



CITY OF MADISON HEIGHTS

CITY HALL - COUNCIL CHAMBERS, 300 W. 13 MILE RD.

CITY COUNCIL REGULAR MEETING AGENDA

JULY 10, 2023 AT 7:30 PM

CALL TO ORDER

ROLL CALL

INVOCATION and PLEDGE OF ALLEGIANCE - COUNCILMAN SOLTIS

APPOINTMENT OF ACTING CITY CLERK

APPROVAL OF THE AGENDA:

- [1.](#) Additions/Deletions

PRESENTATIONS

- [2.](#) Madison Heights Community Coalition Presentation

PUBLIC HEARINGS:

- [3.](#) CED Director - Special Approval Request PSP 23-04 - Auto Wash - 29448 John R Road
- [4.](#) CED Director - Special Approval Request PSP 23-05 - Auto Wash- 29022 Stephenson Highway
- [5.](#) CED Director - Special Approval Request PSP 23-03 - Used Good Use/Regulated Use - 31010 John R Road

ITEMS ON AGENDA OF INTEREST TO PARTIES IN THE AUDIENCE

MEETING OPEN TO THE PUBLIC:

CONSENT AGENDA:

- [6.](#) City Manager - City Council Regular Meeting Date Change from Monday, September 25, 2023 to Tuesday, September 26, 2023
- [7.](#) Purchasing Coordinator - Council Chambers Scheduled Replacement of Tricaster
- [8.](#) Special City Council Meeting Minutes of June 26, 2023
- [9.](#) Regular City Council Meeting Minutes of June 12, 2023

COMMUNICATIONS:

REPORTS:

ITEMS FOR FUTURE PUBLIC HEARINGS:

- [10.](#) CED Director - Proposed Alley Right-of-Way Vacation - PEE 23-01 - 601 W. 12 Mile Road - Schedule Public Hearing for August 14, 2023

BID AWARDS/PURCHASES:

ORDINANCES:

UNFINISHED BUSINESS:

MINUTES:

EXECUTIVE SESSION:

ADJOURNMENT

NOTICE: Persons with disabilities needing accommodations for effective participation through electronic means in this meeting should contact the City Clerk at (248) 583-0826 or by email: clerks@madison-heights.org at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

DATE: July 5, 2023
TO: City Council
FROM: Melissa R. Marsh, City Manager
SUBJECT: Agenda Comments for the Regular Council Meeting of Monday, July 10, 2023

The following are my comments on items appearing on the agenda of the Regular Council Meeting on Monday, July 10, 2023.

PRESENTATIONS:

MADISON HEIGHTS COMMUNITY COALITION PRESENTATION

Executive Director of the Madison Heights Community Coalition, Kim Heisler, has requested to update City Council on upcoming activities of the Madison Heights Community Coalition, introduce their new Youth Coordinator/Marketing Specialist and present their new Youth Wellness Council.

PUBLIC HEARINGS:

CED DIRECTOR - SPECIAL APPROVAL – PSP 23-04 AUTO WASH AT 29448 JOHN R ROAD

The applicant, Moschouris Management and Development has requested to postpone action on this item to a later meeting date. A new public hearing and public hearing notice will be published once a comprehensive plan is submitted.

Staff recommends that that Special Approval PSP-04 for an auto wash at 29448 John R Road be postponed until August 28, 2023 or later, to allow time for the applicant to provide more detailed development plans, sufficient time for staff to review any provide revisions, and allow for proper legal notifications.

CED DIRECTOR - SPECIAL APPROVAL – PSP 23-05 AUTO WASH AT 29022 STEPHENSON HIGHWAY

The applicant, BMW Kar Wash doing business as Jax Kar Wash, requests special use approval for an auto wash facility. The subject site is located at 29022 Stephenson Highway and consists of three (3) separate parcels (PINs 44-25-11-377-016; -016; and -019). The properties are zoned B-3, General Business.

The applicant proposes to construct a modern express car wash on the site located at the northeast corner of Stephenson Highway and Twelve Mile Road, immediately to the west of I-75. The subject site comprises three (3) separate parcels and is currently improved with Col's Place Restaurant. If the project is approved, the applicant will be required to recombine the three (3) properties into a single parcel.

After the required public hearing, should City Council approve the special use request PSP 23-05, staff recommends the following conditions:

1. Resolve site plan deficiencies relating to building setback, hours of operation, chain link fence and outdoor self-service vacuum bays or seek the appropriate variances from the Zoning Board of Appeals.
2. Install a pedestrian sidewalk connection and a bicycle rack, as required per Section 10.505 of the Zoning Ordinance; the exact locations may be determined through the Site Plan review process.
3. Add landscaping at the southwest corner of the site, adjacent to the proposed monument sign, to fill in the landscaping gap and to screen the view of the auto wash bay from the road; the details of this landscaping may be determined through the Site Plan review process.
4. Move the location of the dumpster enclosure out of the front yard; the exact location may be determined through the Site Plan review process.
5. The Landscape Plan and Building Elevations submitted with the site plan package shall be substantially consistent with the preliminary plans submitted with this special use application, with the exception of any required modifications placed as conditions of approval.
6. As voluntarily offered by the applicant, the applicant shall donate a minimum of \$60,000 towards Madison Heights ongoing entrance identification and beautification sign project and a minimum of \$90,000 towards public improvements at Twelve-Sherry Park.
7. As voluntarily offered by the applicant, the City of Madison Heights shall have the right to obtain an easement at the southwest corner of the subject property for the purposes of installation, operation, and maintenance of a City entrance/identification sign, provided that the location of the sign does not interfere with the use and operation of the Property as an auto wash in accordance with the approved special use.

CED DIRECTOR - SPECIAL APPROVAL – PSP 23-03 USED GOOD USE/REGULATED USE
AT 31010 JOHN R ROAD

The applicant, Goodwill Industries of Greater Detroit, requests special use approval for a used good retail business. The subject site is located at 31010 John R Road (PIN 44-25-01-351-017) at the northeast corner of John R and 13 Mile Roads, and is zoned B-2, Planned Business. Per Section 10.502[A] of the Zoning Ordinance, used good uses are listed as a regulated use which requires special approval in the B2 zoning district.

The applicant proposes to open a Goodwill retail store within the existing commercial building, most recently occupied by CVS Pharmacy. Per the application, the Goodwill store will sell new and gently used clothing, shoes, accessories, electronics, furniture, home goods, books and toys; the store will also serve as a donation center.

After the required public hearing, if City Council moves to approve the requested special land use, staff recommends including the following as conditions of approval:

1. A site plan shall be submitted for Site Plan Review Committee (SPRC) review and approval which brings the site into greater conformity with Zoning Ordinance standards. The site plan shall depict, at minimum:
 - a. Modifications to the drive-through canopy, including new overhead doors and queuing information; and
 - b. Sidewalk connection(s) to one or both of the adjacent public sidewalks along John R Road and/or W. 13 Mile Road, in compliance with Section 10.506(H); and
 - c. Enclosures for any exterior dumpsters or permanent donation drop-off containers, in compliance with Section 10.510(B)(8); and
 - d. Additional right-of-way greenbelt landscaping, in compliance with Section 10.510(A).
2. The applicant shall apply for and obtain from the Zoning Board of Appeals (ZBA) a residential separation variance from the regulated use standards of Section 10.502[A].
3. Rollaway donation bins and donation items shall not be stored outside after business hours. All rollaway bins and items shall be stored and sorted inside the building.
4. Permanent donation drop-off containers, if proposed, shall be enclosed and screened in accordance with Section 10.510(B)(8) and shall be denoted on the submitted site plan.
5. The applicant shall obtain a business license for a regulated use in accordance with Article VII of the Business Regulations and Licenses Ordinance.

CONSENT AGENDA:

It is the recommendation that the City Council approve the following items as part of the Consent Agenda:

CITY MANAGER - CITY COUNCIL MEETING DATE CHANGE

As a result of the unavailability of the Mayor, a Councilmember and the City Attorneys, staff is requesting that Council consider changing the Regular City Council meeting date of Monday, September 25th to Tuesday, September 26th due to the Yom Kippur holiday. In compliance with the Open Meetings Act, the changing of a regular meeting date must be posted within three days after the meeting at which the change is made.

Staff recommends that Council approve changing the City Council regular meeting date of Monday, September 25, 2023 to Tuesday, September 26, 2023 and post the meeting date change in compliance with the Open Meetings Act.

PURCHASING COORDINATOR - COUNCIL CHAMBERS SCHEDULED TRICASTER REPLACEMENT

As you are aware, Council Meetings are broadcast to our local government cable channels through Comcast and Wow, and re-broadcast following the meetings each week. The equipment that allows staff to produce, record and broadcast meetings held in Council Chambers is the Tricaster. The approved vendor for audio visual updates and installation of equipment in Council Chambers is Advanced Lighting and Sound. The current Tricaster is over eight years old and is at the end of its useful life as it is no longer supported by its manufacturer NewTek. Parts are unavailable for repair and the system has become slow and unreliable, with frequent issues that require troubleshooting by City staff as well as service calls by Advanced Lighting and Sound. The Tricaster has been approved for replacement in FY 2023- 24 budget.

Staff recommends that Council approve the purchase of the new Tricaster from Advanced Lighting & Sound at a unit price of \$16,808.

ITEMS FOR FUTURE PUBLIC HEARINGS:

CED DIRECTOR - PROPOSED ALLEY RIGHT-OF-WAY VACATION, PEE 23-01, 601 W. 12 MILE ROAD – SCHEDULE A PUBLIC HEARING FOR AUGUST 14, 2023.

The Community & Economic Development Department has received a request to vacate a 20 ft.-wide improved alley right-of-way located between 601 W. 12 Mile Rd. and 28767 Dartmouth Rd. The alley also provides access to the property at 611 W. 12 Mile Road. All adjacent property owners have signed the petition.

Per Section 23-109 (Vacation of Streets, Alleys, Etc.) of Chapter 23 of the Code of Ordinances (Streets and Sidewalks and Other Public Places), City Council may consider petitions to vacate a street, alley, or right-of-way. When 100% of adjacent property owners sign the petition, City Council may consider the initial request and appoint a time not less than four weeks thereafter to establish a public hearing. If desired, City Council may, but is not required to, refer the matter to the Planning Commission for study and report back to Council.

Staff recommends that City Council establish a public hearing date for the proposed alley right-of-way vacation, PEE 23-01, 601 W. 12 Mile Road, for the August 14th, 2022 meeting.



AGENDA ITEM SUMMARY FORM

MEETING DATE: 7/10/23

PREPARED BY: Cheryl Rottmann, City Clerk/Deputy City Manager

AGENDA ITEM CONTENT: Madison Heights Community Coalition Presentation

AGENDA ITEM SECTION: Presentations

BUDGETED AMOUNT:

FUNDS REQUESTED:

FUND:

EXECUTIVE SUMMARY:

Executive Director of the Madison Heights Community Coalition, Kim Heisler, has requested to update City Council on upcoming activities of the MHCC, introduce their new Youth Coordinator/Marketing Specialist and present their new Youth Wellness Council.

RECOMMENDATION:



AGENDA ITEM SUMMARY FORM

MEETING DATE: 7/10/23

PREPARED BY: Matt Lonnerstater, AICP

AGENDA ITEM CONTENT: Special Approval Request PSP 23-04 - Auto Wash - 29448 John R Road

AGENDA ITEM SECTION: Public Hearings

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY:

The applicant has requested to postpone action on this item to a later meeting date. A new public hearing and public hearing notice will be published.

The applicant, Moschouris Management and Development, requests Special Approval from City Council under Section 10.329(4) of the Madison Heights Zoning Ordinance, "other uses of a similar and no more objectionable character." The applicant requests approval to construct an auto wash. The subject property is located at 29448 John R Road (currently operating as the Madison Heights Active Adult Center), PIN 44-25-12-304-010, zoned M-1, Light Industrial.

RECOMMENDATION:

Staff recommends that City Council postpone discussion and action on this item to a later meeting date.



AGENDA ITEM SUMMARY FORM

MEETING DATE: 7/10/23

PREPARED BY: Matt Lonnerstater, AICP

AGENDA ITEM CONTENT: Special Approval Request PSP 23-05 - Auto Wash- 29022 Stephenson Highway

AGENDA ITEM SECTION: Public Hearings

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY:

The applicant, BMW Kar Wash doing business as Jax Kar Wash, requests special use approval for an auto wash facility. The subject site is located at 29022 Stephenson Highway and consists of three (3) separate parcels (PINs 44-25-11-377-016; -016; and -019). The properties are zoned B-3, General Business.

RECOMMENDATION:

Refer to staff report, including "Template Findings and Conditions" section.



MEMORANDUM

Date: June 30th, 2023
 To: City of Madison Heights City Council
 From: Matt Lonnerstater, AICP – City Planner
 Subject: Special Approval Request PSP 23-05– 29022 Stephenson Hwy. – ‘Jax Kar Wash’

Introduction

The applicant, BMW Kar Wash doing business as Jax Kar Wash, requests special use approval for an auto wash facility. The subject site is located at 29022 Stephenson Highway and consists of three (3) separate parcels (PINs 44-25-11-377-016; -016; and -019). The properties are zoned B-3, General Business.

Project Details

The applicant proposes to construct a modern express car wash on the site located at the northeast corner of Stephenson Highway and Twelve Mile Road, immediately to the west of I-75. The subject site comprises three (3) separate parcels and is currently improved with Col’s Place Restaurant. If the project is approved, the applicant will be required to recombine the three (3) properties into a single parcel.

Per Section **10.326(8)**, ‘Auto Wash’ facilities are permitted in the B-3 district as a special use, subject to use-specific standards; these use-specific standards are listed in full at the end of this report.

The applicant has submitted a preliminary site plan and concept color renderings for the project. As proposed, the existing Col’s Place Restaurant would be demolished to accommodate a 6,200 square foot express car wash building. Nineteen (19) outdoor self-service vacuum bays are proposed. Vehicular access is proposed via a single curb-cut along Stephenson Highway, with triple queuing lanes circling around to the pay stations. The preliminary plans depict a modern architectural façade and significant landscaping around the site and adjacent to public rights-of-way.

The applicant has voluntarily offered the following monetary contributions as part of the special approval application:

- 1) \$60,000 toward Madison Heights’ entrance identification and beautification sign program and a potential easement at the southwestern corner of the property for such sign.
- 2) \$90,000 towards the installation of playground equipment and improvements at Twelve-Sherry Park.

Requests for special approval are subject to the following criteria, as outlined in Section **10.201(4)**:

The use shall be designed and located so that it is compatible with the surrounding properties, neighborhood and vicinity. At a minimum, this shall include:

1. *Location of use(s) on site;*
2. *Height of all improvements and structures;*

3. *Adjacent conforming land uses;*
4. *Need for proposed use in specified areas of the city;*
5. *Conformance with future land use plans for the area as adopted by the planning commission;*
6. *Compatibility with the permitted principal uses allowed in the zoning district where the special approval use is requested.*

Additional criteria for reviewing special uses are contained at the end of this report.

Project History

City Council denied a similar car wash proposal (different applicant) on the subject site in 2022 under case PSP #22-06 (Cosmo's Car Wash). Staff notes that the proposed Jax Car wash site layout is similar to that proposed under PSP #22-06.

Site Analysis

Existing Zoning and Land Use

The table below denotes existing adjacent land uses and zoning designations.

	Existing Land Use	Existing Zoning
Site	Commercial (Restaurant)	B-3, General Business
North	Oakland County Water	M-1, Light Industrial
South (across 12 Mile)	Retail	General Business (City of R.O)
East	--	I-75
West (across Stephenson)	Gas Station	M-1, Light Industrial

The subject site is located immediately to the west of the 12 Mile Road/I-75 interchange. Adjacent land uses consist primarily of auto-oriented uses, including a gas station across Stephenson Highway, an auto repair shop across 12 Mile Road, and a drive-through fast food restaurant located kitty-corner at the intersection of 12 Mile Road and Stephenson Highway (in Royal Oak).

The site is zoned B-3, General Business, which is intended to provide for more diversified business types and often located so as to serve the passer-by traffic.

Future Land Use, Master Plan and Transportation

The table below denotes adjacent future land use designations as contained within the 2021 Madison Heights Master Plan.

	Future Land Use
Site	Industrial
North	Industrial
South (across 12 Mile)	General Commercial (City of R.O)
East	I-75
West (across Stephenson)	Industrial

The future land use designation of the subject site is '*Industrial*'. Per the Master Plan, the Industrial designation is intended to accommodate manufacturing, processing, warehousing, storage of raw materials and intermediate and finished products, industrial service providers, industrial parks, and industrial research activities.

City Council should consider the following Goals & Objectives of the 2021 Madison Heights Master Plan as part of this special approval request:

Community Character

- *Enhance the city's commercial corridors to support walkability and improve community identity.*
- *Promote the city's positive identity in the region.*
- *Promote the use of quality building design and materials to enhance the appearance and long-term maintenance of new development.*
- *Protect established neighborhoods and business districts from the potentially negative impacts of development, including noise, traffic, waste, odor, and other nuisances through effective and thoughtful site and building design.*

Commercial & Industrial Development

- *Promote incentives and flexible zoning mechanisms for commercial and industrial property owners and tenants to upgrade existing commercial and industrial sites.*
- *Promote the mix of commercial, office, and industrial uses in a way that fosters collaboration and business growth while creating a desirable environment for the local workforce.*
- *Promote walkability by ensuring sufficient local destinations for goods and services.*

Per the Master Plan, 12 Mile Road and Stephenson Highway are both designated as “principal arterial” roads, which are intended to carry long distance, through-travel movements and provide access to regional centers.

Use-Specific Standards and Site Plan Requirements

Section **10.326(8)** of the Zoning Ordinance contains use-specific standards for auto washes in the B-3 zoning district. Based on the proposed concept plan, the project fails to satisfy the following standards:

- *The time of operation shall be limited between the hours of 8:00 a.m. and 10:00 p.m.*
 - The applicant seeks to open for business at 7:00 a.m.
- *All buildings to be used in connection with the auto wash shall be located at least 20 feet away from any right-of-way line; and*
 - The auto wash building is set back 10 feet from the 12 Mile Road Right-of-Way.
- A chain link-type fence must be constructed so as to enclose the entire property except drives and areas where screen walls are required, two feet along any street, four feet side and back.
 - The applicant proposes perimeter landscaping as an alternative to the required chain link fence.
- *All operations must be carried on within the building area, including but not limited to vacuuming, washing and drying.*
 - Nineteen (19) outdoor self-service vacuum bays are proposed.

The applicant has acknowledged the need to request variances from the Zoning Board of Appeals for these deficient items.

Further, staff notes the following site plan deficiencies:

- Missing pedestrian connection to adjacent public sidewalk (Section 10.506(H)).
- Missing bicycle rack (Section 10.505(F)).

Staff Analysis

The subject site's location immediately to the west of the I-75/Twelve Mile Road interchange makes it conducive for commercial uses. However, staff has concerns about the proliferation of auto-oriented uses and businesses that only provide services for customers in vehicles.

There are seven (7) existing auto wash uses in Madison Heights, in addition to two (2) that have recently received site plan approval and are awaiting construction.

Existing Auto Washes:

- Quick & Easy Car Wash: 32372 John R. Road
- Autobath America: 465 12 Mile Rd.
- Doc's Auto Wash: 29990 John R. Rd.
- WashPointe Car Wash: 28245 John R. Rd.
- Eleven Mile Auto Wash: 404 W. 11 Mile Rd.
- Super 6 Car Wash: 26750 Car Wash
- WashPointe Car Wash: 26655 Dequindre Rd.

Approved Auto Washes (awaiting construction):

- CarRite Car Wash: 32800 Alger St.
- El Car Wash: 1275 W. 14 Mile Rd.

Template Findings and Conditions

Staff offers the following findings as a template for City Council's motion, either for approval or denial, on this case:

1. The applicant requests special use approval for an auto wash use at 29022 Stephenson Highway.
2. The subject site is zoned B-3, General Business, which is intended to provide sites for, "*more diversified business types and often located so as to serve the passer-by traffic.*" The proposed auto wash **(IS/IS NOT)** consistent with the intent of the B-3 zoning district and **(IS/IS NOT)** compatible with permitted principal uses permitted in the B-3 zoning district.
3. The subject is in the vicinity of properties improved with auto-oriented uses, including a gas station, an auto repair shop, and a drive-through fast food restaurant. The proposed auto wash **(IS/IS NOT)** compatible with adjacent land uses.
4. The proposed use **(IS/IS NOT)** consistent with the site's '*Industrial*' future land use designation and **(IS/IS NOT)** aligned with the goals and objectives stated in the 2021 Madison Heights Master Plan.
5. The applicant **(HAS/HAS NOT)** demonstrated a need for the proposed use in the specified area of the city.
6. The proposed use **(DOES/DOES NOT)** generally satisfy/satisfies the special use approval review standards and criteria listed in Section 10.201(4).

7. The proposed use **(DOES/DOES NOT)** satisfy/satisfies the use-specific requirements for auto washes listed in Section 10.326(8). The applicant acknowledges the need to apply to the ZBA for several variances from the specific-use standards of Section 10.326(8).
8. The Site Plan Review Committee (SPRC) reviewed the proposed special approval request at their June 21st, 2023 meeting and did not cite concerns regarding the proposed special use. Separate SRPC approval will be required for the final site plan.

If City Council moves to approve the requested special land use, staff recommends including the following conditions of approval:

1. Resolve site plan deficiencies relating to building setback, hours of operation, chain link fence and outdoor self-service vacuum bays or seek the appropriate variances from the Zoning Board of Appeals.
2. Install a pedestrian sidewalk connection and a bicycle rack, as required per Section 10.505 of the Zoning Ordinance; the exact locations may be determined through the Site Plan review process.
3. Add landscaping at the southwest corner of the site, adjacent to the proposed monument sign, to fill in the landscaping gap and to screen the view of the auto wash bay from the road; the details of this landscaping may be determined through the Site Plan review process.
4. Move the location of the dumpster enclosure out of the front yard; the exact location may be determined through the Site Plan review process.
5. The Landscape Plan and Building Elevations submitted with the site plan package shall be substantially consistent with the preliminary plans submitted with this special use application, with the exception of any required modifications placed as conditions of approval.
6. As **voluntarily offered** by the applicant, the applicant shall donate a minimum of \$60,000 towards Madison Heights ongoing entrance identification and beautification sign project and a minimum of \$90,000 towards public improvements at Twelve-Sherry Park.
7. As **voluntarily offered** by the applicant, the City of Madison Heights shall have the right to obtain an easement at the southwest corner of the subject property for the purposes of installation, operation, and maintenance of a City entrance/identification sign, provided that the location of the sign does not interfere with the use and operation of the Property as an auto wash in accordance with the approved special use.

Next Step

After the public hearing and discussion, City Council may take action on the requested special use. **Any motion shall include concise findings based upon the special approval review standards and criteria, Section 10.201(4).**

Per Section 10.201(3), City Council may postpone action on a special approval request to allow verification, compilation, or submission of additional or supplemental information or to address other concerns or issues.

Pertinent Zoning Ordinance Sections

Section 10.201 – *Special Approval Use Review Procedures and Requirements*

- (4) *Review standards and criteria.* The city council shall consider the following standards and criteria in their review of all special approval use requests:
- (a) Site plans submitted for special approval uses shall be prepared in conformance with and contain all information as outlined in Section 10.514. Site Plan Review.
 - (b) All design standards or criteria imposed on specific special approval uses elsewhere in this Ordinance shall be met.
 - (c) The use shall be designed and located so that it is compatible with the surrounding properties, neighborhood and vicinity. At a minimum, this shall include:
 - 1. Location of use(s) on site;
 - 2. Height of all improvements and structures;
 - 3. Adjacent conforming land uses;
 - 4. Need for proposed use in specified areas of the city;
 - 5. Conformance with future land use plans for the area as adopted by the planning commission; and
 - 6. Compatibility with the permitted principal uses allowed in the zoning district where the special approval use is requested.
 - (d) Ingress/egress to the use shall be controlled to assure maximum vehicular and pedestrian safety, convenience and minimum traffic impact on adjacent roads, drives and uses including, but not limited to:
 - 1. Reduction in the number of ingress/egress points through elimination, minimization and/or consolidation of drives and/or curb cuts;
 - 2. Proximity and relation to intersections, specifically with regard to distance from drive(s) to intersection(s);
 - 3. Reduction/elimination of pedestrian/vehicular traffic conflicts;
 - 4. Adequacy of sight distances;
 - 5. Location and access of off-street parking;
 - 6. Location and/or potential use of service drives to access multiple parcels, reducing the number of access points necessary to serve the parcels.
 - (e) Screening shall be provided along all property lines, where council determines such screening is necessary to minimize impact of the use on adjacent properties or uses.
 - (f) The use shall be properly served by utilities.
 - (g) The use shall not have an adverse effect on the environment beyond the normal affects of permitted principal uses in the same zoning district and shall not result in an impairment, pollution, and/or destruction of the air, water, and natural resources.
 - (h) The use shall be specifically scrutinized for conformance with the performance standards outlined in section 10.509 of this Ordinance.
 - (i) The proposed use shall be designed as to location, size, intensity, site layout, and periods of operation to eliminate any possible nuisances which might be noxious to the occupants of any other nearby properties. The use shall not involve uses, activities, processes, materials, equipment and conditions of

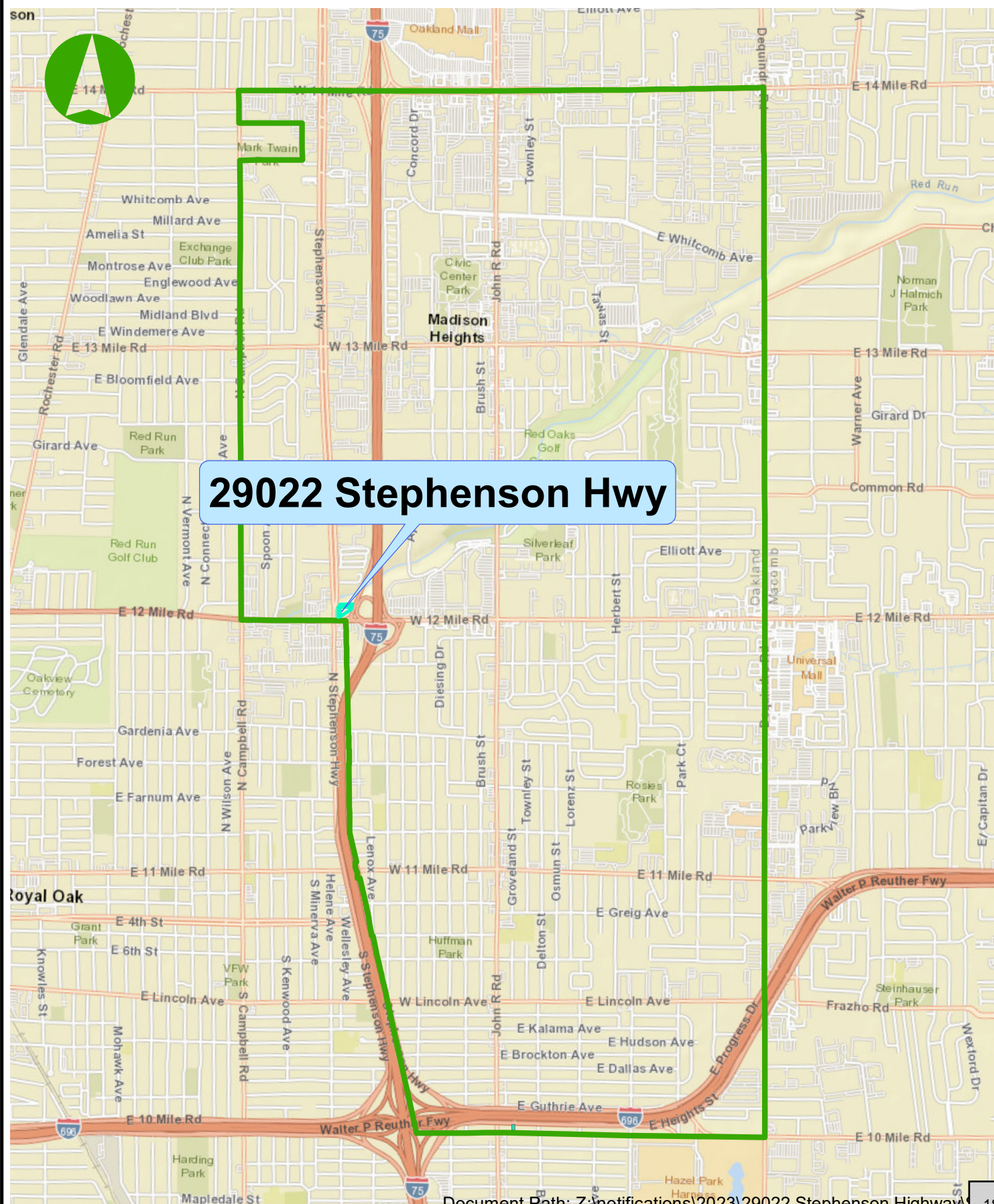
operation that will be detrimental to any persons, property, or the general welfare by reason of excessive smoke, fumes, glare, noise, vibration, odors, and adverse environmental impacts.

- (j) The proposed use does not impose an unreasonable burden upon public services and utilities in relation to the burden imposed by permitted principal uses in the same zoning district.
- (k) The city council may impose conditions in granting special approval that it deems necessary to fulfill the spirit and purpose of this Ordinance. The conditions may include those necessary to ensure that public services and facilities affected by a proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity, to protect the natural environment and conserve natural resources and energy, to ensure compatibility with adjacent uses of land, and to promote the use of land in a socially and economically desirable manner. Conditions imposed shall:
 - 1. Be designed to protect natural resources, the health, safety and welfare, as well as the social and economic well-being of those who will use the land use or activity under consideration, residents and landowners immediately adjacent to the proposed land use or activity, and the community as a whole.
 - 2. Be related to the valid exercise of the police power and purposes that are affected by the proposed use or activity.
 - 3. Be necessary to meet the intent and purpose of the zoning regulations; be related to the standards established in this Ordinance for the land use or activity under consideration (if applicable); and be necessary to ensure compliance with those standards.
 - 4. Provide adequate safeguards as deemed necessary for the protection of the general welfare and individual property rights, and for ensuring that the intent and objectives of this Ordinance will be observed. The breach of any condition, safeguard or requirement, and the failure to correct such breach within 30 days after an order to correct is issued by the city shall be reason for immediate revocation of the special approval. Conditions and requirements stated as a part of special use permit authorizations shall be continuing obligations of the holders of such permits and are binding upon their heirs and assigns and upon any persons taking title to the affected property while such special use permit is in effect.
- (l) The discontinuance of a special use after a specified time may be a condition to the issuance of the permit. Renewal of a special use permit may be granted after a review and determination by the city council that continuing private need and public benefit will be served by such renewal. Renewal applications shall be in accord with standards and requirements in effect at the time that the renewal is requested.

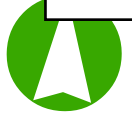
Sec. 10.326 - B-3 Uses Permissible on Special Approval

- (8) Auto washes:
 - (a) When completely enclosed in a building.
 - (b) An attendant must be on duty and on the premises at all times that such auto wash is in operation. All other times, the building must be locked and safely secured.
 - (c) The time of operation shall be limited between the hours of 8:00 a.m. and 10:00 p.m.
 - (d) All buildings to be used in connection with the auto wash shall be located at least 20 feet away from any right-of-way line.
 - (e) Where multiple wash stalls are proposed all auto stacking lanes must be channeled with curbs to each wash stall so as to prevent cross traffic and the minimum stacking space shall be six cars per stall. The minimum amount of stacking space to be provided in all car wash developments shall be equivalent to 20 minutes of full and continuous operation.

- (f) Buildings must be constructed so as to be enclosed on two sides plus doors on the front and rear of each stall, capable of being locked.
- (g) All lights used in connection with auto washes shall be shaded so as not to project upon or become a nuisance to adjacent properties.
- (h) All land used in connection with auto washes is to be paved and drainage provided in accordance with existing ordinances pertaining to parking lots.
- (i) A chainlink-type fence must be constructed so as to enclose the entire property except drives and areas where screen walls are required, two feet along any street, four feet side and back.
- (j) Access points are limited to not more than two 20-foot drives. Such drives are to be a minimum of 50 feet apart and ten feet from the exterior lot lines and 35 feet from any intersection right-of-way lines and shall not be constructed so that ingress and egress shall be through residentially zoned areas. Such access points must have the approval of the Madison Heights Police Department to effect that they will not interfere with vehicular traffic nor will they create a safety hazard.
- (k) No steam hose for public use shall be located upon the premises in connection with such auto wash.
- (l) All blowers shall be turned off when not in use in connection with the operation of the car wash.
- (m) It shall be unlawful for any person, firm or corporation or any agent, servant or employee thereof, who while operating an auto wash, to permit or cause to be permitted upon the premises in which the said business is located, a nuisance, by allowing the health, safety or welfare of the community to be impaired.
- (n) It shall be the duty of the licensee, manager, or person in charge of any auto wash, to keep the premises whereon said auto wash is located, together with the parking area and any adjacent area, free from rubbish, waste products and debris.
- (o) It shall be unlawful for any patron of an auto wash or for any other person while parking on or adjacent to the premises to race the motor of any vehicle, to suddenly start or stop any unseemly noise, nuisance or disturbance which shall impair the peace, health or safety of the community.
- (p) Construction of auto wash buildings shall not be permitted if said construction shall require standing or parking on public rights-of-way in connection with the operation of the auto wash.
- (q) All operations must be carried on within the building area, including but not limited to vacuuming, washing and drying.

