



CITY OF MADISON HEIGHTS
COUNCIL CHAMBERS - CITY HALL, 300 W. 13 MILE RD.
PLANNING COMMISSION MEETING AGENDA
FEBRUARY 21, 2023 AT 5:30 PM

CALL TO ORDER

ROLL CALL

ADDITIONS/DELETIONS

APPROVAL OF MINUTES

- [1.](#) January 17th, 2023 PC Meeting

PUBLIC HEARING

- [2.](#) **Rezoning Request No. PRZN 23-01** by Goodwill Industries of Greater Detroit to rezone one (1) parcel of land located at 31010 John R Road (TM# 44-25-01-351-017) from B-1, Local Business district, to B-2, Planned Business district.

MEETING OPEN TO THE PUBLIC: Items not listed on agenda

UNFINISHED BUSINESS

NEW BUSINESS

- [3.](#) Zoning Ordinance Rewrite Update and Discussion - City Center and Mixed Use Innovation Districts, Missing Middle Housing, and Business Districts.

MEMBER UPDATES

PLANNER UPDATES

- [4.](#) 2023 Development Update

ADJOURNMENT

NOTICE: Persons with disabilities needing accommodations for effective participation through electronic means in this meeting should contact the City Clerk at (248) 583-0826 or by email: clerks@madison-heights.org at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.



CITY OF MADISON HEIGHTS

PLANNING COMMISSION MEETING MINUTES

January 17, 2023

Council Chambers – City Hall

300 W. 13 Mile, Madison Heights, MI 48071

1. CALL TO ORDER

Chair Champagne called the meeting of the Madison Heights Planning Commission to order at 5:31 p.m.

2. ROLL CALL

Present: Chair Josh Champagne
 Commissioner Eric Graettinger
 Mayor Roslyn Grafstein
 Mayor Pro Tem Mark Bliss
 Commissioner Melissa Kalnasy
 City Manager Melissa Marsh
 Member Grant Sylvester (arrived at 5:36 pm)

Absent: Commissioner Cliff Oglesby

Also Present: City Planner Matt Lonnerstater
 Assistant City Attorney Tim Burns
 Business Services Coordinator Mary Daley

3. PUBLIC HEARING

Public Hearing was opened by the Chair at 5:32 p.m. Seeing there were no comments from the public, the Chair closed the hearing at 5:33 p.m.

4. UNFINISHED BUSINESS – None

5. NEW BUSINESS

a. Zoning Ordinance Rewrite Update and Workshop #2 Information

Planner Lonnerstater briefed the Commission on the status of the Zoning Ordinance rewrite. Staff has been working diligently with Consultants Mckenna Associates on the project and is in the process of reviewing the first draft. Planner Lonnerstater lead some brief discussion with the Commission members sharing some of their thoughts and expectations, including the intent and purpose of the proposed Mixed Use Innovation zoning district. A more comprehensive first draft will be provided to the Planning Commission in the next few months allowing for an extensive detailed review.

Staff, along with McKenna, will be hosting a second Zoning ordinance workshop on Tuesday, February 7th from 5-7 pm at Fire Station #1. This will be an informal open house format. Commissioners are encouraged to attend.

b. 2022 ANNUAL REPORT

Per Charter requirement, the Planning Commission shall review and approve an annual report at the first meeting of the year. Planner Lonnerstater reviewed the 2022 report highlighting major projects, applications, and milestones throughout the past calendar year.

Motion by Sylvester, seconded by Graettinger to accept and certify the report as written and send a copy to City Council.

Motion carries unanimously.

c. ELECTION OF PLANNING COMMISSION OFFICERS: CHAIR, VICE-CHAIR, SECRETARY

Motion by Sylvester, seconded by Grafstein to appoint Josh Champagne as Chairperson, Eric Graettinger as Vice Chairperson, and Melissa Kalnasy as Secretary.

Motion carries unanimously.

6. MEMBER UPDATES

There was a brief update given by Commissioner Marsh on the potential transformation of Red Oaks Golf Course to a Park. The Oakland County Commission removed it from the eligible American Rescue Plan Act (ARPA) funding. It is still on Oakland County Parks and Recreation's radar, but they do not have a budget to redevelop it currently. They are working to add additional programming such as junior golf, adding outdoor seating at the Pro Shop, and adding connector walking paths.

Commissioner Sylvester suggested we work closely with SMART to ensure that there is seating in all bus stops. There was some further discussion pertaining to the history of this matter and how the City can work together with SMART to ensure there is funding to provide seats for bus stops in Madison Heights.

7. PLANNER UPDATES

2022 Development Report – Special Uses and Site Plans

Per request from a previous meeting, Planner Lonnerstater presented the Commission with an update on special use and site plan submittals and briefly reviewed them and where they stand currently.

8. ADJOURNMENT OF MEETING

Meeting adjourned by the Chair at 6:15 pm.



MEMORANDUM

Date: February 15th, 2023
 To: City of Madison Heights Planning Commission
 Meeting Date: February 21st, 2023
 From: Matt Lonnerstater, AICP – City Planner
 Subject: Rezoning Request PRZN 23-01 – 31010 John R Rd. – B-1 to B-2
 Recommendation: Approval

Introduction

The applicant, Jeff Ukraine on behalf of Goodwill Industries of Greater Detroit, requests to rezone one (1) parcel of land at **31010 John R Road** (PIN Number 44-25-01-351-017) from **B-1, Local Business, to B-2, Planned Business**. The subject property is located at the northeast corner of John R. Road and W. 13 Mile Road.

Background

The subject site consists of one (1) parcel which contains a total area of approximately 1.31 acres. The site is improved with an existing 11,000 sq. ft. commercial structure most recently occupied by CVS Pharmacy and Spirit Halloween; the structure is currently vacant.

The applicant requests a rezoning to B-2, Local Business, to open a Goodwill retail store within the existing building. Because Goodwill sells used products (such as clothing, electronics, furniture, and home goods), the store is classified as a *used good use* per the Madison Heights Zoning Ordinance. Per Section 10.502(A) of the Zoning Ordinance, *used good uses* are considered a regulated use. In addition to used good uses, regulated uses include others that have, “serious objectionable operational characteristics [...]” including, but not limited to, tattoo parlors, pawnbrokers, billiard halls, massage parlors, adult theaters, cabarets, and sexually-oriented businesses. Regulated uses are subject to strict siting standards, as follows:

- Shall not be located within 1,000 feet of another regulated use; and
- Shall only be permitted in the B-2 and B-3 zoning districts after Special Approval by City Council; and
- Shall not be located within 300 feet of a church, a school, a residential zoning district or residential use, a public park, or a childcare facility.

The applicant requests a B-2 zoning designation as the first step in obtaining regulated use approval. Additional approvals, including Special Approval through City Council, a dimensional variance through the Zoning Board of Appeals, and site plan approval through the Site Plan Review Committee, will be necessary prior to obtaining a Certificate of Occupancy for the proposed use.

Note that approval of the rezoning would not constitute approval of the Special Approval Use, dimensional variance, or site plan.

Zoning and Land Use Considerations

Per the Zoning Ordinance, the existing B-1, Local Business zoning district is, “*designed to meet the day-to-day convenience shopping and service needs of persons residing in adjacent residential areas.*” Conversely, the proposed B-2, Planned Business district is designed, “*to cater to the needs of a larger consumer population than is served by the Local Business District, and [is] generally characterized by an integrated cluster of establishments served by a common parking area and generating large volumes of vehicular and pedestrian traffic.*”

The Planning Commission should consider all the potential uses that could be developed on this site if it were to be zoned B-2. These uses are highlighted in the table below, compared with uses permitted under the current B-1 zoning designation:

Uses permitted in B-1 and B-2 Zoning Districts

USE	B-1 Local Business	B-2 Planned Business
General Retail Business	P	P
Personal Service (e.g. beauty parlors, barbershops)	P	P
Office Uses	P	P
Medical Offices	P	P
Restaurants	P	P
Gas Stations	S*	S*
Equipment Rental	S	P
Bars	S	S
Theaters/Assembly Halls		P
Bowling Alley		P
Motor Vehicle Repair/Maintenance		S
Indoor/Outdoor Recreational Uses		S
Regulated Uses		S*

P = Permitted by Right S = Special Approval Required Blank = Not Permitted

**Subject to additional siting requirements.*

Significant uses permitted in the B-2 district not currently allowed under the B-1 designation include motor vehicle maintenance, regulated uses, and indoor/outdoor recreation. However, these uses would be subject to additional Special Approval use review and approval through City Council.

Staff notes that the existing structure on site is set back approximately 15 feet from the east side property line. While the existing B-1 zoning district does not require any interior side yard setbacks, the proposed B-2 district requires a minimum interior side yard setback of 20 feet. Therefore, if the rezoning is approved, the existing structure would be considered legally non-conforming regarding its side yard setback. Any future building improvements would be subject to the B-2 dimensional standards.

When reviewing a rezoning request, the Planning Commission should review the proposed district’s consistency and compatibility with existing adjacent land uses, zoning designations and the future land use map as laid out in the Master Plan:

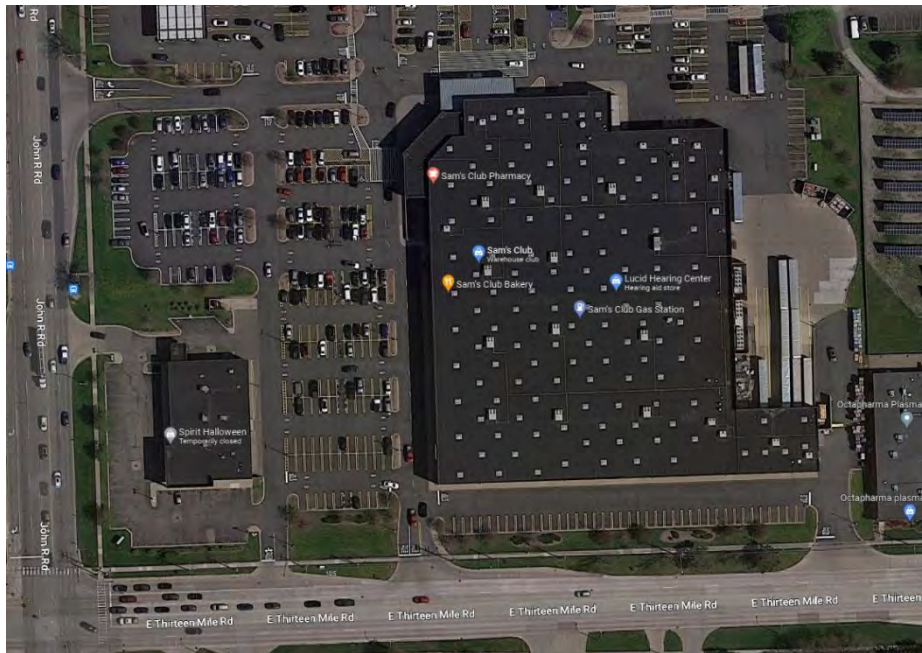
Existing Land Use

Existing adjacent land uses and zoning designations are denoted in the table below:

Existing Land Uses and Zoning

	Existing Land Use	Existing Zoning
Site	Commercial Building (vacant)	B-1, Local Business
North	Parking/Gas Station (Sam's Club)	B-2, Planned Business
South (across 13 Mile)	Retail and Multiple Family Residential	B-1, Local Business, and R-M, Multiple-Family Residential
East	Parking (Sam's Club)	B-2, Planned Business
West (across John R)	Retail	B-1, Local Business

Adjacent land uses consist primarily consist of commercial and retail development, with multi-family residential units across 13 Mile Road. The subject property is located immediately to the west of Sam's Club, and shares curb cuts, drive aisles, and parking with the wholesale club.

Existing Conditions at John R and 13 Mile Road (northeast corner)***Existing Conditions at John R and 13 Mile Road (looking north)***

Source: Google Maps

Future Land Use

Adjacent future land uses, as envisioned by the 2021 Madison Heights Master Plan, are denoted in the table below:

Future Land Use

	Future Land Use
Site	Commercial
North	Commercial
South (across 13 Mile)	Commercial and Multiple-Family
East	Commercial
West (across John R)	Office

The future land use designation of the subject site is *Commercial*. Per the Master Plan, the Commercial designation is intended to accommodate a “*broad range of goods and services*.” Adjacent future land use designations include commercial, office, and multiple-family residential.

Staff Analysis

The subject property is surrounded by the Sam’s Club property (zoned B-2), including their associated parking, drive aisles and gas station. The subject site shares vehicular access points and drive aisles with Sam’s Club and, for all intents and purposes, could be considered an outlot of the Sam’s Club property. Given the subject property’s integration into the surrounding Sam’s Club property, staff believes that the site generally meets the intent of the B-2 zoning district to accommodate an “*integrated cluster of establishments served by a common parking area and generating large volumes of vehicular and pedestrian traffic*.”

Staff finds that the core uses permitted in the B-1 and B-2 districts are fairly consistent with one another. While the B-2 district does permit several uses not allowed in the B-1 district, such as motor vehicle repair facilities and indoor/outdoor recreation, the more intensive uses require Special Approval through City Council. The Special Approval requirement ensures that additional review, action, and conditions of approval can be made on a case-by-case basis.

If the B-2 rezoning request is approved, any major re-development on the subject parcel would be subject to site plan approval through the Site Plan Review Committee. Certain uses, such as the potential used goods use/regulated use, would require Special Approval through City Council and further action through the Zoning Board of Appeals. As previously noted, if the rezoning is approved, the existing structure would be considered legally non-conforming regarding its side yard setback. Any future building improvements would be subject to the B-2 dimensional standards.

Findings and Recommendation

1. The applicant requests a rezoning from B-1, Local Business, to B-2, Planned Business, to open a used goods use within the existing structure on site. The B-2 district permits a range of general commercial, retail, restaurant, and office uses. The uses permitted in the B-2 district are generally appropriate for the subject site.
2. The proposed B-2 district is generally compatible and consistent with adjacent retail uses, including the Sam’s Club wholesale facility that surrounds the subject site. The subject site

shares vehicular access points, drive aisles, and parking with the Sam's Club, which is consistent with the intent of the B-2 zoning district.

3. The proposed B-2 District is compatible with adjacent B-1 and B-2 zoned parcels, as well as Multiple-Family-zoned parcels across 13 Mile Rd.
4. The proposed B-2 District is aligned with the "Commercial" future land use designation for the subject site.
5. The Site Plan Review Committee (SPRC) reviewed the proposed rezoning request at their January 25th, 2023 meeting and did not express any objections. The SPRC will separately review additional applications relating to this project, if submitted, including special use, variance, and site plan submittal. Special Approval through City Council is required for used good uses (subject to additional siting standards for regulated uses).

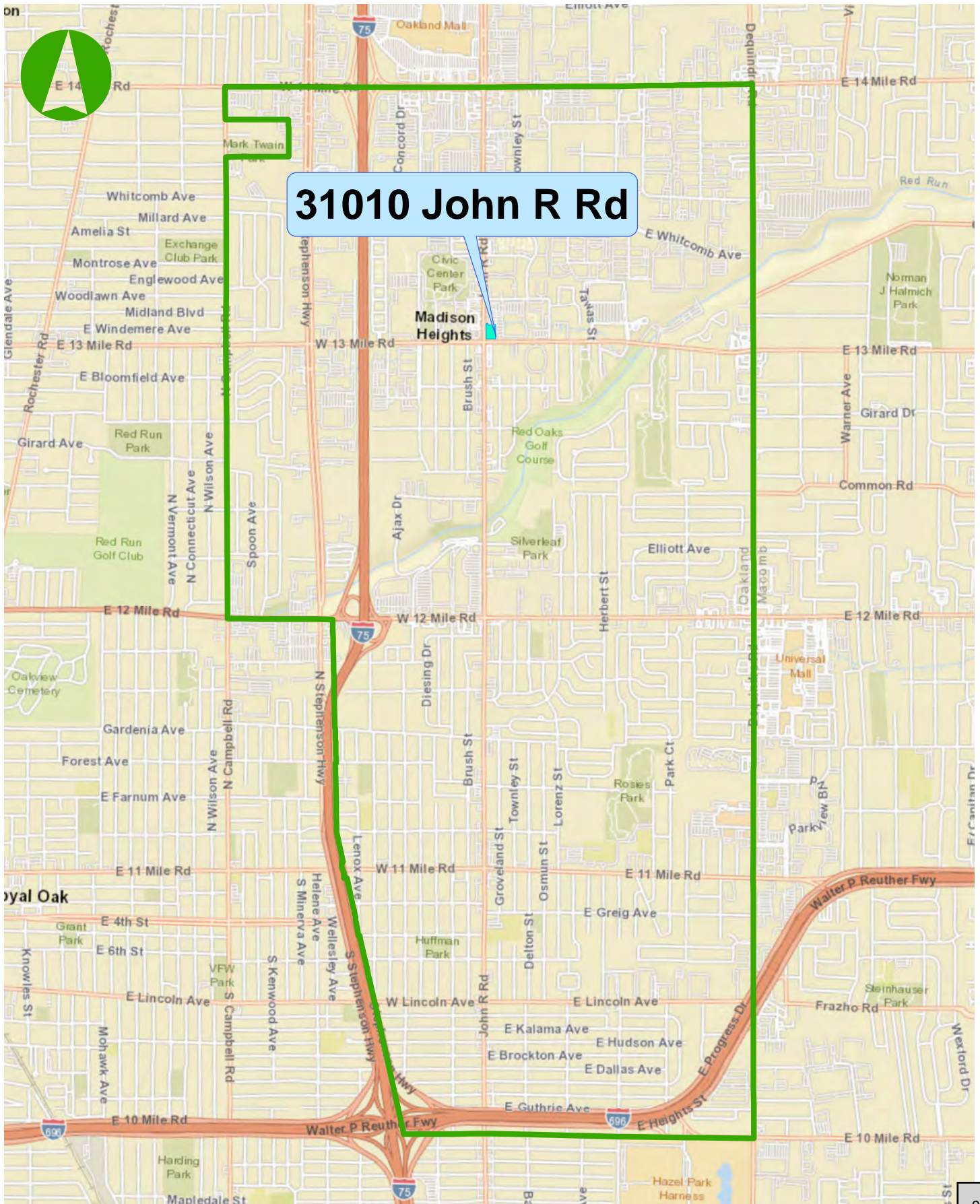
Based on these findings, staff recommends that the Planning Commission recommend to City Council **approval** of the requested rezoning from B-1, Local Business, to B-2, Planned Business, on the subject property at 31010 John R Rd.

Additional Policy Considerations

As a separate policy discussion, staff advises the Planning Commission to consider the full list of *Regulated Uses* per Section 10.502(A) of the Zoning Ordinance. In particular, staff encourages the Planning Commission to discuss whether or not certain non-adult/non-sexually oriented uses currently classified as regulated uses (such as tattoo parlors, used good uses, and billiard/pool halls) are still considered to have "*objectionable operational characteristics*" or contribute to the "*blighting or downgrading of the surrounding neighborhood*." If desired by the Planning Commission and City Council, modifications to the Regulated Uses section may be made as part of the City's ongoing Zoning Ordinance rewrite project to reduce the administrative burden for business owners who wish to open such businesses in Madison Heights.

