



ARTS COUNCIL REGULAR VIDEO MEETING

Wednesday, December 9, 2020 at 6:30 PM

BOARD MEMBERS:

Chair Erin Vivion
Vice Chair Amy Barnes
Board Members: Anumeha, Erik Gordon,
Xixi Shakes, Suzanne Skone, Gaylene Vaden
City Council Liaison: Salim Nice

LOCATION & CONTACT

Mercer Island City Hall – Zoom Meeting
9611 SE 36th Street | Mercer Island, WA 98040
Phone: 206.275.7706 | www.mercerisland.gov

In compliance with the Americans with Disabilities Act, those requiring accommodation for meetings should notify the Staff Liaison at least 24 hours prior to the meeting at 206.275.7706.

Virtual Meeting Notice

The virtual meeting will be broadcast live on Zoom and recorded and saved on the City's [YouTube Channel](#)

Join by Telephone at 6:30 PM: To listen to the meeting via telephone, please call **253.215.8782** and enter Webinar ID **996 0920 3400** and Password **927515** when prompted.

Join by Internet at 6:30 PM: To watch the meeting over the internet via your computer, follow these steps:

- 1) Click [this link](#)
- 2) If the Zoom app is not installed on your computer, you will be prompted to download it.
- 3) If prompted for Webinar ID, enter **996 0920 3400**; Enter Password **927515**

For the safety and wellbeing of the public and staff, the City strongly recommends that community members attend the meeting by viewing the live feed on Zoom or watching the recording of the video conference on the City's [YouTube Channel](#), which will be available approximately 24 hours after the meeting.

CALL TO ORDER & ROLL CALL, 6:30 PM

APPEARANCES

STAFF UPDATE

REGULAR BUSINESS

1. Approval of Minutes: October 14, 2020, Regular Video Meeting Minutes
2. Officer Elections Discussion
3. Public Art Discussion

OTHER BUSINESS

4. 2021 Meeting Schedule & Planning

ADJOURNMENT



ARTS COUNCIL MINUTES

REGULAR VIDEO MEETING

OCTOBER 14, 2020

CALL TO ORDER & ROLL CALL

Chair Erin Vivion called the meeting to order at 6:37pm.

Anumeha, Vice Chair Amy Barnes, Erik Gordon (joined at 6:50pm), Xixi Shakes, Suzanne Skone, Gaylene Vaden, and Chair Erin Vivion participated remotely using Zoom (video teleconferencing platform).

Staff members Sarah Bluvas, Ryan Daly, and Tammy Bodmer also participated remotely via Zoom.

PUBLIC APPEARANCES

No public appearances.

REGULAR BUSINESS

1. Approval of Minutes: October 14, 2020, Regular Video Meeting Minutes

It was moved by Vaden, seconded by Skone to:

Approve the February 12, 2020, Minutes as presented.

Passed 6-0-1

FOR: Anumeha, Barnes, Shakes, Skone, Vaden, and Vivion

ABSENT: Gordon

2. City Operations & Budget Update

Ryan Daly, EOC Operations Chief, updated the board about changes to City operations during the COVID-19 pandemic, including:

- Elimination of many Parks & Recreation staff positions and other staff reductions
- Focus on essential functions during and after the pandemic
- Recovery planning efforts

Sarah Bluvas, EOC Small Business Liaison, discussed what the changes in operations means for the Arts Council, including:

- Reduced meeting frequency due to limited staff support
- Continued pause in arts programming (events, gallery exhibits, etc.)
- Opportunity to realign Arts Council focus and priorities – What arts programming does the community want/need? How can the Arts Council support those needs in the future?

3. Discussion of Ways to Stay Engaged in 2020 and 2021

Sarah Bluvas, EOC Small Business Liaison, suggested ways board members can stay engaged despite the pause in regular Arts Council work, including:

- Participate in 21/22 budget process
- Stay involved with other City projects – Luther Burbank Docks project, PROS Plan, Parks & Recreation Recovery Plan
- Recommit to long-range visioning and arts advocacy work – Arts Council priorities, community and economic impact of the arts, public art planning

- Reconnect the community with the public art collection

OTHER BUSINESS

Bluvas previewed the public art discussion for the next meeting, which will address needs related to:

- Recent proposal for public art donation
- Art elements of Town Center private development projects
- Public art maintenance needs

Staff requested the board shift its regularly scheduled November meeting (November 11) to observe the Veterans Day holiday.

Next meeting: Tuesday, November 10, at 6:30pm via Zoom

ADJOURNMENT

The Regular Video Meeting adjourned at 8:02pm.

**Public Art Donation Proposal: Photograph from Ron Reeder
Presented to Arts Council – 12.09.20**

Submitted: November 30, 2019

To: City of Mercer Island and Mercer Island Art Council
c/o Ryan Daily, Parks & Recreation Director
Sarah Bluvas, Arts & Culture Coordinator
Amy Barnes, Vice Chair
Erin Vivion, Chair

From: Mercer Island Visual Arts League (MIVAL)
c/o Carol Whitaker, Program Chair
Gerald Johnson, President
PO Box 134
Mercer Island, WA 98040
(206) 280-8509 – Carol

Cc: Lorri Falterman, Immediate Past President, MIVAL
Judith Roan, Ron Reeder Family

Description of Donation:

The Mercer Island Visual Arts League (MIVAL) is proposing to donate to the City of Mercer Island a photograph by late artist and longtime MIVAL member Ron Reeder.

The final image will be agreed upon between Ron's family, MIVAL, the City of Mercer Island and the MI Arts Council. It most likely will be in the form of a palladium print.

The MIVAL board has approved this proposal as consistent with its mission "to promote and encourage artistic endeavors on Mercer Island and the surrounding area, to stimulate awareness and appreciation of the visual arts in our community, and to sponsor art exhibits and workshops."

MIVAL was established on Mercer Island in 1961 and has been an uninterrupted community art organization on Mercer Island since that time. MIVAL incorporated as a private non-profit in 1969. It has operated the MIVAL Gallery on Mercer Island since 2009. Among its many activities, MIVAL sponsors a high-school senior scholarship program, junior art programs, including summer show for students in kindergarten through 12th grade, several yearly adult art shows, including a holiday show at the Mercer Island Community and Event Center. MIVAL is a member of the Mercer Island Chamber of Commerce and partners with them on Art Uncorked and the MIVAL venue program.

Ron Reeder Resume and Artist Credentials:

Ron Reeder was a long-time resident of Mercer Island. Ron moved to Mercer Island with his wife Judith Roan in 1991. Together they built a home at the north end of Mercer Island where Judith still resides. Ron and Judith are long-time artists and members of the Mercer Island Visual Arts.

Ron Reeder was an accomplished scientist and community member. From 1978 to 2002 Ron Reeder ran a research laboratory in the Fred Hutchinson Cancer Research Center in Seattle, WA. Quoting an article on the Fred Hutch website: “He was among the first scientists to develop a model system to study the cellular machinery that ‘reads’ DNA and converts it to RNA, a fundamental step in how our genes affect our biology.” Ron held a PhD in biochemistry from MIT (Massachusetts Institute of Technology), spent a post-doctoral year of study in Kyoto, Japan, and was on the faculty of the Carnegie Institute in Baltimore, MD, before joining the Fred Hutch faculty. During his career, Ron and his co-workers published over 100 articles in research journals and book chapters. Ron retired from Fred Hutch in 2002. <https://www.fredhutch.org/en/news/center-news/2002/09/from-frog-eggs-to-photography.html>

Ron Reeder was a life-long and accomplished photographer who created beauty, advanced art through his devotion to technique and his published materials, and mentored other artists.

Ron’s love of photography and his artistic outlook began during his childhood years in Japan where Ron’s father gave Ron his first camera. In Japan, Ron also developed a deep appreciation for Japanese art and design, which influenced much of his art and process.

Over the years, Ron worked in numerous photographic formats and development techniques both in the dark room and on the computer using digital photography and editing. He used techniques from both the old and new worlds of photography to create his images and imaging effects. From an article on the Fred Hutch website: “Reeder took great pains to learn virtually every possible way to develop photographs, his wife [Judith] said, and would gladly share his expertise with anyone. ‘Our house was always full of people who wanted to learn photographic processes from Ron.’” <https://www.fredhutch.org/en/news/center-news/2019/08/ron-reeder-obituary.html>

Ron particularly enjoyed palladium printing, a 19th century process in which a sheet of watercolor paper is hand coated with a sensitized solution of palladium metal. When dry, the coated paper is exposed to ultraviolet light through a negative the same size as the final image. Palladium prints have a warm soft tone and are among the most archival of photographic images.

Ron’s particular subjects of interest were landscapes and wildlife, which he approached with a unique combination of digital skills and alternative processes, including palladium printing. He was the first to come up with the idea to apply Roy Harrington’s Quadtone RIP software to the making of digital negatives, and went on to author books on that subject. These books on the technology of making digital negatives using QTR are a testament to his role as mentor of the photographers included in its pages.

Books by Ron Reeder:

Digital Negatives for Palladium and Other Alternative Processes (2010)

Spruce Root Basketry of the Haida and Tlingit with Sharon Busby (2003)

Three self-published, hand bound, large format, palladium printed books entitled: *The Fool*, *Imagine If—*, and *So Far*. This set of three resides in the University of Washington Library Special Collections and at the University of Oregon Library in Eugene, Oregon.

At the time of his death, Ron had written a new book on Digital Negatives that will be published in 2020.

Articles by Ron Reeder:

Ron had articles and photos published in *View Camera* magazine (2003 and 2010) and *Camera Arts* magazine (2004)

Galleries:

Ron showed his work in several galleries over the years with one man shows at Honeychurch Antiques, Glazer's Gallery Space, Wall Space Gallery, Blue Heron Gallery, Stacya Silverman's Galleries in Seattle; Appel Gallery and Wallspace Galleries in Sacramento. Other galleries included Benham Gallery Seattle, and Mercer Island Visual Arts League venues on Mercer Island.

From the Artist:

From Ron Reeder's artist statement: "The goal is to produce beautiful images that create an emotional connection with the viewer. – Ron Reeder"

From artist's website: <http://www.ronreeder.com/artist-statement-ron-reeder.html>

YouTube video of interview with Ron Reeder about exhibit of prints made from glass dry print negatives salvaged from Japan: <https://www.youtube.com/watch?v=zh76bLDRgdY>

Suggested Site for Artwork:

Mercer Island Public Library

Maintenance and Installation Needs:

To be determined based on selected site for placement.

Statement of Importance:

Ron Reeder was a giant in both his professional lives, first as a scientist and second as an artist photographer. As a scientist, he advanced cancer research and ultimately its treatment and cure. As an artist, he respected and explored early photographic processes and images and also reimagined them with his own eye and the aid of modern computer and digital technologies. He revitalized the old with the new, creating beautiful images and valuable resources for artists who wish to follow in his footsteps.

The Universities of Washington and Oregon have recognized Ron's art in their collections. With the addition of a Ron Reeder photograph to its permanent collection, Mercer Island would both recognize an important community member and allow future Mercer Island residents to benefit from Ron's unique and timeless artistic accomplishments.

We are happy to provide more information on request!

Image Options



Art Element for Xing Hua Development in Town Center

Update for Arts Council – 12.09.20

Background:

In February 2020, preliminary plans for a mixed-used development at 2750 77th Avenue SE and 2885 78th Avenue SE (“Xing Hua Development”) were submitted to the City for design review. Renderings for the plaza areas showed two sculpture installations, prompting staff to reach out to the developers to learn more about plans for art on the site and discuss the art evaluation process for private development. (Exhibit 1) On Thursday, April 30, 2020, staff met virtually with Stephanie Brucart of SiteWorkshop, Lu Zhang of Johnston Architects, and Nicole Gaudette (formerly with COMI Community Planning & Development department) to discuss these art elements and provided the following suggestions for incorporating art into the public plazas:

1. Independently commission an artist to create new or acquire completed works of art to install at the site.
2. Purchase a work of art from the Greta Hackett Outdoor Sculpture Gallery to install at the site.
3. Re-site an existing work of public art at the site.

Staff explained that any of these options would require different levels of engagement with the Mercer Island Arts Council.

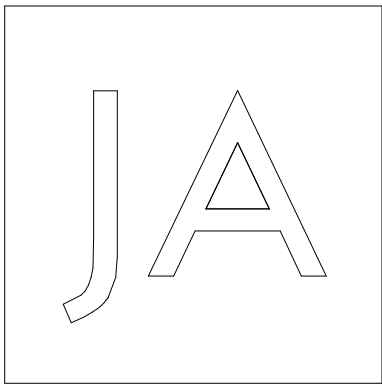
On July 27, Lu Zhang updated staff that the property owner was interested in suggestions 2 and 3 and requested pricing information for *Scheherazade* by Pasha Stinson and *Asteroid Sling* by John Geise, currently for sale in the Outdoor Sculpture Gallery. The owner was also interested in the opportunity to re-site *Chaise* and/or *Bench* by John Hoge. Staff responded on August 25 with cost information and on September 15 with details about the process for bringing requests to the Arts Council for approval.

Zhang contacted staff on November 24 to inquire about the possibility of re-siting two other works in the permanent collection: *Hope* by Mark Heisel (installed at the picnic shelter in Aubrey Davis Park) or *Gift of Reflection* by David Govedare (installed at the East Mercer Way Boat Launch). At that time, Zhang also indicated that, due to budget constraints, the owner was not interested in pursuing a purchase from the Outdoor Sculpture Gallery anymore.

Recommended Action:

- Direct staff to do one of the following:
 - Deny the request to re-site a work from the public art collection at the future Xing Hua Development and propose an alternative option (to be identified in consultation with the Arts Council)
 - Conduct additional work (contacting artists/donors, identifying costs, etc.) to facilitate one or more of the re-siting requests

MERCER ISLAND MIXED USE LAND USE APPLICATION



Johnston Architects, LLC
100 NE Northlake Way,
Suite 200
Seattle, WA 98105
t 206.523.6150
f 206.523.9382



NOT FOR
CONSTRUCTION

MERCER ISLAND
MIXED USE

XING HUA GROUP LTD.
2885 78TH AVE SE
MERCER ISLAND, WA

DRAWING ISSUE

Date	Description
12/24/2019	LAND USE SET

SHEET TITLE

COVER SHEET

SHEET NO.

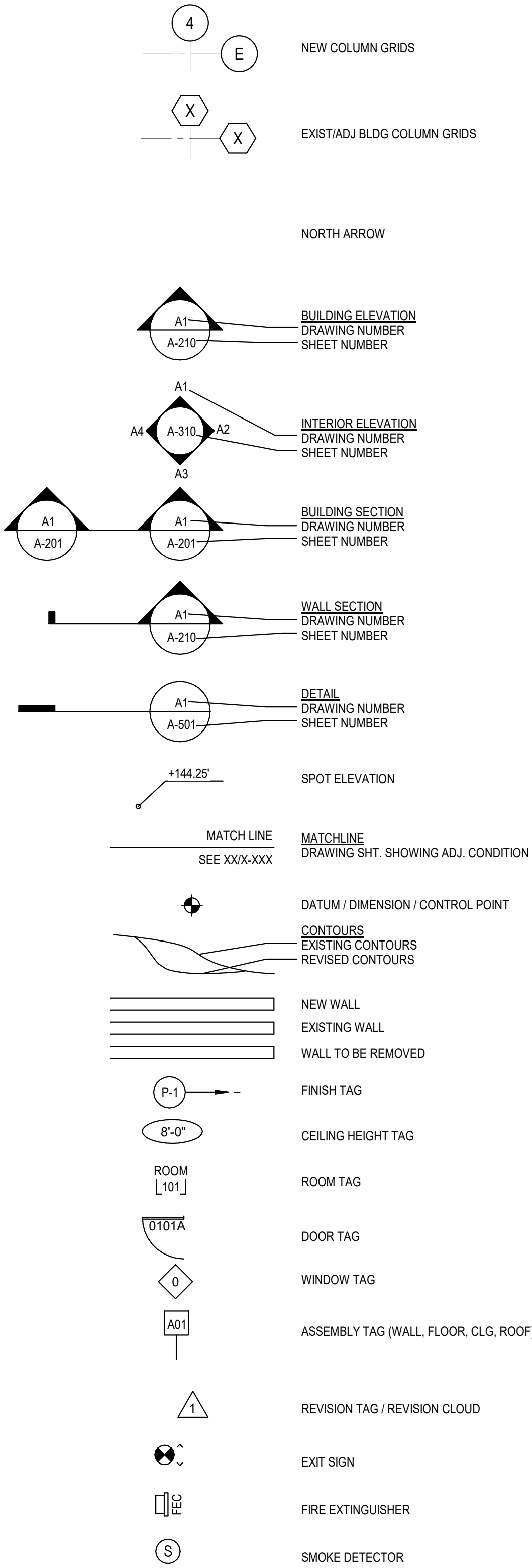
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Drawn
Checked

ABBREVIATIONS

AB	ANCHOR BOLT	MACH RM	MACHINE ROOM
ACST	ACOUSTICAL	MAG	MAGNET(IC)
ADDL	ADDITIONAL	MAS	MASONRY
ADJ	ADJUSTABLE	MATL	MATERIAL
AFF	ABOVE FINISH FLOOR	MAX	MAXIMUM
ALT	ALTERNATE	MB	MAILBOX
APPROX	APPROXIMATE	MBR	MASTER BEDROOM
APT	APARTMENT	MC	MEDICINE CABINET
ARCH	ARCHITECT (URAL)	MECH	MECHANICAL
BD	BOARD	MEMB	MEMBRANE
BITUM	BITUMINOUS	MEZZ	MEZZANINE
BLDG	BUILDING	MFD	MANUFACTURED
BLKG	BLOCKING	MF	MILL FINISH
BM	BEAM	MFR	MANUFACTURE (R)
BO	BOTTOM OF	MIN	"MINIMUM, MINUTE"
BOT	BOTTOM	MIRR	MIRROR
BR	BEDROOM	MISC	MISCELLANEOUS
BSMT	BASEMENT	MO	MASONRY OPENING
BUR	BUILT UP ROOFING	MR	MOISTURE RESISTANT
C	CHANNEL	MTL	METAL
CAB	CABINET	MULL	MULLION
CB	CATCH BASIN	MULT	MULTIPLE
CF/OI	CONTRACTOR FURNISHED; OWNER INSTALLED	NA	NOT APPLICABLE
CIP	CAST-IN-PLACE (CONCRETE)	NIC	NOT IN CONTRACT
CL	CENTERLINE	NO	NUMBER
CLG	CEILING	NOM	NOMINAL
CLR	CLEAR	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	OA	OVERALL
CO	CLEAN OUT	OC	ON CENTER
COL	COLUMN	OD	"OUTSIDE DIAMETER, DIMENSION" OF OUTSIDE FACE
CONC	CONCRETE	OF/CI	OWNER FURNISHED; CONTRACTOR INSTALLED
CONT	CONTINUOUS	OF/CI	OWNER FURNISHED; OWNER INSTALLED
CONTR CONTRACT (OR)		OFF	OFFICE
COORDCOORDINATE		OH	OVERHANG
CORR	CORRIDOR	OPH	OPPOSITE HAND
CPT	CARPET (ED)	OPNG	OPENING
CSMT	CASEMENT	OPPOS	OPPOSITE
CT	CERAMIC TILE	ORD	OVERFLOW ROOF DRAIN
D	"DRYER, DEEP"	OVHD	OVERHEAD
DEMO	"DEMOLISH, DEMOLITION"	PAT	PATTERN
DEPT	DEPARTMENT	PBD	PARTICLE BOARD
DET	DETAIL	PCP	PORTLAND CEMENT PLASTER
DF	DRINKING FOUNTAIN	PED	PEDESTAL
DIA	DIAMETER	PERF	PERFORATED
DIM	DIMENSION	PERIM	PERIMETER
DN	DOWN	PERM	PERMANENT
DR	"DINING ROOM, DOOR"	PERP	PERPENDICULAR
DS	DOWNSPOUT	PH	PHASE
DW	DISHWASHER	PL	PROPERTY LINE
DWG	DRAWING	PLAM	PLASTIC LAMINATE
DWH	DOMESTIC WATER HEATER	PLWD	PLYWOOD
DWR	DRAWER	PR	PAIR
E	EAST	PRCST	PRECAST
EA	EACH	PREFAB	PREFABRICATED
EFCS	EXTERIOR INSULATION AND FINISH SYSTEM	PRELIMPRELIMINARY	
EL	ELEVATION	PRKG	PARKING
ELEC	ELECTRIC (AL)	PROJ	PROJECT
ELEV	ELEVATOR	PROP	PROPERTY
ENCL	ENCLOSE (URE)	PT	"POST-TENSIONED, PRESSURE TREATED"
EQ	EQUAL	PTN	PARTITION
EQUIP	EQUIPMENT	PVG	PAVING
ESMT	EASEMENT	R	"RADIUS, RISER"
EST	ESTIMATE (D)	RC	REINFORCED CONCRETE
EW	EACH WAY	RCP	REFLECTED CEILING PLAN
EXH	EXHAUST	RD	"ROOF DRAIN, ROAD"
EXIST	EXISTING	REC	RECESSED
EXP	EXPANSION	REF	"REFER (ENCE), REFRIGERATOR"
EXT	EXTERIOR	REINF	"REINFORCE (D), (ING)"
FAM	FLUID APPLIED MEMBRANE	RESID	RESIDENTIAL
FACTY	FACTORY	RESIL	RESILIENT
FD	FLOOR DRAIN	REV	"REVISION (S), REVISED"
FDN	FOUNDATION	RFG	ROOFING
FE	FIRE EXTINGUISHER	RH	"ROOF HATCH, RIGHT HAND"
FIN	FINISH (ED)	RM	ROOM
FL	FLASHING	RO	ROUGH OPENING
FLR	FLOOR	ROW	RIGHT OF WAY
FOC	FACE OF CONCRETE	RT	RIGHT
FOF	FACE OF FINISH	S	SOUTH
FOM	FACE OF MASONRY	SD	SCHED SCHEDULE
FOS	FACE OF STUDS	SF	SQUARE FOOT (FEET)
FPL	FIREPLACE	SHT	SHEET
FRMG	FRAMING	SHTHG	SHEATHING
FRT	FIRE RETARDANT TREATED	SHV	SHELVES (ING)
FT	"FOOT, FEET"	SIM	SIMILAR
FTG	FOOTING	SPEC	SPECIFICATION
FURN	FURNITURE	SPKL	SPRINKLER
FUT	FUTURE	SQ	SQUARE
GAGE	GAGE	SQ IN	SQUARE INCH
GALV	"GALVANIZED, GALVANIC"	SS	"SANITARY SEWER, STANDING SEAM"
GAR	GARAGE	ST	"STAIRS, STREET"
GB	"GRAB BAR, GYPSUM BOARD"	STC	SOUND TRANSMISSION CLASS
GEN	GENERAL	STD	STANDARD
GL	GLASS	STOR	STORAGE
GLU LAM	GLUED LAMINATED WOOD	STRUCT	STRUCTURE (AL)
GOVT	GOVERNMENT	SUSP	SUSPEND(ED)
GYP	GYPSUM	SV	SHEET VINYL
H	HIGH	SYS	SYSTEM
HB	HOSE BIBB	T	TREAD
HC	HANDICAPP	T&G	TONGUE AND GROOVE
HDR	HEADER	TLDN	HOLDDOWN
HDW	HARDWARE	HM	HOLLOW METAL
HDWD	HARDWOOD	HO	HOLD OPEN
HLDN	HOLDDOWN	HORIZ	HORIZONTAL
HR	HOUR	HT	HEIGHT
HTR	HEATER	HTR	HEATER
HVAC	"HEATING, VENTILATION, AND" AIR CONDITIONING	HVAC	"HEATING, VENTILATION, AND" AIR CONDITIONING
ID	INSIDE DIAMETER	ID	INSIDE DIAMETER
IIC	IMPACT ISOLATION CLASS	IIC	IMPACT ISOLATION CLASS
INCL	INCLUDING (ED)	INFO	INFORMATION
INFO	INFORMATION	INSUL	INSULATION
INSUL	INSULATION	INT	INTERIOR
INT	INTERIOR	JAN	JANITOR
JAN	JANITOR	KIT	KITCHEN
KIT	KITCHEN	L	LONG
L	LONG	LAM	LAMINATE(D)
LAM	LAMINATE(D)	LAU	LAUNDRY
LAU	LAUNDRY	LAV	LAVATORY
LAV	LAVATORY	LB	POUND
LB	POUND	LH	LEFT HAND
LH	LEFT HAND	LNDS	LANDSCAPE
LNDS	LANDSCAPE	LOC	LOCATION
LOC	LOCATION	LR	LIVING ROOM
LR	LIVING ROOM	LRG	LARGE
LRG	LARGE	LT	LIGHT
LT	LIGHT	LTG	LIGHTING
LTG	LIGHTING		

SYMBOL LEGEND



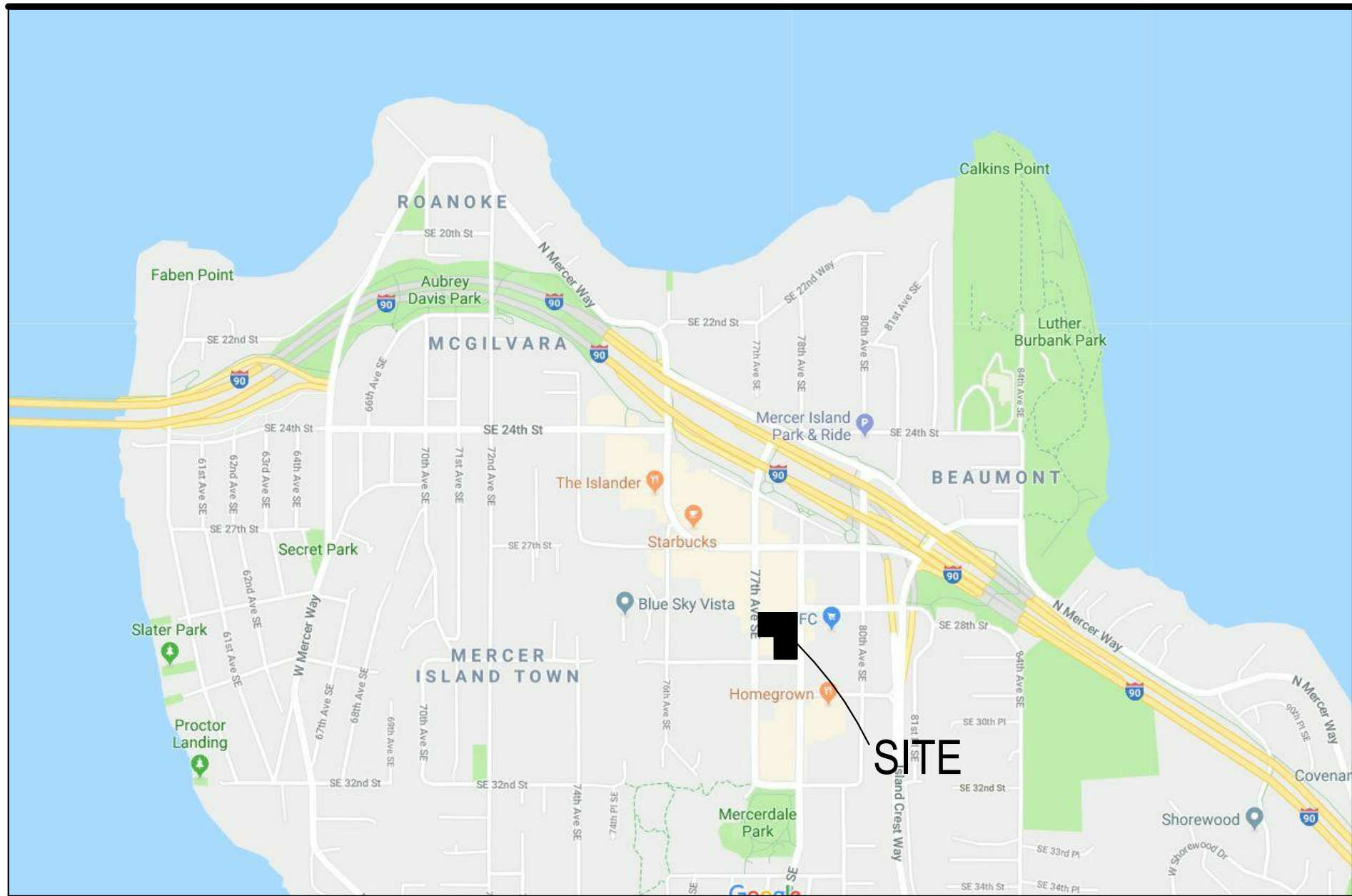
PROJECT INFORMATION

PROJECT ADDRESS	2750 77TH AVE SE & 2885 78TH AVE SE MERCER ISLAND, 98040
RELATED PERMITS	N/A
LEGAL DESCRIPTION	PARCEL 1 OF MERCER ISLAND SHORT PLAT NUMBER 77-9-040, RECORDED OCTOBER 25, 1977 UNDER RECORDING NUMBER 7710250620, IN KING COUNTY, WASHINGTON.
EXISTING STRUCTURES	1-STORY MASONRY BLDG & 2-STORY MASONRY BLDG
PROPOSED USES	THE CONSTRUCTION OF A 4 STORY MIXED-USE BUILDING WITH TWO BASEMENT LEVEL

PROJECT DIRECTORY

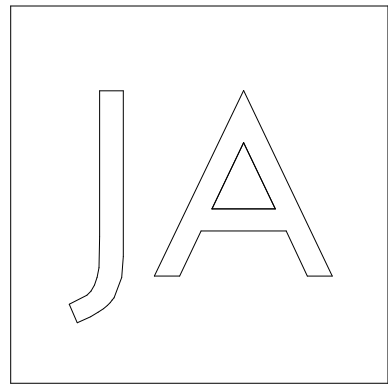
OWNER: Xing Hua Group Ltd. 929 - 108th Ave NE, Suite 1200 Bellevue, WA 98004 6770 Church St, Vancouver, BC, V6P5B1, Canada GUOHAILU kylelu0822@gmail.com	LANDSCAPE: Site Workshop 215 6th Ave N, Suite 250, Seattle WA 98109 Clayton Beaudin claytonb@siteworkshop.net 206.778.7872
ARCHITECT: Johnston Architects LLC. 100 NE Northlake Way, Suite 200 - Seattle, WA 98105 Scheer Chan Schan@johnstonarchitects.com P 206.523.6150 F 206.523.9382	MECHANICAL: SIDER + BYERS 192 Nickerson St., Suite 300, Seattle WA 98109 Nathan Byers Nathan@siderbyers.com 206-285-2966
CIVIL: KPFF Consulting Engineers 1601 Fifth Avenue, Suite 1600, Seattle Andrew Tran andrew.tran@kpff.com 206.622.5822	ELECTRICAL: AWA Electrical Consultants, Inc. 19015 36th Ave. W., Suite E, Lynnwood WA 98036 Brad Adcock brad@awaelec.com (425) 775-1799
STRUCTURAL: PCS Structural Solutions 1011 Western Avenue, Suite 810, Seattle WA 98104 Kevin Rothrock Krothrock@pcs-structural.com 206.292.5076	GEOTECH: Hart Crowser 3131 Elliott Avenue, Suite 600, Seattle WA 98121 Matt Veenstra matt.veenstra@hartcrowser.com 206.826.4648
SURVEY: Bush, Rod & Hitchings, Inc. 2009 Minor Avenue East, Seattle WA 98102 Dakin A. Bell DakinB@brhinc.com (206) 323-4144	ENVIRONMENTAL: Farallon Consulting 975 5th Avenue NW, Issaquah WA 98027 Jennifer Moore jmoore@farallonconsulting.com
TRANSPORTATION: Transpo Group 12131 113th Ave. SE, Suite 203, Kirkland, WA 98034 Mike Swenson mike.swenson@transpogroup.com 425-896-5206	MARKETING: Blanton Turner 159 S Jackson St, Suite 320 Seattle, WA 98104 Chasten Fulbright cfubright@blantonturner.com 206.973.1983

VICINITY MAP



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A308	RENDERING
A309	RENDERING
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A401	BUILDING SECTIONS - NORTH-SOUTH



Johnston Architects, LLC
100 NE Northlake Way,
Suite 200
Seattle, WA 98105
t 206.523.6150
f 206.523.9382



NOT FOR
CONSTRUCTION

MERCER ISLAND
MIXED USE

XING HUA GROUP LTD.
2885 78TH AVE SE
MERCER ISLAND, WA

DRAWING ISSUE

Date	Description
12/24/2019	LAND USE SET

SHEET TITLE

PROJECT
INFORMATION

SHEET NO.

G002

Drawn

Checked

MICC TITLE 19 UNIFIED LAND DEVELOPMENT CODE

MICC		ALLOWED / REQUIRED	COMPLIANCE	SHEET REFERENCE
ZONING DESIGNATION	19.11.015	TC-4	PROJECT IS PROPOSED TO BE IN COMPLIANCE WITH ALL THE TC-4 REQUIREMENTS.	
PERMITTED USES	19.11.020.A.1	BAR, CARE SERVICES, HOTEL/MOTEL, OFFICE, RESIDENTIAL DWELLING, RESTAURANT, RETAIL - SMALL SCALE (<20,000 SF), SERVICE	RESIDENTIAL DEWELLING, RESTAURANT AND RETAIL ARE PROPOSED.	1/G005
REQUIRED GROUND FLOOR USES	19.11.020.B.1.a	MIN 40% GROUND FLOOR STREET FRONTAGE = RETAIL, RESTAURANT, AND/OR PERSONAL SERVICES	STREET FRONTAGES ALONG 78TH AVE AND 77TH AVE ARE 100% COMMERCIAL USE. THE GROUND FLOOR USE OF 29TH ST IS 41.8% RETAIL USE.	1/G005
	19.11.020.B.1.b	MAX 60% GROUND FLOOR STREET FRONTAGE = HOTEL/MOTEL, PERSONAL SERVICE, PUBLIC FACILITY, OR OFFICE	NONE OF THE LISTED USES IS PROPOSED.	1/G005
	19.11.020.B.1.c	DRIVEWAYS, SERVICE/LOADING, PARKING GARAGE ENTRIES, AND LOBBIES SHALL NOT BE INCLUDED IN CALCULATING THE REQ'D PERCENTAGE OF GROUND FLOOR USE	THE LISTED USES HAVE BEEN EXCLUDED FROM THE CALCULATIONS.	1/G005
	19.11.020.B.3	NO USE CAN OCCUPY A CONTINUOUS LINEAR STREET FRONTAGE EXCEEDING 60FT	THE MAXIMUM LENGTH OF A CONTINUOUS USE IS 60 FEET.	1/G005
	19.11.020.B.4	THE MINIMUM REQUIRED DEPTH OF STOREFRONT ALONG RETAIL STREET FRONTAGE IS 16 FEET	THE LEAST DEPTH OF ALL THE RETAIL SPACE IS 26'-4"	1/G005
ACCESSORY USES	19.11.020.D.4	BIKE RACKS SHOULD BE INCLUDED IN FRONTAGE DESIGN; NO UTILITY/EQUIP CABINETS	8 BIKE RACKS IN TOTAL ARE PROVIDED.	L101 - L102
	19.11.020.D.5	EXISTING OR PROPOSED UTILITY AND EQUIPMENT CABINETS OR BOXED, INCLUDING WIRELESS COMMUNICATION FACILITIES, SHALL BE PLACED INSIDE A BUILDING OR UNDERGROUND.	THEY ARE ALL DESIGNED INSIDE OF THE BUILDING.	A200.1; A200.2
BULK REGULATIONS	19.11.030.A.1	MAX ALLOWABLE BUILDING HEIGHT: 51 FEET; MAX ALLOWABLE BUILDING STORIES: 4	PROJECT COMPLIES; THE 78TH AVE COURTYARD-FACING SIDE GAINS EXTRA 5 FEET BY PROPOSING A SLOPED ROOF FEATURE.	2/G005 - 6/G005
	19.11.030.A.1	GROUND FLOOR HEIGHT ADJACENT TO STREETS: 15 FEET MIN, 27 FEET MAX	THE GROUND FLOOR HIGHT VARY FROM 15 FEET TO 22 FEET.	2/G005 - 6/G005
	19.11.030.A.4	A MEZZANINE SHALL NOT BE COUNTED AS A STORY FOR DETERMINING THE ALLOWABLE NUMBER OF STORIES	MEZZANINES ON LEVEL 4 ARE LIMITED TO 1/3 OF THE ROOM AREA. MEZZANINES ARE LEVEL 1 ARE LIMITED TO 1/2 OF THE ROOM AREA BY PROVIDING TYPE I CONSTRUCTION WITH FIRE SPRINKLERS AND EMERGENCY VOICE ALARM SYSTEM.	A204-A204.1
	19.11.030.A.5	ROOFTOP APPURTENANCES MAY EXTEND UP TO 10 FEET ABOVE THE MAXIMUM BUILDING HEIGHT ALLOWED AND SHOULD BE LOCATED AT LEAST 10 FEET FROM THE EXTERIOR EDGE WITH THE SCREEN PROVIDED.	PFUTURE AC CONDENSERS ARE AT LEAST 10 FEET AWAY FROM THE EXTERIOR EDGE AND FULLY SCREENED FROM THE HILLSIDE VIEW.	A303 - A304
	19.11.030.A.6	78TH AVE SE: 15 FEET MIN SETBACK BETWEEN THE STRUCTURE AND THE FACE OF THE STREET CURB; EXCLUDING LOCATIONS WHERE THE CURBLINE IS INTERRUPTED BY PARKING POCKETS.	15 FEET SETBACK IS PROVIDED ALONG 78TH AVE SE.	1/G005
	19.11.030.A.7.b	FROM A HEIGHT OF 25 FEET AT THE FRONT PROPERTY LINE, BUILDING SHALL STEP BACK AT A 45-DEGREE ANGLE UP TO THE MAX HEIGHT LIMIT. ONLY THE FIRST 30 FEET OF DEPTH ALONG BLOCK FRONTAGES IS CONSIDERED.	PROJECT IS IN COMPLIANCE WITH THE DAYLIGHT PLANE REQUIREMENT. TOTAL 79,237 CF VOLUME IS IN CREDIT.	G007
AFFORDABLE HOUSING	19.11.040.B	AT LEAST 10% OF THE TOTAL UNITS IN THE DEVELOPMENT MUST PROVIDE AFFORDABLE HOUSING UNITS.	17 AFFORDABLE UNITS ARE PROPOSED, WHICH IS 10% OF THE TOTAL 164 UNITS.	G014 - G015
	19.11.040.C	FOR FOUR-STORY BUILDING, THE REQUIRED AFFORDABLE HOUSING UNITS MUST BE AFFORDABLE AT THE 60% OF MEDIAN INCOME FOR RENTAL OR 90% OF MEDIAN INCOME FOR OWNERSHIP HOUSING.	17 AFFORDABLE UNIT ARE PROPOSED TO MEET THE AFFORDABILITY OF THE 60% OF MEDIAN INCOME.	G014 - G015
	19.11.040.D.3	THE AFFORDABLE HOUSING UNITS SHALL CONSIST OF A MIX OF THE UNIT TYPES THAT IS GENERALLY PROPORTIONATE TO THE MIX OF UNITS IN THE OVERALL DEVELOPMENT.	10% OF UNIT COUNT PER UNIT TYPE IS PROVIDED	G014 - G015
	19.11.040.D.4	THE AFFORDABLE HOUSING UNITS MAY NOT BE SMALLER THAN OTHER UNITS WITH THE SAME NUMBER OF BEDROOMS IN THE DEVELOPMENTS.	THE SIZE OF AFFORDABLE UNITS ARE AS SAME AS THE NON-AFFORDABLE UNITS FROM THE SAME CATEGORY.	G014 - G015
GREEN BUILDING STANDARDS	19.11.050	ANY MAJOR NEW CONSTRUCTION SHALL MEET THE LEED GOLD STANDARD. PROJECTS THAT ARE PRIMARILY RESIDENTIAL MAY INSTEAD MEET THE BUILDING GREEN 4 STAR STANDARD.	PROJECT WILL MEET BUILT GREEN 4 STAR REQUIREMENTS.	
	19.11.060.A.1.	ALL MAJOR NEW CONSTRUCTION SHALL HAVE AT LEAST THREE MINOR SITE FEATURES.	THREE FEATURE TREES, WATER FEATURES, DRINKING FOUNTAINS AND SPECIAL PAVING ARE PROPOSED AS MINOR SITE FEATURES. SEE LANDSCAPE SHEET	L101 - L102
SITE DESIGN	19.11.060.B.1	THROUGH-BLOCK CONNECTIONS WILL QUALIFY AS A MAJOR SITE FEATURE. THE TOTAL AREA OF THE THROUGH-BLOCK CONNECTION AND PUBLIC OPEN SPACE EQUALS OR EXCEEDS 3% OF THE GROSS FLOOR AREA OF THE DEVELOPMENT.	THROUGH-BLOCK AREA IS 5,722 SF, WHICH IS MORE THAN 3% OF THE TOTAL.	G008.1; G008.2
	19.11.060.E.2.a	THE CONNECTION SHALL BE A MINIMUM OF 20 FEET WIDE AS A MEANS OF PEDESTRIAN ACCESS BETWEEN RIGHTS OF WAY AND SECONDARILY AS A PUBLIC GATHERING PLACE.	IT IS 20 FEET WIDE CONNECTING 77TH AVE AND 78TH AVE. TWO END PLAZAS SERVE AS PUBLIC GATHERING PLACE.	3/G008.1
	19.11.060.E.2.b	THE CONNECTION SHALL BE AT THE SAME LEVEL AS THE PUBLIC SIDEWALK AND INCORPORATE SUFFICIENT PEDESTRIAN AMENITIES.	SEATING AREAS, LANDSCAPING, WATER FEATURES AND PEDEATRIAN SCALE LIGHTING ARE PROPOSED ALONG THE THROUGH-BLOCK CONNECTION.	L101 - L102
	19.11.060.E.2.c	THE CONNECTION SHOULD USE SPECIAL PAVING, SUCH AS DECORATIVE COLORED CONCRETE AND COORDINATED DSGN FEATURES OVER THE ENTIRE LENGTH OF THE CONNECTION.	SPECIAL PAVING, LANDSCAPING AND LIGHTING ARE PROPOSED ALONG THE ENTIRE LENGTH OF THE CONNECTION.	L101 - L102
	19.11.060.E.2.e	WHERE GROUND LEVEL RESIDENTIAL USES FRONT ONTO THE THROUGH-BLOCK CONNECTION THE BUILDING MUST HAVE ONE PUBLIC/PRIVATE SPACE TRANSITION - RAISED DECK OR PORCH OPTION. PROVIDR AT LEAST 60 SF AT LEAST 1 FOOT ABOVE GRADE.	A SERIES RAISED DECKS IS PROVIDED ALONG THE THROUGH-BLOCK CONNECTION.	3/G008.1
	19.11.060.E.2.f	NONRESIDENTIAL USES FRONT ONTO THE THROUGH-BLOCK CONNECTION THE BUILDING MUST HAVE TRANSPARENT WINDOWS ALONG 50% OF THE GROUND FLOOR FACADE BETWEEN 30 INCHES AND 10 FEET ABOVE THE THROUGH-BLOCK CONNECTION.	MORE THAN 50% TRANSPARENCY IS PROVIDED ALONG THE THROUGH-BLOCK CONNECTION.	4/G006
GREENERY AND OUTDOOR SPACES	19.11.070.B.1	LANDSCAPED SURFACES EQUAL TO 25% OF THE DEVELOPMENT SITE SHALL BE PROVIDED.	LANDSCAPED AREA PROVIDED EXCEEDS REQUIREMENTS, REFERENCE DIAGRAM ON L503.	L503
	19.11.070.B.5	BUILDING ENTIES SHOULD BE EMPHASIZED WITH SPECIAL LANDSCAPING AND/OR PAVING IN COMBINATION WITH LIGHTING.	BUILDING ENTRIES ARE EMPHASIZED BY PLAZA SPACES WHICH HAVE BOTH SPECIAL PAVING AND LIGHTING.	L101 - L102
	19.11.070.B.7	LANDSCAPING SHOULD PROVIDE DESIGN CONTINUITY BETWEEN THE NEIGHBORING PROPERTIES.	THE PROJECT ADHERES TO THE TOWN CENTER GUIDELINES, ENSURING CONTINUITY WITH NEIGHBORING PROPERTIES.	L101 - L102
SCREENING	19.11.080.A	ANY STORAGE, SERVICE AND TRUCK LOADING AREAS, UTILITY STRUCTURES, ELEVATOR AND MECHANICAL EQUIPMENT ON THE GROUND OR ROOF SHALL BE SCREENED FROM PUBLIC VIEW SUCH AS PUBLIC STREETS, SIDEWALKS OR RESIDENTIAL AREAS ON THE HILLSIDE.	WE PROPOSE TO SCREEN ALL THE AC CONDENSER UNITS.	A205
LIGHTING	19.11.090.B.1	PEDESTRIAN-SCALE LIGHT FIXTURES SHOULD BE INCORPORATED INTO THE SITE DESIGN TO GIVE VISUAL VARIETY AND BLEND WITH THE ARCHITECTURAL STYLE.	STREET LIGHTS, CATENARY LIGHTS AND BOLLARD LIGHTS ARE PROPOSED.	L101 - L102
	19.11.090.B.2	LIGHTING SHOULD USE LED OR SIMILAR MINIMUM WATTAGE LIGHT SOURCES.	PROJECT LIGHT FIXTURES WILL USE LED OR ENERGY SAVING LIGHT SOURCES.	L101 - L102
	19.11.090.B.3	ALL BUILDING ENTRANCES SHOULD BE WELL LIT TO PROVIDE INVITING ACCESS AND SAFETY.	BUILDING ENTRY PLAZAS WILL BE WELL LIT THROUGH A VARIETY OF MEASURES (CATENARY LIGHTING, WALL MOUNTED FIXTURES, LED INTEGRATED FURNISHINGS)	L101 - L102
	19.11.090.B.7	ALL LIGHTING FIXTURES SHOULD BE SHIELDED OR LOCATED TO CONFINIE LIGHT SPREAD WITHIN THE SITE BOUNDARIES.	PENDING ELECTRICAL DESIGN. WE WILL WORK WITH OUR ELECTRICAL ENGINEER TO ACHIEVE THIS GOAL.	
	19.11.100.B.1.a	ARTICULATED, TRANSPARENT FACADES SHOULD BE CREATED ALONG PEDESTRIAN RIGHTS-OF-WAY.	ALL THE STREET FRONTAGES ARE HIGHLY TRANSPARENT AND MODULATED TO ENHANCE THE PEDESRIAN-SCALE EXPERIENCE.	1/G006 - 4/G006

