



MEDINA, WASHINGTON

HEARING EXAMINER

A Remote Public Hearing

Wednesday, January 29, 2025 – 11:00 AM

AGENDA

Virtual Meeting Participation

The scheduled hearing will be held using remote meeting technology. Please either login or call in a few minutes prior to the start of the meeting to participate. Written comments may still be submitted before the hearing by emailing Jonathan Kesler, AICP, Planning Manager, at jkesler@medina-wa.gov. Written comments are given the same weight as verbal public testimony.

Join Zoom Meeting

<https://medina-wa.zoom.us/j/87193285788?pwd=KhSfQyKPFbfBJbLK7XprA96NbfZZt8.1>

Meeting ID: 871 9328 5788

Passcode: 743776

One tap mobile

+12532050468,,87193285788#,,,,*743776# US

+12532158782,,87193285788#,,,,*743776# US (Tacoma)

Public Hearings:

***NOTE:** The Hearing Examiner has the discretion to limit testimony to relevant non-repetitive comments and to set time limits to ensure an equal opportunity is available for all people to testify.*

PRE-DECISION HEARING:

File No.: P-24-057 Non-Administrative Variance

Applicant or

Agent: Mark Nelson, Agent, for Benjamin Herr & Michelle Wu, property owners

Proposal: A Non-Administrative Variance to reduce the rear yard setback by 18 feet, from 28 feet to 10 feet, to build a new residence. The existing house and accessory structures will be demolished.

Location: 543 Overlake Dr. E, Medina, WA 98039; Parcel # 383550-2325

Legal Info: KENWOOD PARK ADD LESS RD.

Prepared by: Thomas Carter, Assoc. Planner, LDC, Inc.; Planning Consultant for the City of Medina

PART 1 – GENERAL INFORMATION

ZONING: R-16, Residential

COMPREHENSIVE PLAN DESIGNATION: Residential

SHORELINE ENVIRONMENT DESIGNATION: N/A

CRITICAL AREAS: Steep slopes; erosion hazard area.

ENVIRONMENTAL (SEPA) REVIEW: The proposal is exempt from environmental (SEPA) review pursuant to WAC 197-11-800(1)(b), Minor New Construction. *The following types of construction shall be exempt; the construction of location of four attached or detached single-family residential units.*

EXHIBITS:

1. Staff Report
2. Revised Non-Administrative Variance, received November 7, 2024
3. Approval Criteria Response, received November 7, 2024
4. Owner’s Declaration of Agency, received October 07, 2024
5. Statutory Warranty Deed, received October 07, 2024
6. Site Plan, received October 07, 2024
7. Building Plans, received October 07, 2024
8. Mailing Labels, received October 07, 2024

PART 2 – SITE CHARACTERISTICS

EXISTING CONDITIONS: The subject property is developed with a single residence and a nonconforming garage/guestroom.

SURROUNDING ZONING:

Direction	Zoning	Present Use
North	R-16 District	Residential
South	R-16 District	Residential
East	R-20 District	Residential
West	R-16 District	Residential

ACCESS: Ingress and egress are from Overlake Dr E.

PART 3 – COMPREHENSIVE PLAN

The following comprehensive plan goals and policies apply to the proposed project:

NE-P2 The City should preserve and enhance where possible the functions and values of Medina’s critical areas and natural resources in a manner consistent with best available science, and preserve and restore its native vegetation, native biodiversity, and

tree canopy, especially where it protects habitat and contributes to overall ecological function. Natural resources in Medina include forests, wetlands, estuaries, and urban tree canopy, all of which are valuable and should be protected.

PART 4 – AGENCY REVIEW/PUBLIC COMMENT

NOTICES (Exhibit 11):

Application received:	September 30, 2024
Determination of Completeness:	October 21, 2024
Notice of Application:	October 24, 2024
Notice of Hearing:	January 10, 2025

The application was received on September 30, 2024, and was determined complete on October 21, 2024, pursuant to MMC 16.80.100. A Notice of Application was issued on October 24, 2024, with a mailing to property owners pursuant to MMC 16.80.140(B)(2); posting on-site; and posting at other public notices locations (City Hall, Medina Post Office, Park Board, and City of Medina website). A 14-day comment period was used pursuant to MMC 16.80.110(B)(7). A Notice of Hearing was issued on January 10, 2025, consistent with MMC 16.80.120. The notice was mailed to property owners pursuant to MMC 16.80.140(B)(2), published in *The Seattle Times* newspaper, and posted on the site and other public notice locations (City Hall, Medina Post Office, the Posting Board in Medina Park and the City of Medina website).

GENERAL PUBLIC COMMENTS: As of the date of the staff report, the City has not received any public comment regarding the proposed project.

AGENCY COMMENTS: No agency comments were received.

PART 4 – STAFF ANALYSIS

GENERAL:

1. Michelle Wu and Benjamin Herr are the owners and taxpayers of record of the property identified as 543 Overlake Dr E., tax parcel no. 383550-2325, according to the Statutory Warranty Deed (Exhibit 4). The property owner has an agent, Mark Nelson, AIA, acting on behalf of the owner (Exhibit 3).
2. The property is zoned R-16 (Residential) and is approximately 13,826 square feet (0.32 acres) in size. The lot is generally rectangularly shaped with maximum overall dimensions of approximately 207 feet at its greatest length and approximately 97.15 feet at its greatest width. The lot is developed with a single dwelling, detached garage/guestroom and related site improvements, including a driveway and landscaping.
3. The applicant applied for a Non-Administrative Variance to obtain relief from the required rear yard setback as outlined in MMC 16.22.030.A. The applicant seeks to reduce the rear yard setback by 18 feet, from the required width of 28 feet to 10 feet.

ENVIRONMENTAL (SEPA) REVIEW:

4. The proposal is exempt from environmental (SEPA) review under WAC 197-11-800(1)(b), *Minor New Construction*. The following types of construction shall be exempt: The construction or location of four attached or detached residential units.

ANALYSIS OF THE NON-ADMINISTRATIVE VARIANCE:

5. The Medina Municipal Code (MMC) 16.72.030(D) requires a Non-Administrative Variance for circumstances where relief from a dimensional standard is sought subject to the limitation outlined in MMC 16.72.030.E.1, which states Non-Administrative Variances may be granted where the application of a dimensional standard would result in unusual or unreasonable hardship due to physical characteristics of the site. The Herr/Wu project seeks a Variance to reduce the rear yard setback from 28 feet to 10 feet. The site currently features an existing single residence and a detached garage, both of which will be demolished. The applicant claims that the proposed Variance is necessary to permit the construction of a new residence in order to accommodate the proposed 3,955-square-foot new residence.
6. MMC 16.22.030 establishes the minimum distance required for any part of any building or structure to be set back from the pertinent property line. The minimum setback requirements are applied to each lot by the square footage of the lot area and the corresponding setback standards in Table 16.22.030 – Minimum Building/ Structure Setbacks. The property is approximately 13,934 square feet. Properties between 13,000 square feet to 15,000 square feet are subject to a minimum front and rear setback of 28 feet and a minimum side yard setback of 10 feet.
7. Pursuant to MMC 16.72.030.F, a Non-Administrative Variance may only be approved if the following criteria are met:
 - a. ***The Variance does not constitute a granting of special privilege inconsistent with the limitations upon uses of other properties in the vicinity and zone in which the subject property is located.***

APPLICANTS RESPONSE: See the applicant's response in the Approval Criteria Document (Exhibit #3).

STAFF RESPONSE: The property is located within the R-16 zone, Residential district, and currently contains a single dwelling unit and a detached garage/guestroom. The proposed Variance would reduce the rear yard setback from 28 feet to 10 feet. Granting the Variance would not alter the property's use, nor would it be inconsistent with the uses allowed in the R-16 zone. Therefore, the proposal aligns with the use limitations of other properties in the vicinity and zone.

- b. ***The Variance is necessary, because of special circumstances relating to the size, shape, topography, location or surroundings of the subject property, to provide it with use rights and privileges permitted to other properties in the vicinity and in the zone in which the subject property is located.***

APPLICANTS RESPONSE: See the applicant's response in the Approval Criteria Document (Exhibit #3).

STAFF RESPONSE: The applicant notes that the size, shape, topography, and location of the property make it challenging to apply the existing rear yard setback dimensional standard without preventing the owners from building a home comparable to adjacent properties. The eastern portion of the site contains a 38% steep slope, and the parcel has a roughly rectangular shape. Staff can understand that these factors limit the usable space available for constructing a single residence and prevent the applicant from utilizing the full structural and impervious surface area allotted to the site. However, the property *can* be developed (and is currently developed) with a single residence, while meeting the performance standards in the code, including required setbacks, therefore, the Variance is not strictly "necessary" for redevelopment of the property.

- c. The Variance is necessary to relieve a material hardship that cannot be relieved by any other means such that the material hardship must relate to the land itself and not to problems personal to the applicant.***

APPLICANTS RESPONSE: See the applicant's response in the Approval Criteria Document (Exhibit #3).

STAFF RESPONSE: As stated above, the applicant mentions that due to the site's limitations in size, topography, shape, and location, the proposed house location is not optimal. Reducing the rear setback would allow the applicant to construct a new single-family dwelling positioned away from the steep slopes, while providing more usable space similar to that of a rectangular lot.

- d. The granting of such Variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and zone in which the subject property is situated.***

APPLICANTS RESPONSE: See the applicant's response in the Approval Criteria Document (Exhibit #3).

STAFF RESPONSE: The applicant mentions that granting the Variance would create more equitable buildable area for this homeowner that is comparable to other Medina homeowners. The Variance would allow the applicant to position the proposed new home away from the steep slope, preserve existing trees, and construct a home comparable in size to adjacent properties. The granting of this Variance would not be detrimental to the public welfare or injurious to the property or improvements in the vicinity of the zone in which the subject property is situated.

- e. The Variance is the minimum necessary to provide reasonable relief.***

APPLICANTS RESPONSE: See the applicant's response in the Approval Criteria Document (Exhibit #3).

STAFF RESPONSE: The proposed Variance is considered the minimum necessary to provide reasonable relief. The applicant's response demonstrates that the intent of the Variance is to address constraints posed by the site's size, topography, and location. Reducing the rear yard setback from 28 feet to 10 feet would provide the owner with enough building area to construct a new home similar in size to others in the area, while also positioning the structure away from the steep slope on-site. So, while not strictly "necessary" under section 7(b) above, this Variance would allow the applicant to build a home that meets the permitted structural and impervious coverage requirements.

PART 5 – CONCLUSIONS

1. Pursuant to MMC 16.72.100(C) and MMC 16.80.060(C), the Hearing Examiner has the authority to hold a public hearing and make decisions on applications. The purpose of this Non-Administrative Variance is to reduce the rear yard setback from 28 feet to 10 feet.
2. Proper notice for this public hearing has been provided. Notices were posted on the property and mailed to surrounding property owners within 300 feet and published in the Seattle Times newspaper on January 10, 2025, more than 15 days prior to the date of the hearing (Exhibit 11).
3. Pursuant to MMC 16.72.100(F), a Non-Administrative Variance may only be approved if the following criteria are met:
 - a. *The Variance does not constitute a granting of special privilege inconsistent with the limitations upon uses of other properties in the vicinity and zone in which the subject property is located.*

CONCLUSION: See Staff Analysis in Part 5, 7.a.

- b. *The Variance is necessary, because of special circumstances relating to the size, shape, topography, location or surroundings of the subject property, to provide it with use rights and privileges permitted to other properties in the vicinity and in the zone in which the subject property is located.*

CONCLUSION: See Staff Analysis in Part 5, 7.b.

- c. *The Variance is necessary to relieve a material hardship that cannot be relieved by any other means such that the material hardship must relate to the land itself and not to problems personal to the applicant.*

CONCLUSION: See Staff Analysis in Part 5, 7.c.

- d. *The granting of such Variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and zone in which the subject property is situated.*

CONCLUSION: See Staff Analysis in Part 5, 7.d.

- e. *The Variance is the minimum necessary to provide reasonable relief.*

CONCLUSION: See Staff Analysis in Part 5, 7.e.

PART 6 – STAFF RECOMMENDATION

Staff recommends the Hearing Examiner **deny** the Non-Administrative Variance (File No. P-24-057), as the project has not demonstrated consistency with the Medina Municipal Code, Non-Administrative Variance Criteria of Approval. The property could be redeveloped with a new home that meets the rear setback by reducing the size of the proposed new dwelling.

However, if the Hearing Examiner decides to **approve** this Non-Administrative Variance, then the following **conditions** shall be included:

1. Pertinent construction permits shall be obtained before starting construction activity.
2. All other zoning and development regulations applicable to the project shall be followed and confirmed during the building permit review.
3. An approved non-administrative Variance shall expire if within one year of the date the decision of the non-administrative Variance becomes final, unless a complete building permit application is submitted. A six-month extension may be granted pursuant to MMC 16.72.030(H)(3), if the applicant makes such a request in writing prior to the expiration date and can show good cause for granting the extension.
4. The existing home and outbuildings shall be demolished before redevelopment.

Date: January 6, 2025



Thomas Carter, Associate Planner, LDC, Inc.
on behalf of the City of Medina



DEVELOPMENT SERVICES

NON-ADMINISTRATIVE VARIANCE APPLICATION

501 EVERGREEN POINT ROAD MEDINA, WA 98039
PHONE: 425-233-6414/6400

Complete this form for the following:

- Relief from dimensional zoning standards and
- The relief is not eligible for an administrative variance or minor deviation

General Information

Owner Name: Benjamin Herr & Michelle Wu

Property Address: 543 Overlake Drive E.

Legal Description: Lots 33, 34, 35, 36, 37 & 38, Block 12, Kenwood Park, Vol. 8, Page 26, King Co., Washington

Tax Parcel Number: 383550-2325

Agent / Primary contact

Name: Mark L. Nelson

Email: mark@nelsonarchitecture.net

Contact Phone: 206-617-8069

Alternative Phone: _____

Mailing Address: 1233 Evergreen Pt. Rd.

City: Medina State: WA Zip: 98039

Property Information

Lot Size: 13,934 S.F.

Critical area(s) located on the property (Ch. 16.50 MMC)?

YES NO Steep slope

Zoning District:

- R-16 R-20 R-30 SR-30 Public NA (Neighborhood Auto)

Check all boxes for which relief is requested:

- Maximum height
 Maximum structural coverage
 Maximum impervious surface coverage
 Minimum setback
 Other _____

Please clearly state what your variance request is (i.e. This is a request to reduce the rear yard setback from 30 ft. to 15 ft.)

This request is to reduce rear yard setback from 28ft. to 10ft.

List known variances or special/conditional use permits previously approved for this property:

None to my knowledge

Please describe any known nonconforming conditions: Lot size

Please provide a complete description of the proposed project (attach additional pages if necessary):

see attached

Approval Criteria

The following is the approval criteria for a non-administrative variance. Please respond to each item by providing as much detailed information as possible to support your request. Attach additional pages if necessary.

1. The variance does not constitute a granting of special privilege inconsistent with the limitations upon uses of other properties in the vicinity and zone in which the subject property is located

see attached

Added Revision 11.5.24

2. The variance is necessary, because of special circumstances relating to the size, shape, topography, location or surroundings of the subject property, to provide it with use rights and privileges permitted to other properties in the vicinity and in the zone in which the subject property is located

see attached

3. The variance is necessary to relieve a material hardship that cannot be relieved by any other means such that the material hardship must relate to the land itself and not to problems personal to the applicant

see attached

Added Revision 11.5.24

Approval Criteria (continued)

4. The granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and zone in which the subject property is situated

See Attached

5. The variance is the minimum necessary to provide reasonable relief

See Attached.

Added Revision 11.5.24

Added Copy of previously approved Site Plan
w/ approved 10' Rear Yard Setback.

I certify under the penalty of perjury that I am the owner of the above property or the duly authorized agent of the owner(s) acting on behalf of the owner(s) and that all information furnished in support of this application is true and correct.

Signature Mah J. Alu Owner Agent Date 9.30.24

Signature _____ Owner Agent Date _____

HERR RESIDENCE
543 Overlake Drive E.
Medina, WA

NON-ADMINISTRATIVE VARIANCE
APPROVAL CRITERIA RESPONSE

VARIANCE FOR REAR SETBACK

REVISED 11.5.24

1. **The variance does not constitute a granting of special privilege inconsistent with the limitations upon uses of other properties in the vicinity and zone in which the subject property is located:**
 - a. The site is currently zoned single family R16, and the proposal is to build a new single-family house on the site. An existing single-family house and a non-conforming detached Garage/Guestroom, will be demolished and replaced with the proposed single-family house, therefore no granting of special privilege is requested or required, because of no change in use.
 - b. In addition, the current owner bought the property which was the previously approved for construction of a 2-story house (Permit # BD 17-017/D17-002) with a 10 ft. Rear Yard Setback on the south property line exactly as we are proposing. The design was approved on 7-15-2018, by Steve Wilcox, Director of Building and Development for Medina. The current owners decided that they wanted to have a more contemporary design and make some modifications to the floor plan that would suit their family needs more so than the design that had been approved in 2018. But the siting of the house and footprint is very similar. Plans available upon request if needed.
 - c. The proposed design does not constitute a granting of special privilege but is only is a more contemporary expression of the house previously approved for construction on this site, which apparently met the criteria of not granting of a “special privilege inconsistent with the limitations upon uses of other properties in the vicinity and zone” if it was approved for a 10 ft. Rear yard setback as is our proposal.
 - d. **The proposed use of the property is consistent with uses allowed on other properties within the vicinity and zone of the project parcel. All the properties within 300 ft. of the house are single family residential. The variance is not asking for a use not allowed. The single family use is permitted in Medina Municipal Code Chapter 16.**

2. **The variance is necessary, because of special circumstances relating to the size, shape, topography, location or surroundings of the subject property, to provide it**

with use rights and privileges permitted to other properties in the vicinity and in the zone in which the subject property is located:

- a. **Size:** The subject lot area is legally nonconforming at 13,934 sf. vs. 16,000 sf. required for this zone. The smaller size contributes as one of the factors that reduces the use rights and privileges of other lots with fewer hardships. See Figures 1, Fig. 3B & Fig. 4.
- b. **Shape:** The triangular shape of this lot is a hardship on the design and access to this house.
 - i. It has a long western property line of 207 ft., the southern property line is 97 ft. long, the angled Eastern property line is 167 ft. long, and the angled northern property line is 72 ft. long. (See Figure #1). The resultant shape is like a wedge, which creates an unusual building site, and together with all the other factors noted below, creates a hardship for locating and designing a house that other more normal shaped lots don't share in that hardship.
 - ii. So much of the lot is consumed by the required two Front Yard setbacks and steep slope that it reduces the available buildable area when you compare it to other lots in Medina. (See Figure #1, Fig. 2, Fig. 3 for comparisons with rectangular shaped lots.).
- c. **Topography:** The topography of this lot is a hardship from several standpoints.
 - i. 38.64% of the site is considered "Steep Slope" (5,385 sf). Because of the sites shape, small size, corner location, and steep slopes, the lot can only be accessed from Overlake Drive by driving through the neighboring property to the south and from NE 7th Street to the north, over an easement granted by the neighbor to the west and north. (See Site Survey). The site cannot be accessed directly from Overlake Drive because of the existing steep slope on the Right of Way and on the property adjacent to Overlake Drive.
 - ii. Along the south property line (97 ft. long), the lot slopes from an elevation of 132 ft. down to 99 ft. in. From there down to the line of the asphalt along Overlake Dr. E, it drops another 17 ft. to an elevation of 78 ft.
- d. **Location and surroundings:**
 - i. The subject lot sits on the corner of the intersection of Overlake Drive East and NE 7th St. on the east side of Medina Heights.
 - ii. The corner location and the long narrow shape of the property, creates two Front Yard setbacks, each 28 ft. deep, required by the MMC. Just the two front yard setbacks along Overlake Dr. and NE 7th St. consume 6,048 sf of property area or 44 percent of the total lot area. Compared to a more standard shaped 16,000 sf lot (70'W X 228' L) with one street frontage on

the shorter dimension which would have a front yard set back of 30 ft. x 70 ft. wide= 2,100 sf. or 13 % of the total lot area. (see Fig. 2 & Fig. 3A)

iii. The comparison of the total amount of setback area vs. buildable area for our lot without the requested variance is as follows:

1. Subject property without variance request: Total setback area (2 fronts, one side and one rear) is 9,629 sf, leaving a buildable area of 4,305sf. (See Fig. 1).
2. A typical rectangular corner lot of 13,934 sf has a setback area of 8,964sf, leaving 4,970sf of buildable area. (See Fig. #2)
3. Our proposed variance, for changing the rear yard setback dimension requirement from 28 ft. to 10 ft., is only adding 972 sf (18' x 54') of buildable area, (3,784 sf + 972 sf) for a total of 4,756sf of total proposed buildable area. This compares more equitably to the standard rectangular corner lot of 4,970 sf of buildable area.
4. This sizable difference in the amount of buildable lot area available is a major hardship on the owner of this property.
5. For an example of a standard shaped lot of the same area (13,934 sf) and only one street frontage, see Figure #3A for comparable setback and buildable areas.
6. For a study of a 16,000 sf lot the same shape, location and steep slopes, as subject lot, see Figure #4 for comparable setback and buildable areas.

e. Summary of hardships:

- i. The shape of the lot, the corner location, and the steep topography create a material hardship for the owners to be able to have a size of house comparable to adjacent property owners around them. Figures 1, 2, 3 & 4, show how the subject property is penalized for its shape, size, corner lot location and steep slopes that limit access to the lot. There is a table comparing the buildable area of similar sized lots of a more standard rectangular shaped lot without the hardships of steep slope, access, and shape.

