI ParksRec&OpenSpace Plan • MI ParksRec&OpenSpace Plan AB 	<p>The 2022 Parks, Recreation & Open Space Plan outlines a vision for an innovative, inclusive, and interconnected system of parks, trails, and open space that promotes recreation, health, and environmental conservation. Implementation of plan aligns closely with climate action priorities.</p>
Transportation Improvement Plan	<ul style="list-style-type: none"> • MI TransImprovPlan • MI TransImprovPlan AB 	<p>The Transportation Improvement Plan will be updated in 2022 and will further provide details on several key transportation infrastructure projects on the island.</p>

Document Name	Filename & Hyperlink	Description/Relevance
Pedestrian and Bicycle Facilities Plan	<ul style="list-style-type: none"> • MI PedBikeFacilitiesPlan 	The 2010 update of the Pedestrian and Bicycle Facilities Plan (originally adopted in 1996) provides a new roadmap for expanding pedestrian and bicycle infrastructure on Mercer Island. An update is slated for 2026-2027; CAP could support/align with these updates.
Trails Plan	<ul style="list-style-type: none"> • N/A internal document 	
Town Center Plan/Code Update	<ul style="list-style-type: none"> • MI TownCenterCode • MI TownCenterVision 	Originally adopted in 1994 and updated in 2016, the plan and outlines a vision for the look and feel for Town Center areas and outlines corresponding rules for building heights, public spaces, retail and residential uses, etc. to comply with these standards (MI_TCCode, MI_TCVision; referenced in: MI_CompPlan). The City has outlined a vision for land use that emphasizes continued reinvestment and redevelopment of the Town Center to create a mixed-use pedestrian-friendly and transit-oriented environment.
Water & Natural Systems		
Stormwater Management Plan (SWMP)	<ul style="list-style-type: none"> • MI StormwtrMgmtPlan 	The SWMP— updated in 2021 —outlines the various programs that the City will adopt to comply with the Clean Water Act’s Phase II Permit requirements for stormwater discharge into Lake Washington. Originally prepared in March 2008, the plan has since been updated annually to reflect changes in the City’s infrastructure needs, community priorities, and industry best practices.
Shoreline Master Program (SMP); Critical Areas Ordinance Updates (CAO)	<ul style="list-style-type: none"> • MI SMPCAOUpdates AB • MI SMP • MI CAO 	SMP— updated in 2020 and originally adopted in 2015—regulates development within 200 feet of Lake Washington’s shoreline to protect shoreline natural resources and promote public shoreline access. CAO— updated in 2019 and originally adopted in 2011—regulates critical areas, including wetlands, watercourses/streams, and geologically hazardous or sensitive areas.
Town Center Parking Study	<ul style="list-style-type: none"> • MI ParkingStudy 	The Town Center Parking Study—which began in 2021 and is budgeted through 2022—focuses on reviewing parking restrictions, codes, and infrastructure to identify opportunities to improve parking in the Town Center.

Document Name	Filename & Hyperlink	Description/Relevance
Tree Canopy Report	<ul style="list-style-type: none"> • <u>MI TCR</u> 	The 2018 Tree Canopy Report analyzed Mercer Island’s urban forests, assessing the extent and location of growth and decline in the city’s urban forest canopy and identifying possible planting areas to support the City’s efforts to protect and expand urban forests.
Open Space Vegetation Plan 10-Year Update	<ul style="list-style-type: none"> • <u>MI OpenSpaceVegUpdate</u> 	Completed in 2015, this plan outlines modifications and improvements to achieve sustainable and resilient forest landscapes.

Policy & Program Checklist

The following table includes typical climate action-oriented policies, programs, and activities, and their existence in Mercer Island.

In MI?	Policy/Program	Description/Notes
	General Climate	
✓	Adopted GHG goals/commitments	Mercer Island has adopted as part of K4C.
✓	Dedicated City Sustainability Manager	Mercer Island hired its first part-time Sustainability Manager in 2013.
	Buildings & Energy	
✓	Street light LED retrofits	Conversion of street lighting and parking lot fixtures to LED.
✓	Local green building ordinance/policy	Mercer Island updated code in 2016 with a directive for that new construction meet LEED Gold or Built Green 4-Star standard, as well as other measures, such as pedestrian-friendly design; has also offered streamlined permitting for solar panels.
✓	Energy efficiency rebate/retrofit program	Financial incentives to promote energy efficiency retrofits, including heat pump water heaters. Puget Sound Energy's various rebate programs.
✓	Green power purchasing program	PSE's GreenDirect program – City purchases for 100% of its own operations. Mercer Island residents can purchase offsets through PSE's Green Power Program.
✓	Solar power installation/subsidy program	Demonstration project at the Community Center; Island-wide "Solarize" program ran in 2014 and again in 2018
	Natural gas ban for new construction	Restrictions on new natural gas hookups for new construction.
	Building electrification incentive/training program	Rebates and other incentives for residents and business owners to electrify homes and buildings; training programs for local contractors to learn about retrofits.
	City green building policy	Green building policy specific to City buildings.
	Point-of-sale green building requirements	Requirements to disclose energy use or implement energy retrofits at point of sale for residential or commercial buildings.
	Burnout ordinance	Require replacement of gas-powered appliances with high-efficiency electric at burnout.
✓	Energy use disclosure/benchmarking requirements	Require energy use disclosure and benchmarking for buildings, starting with commercial and multifamily buildings over a size threshold. Already in process under WA Clean Buildings Act.

In MI?	Policy/Program	Description/Notes
Transportation & Land Use		
	EV incentives	Washington state offers a sales and use tax exemption for eligible EV purchases.
	EV infrastructure plan	Local infrastructure plan(s) for installing EV chargers in the city, including charging types and locations and funding considerations.
	EV charging & readiness requirements	The updated state building code includes provisions to require pre-wiring for EV charging in 10 percent of parking spots and electrical capacity for EV charging for up to 20 percent of parking spots, for garages with more than 20 stalls. Local requirements could increase the pre-wiring and electrical capacity requirements (e.g., Bellevue ESP M.3.1).
✓	EV charging stations	The Comp Plan indicates that the City has installed EV charging stations.
✓	Transit service expansion	The Sound Transit Link light rail station is slated for 2023 opening.
✓	Bike/ped plan	The City of Mercer Island Pedestrian and Bicycle Facilities Plan was most recently updated in 2010.
	TOD/TDM policy/requirements	Requirements for new development over a size threshold to incorporate TDM strategies that reduce vehicle trips (e.g., bike facilities, carpooling, transit incentives).
	Curb management policy	Requirements that guide the design, maintenance, and designations on how curb areas are utilized, such as the portion of the curb allocated to bike infrastructure v. parking.
	Complete streets policy	Street design requirements that reflect and accommodate multimodal transportation.
	Parking requirements for new construction	Parking requirements for new or existing construction to limit the use of SOVs and encourage multi-modal transport.
✓	Transportation impact fee	A fee for new development to support multimodal mobility investments. Impact fees for transportation are collected at commercial level to help fund new transportation developments that are compliant with comprehensive plan.
	CTR program	Participate in WA Commute Trip Reduction program for large employers. The City has participated in the past but the program was retired.
✓	City Green Fleet Purchasing Policy	By following the Evergreen Fleets program’s rigorous standards, Mercer Island became one of the first four Puget Sound area cities to be certified as a “Green Fleet” (Green briefs)

In MI?	Policy/Program	Description/Notes
Materials & Consumption		
✓	Curbside compost/recycling program	The City currently works with Recology. Compost and garbage is picked up weekly, recycling biweekly (mercerisland.gov).
	Mandatory composting/recycling	Mandatory requirements for composting/recycling of waste
	City Environmentally Preferable Purchasing Policy	A purchasing policy requiring that the City purchase environmentally-friendly goods and services; plans include specifics on what types of products qualify and what portion of products the City agrees to purchase.
✓	Plastic bag ban	Mercer Island passed a ban in 2014.
	Food service packaging ordinance	Policy to reduce polystyrene and other single-use food packaging items.
	Recycling space/access requirements in MF/comm buildings	MF: Recycling is open market and arranged by the building manager. Commercial: Recycling is open market and arranged by the building manager or business owner (mercerisland.gov).
✓	Recycling/composting education/outreach program	Waste diversion and Recycling practices outreach programs are offered through Recology King County.
✓	C&D waste ordinance	Passed by King County in 2016.
Natural Systems & Water		
✓	Parks & Rec Plan	Parks, & Recreation, and Open Space Plan was most recently updated in 2021.
	Tree preservation ordinance	Ordinance to prevent tree loss and ensure sufficient replacement ratio requirements between 2:1 and 6:1
	Water-efficient landscape standards	Requirements aimed at reducing water consumption from landscaping by planting native and climate appropriate plants.
✓	Tree planting incentives/outreach program	Tree planting incentive and outreach recommendations are cited in the 2018 Urban Tree Canopy Assessment Report.
Community Resilience & Wellbeing		
	Floodplain ordinance	Standards and restrictions for construction and development in designated flood zones or areas at high risk for flooding.
✓	Hazard mitigation plan	King County adopted the Hazard Mitigation Plan in 2020.

Key Accomplishments, Programs, Policies, & Priorities

This section highlights past, current, and upcoming climate-related initiatives on Mercer Island identified in the policy audit. Information sources are identified in parentheses.

Buildings & Energy

- **2013**—Decorative **streetlights in the town center are converted to LED**; all remaining Town Center lights converted in 2014-2015 (*MI_TransImprovPlan*).
- **2013**—City is recognized as a **Green Power Community of the Year** by the EPA for a successful residential Green Power Program sign-up campaign with Puget Sound Energy (PSE) and for its commitment to local solar power generation (*MI_CompPlan*).
- **2013**—The receives a \$30,000 grant from PSE to fund a solar array at the Mercer Island Community and Event Center (*MI_CompPlan*).
- **2017**—The City commits to buying 20 years (2019-2039) of **clean wind power** from Puget Sound Energy to replace its current mix of electricity and cover its annual municipal usage.
- **2018**—The City receives a **Sol Smart Gold Designation from the Department of Energy** for promoting solar development, including offering streamlined permitting (*MI_CompPlan*).
- **2018**—Solar panel installation rates reach a new high of 184, higher per capita at the time than any other Eastside city (*MI_CompPlan*).
- **2020**—The City announces that 100% of its government operations were now powered by clean, renewable energy from a new 38-turbine windfarm in Western Washington (mercerisland.gov).
 - Prior to signing this deal, the City offset 100% of its energy usage through green power RECs from Puget Sound Energy. (mercerisland.gov)
- **Current/ongoing:**
 - The City has set a goal to promote the use of green building methods, design standards, and materials for residential development (*MI_CompPlan*).
 - The City has run two successful **Solarize rooftop solar campaigns** and has implemented **LEED-Gold commercial green building requirements** in Town Center (*MI_CompPlan*).
 - **K4C** has set a goal to reduce energy use in all existing buildings 25% by 2030 and 45% by 2050 compared to 2017 level, and reduce natural gas use in existing buildings by at least 20% by 2030 and 80% by 2050. The County has also committed to **eliminating fossil**

fuel use in new County facilities and reaching additional green building standards, and using 100% carbon-free electricity for County operations (KC_SCAP; K4C_Commitments).

Transportation & Land Use

- **2010**—The City adopts the Pedestrian and Bicycle Facilities plan, outlining a roadmap to increase sustainable transportation by creating a **network of pedestrian and bicycle facilities** (*MI_PedBikeFacilitiesPlan*).
- **2000-2016**—Single occupancy vehicle (**SOV**) **work commute rates drop** from 76% to 72%; bus riding and carpooling drop from 17% to 14%, and work from home (WFH) rates increase from 7% to 10% (*MI_CompPlan*).
- **2018**—The City successfully pilots **bikeshare and rideshare** programs (*MI_CompPlan*).
- As of 2016, the current **average travel time to work on Mercer Island was 25 minutes**, below the 32-minute regional average (*MI_CompPlan*).
- As of 2017, there **was insufficient parking to meet demand in Town Center**; mitigation opportunities identified included time limited parking, directing drivers to under-utilized parking areas, and expanding on-street parking (*MI_ParkingStudy*).
- **2019** – The City increases its public EV chargers to a total of 4 dual units at City Hall and Community Center (mercerisland.gov)

Current/ongoing:

- At least 11 **new pedestrian and bicycle facilities** are planned for **2023 and beyond**, several of which are funded through Sound Transit Mitigation funds (*MI_PedBikeFacilitiesPlan*).
- The **Sound Transit East Link light rail** line is scheduled for completion in **2023**. The new light rail station, located north of the Town Center, on the I-90 corridor between 77th Avenue SE and 80th Avenue SE, will **open public transportation routes to Seattle, Bellevue and other cities** on the Sound Transit system.
- The new station may strain parking resources as parking demand is expected to increase and the existing park and ride at North Mercer Way is already frequently at or near capacity (*MI_CompPlan*).
- Currently, Mercer Island has over **55 miles of facilities for non-motorized travel** (*MI_CompPlan*).
- **King County** has set a goal to **reduce emissions from County-owned vehicles** by 45% by 2025 (*KC_SCAP*).
- **K4C** has committed to **reduce countywide driving** per capita by 20% by 2030 and 50% by 2050, compared to a 2017 baseline. The collaboration has also committed to **increase use of electric vehicles** to the point that 100% of light duty vehicles, and at least 60% of medium duty, and 40% of heavy-duty vehicles are electric by 2050 (*K4C_Commitments*).

Materials & Consumption

- **1989**—Mercer Island adopts the targets outlined in the first King County Comprehensive Solid Waste Management Plan (*MI_CompPlan*).
- **1992**—Mercer Island meets King County’s goal of 35% waste diversion (*MI_CompPlan*).
- **1993**—The City increases waste diversion rates to 50% (*MI_CompPlan*).
- **2000**—The City reaches 65% diversion, in line with that year’s King County diversion goals (*MI_CompPlan*).
- **K4C current waste diversion goals** include achieving a 70% diversion rate countywide, and zero waste of resources with economic value for reuse and zero waste of edible food waste by 2030 (*KC_SCAP; K4C_Commitments*).
- **2014**—The City adopts a plastic bag ban—7 years ahead of the statewide ban that eventually superseded it (*MI_CompPlan; mercerisland.gov*).
 - The island offers residential trash, recycling, and yard **waste pickup** through Republic Services until 2019, and now through Recology. **Hazardous waste pick-up** is offered once a year through the Household Hazardous Wastemobile, a program of the Seattle-King County Local Hazardous Waste Management funded through a surcharge on garbage bills (*MI_CompPlan*).
 - Twice/year recycling events continue to attract 700 attendees per event, and the City has piloted the doorstep collection of additional items, such as Styrofoam (mercerisland.gov)

Natural Systems & Water

- **2004-2014**—The Parks and Recreation Department oversees an **extensive restoration program** that plants 43,000 native plants and frees over 100 acres of trees from climbing ivy (*MI_ParksRec&OpenSpacePlan*).
- **2010-2017**—The city’s **tree canopy increases** by 8%.
 - As of 2017, the city contains an estimated 48% tree canopy, 27% impervious surface, and 28% of possible planting area (*MI_TCR*).
- **2012**—The City acts to **protect shoreline ecological functions** by establishing new standards for maintaining and repairing piers, docks, and other structures on Lake Washington (*MI_SMP*).
- **2019**—The City integrates critical areas into its shoreline protection standards that are consistent with best available science and state guidelines for wetlands, streams and other critical areas (*MI_SMP*).
- **2019**—The City establishes a Parks and Recreation Commission to advise City Council on parks, recreation, and other community services (*MI_ParksRec&OpenSpacePlan*).
- **2020**—Mercer Island opts into the collective Regional Stormwater Action Monitoring (SAM) fund to monitor stormwater trends.
- **2020**—A survey of 1,763 residents assessing recreational needs and priorities found **public parks and trails are of top concern for residents** and that residents are largely satisfied with the public park system in Mercer Island (*MI_ParksRec&OpenSpacePlan*).

- **2021**—Stormwater managements improvement projects add 18 different median/roadside sites and 12 park entrance planter beds to **capture stormwater runoff** (*MI_CompPlan*).
- **2021**—the City adopts the largest Parks Capital Improvement Program in its history, recommending \$41.7 million to fund parks, facilities, trails, and open space through 2020 (*MI_ParksRec&OpenSpacePlan*).
- **Current/ongoing:**
 - Currently, **the Island has 472 acres of park and open space lands**, including 115 acres of natural-forested land set aside in Pioneer Park and an additional 150 acres of public open scattered across the community.
 - The City has outlined **specifics goals related to preserving natural systems**, including:
 - Designating bald eagles as a Species of Local Concern for protection under the Growth Management Act;
 - Removing plants listed on the King County Noxious Weed and Weeds of Concern lists as part of new development;
 - Reducing of nonpoint pollution;
 - Promoting the preservation of organic matter in planting beds and landscapes; and
 - Increasing awareness and implementation of the International Dark-Sky Association's methods to reduce the excess lighting of the night sky that negatively affects wildlife (*MI_CompPlan*).
 - **King County** has committed to investing \$25 million to **improve urban green spaces** and has set a goal to “plant, protect and prepare” 3 million trees by 2025 (*KC_SCAP*).
 - Additional community surveys indicate that resident’s top priority for local parks and recreation is to connect gaps in the trail systems (*MI_CompPlan*).

Community Resilience & Wellbeing

- **Current/ongoing:**
 - The City has set **specific climate resiliency goals**, including designing new developments in a way that reduces risk to people and property associated with natural hazards (*MI_CompPlan*).
 - The City has set a **2035** growth target of **2,320 new housing units and 1,160 new jobs** (*MI_CompPlan*).
 - The City is committed to implementing policies aimed at preserving and enhancing the Island's physical characteristics (*MI_CompPlan*).

- **King County** has outlined plans for a range of **climate resilience and community wellbeing initiatives**, including equitable green job programs, community health and emergency preparedness initiatives, campaigns focused on protecting food system and expanding regional food security, and energy assistance for frontline communities (*KC_SCAP*).
- Mercer Island health statistics indicate that residents have high life expectancies (86 years), and face fewer health risk factors than other King County residents. The Island also has a high rate of physical activity, with about 95% of Mercer Island residents having access to physical activity opportunities and less than 10% of residents getting no regular leisure-time physical activity (*MI_ParksRec&OpenSpacePlan*).

General City Successes, Actions, & Goals To Date

- **2006**—The City modifies the vision statement in its Comprehensive Plan to include sustainability thanks to a grassroots effort of Island citizens.
- **2007**—The City, in alignment with King County targets, sets a goal of reducing greenhouse gas emissions by 50% by 2030 and 80% by 2050, compared to a 2007 baseline (*MI_CompPlan*; *K4C_Commitments*).
 - **2007**—The City Council sets an interim emissions reduction goal of reducing emissions from City operations by 5% by 2012 (*MI_CompPlan*).
- **2008**—The City creates a **Climate Action Task Force**, charged with developing a climate action plan for the City and community and develops green building goals and policies (*MI_CompPlan*).
- **2011**—Mercer Island joins King County and other regional cities as a **founding member of K4C** (mercerisland.gov).
- **2012**—the City convenes a **Sustainability Policy Taskforce** to recommend sustainability policies to the City. The City Council adopted its recommendations, including added dedicated staffing, incorporating recommendations into City planning documents, developing a Sustainability Plan, and additional legislative actions to foster sustainability.
 - The resulting plan called for tracking emissions and the formation of a City/community partnership called the Green Ribbon Commission, tasked with reducing emissions.
- **2013**—The City hires its first half-time Sustainability Manager.
- **2014**—K4C adopts its first shared target to reduce countywide GHG emissions by 25% by 2020, 50% by 2030, and 80% by 2050, compared to a 2007 baseline (*K4C_Commitments*).
 - As of April 2022, these commitments have been updated to 50% below 2007 levels by 2030; 75% below 2007 levels by 2040; and 95% below 2007 levels and net carbon neutral by 2050.

- **2016**—The City completes an update to the 20-year vision and development standards for the Town Center business core area that includes a directive that **new construction meet LEED Gold or Built Green 4-Star standard** (mercerisland.gov).
- **2017**—Sustainable Mercer Island (SMI) emerges as an umbrella group to help coordinate various initiatives on Island and advocate for county and state-level climate measures
- **2018**—IslandVision, a nonprofit organization that supports and encourages sustainable practices, analyzes GHG sources on Mercer Island and recommends strategies to reduce emissions.



Mercer Island Climate Action Plan

Awareness and Promotion Summary

The following is a non-exhaustive accounting of the community-wide public outreach and general promotion of the Mercer Island CAP to date. Does not include Emails to lists of interested parties, such as sustainability advocates, attendees to the 12/8/2021 Kickoff meeting, etc.

DATE	ACTIVITY
Nov 2021	
1	City Council Meeting CAP presentation and approval to proceed
15	Launch all-new CAP webpage section of City website
17	MI-Weekly story: Climate Action Plan launch
18	Next Door Post: Climate Action Plan launch
18	Facebook Post: Climate Action Plan launch
18	Twitter Post: Climate Action Plan launch
29	City website news release: CAP kickoff and Community Meeting
29	MI-Reporter: CAP Kickoff and Community Meeting
Dec 2021	
2	Release and publicize CAP consultant Request for Proposals (RFP)
6	Launch new outreach and engagement campaign on City's Let's Talk website.
8	CAP community kickoff meeting
8	Facebook Post: Community kickoff meeting reminder
13	YouTube Post: Archived video of CAP kickoff meeting
Jan 2022	
4	City Manager's Report at Council Meeting: CAP Update
19	MI-Weekly story: CAP online survey
20	Publish summary and analysis for kickoff meeting on Let's Talk website
21	City website news release: CAP online survey
26	MI-Weekly story: CAP online survey reminder
26	MI-Reporter: CAP online survey
Feb 2022	
1	City Manager's Report at Council Meeting: CAP Online Survey
11	Updates to City CAP webpages
Mar 2022	
14	Updates to City CAP webpages
Apr 2022	
1	Publish CAP survey results on Let's Talk website
11	Publish CAP Feb/March update on Let's Talk website
19	City Council Meeting Earth Day Proclamation (including CAP)
19	MI-Reporter: Earth Day Proclamation (including CAP)
27	City Planning Commission: Introduction to CAP process
May 2022	
3	City Council Meeting CAP presentation, update, and engagement plan



**BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND**

**AB 6072
May 3, 2022
Consent Agenda**

AGENDA BILL INFORMATION

TITLE:	AB 6072: April 22, 2022 Payroll Certification	<input type="checkbox"/> Discussion Only <input checked="" type="checkbox"/> Action Needed: <input checked="" type="checkbox"/> Motion <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution
RECOMMENDED ACTION:	Approve the April 22, 2022 Payroll Certification in the amount of \$855,207.84.	

DEPARTMENT:	Administrative Services
STAFF:	Ali Spietz, Chief of Administration
COUNCIL LIAISON:	n/a
EXHIBITS:	1. April 22, 2022 Payroll Certification 2. FTE/LTE Counts
CITY COUNCIL PRIORITY:	n/a

AMOUNT OF EXPENDITURE	\$ n/a
AMOUNT BUDGETED	\$ n/a
APPROPRIATION REQUIRED	\$ n/a

EXECUTIVE SUMMARY

This is an approval of the payroll certification for the City of Mercer Island for the period from April 2, 2022 through April 15, 2022 in the amount of \$855,207.84 (see Exhibit 1).

BACKGROUND

[RCW 42.24.080](#) requires that all claims presented against the City by performing labor must be certified by the appropriate official to ensure that the labor was performed as described, and that the claims are just, due, and unpaid obligations against the City, before payment can be made. [RCW 42.24.180](#) allows the payment of claims to occur prior to City Council approval to expedite processing of the payment of claims, provided, however, that review and approval of the claims' documentation occurs at the next regularly scheduled public meeting. The Payroll Certification details the total payment to employees for labor performed and benefits payments made for each payroll. The City is on a bi-weekly payroll schedule with payments every other Friday.

ISSUE/DISCUSSION

Each payroll varies depending on several factors (i.e., number of employees, pay changes, leave cash outs, overtime, etc.). In addition to regular pay for employees, this payroll has variants that are outlined on the next page.

Additional payments:

- \$124.04 in leave cash outs for terminated employees.
- \$76.04 in leave cash outs for current employees.
- \$51,185.26 in overtime earnings (see chart for overtime hours by department).

Overtime hours by department:

Department	Hours
Administrative Services	5.00
City Attorney's Office	
City Manager's Office	
Community Planning & Development	
Finance	
Fire	440.25
Municipal Court	
Police	173.50
Public Works	53.25
Thrift Shop	
Youth & Family Services	
Total Overtime Hours	672.00

FTE/LTE COUNTS

The table in Exhibit 2 shows the budgeted versus actual counts for Full Time Equivalents (FTEs) and Limited Term Equivalents (LTEs) for the current payroll. Casual labor employees (temporary and seasonal) are not included in the counts.

Casual Labor

In addition to FTE and LTE employees, the City utilizes casual labor to address workload needs that exceed the capacity or expertise of the City’s regular staff and that are time limited or seasonal. Casual labor is used primarily to address seasonal workload needs and short-term workload issues created by special projects or position vacancies. Compared to an LTE position, a casual labor position has limited benefits and is filled for a shorter period of time (1-3 months, 6 months, or 9 months). The departments/divisions that utilize casual labor the most are Parks Maintenance, Recreation, Public Works, and the Thrift Shop.

Thrift Shop Recovery and Staffing

The 2021-2022 Thrift Shop Budget does not include an FTE/LTE headcount, with the exception of two 0.5 FTEs in 2021 and 2.0 FTEs in 2022. This is because the Thrift Shop is recovering operations that were impacted by the Pandemic and the staff positions were not known at the time the budget was adopted. Although the positions were not identified in the budget, resources were set aside to staff the Thrift Shop and that is accomplished using FTEs, LTEs, and seasonal staff. For example, the staffing budget (salaries and benefits) for 2022 is \$1,034,422 and currently funds 2.0 FTEs, 6.50 LTEs, and seasonal staff.

Starting with this payroll (April 22, 2022) and going forward, the table in Exhibit 2 will reflect the LTE headcount of employees currently working at the Thrift Shop. Seasonal staff are not included in the headcount. As Thrift Shop recovery work continues, it is anticipated that the 2023-2024 budget will once again include an FTE/LTE headcount, similar to what is currently done in other departments.

RECOMMENDED ACTION

Approve the April 22, 2022 Payroll Certification (Exhibit 1) in the amount of \$855,207.84 and authorize the Mayor to sign the certification on behalf of the entire City Council.

CITY OF MERCER ISLAND PAYROLL CERTIFICATION

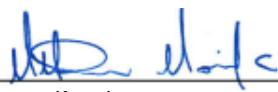
Item 2.

PAYROLL PERIOD ENDING **4.15.2022**
PAYROLL DATED **4.22.2022**

Net Cash	\$	564,978.39
Net Voids/Manuals		
Net Total	\$	564,978.39
Federal Tax Deposit	\$	88,212.50
Social Security and Medicare Taxes	\$	50,460.76
Medicare Taxes Only (Fire Fighter Employees)	\$	2,430.23
State Tax (Oregon, Massachusetts and North Carolina)	\$	197.69
Family/Medical Leave Tax (Massachusetts)	\$	3.74
Public Employees' Retirement System (PERS Plan 2)	\$	26,269.79
Public Employees' Retirement System (PERS Plan 3)	\$	5,395.34
Public Employees' Retirement System (PERSJM)	\$	548.30
Public Safety Employees' Retirement System (PSERS)	\$	213.46
Law Enforcement Officers' & Fire Fighters' Retirement System (LEOFF Plan2)	\$	28,153.56
Regence & LEOFF Trust Medical Insurance Deductions	\$	13,471.08
Domestic Partner Medical Insurance Deductions	\$	1,567.34
Kaiser Medical Insurance Deductions	\$	624.10
Health Care - Flexible Spending Account Contributions	\$	1,588.64
Dependent Care - Flexible Spending Account Contributions	\$	1,370.54
ICMA Roth IRA Contributions	\$	519.23
ICMA 457 Deferred Compensation Contributions	\$	32,436.22
Fire Nationwide 457 Deferred Compensation Contributions	\$	17,733.13
Fire Nationwide Roth IRA Contributions	\$	1,075.00
ICMA 401K Deferred Compensation Contributions	\$	788.46
Garnishments (Chapter 13)	\$	572.00
Child Support Wage Garnishment	\$	706.03
Mercer Island Employee Association Dues	\$	205.00
AFSCME Union Dues	\$	2,498.30
Police Union Dues	\$	2,667.86
Fire Union Dues	\$	2,224.59
Fire Union Supplemental Dues	\$	160.00
Standard - Supplemental Life Insurance	\$	386.90
Unum - Long Term Care Insurance	\$	1,100.55
AFLAC - Supplemental Insurance Plans	\$	238.52
Coffee Club Dues	\$	136.00
Transportation - Flexible Spending Account Contributions	\$	62.50
Fire HRA-VEBA Contributions	\$	6,210.43
Oregon Transit Tax and Oregon Benefit Tax	\$	1.66
Tax & Benefit Obligations Total	\$	290,229.45

TOTAL GROSS PAYROLL		\$ 855,207.84
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I, the undersigned, do hereby certify under penalty of perjury that the materials have been furnished, the services rendered or the labor performed as described herein, that any advance payment is due and payable pursuant to a contract or is available as an option for full or partial fulfillment of a contractual obligation, and that the claim is a just, due and unpaid obligation against the City of Mercer Island, and that I am authorized to authenticate and certify to said claim.



Finance Director

I, the undersigned, do hereby certify that the City Council has reviewed the documentation supporting claims paid and approved all checks or warrants issued in payment of claims.

FTE AND LTE COUNTS AS OF 4/15/2022

Full Time Equivalents (FTEs)	2022	2022
	Budgeted	Actual
Administrative Services	13.50	13.50
City Attorney's Office	2.00	2.00
City Manager's Office	4.00	4.00
Community Planning & Development ³	17.50	15.50
Finance ⁹	9.00	7.00
Fire	32.00	30.00
Municipal Court	3.30	3.10
Police ¹	37.50	35.50
Public Works ¹⁰	62.80	58.30
Recreation ⁶	10.25	9.25
Thrift Shop ⁷	2.00	2.00
Youth & Family Services ²	11.43	11.43
Total FTEs	205.28	191.58
Limited Term Equivalents (LTEs)	2022	2022
	Budgeted	Actual
Administrative Services ⁴	1.00	1.00
City Manager's Office ⁸	1.00	1.00
Community Planning & Development ³	1.50	1.50
Thrift Shop	*	6.50
Youth & Family Services**	1.60	1.60
Total LTEs	5.10	11.60
Total FTEs & LTEs	210.38	203.18

Footnotes:

- ¹ 5/18/2021: Authorized hire ahead of two officers 2.0 FTE (AB 5874) [AB 5874](#)
- ² 1/5/2021: Authorized increase of 1.37 FTE in YFS (AB 5795) [AB 5795](#)
- ³ 9/21/2021: Authorized increase of 2.0 FTE and 0.5 LTE in CPD (AB 5942) [AB 5942](#)
- ⁴ 9/21/2021: Authorized increase of 1.0 LTE in Admin Services – HR (AB 5942) [AB 5942](#)
- ⁵ 10/19/2021: Authorized increase of 0.5 FTE in City Manager’s Office (AB 5961) [AB 5961](#)
- ⁶ 11/1/2021: Authorized restoration of 9.5 FTE in PW – Recreation (AB 5954) [AB 5954](#)
- ⁷ 12/7/2021: Authorized increase of 1.0 FTE in Thrift Shop (AB 5992) [AB 5992](#)
- ⁸ 12/7/2021: Authorized increase of 1.0 LTE in City Manager’s Office (AB 5992) [AB 5992](#)
- ⁹ 3/1/2022: Authorized increase of 1.0 FTE in Finance (AB 6031) [AB 6031](#)
- ¹⁰ 4/19/2022: Authorized 1.0 FTE hire ahead for Utilities Engineer and increase of 0.5 FTE for Stormwater Quality Technician (AB 6051) [AB 6051](#)
- * See note in AB 6072 re Thrift Shop staffing

FTE Vacancies:

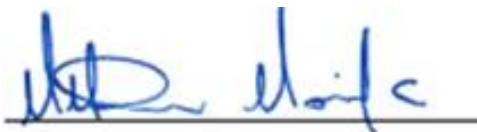
- | | |
|--|--------------------------------------|
| 1.0 CIP Project Manager | 1.0 Police Officer |
| 1.0 CPD Sr. Admin Assistant | 1.0 Police Officer |
| 1.0 Deputy Fire Chief (contracted out) | 0.25 Recreation Aide (0.25 FTE) |
| 1.0 Finance Business System Analyst | 0.75 Recreation Assistant (0.75 FTE) |
| 1.0 Financial Analyst | 0.5 Right-of-Way Arborist (0.5 FTE) |
| 1.0 Fire Chief (contracted out) | 1.0 Stormwater Quality Technician |
| 1.0 Parks Maintenance Team Member | 1.0 Water Quality Technician |
| 1.0 Planner | |

Notes:

Current Judge is 0.2 FTE less than budgeted
 Temporary and seasonal employees are not included in the counts.

CERTIFICATION OF CLAIMS

I, the undersigned, do hereby certify under penalty of perjury that the materials have been furnished, the services rendered, or the labor performed as described herein, that any advance payment is due and payable pursuant to a contract or is available as an option for full or partial fulfillment of a contractual obligation, and that the claim is a just, due and unpaid obligation against the City of Mercer Island, and that I am authorized to authenticate and certify to said claim.



Finance Director

I, the undersigned, do hereby certify that the City Council has reviewed the documentation supporting claims paid and approved all checks or warrants issued in payment of claims.

Mayor

Date

<u>Report</u>	<u>Warrants</u>	<u>Date</u>	<u>Amount</u>
Check Register	211456 – 211541	4/22/2022	\$454,377.52 \$454,377.52

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
<i>Org Key: 402000 - Water Fund-Admin Key</i>				
	00211525	RUIZ, JESUS	installed 1" meter instead 1.5	3,744.00
P0114050	00211489	GRAINGER	INVENTORY PURCHASES	288.94
<i>Org Key: AS1100 - Administrative Services</i>				
P0114095	00211537	VERIZON WIRELESS	ANGIE ALI HOTSPOT FEB 24 - MAR	87.14
<i>Org Key: CA1100 - Administration (CA)</i>				
P0114112	00211522	RELX INC DBA LEXISNEXIS	Invoice #1000RVY57 Legal	363.33
P0114159	00211537	VERIZON WIRELESS	MARY SWAN MAR 02-MAR 23	178.34
P0114110	00211538	WA LEGAL MESSENGERS INC	Invoice #358553 Legal Messenge	132.00
<i>Org Key: CA1200 - Prosecution & Criminal Mngmnt</i>				
P0114111	00211510	MOBERLY AND ROBERTS	Invoice #1027 Professional Ser	7,308.32
P0114113	00211494	HONEYWELL, MATTHEW V	Invoice #1262 Professional Ser	1,100.00
P0114109	00211503	LOTZKAR, STEPHEN A	Invoice #3309 Professional Ser	750.00
P0114113	00211494	HONEYWELL, MATTHEW V	Invoice #1263 Professional Ser	700.00
<i>Org Key: CM1100 - Administration (CM)</i>				
P0114096	00211537	VERIZON WIRELESS	TAMMY FEB 24-MAR 23 VERIZON	202.33
<i>Org Key: CM1200 - City Clerk</i>				
P0114179	00211530	SOUND PUBLISHING INC	Ntc. 2645476 Planning Session	109.14
<i>Org Key: CR1100 - Human Resources</i>				
P0114134	00211483	EQUIFAX INFORMATION SVCS LLC	New Hire Credit Check - Invoic	203.36
P0114179	00211530	SOUND PUBLISHING INC	Ntc. 2643930 Recruitment 3/30	152.25
<i>Org Key: CT1100 - Municipal Court</i>				
P0114094	00211537	VERIZON WIRELESS	JEFF VERIZON FEB 24 - MAR 23	42.13
<i>Org Key: DS0000 - Development Services-Revenue</i>				
	00211528	SEABORN PILE DRIVING CO	overpayment	10,201.00
	00211486	Goodejohn, Kelly	canceled building permit	2,074.29
	00211516	PEREZ, SHARON	overpayment	808.26
<i>Org Key: DS1100 - Administration (DS)</i>				
P0114119	00211532	SUPERION LLC	TRAKiT Annual Maintenance and	25,695.98
P0114162	00211459	BELLEVUE, CITY OF	Q1 2022 MBP SUBSCRIPTION	9,615.27
P0114099	00211537	VERIZON WIRELESS	VERIZON FEB 24-MAR 23 CPD	865.41
P0114073	00211466	CDW GOVERNMENT INC	Adobe Acrobat Pro 2020 Shared	450.23
P0114072	00211466	CDW GOVERNMENT INC	Adobe Acrobat Pro 2020 CPD hme	450.23
P0114070	00211463	BlueBeam Inc.	Bluebeam license conversion to	237.82
<i>Org Key: DS1300 - Land Use Planning Svc</i>				
P0114179	00211530	SOUND PUBLISHING INC	Ntc. 2645816 Public Hearing Zo	85.81
P0114179	00211530	SOUND PUBLISHING INC	Ntc. 2645814 Public Hearing Zo	78.04
<i>Org Key: FN2100 - Data Processing</i>				
P0114160	00211507	METROPRESORT	MARCH 2022 PRINTING & MAILING	50.01
<i>Org Key: FN4501 - Utility Billing (Water)</i>				
P0114160	00211507	METROPRESORT	MARCH 2022 PRINTING & MAILING	84.34
P0114160	00211507	METROPRESORT	MARCH 2022 PRINTING & MAILING	75.02

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
P0114160	00211507	METROPRESORT	MARCH 2022 PRINTING & MAILING	26.22
<i>Org Key: FN4502 - Utility Billing (Sewer)</i>				
P0114160	00211507	METROPRESORT	MARCH 2022 PRINTING & MAILING	84.33
P0114160	00211507	METROPRESORT	MARCH 2022 PRINTING & MAILING	75.02
P0114160	00211507	METROPRESORT	MARCH 2022 PRINTING & MAILING	26.22
<i>Org Key: FN4503 - Utility Billing (Storm)</i>				
P0114160	00211507	METROPRESORT	MARCH 2022 PRINTING & MAILING	84.36
P0114160	00211507	METROPRESORT	MARCH 2022 PRINTING & MAILING	75.03
P0114160	00211507	METROPRESORT	MARCH 2022 PRINTING & MAILING	26.24
<i>Org Key: FR1100 - Administration (FR)</i>				
	00211470	CENTURYLINK	FIRE STATION 92 T1	1,801.01
	00211470	CENTURYLINK	MAIN FIRE STATION FD#7	389.22
<i>Org Key: FR2100 - Fire Operations</i>				
P0114098	00211537	VERIZON WIRELESS	FIRE FEB 24-MAR 23 VERIZON	840.32
P0114006	00211482	EASTSIDE FIRE & RESCUE	Parts/Labor 4604	474.60
<i>Org Key: GGM001 - General Government-Misc</i>				
P0114169	00211480	DOWLING, SOPHIA	PERFORMED, RESEARCHED	250.00
P0114170	00211464	BOREN, NICHOLAS BAILEY	PERFORMED RESEARCHED AND	100.00
P0114171	00211498	KC TREASURY	PROPERTY TAX ACT # 012404-9018	20.51
P0114172	00211498	KC TREASURY	PROPERTY TAX ACT # 082405-9103	17.24
<i>Org Key: GGM004 - Gen Govt-Office Support</i>				
P0114114	00211541	Xerox Financial Services	Copier Lease Fee April 2020 IN	1,031.64
P0114114	00211541	Xerox Financial Services	Copier Leave Fee April 2020 IN	857.69
P0114124	00211474	CONFIDENTIAL DATA DISPOSAL	City Shredding Service - Invoi	290.00
P0114114	00211541	Xerox Financial Services	Copier Lease Fee April 2020 IN	284.06
<i>Org Key: IS2100 - IGS Network Administration</i>				
P0113518	00211499	KING COUNTY FINANCE	I-NET MONTHLY SERVICES FROM	1,492.00
	00211470	CENTURYLINK	COMMUNITY CTR BACKUP PER T1	663.94
	00211470	CENTURYLINK	PRI Span	648.99
	00211470	CENTURYLINK	TRUNKS & BILLING (PRI)	585.40
	00211470	CENTURYLINK	FIRE STAT 92 ALARM, AUTODIAL &	202.31
	00211470	CENTURYLINK	FIRE STATION 91 BACKUP PRI TES	129.27
	00211470	CENTURYLINK	COMMUNITY CENTER	129.17
P0114157	00211505	MAGNAS LLC	LONG DISTANCE CALLING MARCH 20	101.43
	00211470	CENTURYLINK	PUBLIC WORKS RADIO	96.05
	00211470	CENTURYLINK	OPX lines - 16 or 32?	71.84
	00211470	CENTURYLINK	MAINTENANCE 911 BACKUP LINE	71.04
	00211470	CENTURYLINK	FIRE/BURGLAR ALARM	68.12
	00211470	CENTURYLINK	LUTHER BURBANK 911 BACKUP LIN	67.48
	00211470	CENTURYLINK	THRIFT STORE 911 BACKUP LINE	67.48
	00211470	CENTURYLINK	FIRE STATION 92 ELEVATOR ALARM	67.44
	00211470	CENTURYLINK	FIRE/BURGLAR ALARM	61.12
	00211470	CENTURYLINK	FIRE/BURGLAR ALARM	61.12
<i>Org Key: MT2100 - Roadway Maintenance</i>				
	00211521	PUGET SOUND ENERGY	3505 88TH AVE SE	2,669.73

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
	00211521	PUGET SOUND ENERGY	SE 78TH & 85TH PL SE	1,520.12
	00211521	PUGET SOUND ENERGY	78 AVE SE & SE 30 ST	537.34
	00211521	PUGET SOUND ENERGY	SE 28 ST & 81 PL SE	435.94
	00211521	PUGET SOUND ENERGY	77 AVE SE & SE 27 ST	348.01
	00211521	PUGET SOUND ENERGY	81 AVE SE & N MERCER WAY	220.16
	00211521	PUGET SOUND ENERGY	IRRIGATION - TREE LIGHT	214.47
	00211521	PUGET SOUND ENERGY	76TH AVE SE & SE 24TH ST	211.64
P0114043	00211535	TRAFFIC SAFETY SUPPLY	NO LEFT TURN SYMBOL & SCHOOL	143.79
	00211521	PUGET SOUND ENERGY	84TH AV SE/ SE 26 ST	107.82
	00211521	PUGET SOUND ENERGY	W SIDE 80TH AVE SE & S SIDE I9	84.32
	00211521	PUGET SOUND ENERGY	7806 SE 27TH ST	68.68
	00211521	PUGET SOUND ENERGY	7707 SE 27TH ST SIGNAL	67.07
	00211521	PUGET SOUND ENERGY	80TH AV SE/ SE 28 ST	52.87
	00211521	PUGET SOUND ENERGY	4030 86TH AVE SE	49.21
	00211521	PUGET SOUND ENERGY	4700 ISLAND CREST WAY	48.47
	00211521	PUGET SOUND ENERGY	3200 81ST PL SE	43.58
	00211521	PUGET SOUND ENERGY	4200 ISLAND CREST WAY	34.55
	00211521	PUGET SOUND ENERGY	SE 36 ST & E MERCER WAY	28.32
	00211521	PUGET SOUND ENERGY	SE 78TH & 84TH AVE SE	13.00
	00211521	PUGET SOUND ENERGY	5700 ISLAND CREST WAY	10.19
	00211521	PUGET SOUND ENERGY	78TH AVE/ SE 24 ST	7.70
	00211521	PUGET SOUND ENERGY	8450 N MERCER WAY	7.68
P0114143	00211472	CINTAS	FIRST AID SUPPLIES	6.08
<i>Org Key: MT2200 - Vegetation Maintenance</i>				
P0114143	00211472	CINTAS	FIRST AID SUPPLIES	6.08
<i>Org Key: MT2300 - Planter Bed Maintenance</i>				
	00211521	PUGET SOUND ENERGY	84TH AVE SE & 72ND ST	13.36
P0114143	00211472	CINTAS	FIRST AID SUPPLIES	5.21
	00211521	PUGET SOUND ENERGY	8450 N MERCER WAY	1.59
<i>Org Key: MT3100 - Water Distribution</i>				
P0114146	00211512	ONE 7 INC.	SOCKETS, PLUGS & HANDLE	237.07
P0114142	00211489	GRAINGER	DELUXE FLARING TOOL	226.42
P0114090	00211491	H D FOWLER	HYDRANT PARTS	121.29
P0114143	00211472	CINTAS	FIRST AID SUPPLIES	6.08
<i>Org Key: MT3150 - Water Quality Event</i>				
P0114161	00211507	METROPRESORT	MARCH 2022 BACKFLOW LETTERS &	3,019.17
P0114161	00211507	METROPRESORT	MARCH 2022 BACKFLOW LETTERS &	1,559.36
<i>Org Key: MT3200 - Water Pumps</i>				
	00211521	PUGET SOUND ENERGY	4320 88TH AVE SE	3,457.98
	00211521	PUGET SOUND ENERGY	3204 74TH AVE SE	244.15
	00211470	CENTURYLINK	FIRE VHF RADIO @ RESERVOIR	59.74
	00211470	CENTURYLINK	MAIN FIRE STATION	59.74
	00211470	CENTURYLINK	SOUTH END FIRE STATION	59.74
	00211470	CENTURYLINK	MAIN WATER RESERVOIR	59.74
	00211470	CENTURYLINK	BOOSTER PUMP STATION	59.74
P0114143	00211472	CINTAS	FIRST AID SUPPLIES	5.21

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
<i>Org Key: MT3300 - Water Associated Costs</i>				
P0114089	00211490	GREEN RIVER COMM COLLEGE/WETRC	CONFINED SPACE TRAINING FOR AN	210.00
P0114089	00211490	GREEN RIVER COMM COLLEGE/WETRC	CONFINED SPACE TRAINING FOR AN	210.00
<i>Org Key: MT3400 - Sewer Collection</i>				
P0114143	00211472	CINTAS	FIRST AID SUPPLIES	6.08
<i>Org Key: MT3500 - Sewer Pumps</i>				
P0114014	00211524	RH2 ENGINEERING INC	21-29 SEWER PUMP STATION CONDI	8,813.00
P0113643	00211465	CASNE ENGINEERING INC	TROUBLESHOOT SCADA	1,385.00
	00211521	PUGET SOUND ENERGY	2239 60TH AVE SE	683.12
	00211521	PUGET SOUND ENERGY	3309 97TH AVE SE	360.21
	00211521	PUGET SOUND ENERGY	8440 BENO THO PLACE	344.31
	00211521	PUGET SOUND ENERGY	PUMP STATION #21	320.54
	00211521	PUGET SOUND ENERGY	PUMP STATION #19	307.35
	00211521	PUGET SOUND ENERGY	7207 W MERCER WAY	249.94
	00211521	PUGET SOUND ENERGY	5495 W MERCER WAY	223.72
	00211521	PUGET SOUND ENERGY	9855 SE 42ND ST	213.85
	00211470	CENTURYLINK	UTILITIES DEPARTMENT	212.40
P0114049	00211497	JB INSTANT LAWN INC	480 SF) SIGNATURE RYEGRASS INS	232.53
	00211521	PUGET SOUND ENERGY	5406 96TH AVE SE	208.55
	00211521	PUGET SOUND ENERGY	6234 E MERCER WAY	200.53
	00211521	PUGET SOUND ENERGY	4606 EAST MERCER WAY	171.85
	00211521	PUGET SOUND ENERGY	PUMP STATION #17	169.86
	00211470	CENTURYLINK	UTILITIES DEPARTMENT	168.64
	00211521	PUGET SOUND ENERGY	PUMP STATION #10	138.06
	00211521	PUGET SOUND ENERGY	PUMP STATION #1	127.72
	00211470	CENTURYLINK	UTILITIES DEPARTMENT	124.45
	00211521	PUGET SOUND ENERGY	PUMP STATION # 15	118.24
P0114049	00211497	JB INSTANT LAWN INC	FREIGHT CHARGES	120.01
	00211521	PUGET SOUND ENERGY	4313 FOREST AVE SE	92.35
	00211521	PUGET SOUND ENERGY	4009 WEST MERCER WAY	86.57
	00211521	PUGET SOUND ENERGY	4008 EAST MERCER WAY	34.96
P0114049	00211497	JB INSTANT LAWN INC	PALLET	27.53
P0114143	00211472	CINTAS	FIRST AID SUPPLIES	6.08
<i>Org Key: MT3600 - Sewer Associated Costs</i>				
P0114089	00211490	GREEN RIVER COMM COLLEGE/WETRC	CONFINED SPACE TRAINING FOR RA	210.00
<i>Org Key: MT3800 - Storm Drainage</i>				
P0114034	00211514	PACIFIC TOPSOIL INC.	DUMPING FEES	4,180.55
P0114103	00211471	CHECK RIDE DRIVER TRAINING	DRIVER TRAINING FOR RAYMOND BO	3,465.00
P0114143	00211472	CINTAS	FIRST AID SUPPLIES	6.08
<i>Org Key: MT4150 - Support Services - Clearing</i>				
P0114100	00211537	VERIZON WIRELESS	VERIZON PW FEB 24- MAR 23	4,517.29
<i>Org Key: MT4200 - Building Services</i>				
	00211521	PUGET SOUND ENERGY	9611 SE 36TH ST	6,030.96
	00211521	PUGET SOUND ENERGY	9601 SE 36TH ST	2,635.34
	00211521	PUGET SOUND ENERGY	3030 78TH AVE SE	2,160.81
	00211521	PUGET SOUND ENERGY	8473 SE 68TH ST	1,728.81

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
P0113958	00211477	CUMMINS SALES & SERVICE	HEALTH CHECK, UNIT WAS BROKEN	993.43
P0113991	00211473	CLEARWATER LEAK DETECTION	3030 78TH AVE SE WATER LEAK	550.00
	00211521	PUGET SOUND ENERGY	9611 SE 36TH ST	165.05
	00211521	PUGET SOUND ENERGY	9100 SE 42ND ST #CHAR	54.06
P0114143	00211472	CINTAS	FIRST AID SUPPLIES	5.21
<i>Org Key: MT4300 - Fleet Services</i>				
P0114101	00211509	MI SCHOOL DISTRICT #400	2022 MISD SCHOOL DISTRICT FUEL	10,983.28
P0114145	00211529	SEATTLE BOAT COMPANY	Boat Fuel - dated 3/17/2022 -	978.18
P0114102	00211506	MERCER ISLAND CHEVRON	FUEL	938.88
P0114145	00211529	SEATTLE BOAT COMPANY	Boat Fuel - Dated 3/17/2022 -	636.35
P0114145	00211529	SEATTLE BOAT COMPANY	Boat Fuel - Dated 3/29/2022 -	566.44
P0114143	00211472	CINTAS	FIRST AID SUPPLIES	5.21
<i>Org Key: MT4420 - Transportation Planner Eng</i>				
P0114179	00211530	SOUND PUBLISHING INC	Ntc. 2646031 TIP Public Hearin	153.78
P0114179	00211530	SOUND PUBLISHING INC	Ntc. 2645837 TIP Public Commen	119.50
P0114179	00211530	SOUND PUBLISHING INC	Ntc. 2645982 TIP Public Hearin	103.96
<i>Org Key: MT4501 - Water Administration</i>				
	00211470	CENTURYLINK	RESERVOIR FIRE/BURGALUR ALARM	63.89
<i>Org Key: MT4900 - Solid Waste & Sustainability</i>				
P0114155	00211511	OLYMPIC ENVIRONMENTAL RES	MI 2022 RECYCLING PROGRAMS	19,515.59
<i>Org Key: MT6100 - Park Maintenance</i>				
P0114040	00211460	BEN'S CLEANER SALES INC	PRESSURE WASHER & COMMERCIAL	3,365.66
	00211521	PUGET SOUND ENERGY	5501 ISLAND CREST WAY	1,980.87
P0114051	00211495	HORIZON	RAIN BIRD VALVES & PIPE CUTTER	515.79
	00211521	PUGET SOUND ENERGY	4101 82ND AVE SE	424.98
	00211521	PUGET SOUND ENERGY	7677 SE 32ND ST	259.64
P0114036	00211467	CEDAR GROVE COMPOSTING INC	5 YDS COMPOST	78.45
	00211521	PUGET SOUND ENERGY	GROVELAND PARK	15.33
	00211521	PUGET SOUND ENERGY	CLARK BCH PK LOT & UTL	14.83
	00211521	PUGET SOUND ENERGY	2835 60TH AVE SE	14.21
	00211521	PUGET SOUND ENERGY	5960 60TH AVE SE	10.89
P0114143	00211472	CINTAS	FIRST AID SUPPLIES	6.08
<i>Org Key: MT6200 - Athletic Field Maintenance</i>				
P0114042	00211495	HORIZON	BFMVP5004P TURFACE (40 BAGS) &	864.46
	00211470	CENTURYLINK	BATTING CAGE DSL	84.36
P0114143	00211472	CINTAS	FIRST AID SUPPLIES	6.08
<i>Org Key: MT6500 - Luther Burbank Park Maint</i>				
P0114154	00211484	FIRE PROTECTION INC	FIRE ALARM MONITORING QUARTERL	1,816.65
	00211521	PUGET SOUND ENERGY	LUTHER BURBANK PARK	1,670.23
P0114153	00211472	CINTAS	SUPPLIES PARKS AND REC OFFICE	187.69
	00211470	CENTURYLINK	LUTHER BURBANK PARK	129.17
	00211470	CENTURYLINK	LUTHER BURBANK PARK	64.58
P0114143	00211472	CINTAS	FIRST AID SUPPLIES	6.08
<i>Org Key: MT6600 - Park Maint School Fields</i>				
	00211521	PUGET SOUND ENERGY	8225 SE 72ND ST	832.45

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
P0114036	00211467	CEDAR GROVE COMPOSTING INC	5 YDS COMPOST	39.23
P0114143	00211472	CINTAS	FIRST AID SUPPLIES	5.21
<i>Org Key: MT6900 - Aubrey Davis Park Maint</i>				
P0114156	00211515	PAYBYPHONE TECHNOLOGIES INC	TRANSACTION MONTHLY FEE	250.00
	00211521	PUGET SOUND ENERGY	2100 72ND AVE SE	164.16
	00211521	PUGET SOUND ENERGY	3600 E MERCER WAY	94.31
	00211521	PUGET SOUND ENERGY	SE 22 ST & 66TH AVE SE	56.71
P0114036	00211467	CEDAR GROVE COMPOSTING INC	5 YDS COMPOST	39.21
	00211521	PUGET SOUND ENERGY	3600 E MERCER WAY	19.77
P0114143	00211472	CINTAS	FIRST AID SUPPLIES	6.00
	00211521	PUGET SOUND ENERGY	N MERCER WAY & E MER WAY	4.27
<i>Org Key: PA0122 - Luther Burbank Dock Repair & R</i>				
P0107597	00211500	KPFF CONSULTING ENGINEERS	Floating Docs - Luther Burbank	3,262.44
<i>Org Key: PA122A - LB North Pier Renovation</i>				
P0107597	00211500	KPFF CONSULTING ENGINEERS	Fixed Pier Luther Burbank Dock	6.70
<i>Org Key: PA122B - LB Shoreline Access Improvemen</i>				
P0107597	00211500	KPFF CONSULTING ENGINEERS	Luther Burbank Dock Repair and	15.18
<i>Org Key: PA122C - LB Non-Motorized Boat Dock</i>				
P0107597	00211500	KPFF CONSULTING ENGINEERS	Luther Burbank Dock Repair and	1,443.84
<i>Org Key: PA122D - LB Storm Drainage KC Flood Con</i>				
P0107597	00211500	KPFF CONSULTING ENGINEERS	Luther Burbank Dock Repair and	5.57
<i>Org Key: PA122E - LB Docks - Project costs</i>				
P0107597	00211500	KPFF CONSULTING ENGINEERS	Luther Burbank Dock Repair and	10.02
<i>Org Key: PO1100 - Administration (PO)</i>				
P0114131	00211457	AT&T MOBILITY	PD Cell Phone Service - Voice	802.58
P0114097	00211537	VERIZON WIRELESS	POLICE FEB 24 - MAR 23	656.15
<i>Org Key: PO1350 - Police Emergency Management</i>				
P0113708	00211456	4IMPRINT INC	EMAC/Crime Prevention Supplies	2,495.28
P0114117	00211523	REMOTE SATELLITE SYSTEMS INT'L	EMAC Sat Phone Service - 2/11/	54.00
P0114116	00211478	DATAQUEST LLC	EMAC Volunteer Background -	26.50
<i>Org Key: PO1800 - Contract Dispatch Police</i>				
P0114135	00211513	PACE SYSTEMS INC.	Scheduling Software - Invoice	3,200.00
P0114127	00211539	WASHINGTON STATE PATROL	CPL Backgrounds - Invoice #	227.50
<i>Org Key: PO1900 - Jail/Home Monitoring</i>				
P0114118	00211496	ISSAQUAH JAIL, CITY OF	Issaquah Jail Housing - Invoice	3,410.00
P0114128	00211527	SCORE	Jail Housing Invoice - Invoice	1,740.68
<i>Org Key: PO2100 - Patrol Division</i>				
P0114125	00211501	KROESENS UNIFORM COMPANY	Uniforms and Supplies - Invoic	570.15
P0114087	00211466	CDW GOVERNMENT INC	Adobe Photoshop 1 Yr Subscript	431.55
P0114138	00211488	GRAFIX SHOPPE	Patrol Vehicle Graphics - Invo	417.99
P0114121	00211461	BIO MANAGEMENT NW	Bio Cleanup in Patrol vehicle	298.11
P0114129	00211533	SUPERIOR TOWING INC	Impound Fees - Service Date:	286.26
P0114137	00211501	KROESENS UNIFORM COMPANY	Uniform and Supplies - Invoice	245.42

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
P0114126	00211504	MAC TOWING	Impound Fees - Invoice #	229.01
P0114133	00211531	SUE'S TAILOR & ALTERATION	Uniform Alterations - March 10	183.70
P0114125	00211501	KROESENS UNIFORM COMPANY	Uniforms and Supplies - Invoic	181.67
P0114125	00211501	KROESENS UNIFORM COMPANY	Uniforms and Supplies - Invoic	181.67
P0114125	00211501	KROESENS UNIFORM COMPANY	Uniforms and Supplies - Invoic	111.70
P0114138	00211488	GRAFIX SHOPPE	Patrol Vehicle Graphics - Invo	108.00
P0114125	00211501	KROESENS UNIFORM COMPANY	Uniforms and Supplies - Invoic	96.82
P0114125	00211501	KROESENS UNIFORM COMPANY	Uniforms and Supplies - Invoic	89.11
P0114122	00211501	KROESENS UNIFORM COMPANY	Uniform Supplies - Officer(s)	82.42
P0114137	00211501	KROESENS UNIFORM COMPANY	Uniform and Supplies - Invoice	11.56
Org Key: PO2200 - Marine Patrol				
P0114104	00211526	SAFE BOATS	Scupper Flaps for Patrol 12 -	64.24
P0114136	00211508	MI HARDWARE - POLICE	MP Supplies - Hardware -	51.11
P0114105	00211508	MI HARDWARE - POLICE	MP Supplies - Invoice # 144613	9.47
Org Key: PO2201 - Dive Team				
P0114130	00211536	UNDERWATER SPORTS INC.	Dive Team Equipment - Invoice(1,089.99
Org Key: PO3100 - Investigation Division				
P0114120	00211534	THOMSON REUTERS - WEST	West investigative services -	465.05
Org Key: PO4100 - Firearms Training				
P0114144	00211485	Gallow Technologies	Firearms Supplies - Invoice #	1,803.00
Org Key: PO4300 - Police Training				
P0114055	00211476	CRIMINAL JUSTICE TRAINING COMM	Basic Law Enforcement Academy	3,404.00
P0114132	00211458	BELLEVUE GUN CLUB INC	Firearms Range Training - Invo	1,541.40
P0114123	00211462	Blue to Gold	Training - Ofc. Johnston,	1,388.00
P0114055	00211476	CRIMINAL JUSTICE TRAINING COMM	Field Training Officer Academy	95.00
Org Key: PR4100 - Community Center				
	00211521	PUGET SOUND ENERGY	8236 SE 24TH ST	4,311.98
	00211470	CENTURYLINK	COMMUNITY CENTER 911 ID LINE	61.12
P0114152	00211472	CINTAS	COMMUNITY CENTER SUPPLIES	59.72
	00211521	PUGET SOUND ENERGY	8236 SE 24TH ST	40.37
Org Key: SP0125 - PBF Plan Implementation				
P0114052	00211535	TRAFFIC SAFETY SUPPLY	4) BIKE LANE & ENDS SIGNS	472.00
Org Key: ST0020 - ST Long Term Parking				
	00211521	PUGET SOUND ENERGY	7810 SE 27TH ST	362.29
Org Key: SU0102 - Pump Station R&R Improvements				
P0114014	00211524	RH2 ENGINEERING INC	21-29 SEWER PUMP STATION CONDI	6,612.31
P0113644	00211465	CASNE ENGINEERING INC	PROGRAMMING CODE CONVERTED	102.50
Org Key: SU0113 - SCADA System Replacement-Sewer				
P0114064	00211540	WSDOT	PROJECT COSTS FOR FEB 2022 I90	641.63
Org Key: VCP402 - CIP Water Salaries				
P0113185	00211479	DELL MARKETING L.P.	Dell Dock Water Utility Engine	347.16
P0113919	00211466	CDW GOVERNMENT INC	Acrobat Standard 2020 for Maya	299.35
Org Key: WU0101 - Booster Chlorination Station				

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PO #	Check #	Vendor:	Transaction Description	Check Amount
P0113453	00211493	HARBOR PACIFIC CONT INC.	Booster Chlorination System Pr	205,477.07
<i>Org Key: WU0116 - RRA/ ERP Updates & Water Syste</i>				
P0111993	00211475	Confluence Law PPLC	Emergency Well #2 Permit Exten	868.75
<i>Org Key: YF1200 - Thrift Shop</i>				
	00211521	PUGET SOUND ENERGY	7710 SE 34TH ST	797.61
	00211470	CENTURYLINK	THRIFT SHOP ALARMS	209.58
	00211516	PEREZ, SHARON	fedex office printing	179.45
	00211516	PEREZ, SHARON	qfc customer event	19.28
<i>Org Key: YF2600 - Family Assistance</i>				
P0114175	00211492	HADLEY APARTMENTS	Rental assistance for EA clien	2,000.00
P0114176	00211487	Grace's Place	Rental assistance for EA clien	266.00
<i>Org Key: YF2850 - Federal SPF Grant</i>				
P0114177	00211502	Limerent LLC	Site visit - stakeholder inter	12,143.75
P0114147	00211481	Early Parent Support	MIHYI Winter PATS groups	5,347.00
Total				454,377.52

Accounts Payable Report by Check Number

Check No	Check Date	Vendor Name/Description	PO #	Invoice #	Invoice Date	Check Amount
00211456	04/18/2022	4IMPRINT INC EMAC/Crime Prevention Supplies	P0113708	9746279	03/29/2022	2,495.28
00211457	04/18/2022	AT&T MOBILITY PD Cell Phone Service - Voice	P0114131	X03192022	03/11/2022	802.58
00211458	04/18/2022	BELLEVUE GUN CLUB INC Firearms Range Training - Invo	P0114132	MIPD MAR2022	04/01/2022	1,541.40
00211459	04/18/2022	BELLEVUE, CITY OF Q1 2022 MBP SUBSCRIPTION	P0114162	42158	04/05/2022	9,615.27
00211460	04/18/2022	BEN'S CLEANER SALES INC PRESSURE WASHER & COMMERCIAL	P0114040	330573	03/24/2022	3,365.66
00211461	04/18/2022	BIO MANAGEMENT NW Bio Cleanup in Patrol vehicle	P0114121	7516	04/05/2022	298.11
00211462	04/18/2022	Blue to Gold Training - Ofc. Johnston,	P0114123	04-OT-2-IGS0008	04/05/2022	1,388.00
00211463	04/18/2022	BlueBeam Inc. Bluebeam license conversion to	P0114070	I438246	04/04/2022	237.82
00211464	04/18/2022	BOREN, NICHOLAS BAILEY PERFORMED RESEARCHED AND SUMMA	P0114170	00000002	03/31/2022	100.00
00211465	04/18/2022	CASNE ENGINEERING INC TROUBLESHOOT SCADA PROGRAMMING	P0113644	38490	02/25/2022	1,487.50
00211466	04/18/2022	CDW GOVERNMENT INC Adobe Acrobat Pro 2020 Shared	P0113919	V126777	03/29/2022	1,631.36
00211467	04/18/2022	CEDAR GROVE COMPOSTING INC 5 YDS COMPOST	P0114036	0000666226	03/31/2022	156.89
00211470	04/18/2022	CENTURYLINK MAIN FIRE STATION FD#7		275-4207 APR22	04/01/2022	6,597.89
00211471	04/18/2022	CHECK RIDE DRIVER TRAINING DRIVER TRAINING FOR RAYMOND BO	P0114103	040622	04/06/2022	3,465.00
00211472	04/18/2022	CINTAS FIRST AID SUPPLIES	P0114152	5102917419	04/06/2022	334.18
00211473	04/18/2022	CLEARWATER LEAK DETECTION 3030 78TH AVE SE WATER LEAK	P0113991	032422	03/24/2022	550.00
00211474	04/18/2022	CONFIDENTIAL DATA DISPOSAL City Shredding Service - Invoi	P0114124	211367	03/31/2022	290.00
00211475	04/18/2022	Confluence Law PPLC Emergency Well #2 Permit Exten	P0111993	935	04/04/2022	868.75
00211476	04/18/2022	CRIMINAL JUSTICE TRAINING COMM Field Training Officer Academy	P0114055	201135629	01/01/2022	3,499.00
00211477	04/18/2022	CUMMINS SALES & SERVICE HEALTH CHECK, UNIT WAS BROKEN	P0113958	01-41935	03/09/2022	993.43
00211478	04/18/2022	DATAQUEST LLC EMAC Volunteer Background -	P0114116	17577	02/28/2022	26.50
00211479	04/18/2022	DELL MARKETING L.P. Dell Dock Water Utility Engine	P0113185	10564812446	03/30/2022	347.16
00211480	04/18/2022	DOWLING, SOPHIA PERFORMED, RESEARCHED SUMARIZE	P0114169	00000003	03/01/2022	250.00
00211481	04/18/2022	Early Parent Support MIHYI Winter PATS groups	P0114147	PEPS202213	03/30/2022	5,347.00
00211482	04/18/2022	EASTSIDE FIRE & RESCUE Parts/Labor 4604	P0114006	4537 - REMAINING	04/01/2022	474.60
00211483	04/18/2022	EQUIFAX INFORMATION SVCS LLC New Hire Credit Check - Invoic	P0114134	6730588	03/17/2022	203.36

Accounts Payable Report by Check Number

Check No	Check Date	Vendor Name/Description	PO #	Invoice #	Invoice Date	Check Amount
00211484	04/18/2022	FIRE PROTECTION INC FIRE ALARM MONITORING QUARTERL	P0114154	68735	04/01/2022	1,816.65
00211485	04/18/2022	Gallow Technologies Firearms Supplies - Invoice #	P0114144	23149	04/05/2022	1,803.00
00211486	04/18/2022	Goodejohn, Kelly canceled building permit		2201-011	04/11/2022	2,074.29
00211487	04/18/2022	Grace's Place Rental assistance for EA clien	P0114176	041222	04/12/2022	266.00
00211488	04/18/2022	GRAFIX SHOPPE Patrol Vehicle Graphics - Invo	P0114138	143686	03/02/2022	525.99
00211489	04/18/2022	GRAINGER INVENTORY PURCHASES	P0114142	9272571150	04/07/2022	515.36
00211490	04/18/2022	GREEN RIVER COMM COLLEGE/WETRC CONFINED SPACE TRAINING FOR AN	P0114089	216737	04/06/2022	630.00
00211491	04/18/2022	H D FOWLER HYDRANT PARTS	P0114090	I6055190	04/04/2022	121.29
00211492	04/18/2022	HADLEY APARTMENTS Rental assistance for EA clien	P0114175	040822	04/08/2022	2,000.00
00211493	04/18/2022	HARBOR PACIFIC CONT INC. Booster Chlorination System Pr	P0113453	PP#3	03/31/2022	205,477.07
00211494	04/18/2022	HONEYWELL, MATTHEW V Invoice #1262 Professional Ser	P0114113	1263	04/05/2022	1,800.00
00211495	04/18/2022	HORIZON RAIN BIRD VALVES & PIPE CUTTER	P0114042	3M425234	03/22/2022	1,380.25
00211496	04/18/2022	ISSAQUAH JAIL, CITY OF Issaquah Jail Housing - Invoic	P0114118	22000141	04/06/2022	3,410.00
00211497	04/18/2022	JB INSTANT LAWN INC 480 SF) SIGNATURE RYEGRASS INS	P0114049	835909	04/05/2022	380.07
00211498	04/18/2022	KC TREASURY PROPERTY TAX ACT # 012404-9018	P0114172	082405-9103-06	03/16/2022	37.75
00211499	04/18/2022	KING COUNTY FINANCE I-NET MONTHLY SERVICES FROM	P0113518	11011677	03/31/2022	1,492.00
00211500	04/18/2022	KPFF CONSULTING ENGINEERS Floating Docs - Luther Burbank	P0107597	413587	03/11/2022	4,743.75
00211501	04/18/2022	KROESENS UNIFORM COMPANY Uniforms and Supplies - Invoic	P0114122	67468	04/05/2022	1,570.52
00211502	04/18/2022	Limerent LLC Site visit - stakeholder inter	P0114177	354	04/08/2022	12,143.75
00211503	04/18/2022	LOTZKAR, STEPHEN A Invoice #3309 Professional Ser	P0114109	3309	03/02/2022	750.00
00211504	04/18/2022	MAC TOWING Impound Fees - Invoice #	P0114126	22-03-27802	04/03/2022	229.01
00211505	04/18/2022	MAGNAS LLC LONG DISTANCE CALLING MARCH 20	P0114157	IN16409	04/07/2022	101.43
00211506	04/18/2022	MERCER ISLAND CHEVRON FUEL	P0114102	MARCH2022	03/01/2022	938.88
00211507	04/18/2022	METROPRESORT MARCH 2022 PRINTING & MAILING	P0114161	IN642830	04/07/2022	5,185.32
00211508	04/18/2022	MI HARDWARE - POLICE MP Supplies - Hardware -	P0114105	144613	03/31/2022	60.58
00211509	04/18/2022	MI SCHOOL DISTRICT #400 2022 MISD SCHOOL DISTRICT FUEL	P0114101	2022-03.31.22FUE	04/04/2022	10,983.28

Accounts Payable Report by Check Number

Check No	Check Date	Vendor Name/Description	PO #	Invoice #	Invoice Date	Check Amount
00211510	04/18/2022	MOBERLY AND ROBERTS Invoice #1027 Professional Ser	P0114111	1027	04/01/2022	7,308.32
00211511	04/18/2022	OLYMPIC ENVIRONMENTAL RES MI 2022 RECYCLING PROGRAMS	P0114155	2022OER3	04/07/2022	19,515.59
00211512	04/18/2022	ONE 7 INC. SOCKETS, PLUGS & HANDLE	P0114146	2007062948	04/04/2022	237.07
00211513	04/18/2022	PACE SYSTEMS INC. Scheduling Software - Invoice	P0114135	IN00041245	02/23/2022	3,200.00
00211514	04/18/2022	PACIFIC TOPSOIL INC. DUMPING FEES	P0114034	13387-MAR22	03/17/2022	4,180.55
00211515	04/18/2022	PAYBYPHONE TECHNOLOGIES INC TRANSACTION MONTHLY FEE MINIMU	P0114156	INVPBP-HQ-2830	03/31/2022	250.00
00211516	04/18/2022	PEREZ, SHARON overpayment		030822	03/07/2022	1,006.99
00211521	04/18/2022	PUGET SOUND ENERGY 78TH AVE/ SE 24 ST		9297-APR22	04/02/2022	38,399.61
00211522	04/18/2022	RELX INC DBA LEXISNEXIS Invoice #1000RVY57 Legal	P0114112	100RVY57	03/31/2022	363.33
00211523	04/18/2022	REMOTE SATELLITE SYSTEMS INT'L EMAC Sat Phone Service - 2/11/	P0114117	00116575	02/11/2022	54.00
00211524	04/18/2022	RH2 ENGINEERING INC 21-29 SEWER PUMP STATION CONDI	P0114014	85392	03/21/2022	15,425.31
00211525	04/18/2022	RUIZ, JESUS installed 1" meter instead 1.5		1910-132B	04/01/2022	3,744.00
00211526	04/18/2022	SAFE BOATS Scupper Flaps for Patrol 12 -	P0114104	I0028787	03/30/2022	64.24
00211527	04/18/2022	SCORE Jail Housing Invoice - Invoice	P0114128	5852	03/10/2022	1,740.68
00211528	04/18/2022	SEABORN PILE DRIVING CO overpayment		SHL22-007	04/05/2022	10,201.00
00211529	04/18/2022	SEATTLE BOAT COMPANY Boat Fuel - dated 3/17/2022 -	P0114145	993-19800-58094	03/17/2022	2,180.97
00211530	04/18/2022	SOUND PUBLISHING INC Ntc. 2645476 Planning Session	P0114179	8059131	03/31/2022	802.48
00211531	04/18/2022	SUE'S TAILOR & ALTERATION Uniform Alterations - March 10	P0114133	031022	03/10/2022	183.70
00211532	04/18/2022	SUPERION LLC TRAKiT Annual Maintenance and	P0114119	350923	04/08/2022	25,695.98
00211533	04/18/2022	SUPERIOR TOWING INC Impound Fees - Service Date:	P0114129	1-3115	03/08/2022	286.26
00211534	04/18/2022	THOMSON REUTERS - WEST West investigative services -	P0114120	846131488	04/01/2022	465.05
00211535	04/18/2022	TRAFFIC SAFETY SUPPLY NO LEFT TURN SYMBOL & SCHOOL	P0114052	IN047770	04/05/2022	615.79
00211536	04/18/2022	UNDERWATER SPORTS INC. Dive Team Equipment - Invoice(P0114130	20023858	02/16/2022	1,089.99
00211537	04/18/2022	VERIZON WIRELESS ANGIE ALI HOTSPOT FEB 24 - MAR	P0114097	9902514266	03/23/2022	7,389.11
00211538	04/18/2022	WA LEGAL MESSENGERS INC Invoice #358553 Legal Messenge	P0114110	358553	03/01/2022	132.00
00211539	04/18/2022	WASHINGTON STATE PATROL CPL Backgrounds - Invoice #	P0114127	I22005386	04/04/2022	227.50

Accounts Payable Report by Check Number

Check No	Check Date	Vendor Name/Description	PO #	Invoice #	Invoice Date	Check Amount
00211540	04/18/2022	WSDOT PROJECT COSTS FOR FEB 2022 I90	P0114064	RE41JZ1374L002	03/14/2022	641.63
00211541	04/18/2022	Xerox Financial Services Copier Lease Fee April 2020 IN	P0114114	3169296	04/03/2022	2,173.39
					Total	<u>454,377.52</u>



CITY COUNCIL MINUTES REGULAR HYBRID MEETING APRIL 19, 2022

Item 4.

CALL TO ORDER & ROLL CALL

Mayor Salim Nice called the regular meeting to order at 5:01 pm in the Council Chambers at City Hall, 9611 SE 36th Street, Mercer Island, Washington.

Mayor Salim Nice, Deputy Mayor David Rosenbaum and Councilmembers Lisa Anderl, Jake Jacobson, Craig Reynolds, and Ted Weinberg participated in person in Council Chambers.

Councilmember Wendy Weiker participated remotely using Zoom.

PLEDGE OF ALLEGIANCE

The City Council delivered the Pledge of Allegiance.

AGENDA APPROVAL

It was moved by Weinberg; seconded by Jacobson to:

Approve the agenda as presented.

PASSED: 7-0

FOR: 7 (Anderl, Jacobson, Nice, Reynolds, Rosenbaum, Weiker, and Weinberg)

CITY MANAGER REPORT

City Manager Bon reported on the following items:

- **Council, Boards & Commission Meetings Update:** Upcoming meetings joint meeting with MISD 4/21, Hybrid Meeting 5/3. Arts Council 4/20, OSCT 4/21, PRC 4/26. Annual recruitment for Boards & Commission seats.
- **City Services Updates:** Supporting Summer Celebration event sponsorship opportunities are available, Mercedale Playground update, YFS Healthy Youth Initiative Parenting Skills Class: Guiding Good Choices, MIFD completes Highrise tactical training, successful water shutdown with no services interruptions to residents or businesses, Community Conversations: The Stories that Shape Us, April 26 at SJCC.
- **Community Updates:** MIPA Circus is back on April 30, Mercer Island Blood Drive partnered with MIPA on June 3 at MICEC.
- **News:** Aubrey Davis Park Picnic Shelter construction is beginning and expect to be available later this summer, spring cleaning underway, successful Spring Recycling Event with 53,080 pounds of discarded materials, MIPD 2021 Awards, Mercer Island Community Fund, and 4Culture help kick off summer fun.

APPEARANCES

Sue Stewart (Mercer Island), Friends of Luther Burbank Park, spoke about climate change and how it is affecting the parks. She expressed her concerns about building a bike skills area in Upper Luther Burbank park.

CONSENT AGENDA

AB 6063: April 8, 2022 Payroll Certification

Recommended Action: Approve the April 8, 2022 Payroll Certification (Exhibit 1) in the amount of \$955,810.71 and authorize the Mayor to sign the certification on behalf of the entire City Council.

Certification of Claims

- A. Check Register 211286 – 211380 | 4/1/2022 | \$395,482.98
- B. Check Register 211381 – 211455 | 4/8/2022 | \$649,663.68
- C. EFT Payments | March 2022 | \$2,301,328.20

Recommendation Action: Certify that the City Council has reviewed the documentation supporting claims paid and approved all checks or warrants issued in payment of claims.

City Council Meeting Minutes of:

December 21, 2021 Executive Session

March 26, 2022 Planning Session

April 5, 2022 Regular Hybrid Meeting

Recommended Action: Approve the minutes of the December 21, 2021 Executive Session, March 26, 2022 Planning Session, and April 5, 2022 Regular Hybrid City Council Meeting.

AB 6062: 2022 Water System Improvements (Madrona Crest East) Project Bid Award

Recommended Action:

1. Award the 2022 Water System Improvements (Madrona Crest East) project to Fury Site Works, Inc.
2. Authorize the City Manager to execute a contract with Fury Site Works, Inc. in an amount of \$1,864,262.
3. Set the total project budget at \$2,767,115.

AB 6058: Earth Day Proclamation (No. 288)

Recommended Action: Proclaim April 22, 2022, as Earth Day in the City of Mercer Island and encourage local action in the protection of the environment.

AB 6051: Public Works Department Staffing Requests

Recommended Action:

1. Authorize a hire-ahead (1.0 LTE) for the Utilities Engineer position using capital improvement project funding and existing salary savings.
2. Authorize a 0.5 FTE increase for the Stormwater Quality Technician position to 1.0 FTE.

It was moved by Weinberg; seconded by Reynolds to:

Approve the Consent Agenda and the recommended actions contained therein.

PASSED: 7-0

FOR: 7 (Anderl, Jacobson, Nice, Reynolds, Rosenbaum, Weiker, and Weinberg)

REGULAR BUSINESS

AB 6064: Review and Approve the Draft 2023-2024 City Council Priorities

Chief of Administration Ali Spietz presented the draft 2023-2024 City Council Priorities.

Mayor Nice read the 2023-2024 City Council Priorities into the record.

It was moved by Reynolds; seconded by Rosenbaum to:

Adopt the 2023-2024 City Council Priorities.

PASSED: 7-0

FOR: 7 (Anderl, Jacobson, Nice, Reynolds, Rosenbaum, Weiker, and Weinberg)

AB 6065: Financial Status Update: Fiscal Year 2021 Year-End and Budget Amending Ordinance

Finance Director Matt Mornick presented the Fiscal Year 2021 Year-End Report and budget amending ordinance. He spoke about the budget vs. actuals for 2021, 2021 fund balance overview, 2021 General Fund surplus, 2021 general sales tax exceeded forecast, Business License and B&O tax, license, permitting, and zoning fee revenues, General Fund expenditures, REET revenues. He also presented on the timeline for the 2023-2024 Biennial Budget and how Council could direct use of the 2021 surplus.

It was moved by Jacobson; seconded by Rosenbaum to:

Adopt Ordinance No. 22-04 amending the 2021-2022 Biennial Budget.

PASSED: 7-0

FOR: 7 (Anderl, Jacobson, Nice, Reynolds, Rosenbaum, Weiker, and Weinberg)

AB 6066: Special Events Sponsorship Policy

Recreation Manager Ryan Daly and Recreation Coordination Katie Herzog presented the Special Events Sponsorship Policy for City Council review and approval. Recreation Manager Daly spoke to how the need for this policy was identified and the process it went through with the Parks & Recreation Commission (PRC) to help meet the community needs for events while still meeting the goals outlined in the Recreation restart plan. Recreation Coordinator Herzog presented on the engagement and development process that was conducted by the Parks & Recreation Commission how the policy will provide guidance for staff of when fee waivers or fee reductions can be applied to special events, and next steps should the policy be approved.

City Council discussed and asked questions about the Special Events Sponsorship Policy.

It was moved by Reynolds; seconded by Jacobson to:

Approve the Special Events Sponsorship Policy.

PASSED: 7-0

FOR: 7 (Anderl, Jacobson, Nice, Reynolds, Rosenbaum, Weiker, and Weinberg)

AB 6061: Contract Lobbyist

City Manager Jessi Bon presented information to the Council about hiring a lobbyist to support the City Council and City Manager's office on legislative matters. She provided an overview of lobbyist services that are generally included, discussed the draft scope of work for support at both the State and Federal level, and covered the next steps and timeline for the process.

City Council discussed and asked questions about the proposal.

It was moved by Rosenbaum; seconded by Weinberg to:

Approve lobbyist scope of work and authorize the City Manager to issue a Request for Proposals for lobbyist services.

PASSED: 7-0

FOR: 7 (Anderl, Jacobson, Nice, Reynolds, Rosenbaum, Weiker, and Weinberg)

It was moved by Weiker; seconded by Weinberg to:

Appoint a City Council Ad-Hoc committee of Deputy Mayor Rosenbaum, Councilmember Weiker and Councilmember Jacobson, to review and interview qualified consultants and prepare a final recommendation for consideration by the full City Council.

PASSED: 7-0

FOR: 7 (Anderl, Jacobson, Nice, Reynolds, Rosenbaum, Weiker, and Weinberg)

OTHER BUSINESS

Planning Schedule

City Manager Bon spoke about upcoming meetings: Joint meeting with MISD on April 21, Hybrid City Council meeting on May 3. City Manager Bon also reminded Council about the August recess.

Councilmember Absences and Reports

Councilmember Anderl will be absent from the Joint Meeting with MISD School Board.
Deputy Mayor Rosenbaum spoke about the SCA PIC meeting last week and their conversations around climate action and how can cities get more resources.
Councilmember Weiker spoke about the AWC Annual conference in June.

The regular Council Meeting adjourned at 6:34 pm.

EXECUTIVE SESSION

At 6:41 pm, Mayor Nice convened an Executive Session in the Farside Room at City Hall, 9611 SE 36th Street, Mercer Island, WA and via Microsoft Teams. The Executive Session was to discuss with legal counsel pending or potential litigation pursuant to RCW 42.30.110(1)(i) for approximately 60 minutes.

Mayor Nice adjourned the Executive Session at 7:15 pm.

ADJOURNMENT

Salim Nice, Mayor

Attest:

Andrea Larson, City Clerk



BUSINESS OF THE CITY COUNCIL CITY OF MERCER ISLAND

AB 6069
May 3, 2022
Consent Agenda

AGENDA BILL INFORMATION

TITLE:	AB 6069: Affordable Housing Week (Proclamation No. 289)	<input type="checkbox"/> Discussion Only <input checked="" type="checkbox"/> Action Needed: <input checked="" type="checkbox"/> Motion <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution
RECOMMENDED ACTION:	Proclaim May 8-14, 2022 as Affordable Housing Week.	

DEPARTMENT:	City Council
STAFF:	Salim Nice, Mayor Alison Van Gorp, Deputy CPD Director Andrea Larson, City Clerk
COUNCIL LIAISON:	n/a
EXHIBITS:	1. Proclamation No. 289
CITY COUNCIL PRIORITY:	n/a

AMOUNT OF EXPENDITURE	\$ n/a
AMOUNT BUDGETED	\$ n/a
APPROPRIATION REQUIRED	\$ n/a

EXECUTIVE SUMMARY

This agenda bill is to Proclaim May 8-14, 2022 as Affordable Housing Week in Mercer Island.

BACKGROUND

Homelessness remains one of the most difficult and complex issues facing King County. The King County Regional Homelessness Authority estimates that more than 40,000 people were homeless in King County in 2020. In addition, the impacts of the COVID-19 pandemic continue to exacerbate the challenges low- and middle- income people face in our region. Market rents have surged 15% in the last year in East King County. Furthermore, the current high rates of inflation as well as the historically high gas prices mean that family budgets are stretched extremely thin.

In 2018, King County estimated that a total of 244,000 net new affordable homes must be built, preserved, or subsidized by 2040 to fully address the need for affordable homes countywide. The state legislature has acted to require cities and counties to plan for projected housing needs as a part of the Growth Management Act comprehensive planning process. The City will soon embark on a Housing Needs Assessment to understand Mercer Island’s existing and future housing needs and to inform the 2024 periodic update to the Comprehensive Plan. City staff continue to coordinate with other East King County jurisdictions to address

affordable housing needs through ARCH (A Regional Coalition for Housing), including annual investments in the ARCH Housing Trust Fund, which has helped create over 7,000 units of affordable housing in East King County.

ISSUE/DISCUSSION

Since 2016, the [Housing Development Consortium](#) (HDC) of Seattle-King County has partnered with its diverse membership body to coordinate Affordable Housing Week, aimed at recognizing the need to preserve and increase affordable housing in King County communities. HDC's members encompasses all of the major nonprofit housing developers in King County as well as financial institutions, consultants, architects, building contractors, attorneys, accountants, service providers, local housing authorities, and government agencies.

Each year, Affordable Housing Week brings together residents from across King County to focus attention on affordable housing and to promote thriving communities where everyone has an opportunity to live with dignity in safe, healthy, and affordable homes. Affordable Housing Week activities are attended and led by cities, organizations, advocates, and residents.

Proclaiming May 8-14 as Affordable Housing Week in Mercer Island shines a light on both the substantial need for more affordable housing in King County, as well as the important work already underway to understand and address that need. For more information on affordable housing in King County and to learn about the events and activities planned for May 8-14, please visit the [Affordable Housing Week webpage](#).

RECOMMENDED ACTION

Proclaim May 8 – 14, 2022 as Affordable Housing Week.



City of Mercer Island, Washington

Proclamation

WHEREAS, all people should have access to safe, healthy, and affordable homes within communities that provide opportunity; and

WHEREAS, the COVID-19 pandemic has exacerbated many existing financial constraints for low- and moderate-income households; and

WHEREAS, the CDC recognizes safe, healthy, and affordable housing within communities of opportunity as key social determinants of health; and

WHEREAS, everyone benefits from affordable housing, including the people who reside in these properties, their neighbors, businesses, employers, and the community as a whole; and

WHEREAS, the number of people experiencing homelessness in our region is at crisis levels and the need for affordable homes continues to increase; and

WHEREAS, people, organizations, and communities throughout King County have united to participate in local Affordable Housing Week activities to raise public awareness of the critical need to create healthy communities with ample affordable housing; and

WHEREAS, the City of Mercer Island endorses the goals, objectives, and purposes of Affordable Housing Week, and in doing so, firmly recommits itself to ensuring that our community's recovery from the crises at hand is equitable, and that all people in Mercer Island live with dignity in safe, healthy, and affordable homes;

NOW, THEREFORE, I, Salim Nice, Mayor of the City of Mercer Island, do hereby proclaim May 8-14, 2022 as

AFFORDABLE HOUSING WEEK

in the City of Mercer Island and the City endorses the goals, objectives, and purposes of Affordable Housing Week, and in doing so, recommits itself to ensuring that our community recovers equitable from the crises at hand, and that all people in the City of Mercer Island live with dignity in safe, healthy, and affordable homes.

APPROVED, this 3rd day of May 2022



Mayor Salim Nice

Proclamation No. 289



**BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND**

**AB 6071
May 3, 2022
Consent Agenda**

AGENDA BILL INFORMATION

TITLE:	AB 6071: 2022 Arterial and Residential Street Overlays Project Bid Award	<input type="checkbox"/> Discussion Only <input checked="" type="checkbox"/> Action Needed: <input checked="" type="checkbox"/> Motion <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution
RECOMMENDED ACTION:	Award the 2022 Arterial and Residential Street Overlays construction contract to Watson Asphalt Paving Co., Inc.	

DEPARTMENT:	Public Works
STAFF:	Jason Kintner, Chief of Operations Clint Morris, Capital Division Manager Ian Powell, Street Engineer
COUNCIL LIAISON:	n/a
EXHIBITS:	1. Project Location Map
CITY COUNCIL PRIORITY:	n/a

AMOUNT OF EXPENDITURE	\$ 1,707,990
AMOUNT BUDGETED	\$ 1,612,257
APPROPRIATION REQUIRED	\$ 95,733

EXECUTIVE SUMMARY

The purpose of this agenda bill is to award a public works construction contract for the repaving of aging arterial and residential streets.

- This project combines asphalt overlays on 0.6 mile of arterial and 1.0 mile of residential streets with arterial preservation work to create one large asphalt paving contract.
- Three bids were received, and the low construction bid is \$1,449,990.80.
- This work is included in the 2021-2022 Capital Budget and is funded from the Street Fund.
- Estimated project expenditures are higher than the \$1,612,257 available budget, so an appropriation of \$93,733 is requested from the Street Fund balance.
- Construction will occur in summer of 2022.

BACKGROUND

The 2022 Arterial and Residential Street Overlays is the combination of three separate Transportation Improvement Program (TIP) projects together into one large asphalt-related public works contract for construction in summer of 2022. The separate projects are Arterial Overlay of SE 68th Street and SE 70th Place (SP0103), Residential Street Resurfacing (SP0100), and Arterial Street Preservation (SP0101).

The Arterial Street Preservation Program extends the life of arterial streets proactively, by repairing isolated pavement failure areas through crack sealing, square cut patching, and grinding and repaving of full-lane width segments. Work also includes replacing failing patches around utility castings within the roadway. Roadways are selected for resurfacing based primarily upon pavement condition. The City collects pavement condition data every three years, which is used to create a Pavement Condition Index (PCI) score for each of the over 700 segments of pavement within the City's 83.5-mile public road network. This rating process results in a numerical score between 100 and 0, and these scores are bracketed into six condition ranges: Good (PCI 100-86), Satisfactory (85-71), Fair (70-56), Poor (55-41), Very Poor (40-26), and Failed (25-0). The City plans arterial street resurfacing on a 25-to-30-year cycle, and residential streets on a 35-to 40-year cycle.

Design on this project began in January of 2022. Final plans, specifications, and cost estimates were completed in late March and the project was then advertised for bids. Three contractor bids were received, and the construction contract is ready to award.

ISSUE/DISCUSSION

PROJECT DESCRIPTION

This project has been divided in to four schedules of work, as described below. Refer to Exhibit 1 for locations.

Schedule A repairs and resurfaces of SE 68th Street and SE 70th Place from Island Crest Way to East Mercer Way. This stretch of arterial was last repaved with a Hot Mix Asphalt (HMA) overlay in 2001. It was crack sealed in 2016. The 2019 PCI ratings for these streets ranged from "Satisfactory" to "Fair". The pavement exhibits significant areas of raveling (loss of aggregate), fatigue cracking, and age cracking. The scope of work for this area includes planing of the existing pavement, pavement repairs, preleveling of selected sections of lanes, and overlaying with 2" of HMA. An existing median curb island where SE 68th turns into SE 70th will be removed. After repaving, new pavement markings will be applied, crushed rock placed along the shoulders, and utility castings adjusted to the grade of the new pavement. The engineer's estimated construction cost for Schedule A was \$422,515. This project was originally planned for construction in 2020, but it was postponed in April 2020, due to the work slowdowns brought on by the COVID-19 Pandemic at that time.

Schedule B resurfaces residential streets in the immediate vicinity of Schedule A, namely SE 68th Street and 93rd Avenue SE. These roadways date to the 1960's, and they both received chip seals in the late 1980's. Patching has been performed on 93rd Avenue several times over the last 10 years. The 2019 PCI ratings for these streets range from "Fair" to "Very Poor". The scope of work for 93rd Avenue includes removing large amounts of the existing pavement, minor roadway widening, regrading the gravel base, repaving with HMA, and installing crushed rock along the shoulders. For SE 68th Street, the work includes pavement repairs followed by an HMA overlay. After repaving, new pavement markings will be applied and utility castings adjusted to the grade of the new pavement. The engineer's estimated construction cost for Schedule B was \$275,290.

Schedule C reconstructs the residential streets within the plat of Parkwest, which includes portions of 82nd Avenue, 83rd Place, SE 65th Street, SE 66th Street and SE 67th Street. This neighborhood was built in the 1960's, and the only major road work these streets have seen since then is a chip seal in the 1980's. The PCI ratings for the streets in this plat range from "Fair" to "Very Poor". The existing pavements are thin, have extensive alligator cracking, areas of settlement, and areas of poor drainage. The scope of work for Parkwest includes removal of most of the existing asphalt to full width and depth, regrading of the existing gravel base with

additional crushed rock and repaving the streets with 4” of HMA. After paving, utility castings will be adjusted to the grade of the new pavement. The engineer’s estimated construction cost for Schedule C was \$743,891.

Schedule D involves arterial preservation work, primarily along West Mercer Way, but also includes repairs at Merrimount Drive, East Mercer Way, and SE 72nd Street. Construction work involves several full-lane width “mill-and-fill” patches, along with replacing manhole utility castings, and adjusting other existing manholes and water valve boxes. The engineer’s estimated construction cost for this work was \$91,730.

At the completion of design, the total construction cost for all four schedules of work was estimated to be \$1,533,426.

BID RESULTS

Three construction bids were received on April 18, 2022. The lowest bid was from Watson Asphalt Paving Co., Inc. for \$1,449,990.80, which is approximately 5% below the engineer’s construction cost estimate. The following table shows the bid results.

2022 ARTERIAL AND RESIDENTIAL STREET OVERLAYS CONSTRUCTION BID RESULTS				
	Engineer's Estimate	Watson Asphalt Paving Co.	Lakeside Industries	Lakeridge Paving Co.
Schedule A - SE 68 / SE 70 Arterial Overlay	\$422,515.00	\$387,170.00	\$468,435.00	\$453,005.50
Schedule B - South Island Residential Overlays	\$275,290.00	\$266,059.00	\$294,996.00	\$309,463.00
Schedule C - Parkwest Residential Overlays	\$743,891.00	\$669,655.80	\$697,979.50	\$735,920.20
Schedule D - Pavement Repairs	\$91,730.00	\$127,106.00	\$87,253.00	\$148,641.00
Total Bid Amount	\$1,533,426.00	\$1,449,990.80	\$1,548,663.50	\$1,647,029.70

The apparent low bidder, Watson Asphalt Paving Co, Inc from Redmond, has successfully completed numerous paving projects for the nearby cities of Bellevue, Clyde Hill, Kirkland, Redmond, and Sammamish in recent years. Watson Asphalt also successfully completed the 2018 and 2021 Arterial and Residential Street Overlay projects for the City of Mercer Island.

A review of the Labor and Industries (L&I) website confirms Watson Asphalt is a contractor in good standing with no license violations, outstanding lawsuits, or L&I tax debt. Based on review of Watson Asphalt’s bid submittal and reference checks, staff has determined that Watson Asphalt is the lowest responsive bidder for this project and staff recommends awarding the 2022 Arterial and Residential Street Overlays project to Watson Asphalt Paving Co, Inc.

PROJECT BUDGET

Adding amounts for construction contingency, design, construction inspection, and project management brings the total estimated project cost to \$1,707,990. Historically, staff has applied a 10% contingency to City road construction projects; but staff has also seen that paving projects typically do not use the 10% amount, so in recent years the contingency has been reduced to 7%. Project costs are summarized in the following table.

The available budget for this project totals \$1,612,257, and it is the combination of the SE 68th/SE 70th Place Arterial Overlay, Residential Street Resurfacing, and Arterial Preservation Program budgets. To construct this

project as currently designed and bid, an additional \$95,733 in funding is needed. Staff recommends that this additional cost be covered by an appropriation from within the Street Fund balance. As of December 2021, the Street Fund capital balance was \$6.2 M.

2022 ARTERIAL AND RESIDENTIAL STREET OVERLAYS PROJECT BUDGET			
Description	Arterial Overlay	Residential Overlays	TOTAL
Construction Contract			Award to Watson Asphalt
Schedule A - SE 68 / SE 70 Arterial Overlay	\$387,170		\$387,170
Schedule B - South Island Residential Overlays		\$266,059	\$266,059
Schedule C - Parkwest Residential Overlays		\$669,656	\$669,656
Schedule D - Pavement Repairs	\$127,106		\$127,106
Total Construction Contract	\$514,276	\$935,715	\$1,449,991
Construction Contingency @ 7%	\$35,999	\$65,500	\$101,499
Project Design - Consultant	\$30,000	\$20,000	\$50,000
Inspection Services - In-House	\$24,000	\$20,000	\$44,000
Contract Administration / Project Management	\$26,000	\$22,000	\$48,000
1% for the Arts	\$5,143	\$9,357	\$14,500
Total Project Cost	\$635,418	\$1,072,572	\$1,707,990
2021-2022 Budget - SE 68 / SE 70 Overlay	\$525,000		\$525,000
2021-2022 Budget - Residential Street Resurfacing		\$1,340,000	\$1,340,000
2021-2022 Budget - Spent on 2021 Residential Streets		-\$382,743	-\$382,743
2021-2022 Budget - Arterial Preservation	\$130,000		\$130,000
Total Budget Available for Project	\$655,000	\$957,257	\$1,612,257
Budget Remaining	\$19,582	-\$115,315	-\$95,733
Budget Appropriation Needed - Streets			\$95,733

NEXT STEPS

Staff recommends authorizing the City Manager to execute a contract with Watson Asphalt Paving Co., Inc. for the construction of the 2022 Arterial and Residential Street Overlays project, appropriating \$95,733 from the Street fund balance, and setting the total project budget at \$1,707,990.

Minor water system improvements and storm drainage repairs on Schedules A, B, and C are being completed under a separate public works contract, awarded by Council in March ([AB 6025](#)). That work is scheduled to be completed prior to the paving work.

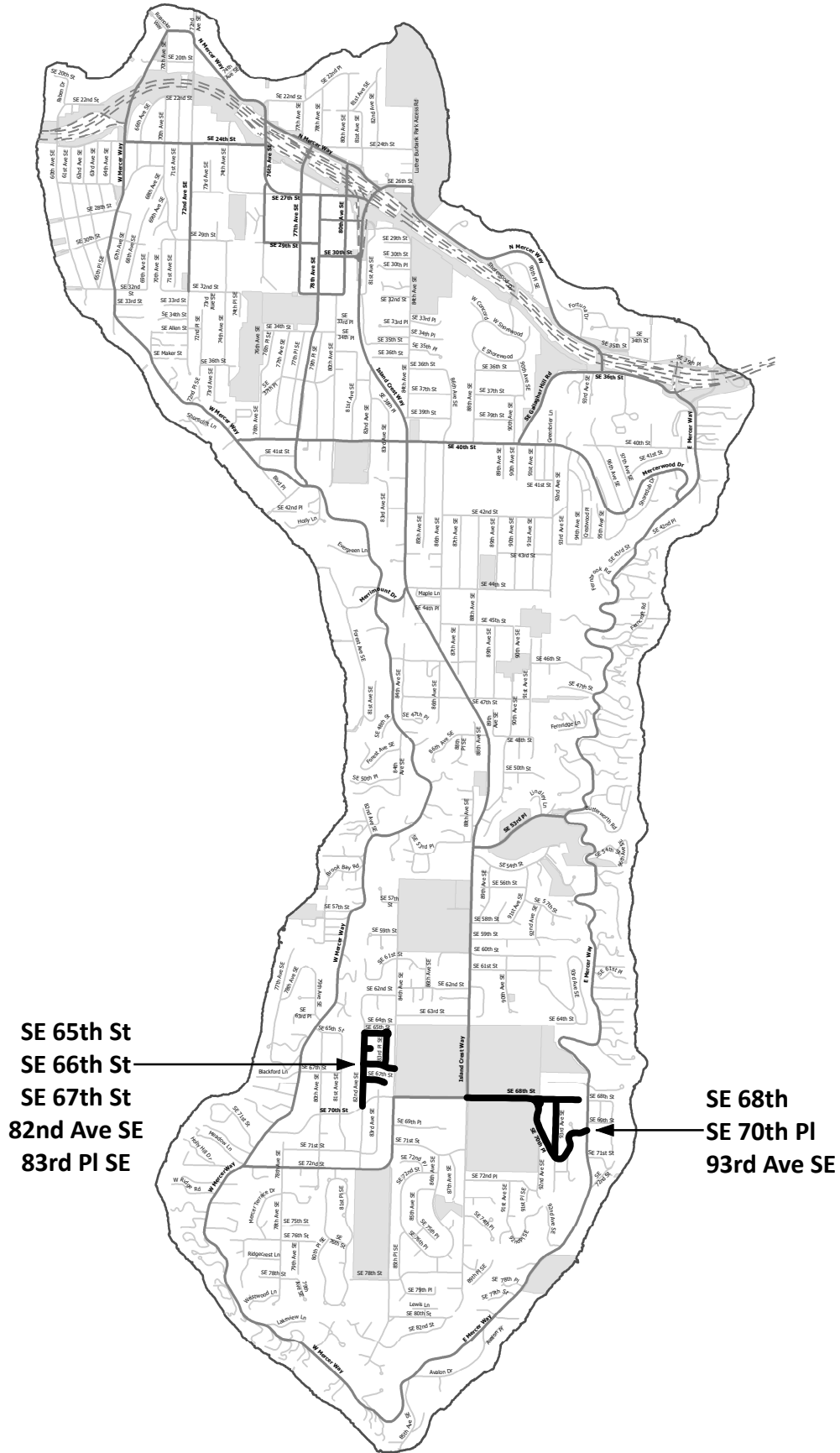
Construction activities on the 2022 Arterial and Residential Street Overlays contract are tentatively scheduled to begin in early June. Road work on SE 68th Street and SE 70th Place will occur primarily during July and August. The entire construction contract is required to be completed by the beginning of October.

RECOMMENDED ACTION

Award all four schedules of the 2022 Arterial and Residential Street Overlays project to Watson Asphalt Paving Co., Inc., authorize the City Manager to execute a contract with Watson Asphalt Paving Co, Inc in an amount not to exceed \$1,449,990.80, and appropriate \$95,733 from the Street Fund balance to fully fund the 2022 Arterial and Residential Street Overlays project.

City of Mercer Island 2022 Arterial and Residential Street Improvements

Item 6.



SE 65th St
SE 66th St
SE 67th St
82nd Ave SE
83rd PI SE

SE 68th
SE 70th PI
93rd Ave SE



BUSINESS OF THE CITY COUNCIL CITY OF MERCER ISLAND

AB 6060
May 3, 2022
Consent Agenda

AGENDA BILL INFORMATION

TITLE:	AB 6060: Heat Pump Installation Campaign Proposal	<input type="checkbox"/> Discussion Only <input checked="" type="checkbox"/> Action Needed: <input checked="" type="checkbox"/> Motion <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution
RECOMMENDED ACTION:	Authorize use of ARPA Funds (\$25,000) to support access to heat pump installation program for low-income residents.	

DEPARTMENT:	Public Works
STAFF:	Jason Kintner, Chief of Operations Ross Freeman, Sustainability Analyst
COUNCIL LIAISON:	Craig Reynolds Jake Jacobson Ted Weinberg
EXHIBITS:	n/a
CITY COUNCIL PRIORITY:	1. Prepare for the impacts of growth and change with a continued consideration on environmental sustainability.

AMOUNT OF EXPENDITURE	\$ 25,000
AMOUNT BUDGETED	\$ 0
APPROPRIATION REQUIRED	\$ 25,000

EXECUTIVE SUMMARY

This agenda bill concerns a new regional heat pump installation campaign proposed for the summer of 2022.

- This pilot program will help Mercer Island residents replace their old, or inefficient, heating/cooling systems with new highly efficient electric heat pump technology.
- Energy consumption used to heat and cool buildings is responsible for over 50% of the community’s greenhouse gas emissions; therefore, efficiency gains in this arena are of great interest.
- Program administration, and outreach and logistical support, will be provided by a local non-profit contractor highly experienced in energy-efficiency campaigns.
- In order to provide access to the program for low-income residents, and people facing the greatest financial burden from their energy bills, staff is requesting City Council appropriate \$25,000 in ARPA funds to provide installation subsidies covering up to 95% of cost to a small number of income-qualified Mercer Island residents.
- The City Council Sustainability Committee has discussed this program and the proposed subsidy over several meetings and has expressed support for this request.

BACKGROUND

In 2006, the City Council committed to a greenhouse gas (GHG) reduction goal of **80% from 2007 levels by 2050**, consistent with the goals stated by King County’s Comprehensive Plan, and other regional cities (See [Resolution No. 1389](#)). In 2011, the City joined King County and other local cities as a founding member a new, nationally-recognized, closely coordinated effort to jointly tackle climate issues and enhance the reach of each City’s sustainability initiatives, known as the [King County-Cities Climate Collaboration \(K4C\)](#).

Over the past decade, Mercer Island has undertaken a wide range of energy efficiency, and other climate-related initiatives, to make progress towards its GHG goals. For example, in 2014 and 2018, the City ran two popular rooftop solar installation campaigns, known as “Solarize Mercer Island,” which invited participants to educational workshops, offered free customized cost estimates, and then introduced interested homeowners to a pre-selected, certified installer to complete the process. By providing this level of technical support, access to rebates and incentives, and a small group discount, the City was able to add 150 residential and commercial installations in just four years.

Building on this prior work, the City began exploring the feasibility of running a heat pump installation campaign in late 2021, with the intent of helping residents achieve greater energy efficiency which leads to reduced community GHG emissions. Energy consumption used to heat and cool buildings is responsible for over 50% of the community’s greenhouse gas emissions; therefore, efficiency gains in this arena are of great interest. The pilot campaign will be implemented in close partnership with four other K4C cities, all PSE customers on the Eastside: Bellevue, Issaquah, Kirkland, Redmond.

Earlier this year, Mercer Island began work on its first ever Climate Action Plan (CAP). Piloting the heat pump campaign now, in 2022, will provide valuable lessons learned that will inform future consideration of larger implementations as part of the CAP. In late April, the State Building Code Council announced that all new commercial buildings (including multi-family structures four stories and taller) must use heat pumps for water and space heating starting in July 2023. This pilot campaign will help the City prepare for this code change.

ISSUE/DISCUSSION

The proposed installation campaign will run in a manner similar to the City’s earlier “[Solarize](#)” photovoltaic campaigns, where educational workshops, pre-selected installers, and access to modest group discounts or rebates are part of the offering.

As currently conceived, the Heat Pump Program will run on two parallel tracks: one at market-rate, while the other track will provide an energy-efficiency grant to allow participation in the program by residents living at approximately 50-80% of the area median income (AMI) who tend to feel the impacts of utility bills more acutely. These could be residents living in subsidized housing, or aging-in-place seniors who subsist on very tight fixed incomes. Both tracks would also seek to help participants take advantage of other lesser-known funds, such as PSE rebates, King County zero-interest loans, State of Washington energy grants, manufacturer rebates, etc.

The five partner cities have been scoping the feasibility and logistics of a joint campaign for over six months and are closely collaborating to maximize efficiency; the group will also contract with other local experts to run certain campaign elements.

- Local non-profit [Spark Northwest](#) will run the project administration and educational components of the campaign and oversee the RFP process to locate and select qualified installers. Spark Northwest

has broad experience doing this work elsewhere in Washington and Oregon and is also the group that has led dozens of Solarize campaigns across the PNW, including helping run the two Mercer Island campaigns.

- Regional non-profit [Hopelink](#) will oversee the grant process for income-qualified applicants and has extensive experience serving low-income families across the region. Hopelink also already administers grants for energy bill assistance and several Mercer Island residents use its services each year. Via Hopelink, the City will award up to \$25,000 for redistribution to qualified households on a case-by-case basis – typically the funds are paid directly to the heat pump installer if and when interested and qualifying individuals are identified and approved.
- In order to locate a sufficient pool of low-income residents, the partner cities also intend to work with Imagine Housing which operates at least one subsidized living facility in each jurisdiction. For example, all of the residents at Grace Place in Mercer Island’s Town Center are Seniors (age 62+) who earn less than 50% of the area median income (AMI). Each of these individuals must pay their own Utility bills, and all of their living units have relatively inefficient heating systems with no cooling provided. The City has an existing relationship with Grace Place through staff community service events, emergency preparedness programs, and other activities.

The benefits of participating in the regional Heat Pump Installation pilot include making progress towards GHG targets, assisting energy-burdened low-income residents, and providing home cooling to seniors who will suffer the most from hotter summers triggered by climate change. Since Utilities in Washington are not required to offer any financial assistance for low-income gas customers, it may be especially compelling for that customer group to participate, especially if they also seek (but don’t have) home cooling.

In the pilot year of the heat pump campaign, the targets for Mercer Island are 20 homes installed (or contracted) in the market-rate program, and up to 5 installations through the subsidized program.

NEXT STEPS

Upon approval by the City Council, staff will develop a plan to reach eligible individuals and invite them to learn more about the heat pump subsidy opportunity. Staff will report back to the Sustainability Committee and the City Council regarding the outcome of this pilot program. Outcomes from this campaign will be used to inform future programs.

RECOMMENDED ACTION

Appropriate \$25,000 of ARPA funds to subsidize qualified low-income households participating in the Heat Pump Installation pilot campaign.



**BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND**

**AB 6048
May 3, 2022
Consent Agenda**

AGENDA BILL INFORMATION

TITLE:	AB 6048: Resolution to Apply for RCO ALEA, WWRP and LWCF grant funding programs for Luther Burbank Park Waterfront Renovation and Upgrades	<input type="checkbox"/> Discussion Only <input checked="" type="checkbox"/> Action Needed: <input checked="" type="checkbox"/> Motion <input type="checkbox"/> Ordinance <input checked="" type="checkbox"/> Resolution
RECOMMENDED ACTION:	Adopt Resolution No. 1623.	

DEPARTMENT:	Public Works		
STAFF:	Jason Kintner, Chief of Operations Patrick Yamashita, Deputy Public Works Director Paul West, CIP Project Manager		
COUNCIL LIAISON:	n/a		
EXHIBITS:	1. Resolution No. 1623 2. Luther Burbank Park Land Ownership Map		
CITY COUNCIL PRIORITY:	1. Prepare for the impacts of growth and change with a continued consideration on environmental sustainability.		

AMOUNT OF EXPENDITURE	\$ n/a
AMOUNT BUDGETED	\$ n/a
APPROPRIATION REQUIRED	\$ n/a

EXECUTIVE SUMMARY

This agenda bill seeks City Council approval to apply for grant funding for the Luther Burbank Waterfront Renovation and Upgrade project from the Washington State Recreation and Conservation Office’s (RCO) Aquatic Lands Enhancement Account (ALEA), Washington Recreation and Wildlife Program (WWRP), and the Land and Water Conservation Fund (LWCF). The agenda bill includes:

- An overview of the three grant programs and potential funding opportunities.
- The property control requirements specific to each of the grant programs.
- A budget summary and commitments if the grant applications are successful.

PRIOR CITY COUNCIL CONSIDERATION:

- [AB 5486](#) Resolution to Support a RCO Grant Application for Planning and Design of the Future Configuration of the Docks at Luther Burbank Park on 10/16/2018
- [AB 5692](#) Resolution Authorizing a RCO Grant Application for Pier Renovation at Luther Burbank Park on 6/16/2020
- [AB 5868](#) Luther Burbank Park Docks and Adjacent Waterfront Concept Design Recommendation on 5/18/2021
- [AB 6021](#) Luther Burbank Docks and Waterfront Project 30% Design Recommendation on 3/1/2022

[AB 6049](#) Resolution to Apply for Washington State Historical Society Heritage Capital Funding for Luther Burbank Boiler Building Phase 1 Project on 4/5/2022

BACKGROUND

On March 1, 2022, the City Council directed staff to move forward with a comprehensive renovation of the Luther Burbank Park waterfront in two phases ([AB 6021](#)). Phase 1 is the building improvements, including stabilization of the 1928 Boiler Building, renovation of the 1974 Annex, and the addition of a rooftop viewing deck/outdoor classroom on top of the Annex. Phase 2 is the reconfiguration of the docks and renovation of the adjacent waterfront.

Staff is now requesting City Council approval of a resolution to apply for grants for the Phase 1 renovation of the Annex, Phase 1 viewing deck/outdoor classroom, and Phase 2 elements listed below. Grant funding for the Boiler Building stabilization is being sought currently as authorized by City Council action on April 5, 2021 ([AB 6049](#)).

PROPOSED PROJECT SCOPE

Work covered in these grants includes the following elements of the larger project:

- New ADA accessible routes to project elements
- New Floating dock for non-motorized watercraft
- New Overwater stairs for seating along the bulkhead next to Handsome Bollards art
- New Viewing deck/outdoor classroom
- New seating and landscaping
- New signs and furnishings
- Expansion of the Cobble beach north of the plaza
- Repaving of the plaza
- Low impact development (LID) features to address stormwater
- Renovation of the restroom facilities

Two elements that are not grant-eligible are the concession stand renovation and lake water irrigation equipment. These two elements represent less than 5% of the total project budget and will be funded through the capital budget.

Staff has completed the grant applications and once the resolution is approved, will submit the entire application packet to meet the May 3, 2022 deadline. The deadline is midnight on May 3 (same day as the City Council meeting), so the materials will be submitted immediately upon receiving City Council approval.

ISSUE/DISCUSSION

OVERVIEW OF GRANTS

The following table summarizes key information related to the three grants.

	Source of Funds	Grant Limit	Expected Request
Aquatic Lands Enhancement Account (ALEA)	State	\$500,000	\$500,000
Wildlife and Recreation Program (WWRP)	State	none	\$500,000
Land and Water Conservation Fund (LWCF)	Federal	\$2,000,000	\$1,200,000

All three programs have a 50% match requirement. The attached Resolution is a necessary component to satisfy the grant requirements.

The ALEA and LWCF grant programs closely align with the needs of the project and it is anticipated that the grant applications will be competitive.

The Washington Wildlife and Recreation Program (WWRP) for Water Access prioritizes funding for acquisition projects. Although the City's grant application will be less competitive in this category, the staff recommends applying.

GRANT PROGRAM PROPERTY CONTROL AND TENURE REQUIREMENTS

Most of the Luther Burbank project is located on Washington State Department of Natural Resources (DNR) shorelands. A small portion along the western edge is located on the City-owned portion of the park. See Exhibit 2 for a diagram of property ownership.

The City leases the DNR shorelands for public access. The ALEA and WWRP grant programs require 25-year ownership commitments from the completion of the project. The City's current aquatic lands lease expires in 24 years in 2046, which does not meet the "control and tenure" requirements of these grant programs. DNR has expressed support for these projects and indicated they will work with the City to issue a new lease to meet the grant requirements.

LWCF requires perpetual tenure on the subject property, which is a much higher bar. The City has approached DNR about an agreement in perpetuity, which would most likely take the form of an easement. DNR is evaluating the City's request and is familiar with the terms of this grant. The staff recommendation is to pursue this grant application while property discussions continue.

Staff recommends that the City Council approve the resolution authorizing the staff to submit the grant applications, and if funded, staff will return to the City Council for authorization to enter into the property agreements with DNR.

BUDGET

The total cost for the scope of work described above is \$2.4M. If the City is awarded all three grants, the maximum funding potential is \$2.2M, although the actual award could be less than that. The grants will match each other, so they can be used to reimburse project costs, including qualifying pre-agreement costs before expending the City funds.

RESOLUTION

RCO requires City Council authorization by resolution (see Exhibit 1) to accompany each grant application. The language in the body of the resolution is verbatim as requested by RCO and includes the following provisions:

- Authorize various positions in City staff to serve in specific roles on behalf of the City for this grant application.
- Acknowledge the conditions included in a future grant agreement between the City of Mercer Island and RCO.
- Acknowledge the timing for certifying the availability of matching funds.

- Acknowledge that part of the property not owned by the City, but developed as part of the grant award must be dedicated for the purposes of the grant.

NEXT STEPS

As noted previously, the grant application deadline is midnight on May 3 (same day as the City Council meeting), so the application materials will be submitted immediately upon receiving City Council approval.

Project rankings for the grant program will be made public in September 2022. The City will have to certify the availability of matching funds by September 25, 2022 to be recommended for funding by the Recreation and Conservation Funding Board on October 25, 2022.

If awarded, funding will become available in July 2023 in the new State fiscal year.

If the grant is not awarded, staff will continue to pursue other funding options, including reapplying to these grant programs in 2024.

RECOMMENDED ACTION

Adopt Resolution No. 1623 authorizing staff to submit grant applications for the Luther Burbank Waterfront Renovation and Upgrade project.

**CITY OF MERCER ISLAND
RESOLUTION NO. 1623**

**A RESOLUTION AUTHORIZING APPLICATION TO THE WASHINGTON STATE
RECREATION AND CONSERVATION OFFICE FOR LUTHER BURBANK PARK
WATERFRONT RENOVATION AND UPGRADE
GRANT PROJECTS 22-1351D, 22-1352D AND 22-1611D**

WHEREAS, the City of Mercer Island owns and operates the docks, restrooms, and other amenities at the central waterfront in Luther Burbank Park to provide the public with shoreline access and lake-based recreation; and

WHEREAS, these amenities were constructed in 1974 with a Washington State grant through the Interagency Committee on Outdoor Recreation, predecessor to the Recreation and Conservation Office (Office); and

WHEREAS, the public has enjoyed this destination for almost fifty years; and

WHEREAS, the 2006 Luther Burbank Park Master Plan envisions the waterfront being renovated for current uses with additional improvements for a wide variety of lakefront recreational opportunities including non-motorized boating; and

WHEREAS, the City has completed a two-year planning effort with extensive public involvement that will comprehensively renovate the fifty-year-old waterfront complex, including dock upgrades, expanded shoreline access, accessibility improvements, low-impact development features and landscape renovations; and

WHEREAS, Luther Burbank Park's size, location and unique natural setting attract users from across the region that includes Seattle, Bellevue, and the eastside of Lake Washington; and

WHEREAS, the total cost for the construction of the project is estimated at 6.8 million dollars; and

WHEREAS, the Recreation and Conservation Office administers Washington State funding through multiple grant programs that are intended to fund shoreline access and recreational improvements; and

WHEREAS, each of these grant programs can reimburse 50 percent of the project's qualifying costs, up to the grant programs' limit amounts; and

WHEREAS, the portion of the project that consists of the new non-motorized dock, expanded cobble beach, new overwater stairs, new viewing deck and outdoor classroom, new ADA accessible routes, new signs, and furnishings as well as renovations to the plaza and restrooms form a package that is estimated to cost 2.4 million dollars and could compete for these grant programs; and

WHEREAS, the completed project would meet the identified needs of the Mercer Island community and the region for a wide range of high-quality lakefront recreational experiences; and

WHEREAS, grant assistance is requested by the City of Mercer Island to aid in financing the cost of the projects referenced above.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MERCER ISLAND, WASHINGTON, AS FOLLOWS:

Authorization to Apply for Aquatic Lands Enhancement Account and Land and Water Conservation Fund grants.

1. Our organization has applied for or intends to apply for funding assistance managed by the Office for the above “Projects.”
2. Our organization authorizes the following persons or persons holding specified titles/positions (and subsequent holders of those titles/positions) to execute the following documents binding our organization on the above projects:

Grant Document	Name of Signatory or Title of Person Authorized to Sign
Grant application (submission thereof)	Chief of Operations
Project contact (day-to-day administering of the grant and communicating with the RCO)	CIP Project Manager
RCO Grant Agreement (Agreement)	City Manager
Agreement amendments	Chief of Operations
Authorizing property and real estate documents (Notice of Grant, Deed of Right or Assignment of Rights if applicable). These are items that are typical recorded on the property with the county.	City Manager

3. Our organization has reviewed the sample RCO Grant Agreement on the Recreation and Conservation Office’s WEB SITE at: <https://rco.wa.gov/wp-content/uploads/2019/06/SampleProjAgreement.pdf>. We understand and acknowledge that if offered an agreement to sign in the future, it will contain an indemnification and legal venue stipulation and other terms and conditions substantially in the form contained in the sample Agreement and that such terms and conditions of any signed Agreement shall be legally binding on the sponsor if our representative/agent enters into an Agreement on our behalf. The Office reserves the right to revise the Agreement prior to execution.
4. Our organization acknowledges and warrants, after conferring with its legal counsel, that its authorized representative(s)/agent(s) have full legal authority to act and sign on behalf of the organization for their assigned role/document.
5. Grant assistance is contingent on a signed Agreement. Entering into any Agreement with the Office is purely voluntary on our part.
6. Our organization understands that grant policies and requirements vary depending on the grant program applied to, the grant program and source of funding in the Agreement, the characteristics of the project, and the characteristics of our organization.
7. Our organization further understands that prior to our authorized representative(s)/agent(s) executing any of the documents listed above, the RCO may make revisions to its sample Agreement and that such revisions could include the indemnification and the legal venue stipulation. Our organization accepts the legal obligation that we shall, prior to execution of the Agreement(s), confer with our authorized representative(s)/agent(s) as to any revisions to the project Agreement from that of the sample Agreement. We also acknowledge and accept that if our authorized representative(s)/agent(s) executes the Agreement(s) with any such revisions, all terms and conditions of the executed Agreement shall be conclusively deemed to be executed with our authorization.

8. Any grant assistance received will be used for only direct eligible and allowable costs that are reasonable and necessary to implement the project(s) referenced above.
9. If match is required for the grant, we understand our organization must certify the availability of match at least one month before funding approval. In addition, our organization understands it is responsible for supporting all non-cash matching share commitments to this project should they not materialize.
10. Our organization acknowledges that if it receives grant funds managed by the Office, the Office will pay us on only a reimbursement basis. We understand reimbursement basis means that we will only request payment from the Office after we incur grant eligible and allowable costs and pay them. The Office may also determine an amount of retainage and hold that amount until all project deliverables, grant reports, or other responsibilities are complete.
11. Our organization acknowledges that any property owned by our organization that is developed, renovated, enhanced, or restored with grant assistance must be dedicated for the purpose of the grant in perpetuity unless otherwise allowed by grant program policy, or Office in writing and per the Agreement or an amendment thereto.
12. Our organization acknowledges that any property not owned by our organization that is developed, renovated, enhanced, or restored with grant assistance must be dedicated for the purpose of the grant as required by grant program policies unless otherwise provided for per the Agreement or an amendment thereto.
13. Our organization certifies the following: the Project does not conflict with the Puget Sound Action Agenda developed by the Puget Sound Partnership under RCW 90.71.310.
14. This resolution/authorization is deemed to be part of the formal grant application to the Office.
15. Our organization warrants and certifies that this resolution/authorization was properly and lawfully adopted following the requirements of our organization and applicable laws and policies and that our organization has full legal authority to commit our organization to the warranties, certifications, promises, and obligations set forth herein.

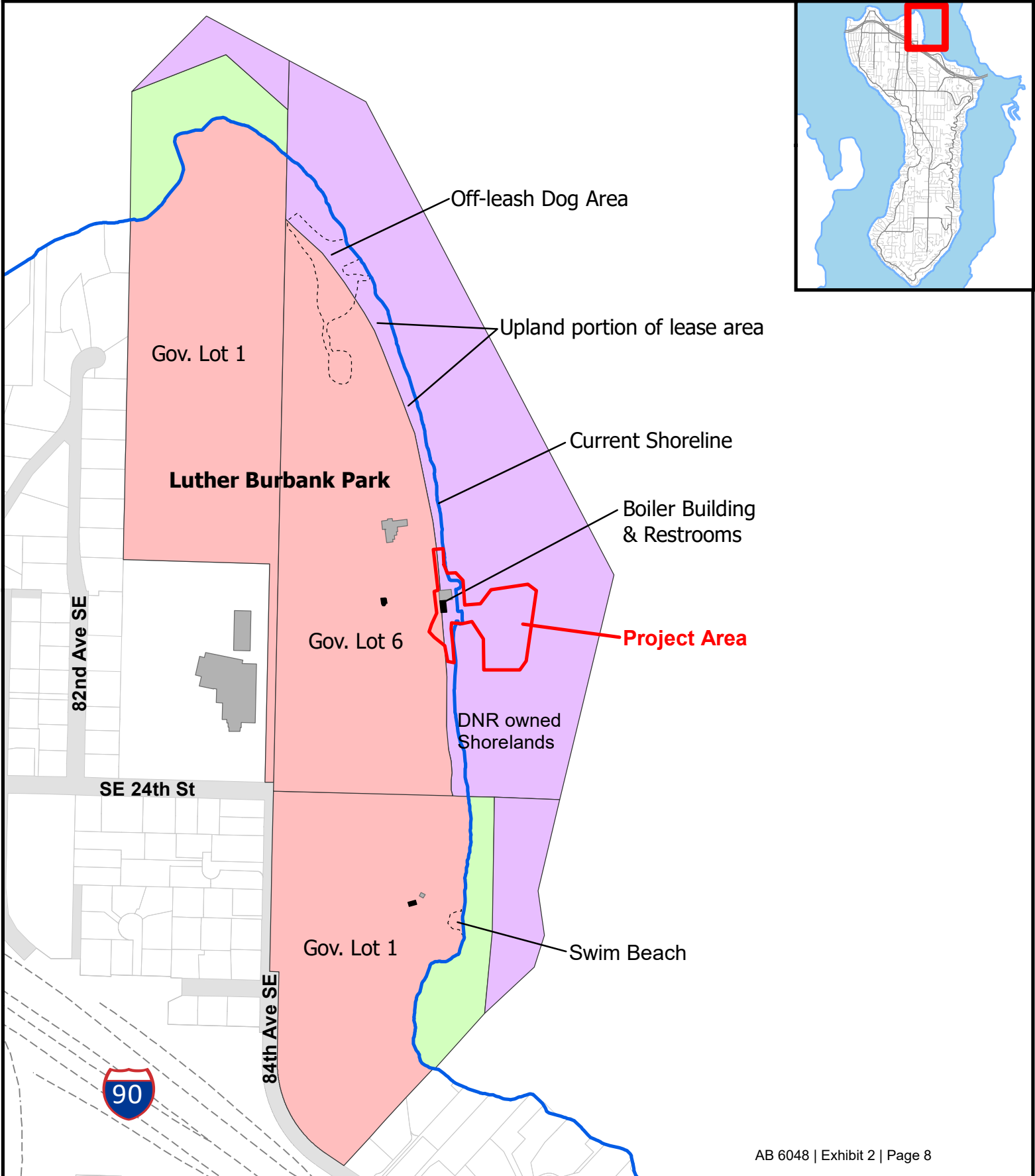
PASSED BY THE CITY COUNCIL OF THE CITY OF MERCER ISLAND, WASHINGTON, AT ITS MEETING ON THE 3RD DAY OF MAY, 2022.

CITY OF MERCER ISLAND

Salim Nice, Mayor

ATTEST:

Andrea Larson, City Clerk



OWNERSHIP:

- City
- City Shorelands
- Building
- Restroom
- Shoreline
- I-90
- DNR





**BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND**

**AB 6077
May 3, 2022
Consent Agenda**

AGENDA BILL INFORMATION

TITLE:	AB 6077: 2022-2023 Port of Seattle Economic Development Partnership Grant Award	<input type="checkbox"/> Discussion Only <input checked="" type="checkbox"/> Action Needed: <input checked="" type="checkbox"/> Motion <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution
RECOMMENDED ACTION:	Authorize the City Manager to execute Port of Seattle Economic Development Partnership agreement.	

DEPARTMENT:	Community Planning and Development
STAFF:	Jeff Thomas, Interim Director Sarah Bluvas, Economic Development Coordinator Adam Zack, Senior Planner
COUNCIL LIAISON:	n/a
EXHIBITS:	1. 2022-2023 Port of Seattle Economic Development Partnership Grant Program Guidelines 2. 2022-2023 Partnership Agreement
CITY COUNCIL PRIORITY:	3. Implement an economic development program.

AMOUNT OF EXPENDITURE	\$ 77,370
AMOUNT BUDGETED	\$ 25,790
APPROPRIATION REQUIRED	\$ 51,580

EXECUTIVE SUMMARY

City staff are seeking authorization to accept a 2022-2023 grant award from the Port of Seattle Economic Development Partnership program.

- The Port of Seattle Economic Development Partnership program provides grant funding to King County cities to implement local economic development initiatives.
- Grants are awarded on a per-capita calculation, and the City will be reimbursed for eligible project funds upon invoicing the Port of Seattle.
- For the 2022-2023 grant cycle, the City has been awarded \$51,580 to support economic development and recovery projects through December 31, 2023.
- In accepting this award, the City is required to provide at least a 50 percent match of cash and in-kind support. This 2022-2023 award requires a cash match of at least \$12,895, and up to \$12,895 of in-kind support to satisfy the match requirement.
- Staff seeks authorization to accept the grant award of \$51,580 to support economic development planning and “buy local” business activities.

BACKGROUND

The Port of Seattle Economic Development Partnership Program is a cooperative program designed to help fund local economic development initiatives across King County (except Seattle). Since the program's inception in 2016, the Port has awarded \$4 million to King County cities, including more than \$95,000 to Mercer Island from 2017 to 2021. Funding is awarded on a per-capita calculation (between \$5,000 and \$60,000 based on the city's population) and requires a 50 percent match of dollars and in-kind support.

In 2022, the program (Exhibit 1) shifted to a two-year grant cycle to allow cities more time to complete projects. Each city receives two years of grant funding and now has until December 31, 2023, to submit final grant reporting documentation. For the City of Mercer Island, this amounts to a grant award of \$51,580 and a required match of \$25,790, for a total of \$77,370 in expenditures for 2022-2023.

ISSUE/DISCUSSION

On March 15, 2022, the City Council directed City staff to pursue Port of Seattle grant funds to support the following:

- **2022:** Support the economic analysis/technical work needed as part of the process to develop an Economic Development Element for the City's periodic update to the comprehensive plan.
- **2023:** Support the development of an implementation strategy for the Economic Development Element and execute quick action items (where applicable).

The City's awarded project scope (Exhibit 2) includes \$57,370 in grant dollars and required match to fund portions of the work to develop the Economic Development Element (EDE) as part of the City's periodic update to the Comprehensive Plan. Activities include:

- Conducting an Economic Analysis of Mercer Island, which will include profiles of the population and existing economy as well as a summary of strategic economic development themes based on Mercer Island's strengths, regional context, opportunities, and limitations/challenges;
- Partnering with local businesses and other stakeholders to identify near-term opportunities that can be acted on in 2023; and
- Beginning to develop an implementation strategy for mid- and long-term needs based on the results of the EDE community engagement and drafting process.

Additionally, staff was advised that the Port of Seattle prefers that cities continue supporting "buy local" and other recovery-related activities during the 2022-2023 grant cycle. To satisfy this preference, the awarded project scope also includes \$20,000 to partner with local businesses to coordinate "buy local" events and other activities in connection with planned community events such as Summer Celebration! and Illuminate MI as well as to promote business activities, grand openings, and other events via social media and other City marketing channels.

Finally, the Port of Seattle recognizes that cities may need to revisit their project scopes in 2023 and is willing to accommodate Mercer Island's needs if we must adjust projects after the first year of the grant cycle.

See Exhibit 2 for the approved 2022/2023 project scope.

CITY CASH MATCH + IN-KIND SUPPORT

The City is required to provide a 50 percent match of the Port of Seattle grant award, which totals \$25,790. Of this amount, the City is allowed to cover up to 25 percent (\$12,895) of the match in in-kind support such as staff time. At least 25 percent (\$12,895) must be provided as a cash match. The City Council has already appropriated the funds for this effort through the Comprehensive Plan Update budget (DS1100) as well as allocated staff time to complete these projects. No additional budget appropriation is required to satisfy the program's match requirements.

NEXT STEPS

After receiving authorization to move forward, City staff anticipate fully executing the Port of Seattle agreement and beginning projects in June 2022. The City will have approximately 18 months to complete projects, with final reporting documentation due to the Port of Seattle by December 31, 2023. (Note the Port of Seattle added an extra month to the timeline that staff originally presented on March 15.)

Since this grant straddles two City budget cycles (2021-2022 and 2023-2024), staff also anticipate including unused funds in the City's budget carryover request at the end of 2022.

RECOMMENDED ACTION

Authorize the City Manager to sign the Port of Seattle Economic Development Partnership agreement, accepting grant funds in the form substantially as attached in Exhibit A of the agreement.



Port of Seattle Century Agenda

2022 Economic Development Partnership Program Application Information and Instructions

Background

The Port of Seattle Economic Development Partnership Program is a cooperative economic development grant program to help support local and regional economic development initiatives across King County. In 2022, the Port will offer participating cities two-year grant awards to fund projects and initiatives that address COVID-19 economic challenges and impacts.

How much funding is available?

Based on a per-capita calculation, King County cities (except Seattle) may each receive between \$5,000 and \$60,000 per year based on the city's population. See Appendix A for eligible award amounts by city (based on [Washington State Office of Financial Management](#), annual population estimates). The Port uses the most recent population estimates at the start of the grant cycle. Cities with populations numbering less than 5,000 people are eligible to receive grant funds up to \$5,000 and cities with populations numbering more than 60,000 people are eligible to receive grant funding up to \$60,000.

Grant funds require a 50 percent match of dollars or in-kind resources. In-kind resources can only be used for up to 25 percent of the grant award amount. For example, a grant request for \$50,000 in Port funds would require the city to commit \$25,000 in matching dollars and/ or in-kind resources. Of that \$25,000, up to \$12,500 of in-kind resources could be applied toward the match requirement.

2022/2023 Emphasis: COVID-19 Economic Recovery

The Port of Seattle is interested in partnering with cities on programs and partnerships that advance COVID-19 economic recovery and resiliency. Cities should use 2022/2023 Port grant funding to help impacted businesses, promote local tourism, encourage local spending (buy local) and related strategies that address pandemic related economic challenges.

How can Cities use the funds?

Eligible Projects

Port of Seattle funds must be used on projects to benefit small and emerging businesses, create jobs, foster business growth, promote consumer confidence, or support the Port of Seattle business interests. Uses may include:

- Small business relief and assistance (including incubator/accelerator projects, technical assistance, and support for impacted businesses)
- Industry or key sector business retention and expansion assistance
- Projects that boost local tourism and consumer confidence such as buy local campaigns
- Workforce development initiatives that address local unemployment or underemployment issues
- Other projects that can tangibly address pandemic related economic issues

Ineligible Projects

- Business recruitment initiatives designed to attract new companies or investment to a region or city
- Economic development planning
- Direct cash grants or loans made to businesses or organizations
- Capital projects including projects to construct either new facilities or make significant, long-term improvements to existing facilities
- Underwriting general or capital expenses associated with an event or program already in progress
- Any project that would fall outside of the authorized activities that Ports can fund or engage in

The Port of Seattle recommends applicant cities meet with Port of Seattle staff before submitting the Economic Development Partnership Program applications.

Application Workshops

Join us for a virtual application workshop. To attend, please e-mail Annie Tran at tran.a@portseattle.org and use the provided Microsoft Teams Meeting link provided below:

February 17, 2022, from 4:00 PM – 5:00 PM – [Microsoft Teams Meeting Link](#)

February 25, 2022, from 11:00 AM – 12:00 PM – [Microsoft Teams Meeting Link](#)

What are the program's contracting and reporting requirements?

Once a city's specific application is approved, the Port will enter into an agreement with the city that defines the terms of the funds. The project budget and project scope of work from the application are used in an agreement between the Port of Seattle and each participating city.

Please do not incur any project related expenses or begin work on the project until you have a fully executed agreement (signed by the Port of Seattle and the city.) The Port is not able to reimburse project expenses that are incurred by a city prior to the agreement being fully executed.

At the close of the project, applicants are asked to fill out a Project Final Report on the effectiveness of the project and submit invoices for final payment.

To demonstrate that funds have been spent on project-related activities, applicants need to maintain receipts showing project expenses. In-kind matching resources can be documented by showing the value of the resources.

All associated grant material can be emailed to tran.a@portseattle.org The Port recommends submitting materials before the deadline.

The Port of Seattle grant award cannot exceed the predetermined amount, even if the project's actual cost increases above the project budget. If actual project costs in any budget category deviate by more than 25 percent of the Port contribution to the project, please contact the Port of Seattle. The applicant will need to document any budget changes in the Project Final Report.

How do cities outline their projects and related deliverable and metrics?

The Port's application provides tables that cities will use to categorize projects, highlight goals, timelines, actions, metrics, and outcomes. The example below shows how to use this table to define key projects being supported with Port funding.

Project Category: Small Business Relief/Assistance				
Project Goal(s)	Timeline (Start and end dates):	Actions	Project metrics	Project outcomes/deliverables
<i>Business Outreach to identify issues and needs</i>	<ul style="list-style-type: none"> June 2022-May 2023 	<ul style="list-style-type: none"> Contact small business owners and managers 	<ul style="list-style-type: none"> # of businesses contacted 	<ul style="list-style-type: none"> Issues/needs compiled from outreach efforts
<i>Provide technical assistance to small business</i>	<ul style="list-style-type: none"> July 2022 – November 2023 	<ul style="list-style-type: none"> Provide assistance to specific businesses based on outreach efforts Provide business workshops and seminars 	<ul style="list-style-type: none"> # of businesses receiving assistance (referrals, in-depth assistance) 	<ul style="list-style-type: none"> Summary of business assistance efforts including outcomes from technical assistance efforts

Project Category: Buy Local				
Project Goal(s)	Timeline (Start and end dates):	Actions	Project metrics	Project outcomes/deliverables
<i>Support and Grow Farmer's Market</i>	<ul style="list-style-type: none"> June 2022-May 2023 	<ul style="list-style-type: none"> Publicize seasonal market to residents and surrounding communities Work with vendors to promote specific products, etc. Recruit new vendors to the market 	<ul style="list-style-type: none"> # of ads/promotions featuring Farmer's Market # of market vendors participating in promotional efforts, etc. 	<ul style="list-style-type: none"> Metrics from promotional activities (advertising, social media, etc.) # of Vendors Gross sales for market Individual sales growth for vendors
<i>Encourage residents to shop locally</i>	<ul style="list-style-type: none"> June 2022-November 2023 	<ul style="list-style-type: none"> Develop "Buy-Local" campaign in partnership with Chamber Implement promotional campaign 	<ul style="list-style-type: none"> # of ads/promotions featuring buy-local # of participating 	<ul style="list-style-type: none"> Metrics from promotional activities (advertising, social media, etc.) # of participating businesses

			<i>businesses in buy-local campaign</i>	<ul style="list-style-type: none"> • Overall increase in retails revenues/tax collections • Individual business metrics influenced by overall campaign.
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Note: If you have more than two project categories please copy the table above into your application and provide details on other planned initiatives.

City projects need to tie to the Port of Seattle’s business interests (contact Annie at tran.a@portseattle.org if you need help responding to this question.

How to develop project budgets?

The Port’s application provides a table that cities will use to highlight Port funding, City matching funds and City in-kind resources. The example below shows how to use this table to define key projects being supported with Port funding.

Project Category (Please select one of the categories provided)	Project:	Port of Seattle Funds Awarded:	City Monetary Matching Funds:	City In-kind Matching Funds:	Total Funds (Including In-Kind):
Small Business Assistance	Project 1: Business Retention Outreach	\$10,000	\$2,500	\$2,500 in local staff support	\$15,000
Buy Local	Project 2: Buy-Local initiative	\$8,000	\$4000		\$12,000

How and when to submit invoices

Please submit all 2022/2023 invoices using the Port’s Budget and Expenditure Excel report template (see example below).

Please do not incur any project related expenses or begin work on the project until you have a fully executed agreement (signed by the Port of Seattle and the city.) The Port is not able to reimburse project expenses that are incurred by a city prior to the agreement being fully executed.

Invoices and documentation of expenses incurred by a city can be submitted while a project is being completed. Please submit each invoice with the Budget and Expenditure Excel report template (see example below).

In-kind staff time can be documented by showing a person’s name or in-kind service provided, hourly rate or value of service, hours, date, value of in-kind match, and the project the in-kind match is contributed to. The table below shows an example of in-kind match.

EXAMPLE					
Person or in-kind service	Hourly rate or value of service	Hours	Date	Value of In-kind	Project Category
Jane	\$40	40	2-10 to 2-28	\$1,600	Business retention outreach
Event space	\$300	n/a	2-28	\$300	Business retention outreach

Port Budget and Expenditure Report (Example)

Project Budget					
Port of Seattle 2021 Economic Development Partnership Program					
Port of Seattle Contract \$-					
Date Updated:					
Category:	Project Category (Please select one of the categories provided in the dropdown list)	Port of Seattle Funds Awarded:	City Monetary Matching Funds:	City In-kind Matching Funds:	Total Funds (Including In-Kind):
Project 1		\$ -	\$ -	\$ -	\$ -
Project 2		\$ -	\$ -	\$ -	\$ -
Project 3		\$ -	\$ -	\$ -	\$ -
Project 4		\$ -	\$ -	\$ -	\$ -
Project 5		\$ -	\$ -	\$ -	\$ -
Project 6		\$ -	\$ -	\$ -	\$ -
					\$ -
					\$ -
					\$ -
Total Funds:		\$ -	\$ -	\$ -	\$ -
Percentage contribution to Port Funds*:		#DIV/0!	#DIV/0!	#DIV/0!	

Sample Metrics, Success Measures, and Project Data Sources

The following list of sample metrics and measures of success can be used as a guide when considering different types of projects.

Project Type	Sample Metrics
Business creation and entrepreneurship	<ul style="list-style-type: none"> • Number and demographics of individuals trained in entrepreneurial training programs • Number and types of businesses assisted and types of services provided • Number of contacts made to small businesses • Number and types of trainings provided • Number of new business starts/ businesses created
Business retention and expansion	<ul style="list-style-type: none"> • Number and type of businesses contacted, expanded, or retained • Number of businesses assisted (the type of assistance, the value of assistance provided, etc.) • Ratings of the business climate in the community • Activities that are done to support a “Buy Local” campaign and that quantify the campaign engagement
Marketing	<ul style="list-style-type: none"> • Website metrics like impressions, new users, top acquisitions channels, most visited pages, etc. • Email list size/ growth, open rate, and click rates • Number of articles written, social media generated, or reporters or influencers reached from public relations activities • The changes (before and after) of a revised or newly created website that may address user-friendliness and/ or mobile responsiveness • Amount of impressions, reach, or audience demographics of a specific ad in print, radio or online media
Reports, feasibility studies, or market research	<ul style="list-style-type: none"> • Report finding and next steps on the specific results of research conducted
Buy Local	<ul style="list-style-type: none"> • The number of visitors, vendors, exhibits, etc. • # of businesses participating, business sales impacts, etc • Promotional materials and related marketing metrics
Client satisfaction and engagement	<ul style="list-style-type: none"> • Community/client satisfaction rating (via a survey) • Clients follow-up visits and continued engagement • Client retention

“[Making it Count: Metrics for High Performing EDOs](#)” by the International Economic Development Council is a great resource on economic development metrics

ECONOMIC DEVELOPMENT PARTNERSHIP AGREEMENT

BETWEEN

THE PORT OF SEATTLE AND CITY OF MERCER ISLAND

S-00321062

This Economic Development Partnership Agreement (the "Agreement") is made by and between the Port of Seattle (the "Port") and the City of Mercer Island ("Agency"), both municipal corporations of the State of Washington (each, a "Party" or, collectively, the "Parties").

RECITALS

WHEREAS, engaging in the promotion of economic development is a recognized Port purpose authorized under RCW 53.08.245; and

WHEREAS, RCW 35.21.703 similarly authorizes cities to engage in economic development programs; and

WHEREAS, RCW 53.08.240(2) permits the Port to contract with another municipality to perform such undertakings each is authorized to perform; and

WHEREAS, the Port Commission of the Port of Seattle established the Economic Development Partnership Program (the "Program"), to advance the Port's Century Agenda, promote a dramatic growth agenda, support the creation of middle class jobs and help address the lack of economic development funding for local projects; and

WHEREAS, grant funding across the region is very limited for cities that want to pursue economic development projects or initiatives, and Washington State has not had an economic development grant program for over 20 years; and

WHEREAS, the Program will provide 38 King County cities per capita funding to advance local economic development throughout the region, and requires a 50% local match by the cities that receive the grants; and

WHEREAS, the Program will help the Port advance regional economic vitality through focused partnerships with King County cities; and

WHEREAS, the Program will make grants to cities that pursue programs and projects that stimulate business development, job creation and community revitalization, such as small business development, industry retention and expansion, and other economic development projects that support new investment and job creation;

NOW, THEREFORE the parties agree as follows:

Item 9.

1. Purpose. The purpose of this Agreement is to establish a contractual arrangement under which the Port will pay the Agency Program funds in the amount set forth on Section 2 solely for the purpose of carrying out the local initiative described in Exhibit A, attached and incorporated hereto by this reference (the "Project"). This Agreement shall be interpreted in furtherance of this purpose.
2. Responsibilities of the Port. The Port shall contribute Fifty-One Thousand, Five Hundred Eighty and 00/100 Dollars (\$51,580.00) (the "Grant Funds") to assist the Agency in funding the Project. The Port shall disburse the Grant Funds to the Agency no later than thirty (30) days after receipt of a complete and correct invoice(s) detailing those Project deliverables completed in accordance with Exhibit A.
3. Responsibilities of the Agency.
 - 3.1 The Agency shall contribute local funds equivalent to at least fifty percent (50%) of the Grant Funds towards the Project.
 - 3.2 The Agency may contract with local non-profits to complete the Project or elements of the Project; *provided*, that the Port shall not, under any circumstance, disburse the Grant Funds to any of the Agency's contractors or subcontractors.
 - 3.3 The Agency shall complete the Project no later than December 31, 2023
 - 3.4 The Agency shall provide a complete and correct invoice(s) detailing those Project deliverables completed in accordance with Exhibit A no later than December 31, 2023
4. Term. This Agreement shall become effective as of the date the Port executes this Agreement and shall terminate on December 31, 2023, unless earlier terminated under another provision of this Agreement.
5. Termination for Convenience. The Port may terminate this Agreement at any time for any reason, by giving the Agency thirty (30) days' written notice. In the event the Agency has completed any portion of the Project by the time it receives the Port's notice of termination, the Port shall pay the Agency the percentage of the Grant Funds attributable to the Agency's completed portion of the Project.
6. Termination for Default. Except in the case of delay or failure resulting from circumstances beyond the control and without the fault or negligence of the Agency, the Port shall be entitled, by written or oral notice to the Agency, to terminate Agreement for breach of any of the terms and to have all other rights against the Agency by reason of the Agency's breach as provided by law.
7. Waiver. Failure at any time of the Port to enforce any provision of this Agreement shall not constitute a waiver of such provision or prejudice the right of the Port to enforce such provision at any subsequent time. No term or condition of this Agreement shall be held to be waived, modified or deleted except by a written amendment signed by the Parties
8. Partial Invalidity. If any provision of this Agreement is or becomes void or unenforceable by force or operation of law, all other provisions hereof shall remain valid and enforceable.
9. Indemnification and Hold Harmless Agreement. The Agency shall defend, indemnify, and hold harmless the Port, its Commissioners, officers, employees, and agents (hereafter, collectively, the "Port") from all liability, claims, damages, losses, and expenses (including, but not limited to attorneys' and

consultants' fees and other expenses of litigation or arbitration) arising out of or related to the fulfillment of this Agreement; *provided*, however, if and to the extent that this Agreement is construed to be relative to the construction, alternation, repair, addition to, subtraction from, improvement to, or maintenance of, any building, highway, road, railroad, excavation, or other structure, project, development, or improvement attached to real estate, including moving or demolition in connection therewith, and therefore subject to Section 4.24.115 of the Revised Code of Washington, it is agreed that where such liability, claim, damage, loss or expense arises from the concurrent negligence of (i) the Port, and (ii) the Agency, its agents, or its employees, it is expressly agreed that the Agency's obligations of indemnity under this paragraph shall be effective only to the extent of the Agency's negligence. Such obligations shall not be construed to negate, abridge, or otherwise reduce any other right or obligation of indemnity which would otherwise exist as to any person or entity described in this paragraph. This paragraph shall not be construed so as to require the Agency to defend, indemnify, or hold harmless the Port from such claims, damages, losses or expenses caused by or resulting from the sole negligence of the Port.

In any and all claims against the Port, by any employee of the Agency, its agent, anyone directly or indirectly employed by either of them, or anyone for whose acts any of them may be liable, the indemnification obligation of this paragraph shall not be limited in any way by any limitation on the amount or type of damages compensation benefits payable by or for the Agency, or other person under applicable industrial insurance laws (including, but not limited to Title 51 of the Revised Code of Washington), it being clearly agreed and understood by the Parties hereto that the Agency expressly waives any immunity the Agency might have had under such laws. By executing this Agreement, the Agency acknowledges that the foregoing waiver has been mutually negotiated by the parties.

The Agency shall pay all attorneys' fees and expenses incurred by the Port in establishing and enforcing the Port's right under this paragraph, whether or not suit was instituted.

10. Comply with All Laws. The Agency shall at all times comply with all federal, state and local laws, ordinances and regulations, including but not limited to all environmental laws, which in any manner apply to the performance of this Agreement.

11. Integration. This Agreement, together with the attached Exhibit A, constitutes the entire agreement between the Parties and unless modified in writing by an amendment executed by the Parties, shall be implemented only as described herein.

12. Governing Law and Venue. This Agreement shall be governed by the laws of the State of Washington. Any action arising out of this Agreement shall be brought in King County.

13. No Employment Relationship Created. The Parties agree that nothing in this Agreement shall be construed to create an employment relationship between the Agency and the Port.

14. No Entity Created. The Parties agree that nothing in this Agreement shall be construed to create a joint entity between the Agency and the Port.

15. Notices.

Notices to the Port shall be sent to:

Port of Seattle
Economic Development Division
P. O. Box 1209
Seattle, WA 98111

Notices to the Agency shall be sent to:

City of Mercer Island
9611 SE 36th St
Mercer Island WA 98104

16. Audits and Retention of Records. The Agency in and make all books, records and documents (the "Records") relating to the performance of this Agreement open to inspection or audit by representatives of the Port or Washington State during the term of this Agreement and for a period of not less than six (6) years after termination of the Agreement; *provided*, that if any litigation, claim or audit arising out of, in connection with or related to this Agreement is initiated, the Agency shall retain such Records until the later of

(a) resolution or completion of litigation claim or audit; or (b) six (6) years after the termination of this Agreement.

17. Amendment. This Agreement may only be amended by written agreement of the Parties.

18. Dispute Resolution. The Parties shall use their best, good faith efforts to cooperatively resolve disputes that arise in connection with this Agreement.

IN WITNESS WHEREOF, the Parties hereto have executed this agreement as of the date first set forth above.

PORT OF SEATTLE

By: Colby Wattling
Buyer III

CITY OF MERCER ISLAND

By:

Signature

Dated

Signature

Dated

1. **Project Description:** Summarize the project(s) you plan to implement and explain how project(s) address COVID-19 economic issues in your city. Include a brief description of the project goal(s) and summary of COVID-19 economic impacts being addressed.

In 2022, the City of Mercer Island is writing its first-ever economic development element for the citywide comprehensive plan. City Council support for this effort has largely been driven by the impacts of the pandemic on the local economy. The onset of the pandemic in 2020 quickly revealed the gap in the City’s communications with and direct support of Island businesses, and, as we continue to support economic recovery and attempt to emerge from the pandemic, the City is dedicated to strengthening and enhancing its local business ecosystem. We also understand that consumers’ preferences and habits have changed during the pandemic, and we aim to write an economic development plan and implementation strategy that meet the needs of Island businesses and Island residents as they emerge from the pandemic and look ahead.

We propose using Port of Seattle grant funds to support projects in the following categories to continue assisting businesses with recovering from the pandemic and to start preparing for the future of doing business on Mercer Island.

- **Buy Local/Placemaking Support:** In 2022 and 2023, we will again dedicate funds to promote awareness of local businesses and continue strengthening connections between residents and their local businesses. Activities will include running social media campaigns promoting business categories most impacted by the pandemic (retail, restaurants, personal services); supporting businesses’ ability to participate in community events such as Summer Celebration! (returning after a 4-year hiatus), Mostly Music in the Park, Town Center Trick-or-Treat, and Illuminate MI; and engaging with the business community to better understand their buy local/placemaking needs to assist with implementing and/or planning for future campaigns and events. Islanders crave community connection after two years of pandemic isolation, and we will work closely with businesses to ensure that they are present as residents’ “reenter” the public realm.

Technical Assistance: In 2022, we will conduct an economic profile of Mercer Island to better understand how the business ecosystem has fared during the pandemic and how we can grow a stronger and more sustainable environment for doing business as we continue to recover. This analysis will not only inform the development of the economic development element for the City’s comprehensive plan but also be shared with the local business community to implement immediate-term actions to better assist Island business recovery throughout 2022 and 2023 and inform a long-term implementation strategy post 2023.

2. **Project Scope of Work:** Outline project title or components, economic impacts of COVID-19 the project is addressing, project goals, project deliverables, and metrics (measurable outcomes) using the table below. View Appendix B for sample metrics, measures of success, and data sources. The table is used in the agreement between the Port of Seattle and each city.

Project Category: Buy Local Support / Placemaking				
Project Goal(s)	Timeline	Actions	Project metrics	Project outcomes/deliverables
Continue strengthening connections between Island	5- 2022 to 11-2023	<ul style="list-style-type: none"> Partner with local businesses to coordinate buy local and other 	<ul style="list-style-type: none"> Number of community events with business participation 	<p>Outcomes</p> <ul style="list-style-type: none"> Local businesses feel more engaged in community events and

<p>residents and their local businesses</p>		<p>activities in connection with planned community events</p> <ul style="list-style-type: none"> • Boost awareness of business activities, grand openings, and events through social media, print, digital, and other marketing activities 	<ul style="list-style-type: none"> • Number of businesses who participate in community events • Number of business partnerships/ collaborations formed • Number of patrons who are aware of and visit business activities during community events • Digital marketing metrics, including social media engagement, impressions, etc. 	<p>projects.</p> <ul style="list-style-type: none"> • Residents feel more connected to their Island businesses. • Local businesses view each other as partners and collaborators and continue coordinating ways to bring events and activities to the community. • Business districts feel active, vibrant, and joyous. • The City and businesses better understand their roles in fostering a vibrant and healthy economy. <p>Deliverables</p> <ul style="list-style-type: none"> • Business activities coordinated for at least three community events annually • Promotional materials (social media posts, print and digital ads, environmental collateral) • List of business participants in various community events • List of businesses who use marketing support
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Project Category: Custom Response – Technical Assistance and Implementation				
Project Goal(s)	Timeline:	Actions	Project metrics	Project outcomes/deliverables
<p>Understand how the pandemic has impacted local businesses in relation to the rest of the region</p>	<p>6-2022 to 12-2022</p>	<ul style="list-style-type: none"> • Contract with a qualified professional firm to conduct an Economic Analysis of Mercer Island, including a SWOT 	<ul style="list-style-type: none"> • Report findings and next steps based on research • Number of stakeholder presentations coordinated in 	<p>Outcomes</p> <ul style="list-style-type: none"> • The City and local businesses have a better understanding of where the economy stands as we continue to emerge from the pandemic. • Businesses become

		<p>analysis, regional comparison, and other elements to understand how the Island has fared in the region</p> <ul style="list-style-type: none"> • Partner with the Chamber of Commerce and other community organizations to present findings to the business community and other stakeholders • Coordinate listening sessions or other opportunities to hear from businesses about how the City can assist with acting on opportunities in the near-, mid-, and long-term 	<p>participation with the Chamber</p> <ul style="list-style-type: none"> • Number of businesses and other stakeholders who attend presentations and provide feedback/needs 	<p>aware of areas for opportunity and collaborate with the City to determine how to take advantage of those opportunities.</p> <ul style="list-style-type: none"> • Local businesses view each other as partners and collaborators in growing and strengthening the local economy. • The City and businesses better understand their roles in fostering a vibrant and healthy economy. <p>Deliverables</p> <ul style="list-style-type: none"> • Economic Analysis report • Presentation materials • List of business and other stakeholder participants in engagement opportunities
<p>Execute a strategy to continue supporting business recovery and future business growth</p>	<p>1-2023 to 11-2023</p>	<ul style="list-style-type: none"> • Partner with local businesses and other stakeholders to identify near-term opportunities that can be acted on in 2023 as well as mid- and long-term needs based on the Economic Analysis, community engagement, and other efforts • Execute on early actions as applicable and develop an implementation 	<ul style="list-style-type: none"> • Number of businesses and other stakeholders who participate in identifying needs and actions • Number of businesses who benefit from early actions • Number of early support actions implemented • Additional City Council support secured to support mid- and long-term action plan 	<p>Outcomes</p> <ul style="list-style-type: none"> • Local businesses can transition from economic recovery to growth and sustainability. • Local businesses feel heard and supported by the City. • Local businesses view each other as partners and collaborators in growing and strengthening the local economy. • The City and businesses better understand their roles in fostering a vibrant and healthy economy.

		<p>strategy to act on mid- and long-term needs</p> <ul style="list-style-type: none"> • Advocate for City support of mid- and long-term needs in mid-biennium adjustment process 		<p>Deliverables</p> <ul style="list-style-type: none"> • A least three early actions implemented • Implementation strategy to guide mid- and long-term actions • List of business and other stakeholder participants in the process
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3. **Connection to Port of Seattle interests:** Explain how your project benefits the Port of Seattle and ties to the Port’s business interests?

The City of Mercer Island is home to many regional attractions, including public access to Lake Washington, public art, and many beautiful parks and open spaces. By bringing back more community events and encouraging the business community to engage more closely with those events, we aim to foster more collaboration that ultimately revives tourism in the region. Additionally, the City has never conducted a complete Economic Analysis of the community before, and, as we continue to recover and emerge from the pandemic, we aim to support businesses not only in recovering but also thriving. This means identifying new opportunities for them to grow and reach new markets, which could provide new avenues for supporting the Port’s other primary business interests.

4. **Project Budget:** Identify each project budget category, total funds (including the monetary value of in-kind resources), Port of Seattle funds and City monetary and in-kind matching funds. Include the total funds from each column in the second to last row. Include the percentage contributions to the Port of Seattle’s contribution in the last row. This table is used in the agreement between the Port of Seattle and each city.

Project:	Project Category	Port of Seattle Funds Awarded:	City Monetary Matching Funds:	City In-kind Matching Funds:	Total Funds (Including In-Kind):
Project 1	Buy Local/ Placemaking	\$15,000	\$3,750	\$3,750	\$20,000
Project 2	Custom Covid-19 Response	\$36,580	\$9,145	\$9,145	\$57,370
Total Funds:		\$51,580	\$12,895	\$12,895	\$77,370
Percentage contribution to Port Funds*:		100%	50%	50%	

5. **Collaboration with partners:** Please identify any community organizations (chamber of commerce, neighborhood

associations, Small Business Development Centers, SCORE, Greater Seattle Partners, etc.) you plan to work with to complete all or part of your project(s)?

Community Partners

- Mercer Island Chamber of Commerce
- Mercer Island Rotary Club
- Mercer Island businesses
- Mercer Island Parks & Recreation

Regional Partners

- Small Business Development Centers

6. **Use of consultants or contractors:** If you plan to use consultants or contractors to complete all or part of the project, please identify the firm or type of firm you plan to hire for this project.

- Firm specializing in economic analysis



BUSINESS OF THE CITY COUNCIL CITY OF MERCER ISLAND

AB 6070
May 3, 2022
Consent Agenda

AGENDA BILL INFORMATION

TITLE:	AB 6070: One Washington MOU Among Washington Municipalities	<input type="checkbox"/> Discussion Only <input checked="" type="checkbox"/> Action Needed: <input checked="" type="checkbox"/> Motion <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution
RECOMMENDED ACTION:	Authorize the City Manager to Sign One Washington MOU Relating to Allocation and Use of Future Settlement Proceeds from Opioid Litigation	

DEPARTMENT:	City Manager
STAFF:	Jessi Bon, City Manager Bio Park, City Attorney
COUNCIL LIAISON:	n/a
EXHIBITS:	1. One Washington MOU
CITY COUNCIL PRIORITY:	n/a

AMOUNT OF EXPENDITURE	\$ n/a
AMOUNT BUDGETED	\$ n/a
APPROPRIATION REQUIRED	\$ n/a

EXECUTIVE SUMMARY

The purpose of this agenda bill is to present the One Washington Memorandum of Understanding (MOU), which establishes the framework for sharing and using settlement proceeds from current litigation between certain Washington municipalities and certain opioid pharmaceuticals, if a settlement(s) is reached.

- Under the MOU, the City of Mercer Island's allocation will be 0.175% of settlement proceeds.
- Settlement proceeds may only be used for approved purposes listed in the MOU, which include the following examples:
 - Programs to treat and prevent opioid use disorder and impacts therefrom (similar to programs currently offered by YFS).
 - Programs to support those in recovery.
 - Assistance to the criminal justice system in dealing with opioid related crimes.
 - Training first responders and law enforcement on responding to opioid emergencies.
 - Medication and supplies for dealing with opioid overdose.

BACKGROUND

Several Washington municipalities are currently litigating claims against McKesson, Cardinal Health, and AmerisourceBergen (Big 3) and Johnson & Johnson (J&J) for their involvement in the opioid epidemic in Washington counties and cities. If a settlement(s) is reached in the litigation, the MOU establishes the framework for sharing the settlement proceeds among those Washington municipalities that approve the settlement(s). Municipalities with populations of 10,000 or more are eligible to sign on to the MOU even if they are not currently litigating claims against the Big 3 or J&J, which the City of Mercer Island is not currently doing.

ISSUE/DISCUSSION

Under the MOU, settlement proceeds will be allocated based on the formula used in prior opioid litigations in other states. To determine the allocation to a county, the formula utilizes: (1) the amount of opioids shipped to the county; (2) the number of opioid deaths that occurred in that county; and (3) the number of people who suffer opioid use disorder in that county. To determine the allocation within a county, the default formula utilizes historical federal data showing how the specific counties and the cities and towns within the counties have made opioid epidemic-related expenditures in the past. 15% of settlement proceeds will be reserved to cover the cost of litigation.

Using the formula for allocation to a county, 26.051% of settlement proceeds will be allocated to municipalities in King County. Using the default formula for allocation within a county, the City of Mercer Island's share is 0.175% of the settlement proceeds (assuming King County and cities within King County do not establish to a different allocation agreement to replace the default formula). A list of Washington municipalities and their respective percentage of allocation under the default formula is set forth in Exhibit B of the MOU.

Settlement funds may only be used for approved purposes. Approved purposes relate to abating and mitigating impacts of the opioid epidemic. Exhibit A of the MOU is the list of approved purposes, which is long and broad. Examples include programs to treat and prevent opioid use disorder and impacts therefrom (similar to programs offered by YFS); programs to support those in recovery; assistance to criminal justice system in dealing with opioid related crimes; training first responders and law enforcement officers on responding to opioid emergencies; and purchase of medication and supplies to combat overdose.

NEXT STEPS

Signing onto the MOU does not preclude the City of Mercer Island from initiating its own litigation against the Big 3 or J&J. It also does not require the City to be bound by any future settlement(s) between the litigating Washington municipalities and the Big 3 and J&J. It merely sets the allocation and use agreement of settlement proceeds should the City choose to participate in a future settlement(s).

RECOMMENDED ACTION

Authorize the City Manager to sign the One Washington MOU, relating to allocation and use of future settlement proceeds from opioid litigation by Washington municipalities, substantially in the form attached as Exhibit 1 to AB 6070.

**ONE WASHINGTON MEMORANDUM OF UNDERSTANDING BETWEEN
WASHINGTON MUNICIPALITIES**

Whereas, the people of the State of Washington and its communities have been harmed by entities within the Pharmaceutical Supply Chain who manufacture, distribute, and dispense prescription opioids;

Whereas, certain Local Governments, through their elected representatives and counsel, are engaged in litigation seeking to hold these entities within the Pharmaceutical Supply Chain of prescription opioids accountable for the damage they have caused to the Local Governments;

Whereas, Local Governments and elected officials share a common desire to abate and alleviate the impacts of harms caused by these entities within the Pharmaceutical Supply Chain throughout the State of Washington, and strive to ensure that principals of equity and equitable service delivery are factors considered in the allocation and use of Opioid Funds; and

Whereas, certain Local Governments engaged in litigation and the other cities and counties in Washington desire to agree on a form of allocation for Opioid Funds they receive from entities within the Pharmaceutical Supply Chain.

Now therefore, the Local Governments enter into this Memorandum of Understanding (“MOU”) relating to the allocation and use of the proceeds of Settlements described.

A. Definitions

As used in this MOU:

1. “Allocation Regions” are the same geographic areas as the existing nine (9) Washington State Accountable Community of Health (ACH) Regions and have the purpose described in Section C below.
2. “Approved Purpose(s)” shall mean the strategies specified and set forth in the Opioid Abatement Strategies attached as Exhibit A.
3. “Effective Date” shall mean the date on which a court of competent jurisdiction enters the first Settlement by order or consent decree. The Parties anticipate that more than one Settlement will be administered according to the terms of this MOU, but that the first entered Settlement will trigger allocation of Opioid Funds in accordance with Section B herein, and the formation of the Opioid Abatement Councils in Section C.
4. “Litigating Local Government(s)” shall mean Local Governments that filed suit against any Pharmaceutical Supply Chain Participant pertaining to the Opioid epidemic prior to September 1, 2020.

5. “Local Government(s)” shall mean all counties, cities, and towns within the geographic boundaries of the State of Washington.
6. “National Settlement Agreements” means the national opioid settlement agreements dated July 21, 2021 involving Johnson & Johnson, and distributors AmerisourceBergen, Cardinal Health and McKesson as well as their subsidiaries, affiliates, officers, and directors named in the National Settlement Agreements, including all amendments thereto.
7. “Opioid Funds” shall mean monetary amounts obtained through a Settlement as defined in this MOU.
8. “Opioid Abatement Council” shall have the meaning described in Section C below.
9. “Participating Local Government(s)” shall mean all counties, cities, and towns within the geographic boundaries of the State that have chosen to sign on to this MOU. The Participating Local Governments may be referred to separately in this MOU as “Participating Counties” and “Participating Cities and Towns” (or “Participating Cities or Towns,” as appropriate) or “Parties.”
10. “Pharmaceutical Supply Chain” shall mean the process and channels through which controlled substances are manufactured, marketed, promoted, distributed, and/or dispensed, including prescription opioids.
11. “Pharmaceutical Supply Chain Participant” shall mean any entity that engages in or has engaged in the manufacture, marketing, promotion, distribution, and/or dispensing of a prescription opioid, including any entity that has assisted in any of the above.
12. “Qualified Settlement Fund Account,” or “QSF Account,” shall mean an account set up as a qualified settlement fund, 468b fund, as authorized by Treasury Regulations 1.468B-1(c) (26 CFR §1.468B-1).
13. “Regional Agreements” shall mean the understanding reached by the Participating Local Counties and Cities within an Allocation Region governing the allocation, management, distribution of Opioid Funds within that Allocation Region.
14. “Settlement” shall mean the future negotiated resolution of legal or equitable claims against a Pharmaceutical Supply Chain Participant when that resolution has been jointly entered into by the Participating Local Governments. “Settlement” expressly does not include a plan of reorganization confirmed under Title 11 of the United States Code, irrespective of the extent to which Participating Local Governments vote in favor of or otherwise support such plan of reorganization.

15. “Trustee” shall mean an independent trustee who shall be responsible for the ministerial task of releasing Opioid Funds from a QSF account to Participating Local Governments as authorized herein and accounting for all payments into or out of the trust.

16. The “Washington State Accountable Communities of Health” or “ACH” shall mean the nine (9) regions described in Section C below.

B. Allocation of Settlement Proceeds for Approved Purposes

1. All Opioid Funds shall be held in a QSF and distributed by the Trustee, for the benefit of the Participating Local Governments, only in a manner consistent with this MOU. Distribution of Opioid Funds will be subject to the mechanisms for auditing and reporting set forth below to provide public accountability and transparency.

2. All Opioid Funds, regardless of allocation, shall be utilized pursuant to Approved Purposes as defined herein and set forth in Exhibit A. Compliance with this requirement shall be verified through reporting, as set out in this MOU.

3. The division of Opioid Funds shall first be allocated to Participating Counties based on the methodology utilized for the Negotiation Class in *In Re: National Prescription Opiate Litigation*, United States District Court for the Northern District of Ohio, Case No. 1:17-md-02804-DAP. The allocation model uses three equally weighted factors: (1) the amount of opioids shipped to the county; (2) the number of opioid deaths that occurred in that county; and (3) the number of people who suffer opioid use disorder in that county. The allocation percentages that result from application of this methodology are set forth in the “County Total” line item in Exhibit B. In the event any county does not participate in this MOU, that county’s percentage share shall be reallocated proportionally amongst the Participating Counties by applying this same methodology to only the Participating Counties.

4. Allocation and distribution of Opioid Funds within each Participating County will be based on regional agreements as described in Section C.

C. Regional Agreements

1. For the purpose of this MOU, the regional structure for decision-making related to opioid fund allocation will be based upon the nine (9) pre-defined Washington State Accountable Community of Health Regions (Allocation Regions). Reference to these pre-defined regions is solely for the purpose of

drawing geographic boundaries to facilitate regional agreements for use of Opioid Funds. The Allocation Regions are as follows:

- King County (Single County Region)
- Pierce County (Single County Region)
- Olympic Community of Health Region (Clallam, Jefferson, and Kitsap Counties)
- Cascade Pacific Action Alliance Region (Cowlitz, Grays Harbor, Lewis, Mason, Pacific, Thurston, Lewis, and Wahkiakum Counties)
- North Sound Region (Island, San Juan, Skagit, Snohomish, and Whatcom Counties)
- SouthWest Region (Clark, Klickitat, and Skamania Counties)
- Greater Columbia Region (Asotin, Benton, Columbia, Franklin, Garfield, Kittitas, Walla Walla, Whitman, and Yakima Counties)
- Spokane Region (Adams, Ferry, Lincoln, Pend Oreille, Spokane, and Stevens Counties)
- North Central Region (Chelan, Douglas, Grant, and Okanogan Counties)

2. Opioid Funds will be allocated, distributed and managed within each Allocation Region, as determined by its Regional Agreement as set forth below. If an Allocation Region does not have a Regional Agreement enumerated in this MOU, and does not subsequently adopt a Regional Agreement per Section C.5, the default mechanism for allocation, distribution and management of Opioid Funds described in Section C.4.a will apply. Each Allocation Region must have an OAC whose composition and responsibilities shall be defined by Regional Agreement or as set forth in Section C.4.

3. King County's Regional Agreement is reflected in Exhibit C to this MOU.

4. All other Allocation Regions that have not specified a Regional Agreement for allocating, distributing and managing Opioid Funds, will apply the following default methodology:

a. Opioid Funds shall be allocated within each Allocation Region by taking the allocation for a Participating County from Exhibit B and apportioning those funds between that Participating County and its Participating Cities and Towns. Exhibit B also sets forth the allocation to the Participating Counties and the Participating Cities or Towns within the Counties based on a default allocation formula. As set forth above in Section B.3, to determine the allocation to a county, this formula utilizes: (1) the amount of opioids shipped to the county; (2) the number of opioid deaths that occurred in that county; and (3) the number of people who suffer opioid use disorder in that county. To determine the allocation within a county, the formula utilizes historical federal data showing how the specific Counties and the Cities and Towns within the Counties have

made opioids epidemic-related expenditures in the past. This is the same methodology used in the National Settlement Agreements for county and intra-county allocations. A Participating County, and the Cities and Towns within it may enter into a separate intra-county allocation agreement to modify how the Opioid Funds are allocated amongst themselves, provided the modification is in writing and agreed to by all Participating Local Governments in the County. Such an agreement shall not modify any of the other terms or requirements of this MOU.

b. 10% of the Opioid Funds received by the Region will be reserved, on an annual basis, for administrative costs related to the OAC. The OAC will provide an annual accounting for actual costs and any reserved funds that exceed actual costs will be reallocated to Participating Local Governments within the Region.

c. Cities and towns with a population of less than 10,000 shall be excluded from the allocation, with the exception of cities and towns that are Litigating Participating Local Governments. The portion of the Opioid Funds that would have been allocated to a city or town with a population of less than 10,000 that is not a Litigating Participating Local Government shall be redistributed to Participating Counties in the manner directed in C.4.a above.

d. Each Participating County, City, or Town may elect to have its share re-allocated to the OAC in which it is located. The OAC will then utilize this share for the benefit of Participating Local Governments within that Allocation Region, consistent with the Approved Purposes set forth in Exhibit A. A Participating Local Government's election to forego its allocation of Opioid Funds shall apply to all future allocations unless the Participating Local Government notifies its respective OAC otherwise. If a Participating Local Government elects to forego its allocation of the Opioid Funds, the Participating Local Government shall be excused from the reporting requirements set forth in this Agreement.

e. Participating Local Governments that receive a direct payment maintain full discretion over the use and distribution of their allocation of Opioid Funds, provided the Opioid Funds are used solely for Approved Purposes. Reasonable administrative costs for a Participating Local Government to administer its allocation of Opioid Funds shall not exceed actual costs or 10% of the Participating Local Government's allocation of Opioid Funds, whichever is less.

f. A Local Government that chooses not to become a Participating Local Government will not receive a direct allocation of Opioid Funds. The portion of the Opioid Funds that would have been allocated to a Local Government that is not a Participating Local Government shall be

redistributed to Participating Counties in the manner directed in C.4.a above.

g. As a condition of receiving a direct payment, each Participating Local Government that receives a direct payment agrees to undertake the following actions:

- i. Developing a methodology for obtaining proposals for use of Opioid Funds.
- ii. Ensuring there is opportunity for community-based input on priorities for Opioid Fund programs and services.
- iii. Receiving and reviewing proposals for use of Opioid Funds for Approved Purposes.
- iv. Approving or denying proposals for use of Opioid Funds for Approved Purposes.
- v. Receiving funds from the Trustee for approved proposals and distributing the Opioid Funds to the recipient.
- vi. Reporting to the OAC and making publicly available all decisions on Opioid Fund allocation applications, distributions and expenditures.

h. Prior to any distribution of Opioid Funds within the Allocation Region, The Participating Local Governments must establish an Opioid Abatement Council (OAC) to oversee Opioid Fund allocation, distribution, expenditures and dispute resolution. The OAC may be a preexisting regional body or may be a new body created for purposes of executing the obligations of this MOU.

i. The OAC for each Allocation Region shall be composed of representation from both Participating Counties and Participating Towns or Cities within the Region. The method of selecting members, and the terms for which they will serve will be determined by the Allocation Region's Participating Local Governments. All persons who serve on the OAC must have work or educational experience pertaining to one or more Approved Uses.

j. The Regional OAC will be responsible for the following actions:

- i. Overseeing distribution of Opioid Funds from Participating Local Governments to programs and services within the Allocation Region for Approved Purposes.