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BUILDING DESIGN	19.11.100.B.1.b	GROUND FLOOR WINDOWS AND DOORS SHALL HAVE AT LEAST 75% OF THE LENGTH OF THE GROUND FLOOR FACADE BETWEEN THE HEIGHT OF 2 FEET AND 7 FEET DEVOTED TO WINDOWS AND DOORS AFFORDING VIEWS INTO RETAIL, OFFICE, OR LOBBY SPACE ALONG 77TH AVE SE, 78TH AVE SE AND SE 27TH ST.	75% TRANSPARENCY OF GROUD FLOOR ALONG 77TH AND 78TH AVE IS ACHIEVED.	1/G006 - 4/G006
	19.11.100.B.1.c	UPPER STORIES OF BUILDINGS ABOVE TWO STORIES SHOULD MAINTAIN AN EXPRESSION LINE ALONG THE FACADE SUCH AS A SETBACK, CHANGE OF MATERIAL, OR A PROJECTION TO REDUCE THE PERCEIVED BUILDING MASS.	BALCONIES AND BAY WINDOWS ARE PROPOSED ON THE UPPER STORIES OF THE BUILDING.	A300 - 301
	19.11.100.B.2.a	WINDOW AND DOOR TREATMENTS WHICH EMBELLISH THE FACADE	IT IS OUR DESIGN INTENT TO EMBELLISH THE FACADE.	A410 - A413
	19.11.100.B.2.b	DECORATIVE LIGHT FIXTURES	PENDING LIGHT FIXTURES.	
	19.11.100.B.2.c	UNIQUE FACADE TREATMENT, SUCH AS DECORATIVE MATERIALS AND DESIGN ELEMENTS.	DIFFERENT FACADE MATERIALS ARE PROPOSED TO CREATE AN INTERSTING VISUAL COMPOSITION.	A300 - 301
	19.11.100.B.2.d	DECORATIVE PAVING	SPECIAL PAVING PROVIDED AT THROUGH BLOCK AND PLAZA AREAS.	L101 - L102
	19.11.100.B.2.g	RECESSED ENTRANCES	THE RESIDENTIAL LOBBY ENTRY IS RECESSED AT 29TH ST.	A201
	19.11.100.B.2.h	BALCONIES ARE DSGINED ON THE STREET-FACING FACADES ON BOTH THE GROUND FLOOR LEVEL AND OTHER LEVELS.	BALCONIES ARE PROPOSED ALONG 29TH, 77TH AND 78TH AVE.	A300 - 301
	19.11.100.B.2.i	UNIQUE, HANDCRAFTED PEDESTRIAN-SCALED DESIGNS.	THIS IS OUR DESIGN INTENT.	L310 - L311
	19.11.100.B.3.a	VERTICAL BUILDING MODULATION AT LEAST 20 FEET DEEP AND 30 FEET WIDE.	20 FEET DEEP AND 30 FEET WIDE RECESSED MASS IS PROVIDED ALONG 29TH ST. AND 78TH AVE.	1/G005
	19.11.100.B.3.b	USE OF A SIGNIFICANT CONTRASTING VERTICAL MODULATED DESIGN COMPONENT.	A STRONG SAW-TOOTH MODULATION IS EXPRESSED ALONG 78TH AVE.	A303 - A304
	19.11.100.B.3.c	BUILDING WALLS WITH CONTRASTING ARTICULATION AND ROOFLINE MODULATION THAT MAKE IT APPEAR LIKE 2 OR MORE DISTINCT BUILDINGS.	A SERIES OF SLOPED ROOF IS DESIGNED TO CREATE AN INTERESTING ROOFLINE.	A303 - A304
	19.11.100.B.4	ALL BUILDINGS SHALL INCLUDE ARTICULATION FEATURES TO REDUCE THE PERCEIVED SCALE OF LARGE BUILDINGS AND ADD VISUAL INTEREST TO FACADE.	THE BUILDING IS FULLY ARTICULATED.	A300 - 301
	19.11.100.B.6	BUILDING ENTRANCES SHOULD CONCENTRATE ALONG THE SIDEWALK AND SHOULD BE PHYSICALLY AND VISUALLY INVITING.	BUILDING ENTRY IS DESIGNED TO BE WELCOMING AND DISTINCT.	A300 - 301
	19.11.100.B.7	A VARIETY OF ROOF TYPES AND CONFIGURATIONS SHOULD BE USED TO ADD INTEREST AND REDUCE THE PERCEIVED BUILDING MASS.	THE PERCEIVED BUILDING MASS IS SUCCESSFULLY REDUCED BY A SERIES OF SLOPED ROOF FEATURES.	A303 - A304
	19.11.100.B.1.0	BUILDINGS ON CORNER LOTS SHOULD BE ORIENTED TO THE CORNER. CORNER ENTRIES AND/OR ARCHITECTURAL TREATMENT SHOULD BE USED TO EMPHASIZE THE CORNER.	ALL THE BUILDING CORNERS HAVE BEEN EMPHASIZED BY BUILDING MODULATIONS AND LANDSCAPE DESIGN.	A303 - A304
	19.11.100.B.1.3	ALL MAJOR NEW CONSTRUCTION SHALL HAVE ALL-WEATHER FEATURES ALONG 80% OF A BUILDING'S FRONTAGE ALONG THE RETAIL FRONTAGES. ANY CANOPY OVER A PUBLIC SIDE WALK SHOULD PROJECT OUT FROM THE BUILDING FACADE A MIN 6 FEET WIDE AND 8 TO 12 FEET ABOVE GRADE.	A CONTINUOUS CANOPY IS PROPOSED AS THE ALL-WEATHER FEATURE.	G005
MATERIALS AND COLOR	19.11.110.B.1	BUILDING EXTERIORS SHOULD BE CONSTRUCTED FROM HIGH QUALITY AND DURABLE MATERIALS.	HIGH QUALITY AND DURABILITY ARE OUR TOP CRITERIA WHEN SELECTING MATERIALS.	A300 - A301
	19.11.110.B.8	A VARIATION OF BUILDING MATERIALS SHOULD BE USED TO ASSIST IN THE CREATION OF A VISUALLY INTERESTING EXPERIENCE.	BRICK, CEMENT BOARD, WOOD SIDING AND METAL PANEL ARE PROPOSED IN THIS PROJECT.	A300 - A301
STREET STANDARDS	19.11.120	ALL MAJOR NEW CONSTRUCTION ABUTTING 77TH AVENUE SE OR 78TH AVENUE SE SHALL IMPROVE THE RIGHT-OF-WAY ADJACENT TO THE PROJECT AS REQUIRED BY THE MERCER ISLAND TOWN CENTER STREETScape MANUAL.	THE RIGHT-OF-WAY OF 77TH AND 78TH AVE SE ARE PROPOSED TO BE IMPROVED AS REQUIRED BY THE MERCER ISLAND TOWN CENTER STREETScape MANUAL.	L101 - L102
PARKING, VEHICULAR AND PEDESTRIAN CIRCULATION	19.11.130.B.1.a	RETAIL: 5 TO 10 STALLS PER 1,000 SF; 1 TO 1.4 STALLS PER UNIT.	168 RESIDENTIAL STALLS AND 35 RETAIL STALLS ARE PROPOSED.	A303 - A304
	19.11.130.B.1.d	STANDARD STALL (9' x 18.5'); COMPACT STALL (8.5 x 16'); MIN ONE-WAY AISLE 18 FEET.	ALL THE PARKING STALLS ARE IN COMPLIANCE WITH THE REQUIRED DIMENSIONS.	A303 - A304
	19.11.130.B.1.i	WHERE POSSIBLE, PEDESTRIAN ELEVATORS AND STAIRWELLS SERVING STRUCTURED PARKING SHALL BE LOCATED IN A PUBLIC LOBBY SPACE OR OUT ONTO AN ACTIVE PUBLIC STREET.	ALL THE STAIRWELLS AND ELEVATORS ARE ADJACENT TO THE PUBLIC STREETS.	A201
	19.11.130.B.2	SIGNS INDICATING THE LOCATION OF PARKING AVAILABLE TO THE PUBLIC SHALL BE INSTALLED AT THE ENTRANCE TO PARKING GARAGE ALONG THE STREET AND SHALL COMPLY WITH PARKING SIGNAGE STANDARDS FOR THE TOWN CENTER.	THE FUTURE SIGN IS PROPOSED TO BE LOCATED AT 29TH ST. SE.	A100
	19.11.130.B.3	OFF-STREET LOADING SPACE WITH ACCESS TO A PUBLIC STREET SHALL BE REQUIRED ADJACENT TO EACH BUILDING WITH ADEQUATE SIZE TO ACCOMMODATE THE MAX NUMBER AND SIZE OF VEHICLES.	A LOADING ZONE IS PROPOSED TO BE LOCATED AT THE SOUTH PORTION OF THE WEST WING.	A200.2; A201; C303
	19.11.130.B.5.b	PUBLIC PARKING STALLS SHALL BE AVAILABE TO MOTORISTS FOR SUCH MAX TIME PERIOD AS IS DETERMINED BY THE OWNER, WHICH SHALL NOT BE LESS THAN 2 HOURS.	THE RETAIL PARKING AREA IS OPEN TO MOTORISTS NOT LESS THAN 2 HRS.	A200.1; A200.2
SIGNS	19.11.140.A	SIGNS SHALL BE DISTINCTIVE, FINELY CRAFTED AND DESIGNED TO ENHANCE THE AESTHETICS OF THE TOWN CNETER AND TO IMPROVE PEDESTRIAN AND MOTORIST SAFETY.	WE WILL WORK WITH THE FUTURE SIGNAGE CONSULTANT TO ACHIEVE THIS GOAL.	A100
	19.11.140.B.1.2	WHEN MULTIPLE SIGNS FOR INDIVIDUAL BUSINESSES ARE CONTEMPLATED, A MASTER SIGN PLAN STIPULATING THE LOCATION AND SIZE OF FUTURE SIGNS WILL BE REQUIRED.	THE BUSINESS SIGNS WILL BE PROVIDED IN THE FUTURE.	

PROJECT INFORMATION

SITE ADDRESS
2885 78TH AVE SE, MERCER ISLAND, WA 98040
2770 77TH AVE SE, MERCER ISLAND, WA 98040

LOT SIZE
43,705 SF AND 20,075 SF

CODE
MERCER ISLAND CITY CODE
TITLE 19 UNIFIED LAND DEVELOPMENT CODE

ZONING
TC 4 (TOWN CENTER)

CITY STAFF DIRECTORY

PLANNING CONTACT
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206-275-7719

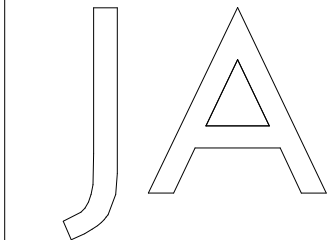
BUILDING CONTACT
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206-275-7701

CIVIL ENGINEERING
Rui Ding
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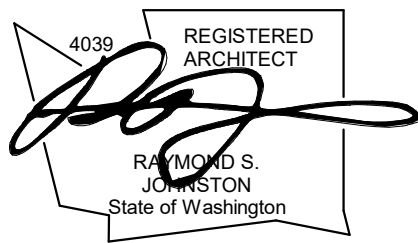
ARBORIST
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206-275-7713

Fire
Jeremy Hicks
jeremy.hicks@mercergov.org
206-275-7607

PROJECT NARRATIVE
This project adheres to the town center guidelines, ensuring continuity with neighboring properties. We are proposing a 164-unit mixed-use apartment building with 17 affordable housing units in the heart of the Mercer Island Town Center core. The lot size is 63,780 sf, with two existing retail buildings on site. Covering most of an entire city block, the project is located between the QFC and future Metropolitan Market, approximately 3 blocks south of Interstate 90.
The proposed 234,000 square foot 4-story building (above grade) has a 51-foot maximum building height. The building façades are fully articulated to meet the daylight plane requirements and provide a pleasant pedestrian experience along 29th St. SE and 78th Ave. SE. The building entries are emphasized by plaza spaces which have both special paving and lighting. Four landscaped public plazas and one 20-foot wide through-block connection are proposed to enhance the street vibrancy.
The building provides parking area for both residential and retail uses. It would include two-level of below grade parking (201 stalls) with 168 residential stalls and 35 retail stalls. The parking entry is located at the SW corner along the 29th St. SE. The total compact stalls are 49 out of 201, which is less than 25% of the total. Please see the transportation Impact Analysis for more details.
We are proposing approximately 10,742 sf of retail space with more 75% façade transparency along the 77th Ave. SE and 78th Ave. SE. The majority of the retail is located on the east side of the site (facing QFC). The retail spaces are designed with a generous depth (>16 feet) to accommodate various retail uses.
In addition to all the street-facing amenity spaces, a private courtyard is proposed to further increase the future tenants' desire of green space and human interactions. A service loading zone is located at the alley side (77th Ave. SE) to ensure tenants move-in, food delivery and trash collection purposes.



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NOT FOR
CONSTRUCTION

MERCER ISLAND
MIXED USE

XING HUA GROUP LTD.
2885 78TH AVE SE
MERCER ISLAND, WA

DRAWING ISSUE

Date	Description
12/24/2019	LAND USE SET

SHEET TITLE

ZONING CODE
SUMMARY

SHEET NO.

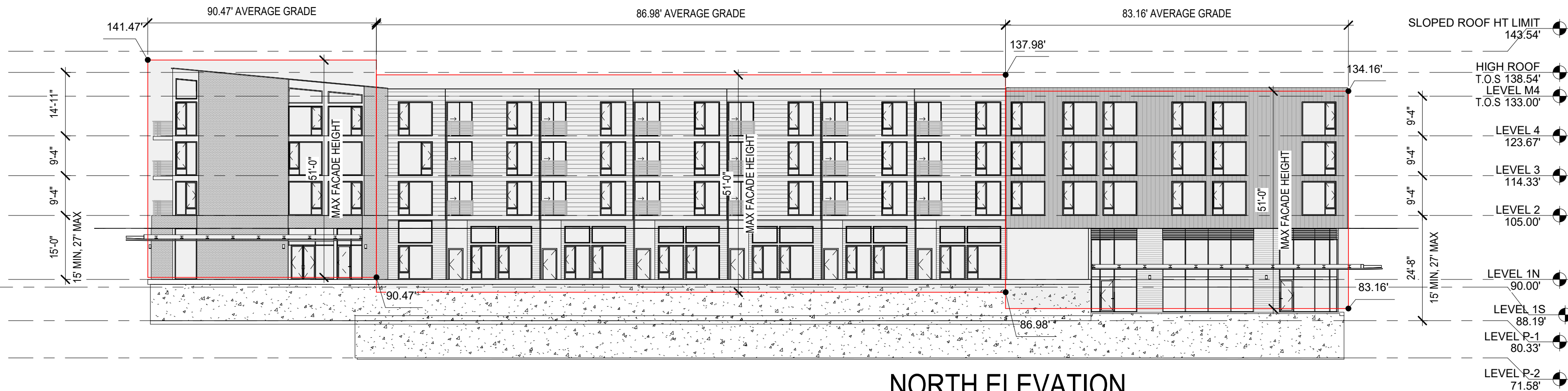
G004

Drawn

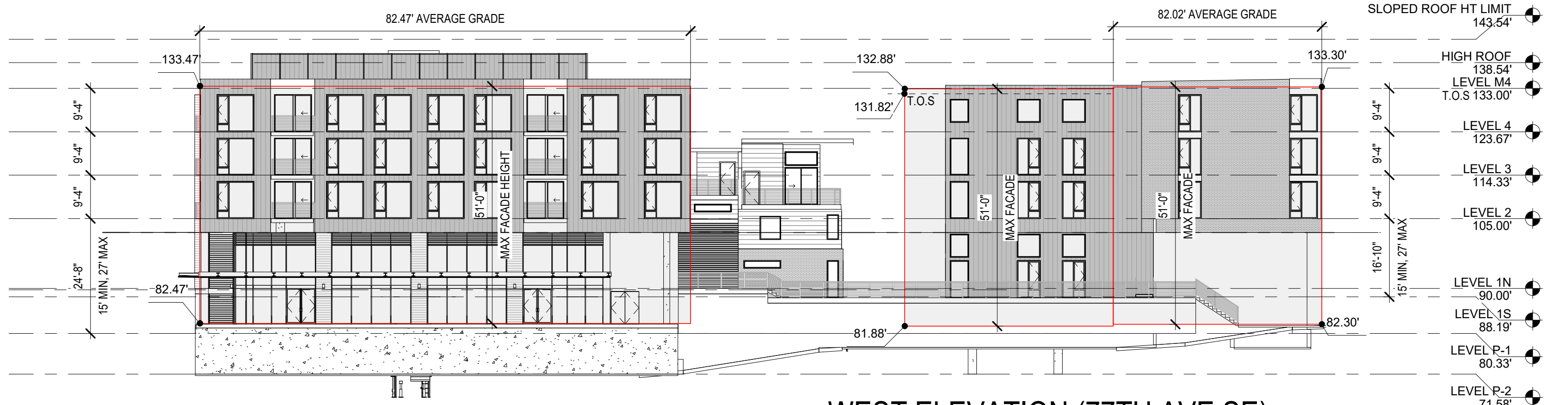
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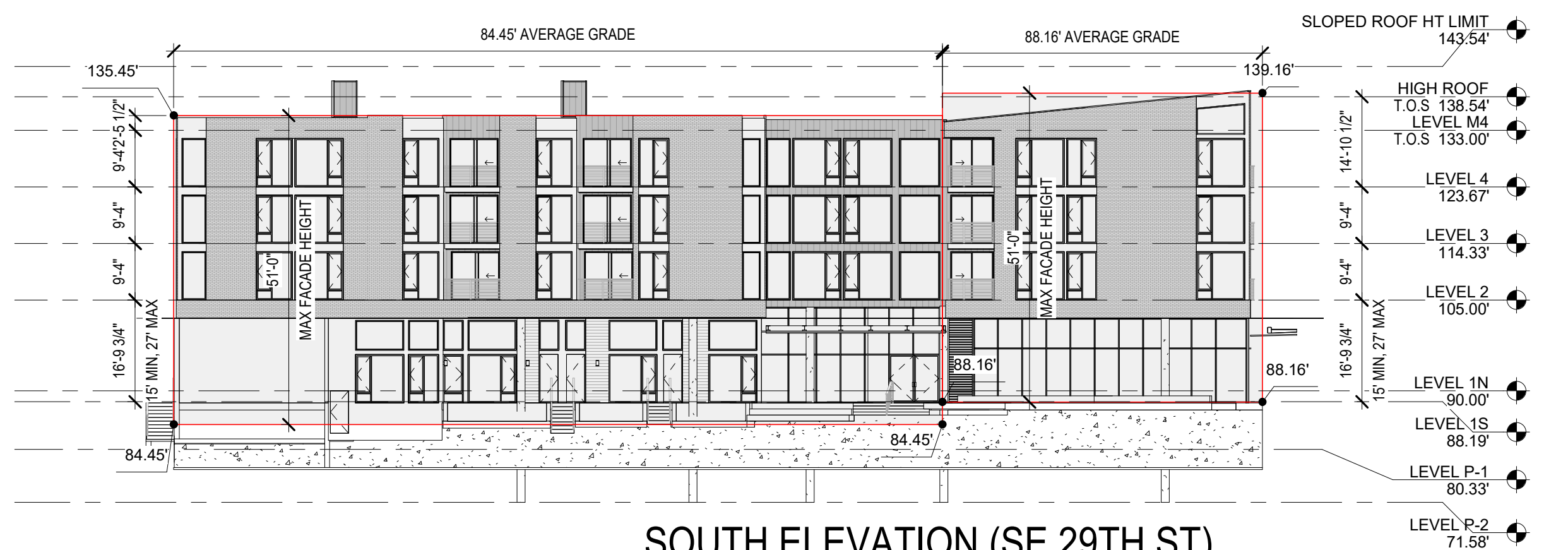
3 EAST ELEVATION (78TH AVE SE)
HEIGHT LIMIT DIAGRAM
1" = 20'-0"



4 NORTH ELEVATION
(THROUGH-BLOCK CONNECTION)
HEIGHT LIMIT DIAGRAM
1" = 20'-0"



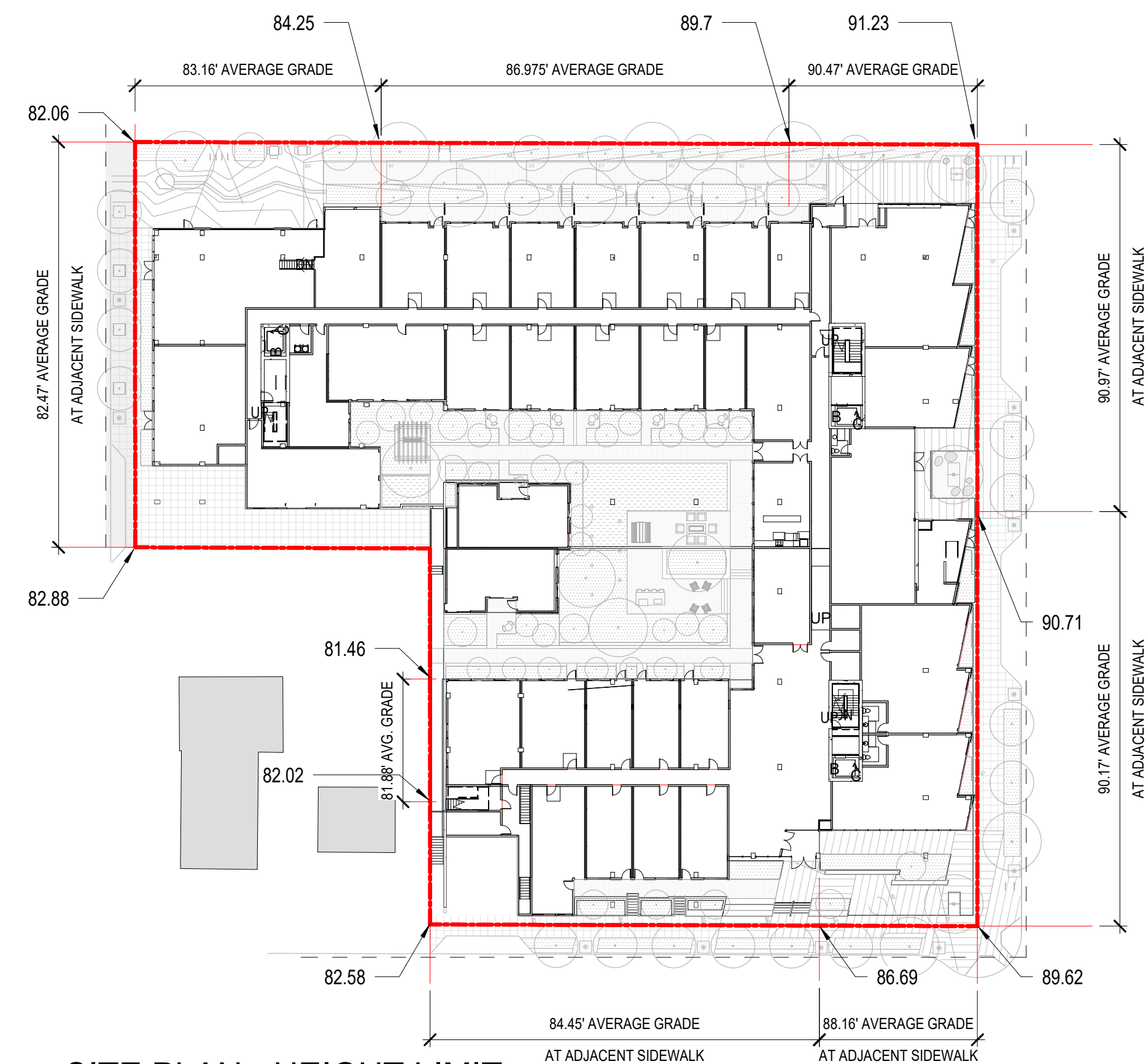
5 WEST ELEVATION (77TH AVE SE)
HEIGHT LIMIT DIAGRAM
1" = 20'-0"



6 SOUTH ELEVATION (SE 29TH ST)
HEIGHT LIMIT DIAGRAM
1" = 20'-0"



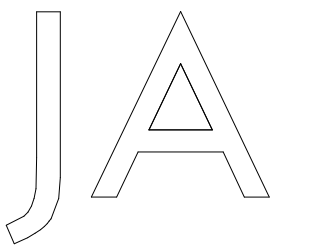
1 SITE PLAN - GROUND FLOOR
USES
1" = 40'-0"



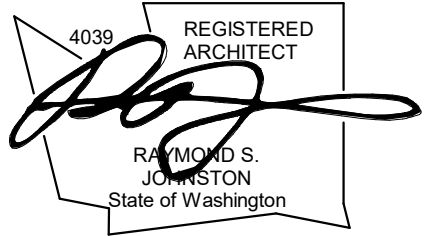
2 SITE PLAN - HEIGHT LIMIT
DIAGRAM
1" = 40'-0"

MICC 19.11.030 A.3.b THE MAX ALLOWABLE BUILDING HEIGHT SHALL BE CALCULATED AS THE VERTICAL DISTANCE MEASURED FROM THE BASE OF THE A BUILDING FACADE TO THE HIGHEST POINT OF THE ROOF STRUCTURE EXCLUDING APPURTENANCES.

THE BASE OF THE BUILDING FACADE SHALL BED MEASURED FROM THE ADJACENT PUBLIC SIDEWALK, OR FROM THE LOWER OF EXISTING OR FINISHED GRADE ALONG BUILDING FACADES THAT ARE NOT ADJACENT TO A PUBLIC SIDEWALK.



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NOT FOR
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MERCER ISLAND
MIXED USE

XING HUA GROUP LTD.
2885 78TH AVE SE
MERCER ISLAND, WA

DRAWING ISSUE

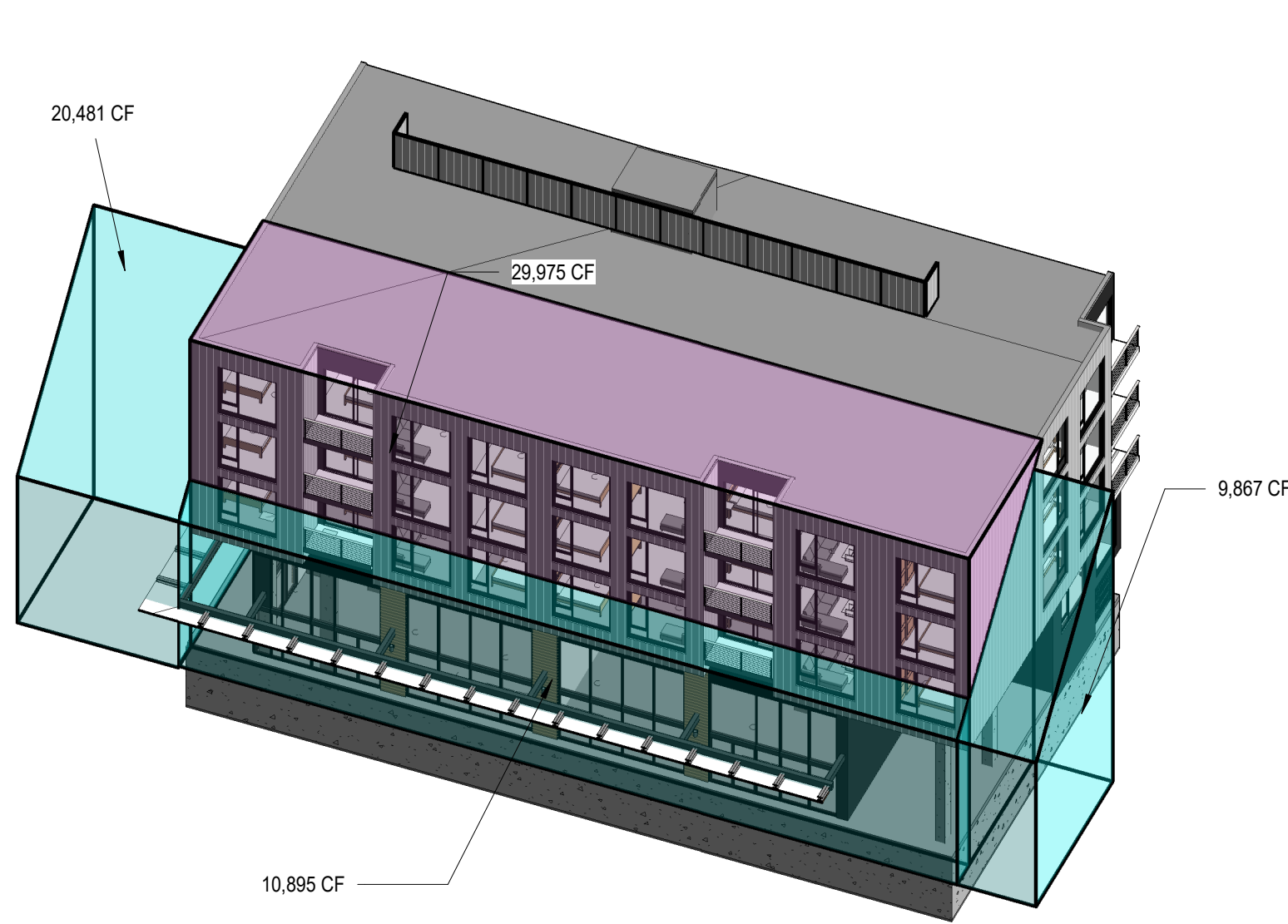
Date	Description
12/24/2019	LAND USE SET

SHEET TITLE
ZONING - CODE
COMPLIANCE
DIAGRAM

SHEET NO.

G005

Drawn
Checked



6 DAYLIGHT PLANE ZONING @ 77TH



5 DAYLIGHT PLANE ZONING @ 29TH



8 DAYLIGHT PLANE ZONING @ 78TH

VOLUME CALCULATIONS

@ 29TH

DEBIT VOLUME (PINK) = 27,252 + 2,988 = 30,240 CF

CREDIT VOLUME (GREEN) = 13,022 + 6,325 + 22,982 + 29,167 = 71,496 CF

DIFFERENCE: 71,496 - 30,240 = 41,256 CF

@ 77TH

DEBIT VOLUME (PINK) = 29,975 CF

CREDIT VOLUME (GREEN) = 20,481 + 10,895 + 9,867 = 41,243 CF

DIFFERENCE: 41,243 - 29,975 = 11,268 CF

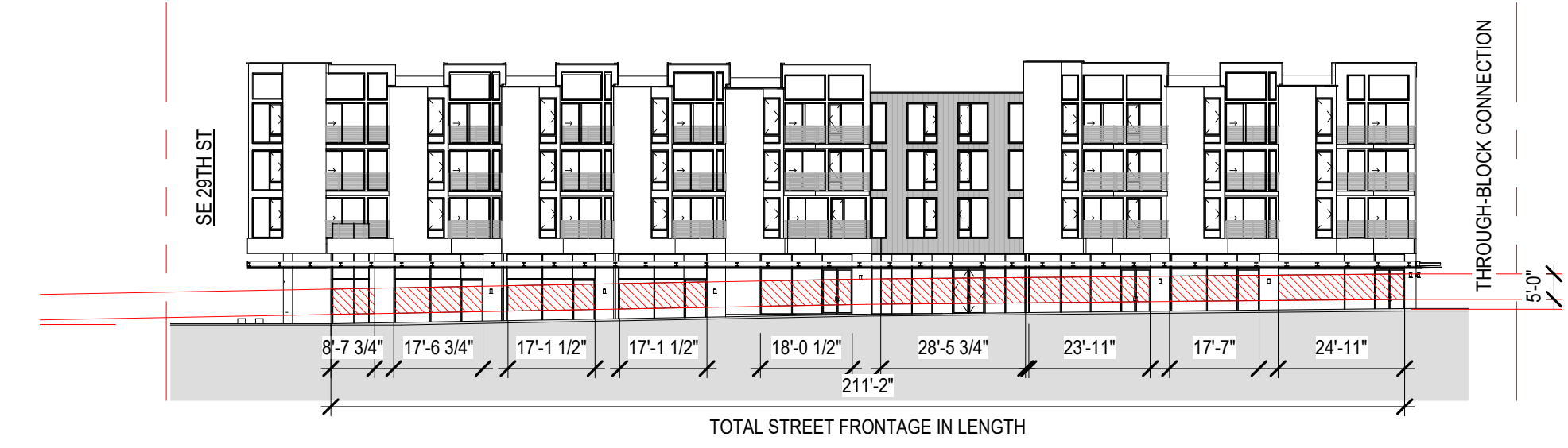
@ 78TH

DEBIT VOLUME (PINK) = 28,972 + 18,627 = 47,599 CF

CREDIT VOLUME (GREEN) = 16,227 + 9,824 + 21,634 + 6,548 + 20,079 = 74,312 CF

DIFFERENCE: 74,312 - 47,599 = 26,713 CF

TOTAL CREDIT VOLUME = 79,237 CF



STREET FRONTAGE TRANSPARENCY % = 866 SF / (211' x 5') SF = 866 SF / 1055 SF = 82.1% > 75%

1 EAST ELEVATION (78TH AVE SE) -
TRANSPARENCY

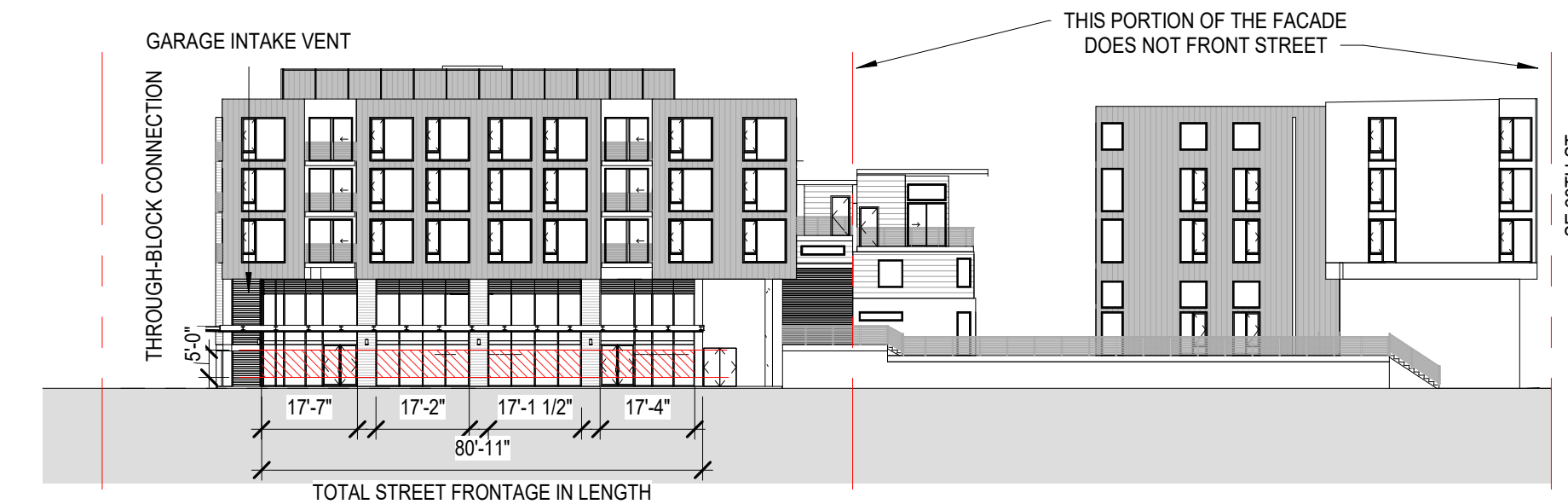
1" = 30'-0"



NO STREET FRONTAGE TRANSPARENCY % REQUIREMENTS FOR SE 29TH ST

2 SOUTH ELEVATION (SE 29TH ST) -
TRANSPARENCY

1" = 30'-0"



STREET FRONTAGE TRANSPARENCY % = 346 SF / (81' x 5') SF = 346 SF / 405 SF = 85.4% > 75%

3 WEST ELEVATION (77TH AVE SE) -
TRANSPARENCY

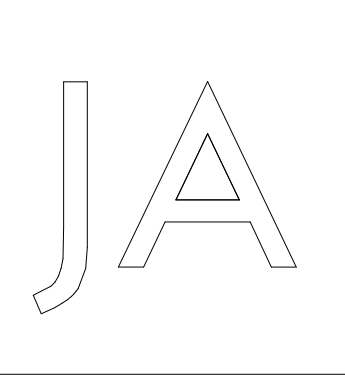
1" = 30'-0"



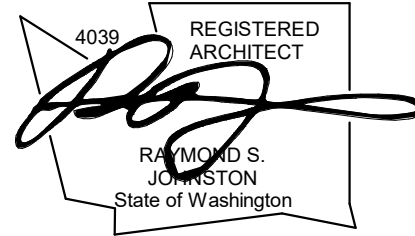
RETAIL TRANSPARENCY % = (113 + 227) SF / ((55.5' + 78') x 5') SF = 340 SF / 667.5 SF = 50.9% > 50%

4 NORTH ELEVATION
(THROUGH-BLOCK CONNECTION)
- TRANSPARENCY

1" = 30'-0"



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MIXED USE**

XING HUA GROUP LTD.
2885 78TH AVE SE
MERCER ISLAND, WA

DRAWING ISSUE

Date	Description
12/24/2019	LAND USE SET

SHEET TITLE
**ZONING - CODE
COMPLIANCE
DIAGRAM**

SHEET NO.