3. The variance is necessary to relieve a material hardship that cannot be relieved by any other means such that the material hardship must relate to the land itself and not to problems personal to the applicant:

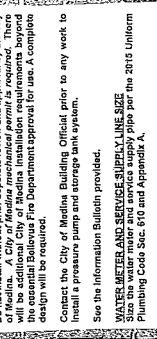
- a. The material hardships created by the size, shape, topography and location of the subject property cannot be relieved by any other means, this is totally created by the lot size, shape, topography and location.

- b. It is an unusual site, the kind of site that variances were intended to help relieve property owners from having to comply with land use code requirements which were meant for more standard lots of size shape, topography and location.
 - c. **Utilizing the building setbacks required by code limits the amount of usable space as shown in the attached Figures 1 thru 4. Also, see comments in Criteria #2 for how the smaller lot size, unique shape, steep topography, and location and surroundings contribute to the material hardship that can't be relieved by any other means. By reducing the setback on the south property allows for locating the building on a more buildable part of the lot with less steep slope, better access and egress to and from the site, reduces the need to cut down existing trees, and allows for buildable area similar to other adjacent sites with a more rectangular shape.**
- 4. The granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and zone in which the subject property is situated:**
- a. The granting of the requested variance will actually create a more equitable buildable area for this homeowner closer to what other Medina homeowners enjoy. The neighborhood will be upgraded by the removal of the two structures that presently occupy the site, one of which is non-conforming as to its 5 ft. setback on the South property line (rear yard). The proposed house will be no taller than the two structures already on the site and will not negatively impact any view the neighbors to the west have currently.
- 5. The variance is the minimum necessary to provide reasonable relief.**
- a. Even with the granting of the requested variance, the buildable area is still much smaller than on a standard sized and shaped lot.
 - i. The buildable area of the subject lot, with the code required setbacks, is 4,305 sf.
 - ii. The buildable area of the subject lot with proposed rear yard setback adjustment is 4,944 sf. which is comparable (4,970sf) to a rectangular shaped lot of the same area as shown in Figure #2.
 - iii. For comparison, the buildable area of a legal, rectangular shaped and sized lot of 16,000sf (70' W x 228' L) with one rear yard, one front yard and 2 side yard setbacks is 8,400 sf. (3,456 sf more than our proposed variance is requesting).
 - b. The proposed reduced Rear Yard Setback helps to offset the hardship of lot size, lot shape, topography and location by allowing for a Structural Lot Coverage and Impervious Surface that is comparable to lots without those hardships.
 - i. The proposed amount of Structural Lot Coverage (SLC) is proportionate to that of a standard rectangular shaped lot of the same square footage.

1. Max Allowed: 13,934 sf. X 26.67% =3,716 sf Max. Allowed SLC.
 2. Proposed (with reduced Rear Yard setback): 3,709 sf (26.62%) because of lot hardships described above.
- ii. The proposed amount of Impervious Surface is under the code maximum allowed:
 1. Max. Allowed: 13,934 sf X 55% = 7,663.7 sf. Max allowed
 2. Proposed: 5,942sf (42.64%)
- c. The proposed reduced Rear Yard Setback does not allow for a taller building than allowed by Code for Structures on a hillside in the R16 zone. See attached graphic.
 - d. The proposed reduction of the rear yard setback also allows for a parked car in the garage to turn around on the lot so that the owner does not have to back down the steep curvy driveway into the street.
 - e. The proposed reduction of the rear yard setback also is an improvement over the existing 5 ft. setback of the Existing Garage along the south property line.
 - f. In addition, the previous owner was approved for construction of a 2 story house (Permit # BD 17-017/D17-002) for a 10 ft. Rear Yard Setback on the south property line exactly as we are proposing. The design was approved on 7-15-2018, by Steve Wilcox, Director of Building and Development for Medina, for the construction of a new 2 story house. Plans available upon request if needed.
 - g. **The variance to reduce the setback from 28 ft. to 10 ft. is the minimum necessary because it allows the owner to build the size of house that is comparable to a more normally shaped lot without the steep slope and difficult site access that incumbers the subject property.**
 - h. **The proposed variance is the minimum necessary when comparing Lot Coverage, Impervious surface and setbacks as noted below:**
 - i. **The Allowed Lot Coverage area for any 13,934 sf lot is 3,716 sf (26.67%). The proposed Lot Coverage area is 3,709 sf (26.02%). The Variance allows for approximately the same amount of allowed Lot Coverage as any other corner lot of the same square footage.**
 - ii. **The Allowed Impervious Surface Area for any 13,934 sf lot is 7,664 sf (55%). The proposed Impervious Surface is only 5,942 sf (42.64%). The variance does not even allow the Impervious surface area to get close to the allowed area (1,722 sf less than allowed).**
 - iii. **The area of required Setbacks for a 13,934 sf rectangular corner lot is 8,978 sf (Fig. 2). The area of required Setbacks for the subject lot is 9,629 sf (Fig. 1A) w/o the variance request , while the area of Setbacks with proposed setbacks are 8,990 sf (Fig. 1B). Almost identical the required area of a rectangular lot of the same square footage. The variance helps to mitigate the loss of buildable area due to lot shape, steep terrain, and difficult site access, and awkward limited access to site because of the steep terrain and shape of lot.**

End

HOME TECH
 6840 131ST PL SE
 BELLEVUE, WA 98006
 206.778.2432



SITE PLAN & NOTES

MING SONG NEW RESIDENCE
 543 OVERLAKE DR. E, MEDINA, WA

REVISIONS: DATE
 Δ JUNE 21, 2017
 Δ NOV 21, 2017

DESIGN: Y. S.
 DRAWING: K. H.
 CHECK: Y. S.
 DATE: FEB 8, 2017
 SCALE: AS SHOWN
 SHEET: 2 OF 9
 A1

AUTOMATIC FIRE SPRINKLERS REQUIRED
 Required throughout by the City of Medina Municipal Code, Reference Section 26-40.025. Permit is through the Bellevue Fire Department.

PRESSURE PIPES AND STORAGE TANKS
 Do not install any pressure pipe or storage tank without first submitting the appropriate permit application to the City of Medina. The City of Medina will be responsible for the design and installation of the pressure pipe and storage tank. The design and installation of the pressure pipe and storage tank shall be in accordance with the applicable codes and standards. The design and installation of the pressure pipe and storage tank shall be subject to the approval of the City of Medina. The design and installation of the pressure pipe and storage tank shall be subject to the approval of the City of Medina.

WATER METER AND SERVICE SIMPLY LINE SIZE
 Compare the water meter and service supply pipe size as calculated by the 2015 UPC to the minimum size required by the Bellevue Fire Department. The water meter and service supply pipe shall be sized to meet the minimum size required by the Bellevue Fire Department. The water meter and service supply pipe shall be sized to meet the minimum size required by the Bellevue Fire Department.

WATER METER AND SERVICE SIMPLY LINE SIZE
 Compare the water meter and service supply pipe size as calculated by the 2015 UPC to the minimum size required by the Bellevue Fire Department. The water meter and service supply pipe shall be sized to meet the minimum size required by the Bellevue Fire Department. The water meter and service supply pipe shall be sized to meet the minimum size required by the Bellevue Fire Department.

OWNER: MING SONG
ENGINEER: HOME TECH P.L.L.C., BELLEVUE, WA 98006
 1315 131ST PL SE, SUITE 200
 BELLEVUE, WA 98006
 TEL: 206.778.2432
 EMAIL: HOME.TECH@HOME.TECH.COM

SITE DATA:
 LOT AREA (43 TO #38): 13746 SF
 PARCEL #.: 3833000205
 LEGAL DESCRIPTION: KENWOOD PARK ADD LESS 80 PLAT BOOK 12
 Plat Lot: 33 THRU 38

ZONING: R16

EXISTING BUILDING INFORMATION:
 BUILT IN 1960
 SINGLE FAMILY USAGE
 OCCUPANCY TYPE: R3
 TOTAL FLOOR AREA: 2400 SF
 CONSTRUCTION TYPE: VB

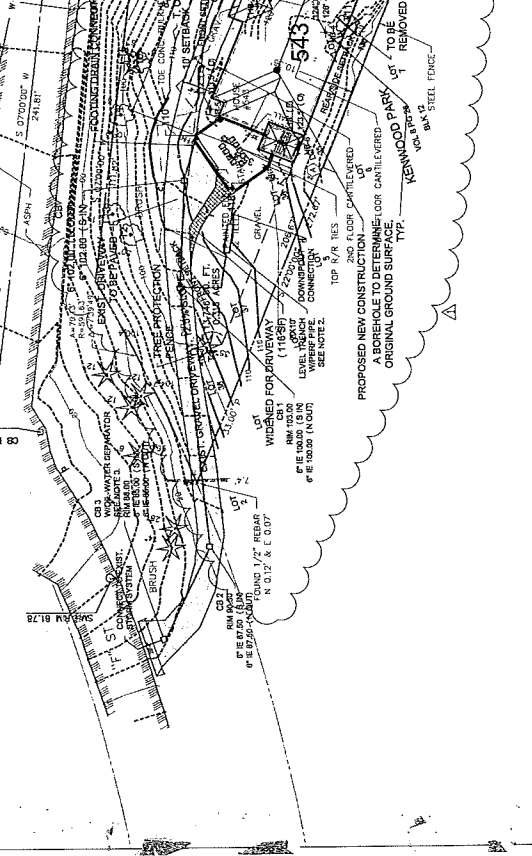
PROPOSED NEW CONSTRUCTION:
 SINGLE FAMILY USAGE
 OCCUPANCY TYPE: R3
 STORES: TWO
 CONSTRUCTION TYPE: VB

MAX. STRUCTURAL COVERAGE: 96.67%
ROOF/GUTTER/DECK ENVELOPE PROPOSED COVERAGE: 3530 SF / 13746 SF = 25.7%
MAX. INTERIORS SURFACE: 55%
BREAK DOWN PERVIOUS SURFACES: 3530 SF
STRUCTURAL COVERAGE: 207 SF
NET NEW PAVING: 116 SF
STAIRS AT SOUTH: 85 SF
CONC. BULKHEAD: 40 SF
TOTAL PROPOSED CURB & TELL VOLUME: 5786 SF (42%)
DIV: 480 CY FILL: 120 CY

CITY OF MEDINA APPROVED
 Subject to all state and local ordinances, standards, policies and conditions of permit.
 Permit Number: 16-0010002
 Approval Date: 2-15-17
 Authorized By: [Signature]

REVISIONS:
 1. MOVED EQUIPMENT;
 2. LABEL TREES, ADD TREE PROTECTION FENCE & TREE TABLE

RESOLUTION - BEST MANAGEMENT PRACTICES
 Follow all BMPs, as required by your Grading and Drainage permit, and/or as necessary to control all materials within the boundary of your property. No dust, silt or other material is allowed to leave your property during demolition. Follow all State rules regarding lead and asbestos removal and disposal.



NOTE
 ALL SALES TAX FOR THIS PROJECT MUST BE RECORDED UNDER #1718. MAKE ALL SUB-CONTRACTS SUBJECT TO REPORTING REQUIREMENTS.

PROPOSED CONSTRUCTION:
 1. DEMOLITION OF EXISTING TWO SEPARATE STRUCTURES;
 2. TO CONSTRUCT A NEW SINGLE RESIDENCE STRUCTURE.

REVISION 1

SCALE: 1" = 20'

CITY OF MEDINA
 PERMIT NO. 16-0010002
 APPROVAL DATE: 2-15-17
 SUBJECT TO ALL CITY ORDINANCES AND OTHER CONDITIONS NOTED IN RED. APPROVAL DOES NOT CONSTITUTE A GUARANTEE FROM FULL COMPLIANCE WITH ALL LAWS, CODES AND ORDINANCES IF ENFORCED.

TREE RETENTION TABLE

NO.	DIAMETER @ 4.5 FT.	HEIGHT	SPACING	REPLACE	REPLACE	REPLACE	REPLACE
1	3"	10'	1	1	1	1	1
2	4"	15'	1	1	1	1	1
3	6"	20'	1	1	1	1	1
4	8"	25'	1	1	1	1	1
5	10"	30'	1	1	1	1	1
6	12"	35'	1	1	1	1	1
7	14"	40'	1	1	1	1	1
8	16"	45'	1	1	1	1	1
9	18"	50'	1	1	1	1	1
10	20"	55'	1	1	1	1	1
11	22"	60'	1	1	1	1	1
12	24"	65'	1	1	1	1	1
13	26"	70'	1	1	1	1	1
14	28"	75'	1	1	1	1	1
15	30"	80'	1	1	1	1	1
16	32"	85'	1	1	1	1	1
17	34"	90'	1	1	1	1	1
18	36"	95'	1	1	1	1	1
19	38"	100'	1	1	1	1	1
20	40"	105'	1	1	1	1	1
21	42"	110'	1	1	1	1	1
22	44"	115'	1	1	1	1	1
23	46"	120'	1	1	1	1	1
24	48"	125'	1	1	1	1	1
25	50"	130'	1	1	1	1	1
26	52"	135'	1	1	1	1	1
27	54"	140'	1	1	1	1	1
28	56"	145'	1	1	1	1	1
29	58"	150'	1	1	1	1	1
30	60"	155'	1	1	1	1	1
31	62"	160'	1	1	1	1	1
32	64"	165'	1	1	1	1	1
33	66"	170'	1	1	1	1	1
34	68"	175'	1	1	1	1	1
35	70"	180'	1	1	1	1	1
36	72"	185'	1	1	1	1	1
37	74"	190'	1	1	1	1	1
38	76"	195'	1	1	1	1	1
39	78"	200'	1	1	1	1	1
40	80"	205'	1	1	1	1	1
41	82"	210'	1	1	1	1	1
42	84"	215'	1	1	1	1	1
43	86"	220'	1	1	1	1	1
44	88"	225'	1	1	1	1	1
45	90"	230'	1	1	1	1	1
46	92"	235'	1	1	1	1	1
47	94"	240'	1	1	1	1	1
48	96"	245'	1	1	1	1	1
49	98"	250'	1	1	1	1	1
50	100"	255'	1	1	1	1	1
51	102"	260'	1	1	1	1	1
52	104"	265'	1	1	1	1	1
53	106"	270'	1	1	1	1	1
54	108"	275'	1	1	1	1	1
55	110"	280'	1	1	1	1	1
56	112"	285'	1	1	1	1	1
57	114"	290'	1	1	1	1	1
58	116"	295'	1	1	1	1	1
59	118"	300'	1	1	1	1	1
60	120"	305'	1	1	1	1	1
61	122"	310'	1	1	1	1	1
62	124"	315'	1	1	1	1	1
63	126"	320'	1	1	1	1	1
64	128"	325'	1	1	1	1	1
65	130"	330'	1	1	1	1	1
66	132"	335'	1	1	1	1	1
67	134"	340'	1	1	1	1	1
68	136"	345'	1	1	1	1	1
69	138"	350'	1	1	1	1	1
70	140"	355'	1	1	1	1	1
71	142"	360'	1	1	1	1	1
72	144"	365'	1	1	1	1	1
73	146"	370'	1	1	1	1	1
74	148"	375'	1	1	1	1	1
75	150"	380'	1	1	1	1	1
76	152"	385'	1	1	1	1	1
77	154"	390'	1	1	1	1	1
78	156"	395'	1	1	1	1	1
79	158"	400'	1	1	1	1	1
80	160"	405'	1	1	1	1	1
81	162"	410'	1	1	1	1	1
82	164"	415'	1	1	1	1	1
83	166"	420'	1	1	1	1	1
84	168"	425'	1	1	1	1	1
85	170"	430'	1	1	1	1	1
86	172"	435'	1	1	1	1	1
87	174"	440'	1	1	1	1	1
88	176"	445'	1	1	1	1	1
89	178"	450'	1	1	1	1	1
90	180"	455'	1	1	1	1	1
91	182"	460'	1	1	1	1	1
92	184"	465'	1	1	1	1	1
93	186"	470'	1	1	1	1	1
94	188"	475'	1	1	1	1	1
95	190"	480'	1	1	1	1	1
96	192"	485'	1	1	1	1	1
97	194"	490'	1	1	1	1	1
98	196"	495'	1	1	1	1	1
99	198"	500'	1	1	1	1	1
100	200"	505'	1	1	1	1	1

13746/1000 10.35 = 4.8
 8.5 > 5.0 OK

HERR RESIDENCE VARIANCE

543 Overlake Drive E

REARYARD SETBACK VARIANCE

COMPARISON OF SETBACK & BUILDABLE AREAS OF SUBJECT PROPERTY TO OTHER SIMILAR PROPERTIES

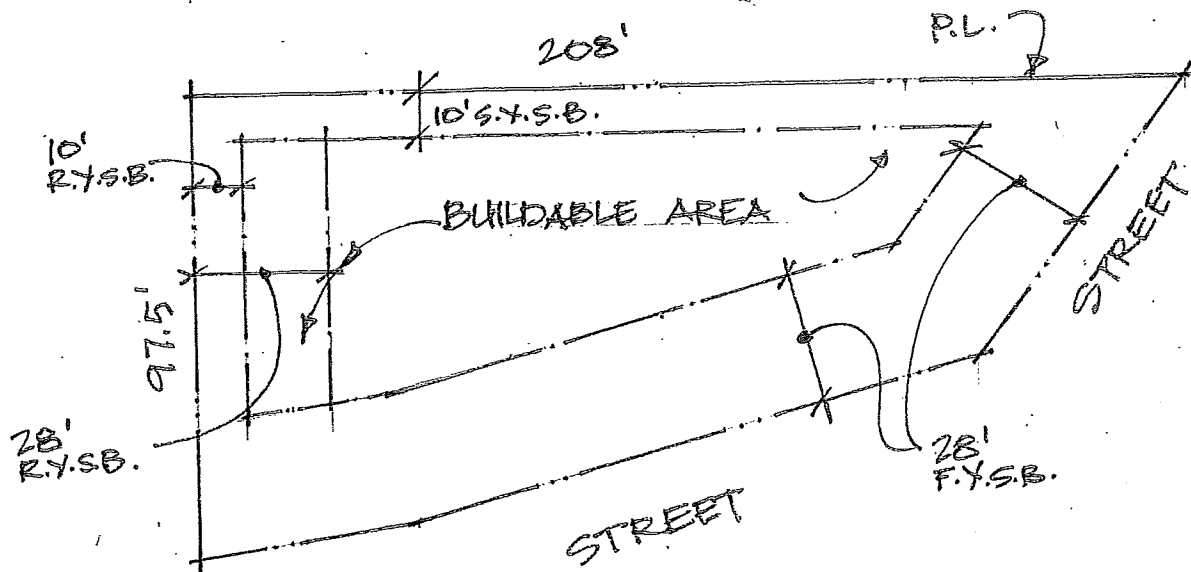
PROPERTY	SETBACK AREA	%	BUILDABLE AREA	%	NOTES
FIG. 1A SUBJECT PROPERTY (No Variance) 13,934 SF	9,629 SF	72.5%	4,305 sf	27.5%	LARGEST PERCENT OF SETBACK AREA
FIG. 1B SUBJECT PROPERTY (With Variance) 13,934 SF	8,990 SF	65.4%	4944 sf	34.6%	EQUIVALENT TO TYPICAL CORNER LOT FIG. 2
FIG. 2 TYPICAL RECTANGULAR CORNER LOT 13,934 SF	8,978 SF	64.0%	4,956 SF	36.0%	
FIG.3A TYPICAL RECTANGULAR LOT 13,934 SF	6,784 SF	49.0%	7,150 SF	51.0%	SMALLEST PERCENTAGE OF SETBACK AREA
Fig. 3B TYPICAL RECTANGULAR LOT 16,000 SF	7,600SF	47.5%	8400 SF	52.5%	
FIG. 4 LEGAL SIZED LOT SAME SHAPE AS SUBJECT 16,000 SF	10,710 SF	67.0%	5,290 SF	33.0%	CLOSER TO FIG. #2 IN SETBACK AREA

OBSERVATIONS ABOUT ABOVE COMPARISONS

W/O A VARIANCE, SUBJECT PROPERTY HAS THE SMALLEST AMOUNT OF BUILDABLE AREA OF ALL COMPARABLE PROPERTIES OF SAME SIZE

- 1 A. HAS 665 SF LESS BUILDABLE AREA THAN A TYPICAL CORNER LOT OF SAME LOT AREA.
- B. HAS 2,849 SF LESS BUILDABLE AREA THAN A TYPICAL RECTANGULAR LOT WITH SAME LOT AREA
- C. HAS 985 SF LESS BUILDABLE AREA THAN A 16,000 SF LOT OF SAME SHAPE AND LOCATION WITH 30 FT. FRONT & REAR YARD SETBACKS
- 2 W/PROPOSED VARIANCE FOR REAR YARD SETBACK, SUBJECT PROPERTY HAS EQUIVALENT BUILDABLE AREA AS A TYPICAL RECTANGULAR LOT ON A CORNER OF THE SAME SIZE.
- 3 PROPOSED REAR YARD SETBACK HELPS TO MAKE SUBJECT LOT EQUIVALENT TO OTHER LOTS OF SAME SIZE, LOCATION, AND SHAPE.

