



PLANNING COMMISSION MEETING
AGENDA
Monday, March 04, 2024 at 6:00 PM
Commission Chambers, 300 Municipal Drive,
Madeira Beach, FL 33708

Meetings will be televised on Spectrum Channel 640 and YouTube Streamed on the City's Website.

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. PUBLIC COMMENT**

Public participation is encouraged. If you are addressing the Planning Commission, step to the podium and state your name and address for the record. Please limit your comments to three (3) minutes and do not include any topic that is on the agenda.

Public comment on agenda items will be allowed when they come up.

For any quasi-judicial hearings that might be on the agenda, an affected person may become a party to this proceeding and can be entitled to present evidence at the hearing including the sworn testimony of witnesses and relevant exhibits and other documentary evidence and to cross-examine all witnesses by filing a notice of intent to be a party with the Community Development Director, not less than five days prior to the hearing.

- 4. APPROVAL OF MINUTES**
 - A. 2/5/2024 Minutes**
- 5. NEW BUSINESS**
 - A. Don's Dock Site Plan**
- 6. OLD BUSINESS**
- 7. ADMINISTRATIVE/STAFF PRESENTATION**
- 8. PLANNING COMMISSION DISCUSSION**
- 9. NEXT MEETING**

A. The next meeting is scheduled for Monday, April 1, 2024 at 6:00 PM

10. INFORMATIONAL MATERIALS

11. ADJOURNMENT

One or more Elected or Appointed Officials may be in attendance.

Any person who decides to appeal any decision of the Planning Commission with respect to any matter considered at this meeting will need a record of the proceedings and for such purposes may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The law does not require the minutes to be transcribed verbatim; therefore, the applicant must make the necessary arrangements with a private reporter or private reporting firm and bear the resulting expense. In accordance with the Americans with Disability Act and F.S. 286.26; any person with a disability requiring reasonable accommodation to participate in this meeting should call Jenny Rowan, Community Development Director at 727-391-9951, ext. 244 or email a written request to jrowan@madeirabeachfl.gov.

**THE CITY OF MADEIRA BEACH, FLORIDA
LOCAL PLANNING AGENCY / PLANNING COMMISSION**
Madeira Beach City Hall, Patricia Shontz Commission Chambers
300 Municipal Drive, Madeira Beach, FL 33708
www.madeirabeachfl.gov | 727.391.9951
February 5, 2024 - MINUTES

1. CALL TO ORDER

Chairman Wyckoff called the meeting to order at 6:03 PM

2. ROLL CALL

Members in Attendance:

Chairman Wyckoff	Commissioner LaRue
Commissioner Ghovae	Commissioner Dillon
Commissioner Meager	Commissioner Noble
Commissioner Connolly	

Members Absent:

None

Staff Representatives:

Jenny Rowan, Community Development Director
Al Carrier, Community Development Contract Engineer
Andrew Morris, Long Range Planner
Lisa Scheuermann, Program Coordinator/Board Secretary
Nancy Meyer, City Attorney’s Office

3. PUBLIC COMMENTS

Chairman Wyckoff opened the floor to public comment on any topics not related to items on the agenda.

No residents came forward.

4. APPROVAL OF MINUTES

Minutes from the January meeting were approved unanimously.

5. NEW BUSINESS

A. Don's Dock Site Plan has been removed from the agenda.

It will potentially be moved to March.

B. Ordinance 2024-02 Open Accessory Structures.

Jenny Rowan presented.

Ms. Rowan said that this is something the commission is familiar with. It is to add open accessory structures to code and fix a couple of parts of the accessory structure section. The main thing is to allow open structures and tiki huts.

Ms. Rowan displayed Section 110-472 and said there are two sections where we should revise the definitions to remove the sentence regarding the "area of open accessory structure as it is redundant. Change verbiage from "all open sides" to "two or more" open sides. Those are the two amendments we are asking for.

Commissioner Dillon asked why the change is needed. Al Carrier commented that the reason is to keep the language simple.

Discussion followed to define and covered the type of permit required, Chickee huts, maintenance, and exclusions sections would stay the same, as would most of the other sections. This was the same code that we saw in the last meeting.

Ms. Rowan mentioned the duplex and multi-family use (sec. 110-484) should be the same as the language for single family homes, and the same for temporary lodging uses.

Commercial zones will stay the same as the last time we saw it as well. Language for working waterfront will also stay the same.

Commissioner Ghovae had a question about the wording of commercial zoning that accessory structures would count toward FAR. Jenny Rowan and Al Carrier responded that it would count as lot coverage but not FAR.

Ms. Rowan moved on to sec 110-490; Deadlines for construction trailers and 110-491, outdoor kitchens including the definition and setbacks and requirements. She stated that she spoke with the Building Official about it and he is comfortable with the language.

Commissioner Ghovae had a question about the sewer lines and Al Carrier explained how to keep water from the sewer system, and said it's OK to drain "gray" water in to lawns. Things like outdoor showers, etc.

Commissioner Connolly had comments about water cleanliness and water going into the canals. He stated what he wants it to be mandatory for sinks to be connected to sanitary sewers.

Discussion followed regarding gray water and included what constitutes gray water and the opinion that not all sink water is gray water. It was stated that outdoor kitchens are more and more elaborate and there are concerns about the environmental impact of water going into the canals.

Ms. Rowan suggested an amendment.

Chairman Wykoff suggested that water supply must have a drain in to the sewer. Commissioner Connolly said that items exist to control all water to sewer even if it needs to go upward.

Commissioner Dillon brought up Cheekie huts and discussion followed regarding sinks. Commissioner Dillon asked if the definition of an outdoor kitchen can contain a sewer requirement.

Jenny Rowan said that 110-491 has technical language.

More discussion followed, regarding how a sink must go to a city sewer. If the outdoor kitchen must be connected to a sewer line.

Discussion returned to walls, and how many walls would equal an enclosure. Commissioner Dillon said one wall is acceptable with three or more open sides.

Discussion ended and the Chair asked for a motion.

Commissioner Dillon made a motion to accept 2024-02 with the amendments stated. Commissioner Connolly seconded the motion. The motion was passed unanimously.

6. OLD BUSINESS:

There was no old business.

7. ADMINISTRATIVE/STAFF PRESENTATION

There was no presentation.

8. PLANNING COMMISSION DISCUSSION

A. John's Pass Activity Center Zoning

On 2/20/24 the John's Pass Village Activity Center goes to County for a vote. If it is approved, it then goes to BOC on 3/13/24 for 2nd reading. This would be to adopt the Comprehensive Plan. After that we would have to amend the LDR to match zoning.

Ms. Rowan reviewed the JPV zoning presentation.

Commissioner Ghovae stated that he would like to see a clause stating that intensity and density can be less, but good design would enable them to get higher densities/intensities.

Ms. Rowan explained that we have something sort of like that in place, but we can look at modifying it to make it more robust.

Commissioner Dillon asked what numbers have changed Andrew Morris replied that after the countywide meeting it's more restrictive now.

A short discussion followed. It was mentioned that in order to increase density, a Development Agreement with design standards would be required.

All Alternative Temporary use would have to go before the board to make sure it would benefit the community.

Commissioner Ghovae asked a question regarding Design Flood Elevation and Ms. Rowan explained that the Commercial Core, Transitional and Traditional areas will not have much change.

Commissioner Dillon asked about setbacks in the Traditional Village area. Ms. Rowan responded that most buildings in that area don't have setbacks. They would remain as is.

Discussion followed.

Chairman Wyckoff asked if anyone else had anything to say or any questions.

Commissioner Noble asked about the date and time of the CDA meeting.

Commissioner Dillon asked that we summarize the new zoning districts in John's Pass Village.

Commissioner Ghovae asked if we can have people call in to meetings. A short discussion followed, and it was concluded that if people want a voice, they can come to Chambers.

9. NEXT MEETING

The next meeting is scheduled for March 4, 2024 at 6:00 PM.

10. ADJOURNMENT

Commissioner Wyckoff adjourned the meeting at 7:23 PM.

Respectfully submitted:

Michael Wyckoff, Chairman

Date

Lisa Scheuermann, Board Secretary

Date



Memorandum

Meeting Details: Planning Commission, March 4, 2024

Prepared For: Planning Commission

From: Community Development Department

Subject: Site Plan Application: Don's Dock (SP 2024-01)

Applicant/Property Owner: Boardwalk Place Properties LLC

Subject Property: 215 Boardwalk Place, Madeira Beach, FL 33708 (15-31-15-00000-410-0200)

Nature of Request: Site plan application to build an open structured restaurant.

Review:

Section 110-51. - Scope of Review.

The city manager or his designee will conduct a detailed review of proposed intermediate and major development (which shall consist of a complete new development on the site) to insure compliance with the current land development regulations. This review will include, but not be limited to, the following areas:

(1) Proposed use:

- a. Primary use. *Met (Sec. 110-287)*
- b. Accessory uses. *N/A*
- c. Special exception use: Approval by special magistrate obtained. *N/A*

(2) Lot restrictions:

- a. Lot size: width, depth, area. *Met (Sec. 110-290)*
- b. Setbacks. *Setbacks indicated on the Site Data Table on the Civil Plans. The front (20 feet) and rear (none) yard setbacks are met, the side yard (5 feet on one side) is not met. Setbacks should be indicated on a plan sheet. Note: The approved construction plans will include a revised site data table showing the front setback as north, the rear setback as the south, and side setbacks as east and west.*
- c. Lot coverage. *Met (Sec. 110-293) per Site Data Table.*
- d. Impervious surface. *Met. (Sec. 110-294 ISR is 0.85) The Site Data Table on the Civil Plans indicates the ISR will be 82.9%.*

- e. Green area. *Met. Review in conjunction with #9 & review of Landscape Plans.*
- f. Building heights. *Meets requirement (Sec 110-292 34 feet measuring from DFE) (Sec. 110-430(b) allows for elevators, stairways, ornamental towers or spires, to be erected to their height above the allowed building height but may not exceed 20 feet above the maximum building height limit).*
- g. Density. *N/A*

(3) Arrangement of structures:

- a. Distance between structures. *N/A*
- b. Provisions for light, air, privacy and access. *N/A*
- c. Location of accessory structures (article VI, division 4 of this chapter). *Walk in coolers will be required to meet all FBC (Florida Building Code), LDR (Land Development Regulations) and FEMA (Federal Emergency Management Agency) requirements.*
- d. Use of open space. *N/A*
- e. Transition yard requirements. *N/A*

(4) Impact on surrounding property. *In line with adjacent property usage.*

(5) Floodplain regulations (chapter 94):

- a. Elevation requirements. *VAR 2023-02 allowed for reduction of the city LDR freeboard of four feet. The reduction allows for the first story to provide "walk out" access to the Boardwalk. The base flood elevation, as reduced, is still compliant with the FBC. Met.*
- b. Use below base flood elevation (BFE). *Met.*

(6) Parking (article VII of this chapter):

- a. Minimum requirements for off-street parking. *Meets requirements with shared parking agreement.*
- b. Location of spaces. *Met.*
- c. Circulation. *Met.*
- d. Loading and unloading areas. *Met.*
- e. Handicap facilities. *ADA parking and accessible access depicted in Civil Plans.*
- f. Compact spaces. *Met.*
- g. Remote lots. *Met.*

(7) Traffic access: *Met.*

- a. Available and allowable street cuts. *Met.*
- b. Use of abutting roadways. *Met.*
- c. Intersection visibility (section 110-423). *Met.*
- d. Emergency vehicle access. *Met.*

(8) Protection of soil and water resources (chapter 98, article II): *See Civil Plans*

- a. Development requirements. *Met.*
- b. Land alteration plan. *Met.*

c. Drainage plan:

1. Treatment of stormwater runoff. *The Civil Plans address stormwater and a drainage report was provided and calculations under review. The approved for construction plans will adhere to LDR and all water management district requirements.*

2. Protection during construction. *A stormwater pollution prevention plan sheet has been provided within the Civil Plans.*

d. Environmentally sensitive area protection plan. *The Civil Plans provide for silt fencing along the property adjacent to Johns Pass.*

(9) Landscaping (chapter 106, article II): *Requirements a) through i) met, see attached landscape plans.*

a. Minimum requirements.

b. Perimeter landscaping.

c. Buffer landscaping.

d. Use of existing landscaping. *N/A*

e. Xeriscape requirements. *N/A*

f. Irrigation system.

g. Intersection restrictions.

h. Screening of backflow preventer. *Not*

i. Protected species (mangroves, sea oats, etc.). *N/A*

(10) Tree protection (chapter 106, article III): *See provided Landscape Plans for a) through f).*

a. Minimum requirements. *Met*

c. Use of existing trees. *Met*

d. Removal of exotic species. *N/A*

e. Protection during construction. *Trees to remain identified.*

f. Irrigation for the trees. *Met*

(11) Lighting (article VI, division 5 of this chapter): *Not provided.*

a. Impact of indoor and outdoor lighting.

b. Decorative and accent lighting.

c. Temporary lighting.

d. Lighting in beach area.

(12) Sidewalks (chapter 58): *There are no sidewalks on the south side of Boardwalk Pl. Sidewalks are located on the northside of Boardwalk.*

a. Minimum requirements.

b. Location and size.

c. Pedestrian access.

(13) Signs (chapter 102): *No signage proposed. Any future signage must meet the requirements in the Code of Ordinances.*

a. Type. *N/A*

b. Location. *N/A*

c. Size. *N/A*

(14) Recreation areas: *N/A*

a. Type. *N/A*

b. Location. *N/A*

(15) Fences and walls (article VI, division 3 of this chapter): *N/A*

a. Location. *N/A*

b. Height. *N/A*

c. Types. *N/A*

(16) Easements (article VI, division 10, subdivision II of this chapter): *Easement on boardwalk stairs.*

a. Utility. *N/A*

b. Pedestrian/beach access. *N/A*

c. Access easements. *Access easements noted on the plans.*

(17) Docks and seawalls (section 110-426 and chapter 14, article V) *Need more information regarding deadmen anchors in structural plans. This will be provided during demolition activities which is consistent with construction practices on a site expected to have a significant amount of below ground obstacles that need to be accurately located, but cannot be accurately located until excavation commences.*

a. Requirements. *N/A*

b. Exemptions. *N/A*

(18) Miscellaneous: *N/A*

a. Laundry facilities. *N/A*

b. Satellite dish antennas (article VI, division 12, subdivision III of this chapter). *N/A*

c. Outdoor storage (article VI, division 9, subdivision I of this chapter). *N/A*

d. Swimming pools (article VI, division 11 of this chapter). *N/A*

e. Solid waste disposal containers and enclosures (section 54-61). *Location and size not provided.*

(19) Concurrency determination (chapter 90).

Recommendation: Staff recommends the approval with the conditions that the applicant must meet all requirements noted above.

Attachments:

- Site Plan Application
- Architectural Plans
- Civil Site Plans

- Landscape & Irrigation Plans
- Survey
- Variance Approval
- Neighborhood Workshop Meeting
- Parking Agreement



CITY OF MADEIRA BEACH

PLANNING & ZONING DEPARTMENT
300 MUNICIPAL DRIVE ♦ MADEIRA BEACH, FLORIDA 33708
(727) 391-9951 EXT. 255 ♦ FAX (727) 399-1131
Email to: planning@madeirabeachfl.gov



SITE PLAN APPLICATION

Site Plan application fee \$300

I. PROJECT

Project Name: Don's Dock Restaurant

Project Description: New Freestanding Restaurant Building

Address of Subject Property: 215 Boardwalk Place E
Madeira Beach, FL 33708

Parcel ID #: 15-31-15-00000-410-0200

Legal Description: See Attached

Existing Use of Property: Vacant Commercial Land with Commercial Marine facilities

Full Description Attached? Yes No

II. APPLICANT

Applicant Status: *Attach proof of ownership (deed)* Owner Agent

Applicant Name, Title: _____

Company Name (If applicable): Boardwalk Place Properties LLC

Mailing Address: 101 150th Ave Madeira Beach FL 33708

Phone: 727-367-3000 Fax: _____

Email: wkarns@karnsenterprises.com

If Applicant is the agent for a property owner, please attach proof of Agent Authorization.

Boardwalk Place Properties LLC
Name of Owner (Title Holder): _____

Mailing Address: 101 150th Ave Madeira Beach FL 33708

DISCLAIMER: According to Florida Statutes, Chapter 119, it is the policy of this state that all state, county, and municipal records are open for personal inspection and copying by any person. Providing access to public records is a duty of each agency. All documents and information not specified in F.S. 119.071 and 119.0713 are subject to public record requests.

III. ADDITIONAL INFORMATION

Is there an existing contract for sale of options to purchase subject property? Yes No

If "Yes", list all names of parties involved: _____

Is the contract/option contingent or absolute? Contingent Absolute N/A

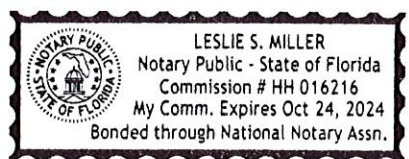
I certify and acknowledge that the information contained herein is true and correct to my best knowledge.

[Handwritten Signature] Manager 12/28/23
Signature of Applicant Date

STATE OF Florida
COUNTY OF Pinellas

The foregoing application as acknowledged before me this 28th day of December, 2023
by William Karns who is personally known to me or has produced
_____ as identification.

[SEAL]



[Handwritten Signature]
Public Notary Signature

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LEGAL DESCRIPTION OF REAL PROPERTY

That portion of land lying Southeasterly of Lots 1, 2 and 3, Block 1, Mitchell's Beach, according to the map or plat thereof, recorded in Plat Book 3, Page 54, of the public records of Pinellas County, Florida and lying between the extended Northeasterly line of said Lot 1, Block 1 in a Southeasterly direction and the extended Southwesterly line of Said Lot 3, Block 1 in a Southeasterly direction to the mean high water line of John's Pass.

The above described property being one and the same as the parcel described as follows:

That portion of land lying Southeasterly of Lots 1, 2 and 3, Block 1, Mitchell's Beach, according to the map or plat thereof, recorded in Plat Book 3, Page 54, of the public records of Pinellas County, Florida and lying Northwesterly of the mean high water line of said Lot 1 and the Southwesterly line of said Lot 3, as extended Southeasterly to said John's Pass.

LESS AND EXCEPT the Northwesterly 30 feet thereof for the right of way for 128th Avenue.

GENERAL NOTES:

- DIMENSIONING IS TAKEN TO THE FACE OF STUD (F.O.S.)
- COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH STRUCTURAL DRAWINGS BEFORE LAYING OUT PHYSICAL BUILDING IN FIELD. CONTACT ARCHITECT WITH ANY DISCREPANCIES OR QUESTIONS AS TO CRITICAL DIMENSIONS.
- ALL FLOORING TO HAVE SLIP RESISTANT FINISH. ALL WALL FINISHES TO BE CLASS "C" FLAMESPREAD. VERIFY ALL FINISHES WITH OWNER. SMOOTH TEXTURE ON ALL WALLS AND CEILINGS WHERE APPLICABLE. SQUARE CORNER BEAD ON CORNERS. VERIFY PAINT WITH OWNER.
- PLUMBING FIXTURES TO BE OF A STANDARD GRADE. COLOR TO BE WHITE WITH BRUSHED NICKEL HARDWARE. U.N.O.
- SEE ENLARGED PLANS ON SHEET A3.0 FOR ADDITIONAL NOTES, DETAILS & DIMENSIONS.

ACCESSIBILITY NOTES:

- NO ABRUPT CHANGES IN ELEVATION ALONG PATH OF TRAVEL SHALL BE ALLOWED.
- SLOPES SHALL NOT EXCEED 1:20 UNLESS A RAMP IS PROVIDED.
- RAMP SLOPES SHALL NOT EXCEED 1:12 SLOPE
- CROSS SLOPES SHALL NOT EXCEED 2%
- MAX 1/4" VERTICAL & 1/4" BEVELED EDGE (TOTAL 1/2") THRESHOLD HEIGHT.
- SEE DETAIL 1 ON A4.0 FOR ALL ADA MOUNTING HEIGHTS AND BATH INTERIOR ELEVATIONS

SYMBOL REFERENCES

- SPACE NUMBERS
- EQUIPMENT OR KEYED NOTES
- DOOR NUMBERS
- △ REVISIONS MADE TO THIS SHEET
- ◇ WINDOW TYPES
- ⊗ BUILDING SECTIONS OR ELEVATIONS

WALL LEGEND

- 8 x 8 x 16 CMU ELEVATOR SHAFT WALL - INSTALL HORIZONTAL LAP SIDING OVER BUILDING PAPER ON EXTERIOR SIDES ONLY - SEE ELEVATIONS FOR WALL HEIGHT AND STRUCTURAL PLANS
- 2 x 6 EXTERIOR WOOD FULL HEIGHT WALL AT 16" O.C. - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" GYPSUM BOARD WITH R-13 INSULATION ON INTERIOR SIDES; 8'-0" WALL HEIGHT AT ROOF LEVEL - SEE 4/ A4.1
- 2 x 6 INTERIOR WOOD STUD FULL HEIGHT WALL AT 16" O.C. - INSTALL 1/2" GYPSUM BOARD ON EACH SIDE - SEE 5/ A4.1
- 2 x 6 EXTERIOR WOOD LOW WALL AT 16" O.C. WITH DECORATIVE RAILING ABOVE - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR WALL SIDES - SEE ELEVATIONS FOR WALL & RAILING HEIGHTS - SEE 1/ A4.1
- 2 x 6 WOOD STUD LOW BAR WALL AT 16" O.C. WITH NEW COUNTERTOP - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" WATER RESISTANT GYPSUM BOARD ON & FRP ON INTERIOR SIDE - SEE 2 & 3/ A4.1

NOTE:
 1. ALL WALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.)
 2. USE WATER RESISTANT GYPSUM BOARD IN ALL WET AREAS AS REQUIRED

OCCUPANCY CALCULATIONS:

OCCUPANCY TYPE A-2*

1ST FLOOR

GENERAL SEATING =	1,236 S.F./ 15 =	82 O.L.
BAR SEATING =	146 S.F./ 7 =	21 O.L.
BATHROOMS & STORAGE =	321 S.F./ 300 =	1 O.L.
BAR =	340 S.F./ 200 =	2 O.L.
TOTAL 1ST FLOOR OCCUPANCY =		106 O.L.

2ND FLOOR

GENERAL SEATING =	1,586 S.F./ 15 =	106 O.L.
BAR SEATING =	254 S.F./ 7 =	36 O.L.
BATHROOMS & STORAGE =	171 S.F./ 300 =	1 O.L.
BAR =	283 S.F./ 200 =	2 O.L.
TOTAL 2ND FLOOR OCCUPANCY =		145 O.L.

EGRESS CALCULATIONS:

TOTAL OCCUPANCY LOAD = 251 O.L.

REQUIRED & PROVIDED EGRESS INCHES

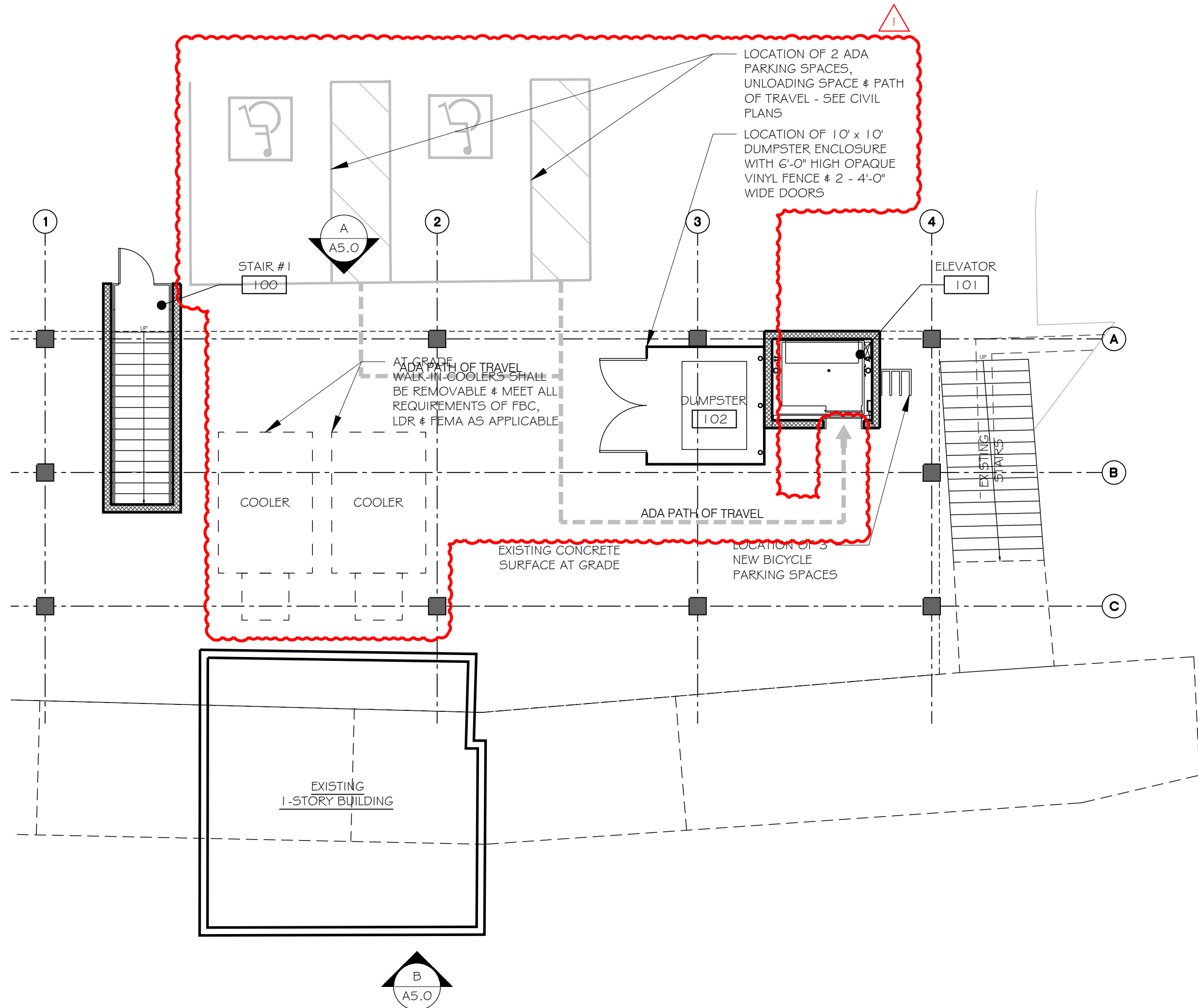
DOORS - .2 x 251 O.L. = 50.2" REQUIRED/ 108" PROVIDED - 2 EXITS

STAIRS - .3 x 251 O.L. = 75.3" REQUIRED/ 146" PROVIDED - 2 EXITS

LIFE SAFETY LEGEND

- EXIT LIGHT FIXTURE
- FIRE EXTINGUISHER
- HORN/ STROBE FIXTURE
- EXIT CAPACITY IN INCHES
- ORIGIN OF TRAVEL DISTANCE
- TRAVEL DISTANCE (PATH)

NOTE:
 THERE IS NO SIGNAGE PROPOSED UNDER THIS SCOPE OF WORK AT THIS TIME. ANY FUTURE SIGNAGE WILL MEET THE REQUIREMENTS IN THE CODE OF ORDINANCES AS REQUIRED, UNDER A SEPARATE PERMIT.



NEW GROUND FLOOR & LIFE SAFETY PLAN
 SCALE: 1/8" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY, PROVISIONS AS SET FORTH IN THE CODE OF ORDINANCES.

REVISIONS

NO	DATE	DESCRIPTION
1	2-1-24	STAFF REPORT MEMORANDUM-SITE PLAN APPLICATION #37 2024-01

WILLIAM KARNS ENTERPRISES, INC.
 BILL KARNS, PRESIDENT
 1405 BERRY BLVD., SUITE H
 MADEIRA BEACH, FL 32149
 727-367-3000
 WKARNS@KARNSENTERPRISES.COM

CLERK

DON'S DOCK RESTAURANT
 215 BOARDWALK PLACE EAST, MADEIRA BEACH, FL 32708
 PIN #: 15-31-15-00000-410-0200

LANG + FERFOGLIA
 ARCHITECTURE | DEVELOPMENT
 LICENSE # AR100258 AA REGISTRATION # 39011970
 2000 34TH AVENUE N, ST PETERSBURG, FL 33713
 TEL: (727) 698-9877

DRIVEN BY: SFF
 DATE: 10-12-23
 PROJECT #: 2216
 SHEET: A1.0

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 2. USE WATER RESISTANT GYPSUM BOARD IN ALL WET AREAS AS REQUIRED

OCCUPANCY CALCULATIONS:

OCCUPANCY TYPE A-2*		
1ST FLOOR		
GENERAL SEATING =	1,236 S.F./ 15 =	82 O.L.
BAR SEATING =	146 S.F./ 7 =	21 O.L.
BATHROOMS & STORAGE =	321 S.F./ 300 =	1 O.L.
BAR =	340 S.F./ 200 =	2 O.L.
TOTAL 1ST FLOOR OCCUPANCY =		106 O.L.
2ND FLOOR		
GENERAL SEATING =	1,586 S.F./ 15 =	106 O.L.
BAR SEATING =	254 S.F./ 7 =	36 O.L.
BATHROOMS & STORAGE =	171 S.F./ 300 =	1 O.L.
BAR =	283 S.F./ 200 =	2 O.L.
TOTAL 2ND FLOOR OCCUPANCY =		145 O.L.

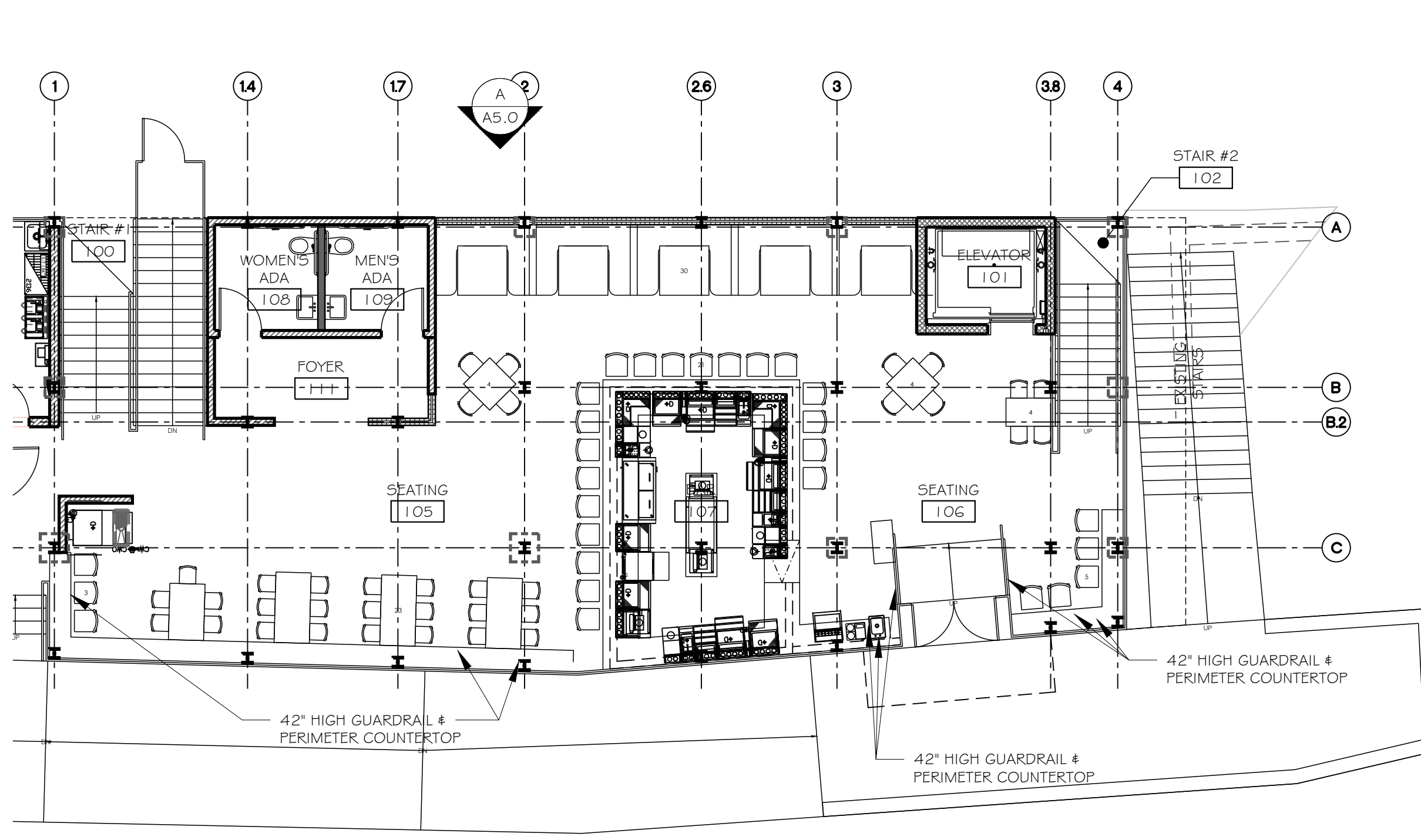
EGRESS CALCULATIONS:

TOTAL OCCUPANCY LOAD =	251 O.L.
REQUIRED & PROVIDED EGRESS INCHES	
DOORS - .2 x 251 O.L. = 50.2' REQUIRED/ 108" PROVIDED - 2 EXITS	
STAIRS - .3 x 251 O.L. = 75.3' REQUIRED/ 146" PROVIDED - 2 EXITS	

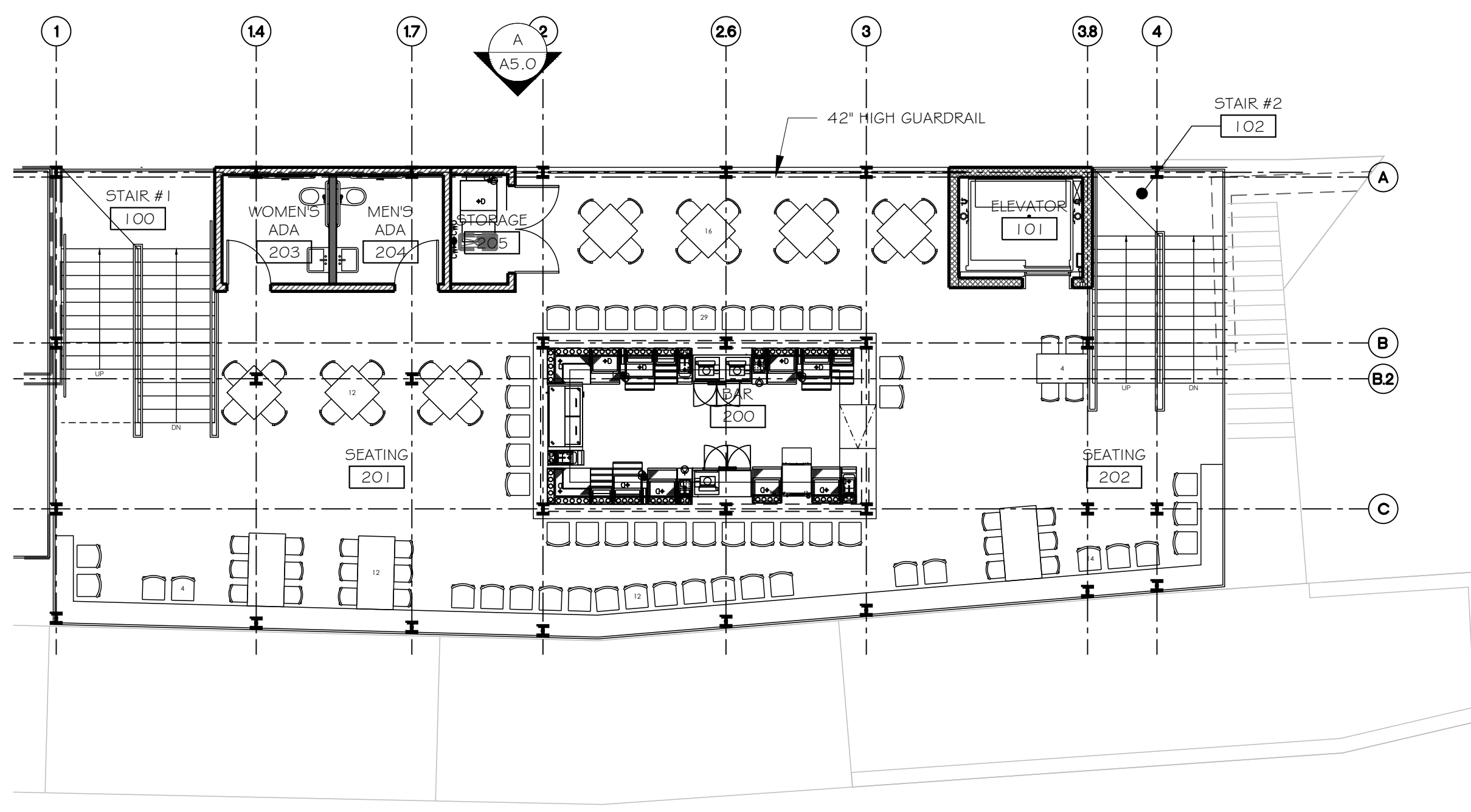
LIFE SAFETY LEGEND

- EXIT LIGHT FIXTURE
- FIRE EXTINGUISHER
- HORN/ STROBE FIXTURE
- EXIT CAPACITY IN INCHES
- ORIGIN OF TRAVEL DISTANCE
- TRAVEL DISTANCE (PATH)

NOTE:
 THERE IS NO SIGNAGE PROPOSED UNDER THIS SCOPE OF WORK AT THIS TIME. ANY FUTURE SIGNAGE WILL MEET THE REQUIREMENTS IN THE CODE OF ORDINANCES AS REQUIRED, UNDER A SEPARATE PERMIT.



1 NEW 1ST FLOOR & LIFE SAFETY PLAN
 SCALE: 1/8" = 1'-0"



2 NEW 2ND FLOOR & LIFE SAFETY PLAN
 SCALE: 1/8" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE ORDINANCES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE SCOPE OF THE CONTRACT.

REVISIONS

NO.	DATE	DESCRIPTION
1	2-1-24	STAFF REPORT MEMORANDUM-SITE PLAN APPLICATION #37-2024-01

WILLIAM KARNS ENTERPRISES, INC.
 BILL KARNS, PRESIDENT
 1405 BERRY BEACH, SUITE H
 WEST PALM BEACH, FL 33416
 727-367-3000
 WKARNS@KARNSENTERPRISES.COM

DON'S DOCK RESTAURANT
 215 BOARDWALK PLACE EAST, MADEIRA BEACH, FL 33708
 PIN #: 15-31-15-00000-410-0200

LANG + FERFOGLIA
 ARCHITECTURE | DEVELOPMENT
 FL LICENSE # AR100258 AIA REGISTRATION # 39011970
 2000 34TH AVENUE N, ST PETERSBURG, FL 33713
 TEL: (727) 698-5877

DRAWN BY: SFF
 DATE: 10-12-23
 PROJECT #: 2216
 SHEET: A1.1

GENERAL NOTES:

- DIMENSIONING IS TAKEN TO THE FACE OF STUD (F.O.S.)
- COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH STRUCTURAL DRAWINGS BEFORE LAYING OUT PHYSICAL BUILDING IN FIELD. CONTACT ARCHITECT WITH ANY DISCREPANCIES OR QUESTIONS AS TO CRITICAL DIMENSIONS.
- ALL FLOORING TO HAVE SLIP RESISTANT FINISH. ALL WALL FINISHES TO BE CLASS "C" FLAMESPREAD. VERIFY ALL FINISHES WITH OWNER. SMOOTH TEXTURE ON ALL WALLS AND CEILINGS WHERE APPLICABLE. SQUARE CORNER BEAD ON CORNERS. VERIFY PAINT WITH OWNER.
- PLUMBING FIXTURES TO BE OF A STANDARD GRADE. COLOR TO BE WHITE WITH BRUSHED NICKEL HARDWARE. U.N.O.
- SEE ENLARGED PLANS ON SHEET A3.0 FOR ADDITIONAL NOTES, DETAILS & DIMENSIONS.

ACCESSIBILITY NOTES:

- NO ABRUPT CHANGES IN ELEVATION ALONG PATH OF TRAVEL SHALL BE ALLOWED.
- SLOPES SHALL NOT EXCEED 1:20 UNLESS A RAMP IS PROVIDED.
- RAMP SLOPES SHALL NOT EXCEED 1:12 SLOPE
- CROSS SLOPES SHALL NOT EXCEED 2%
- MAX 1/4" VERTICAL & 1/4" BEVELED EDGE (TOTAL 1/2") THRESHOLD HEIGHT.
- SEE DETAIL 1 ON A4.0 FOR ALL ADA MOUNTING HEIGHTS AND BATH INTERIOR ELEVATIONS

SYMBOL REFERENCES

- SPACE NUMBERS
- EQUIPMENT OR KEYED NOTES
- DOOR NUMBERS
- REVISIONS MADE TO THIS SHEET
- WINDOW TYPES
- BUILDING SECTIONS OR ELEVATIONS

WALL LEGEND

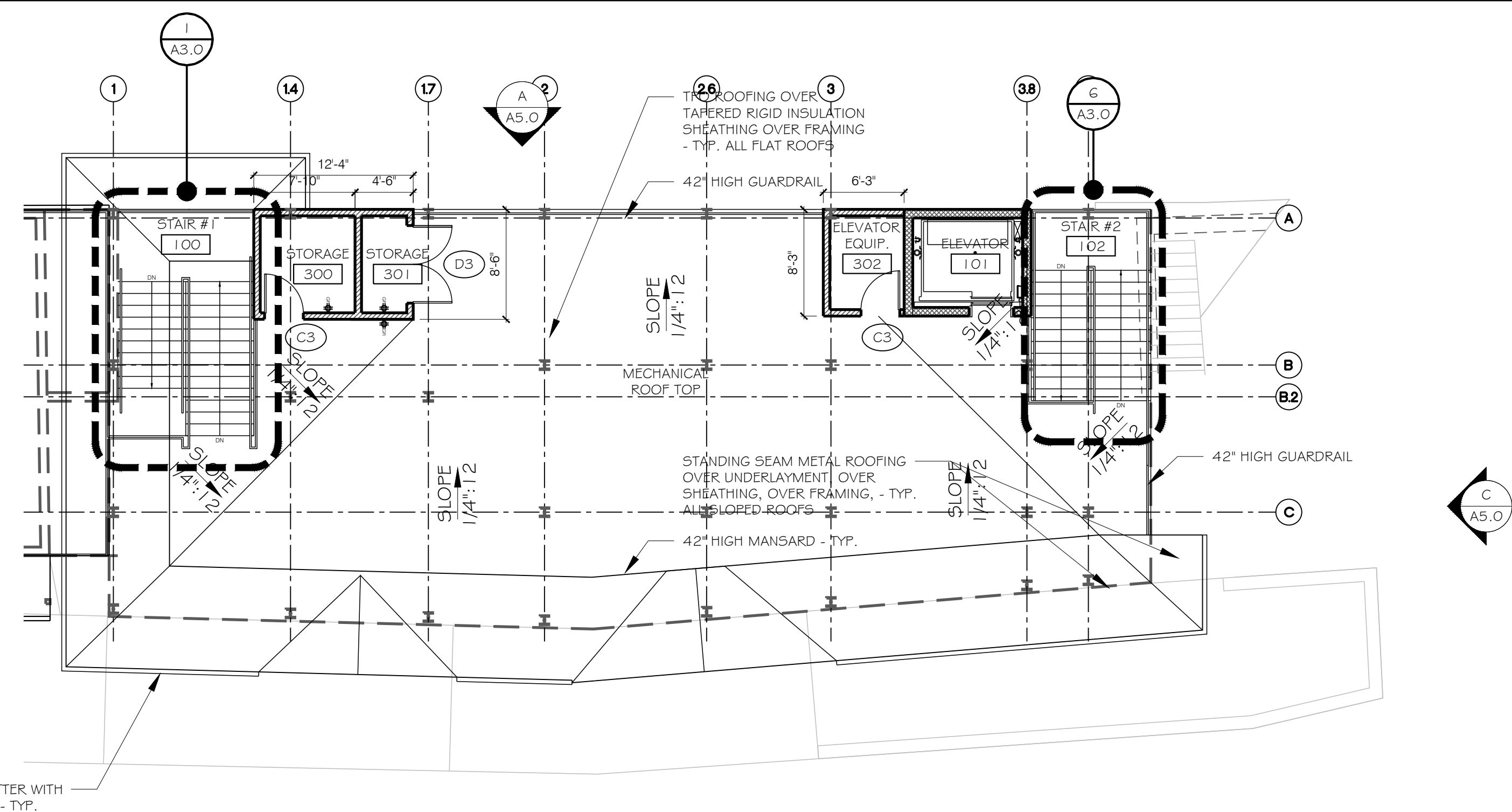
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- 2 x 6 EXTERIOR WOOD FULL HEIGHT WALL AT 16" O.C. - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" GYPSUM BOARD WITH R-13 INSULATION ON INTERIOR SIDES; 8'-0" WALL HEIGHT AT ROOF LEVEL - SEE 4/ A4.1
- 2 x 6 INTERIOR WOOD STUD FULL HEIGHT WALL AT 16" O.C. - INSTALL 1/2" GYPSUM BOARD ON EACH SIDE - SEE 5/ A4.1
- 2 x 6 EXTERIOR WOOD LOW WALL AT 16" O.C. WITH DECORATIVE RAILING ABOVE - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR WALL SIDES - SEE ELEVATIONS FOR WALL & RAILING HEIGHTS - SEE 1/ A4.1
- 2 x 6 WOOD STUD LOW BAR WALL AT 16" O.C. WITH NEW COUNTERTOP - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" WATER RESISTANT GYPSUM BOARD ON & FRP ON INTERIOR SIDE - SEE 2 & 3/ A4.1

- NOTE:
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 - USE WATER RESISTANT GYPSUM BOARD IN ALL WET AREAS AS REQUIRED

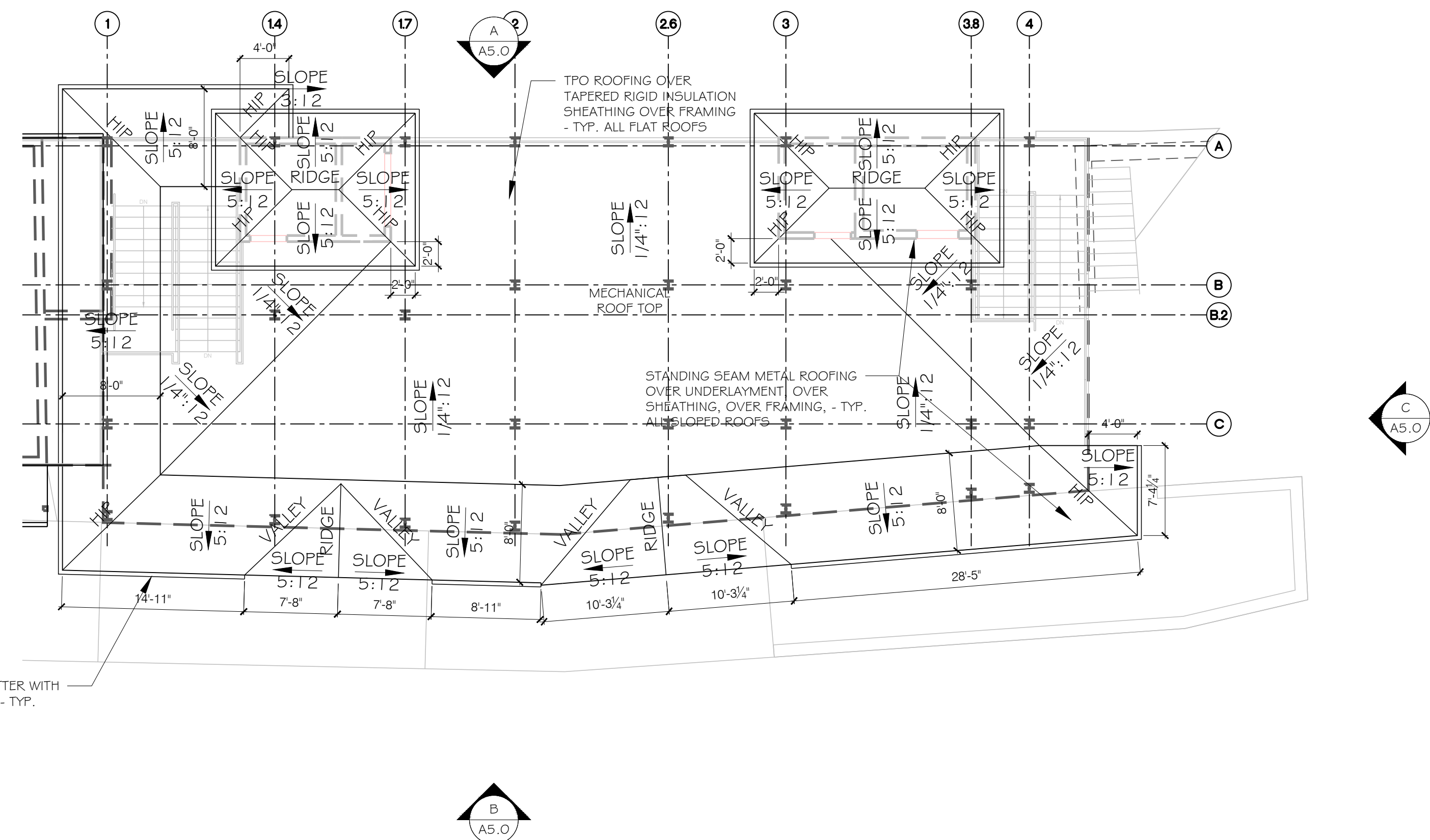
LIFE SAFETY LEGEND

- EXIT LIGHT FIXTURE
- FIRE EXTINGUISHER
- HORN/ STROBE FIXTURE
- EXIT CAPACITY IN INCHES
- ORIGIN OF TRAVEL DISTANCE
- TRAVEL DISTANCE (PATH)

NOTE:
THE MECHANICAL ROOFTOP AREA IS NOT SPACE OCCUPIED BY THE PUBLIC. IT IS SOLELY FOR THE PURPOSE OF ACCESSING EQUIPMENT



1 NEW ROOF DECK PLAN
SCALE: 1/8" = 1'-0"



2 NEW ROOF PLAN
SCALE: 1/8" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS SET FORTH IN THE BUILDING CODES.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND CONFLICTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING 5 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

REVISIONS		DESCRIPTION
NO	DATE	2-1-24
Δ		

WILLIAM KARNS ENTERPRISES, INC.
BILL KARNS, PRESIDENT
140 GIBSON BLVD., SUITE H
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TEL (727) 698-5977

DRAWN BY:	SFF
DATE:	10-12-23
PROJECT #:	2216
SHEET:	A1.2

GENERAL NOTES:

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- SEE ENLARGED PLANS ON SHEET A3.0 FOR ADDITIONAL NOTES, DETAILS & DIMENSIONS.