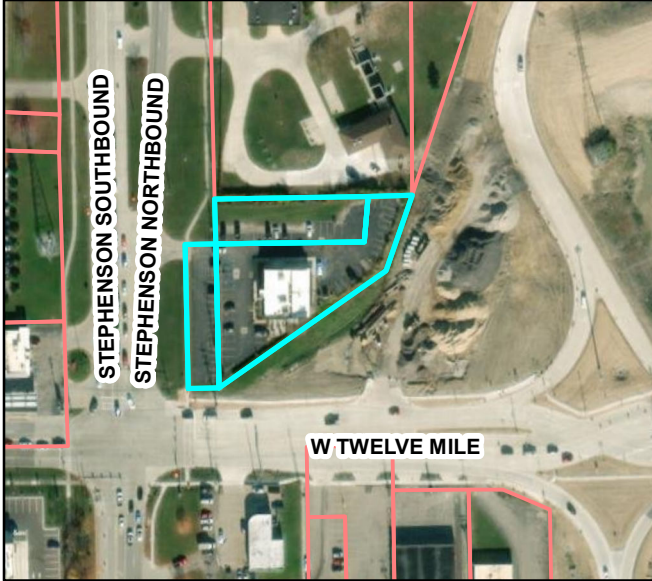


Site Address: 29022 Stephenson Hwy



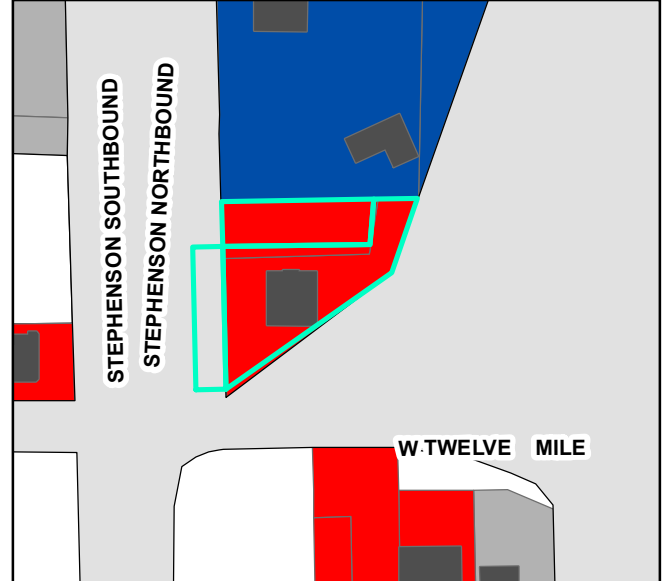
[Click for maps](#)

Aerial



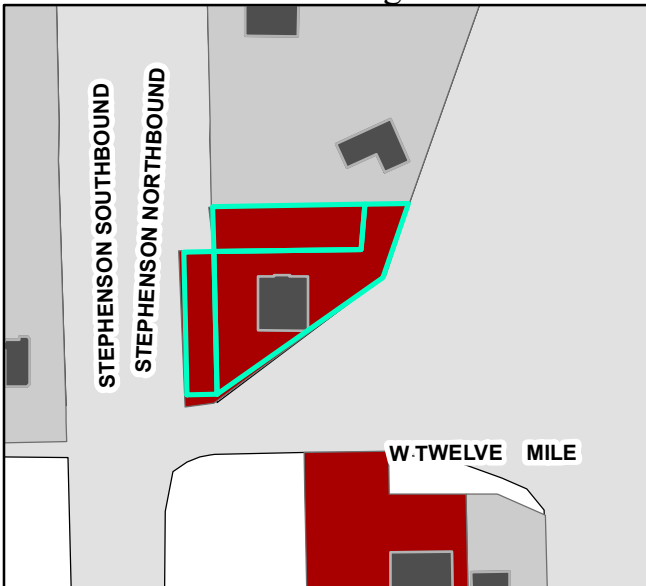
- 29022 Stephenson Hwy
- Parcels

Existing Land Use



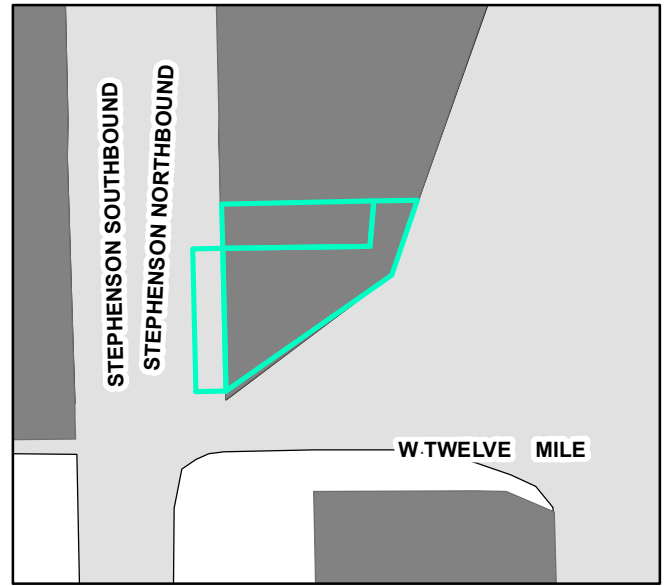
- 29022 Stephenson Hwy
- Commercial
- Buildings
- Industrial
- Parcels
- Public
- Vacant

Zoning



- 29022 Stephenson Hwy
- M-1 Light Industrial
- Buildings
- B-3 General Business
- Parcels

Future Land Use

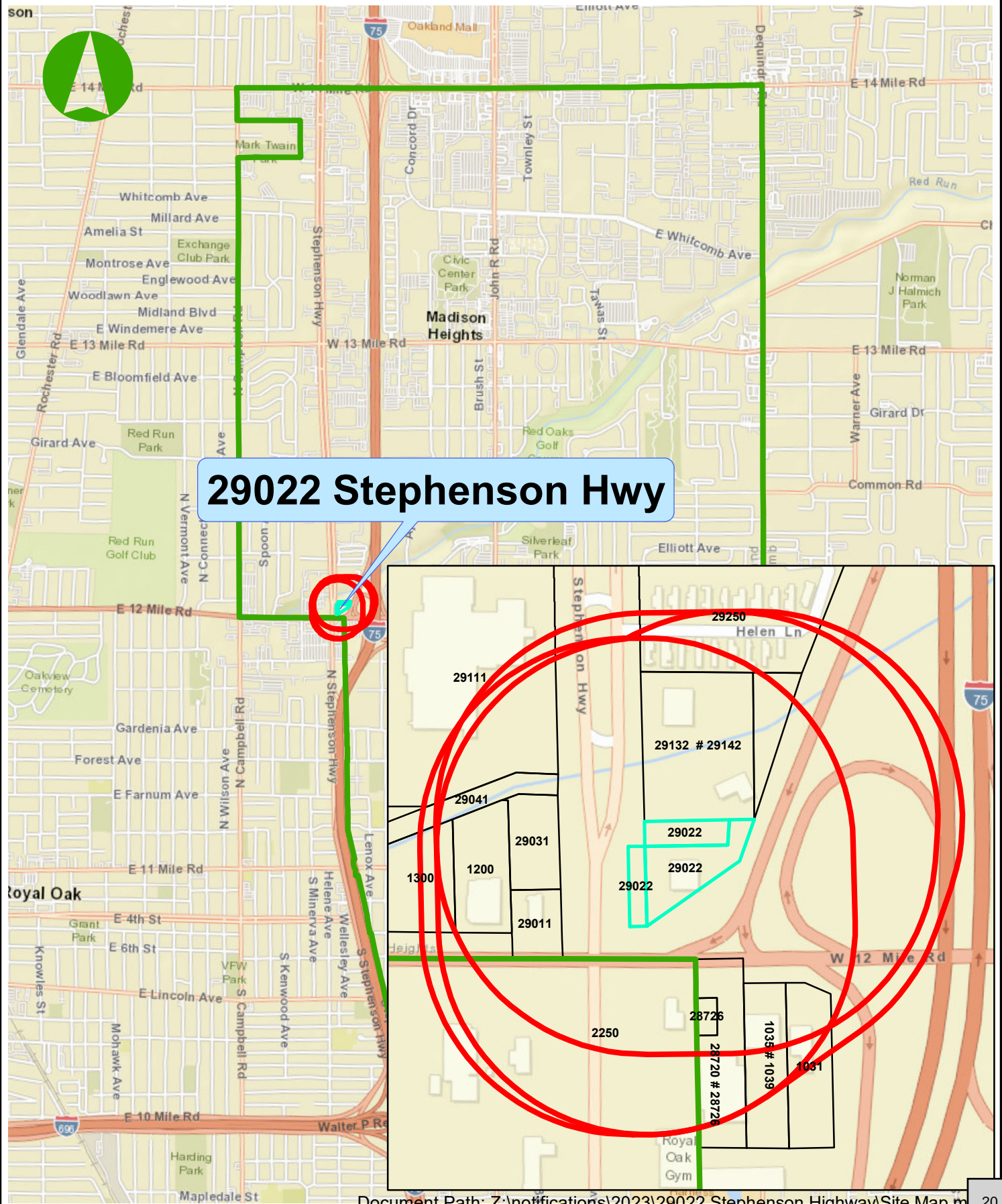


- 29022 Stephenson Hwy
- Industrial
- Parcels

SA CASE: 23 - 05

BUFFER 500 FT

Item 4.





**CITY OF MADISON HEIGHTS
COMMUNITY DEVELOPMENT DEPARTMENT
PETITION FOR USE PERMITTED BY
SPECIAL APPROVAL**

FOR OFFICE USE ONLY

Request PSP 23-005 No: _____
 Date 6/9/23 Filed: _____
 Approved by _____ CDD: _____
 Approved for Hearing: _____

I (we) the under signed, do hereby apply and petition the City of Madison Heights for a Special Approval Use Permit and provide the following information.

(Application must be typed)

Building Address: 29022 Stephenson Hwy. Tax ID No.: 44-25-11-377-015, -016, 019

APPLICANT INFORMATION

Name: Todd Gesund - BMW Kar Wash, Inc. d/b/a Jax Kar Wash

Phone No.: 248-514-5565 Fax No.: N/A

Mailing Address: 28845 Telegraph Road City, State, Zip: Southfield, MI 48034
(Notices will be mailed to this address)

Driver's License No.: N/A Date of Birth: N/A

Interest in Property: Purchase Agreement

BUILDING & BUSINESS INFORMATION

Zoning District: B-3 Use Requested Pursuant to Section 10.326(8) of the Zoning Ordinance

Explain Requested Use in Detail: 6,200 sf drive-through autowash with 25 parking spaces, including 19 vacuum spaces, 5 employee spaces, 1 ADA space, 2 vacuum producers located within building, 25 stacking spaces with 3 pay stations.

The above referenced parcel is known as: (Lots(s) Acreage Parcel (s)) _____ of _____
 Subdivision (if platted lot(s)) and is located on the N S(E)W (Circle One) side of Stephenson Hwy. Street/Road between
Twelve Mile Street/Road and Helen Ct. Street / Road.

Hours of Operation: 7am - 9pm

Property Frontage: +/-193' Width/Depth: +/-250' No. of Parking Spaces: 25 Private Lot X Shared Lot _____

No. of Floors: 1 Max. No. of Employees: 20 Male N/A Female N/A No. on Largest Single Shift: 8

No. of Seats for Restaurant or Assembly Uses: N/A Capacity of Waiting Area: N/A

Building: New X or Existing _____ Will Additions or Alterations to the Building be Required? N/A

Explain: _____

Describe Any Other Site Improvements to be Made: 19 vacuum parking spaces, 5 employee parking spaces, 1 ADA parking space, City entrance sign, other hardscape and landscape improvements.

Building Owner Name: Sokol & Angjelina Ndrejaj Phone No.: _____ Fax No.: _____

Mailing Address: 29022 Stephenson Hwy. City: Madison Heights Zip: 48071
(Notices will be mailed to this address)

Note: All blanks and boxes above must be completed. Use N/A where appropriate.

CONTINUED ON REVERSE SIDE



MADISON HEIGHTS FIRE DEPARTMENT
 "RIGHT-TO-KNOW"
EMERGENCY CONTACT FORM

A. Address 29022 Stephenson Hwy Today's Date 6/1/23 Telephone Number 248.514.5565
 B. Business Name JAX KAR WASH

C. EMERGENCY CONTACTS:

INCLUDE AREA CODE

FIRE ALARM Company		*Telephone Number*
GUARDIAN ALARM		248.423.1000
SECURITY ALARM Company		*Telephone Number*
GUARDIAN ALARM		248.423.1000
D. PRINT Personal AFTER-HOUR Contact Name & Email		*Telephone Number*
1.	Todd Gerund	248.514.5565
Email:	todd@jaxkarwash.net	
2.	Heath Stack	
Email:	Heath.stack@jaxkarwash.net	
3.	Jordan WAGNER	248.379.3869
Email:	Jordan@jaxkarwash.net	
4.		
Email:		

Completed By:
 (Please Print)

Todd Gerund

Update as of this date: 6/1/2023



Williams Williams Rattner & Plunkett, P.C.
Attorneys and Counselors

380 North Old Woodward Avenue
Suite 300
Birmingham, Michigan 48009

Tel: (248) 642-0333
Fax: (248) 642-0856

www.wwrplaw.com

John D. Gaber
jdg@wwrplaw.com

June 7, 2023

Honorable Roslyn Grafstein & City Council
City of Madison Heights
300 W. 13 Mile Road
Madison Heights, MI 48071

**Re: Special Use Approval for Jax Kar Wash
29022 Stephenson Hwy, Madison Heights**

Dear Mayor Grafstein & City Council Members:

Jax Kar Wash is pleased to apply for approval to develop the property at 29022 Stephenson Hwy as a modern automatic car wash. It has filed a Petition for Use Permitted by Special Approval. In support of this Petition, please see the attached Addendum, which shows how Jax meets or exceeds the Review Standards and Criteria in Section 10.201.4 of the City's Zoning Ordinance.

Jax believes the subject site is an ideal location for a modern automatic car wash facility to service both Madison Heights residents and other auto travelers in this I-75/Twelve Mile/Stephenson Hwy. corridor of the City. The site is property zoned in the B-3 zoning district and is located within an area where other automotive uses are prevalent (i.e., auto repair across Twelve Mile; 2 gas stations across Stephenson).

The site has also been designed to provide for the safe, efficient and aesthetically pleasing redevelopment of the site. As the submitted site plan package and renderings illustrate, the site layout provides for safe entry and exit to and from the site, efficient vehicle circulation, sufficient stacking, architecturally pleasing building elevation and materials, environmentally friendly practices (partial water recycling and sand/oil separator), and landscaping in excess of ordinance requirements.

Jax is also voluntarily proposing significant conditions on the development that the City Council can adopt pursuant to Section 10.201.4.K, to help facilitate City improvement plans:

1. In support of the City's program to install entrance identification and beautification signs at the main entrances to the City, Jax will contribute \$60,000 toward such sign and ancillary improvements, and provide an easement to the City to install and operate such sign on the subject property, as shown on the site plan.
2. In support of the City's objective to improve the quality of life for residents near the subject property, Jax will contribute \$90,000 toward the City's matching component for a grant for playground equipment and improvements in the nearby Twelve-Sherry City Park.

W | W | R | P

Honorable Roslyn Grafstein & City Council
City of Madison Heights
June 7, 2023
Page 2

We look forward to presenting this Jax Kar Wash project to you at your July 10, 2023, where we will respectfully request your approval to the proposed project.

Very truly yours,

WILLIAMS, WILLIAMS, RATTNER & PLUNKETT, P.C.



John D. Gaber

Encl.

cc: Todd Gesund, Jax Kar Wash
Jim Butler, PEA Group

**ADDENDUM IN SUPPORT OF
PETITION FOR USE PERMITTED BY SPECIAL APPROVAL
CITY OF MADISON HEIGHTS, MICHIGAN**

**Applicant: BMW Kar Wash Inc., d/b/a Jax Kar Wash
Parcel ID No.: 25-11-377-015, -016, -019
Date: June 12, 2023**

Jax Kar Wash proposes to construct a modern automatic car wash on the Property, which is a Use Permissible on Special Approval in the B-3 General Business district (§10-326(8)). Applicant submits this Addendum in Support of Petition for Use Permitted by Special Approval for approval to use the above subject property ("Property") for such purpose. Section 10.201(4) of the City's Zoning Ordinance sets forth the review standards and criteria for City Council to consider in reviewing Special Approval Petitions. The Applicant believes it meets these review standards and criteria as follows:

- A. Site plans submitted for special approval uses shall be prepared in conformance with and contain all information as outlined in Section 10.514. Site Plan Review.

Response – Applicant believes its site plan materials submitted meet the above requirements.

- B. All design standards or criteria imposed on specific special approval uses elsewhere in this Ordinance shall be met.

Response – Section 10.326(8) provides specific design standards for automatic car washes, most of which the Applicant meets, except for the following, for which the Applicant will seek variances from the City's Zoning Board of Appeals:

- i. Subsection (c) requires that the hours of operation be between 8:00 a.m. and 10:00 p.m. The Applicant seeks to open for business at 7:00 a.m., which should not cause any adverse impact to any neighboring properties, as all such property are commercial, not residential.
- ii. Subsection (d) requires that the building be at least 20 feet away from the right-of-way. The site plan shows that the building is only 10 feet from the south property line, however there is a large open space in this area of the MDOT right-of-way that is not being used for road purposes and provides buffering from Twelve Mile Road and I-75, which Applicant believes is sufficient to meet the intent of the set-back requirement.

- iii. Subsection (i) requires that a chain-link fence be constructed to enclose the entire property boundary. The Applicant proposes to install substantial landscaping on the site, including along the perimeter of the Property in the area where a chain-link fence would be required. The Applicant believes that the landscaping would provide a more attractive site in this visible area.
- iv. Subsection (q) requires that the vacuums and drying services be located inside the building area. The vacuums and Jax' hand towel drying services will be located outdoors, as is typical in most car wash facilities. While the vacuums will be outdoors, the main vacuum filter/separator and vacuum turbine motors will be located inside the building, so as to minimize external noise to the surrounding areas. The vacuums will be free for public use. These areas will also be shielded by substantial landscaping in excess of ordinance requirements.

C. The use shall be designed and located so that it is compatible with the surrounding properties, neighborhood and vicinity. At a minimum, this shall include:

- 1. Location of use(s) on site;
- 2. Height of all improvements and structures;
- 3. Adjacent conforming land uses;
- 4. Need for proposed use in specified areas of the city;
- 5. Conformance with future land use plans for the area as adopted by the planning commission; and
- 6. Compatibility with the permitted principal uses allowed in the zoning district where the special approval use is requested.

Response –

- 1. The configuration of the drives, building and vacuum areas lays out efficiently on this irregular-shaped Property.
- 2. The building height is not inconsistent with many of the commercial buildings along the Twelve Mile corridor.
- 3. The proposed use is consistent with the surrounding commercial uses, some of which conform to the B-3 zoning district, with others being located on industrial-zoned parcels which are likely to convert to commercially zoned parcels if the Master Plan is updated to reflect such future land uses.
- 4. There are no automatic car washes in this area of the City; they are almost all located on the John R corridor. This location, with vehicles entering/exiting I-75 next door, is ideally situated for those consumers who live or work in the area.
- 5. The Future Land Use Map reflects the Property being within the industrial land use area. However, City Council recognized the changing character

of this area along Twelve Mile Road toward commercial uses when it rezoned the Property to B-3 last year. The automatic car wash facility is a use permitted by special approval in the B-3 zoning district, and is therefore conforming with the direction in which the City is moving to transition this area to commercial uses, which is consistent with much of the current development and use of the Twelve Mile corridor.

6. The automatic car wash would be consistent with other uses in the B-3 district, and helps fulfill the commercial needs of the consumer in this area, which lacks a car wash, but includes other automotive facilities (ie, gas station, repair shop) across the adjacent streets.
- D. Ingress/Egress to the use shall be controlled to assure maximum vehicular and pedestrian safety, convenience and minimum traffic impact on adjacent roads, drives and uses including, but not limited to:
1. Reduction in the number of ingress/egress points through elimination, minimization and/or consolidation of drives and/or curb cuts;
 2. Proximity and relation to intersections, specifically with regard to distance from drive(s) to intersection(s);
 3. Reduction/elimination of pedestrian vehicular traffic conflicts;
 4. Adequacy of sight distances;
 5. Location and access of off-street parking;
 6. Location and/or potential use of service drives to access multiple parcels, reducing the number of access points necessary to serve the parcels.

Response –

1. The site will only have a single ingress/egress driveway to Stephenson Highway.
2. The driveway will be located almost as far a possible from the intersection of Twelve Mile Road and will be a considerable distance from the Water Resources Commission drive to the north to ensure the safest ingress and egress for vehicles entering and exiting the Property. Further, the divided highway begins in this area, increasing safety of turning movements.
3. There will only be a single driveway, and the predominantly one-way traffic flow around the perimeter of the site will help to minimize any conflicts between vehicles and pedestrians.
4. The site is very open, so visibility should be good, both entering and exiting the site and within the site itself.
5. Off-street parking is located in the middle of the site, by the building, which will primarily be used to access the vacuums. Very little parking is required or needed for an automatic car wash, which by definition has customers remaining in their vehicles except for vacuum use. Employee parking will be at the northwest corner of the Property.

The site layout also provides for orderly circulation, with 25 stacking spaces located before the pay stations and between the pay stations

and the building, and ample distance from the building to the exit drive so as to facilitate efficient traffic circulation on site that will not cause any back-ups on the site or any traffic impediments on Stephenson Highway.

- E. Screening shall be provided along all property lines, where Council determines such screening is necessary to minimize impact of the use on adjacent properties or uses.

Response – In this commercial corridor, screening is not likely necessary, since the adjacent uses are primarily commercial, and the site is surrounded by roads on 3 sides. There is virtually no screening for the existing restaurant. The Landscape Plan submitted shows that Applicant is maximizing the landscape plantings on the site, providing additional trees, shrubs and perennials at the perimeter and within the site that exceed Ordinance requirements.

- F. The use shall be properly served by utilities.

Response – The Property is currently serviced by all required utilities.

- G. The use shall not have an adverse effect on the environment beyond the normal effects of permitted principal uses in the same zoning district and shall not result in an impairment, pollution, and/or destruction of the air, water, and natural resources.

Response – As discussed above, the Twelve Mile corridor has several commercial uses that would be permitted in the B-3 district, including some automotive uses. There is currently a restaurant operating on the Property, so the impact of the automatic car wash should not impair, pollute or destroy air or water quality. Further, there are no natural resources located on the Property to impair. The additional landscaping proposed will have a positive effect on the environment in the area.

- H. The use shall be specifically scrutinized for conformance with the performance standards outlined in Section 10.509 of this ordinance.

Response - Very few of the Section 10.509 standards regarding open storage, glare, radioactive materials, fire, explosive hazards apply to the proposed use. Jax uses eco-friendly soaps and waxes in its car wash. Some of the waste water is recycled and the waste water is filtered, by passing through filter/separator tanks before being discharged into the public sewer system. Noise is being reduced by locating the main vacuum filter/separator and vacuum turbines inside the car wash building.

- I. The proposed use shall be designed as to location, size, intensity, site layout, and periods of operation to eliminate any possible nuisances which might be noxious to the occupants of any other nearby properties. The use shall not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive smoke, fumes, glare, noise, vibration, odors and adverse environmental impacts.

Response – The Applicant does not believe that the proposed use would create any possible nuisances to neighboring properties. There are primarily commercial uses in the area, and the property is surrounded by roads on the east, south and west sides, with the Water Resources Commission facility to the north. Additionally, the Applicant employs best management practices with its modern car wash facility to minimize any adverse impacts of the development. The landscaping in excess of ordinance requirements will help to minimize the view of the facility, and the vacuum motors located inside the building will help minimize noise. The car wash facility proposed will not generate smoke, fumes, glare, noise, vibration, odors or adverse environmental impacts.

- J. The proposed use does not impose an unreasonable burden upon public services and utilities in relation to the burden imposed by permitted principal uses in the same zoning district.

Response – All public utilities are available to service the Property, and are currently present to serve the restaurant now operating on the Property. Since the proposed use is a drive-through facility (except for vacuum use), it is not anticipated to have any impact on public transportation or emergency medical services. Traffic is also managed by a single driveway on Stephenson Highway as far away as possible from the intersection to maintain safe entry and exit movements onto Stephenson Highway.

- K. The city council may impose conditions in granting special approval that it deems necessary to fulfill the spirit and purpose of this Ordinance. The conditions may include those necessary . . . to promote the use of land in a socially and economically desirable manner. Conditions imposed shall:

1. Be designed to protect natural resources, the health, safety and welfare, as well as the social and economic well being of those who will use the land use or activity under consideration, residents and landowners immediately adjacent to the proposed land use or activity, and the community as a whole. . . .

Response – The Applicant proposes the following voluntary conditions which protect the health, safety and welfare and the social and economic well being of the community:

The Applicant shall contribute to the City the amount of One Hundred Fifty Thousand and 00/100 (\$150,000) Dollars (“Contribution”) simultaneously upon the Applicant’s closing on the acquisition of the Property (which Contribution shall not be due if closing does not occur), to be used as follows:

- a. The Applicant understands that the City has engaged in a program to install entrance identification and beautification signs at the main entrances to the City, and is currently developing a prototype design for such signs. The intersection of Stephenson Highway and Twelve Mile Road is a significant entrance to the City, and as the Property is located at this intersection, the Property, and/or the City right-of-way adjacent to the Property would be an ideal location for such sign. The City has estimated the cost of the sign and the installation of the sign, landscaping and other ancillary improvements to be approximately Sixty Thousand and 00/100 (\$60,000) Dollars. Therefore, the Applicant agrees to contribute to the City the sum of Sixty Thousand and 00/100 (\$60,000) Dollars, and if the City erects such sign, to grant an easement to the City as may be necessary for the location, installation, operation and maintenance of the sign in the southwestern corner of the Property, southwest of the drive as shown on the Site Plan, provided that the location of the sign does not interfere with the use and operation of the Property as an auto wash in accordance with the Site Plan.**
- b. The Applicant understands that the City desires to install new playground equipment and make improvements in the Twelve-Sherry City Park, located approximately one block from the Property and is filing a grant application for the partial funding of such playground equipment and improvements. The Applicant further understands that if the grant is approved, the City will be required to invest a matching component of the funds for the playground equipment and improvements as a condition of receiving such grant. Therefore, the Applicant agrees to contribute to the City the sum of Ninety Thousand and 00/100 (\$90,000) Dollars for the purpose of funding all or a portion of the City’s matching component for such grant.**
- c. Notwithstanding anything to the contrary, the City may direct the application of the Contribution to fund City improvements and purposes other than as set forth in a. and b. above which the City determines, in its sole and absolute discretion, would be in the best interests of the City and its residents.**

- d. The Applicant would not assume any responsibility for any City decisions regarding its use of the Contribution, has no obligation to make further financial contributions, and is not required to maintain any City improvements funded by the Contribution.

PRELIMINARY SITE PLANS

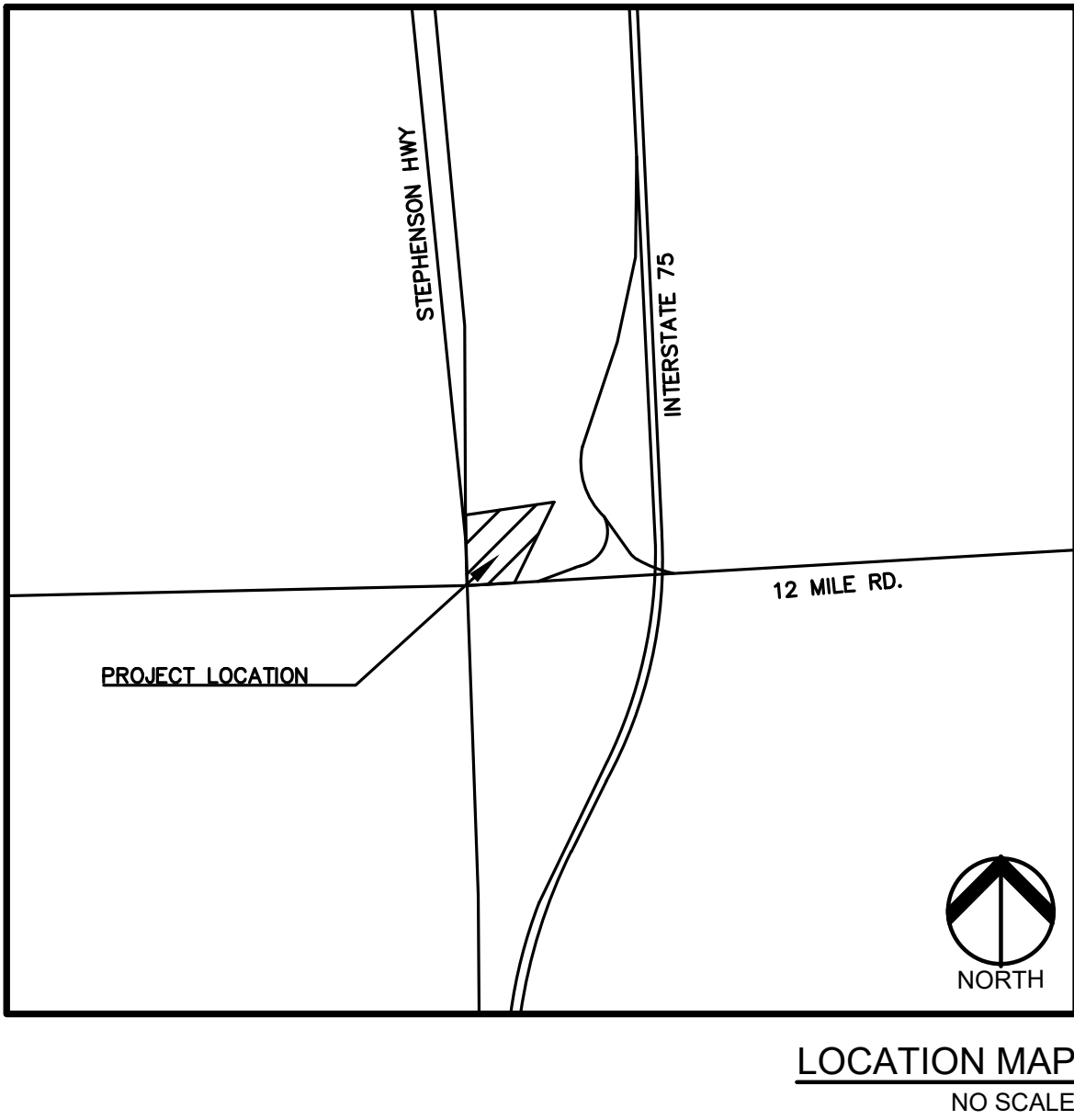
JAX CAR WASH - MADISON HEIGHTS

29022 STEPHENSON HWY

MADISON HEIGHTS, OAKLAND COUNTY, MI 48071



PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL



INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-3.0	PRELIMINARY SITE PLAN
C-4.0	PRELIMINARY GRADING PLAN
C-6.0	PRELIMINARY UTILITY PLAN
C-9.0	NOTES AND DETAILS
L-1.0	LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAILS
PFP-4	PRELIMINARY OVERALL FLOOR PLAN
PE-3	PRELIMINARY ELEVATIONS

DESIGN TEAM

OWNER/APPLICANT/DEVELOPER	CIVIL ENGINEER
CUNNINGHAM LIMP COMPANY 28790 CABOT DRIVE SUITE 100 NOVI, MI 48377 CONTACT: LINDON IVEZAJ, PE PHONE: 734.347.8200 EMAIL: LIVEZAJ@CLC.COM	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: JAMES P. BUTLER, PE PHONE: 844.813.2949 EMAIL: JBUTLER@PEAGROUP.COM
ARCHITECT	LANDSCAPE ARCHITECT
F.A. STUDIO 28261 EVERGREEN ROAD, SUITE 123 SOUTHFIELD, MI 48076 CONTACT: DAVID BRINKMEIER PHONE: 248.619.2354 EMAIL: DBRINKMEIER@FA.STUDIO	PEA GROUP 45 W. GRAND RIVER AVE., STE. 501 DETROIT, MI 48226 CONTACT: KIMBERLY DIETZEL, RLA PHONE: 844.813.2949 EMAIL: KDIEZEL@PEAGROUP.COM



REVISIONS	
DESCRIPTION	DATE
SLU SUBMITTAL	6/8/2023



NOT FOR CONSTRUCTION



A map showing the project location. It features a vertical line labeled 'STEPHENSON HWY' and a horizontal line labeled 'INTERSTATE 75'. The intersection is marked with a small circle. A line extends south from the intersection, labeled '12 MILE'. A shaded area on this line is labeled 'PROJECT LOCATION'.

PROJECT TITLE
JAX CAR WASH
29022 STEPHENSON HWY
MADISON HEIGHTS, MI 48071



ORIGINAL ISSUE DATE:

PEA JOB NO.	2023-03
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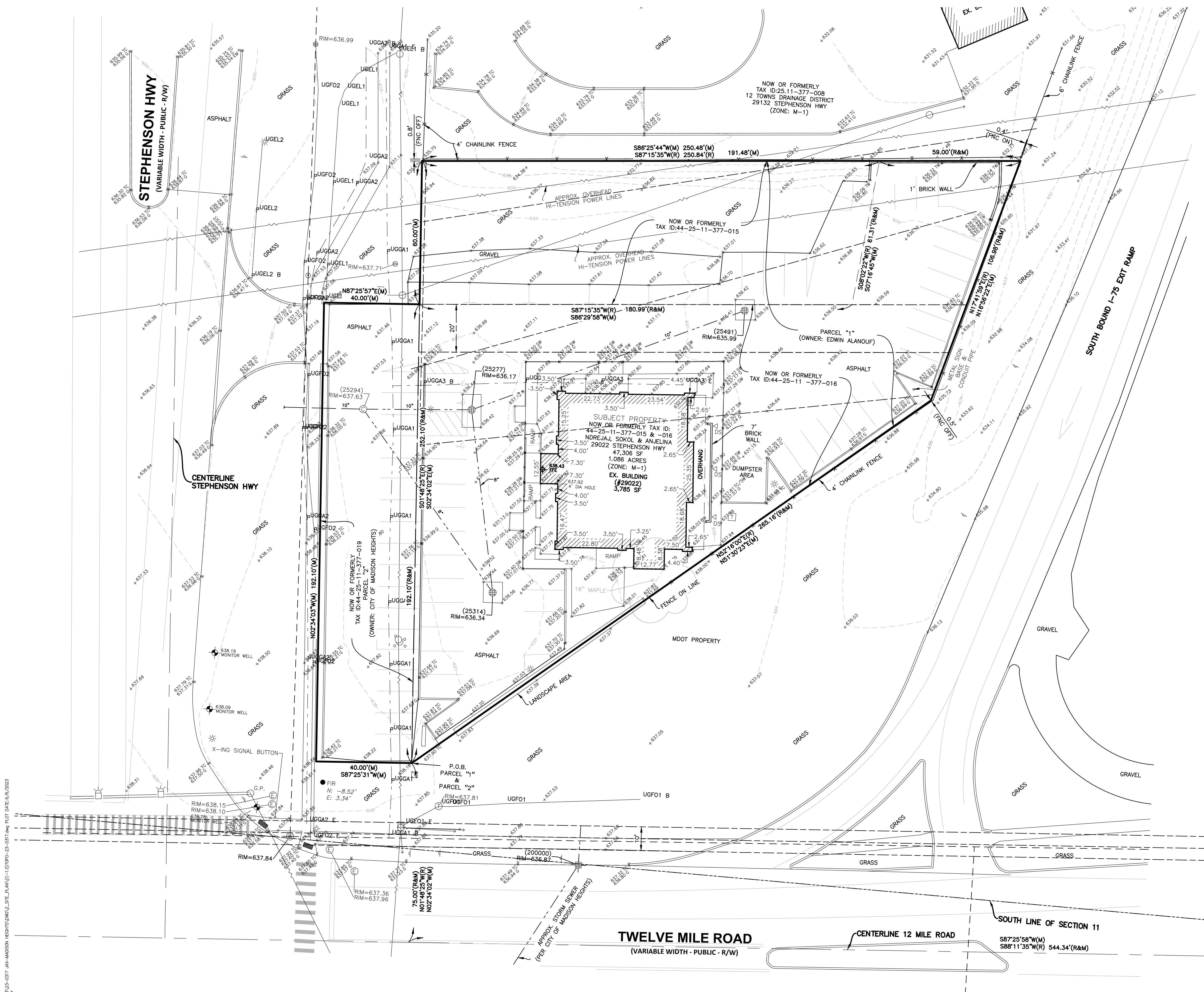
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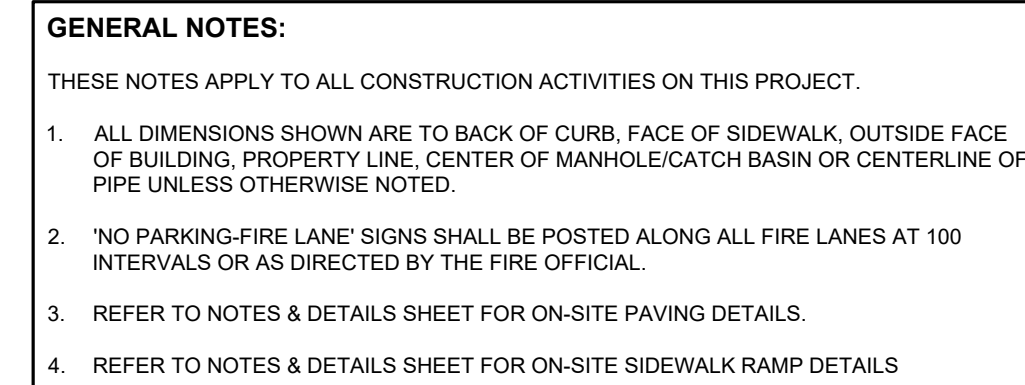
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FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE
OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE
MAP NUMBER 26125C0563F DATED SEPTEMBER, 29, 2006.