FIG. #1 A & B

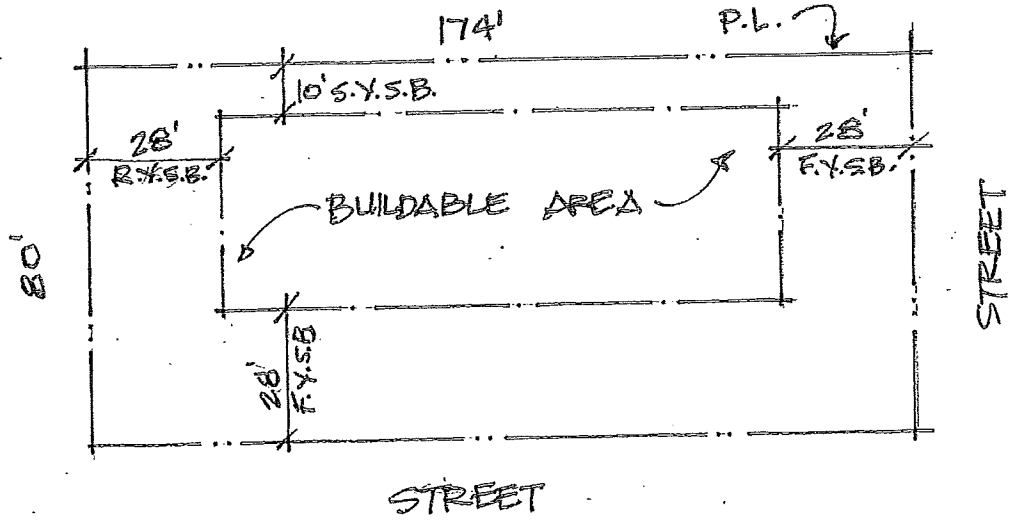


SUBJECT PROPERTY

LOT AREA= 13,934 SF. (2,066 SF SMALLER THAT CONFORMING LOT OF 16,000 SF)

AREA	FIG. 1A		FIG. 1B	
	SQ. FT. W/O VARIANCE	% of LOT AREA	SQ. FT. W/ VARIANCE	% OF LOT AREA
SETBACK AREA	9,629	72.5	8,990	65.4
BUILDABLE AREA	4,305	27.5	4,944	34.6

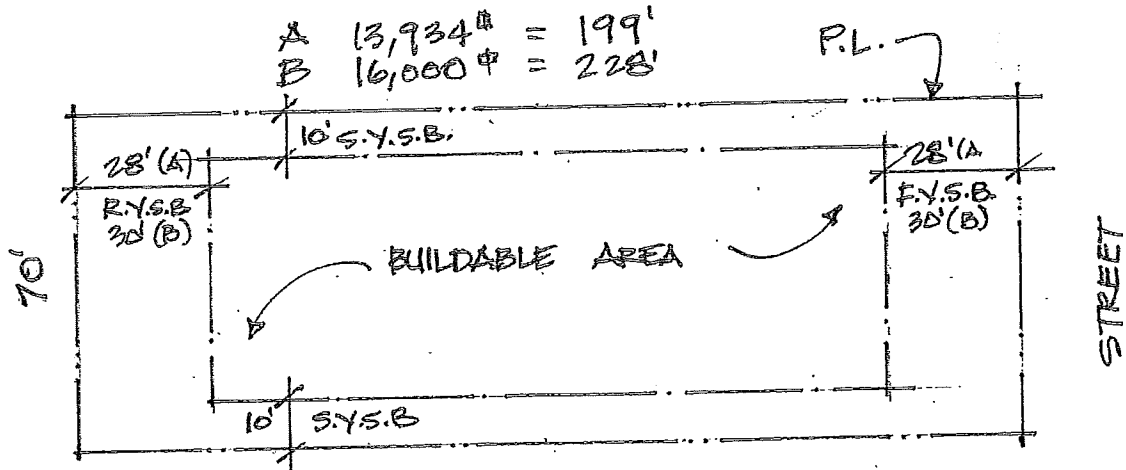
FIG. #2



Typical Rectangular Corner Lot w/ same area

LOT AREA (SF)	13,934	
AREA	Sq. ft.	%
SETBACK AREA	8,978	64%
BUILDABLE AREA	4,956	36%

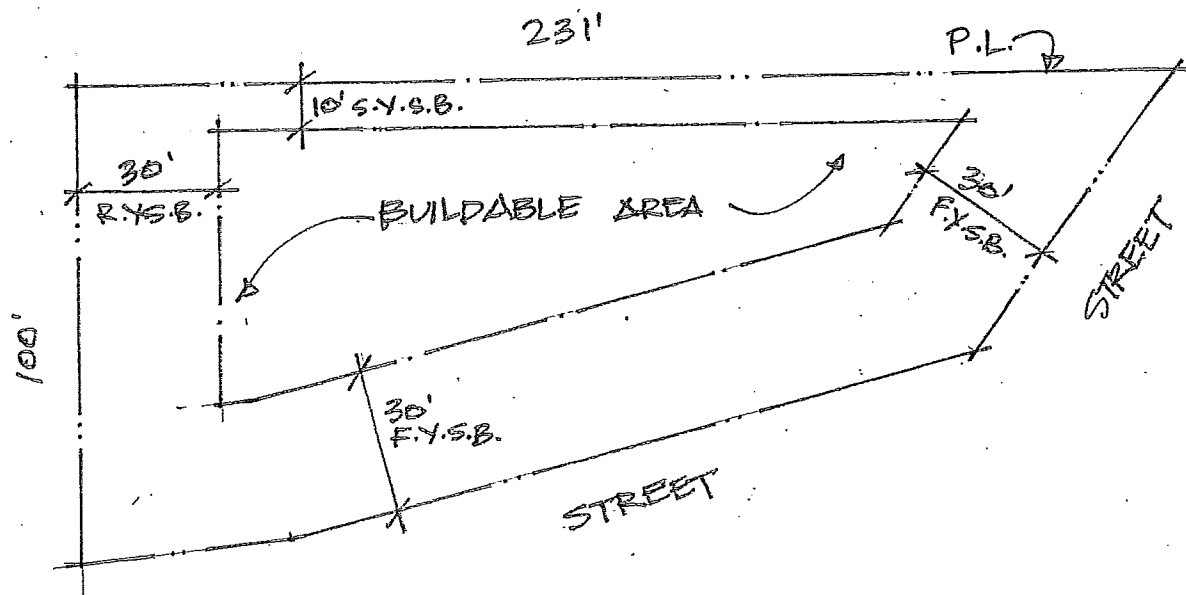
FIG. #3 A & B



Typical long Rectangular Lot w/ 13,934 sf and 16,000 sf

LOT AREA (SF)	A		B	
	Sq. ft.	%	Sq. ft.	%
	13,934		16,000	
AREA	Sq. ft.	%	Sq. ft.	%
SETBACK AREA	6,784	49%	7,600	47.5%
BUILDABLE AREA	7,150	51%	8,400	52.5%

FIG. #4



Same Shape as Subject lot with 16,000 sf w/o variance

LOT AREA(SF)	16,000	
AREA	Sq. ft.	%
SETBACK AREA	10,710	67%
BULDABLE AREA	5,290	33%

HERR RESIDENCE
543 Overlake Drive E.
Medina, WA

NON-ADMINISTRATIVE VARIANCE
APPROVAL CRITERIA RESPONSE

VARIANCE FOR REAR SETBACK

REVISED 11.5.24

1. **The variance does not constitute a granting of special privilege inconsistent with the limitations upon uses of other properties in the vicinity and zone in which the subject property is located:**
 - a. The site is currently zoned single family R16, and the proposal is to build a new single-family house on the site. An existing single-family house and a non-conforming detached Garage/Guestroom, will be demolished and replaced with the proposed single-family house, therefore no granting of special privilege is requested or required, because of no change in use.
 - b. In addition, the current owner bought the property which was the previously approved for construction of a 2-story house (Permit # BD 17-017/D17-002) with a 10 ft. Rear Yard Setback on the south property line exactly as we are proposing. The design was approved on 7-15-2018, by Steve Wilcox, Director of Building and Development for Medina. The current owners decided that they wanted to have a more contemporary design and make some modifications to the floor plan that would suit their family needs more so than the design that had been approved in 2018. But the siting of the house and footprint is very similar. Plans available upon request if needed.
 - c. The proposed design does not constitute a granting of special privilege but is only is a more contemporary expression of the house previously approved for construction on this site, which apparently met the criteria of not granting of a “special privilege inconsistent with the limitations upon uses of other properties in the vicinity and zone” if it was approved for a 10 ft. Rear yard setback as is our proposal.
 - d. **The proposed use of the property is consistent with uses allowed on other properties within the vicinity and zone of the project parcel. All the properties within 300 ft. of the house are single family residential. The variance is not asking for a use not allowed. The single family use is permitted in Medina Municipal Code Chapter 16.**

2. **The variance is necessary, because of special circumstances relating to the size, shape, topography, location or surroundings of the subject property, to provide it**

with use rights and privileges permitted to other properties in the vicinity and in the zone in which the subject property is located:

- a. **Size:** The subject lot area is legally nonconforming at 13,934 sf. vs. 16,000 sf. required for this zone. The smaller size contributes as one of the factors that reduces the use rights and privileges of other lots with fewer hardships. See Figures 1, Fig. 3B & Fig. 4.
- b. **Shape:** The triangular shape of this lot is a hardship on the design and access to this house.
 - i. It has a long western property line of 207 ft., the southern property line is 97 ft. long, the angled Eastern property line is 167 ft. long, and the angled northern property line is 72 ft. long. (See Figure #1). The resultant shape is like a wedge, which creates an unusual building site, and together with all the other factors noted below, creates a hardship for locating and designing a house that other more normal shaped lots don't share in that hardship.
 - ii. So much of the lot is consumed by the required two Front Yard setbacks and steep slope that it reduces the available buildable area when you compare it to other lots in Medina. (See Figure #1, Fig. 2, Fig. 3 for comparisons with rectangular shaped lots.).
- c. **Topography:** The topography of this lot is a hardship from several standpoints.
 - i. 38.64% of the site is considered "Steep Slope" (5,385 sf). Because of the sites shape, small size, corner location, and steep slopes, the lot can only be accessed from Overlake Drive by driving through the neighboring property to the south and from NE 7th Street to the north, over an easement granted by the neighbor to the west and north. (See Site Survey). The site cannot be accessed directly from Overlake Drive because of the existing steep slope on the Right of Way and on the property adjacent to Overlake Drive.
 - ii. Along the south property line (97 ft. long), the lot slopes from an elevation of 132 ft. down to 99 ft. in. From there down to the line of the asphalt along Overlake Dr. E, it drops another 17 ft. to an elevation of 78 ft.
- d. **Location and surroundings:**
 - i. The subject lot sits on the corner of the intersection of Overlake Drive East and NE 7th St. on the east side of Medina Heights.
 - ii. The corner location and the long narrow shape of the property, creates two Front Yard setbacks, each 28 ft. deep, required by the MMC. Just the two front yard setbacks along Overlake Dr. and NE 7th St. consume 6,048 sf of property area or 44 percent of the total lot area. Compared to a more standard shaped 16,000 sf lot (70'W X 228' L) with one street frontage on

the shorter dimension which would have a front yard set back of 30 ft. x 70 ft. wide= 2,100 sf. or 13 % of the total lot area. (see Fig. 2 & Fig. 3A)

iii. The comparison of the total amount of setback area vs. buildable area for our lot without the requested variance is as follows:

1. Subject property without variance request: Total setback area (2 fronts, one side and one rear) is 9,629 sf, leaving a buildable area of 4,305sf. (See Fig. 1).
2. A typical rectangular corner lot of 13,934 sf has a setback area of 8,964sf, leaving 4,970sf of buildable area. (See Fig. #2)
3. Our proposed variance, for changing the rear yard setback dimension requirement from 28 ft. to 10 ft., is only adding 972 sf (18' x 54') of buildable area, (3,784 sf + 972 sf) for a total of 4,756sf of total proposed buildable area. This compares more equitably to the standard rectangular corner lot of 4,970 sf of buildable area.
4. This sizable difference in the amount of buildable lot area available is a major hardship on the owner of this property.
5. For an example of a standard shaped lot of the same area (13,934 sf) and only one street frontage, see Figure #3A for comparable setback and buildable areas.
6. For a study of a 16,000 sf lot the same shape, location and steep slopes, as subject lot, see Figure #4 for comparable setback and buildable areas.

e. Summary of hardships:

- i. The shape of the lot, the corner location, and the steep topography create a material hardship for the owners to be able to have a size of house comparable to adjacent property owners around them. Figures 1, 2, 3 & 4, show how the subject property is penalized for its shape, size, corner lot location and steep slopes that limit access to the lot. There is a table comparing the buildable area of similar sized lots of a more standard rectangular shaped lot without the hardships of steep slope, access, and shape.

3. The variance is necessary to relieve a material hardship that cannot be relieved by any other means such that the material hardship must relate to the land itself and not to problems personal to the applicant:

- a. The material hardships created by the size, shape, topography and location of the subject property cannot be relieved by any other means, this is totally created by the lot size, shape, topography and location.

- b. It is an unusual site, the kind of site that variances were intended to help relieve property owners from having to comply with land use code requirements which were meant for more standard lots of size shape, topography and location.
 - c. **Utilizing the building setbacks required by code limits the amount of usable space as shown in the attached Figures 1 thru 4. Also, see comments in Criteria #2 for how the smaller lot size, unique shape, steep topography, and location and surroundings contribute to the material hardship that can't be relieved by any other means. By reducing the setback on the south property allows for locating the building on a more buildable part of the lot with less steep slope, better access and egress to and from the site, reduces the need to cut down existing trees, and allows for buildable area similar to other adjacent sites with a more rectangular shape.**
- 4. The granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and zone in which the subject property is situated:**
- a. The granting of the requested variance will actually create a more equitable buildable area for this homeowner closer to what other Medina homeowners enjoy. The neighborhood will be upgraded by the removal of the two structures that presently occupy the site, one of which is non-conforming as to its 5 ft. setback on the South property line (rear yard). The proposed house will be no taller than the two structures already on the site and will not negatively impact any view the neighbors to the west have currently.
- 5. The variance is the minimum necessary to provide reasonable relief.**
- a. Even with the granting of the requested variance, the buildable area is still much smaller than on a standard sized and shaped lot.
 - i. The buildable area of the subject lot, with the code required setbacks, is 4,305 sf.
 - ii. The buildable area of the subject lot with proposed rear yard setback adjustment is 4,944 sf. which is comparable (4,970sf) to a rectangular shaped lot of the same area as shown in Figure #2.
 - iii. For comparison, the buildable area of a legal, rectangular shaped and sized lot of 16,000sf (70' W x 228' L) with one rear yard, one front yard and 2 side yard setbacks is 8,400 sf. (3,456 sf more than our proposed variance is requesting).
 - b. The proposed reduced Rear Yard Setback helps to offset the hardship of lot size, lot shape, topography and location by allowing for a Structural Lot Coverage and Impervious Surface that is comparable to lots without those hardships.
 - i. The proposed amount of Structural Lot Coverage (SLC) is proportionate to that of a standard rectangular shaped lot of the same square footage.

1. Max Allowed: 13,934 sf. X 26.67% =3,716 sf Max. Allowed SLC.
 2. Proposed (with reduced Rear Yard setback): 3,709 sf (26.62%) because of lot hardships described above.
- ii. The proposed amount of Impervious Surface is under the code maximum allowed:
 1. Max. Allowed: 13,934 sf X 55% = 7,663.7 sf. Max allowed
 2. Proposed: 5,942sf (42.64%)
- c. The proposed reduced Rear Yard Setback does not allow for a taller building than allowed by Code for Structures on a hillside in the R16 zone. See attached graphic.
 - d. The proposed reduction of the rear yard setback also allows for a parked car in the garage to turn around on the lot so that the owner does not have to back down the steep curvy driveway into the street.
 - e. The proposed reduction of the rear yard setback also is an improvement over the existing 5 ft. setback of the Existing Garage along the south property line.
 - f. In addition, the previous owner was approved for construction of a 2 story house (Permit # BD 17-017/D17-002) for a 10 ft. Rear Yard Setback on the south property line exactly as we are proposing. The design was approved on 7-15-2018, by Steve Wilcox, Director of Building and Development for Medina, for the construction of a new 2 story house. Plans available upon request if needed.
 - g. **The variance to reduce the setback from 28 ft. to 10 ft. is the minimum necessary because it allows the owner to build the size of house that is comparable to a more normally shaped lot without the steep slope and difficult site access that incumbers the subject property.**
 - h. **The proposed variance is the minimum necessary when comparing Lot Coverage, Impervious surface and setbacks as noted below:**
 - i. **The Allowed Lot Coverage area for any 13,934 sf lot is 3,716 sf (26.67%). The proposed Lot Coverage area is 3,709 sf (26.02%). The Variance allows for approximately the same amount of allowed Lot Coverage as any other corner lot of the same square footage.**
 - ii. **The Allowed Impervious Surface Area for any 13,934 sf lot is 7,664 sf (55%). The proposed Impervious Surface is only 5,942 sf (42.64%). The variance does not even allow the Impervious surface area to get close to the allowed area (1,722 sf less than allowed).**
 - iii. **The area of required Setbacks for a 13,934 sf rectangular corner lot is 8,978 sf (Fig. 2). The area of required Setbacks for the subject lot is 9,629 sf (Fig. 1A) w/o the variance request , while the area of Setbacks with proposed setbacks are 8,990 sf (Fig. 1B). Almost identical the required area of a rectangular lot of the same square footage. The variance helps to mitigate the loss of buildable area due to lot shape, steep terrain, and difficult site access, and awkward limited access to site because of the steep terrain and shape of lot.**

End



DEVELOPMENT SERVICES

OWNER'S DECLARATION OF AGENCY A-05

501 EVERGREEN POINT ROAD MEDINA, WA 98039
PHONE: 425-233-6414/6400

Project Address 543 Overlake Dr. E Parcel No. 383550-2325

I/We Ben Herr & Michelle Wu do hereby declare and affirm that I/we are:

- the owners or contract purchasers of the above property
an officer or representative of a Washington corporation or trust which is the owner of the above property.

AGENCY

I/We are applying for one or more permits for development of the above property. I/We understand that the proposed work may also include additional permits for land use approvals.

For the purposes of applying for the applicable permits and managing the owner's responsibility for compliance with the approved plans and any land use permits associated with this project, I/we

- will act as my own agent
do hereby appoint Mark L. Nelson to act as my agent in dealing with the City of Medina in all acts and decisions related to processing the application for permit, review and approval of the application, authorization of revisions, and coordination of required inspections and project approvals.

AGREEMENT TO CONDITIONS

I/We agree as a condition of this permit:

- To comply with all applicable codes, ordinances, laws and conditions of approval in effect at time of permit issue.
To ensure that all work shall be done in accord with the approved plans and specifications, which shall not be modified without the prior approval of the Building Official.
To inform all contractors, subcontractors and workers of these conditions and any project mitigation requirements agreed to, and I/we will enforce compliance thereto.
To maintain the approved plans, all correction notices, all inspection reports, and all permit documents on the project site and readily available to the inspectors.
To ensure that requests are made to the City for the required inspections.
To cause all certifications required by the City to be completed and to reconcile the permit fees upon completion of the work.
I/We acknowledge that consultant fees may be incurred as a result of the review and inspection of the proposed work.

SALES TAX

All contractors and vendors must report sales taxes for transactions in the City of Medina on quarterly combined excise tax returns. The 4-digit location code for the City of Medina is 1718.

OWNER OR OFFICER/REPRESENTATIVE NAME AND SIGNATURES

I HAVE READ, UNDERSTOOD AND AGREE TO THE ABOVE REQUIREMENTS.

