



PLANNING COMMISSION MEETING
AGENDA
Monday, May 04, 2026 at 6:00 PM
Commission Chambers, 300 Municipal Drive,
Madeira Beach, FL 33708

This Meeting will be televised on Spectrum Channel 640 and YouTube Streamed on the City's Website.

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. PUBLIC COMMENT**

Public participation is encouraged. If you are addressing the Planning Commission, step to the podium and state your name and address for the record. Please limit your comments to three (3) minutes and do not include any topic that is on the agenda.

Public comment on agenda items will be allowed when they come up.

For any quasi-judicial hearings that might be on the agenda, an affected person may become a party to this proceeding and can be entitled to present evidence at the hearing including the sworn testimony of witnesses and relevant exhibits and other documentary evidence and to cross-examine all witnesses by filing a notice of intent to be a party with the Community Development Director, not less than five days prior to the hearing.

- 4. APPROVAL OF MINUTES**

A. Approval of February 2026 Minutes

- 5. NEW BUSINESS**

A. Ordinance 2026-03, 555 150th Avenue Rezoning from PD, Planned Development to C-4, Marine Commercial (Public Hearing)

B. SP 2026-02 503 150th Avenue Major Site Plan

- 6. OLD BUSINESS**

- 7. ADMINISTRATIVE/STAFF PRESENTATION**

- 8. PLANNING COMMISSION DISCUSSION**

9. NEXT MEETING

Next meeting is scheduled for Monday, June 1, 2026 at 6:00 p.m.

10. INFORMATIONAL MATERIALS

11. ADJOURNMENT

One or more Elected or Appointed Officials may be in attendance.

Any person who decides to appeal any decision of the Planning Commission with respect to any matter considered at this meeting will need a record of the proceedings and for such purposes may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The law does not require the minutes to be transcribed verbatim; therefore, the applicant must make the necessary arrangements with a private reporter or private reporting firm and bear the resulting expense. In accordance with the Americans with Disability Act and F.S. 286.26; any person with a disability requiring reasonable accommodation to participate in this meeting should call Marci Forbes, Community Development Director at 727-313-0126, or email a written request to mforbes@madeirabeachfl.gov.

THE CITY OF MADEIRA BEACH, FLORIDA
LOCAL PLANNING AGENCY / PLANNING COMMISSION
Madeira Beach City Hall, Patricia Shontz Commission Chambers
300 Municipal Drive, Madeira Beach, FL 33708
www.madeirabeachfl.gov | 727.391.9951
February 2, 2026 - MINUTES

Planning Commission Meeting –Minutes

Call to Order

Chairman Wyckoff called the meeting to order at 6:01 PM.

Roll Call

Present: Chairman Wyckoff, Commissioners Cloud, Dillon, Connolly, Magher, and LaRue.

Absent: Commissioner Noble.

A quorum was established.

Public Comment

No public comments.

Approval of Minutes

The minutes from the previous meeting were approved unanimously.

Old Business

Ordinance 2026-02 – Nonconforming Time Limitations

Staff presented revisions to the ordinance addressing repair deadlines for structures damaged by Hurricanes Helene and Milton.

- The deadline for repairing nonconforming structures with less than 50% damage was extended from 18 months to 2 years (until September 25, 2026).
- Nonconforming uses are not affected if they were never terminated.
- Properties with more than 50% damage have no time limitation to rebuild, including those participating in the Elevate Florida program.
- Commissioner Dillon asked about properties awaiting Elevate Florida funding. Staff clarified that owners of structures under 50% damage must either repair within two years or elevate without a deadline.

The ordinance was approved unanimously.

New Business

None.

Planning Commission Discussion

140th Avenue & Pruitt Street Project

Commissioner Noble asked about the status of the construction project. Staff indicated Public Works is managing it and believes it may be completed within the next month or two. Staff will provide an update.

Density Stacking (C-3 & C-4 Districts)

Staff explained that implementing density stacking would require a Comprehensive Plan amendment, which could take up to a year due to required county, state, and regional review. The issue remains under consideration.

Trailer Timeframes

Trailer placement is governed by Florida law and allows up to 36 months. This aligns with current building repair extensions.

Pinellas County Parking Lots

Commissioner Magher expressed concern about the condition of county-owned parking lots across from the gas station. No specific action was taken.

555 150th Avenue (Former PD Site)

Upcoming town halls will gather public input.

Key points:

- The current Planned Development (PD) designation must be removed.
- The property would revert to C-4 Marine Commercial zoning.
- Rezoning will require public hearings before the Planning Commission.
- Depending on community input, the city may adjust permitted uses during rezoning.
- An ad hoc committee may be considered, similar to the previous City Marina review process.
- Public Works recently cleaned and graded the site.
-

Planning Commission Responsibilities

Commissioner Dillon raised the possibility of expanding the Commission's responsibilities, noting any changes would need to come from the Board of City Commissioners. No formal action was taken since it was not on the agenda.

Next Meeting

Monday, March 2, 2026 at 6:00 PM.

Chairman Wyckoff will be absent. The meeting will proceed if a quorum is present.

Adjournment

Meeting adjourned at 6:24 PM.

Michael Wyckoff, Chairman

Date

Lisa Scheuermann, Board Secretary

Date



Memorandum

Meeting Details: Planning Commission Meeting May 4, 2026

Prepared For: Planning Commission (LPA)

From: Community Development Department

Subject: Ordinance 2026-03, 555 150th Avenue Rezoning from PD, Planned Development to C-4, Marine Commercial (Public Hearing)

Discussion:

City staff has drafted Ordinance 2026-03, 555 150th Avenue Rezoning from PD, Planned Development to C-4, Marine Commercial. This ordinance would rezone the property at 555 150th Avenue from PD, Planned Development to C-4, Marine Commercial. Forward Pinellas has reviewed the ordinance and said the ordinance is compliant with the Countywide Plan. In the Madeira Beach Code of Ordinances, *Sec. 110-397. - Time limitations* require a property to be rezoned to the previous zoning district for the property if a Planned Development (PD) fails to be built.

A rezoning ordinance is required to go to a Planning Commission Meeting public hearing and two Board of Commissioners public hearings. A public notice will be mailed 10 days before the Planning Commission Meeting to affected parties within 300 feet of the proposed rezoning. A newspaper legal ad will be published 14 days before the second reading of the ordinance.

Located below is a table that compares the Planned Development (PD) Zoning District versus the C-4, Marine Commercial Zoning District. The table shows the maximum development potential of a Planned Development (PD) with the Alternative Temporary Lodging Use Standards. The previously approved Planned Development (PD) used the “by right” density and intensity but received a height increase of 2 additional stories. Rezoning the property to C-4, Marine Commercial would reduce the maximum height for the property to 3 stories above base flood elevation.

<i>Planned Development (PD) Versus C-4, Marine Commercial</i>			
	Alternative Temporary Lodging Density (Causeway District) and Planned	Previously Approved Planned Development (PD) for 555 150th Avenue	C-4, Marine Commercial (Causeway Character District)

	Development (PD) Rezoning		
Temporary Lodging Density (Units Per Acre)	125	60	60
Residential Density (Units Per Acre)	15	15	15
Commercial FAR	*	0.55	0.55
Mixed Use FAR	4.0	*	*
Height	Flexibility in building height may be allowed provided the development is compatible with the surrounding neighborhood.	75 feet or 5 stories above BFE	3 stories above BFE

Fiscal Impact or Other:

City Staff initiated the proposed rezoning, and the proposed rezoning property is owned by the city.

Recommendation(s):

City staff supports the adoption of Ordinance 2026-03, 555 150th Avenue Rezoning from PD, Planned Development to C-4, Marine Commercial.

Attachments:

- Ordinance 2026-03, 555 150th Avenue Rezoning from PD, Planned Development to C-4, Marine Commercial
- Forward Pinellas Consistency Letter
- Ordinance 2026-03, Business Impact Estimate

ORDINANCE 2026-03

AN ORDINANCE OF THE CITY OF MADEIRA BEACH, FLORIDA, REZONING REAL PROPERTY LOCATED AT 555 150TH AVENUE, PARCEL IDENTIFICATION NUMBER 09-31-15-00000-140-0100, FROM PD PLANNED DEVELOPMENT, TO C-4 MARINE COMMERCIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR CONFLICT; AND PROVIDING FOR AN EFFECTIVE DATE HEREOF.

WHEREAS, the City of Madeira Beach recently purchased the real property known as 555 150th Avenue, Madeira Beach, Florida and described by parcel identification number 09-31-15-00000-140-0100 (hereinafter "Property") and wishes to rezone the Property to C-4, Marine Commercial; and

WHEREAS, the property was previously zoned C-4 Marine Commercial until the property was rezoned in 2016 to PD Planned Development pursuant to Ordinance 2015-18; and

WHEREAS, the City of Madeira Beach rezoned the property in 2017 pursuant to Ordinance 2017-04 from PD Planned Development to PD Planned Development; and

WHEREAS, the PD zoning has expired pursuant to Sec. 110-397(e) of the City of Madeira Beach Land Development Regulations due to the failure of the previous owner of the Property not commencing construction within the specified time; and

WHEREAS, pursuant to Sec. 110-397(e) of the City of Madeira Beach Land Development Regulations the zoning for the Property reverts to the previous zoning classification that existed on the property prior to the approval of the PD Planned Development rezoning; and

WHEREAS, the City of Madeira Beach wishes to memorialize this rezoning to C-4 Marine Commercial; and

WHEREAS, the Madeira Beach Master Plan encourages capitalizing on natural assets and city-owned property to support waterfront commercial uses, waterfront recreational uses, and expanding public spaces; and

WHEREAS, the proposed rezoning to C-4, Marine Commercial would help implement the goals and strategies of the Madeira Beach Master Plan; and

WHEREAS, the proposed rezoning to C-4, Marine Commercial is consistent with the Causeway District of the Madeira Beach Town Center Special Area Plan; and

WHEREAS, the Causeway District supports commercial, marina, and recreational uses; and

WHEREAS, C-4, Marine Commercial Zoning District supports commercial, marina, and recreational uses; and

WHEREAS, C-4, Marine Commercial Zoning District is compatible with the Planned Redevelopment Mixed-Use Future Land Use Category of the Madeira Beach Comprehensive Plan; and

WHEREAS, the Planning Commission has held a public hearing to consider this rezoning and has recommended approval to the Board of Commissioners; and

WHEREAS, the recommendations of the Planning Commission and City Staff have been found meritorious by the Board of Commissioners; and

WHEREAS, the Board of Commissioners have held two public hearings to consider the approval of this rezoning and the adoption of this ordinance.

NOW THEREFORE BE IT ORDAINED BY THE BOARD OF COMMISSIONERS OF THE CITY OF MADEIRA BEACH, FLORIDA, AS FOLLOWS:

SECTION 1: That the subject property as described in Exhibit A and Exhibit B shall be rezoned from PD Planned Development to C-4 Marine Commercial.

SECTION 2: That the provisions of this Ordinance shall be deemed severable. If any part of the Ordinance is deemed unconstitutional, it shall not affect the constitutionality of other portions of the Ordinance.

SECTION 3: Ordinances or parts of ordinances in conflict herewith to the extent that such conflict exists are hereby repealed.

SECTION 4: This Ordinance shall take effect immediately upon adoption.

PASSED AND ADOPTED BY THE BOARD OF COMMISSIONERS OF THE CITY OF MADEIRA BEACH, FLORIDA, THIS _____ day of _____, 2026.

Anne-Marie Brooks, Mayor

ATTEST:

Clara VanBlargan, MMC, MSM, City Clerk

APPROVED AS TO FORM:

Thomas J. Trask, City Attorney

PASSED ON FIRST READING: _____

PUBLISHED: _____

PASSED ON SECOND READING: _____

PUBLISHED: _____

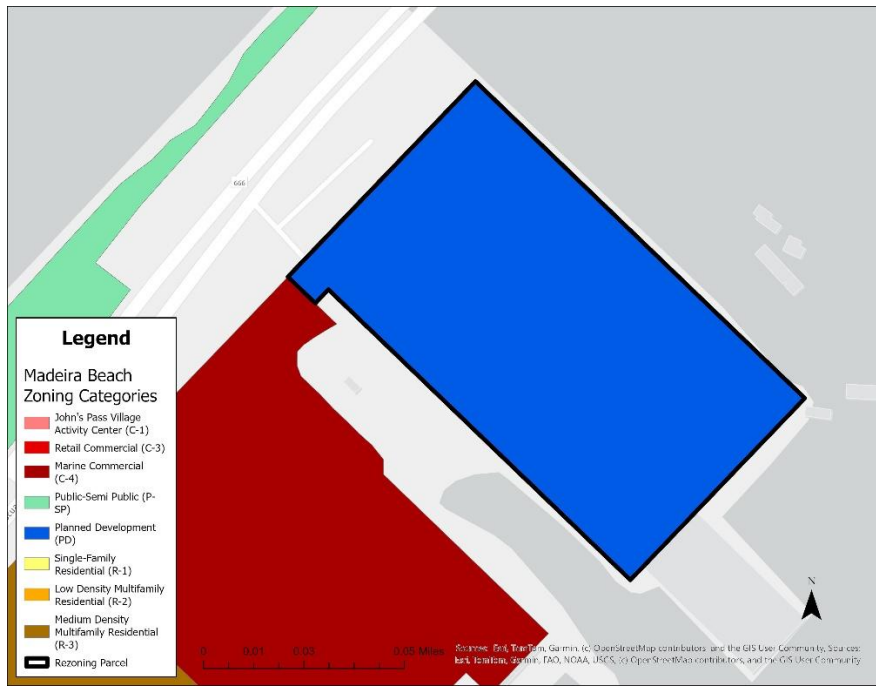
Exhibit A

Parcel: 09-31-15-00000-140-0100

Legal Description: PART OF GOVT LOTS 1 & 2 IN NE 1/4 OF SEC 09-31-15 & IN NW 1/4 OF SEC 10-31-15 DESC AS FROM S LINE OF GOVT LOT 1 IN SD SEC 09-31-15 & C/L OF 150TH AVE TH N43D51'28"E 1918.18FT ALG C/L OF SD RD TH S46D08'32"E 50FT FOR POB TH S46D08'32"E 50FT TH N43D51'28"E 25FT TH S46D 08'32"E 550FT TH N43D51' 28"E 331FT TH N46D08'32"W 600FT TH S43D51'28"W 356FT TO POB CONT 4.59AC(C)

Exhibit B

Existing Zoning Map



Proposed Zoning Map



Business Impact Estimate

Proposed ordinance's title/reference:

ORDINANCE 2026-03

AN ORDINANCE OF THE CITY OF MADEIRA BEACH, FLORIDA, REZONING REAL PROPERTY LOCATED AT 555 150TH AVENUE PARCEL IDENTIFICATION NUMBER 09-31-15-00000-140-0100 FROM PD PLANNED DEVELOPMENT, TO C-4 MARINE COMMERCIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR CONFLICT; AND PROVIDING FOR AN EFFECTIVE DATE HEREOF.

This Business Impact Estimate is provided in accordance with section 166.041(4), Florida Statutes. If one or more boxes are checked below, this means the City of Madeira Beach is of the view that a business impact estimate is not required by state law¹ for the proposed ordinance, but the City of Madeira Beach is, nevertheless, providing this Business Impact Estimate as a courtesy and to avoid any procedural issues that could impact the enactment of the proposed ordinance. This Business Impact Estimate may be revised following its initial posting.

- The proposed ordinance is required for compliance with Federal or State law or regulation;
- The proposed ordinance relates to the issuance or refinancing of debt;
- The proposed ordinance relates to the adoption of budgets or budget amendments, including revenue sources necessary to fund the budget;
- The proposed ordinance is required to implement a contract or an agreement, including, but not limited to, any Federal, State, local, or private grant or other financial assistance accepted by the municipal government;
- The proposed ordinance is an emergency ordinance;
- The ordinance relates to procurement; or
- The proposed ordinance is enacted to implement the following:
 - a. Development orders and development permits as those terms are defined in Section 163.3164, Florida Statutes, and development agreements as authorized by the Florida Local Government Development Agreement Act under Sections 163.3220-163.3243, Florida Statutes;
 - b. Comprehensive plan amendments and land development regulation amendments initiated by an application by a private party;
 - c. Sections 190.005 and 190.046, Florida Statutes, regarding community development districts;
 - d. Section 553.73, Florida Statutes, relating to the Florida Building Code; or
 - e. Section 633.202, Florida Statutes, relating to the Florida Fire Prevention Code.

¹ See Section 166.041(4)(c), Florida Statutes.

In accordance with the provisions of controlling law, even notwithstanding the fact that an exemption noted above may apply, the City of Madeira Beach hereby publishes the following information:

1. Summary of the proposed ordinance (must include a statement of the public purpose, such as serving the public health, safety, morals and welfare):

The purpose of this ordinance is to rezone the real property known as 555 150th Avenue, Madeira Beach, Florida and described by parcel identification number 09-31-15-00000-140-0100 (hereinafter "Property") from PD, Planned Development to C-4, Marine Commercial. The proposed rezoning to C-4, Marine Commercial would help implement the goals and strategies of the Madeira Beach Master Plan.

2. An estimate of the direct economic impact of the proposed ordinance on private, for-profit businesses in the City of Madeira Beach, if any:

- (a) An estimate of direct compliance costs that businesses may reasonably incur;
- (b) Any new charge or fee imposed by the proposed ordinance or for which businesses will be financially responsible; and
- (c) An estimate of the City of Madeira Beach's regulatory costs, including estimated revenues from any new charges or fees to cover such costs.

It is estimated that there will be no additional costs for businesses since this rezoning does not impact any businesses.

3. Good faith estimate of the number of businesses likely to be impacted by the proposed ordinance:

There will be no businesses impacted by this rezoning.

4. Additional information the governing body deems useful (if any):

N/A

**NOTICE OF PUBLIC HEARING
CITY OF MADEIRA BEACH PLANNING COMMISSION ACTING AS THE LOCAL
PLANNING AGENCY (LPA) FOR PROPOSED AMENDMENT TO THE MADEIRA
BEACH ZONING MAP**

In accordance with the City of Madeira Beach Code of Ordinances Sec. 2-6 and Sec. 2-78, Sec. 7.3 of the City Charter, and Florida Statutes Sections 166.041 and 163.3174:

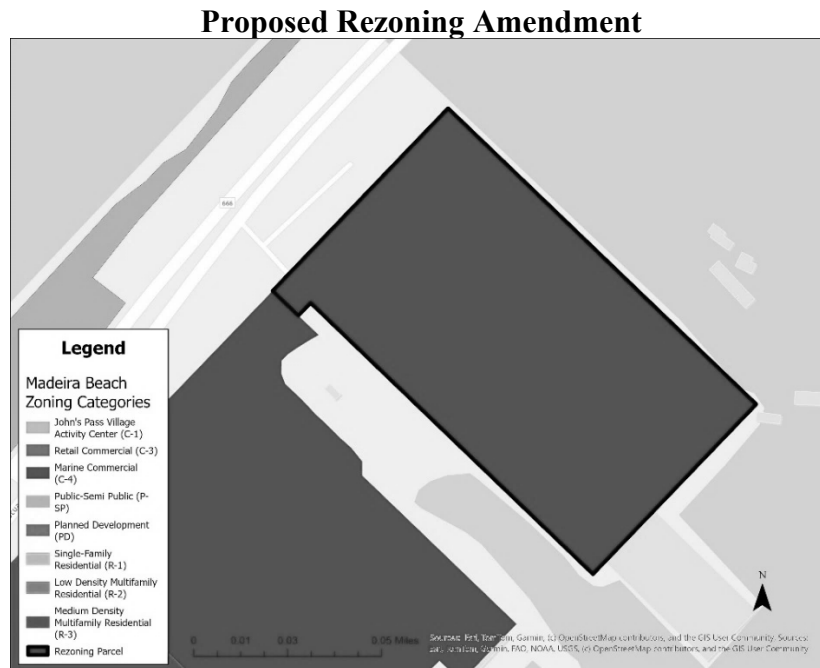
NOTICE IS HEREBY GIVEN that the Planning Commission, acting as the Local Planning Agency (LPA) of the City of Madeira Beach, will conduct a public hearing on Monday May 4, 2026, at 6:00 p.m. in the Patricia Shontz Commission Chambers, Madeira Beach City Center, 300 Municipal Drive, Madeira Beach, Florida 33708, for the review of proposed Ordinance 2026-03, 555 150th Avenue Rezoning from PD, Planned Development to C-4, Marine Commercial.

The title of the ordinances is:

ORDINANCE 2026-03

AN ORDINANCE OF THE CITY OF MADEIRA BEACH, FLORIDA, REZONING REAL PROPERTY LOCATED AT 555 150TH AVENUE PARCEL IDENTIFICATION NUMBER 09-31-15-00000-140-0100 FROM PD PLANNED DEVELOPMENT, TO C-4 MARINE COMMERCIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR CONFLICT; AND PROVIDING FOR AN EFFECTIVE DATE HEREOF.

A geographic location map of the real property affected by the adoption of this ordinance is shown below.



Public Notice: *Sec. 2-78. - Conduct of hearing* requires a ten-day public notice to be posted at the property and to be mailed to property owners within 300 feet in any direction of the property, which is the subject matter of this ordinance. Interested parties may appear at the meeting and be heard with respect to the proposed ordinances. Any affected person may become a party to this proceeding and can be entitled to present evidence at the hearing including the sworn testimony of witnesses and relevant exhibits and other documentary evidence and to cross-examine all witnesses by filing a notice of intent to be a party with the city Community Development Department not less than five days prior to the hearing. Ordinance 2026-03 is available for inspection in the Community Development Office, Madeira Beach City Hall, 300 Municipal Drive, Madeira Beach, Florida 33708, between the hours of 8:00 a.m. and 4:30 p.m., Monday through Friday or online at <https://madeirabeachfl.gov/plan-review-documents>. If you would like more information regarding this ordinance, please contact the Community Development Department, at 727-391-9951 or planning@madeirabeachfl.gov. The meeting will be aired on Public Access TV Spectrum Channel 640 and through the City's YouTube Channel at <https://www.youtube.com/@cityofmadeirabeach632>.

Note: One or more Elected or Appointed Officials may be in attendance. Any person who decides to appeal any decision of the Planning Commission with respect to any matter considered at these meetings will need a record of the proceedings and for such purposes may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The law does not require the City to transcribe verbatim minutes; therefore, the applicant must make the necessary arrangements with a private reporter or private reporting firm and bear the resulting expense. In accordance with the Americans with Disability Act and F.S. 286.26; any person with a disability requiring reasonable accommodation to participate in this meeting should call 727-391-9951 Ext. 244 or planning@madeirabeachfl.gov.



AFFIDAVIT OF MAILING

Date: 4/23/2026

Mailings for Case # 02D-2026-03

STATE OF FLORIDA
COUNTY OF PINELLAS

Before me this day Lisa Shawormery personally appeared. He/she has mailed public notices to property owners within a 300 foot radius of the subject property.

Sworn and subscribed before me this 23rd day of April, 2026.

Personally known or produced _____ as identification.



Notary Public Stamp

Mary Ann Hearn
Notary Public

4/23/26
Date

*Copy of public notice is attached.



