



## DESIGN COMMISSION REGULAR VIDEO MEETING

# AGENDA

**Wednesday, July 08, 2020**

Mercer Island City Hall - Council Chambers  
9611 SE 36th Street | Mercer Island, WA 98040  
**Phone: 206.275.7706 | [www.mercergov.org](http://www.mercergov.org)**

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### PLANNING COMMISSIONERS:

**Chair:** Richard Erwin

**Vice Chair:** Colin, Brandt

**Commissioners** Claire McPherson, Anthony Perez, Tom Soeprono, Hui Tian, Suzanne Zahr

In compliance with the Americans with Disabilities Act, those requiring accommodation for meetings should notify the Staff Liaison at least 24 hours prior to the meeting.

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### VIRTUAL MEETING NOTICE

All Design Commissioners and City staff will be participating in the meeting remotely using video conferencing technology provided by Zoom. For the safety and wellbeing of the public and staff, the City strongly recommends that the public attends the meeting by viewing the live feed of the video conference on Zoom.

**NOTE: There will be no public comment at this meeting.**

**Join by Telephone at 7:00 pm:** To listen to the meeting via telephone, please call 253-215-8782 and enter Webinar ID 955 5767 9635 and Password 019924 when prompted.

OR

**Join by Internet at 7:00 pm:** To watch the meeting over the internet via your computer microphone/speakers, follow these steps:

1. Click this [link](#)
2. If the Zoom app is not installed on your computer, you will be prompted to download it.
3. If prompted for Webinar ID, enter 955 5767 9635
4. Enter Password 019924

**Submitting Written Comments:** Written comments may be submitted by emailing the Design Commission at [Design.Commission@mercergov.org](mailto:Design.Commission@mercergov.org)

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### CALL TO ORDER & ROLL CALL, 7:00 PM

#### SPECIAL BUSINESS

(1) Election of Chair and Vice Chair

(2) Review and Approval of Design Commission Bylaws

#### APPROVAL OF MINUTES

[\(3\)](#) July 24, 2019 Minutes

### **STUDY SESSION**

[\(4\)](#) DSR20-005 Mercer Park Building Renovation.

Study session to review the proposed exterior renovation of the Mercer Park office building (f.k.a. the Farmers Insurance building).

Staff Contact: Evan Maxim

### **OTHER BUSINESS**

Planned Absences for Future Meetings

Announcements & Communications

Next Scheduled Meeting: TBD

### **ADJOURN**

## MERCER ISLAND DESIGN COMMISSION BYLAWS

### **ARTICLE I      GENERAL PROVISIONS**

These bylaws are supplementary to City of Mercer Island Ordinances Nos. 297 and 298.

### **ARTICLE II      OFFICERS AND THEIR DUTIES**

- Section 1.      The officers shall consist of Chair and Vice Chair and shall be elected at the first regular meeting of the calendar year after newly appointed Commissioners are seated.
- Section 2.      In the absence of the Chair and Vice Chair, a Chair Pro tem shall be elected by the remaining members of the Design Commission and shall serve only for the meeting at which he/she is elected.
- Section 3.      A scribe shall be provided by the City Planning Department to prepare minutes and keep such record, attend to correspondence of the Design Commission, and perform such other duties as may be deemed necessary.

### **ARTICLE III      MEETINGS**

- Section 1.      Regular meetings of the Design Commission shall be held on the second and fourth Wednesday of each month at 7:00 P.M. or other such time as determined by the Design Commission in the Mercer Island City Hall or such other place as the Design Commission may determine. Any regular meeting may be canceled or re-scheduled by the Chair or in his/her absence by the Vice Chair
- Section 2.      If a regular meeting falls on a legal holiday that meeting shall automatically be held on the next day which is not a holiday unless the Commission by formal action sets an alternative day.
- Section 3.      Special meetings of the Design Commission may be called by any of the following; Chair or in his absence by the Vice Chair, City Manager, Mayor. The scheduling and holding of all Design Commission meetings is to be done in accordance with Washington State Statutes.
- Section 4.      A majority of the Design Commission membership shall constitute a quorum. For the conduct of business, a majority vote of the members present at a meeting provided a quorum is present shall be sufficient to act. The Chair of the meeting shall be a full voting member, but may not initiate or second a motion. The motion which decides the issue or makes the recommendations shall be in the

form of findings of fact and shall state the reasons for the findings by the Design Commission.

#### **ARTICLE IV     CONDUCT OF MEETINGS**

- Section 1.     All meetings of the Design Commission shall be conducted in accordance with the Roberts' Rules or Order.
- Section 2.     All meetings shall be conducted in accordance with the agenda.
- Section 3.     Non-members of the Commission may address the Design Commission only after being recognized by the Chair of the meeting and shall confine their remarks to the subject before the Commission. The Chair of the meeting shall endeavor to minimize the amount of cumulative redundant testimony by the public.
- Section 4.     Minutes of all regular meetings shall be kept and made part of a permanent public record. All actions of the Design Commission shall be considered conclusive as to general import as of the date of such action. Details of phraseology, conditions, etc., shall be subject to correction at the time of considering and approving the minutes of the meetings at which such actions were taken.
- Section 5.     Any member of the Design Commission who has a material, direct or individual interest in any matter before the Design Commission shall publicly so indicate, shall then recuse him/herself from the meeting during the period of discussion and action thereon and shall refrain from any prior discussion of such matter with other members of the Design Commission.

#### **ARTICLE V     ATTENDANCE**

- Section 1.     Attendance at regular and special meetings is expected of all Design Commission members.
- Section 2.     Any member anticipating absence from a meeting should notify the Chair or City Planning Department.
- Section 3.     Any absence may be excused by the Design Commission, even for an extended period. Chronic unexcused absence of any member shall be referred by the Design Commission to the Mayor.



## **ARTICLE VI     AGENDA AND STAFF REPORTS**

- Section 1.     An agenda for every regular meeting shall be prepared and distributed by the City Planning Department to each member not less than five (5) days prior to the date of the meeting at which such agenda is to be considered. The agenda shall be accompanied with a complete copy of the unapproved minutes of the previous meeting, staff reports, and such material, illustrations, petitions, etc. as may pertain to the agenda.
- Section 2.     All matters requiring Design Commission consideration shall be filed with the City Planning Department at least fifteen (15) days prior to the date of any regular meeting. Under special circumstances this filing date may be waived by the Chair or City Manager for Capital Improvement Projects, however, in no instance shall the Design Commission take official action on any matter that is not included on the agenda.

## **ARTICLE VII     AMENDMENTS TO RULES AND REGULATIONS**

These bylaws may be amended by a majority vote of the entire membership of the Design Commission, and are subject to the approval of the City Council.

Date Approved: \_\_\_\_\_

Design Commission Chair: \_\_\_\_\_

# DESIGN COMMISSION

## MEETING MINUTES



**Wednesday, July 24, 2019**

### CALL TO ORDER

Chair Richard Erwin called the meeting to order at 7:01PM in the Council Chambers, 9611 SE 36th Street, Mercer Island, Washington.

### ROLL CALL

Chair Richard Erwin, Vice Chair Colin Brandt, Commissioners, Claire McPherson, Anthony Perez, and Suzanne Zahr (arrived at 7:02pm) were present. Tom Soeprono was absent.

### STAFF PRESENT

Evan Maxim, CPD Director, Andrea Larson, Senior Administrative Assistant, Mona Davis, Planning Manager Nicole Gaudette, Senior Planner, Andrew Leon, Planner, and Bio Park, Interim City Attorney were present.

### SPECIAL BUSINESS

#### Agenda Item #1: Election of Chair and Vice-Chair

Evan Maxim, CPD Director, provided a brief explanation of the election process.

#### Election of Chair:

Brandt nominated Erwin for chair;

#### Vote Round 1:

Erwin 5-0

**Erwin was elected chair**

#### Election of Vice-Chair

Perez nominated Brandt for vice-chair;

#### Vote Round 1:

Brandt 5-0

**Brandt was elected vice-chair**

### MEETING MINUTES APPROVAL

The Commission reviewed the minutes from the May 22, 2019

It was moved by Perez; seconded by Zahr to:

**Approved the May 22, 2019 minutes**

Passed 4-0

## PUBLIC HEARING

### Agenda Item #1: DSR2018-024 Public Hearing

Andrew Leon, Planner, gave a brief presentation on a new office building in Town Center, located at 2856 80<sup>th</sup> Ave SE.

Scott Carr, Public 47 Architects, gave a presentation on the new office building. Yvonne Biggly, Karen Case Landscape architects, provided a presentation on the landscape architecture.

Chair Erwin opened the public hearing at 7:45pm  
There were no comments during the public hearing.  
Chair Erwin closed the public hearing at 7:4pm.

The Commission recessed until 7:51pm

It was moved by Brandt to:  
Swap agenda items #2 & #3.  
Approved 5-0

## REGULAR BUSINESS

### Agenda Item #3: DSR2018-024

Andrew Leon, Planner, gave a brief presentation on a new office building in Town Center, located at 2856 80<sup>th</sup> Ave SE.

The Commission reviewed and discussed the project.

It was moved by Zahr; seconded by Brandt to:

Grant Public 47 Architects, design approval for façade modifications and signage for an office building in the Town Center located at 2856 80<sup>th</sup> Ave SE, as show in Exhibit 1, except were superseded as show in Exhibit 8, submitted on July 24, 2019, subject to the following conditions and further conditioned as follows:

1. All aspects of the proposed development shall be in substantial conformance with the detail information submitted with this application (i.e. elevations, perspective drawings, colors, materials, font, size of sign lettering and relationship and layout of the approved wording and graphics), as depicted in Exhibit 1, except were superseded as show in Exhibit 8, submitted on July 24, 2019.
2. If a building permit is required and the applicant has not submitted a complete application for a building permit within three years from the date of this notice, or within two years from the decision on appeal from the final design review decision, design review approval shall expire.
3. The applicant shall provide proof of LEED certification within 180 days of issuance of a final certificate of occupancy, or such later date as may be allowed by the code official for good cause, by submitting a report analyzing the extent credits were earned toward such a rating.
4. Ground cover shall be planted to have 100 percent ground coverage in two years
5. Any tree cutting or pruning shall be consistent with Chapter 19.10 MICC.
6. All landscaping shall be maintained in good condition, in compliance with MICC 19.11.070(B)(2)(e).
7. All brackets and supports of the proposed PV array shall be painted or otherwise colored to match the color of the roof.

Passed 5-0

## PUBLIC HEARING

### Agenda Item #2: DSR2019-005 Public Hearing

Nicole Gaudette, Senior Planner, gave a brief presentation on an exterior remodel and new signage for an existing McDonald's restaurant in Town center, located at 2807 78<sup>th</sup> Ave SE.

Jamie Trenda, Freiheit Architecture, answered questions regarding the proposed remodel and new signage.

Chair Erwin opened the public hearing at 8:32pm  
 There were no comments during the public hearing.  
 Chair Erwin closed the public hearing at 8:32pm

## **REGULAR BUSINESS**

### **Agenda Item #4: DSR2019-005 Public Hearing**

Nicole Gaudette, Senior Planner, gave a brief presentation on an exterior remodel and new signage for an existing McDonald's restaurant in Town center, located at 2807 78<sup>th</sup> Ave SE.

The Commission reviewed the project.

It was moved by Perez seconded by McPherson to:

Grant Freiheit Architecture, design approval for an exterior modifications and signage for a restaurant in the Town Center located at 2807 78<sup>th</sup> Ave SE, as show in Exhibit 1, subject to the following conditions and further conditioned as follows:

1. All aspects of the proposed development shall be consistent with the detail information submitted with this application (i.e. elevations, perspective drawings, colors, materials, font, size of sign lettering and relationship and layout of the approved wording and graphics), as depicted in Exhibit 1 through 6.
2. If required, the applicant shall apply for an obtain a building permit from the City of Mercer Island prior to installation of the signs
3. If a building permit is required and the applicant has not submitted a complete application for a building permit within three years from the date of this notice, or within two years from the decision on appeal from the final design review decision, design review approval shall expire.
4. Elevation keynote EN-11 on all sheets shall match the revision 1 note on sheet A-2.1 in Exhibit 1 submitted on July 24, 2019.

Passed 5-0

## **PLANNED ABSENCES FOR FUTURE MEETINGS**

Chair Erwin will be absent September 25. Vice Chair Brandt will be absent September 11.

## **OTHER BUSINESS**

Andrea Larson, Senior Administrative Assistant spoke to the Commission regarding new City email accounts that have been created for them.

## **ANNOUNCEMENTS AND COMMUNICATIONS**

The next Design Commission meeting is on June 12, 2019 at 8:48PM.

## **ADJOURNMENT**

The meeting was adjourned at 8:48PM

# CITY OF MERCER ISLAND

## COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040

PHONE: 206.275.7605 | [www.mercergov.org](http://www.mercergov.org)



## STAFF REPORT

### DESIGN COMMISSION STUDY SESSION

|                          |  |
|--------------------------|--|
| <b>Project No:</b>       | DSR20-005  |
| <b>Description:</b>      | Mercer Park office building renovation: <ol style="list-style-type: none"> <li>1. Renovating the east building facade;</li> <li>2. Modifying the front entry and plaza; and,</li> <li>3. Renovating the third floor roof to create an outdoor deck area.</li> </ol>      |
| <b>Applicant/ Owner:</b> | Mercer Park South, LLC (c/o Marc Gearhart)   |
| <b>Site Address:</b>     | 3003 77 <sup>th</sup> Avenue SE (Parcel Number 531510-1015)  |
| <b>Zoning District:</b>  | Town Center (TC)   |
| <b>Staff Contact:</b>    | Evan Maxim, Director of Community Planning & Development   |
| <b>Exhibits:</b>         | <ol style="list-style-type: none"> <li>1. Project Narrative by Burgess Design, dated June 8, 2020</li> <li>2. Mercer Park Conceptual Plans, by Burgess Design, dated June 29, 2020</li> <li>3. Arborist report by Urban Forestry Services, dated May 13, 2020</li> </ol> |

#### INTRODUCTION

The applicant has applied for a study session with the Design Commission in order to obtain guidance on portions of the relevant design standards (MICC Section 19.11 – Town Center Development and Design Standards). This study session also fulfills the requirement in MICC 19.15.220(C)(2)(a) to meet with the Design Commission in a study session prior to a decision.