ACCESSIBILITY NOTES:

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SYMBOL REFERENCES

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- ◇ WINDOW TYPES
- ⊗ BUILDING SECTIONS OR ELEVATIONS

WALL LEGEND

- 8 x 8 x 16 CMU ELEVATOR SHAFT WALL - INSTALL HORIZONTAL LAP SIDING OVER BUILDING PAPER ON EXTERIOR SIDES ONLY - SEE ELEVATIONS FOR WALL HEIGHT AND STRUCTURAL PLANS
- 2 x 6 EXTERIOR WOOD FULL HEIGHT WALL AT 16" O.C. - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" GYPSUM BOARD WITH R-13 INSULATION ON INTERIOR SIDES; 8'-0" WALL HEIGHT AT ROOF LEVEL - SEE 4/ A4.1
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- NOTE:
- ALL WALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.)
 - USE WATER RESISTANT GYPSUM BOARD IN ALL WET AREAS AS REQUIRED

GENERAL ELECTRICAL NOTES:

- LUMINARIES THAT ARE RECESSED INTO INSULATED AREAS ARE REQUIRED TO BE RATED FOR INSULATION CONTACT ("IC-RATED"), AIR TIGHT AND SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING.
- SWITCH HEIGHT TO BE +44" ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SELECT ALL LIGHT FIXTURES WITH TENANT.
- CONTRACTOR TO PROVIDE FLUORESCENT LAMPS WITH COLOR TEMPERATURES PER TENANT'S REQUIREMENTS - VERIFY PRIOR TO ORDERING.

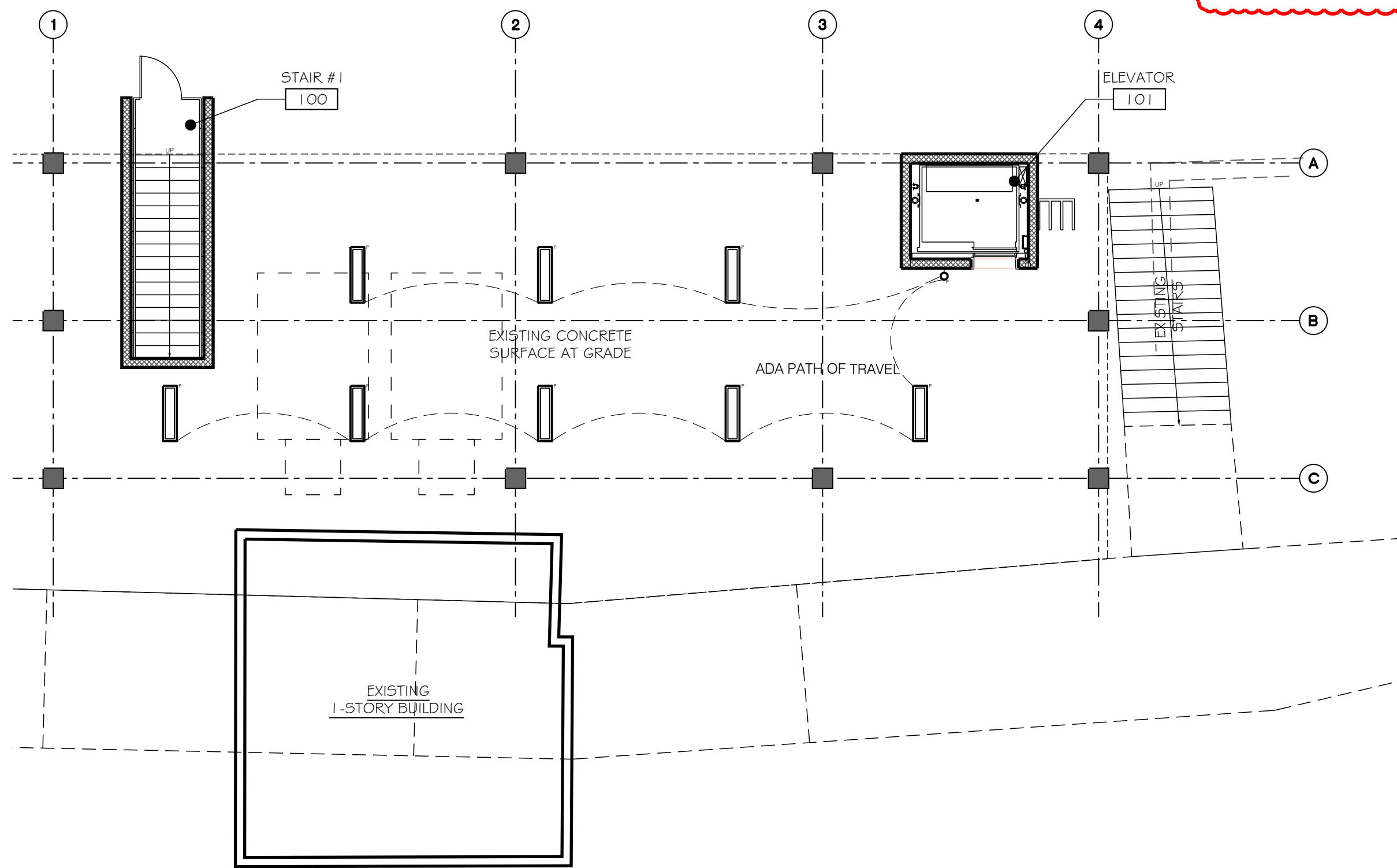
ELECTRICAL LEGEND

*ALL SYMBOLS ON THE PLANS MARKED *P* SHALL BE ON A PHOTOCELL

- 2' x 2' LAY-IN ACOUSTICAL TILE CEILING SYSTEM - CONTRACTOR TO VERIFY COLOR & FINISH WITH OWNER
- 2' x 2' LAY-IN LIGHT FIXTURE
- 1' x 4' SURFACE MOUNTED LIGHT FIXTURE
- RECESSED CAN LIGHT FIXTURE
- TRACK LIGHT FIXTURE
- WALL SCONCE LIGHT FIXTURE
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LIFE SAFETY LEGEND

- EXIT LIGHT FIXTURE
- FIRE EXTINGUISHER
- HORN/ STROBE FIXTURE
- EXIT CAPACITY IN INCHES
- ORIGIN OF TRAVEL DISTANCE
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NOTE:
THERE IS NO SIGNAGE PROPOSED UNDER THIS SCOPE OF WORK AT THIS TIME. ANY FUTURE SIGNAGE WILL MEET THE REQUIREMENTS IN THE CODE OF ORDINANCES AS REQUIRED, UNDER A SEPARATE PERMIT.

PER ARTICLE VI, DIVISION 5: GLARE & LIGHTING
INDOOR & OUTDOOR LIGHTING INCLUDING DECORATIVE & ACCENT LIGHTING WILL MEET THE REQUIREMENTS OF SECTION 110-503:
SEC. 110-503. - RESTRICTION ON OUTDOOR LIGHTING. NO PERSON OR BUSINESS MAY CONSTRUCT, ERECT OR MAINTAIN ANY OUTDOOR LIGHTING OR OUTDOOR LIGHTING FIXTURES WHICH CASTS GLARE UPON OFFSITE PROPERTY OR BEACHES. FOR THE PURPOSE OF THIS SECTION, OUTDOOR LIGHTING AND OUTDOOR LIGHTING FIXTURES SHALL BE CONSIDERED TO CAST GLARE ON THE PROPERTY OF ANOTHER IF ANY PART OF THE LIGHT BULB OR LIGHT EMITTING APPARATUS, WHETHER INCANDESCENT OR FLUORESCENT, IS VISIBLE FROM THE PROPERTY OF ANOTHER.

THE ONLY TEMPORARY LIGHTING UTILIZE WILL BE FOR THE PURPOSES OF CONSTRUCTION. ALL TEMPORARY LIGHTING WILL MEET THE REQUIREMENTS OF SECTION 110-507:
SEC. 110-507. - TEMPORARY LIGHTING. FOR THE PURPOSE OF THIS SECTION, ANY OUTDOOR LIGHTING OR OUTDOOR LIGHTING FIXTURE ERECTED OR MAINTAINED IN EXCESS OF 30 DAYS SHALL NOT BE CONSIDERED TEMPORARY. ALL TEMPORARY LIGHTING SHALL COMPLY WITH ALL OF THE GENERAL STANDARDS LISTED IN SECTION 110-504 AND SHALL BE MOUNTED NO MORE THAN EIGHT FEET ABOVE THE GROUND.

TEMPORARY LIGHTING OF CONSTRUCTION SITES, IF NOT OTHERWISE PROHIBITED UNDER FAC 62B-33, SHALL BE RESTRICTED TO THE MINIMAL NUMBER OF LIGHTS NECESSARY TO CONFORM TO STATE AND/OR FEDERAL SAFETY REGULATIONS (E.G., OSHA). THESE LIGHTS ARE EXEMPT OF THIS DIVISION, BUT SHALL COMPLY WITH ALL OF THE GENERAL STANDARDS LISTED IN SECTION 110-504 AND SHALL BE MOUNTED NO MORE THAN EIGHT FEET ABOVE THE GROUND AND MUST BE TURNED OFF DURING SEA TURTLE SEASON FROM SUNSET EACH NIGHT UNTIL SUNRISE EACH MORNING.

THIS PROJECT DOES NOT RESIDE WITHIN A SEA TURTLE CONSERVATION ZONE
SEA TURTLE CONSERVATION ZONE MEANS:
(1) ALL BEACH AREAS; AND
(2) ALL PROPERTIES ADJACENT TO GULF BOULEVARD AND GULF LANE; AND
(3) INCLUDING GULF BOULEVARD AND GULF LANE IN THE CITY OF MADEIRA BEACH.

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY PROVISIONS AS DEEMED NECESSARY.

REVISIONS

NO.	DATE	DESCRIPTION
1	2-1-24	STAFF REPORT MEMORANDUM- SITE PLAN APPLICATION #37 2024-01

WILLIAM KARNS ENTERPRISES, INC.
BILL KARNS, PRESIDENT
140 GIBSON BEACH, SUITE 104
MADEIRA BEACH, FL 32149
727-367-3000
WKARNS@KARNSENTERPRISES.COM

CLIENT

DON'S DOCK RESTAURANT
215 BOARDWALK PLACE EAST, MADEIRA BEACH, FL 33708
PIN #: 15-31-15-00000-410-0200

DRAWN BY: SFF
DATE: 10-12-23
PROJECT #: 2216
SHEET: A2.0

LANG + FERFOGLIA
ARCHITECTURE | DEVELOPMENT
FL LICENSE # AR100258 AIA REGISTRATION # 39211970
2000 34TH AVENUE N, ST PETERSBURG, FL 33713
TEL: (727) 698-5877

DENNING LANG ARCHITECT, AIA
LICENSE #A0000818

GENERAL NOTES:

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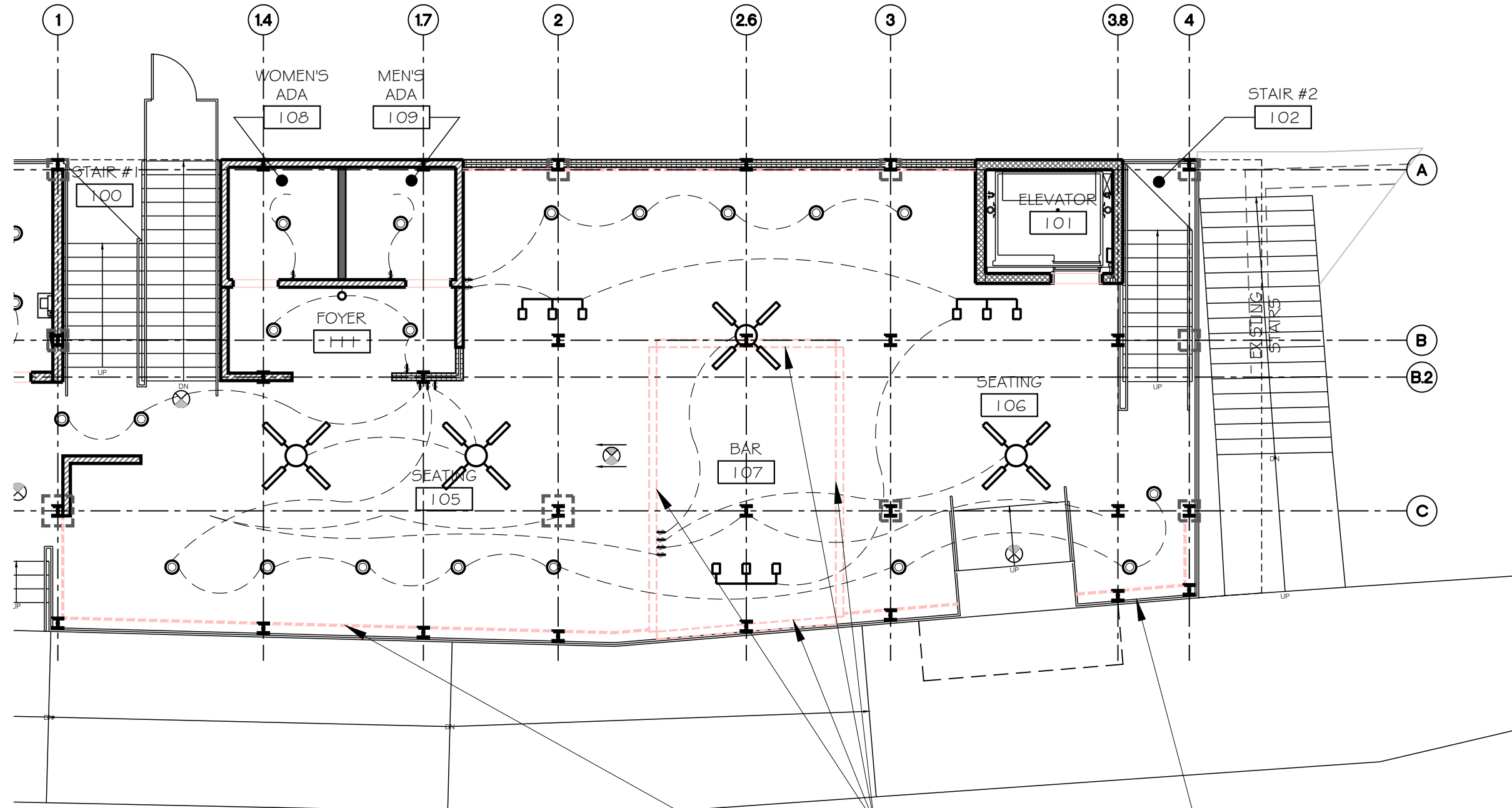
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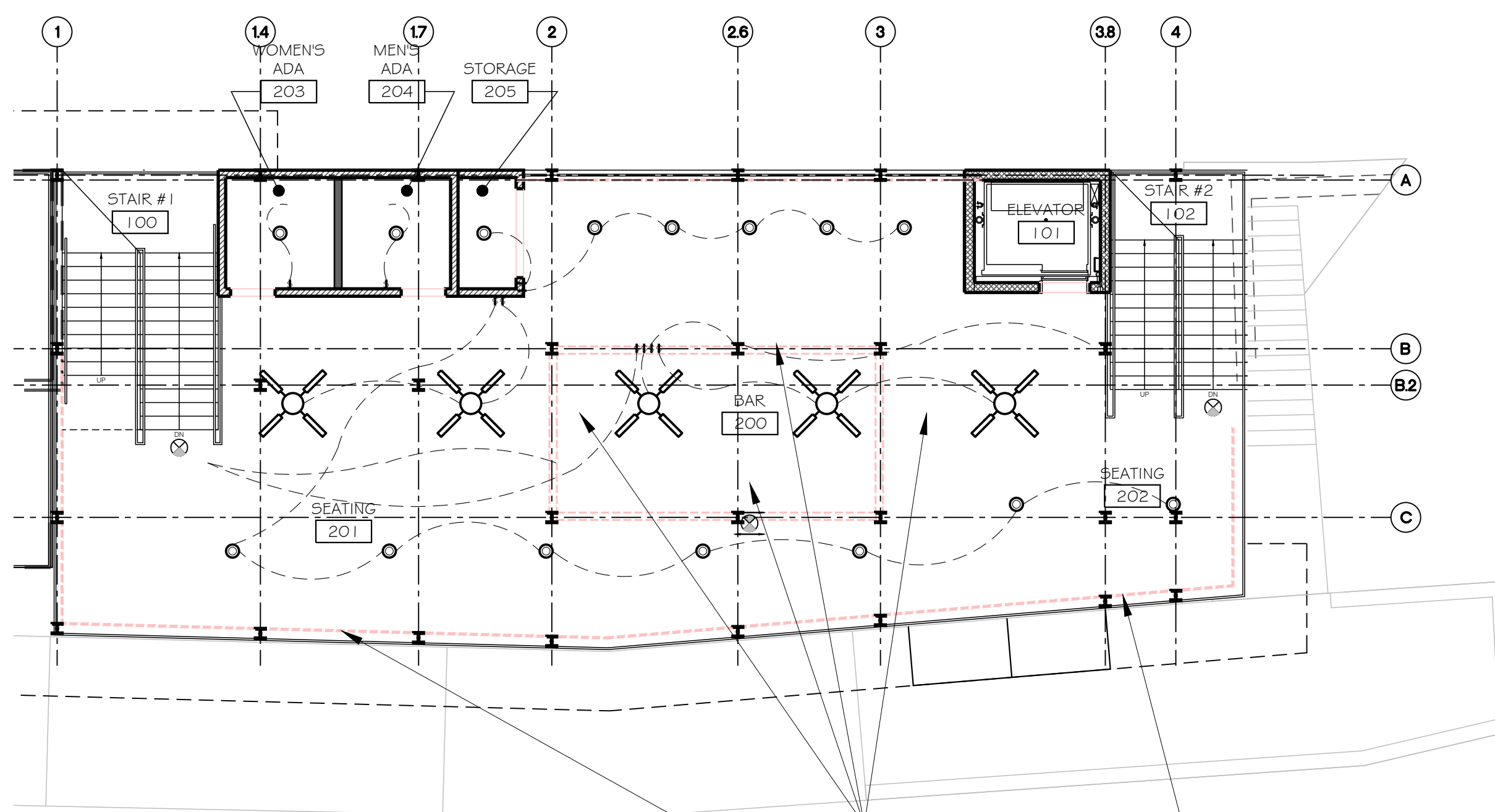
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1 NEW 1ST FLOOR CEILING & LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0"



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SCALE: 1/8" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE ORDINANCES. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED IN CONNECTION WITH THESE PLANS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT.

REVISIONS

NO.	DATE	DESCRIPTION
1	2-1-24	STAFF REPORT MEMORANDUM-SITE PLAN APPLICATION #27-2024-01

WILLIAM KARNS ENTERPRISES, INC.
BILL KARNS, PRESIDENT
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DON'S DOCK RESTAURANT
215 BOARDWALK PLACE EAST, MADEIRA BEACH, FL 33708
PIN #: 15-31-15-00000-410-0200

LANG + FERFOGLIA
ARCHITECTURE | DEVELOPMENT
FL LICENSE # AR100258 AIA REGISTRATION # 39011970
2000 34TH AVENUE N, ST PETERSBURG, FL 33713
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DENNING LANG ARCHITECT, AIA
LICENSE #A0000818

DRAWN BY: SFF
DATE: 10-12-23
PROJECT #: 2216
SHEET: A2.1

DONS DOCK - JOHNS PASS

SITE DEVELOPMENT PLAN

SECTION 15, TOWNSHIP 31 S, RANGE 15 E
MADEIRA BEACH, FLORIDA

LEGAL DESCRIPTION

THAT PORTION OF LAND LYING SOUTHEASTERLY OF LOTS 1, 2 AND 3, BLOCK 1, MITCHELL'S BEACH, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN PLAT BOOK 3, PAGE 54, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA AND LYING BETWEEN THE EXTENDED NORTHEASTERLY LINE OF SAID LOT 1, BLOCK 1 IN A SOUTHEASTERLY DIRECTION AND THE EXTENDED SOUTHWESTERLY LINE OF SAID LOT 3, BLOCK 1 IN A SOUTHEASTERLY DIRECTION, TO THE MEAN HIGH WATER LINE OF JOHN'S PASS.

THE ABOVE DESCRIBED PROPERTY BEING ONE AND THE SAME AS THE PARCEL DESCRIBED AS FOLLOWS:

THAT PORTION OF LAND LYING SOUTHEASTERLY OF LOTS 1, 2 AND 3, BLOCK 1, MITCHELL'S BEACH, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN PLAT BOOK 3, PAGE 54, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA AND LYING NORTHWESTERLY OF THE MEAN HIGH WATER LINE OF SAID LOT 1 AND THE SOUTHWESTERLY LINE OF SAID LOT 3, AS EXTENDED SOUTHEASTERLY TO SAID JOHN'S PASS.

LESS AND EXCEPT THE NORTHWESTERLY 30 FEET THEREOF FOR THE RIGHT OF WAY FOR 128TH AVENUE.

LOCATION MAP



DRAWING INDEX

SHEET	TITLE
C1	COVER SHEET
C2	NOTES & SPECIFICATIONS
C3	STORMWATER POLLUTION PREVENTION PLAN
C4	EXISTING CONDITIONS
C4A	EXISTING CONDITIONS/DEMOLITION PLAN
C5	SITE DEVELOPMENT PLAN (GROUND FLOOR)
C6	SITE DEVELOPMENT PLAN (SECOND & THIRD FLOORS)
C7	OFFSITE WATER MAIN EXTENSION PLAN & PROFILE
C8	CONSTRUCTION DETAILS
C9	CONSTRUCTION DETAILS
C10	CONSTRUCTION DETAILS

SITE DATA TABLE

SITE ADDRESS:	209 & 215 BOARDWALK PLACE EAST MADEIRA BEACH, FL		
PARCEL ID:	15-31-15-00000-410-1500 & 15-31-15-00000-410-0200		
PROPOSED USE:	RESTAURANT & BAR		
FUTURE LAND USE MAP DESIGNATION:	COMMERCIAL GENERAL		
EXISTING ZONING:	C-2		
TOTAL LAND AREA:	±6,855 SF (0.157 AC)		
SITE DATA TOTALS	EXISTING	PROPOSED	MIN/MAX REQUIRED
BUILDING (GROUND FLOOR)	814 SF	814 SF	
PAVEMENT:	5,073 SF	4,866 SF	
IMPERVIOUS:	5,887 SF (85.9%)	5,680 SF (82.9%)	85% MAX
OPEN SPACE:	968 SF	1,175 SF (17.1%)	15% MIN
BUILDING FAR	0.12	0.24 (2)	0.55 MAX
PARKING SPACES	(*)	(*)	
BUILDING HEIGHT	2-STORY	3-STORY (1)	34 FT
BUILDING SETBACKS:			
FRONT (NORTH)	23.6 FT	20.4 FT	
FRONT (EAST)	5.7 FT (INTERIOR LOT)	0 FT	
SIDE (WEST)	4.2 FT	4.2 FT (EXISTING BLDG)	
SIDE (SOUTH)	1.1 FT	1.1 FT (EXISTING BLDG)	
FLOOD ZONE:	PROJECT LIES WITHIN FLOOD ZONE AE (EL 11) AND VE (EL 13) AS DELINEATED IN FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 12103C0192H, INDEX DATED AUGUST 24, 2021.		
(1) MEASURED FROM DESIGN FLOOD ELEVATION (D.F.E.) AS REQUIRED (WHICH IS BASE FLOOD EL AE-11 + 1' OF FREEBOARD (EL 12) PER THE VARIANCE APPROVAL. THE HEIGHT TO THE ROOF DECK IS 29'-4" FROM D.F.E., WITH THE ELEVATOR BEING 13'-1" ABOVE THAT.			
(2) 814 SF (EXISTING KITCHEN) + 842 SF PROPOSED ENCLOSED AREA = 1,676 SF TOTAL (2ND & 3RD FLOORS)			

(*) SEE PARKING CALCULATIONS ON THE DON'S DOCK RESTAURANT ARCHITECTURAL PLANS DATED 10-12-23

PROJECT DIRECTORY

OWNERS: JWBMB HOLDINGS, LLC
429 BOCA CIEGA DR
MADEIRA BEACH, FL 33708

DEVELOPER: BOARDWALK PLACE PROPERTIES, LLC
101 150TH AVENUE
MADEIRA BEACH, FL 33708

CIVIL ENGINEER: GULF COAST CONSULTING, INC.
13825 ICOT BOULEVARD, SUITE 605
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PHONE: 727-524-1818
ATTN: SEAN P. CASHEN, P.E. 42505

SURVEYOR: GEODATA SERVICES INC.
1166 KAPP DRIVE
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PREPARED FOR:
BOARDWALK PLACE PROPERTIES, LLC
101 150TH AVENUE
MADEIRA BEACH, FL 33708



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SEAN P. CASHEN
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 42505

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SEAN P. CASHEN ON THE DATE INDICATED HERE USING A SHA AUTHENTICATION CODE.

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22-065
DATE: 08/17/2023
REV: 02/06/2024
DONS DOCK - JOHNS PASS

MISCELLANEOUS

- 1. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE PERMITS AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE ANY NECESSARY INSPECTIONS ACCORDING TO AGENCY INSTRUCTIONS.
2. ALL SPECIFICATIONS AND DOCUMENTS REFERRED TO IN THESE PLANS SHALL BE OF THE LATEST REVISION.
3. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO THE OWNER'S ENGINEER FOR APPROVAL. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE.
5. WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORKS PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THE REQUIRED PERMITS TO PERFORM WORK IN THE PUBLIC RIGHT-OF-WAY.
7. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES BEFORE ORDERING MATERIALS AND CASTING STRUCTURES.
8. IT WILL BE NECESSARY TO EXAMINE, COORDINATE AND ADJUST ACCORDINGLY THE PROPOSED LOCATIONS OF THE VARIOUS COMPONENTS OF THE SITE UTILITIES. THE LOCATIONS INDICATED IN THE PLANS ARE NOT EXACT AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SUBMIT COORDINATION DRAWINGS SHOWING PIPE SIZES, STRUCTURES, AND ELEVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING AND COORDINATION OF THE ALL UNDERGROUND WORK ASSOCIATED WITH THIS PROJECT.
9. THE CONSTRUCTION OF ALL ABOVE GROUND UTILITY APPURTENANCES VISIBLE FROM THE PUBLIC RIGHT-OF-WAY SUCH AS PEDESTALS, UTILITY METERS, TRANSFORMERS, BACK-FLOW PREVENTION DEVICES, ETC FOR NEW DEVELOPMENT OR REDEVELOPMENT ACTIVITIES SHALL CONFORM TO SCREENING REQUIREMENTS AS OUTLINED IN SECTION 6.06.06.C.10 OF THE LAND DEVELOPMENT CODE. PLANT LOCATION MUST BE CONGRUATE OF REQUIREMENTS FOR THE UNIFORM FIRE FLOW PROTECTION APPLIANCE IN ACCORDANCE TO THE UNIFORM FIRE CODE.
10. ADJUSTMENTS OF INLETS, JUNCTION BOXES, MANHOLE TOPS, WATER VALVES, WATER METERS, ETC. SHALL BE INCLUDED IN THE CONTRACTOR'S BID AND NO CLAIM SHALL BE MADE AGAINST THE OWNER OR ENGINEER FOR THESE ADJUSTMENTS, IF REQUIRED.

SAFETY

- 1. DURING THE CONSTRUCTION AND MAINTENANCE OF THIS PROJECT ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL.
2. THE CONTRACTOR'S MAINTENANCE OF TRAFFIC PLAN MUST BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN THE FOOT RIGHT-OF-WAY.
3. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
4. CONTRACTOR SHALL PROVIDE AND MAINTAIN THEIR OWN SAFETY EQUIPMENT IN ACCORDANCE WITH THEIR HEALTH & SAFETY PROGRAM AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REGULATIONS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING THEIR EMPLOYEES AND SUBCONTRACTORS WITH ADEQUATE INFORMATION AND TRAINING TO ENSURE THAT ALL EMPLOYEES AND SUBCONTRACTORS AND SUBCONTRACTORS' EMPLOYEES COMPLY WITH ALL APPLICABLE REQUIREMENTS. CONTRACTOR SHALL REMAIN IN COMPLIANCE WITH ALL OCCUPATIONAL SAFETY AND HEALTH REGULATIONS AS WELL AS THE ENVIRONMENTAL PROTECTION LAWS. THE FOLLOWING IS NOT TO BE PERCEIVED AS THE ENTIRE SAFETY PROGRAM BUT JUST BASIC REQUIREMENTS.
5. ALL EXCAVATIONS BY THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENT OF LABOR'S OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION RULES AND REGULATIONS. PARTICULAR ATTENTION MUST BE PAID TO THE CONSTRUCTION STANDARDS FOR EXCAVATIONS, 29 CFR PART 1926, SUBPART P.
6. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS SHALL BE FOLLOWED IN THE DESIGN, APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS.
7. ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
8. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.
9. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE UTILITY COMPANIES PRIOR TO CONSTRUCTION TO OBTAIN FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES. CALL SUNSHINE STATE ONE AT 811 TO ARRANGE FIELD LOCATIONS.
10. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THIS CONTRACT.
11. ALL UNDERGROUND UTILITIES MUST BE IN PLACE AND TESTED OR INSPECTED PRIOR TO BASE AND PAVEMENT CONSTRUCTION.

SITE PLAN AND COORDINATE GEOMETRY

- 1. CURRENT ZONING: R-3
2. ALL POINTS AND MONUMENTS SHALL BE SURVEYED UPON MOBILIZATION TO VERIFY THEIR ACCURACY. ANY DISCREPANCIES DISCOVERED MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING.
3. MONUMENTS AND OTHER SURVEY CONTROL POINTS SHALL BE PROTECTED FROM DAMAGE AND DISTURBANCE. IF ANY CONTROL POINTS ARE DAMAGED OR DISTURBED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND REPLACE THE CONTROL POINTS TO THEIR ORIGINAL CONDITION AT HIS OWN EXPENSE.
4. BEARINGS SHOWN HEREON ARE BASED ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF GULF BOULEVARD, HAVING AN GRID BEARING OF S 48°26'15"E. THE GRID BEARINGS AS SHOWN HEREON REFER TO THE STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD 83-2007 ADJUSTMENT) FOR THE WEST ZONE OF FLORIDA, AS ESTABLISHED FROM RTK NETWORK.
5. THE SUBJECT PROPERTY LIES IN FLOOD ZONE "VE" WITH ELEVATIONS OF 13' ACCORDING TO FLOOD INSURANCE RATE MAP, MAP NO. 12103C0191G FOR PINELLAS COUNTY, FLORIDA, COMMUNITY NO. 125127, DATED SEPTEMBER 3, 2003 AND ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

- 5. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
6. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL FURNISH THE OWNER'S ENGINEER WITH COMPLETE "AS-BUILT" INFORMATION CERTIFIED BY A REGISTERED LAND SURVEYOR. THIS "AS-BUILT" INFORMATION SHALL INCLUDE INVERT ELEVATIONS, LOCATION OF FITTINGS, LOCATION OF STRUCTURES FOR ALL UTILITIES INSTALLED, AS WELL AS TOP OF BANK, TOE OF SLOPE AND GRADE BREAK LOCATIONS AND ELEVATIONS FOR POND AND DITCH CONSTRUCTION. NO ENGINEER'S CERTIFICATIONS FOR CERTIFICATE OF OCCUPANCY PURPOSES WILL BE MADE UNTIL THIS INFORMATION IS RECEIVED AND APPROVED BY THE OWNER'S ENGINEER.
7. VERTICAL DATUM FOR ELEVATIONS REFERENCE IN THESE PLANS IS NAVD88.

CLEARING/DEMOLITION

- 1. PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN AS INDICATED ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH LOCAL TREE ORDINANCES AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREE SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM CITY OF MADEIRA BEACH OR THE OWNER.
2. THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCHED, SODDED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
3. REMAINING EARTHWORK THAT RESULTS FROM CLEARING AND GRUBBING OR SITE EXCAVATION IS TO BE UTILIZED ON-SITE IF REQUIRED, PROVIDED THAT THE MATERIAL IS DEEMED SUITABLE FOR CONSTRUCTION BY THE OWNER'S SOILS TESTING COMPANY. EXCESS MATERIAL IS TO BE EITHER STOCKPILED ON THE SITE AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER, OR REMOVED FROM THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING EXCESS EARTHWORK FROM THE SITE.
4. ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREMENTS.
5. CONTRACTOR WILL BE RESPONSIBLE FOR MAKING A VISUAL INSPECTION OF THE SITE AND WILL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL PURSUANT TO ALL FEDERAL, STATE, COUNTY, CITY OR OTHER GOVERNMENT AGENCY REQUIREMENTS, OF ALL UNDERGROUND AND ABOVE GROUND STRUCTURES THAT WILL NOT BE INCORPORATED WITHIN THE NEW FACILITIES.

PAVING AND GRADING

- 1. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER, THE OWNER'S ENGINEER, OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS TO BE BACK FILLED WITH APPROVED MATERIAL AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PILING AND APPURTENANCES ARE BEING PLACED.
3. ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOIL TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS OR THE REFERENCED SOILS REPORT.
4. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
5. CONTRACTOR SHALL TRIM, TACK AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
6. CURBING WILL BE PLACED AT THE EDGE OF ALL PAVEMENT, AS SHOWN ON THE PLANS.
7. REFER TO THE LATEST EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL F.D.O.T. TYPE CURBING AND GUTTERS CALLED FOR IN THESE PLANS.
8. CONTRACTOR TO PROVIDE A 1/2" TO 1" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ABUTMENT OF CONCRETE AND OTHER MATERIALS (BUILDINGS, OTHER POURED CONCRETE, ETC.)
9. ALL PAVEMENT MARKINGS SHALL BE MADE WITH PERMANENT THERMOPLASTIC AND SHALL CONFORM TO F.D.O.T. STANDARD INDEX NO. 17348, SHEETS 1-7. PARKING STRIP STRIPING TO BE 4" WIDE PAINTED STRIPES.
10. CONTRACTOR IS TO PROVIDE EROSION CONTROL AND SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS. STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITY, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC. THE CONTRACTOR IS TO REMOVE SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.
11. IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION OR OTHER ACCEPTABLE METHODS.
12. THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOD OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER. WITHIN THE FOOT RIGHT-OF-WAY, THE CONTRACTOR SHALL STABILIZE THE RIGHT-OF-WAY BY SODDING ONLY.

DRAINAGE

- 1. STANDARD INDEXES REFER TO THE LATEST EDITION OF THE FOOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM.
2. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS.
3. PIPE LENGTHS SHOWN ARE APPROXIMATE AND MEASURED FROM CENTER TO CENTER OF THE PROPOSED DRAINAGE STRUCTURES OR TO THE CONNECTION OF END WALLS AND MITERED END SECTIONS.

- 4. ALL DRAINAGE STRUCTURE GRATES AND COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
5. ALL STORM DRAINAGE PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION. CONTRACTOR SHALL ONLY INSTALL FDOT APPROVED/STAMPED PIPE IN FDOT RIGHT-OF-WAY.
6. THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE BY THE OWNER'S ENGINEER.

EXISTING TREE PROTECTION NOTES:

- 1. REQUIRED BARRICADES AND FLAGGING SHALL BE ERECTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER AND PINELLAS COUNTY PRIOR TO COMMENCEMENT OF LAND ALTERATION ACTIVITIES. COMMENCEMENT OF LAND ALTERATION ACTIVITIES. BARRICADES SHALL REMAIN IN PLACE UNTIL ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED.
2. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OF TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRILINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE COUNTY.

EROSION/TURBIDITY CONTROL NOTES

- 1. THE INSTALLATION OF TEMPORARY EROSION CONTROL BARRIERS SHALL BE COORDINATED WITH THE CONSTRUCTION OF THE PERMANENT EROSION CONTROL FEATURES TO THE EXTENT NECESSARY TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL OF EROSION AND WATER POLLUTION THROUGHOUT THE LIFE OF THE CONSTRUCTION PHASE.
2. THE TYPE OF EROSION CONTROL BARRIERS USED SHALL BE GOVERNED BY THE NATURE OF THE CONSTRUCTION OPERATION AND SOIL TYPE THAT WILL BE EXPOSED. SILTY AND CLAYEY MATERIAL USUALLY REQUIRE SOLID SEDIMENT BARRIERS TO PREVENT TURBID WATER DISCHARGE, WHILE SANDY MATERIAL MAY NEED ONLY SILT SCREENS OR HAY BALES TO PREVENT EROSION. FLOATING TURBIDITY CURTAINS SHALL BE USED IN OPEN WATER SITUATIONS. DIVERSION DITCHES OR SWALES MAY BE REQUIRED TO PREVENT TURBID STORMWATER RUNOFF FROM BEING DISCHARGED TO WETLANDS OR OTHER WATER BODIES. IT MAY BE NECESSARY TO EMPLOY A COMBINATION OF BARRIERS, DITCHES AND OTHER EROSION/TURBIDITY CONTROL MEASURES IF CONDITIONS WARRANT.
3. CONSTRUCTION OPERATIONS IN OR ADJACENT TO WETLANDS SHALL BE RESTRICTED TO THOSE AREAS IDENTIFIED IN THE PLANS AND IN THE SPECIFICATIONS.
4. EXCAVATED MATERIAL SHALL NOT BE DEPOSITED IN THE WETLANDS OR IN A POSITION CLOSE ENOUGH THERETO TO BE WASHED AWAY BY HIGH WATER OR RUNOFF.
5. WHERE PUMPS ARE TO BE USED TO REMOVE TURBID WATERS FROM CONSTRUCTION AREAS, THE WATER SHALL BE TREATED PRIOR TO DISCHARGE TO THE WETLANDS. TREATMENT METHODS INCLUDE AND ARE NOT LIMITED TO, TURBID WATER BEING PUMPED INTO GRASSED SWALES OR APPROPRIATE VEGETATED AREAS, SEDIMENT BASINS, OR CONFINED BY AN APPROPRIATE ENCLOSURE SUCH AS TURBIDITY BARRIERS, AND KEPT CONFINED UNTIL ITS TURBIDITY LEVEL MEETS STATE WATER QUALITY STANDARDS.
6. THE CONTRACTOR SHALL SCHEDULE HIS OPERATIONS SUCH THAT THE AREA OF UNPROTECTED ERODIBLE EARTH EXPOSED AT ANY ONE TIME IS NOT LARGER THAN THE MINIMUM AREA NECESSARY FOR EFFICIENT CONSTRUCTION OPERATIONS. THE DURATION OF EXPOSED UNCOMPLETED CONSTRUCTION TO THE ELEMENTS SHALL BE AS SHORT AS PRACTICABLE. CLEARING AND GRUBBING SHALL BE SO SCHEDULED AND PERFORMED THAT GRADING OPERATIONS CAN FOLLOW IMMEDIATELY THEREAFTER, AND GRADING OPERATIONS SHALL BE SCHEDULED AND PERFORMED THAT PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER IF CONDITIONS ON THE PROJECT PERMIT.
7. THE CONTRACTOR AND/OR OWNER'S REPRESENTATIVE SHALL PROVIDE ROUTINE MAINTENANCE OF PERMANENT AND TEMPORARY EROSION CONTROL FEATURES UNTIL THE PROJECT IS COMPLETE AND ALL BARED SOILS ARE STABILIZED.
8. SILT FENCE SHALL BE LOCATED AT THE PERIMETER OF CONSTRUCTION LIMITS, AS DEFINED BY FIELD CONDITIONS.

SANITARY SEWER

- A. ALL SANITARY SEWER MAINS, LATERALS AND FORCE MAINS SHALL HAVE A MINIMUM COVER OF 36 INCHES.
B. ALL ON SITE P.V.C. GRAVITY SANITARY SEWER PIPE SHALL BE MADE OF MATERIAL HAVING A CELL CLASSIFICATION OF 12454 B, 12454 C OR 13354 B AS DEFINED IN ASTM D-1784 AND CONFORM TO ALL REQUIREMENTS OF SDR 35. ELASTOMERIC GASKET JOINTS SHALL BE UTILIZED.
C. ALL ON SITE DUCTILE IRON PIPE SHALL BE CLASS 52 AND SHALL RECEIVE INTERIOR AND EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.6, A 21.8, OR A 21.51.
D. POINTS OF CONNECTION FOR THE SANITARY SEWER LINES ARE TO BE COORDINATED WITH THE BUILDING PLUMBING PLANS. SANITARY SERVICE CONNECTION LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE.
E. ALL SANITARY SEWER WORK SHALL CONFORM WITH APPLICABLE AGENCY STANDARDS AND SPECIFICATIONS.
F. PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW SANITARY SEWER LINES TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES NEAR THE POINT OF CONNECTION AND NOTIFY OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES WITH DESIGN INFORMATION SHOWN IN THESE PLANS. CONTRACTOR SHALL NOTIFY ENGINEER AND CITY OF MADEIRA BEACH AT LEAST 48 HOURS IN ADVANCE OF SCHEDULED WORK.

WATER DISTRIBUTION

- A. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
B. ALL WATER SYSTEM WORK SHALL CONFORM TO CITY OF MADEIRA BEACH STANDARDS AND SPECIFICATIONS.
C. CONFLICTS BETWEEN WATER AND STORM OR SANITARY SEWER TO BE RESOLVED BY ADJUSTING THE WATER LINES AS NECESSARY.
D. CONTRACTOR TO INSTALL TEMPORARY BLOWOFFS AT THE END OF WATER SERVICE LATERALS TO BUILDINGS TO ASSURE ADEQUATE FLUSHING AND DISINFECTION.
E. THRUST BLOCKING SHALL BE PROVIDED AT ALL FITTINGS AND HYDRANTS AS SHOWN ON DETAILS. ALL JOINTS SHALL BE RESTRAINT JOINT FITTINGS.
F. POINTS OF CONNECTION OF THE EXTERNAL WATER LINES ARE TO COINCIDE WITH THE BUILDING PLUMBING AS SHOWN ON THE BUILDING PLUMBING PLANS. CONNECTION LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE.
G. CONTRACTOR TO PERFORM CHLORINATION AND BACTERIOLOGICAL SAMPLING AND OBTAIN CLEARANCE OF DOMESTIC WATER SYSTEM. COPIES OF ALL BACTERIOLOGICAL TESTS TO BE SUBMITTED TO OWNER'S ENGINEER.
H. WATER MAIN SHALL HAVE SUITABLE MAGNETIC LOCATOR TAPE BURIED APPROXIMATE.