MIKE TWITTY, MAI, CFA
Pinellas County Property Appraiser

www.pcpao.gov

mike@pcpao.gov

Run Date: 09 Mar 2026

Subject Parcel: 09-31-15-00000-140-0100

Radius: 300 feet

Parcel Count: 5

Total pages: 2

Public information is furnished by the Property Appraiser's Office and must be accepted by the recipient with the understanding that the information received was developed and collected for the purpose of developing a Property Value Roll per Florida Statute. The Pinellas County Property Appraiser's Office makes no warranties, expressed or implied, concerning the accuracy, completeness, reliability or suitability of this information for any other particular use. The Pinellas County Property Appraiser's Office assumes no liability whatsoever associated with the use or misuse of such information.

FL INT IMP FUND TRE
M H H ENTERPRISES INC LSE
C/O HAMMER & COMPANY PA
9373 SEMINOLE BLVD
SEMINOLE, FL 33772-3145

PRUITT, DEAN A
PRUITT, MARIA L
1336 BAYVIEW DR
CLEARWATER, FL 33756-1232

FL INT IMP FUND TRE
C/O C & T ENTERPRISES INC
9373 SEMINOLE BLVD
SEMINOLE, FL 33772-3145

MADEIRA BEACH, CITY OF
300 MUNICIPAL DR
MADEIRA BEACH, FL 33708-1916

MADEIRA BEACH, CITY OF
300 MUNICIPAL DR
MADEIRA BEACH, FL 33708-1916



AFFIDAVIT OF POSTING

Date: 4/23/2026

Postings for: OLD RZ 2020-03

Before me this day Lisa Schorveman personally appeared. He/she has posted public notices at the locations indicated in the notice document(s).

Lisa Schorveman
Signature

STATE OF FLORIDA
COUNTY OF PINELLAS

Sworn to and subscribed before me this 23 day of April, 2026.

Personally known or produced _____ as identification.



Notary Public Stamp

Mary Ann Hearn
Notary Public

4/23/26
Date

*Copy of public notice is attached.



Plan Review Documents

Ordinance 2026-03, PD to C-4 Rezoning

Planning Commission Meeting May 4, 2026, 6:00 PM

[Ordinance 2026-03, PD to C-4 Rezoning](#)

[Ordinance 2026-03 Business Impact Estimate](#)

[Ordinance 2026-03 Planning Commission \(LPA\) Public Notice](#)

MAJOR SITE PLAN REVIEW SP 2026-02

Neighborhood Information Meeting April 27, 2026, 3:00 PM

[SP 2026-02 Neighborhood Workshop Notice](#)

[Neighborhood Meeting Public Works Building Presentation](#)

Planning Commission Meeting May 4, 2026, 6:00 PM

[SP 2026-02 Planning Commission Public Notice](#)

Application

[SP 2026-02 Application](#)



April 2, 2026

Andrew Morris, AICP
City of Madeira Beach
300 Municipal Drive
Madeira Beach, FL 33708

RE: Review of ordinances from the City of Madeira Beach (ORDINANCE 2026-03)

Dear Andrew,

Thank you for submitting the proposed amendments to the Madeira Beach Code of Ordinances. The amendments are consistent with the Countywide Rules, with comments as follows:

- The proposed rezoning does not result in an increase in density or intensity beyond what is permitted by the Countywide Plan Map designation and is therefore consistent with the applicable standards and criteria of the Countywide Rules.

We recognize that the consistency process is an ongoing one, and if either the County or Forward Pinellas staff has failed to note a matter governed by the consistency process in the course of this review, we will be happy to work with you to resolve any such matter as may be necessary.

If you have any questions, please feel free to call me at 727-464-5679 or email me at ewennick@forwardpinellas.org.

Sincerely,

Emma Wennick

Emma Wennick
Program Planner



Date: May 4, 2026.
To: Planning Commission (Local Planning Agency)
From: Community Development Department
Subject: SP 2026-02 503 150th Avenue Major Site Plan

Applicant: City of Madeira Beach Public Works Department

Property Owner: City of Madeira Beach

Subject Property: 503 150th Avenue Madeira Beach, Fl 33708 (09-31-15-00000-140-0300)

Zoning/Future Land Use: C-4, Marine Commercial/Planned Redevelopment Mixed-Use

Nature of Request: The applicant's request is for site plan approval to build a replacement Public Works Building where one was historically located.

Explanation and Background: In the Madeira Beach Code of Ordinances, Chapter 110 Zoning, Article II. Site Plans require new construction non-residential projects with a building area over 2,001 square feet to be reviewed as a Major Site Plan. The property at 503 150th Avenue has consistently been used by the Public Works Department, grandfathering the existing use to the property. The proposed Public Works building will replace the previous public works building which was demolished in 2013. The proposed Public Works building would make current operations on the property more efficient, and it would not lead to a significant increase in use of the property. The sanitation trucks will still be washed and stored at the leased property on 94th Street.

The new structure will be FEMA compliant, utilizing both dry floodproofing and wet floodproofing designs. Offices will be dry floodproofed, while the bays will be designed as wet floodproofed.

Scope of Review and Submission Contents: Please see attached scope of review and submission checklists. The signage would be handled through a separate permitting process and the signage included is conceptual. The landscaping will be compliant at time of certificate of occupancy (CO).

Staff Recommendation: Staff recommends approval of SP 2026-02 with the following conditions:

- The Impervious Surface Ratio shall not be increased to become more nonconforming. Based on final construction plans for permitting, if necessary, staff can utilize Sec. 86-29, (f)(3) which allows an Administrative Waiver to accommodate Sanitation Service for dumpsters and traffic circulation.

- An asset hurricane evacuation plan will be required at time of permitting.

Attached Documents:

- Scope of Review and Submission Contents Checklists
- Site Plan
- Architectural Elevations
- Public Notice
- Neighborhood Meeting Notice
- Neighborhood Meeting Presentation
- Affected Parties

MADEIRA BEACH PUBLIC WORKS BUILDING

SITE DEVELOPMENT PLAN

PINELLAS COUNTY, FL
FEBRUARY 12, 2026

PREPARED FOR:
OWNER/DEVELOPER

CITY OF MADEIRA BEACH

505 150TH AVENUE
MADEIRA BEACH, FL 33708

UTILITY PROVIDERS:

811 TICKET#: 014604613
REV#: 000
TAKEN: 01/14/2026

KEVIN TALECKI / MIKE GAMBOA
ATTY/T
2901 W BUSCH BLVD, SUITE 711
TAMPA, FL 33618
PHONE: (610) 200-3365

DUFFY MCCLELLAND
CHARTER COMMUNICATIONS
2850 S. LECANTO HIGHWAY
LECANTO, FL 34461
PHONE: (352) 527-2189

DANIEL DILLIELO
FRONTIER COMMUNICATIONS
3712 W WALNUT ST
TAMPA, FL 33607
PHONE: (941) 504-9662 EX: 5328

DUKE'S CUSTOMER SERVICE CEN
DUKE ENERGY
3300 EXCHANGE PL
LAKE MARY, FL 32746
PHONE: (407) 629-1010

DANIEL DILLIELO
FRONTIER COMMUNICATIONS
3712 W WALNUT ST.
TAMPA, FL 33607
PHONE: (941) 504-9662

LES GUTHRIE
IQ FIBER (FL) LLC
8787 PERIMETER PARK BLVD
JACKSONVILLE, FL 32216
PHONE: (407) 722-2300

MONICA HUTTO
MCI
10300 OLD ALABAMA RD
ALPHARETTA, GA 00000
PHONE: (407) 996-1183

TOM MENKE
PINELLAS COUNTY UTILITIES
14 S FT HARRISON
CLEARWATER, FL 33756
PHONE: (727) 453-3611

BRIANA VELEZ
TECO PEOPLE GAS- ST PETERSBURG
8416 PALM RIVER RD,
TAMPA, FL 33619
PHONE: (813) 275-3700 EX:8326

JOSEPH PARRISH
PINELLAS COUNTY HWY/ENG
22211 US HWY 19 N BLDG #1
CLEARWATER, FL 33765
PHONE: (813) 302-0800

PROJECT CONTACTS:

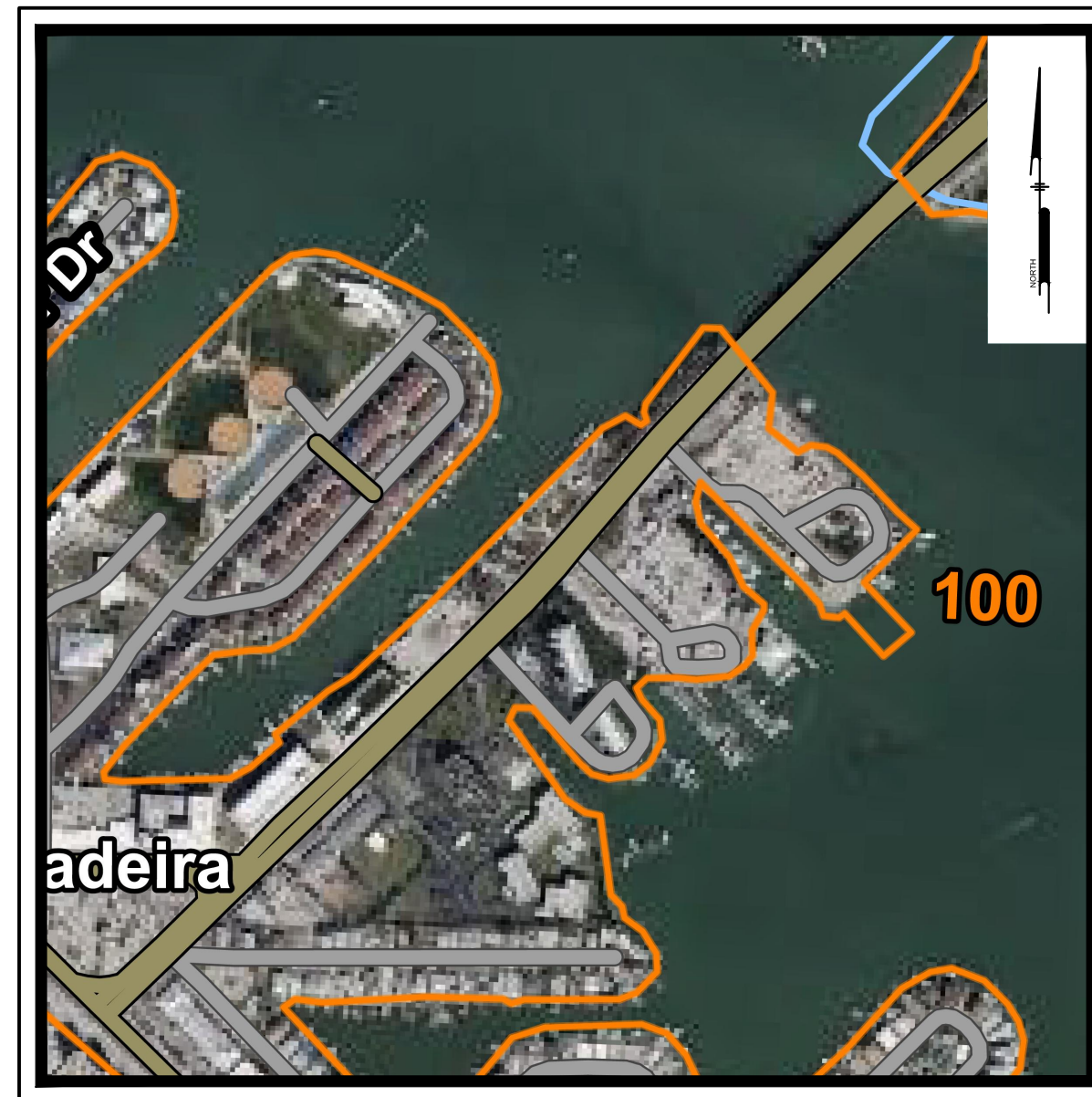
ENGINEER:
JASON SHERIDAN, P.E.
PENNONI
5755 RIO VISTA DRIVE
CLEARWATER, FL 33760
PHONE: (727) 325-1257

SURVEYOR:
GEORGE R. MARTIN, P.S.M.
BULLSEYE SURVEYING, INC
2198 NIE COACHMAN, UNIT F
CLEARWATER, FL 33762
PHONE: (727) 475-8088

ARCHITECT:
SOFARELLI & ASSOCIATES ARCHITECTURE
6365 142ND AVENUE N.
CLEARWATER, FL 33760

OWNER/APPLICANT:
CITY OF MADEIRA BEACH
505 150TH AVENUE
MADEIRA BEACH, FL 33708
PHONE: (727) 543-8154

Sheet Description	Sheet Title
CS0001	Cover Sheet
CS0201	Existing Conditions Plan
CS1000	Zoning Plan
CS1001	Site Plan
CS1201	Circulation Plan
CS1501	Grading And Drainage Plan



SOILS MAP
Scale: 1" = 1000'

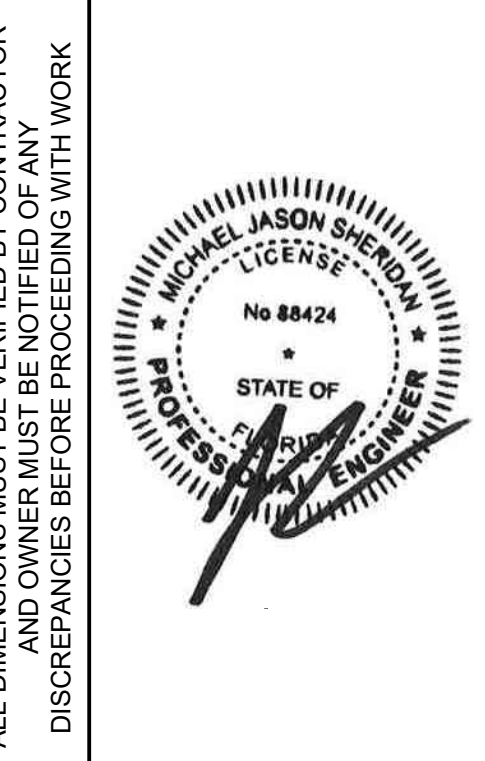


LOCATION MAP
Scale: 1" = 2000'



FEMA FIRM MAP
Scale: 1" = 2000'

Item 58.
Pennonni
FLORIDA COA 7819
PENNONI ASSOCIATES INC.
5755 Rio Vista Drive
Clearwater, FL 33760
T 727.536.8772 F 727.538.9125



MADEIRA BEACH PUBLIC WORKS BUILDING
505 150TH AVE
ST. PETERSBURG, FL 33708
COVER SHEET
CITY OF MADEIRA BEACH
505 150TH AVENUE
MADEIRA BEACH, FL 33708

NO.	DATE	REVISIONS	BY

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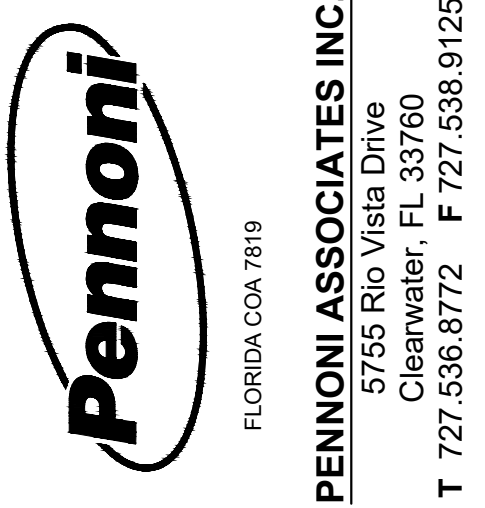
PROJECT: MDBCH25001
DATE: FEBRUARY 2026
DRAWING SCALE: NTS
DRAWN BY: RJM
APPROVED BY: JS

CS0001
SHEET 1 OF 14

U:\Projects\MDBCH25001 - Madeira Beach Public Works\BIDDING\SET\CS0001.dwg PLOTTED: 4/22/2026 10:01:41 AM BY: Ryan Humber PLOTTED: Pennonni KCS-48



TICKET NUMBER(S):



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK



MADEIRA BEACH PUBLIC WORKS BUILDING
503 150TH AVE
ST. PETERSBURG, FL 33708

EXISTING CONDITIONS PLAN

CITY OF MADEIRA BEACH
505 150TH AVENUE
MADEIRA BEACH, FL 33708

NO.	DATE	REVISIONS	BY

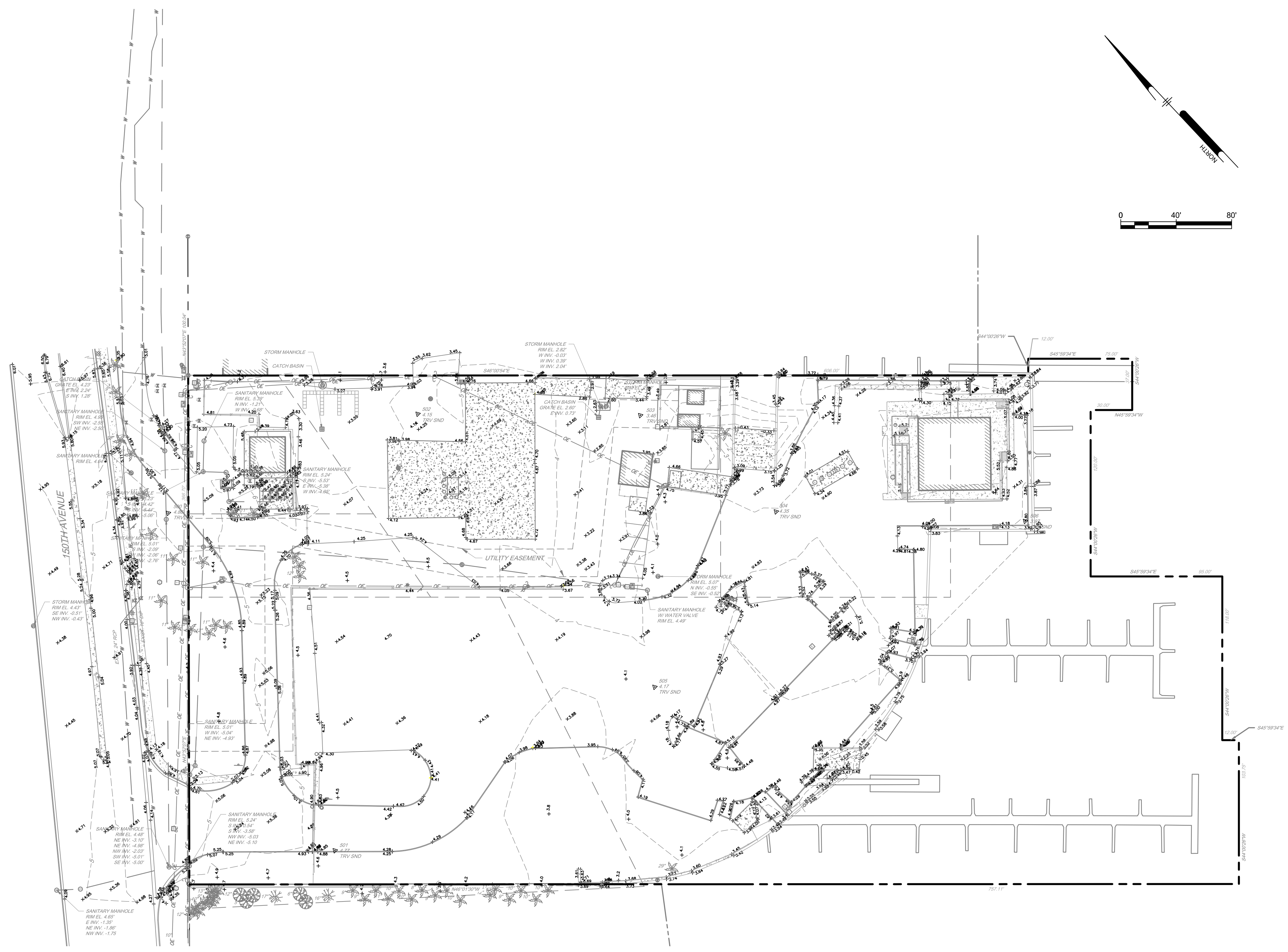
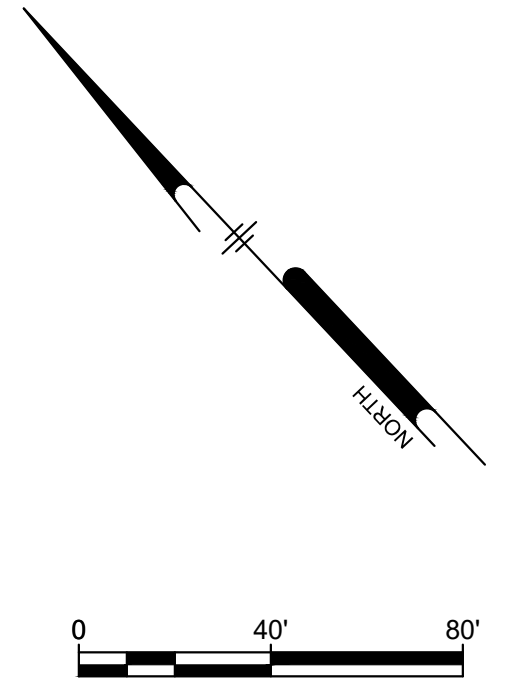
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PROJECT	MDBCH25001
DATE	FEBRUARY 2026
DRAWING SCALE	1"=40'
DRAWN BY	RJM
APPROVED BY	JS

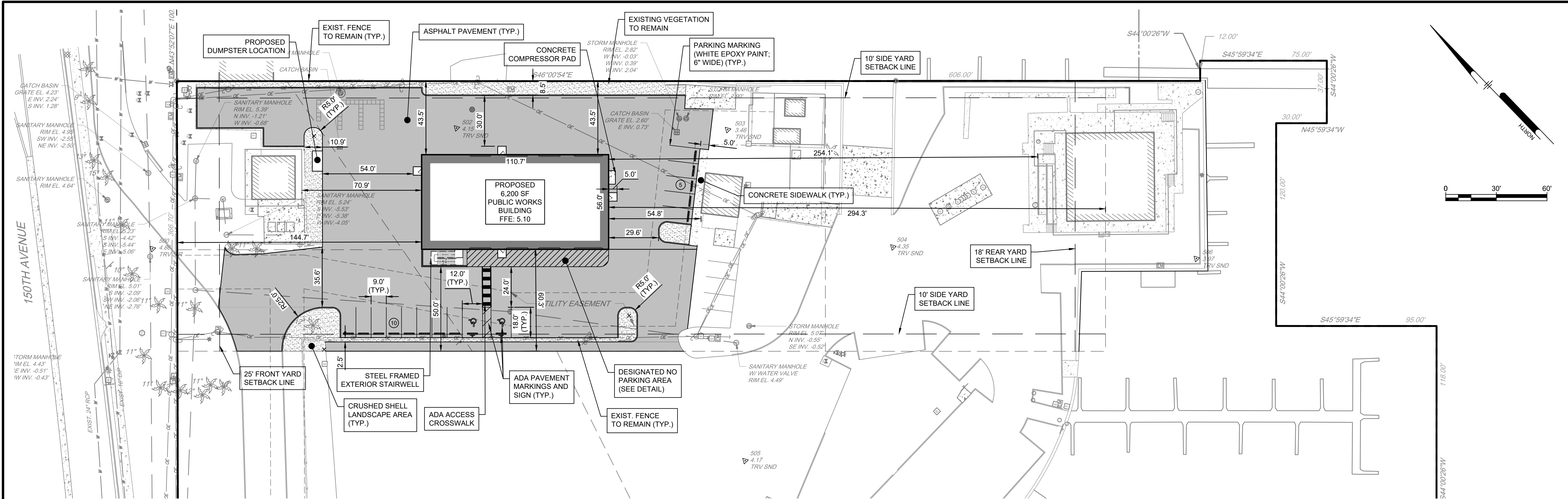
EXISTING LEGEND

- PROPERTY LINE
- PROPERTY ADJOINING
- LEGAL RIGHT-OF-WAY
- EASEMENT
- FLOOD PLAIN
- SECTION
- PROPERTY MARKER
- EXISTING BUILDING
- EXISTING CURB
- EXISTING CURB DEPRESSION
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
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- EXISTING MINOR CONTOUR
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- EXISTING SPOT ELEVATION
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- EXISTING NATURAL GAS, UNDERGROUND
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- EXISTING STORM SEWER, UNDERGROUND
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- BORING LOCATION
- EXISTING FLAG POLE
- EXISTING LIGHT
- EXISTING LIGHT POLE SINGLE ARM
- EXISTING ASPHALT PAVEMENT
- EXISTING SIDEWALK / CONCRETE

- GENERAL NOTES:**
- BOUNDARY AND TOPOGRAPHICAL INFORMATION OBTAINED FROM FIELD SURVEY PERFORMED BY BULLSEYE SURVEYING INC.
 - LOCATIONS OF ON AND OFF SITE UTILITIES AS SHOWN ARE APPROXIMATE AND MAY OR MAY NOT BE COMPLETE. THE NATURE AND EXACT LOCATION OF EXISTING UTILITIES SHOULD BE VERIFIED PRIOR TO INITIATING ANY ACTIVITY THAT MAY AFFECT THEIR USE OR LOCATION.
 - THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM EXISTING UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED AND FROM SURFACE OBSERVATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
 - IN ACCORDANCE WITH "UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT" FLORIDA STATUTES, CHAPTER 556, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE SUNSHINE ONE CALL SYSTEM, INC. (800-432-4770) A MINIMUM OF 2 WORKING DAYS BEFORE THE START OF EXCAVATION.
 - THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.
- SURVEY NOTES:**
- BASIS OF BEARING IS THE SOUTHEASTERLY RIGHT OF WAY OF THE 150TH AVENUE (TOM STUART CAUSEWAY), BEING N43°51'28"E. (STATE PLAN COORDINATE SYSTEM, FLORIDA WEST ZONE, NORTH AMERICAN DATUM, 1983 ADJUSTMENT)
 - WARRANTY DEED, RECORDED IN OFFICIAL RECORDS BOOK 17229, PAGE 553, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.
 - ELEVATIONS SHOWN HEREON BASED ON NATIONAL GEODETIC SURVEY BENCHMARK, "MADEIRA BEACH". (NORTH AMERICAN VERTICAL DATUM 1988).