Signature Date

Name Benjamin Herr & Michelle Wu

When recorded return to:

Benjamin Herr and Michelle Wu
9888 NE 19th St
Bellevue , WA 98004

STATUTORY WARRANTY DEED

THE GRANTOR(S) Ming Song, a married person

for and in consideration of \$10.00 and other good and valuable consideration
in hand paid, conveys, and warrants to Michelle Wu and Benjamin Herr, a married couple
the following described real estate, situated in the County of King, State of Washington:

Lots 33, 34, 35, 36, 37 and 38, Block 12, KENWOOD PARK, according to the plat thereof
recorded in Volume 8 of Plats, page 26, records of King County, Washington;
EXCEPT roads;

SITUATE in the County of King, State of Washington

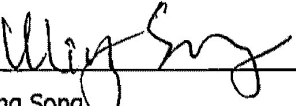
Abbreviated Legal:

OLD REPUBLIC TITLE LTD.

5207181323
3/205-50

Tax Parcel Number(s): 383550-2325

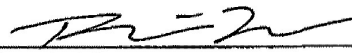
Dated: November 19, 2021



Ming Song

State of Washington
County of King

This record was acknowledged before me on Nov 22, 2021 by Ming Song.



Notary Public

My commission expires: Nov 23, 2023

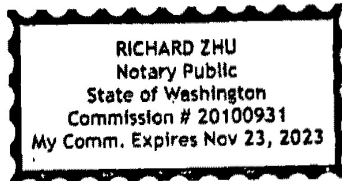
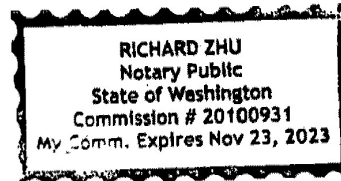


EXHIBIT "A"

8. Terms and provisions as contained in an instrument,

Entitled : Beneficial Easement

Executed By : Stanley Scott and Ruth Scott, husband and wife

Recorded : March 26, 1962 in Official Records under Recording Number 5403801

Which, among other things, provides: Ingress to and egress from

9. Terms and provisions as contained in an instrument,

Entitled : Record of Survey

Recorded : August 14, 1989 in Official Records under Recording Number

8908149002

Which, among other things, provides: Possible encroachment of a garage along the South line

10. Agreement for : Easement and Quit Claim Agreement for the purposes of using, maintaining and repairing the existing garage affecting the South line

Executed By : Merrill Construction, Inc., a Washington corporation and James R.

Merrill and Peggy M. Merrill, husband and wife, and David Gould and

Janice Gould, husband and wife

On the terms, covenants and conditions contained therein,

Recorded : November 1, 1989 in Official Records under Recording Number

8911011135

11. Terms and provisions as contained in an instrument,

Entitled : Record of Survey

Recorded : July 18, 2006 in Official Records under Recording Number

20060718900002

Which, among other things, provides: Encroachments along the South line, purpose Undisclosed

12. Terms and provisions as contained in an instrument,

Entitled : Notice of Tap or Connection Charges which have been or will be due in Connection with Development or Re-Development of the Land as

disclosed by recorded instrument. Inquiries regarding the specific amount of the charges should be made to the City/County/Agency

Executed By : City of Bellevue

Recorded : November 9, 1977 in Official Records under Recording Number

7711090948

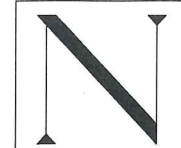
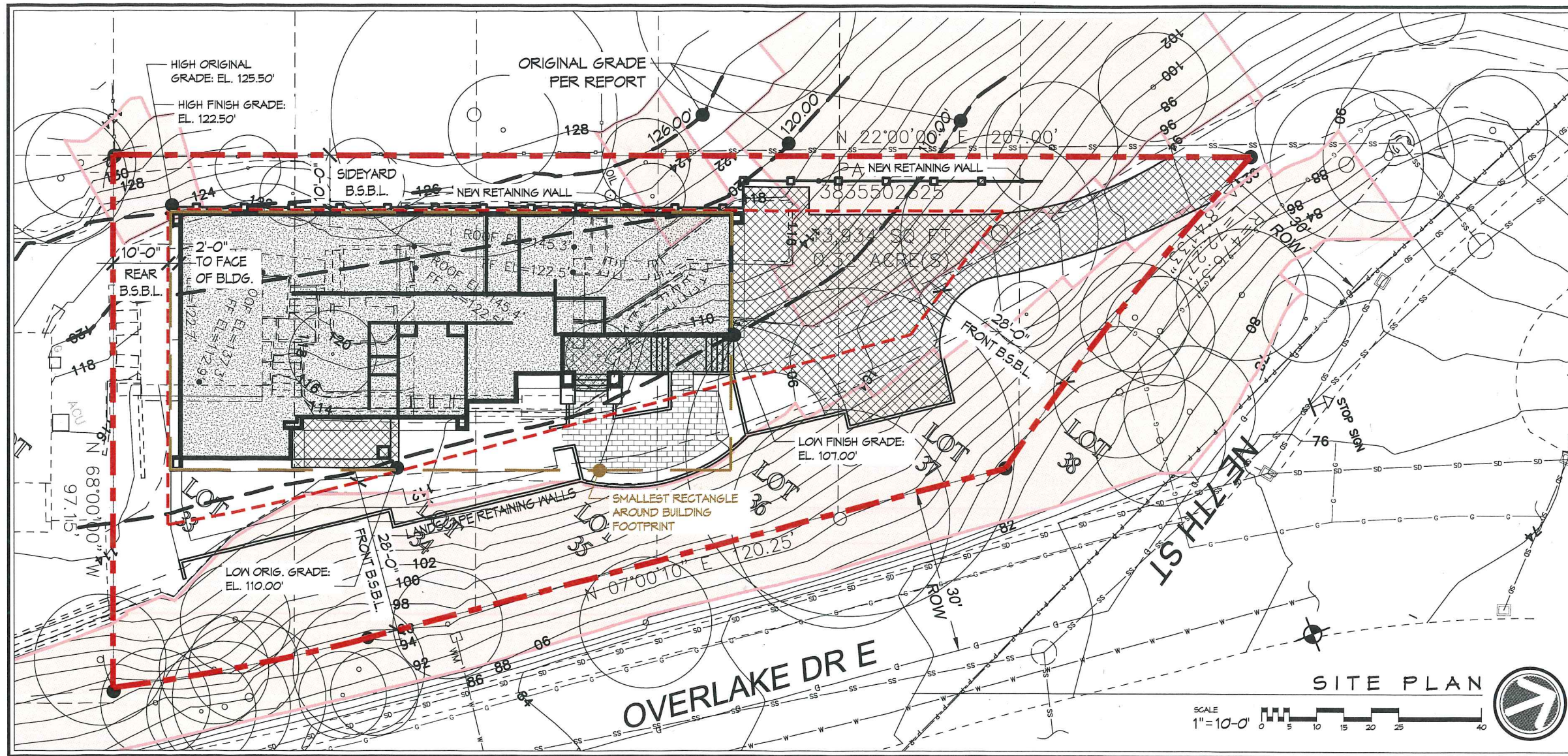
13. Terms and provisions as contained in an instrument,

Entitled : Notice of Charges by Water, Sewer, Storm and Surface Water Utilities

Executed By : City of Bellevue

Recorded : December 20, 1996 in Official Records under Recording Number

9612200938



NELSON
ARCHITECTURE

Mark L. Nelson AIA
Principal
1233 Evergreen Point Road
Medina, Washington 98039
Telephone (206) 617-8069
Facsimile (425) 454-7803

LEGEND

- EXISTING BUILDINGS, WALLS & LANDSCAPE FEATURES (TO BE REMOVED)
- PROPOSED NEW BUILDING FOOTPRINT
- STEEP SLOPE AREAS
- IMPERVIOUS PAVED AREAS
- PERVIOUS PAVERS
- PROPOSED NEW SITE DEVELOPMENT FEATURES, STEPS, WALLS, ETC.
- NEW RETAINING WALL
- ORIGINAL GRADE PER REPORT: 120.00'
- PROPERTY LINE:
- BUILDING SETBACK:

LEGAL DESCRIPTION:

PER STATUTORY WARRANTY DEED RECORDING NO.20211123001512
LOTS 33, 34, 35, 36, 37 AND 38, BLOCK 12, KENWOOD PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 26, RECORDS OF KING COUNTY, WASHINGTON;
EXCEPT ROADS;

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON

IMPERVIOUS COVERAGE:

USABLE LOT AREA:	13,934 S.F.
ALLOWABLE IMPERVIOUS @ 55%:	7,664 S.F.
PROPOSED DEVELOPMENT	
FOOTPRINT OF NEW RESIDENCE (EAVE LINE & IMPERVIOUS DECKS)	3,955 SF
DRIVENAYS, PATIO & WALKS:	1,987 SF
TOTAL IMPERVIOUS AREAS:	5,942 SF
PROPOSED TOTAL IMPERVIOUS AREAS: (5,942 SF/13,934 SF)	42.64% < 55% .OK

SEE DRAWING SHEET A1.1 FOR ADDITIONAL DETAIL.

LOT COVERAGE:

TOTAL LOT AREA:	13,934 SF
ALLOWABLE LOT COVERAGE @ 26.61%:	3,716 SF
PROPOSED IMPROVEMENTS	
FOOTPRINT OF NEW RESIDENCE (INCL. COVERED PORCHES & DECKS)	3,709 SF
TOTAL LOT COVERAGE:	3,709 SF
PROPOSED TOTAL LOT COVERAGE: (3,709 SF / 13,934 SF)	26.62%

PROPOSED IMPERVIOUS SURFACES: (INCLUDES BUILDING ROOFLINE, DRIVEWAY, WALKWAYS & DECKS) 5,942 SF

SEE DRAWING SHEET A1.1 FOR ADDITIONAL DETAIL.

LOT ZONING:

LOT ZONING:	R 16
LOT SIZE:	13,934 S.F. (.32 Acre) (PER SURVEY DATED 04/21/22)
LOT SLOPE:	26.74%
ALLOWED LOT COVERAGE:	26.61% MAX. (3,716 SF)
ALLOWED IMPERVIOUS AREA:	55% MAX. (7,664 SF)
BASE BUILDING HEIGHT:	95 FEET
SETBACK - FRONT YARD: (STREET FRONT):	28 FEET
SETBACK - REAR YARD:	10 FEET
SETBACK - SIDE YARDS:	10 FEET

JURISDICTIONAL DATA:

LEAD AGENCY:
CITY OF MEDINA
COMMUNITY DEVELOPMENT
501 EVERGREEN POINT ROAD / P.O. BOX 144
MEDINA, WA 98039
Ph: (425) 293-6400 Fax: (425) 451-8197

PROJECT DATA:

PARCEL #:	383550-2925
SITE ADDRESS:	543 OVERLAKE DRIVE E. MEDINA, WA 98039
PROPERTY OWNER:	BENJAMIN HERR & MICHELLE WU
ARCHITECT:	NELSON ARCHITECTURE MARK L. NELSON AIA 1233 EVERGREEN POINT RD. MEDINA, WA 98039 PH: (206) 617-8069
STRUCTURAL ENGINEER:	T.B.D.

BUILDING DATA:

THREE LEVEL HOUSE:	
LEVEL 1 HEATED AREA:	2,499 SF
LEVEL 2 HEATED AREA:	3,204 SF
LEVEL 3 HEATED AREA:	139 SF
TOTAL HEATED AREA:	6,447 SF
GARAGE/MECHANICAL AREAS:	965 SF
TOTAL ENCLOSED BUILDING AREA:	7,412 SF
PORCHES & DECKS:	1,717 SF

APN: 3835502325

2870 REGISTERED ARCHITECT

MARK L. NELSON
STATE OF WASHINGTON

Project:

Herr Residence

543 Overlake Drive E.
Medina, WA 98039

Drawing Title:
SITE PLAN

Drawn By: S/A

Checked By: MLN

Approved By: MLN

Issue Date: 04/30/2024

Revisions:

No.	Description	Date

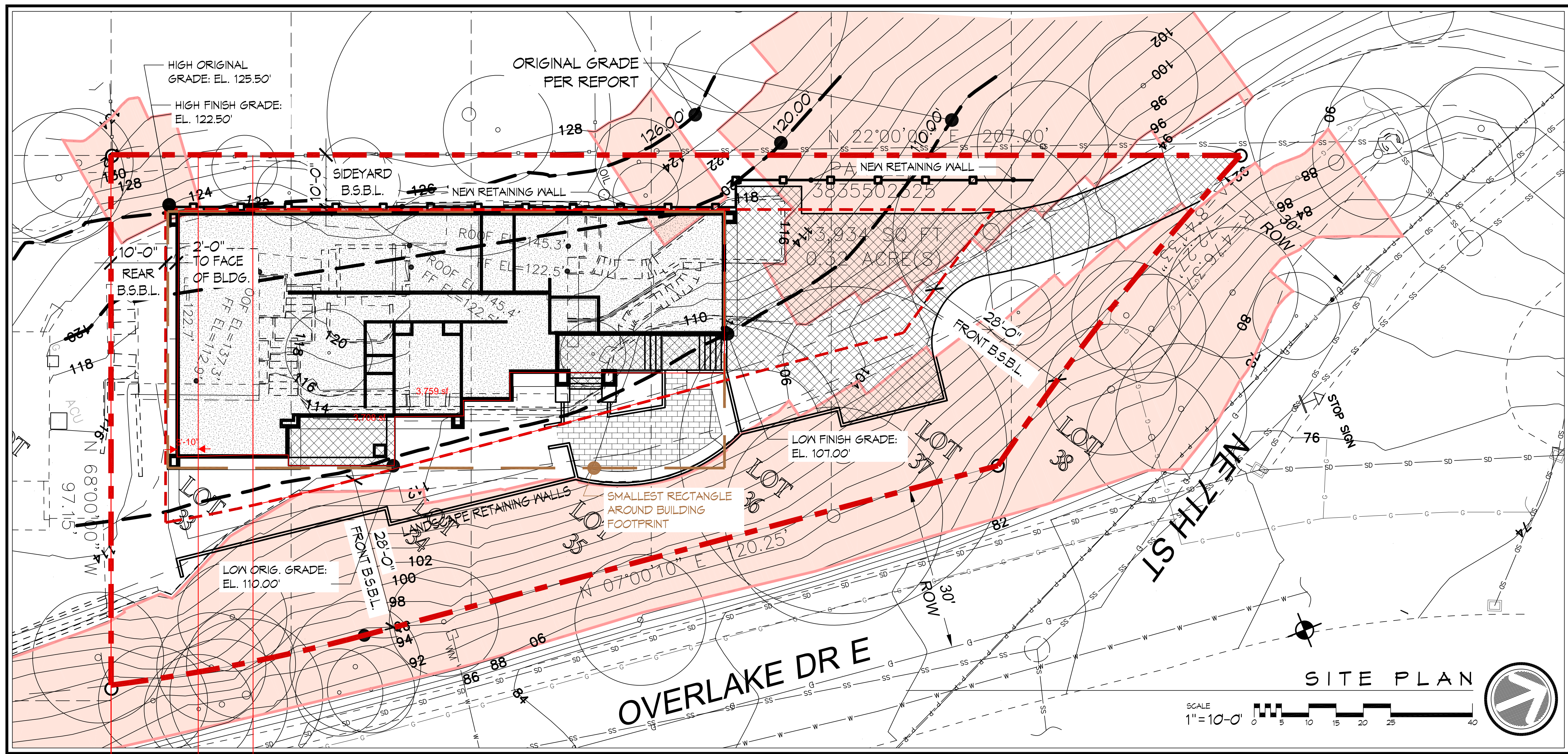
Scale: AS NOTED

Sheet No.

A1.0

Printed:

9.30.24



NELSON ARCHITECTURE
 Mark L. Nelson AIA
 Principal
 1233 Evergreen Point Road
 Medina, Washington 98039
 Telephone (206) 617-8069
 Facsimile (425) 454-7803

LEGEND

- EXISTING BUILDINGS, WALLS & LANDSCAPE FEATURES (TO BE REMOVED)
- PROPOSED NEW BUILDING FOOTPRINT
- STEEP SLOPE AREAS
- IMPERVIOUS PAVED AREAS
- PERVIOUS PAVERS
- PROPOSED NEW SITE DEVELOPMENT FEATURES, STEPS, WALLS, ETC.
- NEW RETAINING WALL
- ORIGINAL GRADE PER REPORT
- PROPERTY LINE
- BUILDING SETBACK

LEGAL DESCRIPTION:

PER STATUTORY WARRANTY DEED RECORDING NO. 20211123001512
 LOTS 33, 34, 35, 36, 37 AND 38, BLOCK 12, KENWOOD PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 26, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT ROADS;
 SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON

IMPERVIOUS COVERAGE:

USABLE LOT AREA:	13,934 S.F.
ALLOWABLE IMPERVIOUS @ 55%:	7,664 S.F.
PROPOSED DEVELOPMENT	
FOOTPRINT OF NEW RESIDENCE: (EAVE LINE & IMPERVIOUS DECKS)	3,955 SF
DRIVEWAYS, PATIO & WALKS:	1,987 SF
TOTAL IMPERVIOUS AREAS:	5,942 SF
PROPOSED TOTAL IMPERVIOUS AREAS: (5,942 SF/13,934 SF)	42.64% < 55% .OK

SEE DRAWING SHEET A1.1 FOR ADDITIONAL DETAIL.

LOT COVERAGE:

TOTAL LOT AREA:	13,934 SF
ALLOWABLE LOT COVERAGE @ 26.61%:	3,716 SF

PROPOSED IMPROVEMENTS

FOOTPRINT OF NEW RESIDENCE: (INCL. COVERED PORCHES & DECKS)	3,709 SF
TOTAL LOT COVERAGE:	3,709 SF
PROPOSED TOTAL LOT COVERAGE:	26.62%
	3,709 SF / 13,934 SF

PROPOSED IMPERVIOUS SURFACES: (INCLUDES BUILDING ROOFLINE, DRIVEWAY, WALKWAYS & DECKS) 5,942 SF

SEE DRAWING SHEET A1.1 FOR ADDITIONAL DETAIL.

LOT ZONING:

LOT ZONING:	R 16
LOT SIZE:	13,934 S.F. (.32 Acre) (PER SURVEY DATED 04/21/22)
LOT SLOPE:	26.74%
ALLOWED LOT COVERAGE:	26.61% MAX. (3,716 SF)
ALLOWED IMPERVIOUS AREA:	55% MAX. (7,664 SF)
BASE BUILDING HEIGHT:	35 FEET

SETBACK - FRONT YARD: 28 FEET (STREET FRONT);
 SETBACK - REAR YARD: 10 FEET
 SETBACK - SIDE YARDS: 10 FEET

JURISDICTIONAL DATA:

LEAD AGENCY:
 CITY OF MEDINA
 COMMUNITY DEVELOPMENT
 501 EVERGREEN POINT ROAD / P.O. BOX 144
 MEDINA, WA 98039
 Ph: (425) 233-6400 Fax: (425) 451-8197

PROJECT DATA:

PARCEL #:	383550-2325
SITE ADDRESS:	543 OVERLAKE DRIVE E. MEDINA, WA 98039
PROPERTY OWNER:	BENJAMIN HERR & MICHELLE WU
ARCHITECT:	NELSON ARCHITECTURE MARK L. NELSON AIA 1233 EVERGREEN POINT RD. MEDINA, WA 98039 PH. (206) 617-8069
STRUCTURAL ENGINEER:	T.B.D.