- ii. Annual review of expenditure reports from Participating Local Jurisdictions within the Allocation Region for compliance with Approved Purposes and the terms of this MOU and any Settlement.
- iii. In the case where Participating Local Governments chose to forego their allocation of Opioid Funds:
 - (i) Approving or denying proposals by Participating Local Governments or community groups to the OAC for use of Opioid Funds within the Allocation Region.
 - (ii) Directing the Trustee to distribute Opioid Funds for use by Participating Local Governments or community groups whose proposals are approved by the OAC.
 - (iii) Administrating and maintaining records of all OAC decisions and distributions of Opioid Funds.
- iv. Reporting and making publicly available all decisions on Opioid Fund allocation applications, distributions and expenditures by the OAC or directly by Participating Local Governments.
- v. Developing and maintaining a centralized public dashboard or other repository for the publication of expenditure data from any Participating Local Government that receives Opioid Funds, and for expenditures by the OAC in that Allocation Region, which it shall update at least annually.
- vi. If necessary, requiring and collecting additional outcome-related data from Participating Local Governments to evaluate the use of Opioid Funds, and all Participating Local Governments shall comply with such requirements.
- vii. Hearing complaints by Participating Local Governments within the Allocation Region regarding alleged failure to (1) use Opioid Funds for Approved Purposes or (2) comply with reporting requirements.

5. Participating Local Governments may agree and elect to share, pool, or collaborate with their respective allocation of Opioid Funds in any manner they choose by adopting a Regional Agreement, so long as such sharing, pooling, or collaboration is used for Approved Purposes and complies with the terms of this MOU and any Settlement.

6. Nothing in this MOU should alter or change any Participating Local Government's rights to pursue its own claim. Rather, the intent of this MOU is to join all parties who wish to be Participating Local Governments to agree upon an allocation formula for any Opioid Funds from any future binding Settlement with one or more Pharmaceutical Supply Chain Participants for all Local Governments in the State of Washington.

7. If any Participating Local Government disputes the amount it receives from its allocation of Opioid Funds, the Participating Local Government shall alert its respective OAC within sixty (60) days of discovering the information underlying the dispute. Failure to alert its OAC within this time frame shall not constitute a waiver of the Participating Local Government's right to seek recoupment of any deficiency in its allocation of Opioid Funds.

8. If any OAC concludes that a Participating Local Government's expenditure of its allocation of Opioid Funds did not comply with the Approved Purposes listed in Exhibit A, or the terms of this MOU, or that the Participating Local Government otherwise misused its allocation of Opioid Funds, the OAC may take remedial action against the alleged offending Participating Local Government. Such remedial action is left to the discretion of the OAC and may include withholding future Opioid Funds owed to the offending Participating Local Government or requiring the offending Participating Local Government to reimburse improperly expended Opioid Funds back to the OAC to be re-allocated to the remaining Participating Local Governments within that Region.

9. All Participating Local Governments and OAC shall maintain all records related to the receipt and expenditure of Opioid Funds for no less than five (5) years and shall make such records available for review by any other Participating Local Government or OAC, or the public. Records requested by the public shall be produced in accordance with Washington's Public Records Act RCW 42.56.001 *et seq.* Records requested by another Participating Local Government or an OAC shall be produced within twenty-one (21) days of the date the record request was received. This requirement does not supplant any Participating Local Government or OAC's obligations under Washington's Public Records Act RCW 42.56.001 *et seq.*

D. Payment of Counsel and Litigation Expenses

1. The Litigating Local Governments have incurred attorneys' fees and litigation expenses relating to their prosecution of claims against the Pharmaceutical Supply Chain Participants, and this prosecution has inured to the benefit of all Participating Local Governments. Accordingly, a Washington

Government Fee Fund (“GFF”) shall be established that ensures that all Parties that receive Opioid Funds contribute to the payment of fees and expenses incurred to prosecute the claims against the Pharmaceutical Supply Chain Participants, regardless of whether they are litigating or non-litigating entities.

2. The amount of the GFF shall be based as follows: the funds to be deposited in the GFF shall be equal to 15% of the total cash value of the Opioid Funds.

3. The maximum percentage of any contingency fee agreement permitted for compensation shall be 15% of the portion of the Opioid Funds allocated to the Litigating Local Government that is a party to the contingency fee agreement, plus expenses attributable to that Litigating Local Government. Under no circumstances may counsel collect more for its work on behalf of a Litigating Local Government than it would under its contingency agreement with that Litigating Local Government.

4. Payments from the GFF shall be overseen by a committee (the “Opioid Fee and Expense Committee”) consisting of one representative of the following law firms: (a) Keller Rohrback L.L.P.; (b) Hagens Berman Sobol Shapiro LLP; (c) Goldfarb & Huck Roth Riojas, PLLC; and (d) Napoli Shkolnik PLLC. The role of the Opioid Fee and Expense Committee shall be limited to ensuring that the GFF is administered in accordance with this Section.

5. In the event that settling Pharmaceutical Supply Chain Participants do not pay the fees and expenses of the Participating Local Governments directly at the time settlement is achieved, payments to counsel for Participating Local Governments shall be made from the GFF over not more than three years, with 50% paid within 12 months of the date of Settlement and 25% paid in each subsequent year, or at the time the total Settlement amount is paid to the Trustee by the Defendants, whichever is sooner.

6. Any funds remaining in the GFF in excess of: (i) the amounts needed to cover Litigating Local Governments’ private counsel’s representation agreements, and (ii) the amounts needed to cover the common benefit tax discussed in Section C.8 below (if not paid directly by the Defendants in connection with future settlement(s)), shall revert to the Participating Local Governments *pro rata* according to the percentages set forth in Exhibits B, to be used for Approved Purposes as set forth herein and in Exhibit A.

7. In the event that funds in the GFF are not sufficient to pay all fees and expenses owed under this Section, payments to counsel for all Litigating Local Governments shall be reduced on a *pro rata* basis. The Litigating Local Governments will not be responsible for any of these reduced amounts.

8. The Parties anticipate that any Opioid Funds they receive will be subject to a common benefit “tax” imposed by the court in *In Re: National Prescription Opiate Litigation*, United States District Court for the Northern District of Ohio, Case No. 1:17-md-02804-DAP (“Common Benefit Tax”). If this occurs, the Participating Local Governments shall first seek to have the settling defendants pay the Common Benefit Tax. If the settling defendants do not agree to pay the Common Benefit Tax, then the Common Benefit Tax shall be paid from the Opioid Funds and by both litigating and non-litigating Local Governments. This payment shall occur prior to allocation and distribution of funds to the Participating Local Governments. In the event that GFF is not fully exhausted to pay the Litigating Local Governments’ private counsel’s representation agreements, excess funds in the GFF shall be applied to pay the Common Benefit Tax (if any).

E. General Terms

1. If any Participating Local Government believes another Participating Local Government, not including the Regional Abatement Advisory Councils, violated the terms of this MOU, the alleging Participating Local Government may seek to enforce the terms of this MOU in the court in which any applicable Settlement(s) was entered, provided the alleging Participating Local Government first provides the alleged offending Participating Local Government notice of the alleged violation(s) and a reasonable opportunity to cure the alleged violation(s). In such an enforcement action, any alleging Participating Local Government or alleged offending Participating Local Government may be represented by their respective public entity in accordance with Washington law.

2. Nothing in this MOU shall be interpreted to waive the right of any Participating Local Government to seek judicial relief for conduct occurring outside the scope of this MOU that violates any Washington law. In such an action, the alleged offending Participating Local Government, including the Regional Abatement Advisory Councils, may be represented by their respective public entities in accordance with Washington law. In the event of a conflict, any Participating Local Government, including the Regional Abatement Advisory Councils and its Members, may seek outside representation to defend itself against such an action.

3. Venue for any legal action related to this MOU shall be in the court in which the Participating Local Government is located or in accordance with the court rules on venue in that jurisdiction. This provision is not intended to expand the court rules on venue.

4. This MOU may be executed in two or more counterparts, each of which shall be deemed an original, but all of which shall constitute one and the same instrument. The Participating Local Governments approve the use of electronic signatures for execution of this MOU. All use of electronic signatures

shall be governed by the Uniform Electronic Transactions Act, C.R.S. §§ 24-71.3-101, *et seq.* The Parties agree not to deny the legal effect or enforceability of the MOU solely because it is in electronic form or because an electronic record was used in its formation. The Participating Local Government agree not to object to the admissibility of the MOU in the form of an electronic record, or a paper copy of an electronic document, or a paper copy of a document bearing an electronic signature, on the grounds that it is an electronic record or electronic signature or that it is not in its original form or is not an original.

5. Each Participating Local Government represents that all procedures necessary to authorize such Participating Local Government's execution of this MOU have been performed and that the person signing for such Party has been authorized to execute the MOU.

[Remainder of Page Intentionally Left Blank – Signature Pages Follow]

This One Washington Memorandum of Understanding Between Washington Municipalities is signed this _____ day of _____, 2022 by:

Name & Title _____

On behalf of _____

EXHIBIT A

O P I O I D A B A T E M E N T S T R A T E G I E S

PART ONE: TREATMENT

A. TREAT OPIOID USE DISORDER (OUD)

Support treatment of Opioid Use Disorder (OUD) and any co-occurring Substance Use Disorder or Mental Health (SUD/MH) conditions, co-usage, and/or co-addiction through evidence-based, evidence-informed, or promising programs or strategies that may include, but are not limited to, the following:

1. Expand availability of treatment for OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction, including all forms of Medication-Assisted Treatment (MAT) approved by the U.S. Food and Drug Administration.
2. Support and reimburse services that include the full American Society of Addiction Medicine (ASAM) continuum of care for OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction, including but not limited to:
 - a. Medication-Assisted Treatment (MAT);
 - b. Abstinence-based treatment;
 - c. Treatment, recovery, or other services provided by states, subdivisions, community health centers; non-for-profit providers; or for-profit providers;
 - d. Treatment by providers that focus on OUD treatment as well as treatment by providers that offer OUD treatment along with treatment for other SUD/MH conditions, co-usage, and/or co-addiction; or
 - e. Evidence-informed residential services programs, as noted below.
3. Expand telehealth to increase access to treatment for OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction, including MAT, as well as counseling, psychiatric support, and other treatment and recovery support services.
4. Improve oversight of Opioid Treatment Programs (OTPs) to assure evidence-based, evidence-informed, or promising practices such as adequate methadone dosing.
5. Support mobile intervention, treatment, and recovery services, offered by qualified professionals and service providers, such as peer recovery coaches, for persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction and for persons who have experienced an opioid overdose.
6. Support treatment of mental health trauma resulting from the traumatic experiences of the opioid user (e.g., violence, sexual assault, human trafficking, or adverse childhood experiences) and family members (e.g., surviving family members after an overdose

or overdose fatality), and training of health care personnel to identify and address such trauma.

7. Support detoxification (detox) and withdrawal management services for persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction, including medical detox, referral to treatment, or connections to other services or supports.
8. Support training on MAT for health care providers, students, or other supporting professionals, such as peer recovery coaches or recovery outreach specialists, including telementoring to assist community-based providers in rural or underserved areas.
9. Support workforce development for addiction professionals who work with persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction.
10. Provide fellowships for addiction medicine specialists for direct patient care, instructors, and clinical research for treatments.
11. Provide funding and training for clinicians to obtain a waiver under the federal Drug Addiction Treatment Act of 2000 (DATA 2000) to prescribe MAT for OUD, and provide technical assistance and professional support to clinicians who have obtained a DATA 2000 waiver.
12. Support the dissemination of web-based training curricula, such as the American Academy of Addiction Psychiatry's Provider Clinical Support Service-Opioids web-based training curriculum and motivational interviewing.
13. Support the development and dissemination of new curricula, such as the American Academy of Addiction Psychiatry's Provider Clinical Support Service for Medication-Assisted Treatment.

B. SUPPORT PEOPLE IN TREATMENT AND RECOVERY

Support people in treatment for and recovery from OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction through evidence-based, evidence-informed, or promising programs or strategies that may include, but are not limited to, the following:

1. Provide the full continuum of care of recovery services for OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction, including supportive housing, residential treatment, medical detox services, peer support services and counseling, community navigators, case management, and connections to community-based services.
2. Provide counseling, peer-support, recovery case management and residential treatment with access to medications for those who need it to persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction.

3. Provide access to housing for people with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction, including supportive housing, recovery housing, housing assistance programs, or training for housing providers.
4. Provide community support services, including social and legal services, to assist in deinstitutionalizing persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction.
5. Support or expand peer-recovery centers, which may include support groups, social events, computer access, or other services for persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction.
6. Provide employment training or educational services for persons in treatment for or recovery from OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction.
7. Identify successful recovery programs such as physician, pilot, and college recovery programs, and provide support and technical assistance to increase the number and capacity of high-quality programs to help those in recovery.
8. Engage non-profits, faith-based communities, and community coalitions to support people in treatment and recovery and to support family members in their efforts to manage the opioid user in the family.
9. Provide training and development of procedures for government staff to appropriately interact and provide social and other services to current and recovering opioid users, including reducing stigma.
10. Support stigma reduction efforts regarding treatment and support for persons with OUD, including reducing the stigma on effective treatment.

C. CONNECT PEOPLE WHO NEED HELP TO THE HELP THEY NEED (CONNECTIONS TO CARE)

Provide connections to care for people who have – or are at risk of developing – OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction through evidence-based, evidence-informed, or promising programs or strategies that may include, but are not limited to, the following:

1. Ensure that health care providers are screening for OUD and other risk factors and know how to appropriately counsel and treat (or refer if necessary) a patient for OUD treatment.
2. Support Screening, Brief Intervention and Referral to Treatment (SBIRT) programs to reduce the transition from use to disorders.
3. Provide training and long-term implementation of SBIRT in key systems (health, schools, colleges, criminal justice, and probation), with a focus on youth and young adults when transition from misuse to opioid disorder is common.

4. Purchase automated versions of SBIRT and support ongoing costs of the technology.
5. Support training for emergency room personnel treating opioid overdose patients on post-discharge planning, including community referrals for MAT, recovery case management or support services.
6. Support hospital programs that transition persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction, or persons who have experienced an opioid overdose, into community treatment or recovery services through a bridge clinic or similar approach.
7. Support crisis stabilization centers that serve as an alternative to hospital emergency departments for persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction or persons that have experienced an opioid overdose.
8. Support the work of Emergency Medical Systems, including peer support specialists, to connect individuals to treatment or other appropriate services following an opioid overdose or other opioid-related adverse event.
9. Provide funding for peer support specialists or recovery coaches in emergency departments, detox facilities, recovery centers, recovery housing, or similar settings; offer services, supports, or connections to care to persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction or to persons who have experienced an opioid overdose.
10. Provide funding for peer navigators, recovery coaches, care coordinators, or care managers that offer assistance to persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction or to persons who have experienced on opioid overdose.
11. Create or support school-based contacts that parents can engage with to seek immediate treatment services for their child; and support prevention, intervention, treatment, and recovery programs focused on young people.
12. Develop and support best practices on addressing OUD in the workplace.
13. Support assistance programs for health care providers with OUD.
14. Engage non-profits and the faith community as a system to support outreach for treatment.
15. Support centralized call centers that provide information and connections to appropriate services and supports for persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction.
16. Create or support intake and call centers to facilitate education and access to treatment, prevention, and recovery services for persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction.

17. Develop or support a National Treatment Availability Clearinghouse – a multistate/nationally accessible database whereby health care providers can list locations for currently available in-patient and out-patient OUD treatment services that are accessible on a real-time basis by persons who seek treatment.

D. ADDRESS THE NEEDS OF CRIMINAL-JUSTICE-INVOLVED PERSONS

Address the needs of persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction who are involved – or are at risk of becoming involved – in the criminal justice system through evidence-based, evidence-informed, or promising programs or strategies that may include, but are not limited to, the following:

1. Support pre-arrest or post-arrest diversion and deflection strategies for persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction, including established strategies such as:
 - a. Self-referral strategies such as the Angel Programs or the Police Assisted Addiction Recovery Initiative (PAARI);
 - b. Active outreach strategies such as the Drug Abuse Response Team (DART) model;
 - c. “Naloxone Plus” strategies, which work to ensure that individuals who have received naloxone to reverse the effects of an overdose are then linked to treatment programs or other appropriate services;
 - d. Officer prevention strategies, such as the Law Enforcement Assisted Diversion (LEAD) model;
 - e. Officer intervention strategies such as the Leon County, Florida Adult Civil Citation Network or the Chicago Westside Narcotics Diversion to Treatment Initiative;
 - f. Co-responder and/or alternative responder models to address OUD-related 911 calls with greater SUD expertise and to reduce perceived barriers associated with law enforcement 911 responses; or
 - g. County prosecution diversion programs, including diversion officer salary, only for counties with a population of 50,000 or less. Any diversion services in matters involving opioids must include drug testing, monitoring, or treatment.
2. Support pre-trial services that connect individuals with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction to evidence-informed treatment, including MAT, and related services.
3. Support treatment and recovery courts for persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction, but only if these courts provide referrals to evidence-informed treatment, including MAT.

4. Provide evidence-informed treatment, including MAT, recovery support, or other appropriate services to individuals with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction who are incarcerated in jail or prison.
5. Provide evidence-informed treatment, including MAT, recovery support, or other appropriate services to individuals with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction who are leaving jail or prison have recently left jail or prison, are on probation or parole, are under community corrections supervision, or are in re-entry programs or facilities.
6. Support critical time interventions (CTI), particularly for individuals living with dual-diagnosis OUD/serious mental illness, and services for individuals who face immediate risks and service needs and risks upon release from correctional settings.
7. Provide training on best practices for addressing the needs of criminal-justice-involved persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction to law enforcement, correctional, or judicial personnel or to providers of treatment, recovery, case management, or other services offered in connection with any of the strategies described in this section.

E. ADDRESS THE NEEDS OF PREGNANT OR PARENTING WOMEN AND THEIR FAMILIES, INCLUDING BABIES WITH NEONATAL ABSTINENCE SYNDROME

Address the needs of pregnant or parenting women with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction, and the needs of their families, including babies with neonatal abstinence syndrome, through evidence-based, evidence-informed, or promising programs or strategies that may include, but are not limited to, the following:

1. Support evidence-based, evidence-informed, or promising treatment, including MAT, recovery services and supports, and prevention services for pregnant women – or women who could become pregnant – who have OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction, and other measures to educate and provide support to families affected by Neonatal Abstinence Syndrome.
2. Provide training for obstetricians or other healthcare personnel that work with pregnant women and their families regarding treatment of OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction.
3. Provide training to health care providers who work with pregnant or parenting women on best practices for compliance with federal requirements that children born with Neonatal Abstinence Syndrome get referred to appropriate services and receive a plan of safe care.
4. Provide enhanced support for children and family members suffering trauma as a result of addiction in the family; and offer trauma-informed behavioral health treatment for adverse childhood events.

5. Offer enhanced family supports and home-based wrap-around services to persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction, including but not limited to parent skills training.
6. Support for Children's Services – Fund additional positions and services, including supportive housing and other residential services, relating to children being removed from the home and/or placed in foster care due to custodial opioid use.

PART TWO: PREVENTION

F. PREVENT OVER-PRESCRIBING AND ENSURE APPROPRIATE PRESCRIBING AND DISPENSING OF OPIOIDS

Support efforts to prevent over-prescribing and ensure appropriate prescribing and dispensing of opioids through evidence-based, evidence-informed, or promising programs or strategies that may include, but are not limited to, the following:

1. Training for health care providers regarding safe and responsible opioid prescribing, dosing, and tapering patients off opioids.
2. Academic counter-detailing to educate prescribers on appropriate opioid prescribing.
3. Continuing Medical Education (CME) on appropriate prescribing of opioids.
4. Support for non-opioid pain treatment alternatives, including training providers to offer or refer to multi-modal, evidence-informed treatment of pain.
5. Support enhancements or improvements to Prescription Drug Monitoring Programs (PDMPs), including but not limited to improvements that:
 - a. Increase the number of prescribers using PDMPs;
 - b. Improve point-of-care decision-making by increasing the quantity, quality, or format of data available to prescribers using PDMPs or by improving the interface that prescribers use to access PDMP data, or both; or
 - c. Enable states to use PDMP data in support of surveillance or intervention strategies, including MAT referrals and follow-up for individuals identified within PDMP data as likely to experience OUD.
6. Development and implementation of a national PDMP – Fund development of a multistate/national PDMP that permits information sharing while providing appropriate safeguards on sharing of private health information, including but not limited to:
 - a. Integration of PDMP data with electronic health records, overdose episodes, and decision support tools for health care providers relating to OUD.

- b. Ensuring PDMPs incorporate available overdose/naloxone deployment data, including the United States Department of Transportation's Emergency Medical Technician overdose database.
7. Increase electronic prescribing to prevent diversion or forgery.
8. Educate Dispensers on appropriate opioid dispensing.

G. PREVENT MISUSE OF OPIOIDS

Support efforts to discourage or prevent misuse of opioids through evidence-based, evidence-informed, or promising programs or strategies that may include, but are not limited to, the following:

1. Corrective advertising or affirmative public education campaigns based on evidence.
2. Public education relating to drug disposal.
3. Drug take-back disposal or destruction programs.
4. Fund community anti-drug coalitions that engage in drug prevention efforts.
5. Support community coalitions in implementing evidence-informed prevention, such as reduced social access and physical access, stigma reduction – including staffing, educational campaigns, support for people in treatment or recovery, or training of coalitions in evidence-informed implementation, including the Strategic Prevention Framework developed by the U.S. Substance Abuse and Mental Health Services Administration (SAMHSA).
6. Engage non-profits and faith-based communities as systems to support prevention.
7. Support evidence-informed school and community education programs and campaigns for students, families, school employees, school athletic programs, parent-teacher and student associations, and others.
8. School-based or youth-focused programs or strategies that have demonstrated effectiveness in preventing drug misuse and seem likely to be effective in preventing the uptake and use of opioids.
9. Support community-based education or intervention services for families, youth, and adolescents at risk for OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction.
10. Support evidence-informed programs or curricula to address mental health needs of young people who may be at risk of misusing opioids or other drugs, including emotional modulation and resilience skills.
11. Support greater access to mental health services and supports for young people, including services and supports provided by school nurses or other school staff, to

address mental health needs in young people that (when not properly addressed) increase the risk of opioid or other drug misuse.

H. PREVENT OVERDOSE DEATHS AND OTHER HARMS

Support efforts to prevent or reduce overdose deaths or other opioid-related harms through evidence-based, evidence-informed, or promising programs or strategies that may include, but are not limited to, the following:

1. Increase availability and distribution of naloxone and other drugs that treat overdoses for first responders, overdose patients, opioid users, families and friends of opioid users, schools, community navigators and outreach workers, drug offenders upon release from jail/prison, or other members of the general public.
2. Provision by public health entities of free naloxone to anyone in the community, including but not limited to provision of intra-nasal naloxone in settings where other options are not available or allowed.
3. Training and education regarding naloxone and other drugs that treat overdoses for first responders, overdose patients, patients taking opioids, families, schools, and other members of the general public.
4. Enable school nurses and other school staff to respond to opioid overdoses, and provide them with naloxone, training, and support.
5. Expand, improve, or develop data tracking software and applications for overdoses/naloxone revivals.
6. Public education relating to emergency responses to overdoses.
7. Public education relating to immunity and Good Samaritan laws.
8. Educate first responders regarding the existence and operation of immunity and Good Samaritan laws.
9. Expand access to testing and treatment for infectious diseases such as HIV and Hepatitis C resulting from intravenous opioid use.
10. Support mobile units that offer or provide referrals to treatment, recovery supports, health care, or other appropriate services to persons that use opioids or persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction.
11. Provide training in treatment and recovery strategies to health care providers, students, peer recovery coaches, recovery outreach specialists, or other professionals that provide care to persons who use opioids or persons with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction.
12. Support screening for fentanyl in routine clinical toxicology testing.

PART THREE: OTHER STRATEGIES

I. FIRST RESPONDERS

In addition to items C8, D1 through D7, H1, H3, and H8, support the following:

1. Current and future law enforcement expenditures relating to the opioid epidemic.
2. Educate law enforcement or other first responders regarding appropriate practices and precautions when dealing with fentanyl or other drugs.

J. LEADERSHIP, PLANNING AND COORDINATION

Support efforts to provide leadership, planning, and coordination to abate the opioid epidemic through activities, programs, or strategies that may include, but are not limited to, the following:

1. Community regional planning to identify goals for reducing harms related to the opioid epidemic, to identify areas and populations with the greatest needs for treatment intervention services, or to support other strategies to abate the opioid epidemic described in this opioid abatement strategy list.
2. A government dashboard to track key opioid-related indicators and supports as identified through collaborative community processes.
3. Invest in infrastructure or staffing at government or not-for-profit agencies to support collaborative, cross-system coordination with the purpose of preventing overprescribing, opioid misuse, or opioid overdoses, treating those with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction, supporting them in treatment or recovery, connecting them to care, or implementing other strategies to abate the opioid epidemic described in this opioid abatement strategy list.
4. Provide resources to staff government oversight and management of opioid abatement programs.

K. TRAINING

In addition to the training referred to in various items above, support training to abate the opioid epidemic through activities, programs, or strategies that may include, but are not limited to, the following:

1. Provide funding for staff training or networking programs and services to improve the capability of government, community, and not-for-profit entities to abate the opioid crisis.
2. Invest in infrastructure and staffing for collaborative cross-system coordination to prevent opioid misuse, prevent overdoses, and treat those with OUD and any co-occurring SUD/MH conditions, co-usage, and/or co-addiction, or implement other

strategies to abate the opioid epidemic described in this opioid abatement strategy list (e.g., health care, primary care, pharmacies, PDMPs, etc.).

L. RESEARCH

Support opioid abatement research that may include, but is not limited to, the following:

1. Monitoring, surveillance, and evaluation of programs and strategies described in this opioid abatement strategy list.
2. Research non-opioid treatment of chronic pain.
3. Research on improved service delivery for modalities such as SBIRT that demonstrate promising but mixed results in populations vulnerable to opioid use disorders.
4. Research on innovative supply-side enforcement efforts such as improved detection of mail-based delivery of synthetic opioids.
5. Expanded research on swift/certain/fair models to reduce and deter opioid misuse within criminal justice populations that build upon promising approaches used to address other substances (e.g. Hawaii HOPE and Dakota 24/7).
6. Research on expanded modalities such as prescription methadone that can expand access to MAT.

EXHIBIT B

Item 10.

County	Local Government	% Allocation
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Adams County

Adams County		0.1638732475%
Hatton		
Lind		
Othello		
Ritzville		
Washtucna		
County Total:		0.1638732475%

Asotin County

Asotin County		0.4694498386%
Asotin		
Clarkston		
County Total:		0.4694498386%

Benton County

Benton County		1.4848831892%
Benton City		
Kennewick		0.5415650564%
Prosser		
Richland		0.4756779517%
West Richland		0.0459360490%
County Total:		2.5480622463%

Chelan County

Chelan County		0.7434914485%
Cashmere		
Chelan		
Entiat		
Leavenworth		
Wenatchee		0.2968333494%
County Total:		1.0403247979%

Clallam County

Clallam County		1.3076983401%
Forks		
Port Angeles		0.4598370527%
Sequim		
County Total:		1.7675353928%

EXHIBIT B

Item 10.

County	Local Government	% Allocation
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Clark County

Clark County		4.5149775326%
Battle Ground		0.1384729857%
Camas		0.2691592724%
La Center		
Ridgefield		
Vancouver		1.7306605325%
Washougal		0.1279328220%
Woodland***		
Yacolt		
County Total:		6.7812031452%

Columbia County

Columbia County		0.0561699537%
Dayton		
Starbuck		
County Total:		0.0561699537%

Cowlitz County

Cowlitz County		1.7226945990%
Castle Rock		
Kalama		
Kelso		0.1331145270%
Longview		0.6162736905%
Woodland***		
County Total:		2.4720828165%

Douglas County

Douglas County		0.3932175175%
Bridgeport		
Coulee Dam***		
East Wenatchee		0.0799810865%
Mansfield		
Rock Island		
Waterville		
County Total:		0.4731986040%

Ferry County

Ferry County		0.1153487994%
Republic		
County Total:		0.1153487994%

EXHIBIT B

Item 10.

County	Local Government	% Allocation
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Franklin County

Franklin County		0.3361237144%
Connell		
Kahlotus		
Mesa		
Pasco		0.4278056066%
County Total:		0.7639293210%

Garfield County

Garfield County		0.0321982209%
Pomeroy		
County Total:		0.0321982209%

Grant County

Grant County		0.9932572167%
Coulee City		
Coulee Dam***		
Electric City		
Ephrata		
George		
Grand Coulee		
Hartline		
Krupp		
Mattawa		
Moses Lake		0.2078293909%
Quincy		
Royal City		
Soap Lake		
Warden		
Wilson Creek		
County Total:		1.2010866076%

EXHIBIT B

Item 10.

County	Local Government	% Allocation
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Grays Harbor County

	Grays Harbor County	0.9992429138%
	Aberdeen	0.2491525333%
	Cosmopolis	
	Elma	
	Hoquiam	
	McCleary	
	Montesano	
	Oakville	
	Ocean Shores	
	Westport	
	County Total:	1.2483954471%

Island County

	Island County	0.6820422610%
	Coupeville	
	Langley	
	Oak Harbor	0.2511550431%
	County Total:	0.9331973041%

Jefferson County

	Jefferson County	0.4417137380%
	Port Townsend	
	County Total:	0.4417137380%

EXHIBIT B

Item 10.

County	Local Government	% Allocation
King County		
	King County	13.9743722662%
	Algona	
	Auburn***	0.2622774917%
	Beaux Arts Village	
	Bellevue	1.1300592573%
	Black Diamond	
	Bothell***	0.1821602716%
	Burien	0.0270962921%
	Carnation	
	Clyde Hill	
	Covington	0.0118134406%
	Des Moines	0.1179764526%
	Duvall	
	Enumclaw***	0.0537768326%
	Federal Way	0.3061452240%
	Hunts Point	
	Issaquah	0.1876240107%
	Kenmore	0.0204441024%
	Kent	0.5377397676%
	Kirkland	0.5453525246%
	Lake Forest Park	0.0525439124%
	Maple Valley	0.0093761587%
	Medina	
	Mercer Island	0.1751797481%
	Milton***	
	Newcastle	0.0033117880%
	Normandy Park	
	North Bend	
	Pacific***	
	Redmond	0.4839486007%
	Renton	0.7652626920%
	Sammamish	0.0224369090%
	SeaTac	0.1481551278%
	Seattle	6.6032403816%
	Shoreline	0.0435834501%
	Skykomish	
	Snoqualmie	0.0649164481%
	Tukwila	0.3032205739%
	Woodinville	0.0185516364%
	Yarrow Point	
	County Total:	26.0505653608%

EXHIBIT B

Item 10.

County	Local Government	% Allocation
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Kitsap County

Kitsap County		2.6294133668%
Bainbridge Island		0.1364686014%
Bremerton		0.6193374389%
Port Orchard		0.1009497162%
Poulsbo		0.0773748246%
County Total:		3.5635439479%

Kittitas County

Kittitas County		0.3855704683%
Cle Elum		
Ellensburg		0.0955824915%
Kittitas		
Roslyn		
South Cle Elum		
County Total:		0.4811529598%

Klickitat County

Klickitat County		0.2211673457%
Bingen		
Goldendale		
White Salmon		
County Total:		0.2211673457%

Lewis County

Lewis County		1.0777377479%
Centralia		0.1909990353%
Chehalis		
Morton		
Mossyrock		
Napavine		
Pe Ell		
Toledo		
Vader		
Winlock		
County Total:		1.2687367832%

EXHIBIT B

Item 10.

County	Local Government	% Allocation
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Lincoln County

Lincoln County		0.1712669645%
Almira		
Creston		
Davenport		
Harrington		
Odessa		
Reardan		
Sprague		
Wilbur		
County Total:		0.1712669645%

Mason County

Mason County		0.8089918012%
Shelton		0.1239179888%
County Total:		0.9329097900%

Okanogan County

Okanogan County		0.6145043345%
Brewster		
Conconully		
Coulee Dam***		
Elmer City		
Nespelem		
Okanogan		
Omak		
Oroville		
Pateros		
Riverside		
Tonasket		
Twisp		
Winthrop		
County Total:		0.6145043345%

Pacific County

Pacific County		0.4895416466%
Ilwaco		
Long Beach		
Raymond		
South Bend		
County Total:		0.4895416466%

EXHIBIT B

Item 10.

County	Local Government	% Allocation
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Pend Oreille County

Pend Oreille County	0.2566374940%
Cusick	
Ione	
Metaline	
Metaline Falls	
Newport	
County Total:	0.2566374940%

Pierce County

Pierce County	7.2310164020%
Auburn***	0.0628522112%
Bonney Lake	0.1190773864%
Buckley	
Carbonado	
DuPont	
Eatonville	
Edgewood	0.0048016791%
Enumclaw***	0.0000000000%
Fife	0.1955185481%
Fircrest	
Gig Harbor	0.0859963345%
Lakewood	0.5253640894%
Milton***	
Orting	
Pacific***	
Puyallup	0.3845704814%
Roy	
Ruston	
South Prairie	
Steilacoom	
Sumner	0.1083157569%
Tacoma	3.2816374617%
University Place	0.0353733363%
Wilkeson	
County Total:	12.0345236870%

San Juan County

San Juan County	0.2101495171%
Friday Harbor	
County Total:	0.2101495171%

EXHIBIT B

Item 10.

County	Local Government	% Allocation
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Skagit County

Skagit County		1.0526023961%
Anacortes		0.1774962906%
Burlington		0.1146861661%
Concrete		
Hamilton		
La Conner		
Lyman		
Mount Vernon		0.2801063665%
Sedro-Woolley		0.0661146351%
County Total:		1.6910058544%

Skamania County

Skamania County		0.1631931925%
North Bonneville		
Stevenson		
County Total:		0.1631931925%

Snohomish County

Snohomish County		6.9054415622%
Arlington		0.2620524080%
Bothell***		0.2654558588%
Brier		
Darrington		
Edmonds		0.3058936009%
Everett		1.9258363241%
Gold Bar		
Granite Falls		
Index		
Lake Stevens		0.1385202891%
Lynnwood		0.7704629214%
Marysville		0.3945067827%
Mill Creek		0.1227939546%
Monroe		0.1771621898%
Mountlake Terrace		0.2108935805%
Mukilteo		0.2561790702%
Snohomish		0.0861097964%
Stanwood		
Sultan		
Woodway		
County Total:		11.8213083387%

EXHIBIT B

Item 10.

County	Local Government	% Allocation
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Spokane County

Spokane County		5.5623859292%
Airway Heights		
Cheney		0.1238454349%
Deer Park		
Fairfield		
Latah		
Liberty Lake		0.0389636519%
Medical Lake		
Millwood		
Rockford		
Spangle		
Spokane		3.0872078287%
Spokane Valley		0.0684217500%
Waverly		
County Total:		8.8808245947%

Stevens County

Stevens County		0.7479240179%
Chewelah		
Colville		
Kettle Falls		
Marcus		
Northport		
Springdale		
County Total:		0.7479240179%

Thurston County

Thurston County		2.3258492094%
Bucoda		
Lacey		0.2348627221%
Olympia		0.6039423385%
Rainier		
Tenino		
Tumwater		0.2065982350%
Yelm		
County Total:		3.3712525050%

Wahkiakum County

Wahkiakum County		0.0596582197%
Cathlamet		
County Total:		0.0596582197%

EXHIBIT B

Item 10.

County	Local Government	% Allocation
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Walla Walla County

Walla Walla County		0.5543870294%
College Place		
Prescott		
Waitsburg		
Walla Walla		0.3140768654%
County Total:		0.8684638948%

Whatcom County

Whatcom County		1.3452637306%
Bellingham		0.8978614577%
Blaine		
Everson		
Ferndale		0.0646101891%
Lynden		0.0827115612%
Nooksack		
Sumas		
County Total:		2.3904469386%

Whitman County

Whitman County		0.2626805837%
Albion		
Colfax		
Colton		
Endicott		
Farmington		
Garfield		
LaCrosse		
Lamont		
Malden		
Oakesdale		
Palouse		
Pullman		0.2214837491%
Rosalia		
St. John		
Tekoa		
Uniontown		
County Total:		0.4841643328%

EXHIBIT B

Item 10.

County	Local Government	% Allocation
Yakima County		
	Yakima County	1.9388392959%
	Grandview	0.0530606109%
	Granger	
	Harrah	
	Mabton	
	Moxee	
	Naches	
	Selah	
	Sunnyside	0.1213478384%
	Tieton	
	Toppenish	
	Union Gap	
	Wapato	
	Yakima	0.6060410539%
	Zillah	
	County Total:	2.7192887991%

Exhibit C

KING COUNTY REGIONAL AGREEMENT

King County intends to explore coordination with its cities and towns to facilitate a Regional Agreement for Opioid Fund allocation. Should some cities and towns choose not to participate in a Regional Agreement, this shall not preclude coordinated allocation for programs and services between the County and those cities and towns who elect to pursue a Regional Agreement. As contemplated in C.5 of the MOU, any Regional Agreement shall comply with the terms of the MOU and any Settlement. If no Regional Agreement is achieved, the default methodology for allocation in C.4 of the MOU shall apply.



**BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND**

**AB 6076
May 3, 2022
Consent Agenda**

AGENDA BILL INFORMATION

TITLE:	AB 6076: ADA Transition Plan Adoption	<input type="checkbox"/> Discussion Only <input checked="" type="checkbox"/> Action Needed: <input checked="" type="checkbox"/> Motion <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution
RECOMMENDED ACTION:	Adopt ADA Transition Plan.	

DEPARTMENT:	Public Works		
STAFF:	Jason Kintner, Chief of Operations Patrick Yamashita, Deputy Public Works Director Lia Klein, Transportation Engineer		
COUNCIL LIAISON:	n/a		
EXHIBITS:	1. Final ADA Transition Plan		
CITY COUNCIL PRIORITY:	n/a		

AMOUNT OF EXPENDITURE	\$ n/a
AMOUNT BUDGETED	\$ n/a
APPROPRIATION REQUIRED	\$ n/a

EXECUTIVE SUMMARY

The purpose of this agenda bill is to present the final Americans with Disabilities Act (ADA) Transition Plan (see Exhibit 1) to the City Council for adoption. For purposes of this agenda bill, the “planning team” refers to staff from multiple City departments and the project consultant team, Transpo Group.

- Development of an ADA Transition Plan is a requirement of ADA Title II (Code of Federal Regulations Title 28 Chapter 1 Part 35.150) and was included in the City’s 2021-2022 work plan.
- The Plan development included extensive public engagement through [Let’s Talk](#), MI Weekly, social media, posting at the public library, as well as direct outreach to the Mercer Island School District, care facilities on the island, and the Soul Mates walking group.
- The draft Plan was presented to the City Council in a study session on February 1, 2022 (see [AB6002](#)). The City Council directed staff to make additional efforts to solicit feedback on the draft plan.
- Staff solicited feedback on the draft plan through an enhanced outreach effort as requested by the City Council. No additional comments were received.
- Staff recommends the City Council adopt the final ADA Transition Plan, which will guide future planning work on all capital projects, maintenance activities and operations. ADA elements in the City’s parks, buildings, and public rights-of-way are an essential component of providing safe and accessible service to all community members.

BACKGROUND

The goal of the Americans with Disabilities Act is to eliminate discrimination against people with disabilities and includes guidance for government agencies to provide reasonable accommodation for accessibility to public spaces and programs. The ADA's regulations and the ADA Standards for Accessible Design, originally published in 1991 and updated in 2010, establish minimum standards for facility accessibility. ADA Title II requires that government agencies provide equal access to programs and services they offer through the completion of a Self-Evaluation and development of an ADA Transition Plan. The following is a summary of the project highlights:

- Planning work began in May 2021 and included a public engagement process (online survey, focus group, and mapping exercise to identify areas with deficiencies).
- The planning team prepared a draft ADA Transition Plan based on the public engagement process, a field inventory and review of existing assets, and review of City documents.
- The ADA Transition Plan identifies barriers on City-owned public property, such as rights-of-way, public buildings, and parks, and includes a cost estimate for associated projects to mitigate these barriers, totaling \$40M.
- The planning team provided an overview of the draft ADA Transition Plan at the City Council study session on February 1, 2022 (see [AB6002](#)).
- The draft ADA Transition Plan was posted to [Let's Talk](#) to solicit community input. Input was also solicited through direct email to stakeholder groups in the community to expand the outreach effort.

ISSUE/DISCUSSION

Final ADA Transition Plan

The ADA Transition Plan summarizes the requirements, methods, findings, and recommendations associated with achieving ADA compliance and improved accessibility for all residents. ADA Title II requirements for a Transition Plan include a self-evaluation, public engagement, data collection and analysis, development of a project list, and associated cost estimates. A summary of the components of the ADA Transition Plan is provided below:

- **Self-Evaluation:** Review of City documents relating to ADA programs, policies, and practices.
- **Public Engagement:** Summary of public feedback including an open house, community survey, focus group, and online mapping tool. Feedback on the plan was sought directly from MI School District, care facilities, Soul mates walking group, and other interested community members.
- **Data Collection:** Inventory and barrier assessment of all existing pedestrian assets within City parks, City buildings, and public rights-of-way.
- **Prioritization:** Ranking of each pedestrian asset based on a numerical score generated by physical impact to accessibility and proximity to pedestrian destinations.
- **Cost Estimates:** Development of unit cost estimates for each barrier type using recent WSDOT and other construction bid tabulations, input from subject matter experts, and planning level cost assumptions.
- **Recommendations:** Implementation strategy and identification of action items for the City to achieve compliance over time. This includes evaluation of City programs and activities, development of a process to track barrier removal, development of a grievance process, adoption of a citywide Accessible Push Button (APS) policy, and development of a Maximum Extent Feasible (MEF) documentation and database. Many of the recommended projects will be incorporated into existing CIP and TIP projects.

Community Input on Draft ADA Transition Plan

During the Study Session for the draft ADA Transition Plan, the City Council emphasized the importance of making the draft plan available for community input through several sources and soliciting additional public input. The draft Plan has been posted for 10 weeks on Let's Talk and the City website and input was received via the City's routine media channels such as Let's Talk and the MI Weekly. Additional channels used to extend the reach include social media postings, reaching out directly to the Mercer Island School District and care facilities on the Island, physical postings at City Hall and the Mercer Island Library, and reaching out directly to Soul Mates, a Mercer Island walking group suggested by the Council during the study session.

There were no additional comments received through this enhanced outreach effort. The final ADA Transition Plan remains unchanged from the draft plan presented in February 2022, apart from updates to the executive summary and the addition of a section on the legal basis of the ADA standards used in the plan.

Funding Strategy

The total investment outlined in the ADA Transition Plan is nearly \$40 million for the entire list of projects (City parks, buildings, public rights-of-way). The projects will be accomplished through a combination of specific ADA focused capital projects (e.g. ADA Transition Plan Implementation program), other capital projects that include addressing ADA deficiencies (e.g. a building renovation that also brings the space up to current ADA standards or an arterial street improvement that includes sidewalk replacement), and ongoing maintenance activities that also address ADA deficiencies. Staff will propose in the draft Six-Year Transportation Improvement Program on May 3 (AB 6068) a long-term strategy to fund the ongoing ADA Transition Plan Implementation program.

The currently approved ADA funding is \$100,000 per biennium. Over the last 20 years, the Mercer Way Roadside Shoulder Improvement Program has received approximately \$500,000 per biennium. With the Mercer Way shoulder program nearly completed (the last two segments are programmed for 2024 and 2026), a similar amount of funding could now begin to flow into ADA-related projects. Therefore, in the upcoming TIP, staff will be proposing to allocate \$400,000 per biennium (starting in 2028) for ADA Transition Plan Implementation from the funds that would have previously gone to improving the Mercer Way shoulders.

Notable projects in the next three years that focus on addressing ADA deficiencies include:

- SE 40th Street Sidewalk Improvement (SP140)
- 80th Avenue Sidewalk from SE 27th to SE 32nd Streets (SP136)
- 78th Avenue Sidewalk from SE 32nd to SE 34th Streets (SP137)
- SE 32nd Street from 77th to 78th Ave SE (SP 147)

The three Town Center sidewalk projects total \$2.9M and will be proposed to be funded with Sound Transit mitigation dollars, since the work will improve walking routes for the public to reach the light rail station. These sidewalk replacement projects are intended to improve accessibility with a focus in the Town Center, where much of the City's sidewalk network exists. As staff gains experience through the ADA barrier removal program over the next several years, funding for the ADA Transition Plan implementation can be refined as needed.

NEXT STEPS

The adopted ADA Transition Plan will be posted on Let's Talk and will be used by staff to identify necessary work for regular maintenance and capital projects moving forward. Staff will work to complete all

recommended actions identified in the ADA Transition Plan over time. City operations and programs should be evaluated by the respective departments to ensure they are readily accessible and usable by individuals with disabilities, including services and communication provided by the Island to the community.

RECOMMENDED ACTION

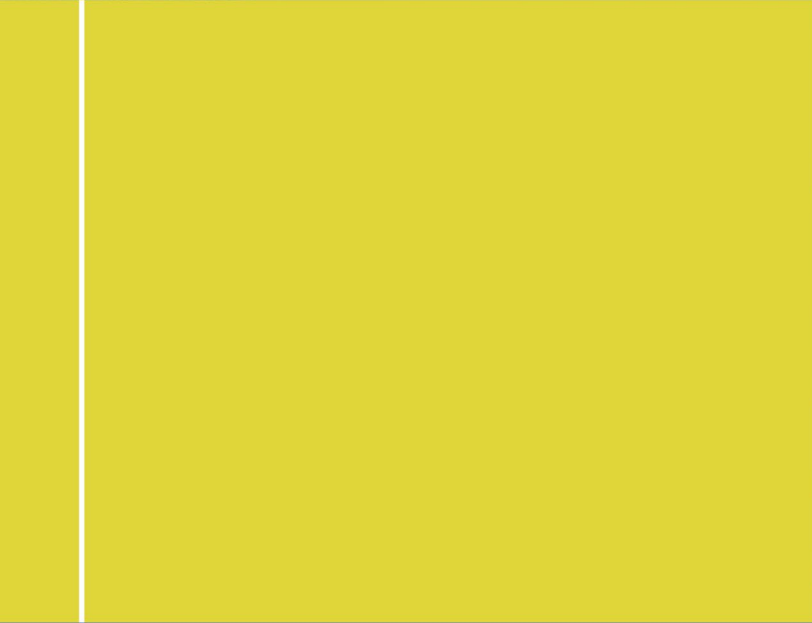
Adopt Final ADA Transition Plan.

City of Mercer Island

Americans with Disabilities Act



ADA Transition Plan



2022

Prepared by:





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Craig Reynolds, Councilmember

Ted Weinberg, Councilmember

Wendy Weiker, Councilmember

Additional copies of this document are available online at:

<https://www.mercerisland.gov/publicworks/page/ada>

For questions about the City of Mercer Island ADA Transition Plan or for access to an alternate format of this document email the City of Mercer Island ADA Coordinator Jason Kintner at jason.kintner@mercergov.org or by calling toll free, Voice: 206-275-7600 TTY Relay Service: 711

For those who are deaf or hard of hearing, the Washington State Relay can be contacted at 711 for assistance in making a request to the City.

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transpogroup 
WHAT TRANSPORTATION CAN BE.

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Executive Summary

This Americans with Disabilities Act (ADA) Self-Evaluation and Transition Plan reflects the City of Mercer Island's intention to provide equal access for all, including those with disabilities. In developing this plan, Transpo Group, a consultant working on behalf of the City of Mercer Island, has undertaken a comprehensive evaluation of City facilities and policies related to the public right-of-way to determine what types of access barriers exist for individuals with disabilities. This plan will be used to help guide future planning and implementation of necessary accessibility improvements.

Both the Self-Evaluation and the Transition Plan are required elements of the federally mandated ADA Title II [28 CFR § 35.150(d)] which requires that government agencies provide equal access to programs and services they offer. While the ADA applies to all aspects of government services, this document focuses on existing City of Mercer Island conditions within the public right-of-way, City facilities, and City parks. This includes the conditions of sidewalks, curb ramps, pedestrian crosswalk pushbuttons, bus stops, crosswalks, driveways accessible parking stalls, staircases, and wheelchair ramps.

This document summarizes the Self-Evaluation, which includes an accessibility assessment of pedestrian facilities as well as practices and procedures which relate to them, such as curb ramp design standards. It also contains a Transition Plan, which identifies a suggested schedule for the removal of barriers and identifies how the City will address requests for accommodations in a consistent manner.

The City's intent is to identify and address physical barriers within the public right-of-way and City facilities including buildings and parks using operation and maintenance, overlay, and Capital Improvement Program (CIP) project funding. The City will prioritize barrier removal and replacement in future years in accordance with goals established by the City Council and available funding. In addition, the City is continually working towards maintaining ADA compliance for all future public right-of-way and facilities as well as capital improvement projects, permitted development, and any other right-of-way construction projects.

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1 Plan Introduction

1.1 Plan Requirement

The Americans with Disabilities Act (ADA) was enacted on July 26, 1990 and provides comprehensive civil rights protections to persons with disabilities in the areas of employment, state and local government services, and access to public accommodations, transportation, and telecommunications.

Cities and other government agencies are required to have an ADA self-evaluation and transition plan when they grow beyond a threshold of 50 employees. Accessibility requirements extend to all public facilities. The scope of this plan is focused on accessibility within the public rights-of-way, parks, and building facilities.

The City completed an inventory of some of its pedestrian facilities and this plan allows the City to prioritize removal of barriers and update procedures as they relate to the public right-of-way.

There are five titles, or parts, to the ADA of which Title II is most pertinent to travel within the public right-of-way and government owned buildings. Title II of the ADA requires public entities to make their existing “programs” accessible “except where to do so would result in a fundamental alteration in the nature of the program or an undue financial and administrative burden.” Public right-of-way, public government buildings, and public parks all fall within the City’s programs.

This effort was initiated by the City of Mercer Island to satisfy the requirements of ADA Title II Part 35, Subpart D: Program Accessibility § 35.150 (d)(3) which states:

The plan shall, at a minimum:

- i. Identify physical obstacles in the public entity’s facilities that limit the accessibility of its programs or activities to individuals with disabilities;
- ii. Describe in detail the methods that will be used to make the facilities accessible;
- iii. Specify the schedule for taking the steps necessary to achieve compliance with this section and, if the time period of the transition plan is longer than one year, identify steps that will be taken during each year
- iv. Indicate the official responsible for implementation of the plan.

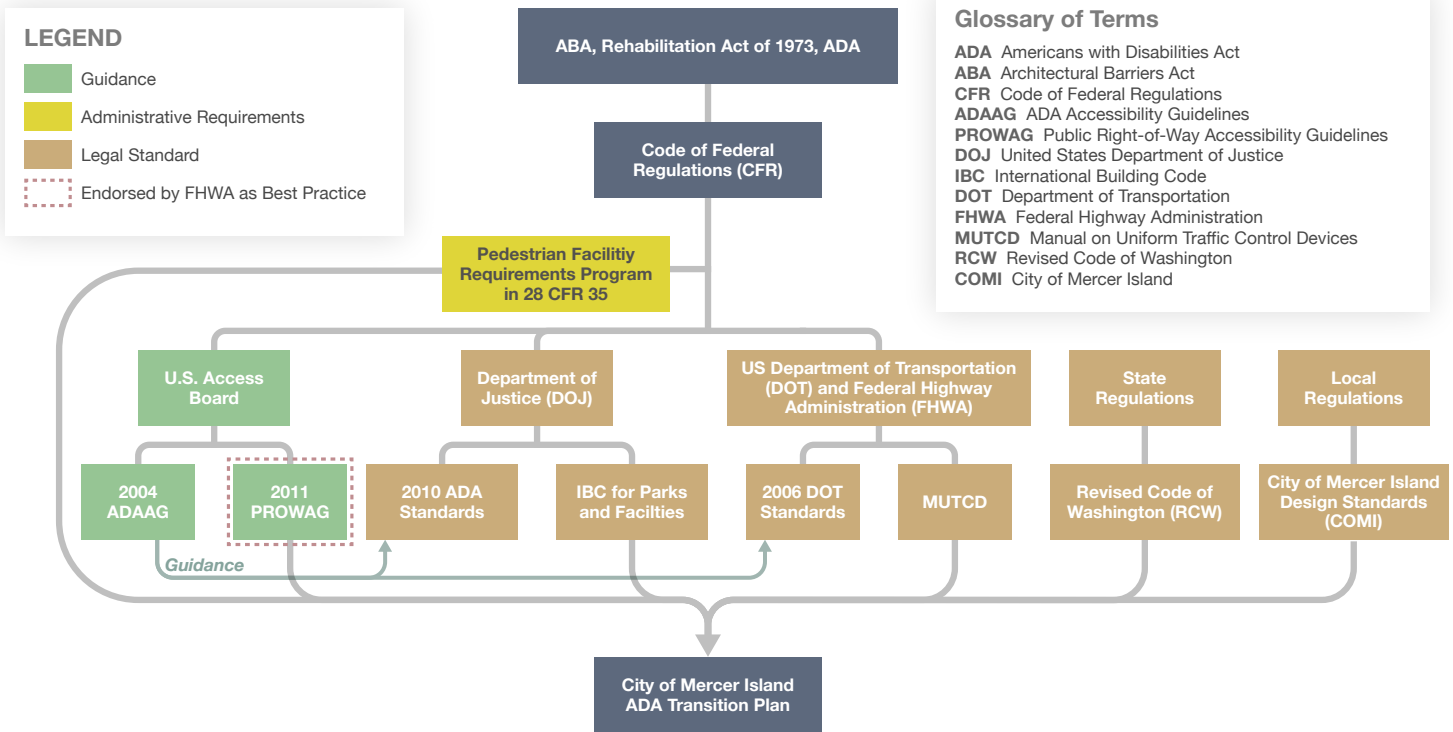


Figure 1-1 Source of ADA Requirements

To determine the physical obstacles in a public entity’s facility, the proper standards and guidance must be identified for each feature type.

The 2010 ADA Standards for Accessible Design (ADAS), is the standards document in which all Federal ADA standards are collectively held. The 2010 ADAS and regulations from the 28 CFR Part 36 replaced the 1991 ADA (ADA Accessibility Guidelines (ADAAG)).

The [Revised Draft Guidelines for Accessible Public Rights-of-Way](#) was published by the United States Access Board in 2005 to provide guidance on establishing accessible facilities within the right-of-way. The United States Access Board’s [Proposed Guidelines for Pedestrian Facilities in the Public Right-of-Way](#), or PROWAG, was then published for comment in 2011 as a revised set of guidelines for right-of-way pedestrian facilities. Both the 2005 and 2011 guidelines have not yet been adopted as federal standards. Despite this delay, many public entities currently use the 2005 draft PROWAG as ‘best practice’ for features within the public rights-of-way. This practice has been endorsed by the Federal Highway Administration (FHWA), the US Access Board, and is the standard the Washington Department of Transportation adheres to.

The public right-of-way facilities evaluated under this plan were evaluated against 2011 PROWAG as this is the latest guideline developed by the Access Board.

1.2 Plan Structure

The structure of this plan was organized to closely follow federal ADA transition plan requirements. This includes:

Chapter 1: Introduction

Chapter 2: Self-Evaluation Documents Self-Evaluation methods and findings for policies, practices, design standards, and pedestrian facilities that result in accessibility barriers.

Chapter 3: Stakeholder Engagement Documents public engagement methods and findings.

Chapter 4: Pedestrian Barrier Removal Methods and Schedule Provides an overview of existing barrier removal approaches employed by the City, describes barrier removal priorities, and develops a total planning level cost estimate for the removal of existing pedestrian barriers and an accompanying schedule.

Chapter 5 Recommendations and Next Steps Provides a set of recommendations to inform the implementation of this Transition Plan and ongoing removal of pedestrian barriers.

Several associated appendix items are included to supplement this plan.

2 Self-Evaluation

Title II of the Americans with Disabilities Act (ADA) requires that jurisdictions evaluate services, programs, policies, and practices to determine whether they comply with the nondiscrimination requirements of the ADA.

This chapter describes the methods and findings of the Self-Evaluation. Section 2.1 provides an overview of ADA-related City policies. Next, Section 2.2 reviews county practices and design standards. Finally, Section 2.3 summarizes the Self-Evaluation's field data collection methods and findings regarding existing pedestrian facilities, such as sidewalks and curb ramps.

2.1 Policy Review

The City of Mercer Island primarily addresses pedestrian facilities in their City of Mercer Island Standard Details and Municipal Code. The City of Mercer Island Comprehensive Plan (2016) also includes goals and policies that address pedestrian connectivity.

The policies and standards were reviewed against the Access Board's Proposed Guidelines for Pedestrian Facilities in the Public Right-of-Way, PROWAG 2011 and recommendations were provided to fill gaps as they relate to the ADA.

2.1.1 Method

These documents were reviewed for content that relate to existing ADA programs, policies, and practices.

2.1.2 Findings

The City of Mercer Island develops a Comprehensive Plan in order to complete long range planning for the City. The latest version of this plan was updated in 2016. The plan covers topics including land use, housing, transportation, utilities, capital facilities, and shoreline master program policies.

Goals and policies connected to transportation, specifically pedestrian facilities, within the Comprehensive Plan generally include the following:

- Encourage measures to reduce vehicular trips using Transportation Demand Management strategies
- Provide for and encourage non-motorized travel modes

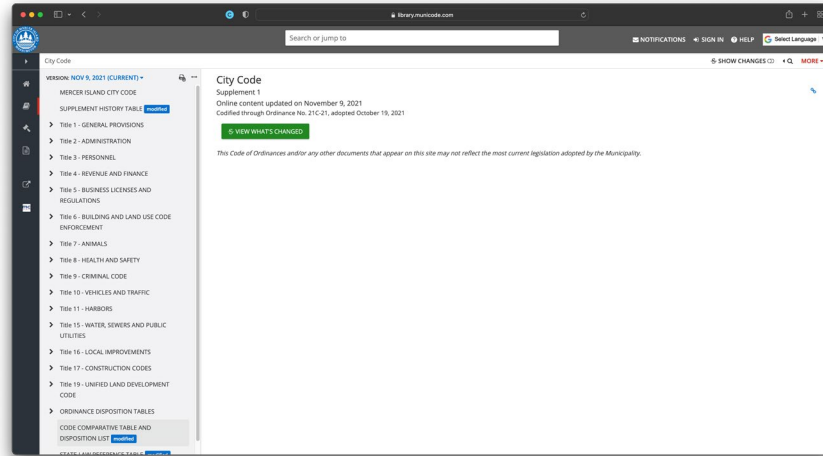


Figure 2-1 City of Mercer Island Municipal Code Web Page

- Improve pedestrian access to transit with on and off road pedestrian improvements
- Encourage site and building design that promotes pedestrian activity, rideshare opportunity, and transit use
- Promote development of pedestrian linkages between public development, private development, and transit
- Promote a multi-modal transportation system
- Promote bicycle and pedestrian networks that safely access and link commercial areas, residential areas, schools, and parks within the City
- Meet ADA requirements and apply ADA standards to the development of the transportation system

2.2 Practices and Design Standards

Practices and design standards that meet accessibility standards are essential to ensure that new or upgraded pedestrian facilities are accessible and therefore reduce the number of accessibility barriers throughout the City.

This section summarizes a review of the City of Mercer Island Standard Details (MI Std.) and City of Mercer Island Municipal Code (MIC) (to identify any barriers to accessible design. The review was conducted in November 2021. For greater detail on the practices and standards review, see **Appendix A** for a barrier audit memo.

2.2.1 Public ROW

Practices and design standards that meet accessibility standards are essential to ensure new or upgraded pedestrian facilities are accessible and that these upgrades contribute to the removal of accessibility barriers throughout the City. This section summarizes a review of City practices and design standards for barriers and includes major findings of this work. Complete documentation of this work can be found in **Appendix A**. The audit was conducted in November of 2021.

2.2.1.1 Method

The City of Mercer Island Standard Details and MIC were reviewed for compliance with ADA guidelines found in the 2011 Proposed Guidelines for Pedestrian Facilities in the Public Right-of Way (PROWAG).

2.2.1.2 Findings

The City of Mercer Island maintains the MIC and adopted design standard plans for sidewalks, curb ramps, parking spaces, and driveways. Figure 2-1 shows the web pages where the municipal code can be accessed.

The City's design standards and code are limited to guidance for sidewalks, curb ramps, parking spaces, driveways, and stairways. This represents a portion of the design elements associated with ADA compliance. The review recommended several changes to the current City standards to achieve ADA compliance and improve clarity. Most recommendations to the City standards were intended to improve clarity, increase consistency across figures, and provide a greater level of detail for design elements that have not yet been addressed.

The City standards and code do not address or only partially address crosswalks, signals, transit stops, ramps, and handrails. It is recommended for many of these areas that the City may:

- Modify the City of Mercer Island Municipal Code to adopt the WSDOT Design Manual Chapter 15 **or**
- Modify the City of Mercer Island Municipal Code to include a section detailing the recommended design requirements that are currently missing **or**
- Modify the City of Mercer Island Municipal code to adopt a City of Mercer Island Design Manual with chapters pertaining to each of the design elements associated with ADA compliance.

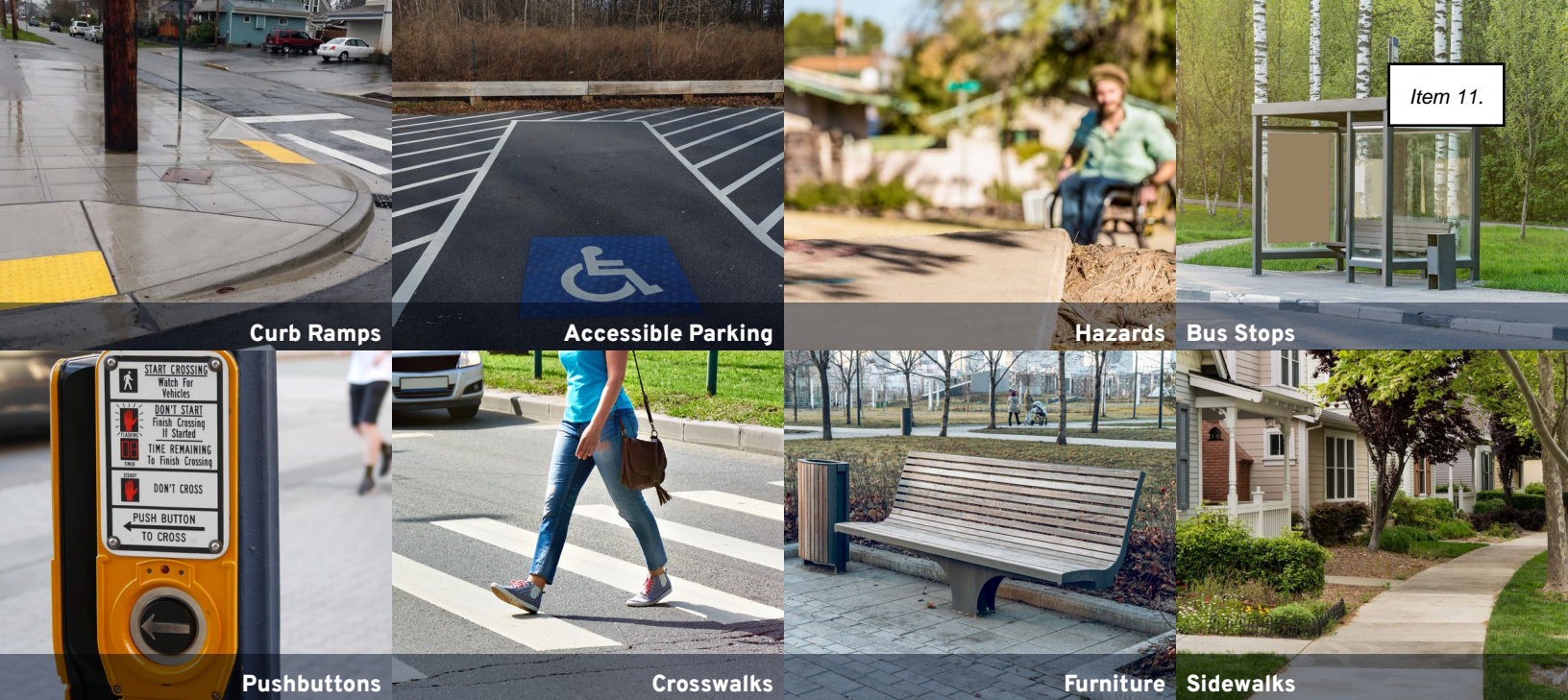


Figure 2-2 Public Right-of-Way (ROW) Features

2.2.2 Facilities & Parks

2.2.2.1 Method

The design of facilities and parks are governed by a variety of state, national, and international building codes.

Since the majority of these codes are developed on a national or international level, it was assumed that these codes comply with relevant ADA standards.

2.3 Existing Pedestrian Facilities

The Self-Evaluation inventoried barriers to access associated with existing pedestrian facilities, including curb ramps, sidewalks, pedestrian pushbuttons, as required by ADA Title II Part 35, Subpart D – Program Accessibility § 35.150 (d)(3). Each facility and associated barriers were field inventoried and cataloged within the project’s geospatial (GIS) database. Field data was collected by Transpo from June 2021 to October 2021.

2.3.1 Public ROW

Many existing pedestrian features within Mercer Island right-of-way contain barriers and require improvements to meet current ADA standards. It is important to note that many of these facilities were constructed before the adoption of current ADA standards, and likely met applicable state and federal standards at the time of construction. Additionally, it is important to note that ADA regulations require

facilities to be made accessible to “the maximum extent feasible,” (MEF) in “circumstances when the unique characteristics of terrain prevent the incorporation of accessibility features” (U.S. Department of Justice, 28 CFR § 35.151 New construction and alterations). These circumstances are often a result of adjacent topography or otherwise constrained locations, which are common to the Mercer Island road system. This plan’s Self-Evaluation examined whether facilities were compliant with current ADA design requirements; it did not examine whether non-compliant facilities were built to the maximum extent feasible or practical.

Additional detail regarding the Self-Evaluation’s findings for curb ramps, sidewalks, and pedestrian pushbuttons is provided in the following sections.

2.3.1.1 Method

A self-evaluation of facilities within the public right-of-way was conducted by Transpo group.

The physical inventory of pedestrian facilities, as shown in Figure 2-2, included:

- 885 sidewalks, totaling approximately 34 miles
- 792 curb ramps
- 84 signal pushbuttons
- 144 bus stops
- 326 driveways
- 58 staircases
- 10 wheelchair ramps

Inventory maps of collected pedestrian features can be found in **Appendix B**.

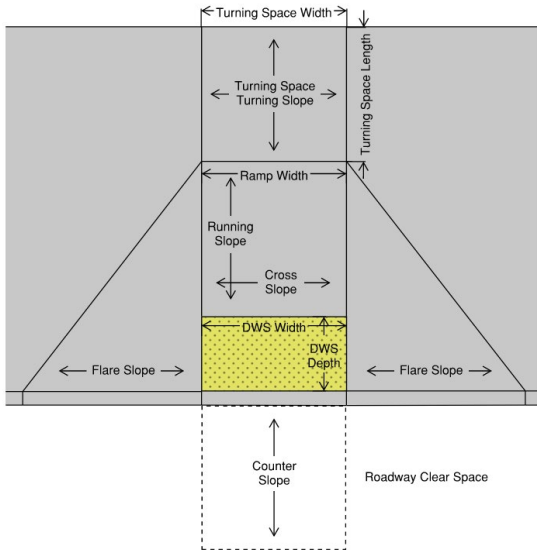


Figure 2-3 Perpendicular Curb Ramp Attributes

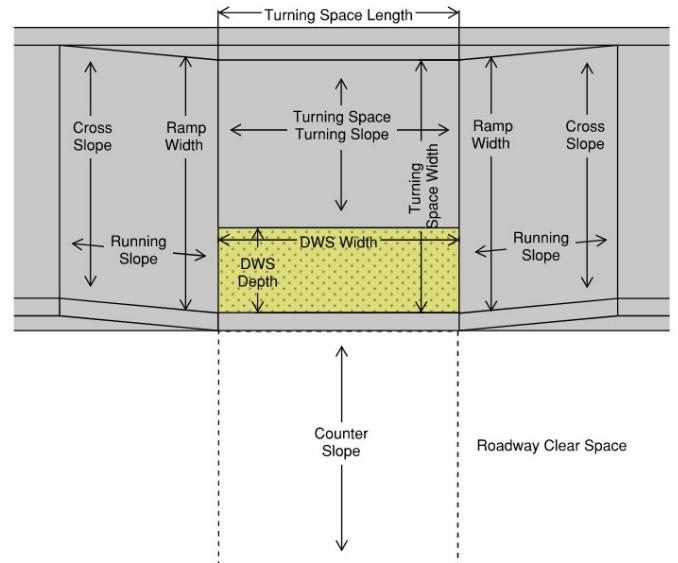


Figure 2-4 Parallel Curb Ramp Attributes

Curb Ramps

Field data was collected for existing curb ramps by Transpo. The field data was then evaluated for their compliance with ADA standards. Figures 2-3 and 2-4 show the major components of typical perpendicular and parallel curb ramps, respectively, two common types of curb ramps. Less common ramp types, such as ramps that provide a transition from the end of a sidewalk to the road shoulder are also located in the city.

Each curb ramp was reviewed for compliance, then scored based on the degree to which the barrier impeded accessibility. Curb ramps were scored using a scale of 0-30 and categorized as follows:

- 0: Compliant
- 1-29: Minor Compliance Issue
- 30: Significant Compliance Issue

These scores are referred to as the Accessibility Index Score (AIS). Curb ramps that had running slopes that were too steep received a score of 30 and were considered non-compliant. Curb ramps that had cross slopes slightly above the compliant threshold received a score of 25 while steeper cross slopes received a 30. Other criteria relating to turning space, flare slopes, detectable warning surfaces (DWS), obstructions, and condition were weighted lower, but could cumulatively reach the threshold for non-compliance.

Scoring and compliance criteria are discussed in more detail in Section 4.2.1 and in **Appendix C**.

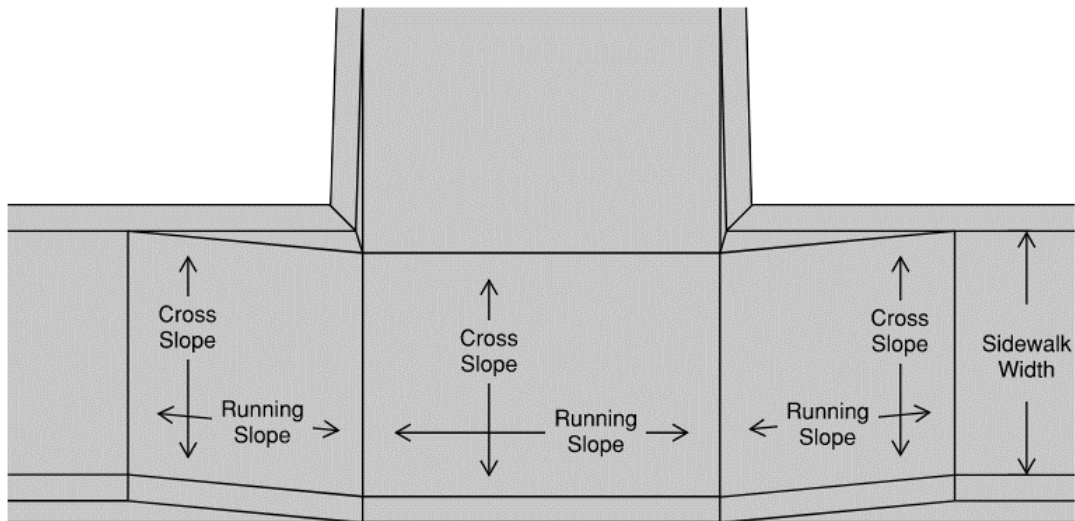


Figure 2-5 Sidewalk Attributes

Sidewalks

Field data was collected for sidewalks by the Transpo. This field data collection for sidewalks was completed along the length of each segment and then evaluated for their compliance with ADA standards. Common attributes for sidewalks are shown in Figure 2-5.

Each sidewalk was reviewed for compliance, then score based on the degree to which the barrier impeded accessibility.

- Sidewalk Width, i.e., the sidewalk is too narrow,
- Sidewalk Condition, i.e., amount of cracking.
- Number of barriers, i.e., vertical discontinuity, vegetation, non-slip lid, protruding obstacles, etc.

Sidewalks were scored using a scale of 0-30 and categorized as follows:

- 0: Compliant
- 1-15: Minor Compliance Issue
- 16-30: Significant Compliance Issue

Scoring and compliance criteria are discussed in more detail in Section 4.2.1 and in **Appendix C**.

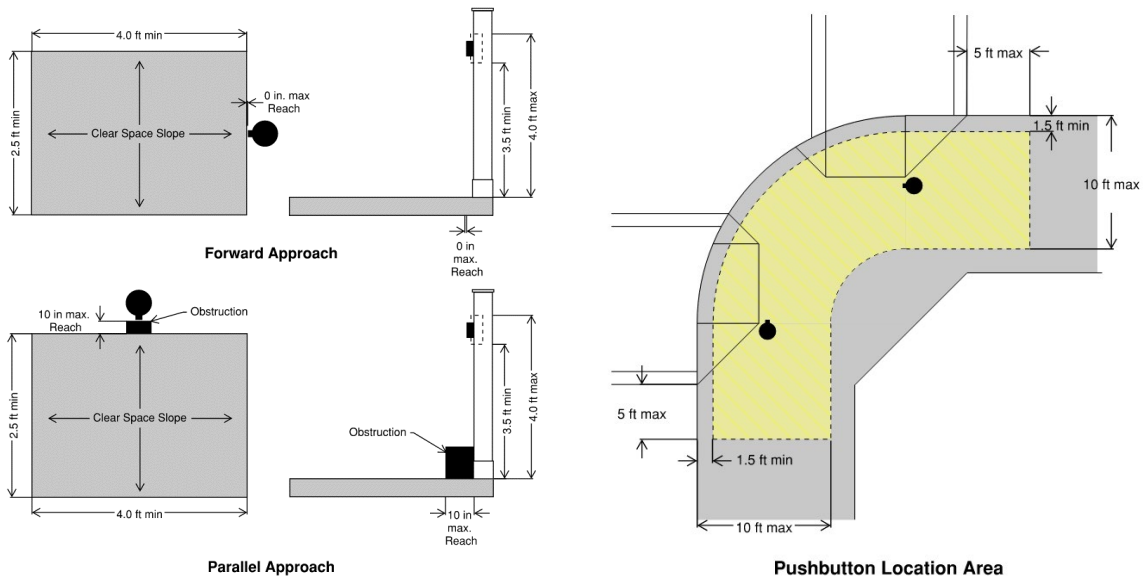


Figure 2-6 APS Pedestrian Pushbutton Location Attributes

Signal Pushbuttons

Accessible pedestrian signals and pushbuttons (APS) provide integrated visual, audible, and vibrotactile information to help pedestrians cross signalized intersections. Some pushbuttons can be programmed to request an extended crossing time or to make the name of the street being crossed audible when pushed for a longer time.

Field data was collected for pedestrian pushbuttons at traffic signals by Transpo Group. Data collectors recorded location and design attributes for each pushbutton. Location attributes included reach distance to the button, availability of a clear and level area at the button, and the location relative to the intersection and corresponding crosswalk (see Figure 2-6). Design

attributes included visual and tactile elements, such as a raised arrow pointing to the crossing, as well as features that provide audible and vibrational feedback.

Each pedestrian pushbutton was reviewed for compliance using fifteen criteria, then scored based on the degree to which the barrier impeded accessibility.

Pushbutton scores ranged from 0-30 and were categorized as follows:

- 0: Compliant
- 1-15: Minor Compliance Issue
- 16-30: Significant Compliance Issue

Scoring and compliance criteria are discussed in more detail in Section 4.2.1 and in **Appendix C**.



2.3.1.2 Findings

Curb Ramps

Approximately 98% of the 792 existing curb ramps do not meet ADA standards (see Table 2-1 and Figure 2-7).

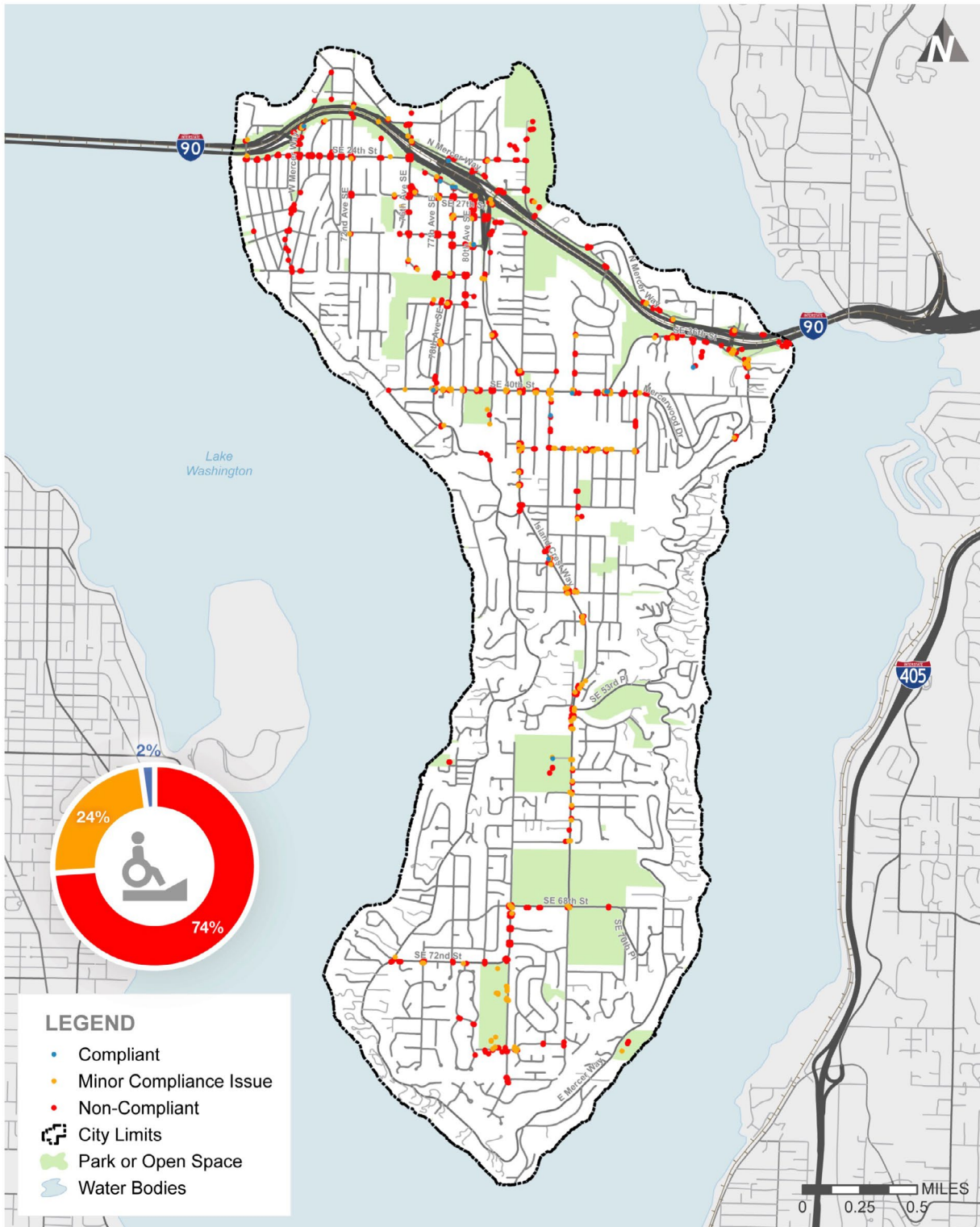
As discussed in Section 2.3.1, non-compliant ramps are those that have:

- Non-compliant ramp width, i.e., the ramping area is not present or too narrow (Figure 2-8).
- Non-compliant running slope, i.e., the ramp running slope is too steep (Figure 2-9). 288 curb ramps have running slopes greater than 8.3%.
- Non-compliant cross slope, i.e., the cross slope is too steep (Figure 2-10). 503 curb ramps have cross slopes greater than 2%, 312 of which have cross slopes greater than 3%.
- Several minor non-compliant features, such as flare slope, detectable warning surface (DWS) placement, receiving ramp, etc.

Table 2-1 Existing Curb Ramp Compliance

Curb Ramp Compliance	Total	
	Miles	% of Total
Significant Compliance Issue	589	74%
Minor Compliance Issue	187	24%
Compliant Ramps	16	2%
Total	792	

Curb ramps are designed and constructed to tie into the existing roadway. As noted previously, steep or otherwise constrained locations may make it infeasible to meet ADA grade standards. When it is not feasible to remove all curb ramp barriers, ramps may be built to the maximum extent feasible (MEF) to satisfy ADA requirements. This planning level Self-Evaluation did not examine whether non-compliant ramps were built to the maximum extent feasible. See Section 5.1 for additional information regarding MEF documentation.



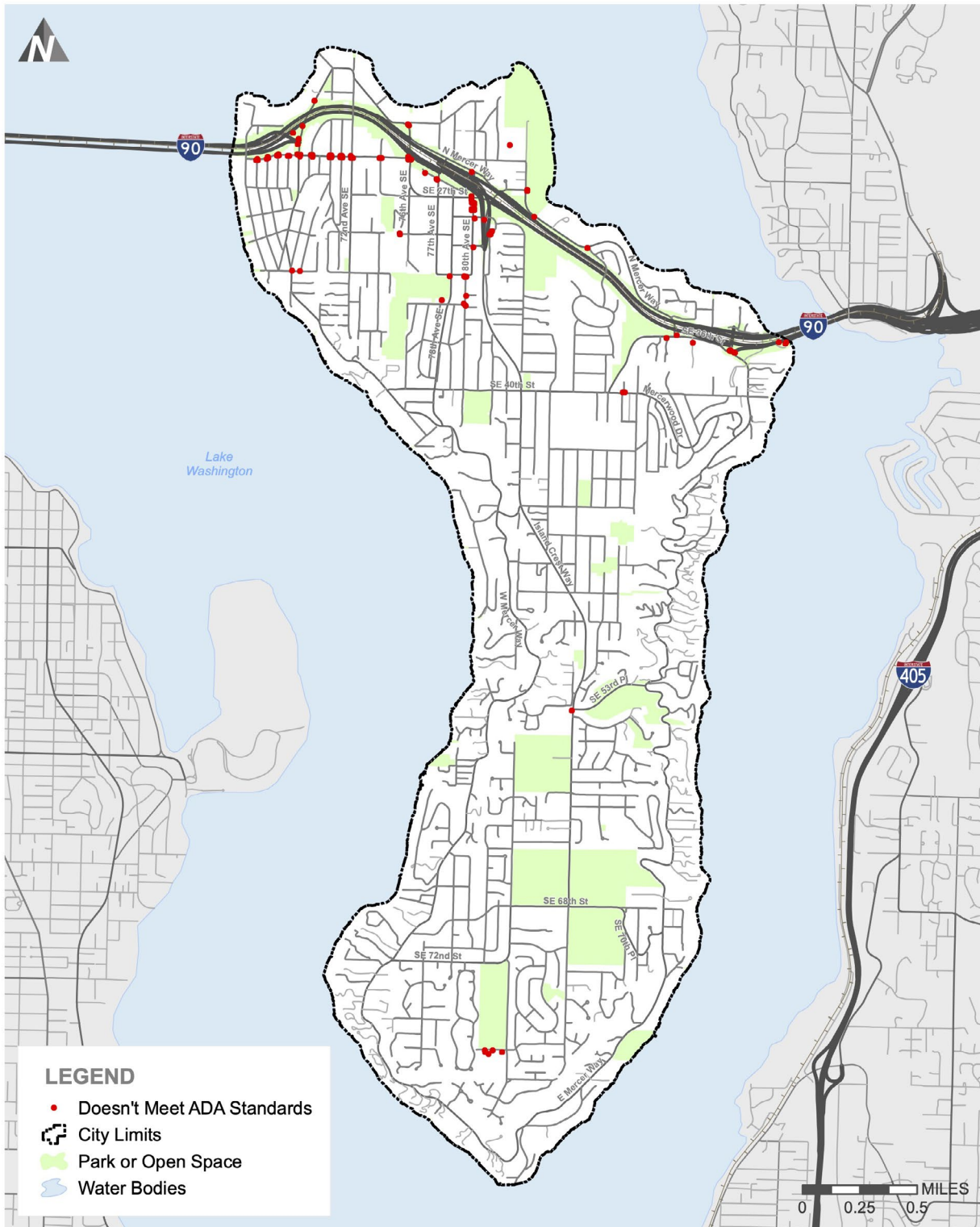
Non-Compliant Curb Ramp

City of Mercer Island ADA Transition Plan

FIGURE

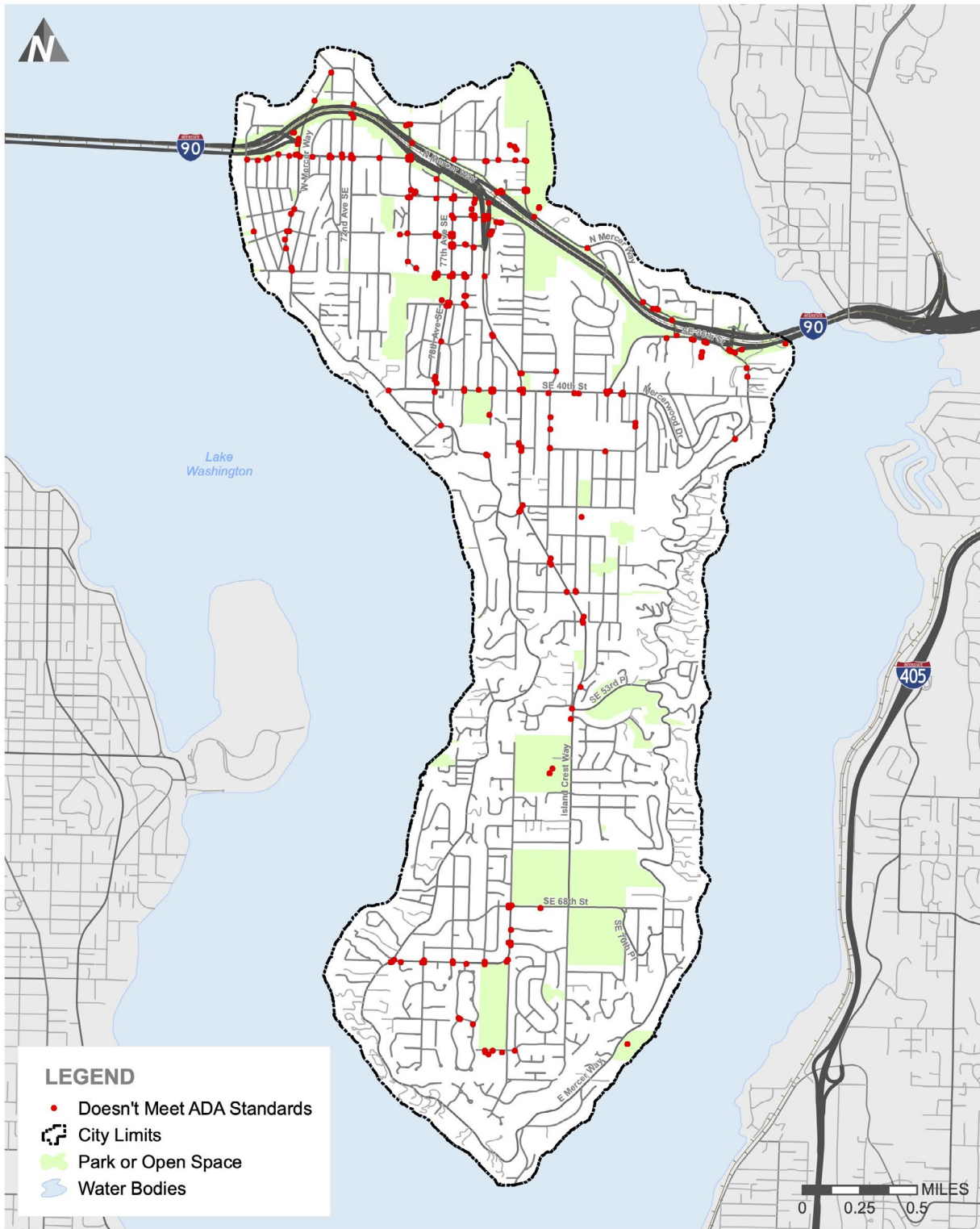
2-7





Curb Ramp Width
City of Mercer Island ADA Transition Plan

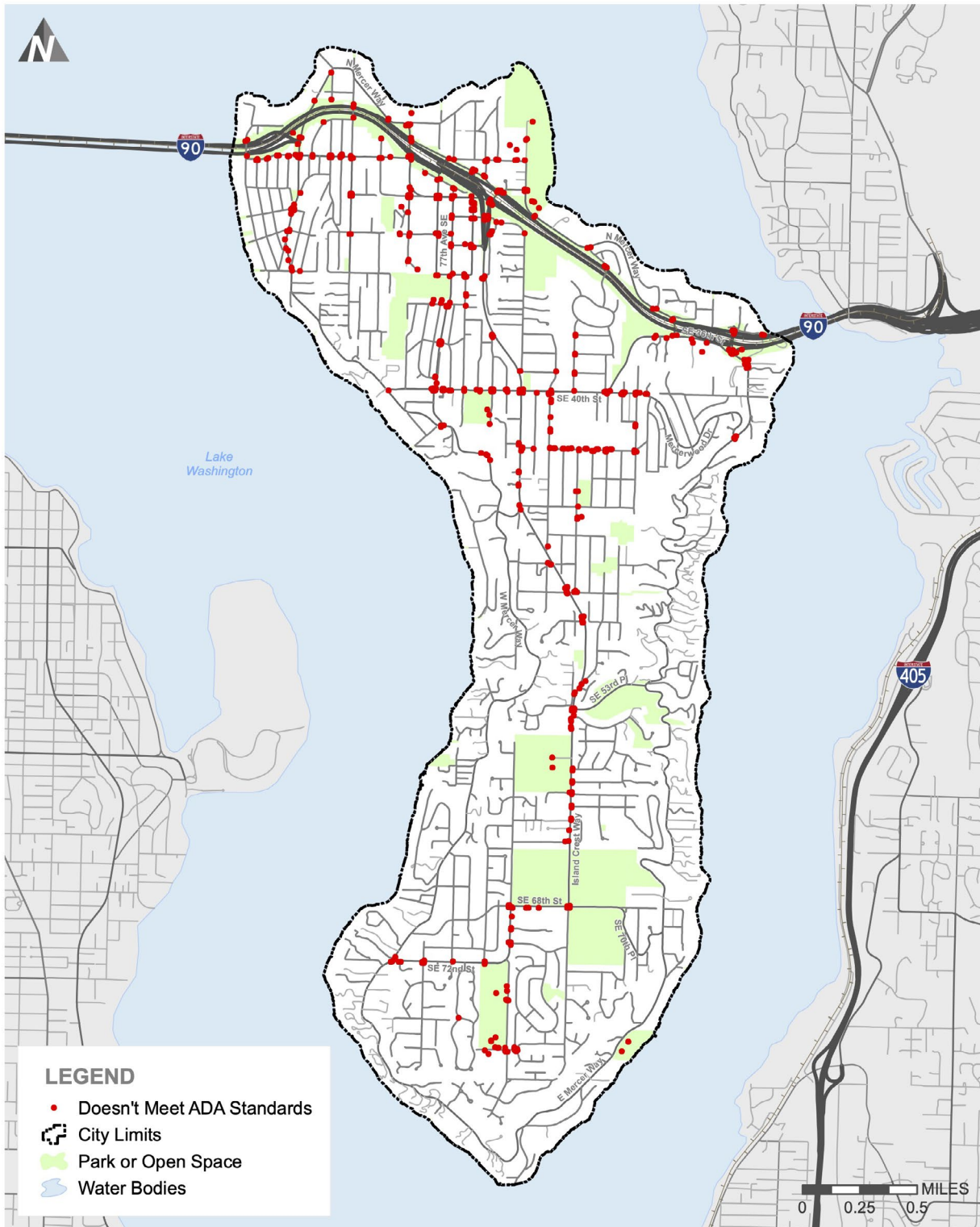
FIGURE
2-8
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Curb Ramp Running Slope
City of Mercer Island ADA Transition Plan

FIGURE
2-9

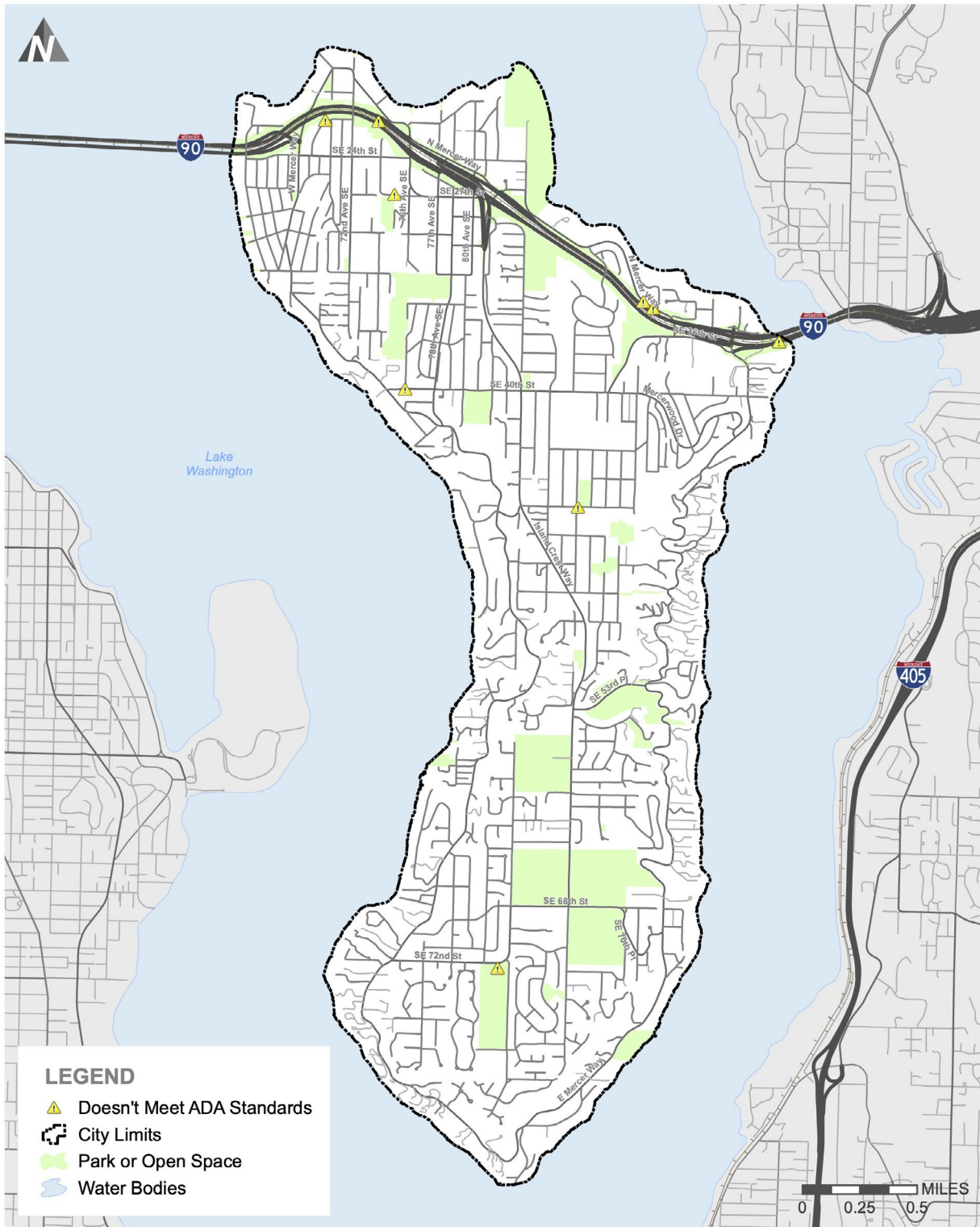




Curb Ramp Cross Slope
City of Mercer Island ADA Transition Plan

FIGURE
2-10





Curb Ramp No Receiving Ramp

City of Mercer Island ADA Transition Plan

FIGURE

2-11



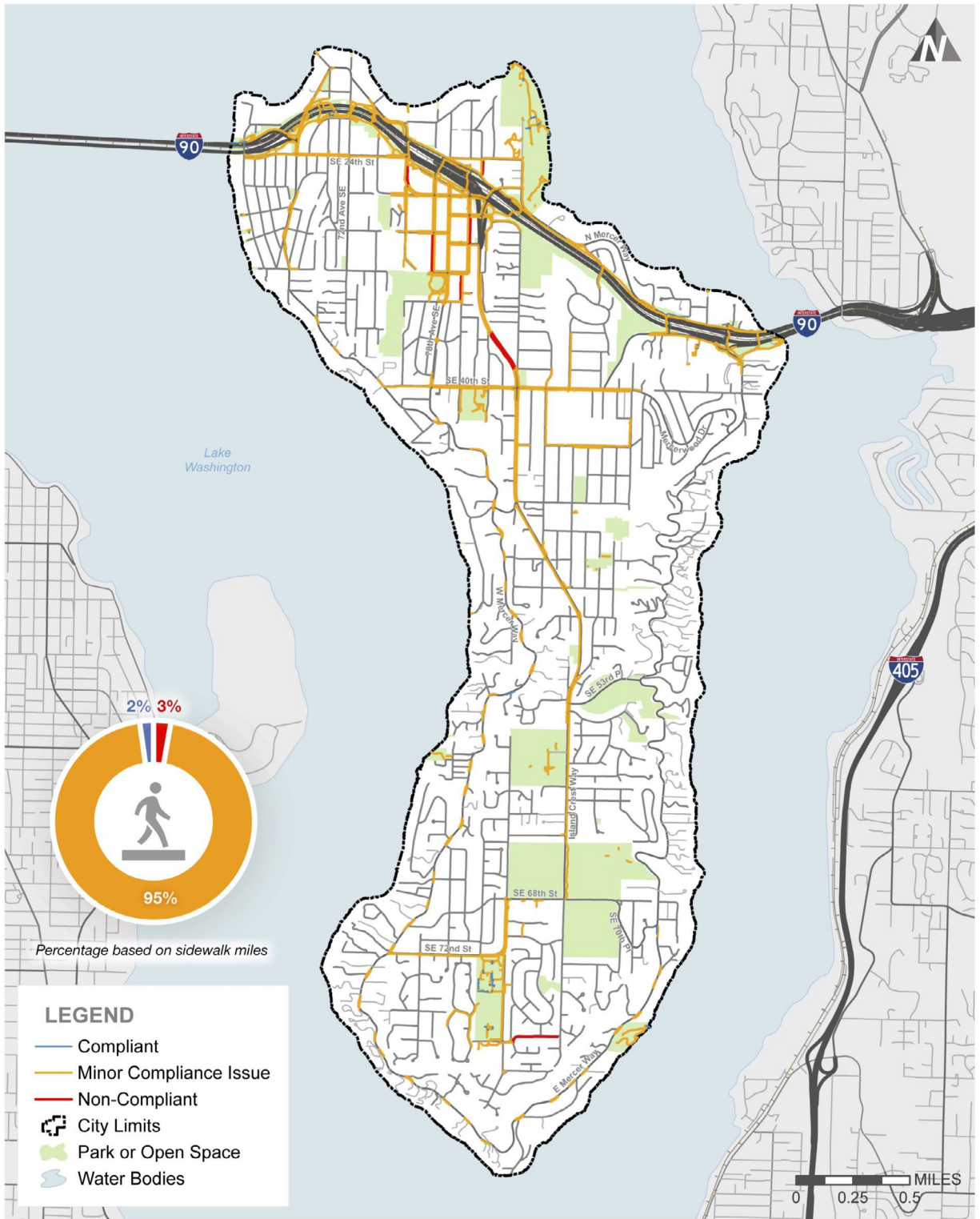


Sidewalks

Approximately 34 miles of sidewalk were inventoried with approximately 98% not meeting ADA standards (see Table 2-2 and Figure 2-12). Grinding, patch repair, and full reconstruction are potential solutions for removing the sidewalk barriers depending on the severity of the barrier.

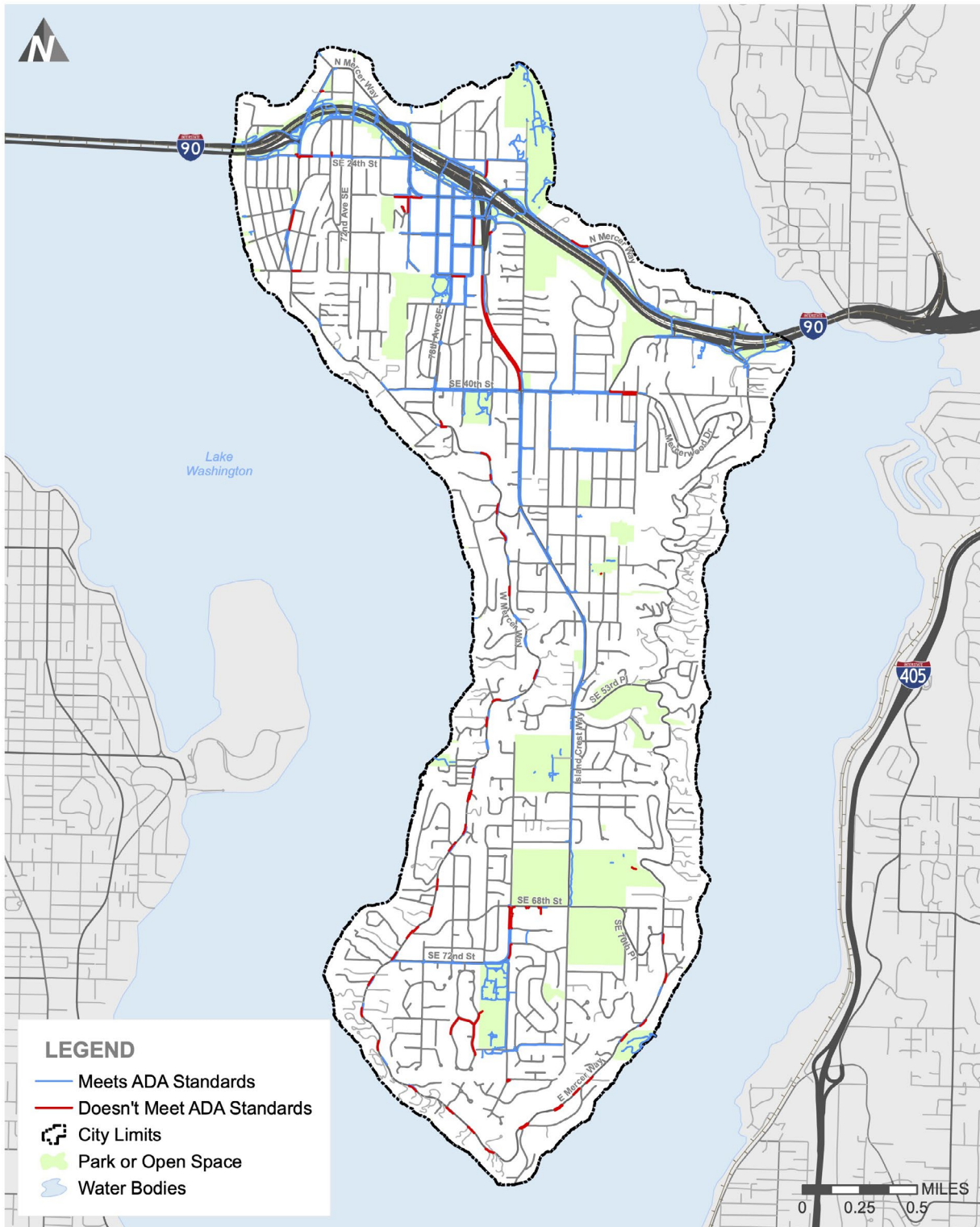
Table 2-2 Sidewalk Compliance

Sidewalk Compliance	Total	
	Miles	% of Total
Significant Compliance Issue	1	3%
Minor Compliance Issue	32	95%
Compliant	1	2%
Total	34	



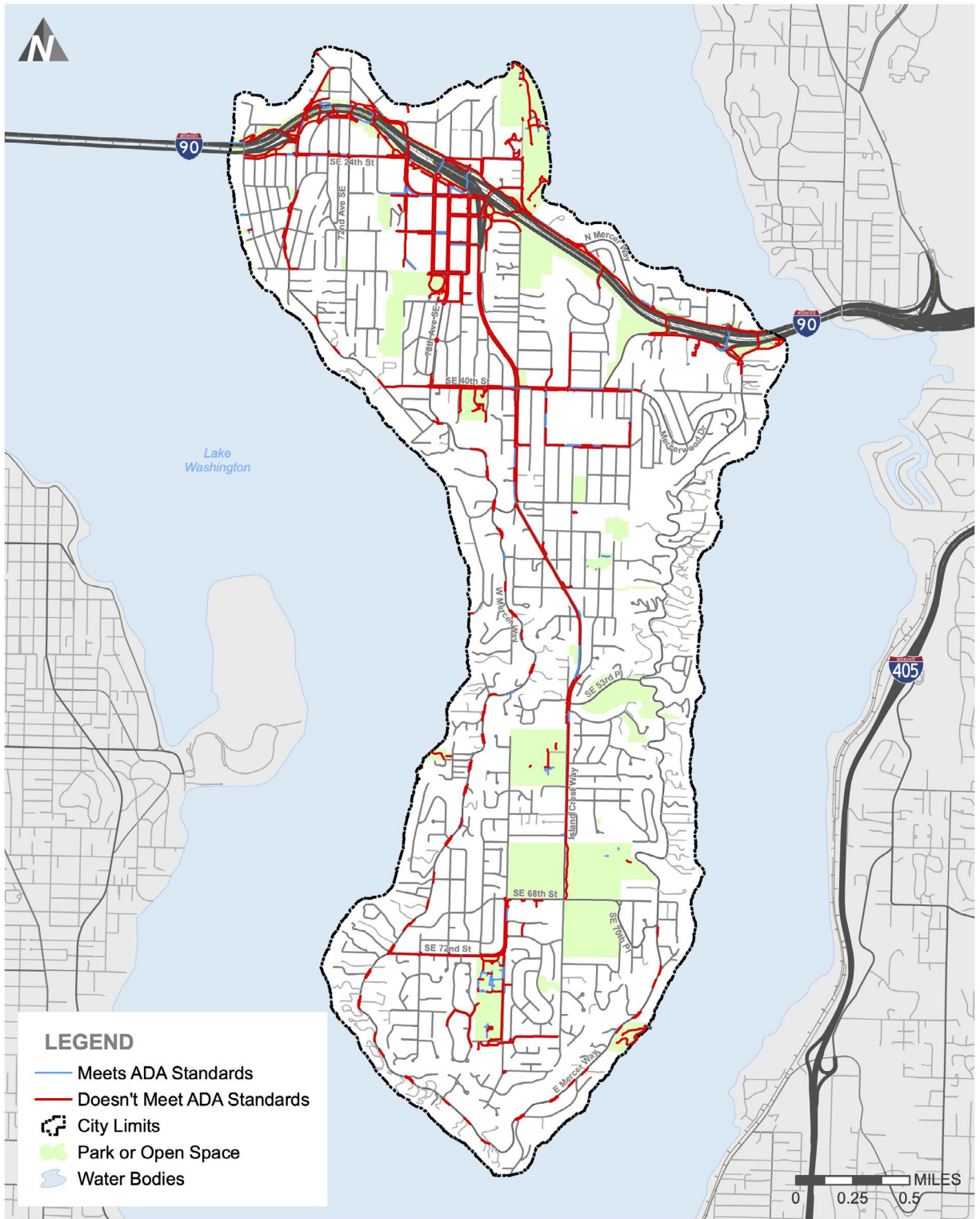
Non-Compliant Sidewalk
 City of Mercer Island ADA Transition Plan

FIGURE 2-12
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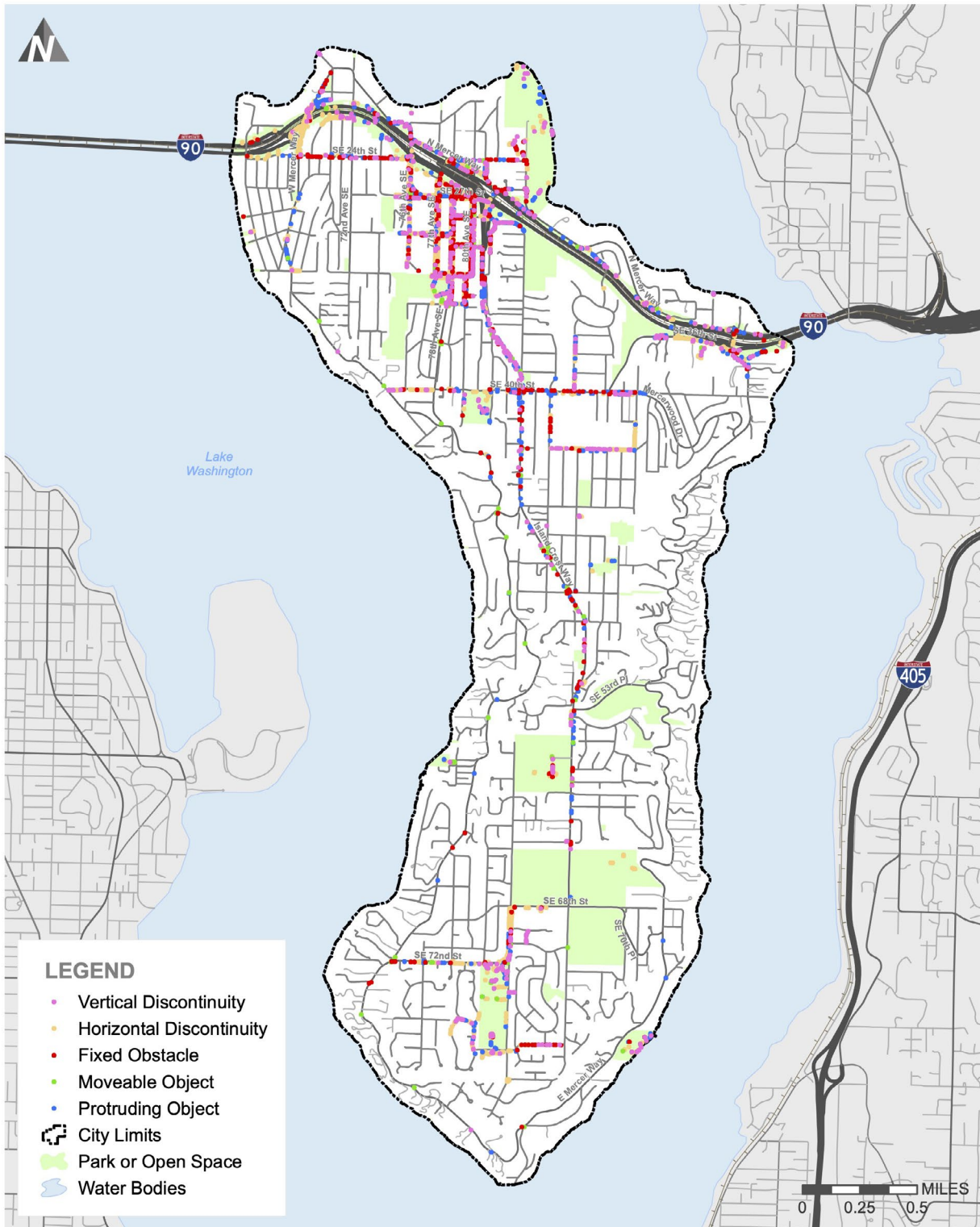
Sidewalk Width
City of Mercer Island ADA Transition Plan

transpogroup **FIGURE 2-13**



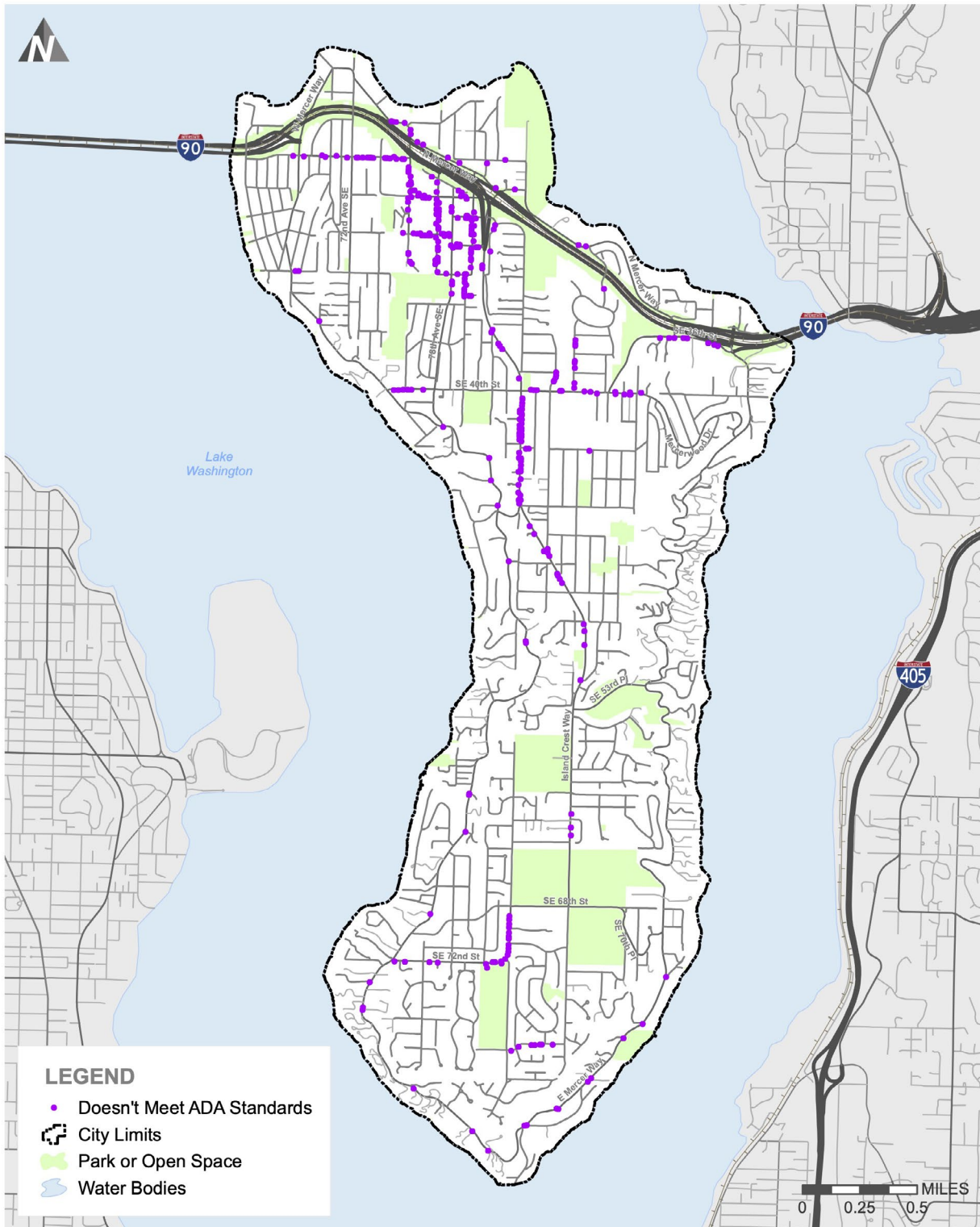
 **Sidewalk Cross Slope**
City of Mercer Island ADA Transition Plan

FIGURE 2-14
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Sidewalk Barriers
City of Mercer Island ADA Transition Plan

FIGURE 2-15
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Non-Compliant Driveways Along Sidewalk

City of Mercer Island ADA Transition Plan

FIGURE

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Item 11.

Figure 2-17 “H-style” (left) and APS-style pedestrian pushbutton (right)

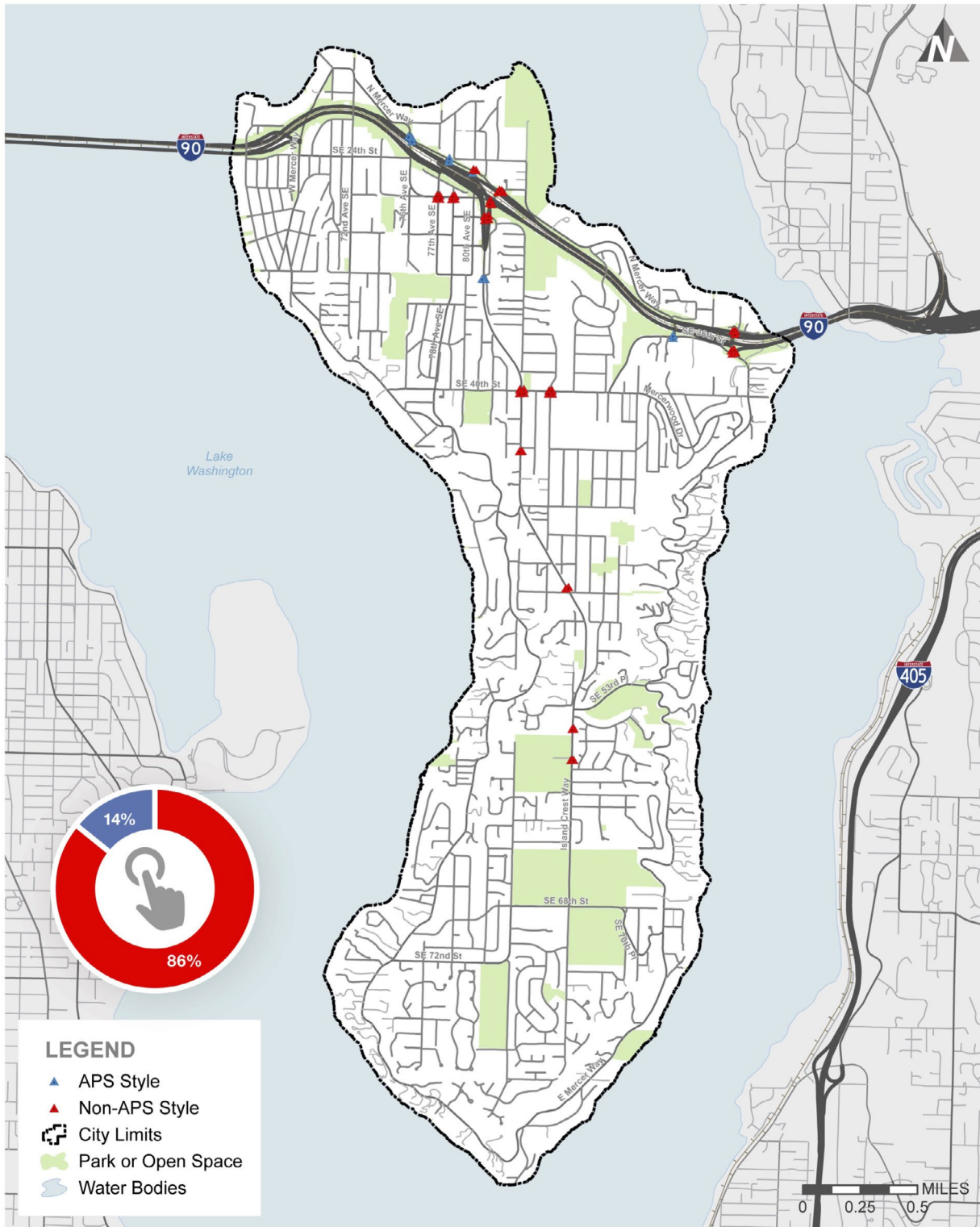
Signal Pushbuttons

All of the 84 inventoried pedestrian pushbuttons were not fully ADA compliant. The non-compliant pedestrian pushbuttons include non-APS style buttons to be replaced and APS-style buttons to be reprogrammed or relocated.

Approximately 86% of pedestrian pushbuttons in the city are an older “H-style” design (see Figure 2-17 top). This style of pushbutton can be upgraded to increase accessibility but must be fully replaced with an accessible pedestrian signal (APS)-style pushbutton to achieve full ADA compliance (see Figure 2-17).

The requirement to use APS-style pushbuttons is relatively new and lack of compliance is typically due to a crossing not being upgraded over time to reflect evolving requirements. Pushbuttons are typically upgraded to APS-style in groups rather than individually. As a result, APS-style additions and upgrades usually occur on an intersection-by-intersection basis.

Figure 2-18 demonstrates the type and locations of these pushbuttons throughout the city.



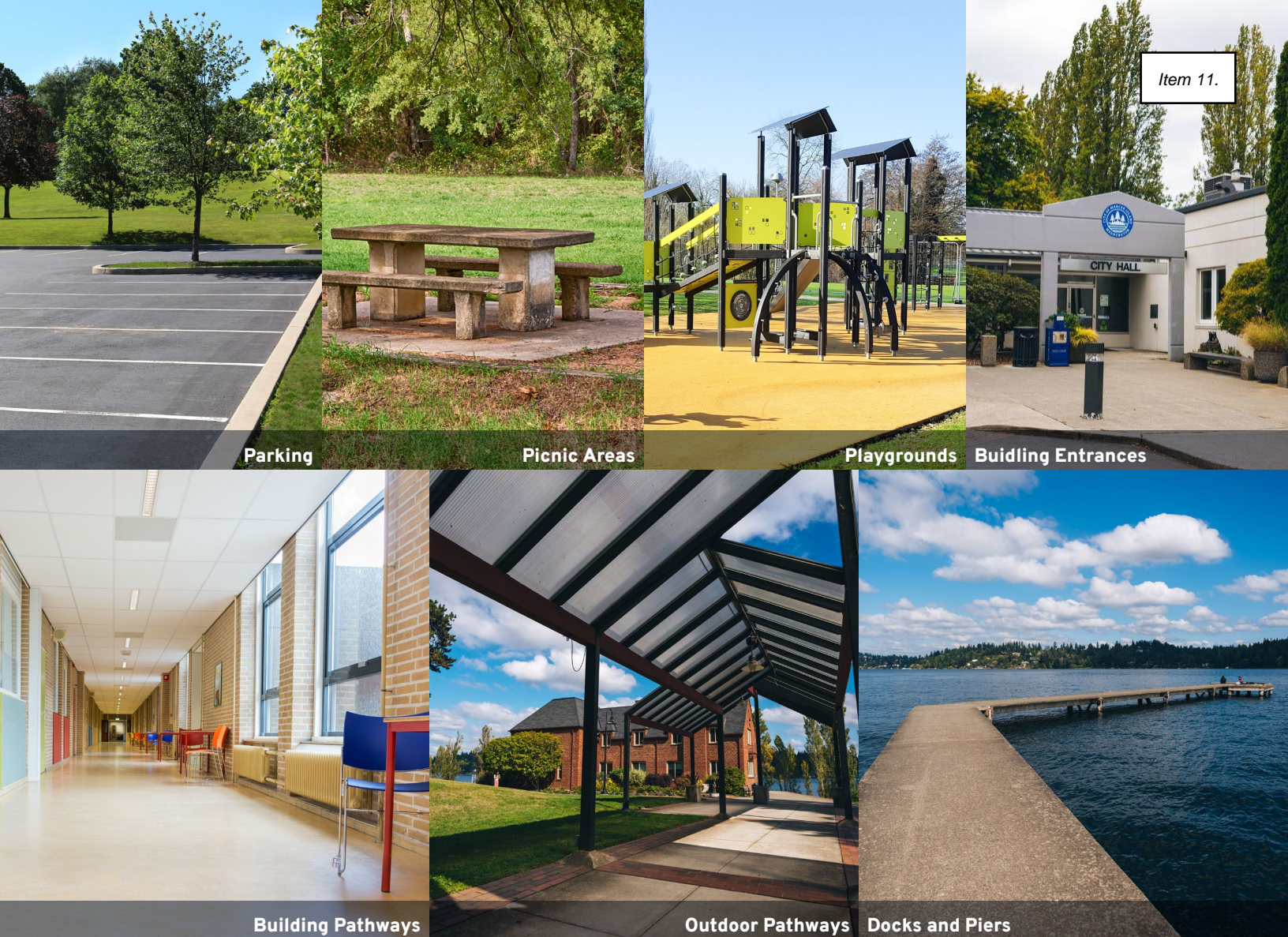
Signal Push Buttons: APS and Non-APS

City of Mercer Island ADA Transition Plan

FIGURE

2-18





Item 11.

Figure 2-19 Facilities & Parks Features

2.3.3 Facilities & Parks

2.3.3.1 Method

Barrier assessment for facilities and parks covered elements of pedestrian pathways within buildings and at building entrances, as well as vertical elements in public parks. Facilities and parks barriers include non-compliant signage, restroom fixture height, countertop or table height, gate width, pedestrian access routes, and play area ramps, among other

barriers. 637 barriers were found in these areas. For each barrier found, information collected included a description of the barrier, recommended solution and estimated cost as well as other information such as recommended priority ranking and photos of the barrier. Survey Solutions™, a custom software database, was used to generate the ADA Survey Results. The consultant’s data collection efforts for facilities and parks occurred between June to October 2021.

Table 2-3 Facilities & Parks Barrier Distribution

Sidewalk Compliance	Total
77th Avenue SE Landing	2
Aubrey Davis Park	43
Bicentennial Park	23
Boat Launch	3
Calkins Landing	5
Clarke Beach	14
Community and Events Center	106
Deane's Children's Park	19
Ellis Pond	3
First Hill Park	5
Forest Landing	2
Franklin Landing	2
Fruitland Landing	4
Garfield Landing	2
Groveland Beach	17
Homestead Park	29
Island Crest Park	44
Lincoln Landing	3
Luther Burbank Park	81
Luther Burbank Park Administration Building	24
Main Fire Station #91	4
Maintenance Hall	12
Mercer Island City Hall	65
Mercerdale Park	13
Miller Landing	1
Pioneer Park	7
Proctor Landing	2
Roanoke Landing	1
Roanoke Park	10
Rotary Park	5
Secret Park	6
Slater Park	4
South Fire Station #92	8
South Mercer Playfields	34
Wildwood Park	5
Youth & Family Services Thrift Shop/Recycling Center	34
Total	637

2.3.3.2 Findings

Table 2-3 shows the number of barriers found in each facility and park.

The field surveys for the properties were conducted using proven ADA survey instruments and calibrated measurement tools. Collected data was reviewed and analyzed, and recommended preliminary solutions were developed. A complete report of all barriers recorded in facilities and parks can be found in **Appendix D**.

3 Stakeholder Engagement

Public and stakeholder input is an essential element in the transition plan development and self-evaluation processes. ADA implementation regulations require public entities to provide an opportunity to interested persons, including individuals with disabilities or organizations representing individuals with disabilities, to participate in the self-evaluation process and development of the transition plan by submitting comments (28 CFR 35.105(b) and 28 CFR 35.150(d)(1)). There were three primary goals for the public outreach activities prior to adopting the plan:

- Inform the public about the City's plan and processes regarding removal of barriers to accessibility within the right-of-way. Provide information to assist interested parties to understand the issues faced by the City, alternatives considered and planned actions.
- Obtain public comment to identify any errors or gaps in the proposed accessibility transition plan for the public rights-of-way, specifically on prioritization and grievance processes.
- Meet Title II requirements for public comment opportunity.

3.1 Engagement Methods

To generate public involvement and capture public feedback on the ADA Transition Plan, the City used four methods: a virtual open house, engagement survey, online mapping tool, and an in-depth focus group. Promotion and advertising for these outreach methods utilized the City's website and social media channels, as well as hardy copy surveys and flyers delivered by City staff. The City of Mercer Island developed a project website: <https://www.mercerislandada.com> for easy online access to project information and ways to provide feedback. A full account of the public engagement findings can be found in **Appendix E**.

3.1.1 Online Open House and Survey

An online open house that dove into the ADA transition plan project, goals and areas of focus of the project, was made available on the City's website. Within the open house an online survey and reporting tool was provided for the public to give feedback on gaps and barriers at specific locations.

The surveyed contained questions focusing on the following areas.

- Whether they have a disability or support someone with one;
- Which type of accessibility barriers they currently experience;
- How they rate the accessibility conditions of existing right-of-way facilities; and,
- What facility types they believe should be prioritized when removing accessibility barriers.

The survey was made available for public participation from July 4, 2021 to September 14, 2021. A detailed summary of engagement and outreach efforts including promotion and advertising, online survey, online mapping tool, listening sessions, and a senior citizen advisory committee meeting are included in the Engagement & Public Involvement Summary in **Appendix E**.

The survey respondents identified their first and second priorities for improving pedestrian facilities within the city. The weighted rank priorities showed that the following three categories were highest priority:

- Transit
- Retail
- City parks

Detailed information regarding the priorities and locations identified through the survey and online mapping tool are included in **Appendix E**.

3.1.2 Focus Group

An in-depth virtual focus group and interviews were conducted on September 30, 2021. The focus group used the Zoom virtual platform that included closed captioning to facilitate discussion from Mercer Island residents and survey responders. All of the respondents interviewed live on Mercer Island and have a disability or support a person with a disability. The focus group identified priorities for barrier removal that include City parks, sidewalks, and accessible parking availability. Detailed information regarding the priorities and locations identified through the focus group are included in **Appendix E**.

4 Pedestrian Barrier Removal Methods and Schedule

Chapter 4 provides a summary of barrier removal methods and priorities to guide implementation of this plan. This chapter presents a total planning level cost estimate for the removal of existing pedestrian barriers. Finally, a schedule is presented that outlines the steps necessary to achieve compliance with current ADA standards.

4.1 Barrier Removal Methods – Public ROW

The City currently has a variety of barrier removal methods that are funded from sources that include Capital Improvement Program (CIP) projects, Transportation Improvement Program (TIP) projects, and permitted private development. Certain programs provide continual means of barrier removal while others vary based on outside influences such as permitted development and grants. The manner in which an existing pedestrian barrier is removed is typically a function of its complexity and cost. Less complex pedestrian barriers, such as a missing detectable warning surface (DWS), can be removed through maintenance and operations programs. More complex barriers, such as barriers associated with ramp or sidewalk design, typically require additional engineering as part of a more costly capital construction project.

For these methods to be effective, City practices and design standards must comply with federal ADA guidance. If standards are not updated and enforced, new or reconstructed pedestrian facilities may not be constructed to accessible standards, requiring costly revision, and increasing the duration it will take the City to remove accessibility barriers.

The following sections provide additional detail regarding CIP projects, TIP projects, and permitted development.

4.1.1 Transportation Improvement Program (TIP) Projects

The Transportation Improvement Program (TIP) is a rolling 6-year plan updated annually with a focus on maintaining the existing transportation network and improving it safely by using the City's Street Fund, Transportation Benefit District vehicle fees, Sound Transit East Link mitigation funds, and other funding sources. Transportation projects include residential street projects, arterial street improvements, and pedestrian and bicycle facility projects. The City of Mercer Island updates its TIP annually and forecasts projects for a six-year period. ADA compliant improvements (new or replacement) are often included as a component of these projects. With this transition plan, accessibility barriers are now easier to identify and include in TIP projects. The City's Six Year 2022-2027 TIP includes six projects with ADA barrier removal elements: 80th Avenue Sidewalk (SE 28th – SE 32nd), 78th Avenue Sidewalk (SE 32nd – SE 34th), SE 40th Sidewalk Improvements (Gallagher Hill – 93rd Ave SE), and SE 32nd St (77th to 78th Ave SE) Sidewalk Replacement, Sunset Hwy/77th Ave SE Improvements, and Mid-Block Crosswalk 76th Ave SE between SE 24th and SE 27th.

4.1.2 ADA Compliance Plan Implementation

As described above, the Transportation Improvement Program (TIP) is a rolling 6-year plan updated annually including projects to maintain and improve the City's transportation network. The City has identified a specific ADA Compliance Plan Implementation project to remove barriers identified by this transition planning effort.

4.1.3 Pedestrian and Bicycle Facilities (PBF) Plan Implementation

The City's Pedestrian and Bicycle Facilities Plan was last updated in 2010 and guides investments and actions related to maintaining and improving the City's pedestrian and bicycle networks. These networks include trails, crosswalks, bike lanes, and sidewalk facilities. Within the 2022-2027 TIP, the City has identified funding for PBF Plan Implementation. This annual program identifies, prioritizes, designs, and constructs small pedestrian or bicycle improvements on facilities citywide. It was assumed that a portion of this implementation is dedicated to ADA barrier removal.

4.1.4 Maintenance

Operational and maintenance activities typically resolve less costly and less complex barriers to

accessibility. A subset of the work completed by the Public Works Roadway, Trail & ROW Maintenance Team helps to remove ADA related barriers through curbs, streets, and sidewalk repairs. Though maintenance investments for pedestrian facilities often do not bring sidewalks, ramps, and other pedestrian infrastructure fully up to ADA standards, these investments of staff time and resources typically result in critically important access improvements. These activities include sidewalk panel grinding, panel replacement, and request-based curb ramp installations. Maintenance investments are crucial to increasing the longevity of the existing pedestrian network.

4.1.5 Street Resurfacing Programs

The Arterial Street Resurfacing Programs and Residential Street Resurfacing Programs is used to maintain the current roadway system by providing street resurfacing, pavement rehabilitation, and curb and sidewalk repair. When a street overlay is being conducted in areas adjacent to ADA features, the curb ramps will be retrofitted or replaced to meet current standards if found to be non-compliant.

4.1.6 Permitted Development

Even with the current funding for accessibility improvements, it will take many years to remove accessibility barriers or provide sidewalk connections between gaps. Redevelopment of properties such as construction of new housing or commercial buildings or major remodels can provide a valuable boost to barrier removal efforts. At times, private development results in street frontage improvements as a function of construction permit requirements. All such improvements are designed and built to meet City and ADA standards. This approach to barrier removal is incremental and depends on the outside influence of developers, and therefore was not included in the City's funding estimate.

4.2 Barrier Removal Methods: Facilities & Parks

The City currently uses a few methods to remove accessibility barriers for facilities and parks. Some of these methods are annual programs that provide continual means of barrier removal while others vary based on outside influences such as permitted development and available grant funding. The methods being used currently range from stand-alone projects, removal of barriers as part of other City projects and

removal of barriers during ongoing maintenance and operations. In order for these methods to be effective, City practice and design standards must comply with federal ADA guidance. If standards are not updated and enforced, new or reconstructed parks and facilities may not be constructed to accessibility standards, requiring costly revision, and increasing the duration it will take the City to remove accessibility barriers.

4.2.1 Capital Improvement Program (CIP) Parks Projects

The Capital Improvement Program (CIP) defines projects and identifies funding for different elements of the government including the Transportation Improvement Plan (TIP). The City has identified seven CIP projects that focus on parks improvements and include ADA barrier removal efforts. These projects include City Hall Building Repairs, FS91 and FS92 Building Repairs, Aubrey Davis Park Luther Lid Connector Trail, Aubrey Davis Park Safety Improvements, Luther Burbank Dock Repair and Reconfiguration, Mercedale Playground Replacement, and Roanoke Playground Replacement.

4.3 Barrier Removal Plan and Schedule

The ADA requires agencies to specify a schedule for taking the steps necessary to make existing facilities ADA compliant. This plan section summarizes the three-step process used to develop a barrier removal implementation plan and schedule, consistent with ADA transition plan requirements:

1. Prioritization of pedestrian barriers. Physical barriers identified through the Self-Evaluation were prioritized based on the degree to which they physically impacted accessibility and their proximity to key pedestrian destinations. Community input received through stakeholder engagement informed the prioritization process.
2. Estimation of planning level costs to remove pedestrian barriers. Unit costs were applied to the barrier inventory to generate a total planning level cost estimate to remove Self-Evaluation identified barriers. This planning level cost estimate is the total estimated 'need' for barrier removal.
3. Development of a schedule for barrier removal. An estimate of available financial resources was generated and compared to the total estimated need to develop a schedule for barrier removal.

4.3.1 Prioritization of Pedestrian Barriers: Public ROW

To inform the City's future project selection and understand the impact of barrier removal programs, a prioritization system was developed and used to score each pedestrian facility. This system was informed by the Self-Evaluation data, the community engagement process, and technical expertise. It reflects both a facility's physical characteristics and its importance to pedestrian travel. Under the prioritization system, each barrier was scored independently on two factors:

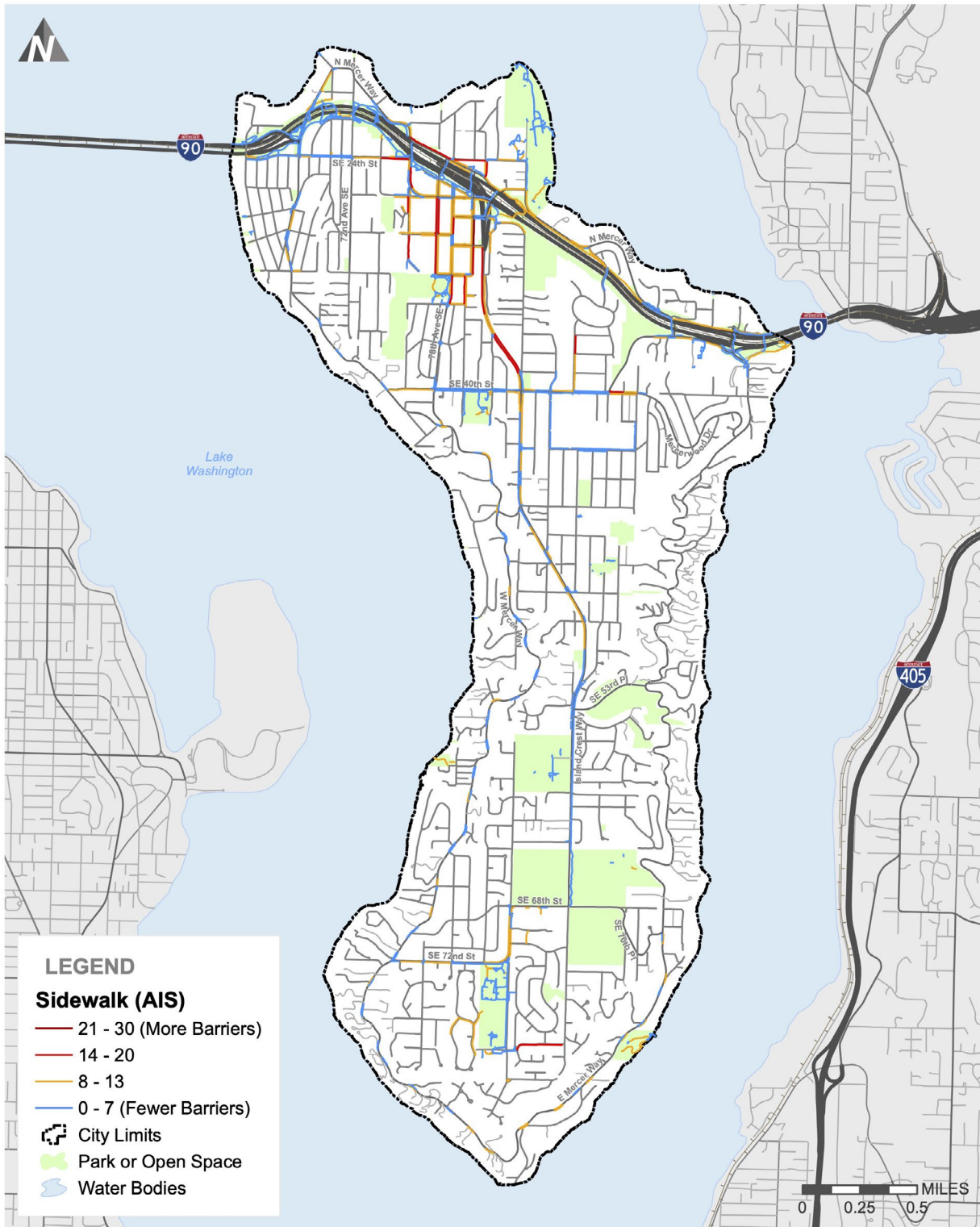
- Physical impact to accessibility
- Proximity to key pedestrian destinations, such as transit stops and schools.

The two resulting scores were added together to incorporate both factors into a single score for prioritization. Based on each facility's score, it was categorized as very high, high, medium, or low priority for barrier removal. Under this system, facilities that present greater barriers to accessibility and are located near multiple key pedestrian destinations are considered a high priority, while facilities with less significant physical barriers located farther from key pedestrian destinations are considered a low priority. Prioritization scoring factors are described below.

Physical impact to accessibility: Accessibility Index Score (AIS)

The Accessibility Index Score describes the degree to which each facility presents a physical barrier to accessibility. Criteria and weights were developed for sidewalks, curb ramps, and pedestrian pushbuttons. These criteria and weights are shown in **Appendix C**.

Potential scores for each facility range from 0 (compliant) to 30. Each facility's Accessibility Index Score is the sum of the individual criteria scores. Curb ramps with non-compliant ramp widths, running slopes, or cross-slopes greater than three percent were assigned the highest possible score of 30.



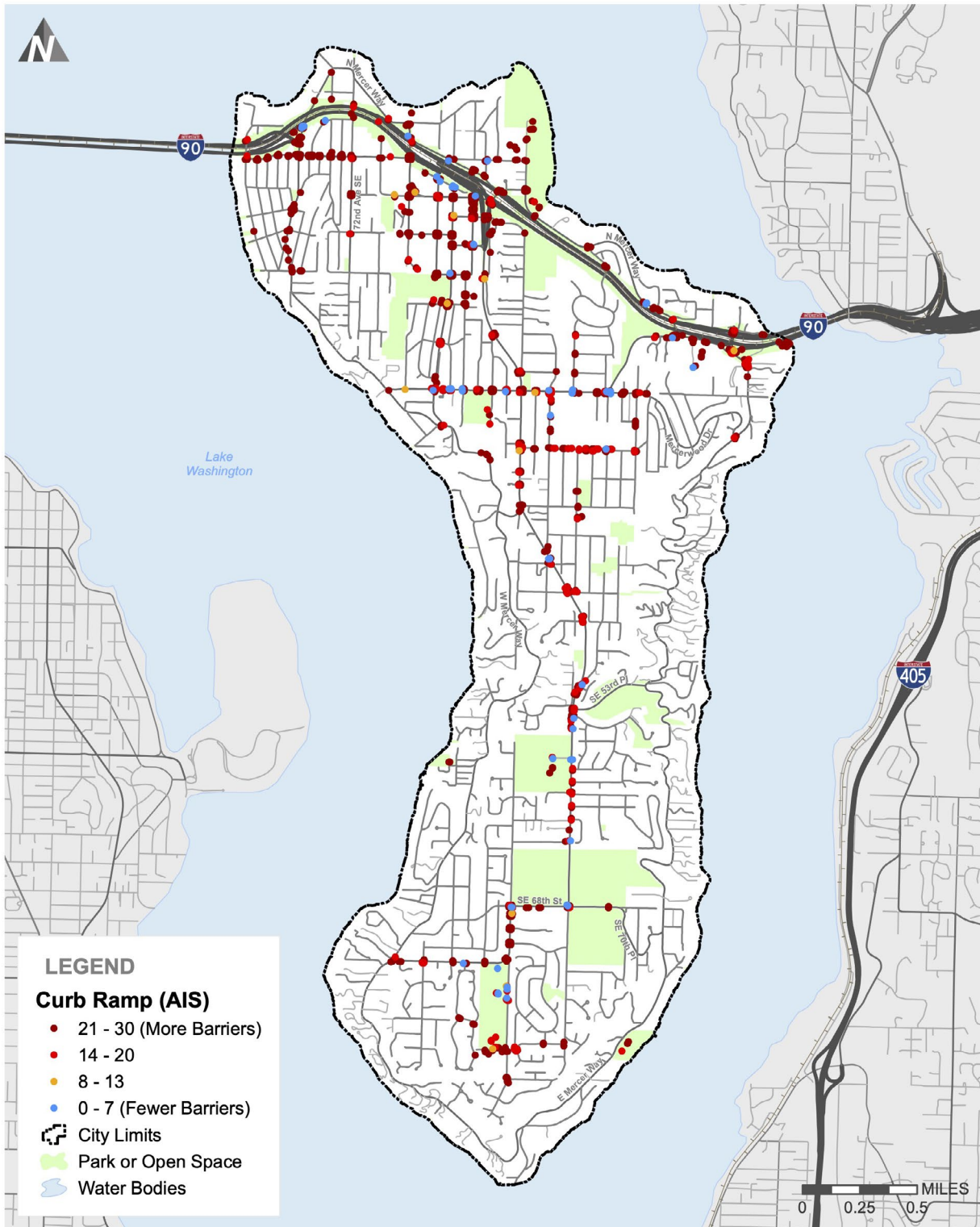
Accessibility Index Score Composite (Sidewalk)

City of Mercer Island ADA Transition Plan



FIGURE

4-1



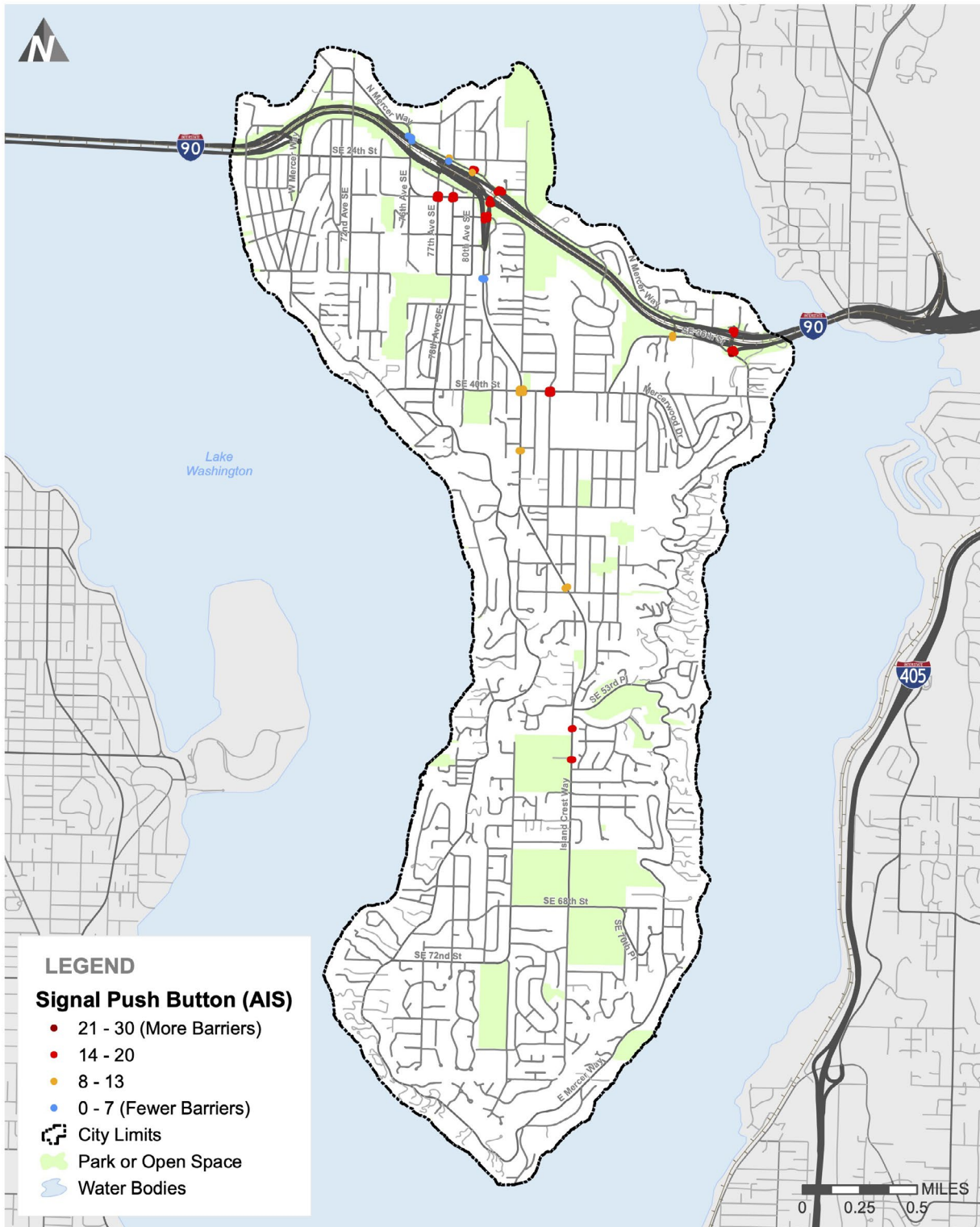
Accessibility Index Score Composite (Curb Ramp)

City of Mercer Island ADA Transition Plan



FIGURE

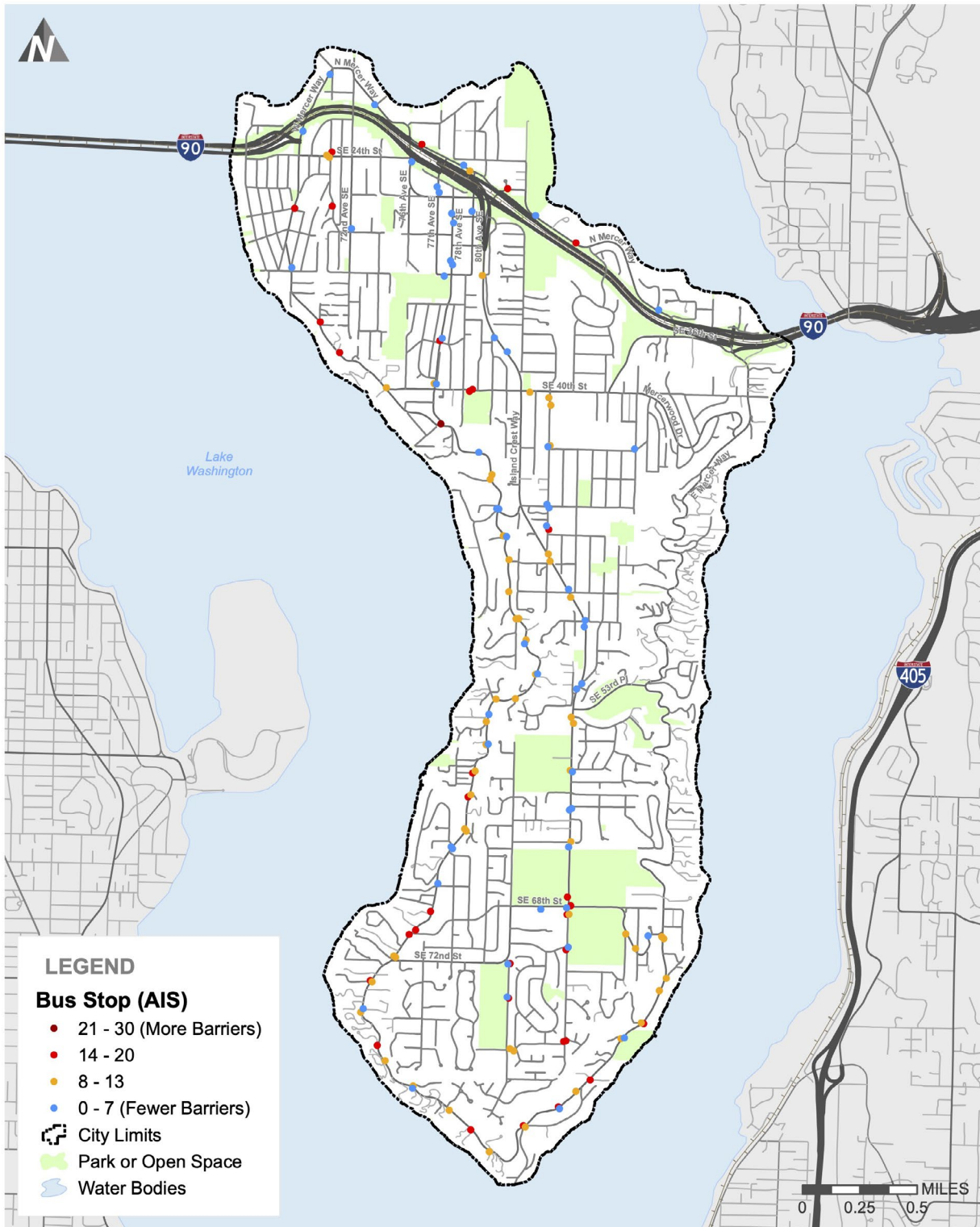
4-2



Accessibility Index Score Composite (Signal Push Button) FIGURE

City of Mercer Island ADA Transition Plan

transpogroup **4-3**



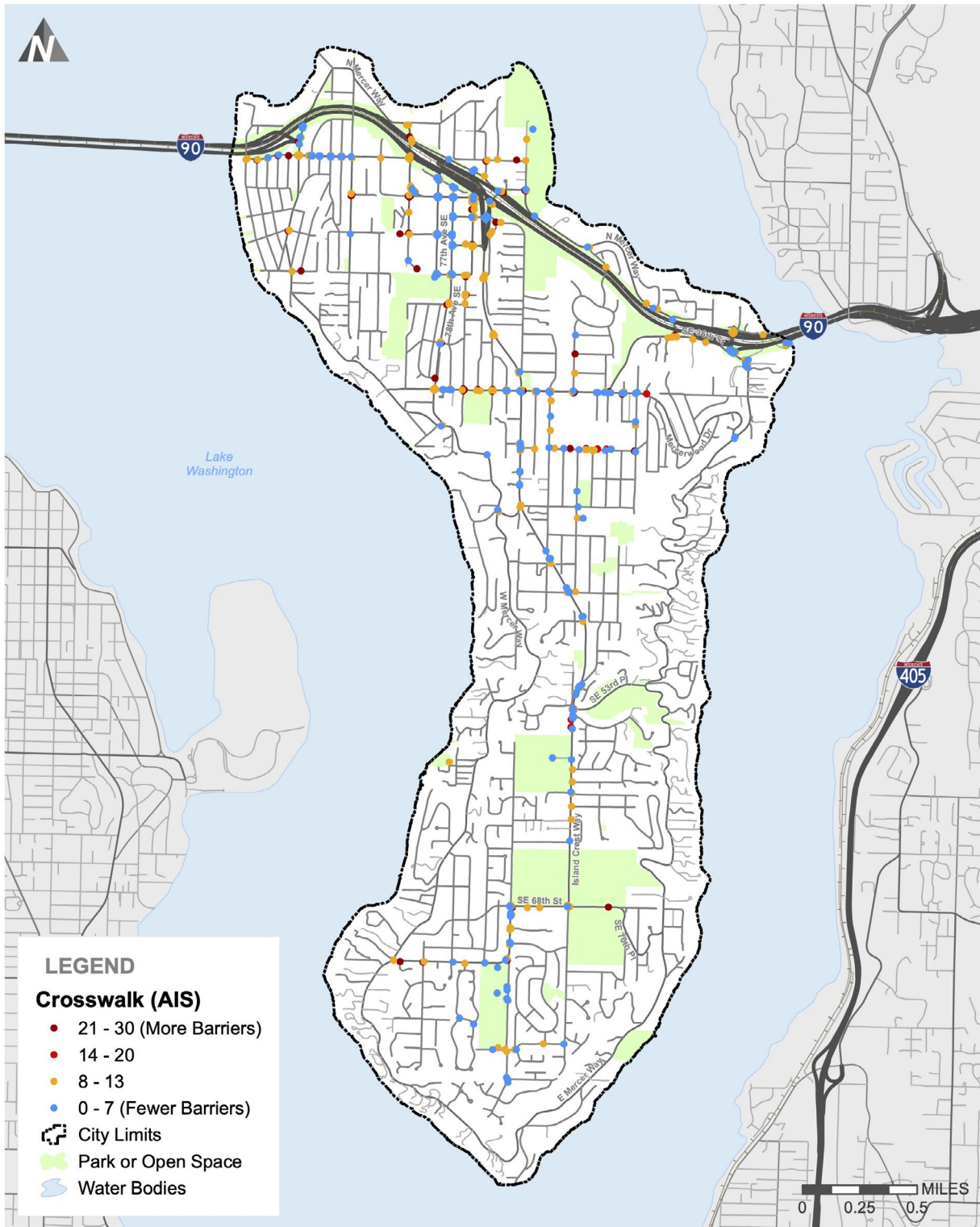
Accessibility Index Score Composite (Bus Stop)

City of Mercer Island ADA Transition Plan



FIGURE

4-4



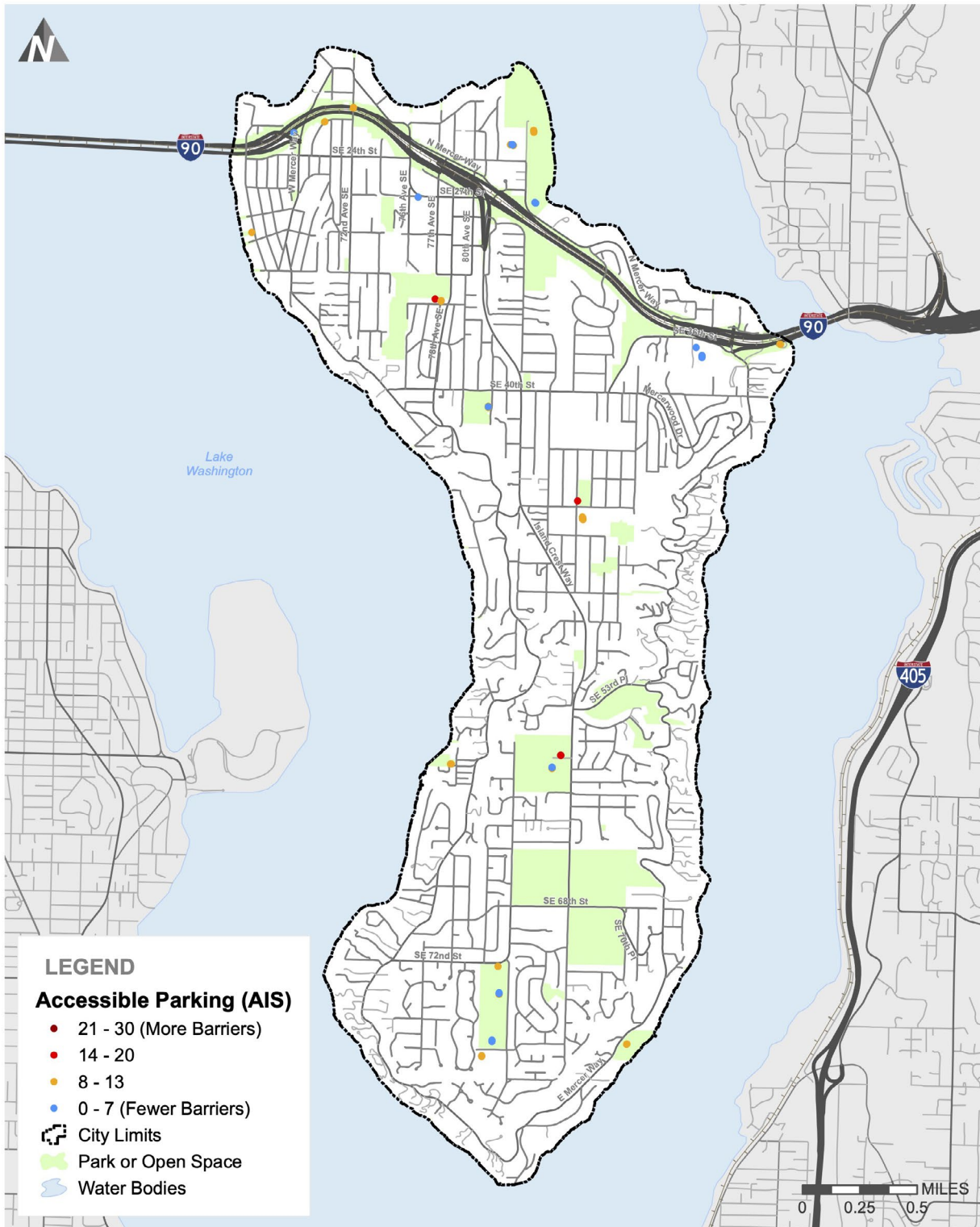
Accessibility Index Score Composite (Crosswalk)

City of Mercer Island ADA Transition Plan



FIGURE

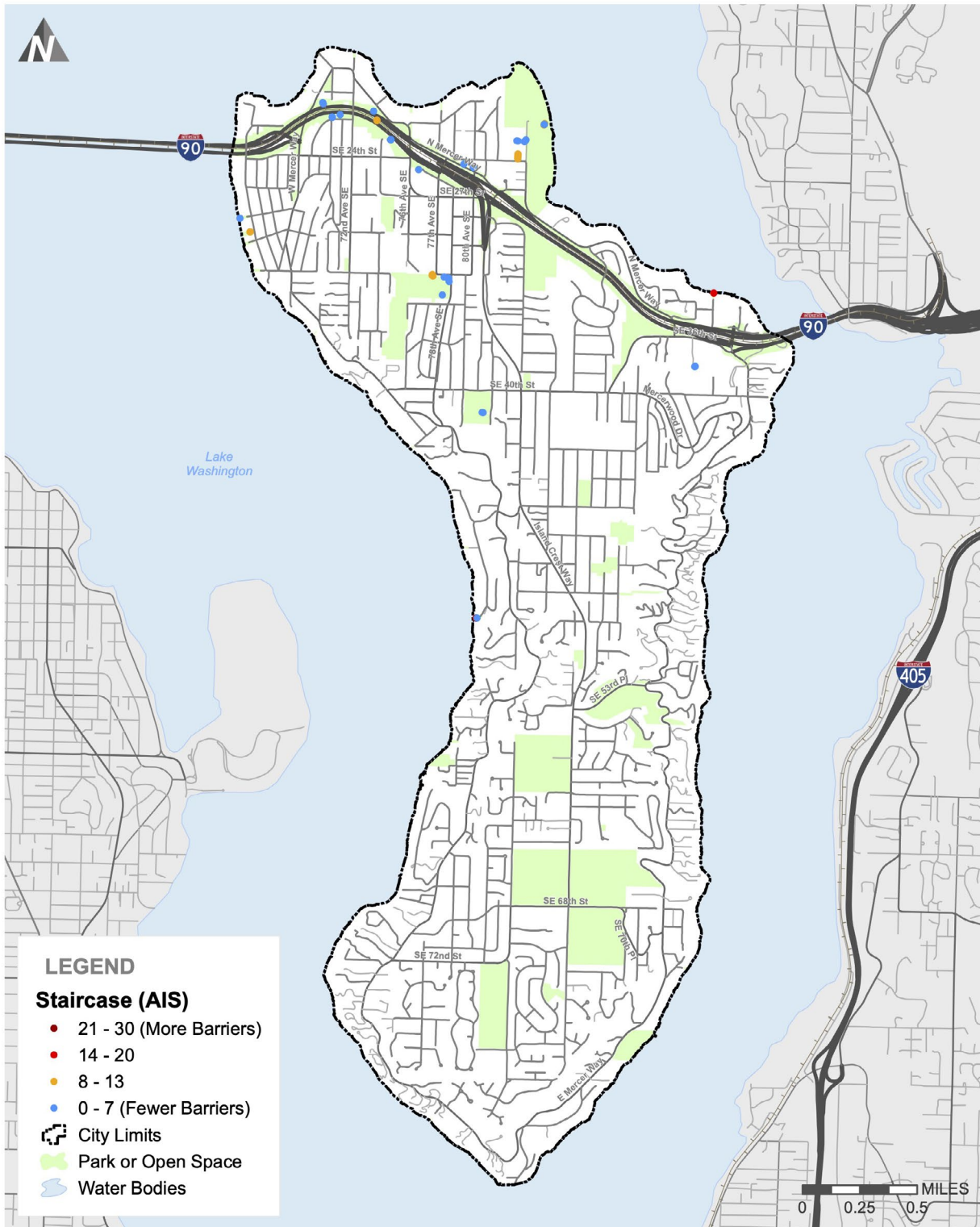
4-5



Accessibility Index Score Composite (Accessible Parking) FIGURE 4-6
 City of Mercer Island ADA Transition Plan

transpogroup

4-6



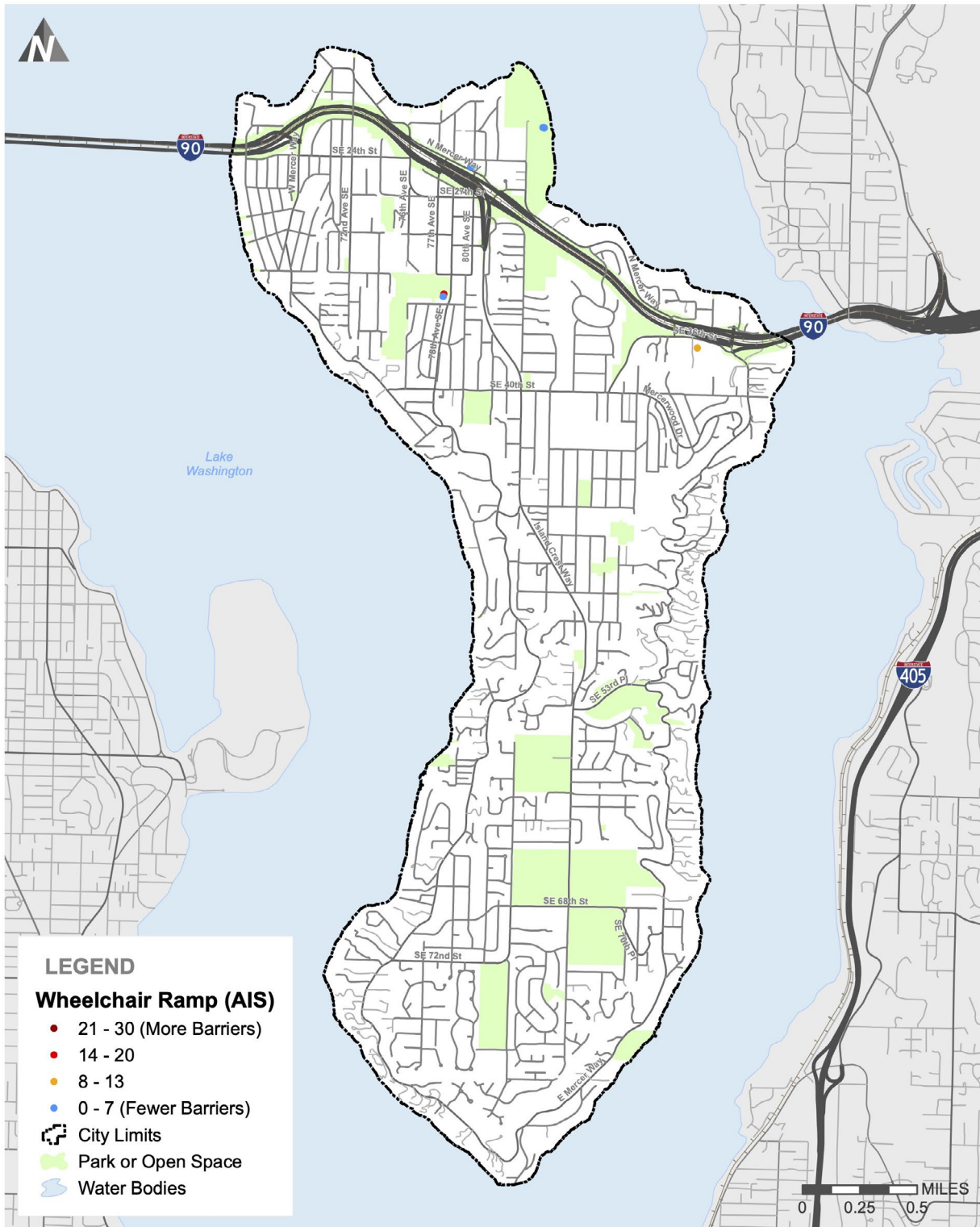
Accessibility Index Score Composite (Staircase)

City of Mercer Island ADA Transition Plan

FIGURE

4-7





Accessibility Index Score Composite (Wheelchair Ramp) FIGURE 4-8

City of Mercer Island ADA Transition Plan



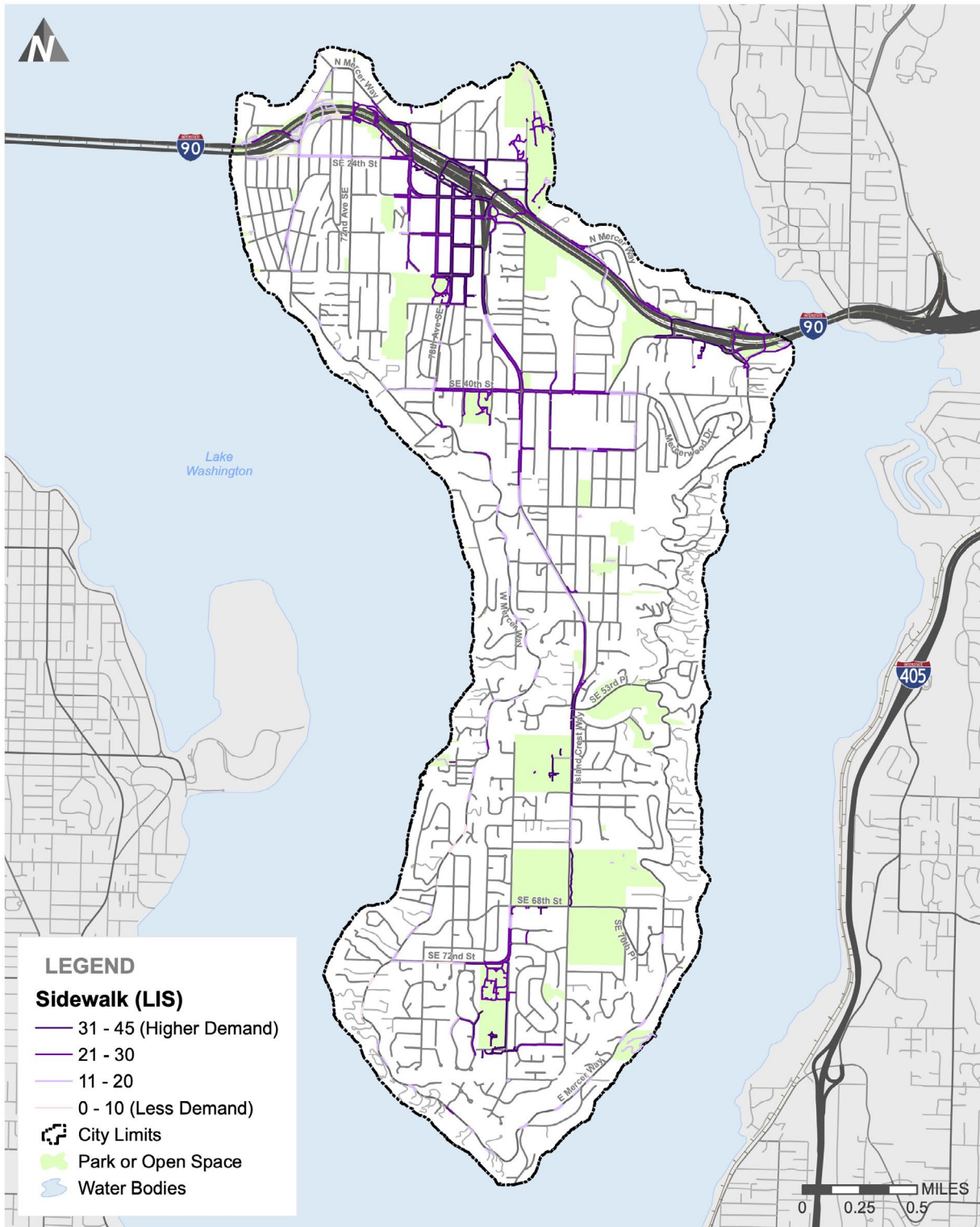
4-8

Proximity to key pedestrian destinations: Location Index Score (LIS)

The Location Index Score describes the importance of the pedestrian facility to accessing key pedestrian destinations. Each existing pedestrian facility was scored based on its proximity to schools, parks, transit facilities, signals or roundabouts, public buildings, and downtown or commercial business centers. Facilities near government buildings, hospitals and medical facilities, and City parks received a higher score to reflect feedback received through the public engagement survey.