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- GENERAL NOTES:**
- 1: CITY TO PROVIDE CODE COMPLIANT LANDSCAPING PRIOR TO CERTIFICATE OF OCCUPANCY (CO). IF REQUIRED, A CODE COMPLIANT UNDERGROUND IRRIGATION SYSTEM WILL BE PROVIDED BY THE CITY AS WELL.
 - 2: LIGHTING WILL BE REVIEWED AT TIME OF PERMITTING.
 - 3: ENCLOSED YARD IS GREATER THAN 200' FROM RESIDENTIAL USE.
 - 4: ALL SIGNAGE TO COMPLY WITH LDR REQUIREMENTS AND WILL BE PERMITTED SEPARATELY BY A SIGN CONTRACTOR.

SITE DATA TABLE

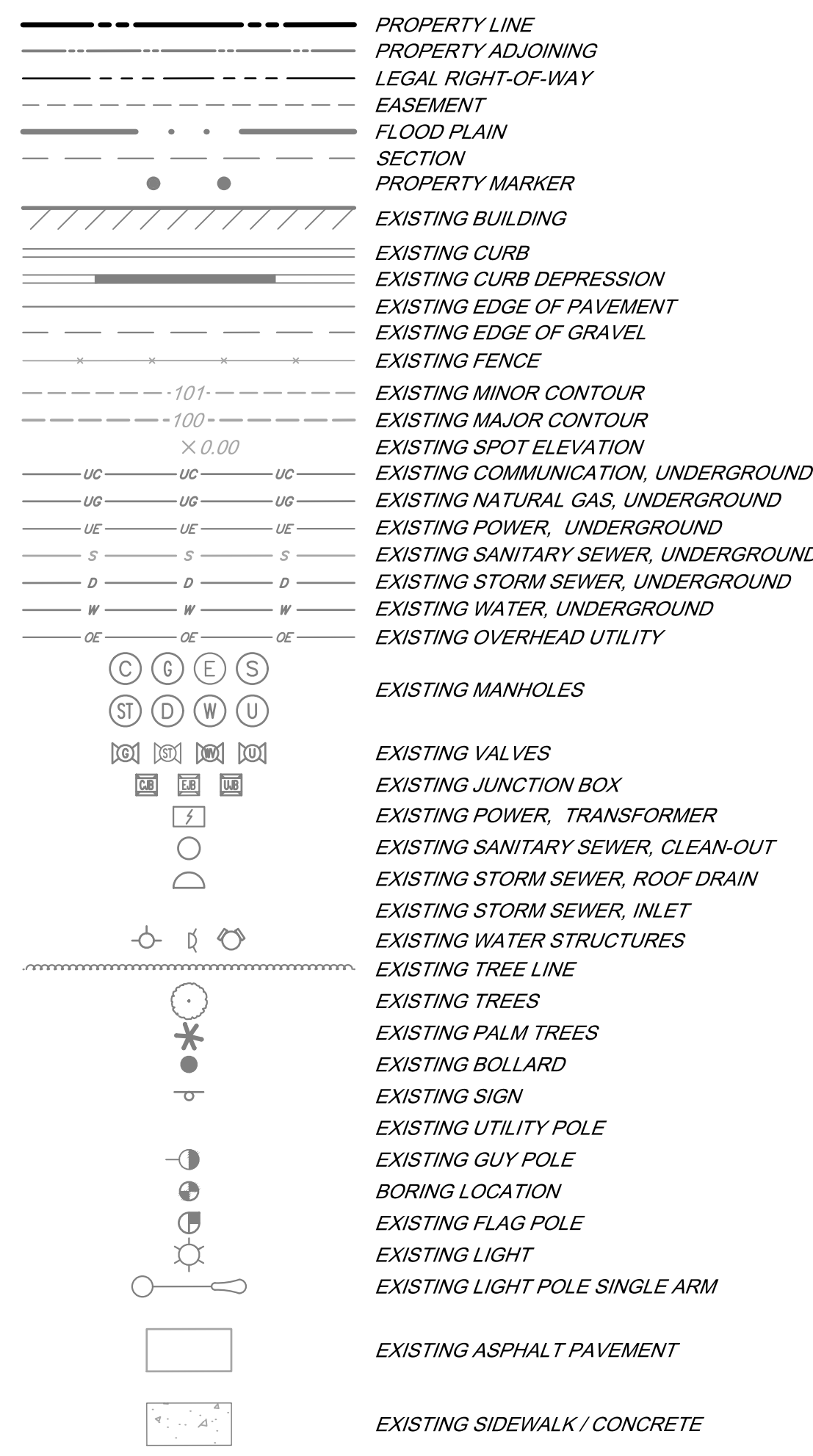
ADDRESS: 503 150TH AVE, ST. PETERSBURG, FL 33708

PARCEL #: 09-31-15-00000-140-0300					
ZONING: MARINE COMMERCIAL (C-4)					
FLOOD ZONE(S): VE AND COASTAL A					
TOTAL PARCEL AREA - 87,187 SQ FT. (2.00 ACRES)					
FUTURE LAND USE CLASSIFICATION: PLANNED REDEVELOPMENT MIXED USE (PR-MU)					
SECTION	DEVELOPMENT AREA	REQUIRED/ALLOWABLE	EXISTING	PROPOSED	
110	USE REGULATIONS		PUBLIC SERVICE FACILITY	PUBLIC SERVICE FACILITY	
110-351	DIMENSIONAL STANDARDS	MINIMUM FRONT YARD (NW)	25 FT	41 FT	144 FT
		MINIMUM REAR YARD (SE)	18 FT	N/A	294 FT
		MINIMUM SIDE YARD (NE)	10 FT	17 FT	43 FT
		MINIMUM SIDE YARD (SW)	10 FT	68 FT	60 FT
		MAXIMUM BUILDING HEIGHT	3 STORIES ABOVE BFE	N/A	17.75 FT
		MAXIMUM IMPERVIOUS COVERAGE (SF)	61,031 SF	82,141 SF	82,141 SF
		MAXIMUM IMPERVIOUS COVERAGE (%)	0.70	0.94	0.94
F.A.R.	0.55	0.04	0.11		
SQUARE FEET OF PAVING	N/A	47,068 SF	47,068 SF		

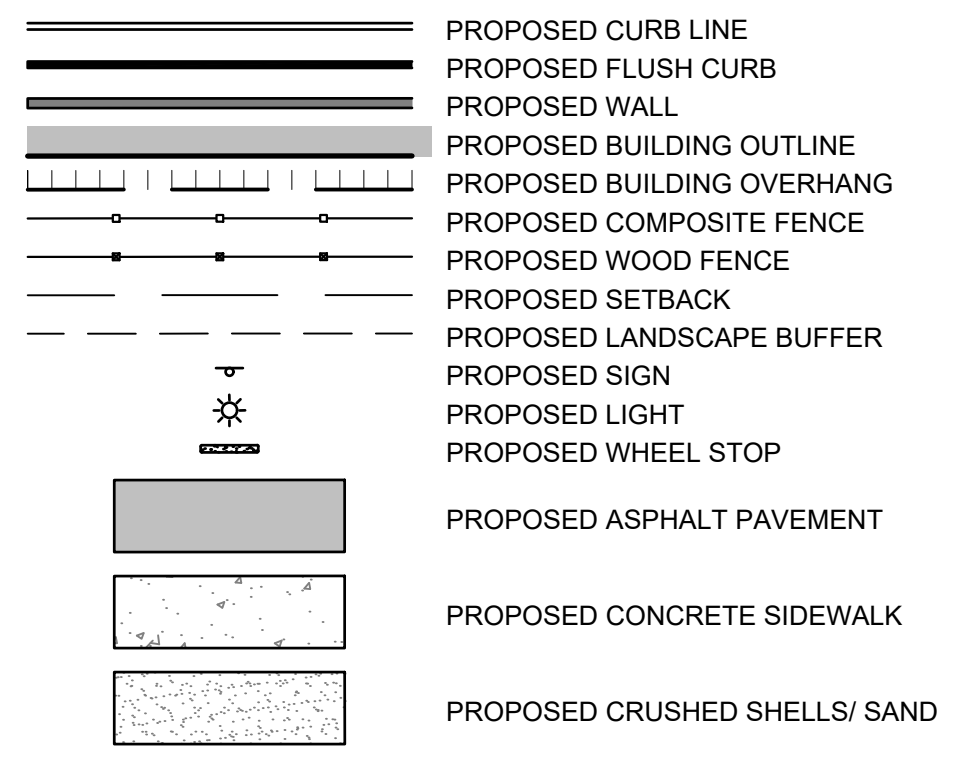
PARKING DATA TABLE

PARKING REQUIREMENTS			
	REQUIRED	ALLOWABLE	PROPOSED
REQUIRED SPACES	1 SPACE PER 1,000 SQUARE FEET GFA	13,086/1,000 = 14 SPACES	15 SPACES
REQUIRED ADA SPACES	1 ADA SPACE PER 25 PARKING SPACES	1 ADA SPACE	2 ADA SPACES (VAN ACCESSIBLE)
REQUIRED LOADING	PROPOSED BUILDING OF < 8,000 SF = 1 LOADING BERTH	1 LOADING BERTH	1 LOADING BERTH

EXISTING LEGEND



PROPOSED LEGEND



Pennoni
 FLORIDA COA 7819
PENNONI ASSOCIATES INC.
 5755 Rio Vista Drive
 Clearwater, FL 33760
 T 727.536.8772 F 727.538.9125

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MADEIRA BEACH PUBLIC WORKS BUILDING
 503 150TH AVE
 ST. PETERSBURG, FL 33708

ZONING PLAN

CITY OF MADEIRA BEACH
 505 150TH AVENUE
 MADEIRA BEACH, FL 33708

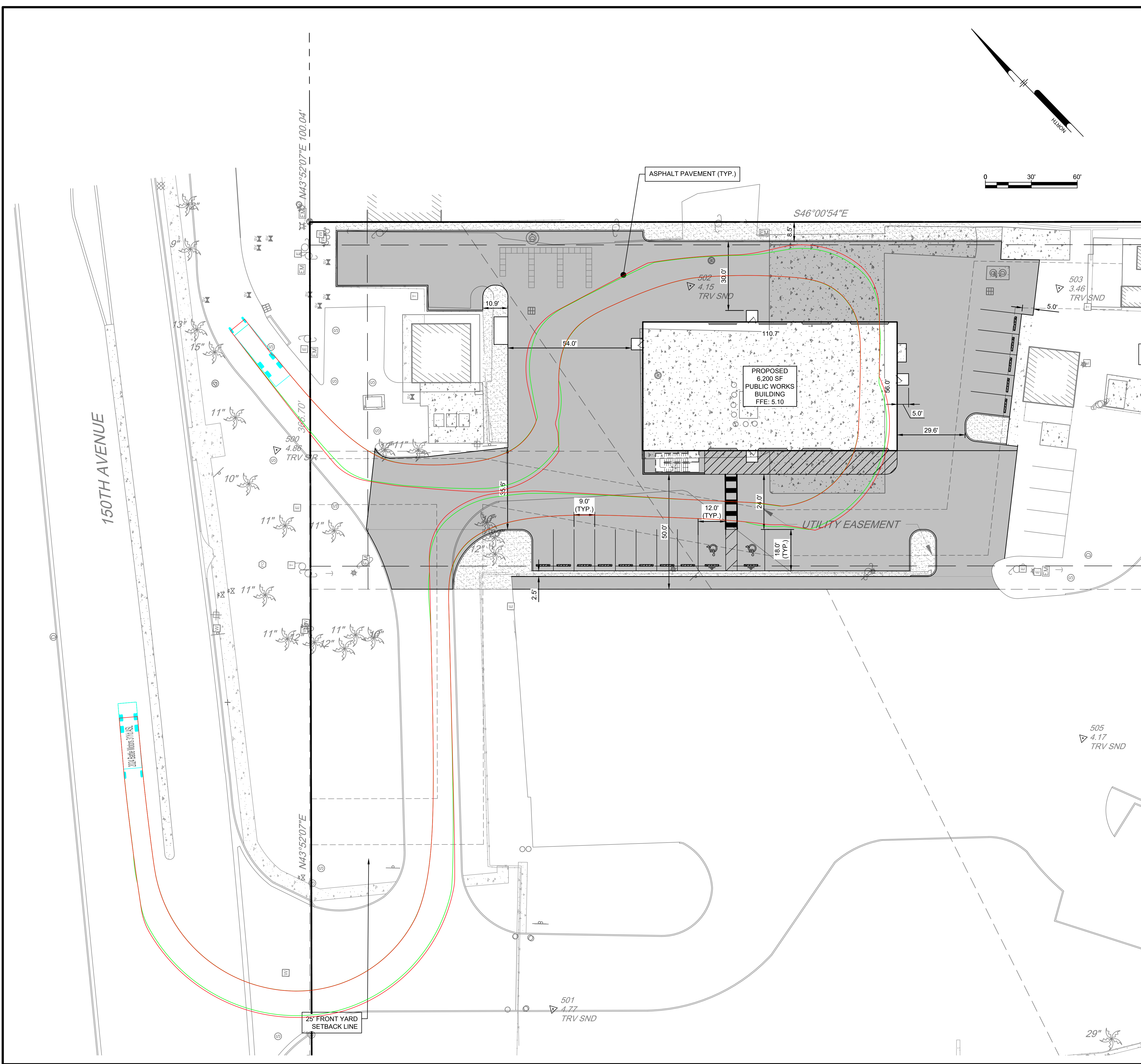
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PROJECT: **MDBCH25001**
 DATE: **FEBRUARY 2026**
 DRAWING SCALE: **1"=20'**
 DRAWN BY: **RJM**
 APPROVED BY: **JS**

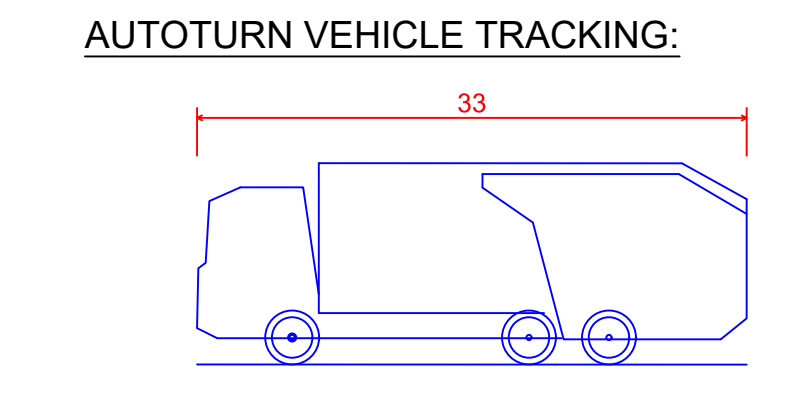
CS1000
 SHEET **5** OF **14**

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 PLOTTED: 4/22/2025 11:01 AM BY: Ryan Haines PLOTTED: Pennington K25.dwg



- ### EXISTING LEGEND
- PROPERTY LINE
 - PROPERTY ADJOINING
 - LEGAL RIGHT-OF-WAY
 - EASEMENT
 - FLOOD PLAIN
 - SECTION
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 - EXISTING COMMUNICATION, UNDERGROUND
 - EXISTING NATURAL GAS, UNDERGROUND
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 - EXISTING SIDEWALK / CONCRETE

- ### PROPOSED LEGEND
- PROPOSED CURB LINE
 - PROPOSED FLUSH CURB
 - PROPOSED WALL
 - PROPOSED BUILDING OUTLINE
 - PROPOSED BUILDING OVERHANG
 - PROPOSED COMPOSITE FENCE
 - PROPOSED WOOD FENCE
 - PROPOSED SETBACK
 - PROPOSED LANDSCAPE BUFFER
 - PROPOSED SIGN
 - PROPOSED LIGHT
 - PROPOSED WHEEL STOP
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED CRUSHED SHELLS/ SAND
 - PROPOSED WATER MAIN
 - PROPOSED SANITARY SEWER
 - PROPOSED UNDERGROUND ELECTRIC
 - PROPOSED UNDERGROUND GAS
 - PROPOSED UNDERGROUND TELCOM
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
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 - PROPOSED AREA DRAIN
 - PROPOSED DRAINAGE INLET
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MADEIRA BEACH PUBLIC WORKS BUILDING
 503 150TH AVE
 ST. PETERSBURG, FL 33708

CIRCULATION PLAN

CITY OF MADEIRA BEACH
 505 150TH AVENUE
 MADEIRA BEACH, FL 33708

NO.	DATE	REVISIONS	BY

PROJECT: **MDBCH25001**
 DATE: **FEBRUARY 2026**
 DRAWING SCALE: **1"=20'**
 DRAWN BY: **JS**
 APPROVED BY: **JS**

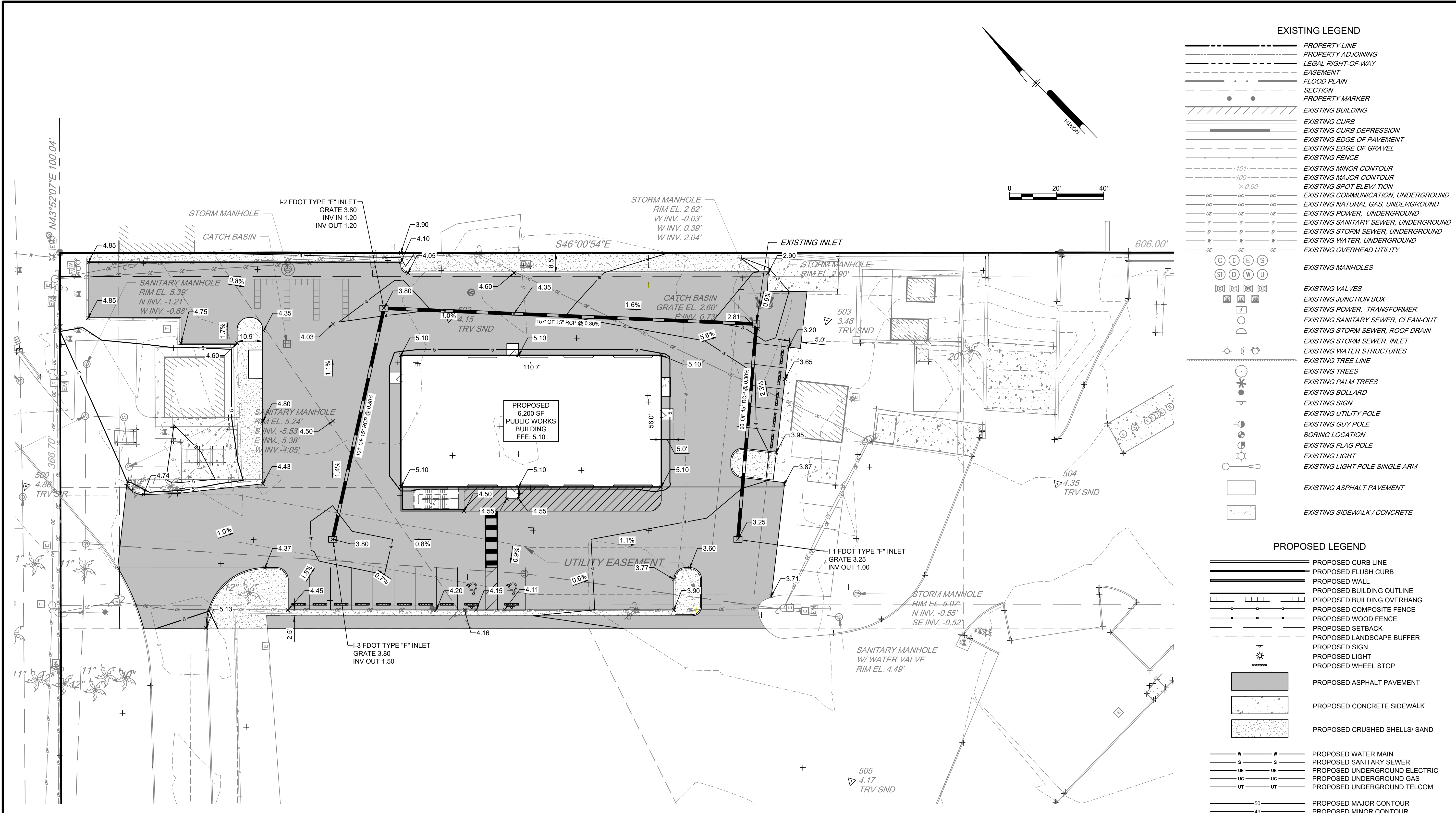
CS1201

SHEET **7** OF **14**

NO.	DATE	REVISIONS	BY

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DATE	FEBRUARY 2026
DRAWING SCALE	1"=20'
DRAWN BY	RJM
APPROVED BY	JS



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- PROPOSED LEGEND**
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 - PROPOSED DRAINAGE INLET
 - PROPOSED DRAINAGE MANHOLE
 - PROPOSED SANITARY MANHOLE

