



PLANNING COMMISSION MEETING AGENDA

Monday, July 01, 2024 at 6:00 PM
Commission Chambers, 300 Municipal Drive,
Madeira Beach, FL 33708

This Meeting will be televised on Spectrum Channel 640 and YouTube Streamed on the City's Website.

1. CALL TO ORDER

2. ROLL CALL

3. PUBLIC COMMENT

Public participation is encouraged. If you are addressing the Planning Commission, step to the podium and state your name and address for the record. Please limit your comments to three (3) minutes and do not include any topic that is on the agenda.

Public comment on agenda items will be allowed when they come up.

For any quasi-judicial hearings that might be on the agenda, an affected person may become a party to this proceeding and can be entitled to present evidence at the hearing including the sworn testimony of witnesses and relevant exhibits and other documentary evidence and to cross-examine all witnesses by filing a notice of intent to be a party with the Community Development Director, not less than five days prior to the hearing.

4. APPROVAL OF MINUTES

[A.](#) Approval of Minutes

5. NEW BUSINESS

[A.](#) The Sanderling Site Plan - 13495 Gulf Boulevard

6. OLD BUSINESS

7. PLANNING COMMISSION DISCUSSION

8. ADMINISTRATIVE/STAFF PRESENTATION

[A.](#) MBTC Special Area Plan Amendments to C-3, C-4, R-3 Zoning Districts

[B.](#) John's Pass Village Zoning Draft

9. NEXT MEETING

Next meeting is scheduled for Monday, August 5, 2024 at 6:00 p.m.

10. INFORMATIONAL MATERIALS

11. ADJOURNMENT

One or more Elected or Appointed Officials may be in attendance.

Any person who decides to appeal any decision of the Planning Commission with respect to any matter considered at this meeting will need a record of the proceedings and for such purposes may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The law does not require the minutes to be transcribed verbatim; therefore, the applicant must make the necessary arrangements with a private reporter or private reporting firm and bear the resulting expense. In accordance with the Americans with Disability Act and F.S. 286.26; any person with a disability requiring reasonable accommodation to participate in this meeting should call Jenny Rowan, Community Development Director at 727-391-9951, ext. 244 or email a written request to jrowan@madeirabeachfl.gov.

**THE CITY OF MADEIRA BEACH, FLORIDA
LOCAL PLANNING AGENCY / PLANNING COMMISSION**

Madeira Beach City Hall, Patricia Shontz Commission Chambers
300 Municipal Drive, Madeira Beach, FL 33708
www.madeirabeachfl.gov | 727.391.9951

June 3, 2024 - MINUTES

1. CALL TO ORDER

Chairman Wyckoff called the meeting to order at 6:00 PM

2. ROLL CALL

Members in Attendance:

Chairman Wyckoff
Commissioner Ghovae
Commissioner Noble
Commissioner Connolly

Commissioner Meagher
Commissioner LaRue
Commissioner Dillon

Members Absent:

None

Staff Representatives:

City Engineer, Marci Forbes
Andrew Morris, Long Range Planner
Lisa Scheuermann, Program Coordinator/Board Secretary
Joseph Petraglia, Planner Tech
Nancy Meyer, City Attorney's Office

3. PUBLIC COMMENTS

Chairman Wyckoff opened the floor to public comment on any topics not related to items on the agenda.

No residents came forward.

4. APPROVAL OF MINUTES

Minutes from the May meeting were approved unanimously.

5. NEW BUSINESS

A. Ordinance 2024-08 Fences

Attorney Nancy Meyer read the ordinance.

Joe Petraglia presented the final draft after he explained the process of updating an ordinance.

Feedback from the previous meeting's presentation was taken into account along with feedback from the Board of Commissioners.

The new ordinance is less restrictive.

There are no current changes to the construction fence ordinance. It will be exempt from this section of code. Pool fences will not be affected by these proposed changes.

A section regarding non-conforming properties has been added.

Discussion followed regarding what types of things qualify as fences.

Chairman Wyckoff asked for a motion to send the ordinance to the Board of Commissioners.

Commissioner Dillon made the first motion to send Ordinance 2024-08 to the Board of Commissioners as written.

Chairman Noble seconded the motion.

Roll was called for the motion. The motion passed unanimously.

6. ADMINISTRATIVE/STAFF PRESENTATION

There was no staff presentation.

7. PLANNING COMMISSION DISCUSSION

John's Pass Village Activity Center Zoning Workshop

Andrew Morris stated that after the April Workshops, we looked at the "Duany Plan" (2002 Master Plan) also, at what other municipalities have done. We also included feedback from the April workshops to draft the ordinance.

Character Districts are separated into uses and accessory uses. Drive-throughs will remain prohibited.

Special exceptions would only be allowed on the water side of Gulf Boulevard.

Lot sizes are pretty similar so there will not be much change as far as the building site areas go.

There will be design standards and guidelines. Trash cans and AC units will be shielded.

It was stated that this is a draft ordinance and will not be voted on at the current meeting. It will possibly be at the July or August meeting. Forward Pinellas would need to approve the plan prior to bringing it for a vote.

Setbacks are based on the feedback we got from the workshops.

Boardwalk setbacks would be 10' from the curb.

Each character district will have their own requirements, and character districts will be differentiated by color on the maps.

Discussion followed regarding concerns about height and converting rentals to permanent residences, and the panel discussed design guidelines and site plan review.

Mr. Morris mentioned that there will be Master Plan Workshops in June.

Chairman Wyckoff asked if there was any further discussion.

Commissioner Connolly brought up that he would like the Planning Commission to have more power, and he wishes the commission would have more things to review, such as variance applications prior to sending them to the Special Magistrate. Attorney Meyer explained that by law, magistrate items would not come to LPA. If an item was triggered by the Magistrate, then it would be reviewed by the Planning Commission. She explained that the LPA does not define their own scope and serves at the pleasure of the Board of Commissioners.

Commissioner Ghovae requested to add an item to the evening's agenda and was advised by attorney Meyer that it was not permitted because the public hadn't been made aware of the item. She advised on the process of having an item added to the agenda.

8. NEXT MEETING

The next meeting is scheduled for July 1, 2024, at 6:00 PM.

9. ADJOURNMENT

Chaiman Wyckoff adjourned the meeting at 7:43 PM.

Respectfully submitted:

Michael Wyckoff, Chairman

Date

Lisa Scheuermann, Board Secretary

Date



Memorandum

Meeting Details: Planning Commission July 1, 2024

Prepared For: Planning Commission

From: Community Development Department

Subject: Site Plan Application: The Sanderling (SP 2024-02)

Applicant/Property Owner: John A Bodziak, AIA/Tampa Home Pro, Inc.

Subject Property: 13495 Gulf Boulevard, Madeira Beach, FL 33708 (15-31-15-58320-010-0080)

Zoning and Future Land Use: C-3, Retail Commercial and Residential/Office/Retail (R/O/R)

Nature of Request: Site plan application to build a four-story building with eight (8) transient lodging units and ancillary commercial retail.

This memorandum is provided for the consideration of a major site plan submitted by Bodziak/Hayes Architects for the development of a mixed use building complete with ground floor parking and ancillary commercial (restaurant/café), three floors of temporary lodging units, and roof deck access with bar area.

Review:

Sec. 110-48. - Review criteria.

An application for a development plan or amendment to any previously approved development plan may be approved only if the application meets both of the following criteria:

(1) The plan meets submittal requirements of the Land Development Code, including payment of fees, and complies with submittal schedules to provide adequate notice and review; and

The applicant has paid all applicable fees associated with this permit and provided adequate notice for the required neighborhood meeting. The submitted site plan meets the requirements listed in this chapter.

(2) The proposed development is consistent with the comprehensive plan and complies with the comprehensive plan, the Land Development Code, and other applicable regulations.

The applicant's proposal meets the requirements of the Land Development Code, including the granting of a variance, and is in harmony with Comprehensive Plan Policies, namely Objective 4.1.8:

“Commercial and mixed-use development compatible with environmental and economic resources must be planned consistent with this Comprehensive Plan, 6.1a Madeira Beach Future Land Use Map the land development regulations, and be in keeping with the needs and character of the community and its surrounding area.”

Specifically, the proposed mixed-use development is in accordance with Policies 4.1.8.1 through 4.1.8.8 of the Future Land Use Element of the Comprehensive Plan. The project meets the following:

- *The use is allowed in the Residential/Office/Retail future land use plan category;*
- *Separated from residential uses by a right-of-way and landscape buffering, where not exempted by variance (VAR 2024-03).*
- *Compatible with the surrounding area and located in an area where projected demand exists;*
- *The building is of an appropriate scale where existing or programmed public facilities are not diminished below the adopted level-of-service;*
- *Does not disrupt the neighborhood quality of life;*
- *Suited to seasonal tourist accommodations;*
- *Encourages tourist-related development to reflect the city’s beach community character;*
- *and the project meets the density and intensity requirements and is appropriate for the zoning district.*

Section 110-51. - Scope of Review.

The city manager or his designee will conduct a detailed review of proposed intermediate and major development (which shall consist of a complete new development on the site) to insure compliance with the current land development regulations. This review will include, but not be limited to, the following areas: Note: all references to civil plans are based on 13495 Gulf Blvd “The Sanderling” Civil Plans dated 6/13/2024 and sheet C-0 through C-5.

(1) Proposed use:

- a. Primary use. *Met (Sec. 110-317).*
- b. Accessory uses. *N/A*
- c. Special exception use: *N/A*

(2) Lot restrictions:

- a. Lot size: width, depth, area. *Met (Sec. 110-320).*
- b. Setbacks. *Setbacks are provided in the Site Data Table on the Civil Plans. A variance was granted to reduce certain setbacks (VAR 2024-03) and the proposed setbacks are in accordance with the granted variance.*
- c. Lot coverage. *Met (Sec. 110-323) per Site Data Table.*
- d. Impervious surface. *Met (Sec. 110-324, maximum ISR is 0.85). The Site Data Table on the Civil Plans indicates the ISR will be 79.6% (or 0.796).*
- e. Green area. *Met (Sec.106-34). Review in conjunction with #9 “Landscaping.”*
- f. Building heights. *Met (Sec. 110-322b: 44 feet measuring from DFE). Sec. 110-430(b) allows for elevators, stairways, ornamental towers or spires, to be erected to their height above the allowed building height but may not exceed 20 feet above the maximum building height limit.*
- g. Density. *Met (Sec. 110-320). 40 units per acre, per temporary lodging unit standards.*

(3) Arrangement of structures:

- a. Distance between structures. *N/A*
- b. Provisions for light, air, privacy and access. *See Section 11*
- c. Location of accessory structures (article VI, division 4 of this chapter). *N/A*
- d. Use of open space. *Landscaped area at north side will be designated for dog walking, although it will not be fenced.*
- e. Transition yard requirements. *N/A*

(4) Impact on surrounding property. *Reflects adjacent property usage on Gulf Boulevard.*

(5) Floodplain regulations (chapter 94):

- a. Elevation requirements. *Met. Lowest horizontal member is elevated above the design flood elevation in compliance with Coastal A Flood zone standards.*
- b. Use below base flood elevation (BFE). *Met. Commercial area below the base flood elevation will be dry floodproofed in accordance with Florida Building Code section 1612.4.1.*

(6) Parking (article VII of this chapter):

- a. Minimum requirements for off-street parking. *Meets requirements for six 2-bed units, two 3-bed units, and ancillary restaurant use with 28 or fewer seats and 2 or fewer employees (Sec. 110-971). Ancillary use requires only 50% of the mandated parking number.*
- b. Location of spaces. *Met.*
- c. Circulation. *Met.*
- d. Loading and unloading areas. *Met pending public works review.*
- e. Handicap facilities. *ADA compliant parking and access ramp depicted in Civil Plans. ADA accessible route from designated parking space to elevator is depicted on sheet C-3.*
- f. Compact spaces. *Met.*
- g. Remote lots. *N/A.*

(7) Traffic access: *Met.*

- a. Available and allowable street cuts. *Met. No new connections proposed.*
- b. Use of abutting roadways. *Met.*
- c. Intersection visibility (section 110-423). *Met.*
- d. Emergency vehicle access. *Met. All commercial projects are reviewed by the Fire Marshal for this requirement.*

(8) Protection of soil and water resources (chapter 98, article II): *See Civil Plans*

- a. Development requirements. *Met.*
- b. Land alteration plan. *Met.*
- c. Drainage plan:
 - 1. Treatment of stormwater runoff. *The Civil Plans address stormwater. All calculations will be reviewed by governing jurisdictions including the City, FDOT, and SWFWMD. The final construction plans will adhere to LDRs and all water management district requirements.*

2. Protection during construction. *Silt fencing will be used in accordance with FDOT standard construction specifications shown on sheet A1-03.*

d. Environmentally sensitive area protection plan. *All site construction will be monitored for Best Management Practices to prevent and/or reduce environmental impacts.*

(9) Landscaping (chapter 106, article II): *Requirements a) through i) met, see attached landscape plans.*

a. Minimum requirements. *Met.*

b. Perimeter landscaping. *Met with exceptions. See variance VAR 2024-03.*

c. Buffer landscaping. *Met with exceptions. See variance VAR 2024-03.*

d. Use of existing landscaping. *N/A*

e. Xeriscape requirements. *N/A*

f. Irrigation system. *Irrigation lines are shown on sheet A1-03. The water source will be reclaim, if available, and the system will include a rain sensor/shut-off device to avoid irrigation during periods of significant rainfall.*

g. Intersection restrictions. *No new drive aisles or access cuts to the property are proposed.*

h. Screening of backflow preventer. *Met.*

i. Protected species (mangroves, sea oats, etc.). *N/A*

(10) Tree protection (chapter 106, article III): *See provided Landscape Plans for a) through f).*

a. Minimum requirements. *Met.*

c. Use of existing trees. *N/A*

d. Removal of exotic species. *N/A*

e. Protection during construction. *N/A*

f. Irrigation for the trees. *Met.*

(11) Lighting (article VI, division 5 of this chapter): *Fixtures shown on site plan.*

a. Impact of indoor and outdoor lighting. *Stairwells and areas of ingress/egress will be properly illuminated per fire and emergency safety requirements. Step and mounted lighting fixtures are proposed at the rooftop bar.*

b. Decorative and accent lighting. *One-way sign at alleyway will be illuminated.*

c. Temporary lighting. *N/A*

d. Lighting in beach area. *All exterior lighting within line of sight to the beach to be properly "turtle" shielded, full cutoff with Amber LED (580 NM Wavelength or greater) in compliance with local, state, and federal statutes per section 110-977, and 110-501 thru 110-505.*

(12) Sidewalks (chapter 58): *A sidewalk connects west from the front door to Gulf Blvd.*

a. Minimum requirements. *Met.*

b. Location and size. *Met.*

c. Pedestrian access. *Met.*

(13) Signs (chapter 102): *Signage must meet the requirements in the Code of Ordinances.*

a. Type. *Parapet signage to be applied for under separate permit.*

b. Location. *On wall above ancillary use access. To be applied for under separate permit.*

c. Size. *Not to exceed 16 square feet per section 102-191(7).*

(14) Recreation areas: *N/A*

a. Type. *N/A*

b. Location. *N/A*

(15) Fences and walls (article VI, division 3 of this chapter):

a. Location. *Wall located at east side of building, around dumpsters.*

b. Height. *~six feet.*

c. Types. *Solid masonry.*

(16) Easements (article VI, division 10, subdivision II of this chapter): *Easement shown on plans.*

a. Utility. *10' x 15' utility easement shown at southern corner of property by Gulf Blvd.*

b. Pedestrian/beach access. *N/A*

c. Access easements. *N/A*

(17) Docks and seawalls (section 110-426 and chapter 14, article V) *N/A*

a. Requirements. *N/A*

b. Exemptions. *N/A*

(18) Miscellaneous:

a. Laundry facilities. *Any laundry area, if proposed, would be on the interior of the building.*

b. Satellite dish antennas (article VI, division 12, subdivision III of this chapter). *N/A*

c. Outdoor storage (article VI, division 9, subdivision I of this chapter). *If proposed, will be placed and constructed in accordance with LDRs.*

d. Swimming pools (article VI, division 11 of this chapter). *Not currently proposed.*

e. Solid waste disposal containers and enclosures (section 54-61). *Two 6foot by 3foot-7 inch dumpsters located at east side of the building with trash chute above. Walled enclosure around dumpsters measures 6 foot high and 141 square feet.*

(19) Concurrency determination (chapter 90). *The development must satisfy Pinellas County utility requirements and will be reviewed accordingly to ensure public infrastructure can service the proposed development. There are no anticipated concurrency issues.*

Recommendation: City Staff recommends the Planning Commission approve the site plan with the condition that the applicant must meet all requirements noted above and the project be constructed in general accordance with the referenced plans.

Attachments: Included below are the attachments provided for the required submittal of the site plan, including the titles, authors, and dates. The required documents and transcripts for the neighborhood meeting and staff-created presentation will be provided no later than 48 hours prior to the meeting.

- Site Plan Application: Bodziak/Hayes Architects “The Sanderling” dated 5/17/2024
- Architectural Plans: Bodziak/Hayes Architects 2024-2520 dated 6/13/2024
- Civil Site Plans: Patricia Montecki, P.E. dated 6/12/2024
- Survey: Geodata Services, Inc. dated 12/6/2023
- Geotechnical Report: Central Florida Testing Laboratories, Inc. dated 11/6/2023
- Variance Approval: Application No. 2024-03 dated 5/1/2024
- Neighbor comments/questions (as of 6/24/2024) dated 6/22-23/2024
- Neighborhood Workshop Meeting: scheduled 6/27/2024



CITY OF MADEIRA BEACH

PLANNING & ZONING DEPARTMENT
300 MUNICIPAL DRIVE ♦ MADEIRA BEACH, FLORIDA 33708
(727) 391-9951 EXT. 255 ♦ FAX (727) 399-1131
Email to: planning@madeirabeachfl.gov



SITE PLAN APPLICATION

Site Plan application fee \$300

I. PROJECT

Project Name: The Sanderling

Project Description: 4-story building w/ 8 transient lodging units & ancillary commercial retail

Address of Subject Property: 13495 Gulf Boulevard

Madeira Beach, FL 33708

Parcel ID #: _____

Legal Description: MITCHELL'S BEACH REVISED BLK 10, LOTS 8 THRU 10

LESS RD R/W PER O.R.'S 4355/231 & 4426/1135

Existing Use of Property: Professional Office, Veterinary Clinic

Full Description Attached? ☐ Yes ☒ No

II. APPLICANT

Applicant Status: *Attach proof of ownership (deed)* ☐ Owner ☒ Agent

Applicant Name, Title: John A Bodziak, AIA

Company Name (If applicable): Bodziak/Hayes Architects

Mailing Address: 5665 Central Avenue

Saint Petersburg, FL 33710

Phone: (727) 327-1966

Fax: (813) 833-7508

Email: jack@bodziakhayes.com

If Applicant is the agent for a property owner, please attach proof of Agent Authorization.

Name of Owner (Title Holder): Tampa Home Pro Inc.

Mailing Address: 110 Crenshaw Lake Road Ste 200

Lutz FL 33548-6101

DISCLAIMER: According to Florida Statutes, Chapter 119, it is the policy of this state that all state, county, and municipal records are open for personal inspection and copying by any person. Providing access to public records is a duty of each agency. All documents and information not specified in F.S. 119.071 and 119.0713 are subject to public record requests.

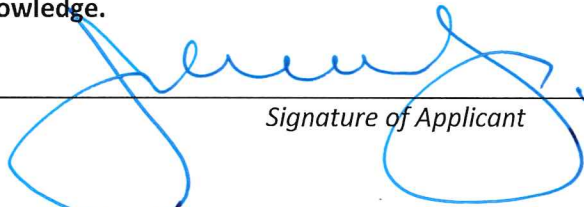
III. ADDITIONAL INFORMATION

Is there an existing contract for sale of options to purchase subject property? ☐ Yes ☒ No

If "Yes", list all names of parties involved: _____

Is the contract/option contingent or absolute? ☐ Contingent ☐ Absolute ☒ N/A

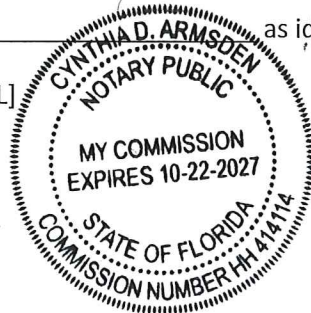
I certify and acknowledge that the information contained herein is true and correct to my best knowledge.


 5-17-2024
Signature of Applicant Date

STATE OF Florida
COUNTY OF Pinellas

The foregoing application as acknowledged before me this 17 day of May, 2024
by John A. Bodziak who is ☒ personally known to me or ☐ has produced
_____ as identification.

[SEAL]




Public Notary Signature

Sec. 110-51. - Scope of review.

- (a) The city manager or his designee will conduct a detailed review of proposed large-scale development (which shall consist of a complete new development on the site) to insure compliance with the current land development regulations. This review will include, but not be limited to, the following areas:
- (1) Proposed use:
 - a. Primary use.
 - b. Accessory uses.
 - c. Special exception use: Approval by special magistrate obtained.
 - (2) Lot restrictions:
 - a. Lot size: width, depth, area.
 - b. Setbacks.
 - c. Lot coverage.
 - d. Impervious surface.
 - e. Green area.
 - f. Building heights (section 110-430).
 - g. Density.
 - (3) Arrangement of structures:
 - a. Distance between structures.
 - b. Provisions for light, air, privacy and access.
 - c. Location of accessory structures (article VI, division 4 of this chapter).
 - d. Use of open space.
 - e. Transition yard requirements (section 110-429).
 - (4) Impact on surrounding property.
 - (5) Floodplain regulations (chapter 94):
 - a. Elevation requirements.
 - b. Use below base flood elevation (BFE).
 - (6) Parking (article VII of this chapter):
 - a. Minimum requirements for off-street parking.
 - b. Location of spaces.
 - c. Circulation.
 - d. Loading and unloading areas.
 - e. Handicap facilities.
 - f. Compact spaces.
 - g. Remote lots.
 - (7) Traffic access:
 - a. Available and allowable street cuts.
 - b. Use of abutting roadways.

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- c. Intersection visibility (section 110-423).
- d. Emergency vehicle access.
- (8) Protection of soil and water resources (chapter 98, article II):
 - a. Development requirements.
 - b. Land alteration plan.
 - c. Drainage plan:
 - 1. Treatment of stormwater runoff.
 - 2. Protection during construction.
 - d. Environmentally sensitive area protection plan.
- (9) Landscaping (chapter 106, article II):
 - a. Minimum requirements.
 - b. Perimeter landscaping.
 - c. Buffer landscaping.
 - d. Use of existing landscaping.
 - e. Xeriscape requirements.
 - f. Irrigation system.
 - g. Intersection restrictions.
 - h. Screening of backflow preventer.
 - i. Protected species (mangroves, sea oats, etc.).
- (10) Tree protection (chapter 106, article III):
 - a. Minimum requirements.
 - b. Types of trees.
 - c. Use of existing trees.
 - d. Removal of exotic species.
 - e. Protection during construction.
 - f. Irrigation for the trees.
- (11) Lighting (article VI, division 5 of this chapter):
 - a. Impact of indoor and outdoor lighting.
 - b. Decorative and accent lighting.
 - c. Temporary lighting.
 - d. Lighting in beach area.
- (12) Sidewalks (chapter 58):
 - a. Minimum requirements.
 - b. Location and size.
 - c. Pedestrian access.

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- (13) Signs (chapter 102):
 - a. Type.
 - b. Location.
 - c. Size.
- (14) Recreation areas:
 - a. Type.
 - b. Location.
- (15) Fences and walls (article VI, division 3 of this chapter):
 - a. Location.
 - b. Height.
 - c. Types.
- (16) Easements (article VI, division 10, subdivision II of this chapter):
 - a. Utility.
 - b. Pedestrian/beach access.
 - c. Access easements.
- (17) Docks and seawalls (section 110-426 and chapter 14, article V):
 - a. Requirements.
 - b. Exemptions.
- (18) Miscellaneous:
 - a. Laundry facilities.
 - b. Satellite dish antennas (article VI, division 12, subdivision III of this chapter).
 - c. Outdoor storage (article VI, division 9, subdivision I of this chapter).
 - d. Swimming pools (article VI, division 11 of this chapter).
 - e. Solid waste disposal containers and enclosures (section 54-61).
- (19) Concurrency determination (chapter 90):
 - a. Transportation.
 - b. Water.
 - c. Wastewater.
 - d. Stormwater.
 - e. Solid waste.
 - f. Recreation and open space.
- (b) The city manager or his designee will conduct a detailed review of proposed small-scale development (such as building additions, alterations, or renovations to the existing structure, site alterations, addition of an accessory structure on the site) to insure compliance with the current land development regulations. This review of a small-scale development may not require review of all items listed in subsections 110-51 (a)(1)—(19). The relevant information necessary for review shall be determined by the city manager or his designee through consultation with the city manager or his designee.

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Sec. 110-71. - Submission; contents.

- (a) Eight signed and sealed site plans shall be submitted to the city manager or his designee. The city manager or his designee will have 15 working days to review the plan documents. The site plan may be approved, approved with conditions or denied. The site plans submitted for large-scale development (which shall consist of a complete new development on the site) shall contain all relevant information necessary for review and shall include (when applicable), but not be limited to the following:
- (1) Legal description and zone.
 - (2) Existing use and proposed use.
 - (3) Site area in square feet and acres.
 - (4) Lot lines.
 - (5) Setbacks.
 - (6) North arrow and scale (engineering scale no smaller than one inch equals 50 feet).
 - (7) Existing and proposed:
 - a. Gross floor area (in square feet) (existing and proposed).
 - b. Building coverage (in square feet) (existing and proposed).
 - c. Open (green) space (in square feet) (existing and proposed).
 - d. Paving (in square feet) (existing and proposed).
 - e. Density (number of residential dwelling units, or number of clients, etc.).
 - f. Parking spaces (required, existing and proposed).
 - g. Building height and number of stories.
 - h. Preservation areas (where applicable) in total square feet and indicating the proposed area being developed or altered.
 - i. Drainage plan.
 - j. Land alteration plan.
 - (8) Required buffer walls (i.e., to buffer nearby residential properties from vehicular use areas) and/or proposed fences, walls, etc. (height, location on-site, and elevation).
 - (9) Solid waste disposal containers.
 - (10) Lighting, exterior and accent.
 - (11) Proposed sign plans (include size and location on-site).
 - (12) Tree survey indicating the species and size of all existing trees of four inches or greater, measured at breast height.
 - (13) Variances (if required). Provide a copy of the approved variance with the submitted site plan.
 - (14) Certified construction cost estimate (shall be determined by a qualified and licensed contractor, architect or engineer or professional estimating firm itemizing total costs in a certified estimate).
 - (15) A proposed landscape plan which shall:
 - a. Comply with section chapter 106, article II (general landscaping regulations).
 - b. Indicate all tree and shrub sizes, species, locations, and quantities.
 - c. Contain a schematic design and layout of an underground irrigation system as required for all landscaping.

DISCLAIMER: According to Florida Statutes, Chapter 119, it is the policy of this state that all state, county, and municipal records are open for personal inspection and copying by any person. Providing access to public records is a duty of each agency. All documents and information not specified in F.S. 119.071 and 119.0713 are subject to public record requests.

- (b) Site plans submitted for small-scale development (such as building additions, alterations, or renovations to the existing structure, site alterations, or addition of an accessory structure on the site) may not require submittal of all items listed in subsections 110-71 (a)(1)—(16). The relevant information necessary for review shall be determined by the city manager or his designee. The site plan may be approved, approved with conditions or denied.

DISCLAIMER: According to Florida Statutes, Chapter 119, it is the policy of this state that all state, county, and municipal records are open for personal inspection and copying by any person. Providing access to public records is a duty of each agency. All documents and information not specified in F.S. 119.071 and 119.0713 are subject to public record requests.

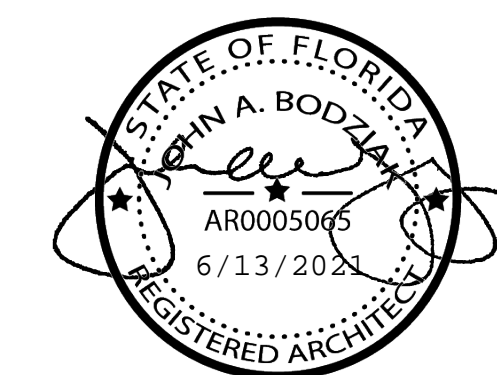
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ARCHITECTS / CONSULTANTS STAMP



KEY PLAN



VIEW FROM INTERSECTION OF 135TH AVENUE AND GULF BLVD LOOKING SOUTHEAST



VIEW FROM GULF BLVD. LOOKING EAST



VIEW FROM REAR ALLEY LOOKING WEST



AERIAL VIEW LOOKING SOUTHEAST

[illegible]ISSUE TITLE
SITE PLAN RESUBMITTAL

SHEET TITLE

RENDERINGS

PROJECT
23-029

SCALE

DRAWN BY
CM

DATE
03/31/22

ORIGINAL SHEET
SIZE : 24" X 36"

SHEET NUMBER

A0-02

21

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KEY PLAN

ISSUE TITLE

SITE PLAN RESUBMITTAL

PROJECT ADDRESS

SHEET TITLE

PROJECT

PROJECT
23-029

SCALE

SCALE
As indicated

Keywords: child sexual abuse; disclosure; self-blame; social support

DRAWN BY
GM

On

DATE
03/31/23

03/31/22

ORIGINAL SIZE : 34" Y

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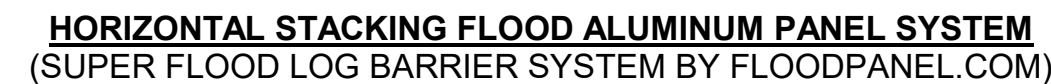


1

1. LANDSCAPING WILL BE COMPLIANT WITH CHAPTER 106 MAJORA BEACH CODE OF ORDINANCES
2. ALL TREES AND BASE PLANTS REQUIRE MULCH AT PLANTING OVER THE ROOT ZONE.
3. IT SHALL BE NOTED THAT NO EXISTING TREES ON THE SITE ARE FOUR INCHES IN CALIPER DIMENSION OR GREATER

GENERAL LANDSCAPE NOTES:

1. ALL PLANT MATERIALS TO BE FLORIDA #1 OR BETTER QUALITY, INSTALLED TO HIGHEST NURSERY STANDARDS.
2. MULCH TO BE "FLORAMULCH" AVAILABLE AT GOMULCH.COM OR 866.466.8524 / 866.GO MULCH. MULCH SHALL BE INSTALLED TO A MINIMUM OF 3" THICK IN ALL PLANTING AREAS.
3. ALL SPECIES INDICATED ARE CONCEPTUAL AND SUBJECT TO SOURCING AVAILABILITY. SUBSTITUTION, IF REQUIRED, SHALL BE OF APPROVED EQUAL. SUBSTITUTIONS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING.
4. ALL DIMENSIONS TO BE FIELD CHECKED BY THE LANDSCAPE CONTRACTOR PRIOR TO CONSTRUCTION, WITH ANY DISCREPANCIES REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
5. ALL MATERIALS MUST BE AS SPECIFIED ON THE LANDSCAPE PLAN. IF MATERIALS OR LABOR DO NOT ADHERE TO SPECIFICATIONS, THEY WILL BE REJECTED BY THE ARCHITECT WITH PROPER INSTALLATION CARRIED OUT BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST.
6. NO SUBSTITUTIONS OR CHANGES OF ANY KIND WILL BE MADE AT TIME OF BIDDING, SO AS TO PROVIDE FOR EQUAL AND FAIR COMPARISONS.
7. ALL PERMITS NECESSARY ARE TO BE PROVIDED BY THE INSTALLING CONTRACTOR UNLESS OTHERWISE SPECIFICALLY STATED IN THE SPECIFICATIONS.
8. NO CONTRACTOR IDENTIFICATION SIGNS SHALL BE PERMITTED ON THE PROJECT.
9. ALL QUESTIONS CONCERNING THE PLANS ARE TO BE DIRECTED TO THE ARCHITECT.
10. ALL PLANT MATERIAL SHALL BE PLANTED WITH "TERRA-SORB AG" IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE RATE OF APPLICATION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE STORM WATER POLLUTION PREVENTION PLANS AND APPROPRIATE CONSTRUCTION SITE RUNOFF CONTROLS TO MEET EPA'S NATURAL POLLUTANT DISCHARGE ESTIMATION SYSTEM RULE ON CONSTRUCTION SITES WHERE MORE THAN ONE ACRE OF LAND IS DISTURBED.
12. WHEN AN ACCESS WAY INTERSECTS A PUBLIC RIGHT-OF-WAY OR OTHER ACCESS WAY, OR WHEN THE SUBJECT PROPERTY ADJUTS THE INTERSECTION OF TWO OR MORE PUBLIC RIGHT-OF-WAYS, ALL LANDSCAPING WITHIN THE TRIANGULAR AREAS DESCRIBED AS [OR] REFERRED TO AS THE "CROSS-VISIBILITY AREA," SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A LEVEL BETWEEN 24 INCHES AND EIGHT FEET. TREES AND PLANT MATERIAL TRIMMED IN SUCH A MANNER THAT CROSS VISIBILITY IS NOT HINDERED WILL BE ALLOWED, PROVIDED THEY ARE LOCATED SO AS NOT TO CREATE A TRAFFIC HAZARD, AS DETERMINED BY THE CITY.

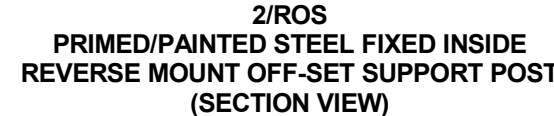
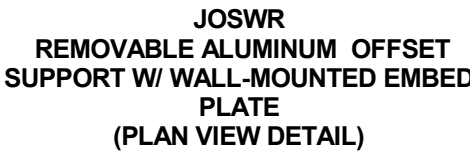
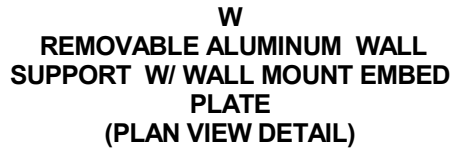
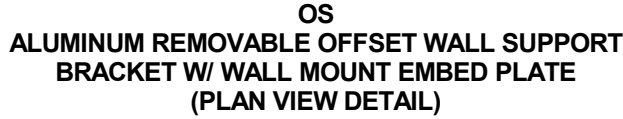


The Super Flood Log flood barrier is a modular system designed to withstand high velocity water loads and to be highly resistant to heavy impact forces (hydrostatic flood and hydrodynamic loads calculated per ASCE 7-10 with 8 FT/s maximum water velocity). Tested to protect at higher flood heights, it is particularly applicable to flash flood and hurricane prone locations in both small and large installations. It has a long and proven history as an effective flood barrier in all flood-prone areas of the world, and is one of the systems preferred by most of the larger insurance companies and governments.

The system itself can be installed either across specific openings or as a perimeter defense. The system comprises of "C" shaped support posts and hollow aluminum beams, the ends of which mount (slide) down between the jaws of each post. These beams stack on edge with each other with a tongue and groove connection. The bottom beam of each span is fitted with a large rubber seal that makes contact with the foundation surface thereby achieving a water tight seal. No fixture points are required, making an extremely aesthetic system when not installed. The end posts of a linear installation can also be mounted internally within the wall structure making it even more unobtrusive.

This system can be supplied in almost any configuration from closed circles and rectangles to linear "straight" runs of any length and a maximum height of approximately 9 feet. It can also be engineered to accommodate slopes of 20 degrees, and be supplied a stepped format for greater gradients. Each application will be engineered to suit its site-specific conditions optimizing the system's reaction time and effectiveness.

It offers one of the lowest reaction times of flood control systems on the market. Super Flood Log is the premier system for manually installed flood barriers due to its easy storage and installation.



1 FLOOD PANEL CONNECTIONS
N.T.S.

KEY PLAN

ISSUE TITLE

SITE PLAN RESUBMITTAL

PROJECT ADDRESS

THE SANDERLING
13495 GULF BLVD.
MADEIRA BEACH, FLORIDA

SHEET TITLE

FLOOD PANEL DETAILS

PROJE

SHEET NUMBER

23-029

SCALE
1-5

N.I.S.

DRAWN BY
OM

On

A1-04

25

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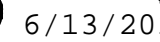
S/13/2024 1:29:14 PM
\\JAB-ADFS1\Users\Camillo\Documents\23-029 The Sanderling_camillo7QSK2.m

5665 CENTRAL AVE,

OWNER

PATRICIA B. MONTECKI, D.F.

ARCHITECTS / CONSULTANTS STAMP



NO.	
-----	--

TH

SHEET

СД

AIR CONDITIONED SPACE - TABLE 1

NOTE:
CONDITIONED AREA IS MEASURED TO THE
INSIDE FACE OF EXTERIOR WALLS.

23-029

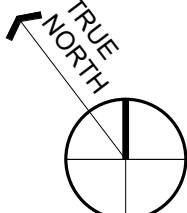
As indic

DATE _____

03/31/20
ORIGIN

As indic

DATE _____

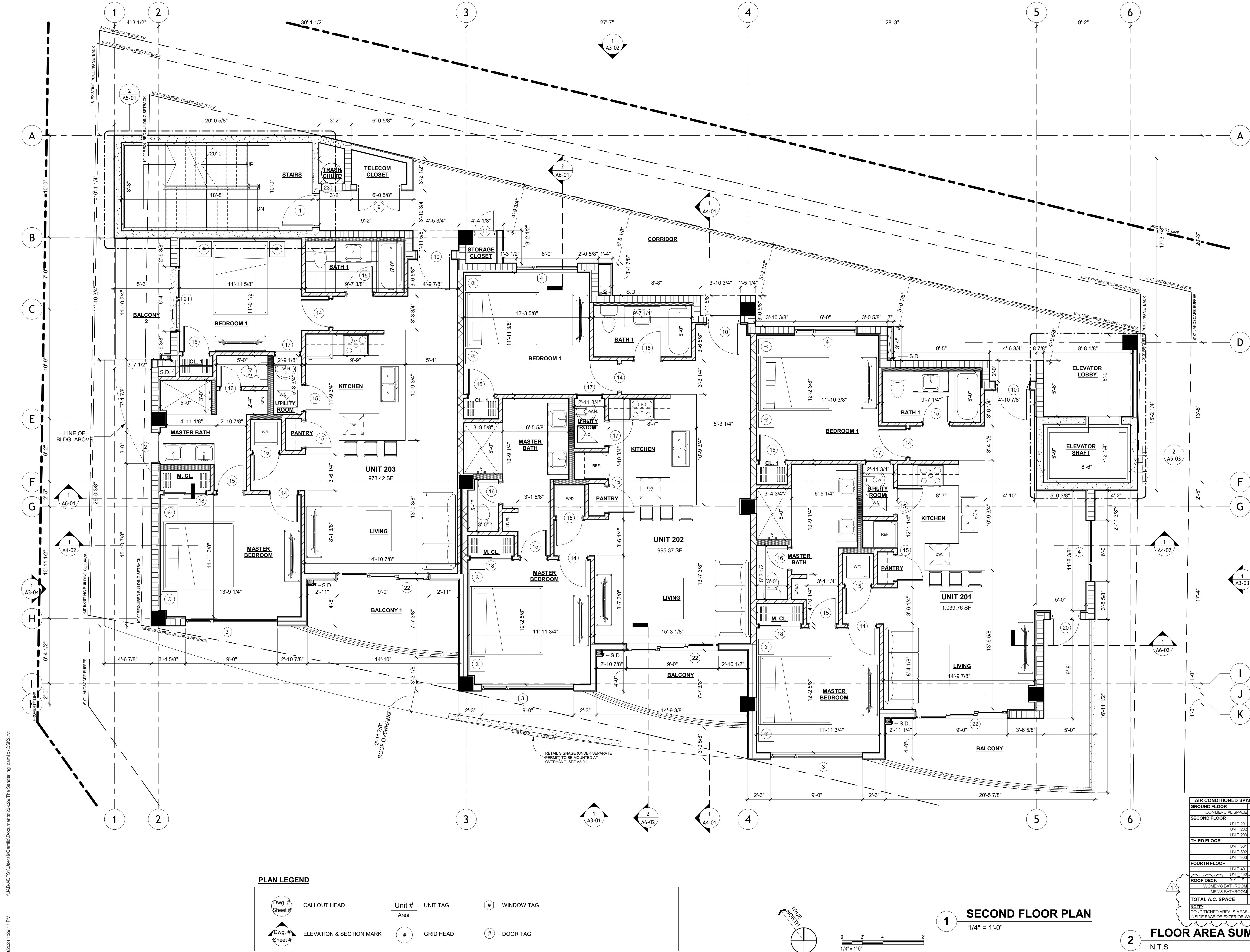
03/31/20
ORIGIN

Age Group	No (%)	Yes (%)	Don't know (%)	Refuse to answer (%)
0	~45	~35	~15	~5
2	~35	~45	~15	~5
4	~25	~55	~15	~5

$$1/4" = 1'-0"$$

NTS

NTS



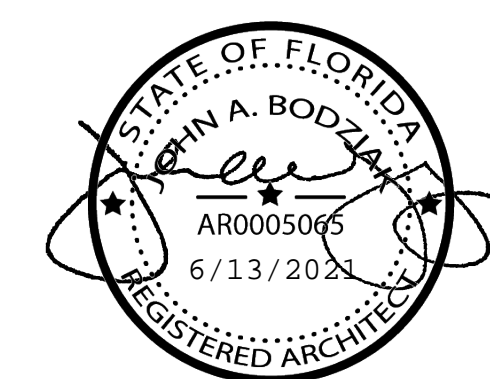
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KEY PLAN

[illegible]

PROJECT ADDRESS

SHEET TITLE

23-029

SCALE
As indices

DRAWN E

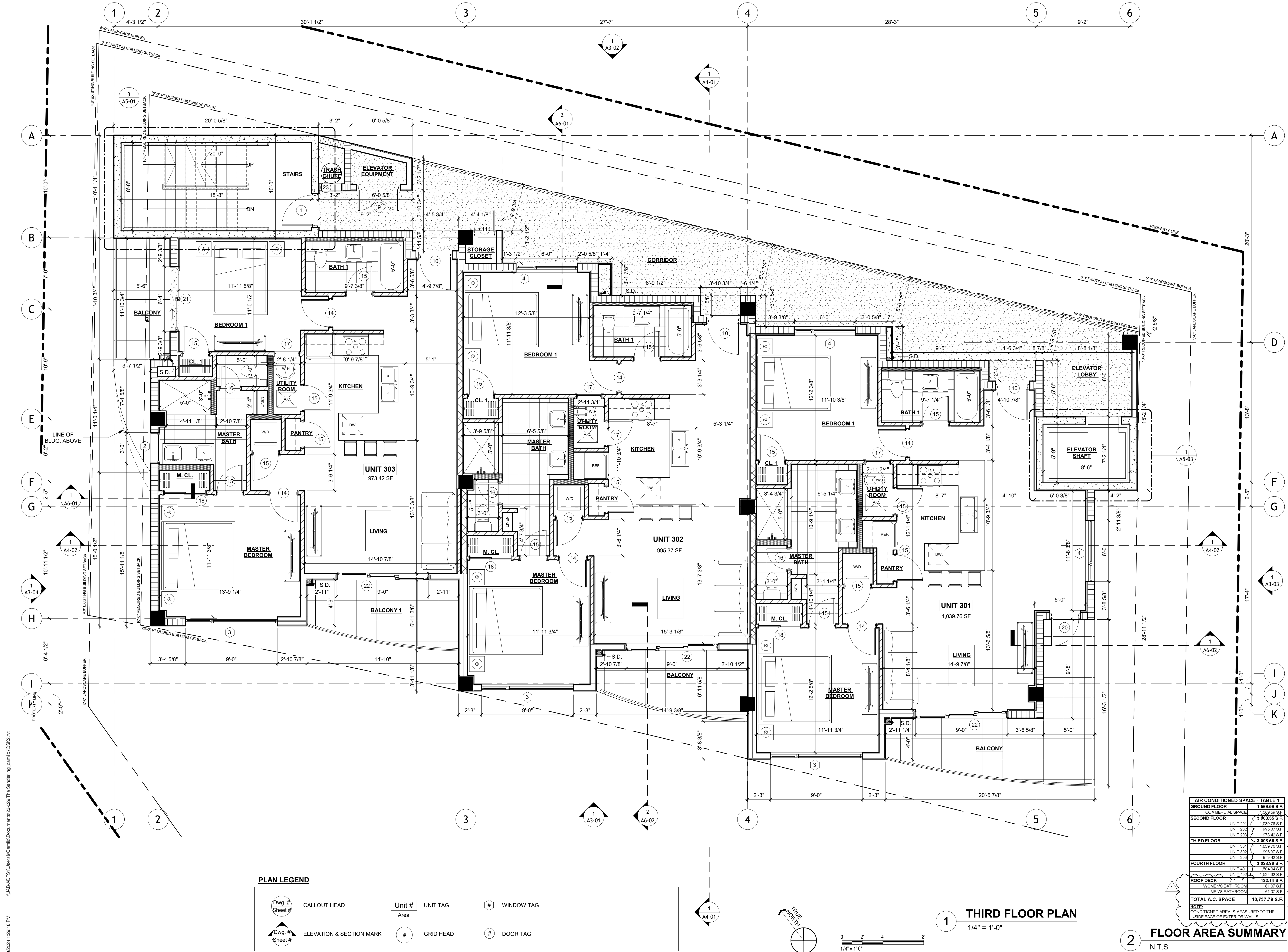
DATE _____

ORIGINAL

SHEET NUMBER

A2-03

28



1/4" = 1'-0"

N.T.S

AIR CONDITIONED SPACE - TABLE 1	
GROUND FLOOR	1,569.99 S.F.
COMMERCIAL SPACE 1,569.99 S.F.	
SECOND FLOOR	3,008.86 S.F.
UNIT 201	1,039.76 S.F.
UNIT 202	995.37 S.F.
UNIT 203	973.42 S.F.
THIRD FLOOR	3,008.86 S.F.
UNIT 301	1,039.76 S.F.
UNIT 302	995.37 S.F.
UNIT 303	973.42 S.F.
FOURTH FLOOR	3,028.88 S.F.
UNIT 401	1,042.04 S.F.
UNIT 402	1,524.92 S.F.
ROOF DECK	122.14 S.F.
WOMEN'S BATHROOM 61.07 S.F.	
MEN'S BATHROOM 61.07 S.F.	
TOTAL A.C. SPACE	10,737.79 S.F.
NOTE: CONDITIONED AREA IS MEASURED TO THE INSIDE FACE OF EXTERIOR WALLS	

NOTE:
CONDITIONED AREA IS MEASURED TO THE
INSIDE FACE OF EXTERIOR WALLS

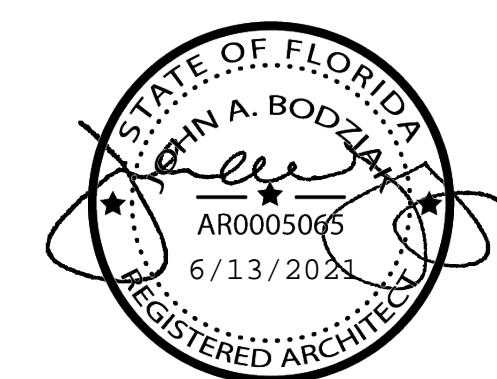
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KEY PLAN

[illegible]

ISSUE TITLE
SITE PLAN RESUBMITTAL

SHEET TITLE

PROJEF

23-029

SCALE

As indic

DRAWN

CM

DATE
09/04/20

03/31/22
ORIGINAL SHEET
SIZE : 24" X 36"

SHEET NUMBER

1000

100

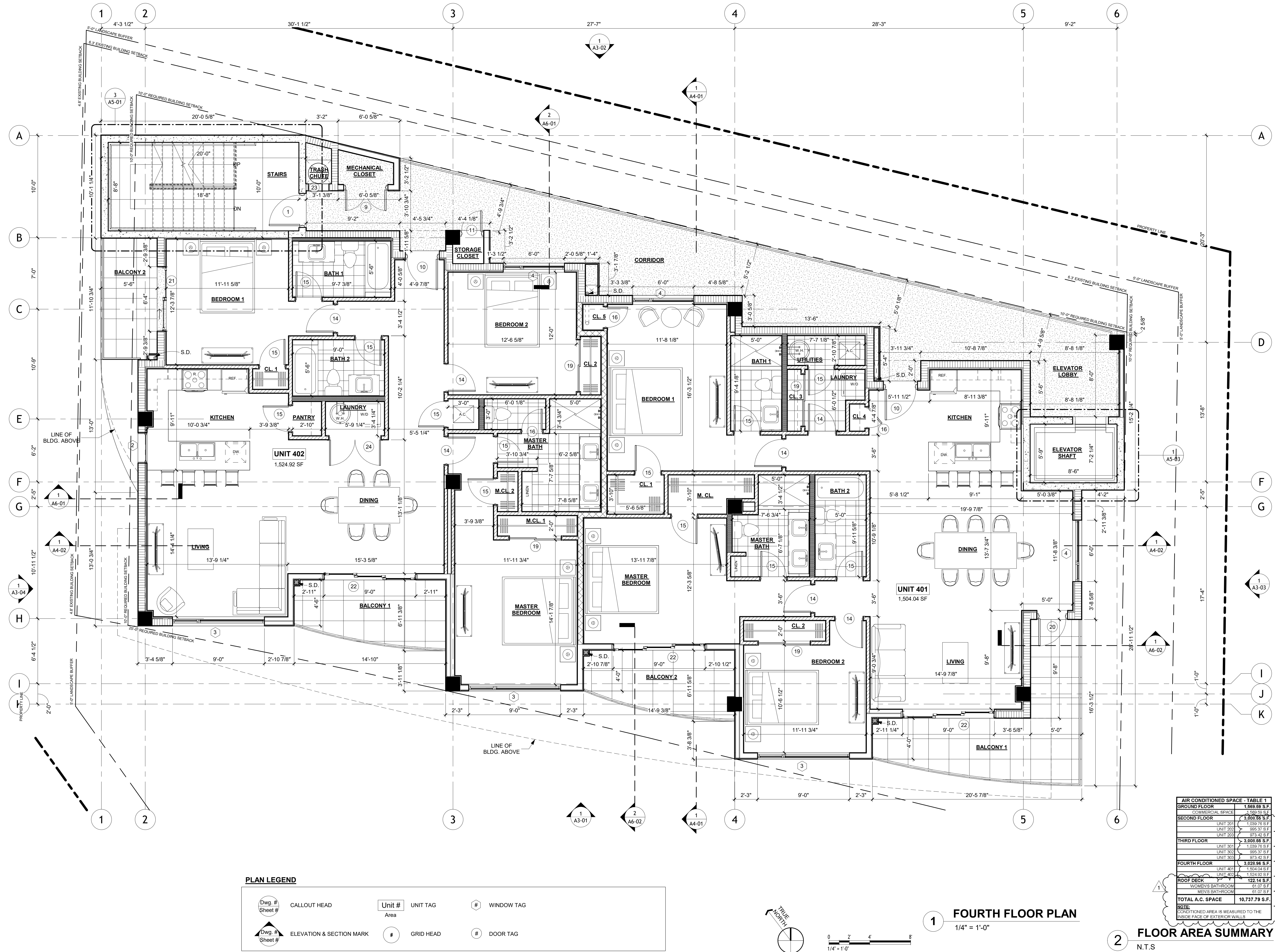
[illegible]

A3

7. **7.1**

100

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AIR CONDITIONED SPACE - TABLE 1		
GROUND FLOOR	COMMERCIAL SPACE	1,663.59 S.F.
		1,589.59 S.F.
SECOND FLOOR		3,008.55 S.F.
	UNIT 201	1,039.78 S.F.
	UNIT 202	995.37 S.F.
	UNIT 203	973.40 S.F.
THIRD FLOOR		3,008.55 S.F.
	UNIT 301	1,039.78 S.F.
	UNIT 302	995.37 S.F.
	UNIT 303	973.40 S.F.
FOURTH FLOOR		3,020.94 S.F.
	UNIT 401	1,504.04 S.F.
	UNIT 402	1,524.92 S.F.
ROOF DECK		122.14 S.F.
	WOMEN'S BATHROOM	61.07 S.F.
	MEN'S BATHROOM	61.07 S.F.
TOTAL A.C. SPACE		10,737.79 S.F.