UTILITY SEPARATION NOTES

- 1. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE.
2. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE AT THE UTILITY CROSSINGS DESCRIBED ABOVE. ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. AT SUCH UTILITY CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

NOTES:

- 1. THE SITE LIGHTING PLAN FOR THE PROJECT WILL ADHERE TO THE PROVISIONS IDENTIFIED IN THE MADEIRA BEACH, FL CODE OF ORDINANCES FOR SITE LIGHTING, INCLUDING ORDINANCE 2019-12.
2. AT ALL STREET INTERSECTIONS NO OBSTRUCTION TO VISION (OTHER THAN AN EXISTING BUILDING, POST, COLUMN, OR TREE) EXCEEDING 36 INCHES IN HEIGHT ABOVE THE ESTABLISHED GRADE OF THE STREET AT THE PROPERTY LINE SHALL BE ERECTED OR MAINTAINED ON ANY LOT WITHIN THE TRIANGLE FORMED BY THE STREET LOT LINES OF SUCH LOT AND A LINE DRAWN BETWEEN THE POINTS ALONG SUCH STREET LOT LINES 25 FEET DISTANT FROM THEIR POINT OF INTERSECTION.

CITY OF MADEIRA BEACH NOTES

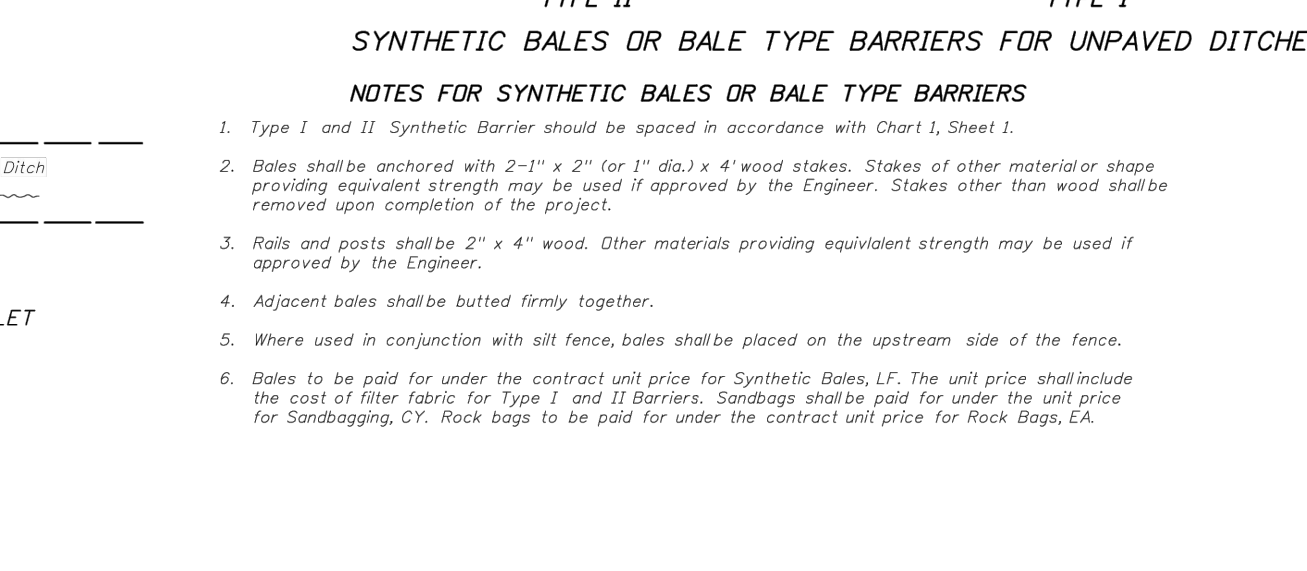
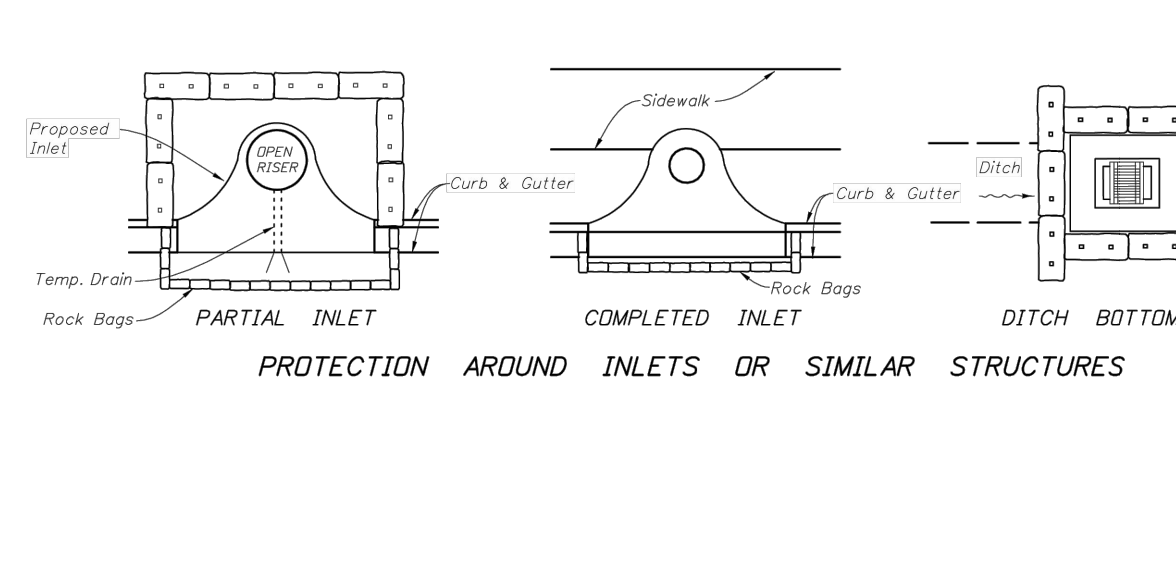
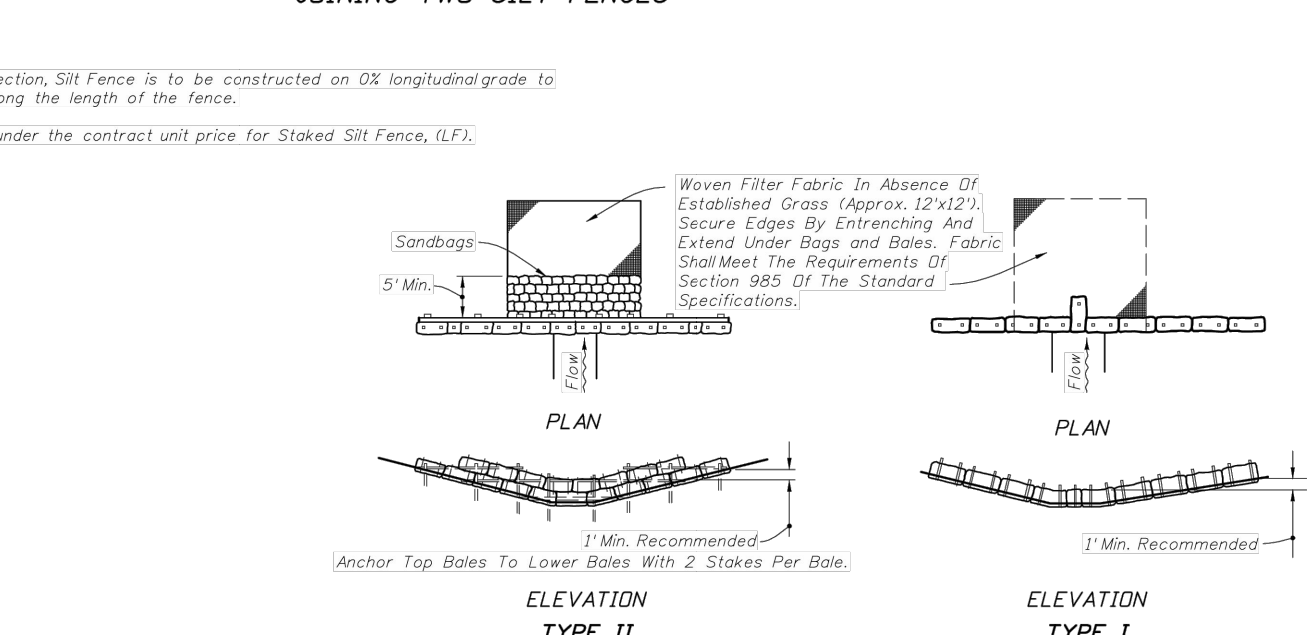
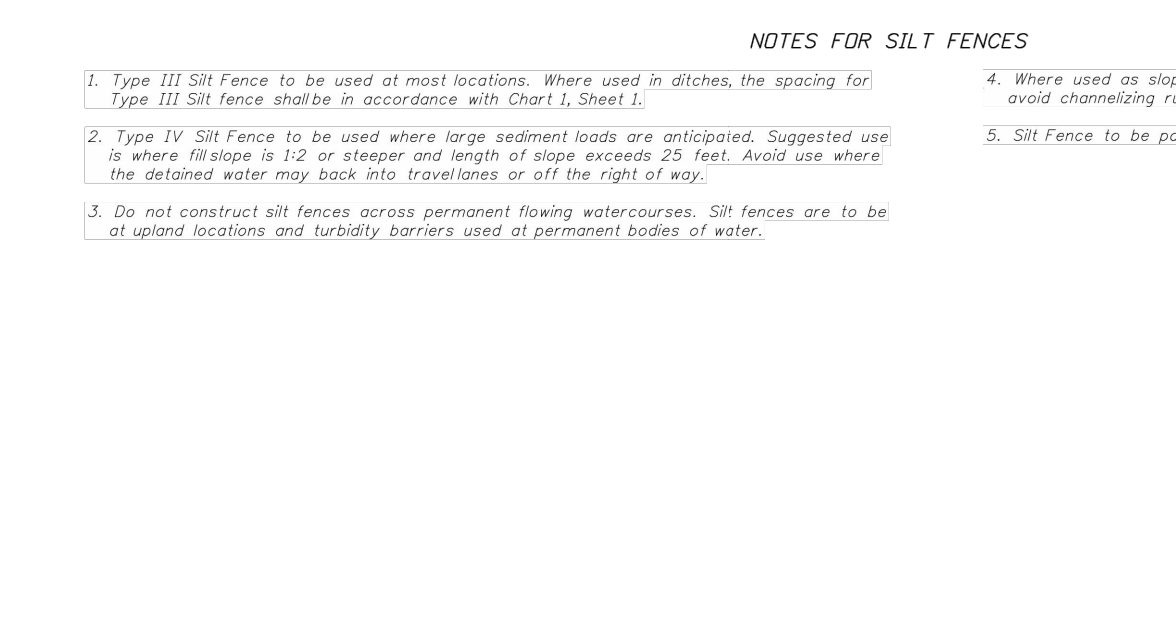
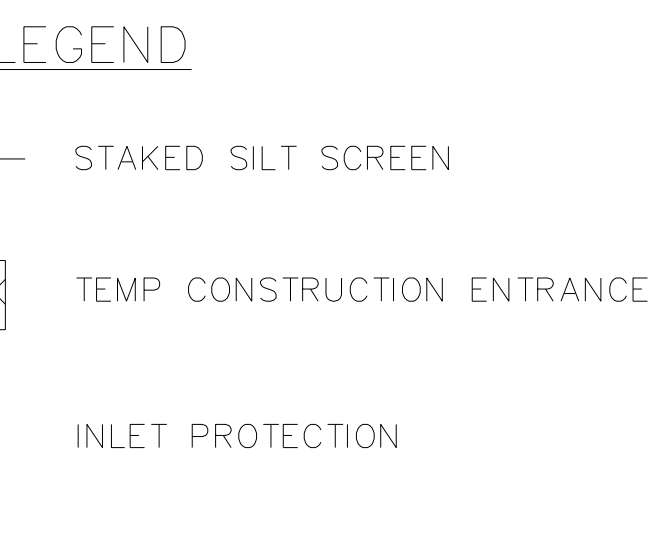
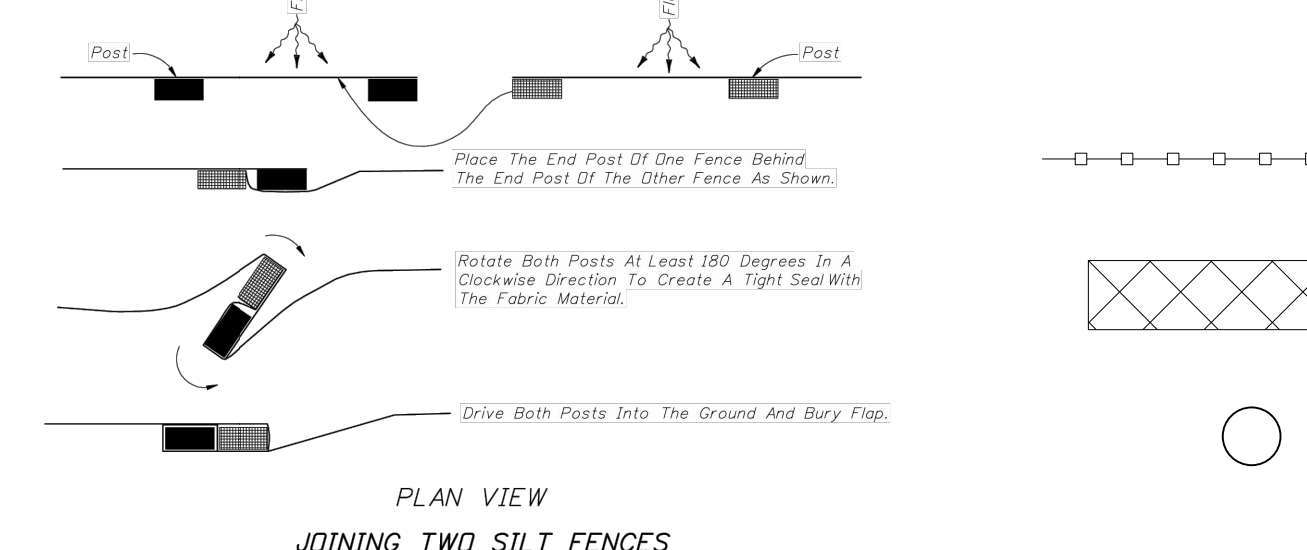
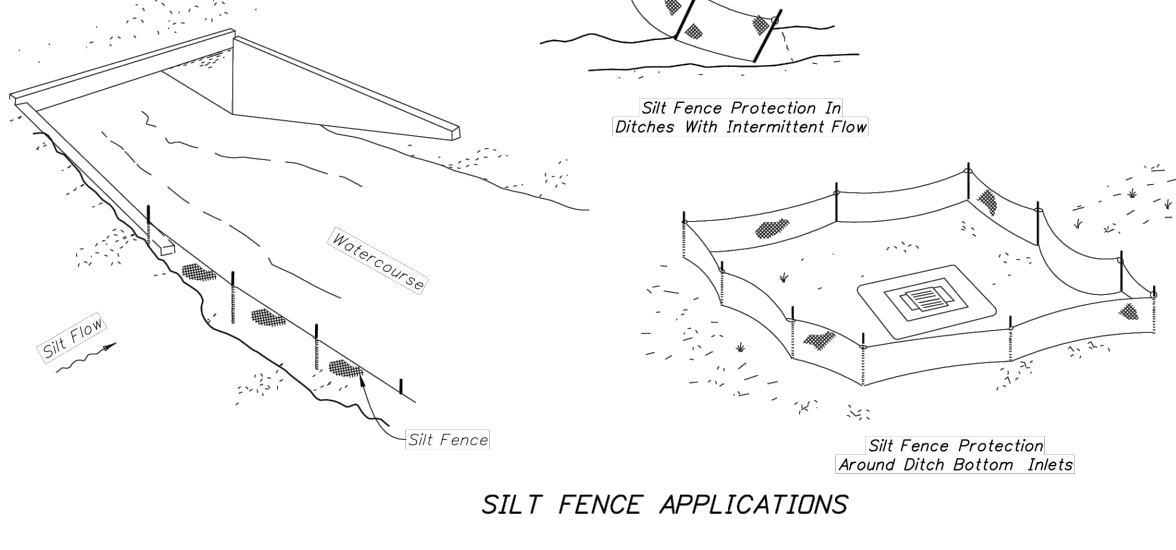
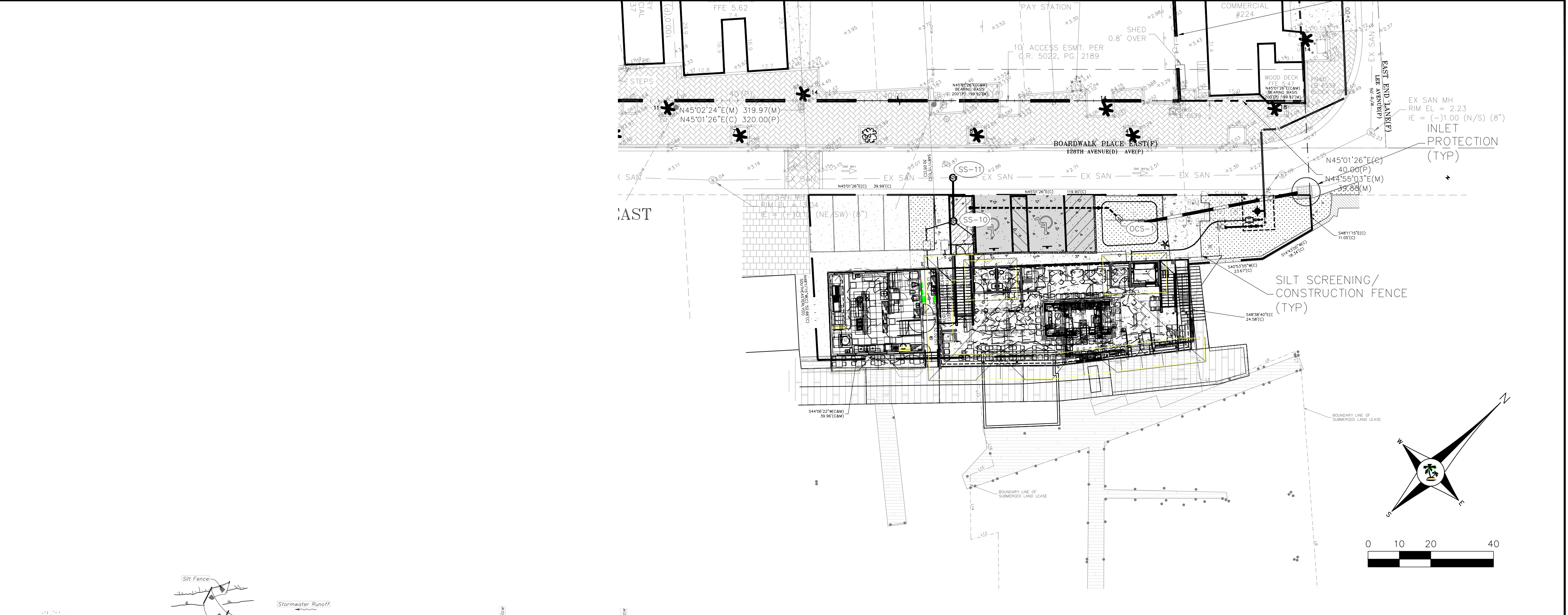
- 1. WHERE NECESSARY TO ACCOMMODATE PROPOSED DEVELOPMENT, THE APPLICANT SHALL BE RESPONSIBLE FOR THE REMOVAL AND/OR RELOCATION OF ANY AND ALL PUBLIC UTILITIES LOCATED ON THE SUBJECT SITE, INCLUDING THE GRANTING OF EASEMENTS AS MAY BE REQUIRED. THIS IS REGARDLESS OF WHETHER THE PUBLIC UTILITIES ARE KNOWN AT THE TIME OF SITE PLAN APPROVAL OR DISCOVERED SUBSEQUENT TO SUCH APPROVAL. ANY REQUIRED RELOCATION WILL REQUIRE APPROVAL FROM THE CITY'S COMMUNITY SERVICES DEPARTMENT.
2. UTILITY SERVICES - ALL UTILITIES SERVICING THE PROPOSED BUILDING AND ACCESSORY USES MUST BE UNDERGROUND
3. BUILDING FIRE CODE - THE BUILDING DESIGN MUST BE IN CONFORMANCE WITH THE NFPA FIRE/LIFE SAFETY CODE, APPLICABLE LAW, STATE AND NATIONAL ORDINANCES AND CODES.

GENERAL NOTES

- 1. ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH CITY OF MADEIRA BEACH STANDARDS, AND FDOT SPECIFICATIONS, LATEST EDITIONS.
2. CONTRACTOR IS TO COORDINATE ALL WORK WITHIN, BUT NOT LIMITED TO PUBLIC RIGHT-OF-WAY WITH UTILITY COMPANIES IN ORDER TO PREVENT DAMAGE TO UTILITY LINES AND THE MAKING OF ADJUSTMENTS TO SAME, IF REQUIRED.
3. CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR THE OWNER PRIOR TO ANY CONSTRUCTION THAT MAY DAMAGE TREES.
4. ADJUSTING MANHOLE TOPS, VALVE COVERS, METER BOXES, ETC. TO MATCH GRADE AND SLOPE OF THE FINISH PAVING SHALL BE INCLUDED IN THE CONSTRUCTION COST. PAYMENT OF WHICH WILL CONSTITUTE FULL COMPENSATION FOR THE CONSTRUCTION OF THE PROJECT, AND NO ADDITIONAL PAYMENT WILL BE ALLOWED OR MADE FOR THESE ADJUSTMENTS.
5. ALL FINISH FLOOR ELEVATIONS (FFE) ARE MINIMUMS.
6. SLOPE PERMETER GRADE TO MATCH EXISTING GRADE AT 4:1 MAXIMUM.
7. ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETOUR SOIL DISTURBANCE, SODDING, PLUGGING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION, HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1. VEGETATION OTHER THAN GRASS IS ACCEPTABLE UNLESS OTHERWISE SPECIFIED.
8. THIS LOT AS DESCRIBED IS IN ZONE VE PER COMMUNITY PANEL NO. 12103C0191G, DATED 9/3/2003
9. NOT USED.
10. ALL GRADING OF SIDEWALKS AND PEDESTRIAN WALKWAYS SHALL MEET MINIMUM ADA STANDARDS. SIDEWALK CROSS SLOPES AND DRIVEWAY CROSSINGS FOR SIDEWALKS TO BE 2.0% MAX. SLOPE. ALL SIDEWALK RUNNING SLOPES SHALL NOT EXCEED 5% WITHOUT USE OF PROPER RAMPS PER FDOT OR FLORIDA BUILDING CODE. CONTRACTOR SHALL FIELD VERIFY SIDEWALK FORM STANDARDS PRIOR TO CONSTRUCTING WALKWAYS.
11. CONTRACTOR SHALL WRAP ALL INLET GRATES WITH FILTER FABRIC UPON INSTALLATION. FABRIC TO BE REMOVED UPON COMPLETION OF BUILDING CONSTRUCTION.
12. BUILDING EXTERIOR GRADE SHALL BE 5' LEVEL AT BUILDING PERIMETER PRIOR TO EXISTING GRADE.
13. CONTRACTOR SHALL OBTAIN ALL CONTRACTOR RELATED PERMITS.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THIS CONTRACT.
15. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OF THE RIGHT-OF-WAY S/R. 699 AFTER THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
16. AT THE LOCATIONS OF ANY EXISTING DRIVEWAYS AND ROADWAY TIE IN POINTS THAT ARE TO BE REMOVED, THE DROP CURB AND DRIVEWAY/ROADWAY APRONS SHALL BE REMOVED AND AREA REGRADED, SODDED AND RESTORED WITH TYPE "C" CURB AND STANDARD SIDEWALK THAT CONFORMS WITH FDOT STANDARD INDEX NO. 520-001 AND 522-001.
17. ANY SIDEWALK FRONTING THE PROPERTY THAT IS CRACKED, DAMAGED OR UNSTABLE AND IS CREATING AN ADA TRIP HAZARD MUST BE REPLACED BY SECTION, USING STANDARD 520-001, 522-002, AND 522-001 FOR THE CONSTRUCTION OF SIDEWALK AND MEET ADA STANDARDS. ALL CONCRETE PLACED IN THE R/W SHALL BE A MINIMUM OF 6" THICK, FDOT CLASS 1 NON STRUCTURAL, 2500 PSI CONCRETE WITH FIBER MESH MATERIAL FROM A STATE APPROVED PLANT.
18. PRIOR TO THE REMOVAL OF ANY MATERIAL, THE AREA MUST BE SAW-CUT TO PREVENT ANY DAMAGE TO THE ROADWAY

RESIGNED: SPC, DRAWN: MKC, CHECKED: SPC, QC: [Signature]. GULF COAST CONSULTING, INC. Land Development Consulting ENGINEERING, TRANSPORTATION, PLANNING, PERMITTING 13825 OCT BLVD., SUITE 605 Clearwater, Florida 33760 Phone: (727) 524-1818 Fax: (727) 524-6090 WWW.GULFCOASTCONSULTINGINC.COM. PREPARED FOR: BOARDWALK PLACE PROPERTIES, LLC 101 150TH AVENUE MADEIRA BEACH, FL 33708. SHEET DESCRIPTION: DONS DOCK - JOHNS PASS NOTES & SPECIFICATIONS. SEAN P. CASHEN, STATE OF FLORIDA PROFESSIONAL ENGINEER LICENSE NO. 44309. THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SEAN P. CASHEN, ON THE DATE INDICATED HERE USING A SHA AUTHENTICATION CODE. NOT VALID UNLESS SIGNED & EMBOSSED BY A REGISTERED PROFESSIONAL ENGINEER AND GULF COAST CONSULTING, INC. CERTIFICATE OF AUTHORIZATION NO. 9774. ABR NO: 22-065. DATE: 08/17/23. C2.

<p>SEQUENCE OF MAJOR EVENTS:</p> <ol style="list-style-type: none"> 1. INSTALL STAKED SILT FENCE AS INDICATED ON THE CONSTRUCTION PLANS. 2. CLEAR AND GRUB SITE. 3. EXCAVATE TEMPORARY SEDIMENT TRAPS AS NEEDED. 4. BEGIN BUILDING CONSTRUCTION. 5. INSTALL STORM SEWER SYSTEM AND ITS SILTATION PROTECTION AND UTILITIES. 6. CONSTRUCT CURB, BASE AND ASPHALT DRIVEWAYS. 7. COMPLETE FINAL SITE GRADING. 8. INSTALL PERMANENT LANDSCAPING ON SITE. REPAIR ANY WASHED OUT AREAS. 9. WHEN CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE EROSION PROTECTION DEVICES AND PLACE SOO AS NECESSARY. 																	
<p>STABILIZATION PRACTICES</p> <p>WIND EROSION STABILIZATION - THE CONTRACTOR SHALL DENUDE ONLY AREAS WHERE IT IS EXPECTED TO BE GRADED OR ALTERED WITHIN A TWO (2) WEEK TIME FRAME. ALL PASTURE AREAS THAT ARE DISBURBED DURING CONSTRUCTION SHALL BE GRADED AND PREPARED WITH A COMBINATION OF SOO AND/OR SEEDING AND MULCHING. PAD AREAS WITHIN FUTURE UNITS WHERE EARTHWORK IS COMPLETED SHALL BE COMPLETELY SEED AND MULCHED. AREAS WHERE CONSTRUCTION OPERATIONS WILL BE CONTINUOUS, FUGITIVE DUST SHALL BE MANAGED BY APPLYING A WATER SPRAY TO SATURATE THE SURFACE SOILS ON A DAILY BASIS (OR AS NEEDED) TO MAINTAIN MINIMAL DUST TRANSPORT. FUGITIVE DUST SHALL BE MONITORED CONTINUOUSLY AND ADDITIONAL MEASURES MAY NEED TO BE TAKEN TO CONTROL OFF SITE TRANSPORT OF UNACCEPTABLE LEVELS OF DUST.</p> <p>TEMPORARY STABILIZATION - TOP OF SOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 21 DAYS SHALL BE STABILIZED WITH TEMPORARY GRASS AND MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY. GRASS SEED SHALL BE A MIXTURE OF 20 PARTS OF BERMOUDA AND 80 PARTS OF PENSACOLA BAHIA. THE SEPARATE THRES OF SEED USED SHALL BE THOROUGHLY DRY MIXED IMMEDIATELY BEFORE SOWING. SEED WHICH HAS NOT BEEN USED, THE MULCH MATERIAL USED SHALL NORMALLY BE DRY MULCH. DRY MULCH SHALL BE STRAW OR HAY CONSISTING OF OAT, RYE OR WHEAT STRAW, OR OF PANGOLA, PEANUT, COASTAL BERMOUDA OR BAHIA GRASS. HAY ONLY UNDERGRADED MULCH WHICH CAN BE READILY CUT INTO THE SOIL, SHALL BE USED. AREAS OF THE SITE WHICH ARE TO BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING STABILIZATION AND BASE.</p> <p>PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY PERMANENTLY CEASES SHALL BE STABILIZED WITH SOO NO LATER THAN 14 DAYS AFTER LAST CONSTRUCTION ACTIVITY.</p>																	
<p>STRUCTURAL PRACTICES</p> <p>EROSION PROTECTION - DURING THE CONSTRUCTION PHASES, APPROPRIATE PRACTICES INCLUDING, BUT NOT LIMITED TO SILT FENCE BARRIERS, HAY BALES AND WATERING OR OTHER METHODS NECESSARY WILL BE IMPLEMENTED TO CONTROL FUGITIVE DUST.</p> <p>SEDIMENT BASINS - THE STORM WATER MANAGEMENT AREAS (RETENTION AREAS) WILL SERVE AS SEDIMENT BASINS DURING THE CONSTRUCTION PERIOD. AT THE CONTRACTOR'S DISCRETION, THE SEDIMENT BASINS WILL BE CONSTRUCTED TO THE DESIGN CROSS-SECTION OR A MINIMUM OF 2-FEET BELOW EXISTING GROUND TO ALLOW THE SILT TO BE COLLECTED AND REMOVED PRIOR TO COMPLETION OF THE GRADING.</p>																	
<p>STORM WATER MANAGEMENT</p> <p>STORM WATER DRAINAGE WILL BE PROVIDED BY AN INVERTED CROWN PAVEMENT, STORM WATER AND CATCH BASIN SYSTEM FOR THE DEVELOPED AREAS. THE AREAS NOT DEVELOPED SHALL BE GRADED TO LESS THAN 2% SLOPES AND HAVE PERMANENT SEEDING OR PLANTINGS. WHEN CONSTRUCTION IS COMPLETE THE SITE WILL DRAIN TO STORM WATER PONDS THAT WERE UTILIZED AS THE TEMPORARY SEDIMENT BASINS DURING THE CONSTRUCTION PROCESS. ANY ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT ALL RETENTION/DETENTION AREAS IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLANS.</p>																	
<p>WASTE DISPOSAL</p> <p>WASTE MATERIALS - ALL WASTE MATERIAL SHALL BE COLLECTED AND CONTAINED IN A CONTROLLED AREA PURSUANT TO STATE AND LOCAL SOLID WASTE REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS GENERATED FROM CONSTRUCTION IS TO BE REMOVED FROM THE SITE AND DISPOSED OF APPROPRIATELY. NO CONSTRUCTION MATERIALS SHALL BE BURIED ON SITE. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES SHALL BE POSTED IN THE ON SITE OFFICE, TRAILER AND THE CONSTRUCTION MANAGER RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS SHALL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.</p> <p>HAZARDOUS WASTE - IF ENCOUNTERED, ALL WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY STATE AND/LOCAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.</p> <p>SANITARY WASTE - ALL SANITARY WASTE SHALL BE COLLECTED FROM PORTABLE UNITS BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR AS REQUIRED BY STATE AND LOCAL CODES AND REGULATIONS.</p>																	
<p>OFF SITE VEHICLE TRACKING</p> <p>STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED TO HELP REDUCE OFF SITE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREETS SHALL BE CLEANED AS NEEDED TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE SITE SHALL BE COVERED WITH A TARPULIN AT ALL TIMES.</p>																	
<p>TIMING OF CONTROL MEASURES</p> <p>AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, STAKED SILT FENCE, STABILIZED CONSTRUCTION ENTRANCES AND SEDIMENT BASINS SHALL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 21 DAYS SHALL BE STABILIZED WITH A TEMPORARY GRASS AND MULCH. NO LATER THAN 14 DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY THAT AREA SHALL BE STABILIZED WITH PERMANENT SOO. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE TRAPS AND THE STAKED SILT FENCES SHALL BE REMOVED.</p>																	
<p>EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES</p> <p>THESE ARE THE INSPECTION AND MAINTENANCE PRACTICES THAT SHALL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROL:</p> <ol style="list-style-type: none"> 1. LESS THAN ONE HALF OF THE SITE SHALL BE DENUDED AT ONE TIME. 2. ALL CONTROL MEASURES SHALL BE INSPECTED AT AT THE END OF EACH WORK DAY AND FOLLOWING ANY STORM EVENT OF 0.5-INCHES OR GREATER BY A CONTRACTOR'S REPRESENTATIVE. 3. ALL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT. 4. SOIL UP SEDIMENT SHALL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE. 5. SILT FENCE SHALL BE INSPECTED REGULARLY FOR DEPTH OF SEDIMENT AND TEARS TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS AND SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND. 6. THE SEDIMENT BASINS SHALL BE INSPECTED DEPTH OF SEDIMENT AND BUILD UP OF SEDIMENT SHALL BE REMOVED WHEN IT REACHES 10% OF THE DESIGN CAPACITY OR AT THE END OF THE JOB. 7. TEMPORARY AND PERMANENT GRASSING AND MULCHING AND SOODING SHALL BE INSPECTED FOR BARE SPOTS, WASHOUTS AND ACTIVE GROWTH. 8. A MAINTENANCE INSPECTION REPORT SHALL BE MADE AFTER EACH INSPECTION BY THE CONTRACTOR AND SHALL BE KEPT IN A HEALTHY LOG READILY AVAILABLE AT THE JOB SITE. 9. EITHER THE SITE SUPERINTENDENT OR HIS DESIGNEES SHALL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE, REPAIR ACTIVITIES AND COMPLETING THE INSPECTION AND MAINTENANCE REPORT. 10. PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES SHALL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY SHALL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ON SITE IN GOOD WORKING ORDER. 																	
<p>NON-STORM WATER DISCHARGE</p> <p>IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:</p> <ol style="list-style-type: none"> 1. WATER FROM WATER LINE FLUSHING. 2. PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED). 3. UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION). <p>ALL NON-STORM WATER DISCHARGES SHALL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.</p>																	
<p>NON-STORM WATER DISCHARGE</p> <p>IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES SHALL NOT OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:</p> <table border="0"> <tr> <td>CONCRETE</td> <td>DETERGENTS</td> <td>PAINTS (ENAMEL AND LATEX)</td> <td>METAL STUDS</td> </tr> <tr> <td>SAND</td> <td>FERTILIZERS</td> <td>TAR</td> <td>PETROLEUM BASED PRODUCTS AND FUELS</td> </tr> <tr> <td>CLEANING SOLVENTS</td> <td>WOOD</td> <td>MASONRY BLOCK</td> <td>ROOFING SHINGLES</td> </tr> <tr> <td>STONE</td> <td></td> <td></td> <td></td> </tr> </table>		CONCRETE	DETERGENTS	PAINTS (ENAMEL AND LATEX)	METAL STUDS	SAND	FERTILIZERS	TAR	PETROLEUM BASED PRODUCTS AND FUELS	CLEANING SOLVENTS	WOOD	MASONRY BLOCK	ROOFING SHINGLES	STONE			
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STONE																	
<p>SPILL PREVENTION</p> <p>THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.</p> <p>GOOD HOUSEKEEPING:</p> <p>THE FOLLOWING GOOD HOUSEKEEPING PRACTICES SHALL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:</p> <p>AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO COMPLETE THE PROJECT.</p> <p>ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND IF POSSIBLE, UNDER A ROOF OR OTHER CONTAINER ENCLOSURE.</p> <p>PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL MANUFACTURERS LABELED CONTAINERS.</p> <p>SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.</p> <p>WHENEVER POSSIBLE, ALL OF THE PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.</p> <p>MANUFACTURERS RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.</p> <p>THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON SITE.</p> <p>HAZARDOUS PRODUCTS:</p> <p>THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.</p> <p>PRODUCTS SHALL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.</p> <p>ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED. THEY CONTAIN IMPORTANT PRODUCT INFORMATION.</p> <p>IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS OR LOCAL AND STATE RECOMMENDED METHODS OF PROPER DISPOSAL SHALL BE FOLLOWED.</p> <p>RETROILLUM PRODUCTS:</p> <p>ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDINGLY TO THE MANUFACTURERS RECOMMENDATIONS.</p> <p>FERTILIZERS:</p> <p>FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNT RECOMMENDED BY THE MANUFACTURER. ANY APPLIED, FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE SHALL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.</p> <p>PAINTS:</p> <p>ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT SHALL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.</p> <p>CONCRETE TRUCKS:</p> <p>DISCHARGE OF SURPLUS CONCRETE OR DRUM WASH WATER IS STRICTLY PROHIBITED. HARD DEBRIS SHALL BE DISPOSED OF BY CONTRACTOR UPON COMPLETION OF THE PROJECT.</p>																	
<p>SPILL CONTROL PRACTICES</p> <p>IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:</p> <p>MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEAN UP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEAN UP SUPPLIES.</p> <p>MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEAN UP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUST PANS, MOPS, BRUSH, GLOVES, GOGGLES, KITTY LITTER, SAND, SHAMPOO AND PLASTIC AND METAL TRASH CONTAINERS.</p> <p>ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.</p> <p>THE SPILL SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH HAZARDOUS SUBSTANCE.</p> <p>SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.</p> <p>THE SPILL PREVENTION PLAN SHALL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND THE CLEAN UP PROCEDURES FOR FUTURE USE. A DESCRIPTION OF THE SPILL, ITS CAUSE AND THE CLEAN UP MEASURES SHALL ALSO BE INCLUDED.</p> <p>THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEAN UP COORDINATOR. HE OR SHE SHALL DESIGNATE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEAN UP TRAINING. THESE INDIVIDUALS SHALL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEAN UP. THE NAMES OF THE RESPONSIBLE SPILL PERSONNEL SHALL BE POSTED IN THE MATERIAL STORAGE AREA OR IN THE OFFICE TRAILER ON SITE, IF APPLICABLE.</p>																	



NPDES Notification
(National Pollutant Discharge Elimination System)
Attention: The erosion/sedimentation locations and details set forth in this site plan have been devised by the project engineer to meet the requirements of the federal National Pollutant Discharge Elimination System (NPDES) program. Failure to maintain these controls, or an illicit discharge resulting from their failure will likely result in fine citations. Sec. 58-239 of the Pinellas County Code authorizes penalties of up to \$10,000.00 for each offense.

NOTE TO CONTRACTOR:
REQUIRED EROSION CONTROL MEASURES MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. ENCROACHMENT INTO OR FAILURE TO MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS AND/OR PERMIT REVOCATION AS PROVIDED BY CHAPTER 166 OF THE PINELLAS COUNTY LAND DEVELOPMENT CODE.

DESIGNED: SPC
DRAWN: MKC
CHECKED: SPC
DATE: 08/17/23

Gulf Coast Consulting, Inc.
Land Development Consulting
ENGINEERING, TRANSPORTATION, PLANNING, PERMITTING
13825 ICOI BLVD., SUITE 605
Clearwater, Florida 33760
Phone: (727) 524-1818 Fax: (727) 524-6090
WWW.GULFCOASTCONSULTINGINC.COM

PREPARED FOR:
BOARDWALK PLACE PROPERTIES, LLC
101 150TH AVENUE
MADEIRA BEACH, FL 33708

SHEET DESCRIPTION:
DONS DOCK - JOHNS PASS
STORMWATER POLLUTION PREVENTION PLAN

NO.	DATE	REVISIONS	APP'D BY

SEAN P. CASHEN
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 42505

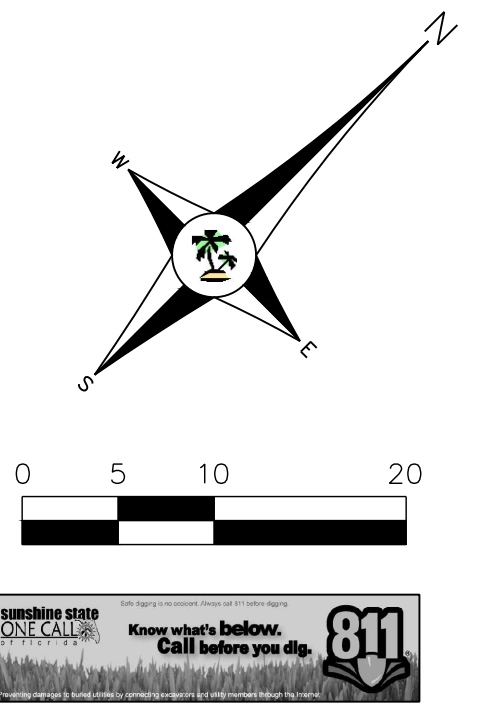
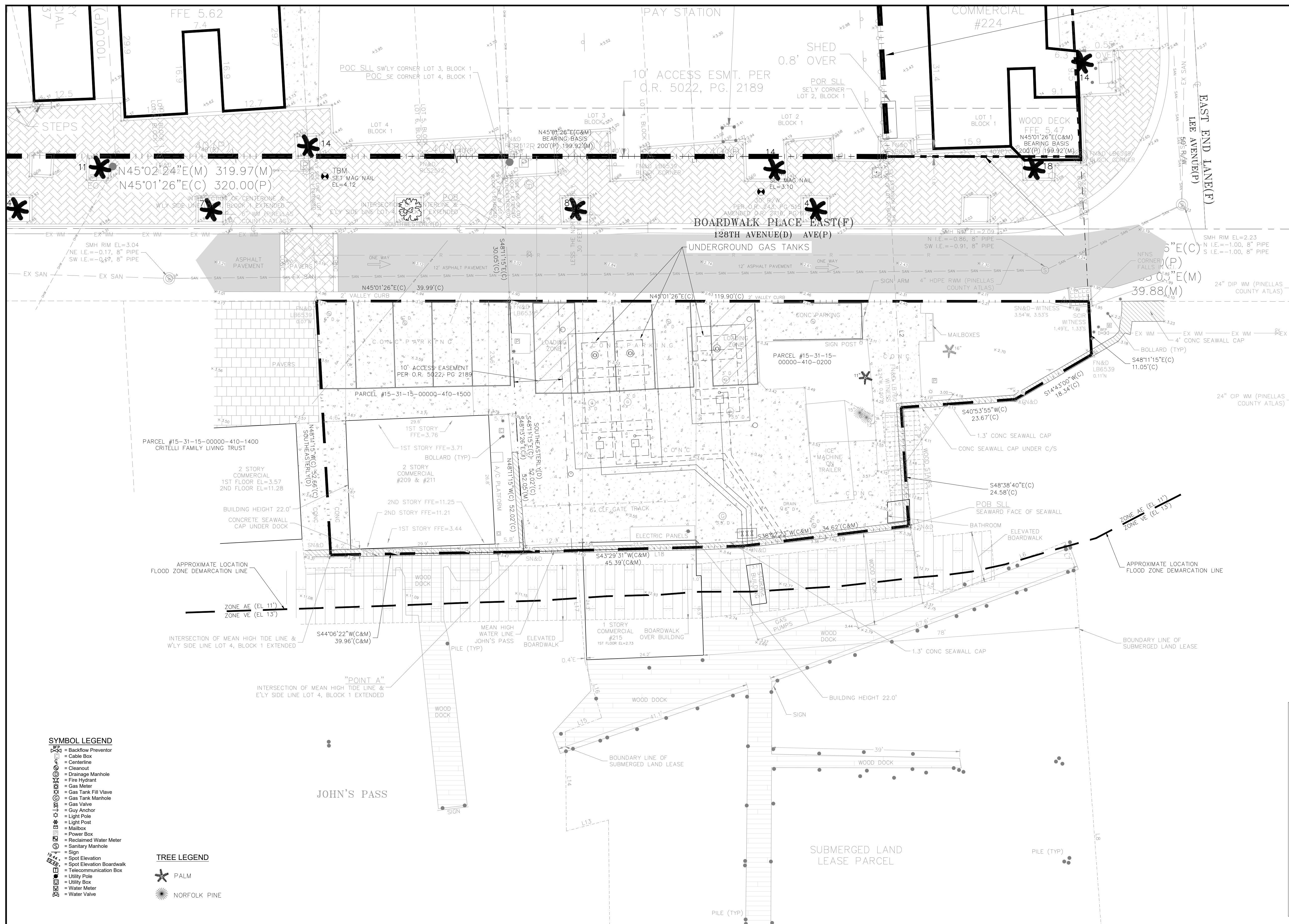
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SEAN P. CASHEN, ON THE DATE INDICATED HERE USING A SHA AUTHENTICATION CODE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SEAN P. CASHEN, P.E. #42505
NOT VALID UNLESS SIGNED & EMBOSSED BY A REGISTERED ENGINEER
GULF COAST CONSULTING, INC.
CERTIFICATE OF AUTHORIZATION No. 9774

AB NO: 22-065
DATE: 08/17/23

C3



NOTE TO CONTRACTORS:
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DATUM NOTE:
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- SYMBOL LEGEND**
- Backflow Preventor
 - Cable Box
 - Centerline
 - Cleanout
 - Drainage Manhole
 - Fire Hydrant
 - Gas Meter
 - Gas Tank Fill Valve
 - Gas Tank Manhole
 - Gas Valve
 - Guy Anchor
 - Light Pole
 - Light Post
 - Mailbox
 - Power Box
 - Reclaimed Water Meter
 - Sanitary Manhole
 - Sign
 - Spot Elevation
 - Spot Elevation Boardwalk
 - Telecommunication Box
 - Utility Pole
 - Utility Box
 - Water Meter
 - Water Valve

- TREE LEGEND**
- PALM
 - NORFOLK PINE

- LEGEND**
- EXISTING BOUNDARY
 - EXISTING SPOT ELEVATION
 - EXISTING SANITARY PIPE
 - EXISTING SANITARY MANHOLE
 - EXISTING WATER MAIN
 - EXISTING RECLAIMED WATER MAIN
 - EXISTING OVER HEAD WIRES
 - EXISTING TREE

DESIGNED: SPC
 DRAWN: MKC
 CHECKED: SPC
 QC: [Blank]



Gulf Coast Consulting, Inc.
 Land Development Consulting
 ENGINEERING TRANSPORTATION PLANNING PERMITTING
 13825 ICOT BLVD., SUITE 605
 CLEARWATER, FLORIDA 33760
 Phone: (727) 524-1818 Fax: (727) 524-6090
 WWW.GULFCOASTCONSULTINGINC.COM

PREPARED FOR:
BOARDWALK PLACE PROPERTIES, LLC
 101 150TH AVENUE
 MADEIRA BEACH, FL 33708

SHEET DESCRIPTION:
DONS DOCK - JOHNS PASS
 EXISTING CONDITIONS

NO.	DATE	REVISIONS
1	02/01/24	ADDED SHEET PER PINELLAS COUNTY COMMENTS

SEAN P. CASHEN
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 42505

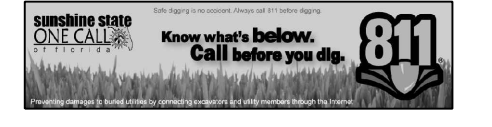
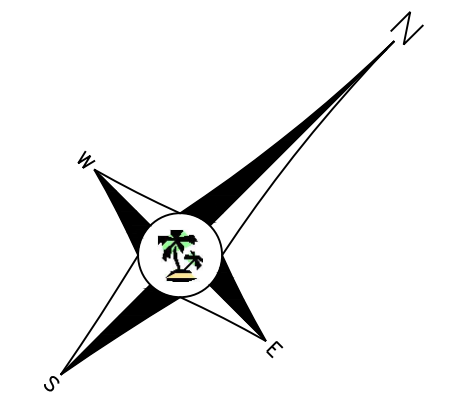
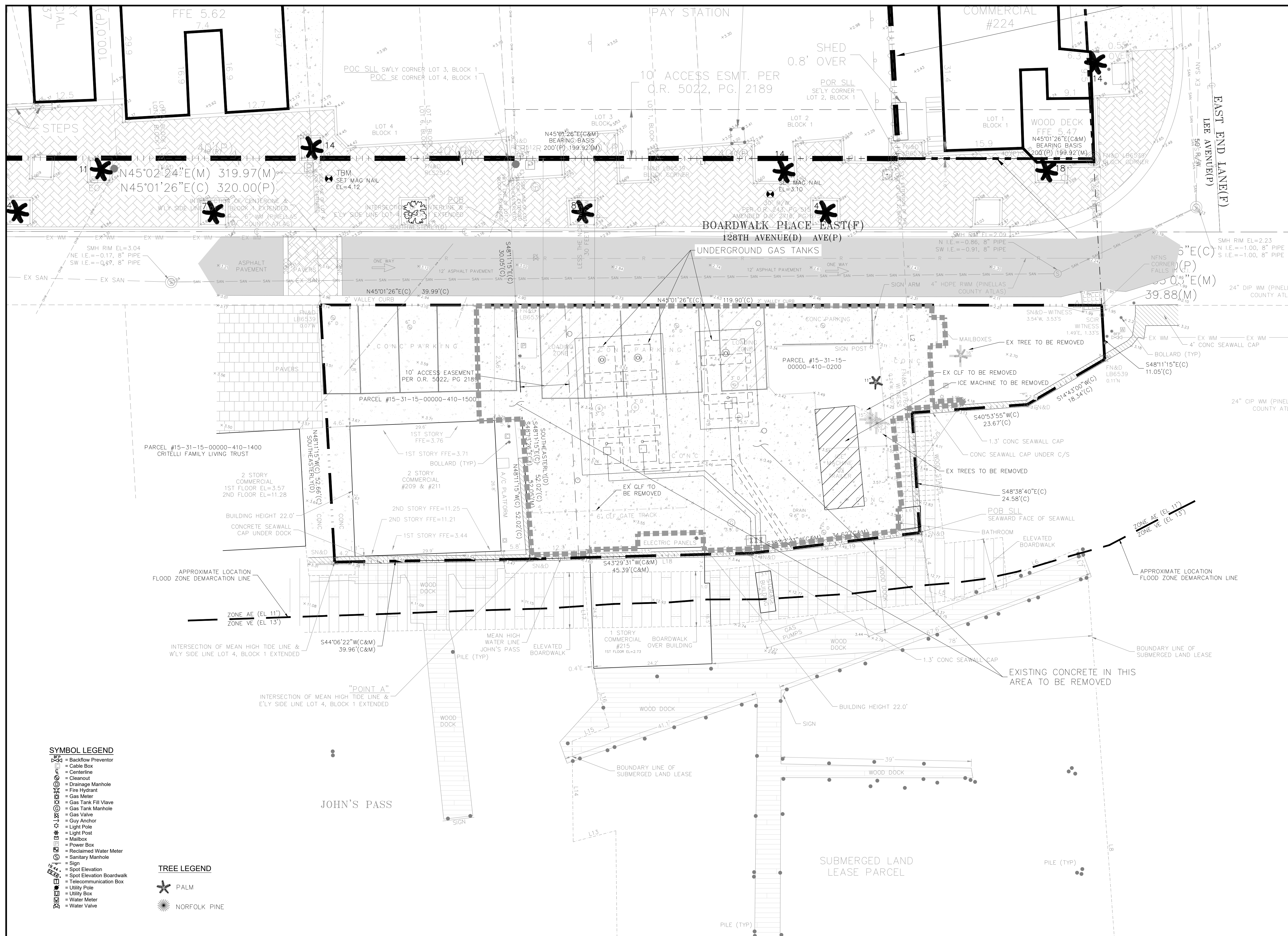
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 GULF COAST CONSULTING, INC.
 CERTIFICATE OF AUTHORIZATION No. 9774

APP NO: 22-065
 DATE: 08/17/23

THESE PLANS MAY NOT BE COPIED OR MODIFIED WITHOUT WRITTEN PERMISSION FROM GULF COAST CONSULTING, INC.