G006

Drawn
Checked



LEVEL P-1
1" = 40'-0"

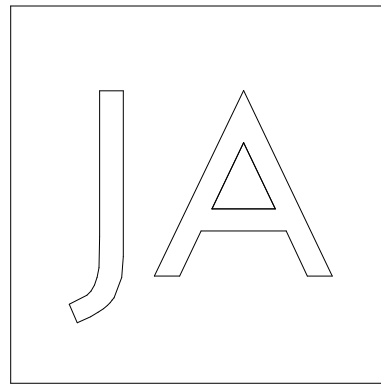


LEVEL P-2
1" = 40'-0"

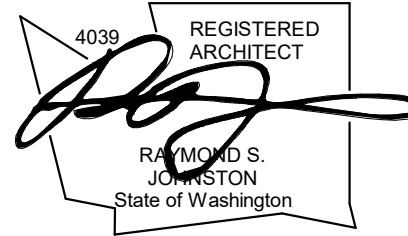


LEVEL 1S

1" = 40'-0"

[illegible]

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DRAWING ISSUE

Date	Description
12/24/2019	LAND USE SET

SHEET TITLE

AREA CALCULATION

SHEET NO

G008.1

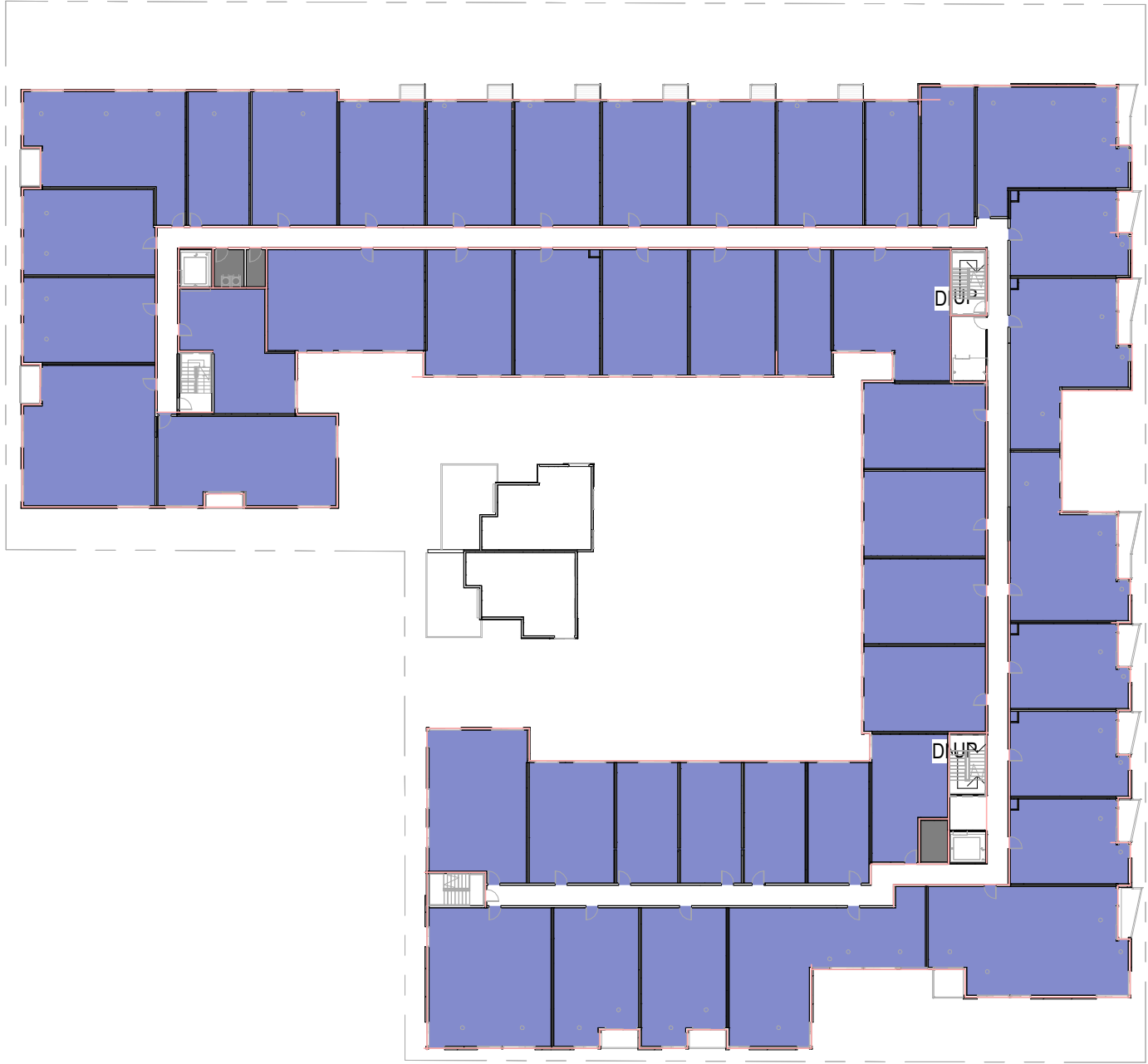
Drawn
Checked



1 LEVEL M-1S
1" = 40'-0"



2 LEVEL 2
1" = 40'-0"



3 LEVEL 3
1" = 40'-0"



4 LEVEL 4
1" = 40'-0"

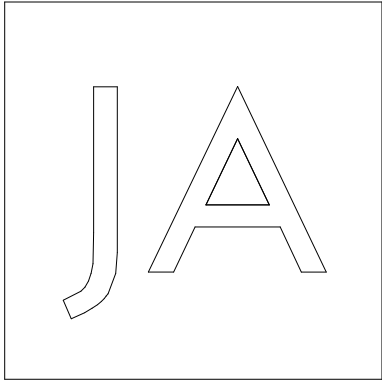


5 LEVEL M4
1" = 40'-0"

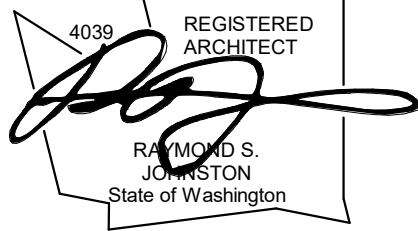
Area Schedule (Gross Building)			Area Schedule (Leasable Area)		
Level	Area	Name	Level	Area	Name
LEVEL P-2			LEVEL 1S		
LEVEL P-2	25642 SF		LEVEL 1S	28738 SF	
LEVEL P-1			LEVEL M-1S		
LEVEL P-1	49290 SF		LEVEL M-1S	3719 SF	M
LEVEL 1S			LEVEL 2		
LEVEL 1S	38040 SF		LEVEL 2	36044 SF	RESIDENTIAL
LEVEL M-1S			LEVEL 3		
LEVEL M-1S	3719 SF	M	LEVEL 3	34920 SF	RESIDENTIAL
LEVEL 2			LEVEL 4		
LEVEL 2	40065 SF		LEVEL 4	34274 SF	RESIDENTIAL
LEVEL 3			LEVEL M4		
LEVEL 3	39006 SF		LEVEL M4	561 SF	M
LEVEL 4			LEVEL M4	138257 SF	
LEVEL 4	38322 SF				
LEVEL M4					
LEVEL M4	561 SF	M			
LEVEL M4	234645 SF				

GROSS AREA (EXCLUDING PARKING)
= 234,645 - 25,642 - 49,290
=159,713 SF

EFFICIENCY % = 138,257 / 159,713= 86.6%



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Date	Description
12/24/2019	LAND USE SET

SHEET TITLE
AREA
CALCULATION
(CON'T)

SHEET NO.

G008.2

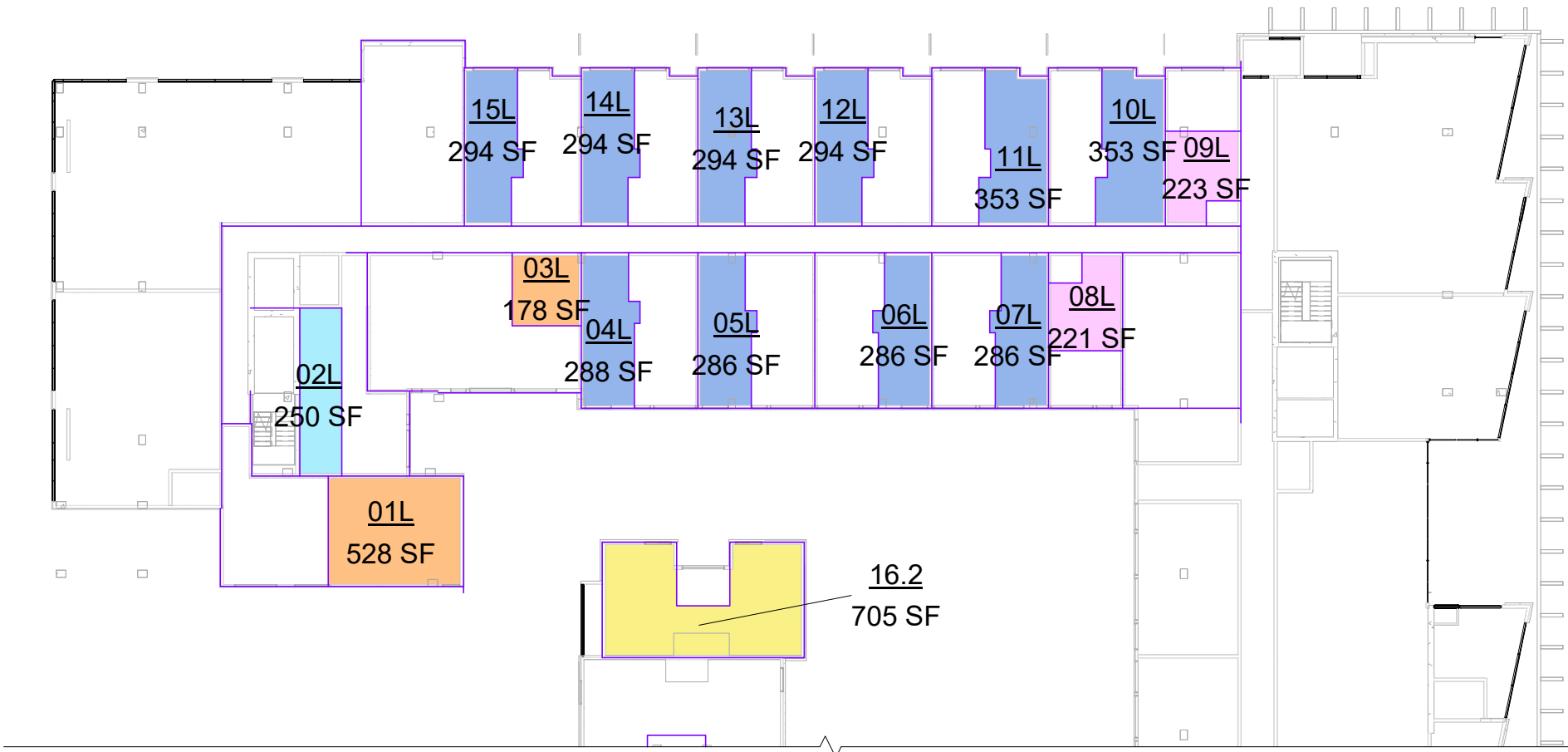
Drawn
Checked

Summary by Unit Type		
Type	Count	Bedrooms
Studio Storage-LOFT	2	0
Studio	9	0
Open 1BR	22	1
Townhome	2	1
1BR	68	1
1BR Storage-LOFT	10	1
1BR + DEN	3	1
1BR-LOFT	7	1
2BR	23	2
2BR Storage-LOFT	1	2
2BR-LOFT	4	2
2BR-LOFT+ DEN	1	2
3BR	11	3
3BR - LOFT	1	3
Total	164	

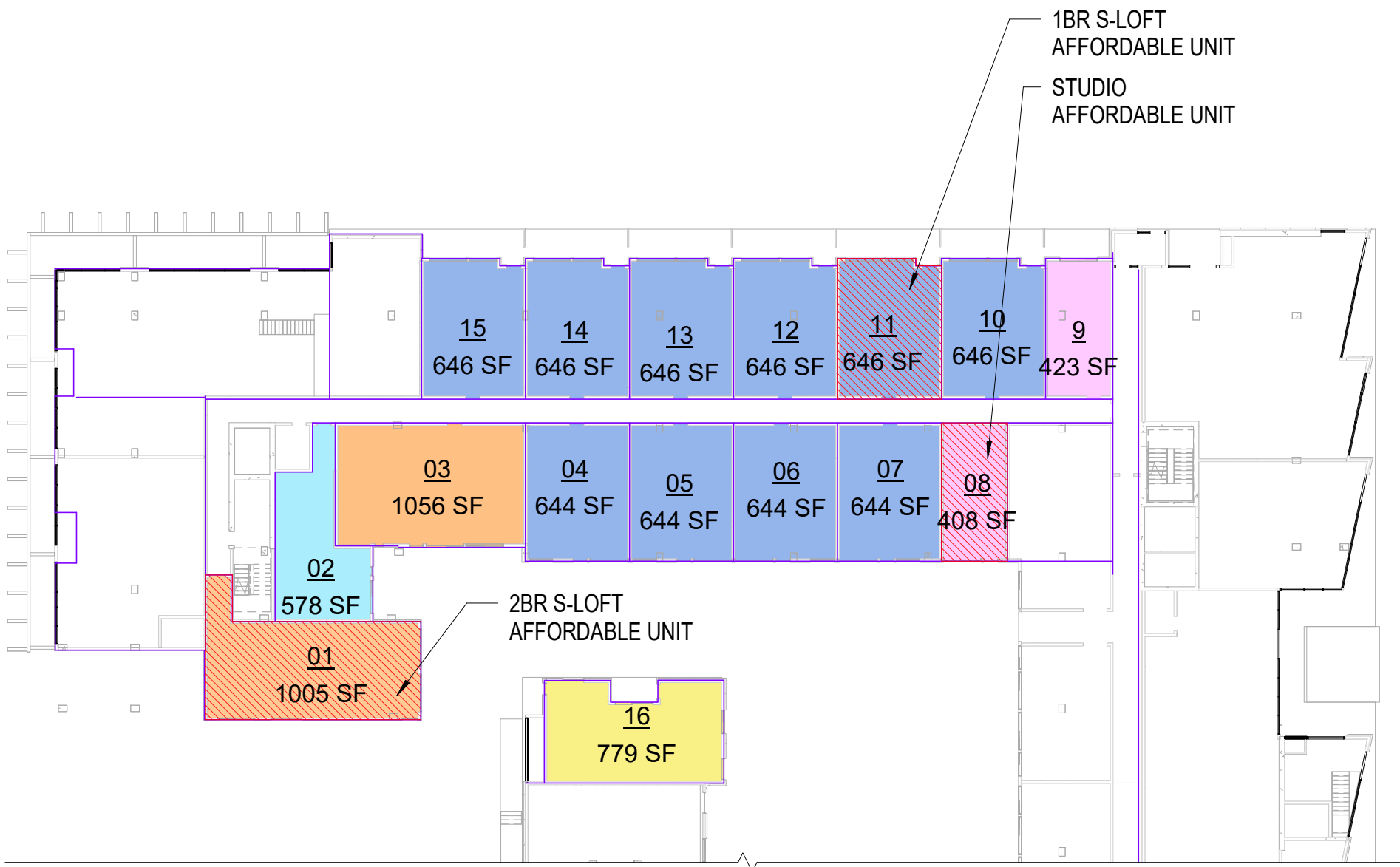
Summary by Bedrooms			
Bedrooms	Count	10% of Count	Needed
0	11	1	1
1	112	11	12
2	29	3	3
3	12	1	1
Total		16	17

Notes
Code requires 10% of units by bedroom count be designated affordable, rounding the total sum up to the nearest whole.

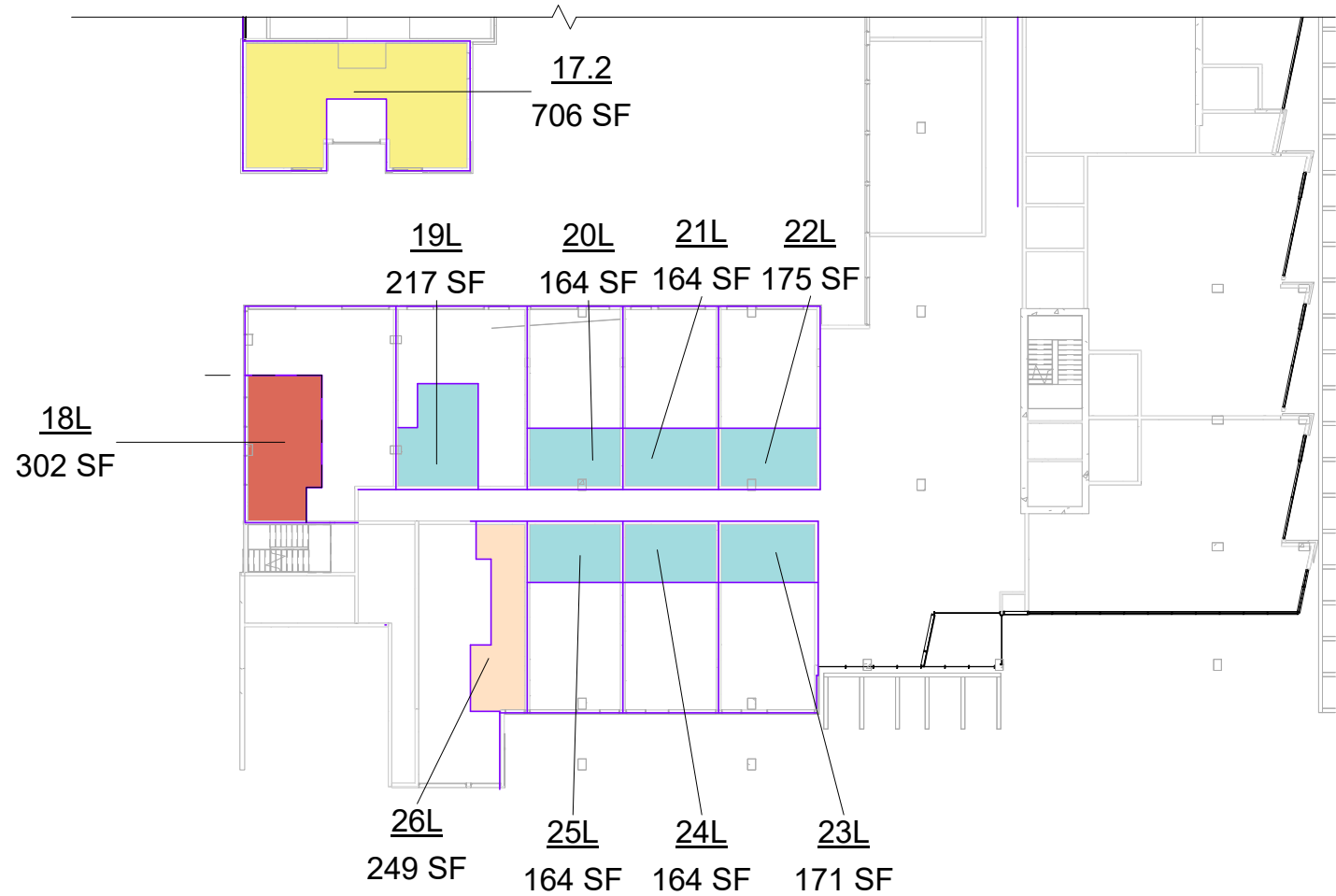
Summary by Floor					
Level	Studio	1 Bed	2 Bed	3 Bed	Total
L1	1	1	1		3
L2		6	2	1	9
L3		5			5
L4					0
Total	1	12	3	1	17



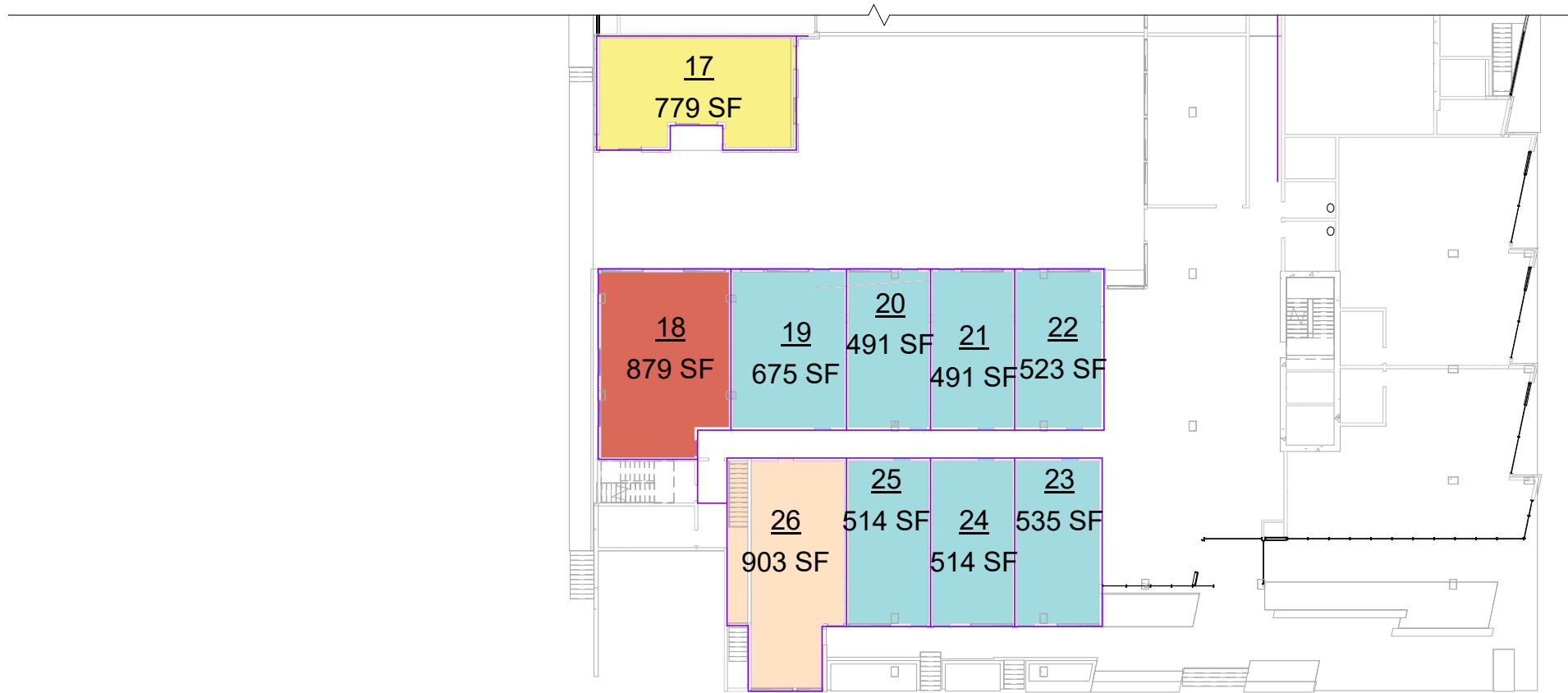
4 UNIT AREA PLAN - MEZZ 1N
1" = 30'-0"



2 UNIT AREA PLAN - L1N
1" = 30'-0"

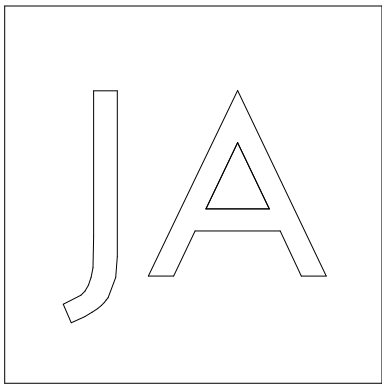


3 UNIT AREA PLAN - MEZZ 1S
1" = 30'-0"

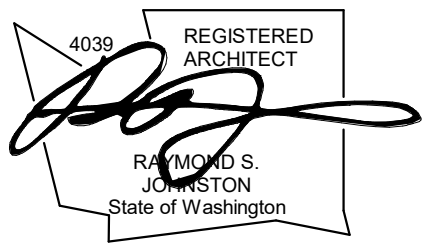


1 UNIT AREA PLAN - L1S
1" = 30'-0"

- 1BR
- 1BR+D
- 1BR-L
- 1BR-O
- 1BR-SL
- 2BR
- 2BR-L
- 2BR-L+D
- 2BR-SL
- 3BR
- 3BR-L
- LEASING
- RETAIL
- STD
- STD-SL
- TH



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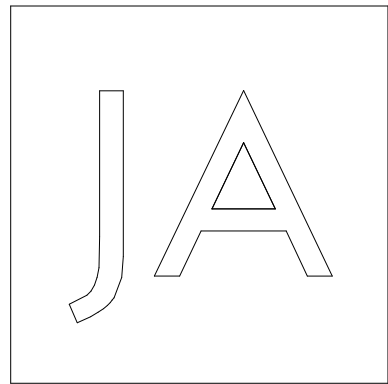
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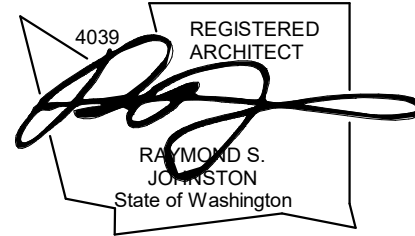
XING HUA GROUP LTD.
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DRAWING ISSUE	
Date	Description
12/24/2019	LAND USE SET

SHEET TITLE	
UNIT AREA PLANS	
SHEET NO.	
G014	
Drawn	Checked



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12/24/2019	LAND USE SET

SHEET TITLE

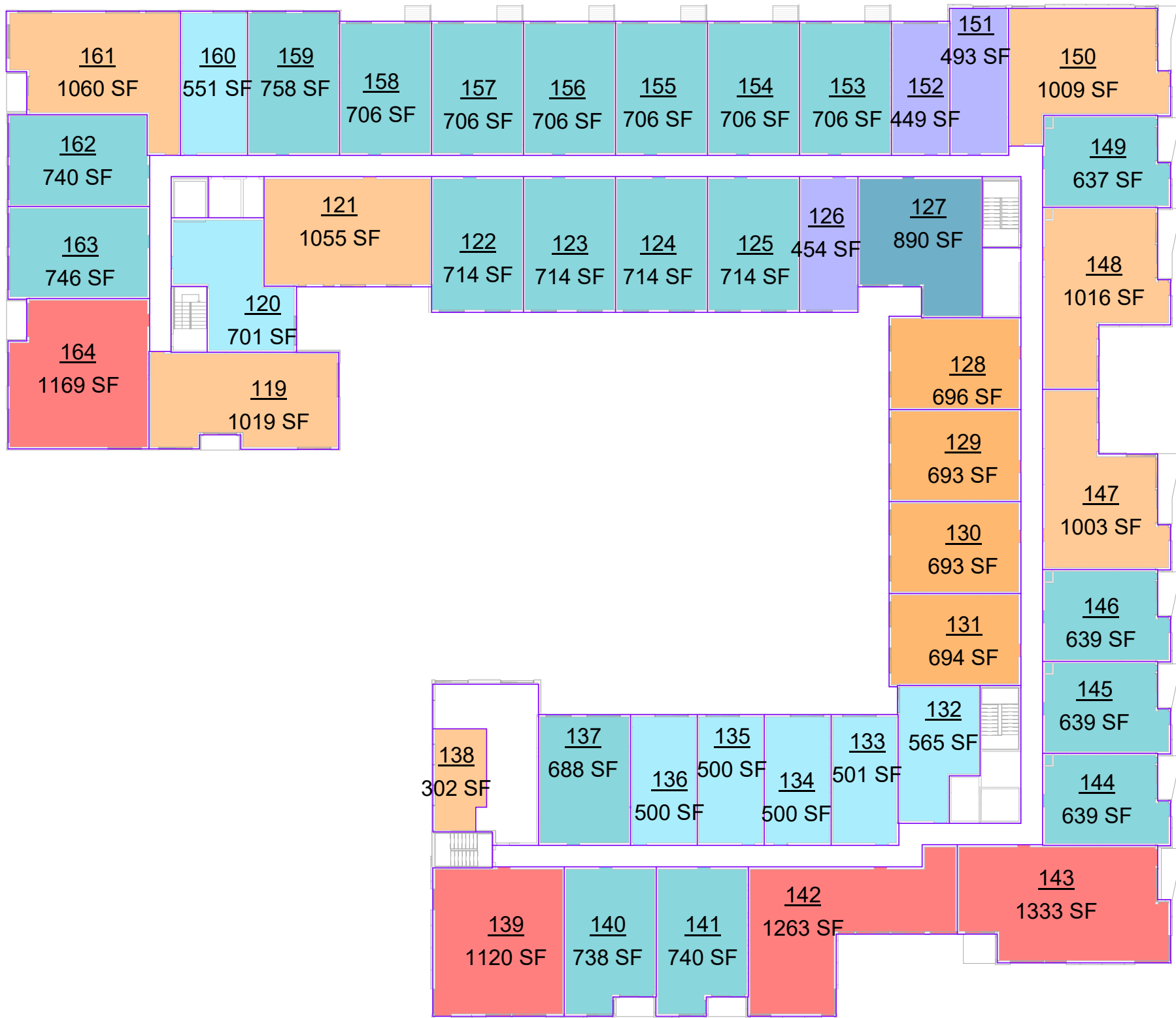
UNIT AREA
PLANS

SHEET NO.

G015

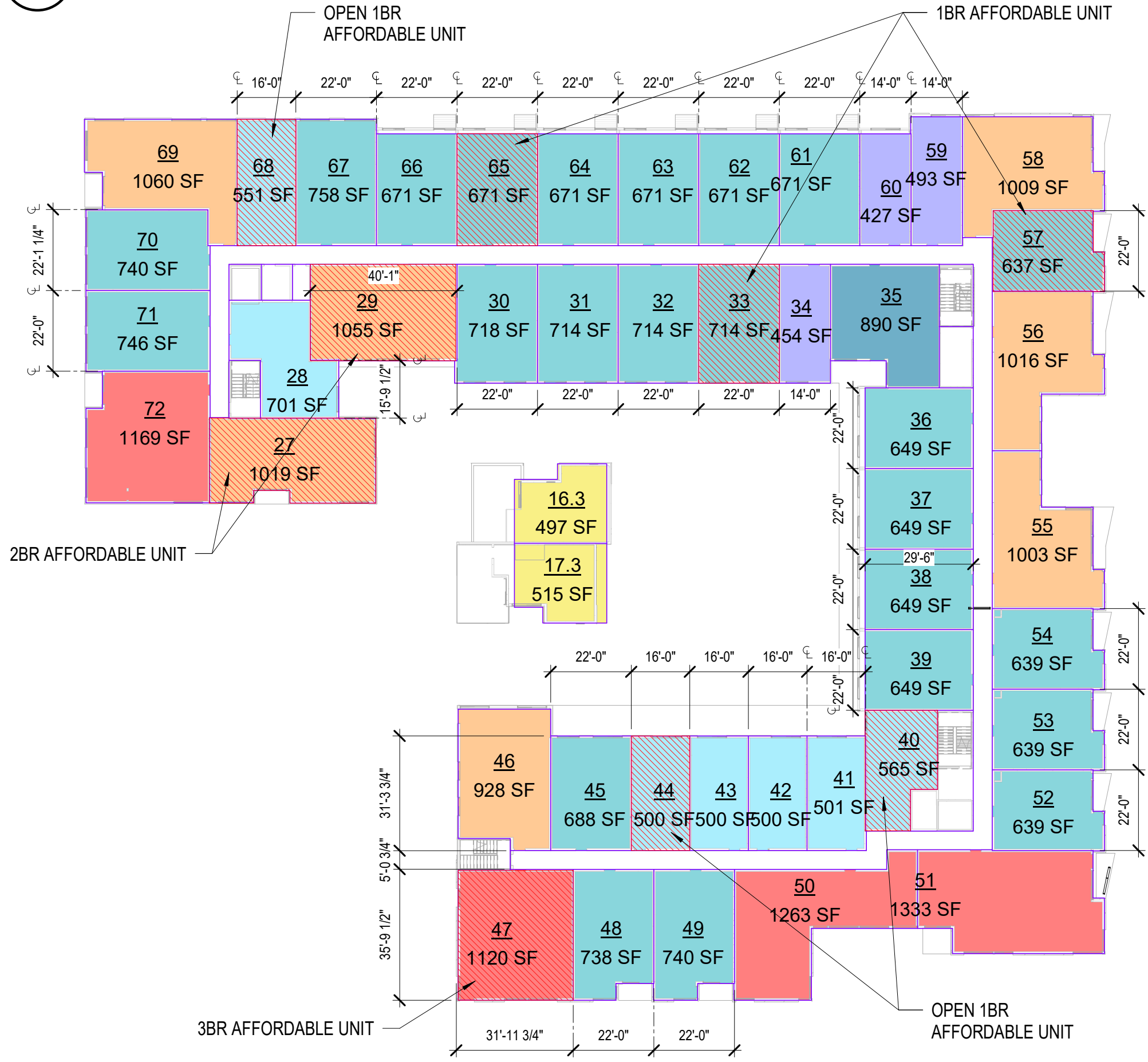
Drawn
Checked

- 1BR
- 1BR+D
- 1BR-L
- 1BR-O
- 1BR-SL
- 2BR
- 2BR-L
- 2BR-L+D
- 2BR-SL
- 3BR
- 3BR-L
- LEASING
- RETAIL
- STD
- STD-SL
- TH



UNIT AREA PLAN - L4

1" = 30'-0"



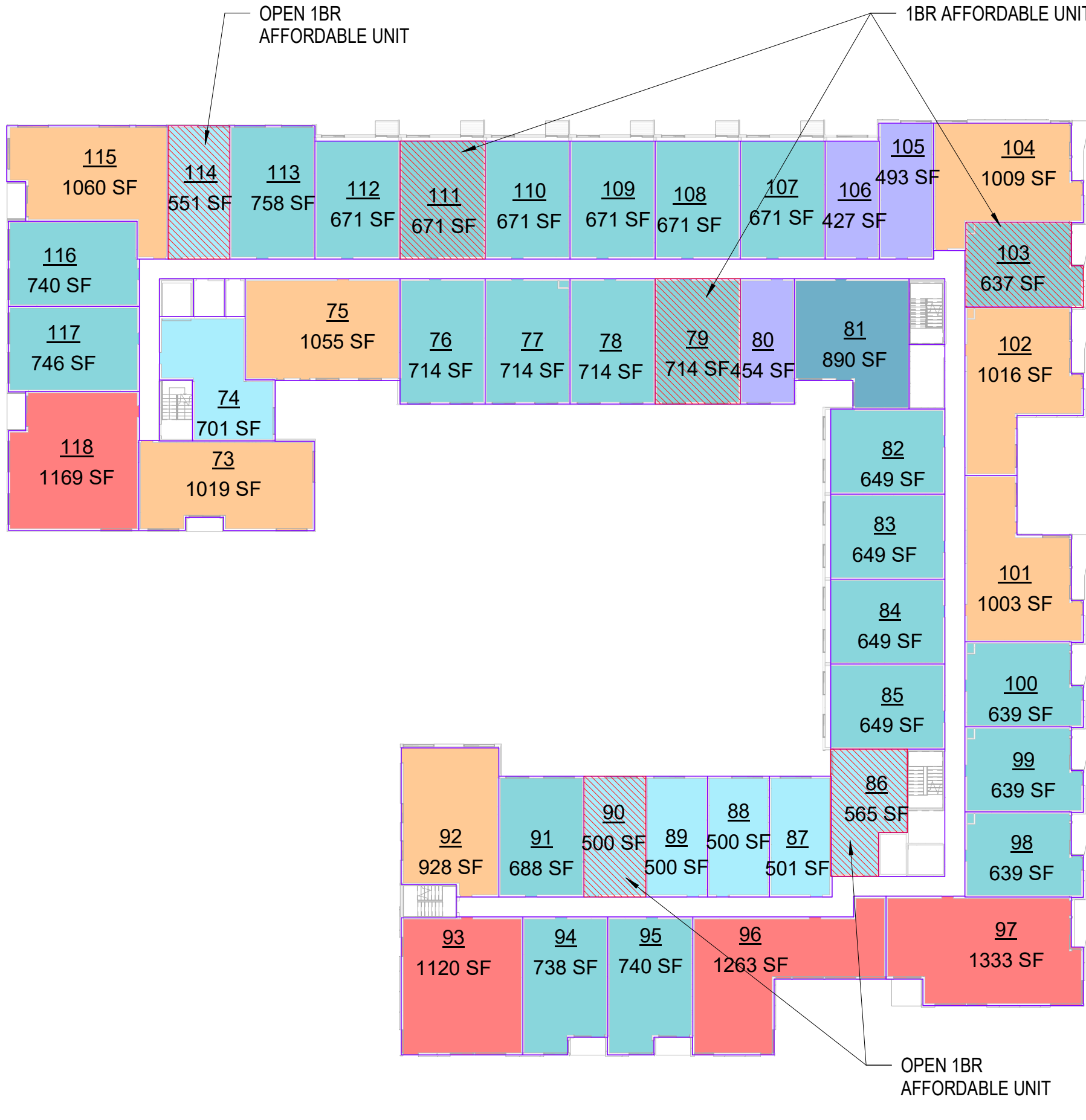
UNIT AREA PLAN - L2

1" = 30'-0"



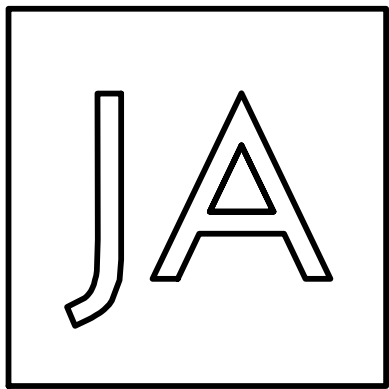
UNIT AREA PLAN - L4M

1" = 30'-0"

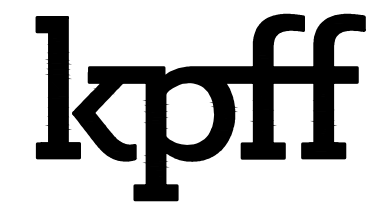


UNIT AREA PLAN - L3

1" = 30'-0"



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DRAWING ISSUE	
Date	Description
12/24/2019	LAND USE SET



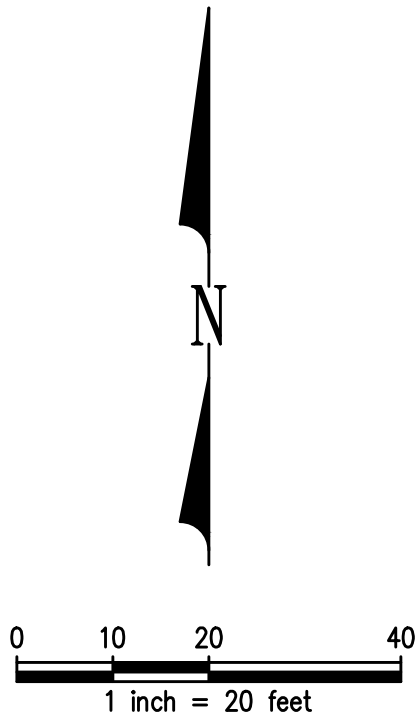
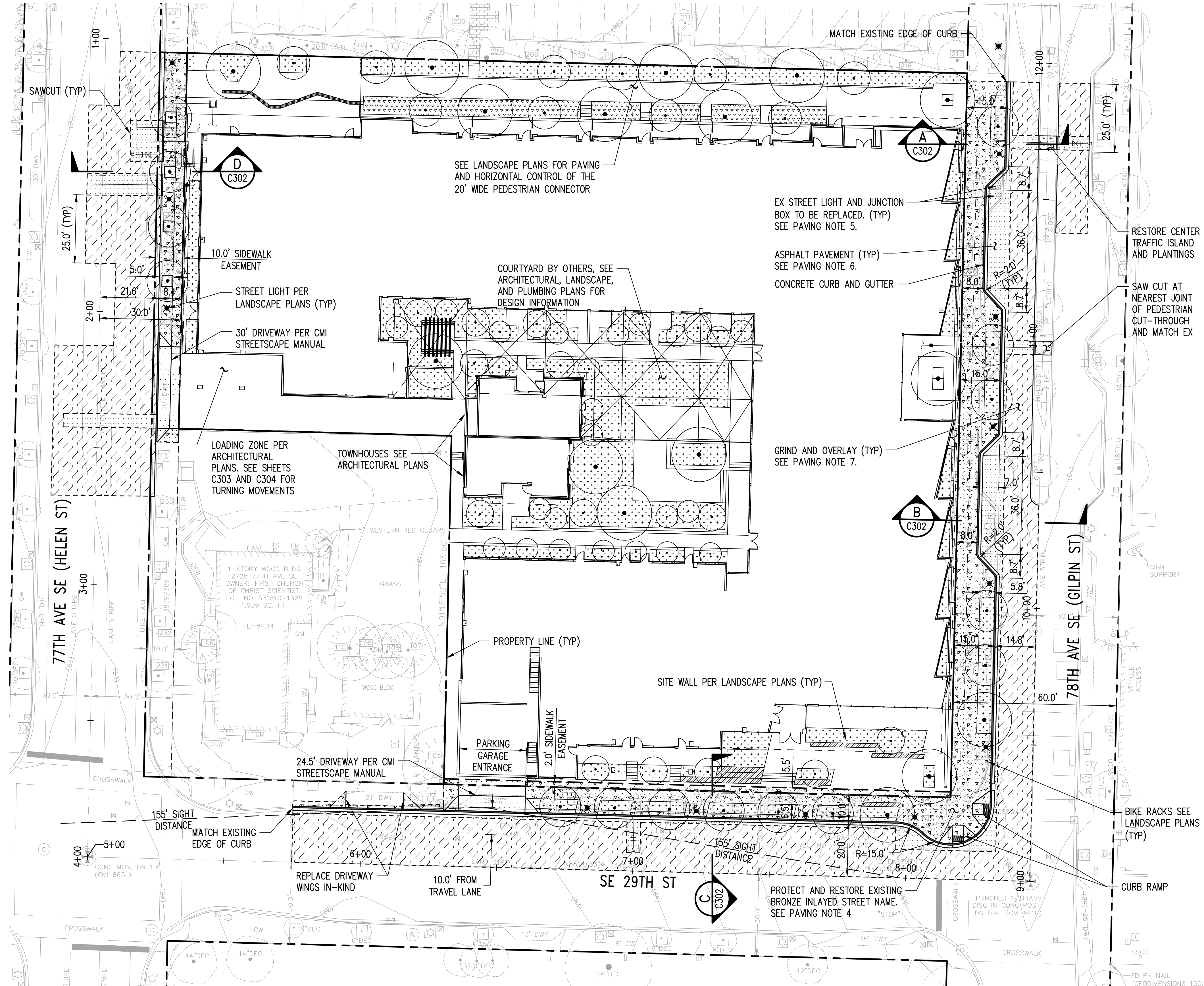
SHEET TITLE PAVING AND HORIZONTAL CONTROL PLAN

SHEET NO.

C300

Drawn TNF

Checked ATT

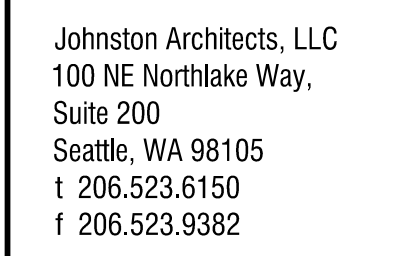


LEGEND

- PROPERTY LINE
- SIDEWALK EASEMENT
- CONCRETE CURB AND GUTTER
- SAWCUT
- SITE WALL (PER LANDSCAPE PLANS)
- ASPHALT GRIND AND OVERLAY
- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- LANDSCAPE (PER LANDSCAPE PLANS)
- BIORETENTION PLANTERS (PER LANDSCAPE PLANS)
- STREET LIGHT (PER LANDSCAPE PLANS)
- TREE (PER LANDSCAPE PLANS)

PAVING NOTES

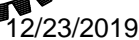
- SEE ARCHITECTURAL PLANS FOR HORIZONTAL CONTROL OF THE BUILDING.
- FOR ON-SITE PEDESTRIAN PAVING MATERIALS AND TREE LOCATIONS, SEE LANDSCAPE PLANS.
- EXISTING BRONZE INLAYED STREET NAME IN THE CORNER OF 78TH AVE SE AND SE 29TH ST SHALL BE PROTECTED AND RESTORED DURING CONSTRUCTION. RELOCATE BRONZE INLAYED STREET NAME ALONG THE INSIDE EDGE OF NEW CURB ALIGNMENT.
- THE QUANTITY OF ON-STREET PARKING STALLS PROPOSED ON 78TH AVENUE SE MATCH EXISTING CONDITIONS.
- ALL EXISTING STREET LIGHTS AND JUNCTION BOXES ALONG THE PROJECT FRONTAGE SHALL BE REMOVED AND REPLACED WITH CITY STANDARD DECORATIVE STREET LIGHTS. REFER TO LANDSCAPE PLANS FOR STREET LIGHT LOCATION.
- FULL DEPTH ASPHALT PAVEMENT PATCH SHALL EXTEND TO MINIMUM 1 FOOT BEYOND EXCAVATION.
- GRIND AND OVERLAY SHALL EXTEND TO MINIMUM 25 FEET BEYOND EDGE OF TRENCH EXCAVATION AND TO THE FULL LANE WIDTH FOR EACH LANE DISTURBED.
- SEE LANDSCAPE PLANS FOR PAVING ON STRUCTURE.