NOTE:
 UNCONDITIONED AREA IS MEASURED TO THE INSIDE FACE OF EXTERIOR WALLS

SCIENCE QUIZ

2 FLOOR AREA SUMMARY
N.T.S

1 **FOURTH FLOOR PLAN**
1/4" = 1'-0"

A2-04

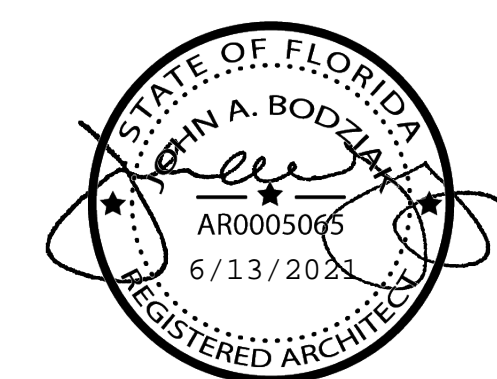
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KEY PLAN

[illegible]

PROJECT ADDRESS

SHEET TITLE

PROJ.FE

PROJEC
22.222







DATE
03/31/22

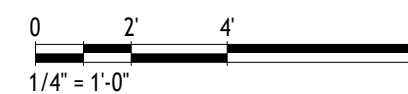
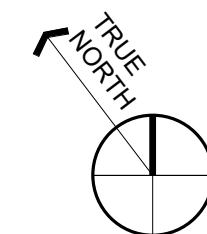
ORIGINAL SHEET
SIZE : 24" X 36"

| SHEET NUMBER

31



	CALLOUT HEAD		UNIT TAG		WINDOW TAG
	ELEVATION & SECTION MARK		GRID HEAD		DOOR TAG



1 ROOF PLAN
1/4" = 1'-0"

1/4" = 1'-0"

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SAINT PETERSBURG, FL 33710

OWNER

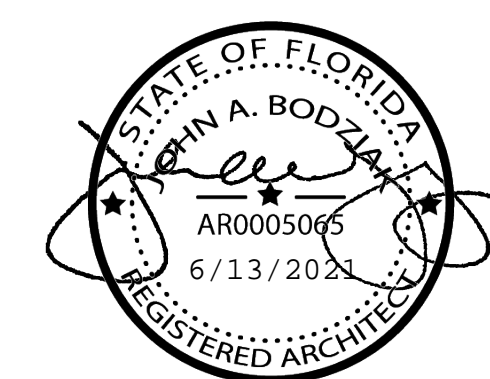
110 CRENSHAW LAKE RD STE 200
LUTZ, FL 33548

CONSULTANTS

5032 CHANCELLOR ST,
SAINT PETERSBURG, FL 33703
TEL: 727.235.1650

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KEY PLAN

[illegible]

ISSUE TITLE
SITE PLAN RESUBMITTAL

PROJECT ADDRESS

MADEIRA BEACH, FLORIDA

SHEET TITLE

SOUTH EXTERIOR
ELEVATION
(FRONT)

PROJECT

23-029

SCALE

$$1/4^n = 1/4$$

DRAWN BY:

CM

DATE
02/01/00

03/31/22

ORIGINAL SHEET
SIZE : 24" X 36"

SHEET NUMBER

A3-01

32



1 SOUTH EXTERIOR ELEVATION (FRONT)
1/4" = 1'-0"

5665 CENTRAL AVE,
SAINT PETERSBURG, FL 33710

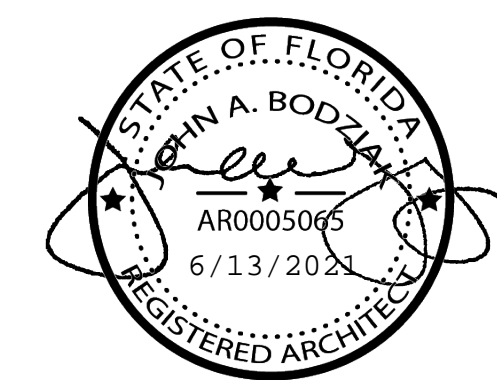
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KEY PLAN

[illegible]

PROJECT ADDRESS

SHEET TITLE

PROJECT
23-029

SCALE
1/4" = 1'-0"

DRAWN BY
CM

DATE
03/31/22

ORIGINAL SHEET
SIZE : 24" X 36"

SHEET NUMBER

A3-02

33

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1 NORTH EXTERIOR ELEVATION (REAR)
1/4" = 1'-0"

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OWNER

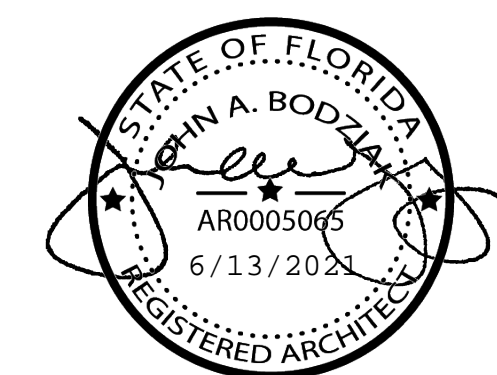
110 CRENSHAW LAKE RD STE 200,
LUTZ, FL 33548

CONSULTANTS

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SAINT PETERSBURG, FL 33703
TEL: 727.235.1650

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ARCHITECTS / CONSULTANTS STAMP



KEY PLAN

[illegible]ISSUE TITLE
SITE PLAN RESUBMITTAL

PROJECT ADDRESS

THE SANDERLIN
13495 GULF BLVD.
MADEIRA BEACH, FLORIDA

SHEET TITLE

EAST EXTERIOR
ELEVATION (SIDE
1)

34

1/4" = 1'-0"

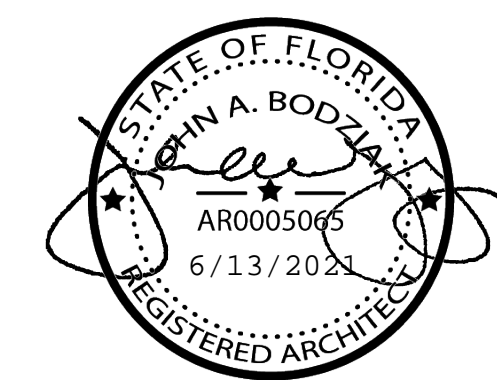
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ARCHITECTS / CONSULTANTS STAMP



KEY PLAN

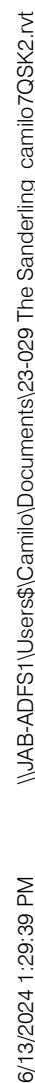
[illegible]

PROJECT ADDRESS

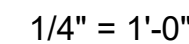
SHEET TITLE

35

1 WEST EXTERIOR ELEVATION (SIDE)
1/4" = 1'-0"

[illegible]36
© BODZIAK/HAYES ARCHITECTS, PLLC

2 x 2 LAY-IN ACOUSTICAL CEILING GRID
NOTE - USE WATER RESISTANT GYP. BOARD IN WET AREAS.



SECTION 15, TOWNSHIP 31 SOUTH, RANGE 15 EAST
PINELLAS COUNTY, FLORIDA

LOT 8, BLOCK 1, LESS THAT PART LYING WITHIN 40 FEET OF
A CENTERLINE OF CONSTRUCTION ON STATE ROAD 699, AS
DESCRIBED IN OFFICIAL RECORDS BOOK 4355, PAGE 231.
MITCHELL'S BEACH, ACCORDING TO THE PLAT THEREOF, AS
RECORDED IN PLAT BOOK 3, PAGE 54, OF THE PINELLAS
COUNTY, FLORIDA, AND LOTS 9 AND 10, BLOCK 10, MITCHELL'S
BEACH, LESS THAT PORTION IN ORDER OF TAKING RECORDED IN
OFFICIAL RECORDS BOOK 4426, PAGE 1135, OF THE PUBLIC
RECORDS OF PINELLAS COUNTY, FLORIDA, BY THE STATE OF
FLORIDA, DEPARTMENT OF TRANSPORTATION, AND ACCORDING
TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE
54, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

ELEVATION BASIS: NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)
BENCHMARK UTILIZED: "PBE 147 USE", PID NUMBER AG0767, ELEVATION =
4.51' AS PUBLISHED BY THE NATIONAL GEODETIC SURVEY.

THIS PARCEL APPEARS TO BE IN FLOOD ZONES AE (EL 10), ACCORDING TO THE FLOOD INSURANCE RATE MAP, MAP NUMBER: 12103C0191H, MAP EFFECTIVE DATE: AUGUST 24, 2021, AS PROVIDED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

THIS MAP'S NOTES STATE THAT THE BASE FLOOD ELEVATIONS SHOWN REPRESENT ROUNDED WHOLE-FOOT ELEVATIONS AND THEREFORE MAY NOT EXACTLY REFLECT THE FLOOD ELEVATION DATA PRESENTED IN THE FLOOD INSURANCE STUDY (FIS) REPORT. THE FIS REPORT WAS NOT CONSULTED FOR THIS SURVEY.

FLOOD ZONE LINES AND/OR LMWA LINE SHOWN HEREON WERE TRANSFERRED BY GRAPHIC METHODS FROM THE FLOOD ZONE MAP, AND ARE SUBJECT TO THE INHERENT INACCURACIES OF SUCH TRANSFERS. THIS FLOOD ZONE NOTE IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, AND ANY PROPOSED FINISHED FLOOR ELEVATIONS ARE TO BE DETERMINED BY THE PERMITTING AGENCY HAVING JURISDICTION.



INDEX	INDEX
C-1	HORIZONTAL CONTROL PLAN
C-2	PAVING, GRADING + DRAINAGE PLAN
C-3	UTILITIES PLAN
C-4	DETAILS
C-5	CROSS SECTIONS + DETAILS

A circular professional engineer seal for Patricia P. Montecchi. The outer ring contains the text "PATRICIA P. MONTECCHI" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars. Inside the ring, the word "LICENSE" is at the top, "No. 54894" is in the center, and "STATE OF FLORIDA" is at the bottom. A blue ink signature is written across the center of the seal.

ARCHITECT
BODZIAK / HAYES ARCHITECTS PLLC
JOHN A. BODZIAK AIA, FL #AR0005065
BRITT HAYES AIA, FL #AR102428
5665 CENTRAL AVE.,
SAINT PETERSBURG, FL 33710
TEL: 727-327-1966
FAX:
EMAIL: INFO@BODZIAKHAYES.COM

OWNER

Client Name

TAMPA HOME PRO INC.

110 CRENSHAW LAKE RD STE 200, LUTZ, FL
33548

CONSULTANTS

JOHN A. BODZIAK & ASSOC., INC. HEREBY RESERVES ITS COMMON LAW COPYRIGHTS AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS AND DESIGN. THESE IDEAS, DESIGNS AND PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF JOHN A. BODZIAK & ASSOC., INC. COMPENSATION TO JOHN A. BODZIAK & ASSOC., INC. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS OF THE JOB AND JOHN A. BODZIAK & ASSOC., INC. SHALL NOT BE RESPONSIBLE FOR ANY VARIATION FROM THE DIMENSIONS, CONDITIONS AND SPECIFICATIONS APPEARING ON THESE PLANS.

ARCHITECT'S / CONSULTANT'S STAMP

KEY PLAN

ISSUE TITLE

13495 GULF BLVD.
MADEIRA BEACH,
FLORIDA

SHEET TITLE

CIVIL COVER SHEET

PROJECT
23-029

SCALE
As indicated

DRAWN BY
CM

DATE
03/31/22

ORIGINAL SHEET
SIZE : 24" X 36"

| SHEET NUMBER

C-0

© BODZIAK/HAYES ARCHITECTS, PLLC



NOTE: PLAN CONFLICTS, SHOWN OR UNSHOWN, WITH OTHER EXISTING SITE IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ADJUSTMENTS AND PROTECT OR REINSTALL ALL DISTURBED EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO, POWER LINES, TELEPHONE, SPRINKLER LINES AND CONTROLS, MECHANICAL PIPELINES OR UNDERGROUND POWER CABLES AND RETURN EXISTING CONCRETE WALKS, DUMPSTER PADS, AND UNDERGROUND DRAINAGE SYSTEMS. THE CONTRACTOR SHALL REPAIR OR REINSTALL PIPELINES WHICH SHALL BE REPAIRED OR REINSTALLED AS INCIDENTAL TO THE COST OF WORK SHOWN HEREUNDER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESOLVE ANY CONFLICTS PRIOR TO AWARD OF CONTRACT.

NOTE THAT THIS DRAWING MAY HAVE BEEN ALTERED IN SCALE BY REPRODUCTION

W.O. 6999

BOUNDARY AND TOPOGRAPHIC SURVEY

SECTION 15, TOWNSHIP 31 SOUTH, RANGE 15 EAST
PINELLAS COUNTY, FLORIDA

ADDRESS:
13495 GULF BLVD.
MADEIRA BEACH, FLORIDA
33708

LEGAL DESCRIPTION:

LOT 8, BLOCK 10, LESS THAT PART LYING WITHIN 40 FEET OF A CENTERLINE OF CONSTRUCTION ON STATE ROAD 699, AS DESCRIBED IN OFFICIAL RECORDS BOOK 4355, PAGE 231, MITCHELL'S BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 54, OF THE PINELLAS COUNTY, FLORIDA. AND LOTS 9 AND 10, BLOCK 10, MITCHELL'S BEACH, LESS THAT PORTION IN ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 4426, PAGE 1135, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, BY THE STATE OF FLORIDA, DEPARTMENT OF TRANSPORTATION, AND ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 54, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

ABBREVIATION LEGEND

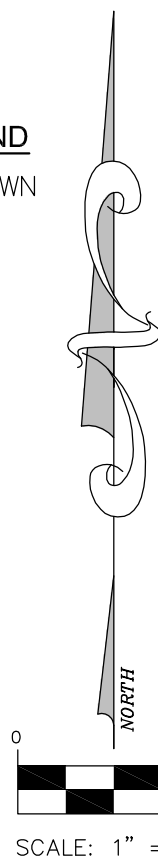
(C)	= Calculated Data	⊗	= Backflow Preventor
(D)	= Data per Description	⊗	= Cable Box
(F)	= Field Determined	⊗	= Centerline
(M)	= Measured Data	⊗	= Cleanout
(MTW)	= Measured to Witness	⊗	= Disabled
(P)	= Data per Plat	⊗	= Drainage Manhole
±	= Plus or Minus	⊗	= Fire Hydrant
AC/CS	= Air Conditioner on C/S	⊗	= Gas Meter
BW/F	= Barbed Wire Fence	⊗	= Grease Trap
BFE	= Base Flood Elevation	⊗	= Guy Anchor
BFP	= Backflow Preventor	⊗	= Light Pole
CB	= Chord Bearing	⊗	= Light Post
CH	= Chord	⊗	= Mailbox
C.P.B.	= Condominium Plat Book	⊗	= Power Box
C/C	= Covered Concrete	⊗	= Reclaimed Water Connection
C/S	= Concrete Slab	⊗	= Reclaimed Water Meter
C/SW	= Concrete Sidewalk	⊗	= Sanitary Manhole
CL	= Centerline	⊗	= Sign
CLF	= Chain Link Fence	⊗	= Spot Elevation
COV.	= Covered	⊗	= Telecommunication Box
CLP	= Concrete Light Pole	⊗	= Utility Pole
CMP	= Corrugated Metal Pipe	⊗	= Water Connection
CONC.	= Concrete	⊗	= Water Meter
Δ	= Delta Angle	⊗	= Water Valve
D.B.	= Deed Book	⊗	= Well
DW	= Driveway		
DMH	= Drainage Manhole		
DWM	= Detectable Warning Mat		
E/P	= Edge of Pavement		
EL	= Elevation		
EOW	= Edge of Water		
FCIR	= Found Iron Rod & Cap		
FCM	= Found Concrete Monument		
FDOT	= Florida Department of Transportation		
FFE	= Finished Floor Elevation		
FIP	= Found Iron Pipe		
FIR	= Found Iron Rod - No Cap		
FND	= Found Nail & Disk		
FPP	= Found Pinched Pipe		
G.I.	= Gate Inlet		
GV	= Gate Valve		
HYD	= Fire Hydrant		
ID	= Identification		
I.E.	= Invert Elevation		
LP	= Light Pole		
LFE	= Lowest Floor Elevation		
LMWA	= Limit of Moderate Wave Action		
M/F	= Metal Fence		
M.O.L.	= More or Less		
MES	= Mitered End Section		
N&D	= Nail & Disk		
NFNS	= Not Found and Not Set		
OCS	= Outfall Control Structure		
OHW	= Overhead Wire		
O.R.	= Official Records Book		
P.B.	= Plat Book		
PCP	= Permanent Control Point		
PG(s)	= Page(s)		
PLS	= Professional Land Surveyor		
POB	= Point of Beginning		
POC	= Point of Commencement		
PRC	= Point of Reverse Curvature		
PRM	= Permanent Reference Monument		
R	= Radius		
RGE	= Range		
R/W	= Right-of-Way		
RCP	= Reinforced Concrete Pipe		
SCM	= Set Concrete Monument PLS #2865		
SCIR	= Set Iron Rod & Cap 5/8" PLS #2865		
SN&D	= Set Nail & Disk PLS #2865		
SMH	= Sanitary Manhole		
STM	= Stormwater Pipe		
TBM	= Temporary Benchmark		
TOB	= Top of Bank		
TOS	= Toe of Slope		
TWP	= Township		
TYP	= Typical		
UB	= Utility Box		
UP	= Utility Pole		
V/F	= Vinyl Fence		
W	= With		
W/F	= Wood Fence		
WM	= Water Meter		
W.O.	= Work Order		
WV	= Water Valve		

SYMBOL LEGEND

⊗	= Backflow Preventor
⊗	= Cable Box
⊗	= Centerline
⊗	= Cleanout
⊗	= Disabled
⊗	= Drainage Manhole
⊗	= Fire Hydrant
⊗	= Gas Meter
⊗	= Grease Trap
⊗	= Guy Anchor
⊗	= Light Pole
⊗	= Light Post
⊗	= Mailbox
⊗	= Power Box
⊗	= Reclaimed Water Connection
⊗	= Reclaimed Water Meter
⊗	= Sanitary Manhole
⊗	= Sign
⊗	= Spot Elevation
⊗	= Telecommunication Box
⊗	= Utility Pole
⊗	= Water Connection
⊗	= Water Meter
⊗	= Water Valve
⊗	= Well

TREE LEGEND

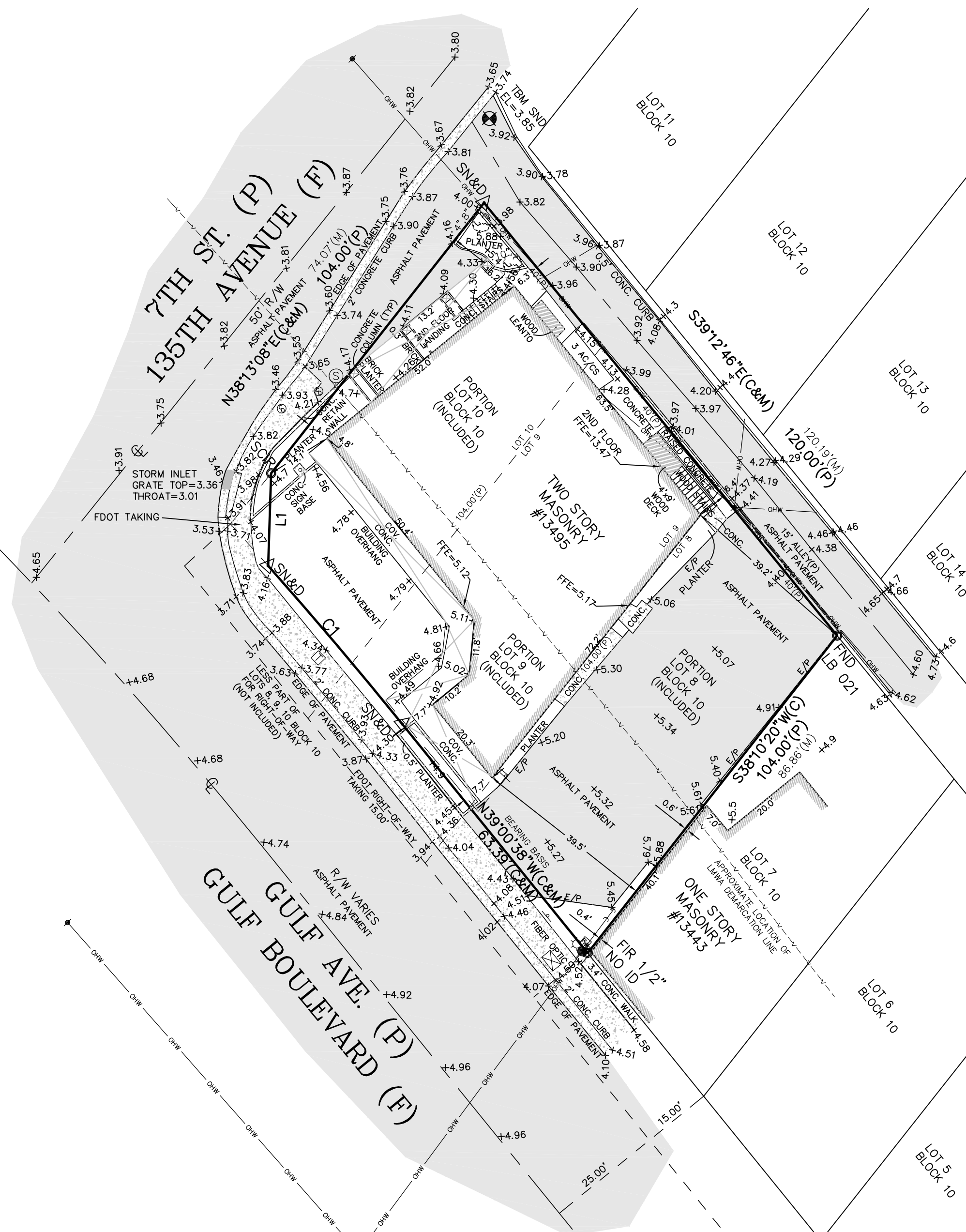
⊗	UNKNOWN
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**LINE TABLE**

LINE	LENGTH	BEARING
L1(C&M)	19.94'	N01°50'39"E

CURVE TABLE

CURVE	RADIUS	ARC	CHORD	BEARING
C1(C&M)	994.93'	44.63'	44.63'	N40°18'09"W

**SURVEY NOTES:**

- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT, AND IS SUBJECT TO EASEMENTS, RIGHT-OF-WAY, AND OTHER MATTERS OF RECORD THAT A TITLE SEARCH MIGHT DISCLOSE.
- PLANIMETRIC FEATURES SHOWN HEREON WERE DETERMINED BY STANDARD FIELD SURVEYING METHODS.
- BEARING BASIS IS THE NORTHEASTERLY RIGHT-OF-WAY LINE OF GULF BLVD. (STATE ROAD #699) BEING N39°00'38"W, PER FDOT RIGHT-OF-WAY MAP SECTION 15100-2511 SHEET 3.
- ALL HORIZONTAL AND VERTICAL MEASUREMENTS SHOWN ON THIS DRAWING ARE IN U.S. SURVEY FEET.
- ALL INSTRUMENTS SHOWN HEREON ARE OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, UNLESS OTHERWISE SPECIFIED.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SURFACE MARKINGS AND OR STRUCTURES. NO EXCAVATION WAS PERFORMED FOR THE LOCATION OF SUCH UTILITIES.
- ADDITIONS OR DELETIONS TO THIS SURVEY MAP AND/OR REPORT BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS PARCEL APPEARS TO BE IN FLOOD ZONES AE (EL 10), ACCORDING TO THE FLOOD INSURANCE RATE MAP, MAP NUMBER: 12103C0191H, MAP EFFECTIVE DATE: AUGUST 24, 2021, AS PROVIDED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
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- LOCATIONS OF TREES SHOWN HEREON WERE LIMITED TO TREES 4" DIAMETER AT BREAST HEIGHT (DBH) OR LARGER.
GEODATA SERVICES INC. CAN ACCEPT NO RESPONSIBILITY FOR THE IDENTIFICATION OF THE TREE SPECIES SHOWN HEREON. ALTHOUGH EVERY EFFORT HAS BEEN MADE TO PROPERLY IDENTIFY THE TREES SHOWN HEREON, TREE IDENTIFICATION IS OUTSIDE THE EXPERTISE OF A PROFESSIONAL LAND SURVEYOR. THE TREE TYPES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE USED AFTER CONFIRMATION BY A CERTIFIED ARBORIST OR OTHER SUCH PROFESSIONAL.
- ELEVATION BASIS: NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) BENCHMARK UTILIZED: "PBE 147 USE", PID NUMBER AG0767, ELEVATION = 4.51' AS PUBLISHED BY THE NATIONAL GEODETIC SURVEY.

SURVEYOR'S CERTIFICATION:

I, DENNIS J. EYRE, THE SURVEYOR IN RESPONSIBLE CHARGE, HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON AND THAT SAID ABOVE GROUND SURVEY AND SKETCH ARE ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. SURVEY NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, OR DIGITAL SIGNATURE IN ACCORDANCE WITH STATE OF FLORIDA ADMINISTRATIVE CODE RULE 5J-17.062.

DENNIS J. EYRE, P.L.S. FLA. REG. No. 2865
DATE: DECEMBER 7, 2023

AN UNSIGNED SURVEY DRAWING IS FOR INFORMATIONAL PURPOSES ONLY.

W.O. #6999	FIELD DATE: NOVEMBER 16, 2023
DRAWN BY: DWB	
CHECKED BY: DJE	
SCALE: 1" = 20'	
FIELD BOOK / PAGE(S): 04-23/14	
SHEET 1 OF 1	

GEODATA SERVICES INC.

1166 KAPP DRIVE
CLEARWATER, FL 33765
PHONE: (727) 447-1763



Central Florida Testing Laboratories, Inc.

Testing, Development and Research

12625 - 40th Street North Clearwater, Florida 33762

ENGINEERING BUSINESS NO. 1066

GEOLOGY BUSINESS NO. 224

TAMPA BAY AREA (727) 572-9797

FLORIDA 1-800-248-CFTL

FAX (727) 299-0023

**13495 Gulf Boulevard
Madeira Beach, Florida 33708
Mitchell's Beach Revised Block 10, Lots 8 Thru 10
Less Rd R/W, Pinellas County, Florida
Geotechnical Services
November 2023**

Report Number. 246796

Prepared
for

Tampa Home Pro, Inc.
110 Crenshaw Lake Road, Ste. 200
Lutz, Florida 33548

Central Florida Testing Laboratories, Inc.

Item 5A.

Testing Development and Research

12625 – 40TH STREET NORTH • CLEARWATER, FL 33762

ENGINEERING BUSINESS NO. 1066

GEOLOGY BUSINESS NO. 224

TAMPA BAY AREA (727) 572-9797

FLORIDA 1-800-248-CFTL

FAX (727) 299-0023

November 6, 2023

Tampa Home Pro, Inc.
110 Crenshaw Lake Road, Suite 200
Lutz, FL 33548

Attn: Mr. Chris Robinson

Re: Geotechnical Investigation – Proposed 13495 Gulf Blvd. Project
13495 Gulf Boulevard, Madeira Beach, Florida 33708
(Mitchell's Beach Revised, Block 10, Lots 8 thru 10 Less Rd R/W,
Pinellas County, Florida)
CFTL Report No. 246796

Gentlemen,

As authorized, our office has conducted a subsurface soils investigation for the above referenced project. With the existing building still in place, access was somewhat limited and this

investigation consisted of only two (2) standard penetration test (SPT) borings supplemented by a Double Ring Infiltration (DRI) test each positioned at the approximate location shown on the enlarged aerial photograph and on the Architectural Site



Plan (Sheet ASP-1.0) provided our office by John A. Bodziak, AIA, PA, Architect for the project.

Site Description

The site is located on the east side of Gulf Boulevard at the southeast corner of the intersection of 135th Avenue and Gulf Boulevard in Madeira Beach, Pinellas

County, Florida. Madeira Beach is one of many small beach communities on the barrier island chain that runs along the west coast of Pinellas County, Florida.

The subject site is located on the approximately 0.6 mile to the north of John's



Pass which is a natural break in the island chain and connects Boca Ciega Bay to the east to the Gulf of Mexico to the west. The property is also about equidistance between the Gulf of Mexico to the west and the waters of Boca Ciega Bay and the Intercoastal Waterway to the east. The subject property presently

contains a 1-story masonry building with 2-story partial rear portion that will be demolished to make way for the new construction project.

For additional reference to the subject property, we have also included an area map showing the location of the site with respect to surrounding geographical area as well as large and small scale aerial photographs of the property, a current National Flood Hazard Layer map showing the FEMA flood zoning of the site, and architectural renderings of the proposed new 3-story over parking (4-story) building. Based on the FEMA designation on this map, this island property is designated as being in a "Coastal Floodplain AE-10" flood zone with the Limit of Moderate Wave Action (LiMWA) line running in a north-south direction through the middle of the property.

It is our understanding that "Coastal Floodplain AE" properties that are zoning leeward or inside of the LiMWA line do not require a pile foundation for support unless dictated by soil conditions, building design or municipal regulations, but do have other specific building requirements associated with them, while "Coastal Floodplain AE" properties that are seaward or outside of the LiMWA line do require the use of a pile foundation for support regardless of soil conditions. However, with the LiMWA line running through the proposed new 4-story building and based on the assumed loads the building will need to transfer to the underlying soil, we estimate the building will require a pile foundation for support.

We do, however, recommend that the FEMA zoning and all building requirements associated with this property be confirmed with the Town of Madeira Beach Building Department.

Loading Conditions

While no specifics regarding anticipated loading information for the 4-story structure was provided at this time; we are assuming that with concrete and masonry construction being used for each floor, individual column loads beneath the center portion of the building could be up to 500 Kips (250 tons) each with continuous wall loads of 10-15 Klf (10,000 to 15,000 pounds per linear foot).

With this type loading a pile foundation or a soil improvement process would be required to provide load carrying capabilities for the use of either deep or shallow foundations. Due to the size and location of the site, soil improvement processes such as Vibro-stone Column are difficult to construct due to a lack of space to stockpile large quantities of crushed stone. Therefore, we will provide recommendations for various types and safe support capacities versus length for piling. If our assumptions as to loading conditions are not reasonable, then please contact our office to determine if reconsideration of our recommendations are warranted.

Purpose

Due to both FEMA zoning and the height and loads imposed upon the soils by the planned 4-story structure, a pile foundation is recommended for use. Therefore, the purpose of our geotechnical investigation determine soil conditions beneath the property and allowing us to provide recommendations for safe support capacities versus size and length of piling that will be used for support of the building. The DRI test is to provide soil parameters for use in the design of the stormwater collection system for the project.

SPT Boring Test Method

The borings were completed using sampling intervals in excess of those required by ASTM Specifications, D-1586, describing the Standard Penetration Test or "split-spoon"

method of sampling. Four samples were taken in the upper ten feet to provide greater definition within this zone.

The penetration resistance testing and sample taking was accomplished with the use of a 2" O.D. sampler seated six inches into the bottom of the borehole and advanced an additional one foot under the effort of a 140 pound



hammer falling freely thirty inches. The number of blows required of the hammer to advance the sampler one foot into undisturbed material was noted as the blow count (N) of that particular stratum. Portions of each soil sample so taken, were classified, sealed in moisture-proof containers and returned to our laboratories for verification of field classification.

The borings were advanced using a truck mounted, rotary drill rig, utilizing a recirculating bentonite drill fluid to maintain the borehole in noncohesive soils and to remove cuttings created by the drill bit. Upon completion the boreholes were sealed in accordance with SWFWMD regulations.

Double Ring Infiltration Test Method

The DRI test was performed in general accordance with the guidelines presented in ASTM Test Method D-3385 titled *Standard Test Method for Infiltration Rate of Soils in Field Using Double Ring Infiltrometer*. The



accompanying shallow auger boring was accomplished with the use of posthole diggers and the bucket type of hand auger. This method of sampling allows for soil samples in approximately six-inch vertical increments to be retrieved to the surface for visual

classification and collection. All soils encountered are described using Munsell Color Chart number and common name of each soil stratum in order to provide a level of consistency.

Building Boring Results

Each boring was initially drilled through the existing asphalt pavement that borders the front and south sides of the building. The soil profiles defined by each of the two borings will be discussed separately.

Soils encountered in boring B-1, positioned off the front of the existing building and off the northwest portion of the new building footprint, were composed of approximately 19 feet of sandy soils containing varying amounts of shell fragments that began as slightly loose and quickly increased in penetration resistance to represent medium dense to dense consistencies between 3 and 15 feet before decreasing in density to represent very loose conditions between 15 and 19 feet. Beginning at 19 feet and continuing to approximately 25 feet was a

layer of loose clayey sands that graded into hard to very hard marine clays that continued to 45 feet below the surface. Between 45 and the termination depth of the boring, 50 feet below the surface, were very dense clayey sands and silty sands. No loss of drilling fluid circulation occurred during advancement of the boring.

Soils encountered in boring B-2, positioned off the southeast corner of the existing building and in the southeast portion of the planned new building footprint, encountered soils composed of approximately 15 feet of medium dense to dense sands containing varying amounts of shell fragments followed by approximately 4 feet of very loose silty sands to 19 feet where medium dense clayey sands began and again covered hard to very hard marine clays that continued from 25 feet to 49 feet before the boring was terminated with the 50-foot sampling interval in a very dense clayey sands stratum. Again, no loss of drilling fluid circulation occurred during the drilling of boring B-2.

The subject site as well as the entire community of Madeira Beach is surrounded by the waters of the Intercoastal Waterway and Boca Ciega Bay to the east and the Gulf of Mexico to the west, which influence the shallow groundwater table beneath the site. The shallow water table was measured during the time of our borings at approximately 3.5 feet beneath the surface.

Conclusions

Based on the soil profiles defined by our two borings, the soils underlying the proposed new 4-story building are generally consistent in their composition and penetration resistance beneath the site. While not conducive to providing adequate support for shallow foundations due to the heavy loads of the building and the loose zones found between 15 and 25 feet below the surface, the soils do provide sufficient high skin friction values capable of providing high support capacities for either drilled augercast concrete piling or driven piling with the tips embedded in the very hard marine clays encountered between 25 and 35 feet beneath the surface.

Non-pile supported elements of the planned construction can be supported by the existing sandy soils with an allowable, unimproved soil bearing capacity of 2,500 psf. If demolition activities associated with removal of the existing building and pavement areas disturb the upper soils then we recommend that re-densification by surface applied proof-rolling be used to restore the upper soils to their generally medium dense condition.

Specifics regarding the proof-rolling or surface applied densification process are as follows:

Proof-rolling Recommendations

Proof-rolling to address the upper sandy soils if disturbed during demolition should be undertaken within the limits of the new building envelope plus a 5 feet perimeter buffer strip. We define the new building envelope to include the new building footprint plus any areas containing additional soil supported elements of

the planned new construction.

Proof-rolling may be accomplished with a vibratory roller capable of exerting at least 35,000 ft.-lbs. of energy to the soil. Proof-rolling should achieve a minimum density of at least 95% of Modified Proctor (ASTM D-1557) established maximum dry soil density for the upper 3 feet of existing soils.

The roller/compactor required is similar to the one shown in the adjacent inset photo.



Testing for verification that the target density has been achieved can be made by conventional nuclear moisture/density testing (ASTM D-6938) for the upper 1 to 2 feet of the soil profile followed by correlation of the conventional density result to penetration resistance of a hand operated cone penetrometer. Generally, a hand cone penetrometer reading of at least 40 kg/cm² will equate to the 95% of Modified Proctor value; however, correlation of density results to HCP readings takes precedence over the assumption of 40 kg/cm².

We do not recommend that test pits be excavated to determine the density of lower soils due to the depth of the shallow water table and the difficulty associated with backfilling and compacting the soils within the limited sized test pit excavations needed for density testing.

Assuming that sufficient density of the upper 3 feet of soils meets the above requirements, then for all additional fill soil placed within structural areas of the site and above existing grade, we recommend these fill soils consist of clean, noncohesive sandy soils meeting either SP or SP/SM classifications when tested according to the Unified Soil Classification System methods.

Additional fill should be placed in lifts not exceeding one foot in depth and compacted to a minimum density of at least ninety-five percent (95%) of the soils maximum dry density as established by the Modified Proctor Test, ASTM D-1557. Each lift should achieve satisfactory density results prior to placement and compaction of subsequent lifts to eliminate the possibility of dense soil bridging over loose insufficiently compacted soils.

Once the above densification recommendations are achieved, then the areas of the project, other than that containing the pile supported 4-story hotel building will be acceptable for a soil bearing capacity of 2,500 psf.

We are available to conduct any testing necessary to show compliance with these recommendations.

Pile Foundation Recommendations

Two types of pile foundation systems are recommended to be considered in order to provide support for the 4-story building. The first is augercast-in-place concrete piling and the second is driven prestressed concrete piling. The following table provides estimated safe support capacities for both types versus size and depth.

Pile Type	Size	Length	Safe Axial Support
Augercast Concrete	14" diam.	~35'	50 tons
	16" diam.	~35'	60 tons
Prestressed Concrete	12" square	~35'	50 tons
	14" square	~35'	60 tons

Each of the above types of piling have their respective pros and cons. We would be available to discuss each if warranted. Larger size piling installed to greater depths can provide additional support capacity. If needed, please contact our office for additional recommendations.

Lateral load capacities for each of the above piling installed above referenced depths would be expected to be approximately ten percent (10%) of the compressive load capacity for individual pile depending on the type and size of the pile utilized. Uplift may be assumed at approximately fifty percent (50%) of the downward axial load capacity for each pile type.

Actual pile support capacities require verification by monitoring of the driving resistance and correlation to the hammer energy at the time of installation for driven prestressed concrete pile, while augercast piling should be installed to the designated depth and monitored for the rate of advancement of the auger to determine that the terminal stratum of soils are representative of those found by the borings. We do recommend that at least one pile load test be conducted for either type piling to verify the actual safe support capacity has been achieved.

If driven piling are to be used, then pilot holes of up to 15 feet deep may be used to start each piling and minimize driving resistance and vibrations associated with penetrating the upper 15 feet of generally medium dense to dense sandy soils.

Above Grade Fill

For any fill to be placed within the building pad or beneath any soil supported elements of the new construction, we recommend it consist of clean, noncohesive sandy soils meeting either SP or SP/SM classification by the Unified Soil Classification System. Fill should be placed in lifts not exceeding one foot in depth and compacted to a minimum density of at least ninety-five percent (95%) of the soils maximum dry density as established by the Modified Proctor Test, ASTM D-1557. Each lift should achieve satisfactory density results prior to placement and compaction of subsequent lifts to eliminate the possibility of dense

soil bridging over loose insufficiently compacted soils.

Again, CFTL is available to conduct any recommended testing of soils or concrete to verify specifications have been met as the new construction takes place.

DRI Test Results

Soils encountered in the shallow auger boring that accompanied the DRI test consisted of fine grained non-cohesive sands containing varying amounts of shell fragments. These sands extended to a depth of at least 6 feet in the location of the DRI test. The static shallow water table was measured at a depth of approximately 3.5 feet below the surface at the time of testing. The southern portion of the site to the south of the existing building in which the DRI was conducted shows an elevation of between +4' and +5' on Google Earth®. The depth to the water table equates to an elevation of approximately 4.5' (avg.) - 3.5' = +1.0' NAVD88.

An observation of the water in Johns Pass at the time of our testing found water was flowing out of the Pass indicating a falling tide.



In our opinion, the soils show no indicator of a historic seasonal high water table (SHWT) level. With the location of the property being on the barrier island chain and surrounded by sea water to the east and west, it has a shallow

water table that is expected to be tidally influenced and one that will rise and fall on a daily basis with the tidal levels in the Gulf of Mexico and/or the Intercoastal Waterway.

In consideration of the shallow water table being tidally influenced and no distinguishable indicator of the SHWT, it is our estimate that a SHWT level would equate to the MHHWL (Mean High High Water Level) established by NOAA for this area of Madeira Beach.

The attached NOAA Datum sheet for Station 8726533 (see attached), which is Johns Pass (0.6 mile to the south) of the site. These same waters are within the large navigable basin that is 400 feet to the north of the site. This datum sheet states the elevations shown are in feet and referenced to MLLW (Mean Low Low Water). MLLW is shown on the sheet at elevation 0.0'. The highest elevation on the sheet is designated as MHHW (Mean High High Water). It is listed at elevation +2.24'. The MHHW would be the established mean elevation of recorded



high tides in Johns Pass during the monitoring period. With the elevations referenced to a NOAA standard of 0.0 for MLLW, the chart also shows that the more standardized reference elevation of NAVD88 at +1.43' above MLLW (0.0').