C4



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LEGEND	
	EXISTING BOUNDARY
	TO BE REMOVED OR DEMOLISHED
	EXISTING SPOT ELEVATION
	EXISTING SANITARY PIPE
	EXISTING SANITARY MANHOLE
	EXISTING WATER MAIN
	EXISTING RECLAIMED WATER MAIN
	EXISTING OVER HEAD WIRES
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED

- SYMBOL LEGEND**
- = Backflow Preventor
 - = Cable Box
 - = Centerline
 - = Clearcut
 - = Drainage Manhole
 - = Fire Hydrant
 - = Gas Meter
 - = Gas Tank Fill Valve
 - = Gas Tank Manhole
 - = Gas Valve
 - = Guy Anchor
 - = Light Pole
 - = Mailbox
 - = Power Box
 - = Reclaimed Water Meter
 - = Sanitary Manhole
 - = Sign
 - = Spot Elevation
 - = Spot Elevation Boardwalk
 - = Telecommunication Box
 - = Utility Pole
 - = Water Meter
 - = Water Valve

- TREE LEGEND**
- = PALM
 - = NORFOLK PINE

DESIGNED: SPC
 DRAWN: MKC
 CHECKED: SPC
 DATE: 02/01/24

Gulf Coast Consulting, Inc.
 Land Development Consulting
 ENGINEERING TRANSPORTATION PLANNING PERMITTING
 13825 ICOT BLVD., SUITE 605
 CLEARWATER, FLORIDA 33760
 Phone: (727) 524-1818 Fax: (727) 524-6090
 WWW.GULFCOASTCONSULTINGINC.COM

PREPARED FOR:
BOARDWALK PLACE PROPERTIES, LLC
 101 150TH AVENUE
 MADEIRA BEACH, FL 33708

SHEET DESCRIPTION:
DONS DOCK - JOHN'S PASS
 EXISTING CONDITIONS / DEMOLITION PLAN

NO.	DATE	REVISIONS
1	02/01/24	REVISED PER PINELLAS COUNTY COMMENTS

SEAN P. CASHEN
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 42505

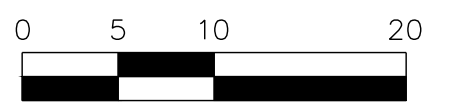
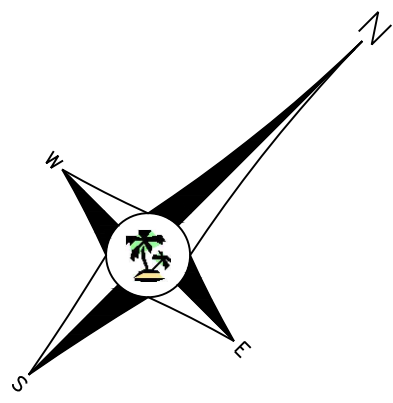
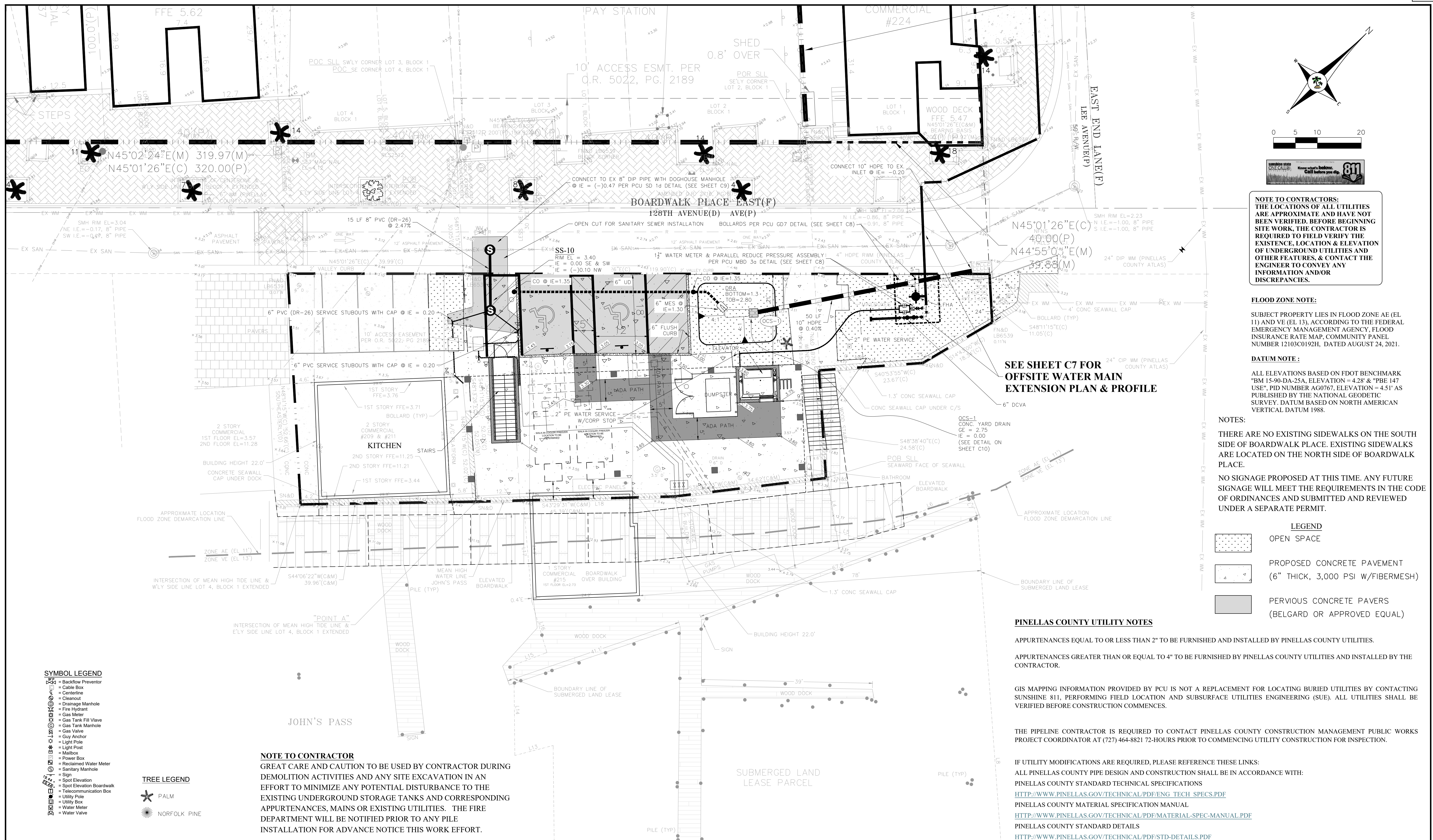
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NOT VALID UNLESS SIGNED & EMBOSSED BY A REGISTERED ENGINEER
 GULF COAST CONSULTING, INC.
 CERTIFICATE OF AUTHORIZATION No. 9774

DATE: 08/17/23

NO. 22-065

C4A



NOTE TO CONTRACTORS:
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NOTES:
 THERE ARE NO EXISTING SIDEWALKS ON THE SOUTH SIDE OF BOARDWALK PLACE. EXISTING SIDEWALKS ARE LOCATED ON THE NORTH SIDE OF BOARDWALK PLACE.
 NO SIGNAGE PROPOSED AT THIS TIME. ANY FUTURE SIGNAGE WILL MEET THE REQUIREMENTS IN THE CODE OF ORDINANCES AND SUBMITTED AND REVIEWED UNDER A SEPARATE PERMIT.

- LEGEND**
- OPEN SPACE
 - PROPOSED CONCRETE PAVEMENT (6" THICK, 3,000 PSI W/FIBERMESH)
 - PERVIOUS CONCRETE PAVERS (BELGARD OR APPROVED EQUAL)

SEE SHEET C7 FOR OFFSITE WATER MAIN EXTENSION PLAN & PROFILE

PINELLAS COUNTY UTILITY NOTES

APPURTENANCES EQUAL TO OR LESS THAN 2" TO BE FURNISHED AND INSTALLED BY PINELLAS COUNTY UTILITIES.
 APPURTENANCES GREATER THAN OR EQUAL TO 4" TO BE FURNISHED BY PINELLAS COUNTY UTILITIES AND INSTALLED BY THE CONTRACTOR.
 GIS MAPPING INFORMATION PROVIDED BY PCU IS NOT A REPLACEMENT FOR LOCATING BURIED UTILITIES BY CONTACTING SUNSHINE 811, PERFORMING FIELD LOCATION AND SUBSURFACE UTILITIES ENGINEERING (SUE). ALL UTILITIES SHALL BE VERIFIED BEFORE CONSTRUCTION COMMENCES.
 THE PIPELINE CONTRACTOR IS REQUIRED TO CONTACT PINELLAS COUNTY CONSTRUCTION MANAGEMENT PUBLIC WORKS PROJECT COORDINATOR AT (727) 464-8821 72-HOURS PRIOR TO COMMENCING UTILITY CONSTRUCTION FOR INSPECTION.

IF UTILITY MODIFICATIONS ARE REQUIRED, PLEASE REFERENCE THESE LINKS:
 ALL PINELLAS COUNTY PIPE DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH:
 PINELLAS COUNTY STANDARD TECHNICAL SPECIFICATIONS
[HTTP://WWW.PINELLAS.GOV/TECHNICAL/PDF/ENG_TECH_SPECS.PDF](http://www.pinellas.gov/technical/pdf/eng_tech_specs.pdf)
 PINELLAS COUNTY MATERIAL SPECIFICATION MANUAL
[HTTP://WWW.PINELLAS.GOV/TECHNICAL/PDF/MATERIAL-SPEC-MANUAL.PDF](http://www.pinellas.gov/technical/pdf/material-spec-manual.pdf)
 PINELLAS COUNTY STANDARD DETAILS
[HTTP://WWW.PINELLAS.GOV/TECHNICAL/PDF/STD-DETAILS.PDF](http://www.pinellas.gov/technical/pdf/std-details.pdf)

NOTE TO CONTRACTOR
 GREAT CARE AND CAUTION TO BE USED BY CONTRACTOR DURING DEMOLITION ACTIVITIES AND ANY SITE EXCAVATION IN AN EFFORT TO MINIMIZE ANY POTENTIAL DISTURBANCE TO THE EXISTING UNDERGROUND STORAGE TANKS AND CORRESPONDING APPURTENANCES, MAINS OR EXISTING UTILITIES. THE FIRE DEPARTMENT WILL BE NOTIFIED PRIOR TO ANY PILE INSTALLATION FOR ADVANCE NOTICE THIS WORK EFFORT.

- TREE LEGEND**
- PALM
 - NORFOLK PINE

- SYMBOL LEGEND**
- Backflow Preventor
 - Cable Box
 - Centerline
 - Clearcut
 - Drainage Manhole
 - Fire Hydrant
 - Gas Meter
 - Gas Tank Fill Valve
 - Gas Tank Manhole
 - Gas Valve
 - Guy Anchor
 - Light Pole
 - Light Post
 - Mailbox
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 - Reclaimed Water Meter
 - Sanitary Manhole
 - Sign
 - Spot Elevation
 - Spot Elevation Boardwalk
 - Telecommunication Box
 - Utility Pole
 - Utility Box
 - Water Meter
 - Water Valve

DESIGNED: SPC
 DRAWN: MKC
 CHECKED: SPC



Gulf Coast Consulting, Inc.
 Land Development Consulting
 ENGINEERING TRANSPORTATION PLANNING PERMITTING
 13825 ICOT BLVD., SUITE 605
 CLEARWATER, FLORIDA 33760
 Phone: (727) 524-1818 Fax: (727) 524-6090
 WWW.GULFCOASTCONSULTINGINC.COM

PREPARED FOR:
BOARDWALK PLACE PROPERTIES, LLC
 101 150TH AVENUE
 MADEIRA BEACH, FL 33708

SHEET DESCRIPTION:
DONS DOCK - JOHNS PASS
 SITE DEVELOPMENT PLAN - GROUND FLOOR

NO.	DATE	REVISIONS
2	02/01/24	REVISED PER PINELLAS COUNTY COMMENTS
1	01/22/24	REVISED PER PINELLAS COUNTY COMMENTS

SEAN P. CASHEN
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 42505

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SEAN P. CASHEN, ON THE DATE INDICATED HERE USING A SHA AUTHENTICATION CODE.

SEAN P. CASHEN, P.E. #42505

NOT VALID UNLESS SIGNED & EMBOSSED BY A REGISTERED ENGINEER

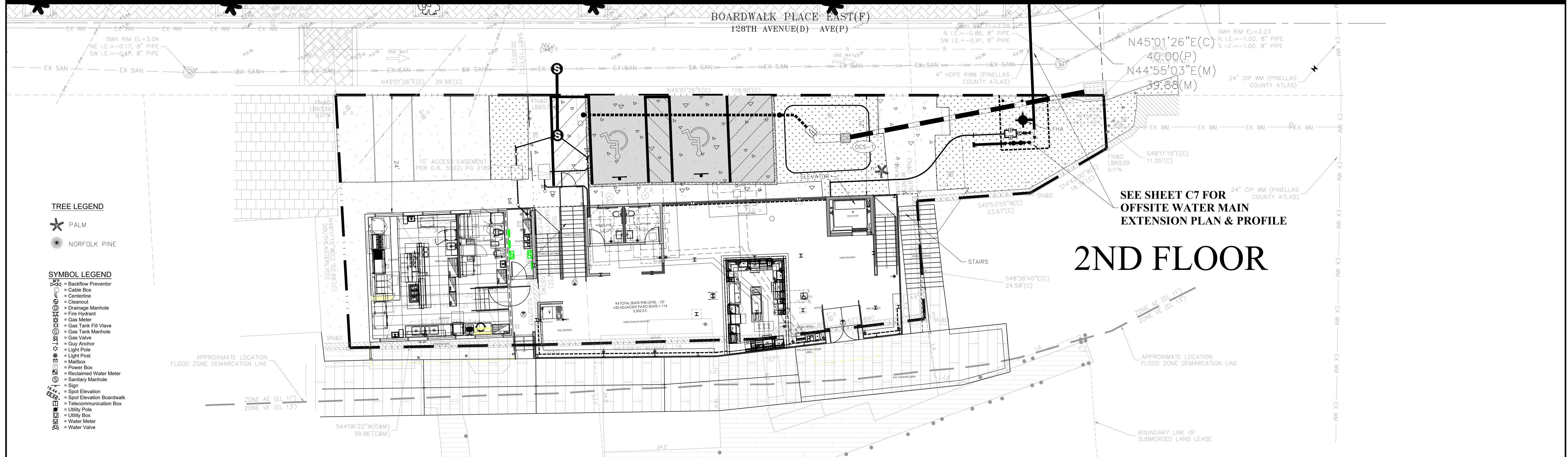
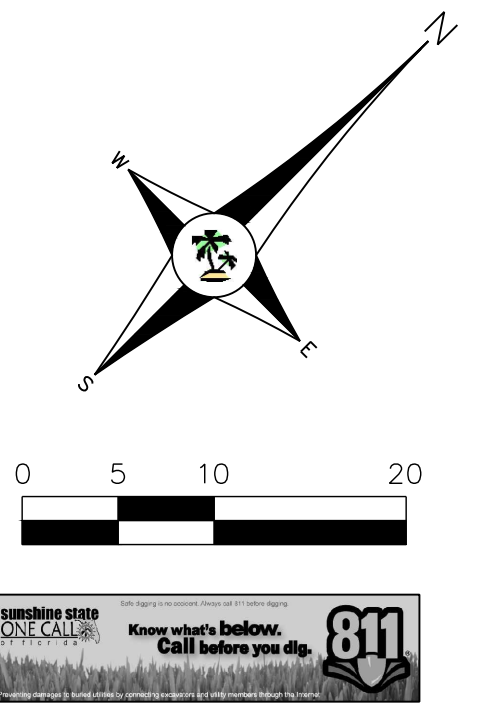
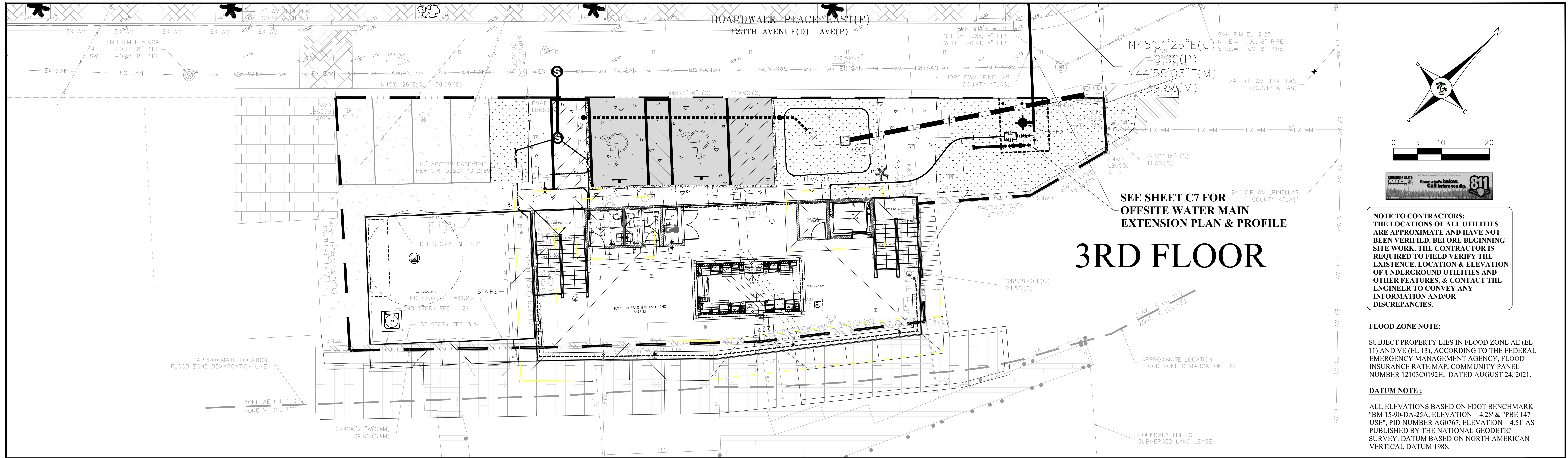
GULF COAST CONSULTING, INC. CERTIFICATE OF AUTHORIZATION NO. 9774

DATE: 08/17/23

APP'D BY: [Signature]

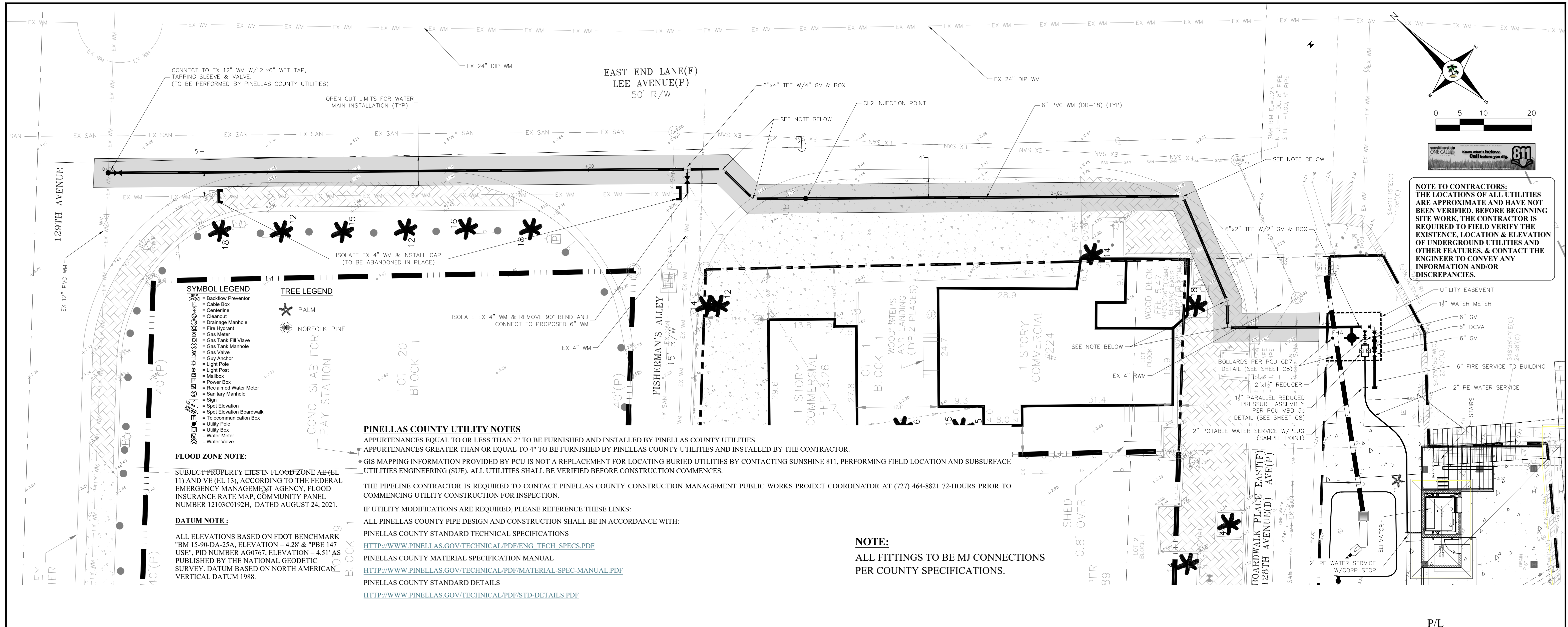
NO. [] DATE [] REVISIONS []

C5



DESIGNED SPC	<p>Gulf Coast Consulting, Inc. Land Development Consulting ENGINEERING, TRANSPORTATION, PLANNING, PERMITTING 13825 ICOT BLVD., SUITE 605 CLEARWATER, FLORIDA 33760 Phone: (727) 524-1818 Fax: (727) 524-6090 WWW.GULFCOASTCONSULTINGINC.COM</p>	<p>PREPARED FOR: BOARDWALK PLACE PROPERTIES, LLC 101 150TH AVENUE MADEIRA BEACH, FL 33708</p>	<p>SHEET DESCRIPTION: DONS DOCK - JOHNS PASS SITE DEVELOPMENT PLAN - 2ND & 3RD FLOORS</p>	NO	DATE	REVISIONS	APP'D BY	DATE	REVISIONS	APP'D BY	DATE	REVISIONS			
DRAWN MKC				1	01/22/24	REVISED PER PINELLAS COUNTY COMMENTS									
CHECKED SPC				2	02/01/24	REVISED PER PINELLAS COUNTY COMMENTS									
QC															

C6



- SYMBOL LEGEND**
- Backflow Preventor
 - Cable Box
 - Centerline
 - Cleanout
 - Drainage Manhole
 - Fire Hydrant
 - Gas Meter
 - Gas Tank Fill Valve
 - Gas Tank Manhole
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- TREE LEGEND**
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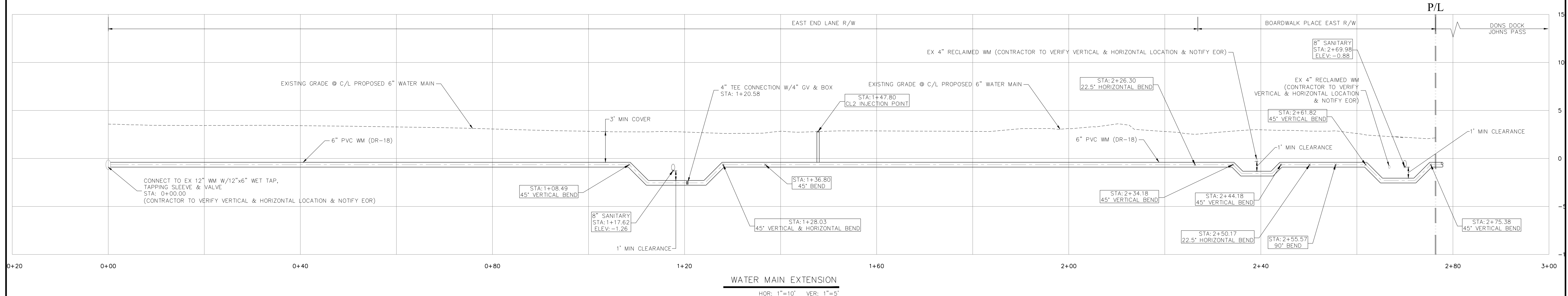
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[HTTP://WWW.PINELLAS.GOV/TECHNICAL/PDF/STD-DETAILS.PDF](http://www.pinellas.gov/technical/pdf/std-details.pdf)

NOTE:
ALL FITTINGS TO BE MJ CONNECTIONS PER COUNTY SPECIFICATIONS.



Gulf Coast Consulting, Inc.
 Land Development Consulting
 ENGINEERING TRANSPORTATION PLANNING PERMITTING
 13825 ICOT BLVD, SUITE 605
 Clearwater, Florida 33760
 Phone: (727) 524-1818 Fax: (727) 524-6090
 WWW.GULFCOASTCONSULTINGINC.COM

PREPARED FOR:
BOARDWALK PLACE PROPERTIES, LLC
 101 150TH AVENUE
 MADEIRA BEACH, FL 33708

SHEET DESCRIPTION:
DONS DOCK - JOHNS PASS
 OFFSITE WATER MAIN EXTENSION PLAN & PROFILE

NO.	DATE	REVISIONS
1	01/12/24	REVISED PER PINELLAS COUNTY COMMENTS

SEAN P. CASHEN
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 42505

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SEAN P. CASHEN, ON THE DATE INDICATED HERE USING A SHA AUTHENTICATION CODE.

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SEAN P. CASHEN, P.E. #42505
 NOT VALID UNLESS SIGNED & EMBOSSED BY A REGISTERED ENGINEER
 GULF COAST CONSULTING, INC.
 CERTIFICATE OF AUTHORIZATION No. 9774

DATE: 08/17/23

NO. 22-065

SHEET **C7**

NOTES:

1. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.
2. LOCATION OF SAMPLE POINT BIBB SHALL NOT BE WITHIN LIMITS OF ROADWAY BUT ROUTED TO ROADWAY SHOULDER (NON-TRAFFIC AREA).
3. CONTRACTOR SHALL UTILIZE SERVICE LINE CONNECTIONS, WHERE POSSIBLE.
4. WHEN UTILIZING TEMPORARY SAMPLE POINT AS A SERVICE CONNECTION, THEN A TRACER WIRE IS REQUIRED.
5. SAMPLE POINTS TO BE ABANDONED AFTER USE SHALL BE FITTED WITH A 1" CC x F.I.P. CORP. STOP. REMOVE ALL PIPE AND ABOVE GROUND FITTINGS AND PLUG CORP. STOP WITH 1" PLUG.

PINELLAS COUNTY
TEMPORARY SAMPLING POINT
DETAIL

DETAIL INDEX T.D.: PCU WD 1
DATE: FEB/2016
REVISION: KEVIN BECOTTE, P.E.

NOTES:

1. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.
2. CORPORATION STOPS SHALL BE COMPATIBLE WITH DR 9 (C.T.S.) H.D.P.E. TUBING.
3. SERVICE SADDLE REQUIRED FOR ALL TAPS.
4. METER ONLY TO BE FURNISHED BY P.C.U.
5. METER BOXES SHALL BE INDUSTRIAL SIZE.
6. ALL METER BOXES LOCATED WITHIN VEHICULAR TRAVEL AREAS SHALL BE H-20 LOADING.
7. TRACER WIRE REQUIRED ON ALL SERVICES.
8. SERVICES OVER 80 IN LENGTH SHALL BE UP-SIZED TO 2".
9. TAP AND METER SHALL BE INSTALLED BY P.C.U. ON ALL PRIVATELY DEVELOPED PROJECTS.

PINELLAS COUNTY
1 1/2" OR 2" POTABLE WATER SERVICE CONNECTION
DETAIL

DETAIL INDEX T.D.: PCU WD 4
DATE: FEB/2016
REVISION: KEVIN BECOTTE, P.E.

NOTES:

1. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.
2. ALL BOLTED FITTINGS SHALL BE POLYETHYLENE WRAPPED, COLOR GOUND PER SERVICE.
3. VALVE BOX(S) SHALL HAVE A CONCRETE COLLAR PER P.C.U. APPROVED STANDARD DETAIL.
4. IF FIRE HYDRANT IS INSTALLED WITHIN AN OFF-STREET VEHICULAR AREA, AND IS LOCATED WITHIN 10 FT. OR LESS OF A VEHICULAR USE AREA, CHAIR POSTS (BOLLARDS) SHALL BE INSTALLED PER P.C.U. APPROVED STANDARD DETAIL UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF PINELLAS COUNTY UTILITIES ENGINEERING OR THEIR AUTHORIZED REPRESENTATIVE.
5. IF DISTANCE BETWEEN VALVE AND HYDRANT IS 10 FT. OR GREATER, AN ADDITIONAL VALVE SHALL BE INSTALLED FOR CONTROL OF HYDRANT UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF PINELLAS COUNTY UTILITIES ENGINEERING OR THEIR AUTHORIZED REPRESENTATIVE.
6. HYDRANT SHALL BE INSTALLED PER P.C.U. APPROVED MATERIAL SPECIFICATIONS.
7. HYDRANT SHALL BE PAINTED UPON INSTALLATION PER P.C.U. APPROVED MATERIAL SPECIFICATIONS.
8. ALL CHAINS SHALL BE REMOVED AFTER INSTALLATION.

PINELLAS COUNTY
FIRE HYDRANT ASSEMBLY
DETAIL

DETAIL INDEX T.D.: PCU WD 6
DATE: FEB/2016
REVISION: KEVIN BECOTTE, P.E.

NOTES:

1. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.
2. SERVICE CONNECTIONS MAY NOT HAVE BEEN SHOWN ON PLAN/PROFILE SHEETS. SERVICE CONNECTION LOCATIONS SHALL BE DETERMINED IN THE FIELD AND CONNECTIONS CONSTRUCTED ACCORDANCE WITH P.C.U. APPROVED TECHNICAL SPECIFICATIONS, MATERIALS MANUAL & THESE DETAILS. FOR NEW DEVELOPMENT, THE SERVICE CONNECTION SHALL BE CONSTRUCTED IN THE CENTER OF THE LOT.
3. MINIMUM DEPTH UNDER ROADWAY 42" MINIMUM DEPTH AT PROPERTY LINE 36" (OR AS REQUIRED FOR SERVICE).
4. SERVICE LINES SHALL BE A MIN. OF 6" TO ALL RESIDENCES.
5. NO DOUBLE WYE UNITS SHALL BE PERMITTED ON SERVICE LINE. ALL RESIDENCES SHALL BE SERVED BY A SINGLE SERVICE.
6. RISERS SHALL BE INSTALLED ON ALL WYES (BOTH PRESENT & FUTURE SERVICES).
7. RISERS SHALL PREFERABLY FOLLOW SLOPE OF BANK TO REQUIRED DEPTH.
8. THE TRACER WIRE SHALL START AT THE CLEAN-OUT AND RUN ALONG THE SEWER SERVICE TO THE MAIN AND BACK TO THE CLEAN-OUT AS ONE CONTINUOUS WIRE.

PINELLAS COUNTY
SEWER SERVICE CONNECTION
AND CLEAN-OUT DETAIL

DETAIL INDEX T.D.: PCU SD 4
DATE: FEB/2016
REVISION: KEVIN BECOTTE, P.E.

NOTES:

1. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.
2. PAINT ENTER ABOVE GROUND ASSEMBLY WITH TWO COATS OF APPROVED U.S.I.A. BLUE PAINT.
3. UTILIZE REDUCER BUSHINGS ONLY AS NEEDED.

PINELLAS COUNTY UTILITIES
3/4", 1", 1 1/2", AND 2" REDUCED PRESSURE ASSEMBLY
ABOVE GROUND PARALLEL INSTALLATION
DETAIL

DETAIL INDEX T.D.: PCU MBD 3a
DATE: MAR/2020
REVISION:

NOTES:

1. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIALS SPECIFICATION MANUAL.
2. PAINT WITH TWO COATS OF APPROVED U.S.I.A. BLUE PAINT.
3. UTILIZE REDUCER BUSHINGS ONLY AS NEEDED.

PINELLAS COUNTY UTILITIES
1 1/2" AND 2" PARALLEL DOUBLE CHECK VALVE
ASSEMBLY ABOVE GROUND INSTALLATION DETAIL

DETAIL INDEX T.D.: PCU BF 5
DATE: MAR/2020
REVISION:

NOTES:

1. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIALS SPECIFICATION MANUAL.
2. DEVICE MUST BE INSTALLED LEVEL AND PLUMB.
3. PAINT WITH TWO COATS OF APPROVED U.S.I.A. EXTERIOR GRADE BLUE PAINT.
4. ALL BELOW GROUND D.I. PIPE AND FITTINGS SHALL BE POLYETHYLENE WRAPPED.
5. ALL BORED JOINTS SHALL BE RESTRAINED.
6. DO NOT POUR CONCRETE AROUND STANDS. SET STANDS ON FINISHED CONCRETE AND SECURE W/2 BOLTS.

PINELLAS COUNTY UTILITIES
4", 6", 8" AND 10" DOUBLE CHECK DETECTOR
ASSEMBLY FOR FIRE LINE DETAIL

DETAIL INDEX T.D.: PCU BF 8
DATE: MAR/2020
REVISION:

NOTE:

1. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST APPROVED MATERIAL SPECIFICATION MANUAL.

PINELLAS COUNTY
BOLLARD
DETAIL

DETAIL INDEX T.D.: PCU GD 7
DATE: FEB/2016
REVISION: KEVIN BECOTTE, P.E.

MINIMUM BICYCLE PARKING STANDARDS

LAND USE	LONG-TERM BICYCLE PARKING SPACE	SHORT-TERM BICYCLE PARKING SPACES
RETAIL AND ASSOCIATED	1 PER 50,000 SF	Min. 4 SPACES ONE ADDITIONAL SPACE FOR EVERY 15,000 SF
TOTAL BICYCLE PARKING SPACES PROVIDED 6		

PINELLAS COUNTY
FOOTING MOUNTING DETAIL

DETAIL INDEX T.D.: PCU GD 7
DATE: FEB/2016
REVISION: KEVIN BECOTTE, P.E.

NOTES:

1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

PINELLAS COUNTY UTILITIES
INSTALLING A
FILTER FABRIC SILT FENCE

DETAIL INDEX T.D.: PCU MBD 3a
DATE: MAR/2020
REVISION:

DESIGNED: SPC
DRAWN: MKC
CHECKED: SPC
QC:

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MADEIRA BEACH, FL 33708

SHEET DESCRIPTION:
**DONS DOCK - JOHNS PASS
CONSTRUCTION DETAILS**

NO.	DATE	REVISIONS
1	01/22/24	REVISED PER PINELLAS COUNTY COMMENTS

SEAN P. CASHEN
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 42505

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GULF COAST CONSULTING, INC.
CERTIFICATE OF AUTHORIZATION No. 9774

ABR NO:
22-065

DATE:
08/17/23

9774

NOTES:

- MILING AND RESURFACING LIMITS: 3'-0" FOR RESIDENTIAL ROADWAYS, 25'-0" FOR ALL OTHER TYPES OF ROADWAYS. SHALL INCLUDE ENTIRE LANE WIDTH.
- BACKFILL FOR TRENCH SHALL BE PLACED IN 6" COMPACTED LAYERS TO 100% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99. (CALCULATED FLOWABLE FILL OPTION IS SUBJECT TO COUNTY ENGINEER'S APPROVAL). TEST REPORTS ARE REQUIRED AND SHALL BE SUBMITTED TO PINELLAS COUNTY.
- BASE MATERIAL SHALL BE LIME ROCK OR CRUSHED CONCRETE (MIN. LBR 100) AND SHALL BE PLACED IN 6" COMPACTED LAYERS TO 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99 (MODIFIED). (TEST REPORTS ARE REQUIRED AND SHALL BE SUBMITTED TO PINELLAS COUNTY).
- AS AN ALTERNATIVE TO COMPACTED BASE AND IN WET AREAS, FULL-LIFT ASPHALTIC CONCRETE, FINE TRAFFIC LEVEL C TYPES SP-6 OR 12.5, SHALL BE PLACED IN 2" COMPACTED LAYERS WITH A MINIMUM THICKNESS EQUAL TO THE EXISTING BASE (6" MIN).
- ASPHALTIC CONCRETE PAVEMENT JOINTS SHALL BE SAW-CUT AND ALL SURFACES TACK COATED.
- ASPHALT SURFACE SHALL BE CONSISTENT WITH EXISTING GRADE. IN ACCORDANCE WITH PINELLAS COUNTY SPECIFICATIONS, THE FOLLOWING ROADWAY CLASSIFICATION TYPE/THICKNESSES ARE REQUIRED: ARTERIAL-3" MIN. TYPE SP-12.5 FINE TRAFFIC LEVEL "C", COLLECTOR-2" MIN. TYPE SP-12.5 FINE TRAFFIC LEVEL "C", RESIDENTIAL-1/2" MIN. TYPE SP-9.5 TRAFFIC LEVEL "C" (TEST REPORTS ARE REQUIRED AND SHALL BE SUBMITTED TO PINELLAS COUNTY).
- OVERLAY OF CONSTRUCTION SIGNS TO PAVEMENT AND TRENCH SHALL BE REQUIRED AS DIRECTED BY THE COUNTY ENGINEER.
- EXCAVATION SHALL COMPLY WITH THE TRENCH SAFETY ACT REQUIREMENTS.
- INSTALL DRY COMPACTABLE MATERIAL AROUND THE PIPE.
- ALL MATERIAL WORK AND TESTING SHALL MEET PINELLAS COUNTY STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL RESTORE PAVEMENT TO MATCH THE GRADES THAT EXISTED PRIOR TO CONSTRUCTION. ANY ADDITIONAL SURVEY NECESSARY TO ENSURE THAT THIS REQUIREMENT IS MET SHALL BE PERFORMED AT THE CONTRACTOR'S EXPENSE.

PINELLAS COUNTY
PAVEMENT CUTS, EXCAVATION AND RESTORATION

DETAIL INDEX T.O.: PCU GD 1
DATE: FEB/2016
REVISION: Kevin Beattie

NOTES:

- POTABLE WATER MAIN SHOULD CROSS ABOVE OTHER PIPE WHEN POTABLE WATER IS RECLAIMED WATER. RECLAIMED WATER SHOULD BE INSTALLED UNDER OTHER PIPE. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.
- RECLAIMED WATER REINSTALLED UNDER OTHER PIPE OF CL/DI SHALL BE INSTALLED AT LEAST 18" ABOVE THE TOP OF THE OTHER PIPE. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.

PINELLAS COUNTY
MAIN CLEARANCES DETAIL

DETAIL INDEX T.O.: PCU GD 2
DATE: FEB/2016
REVISION: Kevin Beattie

NOTES:

- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.
- STREET IS A SHORT CUT-DE-SAC. LOCATOR WIRE IS TO RUN FROM MAIN VALVE TO BLOW-OFF VALVE BOX.

PINELLAS COUNTY
TRACER WIRE LAYOUT DETAIL

DETAIL INDEX T.O.: PCU GD 3
DATE: FEB/2016
REVISION: Kevin Beattie

NOTES:

- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.
- USE 2-#14 GAUGE (MINIMUM), SOLID CORE COPPER WIRE WITH COLOR CODED INSULATION PER SERVICE.
- THERE SHALL BE SUFFICIENT SLACK IN TRACER WIRE TO EXTEND A MIN. OF 12" ABOVE VALVE BOX.
- WIRE IS TO CONTINUE THROUGH TEES ON MAIN LINES WHERE NO VALVES EXIST.
- ATTACH WIRE TO TOP CENTER LINE OF MAIN USING DUCT TAPE OR APPROVED EQUAL @ 6'-0" INTERVALS.
- DUMMY BOXES ARE TO CONSIST OF A TOP SECTION OF A VALVE BOX ASSEMBLY ENCASED IN A CONCRETE VALVE COLLAR PER P.C.U. APPROVED STANDARD DETAIL.

PINELLAS COUNTY
TRACER WIRE INSTALLATION DETAIL

DETAIL INDEX T.O.: PCU GD 3a
DATE: FEB/2016
REVISION: Kevin Beattie

SANITARY SEWER MANHOLE CONSTRUCTION NOTES

ALL MANHOLES

- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.
- PRECAST MANHOLE SECTIONS SHALL BE MANUFACTURED IN ACCORDANCE WITH THE LATEST EDITIONS OF ASTM C-476 WITH 4000 P.S.I. TYPE II PORTLAND CEMENT.
- ALL RISER UNITS SHALL HAVE A MINIMUM HEIGHT OF 12" WITH THE CONCENTRIC CONE SET BETWEEN 24" AND 144" BELOW THE BOTTOM OF MANHOLE COVER FRAME.
- ALL KEYS/JOINTS SHALL BE SEALED WITH TWO CONTIGUOUS RINGS OF FLEXIBLE JOINT SEALANT OR APPROVED EQUAL.
- INTERIOR AND EXTERIOR MANHOLE SURFACES SHALL BE PREPARED FOR COATING AND COATED IN ACCORDANCE WITH P.C.U. STANDARD SPECIFICATIONS AND APPROVED MATERIAL SPECIFICATIONS. INSIDE COATING OF MANHOLE MAY BE ELIMINATED IF USING P.C.U. APPROVED LINING SYSTEM.
- MANHOLE BASE AND BOTTOM SECTION SHALL BE MONOLITHICALLY CAST.
- ALL PIPE PENETRATIONS IN MANHOLES SHALL BE PRECAST OR CORE DRILLED.
- MANHOLE COVER SHALL BE EQUIPPED WITH AN IN-FLOW PROTECTOR.
- A DROP CONNECTION IS REQUIRED WHERE THE PIPE INVERT IS GREATER THAN 2' ABOVE THE MANHOLE INVERT. FOR DROPS 2' OR LESS A FLUME SHALL BE CONSTRUCTED.
- ALL MANHOLES 6" IN DIAMETER OR GREATER SHALL REQUIRE THE USE OF A DOUBLE RING AND COVER.
- ALL MANHOLES WITH A DEPTH OF 14' OR GREATER SHALL BE DESIGNED FOR ANTI-FLOATATION AND SHALL REQUIRE SUBMITTAL OF CALCULATIONS.