Next Step

After the public hearing and discussion, the Planning Commission may make a recommendation on the proposed rezoning to City Council. **Any motion which includes a recommendation to City Council shall include concise findings of facts.**

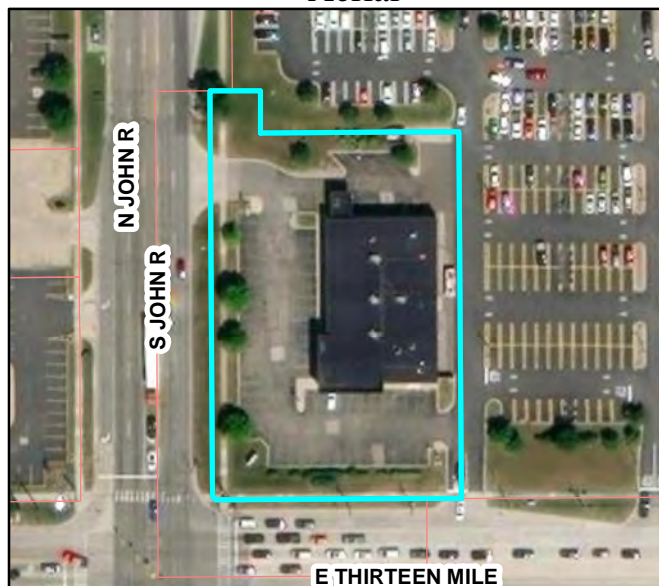


Site Address: 31010 John R Road

[Click for maps](#)

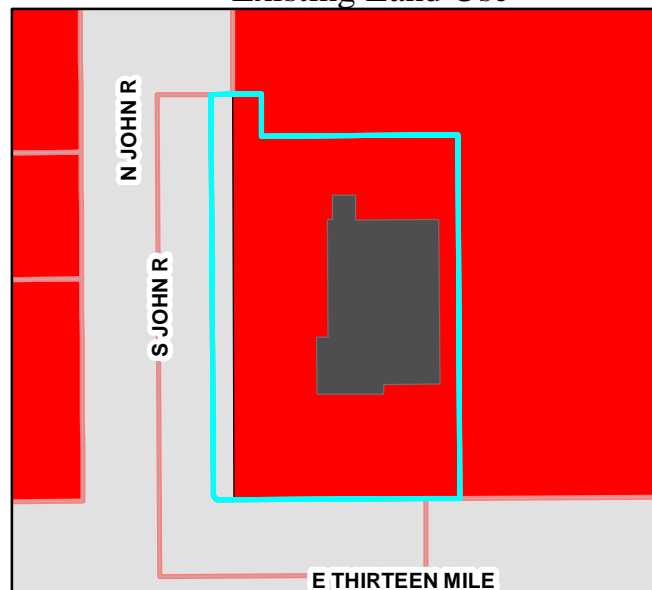


Aerial



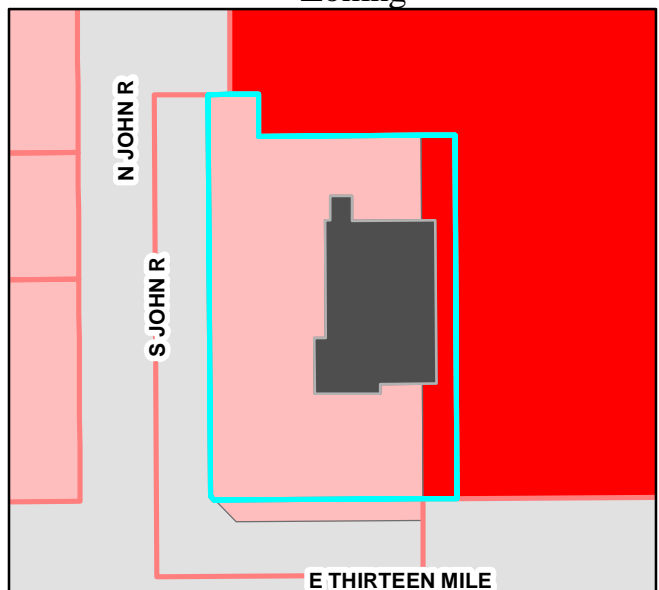
- 31010 John R Rd
- Parcels

Existing Land Use



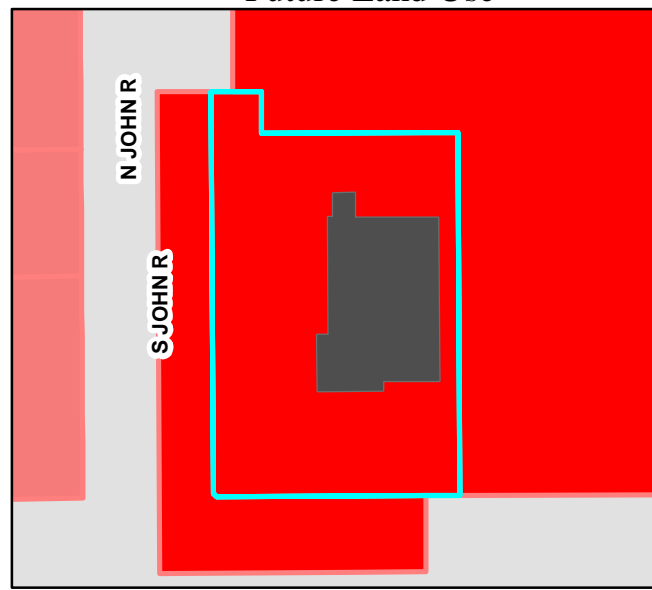
- 31010 John R Rd
- Buildings
- Commercial
- Parcels

Zoning



- 31010 John R Rd
- Buildings
- B-2 Planned Business
- B-1 Local Business
- Parcels

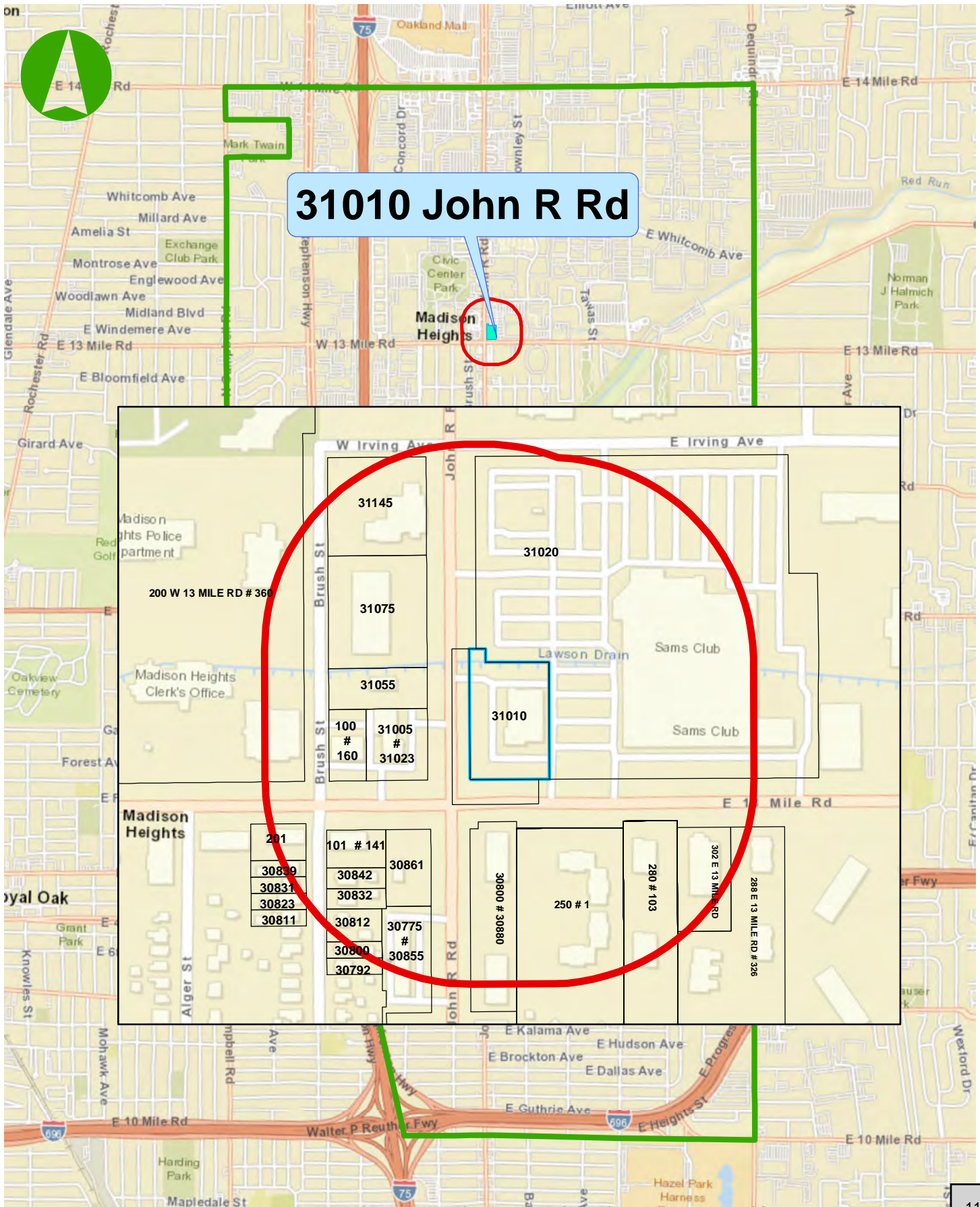
Future Land Use



- 31010 John R Rd
- Buildings
- Commercial
- Office

ZBA CASE: 23 - 01

BUFFER 500 FT



NOTICE OF PUBLIC HEARING

Notice is hereby given that the Madison Heights Planning Commission will hold a public hearing on **Tuesday, February 21st, 2023 at 5:30 p.m.** in the City Hall Council Chambers, 300 West Thirteen Mile Road, Madison Heights, Michigan 48071, to consider the following rezoning requests:

Rezoning Request No. PRZN 23-01 by Goodwill Industries of Greater Detroit to rezone one (1) parcel of land located at 31010 John R Road (TM# 44-25-01-351-017) from B-1, Local Business district, to B-2, Planned Business district.

The application and any supporting documents can be viewed during regular business hours at the Community and Economic Development Department. In addition, the agenda item can be viewed online after 4:00 p.m. on the Friday prior to the meeting at www.madison-heights.org in the Agenda Center.

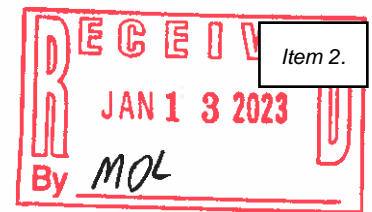
For further information, please contact the Community and Economic Development Department at (248) 583-0831.

Cheryl Rottmann, CMC
City Clerk
(248) 583-0826

Madison-Park News: January 25th, 2023.



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT
300 W. THIRTEEN MILE RD.
MADISON HEIGHTS, MI 48071
(248) 583-0831



Application to Rezone Land

I (we) the undersigned do hereby respectfully apply and petition the City of Madison Heights to amend the Zoning Ordinance by changing the zoning map as hereinafter requested. As part of this application, the following facts are shown:

- Request is hereby made that the following property be rezoned from **B-1** to **B-2**.
- The property address is **31010 John R Rd** and the parcel is located on the **East** side of **John R Rd** street between **13 Mile Rd** and **E Irving Ave** streets.
- The legal description of said property is as follows: (attach separately if necessary)
T1N, R11E, SEC 1 PART OF SW 1/4 BEG AT PT DIST N 379.50 FT & N 89-53-00 E 43 FT FROM SW SEC COR, TH N 89-53-00 E 39.50 FT, TH S 33 FT, TH N 89-53-00 E 154.98 FT, TH S 286.64 FT, TH S 89-54-00 W 191.44 FT, TH N 45-00-00 W 4.30 FT, TH N 316.50 FT TO BEG 1.31 A 2-11-04 FR 012 & 015
- The sidwell number for the property is: **44 25 01 351 017**
- The owner of said property is:
Name: **NADG NNN CPHARM (MH-MI) LP C/o Rob Shelto**
Street Address: **3131 McKinney Ave, Suite L10**
City, State, Zip: **Dallas, TX 75204**
Phone: **(469) 906-7300** Email: **rshelton@nadg.com**
- The Applicant is:
Name: **Goodwill Industries of Greater Detroit, Inc. C/o Jeff Ukrainec**
Street Address: **3111 Grand River Ave**
City, State, Zip: **Detroit, MI 48208**
Phone: **(313) 557-8773** Email: **jukrainec@goodwilldetroit.org**
- The applicant is the:
☐ Owner ☐ Legal Representative ☐ Purchaser ☒ Other **Proposed Lessee with Right of First Refusal to Purchase the Property**
- Description of proposed use: **Goodwill retail store selling new and gently used clothing & accessories, electronics, furniture, home goods, movies, music, books and toys. Creating approximately 25 jobs. Goodwill's Mission is "We build pathways to independence through personal development and the power of work." Goodwill Detroit is a comprehensive social enterprise that use revenue generated to directly support many of life-changing programs, all while directly providing on-the-job training. Goodwill Detroit provides best in class personal and workforce development training program to Metro Detroit residents living with mental health challenges or developmental disabilities, returning citizens, and residents who have been chronically under or unemployed. Their work is cemented in its founding belief in helping people, and their families move from poverty and dependence to prosperity and independence.**

COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT
300 W. THIRTEEN MILE RD.
MADISON HEIGHTS, MI 48071
(248) 583-0831

9. Attached two (2) copies of the plot plan prepared in compliance with the requirements shown in item number three (3) of the "Procedure for Filing Rezoning Application" and the \$1,500.00 application fee.

Signature of Owner: _____

Signature of Applicant: _____

Date: _____

Notary's Signature: _____

Notary's Print Name: _____

Notary Public, State of Michigan, County of: _____

My Commission Expires on: _____

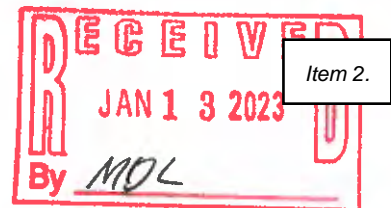
Acting in the County of: _____

Note: All owners of the property must sign this application and all signatures must be notarized, or legal proof of authority to apply, such as a Power of Attorney, must be attached.

ANGELA V. MCKEITH
NOTARY PUBLIC, STATE OF MI
COUNTY OF WAYNE
MY COMMISSION EXPIRES Feb 12, 2027
ACTING IN COUNTY OF Wayne



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT
300 W. THIRTEEN MILE RD.
MADISON HEIGHTS, MI 48071
(248) 583-0831



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4. The sidwell number for the property is: **44 25 01 351 017**
5. The owner of said property is:
Name: **NADG NNN CPHARM (MH-MI) LP C/o Rob Shelto**
Street Address: **3131 McKinney Ave, Suite L10**
City, State, Zip: **Dallas, TX 75204**
Phone: **(469) 906-7300** Email: **rshelton@nadg.com**
6. The Applicant is:
Name: **Goodwill Industries of Greater Detroit, Inc. C/o Jeff Ukrainec**
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Phone: **(313) 557-8773** Email: **jukrainec@goodwilldetroit.org**
7. The applicant is the:
☐ Owner ☐ Legal Representative ☐ Purchaser ☒ Other **Proposed Lessee with Right of First Refusal to Purchase the Property**

Description of proposed use: **Goodwill retail store selling new and gently used clothing & accessories, electronics, furniture, home goods, movies, music, books and toys. Creating approximately 25 jobs. Goodwill's Mission is "We build pathways to independence through personal development and the power of work." Goodwill Detroit is a comprehensive social enterprise that use revenue generated to directly support many of life-changing programs, all while directly providing on-the-job training. Goodwill Detroit provides best in class personal and workforce development training program to Metro Detroit residents living with mental health challenges or developmental disabilities, returning citizens, and residents who have been chronically under or unemployed. Their work is cemented in its founding belief in helping people, and their families move from poverty and dependence to prosperity and independence.**

COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT
 300 W. THIRTEEN MILE RD.
 MADISON HEIGHTS, MI 48071
 (248) 583-0831

9. Attached two (2) copies of the plot plan prepared in compliance with the requirements shown in item number three (3) of the "Procedure for Filing Rezoning Application" and the \$1,500.00 application fee.

Signature of Owner: _____

Signature of Applicant: _____

Date: 1-12-23

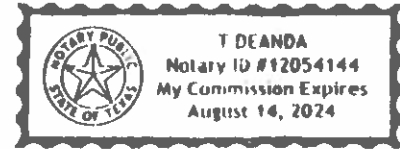
Notary's Signature: T. Deanda

Notary's Print Name: T. Deanda

Notary Public, State of Texas, County of: Dallas

My Commission Expires on: 8-14-2024

Acting in the County of: Dallas



Note: All owners of the property must sign this application and all signatures must be notarized, or legal proof of authority to apply, such as a Power of Attorney, must be attached.

February 10, 2023

Madison Heights Planning Commission
City Hall
300 West Thirteen Mile Road
Madison Heights, MI 48071

RE: Rezoning Request No. PRZN 23-01 at 31010 John R Road (TM# 44-25-01-351-017)

Dear Commissioners:

Prior to our rezoning request hearing scheduled for Tuesday, February 21, 2023, I wanted to introduce myself and my organization, Goodwill Industries of Greater Detroit.

Goodwill of Greater Detroit has signed a letter of intent to lease a vacant property at 31010 John R Road (the former CVS at 13 Mile and John R) for what we hope will be our seventh thrift store in the metro Detroit area. We currently operate successful retail stores in Canton, Livonia, Commerce Township, Woodhaven, Dearborn and Ypsilanti.

Goodwill is best known for donated goods and thrift stores. What many do not know, however, is the significant impact of these stores on the mission of Goodwill and all of the communities we serve. Our mission is to **build pathways to independence through personal development and the power of work**. Our retail stores help to fund the training, development and job-placement programming that we provide to individuals across the five county metro Detroit region.

Here is what a new Goodwill store will bring to Madison Heights:

- **Employment and Inclusion** – Goodwill provides jobs. We will employ local residents, including those living with disabilities.
- **Cool Factor** – Thrifting is in! A store in Madison Heights will attract hip, young shoppers from surrounding areas to browse, buy and dine in your community.
- **Sustainability** – Goodwill is environmentally conscious, diverting goods from landfills. In support of your goals and ours, we reuse and recycle millions of tons annually.
- **Convenience** - Ninety percent of goods donated to Goodwill stores come from nearby residents. We provide an accessible, convenient, in-person experience, without the visual disruption of donation bins.

For your convenience, I have included a brochure with more information about Goodwill of Greater Detroit and our retail portfolio.

I appreciate your consideration and look forward to meeting each of you on February 21. Meanwhile, if you have any questions, please don't hesitate to reach out.

Sincerely,

Jeffrey J. Ukrainec
Vice President, Donated Goods Retail
Office: 313.557.8773 Mobile: 313.550.2268



RETAIL PORTFOLIO 2023



We build pathways to independence
through personal development
and the power of work.

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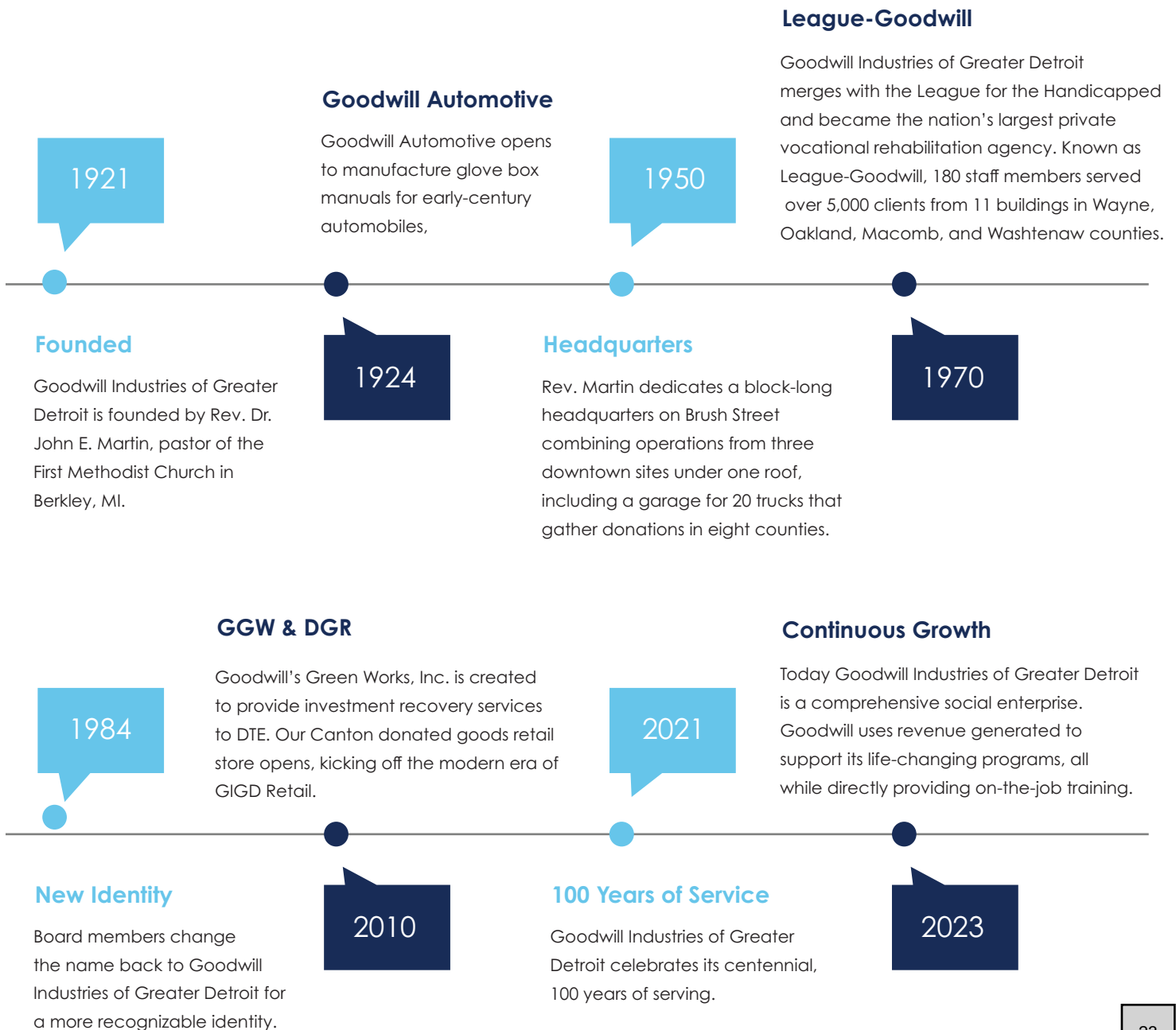
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Contact Information



Our History & Timeline

For over 100 years, Goodwill Industries of Greater Detroit has been a leader in making a difference in people's lives. We are committed to providing second chances, growing and restoring independence and dignity, and improving the quality of life for our community members.