GRADING ABBREVIATIONS:

- BC = BOTTOM OF CURB
- BS = BOTTOM OF STAIR
- BW = BOTTOM OF WALL
- FC = FLUSH CURB
- GB = GRADE BREAK
- HP = HIGH POINT
- LP = LOW POINT
- TC = TOP OF CURB
- TS = TOP OF STAIR
- TW = TOP OF WALL

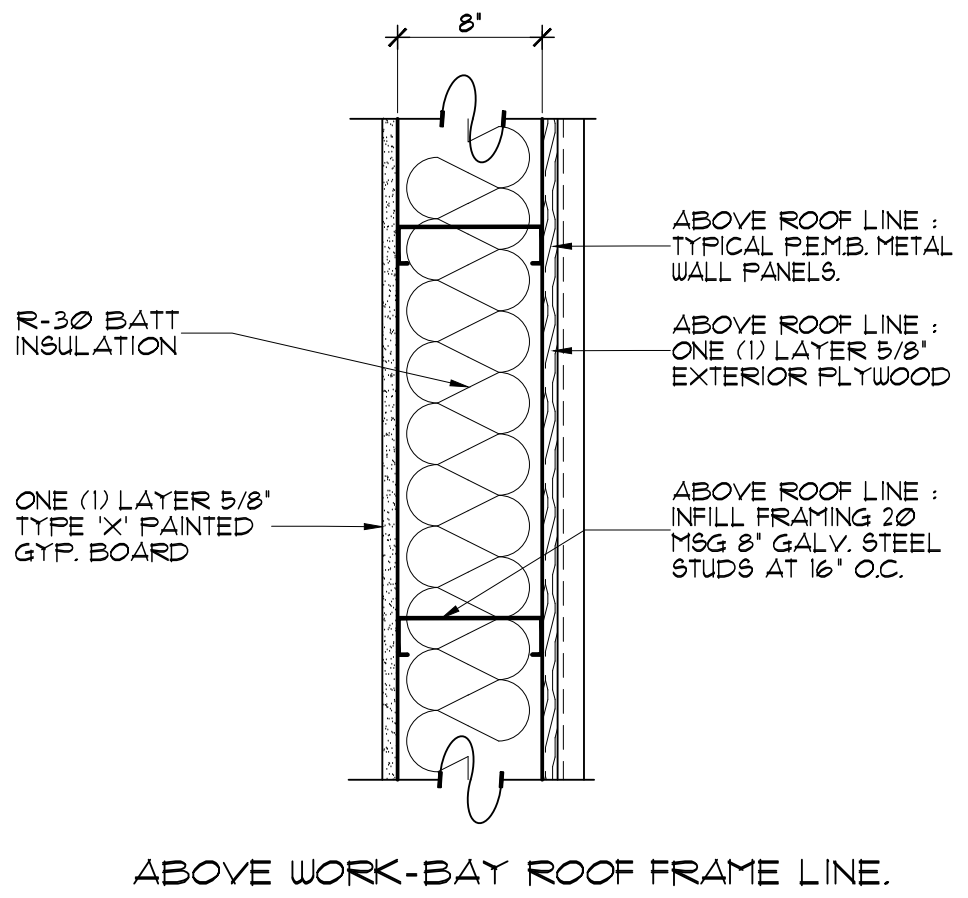
GRADING NOTES:

1. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS. ALL EXISTING UNDERGROUND UTILITIES SHALL BE REMOVED OR RELOCATED. THE PREPARED SUBGRADE SHALL BE PROOF ROLLED WITH A SMOOTH-DRUM VIBRATING ROLLER TO DELINEATE SOFT/UNSTABLE AREAS AND COMPACT SOILS DISTURBED DURING EXCAVATION OPERATIONS. AREAS WHICH EXHIBIT INSTABILITY SHALL BE UNDERCUT AND REPLACED WITH LOAD-BEARING FILL.
2. MINIMUM PAVEMENT GRADE SHALL BE 1.0% SLOPE UNLESS NOTED OTHERWISE.
3. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
4. COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
6. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
7. SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
8. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AREA AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
9. ELEVATIONS SHOWN HEREON BASED ON NATIONAL GEODETIC SURVEY BENCHMARK, XXXXXX "MADEIRA BEACH", HAVING AN ELEVATION OF XXXXX FEET, (NORTH AMERICAN VERTICAL DATUM 1988).

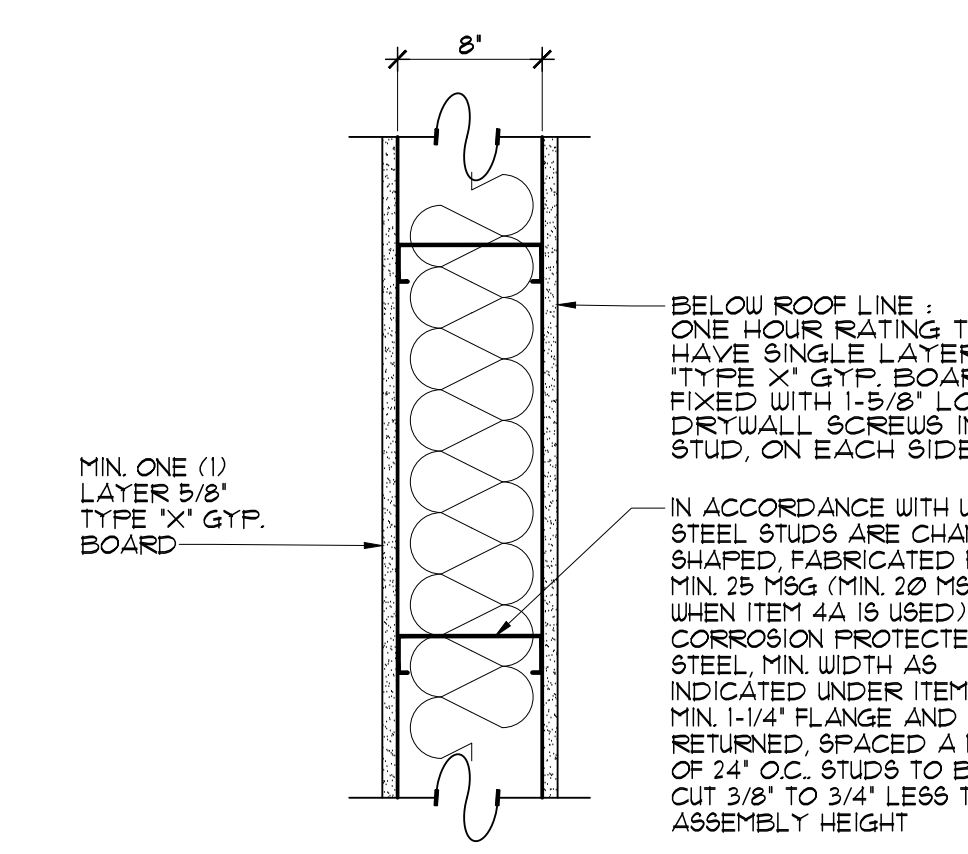
GENERAL NOTES

- 1. REFER TO SHEET A-5 FOR DIMENSIONS.
2. ALL G.W.B. TO RECEIVE SLICK LEVEL FIVE (5) FINISH UNDER PAINT AND LEVEL FOUR (4) FINISH UNDER WALL COVERING.
3. TYPICAL SUBSTRATES FOR INTERIOR WALLS SHALL BE AS FOLLOWS:
TOILETS: 5/8" DUROCK CEMENT BOARD
ALCOVES AND SALES AREA: 5/8" GYPSUM BOARD
4. EQUIPMENT SUPPLIER TO PLACE ALL NEW EQUIPMENT.
5. G.C. TO MAKE ALL MECHANICAL, PLUMBING AND ELECTRICAL CONNECTIONS FOR ALL EQUIPMENT AS INDICATED ON EQUIPMENT PLAN. COORDINATE WITH EQUIPMENT.
6. G.C. TO VERIFY CLEARANCES FOR INSTALLING EQUIPMENT.
7. REFER A-xy FOR DOOR MANEUVERING CLEARANCES DETAILS.
8. REFER TO SHEET A-xy AND A-xy FOR DOOR AND WINDOW SCHEDULES.
9. G.C. SHALL PROVIDE ADEQUATE BLOCKING AS REQUIRED THROUGHOUT: IN RESTROOMS FOR GRAB BARS, LAVATORIES, HAND DRYERS, MIRRORS, PAPER TOWEL DISPENSERS AND OTHER ACCESSORIES UNLESS OTHERWISE NOTED IN SERVICE AREA FOR YOU, WALL SHELVES, ETC.
10. BRACE STUDS ABOVE CEILING AS REQUIRED TO PROVIDE RIGID WALLS THROUGHOUT, SEE STRUCTURAL DRAWINGS.
11. USE APPROVED CAULKING BETWEEN COUNTERTOPS AND WALLS AND WERE REQUIRED PER LOCAL AND COUNTY HEALTH DEPARTMENT REQUIREMENTS.
12. GENERAL CONTRACTOR SHALL COORDINATE WITH THE EQUIPMENT AND DRYWALL INSTALLERS TO ENSURE THAT ALL ELECTRICAL WIRING, WATER LINES AND REFRIGERATION LINES HAVE BEEN INSTALLED PROPERLY ON ALL EQUIPMENT PRIOR TO THE HANGING OF ANY DRYWALL. REFER TO THE FAMOUS DATE PROJECT MANAGER FOR ANY EQUIPMENT LOCATION CLARIFICATIONS.
13. PROVIDE 5/8" MOISTURE-RESISTANT GYPSUM WALLBOARD THROUGHOUT RESTROOMS, LOUNGE AND WHERE REQUIRED.
14. ALL MILLWORK / CASEWORK ARE BY OWNER / VENDOR, UNO.
15. GENERAL CONTRACTOR TO VERIFY AND COORDINATE ALL PLUMBING AND ELECTRICAL ROUGH-INS REQUIREMENTS AND LOCATIONS WITH EQUIPMENT SUPPLIER.
16. G.C. TO NOTIFY ARCHITECT IN WRITING WITH ANY DISCREPANCIES UPON DISCOVERY PRIOR TO COMMENCING WITH ANY WORK.
17. REFER TO PLUMBING AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
18. ALL INTERIOR DOORS ARE TO HAVE A MIN. 2-1/2" JAMB AT HINGE SIDE OF DOOR, UNO.
19. THIS PLAN IS FOR FIXTURE PLACEMENT PURPOSES ONLY.
20. CMU WALL CONSTRUCTION SHALL BE RUNNING-BOND CONSTRUCTION AND VERTICALLY REINFORCED ACCORDING TO THE SCHEDULE.
21. NO.6 REINFORCEMENT BARS SHALL BE PLACED IN GROUT-FILLED CELLS. SPACING OF VERTICAL REINFORCEMENT BARS SHALL NOT EXCEED 24" O.C. - REFER TO STRUCTURAL SHEETS.
22. HORIZONTAL CMU WALL REINFORCEMENT SHALL BE 3 Ga. SPACED AT 16" O.C.
23. VERTICAL REINFORCEMENT BELOW AND ABOVE OPENINGS SHALL MATCH ADJACENT WALLS VERTICAL REINFORCEMENT.
24. CMU WALL REINFORCEMENT SHALL BE DOUELED INTO FOOTING AND TIE BEAMS / LINTELS.
25. ALL CMU WALL BELOW GRADE SHALL BE FULLY GROUTED, TYPICAL.
26. ALL FINISH MATERIALS, PAINT COLORS AND FINISH COLORS, ETC. THROUGHOUT THIS SET OF DOCUMENTS ARE SUBJECT TO CHANGES. REFER TO A FAMOUS DATE REPRESENTATIVE FOR THE MOST UPDATED SPECIFICATIONS.

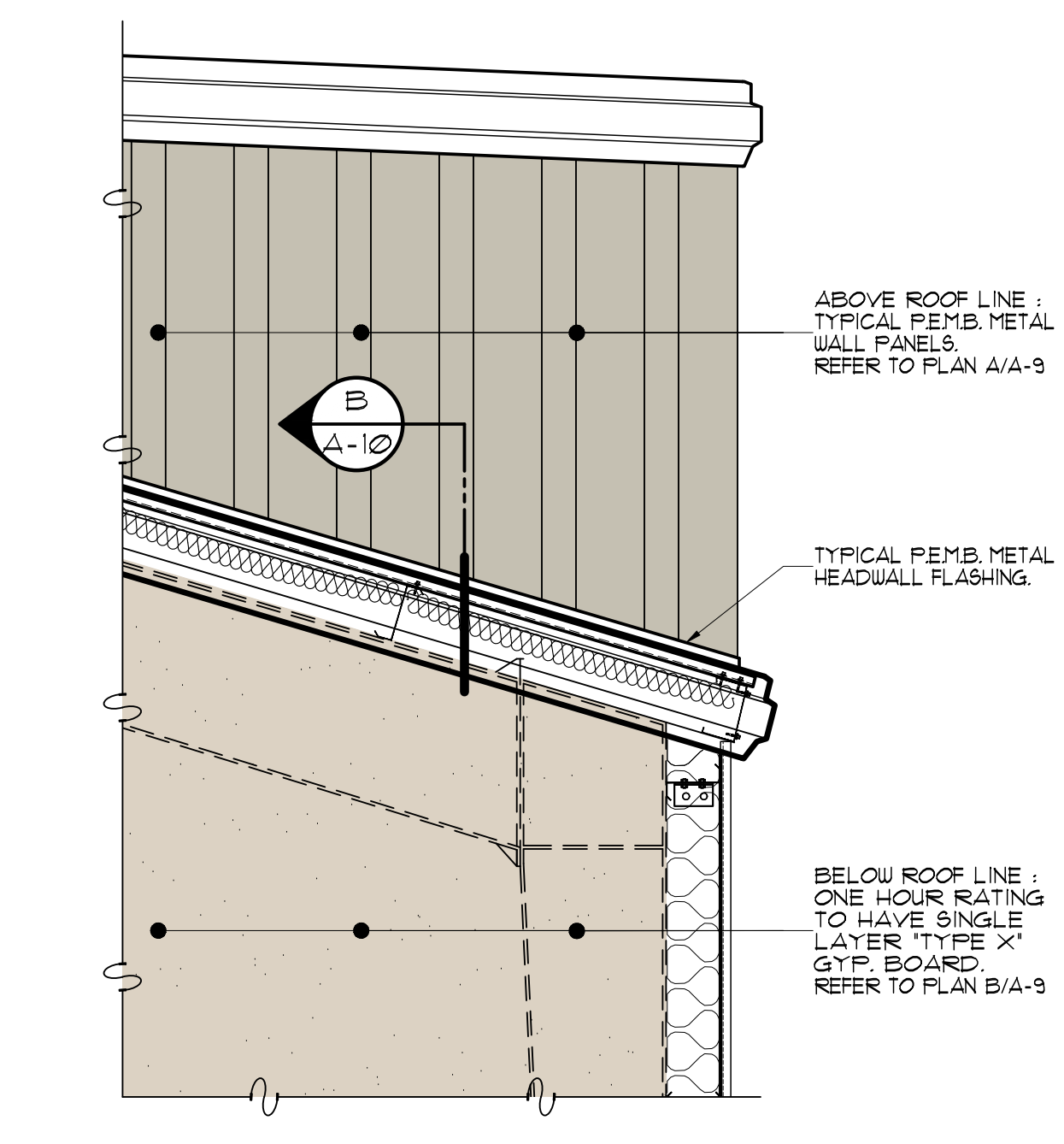
NOTE: OWNER SELECTED MILLWORK. SUBMIT SHOP DRAWINGS.



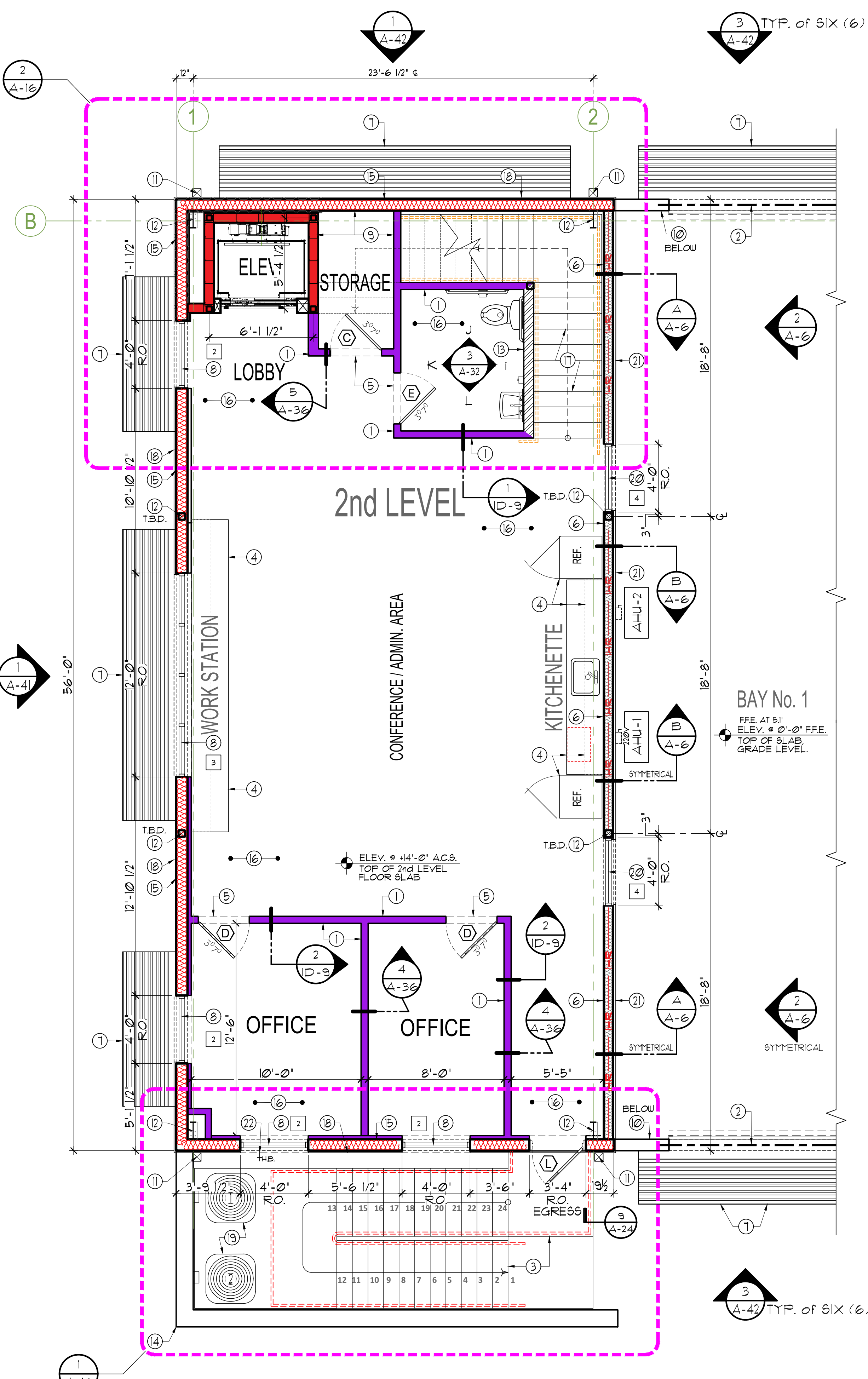
PLAN DETAIL A-6 SCALE: 1-1/2" = 1'-0"



PLAN DETAIL B SCALE: 1-1/2" = 1'-0"



PARTIAL ELEVATION A-6 SCALE: 1-1/2" = 1'-0"



2nd LEVEL FLOOR PLAN SCALE: 1/4" = 1'-0"

SPECIAL NOTES

- 1. ANY PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE PROTECTED AS PER NFPA 101, SECTION 8.3.5.
2. G.C. SHALL INSTALL MIN. 12" HIGH ADDRESS/UNIT NUMBERS AT FRONT ENTRY AND MIN. 6" HIGH ADDRESS/UNIT NUMBERS ON BACK DOOR.
3. G.C. SHALL LABEL ANY SPECIAL ROOMS (I.E., ELECTRICAL ROOM, MECHANICAL ROOM, FACP) WITH MIN. 6" HIGH LETTERS.

NOTE

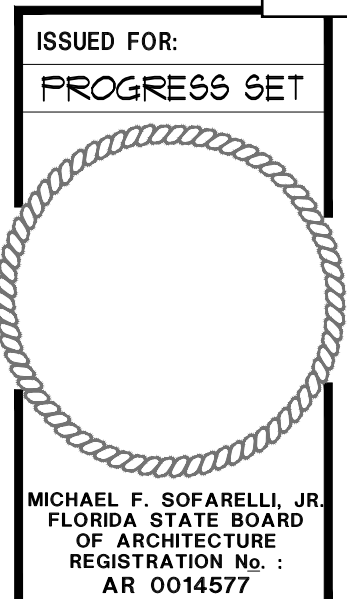
- (X) INDICATES DOOR KEY NOTE. REFER TO SHEET A-39
(X) INDICATES WINDOW KEY NOTE. REFER TO SHEET A-31
(X) INDICATES KEY NOTE(S). REFER TO SHEET A-xyz

WALL LEGEND

Table with 2 columns: Wall Type and Description. Includes reinforced exterior masonry walls, interior CMU walls, mtl. stud walls, and exterior masonry walls.