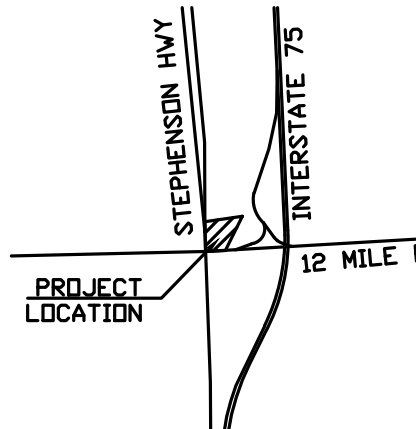


S:\PROJECTS\2023\23-0317 JAX-MAGISON HEIGHTS\DWG\2_SITE_PLAN\2-0317.dwg PLOT DATE: 6/6/2023

C-1.0



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
**CUNNINGHAM LIM
COMPANY**
28790 CABOT DRIVE SUITE 100
NOVI, MI 48377

PROJECT TITLE
JAX CAR WASH
29022 STEPHENSON HWY
MADISON HEIGHTS, MI 48071

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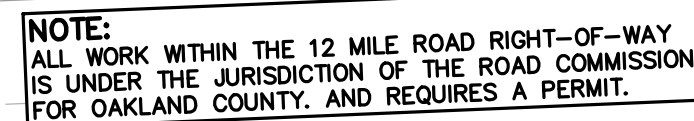
DRAWING TITLE
**PRELIMINARY
SITE PLAN**

PEA JOB NO.	2023-03
P.M.	J
DN.	
DES.	
DRAWING NUMBER:	

DRAWING NUMBER

C-3.0

NOT FOR CONSTRUCTION

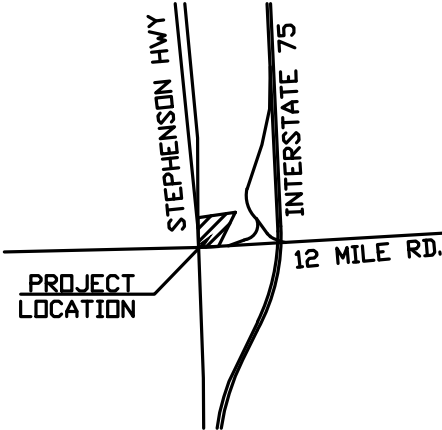




0 10 20 40
SCALE: 1" = 20'



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
CUNNINGHAM LIMP COMPANY
28780 CABOT DRIVE SUITE 100
NOVI, MI 48377

PROJECT TITLE
JAX CAR WASH
29022 STEPHENSON HWY
MADISON HEIGHTS, MI 48071



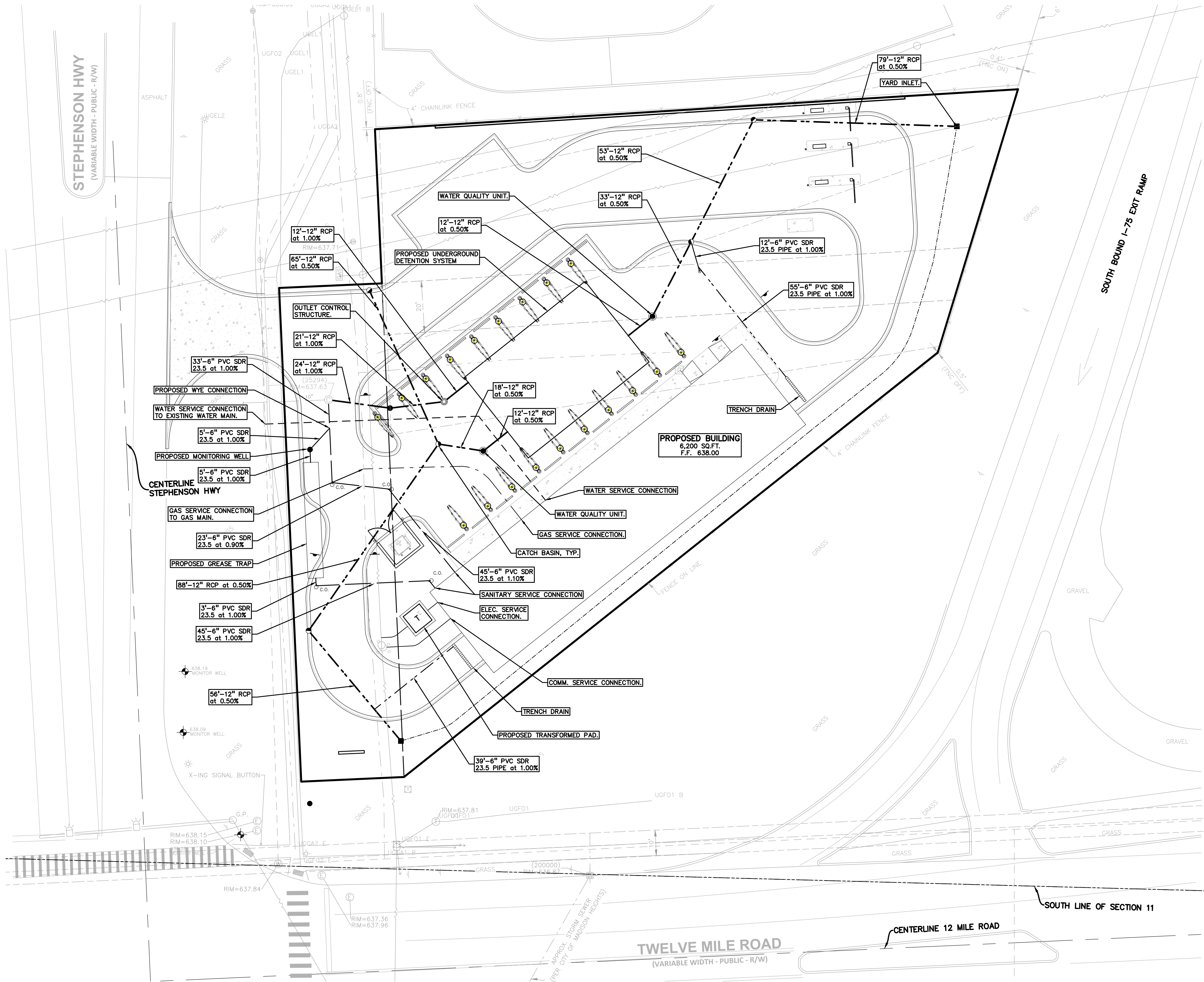
REVISIONS
OWNER REVIEW 06/02/23

ORIGINAL ISSUE DATE:

DRAWING TITLE
**PRELIMINARY
UTILITY PLAN**

PEA JOB NO. 2023-0317
P.M. JPB
DN. JL
DES. KM
DRAWING NUMBER:

UTILITY LEGEND:	
—OH-ELEC—W—O—	EX. OH. ELEC. POLE & GUY WIRE
—UG-CATV—	EX. U.G. CABLE TV & PEDESTAL
—UG-COMM—	EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
—UG-ELEC—	EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
—	EX. GAS LINE
⊙	EX. GAS VALVE & GAS LINE MARKER
⊠	EX. TRANSFORMER & IRRIGATION VALVE
—	EX. WATER MAIN
⊕	EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
⊕	EX. WATER VALVE BOX & SHUTOFF
—	EX. SANITARY SEWER
⊙	EX. SANITARY CLEANOUT & MANHOLE
⊙	EX. COMBINED SEWER MANHOLE
—	EX. STORM SEWER
⊙	EX. CLEANOUT & MANHOLE
⊙	EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
⊙	EX. YARD DRAIN & ROOF DRAIN
⊙	EX. UNIDENTIFIED STRUCTURE
—	PROPOSED WATER MAIN
⊕	PROPOSED HYDRANT AND GATE VALVE
⊕	PROPOSED TAPPING SLEEVE, VALVE & WELL
⊕	PROPOSED POST INDICATOR VALVE
⊕	PROPOSED SANITARY SEWER
⊕	PROPOSED SANITARY CLEANOUT & MANHOLE
⊕	PROPOSED STORM SEWER
⊕	PROPOSED STORM SEWER CLEANOUT & MANHOLE
⊕	PROPOSED CATCH BASIN, INLET & YARD DRAIN

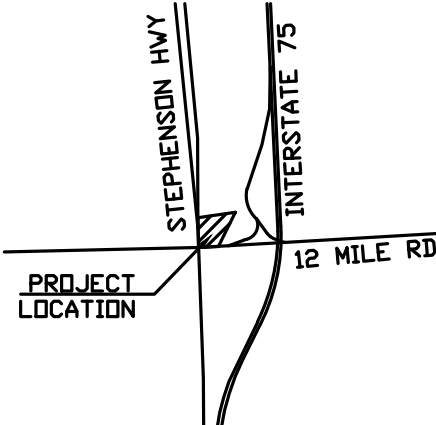




0 10 20 40
SCALE: 1" = 20'



CAUTION!!
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CLIENT
CUNNINGHAM LIMP COMPANY
28780 CABOT DRIVE SUITE 100
NOVI, MI 48377

PROJECT TITLE
JAX CAR WASH
29022 STEPHENSON HWY
MADISON HEIGHTS, MI 48071



REVISIONS
OWNER REVIEW 06/02/23

ORIGINAL ISSUE DATE:

DRAWING TITLE
NOTES AND DETAILS

PEA JOB NO. 2023-0317

P.M. JPB

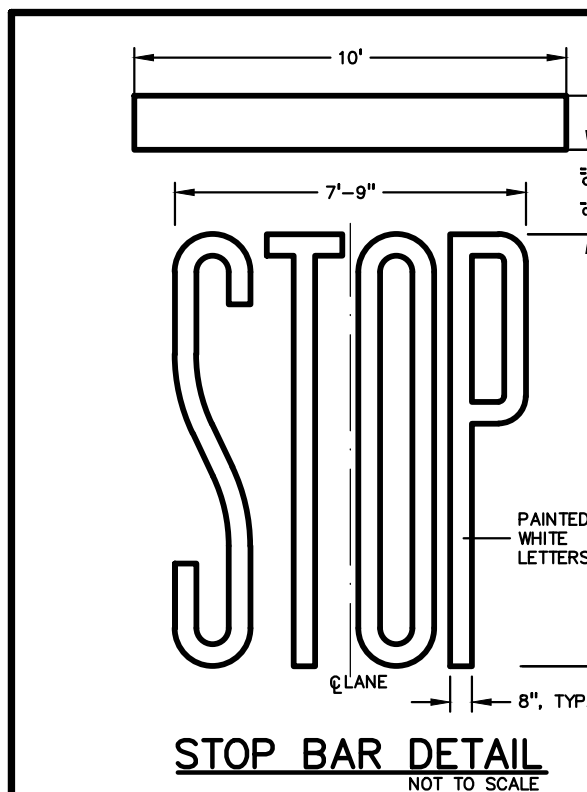
DN. JL

DES. KM

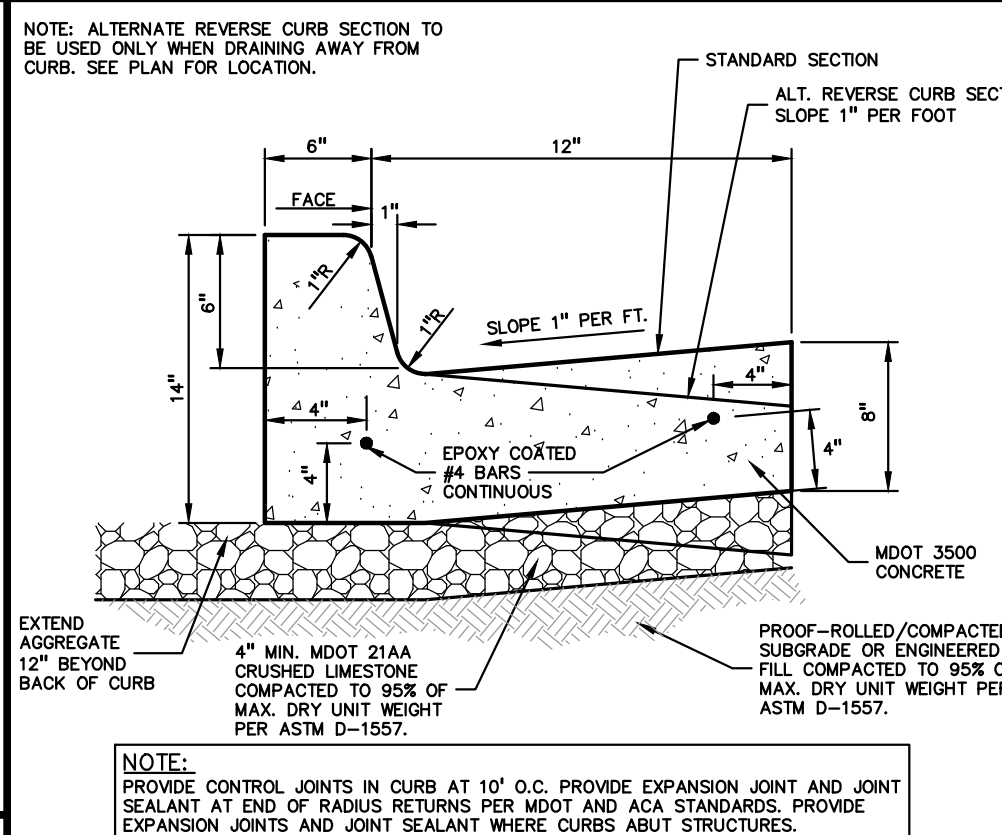
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NOT FOR CONSTRUCTION

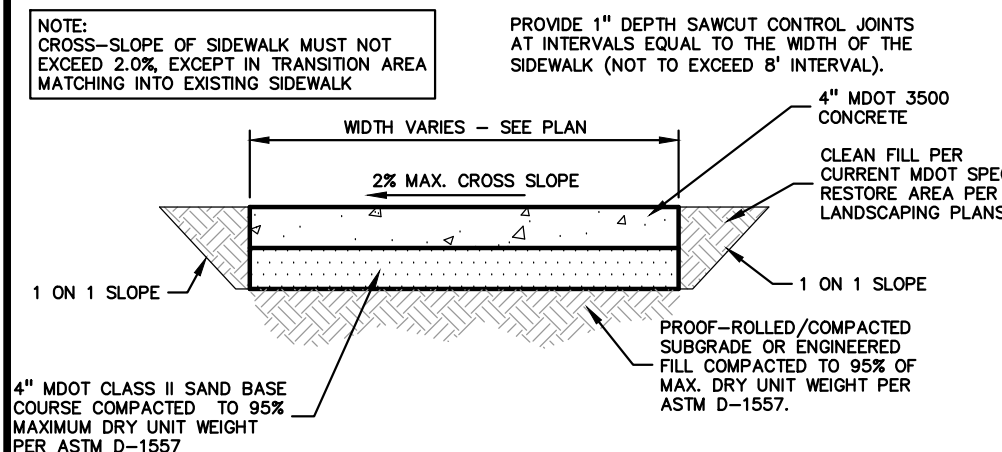
C-9.0



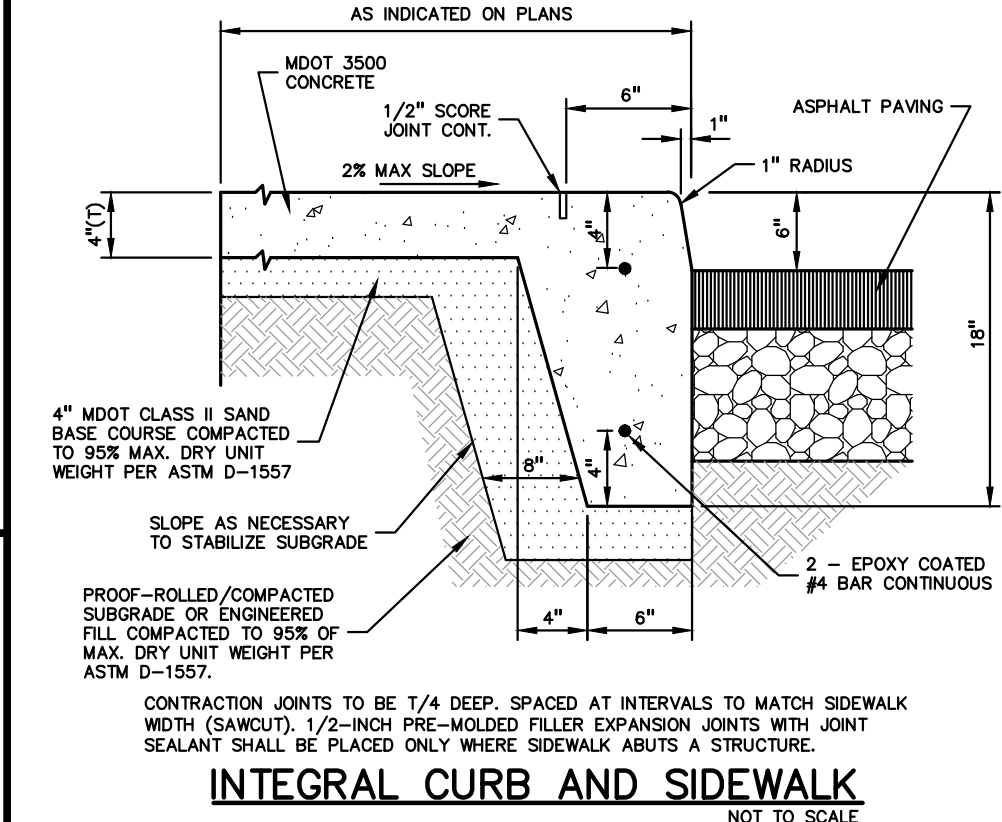
STOP BAR DETAIL
NOT TO SCALE



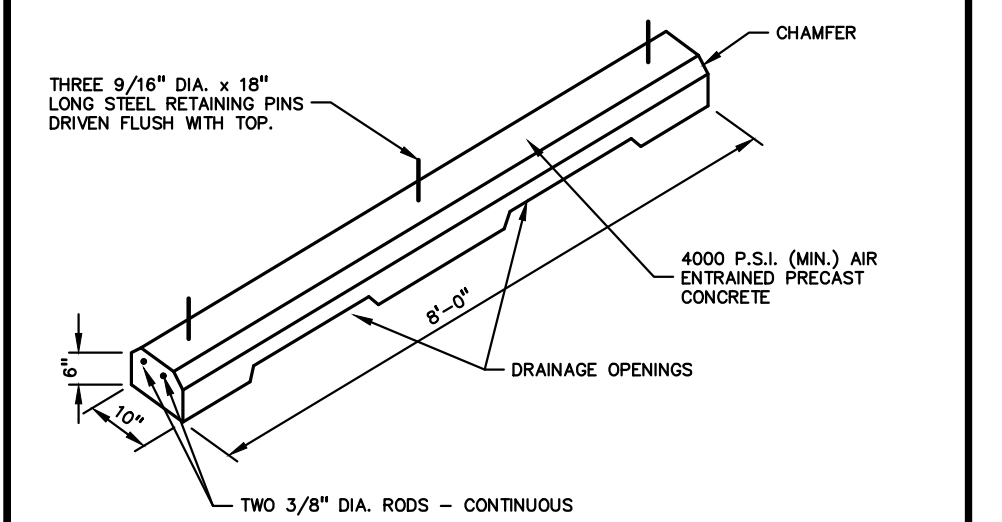
18"x6" STANDARD CONCRETE CURB AND GUTTER
NOT TO SCALE



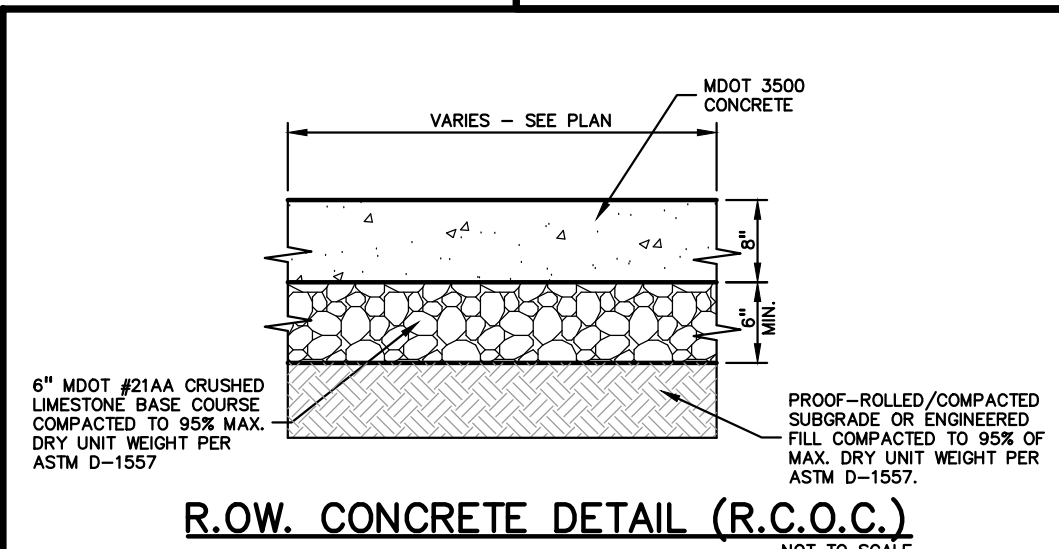
CONCRETE SIDEWALK
NOT TO SCALE



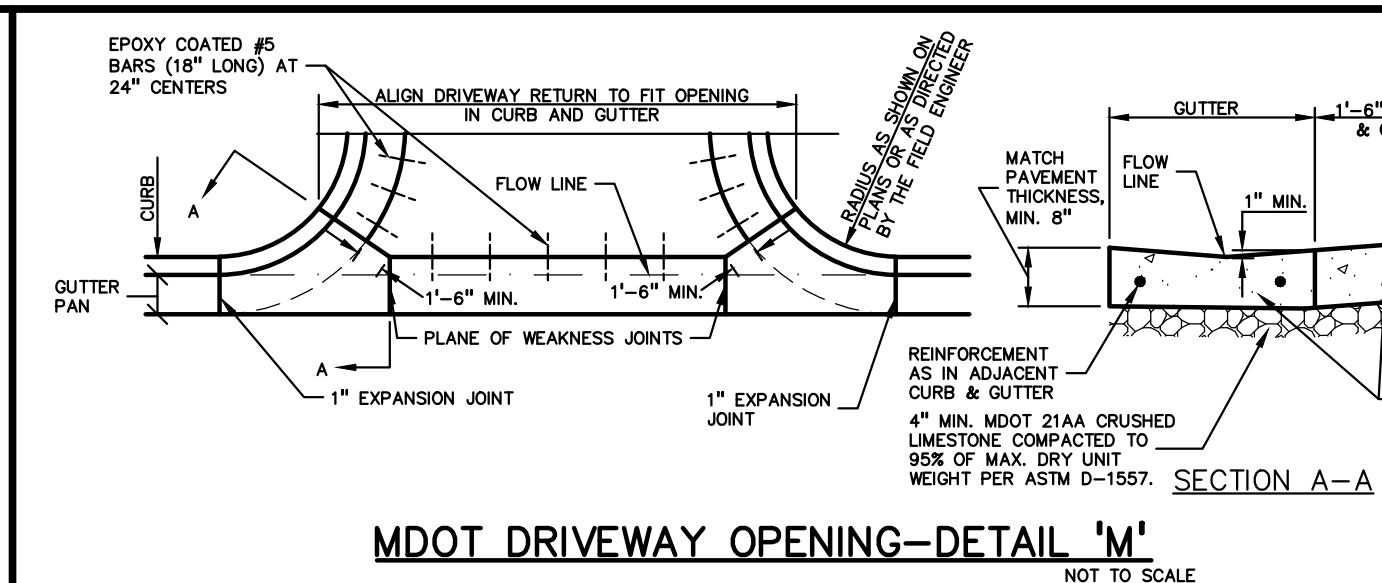
INTEGRAL CURB AND SIDEWALK
NOT TO SCALE



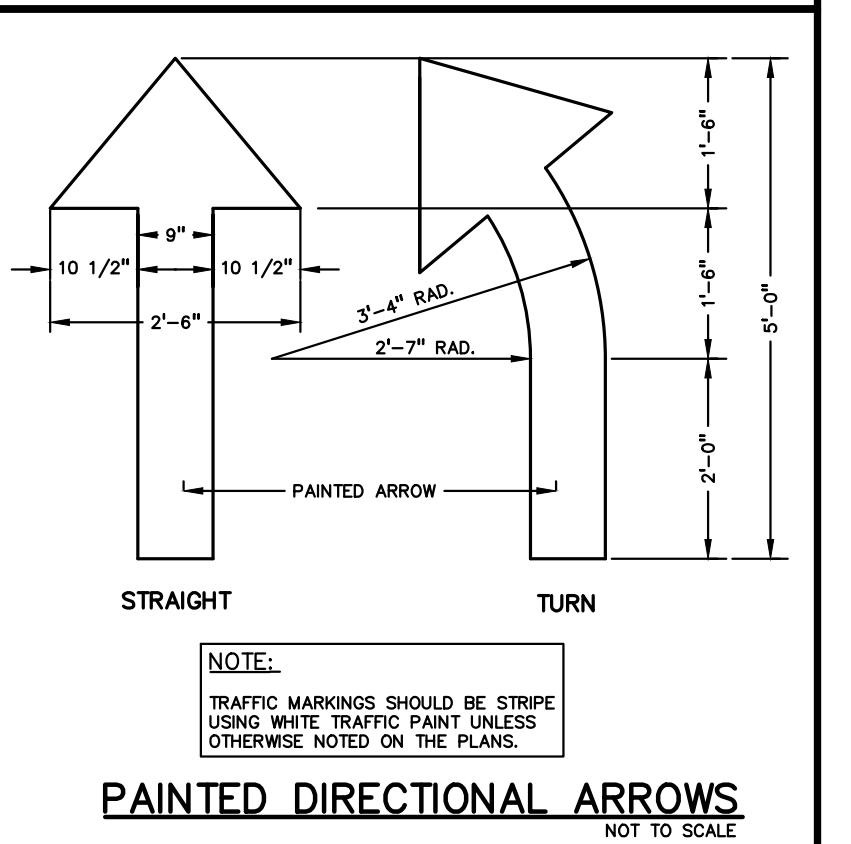
CONCRETE PARKING BUMPER
NOT TO SCALE



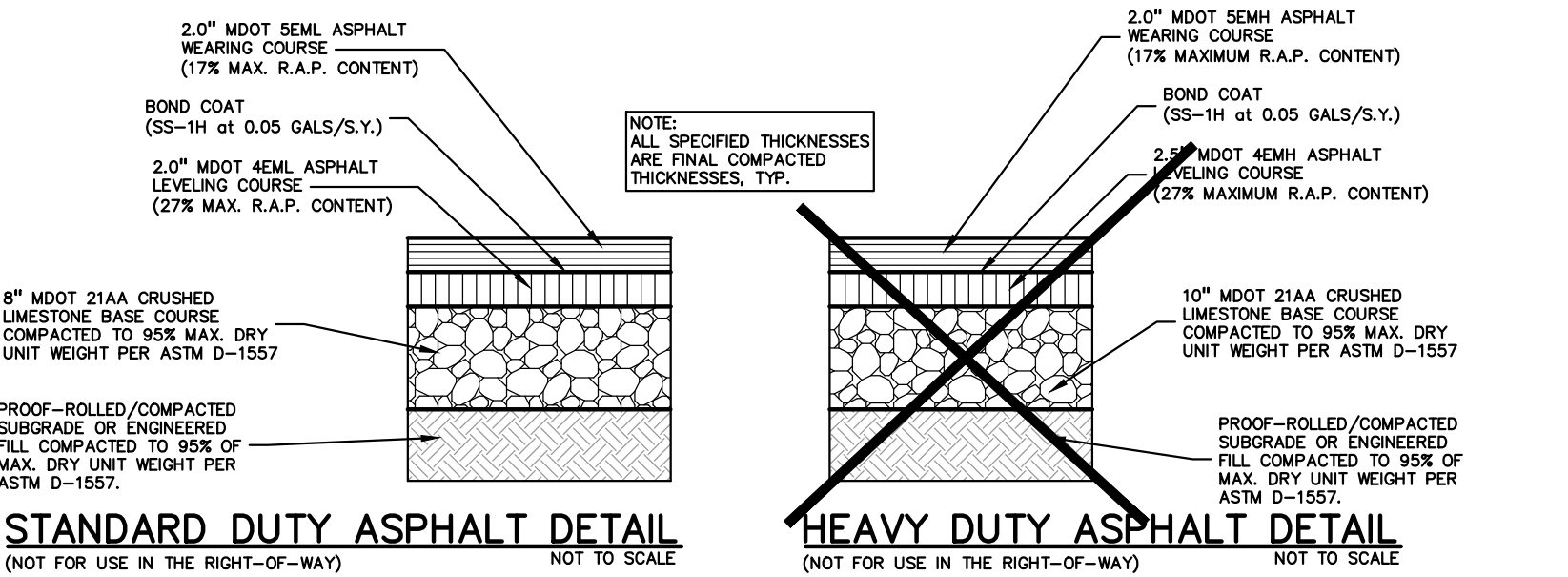
R.O.W. CONCRETE DETAIL (R.C.O.C.)
NOT TO SCALE



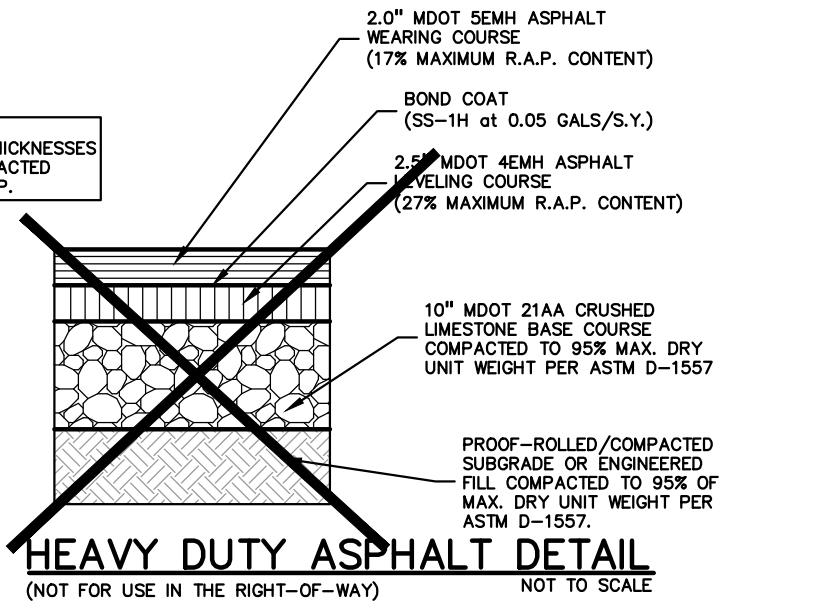
MDOT DRIVEWAY OPENING-DETAIL 'M'
NOT TO SCALE



PAINTED DIRECTIONAL ARROWS
NOT TO SCALE



STANDARD DUTY ASPHALT DETAIL
(NOT FOR USE IN THE RIGHT-OF-WAY)
NOT TO SCALE



HEAVY DUTY ASPHALT DETAIL
(NOT FOR USE IN THE RIGHT-OF-WAY)
NOT TO SCALE

ASPHALT MIX DESIGN CHART				
COMMERCIAL ADT 0-300	COMMERCIAL ADT 301-1000	COMMERCIAL ADT 1001-3400	COMMERCIAL ADT 3401	APPLICATION RATE (LB/70') MINIMUM - MAXIMUM
4EL	4EML	4EMH	4EMH	220-275
SEL	5EML	5EMH	SMA OR 5EMH	165-220
PG 58-28	PG 64-28	PG 64-28	PG 70-28P	

AGGREGATE BASE NOTE:
THIS PAVEMENT SECTION DESIGN ASSUMES THE USE OF MDOT 21AA CRUSHED LESTONE BASE MATERIAL THAT MEETS THE REQUIREMENTS OF MDOT STANDARD SPECIFICATION SECTION 902 FOR AGGREGATES. IF CRUSHED CONCRETE AGGREGATE BASE IS PROPOSED IN LIEU OF THE SPECIFIED CRUSHED LESTONE MATERIAL, PEA GROUP WILL REQUIRE A MINIMUM 25% INCREASE IN BASE THICKNESS. HOWEVER, IF TESTING DOCUMENTATION IS PROVIDED TO PEA GROUP THAT SHOWS THAT THE CRUSHED CONCRETE MATERIAL MEETS ALL REQUIREMENTS OF MDOT SPECIFICATION SECTION 902, THEN THE 25% INCREASE IN THICKNESS MAY BE REEVALUATED.

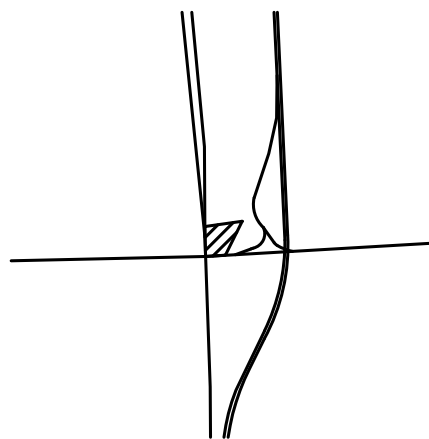
ASPHALT MATERIAL NOTES:
HOT-MIX ASPHALT MIXTURES UTILIZING RECYCLED ASPHALT PAVEMENT (RAP) MUST MEET MDOT SPECIAL PROVISION 122P(SPECIAL). THE BINDER GRADE FOR THIS WORK IS PG64-28. IF ASPHALT MIXES CONTAINING RAP ARE TO BE SUPPLIED FOR THIS PROJECT, THE ASPHALT BINDER MUST BE REVISED PER MDOT TIER 1 OR TIER 2 REQUIREMENTS (RAP CONTENT UP TO 27% MAXIMUM). TIER 3 MIXES ARE NOT ACCEPTABLE ON THIS PROJECT. AN ASPHALT MIX DESIGN FOR ALL SPECIFIED MIXES SHOULD BE FORWARDED TO PEA GROUP FOR REVIEW PRIOR TO CONSTRUCTION.



0 10 20 40
SCALE: 1" = 20'



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CLIENT
CUNNINGHAM LIMP COMPANY
28790 CABOT DRIVE SUITE 100
NOVI, MI 48077

PROJECT TITLE
JAX CAR WASH
29022 STEPHENSON HWY
MADISON HEIGHTS, MI 48071



REVISIONS
OWNER REVIEW 06/02/23

ORIGINAL ISSUE DATE:
6/2/23

DRAWING TITLE
LANDSCAPE PLAN

PEA JOB NO. 2023-0317

P.M. JPB

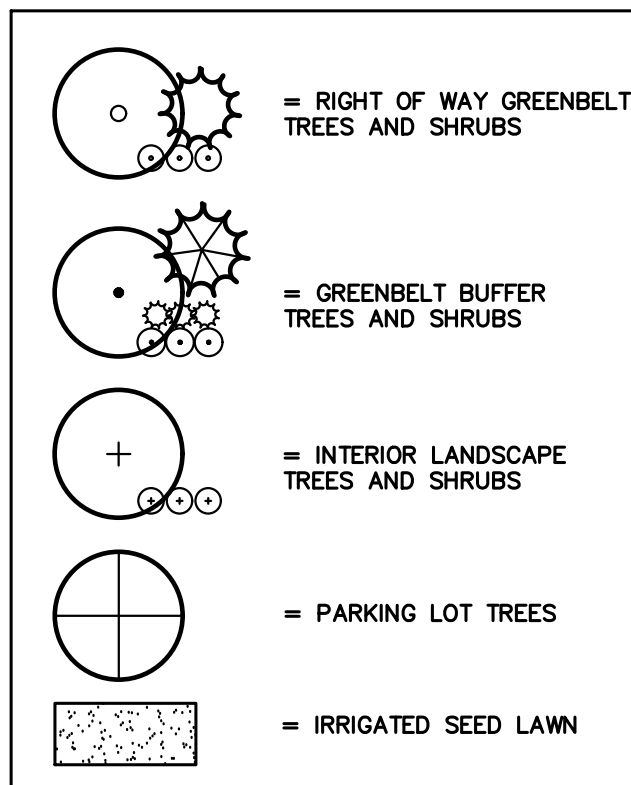
DN. BGG

DES. KAD

DRAWING NUMBER:

L-1.0

KEY



LANDSCAPE CALCULATIONS

PER CITY OF MADISON HEIGHTS ZONING ORDINANCE: ZONED B-3 GENERAL BUSINESS

RIGHT OF WAY GREENBELT LANDSCAPE

REQUIRED: 1 TREE AND 4 SHRUBS PER 30 LF

12 MILE RD: 177 LF / 30 LF = 5.9 TREES AND 23.6 SHRUBS
STEPHENSON HWY: 251.38 LF / 30 LF = 8.4 TREES AND 33.5 SHRUBS

PROVIDED:
12 MILE RD: 9 TREES AND 24 SHRUBS
STEPHENSON HWY: 9 TREES AND 34 SHRUBS
I-75 ADDITIONAL (NOT REQUIRED): 29 SHRUBS

GREENBELT BUFFER LANDSCAPE

REQUIRED: 1 TREE AND 4 SHRUBS PER 30 LF

NORTH PROPERTY LINE: 229.22 LF / 30 LF = 7.6 TREES AND 30.6 SHRUBS

PROVIDED:
NORTH PROPERTY LINE: 17 TREES AND 38 SHRUBS

INTERIOR LANDSCAPING

REQUIRED:

5% OF THE TOTAL IMPERVIOUS AREA (BUILDINGS AND PAVED AREAS).
ONE 2.5" DECIDUOUS TREE AND THEN ONE 2.5" DECIDUOUS TREE FOR EVERY ADDITIONAL 400 SF OF REQUIRED INTERIOR LANDSCAPE AREA
(2) 18" SHRUBS AND THEN (2) 18" SHRUBS FOR EVERY ADDITIONAL 400 SF OF REQUIRED INTERIOR LANDSCAPE AREA

IMPERVIOUS AREA: 32,570 SF
REQUIRED: 32,570 SF * 0.05 = 1,628.50 SF LANDSCAPE AREA
1 TREE + (1,628.5 SF / 400 SF INTERIOR LANDSCAPE AREA X 1 TREE) = 4.1 TREES
2 SHRUBS + (1,628.5 SF / 400 SF INTERIOR LANDSCAPE AREA X 2 SHRUBS) = 8.2 SHRUBS

PROVIDED:
14,672.77 SF LANDSCAPE AREA
7 TREES AND 9 SHRUBS

PARKING LOT LANDSCAPE

REQUIRED:

5 SF OF REQUIRED PARKING LOT LANDSCAPE PER PARKING SPACE AND ONE 2.5" DECIDUOUS TREE FOR EVERY 100 SF OF REQUIRED PARKING LOT LANDSCAPE. 25 PARKING SPACES x 5 SF = 125 SF OF REQUIRED PARKING LOT LANDSCAPE AND 125 / 100 = (1.25) 2 REQUIRED TREES.

PROVIDED:
125 SF LANDSCAPE AREA AND 3 TREE

TOTAL LANDSCAPE

REQUIRED:

30 TOTAL TREES
98 TOTAL SHRUBS

PROVIDED:

45 TOTAL TREES
173 TOTAL SHRUBS
128 TOTAL PERENNIALS

GENERAL PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
- TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY/ DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.

DECIDUOUS TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
6	AC8	Shadblow Serviceberry	<i>Amelanchier canadensis</i>	8-10' Ht.	B&B
9	GB2.5	Fastigiate Ginkgo (columnar)	<i>Ginkgo biloba 'Fastigiata'</i>	2.5" Cal.	B&B
8	MC2	Coralburst Crab	<i>Malus 'Coralcole'</i>	2" Cal.	B&B
7	QG2.5	Skinny Genes Oak	<i>Quercus alba 'JFS-KW2QX' P.A.F.</i>	2.5" Cal.	B&B
4	TB2.5	Boulevard Linden	<i>Tilia americana 'Boulevard'</i>	2.5" Cal.	B&B
6	UF2.5	Frontier Elm	<i>Ulmus 'Frontier'</i>	2.5" Cal.	B&B
40		TOTAL DEC.			

EVERGREEN TREE PLANT LIST:

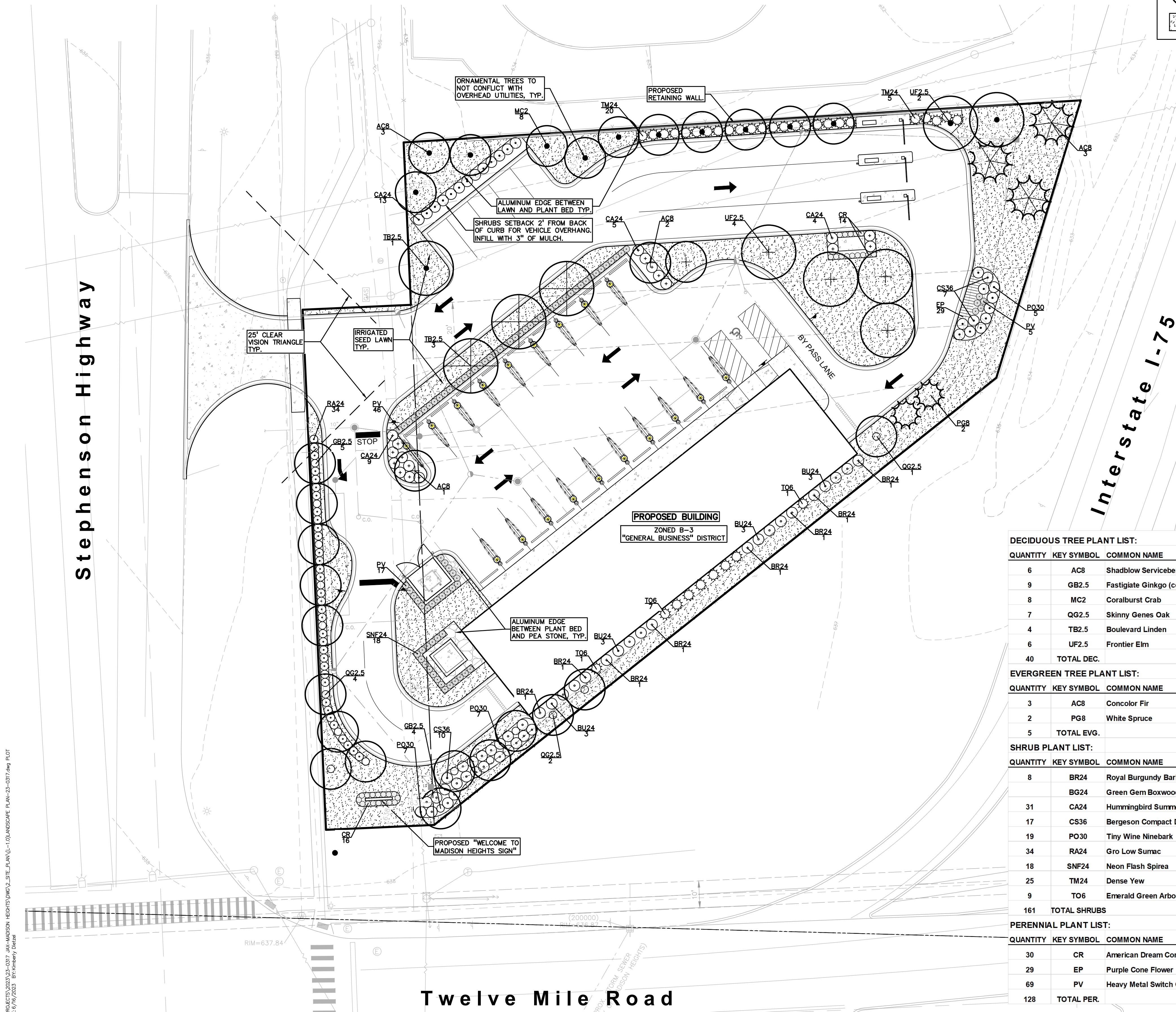
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
3	AC8	Concolor Fir	<i>Abies concolor</i>	8' Ht.	B&B
2	PG8	White Spruce	<i>Picea glauca</i>	8' Ht.	B&B
5		TOTAL EVG.			

SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
8	BR24	Royal Burgundy Barberry	<i>Berberis thunbergii 'Royal Burgundy'</i>	24" Ht.	Cont.
	BG24	Green Gem Boxwood	<i>Buxus x 'Green Gem'</i>	24" Ht.	Cont.
31	CA24	Hummingbird Summersweet	<i>Clethra alnifolia 'Hummingbird'</i>	24" Ht.	Cont.
17	CS36	Bergeson Compact Dogwood	<i>Cornus sericea 'Bergeson'</i>	36" Ht.	Cont.
19	PO30	Tiny Wine Ninebark	<i>Physocarpus opulifolius 'Tiny wine'</i>	30" Ht.	Cont.
34	RA24	Gro Low Sumac	<i>Rhus aromatica 'Gro-Low'</i>	24" Ht.	Cont.
18	SNF24	Neon Flash Spirea	<i>Spiraea japonica 'Neon Flash'</i>	24" Ht.	Cont.
25	TM24	Dense Yew	<i>Taxus x media 'Densiformis'</i>	24" Ht.	Cont.
9	TO6	Emerald Green Arborvitae	<i>Thuja occidentalis 'Smaragd'</i>	6'	B&B
161		TOTAL SHRUBS			

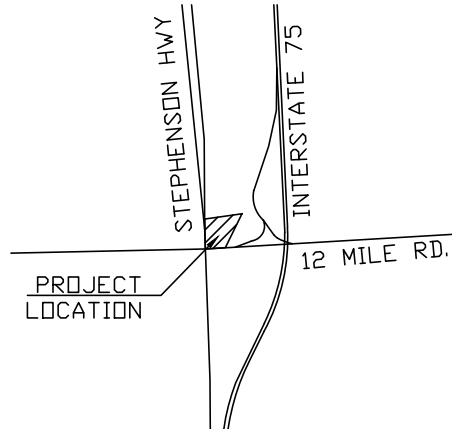
PERENNIAL PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
30	CR	American Dream Coreopsis	<i>Coreopsis rosea 'American Dream'</i>	1 Gal.	Cont.
29	EP	Purple Cone Flower	<i>Echinacea purpurea 'Magnus'</i>	1 Gal.	Cont.
69	PV	Heavy Metal Switch Grass	<i>Panicum virgatum 'Heavy Metal'</i>	1 Gal.	Cont.
128		TOTAL PER.			



0 10 20 40
SCALE: 1" = 20'

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CLIENT
CUNNINGHAM LIMP COMPANY
28790 CABOT DRIVE SUITE 100
NOVI, MI 48377

PROJECT TITLE
JAX CAR WASH
29022 STEPHENSON HWY
MADISON HEIGHTS, MI 48071



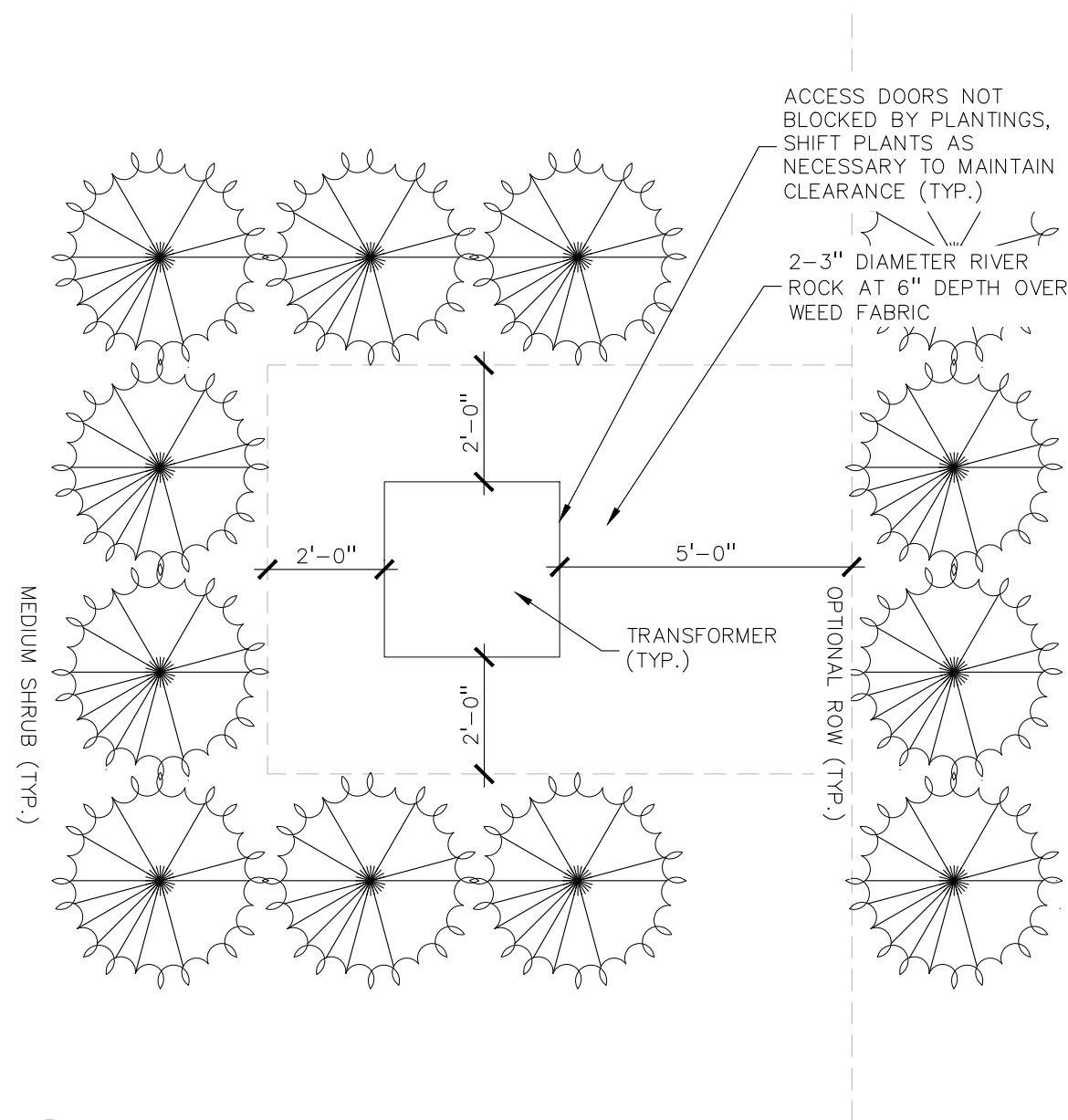
REVISIONS
OWNER REVIEW 06/02/23

ORIGINAL ISSUE DATE:
-

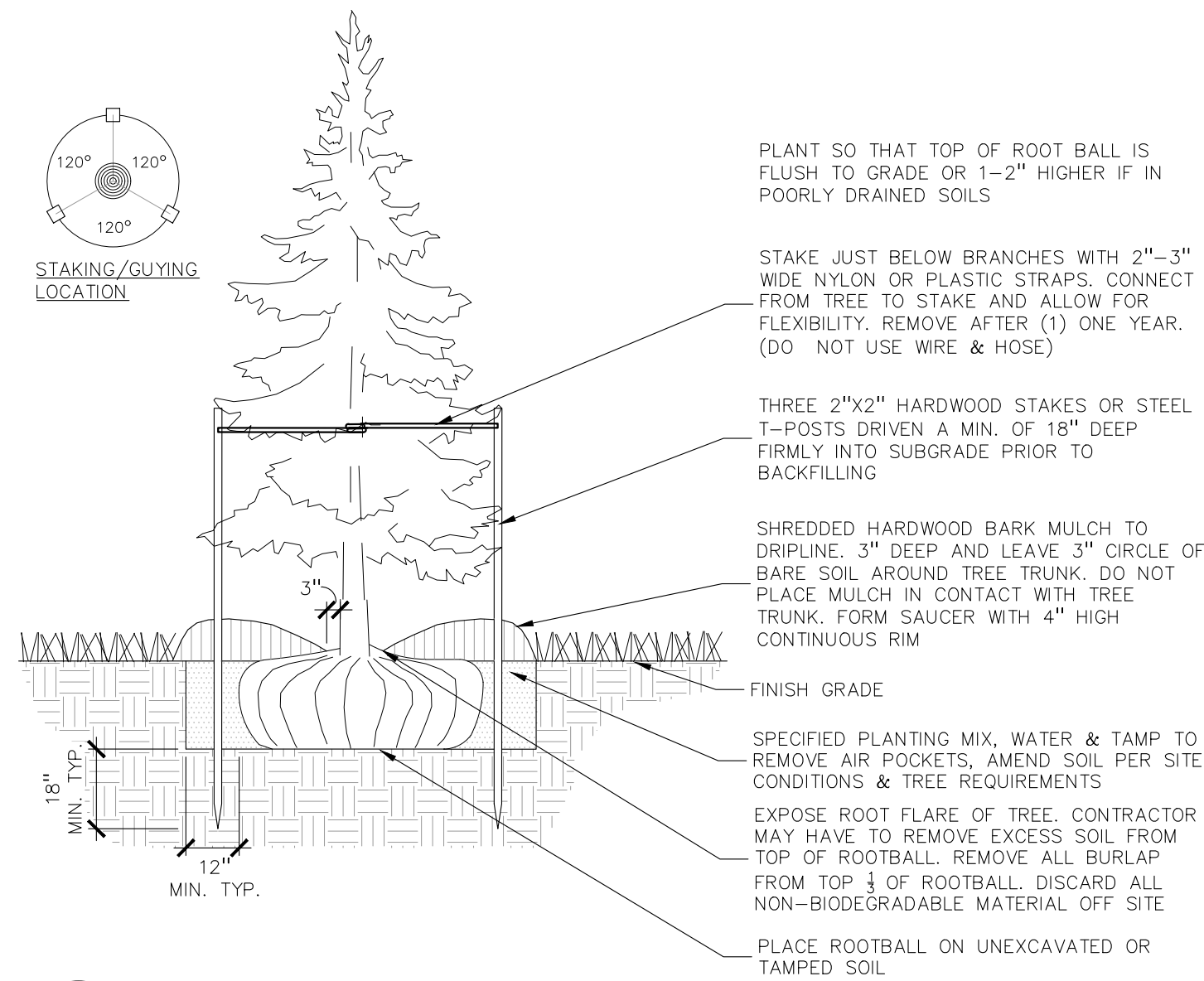
DRAWING TITLE
LANDSCAPE DETAILS

PEA JOB NO. 2023-0317
P.M. JPB
DN. BGG
DES. KAD
DRAWING NUMBER:

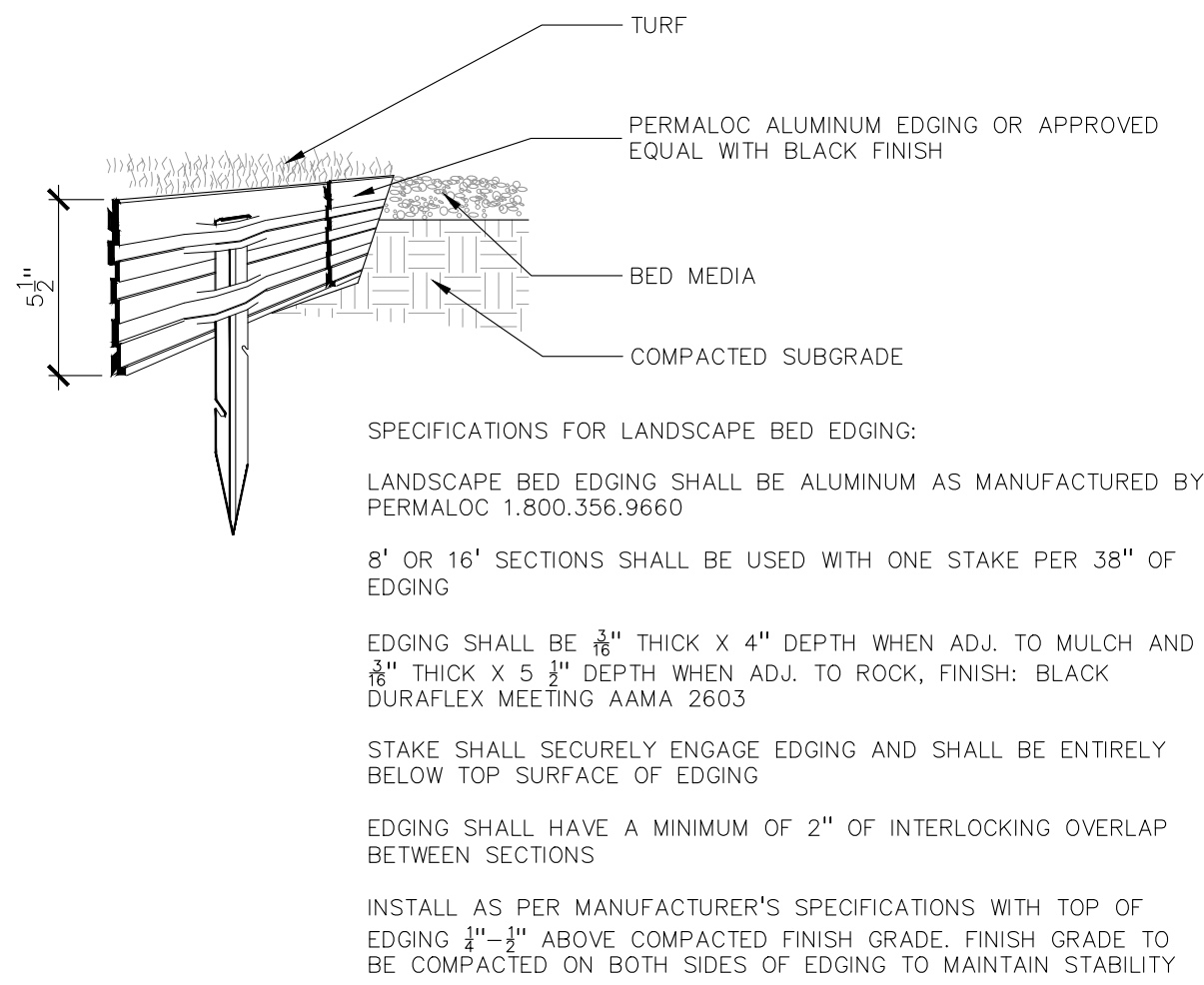
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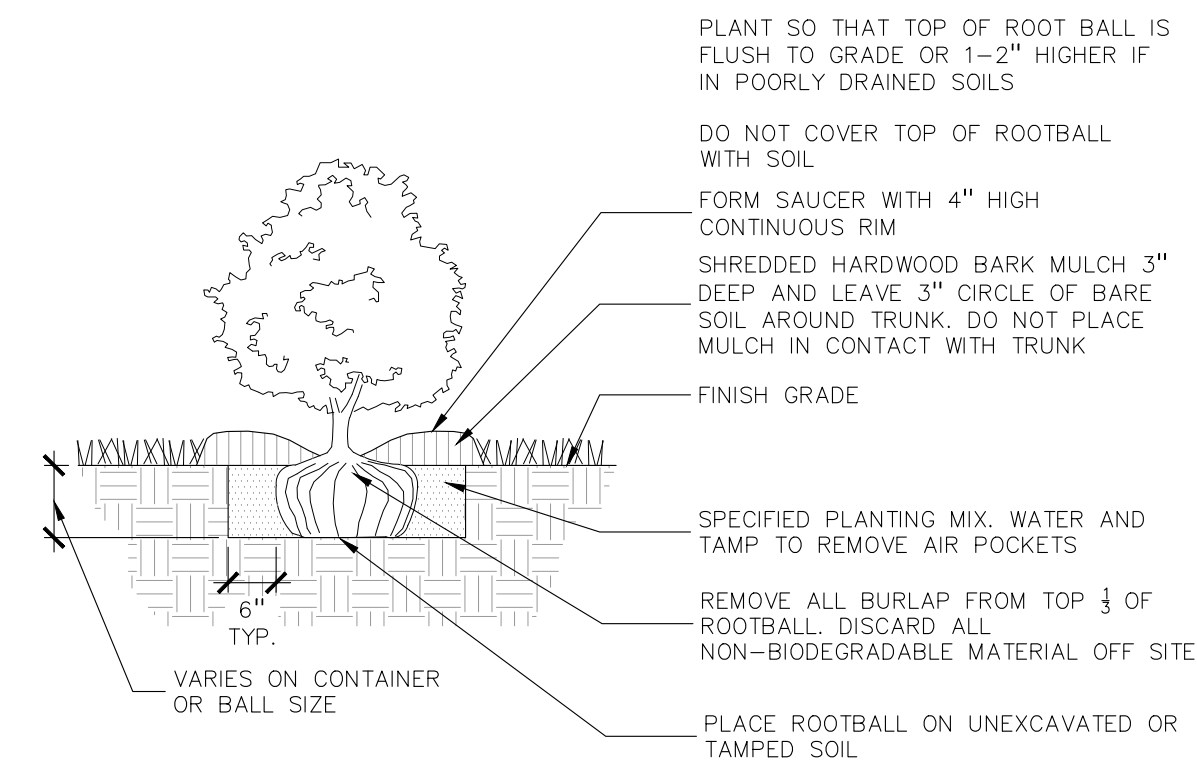
4 TRANSFORMER SCREENING DETAIL
SCALE: 1" = 3'-0"



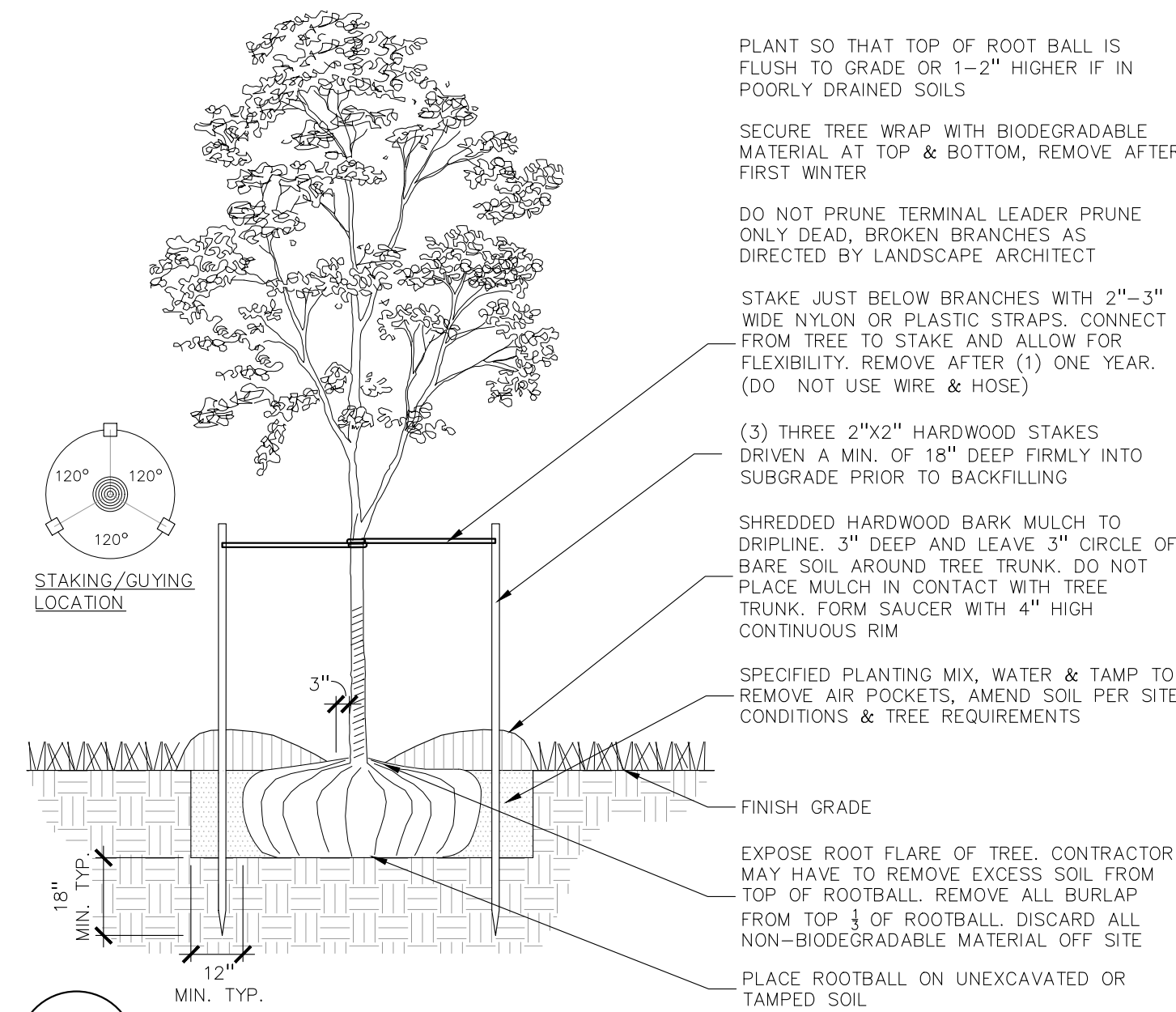
2 EVERGREEN TREE PLANTING DETAIL
SCALE: 1" = 3'-0"



5 ALUMINUM EDGE DETAIL
SCALE: 1/2" = 1'-0"



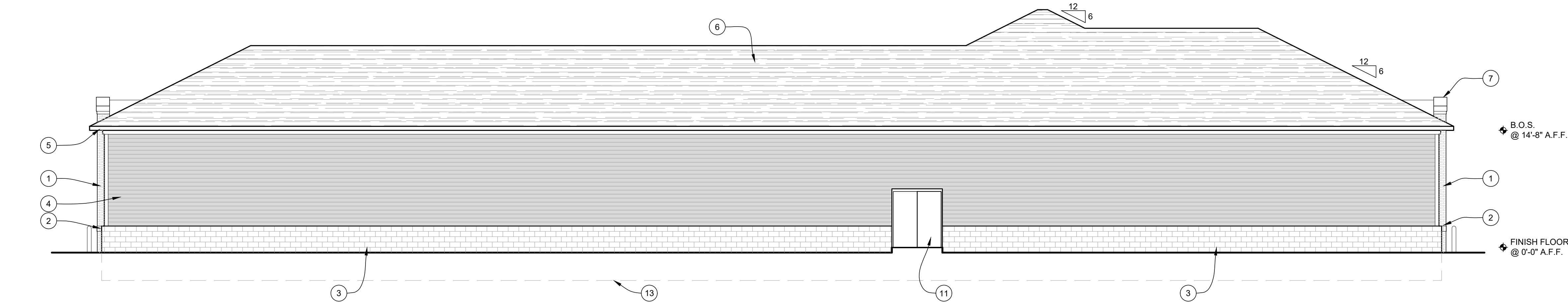
3 SHRUB PLANTING DETAIL
SCALE: 1" = 2'-0"



1 DECIDUOUS TREE PLANTING DETAIL
SCALE: 1" = 3'-0"

NOT FOR CONSTRUCTION

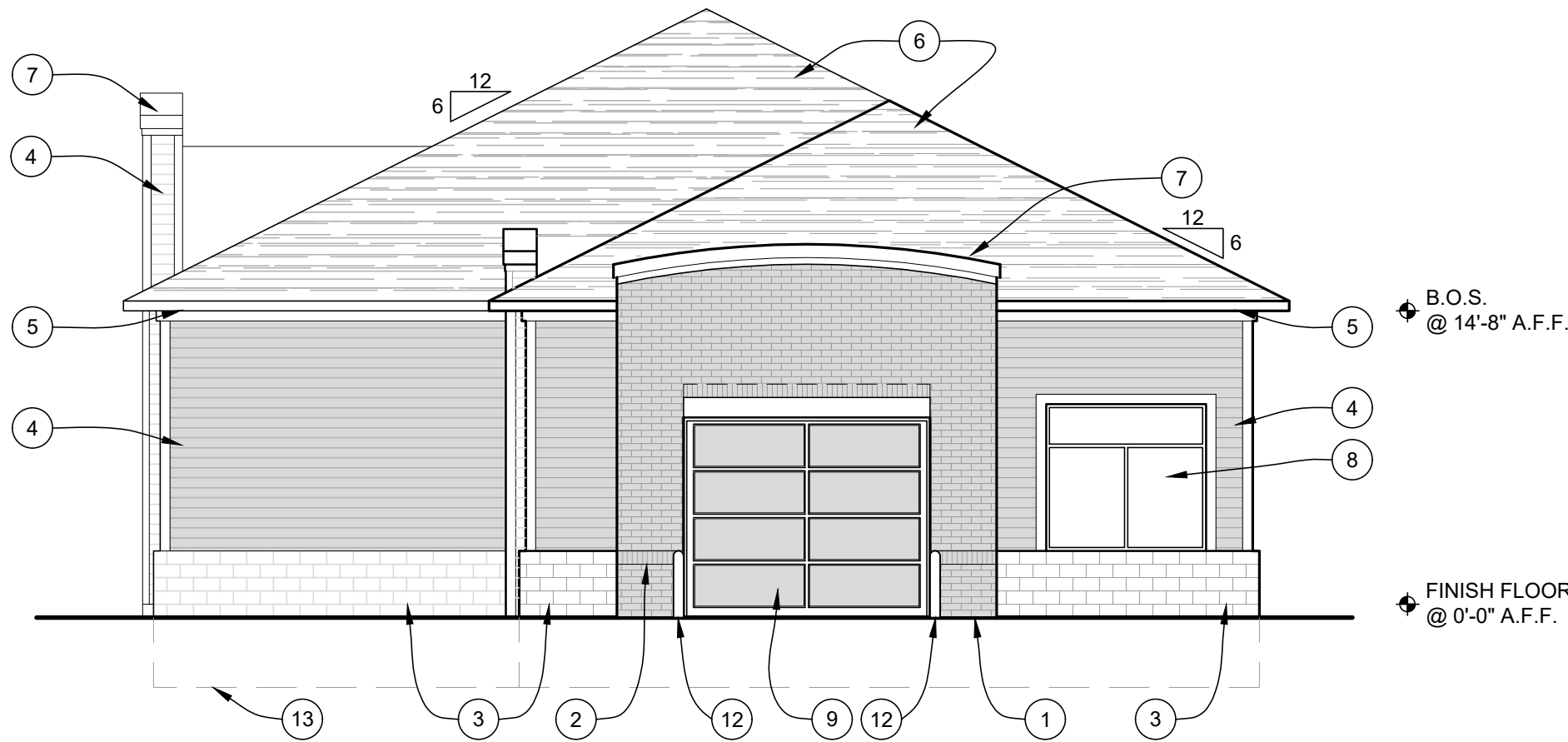
EXTERIOR MATERIAL SCHEDULE	
①	4" UTILITY BRICK
②	½" RECESSED BRICK SOLDIER COURSE
③	8" SPLIT-FACE CMU BLOCK
④	HORIZONTAL LAP SIDING W/ TRIM
⑤	1X6 FASCIA BOARD OVER 1X TRIM BOARD
⑥	ASPHALT SHINGLES
⑦	PRE-FINISHED METAL COPING
⑧	1" TINTED LOW 'E' INSUL. GLAZING IN CLEAR ANOD. ALUM. THERMAL BREAK FRAMES.
⑨	12"W x 10"H GLASS SECTIONAL INSULATED OVERHEAD GRADE DOOR W/ MOTOR OPERATED OPENER & INSULATED
⑩	CLEAR ANOD. ALUM. ENTRY DOOR W/ TEMPERED GLASS
⑪	HOLLOW METAL DOOR & FRAME
⑫	6" DIA. CONC. FILLED STEEL GUARD POSTS
⑬	CONCRETE TRENCH FOOTING BELOW
⑭	DASHED LINE DENOTED PROPOSED SIGNAGE LOCATION
⑮	1" TINTED INSUL. SPANDREAL IN CLEAR ANOD. ALUM. THERMAL BREAK FRAMES.



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

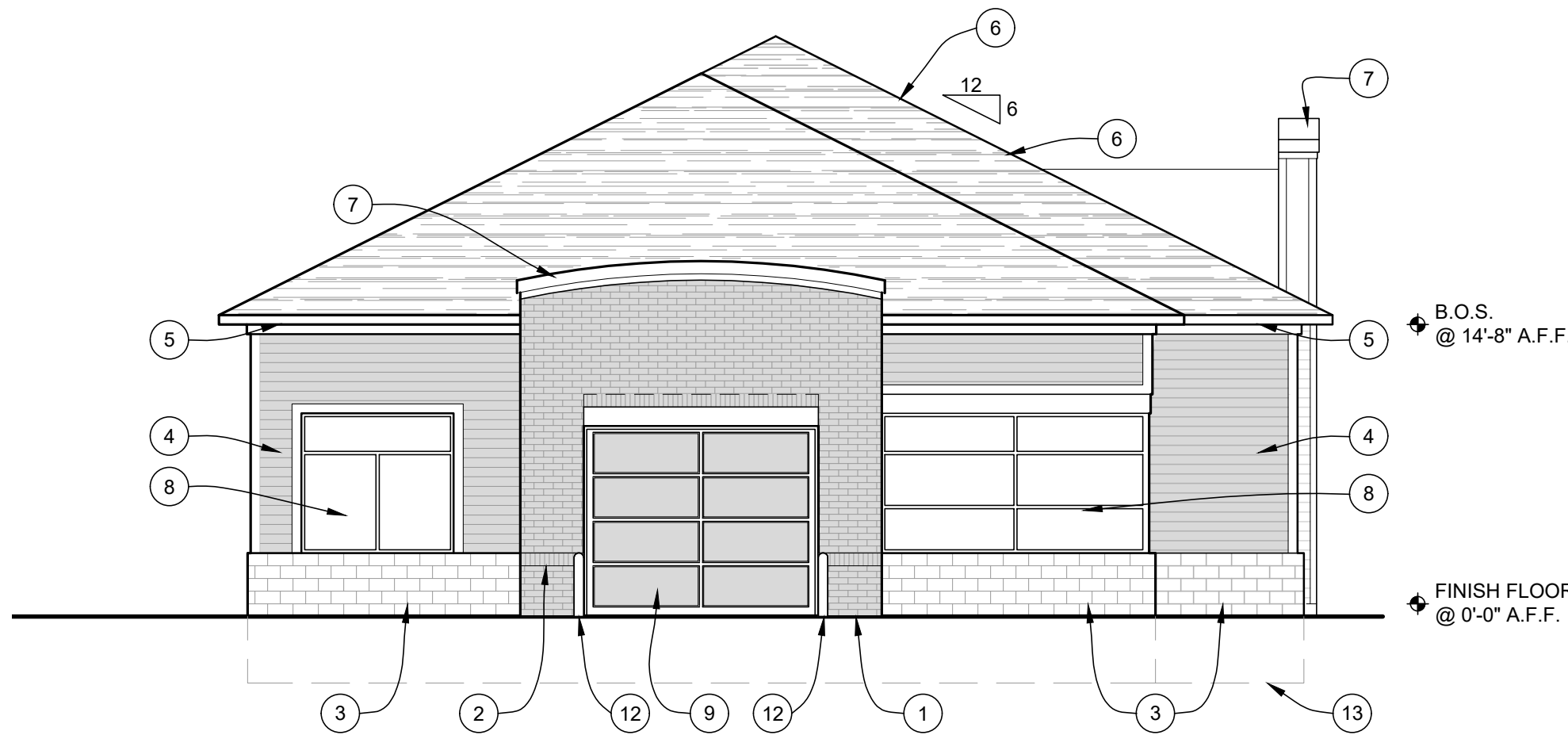
4



WEST ELEVATION

SCALE: 1/8" = 1'-0"

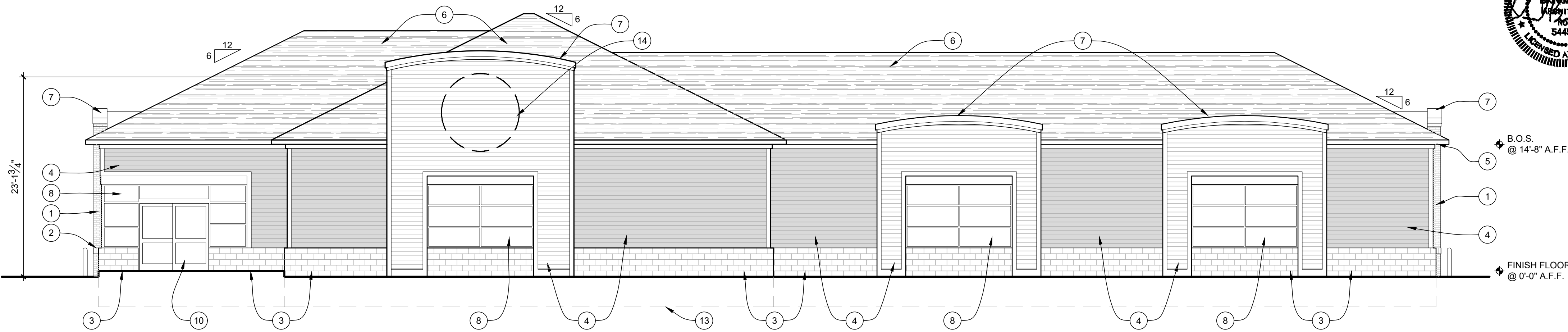
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EAST ELEVATION

SCALE: 1/8" = 1'-0"

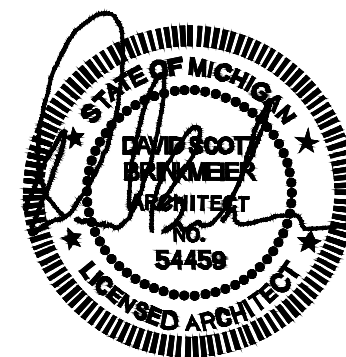
2



NORTH ELEVATION

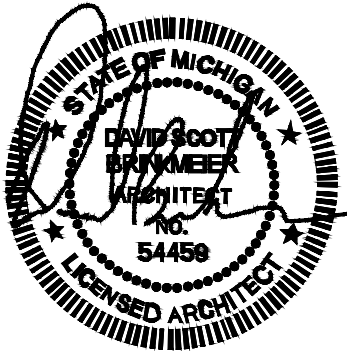
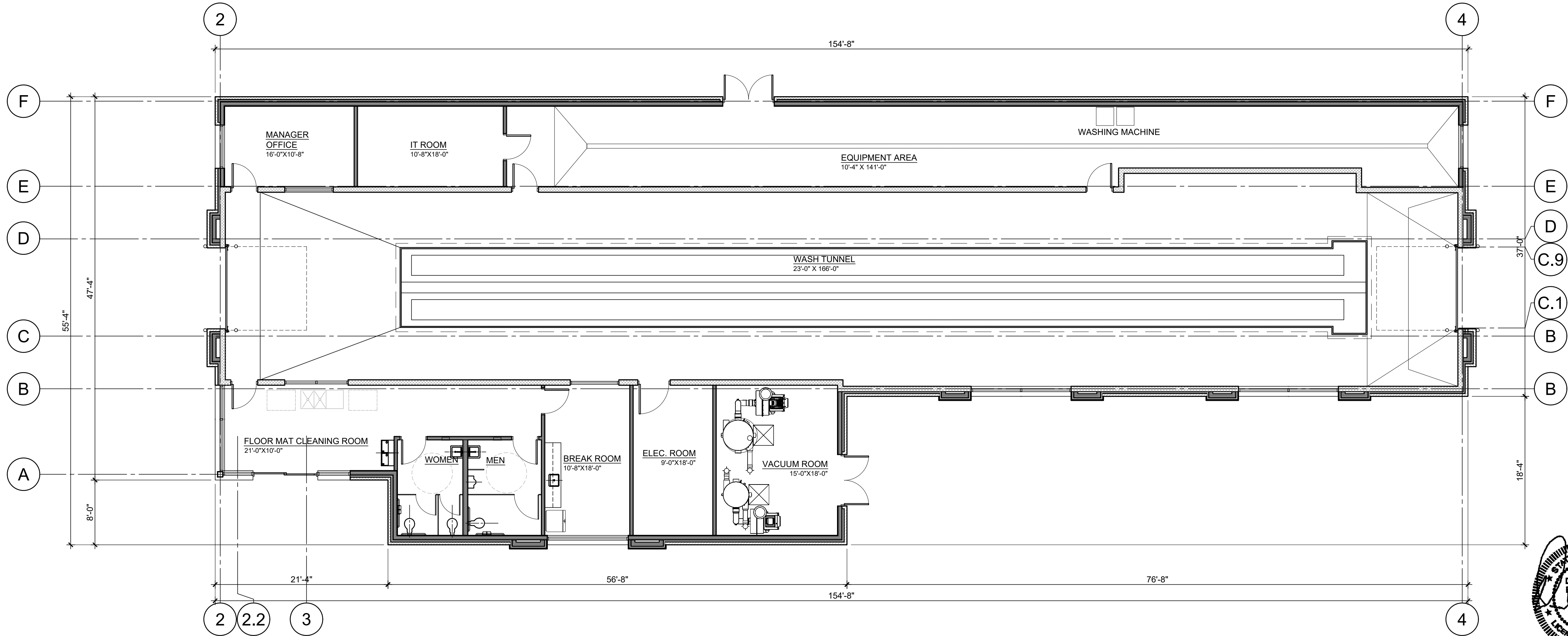
SCALE: 1/8" = 1'-0"

1



PROJECT NAME:
JAX CAR WASH
29022 STEPHENSON HWY
MADISON HEIGHTS, MI

ISSUED FOR:	CITY SUBMITTAL
DATE:	6-6-23
DRAWING DATE:	6-7-23
PROJECT NUMBER:	22109
SHEET NUMBER:	PE-3



PRELIMINARY OVERALL FLOOR PLAN

SCALE: 1/8" = 1'-0"

1

PROJECT NAME:
JAX CAR WASH
29022 STEPHENSON HWY
MADISON HEIGHTS, MI

DATE:	ISSUED FOR:
6-6-23	CITY SUBMITTAL

DRAWING DATE:
6-9-23

PROJECT NUMBER:
22109

SHEET NUMBER:
PFP-4

Overview (Stephenson Hwy)

6-9-23



Proposed Exterior Renderings for:



Building Better Communities

F.A.studio
design to inspire



NOTICE OF PUBLIC HEARING

Notice is hereby given that the City Council for the City of Madison Heights will hold a public hearing on **Monday, July 10th, 2023 at 7:30 p.m. in the City Council Chambers of the Municipal Building at 300 W. 13 Mile Road, Madison Heights, Michigan 48071** to consider the following special approval requests:

Case # PSP 23-03

The applicant, Goodwill Industries of Greater Detroit, requests Special Approval from City Council under Section 10.502[A] of the Madison Heights Zoning Ordinance, *Regulated Uses*, for the establishment of a used goods use. The subject property is located at 31010 John R Road, PIN 44-25-01-351-017, zoned B-2, Planned Business.