Our Mission In Action



"There's lots of good programs out there, but soon you're on your own. Goodwill helps you get established."

- Parlo, Goodwill's Flip the Script

Goodwill of Greater Detroit is far more than a second-hand clothing retailer. We are a comprehensive enterprise comprised of three distinct operations - Goodwill Donated Goods Retail stores, Goodwill's Green Works and Goodwill Integrated Solutions. Goodwill subsidiaries support life-changing mission programs and provide on the job training.



Our Programs



Flip the Script

Focuses on transforming the lives of justice involved individuals through life skills, education, job placement, financial coaching and post-employment retention services.



Skill Building

Helps adults living with intellectual or developmental disabilities strengthen their functional skills in the areas of employment, financial literacy, communication, socialization, and daily life.



Career Centers

Provide resources and workshops that prepare people for work and assist businesses with locating personnel.



Welding Academy

A 12-week hands-on curriculum, through which participants earn American Welding Society Level-1 Certification.



A Place of Our Own Clubhouse

Provides opportunities for people living with mental illness to engage in society through friendship, employment and support services.



SURGE Center

From stable housing to child care, our coaches assist employees in managing personal and professional challenges that may impede their job performance.



Our Subsidiaries



Goodwill Integrated Solutions

Provides packaging, distribution, kitting, light assembly, rework, and audit/inspection services, shipping over one million pieces a month. As an extension of Goodwill of Greater Detroit, GIS is focused on helping individuals with significant employment barriers obtain and retain employment, earn a living wage, and start on a career path with opportunities for advancement.



Goodwill's Green Works

An industrial recycling facility on Detroit's East Side, providing money-saving asset recovery services that are safe for the environment. Importantly, Green Works provides both transitional work experience and independent employment opportunities for individuals in Goodwill's mission programs and in our communities.

MISSION IMPACT

Read about real stories. Real people. Real impact.



11,700

PEOPLE SERVED

Our mission **served**
11,700 people in 2022.

1,557

JOBS PLACED

1,557 people obtained
competitive employment.

\$17.91

AVG. STARTING
HOURLY WAGES

Job-ready individuals
who participate in
Goodwill programs earn
competitive wages.

94%

JOB
RETENTION

The skills gained through
Goodwill services help
individuals **maintain**
employment beyond 90
days and 91% after 180 days.



Quick Facts

Goodwill International

- Is a network of **166 independent**, community-based organizations in the U.S.
- Total revenue by Goodwill organizations: \$5.4 billion annually, with **3,000+ retail stores**
- Total number of donors (includes repeat donations): **65+ million** annually
- Retail sales: **\$4 billion** annually
- **86% of revenues** funded employment programs and support services

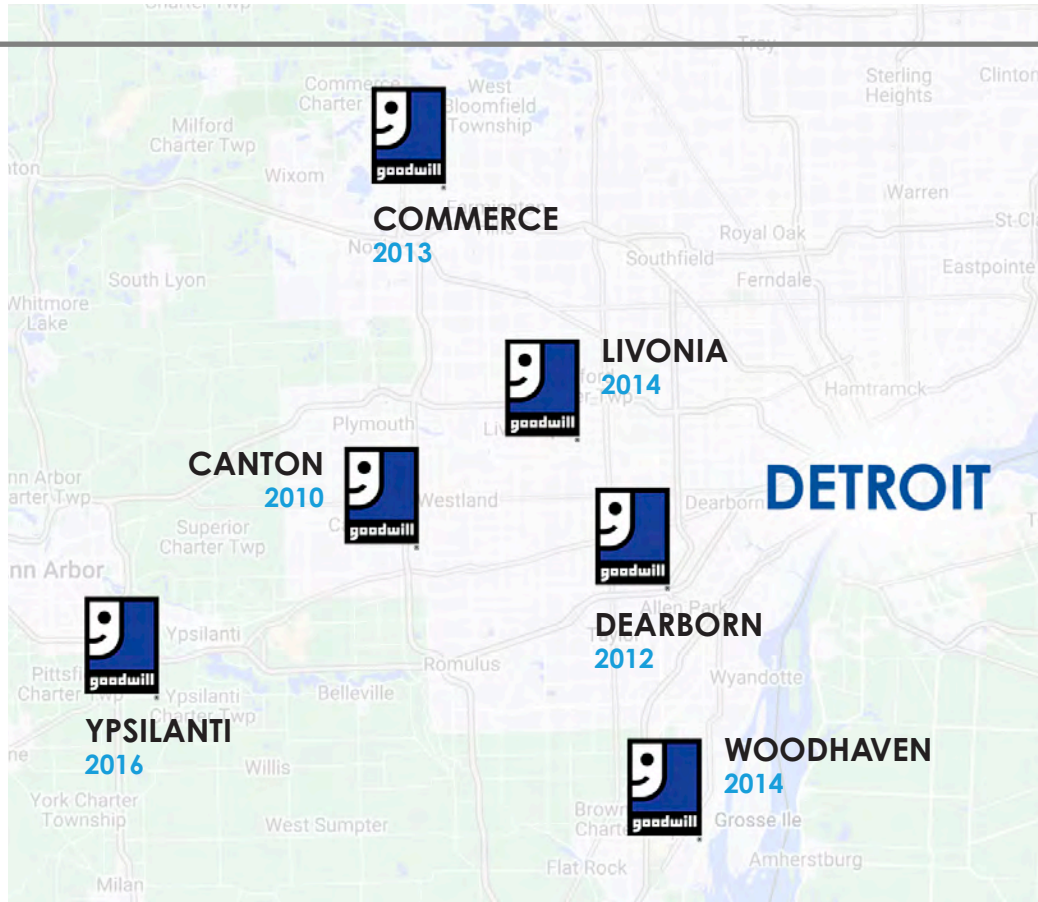
Goodwill of Greater Detroit Retail

- Operates **6 retail stores** across Metro Detroit
- Engages with roughly **30,000 active shoppers** via email; 5,000 are enrolled in our Club Blue loyalty program
- In 2022, same store sales grew by **12%**
- In 2022, donation events up **8%**
- In 2022, **\$6 million in overall sales**





Retail Footprint



Goodwill of Greater Detroit is dedicated to helping our communities. Our stores offer a sustainable solution to the environment, reselling gently-used clothing and household items that would otherwise end up in landfills. Proceeds support our mission programs, which help local residents find independence through personal development and the power of work.



Who Shops & Why?



Frugal Fashionistas

Specifically, Gen Z women looking to save money, find discounted high-end brands, and collect distinct-to-them clothing. They like to have fun while shopping, enjoy finding special items that complete outfits, and appreciate a more sustainable shopping option.



Resellers

Many of our shoppers own local small businesses of their own. They hunt our stores picking unique items that they can use to fill their own shelves. This includes both brick and mortar businesses, as well as online resellers using platforms like eBay and Facebook Marketplace.



Treasure Hunters

For these millenials and boomers, thrifting is in their DNA. Goodwill of Greater Detroit is just one stop on their weekly circuit. They enjoy the process and spend their leisure time looking for unique finds (home goods and clothing). When they find something cool, they tell people about it.



Minimizers

The primary reason many people shop Goodwill of Greater Detroit is to help reduce their household spending. For families with young kids, it's a great place for clothes they will outgrow. Goodwill's everyday value and selection meets their needs.



Secondhand Cycle



Secondhand Shopping is Growing

- Secondhand shopping saw record growth in 2021, growing by 32%.
- The secondhand market is expected to more than double by 2026, reaching \$82 billion.
- Resale clothing is expected to grow 16X faster than the broader retail clothing sector from now until 2026.
- Resale clothing is expected to be larger than fast fashion by the year 2029.
- 41% of shoppers are looking at secondhand first; this grows to 62% for Gen Z and Millennials.



What to Expect

When a Goodwill of Greater Detroit store opens in your neighborhood, you're getting more than an exciting new thrift shopping experience. Ninety-two cents on every dollar spent at our stores supports personal and workforce development programming. When you shop second hand, you support the environment and you provide second chances for your community.

Site Specifications

- Preferred size: 11,000 - 21,000 square feet
- Co-tenants: Target, Walmart, Home Depot, Kohls, Meijer, and grocery anchors
- Free standing or end cap
- Drive-thru donation access required

Goodwill of Greater Detroit Retail

- Increased customer traffic
- Mutually beneficial: your shoppers become our donors and our donors become your shoppers
- Potential/forecast for each store: 100K shoppers
- Potential/forecast for each store: 30K donors
- Market potential: \$45 - \$136 million in annual sales to support Goodwill's mission



Photo Gallery





Photo Gallery





Photo Gallery





Photo Gallery





Photo Gallery



ALL FOLLOW-UP INQUIRIES SHOULD BE ADDRESSED TO:

JEFF UKRAINEC

Vice President, Donated Goods Operations

PHONE:

Direct - 313.557.8773

Cell - 313.550.2268

Fax - 313.557.8577

EMAIL:

Jeff.Ukraine@goodwilldetroit.org

**Goodwill Industries of Greater Detroit
3111 Grand River Ave., Detroit, MI 48208**



MEMORANDUM

Date: February 15th, 2023
 To: City of Madison Heights Planning Commission
 From: Matt Lonnerstater, AICP – City Planner
 Subject: Zoning Ordinance Rewrite Update – City Center and Mixed-Use Innovation Districts;
 Missing Middle Housing

On Tuesday, February 7th, the City of Madison Heights held a Zoning Ordinance rewrite open house at Madison Heights Fire Station #1. As part of the open house, the City's planning consultants, McKenna Associates, posted illustrative boards relating to the new **City Center Form-Based** and **Mixed-Use Innovation** zoning districts. The workshop also featured boards presenting the existing and proposed draft zoning map and draft permitted uses matrix. Copies of each of these boards are attached to this memo.

At the February 21st Planning Commission meeting, staff would like to provide an overview of these boards and lead a discussion primarily relating to the City Center and Mixed-Use Innovation zoning districts. Additionally, staff would like to discuss the following elements of the draft Zoning Ordinance:

- Missing Middle Housing (Two-Family/Townhouse District)
- Accessory Dwelling Units
- Reclassification/Renaming of Business Districts
- Use Matrix

As the Zoning Ordinance is still in the drafting stages, Planning Commission comments will be forwarded onto the consultants for incorporation into the next draft.

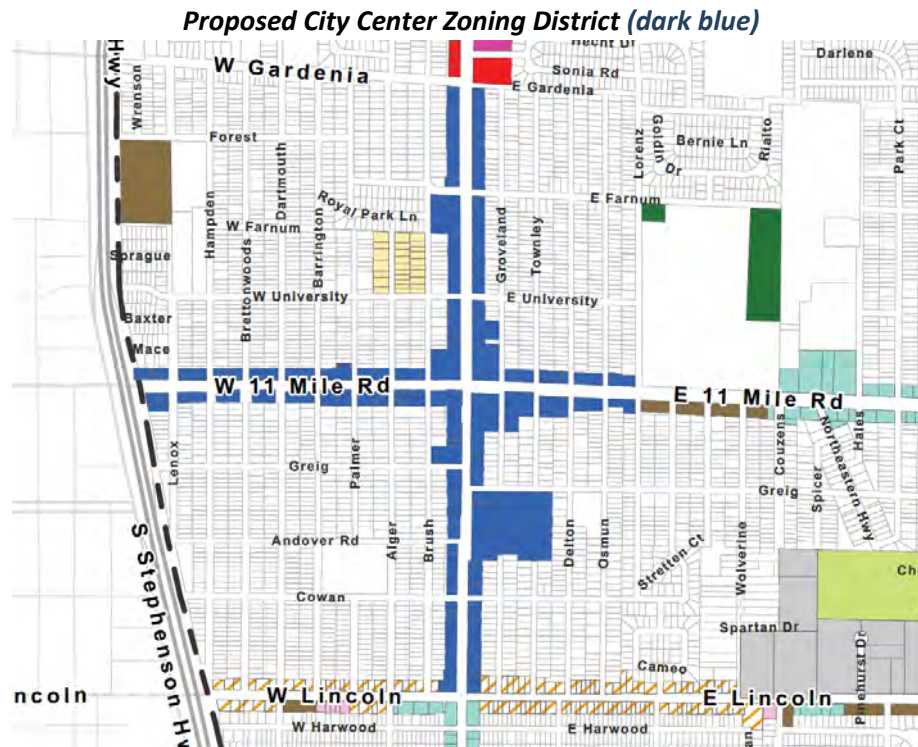


Planning Commissioner Graettinger diligently studying the proposed zoning map at the February 7th Zoning Ordinance open house

City Center Form Based District

The proposed City Center district is a new zoning district intended to primarily align with the geographic boundaries of the existing Downtown Development Authority and implement the vision of the *City Center* future land use category contained in the 2021 Master Plan. As outlined in the Master Plan, the goal of the City Center future land use category is to transform the downtown area into a, “*vibrant, compact, pedestrian-oriented*” district.

The boundaries of the proposed City Center zoning district are highlighted in dark blue on the map, below.



The City Center zoning district is considered a “form-based” district. Compared with conventional zoning districts that primarily focus on regulating uses, form-based districts place at the forefront standards relating to building form, massing, and the relationship between the building and the street. Conversely, land use takes a secondary focus. The overarching intent of a form-based district is to ensure that individual sites are developed in a manner that, when taken together, help create a downtown area with a distinct pedestrian-oriented identity.

The proposed City Center district allows for the construction of eight (8) unique building types:

- Mixed-Use
- Pedestrian-Oriented
- Makerspace
- Hotel
- Bank
- Landmark
- Theater
- Parking Garage

Within the Zoning Ordinance, each building type contains site placement standards (e.g. setbacks, parking location), massing standards (e.g. building height), and design standards (e.g. building materials, front door placement, window transparency). While a provided use table does break down permitted uses by building type and by ground floor/upper stories, most building types allow, and encourage, a mix of residential and commercial uses.

The City Center zoning district includes additional design considerations and standards relating to street furnishings such as outdoor dining and plazas, encroachments into the right-of-way, and building step-backs adjacent to residential properties.

Guiding Questions for Planning Commission

1. *Are the proposed building types appropriate for the City Center? Are there any additional building types you would like to see incorporated into the district?*
2. *Permitted uses are broken up by building type and by ground floor/upper stories. Is the range of permitted uses appropriate for the City Center district? Are there any noticeable missing uses?*
3. *Do the illustrated design standards help to visualize the required design standards? Are any draft standards too detailed? Not detailed enough?*

Mixed-Use Innovation Districts

The proposed Mixed-Use Innovation zoning districts are intended to implement the Mixed-Use Innovation future land use designation as contained in the 2021 Master Plan. In this future land use category, the Master Plan encourages, “a mix of office, service, commercial and light-industrial uses.” The Master Plan encourages the reuse of existing structures to accommodate a mix of uses.

Two (2) Mixed-Use Innovation (MUI) zoning districts are proposed:

The **Mixed-Use Innovation 1 (MUI-1)** district is established to promote the reuse of older, “character-giving” industrial structures that may no longer be suitable for their original purposes. The proposed MUI-1 district opens up a range of commercial, office, light industrial, and multiple-family residential uses in areas that are currently restricted to light industrial zoning. MUI-1 is primarily clustered in the southern portion of the city, mostly along 10 Mile Road, Lincoln, and E. 11 Mile Road, as well as the northeast corner of John R. and 12 Mile Roads.

The **Mixed-Use Innovation 2 (MUI-2)** district is established to promote the redevelopment of moderate to large-scale commercial retail centers into walkable, compact developments featuring a mix of commercial, residential, and recreational land uses. As proposed, the MUI-2 district permits a range of commercial, office, artisan manufacturing, and multiple-family residential uses. MUI-2-zoned sites include the Home Depot/Lowes, Meijer, Madison Place, and the Active Adult Center and SOCCRA sites.

Both of the Mixed-Use Innovation districts include general building placement, design, and architectural standards in order to promote pedestrian activity and a compatible mix of uses on under-utilized sites. Staff envisions that the MUI-1 district will allow for the adaptive re-use of smaller industrial buildings on shallow lots, as well as new infill development on vacant parcels. The MUI-2 district is envisioned to encourage redevelopment projects of a greater scale on larger properties.

Guiding Questions for Planning Commission

1. Given the intents, descriptions and permitted uses of the MUI-1 and MUI-2 districts, are their proposed locations on the zoning map appropriate? Are there any areas that should or should not be designated as MUI?
2. Are the permitted/special land uses appropriate for the MUI-1 and MUI-2 districts? Are there any additional uses that should be considered? Any uses that should be prohibited?
3. Are there any additional design standards that should be considered for the MUI districts? Any that should be removed?

Missing Middle Housing: Two-Family/Townhouse District

“Missing Middle Housing” is a common buzz-term in today’s planning circles which refers to a range of lower density multi-family unit types that are no longer commonly built, or permitted, in American cities; these include duplexes, triplexes, and townhouses. The term “multi-family” has historically had a negative connotation, as people often think of large apartment buildings and complexes. As a result, many of the “missing middle” multi-family building types have been zoned-out of cities, even though they can be designed to seamlessly fit into existing single-family neighborhoods. In turn, the supply of diverse unit types in America’s housing stock, including more affordable housing, has not kept up with demand. Please refer to the attached article, “5 Practical Zoning Hacks for Missing Middle Housing,” and the following graphic:

The Range of “Missing Middle” Housing



Source: Opticos Design

In addition to the *R-M, Multiple-Family* district, Madison Heights’ existing Zoning Ordinance does contain a *R-T, Two-Family Residential* zoning district. While this existing district does allow for duplexes, there is currently only one small parcel in the entire City that has an R-T zoning designation (good luck finding it on the Zoning Map).

As a means of increasing the availability of “missing-middle” housing types in the City in accordance with the goals of the Master Plan, staff proposes to rename the existing district to ***R-T, Two-Family and Townhouse*** district, expand permitted housing types to include attached townhomes in addition to duplexes, and increase the amount of R-T-zoned properties. As proposed, the R-T district would be extended to include a majority of Lincoln Avenue and portions of E. 11 Mile Road.

Guiding Questions for Planning Commission

1. As proposed, the R-T district use table would be expanded to include attached single-family and townhouse units in addition to duplexes. Should additional “Missing-Middle” housing types be considered (e.g. triplexes, fourplexes)?
2. Should the R-T district be extended to include additional properties/areas in Madison Heights?
3. Should design standards be incorporated into the Zoning Ordinance to ensure that duplexes/townhomes and any other “Missing Middle” housing types are architecturally-compatible with single-family detached homes?

Accessory Dwelling Units

In addition to Missing-Middle Housing, accessory dwelling units (also known as “granny-flats” or “in-law suites”) have also disappeared from the American housing stock. Historically, accessory dwelling units, or ADUs, were constructed either as separate stand-alone structures, or added above an existing detached garage, and provided a separate living space for a family member. Today, in cities which permit them, ADUs have been shown to increase the housing stock; provide affordable housing alternatives for students, single-person households, or family members; and create mixed-income/density neighborhoods in a way that does not greatly impact the existing appearance of the streetscape. Please refer to the attached MSU article, “Accessory Dwelling Units – Coming to a Neighborhood Near You?”