INSIDE DROP MANHOLES

- THERE SHALL BE NO MORE THAN 2 INSIDE DROPS PER MANHOLE.
- WHEN USING A 90° BEND OR ELBOW, IT SHALL BE ROTATED BETWEEN 24" AND 48" IN THE DIRECTION OF FLOW AND GROUDED INTO BENCH.
- ALL FORCE MAIN CONNECTIONS REQUIRE THE USE OF A FORCE MAIN HOOD WITH INSIDE DROP BOWL.
- ALL INSIDE DROPS SHALL BE CONSTRUCTED USING P.V.C. SDR-35 PIPE.

OUTSIDE DROP MANHOLES

- OUTSIDE DROP PIPING SHALL BE CONSTRUCTED USING THE SAME MATERIAL AS THE MAIN LINE.

DIAM.	FOR PIPES	CASTING SIZE CLEAR OPENING
4'-0"	24" X 24"	24"
5'-0"	30" X 30" ALL INSIDE DROPS AND AIR RELEASE MANHOLES	30"
6'-0"	42" X OVER	48"

PINELLAS COUNTY
MANHOLE CONSTRUCTION NOTES

DETAIL INDEX T.O.: PCU SD 1
DATE: FEB/2016
REVISION: Kevin Beattie

NOTES:

- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.
- VALVE FABRIC REQUIRED ON VALVES WHEN PIPE LINE HAS 5' OR MORE OF COVER.
- VALVE KEY EXTENSION REQUIRED ON VALVES WITH OPERATOR NUT OVER 3" DEEP. COLOR CODED PUMP WRAP REQUIRED ON ALL SURVED VALVES AND FITTINGS.

PINELLAS COUNTY
VALVE BOX/TRACER WIRE INSTALLATION DETAIL

DETAIL INDEX T.O.: PCU GD 4
DATE: FEB/2016
REVISION: Kevin Beattie

NOTES:

- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.
- IF VALVE IS LOCATED WITHIN A SIDEWALK CONCRETE COLLAR MAY BE ELIMINATED AND DISK SET FLUSH DIRECTLY TO SIDEWALK.
- BRONZE DISK REQUIRED FOR ALL VALVES AND DUMMY BOXES.
- THE 24"x24" THICK CONCRETE VALVE BOX COLLAR CAN BE INSTALLED BELOW THE FRICTION COARSE AND THE BRONZE DISK ANCHORED IN A NEAR-BY CURB OR SIDEWALK.
- ALL VALVES/BOXES SHALL BE LOCATED BY MEANS OF A PERPENDICULAR 6"x2" BLUE STRIPE ACROSS THE CURB. THE DISTANCE FROM THE BACK OF THE CURB TO THE VALVE SHALL BE STENCILED ON THE CURB WITH NUMBERS FOUR INCHES HIGH, PAINTED BLUE, BY THE CONTRACTOR.

PINELLAS COUNTY
CONCRETE VALVE BOX AND COLLAR DETAIL

DETAIL INDEX T.O.: PCU GD 5
DATE: FEB/2016
REVISION: Kevin Beattie

NOTES:

- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.
- MANUAL: THIS TABLE SHALL BE UTILIZED FOR ALL PRESSURE MAIN INSTALLATIONS. ALL FITTINGS SHALL BE RESTRAINED TO THE LENGTHS INDICATED, AT A MINIMUM.
- THIS TABLE WAS DEVELOPED USING THE FOLLOWING ASSUMPTIONS:
 - D.I. PIPE WITH POLY WRAP
 - SAFETY FACTOR OF 1.5 TO 1
 - TEST PRESSURE OF 150 P.S.I.
 - SOLE TYPE: S.M.
 - TYPE 3 TRENCH
 - DEPTH OF COVER: 2'-5" UP TO 16" AND 3' FOR 20" AND ABOVE.
 - WHEN A TEE HAS A VALVE ON THE RUN, THE BRANCH AND THE RUNS SHALL BE RESTRAINED AS A 90° BEND FOR THE SIZE OF THE PIPE.
 - ALL BENDS, TEES, AND VALVES SHALL BE RESTRAINED ON EACH SIDE OF THE FITTING.
 - "R" REPRESENTS THE RESTRAINED JOINTS AT THE FITTINGS.
 - ELBOW TRANSITION VALVE IS FOR STRAIGHT TIE-INS. IF A BEND IS USED, THE VALVE FOR THE BEND MUST BE ADDED.
 - LINE VALVES SHALL BE RESTRAINED UPSTREAM AND DOWNSTREAM AS A DEAD END.

PIPE SIZE	FITTINGS			
	TEE ONLY	90°	45°	22 1/2°
2"	40	17	F	40
4"	19	49	20	10
6"	33	69	28	14
8"	58	88	37	18
10"	76	107	44	21
12"	93	125	52	25
14"	110	142	59	28
16"	127	159	66	32
18"	143	175	73	35
20"	152	184	88	33
24"	159	192	79	38
30"	195	229	95	46
36"	250	264	109	53

PINELLAS COUNTY
PRESSURE MAIN RESTRAINED JOINT DETAIL

DETAIL INDEX T.O.: PCU GD 11
DATE: FEB/2016
REVISION: Kevin Beattie

NOTES:

- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.
- PRECAST MANHOLES SHALL BE USED AND SHALL BE CONSTRUCTED TO STANDARD MANHOLE SPECIFICATIONS.
- DOGHOUSE OPENING MAY ONLY BE USED WHEN PLACING A NEW MANHOLE OVER AN EXISTING LINE. OTHERWISE, THE OPENING MUST BE CAST.
- OPENINGS IN PRECAST UNITS ARE TO BE 4" MINIMUM TO 6" MAXIMUM LARGER THAN THE OUTSIDE DIAMETER OF THE EXISTING PIPE.
- ALL RISER UNITS SHALL HAVE A MINIMUM HEIGHT OF 12" WITH THE CONCENTRIC CONE SET BETWEEN 24" AND 144" BELOW THE BOTTOM OF MANHOLE COVER AND FRAME.

PINELLAS COUNTY
DOGHOUSE AIR RELEASE VALVE MANHOLE DETAIL

DETAIL INDEX T.O.: PCU SD 1d
DATE: FEB/2016
REVISION: Kevin Beattie

NOTES:

- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIALS SPECIFICATION MANUAL.
- REFER TO P.C.U. STANDARD DETAIL ON MANHOLE CONSTRUCTION NOTES.
- ALL RISER UNITS SHALL HAVE A MINIMUM HEIGHT OF 12" WITH THE CONCENTRIC CONE SET BETWEEN 24" AND 144" BELOW THE BOTTOM OF MANHOLE COVER AND FRAME.

PINELLAS COUNTY
STANDARD MANHOLE (PRE-CAST) DETAIL

DETAIL INDEX T.O.: PCU SD 1a
DATE: FEB/2016
REVISION: Kevin Beattie

DESIGNED: SPC
DRAWN: MKC
CHECKED: SPC
QC:

Gulf Coast Consulting, Inc.
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MADEIRA BEACH, FL 33708

SHEET DESCRIPTION:
DONS DOCK - JOHNS PASS
CONSTRUCTION DETAILS

NO.	DATE	REVISIONS	APP'D BY
1	01/22/24	REVISED PER PINELLAS COUNTY COMMENTS	

SEAN P. CASHEN
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 42505

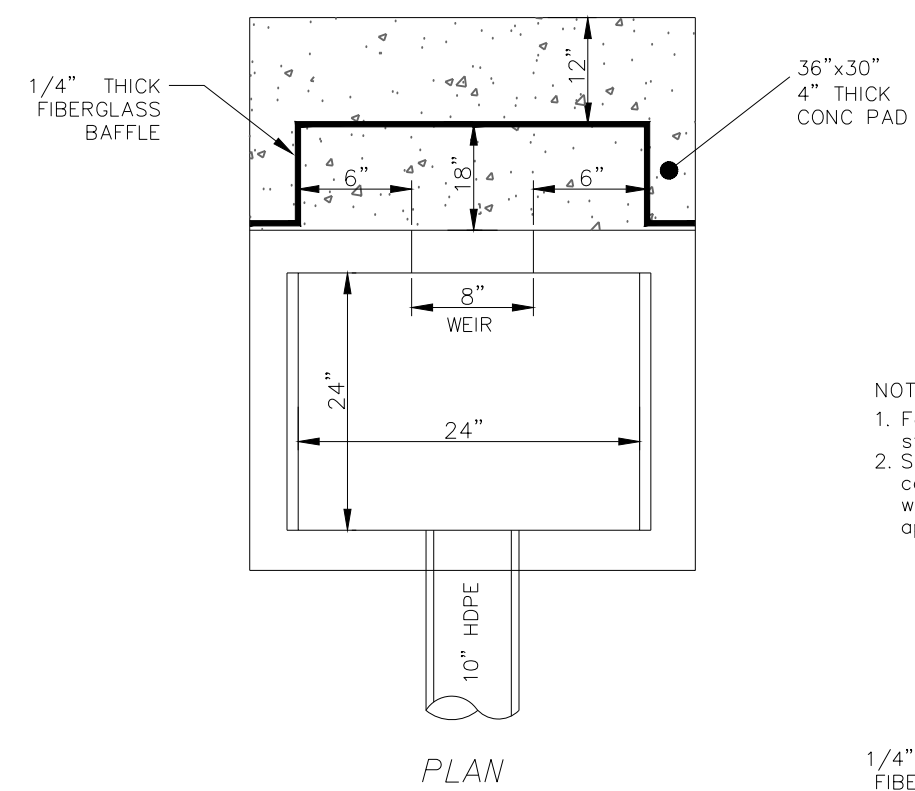
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CERTIFICATE OF AUTHORIZATION NO. 9774

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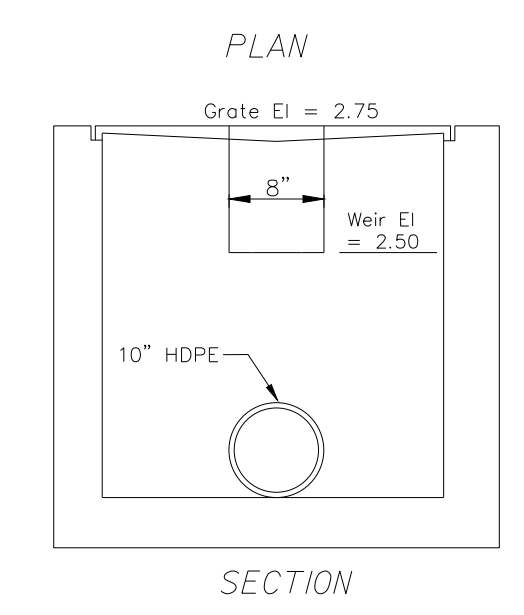
AB NO: 22-065
DATE: 08/17/23

C9



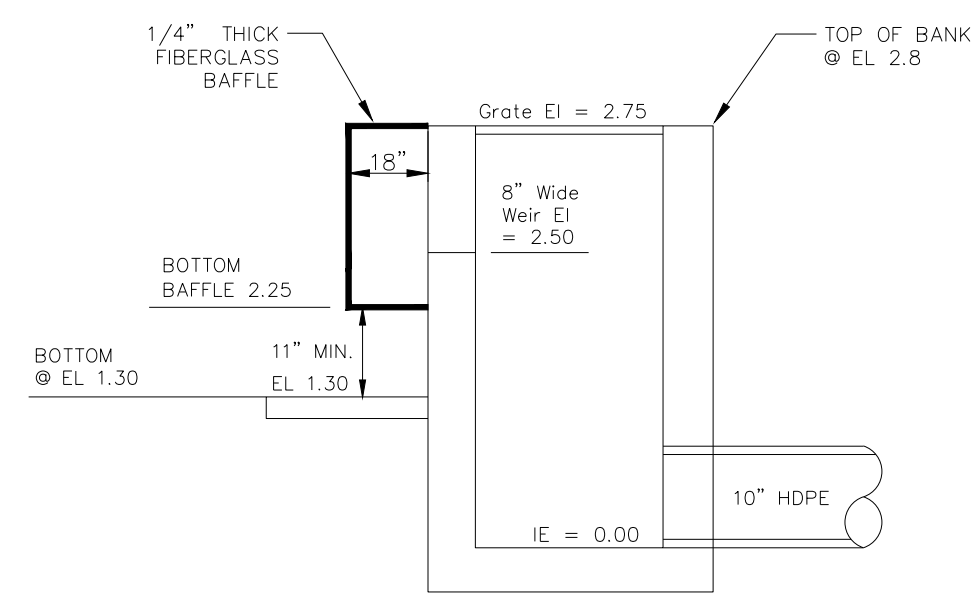
- NOTES
1. Fasten skimmer with 4 stainless steel bolts w/ lead anchors
 2. Seal all edges of skimmer at contact points with structure with waterproof caulking or approved equal

CONCRETE YARD DRAIN

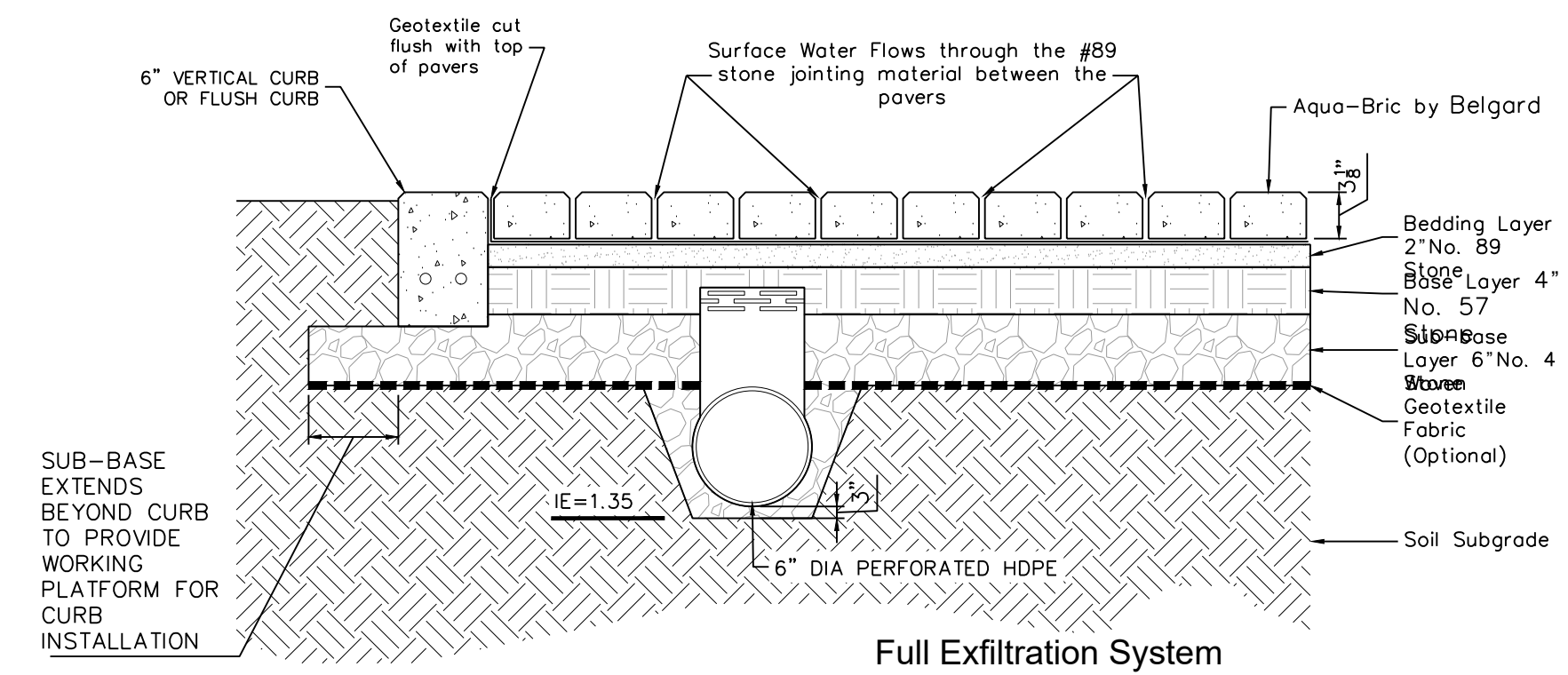


SECTION

CONTROL STRUCTURE (OCS-1)
(CONCRETE YARD DRAIN INLET)
NTS



SECTION



PERVIOUS CONCRETE PAVERS
NTS

Full Exfiltration System

DESIGNED	SPC
DRAWN	MKC
CHECKED	SPC
QC:	



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CONSTRUCTION DETAILS

NO	DATE	REVISIONS	APP'D BY
1	02/01/24	REVISED PER PINELLAS COUNTY COMMENTS	

SEAN P. CASHEN
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 42505

THIS ITEM HAS BEEN ELECTRONICALLY
SIGNED AND SEALED BY SEAN P. CASHEN,
ON THE DATE INDICATED HERE USING A SHA
AUTHENTICATION CODE.

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THE SHA AUTHENTICATION CODE MUST BE
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THESE PLANS MAY NOT BE COPIED OR
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FROM GULF COAST CONSULTING, INC.

SEAN P. CASHEN, P.E. #42505
NOT VALID UNLESS SIGNED & EMBOSSED
BY A REGISTERED ENGINEER
GULF COAST CONSULTING, INC.
CERTIFICATE OF AUTHORIZATION No. 9774

PROJ. NO.	22-065
SHEET	C10
DATE:	08/17/23

Drainage Design Report

FOR:

Dons Dock



Gulf Coast Consulting, Inc.

Engineering · Planning · Transportation · Permitting
13825 ICOT Boulevard - Suite 605
Palm Harbor, Florida 33762
Ph: (727) 524-1818

SUBMITTED TO:
City of Madeira Beach

Digitally
Signed by
Sean P. Cashen
42505
Date: 2024.02.16
10:59:17
-05'00'

Sean P. Cashen, State of Florida, P.E. #42505

This item has been electronically signed and sealed by Sean P. Cashen, P.E. on the date indicated here using a SHA authentication code.

February 2024

GCC PROJECT No. 22-065

Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies

Description of attachments

Vicinity Map

Drainage Map

NRCS Soils Information

FDEP Mean High Water Determination

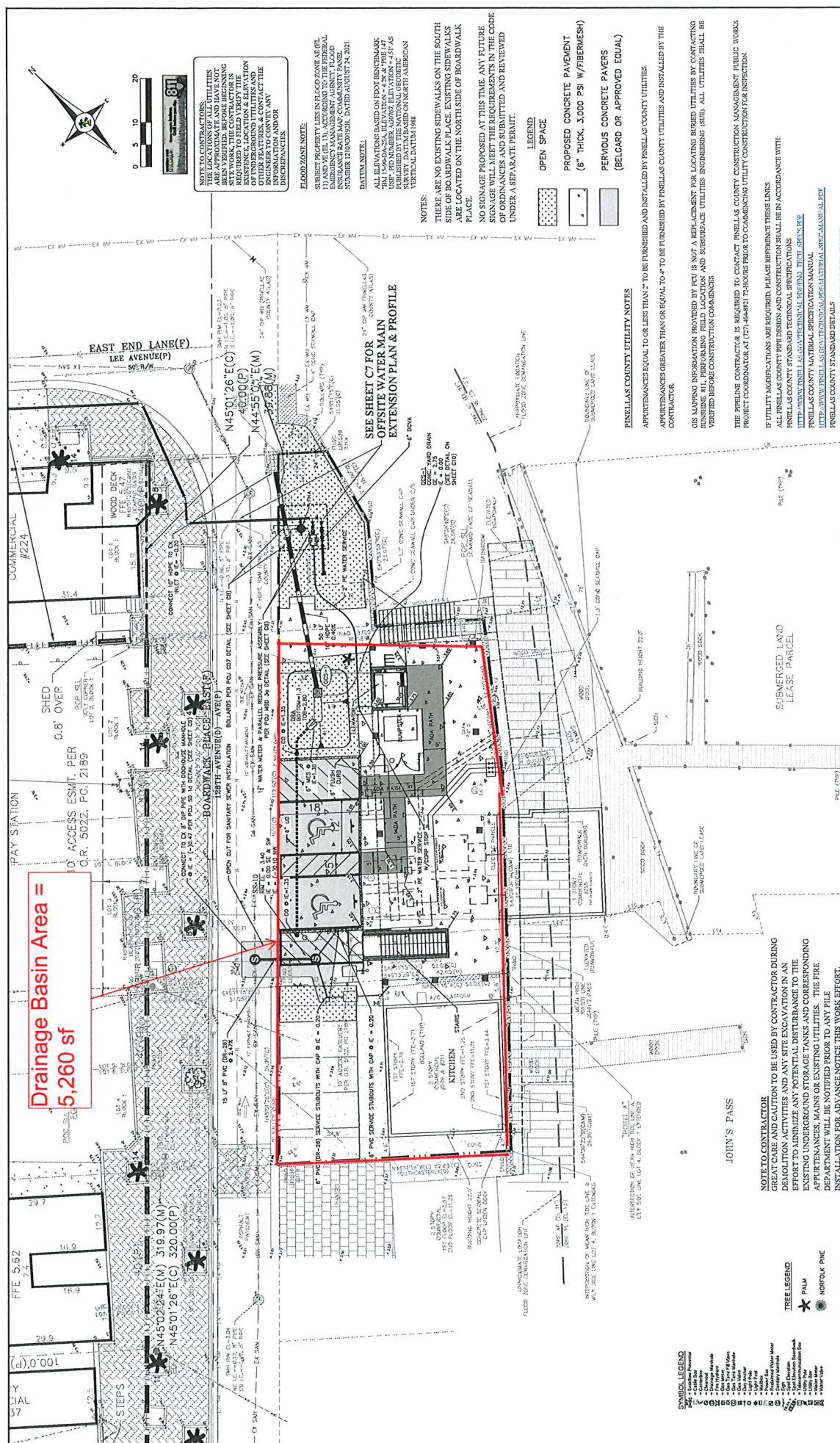
DRA Storage Volume Calculations

ICPR Input & Output Data for Drawdown Model

SECTION 15, TOWNSHIP 31 S, RANGE 15 E
MADEIRA BEACH, FLORIDA

LOCATION MAP





**Drainage Basin Area =
5,260 sf**

NOTE TO CONTRACTORS
THE LOCATIONS OF ALL UTILITIES
ARE SHOWN ON THIS PLAN. BEFORE
BEGINNING WORK, THE CONTRACTOR IS
RESPONSIBLE FOR VERIFYING THE
EXISTENCE, LOCATION & ELEVATION
OF ALL UTILITIES AND CONTACT THE
ENGINEER TO VERIFY ANY
DISCREPANCIES.

FLOOD ZONE NOTE:
SUBJECT PROPERTY LIES IN FLOOD ZONE AE (EL.
19.0 AND VE (EL. 13.0) ACCORDING TO THE FEDERAL
INSURANCE RATE MAP COMMUNITY PANEL,
NUMBER 12100992H, DATED AUGUST 24, 2011.

DATUM NOTE:
ALL ELEVATIONS BASED ON FOOT BENCHMARK
10M 16404504, ELEVATION 4.28 & THE 1" = 100'
PLAN, PUBLISHED BY THE NATIONAL GEODETIC
SURVEY, NUMBER 12100992H, DATED AUGUST 24, 2011.

NOTES:
THERE ARE NO EXISTING SIDEWALKS ON THE SOUTH
SIDE OF BOARDWALK PLACE. EXISTING SIDEWALKS
ARE LOCATED ON THE NORTH SIDE OF BOARDWALK
PLACE.
NO SIGNAGE PROPOSED AT THIS TIME. ANY FUTURE
SIGNAGE WILL MEET THE REQUIREMENTS IN THE CODE
OF ORDINANCES AND SUBMITTED AND REVIEWED
UNDER A SEPARATE PERMIT.

- LEGEND**
- OPEN SPACE
 - PROPOSED CONCRETE PAVEMENT
(6" THICK, 3,000 PSI W/FIBREESH)
 - PERVIOUS CONCRETE PAVERS
(BELCADOR OR APPROVED EQUAL)

PNELLAS COUNTY UTILITY NOTES
APURTEANCES EQUAL TO OR LESS THAN 2" TO BE FURNISHED AND INSTALLED BY PNELLAS COUNTY UTILITIES.
APURTEANCES GREATER THAN OR EQUAL TO 4" TO BE FURNISHED BY PNELLAS COUNTY UTILITIES AND INSTALLED BY THE
CONTRACTOR.
SEE MAPPING INFORMATION PROVIDED BY PCU IS NOT A REPLACEMENT FOR LOCATING BURIED UTILITIES BY CONTACTING
SUNSHINE R.I. PERFORMING FIELD LOCATION AND SURFACE UTILITIES ENGINEERING (SUFE). ALL UTILITIES SHALL BE
VERIFIED BEFORE CONSTRUCTION COMMENCES.

THE PIPELINE CONTRACTOR IS REQUIRED TO CONTACT PNELLAS COUNTY CONSTRUCTION MANAGEMENT PUBLIC WORKS
PROJECT COORDINATOR AT (727) 464-8547 72 HOURS PRIOR TO COMMENCING UTILITY CONSTRUCTION FOR INSPECTOR
IF UTILITY CONDITIONS ARE DISCOVERED. PLEASE REFERENCE THESE LINKS:
ALL PNELLAS COUNTY PRESSION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH:
PNELLAS COUNTY STANDARD TECHNICAL SPECIFICATIONS
[HTTP://WWW.PNELLASCOUNTY.COM/TECHNICAL-SPECIFICATIONS](http://www.pnellascounty.com/technical-specifications)
PNELLAS COUNTY MATERIAL SPECIFICATION MANUAL
[HTTP://WWW.PNELLASCOUNTY.COM/TECHNICAL-SPECIFICATION-MANUAL](http://www.pnellascounty.com/technical-specifications-manual)
PNELLAS COUNTY STANDARD DETAILS
[HTTP://WWW.PNELLASCOUNTY.COM/TECHNICAL-SPECIFICATION-MANUAL](http://www.pnellascounty.com/technical-specifications-manual)

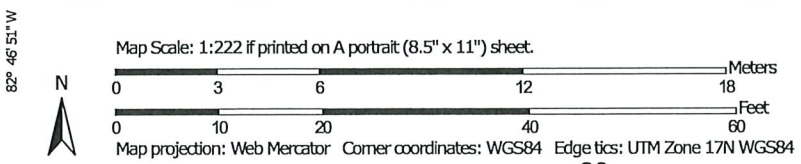
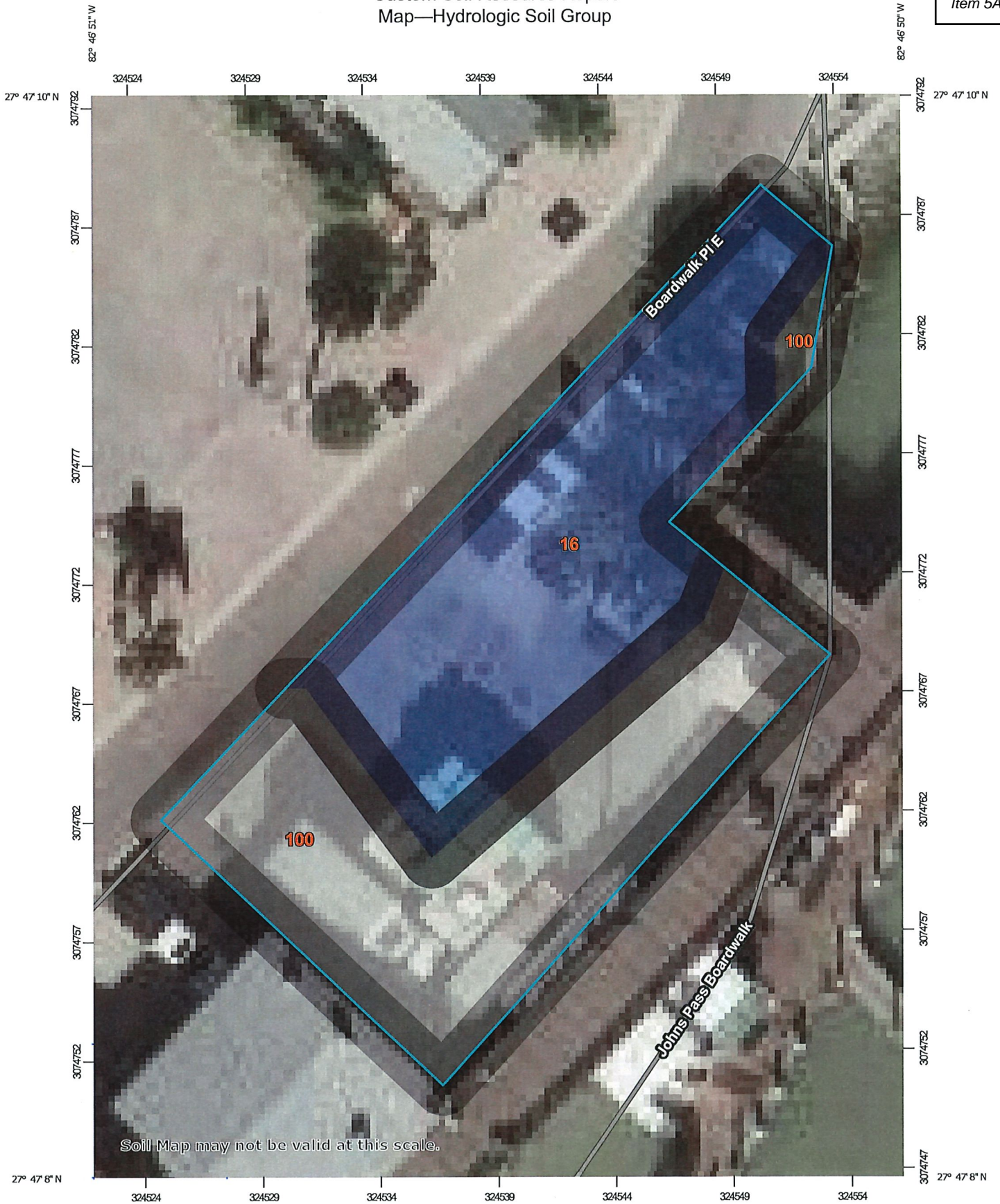
C5	
DATE	22-068
SCALE	AS SHOWN
DRAWN BY	J.M. GIBSON, P.E.
CHECKED BY	J.M. GIBSON, P.E.
DATE	09/17/22
SHEET DESCRIPTION DONS DOCK - JOHNS PASS SITE DEVELOPMENT PLAN - GROUND FLOOR	
PREPARED FOR BOARDWALK PLACE PROPERTIES, LLC 101 150TH AVENUE MADEIRA BEACH, FL 33708	
PREPARED BY Gulf Coast Consulting, Inc. Land Development Consulting 10500 STATE ROAD 155, SUITE 100 MADEIRA BEACH, FL 33708 Phone: 3769 1871 0400 WWW.GULFCOASTCONSULTING.COM	

NOTE TO CONTRACTOR
GREAT CARE AND CAUTION TO BE USED BY CONTRACTOR DURING
DEMOLITION ACTIVITIES AND ANY SITE EXCAVATION IN AN
EFFORT TO MINIMIZE ANY POTENTIAL DISTURBANCE TO THE
EXISTING UNDERGROUND STORAGE TANKS AND CORRESPONDING
APURTENANCES, MAINS OR EXISTING UTILITIES. THE FIRE
INSTALLATION FOR ADVANCE NOTICE THIS WORK EFFORT.

- SYMBOL LEGEND**
- Utility Line
 - Proposed Pavement
 - Pervious Concrete
 - Open Space
 - Tree
 - Palm
 - Norfolk Pine

Custom Soil Resource Report
Map—Hydrologic Soil Group

Item 5A.



MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.


































Soil Survey Area: Pinellas County, Florida
 Survey Area Data: Version 20, Aug 28, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 20, 2020—Jan 28, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

MAP LEGEND

 Area of Interest (AOI)	 C
 Area of Interest (AOI)	 C/D
Soils	 D
Soil Rating Polygons	 Not rated or not available
 A	Water Features
 A/D	 Streams and Canals
 B	Transportation
 B/D	 Rails
 C	 Interstate Highways
 C/D	 US Routes
 D	 Major Roads
 Not rated or not available	 Local Roads
Soil Rating Lines	Background
 A	 Aerial Photography
 A/D	
 B	
 B/D	
 C	
 C/D	
 D	
 Not rated or not available	
Soil Rating Points	
 A	
 A/D	
 B	
 B/D	

Table—Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
16	Matlacha and St. Augustine soils and Urban land	B	0.1	52.4%
100	Waters of the Gulf of Mexico		0.1	47.6%
Totals for Area of Interest			0.1	100.0%

Rating Options—Hydrologic Soil Group

Aggregation Method: Dominant Condition

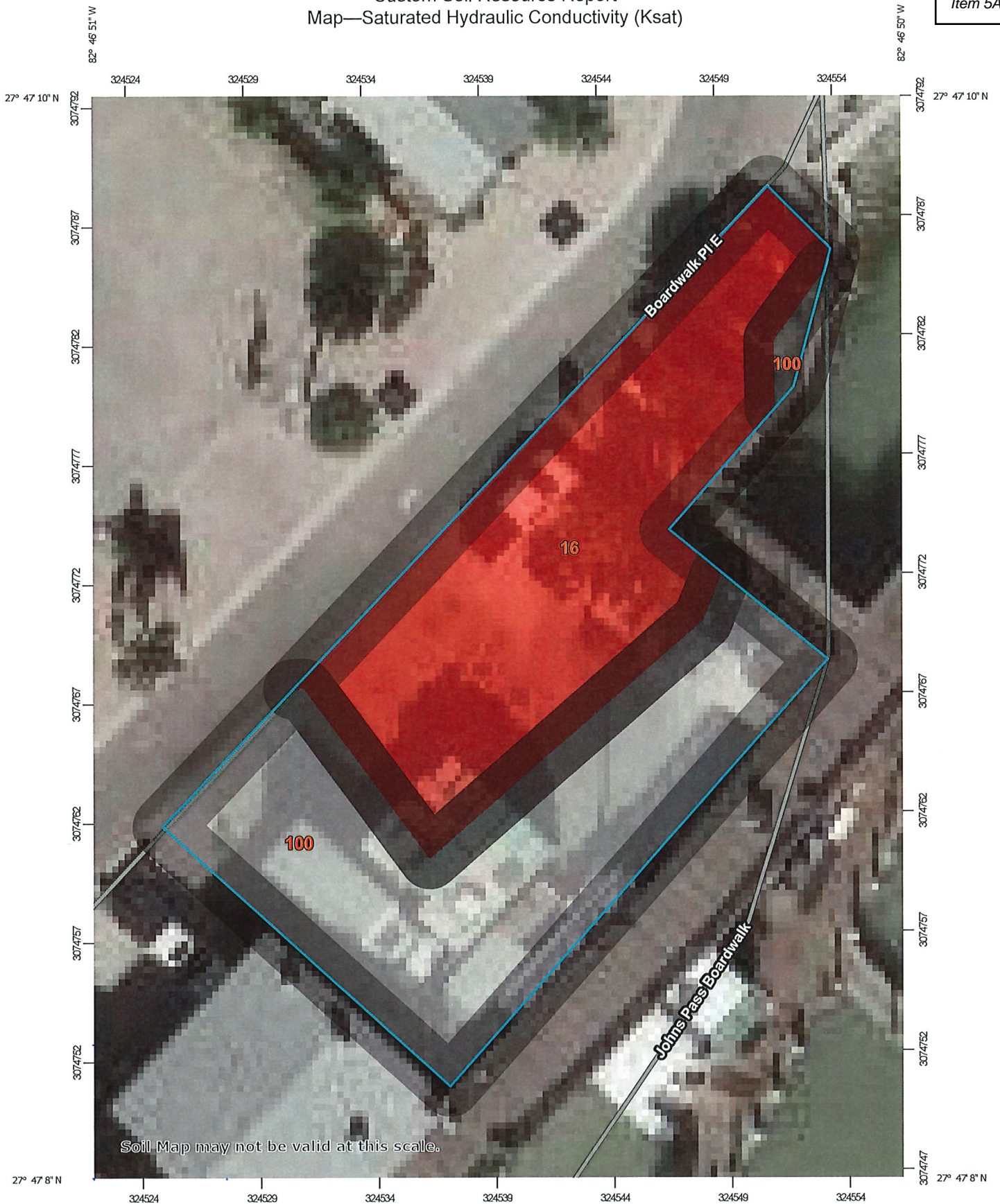
Component Percent Cutoff: None Specified

Tie-break Rule: Higher

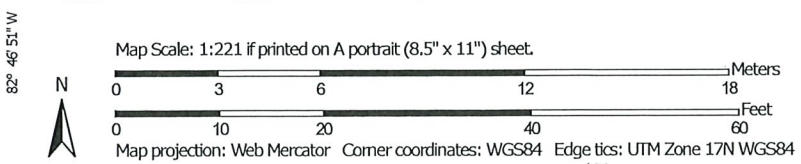
Depth to Any Soil Restrictive Layer

Custom Soil Resource Report
 Map—Saturated Hydraulic Conductivity (Ksat)















Item 5A.



Soil Map may not be valid at this scale.



MAP LEGEND

- Area of Interest (AOI)**
 -  Area of Interest (AOI)
- Soils**
 - Soil Rating Polygons**
 -  = 28.0000
 -  Not rated or not available
 - Soil Rating Lines**
 -  = 28.0000
 -  Not rated or not available
 - Soil Rating Points**
 -  = 28.0000
 -  Not rated or not available
- Water Features**
 -  Streams and Canals
- Transportation**
 -  Rails
 -  Interstate Highways
 -  US Routes
 -  Major Roads
 -  Local Roads
- Background**
 -  Aerial Photography

MAP INFORM

The soil surveys that comprise your A 1:24,000.

Warning: Soil Map may not be valid at

Enlargement of maps beyond the scale may cause misunderstanding of the detail of map line placement. The maps do not show contrasting soils that could have been scale.

Please rely on the bar scale on each map for measurements.

Source of Map: Natural Resources (NRI)
 Web Soil Survey URL: <http://websoilsurvey.sc.egov.usda.gov>
 Coordinate System: Web Mercator (NAD83)

Maps from the Web Soil Survey are based on a map projection, which preserves direction and shape, but not distance and area. A projection that preserves area is the Albers equal-area conic projection, which allows for accurate calculations of distance and area.

This product is generated from the USGS National Soil Survey Data of the version date(s) listed below.

Soil Survey Area: Pinellas County, Florida
 Survey Area Data: Version 20, August 2010

Soil map units are labeled (as space permits) on maps with a scale of 1:50,000 or larger.

Date(s) aerial images were photographed: August 28, 2020

The orthophoto or other base map on which the soil map is compiled and digitized probably differs from the imagery displayed on these maps. As a result, shifting of map unit boundaries may be observed.

Table—Saturated Hydraulic Conductivity (Ksat)

Map unit symbol	Map unit name	Rating (micrometers per second)	Acres in AOI	Percent of AOI
16	Matlacha and St. Augustine soils and Urban land	28.0000 <i>= 7.94 ft/Day</i>	0.1	51.8%
100	Waters of the Gulf of Mexico		0.1	48.2%
Totals for Area of Interest			0.1	100.0%

Rating Options—Saturated Hydraulic Conductivity (Ksat)

Units of Measure: micrometers per second

Aggregation Method: Dominant Component

Component Percent Cutoff: None Specified

Tie-break Rule: Fastest

Interpret Nulls as Zero: No

Layer Options (Horizon Aggregation Method): Depth Range (Weighted Average)

Top Depth: 0

Bottom Depth: 10

Units of Measure: Centimeters



FLORIDA DEPARTMENT OF Environmental Protection

Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, FL 32399

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Shawn Hamilton
Secretary

Tidal Water Survey Procedural Approval

Date: 2/6/2024
Name: Sean Cashen, PE
Firm Name: Gulf Coast Consulting, Inc.
Address: 13825 Icot Blvd Ste 605
Clearwater FL 33760
Phone: 727.524.1818 Email: scashen@gulfcoastconsultinginc.com

Tide Interpolation Point No. 872-6533 County: Pinellas
USGS 7.5-Minute Quad Map Name: Seminole
Mean High Water (MHW): 0.46 ft Mean Low Water (MLW): -0.99 ft
Unit of Measurement: Feet Datum: NAVD88 Tidal Epoch: 1983 – 2001

Procedure: Extend the above MHW height to job if within one-half mile.
Source of Data: Florida Department of Environmental Protection, Bureau of Survey and Mapping.

This form constitutes approval of the method to be used to survey the mean high-water line or the mean low-water line within one half mile of the point identified above.

Retain this form for record keeping. Submit a copy of this form with the completed survey to the Bureau of Survey and Mapping.

Contact:
Florida Department of Environmental Protection
Bureau of Survey and Mapping
Mean High Water Repository
3800 Commonwealth Boulevard, Mail Station 105
Tallahassee, FL 32399-3000
Tel. (850) 245-2640
email pdf to: mhwrequest@floridadep.gov

Approved by:
Eric Sellers Digitally signed by Eric Sellers
Date: 2024.02.14 14:18:41 -05'00'
2/14/2024
(Date)

REQUIRED TREATMENT AND POND VOLUME CALCULATIONS

PROJECT: **Dons Dock**

DATE: **Feb 2024**

JOB NO: **22-065**

BY: **SPC**

Dry Retention Area Storage

DRA			
	Elevation	Area (sf)	Volume (cu ft)
TOB	2.80	261.00	210.75
DLW	2.50	212.80	139.68
	2.25	172.63	91.50
Bottom	1.75	92.30	25.27
	1.30	20.00	0.00

Plus Permeable Paver Storage

Area of Pavers is 666 sf. Volume of pavers is within the 12" of Aggregate from approx elevation 2.75 to el 1.75. Total Area = 666 sf x 12" (1') = 666 cu feet with 40% voids; Volume available = 666 cu-ft x .40 = 266 cu ft. Adding this paver volume to the Retention area volume would yield:

DRA			
	Elevation	Area (sf)	Volume (cu ft)
TOB	2.80	261.00	474.75
DLW	2.50	212.80	337.68
	2.25	172.63	223.50
Bottom	1.75	92.30	25.27
	1.30	20.00	0.00

Mean High Water (MHW) El is 0.50 in this area. Bottom of Pond is 0.80 feet above this MHW EL

Project Area to be treated = 5260 sf; 5260 sf x 3/4" = 329 cu feet Water Quality Storage which is attained at elevation 2.50 within the Shared retention Area / Permeable Paver Area.