Case # PSP 23-04

The applicant, Moschouris Management and Development, requests Special Approval from City Council under Section 10.329(4) of the Madison Heights Zoning Ordinance, *“other uses of a similar and no more objectionable character.”* The applicant requests approval to construct an auto wash. The subject property is located at 29448 John R Road (currently operating as the Madison Heights Active Adult Center), PIN 44-25-12-304-010, zoned M-1, Light Industrial.

Case # PSP 23-05

The applicant, BMW Kar Wash, Inc. d/b/a Jax Kar Wash, requests Special Approval from City Council under Section 10.326(8) of the Madison Heights Zoning Ordinance for an auto wash. The subject property is located at 29022 Stephenson Highway, PINs 44-25-11-377-015; 44-25-11-377-016; and 44-25-11-377-019, zoned B-3, General Business.

The applications and any supporting documents can be viewed during regular business hours at the Community and Economic Development Department. In addition, the agenda item can be viewed online after 4:00 p.m. on the Friday prior to the meeting at www.madison-heights.org in the Agenda Center.

For further information, please contact the Community and Economic Development Department at (248) 583-0831.

Cheryl Rottmann, CMC
City Clerk
(248) 583-0826

Madison Park News: June 21st, 2023



AGENDA ITEM SUMMARY FORM

MEETING DATE: 7/10/23

PREPARED BY: Matt Lonnerstater, AICP

AGENDA ITEM CONTENT: Special Approval Request PSP 23-03 - Used Good Use/Regulated Use - 31010 John R Road

AGENDA ITEM SECTION: Public Hearings

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY:

The applicant, Goodwill Industries of Greater Detroit, requests Special Approval from City Council under Section 10.502[A] of the Madison Heights Zoning Ordinance, Regulated Uses, for the establishment of a used goods use. The subject property is located at 31010 John R Road, PIN 44-25-01-351-017, zoned B-2, Planned Business.

RECOMMENDATION:

Refer to staff report, including "Template Findings and Conditions" section.



MEMORANDUM

Date: June 30th, 2023
 To: City of Madison Heights City Council
 From: Matt Lonnerstater, AICP – City Planner
 Subject: Special Approval Request PSP 23-03– 31010 John R Rd. – ‘Goodwill’

Introduction

The applicant, Goodwill Industries of Greater Detroit, requests special use approval for a used good retail business. The subject site is located at 31010 John R Road (PIN 44-25-01-351-017) at the northeast corner of John R and 13 Mile Roads, and is zoned B-2, Planned Business. Per Section 10.502[A] of the Zoning Ordinance, used good uses are listed as a regulated use which requires special approval in the B-2 zoning district.

Project Overview and Regulated Uses

The applicant proposes to open a Goodwill retail store within the existing commercial building, most recently occupied by CVS Pharmacy. Per the application, the Goodwill store will sell new and gently used clothing, shoes, accessories, electronics, furniture, home goods, books and toys; the store will also serve as a donation center.

Because Goodwill sells used and secondhand products, the store is classified as a “used good use” per the Madison Heights Zoning Ordinance. Per **Section 10.502[A]** of the Zoning Ordinance, used good uses are considered a regulated use. In addition to used good uses, regulated uses include others that have, “*serious objectionable operational characteristics [...]*,” including, but not limited to, tattoo parlors, pawnbrokers, billiard halls, massage parlors, adult theaters, cabarets, and sexually-oriented businesses. Regulated uses are subject to strict siting standards, as follows:

- Shall not be located within 1,000 feet of another regulated use; and
- Shall only be permitted in the B-2 and B-3 zoning districts after Special Approval by City Council; and
- Shall not be located within 300 feet of a church, a school, a residential zoning district or residential use, a public park, or a childcare facility.

The subject site’s southern property line is located approximately 120 feet from the Dover Glen condominium complex located across 13 Mile Road. Therefore, the property is deficient by approximately 180 feet from the 300-foot residential separation requirement. The applicant will need to apply for a dimensional variance from the Zoning Board of Appeals for the deficient residential separation.

Site Improvements and Plan for Donations

The applicant does not propose major site improvements as part of this special approval request. However, in order to ensure efficient donation drop-offs, the applicant proposes to utilize the existing

building overhang (previously used as the pharmacy drive-through) as the donation drop-off area. Per the applicant, the drive-through window will be replaced with an overhead door, and donation attendants will take donations out of each vehicle to be taken inside and sorted. The existing canopy is shown in the image, below.

Existing Overhead Canopy and Proposed Donation Drop-Off



Requests for special approval are subject to the following criteria, as outlined in Section **10.201(4)**:

The use shall be designed and located so that it is compatible with the surrounding properties, neighborhood and vicinity. At a minimum, this shall include:

1. *Location of use(s) on site;*
2. *Height of all improvements and structures;*
3. *Adjacent conforming land uses;*
4. *Need for proposed use in specified areas of the city;*
5. *Conformance with future land use plans for the area as adopted by the planning commission;*
6. *Compatibility with the permitted principal uses allowed in the zoning district where the special approval use is requested.*

Additional criteria for reviewing special uses are contained at the end of this report.

Site Analysis

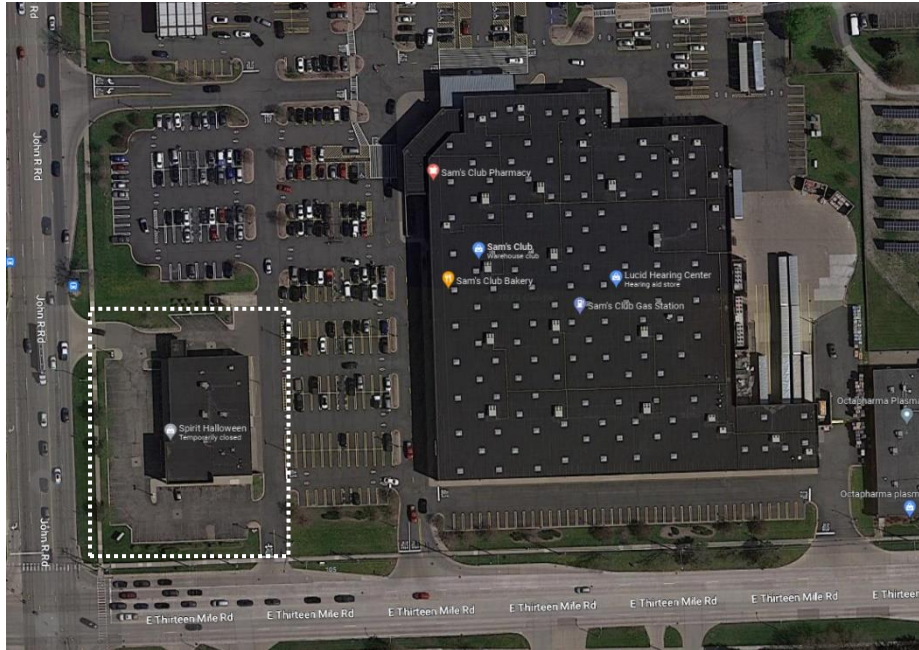
Existing Zoning and Land Use

Existing Land Uses and Zoning

	Existing Land Use	Existing Zoning
Site	Commercial Building (vacant)	B-2, Planned Business
North	Parking/Gas Station (Sam's Club)	B-2, Planned Business
South (across 13 Mile)	Retail and Multiple Family Residential	B-1, Local Business, and R-M, Multiple-Family Residential
East	Parking (Sam's Club)	B-2, Planned Business
West (across John R)	Retail	B-1, Local Business

Adjacent land uses consist primarily of commercial and retail development, with multi-family residential units across 13 Mile Road. The subject property is located immediately to the west of Sam’s Club, and shares curb cuts, drive aisles, and parking with the wholesale club. The site is zoned B-2, Planned Business, which is intended to, “cater to the needs of a larger consumer population than the B-1 zoning district, and is generally characterized by an integrated cluster of establishments served by a common parking area and generating large volumes of vehicular and pedestrian traffic.”

Existing Conditions at John R and 13 Mile Road (northeast corner)



Future Land Use, Master Plan and Transportation

Adjacent future land uses, as envisioned by the 2021 Madison Heights Master Plan, are denoted in the table below:

Future Land Use

	Future Land Use
Site	Commercial
North	Commercial
South (across 13 Mile)	Commercial and Multiple-Family
East	Commercial
West (across John R)	Office

The future land use designation of the subject site is *Commercial*. Per the Master Plan, the Commercial designation is intended to accommodate a “*broad range of goods and services*.” Adjacent future land use designations include commercial, office, and multiple-family residential.

City Council should consider the following Goals & Objectives of the 2021 Madison Heights Master Plan as part of this special approval request:

Community Character

- *Enhance the city's commercial corridors to support walkability and improve community identity.*
- *Promote the city's positive identity in the region.*
- *Protect established neighborhoods and business districts from the potentially negative impacts of development, including noise, traffic, waste, odor, and other nuisances through effective and thoughtful site and building design.*

Commercial & Industrial Development

- *Encourage entrepreneurship and growth for diverse businesses of all sizes to promote a balanced local economy.*
- *Promote incentives and flexible zoning mechanisms for commercial and industrial property owners and tenants to upgrade existing commercial and industrial sites.*
- *Promote the mix of commercial, office, and industrial uses in a way that fosters collaboration and business growth while creating a desirable environment for the local workforce.*
- *Promote walkability by ensuring sufficient local destinations for goods and services.*

Per the Master Plan, 13 Mile Road is designated as a Principal Arterial and John R Road is designated as a Minor Arterial. Principal Arterial roads are intended to carry long distance, through-travel movements and provide access to regional centers, while Minor Arterials are intended to serve as routes for through traffic while providing access to abutting properties and minor intersecting streets.

Use-Specific Standards and Site Plan Requirements

Section **10.502[A]** of the Zoning Ordinance contains specific standards for regulated uses, including used good uses. This section is included at the end of this report in its entirety; these requirements are summarized in the Project Overview section of this report, above. The applicant has acknowledged the need to request a residential separation variance from the Zoning Board of Appeals.

In addition to Zoning Ordinance standards, regulated uses are also subject to Article VII of the Business Regulations and Licenses Ordinance.

As a condition of special approval, if granted, staff recommends that portions of the site be brought into compliance with current Zoning Ordinance standards through the site plan review process. Site upgrades may include, but are not limited to:

- Providing a pedestrian connection to one or both of the adjacent public sidewalks along John R Road and/or W. 13 Mile Road (Section 10.506(H)).
- Providing additional greenbelt landscape screening along John R Road (Section 10.510(A)).
- Providing a bicycle rack (Section 10.505(F)).
- Providing enclosures for any exterior dumpsters or donation drop-off containers (Section 10.510(B)(8)).

Staff Analysis

The subject site's location at the intersection of two arterial roads, location within a commercial zoning district, and proximity to other commercial uses makes it conducive for retail uses. City Council has directed staff and the Planning Commission to review the current list of regulated uses to determine if changes should be incorporated into the ongoing Zoning Ordinance rewrite project, which may include removing used good uses from the list. However, City Council should determine, and include as a finding in any motion, whether or not the proposed used good use will create a deleterious effect upon the use and enjoyment of adjacent areas.

Template Findings and Conditions

Staff offers the following findings as a template for City Council's motion, either for approval or denial, on this case:

1. The applicant requests special use approval for a used good use, considered a regulated use, at 31010 John R Road.
2. The subject site is zoned B-2, Planned Business, which is intended to, *"cater to the needs of a larger consumer population than the B-1 zoning district, and is generally characterized by an integrated cluster of establishments served by a common parking area and generating large volumes of vehicular and pedestrian traffic."* The proposed used good use **(IS/IS NOT)** consistent with the intent of the B-2 zoning district and **(IS/IS NOT)** compatible with permitted principal uses permitted in the B-2 zoning district.
3. The subject is in the vicinity of commercial and retail uses with multi-family residential units across 13 Mile Road. The subject property is located immediately to the west of Sam's Club, and shares curb cuts, drive aisles, and parking with the wholesale club. The proposed used good use **(IS/IS NOT)** compatible with adjacent land uses.
4. The proposed use **(IS/IS NOT)** consistent with the site's 'Commercial' future land use designation and **(IS/IS NOT)** aligned with the goals and objectives stated in the 2021 Madison Heights Master Plan.
5. The applicant **(HAS/HAS NOT)** demonstrated a need for the proposed use in the specified area of the city.
6. The proposed use **(DOES/DOES NOT)** generally satisfy/satisfies the special use approval review standards and criteria listed in Section 10.201(4).
7. The proposed use **(DOES/DOES NOT)** satisfy/satisfies the use-specific requirements for regulated uses listed in Section 10.502[A]. The proposed use **(WILL/WILL NOT)** create a deleterious effect upon the use and enjoyment of adjacent areas. The applicant acknowledges the need to apply to the ZBA for a residential separation variance from the specific-use standards of Section 10.502[A].
8. The Site Plan Review Committee (SPRC) reviewed the proposed special approval request at their June 7th, 2023 meeting and did not cite specific concerns regarding the proposed special use. Separate SRPC approval will be required for the final site plan, if placed as a condition of special approval.

If City Council moves to approve the requested special land use, staff recommends including the following as conditions of approval:

1. A site plan shall be submitted for Site Plan Review Committee (SPRC) review and approval which brings the site into greater conformity with Zoning Ordinance standards. The site plan shall depict, at minimum:
 - a. Modifications to the drive-through canopy, including new overhead doors and queuing information; and
 - b. Sidewalk connection(s) to one or both of the adjacent public sidewalks along John R Road and/or W. 13 Mile Road, in compliance with Section 10.506(H); and
 - c. Enclosures for any exterior dumpsters or permanent donation drop-off containers, in compliance with Section 10.510(B)(8); and
 - d. Additional right-of-way greenbelt landscaping, in compliance with Section 10.510(A).
2. The applicant shall apply for and obtain from the Zoning Board of Appeals (ZBA) a residential separation variance from the regulated use standards of Section 10.502[A].
3. Rollaway donation bins and donation items shall not be stored outside after business hours. All rollaway bins and items shall be stored and sorted inside the building.
4. Permanent donation drop-off containers, if proposed, shall be enclosed and screened in accordance with Section 10.510(B)(8) and shall be denoted on the submitted site plan.
5. The applicant shall obtain a business license for a regulated use in accordance with Article VII of the Business Regulations and Licenses Ordinance.

Next Step

After the public hearing and discussion, City Council may take action on the requested special use. **Any motion shall include concise findings based upon the special approval review standards and criteria, Section 10.201(4).**

Per Section 10.201(3), City Council may postpone action on a special approval request to allow verification, compilation, or submission of additional or supplemental information or to address other concerns or issues.

Pertinent Zoning Ordinance Sections

Section 10.201 – *Special Approval Use Review Procedures and Requirements*

- (4) *Review standards and criteria.* The city council shall consider the following standards and criteria in their review of all special approval use requests:
- (a) Site plans submitted for special approval uses shall be prepared in conformance with and contain all information as outlined in Section 10.514. Site Plan Review.
 - (b) All design standards or criteria imposed on specific special approval uses elsewhere in this Ordinance shall be met.
 - (c) The use shall be designed and located so that it is compatible with the surrounding properties, neighborhood and vicinity. At a minimum, this shall include:
 - 1. Location of use(s) on site;
 - 2. Height of all improvements and structures;
 - 3. Adjacent conforming land uses;
 - 4. Need for proposed use in specified areas of the city;
 - 5. Conformance with future land use plans for the area as adopted by the planning commission; and
 - 6. Compatibility with the permitted principal uses allowed in the zoning district where the special approval use is requested.
 - (d) Ingress/egress to the use shall be controlled to assure maximum vehicular and pedestrian safety, convenience and minimum traffic impact on adjacent roads, drives and uses including, but not limited to:
 - 1. Reduction in the number of ingress/egress points through elimination, minimization and/or consolidation of drives and/or curb cuts;
 - 2. Proximity and relation to intersections, specifically with regard to distance from drive(s) to intersection(s);
 - 3. Reduction/elimination of pedestrian/vehicular traffic conflicts;
 - 4. Adequacy of sight distances;
 - 5. Location and access of off-street parking;
 - 6. Location and/or potential use of service drives to access multiple parcels, reducing the number of access points necessary to serve the parcels.
 - (e) Screening shall be provided along all property lines, where council determines such screening is necessary to minimize impact of the use on adjacent properties or uses.
 - (f) The use shall be properly served by utilities.
 - (g) The use shall not have an adverse effect on the environment beyond the normal affects of permitted principal uses in the same zoning district and shall not result in an impairment, pollution, and/or destruction of the air, water, and natural resources.
 - (h) The use shall be specifically scrutinized for conformance with the performance standards outlined in section 10.509 of this Ordinance.
 - (i) The proposed use shall be designed as to location, size, intensity, site layout, and periods of operation to eliminate any possible nuisances which might be noxious to the occupants of any other nearby properties. The use shall not involve uses, activities, processes, materials, equipment and conditions of

operation that will be detrimental to any persons, property, or the general welfare by reason of excessive smoke, fumes, glare, noise, vibration, odors, and adverse environmental impacts.

- (j) The proposed use does not impose an unreasonable burden upon public services and utilities in relation to the burden imposed by permitted principal uses in the same zoning district.
- (k) The city council may impose conditions in granting special approval that it deems necessary to fulfill the spirit and purpose of this Ordinance. The conditions may include those necessary to ensure that public services and facilities affected by a proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity, to protect the natural environment and conserve natural resources and energy, to ensure compatibility with adjacent uses of land, and to promote the use of land in a socially and economically desirable manner. Conditions imposed shall:
 - 1. Be designed to protect natural resources, the health, safety and welfare, as well as the social and economic well-being of those who will use the land use or activity under consideration, residents and landowners immediately adjacent to the proposed land use or activity, and the community as a whole.
 - 2. Be related to the valid exercise of the police power and purposes that are affected by the proposed use or activity.
 - 3. Be necessary to meet the intent and purpose of the zoning regulations; be related to the standards established in this Ordinance for the land use or activity under consideration (if applicable); and be necessary to ensure compliance with those standards.
 - 4. Provide adequate safeguards as deemed necessary for the protection of the general welfare and individual property rights, and for ensuring that the intent and objectives of this Ordinance will be observed. The breach of any condition, safeguard or requirement, and the failure to correct such breach within 30 days after an order to correct is issued by the city shall be reason for immediate revocation of the special approval. Conditions and requirements stated as a part of special use permit authorizations shall be continuing obligations of the holders of such permits and are binding upon their heirs and assigns and upon any persons taking title to the affected property while such special use permit is in effect.
- (l) The discontinuance of a special use after a specified time may be a condition to the issuance of the permit. Renewal of a special use permit may be granted after a review and determination by the city council that continuing private need and public benefit will be served by such renewal. Renewal applications shall be in accord with standards and requirements in effect at the time that the renewal is requested.

Sec. 10.502[A] – Regulated Uses

1. *Purpose of Ordinance.* In the development and execution of the amendment to this Ordinance, it is recognized that certain uses as a result of their nature have serious objectionable operational characteristics, particularly when several of them are concentrated under certain circumstances having a deleterious effect upon the use and enjoyment of adjacent areas. Special regulation of these uses is necessary to assure that these adverse effects will not contribute to the blighting or downgrading of the surrounding neighborhood. In connection with the adoption of this Ordinance, the planning commission and city council has received information from the community development department, the city assessor, and the police department, including information associating blight and increased crime with sexually-oriented businesses, including studies done in a number of cities. In connection with the adoption of this Ordinance, council has received further information that certain types of adult businesses, including tattoo parlors, pawnbrokers, and used goods businesses have, through studies, been found to have deleterious effect upon the use and enjoyment of adjacent areas, including information associating blight.

The regulations in this Ordinance are designed for locating these uses in areas where the adverse impact of their operation may be minimized by the separation of such uses from one another and from places of public congregation.

2. *Definitions.* As used in this section:

(a) *Adult arcade* means any place to which the public is permitted or invited wherein coin-operated or slug-operated or electronically, electrically, internet, or mechanically controlled still or motion picture machines, projectors, or other image-producing devices are maintained to show images to five or fewer persons per machine at any one time, and where the images so displayed are distinguished or characterized by the depicting or describing of "sexually explicit activities" or "specified anatomical areas."

(b) *Adult book store or adult video store* means a commercial establishment which as one of its principal business purposes (meaning either a substantial or significant portion of its stock in trade) offers for sale or rental, or for any form of consideration, any one or more of the following:

- (1) Books, computer diskettes, tapes or hard drives, magazines, periodicals or other printed matter or photographs, films, motion picture, video cassettes or video reproductions, slides or other visual representations which depict or describe "specified sexual activities" or "specified anatomical areas", or
- (2) Instruments, devices, or paraphernalia, which are designed for use in connection with "specified sexual activities."

Commercial establishment may have other principal business purposes which do not involve the offering for sale or rental of material depicting or describing "specified sexual activities" or "specific anatomical areas" and still be categorized as "adult book store" or "adult video store". Such other business purposes will not serve to exempt such commercial establishment from being categorized as an adult book store or adult video store as long as one of its principal business purposes is the offering for sale or rental for consideration, materials depicting or describing "specified sexual activities" or "specified anatomical areas". For purposes of this section, video cassettes or films which are x-rated or unrelated but of substantially equivalent content as x-rated films, shall be considered to depict or describe "specified sexual activities" or "specified anatomical areas" notwithstanding any more restrictive definition set forth herein.

(c) *Adult cabaret* means a nightclub, bar, restaurant or similar commercial establishment which regularly features any of the following:

- (1) Persons who appear in a state of nudity, or
- (2) Live performances characterized by the exposure of "specified anatomical areas" or by "specified sexual activities", or
- (3) Films, motion pictures, video cassettes, slides, computer presentations, or other moving-image reproductions characterized by the depiction or description of "specified sexual activities" or specified anatomical areas."

(d) *Adult motel* means a hotel, motel, or similar commercial establishment which:

- (1) Offer accommodations to the public for any form of consideration; provide patrons with closed-circuit television transmissions, films, motion pictures, video cassettes, slides, or other photographic reproductions which are characterized by the depiction or description of "sexually explicit activities" or "specified anatomical areas"; and has a sign visible from the public right-of-way which advertises the availability of this adult type of photographic reproductions; or
- (2) Permit patrons to be filmed or photographed performing "sexually explicit activities" or displaying "specified anatomical areas" for electronic transmission over the World Wide Web; or
- (3) Advertises in any way sleeping room(s) for rent for a period of time that is less than ten hours; or

- (4) Allow a tenant or occupant of a sleeping room to sublet the room for a period of time that is less than ten hours.
- (e) *Adult motion picture theater* means a commercial establishment where, for any form of consideration, films, motion pictures, video cassettes, slides, or similar photographic reproductions are regularly shown which are characterized by the depiction or description of "sexually explicit activities" or "specified anatomical areas."
- (f) *Adult retail store* means an establishment which sells or offers for sale any types of items, materials, gimmicks, or paraphernalia depicting, displaying, advertising or packaged, as "sexually explicit activities" or "specified anatomical areas."
- (g) *Adult theater* means a theater, concert hall, auditorium or similar commercial establishment which regularly features persons who appear in a state of nudity or live performances which are characterized by the exposure of "specified sexual activities" or "specified anatomical areas."
- (h) *Escort* means a person who, for consideration, agrees or offers to act as a companion, guide, or date for another person, or who agrees to privately model lingerie or to privately perform a striptease for another person.
- (i) *Escort agency* means a person or business association who furnishes, offers to furnish or advertises to furnish escorts as one of its primary business purposes for a fee, tip or other consideration.
- (j) *Establishment* means and includes any of the following:
 - (1) The opening or commencement of any sexually oriented business as a new business;
 - (2) The conversion of an existing business, whether or not a sexually oriented business, to any sexually oriented business;
 - (3) The addition of any sexually oriented business to any other existing sexually oriented business; or
 - (4) The relocation of any sexually oriented business.
- (k) *Massage parlor, sauna and/or spa* means a massage parlor as defined in Chapter 7 of the Madison Heights Code of Ordinances.
- (l) *Nude model studio* means any place where a person appears in the state of nudity or displays "specified anatomical areas" to be observed, sketched, drawn, painted, sculpted, photographed or similarly depicted by any other person who pays money, or any other form or consideration.
- (m) *Nudity or state of nudity* means the exposure of the human male or female genitals, pubic area, or buttocks with less than a fully-opaque covering, of any part of the nipple or areola, or the showing of the covered male genitals in a discernibly turgid state.
- (n) *Pawnbroker* means pawnbroker businesses as defined in Chapter 7 of the Madison Heights Code of Ordinances.
- (o) *Person* means any individual, proprietorship, partnership, corporation, association or any other legal entity.
- (p) *Pool or billiard hall* means a place providing pool or billiard tables for use on the premises to the public as defined in Chapter 4 of the Madison Heights Code of Ordinances.
- (q) *Semi-nude* means a state of dress in which clothing covers no more than the genitals, pubic region and areola of the female breast as well as portions of the body covered by supporting straps or devices.
- (r) *Sexual encounter center* means a business or commercial enterprise that, as one of its principal business purposes, offers for any form of consideration:
 - (1) Physical contact in the form of wrestling or tumbling between persons of the same or opposite sex or any activities between male and female persons and/or persons of the same sex when one or more of the persons is in a state of nudity or semi-nude or permits patrons to display or to be

filmed or photographed performing "sexually explicit activities" or displaying "specified anatomical areas" for electronic transmission over the World Wide Web or any other media.

- (s) *Specified sexual activities* means and includes any of the following:
- (1) The fondling or other erotic touching of human genitals, pubic region, buttocks, anus, or female breasts;
 - (2) Sex acts, normal or perverted, actual or simulated, including intercourse, oral copulation, or sodomy;
 - (3) Masturbation, actual or simulated; or
 - (4) Excretory functions as part of or in connection with any of the activities set forth in i. through iii. above.
 - (5) Any activity intended to arouse, appeal to or gratify a person's lust, passions or sexual desires.
- (t) *Regulated uses* means any of the following:
- (1) "Adult arcades";
 - (2) "Adult book stores and adult video stores";
 - (3) "Adult cabarets";
 - (4) "Adult motels";
 - (5) "Adult motion picture theaters";
 - (6) "Adult retail store";
 - (7) "Adult theaters";
 - (8) "Escort agencies";
 - (9) "Massage parlors, saunas or spas";
 - (10) "Nude model studios";
 - (11) "Pawnbrokers";
 - (12) "Pool and/or billiard halls";
 - (13) "Sexual encounter centers".
 - (14) "Tattoo parlors or uses";
 - (15) "Used good uses";
 - (16) "Any establishment that permits patrons to be filmed or photographed performing "sexually explicit activities" or displaying "specific anatomical areas" for transmission over the World Wide Web;
 - (17) Other sexually oriented business described herein or as determined by city council.
- (u) *Specified anatomical areas* means and includes any of the following:
- (1) Less than completely and opaquely covered human genitals, pubic region or pubic hair; buttock or female breast or breasts or any portion thereof that is situated below a point immediately above the top of the areola; or any combination of the foregoing; or
 - (2) Human genitals in a state of sexual arousal, even if opaquely and completely covered.
- (v) *Tattoo parlors or uses* means a business or commercial establishment offering for sale or otherwise tattoos. A tattoo is defined as a permanent mark or design made on the skin by puncture, pricking and/or ingraining with pigment or by raising scars.

- (w) *Used good uses* means businesses engaged with a substantial portion of their business comprising the sale of used goods, including, but not limited to, secondhand and junk dealers, as defined pursuant to Public Act 1970, No. 350, as amended, MCL 445.401 et seq., and persons engaged in substantially similar uses. Not included shall be the occasional resale of goods which is not a principal business purpose.

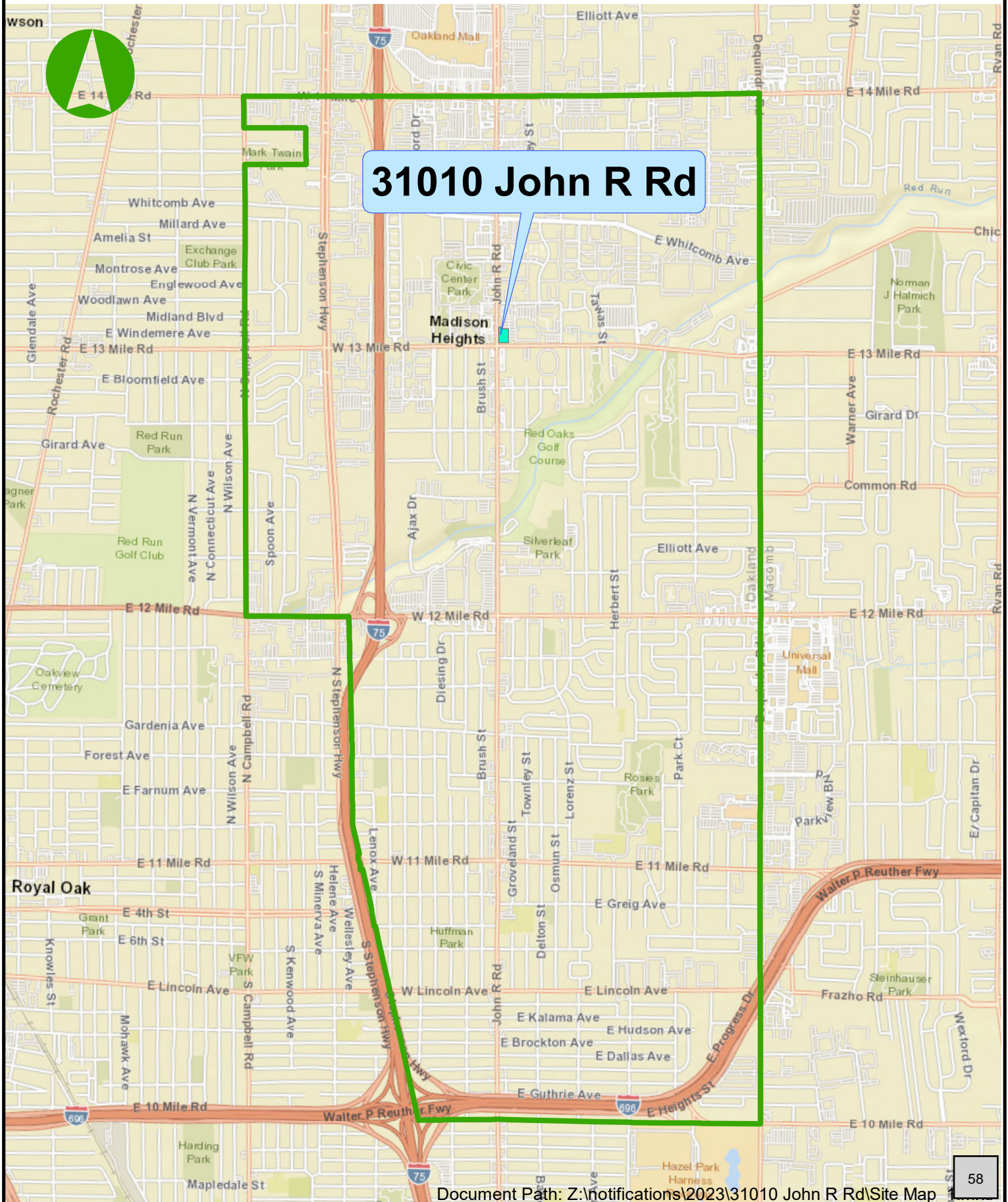
3. *Location of regulated uses:*

- (a) The establishment of a regulated use as defined under this section within 1,000 feet of another regulated use, measured from property line to property line, is prohibited.
- (b) Regulated uses shall be permitted in B-2 and B-3 Districts after special approval by city council, site plan review, if applicable, and obtaining a business license under Chapter 7, if and only if, it is determined that the regulated use meets all other criteria of B-2 and B-3 Districts under the Code of Ordinances and will not be located within 300 feet of the following:
 - (1) A church;
 - (2) A public or private elementary or secondary school;
 - (3) The boundary of a residential zoning district;
 - (4) A public park;
 - (5) The property line of a lot in residential use;
 - (6) A child care facility.

4. *Miscellaneous requirements.*

- (a) No person shall reside in, or permit any person to reside in, the premises of a regulated use.
- (b) All regulated uses shall be subject to all the same requirements of the Zoning Ordinance for the designated zoning district.