Madison Heights’ current Zoning Ordinance does not permit ADUs in residential zoning districts. As part of the Zoning Ordinance rewrite, the City has an opportunity to permit ADUs on a large-scale or limited basis, if desired.

Guiding Questions for Planning Commission

1. Should Madison Heights permit accessory dwelling units (ADUs) in residential zoning districts?
2. ADUs may be located within an existing home, as an attachment to a principal structure, or in a detached accessory structure. If allowed, should ADUs be restricted to one of these locations? Should all types be permitted?
3. If allowed, should ADUs only be permitted on owner-occupied properties?

Accessory Dwelling Unit Types

Interior ADU



Attached ADU



Detached ADU



Source: St. Paul, MN Planning
& Economic Development

Business Districts

The current Zoning Ordinance contains three (3) separate business districts. In order to clarify the purpose of each district, and differentiate them from one another, staff proposes to rename each district as follows:

Existing District Name	Proposed District Name
B-1, Local Business	B-1, Neighborhood Business
B-2, Planned Business	B-2, Community Business
B-3, General Business	B-3, Regional Business

Further, staff proposes to introduce a new preamble/intent for each district, as follows:

The B-1, Neighborhood Business District is intended to provide locations for businesses that meet the day-to-day shopping and service needs of residents in surrounding neighborhoods. Wherever possible, Neighborhood Business uses should promote pedestrian-oriented development at an intensity level that is compatible with surrounding residential areas. Uses are restricted in size and intensity to promote a local orientation and to limit adverse impacts on nearby residential areas.

The B-2, Community Business District is intended for commercial development that offers a broad range of goods and services to meet the convenience and comparison shopping needs of city residents. Special attention shall be focused on site layout, building design, vehicular and pedestrian circulation, and coordination of site features between adjoining uses. An effort should be made to achieve design compatibility between adjoining commercial uses.

The B-3, Regional Business District is intended to provide for more intensive or higher impact business activities, as well as general retail, commercial, personal and business services, and professional offices for both the general and traveling public in an interstate and regional context.

Under the current zoning map, a majority of the City's commercial properties are zoned B-3, General Business; this is the most intensive commercial district in the current Ordinance and permits a variety of automobile-oriented retail and service uses. Under the proposed zoning map, many existing B-3-zoned properties would be rezoned to B-2, Community Business. While the proposed Community Business district does still permit several auto-oriented uses, they would require Special Land Use review and would be subject to case-by-case review and approval. As proposed, B-3 Regional Business zoning is clustered in the northern portions of the city near 14 Mile Road and the 14 Mile/I-75 interchange.

Guiding Questions for Planning Commission

1. *Are the proposed business district names and their respective preambles/intents appropriate for the Madison Heights context?*
2. *Based on the proposed zoning map, are commercial properties appropriately zoned under these revised business districts (especially B-2 and B-3 properties)?*
3. *Based on the proposed use matrix and proposed intents of each business district, do the revised districts allow for the appropriate land uses, either by right or as a Special Land Use? Specifically, are automobile-oriented uses (e.g. car washes, motor vehicle repair, gas stations, car sales) permitted in the appropriate business districts?*

Use Matrix

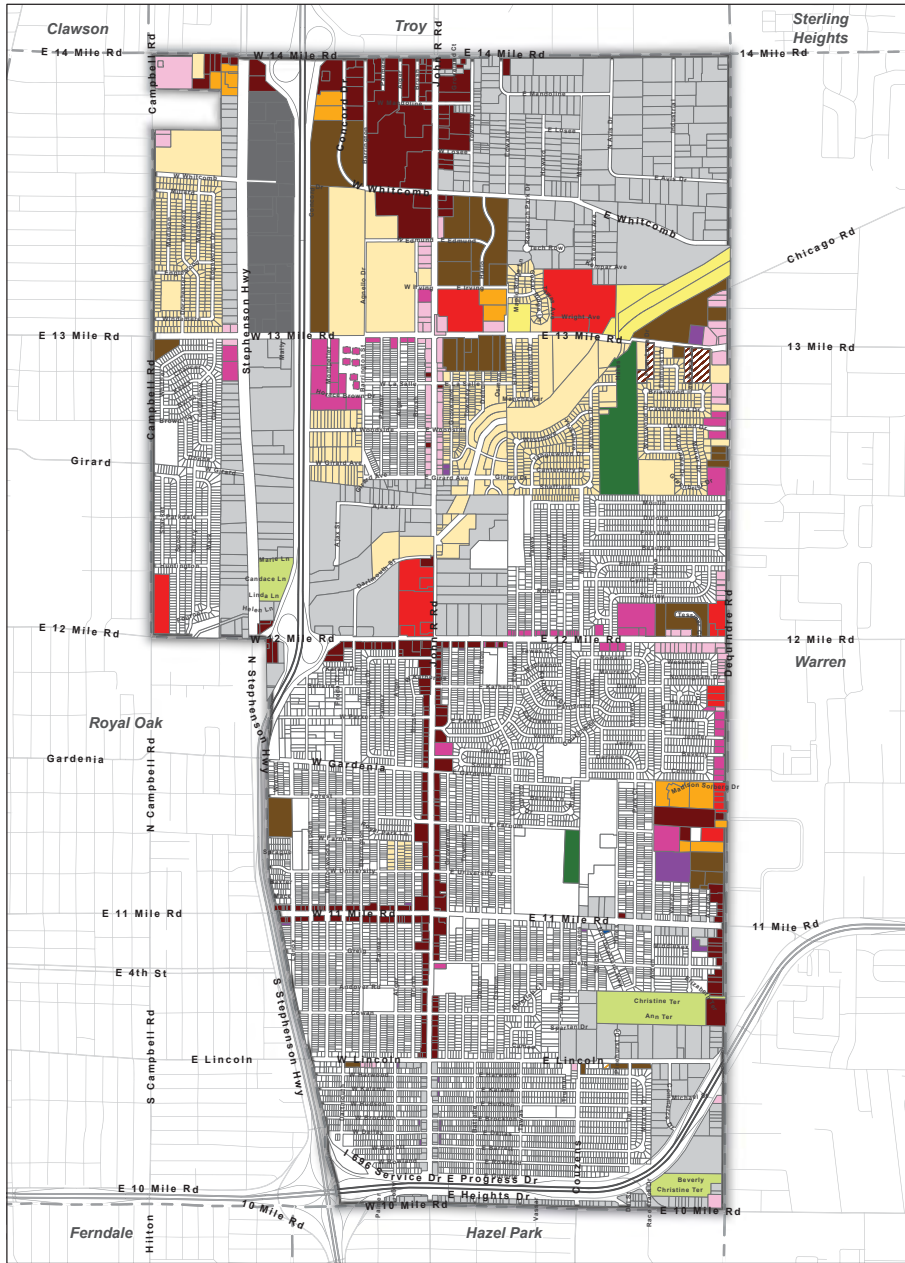
A draft use matrix is provided. The use matrix denotes the uses permitted by right, as a Special Land Use, or as an accessory use in each zoning district (with the exception of the City Center district which is regulated separately). Please note that the use matrix is still a work in progress, as it still awaiting full staff analysis and will likely need to be modified based on Planning Commission discussion.

Guiding Questions for Planning Commission

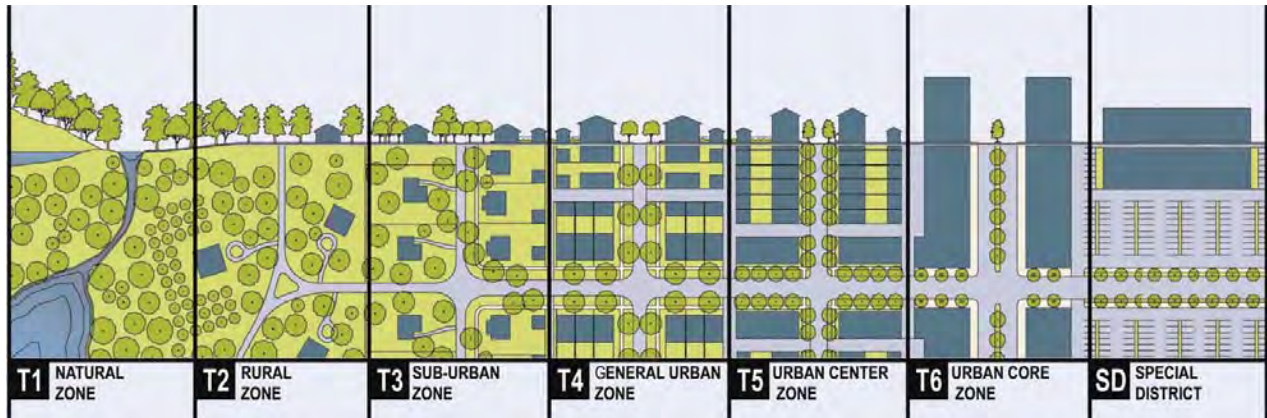
1. *While the use matrix is still a work in progress, are there any uses that stick out as being permitted in inappropriate zoning districts? Are there any uses that are obviously missing from the matrix?*
2. *Is the design of the use matrix attractive and easy to comprehend? Are there any additional design elements that should be incorporated into the table?*

Next Steps

Following the discussion at the meeting, staff will summarize and forward the Planning Commission's comments and recommendations onto the consultants for incorporation into the next Zoning Ordinance draft. Staff envisions that a complete clean draft will be ready for review by April or May, at which point the consultants will be invited to present to the Planning Commission. Until such time, staff will continue to provide updates and hold discussion sessions, as needed, at upcoming Planning Commission meetings to ensure that the new Zoning Ordinance is on the right track towards implementing the City's planning and development goals.



WHAT ARE FORM-BASED CODES?



A Form-Based Code (FBC) is a way to regulate development that controls building form first and building use second, with the purpose of achieving a particular type of “place”, or built environment, based on a community vision.

CONVENTIONAL ZONING VS. FORM-BASED CODES

Conventional zoning (sometimes called “Euclidean zoning”) has as its organizing factor the segregation of land-use types, permissible property uses, and the control of development intensity through simple numerical parameters (such as dwellings per acre, height limits, setbacks, and parking ratios).

Design guidelines may be used to supplement conventional zoning but are typically advisory. The quality of development, scale and uses allowed in a given area are dependent on a community’s planning objectives which are then translated through local land use regulations including zoning, subdivision, building, and public infrastructure standards. However, there is often a disconnect between the community’s vision and these land use regulations.

Form-Based Codes have as their organizing factor the relationship between public and private spaces such as the interaction between streets, blocks, and buildings in terms of form, scale and massing, and the use of frontage areas. FBC creates a predictable public realm by including specific standards for the design of streets and open spaces, and focusing primarily on the physical form of development, with a lesser focus on building use than conventional zoning regulations.

FBC’s typically provide for an appropriate mix of uses and encourage strong relationships between a building and its context, including public spaces and surrounding buildings. Often these standards are presented in both diagrams and words to clearly illustrate the design and development objectives for a given district.

TABLE 3.1: ALLOWABLE BUILDING TYPES BY DISTRICT

Building type (Article 4)

DISTRICT	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S
Government Service																			
Downtown Residential																			
Downtown Core																			
Entertainment																			
Tourism																			
Medical Center																			
Arts/Culture																			
Neighborhood Service																			

TABLE 3.2: USES BY DISTRICT FOR EXISTING BUILDINGS

DISTRICT	RESIDENTIAL	OFFICE	RETAIL / SERVICE	WOOD SHOPS / TRADES / INDEPENDENT FABRICATORS	CRAFT SHOP	RESTAURANT	EDUCATION	ASSEMBLY / CIVIC	BANK	MEDICAL / RESEARCH	INDUSTRIAL / INDOOR STORAGE	MOTEL / HOTEL	THEATRE
Government Service	P	P	P	C	C								
Downtown Residential	P												
Downtown Core	UP												
Entertainment	UP												
Tourism	UP												
Medical Center	P	P	P	P	P	P	P	P	P	P	P	P	P
Arts/Culture	UP	P	P	C	P	P	P	P	P	P	C	C	P
Neighborhood Service	UP	P	P	C	P	P	P	P	P	P	C	C	P

KEY

- P Permitted
- C Conditional Approval Required
- UP Permitted in Second Story or Higher
- Not Permitted



Existing Storefront Building Design Standards

CITY CENTER DISTRICT

Item 3.

PURPOSE

The City Center designation covers a concentrated area for commercial and residential activities in the DDA district at 11 Mile and John R Roads. It is envisioned that this area there will contain a mix of residential, office, retail, restaurants, entertainment, gathering spaces, and recreation areas. Ground floor uses will be uniformly active, containing shopfront retail, restaurants, and cultural amenities; residential and office uses will be in the rear or on the second story or higher. It is also envisioned that 11 Mile and John R Roads will function in such a way as to facilitate a vibrant, compact, pedestrian oriented downtown area.

A standard of excellence in urban and architectural design will be required of new buildings, and a high standard of appearance and upkeep will be required for existing buildings, which will be enforced through future form based zoning.

This Zoning District will incorporate:

- Standards for high-quality, traditional mixed-use development at a variety of scales and intensities.
- High standards of appearance and upkeep for new and existing buildings.
- New parking maximum standards.
- Redevelopment of buildings that incorporate street furnishings such as benches, lighting and public art.

PERMITTED USES AND BUILDING TYPES.

Uses permitted in the CC District are regulated by building type in [Section 6.01\(3\)](#). The following building types are permitted in the CC City Center district ([See Section 6.01](#)):

Bank, Hotel, Landmark, Maker Space, Mixed Use, Parking Garage, Pedestrian Oriented, and Theater.

Land Use	BUILDING TYPE									
	Bank		Hotel		Landmark	Makerspace	Mixed Use		Parking Garage	
	Ground Floor	Upper Stories	Ground Floor	Upper Stories			Ground Floor	Upper Stories	Ground Floor	Upper Stories
RESIDENTIAL USES										
Accessory Dwelling Unit		P					P			
Multiple-Family Dwellings							P		P	
Short-Term Lodging			P	P			P		P	
Upper-Story Residential		P					P		P	
COMMERCIAL USES										
Automotive Sales (New)	P									
Automotive Sales (Used)	S									
Bar/Lounge	S									
Business or Trade Schools		S					P			P
Financial Institution	P									
General Retail	P		P			P	P		P	
Health Club							P			P
Incubator Kitchen	P									
Indoor Recreational Business		P			P					
Medical Office		P	P	P						P
Microbreweries and Distilleries	P					P	P	S	P	P
Motor Vehicle Repair and Service Facilities						S				
Personal Service Establishment	P	P					P			P
Parking Garage									P	P
Professional Office	P	P					P	P	P	P
Restaurant	P					P	P		P	P
Theaters, Assembly Halls, Concert Halls, or similar places	P	P	P	P	P		P	P		P
INDUSTRIAL USES										
Artisan Manufacturing		S				P				
Incubator Workspaces	P	P								
Industrial Tool and Equipment Sales, Service, Storage, and Distribution										P
Manufacturing		S				P				
Warehousing		S								
PUBLIC & QUASI-PUBLIC USES										
Community Recreation Centers and Private Noncommercial Recreational Areas					P				P	P
Libraries					P			P	P	P
Municipal Office Buildings					P				P	P
Municipal Service Buildings					P				P	P
Private Clubs or Lodges	P	P			P			P	P	P
Public, Parochial, and Private Elementary, Intermediate Schools, and/or High Schools offering courses in general education, not operated for profit	P	P			P			P	P	P
Religious Institutions					P				P	P

- Design Standards.** The following standards shall apply to all new construction, expansion of existing sites, and redevelopment in the CC District that require site plan approval.
 - Stepbacks.** For new infill buildings or upper story additions taller than three stories, or 35 feet, the upper stories may be stepped back a minimum of 10 feet from the edge of the building façade to minimize views of the additional building height from the street.
 - Encroachments.** The following building elements may encroach into a public right-of-way or setback area.
 - Balconies.** Balconies on upper stories may encroach up to three (3) feet into any required yard, provided a minimum of 10 feet of clearance is maintained between buildings and/or accessory buildings.
 - Stoops.** Unenclosed and uncovered front stoops may encroach up to five (5) feet into a front yard setback area, provided that the stoop maintains a minimum setback of five feet from any right-of-way line.
 - Bay Windows.** Bay windows on the ground floor may encroach up to three (3) feet into any setback area but may not encroach into a right-of-way area. Bay windows on upper floors may encroach up to three feet into any setback or right-of-way area provided a minimum of 10 feet of clearance is maintained between buildings and/or accessory buildings.
 - Eaves.** Roof eaves may encroach up to three (3) feet into any setback provided a minimum of 10 feet of clearance is maintained between buildings and/or accessory buildings.
 - Awnings.** Awnings may be added to buildings over windows or doors on the ground floor or over upper story windows. Awnings shall comply with the following standards.
 - Awnings shall be straight sheds that are horizontal in proportion, with an awning width to height ratio of at least 2:1.
 - Awnings shall be proportional in height and depth to the overall building façade.
 - Awnings shall be constructed out of fabric.
 - Awnings shall be of an opaque material. Translucent or internally lit awnings are prohibited.
 - Awnings shall have a minimum of eight (8) feet of clear space between the sidewalk and the bottom of the awning or any support structure and shall not exceed a height of 12 feet to the highest point of the awning.
 - If the awning encroachment of six (6) feet would interfere with the placement of street lighting or street trees, the awning projection shall be reduced to resolve the conflict.
- Public Realm.**
 - Sidewalks.** Sidewalks shall be required along all public street frontages, and to connect the street frontage to all front building entrances, parking areas and drives, usable open spaces, and any other destination that generates pedestrian traffic. Sidewalks shall connect to existing sidewalks on abutting tracts and other nearby pedestrian destinations.
 - Sidewalks along a public street shall have a minimum unimpeded width of five (5) feet, where separated from the street with a planting strip.
 - Sidewalks immediately adjacent to a street or parking area shall have a minimum unimpeded width of seven (7) feet. Where the adjacent properties exceed the minimum width required by this ordinance, the sidewalk shall match the width of the adjacent properties but need not exceed 10 feet in width.
 - All other pedestrian paths on a site shall have a minimum unimpeded width of five (5) feet.
 - Sidewalk Treatments.** Sidewalks shall be constructed of concrete or other decorative techniques approved by the City. In general, sidewalk treatments shall be consistent with the material character of adjacent properties and the overall district.
 - Pedestrian crossings on drive aisles or in parking areas shall be clearly identified using material differences or markings (e.g., inlaid thermal plastic, paint) that make them easy to view and distinguish them from the surrounding road surface. Curb ramps shall be provided at crossing locations.
 - Street Furnishings.** Public plazas, amenity zones, pedestrian pathways, and other public open spaces may include amenities such as water features, public art, gazebos, shade trees, shade structures, drinking fountains, trash receptacles, benches, lights, trellises, or other similar features.
 - Pedestrian Protection.** Bollards, street trees, planters, and/or street furniture may be used as a barrier to protect pedestrians and buildings where needed.

Key:

- P Principal Uses Permitted
- S Uses Permitted on Special Approval
- Not Permitted

BANK BUILDING TYPE

Item 3.



The Bank Building Type is intended to accommodate the unique needs of financial institution uses on the ground floor, with office uses above. The purpose of this Building Type is to allow an exception to shopfronts within walkable commercial districts and to allow for a dedicated use within. Financial institution uses may also be located within other Building Types and some other uses are allowable within the Bank Building Type. It is employed within walkable commercial districts and is intended as a supplemental component in the creation of such districts.

ILLUSTRATED DESIGN STANDARDS

- 1 Opaque façades through which window and door openings appear to have been "punched" (as through paper in a ring binder).
- 2 Main entrance articulation.
- 3 Traditional building façade treatments (including masonry reliefs and/or motifs).
- 4 Building cornice (at top of building) of substantial height and decoration (Exception for Art Deco style buildings).
- 5 Minimum one horizontal molding or accent material projection dividing the façades into layers.
- 6 Pattern of solids and voids generated by horizontal alignment of windows and doors in repeating sizes.
- 7 Window groupings encouraged, with groups of up to 3 allowable. There shall be 35% to 50% window glass on building elevations.
 - » The maximum distance between any two windows shall be 5 feet.
 - » The maximum distance between a window and the edge of the wall shall be 10 feet.
 - » All first story windows and windows facing towards a public street shall be designed so that the entire window allows at least 80% Visible Light Transmission (VLT).
- 8 Prominent sills and/or heads required for windows located along façades (discouraged along other exterior walls).
- 9 Main entrances at grade for accessibility, working in conjunction with interior lobby and elevator(s).
- 10 No building entrances from side parking lots allowable.
- 11 Main entrance located along street of building address or at building corner.
- 12 Façades located along principal frontage and secondary frontage at street intersections, where applicable.
- 13 Parking shall not be permitted along the Principal Frontage and must be screened from view from all rights-of-way with a 6'-0" height manicured hedge.