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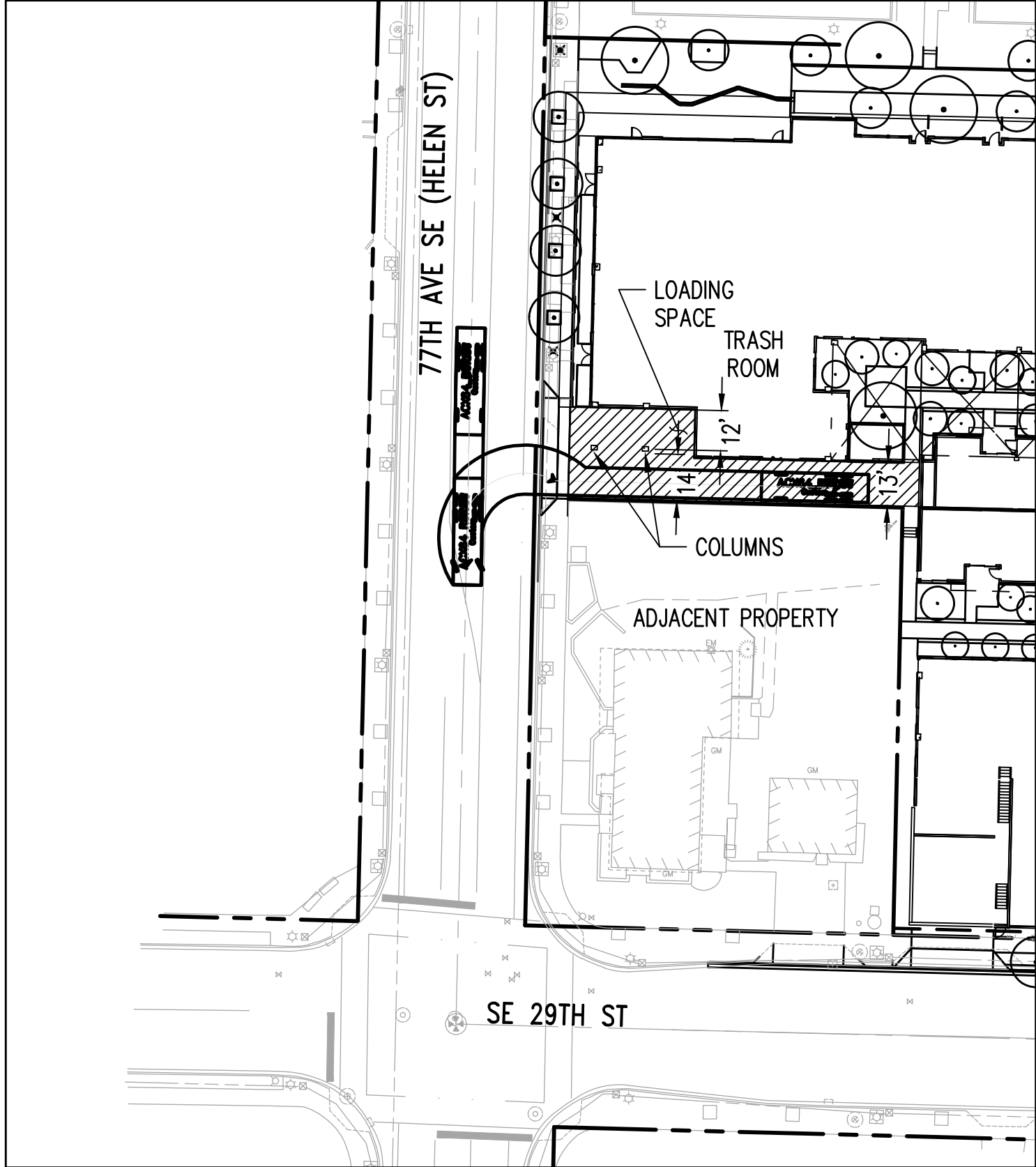
DRAWING ISSUE	
Date	Description
12/24/2019	LAND USE SET



SHEET NO.

Drawn	TNF
Checked	ATT

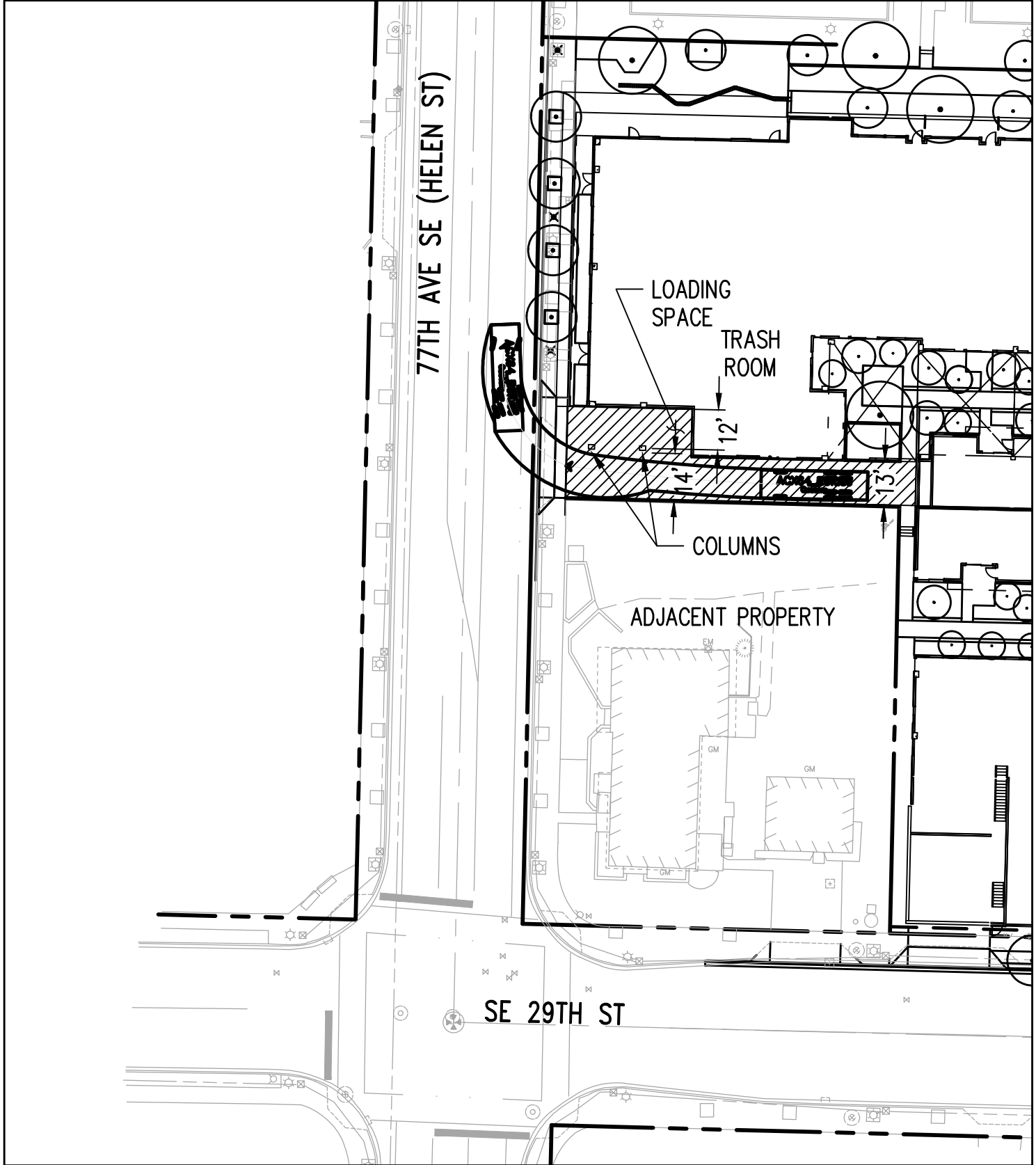




REFUSE TRUCK NB INGRESS

SCALE: 1"=40'

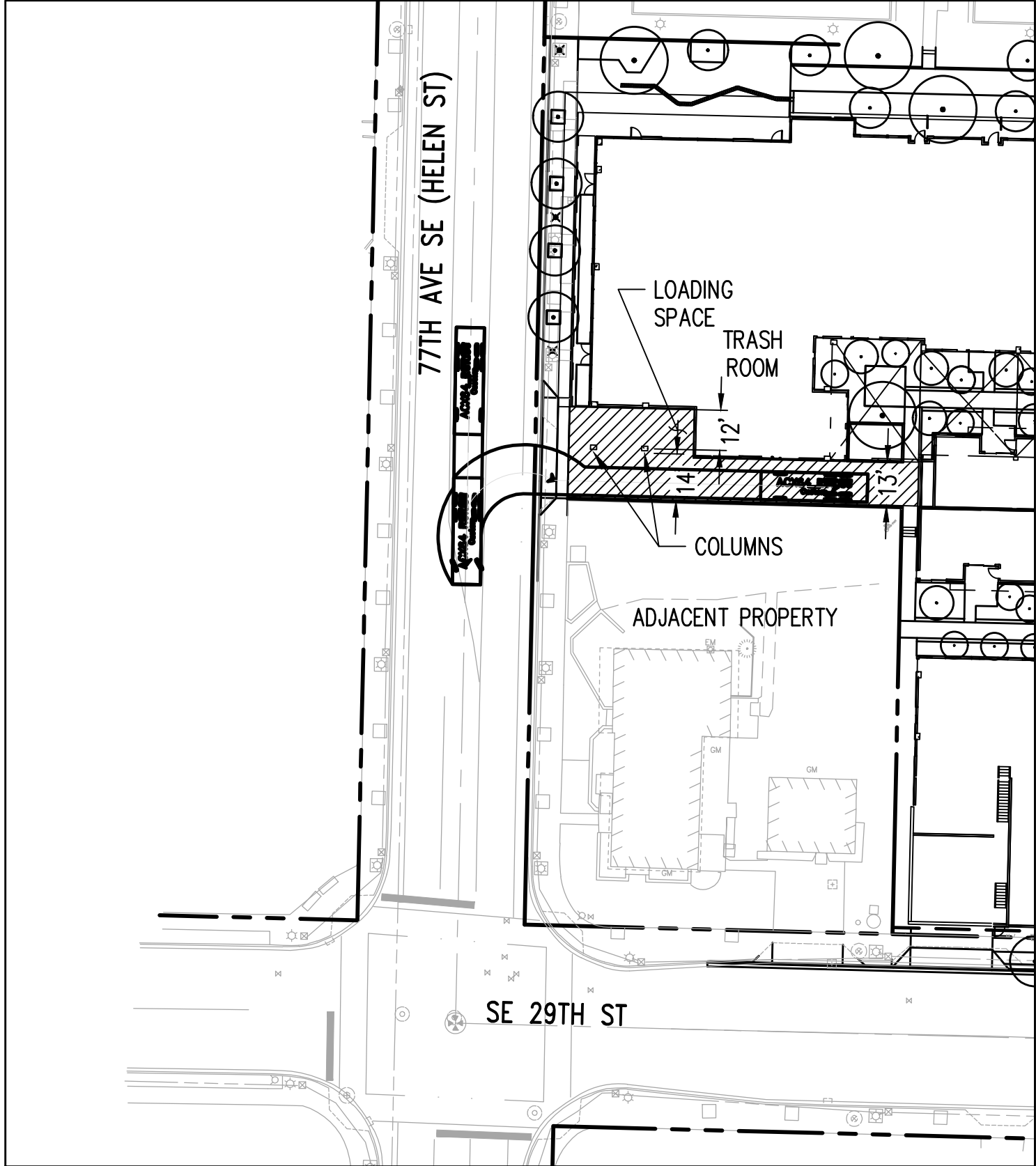
1



REFUSE TRUCK NB EGRESS

SCALE: 1"=40'

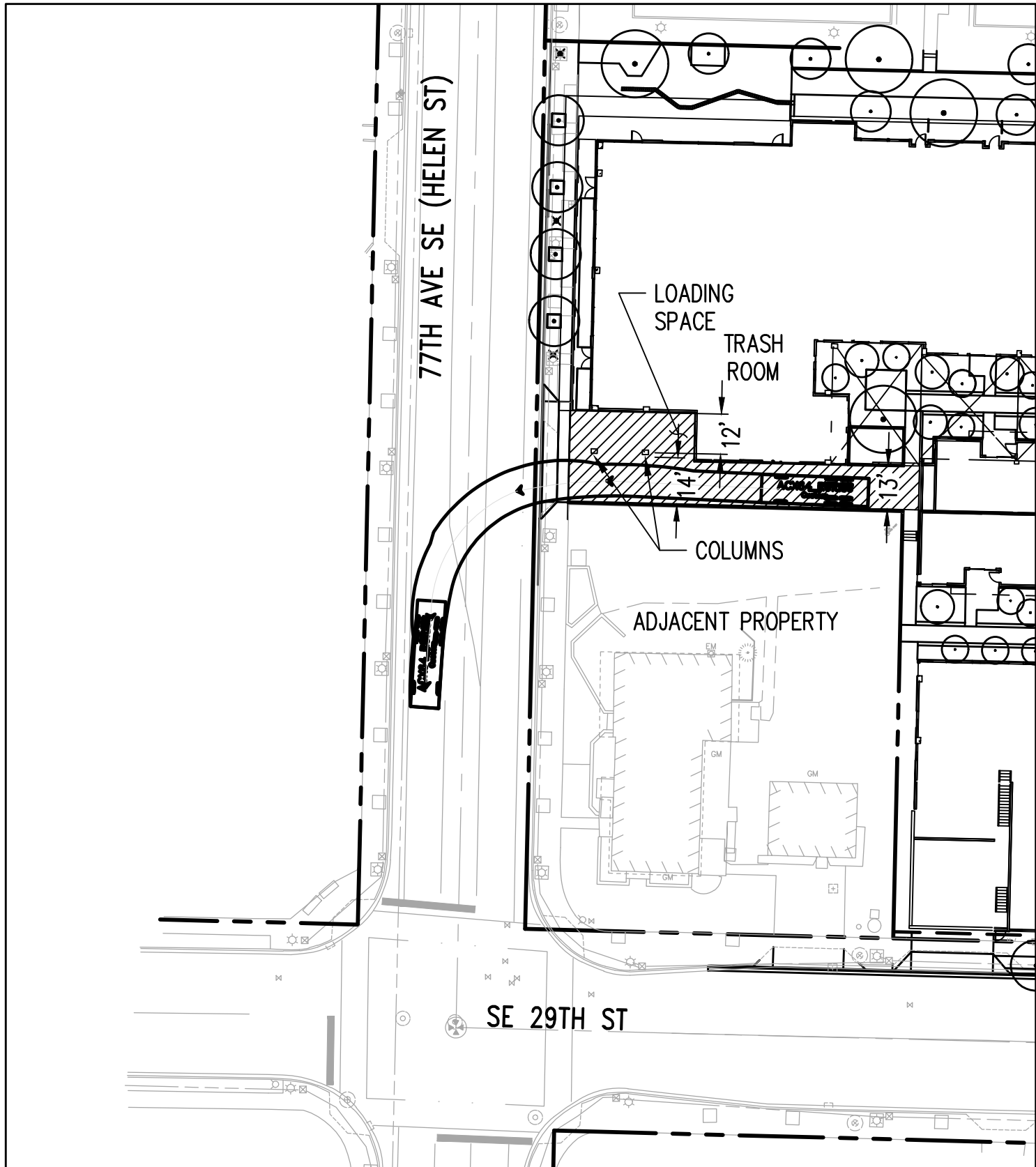
2



REFUSE TRUCK SB INGRESS

SCALE: 1"=40'

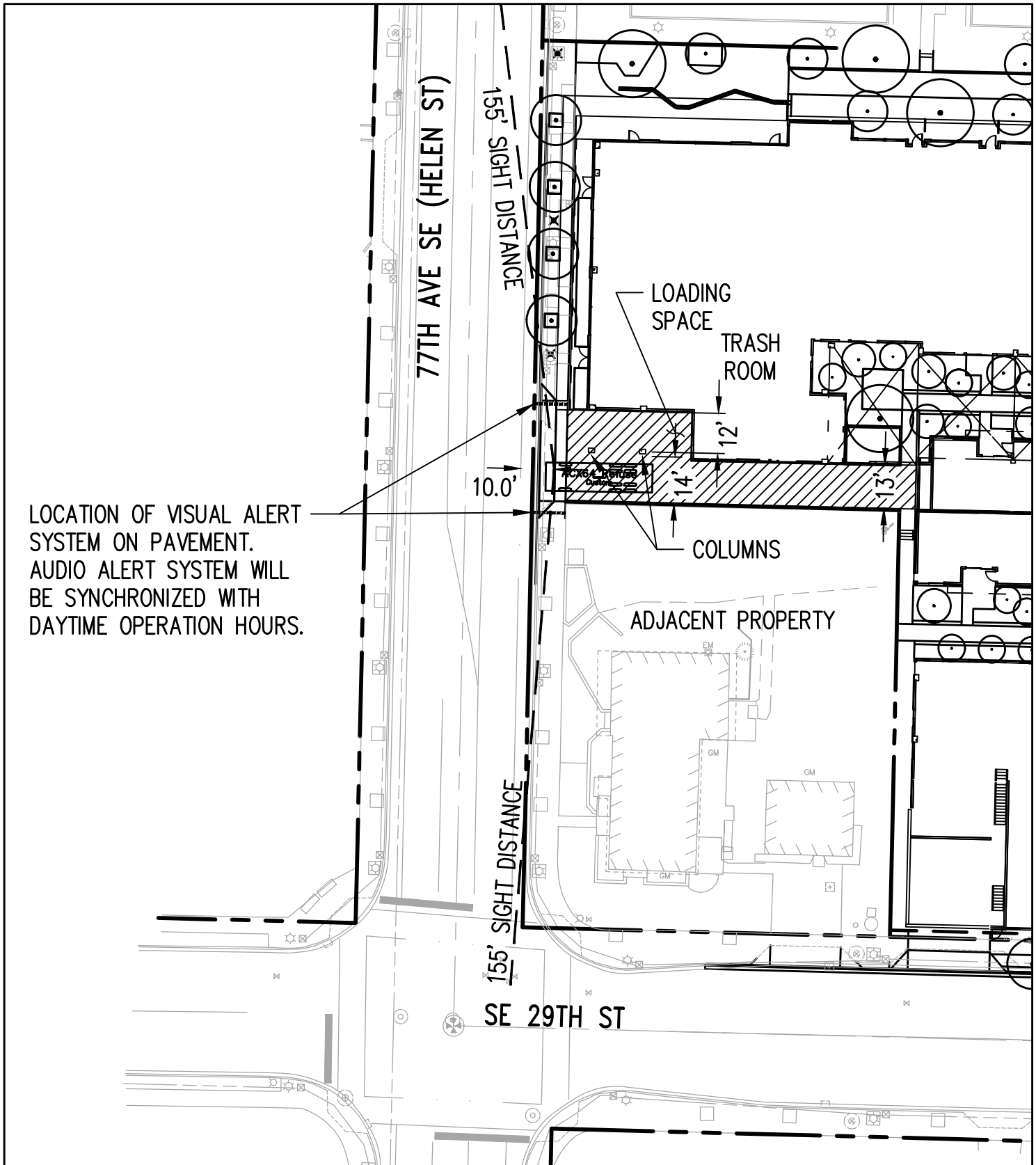
3



REFUSE TRUCK SB EGRESS

SCALE: 1"=40'

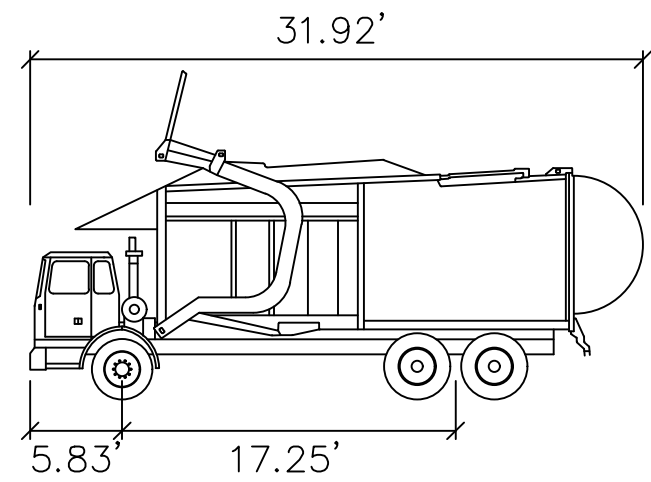
4



REFUSE TRUCK SIGHT DISTANCE

SCALE: 1"=40'

5



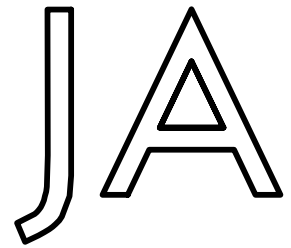
ACX64 REFUSE

	FEET
WIDTH	: 8.42
TRACK	: 8.37
LOCK TO LOCK TIME	: 6.0
STEERING ANGLE	: 35.1

REFUSE TRUCK DETAIL

NTS

5



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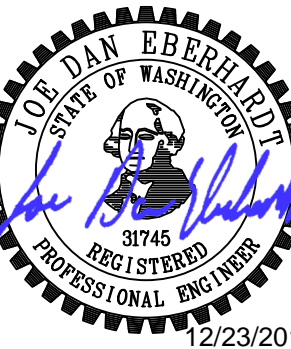
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DRAWING ISSUE

Date	Description
12/24/2019	LAND USE SET

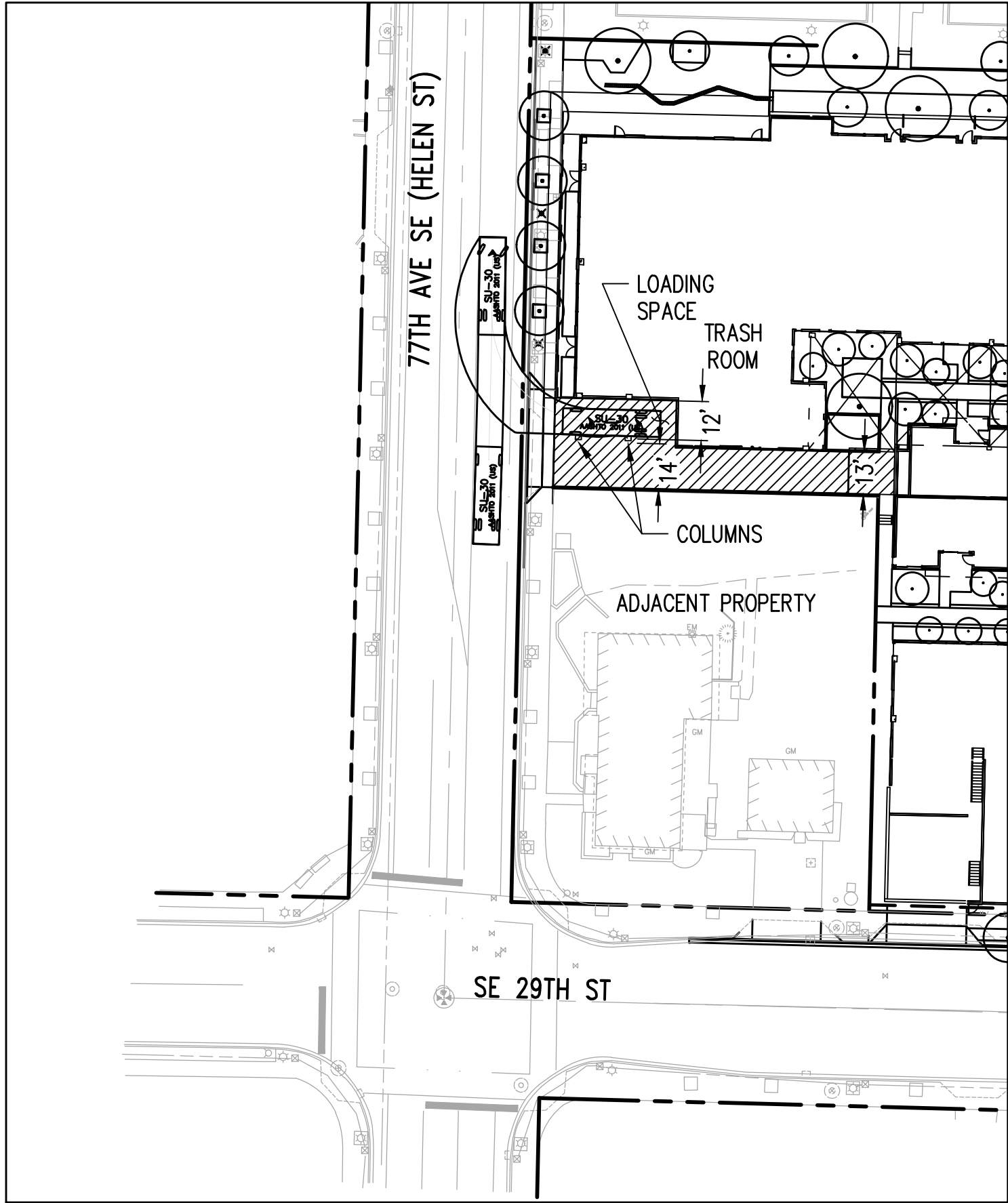


REFUSE TRUCK
TURNING
MOVEMENTS

SHEET NO.

C303

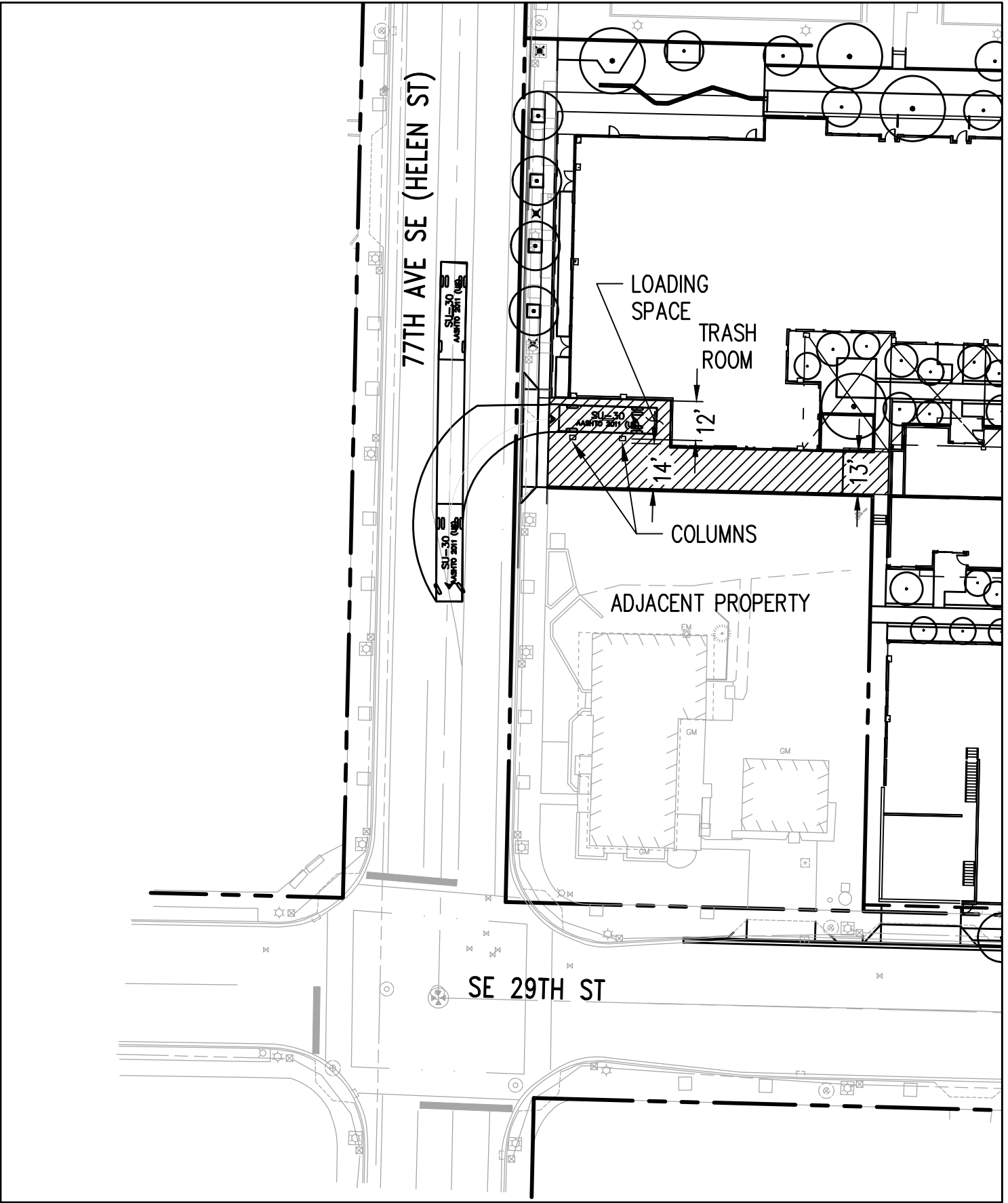
Drawn TNF
Checked ATT



SU-30 NB INGRESS

SCALE: 1"=40'

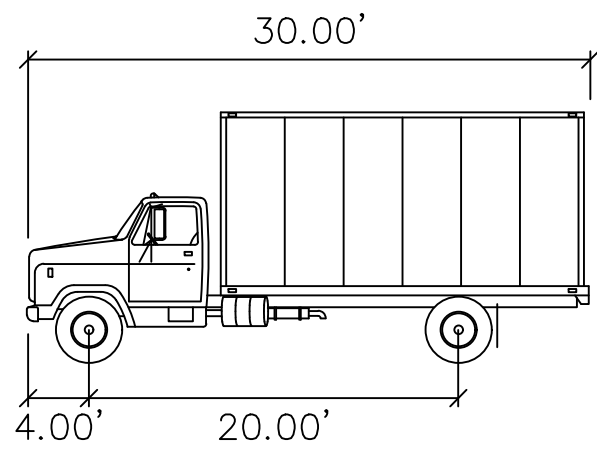
1



SU-30 SB INGRESS

SCALE: 1"=40'

2



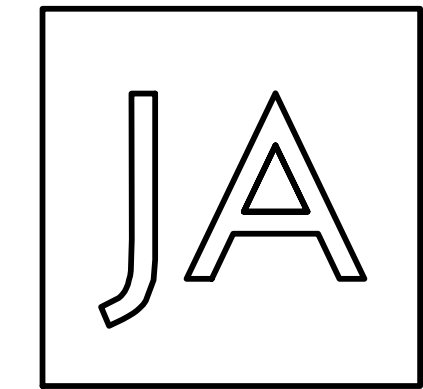
SU-30

	FEET
WIDTH	: 8.00
TRACK	: 8.00
LOCK TO LOCK TIME	: 6.0
STEERING ANGLE	: 31.8

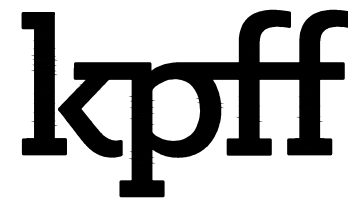
SU-30 DETAIL

NTS

3



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DRAWING ISSUE

Date	Description
12/24/2019	LAND USE SET



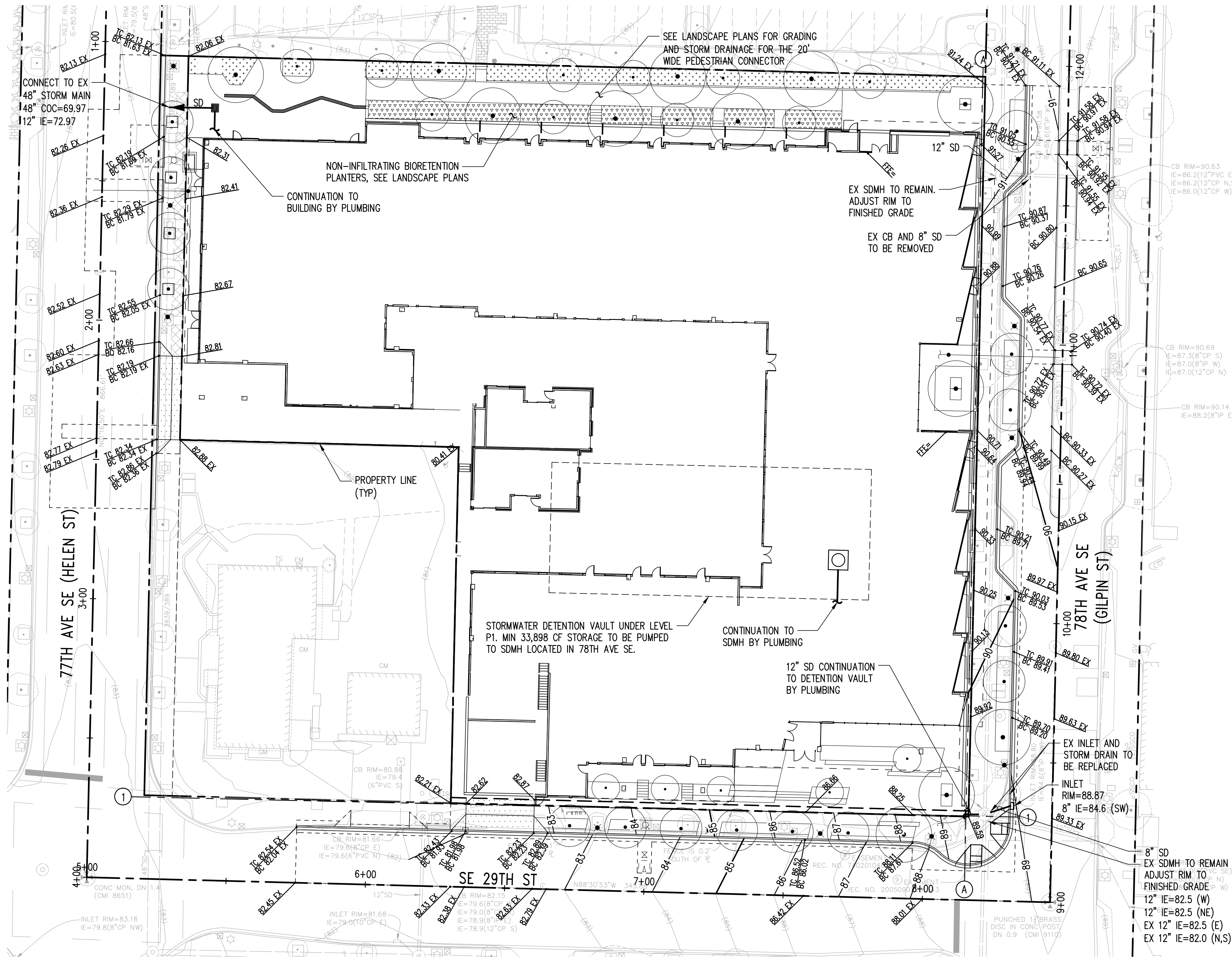
12/23/2019

SHEET TITLE
SU-30 TURNING
MOVEMENTS

SHEET NO.

C304

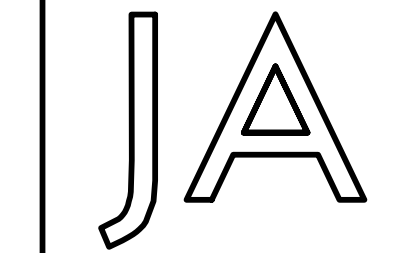
Drawn TNF
Checked ATT



LEGEND

- SD STORM DRAINAGE
- XX.XX SPOT GRADE
- CATCH BASIN

0 10 20 40
1 inch = 20 feet



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DRAWING ISSUE

Date	Description
12/24/2019	LAND USE SET

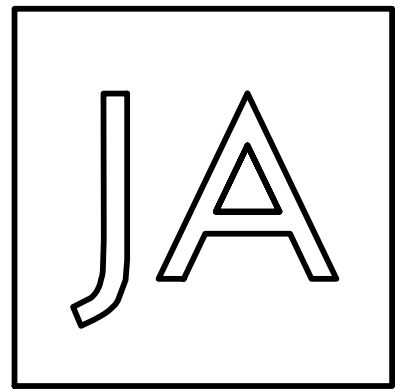


SHEET TITLE
SITE GRADING
AND STORM
DRAINAGE PLAN

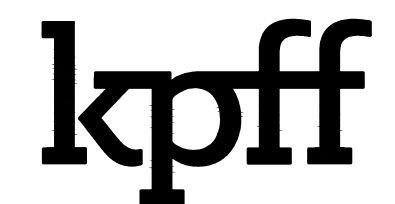
SHEET NO.

C400

Drawn TNF
Checked ATT



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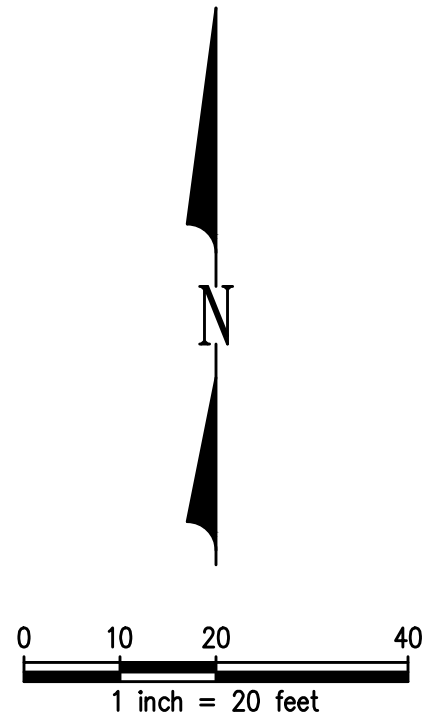
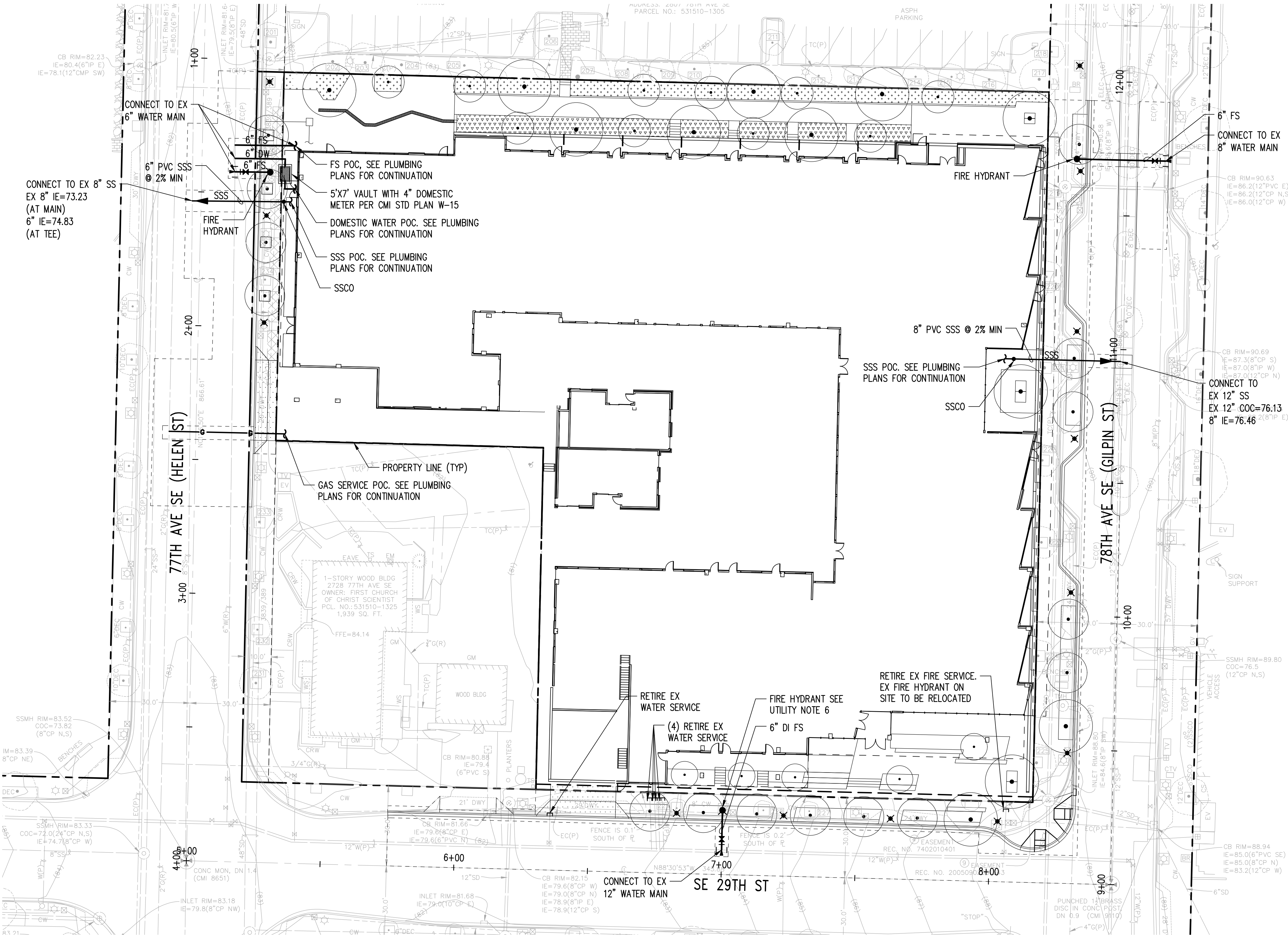
DRAWING ISSUE	
Date	Description
12/24/2019	LAND USE SET



SHEET TITLE
UTILITY PLAN

SHEET NO.
C500

Drawn TNF
Checked ATT

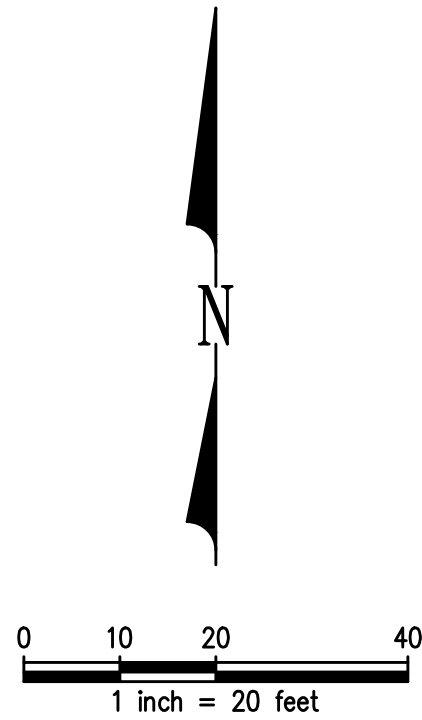
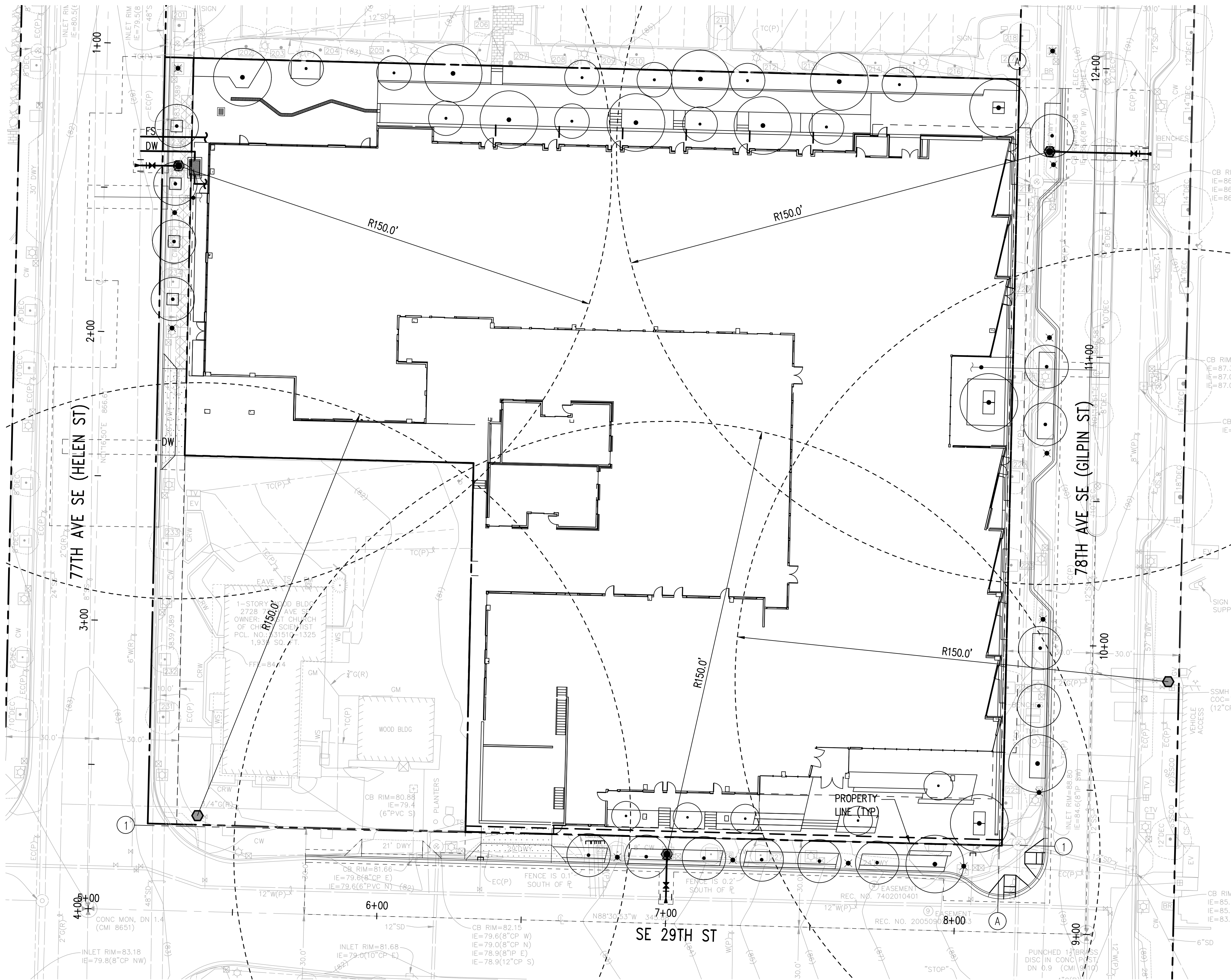


LEGEND

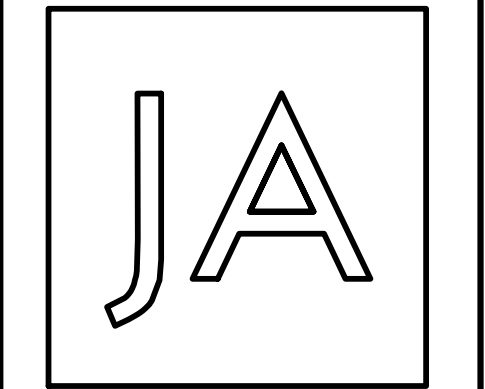
DW	DOMESTIC WATER SERVICE
FS	FIRE SERVICE
SSS	SANITARY SIDE SEWER
	FIRE HYDRANT
	SANITARY SEWER CLEANOUT

UTILITY NOTES:

- INSTALL SANITARY SIDE SEWER PER CITY OF MERCER ISLAND STD DETAILS S-17 AND S-22A.
- TRENCHING AND BEDDING FOR SANITARY SIDE SEWER SHALL BE PER CITY OF MERCER ISLAND STD DETAIL S-3 AND S-4.
- SEWER CLEANOUT SHALL BE PER CITY OF MERCER ISLAND STD DETAIL S-19.
- TRENCHING AND BEDDING FOR DOMESTIC WATER AND FIRE SERVICE LINES SHALL BE PER CITY OF MERCER ISLAND STD DETAIL W-3.
- FIRE HYDRANT ASSEMBLIES SHALL BE PER CITY OF MERCER ISLAND STD DETAIL W-24.