Therefore, converting MHHW to a NAVD88 elevation would equate to $2.24' - 1.43' = +0.81'$. This elevation of +0.81' NAVD88, in our opinion, should be the equivalent to the SHWT level in this area of Madeira Beach. If our assumptions that the elevation of the site is correct at approximately +4' to +5' then we estimate the SHWT level to be the elevation of the static water table found at the time of testing at elevation +1.0' NAVD88.

The maximum infiltration rate at the location of the DRI test was determined to be a fairly rapid 4.8 minutes per inch (12.5 inches/hr.) after 4 hours of testing with the test apparatus seated approximately 2 feet below the ground surface.

Natural Resources Conservation Service (NRCS) Data

The Natural Resources Conservation Service (NRCS), formerly the Soil Conservation Service (SCS), currently lists the subject property as having Mapping Unit #16 soils with Mapping Unit #8 soils to the west along the beach area fronting the Gulf of Mexico.

Mapping Unit # 16 soils are described soils as *Matlacha and St. Augustine soils and Urban land*. These soils have a parent material listed as “sandy mine spoil or earthen fill”. This represents the dredge and fill spoils that were used to create much of the uplands inside the seawalls lining the east side of Madeira Beach. This description appears correct for the site. Mapping Unit #8 soils are described as *Beaches*, and represent sandy coastal beaches and dunes that line the west side

of the barrier island chain and begin approximately 300 feet to the west of the site.

The listed SHWT for the *Matlacha and St. Augustine soils and Urban land* soils is 24 to 36 inches, while *Beaches* has a listed SHWT of surface (zero) to 24 inches depending whether one is on or off the dunes. With the site being fairly flat, we believe our estimate of the SWHT being at +1.0' NAVD88 is consistent with the *Matlacha and St. Augustine and Urban land* listing and is reasonably accurate with the tidal data for Johns Pass.

All the above information is shown on our attached test report form and included NRCS data.

Limitations

This investigation and report deals only with the soil zones and strata located within the area represented from the ground surface to the termination depth of the borings.

It is not intended to predict or accept responsibility for sinkhole development. Other means of subsurface investigations including, but not limited to, deep structural borings, rock coring, geophysical studies, ground penetrating radar or resistivity surveys are used for sinkhole potential determinations and are out of the scope of this investigation.

Generally accepted soil mechanics and foundation engineering practices were utilized in the preparation of this report; and no other warranty, either expressed or implied is made as to the recommendations provided.

This report is for the exclusive use of our client and may not contain sufficient information for other uses, such as quantity take-offs, or for interpretation by other parties for bidding purposes. In the event conclusions and/or recommendations based on our data are made by others, such conclusions and/or recommendations are not our responsibility unless we have been given an opportunity to review and concur with them.

If borings were not staked by a registered land surveyor but were located by our drill crews, the following method was used:

Distances are generally measured using a 200 foot tape measure with right angle approximation used to turn corners. Scaling from prints or surveys with reference points shown on the plan or geographical references will produce a degree of accuracy that is typically $\pm 5\%$ for length and ± 10 degrees for angles.

Soil strata delineations are estimated in the field by color changes, texture differences and penetration resistance values. These may be more gradual transitions than those shown on the boring log representations of strata delineations.

The ground water depth determination shown on the bottom of the boring log was measured in the bore hole at the time of drilling, unless noted otherwise. This

depth does not reflect seasonal high water levels and would fluctuate as expected with variations in rainfall, tides or other factors not present at the time of our soils investigation.

The boring data represents only that data obtained during this investigation at the approximate locations shown on the site schematic or plan.

Should significant variations of soil or subsurface conditions exist between boring locations and be encountered by future exploratory work or site preparation efforts, our office should be notified so that supplemental borings, or data gathering determinations can be made to update our report and recommendations at a minimal expense to our client.

It is the responsibility of our client to inform our office of these variations if possible modifications of the report is warranted.

This report is general in nature, unless specific geotechnical data or recommendations were asked to be addressed. However, we would be pleased to answer any questions concerning comments or recommendations made in this report.

We appreciate the opportunity to have been of service. If any further evaluation of the site or testing services are needed, either prior to or during construction, please do not hesitate to contact our office.

Sincerely,

CENTRAL FLORIDA TESTING LABORATORIES, INC.



This item has been electronically signed and sealed by George C. Sinn, Jr., P.E. using a digital signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally signed by:

George C Sinn, Jr.

Date: 2023.11.06 16:

05:23 -05'00'

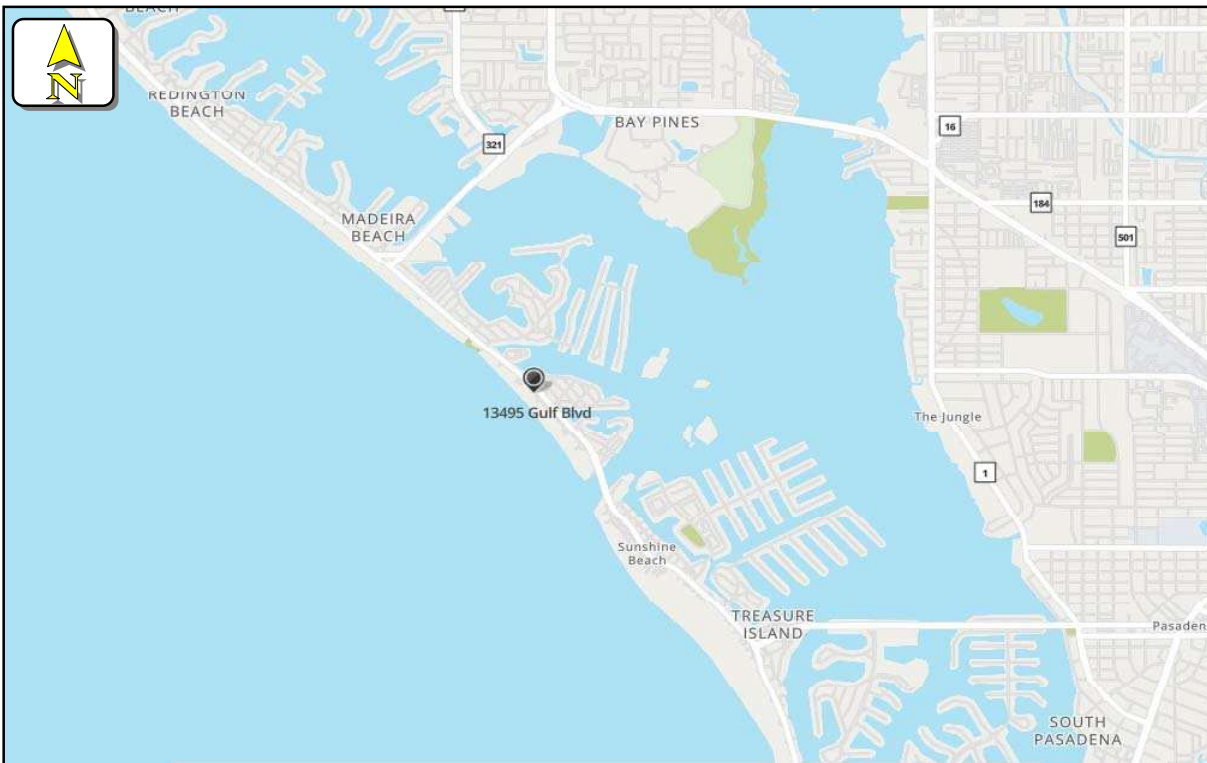
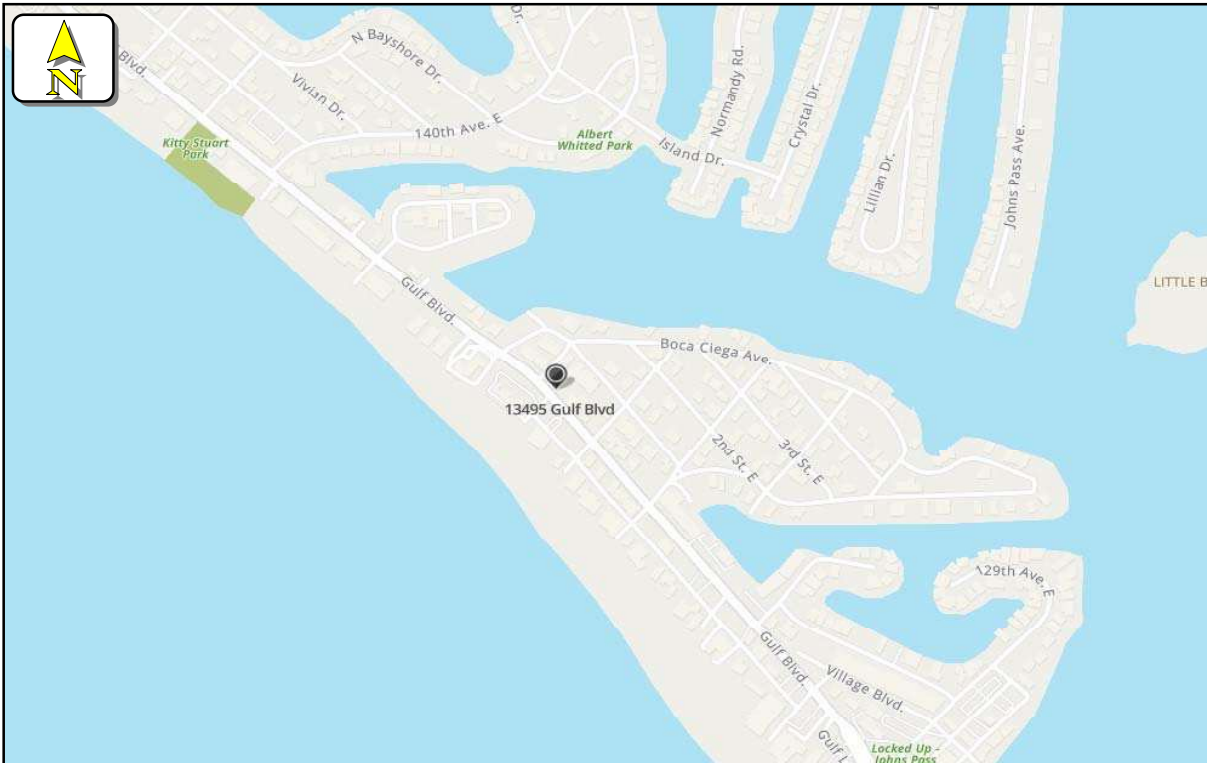
George C. Sinn, Jr., P.E.
President/Principal Engineer
FLN 16911
GCS/gs

Attachments

cc: John A. Bodziak, Architect, AIA, PA

Maps

Various



Central Florida Testing Laboratories, Inc.

**13495 Gulf Boulevard
Madeira Beach, Florida 33708**

Report No: 246796

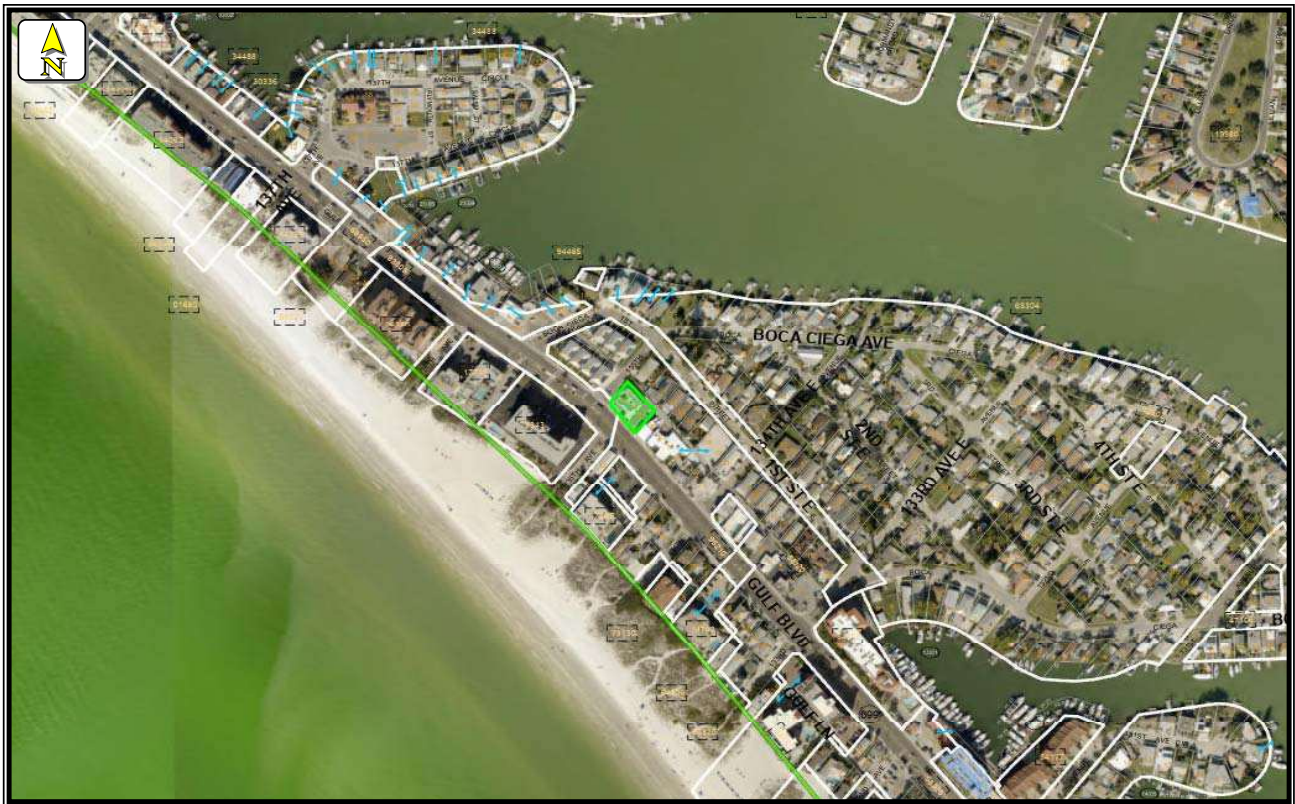
Legend

★ Subject Property	Interstate	Water
Population Center	Toll Highway	Intermittent Lake
Land	US Highway	Wetland
Sand	State Route	River/Canal
Woodlands	Local Road	Intermittent River
Park	Major Connector	Railroad

Figure 1 - Location

Project Name: 13495 Gulf Boulevard, Madeira Beach
Report No.: 246796

2022 County Aerial Photograph of Site



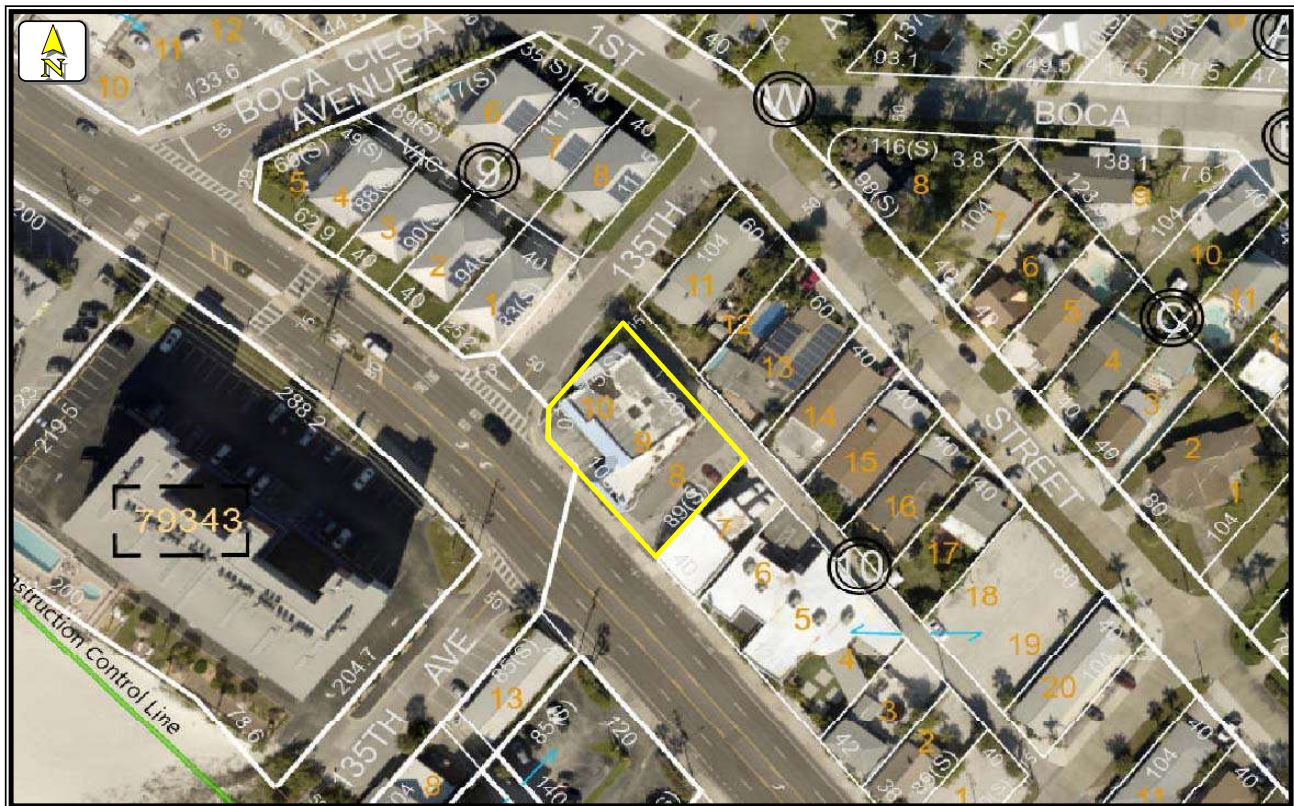
Central Florida Testing Laboratories, Inc.

EB#1066

GB#224

Project Name: 13495 Gulf Boulevard, Madeira Beach
Report No.: 246796

2022 County Aerial Photograph of Site



Central Florida Testing Laboratories, Inc.

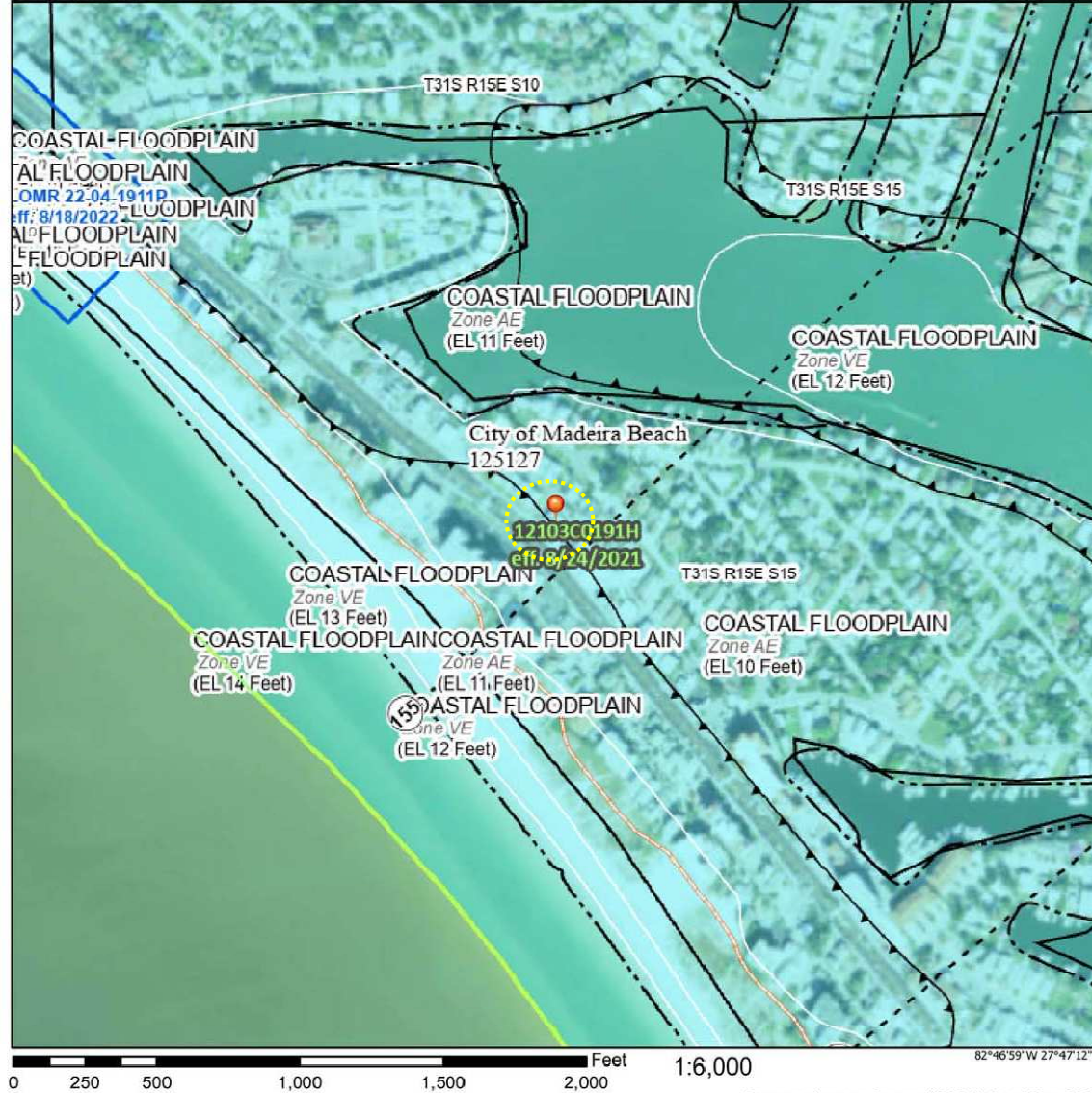
EB#1066

GB#224

National Flood Hazard Layer FIRMette



82°47'37"W 27°47'44"N



Basemap Imagery Source: USGS National Map 2023

Legend

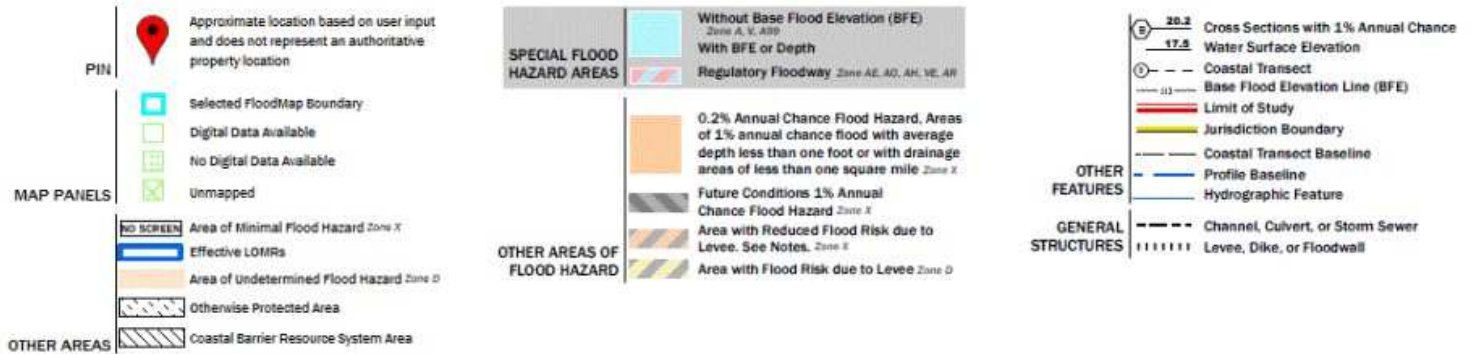
SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, A99
	With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
	Future Conditions 1% Annual Chance Flood Hazard Zone X
	Area with Reduced Flood Risk due to Levee. See Notes. Zone X
	Area with Flood Risk due to Levee Zone D
OTHER AREAS	NO SCREEN Area of Minimal Flood Hazard Zone X
	Effective LOMRs
GENERAL STRUCTURES	Area of Undetermined Flood Hazard Zone D
	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall
OTHER FEATURES	Cross Sections with 1% Annual Chance Water Surface Elevation
	Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
MAP PANELS	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature
MAP PANELS	Digital Data Available
	No Digital Data Available
	Unmapped
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.	

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 11/3/2023 at 7:44 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.









Project Name: 13495 Gulf Boulevard, Madeira Beach
Report No.: 246796

Aerial Showing Approximate Test Locations

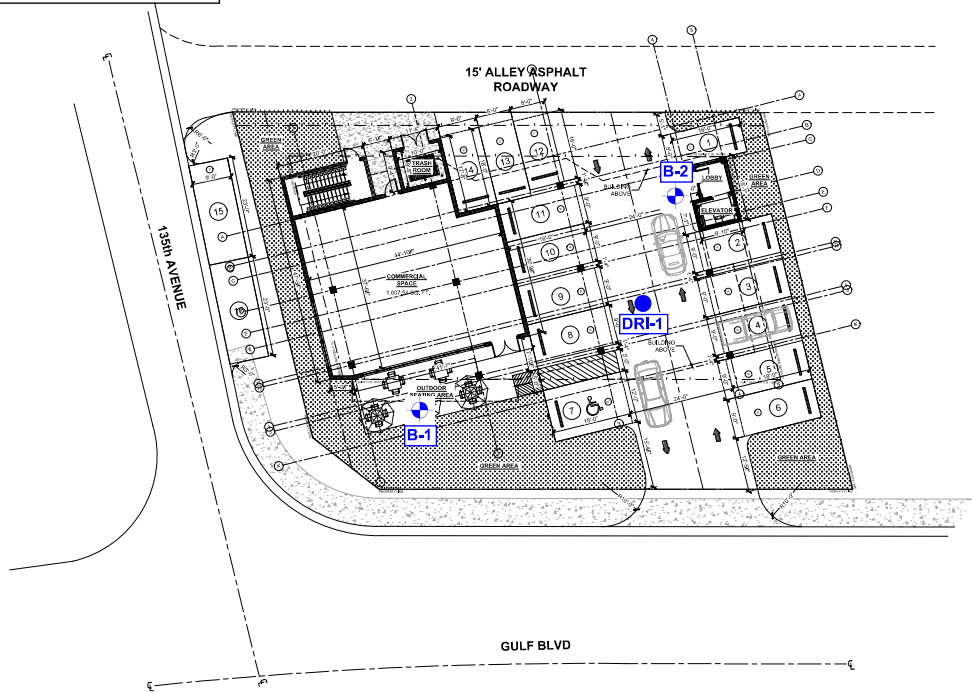


Central Florida Testing Laboratories, Inc.

EB#1066

GB#224

13495 Gulf Boulevard, Madeira Beach
Approximate Test Locations
CFTL Report No. 246796



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"

PROJECT	
13495 GULF BLVD. MADEIRA BEACH, FL 33708	
ARCHITECTURAL SITE PLAN	
DATE: 10/13/2023	
DRAWN BY: JAB	
CHECKED BY: JAB	
APPROVED BY: JAB	
PROJECT NO: 23-029	
SHEET NO: 1	
SHEET TOTAL: 1	
PROJECT LOCATION: 13495 GULF BLVD., MADEIRA BEACH, FL 33708	
CLIENT: JOHN A. BODZIAK	
ARCHITECT: JOHN A. BODZIAK, AIA, P.A.	
740 9TH STREET, N. SUITE 100, ST. PETERSBURG, FL 33710	
TEL: 727.322.8888 FAX: 727.322.8888	
DATE: 10/13/2023	
DRAWN BY: JAB	
CHECKED BY: JAB	
APPROVED BY: JAB	
PROJECT NO: 23-029	
SHEET NO: 1	
SHEET TOTAL: 1	
PROJECT LOCATION: 13495 GULF BLVD., MADEIRA BEACH, FL 33708	
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740 9TH STREET, N. SUITE 100, ST. PETERSBURG, FL 33710	
TEL: 727.322.8888 FAX: 727.322.8888	

ASP-1.0

SPT Boring Results



Client: Tampa Home Pro, Inc.
Project: 13495 Gulf Boulevard
Location: Parcel: 15-31-58320-010-0080
City / State: Madera Beach, Florida

Report No: 246796
Log of Borehole: B-1
Date Drilled: 11/02/2023

Item 5A.

ENGINEERING BUSINESS NO. 1066

GEOLOGY BUSINESS NO. 224

Depth	Strata Symbol	Subsurface Profile Description	Consistency	Blow Count	N value	Standard Penetration Test	Lab/ Notes
						(blows/ft) 0 20 40 60 80 100	
0		Ground Surface					
		Asphalt and Base Material	slightly loose	4-4-4	8		
		Sand Grayish brown to light brownish gray, fine grained.	medium dense	3-5-8	13		
5		Sand Light gray, fine grained, minor to occasional shell fragments.	dense	4-10-20	30		
			dense	16-24-21	45		
10			medium dense	8-12-9	21		
15			very loose	4-1-1	2		
20		Clayey Sand Dark greenish gray, fine grained, trace shell fragments.	loose	1-1-4	5		
25		Sandy Clay Greenish gray to gray, indurated at 30'.	hard	9-12-19	31		
30			very hard	38-34-50/5"	100+		
35		Sandy Clay Light greenish gray.	very hard	50/4"	100+		
40			very hard	19-22-32	54		
45		Clayey Sand Greenish gray, fine grained.	very dense	50/3"	100+		
50		Silty Sand Light brownish gray, fine grained.	dense	12-15-29	44		
55		End of Boring					

Notes: FEMA Flood Zone Designation:
Coastal Floodplain AE-10

No loss of drill fluid circulation

Water Table: 3.5' bls (HA)
Ground Elevation: Existing
Drilled by: AC
Compiled by: GL

Drill Method: Rotary
Sampling Method: Splitspoon ASTM D-1586



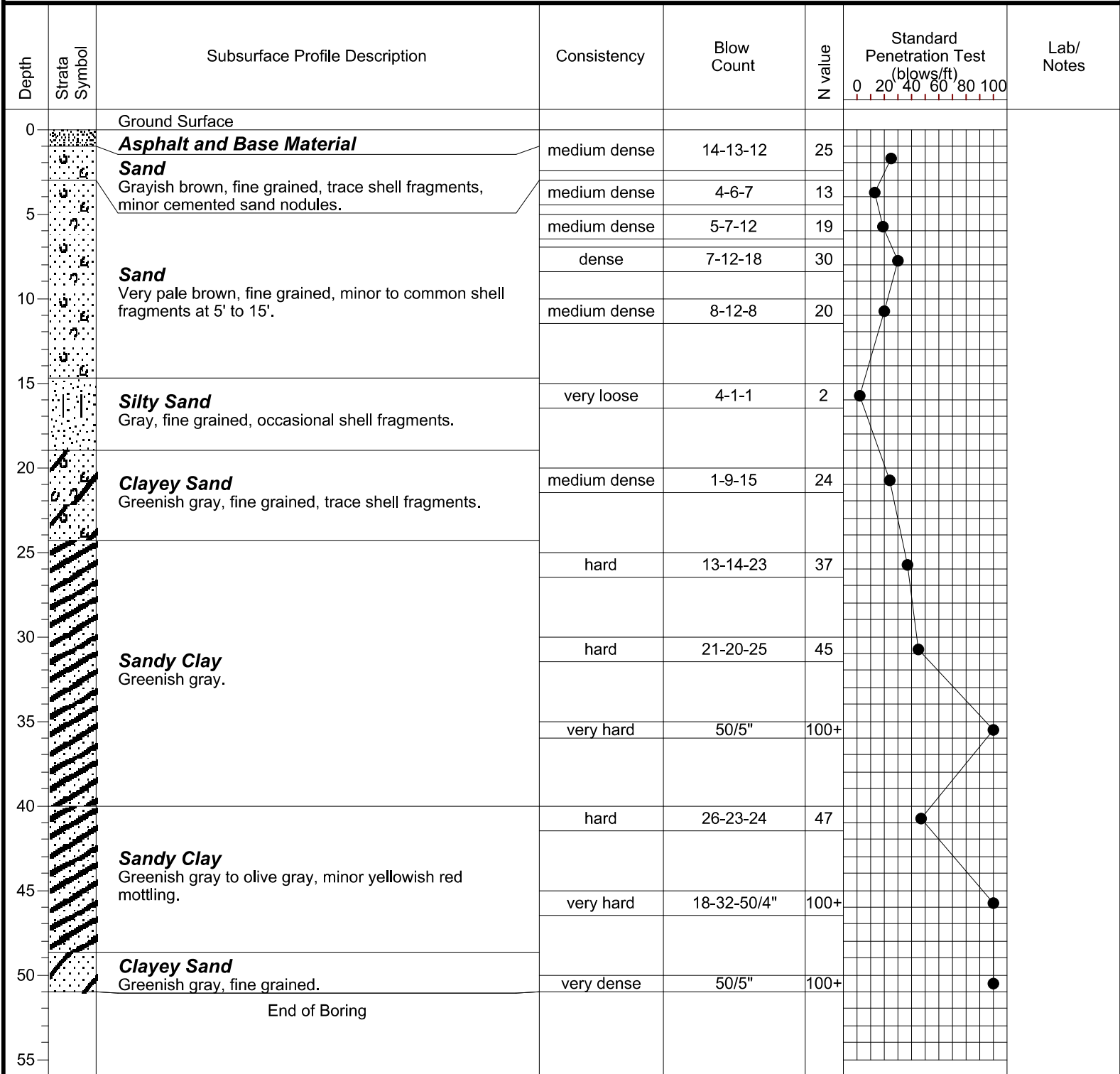
Client: Tampa Home Pro, Inc.
Project: 13495 Gulf Boulevard
Location: Parcel: 15-31-58320-010-0080
City / State: Madera Beach, Florida

Report No: 246796
Log of Borehole: B-2
Date Drilled: 11/02/2023

Item 5A.

ENGINEERING BUSINESS NO. 1066

GEOLOGY BUSINESS NO. 224



Notes: FEMA Flood Zone Designation:
Coastal Floodplain AE-10

No loss of drill fluid circulation

Water Table: 3.5' bls (HA)
Ground Elevation: Existing
Drilled by: AC
Compiled by: GL

Drill Method: Rotary
Sampling Method: Splitspoon ASTM D-1586

DRI Results

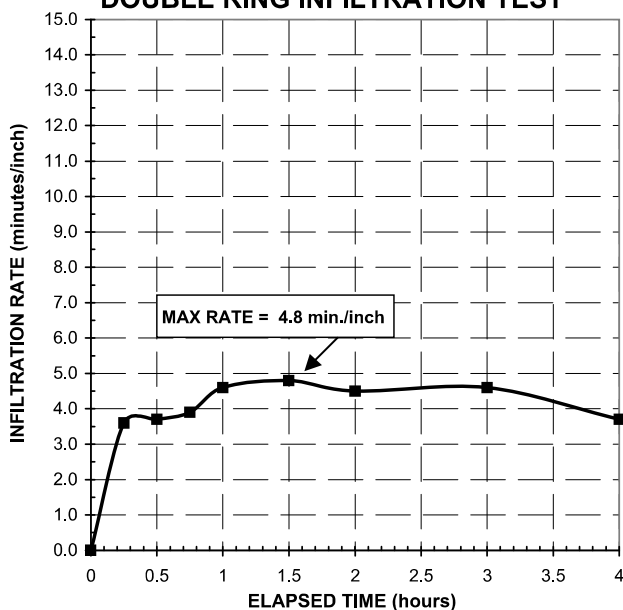


Central Florida Testing Laboratories, Inc.

Testing Development and Research

12625 - 40TH STREET NORTH • CLEARWATER, FL 33762
TAMPA BAY AREA (727) 572-9797 FLORIDA 1-800-248-CFTL FAX (727) 299-0023

DOUBLE RING INFILTRATION TEST



Maximum Infiltration Rate (min./in.): 4.8

EXISTING WATER TABLE DATA

WATER TABLE AT TIME OF TEST (BLS): 3.5'
EST. SEASONAL HIGH WATER TABLE (BLS): Tidal

NRCS WATER TABLE DATA

SOIL TYPE (AT DRI LOCATION): Matlacha and St. Augustine
soils and Urban land
SEASONAL HIGH WATER TABLE: 18 to 36 inches

Project: 13495 Gulf Boulevard
Madeira Beach, Florida 33708

Client: Tampa Home Pro, Inc.

Lab No.: 246796

DOUBLE RING INFILTRATION DATA

Test Location: DRI-1
Test Elevation: 2.0 feet below existing land surface
Test Date: November 3, 2023

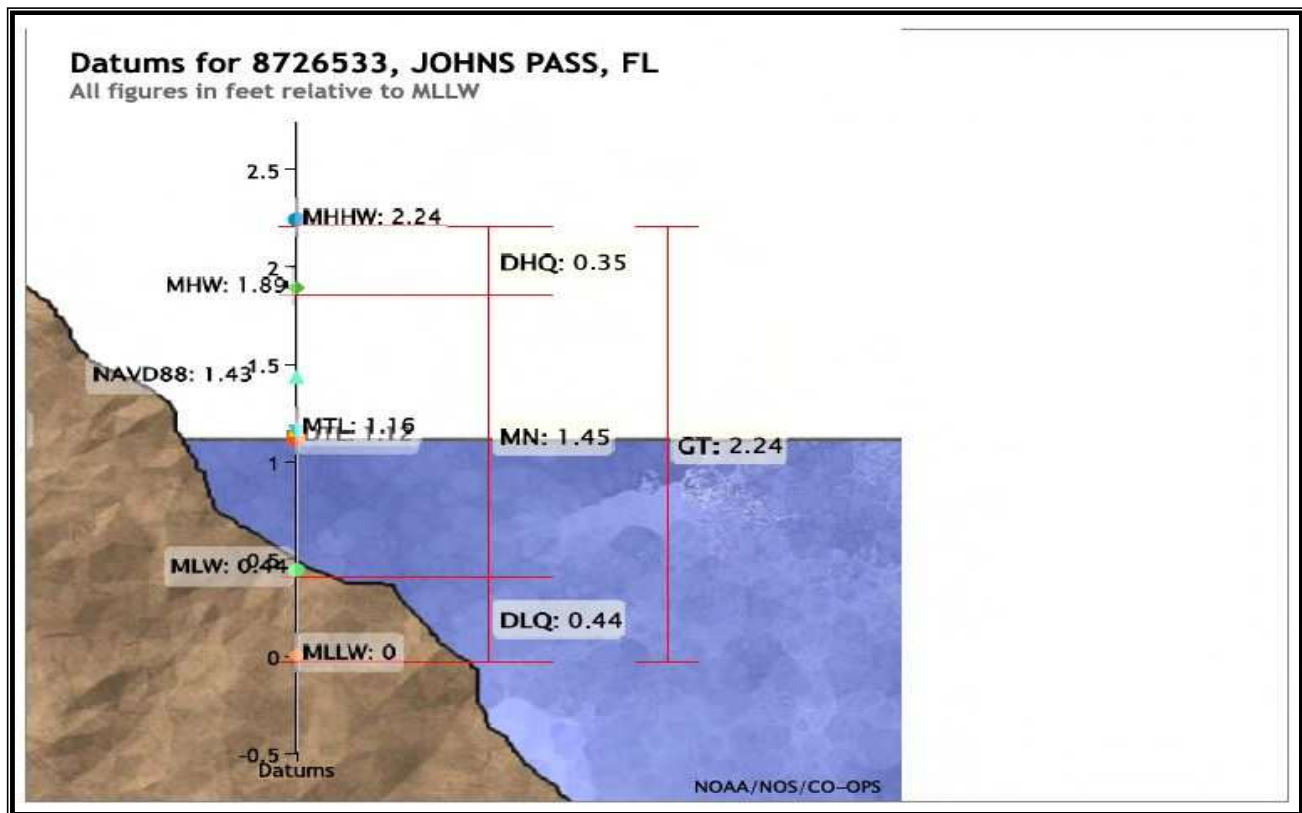
Notes ALL DEPTHS REFERENCED FROM EXISTING GROUND

SHALLOW AUGER BORING DATA

Depth (ft.)	Munsel No.	Description
0.0 to 0.3		Asphalt
0.3 to 2.2	10YR 5/2	Grayish brown fine sand
2.2 to 2.6	10YR 6/3	Pale brown fine sand, with trace shell
2.6 to 4.0	10YR 7/3	Very pale brown fine sand with minor shell
4.0 to 6.0	10YR 6/3	Pale brown fine sand, with trace shell

Project Name: 13495 Gulf Boulevard, Madeira Beach
Report No.: 246796

NOAA DATUM Station for Johns Pass



Central Florida Testing Laboratories, Inc.
EB#1066 GB#224

NRCS Data

Soil Map—Pinellas County, Florida
(13495 Gulf Boulevard, Madeira Beach)



USDA
Natural Resources
Conservation Service


Web Soil Survey
National Cooperative Soil Survey

11/3/2023
Page 1 of 3


Soil Map—Pinellas County, Florida
(13495 Gulf Boulevard, Madeira Beach)


MAP LEGEND


Area of Interest (AOI)

 Area of Interest (AOI)

Soils


 Soil Map Unit Polygons


 Soil Map Unit Lines


 Soil Map Unit Points

Special Point Features

 Blowout


 Borrow Pit


 Clay Spot

 Closed Depression

 Gravel Pit


 Gravelly Spot

 Landfill

 Lava Flow

 Marsh or swamp


 Mine or Quarry


 Miscellaneous Water

 Perennial Water


 Rock Outcrop

 Saline Spot

 Sandy Spot

 Severely Eroded Spot


 Sinkhole


 Slide or Slip

 Sodic Spot

 Spoil Area

 Stony Spot


 Very Stony Spot

 Wet Spot


 Other

 Special Line Features

Water Features

 Streams and Canals


Transportation

 Rails


 Interstate Highways

 US Routes

 Major Roads

 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Pinellas County, Florida

Survey Area Data: Version 20, Aug 28, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 20, 2020—Jan 28, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
8	Beaches	6.6	21.6%
16	Matlacha and St. Augustine soils and Urban land	21.1	69.0%
100	Waters of the Gulf of Mexico	2.9	9.4%
Totals for Area of Interest		30.5	100.0%

Pinellas County, Florida

8—Beaches

Map Unit Setting

National map unit symbol: 134c5

Elevation: 0 to 20 feet

Mean annual precipitation: 42 to 56 inches

Mean annual air temperature: 52 to 77 degrees F

Frost-free period: 190 to 365 days

Farmland classification: Not prime farmland

Map Unit Composition

Beaches: 95 percent

Minor components: 5 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Beaches

Setting

Landform: Beaches on marine terraces

Landform position (three-dimensional): Rise

Down-slope shape: Convex

Across-slope shape: Linear

Properties and qualities

Slope: 1 to 3 percent

Drainage class: Poorly drained

Depth to water table: About 0 to 24 inches

Frequency of flooding: Very frequent

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 8

Ecological site: R155XY220FL - Sandy Coastal Beach Dunes

Forage suitability group: Forage suitability group not assigned (G154XB999FL)

Other vegetative classification: Forage suitability group not assigned (G154XB999FL)

Hydric soil rating: Unranked

Minor Components

Palm beach

Percent of map unit: 5 percent

Landform: Ridges on marine terraces

Landform position (three-dimensional): Interfluve

Down-slope shape: Convex

Across-slope shape: Linear

Ecological site: R155XY230FL - Sandy Scrub on Ridges, Knolls, and Dunes of Xeric Uplands

Other vegetative classification: Forage suitability group not
assigned (G154XB999FL)

Hydric soil rating: No

Data Source Information

Soil Survey Area: Pinellas County, Florida

Survey Area Data: Version 20, Aug 28, 2023

Pinellas County, Florida

16—Matlacha and St. Augustine soils and Urban land

Map Unit Setting

National map unit symbol: 134ch

Elevation: 0 to 80 feet

Mean annual precipitation: 48 to 56 inches

Mean annual air temperature: 70 to 77 degrees F

Frost-free period: 335 to 365 days

Farmland classification: Not prime farmland

Map Unit Composition

Matlacha and similar soils: 33 percent

St. augustine and similar soils: 32 percent

Urban land: 31 percent

Minor components: 4 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Matlacha

Setting

Landform: Ridges on marine terraces

Landform position (three-dimensional): Interfluve, rise

Down-slope shape: Convex

Across-slope shape: Linear

Parent material: Sandy mine spoil or earthy fill

Typical profile

C - 0 to 42 inches: sand

A/Eb - 42 to 80 inches: fine sand

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Somewhat poorly drained

Runoff class: Very low

Capacity of the most limiting layer to transmit water (Ksat): High
(2.00 to 6.00 in/hr)

Depth to water table: About 24 to 36 inches

Frequency of flooding: None

Frequency of ponding: None

Calcium carbonate, maximum content: 5 percent

Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0
mmhos/cm)

Sodium adsorption ratio, maximum: 4.0

Available water supply, 0 to 60 inches: Low (about 3.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 6s

Hydrologic Soil Group: B
Forage suitability group: Forage suitability group not assigned
(G154XB999FL)
Other vegetative classification: Forage suitability group not
assigned (G154XB999FL)
Hydric soil rating: No

Description of St. Augustine

Setting

Landform: Ridges on marine terraces, rises on marine terraces
Landform position (three-dimensional): Interfluvium, rise
Down-slope shape: Convex
Across-slope shape: Linear
Parent material: Sandy mine spoil or earthy fill

Typical profile

A - 0 to 8 inches: sand
C1 - 8 to 33 inches: loamy fine sand
C2 - 33 to 48 inches: fine sand
C3 - 48 to 63 inches: sandy loam
C4 - 63 to 80 inches: sand

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Somewhat poorly drained
Runoff class: Very low
Capacity of the most limiting layer to transmit water (Ksat): High to
very high (2.00 to 20.00 in/hr)
Depth to water table: About 18 to 36 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum content: 5 percent
Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0
mmhos/cm)
Sodium adsorption ratio, maximum: 4.0
Available water supply, 0 to 60 inches: Low (about 3.9 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 7s
Hydrologic Soil Group: A
Forage suitability group: Forage suitability group not assigned
(G154XB999FL)
Other vegetative classification: Forage suitability group not
assigned (G154XB999FL)
Hydric soil rating: No

Description of Urban Land

Setting

Landform: Marine terraces
Landform position (three-dimensional): Interfluvium, talus

Down-slope shape: Linear
Across-slope shape: Linear
Parent material: No parent material

Interpretive groups

Land capability classification (irrigated): None specified
Forage suitability group: Forage suitability group not assigned
(G154XB999FL)
Other vegetative classification: Forage suitability group not
assigned (G154XB999FL)
Hydric soil rating: Unranked

Minor Components

Kesson

Percent of map unit: 2 percent
Landform: Tidal marshes on marine terraces
Landform position (three-dimensional): Interfluve, talf
Down-slope shape: Linear
Across-slope shape: Linear
Other vegetative classification: Forage suitability group not
assigned (G154XB999FL)
Hydric soil rating: Yes

Wulfert

Percent of map unit: 2 percent
Landform: Tidal marshes on marine terraces
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Other vegetative classification: Forage suitability group not
assigned (G154XB999FL)
Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Pinellas County, Florida
Survey Area Data: Version 20, Aug 28, 2023

Pinellas County, Florida

100—Waters of the Gulf of Mexico

Map Unit Composition

Waters of the gulf of mexico: 100 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Waters Of The Gulf Of Mexico

Interpretive groups

Land capability classification (irrigated): None specified

Forage suitability group: Forage suitability group not assigned (G154XB999FL)

Other vegetative classification: Forage suitability group not assigned (G154XB999FL)

Hydric soil rating: Unranked

Data Source Information

Soil Survey Area: Pinellas County, Florida

Survey Area Data: Version 20, Aug 28, 2023

LOCAL GOVERNMENT VARIANCES, SPECIAL EXCEPTION USES
AND APPEALS OF ADMINISTRATIVE DECISIONS
CITY OF MADEIRA BEACH, FLORIDA
Application No. 2024-03

Bodziak/Hayes Architects
for the property located at
13495 Gulf Blvd.
Madeira Beach, Florida 33708,

Applicant.