BUILDING DATA:

THREE LEVEL HOUSE :	
LEVEL 1 HEATED AREA:	2,499 SF
LEVEL 2 HEATED AREA:	3,209 SF
LEVEL 3 HEATED AREA:	739 SF
TOTAL HEATED AREA:	6,447 SF
GARAGE/MECHANICAL AREAS:	965 SF
TOTAL ENCLOSED BUILDING AREA:	7,412 SF
PORCHES & DECKS:	1,791 SF

APN: 3835502325

2870 REGISTERED ARCHITECT
 MARK L. NELSON
 STATE OF WASHINGTON

Project:
Herr Residence

543 Overlake Drive E.
 Medina, WA 98039

Drawing Title:
 SITE PLAN

Drawn By: S/A

Checked By: MLN

Approved By: MLN

Issue Date: 09/30/2024

Revisions:

No.	Description	Date

Scale: AS NOTED

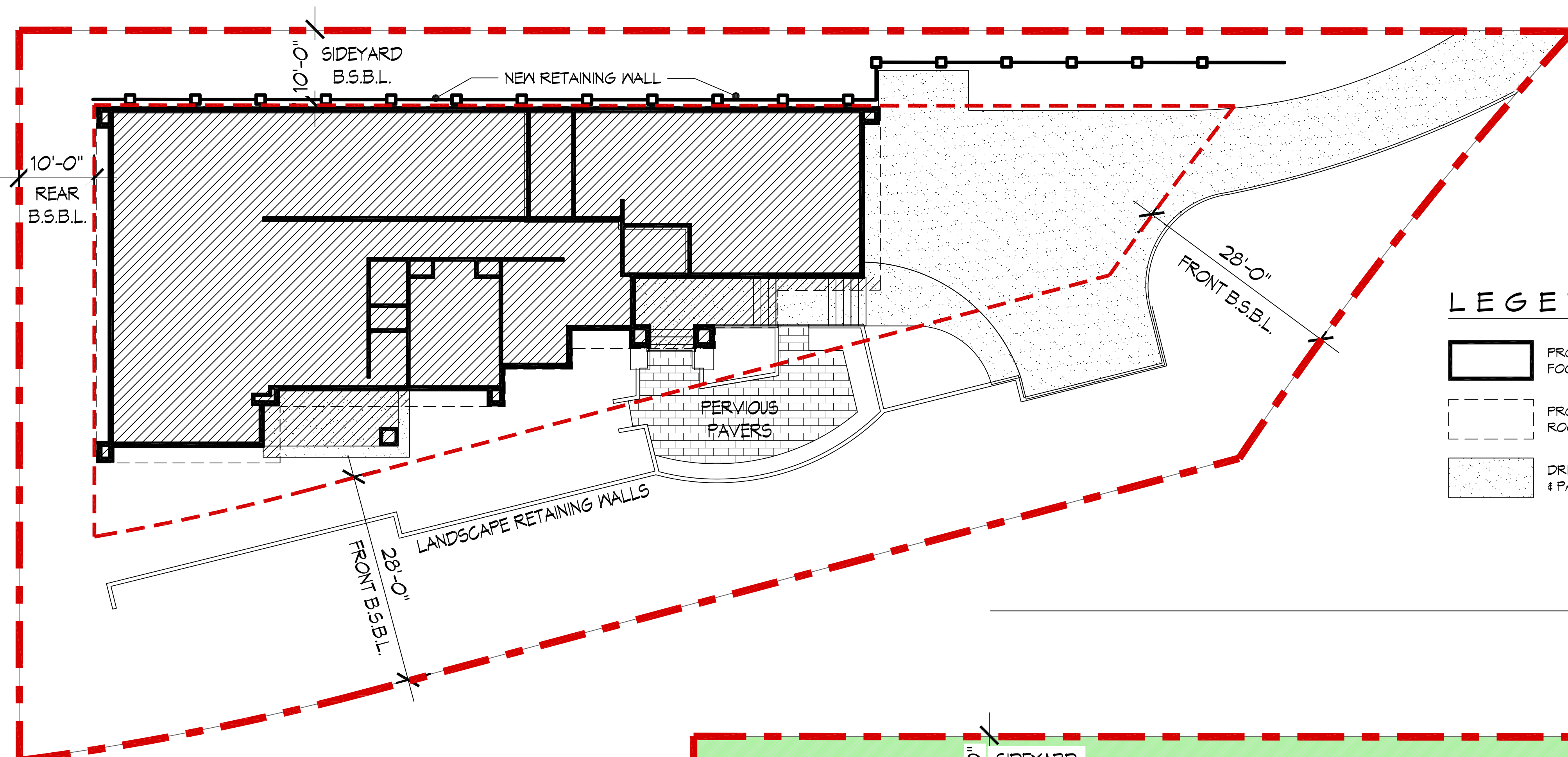
Sheet No.

A1.0

Printed: 9/30/2024 8:33:01 AM

LOT ZONING:

LOT ZONING: R 16
LOT SIZE: 19,984 S.F. (.32 Acre)
(PER SURVEY DATED 09/21/22)
LOT SLOPE: 26.74%
ALLOWED LOT COVERAGE: 26.67% MAX. (3,716 SF)
ALLOWED IMPERVIOUS AREA: 55% MAX. (1,664 SF)

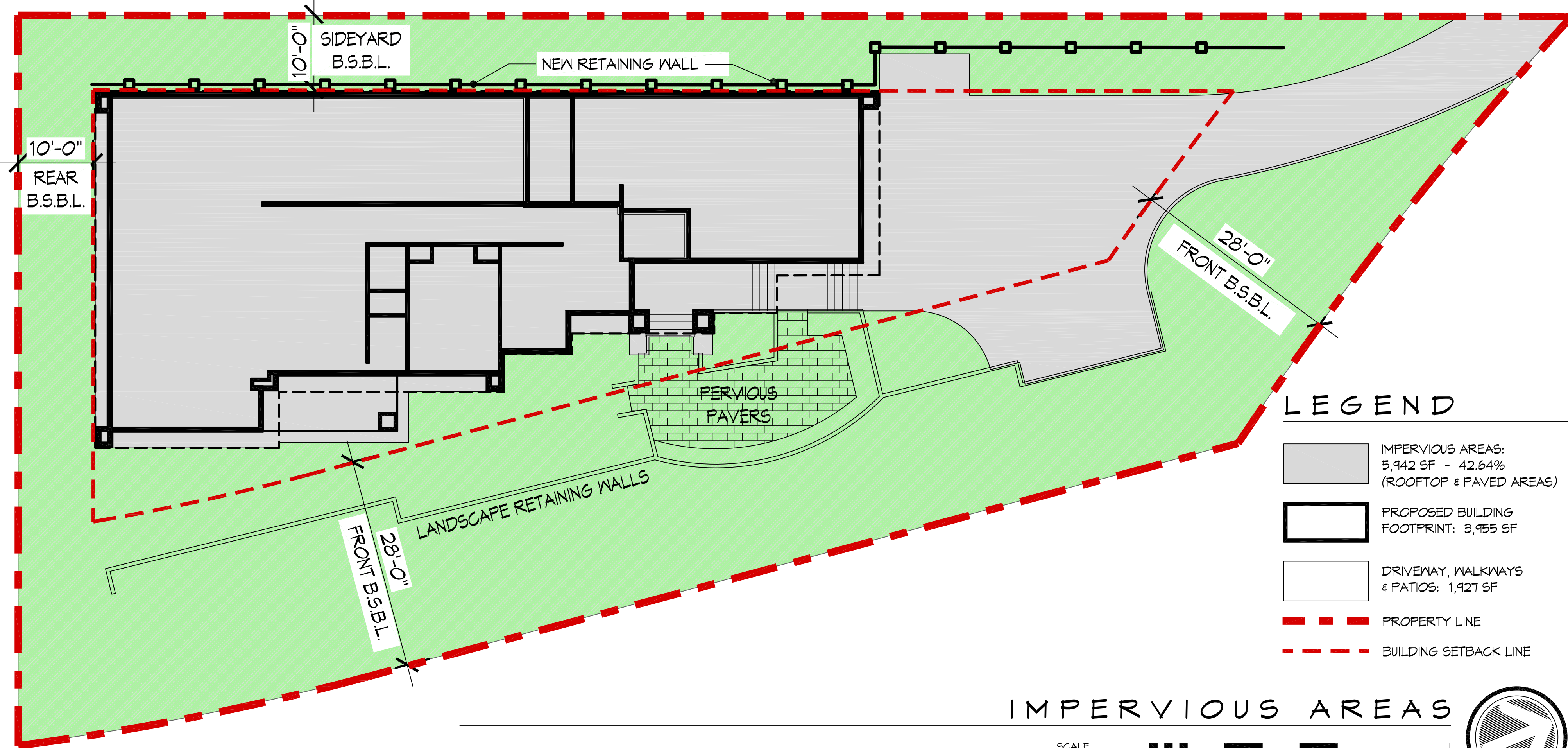


LEGEND

- PROPOSED BUILDING FOOTPRINT
- PROPOSED BUILDING ROOFLINE
- DRIVEWAY & WALKWAYS & PATIOS
- LOT COVERAGE: 3,709 SF - 26.62%
- LANDSCAPE WALLS & CURBS (>12" THICK)
- NEW SOLDIER FILE RETAINING WALL

LOT COVERAGE

SCALE 1"=10'-0" 0 5 10 15 20 25 30 40

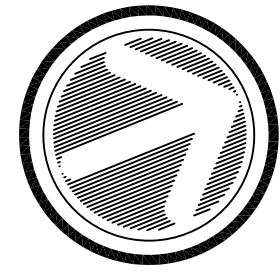


LEGEND

- IMPERVIOUS AREAS: 5,942 SF - 42.64% (ROOFTOP & PAVED AREAS)
- PROPOSED BUILDING FOOTPRINT: 3,955 SF
- DRIVEWAY, WALKWAYS & PATIOS: 1,927 SF
- PROPERTY LINE
- BUILDING SETBACK LINE

IMPERVIOUS AREAS

SCALE 1"=10'-0" 0 5 10 15 20 25 30 40



APN: 3835502325

2870 REGISTERED ARCHITECT
MARK L. NELSON
STATE OF WASHINGTON

Project:
Herr Residence

543 Overlake Drive E.
Medina, WA 98039

Drawing Title:
SITE PLAN
CODE DETAILS

Drawn By: S/A
Checked By: MLN
Approved By: MLN

Issue Date: 09/30/2024

Revisions:

No.	Description	Date

Scale: AS NOTED

Sheet No.

A1.1

Printed: 9/30/2024 8:53 AM

LEGAL DESCRIPTION

PER STATUTORY WARRANTY DEED RECORDING NO.20211123001512

LOTS 33, 34, 35, 36, 37 AND 38, BLOCK 12, KENWOOD PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 26, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT ROADS;

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON

BASIS OF BEARINGS

N 22°00'00" E BETWEEN SURVEY MONUMENTS FOUND ALONG THE CENTERLINE OF OVERLAKE DR. E, PER REFERENCE NO. 1.

REFERENCES

R1. RECORD OF SURVEY, VOL. 208, PG. 065, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

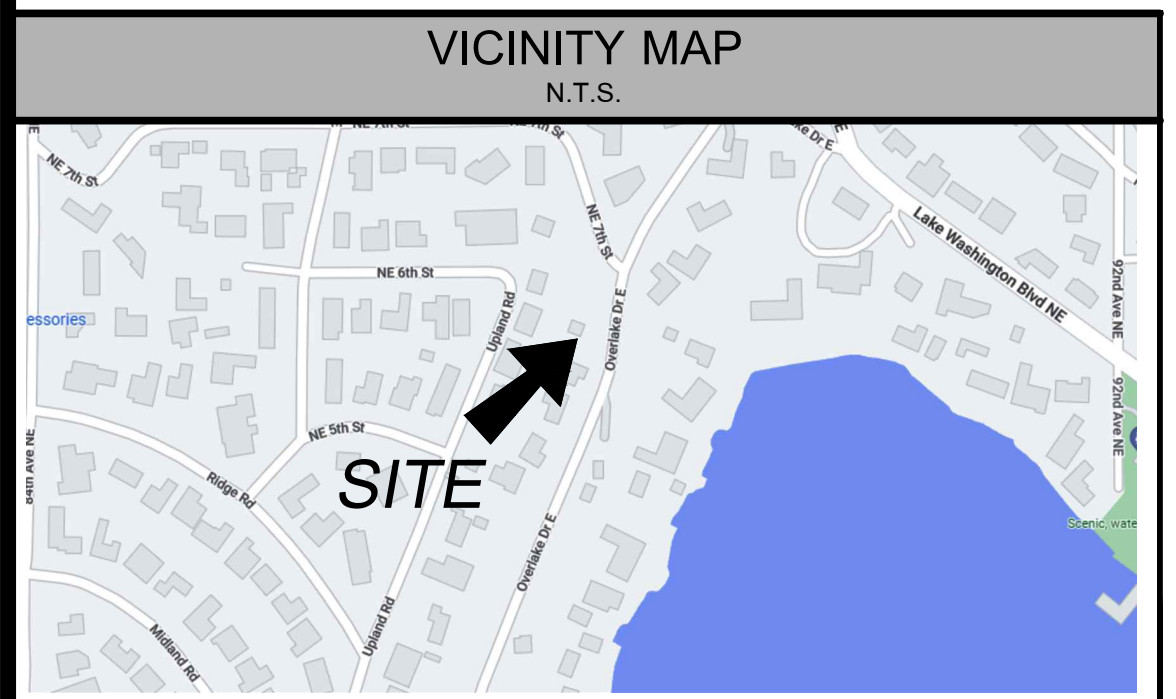
NAVD88 PER GPS OBSERVATIONS

SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN SEPTEMBER OF 2022. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 3835502325
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 13,934 S.F. (0.32 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND

	ASPHALT SURFACE		SEWER LINE
	BENCHMARK		SEWER MANHOLE
	BRICK SURFACE		STEEP SLOPE AREA
	BUILDING		SIGN (AS NOTED)
	CENTERLINE ROW		STORM DRAIN LINE
	CLEANOUT		TREE (AS NOTED)
	CONCRETE SURFACE		WATER LINE
	DECK		WATER METER
	FENCE LINE (WOOD)		WATER VALVE
	FIRE HYDRANT		AIR CONDITION UNIT
	FLAGSTONE SURFACE		BUILDING
	GAS LINE		CENTER CHANNEL
	GRAVEL SURFACE		CALCULATED
	GUY ANCHOR		CATCH BASIN
	INLET (TYPE 1)		CITY OF SEATTLE
	MONUMENT (IN CASE, FOUND)		CONCRETE
	MONUMENT (SURFACE, FOUND)		CORNER
	OIL FILL CAP		DECIDUOUS
	PAVER SURFACE		ELEVATION
	POWER METER		EVERGREEN
	POWER (OVERHEAD)		FINISH FLOOR
	POWER POLE		GAS
	PROPERTY LINE (SUBJECT)		LAND SURVEYOR NUMBER
	REBAR & CAP (SET)		MEASURED
	REBAR AS NOTED (FOUND)		MONUMENT
	RETAINING WALL		OVERHEAD POWER
	RIGHT-OF-WAY LINES		PROPERTY
	ROCKERY		SERVICE DRAIN
	STEEP SLOPE >40%		SANITARY SEWER MANHOLE
			SQUARE FEET



STEEP SLOPE/BUFFER DISCLAIMER:

THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

TOPOGRAPHIC & BOUNDARY SURVEY
PARCEL NO. 3835502325

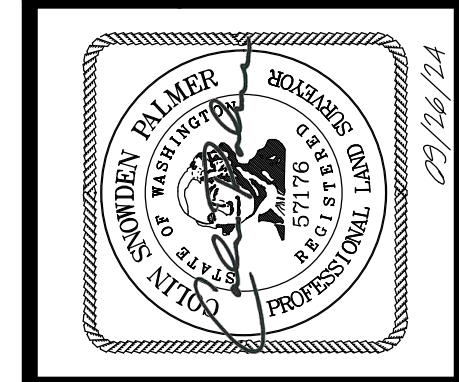
HERR RESIDENCE

543 OVERLAKE DR
MEDINA, WA 98039

We are the measure | terrane.net

TERRANE

11235 SE 6th St, Suite 130
Bellevue, WA 98004
p: 425-458-4488 | e: info@terrane.net



INDEXING INFORMATION

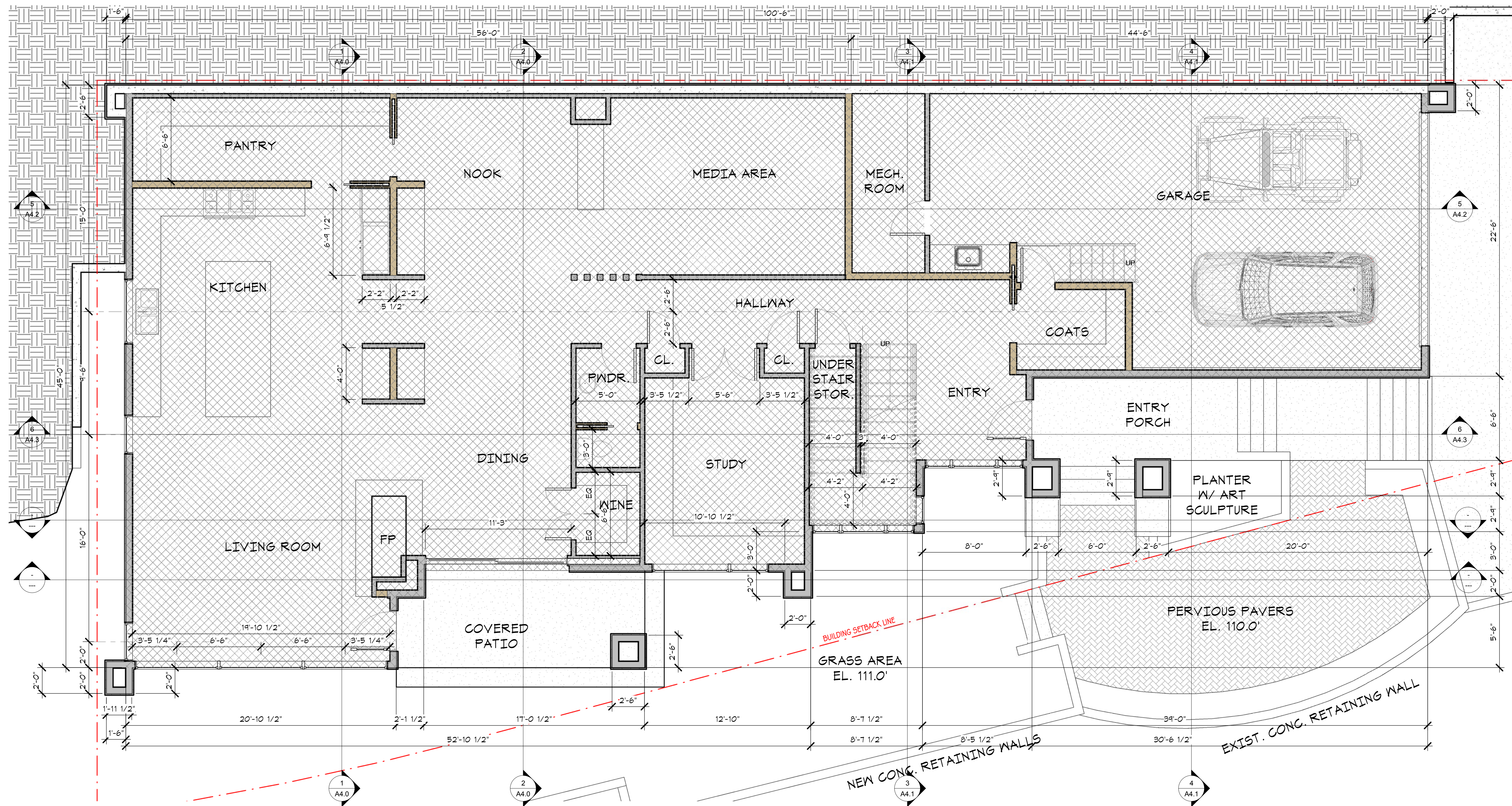
NE	1/4	NE	1/4
NW	1/4	SW	1/4
SE	1/4	SW	1/4

SECTION: 31
TOWNSHIP: 25N
RANGE: 05E W.M.
COUNTY: KING

JOB NUMBER: 221607
DATE: 09/27/22
DRAFTED BY: TDB
CHECKED BY: DRT/JGM
SCALE: 1" = 20'
SHEET NUMBER: 1 OF 1

SCALE THIS DRAWING, IN FEET

0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48



LEVEL 1 FLOOR PLAN

HEATED AREA: 2,499 S.F.
GARAGE / MECH: 811 S.F.
COVERED DECK: 140 S.F.
FRONT PORCH: 108 S.F.