- LEGEND:**
- — — — — PROPERTY LINE
 - DW — — — — — WATER SERVICE
 - FS — — — — — FIRE SERVICE
 - - - - - 150' RADIUS
 - EX FIRE HYDRANT
 - PROP FIRE HYDRANT



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100 NE Northlake Way,
Suite 200
Seattle, WA 98105
t 206.523.6150
f 206.523.9382

kpff
1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

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XING HUA GROUP LTD.
2885 78TH AVE SE
MERCER ISLAND, WA

DRAWING ISSUE

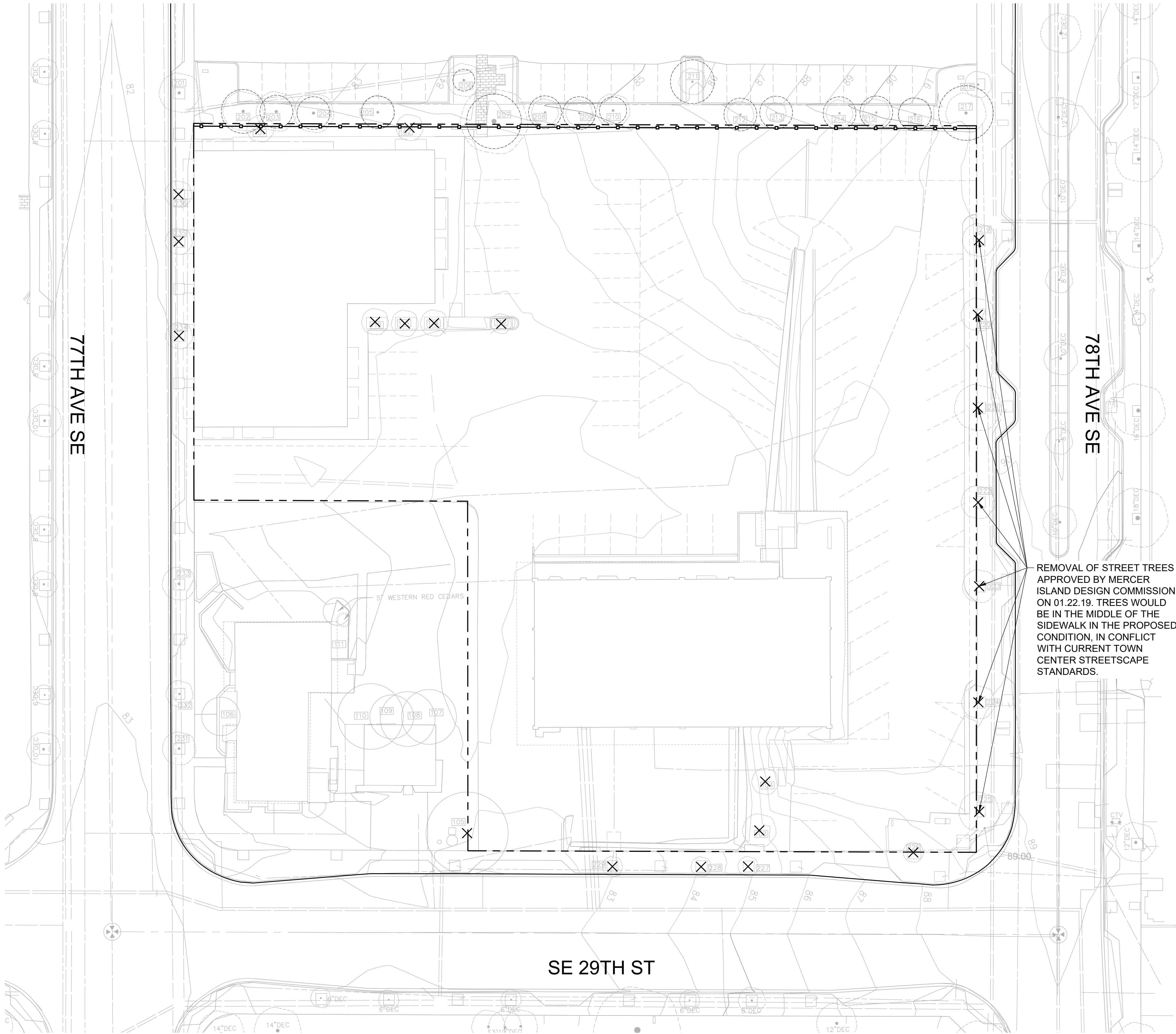
Date	Description
12/24/2019	LAND USE SET



SHEET TITLE
FIRE PLAN

SHEET NO.
C800

Drawn TNF
Checked ATT



TREE PROTECTION LEGEND

— — — — — PROPERTY LINE

- - - - - CRITICAL ROOT ZONE

—●—●—●—●— TREE PROTECTION FENCE

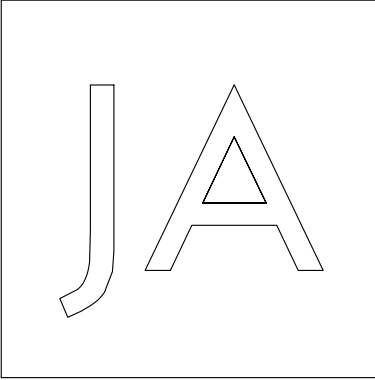
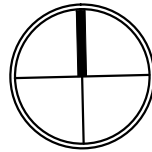
○ (E) TREE - PROTECT IN PLACE

⊗ (E) TREE - TO BE REMOVED

REF. L002 FOR EXISTING TREE INVENTORY AND TREE PROTECTION STANDARDS.

REMOVAL OF STREET TREES APPROVED BY MERCER ISLAND DESIGN COMMISSION ON 01.22.19. TREES WOULD BE IN THE MIDDLE OF THE SIDEWALK IN THE PROPOSED CONDITION, IN CONFLICT WITH CURRENT TOWN CENTER STREETSCAPE STANDARDS.

1 EXISTING TREE PLAN
SCALE: 1" = 20'



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Date	Description
12.24.19	LAND USE PERMIT

SHEET TITLE

EXISTING TREE PLAN

SHEET NO.

L001

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Checked CB

TREE PROTECTION STANDARDS

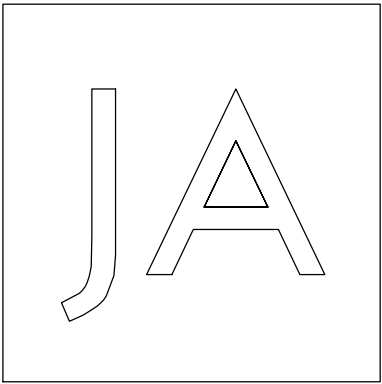
1. PER MICC 19.10.080 CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP) - MANAGING TREES DURING CONSTRUCTION. PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
2. PER MICC 19.10.100, PERMIT TO BE OBTAINED FOR REMOVAL OF TREES IN R.O.W.
3. TREE PROTECTION FENCING SHALL BE ERECTED AT PRESCRIBED DISTANCE PER ARBORIST REPORT. FENCES SHALL BE CONSTRUCTED OF CHAIN LINK AND BE AT LEAST 4 FEET HIGH.
4. TREE PROTECTION FENCING SHALL BE ERECTED PRIOR TO MOVING ANY HEAVY EQUIPMENT ON SITE. DOING THIS WILL SET CLEARING LIMITS AND AVOID COMPACTION OF SOILS WITHIN ROOT ZONES OF RETAINED TREES.
5. INSTALL HIGHLY VISIBLE SIGNS OF PROTECTION FENCING SPACED NO FURTHER THAN 15 FEET APART. SIGNS SHALL STATE "TREE PROTECTION AREA - ENTRANCE PROHIBITED," AND "CITY OF MERCER ISLAND" CODE ENFORCEMENT PHONE NUMBER.
6. NO WORK SHALL BE PERFORMED WITHIN PROTECTION FENCING UNLESS APPROVED BY PLANNING OFFICIAL. IN SUCH CASES, ACTIVITIES WILL BE APPROVED AND SUPERVISED BY A "QUALIFIED TREE PROFESSIONAL".
7. THE ORIGINAL GRADE SHALL NOT BE ELEVATED OR REDUCED WITHIN PROTECTION FENCING WITHOUT THE PLANNING OFFICIAL AUTHORIZATION BASED ON RECOMMENDATIONS FROM A QUALIFIED PROFESSIONAL.
8. NO BUILDING MATERIALS, SPOILS, CHEMICALS OR SUBSTANCES OF ANY KIND WILL BE PERMITTED WITHIN PROTECTION FENCING.
9. EXCAVATIONS WITHIN THE DRIP LINES OF RETAINED TREES SHALL BE MONITORED BY A QUALIFIED TREE PROFESSIONAL SO NECESSARY PRECAUTIONS CAN BE TAKEN TO MINIMIZE IMPACTS TO TREES. A QUALIFIED TREE PROFESSIONAL SHALL MONITOR THE EXCAVATIONS WHEN WORK IS REQUIRED AND ALLOWED UP TO THE LIMITS OF DISTURBANCE.
10. TO ESTABLISH SUB GRADE FOR FOUNDATIONS, CURBS AND PAVEMENT SECTIONS NEAR TREES, SOIL SHOULD BE REMOVED PARALLEL TO THE ROOTS AND NOT AT 90 DEGREE ANGLES TO AVOID BREAKING AND TEARING ROOTS THAT LEAD BACK TO THE TRUNK WITHIN THE DRIP LINE. ANY ROOTS DAMAGED DURING THESE EXCAVATIONS SHOULD BE EXPOSED TO SOUND TISSUE AND CUT CLEANLY WITH A SAW. CUTTING TOOLS SHOULD BE STERILIZED.
11. AREAS EXCAVATED WITHIN THE DRIP LINE OF RETAINED TREES SHOULD BE THOROUGHLY IRRIGATED WEEKLY DURING DRY PERIODS.
12. PROTECTION FENCING SHALL BE MAINTAINED UNTIL THE PLANNING OFFICIAL AUTHORIZES ITS REMOVAL.
13. ENSURE THAT ANY APPROVED LANDSCAPING WITHIN THE PROTECTED ZONE SUBSEQUENT TO THE APPROVED REMOVAL OF PROTECTION FENCING BE PERFORMED WITH HAND LABOR.

TREE INVENTORY

TAG #	COMMON NAME	SPECIES	DBH (INCHES)	REMOVAL	EXCEPTIONAL	REQUIRED REPLACEMENT	HEALTH / CONDITION	NOTES
101	FLOWERING PEAR	PYRUS CALLERYANA	9.6	X		1	FAIR	LEANS WEST. GIRDLING ROOT , POOR PLANTING
102	FLOWERING PEAR	PYRUS CALLERYANA	7	X		1	GOOD	
103	FLOWERING CHERRY	PRUNUS SP.	10	X		2	FAIR	FAIR-POOR CONDITION, SURROUNDED BY INVASIVE SPECIES
104	FLOWERING CHERRY	PRUNUS SP.	7	X		1	FAIR	DEAD BRANCHES IN CANOPY
105	WESTERN RED CEDAR	THUJA PLICATA	22	X		2	GOOD	
112	FLOWERING PEAR	PYRUS CALLERYANA	7	X		1	GOOD	
113	FLOWERING PEAR	PYRUS CALLERYANA	7	X		1	GOOD	
114	FLOWERING PEAR	PYRUS CALLERYANA	8	X		1	GOOD	
115	FLOWERING PEAR	PYRUS CALLERYANA	6	X		1	GOOD	
NEIGHBORING / STREET TREES								
201	FLOWERING PEAR	PYRUS CALLERYANA	13				FAIR	77TH AVE SE STREET TREE; THIN CANOPY
202	EUROPEAN HORNBEAM	CARPINUS BETULUS	13.1				GOOD	
203	EUROPEAN HORNBEAM	CARPINUS BETULUS	13				GOOD	
204	EUROPEAN HORNBEAM	CARPINUS BETULUS	17.1		YES		GOOD	
205	EUROPEAN HORNBEAM	CARPINUS BETULUS	12.5				GOOD	
206	RED MAPLE	ACER RUBRUM	11.6				GOOD	
207	LONDON PLANE	PLATANUS X. ACERIFOLIA	23.1				GOOD	4' FROM CURB
208	EUROPEAN HORNBEAM	CARPINUS BETULUS	8.6				GOOD	
209	EUROPEAN HORNBEAM	CARPINUS BETULUS	9.6				GOOD	
210	EUROPEAN HORNBEAM	CAPRINUS BETULUS	11				GOOD	
211	RED MAPLE	ACER RUBRUM	9				GOOD	
212	EUROPEAN HORNBEAM	CARPINUS BETULUS	9.2				GOOD	
213	EUROPEAN HORNBEAM	CARPINUS BETULUS	5.1				GOOD	
214	EUROPEAN HORNBEAM	CARPINUS BETULUS	7.8				GOOD	
215	EUROPEAN HORNBEAM	CARPINUS BETULUS	8.5				GOOD	
216	EUROPEAN HORNBEAM	CARPINUS BETULUS	11				GOOD	
217	LONDON PLANE	PLATANUS X. ACERIFOLIA	14				GOOD	
218	COLUMNAR RED MAPLE	ACER RUBRUM 'ARMSTRONG'	8				GOOD	
219	RED MAPLE	ACER RUBRUM	10.6	X		2	GOOD	R.O.W. TREE, REMOVAL APPROVED BY DESIGN COMMISSION 01.22.19
220	RED MAPLE	ACER RUBRUM	10.2	X		2	GOOD	R.O.W. TREE, REMOVAL APPROVED BY DESIGN COMMISSION 01.22.19
221	RED MAPLE	ACER RUBRUM	14.7	X		2	GOOD	R.O.W. TREE, REMOVAL APPROVED BY DESIGN COMMISSION 01.22.19
222	COLUMNAR RED MAPLE	ACER RUBRUM 'ARMSTRONG'	10	X		2	GOOD	R.O.W. TREE, REMOVAL APPROVED BY DESIGN COMMISSION 01.22.19
223	COLUMNAR RED MAPLE	ACER RUBRUM 'ARMSTRONG'	9.6	X		1	GOOD	R.O.W. TREE, REMOVAL APPROVED BY DESIGN COMMISSION 01.22.19; NARROW FORM
224	RED MAPLE	ACER RUBRUM	11.5	X		2	GOOD	R.O.W. TREE, REMOVAL APPROVED BY DESIGN COMMISSION 01.22.19
225	RED MAPLE	ACER RUBRUM	12.8	X		2	GOOD	R.O.W. TREE, REMOVAL APPROVED BY DESIGN COMMISSION 01.22.19
226	COLUMNAR RED MAPLE	ACER RUBRUM 'ARMSTRONG'	7	X		1	GOOD	
227	FLOWERING PEAR	PYRUS CALLERYANA	5	X		1	GOOD	R.O.W. TREE
228	FLOWERING PEAR	PYRUS CALLERYANA	5.5	X		1	FAIR	R.O.W. TREE
229	FLOWERING PEAR	PYRUS CALLERYANA	6.2	X		1	FAIR	R.O.W. TREE
234	FLOWERING PEAR	PYRUS CALLERYANA	10	X		2	FAIR	R.O.W. TREE
235	FLOWERING PEAR	PYRUS CALLERYANA	9	X		1	FAIR	R.O.W. TREE
236	FLOWERING PEAR	PYRUS CALLERYANA	8	X		1	FAIR	R.O.W. TREE

REQUIRED REPLACEMENT PER MICC 19.10.070: 32 TREES

REPLACEMENT TREES PROVIDED: 78 TREES, REF. L501 - LANDSCAPE PLANTING PLAN



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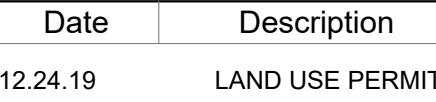
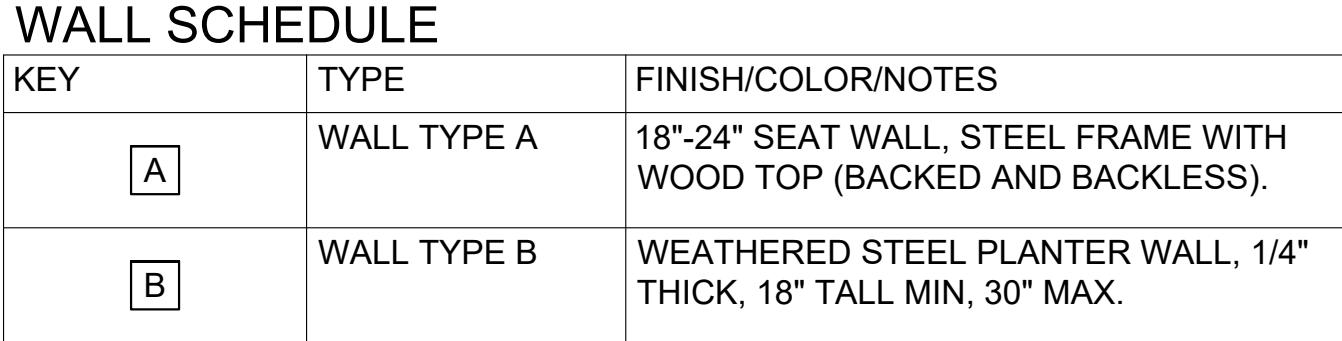
SHEET TITLE

EXISTING TREE
INVENTORY

SHEET NO.

L002

Drawn SB
Checked CB



Drawn	SE
Checked	CB



ABBREVIATIONS

ARCH	ARCHITECTURE
BLDG	BUILDING
CIP	CAST IN PLACE
CONC	CONCRETE
DK	DARK
EXIST	EXISTING
FFE	FINISHED FLOOR ELEVATION
LT	LIGHT
MED	MEDIUM
NIC	NOT IN CONTRACT
PVMT	PAVEMENT
REF	REFERENCE
R.O.W.	RIGHT OF WAY
SIM	SIMILAR
TYP	TYPICAL

LEGEND

SYMBOL	ITEM
	EXISTING TREE TO REMAIN, PROTECT IN PLACE, REF. L001 - EXISTING TREE PLAN
	PROPOSED TREES, REF. L501 - LANDSCAPE PLANTING PLAN
	PROPERTY LINE

SURFACING SCHEDULE

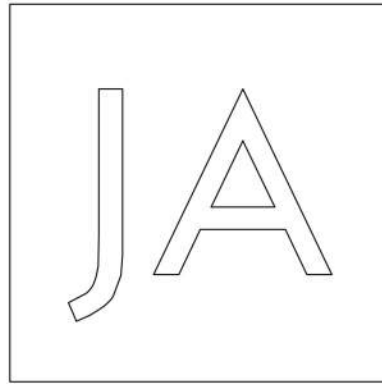
SYMBOL	TYPE	FINISH / COLOR / NOTES
	CIP CONC. PVMT. PER TOWN CENTER STANDARD	CIP CONCRETE PAVEMENT, 30" X 30" TOOLED OR SAWCUT JOINTS, LT. BROOM FINISH PERPENDICULAR TO CURB WITH MIN. THICKNESS OF 4".
	SPECIALTY CIP CONC. PVMT.	CIP CONCRETE PAVEMENT, SAWCUT JOINTS, SCORING PER PLANS, LT. BROOM FINISH
	PRECAST UNIT PAVERS	12" X 60" ARCHITECTURAL PRECAST PAVERS, AS AVAILABLE FROM STEPSTONE.
	SYNTHETIC TURF	SYNLAWN ROOFDECK PREMIUM SYSTEM
	SUSPENDED PAVEMENT SYSTEM	SUSPENDED PAVEMENT SYSTEM WITH LID AND GEOTEXTILE SEPARATOR AT TOP. DEEP ROOT SILVA CELL OR APPROVED EQUAL.
	TRENCH DRAIN	TRENCH DRAIN WITH DECORATIVE GRATE
	PLANTING AREA	REF. L501 - LANDSCAPE PLANTING PLAN

SITE FURNISHINGS

SYMBOL	TYPE	FINISH/COLOR/NOTES
	SEAT STONES	SOMA STONES, AS AVAILABLE FROM CONCRETEWORKS.
	BOULDERS	GRANITE BOULDERS, "HIGH CASCADE, WEATHERED", AS AVAILABLE FROM MARENAKOS ROCK CENTER
	BIKE RACKS	SPORTWORKS NORTHWEST - WESTPORT INVERTED-U BIKE RACK
	PICNIC TABLES	TBD
	BENCHES	TBD
	STREET LIGHTS	POLE: BEGA 927/GFCI, PANTONE GREEN. FIXTURE: BEGA 77910, PANTONE GREEN PER TOWN CENTER STANDARD
	CATENARY LIGHTS	TBD
	BOLLARD LIGHTS	TBD

WALL SCHEDULE

KEY	TYPE	FINISH/COLOR/NOTES
	WALL TYPE A	18"-24" SEAT WALL, STEEL FRAME WITH WOOD TOP (BACKED AND BACKLESS).
	WALL TYPE B	WEATHERED STEEL PLANTER WALL, 1/4" THICK, 18" TALL MIN, 30" MAX.



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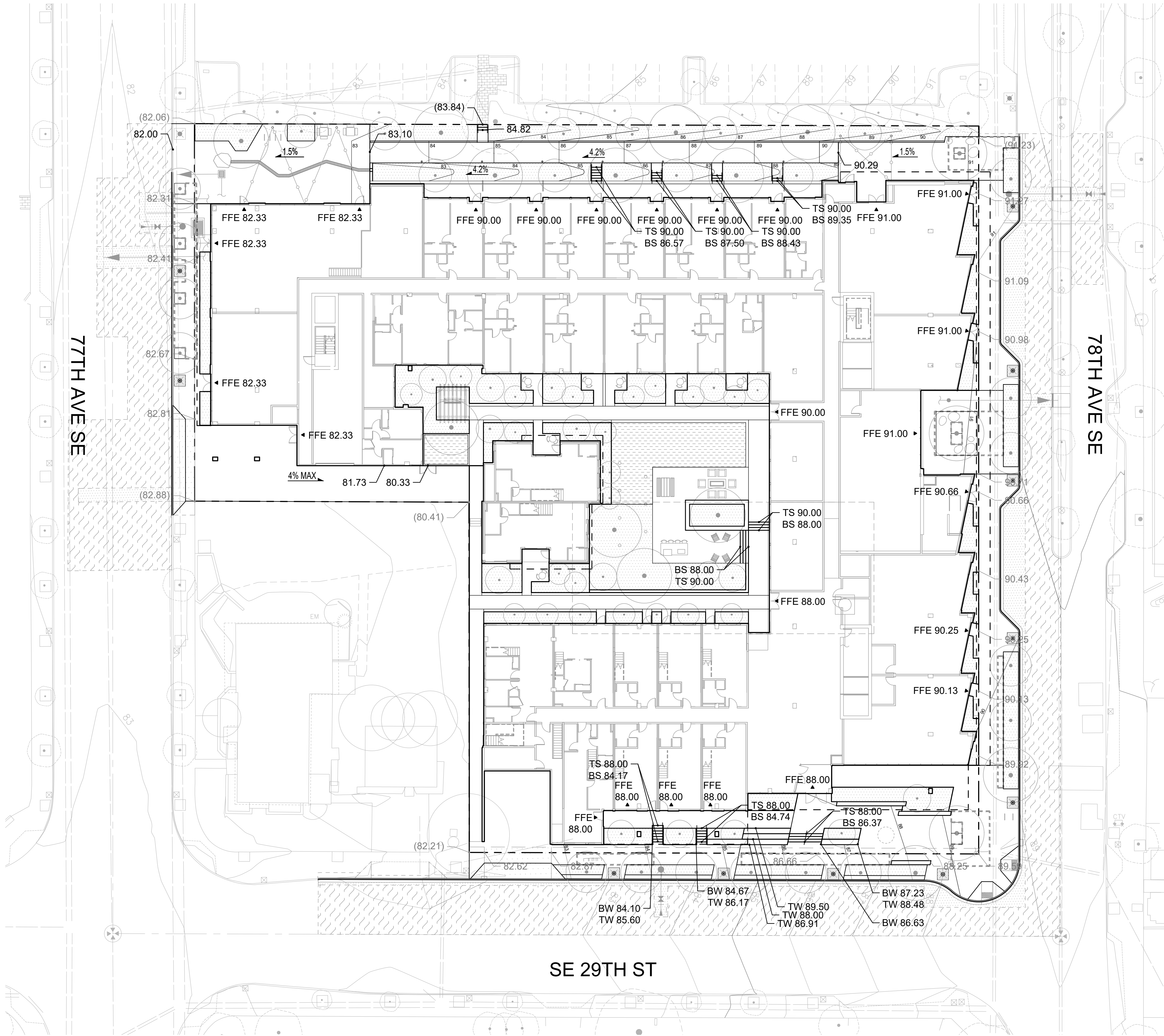
SHEET TITLE

LANDSCAPE
COLOR SITE PLAN

SHEET NO.

L102

Drawn SB
Checked CB

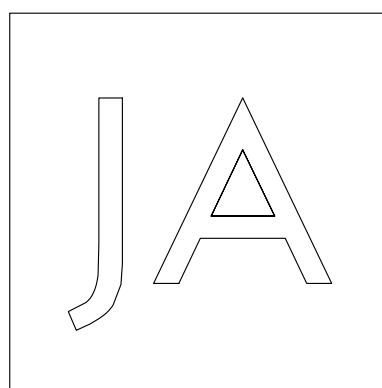


GRADING LEGEND

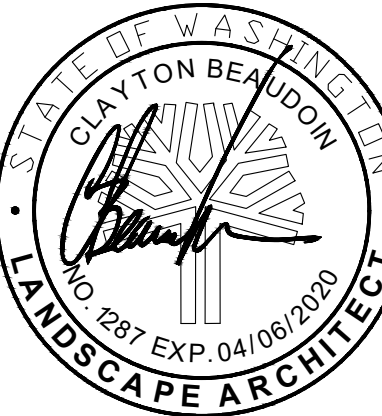
- EXISTING TREES TO REMAIN, PROTECT IN PLACE
- PROPOSED TREES, REF. L5.00
- PROPERTY LINE
- LIMIT OF WORK
- EXISTING CONTOURS
- PROPOSED CONTOURS
- GRADE BREAK
- FINISHED FLOOR ELEVATION
- BOTTOM / TOP OF STAIR
- BOTTOM / TOP OF WALL
- WEIR ELEVATION
- SPOT ELEVATION
- ROW SPOT ELEVATION, REF. CIVIL
- SLOPE

GRADING NOTES

- ALL EXISTING GRADES TO BE FIELD VERIFIED.
- REFER TO CIVIL FOR GRADING IN ROW.
- CROSS SLOPES ON ALL PATHWAYS NOT TO EXCEED 2% SLOPE.
- PLANTING AREA SUBGRADES DETERMINED BY SOIL DEPTHS AND SPECIFICATIONS.



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SHEET TITLE

GRADING PLAN

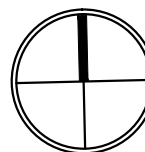
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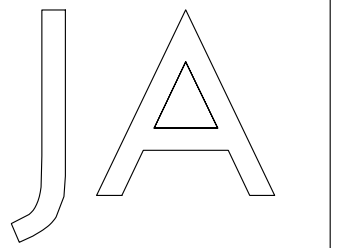
L201

Drawn SB
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1 GRADING PLAN

SCALE: 1" = 20'





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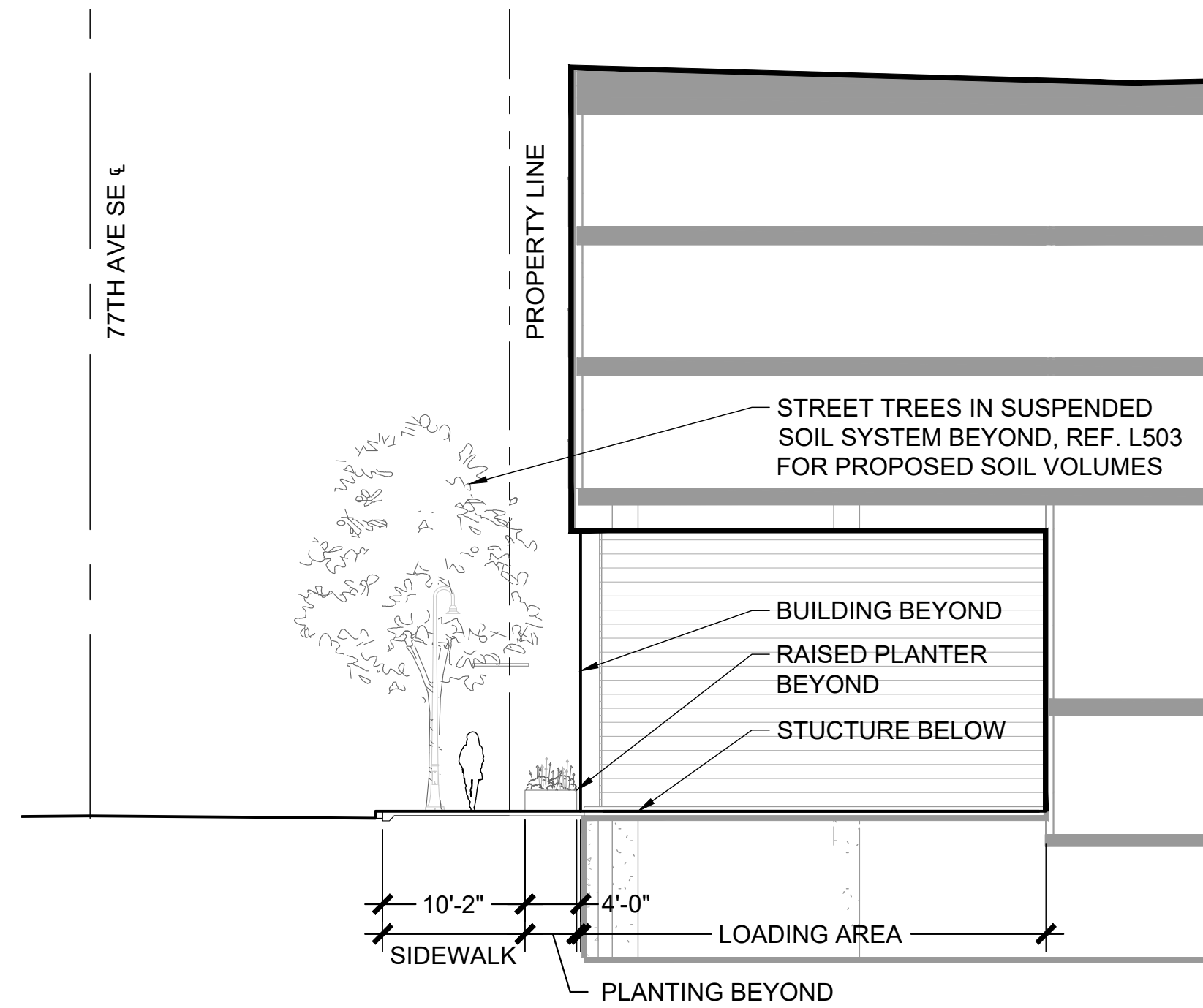
SHEET TITLE

SITE SECTIONS

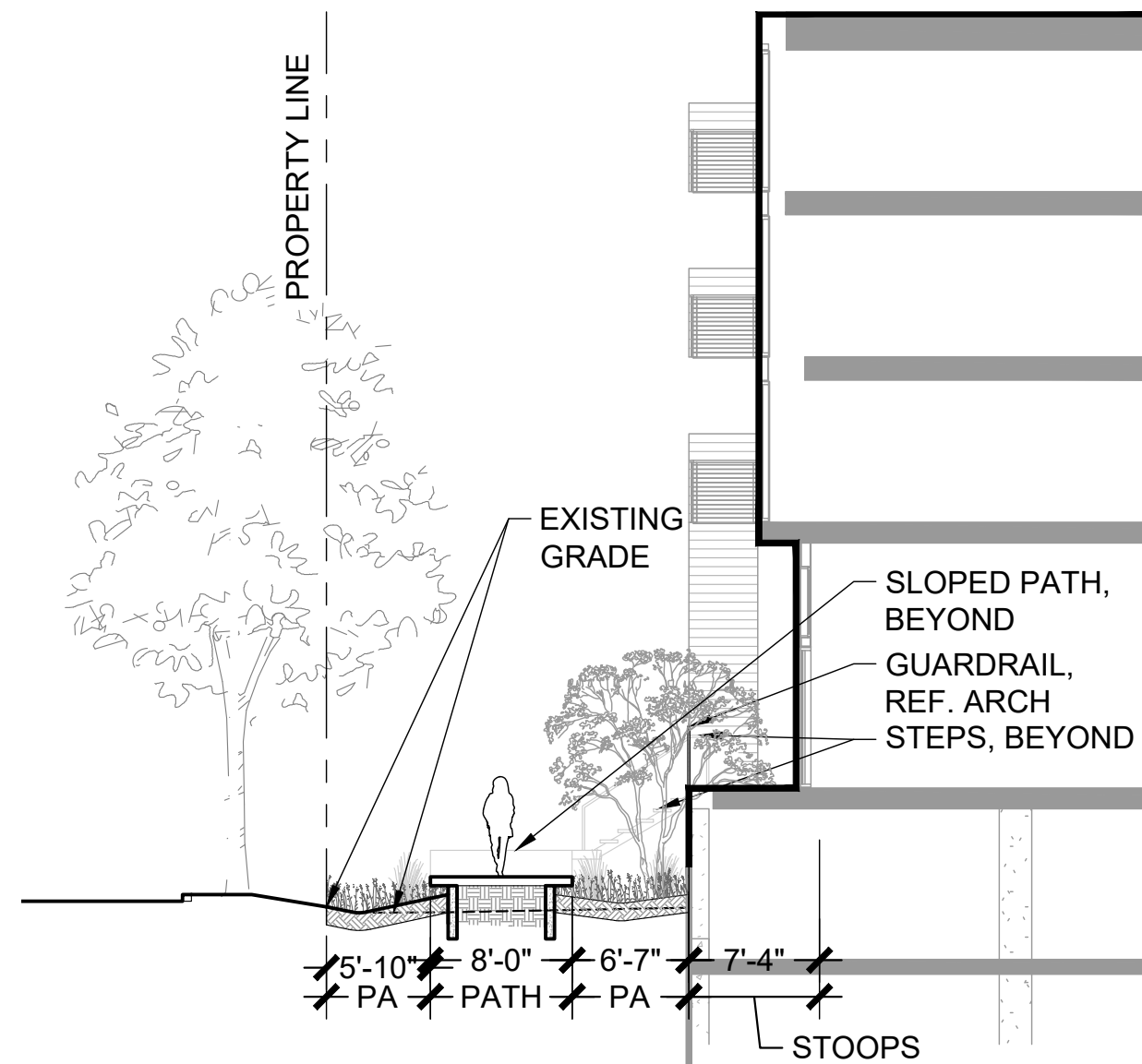
SHEET NO.