FL. PLN. KEY NOTES

- 1. INDICATES NON-BEARING INTERIOR STUD WALL CONSISTING OF 5/8" GYPSUM WALL BOARD ON GALV. 1/2" HAT CHANNEL AT 16" O.C. WITH RIGID INSULATION IN CAVITIES - EXTEND INSULATION AND GYPSUM WALL BOARD A MIN. OF 6" ABOVE CEILING.
2. OVER MASONRY OPENING USE PRE-CAST CONC. U-LINTEL WITH MIN. (1) #5 RE-BAR ON BOTTOM, WITH K.O. BLOCK ABOVE, ALL FILLED WITH CEMENT GROUT. REFER TO STRUCTURAL SHEETS FOR VERTICAL RE-BAR PLACEMENT IN FILLED CELLS.
3. STEEL FRAMED STAIRS WITH CONC. IN PAN 1" W. TREADS, (1" RISERS). REFER TO DETAIL SHEETS.
4. MILLWORK, SHELVING, APPLIANCES ETC. REFER TO INTERIOR DESIGN (I.D.) DRAWINGS.
5. NON LOAD BEARING HEADER
6. INDICATES MIN. ONE (1) HOUR FIRE RATED INTERIOR WALL TO UNDERSIDE OF DECK.
7. CUSTOM ALUMINUM ARBOR / AWNING STRUCTURE
8. STOREFRONT WINDOW SYSTEM - REFER TO PLANS AND SCHEDULES.
9. 5/8" PLYWOOD IN LIEU OF SHEET ROCK
10. INDICATES TYPICAL 8"X16" CMU WALL WITH NO. 6 VERT. REBAR IN GROUT FILLED CELL AT 24" O.C. WITH CONTINUOUS HORIZONTAL LADDER TYPE JOINT REINFORCING EVERY THIRD COURSE. EXTERIOR SURFACE TO BE 5/8" (3) THREE COAT CEMENTITIOUS FINISH TO BE DETERMINED. REFER TO ELEVATIONS, SECTIONS AND STRUCTURAL SHEETS.
11. INDICATES A MIN. OF GALV. SM. 6" X 6" DOWNSPOUT. PAINT TO MATCH ADJACENT WALL SURFACE. PROVIDE GALV. SM. STRAPS AT 6" O.C. (MIN. OF 3 PER DS.)
12. P.E.M.B. STRUCTURAL STEEL FRAME, TYPICAL.
13. 6" GALV. MTL. STUD WALL FOR PLUMBING STACKS.
14. AT TOP OF (T.O.) SCREENING WALL, PROVIDE ONE CONT. COURSE KNOCK-OUT BLOCK TIE BEAM WITH HORIZ. #5 REBAR FILLED WITH MIN. 3000 P.S.I. PUMP MIX. TYP. - REFER TO STRUCTURAL SHEETS.
15. UNO - 8" DEEP 1/2 GAGE TWO SPAN MAX LAP 'ZEE' WIND GIRT @ 4'-0" O.C. (MAX.). THIS SIDE SHALL HAVE END TO END FRAMING INTO ADJACENT COLUMN STRUCTURAL ON SHEETS.
16. UNO - PROVIDE A MIN. OF 3" CONC. ON 9/16" METAL DECK WITH 6 X 6 10/10 W.W.F. *2nd LEVEL SLAB and FRAMING BY P.E.M.B..
17. INTERIOR STAIRS. REFER TO DETAIL SHEETS.
18. TYPICAL P.E.M.B. METAL WALL PANELS.
19. LOCATION OF MECH. UNIT ON STAIR LANDING.
20. MIN. ONE HOUR RATED, TEMPERED, 1/2" W.K. CLEAR WINDOW - REFER TO PLANS AND SCHEDULES.
21. BELOW ROOF LINE - ONE HOUR RATING TO HAVE SINGLE LAYER TYPE 'X' GYP. BOARD - REFER TO B/A-9 - ABOVE ROOF LINE: TYPICAL P.E.M.B. METAL WALL PANELS ON ONE (1) LAYER 5/8" EXTERIOR FLYWOOD ON INFILL FRAMING 20 MSG 8" GALV. STEEL STUDS AT 16" O.C. - REFER TO A/A-9
22. PROVIDE HOSE BIB AT STAIR LANDING FOR CLEANING MECHANICAL UNITS, AT -8'-4" A.C.S.



MADERA BEACH PUBLIC WORKS NEW CONSTRUCTION 503 150th Av. Madeira Bch, FL 33708



SOFARELLI & ASSOCIATES ARCHITECTURE MICHAEL F. SOFARELLI, JR., AIA. 1000 S. BELCHER RD., SU. NO. A-1 LARGO, FLORIDA 33771 EMAIL: sofarellm@verizon.net (727) 550-5555

Revisions table with columns for revision number, description, and date.

Content: PROPOSED FLOOR PLAN SECOND LEVEL

Filename: MAD. BCH. CENTER Date: 04-09-2026

Proj. no. 26018 Sheet: A-6



NOTE :
 U.N.O. ALL BOLLARD BARRIER LOCATIONS TO BE PROVIDED BY OWNER, ALSO REFER TO CIVIL SHEETS. - REFER TO DETAIL G/8-6

SCALE : 1/4" = 1'-0"

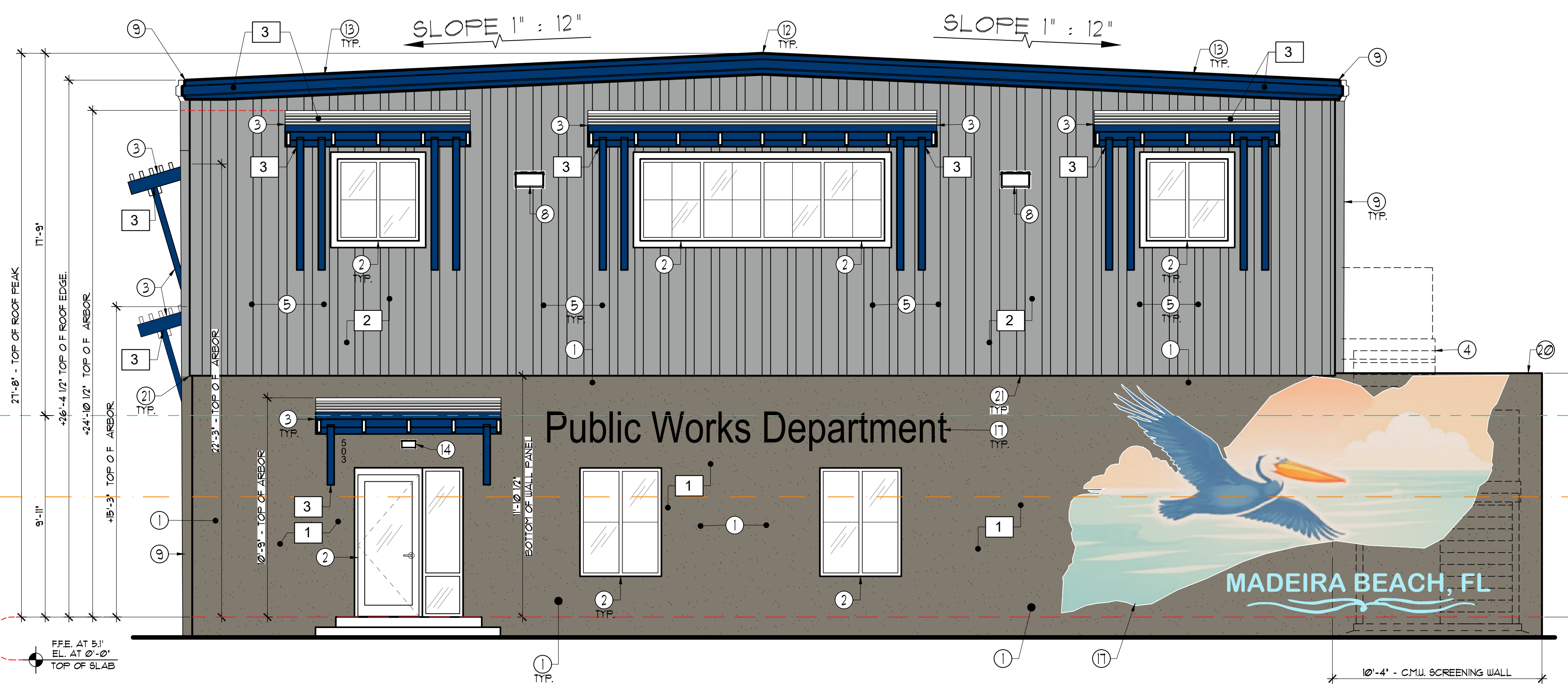
ELEV. KEY NOTES

- 1 INDICATES TYPICAL 8"x8"x16" CMU WALL WITH NO. 6 VERT. REBAR IN GROUT FILLED CELL AT 24" O.C. WITH CONTINUOUS HORIZONTAL LADDER TYPE JOINT REINFORCING EVERY THIRD COURSE. EXTERIOR SURFACE TO BE 5/8" (3) THREE COAT CEMENTITIOUS. NOTE: SAND FINISH TO BE DETERMINED.
- 2 STOREFRONT AND WINDOW SYSTEM - REFER TO FLANS AND SCHEDULES.
- 3 CUSTOM ALUMINUM ARBOR / AWNING STRUCTURE. NOTE: DEFERRED SUBMITTAL. ENGINEERED SHOP DRAWINGS TO PROVIDE DETAILS SHOWING EXACT DIMENSIONS, FRAMING MEMBER SIZES, CONNECTION AND MOUNTING DETAILS (PRECISION ENGINEERING FOR HOW THE STRUCTURE ATTACHES TO THE PEMB. STRUCTURE (E.G. THROUGH-BOLTING, EPOXY ANCHORS, OR BRACKET DESIGN) AND WIND LOAD CALCULATIONS.
- 4 STEEL FRAMED STAIRS WITH CONC. IN PAN TREADS. DEFERRED SUBMITTAL. REFER TO NOTE NO. 3 (9/1).
- 5 TYPICAL PEMB. METAL WALL PANELS.
- 6 BOLLARD : ROUND CONC. CAP 6" DIA. RIGID STEEL PIPE GLASS FILL WITH CONCRETE PAINT SHERWIN WILLIAMS "SAFETY YELLOW" SEMI-GLOSS. REFER TO DETAIL G/8-6
- 7 U.N.O. PROVIDE 3/8" CHANNEL SCREED BY FRY - REGLET OR APPROVED EQUAL.
- 8 L.E.D. WALL PACK LIGHT FIXTURE. REF. ELEC.
- 9 INDICATES PEMB. GUTTER AND MIN. OF GALV. 9/16" x 6" DOWNSPOUT. PAINT TO MATCH ADJACENT WALL SURFACE. PROVIDE GALV. 9/16" STRAPS @ 6'-0" O.C. (MIN. OF 3 PER D.S.)
- 10 METAL OR FIBERGLASS (T.B.D.) EGRESS MAN DOOR WITH TEMPERED GLASS TRANSOM.
- 11 PEMB. METAL ROOF PANELS ON ROOF PULING ON PEMB. FRAMING. TYPICAL REFERENCE PEMB. STRUCTURAL / SHOP DRAWINGS FOR SIZES AND SPACING.
- 12 CONTINUOUS FORMED METAL RIDGE CAP - REF. MANUF. SHOP DRAWINGS.
- 13 CONTINUOUS FORMED METAL COPING - REF. MANUF. SHOP DRAWINGS.
- 14 EGRESS LIGHT FIXTURE REQUIRED AS BY CODE.
- 15 DOOR SEALS AND HEAD CURTAIN NOT SHOWN FOR CLARITY.
- 16 MASONRY EDGE TO HAVE VERTICAL 48" H. x 4" x 4" REINFORCED ANGLE EDGE PROTECTOR ON FRONT EDGE OF CMU. M.O. PAINT SET BY "YELLOW"
- 17 BUILDING CITY SIGNAGE - DEFERRED SUBMITTAL. REFER TO NOTE NO. 3 (9/1).
- 18 INDICATES ROLL-UP DOOR WITH MIN. (U.N.O.) 2"x2-1/2" GUIDE BRACKET WITH VINYL WEAR STRIPS AND WIND HOOK STRAPS. FASTEN TO MASONRY WITH 1/4"x1-1/4" H.W.H. CONCRETE SCREW OR 5/16" DIA. x 11/2" SLEEVE ANCHOR EITHER SPACED AT 16" O.C. INSIDE JAMB.
- 19 INDICATES PROVIDE TWO (2) POWER DISCONNECTS ON NEW BUILDING WALL AT MIN. 8'-0" ABOVE GRADE. POWER REQUIREMENTS TO BE DETERMINED WHEN THE CITY OF MADEIRA BEACH HAS CHOSEN THE COMPRESSORS TO BE USED IN THIS LOCATION. - REF. ELEC. SHEETS.
- 20 CONTINUOUS GALV. METAL COPING FLASHING AS REQUIRED. (USE BACK SPLICE PLATES) PAINTED TO MATCH ADJACENT WALL COLOR.
- 21 PROVIDE "Z" DRIP EDGE AT PANEL BASE OVER DOOR 3" VERTICAL LEG BEHIND PANEL.
- 22 CONT. GALV. HEADWALL FLASHING - PAINTED.

RIGHT SIDE ELEVATION

2 SOUTH-WEST

NOTE : DOWNSPOUT LEADERS TO BE PAINTED TO MATCH ADJACENT WALL COLOR SCHEME, TYPICAL



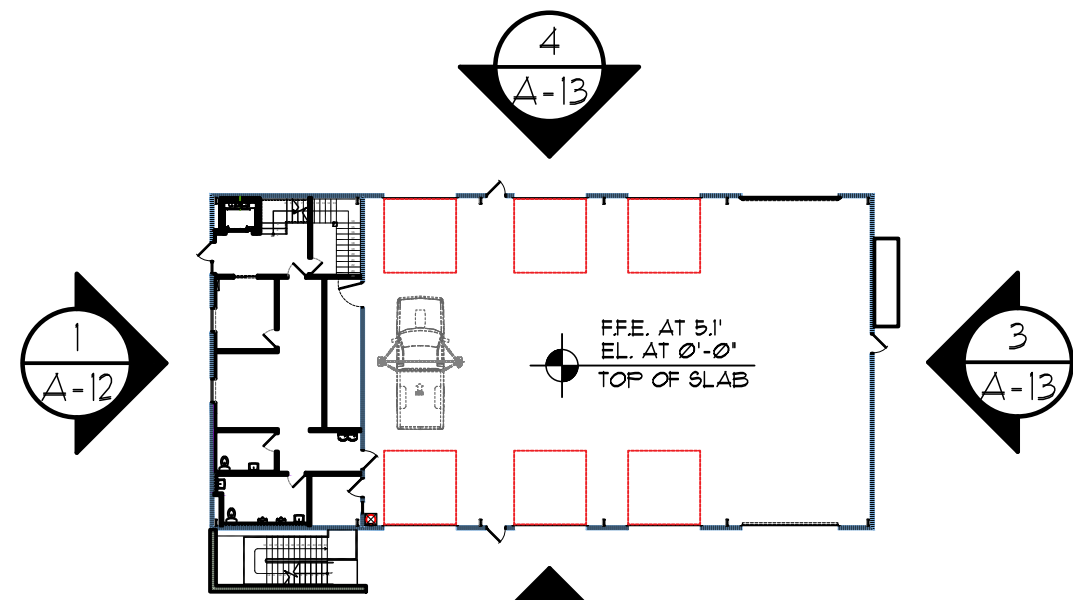
FRONT ELEVATION

1 NORTH-WEST

SCALE : 1/4" = 1'-0"

NOTES

1. ALL FINISH MATERIALS, PAINT COLORS AND FINISH COLORS, ETC. THROUGHOUT THIS SET OF DOCUMENTS ARE SUBJECT TO CHANGES. REFER TO A MADEIRA BEACH REPRESENTATIVE FOR THE MOST UPDATED SPECIFICATIONS.
2. FIELD PICTURES ARE FOR CLARITY ONLY. REFER TO A MADEIRA BEACH REPRESENTATIVE FOR THE MOST UPDATED SPECIFICATIONS.
3. SIGNAGE SUPPORT REQUIREMENTS 410.36 AND 314.21 NEC 2020 ACCESS TO JUNCTION BOXES 410.18
4. ALL EXTERIOR SIGNAGE SHOWN FOR ILLUSTRATIVE AND CLARITY PURPOSES ONLY. PERMITTED UNDER SEPARATE COVER. ALL SIGNAGE SPEC'S TO BE PROVIDED BY OWNER.
5. SIGNAGE AREA (N.I.C.) G.C. TO PROVIDE "J" BOX IN FACADE FOR ALL SIGNAGE. VERIFY EXACT LOCATION FOR OF "J" BOX IN CANOPY WITH SIGNAGE CONTRACTOR. G.C. TO INSTALL TWO (2) 2"x8" P.T. WOOD BLOCKING FOR SIGN TRACK MOUNTING, U.N.O. (T.B.D.)
6. G.C. TO USE NON CORROSIVE HARDWARE. USE SILICON AROUND ALL HOLES IN RECEIVER TRACK. ALL CUTS EXPOSING BARE METAL TO BE WEATHER PROOFED WITH GALVANIC PAINT - TYPICAL.



KEY PLAN

SCALE : N.T.S.

ISSUED FOR:
 PROGRESS SET

MICHAEL F. SOFARELLI, JR.
 FLORIDA STATE BOARD OF ARCHITECTURE
 REGISTRATION No.: AR 0014577

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Revisions:

Content:
 PROPOSED EXTERIOR ELEVATIONS

Filename:
 MAD. BCH. CENTER
 Date:
 04-09-2026
 Proj. no.
 26018
 Sheet:
A-12

BOUNDARY / TOPOGRAPHIC SURVEY

THE MAP AND REPORT ARE NOT FULL AND COMPLETE WITHOUT THE OTHER.

SURVEYOR'S REPORT

LEGAL DESCRIPTION:

SURVEYOR'S REPORT

LEGAL DESCRIPTION FOR PARENT TRACT: (DEED BOOK 1454 PAGE 387)

PARCEL 1
COMMENCE AT THE INTERSECTION OF THE NORTH BOUNDARY OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, AND THE CENTERLINE OF STATE ROAD 233, AS SHOWN ON THE PLAT FILED IN DEED BOOK 882, PAGE 44, RECORDS OF PINELLAS COUNTY, FLORIDA; RUN THENCE NORTH 43 DEGREES 51 MINUTES 28 SECONDS EAST ALONG THE CENTERLINE OF SAID STATE ROAD 233, A DISTANCE OF 6718 FEET; THENCE SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST, 50 FEET TO A P.O.B.; RUN THENCE SOUTH 43 DEGREES 51 MINUTES 28 SECONDS WEST PARALLEL TO THE CENTERLINE OF SAID STATE ROAD 233, A DISTANCE OF 60 FEET; THENCE SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST TO THE SHORE LINE OF BOCA CIEGA BAY; THENCE NORTHWESTWARD ALONG THE WATERS OF BOCA CIEGA BAY TO A POINT SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST FROM THE P.O.B.; THENCE NORTH 46 DEGREES 8 MINUTES 32 SECONDS WEST TO THE P.O.B., TOGETHER WITH ALL RIPARIAN RIGHTS, RIGHTS OF ACCRETION THEREUNTO APPERTAINING.

PARCEL 2
COMMENCE AT THE INTERSECTION OF THE NORTH BOUNDARY OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, AND THE CENTERLINE OF STATE ROAD 233, AS SHOWN ON THE PLAT FILED IN DEED BOOK 882, PAGE 44, RECORDS OF PINELLAS COUNTY, FLORIDA; RUN THENCE NORTH 43 DEGREES 51 MINUTES 28 SECONDS EAST, 1658 FEET ALONG THE CENTERLINE OF SAID STATE ROAD 233, A DISTANCE OF 1718 FEET; THENCE SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST 50 FEET TO A P.O.B.; THENCE NORTH 43 DEGREES 51 MINUTES 28 SECONDS EAST 100 FEET PARALLEL TO THE CENTERLINE OF SAID STATE ROAD 233; THENCE SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST TO THE SHORE LINE OF BOCA CIEGA BAY; THENCE FOLLOWING SAID SHORELINE OF BOCA CIEGA BAY TO A POINT SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST FROM THE P.O.B.; THENCE NORTH 46 DEGREES 8 MINUTES 32 SECONDS WEST TO THE P.O.B., TOGETHER WITH ALL RIPARIAN RIGHTS, RIGHTS OF ACCRETION, FIVE FEET EACH SIDE AND ABUTTING THE SOUTH-WESTERLY BOUNDARY LINE IS RESTRICTED AGAINST BUILDINGS OF ALL KINDS.

PARCEL 3
BEGINNING THE INTERSECTION OF THE NORTH BOUNDARY OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, AND THE CENTERLINE OF STATE ROAD 233, AS SHOWN ON THE PLAT FILED IN DEED BOOK 882, PAGE 44, RECORDS OF PINELLAS COUNTY, FLORIDA; RUN THENCE NORTH 43 DEGREES 51 MINUTES 28 SECONDS EAST, 1838 FEET ALONG THE CENTERLINE OF STATE HIGHWAY NO. 233; THENCE SOUTH 46 DEGREES 09 MINUTES EAST 225 FEET TO MEAN HIGH WATER FOR A POINT OF BEGINNING; THENCE SOUTH 46 DEGREES 09 MINUTES EAST 375 FEET; THENCE NORTH 43 DEGREES 51 MINUTES EAST 160 FEET; THENCE NORTH 46 DEGREES 09 MINUTES WEST, 485 FEET TO THE HIGH WATER MARK; THENCE SOUTH ALONG THE HIGH WATER MARK TO THE P.O.B., CONTAINING IN ALL, 1.58 ACRES MORE OR LESS, SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

PARCEL 4
FROM A POINT OF INTERSECTION OF THE NORTH LINE OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, WHICH NORTH LINE OF GOVERNMENT LOT 2 HAS BEEN ESTABLISHED BY AGREEMENT (SEE PINELLAS COUNTY DEED BOOK 882, PAGE 41), AND THE CENTERLINE OF STATE ROAD NO. 233; THENCE NORTH 43 DEGREES 51'28" EAST ALONG SAID CENTERLINE OF STATE ROAD NO. 233, 1448.42 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE ALONG SAID CENTERLINE OF STATE ROAD NO. 233, NORTH 43 DEGREES 51'28" EAST 288.38 FEET; THENCE SOUTH 46 DEGREES 08'32" EAST TO THE WATERS OF BOCA CIEGA BAY; THENCE SOUTH-WESTERLY ALONG THE WATERS OF BOCA CIEGA BAY TO A POINT SOUTH 40 DEGREES 09'32" EAST FROM THE P.O.B.; THENCE NORTH 46 DEGREES 08'32" WEST TO P.O.B., LESS RIGHT-OF-WAY OF STATE ROAD NO. 233.

11. LEASE PARCEL DESCRIPTION:
30' X 30' BELLSOUTH MOBILITY LEASE AREA (AS PROVIDED)
A TRACT OF LAND IN SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST AND THE CENTERLINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID CENTERLINE OF STATE ROAD NO. 233, A DISTANCE OF 1448.42 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 50.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 369.00 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 353.95 FEET; THENCE SOUTH 44°12'29" WEST, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE SOUTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING; SAID DESCRIBED TRACT CONTAINING 0.0207 ACRES, MORE OR LESS.

20' X 30' PROPOSED NEXTEL LEASE AREA (AS PROVIDED)
A TRACT OF LAND IN SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST AND THE CENTERLINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID CENTERLINE OF STATE ROAD NO. 233, A DISTANCE OF 1448.42 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 50.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 369.00 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 384.09 FEET; THENCE SOUTH 45°00'00" WEST, A DISTANCE OF 40.60 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 20.00 FEET; THENCE NORTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE SOUTH 45°00'00" EAST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING; SAID DESCRIBED TRACT CONTAINING 0.014 ACRES, MORE OR LESS.

PROPOSED CROWN CASTLE LEASE AREA
A TRACT OF LAND IN SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE POINT OF INTERSECTION OF THE NORTH LINE OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST AND THE CENTERLINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID CENTERLINE OF STATE ROAD NO. 233, A DISTANCE OF 1448.42 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 50.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF SAID STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 369.00 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 353.95 FEET; THENCE SOUTH 44°12'29" WEST, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 30.00 FEET; THENCE SOUTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" EAST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING; SAID PARCEL CONTAINING 0.04 SQUARE FEET, MORE OR LESS.