2870 REGISTERED ARCHITECT
Mark L. Nelson
MARK L. NELSON
STATE OF WASHINGTON

Project:
Herr Residence
543 Overlake Drive E.
Medina, WA 98039
Drawing Title:
LEVEL 1 FLOOR PLAN

Drawn By: S/A
Checked By: MLN
Approved By: MLN
Issue Date: 09/30/2024
Revisions:

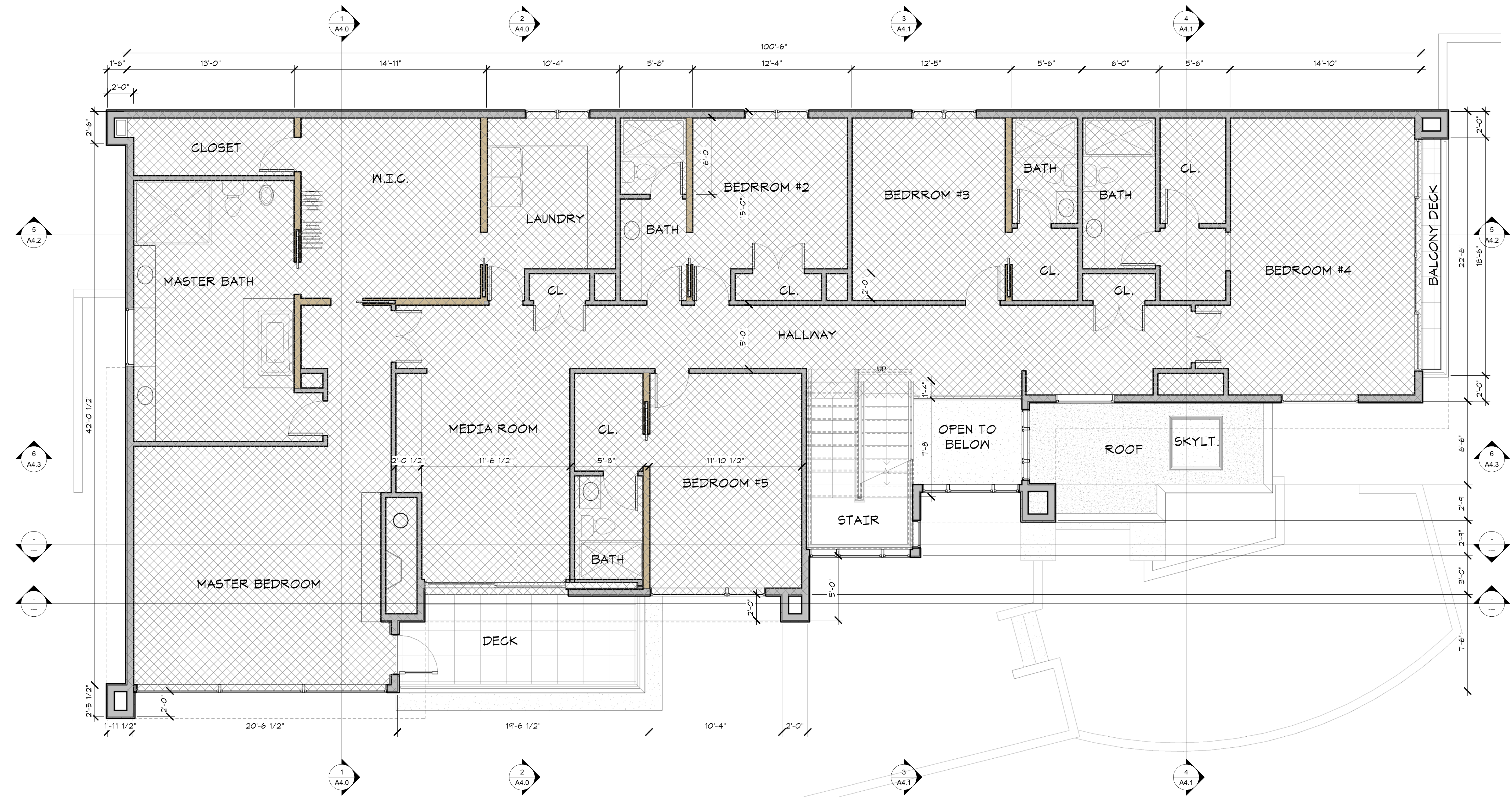
No.	Description	Date

Scale: 1/4" = 1'-0"
Sheet No.

A2.1

SCALE THIS DRAWING, IN FEET

0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48



LEVEL 2 FLOOR PLAN

HEATED AREA: 3,209 S.F.
OUTDOOR DECK: 128 S.F.
BALCONY DECK: 28 S.F.

2870 REGISTERED ARCHITECT
MARK L. NELSON
STATE OF WASHINGTON

Project:
Herr Residence
543 Overlake Drive E.
Medina, WA 98039
Drawing Title:
LEVEL 2 FLOOR PLAN

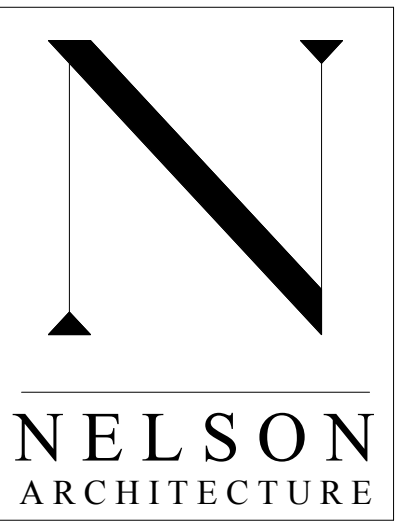
Drawn By: S/A
Checked By: MLN
Approved By: MLN
Issue Date: 09/30/2024

Revisions:

No.	Description	Date

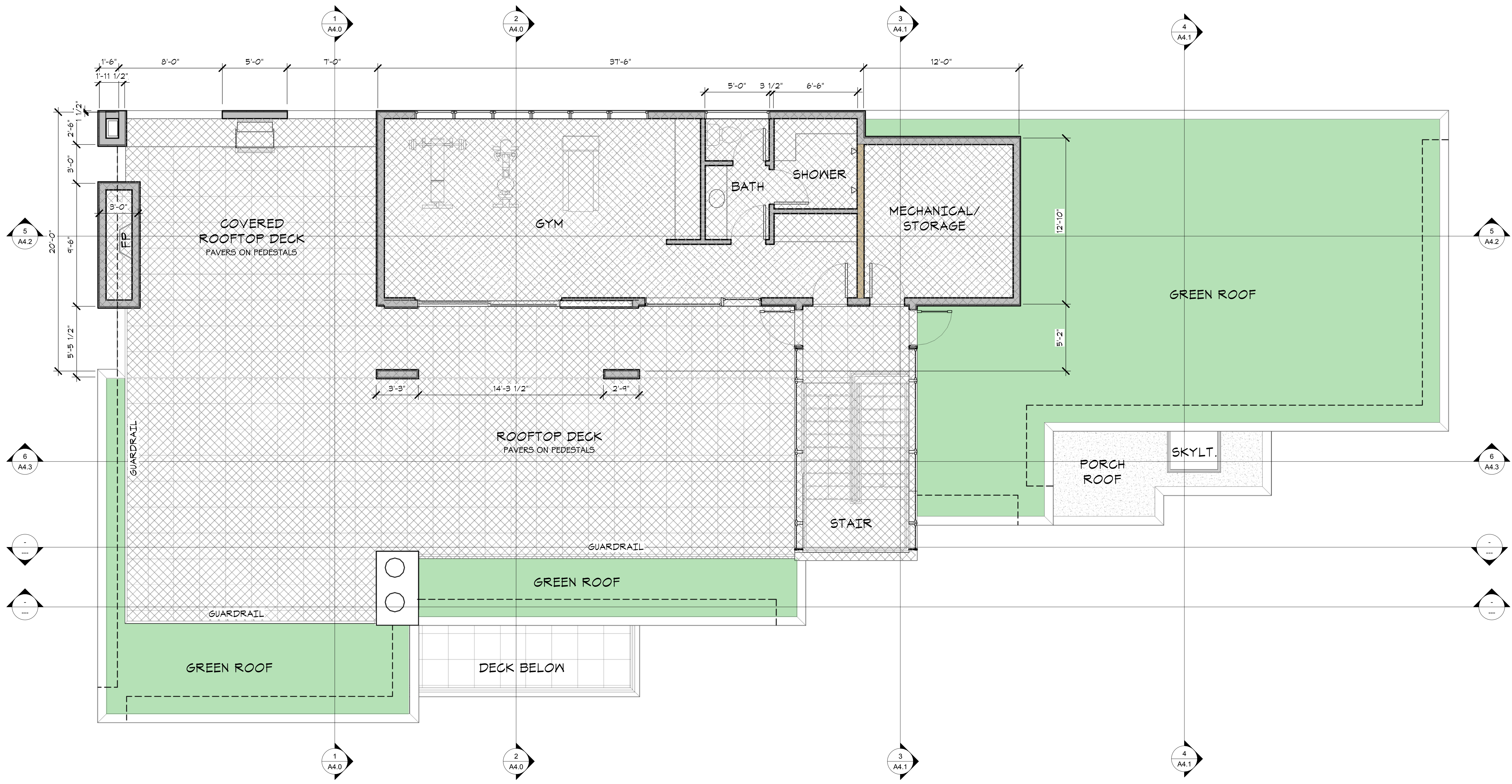
Scale: 1/4" = 1'-0"
Sheet No.

A2.2



Mark L. Nelson AIA
Principal
1233 Evergreen Point Road
Medina, Washington 98039
Telephone (206) 617-8069
Facsimile (425) 454-7803

SCALE THIS DRAWING, IN FEET
0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48



LEVEL 3 FLOOR PLAN

HEATED AREA: 739 S.F.
MECHANICAL ROOM: 154 S.F.
COVERED ROOFTOP DECK: 586 S.F.
OPEN ROOFTOP DECK: 807 S.F.
GREEN ROOF AREA: 1,264 S.F.

2870 REGISTERED ARCHITECT
Mark L. Nelson
MARK L. NELSON
STATE OF WASHINGTON

Project:
Herr Residence
543 Overlake Drive E.
Medina, WA 98039
Drawing Title:
LEVEL 3 FLOOR PLAN

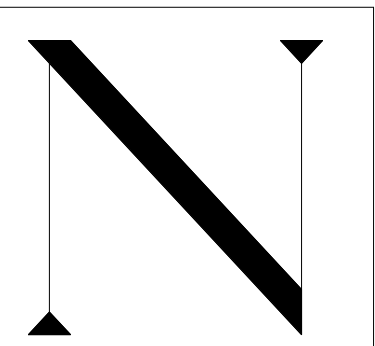
Drawn By: S/A
Checked By: MLN
Approved By: MLN
Issue Date: 09/30/2024
Revisions:

No.	Description	Date

Scale: 1/4" = 1'-0"
Sheet No.

A2.3

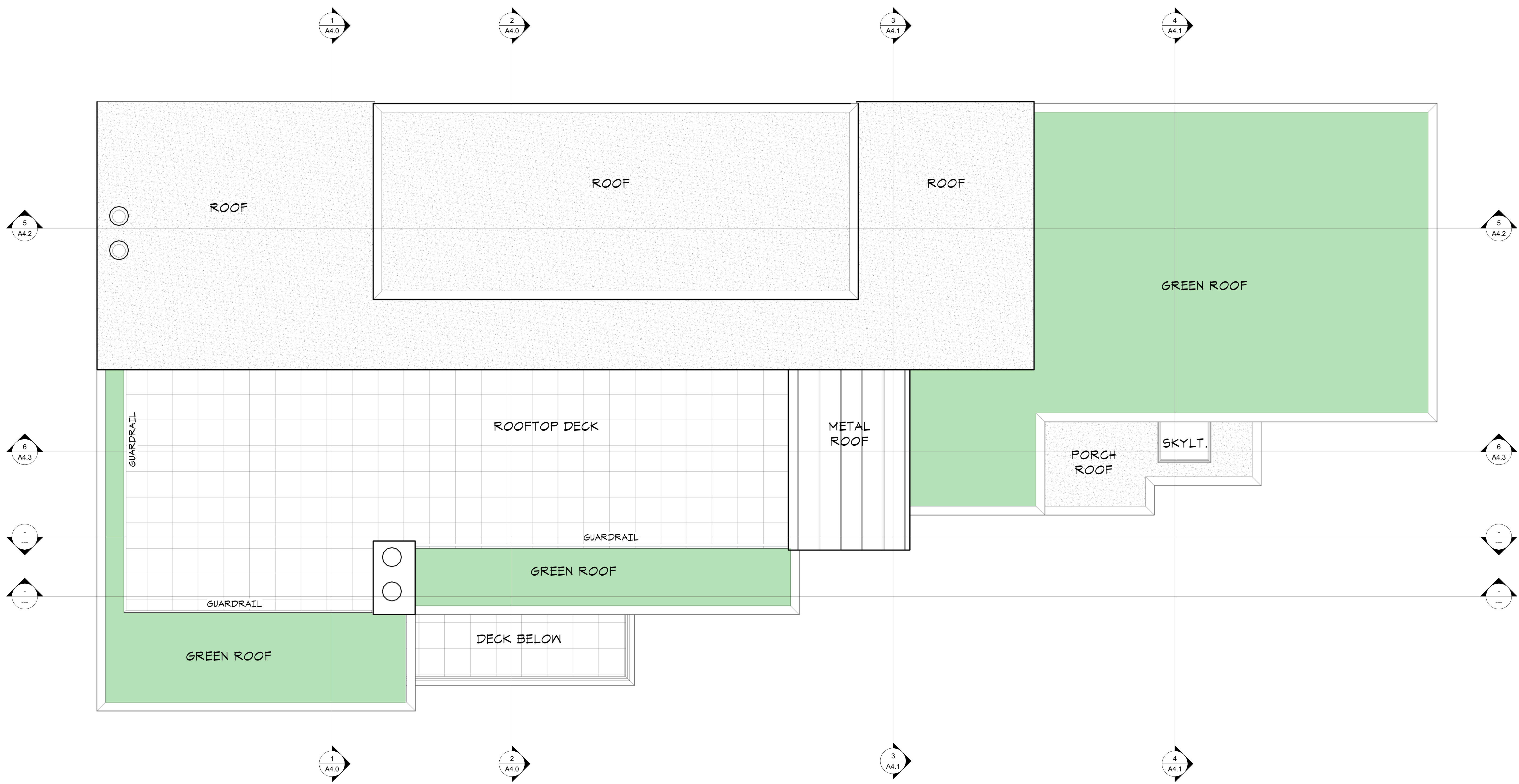
Printed: 9/30/2024 10:50:02 AM



NELSON
ARCHITECTURE

Mark L. Nelson AIA
Principal
1233 Evergreen Point Road
Medina, Washington 98039
Telephone (206) 617-8069
Facsimile (425) 454-7803

SCALE THIS DRAWING, IN FEET
0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48



2870 REGISTERED
ARCHITECT
Mark L. Nelson
MARK L. NELSON
STATE OF WASHINGTON

Project:
**Herr
Residence**
543 Overlake Drive E.
Medina, WA 98039

Drawing Title:
R O O F P L A N

Drawn By: S/A

Checked By: MLN

Approved By: MLN

Issue Date: 09/30/2024

Revisions:

No.	Description	Date

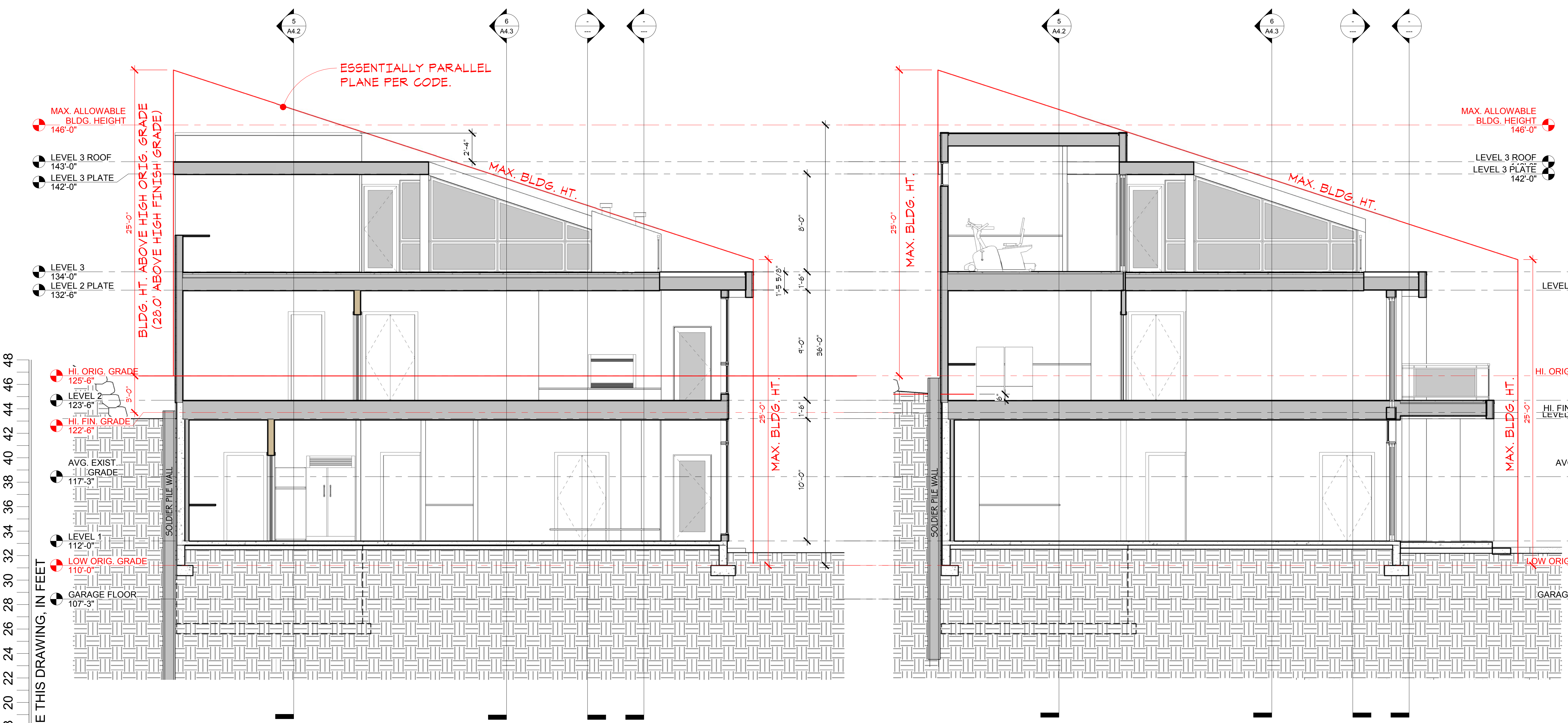
Scale: 1/4" = 1'-0"

Sheet No.

A3.0


Printed: 9/30/2024 10:50:09 AM

ROOF PLAN



SECTION 1

SECTION 2

2870 REGISTERED ARCHITECT

 MARK L. NELSON
 STATE OF WASHINGTON

Project:
Herr Residence
 543 Overlake Drive E.
 Medina, WA 98039
 Drawing Title:
 BUILDING SECTIONS 1 & 2

Drawn By: S/A
 Checked By: MLN
 Approved By: MLN
 Issue Date: 09/30/2024
 Revisions:

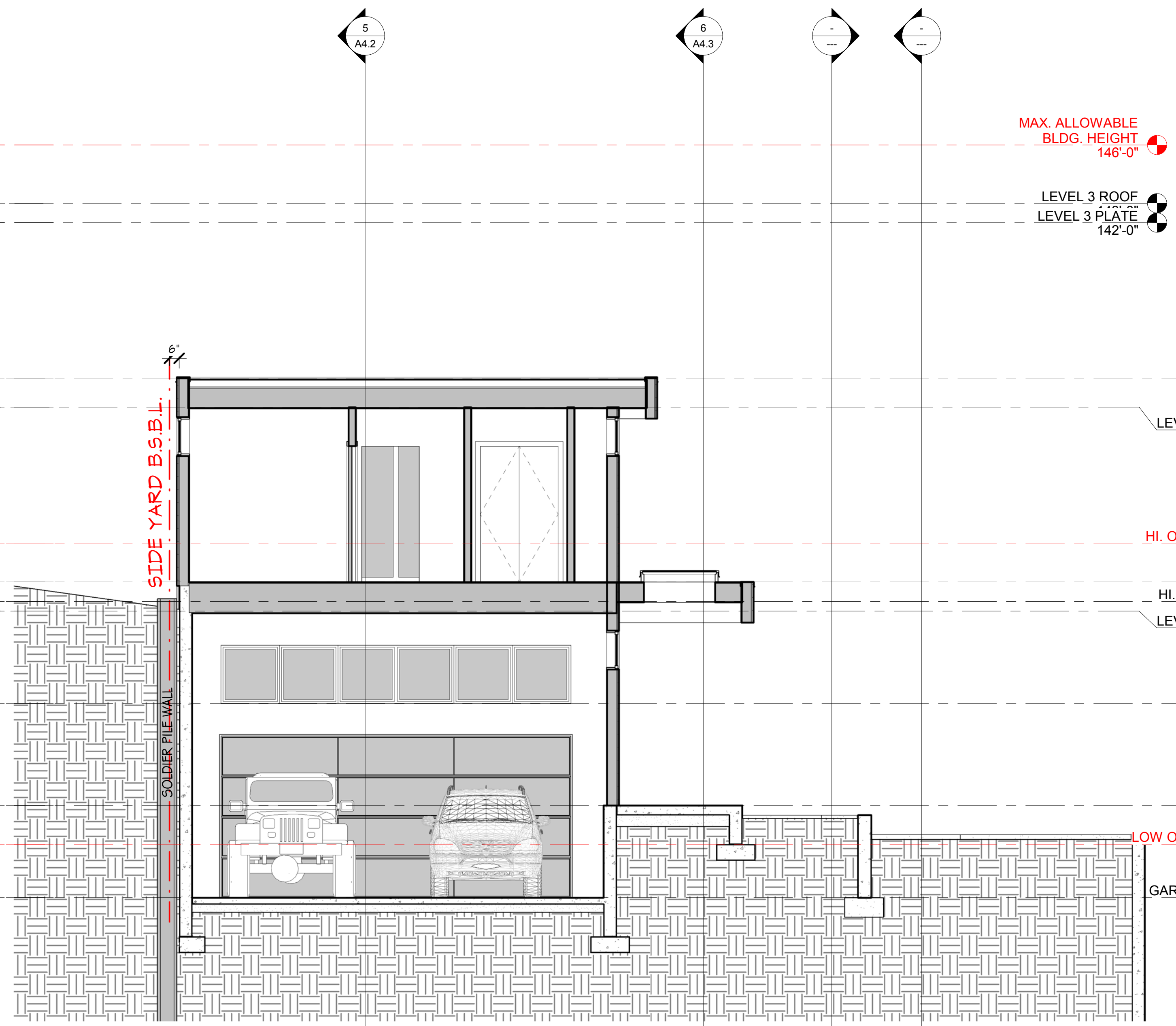
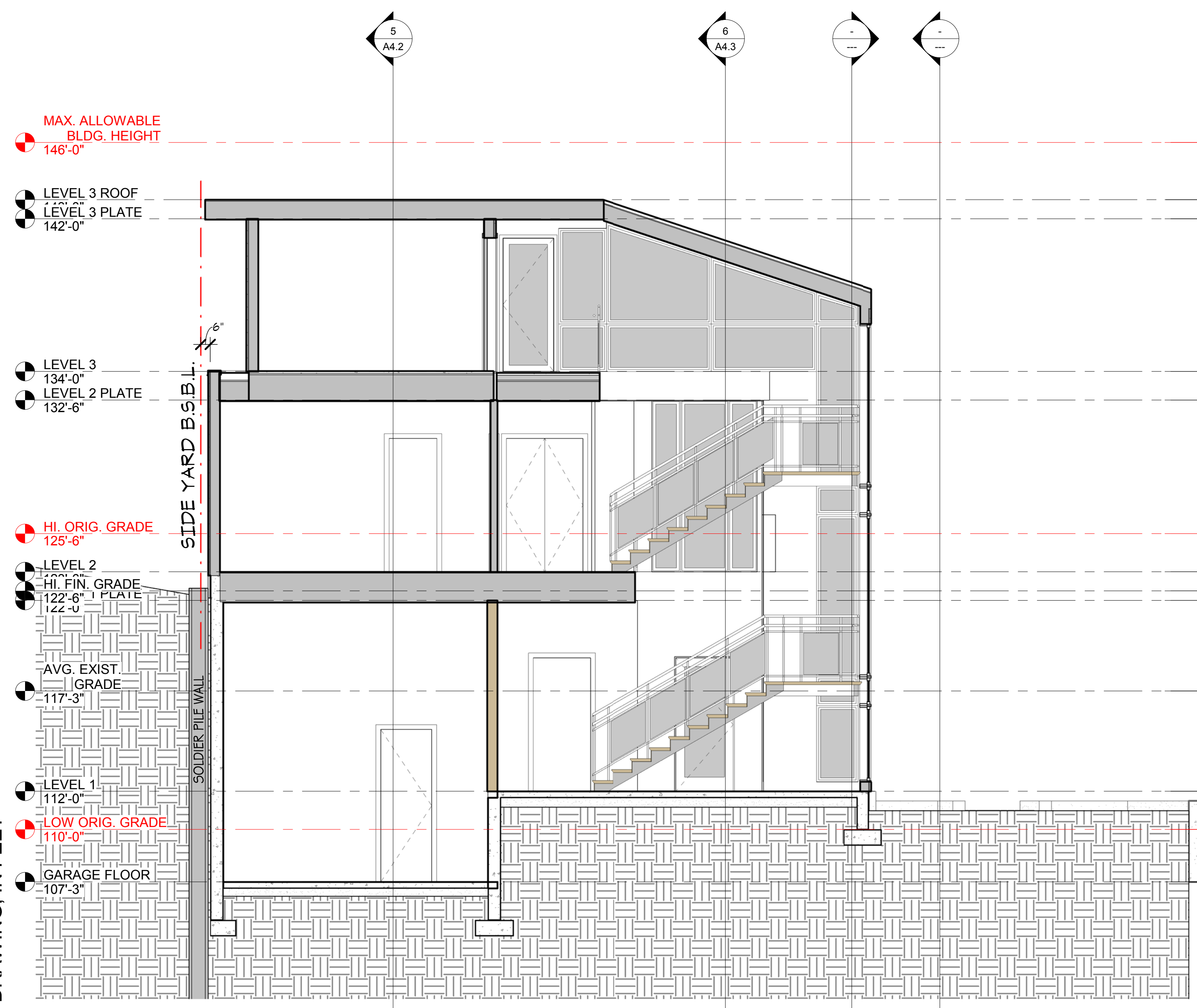
No.	Description	Date

Scale: 1/4" = 1'-0"
 Sheet No.

A4.0

SCALE THIS DRAWING, IN FEET

0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48



MAX. ALLOWABLE
BLDG. HEIGHT
146'-0"

LEVEL 3 ROOF
LEVEL 3 PLATE
142'-0"

LEVEL 3
134'-0"

LEVEL 2 PLATE
132'-6"

HI. ORIG. GRADE
125'-6"

LEVEL 2
HI. FIN. GRADE
122'-6"

AVG. EXIST.
GRADE
117'-3"

LEVEL 1
112'-0"

LOW ORIG. GRADE
110'-0"

GARAGE FLOOR
107'-3"

MAX. ALLOWABLE
BLDG. HEIGHT
146'-0"

LEVEL 3 ROOF
LEVEL 3 PLATE
142'-0"

LEVEL 3
134'-0"

LEVEL 2 PLATE
132'-6"

HI. ORIG. GRADE
125'-6"

LEVEL 2
HI. FIN. GRADE
122'-6"

LEVEL 1 PLATE
122'-0"

AVG. EXIST.
GRADE
117'-3"

LEVEL 1
112'-0"

LOW ORIG. GRADE
110'-0"

GARAGE FLOOR
107'-3"

2870 REGISTERED ARCHITECT

Mark L. Nelson
MARK L. NELSON
STATE OF WASHINGTON

Project:
Herr Residence
543 Overlake Drive E.
Medina, WA 98039
Drawing Title:
BUILDING SECTIONS 3 & 4

Drawn By: S/A
Checked By: MLN
Approved By: MLN

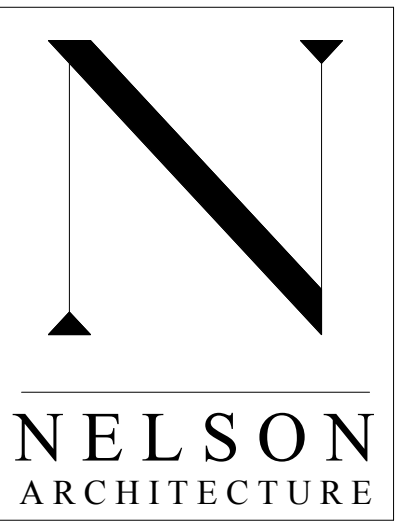
Issue Date: 09/30/2024

Revisions:

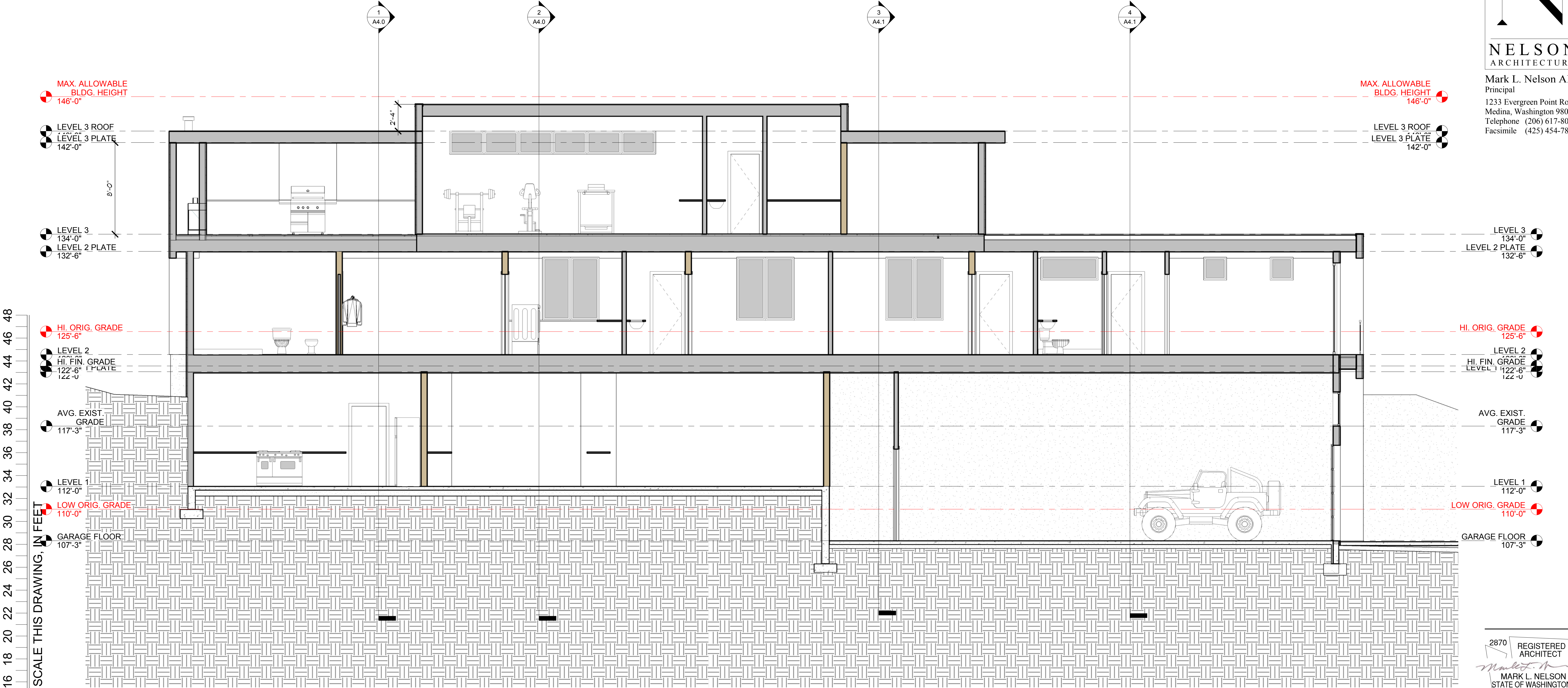
No.	Description	Date

Scale: 1/4" = 1'-0"
Sheet No.

A4.1



Mark L. Nelson AIA
Principal
1233 Evergreen Point Road
Medina, Washington 98039
Telephone (206) 617-8069
Facsimile (425) 454-7803



SCALE THIS DRAWING, IN FEET

0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48

SECTION 5

2870 REGISTERED ARCHITECT
Mark L. Nelson
MARK L. NELSON
STATE OF WASHINGTON

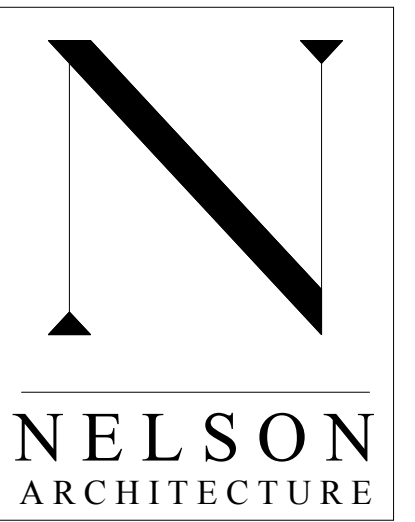
Project:
Herr Residence
543 Overlake Drive E.
Medina, WA 98039
Drawing Title:
BUILDING SECTION 5
Drawn By: S/A
Checked By: MLN
Approved By: MLN
Issue Date: 09/30/2024
Revisions:

No.	Description	Date

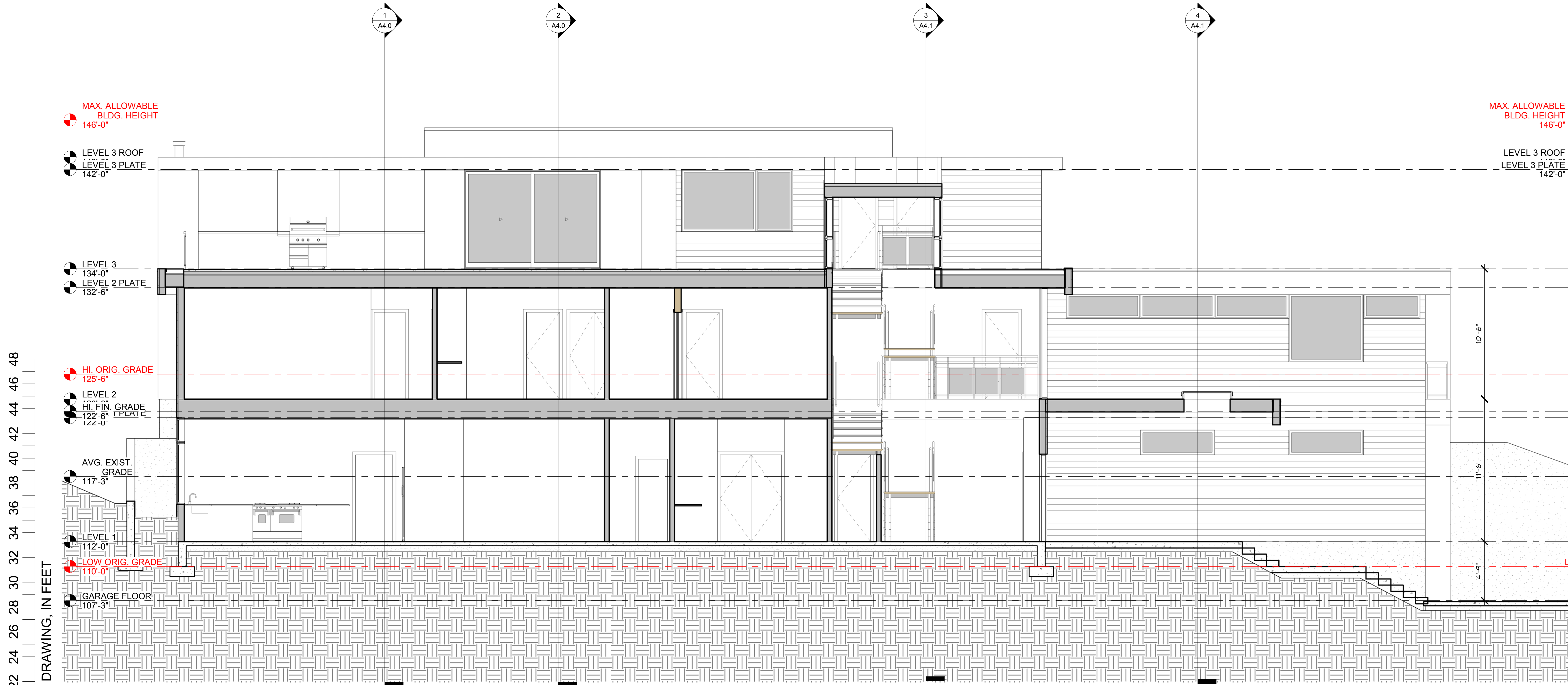
Scale: 1/4" = 1'-0"
Sheet No.

A4.2

Printed: 9/30/2024 11:02:37 AM



Mark L. Nelson AIA
Principal
1233 Evergreen Point Road
Medina, Washington 98039
Telephone (206) 617-8069
Facsimile (425) 454-7803



SCALE THIS DRAWING, IN FEET

0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48

MAX. ALLOWABLE BLDG. HEIGHT 146'-0"

LEVEL 3 ROOF 134'-0"
LEVEL 3 PLATE 142'-0"

LEVEL 3 134'-0"
LEVEL 2 PLATE 132'-6"

HI. ORIG. GRADE 125'-6"

LEVEL 2 122'-6"
HI. FIN. GRADE 122'-0"

AVG. EXIST. GRADE 117'-3"

LEVEL 1 112'-0"

LOW ORIG. GRADE 110'-0"

GARAGE FLOOR 107'-3"

MAX. ALLOWABLE BLDG. HEIGHT 146'-0"

LEVEL 3 ROOF 134'-0"
LEVEL 3 PLATE 142'-0"

LEVEL 3 134'-0"
LEVEL 2 PLATE 132'-6"

HI. ORIG. GRADE 125'-6"

LEVEL 2 122'-6"
HI. FIN. GRADE 122'-0"

AVG. EXIST. GRADE 117'-3"

LEVEL 1 112'-0"

LOW ORIG. GRADE 110'-0"

GARAGE FLOOR 107'-3"

SECTION 6

2870 REGISTERED ARCHITECT
Mark L. Nelson
MARK L. NELSON
STATE OF WASHINGTON

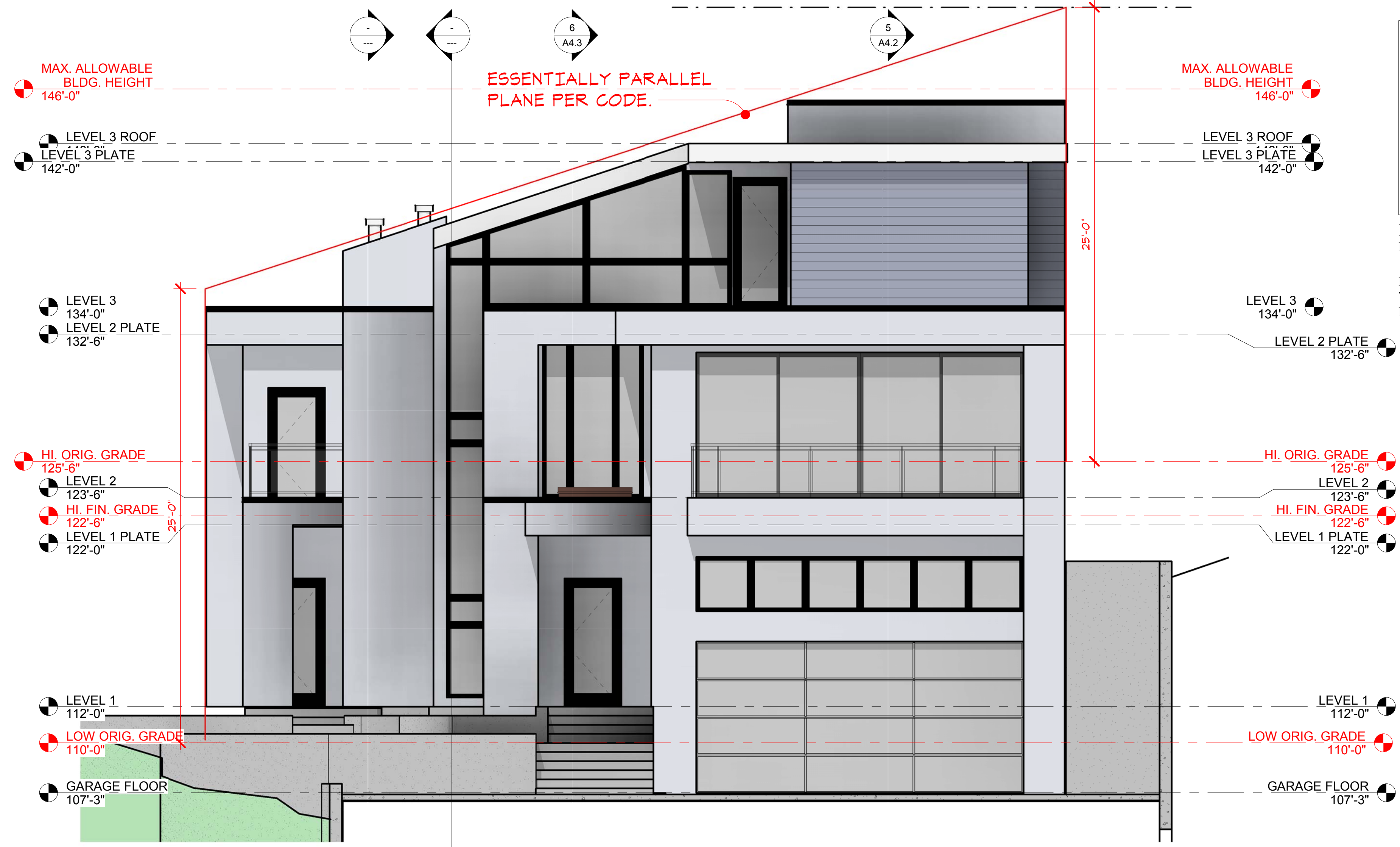
Project:
Herr Residence
543 Overlake Drive E.
Medina, WA 98039
Drawing Title:
BUILDING SECTION 6
Drawn By: S/A
Checked By: MLN
Approved By: MLN
Issue Date: 09/30/2024
Revisions:

No.	Description	Date

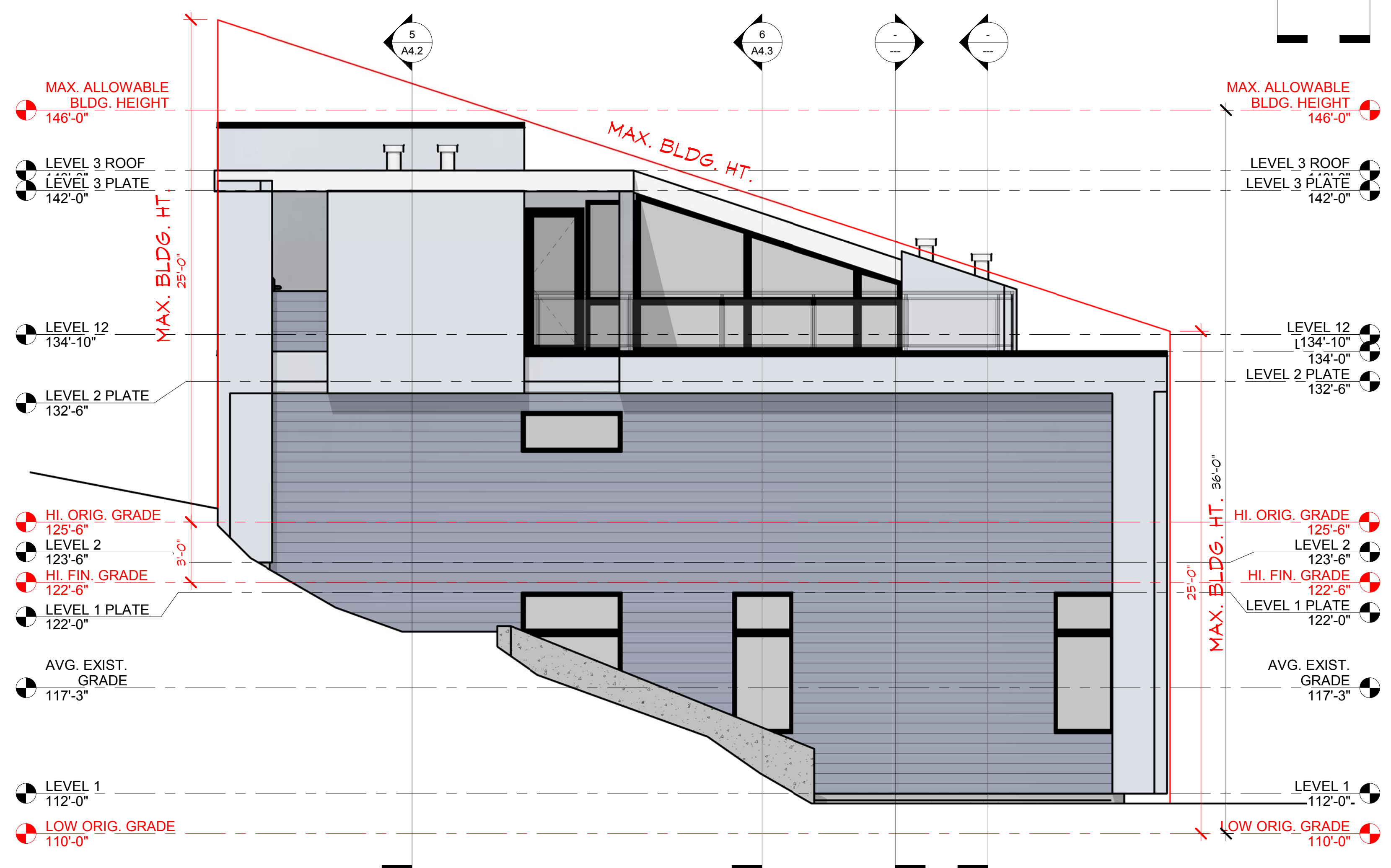
Scale: 1/4" = 1'-0"
Sheet No.

SCALE THIS DRAWING, IN FEET

0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48



NORTH ELEVATION



SOUTH ELEVATION

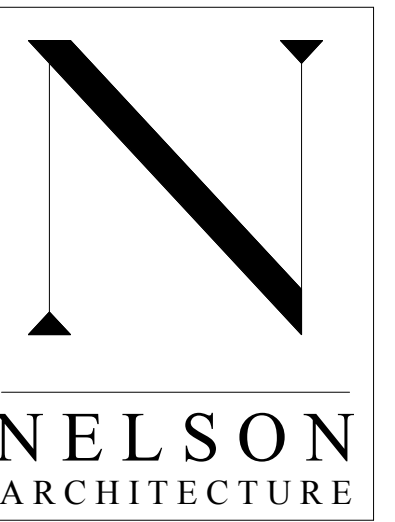
2870 REGISTERED ARCHITECT
Mark L. Nelson
MARK L. NELSON
STATE OF WASHINGTON

Project:
Herr Residence
543 Overlake Drive E.
Medina, WA 98039
Drawing Title:
BUILDING ELEVATIONS
Drawn By: S/A
Checked By: MLN
Approved By: MLN
Issue Date: 09/30/2024
Revisions:

No.	Description	Date

Scale: 1/4" = 1'-0"
Sheet No.

A5.0



Mark L. Nelson AIA
Principal
1233 Evergreen Point Road
Medina, Washington 98039
Telephone (206) 617-8069
Facsimile (425) 454-7803



SCALE THIS DRAWING, IN FEET

0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48

EAST ELEVATION

2870 REGISTERED ARCHITECT
Mark L. Nelson
MARK L. NELSON
STATE OF WASHINGTON

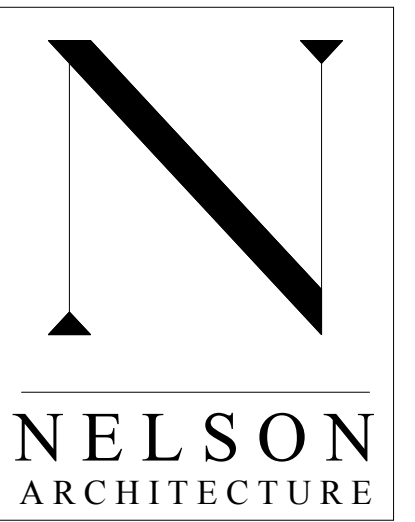
Project:
Herr Residence
543 Overlake Drive E.
Medina, WA 98039
Drawing Title:
BUILDING ELEVATIONS
Drawn By: S/A
Checked By: MLN
Approved By: MLN
Issue Date: 09/30/2024
Revisions:

No.	Description	Date

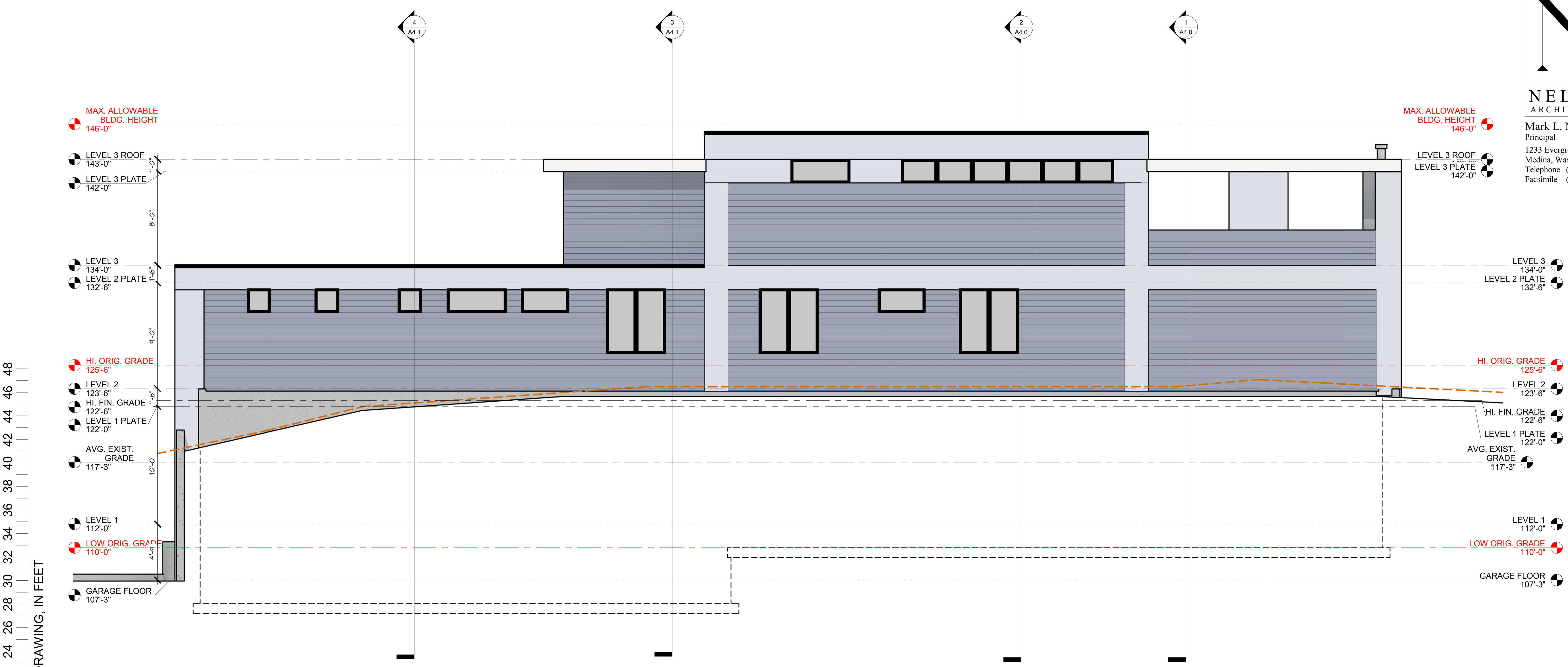
Scale: 1/4" = 1'-0"
Sheet No.

A5.1

Printed: 9/30/2024 11:03:22 AM



NELSON
ARCHITECTURE
Mark L. Nelson AIA
Principal
1233 Evergreen Point Road
Medina, Washington 98039
Telephone (206) 617-8069
Facsimile (425) 454-7803



SCALE THIS DRAWING, IN FEET
0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48

WEST ELEVATION

SCALE: 1/4" = 1'-0"

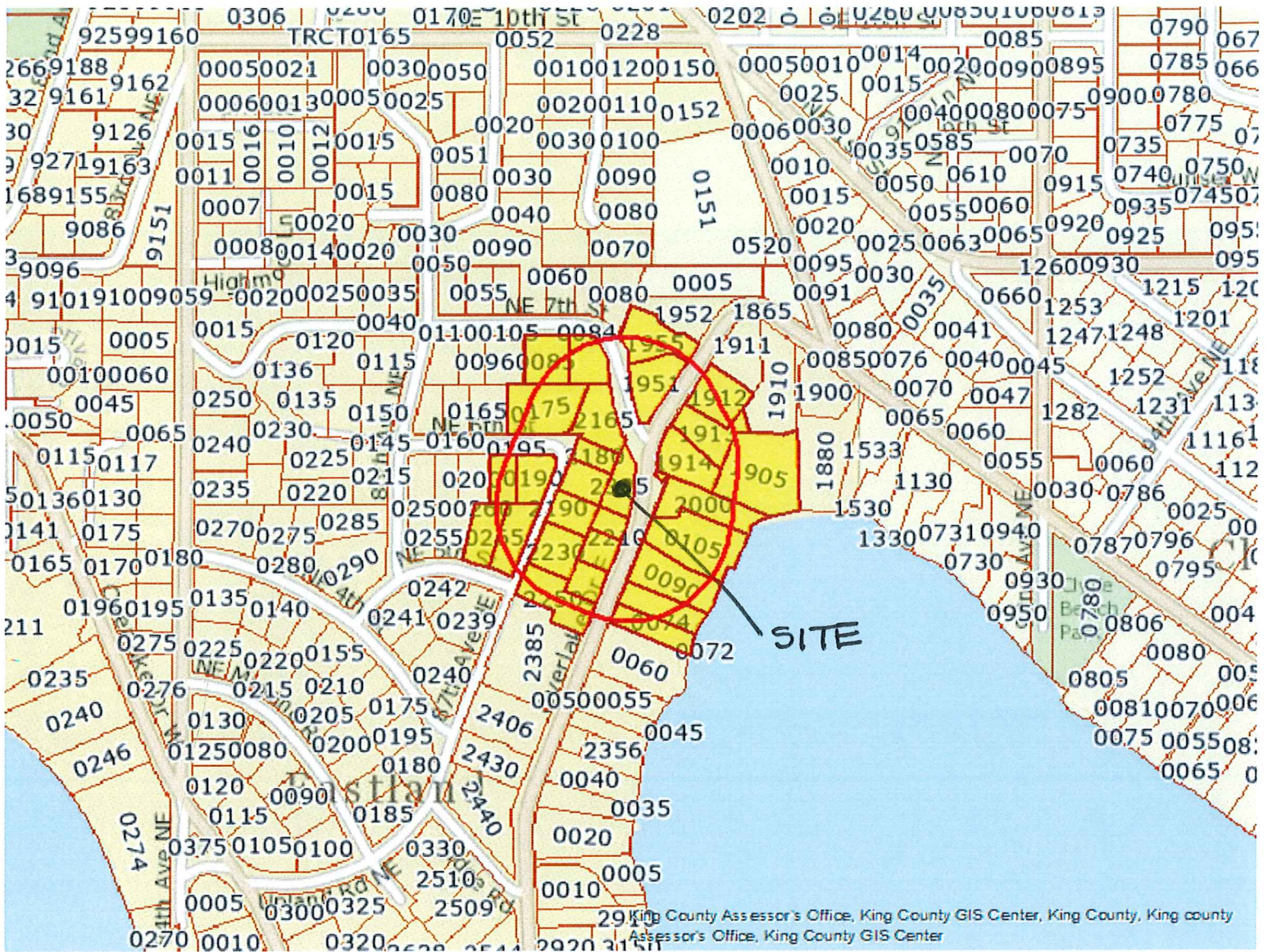
2870 REGISTERED ARCHITECT
Mark L. Nelson
MARK L. NELSON
STATE OF WASHINGTON

Project:
Herr Residence
543 Overlake Drive E.
Medina, WA 98039
Drawing Title:
BUILDING ELEVATIONS
Drawn By: S/A
Checked By: MLN
Approved By: MLN
Issue Date: 09/30/2024
Revisions:

No.	Description	Date

Scale: 1/4" = 1'-0"
Sheet No.

A5.2
Printed: 9/30/2024 11:03:42 AM



VICINITY MAP

Parcel number	Taxpayer name	Parcel address	Jurisdiction	Zip code	Appraised value	Assessor's report	MAILING
3835501905	SCHULER JAMES K+BETTYE P	700 OVERLAKE DR E	MEDINA	98039	10890000	Report	700 OVERLAKE DR E
3835501912	ANDREW KENNETH+REBECCA	720 OVERLAKE DR E	MEDINA	98039	4206000	Report	720 OVERLAKE DR E
3835501913	702 ODE LLC	702 OVERLAKE DR E	MEDINA	98039	5556000	Report	1301 2ND AVENUE #2600
3835501914	THANNIPARA AJU S+HAJU C KU	560 OVERLAKE DR E	MEDINA	98039	5397000	Report	560 OVERLAKE DR E
3835501951	PHAM THUVAN	707 OVERLAKE DR E	MEDINA	98039	8386000	Report	707 OVERLAKE DR E
3835501955	YU MENG-HAO SUN	8658 NE 7TH ST	MEDINA	98039	3177000	Report	8658 NE 7TH ST
3835502000	TREADWELL LYNN	550 OVERLAKE DR E	MEDINA	98039	5173000	Report	538 OVERLAKE DR E
3835502165	CHVOJEVA	8659 NE 7TH ST	MEDINA	98039	3339000	Report	8659 NE 7TH ST
3835502180	DRAYTON MARY ELIZABETH	602 UPLAND RD	MEDINA	98039	1951000	Report	602 UPLAND RD
3835502190	MCDOWELL ROBERT L+MELISSA S	544 UPLAN	MEDINA	D RD	4649000	Report	PO BOX 2598
3835502210	WHERRY C JOHN+LAU POLLY L	530 S UPLAND RD	MEDINA	98039	4076000	Report	HARBOR
3835502230	LERWICK STUART N+CLAUDIA O	518 UPLAND RD	MEDINA	98039	5602000	Report	BELEVUE
3835502250	HUNTER JERRY J+MAJUREEN C	508 UPLAND RD	MEDINA	98039	6190000	Report	MEDINA
3835502285	MORSHEDZADEH ELHAM+NIMA FOR	515 OVERLAKE DR E	MEDINA	98039	3426000	Report	518 UPLAND RD
3835502300	GILLISON CYNTHIA & GOLDSBOR	525 OVERLAKE DR E	MEDINA	98039	3817000	Report	508 UPLAND RD
3835502315	CAI YAXIONG & FU RONG	531 OVERLAKE DR E	MEDINA	98039	2840000	Report	515 OVERLAKE DR E
3835502325	WU MICHELLEHERR BENJAMIN	543 OVERLAKE DR E	MEDINA	98039	2056000	Report	525 OVERLAKE DR E
5424700084	TAYLOR CHRISTOPHER J	8645 NE 7TH ST	MEDINA	98039	3701000	Report	740 122ND AVENUE NE
5424700085	LEE PENELOPE A	8641 NE 7TH ST	MEDINA	98039	5068000	Report	9888 NE 19TH STREET
5424700175	JOHNSON THEODORE C	8626 NE 6TH ST	MEDINA	98039	8137000	Report	8645 NE 7TH ST
5424700190	SEAZIA LLC	8637 NE 6TH ST	MEDINA	98039	2734000	Report	8626 NE 6TH ST
5424700195	JIANG CHANGHUA + YAN YULAN	8629 NE 6TH ST	MEDINA	98039	3139000	Report	26880 ALISO VIEJO PKWY STE 100
6447300260	JEFFREY MARK JOHNSON & CATH	8622 NE 5TH ST	MEDINA	98039	3489000	Report	8629 NE 6TH ST
6447300265	HARVARD SPRINGS PROPERTIES	515 UPLAND RD	MEDINA	98039	5399000	Report	8622 NE 5TH ST
9389100072	PEACE LAND LLC	#Error	MEDINA	98039	4475000	Report	727 HARVARD AVE E
9389100074	PEACE LAND LLC	520 OVERLAKE DR E	MEDINA	98039	4948000	Report	530 OVERLAKE DR E
9389100080	KHODABAKHSH PEYMAN	530 OVERLAKE DR E	MEDINA	98039	10901000	Report	P.O. BOX 833
9389100105	TREADWELL YNN ANN	538 OVERLAKE	MEDINA	DR E	15412000	Report	538 OVERLAKE

James and Betty Schuler
700 Overlake Dr E
Medina, WA 98039

John Wherry & Polly Lau
P.O. Box 1948
Bellevue, WA 98009

SEA21A LLC
26880 Aliso Viejo Pkwy St 100
Aliso Viejo, CA 92656

Kenneth and Rebecca Andrew
820 Overlake Drive E
Medina, WA 98039

Stuart and Claudia Lerwick 518
Upland Road
Medina, WA 98039

Changhua Jiang & Yulan Yan
8629 NE 6th Street
Medina, WA 98039

702 ODE LLC
1301 2nd Avenue #2600
Seattle, WA 98101

Jerry and Maureen Hunter
508 Upland Road
Medina, WA 98039

Jeffrey M and Cathy Johnson
8622 NE 5th Street
Medina, WA 98039

Thannippara Ajus + Haju C Ku
560 Overlake Drive E
Medina, WA 98039

Elham Morshedzadeh & Nima
For
515 Overlake Drive E
Medina, WA 98039

Harvard Springs Properties
727 Harvard Ave E
Seattle, WA 98102

Pham Thuvan
707 Overlake Dr E
Medina, WA 98039

Cynthia & Goldsbor Gillison
525 Overlake Drive E
Medina, WA 98039

Peace Land LLC
520 Overlake Drive E
Medina, WA 98039

Yu Meng and Hao Sun
8658 NE 7th Street
Medina, WA 98039

Cai Yaxiong & Fu Rong
740 122nd Avenue NE
Bellevue, WA 98005

Peyman Khodabakhsh
530 Overlake Drive E
Medina, WA 98039

Lynn Tredwell
538 Overlake Drive E
Medina, WA 98039

Michelle Wu & Benjamin Herr
9888 NE 19th Street
Bellevue, WA 98004

Eva Chvoj
8659 Ne 7th Street
Medina, WA 98039

Christopher Taylor
8645 NE 7th Street
Medina, WA 98039

Mary E Drayton
602 Upland Road
Medina, WA 98039

Penelope Lee
8641 NE 7th Street
Medina, WA 98039

Robert & Melissa McDowell
PO Box 2598
Friday Harbor, WA 98250

Theodore Johnson
8626 NE 6th Street
Medina, WA 98039