Location Index Scores reflect the number of types of key pedestrian destinations within a defined radius. The full score for each type of destination is assigned if at least one facility of that type is nearby; scores do not increase if a facility is within the radius of multiple destinations of the same type. For example, a facility within one-eighth mile of two parks will receive a score of 5, while a facility within one-eighth mile of a park and a school will receive a score of 10.

Total Location Index Scores ranged from 0 to 45. Location scoring criteria and weights are shown in **Appendix C**.



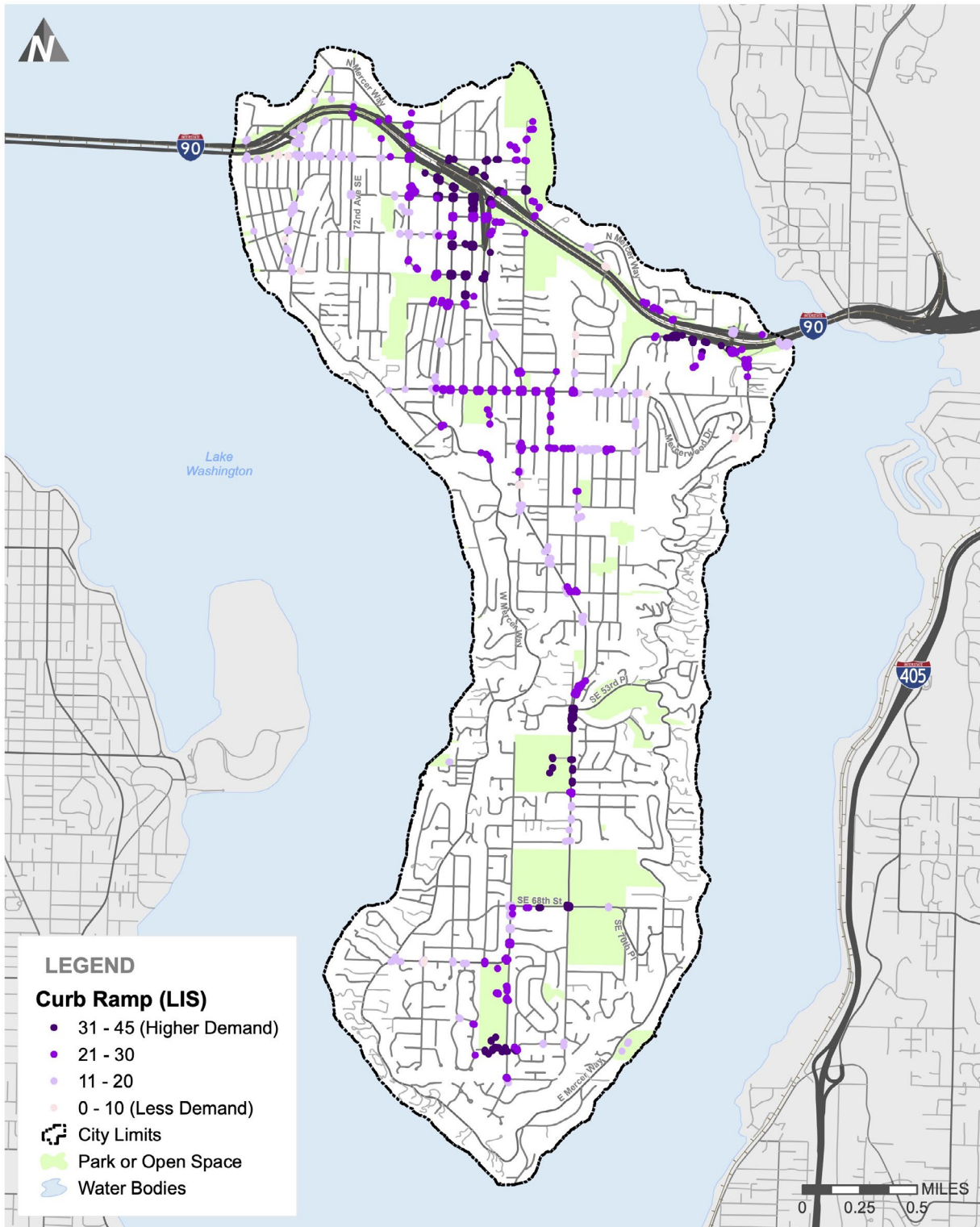
Location Index Score Composite (Sidewalk)

City of Mercer Island ADA Transition Plan

FIGURE

4-9



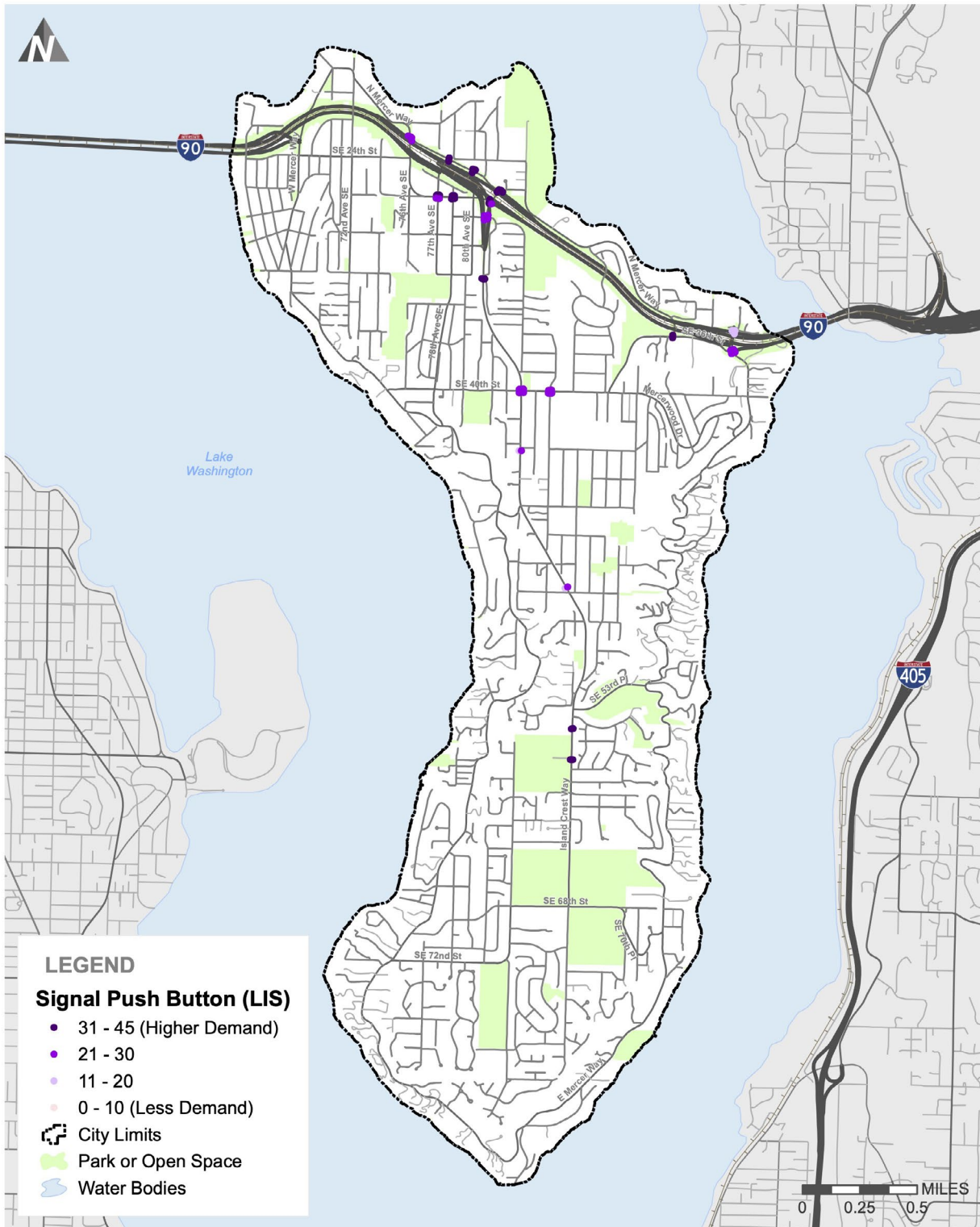


Location Index Score Composite (Curb Ramp)

City of Mercer Island ADA Transition Plan

FIGURE

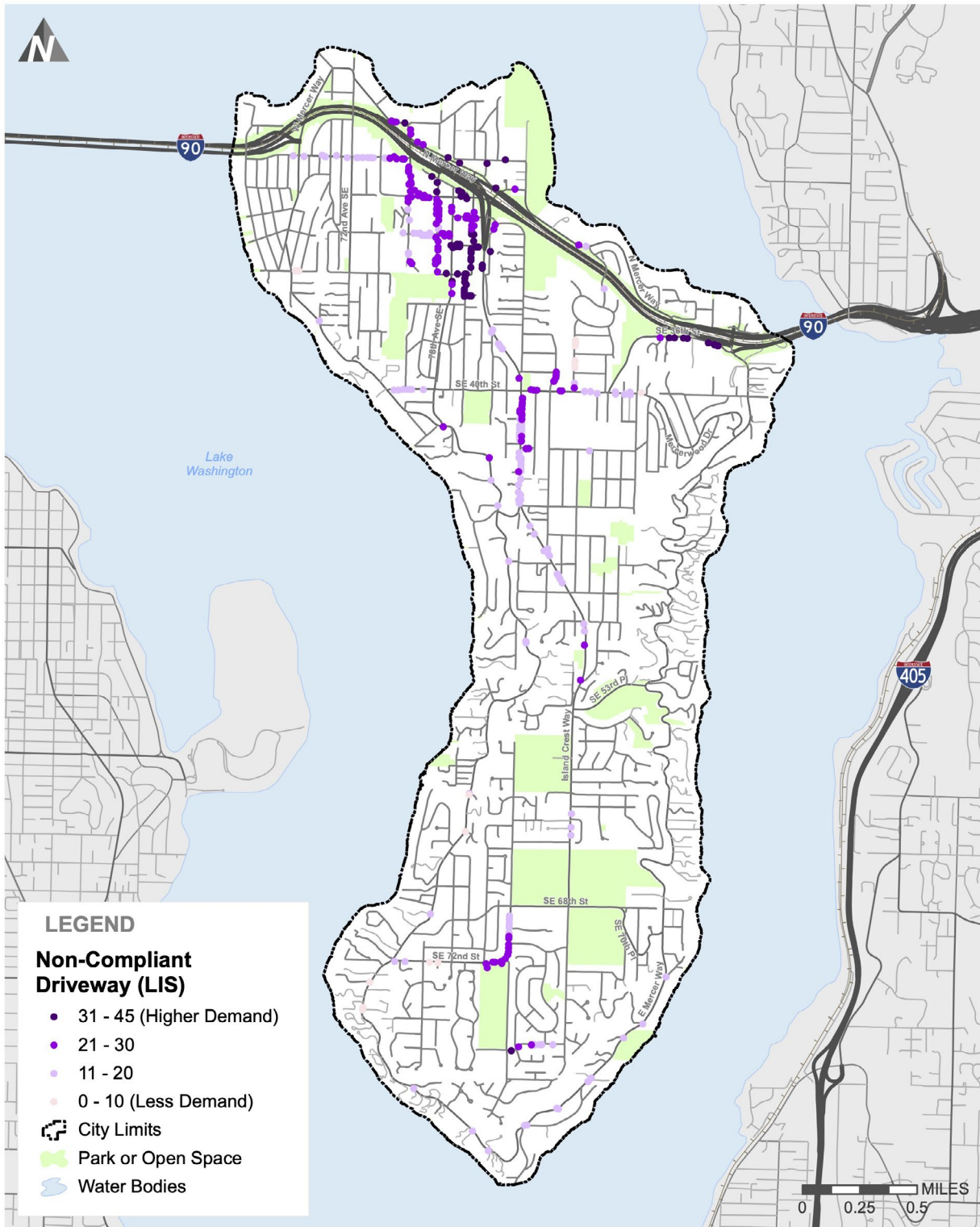
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Location Index Score Composite (Signal Push Button)
City of Mercer Island ADA Transition Plan

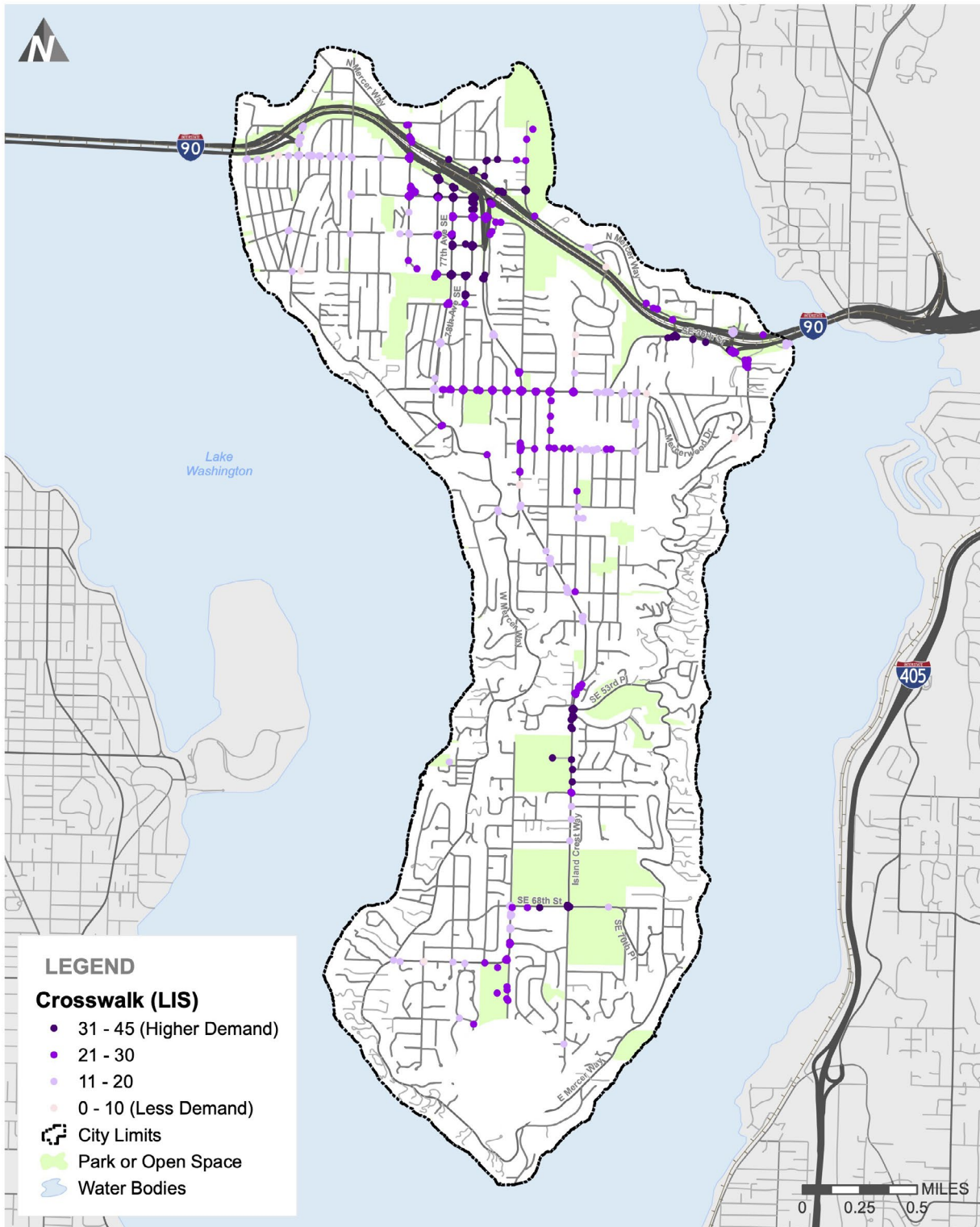
FIGURE 4-11





Location Index Score Composite (Non-Compliant Driveway) FIGURE 4-12
 City of Mercer Island ADA Transition Plan





Location Index Score Composite (Crosswalk)

City of Mercer Island ADA Transition Plan

FIGURE

4-13



Combined Index Score

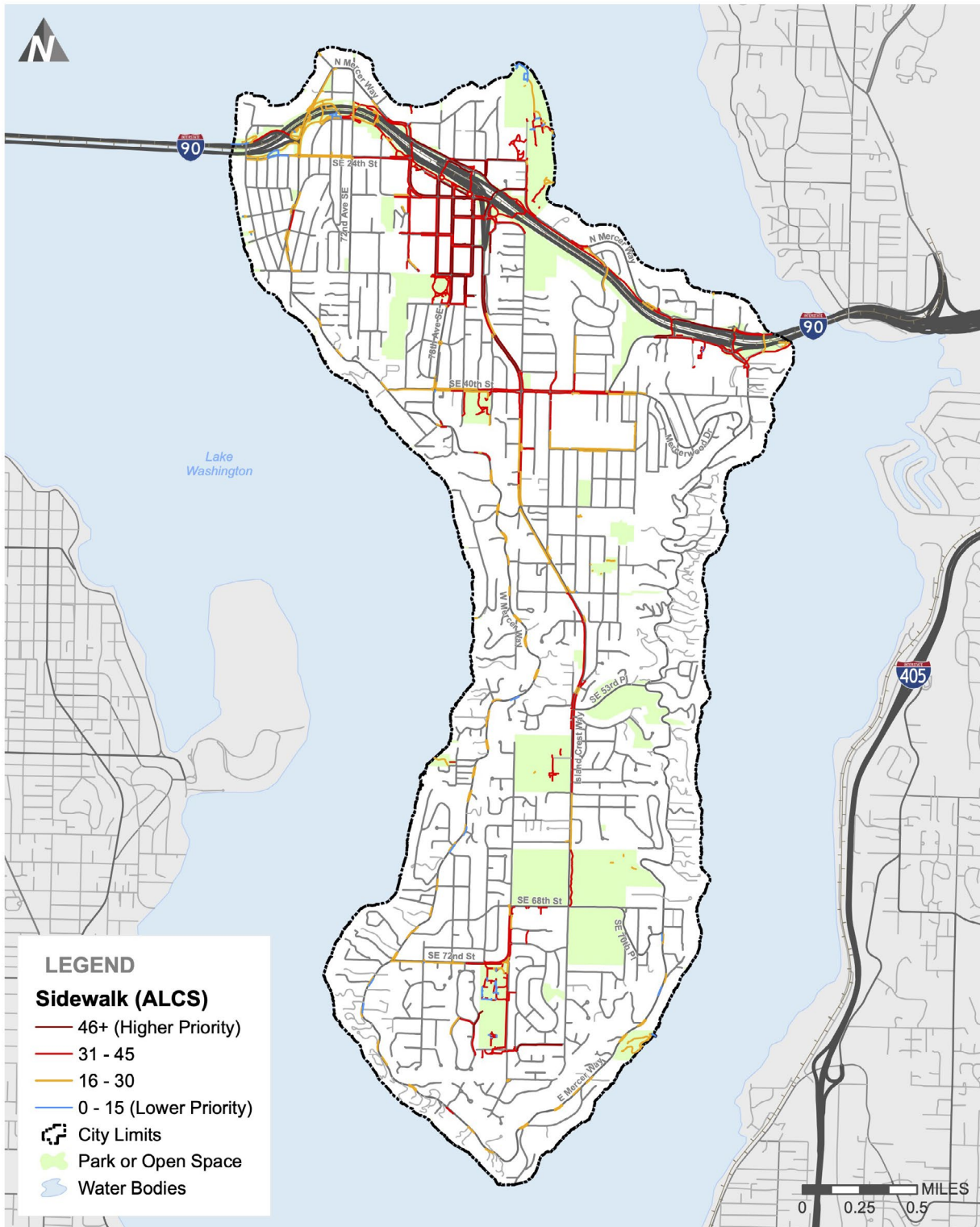
The Combined Index Score sums the Accessibility Index Score and Location Index Score to prioritize facilities with accessibility barriers in areas where pedestrians would be expected.

Scores were grouped into four categories:

- Very High: significant physical barriers in high-demand areas: 46-75 points
- High: 31-45 points
- Medium: 16-30 points
- Low: minor barriers in low-demand areas: 1-15 points

Scores reflect relative priority within each facility type; they do not indicate relative priority between facility types (ex., the importance of addressing a curb ramp barrier versus a sidewalk barrier).

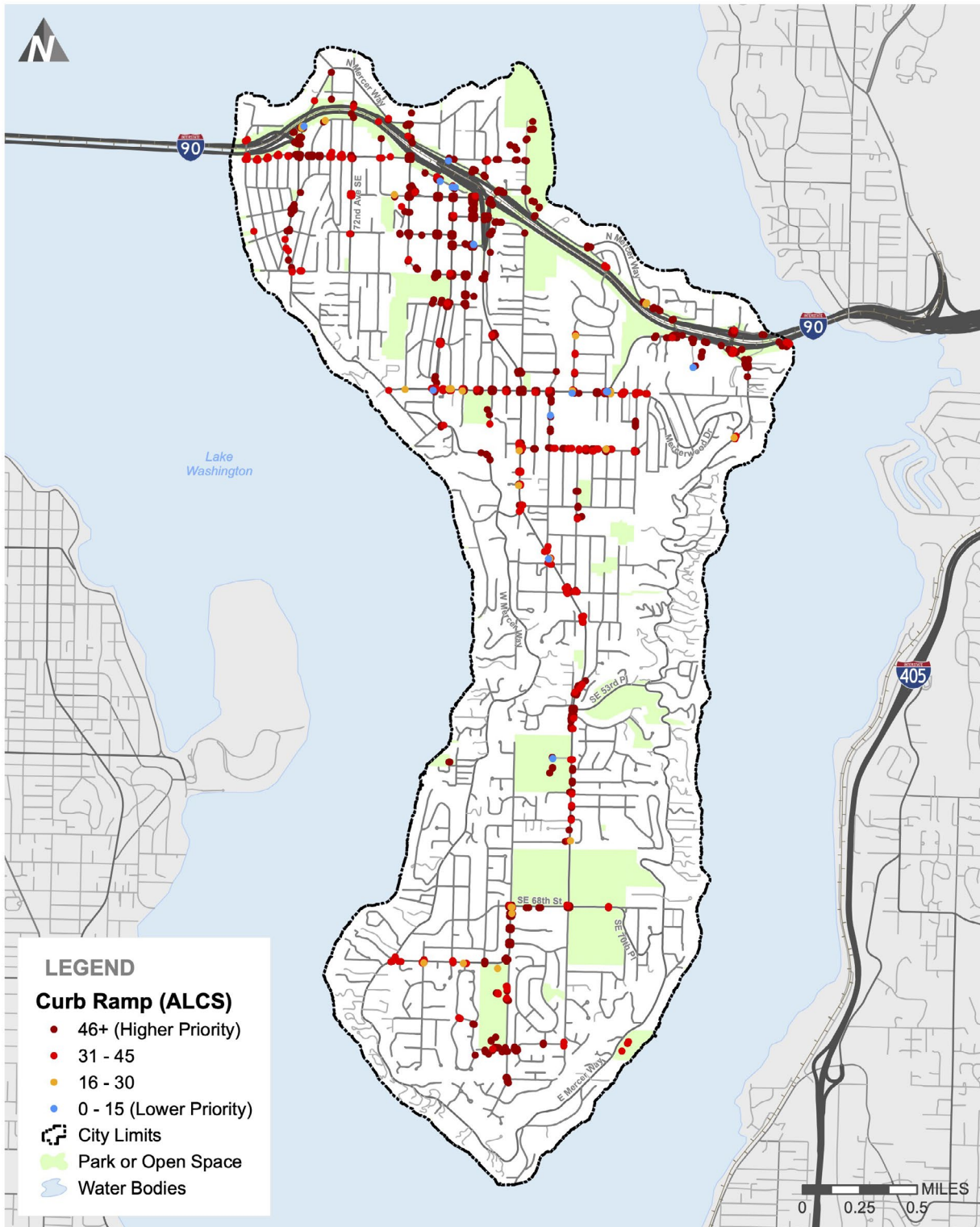
Combined index scores provide planning level context to barrier removal and overall accessibility needs within the city. As this Transition Plan is implemented, barrier removal will be guided by multiple factors, including funding availability, location of capital projects that include pedestrian elements, construction efficiency, project-level analysis, etc. Barriers of all priority levels will be removed over time.



Accessibility (AIS) & Location (LIS) Combined Score (Sidewalk) FIGURE

City of Mercer Island ADA Transition Plan

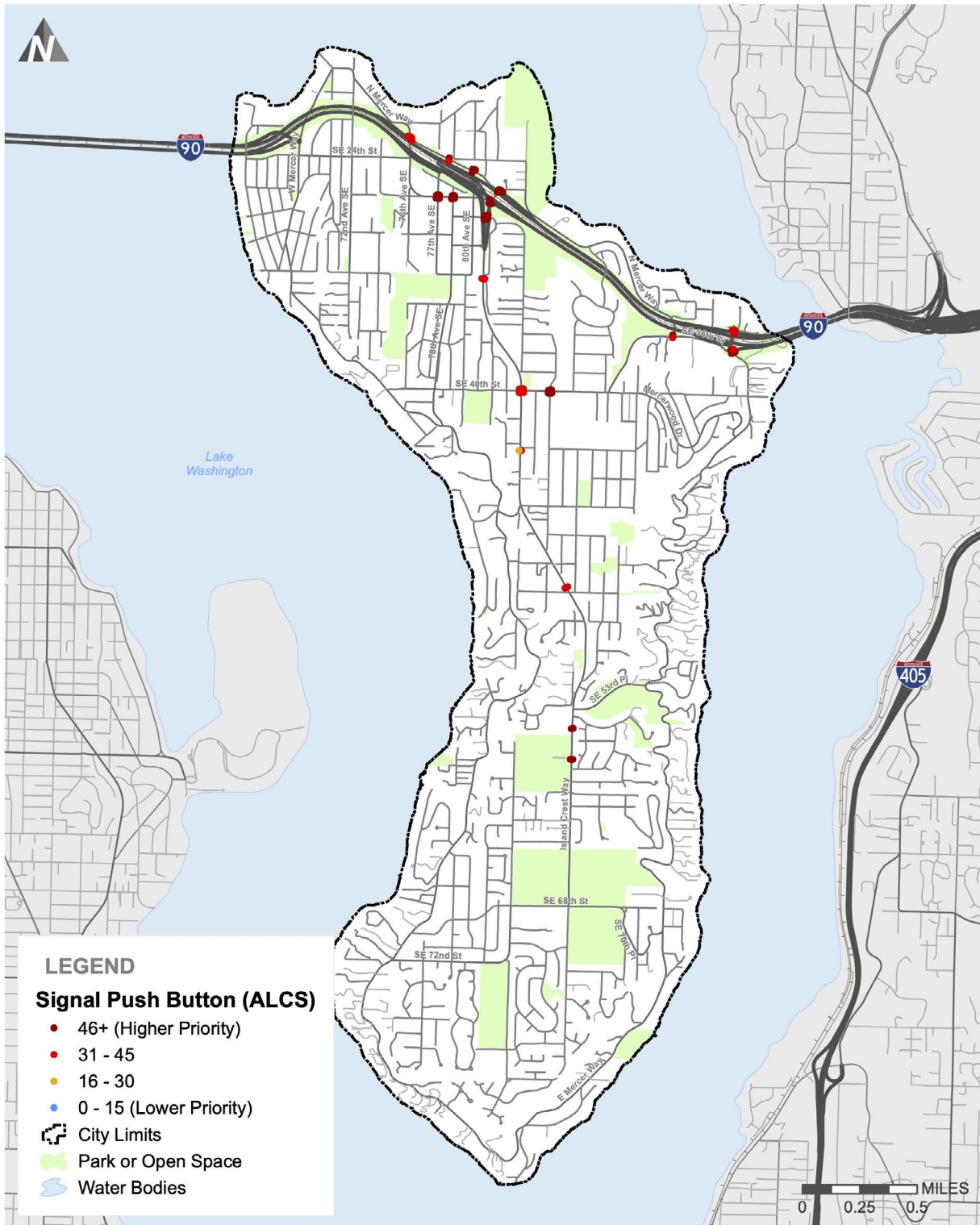
transpogroup  4-14



Accessibility (AIS) & Location (LIS) Combined Score (Curb Ramp) FIGURE

City of Mercer Island ADA Transition Plan

transpogroup  4-15



Accessibility (AIS) & Location (LIS) Combined Score (Signal Push Button) FIGURE

City of Mercer Island ADA Transition Plan

transpogroup **4-16**

4.3.2 Prioritization of Pedestrian Barriers – Facilities & Parks

A similar assessment was performed for barriers inventoried in facilities and parks. Each facility's attribute and most parks elements, collected in the field was prioritized by the criteria provided by the Department of Justice (CFR Title 28). The priority scores were combined with building or park use information to generate a final score. Pedestrian pathways and curb ramps within parks were scored using the same method as facilities in the public right-of-way. The highest scores were given to barriers with the highest priority that are located in high use facilities.

Physical impact to accessibility: Accessibility Index Score (AIS)

The Accessibility Index Score describes the degree to which each facility presents a physical barrier to accessibility. Criteria and weights were developed for sidewalks, curb ramps, and pedestrian pushbuttons. These criteria and weights are shown in **Appendix C**.

As each barrier was inventoried in the City's facilities and parks, each barrier was assigned a prioritization level based on Title 28 of the Code of Federal Regulations. CFR Title 28 defines four levels of priority based the level of access provision. **Appendix C** shows priority criteria as well as a description of each level. These priority levels were assigned points which were used as the Accessibility Index Score for facilities and parks.

Facility Use Index Score (FIS)

A Facility Use Index Score was developed for each building and park based on the level and type of use of each facility. A summary of the scoring for each facility and park is included in **Appendix G**. Detailed prioritization criteria for parks facilities are included in **Appendix C**.

4.3.3 Planning Level Cost Estimates to Remove Pedestrian Barriers

To meet the ADA transition plan requirement of demonstrating how barriers are to be removed over time, annual available financial resources were estimated and compared to the total estimated barrier removal costs.

Process

Unit costs were developed for the improvements needed to address the pedestrian barriers inventoried through the Self-Evaluation. Unit cost estimates for each barrier type were developed using recent WSDOT and other construction bid tabulations, input from subject matter experts, and planning level cost assumptions. Unit cost estimates assumed contract-based construction, instead of use of in-house crews.

Unit cost estimates were applied to the inventoried barriers, with adjustments made to account for construction efficiencies and to avoid applying redundant improvements to the same facility. All cost estimates are in 2021 dollars. Cost estimate assumptions are detailed in **Appendix F**.

Barrier removal construction cost estimates account for contingency, design, right-of-way, mobilization, temporary erosion control, traffic control, and construction management. Sales tax, structural impacts to buildings, permit fees, inflation, and potential changes to accessibility standards are not assumed in the cost estimate.

This planning level cost analysis did not assess whether non-compliant pedestrian facilities had been built to the maximum extent feasible. Therefore, this cost estimate may overstate the amount of feasible improvements.

Planning level cost estimate to remove all identified barriers were developed for public right-of-way, parks, and facilities. **The removal costs for all non-compliant assets within the public right-of-way add to \$30,760,000, \$7,220,000 for the evaluated parks elements, and \$1,981,439 for the evaluated building elements (in 2021 dollars).**

Cost estimates by facility and improvement type are shown in Table 4-1, Table 4-2, and Table 4-3.

Table 4-1 Planning Level Cost Estimate within Public Right of Way

Ada Deficiency	Improvement Types	Quantity	Unit Costs	Total Price
Sidewalk Improvements				
Non-compliant sidewalk	Reconstruct existing sidewalk/paved shoulder walkway	56,005 SY	\$145	\$8,121,000
Non-compliant driveway	New driveway with sidewalk	326 EA	\$2,900	\$946,000
				Subtotal \$9,067,000
Maintenance/Miscellaneous				
Non-compliant vertical discontinuity (>1/4in - <=1/2in w/out bevel)	Sidewalk grinding (5 LF of sidewalk).	349 EA	\$250	\$88,000
Non-compliant vertical discontinuity (>1/2in)	Replace two adjacent sidewalk panels (5ft x 5ft panels)	170 EA	\$806	\$137,000
Non-compliant horizontal discontinuity	Sidewalk crack sealing/grouting (5LF per occurrence)	9,375 EA	\$5	\$47,000
Fixed Obstacles	Relocation of obstacles including utility pole, mailbox, tree trunk, etc.	500 EA	\$3,000	\$1,500,000
Moveable Obstacles	Relocation of obstacles including tree/bush (prune-able), message boards, parked cars, etc.	97 EA	\$200	\$20,000
Protruding Obstacles	Relocation of obstacles including of bush/tree, signs, awnings etc.	516 EA	\$500	\$258,000
				Subtotal \$2,050,000
Curb Ramp Improvements				
Missing curb ramps	Install new curb ramp.	105 EA	\$6,000	\$630,000
Non-compliant ramp (running slope, cross slope, ramp width, flare slope, lip, grade break, etc.)	Remove and reconstruct existing ramp.	600 EA	\$6,000	\$3,600,000
Curb ramps without detectable warning surface (DWS), non-compliant DWS placement, non-compliant DWS depth, or non-compliant DWS Width	Install/replace detectable warning surface.	9 EA	\$1,030	\$10,000
				Subtotal \$4,240,000
Pushbutton Improvements				
Non-APS pushbutton and pushbutton is located incorrectly.	Install new APS pushbutton and install new pole.	72 EA	\$5,900	\$425,000
APS pushbutton that has non-compliant dimensions and/or programming and located incorrectly.	Reprogram pushbutton, reorient pushbutton, and/or install tactile arrow and install new pole and relocate pushbutton.	8 EA	\$3,700	\$30,000
APS pushbutton located incorrectly.	Install new pole and relocate pushbutton.	3 EA	\$3,500	\$11,000
APS pushbutton that has non-compliant dimensions and/or programming	Reprogram pushbutton, reorient pushbutton, and/or install tactile arrow.	1 EA	\$200	\$1,000
				Subtotal \$467,000
Bus Stop Improvements				
Non-compliant bus shelter turning space cross slope	Replace bus shelter pad (7.5 SY per occurrence).	23 SY	\$180	\$5,000
Non-compliant bus stop boarding area (running slope, cross slope, size, and/or condition)	Replace/construct boarding area (8ftx5ft) and two transition panels (5ftx5ft) - 10 SY per occurrence.	1,240 SY	\$145	\$180,000
				Subtotal \$185,000
Accessible Parking Improvements				
Non-compliant parking stall/parking aisle slope	Grind surface and/or add asphalt lift.	5 EA	\$2,000	\$10,000
Non-compliant accessible parking stall/parking aisle width or pavement marking.	Install parking stall accessible symbol/aisle pavement markings or resize and restripe stall/aisle.	2 EA	\$200	\$1,000
				Subtotal \$11,000
				Total \$16,020,000
				Contingency @ 20% \$3,204,000
				Design @ 12% \$1,923,000
				Mobilization @ 8% \$1,282,000
				TESC + Traffic Control @ 12% \$1,923,000
				Construction Management @ 20% \$3,204,000
				Right-of-Way @ 20% \$3,204,000
				Public Right-of-Way Total 2021 Dollars \$30,760,000

Table 4-2 Planning Level Cost Estimate within Parks

Ada Deficiency	Improvement Types	Quantity	Unit Costs	Total Price
Sidewalk Improvements				
Non-compliant sidewalk	Reconstruct, grind, or patch sidewalk.	22,035 SY	\$145	\$3,196,000
				Subtotal \$3,196,000
Maintenance/Miscellaneous				
Non-compliant vertical discontinuity (>1/4in - <=1/2in w/out bevel)	Sidewalk grinding (5 LF of sidewalk).	105 EA	\$250	\$27,000
Non-compliant vertical discontinuity (>1/2in)	Replace two adjacent sidewalk panels (5ft x 5ft panels)	70 EA	\$806	\$57,000
Non-compliant horizontal discontinuity	Sidewalk crack sealing/grouting (5LF per occurrence)	1,605 LF	\$5	\$9,000
Fixed Obstacles	Relocation of obstacles including utility pole, mailbox, tree trunk, etc.	35 EA	\$3,000	\$105,000
Moveable Obstacles	Relocation of obstacles including tree/bush (prunable), message boards, parked cars, etc.	18 EA	\$200	\$4,000
Protruding Obstacles	Relocation of obstacles including of bush/tree, signs, awnings etc.	88 EA	\$500	\$44,000
				Subtotal \$246,000
Curb Ramp Improvements				
Missing curb ramps	Install new curb ramp.	12 EA	\$6,000	\$72,000
Non-compliant ramp (running slope, cross slope, ramp width, flare slope, lip, grade break, etc.)	Remove and reconstruct existing ramp.	49 EA	\$6,000	\$294,000
Curb ramps without detectable warning surface (DWS), non-compliant DWS placement, non-compliant DWS depth, or non-compliant DWS Width	Install/replace detectable warning surface.	1 EA	\$1,030	\$2,000
				Subtotal \$368,000
Staircase Improvements				
Non-compliant staircase (riser, tread, slope, etc.)	Replace concrete staircase (per 1ft width of step).	366 LF	\$100	\$37,000
Non-compliant handrail or missing handrail (height, diameter, extensions, etc.)	Replace handrail.	571 LF	\$150	\$86,000
				Subtotal \$123,000
Wheelchair Ramp Improvements				
Non-compliant ramp (width, slope, landing, etc.)	Replace ramp	114 SY	\$190	\$22,000
Non-compliant handrail (height, diameter, extensions, etc.) or missing handrail	Replace handrail	260 LF	\$150	\$39,000
				Subtotal \$61,000
Accessible Parking Improvements				
Non-compliant parking stall/parking aisle slope.	Grind surface and/or add asphalt lift.	95 EA	\$2,000	\$190,000
Non-compliant accessible parking stall/parking aisle width or pavement marking.	Install parking stall accessible symbol/aisle pavement markings or resize and restrripe stall/aisle.	23 EA	\$200	\$5,000
Non-compliant sign height or no sign indicating accessible stall.	Install new sign or adjust existing sign.	32 EA	\$100	\$4,000
				Subtotal \$199,000
				Total \$4,193,000
				Contingency @ 20% \$839,000
				Design @ 12% \$504,000
				Mobilization @ 8% \$336,000
				TESC + Traffic Control @ 12% \$504,000
				Construction Management @ 20% \$839,000
				Public Right-of-Way Total 2021 Dollars \$7,220,000

Table 4-3 Planning Level Cost Estimate within Facilities

Ada Deficiency	Facility Index Score (FIS)	Total Cost
77th Avenue SE Landing	3	\$5,195
Aubrey Davis Park	22	\$66,994
Bicentennial Park	8	\$13,937
Boat Launch	3	\$7,201
Calkins Landing	3	\$29,157
Clarke Beach	8	\$69,963
Community and Events Center	37	\$300,258
Deane's Children's Park	29	\$24,045
Ellis Pond	3	\$478
First Hill Park	8	\$4,353
Forest Landing	3	\$1,133
Franklin Landing	3	\$1,663
Fruitland Landing	3	\$8,264
Garfield Landing	3	\$8,727
Groveland Beach	8	\$62,133
Homestead Park	8	\$55,397
Island Crest Park	15	\$49,356
Lincoln Landing	3	\$4,482
Luther Burbank Park	22	\$256,722
Luther Burbank Park Administration Building	30	\$30,363
Main Fire Station #91	22	\$39,730
Maintenance Hall	10	\$7,502
Mercer Island City Hall	37	\$122,008
Mercerdale Park	15	\$24,008
Miller Landing	3	\$710
Pioneer Park	15	\$6,380
Proctor Landing	3	\$1,016
Roanoke Landing	8	\$250
Roanoke Park	8	\$13,329
Rotary Park	8	\$8,232
Secret Park	8	\$6,399
Slater Park	8	\$4,629
South Fire Station #92	22	\$3,812
South Mercer Playfields	15	\$26,701
Wildwood Park	8	\$9,076
Youth & Family Services Thrift Shop/Recycling Center	30	\$29,975
	Total	\$1,303,577
	Contingency @ 20%	\$260,716
	Design @ 12%	\$156,429
	Construction Management @ 20%	\$260,716
	Public Right-of-Way Total 2021 Dollars	\$1,981,439

Table 4-4 Funding Allocation by Barrier Priority

Investment Priority	Percent of Funding Allocated to Barrier Removal
Very High	40%
High	30%
Medium	20%
Low	10%

4.3.4 Barrier Removal Funding

A requirement of this plan is to forecast available funding that may be used to support plan implementation. The following sections summarize the City's current barrier removal funding sources.

4.3.4.1 Public ROW

This plan assumes total annual funding for barrier removal of approximately \$364,000 per year for public ROW pedestrian barrier removal. A breakdown of the approximate annual budget resources anticipated to be available to support pedestrian barrier removal implementation follows.

- Transportation Improvement Program (TIP) Projects, \$322,000
- ADA Compliance Plan Implementation, \$36,000
- Pedestrian and Bicycle Facilities (PBF) Plan Implementation, \$6,000

See Section 4.1 for details on these programs. These improvements may address low, medium, high, and very high priority barriers based on the location of a proposed larger project or maintenance program. Assumptions regarding the percentage of total project funding that is applied to barrier removal were determined through coordination with City staff.

4.3.4.2 Facilities & Parks

This plan assumes total annual funding for barrier removal of approximately \$225,000 per year for pedestrian barrier removal. As described in detail in Section 4.2, this funding is associated with CIP parks projects that include elements of ADA barrier removal.

These improvements may address low, medium, high, and very high priority barriers based on the location of a proposed larger project or maintenance program. Assumptions regarding the percentage of total project funding that is applied to barrier removal were determined through coordination with City staff.

4.3.5 Schedule

Based upon the Self-Evaluation, planning-level cost estimates, identified barrier removal methods, and projected budgetary resources that may be available, a barrier removal budget and schedule was developed. Due to the large investment needed to remove accessibility barriers, it is important to identify the highest priority barriers and focus resources to remove them first.

An analysis of the barrier prioritization was completed to determine how many barriers found during the self-evaluation process are classified as 'very high' and 'high', 'medium', and 'low' priority as defined in Section 4.1. Highest priority level represents a significant barrier to accessibility in areas with higher pedestrian demand. Lower priority levels represent lesser barriers to accessibility in areas with lower pedestrian demand. Although some facilities will receive low ratings, all barriers associated with them will still need to be removed and be determined to have been built to the maximum extent feasible. Approximately 35% of barriers are classified as very high priority, 40% are classified as high priority, 23% are classified as medium priority, and 1% are classified as low priority.

The City should aim to remove the highest priority barriers first as targetable funding becomes available. This will support the goal of providing better access to the most needed programs in the shortest time frame possible.

4.3.5.1 Public ROW

A transition plan was developed to target removal of very high priority barriers. It was assumed that a greater percentage of current City funding would be allocated to higher priority barriers. Assumed funding allocation based on barrier priority is summarized in Table 4-4.

With the City's current funding allocation, approximately 87 transition years would be required to remove all very high priority right-of-way barriers. An approximately 20- to 40-year plan was developed to estimate the additional annual funding required to remove all very high priority barriers. The transition plan is summarized in Table 4-5.

The City should create a two to five-year barrier removal plan with a list of projects to remove specific barriers. This program should focus on the highest priority barriers as funding allows. The purpose of the repeated program is to make progress in barrier removal but also to provide a way to reassess the 20-to-40 year plan and measure incremental progress. In order to inform the two-to-five-year program, a scoping effort should occur that includes site visits for areas identified as a high

priority to determine the severity of the barrier and to brainstorm possible solutions to fix the issue. When selecting projects, site conditions and improvement feasibility should be taken into account. Areas with multiple barriers within close proximity can be grouped together to achieve cost savings. As areas are identified, additional data collection should be completed in the vicinity of the proposed project and added into the facility’s GIS database. The additional information will be able to provide the remaining attributes necessary to determine if a facility fully meets PROWAG requirements.

Following completion of each two to five-year plan implementation cycle, lessons learned regarding costs, methods, schedule, and outcomes shall be evaluated to inform the next two-to-five-year cycle of pedestrian barrier removal investments. If progress is slower than anticipated, additional funding may be required. If progress is faster than anticipated, a shorter timeline may be achievable. Several factors may contribute to differences between the estimated transition schedule and the actual rate and cost of implementation. Some of these factors include actual funding acquired, individual project cost, site specific design savings, additional deterioration of pedestrian facilities, and unanticipated capital projects. In addition, it may be determined that some barriers identified through this transition plan are on facilities that have been built to the maximum extent feasible as discussed in Section 5.1. Each project to remove barriers should be evaluated to determine if improvements to the facility are feasible in the engineering design phase.

4.3.5.2 Facilities & Parks

It is recommended that the City take a similar approach to barrier removal in public parks as discussed above for public right-of-way. It is anticipated that the existing level of annual funding for parks barrier removal will remain consistent moving forward.

Public facilities and parks barrier removal will be funded separately from the barrier removal for the public right-of-way and public parks. Table 4-3 summarizes the total amount of funding required to remove all barriers for each public facility included in this report, along with the Facility Index Score (FIS) for each facility. Locations with higher FIS scores should be prioritized before those with lower FIS scores. The costs listed include contingency, design, mobilization, and construction management costs. Each facility will likely be an isolated project to remove all barriers. The FIS can be used to prioritize the order of buildings to be updated. Detailed prioritization criteria is included in **Appendix C** and detailed FIS scoring is included in **Appendix G**.

Table 4-5 ADA Very High Barrier Removal Transition

Transition Years	Additional Annual Investment	Total Annual Investment
87 Years	\$0	\$364,000
40 Years	\$170,000	\$534,000
30 Years	\$270,000	\$634,000
20 Years	\$472,000	\$836,000

5 Recommendations and Next Steps

5.1 Recommended Actions

This chapter provides a set of recommendations intended to inform the implementation of this Transition Plan and ongoing removal of pedestrian barriers. Recommendations are not presented in priority order and represent near-term and longer-term Transition Plan implementation workplan tasks.

Recommendations identified as Pending require additional action from the City to implement. Underway recommendations are in progress at this time. On-going recommendations have been previously established and are continually in progress. Complete recommendations have been completed but may require additional action based on adjustments noted in this section.

Recommendation 1: Update City design standards to match ADA Standards

Status: Underway

A detailed audit of City design standards using Proposed Guidelines for Pedestrian Facilities in the Public Right-of-Way 2011 (PROWAG) was conducted to inform Chapter 2. This audit, which is included in **Appendix A** and recommends specific changes and additions to the City's standard plans and municipal code. Recommendations were identified for updating existing sidewalk, curb ramp, and pushbutton standards and filling in ADA guidelines for areas not covered in the City's standards and code. The City should update these documents to meet PROWAG standards.

Recommendation 2:

Identify an official responsible for Transition Plan implementation within the Public Works Department

Status: Complete

Jason Kintner has been identified as the responsible official. This position, often referred to as the “ADA Coordinator,” is one of the four major federal requirements for every ADA transition plan. The ADA Coordinator is responsible for facilitating transition planning such as responding to grievance requests. They also function as a central figure for organizing the various programs within the City to maintain a consistent approach to barrier removal and achieving ADA standards across capital, maintenance, and operational activities.

Roads Official Responsible for Plan Implementation:

Jason Kintner
ADA Coordinator

9611 SE 36th Street
Mercer Island, WA 98040

206-275-7600
TTY Relay Service: 711

jason.kintner@mercergov.org

Recommendation 3:

Adopt a Citywide Accessible Pedestrian Signal (APS) policy

Status: Pending

Accessible Pedestrian Signal (APS) policies serve as a means for cities to be consistent with ADA requirements at traffic signals. The APS policy covers when installation of APS devices that “communicate information about pedestrian timing in nonvisual formats such as audible tones, verbal messages, and/or vibrating surfaces” (MUTCD) is required. The recommended APS policy is included in **Appendix G**.

Recommendation 4:

Educate City staff, consultants, and contractors on ADA standards

Status: On-Going

Transition plans are often a learning experience for City staff, consultants, and contractors alike since they change existing practices and expectations. The City

should use updates to the City’s design standards as an opportunity to teach and learn about accessibility and the barriers that those with limited mobility or sight experience when traveling in the City’s public right-of-way. This should include clarifying guidance from the Department of Justice, for example, that when pedestrian facilities (curb ramps, sidewalks, crosswalks, pedestrian signals, etc.) within the public right-of-way are altered, they must be revised/replaced to meet current ADA standards. Education can take many forms from review of updated design standards with key individuals such as field inspectors and contractors, development and review of City specific design standards or checklists with City engineers, or training from groups that serve those with disabilities.

Recommendations 5:

Develop a standard grievance process for barriers to accessibility

Status: Pending

Public entities subject to Title II of the ADA are required to adopt and publish a grievance procedure as part of their transition plan. A grievance process allows community members to formally report denial of access to a City facility, program, or activity on the basis of disability.

Currently, the City has an established process to file a service request via the Public Works Department web page or the general City contact web page. The Public Works Maintenance Service Request can be found at <https://www.mercerisland.gov/publicworks/page/submit-service-request> and includes mobile reporting and online reporting tools with the ability to select a specific location.

The general City contact can be found at <https://www.mercerisland.gov/contact> and includes an open-ended question or comment submittal form.

It is recommended that the City establish a grievance procedure specifically for ADA accessibility barriers. A template for an example grievance procedure specific to accessibility barriers can be found in **Appendix H**.

The following adjustments are recommended to the City’s existing service request process:

- Make the ADA grievance process easily navigable from the City’s main website, and streamline the process on the website and through the City’s mobile app. The ADA grievance request process should be clearly labeled and available via the City’s Request City Services web page.

- Clarify whether a grievance specific to accessibility barriers can be submitted via the existing Public Works Service Request web page. If so, connect the ADA grievance request to the Public Works Maintenance Service Request page. If not, establish an ADA grievance request web page with location reporting similar to the Public Works Maintenance Service Request process.
- Connect the reporting tool used in the public engagement effort for this plan to the Public Works Service Request web page.

Recommendation 6:

Develop a consistent and centralized MEF documentation database

Status: Pending

The ADA dictates that alterations that could affect the usability of a facility must be made in an accessible manner to the maximum extent feasible (MEF). ADA Standards for Accessible Design (2010) dictates that:

Each facility or part of a facility altered by, on behalf of, or for the use of a public entity in a manner that affects or could affect the usability of the facility or part of the facility shall, to the maximum extent feasible, be altered in such manner that the altered portion of the facility is readily accessible to and usable by individuals with disabilities, if the alteration was commenced after January 26, 1992.

The City should document newly constructed or altered facilities that have been built to the maximum extent feasible rather than full ADA standards using standard template. An example template is included in **Appendix I**. Each project is to be evaluated to determine if improvements to the facility are feasible in the engineering design phase.

The reason for any variation from accessibility standards when it is infeasible to fully remove any barriers should be documented. To help organize MEF documentation, a central location for all MEF documentation can be established and geocoded to the facility location and ensure consistency of data for facilities designed and constructed by others. Consolidation of past MEF records into this data is also recommended.

Recommendation 7:

Develop performance measures and processes to track removal of barriers

Status: Pending

The primary purpose of an ADA transition plan is to develop a plan for removal of accessibility barriers. To show progress towards this requirement, the City should develop a process of tracking barrier removal on an annual basis. It is recommended that the City actively update the GIS ADA self-evaluation database developed for this plan, tracking how and when ADA barriers are removed. This data can be used to provide two-to-five-year updates on progress and demonstrate to the public as well as federal regulators that the City is making progress to meet Title II requirements. These updates should coincide with the two-to-five-year planning efforts completed to outline future barrier removal efforts.

Recommendations 8:

Continue data collection for pedestrian features in the public right-of-way

Status: Pending

The City should continue their data collection efforts to complete their database of pedestrian facilities in the public right-of-way. Attributes that are part of the PROWAG standards but not included in the first round of collection should be added to the GIS database as well as new types of facilities not inventoried like street parking, crosswalks, and bus stops. As construction projects within the City enter into the as-built phase, pedestrian facility data should be collected and entered into the GIS Database to enhance the barrier removal tracking process.

Recommendation 9:

Review and clarify policies relating to accessibility and implementation of accessible features in construction projects

Status: Pending

Work zones must provide the same level of accessibility as permanent pedestrian facilities covered by ADA requirements. Pedestrian accessibility must be maintained in areas of street construction and maintenance. The City should review its standards and policies to ensure that temporary, alternative walking routes are available within designated construction zones.

The City should develop and publish guidelines for replacing pedestrian facilities that are impacted by construction projects. When facilities are altered by construction, they should be reconstructed within ADA compliance to the maximum extent feasible. The City's guidelines would outline expectations for reconstructed facilities and who holds responsibility for reconstruction.

Recommendation 10:

Evaluate all City Programs and Activities as they relate to the ADA

Status: Pending

The focus of the initial self-evaluation was on ADA barriers related to the public right-of-way within the City. The requirements for accessibility found in Title II of the ADA apply to many functions, programs, and activities the City may provide or engage in. In addition to the public right-of-way, self-evaluation and transition planning related to activities such as hiring communications, recreational programs, physical facilities, etc. should be performed to identify barriers within these programs and activities.

Appendix A - Standards Review Barrier Audit



TECHNICAL MEMORANDUM

Date:	December 1, 2021	TG:	1.21012.00
To:	Lia Klein, City of Mercer Island		
From:	Patrick Lynch, AICP, Transpo Group		
Subject:	Barrier Removal Audit – City of Mercer Island ADA Transition Plan		

The City of Mercer Island maintains road design standards and municipal code covering pedestrian facilities. The design standards are used for City funded projects as well as privately designed and constructed projects within City public right-of-way. This memorandum describes design guidelines that meet the requirements of the Americans with Disabilities Act (ADA), common accessibility design issues, and references to specific design guidelines. The audit of the City's roadway design standards and municipal code as they relate to pedestrian features within the public right-of-way include the City of Mercer Island Standard Details (MI Std.) and Mercer Island City Code (MIC).

Design Guidelines

There are several key design measurements that ADA design guidelines address. These measures are used because they are important to the accessibility and safety of the facility. When pedestrian facility designs cannot be constructed to full design requirements, they should be built to conform to the maximum extent feasible. When this arises, the City should identify the location this occurs, provide justification, and document for future reference.

Several guidelines and references are available to assist the City of Mercer Island in adhering to accessible design standards based on the needs for various projects. There are many opportunities to improve pedestrian conditions by identifying areas of need and establishing the appropriate accessibility design requirements.

2010 ADA Standards for Accessible Design (ADAS) (September 2010)

The Department of Justice published revised regulations for Titles II and III of the Americans with Disabilities Act of 1990 "ADA" in the Federal Register on September 15, 2010. These regulations adopted revised, enforceable accessibility standards called the 2010 ADA Standards for Accessible Design "2010 Standards". The 2010 Standards set minimum requirements – both scoping and technical — for newly designed and constructed or altered State and local government facilities, public accommodations, and commercial facilities to be readily accessible to and usable by individuals with disabilities.

Proposed Guidelines for Pedestrian Facilities in the Public Right-of Way (PROWAG) (November 2011)

The United States Access Board is the rule making body that guides ADA compliance across the US. Since the late 2000's the US Access Board has been in the process of updating its Guidelines for Pedestrian Facilities in the Public Rights-of-Way. These draft guidelines focus on accessibility of sidewalks, curb ramps and in the soon to be released versions address shared-use trails. The draft guidelines cover legislative background, administration requirements, and design requirements.

Many public entities currently use the 2005 draft PROWAG as 'best practice' for features within the public right-of-ways. This practice has been endorsed by the Federal Highway Administration (FHWA), the US Access Board, and is the standard the Washington Department of Transportation adheres to. The City's standards and codes were evaluated against 2011 PROWAG as this is the latest guideline developed by the Access Board. PROWAG sections referenced in this memo refer to 2011 PROWAG sections. When these standards conflicted with the 2010 ADA, the PROWAG standard is recommended.

Design Requirements

Although the City of Mercer Island has standards in place it is important for the standards to be consistent and compliant with the above standards and guidelines. To that end, this memo will provide recommendations to improve and clarify the

existing city documents. Recommended actions are included where necessary to meet ADA design standards and best practice. The tables below describe requirements for specific design elements, how they are addressed in City standards, and recommendations for modifications. In addition to the following tables, Attachment A includes markups on the city standard details to expand on the recommendations below.

Sidewalks and Pathways

Sidewalks are mentioned in the City’s standard details and city code. These standards cover desired dimensions and materials to be used for construction of these facilities. Sidewalks are a common element found in a pedestrian access route (PAR).

Design Element	Requirement	Review	Recommendations
Pedestrian Access Route (PAR) and Pedestrian Circulation Path (PCP)	Various	Sidewalks, pathways, and trails shown on multiple standard details.	N/A
Sidewalk Width	<p>Minimum clear width of PAR is 4 ft. excluding the curb; however, on PAR less than 5 ft. wide, passing space of 5 ft. by 5 ft. is required every 200 ft. minimum (PROWAG R302.3 and R302.4)</p> <p>Clear width of walking surfaces shall be 36 inches minimum. The clear width shall be permitted to be reduced to 32 inches minimum for a length of 24 inches maximum provided that reduced width segments are separated by segments that are 48 inches long minimum and 36 inches wide minimum. Additional space is required at turns (ADAS 403.5.1).</p>	<p>5 ft. minimum sidewalk width (MI Std. Detail ST-19).</p> <p>Passing width around mailbox cluster shown as 5’ recommended and 3’-6” minimum (MI Std. Detail ST-27B).</p> <p>4 ft. min. shoulder walkway width (MI Std. Detail T-5).</p> <p>8 ft. min. pathway width (MI Std. Detail T-8).</p> <p>6ft min. to 8 ft. max. pathway width (MI Std. Detail T-9).</p> <p>6ft min. to 10 ft. max. pathway width (MI Std. Detail T-10).</p> <p>5 ft. sidewalk width (MI Std. Detail T-16A).</p>	<p>Revise minimum passing width to 4 ft. (MI Std. Detail ST-27B).</p> <p>Revise minimum width to 5 ft. (MI Std. Detail T-5).</p>
Sidewalk Running Slope	<p>Where the PAR is contained within a street or highway right-of-way, its grade shall not exceed the general grade established for the adjacent street or highway. When the PAR is not contained within the street or highway right-of-way, the grade of shall not exceed 5 percent (PROWAG R302.5).</p> <p>The running slope of walking surfaces shall not be steeper than 1:20 (ADAS 403.3).</p>	Not mentioned.	Add note to MI Std. Detail T-16A, the running slope for a sidewalk along the roadway shall not exceed the general grade of the roadway. Sidewalks not adjacent to a roadway shall not have a running slope greater than 5%.
Sidewalk Cross Slope	<p>The cross slope of a PAR shall be 2 percent maximum (PROWAG R302.6).</p> <p>The cross slope of walking surfaces shall not be steeper than 1:48 (ADAS 403.3).</p>	<p>Sidewalk cross slope shown as 0.02 ft./ft. (MI Std. Details ST-10, ST-16, ST-37, ST-38, ST-39, T-7).</p> <p>Cross slope to match existing roadway (MI Std. Details T-5, T-8 & T-9).</p> <p>Cross slope to be minimum 2% (MI Std. Detail T-10).</p>	<p>Recommend including a desired cross slope of 1.5 percent or flatter to allow for construction tolerances with 2% as the maximum cross slope.</p> <p>Update slope units to be consistent across standard details.</p> <p>Show maximum cross slope of 2% instead of matching existing roadway (MI Std. Details T-5, T-8 & T-9).</p>

Sidewalks and Pathways

		Cross slope shown as 2% (MI Std. Detail T-16A).	
Protruding Objects	<p>Objects with leading edges more than 2.25 ft. and not more than 6.7 ft. above the finish surface shall protrude 4 in. maximum horizontally into the pedestrian circulation path (PCP) (PROWAG R402.2 & ADAS 307.2).</p> <p>Objects mounted on free-standing posts or pylons more than 2.25 ft. and not more than 6.7 ft. above the finish surface shall overhang pedestrian circulation paths 4 in. maximum measured horizontally from the post or pylon base. The base dimension shall be 2.5 in. thick minimum. Where objects are mounted between posts or pylons and the clear distance between the posts or pylons is greater than 1.0 ft, the lowest edge of the object shall be 2.25 ft. maximum or 6.7 ft. minimum above the finish surface (PROWAG R402.3).</p> <p>Free-standing objects mounted on posts or pylons shall overhang circulation paths 12 inches maximum when located 27 inches minimum and 80 inches maximum above the finish floor or ground. Where a sign or other obstruction is mounted between posts or pylons and the clear distance between the posts or pylons is greater than 12 inches, the lowest edge of such sign or obstruction shall be 27 inches maximum or 80 inches minimum above the finish floor or ground (ADAS 307.3).</p>	<p>Bottom sign should be mounted at 7 ft. (MI Std. Details TR-4 and TR-13).</p> <p>When sidewalk is present, edge of sign shall be located adjacent to back of sidewalk (MI Std. Detail TR-4).</p> <p>Passing width around mailbox cluster shown as 5' recommended and 3'-6" minimum (MI Std. Detail ST-27B).</p> <p>Tree branches to be trimmed a minimum 8 ft. clearance above walkway (MI Std. Detail UF-4 and MIC 19.10.140).</p> <p>Shrubs to be pruned to allow 6 inches of clearance behind sidewalk (MI Std. Detail UF-4).</p> <p>Placement of poles and associated equipment shall comply with regulations including ADA (MIC 19.06.075).</p> <p>Projecting Signs should clear the sidewalk by a minimum of eight feet (MIC 19.11.140).</p>	<p>Add a horizontal dimension to bottom sign showing the maximum protrusion into pathway the sign can extend (MI Std. Detail TR-13).</p> <p>Add note discussing protrusion requirements/cane detection requirements when mailbox is along a pedestrian circulation route (MI Std. Detail ST-27A).</p>
Surface Discontinuities	<p>Vertical surface discontinuities shall not exceed 0.5 in. maximum. Vertical discontinuities between 0.25 in. and 0.5 in. maximum shall be beveled not steeper than 50 percent (PROWAG R302.7.2)</p> <p>Horizontal openings shall not permit passage of a sphere more than 0.5 in. in diameter. Elongated openings in grates shall be placed so that the long dimension is perpendicular to the dominate travel direction (PROWAG R302.7.3).</p> <p>Vertical. Changes in level of 1/4 inch high maximum shall be permitted to be vertical. Changes in level between 1/4 inch high minimum and 1/2 inch high maximum shall be beveled with a slope not steeper than 1:2 (ADAS 302.2 & 302.3).</p>	<p>Expansion joints shall be 1/4 in. "V" groove (MI Std. Detail T-16B2).</p>	<p>Add requirement that utility boxes located in sidewalks shall have non-slip lids.</p>

Sidewalks and Pathways

Crossings

Crosswalks are part of the PAR at intersections, midblock crossings, and pedestrian refuge islands. These are important connections across streets to enable pedestrians travelling from one side to the other.

Design Element	Requirement	Review	Recommendations
Crosswalk Running Slope	The running slope shall be 5 percent maximum, measured parallel to the direction of pedestrian travel in the crossing (PROWAG R302.5.1).	Not mentioned.	Include reference to WSDOT Design Manual Chapter 1510 crosswalk slope requirements (MI Std. Details T-7C1 and T-7C2).
Crosswalk Cross Slope	<p>Crosswalk cross slope at crossings without yield or stop control shall be 5 percent maximum (PROWAG R302.6.1).</p> <p>Crosswalk cross slope at yield or stop control crossings shall be 2 percent maximum (PROWAG Advisory R302.6.1).</p> <p>Crosswalks cross slope at midblock crossings shall be permitted to equal the street or highway grade (PROWAG R302.6.2).</p>	Not mentioned.	Include reference to WSDOT Design Manual Chapter 1510 crosswalk slope requirements (MI Std. Details T-7C1 and T-7C2).
Refuge Islands	<p>Detectable warning surfaces at cut-through islands shall be located at placed at the edges of the pedestrian island and separated by a 2.0 ft. minimum length of surface between detectable warning surfaces (PROWAG R305.2.4).</p> <p>The clear width of a PAR with median and pedestrian refuge islands shall be 5.0 ft. minimum (PROWAG R302.3.1).</p>	Not mentioned.	Add a statement in a location TBD that states 'For the design and construction of pedestrian facilities, in the absence of a City of Mercer Island standard, WSDOT design standards shall be followed.'

Curb Ramps

Curb ramps are the immediate junctions between the sidewalk and street crosswalk. Perpendicular and diagonal curb ramps have a running slope that cuts through the curb at right angles, while parallel curb ramps have a running slope that is in-line with the sidewalk. Combination ramps include elements of both parallel and perpendicular curb ramps.

Design Element	Requirement	Review	Recommendations
Ramp Width	<p>The clear width of curb ramp runs and blended transitions, excluding flares, shall be 4.0 ft. minimum (PROWAG R304.5.1).</p> <p>The clear width of a ramp run shall be 36 inches minimum (ADAS 405.5).</p>	<p>Curb ramp run width shown as 4ft. minimum and match sidewalk width (Std. Details ST-22A, ST-22B, ST-22D-1, and ST-22D-2).</p> <p>Curb ramp run width shown as 4ft. minimum (Std. Details ST-22C-1, ST-22C-2, ST-22E-1 and ST-22E-2).</p>	<p>Add "match sidewalk" to curb ramp run width label (Std. Details ST-22E-1 and ST-22E-2).</p>
Running Slope	<p>The running slope shall be 5 percent minimum and 8.3 percent maximum but shall not require the ramp length to exceed 15.0 ft. (PROWAG R304.2.2).</p> <p>The running slope of blended transitions shall be 5 percent maximum (PROWAG R304.4.1).</p> <p>Ramp runs shall have a running slope not steeper than 1:12. In existing sites, buildings, and facilities, ramps shall be permitted to have running slopes steeper than 1:12 complying with Table 405.2 where such slopes are necessary due to space limitations (ADAS 405.2).</p>	<p>Curb ramp running slope is shown as 8.3% maximum (MI Std. Details ST-22A, ST-22B, ST-22C-1, ST-22C-1, ST-22D-1, ST-22D-2, ST-22E-1, and ST-22E-2).</p> <p>The following note is included "Curb ramp maximum running shall not require the ramp length to exceed 15 feet to avoid chasing the slope indefinitely when connecting to steep grades. When applying the 15 foot maximum length, the running slope of the curb ramp shall be as flat as feasible." (MI Std. Details ST-22A, ST-22B, ST-22C-1, ST-22C-1, ST-22D-1, ST-22D-2, ST-22E-1, and ST-22E-2).</p>	<p>Recommend including a desired running slope of 7.5 percent or flatter to allow for construction tolerances with 8.3 percent as the maximum running slope.</p>
Cross Slope	<p>The cross slope shall be 2 percent maximum. At pedestrian street crossing without yield or stop control and at midblock pedestrian street crossings, the cross slope shall be permitted to equal the street or highway grade (PROWAG R304.5.3).</p> <p>Cross slope of ramp runs shall not be steeper than 1:48 (ADAS 405.3).</p>	<p>Curb ramp cross slope is shown as 2.0% max. (MI Std. Details ST-22A, ST-22B, ST-22D-1, ST-22E-1, and ST-22E-2).</p>	<p>Recommend including a desired cross slope of 1.5 percent or flatter to allow for construction tolerances with 2.0 percent as the maximum cross slope.</p> <p>Consider adding allowance for cross slope of curb ramps to match roadway grade for street crossings without yield or stop control and at midblock crossings.</p>
Flared Sides	<p>Flared sides with a slope of 10 percent maximum, measured parallel to the curb line, shall be provided where a pedestrian circulation path crosses the curb ramp (PROWAG R304.2.3).</p> <p>Curb ramp flares shall not be steeper than 10 percent (ADAS 406.3).</p>	<p>Flare slope is shown as 10% maximum measured parallel to curb (MI Std. Detail ST-22C-1).</p>	<p>N/A</p>

Curb Ramps

Design Element	Requirement	Review	Recommendations
Direction	<p>Perpendicular curb ramps shall have a running slope that cuts through or is built up to the curb at right angles or meets the gutter grade break at right angles.</p> <p>Parallel curb ramps shall have a running slope that is in-line with the direction of sidewalk travel (PROWAG Advisory R304.1).</p>	<p>Curb ramp figures labeled correctly for the type of curb ramps shown (MI Std. Details ST-22A, ST-22B, ST-22C-1, ST-22C-2, ST-22D-1, ST-22D-2, ST-22E-1, and ST-22E-2).</p>	N/A
Counter Slope	<p>The counter slope of the gutter or street at the foot of curb ramp run, blended transitions, and turning space shall be 5 percent maximum (PROWAG R304.5.4).</p> <p>Counter slopes of adjoining gutters and road surfaces immediately adjacent to the curb ramp shall not be steeper than 5%. The adjacent surfaces at transitions at curb ramps to walks, gutters, and streets shall be at the same level (ADAS 406.2).</p>	<p>Counter slope is shown as 5.0% maximum (MI Std. Details ST-22A, ST-22C-1, ST-22C-2, ST-22D-1, and ST-22E-1).</p>	<p>Add additional section views to show cross slope per Attachment A markups.</p>
Grade Breaks	<p>Grade breaks at the top and bottom of curb ramps shall be perpendicular to the direction of ramp run. Grade breaks shall not be permitted on the surface of ramp runs and turning spaces. Surface slopes that meet at grade breaks shall be flush (PROWAG R304.5.2).</p> <p>Changes in level other than the running slope and cross slope are not permitted on ramp runs (ADAS 405.4).</p>	<p>The following note is included "Where "grade break" is called out, the entire length of the grade break between the two adjacent surface planes shall be flush." (MI Std. Details ST-22A, ST-22B, ST-22C-1, ST-22C-2, ST-22D-1, ST-22D-2, ST-22E-1, and ST-22E-2).</p>	N/A

Curb Ramps

Design Element	Requirement	Review	Recommendations
Turning Space/Landing Size	<p>For perpendicular curb ramps, a turning space 4.0ft. by 4.0ft. minimum shall be provided at the top of the curb ramp. If the turning space is constrained at the back of sidewalk, the turning space shall be 4.0ft. by 5.0ft. minimum. The 5.0ft. dimension shall be provided in the direction of the ramp run. (PROWAG R304.2.1).</p> <p>For parallel curb ramps, a turning space 4.0ft. by 4.0ft. minimum shall be provided at the bottom of the curb ramp. If the turning space is constrained on 2 or more sides, the turning space shall be 4.0ft. by 5.0ft. minimum. The 5.0ft. dimension shall be provided in the direction of the pedestrian crossings. (PROWAG R304.3.1).</p> <p>The landing clear length shall be 36 inches minimum. The landing clear width shall be at least as wide as the curb ramp, excluding flared sides, leading to the landing (ADAS 406.4).</p>	<p>Turning space required to be 4ft. by 4ft. minimum (MI Std. Details ST-22C-1, ST-22C-2, ST-22D-1, ST-22D-2, ST-22E-1, and ST-22E-2).</p> <p>Turning space required to be 4ft. by 5ft. minimum (MI Std. Details ST-22A and ST-22B).</p>	<p>Recommend including a desired cross slope of 1.5 percent or flatter to allow for construction tolerances with 2.0 percent as the maximum cross slope.</p> <p>Add note to discuss landing dimensions for when a landing is constrained to curb ramp standard figures.</p> <p>Perpendicular and Combination Curb Ramps: If the turning space is constrained at the back of sidewalk, the turning space shall be 4.0ft by 5.0ft minimum. The 5.0ft dimension shall be provided in the direction of the ramp run (MI Std. Details ST-22C-1, ST-22C-2, ST-22D-1, and ST-22D-2).</p> <p>Parallel Curb Ramps: If the turning space is constrained at the back of sidewalk, the turning space shall be 4.0ft by 5.0ft minimum. The 5.0ft dimension shall be provided in the direction of the pedestrian crossing (MI Std. Details ST-22E-1 and ST-22E-2). Recommend including a 5.0ft. by 5.0ft turning space for parallel curb ramps as the dimension of the turning space that should be 5.0ft is ambiguous in the guidelines.</p>
Turning Space/Landing Slope	<p>The running slope of turning spaces shall be 2 percent maximum (PROWAG R402.2 & PROWAG R304.3.2).</p> <p>The cross slopes of turning spaces shall be 2 percent maximum. At pedestrian street crossings without yield or stop control and at midblock pedestrian street crossings, the cross slope shall be permitted to equal the street or highway grade. (PROWAG R304.5.3).</p>	<p>Landing cross slope and run slope for curb ramps shown as 2.0% maximum (MI Std. Details ST-22A, ST-22C-1, ST-22C-2, and ST-22E-1).</p> <p>Either landing cross slope or run slope for curb ramps shown as 2.0% maximum (MI Std. Details ST-22B, ST-22D-1, ST-22D-2, and ST-22E-2).</p>	<p>Recommend including a desired cross slope of 1.5 percent or flatter to allow for construction tolerances with 2.0 percent as the maximum cross slope.</p> <p>Add missing cross/running slope label to landing of curb ramp (MI Std. Details ST-22B, ST-22D-1, ST-22D-2, and ST-22E-2).</p> <p>Consider adding allowance for cross slope of turning spaces to match roadway grade for street crossings without yield or stop control and at midblock crossings.</p>

Curb Ramps

Design Element	Requirement	Review	Recommendations
Clear Space	<p>Beyond the bottom grade break, a clear space 4.0ft. by 4.0ft. minimum shall be provided within the width of the pedestrian crossing and wholly outside the parallel vehicle travel lane (R304.5.5).</p> <p>Diagonal or corner type curb ramps with returned curbs or other well-defined edges shall have the edges parallel to the direction of pedestrian flow. The bottom of diagonal curb ramps shall have a clear space 48 inches minimum outside active traffic lanes of the roadway. Diagonal curb ramps provided at marked crossings shall provide the 48 inches minimum clear space within the markings. Diagonal curb ramps with flared sides shall have a segment of curb 24 inches long minimum located on each side of the curb ramp and within the marked crossing (ADAS 406.6).</p>	<p>Clear space of 48" min. required at base of ramp within roadway (MI Std. Detail ST-21).</p>	<p>Add clarity to note that the 48" clear space should be outside of parallel travel lane (MI Std. Detail ST-21).</p>
Detectable Warning Surfaces	<p>Detectable warning surfaces shall extend 2.0 ft. minimum in the direction of pedestrian travel and the full width of the curb ramp (exclusive of flares), the turning space, or the blended transition. (PROWAG R305.1.4).</p> <p>The truncated domes in a detectable warning surface shall have a base diameter of 0.9 in. minimum and 1.4 in. maximum, a top diameter of 50 percent of the base diameter minimum and 65 percent of the base diameter maximum, and a height of 0.2 in. (PROWAG R305.1.1 & ADAS 705.1.1).</p> <p>The truncated domes shall have a center-to-center spacing of 1.6 in. minimum and 2.4 in. maximum, and a base-to-base spacing of 0.65 in. minimum, measured between the most adjacent domes (PROWAG R305.1.2 & ADAS 705.1.2)</p> <p>Detectable warning surfaces shall contrast visually with adjacent gutter, street or highway, or walkway surfaces, either light-on-dark or dark-on-light (PROWAG R305.1.3).</p> <p>Detectable warning surfaces shall contrast visually with adjacent walking surfaces either light-on-dark, or dark-on-light (ADAS 705.1.3).</p>	<p>Ramp texturing shown as a diamond grid pattern (MI Std. Detail ST-22).</p> <p>Truncated domes in the detectable warning surface dimensions shown as 0.45 in. min. and 0.90 in. max. top diameter, 0.90 in. min. and 1.40 in. max. bottom diameter, and 0.2 in. height.</p> <p>Center-to-center spacing between truncated domes shown as 1.60 in. to 2.40in. Distance from base-to-base of truncated domes shown as 0.65 in.</p> <p>Color of surface is per standard specifications. (MI Std. Detail ST-22F)</p>	<p>Remove MI Std. Detail ST-22.</p>

Curb Ramps

Design Element	Requirement	Review	Recommendations
Detectable Warning Surface Placement	<p>On perpendicular curb ramps, detectable warning surfaces shall be placed as follows:</p> <ul style="list-style-type: none"> • Where the ends of the bottom grade break are in front of the back of curb, detectable warning surfaces shall be placed at the back of curb. • Where the ends of the bottom grade break are behind the back of curb and the distance from either end of the bottom grade brake to the back of curb is 5.0 ft. or less, detectable warning surfaces shall be placed on the ramp run within one dome spacing of the bottom grade break. • Where the ends of the bottom grade break are behind the back of curb and the distance from either end of the bottom grade brake to the back of curb is more than 5.0 ft, detectable warning surfaces shall be placed on the lower landing at the back of curb. (PROWAG R305.2.1). <p>On parallel curb ramps, detectable warning surfaces shall be placed on the turning space at the flush transition between the street and sidewalk at the back of curb. (PROWAG R305.2.2).</p> <p>On blended transitions, detectable warning surfaces shall be placed at the back of curb. Where raised pedestrian street crossings, depressed corners, or other level pedestrian street crossings are provided, detectable warning surfaces shall be placed at the flush transition between the street and the sidewalk (PROWAG R305.2.3).</p>	<p>Following note included, "Detectable warning surface shall be placed at the back of curb, and need not follow the radius" (MI Std. Detail ST-22F).</p> <p>Following note included, "When the grade break between the curb ramp and the landing is less than or equal to 5 ft. from the back of curb at all points, place the detectable warning surface on the bottom of the curb ramp" (MI Std. Detail ST-22F).</p>	<p>Revise note 8 per markups in Attachment A.</p>
Receiving Ramp	<p>A crosswalk served by a curb ramp must also have an existing curb ramp in place on the receiving end unless there is no curb or sidewalk on that end of the crosswalk Revised Code of Washington (RCW) 35.68.075.</p>	<p>When ramps are constructed on one side of the street, ramps shall be constructed at corresponding location on opposite side of street (MI Std. Detail ST-21).</p>	<p>Revise note to include a receiving ramp on opposite side of street except where there is no curb or sidewalk (MI Std. Detail ST-21).</p>

Signals

Signals are important connections in the pedestrian network that provide crossings at intersections for all roadway users. Where pedestrian signals are provided at pedestrian street crossings, they shall include accessible pedestrian signals and pedestrian pushbuttons complying with sections 4E.08 through 4E.13 of the MUTCD (PROWAG R209.1).

Design Element	Requirement	Review	Recommendations
Accessible Pedestrian Signals and Pedestrian Pushbuttons	<p>Where pedestrian signals are provided at pedestrian street crossings, they shall include accessible pedestrian signals and pedestrian pushbuttons complying with sections 4E.08 through 4E.13 of the MUTCD. An accessible pedestrian signal and pedestrian pushbutton is an integrated device that communicates information about the WALK and DON'T WALK intervals at signalized intersections in non-visual formats (i.e., audible tones and vibrotactile surfaces) to pedestrians who are blind or have low vision. (PROWAG R209.1).</p> <p>Existing pedestrian signals shall comply with R209.1 when the signal controller and software are altered, or the signal head is replaced (PROWAG R209.2).</p>	Pedestrian push button to be mounted at 3'-6" from sidewalk to bottom of button assembly (MI Std. Detail TR-9).	Refer to WSDOT Design Manual Chapters 1330 and 1510, and MUTCD for APS standards (MI Std. Detail TR-9).
Accessible Pedestrian Pushbuttons Clear Space	<p>Clear spaces shall be 2.5 ft. minimum by 4.0 ft. minimum with additional space needed if it is confined on all or part of three sides (PROWAG R404.3).</p> <p>One full unobstructed side of a clear space shall adjoin a pedestrian access route or adjoin another clear space (PROWAG R404.6).</p>	Not mentioned.	Refer to WSDOT Design Manual Chapters 1330 and 1510, and MUTCD for APS standards (MI Std. Detail TR-9).
Accessible Pedestrian Pushbutton Reach Ranges	<p>Where a forward reach is unobstructed, the high forward reach shall be 4.0 ft. maximum and the low forward reach shall be 1.25 ft. minimum above the finish surface. Forward reach over an obstruction is not permitted (PROWAG R406.2).</p> <p>Where a clear space allows a parallel approach to an element and the side reach is unobstructed, the high side reach shall be 4.0 ft. maximum and the low side reach shall be 1.25 ft. minimum above the finish surface. An obstruction shall be permitted between the clear space and the element where the depth of the obstruction is 10 in. maximum (PROWAG R406.3).</p>	Not mentioned.	Refer to WSDOT Design Manual Chapters 1330 and 1510, and MUTCD for APS standards (MI Std. Detail TR-9).

Signals

Design Element	Requirement	Review	Recommendations
Pedestrian Crossing Times	All pedestrian signal phase timing shall comply with section 4E.06 of the MUTCD, shall be based on a pedestrian clearance time that is calculated using a pedestrian walking speed of 3.5 ft./s. or less (PROWAG R306.2).	Not mentioned.	Refer to WSDOT Design Manual Chapters 1330 and 1510, and MUTCD for APS standards (MI Std. Detail TR-9).
At Roundabouts	At roundabouts with multi-lane pedestrian street crossings, a pedestrian activated signal shall be provided for each multi-lane segment of each pedestrian street crossing, including the splitter island (PROWAG R306.3.2).	Not mentioned.	Refer to WSDOT Design Manual Chapters 1330 and 1510, and MUTCD for APS standards (MI Std. Detail TR-9).
At multi-lane channelized turn lanes	At signalized intersections and roundabouts with multi-lane channelized turn lane crossings, pedestrian activated signals shall be provided (PROWAG R306.4 & PROWAG R306.5).	Not mentioned.	Refer to WSDOT Design Manual Chapters 1330 and 1510, and MUTCD for APS standards (MI Std. Detail TR-9).

Other Pedestrian Areas

Other pedestrian areas include transit stops and work zones. Transit provides a critical lifeline of access and independence for those with limited mobility or vision. Transit stops have additional width requirements for boarding and alighting passengers, and work zones should provide the same level of accessibility as permanent pedestrian facilities.

Design Element	Requirement	Review	Recommendations
Transit Stops			
Boarding and Alighting Area Dimensions	Bus stop boarding and alighting areas shall provide a clear length of 8.0 ft. minimum, measured perpendicular to the curb or vehicle street or highway edge, and a clear width of 5.0 ft. minimum, measured parallel to the vehicle street or highway (PROWAG R308.1.1.1 & ADAS 810.2.2).	Not mentioned.	Add a statement in a location TBD that states 'For the design and construction of pedestrian facilities, in the absence of a City of Mercer Island standard, WSDOT design standards shall be followed.'
Boarding and Alighting Area Slopes	Parallel to the street or highway, the grade of the bus stop boarding and alighting areas shall be the same as the street or highway, to the extent practicable. Perpendicular to the street or highway, the grade of the bus stop boarding and alighting areas shall not be steeper than 2 percent (PROWAG R308.1.1.2 & ADAS 810.2.4).	Not mentioned.	Add a statement in a location TBD that states 'For the design and construction of pedestrian facilities, in the absence of a City of Mercer Island standard, WSDOT design standards shall be followed.'
Transit Shelters	<p>Transit shelters shall be connected by PARs to boarding and alighting areas. Transit shelters shall provide a minimum clear space complying with R404 entirely within the shelter. Where seating is provided within transit shelters, the clear space shall be located either at one end of a seat or shall not overlap the area within 1.5 ft. from the front edge of the seat (PROWAG R308.2).</p> <p>Bus shelters shall provide a minimum clear floor or ground space complying with 305 entirely within the shelter. Bus shelters shall be connected by an accessible route complying with 402 to a boarding and alighting area complying with 810.2 (ADAS 810.3).</p>	Not mentioned.	Add a statement in a location TBD that states 'For the design and construction of pedestrian facilities, in the absence of a City of Mercer Island standard, WSDOT design standards shall be followed.'

Other Pedestrian Areas

Parking			
Parking Spaces	<p>Where parking spaces are marked with lines, width measurements of parking spaces and access aisles shall be made from the centerline of the markings (ADAS 502.1).</p> <p>Car parking spaces shall be 96 inches wide minimum and van parking spaces shall be 132 inches wide minimum, shall be marked to define the width, and shall have an adjacent access aisle (ADAS 502.2).</p> <p>Van parking spaces shall be permitted to be 96 inches wide minimum where the access aisle is 96 inches wide minimum (ADAS 502.2 Exception).</p>	<p>Off-street parking shall meet the relevant state design standards for the physically disabled (MIC 19.03.020, 19.04.040, 19.05.020).</p>	<p>Add a statement in a location TBD that states 'For the design and construction of pedestrian facilities, in the absence of a City of Mercer Island standard, WSDOT design standards shall be followed.'</p>
Parking Access Aisles	<p>Access aisles shall adjoin an accessible route. Two parking spaces shall be permitted to share a common access aisle (ADAS 502.3).</p> <p>Access aisles serving car and van parking spaces shall be 60 inches wide minimum (ADAS 502.3.1).</p> <p>Access aisles shall extend the full length of the parking spaces they serve (ADAS 502.3.2).</p> <p>Access aisles shall be marked so as to discourage parking in them (ADAS 502.3.3).</p> <p>Access aisles shall not overlap the vehicular way. Access aisles shall be permitted to be placed on either side of the parking space except for angled van parking spaces which shall have access aisles located on the passenger side of the parking spaces (ADAS 502.3.4).</p>	<p>Off-street parking shall meet the relevant state design standards for the physically disabled (MIC 19.03.020, 19.04.040, 19.05.020).</p>	<p>Add a statement in a location TBD that states 'For the design and construction of pedestrian facilities, in the absence of a City of Mercer Island standard, WSDOT design standards shall be followed.'</p>
Parking identification.	<p>Parking space identification signs shall include the International Symbol of Accessibility complying with 703.7.2.1. Signs identifying van parking spaces shall contain the designation "van accessible." Signs shall be 60 inches minimum above the finish floor or ground surface measured to the bottom of the sign (ADAS 502.6).</p>	<p>Off-street parking shall meet the relevant state design standards for the physically disabled (MIC 19.03.020, 19.04.040, 19.05.020).</p>	<p>Add a statement in a location TBD that states 'For the design and construction of pedestrian facilities, in the absence of a City of Mercer Island standard, WSDOT design standards shall be followed.'</p>
Parallel Parking Spaces	<p>Where the width of the adjacent sidewalk or available right-of-way exceeds 14.0 ft, an access aisle 5.0 ft. wide minimum shall be provided at street level the full length of the parking space and shall connect to a pedestrian access route. The access aisle shall comply with R302.7 and</p>	<p>Off-street parking shall meet the relevant state design standards for the physically disabled (MIC 19.03.020, 19.04.040, 19.05.020).</p>	<p>Add a statement in a location TBD that states 'For the design and construction of pedestrian facilities, in the absence of a City of Mercer Island standard, WSDOT design standards shall be followed.'</p>

Other Pedestrian Areas

	<p>shall not encroach on the vehicular travel lane (PROWAG R309.2.1).</p> <p>In alterations where the street or sidewalk adjacent to the parking spaces is not altered, an access aisle shall not be required provided the parking spaces are located at the end of the block face (PROWAG R309.2.1.1).</p> <p>An access aisle is not required where the width of the adjacent sidewalk or the available right-of-way is less than or equal to 14.0 ft. When an access aisle is not provided, the parking spaces shall be located at the end of the block face (PROWAG R309.2.2).</p>		
Perpendicular or Angled Parking Spaces	<p>Where perpendicular or angled parking is provided, an access aisle 8.0 ft. wide minimum shall be provided at street level the full length of the parking space and shall connect to a pedestrian access route. The access aisle shall comply with R302.7 and shall be marked so as to discourage parking in the access aisle. Two parking spaces are permitted to share a common access aisle (PROWAG R309.3).</p>	<p>Off-street parking shall meet the relevant state design standards for the physically disabled (MIC 19.03.020, 19.04.040, 19.05.020).</p>	<p>Add a statement in a location TBD that states 'For the design and construction of pedestrian facilities, in the absence of a City of Mercer Island standard, WSDOT design standards shall be followed.'</p>

Alternative Pedestrian Access Routes

Alternate Pedestrian Access Route	<p>When a pedestrian circulation path is temporarily closed by construction, alterations, maintenance operations, or other conditions, an alternate pedestrian access route complying with sections 6D.01, 6D.02, and 6G.05 of the MUTCD shall be provided. Where provided, pedestrian barricades and channelizing devices shall comply with sections 6F.63, 6F.68, and 6F.71 of the MUTCD (PROWAG R205).</p>	<p>Not mentioned.</p>	<p>Add a statement in a location TBD that states 'For the design and construction of pedestrian facilities, in the absence of a City of Mercer Island standard, WSDOT design standards shall be followed.'</p>
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Driveways

Driveways	<p>The cross slope shall be 2 percent maximum (PROWAG R304.5.3).</p> <p>Cross slope of ramp runs shall not be steeper than 1:48. (ADAS 405.3)</p> <p>The running slope shall be 5 percent minimum and 8.3 percent maximum but shall not require the ramp length to exceed 15.0 ft. (PROWAG R304.2.2).</p>	<p>MI Std. Detail ST-19 shows grade breaks that are not perpendicular to the path of travel.</p> <p>MI Std. Detail ST-20 shows no ramping down of sidewalk to driveway grade.</p>	<p>Remove driveway options shown in MI Std. Details ST-19 and ST-20.</p> <p>Add a statement in a location TBD that states 'For the design and construction of pedestrian facilities, in the absence of a City of Mercer Island standard, WSDOT design standards shall be followed.'</p>
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Ramps

Other Pedestrian Areas

Ramp Width	The clear width of a ramp run and, where handrails are provided, the clear width between handrails shall be 3.0 ft. minimum (PROWAG R407.4 & ADAS 405.5).	Not mentioned.	Add a statement in a location TBD that states 'For the design and construction of pedestrian facilities, in the absence of a City of Mercer Island standard, WSDOT design standards shall be followed.'
Running Slope	Ramp runs shall have a running slope between 5 percent minimum and 8.3 percent maximum (PROWAG R407.2) Ramp runs shall have a running slope not steeper than 1:12. In existing sites, buildings, and facilities, ramps shall be permitted to have running slopes steeper than 1:12 complying with Table 405.2 where such slopes are necessary due to space limitations (ADAS 405.2).	Not mentioned.	Add a statement in a location TBD that states 'For the design and construction of pedestrian facilities, in the absence of a City of Mercer Island standard, WSDOT design standards shall be followed.'
Cross Slope	The cross slope of ramp runs shall be 2 percent maximum (PROWAG R407.3). Cross slope of ramp runs shall not be steeper than 1:48. (ADAS 405.3)	Not mentioned.	Add a statement in a location TBD that states 'For the design and construction of pedestrian facilities, in the absence of a City of Mercer Island standard, WSDOT design standards shall be followed.'
Rise	The rise for any ramp run shall be 2.5 ft. maximum (PROWAG R407.4 & ADAS 405.6).	Not mentioned.	Add a statement in a location TBD that states 'For the design and construction of pedestrian facilities, in the absence of a City of Mercer Island standard, WSDOT design standards shall be followed.'
Landing Size	Ramps shall have landings at the top and the bottom of each ramp run (PROWAG R407.6 & ADAS 405.7). The landing clear width shall be at least as wide as the widest ramp run leading to the landing (PROWAG R407.6.2 & ADAS 405.7.2) The landing clear length shall be 5.0 ft. long minimum (PROWAG R407.6.3 & ADAS 405.7.3) Ramps that change direction between runs at landings shall have a clear landing 5.0 ft. by 5.0 ft. minimum (PROWAG R407.6.4 & ADAS 405.7.4).	Not mentioned.	Add a statement in a location TBD that states 'For the design and construction of pedestrian facilities, in the absence of a City of Mercer Island standard, WSDOT design standards shall be followed.'
Landing Slope	Landing slopes shall be 2 percent maximum in any direction (PROWAG R407.6.1 & ADAS 405.7.1).	Not mentioned.	Add a statement in a location TBD that states 'For the design and construction of pedestrian facilities, in the absence of a City of Mercer Island standard, WSDOT design standards shall be followed.'
Stairways			
Stairway Treads and Risers	All steps on a flight of stairs shall have uniform riser heights and uniform tread depths. Risers shall be	Note states "All steps: same dimensions, within 3/8" max. difference".	Revise max. riser height to 7 inches (MI Standard Detail ST-24).

Other Pedestrian Areas

	<p>4 in. high minimum and 7 in. high maximum. Treads shall be 11 in. deep minimum (PROWAG R408.2 & ADAS 504.2).</p> <p>Open risers are not permitted (PROWAG R408.3 & ADAS 504.3).</p> <p>The radius of curvature at the leading edge of the tread shall be 0.5 in. maximum. Nosings that project beyond risers shall have the underside of the leading edge curved or beveled. Risers shall be permitted to slope under the tread at an angle of 30 degrees maximum from vertical. The permitted projection of the nosing shall extend 1.5 in. maximum over the tread below (PROWAG R408.5 & ADAS 504.5).</p>	<p>Note states "Risers: 7 ½" max., 5" min."</p> <p>Note states "Treads" 12" max., 11" min. with transverse 0.01 ft./ft. slope"</p> <p>Stair projection shown as 3/4" (MI Standard Detail ST-24).</p> <p>Risers shown as 7 in (MI Standard Detail ST-25).</p>	<p>Add tread minimum depth dimension (MI Std. Detail ST-25).</p>
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Handrails

<p>Handrails</p>	<p>Stairways shall have handrails (PROWAG R408.6).</p> <p>Handrails are required on ramp runs with a rise greater than 6 in. and on certain stairways (PROWAG R407.8 & ADAS 405.8).</p> <p>Edge protection complying shall be provided on each side of ramp runs and landings (PROWAG R407.9 & ADAS 405.9).</p> <p>Where required handrail shall be provided on both sides of ramps and stairways (PROWAG R409.2 & ADAS 505.2).</p> <p>Top of gripping surfaces of handrails shall be 2.8 ft. minimum and 3.2 ft. maximum vertically above walking surfaces, ramp surfaces, and stair nosings. Handrails shall be at a consistent height above walking surfaces, ramp surfaces, and stair nosings (PROWAG R409.4 & ADAS 505.4).</p> <p>Clearance between handrail gripping surfaces and adjacent surfaces shall be 1.5 in. minimum (PROWAG R409.5 & ADAS 505.5).</p> <p>Handrail gripping surfaces shall be continuous along their length and shall not be obstructed along their tops or sides. The bottoms of handrail gripping surfaces shall not be obstructed for more than 20 percent of their length. Where provided, horizontal projections shall occur 1.5 in. minimum below the bottom of the handrail gripping</p>	<p>Note states "A handrail is required on one side only as per U.B.C." (MI Standard Detail ST-24).</p> <p>Add reference to MI Standard Detail ST-24 to follow WSDOT Design Manual Chapter 1510 for handrail requirements in the public right-of-way.</p>
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Other Pedestrian Areas

	surface (PROWAG R409.6 & ADAS 505.6).		
Handrail Extension on Ramps	Ramp handrails shall extend horizontally above the landing for 1.0 ft. minimum beyond the top and bottom of ramp runs. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent ramp run. (PROWAG R409.10.1 & ADAS 505.10.1).	Not mentioned.	Add reference to MI Standard Detail ST-23 to follow WSDOT Design Manual Chapter 1510 for handrail requirements in the public right-of-way.
Handrail Extension on Stairways	At the top of a stair flight, handrails shall extend horizontally above the landing for 1.0 ft. minimum beginning directly above the first riser nosing. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight (PROWAG R409.10.2 & ADAS 505.10.2). At the bottom of a stair flight, handrails shall extend at the slope of the stair flight for a horizontal distance at least equal to one tread depth beyond the last riser nosing. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight. (PROWAG R409.10.3 & ADAS 505.10.3).	Bottom extension shown as horizontal and 1'-6". No top extension dimension shown (MI Std. Detail ST-24). Top extension shown horizontally for 1' – 9". No Bottom extension dimension shown (MI Std. Detail ST-25).	Add reference to MI Standard Details ST-24 and ST-25 to follow WSDOT Design Manual Chapter 1510 for handrail requirements in the public right-of-way. Show bottom extension parallel with slope of stairs for one tread length (MI Std. Detail ST-24). Add bottom extension dimension (MI Std. Detail ST-25).
Handrail Cross Section	Handrail gripping surfaces with a circular cross section shall have an outside diameter of 1.25 in. minimum and 2 in. maximum (PROWAG R409.7.1 & ADAS 505.7). Handrail gripping surfaces with a non-circular cross section shall have a perimeter dimension of 4 in. minimum and 6.25 in. maximum, and a cross-section dimension of 2.25 in. maximum (PROWAG R409.7.2 & ADAS 505.7).	Handrail to be 1.5" (MI Std. Detail ST-25).	Add reference to MI Standard Details ST-24 and ST-25 to follow WSDOT Design Manual Chapter 1510 for handrail requirements in the public right-of-way.

Railways

Railroad Flangeway Gaps	Flangeway gaps at pedestrian at-grade rail crossings shall be 2.5 in. maximum on non-freight rail track and 3 in. maximum on freight rail track (PROWAG R302.7.4). Where a circulation path serving boarding platforms crosses tracks, it shall comply with 402. Openings for wheel flanges shall be permitted to be 2 1/2 inches maximum (ADAS 810.10).	Not mentioned.	No recommendation as there are no railroad crossings with pedestrian facilities in City of Mercer Island.
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Other Pedestrian Areas

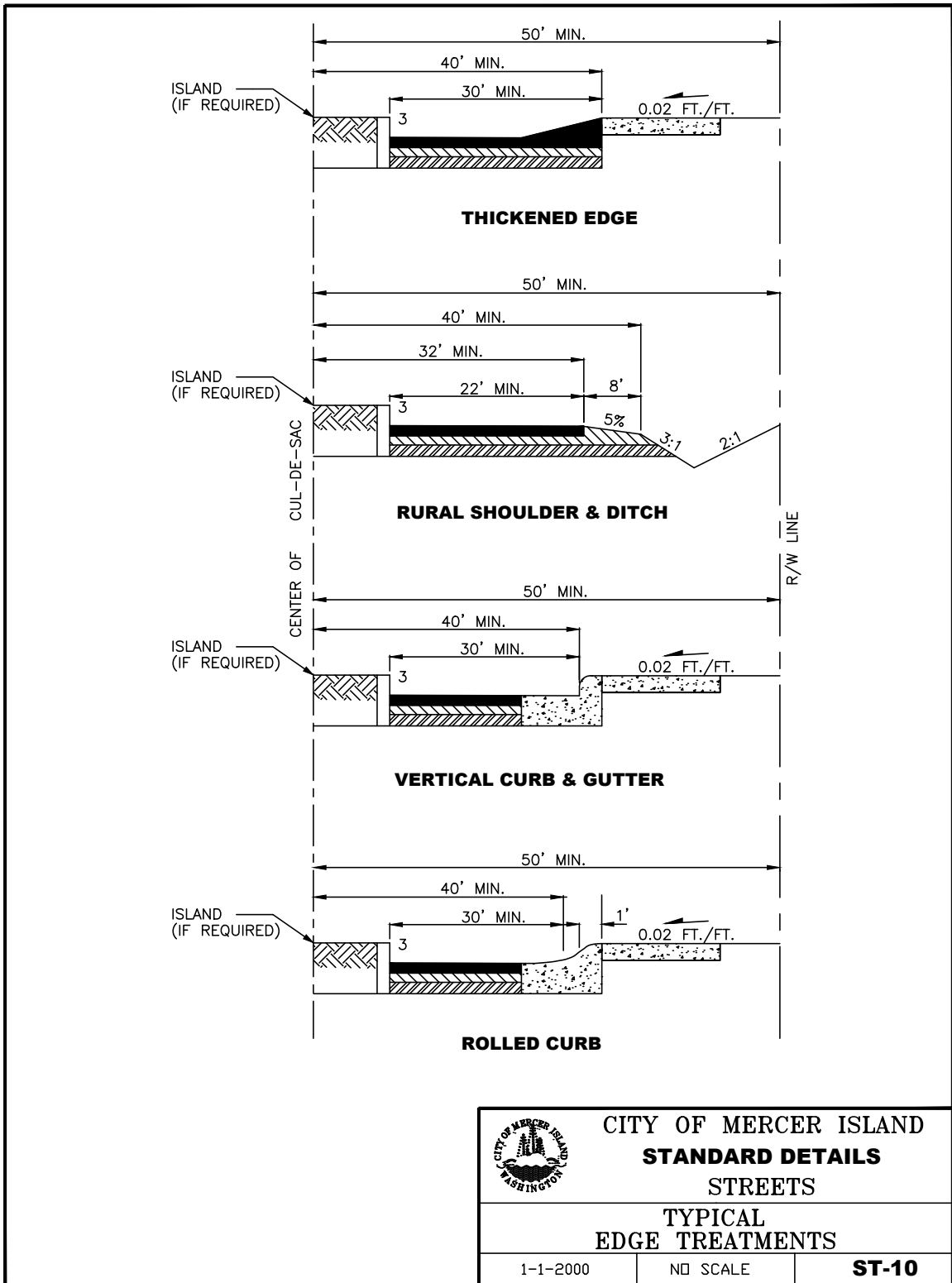
<p>Detectable Warning Surfaces at Rail Crossings</p>	<p>At pedestrian at-grade rail crossings not located within a street or highway, detectable warning surfaces shall be placed on each side of the rail crossing. The edge of the detectable warning surface nearest the rail crossing shall be 6.0 ft. minimum and 15.0 ft. maximum from the centerline of the nearest rail. Where pedestrian gates are provided, detectable warning surfaces shall be placed on the side of the gates opposite the rail. (PROWAG R305.2.5).</p>	<p>Not mentioned.</p>	<p>No recommendation as there are no railroad crossings with pedestrian facilities in City of Mercer Island.</p>
<p>Detectable Warning Surfaces at Rail Boarding Areas</p>	<p>At boarding platforms for rail vehicles, detectable warning surfaces shall be placed at the boarding edge of the platform (PROWAG R305.2.6). At boarding and alighting areas at sidewalk or street level transit stops for rail vehicles, detectable warning surfaces shall be placed at the side of the boarding and alighting area facing the rail vehicles (PROWAG R305.2.7).</p>	<p>Not mentioned.</p>	<p>No recommendation as there are no railroad crossings with pedestrian facilities in City of Mercer Island.</p>

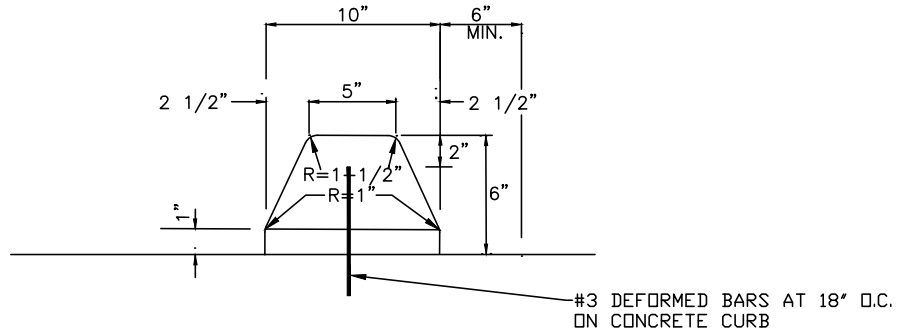
Facilities & Parks

The design of facilities and parks are governed by a variety of state, national, and international building codes. Since the majority of these codes are developed on a national or international level, it was assumed that these codes comply with relevant ADA standards.

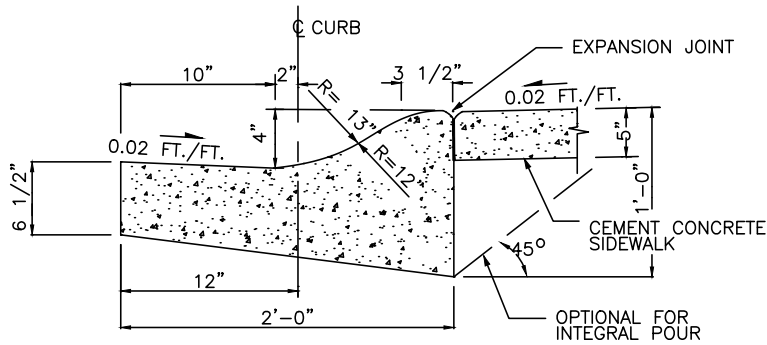
Attachments:

Attachment A: City of Mercer Island Standard Detail Markups

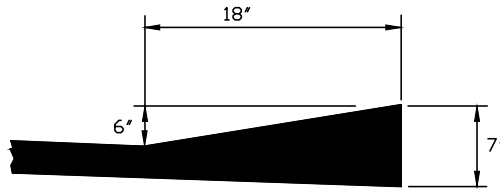




**EXTRUDED ASPHALT OR CEMENT
CONCRETE CURB**




CEMENT CONCRETE ROLLED CURB

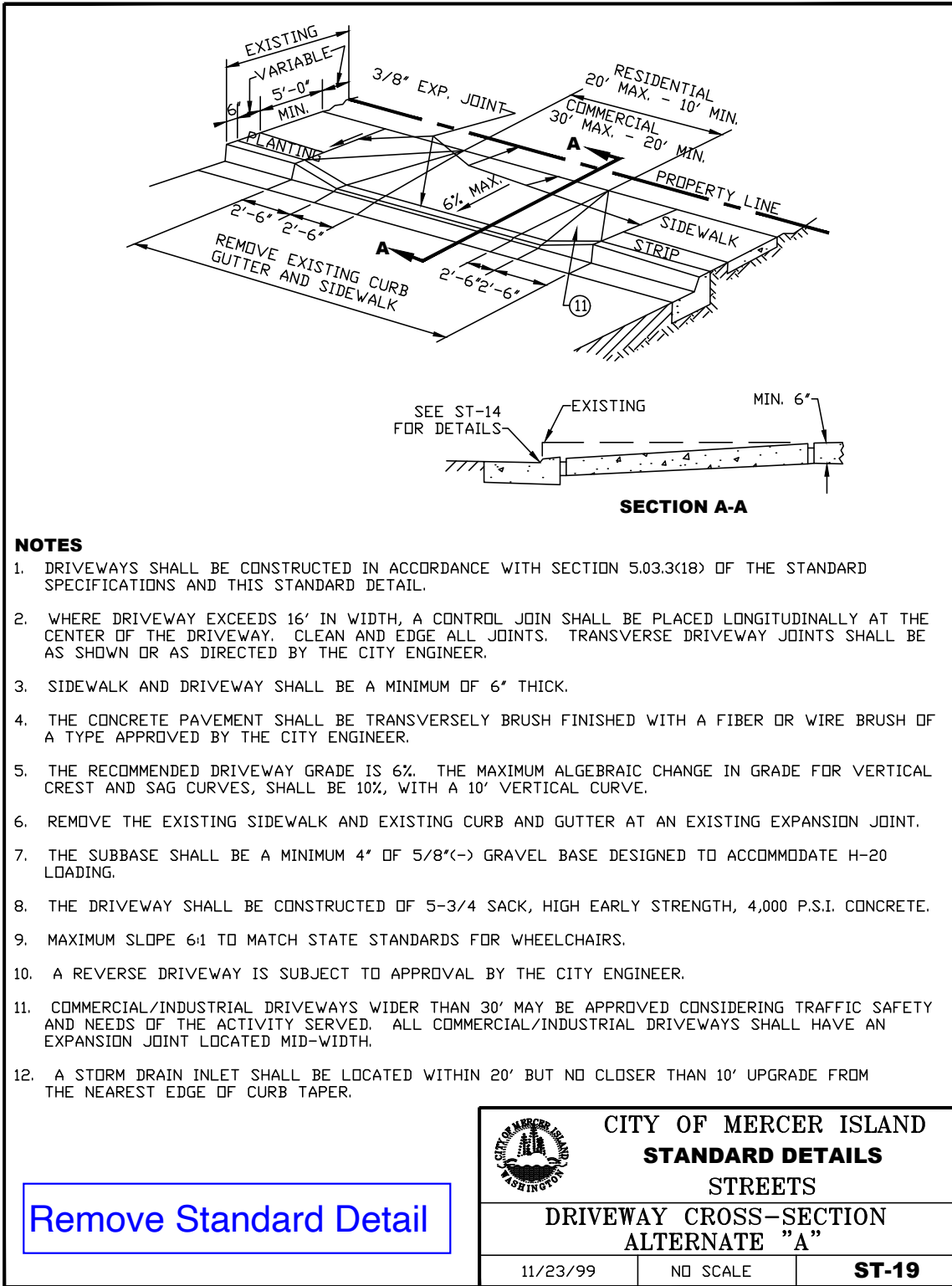


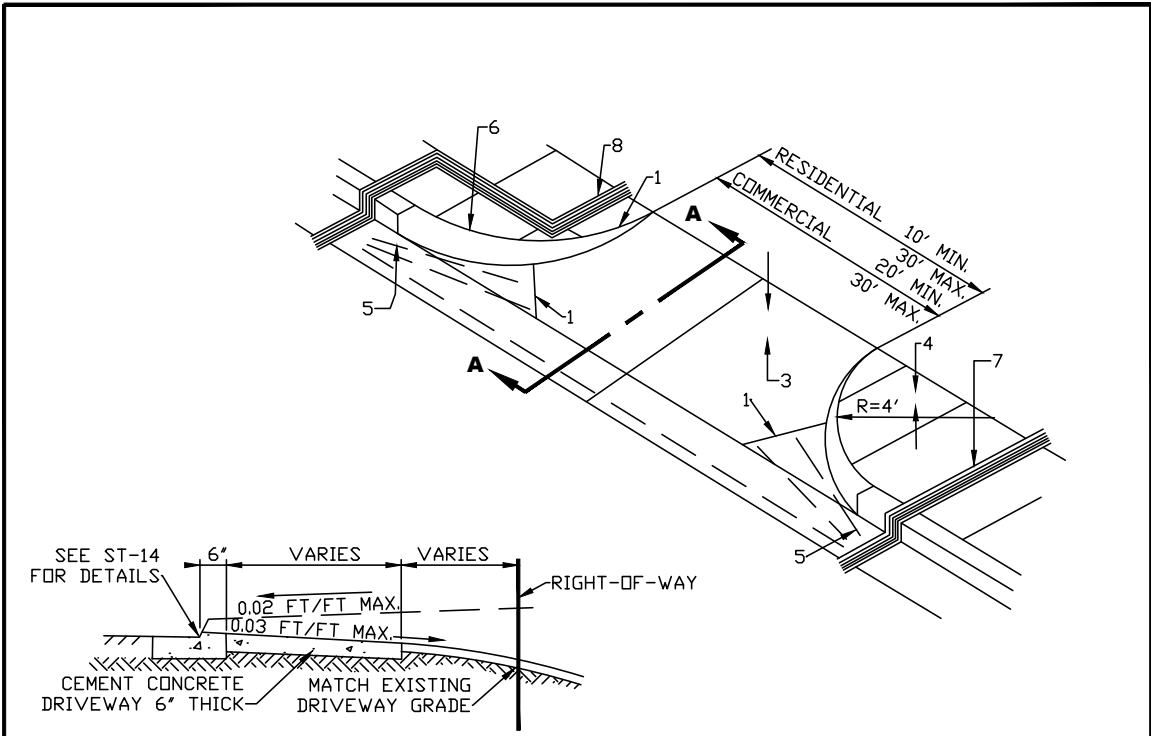
ASPHALT THICKENED EDGE

NOTES:

1. SEE DETAIL ST-14 FOR JOINT REQUIREMENTS.
2. ROLL GUTTER TO MATCH POSITIVE SUPERELEVATION.
3. SEE DRAWING NO. T-15A FOR CONFIGURATION OF FILL & WALKWAY BEHIND CURB IF REQUIRED.
4. FOR INTEGRAL POUR CONSTRUCTION, 1/4" EDGED GROOVE MAY REPLACE EXPANSION JOINT AT INTERFACE BETWEEN THE CURB AND ADJACENT SIDEWALK.

	CITY OF MERCER ISLAND STANDARD DETAILS STREETS	
	CURB DETAILS	
11/23/99	NO SCALE	ST-16






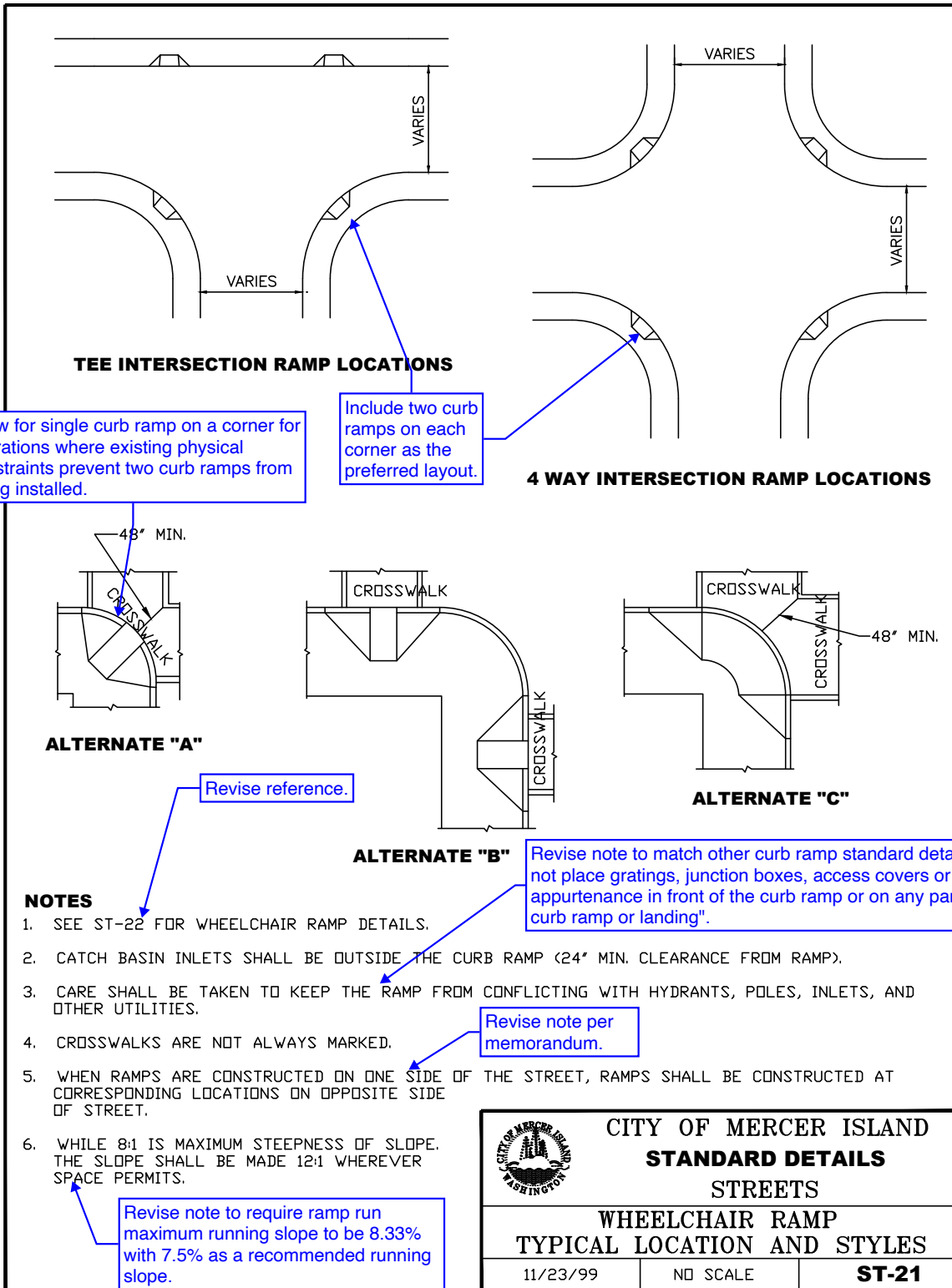
SECTION A-A

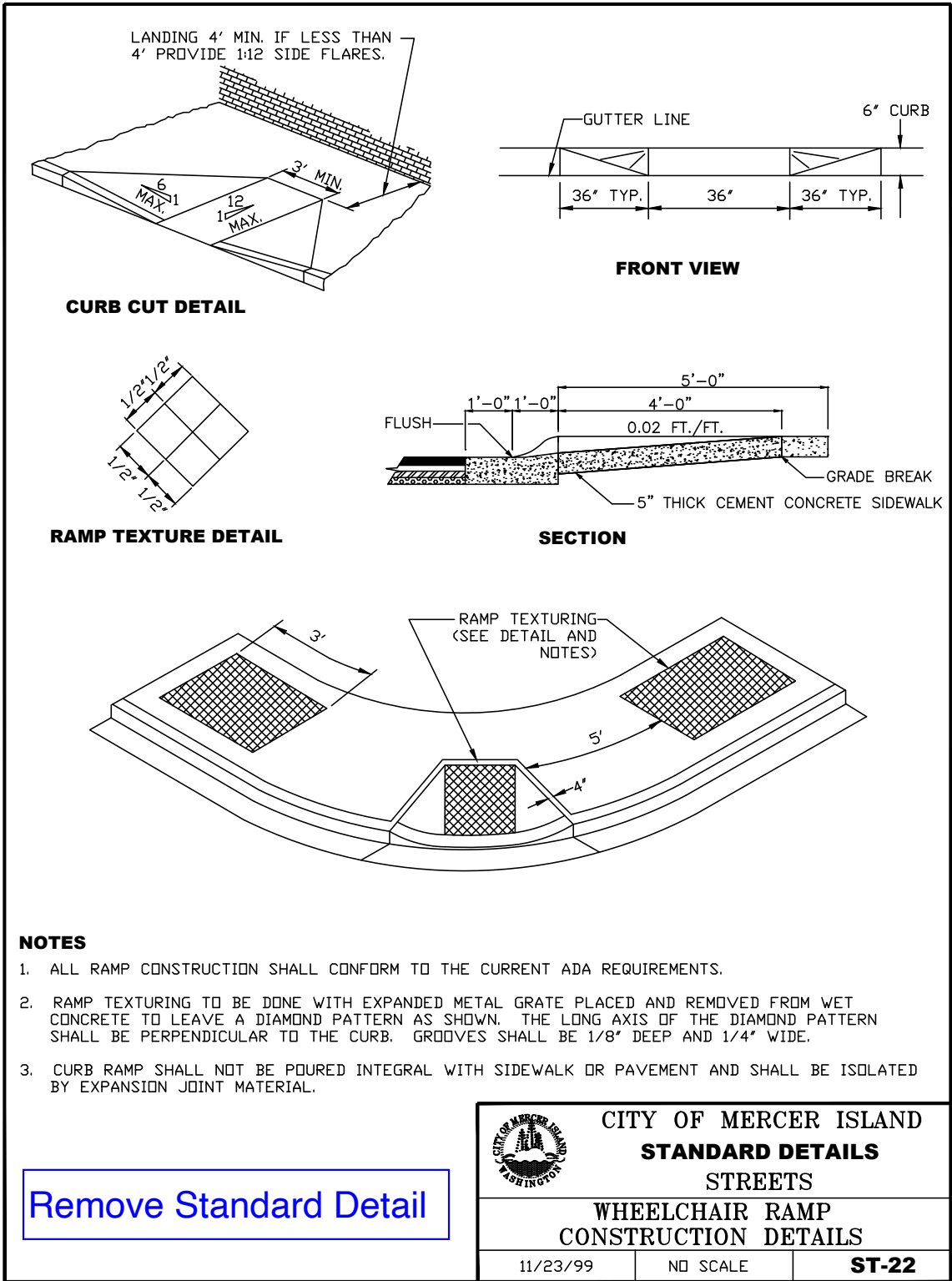
NOTES

1. 3/8" THRU JOINT MATERIAL.
2. 2" TRANSVERSE DUMMY JOINT ON DRIVEWAY CENTERLINE ON DRIVEWAYS 20' AND OVER.
3. THE DRIVEWAY SHALL BE CONSTRUCTED OF 5-3/4 SACK, HIGH EARLY STRENGTH, 4,000 P.S.I. CONCRETE.
4. SIDEWALK TO BE A 4" THICK, EXCEPT IN DRIVEWAY AREA.
5. 2 1/2" DEFORMED REBARS 30" LONG PER ASTM A-15, EACH END. 1 1/2" DEFORMED REBAR FULL WIDTH OF DRIVEWAY.
6. ROLLED CURBING.
7. SAW CUT THRU SIDEWALK AND CURB ALONG SCORE MARK IS MANDATORY.
8. OPTIONAL SAWCUT WHERE SIDEWALK HAS LONGITUDINAL SCORING.

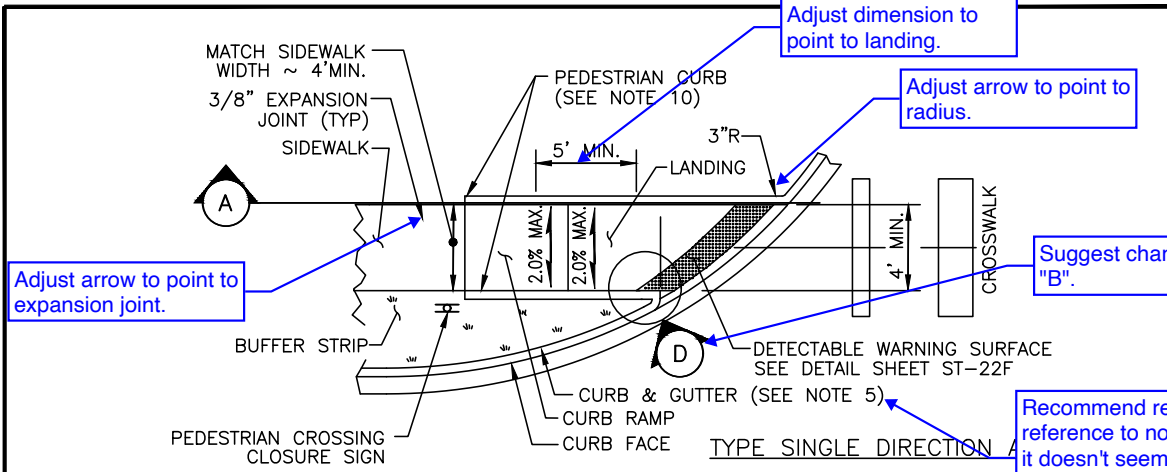
Remove Standard Detail

	CITY OF MERCER ISLAND STANDARD DETAILS STREETS	
	DRIVEWAY CROSS-SECTION ALTERNATE "B"	
11/23/99	NO SCALE	ST-20



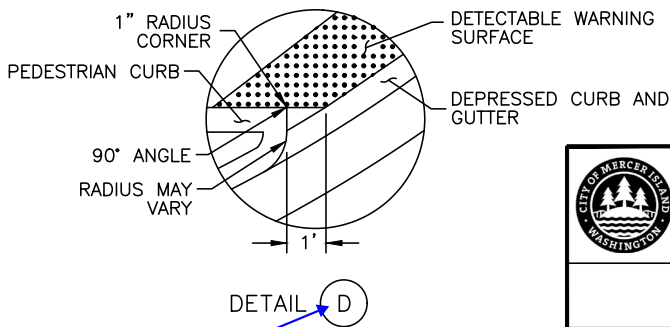
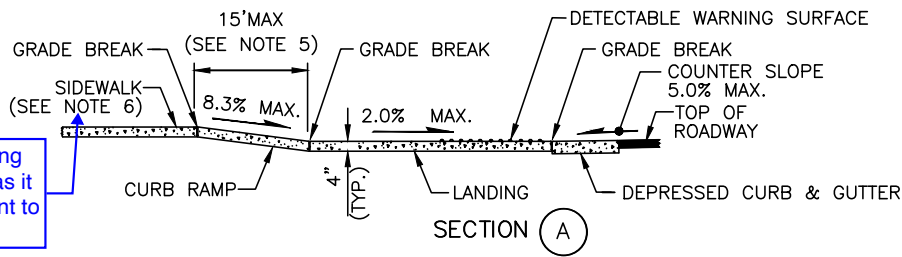



Remove Standard Detail

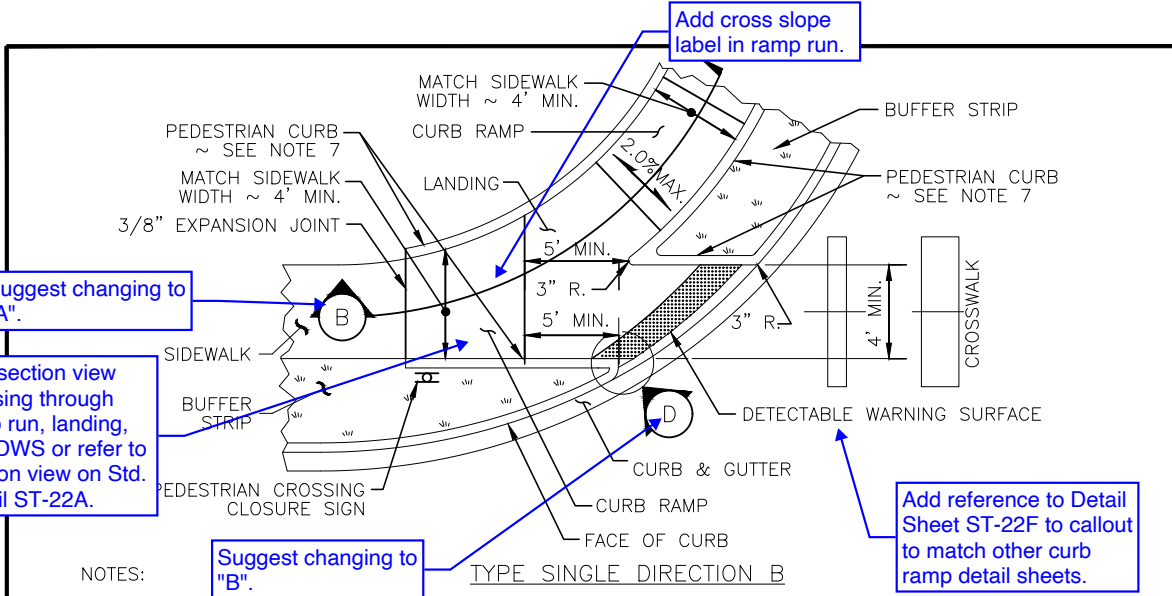


NOTES

1. THIS PLAN IS TO BE USED WHERE PEDESTRIAN CROSSING IN ONE DIRECTION IS NOT PERMITTED.
2. CURB RAMP LOCATION SHALL BE PLACED WITHIN THE WIDTH OF THE ASSOCIATED CROSSWALK, OR AS SHOWN IN THE CONTRACT PLANS.
3. WHERE "GRADE BREAK" IS CALLED OUT, THE ENTIRE LENGTH OF THE GRADE BREAK BETWEEN THE TWO ADJACENT SURFACE PLANES SHALL BE FLUSH.
4. DO NOT PLACE GRATINGS, JUNCTION BOXES, ACCESS COVERS OR OTHER APPURTENANCES IN FRONT OF THE CURB RAMP OR ON ANY PART OF THE CURB RAMP OR LANDING.
5. THE CURB RAMP MAXIMUM RUNNING SLOPE SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15 FOOT MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE AS FLAT AS FEASIBLE.
6. CURB RAMPS AND LANDINGS SHALL RECEIVE BROOM FINISH.
7. PEDESTRIAN CURB MAY BE OMITTED IF THE GROUND SURFACE AT THE BACK OF THE CURB RAMP AND/OR LANDING WILL BE AT THE SAME ELEVATION AS THE CURB RAMP OR LANDING AND THERE WILL BE NO MATERIAL TO RETAIN.



	CITY OF MERCER ISLAND STANDARD DETAILS STREETS	
	SINGLE DIRECTION A CURB RAMP	
8/14/2015	NO SCALE	ST-22A



Suggest changing to "A".

Add section view crossing through ramp run, landing, and DWS or refer to section view on Std. Detail ST-22A.

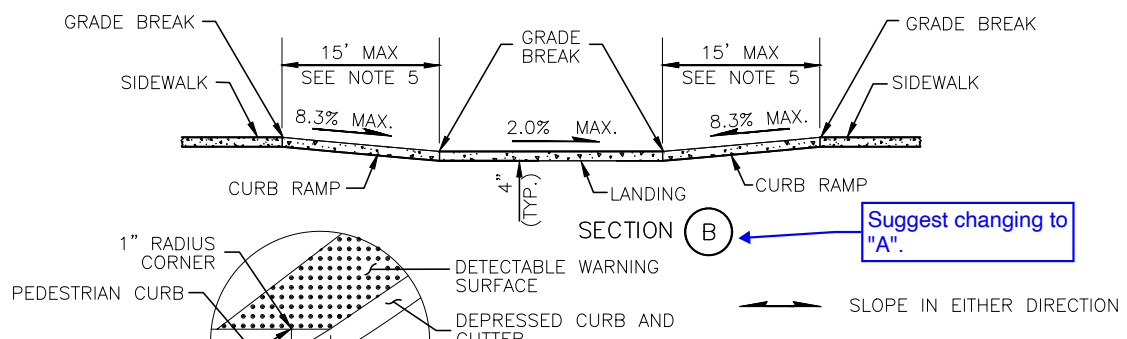
Add cross slope label in ramp run.

Suggest changing to "B".

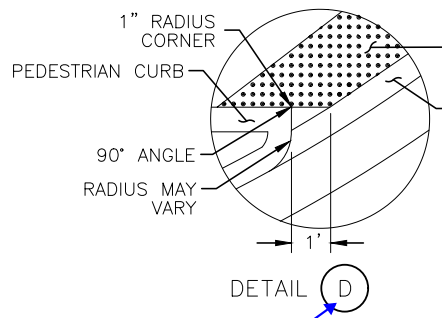
Add reference to Detail Sheet ST-22F to callout to match other curb ramp detail sheets.

NOTES:


- 1. THIS PLAN IS TO BE USED WHERE PEDESTRIAN CROSSING IN ONE DIRECTION IS NOT PERMITTED.
- 2. CURB RAMP LOCATION SHALL BE PLACED WITHIN THE WIDTH OF THE ASSOCIATED CROSSWALK, OR AS SHOWN IN THE CONTRACT PLANS.
- 3. WHERE "GRADE BREAK" IS CALLED OUT, THE ENTIRE LENGTH OF THE GRADE BREAK BETWEEN THE TWO ADJACENT SURFACE PLANES SHALL BE FLUSH.
- 4. DO NOT PLACE GRATINGS, JUNCTION BOXES, ACCESS COVERS OR OTHER APPURTENANCES IN FRONT OF THE CURB RAMP OR ON ANY PART OF THE CURB RAMP OR LANDING.
- 5. THE CURB RAMP MAXIMUM RUNNING SLOPE SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15 FOOT MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE AS FLAT AS FEASIBLE.
- 6. CURB RAMPS AND LANDINGS SHALL RECEIVE BROOM FINISH.
- 7. PEDESTRIAN CURB MAY BE OMITTED IF THE GROUND SURFACE AT THE BACK OF THE CURB RAMP AND/OR LANDING WILL BE AT THE SAME ELEVATION AS THE CURB RAMP OR LANDING AND THERE WILL BE NO MATERIAL TO RETAIN.

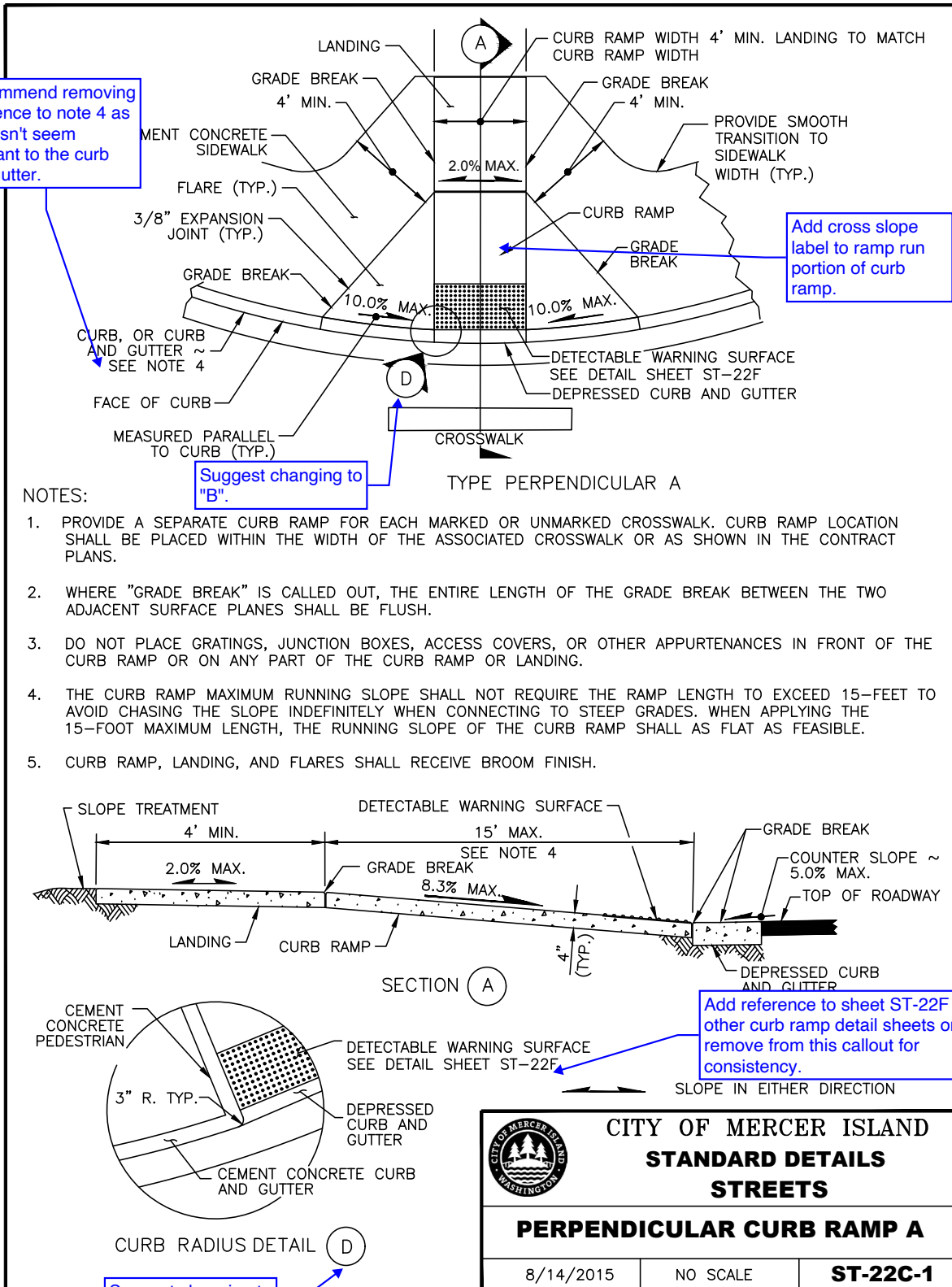


Suggest changing to "A".



Suggest changing to "B".

	CITY OF MERCER ISLAND STANDARD DETAILS STREETS	
	SINGLE DIRECTION B CURB RAMP	
8/14/2015	NO SCALE	ST-22B



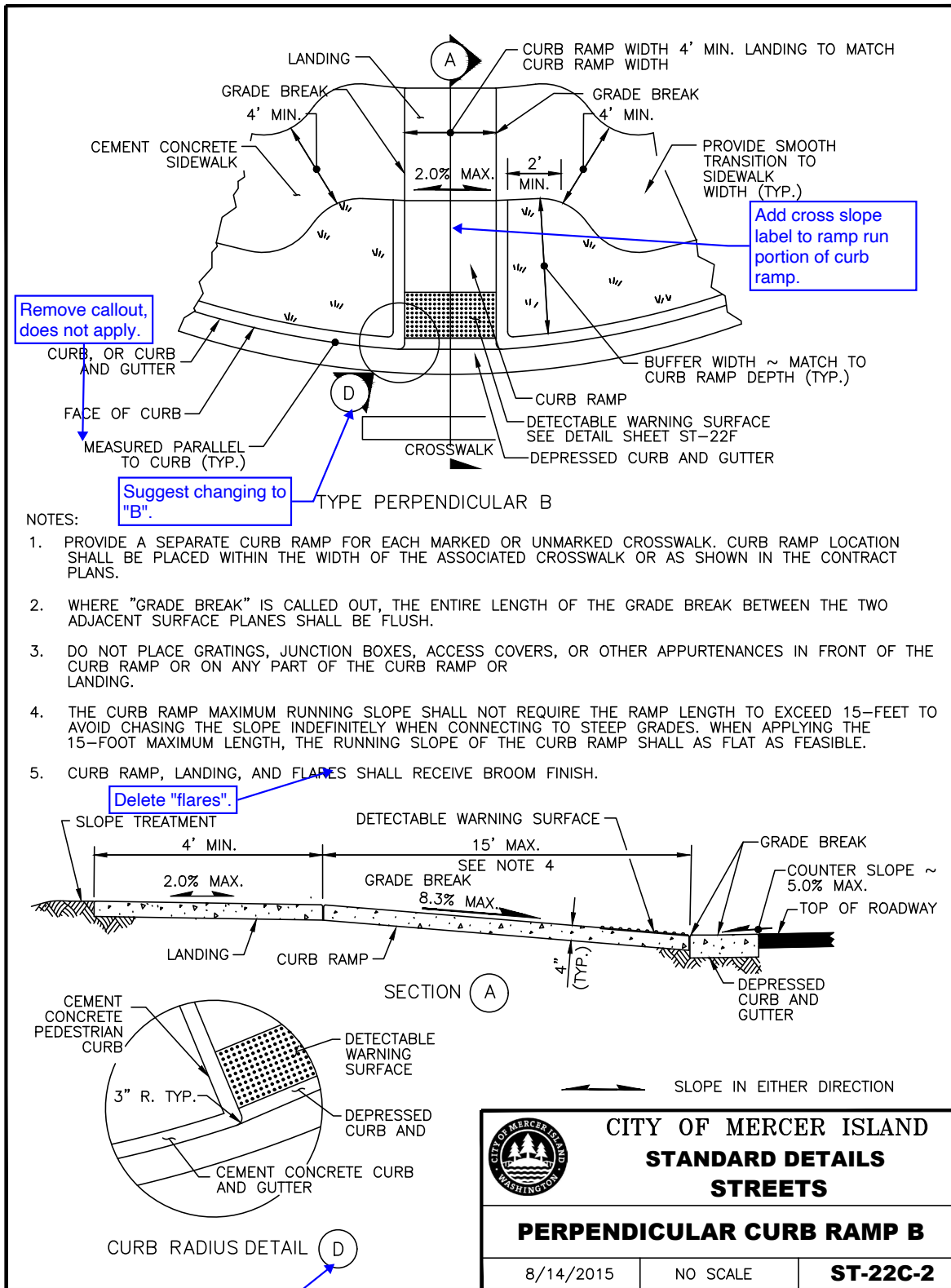
Recommend removing reference to note 4 as it doesn't seem relevant to the curb and gutter.


Add cross slope label to ramp run portion of curb ramp.

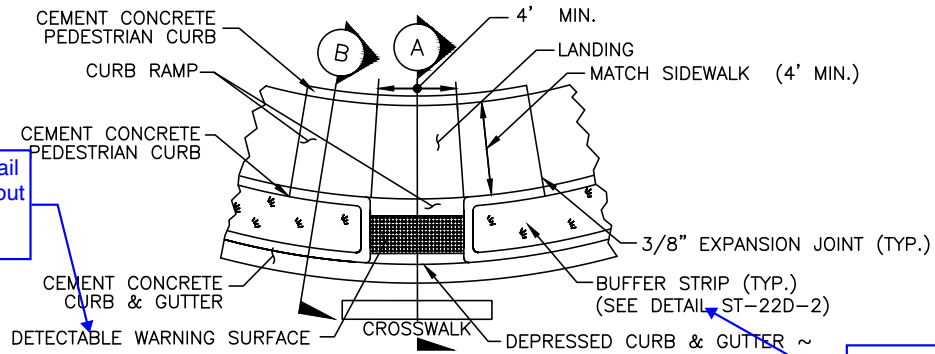
Suggest changing to "B".

Add reference to sheet ST-22F to other curb ramp detail sheets or remove from this callout for consistency.

Suggest changing to "B".



 <p>CITY OF MERCER ISLAND STANDARD DETAILS STREETS</p>		
PERPENDICULAR CURB RAMP B		
8/14/2015	NO SCALE	ST-22C-2



TYPE COMBINATION

NOTES:

1. PROVIDE A SEPARATE CURB RAMP FOR EACH MARKED OR UNMARKED CROSSWALK. CURB RAMP LOCATION SHALL BE PLACED WITHIN THE WIDTH OF THE ASSOCIATED CROSSWALK OR AS SHOWN IN THE CONTRACT PLANS.
2. WHERE "GRADE BREAK" IS CALLED OUT, THE ENTIRE LENGTH OF THE GRADE BREAK BETWEEN THE TWO ADJACENT SURFACE PLANES SHALL BE FLUSH.
3. DO NOT PLACE GRATINGS, JUNCTION BOXES, ACCESS COVERS, OR OTHER APPURTENANCES IN FRONT OF THE CURB RAMP OR ON ANY PART OF THE CURB RAMP OR LANDING.
4. ~~CURB AND GUTTER, DEPRESSURED CURB, GUTTER AND PEDESTRIAN CURB DETAILS.~~
5. ~~CURB AND GUTTER, DEPRESSURED CURB AND GUTTER, PEDESTRIAN CURB, OR SIDEWALKS.~~
6. THE CURB RAMP MAXIMUM RUNNING SLOPE SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15-FOOT MAX. LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE AS FLAT AS FEASIBLE. CURB RAMP, LANDING AND FLARES SHALL RECEIVE BROOM FINISH.
7. PEDESTRIAN CURB MAY BE OMITTED IF THE GROUND SURFACE AT THE BACK OF THE CURB RAMP AND/OR LANDING WILL BE AT THE SAME ELEVATION AS THE CURB RAMP OR LANDING AND THERE NOT BE MATERIAL TO RETAIN.

Add reference to Detail Sheet ST-22F to callout to match other curb ramp detail sheets.

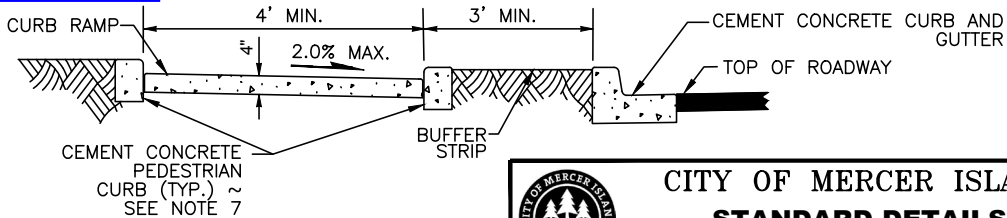
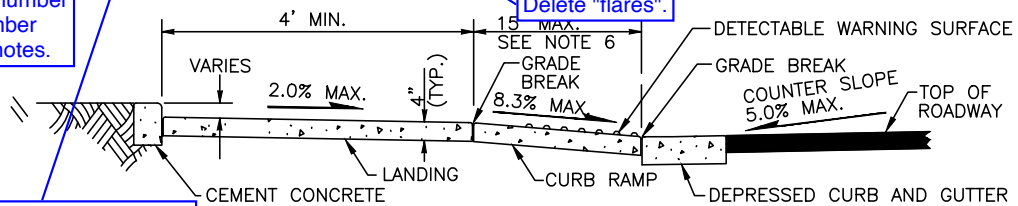
Add name of letter of detail being referenced.

Delete notes and renumber following notes.


Add note number and renumber following notes.

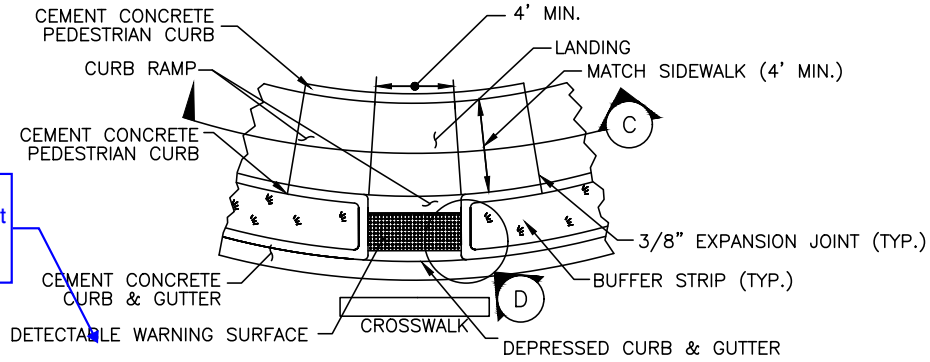
Delete "flares".

Add note to refer to Detail ST-22D-2 for further details on combination curb ramps.



SECTION B

 <p>CITY OF MERCER ISLAND STANDARD DETAILS STREETS</p>		
COMBINATION CURB RAMP A		
8/14/2015	NO SCALE	ST-22D-1



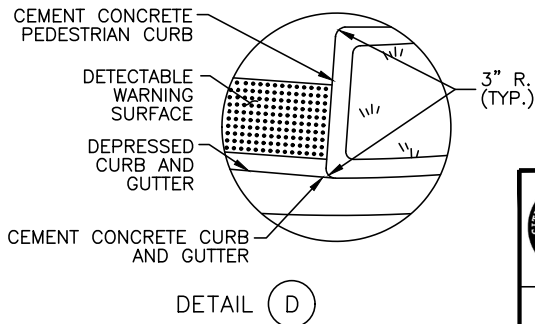
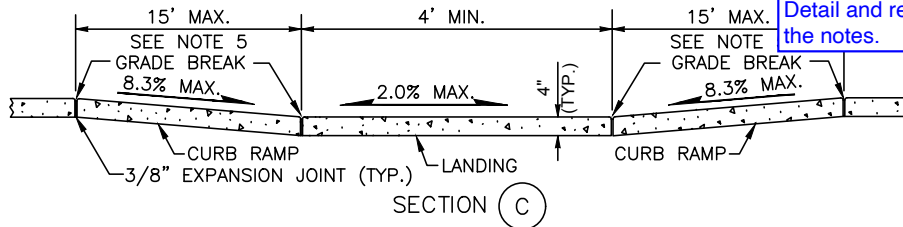
Add reference to Detail Sheet ST-22F to callout to match other curb ramp detail sheets.

TYPE COMBINATION


NOTES:

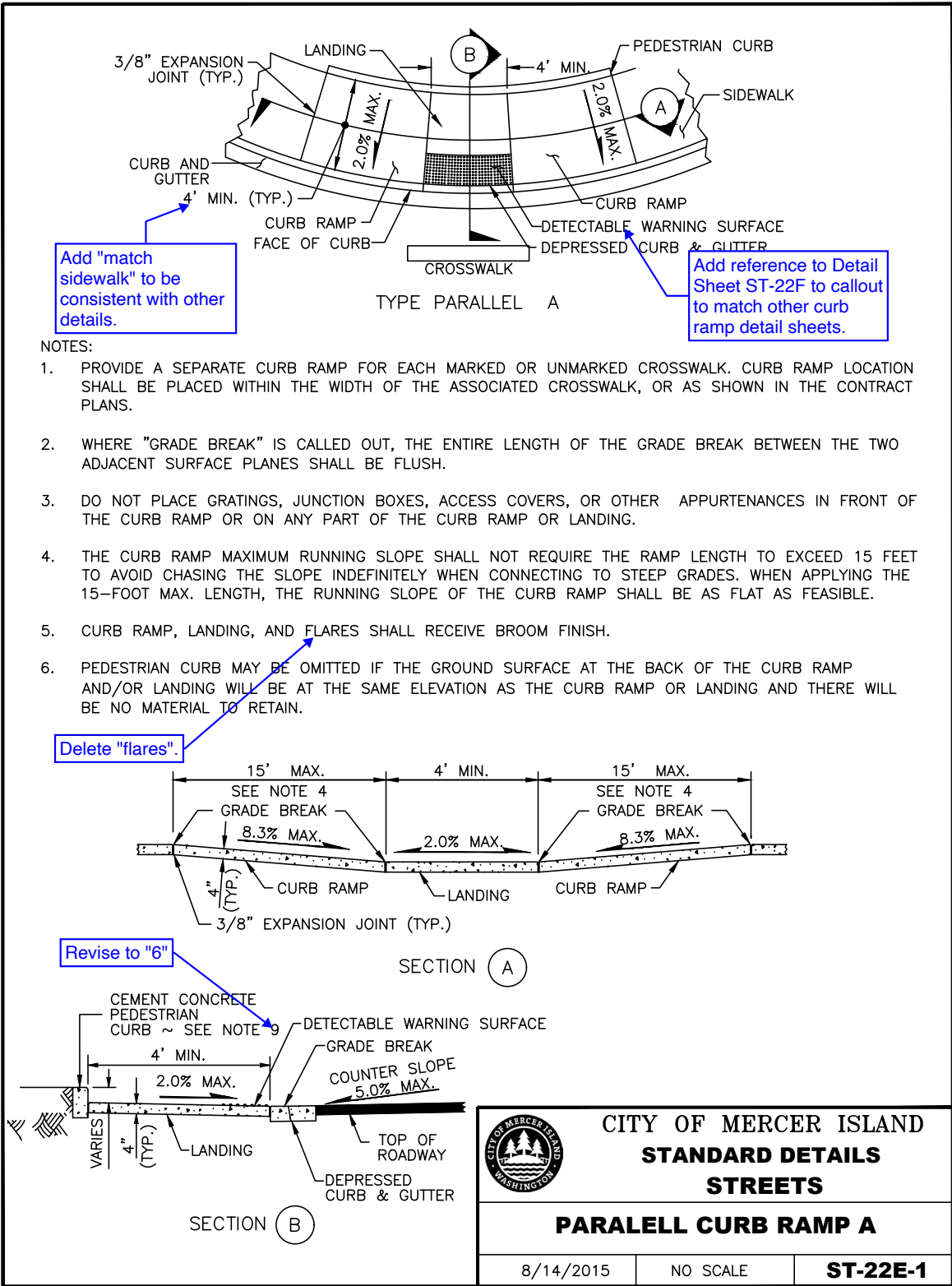
1. PROVIDE A SEPARATE CURB RAMP FOR EACH MARKED OR UNMARKED CROSSWALK. CURB RAMP LOCATION SHALL BE PLACED WITHIN THE WIDTH OF THE ASSOCIATED CROSSWALK OR AS SHOWN IN THE CONTRACT PLANS.
2. WHERE "GRADE BREAK" IS CALLED OUT, THE ENTIRE LENGTH OF THE GRADE BREAK BETWEEN THE TWO ADJACENT SURFACE PLANES SHALL BE FLUSH.
3. DO NOT PLACE GRATINGS, JUNCTION BOXES, ACCESS COVERS, OR OTHER APPURTENANCES IN FRONT OF THE CURB RAMP OR ON ANY PART OF THE CURB RAMP OR LANDING.
4. CURB AND GUTTER, DEPRESSED CURB AND GUTTER, PEDESTRIAN CURB, OR SIDEWALKS.
5. THE CURB RAMP MAXIMUM RUNNING SLOPE SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15-FOOT MAX. LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE AS FLAT AS FEASIBLE. CURB RAMP, LANDING AND FLARES SHALL RECEIVE BROOM FINISH.
6. PEDESTRIAN CURB MAY BE OMITTED IF THE GROUND SURFACE AT THE BACK OF THE CURB RAMP AND/OR LANDING WILL BE AT THE SAME ELEVATION AS THE CURB RAMP OR LANDING AND THERE WILL NOT BE MATERIAL TO RETAIN.

Suggest removing the notes from this sheet since they are covered in Combination Curb Ramp A Detail and refer to that detail for the notes.



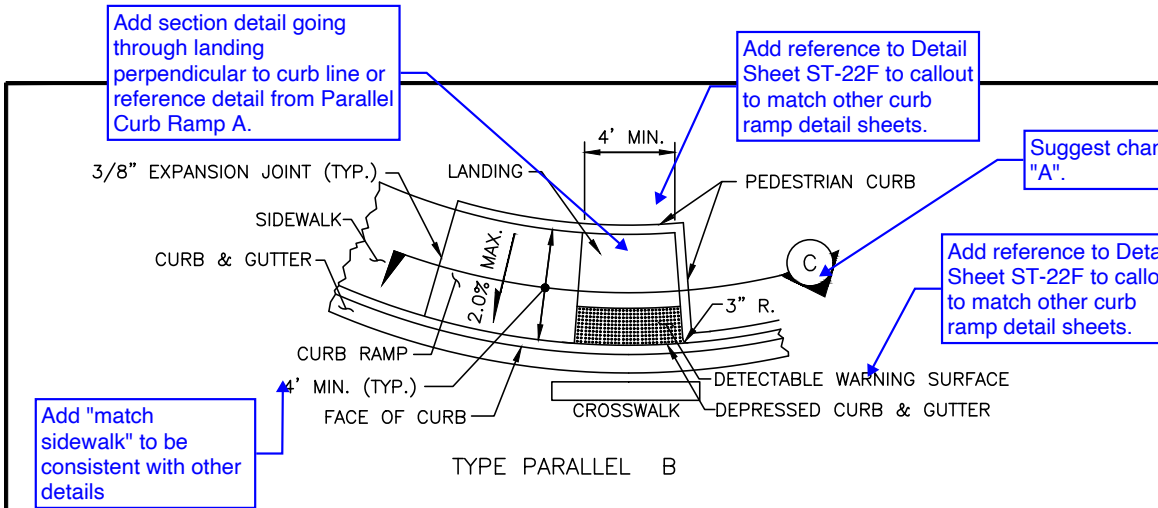
← SLOPE IN EITHER DIRECTION →

	CITY OF MERCER ISLAND STANDARD DETAILS STREETS	
	COMBINATION CURB RAMP B	
8/14/2015	NO SCALE	ST-22D-2



NOTES:

1. PROVIDE A SEPARATE CURB RAMP FOR EACH MARKED OR UNMARKED CROSSWALK. CURB RAMP LOCATION SHALL BE PLACED WITHIN THE WIDTH OF THE ASSOCIATED CROSSWALK, OR AS SHOWN IN THE CONTRACT PLANS.
2. WHERE "GRADE BREAK" IS CALLED OUT, THE ENTIRE LENGTH OF THE GRADE BREAK BETWEEN THE TWO ADJACENT SURFACE PLANES SHALL BE FLUSH.
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4. THE CURB RAMP MAXIMUM RUNNING SLOPE SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15-FOOT MAX. LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE AS FLAT AS FEASIBLE.
5. CURB RAMP, LANDING, AND FLARES SHALL RECEIVE BROOM FINISH.
6. PEDESTRIAN CURB MAY BE OMITTED IF THE GROUND SURFACE AT THE BACK OF THE CURB RAMP AND/OR LANDING WILL BE AT THE SAME ELEVATION AS THE CURB RAMP OR LANDING AND THERE WILL BE NO MATERIAL TO RETAIN.



Add "match sidewalk" to be consistent with other details

Add section detail going through landing perpendicular to curb line or reference detail from Parallel Curb Ramp A.

Add reference to Detail Sheet ST-22F to callout to match other curb ramp detail sheets.

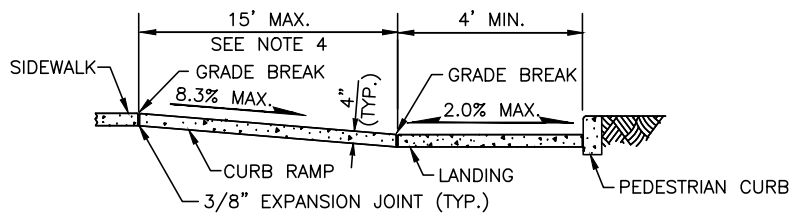
Suggest changing to "A".

Add reference to Detail Sheet ST-22F to callout to match other curb ramp detail sheets.

NOTE:

1. PROVIDE A SEPARATE CURB RAMP FOR EACH MARKED OR UNMARKED CROSSWALK. CURB RAMP LOCATION SHALL BE PLACED WITHIN THE WIDTH OF THE ASSOCIATED CROSSWALK, OR AS SHOWN IN THE CONTRACT PLANS.
2. WHERE "GRADE BREAK" IS CALLED OUT, THE ENTIRE LENGTH OF THE GRADE BREAK BETWEEN THE TWO ADJACENT SURFACE PLANES SHALL BE FLUSH.
3. DO NOT PLACE GRATINGS, JUNCTION BOXES, ACCESS COVERS, OR OTHER APPURTENANCES IN FRONT OF THE CURB RAMP OR ON ANY PART OF THE CURB RAMP OR LANDING.
4. THE CURB RAMP MAXIMUM RUNNING SLOPE SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15-FOOT MAX. LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE AS FLAT AS FEASIBLE.
5. CURB RAMP, LANDING, AND FLARES SHALL RECEIVE BROOM FINISH.
6. PEDESTRIAN CURB MAY BE OMITTED IF THE GROUND SURFACE AT THE BACK OF THE CURB RAMP AND/OR LANDING WILL BE AT THE SAME ELEVATION AS THE CURB RAMP OR LANDING AND THERE WILL BE NO MATERIAL TO RETAIN.


Delete "flares".

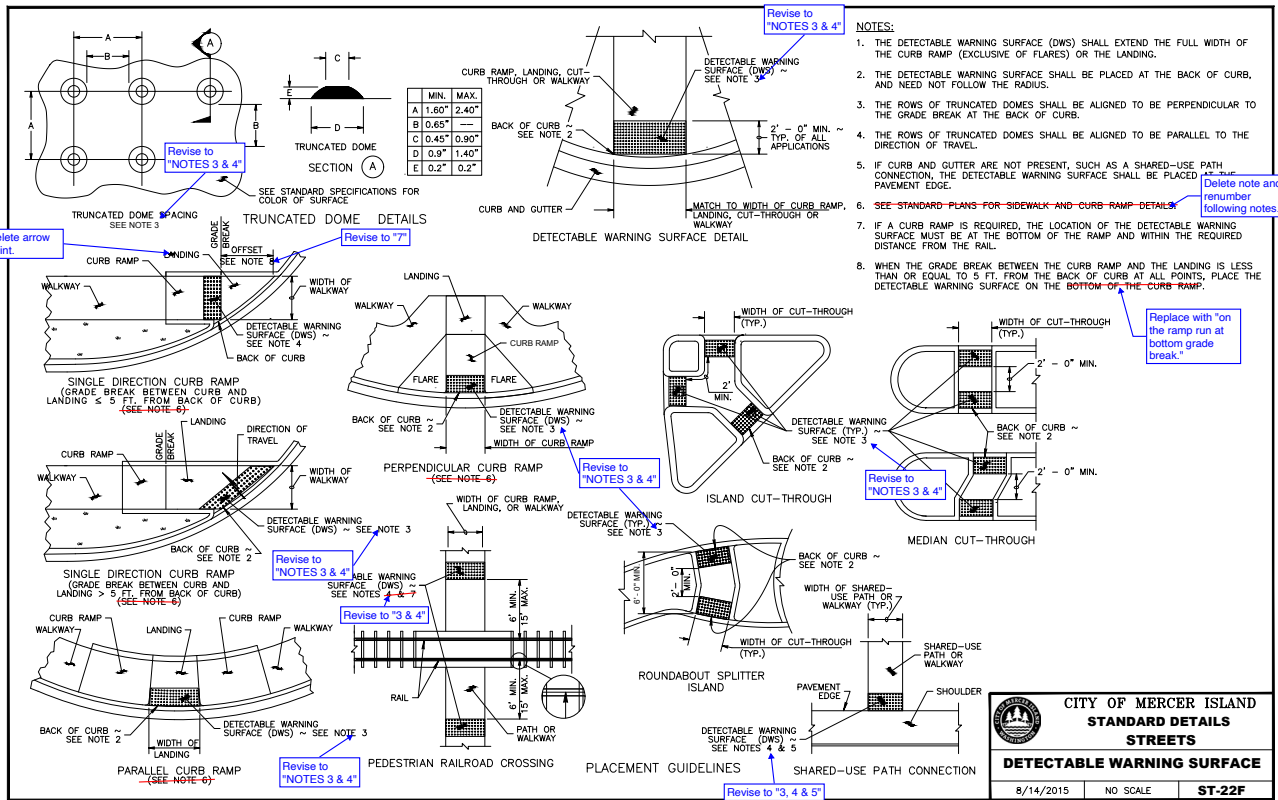


SECTION C

Suggest changing to "A".

SLOPE IN EITHER DIRECTION

	CITY OF MERCER ISLAND STANDARD DETAILS STREETS	
	PARALELL CURB RAMP B	
8/14/2015	NO SCALE	ST-22E-2



Delete arrow point.

Revise to "NOTES 3 & 4"

Revise to "7"

Revise to "NOTES 3 & 4"

Replace with "on the ramp run at bottom grade break."

Revise to "NOTES 3 & 4"

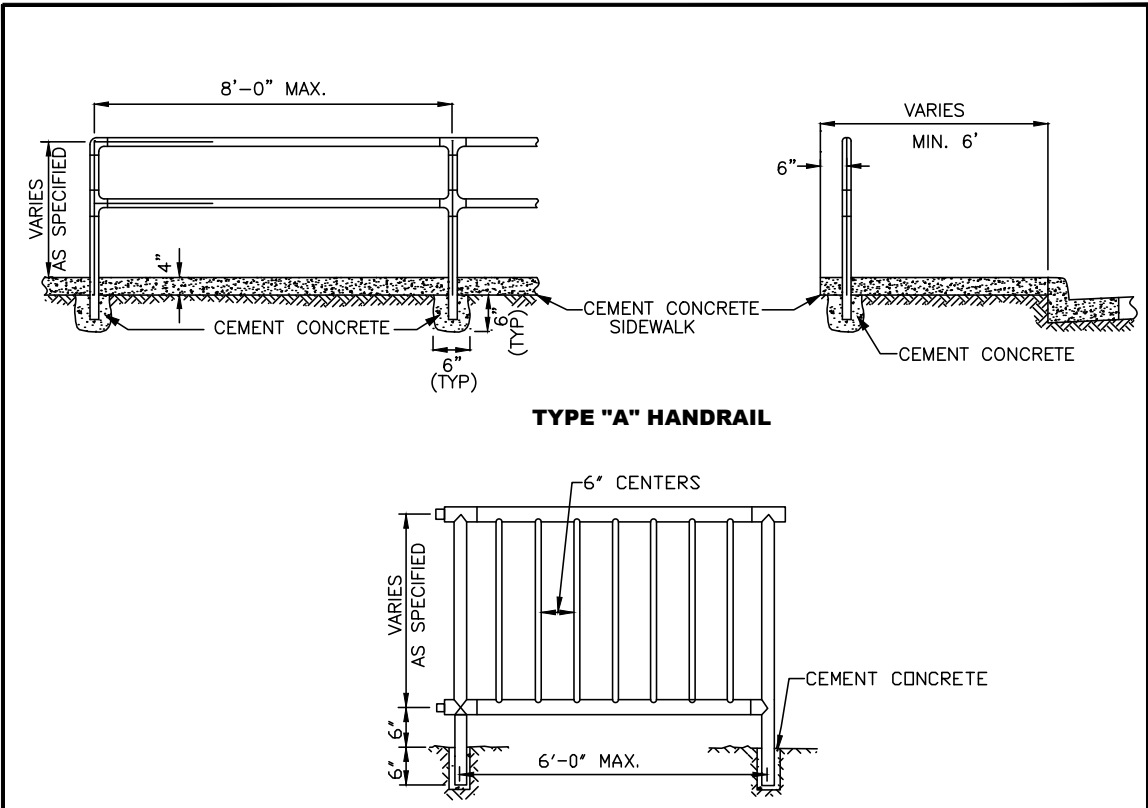
Revise to "NOTES 3 & 4"

Revise to "3 & 4"

Revise to "NOTES 3 & 4"


Revise to "3, 4 & 5"

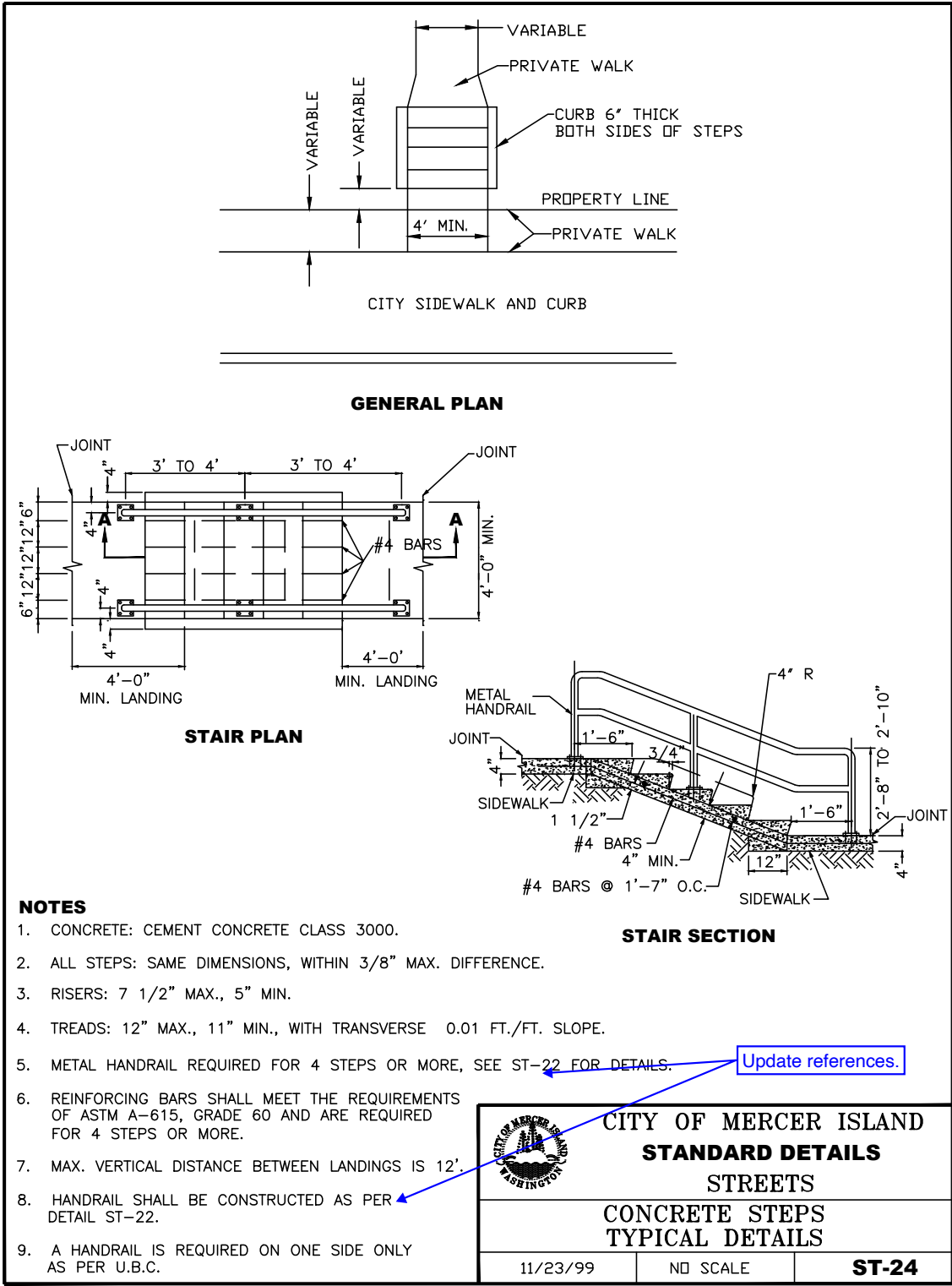
CITY OF MERCER ISLAND
STANDARD DETAILS
STREETS
DETECTABLE WARNING SURFACE
 8/14/2015 NO SCALE **ST-22F**



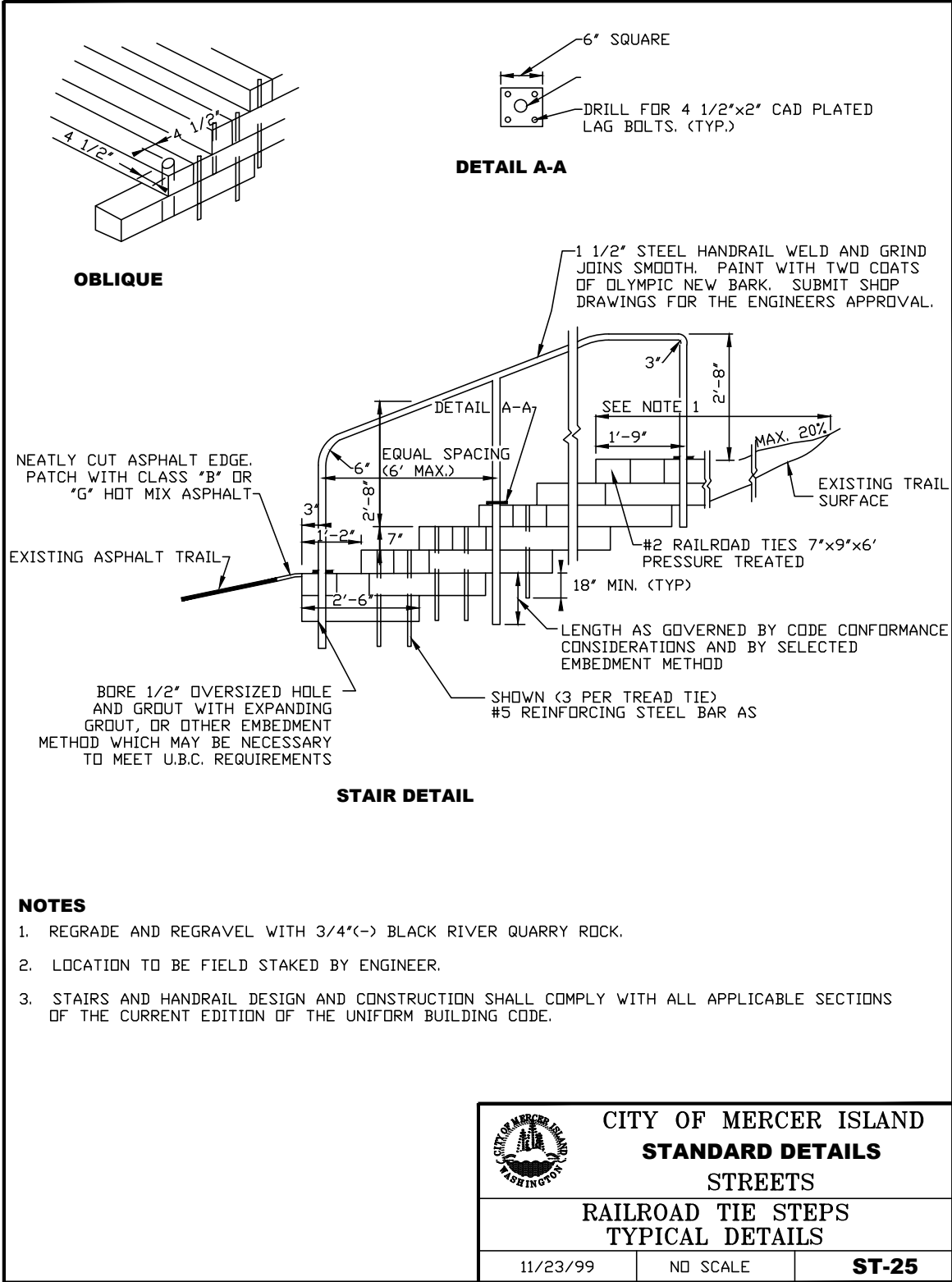
NOTES

1. RAILING SHALL BE GALVANIZED STEEL OR ALUMINUM OR APPROVED EQUAL. INSTALLATION PER MANUFACTURES RECOMMENDATIONS.
2. SHOP DRAWINGS OF RAILING SHALL BE SUBMITTED FOR APPROVAL SHOWING COMPLETE DIMENSIONS AND DETAILS OF FABRICATION AND INCLUDING AN ERECTION DIAGRAM, MATERIALS BEING USED SHALL BE SPECIFIED IN THE SHOP DRAWINGS.
3. ALL ALUMINUM PART SHALL BE GIVEN A CLEAR ANDDIC COATING AT LEAST 0.0006 INCH THICK AND HOT WATER SEALED AND SHALL HAVE A UNIFORM FINISH.
4. PIPE RAILING AND PIPE RAILING SPLICES MAY BE HEATED TO NOT MORE THAN 400°F FOR A PERIOD NOT TO EXCEED 30 MINUTES TO FACILITATE FORMING OR BENDING.
5. CUTTING SHALL BE DONE BY SAWING OR MILLING AND ALL CUTS SHALL BE TRUE AND SMOOTH. FLAME CUTTING WILL NOT BE PERMITTED.
6. PIPE RAILING, PIPE BALUSTERS AND PIPE RAILING SPLICES SHALL BE ADEQUATELY WRAPPED TO ENSURE SURFACE PROTECTION DURING HANDLING AND TRANSPARATION TO THE JOB SITE.
7. WELDS SHALL BE SMOOTH SURFACE IN ACCORDANCE WITH SECTION 5 OF THE LATEST AASHTO STANDARDS SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINARIES AND TRAFFIC SIGNALS.
8. ALLOW FOR EXPANSION AT APPROXIMATELY EVERY FOURTH POST.
9. RAILS, POSTS AND FORMED ELBOWS SHALL BE A.S.T.M. B-241 OR B-429 ALLOW 6063-T6 SCHEDULE 40 (STD. PIPE). BRACKETS, END CAPS AND OTHER FITTINGS SHALL BE A.S.T.M. 6063-T5. SPLICES AND REINFORCING SLEEVES SHALL BE DRAWN ALUMINUM TUBING 6063-T832.