EASEMENT DESCRIPTION (AS PROVIDED):
20' EASEMENT FOR INGRESS/EGRESS & UTILITIES' A TRACT OF LAND IN SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, AND THE CENTERLINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID CENTERLINE OF STATE ROAD NO. 233, A DISTANCE OF 1448.42 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 50.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 369.00 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 353.95 FEET; THENCE SOUTH 44°12'29" WEST, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 30.00 FEET; THENCE SOUTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" EAST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

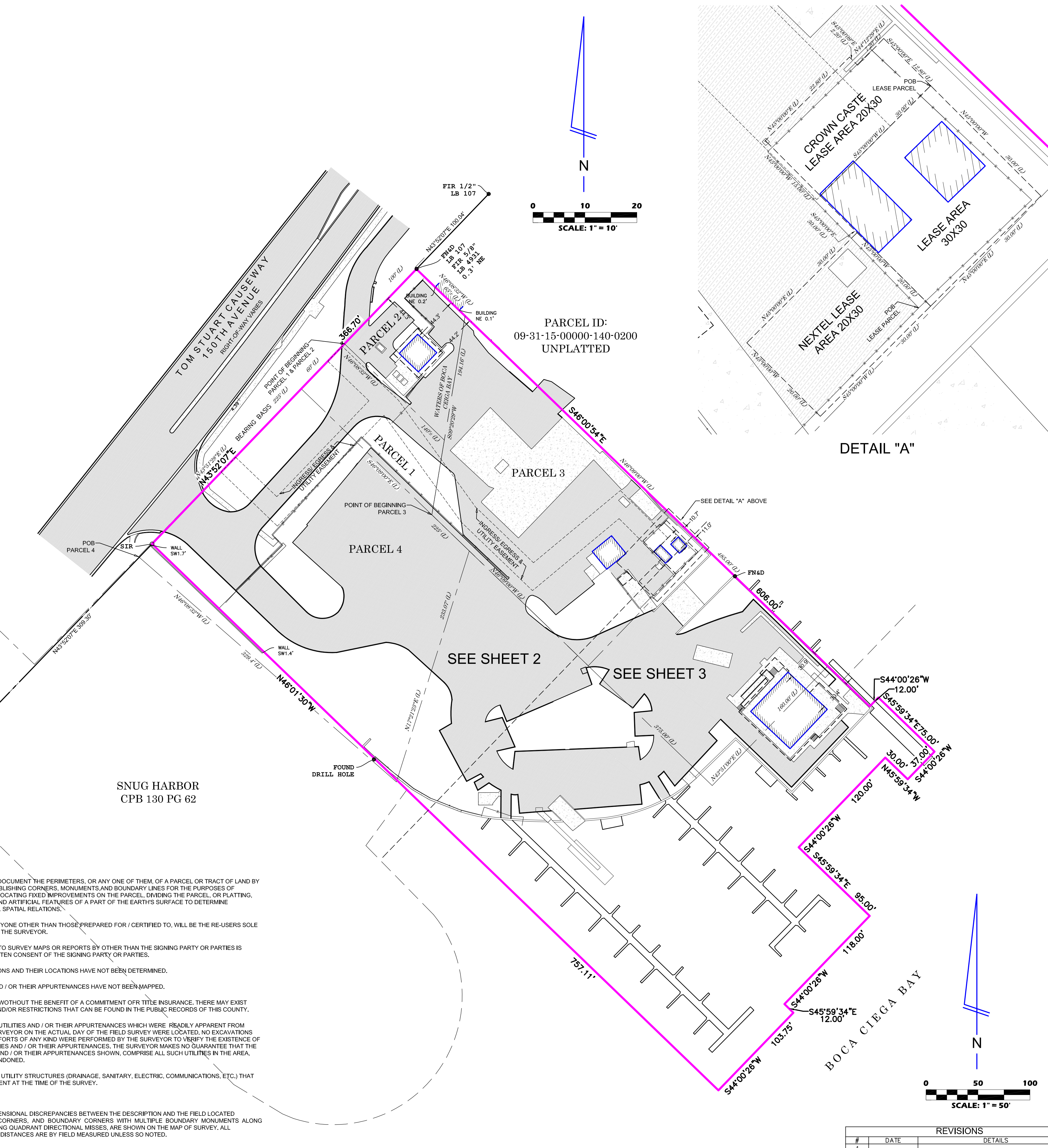
ACCURACY:
1. ALL MEASUREMENTS, DISTANCES, ELEVATIONS (IF SHOWN) AND FEATURES WERE PERFORMED IN STRICT ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE (5J-17FAC).
2. METHODS FOR ALL CONTROL MEASUREMENTS WERE MADE WITH A TRANSIT AND STEEL TAPE, OR DEVICES WITH EQUIVALENT OR HIGHER DEGREES OF ACCURACY.
3. THE ACCURACY STANDARD USED FOR THIS SURVEY, AS CLASSIFIED IN THE MINIMUM STANDARDS OF PRACTICE (5J-17 FAC), IS "COMMERCIAL/HIGH RISK". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 10,000 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE MET THIS REQUIREMENT.

DATA SOURCES:
1. BASIS OF BEARING IS THE SOUTHEASTERLY RIGHT-OF-WAY OF THE 150TH AVENUE (TOM STUART CAUSEWAY), BEING N43°51'28"E, (STATE PLANE COORDINATE SYSTEM, FLORIDA WEST ZONE, NORTH AMERICAN DATUM, 1983 ADJUSTMENT)
2. WARRANTY DEED, RECORDED IN OFFICIAL RECORDS BOOK 17229, PAGE 553, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.
3. ELEVATIONS SHOWN HEREON BASED ON NATIONAL GEODETIC SURVEY BENCHMARK, xxxxxx "MADEIRA BEACH", HAVING AN ELEVATION OF xxxxx FEET, (NORTH AMERICAN VERTICAL DATUM 1988).

FLOOD ZONE MAP (NOT TO SCALE) SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY

LIMITATIONS:
1. PURPOSE OF SURVEY: TO DOCUMENT THE PERIMETERS, OR ANY ONE OF THEM, OF A PARCEL OR TRACT OF LAND BY ESTABLISHING OR RE-ESTABLISHING CORNERS, MONUMENTS AND BOUNDARY LINES FOR THE PURPOSES OF DESCRIBING THE PARCEL, LOCATING FIXED IMPROVEMENTS ON THE PARCEL, DIVIDING THE PARCEL, OR PLATTING, AND SELECTED NATURAL AND ARTIFICIAL FEATURES OF A PART OF THE EARTH'S SURFACE TO DETERMINE HORIZONTAL AND VERTICAL SPATIAL RELATIONS.
2. USE OF THIS SURVEY BY ANYONE OTHER THAN THOSE PREPARED FOR / CERTIFIED TO, WILL BE THE RE-USERS SOLE RISK WITHOUT LIABILITY TO THE SURVEYOR.
3. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
4. UNDERGROUND FOUNDATIONS AND THEIR LOCATIONS HAVE NOT BEEN DETERMINED.
5. IRRIGATION EQUIPMENT AND / OR THEIR APPURTENANCES HAVE NOT BEEN MAPPED.
6. THIS SURVEY PERFORMED WITHOUT THE BENEFIT OF A COMMITMENT OF TITLE INSURANCE. THERE MAY EXIST ADDITIONAL EASEMENTS AND/OR RESTRICTIONS THAT CAN BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
7. ONLY THE UNDERGROUND UTILITIES AND / OR THEIR APPURTENANCES WHICH WERE READILY APPARENT FROM GROUND LEVEL TO THE SURVEYOR ON THE ACTUAL DAY OF THE FIELD SURVEY WERE LOCATED. NO EXCAVATIONS OR SUBSURFACE WORK EFFORTS OF ANY KIND WERE PERFORMED BY THE SURVEYOR TO VERIFY THE EXISTENCE OF ANY UNDERGROUND UTILITIES AND / OR THEIR APPURTENANCES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES AND / OR THEIR APPURTENANCES SHOWN, COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
8. THERE MAY BE ADDITIONAL UTILITY STRUCTURES (DRAINAGE, SANITARY, ELECTRIC, COMMUNICATIONS, ETC.) THAT WERE NOT READILY APPARENT AT THE TIME OF THE SURVEY.

BOUNDARY INCONSISTENCIES:
1. ANY ANGULAR AND/OR DIMENSIONAL DISCREPANCIES BETWEEN THE DESCRIPTION AND THE FIELD LOCATED OCCUPATION BOUNDARY CORNERS, AND BOUNDARY CORNERS WITH MULTIPLE BOUNDARY MONUMENTS ALONG WITH THEIR CORRESPONDING QUADRANT DIRECTIONAL MISSES, ARE SHOWN ON THE MAP OF SURVEY. ALL PERIMETER BEARINGS AND DISTANCES ARE BY FIELD MEASURED UNLESS SO NOTED.



BULLSEYE SURVEYING, INC.
LB 7818
2198 NE COACHMAN ROAD, UNIT F
CLEARWATER, FL 33762
PHONE: 727-475-8088

PARCEL INFORMATION:
SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST
PINELLAS COUNTY, FLORIDA

ADDRESS:
503 150TH AVENUE, MADEIRA BEACH, FL 33708

FOLIO: 09-31-15-00000-140-0300

- SYMBOL LEGEND**
- BARB CONDITIONING EQUIPMENT
 - BACKFLOW PREVENTER
 - BOLLARD OR POST
 - CLC/LANOUT
 - DRAINAGE MANHOLE
 - ELECTRIC EQUIPMENT
 - ELECTRIC METER
 - ELECTRIC MANHOLE
 - FIBRE OPTIC WARNING SIGN
 - GAS VALVE
 - IBR/IRATE INLET
 - L GUY ANCHOR
 - LIGHT POLE (CONCRETE)
 - LIGHT POLE (WOOD)
 - MONITORING WELL
 - SANITARY MANHOLE
 - SANITARY SEWER VALVE
 - SIGN
 - TELEPHONE EQUIPMENT
 - TREE (PALM)
 - TREE (OAK)
 - TREE (OTHER)
 - UTILITY POLE (WOOD)
 - WATER VALVE
 - WATER METER

ABBREVIATIONS

- NOTES**
- (L)=INFORMATION FROM PLAT
 - CPB=CONDOMINIUM PLAT BOOK
 - FIR=FOUND REBAR SIZE AS NOTED
 - FN&D=FOUND NAIL AND DISK
 - FXC=FOUND "X" CUT
 - LB=LICENSED BUSINESS
 - LS=LICENSED SURVEYOR
 - PB=PLAT BOOK
 - PG=PAGE
 - POB=POINT OF BEGINNING
 - PSM=PROFESSIONAL SURVEYOR AND MAPPER
 - PVC=POLYVINYL CHLORIDE PIPE
 - SIRC=SET 1/2" REBAR & CAP LB 7818
 - SND=SET NAIL AND DISK LB 7818

THIS SURVEY AND THE COPIES THEREOF, EXCEPT THOSE WITH ELECTRONIC SIGNATURE AND ELECTRONIC SEAL, THE SURVEY OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

ADDITIONS OR DELETIONS TO SURVEY REPORTS OR MAPS BY ANYONE OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED

CERTIFIED TO:
• CITY OF MADEIRA BEACH

GEORGE R. MARTIN
PROFESSIONAL SURVEYOR & MAPPER
LICENSE NUMBER LS 6019
STATE OF FLORIDA

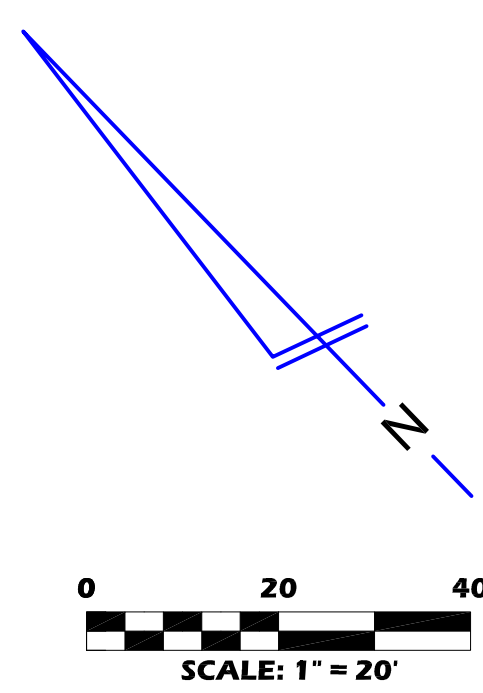
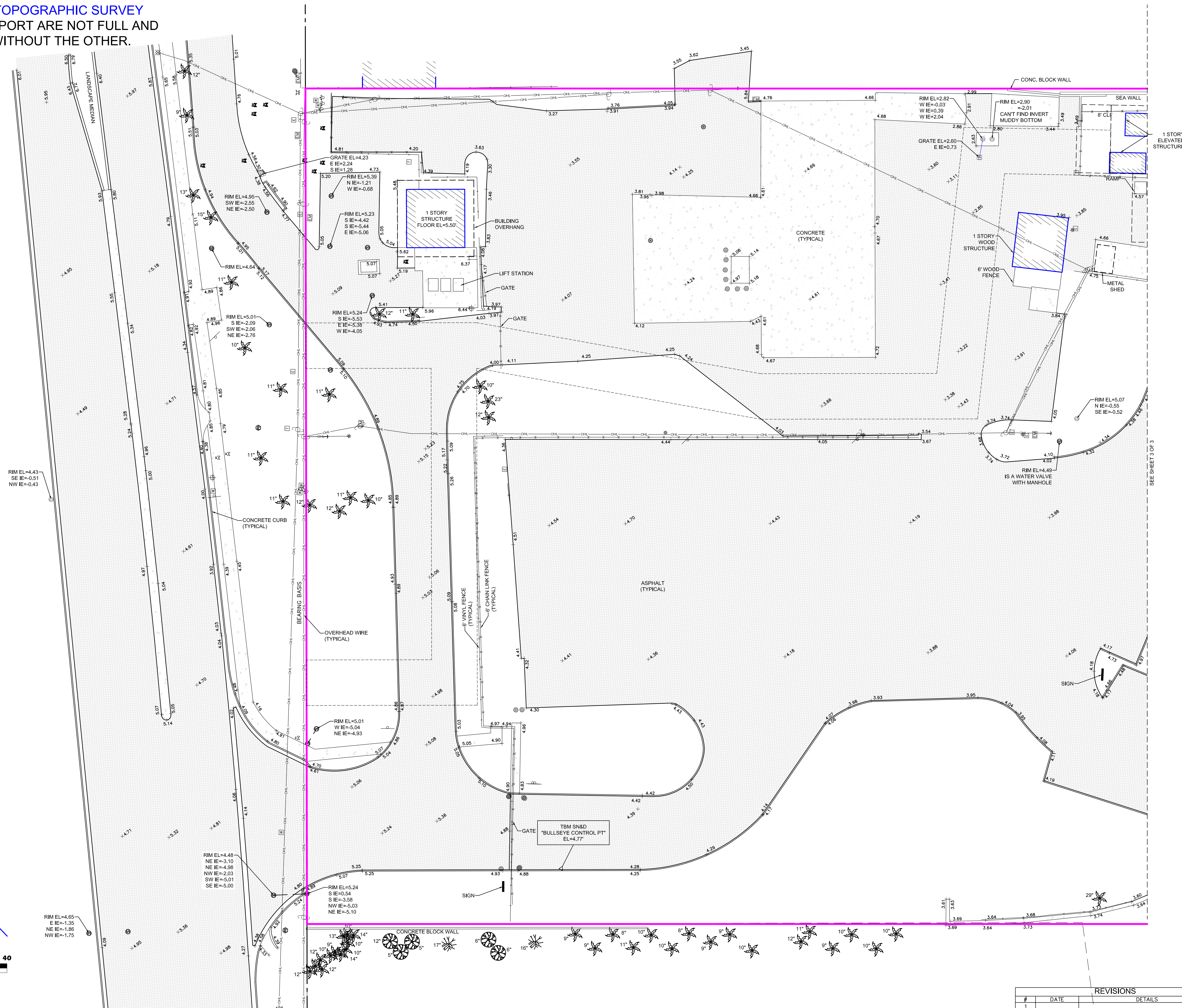
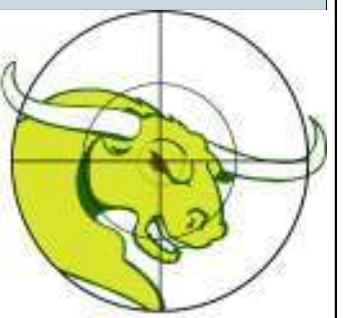
FIELD BOOK / PAGE	SCALE	SHEET NUMBER
30/40-45	VARIABLES	1 of 3
DRAFTED BY	SURVEY FIELD DATE	
GSST	01/16/2023	
PROJECT NUMBER	FILE NAME	
22-064	22-064-2.dwg	

REVISIONS		
#	DATE	DETAILS
1		

BOUNDARY / TOPOGRAPHIC SURVEY
THE MAP AND REPORT ARE NOT FULL AND COMPLETE WITHOUT THE OTHER.

BULLSEYE SURVEYING, INC.

LB 7818
2198 NE COACHMAN ROAD, UNIT F
CLEARWATER, FL 33762
PHONE: 727-475-8088



SEE SHEET 3 OF 3

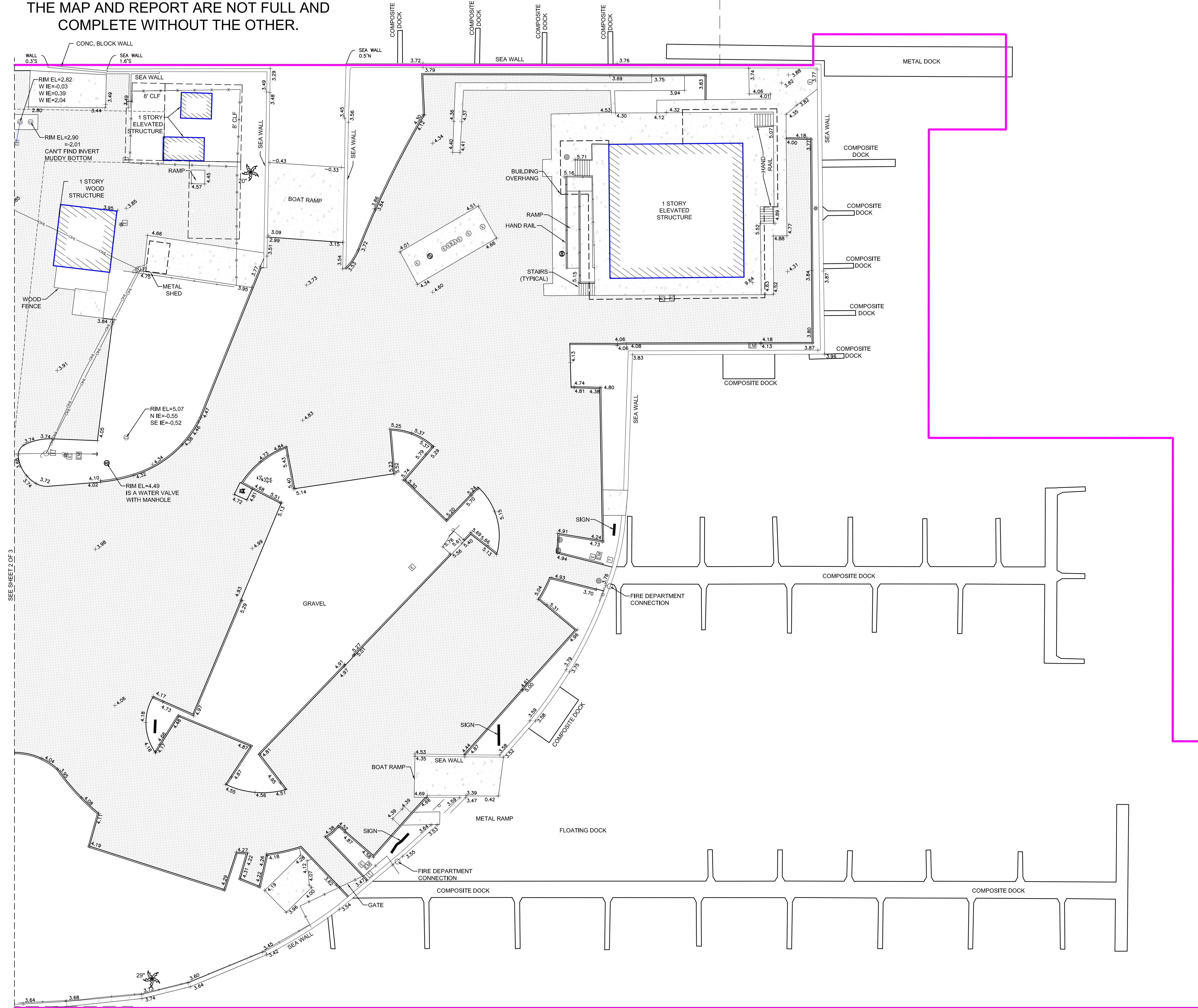
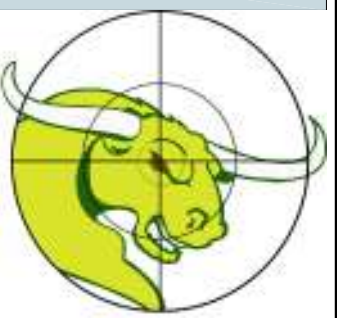
REVISIONS		
#	DATE	DETAILS
1		

FIELD BOOK / PAGE	SCALE	SHEET NUMBER
30/40-45	1" = 20'	2 of 3
DRAFTED BY	SURVEY FIELD DATE	
GST	01/16/2023	
PROJECT NUMBER	FILE NAME	
22-064	22-064-2.dwg	

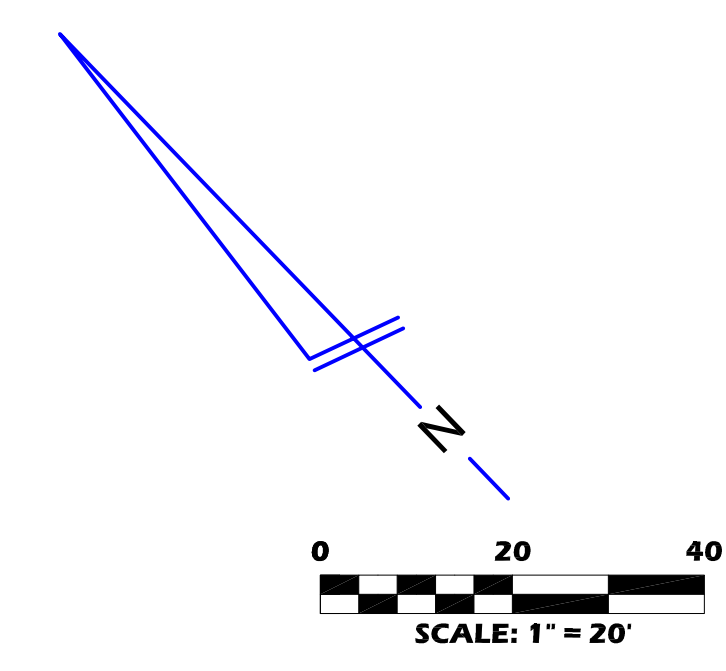
BOUNDARY / TOPOGRAPHIC SURVEY
THE MAP AND REPORT ARE NOT FULL AND COMPLETE WITHOUT THE OTHER.

BULLSEYE SURVEYING, INC.