(Ord. No. 504, § 1, 6-25-73; Ord. No. 1064, §§ 4, 5, 10-12-09)

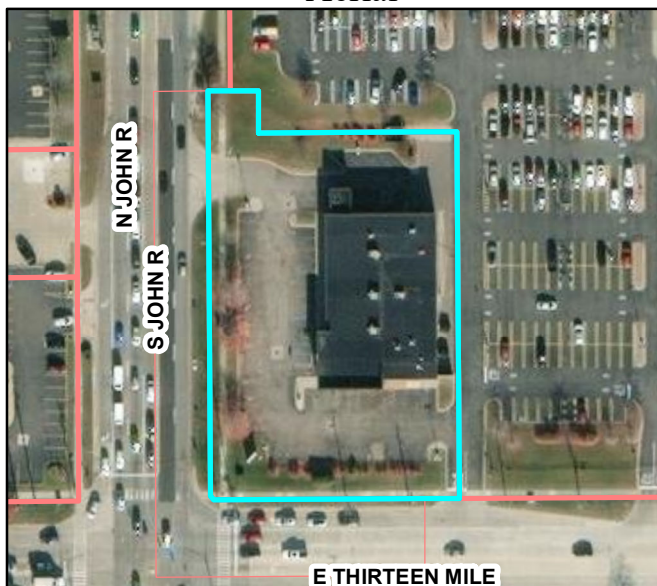


Site Address: 31010 John R Road

[Click for maps](#)

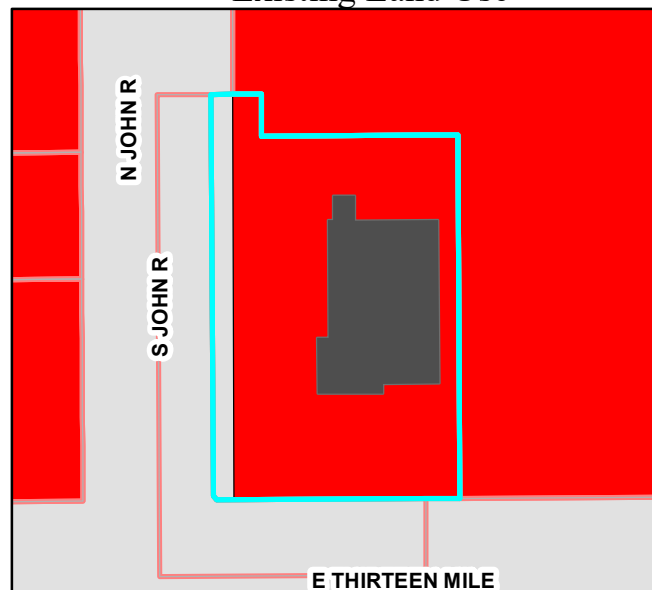


Aerial



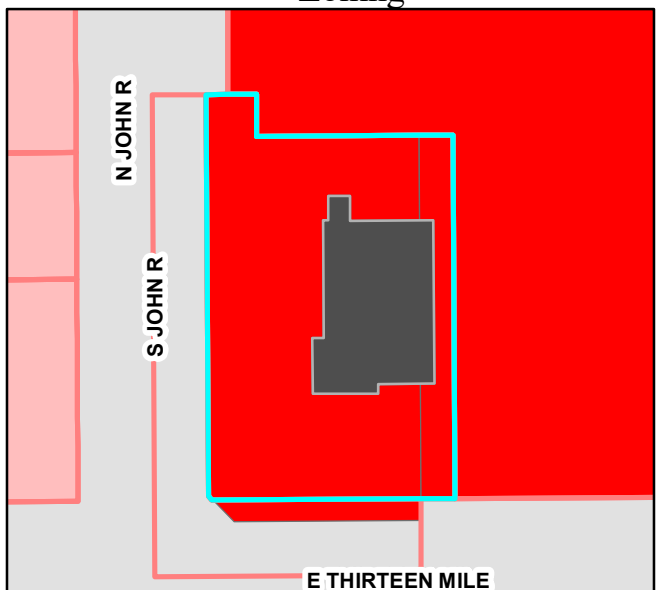
- 31010 John R Rd
- Parcels

Existing Land Use



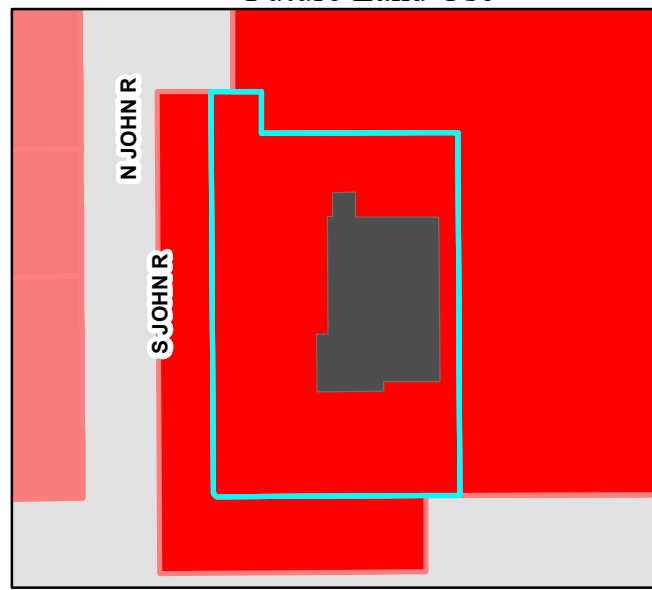
- 31010 John R Rd
- Commercial
- Buildings
- Parcels

Zoning



- 31010 John R Rd
- B-2 Planned Business
- Buildings
- B-1 Local Business
- Parcels

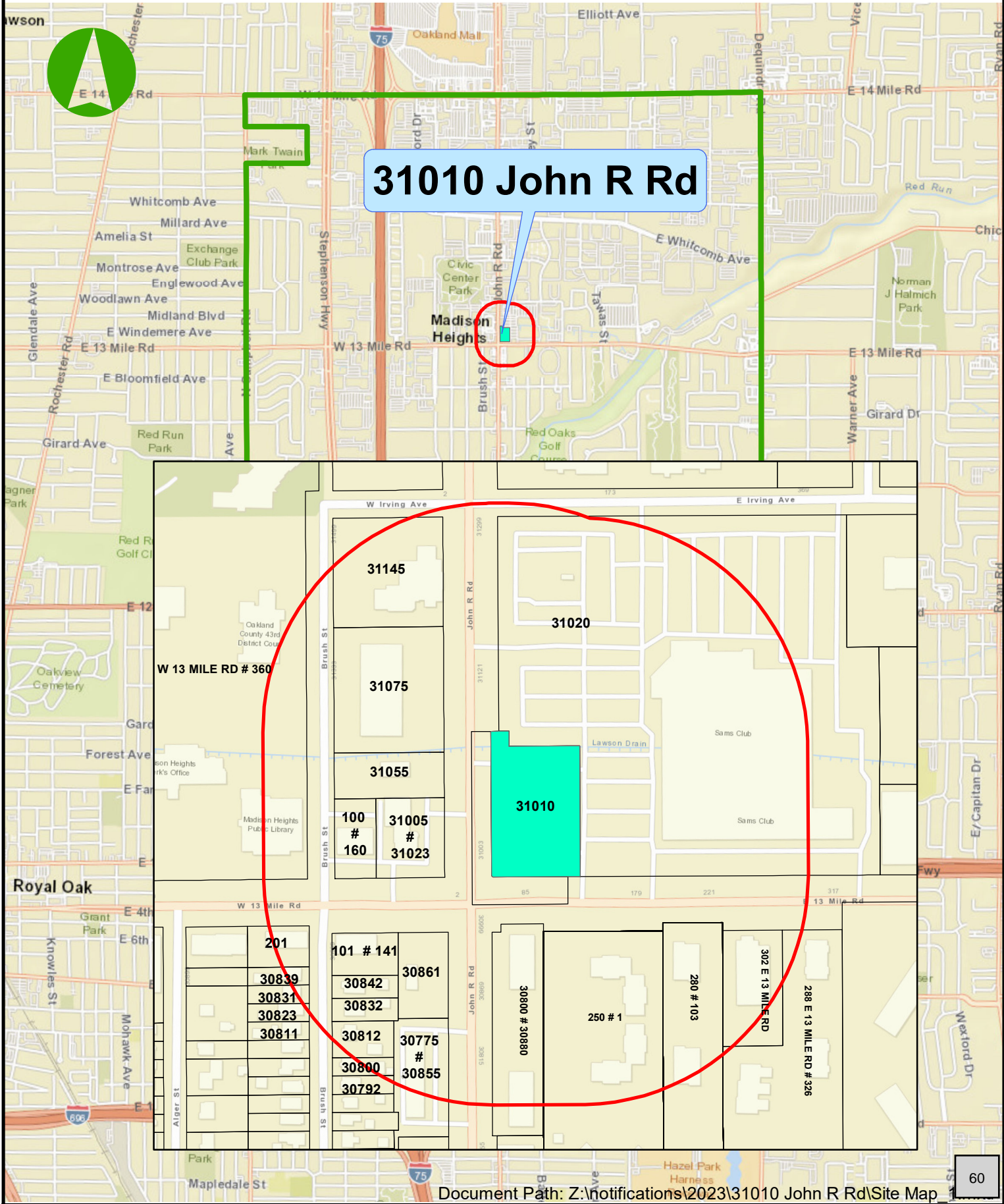
Future Land Use



- 31010 John R Rd
- Commercial
- Office
- Buildings

SA CASE: 23 - 03
BUFFER: 500 FT

Item 5.





**CITY OF MADISON HEIGHTS
COMMUNITY DEVELOPMENT DEPARTMENT
PETITION FOR USE PERMITTED BY
SPECIAL APPROVAL**

Item 5.

FOR OFFICE USE ONLY

Request _____ No: _____
Date _____ Filed: _____
Approved _____ by _____ CDD: _____
Approved for Hearing: _____

I (we) the under signed, do hereby apply and petition the City of Madison Heights for a Special Approval Use Permit and provide the following information.

(Application must be typed)

Building Address: 31010 John R Road

Tax ID No.: 44 - 25 - 01-351-017

APPLICANT INFORMATION

Name: Goodwill Industries of Greater Detroit

Phone No.: 313-557-8773

Fax No.: 313-557-8577

Mailing Address: 3111 Grand River Ave

City, State, Zip: Detroit, MI 48124

(Notices will be mailed to this address)

Driver's License No.: N/A

Date of Birth: N/A

Interest in Property: Proposed Tenant

BUILDING & BUSINESS INFORMATION

Zoning District: B-2 Use Requested Pursuant to Section 10.502[A] of the Zoning Ordinance

Explain Requested Use in Detail: Goodwill retail store selling new and gently used clothing, shoes, accessories, electronics, furniture,

home goods, books and toys. The store will also serve as a donation center, where local residents will be provided with an accessible

convenient, in-person experience without the visual disruption of donation bins. Goodwill's mission is "To build pathways to independence through

personal development and the power of work." We will help those who are employment challenged train, prepare for and find work.

The above referenced parcel is known as: (Lots(s) Acreage Parcel (s)) See Attached of See Attached

Subdivision (if platted lot(s)) and is located on the N S W (Circle One) side of John R Street/Road between 13 Mile Street/Road and E Irving Ave Street / Road.

Hours of Operation: 10am-8pm Mon-Sat, 12pm-6pm Sun

Property Frontage: 316.50' Width/Depth: 191.44' No. of Parking Spaces: 62 Private Lot N/A Shared Lot N/A

No. of Floors: 2 Max. No. of Employees: 25 Male N/A Female N/A No. on Largest Single Shift: 12

No. of Seats for Restaurant or Assembly Uses: N/A Capacity of Waiting Area: N/A

Building: New _____ or Existing X Will Additions or Alterations to the Building be Required? Door at drive-through

Explain: Install automatic door at drive-through to accept donations

Describe Any Other Site Improvements to be Made: Repair and re-stripe parking lot, paint bollards, repair damaged areas of sidewalk

Building Owner Name: NADG NNN CPHARM MH-MI LP c/o Rob Shelton Phone No.: 469-906-7300 Fax No.: N/A

Mailing Address: 3131 McKinney Avenue, Ste. L10 City: Dallas, TX Zip: 75204

(Notices will be mailed to this address)

Note: All blanks and boxes above must be completed. Use N/A where appropriate.

CONTINUED ON REVERSE SIDE



**PETITION FOR USE PERMITTED BY
SPECIAL APPROVAL (Continued)**

Include one (1) copies of a site plan, no larger than 11 x 17 inches, which meets the requirements of Section 10.514 of the Zoning Ordinance of Madison Heights and the required seven hundred and fifty dollar fee (\$750.00) plus a site plan application.

This petition / application must be signed by both the Owner in Fee of the property and the Applicant prior to submittal. Applicant(s) and property owner(s) hereby consent to city staff, board and commission members, and contractors to access the property for purposes of evaluating the site for the requested action(s).

FOR THE OWNER:

Signature [Signature]
Printed Stephen Preston Name
Date May 31, 2023

FOR THE APPLICANT IF NOT THE OWNER:

Signature [Signature]
Printed Jeffrey Ukrainec Name
Date 3/2/23

NOTARY:

On this 31st day of May

Before me personally appeared

Stephen Preston to me known to be the
person who executed the forgoing instrument, and

acknowledged that he executed the same as his free act
and deed.

Notary's T. Deanda
Signature

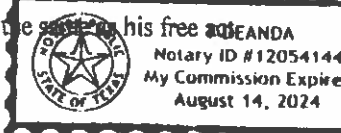
Notary's T. Deanda
Printed Name

Notary public, State of Texas

County of Dallas

My commission expires August 14, 2024

Acting in the County of Dallas

**NOTARY:**

On this 2nd day of March

Before me personally appeared

Jeffrey Ukrainec to me known to be the
person who executed the forgoing instrument, and

acknowledged that he executed the same as his free act
and deed.

Notary's Angela V. McKeith
Signature

Notary's Angela V. McKeith
Printed Name

Notary public, State of Michigan,

County of Wayne

My commission expires 2/12/2027

Acting in the County of Wayne
ANGELA V. MCKEITH
NOTARY PUBLIC, STATE OF MI
COUNTY OF WAYNE
MY COMMISSION EXPIRES 2/12/2027
ACTING IN COUNTY OF Wayne

OFFICE USE ONLY

\$750.00 Fee Paid _____ Receipt Number _____ By _____ Date: _____

One Site Plan Attached no larger than 11 x 17 inches ☐ Yes ☐ No

Site Plan Application: _____ Date: _____

Copies to C.D.D. _____

Notices Mailed to Properties Within 500 Feet _____

Council Action _____

Meeting Date _____

25-01-351-017

Commercial and Industrial Property Profile

Note: Please be advised the data included in Property Gateway originates from multiple local municipalities. Data, in regard to properties, may be classified and updated differently by municipalities. If you have any questions, please contact the local community where the data originated.

Owner Information

Owner(s) : NADG NNN CPHARM (MH-MI) LP

Mailing Address : 3131 MCKINNEY AVE STE L10 DALLAS TX 75204-2430

Location Information

Site Address : 31010 JOHN R RD MADISON HEIGHTS MI 48071-1908

PIN : 25-01-351-017 Neighborhood Code : CVL

Municipality : City of Madison Heights

School District : 63280 LAMPHERE PUBLIC SCHOOLS

Use : 201 Commercial - Improved

Water Indicator : N Sewer Indicator : N

Well Indicator : N Septic Indicator : N

Property Description

T1N, R11E, SEC 1 PART OF SW 1/4 BEG AT PT DIST N 379.50 FT & N 89-53-00 E 43 FT FROM SW SEC COR, TH N 89-53-00 E 39.50 FT, TH S 33 FT, TH N 89-53-00 E 154.98 FT, TH S 286.64 FT, TH S 89-54-00 W 191.44 FT, TH N 45-00-00 W 4.30 FT, TH N 316.50 FT TO BEG 1.31 A 2-11-04 FR 012 & 015

Split/Combination Information

Added Status : Added Parcel

Added Date : 02/11/2004 Added To : FR 012 & 015

Most Recent Sale Since 1994

Date : 12/05/2019

Amount : \$1 Liber : 53618:083

Grantor : LRT PROPERTIES Grantee : NADG NNN CPHARM MH-MI

Tax Information

Taxable Value : \$159,880 State Equalized Value : \$237,960

Current Assessed Value : \$237,960 Capped Value : \$159,880

Effective Date For Taxes : 12/01/2022 Principal Residence Exemption : 0%

2021 Taxes**2022 Taxes**

Summer : \$8,047.27 Summer : \$8,262.07

Winter : \$1,924.43 Winter : \$1,978.72

Village : Village :

Lot Information

Description : Acres : 1.31

ZONING MAP

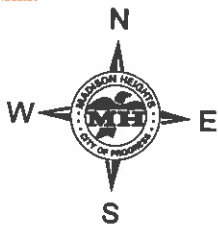
FOURTEEN MILE

Troy

Warren, Macomb County



- 
- A vertical color calibration chart with 20 color patches. The patches are labeled as follows from top to bottom: B-1 (light pink), B-2 (red), B-3 (dark red), H-M (light green), H-R (orange), M-1 (grey), M-2 (black), N-P (olive green), O-1 (magenta), P-1 (purple), P-2 (blue), R-1 (yellow), R-2 (light yellow), R-3 (white), R-C (orange with diagonal lines), R-M (brown), and R-T (orange with diagonal lines).



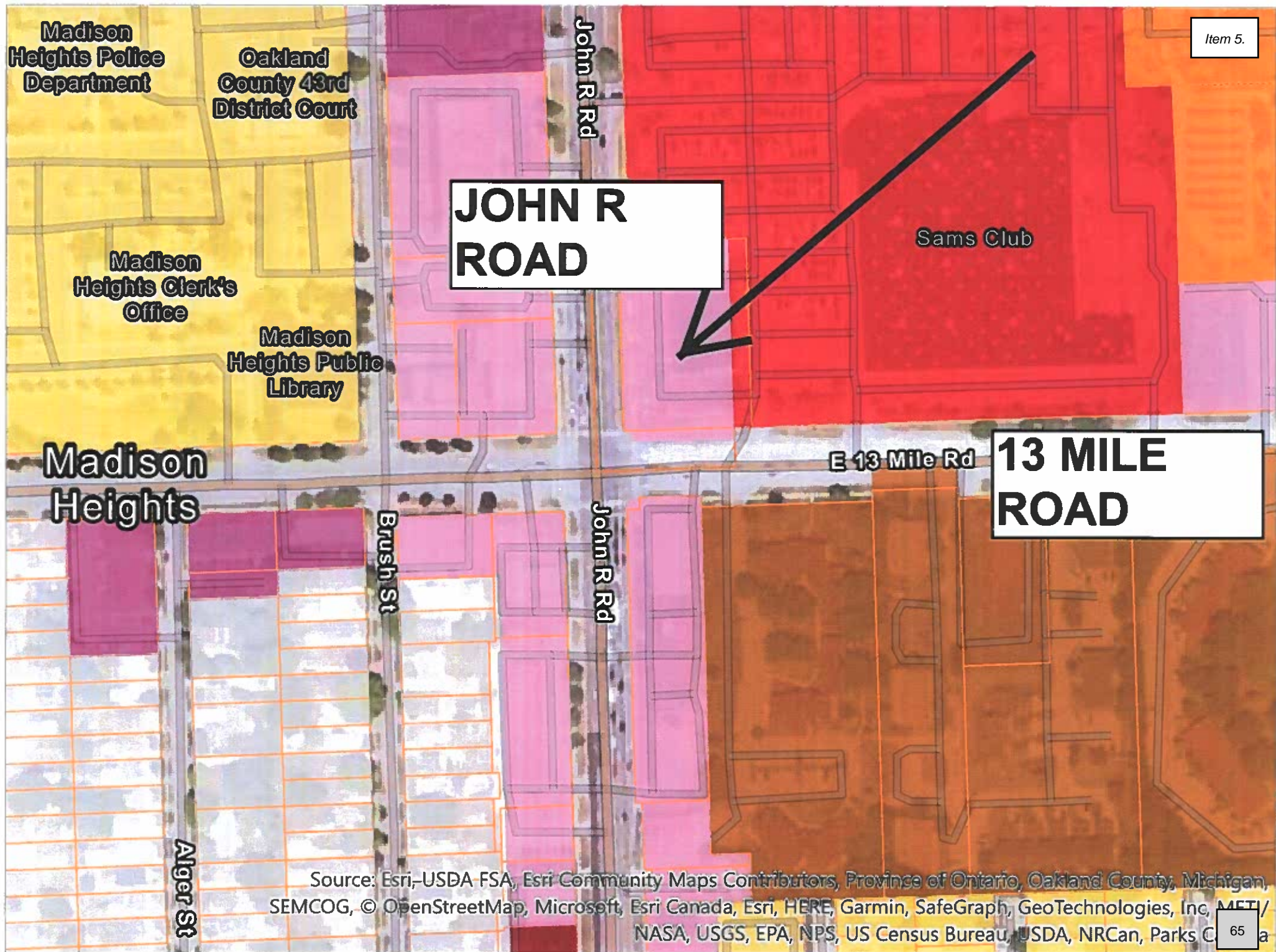
CITY OF MADISON HEIGHTS
COMMUNITY DEVELOPMENT DEPARTMENT
WWW.MADISONHEIGHTS.ORG
Scale: N/A

Effective Date: July 2022



Hazel Park

Author: Madhu Rakshit
July 2022



Source: Esri-USDA FSA, Esri Community Maps Contributors, Province of Ontario, Oakland County, Michigan, SEMCOG, © OpenStreetMap, Microsoft, Esri Canada, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/ NASA, USGS, EPA, NPS, US Census Bureau, USDA, NRCan, Parks C



Regulated Uses Location Map

BUFFER ZONES

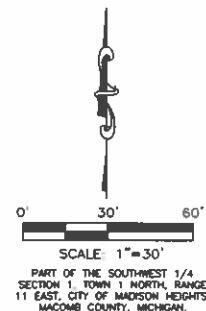
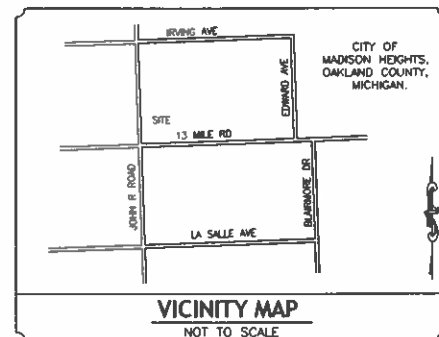
- CHILDCARE FACILITIES
- EXISTING PARKS
- WORSHIP CENTERS
- SCHOOL PARCELS
- RESIDENTIAL EXISTING LAND USE
- RESIDENTIAL ZONING
- COMBINED BUFFER
- EXISTING REGULATED USES
- EXISTING REGULATED USES SEPARATION
- PARCELS WHERE REGULATED USES MAY BE PERMITTED SUBJECT TO SECTION 10.502A OF ZONING ORDINANCE



0 1,250 2,500 5,000 Feet

SITE PLAN





SCHEDULE B-2 EASEMENT NOTES

1. Right of Way in favor of the Drainage Board for the Henry-Graham Drain recorded in Liber 3351, Page 633, Oakland County Records, this does cross or touch this parcel and is shown hereon.
2. Right of Way in favor of Michigan Bell Telephone Company as recorded in Liber 5980, Page 537, Oakland County Records, this does cross or touch this parcel and is shown hereon.
3. Easement for the right to lay, construct and maintain gas mains, with the usual services, connections and accessories, for the purpose of transmitting and distributing gas vested in Consumers Power Company, a Michigan corporation as recorded in Liber 7335, Page 436, Oakland County Records and further subject to the terms and provisions contained therein, this does not include this parcel and is not shown hereon.
4. Sanitary sewers, storm sewers and water mains as disclosed in diagram attached to instrument recorded in Liber 7335, Page 436, Oakland County Records, this does not include this parcel and is not shown hereon.
5. Terms and provisions of a Declaration of Easement executed by Madison Heights Associates, a Michigan limited partnership and others recorded in Liber 7530, Page 288 and Liber 7575, Page 218, respectively, Oakland County Records, this is blanket in nature and does include this parcel.
6. Easement for the right to lay, construct and maintain gas mains, with the usual services, connections and accessories, for the purpose of transmitting and distributing gas vested in Consumers Power Company, a Michigan corporation as recorded in Liber 7906, Page 792, Oakland County Records and further subject to terms and provisions contained therein, this does not include this parcel and is not shown hereon.
7. Declaration of Easement and the terms and conditions contained therein as recorded in Liber 8273, Page 587, Oakland County Records, this is blanket in nature and does include this parcel.
8. Terms and conditions of an Easement Agreement between Madison Square Limited Partnership and Karpson Associates as recorded in Liber 8484, Page 260, Oakland County Records, this is blanket in nature and does include this parcel.
9. Underground Easement (Right of Way) in favor of the Detroit Edison Company and Michigan Bell Telephone 6 feet in width as recorded in Liber 14210, Page 744, Oakland County Records, this does not cross or touch this parcel and is shown hereon.
10. Easement Agreement between Madison Square Partners, LLC, a Michigan limited liability company and URT Properties, L.L.C., a Michigan limited liability company dated January 2, 2004 and recorded February 10, 2004 in Liber 32176, Page 310, Oakland County Records, this is blanket in nature and does include this parcel.
11. Easement granted to Detroit Edison Company recorded in Liber 33340, Page 362, Oakland 24, County Records, this does cross or touch this parcel and is shown hereon.

General Survey Notes

- This survey was made in accordance with laws and/or Minimum Standards of the State of Michigan.
- The base of bearing for this survey is due North on the West line of Section 1, as shown hereon.
- The property described hereon is the same as the property described in Old Republic National Title Insurance Company Commitment No. 65-194529-48-SCM with an effective date of June 12, 2019 and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted hereon or otherwise noted as to their effect on the subject property.
- Said described property is located within an area having a Zone Designation X by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 26125C0263F, with a date of identification of 9/26/2008, for Community No. 280174, in Oakland County, State of Michigan, which is the current Flood Insurance Rate Map for the community in which said premises is situated.
- The Property has direct access to John R Road, a dedicated public street and indirect access to 13 Mile Road, a dedicated public street or highway, by way of the Access Easement recorded in Book 8484 Page 260.
- The total number of striped parking spaces on the subject property is 43, including 3 designated handicap spaces.
- There is no observed evidence of current earth moving work, building construction or building additions.
- There are no proposed changes in street right of way lines, according to City of Madison Heights. There is no observed evidence of recent street or sidewalk construction or repairs.
- Utility Note: Observed evidence of utilities has been shown pursuant to Section 5 Paragraph E (iv) of the ALTA/NSPS Minimum Standard Detail Requirements.
- There was no visible wetland flagging on this parcel at the time of survey. A wetland delineation map was not provided therefore no wetland areas are shown hereon (Item 13, Table a).
- The building height, shown hereon, was measured between the highest point of the building and the finished floor elevation in the approximate location as depicted on the drawing.
- Easements and exceptions shown hereon were provided by the title insurance company, no research has been conducted by Geodetic Designs Inc. to identify any additional easements that may affect this parcel.

ZONING INFORMATION

ZONING WAS NOT PROVIDED BY THE CLIENT, AND THEREFORE IS NOT SHOWN HEREON.

LIST OF POSSIBLE ENCROACHMENTS

The following list of encroachments is only the opinion of this surveyor and should not be interpreted as complete listing.








































NONE APPARENT

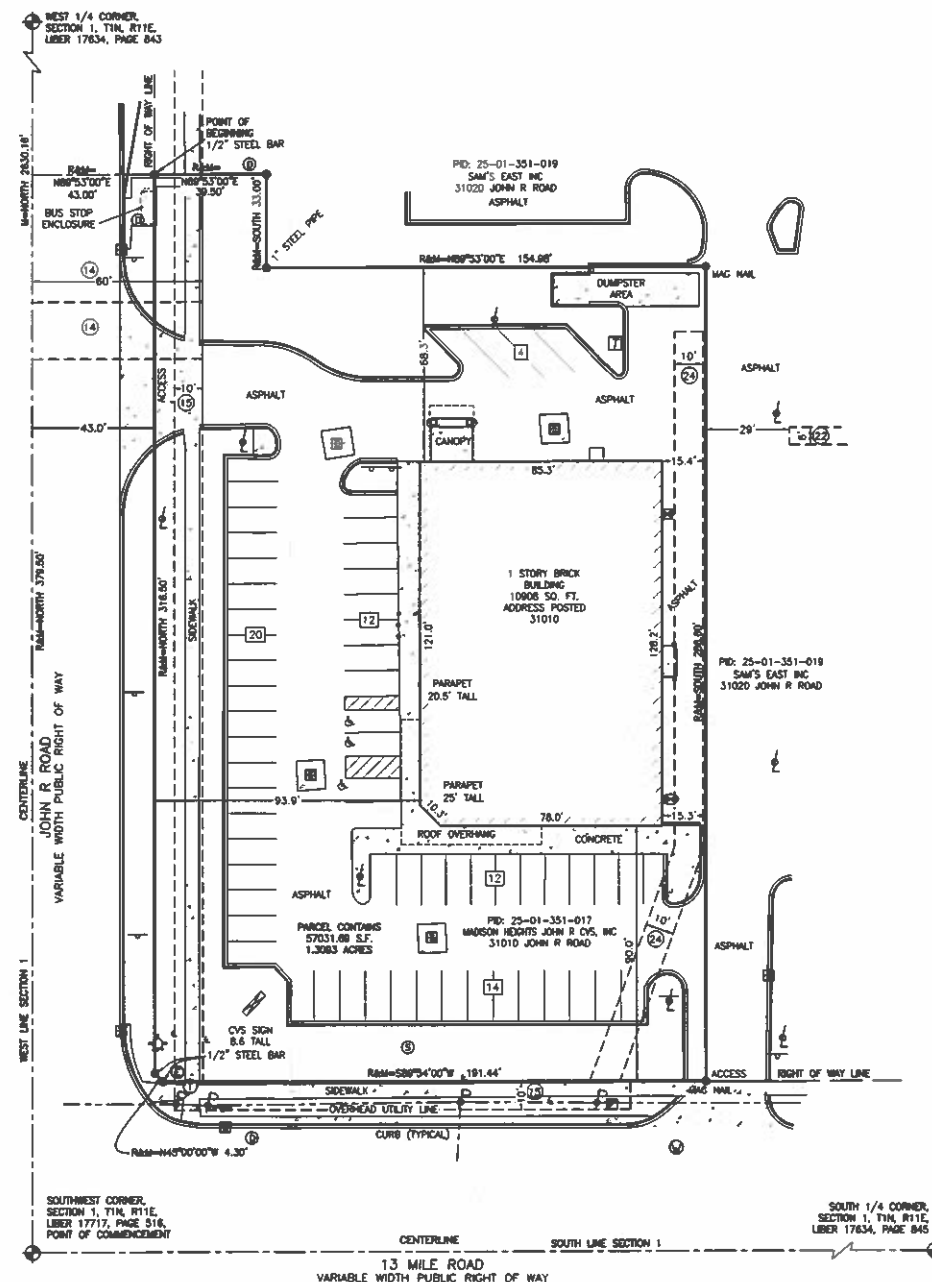
ABBREVIATIONS:

R = RECORDED
M = MEASURED
C = CALCULATED
N = NORTH
E = EAST
S = SOUTH
W = WEST

TIN = TOWN 1 NORTH
R11E = RANGE 11 EAST
SQ. FT. = SQUARE FEET
NE = NORTHEAST
SE = SOUTHEAST
SW = SOUTHWEST
NW = NORTHWEST

AVE. = AVENUE
BLVD. = BOULEVARD
CT. = COURT
RD. = ROAD
ST. = STREET
PID = PARCEL AND OWNER IDENTIFICATION

	Power Pole		Flag Pole		Storm Manhole
	Power Pole w/ Light		Sign (As Noted)		Storm Catchbasin
	Light Pole		Well Head		Deciduous Tree
	Telephone Pole		Satellite Dish		Coniferous Tree
	Guy Wire		Tower		Sanitary Manhole
	Transformer		Water Valve		Sanitary Clean Out
	Electric Manhole		Fire Hydrant		Gas Valve
	Telephone Manhole		Water Manhole		Gas Manhole
	Telephone Pedestal		Water Meter Pit		Gas Meter
	Electric Meter		Water Meter		Section Corner
	Cable Box		Indicates Handicapped Parking		Set 5/8" Bar & Cap
	Air Conditioner Unit		Found Corner Monument		Monitoring Well
	Easement Identifier		Parking Count		
	Distance not to scale				



SURVEYOR'S CERTIFICATE

To: (i) NADG NNN Acquisition Inc., a Texas corporation, its successors and assigns, (ii) Old Republic National Title Insurance Company, (iii) Wick Phillips Gould & Mearth LLP, and (iv) PNC Bank, National Association, a national banking association; NADG NNN CPHARM (MHI-MI) LP.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6a, 6b, 7a, 7b1, 7c, 8, 9, 13, 14, 16, 17, and 20 of Table A thereof.

The field work was completed on: July 2, 2019

Date of Plat or Map: July 2, 2019



David J. VanDenBerghe
PROFESSIONAL SURVEYOR
No. 51489
Registration No. 51489
Within the State of Michigan

RECORD LEGAL DESCRIPTION (from commitment)

The land referred to in this commitment is described as follows: City of Madison Heights, County of Oakland, State of Michigan

Part of the Southwest 1/4 Section 1, Town 1 North, Range 11 East, City of Madison Heights, Macomb County, Michigan, beginning at point distant North 379.50 feet and North 89 degrees 53 minutes 00 seconds East 43 feet from Southwest Section corner; thence North 89 degrees 53 minutes 00 seconds East 39.50 feet; thence South 33 feet; thence North 89 degrees 53 minutes 00 seconds East 154.98 feet; thence South 286.64 feet; thence South 89 degrees 54 minutes 00 seconds West 194.44 feet; thence North 45 degrees 00 minutes 00 seconds West 4.30 feet; thence North 316.50 feet to beginning.

PID: 25-01-351-017

LAND AREA:

57031.69 S.F., 1.3093 ACRES

No.	REVISIONS	Date
1	REVISED BLD SQ. FT.	10/01/19
2	SURVEYOR'S CERTIFICATE	10/02/19

COORDINATED BY:



ALTA/NSPS LAND TITLE SURVEY

CVS - Madison Heights, Michigan
31010 John R Road
Madison Heights, Oakland County, Michigan



PREPARED BY:
GEODETIC DESIGNS, INC.
2300 N. GRAND RIVER AVE.
LANSING, MI 48906
PHONE: (517) 908-0008
FAX: (517) 908-0009
WWW.GEODETICDESIGNS.COM
5110-2019

NOTICE OF PUBLIC HEARING

Notice is hereby given that the City Council for the City of Madison Heights will hold a public hearing on **Monday, July 10th, 2023 at 7:30 p.m. in the City Council Chambers of the Municipal Building at 300 W. 13 Mile Road, Madison Heights, Michigan 48071** to consider the following special approval requests:

Case # PSP 23-03

The applicant, Goodwill Industries of Greater Detroit, requests Special Approval from City Council under Section 10.502[A] of the Madison Heights Zoning Ordinance, *Regulated Uses*, for the establishment of a used goods use. The subject property is located at 31010 John R Road, PIN 44-25-01-351-017, zoned B-2, Planned Business.

Case # PSP 23-04

The applicant, Moschouris Management and Development, requests Special Approval from City Council under Section 10.329(4) of the Madison Heights Zoning Ordinance, *“other uses of a similar and no more objectionable character.”* The applicant requests approval to construct an auto wash. The subject property is located at 29448 John R Road (currently operating as the Madison Heights Active Adult Center), PIN 44-25-12-304-010, zoned M-1, Light Industrial.

Case # PSP 23-05

The applicant, BMW Kar Wash, Inc. d/b/a Jax Kar Wash, requests Special Approval from City Council under Section 10.326(8) of the Madison Heights Zoning Ordinance for an auto wash. The subject property is located at 29022 Stephenson Highway. PINs 44-25-11-377-015; 44-25-11-377-016; 44-25-11-377-019, zoned B-3, General Business.

The applications and any supporting documents can be viewed during regular business hours at the Community and Economic Development Department. In addition, the agenda item can be viewed online after 4:00 p.m. on the Friday prior to the meeting at www.madison-heights.org in the Agenda Center.

For further information, please contact the Community and Economic Development Department at (248) 583-0831.

Cheryl Rottmann, CMC
City Clerk
(248) 583-0826



AGENDA ITEM SUMMARY FORM

MEETING DATE: 7/10/23

PREPARED BY: Cheryl Rottmann, City Clerk/Deputy City Manager

AGENDA ITEM CONTENT: Request to Change City Council Regular Meeting Date from September 25, 2023 to September 26, 2023

AGENDA ITEM SECTION: Presentations

BUDGETED AMOUNT: n/a

FUNDS REQUESTED:

FUND:

EXECUTIVE SUMMARY:

As a result of the unavailability of the Mayor, a Council member and the City Attorneys, staff is requesting that Council consider changing the Regular City Council meeting date of Monday, September 25th to Tuesday, September 26th due to the Yom Kippur holiday. In compliance with the Open Meetings Act, the changing of a regular meeting date must be posted within three days after the meeting at which the change is made.

RECOMMENDATION:

Staff recommends that Council approve changing the City Council regular meeting date of Monday, September 25, 2023 to Tuesday, September 26, 2023 and post the meeting date change in compliance with the Open Meeting Act.



AGENDA ITEM SUMMARY FORM

MEETING DATE: July 10, 2023

PREPARED BY: Amy Misczak, HR Director/Purchasing Coord

AGENDA ITEM CONTENT: Approval of Budgeted Replacement Tricaster

AGENDA ITEM SECTION: Consent Agenda

BUDGETED AMOUNT: \$16,680

FUNDS REQUESTED: \$16,808

FUND: 101-248-982-0000 (Gen Admin Machinery & Equipment)

EXECUTIVE SUMMARY:

Please see attached memo - scheduled replacement of the Tricaster for City Council and other Public Meeting production and broadcast.

RECOMMENDATION:

Per the attached memo, Council is requested to approve the purchase of the new Tricaster according to the attached quote at a unit price of \$16,808, funding is budgeted in account 101-248-982-0000.

Date: June 30, 2023

To: Melissa R. Marsh, City Manager

From: Amy J. Misczak, HR Director/Purchasing Coordinator
Anna Pereny, Multimedia Specialist

Re: Council Chambers Broadcast Equipment – Tricaster

As you are aware, Council Meetings are broadcast to our local government cable channels through Comcast and Wow, and re-broadcast following the meetings each week. The equipment that allows staff to produce, record and broadcast meetings held in Council Chambers is the Tricaster.

The approved vendor for audio visual updates and installation of equipment in Council Chambers is Advanced Lighting and Sound. The current Tricaster is over eight years old, and is at the end of its useful life as it is no longer supported by its manufacturer NewTek. Parts are unavailable for repair and the system has become slow and unreliable, with frequent issues that require troubleshooting by City staff as well as service calls by Advanced Lighting and Sound.

The Tricaster has been approved for replacement in FY 2023-24 budget.

We would respectfully request that Council approve the purchase of the new Tricaster according to the attached quote at a unit price of \$16,808.

Thank you for your consideration.

**Advanced Lighting & Sound**

Phone: 248-817-2092
Fax: 248-817-2093
1026 Maplelawn Drive
Troy, MI 48084

Item 7.

Quote

No.: **18442**
Date: 6/13/2023

Prepared for:
Anna Pereny (248) 837-2668
City of Madison Heights
300 West 13 Mile Rd.
Madison Heights, MI 48071

Prepared by: Shawn Watts
Account No.: 6066
Phone: (248) 837-2602

Qty	Manuf	Item ID	Description	Sell	Total
1	Newte	TC1-R	TC1 Tricaster a la carte	\$15,995.00	\$15,995.00
1	Newte	PTUTC1	ProTek Ultra for TriCaster TC1 including critical case handling, phone support and advanced replacement where applicable	\$1,895.00	\$1,895.00
1	ALS	Sales Discount	Sales Discount - NewTek TIC860 trade in credit	(\$3,000.00)	(\$3,000.00)
1	ALS	Shipping	Shipping Charge - Return shipping of trade in unit to mfg.	\$125.00	\$125.00
1	ALS	AE3 CS Large	Button insert set for Newtek AE3 Upgrade 450/455, 460, 850/855, 8000	\$75.00	\$75.00
2	Kilov	KVW-N3-S	3G-SDI/NDI Bi-Directional converter; 3G SDI Full NDI Encoder/Decoder. POE. Tally. 1080P60	\$569.00	\$1,138.00
1	ALS	Labor	Installation Labor - Replace Tricaster 860 with TC1 and converters. Update CS and Includes training for new features.	\$540.00	\$540.00
1	ALS	Install	Install Materials - Interconnect cabling -CAT cabling and connectors, HD-SDI cabling	\$40.00	\$40.00

Your Price: **\$16,808.00**

Total: **\$16,808.00**

Prices are firm until 7/13/2023

Terms: Net 15

Prepared by: Shawn Watts, shawnw@AdvancedAVL.com

Date: 6/13/2023

Accepted by: _____ Date: _____

Disclaimer

All prices quoted are valid for 30 business days. Please fax signed quote to 248-817-2093 or email to sales@go-als.com so that your order can be placed. Thank you for your business.

City Council Special Meeting
Madison Heights, Michigan
June 26, 2023

A City Council Special Meeting was held on Monday, June 26, 2023, at 6:45 PM at City Hall Executive Conference Room - 300 W. 13 Mile Road

PRESENT

Councilwoman Toya Aaron
Mayor Pro Tem Mark Bliss
Councilman Sean Fleming
Councilor Emily Rohrbach
Councilman David Soltis
Councilor Quinn Wright

ABSENT

Mayor Grafstein

OTHERS PRESENT

City Manager Melissa Marsh
Assistant City Attorney J. Sherman
Special Legal Counsel Holly Battersby
Police Chief Haines
City Clerk Cheryl Rottmann

MEETING OPEN TO THE PUBLIC:

There were no members of the public wishing to speak.