ORDER GRANTING VARIANCE

Variance to allow six (6) feet side yard setback along 135th Way, allow six and one-half (6.5) feet rear setback at the northern half of the rear property line, and allow the elimination of the five (5) foot perimeter landscape buffering requirement along two sections of the rear property line: one starting from 45.5 feet south of the northern corner of the parcel spanning 33 feet, and the other starting from the eastern corner of the parcel spanning 23 feet.

Special Code Provisions: **Section 110-321(2, 3b)**: that the minimum rear setback of ten feet shall apply in the C-3, retail commercial district, and that the minimum side yard setback for a lots less than 120 feet in width within the C-3, retail commercial district be no less than ten feet on one side; and **Section 106-35(1-2)**: that the exterior of all vehicular use areas shall be landscaped with a buffer strip which is at least five feet in width, that when paved ground surfaces are adjacent to properties zoned exclusively for residential use, all land between the paved surface and the property line shall be landscaped, and that the landscaping shall include a buffer strip of at least five feet in width adjacent to the abutting property, containing a hedge or other durable screen of landscaping at least five feet in height. The property address is 13495 Gulf Blvd., Madeira Beach, FL 33708, and is identified as:

PARCEL IDENTIFICATION NUMBER: 15-31-15-58320-010-0080

Special Magistrate, Bart R. Valdes, heard testimony and reviewed all evidence received at the Special Magistrate hearing held on April 22, 2024, and, based on the evidence, the testimony of Jay Stearman, and recommendations of City Staff in the Staff Report and Recommendations (the "Staff Report") that was admitted into evidence, testimony of Jack Boziak, Architect, and having considered all public comment, enters the following findings of fact, conclusion of law and order.

FINDINGS OF FACT

1. The application of Bodziak/Hayes Architects (the "applicant") presents the issue involving a variance from the requirements of the above stated Madeira Beach Code of Ordinances.

2. Special conditions and circumstances exist, as stated on the record, and in the Staff Report to justify the variance.

3. The lot is irregularly shaped, which adds difficulty to the creation of a developable site compliant to setback, screening, and parking standards. The widening of Gulf Boulevard in the 1970s and subsequent roadway improvements also shortened lots fronting Gulf Boulevard including the Mitchell's Beach plat block on which the subject site is located, as described in the background section in this report.

4. The project, if approved, would provide a greener, better screened mixed-use layout which more closely matches the surrounding character and seeks to accommodate the irregular angles of property lines and adjacent right of ways.

5. The new structure must be compliant with all current floodplain, fire protection, and Florida Building Code requirements.

6. The hardships encountered are not self-created by the applicant. The lot was originally larger when the plat was first approved. The widening of Gulf Boulevard reduced the length of the lot.

7. The variance requested is contextual to the site and narrow in scope. The proposed side and rear setback requests in the variance are less nonconforming than the existing structure's setbacks.

8. The landscape requirement and best practices for safe driveway and access design are at times incompatible with the irregular lot shape. The requested setback reductions, from 10 feet to 6 feet at the side along 135th Ave, and from 10 feet to 6.5 feet at the northern half of the rear property line, appear to be the minimum required in order to satisfy other applicable requirements for the site's development program. Adjacent structures within the same platted block as the subject property such as the Tide the Knot Beach Weddings and The West Events buildings have had their lots impacted by right of way widening and have narrower setbacks than what is currently permitted, rendering these buildings legally nonconforming as well.

9. The variance is narrow in scope and suited to the specific dimensions and circumstances of the proposed site plan, namely, the irregular lot shape. The current building does not meet the current setbacks and this request is a reduction of nonconformity. The reduction of the landscape buffer requirements is minimal and due to the small area of the lot is difficult or impossible to achieve with the new parking standards that were not in place at the time of the construction of the current building. The adjacent buildings within the same platted block, mentioned above, currently have little to no landscaped area around the parking area and have much narrower front, side, and rear setbacks than what is currently permitted.

10. The granting of the variance is in harmony with the general intent and purpose of the land development regulations and is not injurious to the area involved or otherwise detrimental to public welfare. The subject property will have a similar character to adjacent commercial structures regarding lot coverage, setbacks, and orientation. The development of the

new building will also create more landscaped buffer area between the commercial and residential areas than currently on the site. The side setback will also increase the amount of open space between pedestrians and the building's side along 135th Ave as compared to the existing structure. The rear setback for the principal exterior structure wall will be 10 feet, the minimum permitted in the C-3 zoning district.

CONCLUSION OF LAW

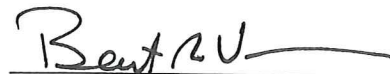
1. Section 2-507 of the Madeira Beach Code of Ordinances authorizes variances from the terms of the City Land Development Regulations as not being contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of the land development regulations will result in unnecessary and undue hardship.

2. The applicant has the burden to establish the requirements for the variance. Here, the applicant meets the criteria for the variance as set forth in Section 2-507 of the Madeira Beach Code of Ordinances.

ORDER

It is ADJUDGED that the application is GRANTED, allowing a variance from the zoning requirements of the Madeira Beach Land Development Regulations, to reduce the required side setback from 10 feet to 6 feet from the property line along 135th Ave., to reduce the required rear setback from 10 feet to 6.5 feet at the northern half of the rear property line, and to eliminate the five (5) foot perimeter landscape buffering requirement along two sections of the rear property line: one starting from 45.5 feet south of the northern corner of the parcel spanning 33 feet, and the other starting from the eastern corner of the parcel spanning 23 feet.

DONE AND ORDERED on May 1, 2024.



Bart R. Valdes
Special Magistrate

Copies furnished to:

Tom Trask, City Attorney

Clara VanBlargan, City of Madeira Beach

Tampa Home Pro, Inc.
13495 Gulf Blvd.
Madeira Beach, Florida 33708

Tampa Home Pro, Inc.
110 Crenshaw Lake Rd., Ste. 200
Lutz, FL 33548

Bodziak/Hayes Architects
5665 Central Ave.
St. Petersburg, FL 33710

Jay Stearman

From: Jay Stearman
Sent: Sunday, June 23, 2024 2:46 PM
To: Cece Donovan & David Greene
Subject: RE: Sanderling questions

Your comments and concerns have been noted,

Retail space was factored into the required parking calculation and limits the amount of seating and employees the applicant may design for.

It is my understanding that the rooftop deck is only for guests, but I will need to confirm with the applicant.

Our noise ordinance can be found [here](#) and there have not been any requested waivers or changes to the noise ordinance or its enforcement.

Nonresidential areas below design flood elevation are permitted "provided designs account for wave loads and potential erosion and scour," pursuant to an amendment to ASCE 24 in the Florida Building Code (section 1612).

Please let me know if you have any further questions or concerns.

Thank you,

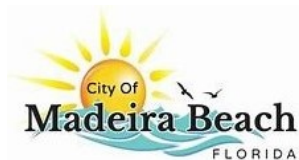
Jay Stearman

Planner II

City of Madeira Beach

727-253-1183

www.madeirabeachfl.gov



Disclaimer: Under Florida law (Florida Statute 668.6076), email addresses are public records. If you do not want your email address released in response to a public records request, please do not send electronic mail to the City of Madeira Beach. Instead, contact the appropriate department/division.

From: Cece Donovan & David Greene <[REDACTED]>
Sent: Sunday, June 23, 2024 12:44 PM
To: Jay Stearman <jstearman@madeirabeachfl.gov>
Subject: Re: Sanderling questions

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

A couple of concerns

Parking. We have a parking issue on busy beach days and particularly during events @the Event West venue. Resident only parking signs went up a while ago, attached to trees, posts, fences, not in view and very haphazard. Event attendees abuse the parking signs, park on our lawns etc.

Parking spaces addressed at the Sanderling number 13, with some credit for!bike racks. We are concerned about the retail space, is this space included in the total count?

Is the rooftop deck only for renters?

If it's retail, there's not enough parking and would there be a noise ordinance?

There are Bathrooms on the flood level. How is that approved? During a storm surge, flood waters would pour into any drains on that ground level.

Thanks

Dave Greene

Sent from my iPad

On Jun 23, 2024, at 11:45 AM, Jay Stearman <jstearman@madeirabeachfl.gov> wrote:

Good morning Mr. Greene,

You may ask me questions about the project at any time. You may fill out the attached Notice of Intent Form if you wish to present evidence and/or cross-examine any witnesses during the hearing. If you do wish to become an affect party, the form must be filled out and sent to the community development department no later than this Wednesday 6/26.

Thank you,

Jay Stearman

Planner II

City of Madeira Beach

727-253-1183

www.madeirabeachfl.gov

<image001.png>

Disclaimer: Under Florida law (Florida Statute 668.6076), email addresses are public records. If you do not want your email address released in response to a public records request, please do not send electronic mail to the City of Madeira Beach. Instead, contact the appropriate department/division.

From: Cece Donovan & David Greene <[REDACTED]>

Sent: Saturday, June 22, 2024 8:42 PM

To: Jay Stearman <jstearman@madeirabeachfl.gov>

Subject: Sanderling questions

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

As a neighbor of the project, should I wait until the meeting to ask question or ask you now?

Do I need to file a NOI to ask questions at the meeting?

Dave Greene

13510 1st. St. E

[REDACTED]

Sent from my iPad

Disclaimer: Under Florida law (Florida Statute 668.6076), email addresses are public records. If you do not want your email address released in response to a public records request, please do not send electronic mail to the City of Madeira Beach. Instead, contact the appropriate department/division.

<Notice-of-Intent-Form-PD-Board-of-Commissioners.pdf>



Memorandum

Meeting Details: July 1, 2024, Planning Commission Meeting
Prepared For: Planning Commission
Staff Contact: Madeira Beach Community Development Department
Subject: MBTC Special Area Plan amendments to C-3, C-4, R-3 Zoning Districts

Background

The city amended the Madeira Beach Comprehensive Plan in 2007 to include the Future Land Use category of Planned Redevelopment – Mixed Use (PR-MU) and adopted the Madeira Beach Town Center (MBTC) Special Area Plan (SAP) in 2009 (Ordinance 1151) which placed PR-MU on the Future Land Use Map. MBTC is a designated Activity Center and required to have an SAP. In 2014 the MBTC SAP was updated (Ordinance 2014-07).

The MBTC SAP outlines distinct Character Districts within the Activity Center (PR-MU land use in the Madeira Beach Comprehensive Plan) that have different development standards. The Character District standards include requirements for density, intensity, impervious surface ratio, and height. These standards in the MBTC SAP are not reflected in the Madeira Beach Land Development Regulations (LDRs). The Zoning Districts that need to be amended to reference these standards are C-3, C-4, and R-3 in the LDRs.

Discussion

Attached to this memo is a draft version of the amendments to each Zoning District that references properties within the PR-MU Future Land Use Category and other minor updates (including townhomes as an allowed use and open rooftop uses as a special exception).

Fiscal Impact

N/A

Recommendation(s)

Recommendations and comments on the other amendments to the C-3, C-4, or R-3 Zoning Districts. The LDRs need to reflect what is in the MBTC SAP.

Attachments/Corresponding Documents

Draft of Proposed Changes for the C-3, C-4, and R-3 Zoning Districts

Madeira Beach Town Center Special Area Plan

Madeira Beach Future Land Use Map

Madeira Beach Zoning Map

DIVISION 4. R-3, MEDIUM DENSITY MULTIFAMILY RESIDENTIAL

Sec. 110-226. Definition; purpose and intent.

The R-3, medium density multifamily residential district provides for medium density development for residential, vacation rental, and temporary lodging facilities at locations where public facilities are adequate to support such intensity. The R-3, medium density multifamily residential district correlates with the resort facilities medium (RFM) and Planned Redevelopment Mixed Use (PR-MU) future land use category of the City of Madeira Beach Comprehensive Plan, and Resort (R) and Activity Center (AC) plan category in the Countywide Plan.

(Code 1983, § 20-404; Ord. No. 1138, § 4, 12-9-08; Ord. No. 2022-14 , § 1, 5-11-22; Ord. No. 2023-26 , § 1, 12-13-23)

Cross reference(s)—Definitions generally, § 1-2.

Sec. 110-227. Permitted uses.

The permitted uses in the R-3, medium density multifamily residential district are as follows:

- (1) Single-family.
- (2) Duplex.
- (3) Triplex.
- (4) Multifamily.
- (5) Townhouses (see Chapter 110 - Zoning, Article VI. - Supplementary District Regulations, Division 10. - Specific Development Standards, Subdivision III. - Townhouses for additional standards).
- ~~(56)~~ Vacation rental.
- ~~(67)~~ Temporary lodging.
- ~~(78)~~ Restaurants, excluding drive-in restaurants (provided that the provisions of subsection 110-236(f) are met).
- ~~(89)~~ Publicly owned or operated parks and recreation areas.
- ~~(910)~~ Institutional.

(Code 1983, § 20-404; Ord. No. 2023-26 , § 1, 12-13-23)

Sec. 110-228. Accessory uses.

The accessory uses in the R-3, medium density multifamily residential district are as follows:

- (1) Home occupation.
- (2) Private garages and carports.
- (3) Swimming pools or cabanas used as bath houses.
- (4) Residential docks.
- (5) Essential services.

- (6) Wireless communication antennas as regulated by article VI, division 12, subdivisions I, II and IV of this chapter.
- (7) Retail commercial and personal service/office support uses.

(Code 1983, § 20-404; Ord. No. 2023-26 , § 1, 12-13-23)

Sec. 110-229. Special exception uses.

Upon application for a special exception to the special magistrate and favorable action thereon, the following uses may be permitted in the R-3, medium density multifamily residential district:

- (1) Retail commercial and personal service/office support uses as a stand-alone use (provided that the provisions of subsection 110-236(f) are met).
- (2) Public service facilities.
- (3) Commercial recreation.
- (4) Open rooftop uses.

(Code 1983, § 20-404; Ord. No. 2017-03 , § 4, 3-7-17; Ord. No. 2023-26 , § 1, 12-13-23)

Sec. 110-230. Building site area requirements.

The minimum building site area requirements in the R-3, medium density multifamily residential district are as follows:

- (1) Lot size:
 - a. Single-family: 4,000 square feet.
 - b. Duplex, triplex: 3,000 square feet per dwelling unit.
 - c. Multifamily: 2,420 square feet per dwelling unit.
 - d. Restaurants and retail commercial: 5,000 square feet.
 - e. Public service facilities: Shall not exceed a maximum area of three acres. Like uses or contiguous like uses in excess of this threshold shall require the parcel to be amended to the P-SP zoning district and the appropriate land use category.
- (2) Lot width:
 - a. Single-family, duplex, triplex: 40 feet.
 - b. Multifamily and temporary lodging: 60 feet.
 - c. Restaurants: 60 feet.
- (3) Lot depth: All permitted uses 80 feet.
- (4) Properties in the Resort Facilities Medium (RFM) future land use category of the Comprehensive Plan, have a maximum density. The density is a maximum of 18 residential dwelling units, 18 vacation rental units, or 50 temporary lodging units per acre. Alternative temporary lodging use standards are allowed as detailed in subsection 110-236(e).
- (5) Properties in the Planned Redevelopment-Mixed Use (PR-MU) Future Land Use Category of the Comprehensive Plan have the following maximum densities:

a. Causeway District: 15 residential dwelling units, 15 vacation rental units, or 60 temporary lodging units per acre

b. Beachfront District: 15 residential dwelling units, 15 vacation rental units, or 30 temporary lodging units per acre

c. Peninsula District: 15 residential dwelling units, 15 vacation rental units, or 15 temporary lodging units per acre

(Code 1983, § 20-404; Ord. No. 1043, § 1, 6-14-05; Ord. No. 1138, § 4, 12-9-08; Ord. No. 2022-14, § 2, 5-11-22; Ord. No. 2023-26, § 1, 12-13-23)

Sec. 110-231. Setback requirements.

The following minimum setbacks shall apply in the R-3, medium density multifamily residential district. Vacation rentals are built to residential standards:

- (1) Front yard:
 - a. Single-family, duplex and triplex: 20 feet, measured from right-of-way to structure.
 - b. Multifamily, temporary lodging, and retail commercial: 25 feet.
- (2) Rear yard: 25 feet, unless otherwise provided in the land development regulations, and then the more restrictive requirement shall apply.
- (3) Waterfront yard: For lots with a waterfront yard on the Gulf of Mexico, the setback shall be landward of to the county coastal construction control line.
- (4) Side yard setbacks:
 - a. Single-family, duplex and triplex dwellings:
 1. For lots less than 50 feet in width, the minimum side yard setback shall be five feet.
 2. For lots 50 feet or greater in width, the minimum total side yard setback shall be 15 feet with a minimum of seven feet on either side.
 - b. Multifamily, temporary lodging, and retail commercial: The minimum side yard setback shall be ten feet provided that the provisions of section 110-236 are met.

(Code 1983, § 20-404; Ord. No. 2022-14, § 3, 5-11-22; Ord. No. 2023-26, § 1, 12-13-23)

Sec. 110-232. Maximum building height.

- (1) Properties in the Resort Facilities Medium (RFM) Future Land Use Category of the Comprehensive Plan have a maximum building height of 44 feet measured from the design flood elevation (DFE). ~~No building in the R-3, medium density multifamily residential district shall exceed 44 feet in height.~~
- (2) Properties in the Planned Redevelopment-Mixed Use (PR-MU) Future Land Use Category of the Comprehensive Plan maximum building height:
 - a. Causeway District: three (3) stories above base flood elevation (BFE)
 - b. Beachfront District: three (3) stories above base flood elevation (BFE)
 - c. Peninsula District: three (3) stories above base flood elevation (BFE)

(Code 1983, § 20-404; Ord. No. 2021-23 , § 1, 11-10-21; Ord. No. 2022-14 , § 4, 5-11-22)

Sec. 110-233. Maximum lot coverage.

The maximum lot coverage in the R-3, medium density multifamily residential district is as follows:

- (1) Properties in the Resort Facility Medium (RFM) Future Land Use Category of the Comprehensive Plan have the following maximum floor area ratios (FAR):
 - a. Other commercial uses: Floor area ratio (FAR) 0.55.
 - ~~(2)~~ b. Public service facilities: Floor area ratio (FAR) 0.65.
 - ~~(3)~~ c. Public owned parks and recreation facilities: Floor area ratio (FAR) 0.25.
- (2) Properties in the Planned Redevelopment-Mixed Use (PR-MU) Future Land Use Category of the Comprehensive Plan have the following maximum floor area ratio (FAR) for commercial uses:
 - a. Causeway District: Floor area ratio (FAR) 0.55
 - b. Beachfront District: Floor area ratio (FAR) 0.55
 - c. Peninsula District: Floor area ratio (FAR) 0.30

(Code 1983, § 20-404; Ord. No. 1138, § 4, 12-9-08; Ord. No. 2022-14 , § 5, 5-11-22; Ord. No. 2023-26 , § 1, 12-13-23)

Sec. 110-234. Impervious surface ratio (ISR).

- a. Properties in the Resort Facilities Medium (RFM) Future Land Use Category of the Comprehensive Plan have a maximum impervious surface ratio (ISR) of 0.85. ~~The impervious surface ratio (ISR) in the R-3, medium density multifamily residential district for all uses is 0.85.~~
- b. Properties in the Planned Redevelopment-Mixed Use (PR-MU) Future Land Use Category of the Comprehensive Plan have a maximum impervious surface ratio of 0.70.

(Code 1983, § 20-404; Ord. No. 2022-14 , § 6, 5-11-22)

Sec. 110-235. Buffering requirements.

Buffering requirements in the R-3, medium density multifamily residential district are as follows:

- (1) Parking lots/garages for temporary lodging and commercial uses shall be designed to minimize their impacts to any adjacent residential uses as established in the land development regulations.
- (2) During the development process, existing curb cuts shall be reoriented, if necessary, to minimize the negative impact on adjacent properties.
- (3) All development within this category will meet or exceed the buffering/landscape requirements as outlined in chapter 106, article II.

(Code 1983, § 20-404; Ord. No. 2023-26 , § 1, 12-13-23)

Sec. 110-236. Special requirements.

- (a) No structure in the R-3, medium density multifamily residential district shall be constructed that is greater than 250 feet in width. If two structures are proposed on the same lot or parcel, the buildings shall be separated by a minimum of ten feet.
- (b) Mixed uses in a single development shall not exceed, in combination, the respective number of units per acre and floor area ratio permitted, when allocated in their respective proportion to the net land area of the property.
- (c) Institutional, other than public educational facilities shall not exceed a maximum area of five acres. Transportation and/or utility uses shall not exceed a maximum area of three acres.
- (d) When a proposed multifamily, temporary lodging or commercial use in the R-3, medium density multifamily residential district abuts a single-family, duplex, or triplex, an additional five-foot setback is required along the length of the entire shared lot line. This additional setback will be utilized to provide additional landscaped screening.
- (e) ~~Properties in the~~ the Resort Facilities Medium (RFM) future land use category of the Comprehensive Plan, alternative temporary lodging use standards allows 60 temporary lodging units per acre and a FAR of 2.0. A development agreement is required by the city's land development regulations and Forward Pinellas' Countywide Rules to use the alternative temporary lodging use standard. The development agreement must follow all required standards in Forward Pinellas Countywide Rules to use the alternative temporary lodging use standards.
- (f) Stand-alone restaurant or retail commercial use must have frontage on Gulf Boulevard or 150th Avenue.

(Code 1983, § 20-404; Ord. No. 1138, § 4, 12-9-08; Ord. No. 2022-14 , § 7, 5-11-22; Ord. No. 2023-26 , § 1, 12-13-23)

Secs. 110-237—110-255. Reserved.

DIVISION 7. C-3, RETAIL COMMERCIAL

Sec. 110-316. Definition; purpose and intent.

The C-3, retail commercial district provides service to both permanent and transient residents where a full range of urban services and a high degree of accessibility is required. The C-3, retail commercial district correlates with the ~~C~~ommercial ~~G~~eneral (CG), ~~future land use category and the R~~esidential/~~O~~ffice/~~R~~etail (R/O/R), ~~and~~ Planned Redevelopment-Mixed-Use (PR-MU) future land use category ~~iesy~~ of the City of Madeira Beach Comprehensive Plan and the Retail and Services (R&S) and Activity Center (AC) plan category ~~iesy~~ in the Countywide Plan.

(Code 1983, § 20-404; Ord. No. 1138, § 7, 12-9-08; Ord. No. 2022-10 , § 1, 5-11-22; Ord. No. 2023-29 , § 1, 12-13-23)

Cross reference(s)—Definitions generally, § 1-2.

Sec. 110-317. Permitted uses.

The permitted uses in the C-3, retail commercial district are as follows:

- (1) Retail commercial, and personal service/office support.
- (2) Office and business service.
- (3) Multifamily residential and vacation rental.
- (4) Temporary lodging.
- (5) Restaurants.
- (6) Adult entertainment establishments (article VI, division 13 of this chapter).
- (7) Townhouses (see Chapter 110 - Zoning, Article VI. - Supplementary District Regulations, Division 10. – Specific Development Standards, Subdivision III. - Townhouses for additional standards)

(Code 1983, § 20-404; Ord. No. 2023-29 , § 1, 12-13-23)

Sec. 110-318. Accessory uses.

The accessory uses in the C-3, retail commercial district are as follows:

- (1) Off-street parking and loading/unloading.
- (2) Nonresidential signs.
- (3) Essential services.
- (4) Other accessory uses customarily permitted.
- (5) Boat slips associated with a permitted business use, not for rental or commercial marine activities.

(Code 1983, § 20-404)

Sec. 110-319. Special exception uses.

Upon application for a special exception to the special magistrate and favorable action thereon, the following uses may be permitted in the C-3, retail commercial district:

- (1) Service stations.
- (2) Commercial recreation provided that such facilities shall not be permissible when the underlying future land use category is R/O/R.
- (3) Institutional as religious use such as churches, synagogues or other houses of worship.
- (4) Public service facilities.
- (5) Drive-in or drive-through retail commercial, and personal service
- (6) Private fraternal, social and recreational clubs.
- (7) Outdoor storage areas, provided that the outdoor storage use is an accessory, is limited to areas in the CG land use category, and does not exceed 20 percent of the area of the building which is the principal use on the site.
- (8) Single-family or duplex.
- (9) Private schools.
- (10) Exhibition of reptiles by permit.

(11) Open rooftop uses.

(Code 1983, § 20-404; Ord. No. 1138, § 7, 12-9-08; Ord. No. 2015-03, § 1, 2-24-15; Ord. No. 2023-29, § 1, 12-13-23)

Sec. 110-320. Building site area requirements.

The minimum building site area requirements in the C-3, retail commercial district are as follows:

- (1) Lot size:
 - a. For all uses except multifamily, vacation rental and temporary lodging units: 4,000 square feet.
 - b. Duplex and triplex units: 3,000 square feet per dwelling unit.
 - c. Multifamily and vacation rental units and above: 2,420 square feet per dwelling unit.
 - d. Public service facilities: Shall not exceed a maximum area of five acres. Like uses or contiguous like uses in excess of this threshold shall require the parcel to be amended to the P-SP zoning district and the appropriate land use category.
- (2) Lot width:
 - a. All permitted uses except multifamily, vacation rental and temporary lodging units: 40 feet.
 - b. Multifamily, vacation rental and temporary lodging units: 60 feet.
- (3) Lot depth: All permitted uses: 80 feet.
- (4) ~~Within Properties in the Commercial General (CG) future land use category in the Comprehensive Plan,~~ the density is a maximum of 15 residential dwelling units 15 vacation rental units, or 40 temporary lodging units per acre. Alternative temporary lodging use standards are allowed as detailed in subsection 110-326(f).
- (5) ~~Within Properties in the Residential/Office/Retail (R/O/R) future land use category in the Comprehensive Plan,~~ the ~~density is a maximum of maximum density is~~ 18 residential dwelling units, 18 vacation rental units, or 40 temporary lodging units per acre. Alternative temporary lodging use standards are allowed as detailed in subsection 110-326(g).
- (6) Properties in the Commercial Core District of the Planned Redevelopment-Mixed Use (PR-MU) future land use category of the Comprehensive Plan, the maximum density is 15 residential dwelling units, 15 vacation rental units, and 60 temporary lodging units per acre.
- (7) Properties in the Transition District of the Planned Redevelopment-Mixed Use (PR-MU) future land use category of the Comprehensive Plan, the maximum density is 15 residential dwelling units, 15 vacation rental units, and 60 temporary lodging units per acre.

(Code 1983, § 20-404; Ord. No. 1043, § 2, 6-14-05; Ord. No. 1138, § 7, 12-9-08; Ord. No. 2022-10, § 2, 5-11-22; Ord. No. 2023-29, § 1, 12-13-23)

Sec. 110-321. Setback requirements.

The following minimum setbacks shall apply in the C-3, retail commercial district:

- (1) Front yard: 25 feet, measured from right-of-way to structure.
- (2) Rear yard: ten feet, except waterfront lots which will have a rear setback of 18 feet.
- (3) Side yard:

- a. All permitted uses except multifamily/tourist dwelling units will have a side setback of ten feet.
- b. Multifamily/tourist dwelling units:
 - 1. For proposed uses located on properties between 60 and 80 feet in width, the minimum side yard setback shall be ten feet.
 - 2. For lots greater than 80 feet in width, the minimum side yard setback is as follows:
 - 3. A total of 33 percent of the lot width shall be reserved for side yard setbacks. In no event shall one side be less than the following:
 - i. Lots less than 120 feet: ten feet.
 - ii. Lots less than 240 feet: 15 feet.
 - iii. Lots 240 feet or greater: 20 feet.

(Code 1983, § 20-404)

Sec. 110-322. Maximum building height.

- (1a) Properties in the Commercial General (CG) or Residential/Office/Retail (R/O/R) future land use category of the Comprehensive Plan other than multifamily or temporary lodging uses have a For all uses in the C-3, retail commercial district the maximum building height shall be of 34 feet from design flood elevation (DFE).
- (2b) Properties in the Commercial General (CG) or Residential/Office/Retail (R/O/R) future land use category of the Comprehensive Plan with a multifamily or temporary lodging use have a maximum building height of 44 feet from design flood elevation. Multifamily/tourist dwelling units in the C-3, retail commercial district shall not exceed 44 feet in height
- (3) Properties located within the Planned Redevelopment-Mixed Use (PR-MU) future land use category of the Comprehensive Plan maximum building height:
 - a. Commercial Core: three (3) stories from base flood elevation (BFE)
 - b. Transition District: two (2) stories from base flood elevation (BFE)

(Code 1983, § 20-404; Ord. No. 2021-23 , § 1, 11-10-21; Ord. No. 2022-10 , § 3, 5-11-22)

Sec. 110-323. Maximum lot coverage.

The maximum lot coverage in the C-3, retail commercial district is based on the use and future land use categories in the Comprehensive Plan as follows:

- (1) ~~(1)~~ Commercial General (CG) Commercial use: Floor area ratio (FAR) 0.55.
- (2) Residential/Office/Retail (R/O/R) Commercial Use: Floor area ratio (FAR) 0.55.
- (3) Planned Redevelopment-Mixed Use (PR-MU) Commercial Core District: Floor Area Ratio (FAR) 1.2.
- (4) Planned Redevelopment-Mixed Use (PR-MU) Transition District: Floor Area Ratio (FAR) 1.2.

(Code 1983, § 20-404; Ord. No. 1138, § 7, 12-9-08; Ord. No. 2022-10 , § 4, 5-11-22; Ord. No. 2023-29 , § 1, 12-13-23)

Sec. 110-324. Impervious surface ratio (ISR).

- (a) Properties in the Commercial General (CG) or Residential/Office/Retail (R/O/R) future land use categories of the Comprehensive plan impervious surface ratios (ISR):

~~(1) The impervious surface ratio (ISR) in the C-3, retail commercial district for~~ The impervious surface ratio (ISR) for all uses, other than temporary lodging units, is 0.70.

- ~~(b)~~ (2) The impervious surface ratio (ISR) for temporary lodging units is 0.85.

- ~~(c) Properties in the Planned Redevelopment-Mixed Use (PR-MU) Future Land Use Category impervious surface ratios (ISR):~~

(1) Causeway District 0.70 impervious surface ratio (ISR)

(2) Commercial Core District 0.85 impervious surface ratio (ISR)

(3) Transition 0.70 impervious surface ratio (ISR)

(Code 1983, § 20-404; Ord. No. 1138, § 7, 12-9-08)

Sec. 110-325. Buffering requirements.

- (a) Parking lots/garages for temporary lodging and nonresidential uses in the C-3, retail commercial district shall be designed to minimize their impacts to any adjacent residential uses as established in the land development regulations.
- (b) During the development process, existing curb cuts in the C-3, retail commercial district shall be reoriented, if necessary, to minimize the negative impact on adjacent properties.
- (c) All development within the C-3, retail commercial district in this category will meet or exceed the buffering/landscape requirements as outlined in chapter 106, article II.

(Code 1983, § 20-404; Ord. No. 2023-29, § 1, 12-13-23)

Sec. 110-326. Special requirements.

- (a) In the C-3, retail commercial district residential dwelling units, vacation rental units, and temporary lodging units are permitted above first-floor commercial or office units.
- (b) No structure in the C-3, retail commercial district may be wider than 150 feet parallel to the front yard right-of-way. If two structures are proposed on the same lot or parcel, the buildings shall be separated by a minimum of ten feet.
- (c) When a proposed nonresidential use in the C-3, retail commercial district abuts a residential use an additional five-foot setback is required along the length of the entire shared lot line. This additional setback will be utilized to provide additional landscaped screening.
- (d) Mixed uses in a single development shall not exceed, in combination, the respective number of units per acre and floor area ratio permitted, when allocated in their respective proportion to the gross land area of the property.
- (e) Institutional, other than public educational facilities shall not exceed a maximum area of five acres. Transportation and/or utility uses shall not exceed a maximum area of three acres.

- (f) In the Commercial General (CG) future land use category of the Comprehensive Plan, alternative temporary lodging use standards allows 60 temporary lodging units per acre and a FAR of 1.2. A development agreement is required by the city's land development regulations and Forward Pinellas' Countywide Rules to use the alternative temporary lodging use standard. The development agreement must follow all required standards in Forward Pinellas Countywide Rules to use the alternative temporary lodging use standards.
- (g) In the Residential/Office/Retail (R/O/R) future land use category of the Comprehensive Plan, alternative temporary lodging use standards allows 60 temporary lodging units per acre and a FAR of 1.2. A development agreement is required by the city's land development regulations and Forward Pinellas' Countywide Rules to use the alternative temporary lodging use standard. The development agreement must follow all required standards in Forward Pinellas Countywide Rules to use the alternative temporary lodging use standards.

(Code 1983, § 20-404; Ord. No. 1138, § 7, 12-9-08; Ord. No. 2022-10, § 5, 5-11-22; Ord. No. 2023-29, § 1, 12-13-23)

Secs. 110-327—110-345. Reserved.

DIVISION 8. C-4, MARINE COMMERCIAL

Sec. 110-346. Definition; purpose and intent.

The purpose of the C-4, marine commercial district is to provide for those commercial uses which are directly related to commercial and marine uses and associated services. The C-4, marine commercial district correlates with the commercial general (CG) future land use category, ~~and~~ the residential office retail (R/O/R) future land use category, and the Planned Redevelopment-Mixed-Use (PR-MU) future land use category of the City of Madeira Beach Comprehensive Plan and Retail and Services (R&S) and Activity Center plan ~~category categories~~ in the Countywide Plan.

(Code 1983, § 20-404; Ord. No. 1138, § 8, 12-9-08; Ord. No. 2022-11, § 1, 5-11-22; Ord. No. 2023-30, § 1, 12-13-23)

Cross reference(s)—Definitions generally, § 1-2.

Sec. 110-347. Permitted uses.

The permitted uses in the C-4, marine commercial district are as follows:

- (1) Marina and commercial docks.
- (2) Boat repair and sales.
- (3) Retail commercial.
- (4) Temporary lodging units.
- (5) Commercial/business service use, offices and personal service.
- (6) Commercial fishing activities and working waterfront.
- (7) Charter and party boat operations.
- (8) Adult entertainment establishments (article VI, division 13 of this chapter).

- (9) Residential dwelling units and vacation rental dwelling units located above first floor commercial or office units within this district.

(10) Townhouses (see Chapter 110 - Zoning, Article VI. - Supplementary District Regulations, Division 10. - Specific Development Standards, Subdivision III. - Townhouses for additional standards)

(Code 1983, § 20-404; Ord. No. 1138, § 8, 12-9-08; Ord. No. 2023-30 , § 1, 12-13-23)

Sec. 110-348. Accessory uses.

The accessory uses in the C-4, marine commercial district are as follows:

- (1) Off-street parking.
- (2) Marine and boat storage.
- (3) Essential services.
- (4) Other accessory uses, customarily incidental to the permitted use.
- (5) Wireless communication antennas as regulated by article VI, division 12, subdivisions I, II and IV of this chapter.
- (6) Wireless communication towers shall be allowed, through special permit granted by the board of commissioners, as an alternative to prohibiting towers and only in the event substantial proof is submitted by an applicant which demonstrates that no existing tower, structure, or building can accommodate the applicant's proposed antenna. Wireless communication towers must further comply with the provisions of article VI, division 12, subdivisions I, II and IV of this chapter.

(Code 1983, § 20-404)

Sec. 110-349. Special exception uses.

Upon application for a special exception to the special magistrate and favorable action thereon, the following uses may be permitted in the C-4, marine commercial district:

- (1) Service stations.
- (2) Commercial recreation.
- (3) Public administration and service facilities.
- (4) Drive-in or drive-through retail commercial, personal service, and business service.
- (5) Institutional as religious use such as churches, synagogues and other houses of worship.
- (6) Outdoor storage areas provided that the outdoor storage use is an accessory, is limited to areas in the CG land use category, and does not exceed 20 percent of the area of the building which is the principal use on the site.

(7) Open rooftop uses.

(Code 1983, § 20-404; Ord. No. 1138, § 8, 12-9-08; Ord. No. 2023-30 , § 1, 12-13-23)

Sec. 110-350. Building site area requirements.

The minimum building site area requirements in the C-4, marine commercial district are as follows:

- (1) Lot size:
 - a. All permitted uses except temporary lodging units: 4,000 square feet.
 - b. Residential dwellings and vacation rental units above first floor commercial: 3,000 square feet per unit.
 - c. Public service facilities: Shall not exceed a maximum area of five acres. Like uses or contiguous like uses in excess of this threshold shall require the parcel to be amended to the P-SP zoning district and the appropriate land use category.
- (2) Lot width:
 - a. All permitted uses except temporary lodging: 40 feet.
 - b. Temporary lodging: 60 feet.
- (3) Lot depth: All permitted uses 80 feet.
- (4) Within Properties in the Commercial General (CG) future land use category, the density is a maximum of 15 residential dwelling units, 15 vacation rental units, or 40 temporary lodging units. Alternative temporary lodging use standards are allowed as detailed in subsection 110-356(e).
- (5) Within Properties in the Residential/Office/Retail (R/O/R) future land use category, the density is a maximum of 18 residential dwelling units, 18 vacation rental units, or 40 temporary lodging units. Alternative temporary lodging use standards are allowed as detailed in subsection 110-356(f).
- (6) Properties in the Planned Redevelopment-Mixed Use (PR-MU) future land use category, the density is a maximum of 15 residential dwelling units, 15 vacation rental units, or 60 temporary lodging units

(Code 1983, § 20-404; Ord. No. 1043, § 3, 6-14-05; Ord. No. 1138, § 8, 12-9-08; Ord. No. 2023-30, § 1, 12-13-23)

Sec. 110-351. Building setback requirements.

The following minimum setbacks shall apply in the C-4, marine commercial district:

- (1) Front yard: 25 feet.
- (2) Rear yard: 18 feet.
- (3) Side yard:
 - a. Minimum of ten feet except as provided in the land development regulations.
 - b. Temporary lodging units:
 1. For lots between 60 and 80 feet in width, the minimum side yard setback shall be ten feet.
 2. For lot widths greater than 80 feet, the minimum side yard setback shall be as follows: A total of 33 percent of the lot width shall be reserved for side yard setbacks. In no event shall one side be less than the following:
 - i. Lots less than 120 feet: ten feet.
 - ii. Lots less than 240 feet: 15 feet.
 - iii. Lots 240 feet or greater: 20 feet.

(Code 1983, § 20-404; Ord. No. 2023-30, § 1, 12-13-23)

Sec. 110-352. Maximum building height.

- (1) Properties in the Commercial General (CG) or Residential Office Retail (R/O/R) future land use of the Comprehensive plan with ~~For commercial all uses in the C-4, marine commercial district the~~ have a maximum building height ~~shall be of~~ 34 feet from design flood elevation.
- (2) Properties in the Commercial General (CG) or Residential Office Retail (R/O/R) future land use of the Comprehensive Plan with residential, vacation rental, or temporary lodging use in the C-4, marine commercial district have a maximum building height of 44 feet from design flood elevation.
- (3) Properties in the Planned Redevelopment-Mixed Use (PR-MU) future land use category of the Comprehensive Plan maximum building height shall be three (3) stories above base flood elevation (BFE).

(Code 1983, § 20-404; Ord. No. 2021-23 , § 1, 11-10-21; Ord. No. 2022-11 , § 2, 5-11-22)

Sec. 110-353. Maximum lot coverage.

The maximum lot coverage in the C-4, marine commercial district is as follows:

- (1) ~~(1)~~ Commercial uses
 - a. ~~÷~~Commercial General (CG) future land use category floor area ratio (FAR) 0.55.
 - b. Residential/Office/Retail (R/O/R) future land use category floor area ratio (FAR) 0.55
 - c. Planned Redevelopment-Mixed Use (PR-MU) future land use category floor area ratio (FAR) 0.55
- (2) Public service facilities:
 - a. Institutional: Floor area ratio (FAR) 0.55.
 - b. Transportation/utility: Floor area ratio (FAR) 0.55.

(Code 1983, § 20-404; Ord. No. 1138, § 8, 12-9-08; Ord. No. 2022-11 , § 3, 5-11-22; Ord. No. 2023-30 , § 1, 12-13-23)

Sec. 110-354. Impervious surface ratio (ISR).

(a) Properties in the Commercial General (CG) or Residential Office Retail (R/O/R) future land use category of the Comprehensive Plan, the impervious surface ratio (ISR) ~~in the C-4, marine commercial district for all uses~~ is 0.85.

(b) Properties in the Planned Redevelopment-Mixed Use (PR-MU) Future Land Use Category, the Impervious Surface Ratios is 0.70.

(Ord. No. 2022-11 , § 4, 5-11-22)

Editor's note(s)—Ord. No 2022-11 , § 4, adopted May 11, 2022, renumbered the former § 110-354 as § 110-355 and enacted a new § 110-354 as set out herein. The historical notation has been retained with the amended provisions for reference purposes.

Sec. 110-355. Buffering requirements.

- (a) Parking lots/garages for temporary lodging and nonresidential uses in the C-4, marine commercial district shall be designed to minimize their impacts to any adjacent residential uses as established in the land development regulations.
- (b) During the development process, existing curb cuts in the C-4, marine commercial district shall be reoriented, if necessary, to minimize the negative impact on adjacent properties.
- (c) All development within the C-4, marine commercial district in this category will meet or exceed the buffering/landscape requirements as outlined in chapter 106, article II.

(Code 1983, § 20-404; Ord. No. 2022-11 , § 5, 5-11-22; Ord. No. 2023-30 , § 1, 12-13-23)

Editor's note(s)—Ord. No 2022-11 , § 5, adopted May 11, 2022, renumbered the former § 110-354 as § 110-355 as set out herein. See also the editor's note at § 110-354.

Sec. 110-356. Special requirements.

- (a) In the C-4, marine commercial district residential dwelling units, vacation rental units, and temporary lodging units are permitted above ground floor commercial or office units within this district.
- (b) No structure in the C-4, marine commercial district may be wider than 150 feet parallel to the front yard right-of-way. If two structures are proposed on the same lot or parcel, the buildings shall be separated by a minimum of ten feet or equal to 50 percent of the height of the tallest building on the same parcel, whichever is more restrictive.
- (c) Mixed uses in a single development shall not exceed, in combination, the respective number of units per acre and floor area ratio permitted, when allocated in their respective proportion to the gross land area of the property.
- (d) Institutional, other than public educational facilities shall not exceed a maximum area of five acres. Transportation and/or utility uses shall not exceed a maximum area of three acres.
- (e) In the Commercial General (CG) future land use category, alternative temporary lodging use standards allows 60 temporary lodging units per acre and a FAR of 1.2. A development agreement is required by the city's land development regulations and Forward Pinellas' Countywide Rules to use the alternative temporary lodging use standard. The development agreement must follow all required standards in Forward Pinellas Countywide Rules to use the alternative temporary lodging use standards.
- (f) In the Residential/Office/Retail (R/O/R) future land use category, alternative temporary lodging use standards allows 60 temporary lodging units per acre and a FAR of 1.2. A development agreement is required by the city's land development regulations and Forward Pinellas' Countywide Rules to use the alternative temporary lodging use standard. The development agreement must follow all required standards in Forward Pinellas Countywide Rules to use the alternative temporary lodging use standards.

(Code 1983, § 20-404; Ord. No. 1138, § 8, 12-9-08; Ord. No. 1173, § 1, 9-28-10; Ord. No. 2022-11 , § 6, 5-11-22; Ord. No. 2023-30 , § 1, 12-13-23)

Editor's note(s)—Ord. No 2022-11 , § 6, adopted May 11, 2022, renumbered the former § 110-355 as § 110-356 as set out herein. See also the editor's note at § 110-355.

Secs. 110-357—110-375. Reserved.

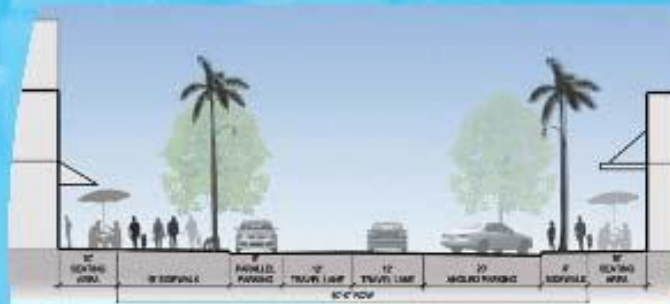




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Ordinance 2014-07 November 12, 2014



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Introduction

For the past seven years, the City of Madeira Beach has devoted significant effort and resources to rethinking and reshaping the heart of the City. This process began in 2001 with the Madeira Beach Master Plan and the public charrettes associated with that effort and has continued through design concept work along Madeira Way. It culminates with this document, the Town Center Special Area Plan, which reflects the City's fresh look at this area

The City of Madeira Beach has many reasons to be optimistic about the redevelopment of the Town Center. Bounded generally by Gulf Boulevard, 150th Avenue, the Gulf of Mexico, and Boca Ciega Bay, this area is poised to thrive (see Figure 1). However, the area lacks a cohesive identity and sense of place¹ to attract residents and visitors. Crossed by the two major thoroughfares of 150th Avenue and Gulf Boulevard, there is currently little to mark entry into a distinct area. The Town Center is rich in public space, community, commercial, and civic uses, but there is no quality public realm that serves to connect these disparate uses into a whole. The quality and character of the urban design varies greatly. In its current state, the Town Center is better designed as a place to drive through, or perhaps briefly stop for services, rather than as a destination in which to spend time and enjoy the offerings of the community.