Nodes

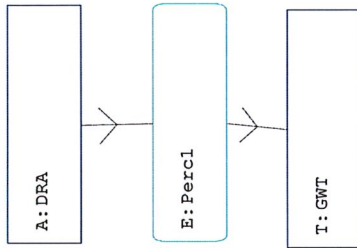
- A Stage/Area
- V Stage/Volume
- T Time/Stage
- M Manhole

Basins

- O Overland Flow
- U SCS Unit CN
- S SBUH CN
- Y SCS Unit GA
- Z SBUH GA

Links

- P Pipe
- W Weir
- C Channel
- D Drop Structure
- B Bridge
- R Rating Curve
- H Breach
- E Percolation
- F Filter
- X Exfil Trench



ICPR Drawdown Model

=====
==== Nodes =====
=====

Name: DRA Base Flow(cfs): 0.000 Init Stage(ft): 2.500
Group: BASE Warn Stage(ft): 1.300
Type: Stage/Area

Pond Bottom
DLW=2.50

Stage (ft)	Area (ac)
1.300	0.0005
1.750	0.0021
2.500	0.0049
2.800	0.0060

Name: GWT Base Flow(cfs): 0.000 Init Stage(ft): 0.000
Group: BASE Warn Stage(ft): 0.000
Type: Time/Stage

Time (hrs)	Stage (ft)
0.00	0.000
9999.00	0.000

=====
==== Percolation Links =====
=====

Name: Perc1 From Node: DRA Flow: Both
Group: BASE To Node: GWT Count: 1

Surface Area Option: Vary based on Stage/Area Table
Vertical Flow Termination: Horizontal Flow Algorithm
Aquifer Base Elev(ft): -3.500 Perimeter 1(ft): 59.000
Water Table Elev(ft): 0.500 Perimeter 2(ft): 122.000
Ann Recharge Rate(in/year): 0.000 Perimeter 3(ft): 185.000
Horiz Conductivity(ft/day): 11.910 Distance 1 to 2(ft): 10.000
Vert Conductivity(ft/day): 7.940 Distance 2 to 3(ft): 10.000
Effective Porosity(dec): 0.437 Num Cells 1 to 2: 2
Suction Head(in): 4.170 Num Cells 2 to 3: 2
Layer Thickness(ft): 0.000

Aquifer =
SHW=0.50

=====
==== Hydrology Simulations =====
=====

Name:
Filename:

Override Defaults: Yes
Storm Duration(hrs): 0.00
Rainfall File:
Rainfall Amount(in): 0.00

Time(hrs)	Print Inc(min)
30.000	5.00

=====
==== Routing Simulations =====
=====

Name: Perc Hydrology Sim:
Filename: Y:\PINELLAS\Dons Dock - Johns Pass (22-065)\Drainage\ICPR\Perc.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 73.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Percolation w/DLW as initial stage - Less than 72 hrs

Time(hrs)	Print Inc(min)
75.000	15.000
Group	Run
BASE	Yes

Simulation

Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft2	Total Inflow cfs	Total Outflow cfs	Total Vol In af	Total Vol Out af
Perc	DRA	0.00	2.50	1.30	213	0.00	0.00	0.0	0.0
Perc	DRA	0.25	2.42	1.30	200	0.00	0.02	0.0	0.0
Perc	DRA	0.50	2.33	1.30	187	0.00	0.02	0.0	0.0
Perc	DRA	0.76	2.25	1.30	173	0.00	0.02	0.0	0.0
Perc	DRA	1.01	2.17	1.30	159	0.00	0.01	0.0	0.0
Perc	DRA	1.25	2.09	1.30	146	0.00	0.01	0.0	0.0
Perc	DRA	1.50	2.00	1.30	133	0.00	0.01	0.0	0.0
Perc	DRA	1.76	1.92	1.30	119	0.00	0.01	0.0	0.0
Perc	DRA	2.01	1.84	1.30	113	0.00	0.01	0.0	0.0
Perc	DRA	2.25	1.76	1.30	113	0.00	0.01	0.0	0.0
Perc	DRA	2.50	1.67	1.30	113	0.00	0.01	0.0	0.0
Perc	DRA	2.75	1.60	1.30	113	0.00	0.01	0.0	0.0
Perc	DRA	3.00	1.55	1.30	113	0.00	0.01	0.0	0.0
Perc	DRA	3.25	1.50	1.30	113	0.00	0.01	0.0	0.0
Perc	DRA	3.51	1.45	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	3.75	1.42	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	4.00	1.38	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	4.25	1.35	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	4.50	1.33	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	4.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	5.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	5.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	5.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	5.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	6.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	6.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	6.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	6.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	7.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	7.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	7.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	7.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	8.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	8.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	8.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	8.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	9.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	9.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	9.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	9.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	10.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	10.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	10.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	10.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	11.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	11.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	11.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	11.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	12.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	12.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	12.50	1.30	1.30	113	0.00	0.00	0.0	0.0

Drawdown
to pond
Bottom at
Time/Hour
4.75

Simulation

Simulation	Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft2	Total Inflow cfs	Total Outflow cfs	Total Vol In af	Total Vol Out af
Perc	DRA	BASE	12.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	13.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	13.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	13.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	13.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	14.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	14.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	14.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	14.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	15.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	15.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	15.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	15.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	16.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	16.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	16.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	16.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	17.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	17.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	17.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	17.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	18.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	18.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	18.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	18.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	19.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	19.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	19.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	19.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	20.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	20.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	20.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	20.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	21.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	21.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	21.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	21.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	22.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	22.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	22.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	22.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	23.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	23.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	23.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	23.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	24.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	24.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	24.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	24.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	25.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	25.25	1.30	1.30	113	0.00	0.00	0.0	0.0

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Simulation

Simulation	Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft2	Total Inflow cfs	Total Outflow cfs	Total Vol In af	Total Vol Out af
Perc	DRA	BASE	25.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	25.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	26.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	26.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	26.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	26.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	27.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	27.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	27.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	27.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	28.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	28.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	28.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	28.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	29.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	29.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	29.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	29.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	30.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	30.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	30.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	30.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	31.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	31.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	31.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	31.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	32.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	32.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	32.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	32.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	33.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	33.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	33.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	33.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	34.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	34.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	34.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	34.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	35.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	35.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	35.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	35.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	36.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	36.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	36.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	36.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	37.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	37.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	37.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	37.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	38.00	1.30	1.30	113	0.00	0.00	0.0	0.0

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Simulation	Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft2	Total Inflow cfs	Total Outflow cfs	Total Vol In af	Total Vol Out af
Perc	DRA	BASE	38.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	38.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	38.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	39.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	39.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	39.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	39.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	40.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	40.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	40.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	40.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	41.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	41.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	41.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	41.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	42.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	42.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	42.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	42.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	43.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	43.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	43.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	43.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	44.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	44.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	44.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	44.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	45.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	45.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	45.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	45.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	46.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	46.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	46.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	46.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	47.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	47.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	47.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	47.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	48.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	48.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	48.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	48.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	49.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	49.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	49.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	49.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	50.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	50.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	50.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	50.75	1.30	1.30	113	0.00	0.00	0.0	0.0

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Simulation	Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft2	Total Inflow cfs	Total Outflow cfs	Total Vol In af	Total Vol Out af
Perc	DRA	BASE	51.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	51.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	51.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	51.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	52.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	52.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	52.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	52.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	53.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	53.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	53.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	53.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	54.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	54.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	54.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	54.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	55.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	55.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	55.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	55.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	56.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	56.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	56.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	56.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	57.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	57.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	57.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	57.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	58.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	58.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	58.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	58.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	59.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	59.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	59.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	59.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	60.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	60.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	60.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	60.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	61.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	61.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	61.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	61.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	62.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	62.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	62.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	62.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	63.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	63.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	63.50	1.30	1.30	113	0.00	0.00	0.0	0.0

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Simulation

Simulation	Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft2	Total Inflow cfs	Total Outflow cfs	Total Vol In af	Total Vol Out af
Perc	DRA	BASE	63.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	64.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	64.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	64.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	64.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	65.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	65.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	65.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	65.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	66.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	66.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	66.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	66.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	67.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	67.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	67.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	67.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	68.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	68.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	68.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	68.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	69.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	69.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	69.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	69.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	70.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	70.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	70.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	70.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	71.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	71.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	71.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	71.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	72.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	72.25	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	72.50	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	72.75	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	73.00	1.30	1.30	113	0.00	0.00	0.0	0.0
Perc	DRA	BASE	73.01	1.30	1.30	113	0.00	0.00	0.0	0.0

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	MIN. CAL	MIN. SIZE	SPACING
TREES							
CE	1	Conocarpus erectus 'Sericeus' Native, D.T., 3-4 Trunks	Silver Buttonwood	-	2' Cal.+	8'-10' Ht., 3'-4' Sp.	
SP	2	Sabal palmetto Native, Drought Tolerant	Sabal Palm	-		12' CT, Matched Ht.	
SHRUBS							
CH	50	Chrysobalanus icaco 'horizontalis' Native, Drought Tolerant	Horizontal Coccolum	3 gal., 14" Ht. x 14" Sp.			24" o.c.
MF	14	Myrsine fragnans Native, Drought Tolerant	Simpson's Stopper	7 Gal., 32" Ht. x 30" Sp.			24" o.c.
ZF	12	Zamia floridana Native, Drought Tolerant	Coontie	3 Gal., 18" Ht. x 18" Sp.			36" o.c.
GROUND COVERS							
AG	102	Arachis glabrata-rhizoma Drought Tolerant	Ornamental Peanut Grand Reserve	6"x18", 1 gal.@			12" o.c.
HL	101	Helianthus debilis vestitus Native, Drought Tolerant	West Coast Beach Sunflower	12"x12", 1 gal.			18" o.c.
LE	41	Liriope muscari 'Emerald Goddess' Drought Tolerant	Emerald Goddess Liriope	12"x18", 1 gal.			18" o.c.
TA	105	Trachelospermum asiaticum 'Summer Sunset' Drought Tolerant	Dwarf Tricolor Asiatic Jasmine	4"pot@			12" o.c.

Madeira Beach Requirements:

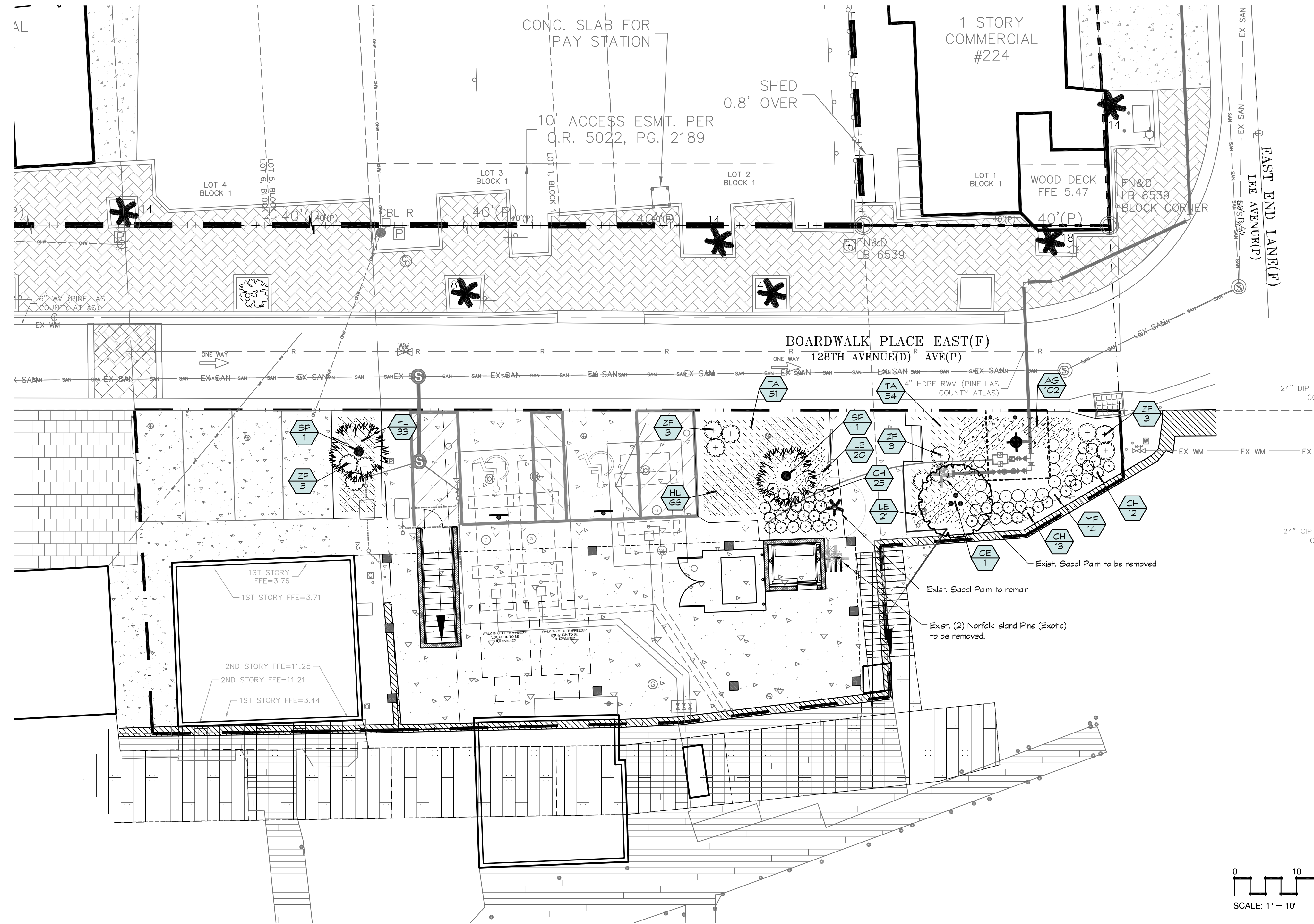
Site - 6,855 SF

Landscape area required - 10%
6,855 x 10% = 685.5 SF Required

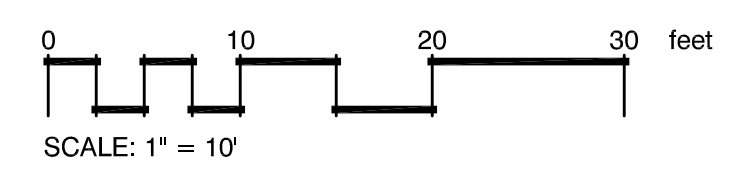
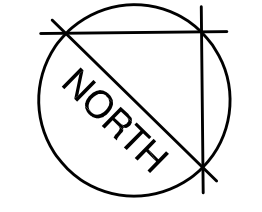
Landscape Area Provided - 1,175.47 SF (17%)
(Grassed, ground covers, shrubs & trees. Site does not have internal VUA)

1 Tree required per 400 SF of Landscape Area 685.5 / 400 = 1.7 = 2 Trees Required
2 Trees Provided (2 Proposed Palms + 1 Existing Palm + 1 Proposed Tree)

See Sheet LA2 for Landscape Notes & Details.

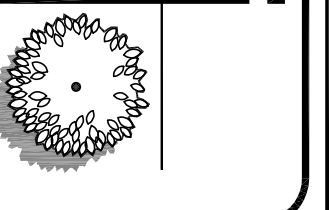


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13825 Icot Blvd., Suite 605
Clearwater, Florida 33760
Phone - (727) 524-1818



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Date per Digital Signature

Digitally signed by Patrick Roberson
DN: c=US, st=Florida, l=Trinity, o=Roberson Resource Group, LLC, cn=Patrick Roberson, email=patrick@rrgla.com
Date: 2024.02.05 11:13:40 -05'00'

Revision	Date

DONS DOCK
at **JOHNS PASS**
Madeira Beach, Florida

LANDSCAPE PLAN

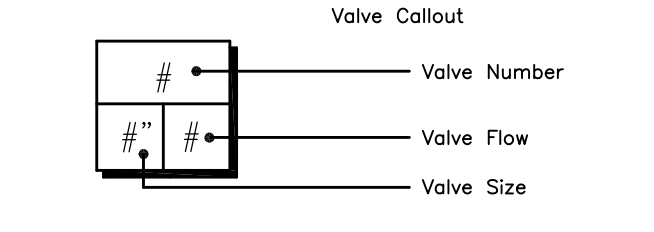
Project No. 24-07
Date 02/05/24
Sheet LA1

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Hunter ICZ-151-XL-40 Drip Control Zone Kit, 1-1/2in. ICV Globe Valve with 1in. HY100 filter system, Pressure Regulation; 40psi. Flow Range: 20 GPM to 60 GPM, 120 mesh stainless steel screen, 1-1/2in. Inlet x single 2in. outlet	1
	Hunter HDL-09-12-R Drip Ring	3

Area to Receive Dripline
 Hunter HDL-09-12-R
 HDL-09-12-R: Hunter Dripline with 0.9 GPH flow, Light brown tubing with purple striping. Emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Hunter NODE-100 Single Station Controller, Outdoor, Battery Powered. DC Latching Solenoid Included.	1
	Hunter MINI-CLIK Rain Sensor, mount as noted	1
	Hunter SPNODE Solar panel for NODE controller. Eliminates the need for batteries and provides maintenance free operation by harnessing the sun's energy.	1
	Water Meter 1" Reclaimed Irrigation Water Meter - Verify 37 GPM at 60 PSI Minimum	1
	Irrigation Lateral Line: PVC Class 200 SDR 21	150.5 l.f.
	Irrigation Mainline: PVC Schedule 40	2.4 l.f.
	Pipe Sleeve: PVC Schedule 40	72.0 l.f.



VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PSI	PSI @ POC	PRECIP
1	Hunter ICZ-151-XL-40	1-1/2"	Area for Dripline	13.92	23.5	24.7	1.44 in/h

IRRIGATION PLANS ARE DIAGRAMMATIC

- ALL IRRIGATION EQUIPMENT TO BE INSTALLED IN LANDSCAPE/SODDED AREAS AND WITHIN PROPERTY LINES.
- ANY PIPING, VALVES, OR OTHER EQUIPMENT SHOWN OUTSIDE OF THE LANDSCAPE/SODDED AREAS OR PROPERTY LINES IS FOR CLARITY PURPOSES OF THE IRRIGATION PLAN ONLY.
- SLEEVES UNDER SIDEWALKS AND PAVEMENT ARE TO BE PLACED AS NECESSARY WITH ENDS IN LANDSCAPE/SODDED AREAS.

DRIP TUBING SPACING NOTE

- DRIP TUBING IS TO BE SPACED EVENLY THROUGHOUT THE LANDSCAPE BED AS PER THE LAYOUT DETAILS ON SHEET IR2. LATERAL RUNS SHOULD BE SPACED AT 12" ON CENTER TO PROVIDE COVERAGE OVER THE ENTIRE PLANTING BED.
- INSTALLING ONLY ONE LATERAL RUN NEXT TO AN INDIVIDUAL PLANT OR ROW OF PLANTS IS NOT AN ACCEPTABLE LAYOUT.

PROPOSED TREES/PALMS IRRIGATION

- ALL PROPOSED TREES ARE TO HAVE DRIP TREE RINGS AS DETAILED ON SHEET IR2 OR AS AN ALTERNATE FOUR TO EIGHT DRIP BUBBLERS CAN BE ATTACHED TO THE DRIP TUBING ON OPPOSITE SIDES OF THE ROOTBALL, PER EACH TREE, AND ADJUSTED TO PROVIDE IRRIGATION CONSISTENT WITH THE DRIP TREE RING. SEE IRRIGATION DETAILS.

PIPE ROUTING AT EXISTING TREES TO REMAIN

IRRIGATION PIPE (LATERAL OR MAINLINE) IS TO BE TUNNELED UNDER THE MAIN ROOT SYSTEM (24" DEPTH MIN.) WHEN PROPOSED ALIGNMENT IS WITHIN THE CANOPY DRIP LINE / CRITICAL ROOT ZONE OF EXISTING TREES TO REMAIN.

CRITICAL ANALYSIS

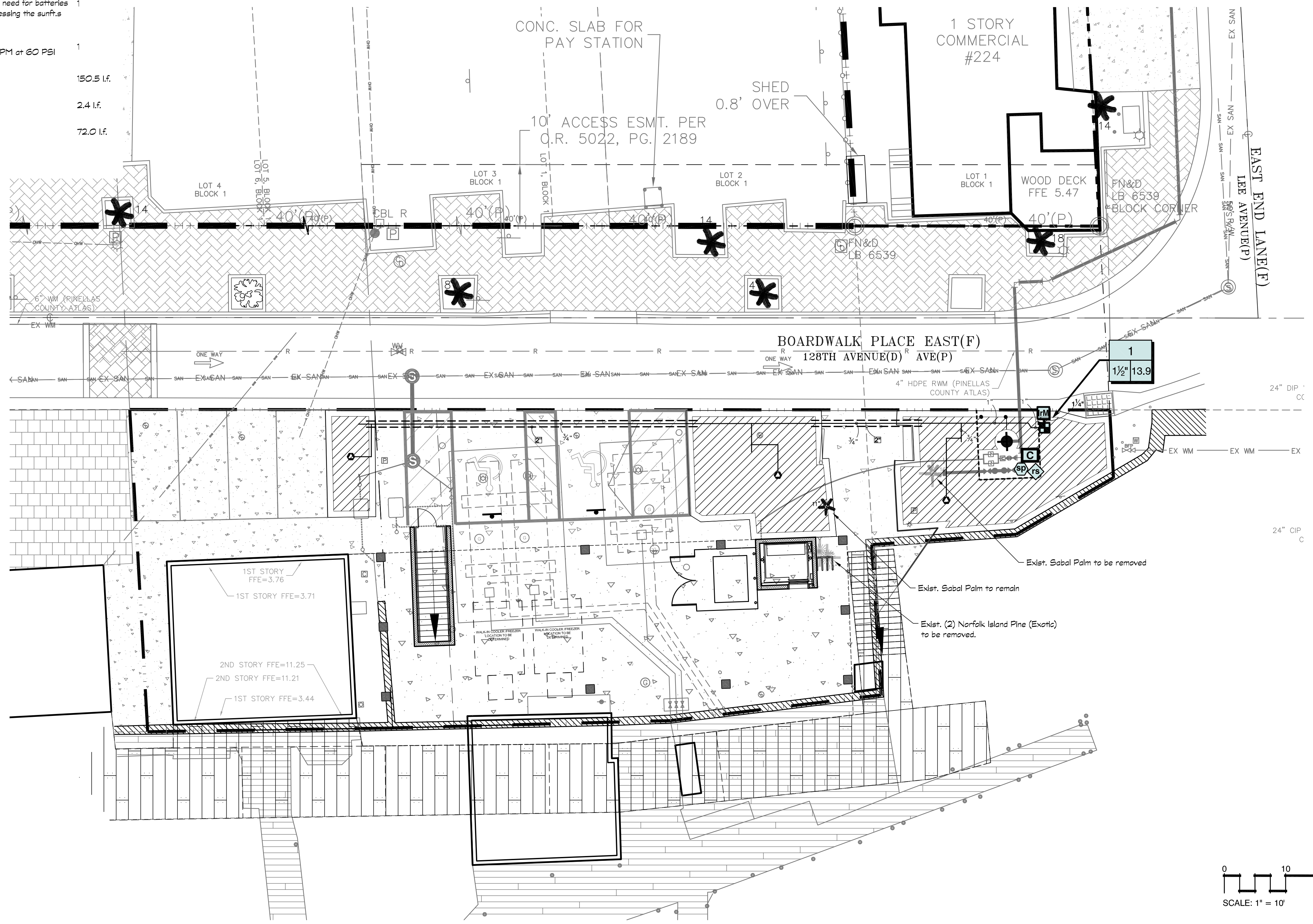
P.O.C. NUMBER: C1
 Water Source Information: Reclaimed Irrigation Water Meter - Verify 37 GPM at 60 PSI Minimum

FLOW AVAILABLE
 Water Meter Size: 1"
 Flow Available: 37.5 GPM

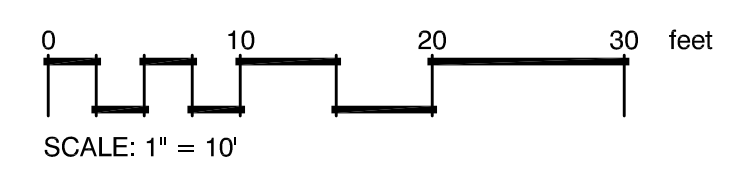
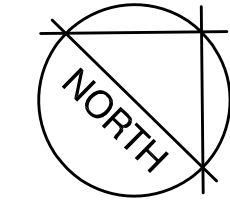
PRESSURE AVAILABLE
 Static Pressure at POC: 60 PSI
 Elevation Change: 3.00 ft
 Service Line Size: 4"
 Length of Service Line: 15 ft
 Pressure Available: 58 PSI

DESIGN ANALYSIS
 Maximum Station Flow: 13.92 GPM
 Flow Available at POC: 37.5 GPM
 Residual Flow Available: 23.58 GPM

Critical Station: 1
 Design Pressure: 20 PSI
 Friction Loss: 1.39 PSI
 Fittings Loss: 0.14 PSI
 Elevation Loss: 0 PSI
 Loss through Valve: 2 PSI
 Pressure Req. at Critical Station: 23.5 PSI
 Loss for Fittings: 0.03 PSI
 Loss for Main Line: 0.03 PSI
 Loss for POC to Valve Elevation: 0 PSI
 Loss for Backflow: 0 PSI
 Loss for Water Meter: 1.03 PSI
 Critical Station Pressure at POC: 24.7 PSI
 Pressure Available: 58 PSI
 Residual Pressure Available: 33.3 PSI

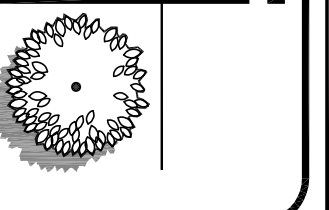


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 Web: RRGCA.com
 LA000161



CONSTRUCTION PLANS ARE NOT VALID UNLESS SIGNED & EMBOSSED WITH LANDSCAPE ARCHITECT'S SEAL

Patrick Roberson
 Date per Digital Signature

PATRICK B. ROBERSON
 FLORIDA REGISTERED
 LANDSCAPE ARCHITECT
 NO. 64009461

Digitally signed by Patrick Roberson
 DN: c=US, st=Florida, o=Roberson Resource Group, LLC, email=patrick@rrgla.com
 Date: 2024.02.05 11:14:21 -05'00'

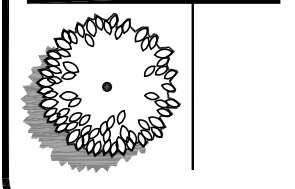
Revision	Date

DONS DOCK PASS
 at JOHNS PASS
 Madeira Beach, Florida

LANDSCAPE PLAN

Project No. 24-07
 Date 02/05/24
 Sheet LA1

ROBERSON RESOURCE GROUP
Landscape Architecture & Consulting
9152 Little Road, #125, Trinity, Florida 34665
Tel: 813-225-4226 Web: RRGC.com
LA000161



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Date per Digital Signature
Patrick B. Roberson
FLORIDA REGISTERED LANDSCAPE ARCHITECT NO. EA0091461

Digitally signed by Patrick Roberson
DN: c=US, st=Florida, l=Trinity, o=Roberson Resource Group, LLC, cn=Patrick Roberson, email=patrick@rgla.com
Date: 2024.02.05 11:14:34 -05'00'

Date	Revision

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Madeira Beach, Florida

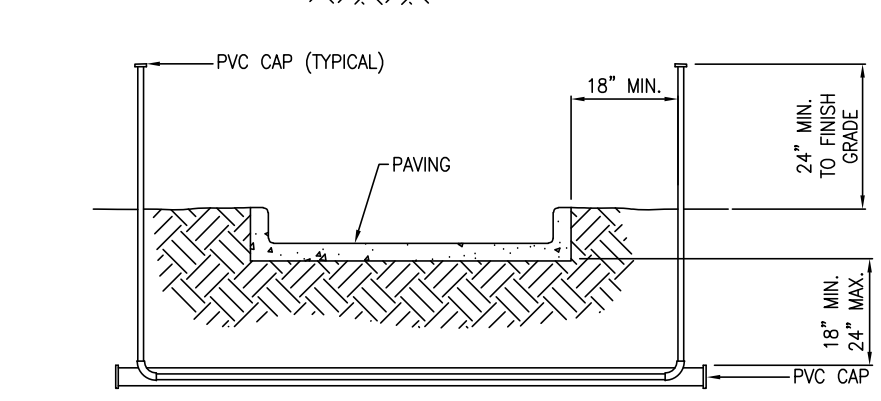
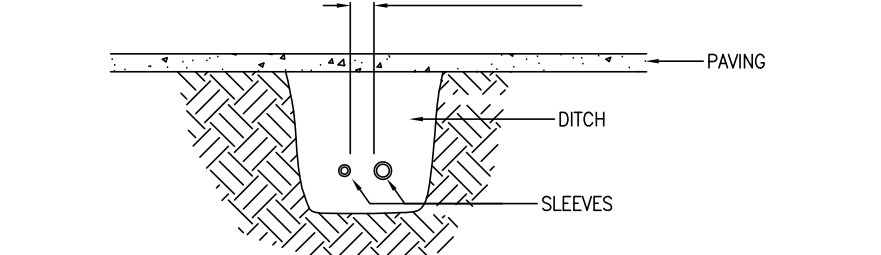
IRRIGATION NOTES & DETAILS
Project No. 24-07
Date 02/05/24
Sheet IR2

IRRIGATION GENERAL NOTES

- NO PLANTING SHALL OCCUR UNTIL THE UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS INSTALLED AND FULLY FUNCTIONAL. THE IRRIGATION SYSTEM IS TO SUPPLY 100% COVERAGE TO ALL REQUIRED LANDSCAPE PLANT MATERIAL AND ST. AUGUSTINE TURF.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST WATERING AMOUNTS AND FREQUENCY TO ENSURE PROPER ESTABLISHMENT OF ALL PLANT MATERIAL.
- THE CONTRACTOR SHALL BE FAMILIAR WITH BOTH PROPOSED AND EXISTING SITE CONDITIONS SUCH AS UTILITIES, PLANT MATERIALS AND ARCHITECTURAL ELEMENTS IN ORDER TO AVOID CONFLICTS DURING INSTALLATION.
- THE CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES AND SHRUBS ON SITE THAT MAY OR MAY NOT BE INDICATED ON THE PLANS.
- THE CONTRACTOR SHALL INSTALL THE IRRIGATION SYSTEM IN CONFORMANCE TO ALL APPLICABLE STATE AND REGIONAL REGULATIONS AND CODES.
- DRIP LINE, BUBBLERS, SPRAY HEADS AND ROTORS SHALL NOT BE COMBINED ON THE SAME CONTROL VALVE CIRCUIT. SPRAY AND ROTOR COMPONENTS SHALL HAVE MATCHING APPLICATION RATES WITHIN EACH IRRIGATION ZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND ADJUSTED TO AVOID OVERSPRAY AND RUNOFF ONTO SIGNS, BUILDINGS, WALLS, WALKWAYS, ROADWAY PAVEMENT OR OTHER IMPERVIOUS SURFACES.
- THE IRRIGATION SYSTEM CONTROLLER SHALL HAVE PROGRAM FLEXIBILITY SUCH AS REPEAT CYCLES AND MULTIPLE PROGRAM CAPABILITIES AND HAVE A BATTERY BACK-UP SYSTEM TO RETAIN IRRIGATION PROGRAMS. THE IRRIGATION CONTROL SYSTEM SHALL BE EQUIPPED WITH AN OPERABLE RAIN MOISTURE SENSOR SHUTOFF DEVICE EXPOSED PER THE MANUFACTURERS SPECIFICATIONS.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED TO "STANDARDS AND SPECIFICATIONS FOR TURF AND LANDSCAPE IRRIGATION SYSTEMS", LATEST EDITION, (FIFTH EDITION MINIMUM) AND ANY AMENDMENTS, BY THE FLORIDA IRRIGATION SOCIETY, INC.
- DRIP TUBING SYSTEM COMPONENTS SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- SPRAY HEAD AND ROTOR LAYOUT SHALL PROVIDE FOR PROPER HEAD TO HEAD COVERAGE. SPRINKLER SPACING SHALL NOT TO EXCEED 55% OF THE SPRINKLERS DIAMETER OF COVERAGE.
- LANDSCAPE OR SODDED AREAS 4' WIDE OR LESS ARE TO BE IRRIGATED WITH DRIP LINE (MICRO IRRIGATION) ONLY, THESE AREAS ARE INDICATED ON THE PLANS.
- THE IRRIGATION CONTRACTOR SHALL ASCERTAIN THE IRRIGATION SYSTEM REQUIREMENTS FOR GPM AND PSI DEMAND AND DETERMINE IF THE METER AND BACKFLOW ASSEMBLY IS CAPABLE OF MEETING THE DEMAND WITHIN THE ALLOWABLE WATERING TIMES. METER AND BACKFLOW ASSEMBLY TO BE PER LOCAL JURISDICTIONAL REQUIREMENTS AND APPLICABLE STATE OF FLORIDA BUILDING CODES.
- THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH THE SITE/BUILDING CONTRACTOR TO VERIFY ANY REQUIRED ELECTRICAL POWER FOR THE IRRIGATION SYSTEM IS AVAILABLE.
- WIRE CONNECTIONS FOR ELECTRIC CONTROL VALVES ARE TO BE MADE WITH NORTHSTAR WATERPROOF SPLICE KITS (3M DBT).
- MAINLINE PIPE IS TO BE INSTALLED A MINIMUM OF 18" BELOW FINISH GRADE. LATERAL LINE PIPE IS TO BE INSTALLED A MINIMUM OF 12" BELOW FINISH GRADE.
- THE IRRIGATION CONTROLLER SHALL HAVE PROPER LIGHTNING PROTECTION INSTALLED PER MANUFACTURE AND APPLICABLE CODES.
- CONTROL VALVE WIRES SHALL RUN UNDER THE MAINLINE PIPE.
- THE MAINLINE PIPE AND SLEEVES ARE TO BE SCHEDULE 40 PVC. LATERAL LINE PIPE IS TO BE CLASS 200 PVC. IRRIGATION PIPE SHALL BE PROPERLY SIZED TO A MAXIMUM OF 5 FEET PER SECOND OF WATER VELOCITY FLOW THROUGH THE IRRIGATION SYSTEM.
- NO IRRIGATION COMPONENTS, MAINLINE PIPING, LATERAL PIPING OR TRENCHING SHALL OCCUR WITHIN THE PROTECTED ZONE OF EXISTING TREES ON SITE AS INDICATED ON THE PLANS.

FOR OPEN TRENCH INSTALLATION OF SLEEVES, SLEEVES ARE TO BE PRE-LOADED WITH THE LATERAL PIPE TO BE CARRIED, SIZED PER IRRIGATION PLANS. THE PRE-LOADED LATERAL PIPE WITHIN THE SLEEVE SHALL BE CAPPED TO PREVENT DEBRIS AND SOIL FROM ENTERING LATERAL PIPE DURING INSTALLATION OF SLEEVE.

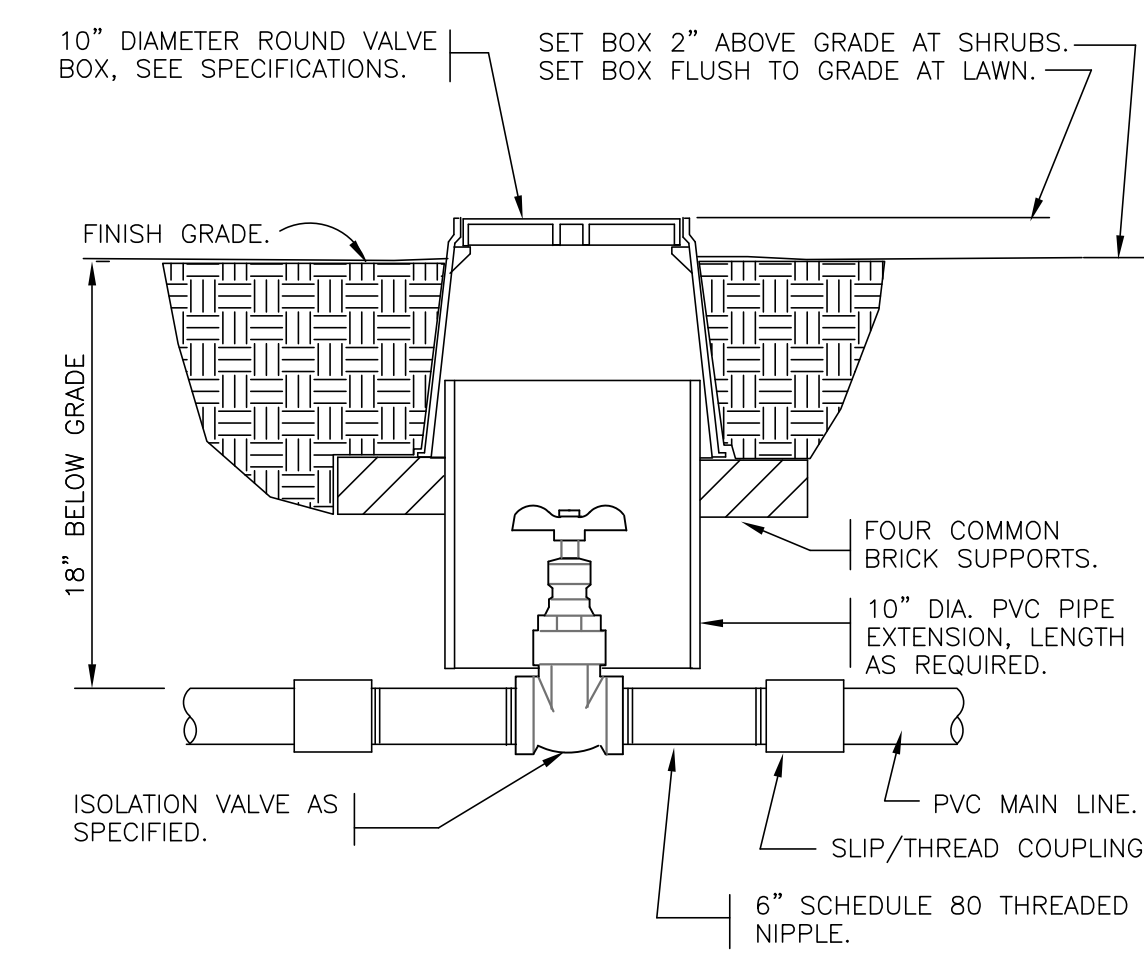
MAINLINE PIPE SLEEVES TO ALSO INCLUDE SEPARATE SLEEVE FOR CONTROL WIRES. WIRE SLEEVE TO BE 1", SCHEDULE 40 MIN. FOR INDIVIDUAL WIRES TO ONE VALVE OR 1" LARGER THAN DIAMETER REQUIRED FOR MULTI-WIRE CROSSINGS TO AREAS OF MULTIPLE VALVES.



- NOTES:
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWINGS.
 - ALL PVC IRRIGATION SLEEVES TO BE SCH. 40 PIPE.
 - ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
 - WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE TO 24" MINIMUM ABOVE FINISH GRADE.
 - MECHANICALLY TAMP TO 95% PROCTOR.
 - SLEEVE TO BE 2 SIZES LARGER THAN MAIN LINE/LATERAL PIPE BEING CARRIED.
 - SLEEVES TO BE LOADED WITH LATERAL PIPE SIZED PER PLAN.

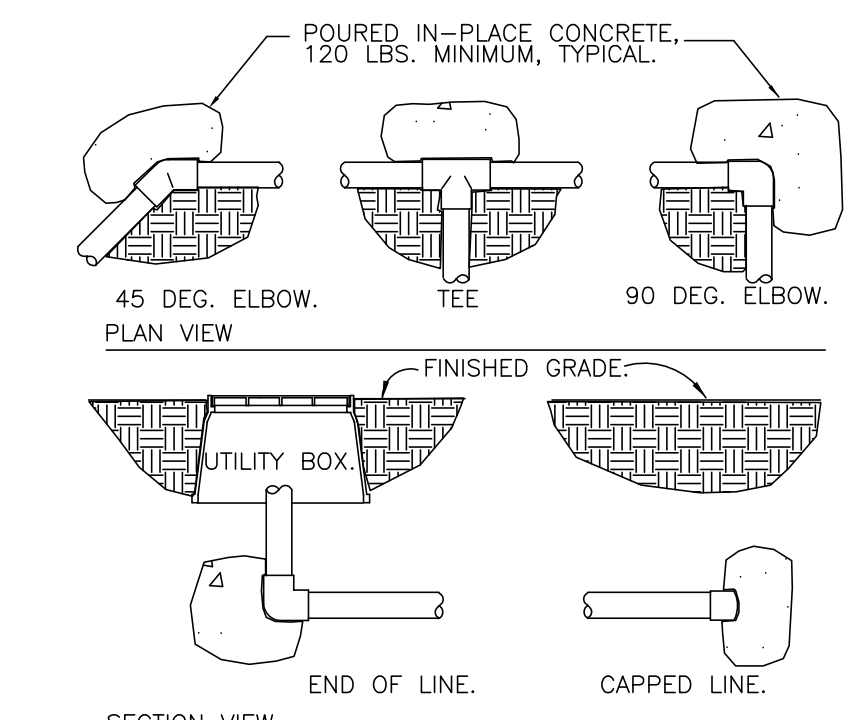
SLEEVING LOADED W/LATERAL PIPE

SLEEVES UNDER HARDSCAPES



BRASS ISOLATION VALVE

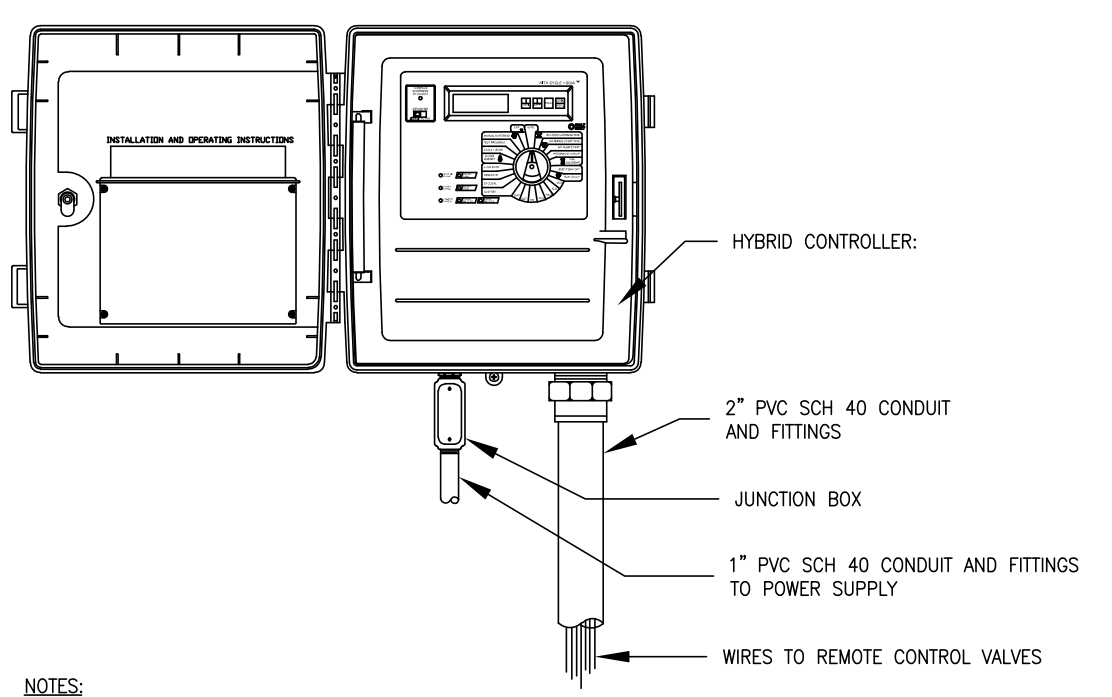
NTS



THRUST BLOCKING

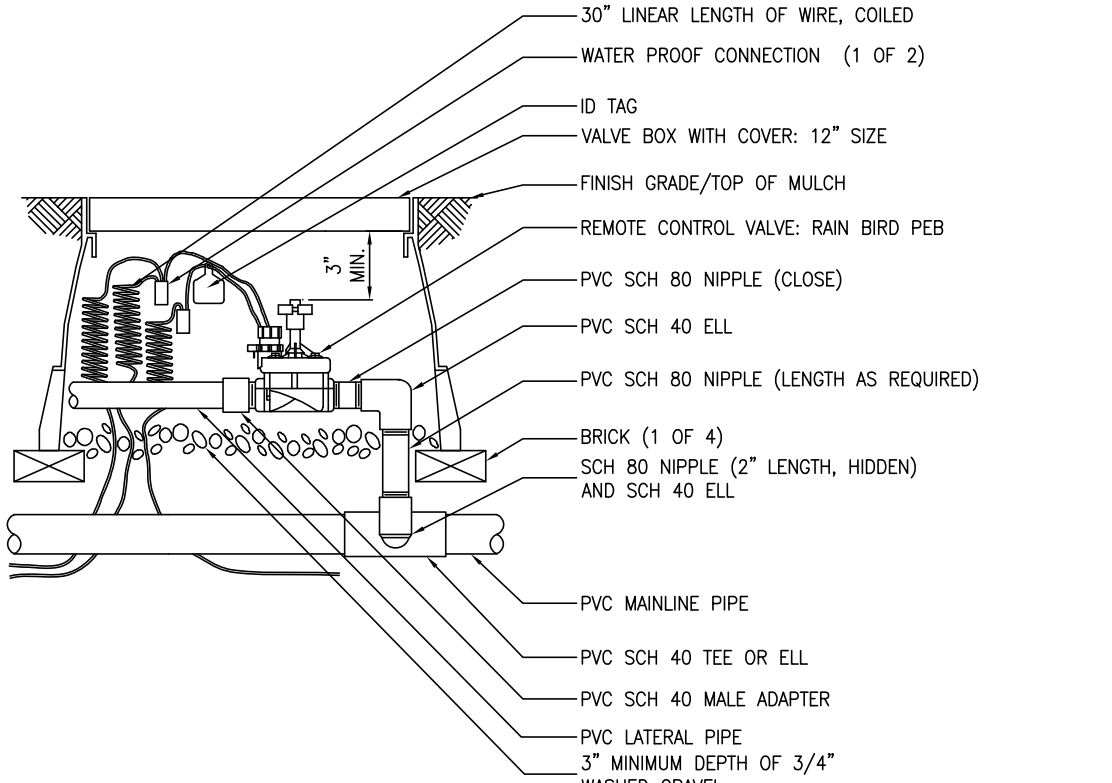
NTS

THRUST BLOCKS ARE REQUIRED ON ALL UNRESTRAINED, PUSH-ON GASKETED PIPE JOINTS AND FITTINGS AT DEAD ENDS, AND WHENEVER THE LINE CHANGES DIRECTION OF 30 DEGREES OR MORE. CONCRETE HAVING A COMPRESSIVE STRENGTH OF 2000 PSI OR HIGHER WILL BE SPECIFIED. THRUST BLOCKS WILL BE FORMED AGAINST SOLID, UNEXCAVATED EARTH THAT HAS BEEN UNDISTURBED BY MECHANICAL EQUIPMENT. THE SPACE BETWEEN THE PIPE AND TRENCH WALL WILL BE FILLED TO THE HEIGHT OF THE OUTSIDE DIAMETER OF THE PIPE. SIZE THRUST BLOCKS IN ACCORDANCE WITH ASAE (AMERICAN SOCIETY OF AGRICULTURAL ENGINEERS) STANDARD S-376.2.



HYBRID CONTROLLER

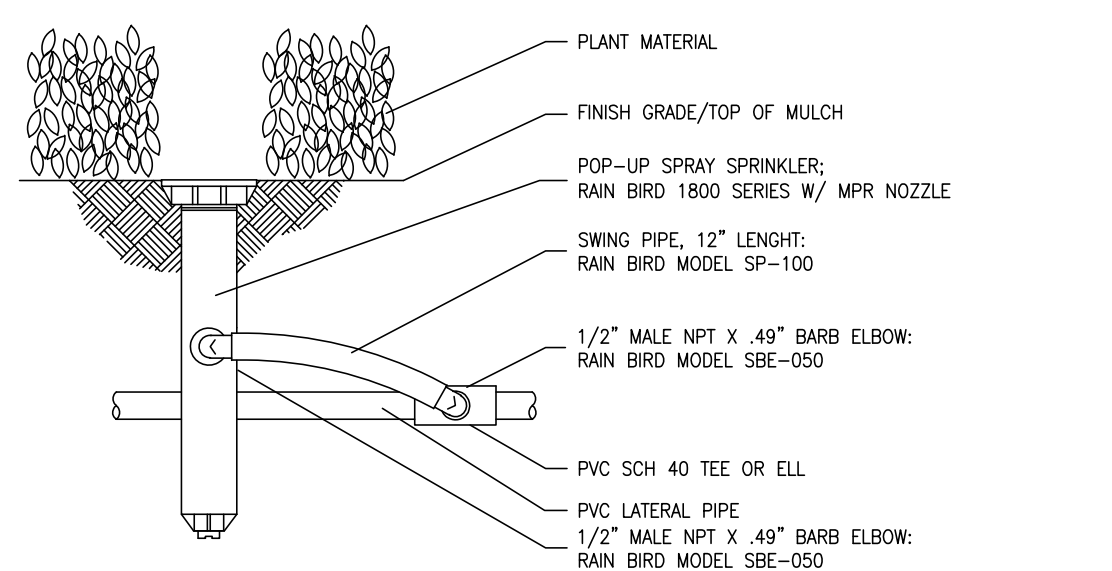
OUTDOOR WALL MOUNT



- NOTES:
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWINGS.