L310

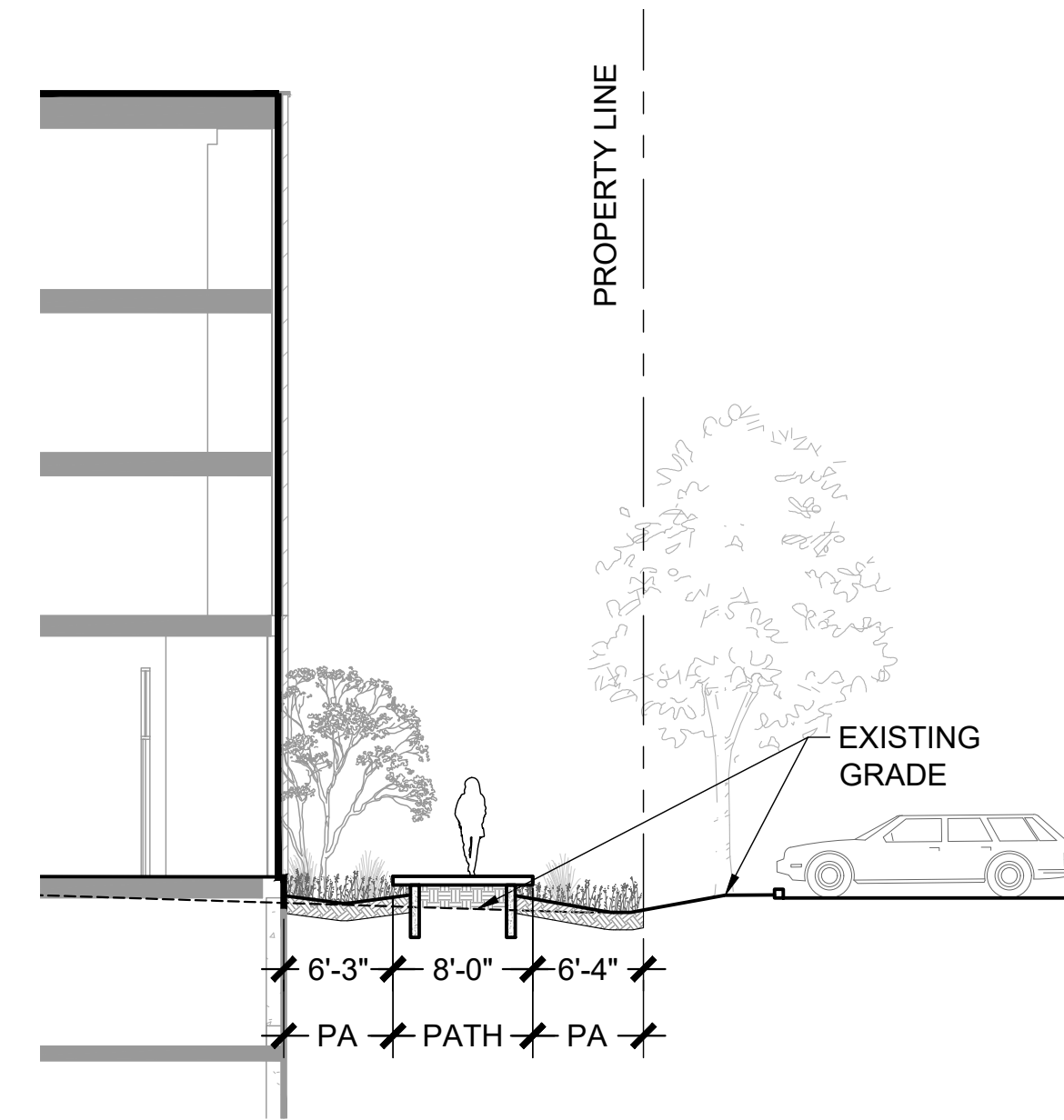
Drawn SB
Checked CB



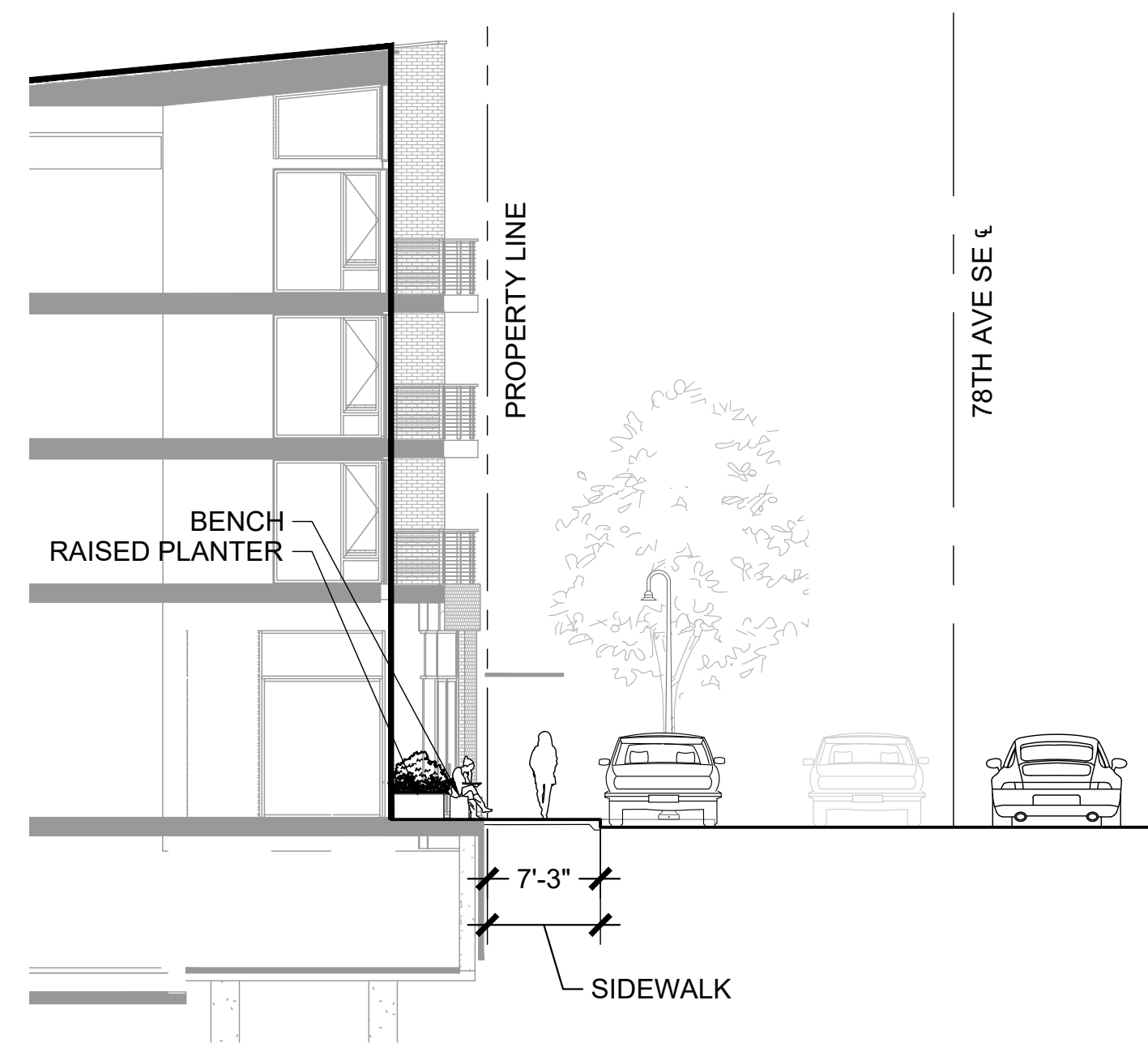
1 SECTION AT 77TH
SCALE: #####



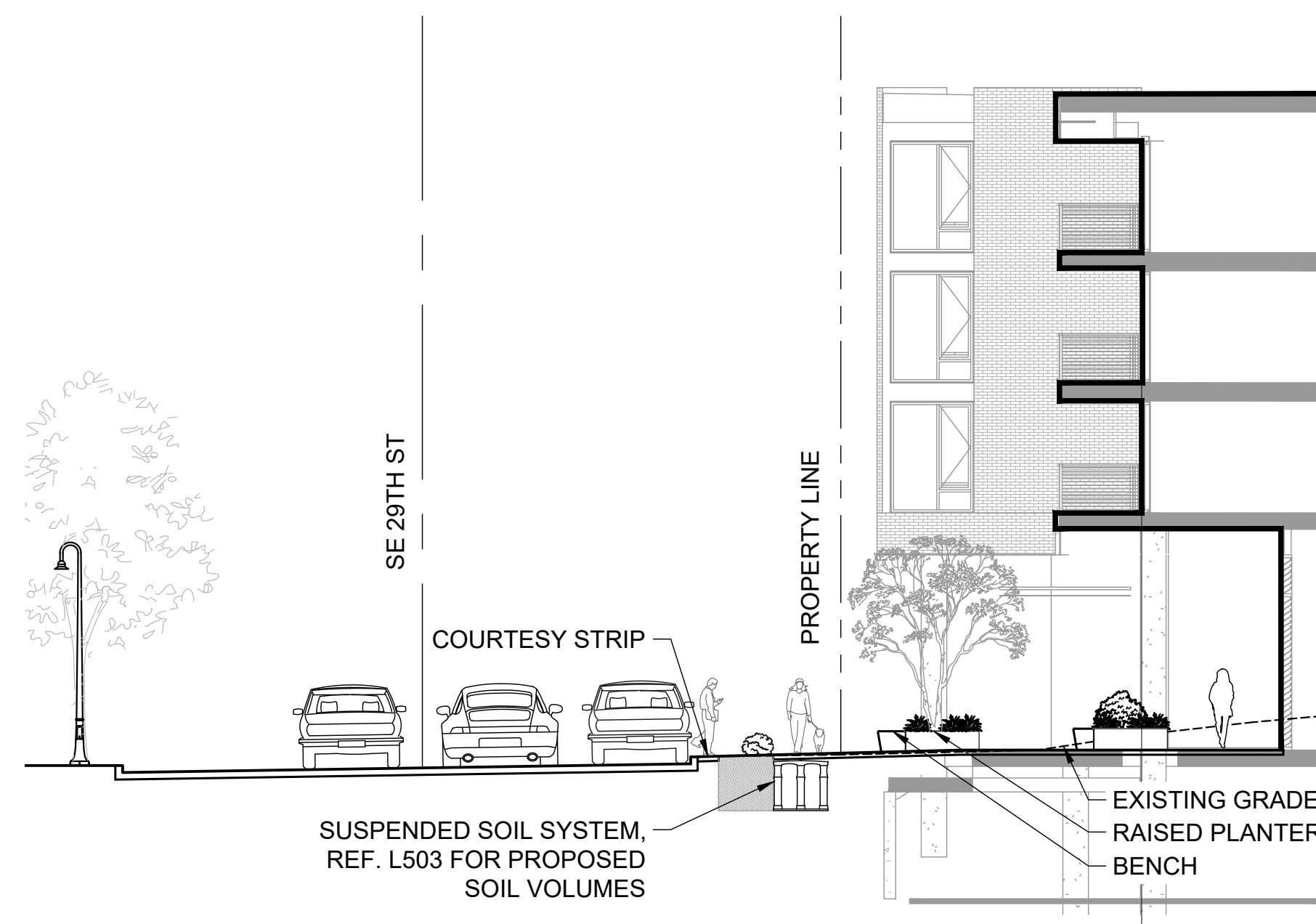
2 SECTION AT MID THROUGH BLOCK
SCALE: #####



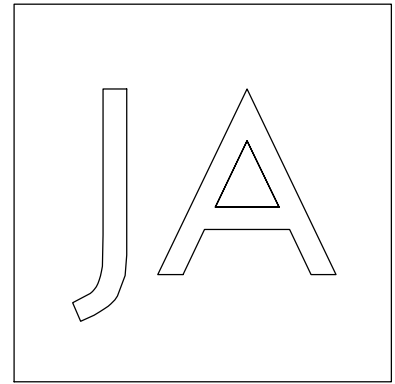
3 SECTION AT THROUGHBLOCK EAST
SCALE: #####



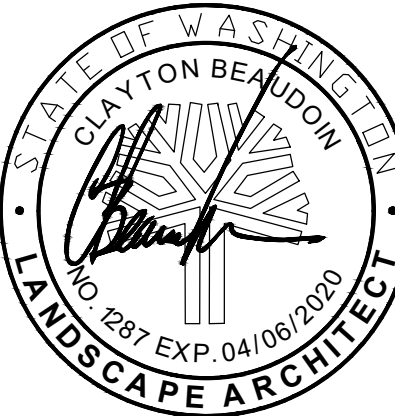
4 SECTION AT 78TH LOOKING NORTH
SCALE: #####



5 SECTION AT SOUTH PLAZA
SCALE: #####



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SHEET TITLE

SITE SECTIONS

SHEET NO.

L311

Drawn SB
Checked CB



1 SECTION ALONG THROUGHBLOCK
SCALE: 1" = 10'



2 SECTION ALONG THROUGHBLOCK
SCALE: 1" = 10'

LANDSCAPE - CODE SUMMARY

ITEM	SUMMARY OF MINIMUM REQUIREMENTS
SOILS	ADD 3" COMPOST INTO TOP 8" AND FINISH WITH 2-4" MULCH.
IRRIGATION / DRAINAGE	PROVIDE FOR PLANTING IN CONTAINED PLANTERS
DROUGHT TOLERANCE	PROVIDE NATIVE, CLIMATE ADAPTED AND DROUGHT TOLERANT PLANT MATERIAL
TREES	MIN. 1.5" CALIPER FOR NEW DECIDUOUS TREES ON PRIVATE PROPERTY MIN. 2" - 3" CALIPER FOR NEW DECIDUOUS TREES. MIN. 6' HEIGHT FOR NEW CONIFEROUS TREES. SPACING: MIN. 20' - 40' SPACING ON CENTER DISTANCE TO STREET LIGHT: MIN. 10' TO BE PLANTED IN SILVA CELL (OR APPROVED EQUAL) WITH A MINIMUM SOIL VOLUME OF 500 CF.
SHRUBS	MIN 12" SOIL DEPTH FOR SHRUBS IN CONTAINERS MIN 9" HT AT INSTALLATION MIN 30" HT FOR SHRUBS INSTALLED FOR REQUIRED SCREENING MIN 18" O.C. SPACING BETWEEN SHRUBS
GROUNDCOVERS	MIN 4" POTS AT MAX 12" O.C., OR MIN 1 GAL CONTAINERS AT MAX 24" O.C.

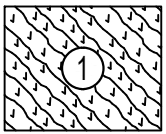
IRRIGATION NARRATIVE

SPECIFIC TO GROUND LEVEL:	
1.	POINT OF CONNECTION ASSUMED TO BE LEVEL P1.
2.	48 STATION AUTOMATIC IRRIGATION CONTROLLER COMPATIBLE WITH BUILDING MECHANICAL SYSTEM.
STANDARD TO ALL LEVELS:	
1.	ALL VALVES, PIPING AND COMPONENTS INSIDE BUILDING TO BE BRASS AND COPPER.
2.	PIPING OUTSIDE TO BE SCH. 40 PVC.
3.	IRRIGATION POINT OF CONNECTION HEADER ASSEMBLY CONTAINS:
3.1.	WATER METER
3.2.	ISOLATION VALVE(S)
3.3.	BACKFLOW PREVENTER
3.4.	MASTER VALVE(S)
3.5.	FLOW SENSOR(S)
3.6.	BRASS AUTOMATIC CONTROL VALVES WITH UNIONS FOR REMOVAL
3.7.	COPPER PIPING RUNS THROUGH CEILING SPACES TO PLANTER LOCATIONS
3.8.	DRAIN VALVE TO FLOOR DRAIN SYSTEM FOR SYSTEM WINTERIZATION
4.	IRRIGATION HEADER ASSEMBLY TO BE MOUNTED ON UNISTRUT SUPPORT.
5.	IRRIGATION CONTROLLER TO BE WALL MOUNTED WITH HARD WIRED ELECTRICAL CONNECTION.

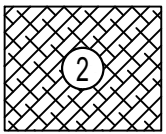
NOTES:

- FINAL PLANS AND SPECIFICATIONS WILL MEET ALL MINIMUM REQUIREMENTS.
- IMPROVEMENTS IN THE R.O.W. ARE SHOWN FOR GENERAL INFORMATION ONLY. FINAL DESIGN AND QUANTITIES WILL BE DETERMINED.
- REFER TO L001 FOR EXISTING TREE PLAN.
- REFER TO L503 FOR LANDSCAPED AREA CALCULATIONS.

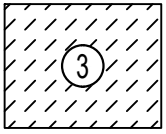
CONCEPT PLANT SCHEDULE



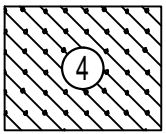
77TH AVE
AQUILEGIA FORMOSA / WESTERN COLUMBINE
DRYOPTERIS ERYTHROSORA / AUTUMN FERN
IRIS TENAX / OREGON IRIS
MAHONIA EURYBRACTEATA 'SILVER SEEDLINGS' / OREGON GRAPE



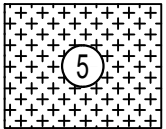
THROUGH BLOCK S
ATHYRIUM FILIX-FEMINA / COMMON LADY FERN
BLECHNUM SPICANT / DEER FERN
CAREX DEWEYANA / DEWEY'S SEDGE
JUNCUS ENSIFOLIUS / SWORDLEAF RUSH
LILIUM PARDALINUM / LEOPARD LILY
MIMULUS GUTTATUS / SEEP MONKEYFLOWER
VIOLA GLABELLA / PIONEER VIOLET



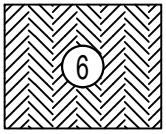
THROUGH BLOCK N
CAMPANULA ROTUNDIFOLIA / COMMON HAREBELL
CAREX PRAEGRACILIS / CALIFORNIA FIELD SEDGE
ERIOPHYLLUM LANATUM / WOOLLY SUNFLOWER
GAULTHERIA SHALLON / SALAL
IRIS TENAX / OREGON IRIS
LILIUM COLUMBIANUM / TIGER LILY
VACCINIUM OVATUM / EVERGREEN HUCKLEBERRY



78TH AVE
ASTER X FRIKARTII 'MONCH' / MONCH ASTER
ASTRANTIA MAJOR 'CLARET' / GREATER MASTERWORT
GERANIUM X CANTABRIGIENSE 'ST. OLA' / ST. OLA HARDY GERANIUM



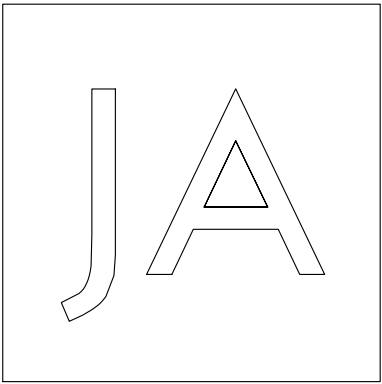
SOUTH PLAZA
BALSAMORHIZA DELTOIDEA / DELTOID BALSAMROOT
CASTILLEJA MINIATA / INDIAN PAINTBRUSH
FESTUCA MAIREI / ATLAS FESCUE
PENSTEMON RYDBERGII / RYDBERG'S PENTEMON
SIDALCEA MALVIFLORA SSP. VIRGATA / ROSE CHECKERMALLOW



COURTYARD
AQUILEGIA FORMOSA / WESTERN COLUMBINE
ASARUM CAUDATUM / BRITISH COLUMBIA WILD GINGER
ASPLENIUM TRICHOMANES / MAIDENHAIR SPLEENWORT
BLECHNUM SPICANT / DEER FERN
BRUNNERA MACROPHYLLA 'LOOKING GLASS' / SIBERIAN BUGLOSS
CYCLAMEN COUM / WINTER CYCLAMEN
DRYOPTERIS ERYTHROSORA / AUTUMN FERN
MAHONIA NERVOSA / OREGON GRAPE
OXALIS OREGANA / REDWOOD SORREL
POLYSTICHUM MUNITUM / WESTERN SWORD FERN
POLYSTICHUM NEOLOBATUM / ASIAN SABER FERN
POLYSTICHUM SETIFERUM 'DIVISILOBUM' / DIVIDED SOFT SHIELD FERN
TOLMIEA MENZIESII / PIGGY-BACK PLANT
WOODWARDIA FIMBRIATA / GIANT CHAIN FERN

TREE SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	COND	SIZE
	AC	9	ACER CIRCINATUM	VINE MAPLE	MULTISTEM,3 STEM, B&B	8'-10' HT
	AK	12	ACER PALMATUM 'KATSURA'	KATSURA JAPANESE MAPLE	MULTISTEM,3 STEM, B&B	8'-10' HT
	AP	11	ACER PSEUDOSIEBOLDIANUM	MAPLE	MULTISTEM,3 STEM, B&B	8'-10' HT
	AT	5	ACER TRIFLORUM	THREE FLOWERED MAPLE	2.5" CAL.	
	AM	5	AZARA MICROPHYLLA	BOX LEAF AZARA	MULTISTEM,3 STEM, B&B	8'-10' HT
	CA	1	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2.5" CAL.	
	FL	6	FRAXINUS LATIFOLIA	OREGON ASH	2.5" CAL.	
	MD2	6	MAGNOLIA DENUDATA	YULAN MAGNOLIA	4" CAL.	
	NA	4	NYSSA SYLVATICA 'AFTERBURNER'	SOUR GUM	2.5" CAL.	
	RP	10	RHAMNUS PURSHIANA	CASCARA	2.5" CAL.	
	SM	6	STEWARTIA MONADELPHA	TALL STEWARTIA	2.5" CAL.	
	SP	3	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	2.5" CAL.	



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DRAWING ISSUE

Date	Description
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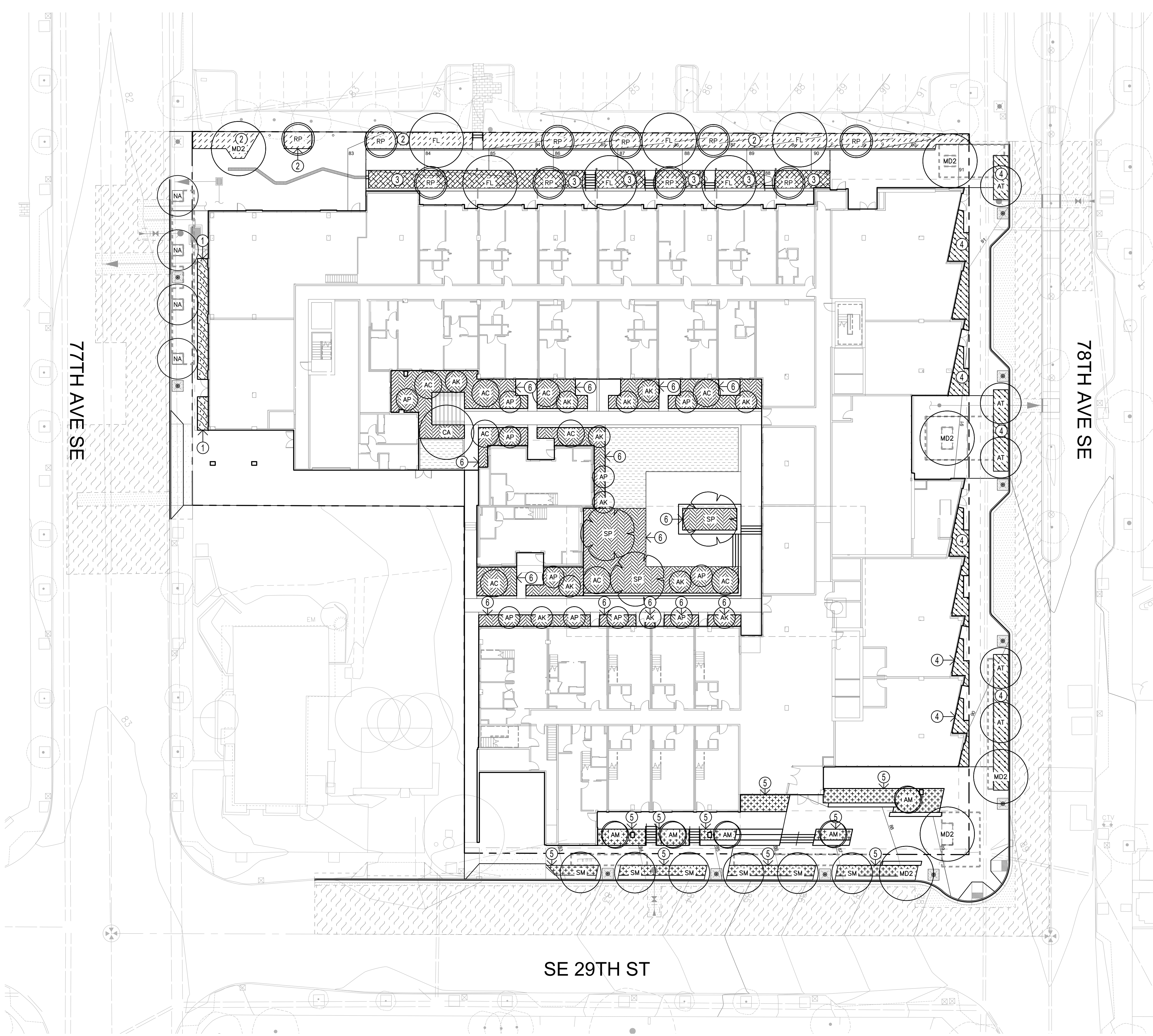
SHEET TITLE

PLANTING
SCHEDULE

SHEET NO.

L500

Drawn	SB
Checked	CB



- NOTES:
- 1. REFER TO L500 FOR DETAILED TREE AND PLANT SCHEDULES.
 - 2. REFER TO L503 FOR LANDSCAPED AREA CALCULATIONS.

CONCEPT PLANT SCHEDULE		
	77TH AVE	223 SF
	THROUGH BLOCK S	1,011 SF
	THROUGH BLOCK N	1,471 SF
	78TH AVE	1,113 SF
	SOUTH PLAZA	1,105 SF
	COURTYARD	3,610 SF

TREE SCHEDULE			
TREES	CODE	BOTANICAL NAME	COMMON NAME
	AC	ACER CIRCINATUM	VINE MAPLE
	AK	ACER PALMATUM 'KATSURA'	KATSURA JAPANESE MAPLE
	AP	ACER PSEUDOSIEBOLDIANUM	MAPLE
	AT	ACER TRIFLORUM	THREE FLOWERED MAPLE
	AM	AZARA MICROPHYLLA	BOX LEAF AZARA
	CA	CARPINUS CAROLINIANA	AMERICAN HORNBEAM
	FL	FRAXINUS LATIFOLIA	OREGON ASH
	MD2	MAGNOLIA DENUDATA	YULAN MAGNOLIA
	NA	NYSSA SYLVATICA 'AFTERBURNER'	SOUR GUM
	RP	RHAMNUS PURSHIANA	CASCARA
	SM	STEWARTIA MONADELPHA	TALL STEWARTIA
	SP	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA

1

LANDSCAPE PLANTING PLAN

SCALE: 1" = 20'

0

10'

20'

40'

60'

↑

JA

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CLAYTON BEAUDON
LANDSCAPE ARCHITECT
NO. 1287 EXP. 04/06/2020

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SHEET TITLE

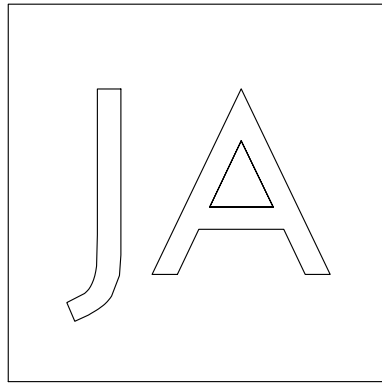
LANDSCAPE PLANTING PLAN

SHEET NO.

L501

Drawn SB

Checked CB



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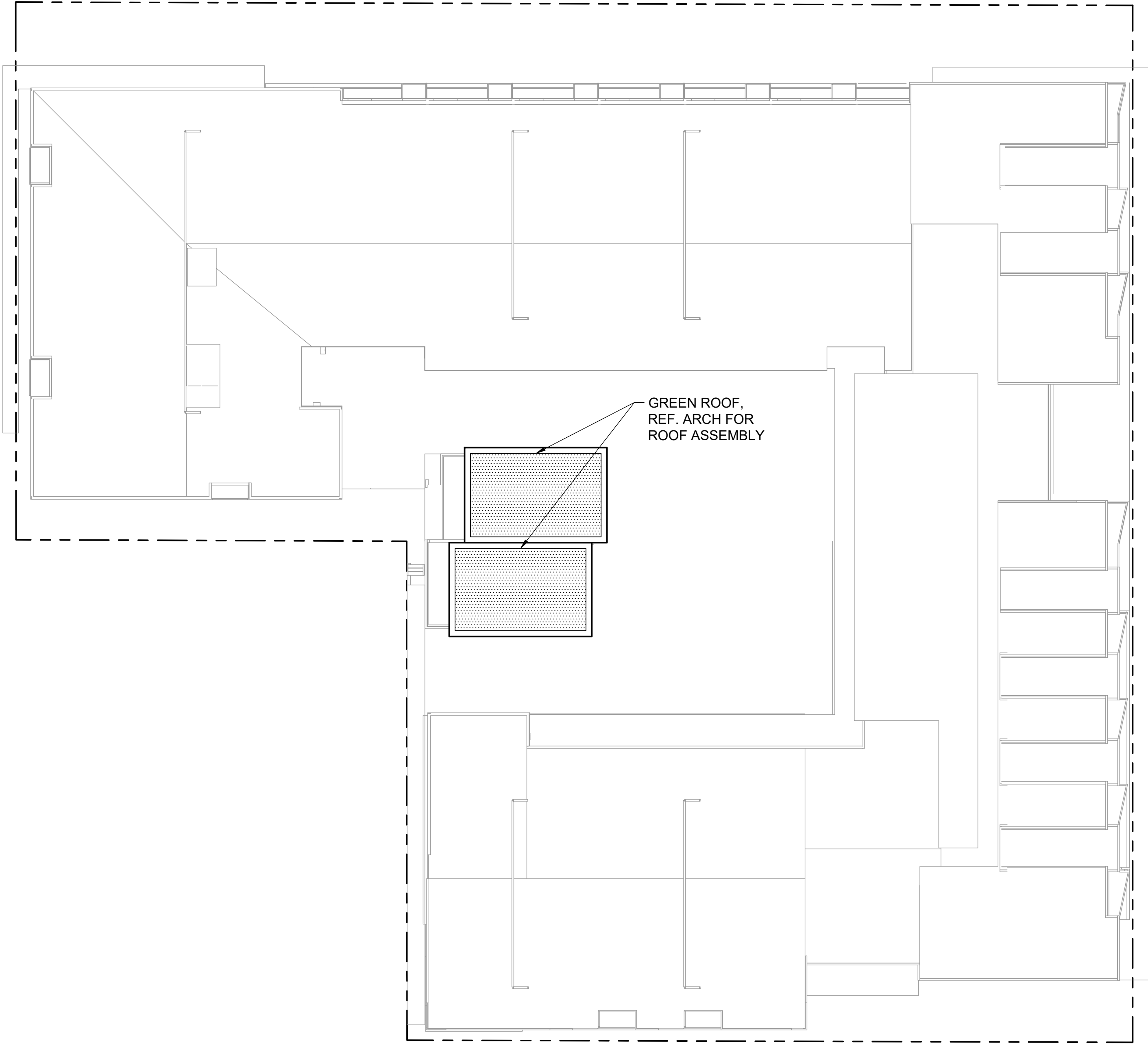
SHEET TITLE

LEVEL 3
PLANTING PLAN

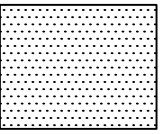
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L502

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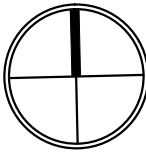


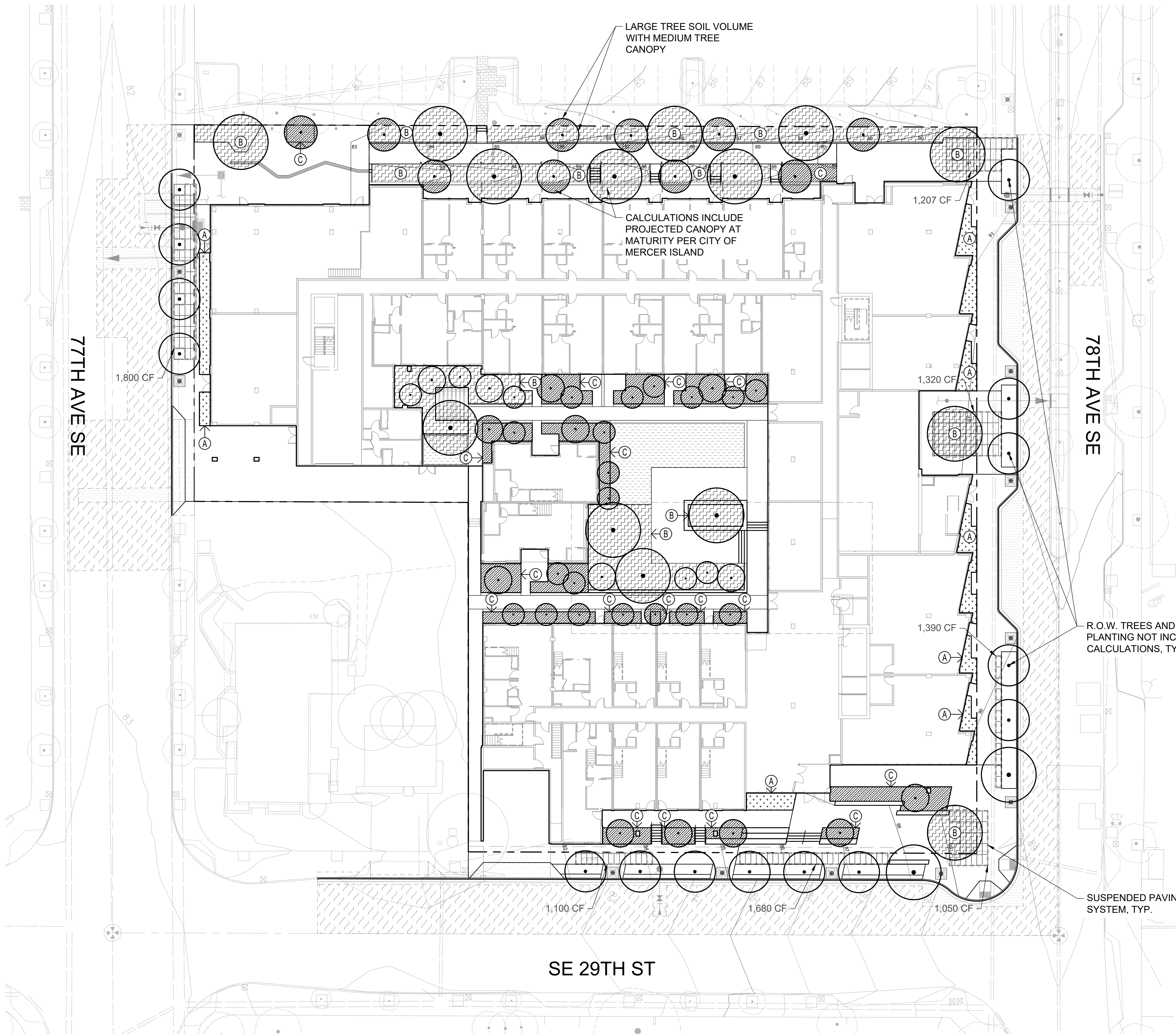
GREEN ROOF SCHEDULE



GREEN ROOFS 1,420 SF
SEMPERGREEN SEDUM MIX BLANKET

1 LEVEL 3 PLANTING PLAN
SCALE: 1" = 20'





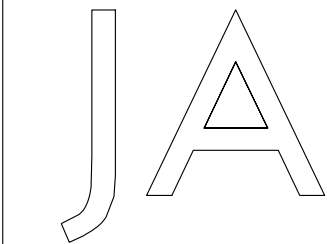
LANDSCAPED AREA REQUIREMENT

KEY	DESCRIPTION	AREA	CREDIT	TOTAL AREA
A	GROUND LEVEL PLANTING BEDS	915	100%	915
B	PLANTING AREAS SUPPORTING LARGE TREES (HEIGHT > 30' AT MATURITY)	6,881	200%	13,762
C	PLANTING AREAS SUPPORTING MEDIUM TREES (HEIGHT > 15' AT MATURITY)	3,364	150%	5,046
REF. L502	GREEN ROOFS	1,420	50%	710
LANDSCAPED AREA PROVIDED				20,433

PER MICC 19.11.070:

SITE AREA: 63,780 SF
REQUIRED LANDSCAPED AREA (25%): 15,945 SF
LANDSCAPED AREA PROVIDED: 20,433 SF

- NOTES:
- ALL R.O.W. TREES TO INCLUDE A MINIMUM OF VOLUME OF 500 CF (CUBIC FEET) OF SOIL PER TREE.
 - SUSPENDED PAVING SYSTEM (SILVA CELL OR APPROVED EQUAL) INCLUDED TO FACILITATE SOIL VOLUME IN CONSTRAINED R.O.W. CONDITIONS.
 - CALCULATIONS INCLUDE PROJECTED CANOPY AT MATURITY PER CITY OF MERCER ISLAND.



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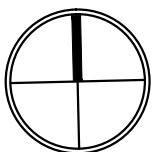
LANDSCAPED
AREA DIAGRAM

SHEET NO.

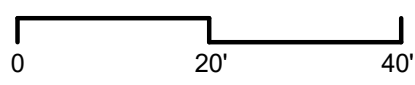
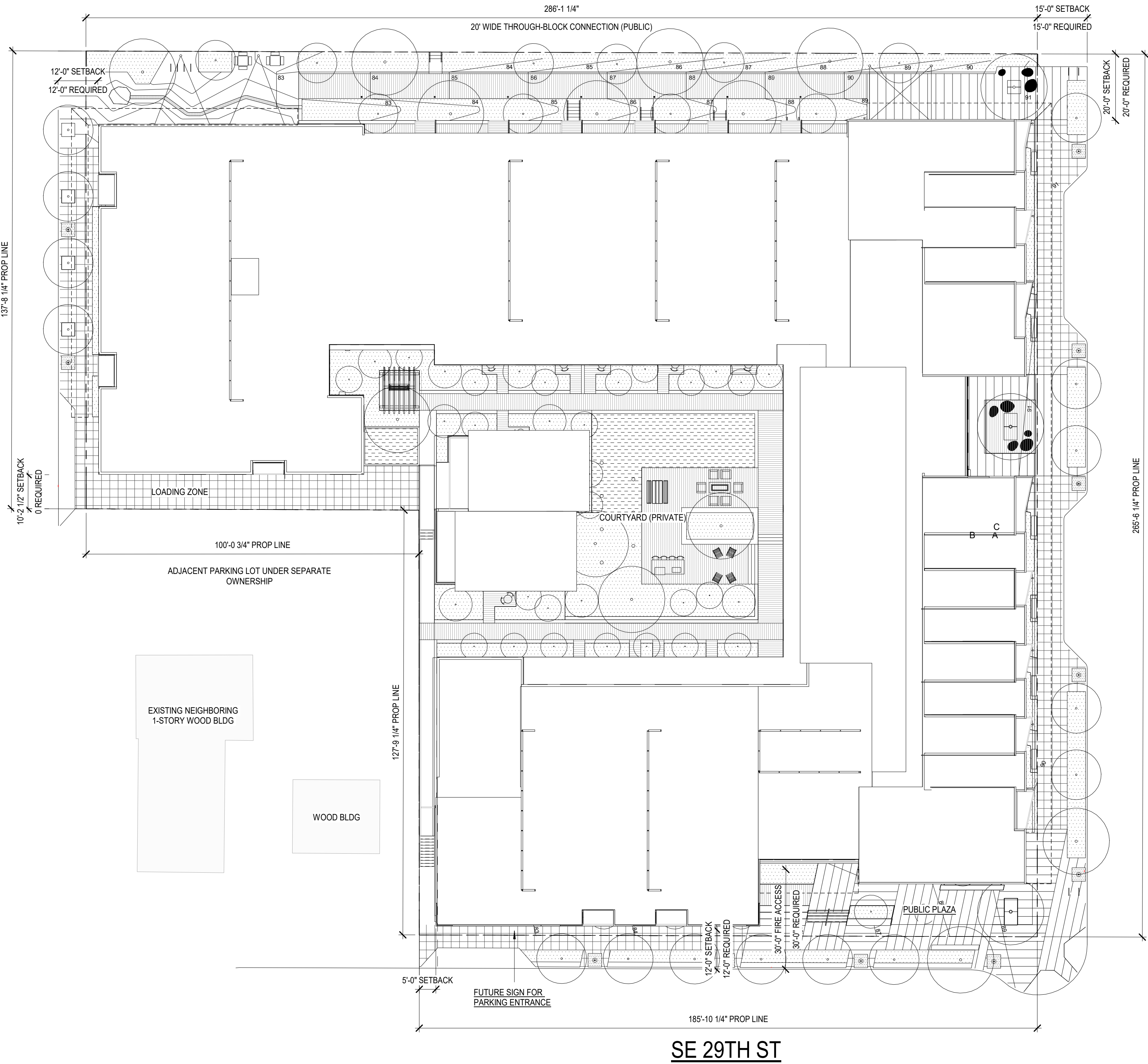
L503

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Checked CB

1 LANDSCAPED AREA DIAGRAM
SCALE: 1" = 20'



1 SITE PLAN
1" = 20'-0"



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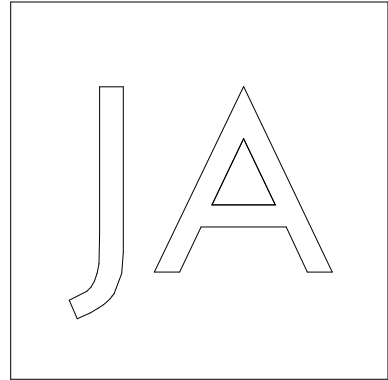
SHEET TITLE

SITE PLAN

SHEET NO.