	CITY OF MERCER ISLAND STANDARD DETAILS STREETS	
	PIPE HANDRAIL DETAILS	
11/23/99	NO SCALE	ST-23



5-55



TYPE "A" ELEVATION

MIN. 2'x8"

1'-0" TYP.

VARIES

POST GIVING FIRM SUPPORT BUT NOT TO EXCEED 1 1/2" DIA. IRON PIPE OR 4'x4' WOOD POST

TYPE "B" ELEVATION

3" TYP.

1'-0" TYP.

4" TYP.

1'-10"

VARIES

4 BOX MIN.

NEWSPAPER BOXES

ELEVATION

TYPE "B" DETAIL

SHAKES, ASPHALT SHINGLES, OR TILES

2'x4"

1/2" EXT. PLYWOOD

COVER GABLE ENDS WITH 1/2" EXT. PLYWOOD TRIANGLE - 27"x16"x16"

2'-3"

1'-10"

8"

2'x6" BOLTED

4'x4'x8'

NOTES

- MAILBOXES MUST BE APPROVED BY THE POSTMASTER GENERAL WITH A UNIFORM BOX STYLE AND METHOD OF ADDRESS IDENTIFICATION.
- LOCATION IS SUBJECT TO APPROVAL BY CITY ENGINEER FOR PROTECTION OF VIEWS AND ACCESS.
- THESE STANDARD DETAILS DEPICT THE MINIMUM STRUCTURAL AND DIMENSIONAL STANDARDS. DEVIATIONS MUST BE APPROVED BY THE CITY ENGINEER.
- MAILBOX HEIGHT VARIES ACCORDING TO THE TYPE OF DELIVERY VEHICLE. THESE HEIGHTS SHALL BE DETERMINED BY THE POSTMASTER DURING PLAN REVIEW.
- MAILBOX INSTALLATIONS ON PROJECTS FUNDED BY FEDERAL GRANTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH WSDOT/APWA STANDARD PLAN H-12.
- ALL MATERIAL SHALL BE NO. 1 GRADE CEDAR OR PRESSURE TREATED. ROOF WILL BE HAND SPLIT NO. CEDAR SHAKES.
- SEE STANDARD DETAIL ST-27B FOR ADDITIONAL DETAILS.

TYPE "B" DETAIL

1/4" GALV. BOLT AND FITTINGS

2'x8"

2'x4"

SIDE VIEW

FRONT VIEW

CITY OF MERCER ISLAND

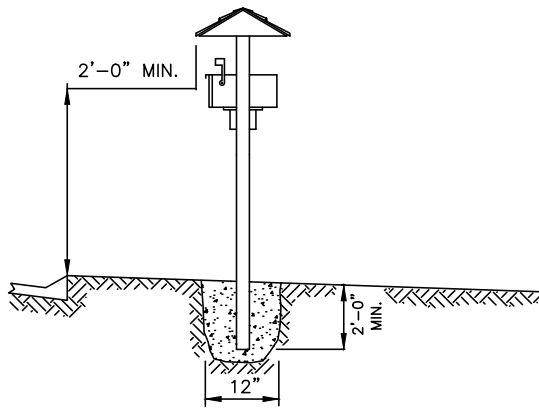
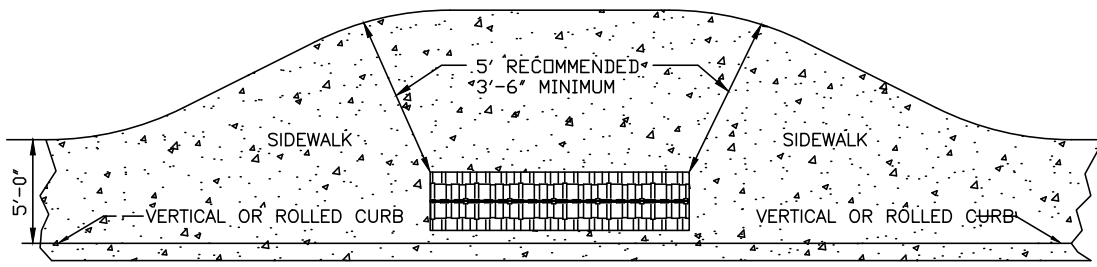
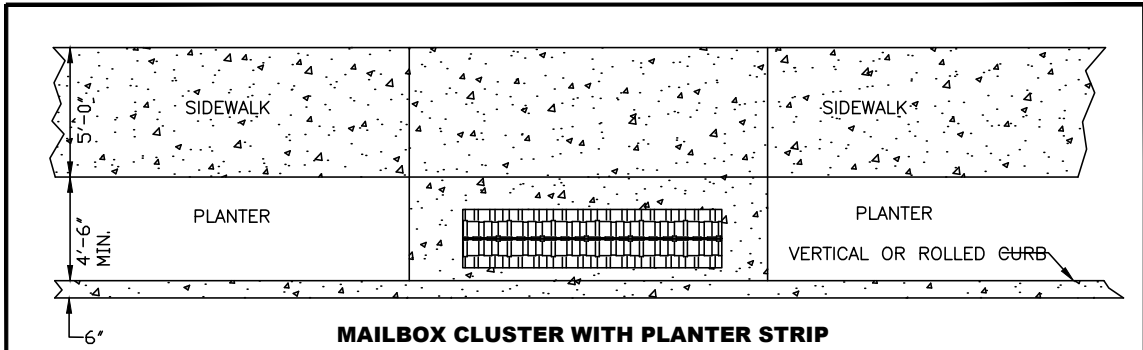
STANDARD DETAILS

STREETS

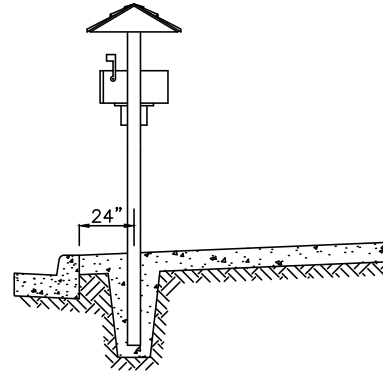
MAILBOX

TYPICAL DETAILS

11/23/99	NO SCALE	ST-27A
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TYPICAL SHOULDER MOUNTING

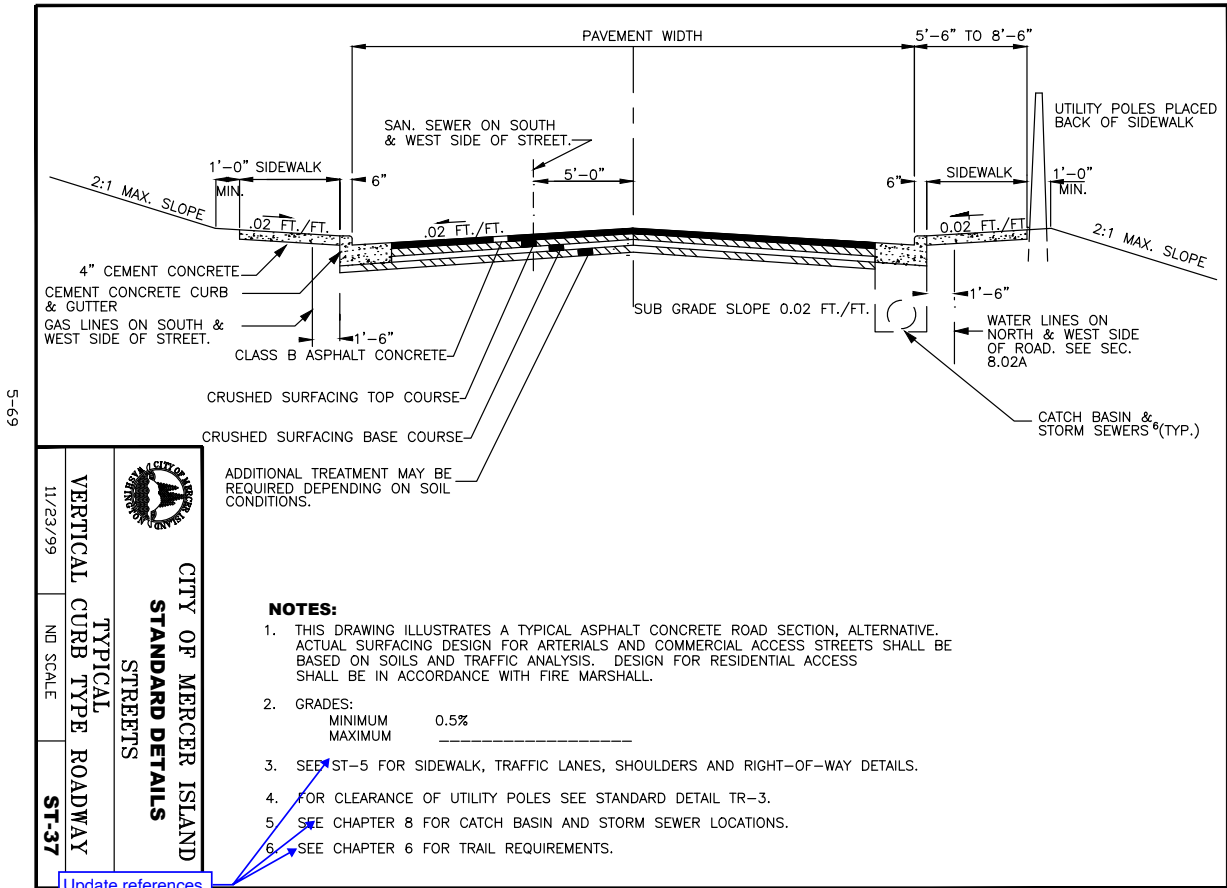


TYPICAL CURB MOUNTING

NOTES

1. SEE STANDARD DETAIL ST-27A FOR ADDITIONAL DETAILS AND NOTES.

	CITY OF MERCER ISLAND STANDARD DETAILS STREETS	
	MAILBOX TYPICAL DETAILS	
	11/23/99	NO SCALE



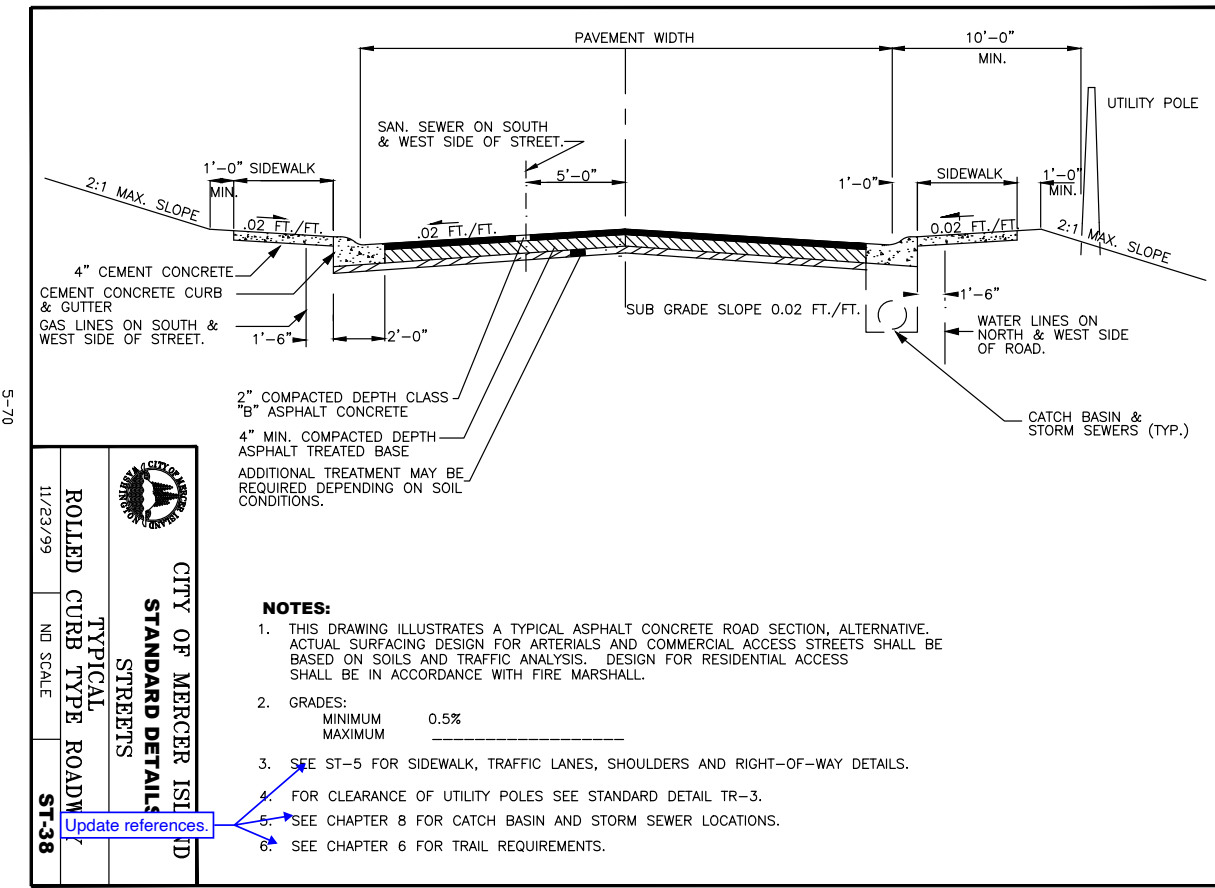
5-69

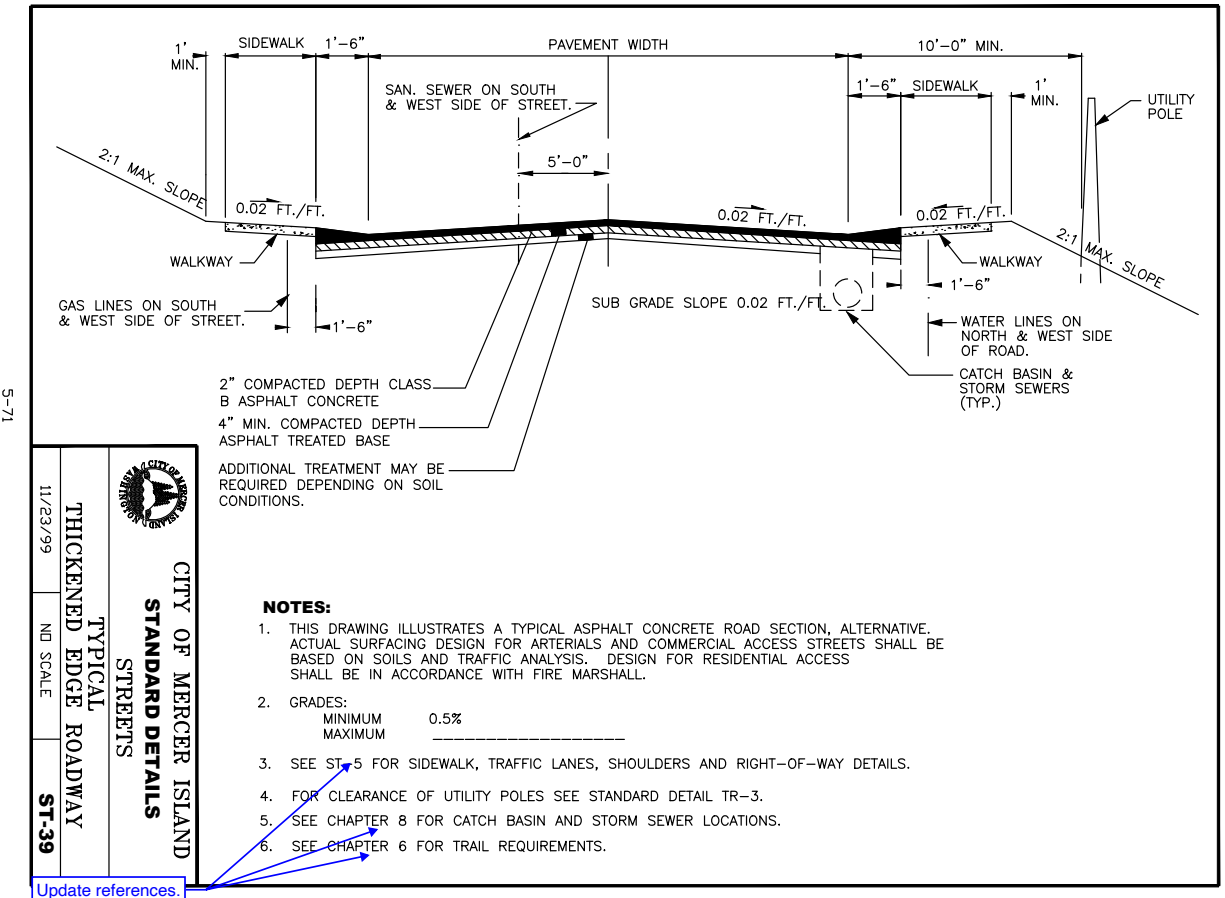
11/23/99
 ND SCALE
ST-37
 CITY OF MERCER ISLAND
STANDARD DETAILS
 TYPICAL
 VERTICAL CURB TYPE ROADWAY
 STREETS

NOTES:

- THIS DRAWING ILLUSTRATES A TYPICAL ASPHALT CONCRETE ROAD SECTION, ALTERNATIVE. ACTUAL SURFACING DESIGN FOR ARTERIALS AND COMMERCIAL ACCESS STREETS SHALL BE BASED ON SOILS AND TRAFFIC ANALYSIS. DESIGN FOR RESIDENTIAL ACCESS SHALL BE IN ACCORDANCE WITH FIRE MARSHALL.
- GRADES:
 MINIMUM 0.5%
 MAXIMUM _____
- SEE ST-5 FOR SIDEWALK, TRAFFIC LANES, SHOULDERS AND RIGHT-OF-WAY DETAILS.
- FOR CLEARANCE OF UTILITY POLES SEE STANDARD DETAIL TR-3.
- SEE CHAPTER 8 FOR CATCH BASIN AND STORM SEWER LOCATIONS.
- SEE CHAPTER 6 FOR TRAIL REQUIREMENTS.

Update references



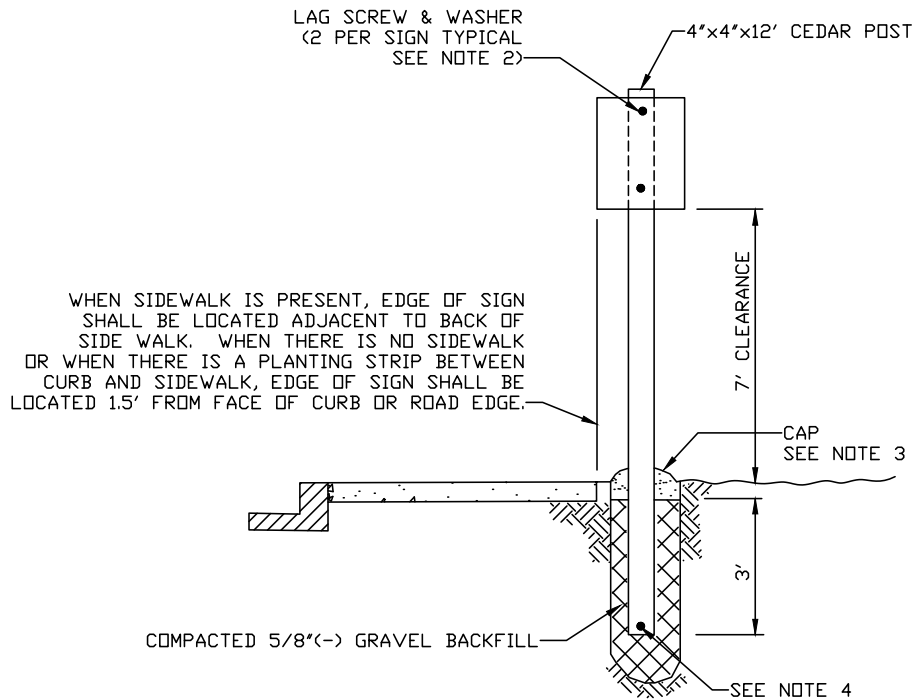
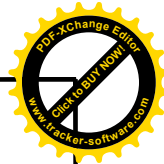


S-71

11/23/99
ND SCALE
ST-39


CITY OF MERCER ISLAND
STANDARD DETAILS
TYPICAL THICKENED EDGE ROADWAY STREETS

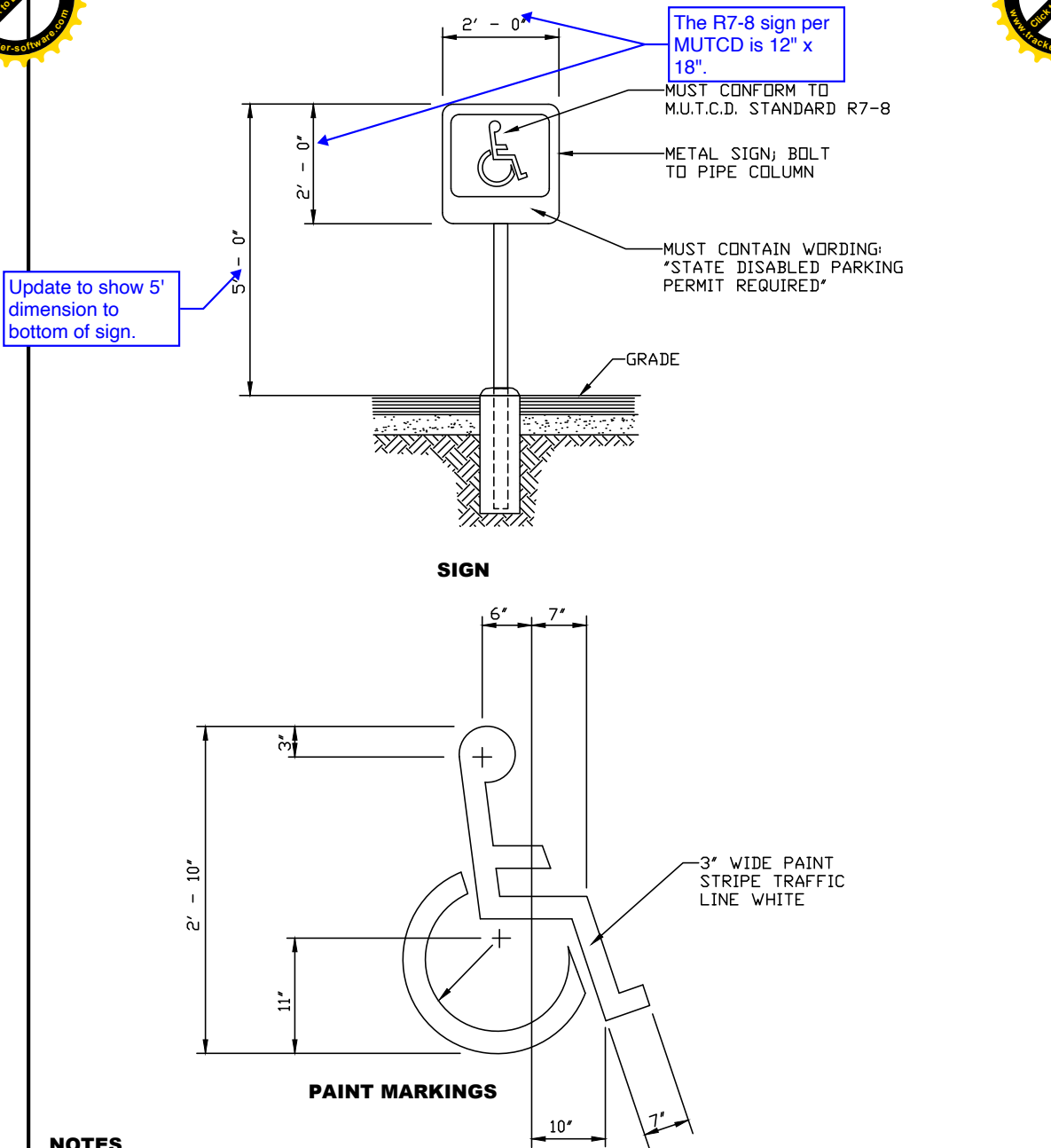
Update references.



NOTES

1. INSTALLATION SHALL BE PER M.U.T.C.D.
2. 3 1/4" x 5/16" GALVANIZED OR PLATED LAG SCREW AND 3/16" I.D. x 1" D.D. NYLON WASHER.
3. CAP SHALL BE THE SAME MATERIAL AS THE SURROUNDING SURFACE.
4. INSTALL #300 GALVANIZED COMMON SPIKE ON THE FACE SIDE OF POST AS DIRECTED BY THE ENGINEER. SPIKE SHALL BE 8" ABOVE BOTTOM OF POST AND SHALL PROTRUDE 2" FROM POST.

	CITY OF MERCER ISLAND STANDARD DETAILS TRAFFIC	
	STANDARD SIGN INSTALLATION	
1-1-2000	NO SCALE	TR-4



Update to show 5' dimension to bottom of sign.

The R7-8 sign per MUTCD is 12" x 18".

MUST CONFORM TO M.U.T.C.D. STANDARD R7-8

METAL SIGN; BOLT TO PIPE COLUMN

MUST CONTAIN WORDING: "STATE DISABLED PARKING PERMIT REQUIRED"

GRADE

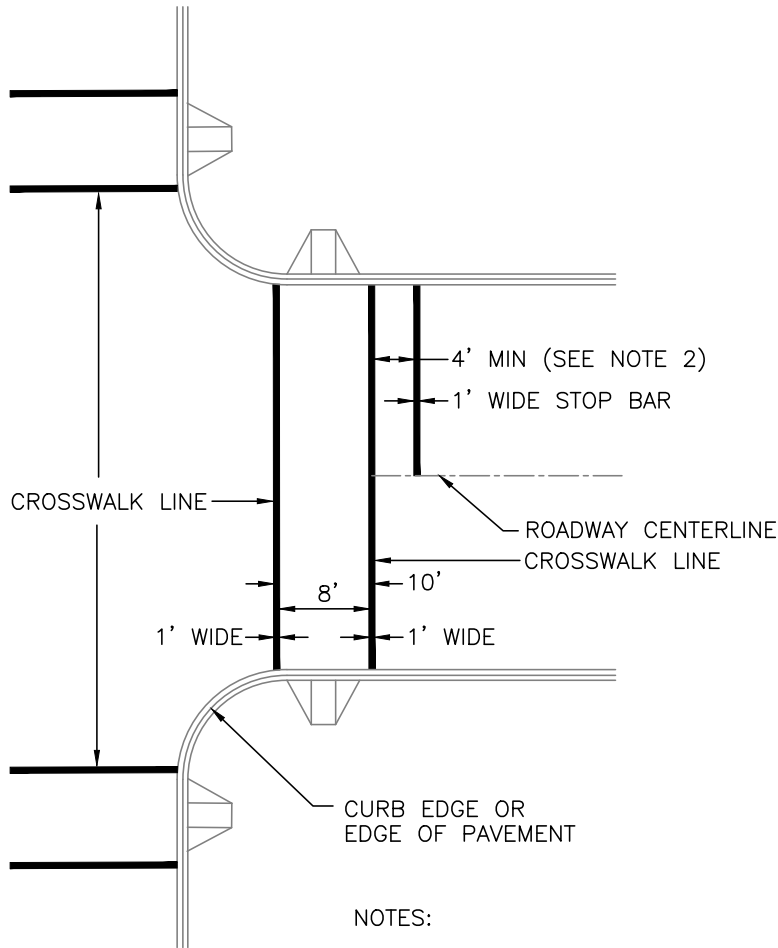
SIGN

PAINT MARKINGS

NOTES


1. SEE STANDARD DETAIL TR-4 FOR SIGN INSTALLATION DETAILS.
2. PROVIDE SIGNS AND SYMBOLS AT ALL HANDICAPPED PARKING STALLS AS INDICATED ON THE SITE PLAN.
3. ALL SIGNS AND MARKINGS SHALL CONFORM TO THE M.U.T.C.D. MANUAL.

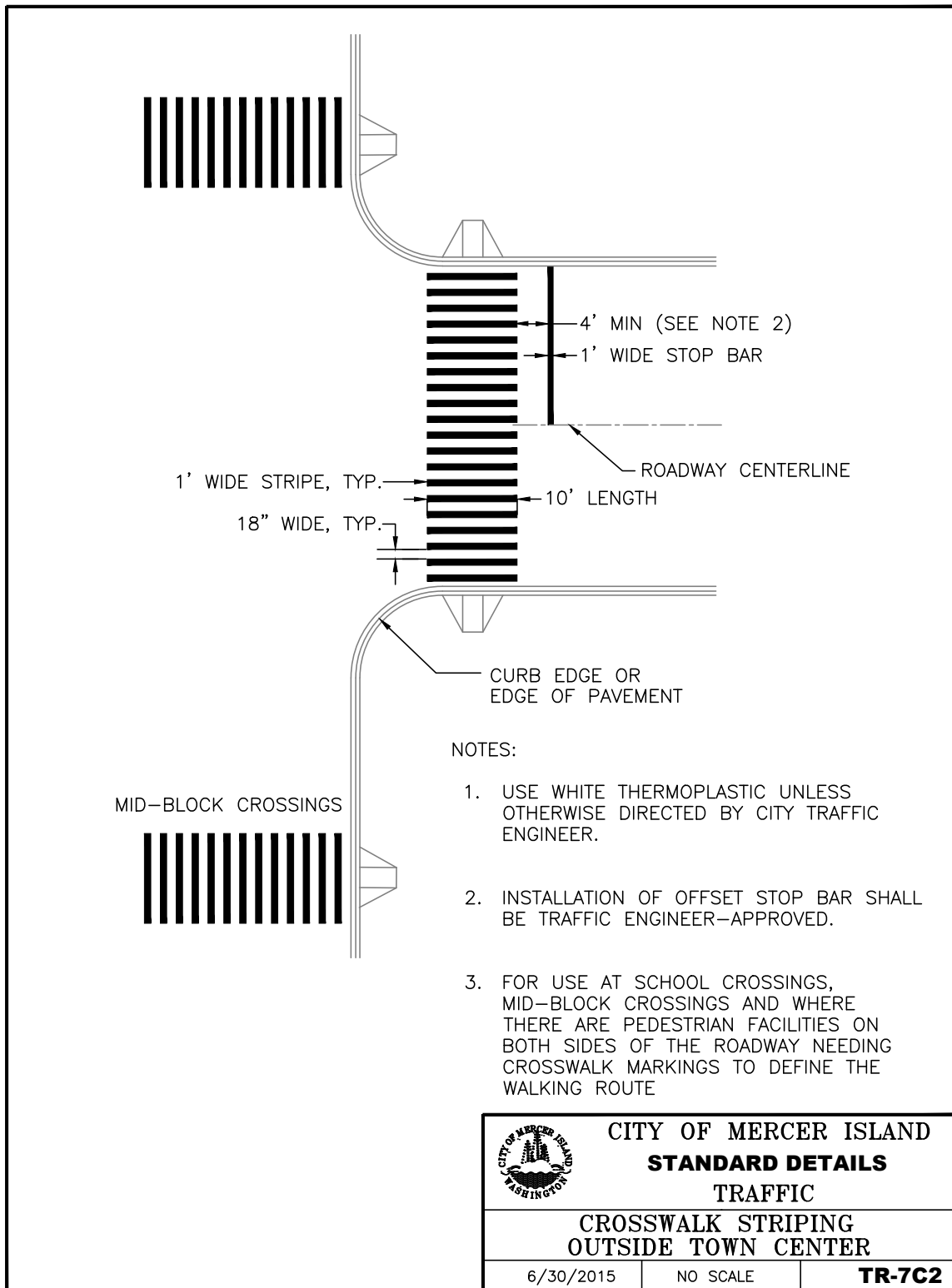
	CITY OF MERCER ISLAND STANDARD DETAILS TRAFFIC	
	HANDICAP SIGN AND MARKING	
1-1-2000	NO SCALE	TR-6



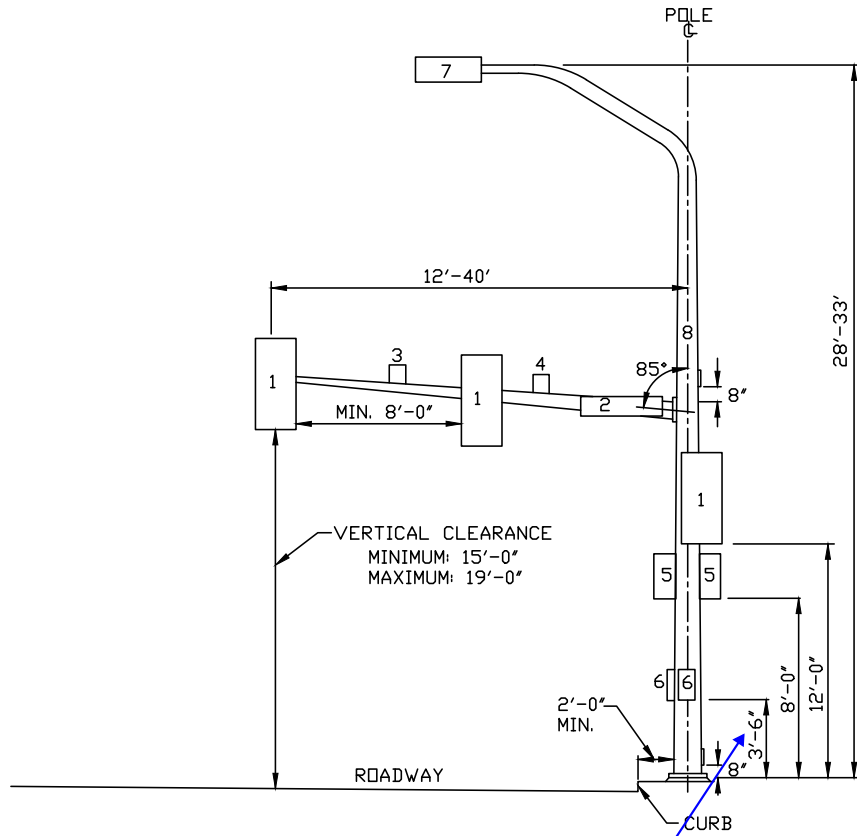
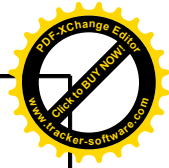
NOTES:

1. USE WHITE THERMOPLASTIC UNLESS OTHERWISE DIRECTED BY CITY TRAFFIC ENGINEER.
2. INSTALLATION OF OFFSET STOP BAR SHALL BE TRAFFIC ENGINEER-APPROVED.
3. FOR USE AT SIGNALIZED INTERSECTIONS AND INTERSECTIONS IN THE TOWN CENTER.

	CITY OF MERCER ISLAND STANDARD DETAILS TRAFFIC	
	CROSSWALK STRIPING SIGNALIZED I/S & TOWNCENTER	
	3/06/2015	NO SCALE
		TR-7C1



4-25



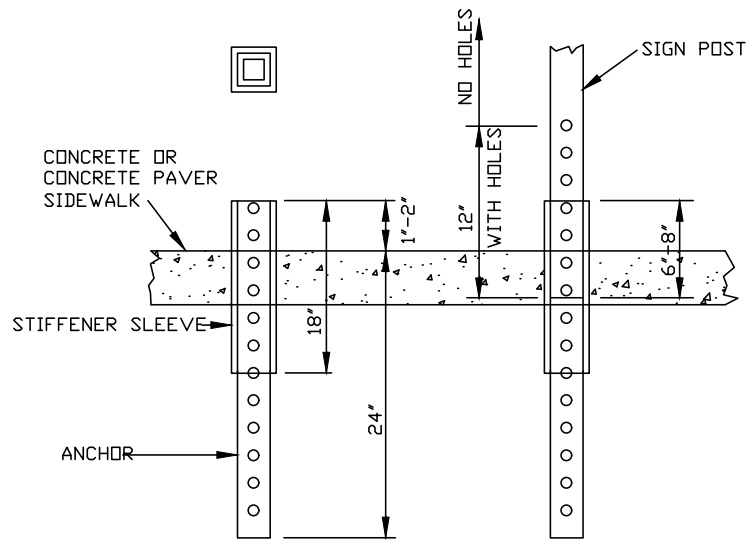
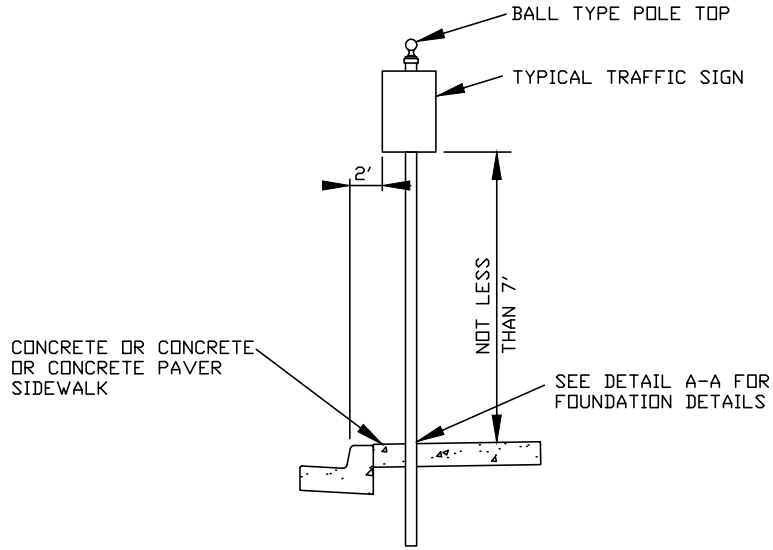
Revise dimension to measure to center of pushbutton.

NOTES

1. VEHICLE SIGNAL HEAD: DIE CAST ALUMINUM, WSDOT FOREST GREEN.
2. STREET NAME SIGN: 6' WHITE REFLECTORIZED LETTERS ON A GREEN BACKGROUND. SEE STANDARD DETAIL TR-5.
3. EMERGENCY VEHICLE PRE-EMPT ION DETECTOR.
4. EMERGENCY VEHICLE PRE-EMPT ION INDICATOR.
5. PEDESTRIAN SIGNAL HEAD: WSDOT FOREST GREEN.
6. PEDESTRIAN PUSH BUTTON.
7. LUMINAIRE: DARK ANODIC BRONZE, SHOEBOX STYLE PER STANDARD DETAIL IL-1.
8. SIGNAL STANDARD: NON-PAINTED GALVANIZED STEEL.
9. THE FOLLOWING WSDOT STANDARD PLANS ARE ADOPTED BY REFERENCE J-5e, J-5f, J-6h AND J-7a.

Update references.

	CITY OF MERCER ISLAND STANDARD DETAILS TRAFFIC	
	TRAFFIC SIGNALS	
1-1-2000	NO SCALE	TR-9

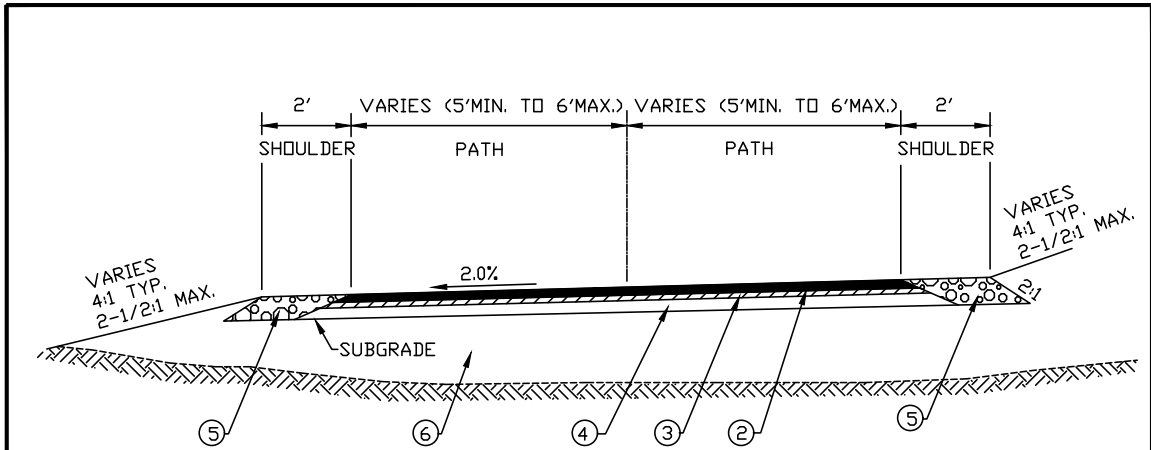


DETAIL A-A

NOTES


1. SIGN POST SHALL BE 2"x10' 10 GAUGE GALVANIZED STEEL NON-PERFORATED WITH A BALL CAP. THE POST SHALL BE POWDER COATED WITH PANATONE 5650U DARK GREEN.
2. THE ANCHOR SHALL BE 2"x2 1/4" 12 GAUGE PERFORATED GALVANIZED STEEL.
3. THE STIFFENER SLEEVE SHALL BE 18"x2 1/2" 12 GAUGE PERFORATED GALVANIZED STEEL POWDER COATED WITH PANATONE 5650U DARK GREEN.
4. THE POST SHALL HAVE A 2" BALL TYPE TOP AS MANUFACTURED BY MONUMENTAL IRON AND SUPPLIED BY ANCHOR FENCE OF WOODINVILLE, WASHINGTON.

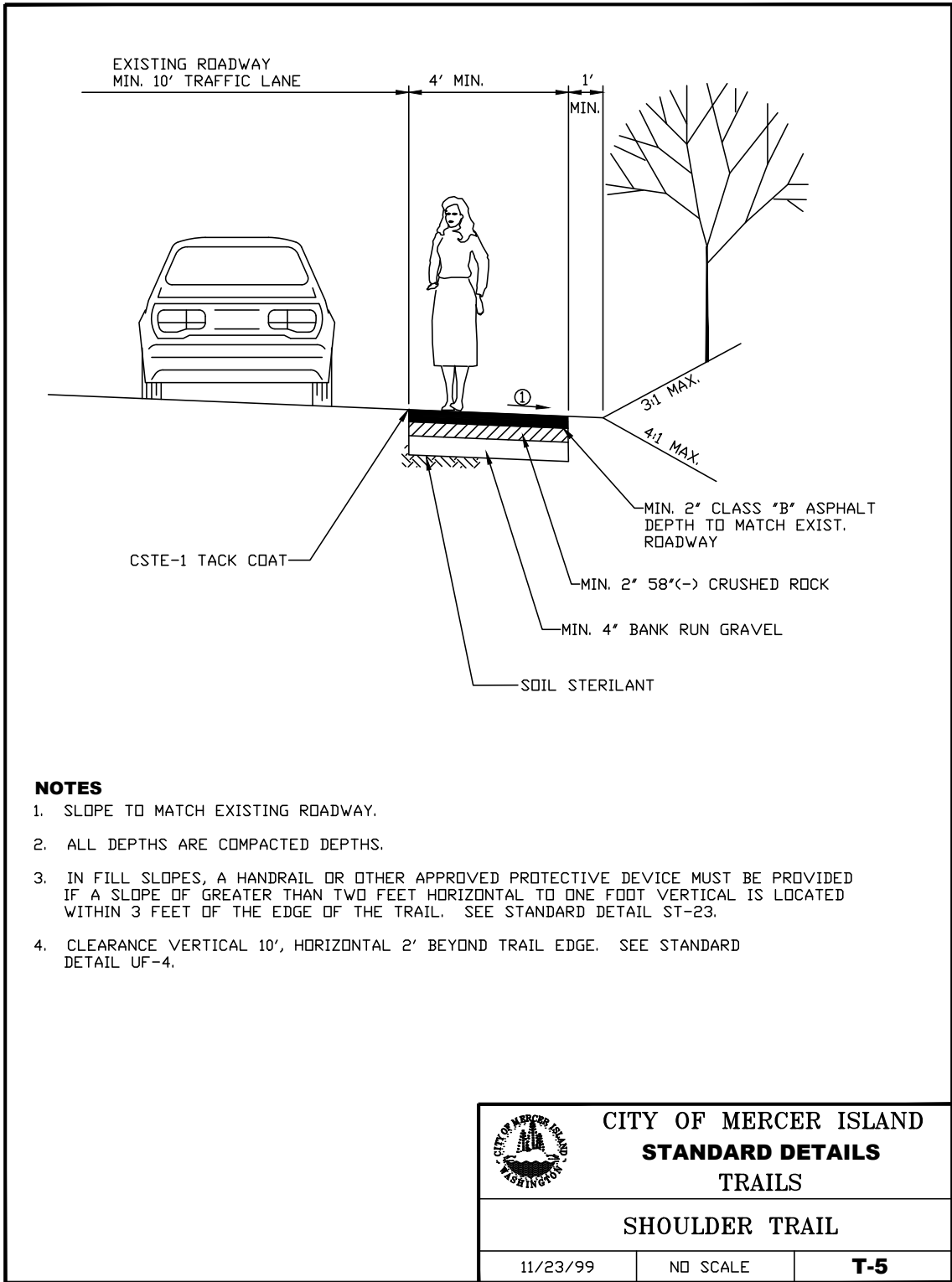
	CITY OF MERCER ISLAND STANDARD DETAILS TRAFFIC	
	TYPICAL METAL POST TRAFFIC SIGN - CBD	
1-1-2000	NO SCALE	TR-13



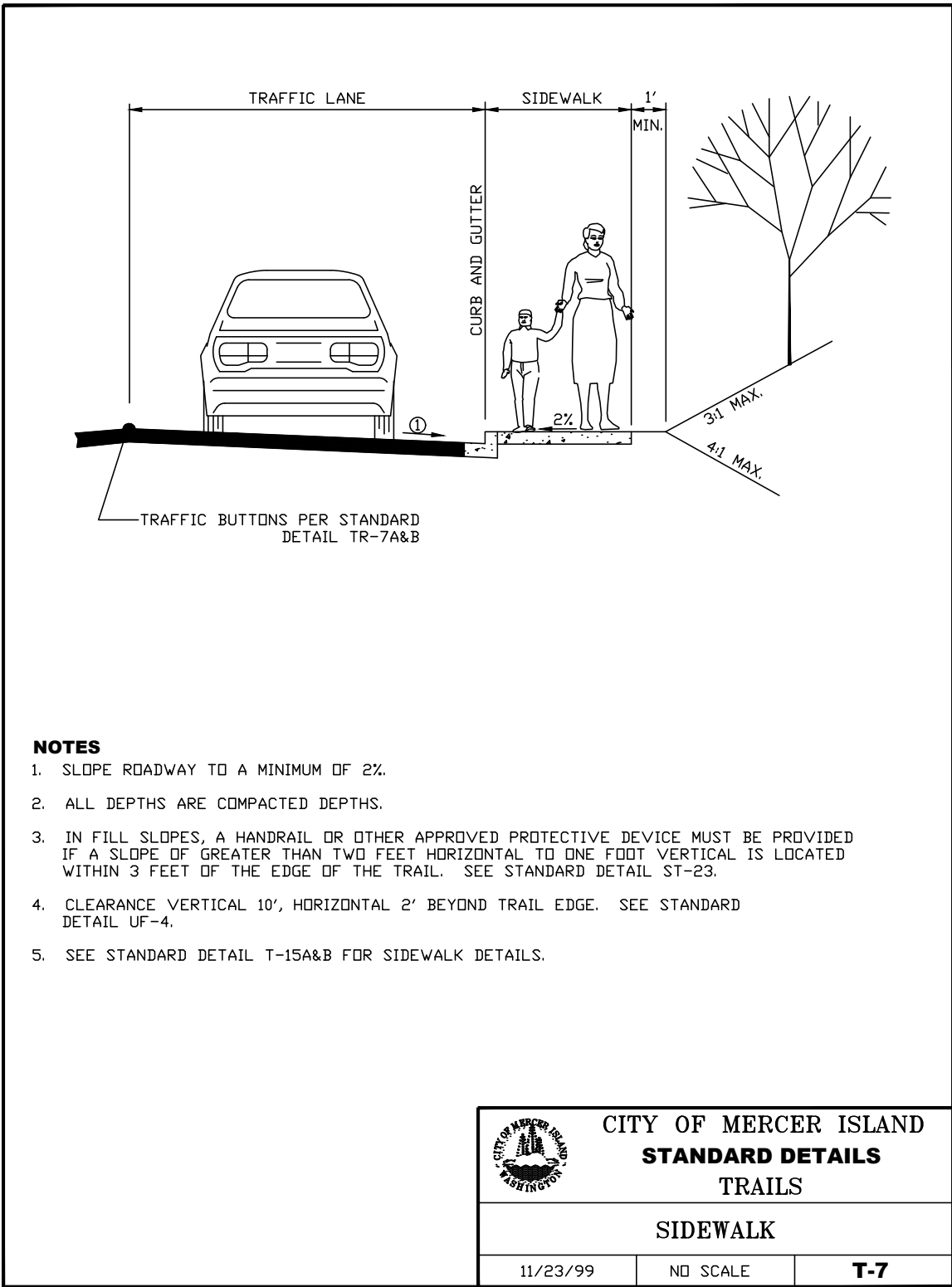
NOTES

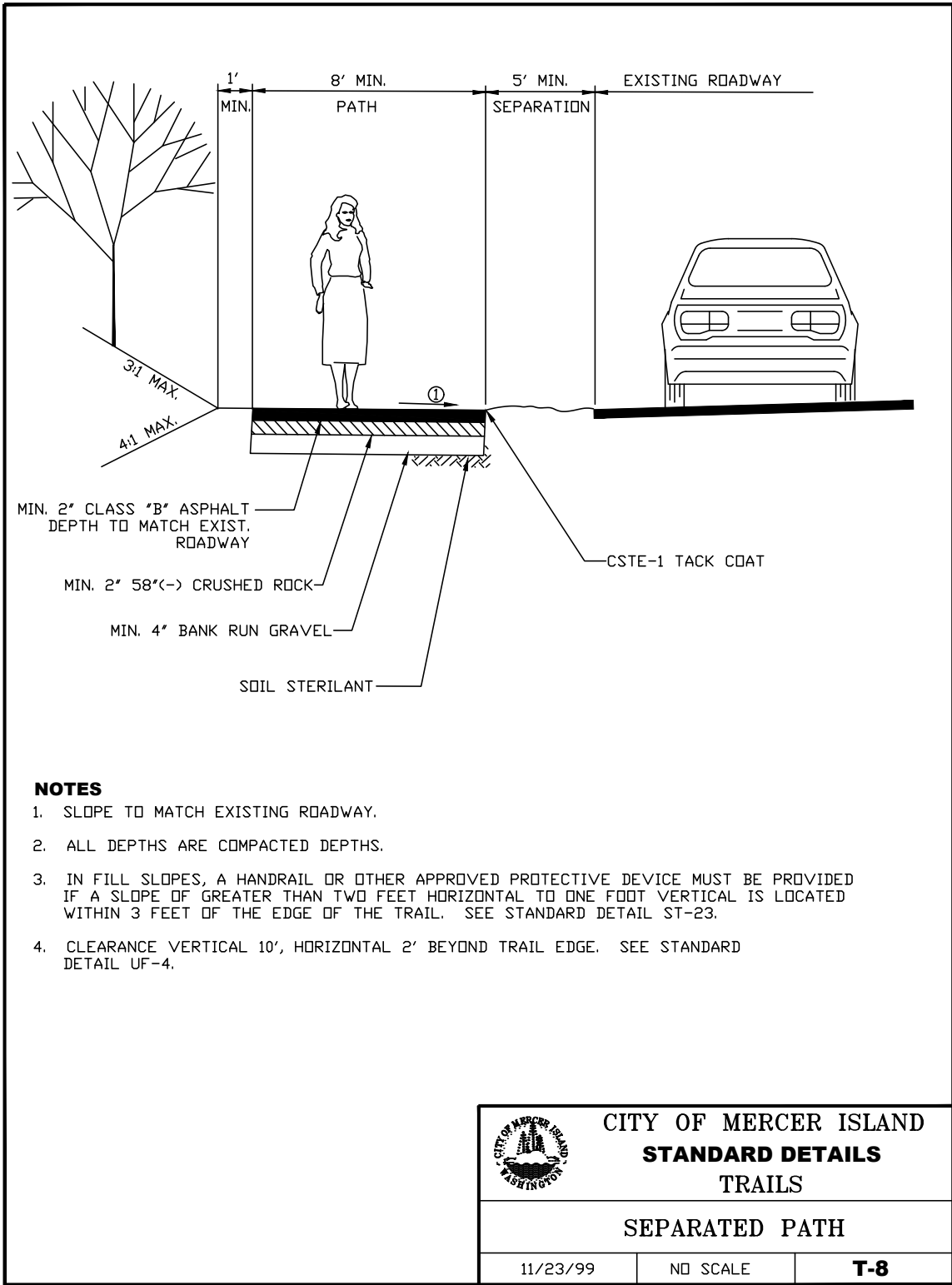
1. THIS SEATTLE TO BELLEVUE TRAIL (MARYMOOR PARK) WAS CONSTRUCTED BY THE I-90 PROJECT AND HAS BEEN DESIGNED IN ACCORDANCE TO FEDERAL AND STATE DESIGN GUIDELINES FOR BICYCLE TRAILS. IT HAS THE FOLLOWING CHARACTERISTICS
 - A. 12' WIDE ASPHALT TRAIL
 - B. MAXIMUM GRADE 7%
2. ASPHALT CONCRETE PAVEMENT, CLASS "B", 0.25' COMPACTED DEPTH.
3. CRUSHED SURFACING TOP COURSE, 0.15' COMPACTED DEPTH.
4. GRAVEL BASE, 0.35' COMPACTED DEPTH.
5. CRUSHED SURFACING TOP COURSE, 0.75' COMPACTED DEPTH.
6. GRAVEL BORROW, VARIABLE COMPACTED DEPTH.
7. SEE STANDARD DETAIL UF-4 FOR TRIMMING REQUIREMENTS.

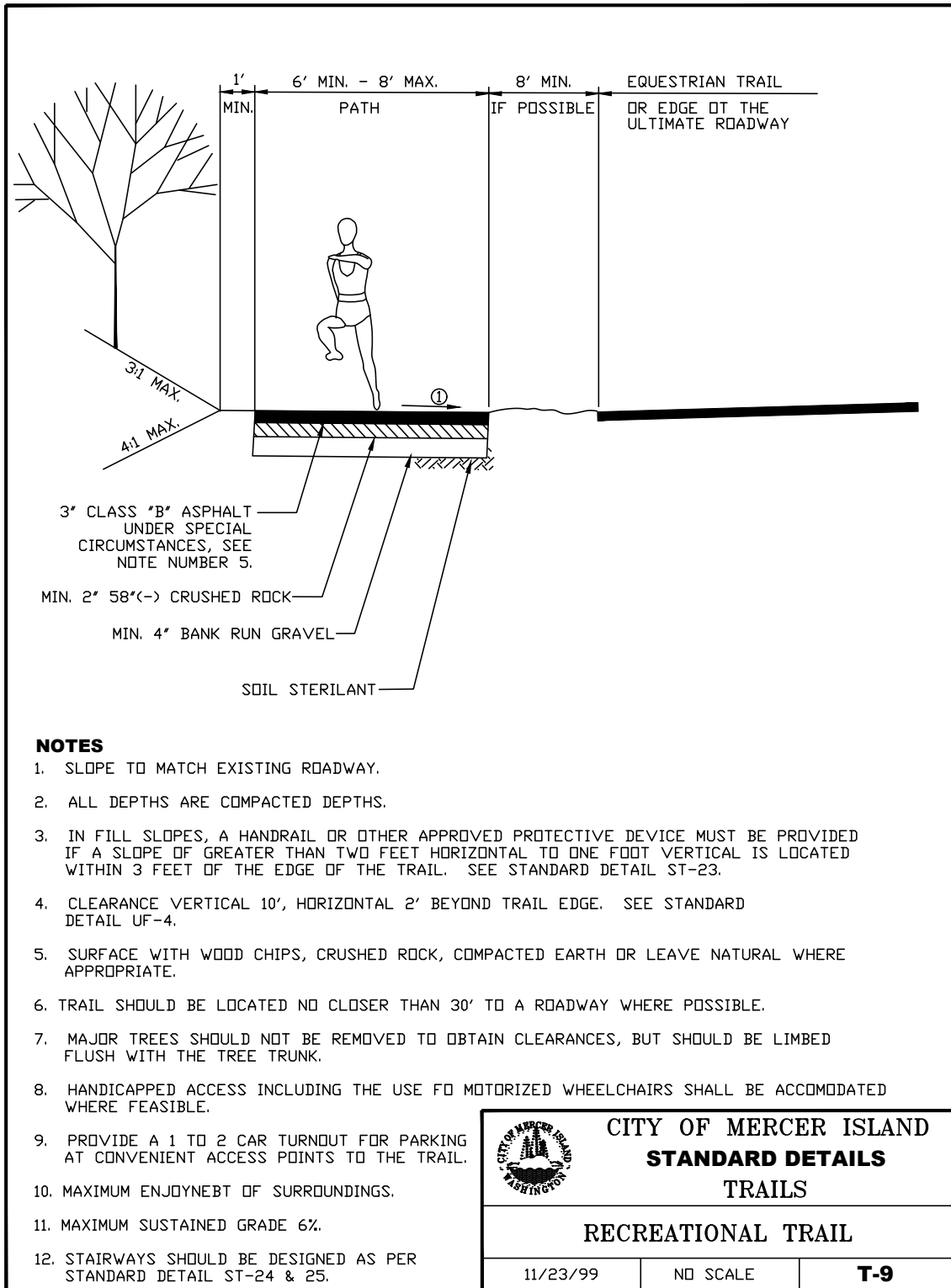
	CITY OF MERCER ISLAND STANDARD DETAILS TRAILS	
	REGIONAL TRAIL PEDESTRIAN-BICYCLE	
11/23/99	NO SCALE	T-2

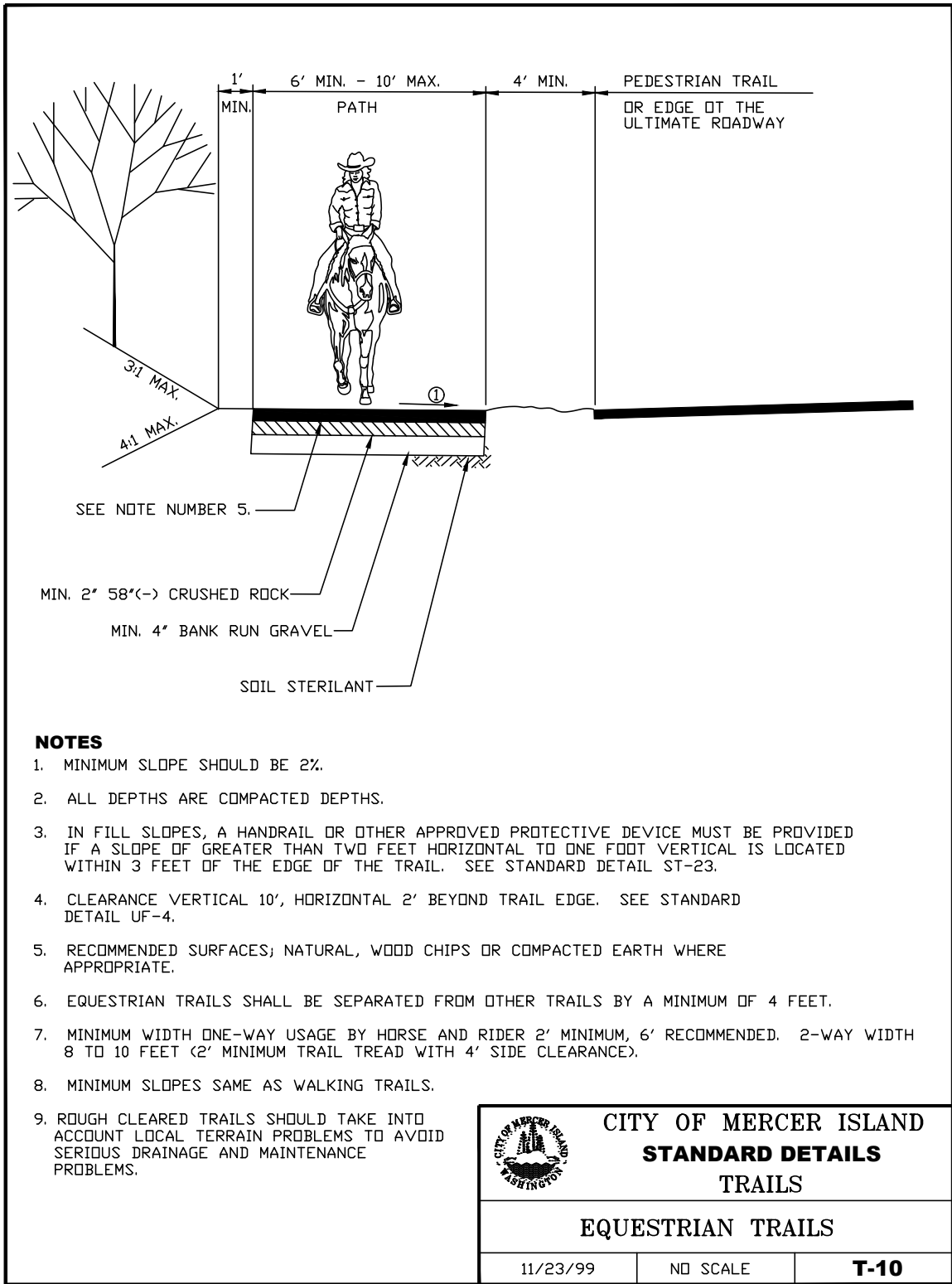


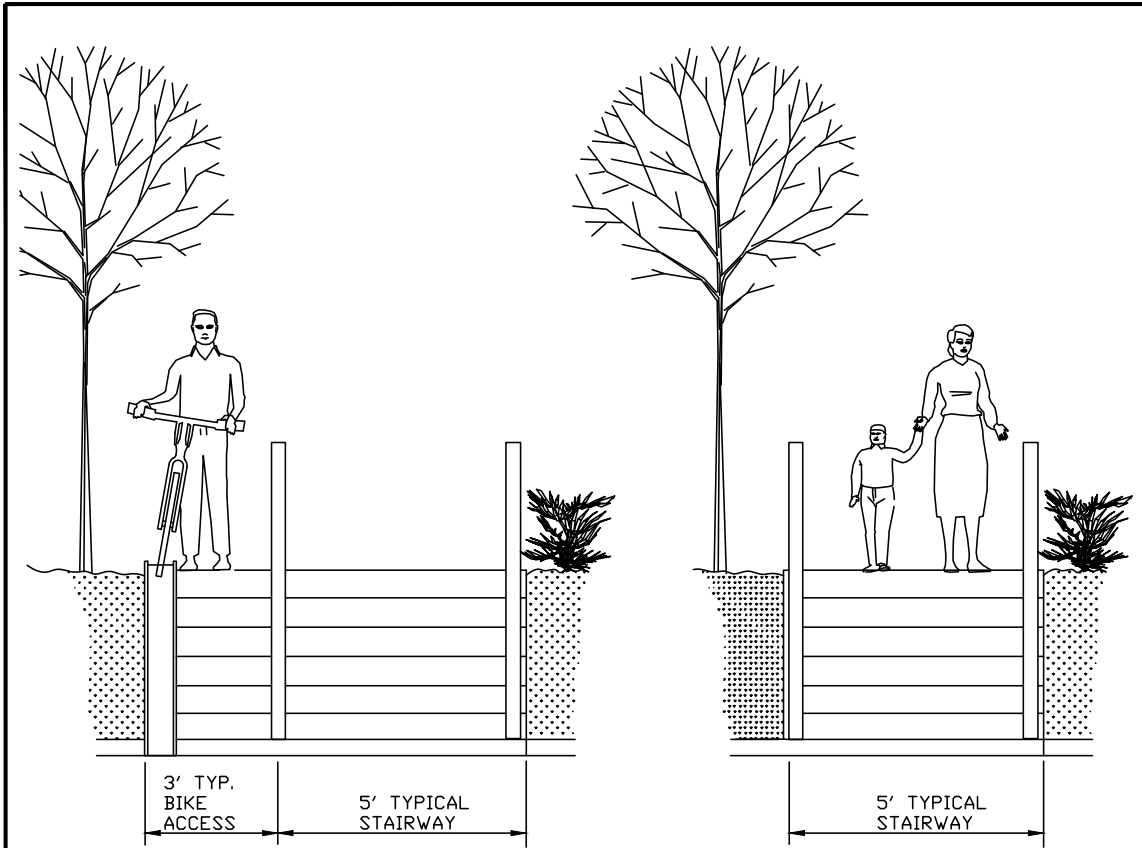
6-21








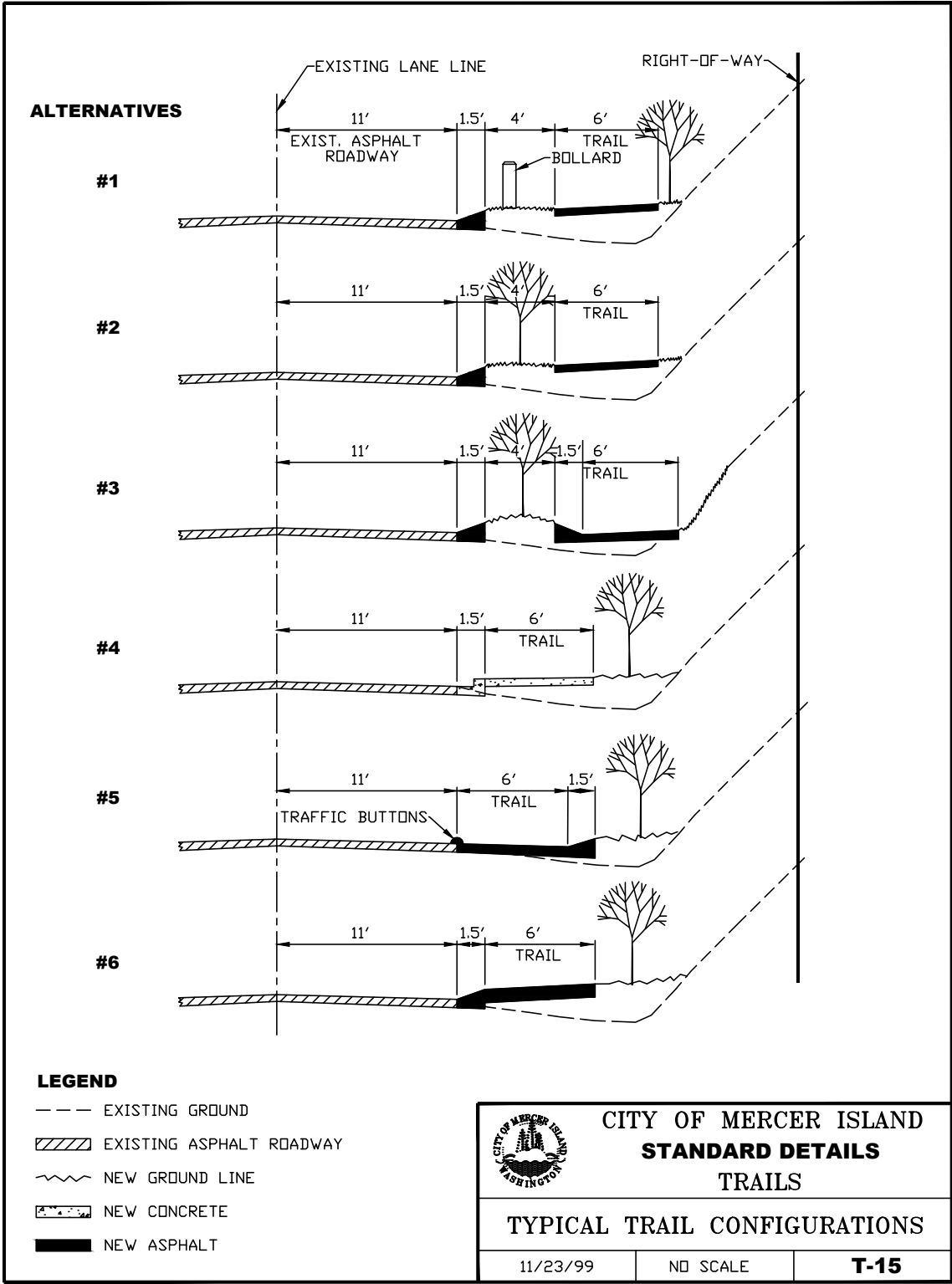




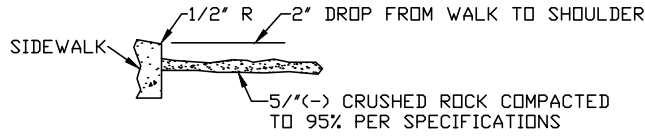
NOTES

1. FOR SPECIFIC DESIGN REQUIREMENTS SEE STANDARD DETAIL ST-24 & 25.

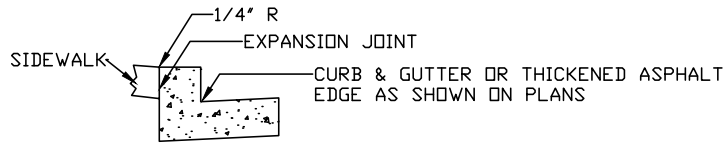
	CITY OF MERCER ISLAND STANDARD DETAILS TRAILS	
	STAIRWAYS	
11/23/99	NO SCALE	T-11



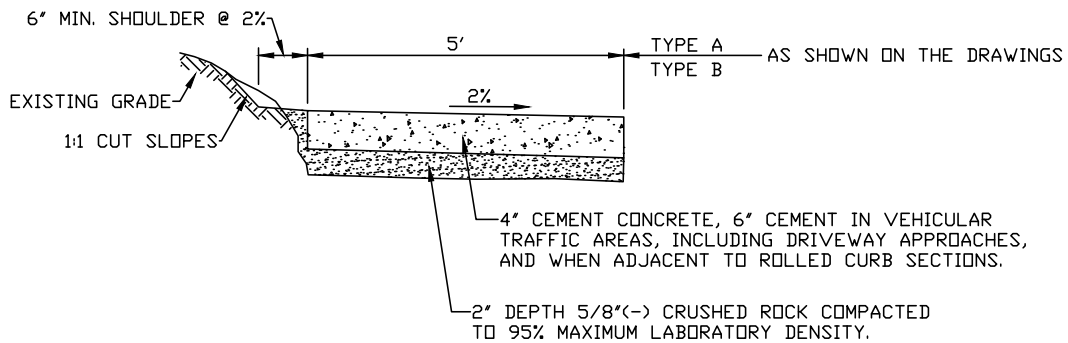
6-32



TYPE A - SEPARATED WALK




TYPE B - ADJACENT WALK

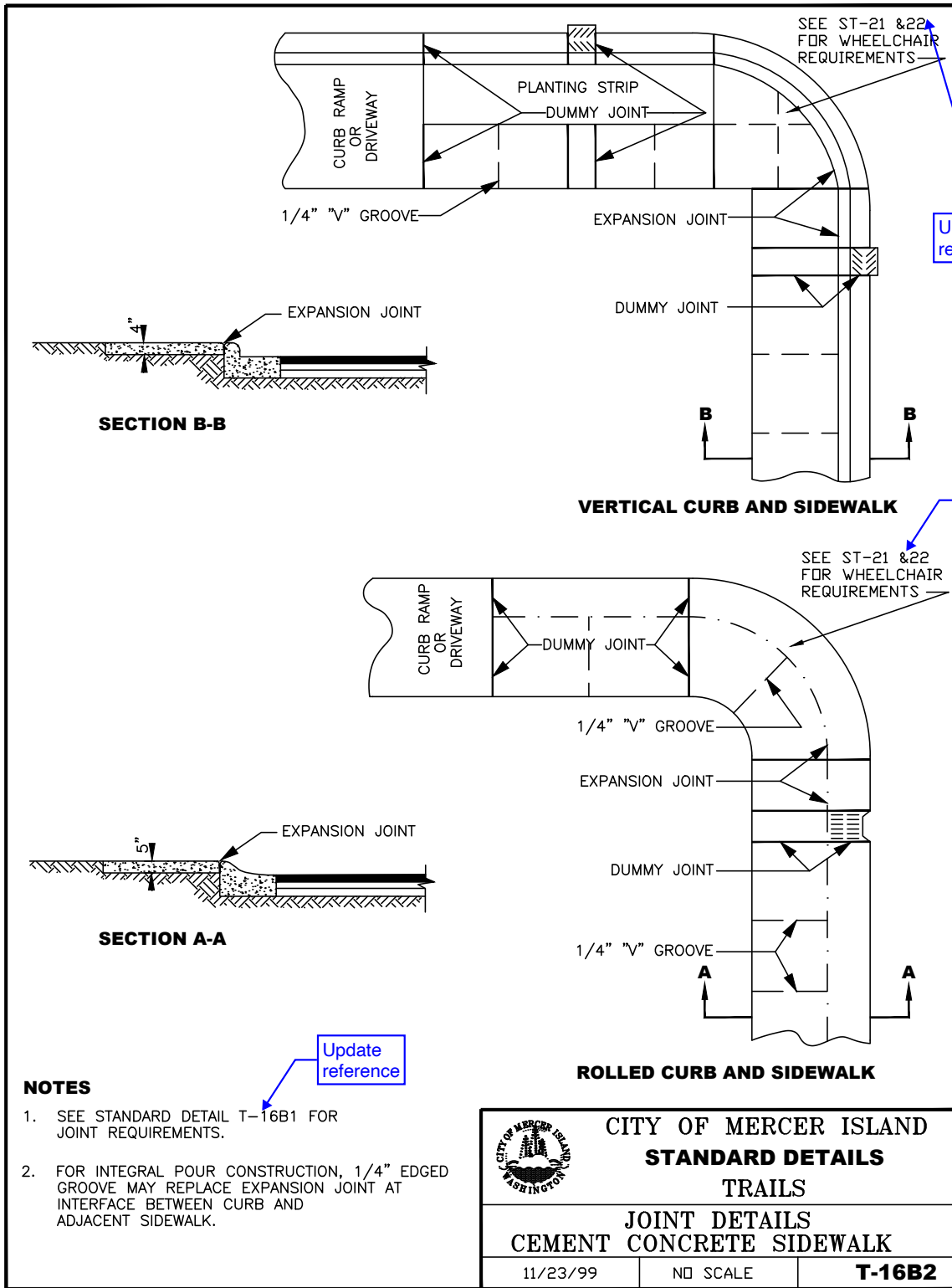


CEMENT CONCRETE WALK

NOTES

1. BRUSH FINISH TRANSVERSE TO SIDEWALK DIRECTION. TROWEL SMOOTH FIRST 2" AT ALL EDGES AND JOINTS WITH EDGAR.
2. INSTALL EXPANSION JOINTS AS PER STANDARD DETAIL T-16B2.
3. ALL JOINTS AND EDGES SHALL BE CLEAN AND BE ROUNDED TO 1/4" RADIUS, EXCEPT 1/2" RADIUS AT SIDEWALK EDGES. JOINTS SHALL BE FLUSH WITH THE FINISHED SURFACE.
4. ALL UTILITY POLES, METER BOXES, ETC. IN SIDEWALK AREA SHALL HAVE A 3/8" PREMOULDED JOINT FILLER, FULL DEPTH, PLACED AROUND THEM BEFORE PLACING CONCRETE.
5. ALL WORK SHALL CONFORM TO THE PLANS AND SPECIFICATIONS.

	CITY OF MERCER ISLAND STANDARD DETAILS TRAILS	
	DETAILS CEMENT CONCRETE SIDEWALK	
	11/23/99	NO SCALE



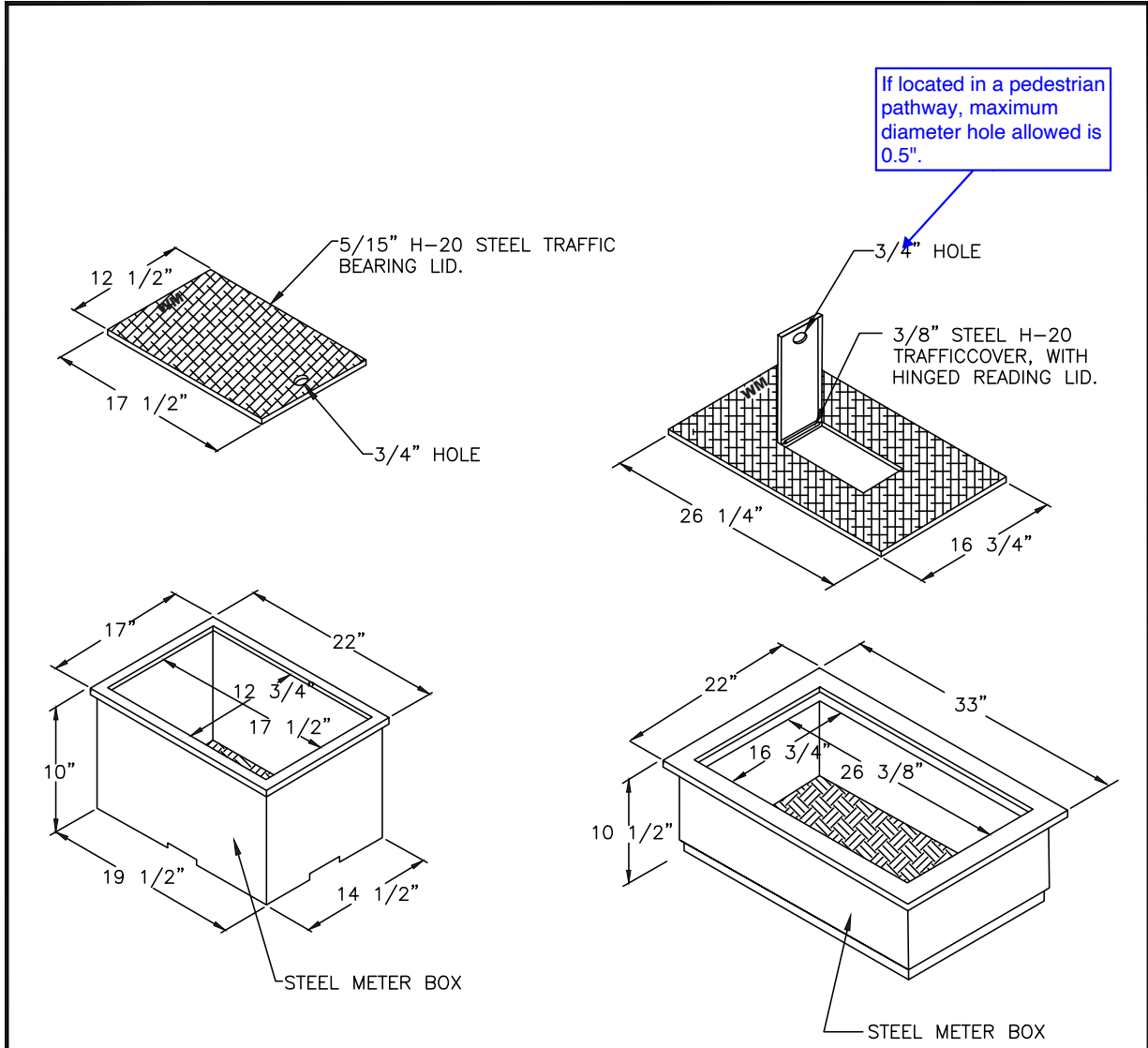
Update reference

Update reference

Update reference

NOTES

1. SEE STANDARD DETAIL T-16B1 FOR JOINT REQUIREMENTS.
2. FOR INTEGRAL POUR CONSTRUCTION, 1/4" EDGED GROOVE MAY REPLACE EXPANSION JOINT AT INTERFACE BETWEEN CURB AND ADJACENT SIDEWALK.




1" STEEL METER BOX

2" STEEL METER BOX

NOTES

1. FOR 1" STEEL BOX, USE FOG TITE J20S LID OR EQUAL, WITH A 3/4" ROUND HOLE.
2. 2" METER BOX SHALL BE FOG TITE #J20S ALL STEEL BOX WITH TAR COATING. LID SHALL BE HINGED WITH 3/4" DIA. LIFTING HOLE.

	<p>CITY OF MERCER ISLAND STANDARD DETAILS WATER</p>	
<p>1" AND 2" STEEL WATER METER BOX</p>		
12-23-2013	NO SCALE	W-17
REV DATE	APPROVED	

MSBC

MSBCF

LONG SIDE VIEW

SHORT SIDE VIEW

If located in a pedestrian pathway, maximum diameter hole allowed is 0.5".

TOP VIEW

WATER SERVICE SIZE	PART NO.	A	B	C	D	E
1"	MSBCF1324-12	13.75"	23.1875"	12"	12.125"	24.5"
2"	MSBC1730-18	17.625"	30.5"	18"	22.875"	35"

NOTES:

- METER BOX SHALL BE MID-STATES PLASTICS AS SHOWN, WITH A DUCTILE IRON LID WITH A FLIP OR HINGED INSPECTION LID TO INCLUDE A 3/4" PICK HOLE.
- PLASTIC WATER METER BOXES SHALL NOT BE INSTALLED WITHIN A DRIVING OR PARKING AREA.

CITY OF MERCER ISLAND

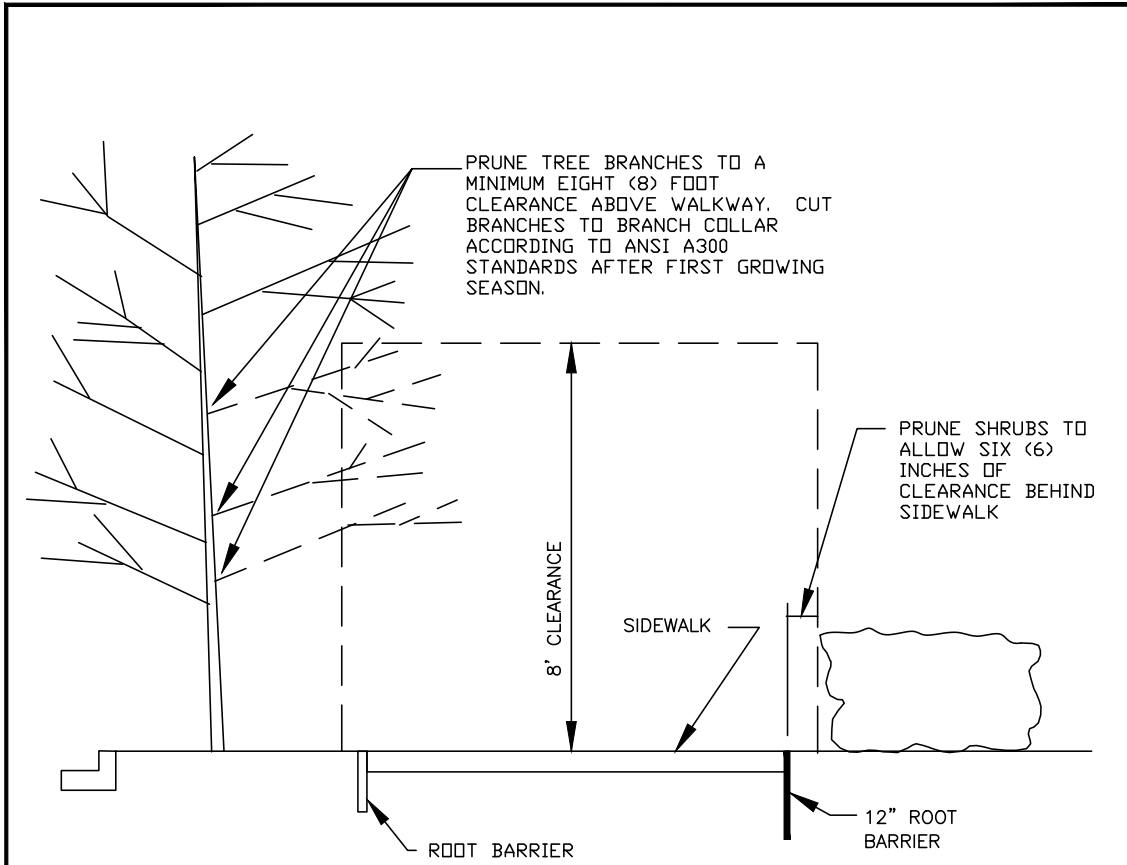
STANDARD DETAILS

WATER

1" & 2" PLASTIC


WATER METER BOX

12-23-2013	NO SCALE	W-18A
REV DATE		APPROVED

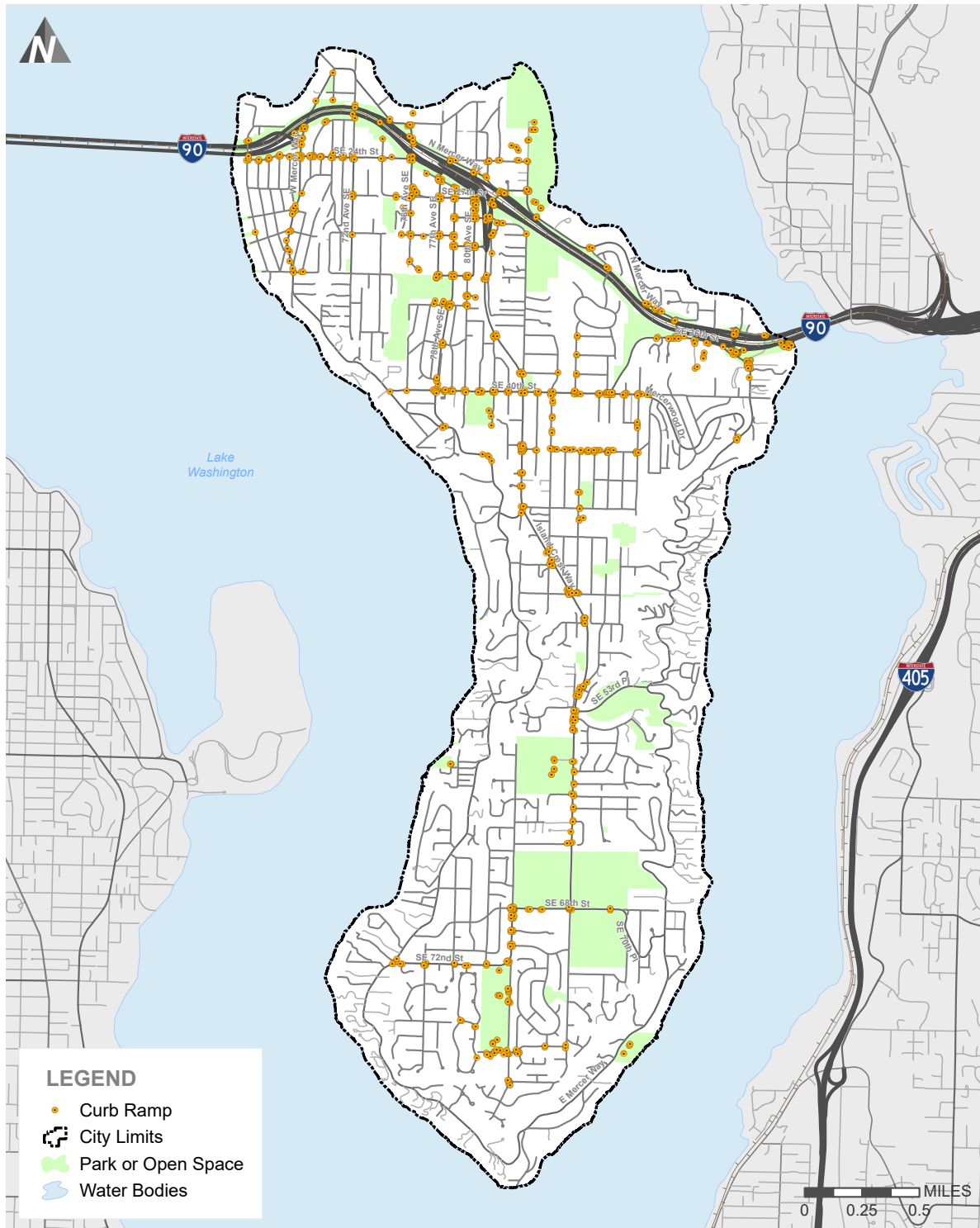


NOTES:

1. PRUNE MINIMALLY ON INSTALLATION AND ONLY AS NEEDED.
2. BRANCHES ON NEWLY PLANTED TREES MAY BE HEADED BACK TO PROVIDE CLEARANCE AND RETAIN LEAF AREA.
3. PRUNING ESTABLISHED TREES SHALL CONFORM TO ANSI A300.

	CITY OF MERCER ISLAND STANDARD DETAILS URBAN FORESTRY	
	WALKWAY TRIMMING DETAIL	
9-23-2002	NO SCALE	UF-4
REV DATE		APPROVED

Appendix B - Existing Data Inventory



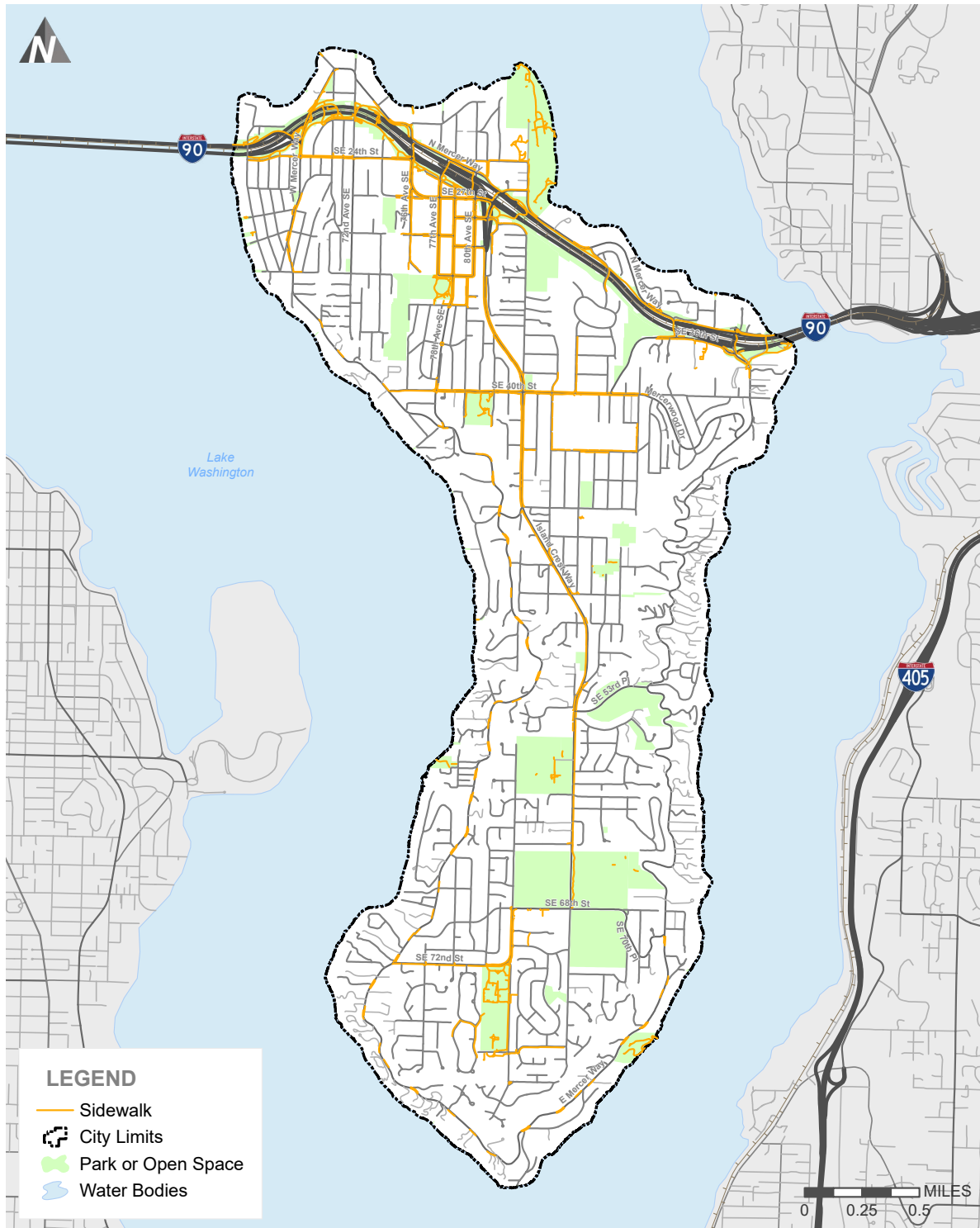
Inventory Curb Ramp

City of Mercer Island ADA Transition Plan

FIGURE



I-1

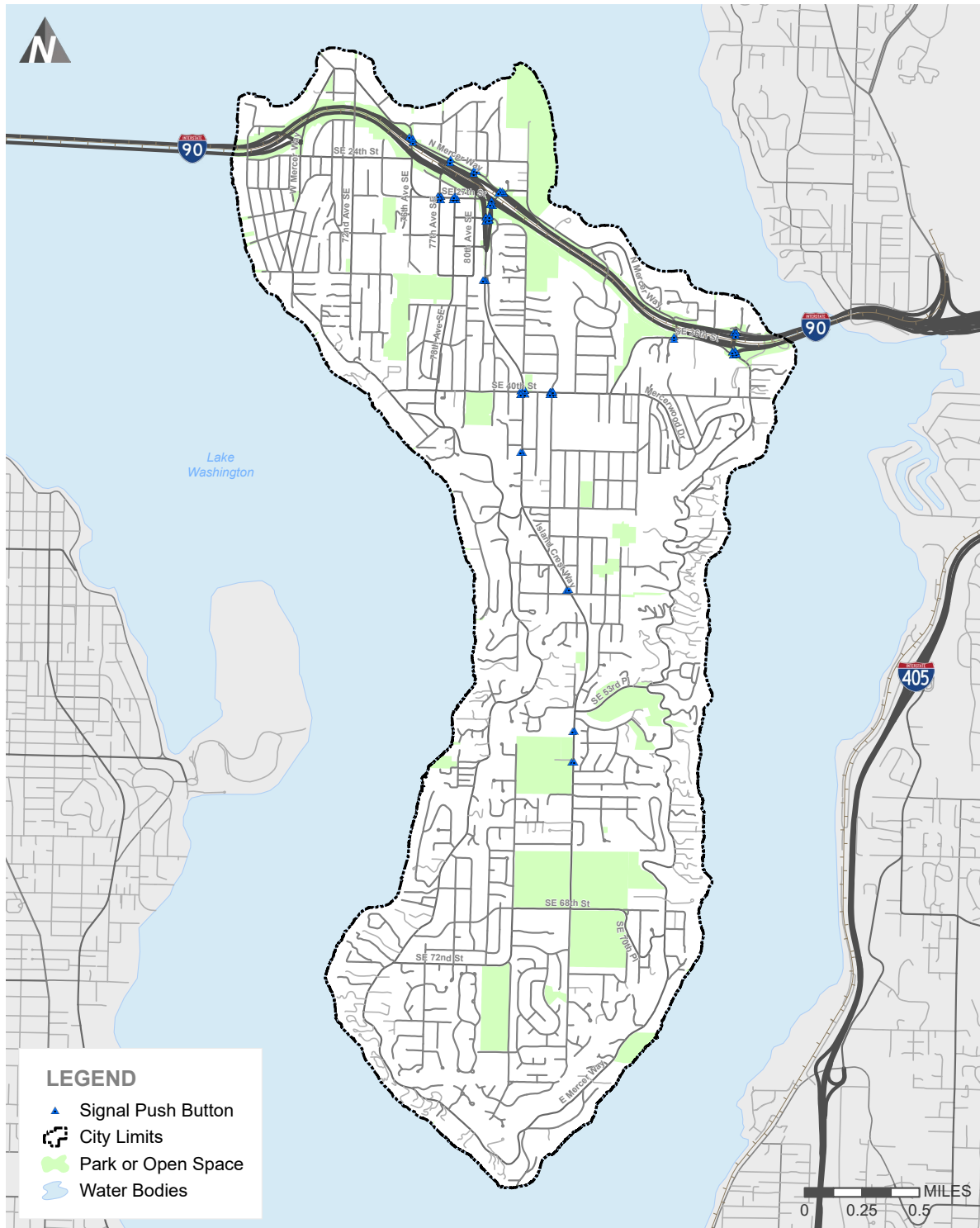


Inventory Sidewalk
 City of Mercer Island ADA Transition Plan

FIGURE



I-2



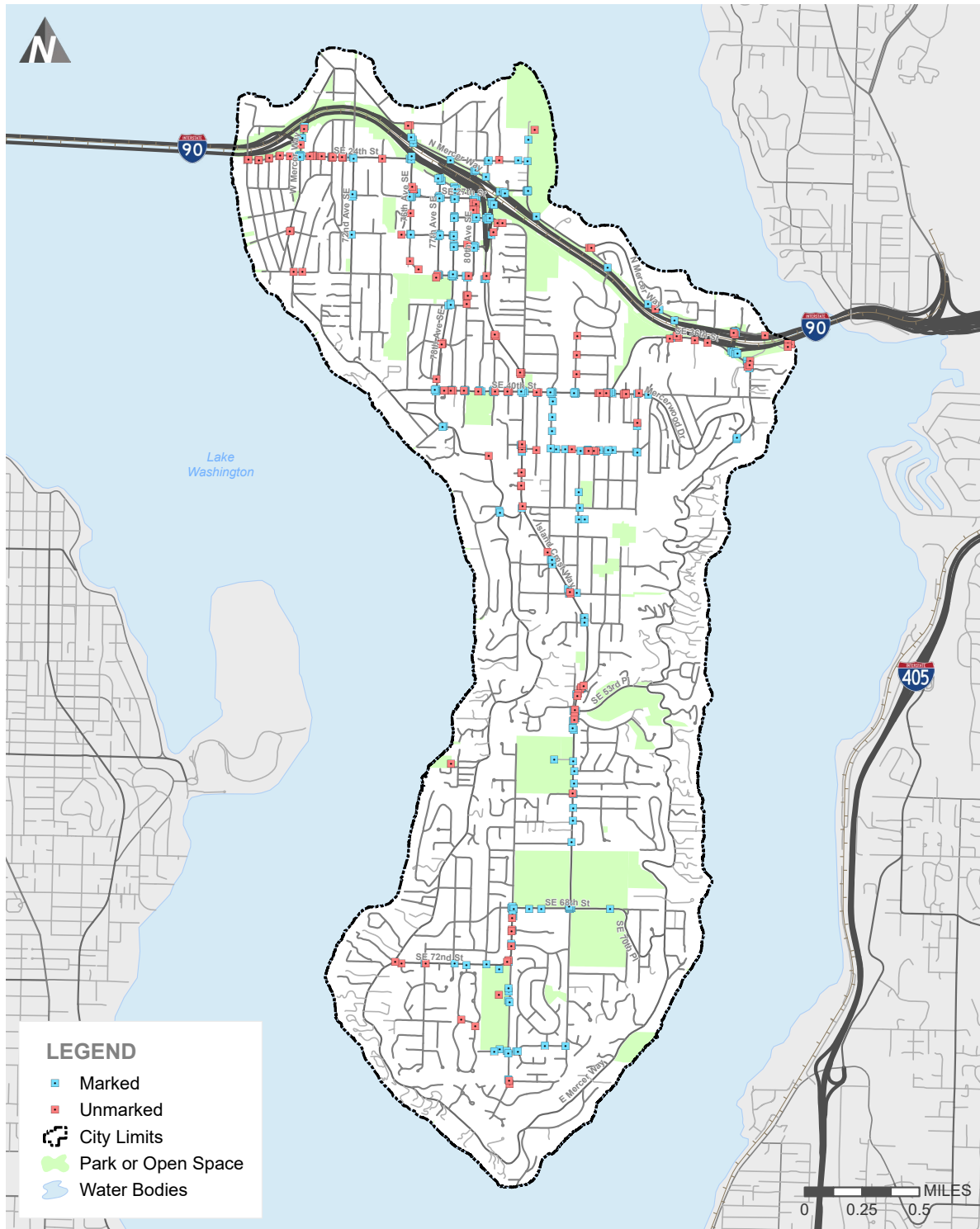
Inventory Signal Push Button

City of Mercer Island ADA Transition Plan

FIGURE



I-3

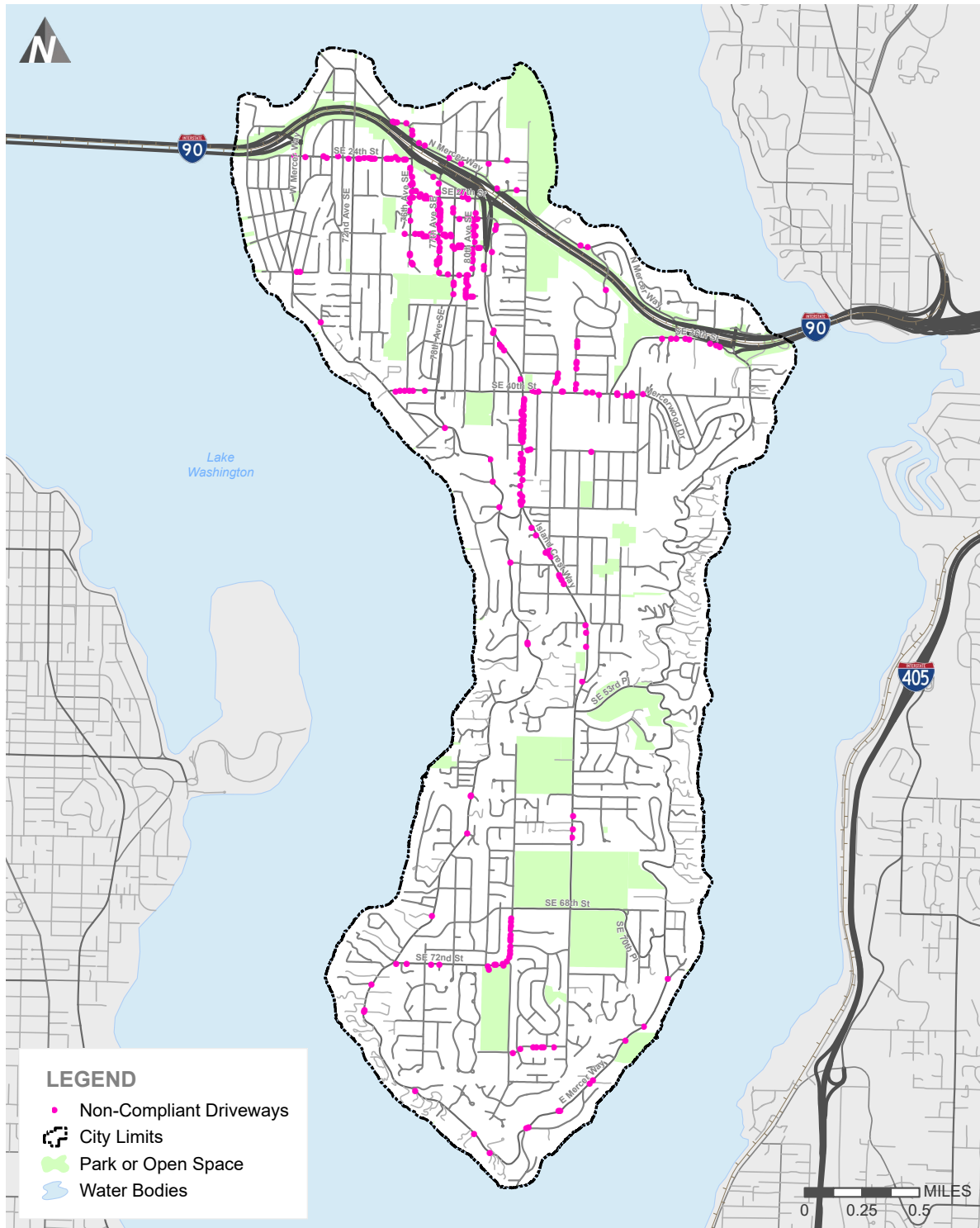


Inventory Crosswalk
City of Mercer Island ADA Transition Plan

FIGURE



I-4



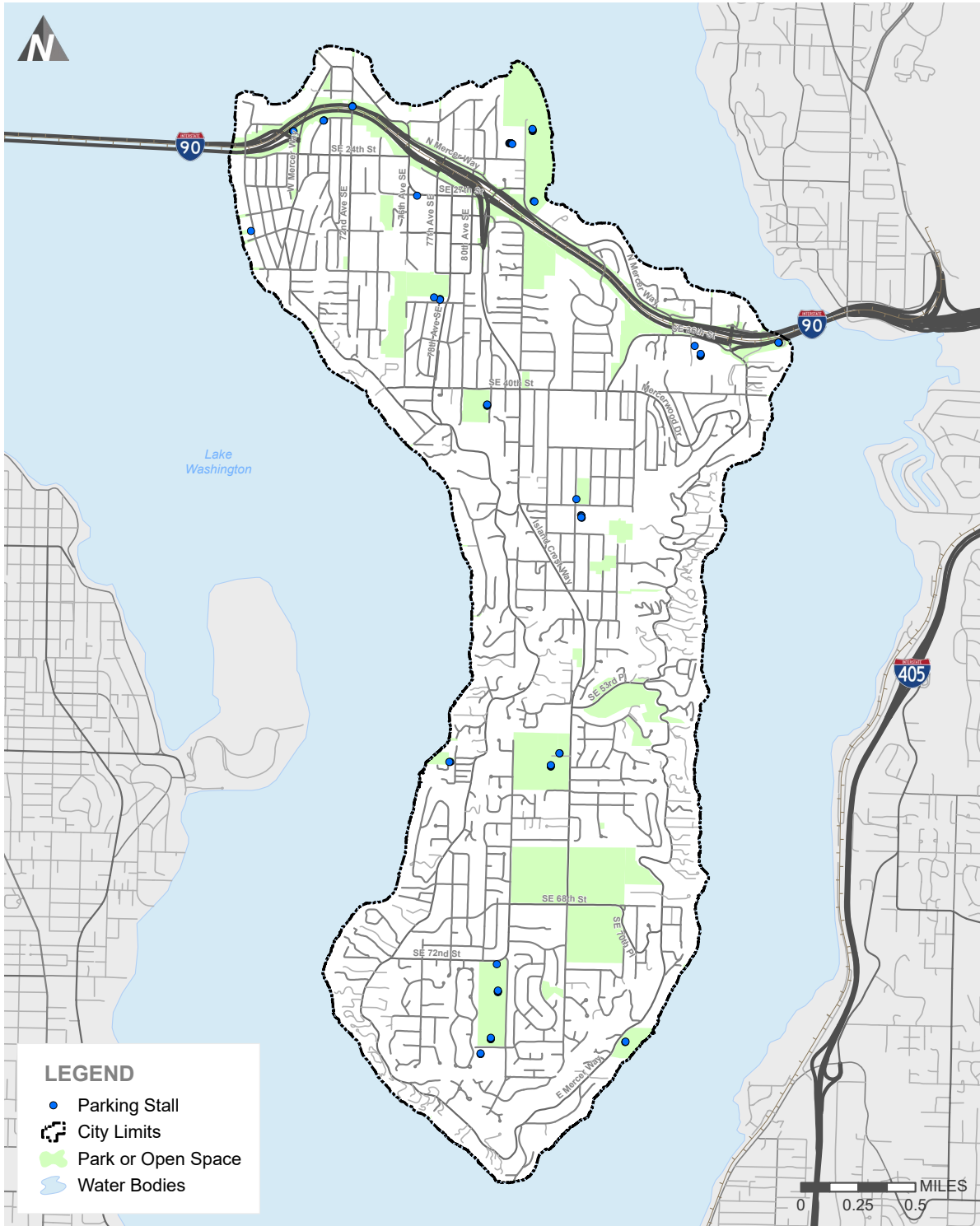
Inventory Non-Compliant Driveway

City of Mercer Island ADA Transition Plan



FIGURE

I-5

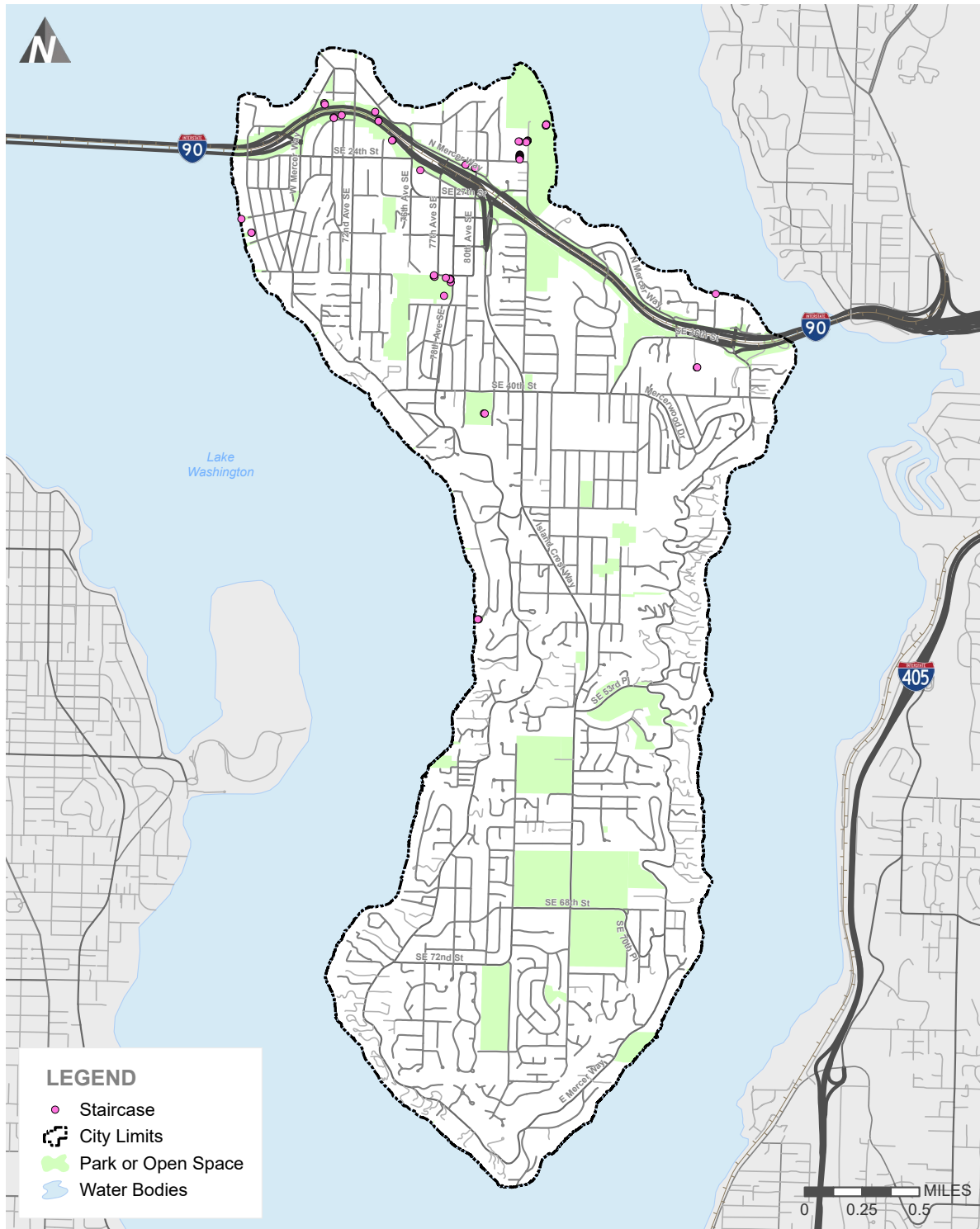


Inventory Parking Stall
City of Mercer Island ADA Transition Plan

FIGURE



I-6

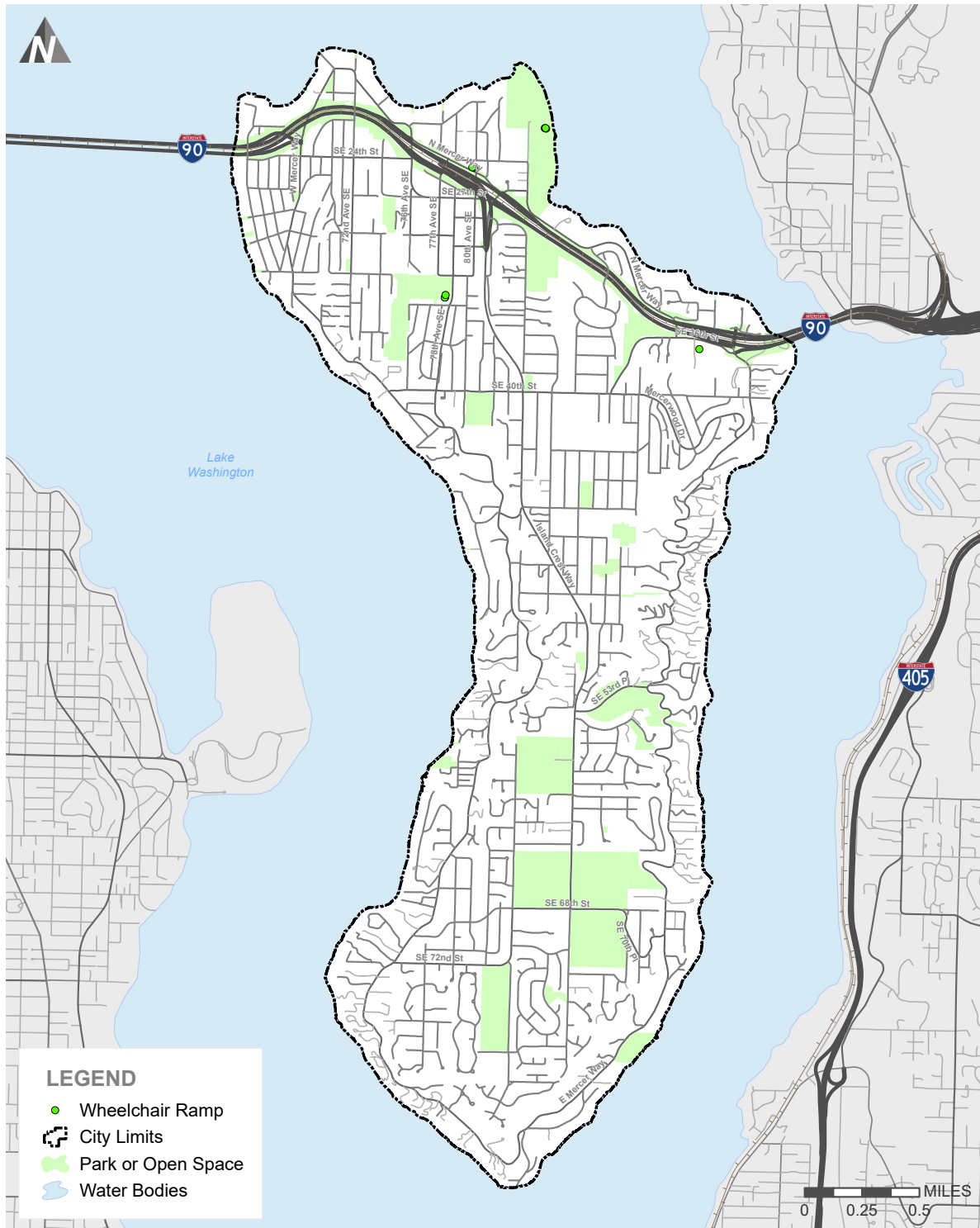


Inventory Staircase
City of Mercer Island ADA Transition Plan

FIGURE



I-7



Inventory Wheelchair Ramp

City of Mercer Island ADA Transition Plan

FIGURE



I-8

Appendix C - Prioritization Criteria

ADA Transition Plan Prioritization Process

Public Right-of-Way

To focus efforts toward facilities that pose the largest barrier within the public right-of-way, an analysis of the accessibility of each pedestrian facility and its proximity to public destinations such as schools, libraries, parks, transit, and city buildings will be completed. The result of this analysis is a prioritized list of projects, with the highest benefit projects identified for removal first.

To complete this assessment, a multi-criteria analysis is conducted to determine which facilities do not meet existing sidewalks and curb ramp standards. Each attribute collected in the field is compared against PROWAG requirements.

If the facility does not meet PROWAG criteria or is located near public destinations, points are assigned, with the number of points dependent on the relative importance or proximity. Sidewalks or curb ramps with poor PROWAG compliance and a number of proximate destinations receive a high score and are prioritized for removal while PROWAG compliant ramps far from public destinations have a score of zero. Missing curb ramps are assigned the greatest number of points.

Accessibility Prioritization (aka Accessibility Index Score)

A number of criteria are used to establish the extent to which each pedestrian facility did or did not present a barrier to accessible mobility. Table shows these criteria, the threshold used to identify them as a barrier, and the score used to indicate the severity of each barrier relative to each other. Pedestrian facilities with a higher Accessibility Index Score (AIS) presented a large accessibility barrier and have a higher score. Facilities with fewer or no barriers have a lower score.

Below is an example of typical weighted values to equal a total possible score of 30

ACCESSIBILITY INDEX SCORE	CRITERIA	THRESHOLD	SCORE	MAX. POSSIBLE SCORE
Sidewalks	Width	In ROW, < 48 inches or >= 48 - <60 inches w/ out pullouts. On-Site, <36 inches	4	4
	Run Slope	> 5% (and not similar to roadway grade if in ROW)	3	3
	Cross Slope Issue	> 2%	1	3
	Cross Slope Issue	> 2.4%	1	
	Cross Slope Issue	> 3%	1	
	Condition	< Average	2	2
	Vertical Discontinuity Issue > ¼ inch and <= ½ inch without bevel or >½ inch	Barriers Present >=1	1	3
	Vertical Discontinuity Issue	Barriers Present >=5	1	
	Vertical Discontinuity Issue	Barriers Present >=10	1	
	Horizontal Discontinuity Issue	Barriers Present >=1	1	1

ACCESSIBILITY INDEX SCORE	CRITERIA	THRESHOLD	SCORE	MAX. POSSIBLE SCORE
	> ½ inch			30
	Horizontal Discontinuity Issue	Barriers Present >=5	1	
	Horizontal Discontinuity Issue	Barriers Present >=10	1	
	Fixed Obstacles	Barriers Present >=1	1	
	Fixed Obstacles	Barriers Present >=2	1	
	Fixed Obstacles	Barriers Present >=3	1	
	Moveable Obstacles	Barriers Present >=1	1	
	Moveable Obstacles	Barriers Present >=2	1	
	Moveable Obstacles	Barriers Present >=3	1	
	Protruding Obstacles	Barriers Present >=1	1	
	Protruding Obstacles	Barriers Present >=2	1	
	Protruding Obstacles	Barriers Present >=3	1	
	Non-Compliant Driveways Non-Compliant >2% cross-slope, and/or Non-Concurrent Grade Break and/or >8.3% Running Slope	Barriers Present >=1	1	
	Non-Compliant Driveways	Barriers Present >=2	1	
	Non-Compliant Driveways	Barriers Present >=3	1	
Maximum Sidewalk (AIS) Score				30
Curb Ramps (Max. Score)	Ramp Width	< 48 inches	30	30
	Ramp Running Slope	> 8.3% (less than 15-ft) or >5% (Blended)	30	30
	Ramp Cross Slope Issue	> 2% - <=3%	20	30
	Ramp Cross Slope Issue	> 3%	10	
	Curb Ramp Type	Non-Compliant Type	30	30
Curb Ramps	Accessible Path	No	2	2
	Turning Space	None or width < full width of ramp or length < 48 inches	5	5
	Turning Space Cross Slope	>2%	3	3
	Flare Slope	>10%	2	2
	Receiving Ramp	No	2	2
	Truncated Domes (DWS)	No	3	3
	Truncated Domes (DWS) Placement	Other than Back of Curb	1	3
	Truncated Domes (DWS) Depth	<2 feet	1	
	Truncated Domes (DWS) Width	Less than Full Width	1	
	Grade Break	Not Concurrent	2	2
	Counter Slope	>5%	2	2
	Lip	> ¼ inch	2	2

ACCESSIBILITY INDEX SCORE	CRITERIA	THRESHOLD	SCORE	MAX. POSSIBLE SCORE
	End inside of Marked Crosswalk if present	No	2	2
	Roadway Clear Space	<4ft x 4ft	2	2
	Maximum Sidewalk (AIS) Score			30
Signal Pushbuttons	Curb Distance	Pushbutton less than 10 feet from curb = No	2	2
	Crosswalk Extension Distance	Pushbutton less than 5 feet from the extension of the crosswalk line = No	2	2
	Force Less Than 5lbs	Pushbutton Force less than 5 pounds = No	2	2
	Vibe Feedback	Pushbutton provides vibratory feedback when pushed = No	2	2
	Button Size and Visual Contrast	Pushbutton size meets minimum 2-inch diameter with visual contrast from housing = No	2	2
	Distance of 2 Buttons on Same Corner	Distance between pushbuttons on the same corner less than 10 feet and audible indication of WALK interval in speech = No	2	2
	Reach Depth from Landing	Reach depth from pushbutton to the landing is less than 10 inches = No	2	2
	Mounting Height	Mounting height of pushbutton from landing area is < 42 inches or > 48 inches	2	2
	Tactile Arrow	Tactile Arrow provided = No	2	2
	Directional Arrow	Directional arrow on pushbutton face, housing, or mounting & pushbutton with parallel orientation to crosswalk direction = No	2	2
	Level Clear Space	Level clear space provided at pushbutton (min. 30" x 48") landing area provided with less than a 2% cross slope in any direction = No	2	2
	Both Audible Tone during "Walk" Cycle and Audible Speech during "Walk" Cycle	Audible indication of WALK interval in tone = No and Audible indication of WALK interval in speech = No	2	2
	Locator Tone during "Don't Walk" Cycle	Locator tone operates during DON'T WALK and flashing DON'T WALK intervals = No	2	2

ACCESSIBILITY INDEX SCORE	CRITERIA	THRESHOLD	SCORE	MAX. POSSIBLE SCORE
	Braille Street Name	Braille correctly showing street name = No and audible indication of street name at any time = No	2	2
	APS Style Housing	Housing is APS Style = No	2	2
	Maximum Signal Pushbutton (AIS) Score			30
Crosswalks	Width	< 6 feet	6	6
	Run Slope	> 5%	12	12
	Cross Slope	> 5% at Non-Stop/Yield Controlled Intersections or > 2% at any other type except for mid-block crossings	12	12
	Maximum Crosswalk (AIS) Score			30
Bus Stops	Boarding Area Dimensions	< 5'x8' or no boarding area	8	8
	Condition	Poor	5	5
	Boarding Area Cross Slope	> 2%	5	5
	Boarding Area Run Slope	> 5% and not similar to roadway grade	4	4
	Accessible Route Slope	> 5% and not similar to roadway grade (if separation between boarding area and shelter)	4	4
	Shelter Cross Slope	> 2% (If there is a shelter)	4	4
	Maximum Bus Stop (AIS) Score			30
Parking Stalls	Stall Width	If regular stall, < 96 inches. If van accessible stall, < 132 inches and adjacent aisle is < 96 inches.	4	4
	Stall Turning Slope	> 2%	4	4
	Stall Pavement Marking	No Marking	3	3
	Sign Present	No Sign	2	2
	Sign Height	< 60 inches	1	1
	Wheelstop or Curb Present	No Wheelstop/Curb (and not a parallel stall)	2	2
	Vertical Clearance	< 98 inches and a van accessible parking stall	2	2
	Adjacent Walkway Width	For parallel on-street parking with a sidewalk <= 14 feet wide nearby, stall is not at end of block. If sidewalk is > 14 feet wide, no access aisle provided in	2	2

ACCESSIBILITY INDEX SCORE	CRITERIA	THRESHOLD	SCORE	MAX. POSSIBLE SCORE
		road parallel to stall or access aisle is < 5 feet wide.		
	Connected to Access Aisle (Max. Score)	No Access Aisle	10	10
	Connected to Accessible Path	Not Connected	2	
	Access Aisle Width	< 60 inches	3	
	Access Aisle Turning Slope	> 2%	3	
	Pavement Marking	No Hatching	2	
	Maximum Parking Stall (AIS) Score			
Pedestrian Railroad Crossings	Flange Gap	> 3 inches wide	10	10
	DWS	No DWS	10	10
	DWS Placement	< 6 feet or > 15 feet from edge of nearest rail, or No DWS	10	10
	Maximum Railroad Crossing (AIS) Score			

ACCESSIBILITY INDEX SCORE	CRITERIA	THRESHOLD	SCORE	MAX. POSSIBLE SCORE
ADA Parking Stalls	Stall Width	If regular stall, < 96 inches. If van accessible stall, < 132 inches and adjacent aisle is < 96 inches.	4	4
	Stall Turning Slope	> 2%	4	4
	Stall Pavement Marking	No Marking	3	3
	Sign Present	No Sign	2	2
	Sign Height	< 60 inches	1	1
	Wheelstop or Curb Present	No Wheelstop/Curb (and not a parallel stall)	2	2
	Vertical Clearance	< 98 inches and a van accessible parking stall	2	2
	Adjacent Walkway Width	For parallel on-street parking with a sidewalk <= 14 feet wide nearby, stall is not at end of block. If sidewalk is > 14 feet wide, no access aisle provided in road parallel to stall or access aisle is < 5 feet wide.	2	2

ACCESSIBILITY INDEX SCORE	CRITERIA	THRESHOLD	SCORE	MAX. POSSIBLE SCORE
	Connected to Access Aisle (Max. Score)	No Access Aisle	10	10
	Connected to Accessible Path	Not Connected	2	
	Access Aisle Width	< 60 inches	3	
	Access Aisle Turning Slope	> 2%	3	
	Pavement Marking	No Hatching	2	
	Maximum Parking Stall (AIS) Score			30
Wheelchair Ramps	Rise	> 30 inches	3	3
	Run Slope	> 8.3%	3	3
	Cross Slope	> 2%	3	3
	Width	< 4 feet if in ROW, < 3 feet if on-site	3	3
	Top Landing Length	< 5 feet or no top landing	1	1
	Bottom Landing Length	< 5 feet or no bottom landing	1	1
	Top Landing Width	< Ramp width or < 5 ft if ramp requires change in direction at landing or no top landing	1	1
	Bottom Landing Width	< Ramp width or < 5 ft if ramp requires change in direction at landing or no bottom landing	1	1
	Top Landing Cross Slope	> 2% or no top landing	1	1
	Bottom Landing Cross Slope	> 2% or no bottom landing	1	1
	Extended Ramp Surface/Edge Barrier	No extended ramp surface or < 12 inches and no barrier or barrier opening >= 4 inches	1	1
	Grade Breaks	One or both ends not concurrent	1	1
	Handrail Placement (Max. Score)	No handrails present and rise > 6 inches	10	10
	Handrail Placement	Handrail on one side only and rise > 6 inches	2	
	Handrail Height	< 34 inches or > 38 inches	1	
	Handrail Clearance	< 1.5 inches	1	
	Handrail Grip Surface Obstructed	> 20% obstructed	1	
	Handrail Cross Section	If circular, diameter < 1.25 inches or > 2 inches If non-circular, perimeter < 4 inches or > 6 inches	1	
Handrail Top Extension Slope	Not horizontal and/or doesn't begin at first	1		

ACCESSIBILITY INDEX SCORE	CRITERIA	THRESHOLD	SCORE	MAX. POSSIBLE SCORE
		nosing, or no top extension		
	Handrail Top Extension Length	< 12 inches	1	
	Handrail Bottom Extension Slope	Not horizontal and/or doesn't begin at bottom of ramp, or no bottom extension	1	
	Handrail Bottom Extension Length	< 12 inches	1	
	Maximum Wheelchair Ramp (AIS) Score			
Staircases	Riser	< 4 inches or > 7 inches	4	4
	Tread	< 11 inches	4	4
	Tread Cross Slope	> 2%	3	3
	Contrasting Strip	If no contrasting strips and staircase within ROW	2	2
	Contrasting Strip Placement/ Width/ Length	If there are strips and they're placed elsewhere than front of steps AND/OR If there are strips and they're < 2 inches AND/OR If there are strips and they're less than the full width of each step	1	1
	Nosing Radius	> 0.5 inches	2	2
	Riser Slope	> 30 degrees	2	2
	Tread Projection	> 1.5 inches	2	2
	Handrail Placement (Max. Score)	No handrails present	10	10
	Handrail Placement	Handrail on one side only	2	
	Handrail Height	< 34 inches or > 38 inches	1	
	Handrail Clearance	< 1.5 inches	1	
	Handrail Grip Surface Obstructed	> 20% obstructed	1	
	Handrail Cross Section	If circular, diameter < 1.25 inches or > 2 inches If non-circular, perimeter < 4 inches or > 6 inches	1	
	Handrail Top Extension Slope	Not horizontal and/or doesn't begin at first nosing, or no top extension	1	
	Handrail Top Extension Length	< 12 inches	1	
	Handrail Bottom Extension Slope	Not same slope as stairway or no bottom extension	1	

ACCESSIBILITY INDEX SCORE	CRITERIA	THRESHOLD	SCORE	MAX. POSSIBLE SCORE
	Handrail Bottom Extension Length	< Tread width	1	
	Maximum Staircase (AIS) Score			30

Location Prioritization (aka Location Index Score)

A number of destinations are used to identify high priority pedestrian facilities within the City. This is done by identifying public destinations such as public buildings, transit and parks and identifying pedestrian facilities within close proximity of one or more of these destinations.

Pedestrian facilities within the identified proximity were assigned points based on each destination they were close to, as shown in Table. This measure is called the Location Index Score (LIS), which identifies high pedestrian generating overlapping areas. Ultimately the more pedestrian generating areas an asset is within, the higher number. Community Defined Destinations criteria is added to the Location Index Score (LIS) following comments and results received from open house attendees, City staff, other stakeholders during engagement and public outreach. This assists in factoring in what’s important to the citizens and community to help with the overall prioritization.

Below is an example of typical weighted values to equal a total possible score of 45

LOCATION CRITERIA	RATING CRITERIA	POSSIBLE SCORE
Schools		
Proximity to Schools	Within 1/8-mile radius of school	5
Walk-To-School Route Proximity	Within 1/2-mile radius of school	5
Parks		5
Within 1/8-mile radius of park		
Transit		
High-Capacity Transit / Park and Ride	Within 1/8-mile of park and ride or high-capacity transit	5
Bus Stops	Within 1/8-mile of transit stop	5
Traffic Signal/Roundabout		5
Within 1/8-mile of signal or roundabout		
Public Buildings		5
Within 1/8-mile of location		
Downtown / Urban / Commercial Business Centers		5
Within 1/4-mile radius of Downtown, Urban and Commercial Business Center Zoning		
Community Defined Destinations (defined by Stakeholder/Public Engagement*)		5
Within 1/8-mile of location		
TOTAL LOCATION INDEX SCORE (LIS)		45

* Note: Community Defined Destinations to be identified based on public outreach, ADA surveys, etc. on what locations are more important, thus giving extra weight to those community defined destinations. (To be determined)

Barrier Removal Priorities (Combined Composite Index Score)

By combining the Accessibility Index Score and Location Index Score, a Combined Composite Index Score was developed. Together, these measures prioritize barrier removal at locations where pedestrian facilities present a barrier and where pedestrians would be expected.

Facilities with the highest score should be addressed first (46+ points) and represent facilities that present a clear physical barrier and are in high-demand areas. Facilities with lower scores should be address last (0 to 15 points), have minor barriers, and are in locations where pedestrian demand would be expected to be lower. These scores are relative, comparing one facility to the other. The ranges for medium and high priority were defined based on review of the identified barriers and assessment of the relative barrier they present. It should be noted that while some barriers have a lower priority, they still should be removed.

Public Parks & Buildings

Parks & Building Accessibility Index Score

The Department of Justice (CFR Title 28) provides criteria to be used to establish the priority of each type of barrier. As barriers are identified during the self-assessment, priority levels are assigned and recorded for each barrier. Once the self-assessment is complete, a Park & Building Accessibility Index Score (PBAIS) is calculated for each barrier based on its assigned priority level. Facilities with a higher PBAIS score represent higher priority barriers while facilities assigned lower priority levels have a lower score. Table 3 shows the priority levels and the number of possible points assigned to barriers for each priority level.

PUBLIC PARKS & BUILDING ACCESSIBILITY INDEX SCORE	RATING CRITERIA	POSSIBLE SCORE
Priority 1	Provision of access to a place of public accommodation from public sidewalks, parking or public transportation. (entrance ramps, widening entrances, accessible parking etc.)	30
Priority 2	Provision of access to those places where goods and services are made available. (revising interior routes, adjusting layout of tables, signage, doorways and ramps)	20
Priority 3	Provisions of accessible restrooms. (Widening doorways, widening restroom stalls,	10
Priority 4	Modifications to provide access to the goods, services, facilities, privileges, advantages, or accommodations. (public phones, water fountains etc.)	0
TOTAL PUBLIC PARKS & BUILDING ACCESSIBILITY INDEX SCORE (PBAIS)		30

Parks & Building Location Index Score

Similar to the Location Index Score for Public ROW, each barrier for parks and buildings are assigned a LIS based on the relative importance of the facility in which the barrier is located. Several criteria are used to identify high priority facilities within the City with points awarded for each criterion. Values can be revised per comments received from open house attendees, City staff, other stakeholders during engagement and public outreach. Below is an example of typical weighted values to equal a total possible score of 45.

PUBLIC PARKS & BUILDING CRITERIA	RATING CRITERIA	POSSIBLE SCORE
Level of Public Use	Low(2) Medium(5) High(8)	8
Unique Public Programs	Facility with unique public programs (Y/N)	7
Critical Public Programs	Low(2) Medium(5) High(8)	8
Public Input / Identified Complaints	Facility has been identified to be an issue by public complaints (Y/N)	7
Social Equality	Facility serves historically underserved populations (Y/N)	7
Level of Investment	<\$500(8) <\$5,000(5) >\$5,000(2)	8
TOTAL PARKS & BUILDING LOCATION INDEX SCORE (PBLIS)		45

Barrier Removal Priorities (Combined Composite Index Score)

By combining the Accessibility Index Score and Location Index Score, a Composite Index Score is calculated. Together, these measures prioritize barrier removal at locations where pedestrian facilities present a barrier and where pedestrians would be expected.

Facilities with the highest score should be addressed first (46+ points) and represent facilities that present a clear physical barrier and are in high-demand/high-importance locations. Facilities with lower scores should be address last (0 to 15 points), have minor barriers, and are in locations where pedestrian demand would be expected to be lower. These scores are relative, comparing one facility to the other. The ranges for medium and high priority were defined based on review of the identified barriers and assessment of the relative barrier they present.

School Buildings & Common Areas

School Buildings & Common Areas Accessibility Index Score

A number of criteria are used to identify high priority facilities on the UW Bothell/Cascadia Community College campus. This was done by identifying buildings, and common areas and how much the facility is utilized by the public.

Facilities identified were assigned points based on each several criteria, as shown in Table 5. This measure was called the Building and Common Area Accessibility Index Score (BCAIS). Intermediate scores may be used for buildings that may lay between the designated priority levels, if a building falls between two designated levels, use the value midway between the designated possible scores. For example, a score of 25 would be given to a building that is between Priority 1 and 2. Facilities with a higher BCAIS values presented a large accessibility barrier, facilities with fewer or no barriers have a lower scores.

BUILDINGS & COMMON AREA ACCESSIBILITY INDEX SCORE	RATING CRITERIA	POSSIBLE SCORE
Priority 1	There are no accessible bathrooms or classrooms.	30
Priority 2	At least one accessible bathroom and one accessible general education classroom exist on the ground floor.	20
Priority 3	Certain public assembly areas or classrooms may not be accessible due to changes in elevation or other barriers.	10
Priority 4	All educational and primary function areas within the building are accessible.	0
TOTAL BUILDINGS & COMMON AREA ACCESSIBILITY INDEX SCORE (BCAIS)		30

School Buildings & Common Areas Location Index Score

Facilities identified were assigned points based on each several criteria, as shown in Table 6. Buildings and common areas are assigned scores based on the presence of different facilities, as shown in Table 6, regardless of the accessibility of the facility in question. For example, a building that contains admin facilities, classrooms, and study rooms would receive a score of 23 even if the admin facility is the only inaccessible area. Very few buildings are expected to receive maximum scores, as such higher values were assigned to higher priority facility types. Facilities may be reordered based on student or institution comments.

BUILDINGS & COMMON AREA LOCATION INDEX SCORE	RATING CRITERIA	POSSIBLE SCORE
Admin Facilities		10
Faculty Offices		8
Classrooms		7
Library/Study Rooms/Computer Lab		6
Student Gathering Areas		5
Dining/Food Service Facilities		4
Housing		3
Maintenance Facilities		2
TOTAL BUILDINGS & COMMON AREA LOCATION INDEX SCORE (BCLIS)		45

Barrier Removal Priorities (Combined Composite Index Score)

By combining the BCAIS and the BCLIS together, a Composite Index Score (CCIS) was developed. Together, these measures prioritize barrier removal at locations where pedestrian facilities present a barrier and where pedestrians would be expected.

Facilities with the highest score should be addressed first (46+ points) and represent facilities that present a clear physical barrier and are in high-demand areas. Facilities with lower scores should be address last (0 to 15 points), have minor barriers, and are in locations where pedestrian demand would be expected to be lower. These scores are relative, comparing one facility to the other. The ranges for medium and high priority were defined based on review of the identified barriers and assessment of the relative barrier they present. It should be noted that while some barriers have a lower priority, they still should be removed.

Appendix D - Facilities & Parks Survey Report



City of Mercer Island, WA
ADA Accessibility Survey Report



Prepared for
Transpo Group
12131 113th Avenue NE, #203
Kirkland, WA 98034

Attn: Mr. Ryan Peterson

Submitted on December 1, 2021



Michael B. Schneider, AIA, Principal | William E. Endelman, AIA, Founder
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December 1, 2021

Attn: Mr. Ryan Peterson
Transpo Group
12131 113th Ave. NE
Kirkland, WA 98034

Via Email: Ryan.Peterson@transpogroup.com

Re: Proj07 – ADA Facility Survey Report
City of Mercer Island, Mercer Island, WA
E&A Project #20.1036.6

Dear Ryan:

Endelman & Associates PLLC (E&A) is pleased to present this ADA Facility Survey Report in PDF format. This report is an assessment of compliance of the vertical elements only of select City of Mercer Island facilities with the Americans with Disabilities Act using the 2010 Standards for Accessible Design, as discussed more fully in the Overview / Executive Summary section. We trust you will find the report thorough and useful.

The Overview / Executive Summary explains the survey context. This leads to an important recommendation: E&A recommends that anyone receiving a copy of any portion of the report data be provided the Overview / Executive Summary section. This section answers many questions and helps ensure that the data is used properly.

It has been our pleasure working with you, and we will be glad to provide you with any clarifications you require regarding the contents in our report.

Sincerely,

Jody L. Meldrum
Consultant

David Machermer
Senior Consultant

Bart Sanderson, CASp
Associate, Technical Director

Transpo-Proj07-CityofMercerIsland-ADASurvey-CvrLtrFINAL

Michael B. Schneider, AIA, Principal | William E. Endelman, AIA, Founder

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**City of Mercer Island, WA
for
Transpo Group
ADA FACILITY SURVEY REPORT**

Prepared by: Endelman & Associates PLLC – December 1, 2021

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Section 2 - APPENDIX / LEGEND

- A. Abbreviations
- B. Legend for the ADA Survey Results

Section 3 - ADA SURVEY RESULTS

Matrix followed by Captioned Photo Pages for each location

Michael B. Schneider, AIA, Principal | William E. Endelman, AIA, Founder

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For each of the following facilities, sorted by location #, a detailed Matrix of observed issues and captioned photo pages have been provided, in the following order.

1	77th Avenue SE Landing
2	Aubrey Davis Park
3	Bicentennial Park
4	Boat Launch
5	Calkins Landing
6	Clarke Beach
7	Clise Park
8	Community and Events Center
9	Deane's Children's Park
10	Ellis Pond
11	First Hill Park
12	Forest Landing
13	Franklin Landing
14	Fruitland Landing
15	Garfield Landing
16	Groveland Beach
17	Homestead Park
18	Island Crest Park
19	Lincoln Landing
20	Luther Burbank Park
21	Luther Burbank Park Administration Building & Caretaking Facility
22	Main Fire Station #91
23	Maintenance Hall
24	Mercer Island City Hall
25	Mercerdale Park
26	Miller Landing
27	Pioneer Park

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& ASSOCIATES**
PLLC
 Accessibility Consulting | ADA-FHA Compliance

28	Proctor Landing
29	Roanoke Landing
30	Roanoke Park
31	Rotary Park
32	Secret Park
33	Slater Park
34	South Fire Station #92
35	South Mercer Playfields
36	Wildwood Park
37	Youth and Family Services Thrift Shop & Recycling Center



Transpo Group
City of Mercer Island, WA
ADA FACILITY SURVEY REPORT

Prepared by: Endelman & Associates PLLC – December 1, 2021

I. OVERVIEW / SCOPE OF SERVICES

Transpo Group contracted with Endelman & Associates PLLC (E&A) to perform an Americans with Disabilities Act (ADA) Survey of vertical elements for public areas of 37 facilities owned by the City of Mercer Island, WA. This ADA Facility Survey Report is an effort to identify observed barriers to program accessibility in the public areas of existing City facilities for compliance with the “program accessibility” requirements of Title II of the ADA.

As per our specific scope of work, E&A did not cite “horizontal elements” such as number of and requirements for parking spaces, access aisles, curb ramp and accessible routes, including stability of surface, level changes, slopes, stairs, ramps, and handrails.

E&A is responsible for citing “vertical elements” (excluding handrails at stairs) including buildings, toilet rooms, benches, drinking fountains, trash, recycling and dog waste receptacles, play areas, bleachers, dugouts, picnic shelters and tables, boardwalks, raised patios, and signage. Accordingly, when an element is located along an unpaved path, E&A cites the element and any clearances required, but not the path itself, which is beyond our scope of work. However, when an element is not located adjacent an accessible pathway, E&A cites clearances and the accessible route from the nearest path (regardless of whether that path is currently paved) up to elements in a given area.

When vertical elements are adjacent to an unpaved path that would be difficult to make readily accessible (such as a grade that is too steep or uneven from roots or large stones), E&A assumes these elements will not be made accessible and does not cite elements on such an inaccessible pathway.

It is important to understand the facilities are one component of City program accessibility, and E&A’s scope of work is limited to facility access only. Additionally, there may be many available programmatic solutions for facility access, such as relocating programs to alternate accessible locations. However, the focus of this report is on removing physical barriers at each facility in order to provide enduring program access.

This ADA Facility Survey was performed to assess observed barriers under the ADA located in areas and facilities accessible to the public. Employee-only (or staff areas) were not assessed or part of E&A’s scope of work. Specifically excluded are assessments of staff-only (employee) areas where the public is not given self-directed access. Under Title I of the ADA, the City must make “reasonable accommodation” to employees with disabilities. However, staff-only areas are beyond E&A’s scope of work. In facilities subject to the ADA the common areas of the employee areas fall under Title II. Corridors, toilet rooms, kitchenettes, and break rooms are considered “common areas” for which Title II is applicable).



E&A is also providing preliminary “Recommended Solutions” to remove each barrier, along with itemized budget costs. Title II of the ADA requires Owners to remove barriers to programs over time to the extent that it is “does not cause an undue burden.” In this report, the “Owner” refers to the City of Mercer Island.

This report does not evaluate whether the facility was constructed in full compliance with the applicable building code accessibility provisions in force at the time of the original permit, or during any subsequent renovations. Note building code accessibility compliance is not enforced retroactively. However, ADA compliance is retroactive and is a civil rights law that presents the biggest exposure from a risk management perspective. It is important to note that in obtaining a building permit for any areas to be renovated for ADA compliance, there may be some more stringent dimensional aspects under the current building Code that would also apply.

This survey does not address “auxiliary aids” or operational issues ensuring that people with disabilities are not denied equivalent services, such as provision of interpreters or braille printed material.

The field ADA Facility Surveys for the properties were conducted using proven ADA Survey instruments and calibrated measurement tools. Collected data was reviewed and analyzed, and recommended preliminary solutions were developed and are presented in this ADA Facility Survey Report. We used E&A’s custom Survey Solutions™ software database to generate the ADA Survey Results section. The field ADA Surveys were performed during June, July, and August 2021.

Please see Section III, ADA Survey Report, for details and format. Each item in the ADA Survey Results for each facility that follows this Overview & Executive Summary includes the *2010 ADA Standards for Accessible Design Citation (ADAS)*, the *Observed Barrier, Location, General Priority (PR)*, a *“Sufficiency” Code*, and a *Comments* field per item. (Please see “Survey Legend” in Appendix B for definitions.)

The Report includes captioned photographs of typical or unique conditions.

ADA Survey Standard

This survey is an assessment to determine compliance with ADA using the 2010 ADA Standards. The 2010 ADA Standards for Accessible Design (ADAS), and Regulations under 28 CFR Part 36, were adopted 09/15/10 to replace the original 1991 ADA (with its ADA Accessibility Guidelines [ADAAG] Appendix section revision dated July 1, 1994). Under Title II, there was an 18 month “grace period” which has expired, during which the 1991 Standards or the 2010 ADA Standards (ADAS) may be used. A single standard must be selected in its entirety for ADA compliance of all elements of a facility, and “cherry picking” portions of each is not permitted. The project was surveyed using the new 2010 ADAS in full force effective March 15, 2012.

All facilities built after January 23, 1993 should have been constructed in full compliance with the ADA per the 1991 Standards. Per Title II of the ADA, existing public sector facilities are subject to the continuing obligation to make facilities readily accessible to the extent that is not structurally impracticable.



The new regulations offer “safe harbor” for “elements” that were built or altered between 1992 and 2012 and that conform to the original 1991 ADA Standards. Any such elements that meet the 1991 Standards can remain in place indefinitely until such time as they are physically altered. As an example, light switches installed at 54 inches above the floor in conformance with the old ADAAG may remain in place until they are altered in future remodeling projects, even though the 2010 ADAS require light switches to be installed no higher than 48 inches above the floor.

In some instances, the 2010 ADAS is more stringent, but in other instances, the 2010 ADAS is less stringent than the original ADAAG, and in these cases accessibility can be reduced to the level of the 2010 ADAS. As an example, the location of an accessible toilet centerline in the original ADAAG must be 18” exactly to a side wall. In the 2010 ADAS, the toilet may be between 16” and 18” to the side wall.

There are also 14 new scoping elements that must comply now with the 2010 ADAS that did not appear at all in the original ADAAG. The 14 new scoping areas include some items that apply to these facilities:

(A) Residential facilities and dwelling units (B) Amusement rides, (C) Recreational boating facilities, (D) Exercise machines and equipment, (E) Fishing piers and platforms, (F) Golf facilities, (G) Miniature golf facilities, (H) Play areas, (I) Saunas and Steam rooms, (J) Swimming pools, wading pools, and spas, (K) Shooting facilities with firing positions (L) Miscellaneous - (1) Team or player seating, (2) Accessible route to bowling lanes, (3) Accessible route in court sports facilities.

II. OVERVIEW OF ADA REQUIREMENTS

A. BACKGROUND

The ADA is civil rights legislation designed to extend civil rights protection to persons with disabilities. It is not a building code, although many of the technical requirements in the ADAAG and 2010 ADAS resemble technical standards of a building code. It is primarily administered by the US Department of Justice (USDOJ). A complaint can be filed by any person, and fines and other penalties may be assessed as determined by the USDOJ. In addition, the ADA includes a mechanism for the USDOJ’s approval of local codes to be consistent with the requirements of the ADA.

There are four Titles to the ADA:

Title I Employment – Prohibits discrimination in hiring and requires employers to provide "reasonable accommodation" to disabled individuals with respect to job description and the workplace. Employment accessibility is/was not included in the E&A scope of work and is not part of this report.

Title II Public Services and Transportation – Prohibits state and local governments from discrimination by requiring "program accessibility." Program accessibility can be attained by rescheduling and/or relocating programs to accessible locations or by making physical facility changes, called "structural changes" in the ADA. Program accessibility must be achieved to the extent that it does not cause "an undue burden," a significantly higher



standard than "readily achievable," applicable under Title III, which applies to privately owned "public accommodations." The City Owned Facilities surveyed for this report fall under Title II.

Title III Public Accommodations – Places of public accommodations are required to be made accessible where "it is readily achievable," with a deadline for existing facilities as of January 26, 1992. Title III is applicable to the private sector.

Title IV Telecommunications – Applies to companies providing telephone service to the public. They must offer telecommunications devices for the deaf (TDD'S), or other equipment.

Title II applies to the ADA Surveys of Public Spaces as part of the City's "program."

Under Title II, the ADA requires public entities to remove barriers in their existing programs *to the extent that it does not cause an "undue burden."* In preparing this report, E&A was not provided confidential information on the details of the City's finances and/or annual budgeting. Therefore, it is the responsibility of the City to make the final determination of what constitutes an "undue burden" for the entity of a given year. In addition, the ADA is designed so that accessibility can be achieved over the long term. This means what is not achievable in year one (based on what constitutes an "undue burden") may be achievable at a future point in time.

Because E&A did not survey areas within staff spaces, E&A is not addressing any potential Title I Employee issues that may be required as "reasonable accommodation" to any disabled employees.

B. TECHNICAL REQUIREMENTS / STANDARDS

The ADAS is the current technical accessibility standard applicable when constructing new public accommodation facilities or altering existing facilities. These standards apply retroactively in requiring owners to remove barriers to existing facilities.

When implementing solutions to barrier removal, as an alternative to literally complying with a technical standard cited in 2010 ADAS, the ADA allows for an "equivalent facilitation" to accomplish barrier removal. This is acceptable to the extent that such action provides greater or equal access. For example, a pharmacy may provide a free prescription drug delivery service in lieu of renovating the entry to the pharmacy. However, the Owner should be aware that providing "operational solutions," rather than physical facility solutions, is a less enduring approach to barrier removal and may require continued training, monitoring and enforcement of staff operations.

State and local code requirements apply to buildings constructed or renovated under a building permit. These may also apply if, and when renovations are made to remove barriers. As previously stated, E&A assessed for compliance with the currently enforceable 2010 ADA Standards only. Building code compliance is not applied retroactively, unlike the ADA. Fortunately, ADAS requirements and the current building code are an estimated 95% identical.



In addition, ADA Title II requires that the program of the trail system must be accessible. However, the 2010 ADA Standards do not yet address Developed Outdoor Recreation Areas, such as trail systems, and only detail more typical building and site standards, within property lines. Thus, Title II puts public entities in a difficult position – to make entity programs accessible without standards yet detailing what is compliant. Developed Outdoor Recreation Area standards have been under development for over 20 years with participation from a wide range of stakeholders and are proposed at some future date to be adopted by the Department of Justice as law, thus providing the necessary technical standards.

As of this date, these standards have been adopted by DOJ only for federal lands, and not for other public entities. In absence of any other adopted reasonable standard for trails, E&A recommends the City of Mercer Island use these same standards for technical compliance of the trail and link. No one can then argue whether the most carefully developed and reasonable standards have been applied, despite not being formally adopted for use by the City.

C. GENERAL PRIORITIES UNDER THE ADA

The ADA provides general priorities in 28 CFR Part 36.304(c) as guidance only for barrier removal in public accommodations (Title III). These would also be reasonable to apply to public entity facilities as well to help prioritize program access per Title II. These are not mandatory priorities, but rather, general guidance as to relative importance. As the Owner makes a determination of phasing and implementation priorities for barrier removal, E&A recommends taking the ADA general priorities into account, along with other factors including budget, operational issues, and public usage data. In this report E&A has assigned these ADA general priorities (PR) to each noted barrier for guidance only. As part of a transition plan, it is the City’s responsibility to further prioritize removal of barriers to program based upon finances and program priorities to the extent that it does not cause an “undue financial burden.”

ADA Priorities per 28 CFR Part 36.304(c)	
1	Provision of access to a place of public accommodation from public sidewalks, parking, or public transportation. These measures include installing entrance ramps, widening entrances, and providing accessible parking spaces/signage.
2	Provision of access to those places where goods and services are made available. These measures include revising interior routes, adjusting the layout of tables, providing Braille and raised character building signage, widening interior doors, and installing ramps.
3	Provision of accessible restrooms, such as removal of obstructing items on the route to the restroom, widening of restroom doors, widening of toilet stalls, provision of accessible plumbing fixtures, and installation of grab bars.
4	Making other modifications to provide access to the goods, services, facilities, privileges, advantages, or accommodations, such as accessible public phones and water fountains.



III. ADA FACILITY SURVEY REPORT OVERVIEW

A. REPORT CONTENTS AND FORMAT

This report is based upon field observations of barriers, as defined by the currently enforceable 2010 ADA Standards (28 CFR Part 35). The complete report for each facility includes the following:

1. The *Overview / Executive Summary* includes the essential *Assumptions* sections
2. The *Appendix* includes an *ADA Survey Results Legend* and *Abbreviation List*
3. The *ADA Survey Results* is the detailed report of the barriers observed at each facility, with citations, and comments on ADA compliance. Please reference the *ADA Survey Results Legend* for more information on reading the report.
4. The *Captioned Photo Pages* is provided for each facility for illustrative purposes. Photos are not intended as comprehensive documentation.

All Report data is being provided in electronic format, either on our customer accessed web-based version of the Survey Solutions database or exportable to MS Excel, for the Owner to use in managing a barrier removal program.

B. ASSUMPTIONS & CONSIDERATIONS

This report divides Assumptions and Considerations into three categories: *Facility*, *General*, and *Technical*.

Facility Assumptions

These assumptions are specific to this Transpo Group / City of Mercer Island project.

1. *Public Use* – E&A treated the term “public” to mean facilities used by “other than City employees only.” This may include City residents, school groups, vendors, and other similar outside users.
2. *Operations and Program Information* – E&A was provided with limited program information concerning facility operations. Solutions for barrier removal were developed based upon our observations of existing conditions and the program information provided.
3. *Department Office Spaces* – This ADA Facility Survey Report addresses public program areas of facilities. In a typical administrative office, this might include a public information counter and/or a conference room (spaces where the public may be directed unescorted). E&A did *not* survey staff areas unless noted herein. If the public is allowed into these areas, the assumption is that the public would only do so in an escorted manner, where any assistance (such as an inaccessible door knob) could be provided by the person escorting. Title I of the ADA covers employee issues, and the city needs to make reasonable accommodations to employees with disabilities, on a personal basis, not a prescriptive standard.
4. *Properties Surveyed* – The list of properties surveyed was selected by the City.



5. *Public Rights-of-Way* – The surveys by E&A did not include the public right-of-way sidewalks and curb ramps. Public right-of-way sidewalks and curb ramps are part of the City’s program but are beyond the scope of this survey and report. Refer to the Transpo report for these areas. Note that final technical standards for public rights-of-way have not been issued by the Access Board or adopted by DOJ at this time. The Proposed standards (commonly called PROWAG) are in draft form only and should be used only for guidance. ADAS is recommended for use as a reasonable standard to the extent technically feasible, and E&A used this standard in our survey.
6. *Park Facilities* – Note that technical standards for outdoor developed public recreation areas have not been issued by the Access Board or adopted by DOJ at this time. Specifically excluded from this survey are outdoor trails. Vertical elements that are provided within these areas were only assessed if applicable for height and clear floor space. ADAS is recommended as a reasonable standard to the extent technically feasible, and E&A used this standard in our survey for accessible routes in developed areas of the park. For undeveloped areas of the park where trails exist, we recommend using the outdoor recreation standard as described above.
7. *City Policies for Equivalent Facilitation* – E&A is not aware of any formal or informal policies currently used in facilities to provide an equivalent facilitation. E&A recommends all such operational policies be formally adopted in writing, and signage be posted in a conspicuous location to allow customers to note such available equivalent services
8. *E&A Recommended Solutions* – The solutions proposed in our survey are recommendations based upon survey observations and our experience, and do not reflect any design study. There may be alternative compliant solutions. For some items, E&A indicated “further design study required” where the solution requires detailed study, or where there is no obvious solution. In retrofits, accessibility must be provided to the maximum extent technically feasible. Proposed solutions also may not take into account notable aesthetic considerations which could modify or increase the cost of implementing the solution in an acceptable way.
9. *Door Maneuvering Space* – E&A’s report uses the term “level” for door maneuvering space, clear floor space, and landings at ramps. In this context “level” means having a slope in all directions no more than 2% (1:48) per ADAS requirements, which is a slope of 1/4” per foot. This is considered level per ADAS.
10. *Plumbing Fixture Counts* – E&A did not perform an analysis of plumbing code requirements to determine if the minimum number of plumbing fixtures is provided in each room or space.
11. *Owner Items* – Some recommendations indicate “Owner Items” and carry no cost for removal. Since the City maintains in-house forces that may be responsible for general building maintenance and small projects, it will be more cost efficient to have City staff address these relatively minor issues.
12. *Public Areas versus Staff Areas* – Only public areas were surveyed for purposes of identifying and correcting barriers as part of this survey. Staff work areas would be included as part of a reasonable accommodation per Title I of the ADA.

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13. *Vehicle Charging Stations* – There are currently no enforceable standards for charging stations. E&A recommends that where provided, an accessible route from the building entry be provided to the charging stations. This is to include a 60” access aisle on one side that will give access to the charger. E&A also recommends having the operable control within the required reach range.
14. *Specific Facility Assumptions* – Refer to below for specific assumptions and for specific horizontal elements not surveyed as part of E&A’s scope of work.

Although E&A did not cite existing routes, E&A did cite required accessible routes where no route currently exists, such as routes to picnic tables, benches, trash receptacles, dog waste stations, beaches or play areas located in lawns or other areas with no discernable pathways leading to the elements.

E&A did not cite vertical elements for accessible parking along the street if street parking was not clearly indicated at the property.

At Luther Burbank Park, the Pea Patch did not appear to be clearly divided between individual users by easily discernable modules or areas. Accordingly, E&A only cited required accessible route the full length of the Pea Patch from south to north in the center (where clearance between patches appears widest).

At Luther Burbank Administration Building, a new elevator shaft is cited as required to provide an accessible route between floors. This requirement could potentially be satisfied (for program access) by reallocation of all programs onto the ground floor connected by accessible routes from accessible entrances.

General Assumptions

1. *Operations and Program Information* – E&A was provided limited general information concerning facility operations. The report was developed based upon E&A’s observations of existing conditions and programmatic information provided. The facilities were surveyed, and solutions derived based upon the current use as observed.
2. *ADAS Amendments* – The 2010 ADA Standards may be periodically amended by The Access Board and adopted by DOJ. The ADA Facility Survey Report and citations applied were based upon the ADAS currently enforceable by USDOJ at the time of conducting the field survey. Amendments issued in the Federal Register as adopted by the Department of Justice subsequent to the issuance of the report may affect future barrier removal plans.
3. *“Undue Burden” and Barrier Removal* – The Public Entity is solely responsible for determining when program accessibility does not cause an undue burden based upon the Owner’s current finances. Generally, where the Consultant has made a recommendation to not remove a barrier at the present time, it is only if the cost appeared extremely high *and* only if minor increased accessibility would be achieved as a result of this removal. Such recommendations should be reviewed by the Owner at intervals over time, as finances may change.



4. *Reasonable Accommodation to Employees* – Under the ADA Title I, staff areas of existing facilities need not be changed unless an employee (or potential employee) with a disability requests a reasonable accommodation be provided. Note that actual accommodations required by an individual with a disability will depend upon their specific needs. Also note that if currently designated “staff” areas were changed into designated “public” areas in the future, it may require removing additional barriers to satisfy ADA requirements for public use.
5. *Building Code* – The 2018 IBC / ICC A117.1 - 2009 with local amendments may be applicable when securing a building permit for renovations requiring such a permit. There may be some deviations from ADAS in dimensional requirements for accessibility, which should be verified prior to construction. E&A has attempted to take these into account in our recommended solutions.
6. *Code Required Accessibility Expenditures* – Alteration projects completely distinct from an ADA project may trigger the building code “percentage of cost for path of travel compliance” rules. These regulations require that a portion of the total money spent on renovation be spent to improve the accessibility of the building. Therefore, it would be prudent to evaluate the long-term facility uses and renovation plans prior to implementing ADA barrier removal, to perform work most cost effectively.
7. *No Testing of Hidden Conditions or Alarms* – Barrier removal solutions were based upon field observations of existing conditions. No testing, review of construction documents, or review of building codes was undertaken as part of this ADA Facility Survey Report. For example, grab bar reinforcing within walls was not verified by E&A to be present or tested by E&A to assure the reinforcing meets the required loads for safety. E&A did no testing of alarm systems for compliance with technical standards in ADAAG.
8. *Risk Management* – The ADA is a complex law. It contains many concepts and terms which have not been tested by actual experience or defined in the courts with respect to particular factual situations. Accordingly, E&A makes no claim, expressed or implied, that, in preparing this limited verification ADA Facility Survey Report, all barriers (to all individuals with disabilities) have been identified whose removal might be required by the ADA.
9. *Fixtures, Furniture and Equipment* – Estimated costs are budgetary only and do not include moveable fixtures, furniture, and equipment (FF&E), unless specifically noted in the Matrix.
10. *Preliminary Solutions* – Some recommended solutions are very preliminary in nature and require more detailed design study and code verification to confirm feasibility and costs. The solutions are intended to provide scoping for a designer to provide construction documents for implementation. These are generally noted in the Facility Survey data as “further design study required.”
11. *Owner Items* – Some recommendations indicate “Owner Items” and carry no cost for removal. Since the Owner maintains in-house forces that may be responsible for general building maintenance and small projects, it will be more cost efficient to have the Owner’s staff address these relatively minor issues.



The Owner is solely responsible for non-discrimination under the ADA and other applicable laws, and civil lawsuits under the ADA (frivolous or otherwise) remain possible regardless of the number or types of barriers, if any, that are removed.

E&A's recommendations should be reviewed by the Owner's legal counsel and risk management and compliance personnel. The modification work required to comply with the ADA varies according to many factors among which are the financial resources of the Owner and significance and/or severity of the barriers. The Owner's decisions regarding the scope of work to perform should be based upon the professional advice of the noted parties, along with input from the disabled community or representatives, whenever possible.

Technical Assumptions

1. *Slip Resistance* – ADAS Section 302 requires that both floors on accessible routes and floors within accessible room areas are to be slip resistant. While OSHA has considered a static coefficient of friction of 0.5 to be slip resistant, the Access Board recommends a coefficient of 0.6. Ramps require a higher slip resistance of 0.8.

There is more than one testing methodology, and the results of the different tests are not interchangeable. Tests are for dry surfaces, and do not take wet surfaces into account.

The Owner should be aware that some VCT (vinyl composition tile) and sheet vinyl floors commonly used may not have 0.6 coefficients of friction; therefore, would not be considered slip resistant under the new standard. Generally, stone, tile, wood, and vinyl floors with specified "polished" finishes are likely to not meet the slip resistant coefficient. Polishes and contaminants further exacerbate the situation, suggesting a maintenance program. Floors in wet areas, such as restrooms, are made more slippery by water and soaps. E&A recommends that detailed product information for new installations be carefully reviewed to ensure compliance. More discussion is available from the Access Board in "Technical Bulletin: Ground and Floor Surfaces" (available online at www.access-board.gov).

The Owner's cleaning and maintenance program should be reviewed in the context of slip resistance.

For the playground areas and other park features that use Engineered Wood Fiber (EWF), verify if EWF meets ASTM F 1951. Ground surfaces must be inspected and maintained regularly and frequently to ensure continued compliance with the ASTM F 1951-99 standard.

Floors and surfaces were neither tested nor specifically cited in the ADA Facility Survey Report as this testing is not included in E&A's scope of work, nor is it our technical expertise.

2. *Dimensional Tolerances* – Section 104.1.1 of the ADAS states all dimensions are subject to conventional building industry tolerances for field conditions, "except where the requirement is stated as a range with specific minimum and maximum end points."



Although many studies have been performed to determine what acceptable dimensional tolerances are, there are relatively few widely accepted tolerances. It should be noted that in the case of new construction, design documents can often lead to dimensions that exceed ADAS maximums and minimums, such as a ramp that is designed with a 1:12 slope. The contractor may construct the ramp with a slight field tolerance which results in a ramp that slightly exceeds the 1:12 slope, which is actually the maximum slope allowed by ADAS, not a desired slope. Therefore, design documents should specify maximums and minimums where applicable and also allow for field tolerances.

USDOJ's position and as specified in Section 104.1.1 of the 2010 ADAS states where a range of dimensions is cited as allowable, there is no tolerance above or below that range, because the range is the tolerance. As an example, for a ramp with a slope range greater than 5% and less than 8.33%, 8.5% would not be considered an allowable construction tolerance.

3. *Door Closers* – ADAS does not have a requirement for opening pressure for exterior hinged doors. It has been E&A's experience that existing door closers can only be adjusted to within approximately 3 - 5 lbs. of their current operating force. Accordingly, E&A may recommend replacement of door closers, as opposed to simple adjustment, where the opening pressure exceeds 8 lbs. Although the ADA does not contain a requirement for exterior doors, it has been E&A's experience that building code requirements for exterior doors is extremely necessary for many individuals to enter a building.
4. *Level Door Maneuvering Clearances / Landing* – E&A may use the term "level" for door maneuvering clearances, ramps, and landings. In this context "level" means having a slope in all directions no more than 2% (1:48) per ADAS requirements, which is a slope of 1/4" per foot.

C. BUDGET COST ASSUMPTIONS

The budget costs included in the ADA Facility Survey Report are concept level costs that are provided only to assist the Owner with establishing budgets to remove physical barriers in public accommodation areas, subject to the assumptions in this Executive Summary.

*The costs in the Survey Report are **budget** costs, **not** an estimate of probable cost, subject to the following conditions:*

Budget costs INCLUDE:

- Costs for direct material, labor, and equipment; without general contractor mark-ups for overhead and profit, general conditions, or sales tax
- Costs are based upon costs typical for the region of the facilities at the time of survey. Please refer to indexes such as the Means Construction Index to reflect changing costs over time
- Costs based upon typical costs for labor and materials for each item, given moderate quantities for typical construction types



*The following are some specific budget items **not included** in the budget costs which the Owner should consider in project budgeting, **in addition to** the costs summarized in this report.*

Budget costs DO NOT INCLUDE:

- General Contractor overhead, profit, and general conditions
- Construction Management, if used
- Design and project management fees
- Inflation factors when phasing construction over time
- Contingency for unforeseen existing conditions
- Premiums due to construction in occupied and heavily used spaces
- Premium for any potential overactive bid climate and potential high volatility and unpredictability reported for certain materials such as lumber and steel
- Potential asbestos abatement, lead paint abatement, or other environmental impact costs that may arise during accessibility renovation work
- Alternate costs that may be included in comment field, not in budget cost field
- High levels of fit, finish and detail that may be desired on an aesthetic basis
- Contingency due to future changes in the accessibility laws and codes
- Permit fees
- Sales tax
- Any in-house costs allocated to projects

D. REMOVING BARRIERS TO FACILITIES - Using This ADA Survey Report

It is important to understand that the ADA Facility Survey Report represents preliminary solutions and costs for physical facility modifications to remove barriers, as if the building were to be constructed to new compliant standards, and that it is NOT automatically necessary to remove barriers to facilities by making all these expenditures. There are also some limitations due to structural or technical infeasibility (as specifically defined in the law).

As outlined above in the requirements for Public Sector entities under Title II of the ADA, there are many ways to remove barriers to the City's programs, and program accessibility includes far more than the facility survey that is E&A scope of work under our contract.

To implement the survey information in this report, there are some important concepts to consider.

- The ADA requires that public entities perform a "Self-Assessment" and a "Transition Plan" (implementation plan). The Self-Assessment is the list of barriers. Because this ADA Facility Survey Report includes recommended solutions and itemized costs, the detailed portion of a Transition Plan is completed. The missing piece is the overview planning and prioritization and matching the needs to annual budgets. It is the City's responsibility to perform this part of the Transition Plan.



- This report provides physical facility solution to remove barriers, and such solutions are enduring solutions.
- There may be other methods to remove barriers in a compliant fashion which may be found as a result of further design study. E&A's recommendations are preliminary, based upon observed conditions and our experience, and are NOT based upon any design work.
- Equivalent facilitation, such as providing the service in a different way, is permitted under the ADA. However, operationally dependent solutions require clear written policies, ongoing monitoring, enforcement, and training of staff, and usually cannot be depended upon to work on a long-term basis.

Alterations

Per Section 202.3 and 202.4 in the ADAS, there are some aspects worth highlighting.

- **202.3.1 Prohibited Reduction in Access** – An *alteration* that decreases or has the effect of decreasing *accessibility* of a *building* or *facility* below the requirements for new construction at the time of *alteration* is prohibited.
- **202.3.2 Extent of Application** – An *alteration* of an existing *element*, *space*, or area of a *building* or *facility* shall not impose a requirement for *accessibility* greater than required for new construction.
- **202.4 Alterations Affecting Primary Function Areas** – In addition to the requirements of 202.3, an *alteration* that affects or could affect the usability of or access to an area containing a primary function shall be made so as to ensure that, to the maximum extent feasible, the path of travel to the *altered* area, including the rest rooms, telephones, and drinking fountains serving the *altered* area, are readily *accessible* to and usable by individuals with disabilities, unless such *alterations* are disproportionate to the overall *alterations* in terms of cost and scope as determined under criteria established by the Attorney General. In existing transportation *facilities*, an area of primary function shall be as defined under regulations published by the Secretary of the Department of Transportation or the Attorney General.

IV. EXECUTIVE ACCESSIBILITY SUMMARY

ADA Surveys – Public Spaces

E&A contracted with Transpo Group to perform an ADA Facility Survey of vertical elements in public areas of 37 facilities owned by the City of Mercer Island to assess observed barriers under Title II of the ADA using the 2010 ADA Standards (ADAS) currently enforceable by the US Dept. of Justice as a technical standard. A review of accessibility issues per applicable building code was NOT part of E&A's scope of work. Review of accessibility within staff only areas was NOT part of E&A's scope of work. However, E&A's proposed preliminary solutions do attempt to consider some more stringent building code dimensional requirements, where clearly applicable.

Under the ADA, the public entities need to remove barriers to programs to the extent that it "does not cause an undue burden" over time. All new construction after January 26, 1993 should have been constructed in compliance with 1991 Standards (1994 ADAAG). Please reference essential Assumptions in Section III - B above.



As previously stated, the ADA Facility Survey Report represents preliminary solutions and costs for physical facility modifications to remove barriers, as if the building were to be constructed to new compliant standards, and it is NOT automatically necessary to remove barriers to programs by making all these expenditures.

The total cost to remove all barriers to the facilities using facility modifications per the detailed reports is: \$1,303,577 subject to all the budget assumptions above. Again, this is not what it is likely to cost for full barrier removal if other operational solutions are applied where possible.

Some items that have the “general appearance or symbols of accessibility” are not compliant with the ADA standards.

Administrative spaces were viewed from the perspective of the limited areas that the public can use unaccompanied by staff. These areas are often essential interface points for public service.

Where appropriate, the City may relocate and reschedule programs to alternate accessible locations, or rethink how some services are provided. A transition plan, matching the findings to annual budgets, and an overall strategy for removal of barriers to programs must be completed.

E&A based recommendations on somewhat limited input from representatives on the sites and the City’s published information, which may not be a complete understanding of the operation. Again, the City’s judgment needs to be applied during implementation. It should be noted that there is virtually no such thing as a perfectly compliant new facility, and E&A did find some issues in the newest City facilities.

Finally, E&A recommends that the appropriate people from City departments take some time to digest the wealth of detail to understand the large picture of their operations and facility issues. The standards are not simple and implementing barrier removal should be a considered action.

E&A is providing the survey data in electronic format, with client access to our web based custom ADA Survey Solutions™ software, for Transpo Group to use in managing the process.

Endelman & Associates PLLC has been pleased to work with Transpo Group and will remain available to work with you as your future needs may require.



Overview of Findings

The following are “snapshots” of the significant issues and extent of non-compliance in the surveyed facilities. These are not intended to be complete summaries. Please see the ADA Facility Survey Report for detailed information on each facility.

77th Avenue SE Landing

An accessible route from the park entry to amenities is not provided.

Aubrey Davis Park

Bleachers at baseball diamonds require some location adjustment to provide wheelchair spaces together with companion seats (aligned with the front row) at the ends of the bleachers. Bleacher locations shall ensure accessible routes are provided in front and along sides. Signage is required for wheelchair seat areas.

Baseball team dugouts require gate openings of 32” min. width, with an 18” min. width at the gate maneuvering space on the pull side.

The play area adjacent to Feroglia Fields requires a compliant ramp.

Restrooms require some adjustment of fixture locations as well as replacement of grab bars (which are too short), and relocation of dispensers encroaching on grab bar clearances and mirrors mounted at non-compliant heights.

Bicentennial Park

Restrooms require compliant signage, including Braille. Restroom door closers require adjustment to minimize force required to open.

Restrooms require some adjustment of fixture locations and heights, and stall partition sizes. New grab bars are required. Dispensers require relocation within accessible reach ranges. The mirror in the Men’s restroom is mounted at a non-compliant height. Men’s restroom floor has an excessive slope.

Boat Launch

The slope of the existing gangway to the floating boat launch pier is too steep.

Revise life jacket hook heights to provide one of each type at an accessible height.

Calkins Landing

An accessible route is required from the end of the sidewalk (at the picnic table) to the beach area.

The beach is accessed by stairs only. A ramp may be required.

Clarke Beach

Restrooms and changing rooms are substantially non-accessible.



Clise Park

No vertical elements were observed requiring attention.

Community and Events Center

The Game Room and Landing Room have multiple tables and seating areas, none of which provide accessible work surfaces with compliant knee and toe space below.

The meeting rooms on the entry level have countertops with sinks exceeding the 34" max. accessible height and no knee and toe space below for a forward approach.

The Slater Room is used for public functions and has a unisex restroom with 2 toilet compartments with solid walls extending to the floor. The depth of the accessible toilet compartment is too small unless toe clearance 9" high is provided.

Deane's Children's Park

Play areas require ramps at the entries.

The restroom entry requires new exterior surface to provide a compliant door maneuvering clearance. Restroom signage is non-compliant. The restroom requires revised rear wall behind the toilet and replacement of grab bars. The toilet and lavatory are not accessible. The mirror and baby changing station are mounted too high.