BUILDING DISPOSITION	APPLICABLE REGULATION	STANDARD
	A Front Setback	0'-0" to 10'-0"
	B Side Yard Setback (Lot Line)	Minimum 0'-0"
	C Rear Yard Setback	Minimum 0' from alley, 10' from residential lot
	D Side Yard Setback (Row)	Maximum 0'-0"

BUILDING CONFIGURATION	APPLICABLE REGULATION	STANDARD
	A Width of Lot	—
	B Depth of Lot	—
	C Width of Façade (Principal Frontage)	Minimum 80% of lot width
	D Width of Façade (Secondary Frontage)	Minimum 27'-8"
	E Maximum Height at Rear Setback Line	Maximum 24'-0"
	F Maximum Building Height	4 Stories / 48'-0"
	G Building Stepback	Each level stepped back 10'-0"

HOTEL BUILDING TYPE

Item 3.



The purpose of the Hotel Building Type is to provide for short-term lodging within a walkable, mixed-use environment, and to allow for an exception to plate-glass storefronts within such districts. It may be employed within walkable commercial districts and is intended as a supplemental component in the creation of such districts. The Hotel Building Type shall provide a lobby on the Principal Frontage connecting the corresponding sidewalk to an interior elevator, lift or ramp.

ILLUSTRATED DESIGN STANDARDS

- 1 Traditional building facade treatments (including masonry reliefs and/or motifs) and main entrances located along street of building address.
- 2 Opaque facade through which window and door openings appear to have been "punched" as through paper in a ring binder.
- 3 Building cornice (at top of building) of substantial height and decoration. (Feature excepted on Art Deco style buildings).
- 4 Minimum one horizontal molding or accent material projection dividing the facade into layers.
- 5 Pattern of solids and voids generated by the vertical and horizontal alignment of windows and doors in repeating sizes.
- 6 Window groupings encouraged, with groups of up to 3 allowable. There shall be 35% to 50% window glass on building elevations.
 - » The maximum distance between any two windows shall be 5 feet.
 - » The maximum distance between a window and the edge of the wall shall be 10 feet.
 - » All first story windows and windows facing towards a public street shall be designed so that the entire window allows at least 80% Visible Light Transmission (VLT).
- 7 The main entrance shall be along the principal frontage or at a corner of two frontages. Main entrances at grade for accessibility, working in conjunction with interior lobby and elevator.
- 8 Ground Floor Units (finished floor) minimum 30" above average grade along frontages.
- 9 Main entrance articulation.
- 10 Prominent sills and/or heads required for windows located along Principal Frontages (discouraged along other exterior walls).
- 11 Building facade treatments optional along intersecting streets.
- 12 No building entrances from side parking lots allowable. Otherwise, sides and backs of buildings not regulated by this code, except at corners (as shown here).
- 13 Towers, sculptures, and other characteristic forms and/or focal points encouraged (not illustrated).
- 14 The first story shall be a minimum 11'-9" and maximum 16'-9" in height, floor to floor.
- 15 Facades to extend along Min. 80% of principal lot frontage.
- 16 Lawn, patio, or terrace allowable within front setback area. Other landscaping shall be behind required 30" height manicured hedge or 28" to 30" height decorative iron fence continuous along right-of-way line at Principal Frontage.
- 17 Parking shall not be permitted along the Principal Frontage and must be screened from view from all rights-of-way with a 6'-0" height manicured hedge.

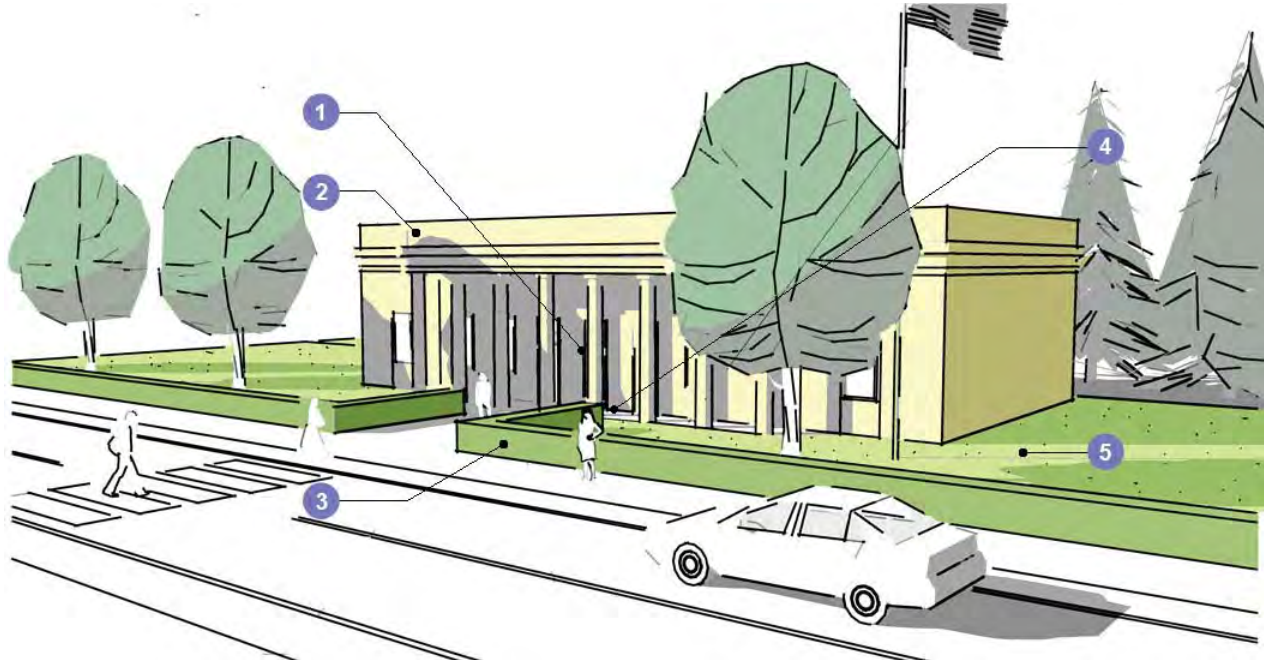


BUILDING DISPOSITION	APPLICABLE REGULATION	STANDARD
	A Front Setback	0'-0" to 10'-0"
	B Side Yard Setback (Lot Line)	Minimum 0'-0"
	C Rear Yard Setback	Minimum 0' from alley, 10' from residential lot
	D Side Yard Setback (Row)	Maximum 0'-0"

BUILDING CONFIGURATION	APPLICABLE REGULATION	STANDARD
	A Width of Lot	—
	B Depth of Lot	—
	C Width of Facade (Principal Frontage)	Minimum 80% of lot width
	D Width of Facade (Secondary Frontage)	Minimum 27'-8"
	E Maximum Height at Rear Setback Line	Maximum 24'-0"
	F Maximum Building Height	5 Stories / 60'-0"
	G Building Stepback	Each level stepped back 10'-0"

LANDMARK BUILDING TYPE

Item 3.



The Landmark Building Type is intended for non-commercial uses. Landmark Buildings are required to have a lobby located along their principal frontage and to provide visibility and access to the main entrance from the corresponding street. Building Style is unregulated.

ILLUSTRATED DESIGN STANDARDS

- 1 Prominent, main entrance along Principal Frontage or at a corner of two frontages and, if the building is setback from the right-of-way, the entrance shall be connected to a public sidewalk with a paved path minimum 5'-0" in width.
- 2 Architectural style unregulated.
- 3 Low hedge, fence or wall located at right-of-way lines, Max 30" in ht.
- 4 Main entrance at grade for accessibility.
- 5 Setbacks landscaped. Dimensional extents of setbacks unregulated.
- 6 Parking shall not be permitted along the Principal Frontage and must be screened from view from all rights-of-way with a 6'-0" height manicured hedge.
- 7 Bell towers, clock towers, and other vertical building elements may exceed the maximum allowable building height by up to 35%, provided they do not occupy in excess of 1,600 square feet of site area.
- 8 If the building is setback from any right-of-way, the setback area must be landscaped and include a decorative wall or fence or a manicured hedge, 28" to 34" in height, at the right-way line.



BUILDING DISPOSITION	APPLICABLE REGULATION	STANDARD
	A Front Setback	—
	B Side Yard Setback (Lot Line)	—
	C Rear Yard Setback	Minimum 0' from alley, 10' from residential lot
	D Side Yard Setback (Row)	—

BUILDING CONFIGURATION	APPLICABLE REGULATION	STANDARD
	A Width of Lot	—
	B Depth of Lot	—
	C Width of Facade (Principal Frontage)	Minimum 80% of lot width
	D Width of Facade (Secondary Frontage)	—
	E Maximum Height at Rear Setback Line	Maximum 24'-0"
	F Maximum Building Height	5 Stories / 66'-0"
	G Building Stepback	Each level stepped back 10'-0"

MAKER SPACE

BUILDING TYPE

Item 3.



The Maker Space Building Type combines craft-scale production operations with retail sales in a walkable, urban context. Therefore, the frontage may be divided between a plate-glass storefront and an industrial façade, which may or may not include a garage door. The illustrations below show the Maker Space Building Type with access to the craft production area, via a garage door, directly from the Principal Frontage. However, where alley access is available, any garage doors must be located along, and accessed from, the alley.

ILLUSTRATED DESIGN STANDARDS

- 1 Brick facades located along rights-of-way (Maximum 10'-0" setback allowable along Principal Frontage, in conjunction with restaurant use, for outdoor dining).
- 2 Storefronts (minimum 70% glass between 2'-0" and 10'-0" above average grade) constituting minimum 50% of Principal Frontage and extending minimum 10'-0" along a Secondary Frontage.
- 3 Main entrance recessed minimum 3'-0" along Principal Frontage. Main entrance must be along principal frontage or at the corner of two frontages.
- 4 Craft production space contiguous with retail space.
- 5 Brick relief required as part of façade design along Principal Frontage.
- 6 Articulated parapet located along Principal Frontage.
- 7 Garage door allowable along frontages if no alley access is available.
- 8 Optional utility or man door located along frontage, maximum 3'-0" x 7'-0", not required to be recessed.
- 9 Main level accessible at grade.
- 10 All windows facing towards a public street shall be designed so that the entire window allows at least 80% Visible Light Transmission (VLT).
- 11 Shopfronts required on minimum 50% of principal frontages.
- 12 Parking shall not be permitted along the Principal Frontage and must be screened from view from all rights-of-way with a 6'-0" height manicured hedge.



BUILDING DISPOSITION	APPLICABLE REGULATION	STANDARD
	A Front Setback	0'-0" to 10'-0"
	B Side Yard Setback (Lot Line)	Minimum 0'-0"
	C Rear Yard Setback	Minimum 0' from alley, 10' from residential lot
	D Side Yard Setback (Row)	Maximum 0'-0"

BUILDING CONFIGURATION	APPLICABLE REGULATION	STANDARD
	A Width of Lot	—
	B Depth of Lot	—
	C Width of Façade (Principal Frontage)	Minimum 80% of lot width
	D Width of Façade (Secondary Frontage)	Minimum 27'-8"
	E Maximum Height at Rear Setback Line	Maximum 24'-0"
	F Maximum Building Height	1 Story / 24'-0"

MIXED USE BUILDING TYPE

Item 3.

The Mixed-Use Building Type is a multi-story building with plate-glass storefronts extending along the entire length of the Principal Frontage. It is employed within walkable commercial districts and integral in the creation of such districts.



ILLUSTRATED DESIGN STANDARDS

- 1 Traditional building façade treatments (including masonry reliefs and/or motifs) with main business entrance to be located along Principal Frontage and at right-of-way line along Secondary Frontages. Side entrances subordinate and allowable at right-of-way lines along intersecting streets only. Side entrances along parking lots prohibited. Rear entrances also subordinate. Main entrance at corner may substitute for that listed above.
- 2 Main entrance doors must remain unlocked during business hours.
- 3 Main level accessible at grade.
- 4 Open, plate-glass shopfronts, located at ground-floor level along street of building address, with façade supported above by columns and beams and extending for a distance of minimum 10'-0" around building corners at intersecting streets. Plate glass material beginning 15" to 18" above finish grade and extending almost to underside of beam, with alternate leaded or stained-glass transoms minimum 8'-0" above finish grade. There shall be 35% to 50% window glass on building elevations.
 - » The maximum distance between any two windows shall be 5 feet.
 - » The maximum distance between a window and the edge of the wall shall be 10 feet.
 - » All first story windows and windows facing towards a public street shall be designed so that the entire window allows at least 80% Visible Light Transmission (VLT).
- 5 Sign band and/or secondary cornice integral with shopfronts and above plate glass and/or transoms. Such sign band or cornice may be used to satisfy the one horizontal molding or accent material band projection requirement.
- 6 Recessed doorways located within shopfronts.
- 7 Opaque exterior walls above ground floor, through which window openings appear to have been "punched" (such as through paper in a ring binder), with such windows recessed into the façade min 4", reinforcing this effect.
- 8 Minimum one additional horizontal molding or accent material band projection, casting a secondary horizontal shadow line, dividing the façade into layers. This feature is excepted on Art Deco-style buildings.
- 9 Pattern of solids and voids above ground floor, coordinated within structural bays, generated by the vertical and horizontal alignment of rectangular windows and doors in various repeating sizes. Segmented arches allowable atop rectangular windows in these locations.
- 10 Radii of arches on segmented-arch windows must equal widths of corresponding masonry openings.
- 11 Arched building tops prohibited.
- 12 Open-ended, canvas, sloped awnings above shopfront windows. Rigid, horizontal suspended awnings optional.
- 13 Decorative sills and/or headers required on upper-floor windows located on facades.
- 14 Sides and backs of buildings not regulated by this code, except at corners (as illustrated here).
- 15 Building façade treatments optional along intersecting streets.
- 16 Towers, sculptures, and other characteristic forms and/or focal points encouraged (not illustrated).
- 17 Ground floor to 2nd floor to floor distance limited to 15'. Other floor-to-floor heights limited to maximum 10'.
- 18 Parking shall not be permitted along the Principal Frontage and must be screened from view from all rights-of-way with a 6'-0" height manicured hedge.



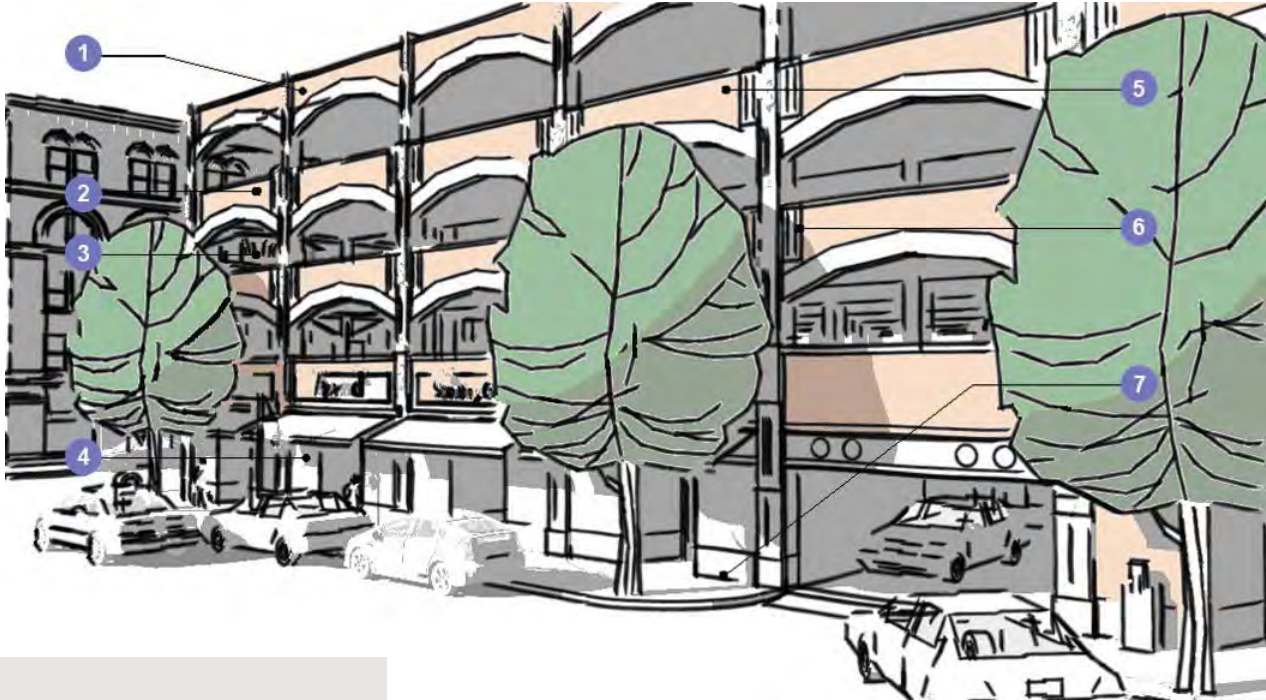
BUILDING DISPOSITION	APPLICABLE REGULATION	STANDARD
	A Front Setback	0'-0" to 10'-0"
	B Side Yard Setback (Lot Line)	Minimum 0'-0"
	C Rear Yard Setback	Minimum 0' from alley, 10' from residential lot
	D Side Yard Setback (Row)	Maximum 0'-0"

BUILDING CONFIGURATION	APPLICABLE REGULATION	STANDARD
	A Width of Lot	—
	B Depth of Lot	—
	C Width of Facade (Principal Frontage)	Minimum 80% of lot width
	D Width of Facade (Secondary Frontage)	Minimum 27'-8"
	E Maximum Height at Rear Setback Line	Maximum 24'-0"
	F Maximum Building Height	4 Stories / 48'-0"
	G Building Stepback	Each level stepped back 10'-0"

PARKING GARAGE

BUILDING TYPE

Item 3.



The Parking Garage Building Type has structured parking located behind and above retail and restaurant uses. The purpose of this Building Type is to accommodate a customer base large enough to render retail, restaurant, office and entertainment uses viable within walkable, mixed-use environments, as well as to provide long-term parking for residents.



ILLUSTRATED DESIGN STANDARDS

- 1 Recess successive stories 4" to 8".
- 2 Functional building form with level floors (to accommodate alternate future uses) and dedicated up and down lanes on sloped ramps.
- 3 Masonry openings able to accommodate windows at some point in the future.
- 4 Ground floor shopfronts along all street frontages. The ground floor shall be made-up of storefronts with minimum 70% glass between 2'-0" and 10'-0" above average grade and shop entrances recessed from the façade min. 3'-0".
- 5 Brick upper facades along street frontages.
- 6 Decorative articulation and relief along street frontages.
- 7 Building constructed to right-of-way lines. 10'-0" setback allowable for outdoor dining (in conjunction with restaurant uses).
- 8 Maximum four stories.
- 9 Main level accessible at grade.
- 10 Arched building tops prohibited.
- 11 Ground floor to second floor distance 11'-0" to 15'-0". Ceiling heights min. 8'-0" clear of beams and other obstructions.
- 12 Vehicular entrances and exits shall be from secondary frontages or alleys and pedestrian crossings shall be designed to ensure safety.
- 13 All windows facing towards a public street shall be designed so that the entire window allows at least 80% Visible Light Transmission (VLT). Portions of the window covered by permitted window signage shall be exempt from these requirements.
- 14 Parking surfaces shall be level to accommodate adaptive reuse of individual floors (with dedicated ramps or elevators provided for vertical movement of vehicles).
- 15 A parking structure in a building with non-parking uses above the first story shall be subject to the requirements of the building type that most closely matches the proposed design, rather than these requirements.
- 16 Exterior materials shall be minimum 50% red brick with the remainder natural concrete. Shopfront frames, sashes and doors shall be of a regular, dark finish.
- 17 Any masonry arches shall be segmented and their radii shall equal the width of their spans.
- 18 Façades with decorative reliefs are required along all frontages and should recess slightly at each subsequent level.