The subject site is located at 3003 77<sup>th</sup> Avenue SE, in the TC zone. The site slopes downward from west to east. The site is currently developed with an existing office building, formerly known as the Farmers Insurance building, and associated parking. The property to the west of the subject property is zoned as multifamily (MF-2) and is developed with townhomes (Trellis). The property to the south of the subject property is zoned Public Institution (PI) and is developed with the Recycling Center, Bicentennial Park, and Mercerdale Park. The property to the north and east of the subject property is zoned Town Center (TC) and is developed with commercial buildings.

This project will require design review and approval by the Design Commission prior to issuance of any construction permits. Following completion of this study session and receipt of an application for design review, an open record public hearing in front of the Design Commission will be scheduled pursuant to MICC 19.15.220(C)(2).

## STAFF ANALYSIS AND CRITERIA FOR REVIEW

1. East Building Façade renovation: The applicant is proposing to renovate the East Building Façade as follows (Exhibit 1: Project Narrative):
  - a. Removing the landscaped berm between 77<sup>th</sup> Avenue SE and the building, and installing new windows to bring daylight into the lower level;
  - b. Installing new landscaping on the re-graded area. Landscaping will consist of paved pedestrian areas along the frontage to support the Farmer's market and pedestrian activity, and softscape landscaping consisting of ornamental and native plants; and,
  - c. Painting the existing wood screen and installing lighting around the pedestrian benches.

### Staff analysis:

The Town Center Design Vision is established in MICC 19.11.010(D). Redevelopment should orient buildings towards the public right of way, increase pedestrian amenities, and create public amenities such as outdoor seating, spaces for art and public gatherings. The proposed renovation along the 77<sup>th</sup> Avenue SE appears is consistent with the Town Center Design Vision for redevelopment.

Landscaping standards are listed in MICC 19.11.070. The applicant is not proposing to change the amount of landscaped area; the project scope is a revision to existing landscaped areas. MICC 19.11.070(B)(2)(b) requires that existing prominent trees be retained to the extent feasible. The applicant has proposed to remove four existing trees along the east building façade to allow for excavation to both install drainage improvements and modify the building façade to allow daylight into the lowest level of the building (Exhibit 2: Mercer Park Conceptual Plans, pages 7-8). The applicant does intend to retain the existing street trees. The conceptual landscaping plan (Exhibit 2: Mercer Park Conceptual Plans, pages 3-5 and 7-8) appears to be consistent with the provisions of 19.11.070.

Lighting standards are established in MICC 19.11.090. Lighting should be designed to be pedestrian scale, LED or low wattage, natural lighting, and integrated into the overall design. The proposed renovation provides for pedestrian scale lighting around the proposed public amenities along 77<sup>th</sup> Avenue SE and appears to be consistent with the provisions of 19.11.090.

Building design standards are established in MICC 19.11.100. The standards in MICC 19.11.100 do not, for the most part, apply to this building renovation because the renovation is not "Major New Construction". However, the proposed building façade renovation does include the provision of additional fenestration along 77<sup>th</sup> Avenue SE, which is generally consistent with MICC 19.11.100(B)(1)(b).

Materials and color standards are established in MICC 19.11.110. Building exteriors should use high quality materials, use a cohesive color palette around the building, provide for a variation in materials, and use bright colors only for trim or accent areas. The proposed color palette and material design associated with the renovation (Exhibit 2: Mercer Park Conceptual Plans, pages 6 and 10) is consistent with MICC 19.11.110.

2. Front Entry and Plaza renovation: The applicant is proposing to renovate the Front Entry and Plaza as follows (Exhibit 1: Project Narrative):
  - a. Modifying the main entry of the building;
  - b. New landscaping and bench seating areas in the plaza and relocating the public art; and,
  - c. Painting the existing wood screen.

**Staff analysis:**

Landscaping standards are listed in MICC 19.11.070. The applicant is not proposing to change the amount of landscaped area; the project scope is a revision to existing landscaped areas.

Building design standards are established in MICC 19.11.100. The standards in MICC 19.11.100 do not, for the most part, apply to this building renovation because the renovation is not “Major New Construction”. However, MICC 19.11.100 requires that building entrances should be concentrated along the sidewalk, and should be physically and visually inviting.

Materials and color standards are established in MICC 19.11.110. Building exteriors should use high quality materials, use a cohesive color palette around the building, provide for a variation in materials, and use bright colors only for trim or accent areas. The proposed color palette and material design associated with the renovation (Exhibit 2: Mercer Park Conceptual Plans, pages 6 and 10) is consistent with MICC 19.11.110.

3. Outdoor roof deck area: The applicant is proposing to renovate the roof of the 3<sup>rd</sup> floor to provide an outdoor roof deck accessible from the 4<sup>th</sup> floor, as follows (Exhibit 1: Project Narrative):
  - a. Removing an existing screen along the 4<sup>th</sup> floor façade;
  - b. Adding a new deck paver system over a portion of the 3<sup>rd</sup> floor roof;
  - c. Creating a landscaped area over a portion of the 3<sup>rd</sup> floor roof; and,
  - d. Adding secondary stair access from the 3<sup>rd</sup> floor to the roof deck area.

**Staff analysis:**

The existing screen wall along the 4<sup>th</sup> floor façade appears to be located approximately 75 feet from the eastern parapet wall associated with the 3<sup>rd</sup> floor. The existing screen wall does not appear to be visible from adjacent property to the east or south of the subject site and does not appear to be required by the Town Center code. Materials and color standards are established in MICC 19.11.110. Building exteriors should use high quality materials, use a cohesive color palette around the building, provide for a variation in materials, and use bright colors only for trim or accent areas. The proposed color palette associated with the renovation (Exhibit 2: Mercer Park Conceptual Plans, pages 6 and 10) is consistent with MICC 19.11.110.

The creation of the additional rooftop landscaping and outdoor deck paver system is consistent with MICC 19.11.070. Outdoor furniture and fixtures should be compatible with the project architecture. The additional landscaping on the roof appears to qualify as a “green roof” pursuant to MICC 19.11.070(B)(1)(b) and represents a net increase in landscaping on the subject site. The proposed outdoor deck paver and rooftop landscaping appears to be consistent with MICC 19.11.070.

The proposed “dog house” providing stair access to the rooftop deck area is a rooftop appurtenance located more than 10 feet to the west of the existing eastern parapet wall (Exhibit 2: Mercer Park Conceptual Plans, pages 12 and 13). Pursuant to MICC 19.11.030(A)(5), rooftop appurtenances are generally discouraged except where there is a functional need for the appurtenance. The proposed stair access is necessary to allow for the safe use of the rooftop deck area, which is a functional need. The proposed rooftop appurtenance appears to be screened by the existing parapet walls on the east and south sides of the building. The proposed stairway dog house rooftop appurtenance generally appears to be consistent with MICC 19.11.030, although additional detail during design review will be required to

ensure the rooftop appurtenance does not exceed the 10 foot height limit and is fully screened along the southern façade exposure.

#### **RECOMMENDATION**

There is no recommendation; this staff report has been prepared for a study session.





June 8, 2020

RE: MERCER PARK BUILDING – EXTERIOR WORK SUPPLEMENTAL SCOPE DESCRIPTION  
3003 77<sup>th</sup> Ave SE  
PIN: 531510-1015

To the Design Commission for the  
City of Mercer Island

We are pleased to submit this proposed scope of work for the Mercer Park Building located at 3003 77<sup>th</sup> Avenue and will include the following:

### **East Façade**

- Cutting in new windows at the Lower Level and lowering the existing landscape berm work in conjunction to provide an increased transparency at the ground level to provide better engagement with the public right-of-way and reduces the perceived mass of the building from the street.
- Painting the existing wood screen wall to break up the monotone of the building giving a dynamic look to update the elements.
- Adding hardscaped areas are added to the landscaped areas to provide for pedestrian interaction adjacent to sidewalks and can be used for vendor tent locations during Saturday's Farmers Market.
- Providing low level lighting will be added to hardscaped areas at benches for pedestrian illumination around each area.
- Removing 4 existing trees (10-24" dia.) to allow the street trees to grow and obtain natural canopy and figure. Also the existing trees pose a possible detriment to the existing retention pipe (72" dia. X 72'-0" in length) which lie underneath the existing trees.
- Replace these existing trees with 8 new trees in the main plaza area per the 2:1 ratio indicated in MICC 19.10.0702
- Add multiple paver hardscaped areas that can be used for Farmers Market and day to day pedestrian interaction.
- Landscaped areas will be provided with massing's of ornamental/native plantings.

### **Main Entry**

- Painting the existing wood screen wall to break up the monotone of the building giving a dynamic look to update the elements.
- Modifications to the Main Entry block provide a new fresh updated look and include:
  - Removal of the Screen and Change of Color to the Main Entry block provides a distinction from the remainder of the building to define the entry.
  - New Curtain Wall glazing system at existing two story open area to provide a new lobby experience with transparency to the exterior to enjoy the visual enhancements of the plaza area.
  - Overhead Door at new curtain wall provides for interaction between Lobby and Plaza area for events and good weather days.
  - New landscaping and bench seating areas are added to provide collaborative areas outdoors for pedestrians to interact or enjoy while outdoors.
  - Providing (8) new trees in the plaza area to replace the (4) trees removed from the east façade area per the 2:1 ration indicated in MICC 19.10.0702.
  - Relocating Art Work from plaza area adjacent to the right-of-way sidewalk to provide better interaction and visual awareness with pedestrians.



**BURGESS**  
INTERIOR ARCHITECTURE

Item (4)

Page 2 of 2

## Roof Deck

- Remove existing screen which appears to way heavy visually on the proposed deck enhancements.
- The removal of the screen which partially obscures the window will provide a better visually interaction between the interior and exterior spaces.
- Add a new deck paver system at the 4<sup>th</sup> Floor level over a portion of the existing 3<sup>rd</sup> floor roof which was originally design as a deck area.
- Add a new stair penthouse over the existing stair to accommodate the added occupant load for the 4<sup>th</sup> floor.

Sincerely,

Randy Morgan | Principal  
Burgess Design, Inc.