The beachfront, the commercial area along Gulf Boulevard, Madeira Way, and 150th Avenue, together with the civic uses and green space/recreational areas at City Hall, the Municipal Marina, and Madeira Beach Causeway Park, provide the foundation upon which anew Town Center can take shape. This Special Area Plan draws upon and enhances the current context and serves to unite the area into a cohesive whole.

¹ The term **sense of place** has been defined and utilized in different ways by different people. To some, it is a characteristic that some geographic places have and some do not, while to others it is a feeling or perception held by people (not by the place itself). It is often used in relation to those characteristics that make a place special or unique, as well as to those that foster a sense of authentic human attachment and belonging.



SPECIAL AREA PLAN

Under this plan, the area will be connected and further united by design initiatives that create a sense of place and reinforce Madeira Beach Town Center as a vibrant place to visit and live. This vibrancy will be apparent to motorists entering the City from the mainland along the Causeway, as well as to the residents and tourists who use the Town Center as a gathering place to eat, shop, and make use of the civic services in the area. Visitors to the Town Center will know they have reached their destination through the introduction of gateway elements and distinctive public realm improvements.

This Special Area Plan contains tools and strategies that will guide redevelopment in an area that is strategically important not only for the City but for Pinellas County as well. It includes an analysis of existing conditions, a review of issues and objectives for the Town Center, and recommends land uses and design guidelines to inform future development. It also provides a list of recommended actions for implementation.



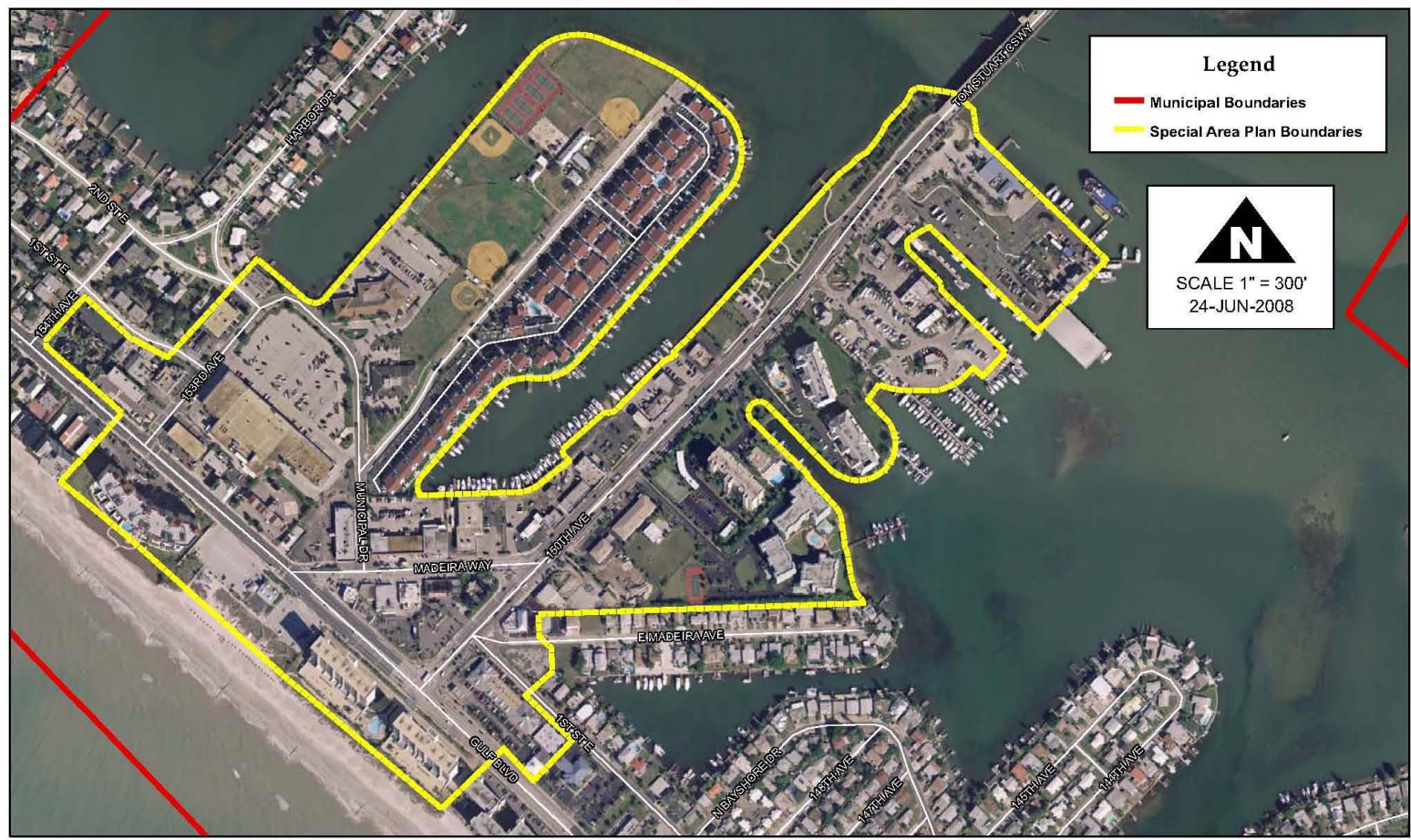
Relationship of the Town Center Plan to the Madeira Beach Comprehensive Plan and Land Development Regulations

In 2007, the City amended its comprehensive plan to include the Planned Redevelopment – Mixed Use (PR-MU) land use category with the intention for use in this Town Center. Although this new land use category is included in the adopted text of the comprehensive plan, it cannot be implemented through designation of a geographic area as PR-MU until such designation is accompanied by a special area plan. The Madeira Beach Town Center Special Area Plan has been written to serve this role and provide support for designation of the Town Center as PR—MU on the Future Land Use Map in the Madeira Beach Comprehensive Plan. This plan includes five distinct districts that carry out the objectives of the outlined in Chapter 1.

The current land development regulations, including the zoning categories will be utilized for administration of the redevelopment plans outlined in this Special Area Plan. In addition, new regulations and a new zoning category will be developed to implement the ideas and concepts in this plan. New development templates, new design guidelines, improved public facilities, and incentives for redevelopment and renovation will all be needed to facilitate the transition from currently prevailing land use and urban design patterns.

Progress Assessment The City of Madeira Beach will assess this Special Area Plan's progress with respect to its enumerated objectives five years from the effective date of a Countywide Plan Map amendment for such plan, which report shall be submitted to the Pinellas Planning Council and Countywide Planning Authority for receipt and acceptance.

Town Center Study Area City of Madeira Beach Special Area Plan Municipal and Special Area Boundaries



Prepared by the Pinellas Planning Council with data provided by the Pinellas County Property Appraiser's Office and the City of Madeira Beach. The data contained herein is offered "as is", with no claim or warranty as to its accuracy or completeness. The data is for reference only and should not be considered to be of survey precision. None of the information is official source documentation. While considerable effort is made to verify the information, due to its volume and highly dynamic nature, only the official source documents should be used where accuracy, completeness and currency are required.



Chapter 1 – Issues and Objectives

Issues are challenges and opportunities facing the study area as identified by the project team. They reflect current conditions in the study area; however, not every issue may be addressed directly by this plan. Rather, the list of issues was created in order to establish a common understanding of the challenges facing the study area so that priorities for the Special Area Plan could be subsequently developed.

Objectives constitute the goals of the plan, and potentially the criteria upon which the success of the plan can be evaluated. Objectives are established through the input of key stakeholders and City staff. Some objectives may also emerge from conversations with stakeholders that are not related to any of the identified issues. Whereas issues reflect professional analysis and judgment, objectives reflect the concerns of local stakeholders.

Issues

The following list of issues was determined through stakeholder engagement, discussions with City of Madeira Beach representatives, and first-hand observation of the study area. The list of issues is followed by a discussion and photos that illustrate the issues:

- The area lacks a cohesive identity and sense of place to attract residents and visitors.
- Though the Town Center has a wide mix of uses and community amenities, the area is not pedestrian or bicycle-friendly, and pedestrian and bicycling circulation patterns could be improved.
- The speed of vehicular traffic on 150th Avenue discourages north-south pedestrian crossings between existing residential and commercial uses.
- There is currently no safe and effective method of crossing 150th Avenue to access Madeira Beach Causeway Park.
- There is currently no safe and effective method of crossing 150th Avenue between the bridge and Madeira Way.
- Small lot sizes and unusual lot configurations pose a challenge to parking and loading for the wide variety of commercial and civic uses in the Town Center.
- Certain parcels along 150th Avenue have limited access due to the median along the avenue.
- Residents of Madeira Beach wish to retain convenient shopping services in the area, particularly a grocery store.
- Although there are numerous parks in the area, access to these parks could be



improved.

- The design of the public realm is generally poor and inconsistent and could be improved by introducing such elements as signage, landscaping, and pedestrian amenities.
- The wide variety of land uses in close proximity to the Town Center poses occasional land use conflicts.
- New development in the Town Center must be concurrent with public facilities, including transportation, water, sanitary sewer, stormwater, and Federal Emergency Management Agency compliance.
- The existing ownership pattern, with multiple individual owners or leaseholders of land and buildings, may inhibit redevelopment opportunities.
- Some older structures have higher densities than are permitted by current zoning, and so there is a disincentive to redevelop these properties.
- The number and quality of current tourist accommodations is on the decline.
- Retail uses in the Town Center are affected by the seasonality of tourist traffic.
- Civic uses in the Town Center could be improved to meet the growing needs of the Madeira Beach community.



Taken together, these issues touch upon twelve major themes:

1. Poor quality pedestrian environment;
2. Problematic parking patterns;
3. Limited access to businesses;
4. Retention of convenience retail;
5. Limited community facilities.
6. Limited access to community facilities;
7. Inconsistent public realm;
8. Conflicting land uses;
9. Noncompliant older uses;
10. Barriers to property assemblage;
11. Declining tourist amenities; and
12. Overdependence on tourism to support the local economy or lack of diversity in the local economy.

These overarching issues are described in more detail.



Overarching Issue 1: Poor Quality Pedestrian Environment



Photo 1: Madeira Way, the main street of the Town Center, lacks a sense of place

As noted above, although the Town Center has a wide mix of uses and community amenities, the area is not pedestrian or bicycle-friendly, and pedestrian and bicycling circulation patterns could be improved. Although sidewalks exist through most of the study area, the quality of pedestrian amenities is inconsistent. There are multiple destinations in the study area that could be better served by pedestrian and bicycle connections, such as the parks and the beach, and the Town Center should also be more strongly connected with surrounding residential areas. In particular, the speed of vehicular traffic along 150th Avenue discourages pedestrian traffic between the residential, commercial, and open space uses on alternate sides of the avenue. Even though a variety of land uses exist within close proximity here, making it convenient to walk from place to place, 150th Avenue serves as an effective barrier to pedestrian circulation.



Overarching Issue 2: Problematic Parking Patterns



Photo 2: This sidewalk in the Transition District is typical of the area— a thin concrete sidewalk adjacent to the street and with no street trees

Small lot sizes and unusual lot configurations pose a challenge to parking and loading for the wide variety of commercial and civic uses in the Town Center. The land uses in the Town Center— restaurants, shopping, marinas, and civic uses - require considerable parking. However, much of the development is on small and irregularly shaped lots. As a result, many lots which could be developed are currently used to serve the needs of commercial parking or access. This is not the highest and best use of scarce Town Center real estate.

While adequate parking and loading facilities are needed, these parking areas should be occupy as small a footprint as possible and lots should be optimized to accommodate a higher use value. Parking and loading should occur in areas that do not block major thoroughfares such as Madeira Way, 150th Avenue, or Gulf Boulevard. However, requiring each site to plan for parking and loading independently appears to be an inefficient solution. Parking and loading issues for the study area need to be tackled holistically and with a “parking management” approach that makes the best use of the least number of spaces.

Overarching Issue 3: Limited Access to Businesses

Photo 3: Small lots have resulted in haphazard parking patterns. Notice the lack of sidewalks surrounding the building in the Transition District.

Certain parcels along 150th Avenue have limited access due to the median along the avenue. The median restricts access to certain parcels, particularly on its southeastern flank. For some of the businesses on these parcels, it appears that the only access is right turn in/right turn out, which would send travelers across the Causeway whether or not that was their intended direction. Other parcels in this area currently rely on adjacent parcels for access. In some cases, lack of access may be preventing the development of these parcels to their highest and best use, and to uses that would support the development of the tourist market in the Town Center.



Overarching Issue 4: Retention of Convenience Retail



Photo 4: Winn Dixie grocery store in Town Center Commercial Core District. The large parking area may not be the highest and best use for scarce Town Center lands.

Residents of Madeira Beach wish to retain convenient shopping services in the area, particularly a grocery store. Convenient access to daily shopping services is a key factor in quality of life. Having access to these daily shopping services saves time, energy, and money. Currently there is a grocery store located in the Town Center. While many stakeholders would like to see redevelopment and revitalization in the area, there is also a strong desire to retain a grocery store in the Town Center.



Overarching Issue 5: Limited Community Facilities

Photo 5: The Gulf Beaches Public Library in the Peninsula District, one of many civic uses concentrated in the Town Center.

Civic uses in the Town Center could be improved to meet the growing needs of the Madeira Beach community. There have been growing demands upon City Hall to serve as meeting rooms for local residents. There is also an anticipated growing demand for a senior center in the area. The Pinellas Public Library Cooperative has indicated a desire to expand the Gulf Beaches Public Library. These and other community services could be better served by new, enhanced, and centralized facilities located within the Town Center.

Overarching Issue 6: Limited Access to Community Facilities

Photo 6: Archibald Beach Park in the Beachfront District

Although there are numerous parks in the area, access to these parks could be improved. Parks in the area include Archibald Beach Park, the Madeira Beach Causeway Park, and Rex Place Park. While facilities include tennis courts, baseball fields, beaches, walking paths, and pavilions, their inaccessible nature makes visiting them less appealing. Access to these parks could be improved through increased pedestrian and bicycle connections and the location of convenient parking. For example, there is no pedestrian crossing between the bridge and Madeira Way, which makes pedestrian access across 150th Avenue to Madeira Beach Causeway Park a particular challenge.



Overarching Issue 7: Inconsistent Public Realm



Photo 7: Areas such as this one, the driveway to City Hall in the Peninsula District, are designed for vehicles without consideration for pedestrian access and circulation.

The public realm – the streets, the sidewalks, the medians, and landscaped areas – is the thread that links various developments together into a cohesive whole. The design of the public realm in Madeira Beach is generally poor and inconsistent. The public realm could be improved, however, by enhancing way finding, landscaping, and pedestrian amenities. However, some of the problem stems from the quality of private development, which is often facing parking areas rather than sidewalks or has uninviting facades faced towards the public realm. Private development must play a role in positively impacting the public realm by connecting to and interfacing with public spaces in a better way. Additionally, the quality of the outdoor spaces is poor in the Town Center. More amenities – street furniture, benches, lighting, street trees – are needed to enhance visitors' experiences and encourage people to spend time on the streets of the Town Center.



Overarching Issue 8: Conflicting Land Uses



Photo 8: Unscreened utilities, such as this use in the

Commercial Core District, can create land use conflicts with nearby residential land uses.

The wide variety of land uses in close proximity in the Town Center poses occasional land use conflicts. Though the wide variety of land uses in the Town Center can be viewed as strength, it can occasionally cause problems. Condominium residents do not want to border unsightly uses such as outdoor storage, utilities, or dumpster areas.



Overarching Issue 9: Noncompliant Older Uses



Photo 9: Some older development is of a higher density than is permitted under current zoning (Beachfront District).

Several older structures in the Town Center have higher densities than are permitted by current zoning (nonconforming uses). Owners of these older properties may not have adequate incentive to redevelop, because redeveloping could cause them to lose leasable floor area. However, the City has an interest in seeing these older properties redevelop to become more compatible with the desired community character and FEMA compliant.



Overarching Issue 10: Barriers to Property Assemblage

Parcels in the Town Center are often small, and in addition to this, many parcels are engaged in long term leases. This results in a fragmented ownership or land control pattern that can make it difficult to assemble property for redevelopment. In some cases, property that would otherwise be primed for redevelopment is encumbered by a long term lease.

Overarching Issue 11: Declining Tourist Amenities

The number and quality of temporary lodging accommodations has been on the decline. This is related to the above issue of denser aging properties, as older, typically out-dated hotels hang on to avoid redevelopment and thereby decrease the quality of temporary lodging accommodations available. While motel owners may have desired to upgrade or enlarge individual units to be more competitive and attractive to visitors, FEMA regulations prohibit improvements to non-FEMA compliant structures that are greater in value than 50 percent of the structure's depreciated value. Moreover, some of these older temporary lodging units were built seaward of the Pinellas County Construction Control Line. These non-conforming structures cannot be expanded or enlarged because of their location. Because there is scarce vacant property left in the Town Center for the development of new temporary lodging accommodations, the best opportunities for new or improved temporary lodging accommodations will come from redevelopment.



Overarching Issue 12: Seasonal Nature of Local Economy



Photo 10: Retail uses comprise the heart of the Town Center (Commercial Core District), but are challenged by seasonal demand.

Retail uses in the Town Center are affected by the seasonality of tourist traffic. The population of Madeira Beach varies substantially by season, and this can affect the economic health of local retail businesses. When the population is down in the summer and fall, retail businesses see a lull in sales and may have difficulty generating adequate revenues.



Objectives

Drawing from the overarching issues described above, the following is a list of the primary objectives for the Special Area Plan. After the list, a brief description or definition of each objective is provided. In some cases, policies that might further the objective are briefly mentioned.

- Create a unique sense of place for the Town Center, and create a sense of arrival for those entering the area
- Promote a wide variety of uses to create an activity center for both local residents and tourists.
- Set a standard for urban design so that new development and redevelopment in the Town Center contributes to the public realm.
- Promote redevelopment of older properties in a manner that contributes to the quality of urban design in the Town Center.
- Increase the number of temporary lodging units and maintain existing residential units in the Town Center that have the quality characteristics included in the Special Area Plan.
- Improve pedestrian and bicycling access to all major destinations within the Town Center, including the parks, the beach, retail properties and civic destinations.
- Increase connections and access to parks, ensuring that views of the Gulf and the Boca Ciega Bay are preserved.
- Develop parking and access strategies that help to make the most efficient use of scarce land and contribute to the quality of the public realm in the Town Center.
- Improve the quality of public facilities and seek to consolidate public facilities if this would provide efficiencies in space management and cost.



SPECIAL AREA PLAN

Create a unique sense of place for the Center, and create a sense of arrival for those entering the area

The overall goal for the Special Area Plan is to help the Town Center achieve a sense of place, and so to make the Town Center a destination where residents and tourists alike enjoy spending time. In order to create a sense of place, the Town Center must be comfortable and inviting, and so the public realm must be improved. Consistent standards for urban design and public features are needed so that new development and public improvements contribute to the overall vision for the Town Center. Gateway features will also help to contribute to a sense of place, by creating a clear signal to travelers that one has entered a unique place with a sense of ownership by local residents.

Promote a wide variety of uses to create an activity center for both local residents and tourists

The Town Center already contains a wide variety of commercial, civic, and residential uses. This land use mix should be preserved and enhanced, with the addition of more residential units, more temporary lodging units, more commercial, and more mixed-use development. These mutually supporting land uses should all be encouraged, and activating uses, such as retail or civic uses, should be promoted along the major streets of the Town Center.

Set a standard for urban design so that new development and redevelopment in the Town Center contributes to the public realm

The past pattern of development has not contributed to a unified public realm, but instead has resulted in confused parking and access patterns, spotty landscaping, haphazard architecture, and blank facades. While the City wishes to encourage variety and flexibility in development, basic design standards are needed to ensure that all new development presents a positive face to the public realm. Pedestrian access needs to be improved, and minimum standards for facades are needed so that activity is encouraged along key public streets.

**Promote redevelopment of older properties in a manner that contributes to the quality of urban design in the Town Center**

The City is struggling with certain higher density properties that are non-compliant with current Federal Emergency Management Agency (FEMA) standards and that cannot be rebuilt at existing densities. Both the City and the property owners' desire redevelopment or renovation, but the cost is not justified at current allowable densities. At the same time, the City does not wish to promote redevelopment at any cost; rather, redevelopment should result in a property that meets current safety and environmental regulations and that contributes to the character of the Town Center. The Special Area Plan is designed to balance these multiple interests between the City and private property owners.

Increase the number of temporary lodging units in the Town Center that have the quality characteristics included in the Special Area Plan

The City seeks to increase the number of temporary lodging units and enhance the tourist industry for Madeira Beach and its local businesses. The Special Area Plan supports this objective by identifying properties where additional temporary lodging units can be built and by promoting the redevelopment of older tourist lodging units.

Improve pedestrian and bicycling access to all major destinations within the Town Center, including the parks, the beach, retail properties, and civic destinations

Make the Town Center a place where people prefer to park once and walk or cycle to multiple destinations. Improving the public realm and creating a sense of place goes hand-in-hand with improving pedestrian and bicycle amenities throughout the Town Center. The pedestrian realm, or more broadly the outdoor realm, is where people (and tourists in particular) enjoy spending their time in a destination such as Madeira Beach. Improved pedestrian and bicycle connections will make the Town Center a nicer place to be, and will increase the cross-traffic between the Town Center's various destinations. Also, improved pedestrian and bicycle connections will enable the Town Center to reduce its parking requirement, as more and more people can drive to the Town Center, park once, and thereafter get around on foot or by bike.

**Increase connections and access to parks and beaches and preserve views of the Gulf of Mexico and the Boca Ciega Bay**

The Town Center already contains a significant number of natural resources that make it a unique place, such as beaches along the Gulf of Mexico and parks along the Bay. In order to capture the full value of these amenities, access should be enhanced, particularly pedestrian and bicycle access. Views as well as access are important. Views to these beautiful natural resources are valuable in themselves, but they also serve as beacons to attract people to the various destinations and entice them to travel throughout the Town Center.

Develop parking and access strategies that help to make the most efficient use of scarce land and contribute to the quality of the public realm in the Town Center

Right now too much land in the Town Center is used for surface parking. In addition, parking areas are scattered, disrupting the continuity of the urban fabric and inhibiting pedestrian access to commercial and civic activities. Centralizing and strategically locating parking and loading facilities can decrease this disruption of the urban fabric and of circulation patterns. Inter-parcel access can be preserved or created for those parcels that otherwise are lacking adequate access. Together, these strategies will free up land for development to higher and better uses and help to create the continuous street frontages that characterize so many successful shopping and entertainment districts.

Improve the quality of public facilities and seek to consolidate public facilities if this would provide efficiencies in space management and cost

The various small and low-intensity public facilities scattered throughout the Town Center can be consolidated, updated, or improved. Consolidating facilities can provide the opportunity to develop civic buildings with greater presence, and may provide cost and operating efficiencies. New facilities can be built to FEMA standards, and also may serve as a shelter to the public in the event of a stormwater surge (provided that such a shelter could be established consistent with emergency management standards and criteria). There is also need for additional meeting and community space which is not accommodated by existing community facilities and this need can be addressed with a new consolidated facility. Beyond these improvements, civic facilities will serve as one of the anchors that will help to draw people to a renewed Town Center with an enhanced sense of place. A map of current public facilities is presented in Figure 5.



City of Madeira Beach Special Area Plan Public Facilities Map



Prepared by the Pinellas Planning Council with data provided by the Pinellas County Information Systems Department and the City of Madeira Beach. The data contained herein is offered "as is", with no claim or warranty as to its accuracy or completeness. The data is for reference only and should not be considered to be of survey precision. None of the information is official source documentation. While considerable effort is made to verify the information, due to its volume and highly dynamic nature, only the official source documents should be used where accuracy, completeness and currency are required.



Relationship with the Comprehensive Plan

The comprehensive plan was amended in 2007 to include the Planned Redevelopment-Mixed Use (PR-MU) land use category in anticipation of the creation of a Special Area Plan for the Town Center. This Town Center Plan provides the data and analysis to support an amendment to the Future Land Use Map to apply the PRMU land use category. The PR-MU land use category is established in policy 1.1.2 of the Future Land Use Element. In addition to this specific policy, the foundation for the Special Area Plan is the goal for the Future Land Use Element. The goal is to:

“...ensure that the residential/family and beach community character of the City of Madeira Beach is maintained and protected while:

Maximizing the potential for economic benefit resulting from the tourist trade and the enjoyment of natural and man-made resources by citizens and visitors;

Minimizing the threat to health, safety, and welfare posed by hazards, nuisances, incompatible land uses, and environmental degradation;

Maximizing land development which respects necessary ecological functions and suitability for urban development;

Preserving or improving the community's natural resources and valuable amenities;

Encouraging an orderly and aesthetic mix of land uses by allowing new development and redevelopment that will enhance and protect the City's existing character; and



SPECIAL AREA PLAN

Providing a comprehensive plan that is flexible and incorporates changing community values and attitudes.”

This Special Area Plan addresses the goal by promoting a unique sense of place for the Town Center, eliminating incompatible land uses, and encouraging the redevelopment of an area of the City in a manner that respects the environment and preserves natural resources. The Special Area Plan promotes an orderly and aesthetic mix of land uses by encouraging development that protects and enhances the City’s existing character.

This Special Area Plan has also been developed consistent with the guidelines in Pinellas by Design, the County’s economic development plan, which, like this plan, is grounded in design principles. Pinellas by Design is the result of an intensive public involvement process that engaged a broad cross-section of the community throughout the county. As the plan states:

Based on the results of this public participation process, there is general agreement that redevelopment is inevitable, that it should be planned for, and that it has great potential to both preserve and enhance the high quality of life we enjoy in our communities. Three major areas of concentration were agreed upon: economic investment and job creation, concentrating on attracting and retaining high-wage target industries; real estate factors, emphasizing the need for sufficient and appropriate land to allow effective redevelopment; and regulatory tools and urban design, providing the blueprint needed to shape the urban environment. (Pinellas by Design, p. 2).

The philosophy guiding preparation of the Special Area Plan is very much in keeping with Pinellas by Design in that the plan describes a redeveloped Town Center resulting in a vibrant mixed-use area with quality urban design. The redevelopment of tourist dwelling units in concert with restaurants, specialty retail, and short-term tourist-serving accommodations will create an anchor for tourist-oriented development that can also serve as a heart for the Madeira Beach community. Design is a key element of this plan to make the core of Madeira Beach more pedestrian and bicycle-friendly and to encourage residents and visitors alike to better utilize these space and create the means for them to do so.



Chapter 2 – Regulatory Plan and Guidelines

Future Land Use

The Town Center is divided into five districts for the purpose of describing the character, residential and temporary lodging density, non-residential intensity, general types of uses, and other standards that are appropriate within each district. The total land area, inclusive of all rights-of-way, totals 94.79 acres. These districts and their predominant use characteristics, shown on Figure 6, are described below:

Causeway District This district is 23.3 acres in size and includes parcels adjoining the 150th Avenue and is situated generally in the northeastern section of the study area. The Causeway District is characterized by a variety of land uses that are oriented to the water, such as residential and temporary lodging. Land uses in this section take advantage of water views and should be designed to take into consideration limited directional access to the Causeway. Water-dependent and water-related commercial and non-residential activities are appropriate, such as restaurants that take advantage of waterfront locations, the City-owned marina, recreational activities, and small scale commercial near the Commercial Core District. This area also includes other uses identified as Working Waterfront.

Permitted Uses -Residential; Temporary Lodging; Tourist Facilities; Recreation/Open Space; Preservation

Commercial Core District This district is 20 acres in size and is the heart of the Town Center. It includes parcels fronting Madeira Way and the northeastern face of Gulf Boulevard. Land uses in this central and most visible portion of the Town Center may include a wide variety of uses; however, the focus should be on commercial and commercial/mixed-use.

Permitted Uses -Residential; Temporary Lodging; Tourist Facilities; Office; Personal Service/Office Support; Institutional; Transportation/Utility; Retail Commercial; Commercial/Business Service



SPECIAL AREA PLAN

Beachfront District This district is 8.4 acres in size and includes parcels with frontage on the Gulf of Mexico. Residential and tourist land uses are encouraged to take advantage of water views and access. Uses include residential, temporary lodging, and open space.

Permitted Uses -Residential; Temporary Lodging; Tourist Facilities; Recreation/Open Space; Preservation

Peninsula District This district is 25.2 acres in size and includes the current City Hall, Library, Rex Place Park, and adjoining residential development. No change is recommended for the current land use pattern, which places park space adjacent to Boca Ciega Bay. However, a consolidation of civic facilities into a multi-purpose civic and cultural facility is recommended. Commercial uses are not recommended for this district.

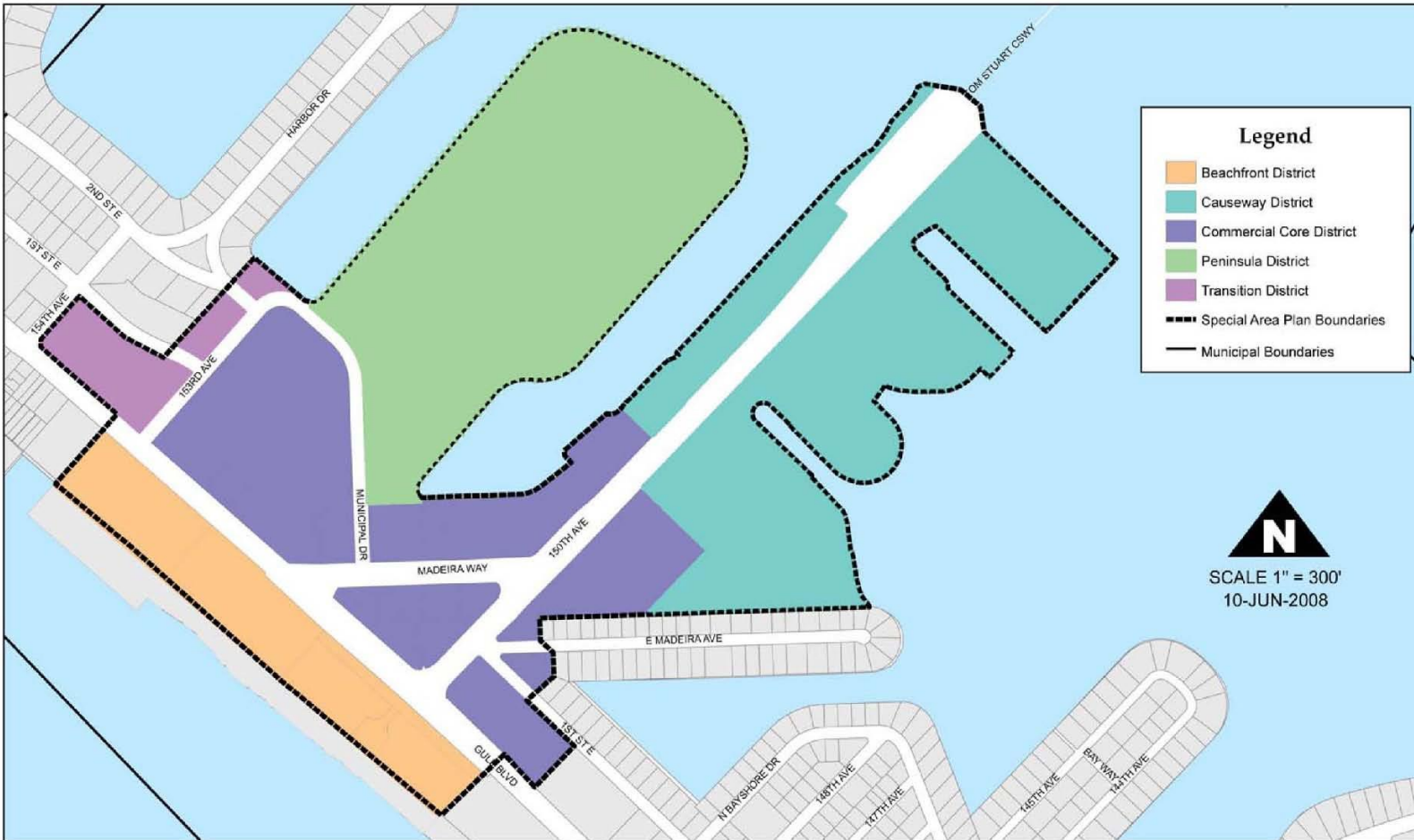
Permitted Uses -Residential; Temporary Lodging; Tourist Facilities; Institutional; Recreation/Open Space

Transition District This district is 3.1 acres in size and is in the northwest portion of the Town Center; abutting a single family residential area. This district should serve as a transition from the mixed commercial, civic, cultural, and temporary lodging districts by providing for lower intensity residential and residential/mixed uses.

Permitted Uses -Residential; Temporary Lodging; Office; Retail Commercial; Personal Service/Office Support; Commercial/Business Service



City of Madeira Beach Special Area Plan Town Center Character Districts



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Development Standards

The following table describes the maximum density and intensity of development, and other development standards, in each of the districts within the Town Center.

Table 1: Development Standards

District	Density		Floor Area Ratio		ISR ²	Stories above BFE ³
	Residential units	Temporary Lodging units	Commercial only	Mixed Uses		
Causeway	15	60	0.55	*	0.70	3
Commercial Core	15	60	1.2	Permitted	0.85	3
Beachfront	15	30	0.55	*	0.70	3
Peninsula	15	15	0.30	*	0.70	3
Transition	15	60	1.2	*	0.70	2

* Shall not exceed, in combination, the respective number of units per acre and floor area ratio permitted, when allocated in their respective proportion to the gross land area of the property.

The development standards for a Temporary lodging Use in the Commercial Core and C-3 and C-4 zoning districts of the Causeway districts may be increased consistent with the standards set forth in the Resort Facilities High (RFH) plan category when part of a zoning amendment

Calculating Proportionate Share and Mixed Uses

Within the Beachfront, Peninsula, and Transition districts, and any portion of the Causeway district other than that zoned C-3 and C-4, when mixed uses are proposed on one parcel or within one building, the combined uses shall not exceed the number of units per acre or floor area ratio (FAR) in proportion to the development site. The proposed development must identify the specific uses proposed, the maximum density or intensity of each specific use, and the proportion of the development site to be devoted to that use. The proposed development shall demonstrate that the combined uses do not exceed the units or FAR in proportion to the development site. The City will implement this requirement through existing land development regulations to ensure that mixed uses comply with the Pinellas Planning Council Countywide Plan rules as well as any new mixed use zoning districts that may be created to implement the Town Center Special Area Plan.

² ISR – impervious surface ratio

³ BFE – base flood elevation



This requirement does not apply to proposed mixed uses within the Commercial Core district or the portions of the Causeway district zoned C-3 and C-4. Within the Commercial Core district and the portion of the Causeway district zoned C-3 and C-4, development is not limited to the density or FAR in proportion to the development site, provided that the development includes two of the three types of development: permanent residential, temporary lodging, or commercial development. That is, when mixed use development is proposed as follows, the requirement to calculate the maximum density and intensity proportional to the development site is not applied:

- Permanent residential and temporary lodging, or
- Permanent residential and commercial, or
- Temporary lodging and commercial.

This provision for additive density/intensity, whereby the proportional share formula does not apply in the Commercial core and the C-3 and C-4 portions of the Causeway districts, shall further require rezoning through the Planned Development process and the approval of a Development Agreement pursuant to the City's process therefor.

Access, Parking, and Transportation Provisions

Madeira Beach has already acted to reduce parking requirements for the Town Center. The measure reduces the minimum number of off-street parking spaces required for a principal use by 50 percent. This action reinforces the Special Area Plan's goal of making the Town Center more pedestrian-oriented by reducing the amount of land area devoted to parking and so increasing the amount of active uses available within the Town Center's compact area. The new parking regulations apply to properties bounded by Gulf Boulevard, 154th Avenue, 149th Avenue, and the Intracoastal Waterway.

Shared parking is also permitted under these provisions. Under these regulations, two or more non-residential uses located in the Town Center can petition the City to share parking facilities. Applicants must demonstrate that the periods of usage for parking will not overlap, and provide an analysis of peak parking times for each use and the minimum number of spaces needed for the combined parking area. Successful applicants must enter into a shared parking agreement with the City. The agreement is then recorded with the Clerk of Circuit Court in Pinellas County.

It is further recommended that for the triangle of parcels bounded by Madeira Way, 150th Avenue, and Gulf Boulevard that there be no parking requirement. This would serve to permit active uses facing all three major corridors, allowing for the development of a continuous building wall. Such a series of active frontages would improve the pedestrian environment and help create a strong urban design statement for the Town Center Commercial Core.

Parking Waiver Area





Moreover, it is recommended that this triangular area be required to provide a pedestrian passageway and internal courtyard connecting 1st Street East to Municipal Drive. This would serve as a valuable shortcut into the Town Center Commercial Core and would also provide the possibility for additional retail frontage along the internal courtyard.

To the extent possible, commercial parking should be provided by metered or timed on-street parking. On-street parking is very efficient and effective for town centers in general. Metered and timed parking encourages a high turn-over, and therefore convenient parking remains available for customers throughout the day. On-street parking also serves as a traffic calming function, slowing the speed of through traffic. Pedestrians are also provided a shield from traffic by on-street parking. For these reasons, on-street parking should be encouraged everywhere in the Town Center, particularly along Madeira Way, Municipal Drive, and 153rd Avenue.

Also, in order to make the most efficient use of land and to encourage pedestrian activity, one or more parking decks are recommended to accommodate the full volume of vehicles anticipated to frequent the Town Center. Parking decks should be permitted in the Commercial Core, Peninsula, and Causeway districts and should not be counted against maximum FARs. It is recommended that the City acquire land for a public parking deck on Gulf Boulevard. This parking deck could then serve both the Commercial Core of the Town Center as well as the beach. A fee should be required in order to make use of the parking deck, both to help finance the deck's cost and to encourage parking turn-over.

It is also recommended that a high quality at-grade pedestrian crossing be designed to assist crossing Gulf Boulevard in this location. The pedestrian crossing could include such features as pavers or textured crosswalks, pedestrian signs, and a flashing pedestrian crossing light to warn oncoming vehicles. This would enable both people who use the parking deck as well as others to cross Gulf Boulevard more easily.

Parcels in the Causeway District suffer from limited access. These parcels only have frontage along one roadway – 150th Avenue – and turning movements here are restricted by the roadway's median. Therefore, it is recommended that all new development in the Causeway District be required to provide inter-parcel access. This will improve accessibility and increase property values in the long run. Inter-parcel access should also be encouraged for those properties along 150th Avenue that are outside of the Causeway District and have no alternative access.



Both 150th Avenue and Gulf Boulevard are high capacity arterials and are not well-suited for direct access. Therefore, vehicular access to individual parcels within the Town Center should be provided by other roads and/or alleys where possible. Commercial properties fronting Gulf Boulevard should be required to develop alley access where feasible upon redevelopment, such as off of 153rd Avenue.

In order to make the Town Center more pedestrian-friendly, improved street crossings must be a priority. Street crossings can be improved with pedestrian signals, texture crosswalks, raised crosswalks, improved signage, and other signals to vehicular traffic that a pedestrian crossing area is present. Improved pedestrian crossings are recommended for the intersections of Madeira Way and 150th Avenue, Madeira Way and Municipal Drive, for Madeira Way and Gulf Boulevard, for 153rd Avenue and Gulf Boulevard, and for the three-way intersection of East Madeira Avenue, 1st Street East, and 150th Avenue.

Further detail on the implementation of these recommendations is found in the Chapter 3 on Implementation in the section on General Design Features of Each District.

Design Guidelines

To establish a sense of place and begin to define a theme for the redevelopment of the Town Center, a series of design guidelines are recommended. The guidelines address the design of streetscapes, building massing and architectural details, as well as the preservation of views. These general design guidelines will be translated into more specific regulations, adopted by the City of Madeira Beach, and incorporated into the land development regulations.



Streetscapes

Streets are not just transportation facilities, they are public spaces. The essential characteristic of any Town Center is inviting streets – places where people enjoy strolling and coming across each other for casual, everyday encounters.

Quality streetscapes are needed throughout the Town Center and in the Commercial Core District in particular. The first focus should be on Madeira Way.

Quality streetscapes involve many features, but the first and primary feature is generous room for the pedestrian and his/her related activities. The streetscape must provide room for pedestrian through-traffic, outdoor seating for cafes, for window shopping, and for street furniture and street trees. Also, there should be as few interruptions of the pedestrian way as possible, which means limiting the number of intervening driveways as much possible. Ideally, at least as much land in the public realm is given over to pedestrian-related activities as is given over to vehicles.

Beyond adequate space for the pedestrian, street trees are of particular value for creating a streetscape. Street trees provide visual interest, shade, an edge to the pedestrian realm, and a barrier between pedestrians and vehicular traffic. Great streets invariably have ample and mature street trees.

Other key elements of quality streetscapes are amenities. The street serves as an outdoor room, and as such, it requires outdoor furniture. Key street furniture includes seating, trash cans, and lighting, and may include other features such as bollards, bicycling parking, or public art.

New streetscapes are recommended along Madeira Way within the Commercial Core district. Over the long term, improvements to streetscapes in other areas of the Town Center should be considered.

Street-Oriented Retail

The activating element in a Town Center is, without doubt, the many small stores and shops that encourage walking and browsing through the area. Madeira Beach already has small, local market stores, but they are not currently street-oriented. Street-oriented retail caters to passing pedestrian traffic. Therefore, it is essential that the building entrance be immediately adjacent to the streetscape to encourage window-shopping. Parking must be located to the side, or preferably to the rear behind the building. Doors and windows should face the street, inviting people to walk in or look in. Window displays should be encouraged. Signs should be small-scale and pedestrian-oriented in placement and design. Awnings or other features that provide shade are also welcome as a respite from the sunny Florida climate.



Building Wall

Another feature of a successful Town Center is a generally continuous building wall. A continuous wall of buildings without gaps provides a sense of continuity to the urban fabric and keeps the visual interest. Historic town centers invariably have a continuous building wall in their core area, usually with a variety of small buildings immediately adjacent to each other. In order to provide an adequate sense of enclosure, building heights of at least two stories are recommended in key areas, including along both sides of Madeira Way, and ideally throughout the Commercial Core District. In fact, with its wider right-of-way, the scale of Gulf Boulevard would be better suited and more attractive if framed by a larger, three-story building wall.

View Corridors

Scenic views of the water are one of the defining characteristics of the Madeira Town Center. Where possible, scenic views should be preserved and enhanced or restored. Two scenic views of particular value have been lost – the view of the water from 150th Avenue when driving onto the island, and the view of the beach and water from Madeira Way. These view corridors should be restored if the opportunity becomes available.

Views across Gulf Boulevard to the beach present a prime opportunity. A quality streetscape along Gulf Boulevard at this location or an upper-story restaurant or bar could take advantage of these prime views.



Architectural Guidelines

Architecture in the Town Center should have a visually interactive first floor, a high level of façade articulation, and human scale in massing and detail. Large, monolithic, and blank buildings are inappropriate.

To create an active first floor, there should be an architecturally distinct entrance area and large storefront windows with window displays. Planters and flower boxes are also appropriate. Awnings and porticos are also strongly encouraged.



Photo 11: Active first floors include distinctive awnings, windows, doors, and porticos. This picture is from Naples, Florida

A high level of interest is created through architectural details that distinguish the vertical and horizontal sections of the building. Each floor of the building should be visible from the outside, through the use of upper story windows or balconies. The top of the building should have some distinguishing feature, such as a strong detailed cornice line.



Photo 12: The building top should be marked with a distinguishing feature, such as the multi-colored cornice line above. Also note the windows that mark the second story of the building. This picture is from Fort Myers, Florida.

Both details and building massing should be of human scale. Large buildings should be broken into a series of distinct masses. Windows should be vertically oriented and should be comprised of a series of distinct, human-scale windows across the building rather than uniform glass facades. If possible, windows should have a series of smaller panes to provide visual interest. Balconies and pseudo balconies/railings on upper stories are an excellent human-scale feature. Other architectural details that could be used to provide interest include the following:

- Arches over doors or windows
- Awnings
- Balusters
- Bay windows
- Clock Towers
- Cupolas
- Patterns and details of façade material or color



Photo 13: Details make this building facade attractive, including upper story windows, cornice lines, a hanging awning, and a portico. Windows are vertically oriented and human-scaled. This picture is from Fort Myers, Florida.



Chapter 3 – Implementation

Land Development Regulations

Chapter 3 of this document describes five districts that make up the planning area. These districts are to be utilized in conjunction with the Planned Redevelopment-Mixed Use Future Land Use Plan Category. They include the types of uses allowed within each district, as well as the maximum density and intensity permitted in each district. However, they do not contain enough specificity to administer the plan on a daily basis and must rely on the City's land development regulations to carry out the plan.

The City intends to utilize the majority of the current zoning categories (see Appendix A) in this task and also intends to create anew zoning category called Town Center (TC-1). This district will be limited to use within the Causeway and Commercial Core districts. It will require mixed use development and will allow greater temporary lodging densities and intensities than any current zoning districts. It is also recommended that the TC-1 district contain a set of design standards consistent with the provisions of this Special Area Plan with the goal of providing a pedestrian-oriented, mixed-use environment.

The City will also be responsible for determining whether to rezone properties to the new zoning category for property owners who wish to propose a mixed use development that would not otherwise be possible. The category should include criteria for determining if such approval should be granted.

The following table identifies the zoning districts that are appropriate for use within each of the Town Center districts.



**Permitted Zoning Districts in Each Town Center District
Zoning Category**

District	R-2	R-3	C-1	C-3	C-4	P-SP	PD	TC-1
Causeway		X		X	X	X	X	X
Commercial Core				X		X	X	X
Beachfront		X				X	X	
Peninsula		X				X	X	
Transition	X	X	X			X	X	

X – potential compatibility with each Town Center Plan district

Each Special Area Plan district requires different regulatory provisions. The regulatory requirements of the districts are described generally below. Implementation may require amendments to the land development code for existing zoning districts in order to ensure that the regulations needed within the Town Center are in place. This would be accomplished through adding regulations to the applicable zoning district that only apply to properties within the Town Center. The City will ensure that the necessary regulations are prepared following final approval of the Special Area Plan.