CC-23-156. Excuse Member.

Motion by Councilwoman Aaron, Seconded by Councilman Fleming, to excuse Mayor Grafstein from today's meeting.

Voting Yea: Mayor Pro Tem Bliss, Councilwoman Aaron, Councilman Fleming,
Councilor Rohrbach, Councilman Soltis, Councilor Wright

Absent: Mayor Grafstein

Motion carried.

CC-23-157. Legal Opinion – Smith v Madison Heights.

Mayor Pro Tem Bliss asked for a motion to enter Closed Executive Session at 6:46 p.m.

Motion made by Councilor Rohrbach, Seconded by Councilor Wright, to enter Closed Executive Session to a legal opinion – *Smith v. Madison Heights*, which is exempt from disclosure as provided under Section 8 of the Open Meetings Act.

Roll Call Vote:

Voting Yea: Mayor Pro Tem Bliss, Councilwoman Aaron, Councilman Fleming,
Councilor Rohrbach, Councilman Soltis, Councilor Wright

Absent: Mayor Grafstein

Motion carried.

ADJOURNMENT:

Having no further business, Mayor Grafstein adjourned the meeting at 7:17 p.m.

Mark Bliss, Mayor Pro Tem

Cheryl E. Rottmann, City Clerk

City Council Regular Meeting
Madison Heights, Michigan
June 26, 2023

A City Council Regular Meeting was held on Monday, June 26, 2023 at 7:30 AM at City Hall - Council Chambers, 300 W. 13 Mile Rd.

PRESENT

Mayor Roslyn Grafstein
Councilwoman Toya Aaron
Mayor Pro Tem Mark Bliss
Councilman Sean Fleming
Councilor Emily Rohrbach
Councilman David Soltis
Councilor Quinn Wright

OTHERS PRESENT

City Manager Melissa Marsh
Assistant City Attorney Jeffrey Sherman
City Clerk Cheryl Rottmann

Councilor Rohrbach gave the invocation and the Pledge of Allegiance followed.

CM-23-158. Addition to the Agenda.

Motion made by Councilor Rohrbach, Seconded by Councilwoman Aaron, to add Recommendation of Special Counsel under Reports

Voting Yea: Mayor Grafstein, Councilwoman Aaron, Mayor Pro Tem Bliss,
Councilman Fleming, Councilor Rohrbach, Councilman Soltis, Councilor Wright

Motion carried.

PRESENTATIONS:

2023 Bike Rodeo Bicycle Winners

Chief Haines announced the Bike Rodeo winners Quinlin McAlpine and Evan Brook. He presented both with bikes from Trek Bike purchased by sponsor Michigan Schools & Government Credit Union and thanked Trek Bike for helping with the Rodeo. Michigan Schools &

Government Credit Union Community Relations Specialist Monique Harlan and Assistant Branch Manager Jacki Kettlewell gave statements on behalf of MSGCU reiterating their commitment to the community.

MEETING OPEN TO THE PUBLIC:

Kevin Wright, resident, and President of the Madison Heights Citizens United Board of Directors spoke regarding the Juneteenth event. He stated that the celebration was amazing and thanked the Board of Directors, volunteers, sponsors for their work and assistance. There was a palpable sense of community in the air with all ages, races, and faiths celebrating freedom. He stated that he appreciates all those that took the time at the education information displays. He is grateful to all those that took part and looks forward to an even more impactful celebration next year. Loving our neighbor was in the air and he is proud of his community.

Martha Covert agreed that Juneteenth was a very nice event. She reminded the HREC that permits are required to cook in the park. There are laws and ordinances for a reason, and we are all obligated to follow them.

CM-23-159. Consent Agenda.

Motion made by Mayor Pro Tem Bliss, Seconded by Councilor Wright, to approve the Consent Agenda as read.

Voting Yea: Mayor Grafstein, Councilwoman Aaron, Mayor Pro Tem Bliss,
Councilman Fleming, Councilor Rohrbach, Councilman Soltis, Councilor
Wright

Motion carried.

CM-23-160. Amendment 1 - Interlocal Agreement with Oakland County Senior Matching Grant.

Motion made by Mayor Pro Tem Bliss, Seconded by Councilor Wright, to approve the Interlocal Agreement with Oakland County to participate in the Oakland Together Senior Grant as amended and authorize the City Manager to execute this agreement on behalf of the City.

Voting Yea: Mayor Grafstein, Councilwoman Aaron, Mayor Pro Tem Bliss,
Councilman Fleming, Councilor Rohrbach, Councilman Soltis, Councilor
Wright

Motion carried.

CM-23-161. Special City Council Meeting Minutes of June 12, 2023.

Motion made by Mayor Pro Tem Bliss, Seconded by Councilor Wright, to approve the Special City Council Meeting minutes of June 12, 2023, as printed.

Voting Yea: Mayor Grafstein, Councilwoman Aaron, Mayor Pro Tem Bliss, Councilman Fleming, Councilor Rohrbach, Councilman Soltis, Councilor Wright

Motion carried.

CM-23-162. Regular City Council Meeting Minutes of June 12, 2023.

Motion made by Mayor Pro Tem Bliss, Seconded by Councilor Wright, to approve the Regular City Council Meeting minutes of June 12, 2023, as printed.

Voting Yea: Mayor Grafstein, Councilwoman Aaron, Mayor Pro Tem Bliss, Councilman Fleming, Councilor Rohrbach, Councilman Soltis, Councilor Wright

Motion carried.

CM-23-163. Confirmation of Appointment of Police Chief.

Motion made by Councilor Rohrbach, Seconded by Councilman Fleming, pursuant to Section 3.6 of the City Charter, to confirm the City Manager's appointment of Brent LeMerise to the position of Police Chief of the City of Madison Heights, effective July 1, 2023.

Voting Yea: Mayor Grafstein, Councilwoman Aaron, Mayor Pro Tem Bliss, Councilman Fleming, Councilor Rohrbach, Councilman Soltis, Councilor Wright

Motion carried.

CM-23-164. CED Microfiche Digital Conversion Project.

Motion made by Mayor Pro Tem Bliss, Seconded by Councilwoman Aaron, to approve an agreement with the DTMB, taking advantage of the existing State service agreement for imaging service, including uploading this data to the Laserfiche Cloud System not to exceed \$50,000, as well as the annual storage costs of this additional data in the cloud system estimated at \$1,500 annually for ongoing storage.

Voting Yea: Mayor Grafstein, Councilwoman Aaron, Mayor Pro Tem Bliss,
Councilman Fleming, Councilor Rohrbach, Councilman Soltis, Councilor
Wright

Motion carried.

**CM-23-165. Amendments to FY 2022-23 Budget and Carryforwards to Amend FY
2023-24.**

Motion made by Councilwoman Aaron, Seconded by Councilor Wright, to approve the amendments to the FY 2022-23 Budget and Carryforwards as attached and appropriate the necessary funds.

Voting Yea: Mayor Grafstein, Councilwoman Aaron, Mayor Pro Tem Bliss,
Councilman Fleming, Councilor Rohrbach, Councilman Soltis, Councilor
Wright

Motion carried.

**CM-23-166. School Resource Officer (SRO) Agreement for the Lamphere
District.**

Motion made by Councilwoman Aaron, Seconded by Councilor Wright, to approve the agreement with Lamphere Schools for a School Resources Officer for the FY 2023-24 school year.

In response to Council's questions, Chief Haines stated an officer is selected for this position and will be going to training in July and starting at Lamphere in the beginning of the year. During the off-school times, they will assist at the station. He also stated that the City discussed this position with both school districts; however, the Madison District did not get the grant to assist with the funding of the position and they are hoping to be able to do so in the next school year. The Police Department continue to community police at the Madison District. Chief Haines stated that there are State requirements for this position and our officer will be trained by the State Police.

Voting Yea: Mayor Grafstein, Councilwoman Aaron, Mayor Pro Tem Bliss,
Councilman Fleming, Councilor Rohrbach, Councilman Soltis, Councilor
Wright

Motion carried.

CM-23-167. Twelve/Sherry Park Renaming and Interlocal Agreement with Oakland County Parks and Recreation Commission for Park Operations.

Motion made by Councilor Rohrbach, Seconded by Councilwoman Aaron, to approve the Interlocal agreement with OCPRC allowing the proposed changes to take place at: Ambassador Park, George W. Suarez Friendship Woods and Nature Center, and the Red Oaks Youth Soccer Complex.

Chris Ward and Jess Whatley from Oakland County Parks and Recreation Commission presented the County's park vision for Council. Mr. Ward stated the County has a long-standing relationship with Madison Heights and are excited to continue the partnership. The vision includes an intergenerational activity center, natural elements, incorporate universal accessibility, fosters engagement, and includes a restroom, pavilion, fitness area, and play hub. These are all preliminary ideas/concepts for space. The OCPRC will be back with a final plan after public engagement.

Council thanked the OCPRC for bringing the plan to the City and for the partnership with Oakland County. Council emphasized the desire of not only having the park be ADA accessible but designed for universal access. Other concerns included what type of materials would be used for the flooring of the play equipment, parks remaining free for Madison Heights residents, improved signage at Suarez Friendship Woods, and the need for public engagement.

Voting Yea: Mayor Grafstein, Councilwoman Aaron, Mayor Pro Tem Bliss,
Councilman Fleming, Councilor Rohrbach, Councilman Soltis, Councilor Wright

Motion carried.

CM-23-168. Amend City Council Motion CM-23-33 to rename Twelve-Sherry Park to McGillivray Park.

Motion by Mayor Pro Tem Bliss, Seconded by Councilor Rohrbach, to amend Council motion CM-23-33 to rename Twelve-Sherry Park to McGillivray Park in honor of Gary McGillivray.

Voting Yea: Mayor Grafstein, Councilwoman Aaron, Mayor Pro Tem Bliss,
Councilman Fleming, Councilor Rohrbach, Councilman Soltis, Councilor Wright

Motion carried.

CM-23-169. Recommendation of Special Counsel from Closed Executive Session.

Motion by Mayor Pro Tem Bliss, Seconded by Councilor Rohrbach to adopt the recommendation of Special Counsel from the Closed Executive Session.

Voting Yea: Mayor Grafstein, Councilwoman Aaron, Mayor Pro Tem Bliss,
Councilman Fleming, Councilor Rohrbach, Councilor Wright

Voting Nay: Councilman Soltis

Motion carried 6-1.

COUNCIL COMMENTS:

Councilwoman Aaron congratulated the Bike Rodeo winners. She noted that Juneteenth was an incredibly organized event with a great crew. People attended from all over and the event was well attended. The Fireworks were a great show last night, despite the inclement weather. Despite obstacles, Brooke did an excellent job. Red Oaks Water Park is open, while hours are shortened, it is a great park to spend time with your family. She stated that she is going to miss Chief Haines and it has been incredible to work with you; you have done a great job.

Mayor Pro Tem Bliss agreed that Juneteenth was a phenomenal festival and noted his family had a great time. He recognized that this is a special event run by a non-profit and that it is difficult for volunteers to put on such a large-scale event, so thank you to Mr. Wright for all your efforts. Chief Haines, we will see you around and it has been an honor and privilege to work with you. Chief Haines has been a Madison Heights institution - you are greatly appreciated and will be incredibly missed; we are thankful for the time you invested into the City. He stated that tonight we dedicated the pavilion at Monroe Park to former Councilman Bob Gettings. This is a beautiful park and pavilion, be sure to visit and read the signage on what Councilman Gettings has done for the community,

Councilor Wright stated that he enjoyed the Bob Gettings' dedication this evening. Kudos to Kevin Wright for the job he and his whole board have done on the Juneteenth event. Your mission was accomplished, and everyone was enjoying themselves, the culture, the food and the atmosphere. He expressed kudos to our community on how to do this event right. Thank you to Oakland Community Health network for attending Juneteenth. He congratulated Quynyn and Evan on winning their bikes. The HREC is partnering with the Michigan Jewish Historical Society for lectures and a bus tour on the intersection of Black, Jewish and Detroit cultures in this area. The historical lectures are on July 26 and August 2nd. The tour is on August 6th; more details will follow as they are available. He wished a Happy Independence Day to all. He shared an interaction with Chief Haines as a resident and how Chief Haines made him feel like he was ready to listen and noted that meant the world to him. He appreciates Chief Haines service to the City.

City Attorney Sherman stated that speaking on behalf of his firm it has been his distinct honor to work with Chief Haines. We have worked very closely over the years, and we wish him the best in his future endeavors.

City Manager Marsh thanked Chief Haines for the impact he has had on the community, the residents, and the employees. Your impact will continue to be felt in the city. She thanked the Recreation Department, DPS and Police for toughing it out for the fireworks last night. She clarified why the fireworks were not rescheduled, noting there was no rain dates or refunds available to the City, and noted the fireworks provider is a professional company that had 60 other shows booked through the 4th. We were very aware of citizens safety and stated that the Police did a great job. She commented that she was pleased that the City honored Bob Gettings tonight at the pavilion dedication. She noted July 17th will be the renaming dedication at 12/Sherry Park.

City Clerk Rottmann congratulated Chief Haines on his retirement and commented that he was a great mentor and colleague.

Councilor Rohrbach thanked Chief Haines for all his service and stated that we appreciate and thank you. She echoed the comments on Juneteenth. She attended the City-wide garage sale and there were people everywhere - it was almost like a neighborhood party and an extension of the community. Starting July 1st, you will see artwork by people with disabilities from throughout Michigan at the Library. On 7/22 there will be a reception and community art project collaboration of Arts Board, HREC and the Michigan Statewide Independent Living Council. The Americans with Disabilities Act Pride Month is July, and we will be celebrating please come out and support. She appreciates all the comments on making sure our parks are ADA accessible.

Councilman Fleming stated that he too is happy about the success of Juneteenth and appreciates the work of the Wrights; the entire parking lot of Lamphere was full. Congratulations to Chief Haines and good luck on your retirement; I know you will still be around. He is holding office hours tomorrow at library from 10 a.m. to 12 p.m. or you can reach him by email at seanfleming@madison-heights.org with any comments or concerns.

Councilman Soltis stated that he is very happy for Chief Haines on his retirement and know he is going to continue to do fantastic things. He has been friends with Chief Haines and stated one of his proudest moments is their work on the SIU and how it came together. Chief Haines did a fantastic job implementing it. Chief Haines also assisted with the senior trip to Lansing and that also was a great experience. We will miss you, but we will keep in touch.

Mayor Grafstein stated that when she was frustrated with the school parking lot several years ago, Chief Haines assisted with the problem and over the years there has been many times he has come to the rescue. Great job on the Juneteenth and she noted there were three tables focusing on mental health, highlighting the need in the community. Because of Juneteenth, she has been contacted about hosting concerts in the City. When we have events like this, it brings people to the city and the city benefits. Last night she was able to watch the fireworks and she thanked the police and reserves for their work. She thanked everyone for attending the Bob Gettings' dedication. She

noted that microfiching of documents is important so that we can remember our past and she spoke of her grandfather and his writings and how history is captured. She asked staff for clarification on the grilling at City events. The next regular City Council meeting is July 10th.

ADJOURNMENT

Having no further business, Mayor Grafstein adjourned the meeting at 8:44 p.m.

**CITY OF MADISON HEIGHTS
AMENDED BUDGET
FY 2022-23**

	FY 2022-23 Adopted Budget	FY 2021-22 Carryforward	Prior Approved Amendments	6/26/2023 Amendments	6/26/2023 Carryforward	FY 2022-23 Amended Budget
General Fund (101)						
<u>Revenues</u>						
Property Taxes	\$ 22,591,420	\$ -	\$ -	\$ -	\$ -	\$ 22,591,420
Business Licenses/Permits	417,800	-	-	103,820	-	521,620
Non-Business License/Permits	668,525	-	-	-	-	668,525
Federal Shared Revenues	1,571,062	-	-	119,871	-	1,690,933
State Shared Revenues	5,819,092	-	-	47,051	-	5,866,143
Other Governmental Revenues	165,956	-	-	-	-	165,956
County Shared Revenues	61,000	-	80,000	-	-	141,000
SMART Shared Revenues	70,019	-	-	-	-	70,019
Court Revenues	1,374,000	-	-	-	-	1,374,000
Charges for Services	262,730	-	-	-	-	262,730
Sales - Miscellaneous	16,874	-	-	-	-	16,874
Recreation Program Revenues	234,000	-	-	-	-	234,000
Miscellaneous Revenues	1,651,663	-	-	24,258	-	1,675,921
Sale of Fixed Assets	50,000	-	-	-	-	50,000
Departmental Charges	891,480	-	-	-	-	891,480
Transfers	84,869	-	-	-	-	84,869
(Contr. To)/Use of Fund Balance	5,299,210	1,360,325	2,082,105	-	(2,090,537)	6,651,103
Total Revenues	\$ 41,229,700	\$ 1,360,325	\$ 2,162,105	\$ 295,000	\$ (2,090,537)	\$ 42,956,593
<u>Expenditures</u>						
Mayor & Council	\$ 58,306	\$ -	\$ -	\$ -	\$ -	\$ 58,306
City Manager	262,383	2,600	-	-	-	264,983
Finance	793,202	-	-	-	-	793,202
City Clerk	398,073	-	-	-	(4,567)	393,506
Information Technology	292,317	-	18,561	-	(15,000)	295,878
Insurance	266,800	-	-	-	-	266,800
Board of Review	3,043	4,200	-	-	-	7,243
General Administration	338,619	-	-	-	(1,000)	337,619
Assessing	219,021	-	8,755	-	-	227,776
Election	83,638	-	-	-	(18,180)	65,458
DPS-Municipal Building	58,588	-	50,000	-	-	108,588
Legal	335,695	-	-	40,000	-	375,695
DPS-Custodial & Maintenance	190,442	-	80,000	-	-	270,442
Human Resources	473,001	-	-	-	(2,110)	470,891
District Court	1,459,129	354,600	-	-	(61,506)	1,752,223
Police	12,602,204	418,257	177,224	-	(694,335)	12,503,350
Fire	7,520,989	-	42,839	250,000	(624,339)	7,189,489
DPS-Streets	1,105,331	29,244	-	5,000	-	1,139,575
DPS-Solid Waste	2,999,813	405,124	-	-	(150,000)	3,254,937
Community Development	1,138,451	1,500	-	-	(5,200)	1,134,751
DPS-Recreation	304,728	-	-	-	-	304,728
DPS-Parks	1,099,691	137,300	-	-	(477,300)	759,691
DPS-Nature Center	59,600	-	-	-	-	59,600
DPS-Active Adult Center	498,778	7,500	-	-	(37,000)	469,278
Library	913,384	-	-	-	-	913,384
Pension Obligation Debt Services	1,028,279	-	-	-	-	1,028,279
Transfer Out	6,726,195	-	1,784,726	-	-	8,510,921
Total Expenditures	\$ 41,229,700	\$ 1,360,325	\$ 2,162,105	\$ 295,000	\$ (2,090,537)	\$ 42,956,593

**CITY OF MADISON HEIGHTS
AMENDED BUDGET
FY 2022-23**

	FY 2022-23 Adopted Budget	FY 2021-22 Carryforward	Prior Approved Amendments	6/26/2023 Amendments	6/26/2023 Carryforward	FY 2022-23 Amended Budget
Major Streets (202)						
<u>Revenues</u>						
State Shared Revenues	\$ 2,425,224	\$ -	\$ -	\$ -	\$ -	
County Shared Revenues	78,919	-	-	-	-	
Miscellaneous Revenues	-	-	-	-	-	
Prior Years Fund Balance	(548,884)	398,738	52,471	-	(492,508)	(590,183)
Total Revenues	<u>\$ 1,955,259</u>	<u>\$ 398,738</u>	<u>\$ 52,471</u>	<u>\$ -</u>	<u>\$ (492,508)</u>	<u>\$ 1,913,960</u>
<u>Expenditures</u>						
Construction	\$ 1,025,000	\$ 246,738	\$ 52,471	\$ -	\$ (492,508)	\$ 831,701
Maintenance	163,332	12,000	-	-	-	
Traffic Services	158,769		-	-	-	
Winter Maintenance	199,468	140,000	-	-	-	
Administration	10,484	-	-	-	-	
County Roads	98,206	-	-	-	-	
Transfers	300,000	-	-	-	-	
Total Expenditures	<u>\$ 1,955,259</u>	<u>\$ 398,738</u>	<u>\$ 52,471</u>	<u>\$ -</u>	<u>\$ (492,508)</u>	<u>\$ 1,913,960</u>
Local Streets (203)						
<u>Revenues</u>						
Property Taxes	\$ 1,718,796	\$ -	\$ -	\$ -	\$ -	
State Shared Revenues	1,138,232	-	-	-	-	
Miscellaneous Revenue	5,000	-	-	-	-	
Transfers In	300,000	-	-	-	-	
Prior Years Fund Balance	(302,931)	-	-	-	-	
Total Revenues	<u>\$ 2,859,097</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	
<u>Expenditures</u>						
Construction	\$ 2,321,000	\$ -	\$ -	\$ -	\$ -	
Maintenance	306,921	-	-	-	-	306,921
Traffic Services	155,775	-	-	-	-	155,775
Winter Maintenance	66,413	-	-	-	-	66,413
Administration	8,988	-	-	-	-	8,988
Transfers	-	-	-	-	-	-
Total Expenditures	<u>\$ 2,859,097</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 2,859,097</u>

**CITY OF MADISON HEIGHTS
AMENDED BUDGET
FY 2022-23**

	FY 2022-23 Adopted Budget	FY 2021-22 Carryforward	Prior Approved Amendments	6/26/2023 Amendments	6/26/2023 Carryforward	FY 2022-23 Amended Budget
<u>Parks Maintenance & Improvement Fund (208)</u>						
<u>Revenues</u>						
Miscellaneous	\$ 43,246	\$ -	\$ -	\$ -	\$ -	\$ 43,246
Prior Years Fund Balance	-	-	-	-	-	-
Total Revenues	<u>\$ 43,246</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 43,246</u>
<u>Expenditures</u>						
Parks Maintenance & Improvement	\$ 43,246	\$ -	\$ -	\$ -	\$ -	\$ 43,246
Transfers	-	-	-	-	-	-
Total Expenditures	<u>\$ 43,246</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 43,246</u>
<u>Downtown Development Authority (248)</u>						
<u>Revenues</u>						
Property Taxes	\$ 60,624	\$ -	\$ -	\$ -	\$ -	\$ 60,624
State Shared Revenues	35,213	-	-	-	-	35,213
Miscellaneous Revenue	250	-	-	-	-	250
Prior Years Fund Balance	33,172	-	-	-	(5,000)	28,172
Transfers In	-	-	-	-	-	-
Total Revenues	<u>\$ 129,259</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ (5,000)</u>	<u>\$ 124,259</u>
<u>Expenditures</u>						
Downtown Development	\$ 107,390	\$ -	\$ -	\$ -	\$ (5,000)	\$ 102,390
Transfers	21,869	-	-	-	-	21,869
Total Expenditures	<u>\$ 129,259</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ (5,000)</u>	<u>\$ 124,259</u>
<u>Drug Forfeiture Fund (265)</u>						
<u>Revenues</u>						
Other Governmental Revenues	\$ 64,000	\$ -	\$ -	\$ -	\$ -	\$ 64,000
Miscellaneous Revenue	250	-	-	-	-	250
Transfers In	-	-	-	-	-	-
Prior Years Fund Balance	-	-	43,708	-	-	43,708
Total Revenues	<u>\$ 64,250</u>	<u>\$ -</u>	<u>\$ 43,708</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 107,958</u>
<u>Expenditures</u>						
Drug Forfeiture - State	\$ 64,250	\$ -	\$ 43,708	\$ -	\$ -	\$ 107,958
Total Expenditures	<u>\$ 64,250</u>	<u>\$ -</u>	<u>\$ 43,708</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 107,958</u>

**CITY OF MADISON HEIGHTS
AMENDED BUDGET
FY 2022-23**

	FY 2022-23 Adopted Budget	FY 2021-22 Carryforward	Prior Approved Amendments	6/26/2023 Amendments	6/26/2023 Carryforward	FY 2022-23 Amended Budget
<u>Community Improvement Fund (276)</u>						
<u>Revenues</u>						
Federal Shared Revenues	\$ 145,607	\$ -	\$ -	\$ -	\$ -	\$ 145,607
Prior Years Fund Balance	-	-	-	-	-	-
Total Revenues	<u>\$ 145,607</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 145,607</u>
<u>Expenditures</u>						
Community Development	\$ 145,607	\$ -	\$ -	\$ -	\$ -	\$ 145,607
Total Expenditures	<u>\$ 145,607</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 145,607</u>
<u>Municipal Building Bond (370)</u>						
<u>Revenues</u>						
Transfers In	\$ 275,000	\$ -				\$ 275,000
Total Revenues	<u>\$ 275,000</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 275,000</u>
<u>Expenditures</u>						
Debt Service	\$ 275,000	\$ -				\$ 275,000
Total Expenditures	<u>\$ 275,000</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 275,000</u>
<u>Fire Station Debt Service (372)</u>						
<u>Revenues</u>						
Property Taxes	\$ 409,886	\$ -	\$ -	\$ -	\$ -	\$ 409,886
State Shared Revenues	25,000	-	-	-	-	25,000
Prior Years Fund Balance	24,828	-	-	-	-	24,828
Total Revenues	<u>\$ 459,714</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 459,714</u>
<u>Expenditures</u>						
Debt Service	\$ 459,714	\$ -	\$ -	\$ -	\$ -	\$ 459,714
Total Expenditures	<u>\$ 459,714</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 459,714</u>
<u>Fire Station Building (468)</u>						
<u>Revenues</u>						
Transfers In	\$ 2,044,671	\$ -	507,086			\$ 2,551,757
Total Revenues	<u>\$ 2,044,671</u>	<u>\$ -</u>				<u>\$ 2,551,757</u>
<u>Expenditures</u>						
Capital Outlay	\$ 2,044,671	\$ -	507,086			\$ 2,551,757
Total Expenditures	<u>\$ 2,044,671</u>	<u>\$ -</u>				<u>\$ 2,551,757</u>

**CITY OF MADISON HEIGHTS
AMENDED BUDGET
FY 2022-23**

	FY 2022-23 Adopted Budget	FY 2021-22 Carryforward	Prior Approved Amendments	6/26/2023 Amendments	6/26/2023 Carryforward	FY 2022-23 Amended Budget
<u>Municipal Building (470)</u>						
<u>Revenues</u>						
Bond Proceeds	\$ 6,321,000	\$ -	\$ -			\$ 6,321,000
Transfers In	4,406,524	-	1,277,640			5,684,164
Total Revenues	<u>\$ 10,727,524</u>	<u>\$ -</u>	<u>\$ 1,277,640</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 12,005,164</u>
<u>Expenditures</u>						
Capital Outlay	\$ 10,727,524	\$ -	\$ 1,277,640			\$ 12,005,164
Total Expenditures	<u>\$ 10,727,524</u>	<u>\$ -</u>	<u>\$ 1,277,640</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 12,005,164</u>
<u>Water & Sewer Fund (592)</u>						
<u>Revenues</u>						
Sales of Water	\$ 4,655,870	\$ -	\$ -	\$ -	\$ -	\$ 4,655,870
Sales of Sewer	6,547,212	-	-	-	-	6,547,212
Charges for Services	50,000	-	-	-	-	50,000
Miscellaneous	143,800	-	-	-	-	143,800
Sale of Fixed Assets	12,000	-	-	-	-	12,000
Department Charges	115,000	-	-	-	-	115,000
Transfers	-	-	-	-	-	-
Prior Years Fund Balance	123,581	320,000	9,001	-	(306,000)	146,582
Total Revenues	<u>\$ 11,647,463</u>	<u>\$ 320,000</u>	<u>\$ 9,001</u>	<u>\$ -</u>	<u>\$ (306,000)</u>	<u>\$ 11,670,464</u>
<u>Expenditures</u>						
Sewage Disposal	\$ 4,813,502	\$ -	\$ -	\$ -	\$ -	\$ 4,813,502
Water Purchased	2,421,155	-	-	-	-	2,421,155
Water System Maintenance	836,569	-	-	-	-	836,569
Water Tapping & Installation	43,500	-	-	-	-	43,500
Sewer System Maintenance	597,053	-	-	-	-	597,053
General Service Building	194,992	-	-	-	-	194,992
General Administration	1,405,325	-	-	-	-	1,405,325
Capital Outlay	1,183,580	320,000	9,001	-	(306,000)	1,206,581
Debt Administration	151,787	-	-	-	-	151,787
Total Expenditures	<u>\$ 11,647,463</u>	<u>\$ 320,000</u>	<u>\$ 9,001</u>	<u>\$ -</u>	<u>\$ (306,000)</u>	<u>\$ 11,670,464</u>

**CITY OF MADISON HEIGHTS
AMENDED BUDGET
FY 2022-23**

	FY 2022-23 Adopted Budget	FY 2021-22 Carryforward	Prior Approved Amendments	6/26/2023 Amendments	6/26/2023 Carryforward	FY 2022-23 Amended Budget
<u>Department of Public Services (650)</u>						
<u>Revenues</u>						
Contributions - General Fund	\$ 681,392	\$ -	\$ -	\$ -	\$ -	\$ 681,392
Contributions - Major Streets	137,762					137,762
Contributions - Local Streets	190,658					190,658
Contributions - Water/Sewer	1,234,447	-	-	-	-	1,234,447
Prior Years Fund Balance	-	-	-	-	-	-
Total Revenues	<u>\$ 2,244,259</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 2,244,259</u>
<u>Expenditures</u>						
Department of Public Services	\$ 2,244,259	\$ -	\$ -	\$ -	\$ -	\$ 2,244,259
Total Expenditures	<u>\$ 2,244,259</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 2,244,259</u>
<u>Motor Pool and Equipment Fund (661)</u>						
<u>Revenues</u>						
Contributions - General Fund	\$ 890,023	\$ -	\$ -	\$ -	\$ -	\$ 890,023
Contributions - Water/Sewer	104,188	-	-	-	-	104,188
Fund Balance	-	-	-	-	-	-
Total Revenues	<u>\$ 994,211</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 994,211</u>
<u>Expenditures</u>						
Motorpool	\$ 994,211	\$ -	\$ -	\$ -	\$ -	\$ 994,211
Total Expenditures	<u>\$ 994,211</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 994,211</u>
<u>Chapter 20 Drain Debt Service Fund (870)</u>						
<u>Revenues</u>						
Property Taxes	\$ 899,454	\$ -	\$ -	\$ -	\$ -	\$ 899,454
Total Revenues	<u>\$ 899,454</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 899,454</u>
<u>Expenditures</u>						
Services and Charges	\$ 191,000	\$ -	\$ -	\$ -	\$ -	\$ 191,000
Debt Service	708,454	-	-	-	-	708,454
Total Expenditures	<u>\$ 899,454</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 899,454</u>
Total Other Funds	\$ 34,489,014	\$ 718,738	\$ 1,382,820	\$ -	\$ (803,508)	\$ 36,294,150
Total General and Other Funds	\$ 75,718,714	\$ 2,079,063	\$ 3,544,925	\$ 295,000	\$ (2,894,045)	\$ 79,250,743

EXHIBIT A
City of Madison Heights
Explanation of Amendments for FY 2022-23

General Fund Revenues (101)	Explanation	Amount	Account Number
Business Licenses/Permits	Marijuana State Payment	\$ 103,820	101-014-439-0000
Federal Shared Revenues	FEMA Grant	119,871	101-021-505-5262
State Shared Revenue	Local Community Stabilization Sharing	47,051	101-023-573-0000
Miscellaneous Revenue	Interest Earned	24,258	101-044-665-5000
Prior Years Fund Balance	Use of Fund Balance	-	101-053-692-6970
Total General Fund Revenues		<u>\$ 295,000</u>	

General Fund Expenditures (101)	Explanation	Amount	Account Number
Legal Expenses	Legal Expenses	\$ 40,000	101-266-826-2000
Fire - Vehicles	Quint (Phase Funding)	150,000	101-336-985-0000
Fire - Improvements	Fire Station #1 - Roof Replacement (Phase Funding)	100,000	101-336-987-0000
Streets - Improvements	Gateway Project Design	5,000	101-446-987-0000
Total General Fund Expenditures		<u>\$ 295,000</u>	

Total General Fund Expenditures \$ 295,000

Total Exhibit A Budget Amendments \$ 295,000

**CITY OF MADISON HEIGHTS
AMENDED BUDGET FY 2023-24**

General Fund (101)	2023-24 ORIGINAL BUDGET	2022-23 CARRY FORWARD	2023-24 AMENDED BUDGET
<u>Revenues</u>			
Property Taxes	\$ 24,439,961	\$ -	\$ 24,439,961
Business Licenses/Permits	521,581	-	521,581
Non-Business License/Permits	668,525	-	668,525
Federal Shared Revenues	10,000	-	10,000
State Shared Revenues	6,115,901	-	6,115,901
Other Governmental Revenues	175,658	-	175,658
County Shared Revenues	51,139	-	51,139
SMART Shared Revenues	70,019	-	70,019
Court Revenues	1,519,000	-	1,519,000
Charges for Services	261,530	-	261,530
Sales - Miscellaneous	9,500	-	9,500
Parks and Recreation	264,000	-	264,000
Miscellaneous Revenues	1,667,163	-	1,667,163
Sale of Fixed Assets	50,000	-	50,000
Department Charges	821,480	-	821,480
Transfers In	2,204,406	-	2,204,406
Prior Years Fund Balance	10,157	2,090,537	2,100,694
Total Revenues	\$ 38,860,020	\$ 2,090,537	\$ 40,950,557
<u>Expenditures</u>			
Mayor & Council	\$ 58,606	\$ -	\$ 58,606
City Manager	275,307	-	275,307
Finance	804,517	-	804,517
City Clerk	410,997	4,567	415,564
Information Technology	549,979	15,000	564,979
Insurance	267,590	-	267,590
Board of Review	3,043	-	3,043
General Administration	395,117	1,000	396,117
Assessing	228,309	-	228,309
Election	84,605	18,180	102,785
DPS-Municipal Building	60,878	-	60,878
Legal	375,000	-	375,000
DPS-Custodial & Maintenance	197,829	-	197,829
Human Resources	466,357	2,110	468,467
District Court	1,572,161	61,506	1,633,667
Police	13,637,187	694,335	14,331,522
Fire	9,450,680	624,339	10,075,019
DPS-Streets	1,358,313	-	1,358,313
DPS-Solid Waste	3,131,141	150,000	3,281,141
Community Development	1,289,288	5,200	1,294,488
DPS-Recreation	398,466	-	398,466
DPS-Parks	1,098,503	477,300	1,575,803
DPS-Nature Center	9,672	-	9,672
DPS-Active Adult Center	514,386	37,000	551,386
Library	937,946	-	937,946
Debt Services	1,027,043	-	1,027,043
Transfers Out	257,100	-	257,100
Total Expenditures	\$ 38,860,020	\$ 2,090,537	\$ 40,950,557

**CITY OF MADISON HEIGHTS
AMENDED BUDGET FY 2023-24**

Major Streets (202)	2023-24 ORIGINAL BUDGET	2022-23 CARRY FORWARD	2023-24 AMENDED BUDGET
<u>Revenues</u>			
State Shared Revenues	\$ 2,491,266	\$ -	\$ 2,491,266
County Shared Revenues	78,919	-	78,919
Miscellaneous Revenues	-	-	-
Prior Years Fund Balance	186,197	492,508	678,705
Total Revenues	<u>\$ 2,756,382</u>	<u>\$ 492,508</u>	<u>\$ 3,248,890</u>
<u>Expenditures</u>			
Construction	\$ 1,425,000	\$ 492,508	\$ 1,917,508
Maintenance	202,116	-	202,116
Traffic Services	522,925	-	522,925
Winter Maintenance	200,837	-	200,837
Administration	11,333	-	11,333
County Roads	94,171	-	94,171
Transfers Out	300,000	-	300,000
Total Expenditures	<u>\$ 2,756,382</u>	<u>\$ 492,508</u>	<u>\$ 3,248,890</u>
Local Streets (203)	2023-24 ORIGINAL BUDGET	2022-23 CARRY FORWARD	2023-24 AMENDED BUDGET
<u>Revenues</u>			
Property Taxes	\$ 1,967,018	\$ -	\$ 1,967,018
State Shared Revenues	1,163,510	-	1,163,510
County Shared Revenues	80,000	-	80,000
Miscellaneous Revenue	5,000	-	5,000
Transfers In	300,000	-	300,000
Prior Years Fund Balance	(256,741)	-	(256,741)
Total Revenues	<u>\$ 3,258,787</u>	<u>\$ -</u>	<u>\$ 3,258,787</u>
<u>Expenditures</u>			
Construction	\$ 2,724,000	\$ -	\$ 2,724,000
Maintenance	313,760	-	313,760
Traffic Services	147,555	-	147,555
Winter Maintenance	63,209	-	63,209
Administration	10,263	-	10,263
Transfers Out	-	-	-
Total Expenditures	<u>\$ 3,258,787</u>	<u>\$ -</u>	<u>\$ 3,258,787</u>

**CITY OF MADISON HEIGHTS
AMENDED BUDGET FY 2023-24**

Parks Maintenance & Improvement Fund (208)

	2023-24 ORIGINAL BUDGET	2022-23 CARRY FORWARD	2023-24 AMENDED BUDGET
<u>Revenues</u>			
Miscellaneous Revenue	\$ 52,977	\$ -	\$ 52,977
Prior Years Fund Balance	-	-	-
Total Revenues	<u>\$ 52,977</u>	<u>\$ -</u>	<u>\$ 52,977</u>
<u>Expenditures</u>			
Maintenance	\$ 52,977	\$ -	\$ 52,977
Transfers Out	-	-	-
Total Expenditures	<u>\$ 52,977</u>	<u>\$ -</u>	<u>\$ 52,977</u>