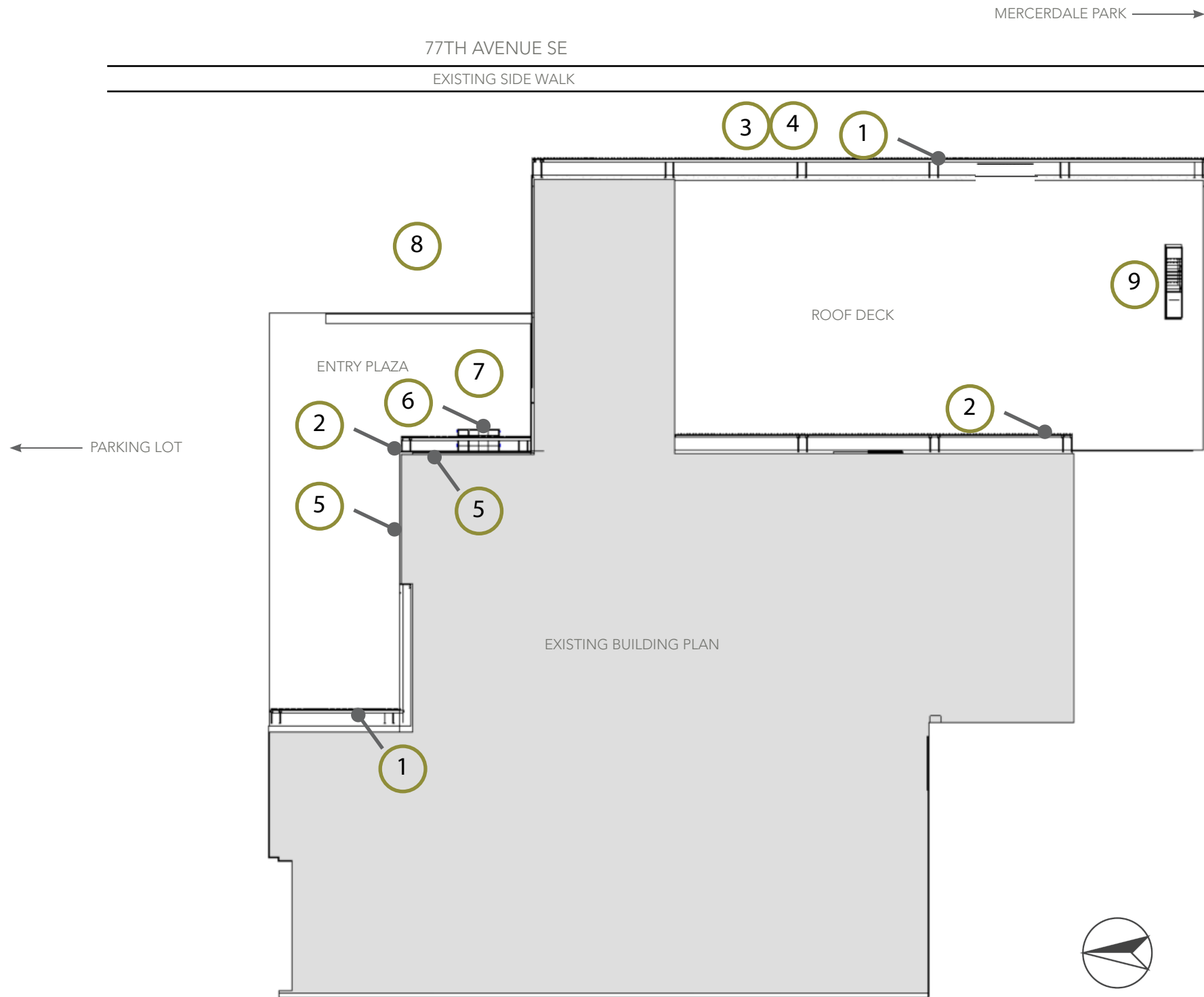


MERCER PARK  
EXTERIOR MODIFICATION  
3003 77TH AVE SE 98040  
JUNE 29ND, 2020



# EXTERIOR PROJECT SCOPE KEY PLAN

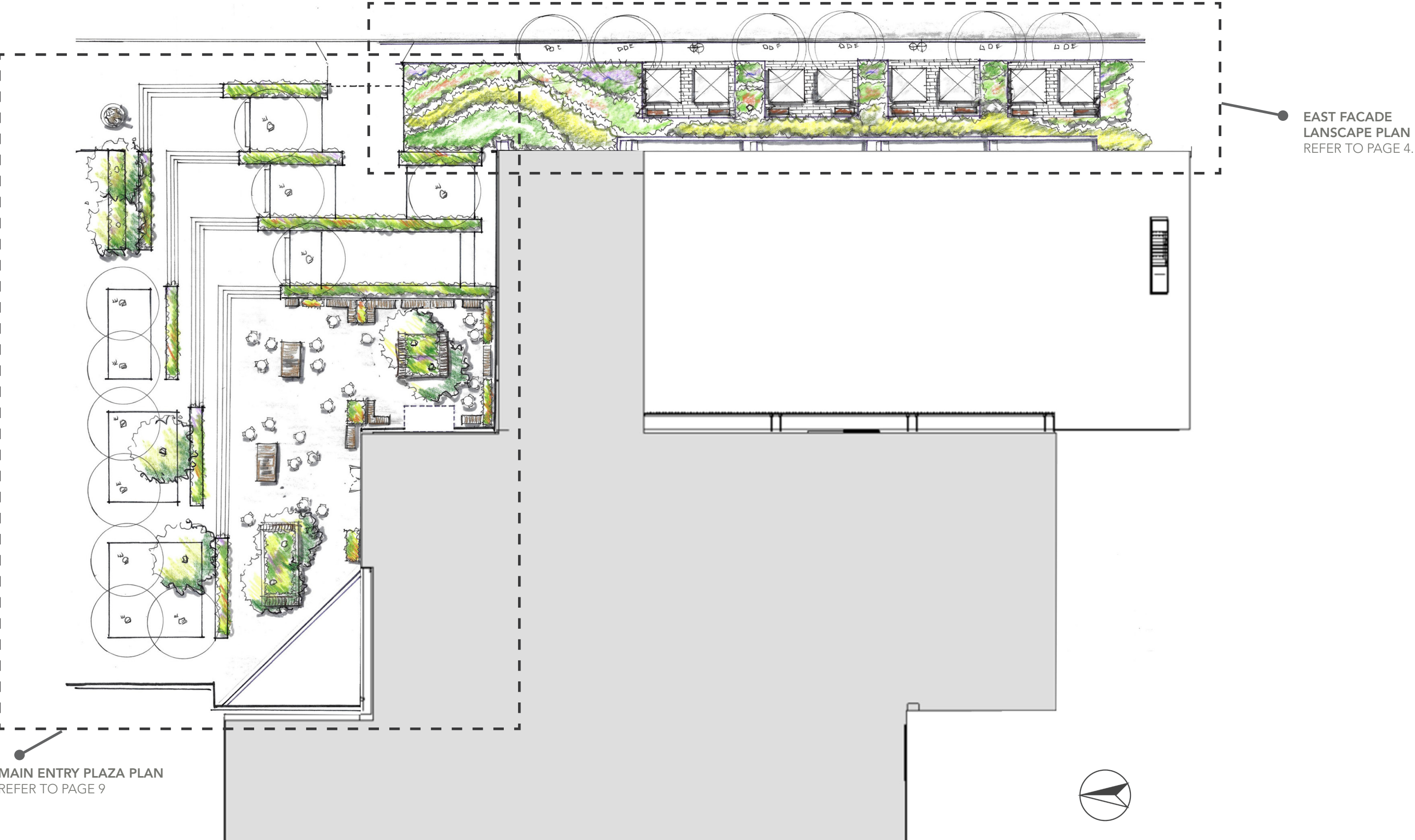
Item (4)



PROJECT SCOPE KEY PLAN  
NTS

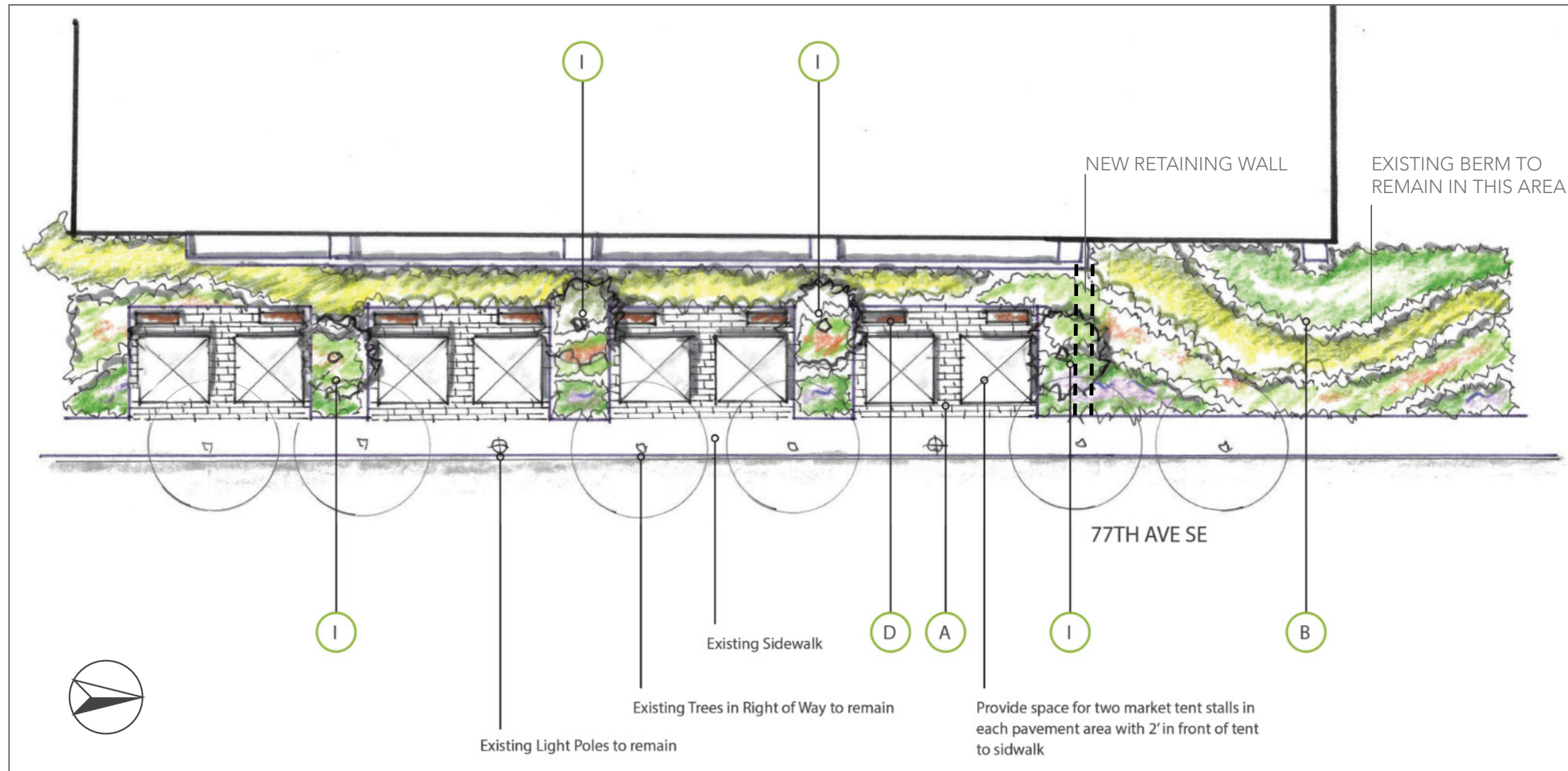
- 1 SCREEN WALL**  
NEW PAINT DESIGN. EXISTING WOOD SLATS ON SCREEN WALL WILL BE REFINISHED TO CREATE A GRADIENT OF 3 TONES.  
SEE PAGE 6 & 10
- 2 SCREEN WALL**  
SCREEN WALL TO BE REMOVED IN THESE LOCATIONS SO THAT A NEW UPDATED LOOK CAN BE PROVIDED.  
SEE ELEVATIONS ON PAGE 10 & 13
- 3 LANDSCAPE MODIFICATIONS AND NEW CUT IN WINDOWS**  
CUTTING IN NEW WINDOWS AT LOWER LEVEL AND LOWERING OF THE BERM WORK IN CONJUNCTION TO PROVIDE AN INCREASED TRANSPARENCY AT THE GROUND LEVEL TO PROVIDE BETTER ENGAGEMENT WITH THE PUBLIC ROW AND REDUCES THE PERCEIVED MASS OF THE BUILDING FROM THE STREET.  
SEE PAGE 6 & 8
- TREES**  
**4** REMOVAL OF 4 TREES EAST SIDE TO ALLOW THE EXISTING STREET TREES TO GROW AND OBTAIN NATURAL CANOPY AND FIGURE.  
SEE NEW PROPOSAL PAGE 4,5, 6 & 8
- GLAZING**  
**5** NEW CURTAIN WALL AT EXISTING TWO STORY OPEN AREA TO PROVIDE A NEW LOBBY EXPERIENCE WITH TRANSPARENCY TO THE EXTERIOR TO ENJOY THE VISUAL ENHANCEMENTS OF THE PLAZE AREA.  
SEE PAGE 10
- OVERHEAD DOOR**  
**6** NEW OVERHEAD DOOR INSTALLED ON NEW GLAZING FACADE PROVIDES INTERACTION BETWEEN LOBBY AND PLAZA AREA.  
SEE PAGE 10
- STATUE**  
**7** PROPOSE TO RELOCATE THE EXISTING ART WORK ADJACENT TO THE SIDEWALK TO PROVIDE BETTER INTERACTION AND VISUAL AWARENESS WITH PEDESTRIANS. FOR NEW LOCATION  
SEE PAGE 9
- PAINTING**  
**8** PAINTING THE BUILDING ADDS A FRESH LOOK TO THE BUILDING AND COMPLIMENTS THE OTHER BUILDING ELEMENTS.  
SEE PAGE 6 & 10
- NEW DOG HOUSE**  
**9** EXTENDING ALREADY EXISTING STAIR CASE TO THE ROOF TOP. SEE PAGE 12 & 13

# EXTERIOR FULL LANDSCAPING PLAN





# EXTERIOR EAST FACADE LANDSCAPE PLAN



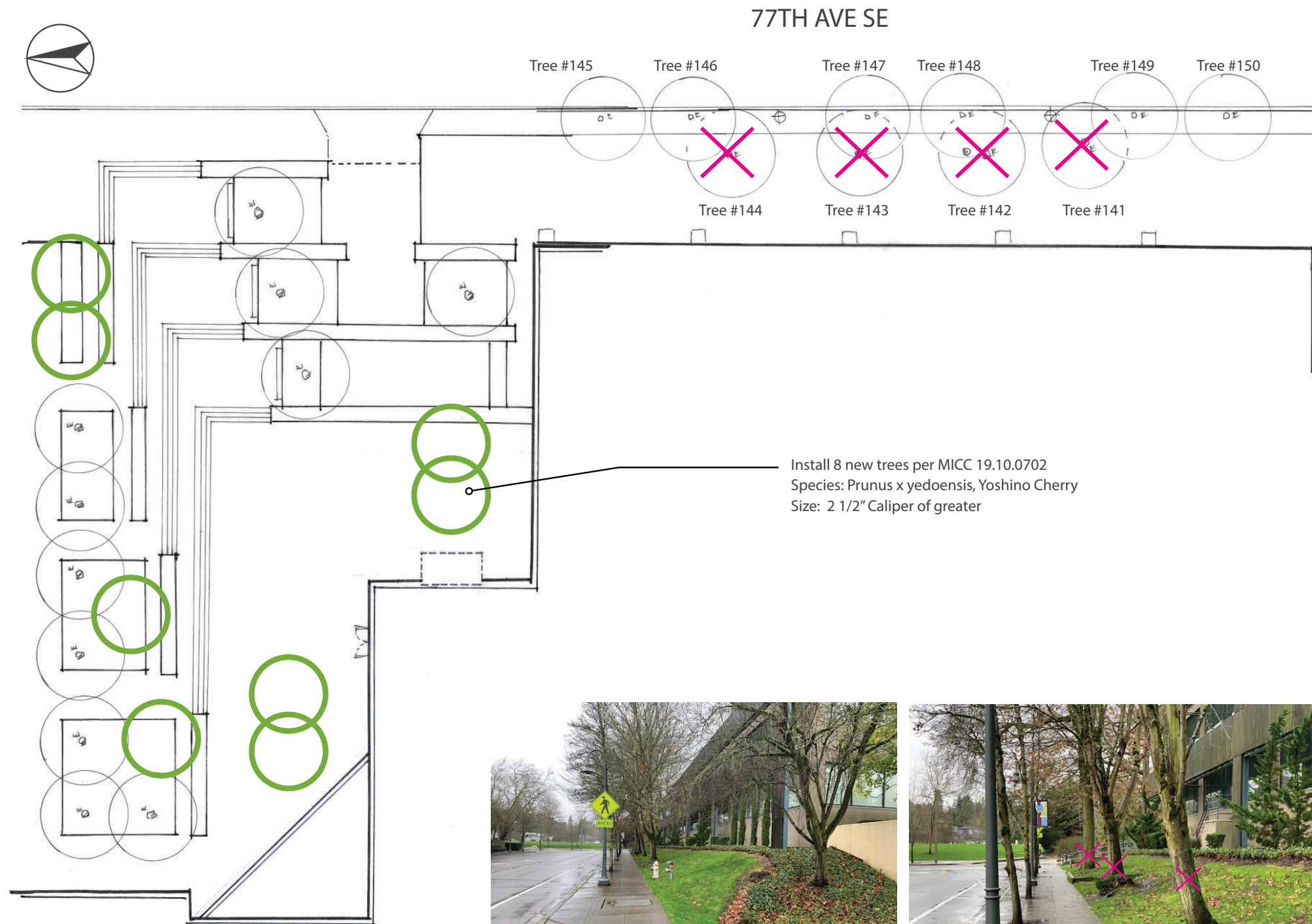
**EXTERIOR**  
EAST SIDE PROPOSED LAYOUT  
KEY NOTES REFERENCED ON PAGE 11

**EXTERIOR**  
EAST FACADE EXISTING

- PROPOSE TO REMOVE 4 EXISTING TREES (10-24" dia) TO ALLOW THE STREET TREES TO GROW AND OBTAIN NATURAL CANOPY AND FIGURE.
- ALSO THE ROOTS OF THE EXISTING TREES POSE A POSSIBLE DETRIMENT TO THE EXISTING RETENTION PIPE (72" DIA. X 72'-0" IN LENGTH) WHICH LIE UNDER THE EXISTING TREES.
- PROPOSING TO REPLACE THESE EXISTING TREES WITH 9 NEW TREES IN MAIN PLAZA AREA PER THE 2:1 RATIO INDICATED IN MICC 19.10.0702. REFER TO PAGE 5 MAIN ENTRY PLAZA PLAN.
- PROPOSE TO PROVIDE MULTIPLE PAVER HARDCAPED AREAS THAT CAN BE USED FOR FARMERS MARKET AND DAY TO DAY PEDESTRIAN INTERACTION.
- LANDSCAPED AREA WILL BE PROVIDED WITH MASSINGS OF ORNAMENTAL/ NATIVE PLANTINGS



# EXTERIOR TREE REMOVAL RELOCATION PLAN



## Plan Legend



Trees to be removed (10-24" dia. approx) and replaced at 2:1 ratio per MICC 19.10.0702



Replacement trees - 8 total trees in plaza to replace the removed trees along 77th Ave SE

Tree #000

Tree Identification number, refer to arborist report



## Tree Removal Notes:

1. Remove 4 existing trees (10-24" dia) on private property to allow street trees to grow and obtain natural canopy and figure.
2. Refer to adjacent images for crowding condition of existing trees and recently installed street trees on 77th Ave SE
3. Install 8 trees minimum in Plaza Area to replace the removed trees per the 2:1 ratio indicated in MICC 19.10.0702. 2.5" Caliper size min replacement.
4. Root of the existing trees pose a possible detriment to the existing retention pipe (72" dia x 72' in length) which lies under the existing berm adjacent to the trees to be removed



# EXTERIOR EAST FACADE

**8 PAINTING**  
PAINTING THE BUILDING  
ADDS A FRESH LOOK TO  
THE BUILDING AND  
COMPLIMENTS THE  
OTHER BUILDING  
ELEMENTS.