However, there is already a zoning district available within the Town Center that can allow mixed uses. It is the Planned Development (PD) District. During the review of any preliminary site development plan, proposed standards and design features of the proposed uses will be reviewed for consistency with the objectives and design guidelines of the Special Area Plan. The established PD review process allows for such review considerations.

Review Process for Proposed Development and Redevelopment

All proposed development and redevelopment should be reviewed using the PD review process, whether or not a PD zoning district is proposed. The application and review process should be amended to require the PD process for all proposed development and redevelopment within the Town Center. This will allow the City to ensure that all proposed uses and designs are consistent with the Town Center Special Area Plan. As pointed out above, when a proposal is for a change to the PD zoning, the applicant provides a preliminary site plan with proposed site design standards and features. This preliminary site plan can be reviewed with the Planning Commission to ensure that the concepts are acceptable and consistent with the Special Area Plan. Once this preliminary site plan is approved, the final site plan can be reviewed and approved at the staff level to ensure that all standards are met.



General Design Features of Each District

During proposed redevelopment, the following design features will be required:

Transition District

- Access should be off of a street other than Gulf Boulevard
- Properties qualify for shared parking provisions

Peninsula District

- Properties qualify for shared parking provisions
- Civic building should be built on axis with Municipal Drive
- Require easement for bayfront walk on Boca Ciega Bay

Commercial Core District

- First story commercial activity to be required
- Inter-parcel access is required for properties north of Madeira Way
- Access should be off of a street other than Gulf Boulevard where possible
- Properties qualify for shared parking provisions
- All buildings shall be a minimum of two stories
- Require easement for bayfront walk on Boca Ciega Bay
- No parking is required for the triangle of properties bounded by Madeira Way, Gulf Boulevard, and 150th Avenue
- Require pedestrian easement from 1st Street East to Municipal Drive for the triangle of properties in the parking waiver area bounded by Madeira Way, Gulf Boulevard, and 150th Avenue
- Consider a pedestrian easement across proposed redevelopment of the Carter property to provide access between the parking garage and the civic building area
- Residential and/or temporary lodging units must be located on an upper floor



Beachfront District

- View from Madeira Way to the beach should be improved
- View southeast from 150th Avenue should be re-established upon redevelopment

Causeway District

- Inter-parcel access is required for all properties
- Properties qualify for shared parking provisions

Design Guidelines – Site Design Requirements**Building Setbacks**

- Throughout the Town Center , building setbacks should be no more than 20 feet
- No parking, loading, or driveways should occur between the building and the right-of-way in the front setback; this area should be for landscaping and pedestrian uses only
- On Madeira Way, the building should be at the right-of-way line, or it should have an extension such as an awning or arcade that extends to the right-of-way line.



Outdoor Dining Areas and Displays

- If a building located on Madeira Way is not up to the right-of way line, the area between the right-of-way line and the building should be put to productive use related to the building use. Permitted uses in this area include outdoors displays of goods and outdoor dining
- Outdoor dining may include areas outside the right-of-way and inside the sidewalk right-of-way, so long as the City's requirements for outdoor cafes on public sidewalks are met.



Photo 14: Outdoor dining is permitted subject to City regulations.



Parking Lot Location and Size

- Surface parking lots should be located to the side or preferably to the rear of the building
- Side yard parking lots should not exceed 60 feet in width.
 - Ground floor parking underneath the building envelope is permitted, however: It should be shielded from view by a facade between the parking and the right-of-way.
 - On Madeira Way, there must be twenty habitable feet on the ground floor and in front of any ground floor parking.

Parking Lot Landscaping

- In addition to the City's existing perimeter landscaping requirements, one shade tree should be required for every 10 parking spaces, except for parking areas of less than 20 spaces total
- Each shade tree must be planted in a landscaped island of at least 200 square feet.



Photo 15: Parking lots are required to include shade trees.

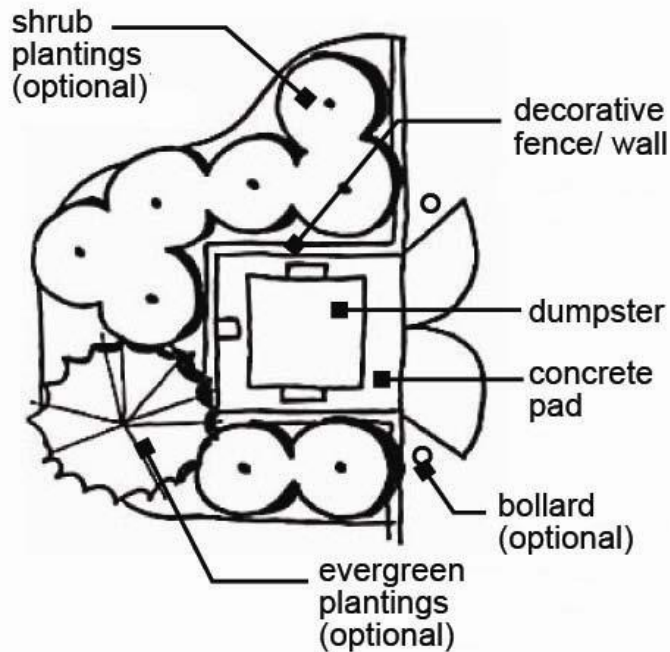
Off Street Service and Loading Areas

- Loading and service areas should be located at the rear or side of a building. This requirement should apply to new construction only, and retrofits should not be required for buildings undergoing renovation or change in use.



Utility Location

- All visible utility elements, such as transformers, water meters, etc. must be screened with decorative walls or a decorative fence.



All utility elements should be visually screened.



Design Guidelines – Architectural Requirements

Primary Facade Orientation

- The primary building façade must be primarily parallel with and oriented towards the primary street.
- On corner sites, both street facing facades must appear as primary facades.
- The primary building entrance should be part of the primary facade and oriented towards the primary street.
- Primary building entrances should provide a canopy, awning, or arcade that covers the building entrance.



Photo 16: Primary building facade should face the public street.

Facade Massing and Variation

- On all frontages except Madeira Way, the facade must vary in height, setback, and/or materials every 50 feet.



Photo 17: Facades should vary in height, massing, and materials.

Commercial Storefront – Minimum Glazed Area

- Primary building facades should include a minimum 50% glazing between 3 and 8 feet above the sidewalk on the first story.
- The purpose of the glazing is to promote visibility into and out of the building facade. As such, glazing should be transparent under normal lighting conditions.
- Upper stories should also include a minimum 25% glazing. Signs should cover no more than 10% of the glazed area.

Large Format Commercial Buildings

- In addition to all of the other design guidelines contained here, for buildings over 30,000 square feet, each principal building on a site should have clearly defined, highly visible customer entrances, featuring no less than two (2) of the following features:
 - Arcades
 - Arches



-
- Canopies or porticos
 - Cupolas
 - Overhangs
 - Recesses or projections
 - Architectural details, such as tile work or molding, which is integrated into the building structure and design
 - Integral planters or wing walls that incorporate landscaped areas and/or places for sitting



Sign Regulation

In addition to the City's existing sign ordinance, all signs in the Town Center should be consistent in style, materials, and color with the building on the same lot.

Building-mounted signs should integrate in scale and placement with their associated building.



Photo 18: Signs should integrate with buildings in scale and placement.



Public Improvements

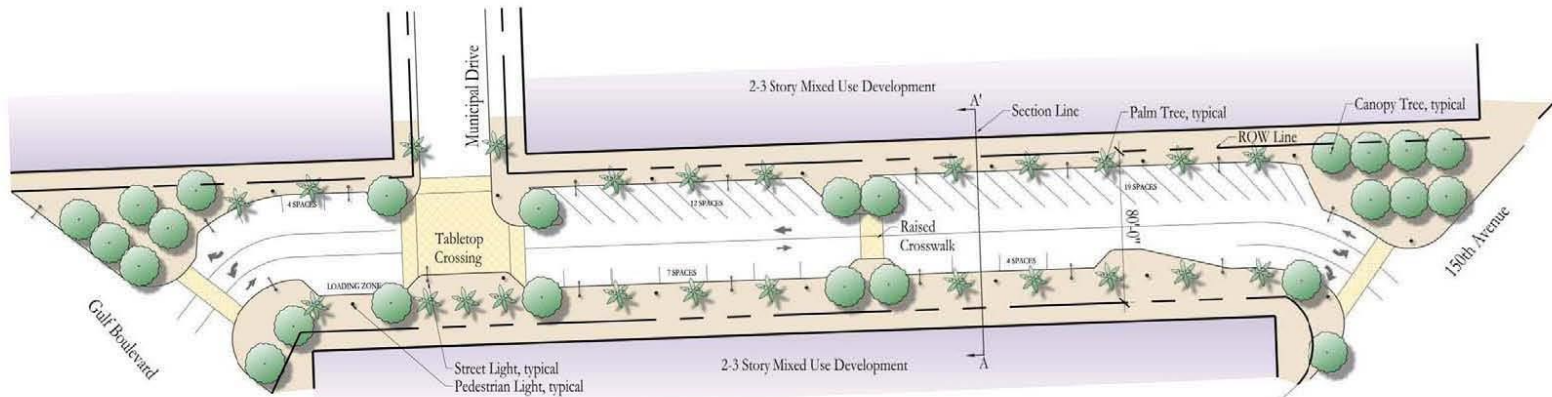
Streetscapes

New streetscapes are recommended for Madeira Way; for Gulf Boulevard for its length in the Town Center; for 150th Avenue south of its intersection with Madeira Way; and for the length of Municipal Drive. A streetscape concept for Madeira Way showing some of the elements recommended above, such as trees placed at regular intervals between parking spaces and improved pedestrian crossings, is illustrated below.

If possible, utility wires should be buried throughout the Town Center. This is an expensive proposition, but would be a major aesthetic improvement that would benefit residents and visitors for years to come. A secondary benefit is that buried utility wires are less susceptible to wind damage along the coast line and are less likely to be damaged by wayward motorists.

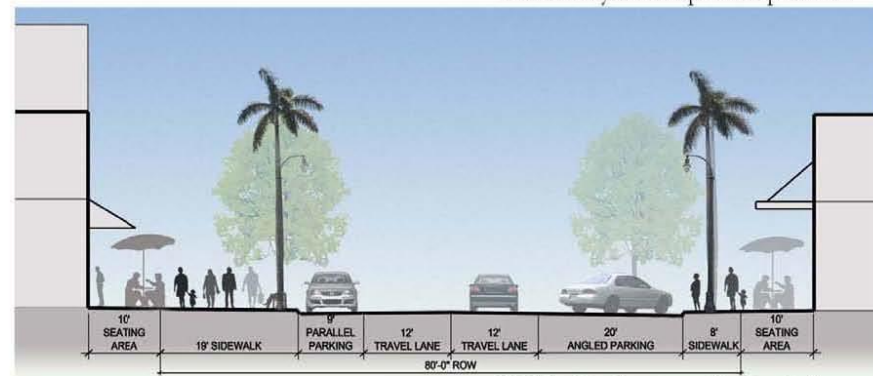


Streetscape Concept



Madiera Way Streetscape Conceptual Plan

- Summary:**
- 46 parking spaces
 - (2) 12' travel lanes typical
 - 8' wide pedestrian zone within ROW on North side
 - 19' wide pedestrian zone within ROW on South side
 - 10' building setback shown
- Notes:**
- 2 raised tabletop crossings located at Municipal Drive and mid-block
 - 2 street level crosswalks at ends of streetscape- with distinct pavement type
 - Cohesive streetscape would require 10' construction easement on each side of street or building development at ROW line



Madiera Way Streetscape Section A-A'



Madiera Way Streetscape Concept
Madiera Beach, FL

June 19, 2008 **EDAW** **AECOM**



Consolidation of Public Facilities

The Town Center currently offers a wide variety of public facilities that serve the people of Madeira Beach and draw people to the area. These public facilities include City Hall, the Gulf Beaches Public Library, and the post office. Many of the facilities are out of date with current need and not built to withstand flooding. All of these public facilities could be integrated into a unified public service center in the current City Hall location, ideally in an attractive and architecturally distinctive civic building. The new service center would both present a proud civic presence along its facade facing Municipal Drive; while at the same time take advantage of views and potential outdoor space or courtyards along Boca Ciega Bay. Additional facilities that could be integrated into this service center would include community meeting space, a senior-oriented recreational center, and a Pinellas County Sheriff's substation. At the same time, the project could incorporate a new streetscape with improved pedestrian access for Municipal Drive, the incorporation of on-street parking for quick stops to the service center, and improved site access. Parking for the service center should be located beneath the building (if it is flood proofed) as well as both behind the service center and on the other side of Municipal Drive, ideally in a parking deck.

Public Parking Deck and Gulf Boulevard Pedestrian Crossing

A public parking deck would help to reduce the parking requirement for many of the commercial properties in the area and could help make better and more active use of scarce land in the Commercial Core. Parking revenues would help to make a parking deck at least partially self-financing. Also, timed parking revenues encourage parking turnover, though employee parking should not be timed but charged on a monthly basis. The recommended location for a public parking deck is along Gulf Boulevard immediately across from the beach. This location would allow the parking deck to serve both the entire Town Center, as it is centrally located, and the beach. Ideally, the parking deck could replace some of the surface parking at the park so that the land could be reclaimed for public use.

A high-visibility pedestrian crossing across Gulf Boulevard is also recommended.

**Improvements to Public Works Site**

Public works should be provided a new or renovated building to improve the appearance of this area. The site plan should be reconsidered to take into account both frontages along 150th Avenue as well as visual impacts to the adjacent marina. Landscaping on the site can be used to improve the visual screening and aesthetics of the site.

Bayfront Walk on Boca Ciega Bay

A walkway along the Boca Ciega Bay from Municipal Drive to Causeway Park would create a destination for tourists and residents alike and provide better pedestrian connections along the waterfront. Therefore, to create a continuous walkway along the Bay, the City should require the dedication and improvement of a 10-foot-wide public paved use easement along the rear of all private properties bounded by Boca Ciega Bay. Each property should also be encouraged to extend the pedestrian connection from this walkway to their primary entrance. The City would not be responsible for the maintenance or repair of any property owner's seawall or tiebacks.

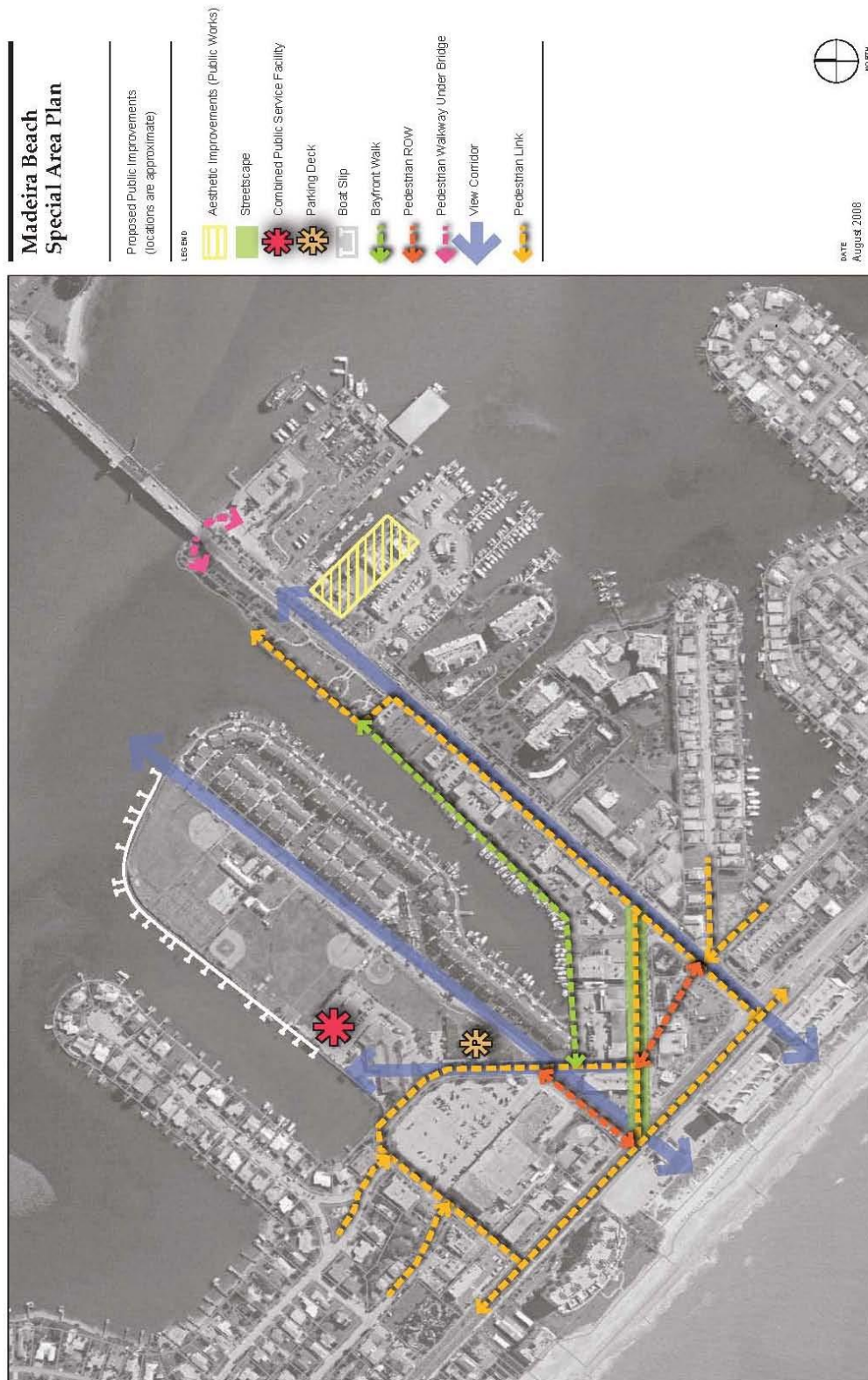
Another opportunity to enhance the feasibility and safety of pedestrian connections within the Town Center is an under bridge walkway beneath the western landing of the 150th Avenue Causeway bridge. This walkway would allow pedestrians to go under the Causeway between the former Leverock's site and Causeway Park thus avoiding the traffic on the Causeway. The area could be enhanced with ADA accessible ramps, lighting improvements, directional signage, and other safety features.

Wet Slips

The City should develop and maintain wet slips in the area behind City Hall on the western edge of the Peninsula. This will provide an additional recreational amenity for the community as well as a new revenue source for the City. Appropriate environmental and market studies have been conducted and the demand for these boat slips has been established.



Proposed Public Improvements





Strategies to Promote Redevelopment

The Countywide Rules require an identification of incentives for development, if appropriate, provided by the Special Area Plan. The City views the Special Area Plan as an opportunity to promote redevelopment in several specific ways. First, there is a decrease in the off-street parking requirement. This has been made possible through plans for providing parking elsewhere in the study area. Specifically parking is provided along the re-designed Madeira Way and through a proposed parking garage. Decreased parking requirements allow developers to make more intensive use of their land as less land is consumed by parking. Also, decreasing the amount of parking allows for a more continuous experience of activity, especially along Madeira Way. The result is an increase in attractiveness of the Town Center for residents and tourists alike. Since retail businesses in particular are sensitive to customer access, reduced parking requirements must be done in combination with increased public parking availability. Available on-street parking and a public parking deck are both recommended to realize this development incentive and are an important part of the strategy. The City views this strategy as an incentive to redevelopment in general rather than a one-for-one incentive to a particular development project.

The ability to mix uses within the Commercial Core and the C-3 and C-4 zoning districts of the Causeway districts without being limited by the proportional calculation of maximum density and intensity for each individual use is another important strategy. This allows a proposed development to be responsive to the market and provide the mix that is most feasible without being limited by a rule. At the same time, the City is ensured that development will not overwhelm the capacity of facilities and services, both through implementation of concurrency requirements in the comprehensive plan, but also through encouraging this particular mixed use approach in a limited portion of the Town Center. Combined with the parking strategy and the public investment in streetscape improvements, the City believes redevelopment will be encouraged by this revamped approach to the Commercial Core and designated portions of the Causeway districts.

Increased building height without the need for a PD zoning processor a variance approval is also an important development incentive.



Refer to Table 2 for building height limits in the Special Area Plan Districts.

Improved access throughout the Town Center through better parking and better pedestrian circulation is a fourth strategy to promote redevelopment. Wider sidewalks on Madeira Way, improved crosswalks along Madeira Way, and a Madeira Way street design that favors pedestrians will improve pedestrian circulation and safety. A bayfront walk along the Causeway with a pedestrian underpass to connect the north and south sides of the Causeway will provide an amenity to pedestrians who wish to stroll, sightsee, or walk from lodging to shopping and restaurants. Implementation of this provision in the Special Area Plan is another incentive to redevelopment in general rather than a trade-off for one project.

Funding Sources

Implementation of the Special Area Plan will likely be realized over a period of several years. Most of the recommendations fall primarily under the purview of the private sector as properties in the Town Center are developed and redeveloped. However, some of the recommendations are the responsibility of the public sector, especially the City of Madeira Beach. Streetscape improvements, infrastructure investments, and new civic buildings are the primary activities to be implemented by the public sector. These improvements will create a setting that encourages private redevelopment and investment.

Funding for such improvements may come from a variety of sources, both public and private. The City will make investments that establish the Town Center as a destination and a place that is distinct from other places on the islands of Pinellas County. In this way, the City is encouraging private investments that will further improve the Town Center. For example, within the “triangle” where parking is not required, the developer should still contribute funds toward parking. Such funds would contribute to the construction of the parking garage, which itself will be a source of continuing revenue.



SPECIAL AREA PLAN

A new civic building/public service center would be a public expenditure shared among several levels of government to provide a new city hall, public library, and space for other government functions, such as the Sheriff's substation and the post office. Leased space would be available to utilities, community, and civic groups for meetings and events.

An important investment is the Madeira Way streetscape which will be a pivotal feature of the Town Center, while provides the important setting for private redevelopment and investment. The City should take a lead role in creating this setting through landscaping, street furniture, and other improvements along Madeira Way, all of which will encourage private investment.

Some additional potential sources of future revenue to consider include: Rents from public service center tenants, parking revenues, bed taxes, public improvement contributions from planned developments, revenue from the rental of boat slips, Florida Communities Trust, Federal Transportation Enhancement funds, the Boating Infrastructure Grant Program, and Community Development Block Grant funds. One additional source of revenue is the Working Waterfront Grant program recently adopted by the Florida Legislature.



Appendix A – Existing Use of Land, Future Land Use Categories, and Current Zoning Categories

Existing Use of Land

Although the dominant use in the City of Madeira Beach is residential, the Town Center contains a mix of multi-family residential, commercial, and public uses, as well as recreation/open space (see Figure 2).

The beachfront along Gulf Boulevard is predominantly developed with condominium units. At the terminus of Madeira Way, there is a pavilion and a large metered parking lot to provide the public access to the gulf-front beach. A section of medium-density residential uses is located east of Madeira Way.

On the southern edge of the study area, First Street East, which runs parallel to Gulf Boulevard behind several of the commercial strip shopping centers, is also built-out, with existing uses that include single family, duplex, and multifamily residential units. There is a notable, vacant triangular-shaped area formed at the intersection of East Madeira Avenue and First Street East. Most of the non-commercial areas of First Street East are excluded from the study area.

Moving counter-clockwise, East Madeira Avenue (just outside the study area) is built-out with single family and duplex residential dwellings.

Next, in the area southeast of 150th Avenue extending along the Causeway, there are commercial, multi-family residential, public, and some marine land uses. The commercial uses in this area include motorcycle and automotive shops, marine-related retail, and a vacant restaurant. The far eastern edge of the study area includes the Municipal Marina and land occupied by the Department of Public Works. Plans are underway to redevelop the marina property by rebuilding wet slips, offering more transient slips, as well as a high and dry boat storage facility, a new public works complex, and a new ship store.



SPECIAL AREA PLAN

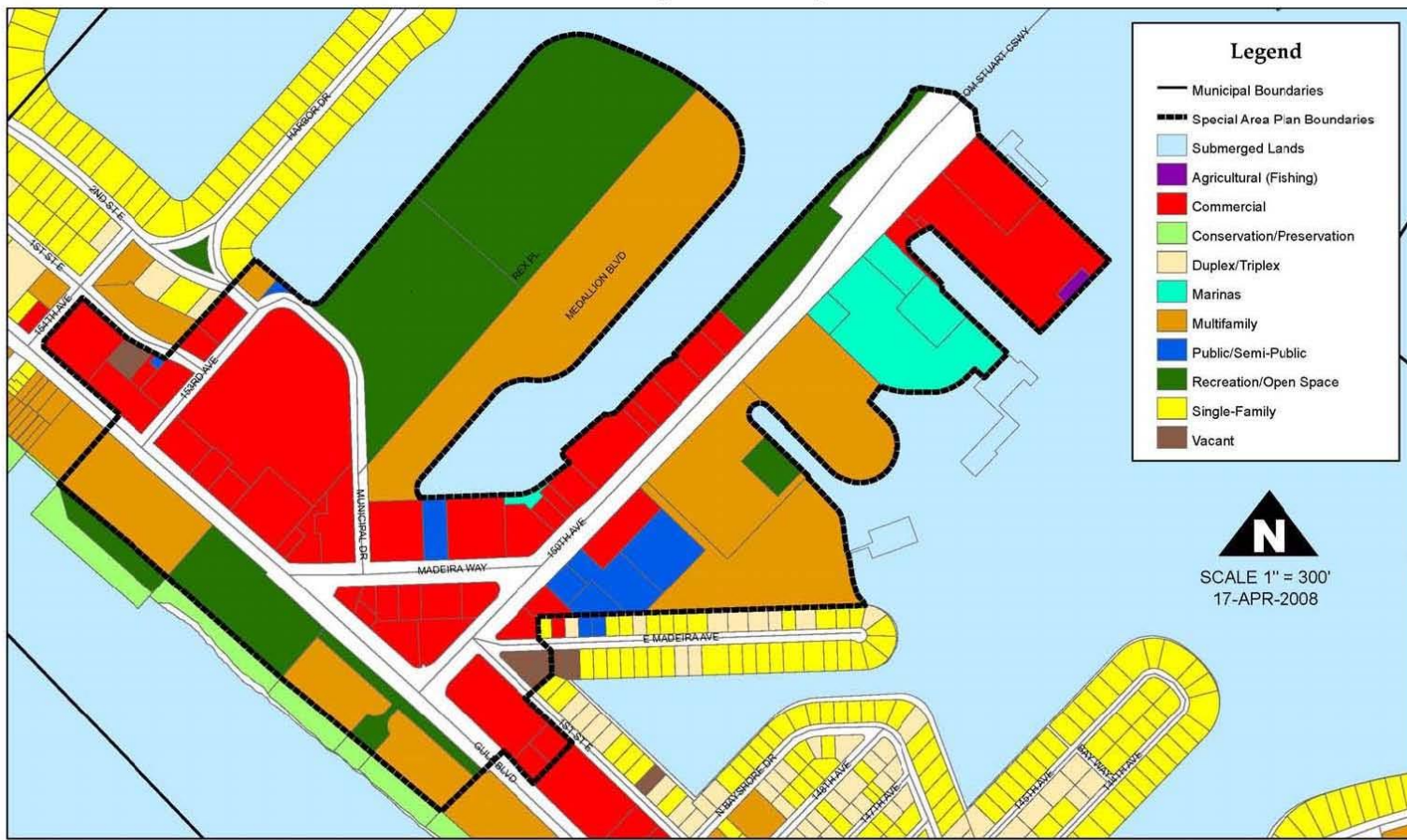
The entire heart of the study area is designated for commercial uses, which extend on both sides of Madeira Way and on the northwest side of 150th Avenue; however, a number of storefronts on Madeira Way are vacant and remain unoccupied. Most of the retail uses are tourist oriented shops, sundries, and restaurants. The far northeastern corner of the study area includes a small linear park, Madeira Beach Causeway Park.

The peninsula on which City Hall is located is divided between public uses and a large open green space/recreational area, known as the Rex Place Recreational Complex. On the remainder of the peninsula is the Madeira Beach Yacht Club, a residential condominium complex.

Commercial uses, anchored by the Winn Dixie grocery store, adjoin the southern side of 153rd Avenue with frontage on Municipal Drive. A series of professional office uses front the northern side of 153rd Avenue.

City of Madeira Beach Special Area Plan

Existing Land Use Map



Prepared by the Pinellas Planning Council with data provided by the Pinellas County Information Systems Department and the City of Madeira Beach. The data contained herein is offered "as is", with no claim or warranty as to its accuracy or completeness. The data is for reference only and should not be considered to be of survey precision. None of the information is official source documentation. While considerable effort is made to verify the information, due to its volume and highly dynamic nature, only the official source documents should be used where accuracy, completeness and currency are required.



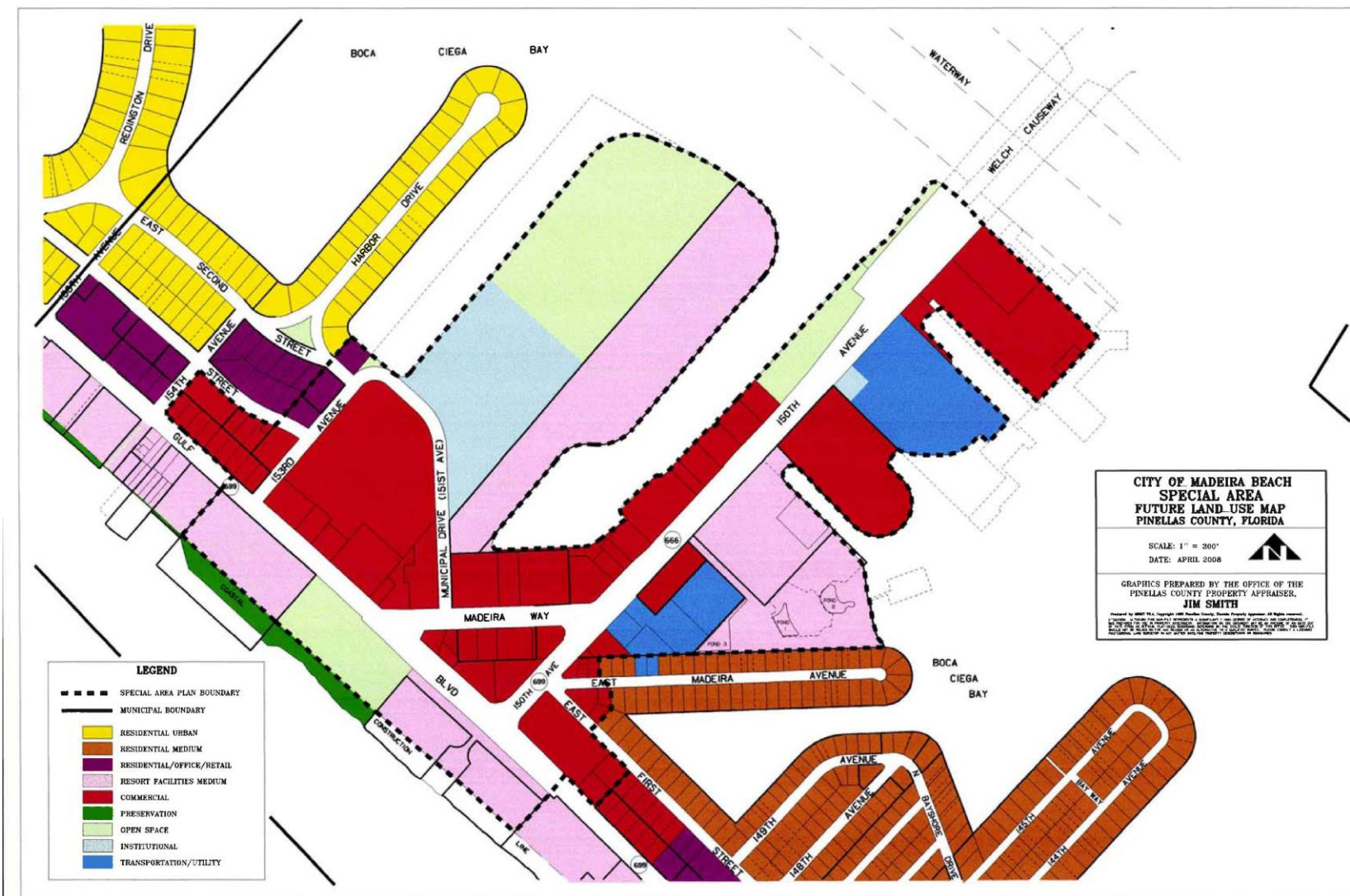
Future Land Use Categories

Figure 4 shows the Future Land Use Map (FLUM) before the amendment to apply the Special Area Plan driven Planned Redevelopment-Mixed Use (PR-MU) Future Land Use category to the Town Center. The development uses, types, patterns, densities, and intensities in place are for the most part consistent with the category regulations and standards, but they do not promote redevelopment that would result in a better mix of uses. By applying the PR-MU category to the Town Center, as governed by this Special Area Plan, an improved mixed of uses should occur, as well as more appealing and appropriate buildings and public areas through the application of additional design standards. This Special Area Plan also includes the implementation of incentives to encourage redevelopment and economic development within the Town Center.

Land Use Category on the FLUM	Acres
Open Space	16.6
Institutional	6.6
Resort Facilities Medium	22.9
Commercial General	30.0
Residential/Office/Retail	0.8
Transportation/Utility	3.2
TOTAL	80.1



Adopted Future Land Use Map





Existing Zoning

There is consistency between the existing zoning categories and the future land use categories. There is also consistency between the actual development and the existing zoning in terms of uses allowable. However, some densities and non-residential intensities may be nonconforming. It is useful to describe the existing zoning as part of the discussion of the existing situation. As the redevelopment plan is implemented, it is also useful to recognize that nonconforming situations will not impede the redevelopment process. The following discussion and table of standards further explains the current situation.

The land within the study area falls under four zoning categories: C3 (Retail Commercial), C-4 (Marine Commercial), R-3 (Medium Density Multi-Family Residential) and P-SP (Public, Semi-Public) (see Figure 3).

Zoning Categories	Acres
R-3	29.0
C-4	9.1
C-3	24.6
P/SP	17.3
TOTAL	80.0

Overall, the City's existing zoning districts closely follow the current land use pattern. One exception is that Archibald Park is currently zoned R-3. Also the current Public Works building is in the C-4 Marine Commercial zone.



Lot and Building Standards for Current Zoning Categories

Zoning Category	Min. Lot Size (sq. ft.)	Max. Height (stories above parking)	Max. Height (above BFE¹)	Floor Area Ratio
C-3	4,000	*2-3	40	0.8
C-4	4,000	2	30	0.55***
P-SP	†	†	†	0.25 – 0.7
R-3	4,000**	3	40	0.8

*Two stories for commercial uses, three stories for residential uses **4,000 sq. ft. for single family, or 3,000 sq. ft. per unit for duplex, 2,420 sq. ft. per unit for multifamily, 5,000 sq. ft. for restaurants *** 0.55 floor area ratio for commercial, 0.65 for institutional, 0.70 for transportation/utility

†Lot and building standards for P-SP are established by the City's Board of Commissioners on a per-site basis.

The C-3 Retail Commercial district is the City's primary retail zoning district. It allows a full range of urban services and promotes a high degree of accessibility. Among the primary retail and personal service uses permitted are business offices and financial services, multi-family dwellings, temporary lodging units, and restaurants. Retail uses must be on lots of at least 4,000 square feet, and commercial structures are limited to no more than two stories (above parking). Residential units in C-3 zones may be built to three stories (above parking) in height.

The C-4 Marine Commercial allows for marinas, commercial docks, boat repairs and sales facilities, restaurants, commercial fishing activities, retail offices and personal service uses, and temporary lodging units. It allows marine and boat storage uses as accessory uses. It requires a minimum lot size of 4,000 square feet and building heights of no more than two stories (over parking) or 30 feet above base flood elevation, whichever is more restrictive.

¹ BFE – base flood elevation



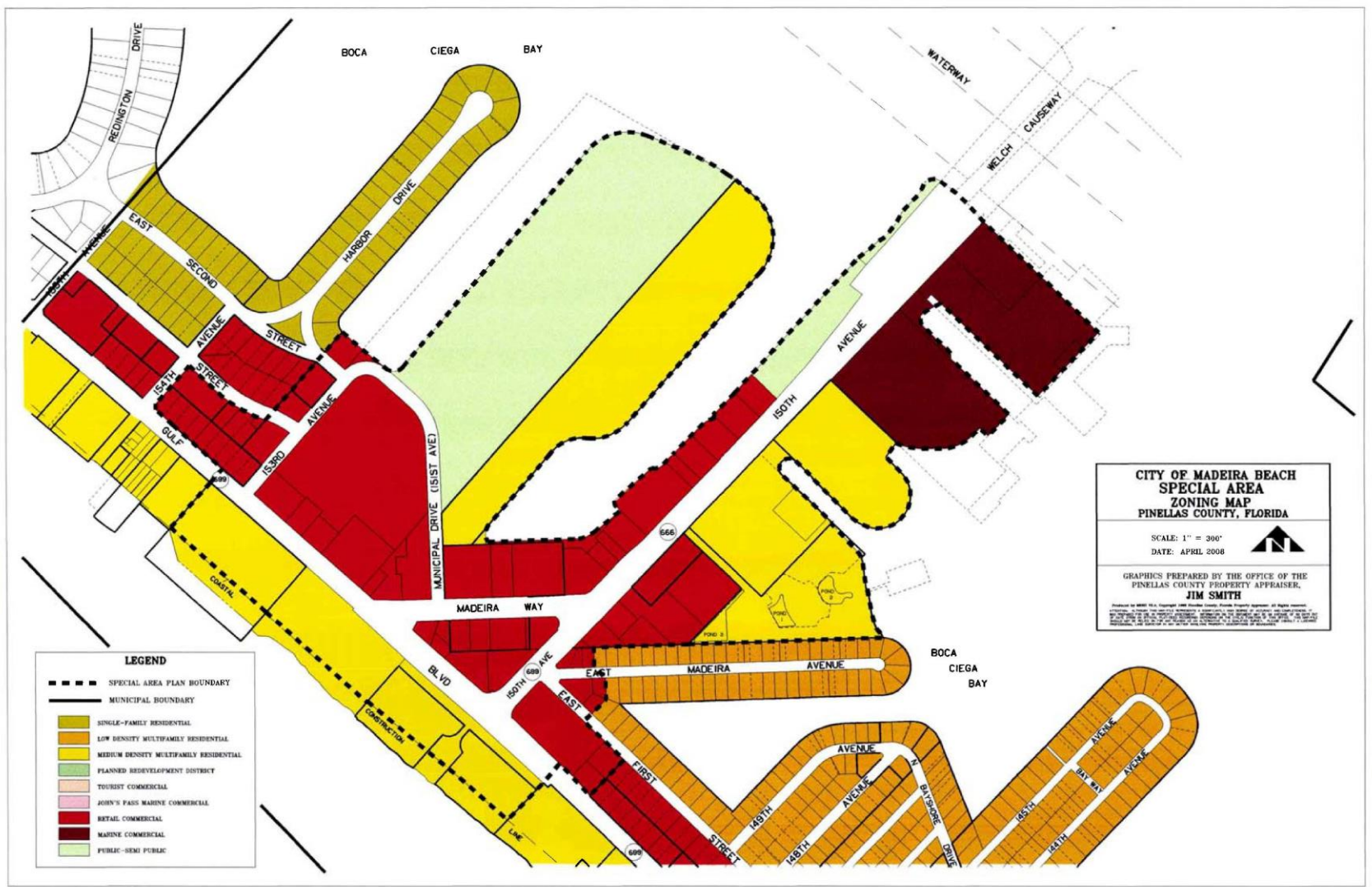
SPECIAL AREA PLAN

The City has three zoning districts that allow multi-family housing: R-2, Low-Density Multi-Family Residential, R-3, Medium Density Multi-Family Residential and C-3 Retail Commercial. The R-2 district, while not located in the study area, has a maximum floor area ratio (FAR) of 0.80, with an effective building height limit of 30 feet above base flood elevation (two stories above parking). The R-3 and C-3 districts, meanwhile, have a maximum FAR of 0.80, with a building height limit of 40 feet above base flood elevation (or three stories above parking), for multi-family and temporary lodging units.

Developments seeking greater height must be submitted under the Planned Development (PD) zoning process, which allows for greater flexibility in the layout of the project site in exchange for more extensive review and the obligation to contribute to public capital improvement projects. The use of the PD process, while providing for flexibility in site design, does not allow a project to exceed the standards set by the Countywide Plan rules of the PPC. While the PD zoning district is available, no properties within the Town Center have this zoning designation at the present time.

The P-SP Public, Semi-Public zoning district is intended to provide for the development and maintenance of public and semi-public facilities, including public buildings, parks and other public facilities.

Existing Zoning Map





Appendix B – Infrastructure Analysis – Updated 6/13/2014

Impact of Town Center Redevelopment on Public Facilities and Facility Capacities

The primary means of ensuring that public facilities are available with the capacity needed to serve the development is the concurrency management provisions in the Madeira Beach Comprehensive Plan and land development regulations. However, an analysis is provided herein to demonstrate that the proposed and recommended redevelopment consistent with this Special Area Plan will not create impacts beyond the availability and capacity of required public facilities. Also, any amendments to this Special Area Plan must address any potential increases in impacts on public facilities as compared to the City's adopted level of service standard and the available capacity of the affected facilities.

The analysis includes examining the proposed distribution of land uses and their build-out intensities. The current land use categories on the Future Land Use Map for the Town Center include:



Comparison of Current and Proposed Land Use Densities and Intensities

Current Future Land Use Category	Acres	Density ¹ (Perm.)	Standards Density (Temp.)	FAR ²
Recreation / Open Space	16.6	0	0	0.25
Institutional	6.6	0-10	0	0.65
Resort Facilities medium	22.9	0-18	Varies	Varies
			0-75	0.55-0.65
Commercial General	30.0	0-15	0-60	0.55
Residential/Office/Retail	0.8	0-18	0-45	0.40
Transportation/Utility	3.2	0	0	0.7
TOTAL	80.1			
PR-MU Land Use				
Category Districts				
Beachfront	8.4	0-15	0-30	0.55
Causeway	23.3	0-15	0-60	0.55
Commercial Core	20.0	0-15	0-60	1.2
Peninsula	25.2	0-15	0-15	0.30
Transition	3.1	0-15	0-60	0.55
TOTAL	80.0			

As described earlier in this Special Area Plan, in the calculation of mixed uses in the Beachfront, Causeway, Peninsula, and Transition districts, the combined uses cannot exceed the number of units per acre or FAR in proportion to the development site. This provision does not apply in Commercial Core or areas zoned C-3 or C-4 within the Causeway District.

It is important to note that the maximum allowable development in any category – residential, temporary lodging, or nonresidential – has not typically occurred. Past development has not resulted in the maximum number of residential dwellings that was possible according to the land use category and zoning district for a site. The same is true of nonresidential development. Fewer total square feet of development have been built than the maximum number of square feet of development possible according to the land use category and zoning district for a site.

¹ Densities are expressed as units per acre.

² FAR means floor area ratio.



Two things are expected to change this situation. A recent rule change in the Countywide Rules establishes densities for temporary lodging units. Along with the adoption of the Special Area Plan, the ability to mix uses within the Commercial Core and areas zoned C-3 or C-4 within the Causeway District without applying the calculation regarding proportion to the amount of the site in each use will encourage development and redevelopment. While such a change could have the potential for significant increases in development, other factors will continue to limit the amount of development. For example, height limits and impervious surface coverage standards both serve to place a limit on the amount of development possible on a site. What does change as a result of removing the requirement for proportional development is that mixed uses are much more likely in combinations that are responsive to market demands. Further, the evaluation of development for compliance with concurrency management requirements may limit total development, depending on the impacts expected and the operating levels of service at the time of development review.

The Comprehensive Plan as a whole has been based on maximum potential impacts from allowable development. When the maximum allowable development does not occur, there is available capacity for such facilities as services as water, sewer, and roads, as discussed above. Further, there is no net increase in development in the Town Center.

However, to further explain the likely impacts, a comparison of allowable development is provided.



Development Potential from Current Future Land Use Plan Categories.³

Current Land Use Category on the FLUM	Acres	Permanent Residential (units)	Temp. Lodging (units)	Non- residential (square feet)
Recreation / Open Space	17.5	0	0	0
Institutional	6.6	66	0	186,872
Resort Facilities Medium	22.9	412	1,718	648,391
Commercial General	30.0	450	1,800	718,740
Residential/Office/Retail	0.6	14	36	13,949
Transportation/Utility	3.2	0	0	0
TOTAL¹	80.1	943	3,554	1,567,942

The development potential is for either permanent residential units, or temporary lodging units, or commercial/office development. If a combination of uses is developed, each use is allowed in proportion to the portion of the development site devoted to that use. The above description of maximum development potential has not been adjusted for the potential reductions in development due to provision of parking, stormwater facilities, site amenities, or response to market demands, all of which reduce the potential maximum. The trend in development has been to develop approximately 75% of the maximum possible. This is an average across all land uses and does not necessarily apply to an individual site.

³ The information in this table represents the adopted Future Land Use Map categories and acreage in place prior to the adoption of the Town Center Plan.



Development Potential from Proposed Town Center Plan⁴

Town Center Districts	Acres	Permanent Residential (Units)	Temp. lodging (Units)	Non-residential (Square feet)
Beachfront	8.4	126	252	201,247
Causeway	23.3	350	1,398	558,221
Commercial Core	20.0	300	1,200	1,045,440
Peninsula	25.2	378	378	329,314
Transition	3.1	47	186	74,270
TOTAL¹	80.0	1,200	3,414	2,208,492

Development Potential Differences

	Permanent Residential (units)	Temp. Lodging (units)	Non-residential (square feet)
Current Land Use	943	3,554	1,567,942
Category on the FLUM Town Center Districts	1,200	3,414	2,208,492
TOTAL DIFFERENCE	257	-140	640,550

The difference in maximum development potential in the Town Center planning area is a 27% increase in permanent residential units, a 4% decrease in temporary lodging units, and a 41% increase in non-residential square footage.

To better understand the actual impact of the plan amendment, the current use of the land and the probability of redevelopment must be further examined.

Approximately 3.68 acres of the Beachfront District is a park which was deeded to the City by the National Park Service. The City of Madeira Beach Charter, Section 1.7 "Limitation on exercise of

⁴ The information in this table represents the Planned Redevelopment – Mixed Use Future Land Use category and associated Districts, and acreage in place as adopted in the Town Center Plan.



powers” requires a referendum vote of the electors of the City prior to the sale or any real property possessed by the City. Due to public ownership of 3.68 acres of land, there are approximately 55 permanent residential units and 110 temporary lodging units which will not be developed as a result of this future land use map amendment.