LB 7818
2198 NE COACHMAN ROAD, UNIT F
CLEARWATER, FL 33762
PHONE: 727-475-8088



SEE SHEET 2 OF 3



REVISIONS		
#	DATE	DETAILS
1		

FIELD BOOK / PAGE	SCALE	SHEET NUMBER
30/40-45	1" = 20'	3 of 3
DRAFTED BY	SURVEY FIELD DATE	
GST	01/16/2023	
PROJECT NUMBER	FILE NAME	
22-064	22-064-2.dwg	

Subject	Requirement	Has this requirement been met?
Sec 110-51. - Scope of Review		
(1)Proposed use:	a.Primary use.	Public administration and service facilities
	b. Accessory uses.	Outdoor storage area
	c. Special exception use: Approval by special magistrate obtained.	Not required because of grandfathered use.
(2)Lot restrictions:	a. Lot size: width, depth, area.	87,187 Square Feet (2.00 Acres)
	b. Setbacks.	Front: 144 Feet; Rear: 294 Feet; Side (NE): 43 Feet; Side (SW): 60 Feet
	c. Lot coverage.	0.11 FAR
	d. Impervious surface.	0.94
	e. Green area.	Yes.
	f. Building heights (section 110-430).	17 feet, 9 inches from DFE
	g. Density.	NA.
(3)Arrangement of structures:	a.Distance between structures.	Yes.
	b.Provisions for light, air, privacy and access.	The project included additional setbacks and the structure has not maximized the height limit for the property.
	c.Location of accessory structures (article VI, division 4 of this chapter).	Yes.
	d.Use of open space.	Yes.
	e.Transition yard requirements (section 110-429).	Yes.
(4)Impact on surrounding property.		The applicant has included additional setbacks more than the minimum amount required to minimize impact on residential properties.
(5)Floodplain regulations (chapter 94):	a.Elevation requirements.	Yes.
	b.Use below base flood elevation (BFE).	Yes.
(6)Parking (article VII of this chapter):	a.Minimum requirements for off-street parking.	Yes.
	b.Location of spaces.	Yes.
	c.Circulation.	Yes.
	d.Loading and unloading areas.	Yes.
	e.Handicap facilities.	Yes.
	f.Compact spaces.	NA.
	g.Remote lots.	NA.
(7)Traffic access:	a.Available and allowable street cuts.	Yes.
	b.Use of abutting roadways.	Vehicle access to the property is via an access road that connects to 150th Ave E.
	c.Intersection visibility (section 110-423).	Yes.
	d.Emergency vehicle access.	Yes.
(8)Protection of soil and water resources (chapter 98, article II):	a.Development requirements.	Yes.
	b.Land alteration plan.	Yes.
	c.Drainage plan: 1.Treatment of stormwater runoff. 2.Protection during construction.	Will be reviewed at time of building permit review.
	d.Environmentally sensitive area protection plan.	Will be reviewed at time of building permit review.
(9)Landscaping (chapter 106, article II):	a.Minimum requirements.	Landscaping will be compliant at time of Certificate of Occupancy (CO)
	b.Perimeter landscaping.	Landscaping will be compliant at time of Certificate of Occupancy (CO)
	c.Buffer landscaping.	Landscaping will be compliant at time of Certificate of Occupancy (CO)
	d.Use of existing landscaping.	Landscaping will be compliant at time of Certificate of Occupancy (CO)
	e.Xeriscape requirements.	NA.
	f.Irrigation system.	Landscaping will be compliant at time of Certificate of Occupancy (CO)
	g.Intersection restrictions.	Landscaping will be compliant at time of Certificate of Occupancy (CO)
	h.Screening of backflow preventer.	Landscaping will be compliant at time of Certificate of Occupancy (CO)
	i.Protected species (mangroves, sea oats, etc.).	Yes.
(10)Tree protection (chapter 106, article III):	a.Minimum requirements.	Will be reviewed at time of building permit review.
	b.Types of trees.	Will be reviewed at time of building permit review.

	c.Use of existing trees.	Will be reviewed at time of building permit review.
	d.Removal of exotic species.	Will be reviewed at time of building permit review.
	e.Protection during construction.	Will be reviewed at time of building permit review.
	f.Irrigation for the trees.	Will be reviewed at time of building permit review.
(11)Lighting (article VI, division 5 of this chapter):	a.Impact of indoor and outdoor lighting.	Lighting will be reviewed at time of building permit review.
	b.Decorative and accent lighting.	Lighting will be reviewed at time of building permit review.
	c.Temporary lighting.	Lighting will be reviewed at time of building permit review.
	d.Lighting in beach area.	Lighting will be reviewed at time of building permit review.
(12)Sidewalks (chapter 58):	a.Minimum requirements.	Yes.
	b.Location and size.	Yes.
	c.Pedestrian access.	Yes.
(13)Signs (chapter 102):	a.Type.	Signage will be handled through separate permit process.
	b.Location.	Signage will be handled through separate permit process.
	c.Size.	Signage will be handled through separate permit process.
(14)Recreation areas:	a.Type.	NA.
	b.Location.	NA.
(15)Fences and walls (article VI, division 3 of this chapter):	a.Location.	Any proposed fence will be reviewed at time of building permit review.
	b.Height.	Any proposed fence will be reviewed at time of building permit review.
	c.Types.	Any proposed fence will be reviewed at time of building permit review.
(16)Easements (article VI, division 10, subdivision II of this chapter):	a.Utility.	Yes.
	b.Pedestrian/beach access.	NA.
	c.Access easements.	Yes.
(17)Docks and seawalls (section 110-426 and chapter 14, article V):	a.Requirements.	NA.
	b.Exemptions.	NA.
(18)Miscellaneous:	a.Laundry facilities.	NA.
	b.Satellite dish antennas (article VI, division 12, subdivision III of this chapter).	NA.
	c.Outdoor storage (article VI, division 9, subdivision I of this chapter).	Continuation of existing use of property. No proposed expansion of use.
	d.Swimming pools (article VI, division 11 of this chapter).	NA.
	e.Solid waste disposal containers and enclosures (section 54-61).	Yes.
(19)Concurrency determination (chapter 90):	a.Transportation.	Continuation of existing use of property
	b.Water.	Continuation of existing use of property
	c.Wastewater.	Continuation of existing use of property
	d.Stormwater.	Continuation of existing use of property
	e.Solid waste.	Continuation of existing use of property
	f.Recreation and open space.	NA.

Requirement	Has this requirement been met?
Sec. 110-71. - Submission Contents	
(1) Legal description and zone.	Yes.
(2) Existing use and proposed use.	Yes.
(3) Site area in square feet and acres.	Yes.
(4) Lot lines.	Yes.
(5) Setbacks.	Front: 144 Feet; Rear: 294 Feet; Side (NE): 43 Feet; Side (SW): 60 Feet
(6) North arrow and scale (engineering scale no smaller than one inch equals 50 feet).	Yes.
(7) Existing and proposed: a. Gross floor area (in square feet) (existing and proposed).	Yes.
(7) Existing and proposed: b. Building coverage (in square feet) (existing and proposed).	Yes.
(7) Existing and proposed: c. Open (green) space (in square feet) (existing and proposed).	Yes.
(7) Existing and proposed: d. Paving (in square feet) (existing and proposed).	Yes.
(7) Existing and proposed: e. Density (number of residential dwelling units, or number of clients, etc.).	Not applicable since there is no residential density proposed.
(7) Existing and proposed: f. Parking spaces (required, existing and proposed).	Yes.
(7) Existing and proposed: g. Building height and number of stories.	Yes.
(7) Existing and proposed: h. Preservation areas (where applicable) in total square feet and indicating the proposed area being developed or altered.	Yes.
(7) Existing and proposed: i. Drainage plan.	Yes.
(7) Existing and proposed: j. Land alteration plan.	Yes.
(8) Required buffer walls (i.e., to buffer nearby residential properties from vehicular use areas) and/or proposed fences, walls, etc. (height, location on-site, and elevation).	Yes.
(9) Solid waste disposal containers.	Yes.
(10) Lighting, exterior and accent.	Lighting will be handled at time of building permit review.
(11) Proposed sign plans (include size and location on-site).	Signage will be handled through separate permit process.
(12) Tree survey indicating the species and size of all existing trees of four inches or greater, measured at breast height.	NA.
(13) Variances (if required). Provide a copy of the approved variance with the submitted site plan.	NA.
(14) Certified construction cost estimate (shall be determined by a qualified and licensed contractor, architect or engineer or professional estimating firm itemizing total costs in a certified estimate).	That will be submitted at time of permitting.
(15) A proposed landscape plan which shall:	Landscaping will be compliant at time of Certificate of Occupancy (CO)
a. Comply with section chapter 106, article II (general landscaping regulations).	Landscaping will be compliant at time of Certificate of Occupancy (CO)
b. Indicate all tree and shrub sizes, species, locations, and quantities.	Yes.
c. Contain a schematic design and layout of an underground irrigation system as required for all landscaping.	Yes.



PUBLIC NOTICE

PLANNING COMMISSION (LOCAL PLANNING AGENCY) MEETING REGARDING MAJOR SITE PLAN REVIEW SP 2026-02

Date of Notice Posted: April 9, 2026

From: City of Madeira Beach

Regarding: Madeira Beach Public Works Building Major Site Plan

Address and Parcel ID: 503 150th Ave Madeira Beach, FL 33708 (09-31-15-00000-140-0300)

Purpose of This Public Notice

You are receiving this notice because you own property within 300 feet of the proposed development site for the Madeira Beach Public Works Building located at 503 150th Avenue Madeira Beach, FL 33708. The City of Madeira Beach Code of Ordinances *Sec. 2-78. - Conduct of hearing* requires a 10-day notice to be mailed to property owners within 300 feet of the property of the subject matter on the application.

Meeting Details

- **Date/Time:** May 4, 2026, 6:00 PM, Planning Commission Meeting
- **Location:** Commission Chambers, 300 Municipal Drive, Madeira Beach, FL 33708
- **Hosted by:** City of Madeira Beach Community Development Department
- **City Contact:** Andrew Morris, Long Range Planner, amorris@madeirabeachfl.gov
- **Meeting Access:** The meeting will be livestreamed and video archived at <https://www.youtube.com/@cityofmadeirabeach632> .

What Will Be Presented

- The proposed site plan and supporting documents will be presented by city staff.
- The proposed site plan will show the location and dimensions of the structure.
- The Planning Commission will review the proposed site plan based on the criteria in *Sec. 110-51. - Scope of review and Sec. 110-71. - Submission; contents*.
- The Planning Commission has the options to recommend to approve, approve with conditions, or deny the site plan.

Posting & Documentation

This notice has been mailed to all property owners within 300 feet of the proposed site, to the Madeira Beach Board of Commissioners, the City Clerk, and the Community Development Department, and has been posted visibly on the subject property in accordance with City requirements. Any affected person may become a party to this proceeding and can be entitled to present evidence at the hearing including the sworn testimony of witnesses and relevant exhibits and other documentary evidence and to cross-examine all witnesses by filing the attached Notice of Intent to be a party with the Community Development Department not less than five days prior to commencement of the hearing. A copy of the application is available for inspection in the Community Development Department between the hours of 8:00 a.m. and 4:30 p.m., Monday through Friday. The application will be available to view online at <https://madeirabeachfl.gov/plan-review-documents/> .

Location Of Major Site Plan Review SP 2026-02



Note: One or more Elected or Appointed Officials may be in attendance. Any person who decides to appeal any decision of the Planning Commission with respect to any matter considered at this meeting will need a record of the proceedings and for such purposes may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The law does not require the City to transcribe verbatim minutes; therefore, the affected party must make the necessary arrangements with a private reporter or private reporting firm and bear the resulting expense. In accordance with Section 286.26, Florida Statutes, persons with disabilities needing special accommodations to participate in this meeting must contact Community Development Director, Marci Forbes no later than 48 hours prior to the meeting: (727) 391-9951 or send a written request to planning@madeirabeachfl.gov.



AFFIDAVIT OF MAILING

Date: 4/9/2026

Mailings for Case # SP 2026-02

STATE OF FLORIDA
COUNTY OF PINELLAS

Before me this day Lisa Skewron personally appeared. He/she has mailed public notices to property owners within a 300 foot radius of the subject property.

Sworn and subscribed before me this 9th day of April, 20 26.

Personally known or produced _____ as identification.



Notary Public Stamp

Mary Ann Hearn
Notary Public

4/9/26
Date

*Copy of public notice is attached.



MIKE TWITTY, MAI, CFA
Pinellas County Property Appraiser

www.pcpao.gov

mike@pcpao.gov

Run Date: 08 Apr 2026

Subject Parcel: 09-31-15-00000-140-0300

Radius: 300 feet

Parcel Count: 74

Total pages: 4

Public information is furnished by the Property Appraiser's Office and must be accepted by the recipient with the understanding that the information received was developed and collected for the purpose of developing a Property Value Roll per Florida Statute. The Pinellas County Property Appraiser's Office makes no warranties, expressed or implied, concerning the accuracy, completeness, reliability or suitability of this information for any other particular use. The Pinellas County Property Appraiser's Office assumes no liability whatsoever associated with the use or misuse of such information.

FL INT IMP FUND TRE
 M H H ENTERPRISES INC LSE
 C/O HAMMER & COMPANY PA
 9373 SEMINOLE BLVD
 SEMINOLE, FL 33772-3145

MARTIN, JOSEPH J
 MARTIN, BARBARA MARY
 PO BOX 99
 BEAVERTON ON LOK 1A0,
 CANADA

DANIEL, KATHERINE E TRE
 DANIEL, KATHERINE E REV TRUST
 13030 SORRENTO WAY
 BRADENTON, FL 34211-2207

BRAZEAU, RONALD F
 BRAZEAU, ELIZABETH R
 BOX 723
 BRIGHTS GROVE ON NON 1C0,
 CANADA

ROLIZ J PROPERTIES INC
 7058 4TH LN
 TOTTENHAM ON L0G 1W0,
 CANADA

PRUITT, DEAN A
 PRUITT, MARIA L
 1336 BAYVIEW DR
 CLEARWATER, FL 33756-1232

BRYANT, CHAD J
 BRYANT, MARY K
 8619 CROSS OAKS LN
 FAIRFAX STATION, VA 22039-3336

MANNING, JOHN
 MANNING, CANDACE
 5007 LOREAN CT
 FLOYDS KNOBS, IN 47119-9324

DOERFLER, RAYMOND TRE
 DOERFLER, RAYMOND REV TRUST
 9907 RIVER DR
 GIBSONTON, FL 33534-4405

KRAWCZYK, ROBERT J
 KRAWCZYK, DARLENE M
 23 HAMPTON CT
 LANCASTER, NY 14086-9422

PADDOCK, TIMOTHY A
 PADDOCK, BONNIE B
 217 KIOWA PT
 LOUDON, TN 37774-2924

REED, LARRY S
 REED, JEAN ANN
 399 150TH AVE UNIT 116C
 MADEIRA BEACH, FL 33708-2067

LIPA REVOCABLE TRUST
 LIPA, JOHN J TRE
 399 150TH AVE APT 117C
 MADEIRA BEACH, FL 33708-2067

FLUEGEMAN, PETER
 FLUEGEMAN, DIANNA
 399 150TH AVE UNIT 120
 MADEIRA BEACH, FL 33708-2067

METZGER, THOMAS J
 METZGER, SUZANNE M
 423 150TH AVE APT 1202
 MADEIRA BEACH, FL 33708-2074

CARPENTER, ROGER T JR TRE
 CARPENTER, CHRISTINE K TRE
 423 150TH AVE UNIT 1204
 MADEIRA BEACH, FL 33708-2074

ROSENTHAL, SUSAN E
 ROSENTHAL, JAMES J
 423 150TH AVE APT 1304
 MADEIRA BEACH, FL 33708-2074

BRYANT, CHARLES LYNN TRE
 BRYANT, DONNA MARIE TRE
 423 150TH AVE APT 1501
 MADEIRA BEACH, FL 33708-2074

GAY, WILLIAM
 GAY, CAROL
 423 150TH AVE APT 1503
 MADEIRA BEACH, FL 33708-2074

FORD, JERRY LOCKE TRE
 FORD, JERRY LOCKE LIVING TRUST
 423 150TH AVE APT 1203
 MADEIRA BEACH, FL 33708-2074

HITTERMAN, DAVID A
 CALKINS, BRIAN J
 423 150TH AVE APT 1504
 MADEIRA BEACH, FL 33708-2074

HAGUE, LINDA DIANE
 HAGUE, MARK
 423 150TH AVE APT 1402
 MADEIRA BEACH, FL 33708-2074

ANDREUCCI, LORI ANN
 HANAT, GREGORY R
 425 150TH AVE UNIT 2502
 MADEIRA BEACH, FL 33708-2076

BOYER, BRIAN C
 BOYER, BRIDGET M
 425 150TH AVE APT 2401
 MADEIRA BEACH, FL 33708-2076

MCKENNA, RICHARD P
 MCKENNA, LAURA A
 425 150TH AVE APT 2206
 MADEIRA BEACH, FL 33708-2076

THOMAS, ELIZABETH R
 THOMAS, ELIZABETH R TRE
 425 150TH AVE APT 2506
 MADEIRA BEACH, FL 33708-2076

CAPARASO, DALE JOHN
 CAPARASO, ANNE
 425 150TH AVE APT 2302
 MADEIRA BEACH, FL 33708-2076

HORDER REVOCABLE TRUST
 HORDER, DIANE J TRE
 425 150TH AVE UNIT 2305
 MADEIRA BEACH, FL 33708-2076

POOLE, SUZANNE E
 BARJAK, GEORGE
 425 150TH AVE APT 2306
 MADEIRA BEACH, FL 33708-2076

PRILEPOK, MILAN
PRILEPOK, MIROSLAWA M
425 150TH AVE APT 2202
MADEIRA BEACH, FL 33708-2076

BROOKS, JEFFREY S
BROOKS, FRED A ANNE-MARIE
425 150TH AVE APT 2205
MADEIRA BEACH, FL 33708-2076

MITCHELL, RONALD L
MITCHELL, DEBRA L
425 150TH AVE APT 2501
MADEIRA BEACH, FL 33708-2076

HAMILTON, LESLIE L
SHAFFER, PAUL DOUGLAS
425 150TH AVE UNIT 203
MADEIRA BEACH, FL 33708-2076

DANIELS, NELSON E JR
DANIELS, PATRICIA A
399 150TH AVE APT 215
MADEIRA BEACH, FL 33708-2096

WHITE, JAMES
WHITE, ANGELA
399 150TH AVE UNIT 220C
MADEIRA BEACH, FL 33708-2096

CUSACK, ROBERT P
CUSACK, JUDEAN A
399 150TH AVE APT 217
MADEIRA BEACH, FL 33708-2096

BRACCIO, JENNY KITT LIV TRUST
BRACCIO, JENNY KITT TRE
399 150TH AVE APT 216
MADEIRA BEACH, FL 33708-2096

CROUTER, WILLIAM H TRE
CROUTER, ELAINE F TRE
399 150TH AVE UNIT 320C
MADEIRA BEACH, FL 33708-2097

SIDOR, PHILIP
SIDOR, SHEILA
399 150TH AVE APT 319
MADEIRA BEACH, FL 33708-2097

ABOOD, DONNA TRUST
ABOOD, DONNA TRE
3400 SW 27TH AVE APT 503
MIAMI, FL 33133-5308

SCARAFILE, MICHAEL GERARD
SCARAFILE, LORI LYNN
3627 MOHAWK ST
NEW HARTFORD, NY 13413-3809

ALI, NURAN SEN
ALI, NURAY GULEN
1408-5 KENNETH AVE
NORTH YORK ON M2N 6M7,
CANADA

PEREIRA, WILLIAM
PEREIRA, ANNA
180 DUNBLAINE AVE
NORTH YORK ON M5M 2S5,
CANADA

LEBLANC, RICHARD
LEBLANC, BARBARA
1535 HAIST ST UNIT 14
PELHAM ON LOS 1E2,
CANADA

MOLINO, DANTE
MOLINO, JANINE
111 JEFFERSON AVE
PITMAN, NJ 08071-2325

CAPRIOLA, WILLIAM JOSEPH
CAPRIOLA, AUDRA LEIGH
3815 BROOKVIEW RD
ROCKFORD, IL 61107-1432

CONTINELLI, GRACE
CONTINELLI, TONY
5-31 SAWMILL RD
ST CATHARINES ON L2S 0A1,
CANADA

DANIEL, THOMAS J REV TRUST
DANIEL, THOMAS J TRE
831 26TH AVE N
ST PETERSBURG, FL 33704-2713

LANT, REGINALD ANTHONY
HERGOTT, ELIZABETH LOUISE
7 ARNIES CHANCE
STOUFFVILLE ON L4A 1M1,
CANADA

DIX, GERALD L
MARIETTA, CAROL
2122 WABASH AVE
TERRE HAUTE, IN 47807-3304

DIX, GERALD L
MARIETTA, CAROL
2122 WABASH AVE
TERRE HAUTE, IN 47807-3304

KUPSIS, ANTHONY D TRE
KUPSIS, JOANNE M TRE
3449 STERLING ST
THE VILLAGES, FL 32162-7125

ROBINSON, WILLIAM TRE
ROBINSON, DAWN TRE
462 PLANTATION DR
TITUSVILLE, FL 32780-2571

LARSEN, WILLIAM P
LARSEN, KIMBERLY A
26 SUNRISE WAY
TOMS RIVER, NJ 08753-2039

LEE, EUGENE O JR
LEE, KIMBERLY M
1139 MYRTLE RD
VALRICO, FL 33596-7128

ROSENCRANS, GARY LEE
ROSENCRANS, JUDY ANN
3210 DEER RD
WISCONSIN RAPIDS, WI 54494-7431

SNUG HARBOUR CONDOMINIUM ASSN INC
570 CARILLON PKWY STE 210
ST PETERSBURG, FL 33716-1344

BOCA CIEGA LAND CO LLC
101 150TH AVE
MADEIRA BEACH, FL 33708-2450

GHOVAEE, HOUSH
423 150TH AVE APT 1206
MADEIRA BEACH, FL 33708-2074

COLLER, I COLETTE
399 150TH AVE APT 219C
MADEIRA BEACH, FL 33708-2096

BLACK, JASON R
907 BINNEY ST
BALTIMORE, MD 21224-4704

GOLDEN VORTEX RE LLC
5275 61ST AVE S
ST PETERSBURG, FL 33715-2402

MADEIRA BEACH, CITY OF
300 MUNICIPAL DR
MADEIRA BEACH, FL 33708-1916

READ, PETER
399 150TH AVE APT 318
MADEIRA BEACH, FL 33708-2097

MADEIRA COVE CONDOMINIUM ASSOCIATION
INC
10033 DR MARTIN LUTHER KING ST N STE 300
ST PETERSBURG, FL 33716-3830

MADEIRA BEACH, CITY OF
300 MUNICIPAL DR
MADEIRA BEACH, FL 33708-1916

SOUTHARD, SUSAN B
425 150TH AVE UNIT 2204
MADEIRA BEACH, FL 33708-2076

ERICKSON, NANCY LYNN
4291 COVENTRY DR S
FARGO, ND 58104-4252

MAYER, DAVID J EST
399 150TH AVE UNIT 317
MADEIRA BEACH, FL 33708-2097

MAYER, DAVID J EST
399 150TH AVE APT 317
MADEIRA BEACH, FL 33708-2097

ALLEN, CHRISTOPHER E
423 150TH AVE UNIT 1302
MADEIRA BEACH, FL 33708-2074

MADEIRA COVE CONDO ASSN
150TH AVE
MADEIRA BEACH, FL 33708

G D T CARVELLI HOLDINGS LLC
399 150TH AVE APT 316C
MADEIRA BEACH, FL 33708-2097



AFFIDAVIT OF POSTING

Date: 4/9/2026
Postings for: SP 2026-02

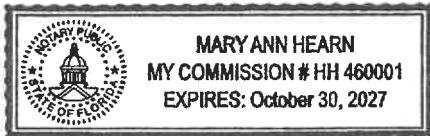
Before me this day Lisa Shekman personally appeared. He/she has posted public notices at the locations indicated in the notice document(s).