**1 SCREEN WALL**  
NEW PAINT DESIGN.  
EXISTING WOOD SLATS  
ON SCREEN WALL WILL  
BE REFINISHED TO  
CREATE A GRADIENT  
OF 3 TONES.

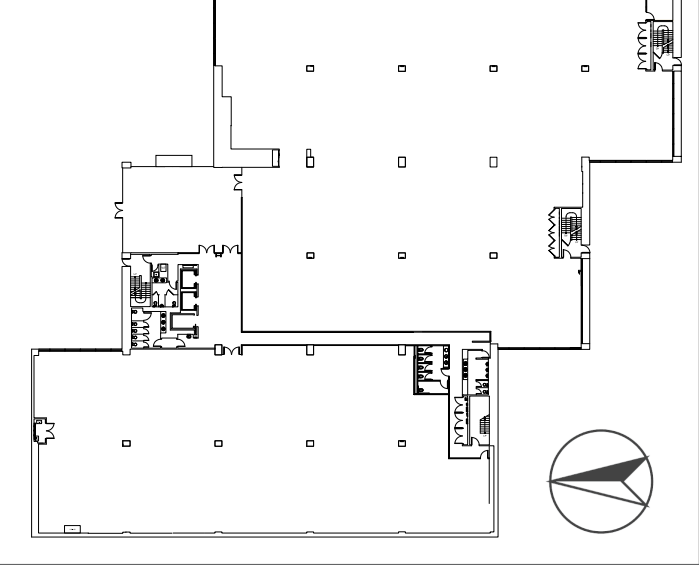
BUILDING PAINT COLOR



WOOD SLATS ON SCREEN WALL. 3 PAINT COLORS

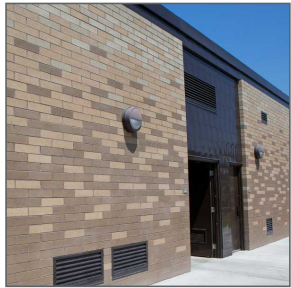


BUILDING  
LOCATION MAP



THESE ELEMENTS WILL GREATLY IMPROVE THE BUILDING.

- PAINTING OF SCREEN WALL BREAKS UP THE MONOTONE OF THE BUILDING .GIVING A DYNAMIC LOOK TO UPDATE THE ELEMENTS.
- CUTTING IN NEW WINDOWS AT LOWER LEVEL AND LOWERING OF THE BERM WORK IN CONJUNCTION TO PROVIDE AN INCREASED TRANSPARENCY AT THE GROUND LEVEL TO PROVIDE BETTER ENGAGEMENT WITH THE PUBLIC ROW AND REDUCES THE PERCEIVED MASS OF THE BUILDING FROM THE STREET.
- HARDSCAPED AREAS TO BE PROVIDED FOR PEDESTRIAN INTERACTION ADJACENT TO SIDEWALKS AND CAN BE USED FOR VENDOR TENT LOCATIONS DURING SATURDAY'S FARMERS MARKET
- LOW LEVEL LIGHTING WILL BE ADDED TO HARDSCAPE AREAS AT BENCHES FOR PEDESTRIAN ILLUMINATION AROUND EACH AREA.



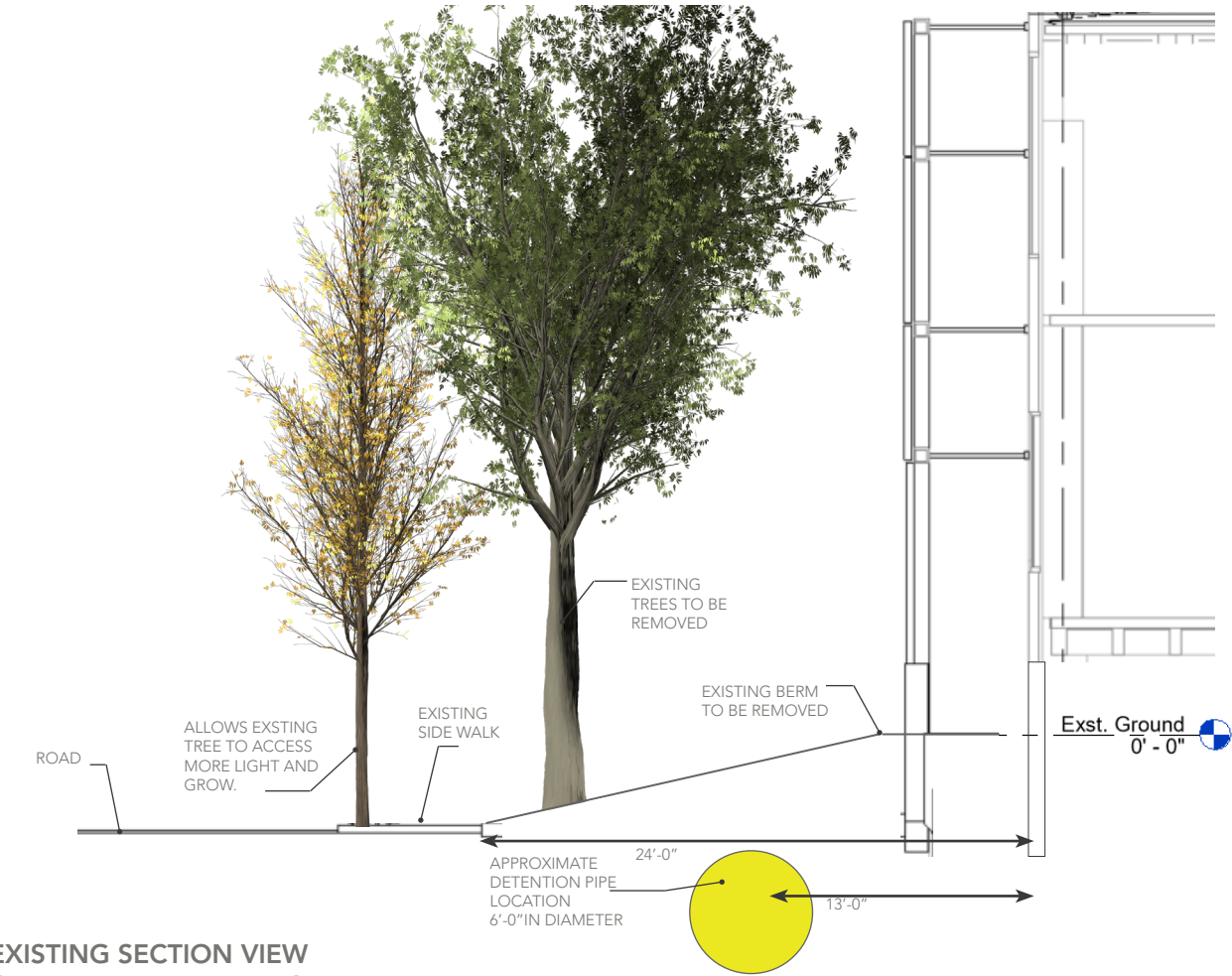
**INSPIRATION**  
IMAGE SHOWS THE  
INSPIRATION FOR THE  
EXTERIOR LOOK AND FEEL.  
USING THE GRADIENT OF  
3 COLORS APPLIED TO THE  
WOOD SLATS. METAL PAINTED  
A DARK TONES AS SHOWN.

**5 NEW GLAZING**  
ADDITION OF THE GLAZING TO PROVIDE DAYLIGHTING TO THE BASEMENT.

EXTERIOR  
EAST FACADE



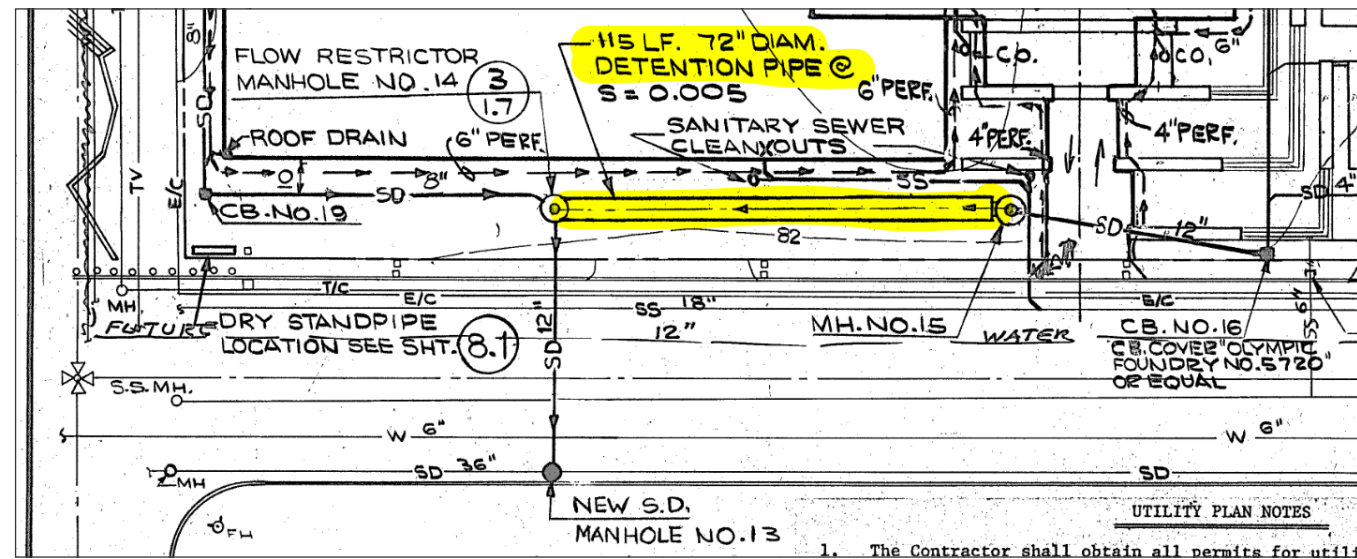
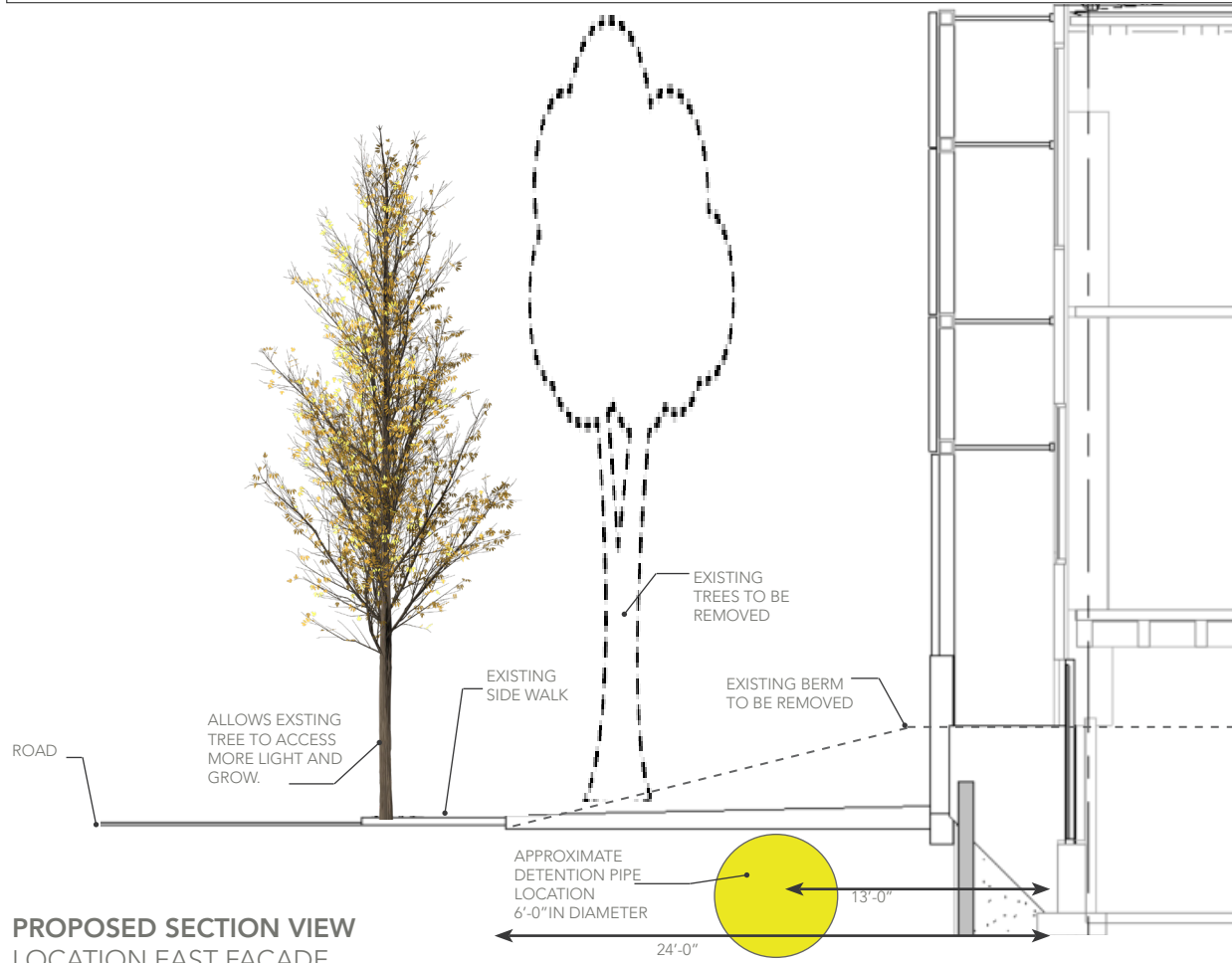
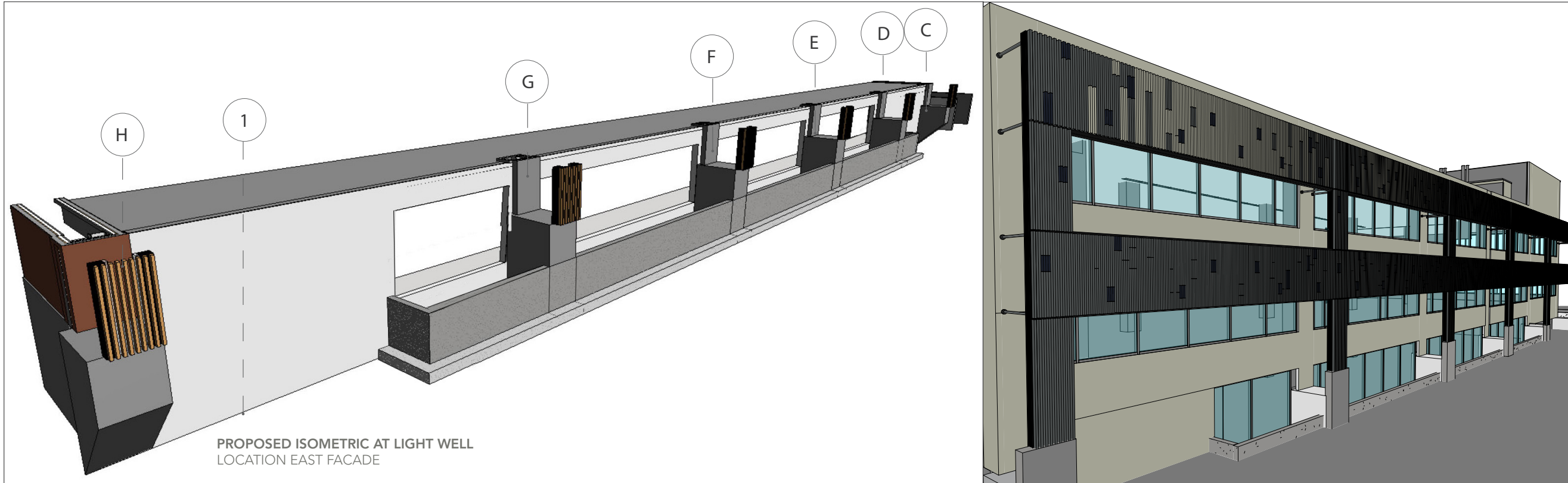
# EXTERIOR EAST FACADE- EXTERIOR EXISTING CONDITION