Ellis Pond

The park has no paved accessible route to amenities.

The edge of the boardwalk has an excessive vertical rise (1-1/2" high).

First Hill Park

The play area is surrounded by a raised wooden border, which must be altered to provide an accessible route.

Forest Landing

No accessible route is provided to the water's edge.

Franklin Landing

The park has no paved accessible route (but a flagstone path) to the water's edge.

Fruitland Landing

A gravel path is provided thru the park toward the water's edge.

Garfield Landing

The park has no paved accessible route to the water's edge.



Groveland Beach

An accessible route is lacking to restrooms, the beach, volleyball court, and the pier. Restrooms and changing rooms are substantially non-accessible.

Homestead Park

Bleachers at baseball diamonds require some location adjustment to provide wheelchair spaces together with companion seats (aligned with the front row) at the ends of the bleachers, and to ensure accessible routes are provided in front and along the side. Signage is also required for wheelchair seat areas. Dugouts lack an accessible route and a clear floor space on one side of bench for a wheelchair space.

An accessible route is lacking to tennis courts and ballfields.

Restroom signage is non-compliant. Grab bars are too short and mounted at the wrong height. Toilet paper dispensers are mounted too close to the grab bars. Accessible toilets in restrooms are too far from the side wall. Seat cover dispensers require relocation to an accessible location.

Island Crest Park

Bleachers at baseball diamonds require some location adjustment to provide wheelchair spaces together with companion seats (aligned with the front row) at the ends of the bleachers, and to ensure accessible routes are provided in front and along the side. Signage is also required for wheelchair seat areas.

Baseball team dugouts require a wheelchair space at the end of the team bench.

An accessible route to the tennis court would require a ramp.

Signage at restroom entries is non-compliant in location, lettering, and braille. Restroom entry doors lack the required door maneuvering clearances on the push side. The accessible stall in each restroom is too narrow and the toilet seat heights are too low. Men's accessible toilet requires flush control relocation to the open side of the toilet. Accessible lavatories do not have compliant knee spaces. Toilet paper dispensers encroach on grab bar clearances. Seat cover dispensers, mirrors, coat hooks, and soap dispensers require relocation due to non-compliant heights and locations. Restrooms also serve as dressing rooms, and the provided benches are non-compliant.

Lincoln Landing

The landing has a paved walk that terminates in the lawn area without extending to the water's edge.

Luther Burbank Park

The amphitheater requires wheelchair accessible seating areas (together with companion seating) on an accessible route from adjacent paths. Signs are required at each space. An accessible route is also required to the stage area.

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Service counter at guard station (at swimming area near Picnic Area C) is too high. A portion of the counter shall be lowered for accessibility.

Gates at the dog parks require a level paved maneuvering space on each side of the gate. Paved door maneuvering space outside the Women's restroom door (near tennis courts) has an excessive slope.

Restrooms require some adjustment of fixture locations as well as replacement of grab bars (which are too short), relocation of dispensers encroaching on grab bar clearances, mirrors mounted too high, and pipes below lavatories lacking insulation. Restrooms by the old boiler room and near Picnic Area C are substantially non-accessible and require renovation.

Tennis courts lack an accessible route to the courts. A ramp could be provided from the north seating area.

The roof above the restrooms (by the tennis courts) is not accessible. A wheelchair lift is required, or access to this roof top could be eliminated as a public amenity.

The designated accessible dock for boat slips has an excessive slope.

Luther Burbank Park Administration Building & Caretaking Facility

The north entry door is recessed deeper than 8" permitted for door maneuvering clearance. A power operator with backup power is required to preserve historic door frame.

The south entry door is designated as an accessible entry, but the door is recessed 34", while a max. 8" recess is permitted into the door maneuvering space. A min. 18" clearance beyond the door latch is required on the pull side (only 6" is provided). The external slab has an excessive slope, and the vision panel is too high. Consider designating this door as exit only.

The building has 3 stories, with only an interior stairway. An elevator is required to provide an accessible route connecting all levels.

The second floor restroom is too small to provide turning space and fixture clearances.

Door maneuvering space at the first floor restroom door is encroached on by significant protrusion of grab bar due to non-compliant configuration of toilet side wall. Side wall and door frame should be reconfigured, and grab bars installed with compliant lengths and clearances. Flush control shall be on the open side of the toilet. Shelf / mirror combination and coat hook are not at compliant heights.

Main Fire Station #91

The service counter has a clear floor space, but the curved configuration prevents a strictly parallel approach.

The high level drinking fountain is on the open side, protruding into the path of travel.

Public meeting room has a dividing partition, separating it into two rooms. Each room's wet bar has a sink that is approximately 2" too high.



Both public restrooms are substantially non-compliant and require renovation.

Maintenance Hall

Door hardware at the upper level administration entry is above accessible reach range.

The kitchen countertop is too high for public use. The range has non-accessible controls on the rear panel. The sink and a work surface (directly adjacent the oven) must have knee and toe space below for a forward approach when a range is provided.

The accessible entry is on the upper level, leading to the administrative areas. An accessible route is required to the restrooms and locker rooms downstairs.

Mercer Island City Hall

Exterior slab in front of the main entry doors to City Hall has an excessive slope.

Restrooms near the Licensing Department are substantially non-compliant. Accessible signage is not provided. No wheelchair accessible toilet stalls are provided. Knee and toe space are not provided at the lavatory in the Women's restroom. Multiple urinals are provided at Men's restrooms, but none are designated as accessible.

Entry doors for all restrooms swing in, and do not provide the min. 18" wide door maneuvering space on the pull side.

Courtroom has raised area for jurors and witnesses that are accessed by stairs only. Ramps cannot be installed due to insufficient space. Wheelchair lifts may be required.

The Council Room has raised seating areas for the public, with no wheelchair space adjacent to a companion seat. The speaker podium requires an accessible forward approach.

The police lobby has call buttons, telephone, and countertops higher than accessible reach.

Mercerdale Park

Ramps in play areas have excessive slopes and lack compliant handrails on both sides.

Accessible routes are required through the wooden borders to some exercise stations and to the information plaque at the sculpture.

Miller Landing

The change in level from the roadway down to the water's edge is very steep, and the property is narrow. Providing an accessible route may cause an "undue burden."

Signage should be provided, indicating that the landing is not accessible.

Pioneer Park

No specific items. See Typical for Multiple Properties below.



Proctor Landing

There is a 9" step down to the pier. An accessible ramp with handrails is required.

Roanoke Landing

No specific items. See Typical for Multiple Properties below.

Roanoke Park

No specific items. See Typical for Multiple Properties below.

Rotary Park

No specific items. See Typical for Multiple Properties below.

Secret Park

The entry to the play area requires a ramp.

Slater Park

No specific items. See Typical for Multiple Properties below.

South Fire Station #92

AED cabinet by the front entry door is mounted too high. Controls should be 48" max. and bottom edge of cabinet (protruding more than 4" from wall) should be 27" max. above the paving.

The lavatory in the restroom is mounted too high and encroaches on both the door maneuvering space and toilet clearance. The toilet is installed at a skewed angle and too far from the wall. Grab bars are mounted too high.

South Mercer Playfields

Bleachers at baseball diamonds require some location adjustment to provide wheelchair spaces together with companion seats (aligned with the front row) at the ends of the bleachers. Bleacher locations shall ensure accessible routes are provided in front and along sides. Signage is required for wheelchair seat areas.

A hose bib is located in the knee space of the low level drinking fountain.

The play area requires a compliant ramp at the entry.

Men's and Women's restroom floors have an excessive slope.

Accessible toilet stalls are too small, and stall entry doors are required to be self-closing. Toilets in these stalls require excessive force to flush. Some dispensers encroach on grab bar clearances. others are mounted too high or beyond accessible reach ranges. Sink faucets require excessive force to operate.

Restroom doors require compliant signage. Restroom doors require removal of hold open devices to provide a clear 10" bottom surface on the push side.



Wildwood Park

No specific items. See Typical for Multiple Properties below.

Youth and Family Services Thrift Shop & Recycling Center

The exit door on the south side of the building has an exterior column blocking the door maneuvering clearance. The exit door on the east side of the building lacks a paved exterior surface for the door maneuvering clearance.

The check-out counter lacks an accessible version.

The work table encroaches on the door maneuvering clearance for the door exiting the Workroom.

The sink in the Workroom is too high and requires knee and toe space below for a forward approach.

The dining table in the second floor kitchen lacks an accessible seat with knee and toe clearance. The countertop is too high for an accessible reach to outlets on the back wall. The kitchen lacks 50% accessible storage. 5% of the provided lockers are required to be accessible.

At least one dressing room is required to provide a turning space and a bench.

Grab bars in the ground floor restroom are too short on the side wall. The seat cover dispenser is not accessible above the toilet. The lavatory does not provide the required knee space.

Provide directional signage to the accessible restroom on the second floor. The accessible restroom signage is too high. Grab bars are mounted too high. The toilet flush control is on the wrong side. The mirror is too high.

Typical for Multiple Properties

At properties with accessible parking stalls, some accessible stalls have signage that is too low and needs to be raised to compliant heights.

Where picnic tables are provided in parks, 5% of total seating at picnic tables is required to be accessible seating (with forward approach clear floor space below) and dispersed between each picnic area.

Where benches are provided, recommendation is that some benches have an adjacent clear floor space at one end of the bench. (Although dispersed seating is not clearly scoped in ADAS, this recommendation complies with the principle of equal access to all features and elements.)

Drinking fountains in various areas of multiple parks tend to be singular and/or mounted at non-compliant heights. Drinking fountains where provided should have a minimum of two, serving both wheelchair users and standing persons.

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All play areas require compliant ground surfaces, which must be periodically inspected and maintained. (No cost was included pending testing of surface materials.)

Accessible routes are required to accessible versions of all elements, including picnic tables, bike racks, benches, BBQ grills, and trash receptacles.

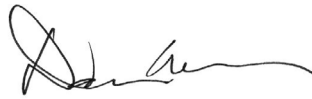
Please see the ADA Facility Survey Report results for details of these and other items not discussed above. Total budget cost to address all the issues as defined, subject to assumptions herein, is included at the end of the ADA Facility Survey Report.

Please call E&A if you require any clarifications on this report.

Respectfully Submitted,



Jody L. Meldrum
Consultant



David Machemer
Senior Consultant



Bart Sanderson, CASp
Associate, Technical Director

Transpo-Proj07-CityofMercerIsland-ADASurvey-ExecSumFINAL



APPENDIX

Included in the Appendix are the following items:

A. Abbreviations

B. Legend for the ADA Survey Results Report



Appendix A – Abbreviations

General: These are common abbreviations that may be used in the ADA Facility Survey Report.

@	At	LL	Lower Level
AC	Asphalt Paving	LBS	Pounds Force
ACCESS	Accessible	LS (or LSum)	Lump Sum
ADA	Americans with Disabilities Act	MAX	Maximum
ADAAG	ADA Accessibility Guidelines	MIN	Minimum
ADAS	The ADA Standards for Accessible Design - 2010	MEZZ	Mezzanine
AFF	Above Finished Floor	N	North
AHJ	Authority Having Jurisdiction	PH	Phone
AMBU	Ambulatory Stall	P	Public
ANSI	American National Standards Institute, Inc.	POS	Point of Sale
APPROX	Approximately	PR	Priority
BBQ	Barbecue	PUB	Public
BLDG	Building	RM	Room
BSMT	Basement	RR	Restroom
CBC	2013 California Building Code	S	South
COMM'L	Commercial	S	Staff
CONC	Concrete	SF	Square Feet
CONF	Conference	SAN NAPKIN	Sanitary Napkin
CORR	Corridor	STR	Stair
CT	Court (Tennis, etc.)	T	Toilet
E	East	TYP	Typical
EA	Each	W	West
ELEV	Elevator	WF	Water Fountain
EXT	Exterior		
EWF	Engineered Wood Fiber		
FLR or FL	Floor		
INT	Interior		
LEV	Level		
LF	Lineal Feet		



Appendix B – Legend for the ADA Facility Survey Report

This Legend is essential to assist in properly interpreting the recommendations for facility accessibility solutions to program barriers in the report.

Building ID (Client): The facility location may be followed by an ID# using any Client provided numbers or abbreviations.

Barrier (#xxx): This item describes the observed barrier (or potential barrier) to the disabled. (Numbers are used for report cross referencing use only)

ADA Citation: This item identifies the section of the 2010 ADA Standards for Accessible Design (ADAS) referenced for each barrier.

Location: This is the area where the barrier was observed. Where appropriate, items may be grouped and shown with multiple quantities.

Recommendation (Proposed Solution): This column describes the solution proposed to remove or reduce the potential barrier identified, compliant with the ADA standards current at the time of survey. Sometimes there may be alternate solutions. Some solutions may require further design study.

Comments: This column is used to clarify the existing condition and the ADA requirement or further clarify the Recommendation shown.

Type (S/P): This column provides an indication of the area in which the barrier was observed. E&A's scope of work is solely public accommodation areas (excluding tenant spaces), and excludes Staff areas. **S** indicates that it is in a **Staff** area; **P** indicates a **Public Accommodation** area, and therefore subject to Title II. Under Title I, work in a staff area would not technically be required to be performed until a person with a disability employed in this area requires reasonable accommodation, except for provision of an accessible route to staff areas.

Responsibility (Resp.): This column indicates whether the issue is the responsibility of the Owner ("O"). "P" indicates it is for a public entity, such as for public sidewalks. "T" indicates it is a tenant responsibility.

Code: Each recommended solution is given a compliance sufficiency code, numbered from 1 to 8. The sufficiency code further qualifies the level of compliance achieved by, or other major aspect of, the recommended solution. The meanings are as follows:

- 1 When the proposed solution is implemented this barrier will be removed and will be, in our opinion, in compliance with the requirements of the Americans with Disabilities Act's current ADA Standards.

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- 2 Complete compliance with the requirements of the ADA will not be provided. It is either “technically infeasible,” or (for the public sector), the solution would appear to be an “undue burden” per ADA Standards for public entities. Therefore, the Consultants have recommended that no changes be made at this time. Strict adherence with the ADA would in E&A’s opinion carry an unreasonable cost (to be solely determined by the Owner) or be technically infeasible. In enforcement, the USDOJ would consider the Owner’s financial capability, among other ADA criteria.
- 3 The solution appears to be the responsibility of another entity such as a tenant or other entity, who we recommend be notified of the barrier.
- 4 The condition identified technically does not meet the requirements of the ADA. However, in our professional opinion, the deviation is minor enough or within construction tolerances that correction of it would not likely significantly increase the degree of accessibility of the condition. For that reason, no modification beyond what is described in the Recommendation column is proposed, but sufficiency is not indicated as fully compliant.
- 5 Because complete compliance appears to be technically infeasible or extremely difficult due to the existing building configuration, the proposed alternative means (or policy implementation) has been proposed. While this recommended solution provides less than complete physical compliance, it may constitute a reasonable course of action for this situation that improves the condition.
- 6 Delay implementation of solution pending final approval by law.
- 7 The subject item is not accessible, but it is not required to be, based upon an exemption in the law. It may, however, be a program issue that requires some action.
- 8 The subject item meets the 1991 ADA guidelines, so is therefore “grandfathered” and need not meet the 2010 ADAS until it is physically altered.

PRI (ADA Guidance Priority): For general guidance only, the recommended solution is given an ADA general priority coding of 1, 2, 3, or 4. These codes correspond to the barrier removal categories provided for general guidance for public accommodations in the *Regulation on Nondiscrimination on the Basis of Disability by Public Accommodations and in Commercial Facilities* (reference 28 CFR Part 36.304(c)). Upon completion of the Survey, the Owner may establish implementation priorities in detail based upon criteria such as the law, operational needs, funding, and long-range planning.

- 1 Provision of access to a place of public accommodation from public sidewalks, parking, or public transportation. These measures include installing entrance ramps, widening entrances, and providing accessible parking spaces / signage.
- 2 Provision of access to those places where goods and services are made available. These measures include revising interior routes, adjusting the layout of tables, providing Braille and raised character building signage, widening interior doors, and installing ramps.



- 3 Provision of accessible restrooms, such as removal of obstructing items on the route to the restroom, widening of restroom doors, widening of toilet stalls, provision of accessible plumbing fixtures, and installation of grab bars.
- 4 Making other modifications to provide access to the goods, services, facilities, privileges, advantages, or accommodations, such as accessible public phones and water fountains.

Qty / Units: The quantity includes the unit of measure applicable to the Recommended Solution, and to the Budget Cost immediately following.

Budget (Budget Cost): This column provides a budgetary opinion of approximate construction cost per item, based only upon descriptive scope, not a completed design. This is not a cost estimate. Design fees, management costs, sales tax, internal costs, General Contractor overhead and profit, escalation, and other items are not included in these figures. Allowances are shown when further design study is required. *All costs for implementation are not included in these costs. Therefore, please see Budget Cost Assumptions section and Facility Assumptions sub-section in the Overview for details.*

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For City of Mercer Island for Transpo
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Alarms								
Barrier	562	The fire alarm pull station is mounted too high (48" max.), lacks clear floor space, or the model type requires twisting or gripping to operate.	Citation	2010 ADA Stds. 308.3				
ITEM 1: DAYCARE BUILDING	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	If altered, per 2010 Standards, the item should be below 48" AFF. Many building codes are more stringent and have a max. 48" reach for any approach, which should be applied. Existing condition: Classrooms 2 & 3 have fire pull stations mounted at 50" AFF.	P	O	8	2	2 EA	\$0
ITEM 2: LOWER LEVEL - GYMNASIUM	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	If altered, per 2010 Standards, the item should be below 48" AFF. Many building codes are more stringent and have a max. 48" reach for any approach, which should be applied. Existing 3 pull stations are mounted between 50" and 51" AFF.	P	O	8	2	3 EA	\$0

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Built In Elements									
Barrier	482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.	Citation	2010 ADA Stds. 902.1, 226, 226.2					
ITEM 3: DAYCARE CENTER - EXTERIOR AREA	Provide the indicated number of tables with tops no more than 34" AFF, and with 27" high, 30" wide, 8" deep knee space, and 17" deep toe space.	Exception: Fixed or built-in seating or tables used primarily by children ages 12 and younger may be from 26" min. to 30" max. AFF. Existing picnic tables do not provide an accessible seating area with compliant knee & toe space.	P	O	1	2	1	EA	\$2,500
ITEM 4: GAME ROOM 105	Provide the indicated number of tables with tops no more than 34" AFF, and with 27" high, 30" wide, 8" deep knee space, and 17" deep toe space.	Existing tables providing seating do not provide an accessible seating area.	P	O	1	2	1	EA	\$1,320
ITEM 5: LANDING ROOM 106	Provide the indicated number of tables with tops no more than 34" AFF, and with 27" high, 30" wide, 8" deep knee space, and 17" deep toe space.	Existing tables providing seating do not provide an accessible seating area.	P	O	1	2	1	EA	\$1,320

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Doors								
Barrier	612	The door lacks the required maneuvering space, or the maneuvering space is not level.	Citation	2010 ADA Stds. 404.2.4				
ITEM 6: DAYCARE BUILDING - CLASSROOM 2	Relocate the furniture or movable object that is encroaching into door maneuvering space.	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). Provide clear floor space min. 60" perpendicular to door for front/pull side approach and 48" perpendicular to door for front or side/push side approach (latch & closer). See additional Dimensions for other approaches in 404.2.4.1. Existing condition: Entry door has cabinetry blocking the required 12" width at the door's push side.	P	O	1	2	1 EA	\$0
ITEM 7: DAYCARE BUILDING - CLASSROOM 4	Relocate the furniture or movable object that is encroaching into door maneuvering space.	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). Provide clear floor space min. 60" perpendicular to door for front/pull side approach and 48" perpendicular to door for front or side/push side approach (latch & closer). See additional Dimensions for other approaches in 404.2.4.1. Existing condition: Entry door has cabinetry blocking the required 12" width at the door's push side.	P	O	1	2	1 EA	\$0
ITEM 8: ENTRY LOBBY LEVEL - MERCER ROOM 107, DOOR TO LANDING ROOM 106	Relocate the door / frame to provide door maneuvering space, recessed 8" max. on either side. An alternate solution would be to remove the closer if allowed by Fire Code.	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). Provide clear floor space min. 60" perpendicular to door for front / pull side approach and 48" perpendicular to door for front or side / push side approach (latch & closer). Doors are allowed to be recessed 8" max. from the face of door to face of wall surface. See additional Dimensions for other approaches in 404.2.4.1. Existing door has a closer and latch, therefore 12" width is required on the push side. Door is recessed 11" deep.	P	O	1	2	1 EA	\$1,100

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Doors									
ITEM 9: LOWER LEVEL - GYMNASIUM, NORTHEAST EXTERIOR ENTRY	Add new portion of exterior surface (at door approach).	Provide clear floor space min. 60" perpendicular to door for front/pull side approach. Existing condition: Door maneuvering clearance on exterior concrete surface measured 3% slope.	P	O	1	2	30	SF	\$1,515
ITEM 10: SLATER ROOM - EXTERIOR ENTRY	Secure movable area rug or mat with double stick tape at all edges.	Existing condition: Loose rubber mat at inside area.	P	O	1	1	1	EA	\$0
Barrier	619	The door requires excessive force to operate, or the door closes too quickly.	Citation	2010 ADA Stds. 404.2.8, 404.2.9					
ITEM 11: SLATER ROOM - EXTERIOR ENTRY	Adjust the exterior door closer to meet min. required force.	Fire doors may meet min. allowable by code, usually 15 lbs. force. Verify with local building codes for min. allowable force for exterior and fire doors. Door closers and gate closers shall be adjusted so that from an open position of 90 degrees, the time required to move the door to a position of 12 degrees from the latch is 5 secs. min. Existing door requires a 13 lbs. force to open.	P	O	1	1	1	EA	\$150
Barrier	622	The existing door does not have a smooth surface a minimum of 10" from the floor or exterior surface or the kick plate installed is not capped.	Citation	2010 ADA Stds. 404.2.10					
ITEM 12: ENTRY LOBBY LEVEL - ENTRY TO MERCER 107	Recommend no change.	If altered, per 2010 Standards, existing doors would be required to have a kickplate the full width of the door and up to 10" AFF.	P	O	1	1	2	1 STY	\$0
ITEM 13: ENTRY LOBBY LEVEL - RESTROOM DOORS	Recommend no change.	If altered, per 2010 Standards, existing doors would be required to have a kickplate the full width of the door and up to 10" AFF.	P	O	1	1	2	1 STY	\$0

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Doors								
ITEM 14: GAME ROOM - ENTRY OFF LOBBY	Recommend no change.	If altered, per 2010 Standards, existing doors would be required to have a kickplate the full width of the door and up to 10" AFF.	P	O	1	1	1 STY	\$0
ITEM 15: LOWER LEVEL - GYMNASIUM	Recommend no change.	If altered, per 2010 Standards, existing doors would be required to have a kickplate the full width of the door and up to 10" AFF.	P	O	1	2	1 STY	\$0
ITEM 16: LOWER LEVEL - GYMNASIUM, DOORS TO THE EXTERIOR	Recommend no change.	If altered, per 2010 Standards, existing doors would be required to have a kickplate the full width of the door and up to 10" AFF.	P	O	1	6	1 STY	\$0
ITEM 17: MERCER ROOM 107 - ALUM. / GLASS ENTRY DOORS	Recommend no change.	If altered, per 2010 Standards, existing doors would be required to have a kickplate the full width of the door and up to 10" AFF.	P	O	1	4	1 STY	\$0
ITEM 18: SLATER ROOM - EXTERIOR ENTRY	Recommend no change.	If altered, per 2010 Standards, existing doors would be required to have a kickplate the full width of the door and up to 10" AFF.	P	O	1	1	1 STY	\$0
ITEM 19: SLATER ROOM - RESTROOM DOORS	Recommend no change.	If altered, per 2010 Standards, existing doors would be required to have a kickplate the full width of the door and up to 10" AFF.	P	O	1	2	1 STY	\$0
ITEM 20: SLATER ROOM - RESTROOM ENTRY	Recommend no change.	If altered, per 2010 Standards, existing doors would be required to have a kickplate the full width of the door and up to 10" AFF.	P	O	1	1	1 STY	\$0

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Dressing Rooms, Fitting Room, Locker Room								
Barrier	760	The accessible dressing or fitting room lacks a 42" min. long x 20" to 24" deep bench mounted between 17" and 19" high, or lacks 30"x48" clear floor space at the end of the bench, or lacks an accessible back support.	Citation	2010 ADA Stds. 222, 903				
ITEM 21: FAMILY RESTROOM	Decommission the single user bathroom and provide a cased opening into the space. Remove the toilet and lavatory and create a compliant changing room accessible only through the Family RR. Provide a new 20" to 24" deep x 42" long bench at 17" to 19" height affixed to a wall or with accessible back support in an accessible location within the adjacent Single user bathroom. This will provide 30" x 48" clear floor space to the side of the bench.	The bench lacks the required dimensions.	P	O	1	2	1 EA	\$6,110
ITEM 22: LOWER LEVEL - MEN'S RESTROOM, SHOWER / LOCKER ROOM	Provide a new 20" to 24" deep x 42" long bench at 17" to 19" height affixed to a wall or with accessible back support in an accessible location within the dressing room.	If the bench is not affixed to a wall, then a back support the length of the bench (42" min.), 18" high min. shall be provided. Existing condition: 2 moveable benches with no back support are provided.	P	O	1	2	1 EA	\$1,110
ITEM 23: LOWER LEVEL - WOMEN'S RESTROOM, SHOWER / LOCKER ROOM	Provide a new 20" to 24" deep x 42" long bench at 17" to 19" height affixed to a wall or with accessible back support in an accessible location within the dressing room.	If the bench is not affixed to a wall, then a back support the length of the bench (42" min.), 18" high min. shall be provided. Existing condition: 2 moveable benches with no back support are provided.	P	O	1	2	1 EA	\$1,110

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Drinking Fountains								
Barrier	7380	The standing person water fountain is a protruding object.						
			Citation	2010 ADA Stds. 602.7				
ITEM 24: LOWER LEVEL - HALLWAY	Provide a cane detection device less than 27" AFF. Typically, the drinking fountain manufacturer has skirts that can be installed on the bottom of the fountains to bring the surface down to 27" or below.	Existing drinking fountain has the high standing person fountain located on the open side, within the path of travel. Note that existing play equipment is located adjacent to the low fountain. The bottom of the low fountain is 28" AFF, which would present a protruding object hazard if play equipment is moved.	P	O	1	1	EA	\$530
Barrier	753	The water fountain lacks a min. 27" high knee clearance for a front approach OR is too high, creating a protruding object.						
			Citation	2010 ADA Stds. 602.2,307				
ITEM 25: LOWER LEVEL - FITNESS ROOM 2	Provide an additional accessible water fountain with required knee space.	The knee space is required to be 30" wide, 27" high, and at least 17" deep. Where there is one per floor, one must be wheelchair accessible, and those with difficulty bending should be accommodated by use of a hi-lo or other means (such as a paper cup dispenser). Where more than one per floor, 50% must be wheelchair accessible. Existing drinking fountain is a single fountain with spout at 39" (height for standing person fountain). Note that existing trash containers located adjacent to this protruding object block the protruding object hazard.	P	O	1	4	EA	\$6,990
ITEM 26: LOWER LEVEL - GYMNASIUM	Provide an additional accessible water fountain with required knee space.	The knee space is required to be 30" wide, 27" high, and at least 17" deep. Where there is one per floor, one must be wheelchair accessible, and those with difficulty bending should be accommodated by use of a hi-lo or other means (such as a paper cup dispenser). Where more than one per floor, 50% must be wheelchair accessible. Existing drinking fountain does not provide a knee space, and spout exceeds 36" AFF (39" spout height provided, which is height for standing person fountain).	P	O	1	4	EA	\$6,990

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Drinking Fountains								
ITEM 27: MAIN LOBBY - ADJACENT TO VENDING MACHINES	The fountain is a protruding object. Lower the fountain (or provide a skirt) to 27" exactly where it will not be a protruding object and meet knee space requirements. Another option is to provide a non-movable object adjacent to this fountain, while maintaining a min. of 30" wide forward approach, centered on the fountain.	Existing drinking fountain is a hi-low model. However, the lower fountain is in the path of travel and has a bottom surface at 28" AFF.	P	O	1	4	1	EA \$2,440

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	37314	The ground surface may not meet ASTM F 1951 or ASTM F 1292 for resilience and accessible route.	Citation	2010 ADA Stds. 302.1				
ITEM 28: LOWER LEVEL - NORTH ENTRY	Provide new 48" wide concrete walk to replace gravel walk.	Existing condition: The north entry door (leading to the entry vestibule) has an auto-door opener button, but no accessible route to the opener.	P	O	1	2	5	LF \$360
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 29: EXTERIOR ENTRY PLAZA	Provide 44" min. wide (per Code) concrete paving to the indicated amenities.	Existing bike racks lack an adjacent clear floor space.	P	O	1	2	4	LF \$230

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Interior Accessible Routes								
Barrier	642	The accessible route measures less than 36" wide, or is reduced to less than 32" wide for a length of more than 24".	Citation	2010 ADA Stds. 403.5.1				
ITEM 30: DAYCARE BUILDING - CLASSROOM 1, STORAGE ROOM ON SOUTH SIDE	Move furniture and miscellaneous items to widen the route.	Room has storage items placed in the center, forming an island with clearances of 23" - 34" max. between island and adjacent wall mounted shelving and misc. items.	P	O	1	2	1	EA \$0
Barrier	648	The object exceeds 48" high for an unobstructed side or front approach OR for obstructed approach exceeds 46" high x 24" depth on a 34" countertop OR is placed on a countertop exceeding 34" in height and is not flush with the countertop edge.	Citation	2010 ADA Stds. 308				
ITEM 31: DAYCARE BUILDING	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	If altered, per 2010 Standards, the item should be below 48" AFF. Existing condition: multiple light switches are mounted at 54" AFF.	P	O	8	2	8	EA \$0
ITEM 32: DAYCARE BUILDING - CLASSROOM 1, ACCESSIBLE PUBLIC RESTROOM	Provide another of the same feature at an accessible level at 48" max.	The item should be below 48" AFF. Existing clothes hooks are mounted at 70" AFF.	P	O	1	2	1	EA \$390
ITEM 33: DAYCARE BUILDING - CLASSROOM 1, KITCHENETTE	Wall mounted outlets and switches require extenders to place their faces within 24" of the front edge of the countertop, and must not exceed 46" AFF. Verify quantity.	Existing condition: Kitchen countertop measures 25" deep, and is 32" high. Due to objects located on countertop, outlets and switches could not be observed.	P	O	1	2	1	EA \$190

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Interior Accessible Routes								
ITEM 34: DAYCARE BUILDING - CLASSROOM 2, KITCHENETTE	Relocate outlets and switches to the face of the base cabinets.	Existing wall mounted above countertop outlets are mounted above a 34-1/2" high countertop that is 25-1/2" deep.	P	O	1	2	3 EA	\$570
ITEM 35: DAYCARE BUILDING - CLASSROOM 3, KITCHENETTE	Wall mounted outlets and switches require extenders to place their faces within 24" of the front edge of the countertop, and must not exceed 46" AFF. Verify quantity.	Existing condition: Kitchen countertop measures 25-1/2" deep, and is 34" high. Due to objects located on countertop - outlets and switches could not be observed.	P	O	1	2	1 EA	\$190
ITEM 36: DAYCARE BUILDING - CLASSROOM 4, KITCHENETTE	Wall mounted outlets and switches require extenders to place their faces within 24" of the front edge of the countertop, and must not exceed 46" AFF. Verify quantity.	Existing condition: Kitchen countertop measures 24-1/2" deep, and is 34" high. Due to objects located on countertop, outlets and switches could not be observed.	P	O	1	2	1 EA	\$190
ITEM 37: ENTRY LOBBY LEVEL - MERCER ROOM 107	Provide outlets and switches on the front face of the base cabinets, or relocate to a side wall location.	If the reach is over an obstruction, the obstruction (countertop in this case) is limited to 34" height and 10" max. high reach depth for 48" high reach. For reach depths 10" to 24" deep, the height is limited to 46". Existing condition: This room has folding divider walls, which divides the space into 3 separate areas. Each area has a 36" high x 25" deep countertop. Outlets and switches on the rear wall (above countertop) will not be accessible for a side reach.	P	O	1	2	3 EA	\$9,600
ITEM 38: LOWER LEVEL - DANCE ROOM 1	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	If altered, per 2010 Standards, the item should be below 48" AFF. Existing light switches are mounted at 49" AFF.	P	O	8	2	2 EA	\$0

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Interior Accessible Routes								
ITEM 39: LOWER LEVEL - FITNESS ROOM 2	Provide another of the same feature at an accessible level at 48" max.	The item should be below 48" AFF. Existing clothes hooks are mounted at 70" AFF.	P	O	1	2	1 EA	\$390
ITEM 40: LOWER LEVEL - GYMNASIUM	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	If altered, per 2010 Standards, the item should be below 48" AFF. Existing light switches are mounted at 50" AFF.	P	O	8	2	3 EA	\$0
ITEM 41: LOWER LEVEL - WOMEN'S RESTROOM	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	If altered, per 2010 Standards, the item should be below 48" AFF. Existing light switches are mounted at 48-1/2" AFF.	P	O	8	2	1 EA	\$0
ITEM 42: SLATER ROOM - KITCHENETTE	Provide another of the same feature at an accessible level at 48" max.	Paper towel and soap dispensers are mounted above a 35-1/2" high countertop.	P	O	1	2	2 EA	\$780
Barrier	654 The object is a protruding object, which projects more than 4" into the accessible route with its leading edge between 27" and 80" high (making it not cane detectable).	Citation 2010 ADA Stds. 307.2, 204						
ITEM 43: DAYCARE BUILDING - CLASSROOM 1, ACCESSIBLE PUBLIC RESTROOM	Remove wall mounted cabinets, as they are located in the required clear floor space for the toilet.	An object may not protrude more than 4" into an accessible path if its leading edge is between 27" and 80" AFF. The vertical clearance of an obstruction may be 27" max. or 80" min. AFF. Existing condition: Restroom has 2 sets of wall mounted cabinets with bottom edge at 53" AFF, protruding 13" from the wall.	P	O	1	2	1 EA	\$0

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Interior Accessible Routes								
ITEM 44: LOWER LEVEL - STAIR HANDRAIL	Extend the leading edge of the object down to 27" AFF (or below).	An object may not protrude more than 4" into an accessible path if its leading edge is between 27" and 80" AFF. If the object is post mounted it may protrude 12" max. The vertical clearance of an obstruction may be 27" max. or 80" min. AFF. Exception: Handrails may protrude 4-1/2" max. Existing condition: Handrail protrudes 5-1/4" at 33-1/2" AFF.	P	O	1	2	1 EA	\$108
Barrier	656 The controls / operating mechanisms require twisting, pinching, or gripping to operate, require in excess of 5 lbs. force, are not within compliant reach range, or lack 30"x48" clear floor space.		Citation	2010 ADA Stds. 205, 308, 309				
ITEM 45: SLATER ROOM - KITCHENETTE	Relocate the countertop outlets and switches to the front face of the base cabinets.	Countertop depths per ADAS are limited to 24" max. in depth and 34" max. in height to allow for an accessible reach range. In E&A's experience, typically base cabinets are 24" deep with an additional 1" - 1-1/2" countertop overhang for which none comply. The 2009 edition of the ICC ANSI (not applicable) addresses this overlooked item and allows for 25-1/2" deep countertop in regards to over counter outlets. Existing countertop is 35-1/2" AFF with a 25" deep reach to wall mounted outlets and switches that are 45-1/2" AFF.	P	O	1	1	4 EA	\$760

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LOCATION	RECOMMENDATION	COMMENTS	CITATION	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Kitchens - Lounges									
Barrier	531	The kitchen sink exceeds 34" high, lacks 30" wide knee space if a range or cooktop is provided, or has inaccessible hardware.	Citation	2010 ADA Stds.	804.4				
ITEM 46: SLATER ROOM - KITCHENETTE	Lower the sink to be 34" max.	Existing kitchenette has a sink in a 35-1/2" high countertop.		P	O	1	2	1	EA \$2,100
Barrier	532	The kitchen lacks the 50% of storage at an accessible level of 15" min. to 48" max.	Citation	2010 ADA Stds.	804.5				
ITEM 47: DAYCARE BUILDING - CLASSROOM 1	Modify cabinets to provide the required 50%.	Existing upper cabinets are mounted at 56" to top of bottom shelf.		P	O	1	2	1	EA \$530
ITEM 48: DAYCARE BUILDING - CLASSROOM 2	Modify cabinets to provide the required 50%.	Existing upper cabinets are mounted at 58" to top of bottom shelf.		P	O	1	2	1	EA \$530
ITEM 49: DAYCARE BUILDING - CLASSROOM 3	Modify cabinets to provide the required 50%.	Existing upper cabinets are mounted at 56" to top of bottom shelf.		P	O	1	2	1	EA \$530
ITEM 50: DAYCARE BUILDING - CLASSROOM 4	Modify cabinets to provide the required 50%.	Existing upper cabinets are mounted at 58" to top of bottom shelf.		P	O	1	2	1	EA \$530

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Kitchens - Lounges								
Barrier	533	The dishwasher, range, oven, refrigerator or other appliance lacks the required 30"x48" clear floor space or has controls that are not compliant.	Citation	2010 ADA Stds. 804.6				
ITEM 51: SLATER ROOM - KITCHENETTE	Relocate the microwave to an accessible location with all controls within a 48" reach range.	Existing kitchenette has a microwave mounted in upper cabinets.	P	O	1	2	1	EA \$0

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Play Areas

Barrier	37310	The ground surface may not meet ASTM F 1951 or ASTM F 1292 for resilience and accessible route.						
			Citation	2010 ADA Stds. 1008.2.6				

ITEM 52: DAYCARE BUILDING - EXTERIOR PLAY AREA, EAST SIDE	Adopt a policy to maintain and inspect the ground surfaces to ensure compliance with ASTM F 1951 and ASTM F 1292 for Use Zones.	1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1).	P	O	1	2	1	EA	\$0
ITEM 53: DAYCARE BUILDING - EXTERIOR PLAY AREA, NORTH SIDE	Adopt a policy to maintain and inspect the ground surfaces to ensure compliance with ASTM F 1951 and ASTM F 1292 for Use Zones.	1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1).	P	O	1	2	1	EA	\$0

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET	
Play Areas										
ITEM 54: LAWN AREA - EXTERIOR PLAY AREA, NORTH OF GYMNASIUM	Adopt a policy to maintain and inspect the ground surfaces to ensure compliance with ASTM F 1951 and ASTM F 1292 for Use Zones.	1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1).	P	O		1	2	1	EA	\$0

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Restrooms / Bathrooms								
Barrier	671	The accessible toilet stall lacks the min. required dimensions, or the accessible water closet lacks the min. required 60" wide clear floor space.	Citation	2010 ADA Stds. 604, 213				
ITEM 55: FAMILY RESTROOM		Remove the lavatory vanity and provide a wall hung lavatory (less than 20" wide) to provide min. 60" width between lavatory and toilet side wall.		P	O	1	3	1 EA \$1,975
		Existing clearance measures 47-1/2". 2010 Standards requirements for standard stalls: Min. 60" wide x 56" long (at wall mounted toilet), or min. 60" wide x 59" long (at floor mounted toilet). ADA requirements for clear floor space at water closets: Min. 60" wide x min. 56" long (both approaches).						
Barrier	672	The accessible stall lacks the min. 9" high toe clearance required in the front partition and at least one side partition.	Citation	2010 ADA Stds. 604.8.1.4				
ITEM 56: SLATER ROOM - RESTROOM, ACCESSIBLE TOILET COMPARTMENT		Remove the wall in front of the toilet (with door) and replace with toilet compartment partition that provides 9" high toe space.		P	O	1	3	1 EA \$1,000
		Stalls deeper than 62" for wall mounted toilets or 65" for floor mounted toilets do not require toe space in the front partition. Stalls wider than 66" do not require toe space at the side partition. Existing toilet compartment (room) is 58" deep with walls that extend down to the floor.						
Barrier	675	The stall door swing encroaches on clear floor space within stall, or the door is not located on the wide side of the stall, or the door is more than 4" from side panel.	Citation	2010 ADA Stds. 604.8.1.2				
ITEM 57: ENTRY LOBBY LEVEL - MEN'S RESTROOM, ACCESSIBLE TOILET STALL		Revise the front stall partition to relocate the door to the wide side of the stall with a 4" max. hinge side panel.		P	O	1	3	1 EA \$1,640
		The door to the accessible stall is required to be the open side of the stall to provide door maneuvering space on the inside of the stall. Existing toilet stall has door located 20" from the side partition panel.						

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Restrooms / Bathrooms								
ITEM 58: ENTRY LOBBY LEVEL - WOMEN'S RESTROOM, ACCESSIBLE TOILET STALL	Revise the front stall partition to relocate the door to the wide side of the stall with a 4" max. hinge side panel.	The door to the accessible stall is required to be the open side of the stall to provide door maneuvering space on the inside of the stall. Existing toilet stall has door located 20" from the side partition panel.	P	O	1	3	1 EA	\$1,640
Barrier	677	The coat hook exceeds 48" high for a front or side approach or the shelves are not mounted 40" min. and 48" max. AFF.	Citation	2010 ADA Stds. 603.4, 308				
ITEM 59: ENTRY LOBBY LEVEL - WOMEN'S RESTROOM, ACCESSIBLE TOILET STALL	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 standards.	If altered, per 2010 Standards, the item should be below 48" AFF. Many building codes are more stringent and have a max. 48" reach for any approach, which should be applied. Existing hook is mounted at 49" AFF.	P	O	8	2	1 EA	\$0
ITEM 60: ENTRY LOBBY LEVEL - WOMEN'S RESTROOM, ACCESSIBLE TOILET STALL	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 standards.	If altered, per 2010 Standards, the item should be below 48" AFF. Many building codes are more stringent and have a max. 48" reach for any approach, which should be applied. Existing shelf is mounted with top surface at 38" AFF.	P	O	8	2	1 EA	\$0
Barrier	678	The toilet is not 16" - 18" dimension from centerline of toilet to side wall.	Citation	2010 ADA Stds. 604.2				
ITEM 61: DAYCARE BUILDING - CLASSROOM 1, ACCESSIBLE PUBLIC RESTROOM	Relocate the toilet fixture to measure 16" - 18" from centerline of toilet to side wall using an offset flange.	Existing toilet has centerline of toilet to the side wall measuring 18-1/2".	P	O	1	3	1 EA	\$230
ITEM 62: ENTRY LOBBY LEVEL - MEN'S RESTROOM, ACCESSIBLE TOILET STALL	Relocate the toilet fixture to measure 16" - 18" from centerline of toilet to side wall using an offset flange.	Existing accessible toilet stall has centerline of toilet to the side wall measuring 19-1/2".	P	O	1	3	1 EA	\$230

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Restrooms / Bathrooms								
Barrier	678	The toilet is not 16" - 18" dimension from centerline of toilet to side wall.	Citation	2010 ADA Stds. 604.2				
ITEM 63: ENTRY LOBBY LEVEL - WOMEN'S RESTROOM, ACCESSIBLE TOILET STALL	Relocate the toilet fixture to measure 16" - 18" from centerline of toilet to side wall using an offset flange.	Existing accessible toilet stall has centerline of toilet to the side wall measuring 18-1/2".	P	O	1	3	1 EA	\$230
ITEM 64: FAMILY RESTROOM	Relocate the wall hung toilet to be 16" - 18" from centerline to side wall by revising plumbing. Repair wall finish.	The toilet measures 18-1/2". Note: The toilet may be considered an architectural component of a building for which when altered, must be brought into full compliance with the 2010 Standards. If toilet has less than 60" wide clearance, then modifications will need to be made to comply.	P	O	1	3	1 EA	\$960
ITEM 65: LOWER LEVEL - MEN'S RESTROOM, ACCESSIBLE TOILET STALL	Relocate the toilet fixture to measure 16" - 18" from centerline of toilet to side wall using an offset flange.	Existing accessible toilet stall has centerline of toilet to the side wall measuring 19".	P	O	1	3	1 EA	\$230
ITEM 66: LOWER LEVEL - WOMEN'S RESTROOM, ACCESSIBLE TOILET STALL	Relocate the toilet fixture to measure 16" - 18" from centerline of toilet to side wall using an offset flange.	Existing accessible toilet stall has centerline of toilet to the side wall measuring 18-3/4".	P	O	1	3	1 EA	\$230
ITEM 67: SLATER ROOM - RESTROOM, ACCESSIBLE TOILET COMPARTMENT	Relocate the toilet fixture to measure 16" - 18" from centerline of toilet to side wall using an offset flange.	Existing accessible toilet compartment (the one closest to the lavatory) has centerline of toilet to the side wall measuring 18-1/2".	P	O	1	3	1 EA	\$230

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Restrooms / Bathrooms								
Barrier	679	The toilet seat height is not between 17" and 19" high.	Citation	2010 ADA Stds. 604.4, 604.9				
ITEM 68: DAYCARE BUILDING - CLASSROOM 1, ACCESSIBLE PUBLIC RESTROOM	Recommend no change. This restroom is used primarily by children ages 12 and under.	Seat shall not be sprung to return to a lifted position. Exception: Water closets used primarily by children ages 12 and under shall be 11" min. to 17" max. high and there are no seat requirements if single occupant private office toilet. Existing condition: Top of seat measured 16-3/4" AFF.	P	O	4	3	1 EA	\$0
Barrier	681	The existing grab bars are non-compliant in size, configuration, or mounting height.	Citation	2010 ADA Stds. Fig. 604.5.2, 609.2, 604.9				
ITEM 69: DAYCARE BUILDING - CLASSROOM 1, ACCESSIBLE PUBLIC RESTROOM	Replace with new grab bars.	Grab bars should be 1-1/4" - 2" in diameter, 33" - 36" AFF, with 1-1/2" min. between the wall and the grab bar. Circular cross section - outside diameter 1-1/4" min. - 2" max. Non-circular cross section - perimeter of 4" min. - 4.8" max. Horizontal projections shall be 1-1/2" min. below bottom of rail. [2010 Standards: Rear grab bar min. 24" long from centerline of toilet at transfer side; allows 1-1/4" - 2" cross section and non-circular shapes; allows alternate children's use height.] Existing L-shaped grab bar extends 18" from toilet center to the transfer side.	P	O	1	3	1 EA	\$1,300
ITEM 70: ENTRY LOBBY LEVEL - MEN'S RESTROOM, ACCESSIBLE TOILET STALL	Replace with new grab bars. Mount at compliant height.	Grab bars should be 1-1/4" - 2" in diameter, 33" - 36" AFF, with 1-1/2" min. between the wall and the grab bar. Circular cross section - outside diameter 1-1/4" min. - 2" max. Non-circular cross section - perimeter of 4" min. - 4.8" max. Horizontal projections shall be 1-1/2" min. below bottom of rail. [2010 Standards: Rear grab bar min. 24" long from centerline of toilet at transfer side; allows 1-1/4" - 2" cross section and non-circular shapes; allows alternate children's use height.] Existing L-shaped grab bar extends 18" from toilet center to the transfer side, and is mounted 36-3/4" AFF to top.	P	O	1	3	1 EA	\$1,300

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
ITEM 71: ENTRY LOBBY LEVEL - WOMEN'S RESTROOM, ACCESSIBLE TOILET STALL	Replace with new grab bars.	Grab bars should be 1-1/4" - 2" in diameter, 33" - 36" AFF, with 1-1/2" min. between the wall and the grab bar. Circular cross section - outside diameter 1-1/4" min. - 2" max. Non-circular cross section - perimeter of 4" min. - 4.8" max. Horizontal projections shall be 1-1/2" min. below bottom of rail. [2010 Standards: Rear grab bar min. 24" long from centerline of toilet at transfer side; allows 1-1/4" - 2" cross section and non-circular shapes; allows alternate children's use height.] Existing L-shaped grab bar extends 18" from toilet center to the transfer side.	P	O	1	3	1 EA	\$1,300
ITEM 72: LOWER LEVEL - MEN'S RESTROOM, ACCESSIBLE TOILET STALL	Replace with new grab bars.	Grab bars should be 1-1/4" - 2" in diameter, 33" - 36" AFF, with 1-1/2" min. between the wall and the grab bar. Circular cross section - outside diameter 1-1/4" min. - 2" max. Non-circular cross section - perimeter of 4" min. - 4.8" max. Horizontal projections shall be 1-1/2" min. below bottom of rail. [2010 Standards: Rear grab bar min. 24" long from centerline of toilet at transfer side; allows 1-1/4" - 2" cross section and non-circular shapes; allows alternate children's use height.] Existing L-shaped grab bar extends 18" from toilet center to the transfer side. Also, top of grab bars are 36-3/4" AFF. 33" - 36" AFF required.	P	O	1	3	1 EA	\$1,300

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
ITEM 73: LOWER LEVEL - WOMEN'S RESTROOM, ACCESSIBLE TOILET STALL	Replace with new grab bars.	Grab bars should be 1-1/4" - 2" in diameter, 33" to 36" AFF, with 1-1/2" min. between the wall and the grab bar. Circular cross section - outside diameter 1-1/4" min. - 2" max. Non-circular cross section - perimeter of 4" min. - 4.8" max. Horizontal projections shall be 1-1/2" min. below bottom of rail. [2010 Standards: Rear grab bar min. 24" long from centerline of toilet at transfer side; allows 1-1/4" - 2" cross section and non-circular shapes; allows alternate children's use height.] Existing L-shaped grab bar extends 18" from toilet center to the transfer side. Also, top of grab bars are 37" AFF. 33" - 36" AFF required.	P	O	1	3	1 EA	\$1,300
ITEM 74: SLATER ROOM - ACCESSIBLE TOILET COMPARTMENT	Replace with new grab bars.	Grab bars should be 1-1/4" - 2" in diameter, 33" - 36" AFF, with 1-1/2" min. between the wall and the grab bar. Circular cross section - outside diameter 1-1/4" min. - 2" max. Non-circular cross section - perimeter of 4" min. - 4.8" max. Horizontal projections shall be 1-1/2" min. below bottom of rail. [2010 Standards: Rear grab bar min. 24" long from centerline of toilet at transfer side; allows 1-1/4" - 2" cross section and non-circular shapes; allows alternate children's use height.] Existing L-shaped grab bar extends 18" from toilet center to the transfer side.	P	O	1	3	1 EA	\$1,300
Barrier	683	The toilet paper dispenser is not mounted 7" - 9" in front of the toilet edge measured to the center of the fixture, or min. 15" to max. 48" high OR is located less than 12" above the grab bar or less than 1-1/2" below the grab bar.	Citation 2010 ADA Stds. 604.7					
ITEM 75: DAYCARE BUILDING - CLASSROOM 1, ACCESSIBLE PUBLIC RESTROOM	Recommend no change until the element is renovated as it meet 1991 Standards for a dispenser to be 36" from rear wall to far side of dispenser.		P	O	5	3	1 EA	\$0

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	683	The toilet paper dispenser is not mounted 7" - 9" in front of the toilet edge measured to the center of the fixture, or min. 15" to max. 48" high OR is located less than 12" above the grab bar or less than 1-1/2" below the grab bar.	Citation	2010 ADA Stds. 604.7				
ITEM 76: ENTRY LOBBY LEVEL - MEN'S RESTROOM, ACCESSIBLE TOILET STALL	Recommend no change until the element is renovated as it meet 1991 Standards for a dispenser to be 36" from rear wall to far side of dispenser.	Toilet paper rolls installed in recessed combination toilet paper and seat cover dispenser encroaches into the 1-1/2" required clearance between the wall and the grab bar (1-1/4" is provided). Also, centerline of toilet paper is 4" from front edge of toilet.	P	O	5	3	1 EA	\$0
ITEM 77: ENTRY LOBBY LEVEL - WOMEN'S RESTROOM, ACCESSIBLE TOILET STALL	Relocate the dispenser. Ensure toilet paper dispenser is 7" - 9" from the front edge of the toilet.	Toilet paper rolls installed in recessed combination toilet paper and seat cover dispenser encroaches into the 1-1/2" required clearance between the wall and the grab bar (1-1/4" is provided). Also, centerline of toilet paper is 11" from front edge of toilet.	P	O	1	3	1 EA	\$0
ITEM 78: LOWER LEVEL - MEN'S RESTROOM, ACCESSIBLE TOILET COMPARTMENT	Recommend no change until the element is renovated as it meet 1991 Standards for a dispenser to be 36" from rear wall to far side of dispenser.	Toilet paper rolls installed in recessed combination toilet paper and seat cover dispenser encroaches into the 1-1/2" required clearance between the wall and the grab bar (1-1/4" is provided). Also, toilet paper dispenser is located 4" behind the front rim of the toilet (7" - 9" in front is required).	P	O	5	3	1 EA	\$0
ITEM 79: LOWER LEVEL - WOMEN'S RESTROOM, ACCESSIBLE TOILET COMPARTMENT	Recommend no change until the element is renovated as it meet 1991 Standards for a dispenser to be 36" from rear wall to far side of dispenser.	Toilet paper rolls installed in recessed combination toilet paper and seat cover dispenser encroaches into the 1-1/2" required clearance between the wall and the grab bar (1-1/4" is provided). Also, toilet paper dispenser is located 4" behind the front rim of the toilet (7" - 9" in front is required).	P	O	5	3	1 EA	\$0
ITEM 80: SLATER ROOM - ACCESSIBLE TOILET COMPARTMENT	Recommend no change until the element is renovated as it meet 1991 Standards for a dispenser to be 36" from rear wall to far side of dispenser.		P	O	5	3	1 EA	\$0

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	687	The lavatory rim exceeds 34" high measured to the rim or countertop, whichever is higher.	Citation	2010 ADA Stds. 606.3				
ITEM 81: ENTRY LOBBY LEVEL - MEN'S RESTROOM	Replace lavatory with an accessible model, flush with 34" high countertop.	Where lavatories are provided at least 1 shall be accessible and not be located in a toilet compartment. Existing countertops are 34" AFF, and provide knee and toe space, but sink rims are 34-1/2" AFF.	P	O	1	3	1 EA	\$2,340
ITEM 82: ENTRY LOBBY LEVEL - WOMEN'S RESTROOM	Replace lavatory with an accessible model, flush with 34" high countertop.	Where lavatories are provided at least 1 shall be accessible and not be located in a toilet compartment. Existing countertops are 34" AFF, and provide knee and toe space, but sink rims are 34-1/2" AFF.	P	O	1	3	1 EA	\$2,340
ITEM 83: SLATER ROOM - RESTROOM	Reduce height of existing lavatory. Ensure 27" min. height knee & toe space is maintained.	Where lavatories are provided at least 1 shall be accessible and not be located in a toilet compartment. Existing restroom has a sink with rim at 35" AFF in a 34-1/2" high countertop.	P	O	1	3	1 EA	\$960
Barrier	688	The lavatory lacks min. 27" high knee space at front edge, extending 8" deep under the lavatory, and/or 30"x48" clear floor space.	Citation	2010 ADA Stds. 606.2				
ITEM 84: FAMILY RESTROOM	Replace the lavatory to provide toilet clearance of 60" min. Refer to Toilet clearance citation for description and cost.	Lavatory exceeds 34" at 34-3/4" AFF.	P	O	1	3	1 EA	\$0

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	693	The indicated object at the restroom is a protruding object, which projects more than 4" into accessible route with its leading edge between 27" and 80" high.	Citation	2010 ADA Stds. 307.2				
ITEM 85: LOWER LEVEL - WOMEN'S RESTROOM, SHOWER / LOCKER ROOM		Place a plant, waste receptacle, or other detectable object beneath the protruding object.	An object may not protrude more than 4" into an accessible path if its leading edge is between 27" and 80" AFF. Existing tampon dispenser unit has bottom surface at 34" AFF, and projects 6-1/2" from the wall.	P	O	1	3	1 EA \$0
Barrier	698	The restroom is substantially inaccessible - lacks overall turning space, clear floor space at fixtures, and/or compliant fixtures and dispensers.	Citation	2010 ADA Stds. 603				
ITEM 86: DAYCARE CENTER		Provide a completely new restroom inside the facility in an accessible location or completely remodel in the existing location. An alternate solution based upon program of the 4 rooms is to combine 2 restrooms into one accessible for both spaces (Budget \$89,620.00).	Cost shown is for a restroom with two fixtures and a lavatory, including all accessories, and wall construction.	P	O	1	3	4 EA \$179,240
Barrier	7836	The specified baby changing station exceeds a max. reach range of 48" high for a front or side approach, and/or it lacks clear floor space or the table surface is not 28" - 34" high when folded down.	Citation	2010 ADA Stds. 309, 308.3				
ITEM 87: ENTRY LOBBY LEVEL - RESTROOMS		Relocate the tables not meeting 2010 Standards of 48" height or tables not meeting the work surface requirement of 34" max. when table is in the fold down position.	Dispensers are required to be max. 48" high for a front and parallel approach. Existing baby changing tables are mounted with table "lip" at 36" AFF.	P	O	1	3	2 EA \$300

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Shower Stalls / Bathtubs								
Barrier	711	The shower lacks required clear floor space adjacent to the shower stall (36"x48" aligned with control wall for transfer shower or 30"x60" parallel to roll in) OR exceeds 2% slope.	Citation	2010 ADA Stds. 608.2, 608.2.2.1				
ITEM 88: LOWER LEVEL - MEN'S RESTROOM, ACCESSIBLE SHOWER STALL	Replace with a 36"x36" accessible transfer shower. Revise length of the wall between the 2 showers to align with the face of the transfer shower, and revise location of the controls (to the opposite wall) to provide the 48" long clear floor space, starting at the control wall, and running parallel and immediately adjacent to the shower opening.	Shower stalls must have a 36"x48" clear floor space in front aligned with the control wall for 36"x36" transfer showers; rectangular roll in showers must have a 30"x60" clear floor space in front. Existing condition: Shower enclosure size is 36" wide x 37". Also, the control wall is located where the required 48" deep clear floor space, aligning with the control wall, is only 36-1/2".	P	O	1	3	1	EA \$18,440
ITEM 89: LOWER LEVEL - WOMEN'S RESTROOM, ACCESSIBLE SHOWER STALL	Replace with a 36"x36" accessible transfer shower. Revise length of the wall between the 2 showers to align with the face of the transfer shower, and revise location of the controls (to the opposite wall) to provide the 48" long clear floor space, starting at the control wall, and running parallel and immediately adjacent to the shower opening.	Shower stalls must have a 36"x48" clear floor space in front aligned with the control wall for 36"x36" transfer showers; rectangular roll in showers must have a 30"x60" clear floor space in front. Existing condition: Shower enclosure size is 36-1/2" x 36-1/2". Also, the control wall is located where the required 48" deep clear floor space, aligning with the control wall is only 36-1/2".	P	O	1	3	1	EA \$18,440

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Signage									
Barrier	716	The accessible building entry or restroom sign lacks signage displaying the International Symbol of Accessibility OR the Pictogram is not 6" high min.	Citation		2010 ADA Stds. 703.7.2.1, 216.6, 216.8				
ITEM 90: DAYCARE BUILDING - CLASSROOM 1, ACCESSIBLE PUBLIC RESTROOM	Provide a sign with the International Symbol of Accessibility.	Sign to be mounted 48" high min. measured from finished floor to bottom of the visual characters to 60" max. to the bottom of the visual characters. Existing sign does not have the International Symbol of Accessibility.	P	O	1	2	1	EA	\$180
ITEM 91: LOWER LEVEL - MEN'S RESTROOM	Provide a sign with the International Symbol of Accessibility.	Sign to be mounted 48" high min. measured from finished floor to bottom of the visual characters to 60" max. to the bottom of the visual characters. Existing sign does not have the International Symbol of Accessibility.	P	O	1	2	1	EA	\$180
ITEM 92: LOWER LEVEL - WOMEN'S RESTROOM	Provide a sign with the International Symbol of Accessibility.	Sign to be mounted 48" high min. measured from finished floor to bottom of the visual characters to 60" max. to the bottom of the visual characters. Existing sign does not have the International Symbol of Accessibility.	P	O	1	2	1	EA	\$180
ITEM 93: MAIN LOBBY - MEN'S RESTROOM	Provide a sign with the International Symbol of Accessibility.	Sign to be mounted 48" high min. measured from finished floor to bottom of the visual characters to 60" max. to the bottom of the visual characters. Existing sign does not have the International Symbol of Accessibility.	P	O	1	2	1	EA	\$180

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Signage									
ITEM 94: MAIN LOBBY - WOMEN'S RESTROOM	Provide a sign with the International Symbol of Accessibility.	Sign to be mounted 48" high min. measured from finished floor to bottom of the visual characters to 60" max. to the bottom of the visual characters. Existing sign does not have the International Symbol of Accessibility.	P	O		1	2	1	EA \$180

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Sinks								
Barrier	723	At least 5%, or min. 1 of the sinks in accessible spaces exceeds 34" to the rim or counter OR lacks min. 30" wide knee space that is 27" high and 17" deep for a front approach OR lacks 30"x48" parallel approach. Note: A parallel approach is allowed in kitchens, kitchenettes, and wet bars if there is no cooktop or range.	Citation	2010 ADA Stds. 212.3,606.2, 606.3				
ITEM 95: DAYCARE BUILDING - CLASSROOM 2, KITCHENETTE	Lower the mounting height of the sink and cabinet to 34" max.	Existing kitchenette has 3 sinks, and no cooktop - therefore no forward approach is required. However, all sinks are mounted above a 34-1/2" high countertop.	P	O	1	2	1 EA	\$960
ITEM 96: LOWER LEVEL - MEN'S RESTROOM	Lower the mounting height of the sink to 34" max. while still providing the required 30" wide x 27" high knee space.	Existing countertop is 35" high, with sink rim at 35-1/2" AFF.	P	O	1	2	1 EA	\$960
ITEM 97: LOWER LEVEL - WOMEN'S RESTROOM	Lower the mounting height of the sink to 34" max. while still providing the required 30" wide x 27" high knee space.	Existing countertop is 33-3/4" high, with sink rim at 34-1/2" AFF.	P	O	1	2	1 EA	\$960
ITEM 98: MEETING ROOM 101	Lower the mounting height of the sink to 34" max. while still providing the required 30" wide x 27" knee space.	Existing countertop is 36" high, with sink rim at 36-1/4" AFF and no forward approach provided to sink.	P	O	1	2	1 EA	\$960
ITEM 99: MEETING ROOM 102	Lower the mounting height of the sink to 34" max. while still providing the required 30" wide x 27" knee space.	Existing countertop is 36" high, with sink rim at 36-1/4" AFF and no forward approach provided to sink.	P	O	1	2	1 EA	\$960
ITEM 100: MEETING ROOM 103	Lower the mounting height of the sink to 34" max. while still providing the required 30" wide x 27" knee space.	Existing countertop is 36" high, with sink rim at 36-1/4" AFF and no forward approach provided to sink.	P	O	1	2	1 EA	\$960

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Sinks								
Barrier	723	At least 5%, or min. 1 of the sinks in accessible spaces exceeds 34" to the rim or counter OR lacks min. 30" wide knee space that is 27" high and 17" deep for a front approach OR lacks 30"x48" parallel approach. Note: A parallel approach is allowed in kitchens, kitchenettes, and wet bars if there is no cooktop or range.	Citation	2010 ADA Stds. 212.3,606.2, 606.3				
ITEM 101: MEETING ROOM 104	Lower the mounting height of the sink to 34" max. while still providing the required 30" wide x 27" knee space.	Existing countertop is 36" high, with sink rim at 36-1/4" AFF and no forward approach provided to sink.	P	O	1	2	1 EA	\$960
ITEM 102: MERCER ROOM 107	Lower the mounting height of the sink to 34" max. while still providing the required 30" wide x 27" knee space.	Existing countertop is 36" high, with sink rim at 36-1/4" AFF and no forward approach provided to sink.	P	O	1	2	1 EA	\$960

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET	
Storage / Lockers									
Barrier	742	The lockers lack the required 5% accessible lockers.							
			Citation	2010 ADA Stds. 225.2.1, 811					
ITEM 103: LOWER LEVER - MEN'S RESTROOM, SHOWER / LOCKER ROOM	Replace 1 of the existing large lockers with one that is accessible.	A clear space at least 30"x48" that allows forward or parallel approach, accessible hardware, and storage elements that are within a 15" - 48" reach range are required. Existing condition: there are 2 sizes of lockers provided. The small size has accessible lockers. The larger size does not.	P	O	5	4	1	EA \$320	
ITEM 104: LOWER LEVER - WOMEN'S RESTROOM, SHOWER / LOCKER ROOM	Replace 1 of the existing large lockers with one that is accessible.	A clear space at least 30"x48" that allows forward or parallel approach, accessible hardware, and storage elements that are within a 15" - 48" reach range are required. Existing condition: there are 2 sizes of lockers provided. The small size has accessible lockers. The larger size does not.	P	O	5	4	1	EA \$320	

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Telephones								
Barrier	745	The highest operable part exceeds max. 48" high for a front or side approach.						
			Citation	2010 ADA Stds. 308, 704.2.2				
ITEM 105: ENTRY LOBBY LEVEL - MERCER ROOM 107	Lower the existing telephone to meet requirements for reach ranges (for a side or a front approach).	Reach range (measured from highest operable part of telephone to finish floor) to be max. 48" AFF for a side or front approach. Existing wall mounted telephone is 54"+ AFF to controls.	P	O	1	4	1 EA	\$710
ITEM 106: LOWER LEVEL - DANCE ROOM 1	Lower the existing telephone to meet requirements for reach ranges (for a side or a front approach).	Reach range (measured from highest operable part of telephone to finish floor) to be max. 48" AFF for a side or front approach. Existing wall mounted telephone is 50"+ to operable controls.	P	O	1	4	1 EA	\$710
Total for Building: Community and Events Center								\$300,258

See Survey Legend and ADA Overview Report Section for more important information.

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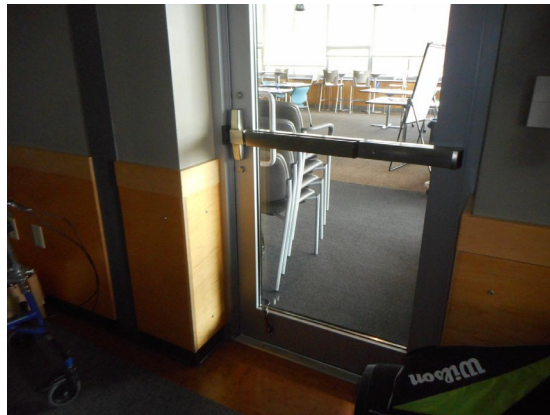


Community and Events Center

- Upper Left: Accessible parking signs are mounted too low.
- Upper Right: Exterior entry to the gymnasium has paving with an excessive slope.
- Lower Left: Lower level entry door lacks a paved accessible route to the automatic door opener button.

Community and Events Center

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Community and Events Center

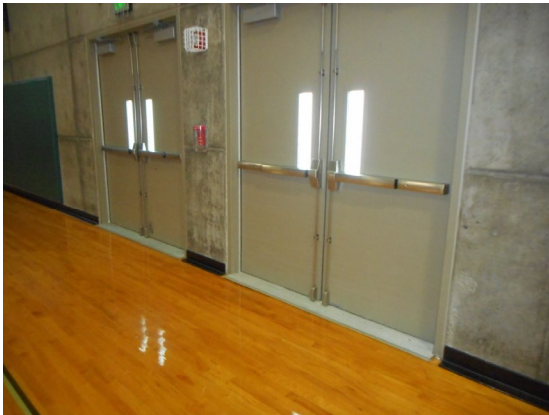
Upper Left: Terrace does not provide edge protection &/or a guardrail between terrace and seating steps.

Upper Right: Door between Mercer Rm. & Landing Rm. is recessed 11", and does not provide the required clearance on the push side.

Lower Left: Fire alarm pull stations are mounted too high. 48" max. AFF required.

Community and Events Center

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Community and Events Center

Upper Left: Landing Rm. & Game Rm. require tables with accessible seating.

Upper Right: Numerous door have 7-1/2" high bottom rail with hold open devices. Bottom surface of door on push side is required to be a smooth surface to 10" AFF.

Lower Left: Surface mounted latching mechanisms obstruct the required 10" bottom smooth surface required on the push side.

Community and Events Center

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Community and Events Center

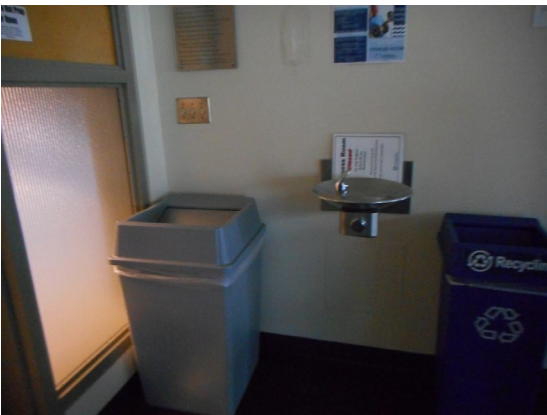
Upper Left: Entry level meeting rooms have countertops with sinks above the required 34" max. AFF height, and do not provide the forward approach knee space below sink.

Upper Right: Slater Rm. public restroom does not provide an accessible stall of the min. required size.

Lower Left: Mercer Rm. above countertop outlets and switches are not accessible for a side reach.

Community and Events Center

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Community and Events Center

- Upper Left: Stair handrail protrudes into the accessible route.
- Upper Right: Gymnasium does not provide an accessible drinking fountain at required height, and with a forward approach knee space.
- Lower Left: Fitness Rm. drinking fountain is mounted at standing person height. An accessible drinking fountain at required height, and with a forward approach knee space is required.

Community and Events Center

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.5



Community and Events Center

- Upper Left: Restroom signage does not provide the International Symbol of Accessibility.
- Upper Right: Locker room benches do not provide the required back support, and are not of the required size for accessibility. Each locker room requires an accessible bench.
- Lower Left: Toilet in the accessible stall is required to be 16" min. - 18" max. from the side wall. Many of these toilets are mounted too far from wall.

Community and Events Center

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Community and Events Center

- Upper Left: The length of the L-shaped grab bar section behind toilet is too short. Many grab bars are mounted too high. 1-1/2" between the grab bar and adjacent surface is required. Dispenser encroaches on clearance.
- Upper Right: Height of the sink rim exceeds the max. 34" AFF.
- Lower Left: At least one of the large lockers must be accessible.

Community and Events Center

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Community and Events Center

Upper Left: Cabinetry blocks the required door maneuvering clearance at Daycare entry door.

Upper Right: Wall mounted cabinets protrude into the required clear floor space at toilet. The length of the L-shaped grab bar section behind toilet is too short.

Lower Left: Picnic tables in Daycare Center do not provide an accessible seat.

Community and Events Center

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Maintenance Hall

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Accessible Parking								
Barrier	540	The accessible stall lacks compliant accessible parking signage, or existing signage is not 60" min. high measured to the bottom of sign.	Citation	2010 ADA Stds. 502.6, 703.7.2.1, 216.5				
ITEM 1: PARKING LOT - ADJACENT TO UPPER LEVEL ENTRY	Remount / raise existing stall signage.	Signs shall be 60" min. AFF or ground surface, measured to bottom of the sign. Existing condition: bottom of sign is 48" above paving.	P	O	1	1	1	EA \$72

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
Barrier	488	The operable controls exceed max. 48" high for a front or side approach for items less than 20" depth OR 44" for items that are 20" - 25" depth, and/or lacks 30"x48" clear floor space.	Citation	2010 ADA Stds. 309; 308				
ITEM 2: KITCHEN - TOWEL DISPENSER & FIRE EXTINGUISHER	Provide an additional item that has lower operating controls, or lower these items to 48" max. reach.	Existing paper towel dispenser and fire extinguisher are located above 56" AFF.	P	O	1	2	2 EA	\$0
ITEM 3: STAFF ENTRANCE - UPPER LEVEL	Provide an additional item that has lower operating controls.	Existing card reader is mounted at 49" - 53" AFF, and entry code buttons are mounted at 54" - 58" AFF.	P	O	1	2	1 EA	\$0

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Doors								
Barrier	612	The door lacks the required maneuvering space, or the maneuvering space is not level.	Citation	2010 ADA Stds. 404.2.4				
ITEM 4: STAFF ENTRANCE DOOR - UPPER LEVEL	Relocate existing walls adjacent to door to provide maneuvering space at door.	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). Provide clear floor space min. 60" perpendicular to door for front / pull side approach and 48" perpendicular to door for front or side / push side approach (latch & closer). Doors are allowed to be recessed 8" max. from the face of door to face of wall surface. See additional Dimensions for other approaches in 404.2.4.1 Existing condition: on the exterior, the 18" is provided at a depth less than 8" (angled entry wall.). On the push side, door latch to the side wall measures 6" (12" required when door has both a latch & closer).	P	O	1	2	10	LF \$720
ITEM 5: UPPER LEVEL - SW OFFICE	Reverse the swing direction of the door.	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). Provide clear floor space min. 60" perpendicular to door for front / pull side approach and 48" perpendicular to door for front or side / push side approach (latch & closer). See additional Dimensions for other approaches in 404.2.4.1 Existing door has 6" width on the pull / latch side.	P	O	1	2	1	EA \$810
Barrier	617	The door hardware is lower than 34" min. or exceeds max. 48" high.	Citation	2010 ADA Stds. 404.2.7				
ITEM 6: STAFF ENTRANCE DOOR - UPPER LEVEL	Remount existing hardware to be within allowable height. Put blank plate over old location.	Existing lever-style door hardware is 51" AFF.	P	O	1	2	1	EA \$390

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Interior Accessible Routes								
Barrier	656	The controls / operating mechanisms require twisting, pinching, or gripping to operate, require in excess of 5 lbs. force, are not within compliant reach range, or lack 30"x48" clear floor space.	Citation	2010 ADA Stds. 205, 308, 309				
ITEM 7: KITCHEN - UPPER LEVEL	Relocate the indicated countertop outlet or switch to an accessible level 46" max. to the highest operable over a 34" max. height countertop. Suggest mounting outlets in the face of the base cabinets.	Countertop depths per ADAS are limited to 24" max. in depth and 34" max. in height to allow for an accessible reach range. Existing condition: 25-1/2" deep x 36" high countertop, with outlets at 46-1/2" AFF.	P	O	1	1	1	1 STY \$190

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Kitchens - Lounges								
Barrier	529	The U-shaped kitchen or dead end kitchen (enclosed on 3 sides) lacks 60" clear between all opposing counters, base cabinets, appliances or walls.	Citation	2010 ADA Stds. 804.2.2				
ITEM 8: KITCHEN - UPPER LEVEL	Relocate misc. items.	Existing water bottles and misc. items block the required 60" diameter turning space.	P	O	1	2	0	EA \$0
Barrier	531	The kitchen sink exceeds 34" high, lacks 30" wide knee space if a range or cooktop is provided, or has inaccessible hardware.	Citation	2010 ADA Stds. 804.4				
ITEM 9: KITCHEN - UPPER LEVEL	Lower the sink to be 34" max. AFF and provide cabinets below the sink that have the knee & toe space clearance.	Existing condition: sink is in a 36" high countertop. Due to the kitchen containing a range, a forward approach is required at the kitchen sink.	P	O	1	2	1	EA \$2,100
Barrier	532	The kitchen lacks the 50% of storage at an accessible level of 15" min. to 48" max.	Citation	2010 ADA Stds. 804.5				
ITEM 10: KITCHEN - UPPER LEVEL	Provide additional storage to meet the required 50% max. E&A suggests the existing metal cabinet be used as a pantry.	Existing kitchen cabinets are in excess of 54" AFF.	P	O	1	2	0	LF \$0
Barrier	534	The oven lacks the required work surface on the latch side of the oven for side hinge doors, the bottom hinge oven lacks the work surface on either side of the oven, or the controls are not on the front panel.	Citation	2010 ADA Stds. 804.6.5				
ITEM 11: KITCHEN - UPPER LEVEL	Replace the oven with one that has front mounted controls.	Existing range has controls on the rear panel.	P	O	1	2	1	EA \$1,390

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET	
Kitchens - Lounges										
ITEM 12: KITCHEN - UPPER LEVEL	Provide compliant 30" wide x 34" high work surface on the latch side of the door for side hinge or either side for bottom hinge. Work surface requires a forward approach with knee & toe space.	Existing kitchen has no work surface adjacent to the oven.	P	O		1	2	1	EA	\$1,830
Total for Building: Maintenance Hall									\$7,502	

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Maintenance Building

- Upper Left: Accessible parking sign is required to be remounted to 60" min. above pavement to bottom surface.
- Upper Right: Entry door lacks the required maneuvering clearance space.
- Lower Left: Entry door hardware is mounted above accessible reach.

Maintenance Building

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Maintenance Building

Upper Left: Kitchen range has controls that require a reach over the burners. Kitchens with cooktops require an adjacent work surface with knee & toe space.

Upper Right: Sink is 36" AFF (34" max. required). Outlets and switches mounted above countertop are not accessible for a side reach due to countertop height & depth.

Lower Left: Metal cabinets and water bottles block the required turn-around space. Paper towel dispenser and fire extinguisher are mounted too high.

Maintenance Building

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET	
Assembly Areas - Indoor / Outdoor										
Barrier	563	The assembly area lacks the minimum quantity of wheelchair seating areas with adjoining companion seats.								
			Citation	2010 ADA Stds. 221.2.1						
ITEM 1: COUNCIL ROOM	Provide new wheelchair accessible areas (with adjoining designated companion seat) at interior assembly area. Demolish a section of the first platform to provide accessible wheelchair space with companion seat on each side. Provide sign at each designated space. Wheelchair spaces must be provided in more than one location.	Quantity required: For (4 to 25) fixed seats= 1 space; (26 to 50) = 2 spaces; (51 to 150) = 4 spaces; (151 to 300) = 5 spaces; (301 to 500) = 6 spaces. Existing Council Room provides 33 seats for the public - all are accessed by stairs. 2 wheelchair spaces with adjacent companion seats are required, and must be on an accessible route.	P	O	1	2	2	EA	\$5,960	
Barrier	572	In each assembly area if an audible communication system is provided and integral to the use of the space, it lacks an assistive listening system, or lacks the adequate number of receivers or receivers with hearing aid capability.								
			Citation	2010 ADA Stds. 219.2, 706, 219.3						
ITEM 2: COUNCIL CHAMBERS	Provide a wireless assistive listening system (induction loop, infrared, or FM radio transmission). Provide signage which complies with 4.30 to notify of the availability of this system.	Such assembly areas with fixed or loose seating (with exception of courtrooms), if they have audio-amplification systems they shall have a permanently installed assistive listening system complying with 706. Receivers: A 1/8" standard mono jack shall be provided per table 219.3. Quantity required: For (50 or less) seats = 2 and 2 hearing aid compatible; (51 to 200) seats = 2 plus 1 for every 25 over 50 seats and 2 hearing aid compatible, etc. (see table in 219.3). (Note: Hearing aid compatible receivers shall interface with telecoils in hearing aids through the provision of neck-loops.) If more than 1 assembly area is under one management - total calculation based upon total seats in assembly areas in the building, provided they are usable with all systems. (Note: where seats in assembly area are served by induction loop system, not required to be hearing aid compatible.)	P	O	1	2	2	EA	\$2,200	

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Assembly Areas - Indoor / Outdoor								
Barrier	827	The courtroom lacks an assistive listening system or lacks the adequate number of receivers or receivers with hearing aid capability.	Citation	2010 ADA Stds. 219.2, 706, 219.3				

ITEM 3: COURTROOM	Provide a wireless assistive listening system (induction loop, infrared, or FM radio transmission). Provide signage which complies with 4.30 to notify of the availability of this system.	Such assembly areas with fixed or loose seating (with exception of courtrooms), if they have audio-amplification systems they shall have a permanently installed assistive listening system complying with 706. Receivers: A 1/8" standard mono jack shall be provided per table 219.3. Quantity required: For (50 or less) seats = 2 and 2 hearing aid compatible; For (51 to 200) seats = 2 plus 1 for every 25 over 50 seats and 2 hearing aid compatible, etc. (see table in 219.3). (Note: Hearing aid compatible receivers shall interface with telecoils in hearing aids through the provision of neck-loops.) If more than 1 assembly area is under one management - total calculation based upon total seats in assembly areas in the building, provided they are usable with all systems. (Note: where seats in assembly area are served by induction loop system, not required to be hearing aid compatible.)	P	O	1	2	2	EA	\$2,200
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
Barrier	481	The sales or service counter lacks a 36" long lowered portion of counter that is max. 36" high for a 48" parallel approach or is not 30" long min. with knee space for a forward approach or does not extend the same depth as the sales or service countertop.	Citation	2010 ADA Stds. 227.3, 904.4.2, 902.3				
ITEM 4: BUSINESS LICENSING COUNTER	Provide an accessible counter with a 36" AFF countertop height (min. 36" length).	Existing service counter for Finance, Utility Bills, and Business Licensing is 42" AFF.	P	O	1	2	1 EA	\$1,250
ITEM 5: COURT CLERK	Modify the existing counter to 36" max. AFF for 36" min. long, or 24" min. long if the 36" length would result in the loss of a station.	Existing court clerk counter is 44" AFF.	P	O	1	2	1 EA	\$750
ITEM 6: DEVELOPMENT SERVICES COUNTER	Remove the contents and displays on the counter in order to provide 36" unobstructed width.	Service counter has an adjacent counter at compliant height and with the required knee & toe space. However, work surface is occupied with miscellaneous brochures and items.	P	O	1	2	1 EA	\$0
ITEM 7: POLICE LOBBY	Lower the existing counter to 36" AFF (with min. 36" length). Add skirt to bottom or a cane detection device at the floor where it will not be a protruding object.	Existing countertop adjacent to Police window is 39" AFF.	P	O	1	2	1 EA	\$750

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	CITATION	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements									
Barrier	482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.	2010 ADA Stds. 902.1, 226, 226.2						
ITEM 8: ACCESSIBLE PICNIC TABLE IN COURTYARD - NORTH OF COURTROOM		Provide additional accessible picnic table in courtyard with surface 34" max. above grade and knee space 30" min. wide, 27" min. high and 17" min. deep on one end of table.	Existing picnic table is not accessible.	P	O	1	2	1	EA \$2,500

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Doors									
Barrier	612	The door lacks the required maneuvering space, or the maneuvering space is not level.	Citation	2010 ADA Stds. 404.2.4					
ITEM 9: CITY HALL MAIN ENTRY - SOUTH OF COURTROOM	Add new portion of exterior surface (at door approach).	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). Provide clear floor space min. 60" perpendicular to door for front / pull side approach and 48" perpendicular to door for front or side / push side approach (latch & closer). Existing door maneuvering space at door approach measures 4% slope.	P	O	1	2	40	SF	\$2,020
ITEM 10: CITY HALL MAIN ENTRY - SOUTH OF COURTROOM	Secure movable area rug or mat with double stick tape at all edges.	Owner / Maintenance item.	P	O	1	1	2	EA	\$0
ITEM 11: MEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Remove obstruction to allow door to open fully.	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). Provide clear floor space min. 60" perpendicular to door for front / pull side approach and 48" perpendicular to door for front or side / push side approach (latch & closer). Doors are allowed to be recessed 8" max. from the face of door to face of wall surface. See additional Dimensions for other approaches in 404.2.4.1 Existing entry door does not open fully (90 degrees) to provide door maneuvering space on the interior restroom side.	P	O	1	2	1	EA	\$150

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Doors								
ITEM 12: MEN'S RESTROOM - ADJACENT TO LICENSING AREA	Reverse the swing direction of the door to swing out from restroom.	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). Provide clear floor space min. 60" perpendicular to door for front / pull side approach and 48" perpendicular to door for front or side / push side approach (latch & closer). Doors are allowed to be recessed 8" max. from the face of door to face of wall surface. See additional Dimensions for other approaches in 404.2.4.1 Existing entry door lacks the 18" width on the pull side, and is recessed 18" on the bathroom side of the door.	P	O	1	2	1 EA	\$810
ITEM 13: POLICE ENTRY - SOUTH ENTRY DOORS	Secure movable area rug or mat with double stick tape at all edges.	Owner / Maintenance item.	P	O	1	1	1 EA	\$0
ITEM 14: WOMEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Reverse the swing direction of the door to swing out from restroom.	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). Provide clear floor space min. 60" perpendicular to door for front / pull side approach and 48" perpendicular to door for front or side / push side approach (latch & closer). Doors are allowed to be recessed 8" max. from the face of door to face of wall surface. See additional Dimensions for other approaches in 404.2.4.1 Existing entry door lacks the 18" width on the pull side, and is recessed 25" on the bathroom side of the door.	P	O	1	2	1 EA	\$810

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Doors								
ITEM 15: WOMEN'S RESTROOM - ADJACENT TO LICENSING AREA	Reverse the swing direction of the door to swing out from restroom.	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). Provide clear floor space min. 60" perpendicular to door for front / pull side approach and 48" perpendicular to door for front or side / push side approach (latch & closer). Doors are allowed to be recessed 8" max. from the face of door to face of wall surface. See additional Dimensions for other approaches in 404.2.4.1 Existing entry door lacks the 18" width on the pull side, and is recessed 18" on the bathroom side of the door.	P	O	1	2	1 EA	\$810

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET	
Drinking Fountains									
Barrier	757	The water fountain is not accessible to standing persons with a spout outlet located 38" to 43" high.							
			Citation	2010 ADA Stds. 602.7					

ITEM 16: MUNICIPAL COURT - ENTRY LOBBY	Remove the water fountain and provide a hi-low wall mounted fountain. Ensure the lower fountain bottom surface is at 27" AFF, and located on the open side.	The knee space is required to be 30" wide, 27" high, and at least 17" deep. Where there is one per floor, one must be wheelchair accessible, and those with difficulty bending should be accommodated by use of a hi-low or other means (such as a paper cup dispenser). Where more than one per floor, 50% must be wheelchair accessible. In WA, a hi-low model is required where there is one fountain. Existing fountain is a single fountain with spout at 39" AFF.	P	O	1	4	1	EA	\$6,600
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Interior Accessible Routes								
Barrier	647	The area has existing steps but lacks an accessible route.	Citation	2010 ADA Stds. 303, 405, 406, 206.7				
ITEM 17: COURTROOM	Provide a wheelchair platform lift.	Platform lifts shall be permitted as a component of an accessible route in an existing building or facility. Existing courtroom has steps up to the jury box, the witness station, and the judges platform.	P	O	1	2	2 EA	\$61,800
Barrier	648	The object exceeds 48" high for an unobstructed side or front approach OR for obstructed approach exceeds 46" high x 24" depth on a 34" countertop OR is placed on a countertop exceeding 34" in height and is not flush with the countertop edge.	Citation	2010 ADA Stds. 308				
ITEM 18: LICENSING AREA	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	Existing fire extinguisher cabinet has door handle with its lowest part at 48-1/2" AFF. If altered per 2010 Standards, the item should be below 48" AFF.	P	O	8	2	1 EA	\$0
ITEM 19: LICENSING AREA - FIRE EXTINGUISHER CABINET	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	The door handle measures 48-1/2". If altered, per 2010 Standards, the item should be below 48" AFF.	P	O	8	2	1 EA	\$0
ITEM 20: POLICE LOBBY - PHONE BY TV	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	Existing telephone that is to be used when police window blinds are closed is mounted with controls above 54" AFF, and is located above a 42" high countertop. If altered, per 2010 Standards, the item should be below 48" AFF.	P	O	8	2	1 EA	\$0

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET	
Interior Accessible Routes									
Barrier	651	The ramp lacks compliant handrails OR the existing handrails are not compliant in configuration.							
			Citation	2010 ADA Stds. 505.5, 505.7.2, 405.8					
ITEM 21: COUNCIL ROOM	Leave the existing handrail and provide a new one at 34" - 38" AFF on the other side of the ramp.	Handrails should be 34" - 38" AFF, 1-1/2" min. from a wall. Circular cross section - outside diameter 1-1/4" min. - 2" max. Non-circular cross section - perimeter of 4" min. - 6-1/4" max. Horizontal projections shall be 1-1/2" min. below bottom of rail. Existing ramp to judge's platform has a handrail on one side only.	P	O	4	2	8 LF	\$404	
Barrier	656	The controls/operating mechanisms require twisting, pinching, or gripping to operate, require in excess of 5 lbs. force, are not within compliant reach range, or lack 30"x48" clear floor space.							
			Citation	2010 ADA Stds. 205, 308, 309					
ITEM 22: COUNCIL CHAMBERS	Replace the control with an accessible model and/or relocate to an accessible height.	Existing speaker podium platform is 42" AFF and has a microphone mounted on it. No forward approach with knee & toe space is provided. Control is required to be 15" min. - 48" max. for an unobstructed approach. Controls over obstructions between 10" - 24" deep and 34" max. high shall be 46" max. high for a parallel approach and 44" max. high for a forward approach with knee space.	P	O	1	2	1 EA	\$1,500	
ITEM 23: POLICE LOBBY	Replace the control with an accessible model and/or relocate to an accessible height, with no countertop below.	Control is required to be 15" min. - 48" max. for an unobstructed approach. Controls over obstructions between 10" - 24" deep and 34" max. high shall be 46" max. high for a parallel approach and 44" max. high for a forward approach with knee space. Existing condition: "Push for Service" button / speaker is mounted at 60" AFF and above a countertop.	P	O	1	2	1 EA	\$220	

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
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Restrooms / Bathrooms

Barrier	671	The accessible toilet stall lacks the min. required dimensions, or the accessible water closet lacks the min. required 60" wide clear floor space.	Citation	2010 ADA Stds. 604, 213					
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ITEM 24: MEN'S RESTROOM - ADJACENT TO LICENSING AREA	Remove 1 toilet stall, and reconfigure area to provide 1 compliant accessible stall that meets standard stall size requirements. Budget cost includes removing metal partition and toilet fixture with accessories, and replacing with new portion of partition.	2010 Standards requirements for standard stalls: Min. 60" wide x 56" long (at wall mounted toilet), or min. 60" wide x 59" long (at floor mounted toilet). Also, min. 9" high toe clearance is required at all accessible stalls, unless stall depth exceeds 62" for wall hung and 65" for floor mounted toilets is provided. ADA requirements for clear floor space at water closets: Min. 60" wide x min. 56" long (both approaches). Note: In alterations where technically infeasible, not required to be accessible IF accessible unisex toilet is provided nearby. Existing restroom does not provide an accessible stall.	P	O	1	3	1	EA	\$3,080
ITEM 25: WOMEN'S RESTROOM - ADJACENT TO LICENSING AREA	Remove 1 toilet stall, and reconfigure area to provide 1 compliant accessible stall that meets standard stall size requirements. Budget cost includes removing metal partition and toilet fixture with accessories, and replacing with new portion of partition.	2010 Standards requirements for standard stalls: Min. 60" wide x 56" long (at wall mounted toilet), or min. 60" wide x 59" long (at floor mounted toilet). Also, min. 9" high toe clearance is required at all accessible stalls, unless stall depth exceeds 62" for wall hung and 65" for floor mounted toilets is provided. ADA requirements for clear floor space at water closets: Min. 60" wide x min. 56" long (both approaches). Note: In alterations where technically infeasible, not required to be accessible IF accessible unisex toilet is provided nearby. Existing restroom does not provide an accessible stall.	P	O	1	3	1	EA	\$3,080

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	675	The stall door swing encroaches on clear floor space within stall, or the door is not located on the wide side of the stall, or the door is more than 4" from side panel.	Citation	2010 ADA Stds. 604.8.1.2				
ITEM 26: WOMEN'S RESTROOM - ADJACENT TO COURTROOM AREA, WHEELCHAIR ACCESSIBLE STALL	Revise the front stall partition to relocate the door to the wide side of the stall with a 4" max. hinge side panel, and revise door to swing out of the stall..	The door to the accessible stall is required to be the open side of the stall to provide door maneuvering space on the inside of the stall. Existing door swings into the stall and hits the front of the toilet.	P	O	1	3	1 EA	\$1,640
Barrier	677	The coat hook exceeds 48" high for a front or side approach or the shelves are not mounted 40" min. and 48" max. AFF.	Citation	2010 ADA Stds. 603.4, 308				
ITEM 27: MEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Lower the shelf or provide another at an accessible location. Mount shelf at 40" min. to 48" max.	Existing shelf is mounted at 50" AFF.	P	O	1	3	1 EA	\$150
ITEM 28: MEN'S RESTROOM - ADJACENT TO COURTROOM AREA, WHEELCHAIR ACCESSIBLE STALL	Provide an additional lower coat hook. Mount at 48" or lower.	Existing coat hook in wheelchair accessible stall is mounted 61" AFF.	P	O	1	3	1 EA	\$150
ITEM 29: MEN'S RESTROOM - ADJACENT TO LICENSING AREA	Lower the shelf or provide another at an accessible location. Mount shelf at 40" min. to 48" max.	Existing shelf is mounted at 51" AFF.	P	O	1	3	1 EA	\$150

See Survey Legend and ADA Overview Report Section for more important information.

ENELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
ITEM 30: WOMEN'S RESTROOM - ADJACENT TO COURTROOM AREA, WHEELCHAIR ACCESSIBLE STALL	Provide an additional lower coat hook. Mount at 48" or lower.	Existing coat hook is mounted 60" AFF.	P	O	1	3	1 EA	\$150
Barrier	678	The toilet is not 16" - 18" dimension from centerline of toilet to side wall.	Citation	2010 ADA Stds. 604.2				
ITEM 31: MEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Relocate the toilet fixture to measure 16" - 18" from centerline of toilet to side wall using an offset flange.	Existing toilet is 15-1/4" from side wall.	P	O	1	3	1 EA	\$230
ITEM 32: MEN'S RESTROOM - ADJACENT TO LICENSING AREA	Replace the toilet with an accessible model and relocate to be 16" - 18" from the centerline to the wall, with seat height 17" - 19" AFF, and flush handle located on the open side..	Existing restroom does not have an accessible toilet and/or toilet stall.	P	O	1	3	1 EA	\$3,610
ITEM 33: WOMEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Relocate the toilet fixture to measure 16" - 18" from centerline of toilet to side wall using an offset flange.	Existing toilet is 18-1/2" from side wall.	P	O	1	3	1 EA	\$230
ITEM 34: WOMEN'S RESTROOM - ADJACENT TO LICENSING AREA	Replace the toilet with an accessible model and relocate to be 16" - 18" from the centerline to the wall, with seat height 17" - 19" AFF, and flush handle located on the open side.	Existing restroom does not have an accessible toilet and/or toilet stall.	P	O	1	3	1 EA	\$3,610

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	679	The toilet seat height is not between 17" and 19" high.	Citation	2010 ADA Stds. 604.4, 604.9				
ITEM 35: MEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Install a lift seat.	Seat shall not be sprung to return to a lifted position. Existing toilet seat is 16" AFF.	P	O	1	3	1 EA	\$210
Barrier	680	The toilet lacks compliant side and/or rear grab bars.	Citation	2010 ADA Stds. 604.5				
ITEM 36: MEN'S RESTROOM - ADJACENT TO LICENSING AREA	Install new grab bars.	Grab bars should be 1-1/4" - 2" in diameter, 33" - 36" AFF, with 1-1/2" min. between the wall and the grab bar. Circular cross section - outside diameter 1-1/4" min. - 2" max. 2010 Standards: Rear grab bar min. 24" long from centerline of toilet at transfer side; allows 1-1/4" - 2" cross section and non-circular shapes; allows alternate children's use height. Existing restroom does not provide an accessible toilet and toilet stall.	P	O	1	3	1 EA	\$1,150
ITEM 37: WOMEN'S RESTROOM - ADJACENT TO LICENSING AREA	Install new grab bars.	Grab bars should be 1-1/4" - 2" in diameter, 33" - 36" AFF, with 1-1/2" min. between the wall and the grab bar. Circular cross section - outside diameter 1-1/4" min. - 2" max. 2010 Standards: Rear grab bar min. 24" long from centerline of toilet at transfer side; allows 1-1/4" - 2" cross section and non-circular shapes; allows alternate children's use height. Existing restroom does not provide an accessible toilet and toilet stall.	P	O	1	3	1 EA	\$1,150

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms									
Barrier	682	The flush controls are not located at open side of toilet, or controls require gripping, twisting or pinching to operate.	Citation	2010 ADA Stds. 604.6					
ITEM 38: WOMEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Reverse controls or provide a retrofit sensor control on the wall mounted toilet.	Flush controls shall comply with reach ranges specified in Section 309. Existing flush control is located on the corner side.	P	O	1	3	1	EA	\$810
Barrier	683	The toilet paper dispenser is not mounted 7" to 9" in front of the toilet edge measured to the center of the fixture, or min. 15" to max. 48" high OR is located less than 12" above the grab bar or less than 1-1/2" below the grab bar.	Citation	2010 ADA Stds. 604.7					
ITEM 39: MEN'S RESTROOM - ADJACENT TO LICENSING AREA	Relocate the dispenser in compliant location in new accessible toilet stall.	Existing restroom does not have an accessible toilet and toilet stall.	P	O	1	3	1	EA	\$72
ITEM 40: WOMEN'S RESTROOM - ADJACENT TO LICENSING AREA	Relocate the dispenser in compliant location in new accessible toilet stall.	Existing restroom does not have an accessible toilet and toilet stall.	P	O	1	3	1	EA	\$72
Barrier	684	The bathroom contains more than one urinal and the rim exceeds 17" high or is not 13-1/2" deep.	Citation	2010 ADA Stds. 605.2					
ITEM 41: MEN'S RESTROOM - ADJACENT TO LICENSING AREA	Replace the urinal with an accessible one.	Urinals shall be mounted with the rim no higher than 17" AFF and the urinal should extend 13-1/2" min. Existing restroom has three non-accessible urinals.	P	O	1	3	1	EA	\$2,440
ITEM 42: MEN'S RESTROOM - ADJACENT TO THE COURTROOM AREA	Lower one urinal.	Cost includes lowering flush valve at the same time. Urinals shall be mounted with the rim no higher than 17" AFF and the urinal should extend 13-1/2" min. Existing five urinals are mounted with rim at 24" AFF.	P	O	1	3	1	EA	\$1,910

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	687	The lavatory rim exceeds 34" high measured to the rim or countertop, whichever is higher.	Citation	2010 ADA Stds. 606.3				
ITEM 43: MEN'S RESTROOM - ADJACENT TO LICENSING AREA	Reduce height of existing lavatory.	Where lavatories are provided at least 1 shall be accessible and not be located in a toilet compartment. Existing lavatory rims are 34-1/2" AFF.	P	O	1	3	1 EA	\$960
Barrier	688	The lavatory lacks min. 27" high knee space at front edge, extending 8" deep under the lavatory, and/or 30"x48" clear floor space.	Citation	2010 ADA Stds. 606.2				
ITEM 44: WOMEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Replace lavatory with an accessible model.	Where lavatories are provided at least one shall be accessible and not be located in a toilet compartment. Existing lavatories do not provide compliant knee space area.	P	O	1	3	1 EA	\$2,340
ITEM 45: WOMEN'S RESTROOM - ADJACENT TO LICENSING AREA	Cut apron to provide knee space.	Where lavatories are provided at least one shall be accessible and not be located in a toilet compartment. Existing vanity has knee space with bottom at 23" AFF (27" min. AFF required).	P	O	1	3	1 EA	\$450
Barrier	689	The lavatory lacks insulation at water supply and drain pipes.	Citation	2010 ADA Stds. 606.5				
ITEM 46: MEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Insulate pipes.	Where lavatories are provided at least one shall be accessible and not be located in a toilet compartment. Existing lavatory sink pipes are unwrapped.	P	O	1	3	2 EA	\$360
ITEM 47: MEN'S RESTROOM - ADJACENT TO LICENSING AREA	Insulate pipes.	Where lavatories are provided at least one shall be accessible and not be located in a toilet compartment. Existing lavatory sinks are unwrapped.	P	O	1	3	2 EA	\$360

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
ITEM 48: WOMEN'S RESTROOM - ADJACENT TO LICENSING AREA	Insulate pipes.	Where lavatories are provided at least one shall be accessible and not be located in a toilet compartment. Existing lavatory sinks are unwrapped.	P	O	1	3	3 EA	\$540
Barrier	690	The faucet hardware requires twisting, pinching, or gripping to operate OR requires excessive force (over 5 lbs.) to operate OR metered faucet does not stay on for a min. of 10 seconds.	Citation	2010 ADA Stds. 606.4				
ITEM 49: WOMEN'S RESTROOM - ADJACENT TO LICENSING AREA	Replace faucet hardware with lever-type handles.	Where lavatories are provided at least one shall be accessible and not be located in a toilet compartment. Existing faucet hardware requires grasping and twisting of the wrist to operate.	P	O	1	3	1 EA	\$960
Barrier	692	The mirror exceeds max. 40" high measured from the bottom of the reflecting surface OR mirrors not located above countertops exceed 35" high.	Citation	2010 ADA Stds. 603.3				
ITEM 50: MEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Lower the mirror.	Mirrors above countertops are required to be 40" max. to the reflective surface. Wall mounted mirrors are required to be 35" max. and 74" min. to the reflected surface (tall mirrors). Existing above countertop mirror is 41-1/2" AFF.	P	O	1	3	1 EA	\$150
ITEM 51: WOMEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Lower the mirror.	Mirrors above countertops are required to be 40" max. to the reflective surface. Wall mounted mirrors are required to be 35" max. and 74" min. to the reflected surface (tall mirrors). Existing above countertop mirror is 40-1/2" AFF.	P	O	1	3	1 EA	\$150

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	693	The indicated object at the restroom is a protruding object, which projects more than 4" into accessible route with its leading edge between 27" and 80" high.	Citation	2010 ADA Stds. 307.2				
ITEM 52: MEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Place a waste receptacle or other detectable object beneath the protruding object.	An object may not protrude more than 4" into an accessible path if its leading edge is between 27" and 80" AFF. Existing shelf extends more than 4" from the wall, and is 50" AFF to its bottom edge.	P	O	1	3	1 EA	\$0
ITEM 53: MEN'S RESTROOM - ADJACENT TO LICENSING AREA	Place a waste receptacle or other detectable object beneath the protruding object.	An object may not protrude more than 4" into an accessible path if its leading edge is between 27" and 80" AFF. Existing shelf extends more than 4" from the wall, and is 50" AFF to its bottom edge.	P	O	1	3	1 EA	\$0
ITEM 54: WOMEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Place a waste receptacle or other detectable object beneath the protruding object.	An object may not protrude more than 4" into an accessible path if its leading edge is between 27" and 80" AFF. Existing sanitary dispenser projects 6-1/2" from the wall, and bottom surface is 36" AFF.	P	O	1	3	1 EA	\$0
ITEM 55: WOMEN'S RESTROOM - ADJACENT TO LICENSING AREA	Place a waste receptacle or other detectable object beneath the protruding object.	An object may not protrude more than 4" into an accessible path if its leading edge is between 27" and 80" AFF. Existing paper towel dispenser and sanitary dispenser extend more than 4" from the wall, and are above 27" AFF to bottom edge.	P	O	1	3	1 EA	\$0

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET	
Restrooms / Bathrooms									
Barrier	694	The specified dispensers (soap, towel, seat cover, sanitary napkin, or baby changing), outlets, or controls exceed max. reach range of 48" high for a front or side approach, or lack clear floor space.	Citation 2010 ADA Stds. 308.3						
ITEM 56: MEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Relocate or lower the towel dispenser(s).	Existing towel dispenser is mounted with controls at 49" AFF. Dispensers are required to be max. 48" high for a front and parallel approach. CA Title 24 requires 40" max. height. Dispensers are required to be max. 48" high for a front and parallel approach. (Some building codes such as WAC 51-50/IBC require lower mounting heights according to Table 603.6, which should be applied in these jurisdictions.)	P	O	1	3	1 EA	\$150	
ITEM 57: MEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	Existing seat cover dispenser in the wheelchair accessible toilet stall measures 54" AFF to dispenser. If altered, per 2010 Standards, the item should be below 48" AFF.	P	O	8	2	1 EA	\$0	
ITEM 58: MEN'S RESTROOM - ADJACENT TO LICENSING AREA	Relocate or lower the towel dispenser(s). Suggest relocation be adjacent to countertop, not above it.	Existing towel dispenser(s) are mounted with controls at 61" AFF.	P	O	1	3	1 EA	\$150	
ITEM 59: WOMEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	Existing towel dispenser is mounted with controls at 51" AFF. If altered, per 2010 Standards, the item should be below 48" AFF. Many building codes are more stringent and have a max. 48" reach for any approach, which should be applied. Some building codes such as WAC 51-50/IBC require lower mounting heights according to Table 603.6, which should be applied in these jurisdictions.	P	O	8	2	1 EA	\$0	

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET	
Restrooms / Bathrooms									
ITEM 60: WOMEN'S RESTROOM - ADJACENT TO LICENSING AREA	Relocate or lower the towel dispenser(s). Suggest relocation be adjacent to countertop, not above it.	Existing towel dispenser(s) are mounted with controls at 60" AFF.	P	O	1	3	1 EA	\$150	
Barrier	7836	The specified baby changing station exceeds a max. reach range of 48" high for a front or side approach, and/or it lacks clear floor space or the table surface is not 28" - 34" high when folded down.	Citation 2010 ADA Stds. 309, 308.3						
ITEM 61: MEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Relocate the tables not meeting the work surface requirement of 28" - 34" high x 27" min. knee space x 17" min. depth when table is in the fold down position. To avoid protruding object hazard, bottom surface of table in the open position should be 27" AFF.	Existing baby changing table has table surface rim at 39" AFF and table surface at 35-1/2" AFF. When in the open position table presents a protruding object hazard.	P	O	1	3	1 EA	\$150	
ITEM 62: WOMEN'S RESTROOM - ADJACENT TO COURTROOM AREA	Relocate the tables not meeting the work surface requirement of 28" - 34" high x 27" min. knee space x 17" min. depth when table is in the fold down position. To avoid protruding object hazard, bottom surface of table in the open position should be 27" AFF.	Existing baby changing table has table surface rim at 38-1/2" AFF and table surface at 35" AFF. When in the open position table presents a protruding object hazard.	P	O	1	3	1 EA	\$150	

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Signage								
Barrier	716	The accessible building entry or restroom sign lacks signage displaying the International Symbol of Accessibility OR the Pictogram is not 6" high min.	Citation	2010 ADA Stds. 703.7.2.1, 216.6, 216.8				
ITEM 63: MEN'S RESTROOM - ADJACENT TO LICENSING AREA	Provide a sign with the International Symbol of Accessibility.	Sign to be mounted 48" high min. measured from finished floor to bottom of the visual characters to 60" max. to the bottom of the visual characters. Existing restroom has no accessible signage.	P	O	1	2	1 EA	\$180
ITEM 64: WOMEN'S RESTROOM - ADJACENT TO LICENSING AREA	Provide a sign with the International Symbol of Accessibility.	Sign to be mounted 48" high min. measured from finished floor to bottom of the visual characters to 60" max. to the bottom of the visual characters. Existing restroom has no accessible signage.	P	O	1	2	1 EA	\$180

See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
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For City of Mercer Island for Transpo

Mercer Island City Hall

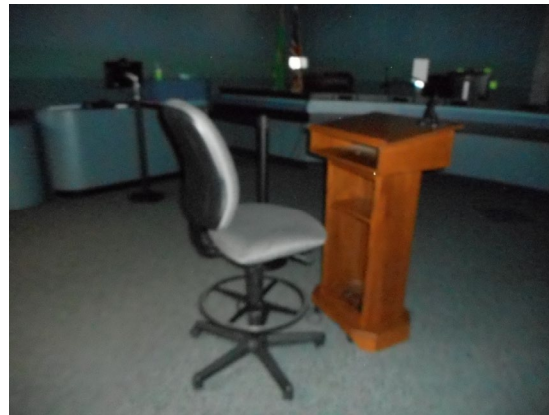
Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET	
Telephones									
Barrier	745	The telephone's highest operable part exceeds max. 48" high for a front or side approach.							
			Citation	2010 ADA Stds. 308, 704.2.2					
ITEM 65: POLICE LOBBY - PHONE BY TV	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	If altered, per 2010 Standards, the item should be below 48" AFF. Many building codes are more stringent and have a max. 48" reach for any approach, which should be applied.	P	O	8	2	1	EA \$0	
Total for Building: Mercer Island City Hall								\$122,008	

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

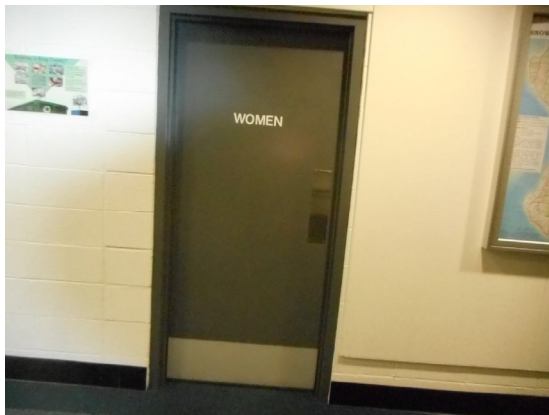


City Hall

- Upper Left: Council Room requires accessible seating adjacent to a companion seat.
- Upper Right: Speaker's podium in Council Room to provide a forward approach to accessible microphone.
- Lower Left: Ramp to judge's platform in Council Room requires additional handrail.

City Hall

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.1



City Hall

Upper Left: Business License area requires an accessible counter.

Upper Right: Fire extinguishers and their cabinets required to be located at an accessible height.

Lower Left: Accessible restroom signage is required.

City Hall

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City Hall

- Upper Left: Restrooms adjacent to Licensing area shall provide an accessible stall.
- Upper Right: Men's restroom adjacent to Licensing area shall provide an accessible urinal.
- Lower Left: Men's restroom adjacent to Licensing area shall provide an accessible lavatory with compliant knee & toe space.

City Hall

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.3



City Hall

Upper Left: Restroom entry doors require min. 18" maneuvering clearance on pull side (or a power door operator).

Upper Right: Restroom entry doors require min. 18" maneuvering clearance on pull side (or a power door operator).

Lower Left: Women's restroom near Licensing shall have at least one lavatory with accessible controls on faucets, and exposed pipes isolated from contact.

City Hall

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.4



City Hall

- Upper Left: Dispensers present protruding object hazard, requiring relocation or permanent barrier located below.
- Upper Right: Baby changing tables require relocation due to height.
- Lower Left: Wheelchair accessible toilets are required to be 16" min. - 18" max. from side wall. Relocation required at some toilets.

City Hall

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.5



City Hall

Upper Left: Women's restroom near Courtroom: door to accessible compartment located on wrong side of compartment and swings in.

Upper Right: Women's restroom near Courtroom: toilet location should be adjusted. Flush control should be on open side.

Lower Left: Men's restroom near Courtroom: one urinal should be accessible.

City Hall

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.6

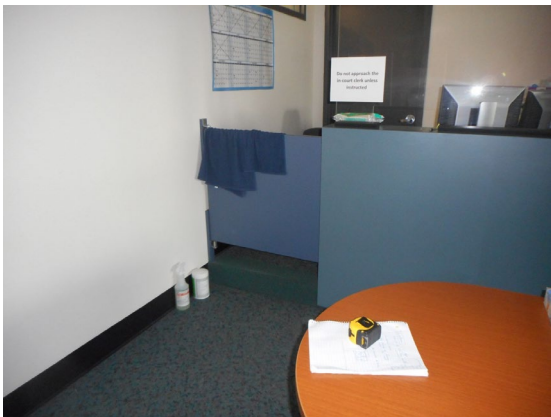
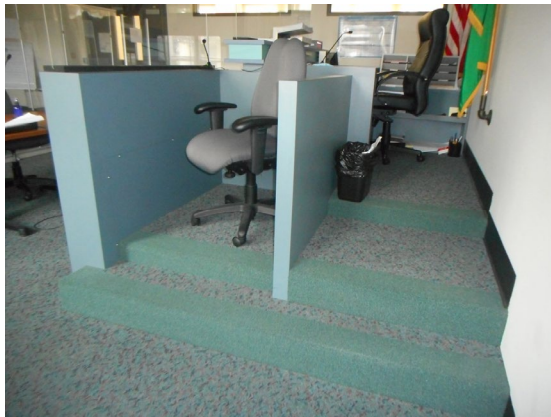


City Hall

- Upper Left: Coat hooks and dispensers in accessible toilet stalls shall be mounted at accessible heights.
- Upper Right: Rubber mats at entries shall be secured.
- Lower Left: Drinking fountain near courtroom entry should be a hi-low type for both wheelchair users and standing persons.

City Hall

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.7



City Hall

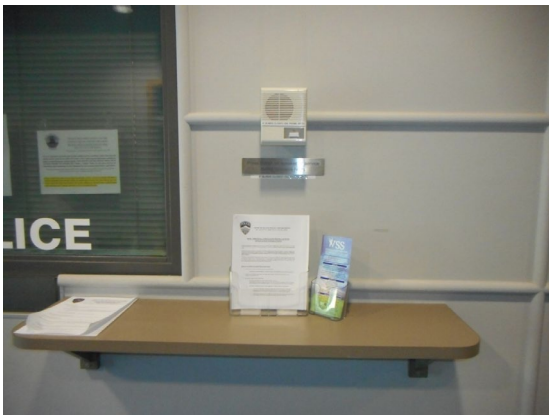
Upper Left: Courtroom: witness box and judge's platform have stairs (no accessible route).

Upper Right: Courtroom: juror's area has stairs (no accessible route).

Lower Left: Courtroom: court clerk counter required to be lowered to 36" AFF max.

City Hall

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.8



City Hall

Upper Left: Exterior sidewalk approaching main entry has an excessive slope.

Upper Right: Picnic table requires an accessible seat.

Lower Left: Police Lobby: Service call button should be at accessible height. Countertop shall be lowered to 36" max. AFF.

City Hall
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City Hall

Upper Left: Police Lobby; telephone and counter should be lowered to accessible height.

Upper Right:

Lower Left:

City Hall

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ADA SURVEY RESULTS
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For City of Mercer Island for Transpo

77th Ave. SE Landing

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 1: ACCESSIBLE ROUTE TO BENCH AND WATERFRONT	Provide 44" min. wide (per Code) asphalt paving to the indicated amenities. At any slopes exceeding 5%, provide a compliant ramp with complying handrails and landings. Further design study and civil engineering may be required.	Existing site has a dirt path down to the bench and waterfront viewing area.	P	O	1	2	140 LF	\$4,945
Barrier	522	Where an accessible bench is to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat and 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation	2010 ADA Stds. 903				
ITEM 2: ACCESSIBLE BENCH	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of the bench.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches - provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: adjacent to each side of the bench is a lawn area, and no clear floor space is provided.	P	O	7	2	10 SF	\$250
Total for Building: 77th Ave. SE Landing								\$5,195

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC



77th Ave. SE Street End

Upper Left: Park entry lacks an accessible route. No parking is provided.

Upper Right: No accessible route to park amenities.

Lower Left: Bench requires an adjacent clear floor space at one end.

77th Ave. SE Street End

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Accessible Parking								
Barrier	540	The accessible stall lacks compliant accessible parking signage, or existing signage is not 60" min. high measured to the bottom of sign.	Citation	2010 ADA Stds. 502.6, 703.7.2.1, 216.5				
ITEM 1: PARKING LOT AT FERONGLIA FIELDS - ACCESSIBLE PARKING	Provide new sign posts to raise existing signs to accessible height.	Signs shall be 60" min. AFF or ground surface, measured to bottom of the sign. Existing condition: Signs provided measured 39" high.	P	O	1	1	2 EA	\$580
ITEM 2: WEST PARKING LOT - ACCESSIBLE PARKING	Add new sign displaying the International Symbol of Accessibility at one existing accessible stall.	Signs shall be 60" min. AFF or ground surface, measured to bottom of the sign. Existing condition: No sign is provided at one accessible parking space (other accessible space has sign).	P	O	1	1	1 EA	\$290

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Assembly Areas - Indoor / Outdoor

Barrier	563	The assembly area lacks the minimum quantity of wheelchair seating areas with adjoining companion seats.							
			Citation	2010 ADA Stds. 221.2.1					

ITEM 3: EAST BALLFIELD - EAST BLEACHERS, FERROGLIA FIELDS	Designate min. 66"x48" space between bleachers and dugout for 1 wheelchair space and 1 companion seat (aligned with front edge of bleachers). Move bleachers as required away from dugout and ballfield fencing to maintain 36" min. wide accessible route (44" min. per Code). Relocate trash and recycling receptacles as required (ensuring 30"x48" level clear floor space adjacent opening). Costs are for 2 signs, not for moving the bleachers.	Existing bleachers provide seating for approximately 18 people - 1 wheelchair space and 1 companion space required. Quantity required: For (4 to 25) fixed seats= 1 space; (26 to 50) = 2 spaces; (51 to 150) = 4 spaces; (151 to 300) = 5 spaces; (301 to 500) = 6 spaces; (501 to 5000) = 6 plus 1 for each 150 of fraction thereof between 501 through 5000 spaces; (5001 and over) = 36 plus 1 for each 200 or fraction thereof over 5000 spaces.	P	O	1	2	2	EA	\$102
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ITEM 4: EAST BALLFIELD - NORTH BLEACHERS, FERROGLIA FIELDS	Designate min. 66"x48" space between bleachers and dugout for 1 wheelchair space and 1 companion seat (aligned with front edge of bleachers). Move bleachers as required away from dugout and ballfield fencing to maintain 36" min. wide accessible route (44" min. per Code). Relocate trash and recycling receptacles as required (ensuring 30"x48" level clear floor space adjacent opening). Costs are for 2 signs, not for moving the bleachers.	Existing bleachers provide seating for approximately 18 people - 1 wheelchair space and 1 companion space required. Quantity required: For (4 to 25) fixed seats= 1 space; (26 to 50) = 2 spaces; (51 to 150) = 4 spaces; (151 to 300) = 5 spaces; (301 to 500) = 6 spaces; (501 to 5000) = 6 plus 1 for each 150 of fraction thereof between 501 through 5000 spaces; (5001 and over) = 36 plus 1 for each 200 or fraction thereof over 5000 spaces.	P	O	1	2	2	EA	\$102
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Assembly Areas - Indoor / Outdoor								
ITEM 5: WEST BALLFIELD - SOUTH BLEACHERS, FERROGLIA FIELDS	Designate min. 66"x48" space between bleachers and dugout for 1 wheelchair space and 1 companion seat (aligned with front edge of bleachers). Move bleachers as required away from dugout and ballfield fencing to maintain 36" min. wide accessible route (44" min. per Code). Relocate trash and recycling receptacles as required (ensuring 30"x48" level clear floor space adjacent opening). Costs are for 2 signs, not for moving the bleachers.	Existing bleachers provide seating for approximately 18 people - 1 wheelchair space and 1 companion space required. Quantity required: For (4 to 25) fixed seats= 1 space; (26 to 50) = 2 spaces; (51 to 150) = 4 spaces; (151 to 300) = 5 spaces; (301 to 500) = 6 spaces; (501 to 5000) = 6 plus 1 for each 150 of fraction thereof between 501 through 5000 spaces; (5001 and over) = 36 plus 1 for each 200 or fraction thereof over 5000 spaces.	P	O	1	2	2 EA	\$102
ITEM 6: WEST BALLFIELD - WEST BLEACHERS, FERROGLIA FIELDS	Designate min. 66"x48" space between bleachers and dugout for 1 wheelchair space and 1 companion seat (aligned with front edge of bleachers). Move bleachers as required away from dugout and ballfield fencing to maintain 36" min. wide accessible route (44" min. per Code). Relocate trash and recycling receptacles as required (ensuring 30"x48" level clear floor space adjacent opening). Costs are for 2 signs, not for moving the bleachers.	Existing bleachers provide seating for approximately 18 people - 1 wheelchair space and 1 companion space required. Quantity required: For (4 to 25) fixed seats= 1 space; (26 to 50) = 2 spaces; (51 to 150) = 4 spaces; (151 to 300) = 5 spaces; (301 to 500) = 6 spaces; (501 to 5000) = 6 plus 1 for each 150 of fraction thereof between 501 through 5000 spaces; (5001 and over) = 36 plus 1 for each 200 or fraction thereof over 5000 spaces.	P	O	1	2	2 EA	\$102

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
Barrier	482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.	Citation	2010 ADA Stds. 902.1, 226, 226.2				
ITEM 7: PICNIC TABLES AT CENTRAL GREEN SPACE	Replace 3 picnic tables with accessible picnic tables (or remove 1 bench on 3 existing picnic tables to make them accessible). Ensure mounting plate is recessed in slab or does not encroach on toe space 17" min. deep from front edge of table.	Picnic table tops shall be no higher than 34" AFF, and with 27" high, 30" wide, 8" deep knee space, and 17" deep toe space. Ensure mounting plate does not encroach on toe space; change in level is not permitted within 30"x48" clear floor space at accessible seating. Existing condition: 1 accessible picnic table is provided; 4 are required.	P	O	1	2	3	EA \$7,500
ITEM 8: PICNIC TABLES IN & AROUND PICNIC SHELTER	Replace 3 picnic tables with accessible picnic tables (or remove 1 bench on 3 existing picnic tables to make them accessible). Ensure mounting plate is recessed in slab or does not encroach on toe space 17" min. deep from front edge of table.	Picnic table tops shall be no higher than 34" AFF, and with 27" high, 30" wide, 8" deep knee space, and 17" deep toe space. Ensure mounting plate does not encroach on toe space; change in level is not permitted within 30"x48" clear floor space at accessible seating. Existing condition: 1 accessible picnic table is provided; 4 are required.	P	O	1	2	3	EA \$7,500

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Doors								
Barrier	611	The single door or single leaf of a double leaf door lacks the min. 32" clear opening width measured between the open door face and door stop.	Citation	2010 ADA Stds. 404.2.3, 404.2.2				
ITEM 9: EXTERIOR GATE TO EAST DUGOUT - EAST BALL DIAMOND, FERROGLIA FIELDS	Widen the opening and install a wider gate (with min. 32" clear opening width).	Gate shall provide min. clear width of 32" when gate is opened 90 degrees. Existing condition: Gate opening measured 29" wide.	P	O	1	2	1 EA	\$575
ITEM 10: EXTERIOR GATE TO NORTH DUGOUT - EAST BALL DIAMOND, FERROGLIA FIELDS	Widen the opening and install a wider gate (with min. 32" clear opening width).	Gate shall provide min. clear width of 32" when gate is opened 90 degrees. Existing condition: Gate opening measured 29" wide.	P	O	1	2	1 EA	\$575
ITEM 11: EXTERIOR GATE TO SOUTH DUGOUT - WEST BALL DIAMOND, FERROGLIA FIELDS	Widen the opening and install a wider gate (with min. 32" clear opening width).	Gate shall provide min. clear width of 32" when gate is opened 90 degrees. Existing condition: Gate opening measured 28-1/2" wide.	P	O	1	2	1 EA	\$575
ITEM 12: EXTERIOR GATE TO WEST DUGOUT - WEST BALL DIAMOND, FERROGLIA FIELDS	Widen the opening and install a wider gate (with min. 32" clear opening width).	Gate shall provide min. clear width of 32" when gate is opened 90 degrees. Existing condition: Gate opening measured 29" wide.	P	O	1	2	1 EA	\$575
Barrier	612	The door lacks the required maneuvering space, or the maneuvering space is not level.	Citation	2010 ADA Stds. 404.2.4				
ITEM 13: DIAMOND GATE TO EAST DUGOUT - EAST BALL DIAMOND, FERROGLIA FIELDS	Switch the hinge side of the gate.	Gate from diamond to dugout has no maneuvering space beyond latch side of gate. Maneuvering space shall be 18" min. at latch side and 60" min. perpendicular to gate for pull side of gate, forward approach.	P	O	1	2	1 EA	\$250

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Doors									
Barrier	612	The door lacks the required maneuvering space, or the maneuvering space is not level.	Citation	2010 ADA Stds. 404.2.4					
ITEM 14: DIAMOND GATE TO NORTH DUGOUT - EAST BALL DIAMOND, FERROGLIA FIELDS	Switch the hinge side of the gate.	Gate from diamond to dugout has no maneuvering space beyond latch side of gate. Maneuvering space shall be 18" min. at latch side and 60" min. perpendicular to gate for pull side of gate, forward approach.	P	O	1	2	1	EA	\$250
ITEM 15: DIAMOND GATE TO SOUTH DUGOUT - WEST BALL DIAMOND, FERROGLIA FIELDS	Switch the hinge side of the gate.	Gate from diamond to dugout has no maneuvering space beyond latch side of gate. Maneuvering space shall be 18" min. at latch side and 60" min. perpendicular to gate for pull side of gate, forward approach.	P	O	1	2	1	EA	\$250
ITEM 16: DIAMOND GATE TO WEST DUGOUT - WEST BALL DIAMOND, FERROGLIA FIELDS	Switch the hinge side of the gate.	Gate from diamond to dugout has no maneuvering space beyond latch side of gate. Maneuvering space shall be 18" min. at latch side and 60" min. perpendicular to gate for pull side of gate, forward approach.	P	O	1	2	1	EA	\$250
Barrier	622	The existing door does not have a smooth surface a minimum of 10" from the floor or exterior surface and/or the kick plate installed is not capped.	Citation	2010 ADA Stds. 404.2.10					
ITEM 17: RESTROOMS AT FERROGLIA FIELDS	Provide new kick plates on the push side of the door 10" high.	Doors shall have smooth surface full width of door up to 10" min. AFF. Any variation of door surface (such as edge of kick plate) shall not exceed 1/16". Existing condition: Kick plate measured 7-1/2" AFF.	P	O	1	1	2	EA	\$450

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Drinking Fountains

Barrier	751	There are not a min. of 2 water fountains provided OR there is not a water fountain that meets the requirements for both wheelchair accessibility and for standing persons (hi-low).						
			Citation	2010 ADA Stds. 211.2				

ITEM 18: EAST BALLFIELD - NORTH DUGOUT, FERROGLIA FIELDS	Replace the fountain with a hi-low model.	Where provided, min. 2 water fountains are required. 1 is required to meet 602.1 - 602.6 for clear floor space, height, operable parts, and water flow, and 1 is required to meet 602.7 which is height for standing persons. If a water fountain is provided that meets both requirements, it may be substituted for 2 fountains. Spout outlets shall be 36" max. AFF or ground. Drinking fountains for standing persons: Spout outlets of drinking fountains for standing persons shall be 38" min. and 43" max. AFF. Existing condition: Only low level drinking fountain is provided.	P	O	1	4	1	EA	\$4,400
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ITEM 19: NORTH OF TENNIS COURTS	Replace the fountain with a hi-low model.	Where provided, min. 2 water fountains are required. 1 is required to meet 602.1 - 602.6 for clear floor space, height, operable parts, and water flow, and 1 is required to meet 602.7 which is height for standing persons. If a water fountain is provided that meets both requirements, it may be substituted for 2 fountains. Spout outlets shall be 36" max. AFF or ground. Drinking fountains for standing persons: Spout outlets of drinking fountains for standing persons shall be 38" min. and 43" max. AFF. Existing condition: Only low level drinking fountain is provided.	P	O	1	4	1	EA	\$4,400
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Drinking Fountains								
ITEM 20: PICNIC SHELTER	Replace the fountain with a hi-low model.	Where provided, min. 2 water fountains are required. 1 is required to meet 602.1 - 602.6 for clear floor space, height, operable parts, and water flow, and 1 is required to meet 602.7 which is height for standing persons. If a water fountain is provided that meets both requirements, it may be substituted for 2 fountains. Spout outlets shall be 36" max. AFF or ground. Drinking fountains for standing persons: Spout outlets of drinking fountains for standing persons shall be 38" min. and 43" max. AFF. Existing condition: Only low level drinking fountain is provided.	P	O	1	4	1 EA	\$4,400
ITEM 21: RESTROOMS AT FERROGLIA FIELDS	Replace the fountain with a hi-low model.	Where provided, min. 2 water fountains are required. 1 is required to meet 602.1 - 602.6 for clear floor space, height, operable parts, and water flow, and 1 is required to meet 602.7 which is height for standing persons. If a water fountain is provided that meets both requirements, it may be substituted for 2 fountains. Spout outlets shall be 36" max. AFF or ground. Drinking fountains for standing persons: Spout outlets of drinking fountains for standing persons shall be 38" min. and 43" max. AFF. Existing condition: Only low level drinking fountain with rim at 35" AFF and spout at 37" AFF is provided. Dog fountain is acceptable, but not required.	P	O	1	4	1 EA	\$4,400

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Drinking Fountains								
ITEM 22: SOUTH OF TENNIS COURTS	Replace the fountain with a hi-low model.	Where provided, min. 2 water fountains are required. 1 is required to meet 602.1 - 602.6 for clear floor space, height, operable parts, and water flow, and 1 is required to meet 602.7 which is height for standing persons. If a water fountain is provided that meets both requirements, it may be substituted for 2 fountains. Spout outlets shall be 36" max. AFF or ground. Drinking fountains for standing persons: Spout outlets of drinking fountains for standing persons shall be 38" min. and 43" max. AFF. Existing condition: Only low level drinking fountain is provided.	P	O	1	4	1 EA	\$4,400
ITEM 23: WEST BALLFIELD - SOUTH DUGOUT, FEROGLIA FIELDS	Replace the fountain with a hi-low model.	Where provided, min. 2 water fountains are required. 1 is required to meet 602.1 - 602.6 for clear floor space, height, operable parts, and water flow, and 1 is required to meet 602.7 which is height for standing persons. If a water fountain is provided that meets both requirements, it may be substituted for 2 fountains. Spout outlets shall be 36" max. AFF or ground. Drinking fountains for standing persons: Spout outlets of drinking fountains for standing persons shall be 38" min. and 43" max. AFF. Existing condition: Only low level drinking fountain is provided.	P	O	1	4	1 EA	\$4,400

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Exterior Accessible Routes / Entries								
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 24: ACCESSIBLE ROUTE TO PICNIC TABLE	Provide 44" wide (per Code) asphalt paving from existing accessible picnic table (in northwest group) to 1 grille and 1 more picnic table. Provide additional accessible route from path to picnic table in south group nearest pathway and then to 1 grille, 1 more table, and trash receptacles. Any slopes exceeding 5% requires a compliant ramp with complying handrails and landings.	Accessible route is provided to 1 of 8 picnic tables, no grilles and no trash receptacles.	P	O	1	2	168 LF	\$5,934
Barrier	512	The object is a protruding object, which projects more than 4" into the accessible route with its leading edge between 27" and 80" high, making it not cane detectable, with exception to handrails which are allowed 4-1/2" projection.	Citation	2010 ADA Stds. 307.2, 204				
ITEM 25: BOTTLE FILLER OUTSIDE RESTROOMS - FERROGLIA FIELDS	Provide cane detection below at 27" max. above slab.	An object may not protrude more than 4" into an accessible path if its leading edge is between 27" and 80" AFF. Existing condition: Wall mounted bottle filler outside restrooms protrudes 7-1/2" from wall and bottom edge of unit measured 31-1/4" above slab.	P	O	1	1	2 LF	\$173
Barrier	518	The indicated object exceeds 48" high for a side approach and a front approach OR lacks a level 30"x48" clear floor space OR requires gripping and twisting.	Citation	2010 ADA Stds. 308				
ITEM 26: BIKE RACK AT RESTROOMS AT FERROGLIA FIELDS	Replace portion of concrete slab for 30"x48" clear floor space directly adjacent bike rack and sidewalk.	Paving at bike rack near restroom building is too steep for 30"x48" clear floor space to access bike rack.	P	O	1	4	10 SF	\$350

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Exterior Accessible Routes / Entries								
Barrier	522	Where an accessible bench is to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat and 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation	2010 ADA Stds. 903				
ITEM 27: BENCH ALONG GREENWAY TRAIL - FERROGLIA FIELDS	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of bench along trail (nearest to West Ballfield, as other bench has step up to pad).	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches - provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: bench is along street sidewalk, but slab is too small for clear floor space on either end.	P	O	7	2	10 SF	\$250
ITEM 28: BENCH AT RESTROOMS AT FERROGLIA FIELDS	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of the bench.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches - provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: Concrete slab in front of concrete wall measures only 47" deep on both ends of bench, 1" too short for clear floor space on either end.	P	O	7	2	8 SF	\$200
ITEM 29: BENCH AT SOUTHEAST TENNIS COURT ENTRY	Recommendation: Remove existing paving and provide level clear floor space (concrete pad) on sidewalk side of bench.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches - provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: Clear floor space at end of bench has slope of 5% on sidewalk side (and too narrow at tennis court side).	P	O	7	2	10 SF	\$350
ITEM 30: BENCH NEAR WEST ENTRY FROM 66TH AVENUE NE	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of the bench.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches - provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: bench is along street sidewalk, but slab is too small for clear floor space on either end.	P	O	7	2	10 SF	\$250

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Exterior Accessible Routes / Entries									
ITEM 31: BENCH NORTHEAST OF TENNIS COURTS	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of the bench.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches - provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: bench is along street sidewalk, but slab is too small for clear floor space on either end.	P	O	7	2	10	SF	\$250
ITEM 32: SINGLE BENCH ALONG ROAD FACING WEST SOCCER FIELD	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of the bench.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches - provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: bench is along street sidewalk, but slab is too small for clear floor space on either end.	P	O	7	2	10	SF	\$250

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Play Areas

Barrier	5081	The ramp to the play area exceeds 1:12 slope, or there is no accessible route to the play area.						
			Citation	2010 ADA Stds. 206.2.17				

ITEM 33: PLAY AREA NEAR FEROGLIA FIELDS	Remove and replace curb ramp with one that complies with slope and top landing.	Curb ramp shall be 44" min. wide (per Code) with running slope not to exceed 8.33% (1:12) and with flares on both sides with slopes not to exceed 10.0% (1:10). Top landing shall be 36" min. deep and level (max. slope of 1:48 in any direction). Existing condition: Curb ramp has flares with slopes measuring up to 14%, top landing 24" deep and a step down into play areas measuring 2" - 3" high.	P	O	1	1	8	LF	\$2,800
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Barrier	843	The ground surface may not meet ASTM F 1951 or ASTM F 1292 for resilience and accessible route.						
			Citation	2010 ADA Stds. 1008.2.6				

ITEM 34: PLAY AREA NEAR FEROGLIA FIELDS	Adopt a policy to maintain and inspect the ground surfaces to ensure compliance with ASTM F 1951 and ASTM F 1292 for Use Zones. Also, ensure that surface is level with bottom of curb ramp into play area (currently steps down a few inches).	1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1).	P	O	1	2	1	EA	\$0
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Play Areas									
ITEM 35: SAFARI PLAYGROUND	Adopt a policy to maintain and inspect the ground surfaces to ensure compliance with ASTM F 1951 and ASTM F 1292 for Use Zones. Also, ensure that surface is level with bottom of curb ramp into play area (currently steps down a few inches).	1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1).	P	O		1	2	1 EA	\$0

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Restrooms / Bathrooms								
Barrier	675	The stall door swing encroaches on clear floor space within stall, or the door is not located on the wide side of the stall, or the door is more than 4" from side panel.	Citation	2010 ADA Stds. 604.8.1.2				
ITEM 36: RESTROOMS AT FEROGLIA FIELDS - ACCESSIBLE STALL DOOR	Revise the front stall partitions to relocate doors to the wide side of the stalls with 4" max. hinge side panels.	Doors to accessible stalls are required to be on the open side of the stall to provide door maneuvering space on the inside of the stall. Existing condition: Doors open on toilet side of accessible stalls in both restrooms.	P	O	1	1	2 EA	\$3,280
Barrier	678	The toilet is not 16" - 18" dimension from centerline of toilet to side wall.	Citation	2010 ADA Stds. 604.2				
ITEM 37: MEN'S RESTROOM AT FEROGLIA FIELDS	Relocate the wall-hung toilet to be 16" - 18" from centerline to side wall by revising plumbing. Repair wall finish.	Wall-hung toilet measures 18-1/2" from centerline of toilet to side wall.	P	O	1	3	1 EA	\$870
Barrier	681	The existing grab bars are non-compliant in size, configuration, or mounting height.	Citation	2010 ADA Stds. Fig. 604.5.2, 609.2, 604.9				
ITEM 38: RESTROOMS AT FEROGLIA FIELDS - ACCESSIBLE STALLS	Replace with new grab bars.	Grab bars should be 1-1/4" - 2" in diameter, 33" - 36" AFF, with 1-1/2" min. between the wall and the grab bar. Horizontally, grab bar on rear wall shall extend from toilet centerline 12" min. toward side wall and 24" min. away from side wall. Side wall grab bar shall begin 12" max. from rear wall and extend 54" min. from rear wall. Existing condition: Side wall grab bar extends 52" from rear wall in Women's Restroom & 52-1/2" from rear wall in Men's Restroom.	P	O	1	3	2 EA	\$2,600

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

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Aubrey Davis Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	682	The flush controls are not located at open side of toilet, or controls require gripping, twisting, or pinching to operate.	Citation	2010 ADA Stds. 604.6				
ITEM 39: WOMEN'S RESTROOM AT FERROGLIA FIELDS - ACCESSIBLE STALL	Repair or replace push button flush control as required.	Flush controls shall comply with Section 309.4 in regards to 5 lbs. max. force required to operate. Existing condition: Flush control is difficult to operate.	P	O	1	3	1	EA \$500
Barrier	684	The bathroom contains more than one urinal and the rim exceeds 17" high or is not 13-1/2" deep.	Citation	2010 ADA Stds. 605.2				
ITEM 40: MEN'S RESTROOM AT FERROGLIA FIELDS	Lower one urinal.	Cost includes lowering flush valve at the same time. Urinal shall be mounted with the rim no higher than 17" AFF and the urinal should extend 13-1/2" min. Existing condition: Two urinals are both installed with rim at 24-1/2" AFF.	P	O	1	3	1	EA \$1,910
Barrier	692	The mirror exceeds max. 40" high measured from the bottom of the reflecting surface OR mirrors not located above countertops exceed 35" high.	Citation	2010 ADA Stds. 603.3				
ITEM 41: RESTROOMS AT FERROGLIA FIELDS	Relocate mirrors to above lavatories with bottom edge of reflective surface at 40" max. AFF.	Mirrors above countertops are required to be 40" max. to the reflective surface. Wall mounted mirrors are required to be 35" max. and 74" min. to the reflected surface (tall mirrors). Existing condition: Mirrors are size for installation above lavatory but installed on side wall with bottom edge at 44" AFF in Women's Restroom and 44-1/2" AFF in Men's Restroom.	P	O	1	3	2	EA \$300

See Survey Legend and ADA Overview Report Section for more important information.

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Aubrey Davis Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	694	The specified dispensers (soap, towel, seat cover, sanitary napkin, or baby changing), outlets, or controls exceed max. reach range of 48" high for a front or side approach, or lack clear floor space.	Citation	2010 ADA Stds. 308.3				
ITEM 42: RESTROOMS AT FEROGLIA FIELDS	Recommend no change. The items are not being altered and measure less than 54" AFF for a side approach, which meets the 1991 Standards (if restrooms were constructed to that earlier standard).	If altered, per 2010 Standards, the item should be below 48" AFF. Many building codes are more stringent and have a max. 48" reach for any approach, which should be applied. Dispensers are required to be max. 48" high for a front and parallel approach. (Some building codes such as WAC 51-50/IBC require lower mounting heights according to Table 603.6, which should be applied in these jurisdictions.) Existing condition: Hand dryer push button controls measure 49-1/2" AFF.	P	O	8	2	2 EA	\$0
ITEM 43: RESTROOMS AT FEROGLIA FIELDS - ACCESSIBLE TOILET STALLS	Relocate the seat cover dispensers from above the grab bar to a location within reach range.	Dispensers are required to be max. 48" high for a front and parallel approach. Existing condition: Dispensers are located too low above grab bar, but with outlet too high for compliant reach range.	P	O	1	3	2 EA	\$300
Total for Building: Aubrey Davis Park								\$66,994

See Survey Legend and ADA Overview Report Section for more important information.

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Aubrey Davis Park

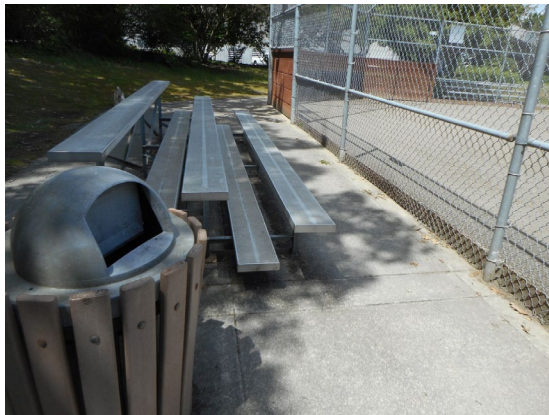
Upper Left: Accessible parking sign is required on westernmost stall in the western parking lot

Upper Right: 30"x48" clear floor space is required on one end of bike rack.

Lower Left: 30"x48" clear floor space is required on one end of bench.

Aubrey Davis Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.1



Aubrey Davis Park

- Upper Left: Bleachers require wheelchair seating (with signage).
- Upper Right: Only low level drinking fountain is provided. Hi-low drinking fountain required.
- Lower Left: Team dugout gates require 32" min. wide openings with maneuvering space on pull side.

Aubrey Davis Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.2



Aubrey Davis Park

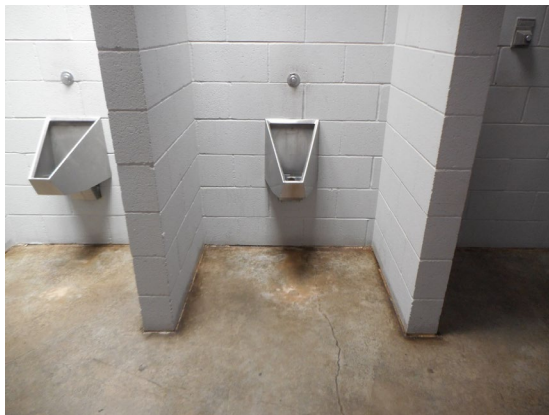
Upper Left: Ground surfaces of all play areas must be compliant and require periodic inspections & maintenance.

Upper Right: A compliant ramp is required for the play area east of Feroglia Fields.

Lower Left: 5% of picnic table seating should be accessible.

Aubrey Davis Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.3

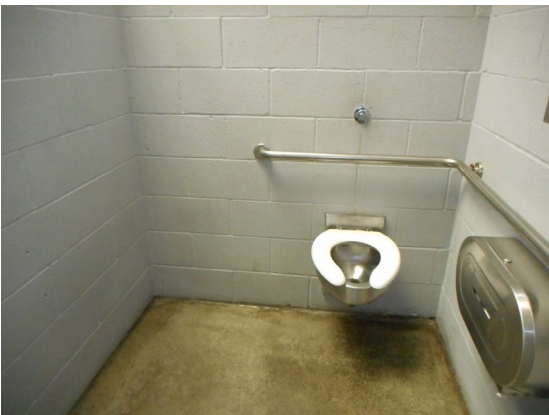
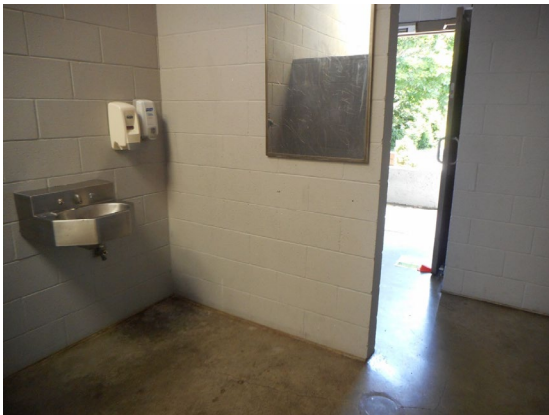


Aubrey Davis Park

- Upper Left: Only low level drinking fountain is provided. Hi-low drinking fountain required.
- Upper Right: Toilet in Men's restroom by Feroglia Fields should be relocated (centerline is in excess of 18" from corner).
- Lower Left: 1 urinal in Men's restroom by Feroglia Fields should be lowered to accessible height (17" max. AFF).

Aubrey Davis Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.4



Aubrey Davis Park

Upper Left: Mirrors in both restrooms by Feroglia Fields should be relocated to above sinks at 40" max. AFF.

Upper Right: Doors are located on wrong side of accessible stalls at restrooms by Feroglia Fields and should be relocated.

Lower Left: Flush control in Women's restroom by Feroglia Fields should be repaired or replaced due to operation difficulty.

Aubrey Davis Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.5

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Doors								
Barrier	619	The door requires excessive force to operate, or the door closes too quickly.	Citation	2010 ADA Stds. 404.2.8, 404.2.9				
ITEM 1: MEN'S RESTROOM	Adjust the exterior door closer to meet min. required force.	Existing entry door requires 10 lbs. force to open. Door closers shall be adjusted so that from an open position of 90 degrees, the time required to move the door to a position of 12 degrees from the latch is 5 secs. min.	P	O	1	1	1	EA \$150
ITEM 2: WOMEN'S RESTROOM	Adjust the exterior door closer to meet min. required force.	Existing entry door requires 8 lbs. force to open. Door closers shall be adjusted so that from an open position of 90 degrees, the time required to move the door to a position of 12 degrees from the latch is 5 secs. min.	P	O	1	1	1	EA \$150

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Drinking Fountains								
Barrier	751	There are not a min. of 2 water fountains provided OR there is not a water fountain that meets the requirements for both wheelchair accessibility and for standing persons (hi-low).	Citation	2010 ADA Stds. 211.2				
ITEM 3: PARK ENTRY AREA	Replace the fountain with a hi-low model.	Where provided, min. 2 water fountains are required. 1 is required to meet 602.1 - 602.6 for clear floor space, height, operable parts, and water flow, and 1 is required to meet 602.7 which is height for standing persons. If a water fountain is provided that meets both requirements, it may be substituted for 2 fountains. Spout outlets shall be 36" max. AFF or ground. Drinking fountains for standing persons: Spout outlets of drinking fountains for standing persons shall be 38" min. and 43" max. AFF. Existing condition: A single non-accessible fountain is provided.	P	O	1	4	1	EA \$4,400
Barrier	754	The drinking fountain lacks a 30"x48" clear floor space for a front approach OR the clear floor space slope exceeds 2% in all directions.	Citation	2010 ADA Stds. 602.2				
ITEM 4: PARK ENTRANCE	Remove existing curb and slab and provide level clear floor space under low level fountain of min. size 30"x48" with slope of 2% max. (1:48) max. in any direction.	Curb encroached into clear floor space under low fountain.	P	O	1	4	10	SF \$250

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET	
Interior Accessible Routes									
Barrier	646	The accessible route has cross slopes that exceed max. 2% (1:48).							
			Citation	2010 ADA Stds. 403.3					
ITEM 5: MEN'S RESTROOM	Apply a topping coat on the concrete slab to level it. Slope must be no more that 1:48 (2%).	Slope of existing floor measured in excess of 3%.	P	O	1	2	50	SF \$263	

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	671	The accessible toilet stall lacks the min. required dimensions, or the accessible water closet lacks the min. required 60" wide clear floor space.	Citation	2010 ADA Stds. 604, 213				
ITEM 6: MEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate side toilet partition to provide one compliant accessible stall that meets standard stall size requirements. Budget cost includes removing metal partition with accessories, and replacing with new portion of partition.	2010 Standards requirements for standard stalls: Min. 60" wide x 56" long (at wall mounted toilet), or min. 60" wide x 59" long (at floor mounted toilet). Also, min. 9" high toe clearance is required at all accessible stalls, unless stall depth exceeds 62" for wall hung and 65" for floor mounted toilets is provided. ADA requirements for clear floor space at water closets: Min. 60" wide x min. 56" long (both approaches). Existing condition: Toilet stall is 58" wide - 60" min. is required.	P	O	1	3	1 EA	\$2,180
ITEM 7: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate front toilet partition to provide one compliant accessible stall that meets standard stall size requirements. Budget cost includes removing metal partition with accessories, and replacing with new portion of partition.	2010 Standards requirements for standard stalls: Min. 60" wide x 56" long (at wall mounted toilet), or min. 60" wide x 59" long (at floor mounted toilet). Also, min. 9" high toe clearance is required at all accessible stalls, unless stall depth exceeds 62" for wall hung and 65" for floor mounted toilets is provided. ADA requirements for clear floor space at water closets: Min. 60" wide x min. 56" long (both approaches). Existing condition: Toilet is floor mounted, requiring a min. 59" deep toilet stall - 56" provided.	P	O	1	3	1 EA	\$2,180
Barrier	676	The stall door hardware on both sides requires gripping, twisting, or pinching to operate, which is not accessible, or the door is not self closing.	Citation	2010 ADA Stds. 604.8.1.2				
ITEM 8: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL	Adjust stall door closer.	Existing stall door is not fully self-closing.	P	O	1	3	0 EA	\$0

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	677	The coat hook exceeds 48" high for a front or side approach or the shelves are not mounted 40" min. and 48" max. AFF.	Citation	2010 ADA Stds. 603.4, 308				
ITEM 9: MEN'S RESTROOM - ACCESSIBLE TOILET STALL	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 standards.	If altered, per 2010 Standards, the item should be below 48" AFF. Many Building Codes are more stringent and have a max. 48" reach for any approach, which should be applied.	P	O	8	2	1 EA	\$0
Barrier	678	The toilet is not 16" - 18" dimension from centerline of toilet to side wall.	Citation	2010 ADA Stds. 604.2				
ITEM 10: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate the toilet fixture to measure 16" - 18" from centerline of toilet to side wall using an offset flange.	Existing toilet measured 19" from centerline to side wall.	P	O	1	3	1 EA	\$230
Barrier	679	The toilet seat height is not between 17" - 19" high.	Citation	2010 ADA Stds. 604.4, 604.9				
ITEM 11: MEN'S RESTROOM - ACCESSIBLE TOILET	Install a lift seat. Note that due to this toilet being a stainless steel toilet without a seat, a new toilet may be necessary to be installed for compliance.	Top of existing stainless steel toilet measures 16-1/4" AFF.	P	O	1	3	1 EA	\$210
Barrier	680	The toilet lacks compliant side and/or rear grab bars.	Citation	2010 ADA Stds. 604.5				
ITEM 12: MEN'S RESTROOM - ACCESSIBLE STALL	Reinstall side wall grab bar. Install new grab bar on rear wall.	Grab bars should be 1-1/4" - 2" in diameter, 33" - 36" AFF, with 1-1/2" min. between the wall and the grab bar. Rear grab bar min. 24" long from centerline of toilet at transfer side; side wall grab bar min. 54" long from rear wall. Existing condition: Side wall has a grab bar that needs to be relocated to be 54" min. from the corner (53" measured). Rear wall has no grab bar.	P	O	1	3	1 EA	\$1,150

See Survey Legend and ADA Overview Report Section for more important information.

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Bicentennial Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	680	The toilet lacks compliant side and/or rear grab bars.						
			Citation 2010 ADA Stds. 604.5					
ITEM 13: WOMEN'S RESTROOM - ACCESSIBLE STALL	Install new grab bar on rear wall.	Grab bars should be 1-1/4" - 2" in diameter, 33" - 36" AFF, with 1-1/2" min. between the wall and the grab bar. Rear grab bar min. 24" long from centerline of toilet at transfer side; side wall grab bar min. 54" long from rear wall. Existing condition: Side wall has a compliant grab bar. Rear wall has no grab bar.	P	O	1	3	1	EA \$1,150
Barrier	683	The toilet paper dispenser is not mounted 7" to 9" in front of the toilet edge measured to the center of the fixture, or min. 15" to max. 48" high OR is located less than 12" above the grab bar or less than 1-1/2" below the grab bar.						
			Citation 2010 ADA Stds. 604.7					
ITEM 14: MEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate the dispenser.	The existing toilet paper dispenser is located above the side wall grab bar, within the required 12" clearance.	P	O	1	3	1	EA \$72
ITEM 15: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate the dispenser.	The existing toilet paper dispenser is located above the side wall grab bar, within the required 12" clearance.	P	O	1	3	1	EA \$72
Barrier	692	The mirror exceeds max. 40" high measured from the bottom of the reflecting surface OR mirrors not located above countertops exceed 35" high.						
			Citation 2010 ADA Stds. 603.3					
ITEM 16: MEN'S RESTROOM	Lower the mirror.	Mirrors above countertops are required to be 40" max. to the reflective surface. Existing mirror above sink measures 41" AFF to bottom of reflective surface.	P	O	1	3	1	EA \$150

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	694	The specified dispensers (soap, towel, seat cover, sanitary napkin, or baby changing), outlets, or controls exceed max. reach range of 48" high for a front or side approach, or lack clear floor space.	Citation	2010 ADA Stds. 308.3				
ITEM 17: MEN'S RESTROOM	Relocate or lower the dispensers to compliant heights.	Dispensers are required to be max. 48" high for a front and parallel approach, and 44" max. for a forward reach over an obstruction between 20" and 25" deep. Existing condition: soap dispenser has 22" deep reach to controls mounted at 46" AFF.	P	O	1	3	1 EA	\$150
ITEM 18: MEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate the seat cover dispenser from behind the toilet to a location within reach range.	Dispensers are required to be max. 48" high for a front and parallel approach.	P	O	1	3	1 EA	\$150
ITEM 19: WOMEN'S RESTROOM	Relocate or lower the dispensers.	Dispensers are required to be max. 48" high for a front and parallel approach, and 44" max. for a forward reach over an obstruction between 20" and 25" deep. Existing condition: soap dispenser has 22" deep reach to controls mounted at 46" AFF.	P	O	1	3	1 EA	\$150
ITEM 20: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate the seat cover dispenser from behind the toilet to a location within reach range from clear floor space directly adjacent.	Dispensers are required to be max. 48" high for a forward and parallel approach.	P	O	1	3	1 EA	\$150
ITEM 21: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate or lower the dispensers as required to make way for relocated grab bars.	Existing sanitary disposal unit is located where the required (to be installed) rear grab bar will be located.	P	O	1	3	1 EA	\$150

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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For City of Mercer Island for Transpo

Bicentennial Park

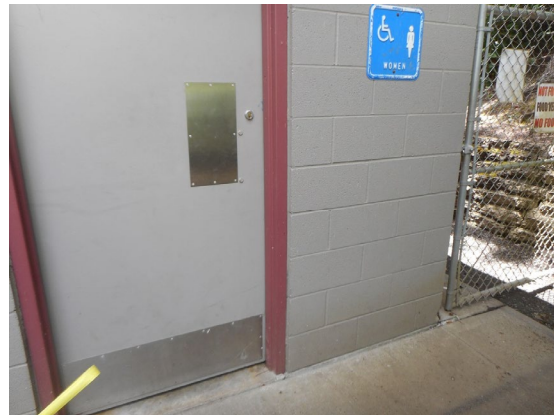
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Signage									
Barrier	713	The permanent room sign lacks raised letters and braille characters OR the raised letters characters do not meet the requirements.	Citation	2010 ADA Stds. 216, 703.3, 703.2, 703.5					
ITEM 22: MEN'S RESTROOM - ENTRY DOOR	Provide new compliant sign at the latch side of the door. New sign to also have the International Symbol of Accessibility.	Signs to have raised and braille characters, high-contrast finish / non-glare surface, and must be mounted at 60" high (measured from baseline of highest tactile character to finish floor) located adjacent to the latch side of the door. Tactile characters shall be 48" min. to baseline of lowest character. Signs not located in public use areas shall not be required to comply with 216. Existing sign does not provide braille.	P	O	1	2	1	EA	\$290
ITEM 23: WOMEN'S RESTROOM - ENTRY DOOR	Provide new compliant sign at the latch side of the door. New sign to also have the International Symbol of Accessibility.	Signs to have raised and braille characters, high-contrast finish / non-glare surface, and must be mounted at 60" high (measured from baseline of highest tactile character to finish floor) located adjacent to the latch side of the door. Tactile characters shall be 48" min. to baseline of lowest character. Signs not located in public use areas shall not be required to comply with 216. Existing sign does not provide braille.	P	O	1	2	1	EA	\$290
Total for Building: Bicentennial Park									\$13,937

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC



Bicentennial Park

- Upper Left: Only low level drinking fountain is provided. Hi-low drinking fountain is required for both wheelchair users and standing persons.
- Upper Right: Restroom signage lacks Braille.
- Lower Left: Women's restroom: toilet location should be adjusted, rear wall grab bar is required, and dispensers should be relocated within accessible reach ranges.

Bicentennial Park

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Bicentennial Park

Upper Left: Men's restroom: toilet seat height is non-compliant, rear wall grab bar is required, dispensers shall be relocated within accessible reach ranges.

Upper Right: Restroom door closers should be adjust due to excessive force required to open.

Lower Left: Women's accessible stall door should be self-closing.

Bicentennial Park
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Boat Launch

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	518	The indicated object exceeds 48" high for a side approach and a front approach OR lacks a level 30"x48" clear floor space OR requires gripping and twisting.	Citation	2010 ADA Stds. 308				
ITEM 1: LIFE JACKET HOOK - INFORMATION SIGN	Lower one hook for each type of life jackets to borrow down to 48" max. accessible height.	A max. 48" and min. 15" reach for any approach, which should be applied. Existing condition: Hooks for life jackets to borrow measured 5'-0" high. Owner/maintenance item.	P	O	1	2	1 EA	\$0
Barrier	522	Where an accessible bench is to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat an 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation	2010 ADA Stds. 903				
ITEM 2: BENCH NEAR SCULPTURE	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of the bench and 44" wide (per Code) paved walkway from existing sidewalk at an angle to ensure compliant running slope of 5% or 1:20 max. (If running slope is greater than 1:20, provide compliant ramp with running slope of 1:12 max. 60" min. long landings top and bottom and continuous handrails both sides with 12" min. extensions beyond top and bottom of ramp.) Assumed length of path (without a ramp) is 30'-0".	Although not required under 2010 ADA scoping, E&A recommends providing a compliant 30"x48" clear floor space to one side of the bench. Existing condition: bench is located in lawn, and no clear floor space is provided.	P	O	1	2	34 LF	\$1,201

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET	
Recreation - Boating Facilities									
Barrier	862	The slope at gangway with LESS than 30'-0" total run at a facility with less than 25 total boat slips exceeds 8.33% OR has cross slope that exceeds 2% OR is a ramp that lacks handrails.							
			Citation	2010 ADA Stds. 1003.2.1					
ITEM 3: GANGWAY TO BOAT LAUNCH PIER	Provide 44" min. (per Code) wide (clear between handrails) aluminum gangway structure with max. running slope of 8.33% or 1:12, or a min. of 30'-0" in length. Slope shall be measured based on median water level of Lake Washington.	Existing condition: Slope of existing gangway to floating boat launch pier measured up to 28% and is less than 30'-0" in length. EXCEPTIONS: 1. Accessible routes serving floating fishing piers and platforms shall be permitted to use Exceptions 1, 2, 5, 6, 7, and 8 in 1003.2.1.2. Where the total length of the gangway or series of gangways serving as part of a required accessible route is 30'-0" min., gangways shall not be required to comply with 405.2 (1:12 slope). Section - 1003.2.1.2: 1. Where an existing gangway or series of gangways is replaced or altered, an increase in the length of the gangway shall not be required to comply with 1003.2 unless required by 202.4. 2. Gangways shall not be required to comply with the max. rise specified in 405.6. 5. Where gangways connect to transition plates, landings specified by 405.7 shall not be required. 6. Where gangways and transition plates connect and are required to have handrails, handrail extensions shall not be required. Where handrail extensions are provided on gangways or transition plates, the handrail extensions shall not be required to be parallel with the ground or floor surface. 7. The cross slope specified in 403.3 and 405.3 for gangways, transition plates, and floating piers that are part of accessible routes shall be measured in the static position. 8. Changes in level complying with 303.3 and 303.4 shall be permitted on the surfaces of gangways and boat launch ramps.	P	O	1	2	1	EA	\$6,000
Total for Building: Boat Launch								\$7,201	

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC



Mercer Island Boat Launch

- Upper Left: Gangway to boat launch pier requires an accessible route.
- Upper Right: 30"x48" clear floor space is required on one side of bench, and an accessible route shall be provided.
- Lower Left: Life jacket hooks are mounted too high. Lower one of each type to 48" max. AFF.

Mercer Island Boat Launch

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Calkins Landing

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Accessible Parking								
Barrier	540	The accessible stall lacks compliant accessible parking signage, or existing signage is not 60" min. high measured to the bottom of sign.	Citation	2010 ADA Stds. 502.6, 703.7.2.1, 216.5				

ITEM 1: LANDING ENTRY	It is assumed that new van accessible parking space will be provided, but that sign is not required because no more than 4 parking spaces will be provided.	Sign displaying the International Symbol of Accessibility with van sign panel should be 60" min. above grade, measured to bottom of signs. Note: Where a total of four or fewer parking spaces, including accessible parking are provided on site, signs are not required.	P	O	1	1	0	EA	\$0
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See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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Calkins Landing

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
Barrier	482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.	Citation	2010 ADA Stds. 902.1, 226, 226.2				

ITEM 2: ACCESSIBLE PICNIC TABLE	Replace table with one providing top surface no more than 34" AFF, and with 27" high, 30" wide, 8" deep knee space, and 17" deep toe space. Alternately, modify table supports to provide the required knee and toe space.	Existing picnic table has support angles with bottom edge at 26" AFF, and are 26" apart. A 30" wide knee space is required at a min. of 27" AFF.	P	O	1	2	1	EA	\$2,500
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See Survey Legend and ADA Overview Report Section for more important information.

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Calkins Landing

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	500	The accessible route with a level change lacks a ramp, or the existing ramp is substantially non-compliant.	Citation	2010 ADA Stds. 303, 303.4				
ITEM 3: STAIRS TO BEACH		Construct a ramp structure with max. 1:12 (8.33%) ramp at the indicated number of locations. Further design study may be required.		P	O	1	2	30 LF \$22,500
		Existing condition: Concrete stairs lead down to the beach and no accessible ramp is provided. Max. ramp slope is 1:12. Continuous handrails on both sides of ramp are required where the rise is greater than 6".						
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 4: ACCESSIBLE ROUTE TO BEACH		Provide 44" min. wide (per Code) concrete paving to the indicated amenities. At any slopes exceeding 5%, provide a compliant ramp with complying handrails and landings.		P	O	1	2	70 LF \$4,032
		Existing site has concrete walk ending at the picnic table. No accessible route is provided beyond picnic table area to the concrete stairs leading to the beach.						
Barrier	522	Where an accessible bench is to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat and 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation	2010 ADA Stds. 903				
ITEM 5: ACCESSIBLE BENCH		Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of the bench.		P	O	7	2	5 SF \$125
		Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches provide compliant 30"x48" clear floor space to one side of the bench. Existing condition: Bench is provided, however no adjacent clear floor space is provided.						
Total for Building: Calkins Landing								\$29,157

See Survey Legend and ADA Overview Report Section for more important information.

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Calkins Landing

- Upper Left: Parking is provided for 3 vehicles, however no accessible parking is provided.
- Upper Right: Knee clearance at accessible picnic table seat is encroached on by steel supports.
- Lower Left: Bench requires an adjacent clear floor space at one end.

Calkins Landing

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Calkins Landing

Upper Left: Accessible sidewalk ends at picnic table.

Upper Right: No accessible route is provided to the beach.

Lower Left: No accessible route is provided to the beach.

Calkins Landing

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.2

ADA SURVEY RESULTS
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Clarke Beach

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LOCATION	RECOMMENDATION	COMMENTS	CITATION	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements									
Barrier	482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.	2010 ADA Stds. 902.1, 226, 226.2						

ITEM 1: ACCESSIBLE PICNIC TABLES	Assuming 6 people per picnic table, designate 4 existing tables (dispersed throughout the park) as accessible by replacing sloped paving below one end of table with "level" clear floor space (slope not to exceed 1:48) ensuring knee space is 30" min. wide and 27" min. high. Provide accessible route 44" min. wide (per Code) to nearest walkway (price assumes 5'-0" long for all 4 tables). Add wooden extension to end of tables to provide toe space 17" min. deep. If tables are not mounted deep enough, or if they cannot be retrofitted, replace 4 of the 11 tables with accessible type (Budget \$10,000.00 at \$2500.00 EA).	Of a total of 11 existing picnic tables embedded in paving, 10 have knee space with height 1-1/2" - 3" too low, all have toe space approximately 3" too shallow and most have clear floor space that is too steep.	P	O	1	2	4	EA	\$8,000
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See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

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Clarke Beach

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Drinking Fountains									
Barrier	751	There are not a min. of 2 water fountains provided OR there is not a water fountain that meets the requirements for both wheelchair accessibility and for standing persons (hi-low).	Citation	2010 ADA Stds. 211.2					
ITEM 2: PICNIC AREA NEAR PARKING LOT	Replace the fountain with a hi-low model with new 30"x48" min. clear floor space near new ramp landing.	Where provided, min. 2 water fountains are required. 1 is required to meet 602.1 - 602.6 for clear floor space, height, operable parts, and water flow, and 1 is required to meet 602.7 which is height for standing persons. If a water fountain is provided that meets both requirements, it may be substituted for 2 fountains. Spout outlets shall be 36" max. AFF or ground. Drinking fountains for standing persons: Spout outlets of drinking fountains for standing persons shall be 38" min. and 43" max. AFF. Existing condition: Only one drinking fountain is provided which is low, not operable and has no clear floor space.	P	O	1	4	1	EA	\$4,650
ITEM 3: RESTROOMS NEAR BEACH	Replace the fountain with a hi-low model with new 30"x48" min. clear floor space near new ramp landing.	Where provided, min. 2 water fountains are required. 1 is required to meet 602.1 - 602.6 for clear floor space, height, operable parts, and water flow, and 1 is required to meet 602.7 which is height for standing persons. If a water fountain is provided that meets both requirements, it may be substituted for 2 fountains. Spout outlets shall be 36" max. AFF or ground. Drinking fountains for standing persons: Spout outlets of drinking fountains for standing persons shall be 38" min. and 43" max. AFF. Existing condition: Only drinking fountain is provided which is not operable and has steep clear floor space.	P	O	1	4	1	EA	\$4,650

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	502	The ramp slope exceeds max. 1:12 (8.33%), or the ramp is less than 36" wide measured between the handrails.	Citation	2010 ADA Stds. 405.2, 405.5				
ITEM 4: RESTROOMS AT BEACH	Remove existing paving and provide ramp (assumed 24'-0" long and 48" wide) with conforming slope, 60" min. long landings at top and bottom, and handrails both sides with 12" min. extensions at top and bottom of ramp.	Existing approach to restrooms from walkway is too steep for accessible route. Max. permissible slope is 1:12 (8.33%). Cross slope and slopes at landings shall be 1:48 (2%) max.	P	O	1	1	24	LF \$12,400
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 5: ACCESSIBLE PICNIC TABLE NEAR PARKING LOT	Provide asphalt paved path 44" min. wide (per Code) from slab under accessible picnic table to nearest accessible route (assumed length 30').	Locate one accessible picnic table directly adjacent paved circulation route; locate other accessible picnic table deeper into lawn (assume 20' from paved circulation route).	P	O	1	2	30	LF \$1,060
ITEM 6: BBQ GRILLE NEAR PARKING LOT	Provide asphalt paved path 44" min. wide (per Code) from clear floor space at BBQ grille to nearest accessible picnic table (assumed 10').	Locate one accessible picnic table directly adjacent paved circulation route; locate other accessible picnic table deeper into lawn (assume 20' from paved circulation route).	P	O	1	2	10	LF \$353

See Survey Legend and ADA Overview Report Section for more important information.

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Clarke Beach

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET	
Exterior Accessible Routes / Entries									
Barrier	518	The indicated object exceeds 48" high for a side approach and a front approach OR lacks a level 30"x48" clear floor space OR requires gripping and twisting.	Citation	2010 ADA Stds. 308					
ITEM 7: BBQ GRILL NEAR BEACH	Provide new concrete paving for clear floor space adjacent BBQ grille closest to designated accessible picnic table. Ensure clear floor space has 2% max. cross slope (1:48) and 44" wide (per Code) accessible route from paved walkway (assumed 10'-0" long).	Existing BBQ grilles have no paved clear floor space adjacent.	P	O	1	4	14	SF \$350	
ITEM 8: BBQ GRILL NEAR PARKING LOT	Provide new concrete paving for clear floor space adjacent BBQ grille with a 2% max. cross slope (1:48) and 44" wide (per Code) accessible route from entry to play area.	Clear floor space adjacent BBQ grille measured too steep.	P	O	1	4	12	SF \$300	
ITEM 9: FISHING LINE RECEPTACLE - FISHING PIER AT SOUTH END OF PARK	Lower the item to 48" max. accessible height.	A max. 48" and min. 15" reach for any approach, which should be applied. Existing condition: Recycling receptacle for fishing line measured 5'-0" high. Owner/Maintenance item.	P	O	1	2	1	EA \$0	
ITEM 10: RESTROOM SIGNS - RESTROOMS NEAR BEACH	Provide new concrete paving for clear floor space adjacent signage for both restrooms with a 2% max. cross slope (1:48) adjacent paved walkway.	No paved clear floor space is provided adjacent signage.	P	O	1	4	20	SF \$500	

See Survey Legend and ADA Overview Report Section for more important information.

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Clarke Beach

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
ITEM 11: TRASH AND HOT COAL RECEPTACLES NEAR BEACH	Provide new concrete paving for clear floor space adjacent trash and hot coal receptacles with a 2% max. cross slope (1:48) adjacent paved walkway.	Clear floor space adjacent opening of trash and hot coal receptacles are not paved (i.e., not stable, firm, or slip resistant).	P	O	1	4	20 SF	\$500
Barrier	522 Where an accessible bench is to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat an 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation 2010 ADA Stds. 903						
ITEM 12: BENCH AT SAND PLAY AREA	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of one bench plus accessible route from adjacent paved walkway (assumed 5'-0" long).	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches - provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: 2 benches at perimeter of sand play area, but no slab is provided at end of benches nor is accessible route provided.	P	O	1	2	28 SF	\$700
ITEM 13: CONTINUOUS BENCH AT NORTH PIER	Recommendation: Cut out portion of continuous bench for 2 wheelchair spaces and ensure level clear floor space (30"x48" min.) between sections of bench (1 clear floor space shall be along end of pier).	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of bench seating, provide a compliant 30"x48" clear floor space to one side of the bench. For a continuous bench, provide occasional gaps for clear floor space with representative orientations and views. Existing condition: Continuous bench along length of one side and end of north pier, but no clear floor spaces are provided along the bench length and the bench ends at the edge of the pier.	P	O	1	2	1 EA	\$1,500

See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
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For City of Mercer Island for Transpo

Clarke Beach

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	698	The restroom is substantially inaccessible - lacks overall turning space, clear floor space at fixtures, and/or compliant fixtures and dispensers.	Citation	2010 ADA Stds. 603				
ITEM 14: RESTROOMS NEAR BEACH	Demolish the interior fixture layout and completely renovate the restroom and dressing room within its current footprint.	Restrooms and dressing rooms are substantially non-compliant requiring significant renovation. Cost shown is an allowance, until further design studies are carried out.	P	O	1	3	1	EA \$35,000
Total for Building: Clarke Beach								\$69,963

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC



Clarke Beach Park

- Upper Left: Hi-low drinking fountain required adjacent to restrooms.
- Upper Right: Hi-low drinking fountain required adjacent to upper picnic area.
- Lower Left: An accessible route is lacking to picnic table in upper picnic area.

Clarke Beach Park

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Clarke Beach Park

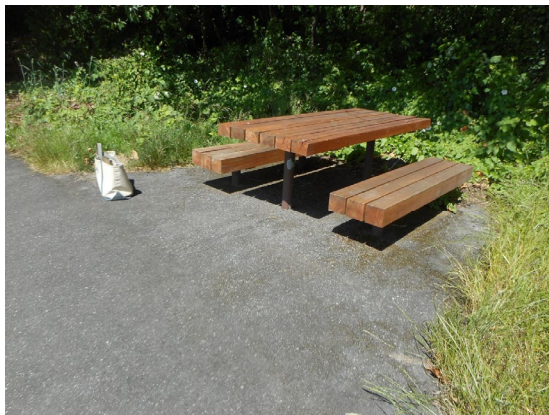
Upper Left: Route to restrooms has an excessive slope.

Upper Right: Restroom signage lacks an adjacent clear floor space below.

Lower Left: 30"x48" clear floor space is required along each leg of the pier's continuous bench.

Clarke Beach Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.2

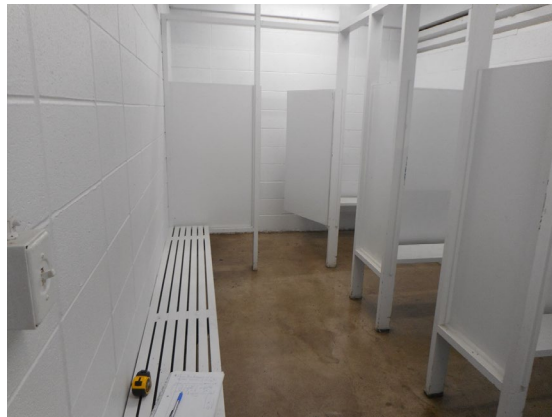


Clarke Beach Park

- Upper Left: 30"x48" clear floor space, paved and level, is required at BBQ grill closest to accessible picnic table.
- Upper Right: 30"x48" clear floor space, paved and level, is required at one end of one of the benches by the sand play area.
- Lower Left: 5% of picnic tables in each seating area require an accessible seat.

Clarke Beach Park

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Clarke Beach Park

Upper Left: Restrooms are substantially non-accessible. Accessible stall in each restroom is non-compliant in size, grab bars are not compliant, flush control in Women's is incorrectly located, turn-around not provided in Men's restroom. Other issues were recorded.

Upper Right: Changing rooms are substantially non-accessible. Women's changing room: no turn-around space is provided, and changing cubicles are not compliant in size. Men's changing room: non-compliant bench.