Lisa Shekman
Signature

STATE OF FLORIDA
COUNTY OF PINELLAS

Sworn to and subscribed before me this 9th day of April, 2026.

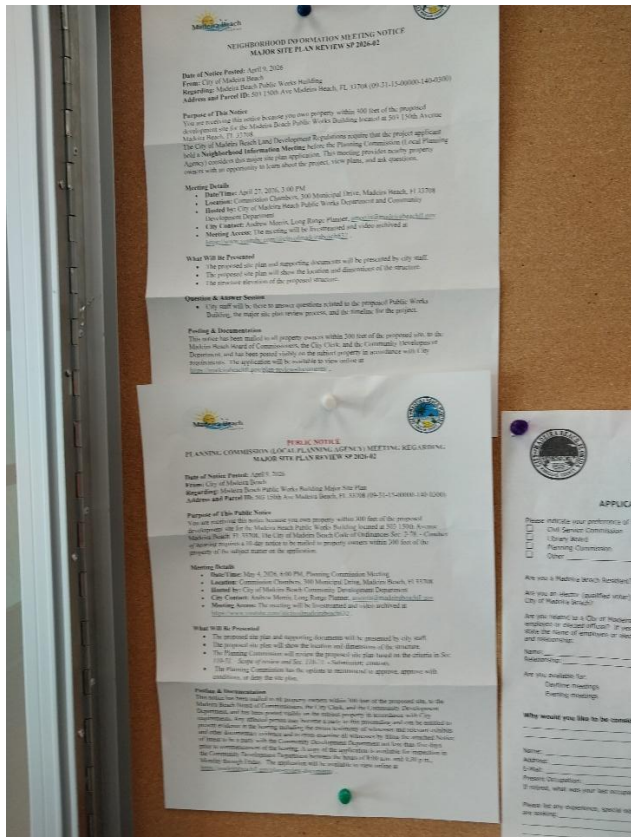
Personally known or produced _____ as identification.

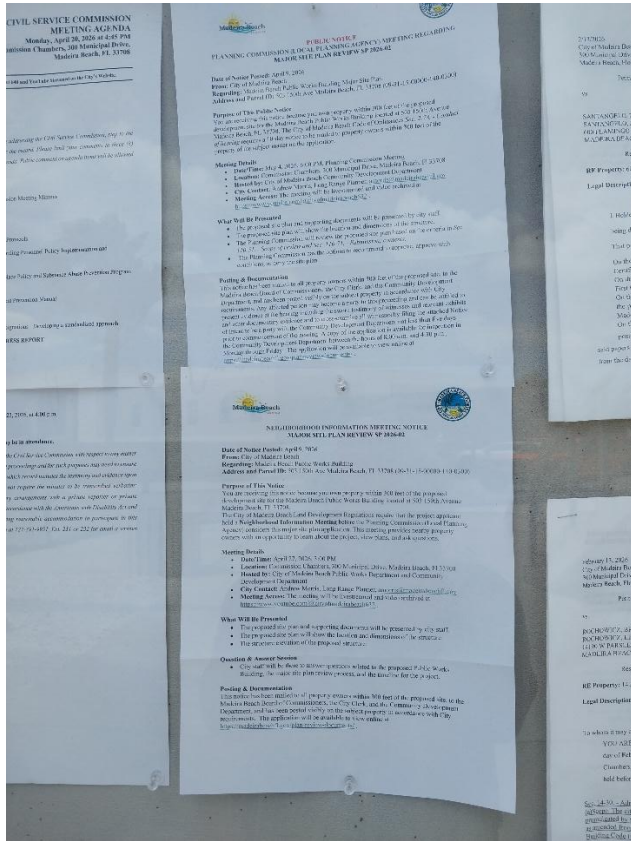


Notary Public Stamp

Mary Ann Hearn
Notary Public
4/9/26
Date

*Copy of public notice is attached.





Plan Review Documents

Ordinance 2026-03, PD to C-4 Rezoning

Planning Commission Meeting May 4, 2026, 6:00 PM

[Ordinance 2026-03, PD to C-4 Rezoning](#)

[Ordinance 2026-03 Business Impact Estimate](#)

[Ordinance 2026-03 Planning Commission \(LPA\) Public Notice](#)

MAJOR SITE PLAN REVIEW SP 2026-02

Neighborhood Information Meeting April 27, 2026, 3:00 PM

[SP 2026-02 Neighborhood Workshop Notice](#)

[Neighborhood Meeting Public Works Building Presentation](#)

Planning Commission Meeting May 4, 2026, 6:00 PM

[SP 2026-02 Planning Commission Public Notice](#)

Application

[SP 2026-02 Application](#)



NEIGHBORHOOD INFORMATION MEETING NOTICE MAJOR SITE PLAN REVIEW SP 2026-02

Date of Notice Posted: April 9, 2026

From: City of Madeira Beach

Regarding: Madeira Beach Public Works Building

Address and Parcel ID: 503 150th Ave Madeira Beach, FL 33708 (09-31-15-00000-140-0300)

Purpose of This Notice

You are receiving this notice because you own property within 300 feet of the proposed development site for the Madeira Beach Public Works Building located at 503 150th Avenue Madeira Beach, FL 33708.

The City of Madeira Beach Land Development Regulations require that the project applicant hold a **Neighborhood Information Meeting** before the Planning Commission (Local Planning Agency) considers this major site plan application. This meeting provides nearby property owners with an opportunity to learn about the project, view plans, and ask questions.

Meeting Details

- **Date/Time:** April 27, 2026, 3:00 PM
- **Location:** Commission Chambers, 300 Municipal Drive, Madeira Beach, FL 33708
- **Hosted by:** City of Madeira Beach Public Works Department and Community Development Department
- **City Contact:** Andrew Morris, Long Range Planner, amorris@madeirabeachfl.gov
- **Meeting Access:** The meeting will be livestreamed and video archived at <https://www.youtube.com/@cityofmadeirabeach632> .

What Will Be Presented

- The proposed site plan and supporting documents will be presented by city staff.
- The proposed site plan will show the location and dimensions of the structure.
- The structure elevation of the proposed structure.

Question & Answer Session

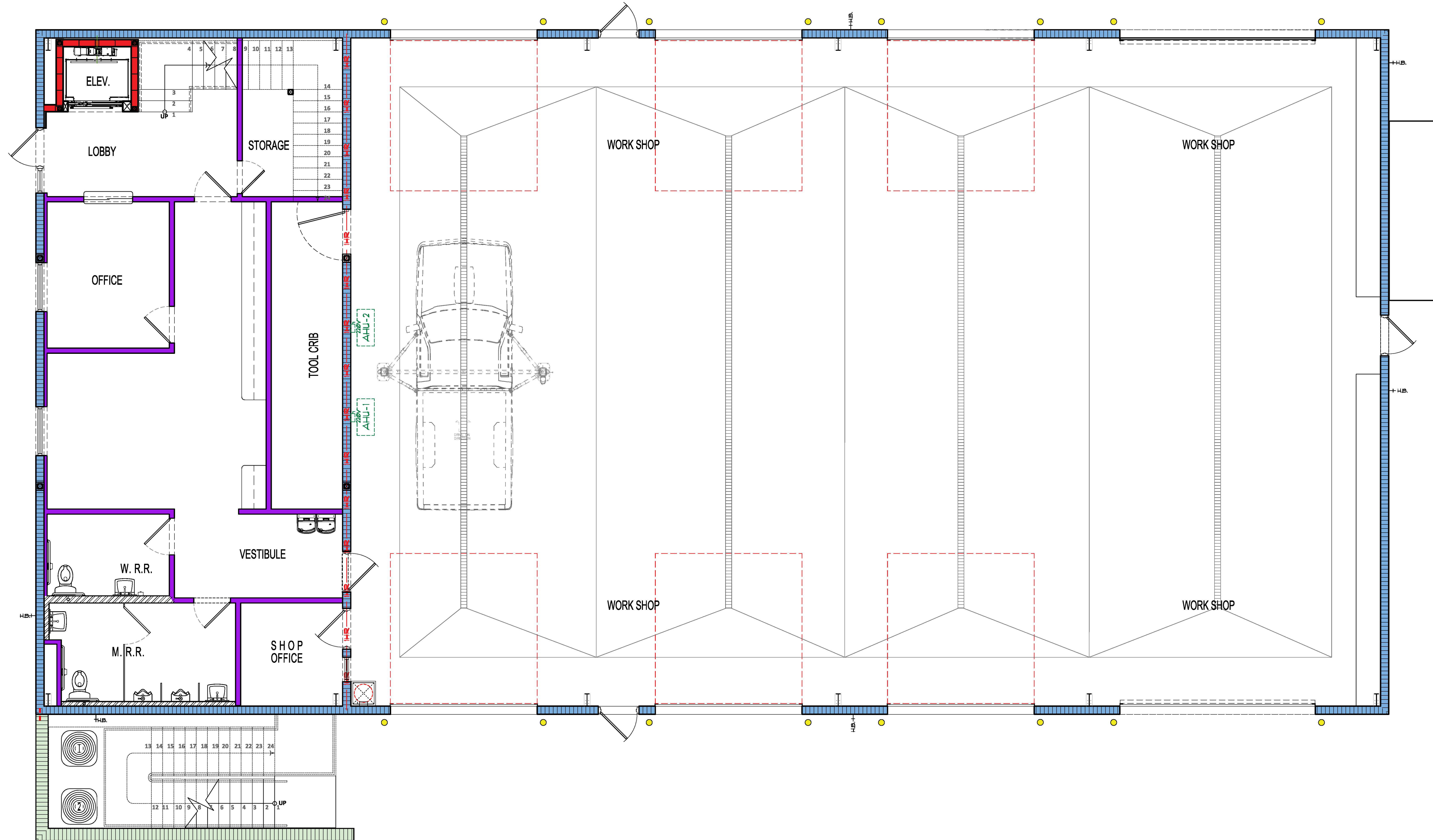
- City staff will be there to answer questions related to the proposed Public Works Building, the major site plan review process, and the timeline for the project.

Posting & Documentation

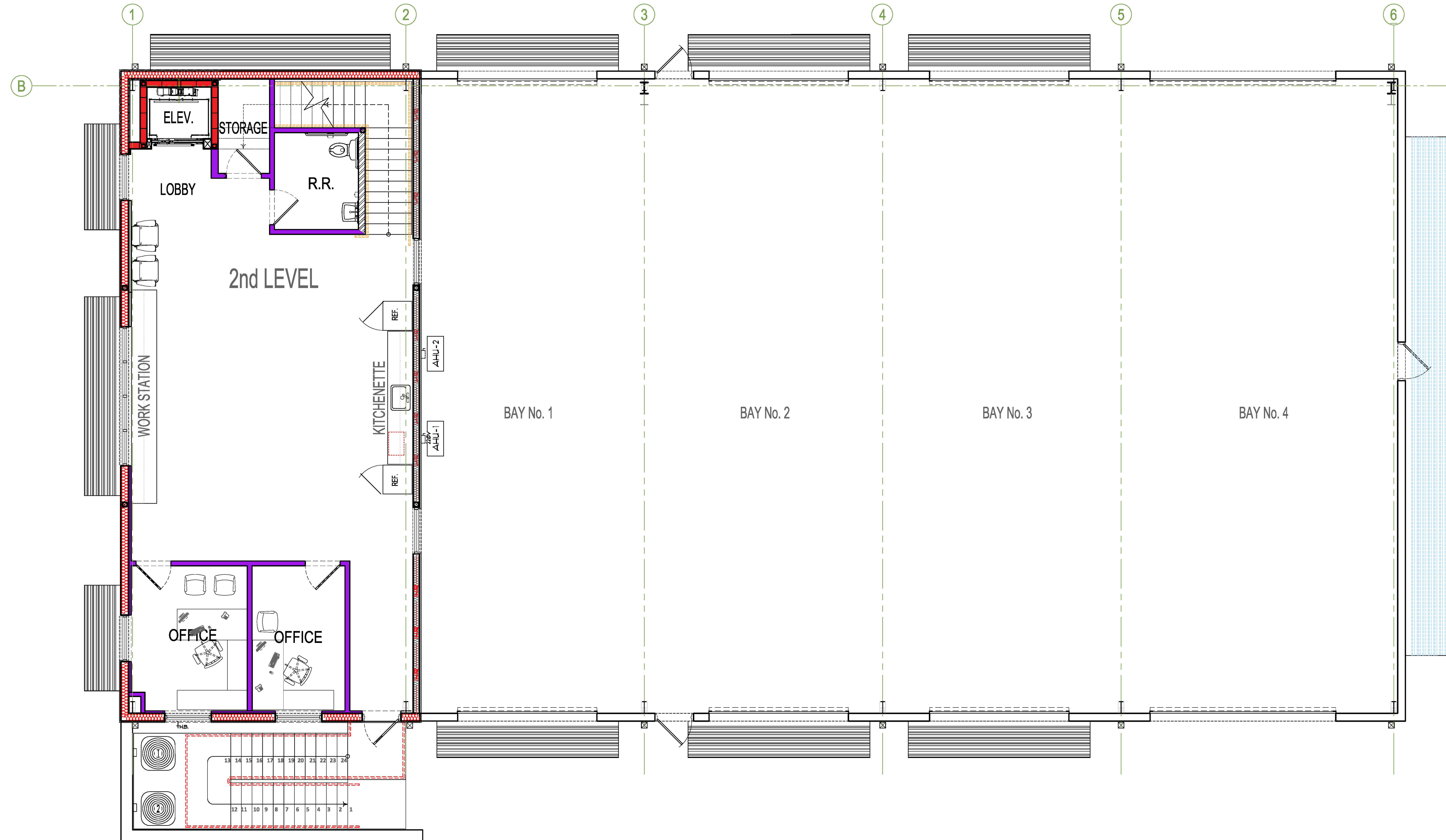
This notice has been mailed to all property owners within 300 feet of the proposed site, to the Madeira Beach Board of Commissioners, the City Clerk, and the Community Development Department, and has been posted visibly on the subject property in accordance with City requirements. The application will be available to view online at <https://madeirabeachfl.gov/plan-review-documents/> .

Location Of Major Site Plan Review SP 2026-02

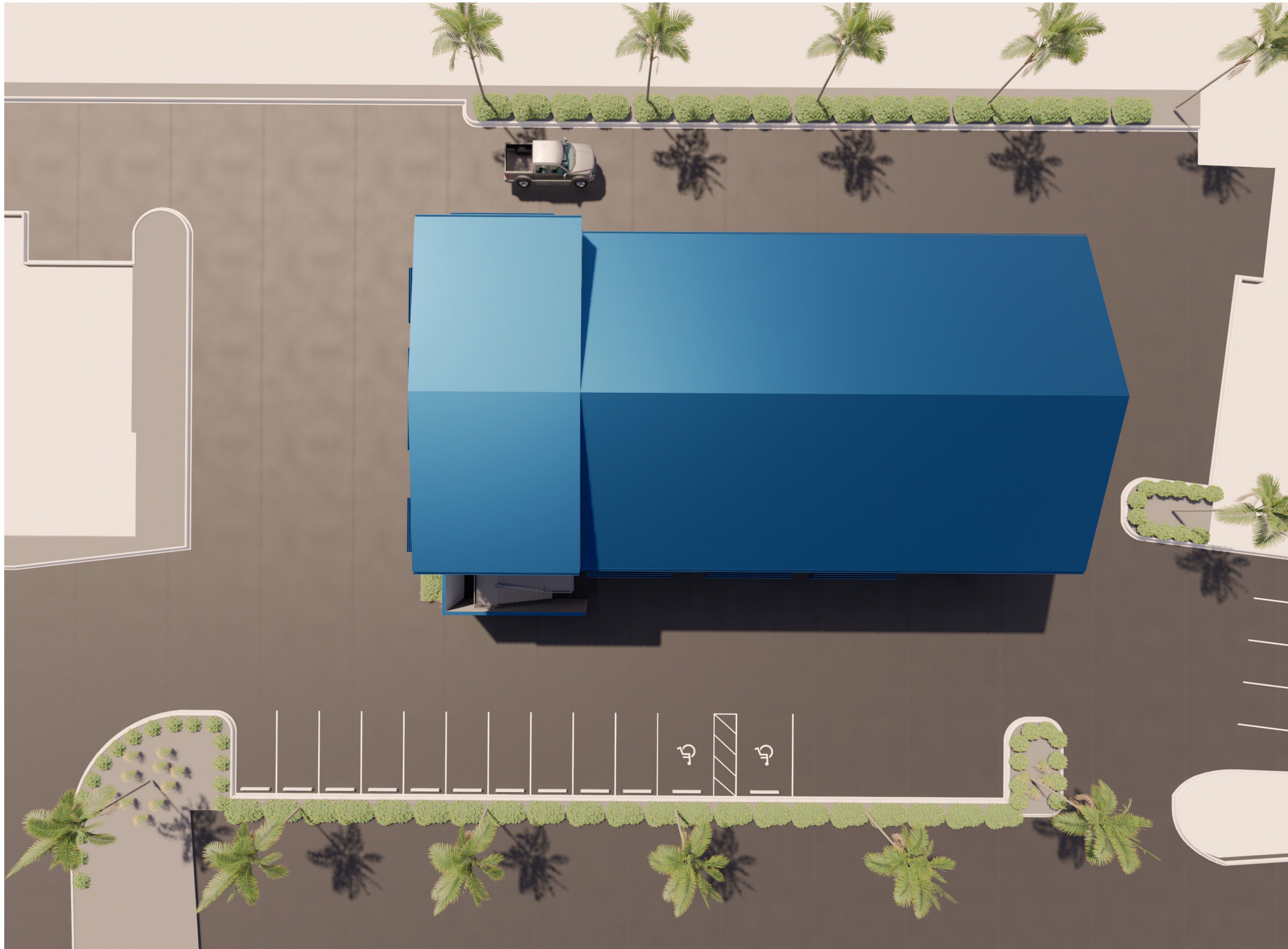




1ST FLOOR PLAN



2ND FLOOR PLAN













WORKSHOP



Item 5B.

NOTICE OF INTENT TO BE AN AFFECTED PARTY

APR 15 '26 3:00PM

AFFECTED PERSON INFORMATION

Name: John LIPA, President Madeira Cove Condominium Assoc
Address: 399 150th Ave, Unit 117C
Madeira Beach, FL 33708
Telephone: 413-441-6130 Fax: 413-727-392-1730
Email: LIPA171@GMAIL.COM

APPLICATION INFORMATION

Case No or Application No., whichever applies: 08-31-15-00000-140-0300-SP-2026-02
Applicant's Name: John LIPA, ?

Signature of Affected Person (Handwritten signature of John LIPA)

Date: 4/14/26

Note: One or more Elected or Appointed Officials may be in attendance. Any person who decides to appeal any decision of the Planning Commission with respect to any matter considered at this meeting will need a record of the proceedings and for such purposes may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The law does not require the City to transcribe verbatim minutes; therefore, the applicant must make the necessary arrangements with a private reporter or private reporting firm and bear the resulting expense. In accordance with the Americans with Disability Act and F.S. 286.26; any person with a disability requiring reasonable accommodation in order to participate in this meeting should call 727-391-9951 or fax a written request to 727-399-1131.



NOTICE OF INTENT TO BE AN AFFECTED PARTY

APR 15 '26 3:22PM

AFFECTED PERSON INFORMATION

Name: LARRY ROELOFS
Address: 399 150th AVE, UNIT 214
MADEIRA BEACH FL 33708
Telephone: 727 234-7141 Fax: _____
Email: lbroelofs@msn.com

APPLICATION INFORMATION

Case No or Application No., whichever applies: SP 2026-02

Applicant's Name: _____

Larry Roelofs
Signature of Affected Person

4/15/2026
Date

Note: One or more Elected or Appointed Officials may be in attendance. Any person who decides to appeal any decision of the Planning Commission with respect to any matter considered at this meeting will need a record of the proceedings and for such purposes may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The law does not require the City to transcribe verbatim minutes; therefore, the applicant must make the necessary arrangements with a private reporter or private reporting firm and bear the resulting expense. In accordance with the Americans with Disability Act and F.S. 286.26; any person with a disability requiring reasonable accommodation in order to participate in this meeting should call 727-391-9951 or fax a written request to 727-399-1131.

Comments and Questions of John Lipa, 399 150th Avenue, Unit 117, Madeira Beach, FL33708
Affected Party to the proposed Maderia Beach Public Works Building at 503 150th Avenue, Madeira
Bach, FL 33708 (09-31-15-00000-140-0300)

Thank you for the opportunity to present comments and questions regarding this project which the city considers a major site plan review. I thank the planners for sharing their plans in a neighborly, albeit legal way.

I am speaking not only as an individual affected party but also as president of Madeira Cove Condominium Association. Madeira Cove Condominium Association is comprised of sixty residential units.

We realize the City Building Department would like a more spacious and modern building. My concerns and those of my neighbors at Madeira Cove are as follows:

150th Avenue, besides being a major entrance and exit road in Madeira Beach, is also a residential community with five condominium associations with hundreds of residents and guests. Most, if not all, of these condominiums are within the Affected Party geographic range. Why does this facility need to be on 150th Avenue?

How will this building and associated parking lot compliment the character of a residential community and provide a positive first impression of Madeira Beach for the thousands of visitors to Madeira Beach and the barrier island communities?

How much additional traffic will this add to an already heavily traveled road?

What traffic control devices will FDOT implement for truck and employees' personal vehicles to enter or exit 503 150th Avenue and avoid traffic back and unsafe conditions up on 150th Avenue for those of us who live there?

What will be the operational hours of the Buildings Department?

How will the city contain sounds of back up alarms on trucks so as not to disrupt our rightful peaceful use of our property, especially in early morning?

Where will the sanitation and recycling trucks parked?

When sanitation trucks need to be serviced, how will the smell and debris be contained, especially if they have to be washed or flushed out, so as not to attract coyotes, rats, etc. and be offense to the nearby neighbors and residents and visitors who may visit whatever the city plans for the former Holten property.

We have, and our neighborhood has experienced an increase in rats since the hurricanes that severely damaged and destroyed homes, rendering many homes vacant or uninhabitable. Our neighbors on East Madeira Way have reported a significant increase in the rat population. We at Madeira Cove have also experienced an increase and we have taken costly steps to deal with the problem. We do not want more rats in the neighborhood. My neighbors have small dogs. They are afraid to walk their dogs in the evening due to coyotes in the area. Please do not create an environment that attracts coyotes. What will the city do to not attract coyotes and rats?