EXISTING SECTION VIEW  
OF BERM AND DETENTION PIPE

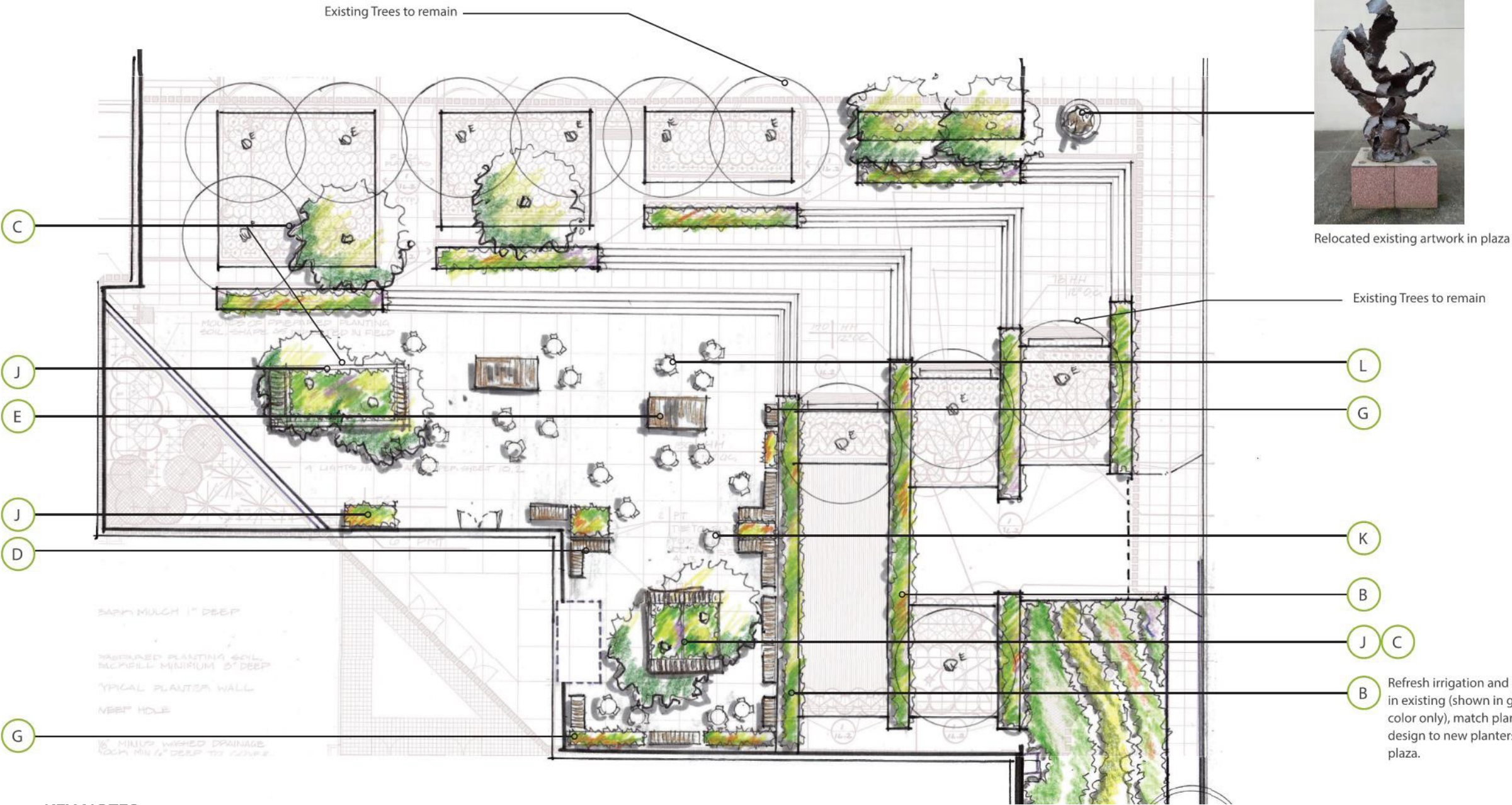


# EXTERIOR EAST FACADE- EXTERIOR PROPOSED CONDITION





# EXTERIOR MAIN ENTRY PLAZA PLAN



## NARRATIVE

- PROPOSE TO ADD (8) NEW TREES IN THE PLAZA AREA TO REPLACE THE (4) TREES REMOVED FROM THE EAST FACADE AREA PER THE 2:1 RATIO INDICATED IN MICC 19.10.0702.
- PROPOSE TO PROVIDE ADDITIONAL LANDSCAPING AND BENCH SEATING AREAS TO PROVIDE COLLABORATIVE AREAS OUTDOORS FOR PEDESTRIANS TO INTERACT OR ENJOY WHILE OUTDOORS.
- PROPOSE TO RELOCATE THE EXISTING ART WORK ADJACENT TO THE ROW SIDEWALK TO PROVIDE BETTER INTERACTION AND VISUAL AWARENESS WITH PEDESTRIANS.



Relocated existing artwork in plaza

Existing Trees to remain

Refresh irrigation and planting in existing (shown in green color only), match planting design to new planters on plaza.

KEY NOTES  
LOCATED ON PAGE 11



# EXTERIOR ENTRANCE



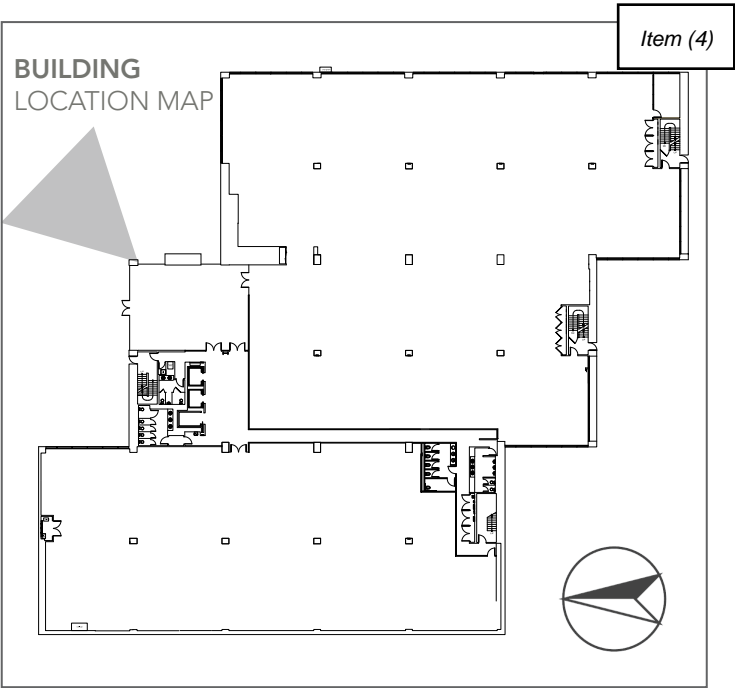
8

**NEW PAINT**  
ACCENT PAINT TO BRING FOCUS TO THE MAIN ENTRANCE. FACADE COLOR CHANGE.

**COMPANY LOGO**  
TO BE PLACED UP HIGH TO BE SEEN FROM A DISTANCE. PLACE HOLDER FOR FUTURE SIGNAGE. THIS LOCATION IS WHERE FORMER SIGNAGE WAS LOCATED.

1

**SCREEN WALL**  
NEW PAINT DESIGN ON EXISTING SCREEN WALLS. WOOD SLATS PAINTED TO CREATE A GRADIENT OF 3 TONES. SEE PAGE 4 AND 6



**THESE ELEMENTS WILL GREATLY ENHANCE THE LOOK AND FEEL OF THE ENTRY PLAZA**

- PAINTING OF SCREEN WALL BREAKS UP THE MONOTONE OF THE BUILDING GIVING A DYNAMIC LOOK TO UPDATE THE ELEMENTS.
- MODIFICATIONS TO THE MAIN ENTRY BLOCK PROVIDE A NEW FRESH UPDATED LOOK AND INCLUDE:
  - REMOVAL OF EXISTING SCREEN AND CHANGE OF COLOR TO THE MAIN ENTRY BLOCK PROVIDES A DISTINCTION FROM THE REMAINDER OF THE BUILDING TO DEFINE THE ENTRY.
  - NEW CURTAIN WALL AT EXISTING TWO STORY OPEN AREA
  - OVERHEAD DOOR AT NEW CURTAIN WALL PROVIDES FOR INTERACTION BETWEEN LOBBY AND PLAZA AREA FOR EVENTS AND GOOD WEATHER DAYS.
  - PROPOSE TO PROVIDE ADDITIONAL LANDSCAPING AND BENCH SEATING AREAS TO PROVIDE COLLABORATIVE AREAS OUTDOORS FOR PEDESTRIANS TO INTERACT OR ENJOY WHILE OUTDOORS.

## SCREEN WALL PAINT COLORS



**MAIN ENTRANCE**  
VIEW FROM PLAZA

6

**NEW OVERHEAD DOOR**  
PROVIDE INDOOR OUTDOOR ACCESS IN THE SUMMER MONTHS.

5

**NEW GLAZING**  
THIS NEW GLAZING WILL ENCLOSE THE BUILDING OPENING AND CREATE AN ENERGY VESTIBULE.



# EXTERIOR KEY NOTES



**A** Unit Pavers on Grade



**B** Massings of Ornamental / Native Plantings



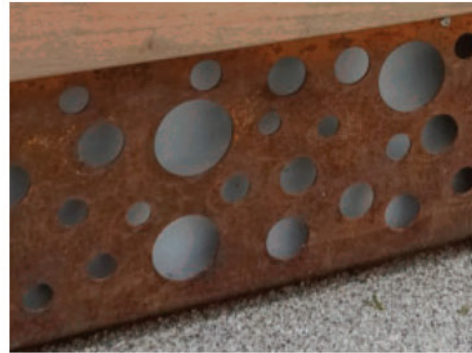
**C** Specimen Trees at Plaza / Entry / Streetscape



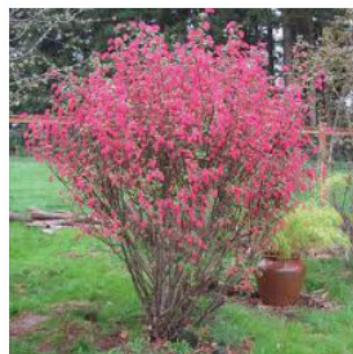
**D** Rough & Ready Seatwall with Punch Metal Frame (LED Ready)  
Size: Per Plans  
Source: Streetlife, Rough and Ready with perforated pattern walls



**E** Surf Isle Bench (Mobile Version) - (LED Ready Edge Panels)  
Size: 4 x 10' approximatly  
Source: Streetlife, Podium Isle - Surf Isle Model with Punch Metal and interior lighting frame, hardwood top



**G** Solid Peano Benches  
Size: Per plan  
Source: Streetlife: Peano Bench, size per plan, CorTen metal base, Hardwood top / sides



**I** Large Native Shurb  
Red Flowering Currant or equal



**J** Planter with integrated bench, depth for single large tree.  
Size 4' x 10' approximatly  
Source: Streetlife, Mobile Green Isle