Clarke Beach Park

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ADA SURVEY RESULTS
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Deane's Children's Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Accessible Parking								
Barrier	540	The accessible stall lacks compliant accessible parking signage, or existing signage is not 60" min. high measured to the bottom of sign.	Citation	2010 ADA Stds. 502.6, 703.7.2.1, 216.5				
ITEM 1: PARKING LOT - ADJACENT TO UNISEX RESTROOM	Remount / raise existing stall signage.	Signs shall be 60" min. AFF or ground surface, measured to bottom of the sign. Existing condition: Bottom of the van accessible parking sign adjacent to the unisex restroom is 57" AFF.	P	O	1	1	EA	\$72

See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
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Deane's Children's Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Built In Elements									
Barrier	482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.	Citation	2010 ADA Stds. 902.1, 226, 226.2					
ITEM 2: PAVILLION	Provide the indicated number of tables with tops no more than 34" AFF, and with 27" high, 30" wide, 8" deep knee space, and 17" deep toe space.	Exception: Fixed or built-in seating or tables used primarily by children ages 12 and younger may be from 26" min. to 30" max. AFF. Existing condition: Pavillion has 4 picnic tables - none of them provide knee and toe space.	P	O	1	2	1	EA	\$2,500
ITEM 3: PICNIC TABLE - ADJACENT TO BBQ	Provide the indicated number of tables with tops no more than 34" AFF, and with 27" high, 30" wide, 8" deep knee space, and 17" deep toe space.	Exception: Fixed or built-in seating or tables used primarily by children ages 12 and younger may be from 26" min. to 30" max. AFF. Existing condition: Picnic table does not provide knee and toe space.	P	O	1	2	1	EA	\$2,500
ITEM 4: PICNIC TABLE - ADJACENT TO PAVILLION	Provide the indicated number of tables with tops no more than 34" AFF, and with 27" high, 30" wide, 8" deep knee space, and 17" deep toe space.	Existing condition: The picnic table does not provide a compliant knee and toe space.	P	O	1	2	1	EA	\$2,500

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Doors								
Barrier	612	The door lacks the required maneuvering space, or the maneuvering space is not level.	Citation	2010 ADA Stds. 404.2.4				
ITEM 5: UNISEX RESTROOM	Add new portion of exterior surface (at door approach).	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). For a latch side approach pull side, 24" min. is required to the side of latch x 48" deep without closer and 54" deep with closer. See additional dimensions for other approaches in 404.2.4.1. Existing condition: door location provides a latch side approach, but exterior concrete surface is 40" deep.	P	O	1	2	25 SF	\$1,263

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	497	The accessible route is less than 36" wide.	Citation	2010 ADA Stds. 403.5.1				
ITEM 6: UNISEX RESTROOM	Remove the movable objects that restrict passage.	Accessible routes may be reduced to 32" min. for 24" max. depth separated by segments 48" apart. Owner maintenance item. Existing condition: trash can encroaches on the 44" min. accessible route.	P	O	1	1	EA	\$0
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 7: PICNIC TABLE - ADJACENT TO, BBQ	Provide 44" min. wide (per Code) asphalt paving to the indicated amenities. Include a 30"x48" clear floor space adjacent to the accessible side of the picnic table.	Existing condition: Picnic table lacks a paved accessible route to it.	P	O	1	2	LF	\$706
Barrier	518	The indicated object exceeds 48" high for a side approach and a front approach OR lacks a level 30"x48" clear floor space OR requires gripping and twisting.	Citation	2010 ADA Stds. 308				
ITEM 8: UNISEX RESTROOM - BIKE RACK	Install concrete pad adjacent to bike rack with a max. 2% cross slope (1:48).	Existing condition: Bike rack outside of restroom does not have a 30"x48" clear floor space adjacent to one end.	P	O	1	2	SF	\$289
Barrier	522	Where an accessible bench is to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat and an 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation	2010 ADA Stds. 903				
ITEM 9: ADJACENT TO PAVILLION	Recommendation: Alter the existing area adjacent to 1 bench to provide a level clear floor space (concrete pad).	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches provide compliant 30"x48" clear floor space to one side of the bench. Existing condition: there are 2 benches located in packed dirt area. 1 of them should provided a clear floor space adjacent to one end.	P	O	7	2	SF	\$125

See Survey Legend and ADA Overview Report Section for more important information.

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Deane's Children's Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
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Play Areas

Barrier	37310	The ground surface may not meet ASTM F 1951 or ASTM F 1292 for resilience and accessible route.	Citation	2010 ADA Stds. 1008.2.6				
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ITEM 10: ALL PLAY AREAS WITH WOOD CHIPS	Adopt a policy to maintain and inspect the ground surfaces to ensure compliance with ASTM F 1951 and ASTM F 1292 for Use Zones.	1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1).	P	O	1	2	5	EA	\$0
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Barrier	5081	The ramp to the play area exceeds 1:12 slope, or 1:48 cross slope or lacks edge protection, or there is no accessible route to the play area.	Citation	2010 ADA Stds. 206.2.17				
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ITEM 11: BOTH PLAY AREA WITH PLAY STRUCTURES	Remove wood border and replace with a ramp that complies with slope and landings top and bottom.	Existing condition: there is no accessible route in to the play areas. Wood border with entry areas drop off into wood chip surface.	P	O	1	1	10	LF	\$3,500
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ITEM 12: PLAY AREA - DRAGON	Remove wood border and replace with a ramp that complies with slope and landings top and bottom.	Existing condition: there is no accessible route in to the Dragon play area.	P	O	1	1	5	LF	\$1,750
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See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Deane's Children's Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
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Restrooms / Bathrooms

Barrier	681	The existing grab bars are non-compliant in size, configuration, or mounting height.	Citation	2010 ADA Stds. Fig. 604.5.2, 609.2, 604.9					
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ITEM 13: UNISEX RESTROOM - CHILDRENS' USE	Replace with new grab bars. Revise wall surface on the rear wall of the toilet.	Grab bars should be 1-1/4" - 2" in diameter, 33" - 36" AFF, with 1-1/2" min. between the wall and the grab bar. Circular cross section - outside diameter 1-1/4" min. - 2" max. Non-circular cross section - perimeter of 4" min. - 4.8" max. Horizontal projections shall be 1-1/2" min. below bottom of rail. [2010 Standards: Rear grab bar min. 24" long from centerline of toilet at transfer side; allows 1-1/4" to 2" cross section and non-circular shapes; allows alternate children's use height.] Existing condition: grab bars are 33" AFF, and depending on the age group, they are to be installed between 18" - 27" AFF. Side wall grab bar is incorrectly located (46" from the corner to the end; 54" min. is required), and is required to be min. 42" long. Rear wall grab bar is incorrectly located (the end on the open side is to be 24" from the centerline of the toilet), and is required to be min. 36" long (18" is provided). The wall behind the toilet needs to be infilled, so that there is 1-1/2" between the grab bar and the wall surface.	P	O	1	3	1	EA	\$2,300
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Barrier	682	The flush controls are not located at open side of toilet, or controls require gripping, twisting or pinching to operate.	Citation	2010 ADA Stds. 604.6					
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ITEM 14: UNISEX RESTROOM - CHILDRENS' USE	Replace the toilet with a stainless steel children's accessible model with accessible controls. Relocate as required for the appropriate age group.	Stainless steel is used in high vandalism or maintenance situations. Flush controls shall comply with reach ranges specified in Section 604.9.5. Existing condition: center of toilet is 18-1/4" from wall. Depending on the age group, toilet is required to be between 12" - 18" from the side wall. Toilet seat height is 17" AFF. Depending on the age group, seat height varies from 11" - 17" AFF. Flush control is 45-1/2" AFF. Toilets for children are required to have flush controls at 36" max. AFF.	P	O	1	3	1	EA	\$3,610
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See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	688	The lavatory lacks min. 27" high knee space at front edge, extending 8" deep under the lavatory, and/or 30"x48" clear floor space.	Citation	2010 ADA Stds. 606.2				
ITEM 15: UNISEX RESTROOM - CHILDRENS USE	Replace lavatory with an accessible model.	Where lavatories are provided at least one shall be accessible and not be located in a toilet compartment. (Exception: Lavatories used primarily by children ages 6 through 12 may have 31" max. height with apron 24" AFF. For children 5 and younger, clearances not required if compliant parallel approach provided.) Existing condition: sink is 32-1/2" AFF, knee clearance 8", and back is 26" AFF (27" min. required).	P	O	1	3	1 EA	\$2,340
Barrier	692	The mirror exceeds max. 40" high measured from the bottom of the reflecting surface OR mirrors not located above countertops exceed 35" high.	Citation	2010 ADA Stds. 603.3				
ITEM 16: UNISEX RESTROOM - CHILDRENS USE	Lower the mirror.	Mirrors above countertops are required to be 40" max. to the reflective surface. Existing condition: bottom of mirror reflective surface is 48" AFF.	P	O	1	3	1 EA	\$150
Barrier	694	The specified dispensers (soap, towel, seat cover, sanitary napkin, or baby changing), outlets, or controls exceed max. reach range of 48" high for a front or side approach, or lack clear floor space.	Citation	2010 ADA Stds. 308.3				
ITEM 17: UNISEX RESTROOM - CHILDRENS USE	Relocate the seat cover dispenser from behind the toilet to a location within reach range.	Dispensers are required to be max. 48" high for a front and parallel approach.	P	O	1	3	1 EA	\$150

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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LOCATION	RECOMMENDATION	COMMENTS	CITATION	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms									
Barrier	7836	The specified baby changing station exceeds a max. reach range of 48" high for a front or side approach, and/or it lacks clear floor space or the table surface is not 28" - 34" high when folded down.	2010 ADA Stds. 309, 308.3						
ITEM 18: UNISEX RESTROOM - CHILDRENS USE		Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards. If installed after September 15, 2010 then lower to 48" max.	If altered, per 2010 Standards, the item should be below 48" AFF. Many building codes are more stringent and have a max. 48" reach for any approach, which should be applied.	P	O	8	2	1	EA \$0

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

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Deane's Children's Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Signage								
Barrier	713	The permanent room sign lacks raised letters and braille characters OR the raised letters characters do not meet the requirements.	Citation	2010 ADA Stds. 216, 703.3, 703.2, 703.5				
ITEM 19: BALLFIELD AREA - UNI-SEX RESTROOM	Provide new compliant sign at the latch side of the door.	Signs to have raised and braille characters, high-contrast finish / non-glare surface, and must be mounted at 60" high (measured from baseline of highest tactile character to finish floor) located adjacent to the latch side of the door. Tactile characters shall be 48" min. to baseline of lowest character. Signs not located in public use areas shall not be required to comply with 216. Existing condition: Signage does not have raised lettering, and braille is below 48" AFF.	P	O	1	2	1 EA	\$290
Total for Building: Deane's Children's Park								\$24,045

See Survey Legend and ADA Overview Report Section for more important information.

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Deane's Children's Park

Upper Left: Van accessible parking sign is mounted too low.

Upper Right: Pavilion lacks a picnic table with an accessible seat with knee & toe clearance. 5% of picnic tables in each seating area require an accessible seat.

Lower Left: Bench lacks a paved clear floor space at one end.

Deane's Children's Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.1

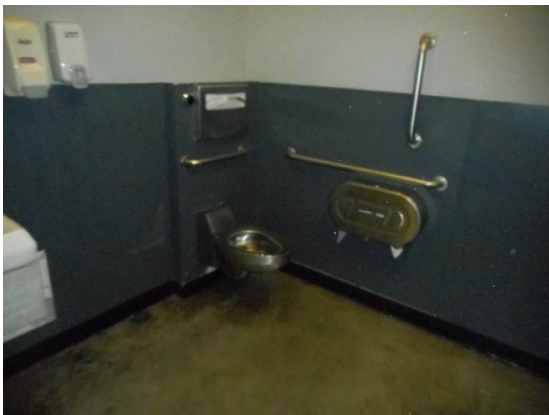


Deane's Children's Park

- Upper Left: Play area requires compliant ground surfaces, which must be periodically inspected and maintained.
- Upper Right: Wood border at play areas block accessible route. Removal of wood border and installation of ramp to play areas required.
- Lower Left: Bike rack lacks an adjacent (paved) clear floor space along one side.

Deane's Children's Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.2



Deane's Children's Park

Upper Left: Restroom signage lacks raised lettering, and is non-compliant in mounting height.

Upper Right: Entry door into restroom lacks sufficient area for door maneuvering clearance. Concrete walk to be enlarged, and garbage can relocated.

Lower Left: Grab bars at toilet are non-compliant in length & height. Wall surface behind toilet to be revised for grab bar. Seat cover dispenser lacks a forward approach. Toilet non-compliant for children's use.

Deane's Children's Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.3



Deane's Children's Park

- Upper Left: Lavatory does not provide knee & toe clearance and is mounted too high for children's use. Mirror is mounted too high.
- Upper Right: Baby changing station is mounted too high.

Deane's Children's Park

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ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Ellis Pond

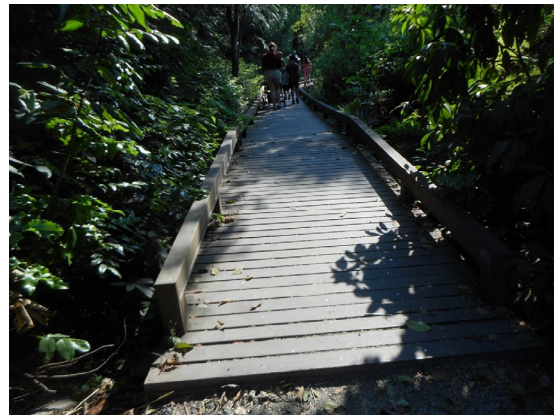
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	509	The accessible route has a change in level between 1/4" and 1/2" without a 1:2 bevel or more than 1/2" high without a compliant ramp.	Citation	2010 ADA Stds. 303.4, 405, 406				
ITEM 1: BOARDWALK	Ensure new paved path (not included in this report) provides accessible slopes and/or level changes at both ends of wooden bridge.	Level changes at ends of boardwalk measure approximately 1-1/2" at both ends. A 1/4" vertical change is permissible. A 1/4" - 1/2" change must have a beveled slope. A change greater than 1/2" requires a ramp.	P	O	1	2	2	EA \$0
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 2: ACCESSIBLE ROUTE TO BENCH AND WATERFRONT	Provide 44" min. wide (per Code) asphalt paving to the indicated amenities. At any slopes exceeding 5%, provide a compliant ramp with complying handrails and landings. Further design study and civil engineering required.	Existing site has a lawn area (only) between entry area and bench at waterfront.	P	O	1	2	10	LF \$353
Barrier	522	Where an accessible bench is to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat and 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation	2010 ADA Stds. 903				
ITEM 3: ACCESSIBLE BENCH	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of the bench.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches provide compliant 30"x48" clear floor space to one side of the bench. Existing condition: Adjacent to each side of the bench is a dirt path, and no clear floor space is provided.	P	O	7	2	5	SF \$125
Total for Building: Ellis Pond								\$478

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC



Ellis Pond

- Upper Left: Park lacks a paved accessible route to bench, and one end of the bench required a paved clear floor space.
- Upper Right: Boardwalk lacks an accessible route to it.
- Lower Left: Boardwalk ends have level changes exceeding 1-1/2".

Ellis Pond

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.1

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

First Hill Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
Barrier 482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.		Citation	2010 ADA Stds. 902.1, 226, 226.2				
ITEM 1: ACCESSIBLE PICNIC TABLE NEAR BASKETBALL HALF COURT	Provide accessible picnic table (in addition to existing table) on existing slab with top surface 34" max. AFF, and with knee and toe space on one end of table 30" min. wide, 27" min. high, and 17" min. deep. Locate table where slab at clear floor space is 2% (1:48) max. in any direction.	Existing picnic table on concrete slab measured 29-1/2" to top surface with knee and toe space below (on end of table) 27" high and only 13" deep.	P	O	1	2	1 EA	\$2,500
Barrier 489	The bench is not 42" long, 20" - 24" deep, or has a 17" - 19" high seat and does not have a 18" high (back unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.		Citation	2010 ADA Stds. 903				
ITEM 2: TRASH RECEPTACLES - EAST ENTRY	Provide new 30"x48" level clear floor space adjacent opening side of trash & recycling receptacles. Locate along new paved accessible route to basketball half court.	Existing trash and recycling receptacles have no accessible route or clear floor space adjacent.	P	O	1	2	20 SF	\$500

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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First Hill Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries									
Barrier	497	The accessible route is less than 36" wide.	Citation	2010 ADA Stds. 403.5.1					
ITEM 3: ENTRY TO PLAY AREAS	Cut through wooden borders at both play areas as required to provide accessible route to play areas 44" min. wide (per Code).	Entrance is required to be 36" min. wide per ADA (but 44" min. wide per Code). Existing condition: One play area has entry 42" wide cut into wooden border; other play area has no entry through wooden border.	P	O	1	1	2	EA	\$1,000
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2					
ITEM 4: ACCESSIBLE ROUTE TO ACCESSIBLE PICNIC TABLE - WEST SIDE OF BASKETBALL HALF COURT	Provide new accessible route 44" wide (per Code) asphalt paving from existing basketball half court to existing concrete slab at picnic tables (assume length 10'-0").	No accessible route is provided to picnic tables.	P	O	1	2	10	LF	\$353

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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First Hill Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Play Areas									
Barrier	843	The ground surface may not meet ASTM F 1951 or ASTM F 1292 for resilience and accessible route.	Citation	2010 ADA Stds. 1008.2.6					
ITEM 5: PLAY AREAS	Adopt a policy to maintain and inspect the ground surfaces to ensure compliance with ASTM F 1951 and ASTM F 1292 for Use Zones. Also, ensure that surface is level with bottom of curb ramp into play area (currently steps down a few inches).	1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1).	P	O	1	2	2	EA	\$0
Owner/maintenance item									
Total for Building: First Hill Park									\$4,353

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC



First Hill Park

- Upper Left: Ground surfaces of all play areas must be compliant and require periodic inspections & maintenance. An accessible route is required into the play area.
- Upper Right: The picnic table does not have an accessible seat.
- Lower Left: Accessible route is required to all park amenities: basketball half-court, picnic tables, play area, and trash & recycling receptacles.

First Hill Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.1

ADA SURVEY RESULTS
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For City of Mercer Island for Transpo

Forest Landing

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 1: ACCESSIBLE ROUTE TO BENCH		Provide 44" min. wide (per Code) asphalt paving to the indicated amenities. At any slopes exceeding 5%, provide a compliant ramp with complying handrails and landings.	Existing site has a path consisting of pavers and stepping stones.	P	O	1	25	LF \$883
Barrier	522	Where an accessible bench is to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat and 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation	2010 ADA Stds. 903				
ITEM 2: ACCESSIBLE BENCH		Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of the bench.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches provide compliant 30"x48" clear floor space to one side of the bench. Existing condition: Bench is provided, however no adjacent clear floor space is provided.	P	O	7	2	10 SF \$250
Total for Building: Forest Landing								\$1,133

See Survey Legend and ADA Overview Report Section for more important information.



Forest Landing

Upper Left: Site has a path consisting of pavers and stepping stones. No accessible route is provided to site amenities.

Upper Right: Stone steps to beach. No accessible route is provided.

Lower Left: Bench requires an adjacent clear floor space at one end, and an accessible route.

Forest Landing

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.1

ADA SURVEY RESULTS
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For City of Mercer Island for Transpo

Franklin Landing

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LOCATION	RECOMMENDATION	COMMENTS	CITATION	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries										
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	2010 ADA Stds. 206.2.2							
ITEM 1: ACCESSIBLE ROUTE TO BENCH AND WATERFRONT		Provide 44" min. (per Code) wide asphalt paving to the indicated amenities.	Existing site has a flagstone path to the bench and the waterfront.	P	O	1	2	40	LF	\$1,413
Barrier	522	Where an accessible bench is to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat and 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	2010 ADA Stds. 903							
ITEM 2: ACCESSIBLE BENCH		Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of the bench.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches provide compliant 30"x48" clear floor space to one side of the bench. Existing condition: Adjacent to each side of the bench is loose gravel, and no clear floor space is provided.	P	O	7	2	10	SF	\$250
Total for Building: Franklin Landing										\$1,663

See Survey Legend and ADA Overview Report Section for more important information.

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Franklin Landing

- Upper Left: A paved accessible route is lacking to the bench.
- Upper Right: A paved accessible route is lacking to the water's edge.
- Lower Left: Bench requires a paved adjacent clear floor space at one end.

Franklin Landing

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.1

ADA SURVEY RESULTS
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Fruitland Landing

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LOCATION	RECOMMENDATION	COMMENTS	CITATION	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements									
Barrier	482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.	2010 ADA Stds. 902.1, 226, 226.2						
ITEM 1: ACCESSIBLE PICNIC TABLES		Provide the indicated number of tables with tops no more than 34" AFF, and with 27" high, 30" wide, 8" deep knee space, and 17" deep toe space.	Existing condition provides 1 picnic table which does not provide an accessible clear floor space for a forward approach.	P	O	1	2	1	EA \$2,500

See Survey Legend and ADA Overview Report Section for more important information.

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Fruitland Landing

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET	
Exterior Accessible Routes / Entries										
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2						
ITEM 2: ACCESSIBLE ROUTE TO BENCH AND WATERFRONT		Provide 44" min. (per Code) wide asphalt paving to the indicated amenities. At any slopes exceeding 5%, provide a compliant ramp with complying handrails and landings. Further design study may be required.	Existing site has a gravel path from entry area to picnic table, bench, and waterfront.	P	O	1	2	150	LF	\$5,298
Barrier	518	The indicated object exceeds 48" high for a side approach and a front approach OR lacks a level 30"x48" clear floor space OR requires gripping and twisting.	Citation	2010 ADA Stds. 308						
ITEM 3: PICNIC TABLE		Remove and replace concrete slab with a 2% max. cross slope (1:48).	Existing concrete pad at picnic table is too small to provide required clear floor space.	P	O	1	2	3	LF	\$216
Barrier	522	Where an accessible bench is to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat and 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation	2010 ADA Stds. 903						
ITEM 4: ACCESSIBLE BENCH		Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of the bench.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches - provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: adjacent to each side of the bench is a lawn area, and no clear floor space is provided.	P	O	7	2	10	SF	\$250
Total for Building: Fruitland Landing									\$8,264	

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC



Fruitland Landing

Upper Left: A paved accessible route is lacking to the picnic table, bench, and waterfront. Picnic table does not provide an accessible seat area with a paved clear floor space below.

Upper Right: A paved accessible route is lacking to the waterfront.

Lower Left: Bench requires an adjacent clear floor space at one end.

Fruitland Landing

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ADA SURVEY RESULTS
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Garfield Landing

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 1: ACCESSIBLE ROUTE TO BENCH AND WATERFRONT		Provide 44" min. wide (per Code) asphalt paving to the indicated amenities. At any slopes exceeding 5%, provide a compliant ramp with complying handrails and landings. Further design study may be required.	Existing site has a lawn area (only) between entry area and bench at waterfront.	P	O	1	2	240 LF \$8,477
Barrier	522	Where an accessible bench is to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat and 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation	2010 ADA Stds. 903				
ITEM 2: ACCESSIBLE BENCH		Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of the bench.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches provide compliant 30"x48" clear floor space to one side of the bench. Existing condition: Bench is in a lawn area, and no clear floor space is provided.	P	O	7	2	10 SF \$250
Total for Building: Garfield Landing								\$8,727

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC



Garfield Landing

Upper Left: The site has a lawn area only. A paved accessible route is lacking to the bench and water's edge.

Upper Right: No accessible route is provided to the water's edge.

Lower Left: The bench requires an adjacent clear floor space at one end.

Garfield Landing

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.1

ADA SURVEY RESULTS
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Groveland Beach

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Accessible Parking								
Barrier	540	The accessible stall lacks compliant accessible parking signage, or existing signage is not 60" min. high measured to the bottom of sign.	Citation	2010 ADA Stds. 502.6, 703.7.2.1, 216.5				
ITEM 1: PARKING LOT - ACCESSIBLE PARKING	Add new sign displaying the International Symbol of Accessibility at one existing accessible stall.	Signs shall be 60" min. AFF or ground surface, measured to bottom of the sign. Existing condition: No sign is provided at one accessible parking space (other accessible space has sign).	P	O	1	1	EA	\$290

See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
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Groveland Beach

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
Barrier	482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.	Citation	2010 ADA Stds. 902.1, 226, 226.2				
ITEM 2: ACCESSIBLE PICNIC TABLE NEAR VOLLEYBALL COURT		Provide accessible picnic table (in addition to existing table) with top no more than 34" AFF, and with knee and toe space on one end of table 30" min. wide, 27" min. high, and 17" min. deep.	Free standing picnic table provided in the lawn, measured 30" to top surface with knee and toe space below (on end of table) 28-1/2" high and 11-1/2" deep.	P	O	1	2	1 EA \$2,500

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Drinking Fountains								
Barrier	751	There are not a min. of 2 water fountains provided OR there is not a water fountain that meets the requirements for both wheelchair accessibility and for standing persons (hi-low).	Citation	2010 ADA Stds. 211.2				
ITEM 3: DRINKING FOUNTAIN AT RESTROOMS		Retain low level drinking fountain (integral with rinse shower and foot rinse nozzles) and add a high level drinking fountain for standing persons.		P	O	1	4	1 EA \$5,590
		Where provided, min. 2 water fountains are required. 1 is required to meet 602.1 - 602.6 for clear floor space, height, operable parts, and water flow, and 1 is required to meet 602.7 which is height for standing persons. Spout outlets of drinking fountains for standing persons shall be 38" min. and 43" max. AFF. Existing condition: Compliant low level drinking fountain is provided for wheelchair users integral with exterior rinse shower nozzle and low level foot rinse nozzle.						
Barrier	754	The drinking fountain lacks a 30"x48" clear floor space for a front approach OR the clear floor space slope exceeds 2% in all directions.	Citation	2010 ADA Stds. 602.2				
ITEM 4: DRINKING FOUNTAIN AT RESTROOMS		Provide level clear floor space under low level fountain of min. size 30"x48" with slope of 2% max. (1:48) max. in any direction.		P	O	1	4	10 SF \$576
		Clear floor space under low fountain measured only 19" from post.						
ITEM 5: DRINKING FOUNTAIN NEAR PLAY AREA		Lower the wooden curb for full width of clear floor space and provide level clear floor space under low level fountain of min. size 30"x48" with slope of 2% max. (1:48) max. in any direction.		P	O	1	4	15 SF \$864
		The knee space is required to be 30" wide, 27" high, and at least 17" deep. Existing condition: Drinking fountain has curb that obstructs clear floor space at low fountain, and knee space measures 26" high.						

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 6: ACCESSIBLE PICNIC TABLE NEAR VOLLEYBALL COURT	Provide concrete paving at clear floor space under accessible picnic table (slope not to exceed 2.08%).	Locate directly adjacent accessible route to pier.	P	O	1	2	15 SF	\$375
ITEM 7: ACCESSIBLE ROUTE TO PIER	Provide 44" wide (per Code) asphalt paving to the pier, furnishing accessible route to picnic tables with barbecue, trash receptacles and volleyball court along the way. Provide gradual incline toward pier; slopes exceeding 5% require compliant ramp with complying handrails and landings.	No accessible route is provided to pier and asphalt approach to pier had many uneven areas and running slope measuring up to 8%.	P	O	1	2	210 LF	\$7,417
ITEM 8: ACCESSIBLE ROUTE TO RESTROOMS	Provide 44" wide (per Code) asphalt paving to the restroom building, furnishing accessible routes to benches and trash receptacles. At any slopes exceeding 5%, provide a compliant ramp with complying handrails and landings.	No accessible route is provided to restrooms.	P	O	1	2	150 LF	\$5,298
ITEM 9: ACCESSIBLE ROUTE TO WATER	Design study is required to consider use of existing roadway to the beach and whether to provide accessible route to water's edge. At any slopes exceeding 5%, provide a compliant ramp with complying handrails and landings. No pricing included for this item pending strategy sessions and design study.	Asphalt roadway extends from parking lot, past play area and toward the beach. Roadway is too steep for accessible route, but is chained off from vehicular use. Roadway ends in lawn section of beach (and proposed accessible routes extend from end of this roadway). Beach has low level wood retaining walls between lawn and sand, and between sand and water (with ladder access into water).	P	O	1	2	1 LF	\$0

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Exterior Accessible Routes / Entries								
Barrier	518	The indicated object exceeds 48" high for a side approach and a front approach OR lacks a level 30"x48" clear floor space OR requires gripping and twisting.	Citation	2010 ADA Stds. 308				
ITEM 10: DOG WASTE RECEPTACLE NEAR PARKING LOT	Provide new concrete paving for clear floor space adjacent dog waste receptacle with a 2% max. slope (1:48) adjacent existing trail.	Dog waste receptacle is set back too far from paving (i.e., clear floor space is not stable, firm, or slip resistant).	P	O	1	4	10 SF	\$250
ITEM 11: TRASH RECEPTACLE NEAR PARKING LOT	Provide new concrete paving for clear floor space adjacent trash receptacle with a 2% max. slope (1:48) adjacent existing trail.	Trash receptacle is set back too far from paved path and clear floor space adjacent opening of trash receptacle is not paved (i.e., not stable, firm, or slip resistant).	P	O	1	4	10 SF	\$250
ITEM 12: TRASH RECEPTACLES	Provide new concrete paving for clear floor space adjacent receptacles for trash and recycling with a 2% max. cross slope (1:48) adjacent new accessible routes to restrooms (one of each near benches) and pier (one of each near picnic tables and barbecue).	Clear floor space adjacent opening of trash receptacles are not paved (i.e., not stable, firm, or slip resistant).	P	O	1	4	40 SF	\$1,000
Barrier	522	Where an accessible bench is to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat an 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation	2010 ADA Stds. 903				
ITEM 13: ACCESSIBLE BENCHES ALONG VOLLEYBALL COURT	Recommendation: Provide 30"x48" min. level clear floor space adjacent to one end of benches on both sides of court and 44" wide (per Code) paved walkway from new paved route.	Although not required under 2010 ADA scoping, E&A recommends at least 5% of benches provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: benches along volleyball court are located in lawn and have clear floor space is provided.	P	O	7	2	50 LF	\$1,766

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries									
ITEM 14: BENCH IN PLAY AREA	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of the bench and 44" wide (per Code) paved walkway from play area entrance (extending by, and providing clear floor space for, trash receptacle).	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches - provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: bench is located in wood chips at play area, and no clear floor space is provided.	P	O	7	2	20	LF	\$706
ITEM 15: BENCH NEAR RESTROOMS	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of one bench adjacent new paved walkway to restrooms.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches - provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: two benches are surrounded by lawn, and no clear floor space is provided.	P	O	7	2	10	SF	\$250

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Play Areas								
Barrier	843	The ground surface may not meet ASTM F 1951 or ASTM F 1292 for resilience and accessible route.	Citation	2010 ADA Stds. 1008.2.6				

ITEM 16: PLAY AREA	Adopt a policy to maintain and inspect the ground surfaces to ensure compliance with ASTM F 1951 and ASTM F 1292 for Use Zones.	1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1).	P	O	1	2	1	EA	\$0
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	698	The restroom is substantially inaccessible - lacks overall turning space, clear floor space at fixtures, and/or compliant fixtures and dispensers.	Citation	2010 ADA Stds. 603				
ITEM 17: RESTROOMS NEAR BEACH	Demolish the interior fixture layout and completely renovate the restroom and dressing room within its current footprint.	Restrooms and dressing rooms are substantially non-compliant requiring significant renovation. Cost shown is an allowance until further design studies are carried out.	P	O	1	3	1	EA \$35,000
Total for Building: Groveland Beach								\$62,133

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Groveland Beach Park

Upper Left: Accessible parking stall lacks signage.

Upper Right: Curb obstructs toe space and a clear floor space is lacking at the lower fountain.

Lower Left: Drinking fountain by restrooms lacks a clear floor space and an accessible route.

Groveland Beach Park

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Groveland Beach Park

Upper Left: Paved road ends. No accessible route is provided to beach, restrooms, volleyball court, or pier.

Upper Right: No accessible route is provided through the lawn to the restrooms.

Lower Left: No accessible route is provided to the beach or pier.

Groveland Beach Park

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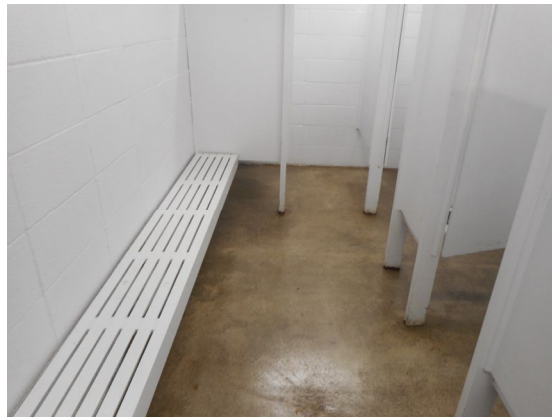
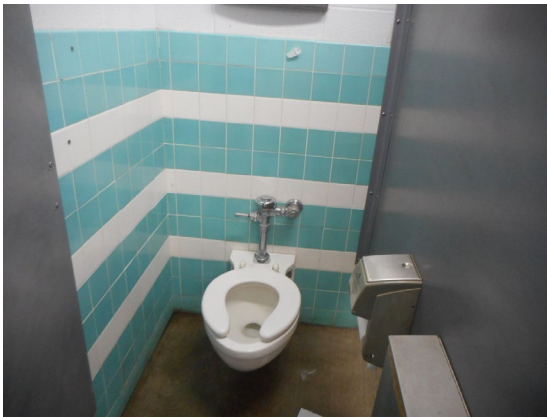


Groveland Beach Park

- Upper Left: Play area requires compliant ground surfaces, which must be periodically inspected and maintained.
- Upper Right: Restroom signage lacks an adjacent clear floor space below.
- Lower Left: The picnic table lacks an accessible seat, clear floor space, and accessible route.

Groveland Beach Park

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**Groveland Beach Park**

Upper Left: Restrooms are substantially non-compliant. Accessible stall in the Women's restroom is too small, grab bars are missing, flush control is incorrectly located. The Men's restroom lacks a turn-around.

Upper Right: Changing rooms are affected by adjacent restrooms which are substantially non-compliant. No turning space is provided, changing cubicles are too small, and benches in Men's changing room are non-compliant.

Groveland Beach Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Accessible Parking								
Barrier	540	The accessible stall lacks compliant accessible parking signage, or existing signage is not 60" min. high measured to the bottom of sign.	Citation	2010 ADA Stds. 502.6, 703.7.2.1, 216.5				
ITEM 1: ACCESSIBLE PARKING	Remount / raise existing stall signage.	Signs shall be 60" min. AFF or ground surface, measured to bottom of the sign. Existing accessible parking is provided for 3 vehicles (including 1 van), but 2 of the signs are mounted below 60" AFF.	P	O	1	1	2 EA	\$144

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
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Assembly Areas - Indoor / Outdoor

Barrier	563	The assembly area lacks the minimum quantity of wheelchair seating areas with adjoining companion seats.	Citation	2010 ADA Stds. 221.2.1				
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ITEM 2: NORTH BALLFIELD - EAST BLEACHERS	Move bleachers away from the fencing to provide min. 5'-8" clearance. Add a 36"x48" min. concrete pad adjacent to the south end of the bleachers for one of the wheelchair spaces (the other one will be located between the bleachers and the dugout).	Existing bleachers provide seating for approximately 33 people - 2 wheelchair spaces are required. Due to the proximity of the bleachers to the ballfield fencing, bleachers need to move back, away from the ballfield fencing, to provide an accessible route. Quantity required: For (4 to 25) fixed seats = 1 space; (26 to 50) = 2 spaces; (51 to 150) = 4 spaces; (151 to 300) = 5 spaces; (301 to 500) = 6 spaces; (501 to 5000) = 6 plus 1 for each 150 of fraction thereof between 501 through 5000 spaces; (5001 and over) = 36 plus 1 for each 200 or fraction thereof over 5000 spaces.	P	O	1	2	2	EA	\$3,622
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ITEM 3: NORTH BALLFIELD - NORTH BLEACHERS	Move bleachers away from the fencing to provide a min. of 5'-8" clearance. Add a 36"x48" min. concrete pad adjacent to the west end of the bleachers for one of the wheelchair spaces (the other one will be located between the bleachers and the dugout).	Existing bleachers provide seating for approximately 33 people - 2 wheelchair spaces are required. Due to the proximity of the bleachers to the ballfield fencing (44" exists, 68" min. required), bleachers need to move back, away from the ballfield fencing, to provide an accessible route. Quantity required: For (4 to 25) fixed seats= 1 space; (26 to 50) = 2 spaces; (51 to 150) = 4 spaces; (151 to 300) = 5 spaces; (301 to 500) = 6 spaces; (501 to 5000) = 6 plus 1 for each 150 of fraction thereof between 501 through 5000 spaces; (5001 and over) = 36 plus 1 for each 200 or fraction thereof over 5000 spaces.	P	O	1	2	2	EA	\$3,622
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
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Assembly Areas - Indoor / Outdoor

ITEM 4: SOUTH BALLFIELD	Move bleachers away from the fencing to provide min. 5'-8" clearance. Relocate wood border on the east side of the bleachers to provide 110" clearance for 2 wheelchairs plus 44" accessible route.	Existing bleachers provide seating for approximately 33 people - 2 wheelchair spaces are required. Space for 2 wheelchairs should be provided along the east end of the bleachers (66" + 44" accessible route = 110" required; 65" is provided). Due to the proximity of the bleachers to the ballfield fencing (37" exists; 68" min. required), bleachers need to move back, away from the ballfield fencing, to provide an accessible route. Quantity required: For (4 to 25) fixed seats = 1 space; (26 to 50) = 2 spaces; (51 to 150) = 4 spaces; (151 to 300) = 5 spaces; (301 to 500) = 6 spaces; (501 to 5000) = 6 plus 1 for each 150 of fraction thereof between 501 through 5000 spaces; (5001 and over) = 36 plus 1 for each 200 or fraction thereof over 5000 spaces.	P	O	1	2	2	EA	\$3,622
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Drinking Fountains								
Barrier 751	There are not a min. of 2 water fountains provided OR there is not a water fountain that meets the requirements for both wheelchair accessibility and for standing persons (hi-low).		Citation	2010 ADA Stds. 211.2				
ITEM 5: NORTH BASEBALL DIAMOND	Replace the fountain with a hi-low model.	Where provided, min. 2 water fountains are required. 1 is required to meet 602.1 - 602.6 for clear floor space, height, operable parts, and water flow, and 1 is required to meet 602.7 which is height for standing persons. If a water fountain is provided that meets both requirements, it may be substituted for 2 fountains. Spout outlets shall be 36" max. AFF or ground. Drinking fountains for standing persons: Spout outlets shall be 38" min. and 43" max. AFF. Existing condition: Single drinking fountain is provided with rim measuring 26" AFF and spout 27" AFF.	P	O	1	4	1	EA \$4,400
Barrier 754	The drinking fountain lacks a 30"x48" clear floor space for a front approach OR the clear floor space slope exceeds 2% in all directions.		Citation	2010 ADA Stds. 602.2				
ITEM 6: NEAR PLAY AREA	Remove existing and provide level clear floor space under low level fountain of min. size 30"x48" with slope of 2% max. (1:48) max. in any direction. Ensure rim of low level fountain is 34" max. and knee space is 27" min. above new slab.	Pavement at clear floor space under low level fountain is fragmented with slopes measuring up to 3.5%.	P	O	1	4	10	SF \$576

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	497	The accessible route is less than 36" wide.	Citation	2010 ADA Stds. 403.5.1				
ITEM 7: NORTH BALLFIELD - EAST DUGOUT	Widen end section of dugout as required (including concrete pavement, chain link fencing, and metal roof as required) to provide clear floor space for forward approach facing baseball diamond with accessible route passing by in front.	Dugout measures approximately 54" wide where 84" min. is required. Ensure accessible route of 44" min. clear width (per Code) in front of 30"x48" clear floor space adjacent to the end of the bench for wheelchair space.	P	O	1	2	1 EA	\$1,500
ITEM 8: NORTH BALLFIELD - NORTH DUGOUT	Widen end section of dugout as required (including concrete pavement, chain link fencing, and metal roof as required) to provide clear floor space for forward approach facing baseball diamond with accessible route passing by in front.	Dugout measures approximately 54" wide where 84" min. is required. Ensure accessible route of 44" min. clear width (per Code) in front of 30"x48" clear floor space adjacent to the end of the bench for wheelchair space.	P	O	1	2	1 EA	\$1,500
ITEM 9: SOUTH BALLFIELD - SOUTH DUGOUT	Widen end section of dugout as required (including concrete pavement, chain link fencing, and metal roof as required) to provide clear floor space for forward approach facing baseball diamond with accessible route passing by in front.	Dugout measures approximately 54" wide where 84" min. is required. Ensure accessible route of 44" min. clear width (per Code) in front of 30"x48" clear floor space adjacent to the end of the bench for wheelchair space.	P	O	1	2	1 EA	\$1,500
ITEM 10: SOUTH BALLFIELD - WEST DUGOUT	Widen end section of dugout as required (including concrete pavement, chain link fencing, and metal roof as required) to provide clear floor space for forward approach facing baseball diamond with accessible route passing by in front.	Dugout measures approximately 50" wide where 84" min. is required. Ensure accessible route of 44" min. clear width (per Code) in front of 30"x48" clear floor space adjacent to the end of the bench for wheelchair space.	P	O	1	2	1 EA	\$1,500

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 11: NORTH BALLFIELD	Provide 44" wide concrete paving to the indicated amenities. At any slope exceeding 5%, provide a compliant ramp with complying handrails and landings.	Existing condition: there is no paved accessible route to the ballfield, and behind the bleachers and dugouts.	P	O	1	2	150 LF	\$8,640
ITEM 12: SOUTH BALLFIELD	Provide 44" wide concrete paving to the indicated amenities. At any slope exceeding 5%, provide a compliant ramp with complying handrails and landings.	Existing condition: there is no paved accessible route to the ballfield, bleachers, and dugout.	P	O	1	2	150 LF	\$8,640
ITEM 13: TENNIS COURTS	Provide 44" min. wide (per Code) asphalt paving to the indicated amenities. At any slope exceeding 5%, a compliant ramp with complying handrails and landings is required. (Included in Transpo's scope.)	Fenced in tennis courts are surrounded by grass and separated from parking lot by steep grade change.	P	O	1	2	195 LF	\$8,887

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LOCATION	RECOMMENDATION	COMMENTS	Citation	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms									
Barrier	676	The stall door hardware on both sides requires gripping, twisting, or pinching to operate, which is not accessible, or the door is not self closing.	2010 ADA Stds. 604.8.1.2						
ITEM 14: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL		Add self-closing door hardware and pull on inside of door.	Door does not have the required pull on each side of the door, and door is not self-closing.	P	O	1	3	1	EA \$290
Barrier	677	The coat hook exceeds 48" high for a front or side approach or the shelves are not mounted 40" min. and 48" max. AFF.	2010 ADA Stds. 603.4, 308						
ITEM 15: MEN'S RESTROOM - ACCESSIBLE TOILET STALL		Provide an additional lower coat hook. Mount at 48" or lower.	Existing coat hook is 59" AFF.	P	O	1	3	1	EA \$150
ITEM 16: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL		Provide an additional lower coat hook. Mount at 48" or lower.	Existing coat hook is 59" AFF.	P	O	1	3	1	EA \$150
Barrier	678	The toilet is not 16" - 18" dimension from centerline of toilet to side wall.	2010 ADA Stds. 604.2						
ITEM 17: MEN'S RESTROOM - ACCESSIBLE TOILET STALL		Relocate the wall hung toilet to be 16" - 18" from centerline to side wall by revising plumbing and providing an auto flush sensor. Repair wall finish. Repair wall finish.	Existing toilet measured 19" from centerline to side wall.	P	O	1	3	1	EA \$1,960

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
ITEM 18: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate the wall hung toilet to be 16" - 18" from centerline to side wall by revising plumbing and providing an auto flush sensor. Repair wall finish.	Existing toilet measured 19-1/2" from centerline to side wall.	P	O	1	3	1 EA	\$1,960
Barrier	681	The existing grab bars are non-compliant in size, configuration, or mounting height.	Citation	2010 ADA Stds. Fig. 604.5.2, 609.2, 604.9				
ITEM 19: MEN'S RESTROOM - ACCESSIBLE STALL	Replace with new grab bars.	Grab bars should be 1-1/4" - 2" in diameter, 33" - 36" AFF, with 1-1/2" min. between the wall and the grab bar. Circular cross section - outside diameter 1-1/4" min. - 2" max. Non-circular cross section - perimeter of 4" min. - 4.8" max. Horizontal projections shall be 1-1/2" min. below bottom of rail. [2010 Standards: Rear grab bar min. 24" long from centerline of toilet at transfer side; allows 1-1/4" to 2" cross section and non-circular shapes; allows alternate children's use height.] Existing L-shaped grab bar does not provide required min. 24" long from centerline of toilet at transfer side. Also, height to the top measured 32-3/4". Height to be 33" - 36" AFF.	P	O	1	3	1 EA	\$1,300
ITEM 20: WOMEN'S RESTROOM - ACCESSIBLE STALL	Replace with new grab bars.	Grab bars should be 1-1/4" - 2" in diameter, 33" - 36" AFF, with 1-1/2" min. between the wall and the grab bar. Circular cross section - outside diameter 1-1/4" min. - 2" max. Non-circular cross section - perimeter of 4" min. - 4.8" max. Horizontal projections shall be 1-1/2" min. below bottom of rail. [2010 Standards: Rear grab bar min. 24" long from centerline of toilet at transfer side; allows 1-1/4" to 2" cross section and non-circular shapes; allows alternate children's use height.] Existing L-shaped grab bar does not provide required min. 24" long from centerline of toilet at transfer side. Also, height to the top measured 32-1/2". Height to be 33" - 36" AFF.	P	O	1	3	1 EA	\$1,300

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	682	The flush controls are not located at open side of toilet, or controls require gripping, twisting, or pinching to operate.	Citation	2010 ADA Stds. 604.6				
ITEM 21: MEN'S AND WOMEN'S RR FLUSH CONTROL	Lower the flush controls or provide a retrofit sensor. Cost included in other barriers.	Flush controls shall comply with reach ranges specified in Section 309 (unless the facility was constructed before 2012, in which case it is permitted to be 54" max. AFF according to the 1991 standards, and does not need to be relocated until it is altered).	P	O	1	3	2 EA	\$0
Barrier	683	The toilet paper dispenser is not mounted 7" - 9" in front of the toilet edge measured to the center of the fixture, or min. 15" to max. 48" high OR is located less than 12" above the grab bar or less than 1-1/2" below the grab bar.	Citation	2010 ADA Stds. 604.7				
ITEM 22: MEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate the dispenser.	Existing toilet paper dispenser is located within the min. 12" clearance required above the grab bar.	P	O	1	3	1 EA	\$72
ITEM 23: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate the dispenser.	Existing toilet paper dispenser is located within the min. 12" clearance required above the grab bar.	P	O	1	3	1 EA	\$72
Barrier	688	The lavatory lacks min. 27" high knee space at front edge, extending 8" deep under the lavatory, and/or 30"x48" clear floor space.	Citation	2010 ADA Stds. 606.2				
ITEM 24: MEN'S RESTROOM	Raise height of existing lavatory, assuming max. 34" height.	Where lavatories are provided at least one shall be accessible and not be located in a toilet compartment. Existing lavatory does not provide knee space of 8" deep at 27" AFF.	P	O	1	3	1 EA	\$960

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	692	The mirror exceeds max. 40" high measured from the bottom of the reflecting surface OR mirrors not located above countertops exceed 35" high.	Citation	2010 ADA Stds. 603.3				
ITEM 25: MEN'S RESTROOM	Lower the mirror.	Mirrors above countertops are required to be 40" max. to the reflective surface. Existing mirror measured 40-3/4" to bottom of reflective surface.	P	O	1	3	1 EA	\$150
Barrier	694	The specified dispensers (soap, towel, seat cover, sanitary napkin, or baby changing), outlets, or controls exceed max. reach range of 48" high for a front or side approach, or lack clear floor space.	Citation	2010 ADA Stds. 308.3				
ITEM 26: MEN'S RESTROOM	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	Existing soap dispenser is mounted at 50" AFF to control lever. If altered or built after Sept. 15, 2010, per 2010 Standards, the item should be below 48" AFF. Many building codes are more stringent and have a max. 48" reach for any approach, which should be applied. CA Title 24 requires 40" max. height. Dispensers are required to be max. 48" high for a front and parallel approach. (Some building codes such as WAC 51-50/IBC require lower mounting heights according to Table 603.6, which should be applied in these jurisdictions.)	P	O	8	2	1 EA	\$0
ITEM 27: MEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate the seat cover dispenser from behind the toilet to a location within reach range.	Dispensers are required to be max. 48" high for a front and parallel approach.	P	O	1	3	1 EA	\$150
ITEM 28: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate the seat cover dispenser from behind the toilet to a location within reach range.	Dispensers are required to be max. 48" high for a front and parallel approach.	P	O	1	3	1 EA	\$150

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Signage								
Barrier	716	The accessible building entry or restroom sign lacks signage displaying the International Symbol of Accessibility OR the Pictogram is not 6" high min.	Citation	2010 ADA Stds. 703.7.2.1, 216.6, 216.8				
ITEM 29: ACCESSIBLE RESTROOM	Provide a sign with the International Symbol of Accessibility, raised characters, and braille at latch side of door.	Sign to be mounted 48" high min. measured from finished floor to bottom of the visual characters to 60" max. to the bottom of the visual characters. Existing condition: Both restroom signs lack raised characters, braille is 36" AFF, and pictograms are not 6" (min.) high.	P	O	1	2	2 EA	\$580
Total for Building: Homestead Park								\$55,397

See Survey Legend and ADA Overview Report Section for more important information.

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Homestead Park

Upper Left: Parking signs are mounted too low. Bottom to be 60" min. above paving.

Upper Right: Bleachers require wheelchair seating (with signage).

Lower Left: Tennis courts lack an accessible route.

Homestead Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.1

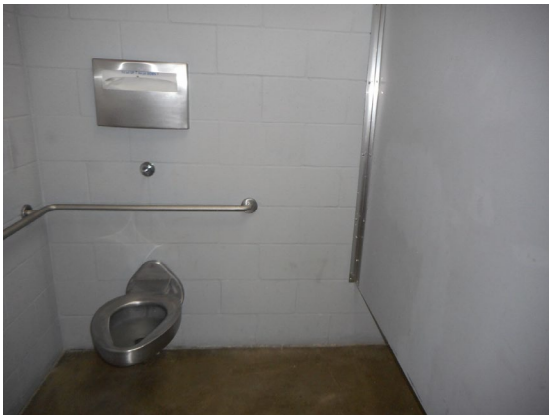


Homestead Park

- Upper Left: Ballfields lack an accessible route.
- Upper Right: Restroom signage is mounted too low.
- Lower Left: Accessible toilet stall doors are required to be self-closing, have a pull on the inside surface, and have coat hooks at 48" max. AFF.

Homestead Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.2



Homestead Park

Upper Left: Grab bars in accessible toilet stalls are not compliant in length and mounting height. Seat cover dispensers mounted behind toilet are not accessible. Toilets are too far from wall (should be located 16" min. - 18" max. from side wall).

Upper Right: Toilet paper dispensers are mounted within the required 12" clearance space above the grab bar.

Lower Left: Men's lavatory does not provide compliant knee clearance. Soap dispenser is mounted too high.

Homestead Park
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET	
Accessible Parking									
Barrier	540	The accessible stall lacks compliant accessible parking signage, or existing signage is not 60" min. high measured to the bottom of sign.	Citation	2010 ADA Stds. 502.6, 703.7.2.1, 216.5					
ITEM 1: MAIN PARKING LOT - ACCESSIBLE PARKING, ADJACENT TO BALLFIELD #1	Relocation of signage is required due to restriping accessible parking spaces and aisles.	Signs shall be 60" min. AFF or ground surface, measured to bottom of the sign. Note: Where a total of four or fewer parking spaces, including accessible parking are provided on site, signs not required.	P	O	1	1	3	EA \$216	

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
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Assembly Areas - Indoor / Outdoor

Barrier	563	The assembly area lacks the minimum quantity of wheelchair seating areas with adjoining companion seats.	Citation	2010 ADA Stds. 221.2.1					
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ITEM 2: BALLFIELD #1 - HOME TEAM BLEACHERS	Relocate the companion seats to provide min. 66" for 2 wheelchairs, and 36" min. for 1 wheelchair. Provide sign at each designated space. Pricing included is for signage, not bleacher companion seat relocation.	Existing bleachers (1 large set, 1 small set) provide seating for approximately 125 spectators, which requires min. 4 wheelchair spaces. Wheelchair spaces adjacent to companion seats are provided in front of the large set of bleachers, however 36" width (or 66" for 2 wheelchairs) is not provided. Quantity required: For (4 to 25) fixed seats = 1 space; (26 to 50) = 2 spaces; (51 to 150) = 4 spaces; (151 to 300) = 5 spaces; (301 to 500) = 6 spaces; (501 to 5000) = 6 plus 1 for each 150 of fraction thereof between 501 through 5000 spaces; 5001 and over) = 36 plus 1 for each 200 or fraction thereof over 5000 spaces.	P	O	1	2	4	EA	\$204
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ITEM 3: BALLFIELD #1 - VISITOR TEAM BLEACHERS	Replace the south set of of bleachers with a shorter bleacher to provide min. width of 66" between the 2 sets for 2 wheelchairs, and 44" on the south end (before the angled non-viewable fencing begins) for another wheelchair. Move both sets of bleachers away from the ballfield fencing to provide 5'-8" min. clearance for an accessible route and space for wheelchair. Provide sign at each designated space. Pricing included is for signage, not bleacher replacement and bleacher relocation.	Existing bleachers provide seating for approximately 80 people; 4 wheelchair spaces are required. Space for 1 wheelchair is provided on the north end. Due to the non-viewable fencing area behind home base and 20" width provided between the 2 sets of bleachers, sufficient space is not provided for the additional 3 required wheel chair spaces. Also, 5'-8" clearance is required between the front of the bleachers and the ballfield fencing (44" code required exterior accessible route plus 24" for the wheelchair space extension adjacent to the companion bleacher seat); 5'-4" is provided. Note that space for an accessible route is also not provided between the back of the bleachers to the curb (14" is provided). Quantity required: For (4 to 25) fixed seats = 1 space; (26 to 50) = 2 spaces; (51 to 150) = 4 spaces; (151 to 300) = 5 spaces; (301 to 500) = 6 spaces; (501 to 5000) = 6 plus 1 for each 150 of fraction thereof between 501 through 5000 spaces; (5001 and over) = 36 plus 1 for each 200 or fraction thereof over 5000 spaces.	P	O	1	2	4	EA	\$204
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See Survey Legend and ADA Overview Report Section for more important information.

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Assembly Areas - Indoor / Outdoor

Barrier	563	The assembly area lacks the minimum quantity of wheelchair seating areas with adjoining companion seats.	Citation	2010 ADA Stds. 221.2.1					
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ITEM 4: BALLFIELD #2 - HOME TEAM BLEACHERS	Move (all) bleachers away from the ballfield fencing to provide min. 5'-8" clearance. Costs are for 4 signs, not for moving the bleachers.	Existing bleachers provide seating for approximately 104 people; 4 wheelchair spaces are required. 2 spaces @ 36" width are provided on each end of the 5-tier bleachers, and the width for 2 wheelchair spaces (66" required) is provided at the end of the 3-tier bleachers. However, the accessible route in front of the bleachers will be compromised. Quantity required: For (4 to 25) fixed seats = 1 space; (26 to 50) = 2 spaces; (51 to 150) = 4 spaces; (151 to 300) = 5 spaces; (301 to 500) = 6 spaces; (501 to 5000) = 6 plus 1 for each 150 of fraction thereof between 501 through 5000 spaces; (5001 and over) = 36 plus 1 for each 200 or fraction thereof over 5000 spaces.	P	O	1	2	4	EA	\$204
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ITEM 5: BALLFIELD #2 - VISITOR TEAM BLEACHERS	Move bleachers away from the fencing to provide min. 5'-8" clearance. Costs are for 2 signs, not for moving the bleachers.	Existing bleachers provide seating for approximately 42 people; 2 wheelchair spaces are required. Space for 2 wheelchairs is provided between the dugout and the bleachers (66" + 44" accessible route = 110" required; 107" is provided). Due to the proximity of the bleachers to the ballfield fencing (39" exists; 68" min. required), bleachers also need to move back, away from the ballfield fencing, to provide an accessible route. Quantity required: For (4 to 25) fixed seats = 1 space; (26 to 50) = 2 spaces; (51 to 150) = 4 spaces; (151 to 300) = 5 spaces; (301 to 500) = 6 spaces; (501 to 5000) = 6 plus 1 for each 150 of fraction thereof between 501 through 5000 spaces; (5001 and over) = 36 plus 1 for each 200 or fraction thereof over 5000 spaces.	P	O	1	2	2	EA	\$102
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See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
Barrier	482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.	Citation	2010 ADA Stds. 902.1, 226, 226.2				
ITEM 10: BALLFIELD #2 - PICNIC TABLE AREA	Provide the indicated number of tables with tops no more than 34" AFF, and with 27" high, 30" wide, 8" deep knee space, and 17" deep toe space.	Existing condition: 4 picnic tables are provided, but none provides an accessible forward approach with knee and toe space.	P	O	1	2	1 EA	\$2,500
ITEM 11: TENNIS COURT AREA - NORTH PARK AREA	Provide the indicated number of tables with tops no more than 34" AFF, and with 27" high, 30" wide, 8" deep knee space, and 17" deep toe space.	Existing condition: There are 2 picnic tables; neither one provides an accessible forward approach with knee and toe space. Suggest replacing the picnic table on the west side, as it has an accessible route to it.	P	O	1	2	1 EA	\$2,500

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Doors									
Barrier	612	The door lacks the required maneuvering space, or the maneuvering space is not level.	Citation	2010 ADA Stds. 404.2.4					
ITEM 12: MEN'S RESTROOM	Revise door hardware so that door does not have BOTH a closer and a latch.	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). See additional dimensions for other approaches in 404.2.4.1. Existing condition: Both of the restroom entry doors have a latch and a closer, requiring 12" min. width at the push side.	P	O	1	2	1	SET	\$200
ITEM 13: WOMEN'S RESTROOM	Revise door hardware so that door does not have BOTH a closer and a latch.	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). See additional dimensions for other approaches in 404.2.4.1. Existing condition: Both of the restroom entry doors have a latch and a closer, requiring 12" min. width at the push side.	P	O	1	2	1	SET	\$200

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Dressing Rooms, Fitting Room, Locker Room								
Barrier	760	The accessible dressing or fitting room lacks a 42" min. long x 20" to 24" deep bench mounted between 17" - 19" high, or lacks 30"x48" clear floor space at the end of the bench, or lacks an accessible back support.	Citation	2010 ADA Stds. 222, 903				
ITEM 14: MEN'S RESTROOM - DRESSING AREA	Provide a new 20" to 24" deep x 42" long bench at 17" - 19" height affixed to a wall or with accessible back support in an accessible location within the dressing room. Provide a 30"x48" clear floor space at the end of the bench for wheelchair user transfer..	Existing condition: Restroom appears to be used for a dressing rooms for team sports. 3 benches are provided, and none comply with Section 903.	P	O	1	2	1	EA \$1,110
ITEM 15: WOMEN'S RESTROOM - DRESSING AREA	Provide a new 20" to 24" deep x 42" long bench at 17" - 19" height affixed to a wall or with accessible back support in an accessible location within the dressing room. Provide a 30"x48" clear floor space at the end of the bench for wheelchair user transfer..	Existing condition: Restroom appears to be used for a dressing rooms for team sports. 3 benches are provided, and none comply with Section 903.	P	O	1	2	1	EA \$1,110
Barrier	761	The coat hooks are too high, or the shelves are not 40" min. to 48" max. AFF.	Citation	2010 ADA Stds. 222, 304.4, 803.2				
ITEM 16: MEN'S RESTROOM - ABOVE THE BENCHES	Lower the coat hooks or provide an additional one.	Coat hooks are required to be 48" and/or comply with reach ranges per Section 308. Existing condition: Hooks are 56" AFF.	P	O	1	2	1	EA \$108
ITEM 17: WOMEN'S RESTROOM - ABOVE THE BENCHES	Lower the coat hooks or provide an additional one.	Coat hooks are required to be 48" and/or comply with reach ranges per Section 308. Existing condition: Hooks are 56" AFF.	P	O	1	2	1	EA \$108

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET	
Drinking Fountains									
Barrier	751	There are not a min. of 2 water fountains provided OR there is not a water fountain that meets the requirements for both wheelchair accessibility and for standing persons (hi-low).	Citation	2010 ADA Stds. 211.2					
ITEM 18: EAST SIDE OF TENNIS COURTS	Replace the fountain with a hi-low model.	Where provided, min. 2 water fountains are required. 1 is required to meet 602.1 - 602.6 for clear floor space, height, operable parts, and water flow, and 1 is required to meet 602.7 which is height for standing persons. If a water fountain is provided that meets both requirements, it may be substituted for 2 fountains. Spout outlets shall be 36" max. AFF or ground. Drinking fountains for standing persons: Spout outlets shall be 38" min. and 43" max. AFF. Existing condition: Single drinking fountain is provided with rim measuring 28" above grade.	P	O	1	4	1	EA \$4,400	
ITEM 19: OUTSIDE LOCKER ROOMS	Replace each drinking fountain with a hi-low model (or eliminate 1 or 2 fountains as determined by city).	Where drinking fountains are provided, min. 2 water fountains are required. 1 is required to meet 602.1 - 602.6 for clear floor space, height, operable parts, and water flow, and 1 is required to meet 602.7 which is height for standing persons. If a water fountain is provided that meets both requirements, it may be substituted for 2 fountains. Spout outlets shall be 36" max. AFF. Spout outlets of drinking fountains for standing persons shall be 38" min. and 43" max. AFF. Existing condition: A single low level drinking fountain with insufficient knee depth is provided outside locker room doors (total 3 locations).	P	O	1	4	3	EA \$13,200	

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	500	The accessible route with a level change lacks a ramp, or the existing ramp is substantially non-compliant.	Citation	2010 ADA Stds. 303, 303.4				
ITEM 20: ACCESSIBLE ROUTE TO TENNIS COURTS - NORTH PARK AREA	Construct a ramp structure with max. 1:12 (8.33%) ramp at the indicated number of locations.	Max. ramp slope is 1:12. Ramps with a level change at or less than 3" can have a slope up to 1:8 max. Ramps with level change at or less than 6" can have a slope up to 1:10 max. Ramp slopes shall not exceed 1:8. Handrails are required where the rise is greater than 6". Existing condition: From the picnic table area up to the tennis court, route has 2 steps up.	P	O	1	2	1	LF \$750
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 21: BALLFIELD #2 - PICNIC TABLE AREA	Provide 44" min. wide (per Code) asphalt paving to an accessible picnic table. Include a 30"x48" clear floor space at knee & toe approach area.	Existing condition: picnic tables are provided in lawn area.	P	O	1	2	15	LF \$530
ITEM 22: DRINKING FOUNTAIN EAST OF TENNIS COURTS	Provide new accessible route 44" wide (per Code) asphalt paving from nearest path.	No accessible route is provided to drinking fountain east of tennis court.	P	O	1	2	9	LF \$318
ITEM 23: PICNIC AREA - ADJACENT TO NORTH PARKING LOT, BBQ	Provide 44" min. wide (per Code) asphalt paving to the indicated amenities. Include a 30"x48" clear floor space adjacent to the front of the BBQ.	Existing condition: BBQ lacks a paved accessible route to it.	P	O	1	2	20	LF \$706

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	671	The accessible toilet stall lacks the min. required dimensions, or the accessible water closet lacks the min. required 60" wide clear floor space.	Citation	2010 ADA Stds. 604, 213				
ITEM 24: MEN'S RESTROOM - ACCESSIBLE TOILET STALL	Remove 1 reinforced masonry toilet stall partition and replace it with a narrower metal toilet partition, providing the extra space in the accessible stall.	2010 Standards requirements for standard stalls: Min. 60" wide x 56" long (at wall mounted toilet), or min. 60" wide x 59" long (at floor mounted toilet). Also, min. 9" high toe clearance is required at all accessible stalls, unless stall depth exceeds 62" for wall hung and 65" for floor mounted toilets is provided. ADA requirements for clear floor space at water closets: Min. 60" wide x min. 56" long (both approaches). Existing condition: toilet stall measures 54" wide x 58" long.	P	O	1	3	1 EA	\$5,190
ITEM 25: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL	Remove 1 reinforced masonry toilet stall partition and replace it with a narrower metal toilet partition, providing the extra space in the accessible stall.	2010 Standards requirements for standard stalls: Min. 60" wide x 56" long (at wall mounted toilet), or min. 60" wide x 59" long (at floor mounted toilet). Also, min. 9" high toe clearance is required at all accessible stalls, unless stall depth exceeds 62" for wall hung and 65" for floor mounted toilets is provided. ADA requirements for clear floor space at water closets: Min. 60" wide x min. 56" long (both approaches). Existing condition: toilet stall measures 55" wide x 58" long.	P	O	1	3	1 EA	\$5,190
Barrier	677	The coat hook exceeds 48" high for a front or side approach or the shelves are not mounted 40" min. and 48" max. AFF.	Citation	2010 ADA Stds. 603.4, 308				
ITEM 26: MEN'S RESTROOM - ACCESSIBLE TOILET STALL	Provide an additional lower coat hook.	Mount at 48" or lower. Existing condition: hook is mounted 58" AFF.	P	O	1	3	1 EA	\$150

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
ITEM 27: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL	Provide an additional lower coat hook.	Mount at 48" or lower. Existing condition: Hook is mounted 56" AFF.	P	O	1	3	1 EA	\$150
Barrier	679	The toilet seat height is not between 17" - 19" high.	Citation	2010 ADA Stds. 604.4, 604.9				
ITEM 28: MEN'S RESTROOM - ACCESSIBLE TOILET	Install a lift seat.	Existing condition: top of seat is 16-1/2" AFF.	P	O	1	3	1 EA	\$210
ITEM 29: WOMEN'S RESTROOM - ACCESSIBLE TOILET	Install a lift seat.	Existing condition: top of seat is 16-1/2" AFF.	P	O	1	3	1 EA	\$210
Barrier	681	The existing grab bars are non-compliant in size, configuration, or mounting height.	Citation	2010 ADA Stds. Fig. 604.5.2, 609.2, 604.9				
ITEM 30: MEN'S RESTROOM	Remount the existing grab bars.	Existing condition: The grab bars are the proper length, but are mounted too close to the corner. The 42" side wall grab bar should be 54" min. from the corner, and the 36" rear wall grab bar should be mounted so that 24" is from the toilet centerline to the end of the grab bar on the open side.	P	O	1	3	1 EA	\$410
ITEM 31: WOMEN'S RESTROOM	Remount the existing grab bars.	Existing condition: The grab bars are the proper length, but are mounted too close to the corner. The 42" side wall grab bar should be 54" min. from the corner, and the 36" rear wall grab bar should be mounted so that 24" is from the toilet centerline to the end of the grab bar on the open side.	P	O	1	3	1 EA	\$410

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LOCATION	RECOMMENDATION	COMMENTS	CITATION	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET			
Restrooms / Bathrooms												
Barrier	682	The flush controls are not located at open side of toilet, or controls require gripping, twisting, or pinching to operate.	Citation	2010 ADA Stds.	604.6							
ITEM 32: MEN'S RESTROOM - ACCESSIBLE TOILET STALL		Reverse controls or provide a retrofit sensor control on the wall mounted toilet.				P	O	1	3	1	EA	\$810
Barrier	683	The toilet paper dispenser is not mounted 7" - 9" in front of the toilet edge measured to the center of the fixture, or min. 15" to max. 48" high OR is located less than 12" above the grab bar or less than 1-1/2" below the grab bar.	Citation	2010 ADA Stds.	604.7							
ITEM 33: MEN'S RESTROOM - ACCESSIBLE TOILET STALL		Relocate the dispenser.				P	O	1	3	1	EA	\$72
ITEM 34: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL		Relocate the dispenser.				P	O	1	3	1	EA	\$72
Barrier	688	The lavatory lacks min. 27" high knee space at front edge, extending 8" deep under the lavatory, and/or 30"x48" clear floor space.	Citation	2010 ADA Stds.	606.2							
ITEM 35: MEN'S RESTROOM		Replace lavatory with an accessible model.				P	O	1	3	1	EA	\$2,340

See Survey Legend and ADA Overview Report Section for more important information.

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Island Crest Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
ITEM 36: WOMEN'S RESTROOM	Replace lavatory with an accessible model.	Where lavatories are provided at least one shall be accessible and not be located in a toilet compartment. Existing condition: Knee space is not provided below either lavatory.	P	O	1	3	1 EA	\$2,340
Barrier	694 The specified dispensers (soap, towel, seat cover, sanitary napkin, or baby changing), outlets, or controls exceed max. reach range of 48" high for a front or side approach, or lack clear floor space.	Citation 2010 ADA Stds. 308.3						
ITEM 37: MEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate the seat cover dispenser from behind the toilet to a location within reach range.	Dispensers are required to be max. 48" high for a front and parallel approach.	P	O	1	3	1 EA	\$150
ITEM 38: MEN'S RESTROOM - SOAP DISPENSERS	Relocate or lower the dispensers not meeting 2010 Standards to meet more stringent code requirement of a lower height.	Dispensers are required to be max. 48" high for a front and parallel approach. Existing condition: Soap dispensers are mounted above 48" AFF to the controls.	P	O	1	3	2 EA	\$300
ITEM 39: MEN'S RR - HAND DRYER	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	Existing condition: the button control for electric hand dryer at each sink is mounted at 49" AFF. If altered or built after Sept. 15, 2010, per 2010 Standards, the item should be below 48" AFF. Many building codes are more stringent and have a max. 48" reach for any approach, which should be applied. CA Title 24 requires 40" max. height. Dispensers are required to be max. 48" high for a front and parallel approach. (Some building codes such as WAC 51-50/IBC require lower mounting heights according to Table 603.6, which should be applied in these jurisdictions.)	P	O	8	2	1 EA	\$0

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms									
ITEM 40: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate the seat cover dispenser from behind the toilet to a location within reach range.	Dispensers are required to be max. 48" high for a front and parallel approach.	P	O	1	3	1	EA	\$150
ITEM 41: WOMEN'S RESTROOM - HAND DRYER	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	Existing condition: the button control for electric hand dryer at each sink is mounted at 50" AFF. If altered or built prior to Sept. 15, 2010, per 2010 Standards, the item should be below 48" AFF. Many building codes are more stringent and have a max. 48" reach for any approach, which should be applied. CA Title 24 requires 40" max. height. Dispensers are required to be max. 48" high for a front and parallel approach. (Some building codes such as WAC 51-50/IBC require lower mounting heights according to Table 603.6, which should be applied in these jurisdictions.)	P	O	8	2	1	EA	\$0
ITEM 42: WOMEN'S RESTROOM - SOAP DISPENSERS	Relocate or lower the dispensers not meeting 2010 Standards to meet more stringent code requirement of a lower height.	Dispensers are required to be max. 48" high for a front and parallel approach. Existing condition: 1 soap dispenser is mounted at 50" AFF to the controls, and the other is compliant at 42" AFF.	P	O	1	3	1	EA	\$150

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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Island Crest Park

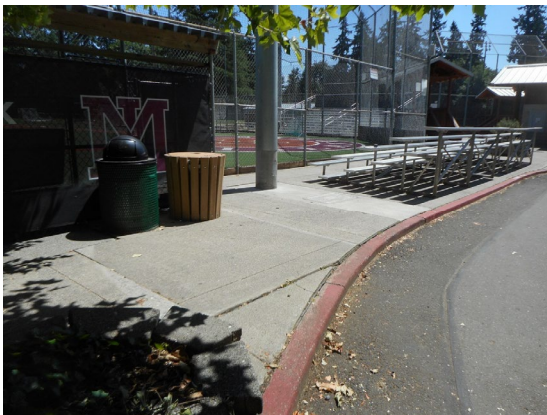
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Signage								
Barrier	713	The permanent room sign lacks raised letters and braille characters OR the raised letters characters do not meet the requirements.	Citation	2010 ADA Stds. 216, 703.3, 703.2, 703.5				
ITEM 43: BALLFIELD AREA - MEN'S RESTROOM	Provide new compliant sign at the latch side of the door.	Signs to have raised and braille characters, high-contrast finish / non-glare surface, and must be mounted at 60" high (measured from baseline of highest tactile character to finish floor) located adjacent to the latch side of the door. Tactile characters shall be 48" min. to baseline of lowest character. Signs not located in public use areas shall not be required to comply with 216. Existing condition: Signage does not have raised lettering, and braille is 40" AFF.	P	O	1	2	1 EA	\$290
ITEM 44: BALLFIELD AREA - WOMEN'S RESTROOM	Provide new compliant sign at the latch side of the door.	Signs to have raised and braille characters, high-contrast finish / non-glare surface, and must be mounted at 60" high (measured from baseline of highest tactile character to finish floor) located adjacent to the latch side of the door. Tactile characters shall be 48" min. to baseline of lowest character. Signs not located in public use areas shall not be required to comply with 216. Existing condition: Signage does not have raised lettering, and braille is 40" AFF.	P	O	1	2	1 EA	\$290
Total for Building: Island Crest Park								\$49,356

See Survey Legend and ADA Overview Report Section for more important information.

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Island Crest Park

Upper Left: Van accessible parking space is insufficient in width. Relocation of signage is required due to restriping.

Upper Right: Ballfield #1 Home Team bleachers — companion seats do not provide the required width for adjacent wheelchair seating.

Lower Left: Ballfield #1 Visitor Team bleachers — space is not sufficient for wheelchair seating, including accessible route.

Island Crest Park
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Island Crest Park

Upper Left: Ballfield #2 Home Team bleachers are too close to fencing to provide an accessible route in front of the required wheelchair spaces.

Upper Right: Ballfield #2 Visitor Team bleachers are too close to fencing to provide an accessible route in front of the required wheelchair spaces.

Lower Left: Dugouts require a wheelchair space adjacent to the end of the bench. Some benches must be adjusted in length to provide wheelchair space.

Island Crest Park

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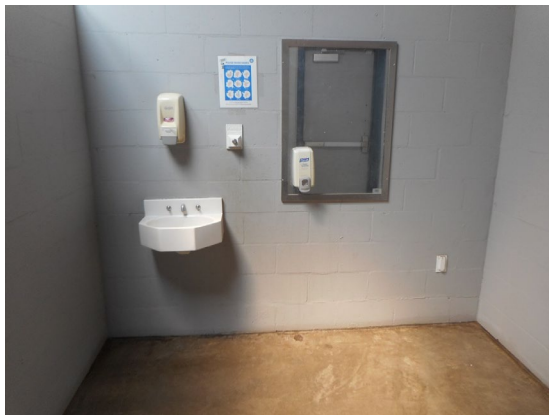
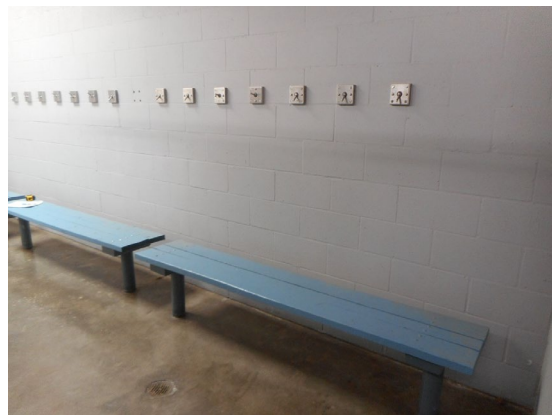
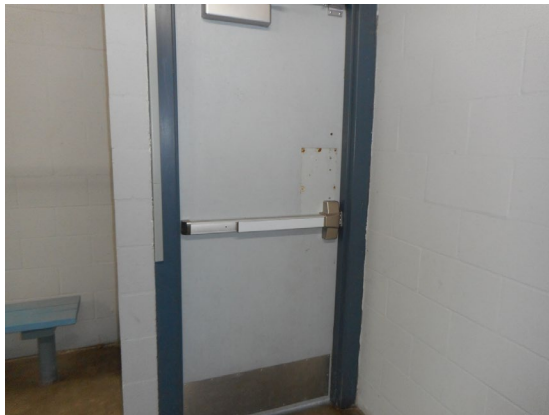
Island Crest Park

Upper Left: 1 picnic table is required to provide an accessible seat. An accessible route is required to table.

Upper Right: 1 picnic table is required to provide an accessible seat. An accessible route is required to table. A ramp is required to tennis courts.

Lower Left: A single low drinking fountain is provided outside of each restroom, with insufficient knee space. Hi-low drinking fountains are required.

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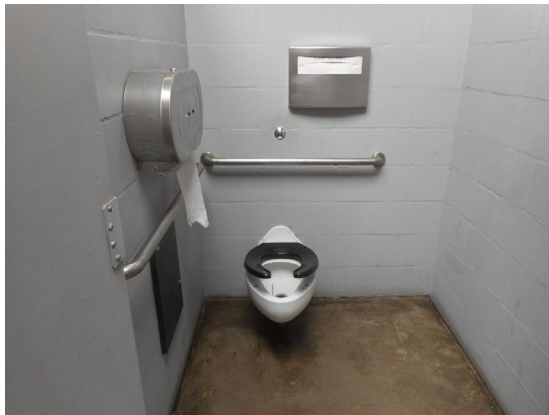


Island Crest Park

- Upper Left: Restroom doors have a latch and a closer, requiring 12" min. width on the push side.
- Upper Right: Dressing room benches are non-compliant, an additional bench is required in each dressing room. Clothes hooks are mounted too high, one in each room must be lowered or provide a new hook at 48" max. AFF.
- Lower Left: Each restroom has 2 lavatories. Neither has an accessible knee space clearance. 1 in each restroom must be compliant. Soap dispenser mounted too high.

Island Crest Park

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Island Crest Park

Upper Left: Accessible toilet stall in each restroom is insufficient in width. Seat heights are too low. Grab bars require relocation. Flush control in Men's accessible stall is incorrectly located. Photo is Men's restroom.

Upper Right: The accessible toilet stall in each restroom requires toilet paper & seat cover dispensers to be relocated. Photo is Women's restroom.

Lower Left: Restroom signage is non-compliant (requires raised lettering and braille), and is non-compliant in location.

Island Crest Park
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Lincoln Landing

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
Barrier	482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.	Citation	2010 ADA Stds. 902.1, 226, 226.2				
ITEM 1: ACCESSIBLE PICNIC TABLES		Provide the indicated number of tables with tops no more than 34" AFF, and with 27" high, 30" wide, 8" deep knee space, and 17" deep toe space.	Existing condition provides 2 picnic tables, and neither has an accessible clear floor space for a forward approach.	P	O	1	2	1 EA \$2,500

See Survey Legend and ADA Overview Report Section for more important information.

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Lincoln Landing

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 2: ACCESSIBLE ROUTE TO PICNIC TABLES		Provide 44" min. wide (per Code) asphalt paving to the indicated amenities. At any slopes exceeding 5%, provide a compliant ramp with complying handrails and landings.		P	O	1	2	50 LF \$1,766
Barrier	518	The indicated object exceeds 48" high for a side approach and a front approach OR lacks a level 30"x48" clear floor space OR requires gripping and twisting.	Citation	2010 ADA Stds. 308				
ITEM 3: ACCESSIBLE PICNIC TABLES		Remove section of concrete paving and regrade & pave with concrete with a 2% max. cross slope (1:48).		P	O	1	2	3 LF \$216
Total for Building: Lincoln Landing								\$4,482

See Survey Legend and ADA Overview Report Section for more important information.

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Lincoln Landing

- Upper Left: No accessible route is provided to picnic tables.
- Upper Right: Neither of the 2 picnic tables provides an accessible seat with the required knee and toe clearance. 1 accessible picnic table must be provided.
- Lower Left: The accessible picnic table requires a paved clear floor space at the accessible seat, and an accessible route to it.

Lincoln Landing

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Luther Burbank Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Accessible Parking								
Barrier	540	The accessible stall lacks compliant accessible parking signage, or existing signage is not 60" min. high measured to the bottom of sign.	Citation	2010 ADA Stds. 502.6, 703.7.2.1, 216.5				

ITEM 1: NORTH PARKING LOT - ACCESSIBLE PARKING	Mount existing signs displaying the International Symbol of Accessibility on new permanent posts directly beyond head of spaces at compliant height of 60" min. to bottom edge of signs.	Signs shall be 60" min. AFF or ground surface, measured to bottom of the sign. Existing condition: Compliant signs are provided, but mounted on wall (far back from head of spaces) at height of 44" above grade.	P	O	1	1	5	EA	\$1,450
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See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Assembly Areas - Indoor / Outdoor								
Barrier	563	The assembly area lacks the minimum quantity of wheelchair seating areas with adjoining companion seats.						
				Citation				2010 ADA Stds. 221.2.1
ITEM 2: AMPITHEATER	Provide new wheelchair accessible areas (wheelchair space with adjoining designated companion seat) at exterior assembly area - 2 at left side, 2 at right. Provide sign at each designated space.	Existing condition: Terraced lawn seating provided, but no accessible spaces are provided. Quantity required: For (4 to 25) fixed seats = 1 space; (26 to 50) = 2 spaces; (51 to 150) = 4 spaces; (151 to 300) = 5 spaces; (301 to 500) = 6 spaces; (501 to 5000) = 6 plus 1 for each 150 of fraction thereof between 501 through 5000 spaces; (5001 and over) = 36 plus 1 for each 200 or fraction thereof over 5000 spaces.	P	O	1	2	88 SF	\$2,200
Barrier	573	There is no direct accessible route from the wheelchair seating area to the performing areas, such as the stage.						
				Citation				2010 ADA Stds. 206.2.6
ITEM 3: AMPITHEATER	Provide new 44" min. wide (per Code) accessible route to the stage from circulation path to north.	Where a circulation path directly connects a performance area to an assembly seating area, an accessible route shall directly connect the assembly seating area with the performance area.	P	O	1	2	15 LF	\$530
Barrier	574	The lawn seating or overflow seating without fixed seats lacks an accessible route.						
				Citation				2010 ADA Stds. 221.5
ITEM 4: AMPITHEATER	Provide accessible routes to new accessible seating areas on left and right sides of stage from circulation paths to west and north.	Accessible routes shall be 44" min. wide (per Code); lengths are assumed at 35'-0" from west circulation path to left side of stage (to negotiate slope of lawn) and 5'-0" from north circulation path to right side of stage.	P	O	1	2	40 LF	\$1,413

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
Barrier 481	The sales or service counter lacks a 36" long lowered portion of counter that is max. 36" high for a 48" parallel approach or is not 30" long min. with knee space for a forward approach or does not extend the same depth as the sales or service countertop.		Citation	2010 ADA Stds. 227.3, 904.4.2, 902.3				
ITEM 5: GUARD STATION - SERVICE COUNTER	Lower a section of existing counter to 36" AFF (for 36" min. length).	Service counter is rolling door with sill measuring approximately 40" above lawn.	P	O	1	2	1 EA	\$3,000
Barrier 482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.		Citation	2010 ADA Stds. 902.1, 226, 226.2				
ITEM 6: ACCESSIBLE PICNIC TABLE - PLAY AREA NEAR TENNIS COURTS	Provide additional accessible picnic table near existing picnic table with surface 34" max. above grade and knee space 30" min. wide, 27" min. high and 17" min. deep on one end of table. Ensure clear floor space below end of accessible table has slope of 1:48 (2%) max. in any direction.	Existing picnic table located at the north side of play area has table surface measuring 30" from grade with knee space measuring 26-1/4" high and 23-1/4" wide.	P	O	1	2	1 EA	\$2,500
ITEM 7: ACCESSIBLE PICNIC TABLE IN BIG DOG PARK	Provide additional accessible picnic table near south gate with surface 34" max. above grade and knee space 30" min. wide, 27" min. high and 17" min. deep on one end of table.	Existing picnic table is a stand alone located in the middle of dog park with no clear floor space. Table surface measures 29-1/2" from grade with knee space measures 28" high and 12" deep.	P	O	1	2	1 EA	\$2,500

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
ITEM 8: ACCESSIBLE PICNIC TABLE IN SMALL DOG PARK	Provide additional accessible picnic table near gate with surface 34" max. above grade and knee space 30" min. wide, 27" min. high and 17" min. deep on one end of table.	Existing picnic table is a stand alone located in the middle of dog park with no clear floor space. Table surface measures 28-1/2" from grade with knee space measures 27" high and 9" deep.	P	O	1	2	1 EA	\$2,500
ITEM 9: ACCESSIBLE PICNIC TABLE NEAR PLAY AREA - NEAR PICNIC AREA C	Raise tables (or alter accessible end of tables) by 3/4" min. to provide knee height of 27".	Existing picnic tables are have table surface measuring 30" from grade with knee space measuring 30-1/2" wide and 26-1/4" high (with unlimited depth). Owner/maintenance item.	P	O	1	2	1 EA	\$350
ITEM 10: ACCESSIBLE PICNIC TABLE ON BOARDWALK - WETLAND TRAIL	Add accessible picnic table with surface 34" max. AFF and knee space 30" min. wide, 27" min. high and 17" min. deep on one end of table.	Existing picnic table is stand alone located on boardwalk platform with table surface measuring 28" from grade with knee space measures 26-1/2" high and 9" deep.	P	O	1	2	1 EA	\$2,500
ITEM 11: ACCESSIBLE PICNIC TABLES - CALKINS POINT	Replace accessible picnic tables with top of tables at 28" to 34" above slab, and with 27" min. high, 30" min. wide, 17" deep knee and toe space. If table is pedestal type (similar to existing), ensure central post is embedded or recessed in concrete. Pedestal base with change in level at steel plate and protruding bolts is not permitted to encroach into toe space within 30"x48" clear floor space.	Accessible picnic tables are provided on paving on both sides of Calkins Point beach, with surface at 32" AFF, but knee space below measured 25-1/2" from slab to bottom edge of steel angles spaced 26" apart.	P	O	1	2	2 EA	\$5,000

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
ITEM 12: ACCESSIBLE PICNIC TABLES - PICNIC AREA A	Assuming 8 people per picnic table (and 3 existing tables), add 2 new accessible tables with surface 34" max. above grade and knee space 30" min. wide, 27" min. high and 17" min. deep on one end of table. Locate new accessible tables along new accessible route to BBQ grille and trash receptacles.	3 existing stand alone picnic tables were observed in lawn with no clear floor space. Knee space at end of all of them was too low and/or too shallow.	P	O	1	2	2 EA	\$5,000
ITEM 13: ACCESSIBLE PICNIC TABLES - PICNIC AREA B	Assuming 8 people per picnic table, replace accessible table (which is not compliant) with 2 compliant accessible tables, each with surface 34" max. above grade and knee space 30" min. wide, 27" min. high and 17" min. deep on one end of table. Locate new accessible tables along new accessible route to BBQ grille and hot coal receptacle.	3 existing picnic tables were observed in lawn, including 1 designated as accessible table. Knee space at accessible table measured 27" high to bottom surface of table, but only 24-1/2" to bottom edge of steel supports spaced 21-1/2" apart and encroaching on knee space, making it non-compliant.	P	O	1	2	2 EA	\$5,000
ITEM 14: ACCESSIBLE PICNIC TABLES - PICNIC AREA C	Assuming 8 people per picnic table (and 8 picnic tables dispersed across Picnic Area C), replace 4 existing tables with accessible picnic tables with knee space 30" min. wide, 27" min. high and 17" min. deep on one end of table. Locate accessible tables so that slab for 30"x48" clear floor space at accessible end of table has slope of 2% (1:48) at concrete slabs closest to paved walkway.	Existing picnic tables have knee space measuring too low and/or too shallow.	P	O	1	2	4 EA	\$10,000

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
ITEM 15: ACCESSIBLE PICNIC TABLES EAST OF AMPITHEATER	Assuming 8 people per picnic table, replace 2 existing tables with accessible picnic tables with surface 34" max. above grade and knee space 30" min. wide, 27" min. high and 17" min. deep on one end of table.	Existing picnic tables are stand alone located in lawn with no clear floor space. Table surface measures 28" from grade with knee space measures 26-1/2" high and 12" deep.	P	O	1	2	2 EA	\$5,000
ITEM 16: ACCESSIBLE PICNIC TABLES NEAR PLAY AREAS - NEAR TENNIS COURTS	Raise tables (or alter accessible end of tables) by 3/4" min. to provide knee height of 27".	Existing picnic tables are have table surface measuring 30" from grade with knee space measuring 30-1/2" wide and 26-1/4" high (with unlimited depth). Owner/maintenance item.	P	O	1	2	2 EA	\$700

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Doors								
Barrier	612	The door lacks the required maneuvering space, or the maneuvering space is not level.	Citation	2010 ADA Stds. 404.2.4				
ITEM 17: GATE TO SMALL DOG PARK - VESTIBULE BETWEEN DOG PARKS	Remove existing paving at door maneuvering space for small dog park gate and provide new paving at door maneuvering space on both sides of both dog park gate.	Ensure door maneuvering spaces are min. gate width x 48" deep for push side forward approach. Door maneuvering space at small dog park has non-compliant level change on latch side.	P	O	1	2	24 SF	\$1,212
ITEM 18: USER PASSAGE GATES - NORTH END OF BIG DOG PARK	Provide new paving at door maneuvering space on both sides of both dog park gates.	Ensure door maneuvering spaces are min. gate width x 48" deep for push side forward approach. North end of big dog park has 2 user passage gates: 1 north entry to big dog park and 1 entry to pathway leading to the water. Both gates have no paving at door maneuvering space. (Double gate is assumed to be for employees only.)	P	O	1	2	96 SF	\$2,400
ITEM 19: WOMEN'S RESTROOM NEAR TENNIS COURTS	Remove and repave exterior concrete surface (at door entry) to provide a level approach.	Slope of exterior door maneuvering space measures up to 5.5%. Ensure door maneuvering space slopes 2% (1:48) max. in any direction.	P	O	1	2	23 SF	\$1,053
Barrier	622	The existing door does not have a smooth surface a min. 10" from the floor or exterior surface and/or the kick plate installed is not capped.	Citation	2010 ADA Stds. 404.2.10				
ITEM 20: GATES TO DOG PARKS	Recommend no change, as gates pre-date the 2010 ADAS and the 1994 ADAAG did not include this requirement. When gates are replaced or otherwise altered, however, they will need to be brought into compliance with ADAS	For double acting gates, kick plate is required on both sides. Existing condition: Total 3 gates are provided at vestibule between small dog and big dog parks and 2 gates (for user passage) at north end of big dog park; all 5 gates have chain link full height and swing both ways (thus both sides are counted as "push side")	P	O	8	1	10 EA	\$0

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Drinking Fountains								
Barrier	751	There are not a min. of 2 water fountains provided OR there is not a water fountain that meets the requirements for both wheelchair accessibility and for standing persons (hi-low).	Citation	2010 ADA Stds. 211.2				
ITEM 21: DRINKING FOUNTAIN AT RESTROOMS - PICNIC AREA C	Retain low level drinking fountain (integral with rinse shower and foot rinse nozzles) and add a high level drinking fountain for standing persons.	Where provided, min. 2 water fountains are required. 1 is required to meet 602.1 - 602.6 for clear floor space, height, operable parts, and water flow, and 1 is required to meet 602.7 which is height for standing persons. Spout outlets of drinking fountains for standing persons shall be 38" min. and 43" max. AFF. Existing condition: Compliant low level drinking fountain is provided for wheelchair users integral with exterior rinse shower nozzle and low level foot rinse nozzle.	P	O	1	4	1	EA \$4,400
ITEM 22: RESTROOMS AT BOILER ROOM	Replace the fountain with a hi-low model.	Where provided, min. 2 water fountains are required. 1 is required to meet 602.1 - 602.6 for clear floor space, height, operable parts, and water flow, and 1 is required to meet 602.7 which is height for standing persons. If a water fountain is provided that meets both requirements, it may be substituted for 2 fountains. Spout outlets shall be 36" max. AFF or ground. Drinking fountains for standing persons: Spout outlets of drinking fountains for standing persons shall be 38" min. and 43" max. AFF. Existing condition: Only one drinking fountain is provided.	P	O	1	4	1	EA \$4,400
Barrier	753	The water fountain lacks a min. 27" high knee clearance for a front approach, OR is too high, creating a protruding object.	Citation	2010 ADA Stds. 602.2,307				
ITEM 23: SOUTH OF ADMIN. BLDG.	Where the spout height complies at 36" max., add a furring strip to the bottom of the fountain to 27" exactly.	Objects that protrude over 4" horizontal are considered a protruding object if the leading edge is above 27" AFF. Existing condition; low fountain bottom is at 27-3/4" AFF.	P	O	1	4	1	EA \$320

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Drinking Fountains								
Barrier	754	The drinking fountain lacks a 30"x48" clear floor space for a front approach OR the clear floor space slope exceeds 2% in all directions.	Citation	2010 ADA Stds. 602.2				
ITEM 24: DRINKING FOUNTAIN AT RESTROOMS - PICNIC AREA C	Remove existing and provide level clear floor space under low level fountain of min. size 30"x48" with slope of 2% max. (1:48) max. in any direction.	Clear floor space under low fountain is too small and measured between 2.5% and 3%.	P	O	1	4	15 SF	\$864
ITEM 25: NEAR RAMP TO PLAY AREA - NEAR TENNIS COURTS	Remove existing and provide level clear floor space under low level fountain of minimum size 30"x48" with slope of 2% max. (1:48) max. in any direction.	Slope of clear floor space under low fountain measured between 8% and 12%.	P	O	1	4	15 SF	\$864
ITEM 26: SOUTH OF ADMIN. BLDG.	Level a min. 30"x48" clear floor space to provide 2% in all directions at the fountain.	Existing condition: clear floor space at fountain measured up to 4.6% slope.	P	O	1	4	10 SF	\$576

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Exterior Accessible Routes / Entries								
Barrier	500	The accessible route with a level change lacks a ramp, or the existing ramp is substantially non-compliant.	Citation	2010 ADA Stds. 303, 303.4				
ITEM 27: NEW RAMP TO EXISTING TENNIS COURTS	Demolish retaining wall on north side as required and construct new ramp with retaining walls with max. 1:12 (8.33%) slope for total rise of approximately 42", comprised of 2 ramp runs with 60" min. long landings at top, bottom, and middle. Seating levels along retaining wall shall be reworked with this new ramp construction to provide seating areas with slopes of 1:48 (2%) max. and on accessible routes.	Existing level change on north side of tennis court is approximately 42" (estimated from stairs with 7 risers each 6" high). Existing seating areas are a large step down (not on accessible route) and sloped between 3% and 5%. Ramp slope shall be 1:12 max. Ramps shall have continuous handrails on both sides with 12" min. long extensions at top and bottom of ramps before bending down or returning to wall.	P	O	1	2	60	LF \$45,000
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 28: ACCESSIBLE PICNIC TABLE - PICNIC AREA C	Provide new accessible route 44" wide (per Code) asphalt paving to 2 existing picnic table concrete pads from existing path and to 1 existing picnic table pad from Guard station (passing by and accessing dog waste station and trash receptacle along the way).	Accessible route is provided to only 1 concrete pad at picnic tables. 2 existing concrete pads nearest to paved walkway measured approximately 6'-0" and 19'-0" away from edge of pavement. A 4th concrete pad at picnic table measured approximately 35'-0" from Guard station.	P	O	1	2	60	LF \$2,119
ITEM 29: ACCESSIBLE PICNIC TABLE IN BIG DOG PARK	Provide concrete paving at clear floor space under accessible picnic table (slope not to exceed 2.08%).	Locate accessible picnic table near south gate (assume 5'-0" from paving at south gate).	P	O	1	2	30	SF \$750

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
ITEM 30: ACCESSIBLE PICNIC TABLE IN SMALL DOG PARK	Provide concrete paving at clear floor space under accessible picnic table (slope not to exceed 2.08%).	Locate accessible picnic table near gate (assume 5'-0" from paving).	P	O	1	2	30	SF \$750
ITEM 31: ACCESSIBLE PICNIC TABLE ON BOARDWALK - WETLAND TRAIL	Adjust boardwalk boards or fill in gaps as required to provide joints no wider than 1/2" and perpendicular with direction of travel (slope not to exceed 2.08%).	Boardwalk surface at clear floor space has joints that measure as wide as 3/4" in some places and are parallel with direction of forward approach into accessible seat.	P	O	1	2	12	SF \$0
ITEM 32: ACCESSIBLE PICNIC TABLES EAST OF AMPITHEATER	Provide concrete paving at clear floor space under 2 accessible picnic tables (slope not to exceed 2.08%).	Locate 1 accessible picnic table directly adjacent paved circulation route; locate other accessible picnic table deeper into lawn (assume 20'-0" from paved circulation route).	P	O	1	2	100	SF \$2,500
ITEM 33: ACCESSIBLE ROUTE TO - NEAR SWIM BEACH	Provide new accessible route 44" wide (per Code) asphalt paving from restroom building to existing Guard station.	No accessible route is provided to Guard station	P	O	1	2	55	LF \$1,943
ITEM 34: ACCESSIBLE ROUTE TO BENCH NEAR DOG WASH	Provide new accessible route 44" wide (per Code) asphalt paving from existing paved path to bench.	No accessible route is provided to bench.	P	O	1	2	40	LF \$1,413
ITEM 35: ACCESSIBLE ROUTE TO BENCH NEAR NORTH GATE - BIG DOG PARK	Provide new accessible route 44" wide (per Code) asphalt paving from north gate to existing bench along north fence.	No accessible route is provided to bench.	P	O	1	2	28	LF \$989

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Exterior Accessible Routes / Entries									
ITEM 36: ACCESSIBLE ROUTE TO BENCH NEAR PATH - CALKINS POINT	Provide new accessible route 44" wide (per Code) asphalt paving from north gate to existing bench along north fence.	No accessible route is provided to bench.	P	O	1	2	8	LF	\$283
ITEM 37: ACCESSIBLE ROUTE TO BENCH NEAR PATH - EAST OF AMPITHEATER	Provide new accessible route 44" wide (per Code) asphalt paving from existing paved path to accessible bench near path facing shore.	No accessible route is provided to benches.	P	O	1	2	12	LF	\$424
ITEM 38: ACCESSIBLE ROUTE TO BENCH NEAR PICNIC AREA B	Provide new accessible route 44" wide (per Code) asphalt paving from new accessible route along Picnic Area B to nearest bench.	2 benches are provided near Picnic Area B and no accessible route is provided to either bench. Running slope of accessible route shall be 1:20 (5%) max. (otherwise a compliant ramp would be required).	P	O	1	2	30	LF	\$1,060
ITEM 39: ACCESSIBLE ROUTE TO BENCH NEAR WALLACE POND	Provide new accessible route 44" wide (per Code) asphalt paving from existing paved path to bench nearest North Lot.	2 benches are provided near Wallace Pond and no accessible route is provided to either bench. Running slope of accessible route shall be 1:20 (5%) max. (otherwise a compliant ramp would be required).	P	O	1	2	25	LF	\$883
ITEM 40: ACCESSIBLE ROUTE TO BENCH UNDER TREE - EAST OF AMPITHEATER	Provide new accessible route 44" wide (per Code) asphalt paving from nearest existing paved path to accessible bench under tree.	No accessible route is provided to benches.	P	O	1	2	35	LF	\$1,236
ITEM 41: ACCESSIBLE ROUTE TO DOG BEACH - BIG DOG PARK	Provide 44" min. wide (per Code) asphalt paving to dog beach. At any slopes exceeding 5%, provide a compliant ramp with complying handrails and landings.	No accessible route is provided to dog beach. Slope of decline toward water measured as steep as 18%.	P	O	1	2	190	LF	\$12,540

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Exterior Accessible Routes / Entries								
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 42: ACCESSIBLE ROUTE TO DOG WASH	Provide new accessible route 44" wide (per Code) asphalt paving from existing paved path to dog wash.	No accessible route is provided to dog wash.	P	O	1	2	30	LF \$1,060
ITEM 43: BBQ GRILLE - PICNIC AREA C	Provide new accessible route 44" wide (per Code) asphalt paving from existing grilles from existing picnic table slabs (one 13'-0" long, one 20'-0" long).	No accessible routes are provided to BBQ grilles in Picnic Area C.	P	O	1	2	33	LF \$1,166
ITEM 44: BBQ GRILLE AND COAL RECEPTACLES - PICNIC AREA B	Provide new accessible route 44" wide (per Code) asphalt paving from existing path on the east past trash, recycling and hot coals receptacles to BBQ grille.	No accessible route is provided to BBQ grille or hot coal receptacle.	P	O	1	2	60	LF \$2,119
ITEM 45: BBQ GRILLE AND RECEPTACLES - PICNIC AREA A	Provide new accessible route 44" wide (per Code) asphalt paving from existing path on the east past trash, recycling, and hot coals receptacles to BBQ grille.	No accessible route is provided to BBQ grille, hot coal, trash, and recycling receptacles.	P	O	1	2	75	LF \$2,649
ITEM 46: BULLETIN BOARD - BIG DOG PARK	Provide new bulletin board adjacent paving at south gate in order to provide accessible route and clear floor space nearby.	Existing bulletin board is provided in center of big dog park (approximately 240'-0" from south gate and 185'-0" from north gate).	P	O	1	2	1	EA \$3,500
ITEM 47: PEA PATCH	Provide new accessible route 44" wide (per Code) asphalt paving to existing pea patch from the nearest walkway.	No accessible routes are provided to, or within, the pea patch.	P	O	1	2	370	LF \$13,068

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Exterior Accessible Routes / Entries								
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 48: ROOF OF RESTROOM BUILDING - NEAR TENNIS COURTS	Providing accessible route is not readily achievable without providing wheelchair lift. Consider blocking off access to this space for all children. If route is desired budget \$24,580.00 for wheelchair lift.	Circular stair (with handrail on one side only) climbs up to play / lookout area on roof of restrooms, but no accessible route is provided to this space.	P	O	2	2	1	EA \$0
ITEM 49: SMALL CHILDREN AREA - PLAY AREA NEAR TENNIS COURTS	Provide new accessible route 44" wide (per Code) asphalt paving at opening in wooden border from existing path.	Although 3 openings are provided in wooden border around small children's play area, none of them is accessed by paved accessible route.	P	O	1	2	3	LF \$106
Barrier	512	The object is a protruding object, which projects more than 4" into the accessible route with its leading edge between 27" and 80" high, making it not cane detectable, with exception to handrails which are allowed 4-1/2" projection.	Citation	2010 ADA Stds. 307.2, 204				
ITEM 50: RAMP TO PLAY AREA - NEAR TENNIS COURTS	Alter handrail return to down to 27" max. above slab - 2 places at bottom of ramp, 2 places at top of ramp, and 1 place at middle landing.	An object may not protrude more than 4" into an accessible path if its leading edge is between 27" and 80" AFF. Existing condition: At ramp to play area, handrails bend down on an angle to vertical post, but protrude approximately 7" at height of 27" above slab.	P	O	1	1	5	EA \$432
ITEM 51: SIGN KIOSK - NEAR BOILER ROOM RESTROOMS	Provide a lower horizontal rail to existing railing down to 27". (Alternatively, ensure no signs protrude more than 4" from surface at 27" above slab.)	An object may not protrude more than 4" into an accessible path if its leading edge is between 27" and 80" AFF. If the object is post mounted it may protrude 12" max. Existing condition: From height of 27" above slab, sign surfaces protrude up to 6" into accessible route.	P	O	1	1	10	LF \$863

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Exterior Accessible Routes / Entries								
Barrier	518	The indicated object exceeds 48" high for a side approach and a front approach OR lacks a level 30"x48" clear floor space OR requires gripping and twisting.	Citation	2010 ADA Stds. 308				
ITEM 52: BIKE RACK ALONG PAVED PATH - EAST OF AMPITHEATER	Replace slab at bike rack and include 30"x48" clear floor space one end of rack.	Bike rack has paved slab measuring up to 9.1% with no clear floor space on either side.	P	O	1	4	30	SF \$750
ITEM 53: FLAG POLE - EAST OF AMPITHEATER	Provide concrete slab for 60"x60" clear floor space directly adjacent flag pole plaque (large enough for turning around at end of long accessible route).	Flag pole has no paved clear floor space adjacent plaque.	P	O	1	4	25	SF \$625
ITEM 54: RECEPTACLES & DISPENSER NEAR PICNIC AREA B	Provide concrete slab for 30"x48" clear floor space directly adjacent trash receptacle, recycling receptacle, and dog waste dispenser.	Trash and recycling receptacles and dog waste dispenser have no clear floor space adjacent pathway near Picnic Area B.	P	O	1	4	30	SF \$750
ITEM 55: RECYCLING RECEPTACLE AT PICNIC AREA NEAR AMPITHEATER	Provide concrete slab for 30"x48" clear floor space directly adjacent recycling receptacle.	Recycling receptacle has opening in center of top surface measuring 26" from edge of paving. Reach range shall be limited to 24" deep over obstruction 34" max. above grade.	P	O	1	4	10	SF \$250
ITEM 56: TRASH RECEPTACLE ACROSS FROM PLAY AREA - NEAR SOUTH LOT	Provide concrete slab for 30"x48" clear floor space directly adjacent trash receptacle.	Trash receptacle is set back too far from paved surface across from play area near south lot.	P	O	1	4	10	SF \$250

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Exterior Accessible Routes / Entries								
ITEM 57: TRASH RECEPTACLE NEAR SOUTH GATE - BIG DOG PARK	Provide concrete slab for 30"x48" clear floor space directly adjacent trash receptacle.	Trash receptacle is set back too far from paved surface near south gate entry to big dog park.	P	O	1	4	10 SF	\$250
ITEM 58: WATER CONTROL AT DOG WASH	Lower the water pipe so control is no higher than 48" above slab when on or off.	Accessible reach range shall be max. 48" and min. 15" reach for any approach. Existing condition: Water control is 42" above slab when off but over 48" when on.	P	O	1	2	1 EA	\$0
Barrier	522	Where an accessible bench is to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat an 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation	2010 ADA Stds. 903				
ITEM 59: ACCESSIBLE BENCH BETWEEN ZIP LINE & PLAY AREA - PLAY AREA NEAR TENNIS COURTS	Recommendation: Provide a new bench at edge of accessible surface for adjacent play area, located so that 30"x48" clear floor space is provided on one end with slope of 1:48 (2%) max. in any direction.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches provide compliant 30"x48" clear floor space to one side of the bench. Existing condition: 2 existing benches are located on far side of zip line on concrete slabs with clear floor space on ends measuring 24" wide; no accessible route leads to benches.	P	O	7	2	1 EA	\$750
ITEM 60: ACCESSIBLE BENCH IN TENNIS COURT	Recommendation: Relocate or provide a new bench along new accessible route and provide 30"x48" clear floor space on at least one end with slope of 1:48 (2%) max. in any direction.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches provide compliant 30"x48" clear floor space to one side of the bench. Existing condition: Existing bench has clear floor space on ends with slope measuring 5% and route leading to bench has cross slope also measuring 5%.	P	O	7	2	1 EA	\$750

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Exterior Accessible Routes / Entries									
ITEM 61: BENCH ACROSS FROM PLAY AREA - NEAR SOUTH LOT	Recommendation: Add 30"x48" min. clear floor space at one end of bench.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches, provide compliant 30"x48" clear floor space to one side of the bench with slope in any direction not to exceed 1:48. Existing condition: Slab at bench is too small to accommodate clear floor space on either end.	P	O	7	2	10	SF	\$250
ITEM 62: BENCH NEAR DOG WASH	Recommendation: Add 30"x48" min. clear floor space at one end of bench.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches, provide compliant 30"x48" clear floor space to one side of the bench with slope in any direction not to exceed 1:48. Existing condition: Slab at bench is too small to accommodate clear floor space on one end.	P	O	7	2	10	SF	\$250
ITEM 63: BENCHES EAST OF AMPITHEATER	Recommendation: Add 30"x48" min. clear floor space at one end of 2 benches (one under tree and one near path facing shore).	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches, provide compliant 30"x48" clear floor space to one side of the bench with slope in any direction not to exceed 1:48. Existing condition: Slab at benches (if any) is too small to accommodate clear floor space on one end.	P	O	7	2	20	SF	\$500

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Play Areas								
Barrier	5081	The ramp to the play area exceeds 1:12 slope, or there is no accessible route to the play area.	Citation	2010 ADA Stds. 206.2.17				
ITEM 64: SMALL CHILDREN PLAY AREA - PLAY AREA NEAR SOUTH LOT	Provide a curb ramp 44" min. wide (per Code) down into play area with slope not to exceed 8.333% (1:12) and with flares on both sides with slopes not to exceed 10.0% (1:10). If curb is removed or play surface is raised (meeting ASTM F 1951 or ASTM F 1292 requirements for resilience and accessible route) to eliminate the step, the curb ramp would not be required.	The entry into the play area includes a vertical step down approximately 6" and no accessible ramp is provided.	P	O	1	1	1	EA \$2,500
Barrier	843	The ground surface may not meet ASTM F 1951 or ASTM F 1292 for resilience and accessible route.	Citation	2010 ADA Stds. 1008.2.6				
ITEM 65: SMALL CHILDREN AREA - PLAY AREA NEAR SOUTH LOT	Adopt a policy to maintain and inspect the ground surfaces to ensure compliance with ASTM F 1951 and ASTM F 1292 for Use Zones.	1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1). Existing condition: Ground level is loose wood chips.	P	O	1	2	1	EA \$0

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Play Areas								
ITEM 66: SMALL CHILDREN AREA - PLAY AREA NEAR TENNIS COURTS	Adopt a policy to maintain and inspect the ground surfaces to ensure compliance with ASTM F 1951 and ASTM F 1292 for Use Zones. Also, confirm that interface with rubberized surface at adjacent play area is accessible.	1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1). Existing condition: Ground level is loose wood chips and interface with rubberized surface at adjacent play area has narrow transition that measures up to 45% in places, which would be a compliant slope for change in level of 1/2" max.	P	O	1	2	1 EA	\$0
ITEM 67: SMALL CHILDREN AREA - PLAY AREA NEAR TENNIS COURTS	Adopt a policy to maintain and inspect the ground surfaces to ensure compliance with ASTM F 1951 and ASTM F 1292 for Use Zones.	1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1). Existing condition: Ground level is loose wood chips.	P	O	1	2	1 EA	\$0

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Play Areas										
ITEM 68: ZIP LINE - PLAY AREA NEAR TENNIS COURTS	Adopt a policy to maintain and inspect the ground surfaces to ensure compliance with ASTM F 1951 and ASTM F 1292 for Use Zones. Also, confirm that interface with rubberized surface at adjacent play area is accessible.	1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1). Existing condition: Ground level is loose wood chips and interface with rubberized surface at adjacent play area has narrow transition that measures up to 45% in places, which would be a compliant slope for change in level of 1/2" max.	P	O		1	2	1	EA	\$0

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Recreation - Boating Facilities									
Barrier	862	The slope at gangway with LESS than 30'-0" total run at a facility with less than 25 total boat slips exceeds 8.33% OR has cross slope that exceeds 2% OR is a ramp that lacks handrails.	2010 ADA Stds. 1003.2.1						

ITEM 69: ACCESSIBLE BOAT SLIP	Build up wood surface of accessible boat slip as required to ensure compliant running slope. Also, if change in level does not exceed 6", handrails will not be required.	Running slope of designated accessible boat slip measured as steep as 14% for approximately 8'-0" running length. Accessible boat slips shall comply with Chapter 4, including a running slope of 1:12 or (8.33%) max. EXCEPTIONS: 1. Where an existing gangway or series of gangways is replaced or altered, an increase in the length of the gangway shall not be required to comply with 1003.2 unless required by 202.4. 2. Gangways shall not be required to comply with the max. rise specified in 405.6. 5. Where gangways connect to transition plates, landings specified by 405.7 shall not be required. 6. Where gangways and transition plates connect and are required to have handrails, handrail extensions shall not be required. Where handrail extensions are provided on gangways or transition plates, the handrail extensions shall not be required to be parallel with the ground or floor surface. 7. The cross slope specified in 403.3 and 405.3 for gangways, transition plates, and floating piers that are part of accessible routes shall be measured in the static position. 8. Changes in level complying with 303.3 and 303.4 shall be permitted on the surfaces of gangways and boat launch ramps.	P	O	1	2	1	EA	\$2,500
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Recreation - Boating Facilities

ITEM 70: GANGWAY TO FLOATING DOCK	Rotate direction of gangway as required to provide required length for compliant running slope of transition plates. Eliminate changes in level higher than 1/2" (with 1:2 bevel), ensure running slope of gangway is 1:12 (8.33%) max. and provide transition plates with 1:12 (8.33%) max. running slopes.	Existing gangway is approximately 16'-0" long and slope of transition plate measured 22%. Change in level on one end measured 1-1/2" high. Transition plates for gangway less than 30'-0" long shall have compliant slope of 1:12 (8.33%). Cross slope must be less than 1:48 (2%). 1003.2.1 Boat Slips. Accessible routes serving boat slips shall be permitted to use the exceptions in 1003.2.1. EXCEPTIONS: 1. Where an existing gangway or series of gangways is replaced or altered, an increase in the length of the gangway shall not be required to comply with 1003.2 unless required by 202.4.2. Gangways shall not be required to comply with the max. rise specified in 405.6. 3. Where the total length of a gangway or series of gangways serving as part of a required accessible route is 80'-0" min., gangways shall not be required to comply with 405.2. 4. Where facilities contain fewer than 25 boat slips and the total length of the gangway or series of gangways serving as part of a required accessible route is 30'-0" min., gangways shall not be required to comply with 405.2. 5. Where gangways connect to transition plates, landings specified by 405.7 shall not be required. 6. Where gangways and transition plates connect and are required to have handrails, handrail extensions shall not be required. Where handrail extensions are provided on gangways or transition plates, the handrail extensions shall not be required to be parallel with the ground or floor surface. 7. The cross slope specified in 403.3 and 405.3 for gangways, transition plates, and floating piers that are part of accessible routes shall be measured in the static position. 8. Changes in level complying with 303.3 and 303.4 shall be permitted on the surfaces of gangways and boat launch ramps.	P	O	1	1	1	EA	\$1,500
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See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

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For City of Mercer Island for Transpo

Luther Burbank Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	675	The stall door swing encroaches on clear floor space within stall, or the door is not located on the wide side of the stall, or the door is more than 4" from side panel.	Citation	2010 ADA Stds. 604.8.1.2				
ITEM 71: RESTROOMS NEAR TENNIS COURTS - ACCESSIBLE STALL DOOR	Revise the front stall partition to relocate door to the wide side of the stalls with 4" max. hinge side panel.	Door to accessible stalls are required to be on the open side of the stall with hinge side of door 4" max. from side of stall. Existing condition: Door hinge side is on opposite side and latch side of door measured 11" from side of accessible stall in restroom.	P	O	1	1	2	EA \$3,280
Barrier	678	The toilet is not 16" - 18" dimension from centerline of toilet to side wall.	Citation	2010 ADA Stds. 604.2				
ITEM 72: MEN'S RESTROOM NEAR TENNIS COURTS - ACCESSIBLE STALL	Relocate the wall-hung toilet to be 16" - 18" from centerline to side wall by revising plumbing. Repair wall finish.	Wall-hung toilet measures 19" from centerline of toilet to side wall.	P	O	1	3	1	EA \$870
Barrier	679	The toilet seat height is not between 17" and 19" high.	Citation	2010 ADA Stds. 604.4, 604.9				
ITEM 73: WOMEN'S RESTROOM NEAR TENNIS COURTS - ACCESSIBLE TOILET STALL	The seat is too high, replace existing toilet seat with a lower profile seat.	Toilet seat height measured 19-1/2". Toilet seat height in accessible stalls shall be between 17" and 19" AFF.	P	O	1	3	1	EA \$210

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	688	The lavatory lacks min. 27" high knee space at front edge, extending 8" deep under the lavatory, and/or 30"x48" clear floor space.	Citation	2010 ADA Stds. 606.2				
ITEM 77: RESTROOMS NEAR TENNIS COURTS	Replace lavatories with an accessible model.	Where lavatories are provided at least one shall be accessible and not be located in a toilet compartment. Existing condition: Lavatory rim measured 34" AFF and knee space below measured only 26" high in Women's restroom. Lavatory rim in Men's restroom measured 34-1/2" AFF and knee space 26-1/2" AFF.	P	O	1	3	2 EA	\$4,680
Barrier	689	The lavatory lacks insulation at water supply and drain pipes.	Citation	2010 ADA Stds. 606.5				
ITEM 78: WOMEN'S RESTROOM NEAR TENNIS COURTS	Insulate pipes.	Lavatory pipes are not insulated.	P	O	1	3	1 EA	\$180
Barrier	692	The mirror exceeds max. 40" high measured from the bottom of the reflecting surface OR mirrors not located above countertops exceed 35" high.	Citation	2010 ADA Stds. 603.3				
ITEM 79: RESTROOMS NEAR TENNIS COURTS	Lower the mirror.	Mirrors above countertops are required to be 40" max. to the reflective surface. Existing condition: Bottom edge of mirror measured 41-1/4" AFF in Women's restroom and 43-1/2" AFF in Men's restroom.	P	O	1	3	2 EA	\$300
Barrier	698	The restroom is substantially inaccessible - lacks overall turning space, clear floor space at fixtures, and/or compliant fixtures and dispensers.	Citation	2010 ADA Stds. 603				
ITEM 80: RESTROOMS NEAR BOILER ROOM & DOCK	Demolish the interior fixture layout and completely renovate the restroom within its current footprint.	Restrooms are substantially non-compliant requiring significant renovation. Cost shown is an allowance, until further design studies are carried out.	P	O	1	3	1 EA	\$35,000

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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Luther Burbank Park

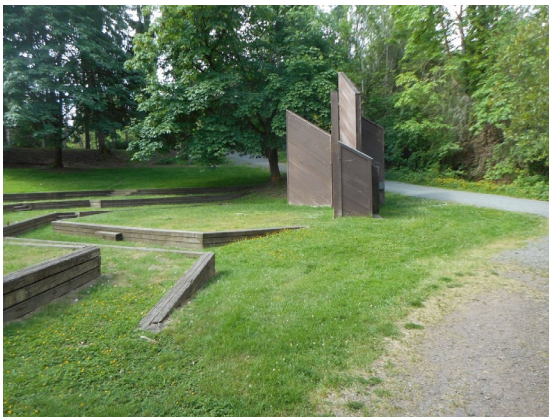
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	698	The restroom is substantially inaccessible - lacks overall turning space, clear floor space at fixtures, and/or compliant fixtures and dispensers.	Citation	2010 ADA Stds. 603				
ITEM 81: RESTROOMS NEAR PICNIC AREA C	Demolish the interior fixture layout and completely renovate the restroom within its current footprint.	Restrooms are substantially non-compliant requiring significant renovation. Cost shown is an allowance, until further design studies are carried out.	P	O	1	3	1	EA \$35,000
Total for Building: Luther Burbank Park								\$256,722

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC



Luther Burbank Park

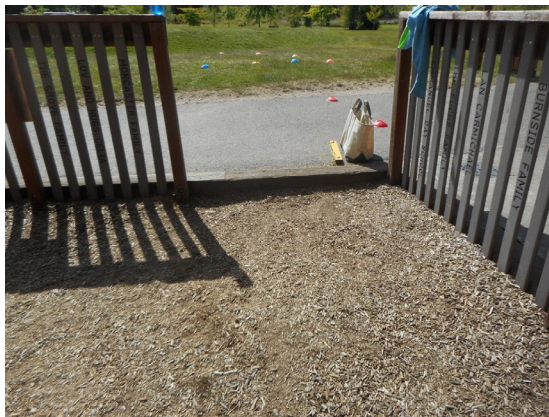
Upper Left: Accessible parking signs are mounted too low (and too far from stall). Provide pole mounted signs at head of stalls.

Upper Right: Amphitheatre lacks an accessible route to seating area and stage.

Lower Left: There are no accessible seating areas in the Amphitheatre. Wheelchair accessible area next to a companion seat could be accommodated near paths on both sides of stage.

Luther Burbank Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.1



Luther Burbank Park

Upper Left: Rooftop viewing platform is provided above the restrooms near the tennis courts.

Upper Right: Rooftop platform lacks an accessible route.

Lower Left: Entry into the play area near Picnic Area C includes a step down and no accessible ramp is provided.

Luther Burbank Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.2



Luther Burbank Park

Upper Left: Ground surfaces of all play areas must be compliant and require periodic inspections & maintenance.

Upper Right: Service counter at Guard station lacks an accessible route and is too high. An accessible portion is required.

Lower Left: Dog wash area lacks an accessible route, and water control is above accessible reach.

Luther Burbank Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.3



Luther Burbank Park

Upper Left: Only low level drinking fountain is provided near old boiler room. Hi-low drinking fountain required.

Upper Right: Drinking fountain with foot rinse and shower lacks a high level drinking fountain.

Lower Left: The hi-low fountain near the tennis courts has a clear floor space with excessive slope that affects the height of the fountain, resulting in a protruding object hazard.

Luther Burbank Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.4



Luther Burbank Park

Upper Left: Restrooms near Picnic Area C are substantially non-accessible.

Upper Right: Designated accessible stalls are significantly too small, toilets are mounted too far from side wall, dispensers require relocation, grab bars are not compliant in location.

Lower Left: Door maneuvering space is too narrow and shallow.

Luther Burbank Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.5



Luther Burbank Park

- Upper Left: Restrooms near the old boiler room are substantially non-accessible.
- Upper Right: Designated accessible stalls are too small, dispensers require relocation, grab bars are not compliant in length and location, mirrors are mounted too high.
- Lower Left: Door maneuvering space is too narrow.

Luther Burbank Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.6



Luther Burbank Park

Upper Left: Bike rack lacks a paved clear floor space at one end.

Upper Right: Min. 1 bench in each area should have a clear floor space on one end and be on an accessible route.

Lower Left: BBQ grill and hot coal disposal unit lack an accessible route and paved clear floor space directly adjacent.

Luther Burbank Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.7



Luther Burbank Park

Upper Left: An accessible picnic table in each area requires a paved accessible route and an accessible seat.

Upper Right: Picnic Area B provides 1 table designated as accessible, however support angles encroach on the required knee space clearance and no paved clear floor space is provided.

Lower Left: Door maneuvering space at gates to dog parks are too narrow and lack paving.

Luther Burbank Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.8



Luther Burbank Park

- Upper Left: Grab bars in restrooms near tennis courts are too short. Toilet paper dispenser is too close to grab bar and toilet in Men's restroom is too far from wall.
- Upper Right: Both restrooms near tennis courts have lavatories without compliant knee space clearance and pipes are not insulated.
- Lower Left: Handrails do not extend low enough to prevent a protruding object of more than 4" into accessible route.

Luther Burbank Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.9

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Luther Burbank Park Administration Building & Caretaking Facility

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LOCATION	RECOMMENDATION	COMMENTS	CITATION	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements									
Barrier	481	The sales or service counter lacks a 36" long lowered portion of counter that is max. 36" high for a 48" parallel approach or is not 30" long min. with knee space for a forward approach or does not extend the same depth as the sales or service countertop.	2010 ADA Stds. 227.3, 904.4.2, 902.3						
ITEM 1: RECEPTION DESK - FIRST FLOOR		Provide an accessible counter with a 36" AFF countertop height (min. 36" length).	Existing reception desk is 42" AFF.	P	O	1	2	1	EA \$650

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Doors								
Barrier	610	The door with vision panel lacks at least one vision panel mounted at max. 43" high measured to lowest bottom edge.	Citation	2010 ADA Stds. 404.2.11				
ITEM 2: NORTH ENTRY DOOR	No change required if power door operator with backup power is provided.	Existing door has vision panel with bottom edge at 59" AFF.	P	O	1	2	1 EA	\$0
ITEM 3: SOUTH ACCESSIBLE ENTRY	No change is required if door is abandoned as an entry and used for emergency exit only.	Existing door has vision panel with bottom edge at 54" AFF.	P	O	1	2	1 LEAF	\$0
Barrier	611	The single door or single leaf of a double leaf door lacks the min. 32" clear opening width measured between the open door face and door stop.	Citation	2010 ADA Stds. 404.2.3, 404.2.2				
ITEM 4: OFFICE - FIRST FLOOR, NORTH OF RECEPTION	Remove the door / hinges and leave a framed opening (min. 32" clear width).	Existing "Office" has a door with a 30" wide opening.	P	O	1	2	1 EA	\$180
Barrier	612	The door lacks the required maneuvering space, or the maneuvering space is not level.	Citation	2010 ADA Stds. 404.2.4				
ITEM 5: RESTROOM - FIRST FLOOR	Relocate the door / frame as required after toilet side wall is reconfigured to provide door maneuvering space of 18" min. beyond latch (with side wall grab bar protruding less than 8" permitted encroachment). Latch clearance is not required on push side if door is not equipped with closer.	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). Provide clear floor space min. 60" perpendicular to door for front / pull side approach and 48" perpendicular to door for front or side / push side approach (latch & closer). Doors are allowed to be recessed 8" max. from the face of door to face of wall surface. See additional Dimensions for other approaches in 404.2.4.1. Existing door maneuvering space on the pull side is blocked by the significant protrusion of the toilet side wall grab bar.	P	O	1	2	1 EA	\$1,100

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Doors								
ITEM 6: SOUTH ACCESSIBLE ENTRY	Consider abandoning this entry and designate as emergency exit only.	Door maneuvering spaces at latch are required to be min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). Existing condition: On exterior - door is recessed 34" and does not provide the 18" width on the pull side (6" exists). On the interior - door has both a closer and a latch, therefore 12" width on the latch / push side is required - 2" exists.	P	O	1	2	1 LEAF	\$0
ITEM 7: SOUTH ACCESSIBLE ENTRY	Add new portion of exterior surface (at door approach).	Ensure door maneuvering spaces are min. 18" at pull side x 60" min. perpendicular on exterior, and 2.08% max. slope. Existing area has up to 5% slope.	P	O	1	2	25 SF	\$1,263
Barrier	615 The face of door is recessed more than 8" deep max. or there is an obstruction within 18" of the latch side of a doorway that projects more than 8" beyond the face of the door, measured perpendicular to the face of the door and maneuvering space for a forward approach is not provided.	Citation 2010 ADA Stds. 404.2.4.3						
ITEM 8: NORTH ENTRY DOOR	Install power assisted door operator with push button and backup power. (Alternative is to abandon door as public entry.)	Existing door is recessed 12" from exterior brick facade; the 18" wide maneuvering space on the (exterior) pull side is not provided due to historic frame profile. Power door requires access to electric power. Without power operator, door maneuvering spaces would be required as follows: min. 18" at the pull side and min. 12" at the push side (if equipped with latch and closer); min. 60" perpendicular to door for forward approach on pull side and 48" perpendicular to door for forward approach on push side.	P	O	2	2	1 LEAF	\$6,250

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Doors								
Barrier	616	The door hardware requires pinching, gripping, or twisting to operate.	Citation	2010 ADA Stds. 404.2.7				
ITEM 9: INTERIOR DOORS	Replace existing hardware with new accessible lever-type (or U-shaped) interior hardware.	Hardware is required to be mounted 34" min. and 48" max. AFF. Existing interior doors have knob type hardware.	P	O	1	2	8	EA \$7,040
Barrier	618	The existing swing or sliding door threshold exceeds 3/4" and/or does not have a 1:2 bevel, or threshold measures between 1/4" and 3/4" but lacks a 1:2 beveled transition.	Citation	2010 ADA Stds. 404.2.5, 302, 303				
ITEM 10: SOUTH ACCESSIBLE ENTRY	Replace the threshold.	Threshold height shall not exceed 1/2", and have a beveled 1:2 slope. (Exception allows 3/4" with 1:2 bevel at doors in existing buildings or alterations.) E&A recommends replacing to meet current 1/2" max. standard. Existing condition: Threshold measured over 1" high.	P	O	1	2	1	EA \$300
Barrier	622	The existing door does not have a smooth surface min. 10" from the floor or exterior surface and / or the kick plate installed is not capped.	Citation	2010 ADA Stds. 404.2.10				
ITEM 11: NORTH ENTRY DOOR	Remove the hold open device.	Existing door has a hold open device located within the required 10" smooth surface on the push side.	P	O	1	2	1	EA \$0

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Drinking Fountains								
Barrier	751	There are not a min. of 2 water fountains provided OR there is not a water fountain that meets the requirements for both wheelchair accessibility and for standing persons (hi-low).	Citation	2010 ADA Stds. 211.2				

ITEM 12: RECEPTION AREA - FIRST FLOOR	Replace the fountain with a hi-low model.	Where provided, min. 2 water fountains are required. 1 is required to meet 602.1 - 602.6 for clear floor space, height, operable parts, and water flow, and 1 is required to meet 602.7 which is height for standing persons. If a water fountain is provided that meets both requirements, it may be substituted for 2 fountains. Spout outlets shall be 36" max. AFF or ground. Drinking fountains for standing persons: Spout outlets of drinking fountains for standing persons shall be 38" min. and 43" max. AFF. Existing fountain is a single unit for low / wheelchair users.	P	O	1	4	1	EA	\$8,010
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Interior Accessible Routes								
Barrier	641	The multistory private building with 3 or more floors OR more than 3000 sf per floor OR public building with 2 or more floors lacks an accessible route connecting each floor.	Citation	2010 ADA Stds. 206.2.3				
ITEM 13: GENERAL BUILDING		Explore the possibility of relocating all of the public programs that occur on the lower and second levels to the accessible level of the building. An alternate solution would be to provide a new elevator that will access all three levels of the building. Further design study required (budget \$225,000 for elevator and shaft accessing three levels).		P	O	1	2	1 EA \$0
		2010 Standards does not require the installation of an elevator in an altered private facility that is less than three stories or private building with less than 3,000 sf per story unless the building is a shopping center, a shopping mall, the professional office of a health care provider, a terminal / depot (or other station used for specified public transportation), or any other type of facility as determined by the Attorney General. Public building must comply unless it is one story with occupant load of 5 or fewer that does not contain public use space. Existing condition: Building is three stories, and only the first floor level has an entry (the south entry) that is on the same level as the remainder of that floor level. The north entry enters into a stair structure with no accessible route to the floors above or below.						
Barrier	652	The surface is not firm, stable, and slip resistant; or the carpet area prohibits easy access due to high pile / thick pad.	Citation	2010 ADA Stds. 302				
ITEM 14: SOUTH ACCESSIBLE ENTRY		Secure movable area rug or mat with double stick tape at all edges.		P	O	1	2	1 EA \$150
		Existing interior space has loose rubber mats at the approach to the exit door.						

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LOCATION	RECOMMENDATION	COMMENTS	CITATION	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET	
Restrooms / Bathrooms										
Barrier	670	The restroom lacks the required 60" diameter (or T-shaped) turning space, or the door swings into the required fixture clearance and 30"x48" is not provided beyond the door swing.	Citation	2010 ADA Stds. 304.4, 603.2.1						
ITEM 15: RESTROOM - SECOND FLOOR	Recommend no change; solution would require building expansion in order to make room fully accessible, which may cause undue burden.	The clear floor space at fixtures, accessible route, and turning space may overlap, but doors may not swing into fixture clear floor space unless there is a 30"x48" clear floor space beyond the door swing. Existing bathroom does not provide a turning space, and door encroaches on fixture clearances.		P	O	2	3	1	EA	\$0
Barrier	677	The coat hook exceeds 48" high for a front or side approach or the shelves are not mounted 40" min. and 48" max. AFF.	Citation	2010 ADA Stds. 603.4, 308						
ITEM 16: RESTROOM - FIRST FLOOR	Provide an additional lower coat hook. Mount at 48" or lower.	Existing door mounted coat hook is mounted at 62" AFF.		P	O	1	3	1	EA	\$150
ITEM 17: RESTROOM - FIRST FLOOR	Lower the shelf or provide another at an accessible location.	Mount shelf at 40" min. - 48" max. Existing shelf / mirror combination unit is 52" AFF.		P	O	1	3	1	EA	\$150
Barrier	678	The toilet is not 16" - 18" dimension from centerline of toilet to side wall.	Citation	2010 ADA Stds. 604.2						
ITEM 18: RESTROOM - FIRST FLOOR	Relocate the toilet fixture to measure 16" - 18" from centerline of toilet to side wall using an offset flange.	Note: The toilet may be considered an architectural component of a building for which when altered, must be brought into full compliance with the 2010 Standards. If toilet has less than 60" wide clearance, then modifications will need to be made to comply. Existing condition: Centerline of toilet measures 20" from side wall.		P	O	1	3	1	EA	\$730

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	679	The toilet seat height is not between 17" and 19" high.	Citation	2010 ADA Stds. 604.4, 604.9				
ITEM 19: RESTROOM - FIRST FLOOR	Install a lift seat.	Seat shall not be sprung to return to a lifted position. Existing toilet measures 15-1/2" to top of seat.	P	O	1	3	1 EA	\$210
Barrier	681	The existing grab bars are non-compliant in size, configuration, or mounting height.	Citation	2010 ADA Stds. Fig. 604.5.2, 609.2, 604.9				
ITEM 20: RESTROOM - FIRST FLOOR	Replace with new grab bars. Install new wall surface at side wall to provide 1-1/2" between grab bar and wall.	Grab bars should be 1-1/4" - 2" in diameter, 33" - 36" AFF, with 1-1/2" min. between the wall and the grab bar. Circular cross section - outside diameter 1-1/4" min. - 2" max. Non-circular cross section - perimeter of 4" min. - 4.8" max. Horizontal projections shall be 1-1/2" min. below bottom of rail. [2010 Standards: Rear grab bar min. 24" long from centerline of toilet at transfer side; allows 1-1/4" to 2" cross section and non-circular shapes; allows alternate children's use height.]. Existing condition: Both grab bars are not compliant in length. Grab bars are required to provide 1-1/2" space between bar and the wall; wall jogs back 8" at 27" from corner.	P	O	1	3	1 EA	\$2,300
Barrier	682	The flush controls are not located at open side of toilet, or controls require gripping, twisting, or pinching to operate.	Citation	2010 ADA Stds. 604.6				
ITEM 21: RESTROOM - FIRST FLOOR	Reverse controls or provide a retrofit sensor control on the wall mounted toilet.	Flush controls shall comply with reach ranges specified in Section 309. Existing toilet has flush control on the inside / corner side.	P	O	1	3	1 EA	\$810
Barrier	689	The lavatory lacks insulation at water supply and drain pipes.	Citation	2010 ADA Stds. 606.5				
ITEM 22: RESTROOM - FIRST FLOOR	Insulate pipes.	Existing lavatory has exposed pipes.	P	O	1	3	1 EA	\$180

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	692	The mirror exceeds max. 40" high measured from the bottom of the reflecting surface OR mirrors not located above countertops exceed 35" high.	Citation	2010 ADA Stds. 603.3				
ITEM 23: RESTROOM - FIRST FLOOR	Provide a tall mirror mounted from 35" - 74" AFF.	Wall mounted mirrors are required to be 35" max. and 74" min. to the reflected surface (tall mirrors). Existing mirror / shelf unit is 52" AFF.	P	O	1	3	1 EA	\$710

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Signage								
Barrier	716	The accessible building entry or restroom sign lacks signage displaying the International Symbol of Accessibility OR the Pictogram is not 6" high min.	Citation	2010 ADA Stds. 703.7.2.1, 216.6, 216.8				
ITEM 24: RESTROOM - FIRST FLOOR	Provide a sign with the International Symbol of Accessibility.	Sign to be mounted 48" high min. measured from finished floor to bottom of the visual characters to 60" max. to the bottom of the visual characters. Existing condition: No compliant signage.	P	O	1	2	1 EA	\$180
Total for Building: Luther Burbank Park Administration Building & Caretaking Facility								\$30,363

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC



Luther Burbank Park Administration Building

Upper Left: North entry door is recessed 12" from brick façade. To preserve historic doorway, power operator would be required.

Upper Right: Entry door's vision panel is above the max. allowed height of 43" AFF, but permitted for a power door.

Lower Left: Building has 3 stories, with only an interior stairway. An elevator is required to provide an accessible route connecting all levels.

Luther Burbank Park Administration Building

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.1



Luther Burbank Park Administration Building

Upper Left: South entry is designated as accessible entry, but door is recessed 34" (8" max. allowed) into required door maneuvering space. Consider abandoning entry.

Upper Right: A hi-low drinking fountain is required.

Lower Left: Turning space is not provided, and lavatory encroaches on door maneuvering space at second floor restroom.

Luther Burbank Park Administration Building

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.2



Luther Burbank Park Administration Building

Upper Left: First floor reception desk does not provide an accessible height counter.

Upper Right: Office door is too narrow. Remove door and provide 32" min. wide framed opening (otherwise door opening needs to be widened).

Lower Left: Doors have knob type hardware. Lever-type is required for accessibility.

Luther Burbank Park Administration Building

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.3

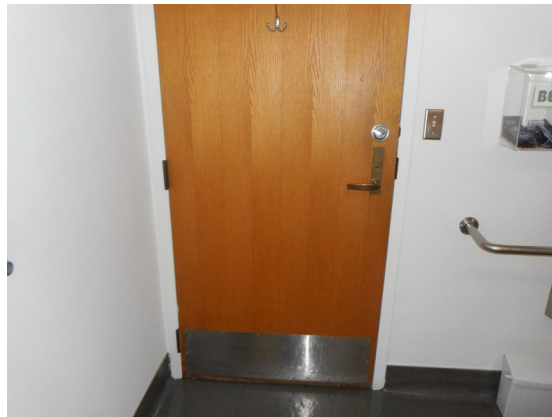
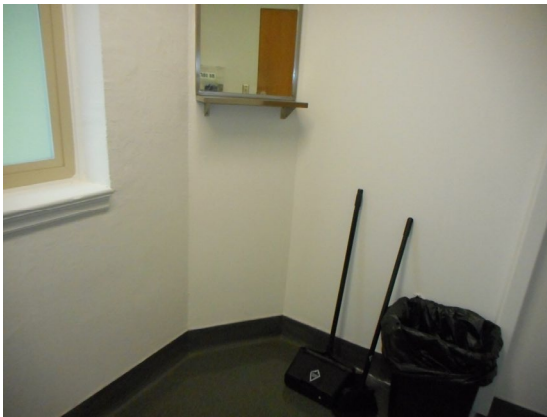


Luther Burbank Park Administration Building

- Upper Left: Restroom signage is non-compliant. The International Symbol of Accessibility is required.
- Upper Right: Grab bar encroaches on door maneuvering space; should be 1-1/2" from the side wall behind. Revised side wall (and door opening) is required. Toilet requires seat height between 17" - 19" AFF and flush control shall be on open side of toilet.
- Lower Left: Pipes below lavatory are not insulated.

Luther Burbank Park Administration Building

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.4



Luther Burbank Park Administration Building

- Upper Left: Existing shelf/mirror unit is mounted too high. Shelf to be 40" - 48" AFF. An additional tall mirror is required.
- Upper Right: Coat hook is mounted above the required 48" max. height.

Luther Burbank Park Administration Building

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.5

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Main Fire Station #91

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
Barrier	481	The sales or service counter lacks a 36" long lowered portion of counter that is max. 36" high for a 48" parallel approach or is not 30" long min. with knee space for a forward approach or does not extend the same depth as the sales or service countertop.	Citation	2010 ADA Stds. 227.3, 904.4.2, 902.3				
ITEM 1: COUNTERTOP AT RECEPTION WINDOW	Recommend no change. The counter provided meets the 1991 Standard for sales and service counters.	Existing countertop is 36" AFF, and has clear floor space adjacent, but (due to the curved configuration) clear floor space is not parallel to the countertop. 1991 Standard does not address the parallel approach directly.	P	O	8	2	1	EA \$0

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
 Survey Results - by Building / Element

For City of Mercer Island for Transpo

Main Fire Station #91

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Drinking Fountains								
Barrier	7380	The standing persons water fountain is a protruding object.						
			Citation	2010 ADA Stds. 602.7				
ITEM 2: DRINKING FOUNTAINS	Provide a cane detection device less than 27" AFF.	High level drinking fountain is on the open end, near path of travel, with bottom edge at 34-1/2" AFF.	P	O	1	4	1	EA \$530

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Main Fire Station #91

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Kitchens - Lounges								
Barrier	531	The kitchen sink exceeds 34" high, lacks 30" wide knee space if a range or cooktop is provided, or has inaccessible hardware.	Citation	2010 ADA Stds. 804.4				
ITEM 3: PUBLIC MEETING ROOM	Lower the sink to be 34" max.	Each half of the meeting room has a wet bar with a sink / countertop at 36" AFF. A parallel approach is permitted at wet bars, however the rim of the sink must not exceed 34" AFF.	P	O	1	2	2	EA \$4,200

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Main Fire Station #91

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET				
Restrooms / Bathrooms												
Barrier	698	The restroom is substantially inaccessible - lacks overall turning space, clear floor space at fixtures, and/or compliant fixtures and dispensers.	Citation	2010 ADA Stds. 603								
ITEM 4: PUBLIC RESTROOMS	Demolish the interior fixture layouts of both restrooms and completely renovate within its current footprint.		Restrooms are substantially non-compliant (especially in fixture encroaching on door maneuvering space). Design study is required to determine if two restrooms can be retained or if only a single compliant unisex restroom can be accommodated. Cost shown is an allowance, until further design studies are carried out.			P	O	1	3	1	EA	\$35,000
Total for Building: Main Fire Station #91												
\$39,730												

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC



Main Fire Station #91

Upper Left: Service counter accommodates clear floor space, but curved configuration prevents a parallel approach.

Upper Right: Meeting room has a movable partition divider, separating it into 2 rooms. Each of these rooms has a wet bar with a sink at 36" AFF. Sinks are required to be 34" max. AFF.

Lower Left: See above.

Main Fire Station #91

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.1



Main Fire Station #91

- Upper Left: The high level drinking fountain protrudes into the path of travel, with the bottom surface at 34-1/2" AFF.
- Upper Right: Lavatory is not compliant and encroaches on door maneuvering space. Restrooms require renovation.
- Lower Left: Toilets in both restrooms are too far from the side wall. Grab bars are too short. Seat cover dispenser encroaches on 12" clearance above grab bar and is not accessible.

Main Fire Station #91

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.2

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Mercedale Park

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Accessible Parking								
Barrier	540	The accessible stall lacks compliant accessible parking signage, or existing signage is not 60" min. high measured to the bottom of sign.	Citation	2010 ADA Stds. 502.6, 703.7.2.1, 216.5				
ITEM 1: PARKING LOT NEAR THRIFT SHOP - ACCESSIBLE PARKING	Mount existing sign displaying the International Symbol of Accessibility on new permanent post at compliant height of 60" min. to bottom edge of sign.	Signs shall be 60" min. AFF or ground surface, measured to bottom of the sign. Existing condition: Compliant sign is provided at one parking space, but mounted on temporary traffic cone at height of 22" above paving.	P	O	1	1	1	EA \$290

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Mercedale Park

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
Barrier	482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.	Citation	2010 ADA Stds. 902.1, 226, 226.2				

ITEM 2: ACCESSIBLE PICNIC TABLES - NORTHEAST PLAZA	Assuming 6 people per metal picnic table and 8 people per faux wood picnic table, replace 3 existing tables (either metal or faux wood) with accessible picnic tables with knee space 30" min. wide, 27" min. high and 17" min. deep on one end of table. Locate tables so that slab for 30"x48" clear floor space at accessible end of table has slope of 2% (1:48).	Existing metal picnic tables have elliptical table top with knee space measuring 16-1/2" deep at deepest point. Existing wood picnic tables have knee space measuring only 7" deep.	P	O	1	2	3	EA	\$7,500
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See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Mercedale Park

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	502	The ramp slope exceeds max. 1:12 (8.33%), or the ramp is less than 36" wide measured between the handrails.	Citation	2010 ADA Stds. 405.2, 405.5				
ITEM 3: PLAY AREA EAST HALF	Remove existing curb ramp and provide new compliant ramp with continuous handrails both sides with 12" min. extension at top and bottom of ramp.	Max. running slope is 1:12 (8.33%). Max. cross slope is 1:48 (2%). A slope of 1:20 (5%) is not considered a ramp. Existing condition: Change in level is greater than 6" (too high for a curb ramp) and curb ramp is provided with slope measuring 8.5% and flare with slope measuring 21%.	P	O	1	1	10	LF \$3,500
ITEM 4: PLAY AREA WEST HALF	Remove existing ramp and provide new compliant ramp with level landing and continuous handrails both sides with 12" min. extension at top and bottom of ramp.	Max. running slope is 1:12 (8.33%). Max. cross slope is 1:48 (2%). A slope of 1:20 (5%) is not considered a ramp. Existing condition: Running slope of ramp sections measured 6% and 11% and landing slope measured as steep as 3.4%.	P	O	1	1	20	LF \$7,000
Barrier	509	The accessible route has a change in level between 1/4" and 1/2" without a 1:2 bevel or more than 1/2" high without a compliant ramp.	Citation	2010 ADA Stds. 303.4, 405, 406				
ITEM 5: ENTRY TO FITNESS STATIONS	Cut through wooden borders at entry side of fitness stations to provide accessible route 44" min. wide (per Code).	A 1/4" vertical level change is permissible. A 1/4" - 1/2" change must have a beveled slope. A change greater than 1/2" requires compliant ramp. Existing condition: Fitness stations (total 5) have wooden borders; although wooden border is lower on entry side, it is still too high for accessible route.	P	O	1	2	5	EA \$2,500
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 6: SCULPTURE	Provide 44" min. wide (per Code) asphalt paving to the side of sculpture where plaque can be read. Ensure running slope does not exceed 5% (1:20).	Sculpture named "Duet" has dedication plaque but no accessible route to it.	P	O	1	2	9	LF \$318

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Mercedale Park

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	522	Where an accessible bench is required to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat and 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation	2010 ADA Stds. 903				
ITEM 7: BENCH BETWEEN PUSH-UP & POWER STEP FITNESS STATIONS	Recommendation: Replace slab at bench and provide clear floor space on one end of the bench with maximum slope of 2% (1:48) in any direction.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches, provide compliant 30"x48" clear floor space to one side of the bench with slope in any direction not to exceed 1:48. Existing condition: No clear floor space is provided on ends of bench and slope of slab measured 11%.	P	O	7	2	50 SF	\$1,250
ITEM 8: BENCH IN NATIVE PLANT GARDEN	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of one bench plus accessible route from adjacent paved walkway (assumed 5'-0" long).	Although not required under 2010 ADA scoping, E&A recommends at least 5% of benches provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: 2 benches at perimeter of sand play area, but no slab is provided at end of benches, nor is accessible route provided.	P	O	7	2	28 SF	\$700
ITEM 9: BENCH NEAR PUSH-UP FITNESS STATION	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of one bench.	Although not required under 2010 ADA scoping, E&A recommends at least 5% of benches provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: Bench near push-up fitness station is on slab too narrow to provide clear floor space.	P	O	7	2	13 SF	\$325
ITEM 10: BENCH NEAR SKATE PARK	Recommendation: Alter the existing area adjacent to at least one end of the bench to provide level clear floor space.	Although not required under 2010 ADA scoping, E&A recommends at least 5% of benches provide compliant 30"x48" clear floor space to one side of the bench with slope in any direction not to exceed 1:48. Existing condition: Slope of clear floor space on both ends of bench measured 3.5%.	P	O	7	2	12 SF	\$300

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Mercerdale Park

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
ITEM 11: BENCH NEAR STATIC STRETCH FITNESS STATION	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of one bench.	Although not required under 2010 ADA scoping, E&A recommends at least 5% of benches provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: Bench near static stretch fitness station is on slab too narrow to provide clear floor space.	P	O	7	2	13	SF \$325

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Merceddale Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET	
Play Areas									
Barrier	843	The ground surface may not meet ASTM F 1951 or ASTM F 1292 for resilience and accessible route.	Citation	2010 ADA Stds. 1008.2.6					
ITEM 12: FITNESS STATIONS (TOTAL 5)	Adopt a policy to maintain and inspect the ground surfaces to ensure compliance with ASTM F 1951 and ASTM F 1292 for Use Zones.	1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1).	P	O	1	2	5	EA	\$0
ITEM 13: PLAY AREAS (2 SEPARATE SECTIONS)	Adopt a policy to maintain and inspect the ground surfaces to ensure compliance with ASTM F 1951 and ASTM F 1292 for Use Zones.	1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1).	P	O	1	2	1	EA	\$0
Total for Building: Merceddale Park								\$24,008	

See Survey Legend and ADA Overview Report Section for more important information.

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Mercerdale Park

Upper Left: Accessible parking sign is required to be 60" min. above paving to bottom of sign.

Upper Right: Ground surfaces of fitness areas must be compliant and require periodic inspections & maintenance

Lower Left: Ground surfaces of play area must be compliant and require periodic inspections & maintenance

Mercerdale Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.1



Mercerdale Park

Upper Left: Picnic table does not provide an accessible seat with knee & toe space.

Upper Right: Benches require a clear floor space on one end.

Lower Left: Picnic table does not provide an accessible seat with knee & toe space.

Mercerdale Park
ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.2



Mercerdale Park

Upper Left: Ramp and top landing have excessive slopes and lacks compliant handrails on both sides.

Upper Right: Ramp has excessive slope and lacks handrails on both sides.

Lower Left: Fitness stations lack an accessible route thru wooden borders.

Mercerdale Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.3



Mercerdale Park

- Upper Left: Sculpture lacks a clear floor space and accessible route to the information plaque.
- Upper Right: Adjacent clear floor space at either end of bench has excessive slope.
- Lower Left: Bench requires a clear floor space at one end.

Mercerdale Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.4

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

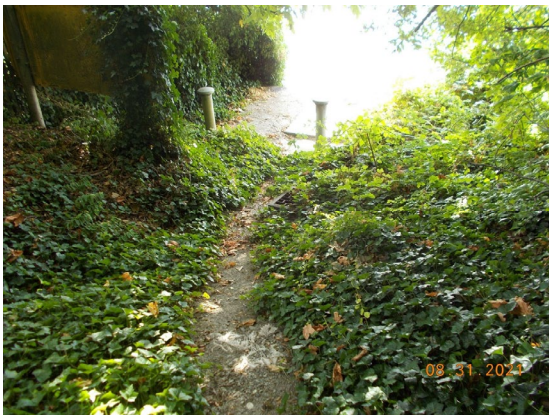
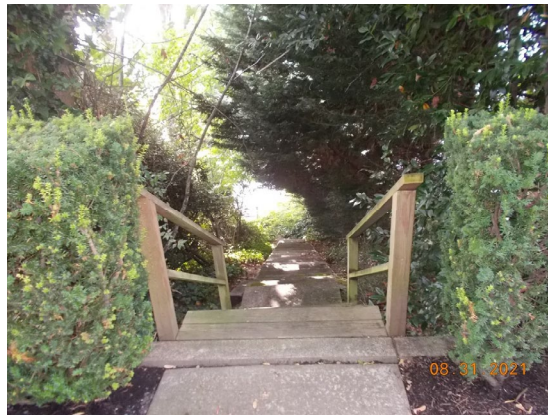
Miller Landing

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Signage								
Barrier	30244	There is no directional signage providing direction to accessible interior spaces, exterior spaces, facilities and/or elements.	Citation	2010 ADA Stds. 216.6, 703.5				
ITEM 1: VEHICULAR APPROACH TO MILLER LANDING	Provide new pole mounted directional sign along vehicular access route indicating that landing is not accessible.	Change in level is substantial and property is narrow. May cause an "undue burden" to provide accessible route to water's edge. It is a risk management decision to allow access to able bodied persons but not wheelchair users or other disabilities that may have problems traversing the terrain.	P	O	1	2	1	EA \$710
Total for Building: Miller Landing								\$710

See Survey Legend and ADA Overview Report Section for more important information.



Miller Landing

Upper Left: This landing is not accessible, as change in level is substantial and property is narrow. Provide signage indicating that landing is not accessible.

Upper Right: Top of stair down hill.

Lower Left: Steep, unpaved path from stair down to water's edge.

Miller Landing

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.1

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Pioneer Park

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
Barrier	482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.	Citation	2010 ADA Stds. 902.1, 226, 226.2				
ITEM 1: ACCESSIBLE PICNIC TABLE		Provide additional table with top surface no more than 34" AFF, and with knee and toe space below one end that is 27" min. high, 30" min. wide, 17" min. deep.	Existing picnic table has knee and toe space 7-1/2" deep. Knee and toe space is required to be 30" min. wide, 27" min. high and 17" min. deep.	P	O	1	2	1 EA \$2,500

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Pioneer Park

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 2: ACCESSIBLE ROUTE TO PICNIC TABLE	Provide 44" wide (per Code) asphalt paving from nearest trail to new accessible picnic table. Ensure running slope does not exceed 5% (1:12).	No accessible route is provided to picnic tables or other elements.	P	O	1	2	12	LF \$424
ITEM 3: ACCESSIBLE ROUTE TO PORTABLE TOILET	Provide 44" wide (per Code) asphalt paving from nearest trail to new accessible picnic table. Ensure running slope does not exceed 5% (1:12).	No accessible route is provided to portable toilet.	P	O	1	2	20	LF \$706
Barrier	518	The indicated object exceeds 48" high for a side approach and a front approach OR lacks a level 30"x48" clear floor space OR requires gripping and twisting.	Citation	2010 ADA Stds. 308				
ITEM 4: DOG WASTE RECEPTACLE	Provide new concrete paving for clear floor space adjacent dog waste receptacle with a 2% max. slope (1:48) adjacent existing trail.	Clear floor space adjacent opening of dog waste receptacle is not paved (i.e., not stable, firm, or slip resistant).	P	O	1	4	10	SF \$250
ITEM 5: SIGN BENCH RECEPTACLES - SOUTHEAST CORNER OF NW PARCEL	Provide concrete slab for 30"x48" clear floor space directly adjacent information sign, 1 log bench, trash receptacle, and dog waste dispenser.	At southeast corner of NW parcel of park, the information sign, log benches, trash receptacle, and dog waste dispenser have no clear floor space adjacent.	P	O	1	4	40	SF \$1,000
ITEM 6: TRASH RECEPTACLE	Provide new concrete paving for clear floor space adjacent trash receptacle with a 2% max. slope (1:48) adjacent existing trail.	Clear floor space adjacent opening of trash receptacle is not paved (i.e., not stable, firm, or slip resistant).	P	O	1	4	10	SF \$250

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Pioneer Park

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	522	Where an accessible bench is to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat an 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation	2010 ADA Stds. 903				
ITEM 7: BENCH NEAR PICNIC TABLE	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of the bench and 44" wide (per Code) paved walkway to nearest trail.	Although not required under 2010 ADA scoping, E&A recommends at least 5% of benches provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: bench is surrounded by gravel and no clear floor space is provided.	P	O	7	2	50	SF \$1,250
Total for Building: Pioneer Park								\$6,380

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC



Pioneer Park

- Upper Left: Accessible routes are required to accessible picnic tables and benches.
- Upper Right: Picnic tables do not provide an accessible seat and clear floor space.
- Lower Left: Clear floor space and accessible route is required at min. 5% of dog waste and trash receptacles.

Pioneer Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.1

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Proctor Landing

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Accessible Parking								
Barrier	540	The accessible stall lacks compliant accessible parking signage, or existing signage is not 60" min. high measured to the bottom of sign.	Citation	2010 ADA Stds. 502.6, 703.7.2.1, 216.5				

ITEM 1: LANDING ENTRY	It is assumed that new van accessible parking space will be provided. Install new signs for van accessible space.	Sign displaying the International Symbol of Accessibility with van sign panel should be 60" min. above grade, measured to bottom of signs.	P	O	1	1	1	EA	\$440
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See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Proctor Landing

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 2: ENTRY TO PIER	Provide 44" min. wide (per Code) concrete compliant ramp with complying handrails and landings. Further design study and civil engineering required.	Existing condition: 9" step down to 6'-0" wide pier.	P	O	1	2	10	LF \$576
Total for Building: Proctor Landing								\$1,016

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC



Proctor Landing

Upper Left: 12 parking spaces; no accessible parking is provided.

Upper Right: Pier.

Lower Left: 9" step down to pier approach. An accessible route is required.

Proctor Landing

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ADA SURVEY RESULTS
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For City of Mercer Island for Transpo

Roanoke Landing

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	522	Where an accessible bench is to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat and 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation	2010 ADA Stds. 903				
ITEM 1: ACCESSIBLE BENCH	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of the bench.	Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches provide compliant 30"x48" clear floor space to one side of the bench. Existing condition: Adjacent to each side of the bench is loose gravel and no clear floor space is provided.	P	O	7	2	10	SF \$250
Total for Building: Roanoke Landing								\$250

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC



Roanoke Landing

- Upper Left: Roanoke Landing. I
- Upper Right: The bench requires an adjacent clear floor space (concrete pad) at one end. Loose gravel is adjacent to each side of the bench.

Roanoke Landing

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ADA SURVEY RESULTS
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Roanoke Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
Barrier	482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.	Citation	2010 ADA Stds. 902.1, 226, 226.2				
ITEM 1: ACCESSIBLE PICNIC TABLE NEAR PLAY AREA		Provide accessible picnic table (in addition to existing table) outside framed wooden tie border directly adjacent new accessible route to play area with top surface 34" max. AFF, and with knee and toe space on one end of table 30" min. wide, 27" min. high, and 17" min. deep.		P	O	1	2	1 EA \$2,500
		Free standing picnic table provided within wooden tie border and surrounded by wood chips measured 30" to top surface with knee and toe space below (on end of table) 28-1/2" high and 15" deep.						
ITEM 2: ACCESSIBLE PICNIC TABLE NEAR TENNIS COURT		Provide accessible picnic table (in addition to existing table) directly adjacent new accessible route to tennis court with top surface 34" max. AFF, and with knee and toe space on one end of table 30" min. wide, 27" min. high, and 17" min. deep.		P	O	1	2	1 EA \$2,500
		Existing picnic table on concrete slab measured 30" to top surface with knee and toe space below (on end of table) 29" high and 15" deep.						
Barrier	489	The bench is not 42" long, 20" - 24" deep, or has a 17" - 19" high seat and does not have a 18" high (back unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation	2010 ADA Stds. 903				
ITEM 3: BENCH EAST OF TENNIS COURT		Provide 30"x48" clear floor space adjacent one end of bench along new paved accessible route to tennis court.		P	O	1	2	10 SF \$250
		Recommendation: Existing bench on west side of play area has slab too small to provide clear floor space adjacent. Although benches are not scoped in ADAS, E&A recommends providing a 30"x48" clear floor adjacent to one end of bench designated as accessible.						

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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Roanoke Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
ITEM 4: NEW BENCH - EAST SIDE OF PLAY AREA	Provide a new bench on east side of play area with 30"x48" clear floor space adjacent one end of bench. Locate along new paved accessible route to play areas.	Recommendation: Existing bench on west side of play area has no accessible route or clear floor space adjacent. Although benches are not scoped in ADAS, E&A recommends providing a 30"x48" clear floor adjacent to one end of bench designated as accessible.	P	O	1	2	10 SF	\$250
ITEM 5: TRASH RECEPTACLE - WEST SIDE OF PLAY AREA	Provide new 30"x48" level clear floor space adjacent opening side of trash receptacle. Locate along new paved accessible route to play areas.	Existing trash receptacle has no accessible route or clear floor space adjacent.	P	O	1	2	10 SF	\$250

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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For City of Mercer Island for Transpo

Roanoke Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Drinking Fountains								
Barrier	751	There are not a min. of 2 water fountains provided OR there is not a water fountain that meets the requirements for both wheelchair accessibility and for standing persons (hi-low).	Citation	2010 ADA Stds. 211.2				

ITEM 6: EAST OF TENNIS COURT	Replace the fountain with a hi-low model.	Where provided, min. 2 water fountains are required. 1 is required to meet 602.1 - 602.6 for clear floor space, height, operable parts, and water flow, and 1 is required to meet 602.7 which is height for standing persons. If a water fountain is provided that meets both requirements, it may be substituted for 2 fountains. Spout outlets shall be 36" max. AFF or ground. Drinking fountains for standing persons: Spout outlets of drinking fountains for standing persons shall be 38" min. and 43" max. AFF. Existing condition: Only low level drinking fountain is provided.	P	O	1	4	1	EA	\$4,400
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See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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Roanoke Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET	
Exterior Accessible Routes / Entries									
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2					
ITEM 7: ACCESSIBLE ROUTE TO ACCESSIBLE PICNIC TABLE - EAST SIDE OF PLAY AREA	Provide clear floor space at one end of new accessible picnic table and 44" wide (per Code) asphalt paving to the nearest accessible route (assumed length 10'-0").	No accessible route is provided to picnic table or other elements.	P	O	1	2	14	LF \$494	
ITEM 8: ACCESSIBLE ROUTE TO PLAY AREAS	Provide 44" min. wide (per Code) asphalt paving from parking area to openings in 2 wooden tie frame around play areas.	No accessible routes are provided to enclosed play areas.	P	O	1	2	62	LF \$2,190	
ITEM 9: CLEAR FLOOR SPACE AND ACCESSIBLE ROUTE TO DRINKING FOUNTAINS	Provide 30" x 48" min. clear floor space at low-level drinking fountain and 44" wide (per Code) asphalt paving to the nearest accessible route (assumed length 10'-0").	No clear floor space or accessible route is provided to drinking fountain.	P	O	1	2	14	LF \$494	

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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Roanoke Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Play Areas								
Barrier	843	The ground surface may not meet ASTM F 1951 or ASTM F 1292 for resilience and accessible route.	Citation	2010 ADA Stds. 1008.2.6				
ITEM 10: PLAY AREA	Adopt a policy to maintain and inspect the ground surfaces to ensure compliance with ASTM F 1951 and ASTM F 1292 for Use Zones.	1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1).	P	O	1	2	1	EA \$0
Total for Building: Roanoke Park								\$13,329

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC



Roanoke Park

Upper Left: Play area requires compliant ground surfaces, which must be periodically inspected and maintained

Upper Right: Picnic table does not provide an accessible seat and clear floor space.

Lower Left: Picnic table does not provide an accessible seat and clear floor space.

Roanoke Park

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Roanoke Park

Upper Left: Low level only fountain is provided. Drinking fountain requires a hi-low model for both wheelchair users and standing persons.

Upper Right: Clear floor space and accessible route is required to bench and picnic tables.

Lower Left: Clear floor space and accessible route is required to drinking fountain.

Roanoke Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.2

ADA SURVEY RESULTS
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Rotary Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Accessible Parking								
Barrier	540	The accessible stall lacks compliant accessible parking signage, or existing signage is not 60" min. high measured to the bottom of sign.	Citation	2010 ADA Stds. 502.6, 703.7.2.1, 216.5				

ITEM 1: ACCESSIBLE PARKING	Assuming new paving for accessible space and access aisle (not included in this report), relocate one sign and add new van sign panel to existing sign.	Existing condition: roadside gravel shoulder has space designated for accessible parking between 2 existing signs. This area is not paved, has a 2" level change at edge of asphalt road, and no access aisle. Signs shall be 60" min. AFF or ground surface, measured to bottom of the sign. Note: Where a total of four or fewer parking spaces, including accessible parking are provided on site, signs not required.	P	O	1	1	1	EA	\$92
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See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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For City of Mercer Island for Transpo

Rotary Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
Barrier	482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.	Citation	2010 ADA Stds. 902.1, 226, 226.2				
ITEM 2: ACCESSIBLE PICNIC TABLE		Provide new table with top no more than 34" AFF, and with 27" high, 30" wide, 8" deep knee space, and 17" deep toe space.			P O	1 2	1 EA	\$2,500
		Existing condition provides 1 picnic table which does not provide an accessible clear floor space for a forward approach.						

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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For City of Mercer Island for Transpo

Rotary Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	522	Where an accessible bench is to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat and 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation	2010 ADA Stds.	903			
ITEM 3: ACCESSIBLE BENCH		Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of one of the benches.						
		Although not required under 2010 ADA scoping, E&A recommends for at least 5% of benches provide compliant 30"x48" clear floor space to one side of the bench. Existing condition: Benches are provided, however no adjacent clear floor space is provided.	P	O	7	2	10	SF \$250

See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
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For City of Mercer Island for Transpo

Rotary Park

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Play Areas								
Barrier	5081	The ramp to the play area exceeds 1:12 slope, or 1:48 cross slope or lacks edge protection, or there is no accessible route to the play area.	Citation	2010 ADA Stds. 206.2.17				
ITEM 4: PLAY AREA - ROCK		Install a ramp with compliant slope and landings top and bottom.		P	O	1	1	10 LF \$3,500
Barrier	843	The ground surface may not meet ASTM F 1951 or ASTM F 1292 for resilience and accessible route.	Citation	2010 ADA Stds. 1008.2.6				
ITEM 5: PLAY AREA - ROCK		Demolish and resurface the ground surface with one that complies with ASTM F 1951 and ASTM F 1292 if in a ground level use zone.		P	O	1	2	150 SF \$1,890
1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones (area directly adjacent to and beneath the structure) shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1). Existing condition: Play area with the climbing rock is surrounded by lava rock.								
Total for Building: Rotary Park								\$8,232

See Survey Legend and ADA Overview Report Section for more important information.

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Rotary Park

Upper Left: Accessible parking space is not paved, and has no access aisle.

Upper Right: There is a 2" level change from accessible parking to adjacent path.

Lower Left: Picnic table is required to provide an accessible seat. An accessible route is required to table.

Rotary Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.1



Rotary Park

- Upper Left: Benches do not have a paved clear floor space on one end.
- Upper Right: Play area has a step, and requires an accessible ramp.
- Lower Left: Play area has lava rock for a ground surface. Ground surface must be one that complies with ASTM F 1951.

Rotary Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.2

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Secret Park

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	CITATION	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements									
Barrier	482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.	2010 ADA Stds. 902.1, 226, 226.2						

ITEM 1: ACCESSIBLE PICNIC TABLE	Provide accessible picnic table (in addition to existing table) with top no more than 34" AFF, and with knee and toe space on one end of table 30" min. wide, 27" min. high, and 17" min. deep.	Free standing picnic table provided in the lawn, measured 27-1/2" to top surface with knee and toe space below (on end of table) 26" high and 8-1/2" deep.	P	O	1	2	1	EA	\$2,500
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See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Secret Park

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 2: ACCESSIBLE PICNIC TABLE	Provide concrete paving at clear floor space under accessible picnic table (slope not to exceed 2.08%).	Locate directly adjacent accessible route to play area.	P	O	1	2	15 SF	\$375
ITEM 3: ACCESSIBLE ROUTE TO PLAY AREA	Provide 44" wide (per Code) asphalt paving from roadway to the play area.	No paved accessible route is provided to play area.	P	O	1	2	13 LF	\$459
Barrier	518	The indicated object exceeds 48" high for a side approach and a front approach OR lacks a level 30"x48" clear floor space OR requires gripping and twisting.	Citation	2010 ADA Stds. 308				
ITEM 4: TRASH RECEPTACLE	Provide new concrete paving for clear floor space adjacent trash receptacle with a 2% max. cross slope (1:48) and 44" wide (per Code) accessible route from entry to play area.	Clear floor space adjacent opening of trash receptacle is not paved (i.e., not stable, firm, or slip resistant).	P	O	1	4	16 LF	\$565

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Secret Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Play Areas								
Barrier	5081	The ramp to the play area exceeds 1:12 slope, or there is no accessible route to the play area.	Citation	2010 ADA Stds. 206.2.17				
ITEM 5: PLAY AREA	Provide a curb ramp 44" min. wide (per Code) down into play area with slope not to exceed 8.333% (1:12) and with flares on both sides with slopes not to exceed 10.0% (1:10). If curb is removed or play surface is raised (meeting ASTM F 1951 or ASTM F 1292 requirements for resilience and accessible route) to eliminate the step, the curb ramp would not be required.	The entry into the play area includes a vertical step down approximately 2" and no accessible ramp is provided.	P	O	1	1	EA	\$2,500
Barrier	843	The ground surface may not meet ASTM F 1951 or ASTM F 1292 for resilience and accessible route.	Citation	2010 ADA Stds. 1008.2.6				
ITEM 6: PLAY AREA	Adopt a policy to maintain and inspect the ground surfaces to ensure compliance with ASTM F 1951 and ASTM F 1292 for Use Zones.	1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1).	P	O	1	2	EA	\$0
Total for Building: Secret Park								\$6,399

See Survey Legend and ADA Overview Report Section for more important information.

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Secret Park

- Upper Left: Play area requires compliant ground surfaces, which must be periodically inspected and maintained.
- Upper Right: Play area requires an accessible route and a ramp down to play area.
- Lower Left: Picnic table does not provide an accessible seat and clear floor space. An accessible route is required to trash can, picnic table, and play area.

Secret Park

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.1

ADA SURVEY RESULTS
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For City of Mercer Island for Transpo

Slater Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET	
Accessible Parking									
Barrier	540	The accessible stall lacks compliant accessible parking signage, or existing signage is not 60" min. high measured to the bottom of sign.	Citation	2010 ADA Stds. 502.6, 703.7.2.1, 216.5					
ITEM 1: PARKING LOT - ACCESSIBLE PARKING	Provide new sign posts to raise existing signs to accessible height.	Signs shall be 60" min. AFF or ground surface, measured to bottom of the sign. Note: Where a total of four or fewer parking spaces, including accessible parking are provided on site, signs not required. Existing condition: Sign is provided with bottom of sign 29" above ground.	P	O	1	1	1	EA \$290	

See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
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Slater Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements								
Barrier	482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.	Citation	2010 ADA Stds. 902.1, 226, 226.2				

ITEM 2: ACCESSIBLE PICNIC TABLE	Replace accessible picnic table with type that is embedded (or recessed) in paving so that 30"x48" clear floor space surface is nominally level (slope of 2% max. in any direction) without bolts or level change encroaching into toe space. An alternative solution might be to alter base plate so that it is recessed in a concrete slab.	Accessible picnic table is mounted on steel plate that presents a change in level from paving (plus bolts) encroaching into toe space under picnic table. Change in level is not permitted within 30"x48" clear floor space at accessible seating.	P	O	1	2	1	EA	\$2,500
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See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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For City of Mercer Island for Transpo

Slater Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	522	Where an accessible bench is to be provided, the bench is not 42" long, 20" - 24" deep, with a 17" - 19" high seat and 18" high back (unless affixed to a wall) OR the bench lacks a 30"x48" clear floor adjacent to one end of the bench.	Citation	2010 ADA Stds. 903				
ITEM 3: ACCESSIBLE BENCH NEAR BEACH	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of the bench and 44" wide (per Code) paved walkway from existing trail.	Although not required under 2010 ADA scoping, E&A recommends at least 5% of benches provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: bench is located in lawn, and no clear floor space is provided.	P	O	7	2	45	LF \$1,589
ITEM 4: BENCH NEAR SLOPING PATH	Recommendation: Provide level clear floor space (concrete pad) adjacent to one end of the bench.	Although not required under 2010 ADA scoping, E&A recommends at least 5% of benches provide a compliant 30"x48" clear floor space to one side of the bench. Existing condition: bench is along path but has landscaping on both ends, and no clear floor space is provided.	P	O	7	2	10	SF \$250
Total for Building: Slater Park								\$4,629

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC



Slater Park

Upper Left: Accessible parking sign is too low and should be raised to 60" min. AFF.

Upper Right: Picnic table does not provide an accessible seat and clear floor space.

Lower Left: Benches in various areas of the park require a clear floor space on one end and be on an accessible route.

Slater Park
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ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

South Fire Station #92

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Accessible Parking								
Barrier	540	The accessible stall lacks compliant accessible parking signage, or existing signage is not 60" min. high measured to the bottom of sign.	Citation	2010 ADA Stds. 502.6, 703.7.2.1, 216.5				
ITEM 1: ACCESSIBLE PARKING STALL	Remount / raise existing stall signage.	Signs shall be 60" min. AFF or ground surface, measured to bottom of the sign. Existing condition: Sign is mounted with bottom at 57" above paving.	P	O	1	1	EA	\$72

See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
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South Fire Station #92

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Doors								
Barrier	612	The door lacks the required maneuvering space, or the maneuvering space is not level.	Citation	2010 ADA Stds. 404.2.4				

ITEM 2: ALL-GENDER RESTROOM	Reverse the swing direction of the door, ensuring the bench on the exterior side does not encroach on the required door maneuvering clearance. Alternately (with door in the present location and swing), install a lavatory that does not encroach on the door maneuvering clearance	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). Provide clear floor space min. 60" perpendicular to door for front / pull side approach and 48" perpendicular to door for front or side / push side approach (latch & closer). Existing condition: lavatory encroaches on door maneuvering space required min. depth of 60" (measured perpendicular to the door and min. 18" from the latch side of the door).	P	O	1	2	1	EA	\$810
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See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
 Survey Results - by Building / Element

For City of Mercer Island for Transpo

South Fire Station #92

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	518	The indicated object exceeds 48" high for a side approach and a front approach OR lacks a level 30"x48" clear floor space OR requires gripping and twisting.	Citation	2010 ADA Stds. 308				
ITEM 3: AED CABINET - BUILDING ENTRY	Lower cabinet so that controls are at 48" max. AFF and bottom of object protruding more than 4" is at 27" max. AFF.	Existing condition: latch to open cabinet is 57" AFF. 48" max. is required for forward or side approach. Owner/maintenance item.	P	O	1	2	1	EA \$0

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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For City of Mercer Island for Transpo

South Fire Station #92

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	671	The accessible toilet stall lacks the min. required dimensions, or the accessible water closet lacks the min. required 60" wide clear floor space.	Citation	2010 ADA Stds. 604, 213				
ITEM 4: ALL-GENDER RESTROOM		Revise lavatory depth / location as required. Ensure door maneuvering clearance is not compromised in new lavatory location.		P	O	1	3	1 EA \$0
Barrier	678	The toilet is not 16" - 18" dimension from centerline of toilet to side wall.	Citation	2010 ADA Stds. 604.2				
ITEM 5: ALL-GENDER RESTROOM		Revise toilet to be 18" max. from the side wall to the toilet centerline.		P	O	1	3	1 EA \$0
Barrier	681	The existing grab bars are non-compliant in size, configuration, or mounting height.	Citation	2010 ADA Stds. Fig. 604.5.2, 609.2, 604.9				
ITEM 6: ALL-GENDER RESTROOM		Remount the existing grab bars.		P	O	1	3	1 EA \$410

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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For City of Mercer Island for Transpo

South Fire Station #92

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms									
Barrier	687	The lavatory rim exceeds 34" high measured to the rim or countertop, whichever is higher.	Citation	2010 ADA Stds. 606.3					
ITEM 7: ALL-GENDER RESTROOM	Replace lavatory with an accessible more shallow (<18" - verify) model to provide the toilet clearance of 56" min. from toilet back wall. Relocate to provide required 60" deep door maneuvering space unless shallow model clears the 18" pull side for a 60" depth. Verify.	Existing condition: top of sink is mounted at 34-1/2" AFF.	P	O	1	3	1	EA	\$2,340
Barrier	689	The lavatory lacks insulation at water supply and drain pipes.	Citation	2010 ADA Stds. 606.5					
ITEM 8: ALL-GENDER RESTROOM	Provide pipe sleeve or insulation under lavatory to prevent knee impact with pipes.	Pipes are not insulated or isolated from contact.	P	O	1	3	1	EA	\$180
Total for Building: South Fire Station #92									\$3,812

See Survey Legend and ADA Overview Report Section for more important information.