BUILDING DISPOSITION

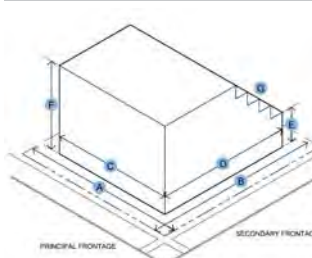


APPLICABLE REGULATION

STANDARD

A	Front Setback	0'-0" to 10'-0"
B	Side Yard Setback (Lot Line)	Minimum 0'-0"
C	Rear Yard Setback	Minimum 0' from alley, 10' from residential lot
D	Side Yard Setback (Row)	Maximum 0'-0"

BUILDING CONFIGURATION



APPLICABLE REGULATION

STANDARD

A	Width of Lot	—
B	Depth of Lot	—
C	Width of Facade (Principal Frontage)	Minimum 95% of lot width
D	Width of Facade (Secondary Frontage)	Minimum 60'-0"
E	Maximum Height at Rear Setback Line	Maximum 24'-0"
F	Maximum Building Height	6 Stories / 68'-0"
G	Building Setback	Each level stepped back 10'-0"

Item 3.




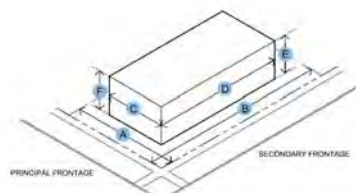
- 1 Main entrance must be recessed minimum 3'-0" behind façade and located along the Principal Frontage.
- 2 Building cornice (at top of building). (Min. 3" conc. cap. on masonry wall).
- 3 Traditional building façade treatments (including masonry reliefs and/or motifs).
- 4 Sign band and/or secondary cornice integral with shopfronts and above plate glass and/or transom windows.
- 5 Main level accessible at grade.
- 6 Open, plate-glass shopfronts, located at ground-floor level along street of building address, with façade supported above by columns and beams and extending for a distance minimum 10'-0" around building corners at intersecting streets. Plate glass material must begin 15" to 18" above finish grade (top of sidewalk) and extend almost to underside of beam, with alternate leaded or stained glass transoms minimum 8'-0" above finish grade.
- 7 Radii of arches on segmented-arch windows must equal widths of corresponding windows or masonry openings.
- 8 Arched building tops prohibited.
- 9 Open-ended, canvas, sloped awnings or rigid suspended awnings above shopfront windows.
- 10 Main business entrances to be located along streets of corresponding building address. Side entrances subordinate and allowable at right-of-way lines along intersecting streets only. Side entrances along parking lots prohibited. Rear entrances also subordinate. Main entrance at corner may substitute for that listed above.
- 11 Building façade treatments optional along intersecting streets (not illustrated).



BUILDING DISPOSITION	APPLICABLE REGULATION	STANDARD
	A Front Setback	0'-0" to 10'-0"
	B Side Yard Setback (Lot Line)	Minimum 0'-0"
	C Rear Yard Setback	Minimum 0' from alley, 10' from residential lot
	D Side Yard Setback (Row)	Maximum 0'-0"



BUILDING CONFIGURATION	APPLICABLE REGULATION	STANDARD
	A Width of Lot	—
	B Depth of Lot	—
	C Width of Facade (Principal Frontage)	Minimum 80% of lot width
	D Width of Facade (Secondary Frontage)	Minimum 27'-8"
	E Maximum Height at Rear Setback Line	Maximum 24'-0"
	F Maximum Building Height	1 Story / 24'-0"



THEATER

BUILDING TYPE

Item 3.

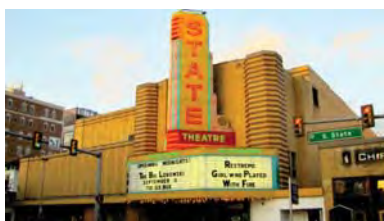


The Theater Building Type is a Building Type intended to provide an exception to the storefronts and otherwise well fenestrated buildings prevalent within walkable mixed-use environments. Accordingly, the side and rear walls of this Building Type may appear blank and without windows. This Building Type shall provide, however, a lobby along the Principal Frontage with partially transparent exit doors.

The purpose of this building type to contribute to a walkable mixed-use environment, in keeping with precedents established by historic downtowns. The Theater Building Type is intended to accommodate lobby, retail, and restaurant uses along its principal frontage with auditorium or arena uses behind and office uses above.

ILLUSTRATED DESIGN STANDARDS

- 1 Traditional building façade treatments (including masonry reliefs and/or motifs), as well as main business entrance, to be located along Principal Frontage and built to right-of-way line along Secondary Frontages. Side entrances subordinate and allowable at right-of-way lines along intersecting streets only. Side entrances along parking lots prohibited. Rear entrances also subordinate. Main entrance at corner may substitute for that listed above.
- 2 Arched building tops prohibited.
- 3 Blank walls at sides of venue (emergency exits excepted).
- 4 Exterior ticket booth / will call allowable along frontages.
- 5 Marquee, with illuminated vertical sign, displaying venue name and changeable horizontal rows of black letters on a back-lit white background above main entrance and 8'-0" clear above sidewalk.
- 6 Opaque facade above ground floor along Principal Frontage with window openings appearing as "punched" as through paper in a ring binder.
- 7 Radii of arches on segmented-arch windows must equal widths of corresponding windows.
- 8 Parking or alley at rear.
- 9 Main level accessible at grade.
- 10 Floor to floor heights 10' to 14'.
- 11 All first story windows and windows facing towards a public street shall be designed so that the entire window allows at least 80% Visible Light Transmission (VLT).
- 12 Parking shall not be permitted along the Principal Frontage and must be screened from view from all rights-of-way with a 6'-0" height manicured hedge.



BUILDING DISPOSITION	APPLICABLE REGULATION	STANDARD
	A Front Setback	0'-0" to 10'-0"
	B Side Yard Setback (Lot Line)	Minimum 0'-0"
	C Rear Yard Setback	Minimum 0' from alley, 10' from residential Lot
	D Side Yard Setback (Row)	Maximum 0'-0"

BUILDING CONFIGURATION	APPLICABLE REGULATION	STANDARD
	A Width of Lot	—
	B Depth of Lot	—
	C Width of Facade (Principal Frontage)	Minimum 80% of lot width
	D Width of Facade (Secondary Frontage)	Minimum 27'-8"
	E Maximum Height at Rear Setback Line	Maximum 24'-0"
	F Maximum Building Height	3 Stories / 38'-0"
	G Building Stepback	Each level stepped back 10'-0"

MUI-1 MIXED USE INNOVATION DISTRICT

PREAMBLE

The Mixed-Use Innovation-1 (MUI-1) District is established to promote the reuse of older, character giving structures that may no longer be suitable for their original purposes. The MUI-1 district is intended to provide for an eclectic mix of uses reflective of long-established development patterns at a pedestrian scale, including the adaptive reuse of existing, smaller industrial spaces into new commercial, residential, artisan industrial, and mixed-use projects. The MUI-1 district supports a variety of residential, commercial, and light industrial uses that are compatible with surrounding neighborhoods, and accounts for the appropriate mitigation of other potential adverse impacts on adjacent residential uses.

PERMITTED USES

- » Adult-Use Marihuana Safety Compliance Facility
- » Artisan Manufacturing
- » Bar/Lounge
- » Business or Trade Schools
- » Community Recreation Centers and Private Noncommercial Recreational Areas
- » Day Care Home (six children or fewer)
- » Financial Institution
- » General Retail
- » Health Club
- » Incubator Kitchen
- » Incubator Workspaces
- » Indoor Recreational Business
- » Industrial Tool and Equipment Sales, Service, Storage, and Distribution
- » Live/Work
- » Manufacturing
- » Medical Marihuana Caregiver
- » Medical Marihuana Safety Compliance Facility
- » Medical Office
- » Medical Supply Store
- » Mixed-Use Developments
- » Municipal Office Buildings
- » Municipal Service Buildings
- » Painting, Varnishing, and Undercoating Shops
- » Personal Service Establishment
- » Pharmacy
- » Private Clubs or Lodges
- » Production, Processing, Cleaning, Servicing, Testing, Repair or Storage of Materials, Goods, or Products
- » Professional Office
- » Publicly Owned and Operated Parks, Parkways, and Recreational Facilities
- » Restaurant
- » Upper-Story Residential

SPECIAL LAND USES

- » Automotive Sales (New)
- » Automotive Sales (Used)
- » EV Charging Facility or Vehicle Fueling
- » Hotels and Motels
- » Microbreweries and Distilleries
- » Mobile Food Court (principal use)
- » Motor Vehicle Repair and Service Facilities
- » One-Family Attached/ Townhome
- » Open Air Business
- » Outdoor Recreational Business
- » Outdoor Theater
- » Public, Parochial, and Private Elementary, Intermediate Schools, and/or High Schools offering courses in general education, not operated for profit
- » Religious Institutions
- » Self-Storage Facilities
- » Theaters, Assembly Halls, Concert Halls, or similar places
- » Veterinarian Clinic
- » Warehousing
- » Wholesale Establishments

ACCESSORY USES

- » Accessory Buildings, Structures, and Uses
- » Home Offices and Home Occupations
- » Mobile Food Site (accessory use)

The above list is a summary of Principal Permitted Uses or uses permitted on Special Approval in the District. Uses provided with a section reference indicates uses that have specific use standards. Refer to [Article 2](#) for definitions of uses.

DIMENSION REGULATIONS

LOT STANDARDS

Min. Lot Area	—
Min. Lot Width	—
Max. Lot Coverage	—
Maximum Density	—
Max. Building Height (ft.)	40 ft. ^[1]
Max. Building Height (stories)	3 Stories ^[1]

MINIMUM SETBACKS

Front Yard	Minimum: 0 ft. Maximum: 10 ft.
Side Yard (interior)	0 ft (where sharing party wall); 5 ft. otherwise
Side Yard (street)	5 ft.
Rear Yard	5 ft. (alley-loaded); 15 ft. otherwise ^{[1][2]}

[1] Any portion of a building within 40 feet of a property zoned R-1, R-2 or R-3 shall not exceed 30 feet and two stories in height.

[2] The alley-loaded rear yard setback standard shall also apply to those properties that abut E. Heights Street/1-696 Service Drive.

1. **Design Standards.** The following design standards apply to buildings and sites within the MUI-1 districts.

A. Façade Design.

- 1) Large expanses of highly reflective wall surface material, and of mirrored glass on exterior walls are prohibited.
- 2) Buildings with façades over 150 feet in length must incorporate wall projections or recesses, or changes in wall plane a minimum of 4 inches in depth a maximum of every 25 linear feet.
- 3) The ground floor of the front façade must maintain a minimum transparency of 30%, measured between 2 and 10 feet in height from grade.
- 4) Portions of the front façade at second floor or higher must maintain a minimum transparency of 15% of the wall area on each story.
- 5) The following exterior wall building materials are allowable:
 - a) Rock face block, natural finish.
 - b) Red, blond or brown brick, unit dimensions limited to 2.666" x 8 8".
 - c) Portland Cement Stucco, natural finish.
 - d) Finished Concrete (up to 20% of wall area).
 - e) Steel or painted wood windows and storefronts.
 - f) Cedar lap siding and shingles, painted or stained. (Limited to Cottage Retail Building Type).
 - g) Painted wood trim.
 - h) Limestone and terra cotta for decorative elements and trim.
- 6) The following pitched roof material are allowable:
 - a) Corrugated Metal
 - b) Dimensional asphalt shingles
 - c) Raised seam roofing, natural metal finish.
 - d) Clay tile roofing
 - e) Slate

B. Roof Design (flat roofs).

- 1) Green roof, blue roof, and white roof designs are encouraged.
- 2) Reflective roof surfaces that produce glare are prohibited, except for solar panels or white roofs intended to radiate absorbed or non-reflected solar energy and reduce heat transfer to the building.

C. Entrance Design.

- 3) Public entrances and primary building elevations must be oriented toward public streets or private streets. Main entrances to the building must be well defined.
- 4) Entries to office or guest facilities must address the street, with direct access to office or guest facilities from street frontages and parking areas.

D. Site Design.

2. Front setbacks of buildings must be measured to an existing or new street right-of-way line (or to a line established 10' from existing service drive pavement edge).

MUI-2 MIXED USE INNOVATION DISTRICT

PREAMBLE

The Mixed-Use Innovation-2 (MUI-2) District is established to promote the redevelopment of moderate to larger-scale regional commercial centers into walkable, compact developments featuring a cohesive mix of commercial, residential, and recreational land uses. MUI-2 development standards are intended to allow for the creation of integrated mixed-use, walkable districts, that prioritize pedestrian connectivity over vehicle circulation and parking. The MUI-2 district is also intended as an alternative format for larger-scale commercial uses than that of the Business (B) zoning districts.

PERMITTED USES

- » Bar/Lounge
- » Business or Trade Schools
- » Community Recreation Centers and Private Noncommercial Recreational Areas
- » Day Care Center
- » Day Care Home (six children of fewer)
- » Financial Institution
- » General Retail
- » Health Club
- » Hotels and Motels
- » Incubator Kitchen
- » Incubator Workspaces
- » Independent Senior Housing
- » Indoor Recreational Business
- » Live/Work
- » Medical Office
- » Medical Supply Store
- » Mixed-Use Developments
- » Municipal Office Buildings
- » Multiple-Family Dwellings
- » Municipal Service Buildings
- » One-Family Attached/ Townhome
- » Personal Service Establishment
- » Pharmacy
- » Private Clubs or Lodges
- » Professional Office
- » Publicly Owned and Operated Parks, Parkways, and Recreational Facilities
- » Restaurant
- » Upper-Story Residential
- » Veterinarian Clinic

SPECIAL LAND USES

- Artisan Manufacturing
- EV Charging Facility or Vehicle Fueling
- Microbreweries and Distilleries
- Mobile Food Court (principal use)
- Nursing or Convalescent Home
- Open Air Business
- Outdoor Recreational Business
- Outdoor Theater
- Public, Parochial, and Private Elementary, Intermediate Schools, and/or High Schools offering courses in general education, not operated for profit
- Religious Institutions
- Theaters, Assembly Halls, Concert Halls, or similar places

ACCESSORY USES

- Home Offices and Home Occupations
- Mobile Food Site (accessory use)

The above list is a summary of Principal Permitted Uses or uses permitted on Special Approval in the Districts. Uses provided with a section reference indicates uses that have specific use standards. Refer to [Article 2](#) for definitions of uses.

DIMENSION REGULATIONS

LOT STANDARDS

Min. Lot Area	—
Min. Lot Width	—
Max. Lot Coverage	—
Maximum Density	35 du/acre
Max. Building Height (ft.)	50 ft.
Max. Building Height (stories)	4

MINIMUM SETBACKS

Front Yard	Minimum: 10 ft. Maximum (arterial/collector streets only): 25 ft.
Side Yard (interior)	0 ft (where sharing party wall); 5 ft. otherwise
Side Yard (street)	5 ft.
Rear Yard	15 ft.

1. **Design Standards.** The following design standards apply to buildings and sites within the MUI-2 districts.

A. Façade Design.

- 1) Large expanses of highly reflective wall surface material, and of mirrored glass on exterior walls are prohibited.
- 2) Buildings with façades over 150 feet in length must incorporate wall projections or recesses, or changes in wall plane a minimum of 4 inches in depth a maximum of every 25 linear feet.
- 3) The ground floor of the front façade must maintain a minimum transparency of 30%, measured between 2 and 10 feet in height from grade.
- 4) Portions of the front façade at second floor or higher must maintain a minimum transparency of 15% of the wall area on each story.
- 5) The following exterior wall building materials are allowable:
 - a) Rock face block, natural finish.
 - b) Red, blond or brown brick, unit dimensions limited to 2.666" x 8 8".
 - c) Portland Cement Stucco, natural finish.
 - d) Finished Concrete (up to 20% of wall area).
 - e) Steel or painted wood windows and storefronts.
 - f) Cedar lap siding and shingles, painted or stained. (Limited to Cottage Retail Building Type).
 - g) Painted wood trim.
 - h) Limestone and terra cotta for decorative elements and trim
- 6) The following pitched roof material are allowable:
 - a) Corrugated Metal
 - b) Dimensional asphalt shingles
 - c) Raised seam roofing, natural metal finish.
 - d) Clay tile roofing
 - e) Slate

B. Roof Design (flat roofs).

- 1) Green roof, blue roof, and white roof designs are encouraged.
- 2) Reflective roof surfaces that produce glare are prohibited, except for solar panels or white roofs intended to radiate absorbed or non-reflected solar energy and reduce heat transfer to the building.

C. Entrance Design.

- 1) Public entrances and primary building elevations must be oriented toward public streets or private streets. Main entrances to the building must be well defined.
- 2) Entries to office or guest facilities must address the street, with direct access to office or guest facilities from street frontages and parking areas.

D. Site Design.

- 1) Parking shall be located within the rear yard or interior side yard.
2. Front setbacks of buildings must be measured to an existing or new street right-of-way line (or to a line established 10' from existing service drive pavement edge).
3. New Street Standards, for multiple streets on development site:
 - A. Street spacing max 500' o.c.
 - B. Allowable Right-Of-Way widths 66' to 100'.
 - C. Allowable pavement widths 17' to 46'.
 - D. On-street parallel parking required. (For pavement less than 25' in width, one side parking shall be deemed sufficient).
 - E. Street trees planted 40' to 66' o.c. at regular intervals.
 - F. Multiple streets must be laid-out form an interconnected network of streets and blocks, block sizes max. 500' in any direction (measured to and from street centerlines).
 - G. Sidewalks and curbs required on both sides of new streets.
 - H. New Culs-de-sac prohibited.
 - I. New streets must terminate at other streets, or extend to a lot line or development limit to accommodate off-site connections.

OVERALL PERMITTED USES

The following Table details Principal Permitted Uses, Uses Permitted on Special Approval, and Accessory Uses by zoning district. This allows readers the ability to understand what's permitted where all in one location instead of sifting through every zoning district. Please note that this table still has yet to be finalized and is still considered a draft at this time.

- R-1** One-Family Residential District
- R-2** One-Family Residential District
- R-3** One-Family Residential District
- R-T** Two-Family Townhouse Residential District
- R-M** Multiple-Family Residential District
- O-1** Office Building District
- B-1** Neighborhood Business District
- B-2** Community Business District
- B-3** Regional Business District
- MUI-1** Mixed Use Innovation District
- MUI-2** Mixed Use Innovation District
- M-1** Light Industrial District
- M-2** Heavy Industrial District
- H-M** Mobile Homes District
- H-R** High Rise District
- N-P** Natural Preservation District

Key:
P Principal Uses Permitted
S Uses Permitted on Special Approval
A Uses Permitted on Special Approval
 Not Permitted

LAND USE	R-1	R-2	R-3	R-T	R-M	O-1	B-1	B-2	B-3	MUI-1	MUI-2	M-1	M-2	H-M	H-R	N-P
RESIDENTIAL USES																
Accessory Dwelling Unit						S			A							
Day Care Home (six children or fewer)	P	P	P	P						P	P					
Independent Senior Housing											P				S	
Upper-Story Residential										P	P	P	P			
Live/Work										P	P					
Mobile Homes or Trailer Coaches															P	
Multiple-Family Dwellings					P						P					
Mixed-Use Developments									P	P		P	P			
Nursing or Convalescent Home					S						S					
One-Family Attached/ Townhome				P	P					S	P					
One-Family Detached Dwellings	P	P	P	P	P											P
Two-Family Dwellings				P	P											
COMMERCIAL USES																
Auto Wash									S							
Automotive Sales (New)									P	S			S	S		
Automotive Sales (Used)									S	S			P	P		
Bar/Lounge							S	S	S	P	P	S	S		S	
Business or Trade Schools				P					P	P	P	P			P	
Commercial Kennels												S				
Day Care Center				P	P	P					P					
Financial Institution				P						P	P	P	P			
Funeral Homes				S					S							
Gasoline Service Station						S	S	S								
General Retail						P	P	P	P	P					P	
Health Club										P	P	P	P			
Hospital				S	P											
Hotels and Motels									S	S	P				P	
Incubator Kitchen						P				P	P					
Indoor Gun Range									S			S	S			
Indoor Recreational Business						S	P	P	P	P	P	P	P		P	
Medical Office						P	P			P	P	P	P			
Medical Supply Store						S				P	P					
Microbreweries and Distilleries										S	S	P	P			
Mixed-Use Developments									P	P	P	P	P			
Mobile Food Court (principal use)						S	S	S	S	S	S	S	S			
Mobile Food Site (accessory use)						A	A	A	A	A	A	A	A	A		
Motor Vehicle Repair and Service Facilities						S	S	S				S				
Open Air Business								P	S	S	S					
Outdoor Recreational Business									P	S	S					
Outdoor Theater									S	S	S	S				
Personal Service Establishment						S	P	S	P	P	P				P	
Pharmacy						S				P	P				P	
Professional Office						P	P			P	P	P	P		P	
Race tracks												S				
Restaurant						S	P	P	P	P	P	P	P		P	
Self-Storage Facilities										S		S				
Theaters, Assembly Halls, Concert Halls, or similar places							P			S	S					
Veterinarian Clinic						S			S	S	P	P	P			
INDUSTRIAL USES																
Artisan Manufacturing										P	S		P			
Assembly Plant												S	S			
Building Material Outlets												S	S			
Incubator Workspaces										P	P	P	P			
Industrial Tool and Equipment Sales, Service, Storage, and Distribution												S				
Lumber Yards												S	S			
Manufacturing										P		P	P			
Metal Plating, Buffing and Polishing												S	S			
Painting, Varnishing, and Undercoating Shops										P		S	S			
Production, Processing, Cleaning, Servicing, Testing, Repair or Storage of Materials, Goods, or Products										P			P			
Trucking Facilities												P	P			
Warehousing										S		P	P			
Wholesale Establishments										S		P	P			
PUBLIC & QUASI-PUBLIC USES																
Community Recreation Centers and Private Noncommercial Recreational Areas	S	S	S	P						P	P	S				
Libraries	S	S	S	P						P						
Municipal Office Buildings	S	S	S	P						P	P	P				
Municipal Service Buildings	S	S	S	P						P	P	P				
Private Clubs or Lodges										P	P	P			P	
Public, Parochial, and Private Elementary, Intermediate Schools, and/or High Schools offering courses in general education, not operated for profit	S	S	S	P						S	S					
Public Utility	S	S	S	P		P	S		P						P	
Publicly Owned and Operated Parks, Parkways, and Recreational Facilities	P	P	P	P						P	P				P	
Recycling Drop-Off Center								S	S							
Recycling Transfer and Processing Facilities												S	S			
Religious Institutions	S	S	S	P		P		P		P	S					
Television and Radio Towers												S				
Yard Waste Transfer and Composting Facilities												S	S			
OTHER USES																
Accessory Buildings, Structures, and Uses	A	A	A	A	A	A	A	A	A	A	A		A	A	A	A
Adult-Use Marihuana Safety Compliance Facility					P											
Adult-Use Marihuana Facility												P	P			
Conservation of soil, vegetation, water, fish, and wildlife in their natural state.																P
EV Charging Facility or Vehicle Fueling										S						
Home Offices and Home Occupations	A	A	A	A	A					A	A					
Medical Marihuana Safety Compliance Facility					P											
Medical Marihuana Caregiver										P						
Medical Marihuana Facility												P	P			
Mixed-Use Developments										P	P		P	P		
Natural Areas																P
Temporary buildings and uses for construction purposes for a period not to exceed one year	S	S	S	P												

Item 3.