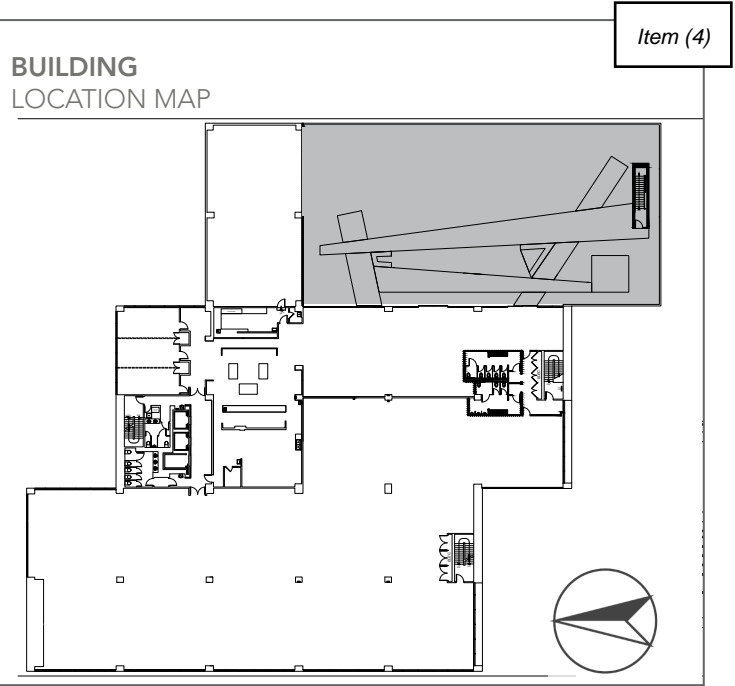
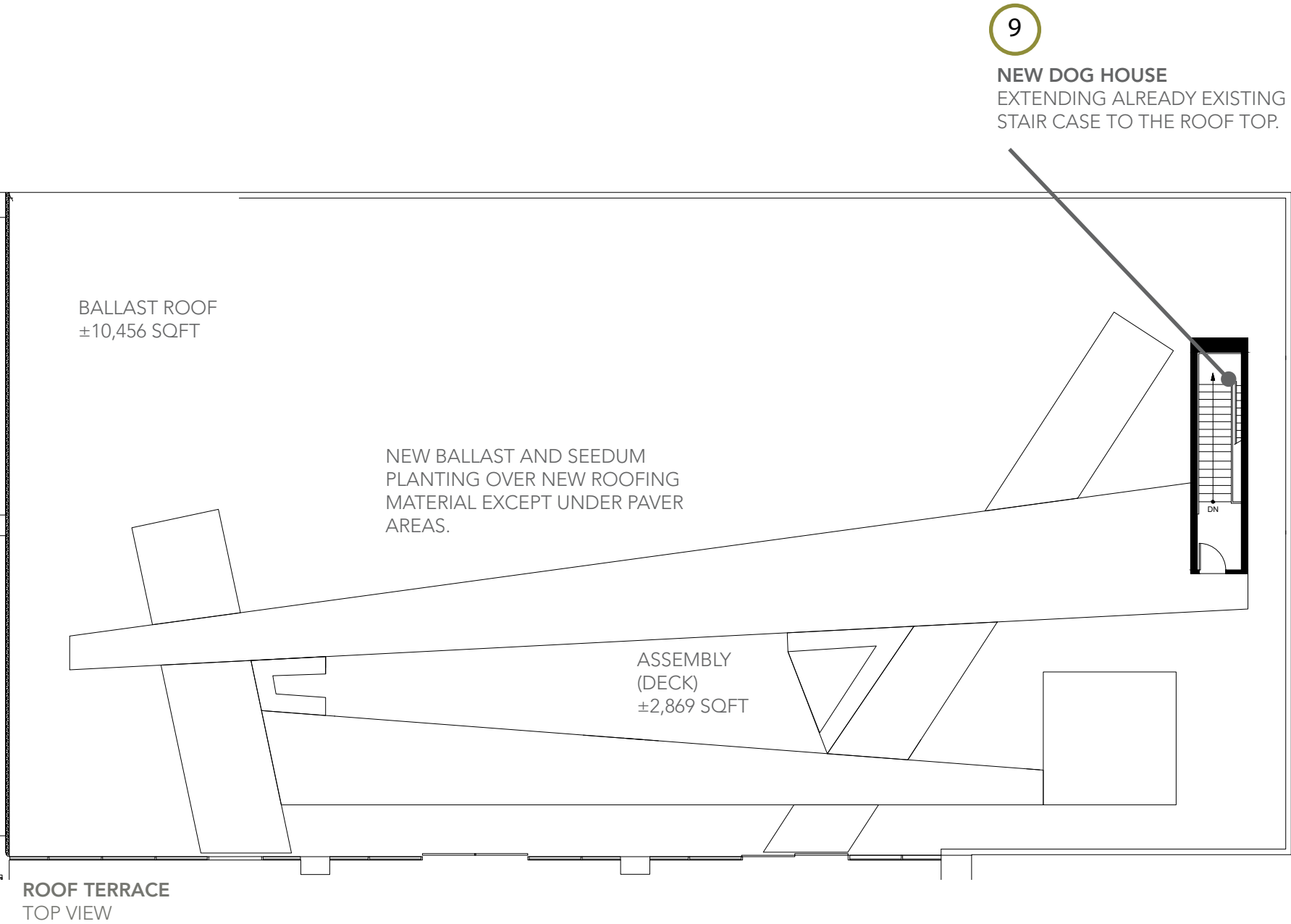


**K** Bar height tables & chairs - movable  
Source: Forms & Surface - Avivo  
Pricing: Assume 5 table sets with chairs (6)



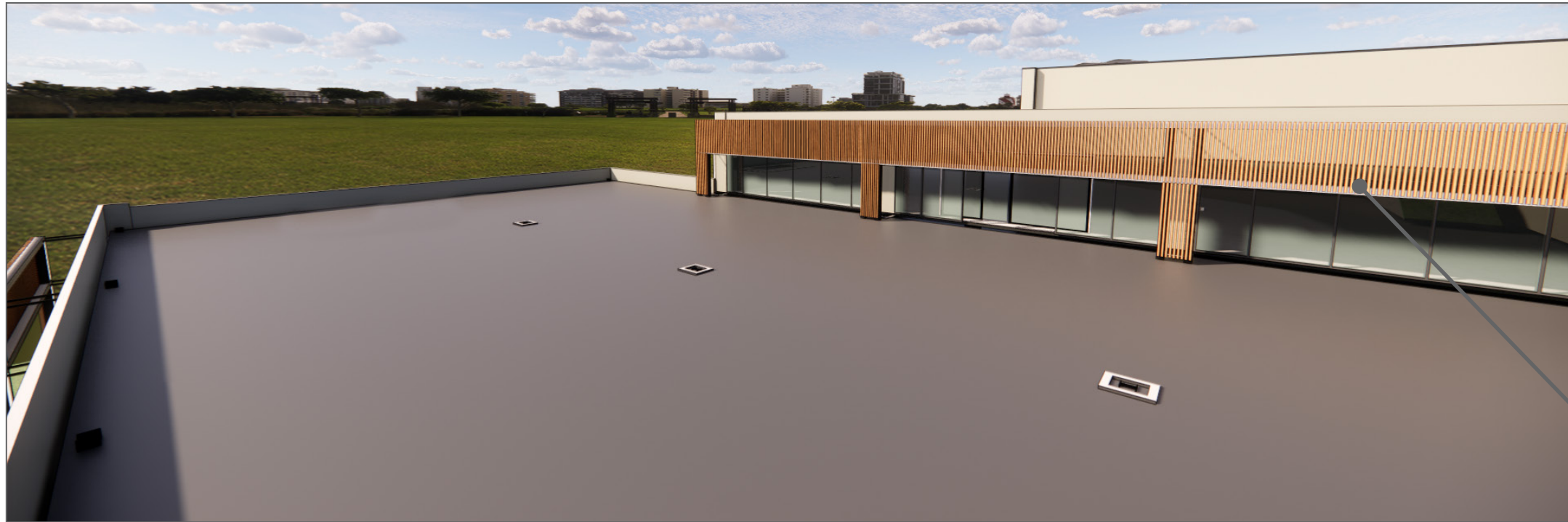
**L** Standard height tables & chairs - movable  
Source: Forms & Surface - Avivo  
Pricing: Assume 12 table sets with chairs (4)

# EXTERIOR ROOF TERRACE 4TH FLOOR





# EXTERIOR ROOF DECK PERSPECTIVES



## EXISTING

SCREEN WALL TO BE REMOVED SO THAT A NEW UPDATED LOOK CAN BE PROVIDED.



## SCREEN WALL

2

THE SCREEN AT THE FOURTH LEVEL DECK IS SET BACK ABOUT 70 FEET FROM EAST FACADE AND IS NOT READILY SEEN FROM STREET LEVEL.



## PROPOSED

- PROPOSE TO REMOVE SCREEN TO WHICH APPEARS TO WAY HEAVY VISUALLY ON THE PROPOSED DECK ENHANCEMENTS
- THE REMOVAL OF THE SCREEN WHICH PARTIALLY OBSCURES THE WINDOW WILL PROVIDE BETTER VISUAL INTERACTION BETWEEN THE INTERIOR AND EXTERIOR SPACES.
- THE SCREEN CASTS A SHADOW LINE INTO THE INTERIOR ASSEMBLY SPACE.



## DOG HOUSE

9

THIS EXTENSION OF THE EXISTING STAIR CASE TO THE ROOF TOP IS NOT VISIBLE FROM BELOW.





Title: **3003 77<sup>th</sup> Ave Project – Mercer South Park Project**  
**Street and Landscape Trees**  
**Level 2 Basic Tree Risk Assessment**  
**3003 77<sup>th</sup> Ave SE**  
**Mercer Island, Washington**

Prepared for: Ryan Companies US Inc.  
Attn: Marc Gearhart  
110 110 Ave NE  
Bellevue, Washington 98004

Prepared by: Urban Forestry Services | Bartlett Consulting  
Miles Becker  
ISA Certified Arborist® #PN-7808A  
ISA Tree Risk Assessment Qualified

Reviewed By: Jim Barborinas, Principal

Contents: **Summary**  
**Introduction**  
**Findings and Discussion**  
**Recommendations**  
**Description of Assessment Levels**  
**Tree Assessment Site Plan**  
**Tree Assessment Matrix**  
**General Tree Protection Guidelines**  
**Critical Root Zone Explanation**

Date: May 13, 2020

### Summary

Three (3) Norway maple (*Acer platanoides*) and one (1) red oak (*Quercus rubra*) near the southeast corner of the property at 3003 77<sup>th</sup> Ave SE in Mercer Island, Washington were inspected in a Level 2 Basic Tree Risk Assessment. The four (4) trees on private property will be impacted by the proposed building renovations on-site and tree protection for retention is not feasible. Another six (6) Callery pear (*Prunus calleryana*) trees growing in the right of way next to the subject property can be retained with tree protection measures. The four (4) larger trees on the subject property are recommended for removal and replacement with eight (8) trees of native species on-site.

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## Introduction

A commercial office building at 3003 77<sup>th</sup> Avenue SE near the corner of SE 32<sup>nd</sup> Street is planned for renovations. Part of the renovations will be exposing the ground floor and cutting windows on the east face. The ground level is currently partially below the grade of a slight slope down to street level. Window installation will require excavating the soil slope down to the same grade as the street.

Growing on the slope next to 77<sup>th</sup> Avenue SE are four (4) significant deciduous trees on the subject property. The trees are medium-sized and they will likely be impacted by the slope excavation. Further east between the sidewalk and the street are a row of Callery pear (*Prunus calleryana*) trees growing in the right of way. None of the street trees qualify as significant as defined by Mercer Island City Code 19.10. The street trees may also be impacted by the renovations and construction activities on-site.



**Photo 1. These are the healthy larger trees on private property (left) and smaller street trees (right) on the west side of 77<sup>th</sup> Ave SE in Mercer Island. The viewer is looking north.**

We were asked by Marc Gearhart, of Ryan Companies US Inc, to assess the condition of the trees at the southeast corner of the property and their potential for retention. I was on-site May 5, 2020 to inspect the trees in a Level 2 Basic Tree Risk Assessment. The time frame for this Level 2 Basic Tree Risk Assessment is three years from the date of inspection.

## Findings and Discussion

A Tree Assessment Matrix with photos and detailed information on each of the ten (10) trees is attached. A Tree Assessment Site Plan is also attached that indicates the approximate location of each of the trees.

There are three (3) Norway maple and one (1) red oak on the subject property in the area of investigation. They are well established with a trunk diameter measured at 4.5-feet above grade (DBH) ranging from 15-inches to 23.1-inches. The crowns are generally symmetrical and full, ranging from a 14 to 19-foot radius from the trunk. The trees are in fair to good condition and none are hazard trees. The red oak, tree #141, is the largest of the group and there is some moderate twig dieback throughout the crown. Tree #143 has a weakly attached codominant stem leaning over the street that could be pruned back to the trunk to reduce risk.

The property trees are growing slightly above the grade of the sidewalk. They have roots established close to the surface of the slope surrounding each tree. The structural roots visible near the trees suggests that removing soil down to the level of the sidewalk will remove a substantial portion of the root systems. Root loss to that degree for trees of this size will likely destabilize them and lead to their mortality. The critical root zones (CRZ), equal to 1-foot radius for every 1-inch diameter of trunk, of the trees overlap and occupy most of the lower slope along the sidewalk. Based on the proposed grade changes provided by the developer, it will not be feasible to retain the four (4) property trees.

The six (6) Callery pear trees in the right of way next to the subject property are relatively small with DBH ranges from 1.2 to 7.5-inches. At least two of the pear trees have low vigor and extensive dieback in their crowns. The smallest, tree #146, is very young and looks like it was recently planted. The other street trees are generally the same form: a narrow crown and tall trunks, often growing up through the crown of the larger maples and oak on private property. A tall and narrow form is unusual for the species, which tends to have a more rounded and lower growing shape. Competition for light with the larger trees most likely contributed to their growth pattern. Removing the larger trees on private property may encourage a fuller crown on the pear trees when they are also pruned appropriately, such as reduction cuts on the primary stem. The street trees have a low preservation value at this time and replacement may be a better option for improving the urban forest canopy in the long-term.

## Recommendations

Leveling the slope down to the grade of the sidewalk is in direct conflict with retaining trees #141, #142, #143, and #144. Remove the property trees and replace on-site at a ratio of 2:1. Submit a Development Tree Removal Permit with the City, showing the location of replacement tree plantings on a site map. Also complete a tree inventory of all significant trees on the property demonstrating that at least 30 percent of trees are retained.