A100

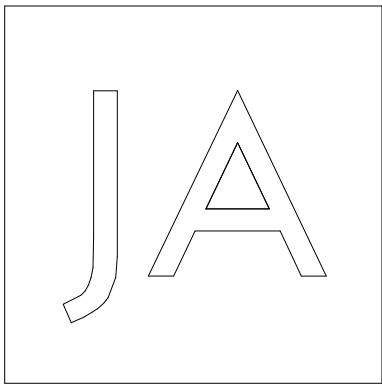
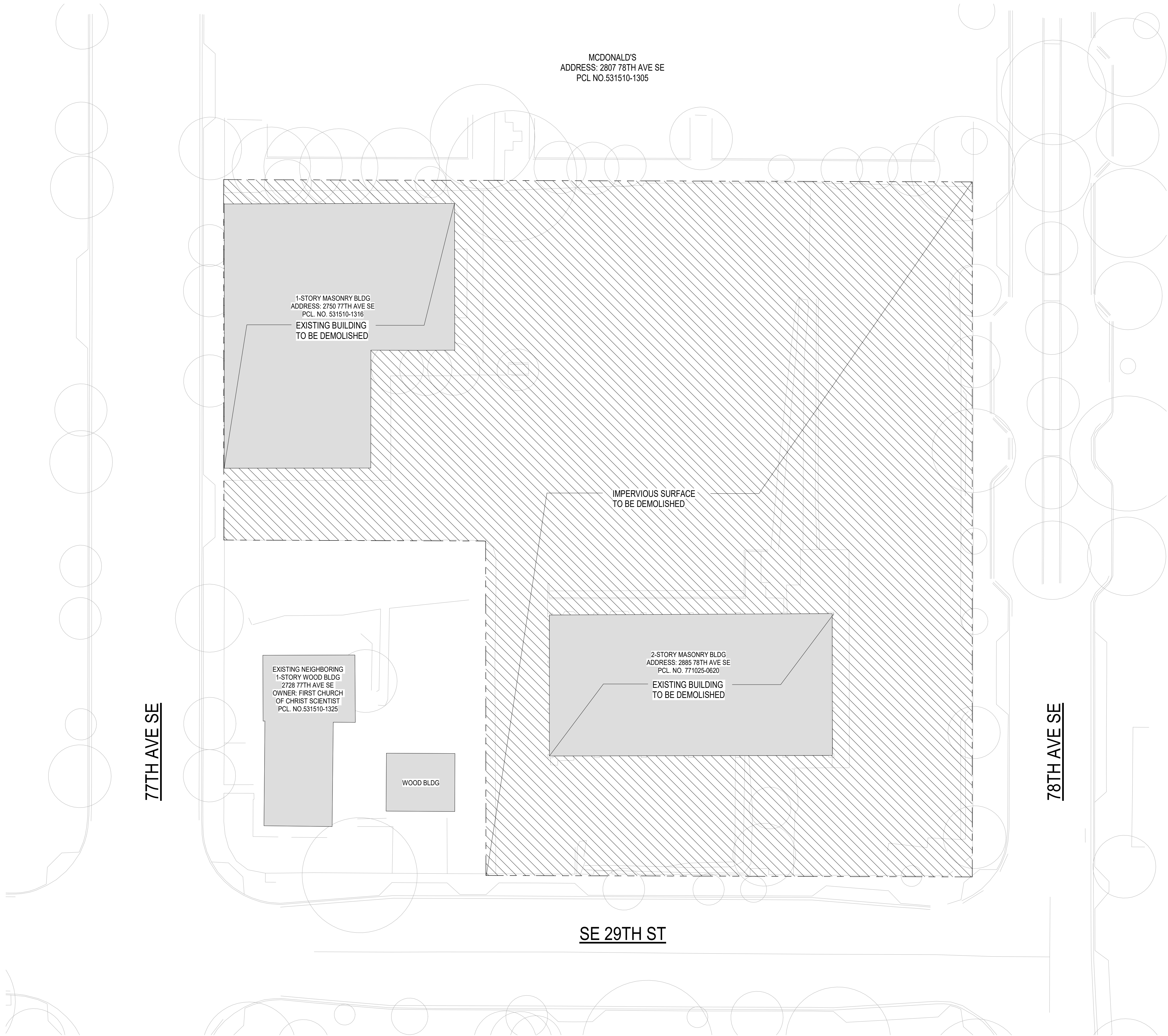
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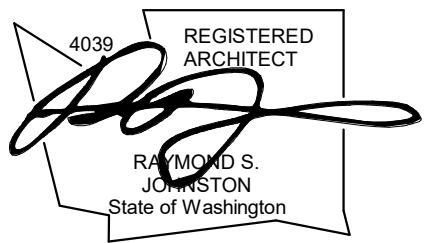
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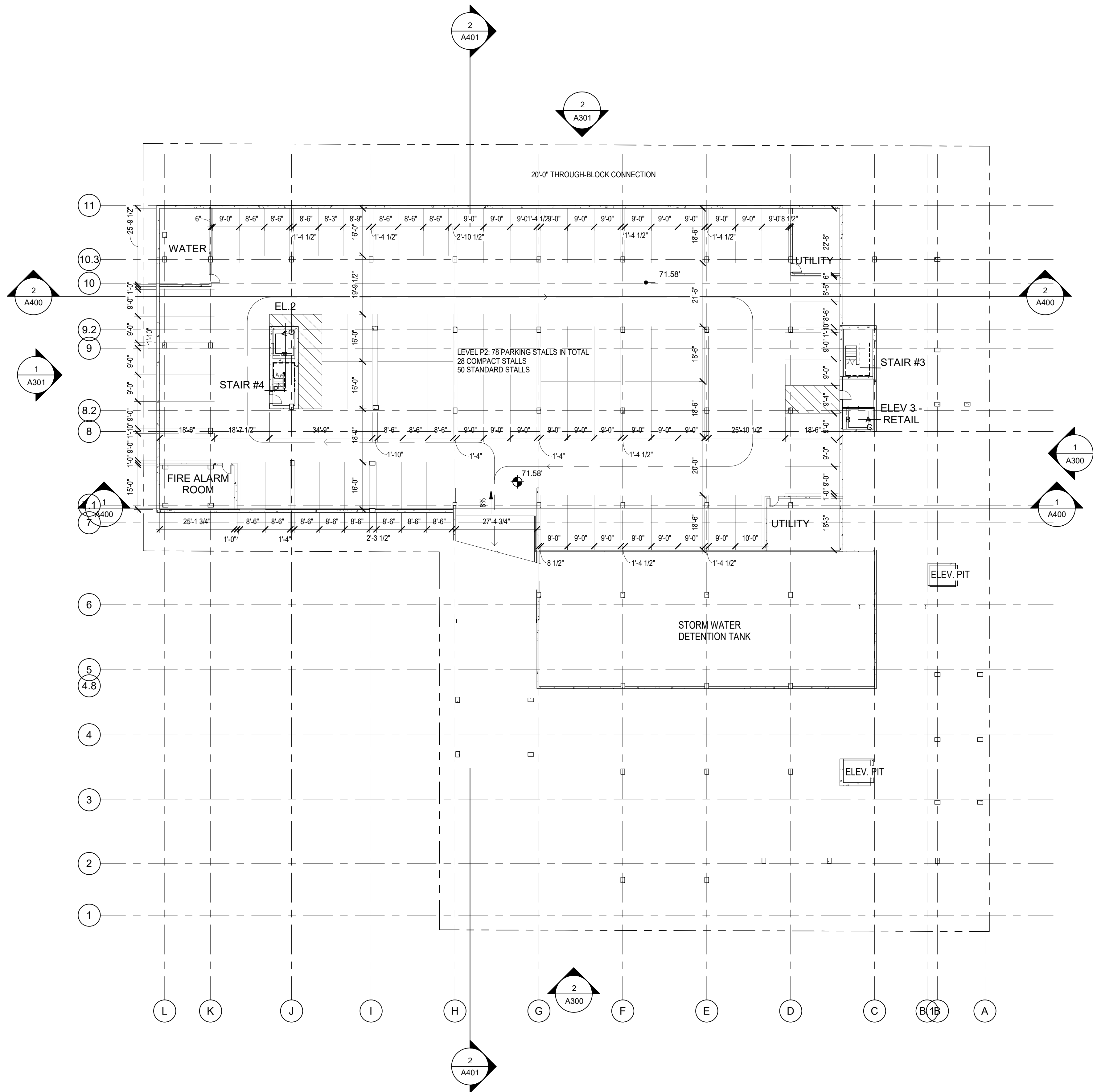
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DRAWING ISSUE	
Date	Description
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SHEET TITLE	
DEMO PLAN	
SHEET NO.	
A101	
Drawn	Checked

1 DEMO PLAN

1" = 20'-0"



1 LEVEL P-2
1" = 20'-0"

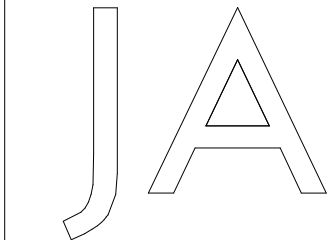
Parking Schedule	(Parking Count)	
	Type	Count
COMPACT STALL - 8.5x16'	28	LEVEL P-2
	21	LEVEL P-1
	50	LEVEL P-2
	102	LEVEL P-1
Grand total	201	

TOTAL COMPACT STALLS: 49
COMPACT STALLS PERCENTAGE: 49 / 201 = 24.37% < 25%

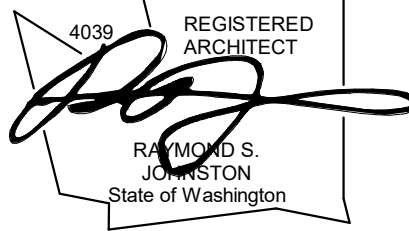
COMPACT STALLS: NO MORE THAN 25% OF THE REQUIRED OFF-STREET PARKING SPACES

TOTAL RESIDENTIAL PARKING STALLS: 168
REQUIRED ADA STALLS: 168 x 2% = 4 STALLS
INCLUDING 1 ADA VAN STALL

TOTAL RETAIL PARKING STALLS: 35
REQUIRED ADA STALLS: 2
INCLUDING 1 ADA VAN STALL



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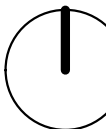
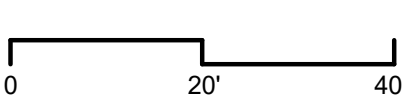
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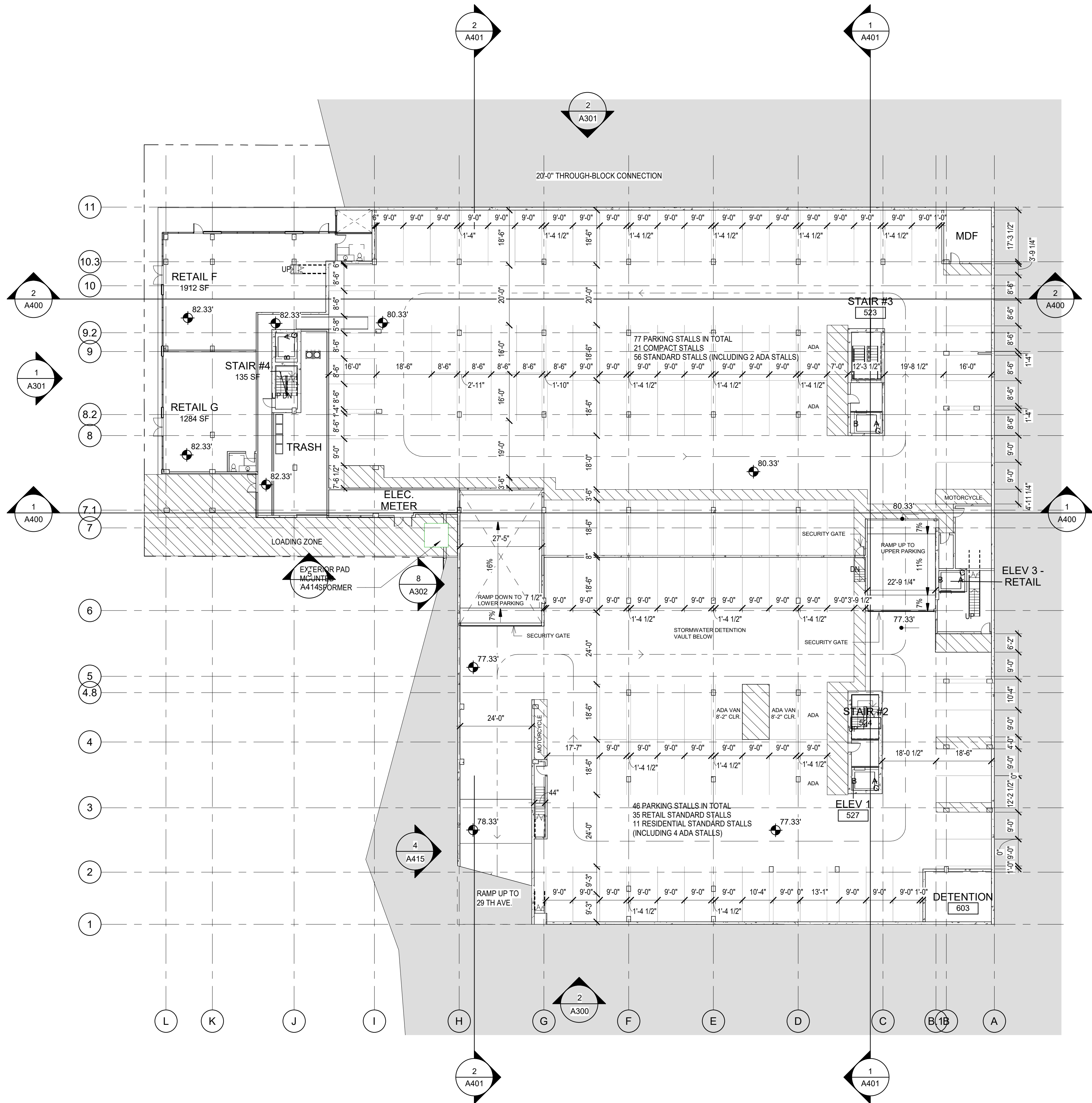
**LEVEL P2 FLOOR
PLAN**

SHEET NO.

A200.1

Drawn
Checked





1 LEVEL P-1
1" = 20'-0"

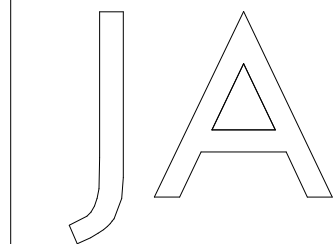
Parking Schedule	(Parking Count)	
Type	Count	Level
COMPACT STALL - 8.5x16'	28	LEVEL P-2
COMPACT STALL - 8.5x16'	21	LEVEL P-1
STANDARD STALL - 9x18.5'	50	LEVEL P-2
STANDARD STALL - 9x18.5'	102	LEVEL P-1
Grand total	201	

TOTAL COMPACT STALLS: 49
COMPACT STALLS PERCENTAGE: 49 / 201 = 24.37% < 25%

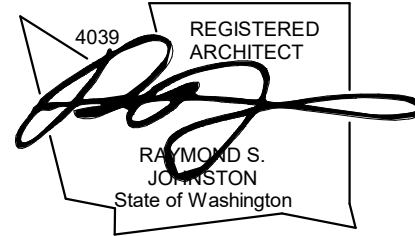
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INCLUDING 1 ADA VAN STALL

TOTAL RETAIL PARKING STALLS: 35
REQUIRED ADA STALLS: 2
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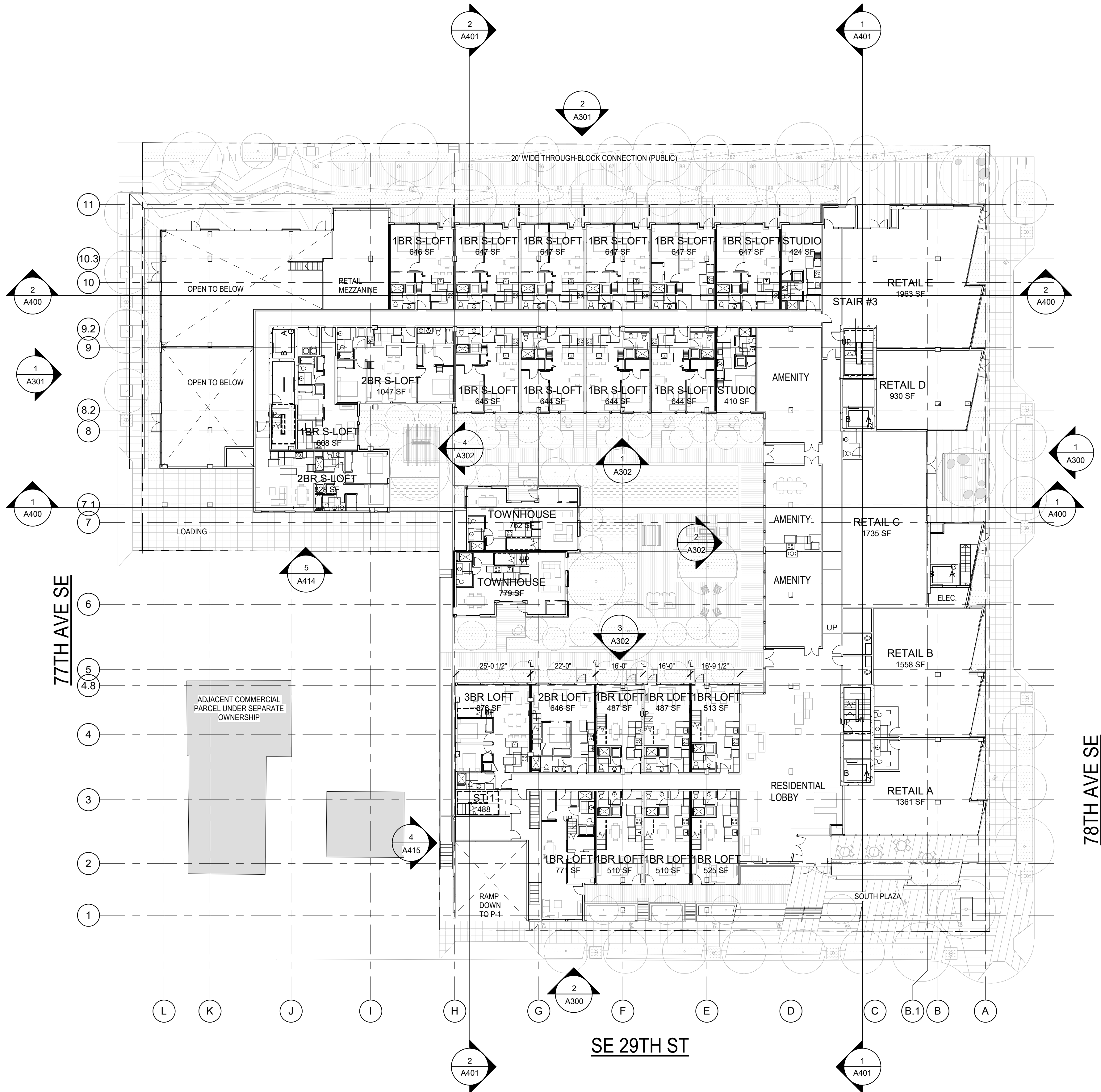
LEVEL P1 FLOOR
PLAN

SHEET NO.

A200.2

Drawn

Checked

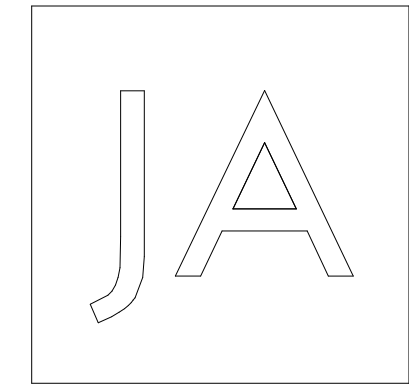


1 LEVEL 1 (AT 1S)
1" = 20'-0"

GENERAL - FLOOR PLAN NOTES

- DO NOT SCALE DRAWINGS.
- PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR CENTERLINE OF ROUGH OPENINGS, UON. CONTACT ARCHITECT FOR CLARIFICATIONS.
- DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISH OPENING SIX INCHES FROM THE ADJACENT WALL AT THE EXTERIOR AND FOUR INCHES FROM THE ADJACENT WALL.
- FOR KITCHEN / BATH / WASHER-DRYER FAN LOCATIONS, SEE MECHANICAL DWGS.
- SEE SHEET A-XXX & A-XXX FOR WINDOW SCHEDULE AND DETAILS.
- SEE SHEET A-XXX & A-XXX FOR DOOR SCHEDULE AND DETAILS.
- SEE SHEET A-XXX & A-XXX FOR WALL ASSEMBLIES.
- INSTALL BLOCKING FOR GRAB BARS IN ALL BATHROOM WALLS SURROUNDING WATER CLOSET, BATHTUB AND SHOWER, REF. A-XXX.
- HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT OR RAMP RUN - PER IBC 1012.5

Name	Count	Retail Schedule	
		Area	Level
LEVEL P-1			
RETAIL F	1	1912 SF	LEVEL P-1
RETAIL G	1	1284 SF	LEVEL P-1
LEVEL 1S			
RETAIL A	1	1361 SF	LEVEL 1S
RETAIL B	1	1558 SF	LEVEL 1S
RETAIL C	1	1735 SF	LEVEL 1S
RETAIL D	1	930 SF	LEVEL 1S
RETAIL E	1	1963 SF	LEVEL 1S
Grand total	7	10742 SF	



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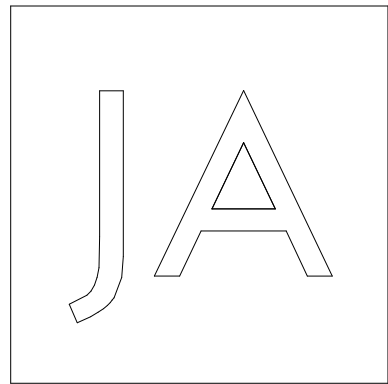
SHEET TITLE

LEVEL 1 FLOOR
PLAN

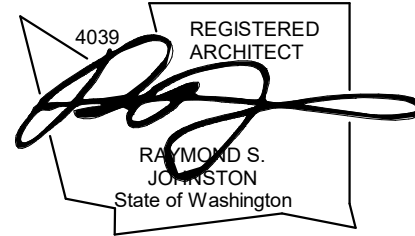
SHEET NO.

A201

Drawn
Checked



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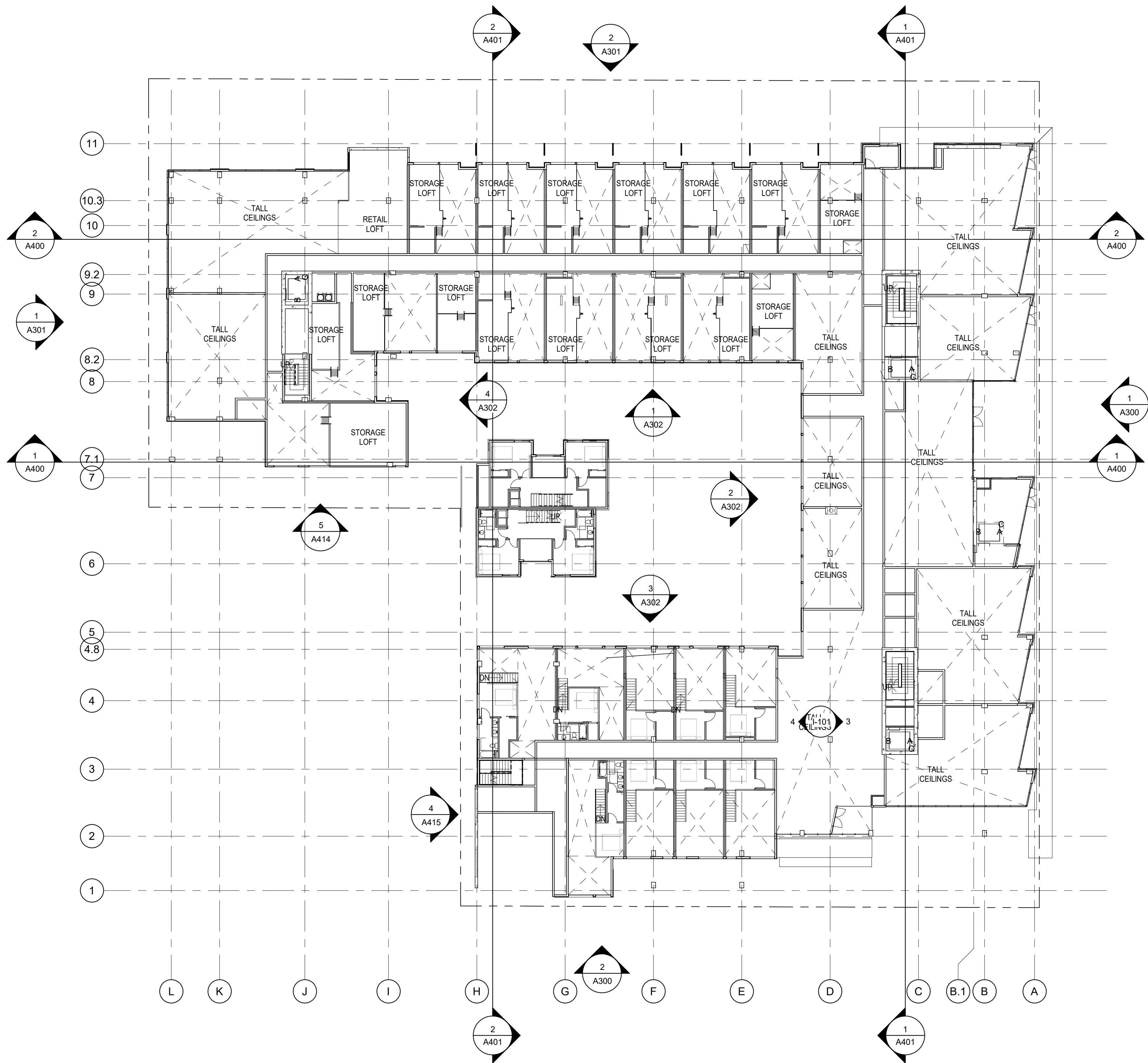
SHEET TITLE

LEVEL 1M
FLOOR PLAN

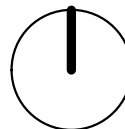
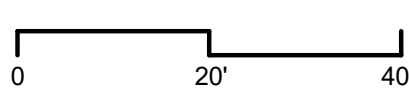
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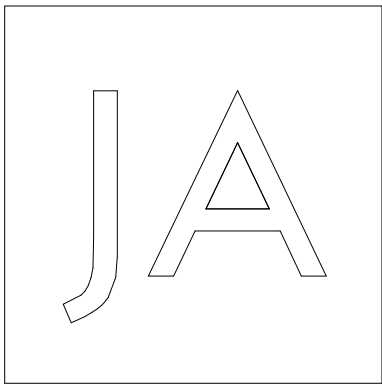
A201.1

Drawn
Checked



1 LEVEL M-1S
1" = 20'-0"





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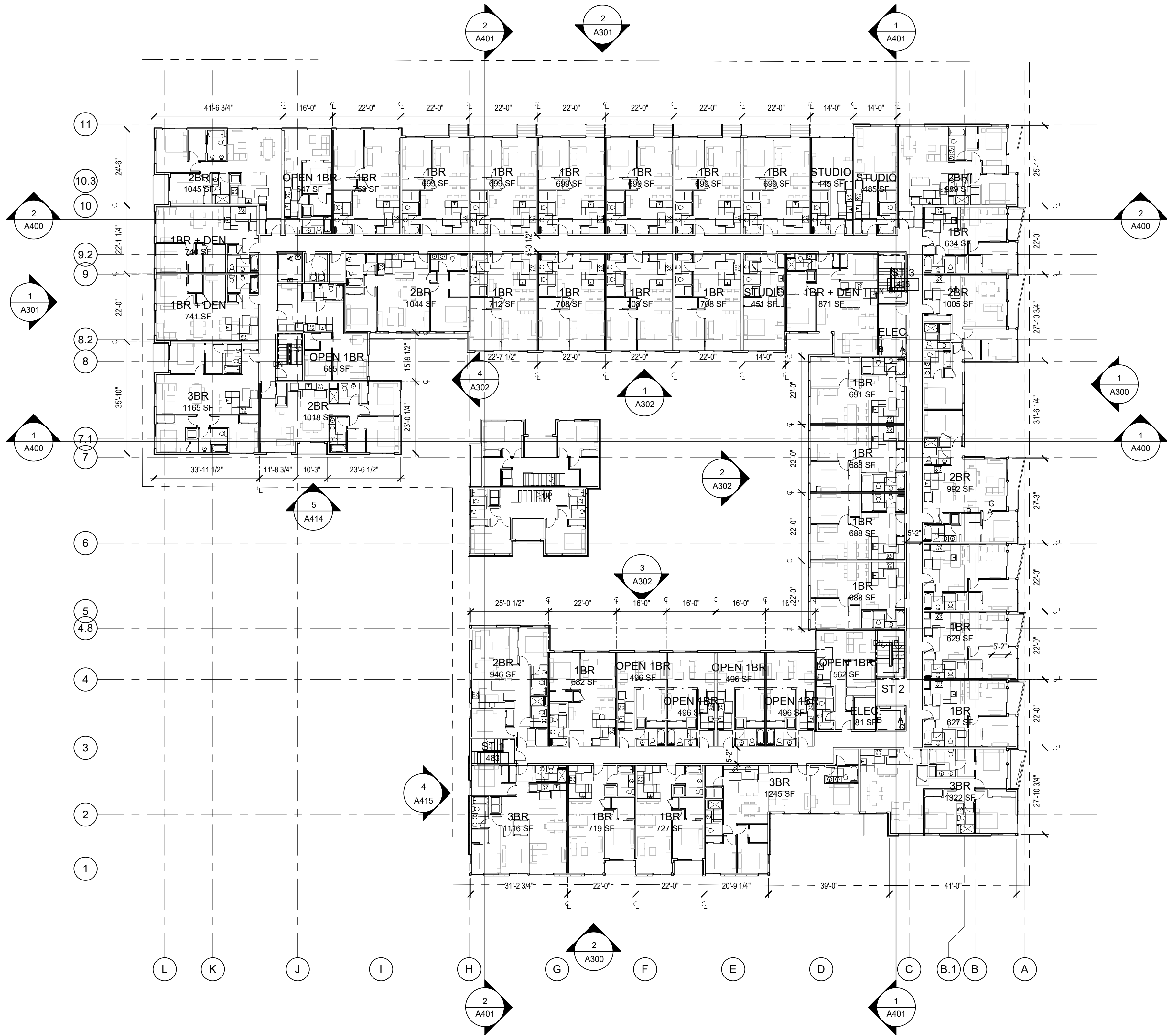
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DRAWING ISSUE	
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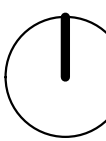
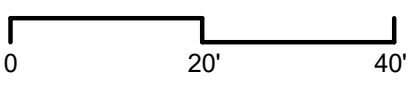
SHEET TITLE	
LEVEL 2 FLOOR PLAN	
SHEET NO.	
A202	
Drawn	Checked

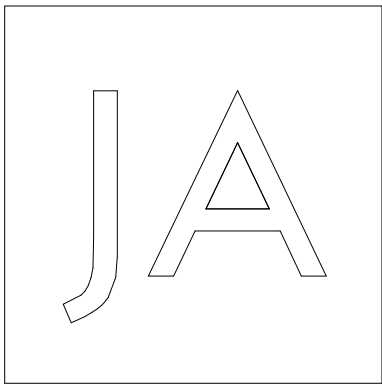
GENERAL - FLOOR PLAN NOTES

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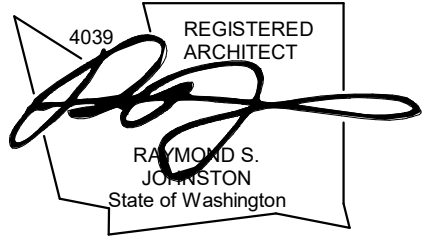


1 LEVEL 2
1" = 20'-0"





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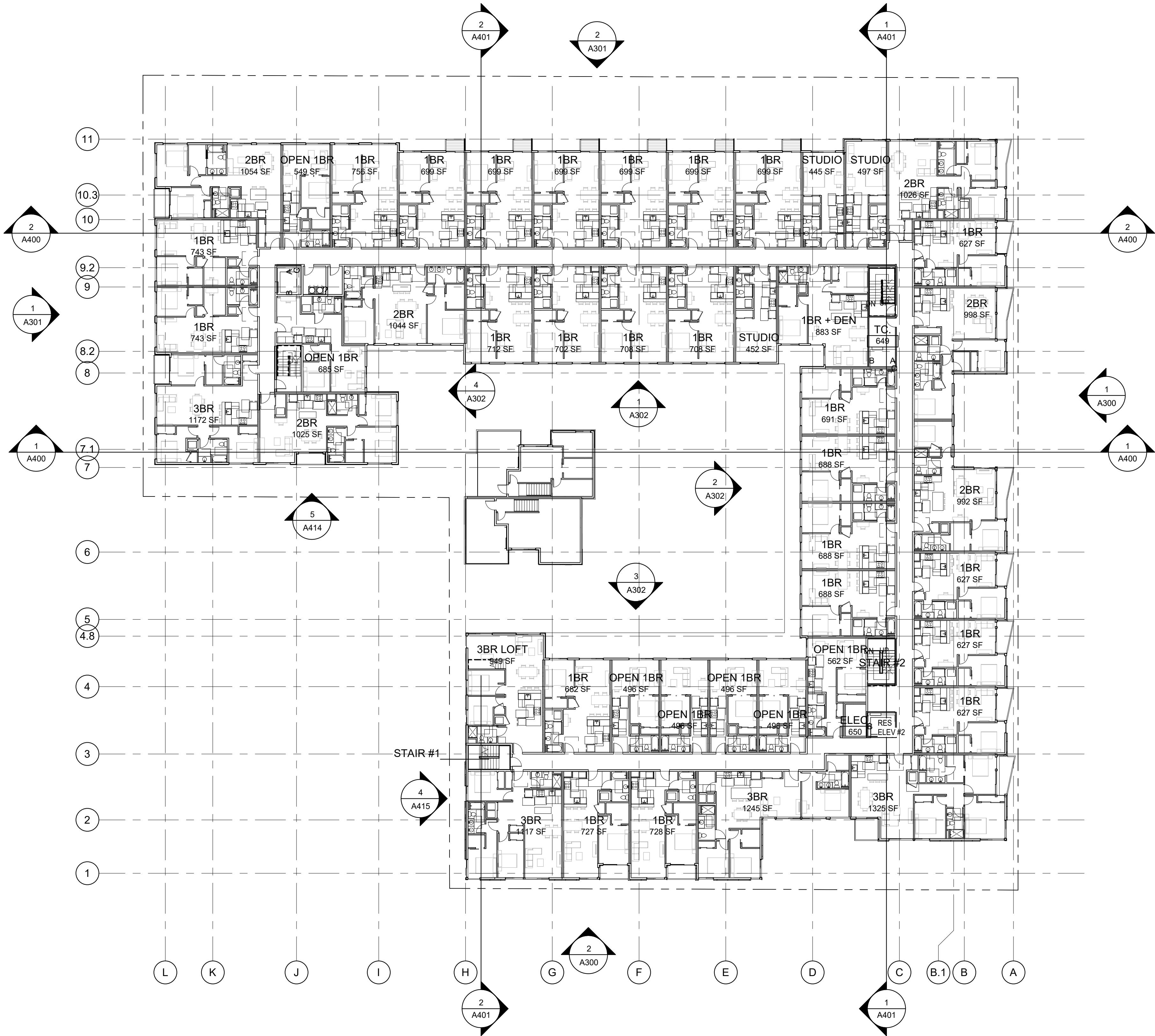
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Date	Description
12/24/2019	LAND USE SET

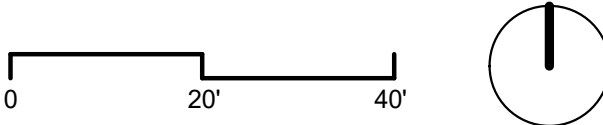
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LEVEL 3 FLOOR PLAN	
SHEET NO.	
A203	
Drawn	Checked

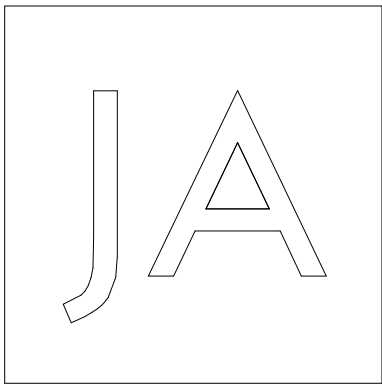
GENERAL - FLOOR PLAN NOTES

- DO NOT SCALE DRAWINGS.
- PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR CENTERLINE OF ROUGH OPENINGS. UON. CONTACT ARCHITECT FOR CLARIFICATIONS.
- DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISH OPENING SIX INCHES FROM THE ADJACENT WALL AT THE EXTERIOR AND FOUR INCHES FROM THE ADJACENT WALL.
- FOR KITCHEN / BATH / WASHER-DRYER FAN LOCATIONS, SEE MECHANICAL DWGS.
- SEE SHEET A-XXX & A-XXX FOR WINDOW SCHEDULE AND DETAILS.
- SEE SHEET A-XXX & A-XXX FOR DOOR SCHEDULE AND DETAILS.
- SEE SHEET A-XXX & A-XXX FOR WALL ASSEMBLIES.
- INSTALL BLOCKING FOR GRAB BARS IN ALL BATHROOM WALLS SURROUNDING WATER CLOSET, BATHTUB AND SHOWER. REF. A-XXX.
- HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT OR RAMP RUN - PER IBC 1012.5



1 LEVEL 3
1" = 20'-0"





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t 206.523.6150
f 206.523.9382



NOT FOR
CONSTRUCTION

MERCER ISLAND
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2885 78TH AVE SE
MERCER ISLAND, WA

DRAWING ISSUE	
Date	Description
12/24/2019	LAND USE SET

SHEET TITLE

LEVEL 4 FLOOR
PLAN

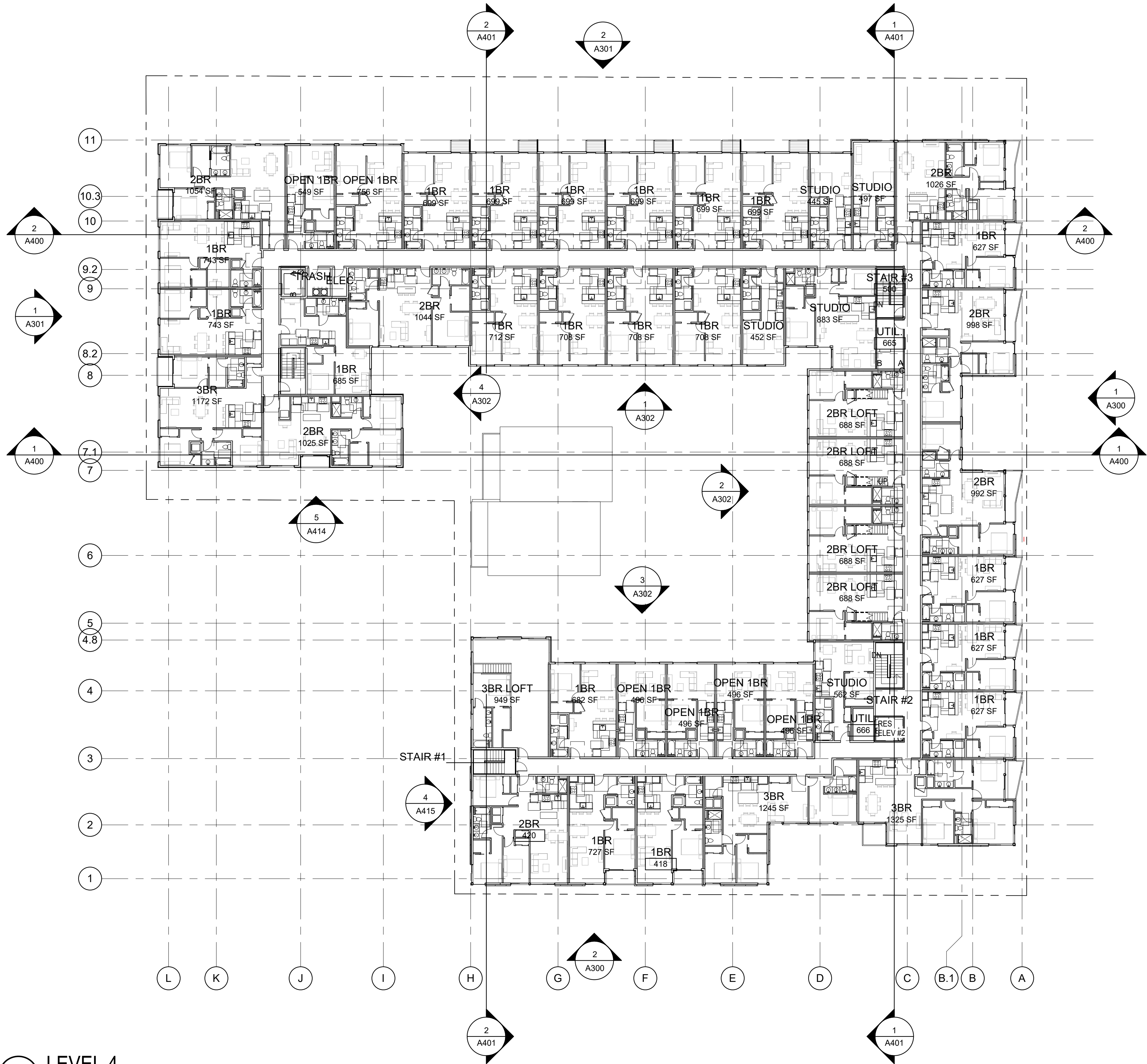
SHEET NO.