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PLANNING MAGAZINE

5 Practical Zoning Hacks for Missing Middle Housing

These thoughtful tweaks can help promote housing diversity and density in communities of all sizes.

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Images of different housing types can help minimize resistance to increased density. The site Missing Middle Housing offers images and videos to help educate your community on what to expect. Courtesy of Opticos Design, Inc.

March 21, 2022

By KATI WOOCK

One-third of American households are made up of a single individual. Up to 85 percent of households will not include children by 2025. By 2030, one in five Americans will be over the age of 65.

These statistics add up to a simple fact: Demand is high for smaller homes, lower living costs, walkable neighborhoods, and places for people to age in place. Yet zoning across the U.S. largely discourages these features.

That's because codes tend to be based on residential density, which is measured in dwelling units per acre, and most prioritize single-family housing. In 2019, *The New York Times* found that "it is illegal on 75 percent of the residential land (<https://www.nytimes.com/interactive/2019/06/18/upshot/cities-across-america-question-single-family-zoning.html?mtrref=en.wikipedia.org&assetType=PAYWALL&mtrref=www.nytimes.com&assetType=PAYWALL>) in many American cities to build anything other than a detached single-family home." Not only are large multifamily buildings banned from many neighborhoods, but so are smaller housing types that cost less than a single-family home: side-by-side and stacked duplexes, triplexes, townhouses. These constitute "missing middle housing," or "house-scale buildings that just happen to have multiple units in them," says [Daniel Parolek](https://opticosdesign.com/about/staff/daniel-parolek/) (<https://opticosdesign.com/about/staff/daniel-parolek/>), principal and CEO of Opticos Design, [who coined the term in 2010](https://missingmiddlehousing.com/about) (<https://missingmiddlehousing.com/about>).

In the past few years, [Oregon](https://www.sightline.org/2021/08/13/eight-ingredients-for-a-state-level-zoning-reform/) (<https://www.sightline.org/2021/08/13/eight-ingredients-for-a-state-level-zoning-reform/>), [Minneapolis](https://www.pbs.org/newshour/show/how-minneapolis-became-the-first-to-end-single-family-zoning) (<https://www.pbs.org/newshour/show/how-minneapolis-became-the-first-to-end-single-family-zoning>), [California](https://nlihc.org/resource/california-legislature-passes-bills-limit-exclusionary-zoning-and-increase-density) (<https://nlihc.org/resource/california-legislature-passes-bills-limit-exclusionary-zoning-and-increase-density>), and other states and cities have launched [zoning reform efforts](https://planning.org/2021/winter/3-zoning-changes-that-make-residential-neighborhoods-more-affordable/) (<https://planning.org/2021/winter/3-zoning-changes-that-make-residential-neighborhoods-more-affordable/>) to better promote housing affordability, diversity, and density. But if your community lacks the political will to make these kinds of sweeping changes, a few thoughtful tweaks can still make a big impact. Try these five zoning hacks — and a bonus tip — recommended by Parolek, then watch his [APA Learn course](https://learn.planning.org/local/catalog/view/product.php?globalid=LRN_198216) (https://learn.planning.org/local/catalog/view/product.php?globalid=LRN_198216) for more ways to increase local density.

1. REDUCE MINIMUM LOT SIZE.

Does your code require two lots to build a duplex or a fourplex? If a builder must aggregate multiple lots to build a small multiunit building, your minimum lot sizes are too big. Instead, replace minimum lot sizes with minimum lot widths and tie types of buildings to the lot's width, not its square footage.

2. ALLOW FOR MORE HOUSING TYPES AND REVISIT STRUCTURE SIZES.

As Joe Zehnder, chief planner for Portland, Oregon's Bureau of Planning and Sustainability, says, "if the house size is the same, why do you care how many units are in there?" In Portland, zoning changes now allow someone building on a 5,000-square-foot lot to construct up to four units divided between a main building and detached accessory dwelling units. Five or six units are allowed if half of them are affordable to low-income residents.

3. LEVEL THE PLAYING FIELD FOR SMALLER UNITS.

More density doesn't always mean bigger buildings. In Santa Barbara, California, an average unit size ordinance provides for increased density as the average unit size decreases. This enables missing middle housing by allowing for greater density, even in smaller structures.

4. REDUCE OR ELIMINATE PARKING MINIMUMS.

[Parking expert Professor Donald Shoup](https://publications.document/9194519/) ([https://publications/document/9194519/](https://publications.document/9194519/)), FAICP, of UCLA estimates that the U.S. has set aside two billion parking spaces for just 250 million cars and light trucks, resulting in far more land dedicated to cars than housing.

"If you want missing middle [housing], you need to fix your [parking standards](https://planning.org/2018/oct/peopleoverparking/) (<https://planning.org/2018/oct/peopleoverparking/>)," says Parolek. "We've done a better job delivering houses for cars than we have delivering houses for people." If you require more than one off-street parking space per unit, it's not economically viable or physically possible to create missing middle housing on infill lots. Instead, opt for one parking space — or even none — per unit and no guest parking.

In suburban or rural areas, like Beaufort County, South Carolina, driving might be a fact of life. Try being creative about how you design parking so it can become an extra unit in the future, if factors like demand or public transit change.

Item 3.

5. ALLOW MISSING MIDDLE HOUSING EVERYWHERE (IF POSSIBLE).

Is more than 20 percent of your land area zoned exclusively for single-family housing? Then you need to change the boundaries limiting missing middle housing to deliver it effectively and equitably. In Portland, Oregon, planners proposed allowing middle housing types in all districts across the city unless there is a physical limitation, like flooding or landslide hazards.

In response to displacement concerns, Zehnder says, "the more places where we allow this to happen, the less it's going to overwhelm any individual place." And development won't happen all at once: Portland planners estimate an add of 4,000 new units over the next 15 years. But if a single house in a wealthy neighborhood is replaced with three units, that alone can help take the pressure off demolitions in an area with lower incomes, Zehnder says.

BONUS TIP

Frame the conversation. When you're presenting your ideas to the community, especially those resistant to change, it can be helpful to avoid terms that might have negative connotations to some, like "density," "multifamily," or "upzoning." Present zoning changes as a way to offer new housing choices or options. Focus on form and scale, not density metrics. Imagery can help community members understand how missing middle types could look in their neighborhoods, too — check out missingmiddlehousing.com (<https://missingmiddlehousing.com>) for resources.

Kati Woock is a freelance editor and writer based in Michigan. This was adapted from a 2019 National Planning Conference session and [APA Learn course](https://learn.planning.org/local/catalog/view/product.php?globalid=LRN_198216) (https://learn.planning.org/local/catalog/view/product.php?globalid=LRN_198216), by [Daniel Parolek](https://opticosdesign.com/about/staff/daniel-parolek/) (<https://opticosdesign.com/about/staff/daniel-parolek/>), principal and CEO of Opticos Design.

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Accessory dwelling units – Coming to a neighborhood near you?

Brad Neumann, [Michigan State University Extension](#) - September 09, 2022

With interest in urban living on the rise, more communities are considering amending local regulations to allow accessory dwelling units in traditional neighborhoods.



Nationwide, cities and small towns are experiencing housing affordability and attainability challenges. According to the Joint Center for Housing Studies of Harvard University's The State Of the Nation's Housing 2022 these challenges are driven by many factors such as rising costs and limited housing stock alongside increasing demand from homebuyers report. More communities are addressing the increased demand for housing in traditional neighborhoods by amending regulations to allow accessory dwelling units.

Accessory dwelling units (ADUs) are also known as granny flats, mother-in-law apartments or carriage houses. Regardless of the name, this definition from the Village of Beulah, Michigan zoning ordinance gets at the key concept – “An incidental and subordinate dwelling unit which provides living quarters for one (1) individual or a family that is on the same lot, but is separate from the primary dwelling unit....” Some communities include standard for accessory dwellings that requires one of the two dwelling units – either the principal dwelling or the accessory dwelling – to be occupied by the property owner in order to avoid an absentee landlord situation in which structures may sometimes fall into disrepair. Accessory dwelling units might be in an accessory building, such as a converted garage or new construction, or the accessory dwelling might be attached or part of the principal dwelling, such as a converted living space, attached garage, or an addition. The later may be called something else, like in the Village of Beulah ordinance that refers to them as accessory apartments.

Accessory dwelling units have been touted as an affordable housing strategy in communities where a brisk real estate market is driving families and talented workers out of the community. The relatively smaller size of such units makes them more affordable. What's more, such dwellings also provide additional income for property owners, making the principal residence also more affordable. Although, it is important to note that accessory dwellings will not solve the affordable housing problem alone.

In addition to making housing more affordable, communities have looked to ADUs as a way to increase density in neighborhoods as a counter measure to changing household and family structures. In order to improve business for local establishments in and around traditional neighborhoods, ADUs not only subtly increase population density; they increase the customer base near a community business district.

Any community that has considered changes to zoning to allow accessory dwelling units knows the topic is not without objection. Resistance to accessory dwelling units of Item 3. relate to concerns about overcrowding, declining structural conditions, and increasing traffic. In practice, communities can offset these concerns with reasonable regulations and a robust planning process that includes public participation.

For instance, accessory dwellings may not be appropriate on every residential parcel. Sometimes local regulations include a minimum parcel size to be permitted (although, if this minimum size is too big it may defeat the purpose of increasing density in a traditional neighborhood). Also, regulations may require provision of one additional off-street parking space accessible from the existing driveway or alley. To help preserve neighborhood character, entry doors may be required to be screened from the street or off the side of a structure. So, depending on the size of the parcel, the size and orientation of the existing, principal dwelling, the driveway or alley configuration, and other special circumstances, accessory dwellings may not be appropriate on every single-family residential lot in a community.

There are numerous resources on ADUs for communities considering this housing option, some of those include:

- [ABCs of ADUs: A Guide to Accessory Dwelling Units and How They Expand Housing Options for People of All Ages](#) by AARP
- [Accessory Dwelling Units: A Step by Step Guide to Design and Development](#) by AARP
- [Accessory Dwelling Units: Model State Act and Local Ordinance](#) by the AARP
- [Accessory Dwelling Unit \(ADUs\) Case Study](#) by the U.S. Department of Housing and Urban Development
- [Accessory Dwelling Units – Knowledgebase Collection](#) by the American Planning Association
- [Accessory Dwelling Units – Quick Notes](#) by the American Planning Association
- [A Guide to Building a Backyard Cottage](#) by the City of Seattle
- [AccessoryDwellings.Org](#)

Additionally, example zoning regulations from Michigan communities that allow ADUs include:

- Clark Township (Mackinac County) allows as a permitted use in [any zoning district that permits single family dwellings](#)

- Hamburg Township (Livingston County) allows as a permitted use across several districts (see Sec. 36.239)
- Village of Beulah (Benzie County) allows as a permitted use with special conditions across residential and some commercial
- City of Traverse City requires registration and allows up to 15 new per year in its Single-Family Dwelling Districts
- City of Niles allows as a special land use in its Low-Density and Medium-Density Residential districts
- City of Manistee allows as a special use in its Medium-Density and High-Density Residential districts and by right in the Central Business District
- City of Grand Rapids allows as a special land use in all residential districts

If interested in learning more about accessory dwelling units, contact a Michigan State University Extension land use educator.

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2023 Madison Heights Development Overview
Special Use and Site Plan Submittals
January 17th to February 21st, 2023

Item 4.

SPECIAL USE (PSP) APPLICATIONS

PSP CASE	ADDRESS	PROJECT DESCRIPTION	DATE APPROVED/DENIED (Council Meeting)	STATUS
22-11	1275 W. 14 Mile Rd.	Express Car Wash + Retail	2/13/23 Meeting	Approved w/ Conditions

SITE PLAN (PSPR) APPLICATIONS

PSPR CASE	ADDRESS	PROJECT DESCRIPTION	DATE APPROVED	STATUS
22-12	27025 John R. Rd.	Three-story mixed-use: 45 units and 4,713 sq. ft. of retail.	12/8/22	Engineering Plans Submitted

[EXCLUDES ADMINISTRATIVE SITE PLANS AND MINOR PROJECTS]

PSP 22-11: EL CAR WASH – 1275 W. 14 MILE ROAD











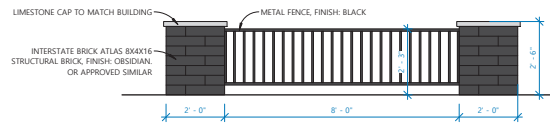




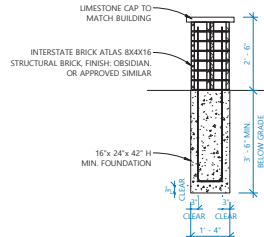




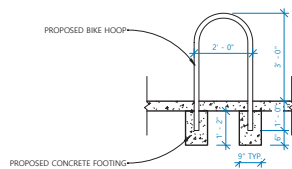
PSPR 22-12: MIXED USE – 27025 JOHN R ROAD



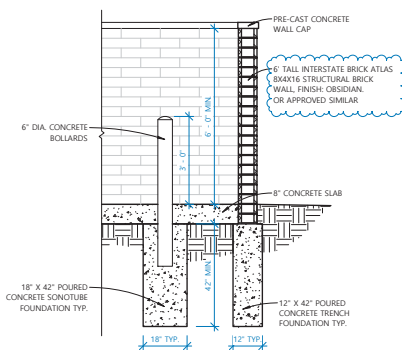
④ FENCE ELEVATION
1/2" = 1'-0"



⑤ FENCE DETAIL
1/2" = 1'-0"



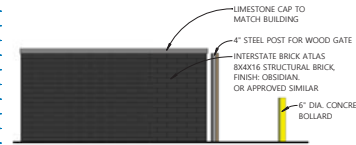
③ BIKE HOOP DETAIL
1/2" = 1'-0"



① DUMPSTER DETAIL
1/2" = 1'-0"



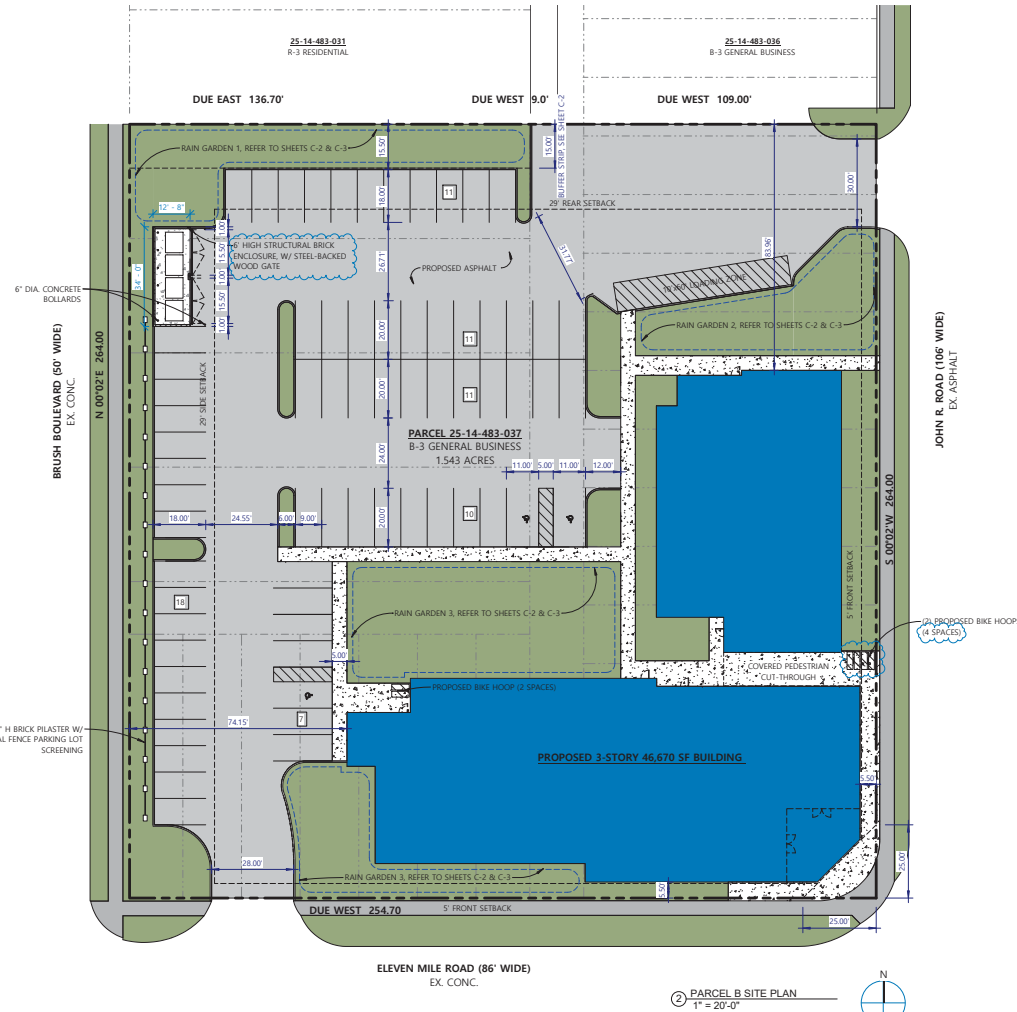
INTERSTATE BRICK ATLAS
8X4X16 STRUCTURAL BRICK
FINISH: OBSIDIAN.
OR APPROVED SIMILAR










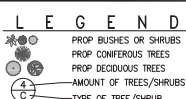
⑦ DUMPSTER ENCLOSURE SIDE
1/4" = 1'-0"



⑥ DUMPSTER ENCLOSURE FRONT
1/4" = 1'-0"



LANDSCAPING NOTES	
INTERIOR LANDSCAPING: REQUIRED: 5% OF TOTAL IMPERVIOUS AREAS = 25 (9096 SQ FT) = 2,408 SF MIN. PROVIDED: 11,542 SF	
PARKING LOT LANDSCAPING: REQUIRED: 5 SF PER PARKING SPACE = 5 SF (67) = 335 SF PROVIDED: 961 SF	
PARKING CALCULATIONS	
DETAIL: REQUIRED: 1 PER 250 SF GROSS AREA 4,844 SF (GROSS) / 250 SF = 19 SPACES	
MULTI-FAMILY RESIDENTIAL: REQUIRED: 1 SPACE FOR EACH 1 BEDROOM UNIT 4317 = 43 SPACES 1.5 SPACES FOR EACH 2 BEDROOM UNIT 2115 = 3 SPACES	
TOTAL SPACES REQUIRED: 65 SPACES TOTAL SPACES PROVIDED: 68 SPACES (3 ACCESSIBLE)	
LEGEND	
	PROPOSED BUILDING
	PROPOSED CONCRETE
	EXISTING CONCRETE
	PROPOSED GREEN SPACE
	EXISTING GREEN SPACE
	PROPERTY LINE
	SETBACK LINE



2. ALL CORNER LOT PLANT BEDS SHALL HAVE A 4" WOOD MULCH BEDDING PLACED ON GEOTEXTILE WEED BLOCK FABRIC
3. ALL NEW LAWN TREES SHALL HAVE A 15" DIAMETER CIRCLE OF 4" WOOD MULCH BEDDING PLACED ON GEOTEXTILE WEED BLOCK FABRIC BOUNDED BY COMMERCIAL GRADE PLASTIC EDGING.
4. ALL LAWN AREAS SHALL BE ESTABLISHED WITH A TOPSOIL, SEEDING, FERTILIZER, SEED AND MULCH, ALL LANDSCAPE BEDS SHALL HAVE A 10" DEEP BED OF A MATURE THAT CONSISTS OF TOPSOIL & COMPOST.
5. ON-SITE IRRIGATION IS SHALL BE REQUIRED FOR THIS PROJECT.
6. ALL UTILITY STRUCTURES AND TRANSFORMERS MUST BE SCREENED WITH LANDSCAPING.
7. ALL SHRUBS AND BUSHES SHALL BE TRIMMED AND HEIGHTS MAINTAINED TO NO MORE THAN 42 INCHES.