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South Fire Station #92

- Upper Left: Accessible parking sign is mounted too low.
- Upper Right: AED cabinet is mounted too high and is a protruding object.
- Lower Left: Bench does not have an accessible clear floor space at one end.

South Fire Station #92

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South Fire Station #92

- Upper Left: Toilet is installed at a skewed angle, and located too far from side wall. Grab bars are mounted too high.
- Upper Right: Lavatory encroaches on toilet clearance and door maneuvering space. Also, lavatory rim is too high.

South Fire Station #92

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ADA SURVEY RESULTS
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For City of Mercer Island for Transpo

South Mercer Playfields

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET	
Assembly Areas - Indoor / Outdoor										
Barrier	563	The assembly area lacks the minimum quantity of wheelchair seating areas with adjoining companion seats.	Citation	2010 ADA Stds. 221.2.1						
ITEM 1: NORTHEAST BALLFIELD	Move both sets of bleachers away from the fencing to provide min. 5'-8" clearance. Costs are for 4 signs, not for moving the bleachers or wood borders.	Each set of existing bleachers provides seating for approximately 40 people. 2 wheelchair spaces are required per bleacher set, one at each end of the bleachers, next to a companion seated on the lowest bleacher row. Due to the proximity of the bleachers to the ballfield fencing, bleachers need to move back, 68" min. away from the ballfield fencing, to provide an accessible route. Quantity required: For (4 to 25) fixed seats = 1 space; (26 to 50) = 2 spaces; (51 to 150) = 4 spaces; (151 to 300) = 5 spaces; (301 to 500) = 6 spaces; (501 to 5000) = 6 plus 1 for each 150 of fraction thereof between 501 through 5000 spaces; (5001 and over) = 36 plus 1 for each 200 or fraction thereof over 5000 spaces.	P	O	1	2	4	EA	\$204	
ITEM 2: NORTHWEST BALLFIELD	Move both sets of bleachers away from the fencing to provide min. 5'-8" clearance. The northeast set of bleachers also must move to the north approx. 10" to provide a 36" wide line of sight for the wheelchair seat at the south end (due to the proximity of the non-viewable portion of the ballfield fencing behind home plate). Costs are for 4 signs, not for moving the bleachers or wood borders.	Each set of existing bleachers provides seating for approximately 40 people. 2 wheelchair spaces are required per bleacher set, one at each end of the bleachers - next to a companion seated on the lowest bleacher row. Due to the proximity of the bleachers to the ballfield fencing, bleachers need to move back 68" min. away from the ballfield fencing, to provide an accessible route. Quantity required: For (4 to 25) fixed seats = 1 space; (26 to 50) = 2 spaces; (51 to 150) = 4 spaces; (151 to 300) = 5 spaces; (301 to 500) = 6 spaces; (501 to 5000) = 6 plus 1 for each 150 of fraction thereof between 501 through 5000 spaces; (5001 and over) = 36 plus 1 for each 200 or fraction thereof over 5000 spaces.	P	O	1	2	4	EA	\$204	

See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
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South Mercer Playfields

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Assembly Areas - Indoor / Outdoor								
ITEM 3: SOUTHWEST BALLFIELD	Move both sets of bleachers away from the fencing to provide min. 5'-8" clearance. Costs are for 4 signs, not for moving the bleachers or wood borders.	Each set of existing bleachers provides seating for approximately 40 people. 2 wheelchair spaces are required per bleacher set, one at each end of the bleachers - next to a companion seated on the lowest bleacher row. Due to the proximity of the bleachers to the ballfield fencing, bleachers need to move back 68" min. away from the ballfield fencing, to provide an accessible route. Quantity required: For (4 to 25) fixed seats = 1 space; (26 to 50) = 2 spaces; (51 to 150) = 4 spaces; (151 to 300) = 5 spaces; (301 to 500) = 6 spaces; (501 to 5000) = 6 plus 1 for each 150 of fraction thereof between 501 through 5000 spaces; (5001 and over) = 36 plus 1 for each 200 or fraction thereof over 5000 spaces.	P	O	1	2	4	EA \$204

See Survey Legend and ADA Overview Report Section for more important information.

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South Mercer Playfields

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Doors								
Barrier	622	The existing door does not have a smooth surface min. 10" from the floor or exterior surface and / or the kick plate installed is not capped.	Citation	2010 ADA Stds. 404.2.10				
ITEM 4: MEN'S RESTROOM	Recommend no change, as doors pre-date the 2010 ADAS and the 1994 ADAAG did not include this requirement. When doors are replaced or otherwise altered, however, they will need to be brought into compliance with ADAS	Existing entry door has hold-open device located in the bottom 10" surface of the push side. Note: new construction doors are required to provide a smooth surface 10" kick plate.	P	O	8	1	1 LEAF	\$0
ITEM 5: WOMEN'S RESTROOM	Recommend no change, as doors pre-date the 2010 ADAS and the 1994 ADAAG did not include this requirement. When doors are replaced or otherwise altered, however, they will need to be brought into compliance with ADAS	Existing entry door has hold-open device located in the bottom 10" surface of the push side. Note: new construction doors are required to provide a smooth surface 10" kick plate.	P	O	8	1	1 LEAF	\$0

See Survey Legend and ADA Overview Report Section for more important information.

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South Mercer Playfields

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Drinking Fountains								
Barrier	754	The drinking fountain lacks a 30"x48" clear floor space for a front approach OR the clear floor space slope exceeds 2% in all directions.	Citation	2010 ADA Stds. 602.2				

ITEM 6: DRINKING FOUNTAIN NEAR RESTROOMS	Relocate and/or remove hose bib to provide min. 30"x48" clear floor space at existing fountain.	A hose bib encroaches into knee space under low level drinking fountain.	P	O	1	4	1	EA	\$3,000
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See Survey Legend and ADA Overview Report Section for more important information.

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South Mercer Playfields

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 7: ACCESSIBLE ROUTE TO BATTING CAGE	Provide 44" wide (per Code) asphalt paving from roadway to the batting cage.	No paved accessible route is provided to batting cage building and batting practice cages.	P	O	1	2	100	LF \$3,532
ITEM 8: ACCESSIBLE ROUTE TO PICNIC TABLE - ADJACENT TO THE PLAY AREA	Provide 44" wide (per Code) asphalt paving from roadway to the picnic table.	No paved accessible route is provided to picnic table.	P	O	1	2	30	LF \$1,060
ITEM 9: ACCESSIBLE ROUTE TO PLAY AREA	Provide 44" wide (per Code) asphalt paving from roadway to the play area.	No paved accessible route is provided to play area.	P	O	1	2	30	LF \$1,060
Barrier	518	The indicated object exceeds 48" high for a side approach and a front approach OR lacks a level 30"x48" clear floor space OR requires gripping and twisting.	Citation	2010 ADA Stds. 308				
ITEM 10: BBQ GRILL - ADJACENT TO PLAY AREA	Relocate the grill and provide new concrete paving for clear floor space adjacent to the grill with a 2% max. cross slope (1:48) and 44" wide (per Code).	The existing paved area below the picnic table and BBQ grill does not provide a 44" wide route and clear floor space in front of the grill.	P	O	1	4	4	LF \$141
ITEM 11: BENCH - ADJACENT TO PLAY AREA	Provide new concrete paving for clear floor space adjacent to the bench with a 2% max. cross slope (1:48) and 44" wide (per Code) accessible route from asphalt drove to bench.	The existing paved clear floor space adjacent to the bench is not 30" wide.	P	O	7	4	16	LF \$565

See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
ITEM 12: TRASH RECEPTACLES - ADJACENT TO PLAY AREA	Provide new concrete paving for clear floor space adjacent trash receptacle with a 2% max. cross slope (1:48) and 44" wide (per Code) accessible route from entry to play area.	Clear floor space adjacent to the opening of trash receptacles is not paved (i.e., not stable, firm, or slip resistant).	P	O	1	4	16 LF	\$565

See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
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South Mercer Playfields

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET	
Interior Accessible Routes									
Barrier	646	The accessible route has cross slopes that exceed max. 2% (1:48).	Citation						2010 ADA Stds. 403.3
ITEM 13: MEN'S RESTROOM	Apply a topping coat on the concrete slab to level it.	Slope must be no more that 1:48 (2%). Existing floor slopes 4% to drain.	P	O	1	2	25 SF	\$131	
ITEM 14: WOMEN'S RESTROOM	Apply a topping coat on the concrete slab to level it.	Slope must be no more that 1:48 (2%). Existing floor slopes 4% to drain.	P	O	1	2	25 SF	\$131	

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
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Play Areas

Barrier	5081	The ramp to the play area exceeds 1:12 slope, or there is no accessible route to the play area.						
			Citation	2010 ADA Stds. 206.2.17				

ITEM 15: PLAY AREA	Provide a curb ramp 44" min. wide (per Code) down into play area with slope not to exceed 8.333% (1:12) and with flares on both sides with slopes not to exceed 10.0% (1:10). If curb is removed or play surface is raised (meeting ASTM F 1951 or ASTM F 1292 requirements for resilience and accessible route) to eliminate the step, the curb ramp would not be required.	The entry into the play area includes a vertical step up approximately 2" and no accessible ramp is provided.	P	O	1	1	1	EA	\$2,500
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Barrier	843	The ground surface may not meet ASTM F 1951 or ASTM F 1292 for resilience and accessible route.						
			Citation	2010 ADA Stds. 1008.2.6				

ITEM 16: PLAY AREA	Adopt a policy to maintain and inspect the ground surfaces to ensure compliance with ASTM F 1951 and ASTM F 1292 for Use Zones.	1008.2.6.1 Accessibility. Ground surfaces shall comply with ASTM F 1951 (incorporated by reference, see "Referenced Standards" in Chapter 1). Ground surfaces shall be inspected and maintained regularly and frequently to ensure continued compliance with ASTM F 1951. 1008.2.6.2 Use Zones. Ground surfaces located within use zones shall comply with ASTM F 1292 (1999 edition or 2004 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1).	P	O	1	2	1	EA	\$0
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See Survey Legend and ADA Overview Report Section for more important information.

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South Mercer Playfields

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	671	The accessible toilet stall lacks the min. required dimensions, or the accessible water closet lacks the min. required 60" wide clear floor space.	Citation	2010 ADA Stds. 604, 213				
ITEM 17: MEN'S RESTROOM - ACCESSIBLE TOILET STALL	Remove one reinforced masonry toilet stall partition and replace it with a narrower metal toilet partition, providing the extra space in the accessible stall.	2010 Standards requirements for standard stalls: Min. 60" wide x 56" long (at wall mounted toilet), or min. 60" wide x 59" long (at floor mounted toilet). Also, min. 9" high toe clearance is required at all accessible stalls, unless stall depth exceeds 62" for wall hung and 65" for floor mounted toilets is provided. ADA requirements for clear floor space at water closets: Min. 60" wide x min. 56" long (both approaches). Existing condition: Toilet is wall hung. Stall width is 57" between solid CMU walls, and 58-1/2" deep to the entry partition.	P	O	1	3	1 EA	\$5,190
ITEM 18: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL	Remove one reinforced masonry toilet stall partition and replace it with a narrower metal toilet partition, providing the extra space in the accessible stall.	2010 Standards requirements for standard stalls: Min. 60" wide x 56" long (at wall mounted toilet), or min. 60" wide x 59" long (at floor mounted toilet). Also, min. 9" high toe clearance is required at all accessible stalls, unless stall depth exceeds 62" for wall hung and 65" for floor mounted toilets is provided. ADA requirements for clear floor space at water closets: Min. 60" wide x min. 56" long (both approaches). Existing condition: Toilet is wall hung. Stall width is 57" between solid CMU walls, and 58" deep to the entry partition.	P	O	1	3	1 EA	\$5,190
Barrier	676	The stall door hardware on both sides requires gripping, twisting, or pinching to operate, which is not accessible, or the door is not self closing.	Citation	2010 ADA Stds. 604.8.1.2				
ITEM 19: MEN'S RESTROOM - ACCESSIBLE TOILET STALL	Adjust self-closing door hardware to close the door completely.	Existing stall door has spring hinges that close the door only part way. Owner/maintenance item.	P	O	1	3	0 EA	\$0

See Survey Legend and ADA Overview Report Section for more important information.

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South Mercer Playfields

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
ITEM 20: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL	Adjust self-closing door hardware to close the door completely.	Existing stall door has spring hinges that close the door only part way. Owner/maintenance item.	P	O	1	3	0 EA	\$0
Barrier	682	The flush controls are not located at open side of toilet, or controls require gripping, twisting, or pinching to operate.	Citation	2010 ADA Stds. 604.6				
ITEM 21: MEN'S RESTROOM - ACCESSIBLE TOILET STALL	Adjust flush control to operate with 5 lbs. max. force.	Flush controls shall comply with reach ranges and operation requirements specified in Section 309. Existing push button flush control requires an excess of 8 lbs. force to operate.	P	O	1	3	1 EA	\$500
ITEM 22: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL	Adjust flush control to operate with 5 lbs. max. force.	Flush controls shall comply with reach ranges and operation requirements specified in Section 309. Existing push button flush control requires an excess of 8 lbs. force to operate.	P	O	1	3	1 EA	\$500
Barrier	683	The toilet paper dispenser is not mounted 7" - 9" in front of the toilet edge measured to the center of the fixture, or min. 15" to max. 48" high OR is located less than 12" above the grab bar or less than 1-1/2" below the grab bar.	Citation	2010 ADA Stds. 604.7				
ITEM 23: MEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate the dispenser.	Existing toilet paper dispenser is located above the side wall grab bar, within the required 12" min. clearance above the grab bar.	P	O	1	3	1 EA	\$72

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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South Mercer Playfields

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
ITEM 24: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate the dispenser.	Existing toilet paper dispenser is located above the side wall grab bar, within the required 12" min. clearance above the grab bar.	P	O	1	3	1 EA	\$72
Barrier	690	The faucet hardware requires twisting, pinching, or gripping to operate OR requires excessive force (over 5 lbs.) to operate OR metered faucet does not stay on for min. 10 seconds.	Citation	2010 ADA Stds. 606.4				
ITEM 25: MEN'S RESTROOM	Adjust faucet control to require max. 5 lb. force.	Existing condition: there are two sinks, the one on the right does not function. To operate the faucet, buttons are to be pushed, requiring approx. 10 lbs. force.	P	O	1	3	1 EA	\$500
ITEM 26: WOMEN'S RESTROOM	Adjust faucet control to require max. 5 lb. force.	Existing condition: there are two sinks, the one on the right does not function. To operate the faucet, buttons are to be pushed, requiring approx. 8 lbs. force.	P	O	1	3	1 EA	\$500
Barrier	694	The specified dispensers (soap, towel, seat cover, sanitary napkin, or baby changing), outlets, or controls exceed max. reach range of 48" high for a front or side approach, or lack clear floor space.	Citation	2010 ADA Stds. 308.3				
ITEM 27: MEN'S RESTROOM	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	Existing soap dispenser is located above the sink and is 51" AFF. If altered, per 2010 Standards, the item should be below 48" AFF. (Some building codes such as WAC 51-50/IBC require lower mounting heights according to Table 603.6, which should be applied in these jurisdictions.)	P	O	8	2	1 EA	\$0

See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
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South Mercer Playfields

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
ITEM 28: MEN'S RESTROOM	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	Existing electric hand dryer has operation button at 51" AFF. If altered, per 2010 Standards, the item should be below 48" AFF. (Some building codes such as WAC 51-50/IBC require lower mounting heights according to Table 603.6, which should be applied in these jurisdictions.)	P	O	8	3	1 EA	\$0
ITEM 29: MEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate the seat cover dispenser from behind the toilet / above the grab bar to a location within reach range.	Dispensers are required to be max. 48" high for a front and parallel approach. Existing condition: seat cover dispenser is located above rear wall grab bar, and within the required 12" min. clearance.	P	O	1	3	1 EA	\$150
ITEM 30: WOMEN'S RESTROOM	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	Existing electric hand dryer has operation button at 51" AFF. If altered, per 2010 Standards, the item should be below 48" AFF. (Some building codes such as WAC 51-50/IBC require lower mounting heights according to Table 603.6, which should be applied in these jurisdictions.)	P	O	8	2	1 EA	\$0
ITEM 31: WOMEN'S RESTROOM	Recommend no change. The item is not being altered and measures less than 54" AFF for a side approach, which meets the 1991 Standards.	Existing soap dispenser is located above the sink and is 51" AFF. (Some building codes such as WAC 51-50/IBC require lower mounting heights according to Table 603.6, which should be applied in these jurisdictions.)	P	O	8	2	1 EA	\$0
ITEM 32: WOMEN'S RESTROOM - ACCESSIBLE TOILET STALL	Relocate the seat cover dispenser from behind the toilet / above the grab bar to a location within reach range.	Dispensers are required to be max. 48" high for a front and parallel approach. Existing condition: seat cover dispenser is located above rear wall grab bar, and within the required 12" min. clearance.	P	O	1	3	1 EA	\$150

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

ADA SURVEY RESULTS
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South Mercer Playfields

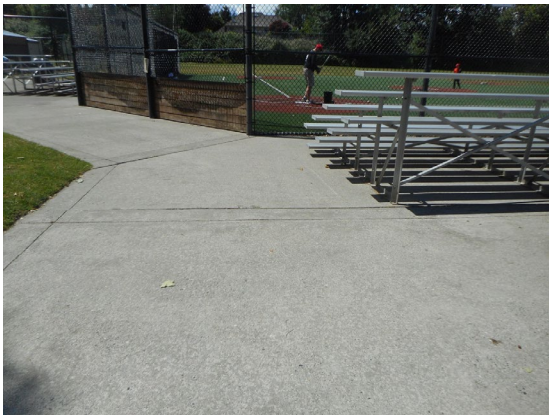
Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Signage								
Barrier	713	The permanent room sign lacks raised letters and braille characters OR the raised letters characters do not meet the requirements.	Citation	2010 ADA Stds. 216, 703.3, 703.2, 703.5				
ITEM 33: MEN'S RESTROOM	Provide new compliant sign at the latch side of the door.	Signs to have raised and braille characters, high-contrast finish / non-glare surface, and must be mounted at 60" high (measured from baseline of highest tactile character to finish floor) located adjacent to the latch side of the door. Tactile characters shall be 48" min. to baseline of lowest character. Existing condition: There are 2 restroom signs on exterior. They do not have raised characters, the International Symbol of Accessibility is approx. 2" high, and the sign located on the door latch side has braille at 41" AFF. There is another restroom sign with compliant raised letters, braille, and the International Symbol of Accessibility, but it is mounted on the inside of the door, and is only visible when door is propped open.	P	O	1	2	1 EA	\$290
ITEM 34: WOMEN'S RESTROOM	Provide new compliant sign at the latch side of the door.	Signs to have raised and braille characters, high-contrast finish / non-glare surface, and must be mounted at 60" high (measured from baseline of highest tactile character to finish floor) located adjacent to the latch side of the door. Tactile characters shall be 48" min. to baseline of lowest character. Existing condition: There are 2 restroom signs on exterior. They do not have raised characters, the International Symbol of Accessibility is approx. 2" high, and the sign located on the door latch side has braille at 41" AFF. There is another restroom sign with compliant raised letters, braille, and the International Symbol of Accessibility, but it is mounted on the inside of the door, and is only visible when door is propped open.	P	O	1	2	1 EA	\$290
Total for Building: South Mercer Playfields								\$26,701

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC



South Mercer Playfields

Upper Left: Bleachers require wheelchair seating (with signage).

Upper Right: Hose bib under low level drinking fountain requires relocation.

Lower Left: Ground surfaces of all play areas must be compliant and require periodic inspections & maintenance

South Mercer Playfields

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South Mercer Playfields

- Upper Left: 30"x48" clear floor space is required on one side of bench, and an accessible route to bench is required.
- Upper Right: Picnic table requires an accessible seat & accessible route.
- Lower Left: Accessible route is required to play area.

South Mercer Playfields

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South Mercer Playfields

Upper Left: Accessible route and clear floor space is required at trash receptacles.

Upper Right: BBQ grill requires an adjacent clear floor space.

Lower Left: Paved accessible route and door maneuvering space is required at play area.

South Mercer Playfields

ENDELMAN & ASSOCIATES PLLC / ADA Survey for City of Mercer Island – Transpo / P.3

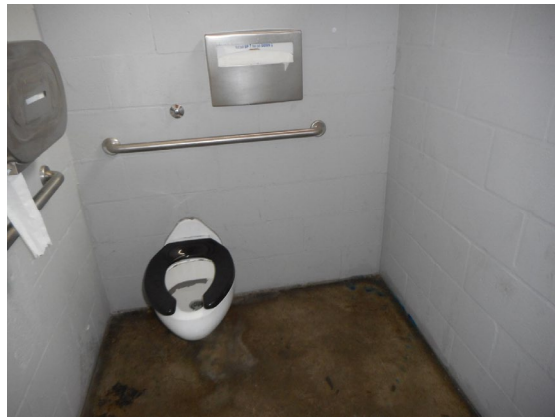
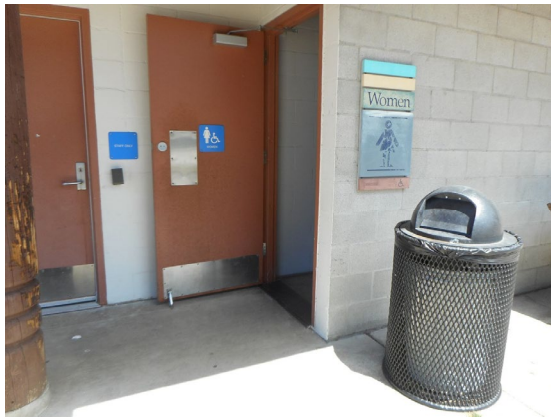


South Mercer Playfields

- Upper Left: Accessible route and door maneuvering space is required at practice area.
- Upper Right: Accessible route and door maneuvering space is required at batting cage structure.
- Lower Left: Accessible route and door maneuvering space required at practice area.

South Mercer Playfields

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South Mercer Playfields

Upper Left: Restroom signage should be compliant.

Upper Right: Accessible stall size is non-compliant. Dispensers require relocation.

Lower Left: Soap dispenser and hand drying operation button are mounted too high.

South Mercer Playfields

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ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Wildwood Park

Date: 12/01/2021

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LOCATION	RECOMMENDATION	COMMENTS	CITATION	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements									
Barrier	482	The dining or work surface lacks 5% seating and standing spaces that are accessible, or existing tables exceed max. 34" high or lack knee clearance 27" high, 30" wide and 17" deep, or are not on an accessible route, or lack dispersion throughout seating and standing spaces.	2010 ADA Stds. 902.1, 226, 226.2						

ITEM 1: ACCESSIBLE PICNIC TABLE	Replace table with one providing top surface no more than 34" AFF, and with 27" high, 30" wide, 8" deep knee space, and 17" deep toe space. Alternately, provide accessible table in addition existing table.	Existing picnic table has knee and toe space 29" wide and 11" deep. Knee and toe space is required to be 30" min. wide and 17" min. deep.	P	O	1	2	1	EA	\$2,500
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See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
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Wildwood Park

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Exterior Accessible Routes / Entries								
Barrier	510	The site amenity (ball field, playground, bench, picnic table, BBQ, etc.) lacks an accessible route to it.	Citation	2010 ADA Stds. 206.2.2				
ITEM 2: ACCESSIBLE ROUTE TO PICNIC TABLE	Provide 44" wide (per Code) asphalt paving to the indicated amenities. At any slopes exceeding 5%, provide a compliant ramp with complying handrails and landings.	No accessible route is provided to picnic table or other elements.	P	O	1	2	80	LF \$2,826
Barrier	518	The indicated object exceeds 48" high for a side approach and a front approach OR lacks a level 30"x48" clear floor space OR requires gripping and twisting.	Citation	2010 ADA Stds. 308				
ITEM 3: BOOK RECEPTACLE	Provide new concrete paving for clear floor space adjacent book receptacle with a 2% max. cross slope (1:48) and 44" wide (per Code) accessible route from nearby trash receptacle.	Clear floor space adjacent opening of book receptacle is not paved (i.e., not stable, firm, or slip resistant).	P	O	1	4	50	SF \$1,250
ITEM 4: DOG WASTE RECEPTACLE	Provide new concrete paving for clear floor space adjacent dog waste receptacle with a 2% max. cross slope (1:48) and 44" wide (per Code) accessible route from picnic table.	Clear floor space adjacent opening of dog waste receptacle is not paved (i.e., not stable, firm, or slip resistant).	P	O	1	4	50	SF \$1,250
ITEM 5: TRASH RECEPTACLE	Provide new concrete paving for clear floor space adjacent trash receptacle with a 2% max. cross slope (1:48) and 44" wide (per Code) accessible route from picnic table.	Clear floor space adjacent opening of trash receptacle is not paved (i.e., not stable, firm, or slip resistant).	P	O	1	4	50	SF \$1,250
Total for Building: Wildwood Park								\$9,076

See Survey Legend and ADA Overview Report Section for more important information.

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Wildwood Park

- Upper Left: Picnic table does not provide an accessible seat and clear floor space.
- Upper Right: No accessible route thru lawn area.
- Lower Left: Picnic table, book receptacle, and trash can require an accessible route and clear floor space.

Wildwood Park

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ADA SURVEY RESULTS
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Youth and Family Services Thrift Shop & Recycling Center

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Accessible Parking								
Barrier	540	The accessible stall lacks compliant accessible parking signage, or existing signage is not 60" min. high measured to the bottom of sign.	Citation	2010 ADA Stds. 502.6, 703.7.2.1, 216.5				
ITEM 1: ACCESSIBLE PARKING IN FRONT	Remount / raise existing stall signage.	Signs shall be 60" min. AFF or ground surface, measured to bottom of the sign. Existing condition: signs are mounted at 32" AFF to the bottom.	P	O	1	1	2 EA	\$144

See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
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Youth and Family Services Thrift Shop & Recycling Center

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LOCATION	RECOMMENDATION	COMMENTS	CITATION	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Built In Elements									
Barrier 481	The sales or service counter lacks a 36" long lowered portion of counter that is max. 36" high for a 48" parallel approach or is not 30" long min. with knee space for a forward approach or does not extend the same depth as the sales or service countertop.		Citation 2010 ADA Stds. 227.3, 904.4.2, 902.3						
ITEM 2: CHECKOUT COUNTER	Lower a section of existing counter to 36" AFF (with min. 36" length).	Existing countertop measured 38" AFF.		P	O	1	2	1	EA \$1,570
Barrier 488	The operable controls exceed max. 48" high for a front or side approach for items less than 20" depth OR 44" for items that are 20" - 25" depth, and/or lacks 30"x48" clear floor space.		Citation 2010 ADA Stds. 309; 308						
ITEM 3: GROUND FLOOR - WORKROOM 100, EAST OF DUMBWAITER	Lower the countertop upon which the item is located.	Existing countertop is 36" AFF. Outlets above countertop not within reach for a side approach.		P	O	1	2	1	EA \$1,110
ITEM 4: GROUND FLOOR - WORKROOM 100, SOUTH OF DUMBWAITER	Lower the dispenser(s).	Dispensers are required to be max. 48" high for a front and parallel approach. Existing paper towel and soap dispenser adjacent to countertop with the sink are mounted at 55" AFF.		P	O	1	4	2	EA \$300
ITEM 5: GROUND FLOOR - WORKROOM 100, SOUTH OF DUMBWAITER	Lower the countertop upon which the item is located, and provide outlet extenders to place outlet face within 24" of countertop edge.	Existing countertop is 36" AFF and 25" deep. Outlets above countertop not within reach for a side approach.		P	O	1	2	1	EA \$1,110
ITEM 6: SECOND FLOOR - KITCHEN	Lower the countertops. Lower electrical outlets to 46" AFF max. and ensure face of outlets within 24" of countertop edge.	Existing countertops are 36" AFF and 25" deep. Outlets are not accessible for a side reach.		P	O	1	2	2	EA \$2,220

See Survey Legend and ADA Overview Report Section for more important information.

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Youth and Family Services Thrift Shop & Recycling Center

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Doors								
Barrier	610	The door with vision panel lacks at least one vision panel mounted at max. 43" high measured to lowest bottom edge.	Citation	2010 ADA Stds. 404.2.11				
ITEM 7: SECOND FLOOR - KITCHEN	Replace the door with a new door with a vision panel at 43" AFF.	Existing door has a vision panel at 48" AFF.	P	O	1	4	1	EA \$2,180
Barrier	612	The door lacks the required maneuvering space, or the maneuvering space is not level.	Citation	2010 ADA Stds. 404.2.4				
ITEM 8: GROUND FLOOR - RETAIL #104, EXIT DOOR ON SOUTH SIDE	Relocate the door / frame to provide door maneuvering space.	Existing condition: exit door has an exterior column directly outside of its opening. See additional dimensions for other approaches in 404.2.4.1.	P	O	1	2	1	EA \$1,100
ITEM 9: GROUND FLOOR - WORKROOM 100, EAST EXIT DOOR	Relocate the furniture or movable object that is encroaching into door maneuvering space.	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). Provide clear floor space min. 60" perpendicular to door for front / pull side approach and 48" perpendicular to door for front or side / push side approach (latch & closer). Existing condition: furniture blocks the 12" wide clearance required on the (inside) push side. See additional Dimensions for other approaches in 404.2.4.1	P	O	1	2	1	EA \$0
ITEM 10: GROUND FLOOR - WORKROOM 100, EAST EXIT DOOR	Add new portion of exterior surface (at door approach).	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). Provide clear floor space min. 60" perpendicular to door for front / pull side approach. Existing condition: there is no adjacent / level surface on the door exterior. See additional Dimensions for other approaches in 404.2.4.1.	P	O	1	2	30	SF \$1,515

See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
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Youth and Family Services Thrift Shop & Recycling Center

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Doors								
ITEM 11: GROUND FLOOR - WORKROOM 100, EXTERIOR DOOR ON WEST WALL	Relocate the furniture or movable object that is encroaching into door maneuvering space.	Ensure door maneuvering spaces are min. 18" at pull side and min. 12" at push side (if equipped with latch & closer). Existing condition: work table encroaches on the required 12" width at the door latch / push side.	P	O	1	2	1 EA	\$0
Barrier	622	The existing door does not have a smooth surface min. 10" from the floor or exterior surface and/or the kick plate installed is not capped.	Citation	2010 ADA Stds. 404.2.10				
ITEM 12: FRONT ENTRY DOORS	Recommend no change, as doors pre-date the 2010 ADAS and the 1994 ADAAG did not include this requirement. When doors are replaced or otherwise altered, however, they will need to be brought into compliance with ADAS	Door base measure 9" AFF, and door stop / hold open exists in the kick plate area on the push side. Existing doors are not required to add a smooth surface, but if one is installed it is required to be capped.	P	O	8	1	2 LEAF	\$0

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Dressing Rooms, Fitting Room, Locker Room								
Barrier	758	There are not 5% of the dressing rooms that are accessible, or the dressing room lacks a 60" diameter (or T-shaped) turning space.	Citation	2010 ADA Stds. 222, 304.4, 803.2				
ITEM 13: SECOND FLOOR - DRESSING ROOMS	Expand the dressing room to meet clear floor space requirements.	At least one of each type of dressing room provided must be accessible. In alterations, where it is technically infeasible to provide accessible rooms, one room for each sex on each level is required. Where only unisex rooms are provided, unisex rooms are permitted. Existing condition: three dressing rooms are provided, one is 48" wide, and the others are 43" wide. All are 60" deep.	P	O	1	2	1	EA \$1,250
Barrier	760	The accessible dressing or fitting room lacks a 42" min. long x 20" to 24" deep bench mounted between 17" and 19" high, or lacks 30"x48" clear floor space at the end of the bench, or lacks an accessible back support.	Citation	2010 ADA Stds. 222, 903				
ITEM 14: SECOND FLOOR - DRESSING ROOMS	Provide a new 20" - 24" deep x 42" long bench at 17" - 19" height affixed to a wall or with accessible back support in an accessible location within the dressing room.	No bench is provided in any dressing rooms. If the bench is not affixed to a wall, then a back support the length of the bench (42" min.) 18" high min. shall be provided.	P	O	1	2	1	EA \$1,110

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Elevators								
Barrier 628	The elevator lacks raised letters and braille floor and/or car designations located at both jambs OR the designations are not mounted within 48" - 60" to the baseline of the character.		Citation	2010 ADA Stds. 407.2.3, 703.4				
ITEM 15: GROUND FLOOR - WORKROOM 100, ELEVATOR	Relocate floor designation to be within 48" - 60" AFF to the baseline of the character.	Existing floor designation tactile number exceeds 60" AFF to the baseline of the character. This occurs at the second level also.	P	O	1	2	2	EA \$144
Barrier 633	The car control floor buttons exceed 54" high with a side approach, if more than 16 floor openings, or 48" high with a front or side approach, if less than 16 floor openings; or emergency controls are not grouped and higher than 35" to centerline at the bottom of the panel.		Citation	2010 ADA Stds. 308.3, 407.4.6				
ITEM 16: GROUND FLOOR - WORKROOM 100, DUMBWAITER	Recommend no change. The item is not being altered and measures less than 54" AFF and a parallel approach is provided which meets the exception for existing elevator call buttons.	Existing dumbwaiter operation control buttons mounted at 52" AFF.	P	O	8	2	1	EA \$0
Barrier 637	The emergency two-way communications system is non-compliant (highest operable part exceeds 48" high, length of cord is too short, device lacks identifying signage, system lacks voice communication, or lacks tactile symbols and characters).		Citation	2010 ADA Stds. 407.4.9				
ITEM 17: GROUND FLOOR - WORKROOM 100, ELEVATOR	Provide a means for non-verbal communications via text readout or indications of rescue on the way.	Verify with local requirements necessity for emergency communications system. Existing "Airphone" operation button is 56" AFF.	P	O	1	2	1	EA \$2,160

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	CITATION	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
Kitchens - Lounges										
Barrier 17850	The dining surfaces for consuming food and drink lack the min. required 5% (but not less than one) accessible seating spaces and standing spaces lack accessible seating with knee space.		Citation 2010 ADA Stds. 226, 902							
ITEM 18: SECOND FLOOR - KITCHEN, DINING TABLE	Remove one of the dining tables, and provide one with a dining surface 28" to 34" AFF, 30 " wide and with a knee 27" high, 30" wide and 19" deep.	Knee space shall be at least 27" high, 30" wide and 19" deep. Existing table has 13-1/2" deep knee space.		P	O	1	1	1	EA	\$1,840
Barrier 531	The kitchen sink exceeds 34" high, lacks 30" wide knee space if a range or cooktop is provided, or has inaccessible hardware.		Citation 2010 ADA Stds. 804.4							
ITEM 19: SECOND FLOOR - KITCHEN	Lower the sink to be 34" max.	Existing countertop and sink are 36" AFF.		P	O	1	2	1	EA	\$2,100
Barrier 532	The kitchen lacks the 50% of storage at an accessible level of 15" min. - 48" max.		Citation 2010 ADA Stds. 804.5							
ITEM 20: SECOND FLOOR - KITCHEN	Provide additional storage to meet the required 50% max.	Existing upper cabinets are 55" AFF.		P	O	1	2	5	LF	\$1,150

See Survey Legend and ADA Overview Report Section for more important information.

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Youth and Family Services Thrift Shop & Recycling Center

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	680	The toilet lacks compliant side and/or rear grab bars.	Citation	2010 ADA Stds. 604.5				
ITEM 21: SECOND FLOOR - RESTROOM #206, SOUTH RESTROOM	Recommend no change because this restroom will not be made an accessible restroom. Provide directional signage to accessible restroom.	Grab bars should be 1-1/4" - 2" in diameter, 33" - 36" AFF, with 1-1/2" min. between the wall and the grab bar. Circular cross section - outside diameter 1-1/4" min. - 2" max.. Non-circular cross section - perimeter of 4" min. - 4.8" max. Horizontal projections shall be 1-1/2" min. below bottom of rail. (Exception: Grab bars not required to be installed in single occupant accessed through private offices.) [2010 Standards: Rear grab bar min. 24" long from centerline of toilet at transfer side; allows 1-1/4" - 2" cross section and non-circular shapes; allows alternate children's use height.]	P	O	2	3	1	EA \$150
Barrier	681	The existing grab bars are non-compliant in size, configuration, or mounting height.	Citation	2010 ADA Stds. Fig. 604.5.2, 609.2, 604.9				
ITEM 22: GROUND FLOOR RESTROOM	Replace with new grab bars.	Grab bars should be 1-1/4" - 2" in diameter, 33" - 36" AFF, with 1-1/2" min. between the wall and the grab bar. Circular cross section - outside diameter 1-1/4" min. - 2" max. Existing condition: grab bars are mounted too high at 37-3/4" AFF. Also, side wall grab bar is 36" in length and is required to be 42" min., mounted 54" min. from back corner. Rear wall grab bar is 36" long, which is compliant, but location is to be 24" from toilet centerline to the end of the grab bar on the open (toilet) end.	P	O	1	3	1	EA \$1,300

See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
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Youth and Family Services Thrift Shop & Recycling Center

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
ITEM 23: SECOND FLOOR RESTROOM #205, NORTH RESTROOM	Remount the existing grab bars.	Grab bars should be 1-1/4" - 2" in diameter, 33" - 36" AFF, with 1-1/2" min. between the wall and the grab bar. Circular cross section - outside diameter 1-1/4" min. - 2" max. Non-circular cross section - perimeter of 4" min. - 4.8" max. Horizontal projections shall be 1-1/2" min. below bottom of rail. Rear grab bar min. 24" long from centerline of toilet at transfer side; allows 1-1/4" - 2" cross section and non-circular shapes. Existing condition: grab bars are mounted 37" AFF to the top.	P	O	1	3	1 EA	\$410
Barrier	682	The flush controls are not located at open side of toilet, or controls require gripping, twisting, or pinching to operate.	Citation	2010 ADA Stds. 604.6				
ITEM 24: MEN'S RESTROOM - ACCESSIBLE TOILET STALL	Replace the tank with flush controls on the open side.	Existing toilet has auto-flush and manual flush control on the corner side of the toilet.	P	O	2	3	1 EA	\$1,160
Barrier	688	The lavatory lacks min. 27" high knee space at front edge, extending 8" deep under the lavatory, and/or 30"x48" clear floor space.	Citation	2010 ADA Stds. 606.2				
ITEM 25: GROUND FLOOR RESTROOM	Replace lavatory with an accessible model.	Where lavatories are provided at least one shall be accessible and not be located in a toilet compartment. Existing condition: Knee space at 27" AFF is 4" deep.	P	O	1	3	1 EA	\$2,340
Barrier	689	The lavatory lacks insulation at water supply and drain pipes.	Citation	2010 ADA Stds. 606.5				
ITEM 26: GROUND FLOOR RESTROOM	Insulate pipes.	Where lavatories are provided at least one shall be accessible. Existing condition: Lavatory pipes are not insulated.	P	O	1	3	1 EA	\$180

See Survey Legend and ADA Overview Report Section for more important information.

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ADA SURVEY RESULTS
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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Restrooms / Bathrooms								
Barrier	692	The mirror exceeds max. 40" high measured from the bottom of the reflecting surface OR mirrors not located above countertops exceed 35" high.	Citation	2010 ADA Stds. 603.3				
ITEM 27: GROUND FLOOR RESTROOM	Lower the mirror.	Mirrors above countertops are required to be 40" max. to the reflective surface. Existing condition: bottom of reflective surface is 48" AFF.	P	O	1	3	1 EA	\$150
ITEM 28: SECOND FLOOR - RESTROOM #205, NORTH RESTROOM	Lower the mirror.	Mirrors above countertops are required to be 40" max. to the reflective surface. Existing condition: bottom of reflective surface is 43" AFF.	P	O	1	3	1 EA	\$150
Barrier	694	The specified dispensers (soap, towel, seat cover, sanitary napkin, or baby changing), outlets, or controls exceed max. reach range of 48" high for a front or side approach, or lack clear floor space.	Citation	2010 ADA Stds. 308.3				
ITEM 29: GROUND FLOOR RESTROOM	Relocate the seat cover dispenser from behind the toilet to a location within reach range.	Dispensers are required to be max. 48" high for a front and parallel approach.	P	O	1	3	1 EA	\$150
ITEM 30: GROUND FLOOR RESTROOM	Relocate or lower the towel dispenser(s).	Dispensers are required to be max. 48" high for a front and parallel approach. Existing condition: towel and soap dispenser are 50" AFF to operation handle.	P	O	1	3	2 EA	\$300
ITEM 31: SECOND FLOOR - RESTROOM #205, NORTH RESTROOM	Relocate the seat cover dispenser from behind the toilet to a location within reach range.	Dispensers are required to be max. 48" high for a front and parallel approach. Existing condition: seat cover dispenser is mounted behind the toilet prohibiting a forward and/or side approach.	P	O	1	3	1 EA	\$150

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	Citation	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET	
Signage										
Barrier	715	The permanent room sign with tactile characters is not mounted min. 48" high from baseline of lowest character and max. 60" high from baseline of highest characters OR is not 9" min. from centerline of sign to latch side of door.	2010 ADA Stds. 703.4.1, 703.4.2							
ITEM 32: SECOND FLOOR - RESTROOM #205, NORTH RESTROOM	Remount / relocate existing sign that meets the requirements.	Signs to have raised and braille characters, high-contrast finish / non-glare surface, and must be mounted at 48" - 60" high, measured 48" (base of lowest character) to baseline of highest character from finished floor, located adjacent to the latch side of the door. Existing condition: Sign is mounted on the door with tactile lettering too high (62-1/4" to baseline).		P	O	1	3	1	EA	\$72

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	CITATION	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Sinks									
Barrier	723	At least 5%, or min. 1 of the sinks in accessible spaces exceeds 34" to the rim or counter OR lacks min. 30" wide knee space that is 27" high and 17" deep for a front approach OR lacks 30"x48" parallel approach. Note: A parallel approach is allowed in kitchens, kitchenettes, and wet bars if there is no cooktop or range.	2010 ADA Stds. 212.3,606.2, 606.3						
ITEM 33: GROUND FLOOR - WORKROOM 100, SOUTH OF DUMBWAITER	Lower the mounting height of the sink to 34" max. Remove cabinetry below to provide the required 27" knee space.	Knee clearance should be at least 27" high, 30" wide, and 17" deep. Existing sink is 36" AFF with permanent cabinets below.		P	O	1	2	1	EA \$1,820

See Survey Legend and ADA Overview Report Section for more important information.

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LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP CODE	PRI	QTY	UNITS	BUDGET
Storage / Lockers								
Barrier	742	The lockers lack the required 5% accessible lockers.						
			Citation	2010 ADA Stds. 225.2.1, 811				
ITEM 34: SECOND FLOOR - KITCHEN	Replace 5% of the existing lockers with ones that are accessible.	A clear space at least 30"x48" that allows forward or parallel approach, accessible hardware, and storage elements that are within a 15" - 48" reach range are required. Existing condition: The second row of lockers has hooks at 50" AFF with shelf below (48" max. required). The first row of lockers has a bottom shelf below 15" AFF (15" min. height required). Locker opening devices require tight pinching to open.	P	O	5	4	2	EA \$640
Total for Building: Youth and Family Services Thrift Shop & Recycling Center								\$29,975

See Survey Legend and ADA Overview Report Section for more important information.

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Youth and Family Services Thrift Shop

- Upper Left: Accessible parking sign is mounted too low. Bottom edge of sign to be 60" min. above pavement.
- Upper Right: Exit door has a column blocking the required door clearance and maneuvering space.
- Lower Left: Exit door from first floor lacks a paved clear floor space on exterior side.

Youth and Family Services Thrift Shop

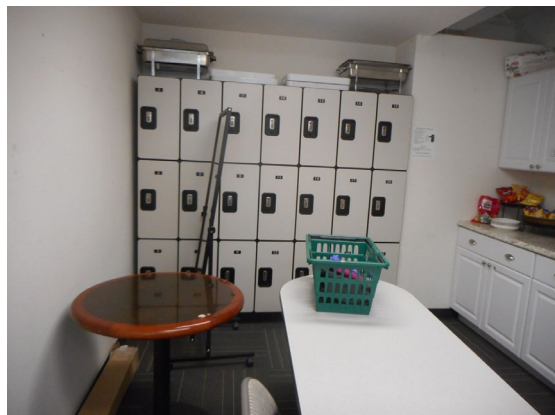
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Youth and Family Services Thrift Shop

- Upper Left: Countertop blocks the 12" min. required maneuvering space on the latch/push side.
- Upper Right: The vision panel on the door is too high. To be 43" max. AFF.
- Lower Left: One accessible dressing room is required with a bench and turning space.

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Youth and Family Services Thrift Shop

Upper Left: Check-out counter lacks a 36" high max. x 36" min. in length accessible counterspace.

Upper Right: Lockers do not provide the min. 5% required to be accessible, due to height of hooks & bottom shelf.

Lower Left: Sink is 36" AFF (should be 34" max.) and lacks knee clearance for a forward approach. Above countertop outlets are out of accessible reach. Paper towel dispenser is mounted too high.

Youth and Family Services Thrift Shop

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Youth and Family Services Thrift Shop

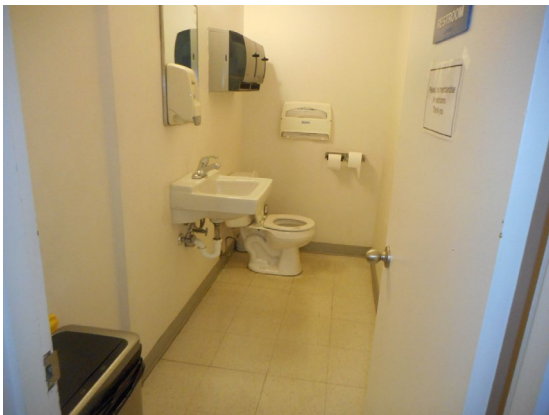
Upper Left: Dining table does not provide the required knee clearance space.

Upper Right: Countertop and sink are too high. Must be 34" AFF max. for sink height and for accessible reach to above countertop mounted outlets. Also, kitchen lacks 50% of storage at accessible height.

Lower Left: Second level accessible restroom signage is mounted too high.

Youth and Family Services Thrift Shop

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Youth and Family Services Thrift Shop

- Upper Left: Ground floor restroom grab bars are too short and incorrectly located. Seat cover dispenser is not accessible above the toilet.
- Upper Right: Ground floor restroom lavatory does not provide the required knee space clearance. Pipes require insulation. Mirror and towel dispenser are too high.
- Lower Left: 2nd floor restroom adjacent the kitchen is inaccessible. Provide directional signage to accessible restroom.

Youth and Family Services Thrift Shop

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Youth and Family Services Thrift Shop

Upper Left: Second floor accessible restroom: grab bars are mounted too high, flush control is required on the open side, seat cover dispenser is not accessible above the toilet.

Upper Right: Second floor accessible restroom: mirror is mounted too high. The bench encroaches on door maneuvering clearance on the latch side.

Youth and Family Services Thrift Shop

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ADA SURVEY RESULTS
Survey Results - by Building / Element

For City of Mercer Island for Transpo

Date: 12/01/2021

Page: 254

LOCATION	RECOMMENDATION	COMMENTS	TYPE	RESP	CODE	PRI	QTY	UNITS	BUDGET
TOTAL (ALL BUILDINGS)									\$1,303,577

See Survey Legend and ADA Overview Report Section for more important information.

ENDELMAN & ASSOCIATES PLLC

Appendix E - Stakeholder Engagement

CITY OF MERCER ISLAND

ADA TRANSITION PLAN

ENGAGEMENT & PUBLIC INVOLVEMENT SUMMARY

PREPARED FOR: Lia Klein, City of Mercer Island
PREPARED BY: Jeanne Acutanza, Acutanza STS
CC: Patrick Lynch, Transpo Group
DATE: November 1, 2021

Introduction

This summary provides an overview of engagement and outreach to support the City of Mercer Island ADA Transition Plan development. In developing this ADA (Americans with Disabilities Act) Transition Plan, we emphasize outreach and engagement to people with disabilities and those who support people with disabilities. We also reach out to members of the public with no disability. We hope to meet our community where they are; however, most outreach was conducted using virtual and online communications strategies in the interest of community safety. We also want to reflect the communities served and make sure our outreach is accessible to those who are more comfortable communicating in other languages.

We conducted this outreach to gain feedback on current pedestrian facilities within the public right-of-way and access within and to public buildings that provide access to community and government services. This memo outlines the community outreach process used to support the development of this ADA Transition Plan. Our survey and outreach were conducted over the summer and fall of 2021, during the global COVID 19 pandemic. The ongoing COVID-19 pandemic and guidance the state a local Departments of Health restricted our ability to conduct in-person outreach for the plan. Outreach was limited to include largely online outreach.

Specific elements of our outreach included:

- an online open house which will remain open through plan development
- an online mapping tool to identify issues that remains open through plan development
- a public survey opened from July into September
- an in-depth focus group and discussions with volunteers from the survey responders

Attachments to this memo include:

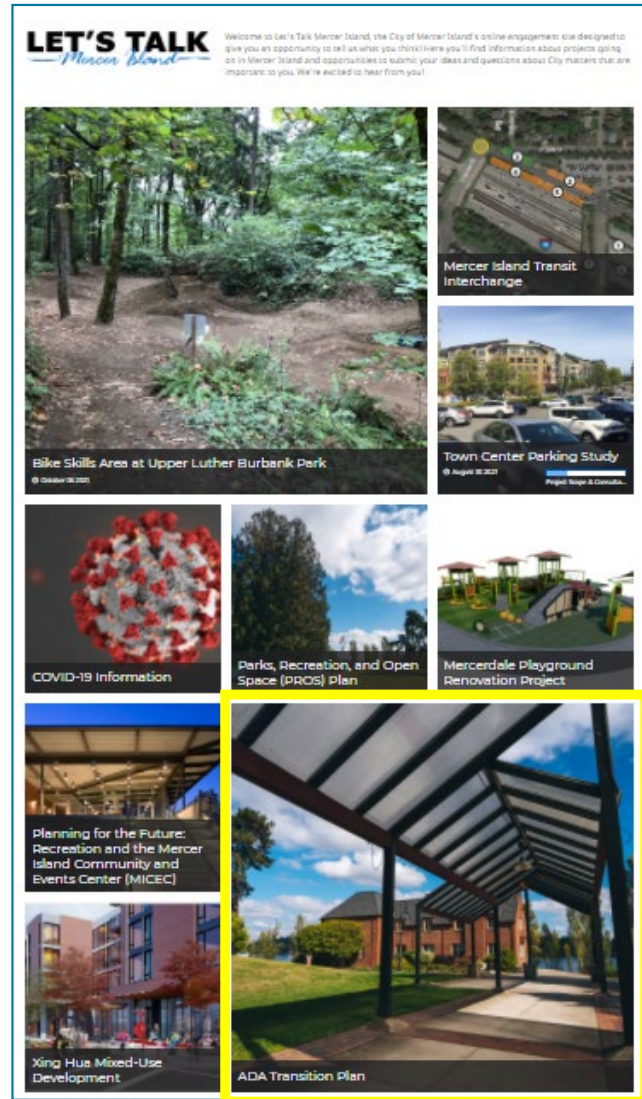
- A. Survey questions
- B. Topline Survey Results
- C. Listing of issues from survey and focus group
- D. Focus Group Guide

Promotion and advertising for outreach

The goal of the outreach for the ADA Transition Plan update was to reach out broadly to members of the public that travel on Mercer Island with and without disabilities.

Specific outreach to the public and organizations serving and advocating for individuals with disabilities consisted of:

- Promotion through the City outreach page with current outreach efforts called "Let's Talk" (right) links to a project Online Open House. The City also placed notices in Nextdoor and Facebook.
- Paper flyers and posters placed at public places throughout that are open to the public. These included the library, Mercer Island City Hall and all senior housing facilities on the island.
- Article in the Mercer Island Reporter soliciting community feedback on the survey August 18, 2021 here: www.mireporter.com/news/city-offers-resident-survey-while-developing-ada-transition-plan/
- Outreach to the Mercer Island school district to notify families served by the schools
- Launching a landing page within the City website within Public Works dedicated to the development and status of the ADA Transition Plan. It continues to be the landing page to the public for ADA issues. www.mercerisland.gov/publicworks/page/ada
- Promoting an online open house describing Title II of the Americans with Disabilities Act, the ADA process, and the emphasis on facilities for pedestrians in the public right-of-way here: <https://www.mercerislandada.com/>. The page remains active as an educational resource and links to an online mapping tool to identify locations.
- Creating an online mapping and reporting tool for the public to report barriers to access here: <https://www.mercerislandada.com/interactivereporting>. This link remains active and allows the public to report obstacles they encounter using a mapping interface.



Online Survey: July 4 through September 14, 2021

A 17-question survey was open from the online open house launch on July 4 through September 14, 2021. The English language version of the online survey resulted in seventeen complete answers. It asked respondents how they travel, where they live, why they travel in Renton, whether they had a disability or support someone with a disability. It also asks respondents whether an accessibility issue has ever prevented them from participating or obtaining services in the City of Mercer Island. Questions regarding demographics were optional. The survey did not specifically ask where respondents live but did request a ZIP code for each respondent. Most of the respondents indicated they lived within the City and in ZIP code 98004. No Chinese or Spanish language surveys were completed online. No survey respondents indicated they were of Hispanic origin.

While the survey was broadly advertised and open for two months, only seventeen people responded fully to the survey. With a small population on Mercer Island, this level of response was not unexpected. The responses themselves were detailed, providing specific examples and perspectives on priorities. Survey respondents were reported to be predominantly residents of Mercer Island. Almost half (47%) of the respondents said they either had a disability or supported a person with a disability. The summary also included a crosstab comparison of the general responses and responses of those with disabilities.

In addition to feedback through the survey, the City received specific comments from survey respondents and focus group members. Those comments will be incorporated with other comments received during the survey. Focus group members noted that they did see notices on social media.

The survey asked if and where any of the respondents experienced barriers to access. Of the seventeen respondents, four noted they experience barriers to access. Of these four, two noted they had a disability or supported a person with a disability. Sidewalk barriers and gaps in sidewalks were most often shown to be the barrier.

Others noted specific barriers as off-leash dogs within parks, heavy doors in the Mercerdale Park restrooms, and bus stops along West Mercer Way that are not easy to access, or inability to get to the Park-and-Ride by the Congregational Church on Island Crest Way (this requires walking up steep hills which is a challenge on snowy days).

Respondents also noted their top modes of travel were driving and walking. The survey was conducted during the pandemic and may have impacted responses; for example, transit ridership had declined, and some transit routes that were cut or eliminated during the pandemic have yet to return. Few (7%) indicated they rode transit.

The top response among those with disabilities or supporting a person with disabilities was a lack of ADA parking. The survey welcomed respondents to comment on up to three specific problem locations. A list of twenty-four issues reported in the survey is included in Attachment C. The top two issue types were sidewalk barriers/gaps and access within parks. Finally, the respondents were asked about their priorities for addressing ADA gaps and barriers. For the general respondents, the top two priorities identified were transit and retail areas. These were the same two top priorities for those within the crosstab of people with a disability or supporting someone with a disability.

The focus group and individual interviews provide an opportunity to ask for clarifications about barriers and issues noted in the survey.

Focus Group Meeting September 30, 2021, and Interviews

Using the Zoom virtual platform that included closed captioning, the project team and consultant conducted interviews and a facilitated focus group of Mercer Island residents and survey responders. All the respondents interviewed live on Mercer Island and have a disability or support a person with a disability. The focus group on September 30 was recorded only to confirm documentation. We are grateful to those volunteers that volunteered their time.

In addition to discussing the survey topline results and ADA plan process, the focus group mentioned several issues that are listed in Attachment C. Respondents were invited to describe other barriers observed and experienced on Mercer Island in the public right of way and to provide details on the barriers experienced. It was also asked if there was concurrence with the priorities noted in the survey by the general respondents and the crosstab group of those that either have a disability or support people with disabilities. The top two priorities mentioned were access to transit and access in retail areas. It is also notable that there was significant discussion related to parks, park access, and ADA parking, and ADA restroom access, specifically within or near parks. One of the top issues noted in the survey was missing and poorly maintained sidewalks. This was confirmed in the focus group – that in some areas, broken and uneven sidewalks in retail locations encourage the use of the smoother street. While the City does not maintain or operate traffic signals on Mercer Island, traffic signals were long and not pedestrian-friendly. Pedestrian phasing (either lead pedestrian intervals or pedestrian phase re-call) is desirable, especially near schools with more pedestrians. Many signals do not provide accommodations (buzz or beep) for those with disabilities. This is particularly an issue for pedestrian paths to transit.

Summary

Topline survey results are provided in **Attachment B** with a listing of issues at specific locations identified by the public provided in **Attachment C**. An overview of comments received during this outreach process fall into the following categories:

- Comments on issues within the public right of way
- Issues outside the purview of the ADA Transition Plan
- Priorities

Comments on issues in the public right of way

The table below notes the number of times different types of issues were mentioned in the online survey. Note that some issues fit more than one category (e.g., maintenance of sidewalks fits in both maintenance and sidewalk categories). Park access and sidewalks were mentioned most, which is consistent with what was noted in the focus group.

People noted broken, uneven sidewalks (like near the post office), missing links (like in neighborhoods), shoulders not clearly marked by use and inappropriately shared by bikes, cars, and pedestrians (like on West/East Mercer Way), and uneven gravel paths that parallel roadways and are intended for pedestrians (like near Luther Burbank Park).

Park access and lack of accessible parking near parks were noted. ADA accessible restrooms, gender-neutral restrooms to allow for support people to assist, restrooms that are easily accessible with doors that open easily were also noted. ADA accessible public restrooms near short-term accessible parking were noted as an idea to accommodate those traveling in retail areas. Inaccessible parking for on-street parking was also noted as being awkward for loading and deploying ramps for wheelchairs.

Comments related to access to and within buildings included providing push buttons for doors on the left and near the entrance, making sure public buildings like the police department office within City Hall and virtual public meetings can accommodate all disabilities, including providing closed captioning for all meetings, and not relying on phone technology for access. Information provided via the internet should meet ADA accessibility.

Design standards to meet ADA requirements are provided as minimums and should not restrict the City from considering exceeding minimums where viable, practicable, and beneficial for the public.

TABLE 1 – SUMMARY OF TYPES OF COMMENTS FROM THE SURVEY, MAPPING TOOL, AND FACEBOOK

	Sidewalks	Crosswalks	Signals	Curb ramps	Building Barriers	Barriers in parks	Transit Stop	Vehicle conflicts	Parking	Other
Online Survey Responses	9	3	0	0	3	9	1	5	4	7

Issues outside the purview of the ADA Transition Plan

Issues noted in the survey that may be passed on to other agencies included lack of access to programs (football games), recreational programs, or elevators in schools or other recreational facilities. Restrooms in private businesses were noted as substandard, with difficult doors to open, or not gender-neutral (to allow for a support person). Again, design standards of width should be considered minimums.

Priorities

The survey noted top priorities for ADA improvements as Transit and Retail areas and focus group members agreed. Notably, the survey identified numerous issues related to accessing the park. The focus group also discussed parks extensively.

ATTACHMENT A – SURVEY QUESTIONS

The following survey questions were provided online in English, Chinese, and Spanish.

1. Why do you travel on Mercer Island? (Live, work, school, appointments, etc.)
2. Please tell us about yourself. (Have a disability, support someone with a disability, have no disability, or prefer not to say.)
3. If you have a disability or disabilities; or if you support someone with a disability, please check all that apply (lists a range of disabilities)
4. What resources do you use to find information on ADA issues?
5. Please provide your five-digit zip code
6. How often do you travel on Mercer Island?
7. How do you travel within the City of Mercer Island? (Drive, walk, bike, roll, transit, etc.)
8. If you use transit, how often do you use it in a typical week?
9. Are you now, or were you ever unable to participate in an event or obtain services in the City of Mercer Island? (Y/N)
10. Which of the following physical barriers are/were reasons you are not/were not able to participate in events or access services in the City of Mercer Island?
11. What areas would be your priority in improving access to facilities?
12. What areas would be your second priority in improving access to facilities?
13. *Please list up to three locations where you have experienced (or noticed) mobility challenges, accessibility challenges, trip hazards, etc., in the City of Mercer Island. *For these open-ended questions, please provide the location/s where you have experienced challenges with pedestrian facilities as well as a description of the problem/s you encountered. For example, Location: sidewalks on SE 40th St @ Island Crest Way. Description: Sidewalk is raised, creating a trip hazard
14. What is your age? (optional)
15. How do you identify yourself? (optional)
16. Are you of Spanish, Hispanic, or Latino origin or descent? (optional)
17. Would you be willing to participate in a focus group or individual interview? (Following all COVID-19 safety protocols)

ATTACHMENT B – SURVEY TOPLINE RESULTS



ADA Transition Plan Update Survey Top Line Results

On-Line Survey
thru September 14, 2021
UPDATED October 14, 2021

Transpo Group/Acutanza STS

1

About Transition Plans

- Addresses deficiencies to improve mobility
 - public right-of-way including sidewalks, crosswalks, curb ramps, signals, transit stops
 - Access and areas within buildings and parks open to the public
- Focused on providing access to resources and services
- Addressing barriers in public right of way & public buildings
- What is included – sidewalks and roadways especially those that access public services and facilities
- What is not included – facilities managed by others such as schools, churches, private retailers
- Next Steps toward the end

2

Outreach

- Survey open July 4 – September 14
- Survey Promotion
 - Advertised on Website & Online Open House
 - Promoted through Social Media Channels
 - Article in the Mercer Island Reporter
 - Translation included Spanish Chinese
- Focus Group Explores
 - Where are there barriers
 - What types of facilities are priorities (where would you invest)
 - Which locations are priorities?

3

Survey Summary

1. Respondents and demographics
2. Issue areas
3. Priorities

4

1. Demographics and Respondents

- 17 full responses
- Most live on Mercer Island with one off Island response
- Many also shop, recreate and have medical appointments in Mercer Island
- Highest sources for information was City then State, DSHS and Transit Agencies
- Top two modes are drive and walk, few are regular transit users
- Most respondents in the 45-55 Age

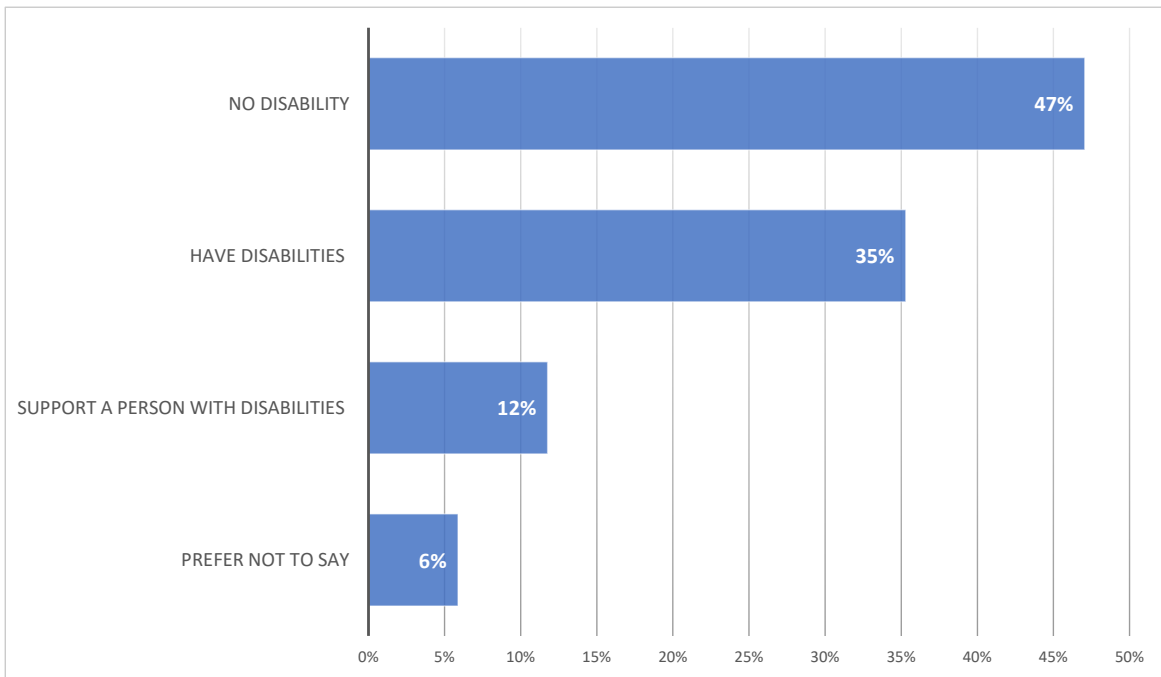
5

Demographics / Respondents

- Most white
- No Spanish/Chinese responses
- Respondents (6% prefer not to say)
 - 35% Report they have a disability
 - 12% Report they support someone with a disability
 - 47% Report they are not disabled
- Greatest portion had a condition that substantially limits one or more physical activities such as walking, climbing stairs, reaching, lifting, or carrying. Next is those with wheelchairs.

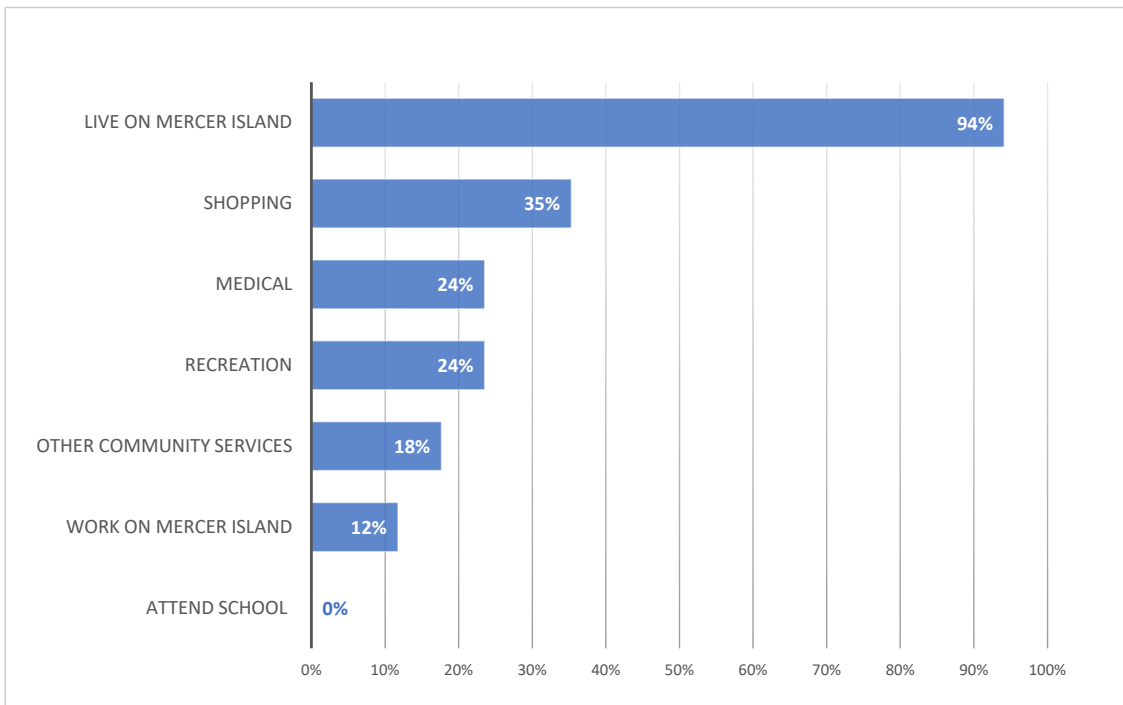
6

Please tell us about yourself



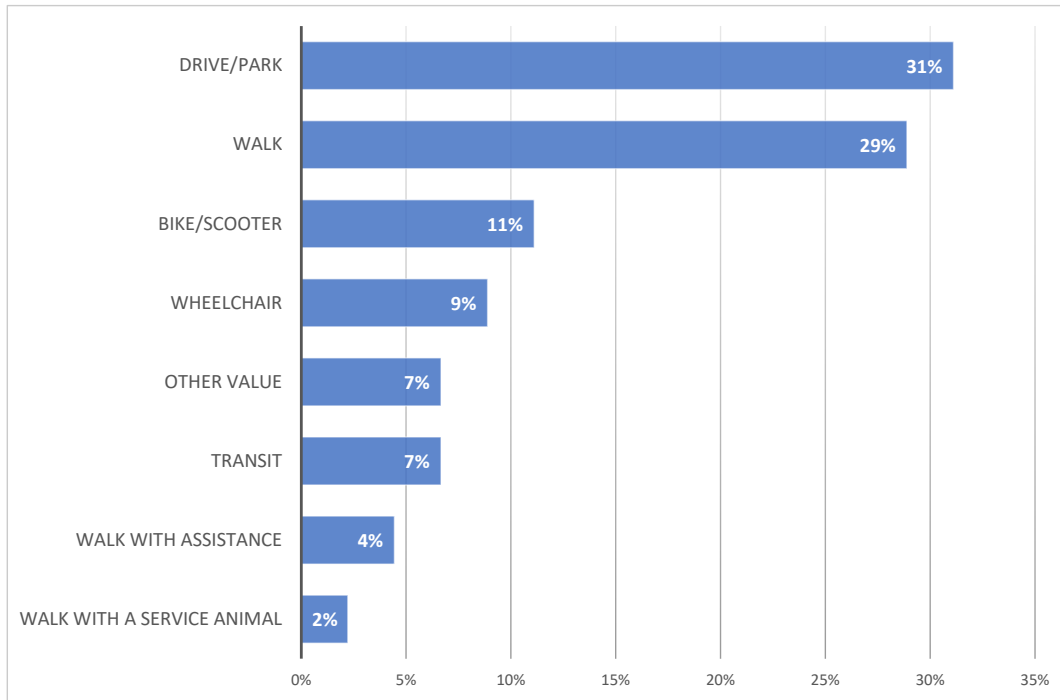
Why are you traveling on Mercer Island

(Choose all that apply)



8

How do you travel within the Mercer Island?



2. Issues identified in the survey

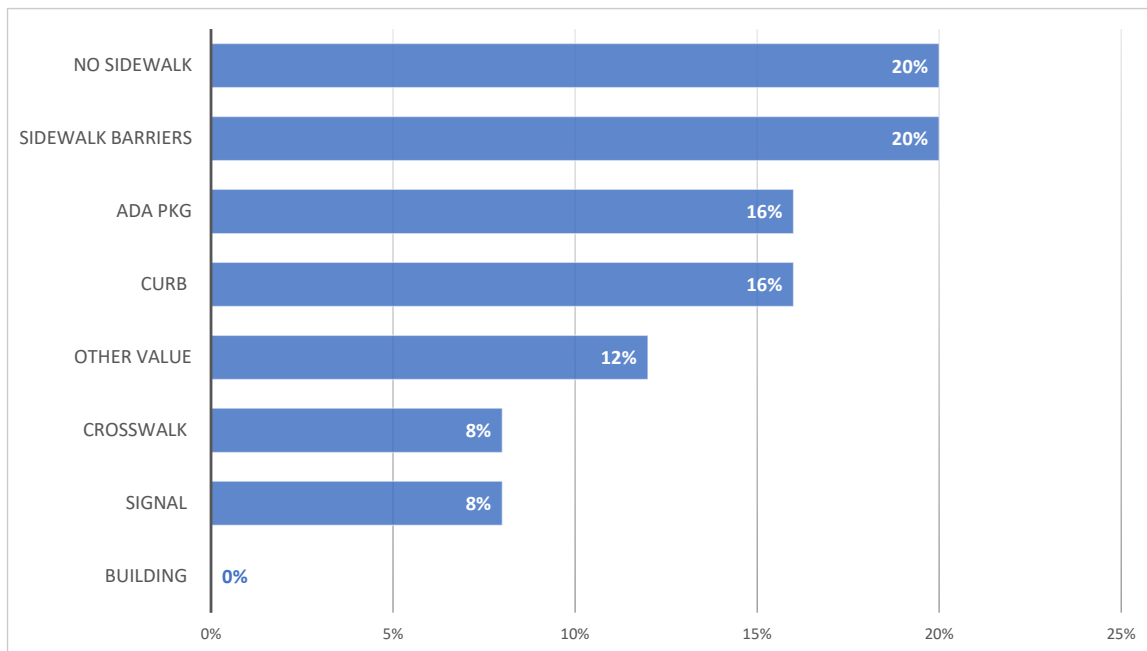
10

Issues Identified

- 4 indicated they have experienced barriers to access. Of these, 2 have a disability or support a person with a disability.
- 24 locations were reported by members of the public using the survey. No locations were reported using the on-line mapping tool
- Of the issues reported:
 - Sidewalks and ADA parking were identified most
 - Lack of facility accommodations were also noted
 - Lack of accessible spaces
- 7 People noted they would be willing to support a focus group. Of these, three have a disability or support a person with a disability

11

Types of Barriers noted



Specific other reasons people indicated they could not participate

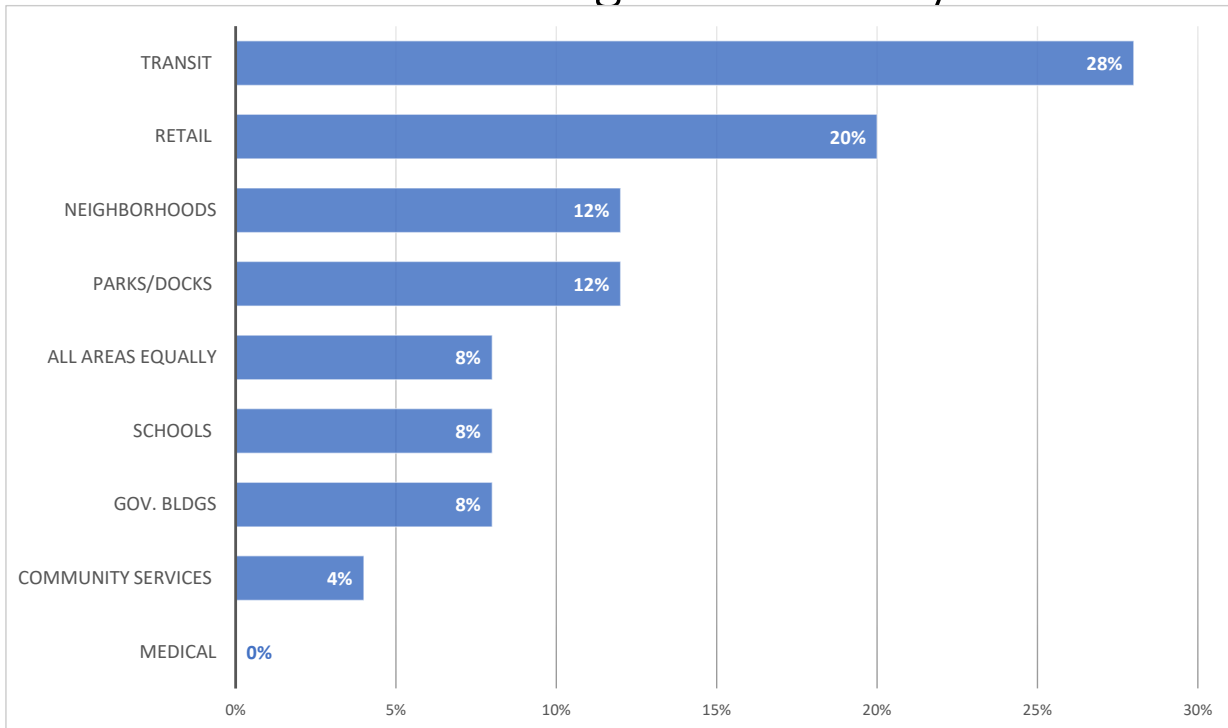
- Off leash dogs in parks
- Former neighbor unable to open door at Mercerdale Park restroom due to weight of door
- All bus stops on W. Mercer Way removed - can't get to P&R easily without walking up steep hill (slippery on icy days) to P&R by Congregational church on Island Crest Way

Types of Issues Noted

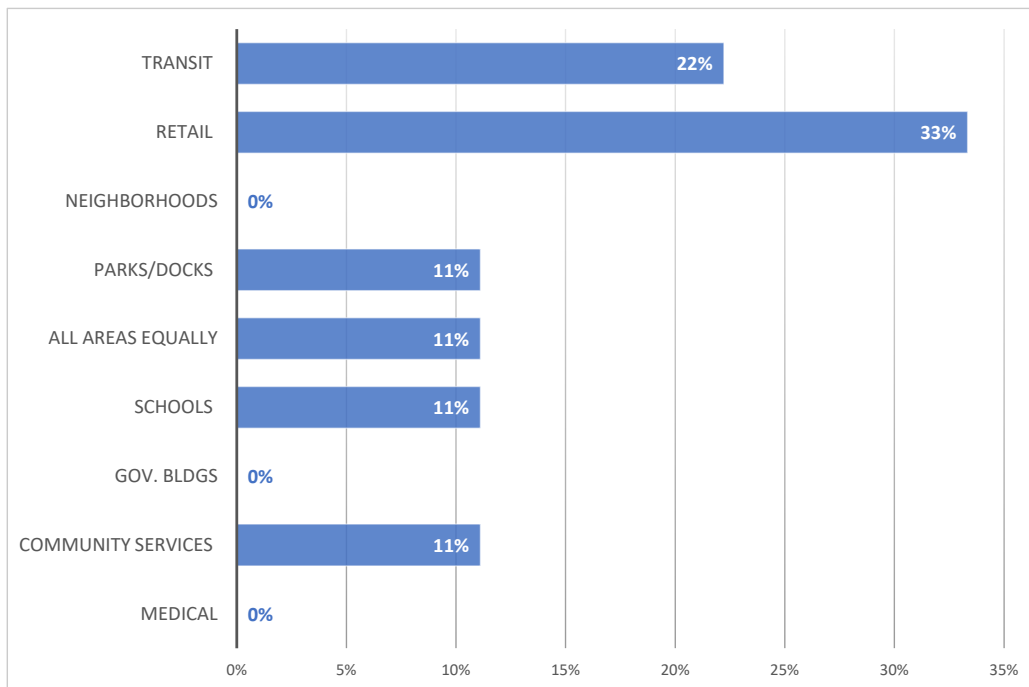
- Most noted sidewalks and issues in parks
- Vehicles in crosswalks/sidewalks/pedestrian shoulders
- Wide streets that impact crossing and encourage speeding
- Lack of ADA parking

3. Priorities

What locations/areas were noted as priority destinations from the general survey



What locations/areas were noted as priority destinations for those supporting or with a disability



Cross-Tab with those with Disabilities or Supporting someone with a Disability

- Lack of ADA parking was identified as the highest barrier to access as compared to a lack of sidewalk in the larger sample
- Access to Retail and Transit were ranked as the highest priorities
- Lack of parking was noted as the top barrier in this cross-tab in comparison to sidewalks noted in the overall
- Parks, parking, and limitations on resources (access to lift/elevator in school), lack of disability areas or resources were also noted as barriers

18

ATTACHMENT C – ISSUES IDENTIFIED THROUGH THE SURVEY, MAPPING TOOL, AND FOCUS GROUP/INTERVIEWS

Survey Comments

Location	Comment	Sidewalks	Crosswalks	Signals	Curb ramps	Building Barriers	Barriers in parks	Transit Stop	Vehicle conflicts	Parking	Other
South Mercer Playfields Playground	Barrier to entering the playground.						1				1
Pioneer Park	I like to "walk" in the park, but off-leash dogs jump on my chair and scare me.						1				1
The sidewalk on 40th in front of Homestead field	Cars park on the sidewalk blocking access in the bus pullout area. Please ticket these vehicles and place no parking on sidewalk signage.	1					1		1		
Mercer Island	Sidewalks are missing or damaged - e.g., cracks, discontinuities, etc.	1									
Lack of crosswalk on 76th Avenue in front of Aljoja	This is a very dangerous situation that should have been remedied shortly after the facility was built. Additionally, there is no wheelchair ramp at the curbside parking in front of the building.		1								
Sidewalks on 77th and 78th in the downtown core.	Uneven or crumbling sidewalks that challenge wheelchair mobility. Ambulatory people can simply step over these obstacles or use the roadway if necessary. A wheelchair cannot avoid these impediments, especially around tree roots affecting sidewalks.	1									
Mary Wayte pool	No changing room and shower for disabled teens/adults. No place to watch swimming other than upstairs bleachers. No water activities for disabled children with mobility issues.						1				1

Location	Comment	Sidewalks	Crosswalks	Signals	Curb ramps	Building Barriers	Barriers in parks	Transit Stop	Vehicle conflicts	Parking	Other
Sidewalks along Island Crest Way North of 40th St	These sidewalks are very narrow, uncomfortably close to the roadway, and have occasional trip hazards	1									
SE 82nd St to West Mercer Way to Merrimount Dr., to SE 40th St	No bus stops (all removed), No place to park cars along W. Mercer Way when neighborhood roads are too icy and steep, and too many cars (growth of more homes with no improvement to infrastructure to handle the growth on icy, snowy days). Construction trucks blocking roads and workers littering roads.	1						1			
Sidewalks in downtown		1									
77th Avenue SE in Town Center	Street and street lanes are too wide for safe crossing, especially for older residents and residents with young children. Center lane needs to be removed. As a resident over seventy, Town Center is a very dangerous place to walk.		1						1		
South end	Lack of sidewalks or unlevelled or narrow sidewalks	1									
Wheelchair lift at Mercer Island High School	When I was an MIHS student and in a wheelchair, I was not allowed to use the wheelchair lift. It may have been broken, or they might not have wanted to bother helping me.					1					1
Luther Burbank Park	Numerous issues						1				1
Gravel path on 84th from 36th Street to Upper Luther Burbank open space	Please put No parking signs. Cars park on path forcing peds/bikes into middle of road.	1					1		1	1	
Aljoia and The Mercer Apartment complex	Lack of wheelchair ramp to back parking area behind Aljoia and The Mercer Apartment complex					1				1	

Location	Comment	Sidewalks	Crosswalks	Signals	Curb ramps	Building Barriers	Barriers in parks	Transit Stop	Vehicle conflicts	Parking	Other
7605 SE 27th St, Mercer Island	My wheelchair van requires I load/unload on the right side. The single disabled parking stall requires my driver to back in, so my ramp opens up on the large cement sidewalk in front of Hair Excel. Parking straight-in does not provide enough space for my ramp to extend and my chair to not contact a car parked adjacent.									1	
High school sports field/stadium	No disabled family area to watch football game and other sports.						1				1
W Mercer Way & 78th Ave SE	Motorcycles and bikers obstruct W Mercer Way. This is a narrow road with many blind curving spots. Bikers ride side-by-side, causing vehicles to bypass into oncoming lane and blind curves. Motorcycle cross into on-coming lane to bypass vehicles, forcing vehicle into narrow pedestrian shoulder.	1							1		1
SE 27th Street in Town Center	Street and street lanes are too wide for safe crossing, especially for older residents and residents with young children. This encourages traffic to go too fast on this street, making it very dangerous for residents of all ages. Center lane needs to be removed.		1						1		
Town center	Need a few more handicapped spaces on city streets									1	
Deane's Children's Park	Numerous Issues						1				
Mercerdale Park restrooms	Door is too heavy for a person with disabilities to open. Please lighten the weight of the door.					1	1				
Totals		9	3	0	0	3	9	1	5	4	7

Focus Group/Interview Questions

General and Specific Location Comments

While most attendees responded to the survey, they reiterated some of the same comments raised in the survey. Group members suggested that to understand disability issues better, administrators and planners at the City should experience spending time in wheelchairs and attempting to use the transportation system. Comments raised by focus group members are noted below:

GENERAL COMMENTS

Sidewalks and Curb Ramps – When designing sidewalks and curb ramps, consider exceeding the minimum standards. Designers should consider that in many cases, people may be walking with a partner. Design standards are prescribed as "minimums," so consider the benefits of increasing widths when and where it could be beneficial.

ADA Restrooms – Public and private restrooms should be upgraded and modified to meet standards and be made large enough to accommodate a personal assistant. Gender-neutral bathrooms can accommodate people assisting. When bathrooms are updated, they should be upgraded throughout to meet ADA standards. Bathroom doors should be easy (not heavy) to open, and doorknobs should be up to code.

Quality of Sidewalks/Walkways – Small bumps in the sidewalk may meet design tolerances but, if possible, should be reduced or eliminated. Small bumps can be difficult and painful (for example, in a wheelchair) to navigate for some. These bumps may be in doorway frames or part of broken/bumpy sidewalks. Cracks and holes (like holes for utilities) in sidewalks need to be filled. Steep slopes and uneven sidewalks are very difficult to maneuver for people using crutches.

Shared use of spaces for pedestrians – There are "tensions" in pathways where parking occurs in the same space where pedestrians and cyclists are expected to travel. These may appear to be shoulders like on Island Crest Way, where roadway shoulders are expected to be used for parking, biking, and walking. Areas are not well marked to restrict parking, and vehicles use the path/space that pedestrians and cyclists are expected to use. Some gravel paths may provide a walkway near roadways where sidewalks adjacent to streets are not provided. Gravel pathways may be bumpy, uneven, and less desirable, especially for those using wheels and as a result, vulnerable pedestrians may choose the roadway.

Design Standards – While design standards are evolving and are helpful in specifically setting minimum design widths, it should not limit providing greater/wider facilities. For example, if the width of a restroom is prescribed in design standards, it should not restrict providing wider facilities if opportunities present themselves. This may be considered in the future development of the **Aubrey Davis Park** restrooms. Similarly, the City could exceed recommendations/standards for accessible on street parking.

How is Maximum Extent Feasible applied – How is the City addressing intersections where existing grade makes it challenging to meet full ADAAG for pedestrians (for example SE 40th Street at 86th Ave SE)

ADA Restrooms/Parking – It would be good to publish or make available a map of ADA-accessible restrooms and ADA parking.

ADA Accommodation at Signals – While the City does not own or operate the signals on the Island, they should be upgraded to include accommodations for those with disabilities, including buzzing, beeping when push buttons are used. Signals should be timed to accommodate long pedestrian crossing times specifically adjacent to high pedestrian destinations like transit. Consider downtown intersections, City Hall Area, Island Crest Way and SE 40th Street.

SPECIFIC ISSUES RELATED TO BUILDINGS & PARKS/ADA ACCESS

Mercedale Park. The restroom doors at Mercedale Park are difficult to open, especially for those with disabilities.

ADA parking related to restrooms, parks, and retail buildings – There is a lack of ADA parking at parks like **Pioneer Park** and adjacent to retail areas, specifically the recycle center near **Mercedale Park**.

City Center ADA Parking – More accessible parking spaces in town city center are needed specifically streets off Island Crest Way in City Center (27th and 28th)

Pioneer Park Parking/ADA Restrooms - Time-limited ADA parking adjacent to gender-neutral restrooms that can accommodate wheelchairs and a support person would be welcome. This could serve many with disabilities that may need restroom relief.

Pioneer Park is an especially desirable park for those with disabilities, as it provides smooth and level trails. Parking and access to this park are inconvenient. If people park across the street, there are limited and inconvenient areas to cross the streets to access the park. Protected mid-block (signal-controlled) crossings would be desirable.

76th Avenue SE at SE 27th Street ADA Parking Challenges – The ADA stall serving this retail area is not wide enough to deploy a wheelchair ramp from the passenger side. From the right passenger side, deploying a ramp could hit cars in the adjacent space. A driver currently needs to back the vehicle into the space so the passenger can deploy the ramp, and it currently loads onto the sidewalk.

Police Department Building Access – Access to buildings and City services should ensure full access for all. In the past, the secured police area of city hall was only accessible by using a phone on the wall, which is not accessible for those with hearing issues. It was also noted that the phone was located at a height that may not have been reachable to all. We will need to confirm if this issue has been resolved.

Access to captioning for City programs – Closed captioning should be provided automatically for all virtual public meetings. To date, captioning has been inconsistent. The pandemic and reliance on virtual meetings exacerbate this issue. Web sites should also be tested for accessibility.

Mercer Island Community Center – The door for access on the central plaza has an inconvenient pushbutton causing users to circulate after pushing the button. The button is on the right but opens into the user. Can it be located left of the door as you enter?

Parks and Leash Laws – Unleashed dogs in parks requiring leashes are not often enforced. Loose dogs can be an impediment or even a threat for all that walk/bike/roll in Mercer Island's parks. There may be opportunities for educational outreach.

SPECIFIC LOCATIONS RELATED TO PUBLIC RIGHT OF WAY
(SIDEWALKS, CROSSWALKS, CURB AND SIGNALS)

Intersection Conflicts Near Schools – Some signal-controlled intersections where there are right-turning vehicles during the green phase have conflicts with pedestrians. Leading pedestrian intervals may help to better accommodate pedestrians. Specifically, **SE 40th Street at 86th Avenue SE and SE 40th Street at Island Crest Way** have pedestrian conflicts vehicles. Schools have used bus routings to reduce pedestrian/school travel through the intersection of **SE 40th Street at Island Crest Way**. It might help to provide a gap or return interval for pedestrians. **SE 40th at Island Crest Way** has a long cycle time, increasing wait times for pedestrians if they miss the ped call. More sidewalks are needed to complete all gaps in town center and along Island Crest Way.

Residential Areas without Sidewalks – While many residential areas do not include sidewalks, it is good that sidewalks are provided near and leading to schools.

Bus stop issues – When service returns to normal and as part of ST planning how will the system meet accessibility? There are already access issues for bus stops for the 204 and 630 Metro routes.

Presbyterian Church Park and Ride – There is no accessible path from the parking lot to Island Crest Way boarding area.

North Mercer Way – Consider crossing times and accessible signals surrounding the Park and Ride.

Island Crest Way – Widen Skinny sidewalks along Island Crest Way.

78th SW near the Post Office – Tree roots have broken up the sidewalk and make it difficult to walk or roll. Pedestrians may opt to walk in the road to avoid the cracked sidewalks, which is not an option for those in wheelchairs.

70th Avenue SE at West Mercer Way – Parking impacts pedestrian facilities. It would help to post signs for no parking or note shoulder use for bikes and peds on East Mercer Way and West Mercer Way.

84th Avenue Gravel Shoulder/West Side East Mercer Way – Near Luther Burbank Park, there is a gravel path that is not smooth but is intended for sidewalks for pedestrians. It is often used for vehicle parking. Also, the path should be used instead of the roadway on the curved path parallel to S. 84th Ave SE. Signs should be installed to direct people to the path, which is safer.

68th Ave at QFC/Starbucks Entrance – There is no marked crosswalk that connects from the sidewalk to the trail connection into Pioneer Park.

Comments That May Not Be Addressed by the Plan

Access to schools – While only partially covered by this plan, it was noted that access to schools and around schools seems good. The ADA Plan would include public right-of-way sidewalks and intersections access to the school.

Covenant Church on 78th Ave SE – A tree grate near the church has been removed and should be replaced as it is a tripping hazard.

Consider overlap with other jurisdictions – Share feedback and consider overlap on facilities that are developed by others like Sound Transit, Metro, and other providers.

Private Development – Consider encouraging private retail developers to come up to code to meet accessibility requirements. Like City standards, encourage retailers and developers to “exceed” standards for restroom stall size and ADA parking.

ATTACHMENT D – FOCUS GROUP GUIDE

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City of Mercer Island

Focus Group Facilitation Guide

City of Mercer Island ADA Transition Plan Focus Group

Date: September 30, 2021

Location: – Virtual via Zoom

Purpose and Goals

Gain deeper insight on ADA issues at public facilities and within the Public Right of Way from City of Mercer Island volunteers and expand on priorities and issues identified in the online survey.

The meeting(s) will be held via zoom or conducted as an individual interview by phone.

Recruiting Members

City will recruit from survey respondents and potential other interested parties. Based on the survey, eight people have volunteered to participate in a focus group. City will provide accommodations requested including alternative formats, sign language interpreters and support notetaking.

Agenda and Welcome

- **Welcome and acknowledge/thank participants and provide brief purpose of meeting– Lia Klein (5 - 10 Minutes)**
- **Introductions – All (5 minutes)**
- **Ground Rules – Jeanne (5 Minutes)**
- **Discussion of the outreach results and Description ADA Transition Planning (via PowerPoint) – Patrick (10 Minutes)**
- **Workshop – Jeanne and all (up to 60 minutes)**
- **In depth discussion and concurrence on top barriers and priorities.**
- **Next Steps**

Lia

Welcome and Purpose

Today we are going to take a deeper dive with all of you on different aspects of accessibility including different locations and types of issues. We want to ask you more about your experiences to explore specific issues and priorities identified in the online survey and open house.

Introductions:

Please take a few minutes to tell us about yourself and why you are here today. What is your interest in this project?

Jeanne

Ground Rules:

We will be using Closed Captioning through zoom. If you need us to slow down, please raise your hand. Also please stop us if there if you need clarifications. As noted, we are recording the meeting to support meeting notes. This recording will not be saved after we summarize the results. We can provide a

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summary to you for review if you like. We may also reach out to other stakeholders to support this outreach.

Any questions?

We have planned this focus group to last an hour and a half to two hours. During this time, we have several questions that we would like to cover. We want everyone to take part in the discussion; however, you do not have to respond to every question. Also, feel free to respond to what others are saying—whether you agree or disagree. If you have been speaking a lot, wait a bit before speaking again to allow others a turn. We are genuinely interested in your experiences with barriers to pedestrian access and access to public facilities; therefore, there are no right or wrong answers. If time begins to run short, it may be necessary to interrupt you in order to complete the questions or move to the next discussion.

We will be using some limited graphical materials and a PowerPoint which you have received. We will do our best to describe them, but please feel free to ask questions.

We will treat your answers as confidential. We will not ask for personally identifiable information. While we may use names during this discussion, we will replace names in the transcript after our discussion. We also will not include your names or other personally identifiable information in any reports we write. We ask that each of you respect the privacy of everyone on this call and not share or repeat what is said here in any way that could identify anyone in this room. We would like to see you and have you see us. If you can leave your camera on, that would be helpful.

Please feel free to take a break as you need to. We can take a break if we need to roughly at the ½ hour mark.

Patrick

[About Transition Plans](#)

The Transition Plan addresses potential deficiencies to improve mobility in the public right of way including access issues along sidewalks, curb ramps, signals, and transit stops within and adjacent to public roadways and access to services at public buildings and parks.

For the Mercer Island, this plan is focused on providing access to resources and services (like Government Buildings or Community Services) and specifically barriers in the public right of way (mostly within pedestrian facilities) that impede access or the features within public buildings like door operations and access or accessibility at parks like water fountains.

Barriers can be temporary like maintenance issues or due to gaps or missing infrastructure.

A transition plan will be developed after completing an inventory of facilities, this public outreach process and a review of the City's current processes for improving facilities. This plan will outline a strategy for making improvements considering several factors such as the extent of deficiencies, identified needs, proximity to certain facilities, requests and complaints by the community, available budget, and a realistic schedule. This focus group will be an in-depth discussion. Please use the raise your hand feature at any time if you would like us to repeat anything or to ask questions. We will also monitor the chat box for your questions and comments.

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Outreach Efforts and Summary to Date

Online open house and City "Let's Talk" promoted a survey open from July 4 thru Sept 14. We promoted the survey as follows:

- Advertised on Website & Online Open House
- Promoted through Social Media Channels
- Article in the Mercer Island Reporter
- Translation included Spanish Chinese

Now we are seeking deeper feedback through this Focus Group which explores

- Where are the barriers?
- What types of facilities are priorities (where would you invest)?
- Which locations are priorities?

Jeanne

Materials

We will use this PowerPoint to help facilitate discussions.

- Power point presentation of the outreach to date (We will read every slide and provide in an accessible PDF format)

We will clarify the types of facilities covered by this plan (for example not schools but sidewalks near schools). We will spend our time considering the types of issues that people have raised and the impact those issues have on accessing facilities that provide public and community services. Specifically, these services include schools and institutions, parks, government buildings that provide access to community service, other government buildings and transit.

We should note that there were a relatively small number of respondents but almost half with disabilities or that support those with disabilities. This is why your responses are also important input. Four noted that barriers impact how they travel or access services and facilities.

Series 1 –Let's talk about issues and barriers to access - 15-20 minutes

Facilitator Narrative:

First any surprises from the survey?

Let's talk about the issues to barriers that have been raised to date. (Review barrier types people have mentioned – broken sidewalks, maintenance, lack of crosswalks)

Questions:

Concerns we have heard about:

- Most were related to missing, uneven, or unmaintained sidewalks or barriers like parked cars in sidewalks
- Other issues noted were crosswalks and crossing streets that are too wide or encourage speeding.
- Some were related to doors and access to buildings.

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<ul style="list-style-type: none"> • For those with disabilities/supporting a person with disabilities, lack of parking was noted. • A few were related to the types of programs provided or at facilities the City is not responsible for. We will pass those comments on. <p>What other issues and concerns do you experience when traveling to public facilities, buildings with community services and within the public right of way? How do these barriers impact your travel?</p>
<p>Additional probing questions for respondents.</p> <ul style="list-style-type: none"> - Which of these barriers do you experience? - How are they problematic? How often do you experience them and how much does it impact your travel? - Were you surprised at the different perspectives between those with disabilities and those without as far as barriers? - Do different people experience these barriers differently? - Is this a priority or severity of one or some of these issues as compared to others?
<p>NOTES:</p>
<p>Series 2 –Let’s talk about locations where access is most important 15-20 minutes</p>
<p>Facilitator Narrative:</p> <p>Let’s talk about locations, and specifically services and resources where there may be barriers to access. Notably from the survey, transit and government buildings that provide public services were most identified as priorities for having good access. For those who indicated they have a disability, access to parking and lack of ADA specific parking where noted.</p>
<p>Questions:</p> <p>Were you surprised at the difference between perspectives for those with disabilities as compared to those supporting people or without disabilities?</p> <p>How many use transit frequently? Where? What kinds of barriers do you observe near transit facilities on Mercer Island?</p> <p>What other issues and concerns do you experience?</p>
<p>Additional probing questions.</p> <ul style="list-style-type: none"> - Are there barriers or access issues for accessing parks, using docks? Where are they? - Which parks, schools, community services and institutions are problems to access? - Which buildings have challenges (e.g., stairways, doorways, fountains etc.)?
<p>NOTES:</p>

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Series 3—Let’s talk about priorities 15-20 minutes
<p>Facilitator Narrative: Part of our task in developing the ADA transition plan will be to identify what to fix first with limited resources? It is likely our needs will outweigh our resources. Where would you invest?</p>
<p>Questions: First what types of issues are most important to fix?</p> <ul style="list-style-type: none"> • Fixing facilities Completing sidewalks • Improve Crosswalks • Enhance Safety • Curb Ramps • Pathways serving Transit • Signal Timings, signal improvements and crosswalks • Doorway access • Accommodations at meetings • Other fixed facilities in buildings missing ramps/stairs/doors/water fountains <p>Where should we focus our energy?</p> <ul style="list-style-type: none"> • Government Buildings that provide community services • City Parks/docks/trails • Downtown urban areas • Residential neighborhoods • Accessing transit • Other locations • All areas equally <p>Which is your highest priority and why?</p>
<p>NOTES:</p>

Appendix F - Cost Estimate Backup



Planning Level Cost Estimate - Right-of-Way

PROJECT NAME: Mercer Island ADA Transition Plan
 TG PROJECT NUMBER: 1.21012.00

NOTE: This cost estimate is planning level in nature. It should be considered preliminary and for planning purposes only. It specifically excludes structural impacts to buildings and parking structures, inflation, and sales tax. Potential items such as retaining walls, earthwork, etc., are assumed to be included in the planning level estimate contingency unless otherwise indicated.

When features require multiple improvements, the cost of the smaller component is included in the larger task. (i.e. detectable warning surface is included with curb ramp reconstruction.)

Item No.	ADA Deficiency	Improvement Type	Quantity	Unit	Unit Price	Total Price
Sidewalk Improvements						
1	Non-compliant sidewalk (width, condition, slope, etc.)	Reconstruct existing sidewalk/paved shoulder walkway	56,005	SY	\$ 145	\$ 8,121,000
2	Non-compliant driveway (slope, grade break, etc.)	New driveway with sidewalk	326	EA	\$ 2,900	\$ 946,000
Subtotal						\$ 9,067,000

Maintenance/Miscellaneous						
3	Non-compliant vertical discontinuity (>1/4in - <=1/2in w/out bevel)	Sidewalk grinding (5 LF of sidewalk).	349	EA	\$ 250	\$ 88,000
4	Non-compliant vertical discontinuity (>1/2in)	Replace two adjacent sidewalk panels (5ft x 5ft panels)	170	EA	\$ 806	\$ 137,000
5	Non-compliant horizontal discontinuity	Sidewalk crack sealing/grouting (5LF per occurrence)	9,375	LF	\$ 5	\$ 47,000
6	Fixed Obstacles	Relocation of obstacles including utility pole, mailbox, tree trunk, etc.	500	EA	\$ 3,000	\$ 1,500,000
7	Moveable Obstacles	Relocation of obstacles including tree/bush (prunable), message boards, parked cars, etc.	97	EA	\$ 200	\$ 20,000
8	Protruding Obstacles	Relocation of obstacles including of bush/tree, signs, awnings etc.	516	EA	\$ 500	\$ 258,000
Subtotal						\$ 2,050,000

Curb Ramp Improvements						
9	Missing curb ramps	Install new curb ramp.	105	EA	\$ 6,000	\$ 630,000
10	Non-compliant ramp (running slope, cross slope, ramp width, flare slope, lip, grade break, etc.)	Remove and reconstruct existing ramp.	600	EA	\$ 6,000	\$ 3,600,000
11	Curb ramps without detectable warning surface (DWS), non-compliant DWS placement, non-compliant DWS depth, or non-compliant DWS Width	Install/replace detectable warning surface.	9	EA	\$ 1,030	\$ 10,000
Subtotal						\$ 4,240,000

Pushbutton Improvements						
12	Non-APS pushbutton and pushbutton is located incorrectly.	Install new APS pushbutton AND Install new pole.	72	EA	\$ 5,900	\$ 425,000
13	APS pushbutton that has non-compliant dimensions and/or programming and located incorrectly.	Reprogram pushbutton, reorient pushbutton, and/or install tactile arrow AND Install new pole and relocate pushbutton.	8	EA	\$ 3,700	\$ 30,000
14	APS pushbutton located incorrectly.	Install new pole and relocate pushbutton.	3	EA	\$ 3,500	\$ 11,000

15	APS pushbutton that has non-compliant dimensions and/or programming	Reprogram pushbutton, reorient pushbutton, and/or install tactile arrow.	1	EA	\$ 200	\$ 1,000
					Subtotal	\$ 467,000
Bus Stop Improvements						
16	Non-compliant bus shelter turning space cross slope	Replace bus shelter pad (7.5 SY per occurrence).	23	SY	\$ 180	\$5,000
17	Non-compliant bus stop boarding area (running slope, cross slope, size, and/or condition)	Replace/construct boarding area (8ftx5ft) and two transition panels (5ftx5ft) - 10 SY per occurrence.	1,240	SY	\$ 145	\$180,000
					Subtotal	\$ 185,000
Accessible Parking Improvements						
18	Non-compliant parking stall/parking aisle slope.	Grind surface and/or add asphalt lift.	5	EA	\$ 2,000	\$10,000
19	Non-compliant accessible parking stall/parking aisle width or pavement marking.	Install parking stall accessible symbol/aisle pavement markings or resize and restripe stall/aisle.	2	EA	\$ 200	\$1,000
20	Non-compliant sign height or no sign indicating accessible stall.	Install new sign or adjust existing sign.	0	EA	\$ 100	\$0
					Subtotal	\$ 11,000
					Total	\$ 16,020,000
					Contingency @ 20%	\$ 3,204,000
					Design @ 12%	\$ 1,923,000
					Mobilization @ 8%	\$ 1,282,000
					TESC + Traffic Control @ 12%	\$ 1,923,000
					Construction Management @ 20%	\$ 3,204,000
					Right-of-Way @ 20%	\$ 3,204,000
					Grand Total 2021 Dollars	\$ 30,760,000



Planning Level Cost Estimate - Parks

PROJECT NAME: Mercer Island ADA Transition Plan

TG PROJECT NUMBER: 1.21012.00

NOTE: This cost estimate is planning level in nature. It should be considered preliminary and for planning purposes only. It specifically excludes structural impacts to buildings and parking structures, inflation, and sales tax. Potential items such as retaining walls, earthwork, etc., are assumed to be included in the planning level estimate contingency unless otherwise indicated.

When features require multiple improvements, the cost of the smaller component is included in the larger task. (i.e. detectable warning surface is included with curb ramp reconstruction.)

Item No.	ADA Deficiency	Improvement Type	Quantity	Unit	Unit Price	Total Price
Sidewalk Improvements						
1	Non-compliant sidewalk (width, condition, slope, etc.)	Reconstruct existing sidewalk/paved shoulder walkway	22,035	SY	\$ 145	\$ 3,196,000
Subtotal						\$ 3,196,000
Maintenance/Miscellaneous						
2	Non-compliant vertical discontinuity (>1/4in - <=1/2in w/out bevel)	Sidewalk grinding (5 LF of sidewalk).	105	EA	\$ 250	\$ 27,000
3	Non-compliant vertical discontinuity (>1/2in)	Replace two adjacent sidewalk panels (5ft x 5ft panels)	70	EA	\$ 806	\$ 57,000
4	Non-compliant horizontal discontinuity	Sidewalk crack sealing/grouting (5LF per occurrence)	1,605	LF	\$ 5	\$ 9,000
5	Fixed Obstacles	Relocation of obstacles including utility pole, mailbox, tree trunk, etc.	35	EA	\$ 3,000	\$ 105,000
6	Moveable Obstacles	Relocation of obstacles including tree/bush (prunable), message boards, parked cars, etc.	18	EA	\$ 200	\$ 4,000
7	Protruding Obstacles	Relocation of obstacles including of bush/tree, signs, awnings etc.	88	EA	\$ 500	\$ 44,000
Subtotal						\$ 246,000
Curb Ramp Improvements						
8	Missing curb ramps	Install new curb ramp.	12	EA	\$ 6,000	\$ 72,000
9	Non-compliant ramp (running slope, cross slope, ramp width, flare slope, lip, grade break, etc.)	Remove and reconstruct existing ramp.	49	EA	\$ 6,000	\$ 294,000
10	Curb ramps without detectable warning surface (DWS), non-compliant DWS placement, non-compliant DWS depth, or non-compliant DWS Width	Install/replace detectable warning surface.	1	EA	\$ 1,030	\$ 2,000
Subtotal						\$ 368,000
Staircase Improvements						
11	Non-compliant staircase (riser, tread, slope, etc.)	Replace concrete staircase (per 1ft width of step).	366	LF	\$ 100	\$37,000
12	Non-compliant handrail or missing handrail (height, diameter, extensions, etc.)	Replace handrail.	571	LF	\$ 150	\$86,000
Subtotal						\$ 123,000
Wheelchair Ramp Improvements						
13	Non-compliant ramp (width, slope, landing, etc.)	Replace ramp	114	SY	\$ 190	\$22,000
14	Non-compliant handrail (height, diameter, extensions, etc.) or missing handrail	Replace handrail	260	LF	\$ 150	\$39,000
Subtotal						\$ 61,000
Accessible Parking Improvements						
15	Non-compliant parking stall/parking aisle slope.	Grind surface and/or add asphalt lift.	95	EA	\$ 2,000	\$190,000
16	Non-compliant accessible parking stall/parking aisle width or pavement marking.	Install parking stall accessible symbol/aisle pavement markings or resize and restripe stall/aisle.	23	EA	\$ 200	\$5,000

17	Non-compliant sign height or no sign indicating accessible stall.	Install new sign or adjust existing sign.	32	EA	\$ 100	\$4,000
						Subtotal \$ 199,000
						Total \$ 4,193,000
						Contingency @ 20% \$ 839,000
						Design @ 12% \$ 504,000
						Mobilization @ 8% \$ 336,000
						TESC + Traffic Control @ 12% \$ 504,000
						Construction Management @ 20% \$ 839,000
						Grand Total 2021 Dollars \$ 7,220,000

Planning Level Cost Estimate - Right-of-Way

PROJECT NAME: Battle Ground ADA Transition Plan
 TG PROJECT NUMBER: 121034.00



NOTE: This cost estimate is planning level in nature. It should be considered preliminary and for planning purposes only. It specifically excludes right-of-way acquisition and all associated costs, structural impacts to buildings and parking structures, and sales tax. Potential items such as retaining walls, earthwork, etc., are assumed to be included in the planning level estimate contingency unless otherwise indicated.

This planning cost estimate covers only the pedestrian features within the first stage of data collection.

Quantity by Priority

Feature	Low		Medium		High		Very High		Total
	1-15 (0-10 hazards)	%	16-30 (11-20 hazards)	%	31-45 (21-30 hazards)	%	46+ (31+ hazards)	%	
Sidewalks (SY)	538	1%	17,783	32%	23,347	42%	14,336	26%	56,005
Driveways (EA)	16	5%	126	39%	127	39%	57	17%	326
Non-compliant vertical discontinuity (EA)	7	1%	72	14%	214	41%	226	44%	519
Non-compliant horizontal discontinuity (LF)	105	1%	1,680	18%	3,170	34%	4,420	47%	9,375
Fixed Obstacles (EA)	6	1%	59	12%	173	35%	262	52%	500
Moveable Obstacles (EA)	6	6%	32	33%	35	36%	24	25%	97
Protruding Obstacles (EA)	14	3%	127	25%	222	43%	153	30%	516
Curb Ramps (EA)	0	0%	25	4%	190	27%	499	70%	714
Pushbuttons (EA)	0	0%	1	1%	25	30%	58	69%	84
Bus Stops (SY)	40	3%	638	50%	440	35%	145	11%	1,263
Parking (EA)	0	0%	1	33%	1	33%	1	33%	3

Cost by Priority

Feature	Low		Medium		High		Very High		Total
	1-15 (0-10 hazards)	%	16-30 (11-20 hazards)	%	31-45 (21-30 hazards)	%	46+ (31+ hazards)	%	
Sidewalks (SY)	\$ 77,997	1%	\$ 2,578,580	32%	\$ 3,385,315	42%	\$ 2,078,764	26%	\$ 8,121,000
Driveways (EA)	\$ 46,400	5%	\$ 365,400	39%	\$ 368,300	39%	\$ 165,300	17%	\$ 946,000
Non-compliant vertical discontinuity (EA)	\$ 2,306	1%	\$ 33,556	15%	\$ 87,389	39%	\$ 100,944	45%	\$ 225,000
Non-compliant horizontal discontinuity (LF)	\$ 525	1%	\$ 8,400	18%	\$ 15,850	34%	\$ 22,100	47%	\$ 47,000
Fixed Obstacles (EA)	\$ 18,000	1%	\$ 177,000	12%	\$ 519,000	35%	\$ 786,000	52%	\$ 1,500,000
Moveable Obstacles (EA)	\$ 1,200	6%	\$ 6,400	32%	\$ 7,000	35%	\$ 4,800	24%	\$ 20,000
Protruding Obstacles (EA)	\$ 7,000	3%	\$ 63,500	25%	\$ 111,000	43%	\$ 76,500	30%	\$ 258,000
Curb Ramps (EA)	\$ -	0%	\$ 140,060	3%	\$ 1,105,210	26%	\$ 2,994,000	71%	\$ 4,240,000
Pushbuttons (EA)	\$ -	0%	\$ 5,900	1%	\$ 123,600	27%	\$ 335,600	72%	\$ 466,000
Bus Stops (SY)	\$ 5,800	3%	\$ 92,700	50%	\$ 63,800	35%	\$ 21,550	12%	\$ 184,000
Parking (EA)	\$ -	0%	\$ 4,000	36%	\$ 4,200	38%	\$ 2,200	20%	\$ 11,000

	Low 1-15	Medium 16-30	High 31-45	Very High 46+	Total
Total	\$ 160,000	\$ 3,476,000	\$ 5,791,000	\$ 6,588,000	\$ 16,018,000
Contingency @ 20%	\$ 32,000	\$ 696,000	\$ 1,159,000	\$ 1,318,000	\$ 3,204,000
Design @ 12%	\$ 20,000	\$ 418,000	\$ 695,000	\$ 791,000	\$ 1,923,000
Mobilization @ 8%	\$ 13,000	\$ 279,000	\$ 464,000	\$ 528,000	\$ 1,282,000
TESC + Traffic Control @ 12%	\$ 20,000	\$ 418,000	\$ 695,000	\$ 791,000	\$ 1,923,000
Const. Management @ 20%	\$ 32,000	\$ 696,000	\$ 1,159,000	\$ 1,318,000	\$ 3,204,000
Right-of-way @ 20%	\$ 32,000	\$ 696,000	\$ 1,159,000	\$ 1,318,000	\$ 3,204,000
Grand Total	\$ 309,000	\$ 6,679,000	\$ 11,122,000	\$ 12,652,000	\$ 30,758,000

Planning Level Cost Estimate - Parks

PROJECT NAME: Battle Ground ADA Transition Plan
 TG PROJECT NUMBER: 121034.00



NOTE: This cost estimate is planning level in nature. It should be considered preliminary and for planning purposes only. It specifically excludes right-of-way acquisition and all associated costs, structural impacts to buildings and parking structures, and sales tax. Potential items such as retaining walls, earthwork, etc., are assumed to be included in the planning level estimate contingency unless otherwise indicated.

This planning cost estimate covers only the pedestrian features within the first stage of data collection.

Quantity by Priority

Feature	Low		Medium		High		Very High		Total
	1-15 (0-10 hazards)	%	16-30 (11-20 hazards)	%	31-45 (21-30 hazards)	%	46+ (31+ hazards)	%	
Sidewalks (SY)	775	4%	7,052	32%	13,451	61%	756	3%	22,035
Non-compliant vertical discontinuity (EA)	10	6%	38	22%	98	56%	29	17%	175
Non-compliant horizontal discontinuity (LF)	80	5%	515	32%	630	39%	380	24%	1,605
Fixed Obstacles (EA)	1	3%	6	17%	18	51%	10	29%	35
Moveable Obstacles (EA)	0	0%	3	17%	12	67%	3	17%	18
Protruding Obstacles (EA)	2	2%	28	32%	49	56%	9	10%	88
Curb Ramps (EA)	0	0%	1	2%	12	19%	49	79%	62
Staircases (EA)	3	7%	9	22%	29	71%	0	0%	41
Wheelchair Ramps (EA)	0	0%	2	22%	7	78%	0	0%	9
Parking (EA)	0	0%	8	14%	44	79%	4	7%	56

Cost by Priority

Feature	Low		Medium		High		Very High		Total
	1-15 (0-10 hazards)	%	16-30 (11-20 hazards)	%	31-45 (21-30 hazards)	%	46+ (31+ hazards)	%	
Sidewalks (SY)	\$ 112,436	4%	\$ 1,022,603	32%	\$ 1,950,368	61%	\$ 109,692	3%	\$ 3,196,000
Non-compliant vertical discontinuity (EA)	\$ 4,167	5%	\$ 18,944	23%	\$ 47,278	57%	\$ 12,250	15%	\$ 83,000
Non-compliant horizontal discontinuity (LF)	\$ 400	4%	\$ 2,575	29%	\$ 3,150	35%	\$ 1,900	21%	\$ 9,000
Fixed Obstacles (EA)	\$ 3,000	3%	\$ 18,000	17%	\$ 54,000	51%	\$ 30,000	29%	\$ 105,000
Moveable Obstacles (EA)	\$ -	0%	\$ 600	15%	\$ 2,400	60%	\$ 600	15%	\$ 4,000
Protruding Obstacles (EA)	\$ 1,000	2%	\$ 14,000	32%	\$ 24,500	56%	\$ 4,500	10%	\$ 44,000
Curb Ramps (EA)	\$ -	0%	\$ 1,030	0%	\$ 72,000	20%	\$ 294,000	80%	\$ 368,000
Staircases (EA)	\$ 6,475	5%	\$ 49,375	40%	\$ 66,350	54%	\$ -	0%	\$ 123,000
Wheelchair Ramps (EA)	\$ -	0%	\$ 15,802	26%	\$ 43,377	72%	\$ -	0%	\$ 60,000
Parking (EA)	\$ -	0%	\$ 25,100	13%	\$ 157,200	79%	\$ 15,500	8%	\$ 198,000

	Low 1-15	Medium 16-30	High 31-45	Very High 46+	Total
Total	\$ 128,000	\$ 1,169,000	\$ 2,421,000	\$ 469,000	\$ 4,190,000
Contingency @ 20%	\$ 26,000	\$ 234,000	\$ 485,000	\$ 94,000	\$ 838,000
Design @ 12%	\$ 16,000	\$ 141,000	\$ 291,000	\$ 57,000	\$ 503,000
Mobilization @ 8%	\$ 11,000	\$ 94,000	\$ 194,000	\$ 38,000	\$ 336,000
TESC + Traffic Control @ 12%	\$ 16,000	\$ 141,000	\$ 291,000	\$ 57,000	\$ 503,000
Const. Management @ 20%	\$ 26,000	\$ 234,000	\$ 485,000	\$ 94,000	\$ 838,000
Grand Total	\$ 223,000	\$ 2,013,000	\$ 4,167,000	\$ 809,000	\$ 7,208,000

Appendix G - Facility Prioritization Criteria

Appendix H - Accessible Pedestrian Signal (APS) Policy

City of Mercer Island - Policy for Installation of Accessible Pedestrian Signals and Pushbuttons

Intent:

It is the City's intention to be consistent with the most current version of the Public Right of Way Access Guidelines (PROWAG) in the provision of and location of accessible pedestrian signals and pushbuttons (APS) at traffic signals. Further guidance is available in 28 CFR Part 35 and Manual on Uniform Traffic Control Devices (MUTCD) section 4E.08 through 4E.13.

Purpose:

The purpose of this plan is to establish a reasonable and consistent policy for installing APS.

Scope:

1. *Requests*: Requests for APS systems from the public will be responded to in a timely manner and the consideration for installation will be done in accordance with applicable sections of the ADA.
2. *New construction*: New construction of traffic signal projects requires installation of APS and associated accessible features when pedestrian signals are installed.
3. *Alterations*: When the signal controller and software are altered, the pedestrian signal head is replaced, or pedestrian detectors are replaced, the existing pedestrian signals shall be upgraded to APS on poles in accessible locations.
4. *Curb ramp replacement at traffic signals*: Altering or replacing curb ramps does not require installation of APS unless the curb ramp cannot be altered or replaced without the alteration, installation or replacement of any pole to which a pedestrian pushbutton is attached. Then, installation of APS on poles in accessible locations is required.
5. In addition to the above conditions, APS will be installed through fulfillment of the City's obligations to complete its ADA Transition Plan.

Installation of APS is not required, unless otherwise noted, under the following conditions, but is recommended when inclusion in the project scope is possible:

1. *Minor work and routine maintenance at traffic signals*: Projects including but not limited to: emergency repairs, vehicular detection installation and repairs, installation and repair of CCTV or other cameras, vehicular signal head upgrades and repairs, and repair of pedestrian detection do not require installation of APS and associated accessible features.
2. *Signal timing changes*: Updating signal timing including cycle length, splits, offsets, and pedestrian clearance times do not require installation of APS and associated accessible features.

Appendix I - Grievance Procedure

City of Mercer Island, Washington

Example Grievance Procedure under The Americans with Disabilities Act

This Grievance Procedure is established to meet the requirements of the Americans with Disabilities Act of 1990 ("ADA"). It may be used by anyone who wishes to file a complaint alleging discrimination on the basis of disability in the provision of services, activities, programs, or benefits by the City of Mercer Island.

The complaint should be in writing and contain information about the alleged discrimination such as name, address, phone number of complainant and location, date, and description of the problem. Alternative means of filing complaints, such as personal interviews or a tape recording of the complaint, will be made available for persons with disabilities upon request.

The complaint should be submitted by the grievant and/or his/her designee as soon as possible but no later than 60 calendar days after the alleged violation to:

Jason Kintner
ADA Coordinator
jason.kintner@mercergov.org

Within 15 calendar days after receipt of the complaint, City Engineer or their designee will meet with the complainant to discuss the complaint and the possible resolutions. Within 15 calendar days of the meeting, City Engineer or his/her designee will respond in writing, and where appropriate, in a format accessible to the complainant, such as large print, Braille, or audio tape. The response will explain the position of the City of Mercer Island and offer options for substantive resolution of the complaint.

If the response by City Engineer or his/her designee does not satisfactorily resolve the issue, the complainant and/or his/her designee may appeal the decision within 15 calendar days after receipt of the response to the City Manager or his/her designee. Within 15 calendar days after receipt of the appeal, the City Manager or his/her designee will meet with the complainant to discuss the complaint and possible resolutions. Within 15 calendar days after the meeting, the City Manager or his/her designee will respond in writing, and, where appropriate, in a format accessible to the complainant, with a final resolution of the complaint. All written complaints received by City Engineer or his/her designee, appeals to the City Manager or his/her designee, and responses from these two offices will be retained by the City of Mercer Island for at least three years.

Appendix J - Maximum Extent Feasible (MEF) Documentation Template

Maximum Extent Feasible (MEF) Template

Project Description

Highway/Building Parameters

- Roadway Classification:
- Design Speed/Posted Speed:
- Design Year ADT:
- Truck Percentage:
- Access Control:
- Building Type:
- Facilities Provided in Building:

Existing Pedestrian Facilities – general description (for new construction projects include a summary of the project pedestrian study)

Pedestrian Design Standards – cover the following subjects

- Discuss the criteria that apply to the pedestrian elements on the project that will be built to the Maximum Extent Feasible
- Include reference(s) to the appropriate PROWAG/ADA section(s) and City Public Works Standards [including revision date]

Alternative(s) analysis - needed for new construction projects only

Proposal – cover the following subjects

- What features will remain that meet guidelines
- What features are being built to guidelines
- What is being built to the maximum extent feasible

Justification

- Discussion of what constraints/challenges there are to meet full design level
- See worksheet

Additional Benefits – new construction projects

Attachments

MEF Template – Public Right-of-Way Alteration Project Example

Project Description

This Alteration project will mill & fill SR “A” (from edge line to edge line) with 0.15’ HMA (Class 1/2” PG 64-22) from MP 4.03 to 4.45 and from MP 4.71 to 6.89. This project will overlay the roadway (from edge of pavement to edge of pavement) with 0.20’ HMA (Class 1/2” PG 64-22) from MP 4.45 to 4.71. There is no proposed paving on the County Roads.

Highway Parameters

- Roadway Classification: Non-NHS, U-I, Urban Principal Arterial.
- Funding Program: PI – Paving
- Posted/Design Speed: Mainline - 55/60 mph
- Average Daily Traffic: 25,000 (per Project Definition)
- Truck %: 9% (per Traffic Operations)
- Access Management Classification: Currently classified as Managed Access Class 3. On Master Plan for Modified Limited Access

Existing Pedestrian Facilities

There are five curb ramps and eight sidewalk ramps (from sidewalk to shoulder) located along SR “A” within the paving limits of this project. All five curb ramps and seven of the eight sidewalk ramps do not meet current ADA standards. One sidewalk ramp is located north of the “X” Street intersection (east side – E1, meets guidelines) at the north end of the sidewalk.

There are curb ramps and sidewalk ramps located at the four corners of the “Y” Avenue signalized intersection. Pedestrians can cross this intersection via six curb ramps and four marked crosswalks.

There are curb ramps and sidewalk ramps located at the southwest and northwest corners of the “Z” Way signalized tee intersection. Pedestrians can cross this intersection via three curb ramps and two marked crosswalks. There is one unmarked crossing on SR “A” located at the north side of this intersection. The unmarked crossing meets ADA standards, but the curb ramp located at the west side of the unmarked crossing does not meet ADA standards. This curb ramp is for the marked crosswalk on “Z” Way, is outside of our paving limits, and will not be addressed.

Pedestrian Design Standards

Curb Ramps – Landing, PROWAG 2005 R303.2.1.3

The cross slopes of a curb ramp landing shall be 2% maximum.

This also implies that the gutter slope adjacent to a curb ramp landing shall be 2% maximum.

Proposal

Curb Ramps and Ramps (from sidewalk to shoulder)

North of the “X” Street intersection (west side - W4)

This sidewalk ramp will be upgraded to meet City standards.

“Y” Avenue Intersection

Three of the four proposed curb ramps and all four proposed sidewalk ramps at the “Y” Avenue intersection meet current City standards. Proposed curb ramp “Y” Avenue SW2, located at the southwest corner, is designed to the maximum extent feasible.

Proposed curb ramp “Y” Avenue SW2 will maintain its current landing location to accommodate two crosswalks. All curb ramp elements will meet current City standards, except for the proposed gutter slope (4.4%) and landing cross slope (5.0%). These two elements will maintain the existing gutter slope >2%.

“Z” Way Intersection

The two proposed sidewalk ramps at the “Z” Way intersection meet current City standards. Proposed curb ramp “Z” Way SW2, located at the southwest corner, is designed to the maximum extent feasible.

Proposed curb ramp “Z” Way SW2 will maintain its current landing location to minimize the gutter slope and landing cross slope. All curb ramp elements will meet current City standards, except for the proposed gutter slope (7.4%) and landing cross slope (7.9%). These two elements will maintain the existing gutter slope >2%.

Justification

To construct the curb ramps to be 100% compliant would require re-profiling the existing roadway. This type of major reconstruction is not feasible in this type of Alteration project.

To construct the curb ramps while maintaining the existing profile of the roadway would require rebuilding the roadway adjacent to the proposed curb ramps. The rebuilt roadway would not eliminate the transition from the 2% cross slope of the curb ramps as it matches into the steeper cross slopes of the existing crosswalks but would simply move the transition further into the active traveled roadway. The result would be a grade change transition within the driving lane that would be undesirable.

Attachments

Vicinity Map

Spreadsheet

Curb Ramp Geometrics

Plan Sheets

Appendix K - ADA Terminology

ADA Terminology

Accessible Pedestrian Signals. A device that communicates information about pedestrian signal timing in non-visual format such as audible tones, speech messages, and/or vibrating surfaces.

Barrier. Obstacle that prevents movement or access.

Cross Slope. The slope that is perpendicular to the direction of travel (see running slope).

Curb Ramp. A short ramp cutting through a curb or built up to it.

Detectable Warning. A standardized surface feature built in or applied to walking surfaces or other elements to warn of hazards on a circulation path. Also known as “truncated domes”.

Fixed Obstacles. Obstacles in pathways that cannot be moved without significant changes to the existing infrastructure.

Grade Break. Location where a pathway’s slope changes.

Maximum Extent Feasible. The situation in which the nature of an existing building or facility makes it virtually impossible to comply fully with accessibility standards.

Moveable Obstacles. Obstacles in pathways that can be moved without significant changes to the existing infrastructure.

Pedestrian Access Route. A continuous and unobstructed path of travel provided for pedestrians with disabilities within or coinciding with a pedestrian circulation path.

Pedestrian Circulation Path. A prepared exterior or interior surface provided for pedestrian travel in the public right-of-way.

Ramp. A walking surface that has a running slope steeper than 1:20.

Running Slope. The slope that is parallel to the direction of travel (see cross slope).

Ramp Flare. Transitions the curb line to the elevation of the street.

Turning Space. Area that provides maneuvering space at the top/bottom of a ramp.

Appendix L - Title II Requirements



MEMORANDUM

Date:	April 12, 2022	TG:	1.21012.00
To:	Lia Klein, PE – City of Mercer Island		
From:	Patrick Lynch, AICP – Transpo Group		
Subject:	City of Mercer Island ADA Transition Plan Requirements		

The following memorandum provides an executive summary of the purpose for an Americans with Disabilities Act (ADA) Transition Plan and the Title II Regulations set by the ADA. This memo also outlines how the Mercer Island ADA Transition Plan meets Title II Regulations, and where these regulations are met within the Plan.

Executive Summary

The Americans with Disabilities Act Self-Evaluation and Transition Plan developed by Transpo Group establishes the City of Mercer Island’s ongoing commitment to providing equal access for all, including those with disabilities. In developing the plan, the City of Mercer Island has undertaken a comprehensive evaluation of its facilities and policies related to the public rights-of-way, including City-maintained parks and buildings, to determine what types of access barriers exist for individuals with disabilities. The plan will be used to help guide future planning and implementation of necessary accessibility improvements.

Both the Self-Evaluation and the Transition Plan are required elements of the federally mandated ADA Title II, which requires that government agencies provide equal access to programs and services they offer. While the ADA applies to all aspects of government services, the transition plan developed by Transpo Group focuses on City of Mercer Island attributes within the public right-of-way, City facilities, and City parks.

This includes horizontal attributes of sidewalks, curb ramps, pedestrian pushbuttons, bus stops, crosswalks, driveways, accessible parking stalls, staircases, and wheelchair ramps and vertical elements of buildings, toilet rooms, beaches, drinking fountains, trash, recycling, and dog waste receptacles, play areas, bleachers, dugouts, picnic shelters and tables, boardwalks, raised patios, and signage as these are the facility types inventoried by the City.

The plan prepared by Transpo Group summarizes the Self-Evaluation, which includes an accessibility assessment of pedestrian facilities as well as practices and procedures which relate to them, such as curb ramp design standards. It also contains a Transition Plan, which identifies a schedule for the removal of barriers and identifies how the City will address requests for accommodations in a consistent manner.

The City’s objective is to remove physical barriers associated within the public right-of-way and park facilities using operation and maintenance, overlay, and Capital Improvement Program (CIP) project funding. The City is committed to removing these barriers and in future years will implement projects to remove barriers identified in this plan. In addition, the City is continually working towards maintaining ADA compliance for all future capital improvement projects, permitted development, and any other right-of-way construction projects.

ADA Title II Checklist

Table 1 provides a checklist of regulations included in the Title II requirements (CFR 35.150) related to the development of ADA transition plans. The table describes each requirement and where it is addressed in the City of Mercer Island ADA Transition Plan.

Table 1. Title II Transition Plan Requirement Checklist

Title II Requirement	Title II Reference	Met in ADA Transition Plan?	ADA Transition Plan Reference
Transition plan: Public entity employing 50 or more persons shall develop a transition plan	35.150 (d) (1)	Yes	Section 1.1 – Plan Requirement
Outreach: Transition plan shall provide an opportunity to interested persons, including individuals with disabilities or organizations representing individuals with disabilities, to participate in the development of the transition plan by submitting comments	35.150 (d) (1)	Yes	Chapter 3 – Stakeholder Engagement
Public inspection: A copy of the transition plan shall be made available for public inspection	35.150 (d) (1)	Yes	Plan reference not applicable. See https://www.mercerisland.gov/publicworks/page/ada
Transition schedule: If a public entity has responsibility or authority over streets, roads, or walkways, its transition plan shall include a schedule for providing curb ramps or other sloped areas where pedestrian walks cross curbs	35.150 (d) (2)	Yes	Section 4.3.5 - Schedule
Barrier prioritization: The transition plan's curb ramp transition schedule should give priority to walkways serving entities covered by the Act, including State and local government offices and facilities, transportation, places of public accommodation, and employers, followed by walkways serving other areas	35.150 (d) (2)	Yes	Chapter 4 – Pedestrian Barrier Removal Methods and Schedule
Barrier identification: The plan shall, at a minimum, identify physical obstacles in the public entity's facilities that limit the accessibility of its programs or activities to individuals with disabilities	35.150 (d) (3) (i)	Yes	Section 2.3.1.2 - Findings
Barrier removal methods: The plan shall describe in detail the methods that will be used to make the facilities accessible	35.150 (d) (3) (ii)	Yes	Chapter 4 – Pedestrian Barrier Removal Methods and Schedule
Barrier removal schedule: The plan shall specify the schedule for taking the steps necessary to achieve compliance with this section and, if the time period of the transition plan is longer than one year, identify steps that will be taken during each year of the transition period	35.150 (d) (3) (iii)	Yes	Section 4.3.5 - Schedule
ADA Coordinator: The plan shall indicate the official responsible for implementation of the plan	35.150 (d) (3) (iv)	Yes	Chapter 5 – Recommendations and Next Steps
ADA Transition Plan Update: If the public entity has already complied with the transition plan requirement of a Federal agency regulation implementing section 504 of the Rehabilitation Act of 1973, then the requirements of this checklist shall apply only to those policies and practices that were not included in the previous transition plan	35.150 (d) (4)	Not Applicable	Plan reference not applicable. See https://www.mercerisland.gov/publicworks/page/ada



Glossary of ADA Terminology

The following section provides a summary of terminology included in the ADA Transition Plan.

- **Accessible Pedestrian Signals.** A device that communicates information about pedestrian signal timing in non-visual format such as audible tones, speech messages, and/or vibrating surfaces.
- **Barrier.** Obstacle that prevents movement or access.
- **Cross Slope.** The slope that is perpendicular to the direction of travel (see running slope).
- **Curb Ramp.** A short ramp cutting through a curb or built up to it.
- **Detectable Warning.** A standardized surface feature built in or applied to walking surfaces or other elements to warn of hazards on a circulation path. Also known as “truncated domes”.
- **Fixed Obstacles.** Obstacles in pathways that cannot be moved without significant changes to the existing infrastructure.
- **Grade Break.** Location where a pathway’s slope changes.
- **Hazard.** Miscellaneous barrier along a pedestrian circulation route.
- **Maximum Extent Feasible.** The situation in which the nature of an existing building or facility makes it virtually impossible to comply fully with accessibility standards.
- **Moveable Obstacles.** Obstacles in pathways that can be moved without significant changes to the existing infrastructure.
- **Pedestrian Access Route.** A continuous and unobstructed path of travel provided for pedestrians with disabilities within or coinciding with a pedestrian circulation path.
- **Pedestrian Circulation Path.** A prepared exterior or interior surface provided for pedestrian travel in the public right-of-way.
- **Ramp.** A walking surface that has a running slope steeper than 1:20.
- **Running Slope.** The slope that is parallel to the direction of travel (see cross slope).
- **Ramp Flare.** Transitions the curb line to the elevation of the street.
- **Stakeholder.** Focused group of the general public with interest in outreach efforts.
- **Turning Space.** Area that provides maneuvering space at the top/bottom of a ramp.



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BUSINESS OF THE CITY COUNCIL CITY OF MERCER ISLAND

AB 6085
May 3, 2022
Consent Agenda

AGENDA BILL INFORMATION

TITLE:	AB 6085: Mayor's Letter to the Community	<input type="checkbox"/> Discussion Only <input checked="" type="checkbox"/> Action Needed: <input checked="" type="checkbox"/> Motion <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution
RECOMMENDED ACTION:	Approve Mayor Nice sending the Mayor's Letter to the Community as presented in Exhibit 1.	

DEPARTMENT:	City Council
STAFF:	Salim Nice, Mayor Andrea Larson, City Clerk
COUNCIL LIAISON:	n/a
EXHIBITS:	1. Mayor's Letter to the Community
CITY COUNCIL PRIORITY:	n/a

AMOUNT OF EXPENDITURE	\$ n/a
AMOUNT BUDGETED	\$ n/a
APPROPRIATION REQUIRED	\$ n/a

EXECUTIVE SUMMARY

The purpose of this agenda bill is to seek City Council approval for Mayor Nice to send the attached letter to the community recognizing the work accomplished by the City Council and staff so far in 2022.

ISSUE/DISCUSSION

The draft letter to the community recognizes the work accomplished by the City Council and City staff in the first four months of 2022 including:

- Honoring a Local Hero, Kirk Robinson
- Preserving Neighborhoods & Mobility
- City Property Acquisition at 40th and Island Crest Way
- Climate Action Plan (CAP)
- 2023-2024 City Council Priorities

RECOMMENDED ACTION

Approve Mayor Nice sending the Letter to the Community in substantially the form as presented in Exhibit 1.



MAYOR SALIM NICE
MERCER ISLAND CITY COUNCIL
CITY OF MERCER ISLAND, WASHINGTON
 9611 SE 36th Street | Mercer Island, WA 98040-3732
 (206) 275-7600 | www.mercerisland.gov

Spring 2022 Update from Mayor Salim Nice

Spring is upon us, and like many of you, my family and I are beginning to turn our attention to the warmer months ahead. We find ourselves filled with anticipation about spring vegetable garden planting, summer bike rides, the numerous lake activities we all love, and the return of Seafair and the tradition of Mercer Island's own Summer Celebration!

While we shift our focus to the future, I want to take a moment to reflect on the accomplishments of the City Council and the work the City of Mercer Island has done on behalf of Islanders this past four months.

Honoring a Local Hero, Kirk Robinson

This summer, the skate park at Mercerdale will officially be re-named the “Kirk Robinson Skate Park.” Former Mercer Island Resident, volunteer firefighter, and Marine Patrol crew member Kirk Robinson passed away from job-related cancer Friday, October 4, 2019.

After serving as a volunteer firefighter for Mercer Island, he joined the Bothell Fire Department at age 23. Kirk served the Bothell Fire Department for more than 18 years, rising to Lieutenant. Kirk's infectious personality and tireless work ethic quickly made him a favorite among his peers. He was a member of the technical rescue team, water rescue team, honor guard, and served as a Competency Based Training (CBT) instructor. He assisted with the 9/11 response effort and, in 2005, deployed to Hurricane Katrina. Kirk participated in the Firefighter Stair Climb each year to benefit the Leukemia and Lymphoma Society. He was always the first to volunteer to help with any need of family, friends, the community, or the Bothell Fire Department.

In honor of Kirk Robinson's service to the Mercer Island and Bothell communities, [Resolution No. 1622](#), to name the skate park “Kirk Robinson Skate Park”, was [presented](#) to City Council for consideration and approval. The Resolution passed unanimously on April 2nd.

This will serve as a lasting tribute to Kirk Robinson and his family, friends, and colleagues and honors the indelible impact he had on so many lives.

Preserving Neighborhoods & Mobility

The beginning of the year brought a sixty-day Washington State legislative session. Several problematic bills were introduced and advanced that proposed to preempt local control and force a statewide “upzone” across Washington single-family residential (SFR) neighborhoods. The proposed legislation

would have turned many Washington SFR neighborhoods into multi-family zones with residential streets mirroring those in larger cities, many of which no longer allow two-way traffic because of parked cars.

Working with the City Manager and City Council, and in consultation with the Washington Association of Cities (WAC), I wrote [a letter](#) to our legislative representatives asking them to oppose this legislation. I met with Mayors from across the state in Olympia to share our message and encourage them to write to their legislative representatives. Islanders also wrote in by the hundreds, as did countless constituents from around the state. Thanks to the combined effort and voices from across the state, the legislature ultimately backed away from the legislation.

Recently, the City Council unanimously approved [Agenda Bill 6061](#), authorizing the City Manager to issue a Request for Proposals (RFP) to retain a contract lobbyist(s). Over the coming months, Council will work with the City Manager and the contract lobbyists to prepare for the 2023 legislative session. Council will also work with the federal lobbyist to restore the Island Crest Way to westbound I-90 single-occupancy vehicle access.

The preservation of local, appropriate zoning control and mobility improvements for Islanders are two of my highest priorities. I value the support of the City Manager and Council on these two critical issues.

City Property Acquisition at 40th and Island Crest Way

Mercer Island City Council passed a resolution on July 6, 2021, authorizing City officials to purchase a residential property at SE 40th Street and Island Crest Way. The acquisition provides the City with needed land at this busy intersection to make necessary traffic safety improvements, enhance sightlines for motorists, and upgrade the sidewalk for pedestrians, including the creation of a modest grassy plaza.

Acquiring this vacant property was an ideal solution. It will allow for future necessary roadway improvements while enhancing safety in the short term.

In the interest of sustainability, the City hired a contractor to deconstruct the existing vacant residence to ensure all usable material is salvaged and recycled. This deconstruction was completed just in time for spring hydroseeding with grass.

Climate Action Plan (CAP)

April 22 was [proclaimed](#) Earth Day on Mercer Island, and what better way to segue into the topic of drafting the Island's first-ever [Climate Action Plan \(CAP\)](#). City Council will begin identifying and crafting policies to help Mercer Island meet its Greenhouse Gas (GHG) emission reduction goals of 50% by 2030, compared to 2007 emissions. Because aspects of the CAP are likely to impact many in our community, we hope to get broad community engagement.

A [Let's Talk page](#) has been established to outline the key milestones and dates through adoption in December 2022. After creating an account, Islanders wishing to read and post comments can do so [here](#). I encourage Islanders to review this information and comment, especially if you feel strongly about any of the following GHG reduction strategies proposed by community members:

1. A proposed ban on commercial and homeowner use of small-gas-engine leaf blowers and other standard yard-maintenance equipment.
2. Building permits conditioned on fitting solar panels, electric car chargers, electric heat pumps for residential heating and cooling, and electric hot water heating for all new residential development and substantial remodels.
3. A ban on commercial natural gas use for heating and hot water and no new residential gas connections (i.e., get ready for the fully electric home).

I mention these suggestions hoping that many Islanders will engage with the City and Council over the summer and fall. Please stay tuned for the full public engagement schedule beginning late spring to early summer.

2023-2024 City Council Priorities

On Saturday, March 26, 2022, the City Council held its annual Planning Session and discussed and drafted the 2023-2024 biennium priorities. After the Planning Session, the City Council voted to adopt the following 2023-2024 City Council Priorities, along with a brief preamble:

The City of Mercer Island provides outstanding municipal services that enhance and protect the environment, the quality of life, and our community's health, safety, and welfare. We engage with the community on issues of importance to listen, instill trust, and promote sound decision-making. We strive to create and maintain an environmentally sustainable and inclusive community that is safe and supportive for current and future generations.

In the 2023-2024 biennium, we will continue to restore city services with fiscal sustainability while focusing on the government's effectiveness and efficiency, and the following priorities:

1. Develop data-driven economic development and retail plans and strategies to activate Town Center and other business areas.
2. Sustain and enhance our natural environment, especially parks and open spaces, to benefit this generation and others that follow.
3. Make once-in-a-generation investments to update and modernize aging infrastructure, capital facilities, and parks.
4. Focus efforts and actions to be an environmentally and fiscally sustainable, connected, and diverse community.

As a Council working for and toward our communities shared priorities, it has been rewarding to see our progress as we recover, rebuild, and rethink the path forward. I look optimistically both for our summer weather and the great work ahead and I hope to see many of you at these upcoming Island events:

Music in the Park – July 14: West Coast Feed

Music in the Park – July 21: Great American Trainwreck

Music in the Park – July 28: Outside The Lines

Music in the Park – August 4: Portage Bay Big Band

Music in the Park – August 11: The Rumba Kings

[Note: Will include other summer special events in final letter.]

[Signature]



**BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND**

**AB 6067
May 3, 2022
Regular Business**

AGENDA BILL INFORMATION

TITLE:	AB 6067: Town Center Moratorium Renewal	<input type="checkbox"/> Discussion Only <input checked="" type="checkbox"/> Action Needed: <input type="checkbox"/> Motion <input checked="" type="checkbox"/> Ordinance <input type="checkbox"/> Resolution
RECOMMENDED ACTION:	Conduct Public Hearing and move to second reading Ordinance No. 22-03 extending the Town Center moratorium for an additional six-month period.	

DEPARTMENT:	Community Planning and Development		
STAFF:	Jeff Thomas, Interim Director Sarah Bluvas, Economic Development Coordinator		
COUNCIL LIAISON:	n/a		
EXHIBITS:	1. Ordinance No. 22-03 2. Updated Legislative History		
CITY COUNCIL PRIORITY:	3. Implement an economic development program.		

AMOUNT OF EXPENDITURE	\$ n/a
AMOUNT BUDGETED	\$ n/a
APPROPRIATION REQUIRED	\$ n/a

EXECUTIVE SUMMARY

The purpose of this agenda bill is to conduct a Public Hearing and adopt Ordinance No. 22-03, which will extend the current moratorium on major new construction south of SE 29th Street in the Town Center (TC) zoning designation for an additional six months.

- In June 2020, the City Council enacted a moratorium on major new construction generally in the southeast quadrant of the Town Center (TC) zoning designation.
- The City Council cited the goal of protecting and expanding Mercer Island’s retail sector as primary drivers for enacting the moratorium and directed City staff to explore and propose potential amendments to TC development regulations.
- On March 15, 2022, the City Council conducted a third reading of proposed code amendments and provided additional direction for finalizing a code proposal to exit the moratorium. Staff plan to return to the City Council for a final reading of the proposal before the August recess.
- The current moratorium expires June 2, 2022, so the City Council must vote to extend the moratorium for another six months in order for it to remain in effect while legislative work continues.

BACKGROUND

The current Town Center development regulations were established in June 2016 ([Ordinance No. 16C-06](#)). Per the current code, major new development located north of SE 29th Street in the Town Center must provide ground floor street frontage commercial space for use by retail, restaurant, or personal services (e.g., barber shop, nail salon, and fitness center). Between 40 and 60 percent of the ground floor street frontage north of SE 29th Street must be designed for retail, restaurant, or personal services; 40 percent is required for those major new developments that provide public parking, while 60 percent is required for those developments that do not provide public parking. Commercial space is allowed, but not required, south of SE 29th Street in the Town Center (TC) zoning designation.

In June 2020, the City Council enacted a moratorium on major new construction generally in the southeast quadrant of the TC zone. This moratorium was intended to temporarily prevent submittal of development applications while the City considers potential updates and/or amendments to development regulations within the Town Center, including requirements for ground-floor commercial use and for preserving existing commercial square footage in the TC zone. The City Council cited the goal of protecting and expanding Mercer Island's retail sector to maintain and improve the community's quality of life and emergency preparedness as primary drivers for enacting the moratorium.

Since enacting the moratorium, City staff, the City Council, the Planning Commission, and consulting firm Community Attributes, Inc., participated in several discussions to present findings and arrive at a proposal to amend MICC 19.11.020(B), including twelve City Council meetings, five Planning Commission meetings, and two Public Hearings (Exhibit 2).

ISSUE/DISCUSSION

On March 15, 2022, the City Council provided additional direction to staff to finalize the legislative work necessary to exit the moratorium. Staff plan to return to the City Council before the August break to conduct a final reading of proposed amendments to MICC 19.11.020. However, the current moratorium expires on June 2, 2022, and staff do not anticipate completing legislative action before that expiration date. Thus, staff recommend that the City Council conduct the required public hearing and adopt Ordinance No. 22-03, renewing the current moratorium for an additional six months.

Staff completed the required noticing for this public hearing, including:

- Published in the *Mercer Island Reporter* (March 30, 2022)
- E-mailed via the City Council meeting agenda distribution list (March 30, 2022)
- Published on the City website (March 30, 2022)

Additionally, details about the public hearing on April 22 were sent to the City's list of Town Center businesses, property owners, and property managers as well as sent outreach to the general business e-mail list (950+ contacts) on April 26.

NEXT STEPS

Assuming the ordinance is adopted, the Town Center moratorium will be extended for another six months, expiring on December 2, 2022. Staff will continue working on the proposed code amendments and return to the City Council for a final reading and adoption of the proposal before the summer recess. At that time, staff will also return to repeal Ordinance No. 22-03 and end the moratorium.

RECOMMENDED ACTION

1. Conduct a Public Hearing and consider public testimony on Ordinance No. 22-03.
2. Move to second reading Ordinance No. 22-03 extending the Town Center moratorium for an additional six-month period.

**CITY OF MERCER ISLAND
ORDINANCE NO. 22-03**

**AN ORDINANCE OF THE CITY OF MERCER ISLAND, WASHINGTON;
RENEWING THE MORATORIUM ADOPTED BY ORDINANCE NO. 20-12
AS AMENDED BY ORDINANCE NO. 20-18; PROVIDING FOR
SEVERABILITY; AND ESTABLISHING AN EFFECTIVE DATE.**

WHEREAS, the City Council may adopt an immediate moratorium for a period of up to six months on the acceptance of building and development permit applications for major new construction as long as the City Council holds a public hearing on the proposed moratorium within sixty days after adoption, pursuant to RCW 35A.63.220 and RCW 36.70A.390; and

WHEREAS, the City adopted Ordinance No. 20-12 on June 2, 2020, implementing a six-month moratorium pursuant to RCW 35A.63.220 and RCW 36.70A.390 on the submission of applications for any building permits or any other land use approvals for Major New Construction as defined in MICC 19.16.010 for properties located within the Town Center (TC) zone at Mercer Island south of SE 29th Street; and

WHEREAS, after the public hearing on the above referenced moratorium, the City adopted Ordinance No. 20-18 on September 1, 2020, amending Ordinance No. 20-12 to reduce the size of the geographic area subject to moratorium to the Town Center (TC) zone at Mercer Island south of SE 29th Street, east of 77th Avenue SE, and west of 80th Avenue SE, and to include additional findings of fact; and

WHEREAS, the City Council has extended the effective period of Ordinance No. 20-12 most recently on November 30, 2021 through Ordinance No. 21C-27 following a public hearing, and the most recent extension extends the moratorium into June 2022; and

WHEREAS, the moratorium is set to expire on June 2, 2022, unless otherwise repealed, extended or modified by the City Council; and

WHEREAS, consistent with RCW 35A.63.220 and RCW 36.70A.390, the City Council held a public hearing on May 3, 2022, to adopt findings of fact supporting and justifying the renewal of the moratorium for another 6-months; and

WHEREAS, because the preparation and adoption of changes to the Town Center development regulations will require additional time to complete, the City Council finds that the moratorium should be renewed pursuant to RCW 35A.63.220 and 36.70A.390 for an additional six months to avoid the risk that one or more applicants could vest to the existing development code if the current moratorium expires.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MERCER ISLAND, WASHINGTON DO ORDAIN AS FOLLOWS:

Section 1. Whereas Clauses Adopted. The “Whereas Clauses” set forth in the recital section above are hereby adopted as the findings of the City Council for passing this ordinance.

Section 2. Moratorium Renewed. The moratorium imposed by Ordinance No. 20-12, as amended by Ordinance No. 20-18, shall be renewed, and take effect on June 1, 2022, for a period of six months, unless earlier repealed, extended, or modified by the City.

Section 3. Public Hearing. A public hearing was noticed and completed on May 3, 2022, to hear and consider the comments and testimony of those wishing to speak regarding the renewal of the moratorium enacted by this ordinance.

Section 4. Severability. If any section, sentence, clause, or phrase of this ordinance should be held to be invalid or unconstitutional by a court of competent jurisdiction, or its application held inapplicable to any person, property or circumstance, such invalidity or unconstitutionality shall not affect the validity of any other section, sentence, clause or phrase of this ordinance or its application to any other person, property, or circumstance.

Section 5. Publication and Effective Date. A summary of this ordinance consisting of its title shall be published in the official newspaper of the City. This ordinance shall take effect and be in full force five days after the date of publication.

Passed by the City Council of the City of Mercer Island, Washington, at its meeting on May 17, 2022, and signed in authentication of its passage.

CITY OF MERCER ISLAND

Salim Nice, Mayor

Approved as to Form:

ATTEST:

Bio Park, City Attorney

Andrea Larson, City Clerk

Date of Publication: _____

LEGISLATIVE TIMELINE

- June 2, 2020** The City Council passed [Ordinance No. 20-12](#), which established a 6-month moratorium on major new construction south of SE 29th Street in the TC zoning designation. The City Council indicated that the City desired to possibly complete updates and/or amendments to development regulations within the Mercer Island Town Center, including requirements for various types of commercial space.
- July 21, 2020** The City Council completed the required Public Hearing for Ordinance No. 20-12 on the Town Center Moratorium and directed staff to prepare an amended interim Ordinance reducing the size of the geographic area subject to moratorium and include additional findings of fact.
- September 1, 2020** The City Council adopted [Ordinance No. 20-18](#) with a reduced size of the geographic area subject to moratorium and included additional findings of fact. Additionally, the City Council provided direction to staff to prepare a scope of work for a Town Center commercial analysis to inform options for resolving the moratorium and a corresponding budget appropriation request.
- November 17, 2020** The City Council completed the required Public Hearing and adopted [Ordinance No. 20-26](#) renewing the moratorium for another 6-month period with its current geographic area as previously amended.
- December 1, 2020** The City Council adopted [Ordinance No. 20-29](#), the 2021-22 Biennial Budget. Included in the budget is a \$50,000 one-time appropriation for qualified professional services to perform a Town Center commercial analysis and support the completion of any necessary updates and/or amendments to development regulations within the Mercer Island Town Center to be responsive to the moratorium. The City Council also approved [Resolution No. 1594](#), establishing the 2021 docket for amendments to the Comprehensive Plan and development regulations. Included in the docket is a placeholder for amending the Town Center Sub-Area Plan and corresponding development regulations as necessary to be responsive to the moratorium.
- April 6 and 20, 2021** The City contracted with the firm Community Attributes, Inc. (CAI) to analyze the demand for additional ground floor commercial uses and the feasibility of requiring such uses in new buildings. On April 6, the City Council received a presentation on the findings of this analysis and commenced discussion ([AB 5841 and associated presentation](#)). Further City Council discussion ensued on April 20, and the Council directed staff to complete additional analysis and to research legislative options in addition to a “no net loss” option.
- May 4, 2021** The City Council completed the required Public Hearing and adopted [Ordinance No. 21-09](#) renewing the moratorium for another 6-month period with its current geographic area as previously amended.

- July 6, 2021** Staff presented a number of legislative options to City Council ([AB 5910](#) and [associated presentation](#)). Council provided further direction to review and propose:
- Updates to [MICC 19.11.020\(B\)](#) Retail Use Required Adjacent to Street Frontages;
 - A new TC commercial Floor Area Ratio (FAR) requirement; and
 - The applicability of a new TC “no net loss” requirement.
- September 21, 2021** The City Council directed staff to work with the Planning Commission to develop the necessary code amendments to [MICC 19.11.020\(B\)](#), including updating MICC 19.11.020(B) Figure 2 Retail Use Required Adjacent to Street Frontages; instituting a Town Center Commercial FAR requirement; and adding a selective “No Net Loss” provision ([AB 5933](#) and [associated presentation](#)).
- September 22 and October 20, 2021** Staff presented the necessary code amendments (ZTR21-004) to implement the City Council direction to the Planning Commission for review and comment. (Video recordings: [September 22](#) and [October 20](#))
- November 3, 2021** The Planning Commission completed the required Public Hearing, deliberated the proposed amendments, and voted 5-1 on a recommendation to send to the City Council to not adopt the proposed amendments on November 16. ([Video recording](#))
- November 16, 2021** The City Council adopted [Ordinance No. 21C-27](#), which renews the moratorium for an additional 6-month period with its current geographic area as previously amended ([AB 5976](#)), held the required Public Hearing, and conducted the first reading of Ordinance No. 21C-28 (ZTR21-004) ([AB 5977](#)).
- December 7, 2021** The City Council conducted the second reading of Ordinance No. 21C-28 and remanded the ordinance back to the Planning Commission for a new public hearing and recommendation ([AB 5985](#)).
- January 26, 2022** The Planning Commission participated in a working session to provide comments and questions related to the amendments proposed and direction given by the City Council in preparation for a new public hearing on February 16.
- February 16, 2022** The Planning Commission completed the required Public Hearing, deliberated, and voted 6-0 on a recommendation to the City Council to not adopt the amendments as proposed.
- March 15, 2022** The City Council received the Planning Commission’s recommendation, conducted a third reading of Ordinance No. 21C-28 ([AB 6036](#)), and directed staff to update the code proposal for a fourth reading to be scheduled later in 2022.



BUSINESS OF THE CITY COUNCIL CITY OF MERCER ISLAND

AB 6073
May 3, 2022
Regular Business

AGENDA BILL INFORMATION

TITLE:	AB 6073: Comprehensive Plan Update Project Status and Selection of Volunteers for Economic Development and Housing Work Groups	<input type="checkbox"/> Discussion Only <input checked="" type="checkbox"/> Action Needed: <input checked="" type="checkbox"/> Motion <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution
RECOMMENDED ACTION:	Select two City Councilmembers to serve on the Economic Development Work Group and two City Councilmembers to serve on the Housing Work Group.	

DEPARTMENT:	Community Planning and Development
STAFF:	Jeff Thomas, Interim CPD Director Alison Van Gorp, Deputy CPD Director Adam Zack, Senior Planner
COUNCIL LIAISON:	n/a
EXHIBITS:	1. Housing and Economic Development Work Group Charters
CITY COUNCIL PRIORITY:	n/a

AMOUNT OF EXPENDITURE	\$ n/a
AMOUNT BUDGETED	\$ n/a
APPROPRIATION REQUIRED	\$ n/a

EXECUTIVE SUMMARY

The purpose of this agenda bill is to brief the City Council on the upcoming work on the Mercer Island Comprehensive Plan update and select members for the Economic Development and Housing Work Groups. Additional summary information includes:

- On March 15, the City Council approved the scope of work, master schedule, public participation plan and work group charters with the adoption of [Resolution No. 1621](#). The scope of work anticipates adoption of the periodic update to the Mercer Island Comprehensive Plan by May 2024.
- Work on the Comprehensive Plan update is now underway. Public outreach has begun, and the City is in the process of contracting with consultants.
- The Planning Commission will review and refine updates to each Comprehensive Plan element via a 3-meeting review process.
- The resulting draft elements will be available for public consideration at a community workshop and a public hearing. The Planning Commission will further refine the drafts based on this public input prior to making a recommendation to the City Council.

- The amendments to the Housing Element and drafting an Economic Development Element will include additional review prior to the Planning Commission process outlined above. Two work groups will prepare and refine the first drafts of these two elements.
- An Economic Development Work Group and a Housing Work Group, each composed of 2 City Councilmembers and 2 Planning Commission members, will develop the initial drafts of the Economic Development Element and the Housing Element, respectively.
- At the April 27 meeting the Planning Commission will select their members for these work groups.

BACKGROUND

The Mercer Island Comprehensive Plan sets forth a vision and establishes goals, policies, and implementation actions for managing and growing into the future. The vision is a statement of how the Comprehensive Plan will guide the City. Comprehensive Plan goals describe what objectives the City will pursue to further the vision. The policies and implementation actions established in the Comprehensive Plan describe what the City will do to achieve its goals and provide crucial guidance for the City in capital improvements, development regulations, and other supporting programs and services.

The Comprehensive Plan considers projected growth during a twenty-year period called a “planning horizon”. Currently, the GMA requires cities and counties to update each respective plan every ten years to extend the planning horizon. The last periodic update of the Mercer Island Comprehensive Plan occurred in 2015 and was adopted in 2016, with a planning horizon extending to 2035. The 2024 Comprehensive Plan update will extend the planning horizon to the year 2044.

On March 15, the City Council approved the scope of work, master schedule, public participation plan and work group charters with [Resolution No. 1621](#). The scope of work anticipates adoption of the periodic update to the Mercer Island Comprehensive Plan by May 2024. Work on the Comprehensive Plan update is now underway. In early April, City staff began interviewing business owners, non-profit organizations, and community members to inform initial work on the Economic Element. Additionally, the City is in the process of contracting with consultants.

Economic Development and Housing Elements

The amendments to the Housing Element and drafting an Economic Development Element will include additional review prior to the Planning Commission process. Two work groups will prepare and refine the first drafts of these two elements. Throughout summer and fall 2022, the work groups will work on shaping the first drafts and collecting community input. Refining the first draft through the work group process should result in first drafts of the Economic Development and Housing elements that will only need minor refinement with the Planning Commission, allowing for the same three-meeting process with the Planning Commission will use for the other elements.

ISSUE/DISCUSSION

ECONOMIC DEVELOPMENT AND HOUSING WORK GROUPS

Work on the Economic Development Element and Housing Element will require an expanded review process. The approved public participation plan includes the creation of two work groups to prepare drafts of the Economic Development and Housing elements. Each work group will be composed of two Planning Commissioners and two City Councilmembers. The work group charters, establishing the rules for the work

groups, are included as Exhibit 1. On April 27, The Planning Commission selected members for the Economic Development and Housing work groups.

The work groups will meet several times through the summer and early fall of 2022. Both work groups will meet at least three times, but there will likely be a couple of additional meetings depending on the amount of public feedback desired once drafting has begun. The first meetings are expected in May and the final meetings are expected no later than November. Serving on a work group will include responsibility for reviewing and refining initial drafts of the Economic Development and Housing elements respectively. This responsibility will be in addition to regular City Council meetings during this time. Scheduling of the work group meetings will be agreed to by members of each group, allowing for some flexibility to accommodate individual schedules.

Selection of Work Group Members

City Councilmembers can volunteer to serve on either the Economic Development or Housing work groups. Each work group requires two City Councilmembers.

NEXT STEPS

Once the City Council has selected members to serve on the Economic Development and Housing Work Groups, staff will coordinate the scheduling of the first work group meetings in May. In early summer, the City Council will be briefed on the Housing Needs Assessment and Economic Analysis.

RECOMMENDED ACTION

Select two City Councilmembers to serve on the Economic Development Work Group and two City Councilmembers to serve on the Housing Work Group.

**Mercer Island Comprehensive Plan Housing Work
Group Charter
Adopted: March 15, 2022**

MISSION

The Comprehensive Plan Housing Work Group (hereinafter “HWG”) is appointed to advise the Planning Commission and City Council on amendments to the Housing Element of the Comprehensive Plan. The HWG will review data, public input, and develop draft amendments to the Housing Element in support of the periodic review of the Comprehensive Plan.

ARTICLE I GENERAL PROVISIONS

Section 1.1 Relationship to Other Regulations. This charter is supplementary to Title 3 Mercer Island City Code (“MICC”) and applicable WA State laws codified in the Revised Code of Washington (“RCW”).

Section 1.2 Responsibilities of HWG. The members of the Comprehensive Plan Housing Work Group accept the responsibility of the office and declare their intention to execute the duties defined under state law, city code, and these bylaws to the best of their ability and to respect and observe the requirements established by the City Council.

Section 1.3 Term. The HWG term shall terminate on June 20, 2024, or immediately after an initial draft of proposed amendments to Comprehensive Plan housing goals and policies is provided to the Planning Commission, whichever comes first; unless the City Council extends it.

ARTICLE II DUTIES OF HWG, MEMBERS, AND CHAIR

Section 2.1 Duties and Responsibilities of HWG. The HWG shall undertake the duties and responsibilities defined in this charter. The duties of the HWG shall be limited to those enumerated below:

1. Review findings of the Mercer Island Housing Needs Assessment as well as direction and guidance from the State Department of Commerce, Puget Sound Regional Council and the King County Countywide Planning Policies related to planning for housing supply and affordability.
2. Receive input from stakeholders on possible housing goal and policy amendments;
3. Prepare an initial draft of amendments to the Comprehensive Plan housing goals and policies; and

4. Provide additional commentary on housing issues to the Planning Commission and City Council.

Section 2.2 Members. The HWG shall consist of 4 members: 2 selected from among the members of the City Council and 2 selected from among the members of the Planning Commission. Each body shall determine their method for selecting members to serve on the HWG. Membership on the HWG shall be limited to existing members of each body. The term of each member will expire on June 30, 2024, unless extended by the City Council. Vacancies occurring other than through the expiration of terms shall be filled by a member of the same body the vacated seat was selected from.

Section 2.3 Chair and Duties. The HWG shall select a Chair to serve for the term of the HWG, who will be responsible for the following duties:

1. Run / Facilitate HWG meetings in a fair, efficient, productive, and informative manner;
2. Act as a spokesperson to City Council, Planning Commission, and when necessary, to the public and/or media; and
3. Work with Community Planning and Development staff on schedule / calendar and meeting agendas.

ARTICLE III MEETINGS

Section 3.1 Regular Meetings. A regular meeting schedule shall be established by the members of the HWG. Any regular meeting may be canceled or re-scheduled by the Chair or the Community Planning and Development Director

Section 3.2 Special Meetings. Special meetings of the HWG may be called by any of the following: the Chair, the City Manager, Community Planning and Development Director, or the Mayor.

Section 3.3 Attendance. Attendance at regular and special meetings is expected of all HWG members. Any member anticipating absence from a meeting should notify the Chair and staff liaison from the Community Planning and Development department.

Section 3.4 Decisions. Decisions will be made by consensus or by a majority vote of the members in attendance at a meeting.

Section 3.5 Open to the Public. All regular and special meetings of the HWG are open to the public. The scheduling and holding of all HWG meetings are to be done in accordance with this charter and Washington state law.

ARTICLE IV CONDUCT OF MEETINGS

- Section 4.1 Conduct. All meetings of the HWG shall be conducted in accordance with this charter and Washington state law. Where this charter fails to provide otherwise, the meetings shall be conducted in accordance with parliamentary rules and procedures in the most current edition of the Robert's Rules of Order.
- Section 4.2 Chair. The Chair shall preside at all HWG meetings and has the powers generally assigned such office in conducting the meetings. It shall be the Chair's duty to see that the transaction of HWG business is in accord with this charter and Washington state law. The Chair of the meeting shall be a full voting member but shall not initiate or second a motion.
- Section 4.3 Agenda Setting. An agenda for every regular meeting shall be prepared and distributed by the Community Planning and Development department to each member not less than 5 calendar days prior to the date of the meeting at which such agenda is to be considered. The agenda shall be accompanied with a complete copy of the unapproved minutes of the previous meeting, staff reports, and other materials as may pertain to the agenda.
- Section 4.4 Agenda Modification. All meetings shall be conducted in accordance with the agenda. To the extent it does not violate public notice requirements, the printed agenda of a regular meeting may be modified, supplemented, or revised at the beginning of the meeting by the affirmative vote of the majority of HWG members present.
- Section 4.5 Minutes. A staff liaison shall be provided by the Community Planning and Development department to prepare minutes of meetings and keep such record, attend to correspondence of the HWG, and perform such other duties as may be deemed necessary. Minutes of all regular meetings shall be kept and made part of a permanent public record. All actions of the HWG shall be considered conclusive as to general import as of the date of such action. Details of phraseology, conditions, etc., shall be subject to correction at the time of consideration and approval of the meeting minutes.

ARTICLE V PUBLIC INVOLVEMENT

- Section 5.1. Purpose. High quality public input is desired by the HWG and is needed to help inform the HWG's analysis, recommendations, and commentary. The HWG goals for public involvement are to:
1. Undertake a fair, meaningful, and effective outreach to stakeholders, with opportunities for interested parties to participate in a comfortable setting.

2. Use a consistent and adaptable process that allocates limited time efficiently and encourages input that is relevant, clear, and specific.

- Section 5.2 Time Limits. Time limits on public input can be established to allow for the efficient use of the HWG's time. The HWG shall have the discretion to determine speaking times as needed.
- Section 5.3 Conduct. The public may address the HWG only after being recognized by the Chair of the meeting. All speakers must give their names. If audience dialogue becomes disruptive, the Chair may recess the meeting or request that the meeting be adjourned.
- Section 5.4 Alternative Communication. To communicate with the HWG on a matter not scheduled for discussion, the public may communicate with the HWG in writing and/or speak during an optional portion of each meeting entitled "Appearances" near the beginning of the agenda. The HWG shall have the discretion to omit "Appearances" from the agenda. The Chair of the meeting shall endeavor to minimize the amount of cumulative redundant testimony by the public.

ARTICLE VI CONFLICT OF INTEREST, EX-PARTE CONTACT, AND APPEARANCE OF FAIRNESS DOCTRINE

- Section 6.1 Conflict of Interest. Chapter 42.23 RCW prohibits members from using their positions to secure special privileges or special exemptions for themselves or others. If an actual or perceived conflict of interest exists that affects the work of the HWG, it is the responsibility of each member to refrain from any prior discussion of such matter with other members of the HWG, to openly describe the issue, and then recuse him/herself from the meeting during the period of discussion and action thereon.

ARTICLE VII DISPOSITION OF DUTIES

- Section 7.1 Review Data and Guidance. Review findings of the Mercer Island Housing Needs Assessment as well as direction and guidance from the State Department of Commerce, Puget Sound Regional Council and the King County Countywide Planning Policies related to planning for housing supply and affordability.
- Section 7.2 Stakeholder Input. The HWG shall receive input on housing goals and policies from stakeholders during regular meetings. This input can be summarized by the HWG when providing commentary on the initial draft of amendments to Comprehensive Plan housing goals and policies.

- Section 7.3 Preparing an Initial Draft of Proposed Amendments to Comprehensive Plan housing goals and policies. The principal output of the HWG shall be an initial draft of amendments to Comprehensive Plan housing goals and policies. A majority of the HWG (3 members) must approve the initial draft of proposed amendments. The Chair will forward this initial draft to the Mercer Island Planning Commission. A selected member of the HWG will present the initial draft to the Planning Commission at a regular meeting of that body.
- Section 7.5 Additional Commentary. The HWG may include additional commentary with the initial draft of proposed amendments to Comprehensive Plan housing goals and policies. The additional commentary must be approved by a majority of the HWG. The additional commentary can include facts and rationale behind proposed amendments, housing issues in need of further discussion, and/or identify possible implementation actions to be considered following the Comprehensive Plan periodic review.
- Section 7.5 The City Council may request that the HWG reconvene to provide additional commentary or recommendations based on direction received from the Department of Commerce and/or King County related to “targets” for provision of housing of certain types or for certain segments of the population.

Mercer Island Comprehensive Plan Economic Development Work Group Charter

Adopted: March 15, 2022

MISSION

The Comprehensive Plan Economic Development Work Group (hereinafter “EDWG”) is appointed to advise the Planning Commission and City Council on the drafting of an Economic Development Element of the Comprehensive Plan. The EDWG will review data, public input, and develop a draft Economic Development Element in support of the periodic review of the Comprehensive Plan.

ARTICLE I GENERAL PROVISIONS

Section 1.1 Relationship to Other Regulations. This charter is supplementary to Title 3 Mercer Island City Code (“MICC”) and applicable WA State laws codified in the Revised Code of Washington (“RCW”).

Section 1.2 Responsibilities of HWG. The members of the Comprehensive Plan Economic Development Work Group accept the responsibility of the office and declare their intention to execute the duties defined under state law, city code, and these bylaws to the best of their ability and to respect and observe the requirements established by the City Council.

Section 1.3 Term. The EDWG term shall terminate on June 20, 2024, or immediately after an initial draft of Economic Development Element of the Comprehensive Plan is provided to the Planning Commission, whichever comes first; unless the City Council extends it.

ARTICLE II DUTIES OF EDWG, MEMBERS, AND CHAIR

Section 2.1 Duties and Responsibilities of EDWG. The EDWG shall undertake the duties and responsibilities defined in this charter. The duties of the EDWG shall be limited to those enumerated below:

1. Review findings of the Mercer Island Housing Needs Assessment as well as direction and guidance from the State Department of Commerce, Puget Sound Regional Council and the King County Countywide Planning Policies related to planning for housing supply and affordability.
2. Receive input from stakeholders on possible economic development goals and policies;

3. Prepare an initial draft of an Economic Development Element of the Comprehensive Plan; and
4. Provide additional commentary on economic development issues to the Planning Commission and City Council.

Section 2.2 Members. The EDWG shall consist of 4 members: 2 selected from among the members of the City Council and 2 selected from among the members of the Planning Commission. Each body shall determine their method for selecting members to serve on the EDWG. Membership on the EDWG shall be limited to existing members of each body. The term of each member will expire on June 30, 2024, unless extended by the City Council. Vacancies occurring other than through the expiration of terms shall be filled by a member of the same body the vacated seat was selected from.

Section 2.3 Chair and Duties. The EDWG shall select a Chair to serve for the term of the EDWG, who will be responsible for the following duties:

1. Run / Facilitate EDWG meetings in a fair, efficient, productive, and informative manner;
2. Act as a spokesperson to City Council, Planning Commission, and when necessary, to the public and/or media; and
3. Work with Community Planning and Development staff on schedule / calendar and meeting agendas.

ARTICLE III MEETINGS

Section 3.1 Regular Meetings. A regular meeting schedule shall be established by the members of the EDWG. Any regular meeting may be canceled or re-scheduled by the Chair or the Community Planning and Development Director

Section 3.2 Special Meetings. Special meetings of the EDWG may be called by any of the following: the Chair, the City Manager, Community Planning and Development Director, or the Mayor.

Section 3.3 Attendance. Attendance at regular and special meetings is expected of all EDWG members. Any member anticipating absence from a meeting should notify the Chair and staff liaison from the Community Planning and Development department.

Section 3.4 Decisions. Decisions will be made by consensus or by a majority vote of the members in attendance at a meeting.

Section 3.5 Open to the Public. All regular and special meetings of the EDWG are open to the public. The scheduling and holding of all EDWG meetings are to be done in accordance with this charter and Washington state law.

ARTICLE IV CONDUCT OF MEETINGS

Section 4.1 Conduct. All meetings of the EDWG shall be conducted in accordance with this charter and Washington state law. Where this charter fails to provide otherwise, the meetings shall be conducted in accordance with parliamentary rules and procedures in the most current edition of the Robert's Rules of Order.