Retain all the street trees for the purposes of the development project. Because of their relatively small critical root zones under the sidewalk, they have a high likelihood of survival with tree protection measures implemented during construction. Submit a tree protection plan to the City that meets the standards described in City Code 19.10.080, including a site map with tree protection measures marked on it. General tree protection guidelines are attached.

Let us know if you have questions regarding this Level 2 Basic Tree Risk Assessment report.



### Tree Risk Assessment Level Descriptions

The tree risk assessment process is based on factors present at the time of assessment. Because trees are living, growing things that change in size and condition over time, the tree assessment process must also recognize and anticipate where and when future assessments should be performed. The Tree Risk Assessment Qualification (TRAQ) training and methodology, developed and administered by the International Society of Arboriculture is the best available methodology for tree risk assessment at this time. There are three levels of assessment that may be considered and employed according to the expectations of the owner or manager, conditions of the site and of the trees involved:

**Level 1 Limited Visual Assessment:** Includes a broad overview of an individual tree or group of trees near specified targets, conducted to identify obvious defects or other conditions of concern. A limited visual assessment typically focuses on identifying trees with imminent and/or probable likelihood of failure. Level 1 assessments do not always meet the criteria for a "risk assessment" if they do not include documented analysis and evaluation of individual trees. This level is typically used for large populations of trees as a means to quickly identify trees with imminent and/or probable likelihood of failure, at a specified schedule and/or immediately after storms.

Level 1 assessments may be done as walk-by, drive-by or aerial patrols as requested by the tree owner or manager. They may not provide enough information to develop risk mitigation recommendations. They can help identify specific areas and/or trees for further inspection at Level 2 or 3. Trees found to require a Level 2 Basic Assessment are assessed, mapped and documented at the higher level at this time. Trees determined to need a Level 3 Advanced Tree Assessment are documented and recommended for additional testing and analysis. The owner is notified with options discussed.

**Level 2 Basic Assessment:** This is a detailed visual inspection of a tree and its surrounding site, and a synthesis of the information collected. It requires that a tree risk assessor walk completely around the tree, looking at the site, buttress roots, trunk, and branches. This basic assessment may include the use of simple tools to gain additional information about the tree or defects. Our Level 2 Basic Assessment Trees are all typically tagged, mapped and information gathered and retained for each tree. Risk mitigation recommendations may be derived from this level of inspection. Defects found in a Level 2 Basic Tree Assessment may require a Level 3 assessment for further testing and analysis. The owner is notified with options discussed.

**Level 3 Advanced Assessment:** Advanced assessments are performed to provide more highly detailed information about specific tree components, defects, targets or site conditions. An advanced assessment is performed in conjunction with or after a Level 2 Basic Assessment if the assessor determines the need for (requires) additional information. This level is particularly useful where there are concerns about trees that may otherwise be of high value, or to obtain better information on how serious or extensive a particular defect is. The Level 3 Advanced Tree assessment may include but not be limited to a root crown inspection with air spade, Resistograph or Tomograph use to determine sound wood or an aerial crown inspection.

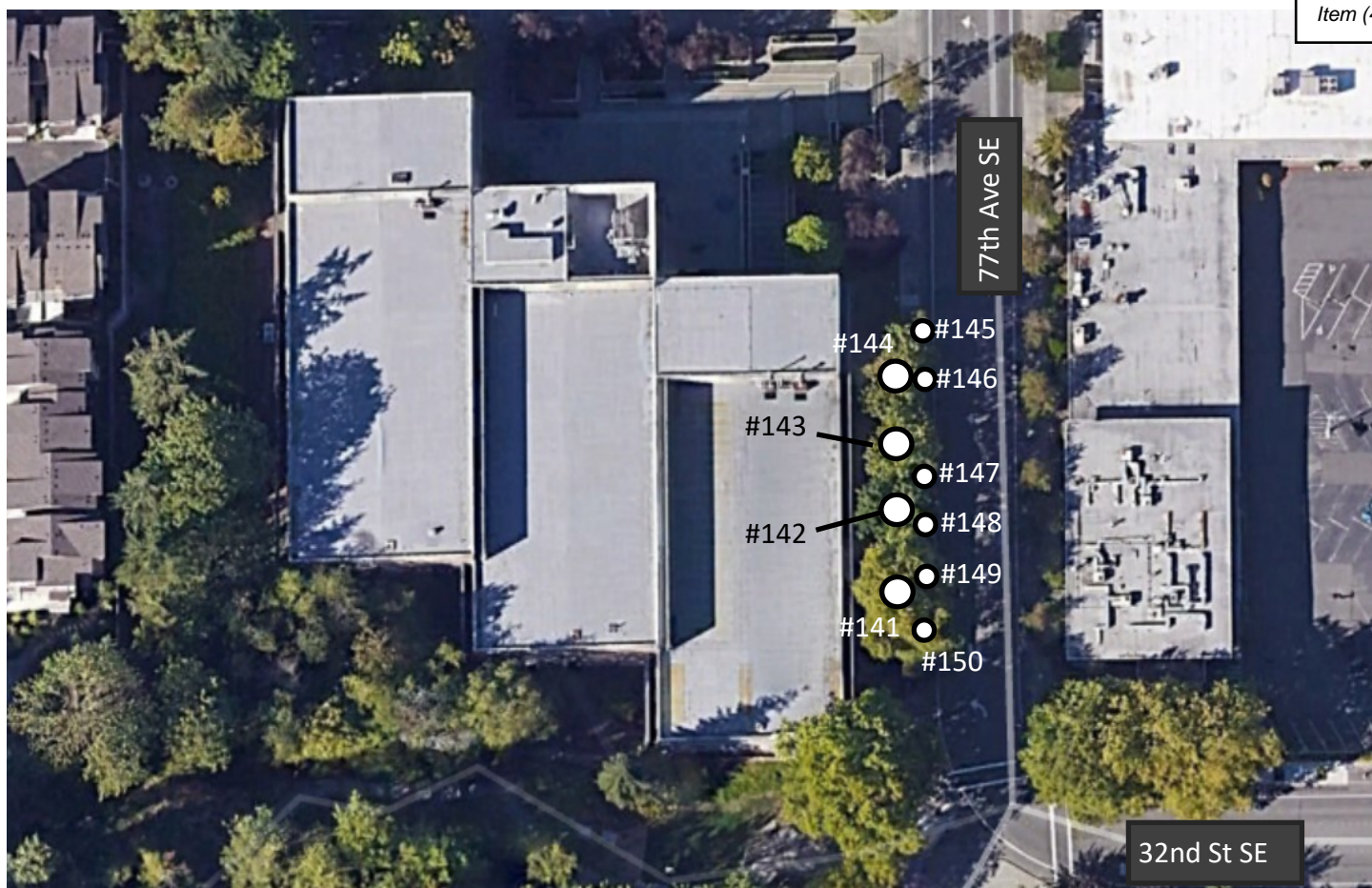
**The preliminary Level 1 Limited Visual Assessment if requested would help determine where field assessments at Level 2 and Level 3 will be needed.**

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0 40 80 ft



| <u>Tree</u> | <u>Species</u>    | <u>Dripline Radius (ft)</u> | <u>DBH (in)</u> |
|-------------|-------------------|-----------------------------|-----------------|
| 141         | Red oak           | 16.0                        | 23.1            |
| 142         | Norway maple      | 16.0                        | 15.7            |
| 143         | Norway maple      | 14.0                        | 15.0            |
| 144         | Norway maple      | 19.0                        | 17.5            |
| 145         | Callery pear var. | 6.0                         | 7.0             |
| 146         | Callery pear var. | 2.0                         | 1.2             |
| 147         | Callery pear var. | 4.0                         | 6.5             |
| 148         | Callery pear var. | 4.0                         | 6.7             |
| 149         | Callery pear var. | 5.0                         | 5.7             |
| 150         | Callery pear var. | 2.0                         | 7.5             |

#### LEGEND

○ PROPERTY TREE

○ RIGHT OF WAY TREE



**Urban Forestry Services**  
**BARTLETT CONSULTING**  
Divisions of The F.A. Bartlett Tree Expert Company

Tree Assessment Site Plan  
77th Ave SE Project  
Mercer Island, Washington

STREET TREE LOCATIONS  
May 13, 2020





Urban Forestry Services, Inc.  
15119 McLean Road  
Mount Vernon, WA 98273  
(360) 428-5810

Inspector: Becker  
ISA Certified Arborist  
ISA Tree Risk Assessment Qualified

Item (4)

### Tree Assessment Matrix

| Tree               | Species  | DBH (in)        | Drip Avg (ft) | CRZ (ft) | Vigor | Structure    | Risk | Pres. Cat/Value       | Recommendations  |
|--------------------|--|-----------------|---------------|----------|-------|--------------|------|-----------------------|--|
| 141                | Red oak<br><i>Quercus rubra</i>  | 23.1,<br>(23.1) | 16.4          | 23.1     | Fair  | Fair to Good | Low  | Unknown<br><br>Medium |  |
| Notes /<br>Defects | The tree is approximately 18 feet to the building exterior shell. It is in good condition and there are no structural defects. There is some moderate twig dieback in the crown. |                 |               |          |       |              |      |                       | <b>Dripline (ft)</b><br><b>N</b> 16<br><b>S</b> 17.5<br><b>E</b> 16<br><b>W</b> 16 |

Photo 1

Photo 2

Photo 3

Photo 4







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| Tree               | Species  | DBH (in)        | Drip Avg (ft) | CRZ (ft) | Vigor | Structure | Risk | Pres. Cat/Value       | Recommendations  |
|--------------------|--|-----------------|---------------|----------|-------|-----------|------|-----------------------|--|
| 142                | Norway maple<br><i>Acer platanoides</i>  | 15.7,<br>(15.7) | 16.0          | 15.7     | Good  | Good      | Low  | Unknown<br><br>Medium |  |
| Notes /<br>Defects | The tree has a full crown and no structural defects. There are a few large surface roots visible in the bare ground around the base of the tree. |                 |               |          |       |           |      |                       | <b>Dripline (ft)</b><br><b>N</b> 16<br><b>S</b> 16<br><b>E</b> 16<br><b>W</b> 16 |

Photo 1

Photo 2

Photo 3

Photo 4







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|--------------------|--|-------------|---------------|----------|-------|--------------|------|-----------------------|--|
| 143                | Norway maple<br><i>Acer platanoides</i>  | 15,<br>(15) | 14.0          | 15.0     | Good  | Fair to Good | Low  | Unknown<br><br>Medium |  |
| Notes /<br>Defects | The tree is leaning slightly towards the street. One codominant stem closest to the street has a weak union that could be managed to reduce risk. The planting area looks like it was originally bounded by some structures that have been removed to open up the space for roots to grow. |             |               |          |       |              |      |                       | <b>Dripline (ft)</b><br>N 14<br>S 14<br>E 14<br>W 14 |

Photo 1

Photo 2

Photo 3

Photo 4







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Item (4)

### Tree Assessment Matrix

| Tree               | Species   | DBH (in)        | Drip Avg (ft) | CRZ (ft) | Vigor | Structure | Risk | Pres. Cat/Value       | Recommendations  |
|--------------------|---|-----------------|---------------|----------|-------|-----------|------|-----------------------|--|
| 144                | Norway maple<br><i>Acer platanoides</i>   | 17.5,<br>(17.5) | 19.3          | 17.5     | Fair  | Good      | Low  | Unknown<br><br>Medium |  |
| Notes /<br>Defects | There is a 2-foot girdling root on on the southwest side of the trunk flare. There is some twig dieback in the crown and foliage development is delayed compared to other trees in the group. The tree has a large, full crown. |                 |               |          |       |           |      |                       | <b>Dripline (ft)</b><br><b>N</b> 19<br><b>S</b> 19<br><b>E</b> 21<br><b>W</b> 18 |

Photo 1

Photo 2

Photo 3

Photo 4







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Item (4)

### Tree Assessment Matrix

| Tree               | Species   | DBH (in)  | Drip Avg (ft) | CRZ (ft) | Vigor | Structure | Risk | Pres. Cat/Value    | Recommendations                                  |
|--------------------|---|-----------|---------------|----------|-------|-----------|------|--------------------|--|
| 145                | Callery pear var.<br><i>Prunus calleryana</i><br>var.   | 7,<br>(7) | 6.0           | 7.0      | Good  | Good      | Low  | Unknown<br><br>Low |  |
| Notes /<br>Defects | The tree is tall and it has a narrow crown for its species. The growth form is most likely a result of competition with the adjacent larger maple trees and pruning for street clearance. |           |               |          |       |           |      |                    | <b>Dripline (ft)</b><br>N 6<br>S 6<br>E 6<br>W 6 |

Photo 1

Photo 2

Photo 3

Photo 4





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Item (4)

### Tree Assessment Matrix

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|--------------------|---|---------------|---------------|----------|-------|-----------|------|--------------------|--|
| 146                | Callery pear var.<br><i>Prunus calleryana</i><br>var.                           | 1.2,<br>(1.2) | 2.0           | 1.2      | Good  | Good      | Low  | Unknown<br><br>Low |  |
| Notes /<br>Defects | This is a newly planted tree growing under the crown of an adjacent maple tree. |               |               |          |       |           |      |                    | <b>Dripline (ft)</b><br>N 2<br>S 2<br>E 2<br>W 2 |

Photo 1

Photo 2

Photo 3

Photo 4







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### Tree Assessment Matrix

| Tree               | Species  | DBH (in)      | Drip Avg (ft) | CRZ (ft) | Vigor        | Structure | Risk | Pres. Cat/Value    | Recommendations                                  |
|--------------------|--|---------------|---------------|----------|--------------|-----------|------|--------------------|--|
| 147                | Callery pear var.<br><i>Prunus calleryana</i><br>var.  | 6.5,<br>(6.5) | 3.8           | 6.5      | Poor to Fair | Fair      | Low  | Unknown<br><br>Low |  |
| Notes /<br>Defects | The tree has a tall and narrow crown growing up through the maple tree next to it. There is substantial twig dieback and very few scaffold branches. |               |               |          |              |           |      |                    | <b>Dripline (ft)</b><br>N 4<br>S 4<br>E 7<br>W 0 |

Photo 1

Photo 2

Photo 3

Photo 4





Urban Forestry Services, Inc.  
15119 McLean Road  
Mount Vernon, WA 98273  
(360) 428-5810

Inspector: Becker  
ISA Certified Arborist  
ISA Tree Risk Assessment Qualified

Item (4)