Looking at the Peninsula District, 19.78 acres of public property provides facilities for the Gulf Beaches Public Library, City Hall, Madeira Beach Fire and Recreation Department. These facilities total 23,761 square feet of development. The Trustees of the Internal Improvement Fund of the State of Florida (Instrument No. 22473(617-52) granted this parcel of land to the City in 1960. Under this agreement, the City cannot sell or lease any part of the property for any private use or purpose. The land can only be used for public purposes. There is redevelopment potential in the Peninsula District for additional public facilities and services. The area however will not be converted to any other use. This 19.78 acre site will not realize any loss of temporary lodging units or gain of permanent residential units as a result of this plan amendment. Due to public ownership of 19.78 acres of land, there are approximately 296 permanent residential units and 296 temporary lodging units which will not be developed as a result of the future land use map amendment.

There are two publicly owned parcels of land in the Causeway District. The Madeira Beach Causeway Park is 1.53 acres in size. The land was acquired through the Florida Communities Trust Fund. There is a recorded deed-restriction on the property permitting only public passive recreational use.

The public works / municipal marina complex is approximately 5.74 acres. The structures on the City’s property total 9452 square feet. As established in the City of Madeira Beach Charter a referendum vote of the electors is required prior to the sale of any real property possessed by the City. Plans are underway to redevelopment the property for use of the municipal marina. There will be no opportunity for the development of temporary lodging or permanent dwelling units on this site.



Due to public ownership of 7.27 acres of land in the Causeway District, there are approximately 115 permanent residential units and 436 temporary lodging units which will not be developed in the future.

In summary, the public ownership of property in Town Center will eliminate up to 466 permanent residential units from development or redevelopment in the future.

The current future land use map anticipated the development of 3554 temporary lodging units. Looking at the Beachfront District, there are a total of 204 residential condominium units, 160 units in Ocean Sands and 44 units in the Sereno. In other words, 4.72 acres were built as permanent residential units rather than 354 temporary lodging units. Similarly in the Peninsula District, the Madeira Beach Yacht Club was built as 284 permanent units on 5.42 acres rather than 406 temporary lodging units. Each of these condominium developments are owned by individual unit owners. The only way to redevelop or change the use of the development is to gain agreement from all owners or for one entity to purchase all units to control the entire project. Although the “Development Potential Differences” from current to proposed shows a loss of temporary lodging units, in actuality the current future land use map overstated the development potential of temporary lodging units by at least 760 units.

Potable Water

The projections for potable water use indicate a continued decrease in water use within the next years. Data from Pinellas County Comprehensive Plan, Potable Water Supply, Wastewater, and Reuse Element, January 2013, the provider of potable water service to the City of Madeira Beach, shows that the level of service for potable water continues to decline. In 2012, it was estimated to be 119 gallons per capita per day (gpcpd), and is forecast to be 115 gpcpd in 2025. This is due in part to use of reclaimed water, conservation efforts, and restrictions from the Southwest Florida Water Management District. In a recent amendment to the Madeira Beach Comprehensive Plan additional policies were adopted to ensure coordination between the City and Pinellas County Utilities regarding availability of potable water. However, it is further estimated that redevelopment within the Town Center will result in an increased demand for water over the planning period. Water demand is expected to be an additional 271,054 gallons per day.



Unit quantity and type		2005 Level of-service	Potable water demand
257 permanent dwelling units	1.78 Persons /household	137 gpcpd	62,672 gallons/day
640,550 non-residential sq. footage		0.23 gal/sq ft	147,327 gals/day
-140 temporary lodging units (342sq ft / unit)		0.23 gal/sq ft	-11,012 gals/day
		TOTAL POTABLE WATER DEMAND	198,987 gals/day

The City of Madeira Beach receives all potable water supplies, treatment, and distribution from Pinellas County Utilities. Through an interlocal agreement and master water supply contract, Tampa Bay Water, the regional water supply authority, provides all the potable water needed by its six member governments, including Pinellas County Utilities as an operational entity within Pinellas County. Through the agreement and contract, “Tampa Bay Water is obligated to meet the current and future water needs of its member governments”. In order to meet these needs, Tampa Bay Water owns and operates water supply facilities including well fields, surface water withdrawals, a seawater desalination facility, treatment facilities, storage facilities such as the off-stream reservoir, pumping stations, and transmission mains.” (*Regional Water Supply Plan*, page 8)

No proportional capacities are calculated for individual retail water customers by either Tampa Bay Water, the Southwest Florida Water Management District (SWFWMD), or Pinellas County Utilities. As a result, projection of demand is not made separately for Madeira Beach. Madeira Beach’s potable water demand is included in the aggregate demand data and projections for Pinellas County Utilities, the potable water service provider. The water demand data provided in the SWFWMD *Regional Water Supply Plan* is the best available data. The population projections used by the SWFWMD are essentially the same as the county projections that include seasonal and tourist data.

As discussed earlier, the public ownership of property in Town Center will eliminate up to 466 permanent residential units from development or redevelopment in the future. For purposes of calculating impact, the number of permanent dwelling units is reduced from +257 to -209. The potable water demand is -50,966gallons per day for permanent dwelling units thus lessening the demand to 166,088 gallons per day. This should be considered a worse case scenario.

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This Special Area Plan serves as a long range redevelopment plan for Town Center. The redevelopment projects may take 10 years or more to complete. The trend is toward reduced water use. Over time, the use of reclaimed water, conservation efforts, and restrictions from the Southwest Florida Water Management District may further reduce the potable water demand.

Wastewater Treatment

The City receives wastewater collection and treatment services from Pinellas County Utilities. The Pinellas County Comprehensive Plan contains information to show that total plan capacity is determined to be adequate for build out conditions throughout the county. However, it is further estimated that redevelopment within the Town Center will result in an increased generation of sewerage over the planning period. Sewerage generated is expected to be 90% of potable water demand equating to an additional 149,479 gallons per day. The existing South Cross Bayou Wastewater Treatment Plant has a design capacity of 33 million gallons. It is operating at approximately 65% of capacity or 21.42 million gallons per day. The potential increase of 149,479 gallons per day from this future land use map amendment represents an increase of 0.45 percent, well within the capacity of the treatment plant.

Transportation

The Town Center Special Area Plan is designed to increase pedestrian and bicycle connections, safety, and use. By increasing the mix of uses to include temporary lodging units, residential, and commercial within the Town Center, there is expected to be some reduction in the dependence on vehicle trips. This is often referred to as a “capture” of vehicle trips from within a mixed-use area. The result is less vehicle trips than from other less compact areas with stand-alone uses that must each be accessed from a personal vehicle over greater distances.



Transportation Comparison

Current Future Land Use Category	Acres	Vehicle Trips Trip Rate/Acre	Trips
Recreation / Open Space	16.6	4.3	71
Institutional	6.6	192	1,267
Resort Facilities Medium	22.9	178	4,076
Commercial General	30.0	487	14,610
Residential/Office/Retail	0.8	339	271
Transportation/Utility	3.2	18	58
TOTAL	80.1		20,354
Proposed PR-MU Land Use Category Districts			
Beachfront	8.4	487	4,091
Causeway	23.3	178	4,147
Commercial Core	20.0	331	6,620
Peninsula	25.2	178	4,486
Transition	3.1	487	1,510
TOTAL	80.0		20,854

Differences in Trips Per Day Per Acre

	Total Number of Vehicle Trips
Current Land Use Category on the FLUM	20,354
Town Center Districts	20,854
TOTAL DIFFERENCE	500
(expected new daily vehicle trips)	

The difference in the expected number of trips shown in this table is insignificant. However, it is not possible to forecast the specific mix of uses, timing of redevelopment and the change in the distribution of traffic among transit, vehicle trips, pedestrian, and bicycle use during this comprehensive planning stage. Even though this analysis indicates that the expected impacts will be insignificant, the City will continue to rely on provisions in its comprehensive plan and land development regulations to ensure maintenance of the adopted level of service.

**SPECIAL AREA PLAN**

Further, the comprehensive plan requires a transportation analysis where access by development is requested to a road that is the jurisdiction of the State of Florida and there can be no issuance of development orders until the FDOT has completed a review. Additionally, the City will continue to rely on traffic analysis and concurrency management provisions contained in the comprehensive plan and land development regulations to evaluate potential impacts during redevelopment. This will ensure that an individual development or redevelopment proposal does not reduce the required level of service for the facilities subject to concurrency.

Recreation

The 21% increase in the number of residential units expected as a result of the adoption of this Special Area Plan is not expected to lower the existing recreation level of service. The level of service standard for the City is 6.5 acres of recreation and open space per 1000 residents. There are 29.6 acres of land comprised of several parks with beach access to the Gulf of Mexico, Rex Place and Madeira Beach Causeway Park. Additionally, there is 22.4 acres of land designated Preservation. This is the City's beach, specifically the area west of the coastal construction line. In total, the open space and preservation areas of the community can accommodate a population of 8000, according to the current level of service standard.

Stormwater Management

The City requires compliance with the adopted stormwater management level of service and will implement the limitations on impervious surfaces according to the standards included in this Special Area Plan and administered by the land development regulations. Through redevelopment as outlined in this Plan, drainage on sites developed prior to the current standards will be improved, as much of the current development in the Town Square exceeds the current and proposed standards. This will include the reduction of impervious surfaces, an increase in landscaping to retain and filter stormwater, and the inclusion of stormwater detention and retention facilities that are designed to remove the pollutants found in stormwater and to reduce potential flooding in the area through the reduction of the volume of stormwater leaving the site during heavy storm events.



Coastal High Hazard Area The 257 permanent residential dwelling units cited as the “Development Potential Differences” from current to proposed will not become a reality due to the amount of land under public ownership and the specific conditions established for each of those parcels of land. There are 38 acres of land under public ownership which will not be developed with permanent residential uses. This will eliminate up to 466 permanent residential units from development or redevelopment in the future.



ADDENDUM TO APPENDIX B – INFRASTRUCTURE ANALYSIS

Introduction

This Addendum to appendix B is prepared in concert with and support of Ordinance 2014-07.

Background

Appendix B was prepared and included as part of the Town Center Special Area Plan adopted by Ordinance 1151 in 2009. Its basic purpose and approach was to compare the hypothetical maximum development potential under the then current Future Land Use Plan categories with the proposed Planned Redevelopment-Mixed Use (PR-MU) plan category and its five character sub-districts. Based on this comparison of maximum potential development, the impacts on and capacity of the City's infrastructure – including water, waste water, transportation, recreation, stormwater management, and the considerations related to the coastal high hazard area – were evaluated.

While this provided a useful foundation for attempting to understand how the proposed Town Center Special Area Plan differed from the plan in place in 2009, the issue to be addressed in this Addendum is how the amendments proposed in Ordinance 2014-07 change the development potential from what was approved and has been in place for the last five years.

Summary Description of Proposed Changes

There are two proposed changes to the Town Center Special Area Plan as follows:

1. To allow for consideration of the higher density/intensity standards for temporary lodging use consistent with the standards for Resort Facilities High (RFH), subject to rezoning using the PD, Planned Development zoning district, in the Commercial Core and enumerated portions of the Causeway districts only.
2. To allow for “additive” density/intensity; i.e., to allow a combination of residential, temporary lodging and commercial use without requiring each separate use to be calculated in proportion to the percentage of parcel area it occupies for the purpose of determining permitted density/intensity, subject again to such property being rezoned under the PD, Planned Development zoning district, which provision is a change only in the enumerated portions of the Causeway District.

Summary Assessment of Proposed Changes

Based on the amendments to the Town Center Special Area Plan in Ordinance 2014-07, changes to the estimated overall development potential and their relationship to the identified infrastructure facilities are not significant.

Specifically, the small amount of privately owned acreage in the C-3 and C-4 zoning districts of the Causeway District (approximately 6.02 acres) to which the “additive”



SPECIAL AREA PLAN

density/intensity applies; and the limited number of parcels in either the Commercial Core or Causeway districts that have the potential to be redeveloped at the higher density/intensity for temporary lodging use (both because of their current use and their size), is very limited; and any corresponding increase to the impact on the City's infrastructure would be correspondingly small.

In addition, it is important to note that either of the two types of amendment to the Town Center Special Area Plan provided for in Ordinance 2014-07 would require public hearings, rezoning using the PD, Planned Development process and a Development Agreement, providing ample opportunity to assess and limit each project relative to its infrastructure impacts and assuring that the City's required level of service be maintained consistent with the concurrency management requirement of the Plan and Code.

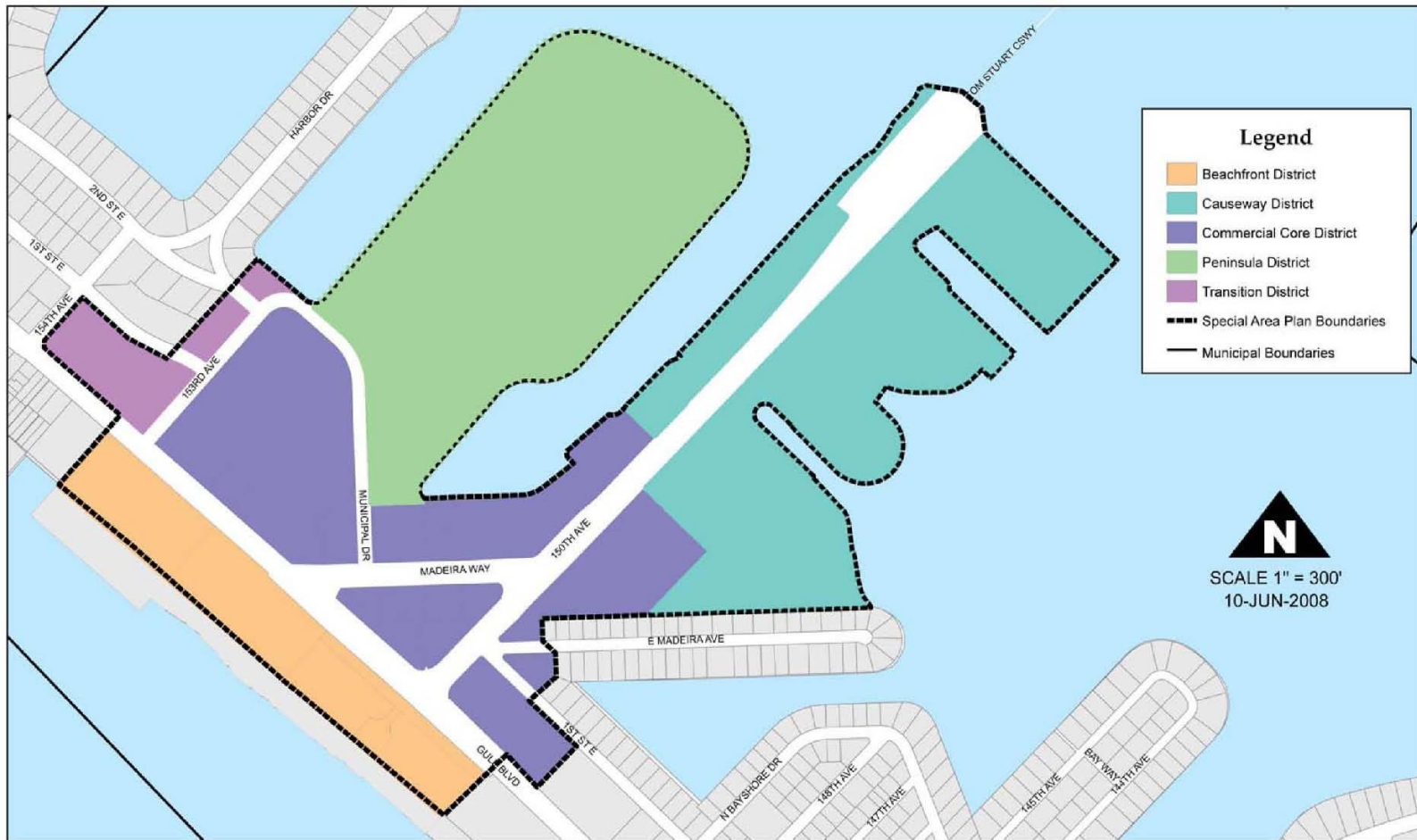
In brief, while there is no absolute means of projecting and quantifying the specific impacts that the changes provided for in Ordinance 2014-07 may yield, it is reasonable to conclude they will not exceed the capacity of the City's infrastructure, based on the previous assessment of maximum development potential, and that there is a definitive process in place to assure that they cannot and will not be allowed to do so.

Endnotes

1. Madeira Beach Comprehensive Plan, May 2008.
2. Densities are expressed as units per acre.
3. FAR means floor area ratio.
4. The amendments to the Commercial Core and the C-3 and C-4 zoning districts of the Causeway districts in ordinance 2014-07 will permit consideration of the higher density/intensity standards for temporary lodging use as provided for in the Resort Facilities High 9RFS) plan category of the C9omprehensive Plan.
5. The information in this table represents the adopted Future Land use Map categories and acreage in place prior to the adoption of the Town Center Plan.
6. The information in these tables represent the Planned Redevelopment-Mixed Use Future Land Category and associated Districts, and acreage in place as originally adopted in the Town Center Plan; except where noted in relationship to the number of temporary lodging units. The number so noted could increase, based on the number of temporary lodging units and their corresponding impacts, as a function of the provision for increased density/intensity for temporary lodging use in the Commercial Core and enumerated portion of the Causeway districts pursuant to Ordinance 2014-04.
- ~~7. These numbers have the potential to increase the number of temporary lodging units based on the provision for increased density/intensity for temporary lodging use in the Commercial core and a portion of the Cause districts pursuant to Ordinance 2014-07.~~
8. U.S. Census Bureau, American Community Survey, 5-Year Estimates, March 2014.
9. Pinellas County Ordinance No. 13-36, Section 134-258. Level of Service Conditions – for Utilities, Recreation/Open Space, Stormwater, Roadways and Mass Transit, December 2013.
10. Countywide Plan Rules, Pinellas Planning Council, February 3, 2014.



City of Madeira Beach Special Area Plan Town Center Character Districts



Prepared by the Pinellas Planning Council with data provided by the Pinellas County Information Systems Department and the City of Madeira Beach. The data contained herein is offered "as is", with no claim or warranty as to its accuracy or completeness. The data is for reference only and should not be considered to be of survey precision. None of the information is official source documentation. While considerable effort is made to verify the information, due to its volume and highly dynamic nature, only the official source documents should be used where accuracy, completeness and currency are required.



Appendix C – Local Adoption Process

The City of Madeira Beach began the development of a plan for the Town Center in 2001. Through a series of charrettes and meetings with land owners in the Town Center, preliminary ideas were developed regarding future development. More recently the project was resumed and the following events have been held.

July 14, 2008	Joint Workshop with the Madeira Beach Board of Commissioners and the Planning Commission
Oct. 13, 2008	Public Hearing before the Planning Commission – recommended approval of amendment of the Future Land Use Map in the Comprehensive Plan and recommend local adoption of the Special Area Plan
Oct. 28, 2008	Public Hearing before the Board of Commissioners to approve amendment of the Future Land Use Map, transmittal of the proposed FLUM amendment to the Department of Community Affairs (DCA), and application to PPC for amendment of the Countywide Plan Map
March 3, 2009	Workshop, regarding the DCA review of the FLU amendment
March 9, 2009	LPA Public Hearing. Recommended approval of Special Area Plan to the Board of Commissioners.
May 5, 2009	Workshop, regarding PPC review of the Special Area Plan
May 11, 2009	LPA Public Hearing for revised Special Area Plan.
May 12, 2009	1 st Reading of Ordinance to Adopt the Special Area Plan and to Transmit Special Area Plan to the Pinellas Planning Council
September 21, 2009	2 nd Reading of Ordinance and Public Hearing before the Board of Commissioners to adopt the FLUM Amendment (ordinance) and 2 nd
ORD #1151	Reading of Ordinance and Public Hearing to adopt the Special Area Plan.



Appendix D – Special Area Plans and the Countywide Rules

The Countywide Rules require that certain items be addressed prior to application of any Planned Redevelopment Future Land Use Plan map category at the local level.

4.2.7.5.1 Special Area Plans Required. A proposed amendment of the Countywide Plan Map to Residential Very High, Activity Center, Community Redevelopment District, Central Business District, or the Planned Redevelopment categories of Residential, Mixed Use, Commercial, or Industrial shall require a special area plan. Such special area plan shall be approved by official action of the legislative body of the local government in support of the proposed category, in a form sufficient to ensure compliance with the special area plan. The special area plan shall include, at a minimum, information addressing the following:

A. Plan Issues and Objectives

- 1 Existing land use and related characteristics of the area (see Appendix A);
- 2 Issues to be addressed by the plan (see Chapter 1); and
- 3 Plan objectives in relationship to the local government comprehensive plan and Pinellas by Design: An Economic Development and Redevelopment Plan for the Pinellas Community (see Chapter 1).

B. Plan Composition

- 1 Permitted uses and any differentiation by location (see Chapter 1);
- 2 Density/intensity standards for permitted uses (see Chapter 1);
- 3 Design guidelines, if any, appropriate to the plan (see Chapter 3);
- 4 Affordable housing provisions, if any, appropriate to the plan (not applicable);
- 5 Mixed-use provisions, if any, appropriate to the plan (see Chapter 2);
- 6 Special provision for mobility and circulation, including mass transit, access management, parking, pedestrians, and bicycles (throughout Special Area Plan);
- 7 Identification of and reference to land development regulations that implement the plan (see Chapter 1);
- 8 Public and/or private improvements, contributions and/or incentives, if any, appropriate to the plan (see Chapter 3); and
- 9 The local government plan approval process (see Appendix C).



C. Plan Impacts

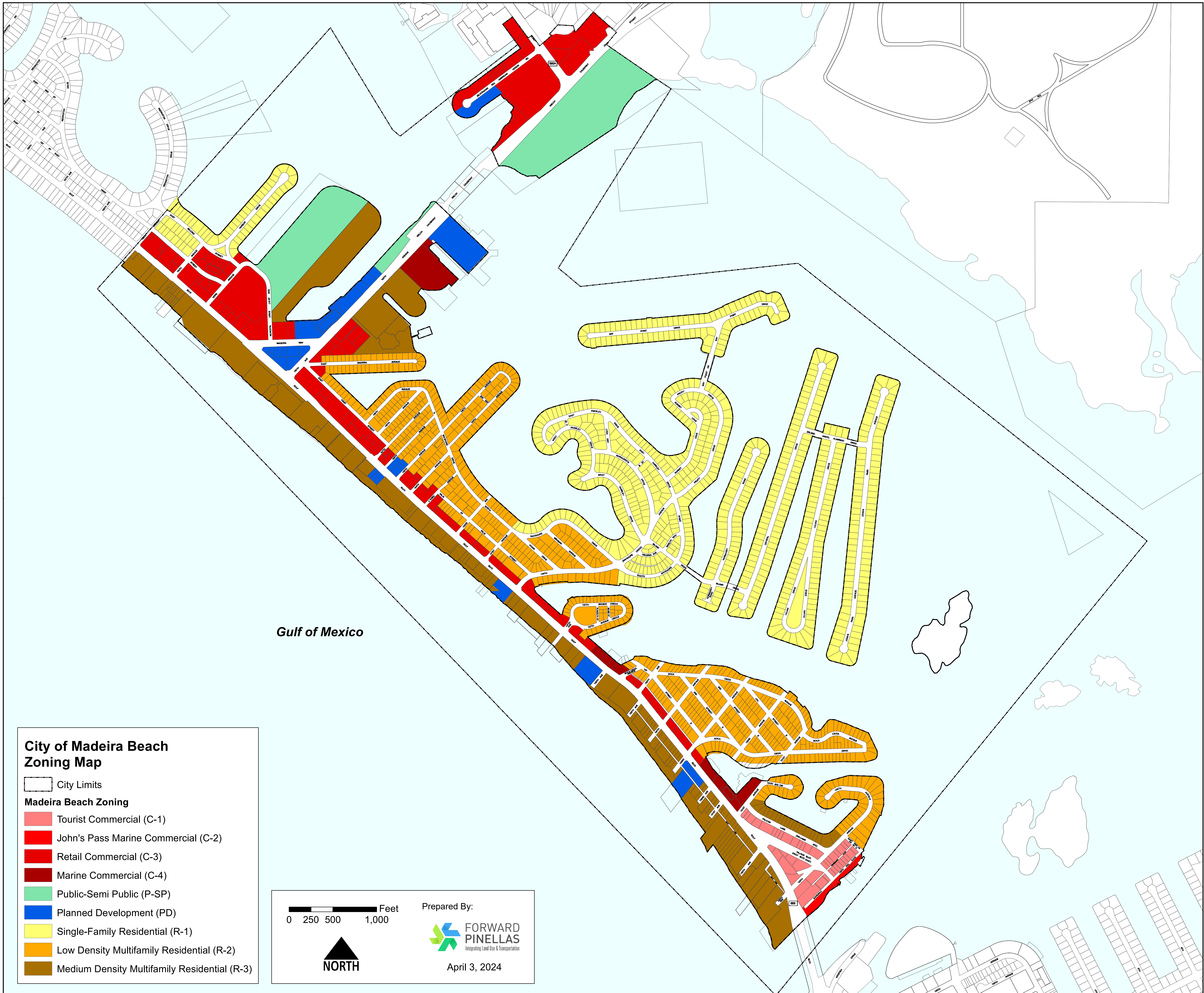
- 1 Identification of water, sewer, and stormwater drainage impacts that may be anticipated based on the plan, identification of overall system capacities, and an analysis of the difference between these anticipated impacts on the systems as compared to the impacts based on the current Countywide Plan Map designations (see Appendix B); and
- 2 Relevant Countywide Consideration, as enumerated in Sections 5.5.3.1.1 through 5.5.3.1.6 (see Appendix D).

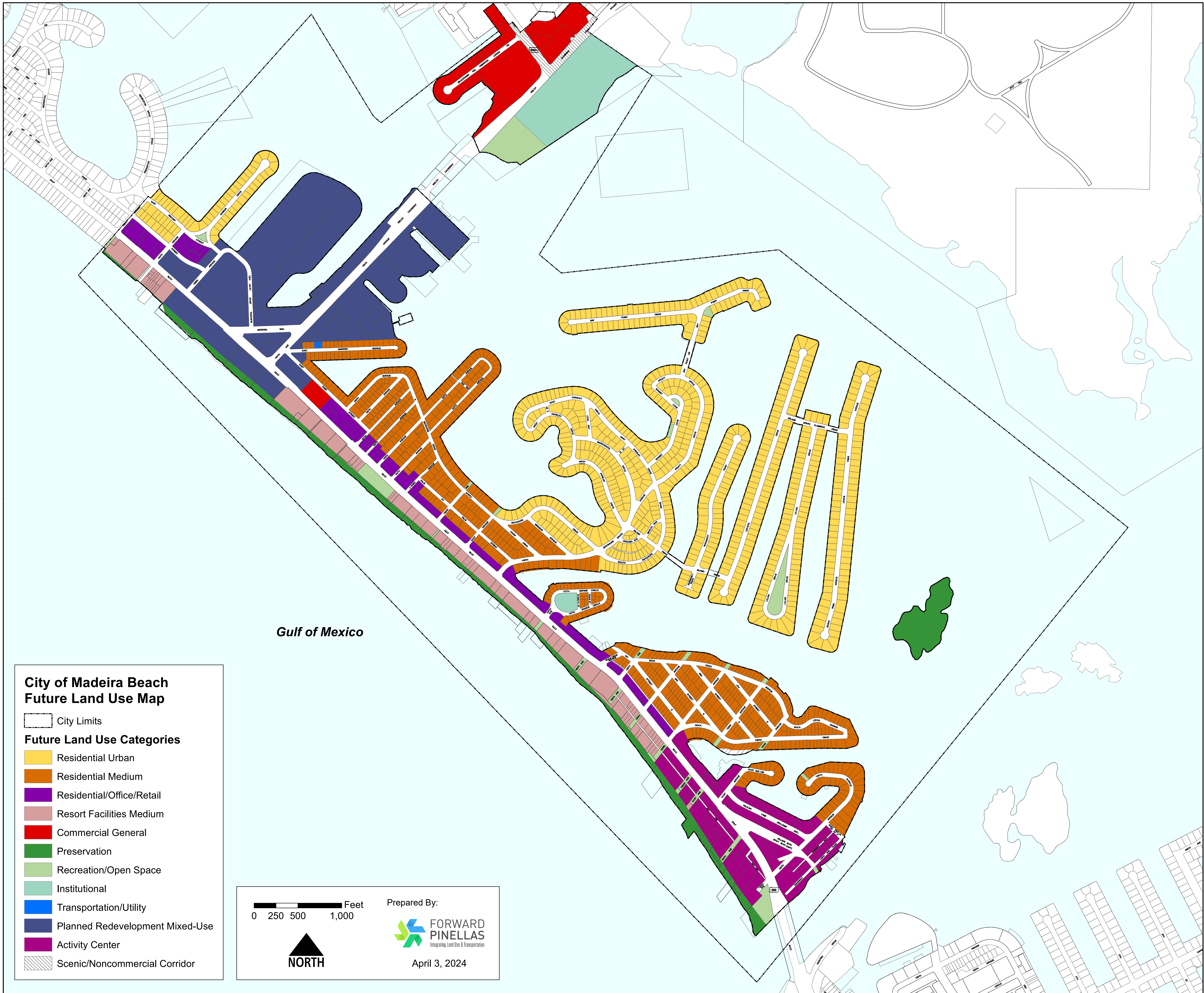
The special area plan must address the above items in one document, but to accomplish this local government may reference other documents (e.g., the local government's comprehensive plan or implementing land development regulations) as appropriate.

The proposed Countywide Plan Map amendment, along with the special area plan, shall be reviewed in accordance with the provisions of Article 5 of these Countywide Rules.

4.2.7.5.2 Progress Assessment. The local government shall provide an assessment of the special area plan's progress with respect to its enumerated objective five years from the effective date of a countywide Plan map amendment for such special area plan, which report shall be submitted to the PPC and CPA for receipt and acceptance (see Chapter 1).









Memorandum

Meeting Details: July 1, 2024 – Planning Commission Meeting
Prepared For: Planning Commission
Staff Contact: Madeira Beach Community Development Department
Subject: John's Pass Village Activity Center Zoning Draft

Background

The City of Madeira Beach Board of Commissioners adopted Ordinance 2023-01 (John's Pass Village Activity Center Plan) and Ordinance 2023-02 (Amending FLUM to add John's Pass Village Activity Center) on March 13, 2024. These ordinances updated the Madeira Beach Comprehensive Plan and Future Land Use Map. Ordinance 2023-01 and Ordinance 2023-02 did not change the Land Development Regulations (LDRs) in the Madeira Beach Code of Ordinances or amend the Madeira Beach Zoning Map. The Madeira Beach Code of Ordinances LDRs and Madeira Beach Zoning Map must be amended within one (1) year of the adoption of the John's Pass Village (JPV) Activity Center Plan and amendment to the City's Future Land Use Map.

Discussion

The City of Madeira Beach Community Development Department held three JPV Zoning Public Workshops on April 13th, April 18th, and April 20th. City staff presented each character district to explain the characteristics, existing structures, and current zoning requirements. Participants were broken up into groups, each group discussed potential zoning requirements and important features around each character district. In general participants preferred the following concepts:

- Protect the existing built environment and characteristics of JPV and nearby neighborhoods.
- Maintain height limits similar to existing built structures, but do not increase height limits to be as high as previously approved Planned Developments or variances.

- Focus on pedestrian friendly designs that enhance walkability.

Based on feedback from these workshops, city staff developed a rough draft of the land development regulations (LDRs) for the John's Pass Village Activity Center Plan (JPV). The LDRs for the JPV will be located in an appendix of the Madeira Beach Code of Ordinances. A map showing each Character District will be included in the appendix. Each Character District will have standards and regulations related to principle uses, accessory uses, setbacks, height, densities/intensities, impervious surface ratio, and design guidelines. The various standards and regulations will each have their own section within the appendix.

Fiscal Impact

N/A

Recommendation(s)

City Staff would like input from the Planning Commission on any additional suggestions that could be included in the draft LDRs for the JPVAC Zoning District.

Attachments/Corresponding Documents

John's Pass Village Activity Center LDRs Draft

John's Pass Village Zoning Summary Workshop Worksheet

Existing Zoning for John's Pass Village Activity Center Map

John's Pass Village Activity Center Character District Map

Appendix D -John's Pass Village Activity Center Development Standards

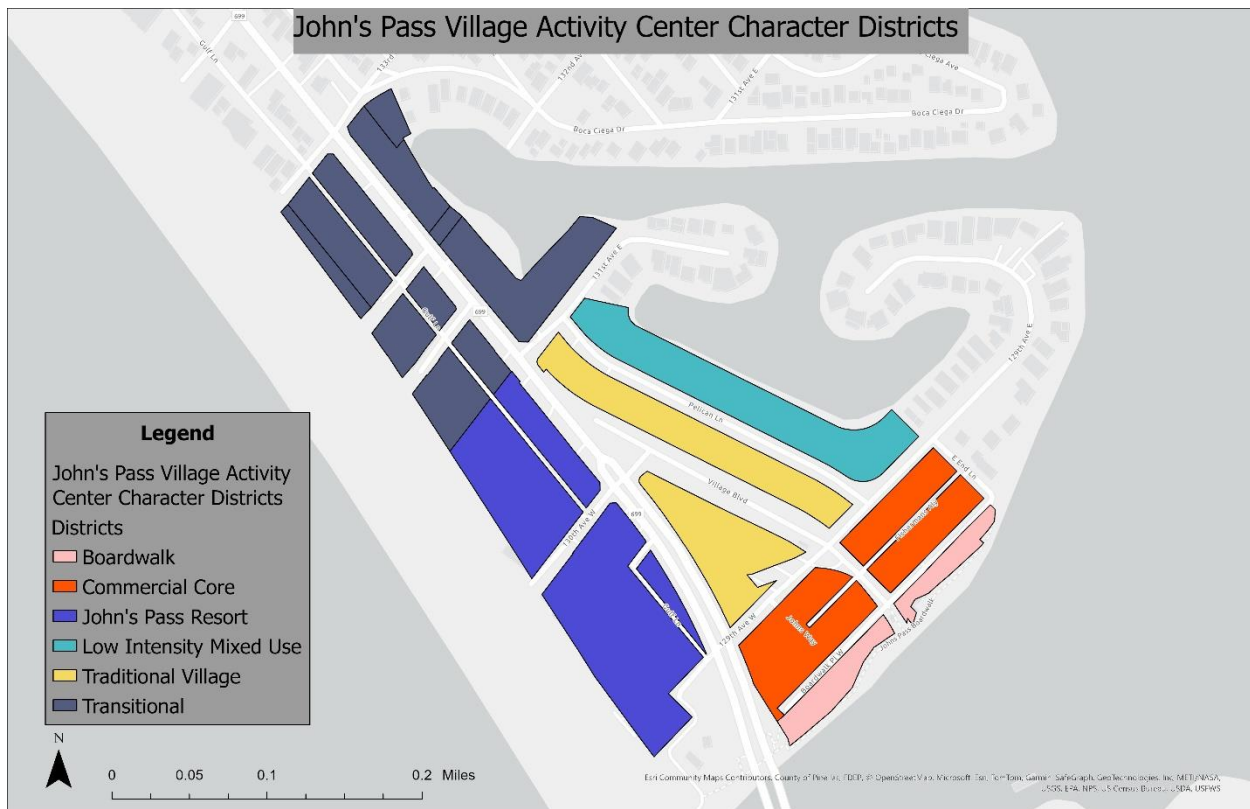
Division 1. General Provisions

Section D-101. – Definition; Intent Purpose and Intent.

The John's Pass Village Activity Center Development Standards are land development regulations that establish the standards and means to preserve and rebuild the existing character, uses, and density/intensity of John's Pass Village, reconcile inconsistencies among existing land use characteristics, and provides development standards to make sure redevelopment is compatible with existing development. The John's Pass Village Activity Center Development Standards are a comprehensive attempt to memorialize the character and function of this tourist, commercial, and cultural center, and to provide for future enhancement and revitalization.

Section D-102. – Relation to the Comprehensive Plan, Zoning District, and Character Districts.

Figure 1. Character Districts



Section D-103. – Principal Uses.

Subject to the provisions or restrictions contained in this section and elsewhere in this Code, permitted uses in the John's Pass Village District are as follows:

- 1) Boardwalk:
 - a. Personal service, office, and office support, excluding drive-through windows.
 - b. Retail commercial, business service, and commercial, excluding drive-through windows.
 - c. Restaurants, excluding drive-through windows.
 - d. Commercial recreation.
 - e. Commercial fishing activities and working waterfront.
 - f. Charter and party boat operations.
- 2) Commercial Core:
 - a. Residential and vacation rental located above first floor commercial use.
 - b. Temporary lodging located above first floor commercial use.
 - c. Personal service, office, and office support, excluding drive-through windows.
 - d. Retail commercial, business service, and commercial, excluding drive-through windows.
 - e. Restaurants, excluding drive-through windows.
 - f. Commercial recreation.
- 3) John's Pass Resort:
 - a. Residential and vacation rental
 - b. Temporary lodging.
 - c. Publicly owned or operated parks and recreation areas.
 - d. Institutional.
- 4) Low Intensity Mixed Use:
 - a. Residential and vacation rental
 - b. Temporary lodging.
 - c. Publicly owned or operated parks and recreation areas.
 - d. Institutional.
- 5) Traditional Village:
 - a. Residential and vacation rental located above first floor commercial use.
 - b. Temporary lodging located above first floor commercial use.
 - c. Personal service, office, and office support, excluding drive-through windows.
 - d. Retail commercial, business service, and commercial, excluding drive-through windows.
 - e. Restaurants, excluding drive-through windows.
 - f. Commercial recreation.
- 6) Transitional:
 - a. Residential and vacation rental
 - b. Temporary lodging.

- c. Publicly owned or operated parks and recreation areas.
- d. Institutional.
- e. Retail commercial, personal service, business service, and restaurants only on the east side of Gulf Boulevard.

Section D-104. – Accessory uses.

The accessory uses in the John's Pass Village District are as follows:

- 1) Boardwalk:
 - a. Off-street parking
 - b. Nonresidential signs.
 - c. Essential services.
 - d. Other customary accessory uses ancillary to the principal uses.
- 2) Commercial Core:
 - a. Swimming pools or cabanas used as bath houses.
 - b. Essential services.
 - c. Nonresidential signs.
 - d. Off-street parking and loading.
- 3) John's Pass Resort:
 - a. Restaurants, excluding drive-through windows.
 - b. Retail commercial and business service, excluding drive-through windows.
 - c. Swimming pools or cabanas used as bath houses.
 - d. Home occupation.
 - e. Private garages and carports.
- 4) Low Intensity Mixed Use:
 - a. Swimming pools or cabanas used as bath houses.
 - b. Home occupation.
 - c. Private garages and carports.
- 5) Traditional Village:
 - a. Swimming pools or cabanas used as bath houses.
 - b. Essential services.
 - c. Nonresidential signs.
 - d. Off-street parking and loading.
- 6) Transitional:
 - a. East side of Gulf Boulevard
 - i. Restaurants, excluding drive-through windows.
 - ii. Retail commercial and business service, excluding drive-through windows.
 - iii. Off-street parking and loading/unloading

- iv. Boat slips associated with a permitted business use, not for rental or commercial marine activities
- v. Other accessory uses customarily permitted.
- b. West side of Gulf Boulevard
 - i. Swimming pools or cabanas used as bath houses.
 - ii. Home occupation.
 - iii. Private garages and carports, only allowed on the west side of Gulf Boulevard.
 - iv. Other accessory uses customarily permitted.
 - v. Retail commercial, personal service, business service, and restaurants excluding drive-through windows only on the east side of Gulf Boulevard.

Section D-105.- Special exception uses.

Upon application for a special exception to the special magistrate and favorable action thereon, the following uses may be permitted in the John's Pass Village District:

- 1) Boardwalk:
 - a. Exhibition of reptiles by permit.
 - b. Open rooftop use.
- 2) Commercial Core:
 - a. Exhibition of reptiles by permit.
 - b. Private social, recreational or fraternal clubs and organizations.
 - c. Publicly owned or operated parks or recreation areas.
 - d. Stand-alone parking lots and parking garages as a principal use.
 - e. Open rooftop use.
- 3) John's Pass Resort:
 - a. Retail commercial, restaurant, and personal service uses as a stand-alone use. Stand-alone commercial by special exception use can only front Gulf Boulevard.
 - b. Public service facilities.
 - c. Commercial recreation.
 - d. Open rooftop use.
- 4) Low Intensity Mixed Use:
 - a. Restaurants, excluding drive-through windows.
 - b. Retail commercial and business service, excluding drive-through windows.
 - c. Commercial recreation.
 - d. Open rooftop use.
- 5) Traditional Village:

- a. Exhibition of reptiles by permit.
 - b. Private social, recreational or fraternal clubs and organizations.
 - c. Publicly owned or operated parks or recreation areas.
 - d. Stand-alone parking lots and parking garages as a principal use.
 - e. Open rooftop use.
- 6) Transitional:
- a. Retail commercial, restaurant, and personal service uses as a stand-alone use. Stand-alone commercial uses by special exception use can only front Gulf Boulevard.
 - b. Public service facilities.
 - c. Commercial recreation.
 - d. Open rooftop use.
 - e. Outdoor storage areas, provided that the outdoor storage use is an accessory use, does not exceed 20 percent of the area of the building which is principal use on the site, and can only be on the east side of Gulf Boulevard.

Section D-106. -Building site area requirements.

The minimum building site area requirements are as follows:

- 1) Boardwalk:
 - a. Lot width: 40 feet.
 - b. Lot depth: 50 feet
- 2) Commercial Core:
 - a. Lot width: 40 feet.
 - b. Lot depth: 80 feet.
- 3) John's Pass Resort:
 - a. Single-family, duplex, triplex: 40 feet in lot width
 - b. Multifamily and temporary lodging: 60 feet in lot width
 - c. Stand-alone commercial: 60 feet in lot width
- 4) Low Intensity Mixed Use:
 - a. Single-family, duplex, triplex: 40 feet in lot width
 - b. Multifamily and temporary lodging: 60 feet in lot width
- 5) Traditional Village:
 - a. Lot width: 40 feet.
 - b. Lot depth: 75 feet.
- 6) Transitional:
 - a. Single-family, duplex, triplex: 40 feet in lot width
 - b. Multifamily and temporary lodging: 60 feet in lot width

- c. Stand-alone commercial: 60 feet in lot width
- d. Public service facilities: shall not exceed a maximum of five acres. Like uses or contiguous like uses in excess of this threshold shall require the parcel to be amended to the P-SP zoning district and the appropriate land use category.

Section D-107. – Setback requirements.

The following minimum and maximum setbacks shall apply in the John's Pass Village District:

1) Boardwalk:

- a. Front yard (Boardwalk Place): 10 feet.
- b. Side yard:
 - i. Lots equal to or less than 60 feet wide: 0 feet.
 - ii. Lots greater than 60 feet wide: 5 foot setback on one side.
- c. Rear yard or waterfront yard: no setback, however access to the “tie-backs” supporting seawalls must be provided for maintenance.
- d. For multiple story buildings, a ten-foot minimum step back behind the front facade of the building shall be required for stories above the second story for portions of a building facing or bordering a public right-of-way.

2) Commercial Core:

- a. Front yard:
 - i. Buildings one story high: 0 feet minimum to 10 feet maximum.
 - ii. Buildings two or more stories high: 10-foot setback with either a structured arcade/ covered walkway allowed in the setback or awning over the 10-foot setback. The second floor and above may have a structured porch within the setback.
 - iii. Awnings may protrude into the public right-of-way a maximum of 4 feet, with the liability and maintenance on the property owner.
- b. Side yard:
 - i. Lots less than 100 feet wide: none
 - ii. Lots 100 feet wide or greater: 10 feet on one side.
 - iii. For corner lots with a side yard along a street, the side setback along the street must be 10 feet.
- c. Rear yard: 20 feet.
- d. For multiple story buildings, a ten-foot minimum step back behind the primary facade of the building shall be required for stories above the

second floor for portions of a building facing or bordering a public right-of-way.

3) John's Pass Resort:

- a. Front yard:
 - i. Single-family, duplex, and triplex: 20 feet.
 - ii. Multifamily and temporary lodging: 25 feet.
- b. Rear yard:
 - i. The rear setback for lots less than 100 feet long is 18 feet.
 - ii. The rear setback for lots more than 100 feet long is 25 feet.
- c. Waterfront rear yard: For lots on the Gulf of Mexico, the setback shall be landward of the county coastal control line.
- d. Side yard:
 - i. Single-family, duplex, and triplex:
 - 1) Lots less than 50 feet in width, the minimum side yard setback is five feet.
 - 2) Lots 51 feet or greater in width, the minimum total side yard setback is 15 feet with a minimum of 7 feet on either side.
 - ii. Multifamily, temporary lodging, and retail commercial:
 - 1) The minimum side yard setback is ten feet for lots less than 120 feet wide.
 - 2) For lots between 120 to 240 feet wide, the minimum side yard setback is 15 feet.
 - 3) For lots wider than 240 feet, the minimum side yard setback is 20 feet.
- e. For multiple floor buildings, a ten-foot minimum step back behind the primary facade of the building shall be required for floors above the third floor for portions of a building facing or bordering a public right-of-way.

4) Low Intensity Mixed Use:

- a. Front yard: 20 feet.
- b. Rear yard: 18 feet.
- c. Side yard:
 - i. Lots equal to or less than 50 feet wide: 5 feet on each side.
 - ii. Lots greater than 50 feet wide: 10 feet on each side.
- d. For multiple story buildings, a ten-foot minimum step back behind the primary facade of the building shall be required for floors above the third floor for portions of a building facing or bordering a public right-of-way.

5) Traditional Village:

- a. Front yard: 0 feet minimum to 10 feet maximum.
- b. Rear yard: 10 feet.