Section 4.2 Chair. The Chair shall preside at all EDWG meetings and has the powers generally assigned such office in conducting the meetings. It shall be the Chair's duty to see that the transaction of EDWG business is in accord with this charter and Washington state law. The Chair of the meeting shall be a full voting member but shall not initiate or second a motion.

Section 4.3 Agenda Setting. An agenda for every regular meeting shall be prepared and distributed by the Community Planning and Development department to each member not less than 5 calendar days prior to the date of the meeting at which such agenda is to be considered. The agenda shall be accompanied with a complete copy of the unapproved minutes of the previous meeting, staff reports, and other materials as may pertain to the agenda.

Section 4.4 Agenda Modification. All meetings shall be conducted in accordance with the agenda. To the extent it does not violate public notice requirements, the printed agenda of a regular meeting may be modified, supplemented, or revised at the beginning of the meeting by the affirmative vote of the majority of EDWG members present.

Section 4.5 Minutes. A staff liaison shall be provided by the Community Planning and Development department to prepare minutes of meetings and keep such record, attend to correspondence of the EDWG, and perform such other duties as may be deemed necessary. Minutes of all regular meetings shall be kept and made part of a permanent public record. All actions of the EDWG shall be considered conclusive as to general import as of the date of such action. Details of phraseology, conditions, etc., shall be subject to correction at the time of consideration and approval of the meeting minutes.

ARTICLE V PUBLIC INVOLVEMENT

Section 5.1. Purpose. High quality public input is desired by the EDWG and is needed to help inform the EDWG's analysis, recommendations, and commentary. The EDWG goals for public involvement are to:

1. Undertake a fair, meaningful, and effective outreach to stakeholders, with opportunities for interested parties to participate in a comfortable setting.
2. Use a consistent and adaptable process that allocates limited time efficiently and encourages input that is relevant, clear, and specific.

Section 5.2. Time Limits. Time limits on public input can be established to allow for the efficient use of the EDWG's time. The EDWG shall have the discretion to determine speaking times as needed.

Section 5.3. Conduct. The public may address the EDWG only after being recognized by the Chair of the meeting. All speakers must give their names. If audience dialogue becomes disruptive, the Chair may recess the meeting or request that the meeting be adjourned.

Section 5.4. Alternative Communication. To communicate with the EDWG on a matter not scheduled for discussion, the public may communicate with the EDWG in writing and/or speak during an optional portion of each meeting entitled "Appearances" near the beginning of the agenda. The EDWG shall have the discretion to omit "Appearances" from the agenda. The Chair of the meeting shall endeavor to minimize the amount of cumulative redundant testimony by the public.

ARTICLE VI CONFLICT OF INTEREST, EX-PARTE CONTACT, AND APPEARANCE OF FAIRNESS DOCTRINE

Section 6.1. Conflict of Interest. Chapter 42.23 RCW prohibits members from using their positions to secure special privileges or special exemptions for themselves or others. If an actual or perceived conflict of interest exists that affects the work of the EDWG, it is the responsibility of each member to refrain from any prior discussion of such matter with other members of the EDWG, to openly describe the issue, and then recuse him/herself from the meeting during the period of discussion and action thereon.

ARTICLE VII DISPOSITION OF DUTIES

Section 7.1. Review Data and Guidance. Review findings of the Mercer Island Economic Analysis as well as direction and guidance from the State Department of

Commerce, Puget Sound Regional Council and the King County Countywide Planning Policies related to planning for housing supply and affordability.

- Section 7.2 Stakeholder Input. The EDWG shall receive input on the draft Economic Development Element of the Comprehensive Plan from stakeholders during regular meetings. This input can be summarized by the EDWG when providing commentary on the initial draft of an Economic Development Element of the Comprehensive Plan.
- Section 7.3 Preparing an Initial Draft of an Economic Development Element of the Comprehensive Plan. The principal output of the EDWG shall be an initial draft of an Economic Development Element of the Comprehensive Plan. A majority of the EDWG (3 members) must approve the initial draft Economic Development Element of the Comprehensive Plan. The Chair will forward this initial draft to the Mercer Island Planning Commission. A selected member of the EDWG will present the initial draft to the Planning Commission at a regular meeting of that body.
- Section 7.5 Additional Commentary. The EDWG may include additional commentary with the initial draft of an Economic Development Element of the Comprehensive Plan. The additional commentary must be approved by a majority of the EDWG. The additional commentary can include facts and rationale behind proposed amendments, economic development issues in need of further discussion, and/or identify possible implementation actions to be considered following the Comprehensive Plan periodic review.
- Section 7.5 The City Council may request that the EDWG reconvene to provide additional commentary or recommendations on matters pertaining to economic development.



BUSINESS OF THE CITY COUNCIL CITY OF MERCER ISLAND

AB 6075
May 3, 2022
Regular Business

AGENDA BILL INFORMATION

TITLE:	AB 6075: Puget Sound Regional Council (PSRC) General Assembly Voting Delegate	<input type="checkbox"/> Discussion Only <input checked="" type="checkbox"/> Action Needed: <input checked="" type="checkbox"/> Motion <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution
RECOMMENDED ACTION:	Appoint a PSRC General Assembly voting delegate	

DEPARTMENT:	City Council
STAFF:	Salim Nice, Mayor Andrea Larson, City Clerk
COUNCIL LIAISON:	n/a
EXHIBITS:	n/a
CITY COUNCIL PRIORITY:	n/a

AMOUNT OF EXPENDITURE	\$ n/a
AMOUNT BUDGETED	\$ n/a
APPROPRIATION REQUIRED	\$ n/a

EXECUTIVE SUMMARY

The purpose of this agenda bill is to appoint a voting delegate for the Puget Sound Regional Council (PSRC) General Assembly meeting on May 26, 2022.

BACKGROUND

The [Puget Sound Regional Council](#) (PSRC) develops policies and coordinates decisions about regional growth, transportation and economic development planning within King, Pierce, Snohomish, and Kitsap counties. The City of Mercer Island is a member of PSRC along with over 100 other members, including the four counties, cities and towns, ports, state and local transportation agencies and Tribal governments within the region.

ISSUE/DISCUSSION

PSRC's General Assembly will meet on May 26, 2022, to vote on major decisions, establish the budget, and elect new officers. All mayors, county executives, commissioners, and councilmembers of PSRC member jurisdictions and tribes have votes at the assembly and are encouraged to participate. PSRC needs at least one City of Mercer Island Councilmember to participate and be counted towards the quorum.

City Council is seeking to appoint one member of City Council as the voting delegate to attend the PSRC General Assembly on May 26, 2022 and vote on behalf of Mercer Island.

RECOMMENDED ACTION

Appoint Councilmember _____ as the voting delegate at the PSRC General Assembly in May.



**BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND**

**AB 6068
May 3, 2022
Public Hearing**

AGENDA BILL INFORMATION

TITLE:	AB 6068: 2023-2028 Six-Year Transportation Improvement Program Review and Public Hearing	<input checked="" type="checkbox"/> Discussion Only <input type="checkbox"/> Action Needed: <input type="checkbox"/> Motion <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution
RECOMMENDED ACTION:	Receive comments from public hearing and provide feedback to staff	

DEPARTMENT:	Public Works
STAFF:	Matt Mornick, Finance Director Patrick Yamashita, City Engineer/Deputy Public Works Director Clint Morris, Capital Division Manager Lia Klein, Transportation Engineer
COUNCIL LIAISON:	n/a
EXHIBITS:	<ol style="list-style-type: none"> Summary of Public Comments Received by April 21 Detail of Proposed Expenditures 2023-2028 Street Fund Forecast, as of April 2022 Project Descriptions Map of Proposed Roadway and PBF Improvements Map of Mercer Way Shoulder Improvements
CITY COUNCIL PRIORITY:	1. Prepare for the impacts of growth and change with a continued consideration on environmental sustainability.

AMOUNT OF EXPENDITURE	\$ n/a
AMOUNT BUDGETED	\$ n/a
APPROPRIATION REQUIRED	\$ n/a

SUMMARY

The purpose of this agenda bill is to conduct a public hearing on the 2023-2028 Transportation Improvement Program (TIP) and for the City Council to provide staff with feedback. Adoption of the TIP is scheduled for June 7.

- The previous 2022-2027 TIP was adopted by the Council on June 1, 2021.
- The public comment period is March 21 to June 7. A public hearing will be held during the May 3 Council meeting and will be continued to June 7.
- Program elements include residential and arterial street resurfacing, pedestrian and bicycle facilities, and East Link Traffic/Safety Mitigation projects.
- Projects pertaining to the ADA Transition Plan are included in the TIP.
- Priority for resurfacing projects is determined by the pavement condition index (PCI), a score from "Good" to "Failed" based on data collected over the entire roadway network.

- Staff will incorporate City Council feedback and return on June 7, 2022, for continuation of the public hearing and adoption of the TIP.

BACKGROUND

The Six-Year TIP is a planning tool used to identify specific projects that serve to maintain, preserve, and maximize use of the existing roadway and trail systems. The TIP balances revenues and expenditures within the Street Fund through programming and phasing construction of projects over a six-year period.

RCW 35.77.010 requires cities to formally adopt a TIP annually and submit it to WSDOT and the Puget Sound Regional Council (PSRC) by July 1. A public hearing on the draft TIP is a requirement of State law and is incorporated as part of the City Council meeting. Once the TIP is adopted, projects are budgeted and funded through the City's Capital Improvement Program (CIP) during the biennial budget process.

The TIP is also used to coordinate future transportation projects with needed underground utility improvements so that utility work is budgeted and programmed to occur prior to or in conjunction with roadway projects. All arterial street and pedestrian and bicycle facility (PBF) projects must be included in the TIP to be eligible for State and Federal funding.

The draft TIP is an update of the 2022-2027 version adopted by the City Council in June 2021. Individual projects/programs are combined, where feasible, to create economies of scale for construction. The draft TIP includes transportation improvement projects and programs in the following categories:

- A. Residential Street Preservation Program
- B. Arterial Street Improvements
- C. Pedestrian and Bicycle Facilities (PBF) – New
- D. East link Traffic/Safety Mitigation projects
- E. Other

At the May 3, 2022 meeting, the City Council will conduct a public hearing on the draft 2023-2028 TIP and provide feedback to staff to guide development of the final TIP. A final version of the 2023-2028 TIP will be presented for review and adoption at the June 7, 2022 City Council meeting.

DISCUSSION

PUBLIC COMMENTS

The public comment period runs for eleven weeks from March 21 to June 7, when the City Council adopts the TIP. Notices advertising the opportunity for public comment were posted on the City's website, in the Mercer Island Reporter (March 23 and March 30), the City's social media platforms ([Nextdoor](#) & [Facebook](#)), and on [Let's Talk](#). Additional information was available on the City's TIP webpage (www.mercergov.org/TIP). Let's Talk and the City's TIP webpage provide users with access to TIP maps, FAQs, and related information to learn more about the TIP process and to submit comments online.

Prior to the public hearing, a total of 26 public comments were received.

- Pedestrian and bicycle facilities projects (14 comments)
- Other transportation projects (9 comments)
- Non-TIP Related projects: (3 comments)

These comments are summarized in Exhibit 1. Public comment will also be taken during the public hearing.

STREET FUNDING

Street Fund revenues for the 2023-2028 planning period include:

RESOURCES	% OF TOTAL
Real Estate Excise Taxes (REET) Revenues	51%
State-shared Motor Vehicle Fuel Taxes (MVFT)	10%
MI Transportation Benefit District	8%
Transportation Impact Fees	1%
Interfund Transfers (Utility work within street projects)	11%
State Shared - Multimodal Transportation Fees	1%
Sound Transit Mitigation Fees	18%
Grant Opportunities (when available)	

Except for REET funding, all other revenues are dedicated solely to the Street Fund. One hundred percent of REET-1 revenues go to the Capital Improvement Fund to fund capital improvements including parks, open space, public building maintenance projects, and to pay debt service on construction of the Community Center. REET-2 revenues are split differently. Ten percent of REET-2 revenues are directed to the Capital Improvement Fund. The remaining 90 percent is committed to the Street Fund for construction and maintenance of streets and pedestrian and bicycle facilities.

MVFT is a fixed tax, currently making up 49.4 cents of the per gallon price of gasoline, diesel, and other fuels. It is not based on the dollar amount of the fuel, but rather on the volume of fuel sold. Hence, there is no revenue benefit from higher gas prices. The state shared revenue is distributed based on population and other set allocation methods.

MVFT is to be spent on salaries and wages, material, supplies, equipment, purchase or condemnation of right-of-way, engineering or any other proper highway or street purpose in connection with the construction, alteration, repair, improvement, or maintenance of any city street, bridge, viaduct, or under passage along, upon, or across such streets. The share of the motor vehicle fuel tax distributed to the City of Mercer Island is projected to decline overtime.

Like MVFT, Multimodal Transportation funds are a state shared revenue. Distributions are shared equally between cities and counties. The city portion is made on a per capita basis. In general, Mercer Island’s population grows at a slower rate than surrounding cities, so this revenue will remain flat if not slightly declining over time.

City Council adopted Ordinance No. 14C-11 directs vehicle license fees collected under the Transportation Benefit District (TBD) to the operation, preservation, and maintenance of principal arterials of regional significance, high-capacity transportation, and/or public transportation. Street Right of Way Maintenance and Operations, and arterial street improvements are the kind of projects typically funded with vehicle license fees.

Washington State law (RCW 82.02.050) specifies that Transportation Impact Fees are to be spent on “system improvements.” System improvements can include physical or operational changes to existing roadways, as well as new roadway connections. These are generally projects that add capacity (new streets, additional lanes, widening, signalization, etc.), but can also include bicycle, pedestrian, and transit-supportive projects

that provide capacity for future growth and are within the right of way of ‘streets and roads’ as defined by the Growth Management Act.

Past practice with funding transportation infrastructure improvements has been to utilize the more restrictive resources in the Street Fund – such as transportation impact fees – before using the less restrictive resources (such as REET-2 or revenues from the State’s Motor Vehicle Fuel Tax). This practice will continue, as outlined in the 2023-2028 TIP. For the current Street Fund balance, refer to Exhibit 3.

PROGRAM ELEMENTS

The following describes the TIP categories and follows the same order as the Detail of Expenditures in Exhibit 2. The proposed TIP projects fall under two main categories – “Preservation & Maintenance Projects” and “New Construction Projects”. The Capital Improvement Program includes a budget policy that prioritizes capital reinvestment projects (preservation & maintenance) over capital facilities projects (new facilities). Staff utilizes this policy as a guideline when prioritizing projects in the TIP to maintain a positive Street Fund balance. For specific project descriptions, refer to Exhibit 4. For a map of these projects, refer to Exhibit 5.

Preservation & Maintenance Projects

Residential Street Preservation Program

This program restores and resurfaces the City's 58 miles of public residential streets on an approximate 35-to 40-year cycle. Over the last 13 years, approximately 13 miles of residential streets have been resurfaced with a Hot Mix Asphalt (“HMA”) overlay and 2.8 miles have been resurfaced with a chip seal. This combined mileage accounts for almost 27% of the residential street network. HMA overlay construction for residential streets currently costs between \$350,000 and \$450,000 per road mile. Chip sealing, which was added to the program in 2012 and is currently being performed on a limited basis, currently costs approximately \$150,000 per road mile. The residential program also improves substandard streets in public right-of-way at the rate of roughly one per biennium, as the need arises. Selection and timing of residential resurfacing work is based on Pavement Condition Index (“PCI”) ratings performed every three years, as well as planned water, sewer, and storm drainage utility work. The most recent PCI ratings were collected in 2019 and are scheduled to be updated again in 2022 for use in the TIP update next year.

Arterial Street Improvements

This category provides preservation and improvement of the City's 25.5 miles of arterial streets on an approximate 25- to 30-year cycle. This includes the 2.6 miles of Town Center arterial streets. Project priorities are based on PCI, the need for underground utility improvements, condition of pedestrian and bicycle facilities, and timing of other large projects. These projects incorporate reinvestment in existing pedestrian and bicycle facilities. Residential street overlays are linked when feasible to arterial street projects to create an economy of scale. In the next six years, resurfacing projects are planned on portions of all three Mercer Ways, Gallagher Hill Road, SE 36th Street, SE 40th Street, and SE 27th Street.

New Construction Projects

Pedestrian and Bicycle Facilities (“PBF”)

This category improves and adds to the pedestrian and bicycle facilities network. Specific projects are based primarily on those identified in the 2010 PBF Plan, with input from the community and the School District. PBF “reinvestment” projects, such as asphalt overlays of existing pedestrian paths adjacent to arterial street improvements, are not included in this category. Rather, they are included in the scopes of their associated arterial street improvement projects. This category also includes ongoing program funding to implement

smaller scale PBF improvements and more recently, Americans with Disabilities Act (ADA) compliance improvements guided by the ADA Transition Plan. Additional ADA Transition Plan Implementation funding was added for 2023 and 2024 with a focus in the Town Center in preparation for the opening of the East Link Rail station.

The Roadside Shoulder Development Program was established in 2002 to create new paved shoulders suitable for pedestrian and bicycle use on the Mercer Ways. Since that time, numerous phases of work have been completed. While most of these have been on East Mercer Way, improvements have also been made on North and West Mercer Ways. Exhibit 6 shows the status of the Roadside Shoulder Development Program. Since 2003, the City has constructed at least one shoulder project per biennium, for a total investment of over \$4 million. The final two projects within the proposed 2023-2028 TIP will complete the Roadside Shoulder Development Program in 2026 for a lifetime program cost of approximately \$5.2 million. These two projects average \$611,000.

With the Roadside Shoulder Development Program concluding in 2026, the funding can be reallocated to other priority work. Staff proposes to shift approximately \$400,000 per biennium from these funds starting in 2028 to the ADA Transition Plan Implementation program. This allows the program to proceed without increasing the “bottom line”. The total investment outlined in the ADA Transition Plan is nearly \$40 million for the entire list of projects (right of way, parks, and buildings). The projects will be accomplished through a combination of specific ADA focused capital projects (e.g., ADA Transition Plan Implementation Project), other capital projects that include eliminating ADA deficiencies (e.g., a building renovation that also brings the space up to current ADA standards or an arterial street improvement that includes sidewalk replacement), and routine maintenance activities that also address ADA deficiencies. Other projects in the next three years that focus on addressing ADA deficiencies include the SE 40th Street Sidewalk Improvement (SP140), three sidewalk replacement projects in the town center (SP136: 80th Avenue Sidewalk from SE 27th to SE 32nd Streets, SP137: 78th Avenue Sidewalk from SE 32nd to SE 34th Streets, & SP147: SE 32nd Street from 77th to 78th Ave SE), and a focus on the ADA Transition Plan Implementation in the town center totaling \$3.1M. The three town center sidewalk replacements and ADA Transition Plan Implementation total \$2.9M and is proposed to be funded through Sound Transit mitigation dollars since the work will improve access for the public to the light rail station. These types of sidewalk replacement projects have not been common or needed in the past but are intended to improve accessibility with a focus in the town center where most of the City’s sidewalk exist.

East Link Traffic/Safety Mitigation Projects

This category was added in 2018 to reflect projects identified to mitigate traffic/safety concerns due to the I-90 center roadway closure and the opening of the East Link Light Rail station. Staff developed these projects based on the community’s feedback, analysis of traffic patterns, and anticipated needs for pedestrian/bicycle safety improvements on routes to the light rail station. The projects are funded through the Sound Transit Mitigation funds.

NEW PROJECTS AND CHANGES TO CONSIDER FROM THE PREVIOUS TIP

The following is a summary of the noteworthy changes incorporated into the draft 2023-2028 TIP. Refer to Exhibit 4 for a description of the projects in the draft 2023-2028 TIP.

Arterial Street Improvements

Arterial projects can vary in scope from substantial reconstruction (as seen on SE 40th Street in 2018), to hot mix asphalt overlays (East Mercer Way in 2019 and 2021), to chip seals (East Mercer Way in 2018). Staff

utilizes PCI data to help determine the scope, resurfacing method, and timing of arterial street projects. Arterial work for the next six years continues to focus on preserving existing facilities through hot mix asphalt (HMA) overlays which have service lives of 25 to 35 years on Mercer Island arterial streets.

- **SP130: West Mercer Way (SE 56th Street to East Mercer Way)** - This project was previously listed with two potential options – chip seal or hot mix asphalt overlay. The updated proposed project will use hot mix asphalt overlay in 2028 at the earliest, when the PCI rating for this roadway is expected to reach “fair” or “poor”.

Pedestrian and Bicycle Facilities (PBF)

- **SP141: ADA Transition Plan Implementation** – The project budget was moved to the East Link Traffic/Safety Mitigation Projects category for the 2023-2024 biennium to address high-priority ADA barriers in the Town Center near the East Link station. Funding will continue in the PBF category in 2026 and increased to \$400,000 per biennium starting in 2028.

East Link Traffic/Safety Mitigation Projects

- **SP142: Island Crest Way Corridor Improvements (90th Avenue SE to SE 68th Street)** – This new project is the outcome of the Island Crest Way Corridor Analysis presented to the Council in March 2022 ([AB6037](#)). The project includes several elements recommended by the safety analysis:
 - **Illumination Study:** Evaluate existing lighting levels, identify areas of deficiency, and propose improvements to bring vehicle and pedestrian lighting levels to standard.
 - **Shared-Use Path Pre-Design:** Site analysis, conceptual design, and cost estimate for a path along the east side of Island Crest Way for various users including cyclists.
 - **Crosswalk Improvements:** Design and construct pedestrian hybrid beacon at Island Park Elementary and Rectangular Rapid Flashing Beacons (RRFBs) at SE 53rd Place, SE 62nd Street, and SE 63rd Street.
 - **Design Feasibility Studies:** Planning level analysis and cost estimates for roadway reconfigurations including a roundabout at SE 68th Street and right turn lane at SE 53rd Place.
 - **Tree Condition Assessment:** Evaluate trees in the right-of-way for health, condition, and long-term viability.
- **SP136: 80th Avenue Sidewalk (SE 27th to SE 32nd Streets)** – This project was moved from the PBF Projects to the East Link Traffic/Safety Mitigation Projects. Sidewalk reconstruction on this street will improve pedestrian connectivity to the nearby East Link station.
- **SP137: 78th Avenue Sidewalk (SE 32nd to SE 34th Streets)** – This project was moved from the PBF Projects to the East Link Traffic/Safety Mitigation Projects. Sidewalk reconstruction on this street will improve pedestrian connectivity to the nearby East Link station.
- **SP144: SE 32nd Street Sidewalk (77th to 78th Avenues SE)** – This project was moved from the PBF Projects to the East Link Traffic/Safety Mitigation Projects. Sidewalk reconstruction on this street will improve pedestrian connectivity to the nearby East Link station.
- **SP141: ADA Transition Plan Implementation** – The project budget was increased for the 2023-2024 biennium to address high-priority ADA barriers in the Town Center. This will improve mobility to/from the East Link station.

Other

- SE 27th Street Realignment Study – This new project was added in 2023 at the direction of City Council from their annual planning session. The description states, “This project will include an assessment of 76th Avenue SE and SE 27th Street for a potential roadway realignment. The portion of the roadways under consideration run in front of Mioposto, the Boyd Building, and Starbucks in a ‘triangle configuration.’” This study will include an initial assessment to understand the “potential opportunities” and impacts of a roadway realignment. Safety and feasibility need to be evaluated. A community engagement process is also recommended as part of a capital project.

LOOKING AHEAD – UNFUNDED PEDESTRIAN AND BICYCLE FACILITIES (“PBF”) PROJECTS BEYOND 2028

Several PBF projects are unfunded pending further evaluation of scope, confirmation of need, and availability of funding. They include:

- 84th Ave SE Sidewalk Improvement (SE 33rd to 36th Streets) – Enhance existing gravel path with curb, gutter, and sidewalk to provide a “safe walk route” for Northwood Elementary and the High School. The estimated cost is approximately \$600,000.
- 86th Ave SE Sidewalk Improvement Phase 2 (SE 36th to SE 39th Streets) – Install curb, gutter, and sidewalk on east side of street, improve lighting, and include ADA ramps. The estimated cost is \$1.1M.
- 86th Ave SE Sidewalk Improvement (SE 42nd Street to Island Crest Way) – Install curb, gutter, sidewalk, ADA ramps and cycle track along east side of 86th Avenue where no walkway currently exists. Replace speed humps, signage, and pavement marking. This project would fill in a gap in the PBF network. The estimated cost is approximately \$2.6M.
- Merrimount Drive (Island Crest Way to West Mercer Way) – Sidewalk improvements on both sides of roadway, requested by the community, supports Safe Routes to School. The estimated cost is approximately \$630,000.
- 78th Ave SE (SE 40th to SE 41st Streets) – Install curb, gutter, sidewalk, and ADA ramps on west side of roadway where no walkway currently exists. Project is a gap completion in the PBF network. This may require right of way acquisition. The estimated cost is \$250,000.
- 92nd Ave SE Sidewalk Improvements (SE 40th to SE 41st Streets). - Install curb, gutter, sidewalk, and ADA ramps along the west side of 92nd Ave SE to provide a “safe walk route” for Northwood Elementary and the High School, as well as a bus stop location for Islander Middle School. The estimated cost is \$800,000. This project will complete a missing link on 92nd Avenue by connecting with sidewalks along the High School frontage, creating a continuous sidewalk from SE 40th to SE 42nd Streets. This project may be eligible for Transportation Improvement Board or Safe Routes to School Grant funding. This is a low/moderate priority for the School District. City and District staff will monitor the need and propose in a future TIP if warranted.

MOBILE ASSET DATA COLLECTION & PAVEMENT CONDITION RATINGS

As part of the ongoing effort to cost-effectively maintain the City’s street network, staff has contracted for pavement condition assessment of City roadways at regular intervals (completed in 2009, 2013, 2016, and 2019). The data collected produces a Pavement Condition Index (PCI) value for each of the over 700 segments of pavement within the City’s 83.5-mile public road network. This rating process is based on collecting visual pavement distress information and computing it into numerical deduction values which are subtracted from a highest possible score of 100, resulting in a PCI score between 0 and 100. These numerical scores are

bracketed into six condition ranges: Good (PCI 100-86), Satisfactory (85-71), Fair (70-56), Poor (55-41), Very Poor (40-26), and Failed (25-0).

The overall health of Mercer Island's road network can be determined by three general indicators: the average network PCI, the amount of network backlog (defined as a PCI below 40), and the amount of network in Good condition (PCI of 100-86).

PCI data from 2019 gave the City's road network an average PCI of 74. This is considered a slightly above-average grade in the pavement rating industry. The backlog was 4.0%, which is considered low (below 15% is desirable) and the amount of Good condition streets at 24% was considered somewhat high (should be at least 15%). Over the last six years, City road projects have repaved numerous streets in the Poor and Failed categories, which has significantly lowered the backlog. While pavement condition data since 2013 is showing a slight downward trend in the "Good condition" value, staff does not anticipate a large change in these three indicators in the next PCI data set.

Staff uses PCI information as the primary basis for prioritizing street resurfacing projects within the TIP. Other factors that are considered when scheduling roads for repaving are pending utility projects (storm drainage, water mains, natural gas work) and coupling with PBF improvements. Because pavement conditions change over time, data collection needs to be an ongoing process. Staff plans to collect PCI data again in the summer of 2022.

SUMMARY

Project schedules, details, and costs were updated from the 2022-2027 TIP. Street resurfacing projects were updated based on pavement conditions, timing with utility construction projects, and increasing material costs. The focus of much of the pedestrian facility improvements have shifted to the Town Center with the anticipation of increased pedestrian activity in the Town Center with the opening of the East Link station.

Public feedback was solicited via the City's various outreach platforms including Let's Talk and will be incorporated in the final development of the 2023-2028 TIP.

Staff is seeking general feedback on the draft 2023-2028 TIP, in addition to conducting the public hearing. The TIP is scheduled for adoption on June 7.

NEXT STEPS

Development of the final TIP based on feedback from the Council. Continue public hearing and present the updated TIP to the Council on June 7, 2022 for final adoption.

RECOMMENDED ACTION

Receive comments from the public hearing and provide feedback to staff.

Submissions from 2023-2028

TIP Public Comment

(All comments received by April 21)

Submission No.	Category	Location	Comment/Suggestion	Date Submitted
1	Other Transportation Project	76th Avenue SE & SE 27th Street	There aren't enough pedestrian crossings on this section of 76th Ave/27th St. Many people jaywalk at the 2 intersections by the drive-through starbucks.	3/27/2022
2	Pedestrian and Bicycle Project	Sunset Hwy & 77th Avenue SE	The intersection of Sunset Hwy and 77th Ave SE is generally unsafe for pedestrians. Cars are going about 30 mph with little indication pedestrians may be crossing here. There is an orange flag provided for crossing but holding this up is kind of embarrassing. I would love for this to be a controlled intersection, ideally more narrow so pedestrians can spend less time in the road. I would also love to see street design that would force cars to drive more slowly, such as a narrower street or a roundabout.	3/27/2022
3	Pedestrian and Bicycle Project	76th Avenue SE & SE 27th Street	Cars often move quickly when driving south on 76th, turning right to continue south as the road bends. Vehicles sometimes take this turn at over 30 mph! I would love to see a better intersection design here- perhaps a sharper turn to require cars to slow down before turning.	3/27/2022
4	Pedestrian and Bicycle Project	76th Avenue SE & SE 27th Street	The current pedestrian crosswalk is about 60 feet wide here, at the existing pedestrian crossing on the west side of 76th Ave SE (going from the north-west side, near hadley, to the south-west side, near Engel and Volkers.) This seems excessively wide. It's especially painful to see the old people that live in buildings nearby take about 30 seconds to cross the road. This crossing should be made more narrow, perhaps with a narrower street or a pedestrian island.	3/27/2022
5	Pedestrian and Bicycle Project	77th Avenue SE between SE 27th Street & Sunset Hwy	77th Ave has insufficient bicycle accommodations; there is no easy place to ride between the light rail station and 27th st, and only narrow painted bike lanes south of 27th st to mercerdale park. The narrow painted bike lanes are also planned for removal (replaced by onstreet parking.) Because this street provides direct access to the I-90 trail and the future light rail station, this road should have bicycles as a major consideration. I would love to see fully protected bike lanes similar to 2nd ave in downtown seattle.	3/27/2022
6	Pedestrian and Bicycle Project	76th Avenue SE between SE 27th Street & N Mercer Way	76th Ave between N. Mercer Way and 27th St does not have any bicycle accommodation. This is a major connecting route between the I-90 trail and the Town Center. I would love to see fully protected bike lanes similar to 2nd ave in downtown Seattle.	3/27/2022
7	Pedestrian and Bicycle Project	Mercerwood Drive	Protect the shoulder better for pedestrians - it is pretty dangerous for kids to walk to school up Mercerwood as cars go quite fast and there is zero barrier between them and the cars.	4/12/2022
8	Other Transportation Project	84th Avenue SE	Constant speeding cars making this straight section of street along 84th Ave SE unsafe for kids and pets (and other drivers). I requested speed bumps but was told a traffic assessment would start soon? I would love an update. Lots of "drag race" style acceleration and dangerous close calls.	4/14/2022
9	Other Transportation Project	84th Avenue SE	Speeding cars make walking up and down this hill tough, especially at night. Need street lights and speed bumps. The "path" in the wooded area is not a safe walkway so people "chance it" along the side of the street. Terrifying.	4/14/2022
10	Other Transportation Project	84th Avenue SE	This street has no streetlights at night. This makes being a pedestrian dangerous at night, especially in the sections with exposed ditches for drainage and no curb.	4/14/2022
11	Other Transportation Project	84th Avenue SE	84th Ave SE needs street lights. This stretch has a lot of pedestrian traffic consisting of kids and pets, but speeding cars make it dangerous.	4/14/2022
12	Pedestrian and Bicycle Project	Island Crest Way between SE 68th Street to SE 71st Street.	Please add a short gravel walkway (~20 yards) connection from the SE Quadrant of Pioneer Park to the street at SE 72nd Pl. Walking north on SE 72nd Pl, pedestrians must walk directly on Island Crest Way (which is dark and narrow here) to get to the safe walkway in SE Pioneer Park. A short gravel connection would make the area safer for students (there is a school bus stop here at ICW and 72nd PL) and pedestrians. 72nd Pl has many pedestrian pathways that connect all the way to East Mercer Way (and to Clarke Beach), so this short gravel path would be a positive impact many in our community. Thank you!	4/20/2022
13	Pedestrian and Bicycle Project	Island Crest Way between Pioneer Park to SE 72nd Place	Please consider adding a walkway (gravel) along Island Crest Way from 68th St. SE to 71st St. SE on the west side of Island Crest Way. This is a busy area with lots of traffic- especially at the 4 way stop. This inexpensive walkway along West ICW would add a safe way to get to Pioneer Park and the South end shops so pedestrians don't have to "zig zag" across ICW at the 71st St. location. Thank you for making MI safer for pedestrians.	4/20/2022
14	Other Transportation Project	Island Crest Way & SE 68th St	A wider, roundabout at this intersection, with bright white paint pedestrian crossing lines would make this intersection safer. Trim trees back and add street lighting. Bonus: An art sculpture, placed in the middle of the new roundabout, would be a welcome addition!	4/21/2022
15	Pedestrian and Bicycle Project	SE 40th Street & 95th Ave SE	add ped/bike path from SE 40th to SE 36th street, to better connect Mercerwood to City Hall, I-90 trail, Gallagher Hill, and the preschools along SE 36th St.	4/21/2022
16	Other Transportation Project	E Mercer Way & SE 36th Street	add striping/signage to N/S crosswalk, in front of JCC/FASPS driveway. There is very prominent signage across EMW, but without equivalent signage in front of JCC/FASPS driveway, drivers entering/leaving JCC/FASPS often fail to yield to pedestrians.	4/21/2022
17	Pedestrian and Bicycle Project	SE 44th Place & E Mercer Way	add wayfinding from SE 44th pl going down to MSC. There is no sign in this direction to show that it's a public path	4/21/2022

Submission No.	Category	Location	Comment/Suggestion	Date Submitted
18	Pedestrian and Bicycle Project	Crestwood Place & 95th Ave SE	add wayfinding from Crestwood pl to path down to 95th Ave SE; there is no signage in this direction to indicate it's a public path	4/21/2022
19	Pedestrian and Bicycle Project	E Mercer Way between SE 36th St & SE 40th St	eliminate parking along narrow sections of EMW shoulder except in inclement weather. if cars are parked, there is not enough space for pedestrians to walk past without stepping into oncoming traffic lanes. As they're stepping out from behind parked cars, they are not very visible and create many unsafe situations. alternatively, re-strip EMW so that there is narrow shoulder on both east and west side - too narrow to park on, but wide enough to allow pedestrians to walk. add signage reminding cyclists that they should use the roadway and leave the shoulder for pedestrians.	4/21/2022
20	Non TIP	91st Ave SE & SE 45th St	add pedestrian trails through Hollerbach open space. Safe, green walking trails separate from roads greatly enhance the character of the island!	4/21/2022
21	Other Transportation Project	80th Ave SE & I-90	make 80th Ave one-way (southbound), so carpool lane turns LEFT (towards majority of island) rather than RIGHT (towards P&R). Make bus-only connection from 80th Ave to Sunset Hwy. This would allow buses to circulate CCW around light rail, making all right turns. This would minimize traffic congestion from the buses, avoid any	4/21/2022
22	Non TIP	W Shorewood Dr & W Concord Way	recover ULB park to Shorewood trail. This trail used to exist, and is shown on some maps (inc this one), but it is not well-maintained and signage in Shorewood suggests it is not a public trail.	4/21/2022
23	Pedestrian and Bicycle Project	SE 40th Street & E Mercer Way	add wayfinding. SE 40th St heading EB from EMW is public, but state of road and lack of wayfinding suggests it's private	4/21/2022
24	Pedestrian and Bicycle Project	SE 40th Street & E Mercer Way	trail to complete access to Lake. SE 40th right of way goes to lake. A simple section of trail + bench would create a nice neighborhood destination for walkers. The street end parks on west side of MI are a treasure, and yet this is one on the east side that is completely inaccessible/unsigned.	4/21/2022
25	Non TIP	Islandwide	Serious enforcement traffic rules on bikers (stopping & signaling at intersection, staying in own bike marked lane - don't take up entire traffic lane by biking next to each other, don't litter residential property and lanes - carry litter bag).	4/22/2022
26	Other Transportation Project	Islandwide	Clearly mark bike lanes, widen car lanes.	4/22/2022

SIX-YEAR TRANSPORTATION IMPROVEMENT PROGRAM

Detail of Proposed Expenditures for 2023 - 2028

						Project Costs with Inflation Factor					
PROJECTS	PROJECT ID	PROJECT MNGR	STATUS	COMMENTS	2023	2024	2025	2026	2027	2028	TOTAL
PRESERVATION AND MAINTENANCE PROJECTS											
A. Residential Streets Preservation Program											
Residential Street Resurfacing	SP127	Street Engineer		Annual program to resurface residential streets.	900,000	919,943	939,886	959,829	979,772	999,714	5,699,143
A. Subtotal Residential Streets Preservation Program					\$900,000	\$919,943	\$939,886	\$959,829	\$979,772	\$999,714	\$5,699,143
B. Arterial Streets Improvements											
Arterial Preservation Program	SP128	Street Engineer		Annual program to extend life of arterial streets through targeted repairs and patching.	75,000	76,662	78,324	79,986	81,648	83,310	474,929
North Mercer Way (7500 to Roanoke)	SP129	Street Engineer		Resurface pavement with HMA overlay.	616,362	-	-	-	-	-	616,362
West Mercer Way (SE 56th - EMW)	SP130	Street Engineer	Modified	Resurface with HMA overlay. Timing may change pending updated PCI in Q4 2022.	-	511,079	-	-	-	2,152,610	2,152,610
Gallagher Hill Road (SE 36th - SE 40th)	SP131	Street Engineer		Resurface with HMA overlay. Tied to SP139.	-	76,662	510,671	-	-	-	587,333
SE 40th (88th Ave SE - 93rd Ave SE)	SP132	Street Engineer		Resurface with HMA overlay. Tied to SP140.	51,108	51,108	365,511	-	-	-	416,619
SE 36th St (Gallagher Hill Rd - EMW)	SP133	Street Engineer		Resurface with HMA overlay. Minor sidewalk repairs included.	-	-	610,926	-	-	-	610,926
North Mercer Way (8400 - SE 35th)	SP134	Street Engineer		Resurface with HMA overlay. Includes SE 26th Street (ICW - 84th Ave SE)	-	-	-	800,924	-	-	800,924
SE 27th St (76th Ave SE - 80th Ave SE)	SP135	Street Engineer		Resurface with HMA overlay (Town Center). Costs updated.	-	668,492	-	-	-	-	668,492
East Mercer Way (SE 36th St. - SE 40th St.)	SP150	Street Engineer		Resurface with HMA overlay. Costs updated.	-	-	-	-	424,568	-	424,568
B. Subtotal Arterial Street Improvements					\$691,362	872,924	1,565,432	880,909	506,215	2,235,919	\$6,752,762
NEW CONSTRUCTION PROJECTS											
C. Pedestrian and Bicycle Facilities (PBF) - New Facilities											
West Mercer Way Roadside Shoulders - Ph 4 (8100 WMW - 8400 EMW)	SP138	Street Engineer		Paved shoulder along northbound lane, gap completion.	-	690,979	-	-	-	-	690,979
Gallagher Hill Sidewalk Impr (SE 36th - SE 40th)	SP139	Street Engineer		New sidewalk, gap completion. In conjunction with resurfacing project SP131. TIB grant eligible.	-	102,216	406,240	-	-	-	508,455
SE 40th Sidewalk Impr (Gallagher Hill - 93rd Ave SE)	SP140	Street Engineer	Modified	Replace/improve existing sidewalk, construct bike lanes supporting SRTS. TIB or SRTS grant eligible. Highest priority for MISD. Cost updated. Tied to SP132.	81,773	81,773	915,866	-	-	-	997,639
ADA Transition Plan Implementation	SP141	Transp. Engineer	Modified	Plan, enhance, and construct pedestrian facility improvements to comply with the ADA Transition Plan. See section D for 2023-2024 budget. \$200K for 2026 biennium. \$400K/biennium starting in 2028.	-	-	-	213,295	-	444,318	657,613
PBF Plan Implementation	SP145	Transp. Engineer		Annual program to identify, prioritize, design and construct small spot improvements and gap completion projects to pedestrian and bicycle facilities citywide, as identified in the PBF Plan.	100,000	52,216	104,432	54,432	108,864	-	313,295
77th Ave SE channelization (SE 32nd - North Mercer Way)	SP146	Transp. Engineer		Placeholder to remove bike lanes, create on-street parking and add sharrows to comply with street design standards in MICC 19.11.120 if Town Center Parking Study does not result in changes to street design standards.	-	-	-	53,324	-	-	53,324
East Mercer Way Roadside Shoulders - Ph 11 (SE 79th St. to 8400 block)	SP148	Street Engineer		Final phase of Mercer Ways Roadside Shoulders project.	-	-	-	531,105	-	-	531,105
C. Subtotal Pedestrian and Bicycle Facilities (PBF) - New Facilities					\$100,000	\$874,968	\$1,426,538	\$797,724	\$108,864	\$444,318	\$3,752,411

B. Subtotal Arterial Street Improvements					\$691,362	872,924	1,565,432	880,909	506,215	2,235,919	\$6,752,762
NEW CONSTRUCTION PROJECTS											
D. East Link Traffic Safety/ Mitigation Projects											
Island Crest Way Corridor Improvements (90th Ave. SE-SE 68th St.) • Illumination Study • Shared-Use Path Pre-Design • Crosswalk Improvements Project (53rd Pl, school exit, SE 62nd St, SE 63rd St) • Design Feasibility Study (right turn lane on SE 53rd Pl., roundabout at SE 68th St) • Corridor Tree Condition Assessment.	SP142	Transp. Engineer	New	Implementation of recommendations from ICW Corridor Safety Analysis.	402,000	1,124,375	-	-	-	-	1,526,375
80th Avenue Sidewalk (SE 27th - SE 32nd)	SP136	Transp. Engineer	Modified	Replace existing curb, sidewalk & ADA ramps. Replace street trees and street lighting. Moved to East Link Mitigation category.	1,376,000	-	-	-	-	-	1,376,000
78th Avenue Sidewalk (SE 32nd - SE 34th)	SP137	Transp. Engineer	Modified	Replace existing curb, sidewalk & ADA ramps. Replace street trees and street lighting. Moved to East Link Mitigation category.	-	76,662	702,826	-	-	-	779,488
SE 32nd St. (77th to 78th Ave. SE) sidewalk replacement	SP147	Transp. Engineer	Modified	Replace wide sidewalk area adjacent to Mercerdale Park due to tree damage. Includes replacement of street trees and ADA improvements. Combine project with SP137 for economy of scale.	-	51,108	273,611	-	-	-	324,719
North Mercer Way - MI P&R Frontage Improvements	SP144	TBD		Remove bus bay on north side of NMW, widen trail to meet current std for multi-use facility, provide mixing zone at 80th Ave SE crossing, improve sight lines at western driveway access. Relocate street lighting, add landscape area.	-	1,203,081	-	-	-	-	1,203,081
ADA Transition Plan Implementation	SP141	Transp. Engineer	Modified	Plan, enhance, and construct pedestrian facility improvements to comply with the ADA Transition Plan. 2023-2024 focus in town center. \$200k per year for projects focused in the Town Center near the East Link station. Moved to East Link Mitigation category.	200,000	204,432	-	-	-	-	404,432
D. Subtotal East Link Traffic Safety/ Mitigation Projects					1,978,000	2,659,657	976,437	-	-	-	\$5,614,094
E. Other											
Minor Capital - Traffic Operations Improvements	SP143	Transp. Engineer		Minor transportation improvements to address traffic operation and safety issues and concerns.	100,000	-	104,432	-	108,864	-	313,295
Pedestrian & Bicycle Facilities Plan Update	SP149	Transp. Engineer		Current 2010 PBF Plan is out of date and was a modest update to the original 1996 plan. Comprehensive update will incorporate ADA Transition Plan, evaluate projects and priorities based on current standards, and provide a roadmap and foundation for future improvements. Staff will pursue grant opportunities where possible.	-	-	-	186,633	190,511	-	377,144
SE 27th Street Realignment Study	SPXXX	TBD/CPD	New	Assessment of 76th Ave. SE and SE 27th Street in Town Center for potential roadway realignment to remove "big bend", replace with parking or parklet. Assessment includes identification of potential opportunities and impacts of realignment.	75,000	-	-	-	-	-	75,000
E. Subtotal Other					100,000	\$0	\$104,432	\$186,633	\$299,375	\$0	690,440
F. Non-TIP Related Operations					465,000	476,625	488,541	500,754	513,273	526,105	2,970,298
F. Subtotal Non-TIP Related Operations					\$465,000	\$476,625	\$488,541	\$500,754	\$513,273	\$526,105	\$2,970,298
TOTAL PROJECT COSTS					\$4,234,362	\$5,804,116	\$5,501,265	\$3,325,850	\$2,407,498	\$4,206,056	\$25,479,147

SIX-YEAR TRANSPORTATION IMPROVEMENT PROGRAM

Street Fund Balance - as of April 2022*

2023 - 2028

RESOURCES (\$ in thousands)	COMMENTS	2022	2023	2024	2025	2026	2027	2028
Beginning Fund Balance		\$6,214	\$8,345	\$9,712	\$9,487	\$8,750	\$9,153	\$10,259
Revenues								
Real Estate Excise Tax	<i>RCW 82.46.010</i>	2,253	2,298	2,344	2,391	2,439	2,488	2,538
Fuel Tax	<i>RCW 47.24.040</i>	429	470	466	461	456	452	447
MI Transportation Benefit District (TBD)	<i>MI Ordinance 14C-11 (Oct 2014)</i>	375	375	375	375	375	375	375
Transportation Impact Fees	<i>MI Ordinance 16C-01 (Jan 2016)</i>	75	65	65	65	65	65	65
Interfund Transfers	<i>Utility work within street projects</i>	526	513	583	658	566	300	540
State Shared - Multimodal Transportation	<i>ESSB 5987 (July 2015)</i>	34	34	34	33	33	33	32
Mitigation - Sound Transit	<i>Ends December 2025</i>	200	1,958	2,402	935	0	0	0
Total Revenues		\$3,893	\$5,714	\$6,269	\$4,918	\$3,934	\$3,712	\$3,997
Total Street Fund Resources		\$10,107	\$14,058	\$15,981	\$14,406	\$12,685	\$12,865	\$14,256

EXPENDITURES (\$ in thousands)	COMMENTS	2022	2023	2024	2025	2026	2027	2028
A. Residential Streets Preservation Program		900	900	933	966	998	1,031	1,064
B. Arterial Street Improvements		75	678	1,510	1,608	916	533	2,334
C. Pedestrian & Bicycle Facilities - New		50	100	1,094	1,465	830	115	473
D. East Link Traffic/Safety Mitigation Projects		200	1,958	2,402	935	0	0	0
E. TIP Other		0	175	0	107	194	315	0
F. Operations Other	<i>Non-TIP Related Work</i>	538	535	554	574	593	613	632
Total Expenditures		\$1,763	\$4,346	\$6,494	\$5,655	\$3,532	\$2,606	\$4,503
Ending Fund Balance (including reserves)		\$8,345	\$9,712	\$9,487	\$8,750	\$9,153	\$10,259	\$9,753

FUND RESERVES AND DESIGNATIONS (\$ in thousands)	COMMENTS	2022	2023	2024	2025	2026	2027	2028
Minimum Operating Fund Balance	<i>45-day minimum updated annually</i>	90	94	97	101	105	109	114
Impact Fees Collected	<i>Applied to eligible projects</i>	527	581	502	218	201	231	296
Ending Fund Balance (available after reserves)		\$7,727	\$9,037	\$8,888	\$8,431	\$8,847	\$9,918	\$9,343

*Pending further analysis

Note: Expenditure estimates include inflation factor based on the ENR Construction Cost Index (CCI).

Note: Slight differences may occur due to rounding.

SIX-YEAR TRANSPORTATION IMPROVEMENT PROGRAM

Project Descriptions (2023-2028)

[SP127] - Residential Street Resurfacing

Historically, this program consists of hot mix asphalt (HMA) overlays on an average of 1.0 mile of residential streets annually. The HMA overlay program began in 1989. Prior to that, the City's primary pavement resurfacing program was chip sealing and slurry sealing. In 2011, the City returned to using chip sealing (on a limited basis) as another tool for street pavement preservation. To date, chip seal projects have been performed in 2011, 2013, and 2018. The Residential Street Preservation Program also improves about one substandard street per biennium, as the need arises.

The City's pavement condition data is an integral part of determining the locations and schedule of future residential street asphalt overlays and chip seal work. Pavement Condition Index (PCI) data was collected in 2013, 2016, and 2019 and is planned again for collection in 2022. When PCI falls below a score of 70, staff considers a roadway for resurfacing. For roadways with resurfacing needs that also have pending utility work (storm drainage, new water main, etc.), these roadways are typically scheduled for paving in the years following completion of that major utility work. The timing and limits of residential street resurfacing work in future TIPs may change, as determined by updated pavement condition information.

Some of the residential roadways planned for future HMA repaving are listed below. Other roadways may be added or the timing of these streets below may change based on when and where water main construction, storm drainage construction, franchise utility work, and major housing projects occur.

- In 2023, roadways in the south end neighborhood of Island Point (84th Avenue, SE 80th and SE 82nd Streets) will be resurfaced, as well as SE 78th Street in front of Lakeridge Elementary School. These roadways have PCI's ranging from Fair to Very Poor to Failed. In addition, the Madrona Crest West area (SE 36th, SE 37th, SE 39th Streets, and 86th Avenue) is planned for an HMA overlay. These roadways were significantly impacted by City watermain construction in 2016. Staff has been delaying this work due to a large number of housing redevelopment projects in the neighborhood and the utility cuts and driveway work that is associated with new home construction.
- For 2024, the Madrona Crest East neighborhood (bounded by 88th and 90th Avenues, and SE 36th and SE 40th Streets) will received HMA paving following a large watermain replacement project in that same neighborhood, scheduled for construction in 2022. Current PCI's for this area range from Fair to Very Poor to Failed. In addition, portions of SE 27th Street and 74th Avenue on First Hill will be repaved after watermain replacement work.
- In 2025, the neighborhood streets comprised of SE 60th and SE 61st Streets and 90th, 92nd, 93rd, and 94th Avenues (east of Island Crest Way) are planned for repaving. PCI's of these roads are in the Fair, Poor, and Very Poor ranges. Additionally, portions of SE 47th Street,

84th Avenue, and 86th Avenue, lying west of Island Crest Way will be repaved. These roadway PCI ratings range from Fair to Very Poor to Failed.

- Potential roadways to resurface in 2026 include SE 58th and SE 59th Streets and 91st Avenue (lying east of Island Crest Way) and several streets in the First Hill neighborhood, including portions of 70th, 71st, and 74th Avenues.
- For 2027 and 2028, likely residential paving work will occur in the Mercerwood neighborhood on portions of 93rd, 94th, 95th, 96th, and 97th Avenues, following watermain replacement work.

Arterial Street Improvements

- **[SP128] Arterial Preservation Program** work continues annually. The purpose of this program is to extend the life of arterial streets proactively, by repairing isolated pavement failure areas through crack sealing, square cut patching, and grinding and repaving of full-lane-width segments. Crack sealing extends the life of existing pavements by sealing out water intrusion.
- **[SP129] North Mercer Way (7500 block to Roanoke Way)**. This project will resurface North Mercer Way with an HMA overlay in 2023. The roadway was last repaved in 1994 and its current PCI ratings are in the Fair and low Satisfactory ranges. Work scope will include repaving the roadway and the adjacent eastbound pedestrian shoulder.
- **[SP130] West Mercer Way (SE 56th Street to East Mercer Way)** is planned for resurfacing in 2028 with hot mix asphalt overlay. This roadway was last repaved in 1995 with an HMA overlay. Its current PCI's are in the low Satisfactory range and its condition will continue to slowly decline. Patching and crack sealing have both been performed in recent years. This is a placeholder for paving. The actual timeframe could be later and will be determined based on updated PCI's.
- **[SP131] Gallagher Hill Road (SE 36th Street to SE 40th Street)** is proposed for resurfacing with an HMA overlay in 2025. Last repaved in 1988, Gallagher Hill Road's current PCI rating is in the Fair range and staff believes that by 2025 its rating could decline to Poor.
- **[SP132] SE 40th Street (88th Avenue SE to 93rd Avenue SE)**. This project will resurface SE 40th Street with a grind and HMA overlay process. It is planned for 2025, after completion of nearby water main replacement projects in 2022 and 2024. Paving will be couple with the SE 40th Street sidewalk improvements from Gallagher Hill Road to 93rd Avenue SE [SP140]. Sidewalks and bike lanes between 88th Avenue SE and Gallagher Hill Road were constructed in 2018.
- **[SP133] SE 36th Street (Gallagher Hill Road to East Mercer Way)**. This project will resurface SE 36th Street with an HMA overlay in 2025. This roadway was rebuilt in the mid 1980's by WSDOT as part of the I-90 freeway improvements. Its current PCI rating is Fair; but is expected to decline further in the coming years. This pavement has performed well, but will be nearly 40 years old in 2025, and will need resurfacing. Project elements will also include sidewalk repairs for ADA compliance.

- **[SP134] North Mercer Way (8400 Block to SE 35th Street).** This project will resurface North Mercer Way with an HMA overlay in 2026. Work will also include sidewalk repairs for ADA compliance and resurfacing of nearby SE 26th Street (Island Crest Way to 84th Avenue). This portion of North Mercer was last repaved in 1994 by WSDOT at the end of the I-90 freeway construction. While its PCI ratings are in the Satisfactory and Fair ranges, staff believes PCI's will drop into the Poor range by 2025, after completion of the upcoming King County North Mercer Interceptor Sewer pipe project.
- **[SP135] SE 27th Street (76th Avenue SE to 80th Avenue SE)** will resurface SE 27th Street from 76th Avenue to 80th Avenue in the Town Center with a grind and HMA overlay of the existing roadway in 2024, after construction of the light rail station is complete. This roadway was last resurfaced in 1994 and its current PCI is in the Fair range.
- **[SP150] East Mercer Way (SE 36th Street to SE 40th Street).** This project will resurface this portion of East Mercer Way with a HMA overlay in 2027. Last repaved in the mid-1980's by WSDOT, this roadway's current PCI is in the low Satisfactory range and staff believes it will drop to Fair by 2027.

Pedestrian and Bicycle Facilities – New

- **[SP138] West Mercer Way Roadside Shoulders – Phase 4 (8100 WMW - 8400 EMW).** This project will build a new paved shoulder from the 8100 block of West Mercer Way around the south tip of the Island to the 8400 block of East Mercer Way. Construction is planned for 2024. This is the final phase of West Mercer Way shoulder development.
- **[SP139] Gallagher Hill Road Sidewalk Improvement (SE 36th Street to 40th Street).** This project will complete a gap in the City's sidewalk infrastructure on Gallagher Hill Road by connecting SE 40th Street to the SE 36th Street/North Mercer Way intersection at the bottom of Gallagher Hill. The project, proposed for construction in 2025, will build concrete curb, gutter, and sidewalk along the east side of the roadway in conjunction with the planned resurfacing of Gallagher Hill Road [SP131].
- **[SP140] SE 40th Street Sidewalk Improvements (Gallagher Hill Road to 93rd Avenue SE).** Proposed for construction in 2025, this project will build concrete curb, gutter, sidewalk, and bike lane along the south side of SE 40th from Gallagher Hill Road to 93rd Avenue SE, and along the north side from Gallagher Hill Road to Greenbrier Lane. This project will complete the PBF infrastructure along SE 40th Street between Island Crest Way and Mercerwood Drive by providing continuous, uniform sidewalk and bike routing along both sides of the street. This project is a high priority request of the School District staff and supports "Safe Routes to School" principles for the schools and facilities within the School District campus and a bus stop location for Islander Middle School. The adjacent roadway will be repaved after completion of this work through an arterial street overlay [SP132].
- **[SP141] ADA Transition Plan Implementation** is a biennial program to design and construct spot improvements to pedestrian facilities citywide to meet compliance standards established by the Americans with Disabilities Act (ADA). Beginning in the 2026 biennium, following work completed in the Town Center under the East Link Mitigation category, this project will address compliance issues across the island as identified by the City's ADA Transition Plan.

- **[SP145] PBF Plan Implementation** is an annual program to identify, prioritize, design and construct small spot improvements and gap completion projects to pedestrian and bicycle facilities citywide as identified in the PBF Plan. Specific projects for this program have not yet been identified or prioritized for construction. Proposed focus is on implementation of signage and pavement markings to support sharing of the road by all users and completion of missing links in sidewalk or trails to fill gaps in the PBF system.
- **[SP146] 77th Avenue SE Channelization (SE 32nd to North Mercer Way).** This project will modify existing channelization to provide on-street parking from SE 32nd to SE 27th Streets in the Town Center and provide sharrows in the northbound and southbound travel lanes to connect to the I-90 Mountains to Sound trail in accordance with Town Center street standards described in MICC 19.11.120. This project is a placeholder and may be modified in the future based on the results of the Town Center Parking Study currently underway.
- **[SP148] East Mercer Way Roadside Shoulders - Ph 11 (SE 79th St. to 8400 block).** This project will create a new paved shoulder from SE 79th St to the 8400 block. This is the final phase of the Mercer Way Roadside Shoulder projects and will remove the last gap in pedestrian and bicycle facilities along East Mercer Way's entire 4.8-mile length. Construction is planned for 2026.

East Link Traffic/Safety Mitigation Projects

- **[SP142] Island Crest Way Corridor Improvements (90th Avenue SE to SE 63rd Street).** A number of traffic safety and operation concerns were identified as part of the Island Crest Way Corridor Safety Analysis in 2022. This project will include planning and development to address deficiencies along a one-mile segment of Island Crest Way, including:
 - Lighting Study (upgrading pedestrian and roadway lighting to meet illumination standards)
 - Shared-Use Path Pre-Design (analysis of space requirements, constraints, and alternatives)
 - Crosswalk Improvements Project (design and construction of multiple crossings to improve/complete gaps in the network)
 - Design Feasibility Study (planning level analysis of major roadway reconfigurations including a roundabout at SE 68th Street and right turn lane at SE 53rd Place)
 - Tree Condition Assessment (evaluation of all trees in the right-of-way to study health, risks, and maintaining the street tree canopy).
- **[SP136] 80th Avenue SE Sidewalk Improvements (SE 28th Street to SE 32nd Street).** This project will reconstruct curbs, sidewalks, and ADA ramps, primarily along the east side of 80th Avenue, and replace street trees with a new design that will allow space for trees to mature without sidewalk damage. Work along 80th Avenue will also include replacement of the outdated street lighting fixtures. This section of 80th Avenue was not rebuilt during the 1994-1996 Town Center Streets reconstruction effort and suffers from significant sidewalk damage from tree roots, poor ADA accessibility, and poor sidewalk lighting. Design work on this project began in 2019, with construction originally anticipated in 2020; however, work scope has increased significantly and construction is now reprogrammed for 2023.
- **[SP137] 78th Avenue SE Sidewalk Improvements (SE 32nd Street to SE 34th Street).** This project proposes to replace curbs, sidewalks, and street trees along the east side of the

roadway with a new design that will allow space for new street trees to mature without sidewalk damage. In addition, ADA accessibility and street lighting would be improved on both sides of the roadway. This section of 78th Avenue was not rebuilt during the 1994-1996 Town Center Streets reconstruction effort and suffers from significant sidewalk damage from tree roots. Design work is planned to start in 2024 and construction is planned for 2025.

- **[SP147] SE 32nd Street Sidewalk Replacement (77th to 78th Avenues).** This proposed project will replace the sidewalk and street trees on the south side of the roadway to address damage and uplift caused by existing street trees. This wide sidewalk provides access to Mercerdale Park and has historically been used during the Farmer's Market and Summer Celebration. This project will be coupled with the 78th Avenue Sidewalk
- **[SP144] North Mercer Way Park and Ride Frontage Improvements.** This project will modify the frontage of the North Mercer Way Park and Ride by removing the bus bay on the north side of the roadway, widening the I-90 Mountains to Sound trail to meet current standard for a multi-use facility, providing a mixing zone at 80th Ave SE crossing, improving sight lines at the western driveway access, relocating street lighting, and providing a new landscape area to match existing landscape. This project is planned for construction after the East Link Station is open and bus drop off/pick up is no longer needed on the north side of the road.
- **[SP141] ADA Transition Plan Implementation** is a biennial program to design and construct spot improvements to pedestrian facilities citywide to meet compliance standards established by the Americans with Disabilities Act (ADA). For the 2023-2024 biennium, Locations prioritized by the ADA Transition Plan in the Town Center will take precedence in anticipation of the East Link Station opening in 2023.

Other

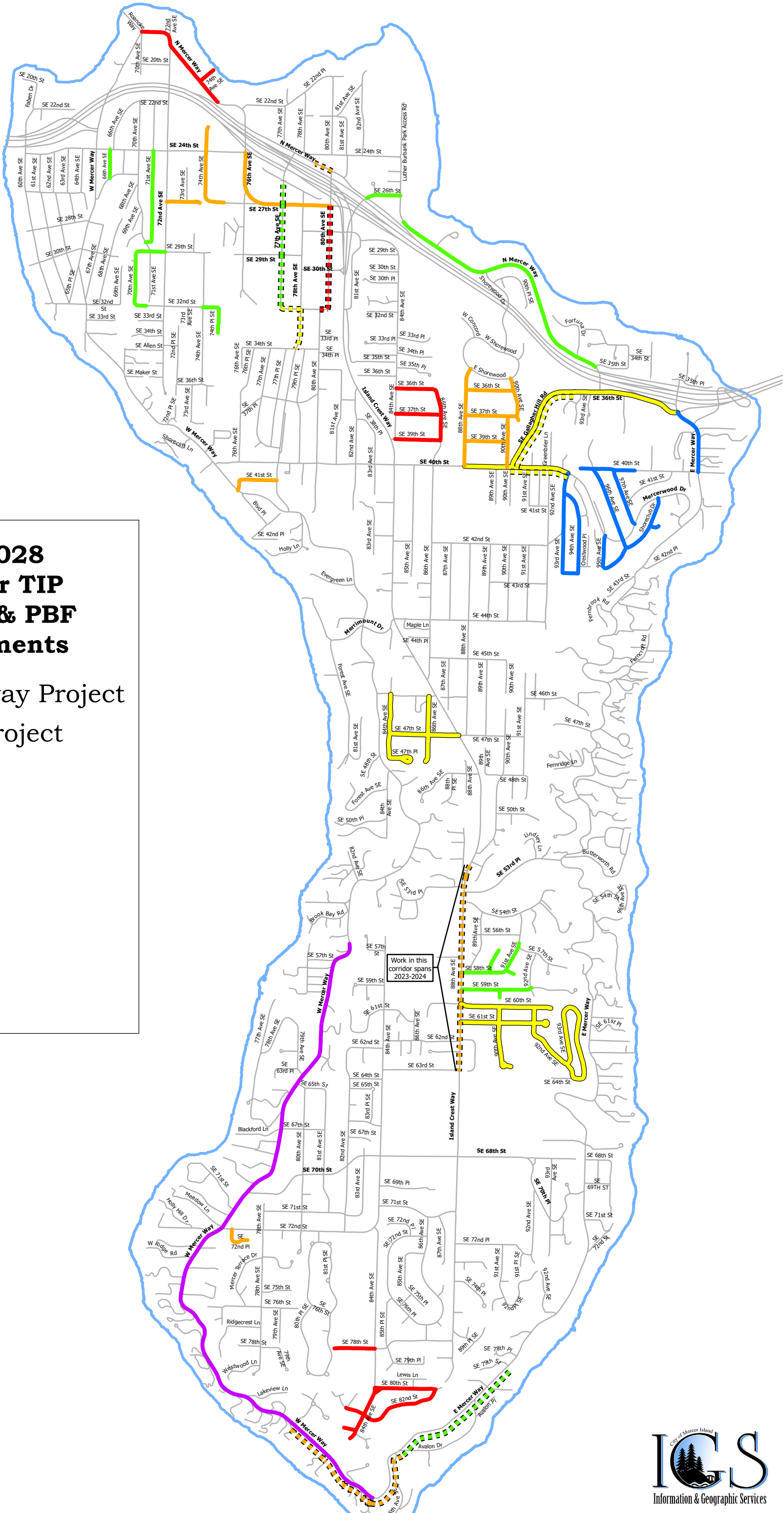
- **[SP143] Minor Capital – Traffic Operations Improvements** is a biennial program to provide minor capital transportation improvements City-wide to address traffic operations issues and concerns. Typical projects include upgrading signs to new mandated standards, channelization modifications or improvements, roadway safety improvements, upgrading traffic signals for increased efficiency and safety, and new or revised street lighting.
- **[SP149] Pedestrian and Bicycle Facilities Plan (PBF Plan) Update** is proposed for the 2026-2027 biennium to provide a comprehensive update to the current PBF Plan, last updated in 2010 from the original 1996 plan. Over time, standards have changed and new facilities have been built. Updates to the Plan will incorporate the results of the ADA Transition Plan, evaluate the use of urban street design guidelines such as NACTO, and identify/evaluate projects, provide a preliminary scope of work, and establish priorities of work with the intention of providing a roadmap, foundation, and timeline for future improvements.
- **[SPXXX] SE 27th Street Realignment Study.** This project aims to determine the impacts to traffic safety and operations for a potential realignment of SE 27th Street in the Town Center. The proposed alignment would alter the intersection of SE 27th Street and 76th Avenue SE to form a 4-way intersection, removing the curve section of the roadway and reconstruct curb space on adjacent properties.

Unfunded PBF Projects – Beyond 2028

- **84th Avenue SE Sidewalk Improvements (SE 33rd Place to SE 36th Street).** This project proposes to install concrete curb, gutter, and sidewalk along the east side of 84th Avenue SE to provide a “safe walk route” for Northwood Elementary and the High School. It is a medium priority request of the School District.
- **86th Avenue SE Sidewalk Improvements (SE 42nd Street to Island Crest Way).** This project proposes to install concrete curb, gutter, and sidewalk along the east side of 86th Ave SE to provide a walking facility where none currently exists. The project will complete a missing link in the sidewalk network and connect Island Crest Way and adjacent neighborhoods to the High School, Northwood Elementary School, the Mary Wayte Pool, and PEAK. Drainage work will be required, and road widening to provide shared space for bicycles is a potential element.
- **Merrimount Drive Sidewalk Improvements (Island Crest Way to West Mercer Way).** The project proposes to install concrete curb, gutter, and sidewalk along both sides of Merrimount Drive. The project improves walkability by providing a defined route and place for school kids to walk and wait for the school bus or walk to West Mercer Elementary. The project was requested by several property owners living adjacent to Merrimount Drive. The estimated cost is approximately \$960,000.
- **78th Ave SE Sidewalk Improvements (SE 40th – SE 41st).** This project proposes to install concrete curb, gutter and sidewalk along the west side of 78th Ave SE to provide a walking facility where none currently exists. The project will create a connection from the adjacent neighborhood to SE 40th Street, providing access to the Town Center and West Mercer Elementary School.
- **92nd Avenue SE Sidewalk Improvements (SE 40th Street to SE 41st Street).** This project will build concrete curb, gutter, and sidewalk along the west side of 92nd Avenue to provide a “safe walk route” for Northwood Elementary and the High School, as well as a bus stop location for Islander Middle School. The estimated cost is \$610,000. This project will complete a missing link on 92nd Avenue by connecting with sidewalks the School District constructed in 2015 along the High School frontage, creating a continuous sidewalk from SE 40th to SE 42nd Streets. This project may be eligible for TIB or SRTS Grant funding. This is a low/moderate need for the School District. City and District staff will monitor the need and may propose in a future TIP.

2023-2028 Six - Year TIP Roadway & PBF Improvements

- Roadway Project
- - - - - PBF Project
- 2023
- 2024
- 2025
- 2026
- 814 — 2027
- 2028



Map Date: 4/26/2022

2023_2028_TIP_Street_Improvements.mxd

Current Pedestrian & Bicycle Facilities (PBF) on the Mercer Ways

- Paved Roadside Shoulder
- Sidewalks or Paths
- No Facility

May 2022

815

WMW Phase 3
Completion June 2022

EMW Phase 11
Proposed for 2026

WMW Phase 4
Proposed for 2024



Map Date: 4/26/2022
2022MercerWaysPBF_Facilities.mxd



**BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND**

**AB 6074
May 3, 2022
Regular Business**

AGENDA BILL INFORMATION

TITLE:	AB 6074: Development Code Amendment ZTR21-006 Land Use Review Types (Ord. No. 22C-05 First Reading)	<input type="checkbox"/> Discussion Only <input checked="" type="checkbox"/> Action Needed: <input checked="" type="checkbox"/> Motion <input checked="" type="checkbox"/> Ordinance <input type="checkbox"/> Resolution
RECOMMENDED ACTION:	Schedule Ordinance No. 22C-05 for second reading on June 7, 2022.	

DEPARTMENT:	Community Planning and Development
STAFF:	Alison Van Gorp, Deputy Director Adam Zack, Senior Planner
COUNCIL LIAISON:	n/a
EXHIBITS:	1. Draft Ordinance No. 22C-05 2. Planning Commission Recommendation dated February 16, 2022 3. Staff memo to Planning Commission dated December 9, 2021, 4. Staff Memo to Planning Commission dated February 11, 2022
CITY COUNCIL PRIORITY:	n/a

AMOUNT OF EXPENDITURE	\$ n/a
AMOUNT BUDGETED	\$ n/a
APPROPRIATION REQUIRED	\$ n/a

EXECUTIVE SUMMARY

Zoning Code Amendment ZTR21-006 was added to the Community Planning and Development (CPD) work program through the 2020 annual docket. The docket application proposed changes to the Mercer Island City Code (MICC) 19.15.030 to increase the review process and notification requirements for five land use review actions. The Planning Commission has reviewed the proposal and prepared a recommendation for City Council consideration. Additional summary information includes:

- After holding a public hearing on February 16, 2022, The Planning Commission has recommended the proposed code amendment shown in the draft Ordinance No. 22C-05 (Exhibit 1).
- The proposed amendment will increase the review process for seasonal development limitation waivers and final short plats; amending MICC 19.15.030 Land use review types.
- After considering the proposal at a public hearing, the Planning Commission also recommended programmatic changes to increase the availability of permit information for the public.

BACKGROUND

The proposed code amendment was brought forward by a resident as a part of the annual docket submittal process in the fall of 2020. The City Council added this proposal to the final docket and the CPD work program with the approval of [Resolution No. 1594](#) on December 1, 2020. The proposal was assigned file number ZTR21-006.

The Planning Commission first discussed and gave initial feedback regarding ZTR21-006 on December 15, 2021. Staff prepared a draft code amendment and programmatic approach based on the initial feedback for the Planning Commission to consider after holding a public hearing. A State Environmental Policy Act (SEPA) determination of non-significance was issued on January 19, 2022, and the project was assigned SEPA register file number 202200262. The SEPA determination comment period was open from January 19 to February 2, 2022; no comments were received. The WA Department of Commerce was notified of the intent to adopt development code amendments on January 19, 2022. Notice of the Planning Commission public hearing was published in the *Mercer Island Reporter* on January 12, 2022, and in the CPD Weekly Permit Bulletin on January 24, 2022. The Planning Commission held a public hearing regarding ZTR21-006 on February 16, 2022.

ISSUE/DISCUSSION

MICC 19.15.030 – LAND USE REVIEW TYPES

[MICC 19.15.030](#) establishes four types of land use review, each with its own unique notice requirements. The four types are described as follows:

- “A. Type I. Type I reviews are based on clear, objective and nondiscretionary standards or standards that require the application of professional expertise on technical issues.
- B. Type II. Type II reviews are based on clear, objective and nondiscretionary standards or standards that require the application of professional expertise on technical issues. The difference between Type I and Type II review is that public notification shall be issued for Type II decisions.
- C. Type III. Type III reviews require the exercise of discretion about nontechnical issues.
- D. Type IV. Type IV reviews require discretion and may be actions of broad public interest. Decisions on Type IV reviews are only taken after an open record hearing.”

The permit types are differentiated largely by the amount of discretion and technical expertise that must be used in making permitting decisions. Type I and II permits are nondiscretionary and require the application of professional expertise on technical issues. Types III and IV permits require more discretion, with Type IV permits also being for larger, more impactful actions that are of broad public interest.

In addition to establishing four permit types, MICC 19.15.030 codifies the notice requirements, decisionmaker, and appeal authority for each land use review action. The permit type definitions and the review process together establish a hierarchy wherein permit reviews requiring more discretion also have higher levels of public notice as well as opportunities for public comment and participation. Public notice is not required for Type I permits. Public notification posted in the weekly CPD Permit Bulletin is required for Type II permits. More public notice is required for Type III and IV permits compared with Type II. The additional notice includes posting on site, mailing to addresses within 300 feet and, in some cases, publication in the *Mercer Island Reporter*. Type III and IV permits also have a 30-day public comment period. Type IV permits require a public hearing.

This hierarchy matches decisions requiring substantial discretion with higher levels of public notice and opportunities for comment. Public notice and comment periods are appropriate because the decisions on these matters are not as objective or technical. Public comments can provide valuable input, and the staff are able to give some consideration to community concerns in making their decisions. On the other hand, decisions that are largely objective and/or technical and allow little discretion, meaning less public notice is required.

PLANNING COMMISSION RECOMMENDATION

Following the public hearing, the Planning Commission made a recommendation to amend MICC 19.15.030 Land use review types (Exhibit 2). The Planning Commission recommends increasing the land use review type for seasonal development limitation waivers and final short plats from Type I to II. This change will require these two land use review actions to be listed in the CPD Weekly Permit Bulletin. The Planning Commission recommended code amendment is discussed further below.

Seasonal Development Limitation Waivers

The first proposed amendment to MICC 19.15.030 will increase the land use review type required for Seasonal Development Limitation Waivers from Type I to Type II. The MICC restricts some clearing and grading work during the “wet season” from October 1 through April 1 to reduce potential impacts from erosion and landslides during these months. A Seasonal Development Limitation Waiver is a waiver granted by the Code Official for land clearing, grading, filling and foundation work in an erosion hazard area or a landslide hazard area during the wet season. A Seasonal Development Limitation Waiver is required in addition to the other required permits such as a building permit and grading permit for this type of work to proceed in between October 1 and April 1. Issuance of Seasonal Development Limitation Waiver is authorized by [MICC 19.07.160\(F\)\(2\) – Geologically hazardous areas](#), which states:

2. Land clearing, grading, filling, and foundation work within: (a) an erosion hazard area, when 2,000 square feet or more of site disturbance is proposed, and/or (b) a landslide hazard area are not permitted between October 1 and April 1.
 - a. The code official may grant a waiver to this seasonal development limitation if the applicant provides a critical area study for the site concluding that:
 - i. Geotechnical slope stability concerns, erosion and sedimentation impacts can be effectively controlled on site consistent with adopted storm water standards; and
 - ii. The proposed construction work will not subject people or property, including areas off site, to an increased risk of associated impacts.
 - b. As a condition of the waiver, the code official may require erosion control measures, restoration plans, an indemnification, a release agreement and/or performance bond.
 - c. If site activities result in erosion impacts or threaten water quality standards, the city may suspend further work on the site and/or require remedial action.
 - d. Failure to comply with the conditions of an approved waiver shall subject the applicant to code compliance pursuant to chapter 6.10, code compliance, including but not limited to civil penalties and permit suspension.

As a Type I land use review action, public notice is not required for Seasonal Development Limitation Waivers. Public notification will be required if the land use review type were increased to Type II. The standards for public notification are established in MICC 19.15.080. Public notification for Type II actions does not include a public comment period. The notification is posted in the weekly CPD permit bulletin published on the City website at: <https://www.mercerisland.gov/permitbulletin>.

If MICC 19.15.030 is amended as proposed, Seasonal Development Limitation Waivers will be posted to the weekly CPD permit bulletin. For reference, CPD reviewed 85 Seasonal Development Limitation Waivers between 2016 and 2021, an average of 14 a year. Listing a land use review action on the CPD permit bulletin takes roughly fifteen minutes per review.

Final Short Plats

The second proposed amendment to MICC 19.15.030 will increase the land use review type for short plats from Type I to Type II. A short plat is a land division that creates four or fewer new parcels from an existing parcel. Final plat requirements are established in [MICC 19.08.050 – Final plats](#). Short plats are granted preliminary approval as a Type III land use review action. Because the preliminary approval is a Type III land use review, the short plat is listed on the CPD permit bulletin when it is initially applied for. Notice is also posted on site and mailed to addresses within 300 feet during the preliminary short plat review.

As with Seasonal Development Limitation Waivers, the proposed amendment would require that final short plat approval be listed on the weekly CPD permit bulletin. Because the land use review action for preliminary approval of short plats is a Type III action, the proposed amendment would result in short plats getting listed on the permit bulletin twice. The first listing would be during the initial review of the application before the preliminary approval and then a second listing would be required when final approval is granted.

For reference, CPD reviewed 24 short plats between 2016 and 2021, an average of four a year. Listing a land use review action on the CPD permit bulletin takes roughly fifteen minutes per review.

Programmatic Approach

In addition to amending the code, the Planning Commission also recommends the City take a programmatic approach to increase public access to permit records. The programmatic measures include developing a permit web map showing active permits throughout the City and adding information about searching online permit records to the CPD Weekly Permit Bulletin. The programmatic approach is discussed further below.

ORDINANCE NO. 22C-05 AMEND MICC 19.15.030 – LAND USE REVIEW TYPES

On February 16, the Planning Commission recommended amending the land use review types for Seasonal Development Limitation Waivers and Final Short Plats from Type I to Type II, as shown in the draft Ordinance 22C-05 (Exhibit 1). Increasing the land use review type from Type I to Type II would require Seasonal Development Limitation Waivers and Final Short Plats to be listed on the CPD Weekly Permit Bulletin. This would add more review time to these land use review actions. Please see the December 9, 2021, staff report for additional discussion of increasing the land use review type for Seasonal Development Limitation Waivers and Final Short Plats (Exhibit 3).

Ordinance 22C-05 would amend MICC 19.15.030 Land use review types, Table A as follows (Exhibit 1).

MICC 19.15.030 - Land use review types, Table A.

Table A. Land Use Review Type			
Type I	Type II	Type III	Type IV
<ul style="list-style-type: none"> • Home business • Seasonal development limitation waiver • Nonmajor single-family dwelling building permits • Tree removal permit • Right-of-way permit • Special needs group housing safety determination • Tenant improvement/change of use • Shoreline exemption ¹ • Critical area review 1 • Final short plat • Temporary commerce on public property • Site development permits • Transportation concurrency certificate 	<ul style="list-style-type: none"> • Modified wireless communication facilities (6409 per 47 CFR 1.40001) • Lot line revision • Setback deviations • Final plat ^{2,3} • Code official design review • Accessory dwelling unit • Parking modification ⁷ (reviewed by city engineer) • Small wireless facility deployment • <u>Seasonal development limitation waiver</u> • <u>Final short plat</u> 	<ul style="list-style-type: none"> • New and modified wireless (non-6409) eligible facility • SEPA threshold determination • Critical area review 2 • Public agency exception • Temporary encampment ⁴ • Short plat alteration and vacations • Preliminary short plat • Development code interpretations • Major single-family dwelling building permit ⁵ • Shoreline substantial development permit ¹ • Shoreline revision (substantial development) ¹ 	<ul style="list-style-type: none"> • Preliminary long plat approval • Conditional use permit • Variance • Critical areas reasonable use exception • Long plat alteration and vacations • Parking modifications ⁷ (reviewed by design commission) • Variance from short plat acreage limitation • Wireless communication facility height variance • Planned unit development • Design commission design review • Permanent commerce on public property • Shoreline conditional use permit (SCUP) ⁶ • Shoreline variance ⁶ • Shoreline revision (variance and SCUP)

¹ Appeal will be heard by the shorelines hearings board.

² Decision is made by city council after discussion at a public meeting.

³ A notice of decision will be issued for a final long plat.

⁴ A public meeting is required.

⁵ Major single-family dwelling building permits are subject only to the notice of application process. A notice of decision will be provided to parties of record.

⁶ Hearing examiner will forward a recommendation to the Washington State Department of Ecology for Ecology's decision.

⁷ Parking modifications are issued pursuant to the provisions of MICC 19.11.130.

PROGRAMMATIC APPROACH

In addition to recommending a code amendment, the Planning Commission proposed a programmatic approach to providing additional notice. This approach will add links to online electronic permit records to the CPD Weekly Permit Bulletin. In addition to links, staff proposes adding instructions for searching online building permit records available at www.mybuildingpermit.com. An example of the CPD Weekly Permit Bulletin with search instructions and placeholders for links is provided in Exhibit 4.

Staff will proceed with implementing the programmatic approach to making permit information more widely available, as described below. The programmatic approach is an effective way to disseminate information about land use review actions without substantially increasing the amount of time committed to the review of routine land use review actions like Seasonal Development Limitation Waivers and Final Short Plats. Combining the permit web map and instructions for searching mybuildingpermit.com to the CPD Weekly Permit Bulletin will accomplish the goal of making permit information more widely available without requiring any changes to the City Code. The web map can be fine-tuned in the future to provide the pertinent information without requiring a legislative action such as amending the City Code. This approach utilizes the existing resource of electronic permit records to address the issue raised in the original docket proposal without committing additional City resources to the CPD Weekly Permit Bulletin.

Mybuildingpermit.com Search

Electronic permit records are publicly available at <https://permitsearch.mybuildingpermit.com/>. The online records are updated as soon as an application is entered into the CPD electronic permit system. Staff proposes adding instructions for searching permit records to the CPD Weekly Permit Bulletin. An example is shown in Exhibit 4, Attachment B. Through mybuildingpermit.com, anyone can see all permits that have been applied for, issued, or finalized within a given date range.

Permit Web Map

CPD staff has worked with City Information and Geographic Services (IGS) staff to discuss options for creating a web map showing permit applications by type, status, and location. As a result, IGS staff created a prototype web map for searching permit applications. The web map will provide a search interface that is easier to use than mybuildingpermit.com and give the public the option to search by location. Furthermore, the permit data displayed on the web map is pulled from the same electronic permit data source as mybuildingpermit.com, meaning the permit information shown is updated as new permits are entered into the system. Staff will finish building web map and make it available online and a link to the web map would be added to the CPD Weekly Permit Bulletin.

Figure 1 shows the initial view of the prototype web map. The colored dots on the map show different land use and building permit applications throughout the City. Each color represents a different type of permit. Clicking on any dot brings up a window with the pertinent permit information (see Figure 3). The search fields on the right allow the user to filter the dots shown on the map by permit type and application date.

Figure 1. Prototype Web Map Initial View.

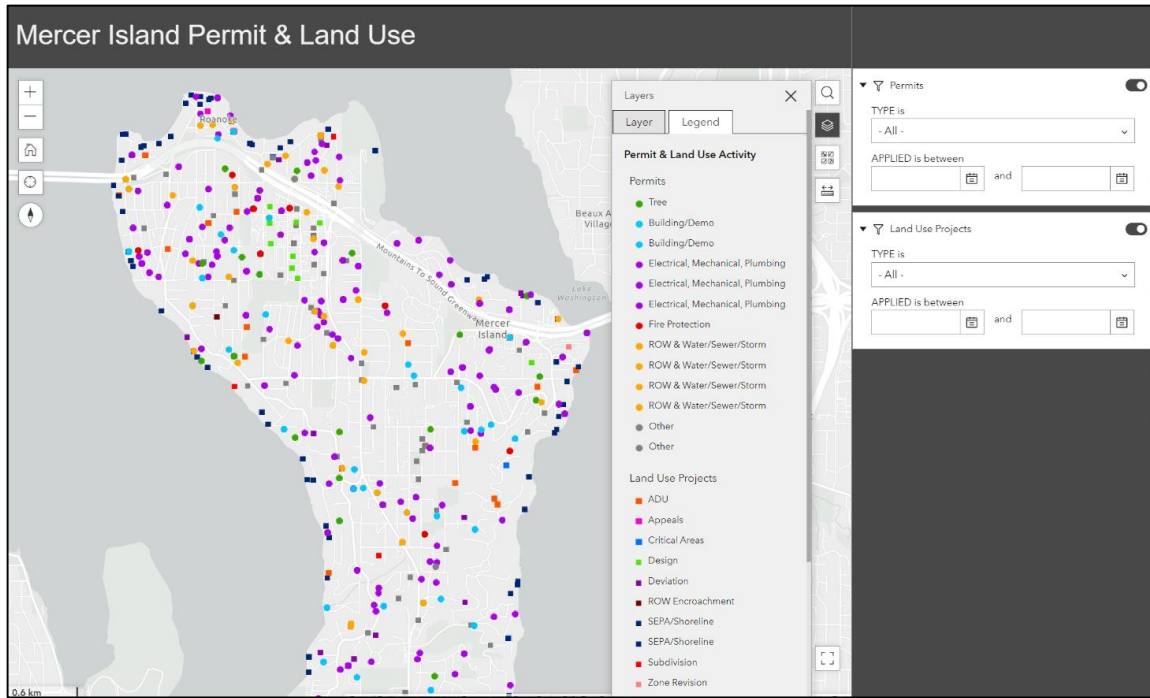


Figure 2 shows a sample tree permit search for an area of east Mercer Island. It illustrates what the map looks like when permits are filtered to show a specific permit type in a given area. The example search is for tree permits submitted between December 1, 2021, and January 31, 2022, in the area south of I-90 and west of E Mercer Way. The green dots on the map are individual tree permits.

Figure 2. Prototype Web Map Search Example.

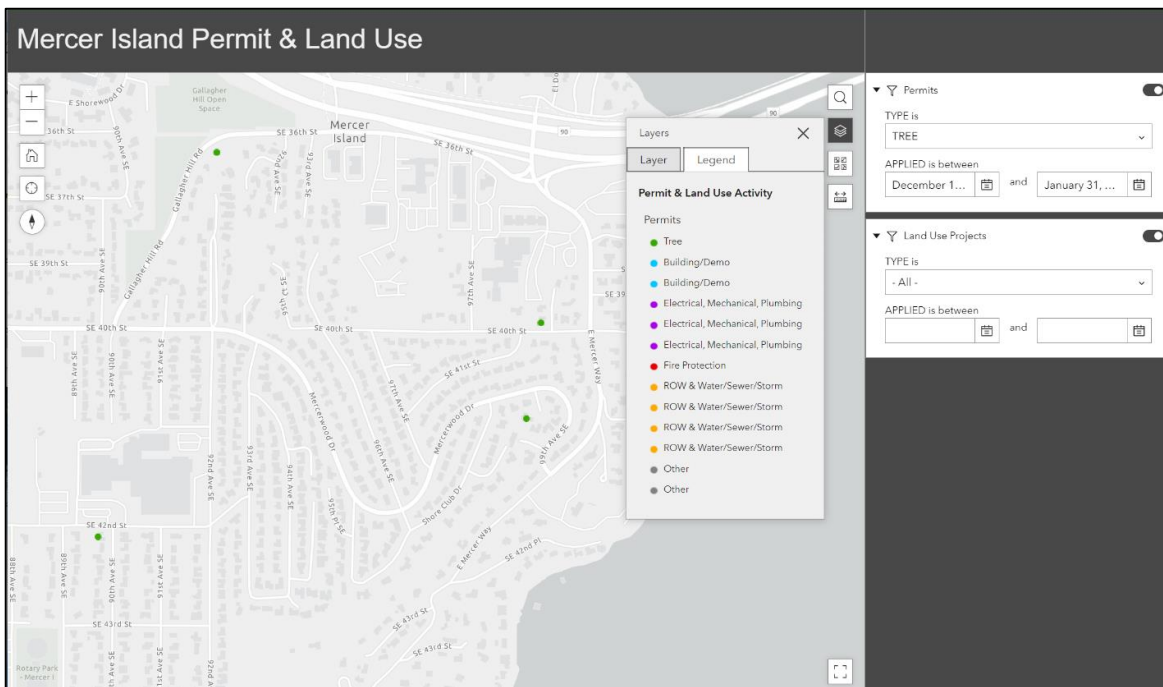


Figure 3 shows the pop up that comes up when a user clicks on a dot on the map. The pop up displays pertinent permit information pulled from the CPD permit records. Note that the example search was completed on January 31, the status for the example permit may be different if searched at a later date.

Figure 3. Prototype Web Map Permit Pop Up Example.



Staff will finish building the permit web map and create a version for the public to use. One advantage of using a programmatic response is that amending the web map can be done as needed to make it a more useful tool without requiring a legislative action. The programmatic response has the added advantage of being automated moving forward. In other words, once the web map is built it will automatically pull from the City’s electronic permit records without requiring ongoing staff time to keep it up to date.

Combining the permit web map and adding instructions for searching mybuildingpermit.com to the CPD Weekly Permit Bulletin can accomplish the goal of making permit information more widely available without requiring any changes to the City Code.

NEXT STEPS

If the City Council would like to pursue the proposed code amendment, second reading of Ordinance No. 22C-05 can be scheduled for the June 7, 2022 City Council Meeting. Staff will proceed with making improvements to the permit bulletin and creation a permit web map. This work will proceed over the next few months as IGS staff are able to make time to refine and finalize the prototype map between their other work priorities.

RECOMMENDED ACTION

Schedule Ordinance No. 22C-05 for second reading on June 7, 2022.

**CITY OF MERCER ISLAND
ORDINANCE NO. 22C-05**

**AN ORDINANCE OF THE CITY OF MERCER ISLAND, WASHINGTON,
AMENDING MERCER ISLAND CITY CODE 19.15.030 TO AMEND THE LAND
USE REVIEW TYPES FOR TWO LAND USE REVIEW ACTIONS; PROVIDING
FOR SEVERABILITY; AND ESTABLISHING AN EFFECTIVE DATE.**

WHEREAS, the review types for land use review actions are established in MICC 19.15.030 Land use review types. MICC 19.15.030 was most recently amended by Ordinance 19C-21, Section 1; and

WHEREAS, the public can propose changes to the City Comprehensive Plan and Development Code through a process called the annual docket; and

WHEREAS, the annual docket process is established in MICC 19.15.230 Comprehensive plan amendments and docketing procedures; and

WHEREAS, the City accepts annual docket applications every year; and

WHEREAS, the City received an annual docket application in 2020 requesting development code amendments to change the land use review type for five land use review actions; and

WHEREAS, Resolution 1594 added this request to the 2021 CPD work program; and

WHEREAS, on December 15, 2021, the Planning Commission provided initial direction on the preferred approach to address the issues raised in the docket request; and

WHEREAS, on January 19, 2022, CPD issued a State Environmental Policy Act (SEPA) threshold determination of non-significance (DNS) consistent with the procedures established in Chapter 19.21 MICC and notified the Washington State Department of Commerce of the City's intent to adopt development code amendments; and

WHEREAS, on February 16, 2022, the Planning Commission held a duly advertised public hearing and made a recommendation to the City Council; and

WHEREAS, on May 3, 2022, the City Council was briefed on the Planning Commission recommendation and had their first reading of this ordinance; and

WHEREAS, on XXXXXXX, 2022, the City Council had their second reading of this ordinance.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MERCER ISLAND, WASHINGTON, DO ORDAIN AS FOLLOWS:

Section 1. MICC 19.15.030 Amended. MICC 19.15.030 is amended to change the land use review type for seasonal development limitation waivers and final short plats from Type I to Type II as provided in Exhibit A to this Ordinance. Exhibit A is incorporated herein by this reference as though set forth in full.

Section 2. Severability. If any section, sentence, clause, or phrase of this Ordinance should be held to be invalid or unconstitutional by a court of competent jurisdiction, or its application held inapplicable to any person, property, or circumstance, such invalidity or unconstitutionality shall not affect the validity of any other section, sentence, clause, or phrase of this Ordinance or its application to any other person, property, or circumstance.

Section 3. Publication and Effective Date. A summary of this Ordinance consisting of its title shall be published in the official newspaper of the City. This Ordinance shall take effect and be in full force five days after the date of publication.

PASSED BY THE CITY COUNCIL OF THE CITY OF MERCER ISLAND, WASHINGTON, AT ITS REGULAR MEETING ON XXXXXX, 2022.

ATTEST:

CITY OF MERCER ISLAND

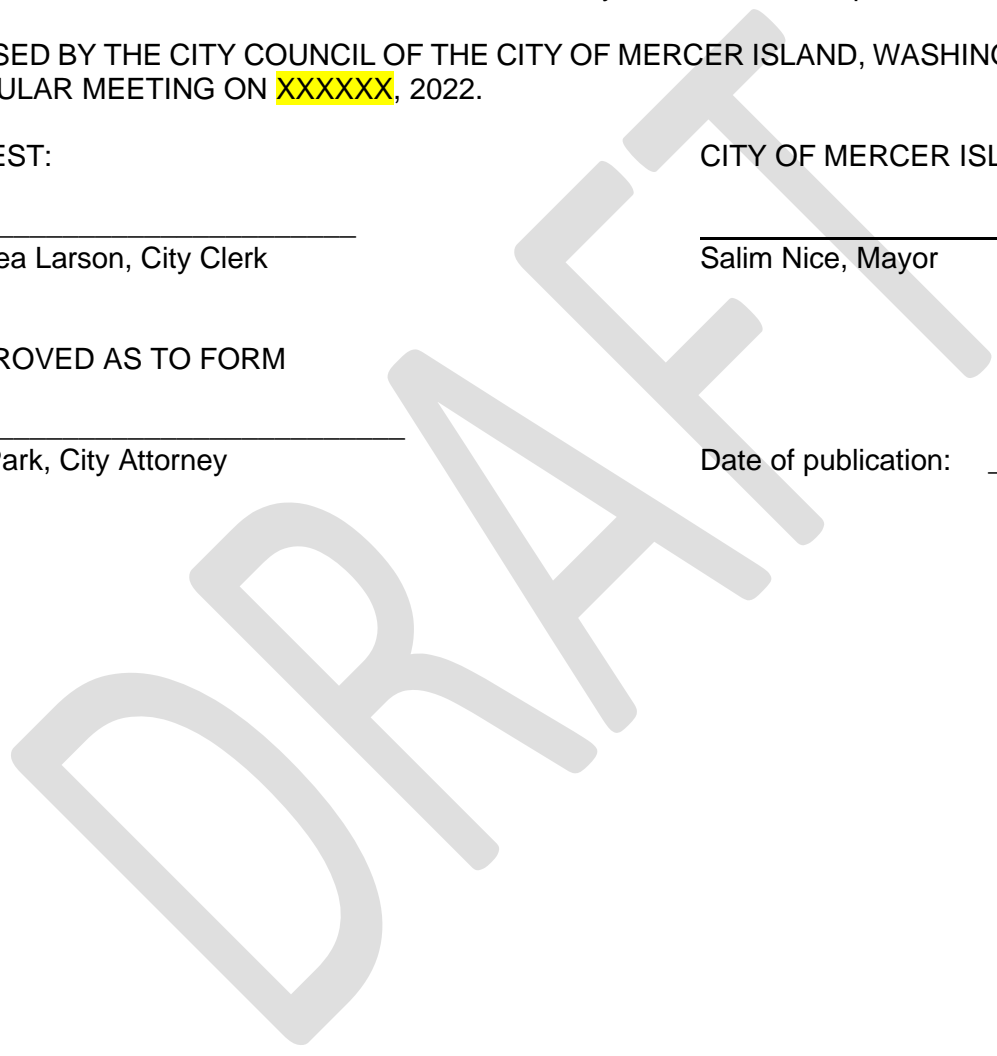
Andrea Larson, City Clerk

Salim Nice, Mayor

APPROVED AS TO FORM

Bio Park, City Attorney

Date of publication: _____



1 **MICC 19.15.030 Land Use Review Types.**

2
3 [. . .]

Table A. Land Use Review Type			
Type I	Type II	Type III	Type IV
<ul style="list-style-type: none"> • Home business • Seasonal development limitation waiver • Nonmajor single-family dwelling building permits • Tree removal permit • Right-of-way permit • Special needs group housing safety determination • Tenant improvement/change of use • Shoreline exemption ¹ • Critical area review 1 • Final short plat • Temporary commerce on public property • Site development permits • Transportation concurrency certificate 	<ul style="list-style-type: none"> • Modified wireless communication facilities (6409 per 47 CFR 1.40001) • Lot line revision • Setback deviations • Final plat ^{2,3} • Code official design review • Accessory dwelling unit • Parking modification ⁷ (reviewed by city engineer) • Small wireless facility deployment • <u>Seasonal development limitation waiver</u> • <u>Final short plat</u> 	<ul style="list-style-type: none"> • New and modified wireless (non-6409) eligible facility • SEPA threshold determination • Critical area review 2 • Public agency exception • Temporary encampment ⁴ • Short plat alteration and vacations • Preliminary short plat • Development code interpretations • Major single-family dwelling building permit ⁵ • Shoreline substantial development permit ¹ • Shoreline revision (substantial development) ¹ 	<ul style="list-style-type: none"> • Preliminary long plat approval • Conditional use permit • Variance • Critical areas reasonable use exception • Long plat alteration and vacations • Parking modifications ⁷ (reviewed by design commission) • Variance from short plat acreage limitation • Wireless communication facility height variance • Planned unit development • Design commission design review • Permanent commerce on public property • Shoreline conditional use permit (SCUP) ⁶ • Shoreline variance ⁶ • Shoreline revision (variance and SCUP)

6 1 Appeal will be heard by the shorelines hearings board.

7 2 Decision is made by city council after discussion at a public meeting.

8 3 A notice of decision will be issued for a final long plat.

- 1
- 2 4 A public meeting is required.
- 3
- 4 5 Major single-family dwelling building permits are subject only to the notice of application process. A
- 5 notice of decision will be provided to parties of record.
- 6
- 7 6 Hearing examiner will forward a recommendation to the Washington State Department of Ecology
- 8 for Ecology's decision.
- 9
- 10 7 Parking modifications are issued pursuant to the provisions of MICC 19.11.130.
- 11
- 12 [. . .]
- 13

DRAFT

CITY OF MERCER ISLAND

COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040

PHONE: 206.275.7605 | www.mercergov.org



PLANNING COMMISSION

To: City Council

From: Daniel Hubbell, Planning Commission Chair

Date: February 16, 2022

RE: ZTR21-006 Land Use Review Types

ATTACHMENTS: A. Planning Commission Recommended Amendments to 19.15.030 Land use review types.

On behalf of the Planning Commission, I am pleased to present our recommendation on ZTR21-006, the land use review types code amendment.

This code amendment was proposed during the 2020 annual docket submittal process in the fall of 2020, and the City Council later added it to the final docket by Resolution 1594. The Planning Commission worked on this amendment beginning in December 2021. The Planning Commission recommended code amendment would amend the land use review type for two land use review actions established in Mercer Island City Code (MICC) 19.15.030 to increase the land use review type for final short plats and seasonal development limitation waivers from Type I to Type II (Attachment A).

This matter first came before the City of Mercer Island Planning Commission on December 15, 2021. The Planning Commission held an open record public hearing on February 16, 2022. No public comment was received during the public hearing on this amendment. The Planning Commission considered the staff reports dated December 9, 2021, and February 11, 2022, in making its recommendation.

After deliberation, the Commission recommends the draft code amendment to MICC 19.15.030 Land use review types shown in Attachment A. The Planning Commission recommended code amendment would increase the review type for seasonal development limitation waivers and final short plats from Type I to II. This change would require notice of these actions to be posted in the Weekly Permit Bulletin.

In addition to recommending changes to MICC 19.15.030, the Planning Commission also recommends a programmatic approach to providing the public with more information about permit applications. This approach includes posting an online permit map and adding instructions to the Weekly Permit Bulletin for searching permit records on mybuildingpermit.com. Providing more access to electronic permit records will

help the public stay informed about the development permitted in the City. The Commission recommends that the City Council provide the necessary resources and direct staff to implement these improvements.

Daniel Hubbell
Planning Commission Chair
City of Mercer Island

Date

1 **19.15.030 - Land use review types.**

2
3 There are four categories of land use review that occur under the provisions of the development code.

4
5 A. *Type I.* Type I reviews are based on clear, objective and nondiscretionary standards or
6 standards that require the application of professional expertise on technical issues.

7
8 B. *Type II.* Type II reviews are based on clear, objective and nondiscretionary standards or
9 standards that require the application of professional expertise on technical issues. The
10 difference between Type I and Type II review is that public notification shall be issued for Type
11 II decisions.

12
13 C. *Type III.* Type III reviews require the exercise of discretion about nontechnical issues.

14
15 D. *Type IV.* Type IV reviews require discretion and may be actions of broad public interest.
16 Decisions on Type IV reviews are only taken after an open record hearing.

17
18 E. The types of land use approvals are listed in Table A of this section. The required public
19 process for each type of land use approval are listed in Table B of this section.

20
21 F. *Consolidated permit processing.* An application for a development proposal that involves the
22 approval of two or more Type II, III and IV reviews may be processed and decided together,
23 including any administrative appeals, using the highest numbered land use decision type
24 applicable to the project application. The following permits and land use reviews are excluded
25 from consolidated review and approval:

26
27 1. Building permits associated with the construction of one or more new single-family
28 dwellings on lots resulting from the final plat approval of a short subdivision or long
29 subdivision.

30
31 2. Building permits associated with shoreline conditional use permits and shoreline
32 variance.

33
34 3. Project SEPA reviews shall be processed as a Type III land use review.

35
36 4. When a review is heard by multiple decision bodies, the higher decision body will
37 make the final decision, and the lower decision body will review the project at a public
38 meeting and issue a recommendation that will be reviewed by the higher decision body.
39 The higher decision body will either adopt the recommendation as part of the permit
40 conditions, will remand the recommendation back to the lower body for further
41 consideration, will amend the recommendation, or will deny adoption of the
42 recommendation and will adopt their own permit conditions. The hierarchy of decision
43 bodies is as follows, from highest to lowest:

44
45 a. City council;

46
47 b. Hearing examiner;

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c. Design commission.

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Table A. Land Use Review Type			
Type I	Type II	Type III	Type IV
<ul style="list-style-type: none"> • Home business • Seasonal development limitation waiver • Nonmajor single-family dwelling building permits • Tree removal permit • Right-of-way permit • Special needs group housing safety determination • Tenant improvement/change of use • Shoreline exemption ¹ • Critical area review 1 • Final short plat • Temporary commerce on public property • Site development permits • Transportation concurrency certificate 	<ul style="list-style-type: none"> • Modified wireless communication facilities (6409 per 47 CFR 1.40001) • Lot line revision • Setback deviations • Final plat ^{2,3} • Code official design review • Accessory dwelling unit • Parking modification ⁷ (reviewed by city engineer) • Small wireless facility deployment • <u>Seasonal development limitation waiver</u> • <u>Final short plat</u> 	<ul style="list-style-type: none"> • New and modified wireless (non-6409) eligible facility • SEPA threshold determination • Critical area review 2 • Public agency exception • Temporary encampment ⁴ • Short plat alteration and vacations • Preliminary short plat • Development code interpretations • Major single-family dwelling building permit ⁵ • Shoreline substantial development permit ¹ • Shoreline revision (substantial development) ¹ 	<ul style="list-style-type: none"> • Preliminary long plat approval • Conditional use permit • Variance • Critical areas reasonable use exception • Long plat alteration and vacations • Parking modifications ⁷ (reviewed by design commission) • Variance from short plat acreage limitation • Wireless communication facility height variance • Planned unit development • Design commission design review • Permanent commerce on public property • Shoreline conditional use permit (SCUP) ⁶ • Shoreline variance ⁶ • Shoreline revision (variance and SCUP)

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- 1 Appeal will be heard by the shorelines hearings board.
- 2 Decision is made by city council after discussion at a public meeting.
- 3 A notice of decision will be issued for a final long plat.
- 4 A public meeting is required.

MICC 19.15.030 with Alternative A Amendments

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5 Major single-family dwelling building permits are subject only to the notice of application process. A notice of decision will be provided to parties of record.

6 Hearing examiner will forward a recommendation to the Washington State Department of Ecology for Ecology's decision.

7 Parking modifications are issued pursuant to the provisions of MICC 19.11.130.

Table B. Review Processing Procedures				
	Type I	Type II	Type III	Type IV
	No Notice of Application No Notice of Decision Code Official	Public Notification No Notice of Application No Notice of Decision Code Official	Notice of Application Notice of Decision Code Official	Notice of Application Public Hearing Notice of Decision Hearing Examiner/Design Commission
Preapplication meeting required	No	No	Yes	Yes
Letter of completion (within 28 days)	No	No	Yes	Yes
Public Notification	No	Yes	No	No
Notice of Application (mailing and posting)	No	No	Yes	Yes

Table B. Review Processing Procedures				
	Type I	Type II	Type III	Type IV
Public Comment Period	None	None	30 days	30 days
Public Hearing (open record pre-decision)	No	No	No	Yes
Notice of Decision	Code Official	Code Official	Code Official	Hearing Examiner ² or Design Commission
Notice of Decision	No	No	Yes	Yes
Appeal Authority	Hearing Examiner ¹	Hearing Examiner or Design Commission (code official design review)	Hearing Examiner	Superior Court or Shoreline Hearings Board (shoreline permits)

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1 Appeals of final short plat approvals shall be to superior court. Appeals of shoreline exemptions shall be to the shoreline hearings board.

2 The hearing examiner will provide a recommendation to ecology for decisions on shoreline conditional use permits and shoreline variances.

CITY OF MERCER ISLAND

COMMUNITY PLANNING & DEVELOPMENT

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PLANNING COMMISSION

TO: Planning Commission

FROM: Adam Zack, Senior Planner

DATE: December 9, 2021

SUBJECT: ZTR21-006 - Land use review types

ATTACHMENTS: A. Thompson Docket Request dated November 2, 2020

SUMMARY

The purpose of this memo is to provide the Planning Commission with the staff recommendation for ZTR21-006. This zoning code amendment was proposed in a Docket Request dated November 2, 2020 (Attachment A). The docket request proposed six amendments to [Title 19 Mercer Island City Code \(MICC\)](#). This staff report focuses on and provides the staff recommendation regarding the fifth request, a proposed amendment to MICC 19.15.030 Land use review types. The proposed amendment would change the land use review type for five types of land use permits, resulting in increased levels of public notice. At the December 15 meeting, staff seeks initial guidance from the commission on the proposed code amendment. Specifically, whether the commission would like to proceed with the amendment as proposed, pursue a revised amendment, or recommend no further action.

BACKGROUND

Daniel Thompson submitted a docket request for several amendments to Title 19 MICC on November 2, 2020 (Attachment A). The City Council considered whether to add the proposed amendments to the Community Planning and Development (CPD) work program during a public meeting on December 1, 2020. The City Council approved Resolution 1594 on December 1, 2020, which directed the Planning Commission to make a recommendation on the fifth proposed code amendment from the original docket request.

The docket request proposed six amendments to Title 19 MICC. Only the fifth requested amendment, a proposed amendment to [MICC 19.15.030 – Land use review types](#), was added to the final docket by the City Council. The proposed amendment of MICC 19.15.030 would change the notice requirements for five land use review actions:

- Seasonal Development Limitation Waivers;
- Tree Removal Permits;
- Final Short Plats;
- Lot Line Revisions; and

- Setback Deviations.

The application states the purpose of the proposed amendments is to provide greater public notice of permit applications and decisions.

MICC 19.15.030 – Land use review types.

[MICC 19.15.030](#) establishes four types of land use review, each with its own unique notice requirements. The four types are described as follows:

- A. Type I. Type I reviews are based on clear, objective and nondiscretionary standards or standards that require the application of professional expertise on technical issues.
- B. Type II. Type II reviews are based on clear, objective and nondiscretionary standards or standards that require the application of professional expertise on technical issues. The difference between Type I and Type II review is that public notification shall be issued for Type II decisions.
- C. Type III. Type III reviews require the exercise of discretion about nontechnical issues.
- D. Type IV. Type IV reviews require discretion and may be actions of broad public interest. Decisions on Type IV reviews are only taken after an open record hearing.”

The permit types are differentiated largely by the amount of discretion and technical expertise that must be used in making permitting decisions. Type I and II permits are nondiscretionary and require the application of professional expertise on technical issues. Types III and IV permits require more discretion, with Type IV permits also being for larger, more impactful actions that are of broad public interest.

In addition to establishing four permit types, MICC 19.15.030 codifies the notice requirements, decisionmaker, and appeal authority for each land use review action in MICC 19.15.030 Table B, which states:

Table B. Review Processing Procedures				
	Type I	Type II	Type III	Type IV
	No Notice of Application No Notice of Decision Code Official	Public Notification No Notice of Application No Notice of Decision Code Official	Notice of Application Notice of Decision Code Official	Notice of Application Public Hearing Notice of Decision Hearing Examiner/Design Commission
Preapplication meeting required	No	No	Yes	Yes
Letter of completion (within 28 days)	No	No	Yes	Yes

Public Notification	No	Yes	No	No
Notice of Application (mailing and posting)	No	No	Yes	Yes
Public Comment Period	None	None	30 days	30 days
Public Hearing (open record pre-decision)	No	No	No	Yes
Notice of Decision	Code Official	Code Official	Code Official	Hearing Examiner ² or Design Commission
Notice of Decision	No	No	Yes	Yes
Appeal Authority	Hearing Examiner ¹	Hearing Examiner or Design Commission (code official design review)	Hearing Examiner	Superior Court or Shoreline Hearings Board (shoreline permits)

1 Appeals of final short plat approvals shall be to superior court. Appeals of shoreline exemptions shall be to the shoreline hearings board.

2 The hearing examiner will provide a recommendation to ecology for decisions on shoreline conditional use permits and shoreline variances.

Thus, together the permit type definitions and the review process establish a hierarchy wherein permit reviews requiring more discretion also have higher levels of public notice as well as opportunities for public comment and participation. Public notice is not required for Type I permits. Public notification posted in the weekly CPD Permit Bulletin is required for Type II permits. More public notice is required for Type III and IV permits compared with Type II. The additional notice includes posting on site, mailing to addresses within 300 feet and, in some cases, publication in the Mercer Island Reporter. Type III and IV permits also have a 30-day public comment period. Type IV permits require a public hearing.

This hierarchy matches decisions requiring substantial discretion with higher levels of public notice and opportunities for comment. This is appropriate because the decisions on these matters are not as objective or technical. Public comments can provide valuable input, and the staff are able to give some consideration to community concerns in making their decisions. On the other hand, decisions that are largely objective and/or technical and allow little discretion, less public notice is required. This is an appropriate approach because the decision maker is not able to consider community concerns in these decisions. Rather, if an application is compliant with the requirements of the code, the code official must approve it. Creating opportunities for the public to comment on these types of decisions can often lead to increased frustration

for the public and a misconception that the City is uninterested in public input; eroding public trust in the process.

SEASONAL DEVELOPMENT LIMITATION WAIVER

The first proposed amendment to MICC 19.15.030 would increase the land use review type required for Seasonal Development Limitation Waivers (SDLW) from Type I to Type II. The MICC restricts some clearing and grading work during the “wet season” from October 1 through April 1 to reduce potential impacts from erosion and landslides during these months. An SDLW is a waiver granted by the Code Official for land clearing, grading, filling and foundation work in an erosion hazard area or a landslide hazard area during the wet season. An SDLW is required in addition to the other required permits such as a building permit and grading permit for this type of work to proceed in between October 1 and April 1. Issuance of SDLW is authorized by [MICC 19.07.160\(F\)\(2\) – Geologically hazardous areas](#), which states:

2. Land clearing, grading, filling, and foundation work within: (a) an erosion hazard area, when 2,000 square feet or more of site disturbance is proposed, and/or (b) a landslide hazard area are not permitted between October 1 and April 1.
 - a. The code official may grant a waiver to this seasonal development limitation if the applicant provides a critical area study for the site concluding that:
 - i. Geotechnical slope stability concerns, erosion and sedimentation impacts can be effectively controlled on site consistent with adopted storm water standards; and
 - ii. The proposed construction work will not subject people or property, including areas off site, to an increased risk of associated impacts.
 - b. As a condition of the waiver, the code official may require erosion control measures, restoration plans, an indemnification, a release agreement and/or performance bond.
 - c. If site activities result in erosion impacts or threaten water quality standards, the city may suspend further work on the site and/or require remedial action.
 - d. Failure to comply with the conditions of an approved waiver shall subject the applicant to code compliance pursuant to chapter 6.10, code compliance, including but not limited to civil penalties and permit suspension.

As a Type I land use review action, public notice is not required for SDLWs. Public notification would be required if the land use review type were increased to Type II. The standards for public notification are established in MICC 19.15.080. Public notification for Type II actions does not include a public comment period. The notification is posted in the weekly CPD permit bulletin published on the City website at: <https://www.mercerisland.gov/cpd/page/weekly-permit-information-bulletin>

If MICC 19.15.030 is amended as proposed, SDLWs would be posted to the weekly CPD permit bulletin. For reference, CPD reviewed 85 SDLWs between 2016 and 2021, an average of 14 a year. Listing a land use review action on the CPD permit bulletin takes roughly fifteen minutes per review.

Staff Recommendation

Do not amend the land use review type for SDLWs. SDLWs are correctly categorized as a Type I land use review action. The City has limited discretion in whether to issue an SDLW. If an application meets the

requirements of the code, the City must issue a waiver. Increasing notice for this land use review action will add process to a routine review in which the City has limited discretion in issuing a decision.

TREE REMOVAL PERMIT

The second proposed amendment to MICC 19.15.030 would increase the land use review type for tree removal permits from Type I to Type II. The City requires a permit for all tree removal except those exempted under [MICC 19.10.030 – Exemptions](#) such as small trees (under 10” diameter at breast height) and hazardous trees. As with SDLWs, this change would mean that tree removal permits would be required to be listed on the weekly CPD permit bulletin.

For reference, CPD reviewed 852 tree removal permits between 2016 and 2021, an average of 142 a year. Listing a land use review action on the CPD permit bulletin takes roughly fifteen minutes per review. Increasing the permit review type for tree removal permits would take up an average of thirty-five hours of staff time annually.

Staff Recommendation

Do not amend the land use review type for tree removal permits. Tree removal permits are correctly categorized as a Type I land use review action. The decision of whether to issue a tree removal permit is based on the evaluation of objective standards and the application of technical expertise by the city arborist; the City has limited discretion in the decision. Increasing notice for this land use review action will add process to a routine review in which the City has limited discretion in issuing a decision.

FINAL SHORT PLAT

The third proposed amendment to MICC 19.15.030 would increase the land use review type for short plats from Type I to Type II. A short plat is a land division that creates four or fewer new parcels from an existing parcel. Final plat requirements are established in [MICC 19.08.050 – Final plats](#). Short plats are granted preliminary approval as a Type III land use review action. Because the preliminary approval is a Type III land use review, the short plat is listed on the CPD permit bulletin when it is initially applied for. Notice is also posted on site and mailed to addresses within 300 feet during the preliminary short plat review.

As with SDLWs and tree removal permits, the proposed amendment would require that final short plat approval be listed on the weekly CPD permit bulletin. Because the land use review action for preliminary approval of short plats is a Type III action, the proposed amendment would result in short plats getting listed on the permit bulletin twice. The first listing would be during the initial review of the application before the preliminary approval and then a second listing would be required when final approval is granted.

For reference, CPD reviewed 24 short plats between 2016 and 2021, an average of 4 a year. Listing a land use review action on the CPD permit bulletin takes roughly fifteen minutes per review.

Staff Recommendation

Do not amend the land use review type for final short plats. Adding more public notice for final short plat approval would be duplicative because notice is already required for preliminary short plat approval. Preliminary short plat approval is currently categorized as a Type III land use review action, necessitating an expanded public notice process. Final short plat approval is a technical process to ensure that the final plat meets the requirements established during the preliminary approval process. The preliminary approval is the step in the process where public comments can be considered by the decision maker and

incorporated into the approval. Public notice at the preliminary approval step (a Type III action) is adequate for the public to weigh in on the proposal; additional public notice is unnecessary at the final plat stage.

LOT LINE REVISION

The fourth proposed amendment to MICC 19.15.030 would increase the land use review type for lot line revisions from Type II to Type III. A lot line revision is an adjustment of boundary lines between existing lots that does not create any additional lots and which does not reduce the dimensions of an existing lot to the point that it fails to meet dimensional standards.

Increasing the land use review type for lot line revisions from Type II to Type III would significantly increase the process required. The proposed amendment would add the following steps to the review of lot line revisions:

- Preapplication meeting;
- Letter of completion within 28 days of application;
- Notice of application posted on site and mailed to neighboring property owners;
- 30-day public comment period; and
- Notice of decision sent to parties of interest.

All five of the above steps would significantly add to the review time and cost for lot line revisions. On average, increasing the permit from Type II to Type III would add three hours of review time per lot line revision. In addition to the time added for posting and publishing notice, changing the permit type to Type III would commit staff time to managing the public comments as they are received. CPD reviewed 24 lot line revisions between 2016 and 2021, an average of 1.7 a year.

Staff Recommendation

Do not amend the land use review type for lot line revisions. See discussion of lot line revision with the staff recommendation on setback deviations.

SETBACK DEVIATION

The fifth proposed amendment to MICC 19.15.030 would increase the land use review type for setback deviations from Type II to Type III. A setback deviation is a process established in [MICC 19.06.110\(C\) Criteria for approval—Conditional use permits, variances, and setback deviations](#). Setback deviations provide flexibility in designing a development proposal to allow for increased protection of critical areas or critical area buffers (MICC 19.06.110(C)(1)). They accomplish this by allowing developers to develop in setbacks when necessary to avoid impacting critical areas and their buffers.

Increasing the land use review type for setback deviations from Type II to Type III would significantly increase the process required. The proposed amendment would add the following steps to the review for setback deviations:

- Preapplication meeting;
- Letter of completion within 28 days of application;
- Notice of application posted on site and mailed to neighboring property owners;
- 30-day public comment period; and
- Notice of decision sent to parties of interest.

All five of the above steps would significantly add to the review time and cost for setback deviations. On average, increasing the permit type to Type III would add three hours of review time per setback deviation. In addition to the time added for posting and publishing notice, changing the permit type to Type III would commit staff time to managing the public comments as they are received. CPD reviewed 1 setback deviation between 2016 and 2021.

Staff Recommendation

Do not amend the land use review type for setback deviations. Amending the land use review types for lot line revisions and setback deviations would be inconsistent with the permit review type descriptions established by MICC 19.15.030(B). Lot line revisions and setback deviations are land use approvals where the City has clear, objective, and nondiscretionary standards or standards that require the application of professional expertise on technical issues. Because both lot line revisions and setback deviations meet this description, they are accurately categorized as Type II actions. Neither of these land use review actions are consistent with the description of Type III land use review established in MICC 19.15.030(C), which states: "Type III. Type III reviews require the exercise of discretion about nontechnical issues."

The City does not have as much discretion in the approval of lot line revisions and setback deviations as it does for more complex land use review actions. In other words, if the proposal meets the criteria for lot line revision or setback deviation, the City has fewer options for conditioning the approval than it would for Type III land use review actions. Furthermore, adding a public comment period to lot line revisions and setback deviations would add a public process to two land use review actions in which the City has limited discretion and would likely result in frustration for the public.

ALTERNATIVES

There are three alternatives the Planning Commission can consider for ZTR21-006:

- A. Amend MICC 19.15.030 as proposed.** Alternative A would change the land use review type for all five of the review actions listed above. This amendment would commit additional City resources, in the form of staff time, to the review and provision of notice for all five land use review actions.

Benefits: Increased public notice for land use decisions. Alternative A would help the public stay informed about what development is being approved in the City.

Drawbacks: Alternative A would commit additional City resources and increase review time and cost for routine land use review actions. Committing further City resources to the review of routine projects could reduce staff time available for more complex projects.

Another drawback to Alternative A is that it creates a situation where the public can provide comments that will not influence the decision-making process. Adding a public comment period to lot line revisions and setback deviations would add a comment period to two land use review actions for which the City has limited discretion. This can lead to increased frustration for the public and a misconception that the City is uninterested in public input.

- B. Amend MICC 19.15.030 to change the land use review type for some but not all of the land use review actions.** Alternative B allows the Planning Commission to increase the land use review type for certain land use review actions but stops short of amending all proposed land use review types. Under Alternative B, the Planning Commission could, for example, recommend changing the land

use review type for SDLWs and tree removal permits but not recommend changes to final short plat approvals, lot line revisions, and setback deviations.

Benefits: Amending the land use review type for some but not all of the review actions would increase public notice for some land use review actions while committing fewer City resources than Alternative A.

Drawbacks: Amending the land use review type for any of the five review actions discussed above would commit additional City resources to routine land use review; increasing review time and cost.

- C. Do not amend MICC 19.15.030 (Staff Recommended).** Making changes to MICC 19.15.030 is a local choice. Amending this code section is not required by state or local law.

Benefits: Option C would not commit further City resources to the land use review actions discussed above. It would not increase the cost or review time for routine land use review actions.

Drawbacks: Making no change to MICC 19.15.030 would not change the amount of public notice for the land use review actions discussed in this memo.

STAFF RECOMMENDATION

Alternative C do not amend MICC 19.15.030. MICC 19.15.030 correctly types the five land use review actions contemplated in the docket application. The notice requirements for these land use review actions are commensurate with the development they authorize, the amount of discretion afforded to each action, and the necessary levels of public notice and participation. Committing additional City resources to routine land use review actions will draw resources from more complex permit review. The drawback of committing additional City resources to these land use review actions is not outweighed by the benefit of the corresponding increase in public notice.

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CITY USE ONLY

Item 17.

PROJECT#

RECEIPT #

FEE

Date Received:

DEVELOPMENT APPLICATION

Received By:

STREET ADDRESS/LOCATION		ZONE
COUNTY ASSESSOR PARCEL #'S		PARCEL SIZE (SQ. FT.)
PROPERTY OWNER (required)	ADDRESS (required)	CELL/OFFICE (required) E-MAIL (required)
PROJECT CONTACT NAME Daniel Thompson	ADDRESS 7265 N. Mercer Way Mercer Island, WA 98040	CELL/OFFICE 206-919-3266 E-MAIL danielphompson@hotmail.com
TENANT NAME	ADDRESS	CELL PHONE E-MAIL

DECLARATION: I HEREBY STATE THAT I AM THE OWNER OF THE SUBJECT PROPERTY OR I HAVE BEEN AUTHORIZED BY THE OWNER(S) OF THE SUBJECT PROPERTY TO REPRESENT THIS APPLICATION, AND THAT THE INFORMATION FURNISHED BY ME IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

[Handwritten Signature]

 SIGNATURE

Nov. 2 2020

 DATE

PROPOSED APPLICATION(S) AND CLEAR DESCRIPTION OF PROPOSAL (PLEASE USE ADDITIONAL PAPER IF NEEDED):

See attached suggested Residential Development Code Amendments I through VI.

ATTACH RESPONSE TO DECISION CRITERIA IF APPLICABLE

CHECK TYPE OF LAND USE APPROVAL REQUESTED:

APPEALS	DEVIATIONS	SUBDIVISION SHORT PLAT
<input type="checkbox"/> Building	<input type="checkbox"/> Changes to Antenna requirements	<input type="checkbox"/> Short Plat- Two Lots
<input type="checkbox"/> Code Interpretation	<input type="checkbox"/> Changes to Open Space	<input type="checkbox"/> Short Plat- Three Lots
<input type="checkbox"/> Land use	<input type="checkbox"/> Seasonal Development Limitation Waiver	<input type="checkbox"/> Short Plat- Four Lots
<input type="checkbox"/> Right-of-Way Use		<input type="checkbox"/> Short Plat- Deviation of Acreage Limitation
CRITICAL AREAS	ENVIRONMENTAL REVIEW (SEPA)	<input type="checkbox"/> Short Plat- Amendment
<input type="checkbox"/> Critical Area Review 1 (Hourly Rate 2hr Min)	<input type="checkbox"/> SEPA Review (checklist)- Minor	<input type="checkbox"/> Short Plat- Final Plat
<input type="checkbox"/> Critical Area Review 2 (Determination)	<input type="checkbox"/> SEPA review (checklist)- Major	OTHER LAND USE
<input type="checkbox"/> Reasonable Use Exception	<input type="checkbox"/> Environmental Impact Statement	<input type="checkbox"/> Accessory Dwelling Unit
DESIGN REVIEW	SHORELINE MANAGEMENT	<input type="checkbox"/> Code Interpretation Request
<input type="checkbox"/> Pre Design Meeting	<input type="checkbox"/> Exemption	<input type="checkbox"/> Comprehensive Plan Amendment (CPA)
<input type="checkbox"/> Design Review (Code Official)	<input type="checkbox"/> Permit Revision	<input type="checkbox"/> Conditional Use (CUP)
<input type="checkbox"/> Design Commission Study Session	<input type="checkbox"/> Shoreline Variance	<input type="checkbox"/> Lot Line Revision
<input type="checkbox"/> Design Review- Design Commission- Exterior Alteration	<input type="checkbox"/> Shoreline Conditional Use Permit	<input type="checkbox"/> Noise Exception
<input type="checkbox"/> Design Review- Design Commission- New Building	<input type="checkbox"/> Substantial Development Permit	<input type="checkbox"/> Reclassification of Property (Rezoning)
WIRELESS COMMUNICATION FACILITIES	SUBDIVISION LONG PLAT	<input type="checkbox"/> Transportation Concurrency (see supplemental application form)
<input type="checkbox"/> Wireless Communications Facilities- 6409 Exemption	<input type="checkbox"/> Long Plat- Preliminary	<input type="checkbox"/> Planning Services (not associated with a permit or review)
<input type="checkbox"/> New Wireless Communication Facility	<input type="checkbox"/> Long Plat- Alteration	<input checked="" type="checkbox"/> Zoning Code Text Amendment
	<input type="checkbox"/> Long Plat- Final Plat	<input type="checkbox"/> Request for letter
	VARIANCES (Plus Hearing Examiner Fee)	<input type="checkbox"/> Temporary Commerce on Public Property
	<input type="checkbox"/> Variance	

I**SUGGESTION FOR RESIDENTIAL CODE AMENDMENT**

MICC 19.02.020 Residential Development Standards

MICC 19.02.020(D)(2)(a) Gross Floor Area

Suggested Code Amendment:

I suggest MICC 19.02.020(D)(2)(a) be amended to reduce ceiling height from 12 feet to 10 feet before it is counted as clerestory space at 150% of GFA.

Analysis:

The Citizens and Council spent approximately three years rewriting the Residential Development Code. A primary motivation in the rewrite was to deal with citizen concern over “massing”, or what citizens considered out-of-scale residential development, which the Planning Commission addressed as Gross Floor Area to Lot Area Ratio (GFAR).

One of the factors that increased GFAR and led to the code rewrite was Administrative Interpretation 13-01 that allowed all clerestory space to be counted as 100% GFA.

Massing is a three-dimensional concept based on the exterior volume of the house. Whether interior space is counted as GFA or not, it is a reality in the exterior volume, or massing, of the house. GFA, meanwhile, is a two-dimensional term subject to exemption.

Ten-foot ceiling height is the industry standard for a maximum non-cathedral ceiling. The Planning Commission never recommended a 12-foot ceiling height in its recommendation to the Council, but recommended 10 feet. 12 feet was the sudden recommendation of former council member Dan Grausz at the Council’s final adoption hearing for the new Residential Development Code.

A ceiling height of 12 feet, before counting as clerestory space, allows each floor of a two-story house to increase its interior and exterior volume by 20%, directly contrary to the goals of the RDS. Furthermore, it creates a much greater need for heating and cooling, and is contrary to the purposes of green building standards.

II

SUGGESTION FOR RESIDENTIAL CODE AMENDMENT

MICC 19.02.020 Residential Development Standards

MICC 19.02.020(D)(2) Gross Floor Area

MICC 19.16.010(G)(2)(b) Gross Floor Area Exemption for Covered Decks on the First Level

Suggested Code Amendment:

I suggest MICC 19.02.020(D)(2) be amended to include exterior covered decks in the definition of Gross Floor Area, which presently only references exterior walls even though covered decks on levels above the first level are counted towards the GFA limit.

I further suggest that MICC 19.02.020(D)(2) and 19.16.010(G)(2)(b) be amended to include covered porches on the first level in the calculation of Gross Floor Area.

Analysis:

The Citizens and Council spent approximately three years rewriting the Residential Development Code. A primary motivation in the rewrite was to deal with citizen concern over “massing”, or what citizens considered out of scale residential development, which the Planning Commission addressed as Gross Floor Area to Lot Area Ratio (GFAR).

One of the main actions in the new Residential Development Code was to remove discretion from the City Planning Department (Development Services Group at that time, now Community Planning Department), especially when it came to deviations and variances. Unfortunately, that led the prior director to simply amend the entire code when attempting to address a request from a citizen for relief from the Code.

One of these Amendments was to exempt covered decks on the first level from the GFA limits because the applicant wished to have a covered barbecue area. Instead, the code amendment exempts all covered decks on the first level from the GFA limit.

There is very little difference in massing between a deck with a railing and roof from a room. The only difference is a window. Exempting first level decks from GFA limits greatly expands the massing of the house.

To be fair to Evan Maxim, amending this definition to limit its scope was on his agenda before his departure.

A homeowner already has the benefit of an 18-inch eave that is exempt from the GFA limit. At most, any barbecue area that needed to be sheltered from the elements would be 5'x 5', or 25 square feet. I suggest that covered decks on the first level be counted in their entirety towards the GFA limit, or in the alternative a 25-foot exemption be allowed for a barbecue area.

III

SUGGESTION FOR RESIDENTIAL CODE AMENDMENT

MICC 19.02.020 Residential Development Standards

MICC 19.02.020(c)(2)(a)(iii) Yards for Waterfront Lots

MICC 19.02.040(D)(1) Garages and Carports/Yard Intrusion

Suggested Code Amendment:

I suggest MICC 19.02.040(D)(1) be eliminated. In the alternative, I suggest that MICC 19.02.040(D)(1) not be applicable to a waterfront lot if the waterfront lot has switched its front and rear yards subject to MICC 19.02.020(c)(2)(a)(iii).

Analysis:

MICC 19.02.020(c)(2)(a)(iii) allows a waterfront lot to switch its front and rear yard because the Department of Ecology requires a 25-foot buffer between the structure and the ordinary high water mark.

However, MICC 19.02.040(D)(1) allows garages and carports to be built within 10 feet of the property line of the *front* yard if there is more than 4 vertical feet difference as measured between the bottom wall of the building and ground elevation of the front yard property line where such property is closest to the building.

Ideally, 19.02.040(D)(1) should be eliminated. It is a building or structure above the ground level that extends into the yard setback. However, in the alternative, 19.02.040(D)(1) should not be available to waterfront lots that have flipped their front and rear yards pursuant to 19.02.020(c)(2)(a)(iii) because essentially it reduces the yard between the upper house to 10 feet. The effect of this provision can easily be seen as one takes a boat around Lake Washington. The waterfront house and the house directly behind look as though they are one contiguous property.

IV

SUGGESTION FOR RESIDENTIAL CODE AMENDMENT

MICC 19.02.020 Residential Development Standards

MICC 19.02.020(D)(3)(b) Gross Floor Area Incentives for ADU's

Suggested Code Amendment:

I suggest limiting the Gross Floor Area Incentives for ADU's in MICC 19.02.020(D)(3)(b) to lots 8,400 square feet or smaller.

Analysis:

One of the primary purposes of the rewrite of the Residential Development Code was to address the massing and out of scale development in the smaller lot neighborhoods, with lots 8,400 square feet and less. MICC 19.02.020(D)(3)(b) allows a lot 10,000 square feet or less to have up to 5% additional Gross Floor Area for an ADU. (19.02.020(D)(3)(a) already allows a lot 7,500 sf lot or below an additional 5% GFA or 3,000 sf for either an ADU or the main house.)

A 10,000-square foot lot that can have a 4,000-square foot house does not need an additional 5% Gross Floor Area for an ADU. The primary tool used by the Planning Commission to reduce massing and out-of-scale residential development was to reduce GFAR from 45% to 40%, except this provision is directly contrary to that goal.

MICC 19.02.020(D)(3)(b) should be amended to limit the 5% additional GFA to lots 8,400 square feet and less.

V

SUGGESTION FOR RESIDENTIAL CODE AMENDMENT

MICC 19.02.020 Residential Development Standards

MICC 19.15.030 (Table A) Land Use Review Type Classification

Suggested Code Amendment:

I suggest amending MICC 19.15.030 (Table A) to change the land use type of the following permit actions:

- Seasonal Development Limitation Waiver from Type I to Type II
- Tree Removal Permit from Type I to Type II
- Final Short Plat from Type I to Type II (or in the alternative, Notice to Parties of Record)
- Lot Line Revision from Type II to Type III
- Setback Deviations from Type II to Type III

Analysis:

One of the major goals of the Residential Code rewrite was to provide greater notice and citizen participation in the permitting process. Two significant actions were requiring public notice of development permits, and 30 days notice for all permits, rather than the minimum 14 days.

However, shortly after the new code was adopted, the director of the Development Services Group at that time drafted an entirely new permit *typing* system that created four different types. This system created a new land use term that has no legal meaning called “public notification” that simply requires posting the application on the City’s online permit bulletin, which very few citizens read or follow.

The new permit typing system created four categories: I, II, III, and IV. Unfortunately, Type I permits require notice, public notice, or public notification at all, and Type II permits only receive public notification of the application on the City’s Online Permit Bulletin.

- A waiver from the Seasonal Development Limitation on Development has recently been an issue of inquiry. This is a significant waiver, and there should at least be public notification, which costs the City nothing.

- Tree removal permits should at least receive public notification. The citizens and neighbors are the eyes and ears of the Planning Department. The Island Arborist and Code Enforcement Officer are underfunded, or rarely have time to review tree removal, and just as importantly required tree replacement. Moving tree removal permits from Type I to Type II would give the citizens a way to at least have a resource to determine whether the removal of a tree in their neighborhood has been permitted. There would be no cost to the city.
- Final short plats often have some modification from the preliminary approval. As a result, they should have public notification as a Type II permit, or in the alternative written notice to parties of record. There would be no cost to the city.
- A Lot Line Revision is a significant action and should receive public notice as a Type III permit.
- Setback deviations are very significant impacts to the neighbors and should receive Type III public notice as opposed to Type II notification.

VI

SUGGESTION FOR RESIDENTIAL CODE AMENDMENT

MICC 19.02.020 Residential Development Standards

MICC 19.02.020(G)(2)(a) and (b) Parking Requirements

Suggested Code Amendment:

I suggest that MICC 19.02.020(G)(2)(a) and (b) be amended to reduce house GFA from 3,000 sf to 2,000 sf in order to reduce covered parking spaces to one covered and one uncovered space.

Analysis:

During the Residential Development Code rewrite, parking requirements for residential houses were reduced based upon the square footage of the house pursuant to MICC 19.02.020(G)(2)(a) and (b). This was a very contentious amendment. Ironically, many builders are hesitant to not build a 3-car garage on Mercer Island since many of their first-time home buyers come from off-island to the east, where a 3-car garage is common.

A 3,000 sf home is quite large. For example, I have raised two children in a 2,700 sf house with a 3-car garage on Mercer Island. A 3,000 sf house can accommodate a two-covered garage space.

Ancillary issues from reducing parking requirements for houses 3,000 feet and below that were not well-discussed during the Residential Code rewrite include:

1. Mercer Island effectively has no intra-island transit. The 201 that circled the Mercers was eliminated because of low ridership, in part because it is very difficult for citizens to even get up their steep drives to one of the Mercers, and the 201 was very slow.
2. One covered garage space is usually required for the three different bins – garbage, recycle, and yard waste – plus storage of bikes, skis, tools, and other personal equipment. For the first 16 years I lived in a small house on First Hill with a one-car garage, which effectively was a zero-car garage since there was too much stuff in the garage to park a car in it. This effectively moves either cars, or items such as garbage bins, out into the yard and street.

3. Since Mercer Island residential neighborhoods have few sidewalks, cars parked along the street push kids walking to the school bus out into the middle of the road. This is especially problematic when it is dark.
4. Overflow street parking in the residential neighborhoods makes dedicated bike paths almost impossible, including on the Mercers. Not unlike the Town Center that only requires one parking stall per unit, reducing parking requirements simply subsidizes builders by shifting parking from onsite to the street.

The original intent was to ameliorate the reduction in GFAR limits in the new code. A resident would convert one parking space to living area. However, a 3,000 sf house simply does not need this incentive, and the GFA necessary to qualify for reduced parking should be reduced from 3,000 sf to 2,000 sf.

CITY OF MERCER ISLAND

COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040

PHONE: 206.275.7605 | www.mercerisland.gov



PLANNING COMMISSION

TO: Planning Commission

FROM: Adam Zack, Senior Planner

DATE: February 11, 2022

SUBJECT: ZTR21-006

ATTACHMENTS: A. MICC 19.15.030 with Alternative A Amendments
B. Sample CPD Weekly Permit Bulletin

SUMMARY

The purpose of this memo is to provide the Planning Commission with the staff recommendation for ZTR21-006. This zoning code amendment was added to the 2021 CPD work program through the annual docket. The proposed amendment would change the land use review type for five types of land use permits, resulting in increased levels of public notice.

At the December 15 meeting, the Planning Commission provided initial guidance on the proposed code amendment. At that meeting, the Planning Commission proposed amending the land use review type for two land use review actions. The option for amending Mercer Island City Code (MICC) 19.15.030 is referred to herein as Alternative A. On December 15, the Planning Commission also proposed an alternative that would establish a programmatic approach for listing land use review actions on the CPD Weekly Permit Bulletin without amending MICC 19.15.030 Land use review types. The programmatic response is referred to herein as Alternative B. The no change option is referred to as Alternative C. Staff recommends Alternative B.

BACKGROUND

Daniel Thompson submitted a docket request for several amendments to Title 19 MICC on November 2, 2020. The City Council approved Resolution 1594 on December 1, 2020, which directed the Planning Commission to make a recommendation on the fifth proposed code amendment from the original docket request.

The docket request proposed six amendments to Title 19 MICC. Only the fifth requested amendment, a proposed amendment to [MICC 19.15.030 – Land use review types](#), was added to the final docket by the City Council. The proposed amendment of MICC 19.15.030 would change the notice requirements for five land use review actions:

- Seasonal Development Limitation Waivers (SDLWs);
- Tree Removal Permits;
- Final Short Plats;
- Lot Line Revisions; and
- Setback Deviations.

The application states the purpose of the proposed amendments is to provide greater public notice of permit applications and decisions.

Please see the December 9, 2021, staff report for additional discussion of the land use review actions considered in the original docket application:

https://mieplan.mercergov.org/public/ZTR21-006/Documents%20for%20Planning%20Commission/2021-12-09_ZTR21-006_Staff_Report.pdf

MICC 19.15.030 – Land use review types.

[MICC 19.15.030](#) establishes four types of land use review, each with its own unique notice requirements. The four types are described as follows:

- A. Type I. Type I reviews are based on clear, objective and nondiscretionary standards or standards that require the application of professional expertise on technical issues.
- B. Type II. Type II reviews are based on clear, objective and nondiscretionary standards or standards that require the application of professional expertise on technical issues. The difference between Type I and Type II review is that public notification shall be issued for Type II decisions.
- C. Type III. Type III reviews require the exercise of discretion about nontechnical issues.
- D. Type IV. Type IV reviews require discretion and may be actions of broad public interest. Decisions on Type IV reviews are only taken after an open record hearing.”

The permit types are primarily differentiated by the amount of discretion and technical expertise that must be used in making permitting decisions. Type I and II permits are nondiscretionary and require the application of professional expertise on technical issues. Types III and IV permits require more discretion, with Type IV permits also being for larger, more impactful actions that are of broad public interest.

Together the permit type definitions and the review process establish a hierarchy wherein permit reviews requiring more discretion also have higher levels of public notice as well as opportunities for public comment and participation. Public notice is not required for Type I permits. Public notification posted in the CPD Weekly Permit Bulletin is required for Type II permits. More public notice is required for Type III and IV permits compared with Type II. The additional notice includes posting on site, mailing to addresses within 300 feet and, in some cases, publication in the Mercer Island Reporter. Type III and IV permits also have a 30-day public comment period. Type IV permits require a public hearing.

ALTERNATIVE A – AMEND MICC 19.15.030 – LAND USE REVIEW TYPES

On December 15, the Planning Commission proposed amending the land use review types for Seasonal Development Limitation Waivers (SDLWs) and Final Short Plats from Type I to Type II. Increasing the land use review type from Type I to Type II would require SDLWs and Final Short Plats to be listed on the CPD Weekly Permit Bulletin. This would add more review time to these land use review actions. Please see the December 9, 2021 staff report for additional discussion of increasing the land use review type for SDLWs and Final Short Plats.

Alternative A would amend MICC 19.15.030 Land use review types, Table A as follows. The full text of MICC 19.15.030 with amendments to Table A is provided in Attachment A, page 2, line 2.

MICC 19.15.030 - Land use review types, Table A.

Table A. Land Use Review Type			
Type I	Type II	Type III	Type IV
<ul style="list-style-type: none"> • Home business • Seasonal development limitation waiver • Nonmajor single-family dwelling building permits • Tree removal permit • Right-of-way permit • Special needs group housing safety determination • Tenant improvement/change of use • Shoreline exemption ¹ • Critical area review 1 • Final short plat • Temporary commerce on public property • Site development permits • Transportation concurrency certificate 	<ul style="list-style-type: none"> • Modified wireless communication facilities (6409 per 47 CFR 1.40001) • Lot line revision • Setback deviations • Final plat ^{2,3} • Code official design review • Accessory dwelling unit • Parking modification ⁷ (reviewed by city engineer) • Small wireless facility deployment • <u>Seasonal development limitation waiver</u> • <u>Final short plat</u> 	<ul style="list-style-type: none"> • New and modified wireless (non-6409) eligible facility • SEPA threshold determination • Critical area review 2 • Public agency exception • Temporary encampment ⁴ • Short plat alteration and vacations • Preliminary short plat • Development code interpretations • Major single-family dwelling building permit ⁵ • Shoreline substantial development permit ¹ • Shoreline revision (substantial development) ¹ 	<ul style="list-style-type: none"> • Preliminary long plat approval • Conditional use permit • Variance • Critical areas reasonable use exception • Long plat alteration and vacations • Parking modifications ⁷ (reviewed by design commission) • Variance from short plat acreage limitation • Wireless communication facility height variance • Planned unit development • Design commission design review • Permanent commerce on public property • Shoreline conditional use permit (SCUP) ⁶ • Shoreline variance ⁶ • Shoreline revision (variance and SCUP)

1 Appeal will be heard by the shorelines hearings board.

2 Decision is made by city council after discussion at a public meeting.

3 A notice of decision will be issued for a final long plat.

- 4 A public meeting is required.
- 5 Major single-family dwelling building permits are subject only to the notice of application process. A notice of decision will be provided to parties of record.
- 6 Hearing examiner will forward a recommendation to the Washington State Department of Ecology for Ecology's decision.
- 7 Parking modifications are issued pursuant to the provisions of MICC 19.11.130.

ALTERNATIVE B – PROGRAMMATIC SOLUTION

On December 15, the Planning Commission proposed a programmatic alternative for providing additional notice without amending MICC 19.15.030. This alternative would add links to online electronic permit records to the CPD Weekly Permit Bulletin. In addition to links, staff proposes adding instructions for searching online building permit records available at www.mybuildingpermit.com. An example of the CPD Weekly Permit Bulletin with search instructions and placeholders for links is provided in Attachment B.

Mybuildingpermit.com Search

Electronic permit records are publicly available at <https://permitsearch.mybuildingpermit.com/>. The online records are updated as soon as an application is entered into the CPD electronic permit system. Staff proposes adding instructions for searching permit records to the CPD Weekly Permit Bulletin, as shown in Attachment B. Through mybuildingpermit.com, anyone can see all permits that have been applied for, issued, or finalized within a given date range.

One of the ideas the Planning Commission proposed on December 15 was creating links that would go directly to a specific search on mybuildingpermit.com (i.e. tree permits issued in the last week). Staff explored this option with City IT staff. Unfortunately, creating a link to a specific search on mybuildingpermit.com is not possible at this time given the way the search function is built on the website. This functionality might be available in the future but is unavailable at present.

Permit Web Map

When CPD staff met with City Information and Geographic Services (IGS) staff to discuss links to a fixed mybuildingpermit.com search, IGS staff proposed an alternative of creating a web map showing permit applications by type, status, and location. After the meeting, IGS staff created a prototype web map for searching permit applications. The web map would provide a search interface that is easier to use than mybuildingpermit.com and give the public the option to search by location. Furthermore, the permit data displayed on the web map is pulled from the same electronic permit data source as mybuildingpermit.com, meaning the permit information shown is updated as new permits are entered into the system. If the Planning Commission recommends Alternative B, a finished web map would be made available online and a link to the web map would be added to the CPD Weekly Permit Bulletin.

Figure 1 shows the initial view of the prototype web map. The colored dots on the map show different land use and building permit applications throughout the City. Each color represents a different type of permit. Clicking on any dot brings up a window with the pertinent permit information (see Figure 3). The search fields on the right allow the user to filter the dots shown on the map by permit type and application date.

Figure 1. Prototype Web Map Initial View.

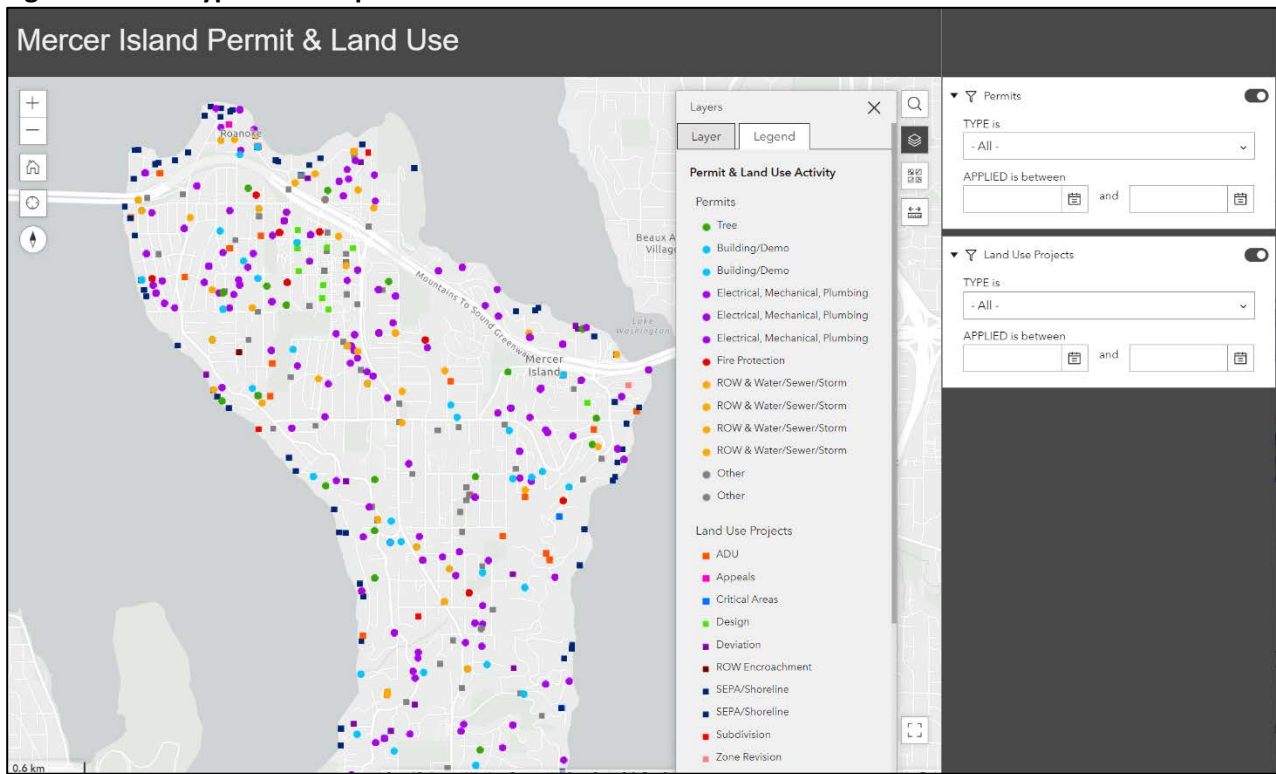


Figure 2 shows a sample tree permit search for an area of east Mercer Island. It illustrates what the map looks like when permits are filtered to show a specific permit type in a given area. The example search is for tree permits submitted between December 1, 2021 and January 31, 2022, in the area south of I-90 and west of E Mercer Way. The green dots on the map are individual tree permits.

Figure 2. Prototype Web Map Search Example.

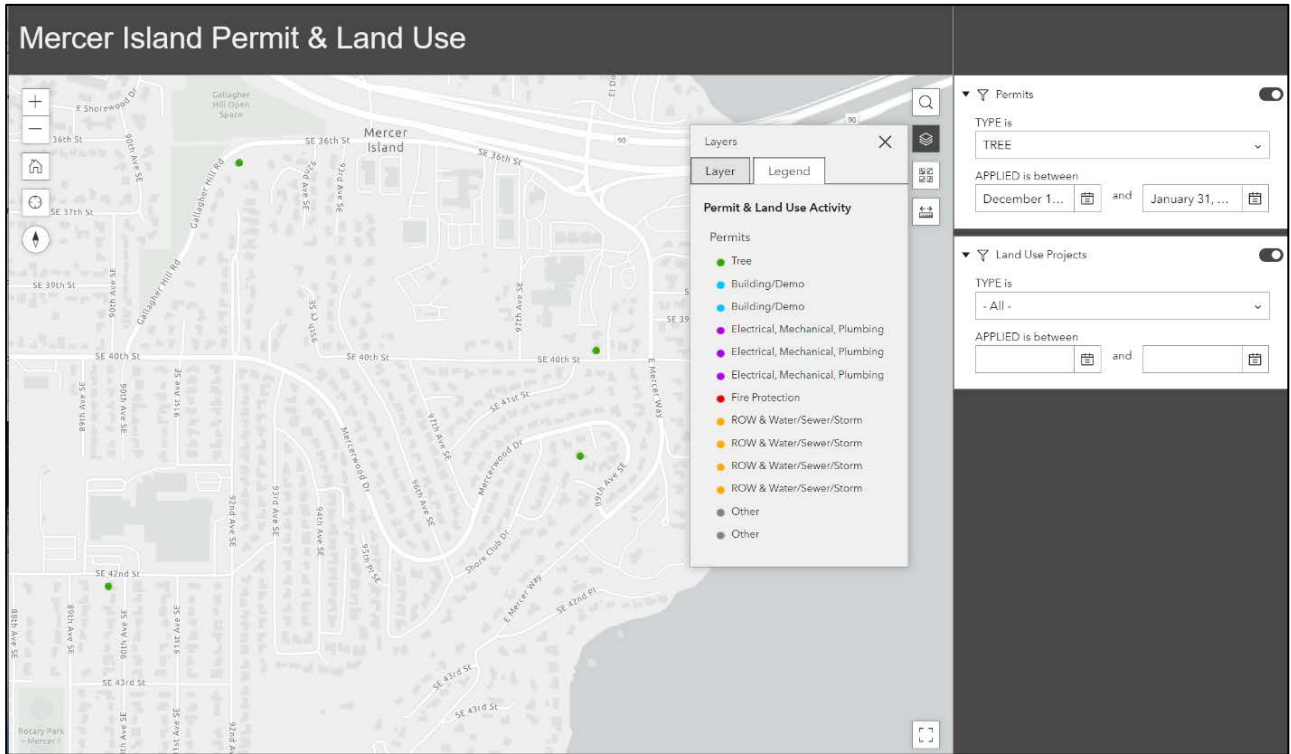
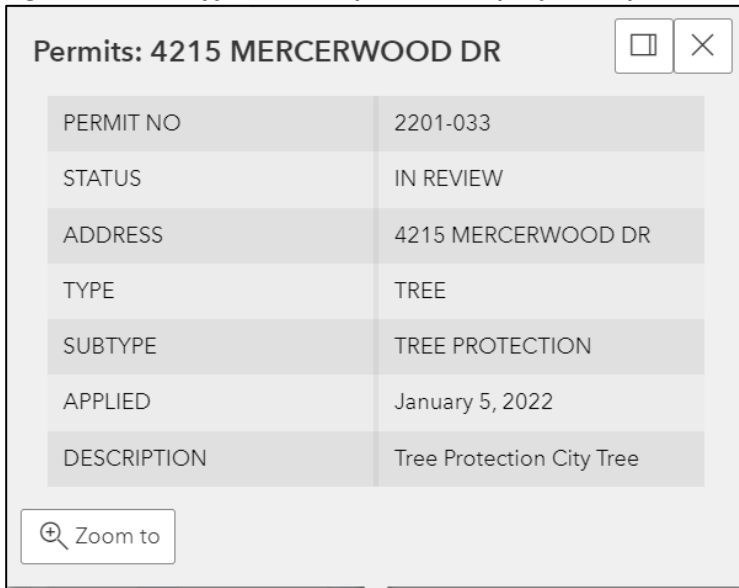


Figure 3 shows the pop up that comes up when a user clicks on a dot on the map. The pop up displays pertinent permit information pulled from the CPD permit records. Note that the example search was completed on January 31, the status for the example permit may be different if searched at a later date.

Figure 3. Prototype Web Map Permit Pop Up Example.



If Alternative B resolves this docket request, staff will finish building the permit web map and create a version for the public to use. One advantage of using a programmatic response is that amending the web map can be done as needed to make it a more useful tool. The programmatic response has the added advantage of being automated moving forward. In other words, once the web map is built it will automatically pull from the City’s electronic permit records without requiring constant ongoing staff maintenance to keep it up to date.

Combining the permit web map and adding instructions for searching mybuildingpermit.com to the CPD Weekly Permit Bulletin will accomplish the goal of making permit information more widely available without requiring any changes to the City Code.

Alternative B is the staff recommended alternative.

ALTERNATIVE C – NO CHANGE

The Planning Commission is not required to amend MICC 19.15.030. All five land use review actions would remain as currently typed if MICC 19.15.030 is not amended.

STAFF RECOMMENDATION

Staff recommends Alternative B. The programmatic solution is an effective way to disseminate information about land use review actions without substantially increasing the amount of time committed to the review of routine land use review actions like SDLWs, Final Short Plats, and Tree Removal Permits. Combining the permit web map and instructions for searching mybuildingpermit.com to the CPD Weekly Permit Bulletin will accomplish the goal of making permit information more widely available without requiring any changes to the City Code. This is preferable to amending the code because the web map can be fine-tuned in the future to provide the pertinent information without requiring a legislative action such as amending the City Code. This approach utilizes the existing resource of electronic permit records to address the issue raised in the original docket proposal without an ongoing commitment of additional City resources.

1 **19.15.030 - Land use review types.**

2
3 There are four categories of land use review that occur under the provisions of the development code.

4
5 A. *Type I.* Type I reviews are based on clear, objective and nondiscretionary standards or
6 standards that require the application of professional expertise on technical issues.

7
8 B. *Type II.* Type II reviews are based on clear, objective and nondiscretionary standards or
9 standards that require the application of professional expertise on technical issues. The
10 difference between Type I and Type II review is that public notification shall be issued for Type
11 II decisions.

12
13 C. *Type III.* Type III reviews require the exercise of discretion about nontechnical issues.

14
15 D. *Type IV.* Type IV reviews require discretion and may be actions of broad public interest.
16 Decisions on Type IV reviews are only taken after an open record hearing.

17
18 E. The types of land use approvals are listed in Table A of this section. The required public
19 process for each type of land use approval are listed in Table B of this section.

20
21 F. *Consolidated permit processing.* An application for a development proposal that involves the
22 approval of two or more Type II, III and IV reviews may be processed and decided together,
23 including any administrative appeals, using the highest numbered land use decision type
24 applicable to the project application. The following permits and land use reviews are excluded
25 from consolidated review and approval:

26
27 1. Building permits associated with the construction of one or more new single-family
28 dwellings on lots resulting from the final plat approval of a short subdivision or long
29 subdivision.

30
31 2. Building permits associated with shoreline conditional use permits and shoreline
32 variance.

33
34 3. Project SEPA reviews shall be processed as a Type III land use review.

35
36 4. When a review is heard by multiple decision bodies, the higher decision body will
37 make the final decision, and the lower decision body will review the project at a public
38 meeting and issue a recommendation that will be reviewed by the higher decision body.
39 The higher decision body will either adopt the recommendation as part of the permit
40 conditions, will remand the recommendation back to the lower body for further
41 consideration, will amend the recommendation, or will deny adoption of the
42 recommendation and will adopt their own permit conditions. The hierarchy of decision
43 bodies is as follows, from highest to lowest:

44
45 a. City council;

46
47 b. Hearing examiner;

48

c. Design commission.

1
2

Table A. Land Use Review Type			
Type I	Type II	Type III	Type IV
<ul style="list-style-type: none"> • Home business • Seasonal development limitation waiver • Nonmajor single-family dwelling building permits • Tree removal permit • Right-of-way permit • Special needs group housing safety determination • Tenant improvement/change of use • Shoreline exemption ¹ • Critical area review 1 • Final short plat • Temporary commerce on public property • Site development permits • Transportation concurrency certificate 	<ul style="list-style-type: none"> • Modified wireless communication facilities (6409 per 47 CFR 1.40001) • Lot line revision • Setback deviations • Final plat ^{2,3} • Code official design review • Accessory dwelling unit • Parking modification ⁷ (reviewed by city engineer) • Small wireless facility deployment • <u>Seasonal development limitation waiver</u> • <u>Final short plat</u> 	<ul style="list-style-type: none"> • New and modified wireless (non-6409) eligible facility • SEPA threshold determination • Critical area review 2 • Public agency exception • Temporary encampment ⁴ • Short plat alteration and vacations • Preliminary short plat • Development code interpretations • Major single-family dwelling building permit ⁵ • Shoreline substantial development permit ¹ • Shoreline revision (substantial development) ¹ 	<ul style="list-style-type: none"> • Preliminary long plat approval • Conditional use permit • Variance • Critical areas reasonable use exception • Long plat alteration and vacations • Parking modifications ⁷ (reviewed by design commission) • Variance from short plat acreage limitation • Wireless communication facility height variance • Planned unit development • Design commission design review • Permanent commerce on public property • Shoreline conditional use permit (SCUP) ⁶ • Shoreline variance ⁶ • Shoreline revision (variance and SCUP)

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- 1 Appeal will be heard by the shorelines hearings board.
- 2 Decision is made by city council after discussion at a public meeting.
- 3 A notice of decision will be issued for a final long plat.
- 4 A public meeting is required.

MICC 19.15.030 with Alternative A Amendments

- 1 5 Major single-family dwelling building permits are subject only to the notice of application process. A
- 2 notice of decision will be provided to parties of record.
- 3
- 4 6 Hearing examiner will forward a recommendation to the Washington State Department of Ecology
- 5 for Ecology's decision.
- 6
- 7 7 Parking modifications are issued pursuant to the provisions of MICC 19.11.130.
- 8

Table B. Review Processing Procedures				
	Type I	Type II	Type III	Type IV
	No Notice of Application No Notice of Decision Code Official	Public Notification No Notice of Application No Notice of Decision Code Official	Notice of Application Notice of Decision Code Official	Notice of Application Public Hearing Notice of Decision Hearing Examiner/Design Commission
Preapplication meeting required	No	No	Yes	Yes
Letter of completion (within 28 days)	No	No	Yes	Yes
Public Notification	No	Yes	No	No
Notice of Application (mailing and posting)	No	No	Yes	Yes

Table B. Review Processing Procedures				
	Type I	Type II	Type III	Type IV
Public Comment Period	None	None	30 days	30 days
Public Hearing (open record pre-decision)	No	No	No	Yes
Notice of Decision	Code Official	Code Official	Code Official	Hearing Examiner ² or Design Commission
Notice of Decision	No	No	Yes	Yes
Appeal Authority	Hearing Examiner ¹	Hearing Examiner or Design Commission (code official design review)	Hearing Examiner	Superior Court or Shoreline Hearings Board (shoreline permits)

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1 Appeals of final short plat approvals shall be to superior court. Appeals of shoreline exemptions shall be to the shoreline hearings board.

2 The hearing examiner will provide a recommendation to ecology for decisions on shoreline conditional use permits and shoreline variances.

CITY OF MERCER ISLAND

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WEEKLY BULLETIN FREQUENTLY ASKED QUESTIONS

IF I OBJECT TO THE PROPOSED WORK, HOW CAN I COMMENT?

There are criteria in the MICC for which the application is reviewed. If the proposal meets the criteria required by City Code, the City must approve the permit. If the proposal does not meet the criteria, the applicant is notified and has the option to revise the proposed design. If you provide comments within the specified comment period, they will be forwarded to the appropriate reviewer, and you will become a party of record. Written comments can specifically address how the proposed work does not meet one or more of the criteria listed in the Applicable Development Regulations. The City will accept public comments at any time prior to the closing of the record of an open record predecision hearing, if any, or if no open record predecision hearing is provided, prior to the decision on the project land use review.

WHAT ARE THE CRITERIA FOR APPROVAL OF A PERMIT?

The criteria for review of a permit are found within the Mercer Island City Code and are listed in the Applicable Development Regulations section of the bulletin. Here is a link to the City Code. Please feel free to call or email the staff contact listed on the front of the notice, and we will be happy to discuss the review process in more detail.

WILL THERE BE A PUBLIC HEARING ON THIS APPLICATION?

Public Hearings are only required for Type 4 permits. For a list of Type 4 (IV) permits, please refer to MICC 19.15.030 Table A. The public bulletin for each project will state under the Public Hearing section if a hearing is required.

WHO CAN I CONTACT TO GET MORE INFORMATION?

The contact information for the planner assigned to each specific project is listed on the bottom of the first page of each notice. You can call or email the planner assigned to the project using the provided contact information. You can also call the "Planner helpline" for zoning related questions at 206-275-7729. Additional resources available on-line include:

<http://www.mercergov.org/>: Staff directory, city regulations, and additional information about permits

<http://www.mybuildingpermit.com>: Follow the status of a specific permit by address or permit number

[Mercer Island Map Portal](#): A tool to search for site-specific information

I WANT TO ACCESS AND REVIEW SPECIFIC PROJECT DOCUMENTS.

Please click on the associated link under "Project Documents" on each Public Notice to access the folder with the project documents associated with the application. The project documents available through this link contain most, but may not contain all the publicly available information for each project. For example, when a project is updated with a different project design, older designs may be removed from the public folder to avoid confusion. Each folder will be updated when there is a project revision.

I WANT TO LEARN MORE ABOUT SEPA

What is SEPA?

SEPA is an acronym for the State Environmental Policy Act and is a review that is intended to act as a “safety net” in protecting the environment. Following SEPA review, the City must issue a determination of Significance, Non Significance, or a Mitigated Determination of Non Significance. Applicants for a SEPA review must complete a SEPA [checklist](#), and may need to prepare additional mitigation to avoid a “probable significant impact” to the environment.

When is a project SEPA exempt?

The state Department of Ecology establishes categorical exemptions to SEPA review, which are generally described here: [WAC 197-11-800](#). For example, a shoreline dock may be SEPA exempt if the dock was legally established and normal maintenance and repair is proposed. However, SEPA is required if the dock will expand or if a new dock is being built.

Where can I find more information?

Please check out the Washington State Department of Ecology SEPA [website](#) and the SEPA [handbook](#). Another useful page is the SEPA form templates found [here](#).

I APPRECIATE RECEIVING THESE NOTICES. HOW DO I AUTOMATICALLY GET A COPY OF ALL PUBLIC NOTICE OF APPLICATIONS AND DECISIONS?

Simply send us an e-mail request and we will email a link to any future notice of applications and decisions that are published in the city’s Weekly Permit Bulletin. Currently, the request can be sent to andrea.larson@mercerisland.gov.

I WOULD LIKE TO SEARCH PERMIT RECORDS ONLINE.

Not all land use review actions are required to be posted in the weekly permit bulletin. Those land use review actions that are not listed in this bulletin can be searched online using the Mercer Island Online Permit Record Map or www.mybuildingpermit.com. Please follow these instructions for searching online records.

Mercer Island Online Permit Record Map

The link below will direct you to the Mercer Island Online Permit Record Map. The permit data displayed on the web map is pulled directly from the City’s electronic permit data, meaning the permit information shown is updated as new applications are entered into the system. Instructions for using the search features on the map can be viewed by clicking the information button on the map.

The information button is at the bottom of the map and looks like this:



Mercer Island Online Permit Record Map: <LINK>

MyBuildingPermit.com Project Search

Online permit records can be searched at <https://permitsearch.mybuildingpermit.com/>. Searching online permit records only takes the following steps:

1. Select "Mercer Island" from the jurisdiction dropdown menu.
2. Click on the "Project Info" tab at the top of the search page.
3. The "Project Name/Description" field is optional. It can be left blank unless searching for a specific project.
4. Select the permit type you would like to search for from the "Permit Type" dropdown. For example, tree removal permits are listed under the "Tree" type.
5. The "Permit Status" field can narrow searches by the status. This field is optional. "Permit Status" can be left blank unless searching for a specific project.
6. Use the "Date Type" to limit your search to permits either "applied", "issued", or "finalized". Use the "Applied" option to search for permits that are still in review. Use the "Issued" option to see permits that have been issued; these permits have been approved. The "Finalized" option will show permits that have had a final inspection and approval. Please note: not all permits will be finalized, only those requiring a final inspection will be finalized. For example, tree removal permits don't always require a final inspection and so may not show up as finalized.
7. Use the "From" and "To" fields to define the dates you want to search between.
8. After the search is conducted, results will display below the search fields. You have the option of downloading the records to an Excel spreadsheet.

Permit/Application Status Search

Jurisdiction:* **Step 1** * - Indicates a required field

Search by: Permit # **Project Info** Location People **Step 2**

Project Name/Description (partial match): **Step 3**

Permit Type: **Step 4**

Permit Status: **Step 5**

Date Type: **Step 6**

From: **Step 7**

To:

* Jurisdiction is a required field

Permit #	Description	Address	Type	Status	Applied Date
▶ 2109-169	REMOVE 1 TREE rpl w 2 trees/r...	4126 100TH AVE SE	TREE	ACTIVE	09/22/2021
▶ 2112-066	Remove 1 Tree rpl w 3 Trees	8937 SE 56TH ST	TREE	ACTIVE	12/07/2021
▶ 2112-118	REMOVE 1 TREE rpl w 2 Trees	4215 HOLLY LN	TREE	ACTIVE	12/13/2021
▶ 2112-251	REMOVE 6 TREES rpl w 8 restor...	3606 GALLAGHER HILL RD	TREE	ACTIVE	12/29/2021

Total: 4 records

Step 8



2022 PLANNING SCHEDULE

Please email the City Manager & City Clerk when an agenda item is added, moved, or removed.

NOTE - Regular Meetings begin at 5:00 pm from June 16, 2020, through December 31, 2022.
Items are not listed in any particular order. Agenda items & meeting dates are subject to change.

MAY 17, 2022		DD	FN	CA	Clerk	CM
ABSENCES:		5/6	5/9	5/9	5/10	5/10
ITEM TYPE TIME TOPIC				STAFF		
STUDY SESSION						
SPECIAL BUSINESS						
CONSENT AGENDA						
--	AB xxxx: EMW 5400 to 6000 Blocks Water System Improvements Project Closeout			Jason Kintner/Rona Lin		
--	AB xxxx: 2020 Water System Improvements (SE 34th St & 78th Ave SE) Project Closeout			Jason Kintner/Rona Lin		
--	AB xxxx: 2021 Water System Improvements (82nd Ave SE & SE 24th St) Project Closeout			Jason Kintner/Rona Lin		
	AB xxxx: Public Display of Fireworks Permit Approval- Summer Celebration			Jeromy Hicks/ Doug McDonald		
	AB xxxx: Town Center Moratorium Renewal (Second Reading Ord. No. 22-03)			Jeff Thomas/Sarah Bluvas		
REGULAR BUSINESS						
30	AB xxxx: 2022 Board & Commission Annual Appointments (Res. No. xxxx)			Mayor Nice/Deputy Mayor Rosenbaum/Andrea Larson		
30	AB xxxx: First Quarter 2022 Financial Status Update & 2021-2022 Budget Amendments			Matt Mornick/Ben Schumacher		
30	AB xxxx: Transportation Impact Fee Rate Update (First Reading Ord No. 22C-xx) (Tentative)			Jeff Thomas/Alison Van Gorp		
30	AB xxxx: Parks Impact Fee Rate Update (First Reading Ord. No. 22C-xx) (Tentative)			Jeff Thomas/Alison Van Gorp		
15	AB xxxx: Check-in on Community Conversations Series			Jessi Bon/Merrill Thomas-Schadt		
30	AB xxxx: Bike Skills Area (Tentative)			Jason Kintner/Alaine Sommargren		
EXECUTIVE SESSION						

JUNE 7, 2022		DD	FN	CA	Clerk	CM
ABSENCES:		5/27	5/30	5/30	5/31	5/31
ITEM TYPE TIME TOPIC				STAFF		
EXECUTIVE SESSION						
60	Pending or Potential Litigation (Tentative)					
STUDY SESSION						
30	AB xxxx: ARCH Briefing (Tentative)			Jeff Thomas/Alison Van Gorp		
30	AB xxxx: Housing Needs Assessment Briefing (Tentative)			Jeff Thomas/Alison Van Gorp/Adam Zack		
SPECIAL BUSINESS						

CONSENT AGENDA		
--	AB xxxx: Transportation Impact Fee Rate Update (Second Reading Ord. No. 22C-xx)	Jeff Thomas/Alison Van Gorp
--	AB xxxx: Parks Impact Fee Rate Update (Second Reading Ord. No. 22C-xx)	Jeff Thomas/Alison Van Gorp
--	AB xxxx: Authorizing Grant Application(s) to RCO for Luther Burbank Park Waterfront improvements (Res. No. xxxx)	Jason Kintner/Paul West
--	AB xxxx: Water Meter Replacement Program Bid Award	Jason Kintner/Allen Hunter
--	AB xxxx: 77th Ave SE & Sunset Hwy Intersection Improvements Bid Award	Jason Kintner/Lia Klein
--	AB xxxx: City Hall Lobby Renovation Bid Award	Jason Kintner/Jaime Page
REGULAR BUSINESS		
45	AB xxxx: 2022 Community Survey Results (tentative)	Ali Spietz/Mason Luvera
30	AB xxxx: Interlocal Agreement with the Mercer Island School District for Field Maintenance (Tentative)	Jason Kintner
15	AB xxxx: Healthy Youth Initiative Update	Ali Spietz/Tambi Cork
15	AB xxxx: Adoption of 2023-2028 Six-Year Transportation Improvement Program (Public Hearing continued from May 3 Meeting and Adoption).	Jason Kintner/Patrick Yamashita
30	AB xxxx: Permit Types and Noticing Code Amendments (Second Reading Ord. No. 22C-xx)	Jeff Thomas/Alison Van Gorp/Adam Zack
EXECUTIVE SESSION		

JUNE 21, 2022		DD	FN	CA	Clerk	CM
ABSENCES:		6/10	6/13	6/13	6/14	6/14
ITEM TYPE TIME TOPIC				STAFF		
STUDY SESSION						
SPECIAL BUSINESS						
CONSENT AGENDA						
--	Interlocal Agreement with MISD for School Mental Health Counselors				Ali Spietz/Tambi Cork	
REGULAR BUSINESS						
45	AB xxxx: Town Center Code Amendments (Fourth Reading Ord. No. 22C-xx)				Jeff Thomas/Sarah Bluvas	
45	AB xxxx: State Mandated Code Amendments (First Reading Ord. No 22C-xx)				Jeff Thomas/Alison Van Gorp/Eileen Kieffer	
EXECUTIVE SESSION						

JULY 5, 2022		DD	FN	CA	Clerk	CM
ABSENCES:		6/24	6/27	6/27	6/28	6/28
ITEM TYPE TIME TOPIC				STAFF		
STUDY SESSION						
60	AB xxxx: Town Center Parking Study Presentation (Tentative – July 19 as alternate)				Sarah Bluvas/Jason Kintner/ Jeff Thomas/Ed Holmes	

SPECIAL BUSINESS		
CONSENT AGENDA		
--	AB xxxx: Parks and Recreation Month, Proclamation No. xxx	Jason Kintner/Ryan Daly
REGULAR BUSINESS		
30		
EXECUTIVE SESSION		

JULY 19, 2022		DD	FN	CA	Clerk	CM
ABSENCES:		7/8	7/11	7/11	7/12	7/12
ITEM TYPE TIME TOPIC				STAFF		
STUDY SESSION						
60	AB xxxx: YFS School-Based Programming Update			Ali Spietz/Tambi Cork		
SPECIAL BUSINESS						
60	AB xxxx: Town Center Parking Study Presentation (Tentative – July 5 as alternate)			Sarah Bluvas/Jason Kintner/ Jeff Thomas/Ed Holmes		
CONSENT AGENDA						
REGULAR BUSINESS						
30	AB xxxx: State Mandated Code Amendments (Second Reading Ord. No. 22C-xx)			Jeff Thomas/Alison Van Gorp/Eileen Kieffer		
20	AB xxxx: Aubrey Davis Trail Safety Improvements 30% Design Recommendation			Jason Kintner/Paul West		
EXECUTIVE SESSION						

AUGUST 2, 2022 – LIKELY CANCELED		DD	FN	CA	Clerk	CM
ABSENCES:		7/22	7/25	7/25	7/26	7/26
ITEM TYPE TIME TOPIC				STAFF		
STUDY SESSION						
SPECIAL BUSINESS						
CONSENT AGENDA						
REGULAR BUSINESS						
EXECUTIVE SESSION						