### Tree Assessment Matrix

| Tree               | Species   | DBH (in)      | Drip Avg (ft) | CRZ (ft) | Vigor        | Structure | Risk | Pres. Cat/Value    | Recommendations  |
|--------------------|---|---------------|---------------|----------|--------------|-----------|------|--------------------|--|
| 148                | Callery pear var.<br><i>Prunus calleryana</i><br>var.   | 6.7,<br>(6.7) | 5.0           | 6.7      | Poor to Fair | Fair      | Low  | Unknown<br><br>Low |  |
| Notes /<br>Defects | The tree has a tall and narrow crown growing through the crown of a maple tree next to it. The pear crown is asymmetrical towards the street. |               |               |          |              |           |      |                    | <b>Dripline (ft)</b><br><b>N</b> 4<br><b>S</b> 8<br><b>E</b> 8<br><b>W</b> 0 |

Photo 1

Photo 2

Photo 3

Photo 4







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### Tree Assessment Matrix

| Tree               | Species  | DBH (in)      | Drip Avg (ft) | CRZ (ft) | Vigor | Structure | Risk | Pres. Cat/Value    | Recommendations                                  |
|--------------------|--|---------------|---------------|----------|-------|-----------|------|--------------------|--|
| 149                | Callery pear var.<br><i>Prunus calleryana</i><br>var.                                      | 5.7,<br>(5.7) | 5.0           | 5.7      | Fair  | Fair      | Low  | Unknown<br><br>Low |  |
| Notes /<br>Defects | The tree has a tall and narrow crown growing upward through the oak tree crown next to it. |               |               |          |       |           |      |                    | <b>Dripline (ft)</b><br>N 5<br>S 5<br>E 5<br>W 5 |

Photo 1

Photo 2

Photo 3

Photo 4







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Item (4)

### Tree Assessment Matrix

| Tree               | Species  | DBH (in)      | Drip Avg (ft) | CRZ (ft) | Vigor | Structure    | Risk | Pres. Cat/Value    | Recommendations                                  |
|--------------------|--|---------------|---------------|----------|-------|--------------|------|--------------------|--|
| 150                | Callery pear var.<br><i>Prunus calleryana</i><br>var.  | 7.5,<br>(7.5) | 6.5           | 7.5      | Good  | Fair to Good | Low  | Unknown<br><br>Low |  |
| Notes /<br>Defects | The tree is leaning slightly and has an asymmetrical crown towards the street. The trunk is slightly swollen at the base at what looks to be a root grafting scar. |               |               |          |       |              |      |                    | <b>Dripline (ft)</b><br>N 2<br>S 9<br>E 9<br>W 6 |

Photo 1

Photo 2

Photo 3

Photo 4





## General Tree Protection Guidelines With Critical Root Zone Explanation Attachment

1. **Responsibilities:** These Guidelines pertain to any disturbance, use or activity within the Critical Root Zone of any retained tree on this project. See attached **Critical Root Zone Explanation** for reference. The owner's arborist and general contractor shall meet onsite before any site work begins, to review and designate the most appropriate methods to be used to protect the retained trees during construction.

These guidelines apply to work provided by all contractors and sub-contractors on the project.

The project consulting arborist shall be contacted prior to any work that may need to enter the tree protection fencing. At least two days notice shall be provided to the project consulting arborist. A proposed method for work shall be provided to the arborist. This method shall be reviewed by the project consulting arborist and either approval and / or comments provided by the project consulting arborist prior to commencing works within the tree protection area. He or she should be notified within 8 hours should any injury occur to any protected tree or its larger roots (greater than 2-inch diameter) so that appropriate assessment and/or treatment may be made.

2. **Soil Disturbance:** No soil disturbance shall take place before tree protection fences are installed. All evaluated trees to be retained within these areas are clearly illustrated on the Site Plan.
3. **Designated Tree Removals:** The owner's arborist and contractor shall confirm on site which trees are to be removed and those to be retained. Directional felling and removal of trees will be completed with great care to avoid any damage to the trunks, limbs, and critical root zones of the retained trees.
4. **The Tree Protection Site Plan**, when provided, shows the recommended location of the Tree Protection Fence (TPF). Immediately after the clearing limits and grading stakes are set in the field, the owner's arborist, during review and discussion with the contractor, will make a final determination on the tree protection requirements depending on construction limits and estimated impact on major roots and soil condition. The arborist may adjust clearing limits in the field so that, in his/her opinion, tree roots and soils are protected while necessary work can proceed.
5. **The Tree Protection Fence (TPF)** shall be installed along the clearing limits, with special consideration of the Critical Root Zone (CRZ) of trees to be preserved. The CRZ of a tree is generally described as an area equal to 1-foot radius for every 1-inch diameter of tree. For example, a 10-inch diameter tree has a CRZ of 10-foot radius. Work within the CRZ may be limited to hand work or alternate method of construction.

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The Tree Protection Fence (TPF) shall be constructed with steel posts driven into the ground with 6-ft. chain link fence attached. Upon consultation with the contractor, the arborist shall determine the placement of the fence and the extent and method of clearing that may be done near preserved trees. Additional follow-up determinations may be required as work progresses on the project. See attached **Critical Root Zone Explanation**.

No parking, storage, dumping, or burning of materials is allowed beyond the clearing limits or within the Tree Protection Fence.

The TPF shall not be moved without authorization by the owner's arborist or City Arborist. The TPF shall remain in place for the duration of the project.

Work within this area shall be reviewed with and approved by the owner's arborist. Call Urban Forestry Services| Bartlett Consulting at 360-428-5810 with questions.

6. **Silt Fence:** If a silt fence is required to be installed within the Critical Root Zone of a retained tree, the bottom of the silt fence shall not be buried in a trench, but instead, folded over and placed flat on the ground. The flat portion of the silt fence shall be covered with gravel or soil for anchorage.
7. **CRZ over Hardscape:** Where the Critical Root Zone (CRZ) includes an area covered by hardscape, the TPF can be placed along the edge of the hardscape if and until it is removed. After hardscape removal, the available CRZ should be backfilled with topsoil up to 6 inches deep and protected with the TPF. Incorporation of topsoil into the existing sub-grade shall be determined by the consulting arborist. Where applicable a specification for topsoil will be provided or approved by Urban Forestry Services | Bartlett Consulting.
8. **Tree Protection Signs** shall be attached to the fence only and shall be shown as required on the Site Plan. They should read "Protect Critical Root Zone (CRZ) of trees to be retained. No soil disturbance, parking, storage, dumping, or burning of materials is allowed within the Tree Protection Barrier. " Monetary fines, based on the appraised dollar value of the retained trees may also be included on these signs. Telephone contact details for the project consulting arborist should also be included in the sign.
9. **Soil Protection within the Critical Root Zone (CRZ):** Where vehicular access, temporary work pad or storage pad is required within the CRZ of any preserved tree that is not protected with hardscape, the soil shall be protected with 18" of woodchips and/or plywood or metal sheets, or a combination of both, to protect from soil compaction and damage to roots of retained trees. A biodegradable coir mat netting is recommended to be placed on the existing grade before woodchip placement to protect the condition and confirm the location of the existing grade. The netting is a valuable benchmark upon removal of the material within the CRZ.
10. **Landscape Plans, Irrigation Design and Installation Details:** Great care shall be exercised when landscaping within the Critical Root Zone (CRZ) of any tree. Roots of preserved trees and

*General Tree Protection Guidelines*

*By Urban Forestry Services| Bartlett Consulting*

*2019*

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other vegetation shall not be damaged by planting or installation of irrigation lines. The owner's arborist shall review the Landscape Plan for any potential design and tree preservation conflicts and approve related irrigation and landscape installation activities within the CRZ of retained trees. A proposed method for work shall be provided to and approved by the arborist.

- 11. Backfill and Grade Changes:** The owner's arborist will determine to what extent backfilling may be allowed within the Critical Root Zone of a preserved tree, and if needed, the specific material which may be used. Grade cuts are usually more detrimental than grade filling within the CRZ and shall be reviewed by the arborist well in advance of construction.
- 12. Tree Maintenance and Pruning:** Trees recommended for maintenance and approved by the owner, shall be pruned for deadwood, low hanging limbs, and proper balance, as recommended for safety, clearance or aesthetics. All pruning shall be done by an International Society of Arboriculture Certified Arborist. *ANSI A300 American Standards for Pruning* shall be used. Limbs of retained trees within 10 feet or less, of any power line, depending on power line voltage, may only be pruned by a Utility Certified Arborist. This pruning must be coordinated with the local power company, as they may prefer to provide this pruning.
- 13. Underground Utilities:** Utility installation within the Critical Root Zone (CRZ) of any retained tree shall be reviewed by the Project Consulting Arborist. A less root disturbing route or minimal impact installation method of utility installation may be discussed and recommended i.e. tunneling or trenchless excavation. Trenching through the Interior CRZ of a retained tree is not usually allowed. **See CRZ Explanation to differentiate between the Perimeter and Interior CRZ.** An Air spade and Vac Truck may be required when utility installation is mandatory near a retained tree or other methodology such as trenchless excavation.
- 14. Root Pruning:** Required work may result in the cutting of roots of retained trees. Cutting roots 2" or greater should be avoided. Potential root pruning needs should be reviewed in advance with the Project Consulting Arborist to minimize potential root fracturing and other damage. Severed roots of retained trees shall be cut off cleanly with a sharp saw or pruning shears. Applying pruning paint on trunk or root wounds is not recommended. Severed roots shall be covered immediately after final pruning with moist soil or covered with mulch until covered with soil. Excavation equipment operators shall take extreme care not to hook roots and pull them back towards retained trees. In all cases, the excavator shall sit on ground outside of the CRZ. Soil excavation within the CRZ shall be under the direct supervision of the owner's arborist.
- 15. Supplemental Tree Irrigation:** If clearing is performed during the summer, supplemental watering and/or mulching over the root systems within the Tree Protection Fencing of preserved trees may be required by the owner's arborist. The arborist should be notified of the proposed schedule for clearing and grading work. Supplemental watering and mulching over the root systems of roots impacted or stressed trees are strongly recommended to compensate for root loss and initiate new root growth. Long periods of slow drip irrigation will be most effective. A large coil of soaker hose starting at least 18" from the trunk and covering the Interior Critical Root Zone area is recommended. Water once per week and check soils for at least 12 inches infiltration. This work shall be under the direct supervision of the owner's arborist.

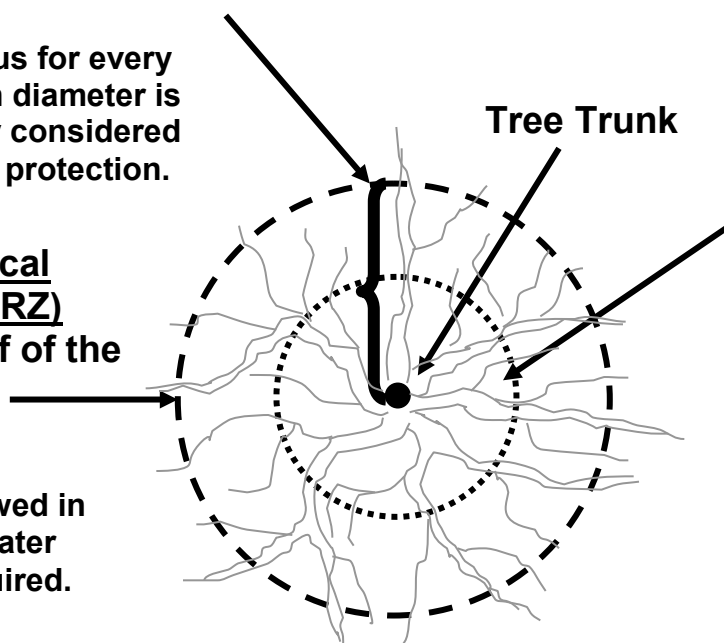
- 16. Additional Measures:** Additional tree protection recommendations may be required and may be specified in Urban Forestry Services| Bartlett Consulting report(s).
- 17. Tree Protection Monitoring:** The owner's arborist may be required to monitor work when disturbance occurs near retained trees and shall make periodic site visits to report to the owner and City if tree protection guidelines are being followed.
- 18. Final Inspection:** The owner's arborist shall make a final site visit to report on retained tree condition following completed work and shall report to the city to release the bond, if necessary for the retained trees.

**Critical Root Zone****(CRZ) =**

12" Radius for every  
Tree inch diameter is  
generally considered  
optimum protection.

**Perimeter Critical  
Root Zone (PCRZ)****= the outer half of the  
CRZ**

The greater the  
disturbance allowed in  
this area, the greater  
Post Care is required.

**Interior Critical Root  
Zone (ICRZ)****= the inner half of the  
CRZ**

Protecting only this area  
would cause significant  
impact to the tree,  
potentially life  
threatening, and would  
require maximum Post  
Care Treatment to retain  
the tree. See Post Care  
Treatment below.

The **Critical Root Zone (CRZ)** of a tree is established on the basis of the trunk diameter. The CRZ is a circular area which has a radius of 12 inches for every inch diameter of trunk measured at 4.5 feet above grade. Root systems will vary both in depth and spread depending on size of tree, soils, water table, species and other factors. However, this CRZ description is generally accepted in the tree industry. Protecting this entire root zone area should result in no adverse impact to the tree, except for potentially increased exposure.

The above CRZ drawing has been further differentiated into the '**Perimeter**' (PCRZ) and '**Interior**' (ICRZ) to help define potential impact and required Post Care.

Generally, the full PCRZ is considered the optimum amount of root protection for a tree. As one encroaches into the "Perimeter CRZ, but not into the "Interior CRZ" the greater Post Care the tree would require to remain alive and stable. The 'Interior CRZ is half the radius of the full PCRZ. Disturbance into the ICRZ could destabilize or cause the tree to decline.

The full ICRZ should never be disturbed if the tree is to have any chance of survival. This 'Interior' CRZ would approximately equal the size of a rootball needed to transplant this tree which in turn would require extensive Post Care and possibly guying.

This Post Care Treatment would include but may not be limited to; regular irrigation, misting, root treatment with special root hormones or growth stimulants, mulching, guying and monitoring for several years. Lack of this treatment would be fatal to the tree.

**Urban Forestry Services****BARTLETT CONSULTING**

Divisions of The F.A. Bartlett Tree Expert Company

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Title: Critical Root Zone (CRZ) Explanation

Source: Urban Forestry Services | Bartlett Consulting  
Jim Barborinas, ISA Certified Arborist PN-0135  
ASCA Registered Consulting Arborist #356,  
Tree Risk Assessor Qualified

Date: 2019

Not to Scale