- c. Side yard:
 - i. 0 feet.
 - ii. For lots with a side yard along a street, the side setback must be 10 feet along a street.
 - d. For multiple story buildings, a ten-foot minimum step back behind the primary facade of the building shall be required for stories above the second story for portions of a building facing or bordering a public right-of-way. Open access and use may be within this setback.
 - e. Awnings may protrude in the public right-of-way a maximum of 4 feet.
- 6) Transitional:
- a. Front yard:
 - i. Single-family, duplex, and triplex: 20 feet.
 - ii. Multifamily, temporary lodging, and commercial: 20 feet.
 - b. Rear yard:
 - i. Lots equal to or shorter than 100 feet in length: 18 feet.
 - ii. Lots greater than 100 feet in length: 25 feet.
 - iii. Waterfront lots on the Gulf of Mexico: landward of the county coastal control line (CCCL).
 - c. Side yard:
 - iii. Single-family, duplex, and triplex:
 - 1) Lots less than 50 feet in width, the minimum side yard setback is five feet.
 - 2) Lots 51 feet or greater in width, the minimum total side yard setback is 15 feet with a minimum of 7 feet on either side.
 - iv. Multifamily, temporary lodging, and retail commercial:
 - 1) The minimum side yard setback is ten feet for lots less than 120 feet wide.
 - 2) For lots wider than 120 feet but less than 240 feet, the minimum side yard setback is 15 feet.
 - 3) For lots wider than 240 feet, the minimum side yard setback is 20 feet.
 - d. For multiple story buildings, a ten-foot minimum step back behind the primary facade of the building shall be required for floors above the third floor for portions of a building facing or bordering a public right-of-way.

Section D-108. – Residential, vacation rental, and temporary lodging use density.

The following maximum densities are measured in units per acre and must also fall within the floor area ratio maximums allowed (Section D-109). If using the alternative temporary lodging use standards see Section D-110.

- 1) Boardwalk:

- a. Residential and vacation rental: 0 units per acre.
 - b. Temporary lodging: 0 units per acre.
- 2) Commercial Core:
 - a. Residential and vacation rental: 15 units per acre.
 - b. Temporary lodging: 60 units per acre.
 - c. Alternative temporary lodging use standards:
 - i. Lot area is less than one acre: 75 units per acre.
 - ii. Lot area is more than one acre: 87 units per acre.
- 3) John's Pass Resort:
 - a. Residential and vacation rental: 18 units per acre.
 - b. Temporary lodging: 60 units per acre.
 - c. Alternative temporary lodging use standards: 75 units per acre.
- 4) Low Intensity Mixed Use:
 - a. Residential and vacation rental: 18 units per acre.
 - b. Temporary lodging: 40 units per acre.
 - c. Alternative temporary lodging use standards: 60 units per acre.
- 5) Traditional Village:
 - a. Residential and vacation rental: 15 units per acre.
 - b. Temporary lodging: 45 units per acre.
- 6) Transitional:
 - a. Residential and vacation rental: 18 units per acre.
 - b. Temporary lodging: 50 units per acre.
 - c. Alternative temporary lodging use standards: 75 units per acre.

Figure xx. Maximum Residential Density

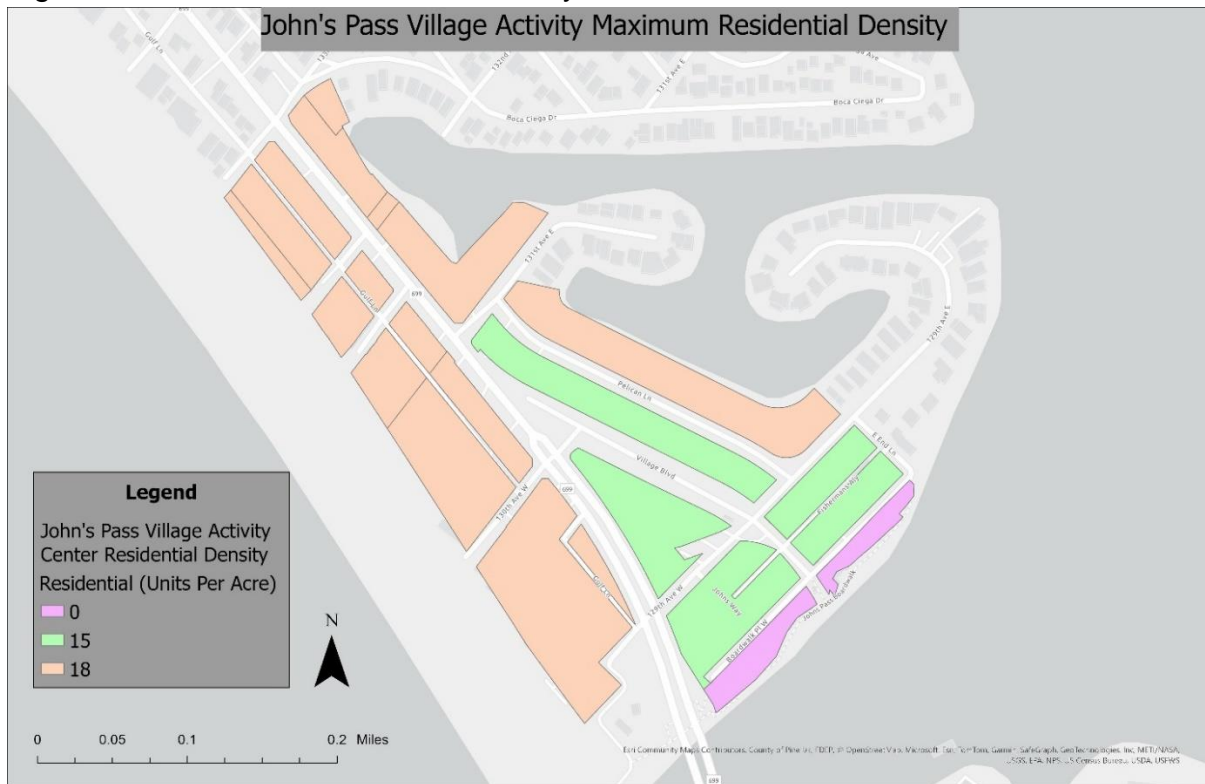
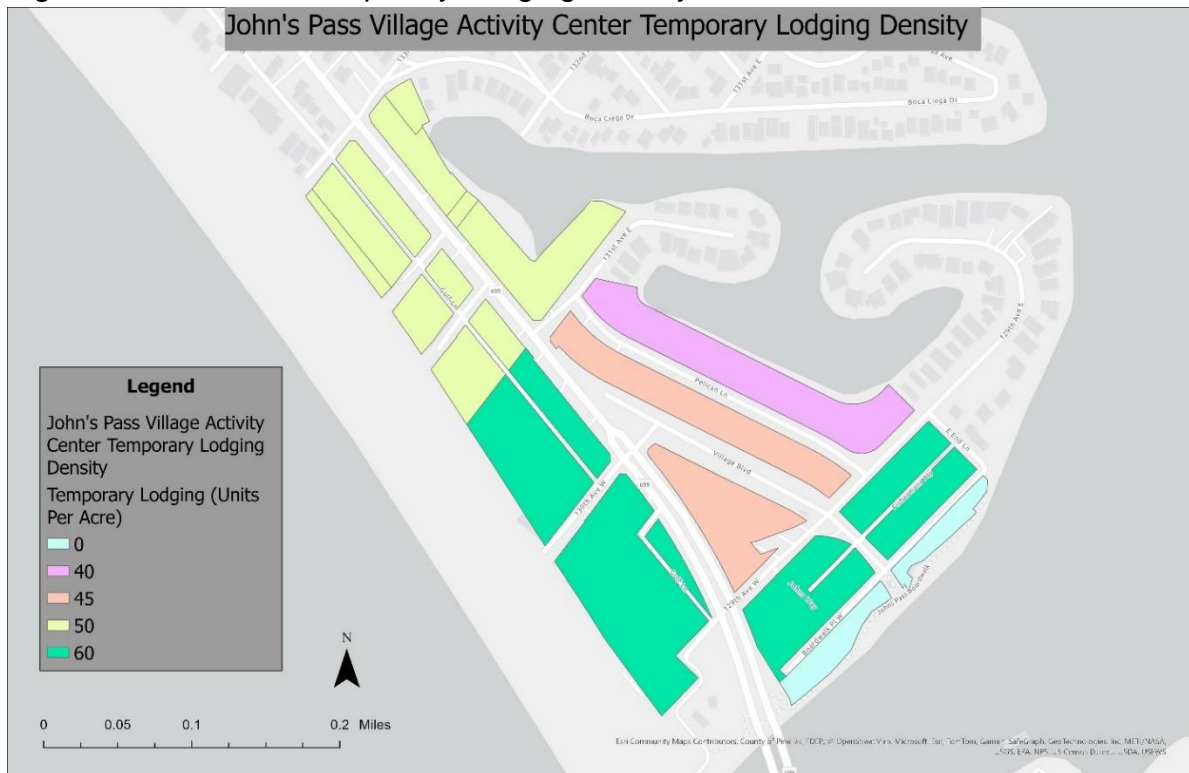


Figure xx. Maximum Temporary Lodging Density



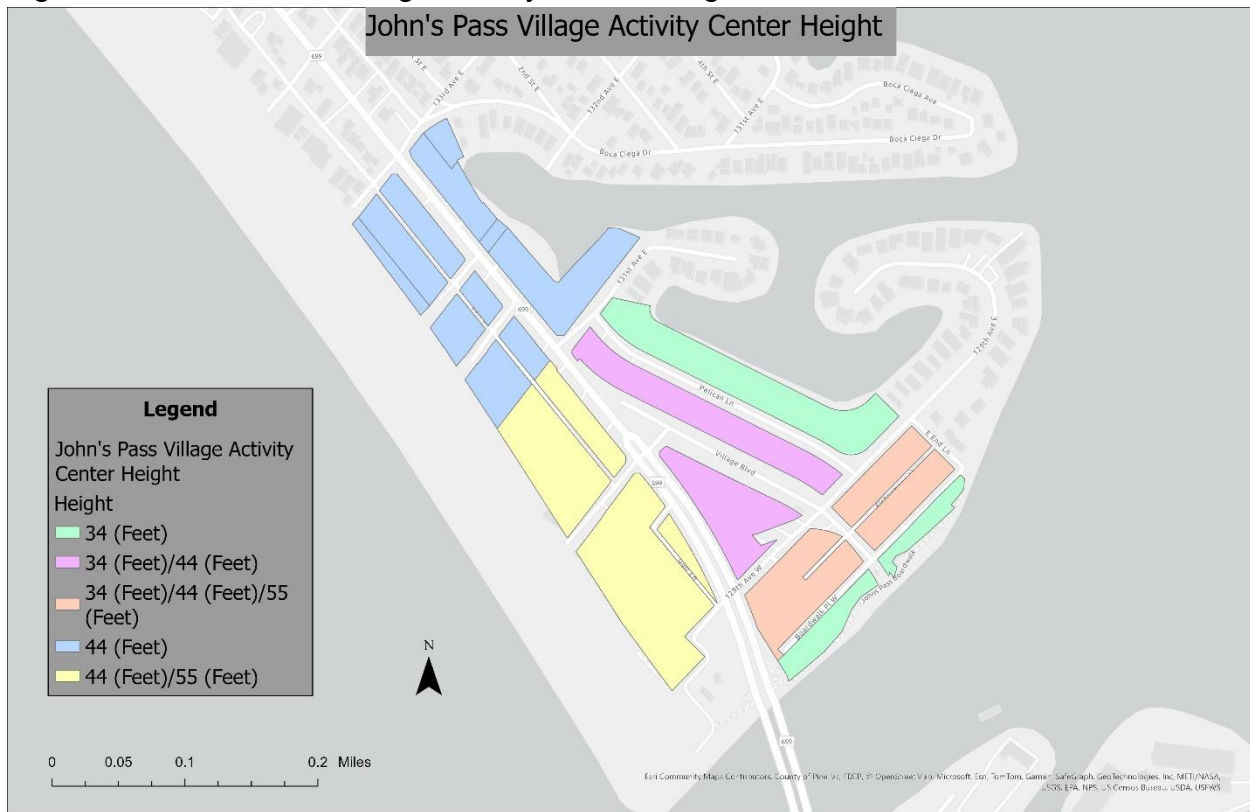
Section D-109. – Maximum building height.

The following maximum building heights are measured from Design Flood Elevation in the John's Pass Village District to the eave line of the building:

- 7) Boardwalk: 34 feet
- 8) Commercial Core:
 - a. Lots equal to or less than $\frac{1}{4}$ acre in size: 34 feet.
 - b. Lots between $\frac{1}{4}$ to $\frac{1}{2}$ acre in size: 44 feet.
 - c. Lots equal to or larger than $\frac{1}{2}$ acre in size: 55 feet.
- 9) John's Pass Resort:
 - a. Lots equal to or less than $\frac{1}{2}$ acre in size: 44 feet.
 - b. Lots greater than $\frac{1}{2}$ acre in size: 55 feet.
- 10) Low Intensity Mixed Use: 34 feet.
- 11) Traditional Village:
 - a. Lots equal to or less than $\frac{1}{2}$ acre: 34 feet.
 - b. Lots greater than $\frac{1}{2}$ acre : 44 feet.
- 12) Transitional: 44 feet

* Structures permanently affixed to the roof that accommodate rooftop occupancy shall only be permitted if within the maximum allowable height. Permitted exception to height regulations. Chimneys, cooling towers, elevators, bulkheads, fire towers, stairways, protective railings, gas tanks, steeples, water towers, ornamental towers or spires, amateur radio towers or necessary mechanical appurtenances, may be erected as to their height in accordance with existing or hereafter adopted ordinances of the municipality, provided no tower other than a church spire or such noncommunication tower of a public building shall exceed 20 feet above the maximum allowable building height limit or 20 feet above the main building roof if the roof is below the maximum allowable building height.

Figure xx. John's Pass Village Activity Center Height Limits

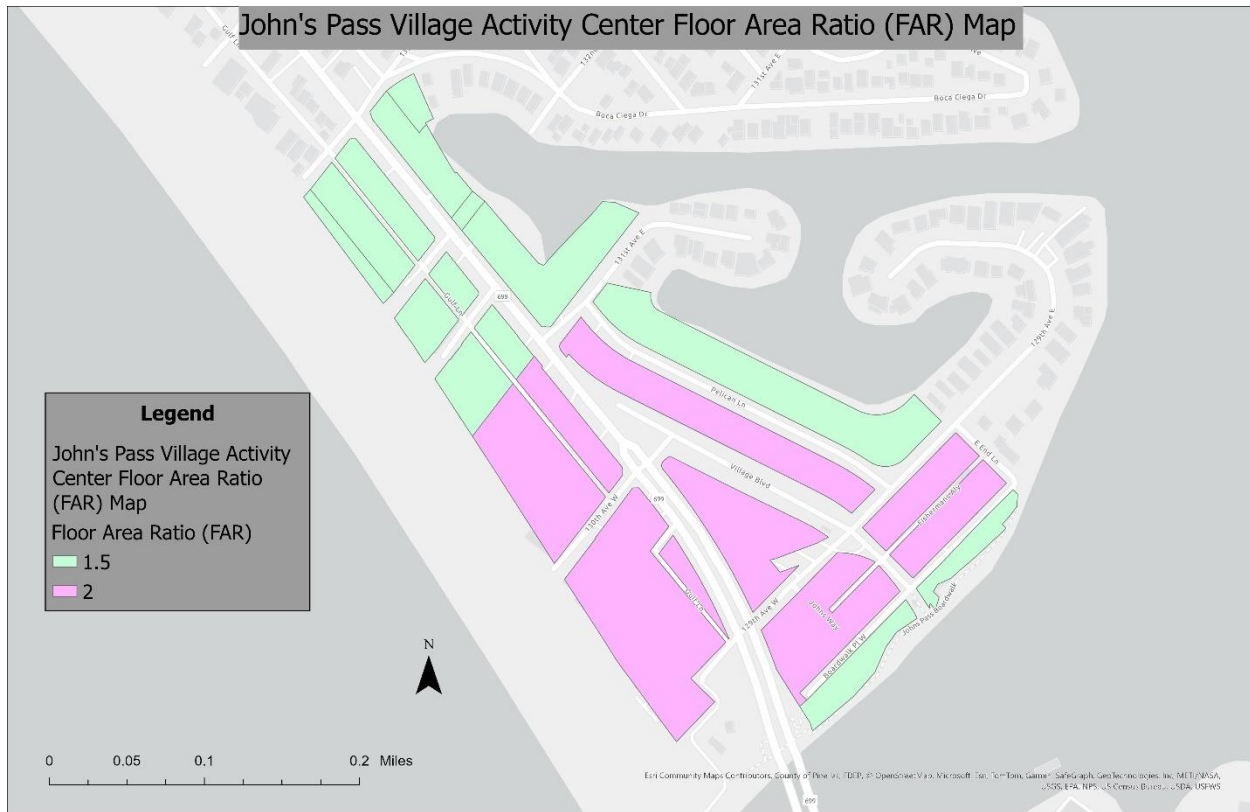


Section D-110. – Maximum floor area ratio.

Floor area ratio (FAR) is all-inclusive of residential, temporary lodging, and commercial uses in the John's Pass Village Activity Center. If using the alternative temporary lodging use standards see Section D-112.

- 1) Boardwalk: 1.5 FAR
- 2) Commercial Core: 2.0 FAR
- 3) John's Pass Resort: 2.0 FAR
- 4) Low Intensity Mixed Use: 1.5 FAR
- 5) Traditional Village: 2.0 FAR
- 6) Transitional: 1.5 FAR

Figure xx. John's Pass Village Activity Center Floor Area Ratio (FAR) Map



Section D-111. – Impervious surface ratio (ISR).

- 1) Boardwalk: 0.85
- 2) Commercial Core: 0.85
- 3) John's Pass Resort: 0.85
- 4) Low Intensity Mixed Use: 0.85
- 5) Traditional Village: 0.85
- 6) Transitional: 0.85

Section D-112. – Alternative Temporary Lodging Use Standards.

The following maximum densities are measured in units per acre and must also fall within the floor area ratio maximums allowed. A development agreement is required by the City's land development regulations and Forward Pinellas' Countywide Rules to use the Alternative Temporary Lodging Use Standards. The development agreement must follow all the requirements in Forward Pinellas' Countywide Rules to use the Alternative Temporary Lodging Use Standard.

- 1) Boardwalk: not available.
- 2) Commercial Core:
 - a. Temporary Lodging Density:
 - i. Lot area less than one acre: 75 units per acre.
 - ii. Lot area more than one acre: 87 units per acre.

- b. Intensity:
 - i. Lot area less than one acre: 2.2 FAR
 - ii. Lot area one acre or larger: 3.0 FAR
- 3) John's Pass Resort:
 - a. Temporary Lodging Density: 75 units per acre.
 - b. Intensity:
 - i. Lot area less than one acre: 2.2 FAR
 - ii. Lot area one acre or larger: 2.5 FAR
- 4) Low Intensity Mixed Use:
 - a. Temporary Lodging Density: 60 units per acre.
 - b. Intensity: 2.0 FAR
- 5) Traditional Village: not available.
- 6) Transitional:
 - a. Temporary Lodging Density: 75 units per acre.
 - b. Intensity: 2.0 FAR

Figure xx. John's Pass Village Activity Center Alternative Temporary Lodging Use Standards Density Map

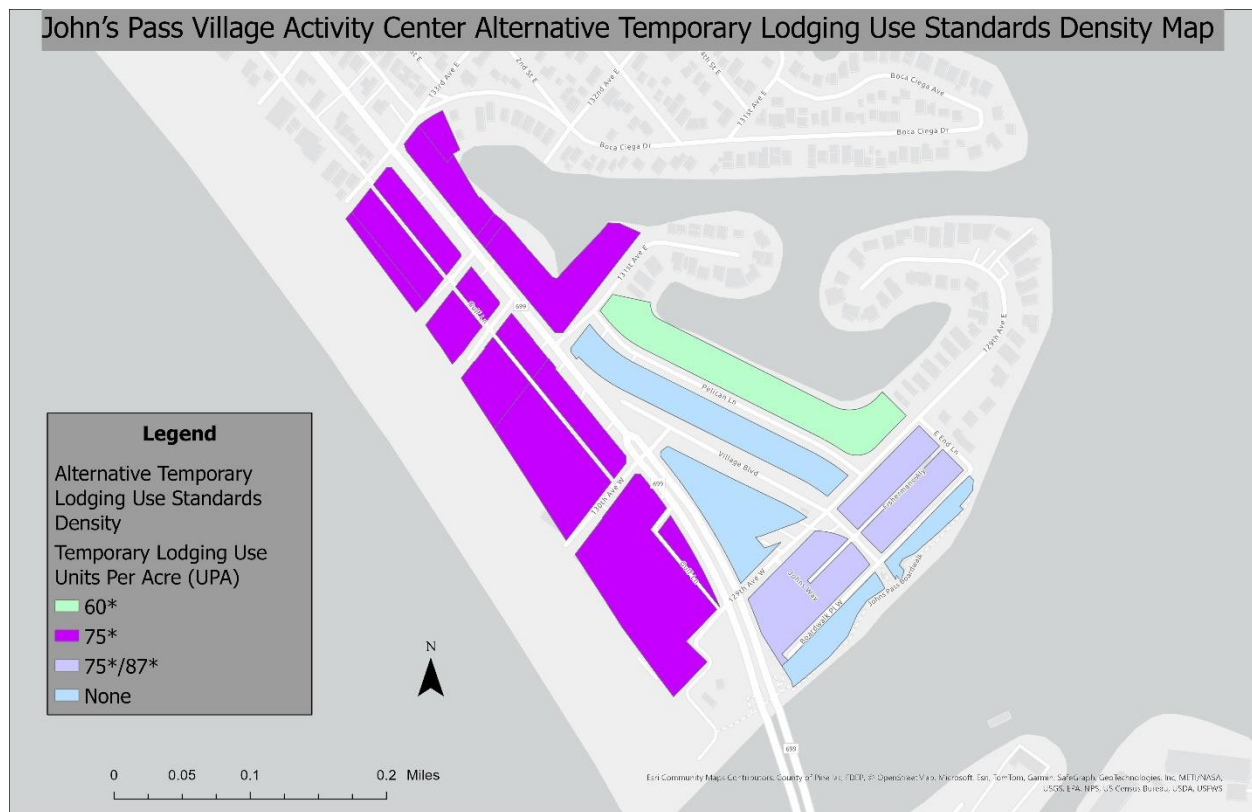
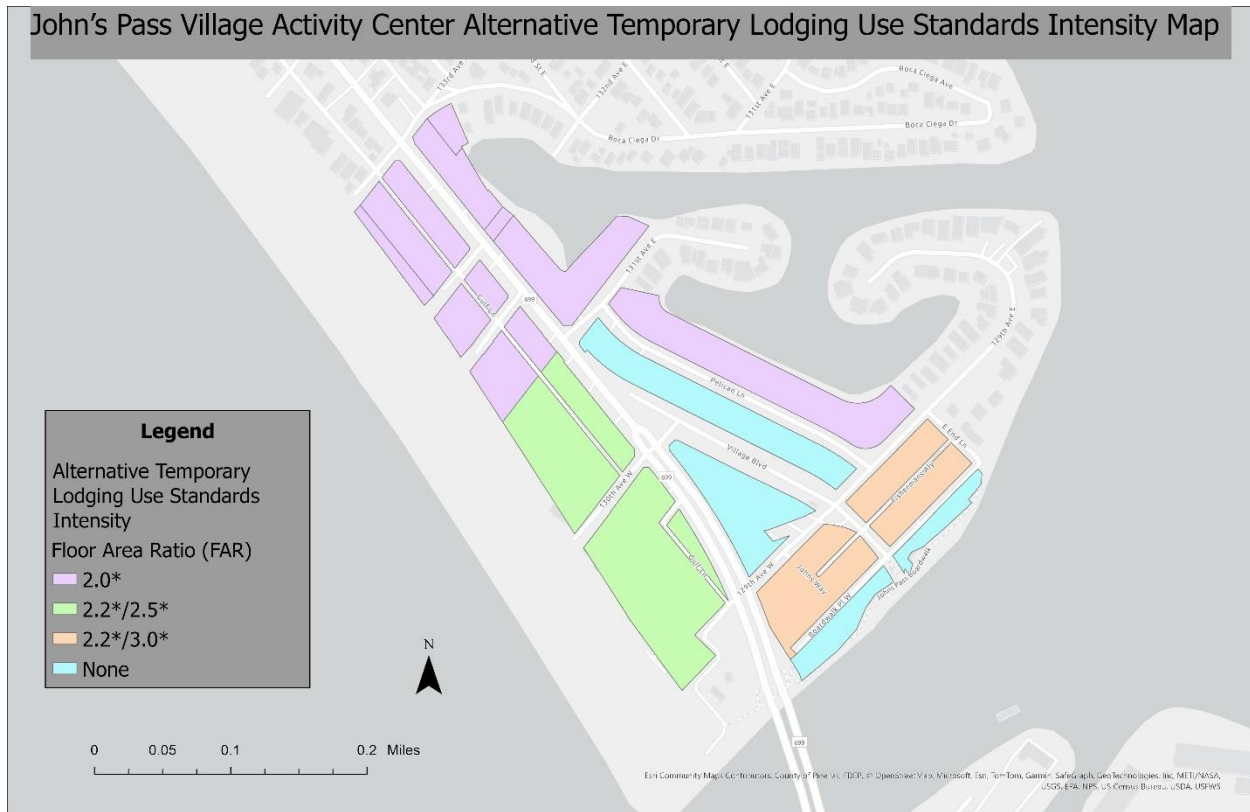


Figure xx. John's Pass Village Activity Center Alternative Temporary Lodging Use Standards Intensity Map



Section D-113. – Design Standards and Guidelines.

The following design standards and guidelines are only applicable to the Boardwalk, Commercial Core, and Traditional Village districts. Single family and duplex buildings are exempt from the following standards and guidelines. Guidelines are recommended while standards are required.

Building Facades: New and remodeled facades should conform to the general historical old Floridian fishing village architectural style of John's Pass Village. Decorative elements such as cornices, dormers and belt courses should be used to give scale and interest to the facades, to help define the building elements (base, middle, and top), and to create three-dimensional richness to the facades.

Facade rhythms. The building facades should incorporate multiple rhythms or cadences (rather than a single repetitive rhythm) that is reflective of the pattern found in the area. This is accomplished with a rich variety of surface treatments such as architectural features, large storefront windows and door frames, projecting bay window displays, canopies above the door, awnings, etc. Individual storefront facades should be narrow and change often to add richness to the sidewalk, street, and neighborhood. The preferred width of the storefront is approximately 40 feet, and should have a maximum width of 100 feet;

Corner treatment. In cases where buildings are on a corner special treatment is encouraged for the buildings at these locations. This includes such things as rounded or cut corners, articulated corner entrances, accented display windows, special corner roof features, etc.

1) Design Standards:

- a. Any new mechanical units, including heating, ventilation and air conditioning equipment (HVAC) and exhaust and supply fans, shall be located in a visually inconspicuous area of a building, such as shielded on the roof, and not visible or shielded from public right-of-way.
- b. Structured parking facades must blend into the built environment with a visual appearance from the public right-of-way as an occupied building.
- c. Electric, gas service, public utility meters, and associated services that are visible from the public right-of-way shall be located in the most inconspicuous location on a building, if the services must be located in a prominent visual location, screening with an enclosure may be required or painted to match the predominant façade color.
- d. Window and door shutters must be appropriate for the size of window or door.
- e. Awnings may overhang the sidewalks in Traditional Village and Commercial Core districts (awnings shall be below 14 feet in height, not less than eight feet above the sidewalk and project a maximum of four feet into the public right-of-way and cannot project into the curb). Internally lit or plastic awnings are not permitted. All awnings shall comply with city codes.
- f. Satellite antennas:
- g. Dumpster enclosures shall be located in a visually inconspicuous area of a building and shielded from public right-of-way

2) Design Guidelines:

- a. Materials guidelines:
 - i. Wood siding may have an unfinished or painted appearance.
 - ii. Synthetic siding should have a clapboard appearance.
 - iii. Brick and stone should remain unpainted.
 - iv. Stucco should cover over any exterior CMU construction.
 - v. Roofs that are not flat should be standing seam metal.
- b. Second floor and above porches may protrude in the front setback and are encouraged to create a more pedestrian friendly environment.
- c. Exterior lighting should enhance the old Floridian fishing village aesthetic such as caged and hooded metal light fixtures.

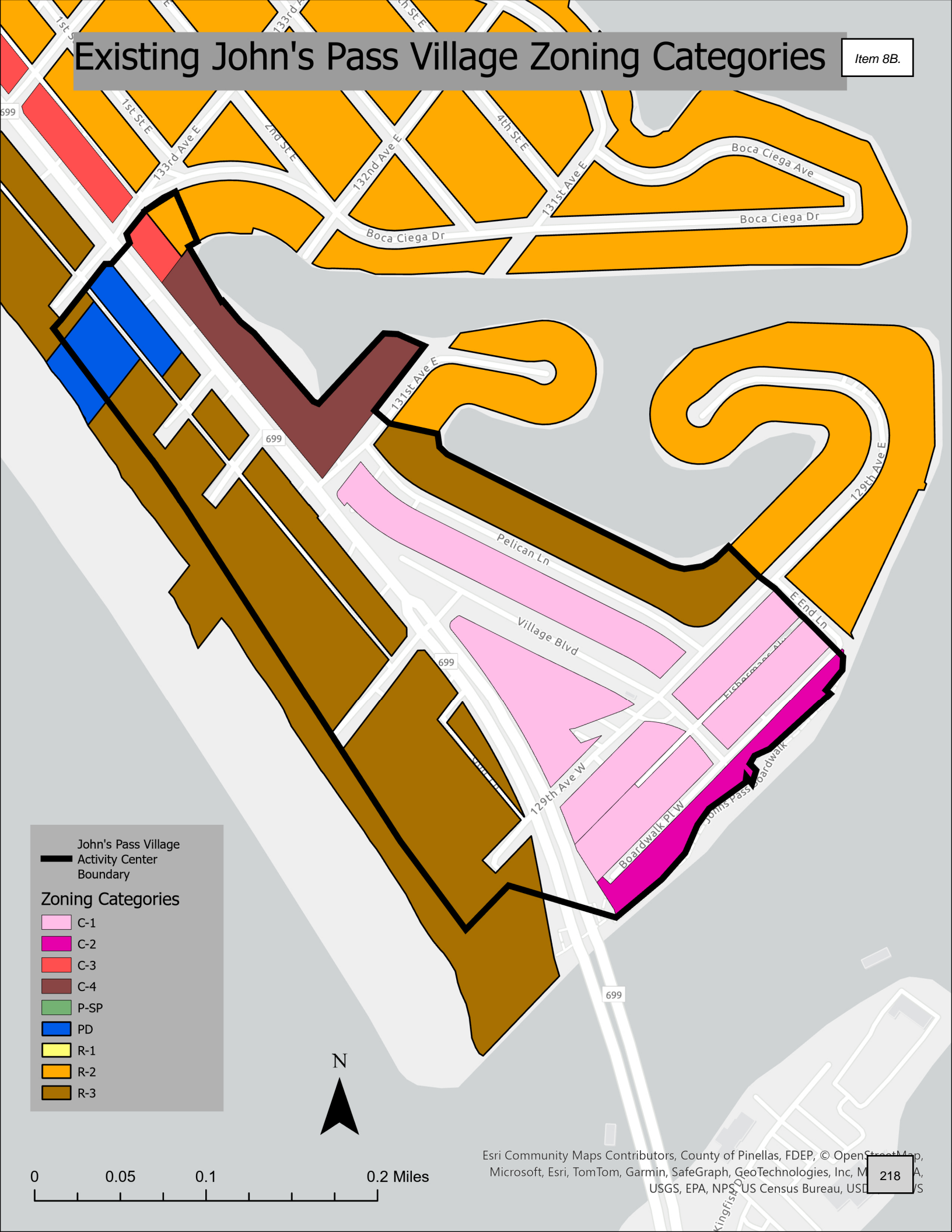
- d. Storefront designs should incorporate large storefront windows typical of a main street and blank walls and small windows are discouraged.

Boardwalk					
	Top answer voted	Second answer voted	Potential Standards		Other Comments
Height (above DFE)	37'/ highest building on ground	34'/current standards	Measured DFE to eave: 34'		Design standards, pedestrian safety/sidewalks, walkability, no overhangs on boardwalk
Setback	Main street feel: 0-5 ft sideyard setbacks, 0 ft setback on the boardwalk, and varying setback on the front/road with certain cantilever exceptions		a.Front yard (Boardwalk Place): 10 feet. b.Side yard: i.Lots equal to or less than 60 feet wide: 0 feet. ii.Lots greater than 60 feet wide: 5 foot setback on one side. c.Rear yard or waterfront yard: no setback, however access to the “tie-backs” supporting seawalls must be provided for maintenance. d.For multiple story buildings, a ten-foot minimum step back behind the primary facade of the building shall be required for stories above the second story for portions of a building facing or bordering a public right-of-way.		
Commercial Core					
	Top answer voted	Second answer voted	Potential Standards		Other Comments
Height (above DFE)	55'	34' above DFE	Measured DFE to eave: Lots equal to or larger than 1/2 acre: 55', Lots between 1/4 to 1/2 acre in size: 44', Lots equal to or less than 1/4 acre 34'		Design standards, pedestrian safety/sidewalks, walkability, shade
Setback	Main street feel, similar to current C-1 setbacks, allow for 2nd floor to encroach into front 10 foot setback		a.Front yard: i.Buildings one story high: 0 feet minimum to 10 feet maximum ii.Buildings two or more stories high: 10-foot setback with either a structured arcade/ covered walkway allowed in the setback or awning over the eight-foot setback. The second floor may have a structured porch within the setback. b.Side yard: i.Lots less than 100 feet wide: none ii.Lots 100 feet wide or greater: 10 feet on one side. iii.For lots with a side yard along a street, the side setback must be 10 feet along a street. c.Rear yard: 20 feet. d.For multiple story buildings, a ten-foot minimum step back behind the primary facade of the building shall be required for stories above the second floor for portions of a building facing or bordering a public right-of-way.		
John's Pass Resort					
	Top answer voted	Second answer voted	Potential Standards		Other Comments
Height (above DFE)	51'	44'	Measured DFE to eave: Lots greater than ½ acre in size: 55', Lots equal to or less than ½ acre in size: 44'		
Setback	Maintain current setbacks		a.Front yard: i.Single-family, duplex, and triplex: 20 feet. ii.Multifamily and temporary lodging: 25 feet. b.Rear yard: i.The rear setback for lots less than 100 feet long is 18 feet. ii.The rear setback for lots more than 100 feet long is 25 feet. c.Waterfront rear yard: For lots on the Gulf of Mexico, the setback shall be landward of the county coastal control line. d.Side yard: i.Single-family, duplex, and triplex: 1)Lots less than 50 feet in width, the minimum side yard setback is five feet. 2)Lots 51 feet or greater in width, the minimum total side yard setback is 15 feet with a minimum of 7 feet on either side. ii.Multifamily, temporary lodging, and retail commercial: 1)The minimum side yard setback is ten feet for lots less than 120 feet wide. 2)For lots between 120 to 240 feet wide, the minimum side yard setback is 15 feet. 3)For lots wider than 240 feet, the minimum side yard setback is 20 feet. e.For multiple floor buildings, a ten-foot minimum step back behind the primary facade of the building shall be required for floors above the third floor for portions of a building facing or bordering a public right-of-way.		

Traditional Village					
	Top answer voted	Second answer voted	Potential Standards		Other Comments
Height (above DFE)	34'	44' for structures with parking garages	Measured DFE to eave: Lots greater than ½ acre : 44', Lots equal to or less than ½ acre: 34'		
Setback	Main street feel, similar to current C-1 setbacks		a. Front yard: 0 feet minimum to 10 feet maximum. b. Rear yard: 10 feet. c. Side yard: i. 0 feet. ii. For lots with a side yard along a street, the side setback must be 10 feet along a street. d. For multiple story buildings, a ten-foot minimum step back behind the primary facade of the building shall be required for stories above the second story for portions of a building facing or bordering a public right-of-way. Open access and use may be within this setback.		Design standards, pedestrian safety/sidewalks, walkability, shade
Low-Intensity Mixed Use					
	Top answer voted	Second answer voted	Potential Standards		Other Comments
Height (above DFE)	44'	32'-34'	DFE to eave: 34'		
Setback	Maintain current setbacks		a. Front yard: 20 feet. b. Rear yard: 18 feet. c. Side yard: i. Lots equal to or less than 50 feet wide: 5 feet on each side. ii. Lots greater than 50 feet wide: 10 feet on each side. d. For multiple story buildings, a ten-foot minimum step back behind the primary facade of the building shall be required for floors above the third floor for portions of a building facing or bordering a public right-of-way.		Potentially convert Pelican Lane to one way to allow for sidewalks to be installed.
Transitional					
	Top answer voted	Second answer voted	Potential Standards		Other Comments
Height (above DFE)	44' Current Code	50'	DFE to eave: 44'		
Setback	Maintain current setbacks		a. Front yard: i. Single-family, duplex, and triplex: 20 feet. ii. Multifamily, temporary lodging, and commercial: 20 feet. b. Rear yard: i. Lots equal to or shorter than 100 feet in length: 18 feet. ii. Lots greater than 100 feet in length: 25 feet. iii. Waterfront lots on the Gulf of Mexico: landward of the county coastal control line (CCCL). c. Side yard: iii. Single-family, duplex, and triplex: 1) Lots less than 50 feet in width, the minimum side yard setback is five feet. 2) Lots 51 feet or greater in width, the minimum total side yard setback is 15 feet with a minimum of 7 feet on either side. iv. Multifamily, temporary lodging, and retail commercial: 1) The minimum side yard setback is ten feet for lots less than 120 feet wide. 2) For lots wider than 120 feet but less than 240 feet, the minimum side yard setback is 15 feet. 3) For lots wider than 240 feet, the minimum side yard setback is 20 feet. d. For multiple story buildings, a ten-foot minimum step back behind the primary facade of the building shall be required for floors above the third floor for portions of a building facing or bordering a public right-of-way.		Concerns about rooftop bars near residential properties.

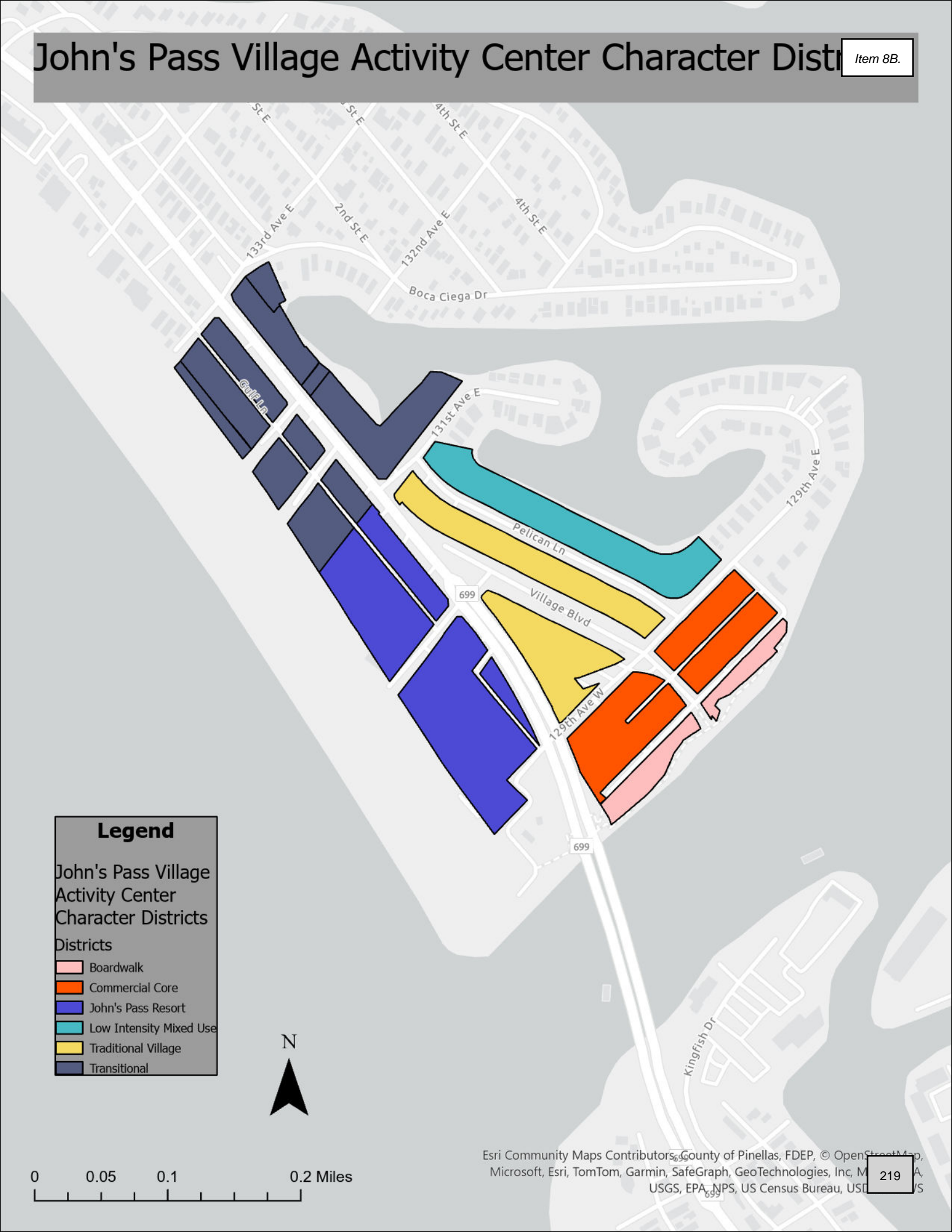
Existing John's Pass Village Zoning Categories

Item 8B.



John's Pass Village Activity Center Character District

Item 8B.





MADEIRA BEACH MASTER PLAN

Guiding the City Towards a Resilient Future

Project Overview

What is the new City Master Plan?

The new City Master Plan will be a guiding document for future development and capital improvements within the City that reflect the community's vision and priorities.

The new City Master Plan will replace the 2002 Master Plan to address evolving community needs and implement modern, sustainable practices and solutions.

The Master Plan will identify goals, objectives, and implementation strategies that will:

- ✓ Address local challenges,
- ✓ Promote sustainable development that aligns with the community's vision and needs,
- ✓ Help our City adapt to future conditions, and
- ✓ Enhance quality of life for all who live, work, and visit Madeira Beach.

Get Involved! Your Voice Matters.

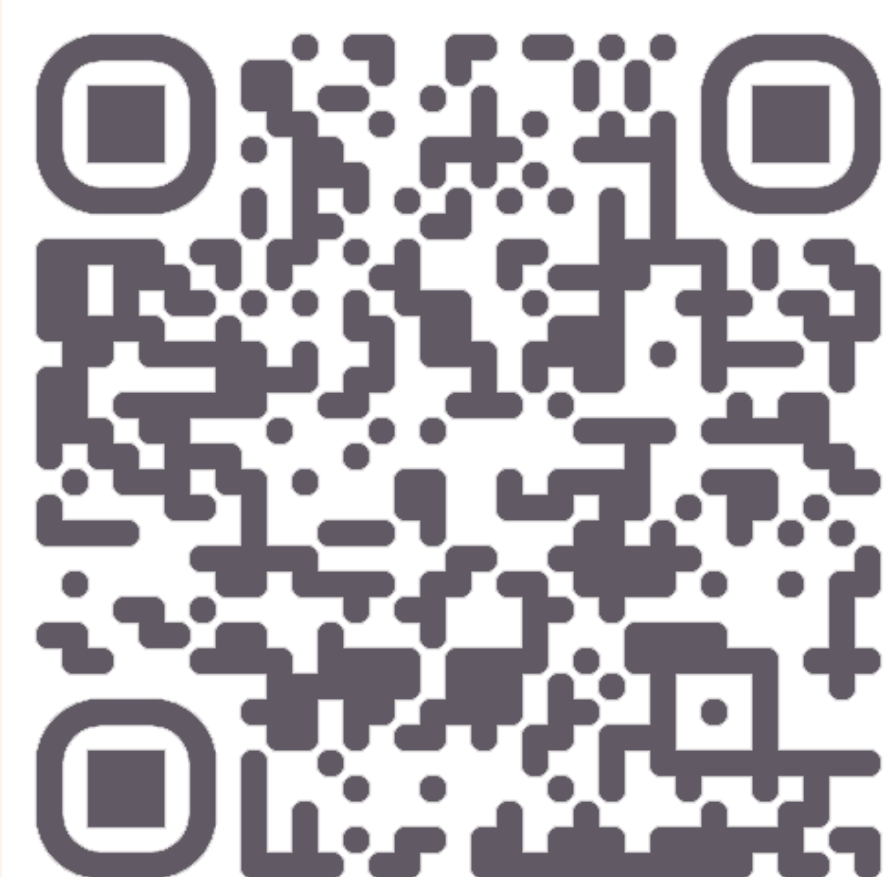
We need your input to shape the Master Plan and guide us towards a vibrant and thriving future!

As the project progresses, we want to hear **your ideas, concerns, and aspirations for our community** so that we can develop a vision, goals, and recommendations that reflect our shared priorities.

Tell us your thoughts by:

- ✓ Filling out a comment card
- ✓ Scanning the QR Code to leave comments on our **interactive online map** with your ideas for improvements

Scan to learn more!



What will the Master Plan address?



New Development/
Redevelopment



Transportation/
Mobility



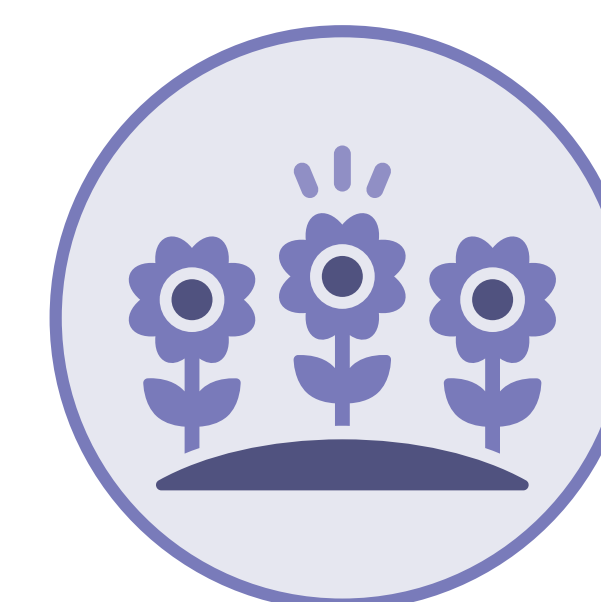
Parks, Recreation,
and Public Spaces



Economic/Business
Development



Sustainability and
Resiliency



Beautification and
Placemaking

Project Schedule