REMOTE CONTROL VALVE

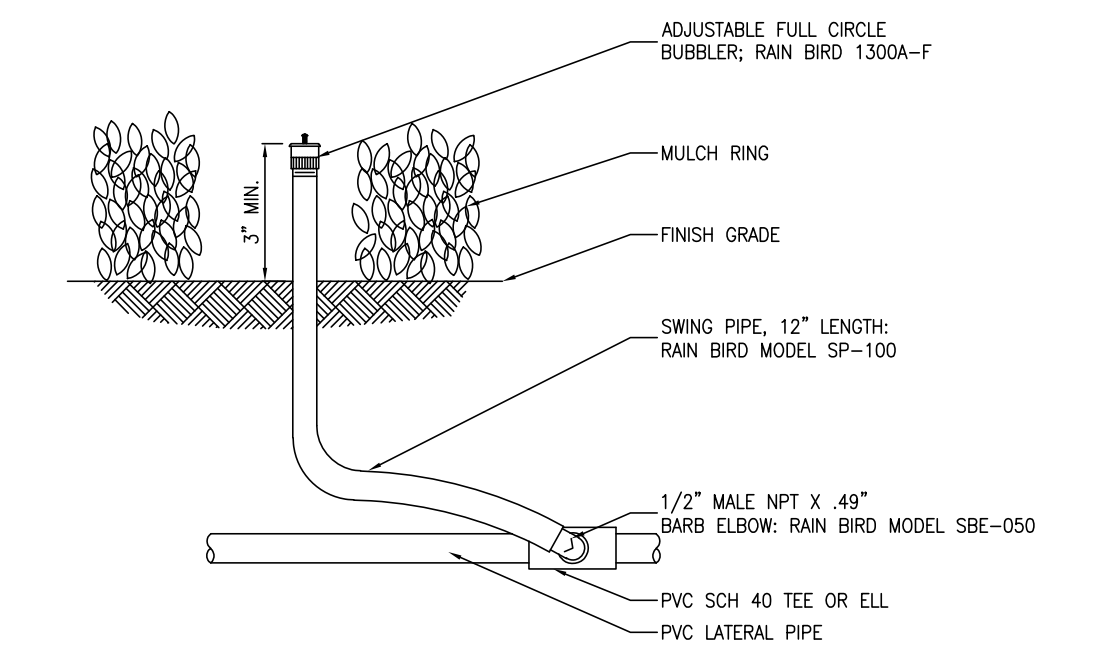
RAINBIRD PEB VALVE



- NOTES:
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWINGS.
 - POP-UP HEIGHT ADJUSTED FOR CLEARANCE OF PLANT MATERIAL, 12" MIN. HEIGHT

POP-UP SPRAY SPRINKLER

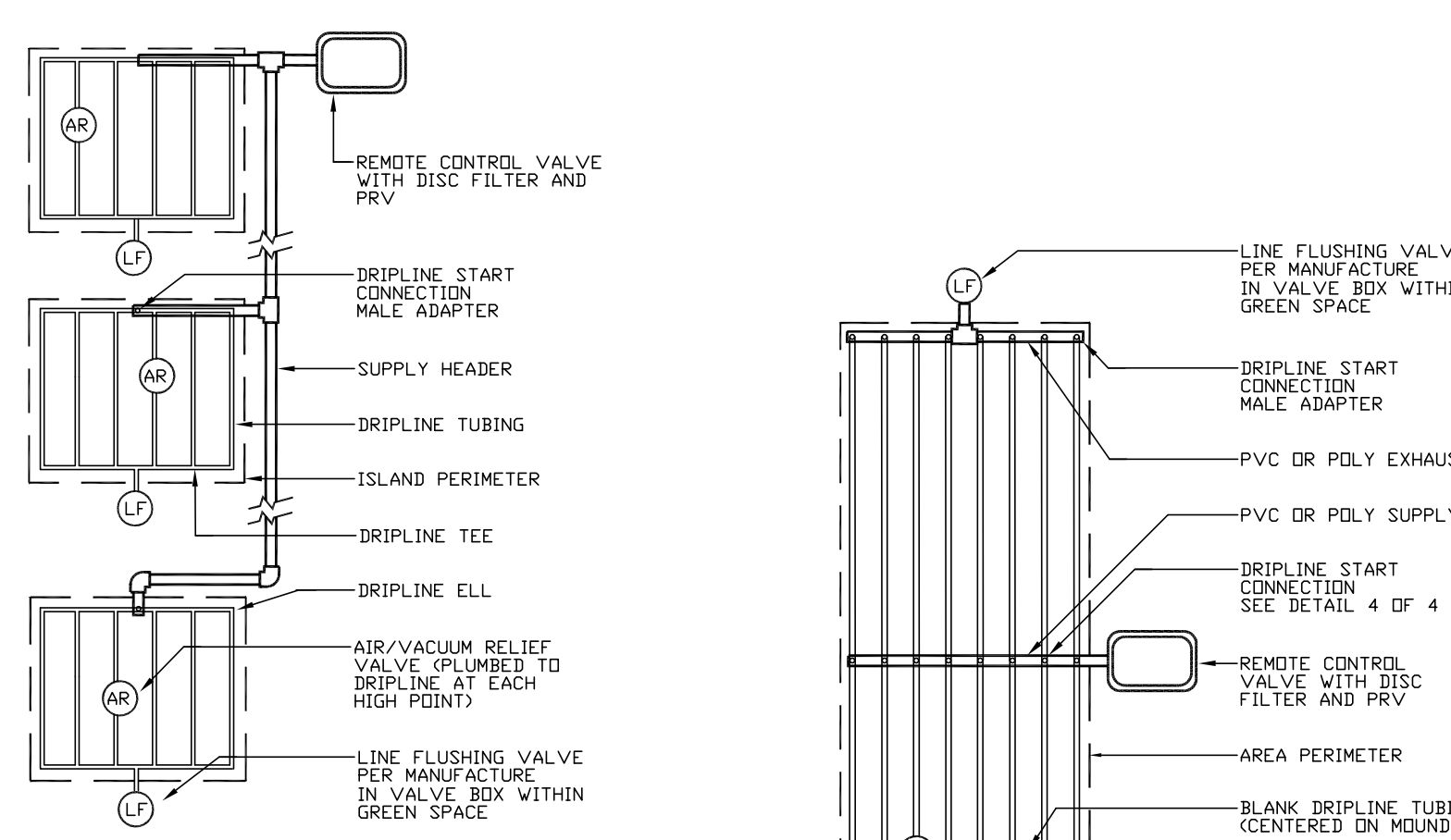
RAINBIRD 1800 SERIES POP-UP SPRAY



- NOTES:
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWINGS.

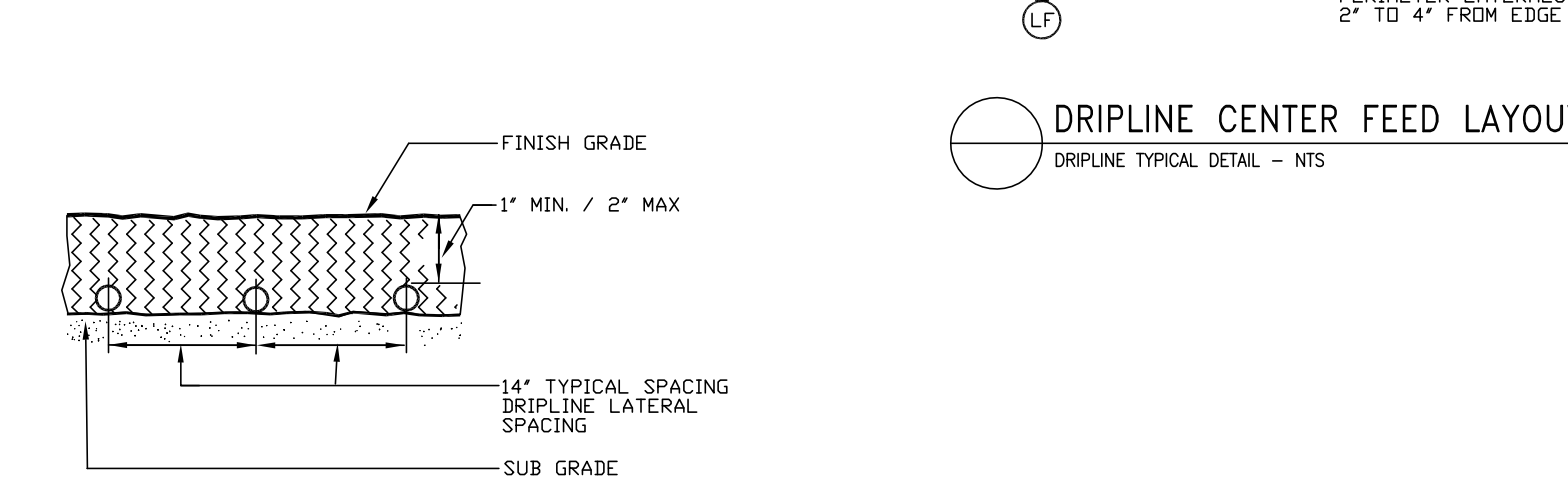
1300A-F BUBBLER

RAINBIRD ADJUSTABLE FLOOD BUBBLER



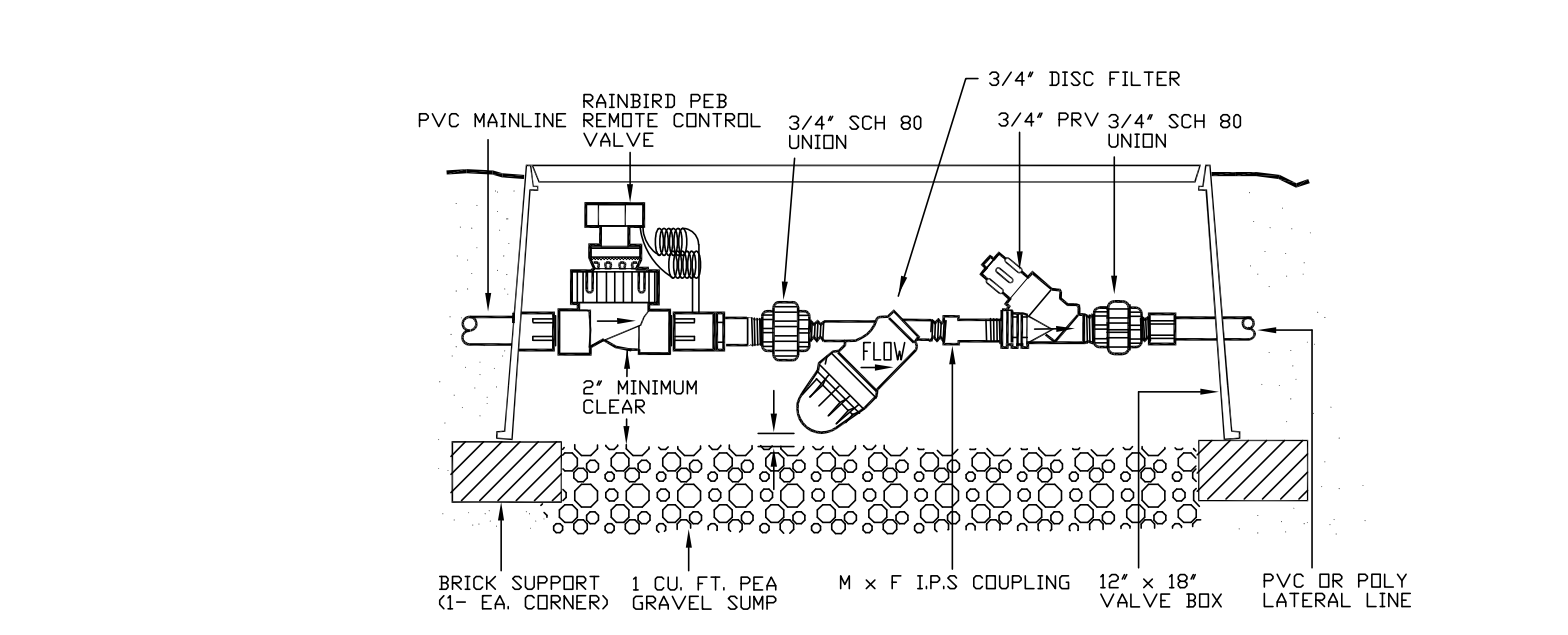
TYPICAL DRIPLINE ISLAND LAYOUT

DRIPLINE TYPICAL DETAIL - NTS



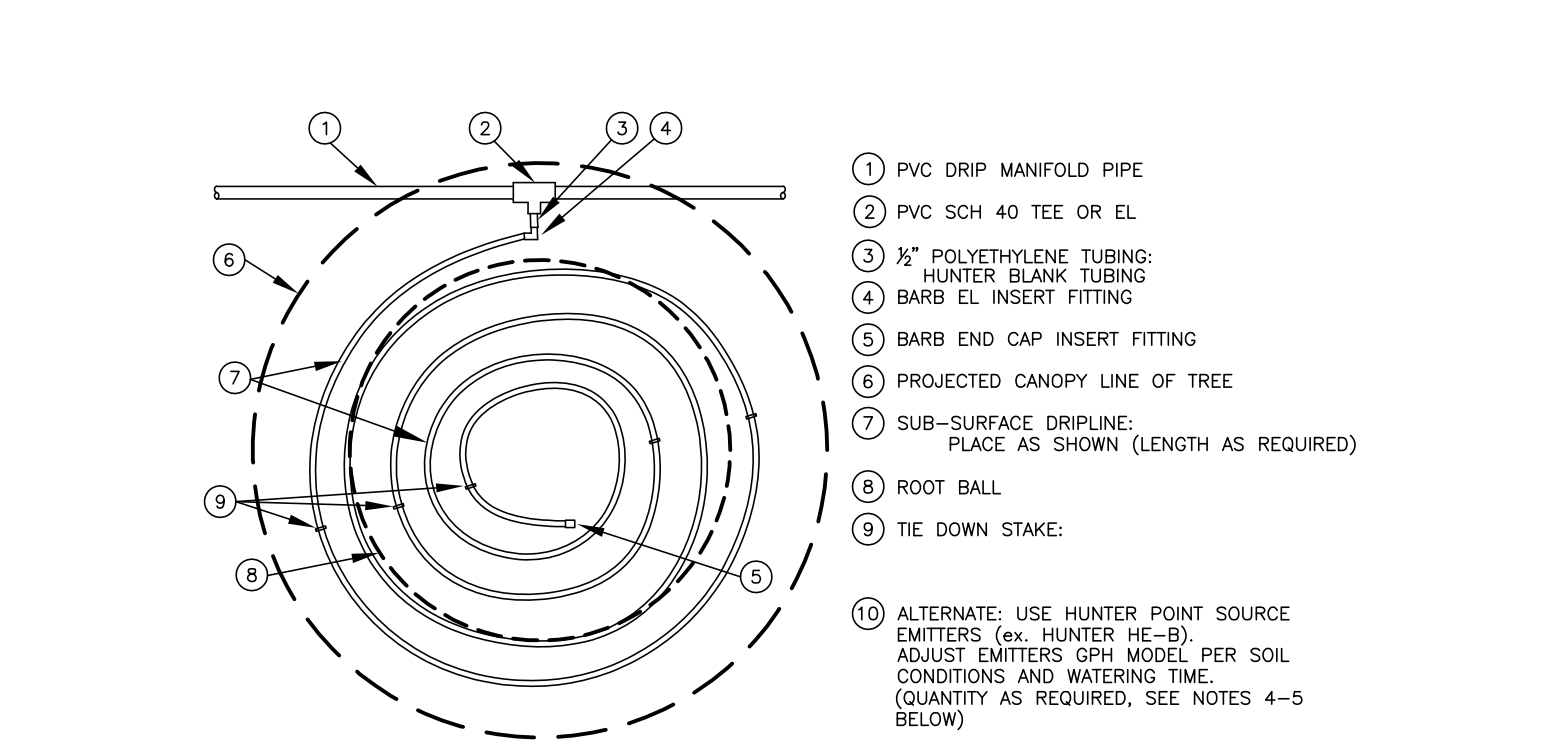
DRIPLINE CENTER FEED LAYOUT

DRIPLINE TYPICAL DETAIL - NTS



DRIPLINE SUBGRADE INSTALLATION

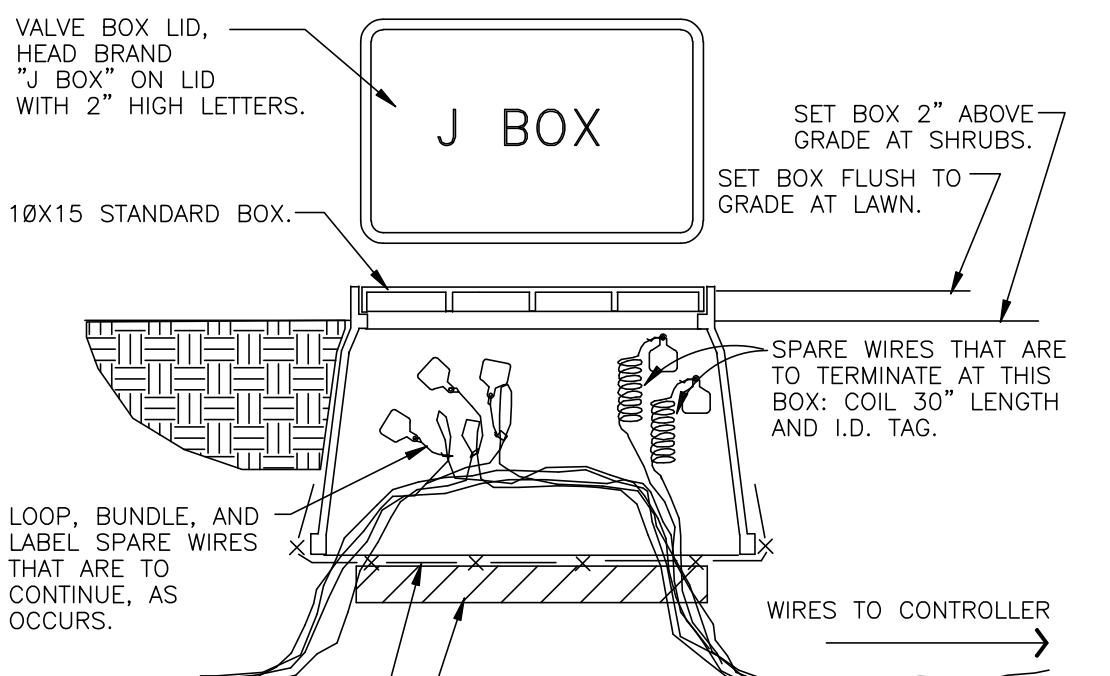
DRIPLINE TYPICAL DETAIL - NTS



- NOTES:
- DISTANCE BETWEEN LATERAL RINGS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, AND TREE CANOPY. SEE DRIPLINE MANUFACTURE'S INSTALLATION GUIDE FOR SUGGESTED SPACINGS.
 - PLACE THE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 - AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.
 - IF USING ALTERNATE EMITTERS, PROVIDE 4 OR MORE - 4 GPH OR 6 GPH EMITTERS FOR TREES 5" CALIPER & LARGER, DEPENDING ON SOIL CONDITIONS AND TREE SIZE.
 - USE ALTERNATE EMITTERS, PROVIDE 4 OR MORE - 4 GPH OR 6 GPH EMITTERS FOR PHOENIX PALMS, DEPENDING ON SOIL CONDITIONS.

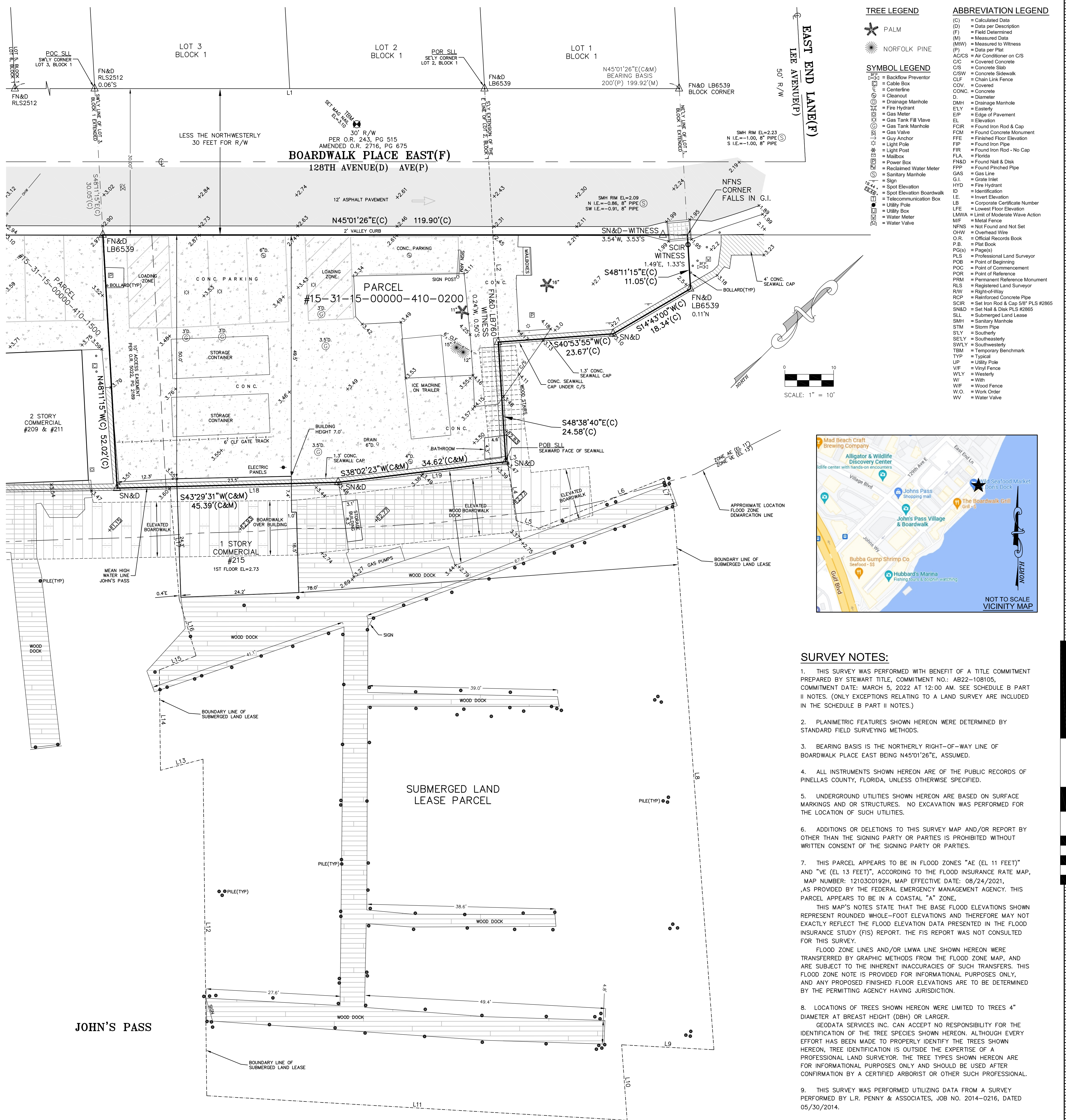
SUB-SURFACE DRIPLINE AROUND TREE

NTS.



WIRE BUNDLE JUNCTION BOX

NTS



TREE LEGEND

- PALM
- NORFOLK PINE

SYMBOL LEGEND

- Backflow Preventor
- Cable Box
- Centerline
- Cleanout
- Drainage Manhole
- Fire Hydrant
- Gas Meter
- Gas Tank Fill Valve
- Gas Valve
- Guy Anchor
- Light Pole
- Light Post
- Mailbox
- Power Box
- Reclaimed Water Meter
- Sanitary Manhole
- Sign
- Spot Elevation
- Spot Elevation Boardwalk
- Telecommunication Box
- Utility Pole
- Utility Box
- Water Meter
- Water Valve

ABBREVIATION LEGEND

- (C) = Calculated Data
- (D) = Data per Description
- (F) = Field Determined
- (M) = Measured Data
- (MW) = Measured to Witness
- (P) = Data per Plat
- AC/CS = Air Conditioner on CIS
- C/C = Covered Concrete
- C/S = Concrete Slab
- C/SW = Concrete Sidewalk
- CLF = Chain Link Fence
- CONC. = Concrete
- CONC. = Concrete
- D. = Diameter
- DMH = Drainage Manhole
- E.L. = Elevation
- EL = Edge of Pavement
- ELV = Elevation
- FOR = Found Iron Rod & Cap
- FCM = Found Concrete Monument
- FFE = Frayed Floor Elevation
- FIP = Found Iron Pipe
- FIR = Found Iron Rod - No Cap
- FLA = Florida
- FN&D = Found Nail & Disk
- FPF = Found Pinned Pipe
- GAS = Gas Line
- G.I. = Gate Inlet
- HYD = Fire Hydrant
- HYD = Identification
- IE = Invert Elevation
- IC = Corporate Certificate Number
- LFE = Lowest Floor Elevation
- LMWA = Limit of Moderate Wave Action
- M/F = Metal Fence
- NFNS = Not Found and Not Set
- OW = Overhead Wire
- O.R. = Official Records Book
- P.B. = Plat Book
- POS = Point of Beginning
- PLS = Professional Land Surveyor
- POB = Point of Beginning
- POR = Point of Reference
- PRM = Permanent Reference Monument
- RLS = Registered Land Surveyor
- R/W = Right-of-Way
- RCP = Reinforced Concrete Pipe
- SCR = Set Iron Rod & Cap 5/8" PLS #2865
- SN&D = Set Nail & Disk PLS #2865
- SLL = Submerged Land Lease
- SMH = Sanitary Manhole
- STM = Storm Pipe
- S/S = Southside
- SELY = Southeastery
- SWLY = Southwestery
- TBM = Temporary Benchmark
- TYP = Typical
- UP = Utility Pole
- V/F = Vinyl Fence
- W. = Width
- W/F = Wood Fence
- W.O. = Work Order
- WV = Water Valve



SURVEY NOTES:

- THIS SURVEY WAS PERFORMED WITH BENEFIT OF A TITLE COMMITMENT PREPARED BY STEWART TITLE, COMMITMENT NO.: AB22-108105, COMMITMENT DATE: MARCH 5, 2022 AT 12:00 AM. SEE SCHEDULE B PART II NOTES. (ONLY EXCEPTIONS RELATING TO A LAND SURVEY ARE INCLUDED IN THE SCHEDULE B PART II NOTES.)
- PLANIMETRIC FEATURES SHOWN HEREON WERE DETERMINED BY STANDARD FIELD SURVEYING METHODS.
- BEARING BASIS IS THE NORTHERLY RIGHT-OF-WAY LINE OF BOARDWALK PLACE EAST BEING N45°01'26"E, ASSUMED.
- ALL INSTRUMENTS SHOWN HEREON ARE OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, UNLESS OTHERWISE SPECIFIED.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SURFACE MARKINGS AND/OR STRUCTURES. NO EXCAVATION WAS PERFORMED FOR THE LOCATION OF SUCH UTILITIES.
- ADDITIONS OR DELETIONS TO THIS SURVEY MAP AND/OR REPORT BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS PARCEL APPEARS TO BE IN FLOOD ZONES "AE (EL 11 FEET)" AND "VE (EL 13 FEET)", ACCORDING TO THE FLOOD INSURANCE RATE MAP, MAP NUMBER: 121030192H, MAP EFFECTIVE DATE: 08/24/2021, AS PROVIDED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THIS PARCEL APPEARS TO BE IN A COASTAL "A" ZONE.
- THIS MAP'S NOTES STATE THAT THE BASE FLOOD ELEVATIONS SHOWN REPRESENT ROUNDED WHOLE-FOOT ELEVATIONS AND THEREFORE MAY NOT EXACTLY REFLECT THE FLOOD ELEVATION DATA PRESENTED IN THE FLOOD INSURANCE STUDY (FIS) REPORT. THE FIS REPORT WAS NOT CONSULTED FOR THIS SURVEY.
- FLOOD ZONE LINES AND/OR LMWA LINE SHOWN HEREON WERE TRANSFERRED BY GRAPHIC METHODS FROM THE FLOOD ZONE MAP, AND ARE SUBJECT TO THE INHERENT INACCURACIES OF SUCH TRANSFERS. THIS FLOOD ZONE NOTE IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, AND ANY PROPOSED FINISHED FLOOR ELEVATIONS ARE TO BE DETERMINED BY THE PERMITTING AGENCY HAVING JURISDICTION.
- LOCATIONS OF TREES SHOWN HEREON WERE LIMITED TO TREES 4" DIAMETER AT BREAST HEIGHT (DBH) OR LARGER.
- GEODATA SERVICES INC. CAN ACCEPT NO RESPONSIBILITY FOR THE IDENTIFICATION OF THE TREE SPECIES SHOWN HEREON. ALTHOUGH EVERY EFFORT HAS BEEN MADE TO PROPERLY IDENTIFY THE TREES SHOWN HEREON, TREE IDENTIFICATION IS OUTSIDE THE EXPERTISE OF A PROFESSIONAL LAND SURVEYOR. THE TREE TYPES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE USED AFTER CONFIRMATION BY A CERTIFIED ARBORIST OR OTHER SUCH PROFESSIONAL.
- THIS SURVEY WAS PERFORMED UTILIZING DATA FROM A SURVEY PERFORMED BY L.R. PENNY & ASSOCIATES, JOB NO. 2014-0216, DATED 05/30/2014.
- SOME UTILITY APPURTENANCES AND GROUND FEATURES, ETCETERA, MAY NOT HAVE BEEN LOCATED DUE TO SITE CONDITIONS SUCH AS STORAGE CONTAINERS BLOCKING ACCESS.
- ELEVATION BASIS: NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) BENCHMARKS UTILIZED: "PBE 147 USE", PID NUMBER AG0767, ELEVATION = 4.51' AS PUBLISHED BY THE NATIONAL GEODETIC SURVEY, AND "BM 15-90-0A-25A", ELEVATION = 4.28, AS PUBLISHED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION.
- THE VERTICAL DATA SHOWN HEREON ARE THE RESULTS OF A CONTROL SURVEY UTILIZING GLOBAL POSITIONING SYSTEM (GPS) METHODS, USING 3 SOKKIA STRATUS RECEIVERS - STATIC L1 GPS SYSTEM, AND ADJUSTED WITH SOKKIA SPECTRUM V4.21 SOFTWARE.

ADDRESS:

215 BOARDWALK PLACE EAST
MADEIRA BEACH, FLORIDA

LEGAL DESCRIPTION:

THAT PORTION OF LAND LYING SOUTHEASTERLY OF LOTS 1, 2 AND 3, BLOCK 1, MITCHELL'S BEACH, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN PLAT BOOK 3, PAGE 54, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA AND LYING BETWEEN THE EXTENDED NORTHEASTERLY LINE OF SAID LOT 1, BLOCK 1 IN A SOUTHEASTERLY DIRECTION AND THE EXTENDED SOUTHWESTERLY LINE OF SAID LOT 3, BLOCK 1 IN A SOUTHEASTERLY DIRECTION, TO THE MEAN HIGH WATER LINE OF JOHN'S PASS.

THE ABOVE DESCRIBED PROPERTY BEING ONE AND THE SAME AS THE PARCEL DESCRIBED AS FOLLOWS:

THAT PORTION OF LAND LYING SOUTHEASTERLY OF LOTS 1, 2 AND 3, BLOCK 1, MITCHELL'S BEACH, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN PLAT BOOK 3, PAGE 54, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA AND LYING BETWEEN NORTHWESTERLY OF THE MEAN HIGH WATER LINE OF SAID LOT 1 AND THE SOUTHWESTERLY LINE OF SAID LOT 3, AS EXTENDED SOUTHEASTERLY TO SAID JOHN'S PASS.

LESS AND EXCEPT THE NORTHWESTERLY 30 FEET THEREOF FOR THE RIGHT OF WAY FOR 128TH AVENUE.

SCHEDULE B PART II NOTES:

- ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES, OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE SURVEY AND INSPECTION OF THE PREMISES. SHOWN HEREON
- GRANT OF EASEMENT IN FAVOR OF CITY OF MADEIRA BEACH BY INSTRUMENT RECORDED 05/13/1980, IN OFFICIAL RECORDS BOOK 5022, PAGE 2189, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA. SHOWN HEREON
- BOARD OF TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND OF THE STATE OF FLORIDA - SOVEREIGNTY SUBMERGED LANDS LEASE NO. 52006273, AS EVIDENCED AND AFFECTED BY ASSIGNMENT AND ASSUMPTION AGREEMENT RECORDED 08/04/2014, IN OFFICIAL RECORDS BOOK 18481, PAGE 2431, AND AS AFFECTED BY SOVEREIGNTY SUBMERGED LANDS LEASE MODIFICATION TO REFLECT CHANGE IN OWNERSHIP RECORDED 12/30/2014, IN OFFICIAL RECORDS BOOK 18632, PAGE 1803, TOGETHER WITH ALL RENEWALS THERETO, THE LAST OF WHICH WAS RECORDED 01/24/2020, IN OFFICIAL RECORDS BOOK 20855, PAGE 2260, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA. SHOWN HEREON
- ANY RIGHTS, EASEMENTS, INTERESTS OR CLAIMS WHICH MAY EXIST BY REASON OF, OR REFLECTED BY THE FOLLOWING FACTS SHOWN ON SURVEY PREPARED BY LAUREN N. PENNY R.L.S. #4931, LR. PENNY AND ASSOCIATES, INC. DATED SEPTEMBER 17, 2008, BEARING JOB NO. 08-0368; (A) SIGN LOCATED ON WESTERLY PORTION OF CAPTION PROPERTY ALONG THE SOUTHWESTERLY LINE, ENCRDACHING OVER A PORTION OF THE 10 FT. CITY OF MADEIRA ACCESS EASEMENT PER OFFICIAL RECORDS BOOK 5022, PAGE 2189, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA. SIGN IS GONE (B) ENCROACHMENT OF WOOD STAIRS TO ELEVATED BOARDWALK OVER A NORTHEASTERLY LINE OF CAPTION PROPERTY ONTO ADJOINING LAND; SHOWN HEREON (C) ENCROACHMENT OF ELEVATED BOARDWALK AND OF WOOD DOCK AND OF ONE STORY WOOD FRAME ON WOOD DOCK OVER SOUTHEASTERLY LINE OF CAPTION PROPERTY ONTO ADJOINING SUBMERGED LAND LEASE PARCEL AS DEPICTED ON SURVEY. SHOWN HEREON

ALTA/NSPS TABLE A NOTES:

ITEM	DESCRIPTION
1-3	SHOWN HEREON
4	4,766 SQUARE FEET OR 0.109 ACRES, MORE OR LESS
7a	SHOWN HEREON
7c	SHOWN HEREON
8	SHOWN HEREON
9	PARCEL HAS 4 REGULAR CLEARLY IDENTIFIABLE PARKING SPACES
11	UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SURFACE MARKINGS AND/OR STRUCTURES. NO EXCAVATION WAS PERFORMED FOR THE LOCATION OF SUCH UTILITIES.
13	SHOWN HEREON, DATA COLLECTED FROM PINELLAS COUNTY PROPERTY APPRAISER WEB SITE ON MAY 3, 2022.
18	SURVEYOR WAS NOT PROVIDED, NOR OBTAINED, ANY DOCUMENTS DISCLOSING APPURTENANT EASEMENTS.

SLL LINE TABLE

LINE	BEARING	LENGTH
L1(CD)	N45°14'19"E	79.96'
L1(C)	N44°22'33"E	79.96'
L1(M)	N45°02'59"E	80.08'
L2(CD)	S47°19'29"E	76.66'
L2(C)	S48°11'13"E	76.65'
L2(M)	S48°09'59"E	76.59'
L3(CD)	N38°20'20"E	0.34'
L3(C)	N37°28'34"E	0.34'
L4(CD)	S52°47'41"E	12.24'
L4(C)	S53°39'27"E	12.24'
L5(CD)	N64°47'50"E	4.87'
L5(C)	N63°56'04"E	4.87'
L6(CD)	N2°45'16"E	27.67'
L6(C)	N2°13'39"E	27.67'
L7(CD)	S65°35'46"E	5.44'
L7(C)	S66°27'32"E	5.44'
L8(CD)	S48°20'13"E	112.46'
L8(C)	S49°11'59"E	112.46'
L9(CD)	S48°57'45"W	18.57'
L9(C)	S48°05'59"W	18.57'
L10(CD)	S48°16'49"E	15.52'
L10(C)	S49°08'35"E	15.52'
L11(CD)	S49°13'30"W	86.38'
L11(C)	S48°21'44"W	86.38'
L12(CD)	N44°44'45"W	69.02'
L12(C)	N45°36'31"W	69.02'
L13(CD)	S31°19'21"W	9.02'
L13(C)	S30°21'35"W	9.02'
L14(CD)	N44°44'45"W	20.60'
L14(C)	N45°36'31"W	20.60'
L15(CD)	N25°01'52"E	8.06'
L15(C)	N24°10'06"E	8.06'
L16(CD)	N60°39'35"W	12.12'
L16(C)	N61°31'21"W	12.12'
L17(CD)	N48°50'58"W	22.27'
L17(C)	N49°42'44"W	23.13'
L18(CD)	N43°36'55"E	34.11'
L18(C)	N43°29'31"E	34.57'
L19(CD)	N38°20'20"E	35.01'
L19(C)	N38°02'23"E	34.56'

CERTIFICATION:

- To: 1. BOARDWALK PLACE PROPERTIES, LLC
2. LAKE MICHIGAN CREDIT UNION
3. STEWART TITLE GUARANTY COMPANY
4. PARAMOUNT TITLE II

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7a, 7c, 8, 9, 11, 13 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 14, 2022.

DATE OF PLAT OR MAP: JUNE 15, 2022.

PRELIMINARY

DENNIS J. EYRE, P.L.S., FLA. REG. NO. 2865
AN UNSIGNED SURVEY DRAWING IS FOR INFORMATIONAL PURPOSES ONLY.

W.O. 6726.02	FIELD DATE: JUNE 14, 2022
DRAWN BY: HW	
CHECKED BY: DJE	
SCALE: 1"=10'	
FIELD BOOK / PAGE(S): 2-22/1-2	
SHEET 1 OF 1	

GEODATA SERVICES INC.
1166 KAPP DRIVE
CLEARWATER, FL 33765
PHONE: (727) 447-1763

LOCAL GOVERNMENT VARIANCES, SPECIAL EXCEPTION USES
AND APPEALS OF ADMINISTRATIVE DECISIONS
CITY OF MADEIRA BEACH, FLORIDA
Application No. 2023-02

William Karns Enterprises
for the property located at
215 Boardwalk Place E.
Madeira Beach, Florida 33708,

Applicant.

_____ /

ORDER GRANTING VARIANCE

Variance to reduce the 15'-0" Design Flood Elevation (DFE) to 12'-0" DFE.

Special Code Provisions: Sec. 94-75. - Considerations for issuance of variances., Sec. 94-76. - Conditions for issuance of variances. The property address is 215 Boardwalk Place East, Madeira Beach, FL 33708, and is identified as:

PARCEL IDENTIFICATION NUMBER: 15-31-15-00000-410-0200

Special Magistrate, Bart R. Valdes, heard testimony and reviewed all evidence received at the Special Magistrate hearing held on July 31, 2023, and, based on the evidence, the testimony of Marcy Forbets, Community Development Engineer, Andrew Morris, Long Range Planner, Scott Brainard, and Ed Lang, Architect, as well as the favorable public comment from Guitano Crittili and Stephanie Berry, and recommendations of City Staff, enters the following findings of fact, conclusion of law and order.

FINDINGS OF FACT

1. The application of William Karns Enterprises ("the applicant") presents the issue involving a variance from the requirements of the above stated Madeira Beach Code of Ordinances, requesting a variance to reduce the 15'-0" Design Flood Elevation (DFE) to 12'-0" DFE.
2. The applicant needs a variance to allow for the construction of a commercial structure to be built that would have level access from the structure to the Johns Pass Boardwalk in order to comply with the requirements of the Code of Ordinances of the City of Madeira Beach (the "Code").
3. Special conditions and circumstances exist, as stated on the record, and in the Staff report to justify the variance.

4. The building will be constructed in accordance with current Florida Building Codes (FBC), meeting all requirements for structures located in a Coastal A zone, including but not limited to deep foundation installation, stringent connection points and fasteners and structural design such that extreme lateral loads are considered. As such there is limited danger associated with loose materials or building debris.

5. The deep foundation design considers scouring caused from erosion around pile foundations during storm events and as such is inherent to the design. In addition, all components constructed below the DFE will be dry floodproofed and a certification as to that fact will be provided by the design engineer. Therefore, there is no anticipated increase in danger to the building, occupants, or surrounding structures due to flooding or erosion.

6. The building below DFE will be dry floodproofed and any non-structural components will be designed to either resist shifting and floatation or to be removed from the site during an approaching storm. The anticipated design and construction techniques will be such that the building will not negatively impact current or future owners.

7. The proposed restaurant will improve upon what is currently located on this parcel and provide another route for ADA accessibility via the restaurant elevator. Promoting business redevelopment in this area while maintaining the unique characteristic of Johns Pass Village is critical given all the businesses require access to the boardwalk as a fixed point providing pedestrian traffic to their businesses.

8. The location of the site is unique and offers an opportunity to provide new construction along the boardwalk and improve on what is currently constructed on the parcel. Another location would not provide the same opportunity as the one here.

9. The proposed development is compatible with both current uses and anticipated future use of all businesses along the boardwalk.

10. Madeira Beach Comprehensive Plan Policy 4.1.9.6 and Policy 4.1.9.8 reference the importance of John's Pass Village for tourism and commerce and that redevelopment needs to fit within the overall theme of the area. The proposed development would align with the redevelopment policies for John's Pass Village in the Madeira Beach Comprehensive Plan and fit within the established theme of the area. The proposed development will be more resilient compared to the existing structure on the property.

11. The structure will be accessed in the same manner as other businesses along the corridor via the one-way Boardwalk Place East.

12. The property is in the AE-11, Coastal A high hazard area and has been mapped as such to take into account expected heights, velocity, duration, etc., associated with storm events. This structure will be built to higher standards than the surrounding buildings, which are much older and were constructed under different building requirements. All necessary studies and reports utilized in the final design of the building will be reviewed by City Staff to ensure the impacts from all storm effects are considered.

13. There is no additional anticipated financial hardship regarding government services associated with the proposed restaurant given the current parcel usage and in consideration that all utilities will be replaced with current, code compliant construction techniques.

14. The applicant has submitted sufficient information showing the unique challenges of the site as related to the necessity of accessing the fixed elevation of the boardwalk as compared to the elevation of the “business” level.

15. Granting of this variance will not result in any negative impact to the property or adjacent properties and will instead help to further options for more resilient construction in John’s Pass Village while maintaining the unique boardwalk, pedestrian friendly build out that currently exists. The designer has spent considerable time reviewing options for meeting FEMA criteria while maintaining access to the boardwalk and has determined this is the option of least variance that will still allow boardwalk access.

16. The applicant is aware of and has acknowledged intent to comply with all recording requirements.

17. The applicant is not requesting to build below the required BFE but is instead requesting relief from the additional requirement of the 4-foot freeboard which is unique to the Madeira Beach LDR. The FBC requires 1-foot of freeboard which the applicant will adhere to.

CONCLUSION OF LAW

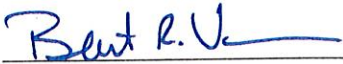
1. Section 2-507 of the Madeira Beach Code of Ordinances authorizes variances from the terms of the city land development regulations as not being contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of the land development regulations will result in unnecessary and undue hardship.

2. The applicant has the burden to establish the requirements for the variance. Here, the applicant meets the criteria for the variance as set forth in Section 2-507 of the Madeira Beach Code of Ordinances.

ORDER

It is ADJUDGED that the application is GRANTED, allowing a variance from the zoning requirements of the Madeira Beach Land Development Regulations, to reduce the 15’-0” Design Flood Elevation (DFE) to 12’-0” DFE.

DONE AND ORDERED on August 7, 2023.


 Bart R. Valdes
 Special Magistrate

Copies furnished to:

Tom Trask, City Attorney

Clara VanBlargan, City of Madeira Beach

William Karns Enterprises
215 Boardwalk Place E.
Madeira Beach, Florida 33708

William Karns Enterprises
101 150th Ave.
Madeira Beach, Florida 33708

JPV HOTEL PROPERTY, LLC

101 150TH AVENUE
MADEIRA BEACH, FL 33708
(727) 367-3000

PARKING AGREEMENT

PARKING AGREEMENT dated this 13th day of November, 2023, by and between JPV HOTEL PROPERTY, LLC, a Florida limited liability company (“JPVHP”), and BOARDWALK PLACE PROPERTIES, LLC, a Florida limited liability company (“BPP”).

RECITALS

A. BPP is the owner of the real property located at 215 Boardwalk Place East, Madeira Beach, FL 33708 (the “BPP Property”), and it intends to construct a new building (the “New Building”) on the BPP Property.

B. JPVHP is the owner of real property on the north side of and across Boardwalk Place East from the BPP Property which is used as a public parking lot (the “Parking Lot”).

IN CONSIERATION of the mutual covenants contained herein, the parties agree as follows:

1. Upon completion of construction of the New Building, JPVHP shall designate Fourteen (14) parking spaces within the Parking Lot for the use of the BPP, its successors and assigns, and its and their members, officers, employees, tenants, subtenants, contractors, agents, representatives, and invitees (the “BPP Parties”), in conjunction with the use of the BPP Property. For the purposes of this Agreement, the issuance of a Certificate of Occupancy by the City of Madeira Beach shall constitute completion of construction. The location of the actual spaces designated shall be mutually agreed by the parties.

2. The use of the designated parking spaces shall be under and in accordance with the same rules and regulations as for the use of the rest of parking spaces in the Parking Lot, including JPVHP’s right to charge a fee for the use of the designated spaces to the persons using the spaces.

3. JPVHP shall be responsible for the maintenance and repair of the designated parking spaces and shall maintain such insurance covering the designated parking spaces with limits as it may be determined from time to time in its sole discretion. As long as BPP shall use the designated parking spaces, BPP shall at its expense maintain insurance covering property damage and personal injury within the designated parking spaces with limits of no less than \$1,000,000 per person and \$2,000,000 per occurrence, and such insurance shall name JPVHP as an additional insured party with respect to the designated parking spaces.