Downtown Development Authority (248)

	2023-24 ORIGINAL BUDGET	2022-23 CARRY FORWARD	2023-24 AMENDED BUDGET
<u>Revenues</u>			
Property Taxes	\$ 174,548	\$ -	\$ 174,548
State Shared Revenues	39,077	-	39,077
Miscellaneous Revenue	250	-	250
Prior Years Fund Balance	(22,270)	5,000	(17,270)
Transfers In	-	-	-
Total Revenues	<u>\$ 191,605</u>	<u>\$ 5,000</u>	<u>\$ 196,605</u>
<u>Expenditures</u>			
Downtown Development Authority	\$ 112,928	\$ 4,395	\$ 117,323
Capital Outlay	55,000	605	55,605
Transfers Out	23,677	-	23,677
Total Expenditures	<u>\$ 191,605</u>	<u>\$ 5,000</u>	<u>\$ 196,605</u>

Drug Forfeiture Fund (265)

	2023-24 ORIGINAL BUDGET	2022-23 CARRY FORWARD	2023-24 AMENDED BUDGET
<u>Revenues</u>			
Other Governmental Revenues	\$ -	\$ -	\$ -
Miscellaneous Revenue	250	-	250
Transfers In	-	-	-
Prior Years Fund Balance	46,750	-	46,750
Total Revenues	<u>\$ 47,000</u>	<u>\$ -</u>	<u>\$ 47,000</u>
<u>Expenditures</u>			
Police	\$ 47,000	\$ -	\$ 47,000
Total Expenditures	<u>\$ 47,000</u>	<u>\$ -</u>	<u>\$ 47,000</u>

**CITY OF MADISON HEIGHTS
AMENDED BUDGET FY 2023-24**

Community Improvement Block Grant (276)	2023-24 ORIGINAL BUDGET	2022-23 CARRY FORWARD	2023-24 AMENDED BUDGET
<u>Revenues</u>			
Federal Shared Revenues	\$ 145,805	\$ -	\$ 145,805
Prior Years Fund Balance	-	-	-
Total Revenues	<u>\$ 145,805</u>	<u>\$ -</u>	<u>\$ 145,805</u>
<u>Expenditures</u>			
Community Development	\$ 145,805	\$ -	\$ 145,805
Total Expenditures	<u>\$ 145,805</u>	<u>\$ -</u>	<u>\$ 145,805</u>

Municipal Building Bond (370)	2023-24 ORIGINAL BUDGET	2022-23 CARRY FORWARD	2023-24 AMENDED BUDGET
<u>Revenues</u>			
Transfers In	\$ 257,100	\$ -	\$ 257,100
Total Revenues	<u>\$ 257,100</u>	<u>\$ -</u>	<u>\$ 257,100</u>
<u>Expenditures</u>			
Debt Service	\$ 257,100	\$ -	\$ 257,100
Total Expenditures	<u>\$ 257,100</u>	<u>\$ -</u>	<u>\$ 257,100</u>

Fire Station Debt Service (372)	2023-24 ORIGINAL BUDGET	2022-23 CARRY FORWARD	2023-24 AMENDED BUDGET
<u>Revenues</u>			
Property Taxes	\$ -	\$ -	\$ -
State Shared Revenues	-	-	-
Prior Years Fund Balance	-	-	-
Total Revenues	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>
<u>Expenditures</u>			
Debt Service	\$ -	\$ -	\$ -
Total Expenditures	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>

Fire Station Building (468)	2023-24 ORIGINAL BUDGET	2022-23 CARRY FORWARD	2023-24 AMENDED BUDGET
<u>Revenues</u>			
Transfers In	\$ -	\$ -	\$ -
Total Revenues	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>
<u>Expenditures</u>			
Capital Outlay	\$ -	\$ -	\$ -
Total Expenditures	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>

**CITY OF MADISON HEIGHTS
AMENDED BUDGET FY 2023-24**

Municipal Building (470)	2023-24 ORIGINAL BUDGET	2022-23 CARRY FORWARD	2023-24 AMENDED BUDGET
<u>Revenues</u>			
Bond Proceeds	\$ -	\$ -	\$ -
Transfers In	-	-	-
Total Revenues	\$ -	\$ -	\$ -
<u>Expenditures</u>			
Capital Outlay	\$ -	\$ -	\$ -
Total Expenditures	\$ -	\$ -	\$ -

Water & Sewer Fund (592)	2023-24 ORIGINAL BUDGET	2022-23 CARRY FORWARD	2023-24 AMENDED BUDGET
<u>Revenues</u>			
Sales of Water	\$ 5,395,832	\$ -	\$ 5,395,832
Sales of Sewer	7,215,000	-	7,215,000
Charges for Services	45,000	-	45,000
Miscellaneous Revenue	143,800	-	143,800
Sale of Fixed Assets	12,000	-	12,000
Department Charges	115,000	-	115,000
Transfers In	-	-	-
Prior Years Fund Balance	(753,583)	306,000	(447,583)
Total Revenues	\$ 12,173,049	\$ 306,000	\$ 12,479,049
<u>Expenditures</u>			
Sewage Disposal	\$ 4,952,294	\$ -	\$ 4,952,294
Water Purchased	2,490,593	-	2,490,593
Water System Maintenance	863,136	-	863,136
Water Tapping & Installation	43,500	-	43,500
Sewer System Maintenance	623,741	-	623,741
General Service Building	206,037	-	206,037
General Administration	1,426,984	-	1,426,984
Capital Outlay	1,415,159	306,000	1,721,159
Debt Service	151,605	-	151,605
Total Expenditures	\$ 12,173,049	\$ 306,000	\$ 12,479,049

Department of Public Services (650)	2023-24 ORIGINAL BUDGET	2022-23 CARRY FORWARD	2023-24 AMENDED BUDGET
<u>Revenues</u>			
Department Charges	\$ 2,328,850	\$ -	\$ 2,328,850
Prior Years Fund Balance	-	-	-
Total Revenues	\$ 2,328,850	\$ -	\$ 2,328,850
<u>Expenditures</u>			
Department of Public Services	\$ 2,328,850	\$ -	\$ 2,328,850
Total Expenditures	\$ 2,328,850	\$ -	\$ 2,328,850

**CITY OF MADISON HEIGHTS
AMENDED BUDGET FY 2023-24**

Motor Pool and Equipment Fund (661)	2023-24 ORIGINAL BUDGET	2022-23 CARRY FORWARD	2023-24 AMENDED BUDGET
<u>Revenues</u>			
Department Charges	\$ 1,034,194	\$ -	\$ 1,034,194
Prior Years Fund Balance	-	-	-
Total Revenues	<u>\$ 1,034,194</u>	<u>\$ -</u>	<u>\$ 1,034,194</u>
<u>Expenditures</u>			
Motorpool	\$ 1,034,194	\$ -	\$ 1,034,194
Total Expenditures	<u>\$ 1,034,194</u>	<u>\$ -</u>	<u>\$ 1,034,194</u>
 Chapter 20 Drain Debt Service Fund (870)			
	2023-24 ORIGINAL BUDGET	2022-23 CARRY FORWARD	2023-24 AMENDED BUDGET
<u>Revenues</u>			
Property Taxes	\$ 850,187	\$ -	\$ 850,187
Total Revenues	<u>\$ 850,187</u>	<u>\$ -</u>	<u>\$ 850,187</u>
<u>Expenditures</u>			
General Administration	\$ 150,000	\$ -	\$ 150,000
Debt Service	700,187	-	700,187
Total Expenditures	<u>\$ 850,187</u>	<u>\$ -</u>	<u>\$ 850,187</u>
 Total Other Funds	<u>\$ 23,095,936</u>	<u>\$ 803,508</u>	<u>\$ 23,899,444</u>
Total General & Other Funds	<u>\$ 61,955,956</u>	<u>\$ 2,894,045</u>	<u>\$ 64,850,001</u>

EXHIBIT B
City of Madison Heights
Explanation of Carryforwards from FY 2022-23 to FY 2023-24

General Fund Revenues (101)	Explanation	Amount	Account Number
Prior Years Fund Balance	Use of Fund Balance	\$ 2,090,537	101-053-6970-000
Total General Fund Revenues		<u>\$ 2,090,537</u>	
General Fund Expenditures (101)	Explanation	Amount	Account Number
City Clerk - Contractual Services	Ordinance update-zoning text rewrite	\$ 4,567	101-215-960-9060
IT - Computer Equipment	Storage Area Network & Host Servers	15,000	101-228-982-0000
General Administration-Community Promotion	Civic Center Plaza Grand Opening Event	1,000	101-248-880-0000
Elections - Forms and Printing	Restock election envelopes/forms	8,000	101-262-729-0000
Elections - Contractual Services	Election equipment maintenance & early voting costs	10,180	101-262-818-0000
HR - Training	Staff Training	1,710	101-270-955-8600
HR - Education	Staff Training	400	101-270-960-0000
Court - Machinery & Equip	Court Recording Equipment	61,506	101-286-982-0000
Police - Tools and Supplies	Vehicle Change Over	51,000	101-301-766-0000
Police - Computer Services	ECW Phone Upgrades	56,400	101-301-818-3000
Police - Vehicles	Animal Control Van #119	35,000	101-301-985-0000
Police - Improvements	Police Department HVAC Replacement (Phase 1 of 3)	486,935	101-301-987-0000
Police - Improvements	Basement Wall Waterproofing	10,000	101-301-987-0000
Police - Improvements	Communications Conduit Reroute	25,000	101-301-987-0000
Police - Improvements	Dispatch Floor Repairs	30,000	101-301-987-0000
Fire - Radio Maintenance	Radio Upgrade	3,000	101-336-851-000
Fire - Furniture	Recliner Replacement	4,500	101-336-981-5000
Fire - Machinery and Equipment	Generator #553	70,000	101-336-982-0000
Fire - ALS Equipment	Tactical Medic Gear	4,000	101-336-982-5000
Fire - Vehicles	Quint (Phase Funding)	150,000	101-336-985-0000
Fire - Vehicles	Ambulance Rescue Truck R71 #713	140,000	101-336-985-0000
Fire - Improvements	Kitchen Renovation	102,839	101-336-987-0000
Fire - Improvements	Fire Station 1 - HVAC Replacement (Phase 1 of 3)	50,000	101-336-987-0000
Fire - Improvements	Fire Station 1 - Roof Replacement	100,000	101-336-987-0000
Solid Waste - Vehicles	Street Sweeper #402 (Phase 1 of 2)	150,000	101-528-985-0000
Community Development-Contractual Service	City Portion of MEDC Grant Rewrite	5,200	101-728-818-0002
Parks - Improvements	Rosie's - Gardenia Parking Lot	75,000	101-752-987-0000
Parks - Improvements	Rosie's - Soccer Field Irrigation	20,000	101-752-987-0000
Parks - Improvements	Rosie's - Pavilion	75,000	101-752-987-0000
Parks - Improvements	Ballfield Lighting Upgrades	298,800	101-752-987-0000
Parks - Improvements	Furnance Huffman Building	8,500	101-752-987-0000
Active Adult Center - Tools & Supplies	Kitchen Items	5,000	101-758-985-0000
Active Adult Center - Vehicles	Senior Van #469	32,000	101-758-985-0000
Total General Fund Expenditures		<u>\$ 2,090,537</u>	
Major Street Fund Revenues (202)	Explanation	Amount	
Prior Years Fund Balance	Use of Fund Balance	\$ 492,508	202-053-692-6970
Total Major Street Fund Revenues		<u>\$ 492,508</u>	
Major Street Fund Expenditures (202)	Explanation	Amount	
MS - Construction	John R Overlay	\$ 492,508	202-450-988-0443
Total Major Street Fund Expenditures		<u>\$ 492,508</u>	
Downtown Development Authority Revenues (248)	Explanation	Amount	Account Number
Prior years fund balance	Use of Fund Balance	\$ 5,000	248-053-692-6970
Total Downtown Development Authority Revenues		<u>\$ 5,000</u>	
Downtown Development Authority Expenditures	Explanation	Amount	
Contractual Services	Tree planting	\$ 4,395	248-863-818-0000
Improvements	Tree planting	605	248-863-987-0000
Total Downtown Development Authority Expenditures		<u>\$ 5,000</u>	

EXHIBIT B
City of Madison Heights
Explanation of Carryforwards from FY 2022-23 to FY 2023-24

Water & Sewer Revenues (590)	Explanation	Amount	Account Number
Prior years fund balance	Use of Fund Balance	\$ 306,000	592-053-692-6970
		<u>Total Water & Sewer Revenues</u>	<u>\$ 306,000</u>

Water & Sewer Expenditures (590)	Explanation	Amount	Account Number
WS - Capital Outlay - Vehicles	Ford 3/4 ton pickup #460	\$ 60,000	592-901-985-0000
WS - Capital Outlay - Improvements	Concrete (Multiple Phases)	246,000	592-901-987-0000

Total Water & Sewer Expenditures \$ 306,000

Total Exhibit B Carryforward items \$ 2,894,045



AGENDA ITEM SUMMARY FORM

MEETING DATE: 7/10/23

PREPARED BY: Matt Lonnerstater, AICP

AGENDA ITEM CONTENT: PEE 23-001 - Proposed Alley Vacation - 601 W. 12 Mile Road

AGENDA ITEM SECTION: Items for Future Public Hearings

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY:

The Community & Economic Development Department has received a request to vacate a 20 ft.-wide improved alley right-of-way located between 601 W. 12 Mile Rd. and 28767 Dartmouth Rd. The alley also provides access to the property at 611 W. 12 Mile Road.

RECOMMENDATION:

Staff recommends that City Council establish a public hearing date for the August 14th, 2022 meeting, at which time staff will provide a detailed report and recommendation. Alternatively, City Council may refer the alley vacation to the Planning Commission for further study.



MEMORANDUM

Date: June 30th, 2023

To: City of Madison Heights City Council

From: Matt Lonnerstater, AICP – City Planner

Subject: Alley Vacation Request #PEE 23-0001 – Alley between 601 W. 12 Mile Road and 28767 Dartmouth Road.

Introduction

The Community & Economic Development Department has received a request to vacate a 20 ft.-wide improved alley right-of-way located between 601 W. 12 Mile Rd. and 28767 Dartmouth Rd. The alley also provides access to the property at 611 W. 12 Mile Road. All adjacent property owners have signed the petition.

The aerial image below depicts the location of the alley.



Background

Per Section 23-109 (*Vacation of Streets, Alleys, Etc.*) of Chapter 23 of the Code of Ordinances (*Streets and Sidewalks and Other Public Places*), City Council may consider petitions to vacate a street, alley, or right-of-way. When 100% of adjacent property owners sign the petition, City Council may consider the initial request and appoint a time not less than four weeks thereafter to establish a public hearing. If desired, City Council may, but is not required to, refer the matter to the Planning Commission for study and report back to Council.

601 W. 12 Mile Rd. is improved with a gas station, 28767 Dartmouth Rd. is improved with a single-family residence and detached garage, and 611 W. 12 Mile Rd. is vacant.

When a right-of-way is vacated, the new property is split and allocated to adjacent properties. An eight-inch (8") water line and a twelve-inch (12") sanitary sewer line are located within the existing right-of-way. Therefore, if vacated, the City should retain a public utility easement.

The application has been transmitted to applicable utilities, the Site Plan Review Committee, and the City Engineering Consultant for review; responses will be provided within the forthcoming weeks.

Next Step

Staff recommends that City Council establish a public hearing date for the August 14th, 2022 meeting, at which time staff will provide a detailed report and recommendation. Alternatively, City Council may refer the alley vacation to the Planning Commission for further study.

PETITION FOR VACATING A PUBLIC STREET, ALLEY AND/OR EASEMENT

To the Honorable,
The Mayor and City Council
Madison Heights, Michigan

Date: 6/6/2023

We, the undersigned petitioners, residing at the place set opposite our respective names hereto, being the abutting owners and mortgages of real estate located:

on the west Side(s) of Dartmouth Street
located between Twelve Mile Road and Karam Drive
in _____ Subdivision,

and being entirely in the City of Madison Heights and being 100 percent of the property owners above said area, hereby respectfully pray and petition that you vacate the public (Street, Alley, and/or Easement) lying adjacent to Lot(s) Acreage Parcel(s):

25-14-202-003 of _____ Subdivision (if any) and that said parcel become part of the adjoining property, according to law. Provided, however, that if said (street or alley) is now used or may be used for the general public convenience and welfare for sewers, water and gas mains, electrical lines and telephone lines and because said usages are for the benefit of the general public beyond the above described area and because this vacation is primarily for the private benefit of the undersigned petitioners, the City of Madison Heights, as a condition without existence of which this vacation shall be of no effect, reserves to itself for the benefit and welfare of the general public an easement co-extensive with the vacated (street, alley) for the purposes of general public convenience and necessities such as sewers, water and gas mains, and electrical and telephone lines together with the general right of entry for maintenance purposes in regard to such public conveniences and necessities, and we the undersigned, consent to the easement aforesaid on behalf of ourselves, our heirs, administrators and assigns.

103

e-recorded

LIBER 55006 PAGE 702

0214022

OAKLAND COUNTY TREASURERS CERTIFICATE
I HEREBY CERTIFY that there are no TAX LIENS or TITLES
held by the state or any individual against the within description
and all TAXES on same are paid for five years previous to the
date of this instrument as appears by the records in the office
except as stated.
Reviewed By: RTN

Oct 16, 2020

5.00 E-FILE

Sec. 135, Act 206, 1893 as amended
ANDREW E. MEISNER, County Treasurer

Not Examined

LIBER 55006 PAGE 702
\$21.00 DEED - COMBINED
\$4.00 REMONUMENTATION
\$5.00 AUTOMATION
\$1,505.00 TRANSFER TX COMBINED
10/16/2020 06:21:11 PM RECEIPT# 168966
PAID RECORDED - Oakland County, MI
Lisa Brown, Clerk/Register of Deeds



WARRANTY DEED

File No.: MI-20-3945

Drafted by:

Peter Joelson, Title Solutions Agency, LLC, 41486 Wilcox Road Suite 2, Plymouth, MI 48170

When recorded return to:

Title Solutions Agency, LLC, 41486 Wilcox Road Suite 2 Plymouth, MI 48170

THE GRANTOR, Cheryl A. Jamieson f/k/a Cheryl Ann Coldren

Whose address is: 28767 Dartmouth Street Madison Heights, MI 48071

Conveys and Warrants to Brian Najor

Whose address is: ~~28767 Dartmouth Street Madison Heights, MI 48071~~ 600 N. Old Woodward St 100 Birmingham, MI 48009
Legal Description: City of Madison Heights, County of Oakland, State of Michigan, to wit:

Lot 12, ASSESSOR'S PLAT NO. 2, also vacated South 3 feet of alley lying Northerly of Lot 12 and Southerly of Lots 5 through 11, also that part of vacated alley lying West of Lot 12, according to the plat thereof as recorded in Liber 118 of Plats, Page 13, Oakland County Records.

Tax Parcel No.: 25-14-202-004

Commonly known as: 28767 Dartmouth Street Madison Heights, MI 48071

For the sum of ONE HUNDRED SEVENTY FIVE THOUSAND AND 00/100 Dollars (\$175,000.00)

The Grantor grants to the Grantee the right to make (ALL) divisions under section 108 of the land division act, Act 288 of the Public Act of 1967.

If the land being conveyed is unplatted, the following is deemed to be included: "This property may be located within the vicinity of farmland or farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act."

Subject to easements, reservations and restrictions of record.

Page 1 of 2

LIBER 55006 PAGE 703

Attached to and becoming part of the Warranty Deed, on this October 14, 2020, file # MI-20-3945, between Cheryl A. Jamieson FKA Cheryl Ann Coldren, grantor(s) and Brian Najor, grantee(s).

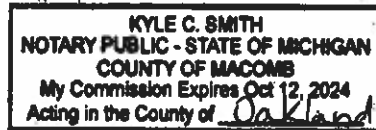
Dated: October 14, 2020

Signed and Sealed:

Cheryl A. Jamieson FKA Cheryl Ann Coldren
Cheryl A. Jamieson FKA Cheryl Ann Coldren

STATE OF Michigan } ss
COUNTY OF Oakland }

On this October 14, 2020, before me personally appeared Cheryl A. Jamieson f/k/a Cheryl Ann Coldren to me known to be the person(s) described in and who executed the foregoing instrument and acknowledged that he/she/they executed the same as his/her/their free act and deed.



[Signature]
_____, Notary Public
_____, County, Michigan
My Commission Expires: _____
Acting in: _____

OAKLAND COUNTY TREASURER'S CERTIFICATE
This is to certify that there are no delinquent property
taxes as of this date owed to our office on this property.
No representation is made as to the status of any taxes,
tax liens or titles owed to any other entities.

Item 10.

SEP 08 2020 RTN

5.00

ANDREW E. MEISNER, County Treasurer
Sec. 135, Act 206, 1893 as amended

181987
LIBER 54798 PAGE 175
\$26.00 DEED - COMBINED
\$4.00 REMONUMENTATION
09/10/2020 09:41:06 A.M. RECEIPT# 142231
PAID RECORDED - OAKLAND COUNTY
LISA BROWN, CLERK/REGISTER OF DEEDS

WARRANTY DEED
(Statutory Form - Entity)

Know all persons by these presents; that QSL Madison Heights RE, LLC
whose address is 555 Puritan, Birmingham, Michigan 48009

Conveys and warrants(s) to, 611 Madison Property, LLC, a Michigan limited liability company
whose address is 600 North Old Woodward Avenue, Suite 100, Birmingham, MI 48009

Land situated in the City of Madison Heights, County of Oakland, State of Michigan, described as follows:

All that part of a parcel of land in Section 14, Town 1 North, Range 11 East, described as: Beginning at a point on the North line of said Section 14, which is 1644.8 feet West of the Northeast corner of said Section 14; thence South 00 degrees 07 minutes West 425.8 feet; thence West parallel to Section line 474 feet; thence North 00 degrees 07 minutes East 425.9 feet; thence East on North Section line 474 feet to the point of beginning, which lies Southeasterly of a line described as: Beginning at the Northwest corner of Lot 11, Assessor's Plat No. 2, as recorded in Liber 118 of Plats, Page 13, Oakland County Records; thence North 90 degrees 00 minutes 00 seconds West along the North line of said Lot 11 (extended) a distance of 61.47 feet; thence South 02 degrees 42 minutes 20 seconds East a distance of 22.11 feet; thence South 54 degrees 55 minutes West a distance of 268.85 feet; thence South 25 degrees 29 minutes 00 seconds West a distance of 350 feet and a point of ending.

Commonly known as: 611 W 12 Mile Rd, Madison Heights, MI 48071
Parcel I.D. Number: 25-14-202-030 & 25-14-202-031

For the full consideration of -SEE REAL ESTATE TRANSFER TAX VALUATION AFFIDAVIT-
Subject to:

(a) Highway Easement in favor of the Board of County Road Commissioners of the County of Oakland, and terms conditions and provisions contained therein, recorded in Liber 6211, page 216, Oakland County Register of Deeds; and

(b) Permanent Easement for ingress and egress, and the terms, conditions and provisions contained therein, recorded in Liber 11022, page 588, Oakland County Register of Deeds.

44/3 89/33

OK-AB

Dated: 25 day of August, 2020

REVENUE TO BE AFFIXED
AFTER RECORDING

2020 SEP -3 PM 2:01

RECEIVED
OAKLAND COUNTY
REGISTER OF DEEDS

Page 2 of Warranty Deed between QSL Madison Heights RE, LLC, a ~~Michigan Limited Liability Company~~
(Grantor) and 611 Madison Property, LLC, a Michigan limited liability company (Grantee)

SELLER(S) QSL Madison Heights RE, LLC

By: 


Milton Feldberg, Manager

State of Michigan

County of Oakland

On this 25th day of August, 2020, before me personally appeared QSL Madison Heights RE, LLC, by Milton Feldberg, Its Manager, known to me to be the person(s) described in and who executed the foregoing instrument and acknowledged that they executed same as their free act and deed.

NADA MARKOVIC JUDGE
Notary Public, State of Michigan
County of Oakland
My Commission Expires Jun. 15, 2023
Acting in the County of Oakland


Notary Public
Oakland County, Michigan
Acting in Oakland County
My Commission Expires: 6-15-23

Instrument drafted without opinion by:	When recorded return to
Walter Quillico, ESQ. 28470 W. 13 Mile Rd., Suite 325 Farmington Hills, MI 48334	611 Madison Property, LLC 600 North Old Woodward, Ste. 100 Birmingham, MI 48009

TC13-89133

↓
Title Connect LLC
a title insurance agency
28470 W. 13 Mile Rd. Suite 325
Farmington Hills, MI 48334

MEMORANDUM OF LAND CONTRACT

Know all men by these presents that a certain land contract, dated, 1st day of December, 2020, has been executed between Casey Developments, L.L.C., a Michigan Limited Liability Company, as "Seller", whose address is 49649 Red Pine Drive, Macomb, MI 48044

and MAD Fuels Holdings LLC, as "Purchaser(s)", whose address is 600 North Old Woodward Avenue, Suite 100, Birmingham, MI 48009

the following described premises:

Land situated in the City of Madison Heights, County of Oakland, State of Michigan, described as follows:

Lots 5 through 11, inclusive, except the North 7 feet thereof deeded for highway purposes, Assessor's Plat No. 2, according to the plat thereof, as recorded in Liber 118 of Plats, Page 13, Oakland County Records.
25-14-202-003

CKA: 601 W. 12 mile Rd, Madison Heights, MI 48071

The purpose of this instrument is to give notice of the existence of the aforesaid land contract and the rights of the Purchaser(s) thereunder.

IN WITNESS WHEREOF, the Seller(s) and Purchaser(s) have executed this Memorandum of Land Contract on 1st day of December, 2020

SELLER(S). Casey Developments, L.L.C., a Michigan Limited Liability Company

By: *May Najem*
May Najem, Managing Member

STATE OF: MICHIGAN
COUNTY OF: Oakland

On this 1st day of December, 2020, before me personally appeared Casey Developments, L.L.C., a Michigan Limited Liability Company, by May Najem, Managing Member, known to me to be the person(s) described in and who executed the foregoing instrument and acknowledged that they executed same as their free act and deed.

Deborah M. Hamilton
Notary Public Deborah M. Hamilton County Oakland
My Commission expires on: 12-11-2024

DEBORAH M. HAMILTON
Notary Public, State of Michigan
County of Oakland
My Commission Expires Dec. 11, 2024
Acting in the County of Oakland

TC-13-94566

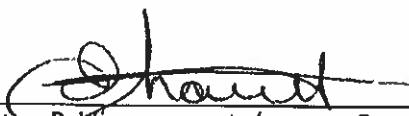
PURCHASER(S): **MAD Fuels Holdings LLC, a Michigan Limited Liability Company**

By: 

Brian Najor, Manager

STATE OF: **MICHIGAN**
COUNTY OF: **OAKLAND**

On this 1st day of **December**, 2020, before me personally appeared **MAD Fuels Holdings LLC, a Michigan Limited Liability Company**, by **Brian Najor, Manager**, known to me to be the person(s) described in and who executed the foregoing instrument and acknowledged that they executed same as their free act and deed.


Notary Public **Oakland** County
My Commission expires on: **3-7-2021**

Shannel Konja
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF **Oakland**
My Commission Expires **03/07/2021**
Acting in the County of **Oakland**

Drafted by and without opinion by:	When recorded return to:
Walter Quillico, ESQ 28470 W. 13 Mile Road, Suite 325 Farmington Hills MI 48334	MAD Fuels Holdings LLC 600 North Old Woodward Avenue, Suite 100 Birmingham, MI 48009

TC13-94566



November 29, 2022

VIA ELECTRONIC MAIL

Keith Maziasz
Senior Vice President
Najor Companies
600 N. Old Woodward
Suite 100
Birmingham, MI 48009

**RE: VACATION OF PUBLIC ALLEY IN THE CITY OF MADISON HEIGHTS
ON DARTMOUTH STREET AND 12 MILE ROAD**

Dear Mr. Maziasz,

Comcast is in receipt of your email on the above referenced vacation of public alley in the City of Madison Heights and requesting confirmation that Comcast has no facilities impacted with the request to vacate the alley.

We have reviewed the request with the map provided and determined that Comcast has aerial facilities in the area marked by a rectangle on the attached map. Do let us know if this area needs to be vacated.

Should you have any questions or concerns regarding this matter, please do not hesitate to contact me directly at (404) 821-2010 or our Senior Manager of Construction, Jeff Dobies at (313) 363-8027.

Thank you for your attention to this important matter.

Sincerely,

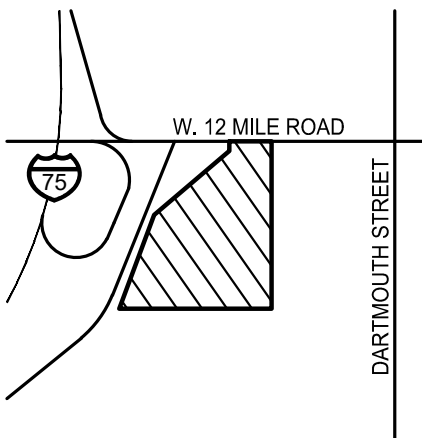
Therese Imachukwu

Therese Imachukwu
Senior Manager

cc. Jeff Dobies



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT

NAJOR COMPANIES
600 NORTH OLD WOODWARD, SUITE 100
BIRMINGHAM, MICHIGAN 48009

PROJECT TITLE

**NAJOR
12 MILE & I-75**
611 W. 12 MILE ROAD
MADISON HEIGHTS, OAKLAND COUNTY, MI

REVISIONS

ORIGINAL ISSUE DATE:
XXXXXX, 2020

DRAWING TITLE
**TOPOGRAPHIC
SURVEY**

PEA JOB NO. 2020-0409
P.M. GWC
DN. LKP
DES.
DRAWING NUMBER:

1

REFERENCE DRAWINGS

ALTANERS LAND TITLE SURVEY, KEM-TECH PROJECT NO. 19-00397, DATED MARCH 04, 2019

LEGAL DESCRIPTION

PARCEL ID 25-14-202-030
T1N, R11E, SEC 14, PART OF NE 1/4, BEG AT NW COR OF LOT 11 OF 'ASSESSORS PLAT NO 2', TH W 61.47 FT, TH S 00-42-20 E 22.11 FT, TH S 54-55-50 W 268.95 FT, TH S 25-29-00 W 85.06 FT, TH E 317.32 FT, TH N 00-07-00 E 253.37 FT TO BEG 1.06 A 8/22/89 FR 002

PARCEL ID 25-14-202-031

T1N, R11E, SEC 14, PART OF NE 1/4, BEG AT PT DIST S 00-07-00 W 253.37 FT FROM NW COR OF LOT 11 OF 'ASSESSORS PLAT NO 2', TH W 317.32 FT, TH S 25-29-00 W 132.42 FT, TH E 374.05 FT, TH N 00-07-00 E 119.53 FT TO BEG 0.95 A 8/22/89 FR 002

BENCHMARKS

BM #300 (KEM-TEC SITE BM #1)
ARROW ON A HYDRANT LOCATED ON THE EAST SIDE OF THE PROPERTY, APPROX. 50'± SOUTH OF THE ALLEY.
ELEV. - 638.35

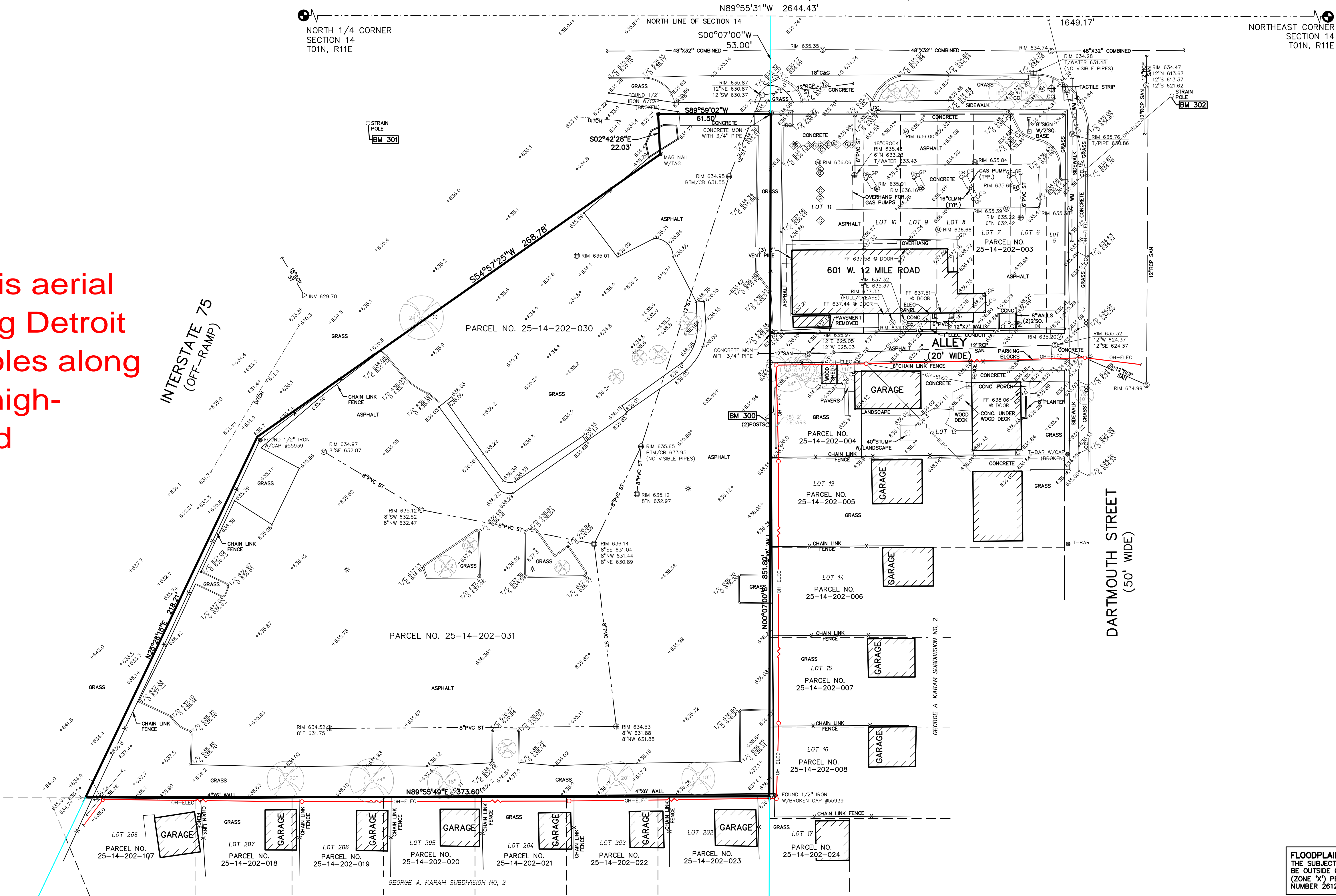
BM #301 (KEM-TEC SITE BM #2)
CHISELED 'X' ON THE SOUTHEAST BOLT OF A STRAIN POLE LOCATED AT THE SOUTHEAST CORNER OF W. 12 MILE RD & I-75 RAMP.
ELEV. - 637.07

BM #301
CHISELED 'X' ON THE SOUTHWEST BOLT OF A STRAIN POLE LOCATED AT THE SOUTHEAST CORNER OF W. 12 MILE RD & DARTMOUTH ST.
ELEV. - 635.80

LEGEND

- IRON FOUND
- IRON SET
- NAIL FOUND
- NAIL & CAP SET
- BRASS PLUG SET
- MONUMENT FOUND
- MONUMENT SET
- SEC. CORNER FOUND
- RECORDED
- MEASURED
- CALCULATED
- EXISTING
- OH-ELEC-W
- UG-CATV
- UG-PHONE
- UG-ELEC
- WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- SQUARE, ROUND BEEHIVE CATCH BASIN, YARD DRAIN
- POST INDICATOR VALVE
- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MALIBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIGN
- CONC.
- ASPH.
- GRAVEL
- GRAVEL SHOULDER

W. 12 MILE ROAD
(VARIABLE WIDTH)



Comcsat is aerial
on existing Detroit
Edison poles along
the path high-
lighted red

FLOODPLAIN NOTE:
THE SUBJECT PARCEL LIES WITHIN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN (ZONE 'X') PER FEMA FLOOD INSURANCE RATE MAP NUMBER 26125C0563F, A NON-PRINTABLE PANEL

REVIEW OF ALLEY VACATION IN MADISON HEIGHTS

LEGAL DESCRIPTION

PARCEL ID 25-14-202-031
T1N, R11E, SEC 14, PART OF NE 1/4, BEG AT PT DIST S 00-07-00 W
253.37 FT FROM NW COR OF LOT 11 OF 'ASSESSORS PLAT NO 2', TH
317.32 FT, TH S 25-29-00 W 132.42 FT, TH E 374.05 FT, TH N
00-07-00 E 119.53 FT TO BEG 0.95 A 8/22/89 FR 002

CHISELED 'X' ON THE SOUTHWEST BOLT OF A STRAIN POLE LOCATED
THE SOUTHEAST CORNER OF W. 12 MILE RD & DARTMOUTH ST.
ELEV. - 434.80

 IRON FOUND
 IRON SET
 NAIL FOUND
 NAIL & CAP SET
 BRASS PLUG SET
 MONUMENT FOUND
 MONUMENT SET
 SEC. CORNER FOUND
 RECORDED
 MEASURED
 CALCULATED

114



PROJECT TITLE

811 W. 12 MILE ROAD
JACKSON HEIGHTS, CHARLAME-COUNTY, N.

ORIGINAL ISSUE DATE:
XXXXXX, 2020

REA JOB NO 2020 0408

FEA JOB NO.	2020-0409
PM	SHS

PK GWG

DN _____ LKP _____

DES _____

DRAWING NUMBER:

113

FLOODPLAIN NOTE:
THE SUBJECT PARCEL LIES WITHIN AREA DETERMINED TO
BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN
(ZONE 'X') PER FEMA FLOOD INSURANCE RATE MAP
NUMBER 28125C0563F, A NON-PRINTABLE PANEL.