A204

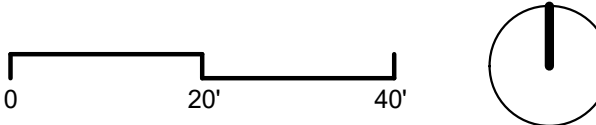
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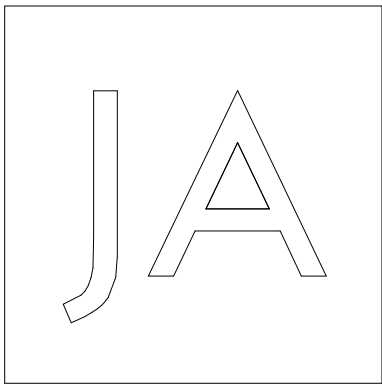
GENERAL - FLOOR PLAN NOTES

- DO NOT SCALE DRAWINGS.
- PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR CENTERLINE OF ROUGH OPENINGS, UON. CONTACT ARCHITECT FOR CLARIFICATIONS.
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- SEE SHEET A-XXX & A-XXX FOR DOOR SCHEDULE AND DETAILS.
- SEE SHEET A-XXX & A-XXX FOR WALL ASSEMBLIES.
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- HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT OR RAMP RUN - PER IBC 1012.5

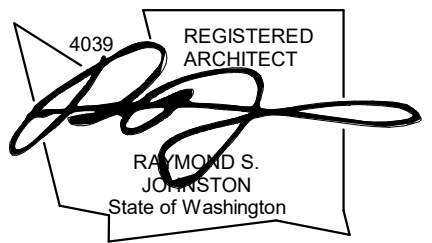


1 LEVEL 4
1" = 20'-0"





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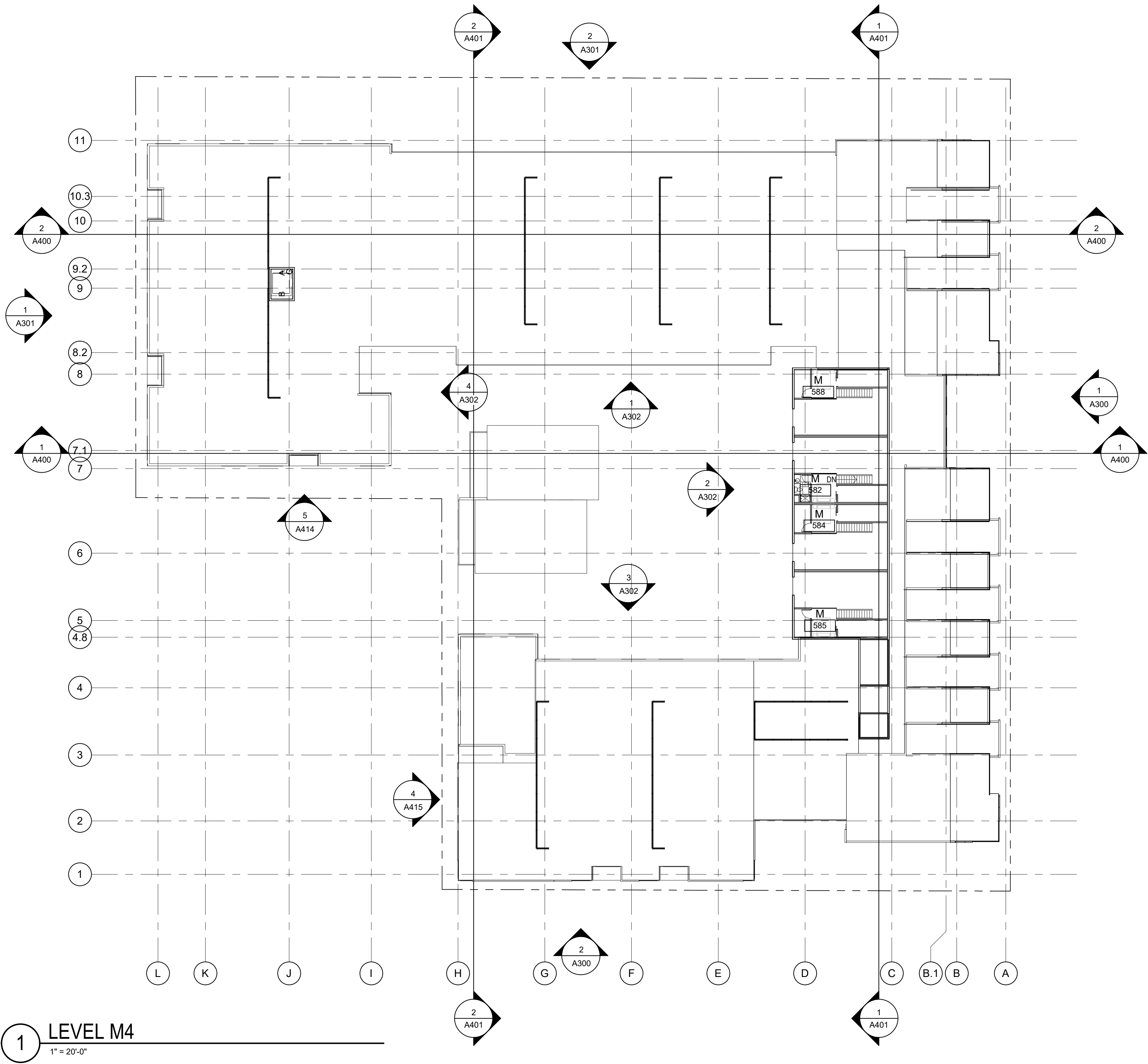
XING HUA GROUP LTD.
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MERCER ISLAND, WA

DRAWING ISSUE	
Date	Description
12/24/2019	LAND USE SET

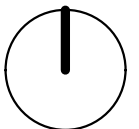
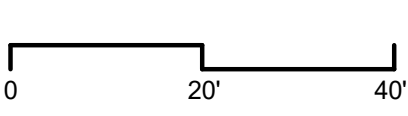
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LEVEL 4M FLOOR PLAN	
SHEET NO.	
A204.1	
Drawn	Checked

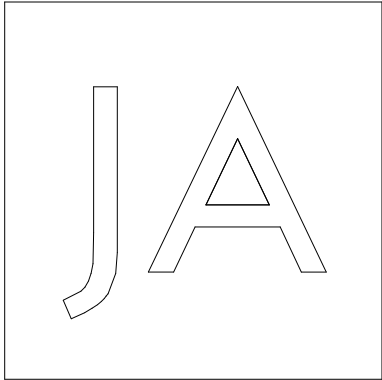
GENERAL - FLOOR PLAN NOTES

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- SEE SHEET A-XXX & A-XXX FOR DOOR SCHEDULE AND DETAILS.
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- HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT OR RAMP RUN - PER IBC 1012.5

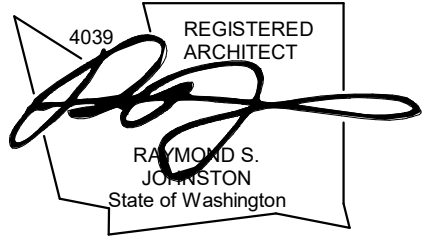


1 LEVEL M4
1" = 20'-0"





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DRAWING ISSUE	
Date	Description
12/24/2019	LAND USE SET

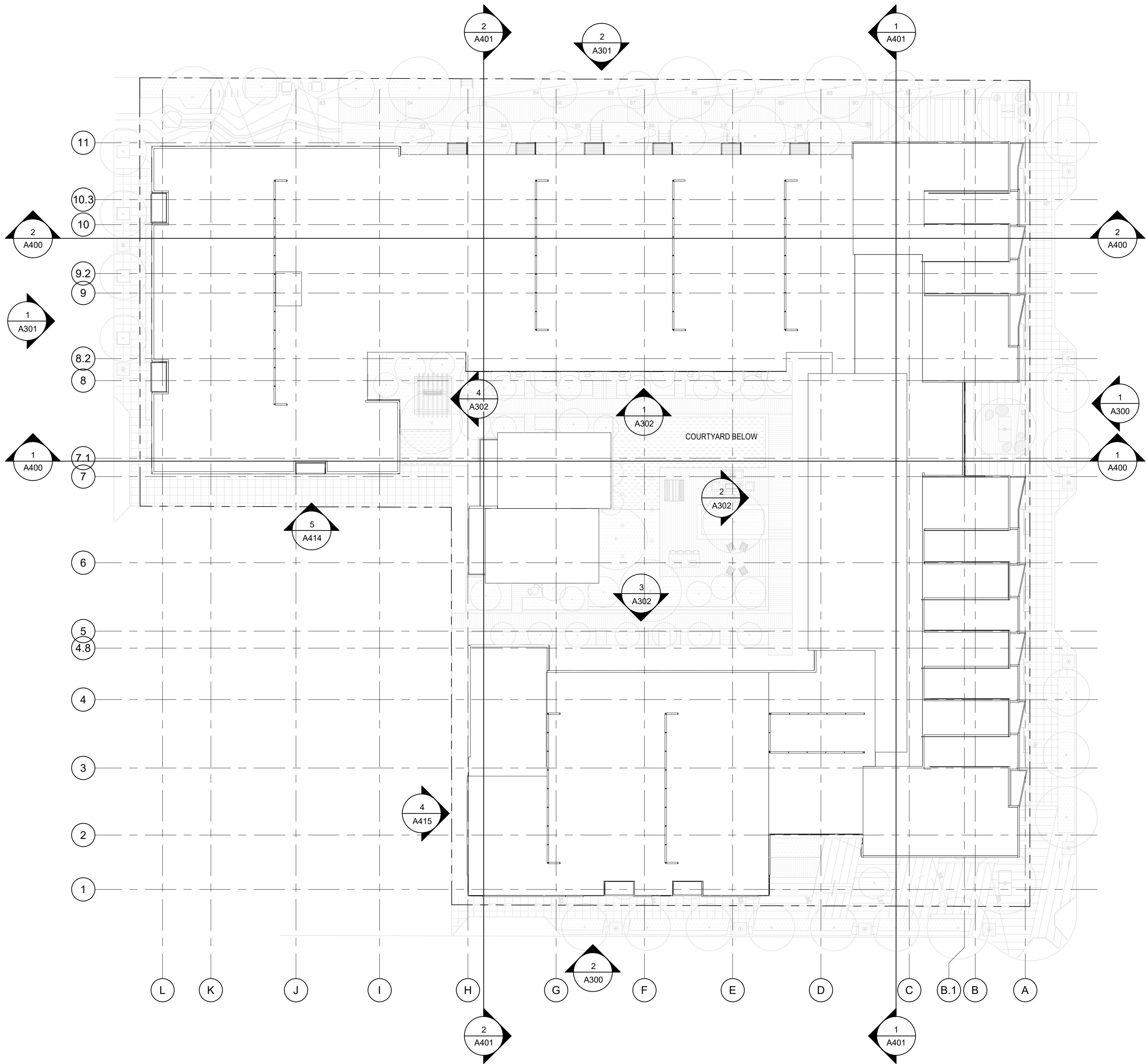
SHEET TITLE

ROOF PLAN

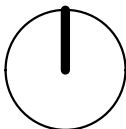
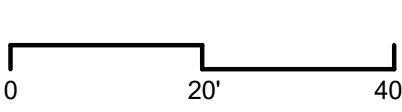
SHEET NO.

A205

Drawn
Checked



1 ROOF
1" = 20'-0"

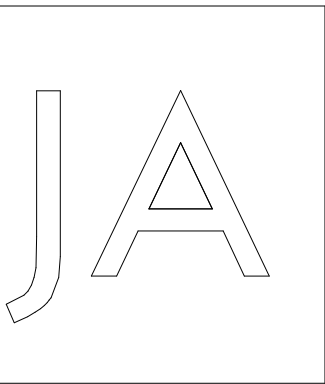




1 EAST ELEVATION (78TH AVE SE)
3/32" = 1'-0"



2 SOUTH ELEVATION (SE 29TH ST)
3/32" = 1'-0"



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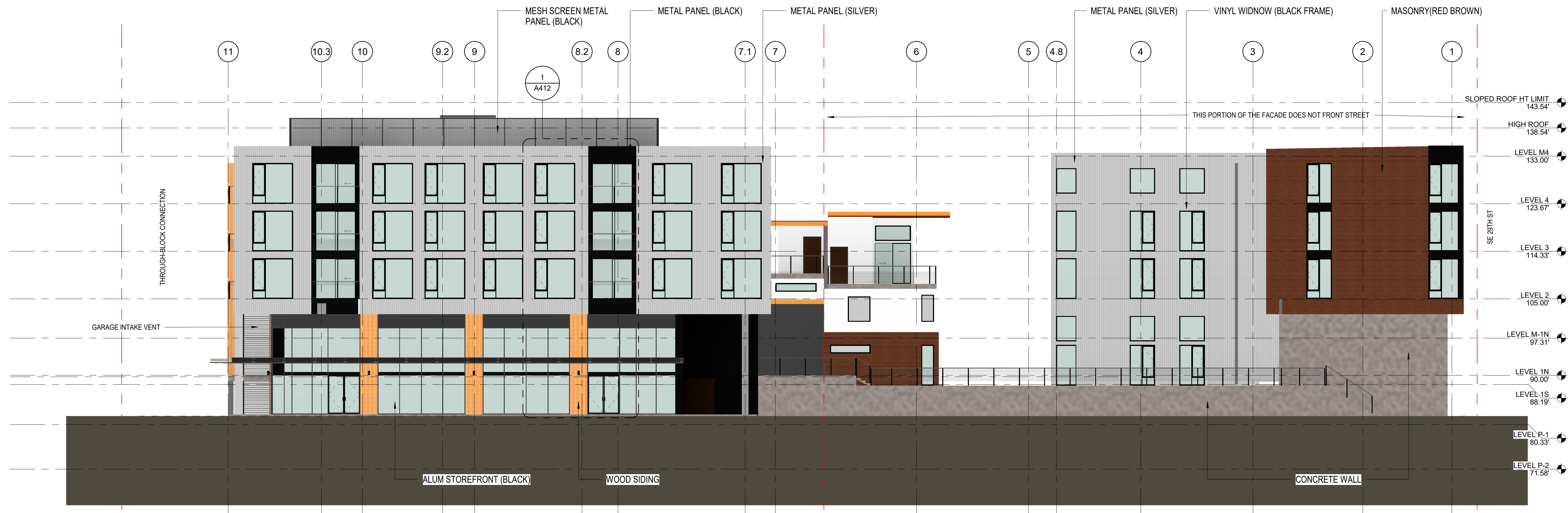
Date	Description
12/24/2019	LAND USE SET

SHEET TITLE
OVERALL
ELEVATIONS E
AND S

SHEET NO.

A300

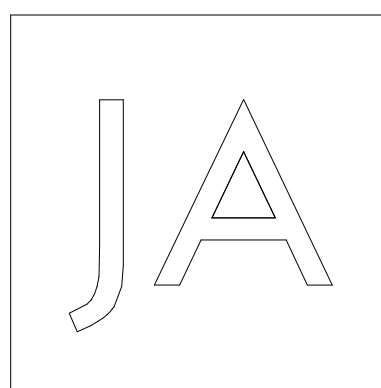
Drawn
Checked



1 WEST ELEVATION (77TH AVE SE)
3/32" = 1'-0"



2 NORTH ELEVATION (THROUGH-BLOCK CONNECTION)
3/32" = 1'-0"



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MERCER ISLAND, WA

DRAWING ISSUE

Date	Description
12/24/2019	LAND USE SET

SHEET TITLE
OVERALL
ELEVATIONS W
AND N

SHEET NO.

A301

Drawn
Checked



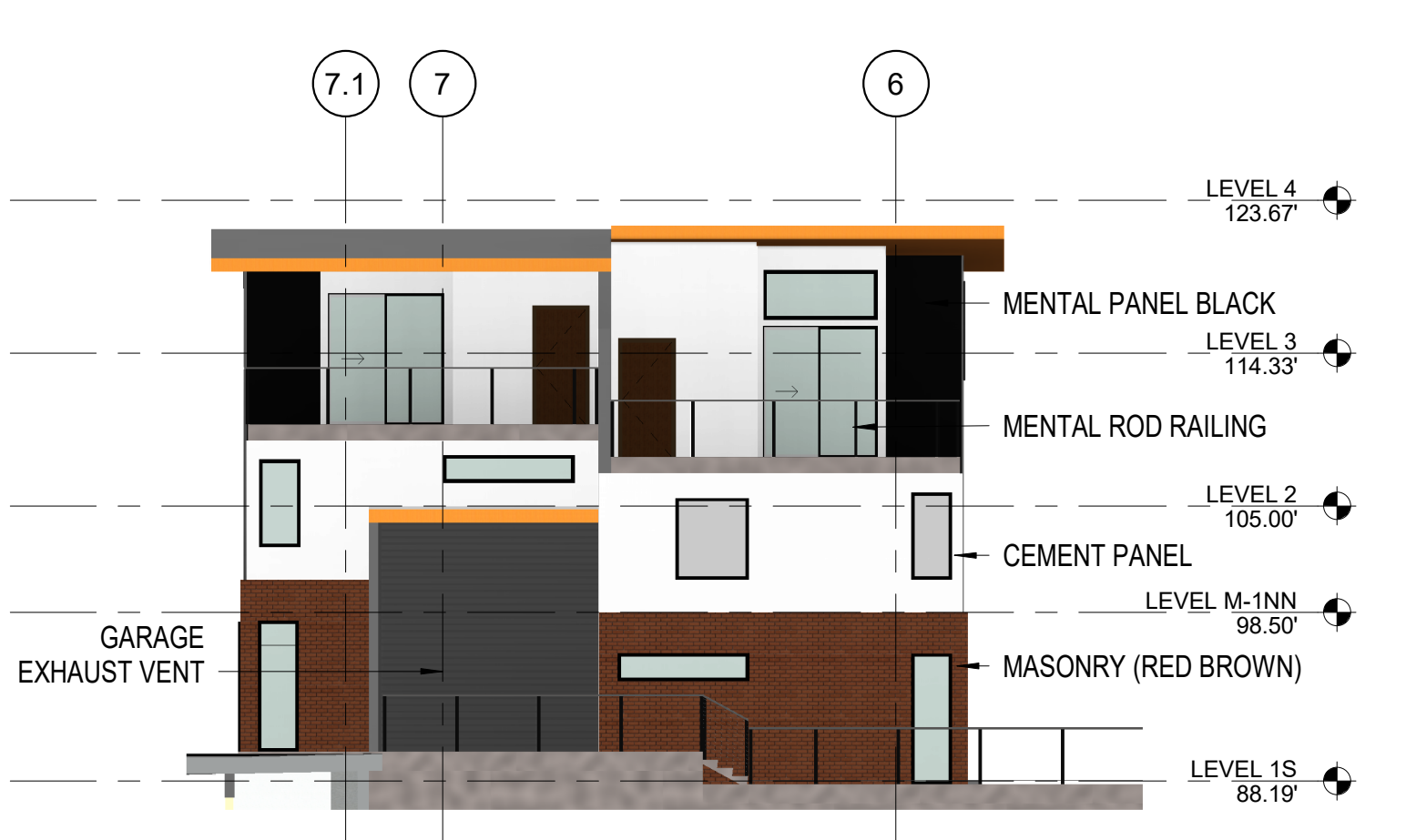
5 TOWNHOUSE - EAST
3/32" = 1'-0"



6 TOWNHOUSE - NORTH
3/32" = 1'-0"



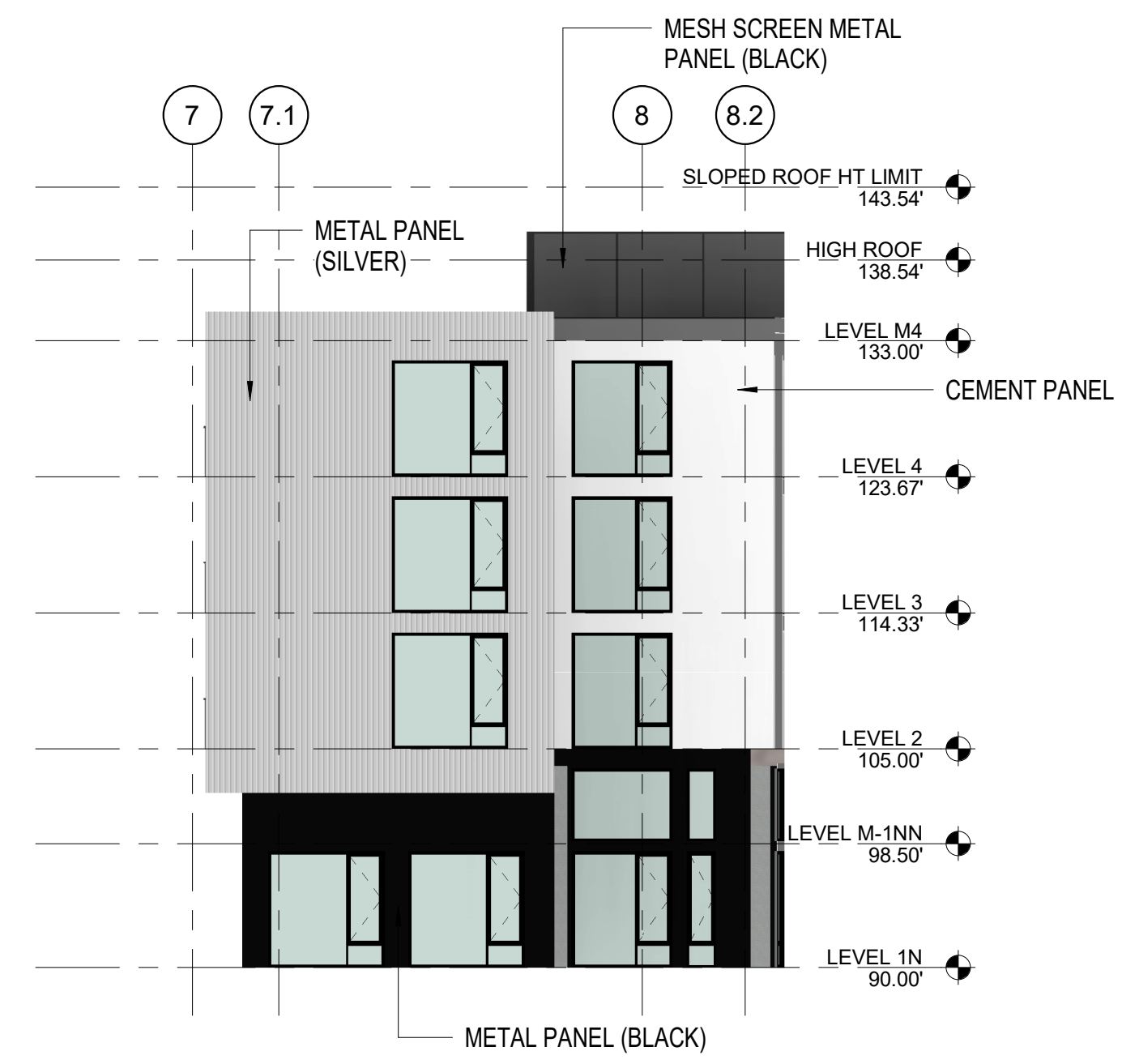
7 TOWNHOUSE - SOUTH
3/32" = 1'-0"



8 TOWNHOUSE - WEST
3/32" = 1'-0"



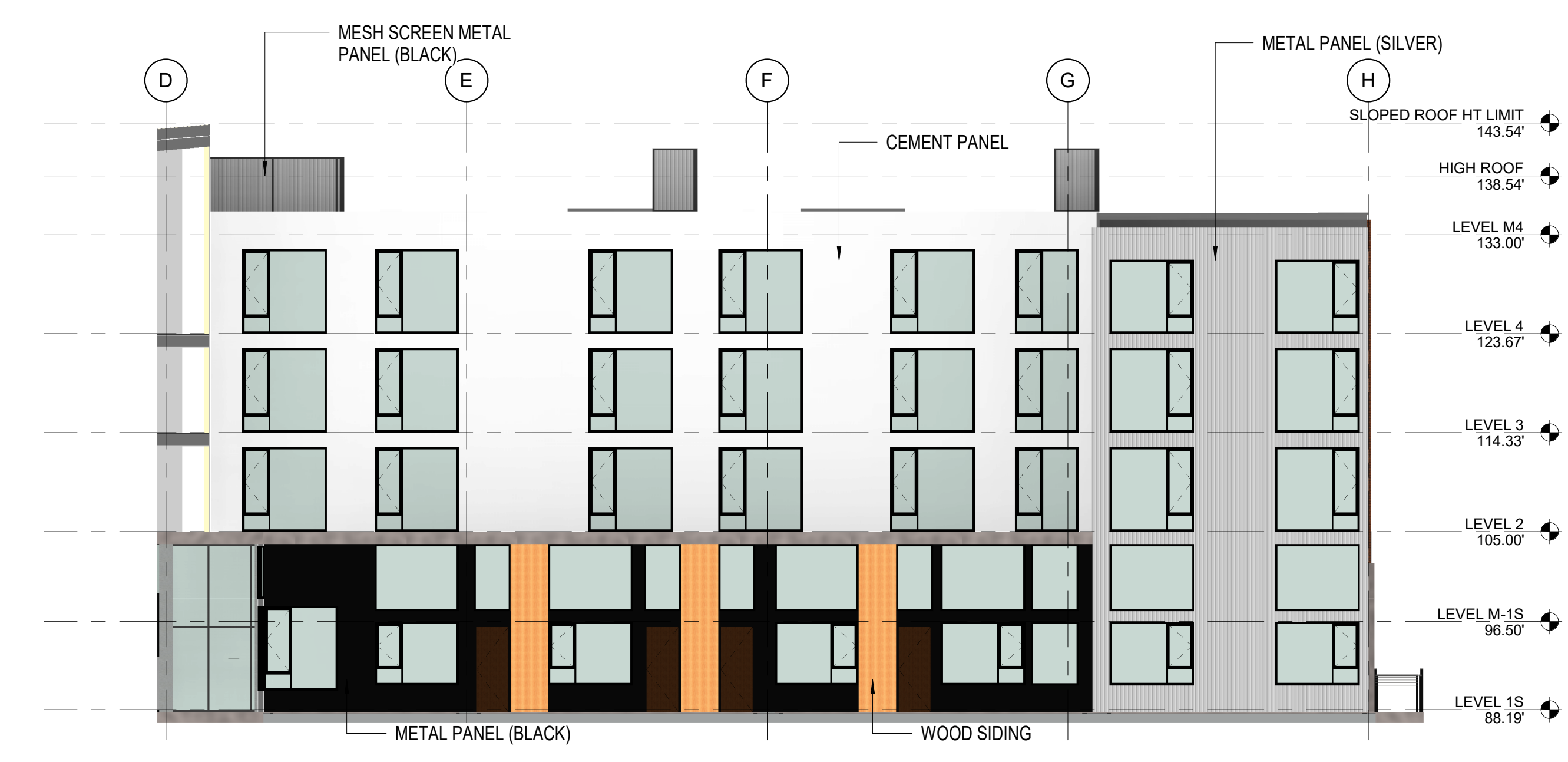
1 COURTYARD ELEVATION - NORTH
3/32" = 1'-0"



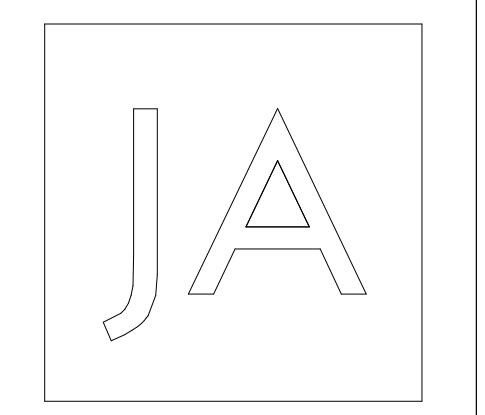
4 COURTYARD ELEVATION - WEST
3/32" = 1'-0"



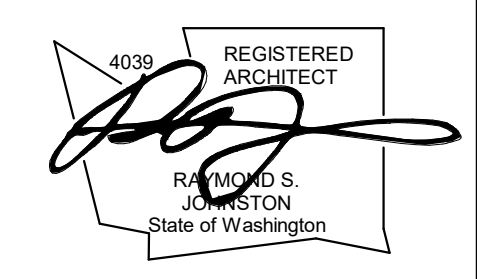
2 COURTYARD ELEVATION - EAST
3/32" = 1'-0"



3 COURTYARD ELEVATION - SOUTH
3/32" = 1'-0"



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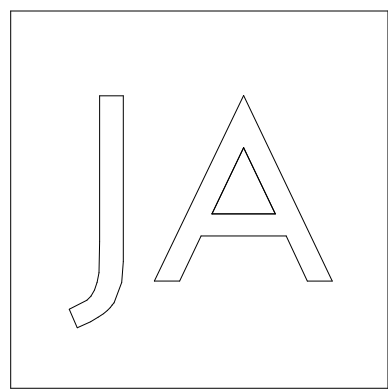
DRAWING ISSUE	
Date	Description
12/24/2019	LAND USE SET

SHEET TITLE
ELEVATIONS
COURTYARD

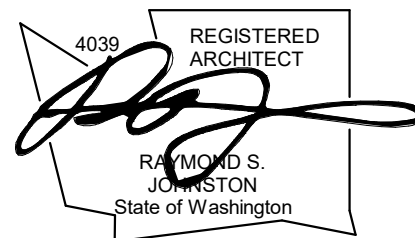
SHEET NO.

A302

Drawn
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DRAWING ISSUE

Date	Description
12/24/2019	LAND USE SET

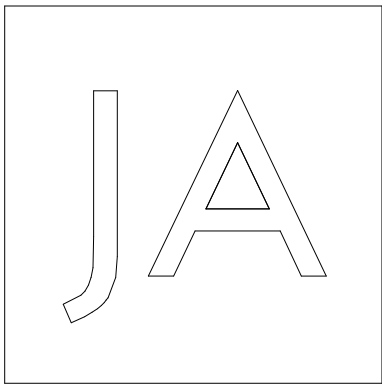
SHEET TITLE

AXON SE
CORNER

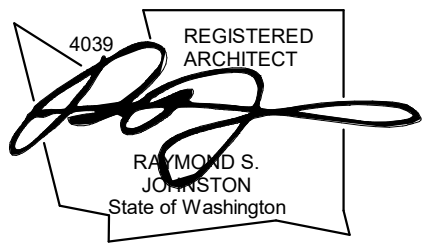
SHEET NO.

A303

Drawn
Checked



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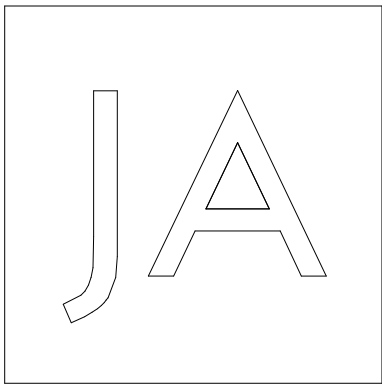
NOT FOR
CONSTRUCTION

MERCER ISLAND
MIXED USE

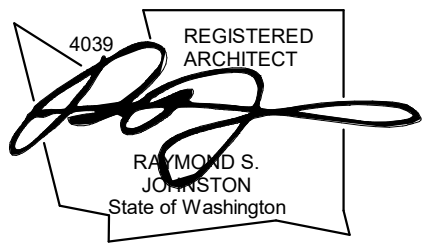
XING HUA GROUP LTD.
2885 78TH AVE SE
MERCER ISLAND, WA

DRAWING ISSUE	
Date	Description
12/24/2019	LAND USE SET

SHEET TITLE	
AXON NW CORNER	
SHEET NO.	
A304	
Drawn	Checked



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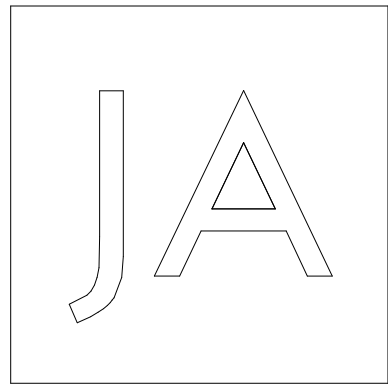


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CONSTRUCTION

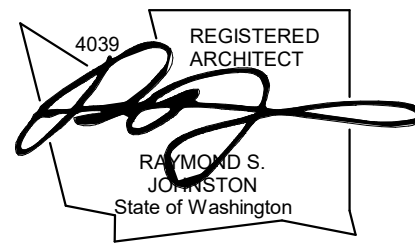
MERCER ISLAND
MIXED USE
XING HUA GROUP LTD.
2885 78TH AVE SE
MERCER ISLAND, WA

DRAWING ISSUE	
Date	Description
12/24/2019	LAND USE SET

SHEET TITLE
RENDERING - SE PLAZA
SHEET NO.
A305
Drawn
Checked



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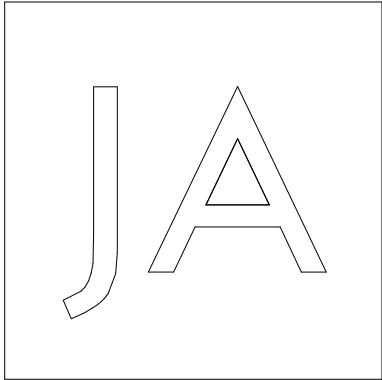
Date	Description
12/24/2019	LAND USE SET

SHEET TITLE
**RENDERING -
MID BLCOK
PLAZA**

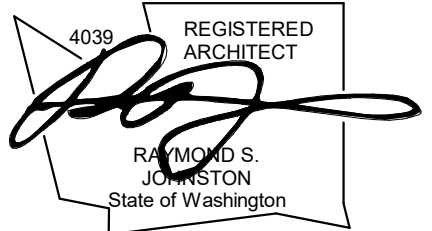
SHEET NO.

A306

Drawn
Checked



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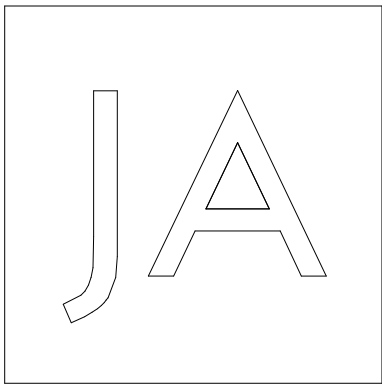
**MERCER ISLAND
MIXED USE**
XING HUA GROUP LTD.
2885 78TH AVE SE
MERCER ISLAND, WA

DRAWING ISSUE	
Date	Description
12/24/2019	LAND USE SET

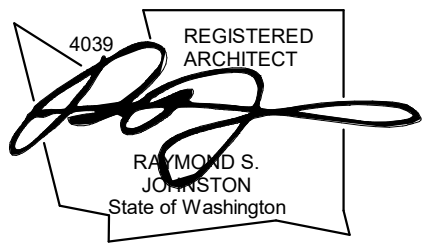
SHEET TITLE
**RENDERING - NE
CORNER**

SHEET NO.
A307

Drawn
Checked



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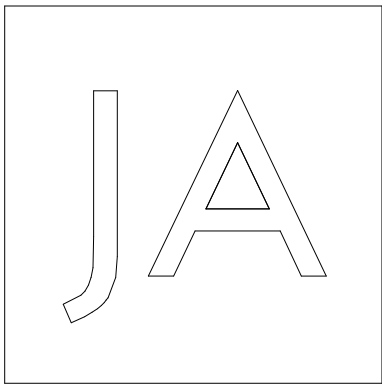


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CONSTRUCTION

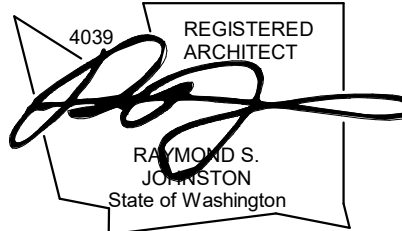
**MERCER ISLAND
MIXED USE**
XING HUA GROUP LTD.
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MERCER ISLAND, WA

DRAWING ISSUE	
Date	Description
12/24/2019	LAND USE SET

SHEET TITLE
RENDERING - NW CORNER
SHEET NO.
A308
Drawn
Checked



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DRAWING ISSUE

Date	Description
12/24/2019	LAND USE SET

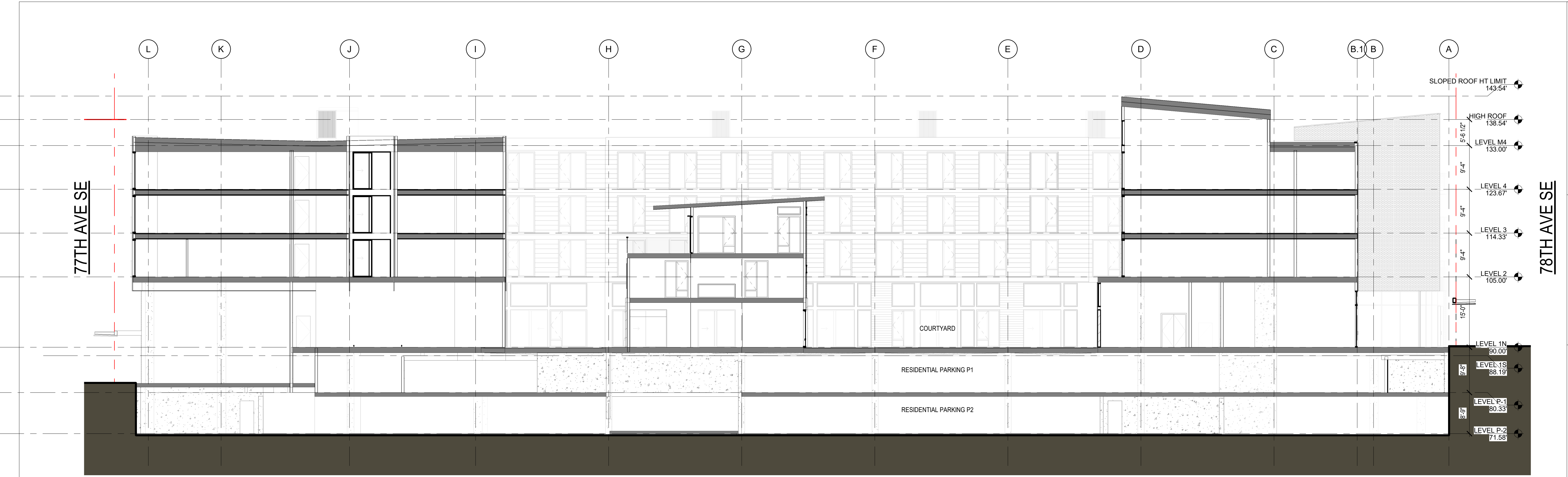
SHEET TITLE

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NW PLAZA**

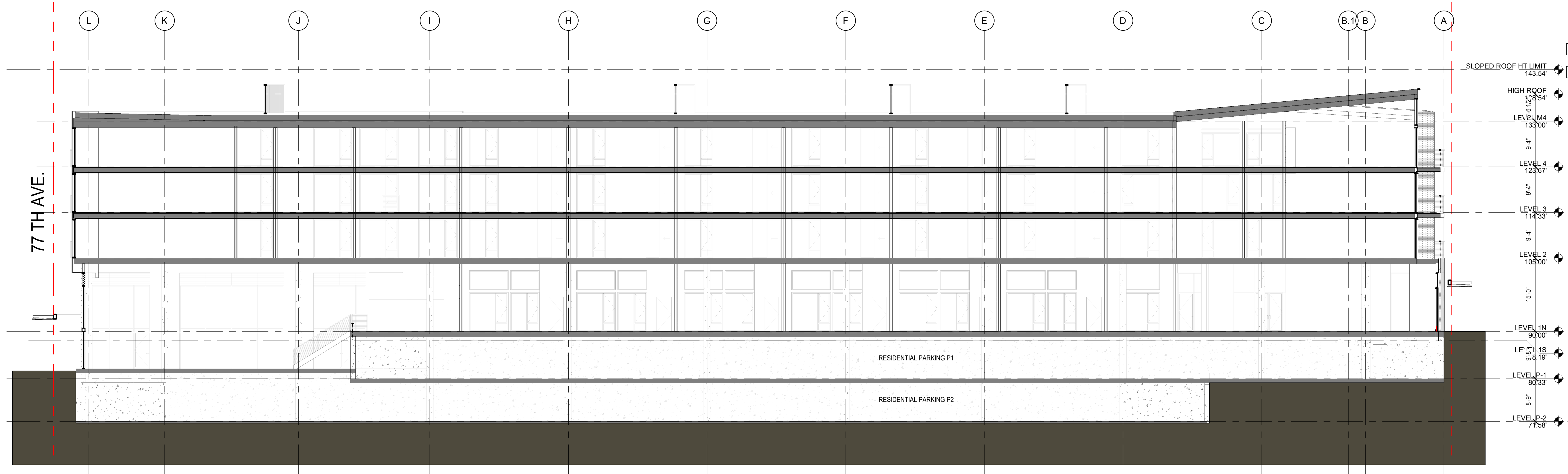
SHEET NO.

A309

Drawn
Checked



1 E-W SECTION THRU COURTYARD
3/32" = 1'-0"



2 E-W SECTION THRU RETAIL PARKING1
3/32" = 1'-0"

JA

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4039 REGISTERED ARCHITECT
RAYMOND S. JOHNSTON
State of Washington

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MERCER ISLAND, WA

DRAWING ISSUE

Date	Description
12/24/2019	LAND USE SET

SHEET TITLE

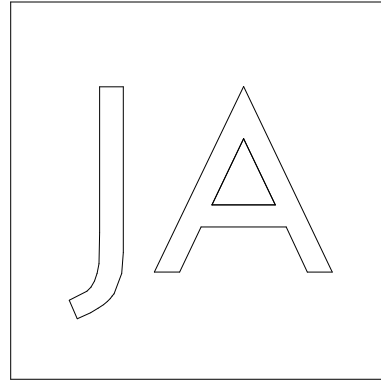
BUILDING SECTIONS - EAST-WEST

SHEET NO.

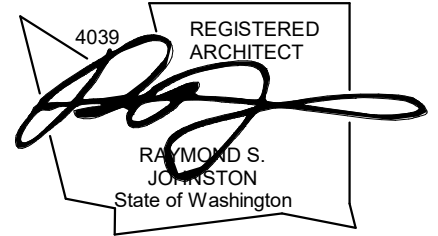
A400

Drawn

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**MERCER ISLAND
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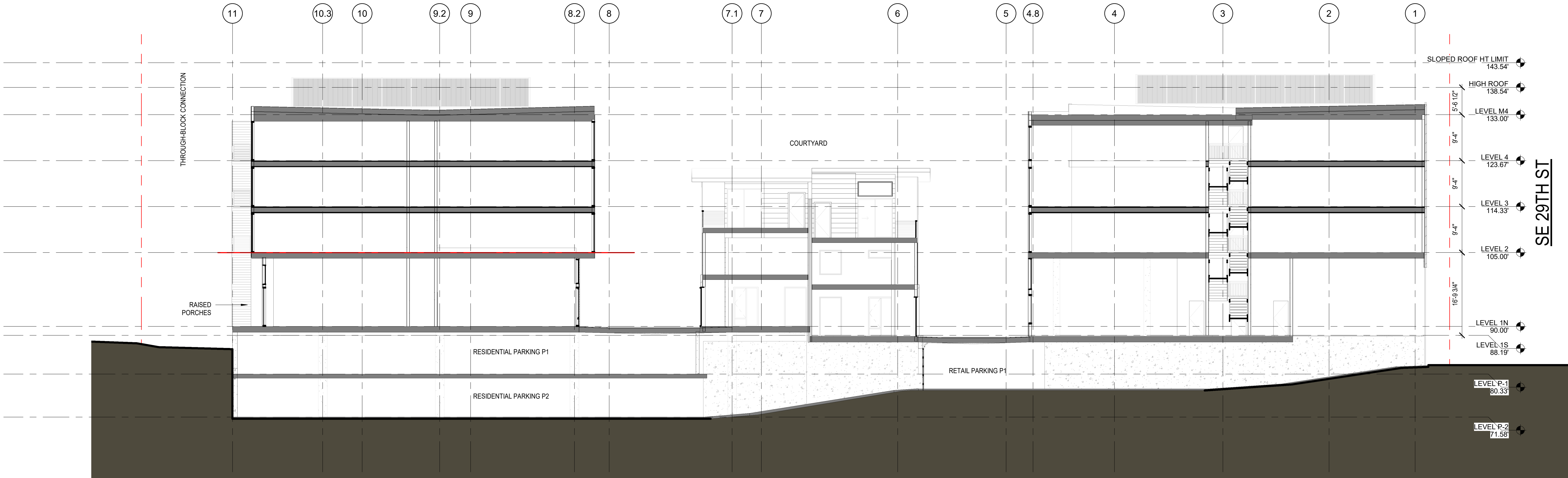
DRAWING ISSUE	
Date	Description
12/24/2019	LAND USE SET

SHEET TITLE
**BUILDING
SECTIONS -
NORTH-SOUTH**

SHEET NO.
A401
Drawn
Checked



1 N-S SECTION THRU EAST
PORTION
3/32" = 1'-0"



2 N-S SECTION THRU PARKING
RAMP
3/32" = 1'-0"

Public Art Maintenance Needs Update for Arts Council – 12.09.20

Background:

In 2020, the following works of public art have sustained damage beyond the normal “wear and tear” inherent in existing in the public realm:

Now We Are One by Philip Levine – Located in First Hill Park

On September 16, 2020, Parks staff noticed that the base of this sculpture was completely detaching from the ground and removed the piece to ensure both safety of the public and the work of art. The piece is currently stored at the City Shop.



Gateway Figures by Garth Edwards – Located at Mercer Island Gateway (77th Ave SE and Sunset Hwy)

On October 9, 2020, Community Planning & Development staff were notified that one of the Gateway figures had been damaged during a traffic accident. This art installation is often the site of traffic accidents; for example, the Gateway sign has been in storage since 2018 due to an accident, and another incident occurred in 2019 (although no damage was sustained). Parks staff removed the damaged figure to ensure safety of the public and the artwork as well as to stay clear of the Sound Transit construction site. The damaged piece is currently stored at the City Shop.



Fire Flower by Gisel Berman – Located at Mercer Park (former Farmers World Insurance Building)

On November 24, 2020, Marc Gearhart from Ryan Companies (the developer that purchased Mercer Park) informed staff that *Fire Flower* had been vandalized and/or a target of attempted theft. Staff contacted Artsite, the City's contract art conservator. Artsite assessed the site on November 30 and provided an estimate to safely deinstall the piece and securely store it at the City Shop; they can also complete repairs if/when the City authorizes that action. Note that staff and Ryan Companies planned to bring a discussion about re-siting *Fire Flower* to the Arts Council in early 2021, as Mercer Park is currently under renovation.



Conservation & Maintenance Plan:

Staff have not researched options for repairing/reinstalling *Now We Are One* or *Gateway Figures* but are in the process of contracting with Artsite to safely remove and store *Fire Flower*. These sculptures are insured by the City; a claim has already been filed for *Fire Flower*, and staff are exploring whether costs to repair and reinstall the other pieces can be covered by insurance. Any costs not paid by insurance could be covered by the 1% for Art in Public Places fund, which currently holds a balance of \$153,949.

Before scheduling repairs, staff seek the Arts Council's direction on an appropriate re-siting plan for each sculpture as well as board assistance in pursuing next steps (site research, artist/donor contact, deaccession research, etc.).

Recommended Actions:

- Discuss repair and re-siting plans for *Now We Are One*, *Gateway Figures*, and *Fire Flower*.
- Identify one-two Arts Council members to assist staff with next steps for re-siting plans.

Staff and appointed Arts Council members will return with additional information at a future board meeting and ask for a vote to approve repair/re-siting plans.