JPV HOTEL PROPERTY, LLC

By:


William Karns, Manager

BOARDWALK PLACE PROPERTIES, LLC

By:


William Karns, Manager

NOTICE OF NEIGHBORHOOD INFORMATION MEETING

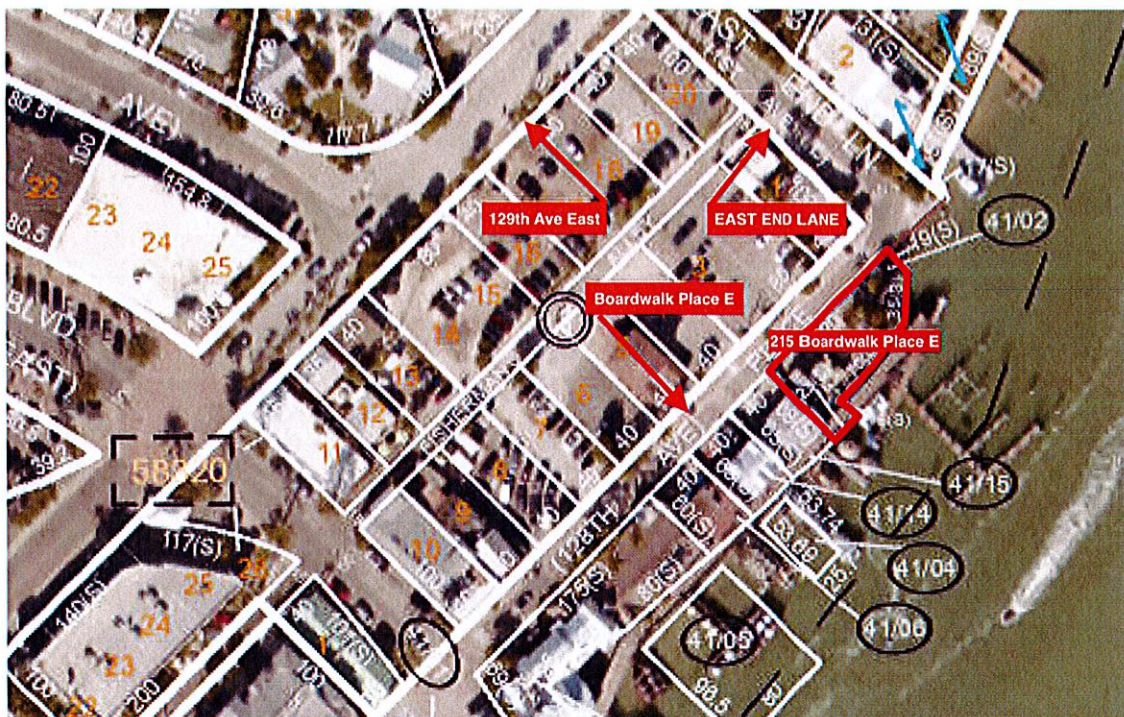
Item 5A.

WHAT: A neighborhood meeting will be held regarding the Site Plan Application submitted by Boardwalk Place Properties LLC to The City of Madeira Beach.

WHEN/WHERE: **Thursday, February 1st, 2024**
6:00 pm EST
Madeira Beach City Centre Room
300 Municipal Drive
Madeira Beach, FL 33708

Boardwalk Properties LLC has filed an application for site plan approval with The City of Madeira Beach relating to the property located at 215 Boardwalk Place East, Madeira Beach, FL 33708. The property is in Johns Pass Village along the southeast side of Boardwalk Place East. At the bottom of this notice is a sketch of the property that is included in the application.

There will be a neighborhood information meeting on February 1st, 2024 for the purpose of providing information about and explaining the proposed site plan application. Again, the meeting will be held at Madeira Beach City Hall City Centre Room. The plans submitted will be provided to the attendees for review as well as a time for question/answers.



NGUYEN, SON
HUYNH, HONG
12801 EAST END LN
MADEIRA BEACH, FL 33708-2785

FL INT IMP FUND TRE
CRITELLI FAMILY LIVING TRUST
8162 TERRACE GARDEN DR N UNIT 102
ST PETERSBURG, FL 33709-1055

FL INT IMP FUND TRE
C/O GARDNER PROPERTIES INC
555 SE ST LUCIE BLVD
STUART, FL 34996-1320

N J E PROPERTIES INC
C/O HAMUY
PO BOX 14433
TALLAHASSEE, FL 32317-4433

N J E PROPERTIES INC
C/O HAMUY
PO BOX 14433
TALLAHASSEE, FL 32317-4433

PERSHING ENTERPRISES LLC
9226 143RD LN
SEMINOLE, FL 33776-1959

CHOVINARD, BRENDA M
303 129TH AVE E
MADEIRA BEACH, FL 33708-2613

JPV HOTEL PROPERTY LLC
101 150TH AVE
ST PETERSBURG, FL 33708-2005

JPV HOTEL PROPERTY LLC
101 150TH AVE
ST PETERSBURG, FL 33708-2005

JPV HOTEL PROPERTY LLC
101 150TH AVE
ST PETERSBURG, FL 33708-2005

JPV HOTEL PROPERTY LLC
101 150TH AVE
ST PETERSBURG, FL 33708-2005

MAYNARD LEE PROPERTIES LLC
413 CROSSWINDS DR
PALM HARBOR, FL 34683-1306

JPV HOTEL PROPERTY LLC
101 150TH AVE
ST PETERSBURG, FL 33708-2005

JPV HOTEL PROPERTY LLC
101 150TH AVE
ST PETERSBURG, FL 33708-2005

PAIRODOCS LLC 310 SERIES
5837 TEAL LN
LONG GROVE, IL 60047-5067

JPV HOTEL PROPERTY LLC
101 150TH AVE
ST PETERSBURG, FL 33708-2005

FISHRUNNER LLC
14041 E PARSLEY DR
MADEIRA BEACH, FL 33708-2301

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MADEIRA BEACH, FL 33708-2654

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CHOVINARD, BRENDA M
303 129TH AVE E
MADEIRA BEACH, FL 33708-2613

CHOVINARD, BRENDA M
303 129TH AVE E
MADEIRA BEACH, FL 33708-2613

JPV RESTAURANT PROPERTY LLC
101 150TH AVE
ST PETERSBURG, FL 33708-2005



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City of Madeira Beach
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Madeira Beach, FL 33708

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NEIGHBORHOOD INFORMATION MEETING

BOARDWALK PLACE PROPERTIES, LLC

DATE OF MEETING: Thursday, February 1, 2024
TIME: Commencing at 6:00 p.m. -6:37 p.m.
PLACE: Madeira Beach City Centre Room
300 Municipal Drive
Madeira Beach, Florida 33708

Reported by:

Kelley N. Black, RPR, FPR-C, CCR #3441
Maxa Enterprises, Inc.
28050 US Highway 19 N, Suite 105
Clearwater, Florida 33761
(727) 441-2404

1 APPEARANCES :

2 C. SCOTT BRAINARD, ESQUIRE
 3 William Karns Enterprises, Inc.
 4 101 150th Avenue
 5 Madeira Beach, Florida 33708
 6 (727) 360-2574
 7 brainardlaw76@gmail.com

Attorney for Petitioner

8 ALSO PRESENT: Dennis Lang, Architect
 9 Laura Smith, Videographer

10 William Karns
 11 Paige Karns
 12 Roy Kerr
 13 Sue Kerr
 14 Gaetano Critelli
 15 Grace Critelli
 16 Stephanie Berry

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1 P R O C E E D I N G S

2 MR. BRAINARD: My name is Scott Brainard.
3 I'm with William Karns Enterprises. Boardwalk
4 Place Properties, LLC is the owner of this
5 property, and is the host of the meeting tonight.

6 And the purpose of the meeting is to provide
7 information to our community about the proposed
8 site plan that is going to be considered by the
9 City of Madeira Beach.

10 We have a court reporter who is going to be
11 transcribing everything that happens, and we've
12 got a videographer who is going to be videoing the
13 meeting.

14 So what will happen is we'll have a
15 presentation. Dennis Lang is one of our
16 architects. He's going to be providing a
17 presentation of the information in the site plan,
18 and then we'll open it up to questions so anybody
19 who has any question about anything related to the
20 site plan, you're welcome to ask and we'll try our
21 best to answer -- answer those questions.

22 So I'll go ahead and turn it over to Dennis
23 and let him do a presentation.

24 MR. LANG: Good evening, everybody. Thanks
25 for turning out tonight.

1 THE VIDEOGRAPHER: Dennis -- Dennis, I'm
2 sorry, can you give me one moment for a technical
3 thing?

4 MR. LANG: Sure.

5 THE VIDEOGRAPHER: Going off the record.

6 (There was a brief recess to adjust the time
7 and date stamp on the camera.)

8 MR. LANG: So good evening, everybody.
9 Thanks everybody for being here. Thank you for
10 dealing with our technical glitch there.

11 We're very excited about this project that
12 we're proposing. It's at the far east end of the
13 boardwalk. It's going to be a great new open-air
14 establishment. Primarily it's being established
15 as an A2 occupancy, which is a bar restaurant, for
16 regular understanding of it.

17 In our program plans right now, you only see
18 bars. We're going to be working with a neighbor
19 for food services and we're going to be
20 contracting with them. But that's not a part of
21 our direct programming.

22 But we have overcome a lot of the obstacles
23 that would be inherent in operating a business of
24 that type in the form of occupancy for our site
25 and access for the public. One of the biggest

1 things that we worked with the city already to
2 overcome was maintaining our coherent access with
3 the boardwalk to pedestrians at the same level
4 without needing to go up additional ramps or extra
5 stairs to get into the building.

6 For the purposes of what else we see, we've
7 provided for new stairs that give us fire code
8 compliance, we've maintained these stairs that are
9 already existing at the boardwalk so we're not
10 interfering with the way that people are used to
11 establish an experience, that big component of the
12 water side and waterfront for Madeira.

13 And then we also have two additional floors
14 that are above the boardwalk level, one with
15 additional programming for another air, open-air
16 bar, and then an open-air roof deck that people
17 can get up to and actually look around and
18 experience the waterfront and all of the Boca
19 Ciega Bay view front, which otherwise you really
20 can't get to, you know, from the boardwalk, other
21 than at the level of the water side.

22 For what we're talking about in terms of
23 experience for people while we're under
24 construction, which I've understood to be some of
25 the concerns that we have, everything is going to

1 be based on our site. You know, we're going to
2 still be basing all the construction from the site
3 base perspective. And understand that we've only
4 got the one access roadway out front, if there's
5 ever a time we have to mitigate traffic access,
6 it's never going to be for more than a window of
7 time while we're performing work out of the
8 right-of-way and it's going to be coordinated with
9 the city and Department of Transportation. So
10 it's nothing that we would ever be blocking or
11 consuming roadway access and blocking people from
12 for a long duration of time. But that's, you
13 know, something we work out during the permitting
14 process while we submit the plans for construction
15 and how it's going to be phased.

16 Really, for what else we have to talk about,
17 it's -- it's a building. I mean, you know, it's
18 nothing that we're doing that's a novel, crazy
19 idea here. It's just another experience on the
20 boardwalk that's the same as everything else
21 that's going on. I think it's going to be a
22 valued contribution in time as people realize what
23 we've done for the right reasons. And we're
24 excited about bringing it to this community.

25 At this point I really would like to just say

1 are there questions? Because that's the easiest
2 way for me to disavow anybody's concerns is to
3 direct -- me directly answer them for you.

4 MR. KERR: Can you describe the --

5 THE REPORTER: I need your name before you
6 speak, every time.

7 MR. KERR: Right. Ray Kerr, K-e-r-r.

8 Can you describe the actual construction?
9 You know, prior to the meeting we started to look
10 and just kind of go over --

11 MR. LANG: What it is?

12 MR. KERR: -- what it is. I mean, we were
13 told the columns, you know, nothing below the
14 boardwalk besides the supporting columns
15 basically.

16 MR. LANG: The elevator and the stairs. And
17 we're going to have a dumpster enclosure down
18 there, but --

19 MR. KERR: Well, can you just kind of go over
20 the description for the record of what you're --
21 what you're building?

22 MR. LANG: Absolutely. So what we're
23 constructing out there -- right, sure.

24 MR. KERR: And slow down.

25 MR. LANG: Oh, okay. Again, before the

1 meeting started, I told you guys, I'm Italian and
2 my mom's from New York, so speed and -- speed and
3 loud are kind of my two gifts in life.

4 For what we're building, we're building a
5 FEMA-compliant Type 2B building. Which, for
6 everybody here in the room, what that means is
7 we're using steel and concrete, we're going to
8 in-fill with some interior wood frame walls. But
9 everything below the FEMA control line, which is
10 our AE-11 zone, plus our footed free-board which
11 we worked with the city to keep, is going to be
12 like what you said, column construction. It's
13 going to open for water flow below the grade line,
14 so that if ever a storm were to come in here,
15 there's nothing substantial construction below
16 that line that would be of danger to us breaking
17 away or to the community from our building
18 breaking away and washing into you. That's
19 standard building code requirements.

20 For our building specifically what we've done
21 is, because we're working towards being an
22 open-air structure, we have very limited closed
23 space on any of our floors, which is actually
24 really beneficial for, again, the reasons of the
25 neighborhood if -- when we work with building code

1 at this point, one of our biggest concerns is
2 impact protection and the way the materials
3 subjected to wind behave in extreme events, and
4 specifically making sure they adhere and stay on
5 the building where they're supposed to be and that
6 they're not leaving our building and flying into
7 other people's properties for damage reasons.

8 Our building will 100 percent be doing all of
9 those things to the most stringent standards
10 available that's required. We're doing all of
11 that. And it's going to be one of the safest
12 structures on the boardwalk when we're done
13 because of those reasons. So if ever an event
14 were to occur, we're going to be that building
15 that everybody is, unfortunately, taking pictures
16 of saying, look at what didn't happen to this
17 building that happened to everybody else.

18 So when we think about what we're going to
19 see in our building, it's going to look like a
20 regular construction building because we have very
21 thin floor plates, we're doing post-tension
22 construction at the ground, that first layer. So
23 what we're going to see from the ground level
24 experience for everybody walking into the building
25 or under it is concrete construction all the way

1 up. And when you look up, you're going to see a
2 solid poured concrete deck. And it's 18 inches
3 thick. It's not going anywhere.

4 We've got foundations that are going down
5 under the building, you know, working around all
6 the existing infrastructure of the city and
7 on-site that we possess as well, and it's going to
8 be driven down deep so this building ain't going
9 to go anywhere. So if your concern is is this
10 building going to move, shake, rattle or roll, the
11 answer is no, no, no and no. It's going to stay
12 put the way it's supposed to.

13 MR. KERR: Ray Kerr --

14 MR. LANG: Ray, does that answer your
15 additional questions?

16 MR. KERR: Yeah, it does. I'm trying to give
17 you an opportunity to go over some of the
18 questions we asked earlier and --

19 MR. LANG: In terms of like my elevator and
20 my stairs and stuff like that?

21 MR. KERR: The elevator, the fuel tanks that
22 will -- what's there, the life -- expected life
23 span, if they ever need to be serviced or that --

24 MR. LANG: So --

25 MR. KERR: -- the accessibility of being able

1 to do that.

2 MR. LANG: So the way that the building is
3 designed is to not interfere with any of that
4 existing infrastructure. So that's one of the big
5 parts of what we've been working around as a
6 design team to overcome is where those items
7 reside in the ground. You know, our building
8 official actually did the initial inspections for
9 when those tanks were redone with -- in the most
10 recent iteration. He did the inspections. We
11 have good, you know, photography and documentation
12 for what we found at that time there. You know,
13 we've done some excavation out there since we've
14 started this project to find and identify any
15 additional items that might be in the way. We've
16 found some items that are of a little bit of
17 concern to us, but those are items that during the
18 phase of construction, as soon as we start, that's
19 the first thing we have to do is crack open the
20 site, excavate out the soils and get a good look
21 at everything that's down below grade for the
22 exact reasons that you've just identified, to
23 identify the longevity of the materials as they
24 reside in their current form, and as well as to
25 make sure we know where they are, so that in the

1 future if there are any questions about where do
2 things reside, can they be serviced in the way
3 that they're required to by law. They absolutely
4 will be accounted for.

5 Those things are not going to be overlooked.
6 We are absolutely aware of the presence of those
7 items and we plan to maintain them in a good
8 working order for our benefit as well as for the
9 communities in a safe way.

10 Okay, in terms of the other items that we're
11 introducing at ground level, the only things that
12 come down from the building in exception of our
13 columns are the stairs and the elevator for access
14 reasons. And those are allowed by code. They're
15 not air-conditioned. You know, those aren't even
16 vestibule configurations by FEMA definitions. So
17 we're not putting anything downstairs that's not
18 supposed to be there.

19 It is -- and also, to the point of safety, I
20 mean, the whole building is sprinkled, you know,
21 and it's got a fire compliant sprinkle design. We
22 haven't designed and not aware of any of these
23 items. So all of the things that you're asking me
24 about, like can they be serviced in the future?
25 The answer for me at this level is yes.

1 You know, obviously during the phase of
2 construction if something comes up that would
3 preclude our opportunity to still have that
4 opportunity in the future to make sure we can't
5 perform as required, we're going to make decisions
6 to modify our decisions we've already made. It's
7 not going to be a "too bad, so sad," "we're just
8 going to cover this up and hope for the best."
9 That's not for anybody's best interest.

10 MR. KERR: Ray Kerr --

11 THE REPORTER: Mr. Kerr, I know you now.

12 MR. KERR: Okay. As far as the architecture,
13 it was explained that the first level will be open
14 air. The second level --

15 MR. LANG: Same.

16 MR. KERR: Same? But I guess with railings,
17 of course.

18 MR. LANG: Yeah.

19 MR. KERR: Will it have a wooden feel and
20 look, or is it going to be concrete?

21 What are finishes going to look like? Is it
22 going to blend in with the existing boardwalk?

23 MR. LANG: So the way that we propose that in
24 the typology is like coastal beach. So it is
25 going to have inherent -- it's going to express

1 the material of its construction, which is
2 concrete, wood and steel. You're going to see a
3 lot of those materials because it is open air and
4 we're not trying to wrap everything up for just
5 the point of obscuring it. However, we are going
6 to be finishing it in a way that's appropriate for
7 the boardwalk. It's not going to stand out and
8 project itself as something that doesn't belong.

9 So if you're asking how does our finish
10 schedule work, we're going to be wrapping the
11 skin, and we have wood that's going to be coming
12 in as finished materials. You know, it's not just
13 going to be a hard stuccoed finish and concrete
14 all over the place.

15 MR. KERR: Are the hours of operation, have
16 you gotten to that detail?

17 MR. LANG: Not with me, sir. That's not
18 something at the design level that I really get
19 into the minutia of. That really boils down to
20 the hours of operation that the boardwalk will
21 afford them for compliance reasons.

22 MR. KERR: I look forward to seeing more of
23 the plans.

24 MR. LANG: Yeah. Absolutely. I mean, I'm
25 certainly -- I look forward to you guys walking up

1 here and asking me some more direct questions. If
2 we need to flip through some more of the pages so
3 that we can get a better sense of what's going
4 on -- there's nothing that we're trying to hide.
5 I think that what we're doing is a really solid
6 project. I'm happy to stand behind it.

7 MR. CRITELLI: I think what --

8 THE REPORTER: I need your name, please.

9 MR. LANG: Yeah, you can't just talk at
10 random. And sir, you were trying to ask me
11 something.

12 MR. CRITELLI: Gae Critelli.

13 THE REPORTER: I'm sorry?

14 MR. CRITELLI: Gae Critelli, C-r-i-t-e-l-l-i.

15 I think what you're doing is going to look
16 great for the rest of business around. I mean, we
17 have -- we've been looking at this property for
18 the last 40 years. Somebody was going to build it
19 before when they extended the boardwalk, and it
20 never happened. So if this happens, it would be a
21 big plaza that would bring more people on the one
22 end of the boardwalk. Right now we don't have it.

23 And it's going to look nice, it's going to
24 look attractive because it's brand-new. And the
25 best thing that could happen to have something on

1 the end of the boardwalk because people, when they
2 get to a certain point, there's nothing there and
3 then they hardly even come back there, they just
4 go back on the east end and then on the west end,
5 you see.

6 And I think it's going to be a great asset
7 for the boardwalk and for the people, like Kurt is
8 there, myself, we have a business there, we have a
9 building there. We benefit for these, ourself
10 too. And I would like to see that done tomorrow.

11 I have one more question for you.

12 MR. LANG: Please.

13 MR. CRITELLI: I know many years ago, 1979,
14 1980, when we built our building and we still --
15 the marina was driving the pilings down, we lost
16 seven pilings. And you people weren't around, but
17 I know. I was there. We lost seven piles.

18 So if they ever drill, make sure you do the
19 concrete piling or cement piling.

20 MR. LANG: Our design presently shows helical
21 piles underneath pile caps.

22 MR. CRITELLI: Okay.

23 MR. KERR: So but the pile cap sits on what's
24 called a helical driven pile, so it's basically
25 shaped like a big screw that we screw down to get

1 the friction resistance that's required. Before
2 we put the pile cap on, we do tests on each of the
3 helical piles to make sure that they have the
4 appropriate static friction and that we haven't
5 lost them or anything like that.

6 But again, there are real things that happen
7 during construction that we can't account for on
8 paper. But construction takes place and so long
9 as we come back in line with what the plans call
10 for, we have safe construction, that's what we
11 need. You know, there's always going to be
12 something that you have to answer when it comes
13 up.

14 MR. CRITELLI: Thank you.

15 MR. LANG: Of course.

16 MR. BRAINARD: Can I make a suggestion? We
17 obviously don't have a lot of people, but we have
18 some people who would like to ask specific
19 questions about things on the paper. If we want
20 to move up here, it may make it a little bit more
21 difficult for you, but if you want to move up here
22 and actually ask specific things about something
23 that's on the plan, why don't we do that?

24 MR. KARNS: Just gather around the table?

25 MR. BRAINARD: Yeah.

1 MS. CRITELLI: Let's set up and we can do
2 that.

3 MS. BERRY: Well, I have a question.

4 MR. LANG: My pleasure. Please.

5 THE REPORTER: What's your name?

6 MS. BERRY: Stephanie Berry.

7 What's the capacity on the second and third
8 floor?

9 MR. LANG: Each floor?

10 MS. BERRY: Yeah, just curiosity how much
11 more traffic it could handle. Just because
12 it's -- the pass is, you know, growing every year
13 and I feel like we need more there. So it's
14 exciting to see that we could house more and host
15 more.

16 MR. LANG: Okay, that's a quick, good
17 question. And I know I've got it here in my
18 plans, you've got to just give me a second to find
19 the right place where I put it.

20 MR. BRAINARD: The plan shows 235 seats.

21 MS. BERRY: Oh, awesome.

22 MR. LANG: Yeah, but I was going to say, but
23 in terms of like each floor, I was going to say --

24 MS. BERRY: Yeah, total.

25 MR. LANG: -- I knew we were at like 240-ish,

1 so it's like over 100 people per plate.

2 THE VIDEOGRAPHER: One at a time for the
3 court reporter.

4 MR. BRAINARD: I'm sorry.

5 MR. LANG: Yeah, so we're easily over 100
6 patrons per floor. I think it's closer to 120, to
7 be honest with you, okay?

8 But again, it's all completely designed by
9 fire code. I mean, we're an A -- we're a Type 2
10 building, which is a high fire-rated safety, you
11 know, it's noncombustible construction material,
12 and the building is fully sprinkled. You know,
13 which again, versus some of the other structures
14 on the boardwalk is an upgrade, you know, in terms
15 of life safety components that we're affording.

16 MS. BERRY: Yeah, because -- Stephanie
17 Berry --

18 THE REPORTER: I know you now.

19 MS. BERRY: Okay. So once you reach past
20 Sculley's or Caddy's, there's just no seating
21 anywhere down that direction. So I think to Gae's
22 point, that will be fantastic for that end of the
23 boardwalk.

24 MR. LANG: Oh, absolutely.

25 MS. BERRY: You know, all the businesses down

1 there cannot hold really very many people, so that
2 would be fantastic.

3 MR. LANG: So and this will really function
4 as a great, you know, public anchor of
5 establishments --

6 MS. BERRY: Sure.

7 MR. LANG: -- to bring patrons all the way
8 down to the east side of the boardwalk.

9 And it's a unique experience. You know,
10 we're going to have three floors of opportunity
11 for people to look out and see the water side, and
12 it's a 360-degree view at that point from where
13 we're at, because we don't have any other
14 structures at our height.

15 So if anybody would want to come up here and
16 start flipping through some sheets, I can step you
17 through some.

18 THE REPORTER: I think I do.

19 MR. BRAINARD: Let's hold on for just a
20 second because she's going to have to move up to
21 make sure she catches whatever questions and
22 comments are made.

23 MR. LANG: Okay.

24 (There was a brief recess to rearrange the
25 tables and chairs.)

1 MS. CITRELLI: Grace Citrelli,
2 C-i-t-r-e-l-l-i.

3 So if and when this gets approved, what is
4 your timeline of having it completed?

5 MR. LANG: In terms of construction on-site?

6 MS. CITRELLI: Uh-huh.

7 MR. LANG: I think that we're looking at less
8 than 18 months in totality from start to finish
9 once we break ground. Realistically I'm sure that
10 they're going to want to expedite that process as
11 much as possible.

12 You know, our construction isn't complicated,
13 so really the biggest effort that we have to make
14 is that initial point that Ray was asking me about
15 a moment ago in regards to the underground
16 infrastructure and where it truly resides.

17 You know, we've done ground-penetrating radar
18 out there, we've done a lot of exploration to see
19 what we can at this point. But in the absence of
20 a permit to start, for us to remove the concrete
21 on-site and excavate the soils, we can't finitely
22 answer those questions to 100 percent confidence.
23 And we know that we're going to have a moment once
24 we crack the site open where we have to come back
25 and reassess our plans to ensure that we're at

1 full understanding that we're proceeding in the
2 best way possible. And that is the window of time
3 of discretion when I think truly we have 12 months
4 of construction or less because of the type of
5 construction we are.

6 But because of the questions that could
7 arise, our time frame may slide a little bit. But
8 we're absolutely going to be working to proceed as
9 fast as possible.

10 MS. CRITELLI: And tell us a little bit about
11 how the restaurant is going to operate.

12 MR. LANG: Certainly. So the restaurant
13 component --

14 MR. BRAINARD: Well, before we get into that,
15 the purpose of this meeting is to talk about the
16 site plan, not about the operation of whatever
17 business goes into the building.

18 MS. CRITELLI: Okay.

19 MR. BRAINARD: And not that we don't want you
20 to know about that, but that's not the purpose of
21 this meeting and we'd like to keep the discussion
22 about the site plan.

23 MS. CRITELLI: Okay.

24 MR. BRAINARD: We'll talk about what's going
25 to be built, but as far as what kind of restaurant

1 or operation or any kind of thing, that's
2 something that's beyond the scope of what we're
3 here for. So --

4 MR. CRITELLI: Okay.

5 MR. LANG: Sorry, Grace.

6 MS. CRITELLI: No problem.

7 MR. KERR: How do you adjust for poor weather
8 conditions if it's open air?

9 MR. LANG: So there are going to be some
10 roll-down elements that we have that are like a
11 vinyl screen that can be rolled down, but because
12 of the nature of that material, it's not a wind
13 code compliant design, so it's not something that
14 I'm going to say is my "design" of the building,
15 that's why it's an open-air structure.

16 The entire building is designed to function
17 with air flowing through it in an event that, you
18 know, like a hurricane. You know, so the whole
19 structure is going to have wind move through it,
20 it's going to be stable in that condition.

21 For operating reasons, like if it starts to
22 rain in the afternoon, we have vinyl roll-downs
23 that are going to come down to our bar fronts.
24 You know, and to this -- this is a bar that runs
25 along the boardwalk on this edge, like a seating

1 rail. So we're going to have like a cavity that
2 we have that vinyl cage that would roll that down
3 so that we can screen it.

4 MR. KERR: Storm shutters?

5 MR. LANG: It's not a storm shutter. Think
6 of it more as like what you'd have on a boat, you
7 know, where, like, you have like that vinyl thing
8 that would roll down? You know, it's more of that
9 type of a material.

10 Storm shutters imbue more of a toughness to
11 them, and it's not that.

12 MR. KERR: So that's on the water's edge --

13 MR. LANG: The boardwalk side.

14 MR. KERR: -- side. And then the alley side
15 or the boardwalk --

16 MR. LANG: So the alley side, what we've
17 actually done here is architecturally we've built
18 this wall a little bit higher when you look at the
19 plans. So we actually have a wall that comes up
20 behind us, and the level that the window occurs at
21 is a lot higher. And that's one of the things
22 that we're going to probably have something that's
23 in there, but we're still kind of debating whether
24 we want that to be like a permanent built shade
25 that's like of an aluminum or a wood-type slat

1 look so that it fills in the architectural
2 opening, or whether that's going to be a roll-down
3 that closes an opening in the form of, like, a
4 true transparent window.

5 So we're still kind of debating those two
6 items, but that really isn't something that -- the
7 way that it's going to change the safety of the
8 structure at all, but in terms of how can this be
9 operated during rain? Rain won't be able to kind
10 of get back in. We're still debating about what
11 that wants to be.

12 MR. KARNS: It will be like the Caddy's on
13 the beach.

14 MR. KERR: Okay.

15 MR. KARNS: Where the shades roll down and
16 they have the glass --

17 THE REPORTER: Who is that?

18 MR. BRAINARD: That's Bill Karns.

19 MR. KARNS: I'm Bill Karns.

20 MR. BRAINARD: K-a-r-n-s.

21 THE REPORTER: Thank you.

22 MR. LANG: Like I say, there's other -- have
23 you been to that out there on the beach?

24 MR. KERR: Yeah.

25 MR. LANG: It's the same material that they

1 roll down on the edge.

2 MR. KERR: Okay.

3 MR. LANG: But it's not a wind code
4 compliant, so that's why I'm saying -- because
5 they have an aluminum shutter they roll down
6 that's behind that at Caddy's, and that's their
7 wind code box. Because they're not an open-air
8 structure, they're an AC building. This is not
9 that.

10 MR. KERR: Yeah, they have a deck.

11 MR. LANG: They have a deck that wraps like
12 an AC restaurant that's inside; whereas this --

13 MR. KERR: This is basically all deck.

14 MR. LANG: This is basically all deck,
15 effectively, if that's an easier way to think
16 about it.

17 MR. KERR: Do you have the elevation views?

18 MR. LANG: Yeah. So this is where we're at.
19 This is water side. This is the level of the
20 boardwalk. And this is where -- there's like a
21 ramp at the very end. So that's what this line
22 here represents for you guys. That's the lowest
23 extent going back to the west.

24 MR. KERR: Right.

25 MR. LANG: And then this is our stair that

1 terminates -- we're looking at that site plan over
2 on the -- that's this stair.

3 MR. KERR: The existing.

4 MR. LANG: That's the existing stair. So
5 yes, that's correct.

6 And then what we see actually in the
7 background, this is over here, this is the back
8 wall of my stair coming down to the ground, the
9 new one.

10 It's like from the water side you'd see it
11 this way. And then when you turn it around, you
12 see it -- I've got a gate here that blocks access
13 to that stair so that people can't get up into our
14 building.

15 MR. KERR: All right. This is the boardwalk
16 place, what you'd see from --

17 MR. LANG: This is what you'd see from
18 inland, yes, sir. Yes.

19 So this is my elevator tower that's coming
20 down, and then this is that stair that goes back
21 up to the boardwalk.

22 MR. KERR: All right.

23 MR. LANG: Okay? You know, at street level
24 we've got parking outside, so that's why there's
25 nothing shown in here. There's no strip of

1 landscape or anything here. It's all just
2 parking.

3 MR. KERR: Are any modifications to the
4 boardwalk perceived?

5 MR. LANG: No. That was one of the things
6 that we worked really hard to do is to maintain
7 the integrity of the boardwalk in its existing
8 shape and form. So we worked with the city to
9 secure a variance, make sure that we could
10 maintain that connectedness.

11 MR. KERR: Right.

12 MR. LANG: Now, and we did -- we do make our
13 connection at the highest point of the boardwalk.

14 MR. KERR: Right.

15 MR. LANG: You know, and I think that's
16 something that we should all note is going forward
17 that even our work to maintain connection only got
18 us this close. So like all these other places are
19 going to have to work in the same way that we have
20 with the city to afford themselves that continued
21 perpetual connection, you know.

22 And that's something that I've raised to the
23 city's attention as a real effort they have to
24 make with us. And they've heard us. You know,
25 they've been fair in working with us so far, but

1 you know, it's a challenge. You know, all
2 development is a challenge. There's always
3 questions that come up that need fair answers, and
4 we're working with every -- all of our established
5 partners in the community to make sure we answer
6 them right. We want to be fair.

7 MR. KERR: Does the stairwell access from the
8 street, you could access all the way to the top?

9 MR. LANG: You could, but really the stair
10 that we've introduced, this little one that's over
11 here, our new stair that we're putting in is
12 really so that we're not running business
13 operations up and down the public right-of-way
14 stair. So if we receive deliveries and stuff, we
15 can bring them up more directly into our
16 establishment. It's going to have a gate down at
17 the bottom that's got a fire panel on it so you
18 can push it open from the inside. But it's really
19 more so that -- it's not meant to be the public's
20 up.

21 MR. KERR: Okay.

22 MR. LANG: Okay. But once you're in the
23 building, that stair is accessible and you can use
24 it to walk up to the roof.

25 MR. KERR: Elevation?

1 MR. LANG: Absolutely. It's there for fire
2 purposes, you know. For truth, it's there for
3 fire, you know, so we can egress the building
4 safely in all purposes.

5 But the distances involved here and the type
6 of construction we are with the fire sprinkler
7 involved and the fact that we're open air, there
8 is nothing -- there's nothing to burn, you know,
9 and it's very -- fire is a scary thing. It's why
10 we design really hard for it. But this building
11 I'm not worried about. It's super safe.

12 MR. KERR: Great. I'm running out of
13 questions.

14 MR. LANG: I was going to say, you got great
15 questions. Keep them coming. I'm happy to deal
16 with them. It's a great opportunity to talk about
17 a project I'm really excited about.

18 MR. KERR: So the -- we were talking about
19 the architectural look and feel. This is
20 basically cement board?

21 MR. LANG: Yeah, it's going to be a Hardie
22 board material. That's the technical term for it
23 is Hardie board. It comes in a lot of --

24 MR. KARNS: Key West-looking structure.

25 MR. LANG: This isn't in color, you know, and

1 I think that's a really important component of any
2 structure at the end of the day is its color and
3 vibrancy. And introducing panels like the Hardie
4 board, it's going to allow for us to introduce
5 color in the facade so it doesn't become this
6 white elephant, you know, which I think is a lot
7 of people's expectation when they think of big
8 things happening, what am I going to see when I
9 see a big wall pop up?

10 We're not going to have a big white elephant
11 at the end of the boardwalk. We don't want that.
12 We want something that people are going to look at
13 and want to come to. You know, when you're on a
14 boat and you're turning around the corner coming
15 from any direction of the intercoastal, you're
16 going to see us first.

17 You know, we want to be something that the
18 rest of the boardwalk is really proud of and that
19 the rest of the city is really proud of, and that
20 people can start to identify with and say, wow,
21 this is the kind of new construction we could be
22 getting here? This is exciting. This is
23 something we should really be working as a
24 community to go towards instead of being afraid of
25 what development is going to do. Because if this

1 is the kind of thing that we can recreate and show
2 is a viable option, that's exciting. That's the
3 kind of stuff that the community really wants to
4 be in favor of. And we really need your support
5 because the city at times can be really resistant
6 to seeing things happen in a fast and fun way.

7 It's true, you know, as much as -- it's true.
8 There's a lot of questions involved and sometimes,
9 you know, it can be a little friction. I'm happy
10 to disavow you of any scary moments.

11 MR. KERR: Sure.

12 The elephant in the room --

13 MR. LANG: Yeah.

14 MR. KERR: -- why are we having the meeting?
15 I don't see any --

16 MR. LANG: That's a great question.

17 MR. KARNS: Thank you.

18 MR. LANG: So the real answer to your -- no,
19 the real answer to your question is it's a
20 procedural hurdle that we need to check a box, you
21 know, and it's an opportunity for the community to
22 see what's going on.

23 And because we live in a city that's had a
24 lot of resistance to development, the community
25 has decided that this is a necessary weigh point

1 that we provide an opportunity for stakeholders to
2 weigh in.

3 If you said something was -- this is
4 terrible, Dennis, I have real reasons for not
5 liking this, and I said, well, gee, Ray, you're
6 right, that is something we should consider
7 differently because I hadn't thought of it that
8 way, I would go back to my client and I would
9 re-evaluate what we're proposing because that's
10 the point of this meeting.

11 But you haven't done that yet, so keep
12 trying.

13 MR. KERR: I'm just -- I'm just asking
14 questions so I understand what --

15 MR. LANG: No, and look --

16 MR. KERR: And give you an opportunity to --

17 MR. LANG: Well, look, development is --

18 MR. KERR: -- explain.

19 MR. LANG: It's an industry that requires a
20 lot of professional insight to really get behind
21 the scenes and understand what's happening. So
22 I'm really happy to stand here and I'll talk to
23 you all night about what this project is and what
24 we're doing.

25 THE REPORTER: No, you won't. No.

1 MR. LANG: But I would be willing -- I would
2 be willing to stand here ad nauseam and talk about
3 this project, but we won't for everybody's
4 benefit.

5 MR. BRAINARD: If I can answer that question
6 for you, because this is a development above a
7 certain size as defined by the city, one of the
8 requirements for the Planning Commission is to
9 have a neighborhood information meeting and give
10 us the opportunity, and the neighborhood, the
11 community, to have an opportunity to review this
12 and make comments, ask questions.

13 MR. KERR: Of a certain size. Does that mean
14 of a certain capacity? Of a certain square
15 footage --

16 MR. BRAINARD: Anything over 2,000 square
17 feet. A new building that's over 2,000 square
18 feet requires certain steps you have to follow.
19 One of those is a neighborhood information.

20 MR. LANG: He's saying P&C meeting.

21 MR. KERR: I didn't know -- I didn't know
22 that.

23 MR. LANG: There's a lot of -- you know,
24 we've had what at this point, Paige, four
25 different meetings with city staff? You know,

1 reviewing our project and ensuring that we have
2 the process underway and that everybody is
3 weighing in appropriately with us?

4 MS. KARNS: Yes.

5 MR. LANG: You know, so I mean, it's not
6 something that we've been working behind the
7 scenes to complete. I mean, it takes a long time.
8 You know, projects of this size take a long time
9 to pull together.

10 Try again.

11 MR. KERR: Any of the other questions would
12 have to do with materials of construction, and
13 zoning and permitting is going to go through all
14 that.

15 It's just basically the look and feel of
16 what -- you know, I think that -- we haven't
17 updated our -- and I'm going to get it wrong --
18 either the Master Plan or Comprehensive Plan in 20
19 years to give the community an opportunity to say
20 this is -- this is what we want our community to
21 look like.

22 MR. LANG: Sure. Like a visioning board.

23 MR. KERR: Right. That's up for debate. We
24 want to get that to happen soon.

25 I just want -- you know, my input would be to

1 try to do what you're doing, bring it to what we
2 would expect John's Pass Village with the --

3 MR. LANG: Sure, I mean, look --

4 MR. KERR: Why we're all here, why we all
5 live here.

6 MR. LANG: -- I grew up in Treasure Island.
7 You know, it's like I grew up riding my bicycle up
8 to John's Pass and like walking up and down the
9 boardwalk and grabbing ice cream actually probably
10 at the place that was right next to this, you
11 know, as a kid.

12 But like, the boardwalk has a unique
13 character and feel to it, and it's not anything
14 that me personally or us as a group want to
15 alienate or violate or damage. Because that's the
16 reason we want to be there is to inherit and be a
17 part of that legacy, not to denigrate it or
18 destroy it, you know.

19 So I mean, we see this as something that is
20 appropriate for the beach, it makes sense for our
21 community, it's not --

22 MR. KERR: It's going to enhance --

23 MR. LANG: -- not too much.

24 MR. KERR: -- the experience of John's Pass
25 Village.

1 MR. LANG: Well, exactly. It's meant to
2 imbue that same experience that generations past
3 have had and to bring it forward in a way that's
4 viable, because a lot of what we're looking at out
5 there needs a pump, you know. And this is the
6 kind of thing that if we can go in and pump the
7 edge, it's going to help bring out new people to
8 the boardwalk. You know, like you were saying,
9 it's going to reinvigorate the community to come
10 and experience something new.

11 And that's what our businesses really need is
12 participation. And this is an opportunity for us
13 to fill in the missing piece, you know, in a way
14 that hopefully will allow for other businesses to
15 benefit as well and for them to make that next
16 step and continue to build on the legacy of
17 John's Pass in a way that doesn't allow for it to
18 fall apart.

19 Because again, if we're not re-visioning the
20 future as a community, it isn't going to be left
21 up to us to have a say anymore, which is why I
22 think this is really a great opportunity, like you
23 guys were saying, this is what we need, you know,
24 put it on the record with us that this is going to
25 be a great opportunity for us and we want to see

1 it come forward in this format that makes it
2 right.

3 You know, it still touches the boardwalk, it
4 still touches the ground in a way that's delicate.
5 It continues that experience of transparency to
6 the waterfront from the ground level. You know,
7 we're not taking that away. I think that's what
8 you were trying to ask me earlier is -- and what's
9 happening below the building? Transparency.
10 You're going to look straight through and still
11 see water. You know, I think that's a really
12 important component of what John's Pass Village is
13 is that connection.

14 MR. KARNs: We spent a lot of time on the
15 design of the building itself to make sure that it
16 fits in with all of the buildings that are on the
17 boardwalk and has -- as you can see, it's got
18 that --

19 MR. KERR: I can see that.

20 MR. KARNs: -- a very coastal feel to it.

21 MR. KERR: The existing concrete that's there
22 now, I'm sure it's weathered and stained with oil
23 and everything --

24 MR. LANG: You mean the floor? The ground?

25 MR. KERR: Yeah, the ground.

1 MR. LANG: Oh, it's going to get all cracked
2 up and removed.

3 MR. KERR: Okay. So that will be fresh?

4 MR. LANG: Yeah. 100 percent.

5 MS. BERRY: I think aesthetically it anchors
6 that boardwalk. Because right now we have one
7 anchor and -- on the Hubbard's garage side it's
8 not the most appealing anchor either.

9 MR. LANG: No.

10 MS. BERRY: But this will be not only
11 appealing, but anchor it. I think of, you know,
12 people go to these malls and if you don't have an
13 anchor store at one, it kind of just drops it off.

14 And we don't have a cohesive boardwalk
15 underneath, and the customer says that all the
16 time, well, can I walk underneath? It's like, in
17 the water you go can, but not above.

18 And so that will help anchor this whole
19 boardwalk for the customer to be up there, too.

20 MR. LANG: You know, for me, as an architect,
21 that's one of my, like, giddy points about this
22 was an opportunity to finish the boardwalk and to
23 create that visual anchor not just for
24 pedestrians, you know, or people on the boardwalk,
25 but I grew up here, I grew up on boats. You know,

1 like when you turn the corner, that's the thing
2 you see.

3 MR. KERR: What happens at the lowest level
4 at the boardwalk at the water's edge? Is there
5 any structural components there? Is there any --
6 you have existing boardwalk there now. I think
7 you have a fish cleaning station.

8 MR. LANG: So the building that's there
9 existing is going to remain. That's part of the
10 fuel dock.

11 MR. KERR: It's a mailbox at the end.

12 MR. LANG: So like this is our ground floor
13 plan when we're done. So you see my column grid
14 that comes in?

15 THE VIDEOGRAPHER: Guys, one at a time,
16 please.

17 MR. BRAINARD: If I can comment on that, all
18 of the docks, the little building that's there,
19 that's all part of the submerged land lease. That
20 isn't getting touched. Everything that is there
21 on the water is approved by the State for the
22 purpose of the submerged land lease. None of that
23 is going to get changed. That stays exactly where
24 it is.

25 MR. KERR: Including the existing?

1 MR. BRAINARD: Yes, that little building
2 sits --

3 MR. LANG: Yeah, that guy that's tucked under
4 the boardwalk, he's going to stay there too.

5 MR. BRAINARD: 95 -- 98 percent of that
6 building is over the water. It's just --
7 basically there's about a foot on the seawall and
8 the rest of it is -- for support, and the rest of
9 it is over the water as part of the submerged land
10 lease.

11 MR. LANG: You can actually see that right
12 here, this solid line right here.

13 MR. KARNS: Okay.

14 MR. LANG: That's my seawall ledge.

15 MR. KARNS: If we had touched that structure,
16 you wouldn't be able to permit that back today,
17 you know. They're not going to allow you to build
18 a structure over the water, so it was very
19 important for us --

20 MR. LANG: And nothing that low.

21 MR. KARNS: -- and a lot of local community
22 go in there and buy their fish.

23 MR. KERR: Right.

24 MR. KARNS: I see them there all the time.

25 MR. KERR: So that will remain?

1 MR. KARNNS: So that will remain. And that
2 was important for us to make sure that that
3 remained. And that's how we designed around it.

4 MR. CRITELLI: It looks great.

5 MR. LANG: Thank you, Gae.

6 MR. BRAINARD: Any other questions? If we
7 don't have any questions, what I'd like to do is
8 we can close our meeting and then if you want to
9 talk about the restaurant, that's not part of the
10 purpose of this meeting, you're welcome to talk
11 Bill's ear off all you want about what the
12 restaurant is going to be. But at this point
13 we're just talking about the site plan.

14 If there aren't any other questions about the
15 site plan, then we can close the meeting and let
16 these ladies have the rest of their evening off.

17 MR. CRITELLI: Okay.

18 MR. BRAINARD: Okay. All right. Thank you
19 very much. I appreciate you being here.

20 (The Meeting adjourned at 6:37 p.m.)

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CERTIFICATE OF COURT REPORTER

STATE OF FLORIDA
COUNTY OF PINELLAS

I, KELLEY N. BLACK, RPR, FPR-C, do hereby certify that I was authorized to and did stenographically report the Neighborhood Meeting held on February 1, 2024, and that the foregoing transcript is a true and correct record of my stenographic notes.

I FURTHER CERTIFY that I am not a relative, employee, or attorney, or counsel of the parties, nor am I a relative or employee of any of the parties' attorney or counsel connected with the action, nor am I financially interested in the action.

DATED this 7th day of February, 2024, at Pinellas County, Florida.



Kelley N. Black, RPR

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NOTICE OF NEIGHBORHOOD INFORMATION MEETING

WHAT: A neighborhood meeting will be held regarding the Site Plan Application submitted by Boardwalk Place Properties LLC to The City of Madeira Beach.

WHEN/WHERE: Thursday, February 1st, 2024
6:00 pm EST
Madeira Beach City Centre Room
300 Municipal Drive
Madeira Beach, FL 33708

Boardwalk Properties LLC has filed an application for site plan approval with The City of Madeira Beach relating to the property located at 215 Boardwalk Place East, Madeira Beach, FL 33708. The property is in Johns Pass Village along the southeast side of Boardwalk Place East. At the bottom of this notice is a sketch of the property that is included in the application.

There will be a neighborhood information meeting on February 1st, 2024 for the purpose of providing information about and explaining the proposed site plan application. Again, the meeting will be held at Madeira Beach City Hall City Centre Room. The plans submitted will be provided to the attendees for review as well as a time for question/answers.



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A "Passenger" than the "crew" for being aboard. bareboat charters he passengers "for 'Consideration' construed as being economic owner. This... favor, cash, etc.

A "Bareboat Charter" between the vessel with no crew provided has complete command of the vessel for the duration. See Passenger Vessel Code free to contact our office provided below for more information.

COAST GUARD
Sector St. Petersburg
155 Columbia Street
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The purpose of the substandard vessels commercial vessel safety

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