AMERICAN SWEETGUM AMERICAN SYCAMORE AMERICAN ARBORVITAE AUSTRIAN PINE COLORADO BLUE SPRUCE

CRIMSON PYMY BARBERRY DWARF BURNING BUSH WICHITA BLUE JUNIPER RHODODENDRON SHRUB

1) RAIN GARDEN LANDSCAPING AREAS SHALL BE COVERED WITH WATER TOLERANT PLANTINGS, WOOD CHIPS, MULCH, AND SAND, OR ANY COMBINATION OF THE ABOVE.

- 2) PLACE A MIXTURE OF WATER TOLERANT PLANTINGS ON THE SIDE SLOPES AND ON THE BOTTOM OF THE PROPOSED RAIN GARDEN BASINS. (SEE CHART ON THE LEFT AS TO SPECIES PLACED WITHIN THE RAIN GARDEN BASINS)

1) SCREEN WALLS SHALL BE LOCATED WHERE NECESSARY DUE TO THE NATURE AND LOCATION OF THE USE DISTRICT, PROPOSED USE, OR ADJOINING USE(S) OR DISTRICT(S).

- 2) REQUIRED SCREEN WALLS SHALL BE LOCATED WHERE THIS ORDINANCE REQUIRES CONFORMANCE WITH FRONT YARD SETBACK LINES IN ADJUTING RESIDENTIAL DISTRICTS AND LOCATED ON THE OPPOSITE SIDE OF AN ALLEY RIGHT-OF-WAY FROM A NONRESIDENTIAL ZONE THAT ADJUTS A RESIDENTIAL ZONE.
- 3) REQUIRED SCREEN WALLS SHALL INCLUDE A MINIMUM FIVE-FOOT WIDE GREENBELT ADJACENT TO THE REQUIRED WA FOR ITS ENTIRE LENGTH, PLANTED IN ACCORDANCE WITH THE GREENBELT PLANTING STANDARDS BELOW.
- 4) THE GREENBELT SHALL BE COVERED WITH GRASS, LIVING GROUNDCOVER, WOODCHIPS, MULCH, STONE, OR ANY COMBINATION OF THE ABOVE.

6) FOUR 24-30" HIGH OR WIDE EVERGREEN OR DECIDUOUS SHRUBS FOR EVERY 30 LINEAR FEET OF GREENBELT = $264/30 = 8.8$ OR 9; THEN $9 \times 4 =$ 36 SHRUBS REQUIRED, 48 PROVIDED

- RESIDENTIAL BUFFER STRIP (NORTHWEST SIDE):**
A BUFFER STRIP IS A LANDSCAPED AREA OF TREES, SHRUBS AND GROUNDCOVER INTENDED TO FORM A VISUAL BUFFER OF VARYING HEIGHT. ALL BUFFER STRIPS SHALL CONFORM TO THE FOLLOWING:

3) ONE TWO AND ONE-HALF-INCH CALIBER DECIDUOUS TREE OR ONE FIVE-FOOT HIGH EVERGREEN TREE FOR EVERY 20 LINEAR FEET OF REQUIRED BUFFER STRIP = $136.7/20 = 6.835$ or

- 4) FOUR 24-30" HIGH OR WIDE EVERGREEN OR DECIDUOUS SHRUBS FOR EVERY 20 LINEAR FEET OF BUFFER STRIP = $136.7/20 = 6.835$ OR 7; THEN $7 \times 4 = 28$ SHRUBS REQUIRED. 31 PROVIDED

1) THE INTERIOR LANDSCAPING AREA SHALL BE COVERED WITH GRASS, GROUND COVER, WOOD CHIPS, MULCH, OR ANY

- 2) ONE TWO AND ONE-HALF-INCH CALIPER DECIDUOUS TREE; AND THEN ONE TWO AND ONE-HALF-INCH CALIPER DECIDUOUS TREE FOR EVERY ADDITIONAL 400 SQUARE FEET OF REQUIRED INTERIOR LANDSCAPING AREA = 1,892/400 = 4.73, THREE DECIDUOUS, A DECIDUOUS TREE, EVERGREEN TREE, EVERGREEN TREE, DECIDUOUS TREE, DECIDUOUS TREE

PARKING LOT LANDSCAPING:

- IN EVERY PARKING AREA CONTAINING TEN OR MORE REQUIRED SPACES THERE SHALL BE PARKING LOT LANDSCAPING. THESE LANDSCAPING AREAS SHALL BE LOCATED SO AS TO BETTER DEFINE PARKING SPACES, DRIVES AND REQUIRED FI Lanes. ALL REQUIRED PARKING LOT LANDSCAPING SHALL CONFORM WITH THE FOLLOWING:

3) ONE TWO AND ONE-HALF-INCH CALIBER DECIDUOUS CANOPY TREE SHALL BE REQUIRED FOR EVERY 100 SQUARE FEET OF DISTURBED SURFACE LOT 1 LANDSCAPING AREA = 484 SQ. FT. = 4.84 ac.

- 4) PARKING LOT LANDSCAPING AREAS SHALL BE CURBED WITH 6" CONCRETE CURBING

WOOD MULCH
1" SAUCER
REMOVE CONTAINER OR 1/3 OF WRAPPING AT TOP OF BALL
4" WOOD MULCH
3" SAUCER
PLANTING COLUMN

-
- ACTED
OIL (SCARIFY
DEEP)
- PLANTING SOIL MIX -
TOPSOIL & PEAT
MOSS AT 3:1 RATIO
BY VOLUME
- PLANTING SOIL MIX
TOPSOIL & PEAT
MOSS 3:1 RATIO BY
VOLUME IN 9" LAYERS
- WATER EACH
LAYER.

COMPACTED SUB-SOIL
(SCARIFY TO 4" DEEP)

- SHRUB PLANTING DETAIL EVERGREEN

27025 JOHN R. ROAD
MADISON HEIGHTS, MI 480

-

QTY	KEY	COMMON NAME	BOTANICAL NAME	SIZE
39	A	DAYLILY	HEMEROCALIS HAPPY RETURNS	BULBS
29	B	CREEPING RED SEDUM	SEDUM SPURUM	2" POT
7	C	CRIMSON PYGMY BAYBERRY	ATROPURPUREA NANA	24" HGT
14	D	DWARF BURNING BUSH	EUNYOMIS ALATUS 'COMPACTUS'	24" HGT
6	E	WICHTA BLUE JUNPER	JUNIPERUS SCOPULORUM	24" HGT
70	F	WINTERGREEN BOXWOOD	BUXUS SINICA VAR	24" HGT
70	G	RHODODENDRON SHRUB	RHODODENDRON CATAMBIENSE	24" HGT

43	H	PURPLE JOE-PYE WEEED	EUTROCHUM PURPUREAM	12" HGT
40	I	CARDINAL FLOWER	OEBLIA CARDINALIS	12" HGT
62	J	HARDY HIBISCUS	HIBISCUS MOSCHEUTOS	12" HGT
39	K	LIROPE SUPER BLUE	LIROPE MUSCARI	12" HGT
49	L	PURPLE LOVEGRASS	ERAGROSTIS SPECTABILIS	12" HGT
45	M	BLUE-EYED GRASS	SISYRINCHIUM ANGUSTIFOLIUM	12" HGT

QTY	KEY	COMMON NAME	BOTANICAL NAME	SIZE
32	N	MAPLE LEAF VIBURNUM	VIBURNUM ACERIFOLIUM	36" HGT
26	O	MICHIGAN HOLLY	ILEX VERTICILLATA	36" HGT

DECIDUOUS AND CONIFEROUS TREE LIST

10	P	ARBUZVITAE	INDIA OCCIDENTALS	4 HGT
10	Q	AUSTRIAN PINE	PINUS NIGRA	5' HGT
12	R	COLORADO BLUE SPRUCE	PICEA PUNGENS	5' HGT
3	S	EASTERN REDBUD	CERES CANADENSIS	1.5" CALIPER

6	U	AMERICAN SWEETGUM	LIQUIDAMBAR STYRAOFLUA	2.5" CALIPER
10	V	AMERICAN SYCAMORE	PLATANUS OCCIDENTALIS	2.5" CALIPER
10	W	AMERICAN RED MAPLE	ACER RUBRUM	2.5" CALIPER

Diagram illustrating the components of a tree planting pit:

- FINISH GRADE AS IT BORE TO PREVIOUSLY EXISTING GRADE.
- AT TOP OF BALL
- 4" WOOD MULCH
- 3" SAUCER
- PLANTING SOIL, MIX TOPSOIL & PEAT MOSS 3:1 RATIO BY VOLUME IN 9" LAYERS - WATER EACH LAYER.
- APPROVED TREE WRAP, FROM TREE TO BOTTOM BRANCHES
- SAME RELATION TO FINISH GRADE AS IT BORE TO PREVIOUSLY EXISTING GRADE.

REVISIONS	DRN. BY:	J.R.B.	09.15.2022	SHEET NO: C-2
12.02.2022	DSN. BY:	J.R.B.	"	
	CHK'D BY:	J.B.M.	"	
	APPR BY:	J.B.M.	"	

Page 10 of 10



DAMIAN
FARRELL
DESIGN
GROUP

359 METTIE DRIVE, SUITE 4A
ANN ARBOR, MI 48103
tel: 734.998.3333

PRELIMINARY SPA SET
MADISON HEIGHTS MIXED USE BUILDING
27935 JOHN B. ROAD
MADISON HEIGHTS, MI 48071

DATE

06.14.2022
09.15.2022

DESCRIPTION

PRELIMINARY SPA SET
PRELIMINARY SPA SET
REV 1

DESIGN

Designer

DRAWN

Author

PROJECT NO.

210222_04_01

ELEVATIONS

A4.0



MATERIAL LEGEND	
TAG	DESCRIPTION
1	HARDIE PLANK LAP SIDING OR APPROVED SIMILAR. TYP. FINISH TBD BY OWNER
2	NICHHA VINTAGE WOOD SIDING OR APPROVED SIMILAR. TYP. FINISH TBD BY OWNER
3	BRICK TBD BY OWNER.
4	PROPOSED AWNING
5	METAL RAILING TBD BY OWNER
6	PROPOSED SIGN LOCATIONS. EACH TENANT SIGN NOT TO EXCEED 6" LETTERING. SEE SIGN NOTES BELOW FOR MAX. AREA.
7	PROPOSED LITHONIA WST LED WALL PACK OR APPROVED SIM.
8	PRECAST CONCRETE TYP.

SIGN NOTES:

THE TOTAL SIGN AREA OF ANY WALL SIGNS SHALL NOT EXCEED 1 1/2 SF FOR EACH LF OF BUILDING FRONTAGE.

EAST ELEVATION: 175' (1.55F) = 262 SF MAX. / 2 SIGNS
= 132 SF SIGN MAX. PER TENANT

SOUTH ELEVATION: 175' (1.55F) = 262 SF MAX. / 1 SIGN
= 262 SF SIGN MAX.

NO PORTION OF WALL SIGN TO BE MORE THAN 20' ABOVE GRADE.

TYPICAL RETAIL SIGN BY TENANT PER SIGN ORDINANCE SECTION 10.511 IV. (C)(2)(b)



DAMIAN
FARRELL
DESIGN
GROUP

359 METTYS DRIVE, SUITE 4A
ANN ARBOR, MI 48103
tel: 734.998.3333

PRELIMINARY SPA SET

MADISON HEIGHTS MIXED USE BUILDING

27025 JOHN B. ROAD
MADISON HEIGHTS, MI 48071

DATE

06.14.2022
09.15.2022

DESCRIPTION

PRELIMINARY SPA SET
PRELIMINARY SPA SET
REV 1

DESIGN
DRAWN
PROJECT NO.

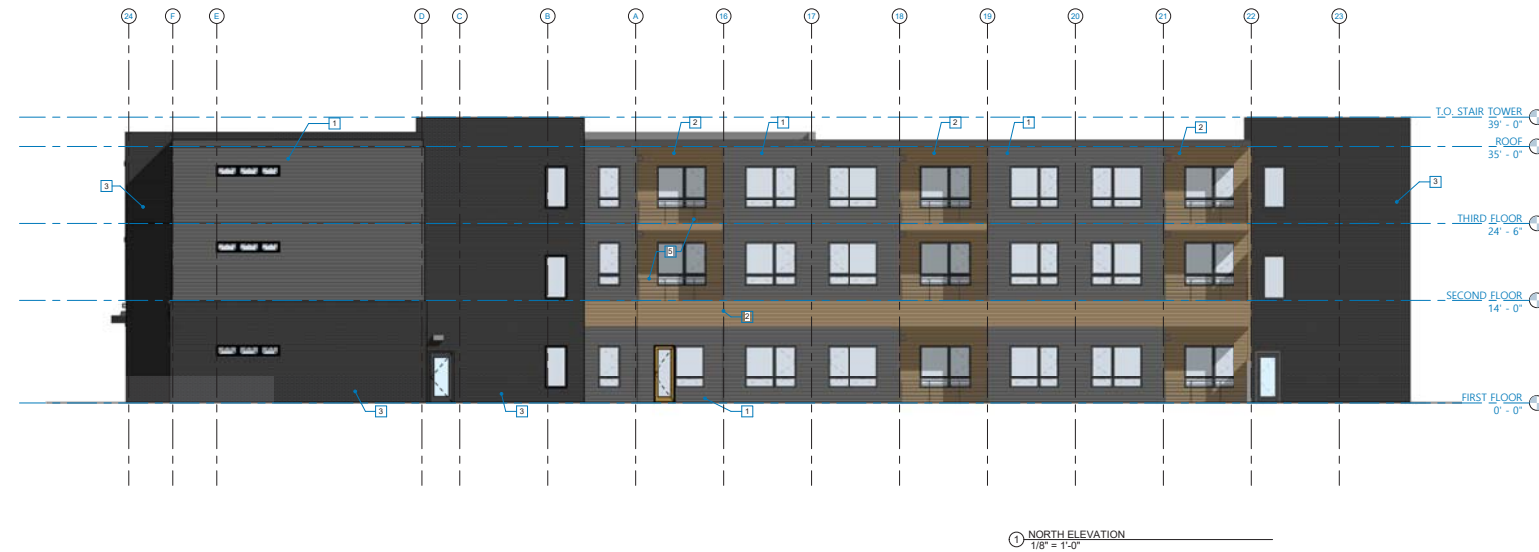
Designer
Author
210222_04_01

ELEVATIONS

A4.1



2 WEST ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND	
TAG	DESCRIPTION
1	HARDIE PLANK LAP SIDING OR APPROVED SIMILAR. TYP. FINISH TBD BY OWNER
2	NICHHA VINTAGE WOOD SIDING OR APPROVED SIMILAR. TYP. FINISH TBD BY OWNER
3	BRICK TBD BY OWNER.
4	PROPOSED AWNING
5	METAL RAILING TBD BY OWNER
6	PROPOSED SIGN LOCATIONS. EACH TENANT SIGN NOT TO EXCEED 6" LETTERING. SEE SIGN NOTES BELOW FOR MAX. AREA.
7	PROPOSED LITHONIA WEST LED WALL PACK OR APPROVED SIM.
8	PRECAST CONCRETE TYP.

SIGN NOTES:

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= 132 SF SIGN MAX. PER TENANT

SOUTH ELEVATION: 175' (1.55F) = 262 SF MAX. / 1 SIGN
= 262 SF SIGN MAX.

NO PORTION OF WALL SIGN TO BE MORE THAN 20' ABOVE GRADE.

TYPICAL RETAIL SIGN BY TENANT PER SIGN ORDINANCE SECTION 10.511 IV. (C)(2)(b)



DAMIAN
FARRELL
DESIGN
GROUP

359 METTY DRIVE, SUITE 4A
ANN ARBOR, MI 48103
tel: 734.998.1331

PRELIMINARY SPA SET

MADISON HEIGHTS MIXED USE BUILDING

27025 JOHN R. ROAD
MADISON HEIGHTS, MI 48071

DATE

05.17.2021
06.14.2022
08.15.2022

DESCRIPTION

PROGRESS SET
PRELIMINARY SPA SET
PRELIMINARY SPA SET
REV 1

DESIGN
DRAWN
PROJECT NO.

Designer
Author
210222_04_01

BUILDING
PERSPECTIVES

A4.2



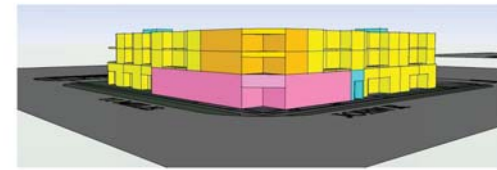
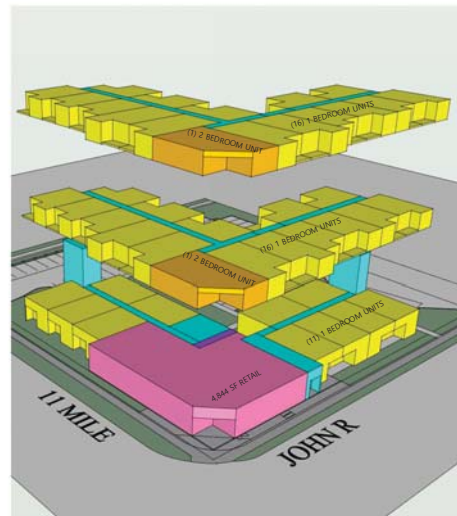
VIEW FROM PARKING LOT



VIEW FROM JOHN R RD



VIEW FROM 11 MILE RD



1-BEDROOM UNITS: 43
2-BEDROOM UNITS: 2
TOTAL UNITS: 45
FIRST FLOOR GROSS AREA: 15,202 SF
RETAIL: 4,844 SF (32%)
SECOND FLOOR GROSS AREA: 15,734 SF
THIRD FLOOR GROSS AREA: 15,734 SF
TOTAL GROSS AREA: 46,670 SF
PARKING:
1-BEDROOM UNITS:
43 (1 SPACE PER UNIT) = 43 SPACES
2-BEDROOM UNITS:
2 (1.5 SPACES PER UNIT) = 3 SPACES
RETAIL: 4,844 SF / 250SF = 19 SPACES
TOTAL SPACES = 65 SPACES

LEGEND
RETAIL
RETAIL CIRCULATION
1 BEDROOM UNIT
2 BEDROOM UNIT
RESIDENTIAL CIRCULATION