



# PLANNING COMMISSION MEETING AGENDA

Monday, February 05, 2024 at 6:00 PM  
Commission Chambers, 300 Municipal Drive,  
Madeira Beach, FL 33708

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Meetings will be televised on Spectrum Channel 640 and YouTube Streamed on the City's Website.

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1. **CALL TO ORDER**
2. **ROLL CALL**
3. **PUBLIC COMMENT**

*Public participation is encouraged. If you are addressing the Planning Commission, step to the podium and state your name and address for the record. Please limit your comments to three (3) minutes and do not include any topic that is on the agenda.*

*Public comment on agenda items will be allowed when they come up.*

*For any quasi-judicial hearings that might be on the agenda, an affected person may become a party to this proceeding and can be entitled to present evidence at the hearing including the sworn testimony of witnesses and relevant exhibits and other documentary evidence and to cross-examine all witnesses by filing a notice of intent to be a party with the Community Development Director, not less than five days prior to the hearing.*

4. **APPROVAL OF MINUTES**
  - [A.](#) Minutes
5. **NEW BUSINESS**
  - [A.](#) Don's Dock Site Plan (SP 2024-01) - REMOVED
  - [B.](#) Ordinance 2024-02 Open Accessory Structures
6. **OLD BUSINESS**
7. **ADMINISTRATIVE/STAFF PRESENTATION**
8. **PLANNING COMMISSION DISCUSSION**

A. John's Pass Activity Center Zoning

**9. NEXT MEETING**

Next meeting is scheduled for Monday, March 4, 2024 at 6:00 p.m.

**10. INFORMATIONAL MATERIALS**

**11. ADJOURNMENT**

**One or more Elected or Appointed Officials may be in attendance.**

*Any person who decides to appeal any decision of the Planning Commission with respect to any matter considered at this meeting will need a record of the proceedings and for such purposes may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The law does not require the minutes to be transcribed verbatim; therefore, the applicant must make the necessary arrangements with a private reporter or private reporting firm and bear the resulting expense. In accordance with the Americans with Disability Act and F.S. 286.26; any person with a disability requiring reasonable accommodation to participate in this meeting should call Jenny Rowan, Community Development Director at 727-391-9951, ext. 244 or email a written request to [jrowan@madeirabeachfl.gov](mailto:jrowan@madeirabeachfl.gov).*

**THE CITY OF MADEIRA BEACH, FLORIDA**  
**LOCAL PLANNING AGENCY / PLANNING COMMISSION**  
Madeira Beach City Hall, Patricia Shontz Commission Chambers  
300 Municipal Drive, Madeira Beach, FL 33708  
www.madeirabeachfl.gov | 727.391.9951  
**January 8, 2023 - MINUTES**

**1. CALL TO ORDER**

Chairman Wyckoff called the meeting to order at 6:00 PM

**2. ROLL CALL**

**Members in Attendance:**

|                       |                     |
|-----------------------|---------------------|
| Chairman Wyckoff      | Commissioner Meager |
| Commissioner Ghovae   | Commissioner Dillon |
| Commissioner Connolly |                     |
| Commissioner Noble    |                     |

**Members Absent:**

Commissioner LaRue

**Staff Representatives:**

Jenny Rowan, Community Development Director  
Marcy Forbes, Community Development Engineer  
Andrew Morris, Long Range Planner  
Lisa Scheuermann, Program Coordinator/Board Secretary  
Nancy Meyer, City Attorney's Office

**3. PUBLIC COMMENTS**

Chairman Wyckoff opened the floor to public comment on any topics not related to items on the agenda.

No residents came forward.

**4. APPROVAL OF MINUTES**

Minutes from the November meeting were approved unanimously.

**5. NEW BUSINESS**

There was no new business.

**6. OLD BUSINESS:**

There was no old business.

**7. STAFF PRESENTATION:****A. 2024-xx Shade Structures Draft**

Jenny Rowan Presented.

An update to the Agenda Packet was distributed to the commissioners. Changes to open accessory structures was covered adding definition and dimensions. Chairman Wyckoff asked what we are proposing. Marci Forbes answered that the alternative section is addressing and alternate options.

Marci Forbes presented a vision triangle for zones R-1 and R-2. It shows buildable area and what different buildable areas would look like. A sliding scale has been incorporated. Options are a vision triangle or standard setbacks. Immediate feedback said that setbacks would be easier, as they would allow more flexibility with size than the triangle.

Discussion followed. Housh Ghovae asked a question about rear property line vs. the seawall. Jenny Rowan said that setbacks are taken from the water side of the seawall. Housh Ghovae asked about deadmen and Marci Forbes said that the setbacks would mimic deadmen. Housh Ghovae suggested getting an engineer's letter for the deadmen. Chuck Dillon asked about the size of the structures, Jenny Rowan responded.

Discussion followed regarding fire inspections.

Jenny Rowan stated that we will do setbacks rather than a triangle.

The presentation continued with zones R-3 and C-3. There are no changes there.

Jenny Rowan moved on to zone C-4 and read the FDA requirement regarding shade and other things regarding a working waterfront and noted that nothing in the city code addresses it.

Discussion followed and Chuck Dillon asked for a definition of setbacks along with Section 110-480 and brought up the Cambria new structure, noting that it is not an accessory structure because it is attached like a porch.

Marci Forbes Explained setbacks for primary structures and accessory structures. Housh Ghovae asked how area in a rear yard is calculated. Jenny Rowan responded.

Discussion followed regarding 3.5% of total area lot calculation and it was noted that this is simplest for all residents.

Jenny Rowan went through all sections of 110-480.

The presentation moved on to 110-481 – C-1, C-2, C-3, C-4 measurements increase from 8' to 10' from grade.

Jenny Rowan asked for input on accessory structures on the working waterfront.

Discussion followed, Chuck Dillon suggested language that requires proof of requirement of federal and state regulations regarding accessory structures on a working waterfront.

110-486 has been added because there was nothing in current code regarding construction trailers.

110-487- Outdoor kitchens are not covered in the current code. Discussion followed regarding back flow to sewer and cut-off valve. Chuck Dillon asked about placement and Marci Forbes said that you would have to comply with accessory structure requirements.

Housh Ghovae asked what the definition of outdoor kitchen is.

## **B. Request for Qualifications RFQ 23-12.**

Jenny Rowan gave an update on the status of RFQ and deadlines.

Housh Ghovae- asked what is addressed in the master plan.

Discussion followed between Andrew Morris and Chairman Wyckoff.

## **8. Planning Commission Discussion**

### **A. Upcoming John's Pass Village Activity Center Zoning Public Workshop.**

Feedback will be going to the county on 2/20/2024 in mid-March. LDR needed to create new zoning.

Jenny Rowan described the format of the workshops.

Member discussion followed. John Connolly brought up waterway cleanliness and the master plan and requested a study be conducted on growth and how it affects current conditions now and in the future.

Jenny Rowan replied that the Master Plan would include growth studies.

John Connolly continued on speaking about how landscapers blow debris in to the canal and would like it to be on a meeting Agenda. Contractors and landscapers are polluting waterways. Chuck Dillon said he would like to prohibit wood mulch due to rain events. It's bad for sewers and he asked how we could get something like this going. Jenny Rowan replied that we would have to look at landscape code.

Commissioner Ghovae brought up that he would like to see ADA ramps and better sidewalks, and asked if this could be added to the budget. It was noted that this is a FDOT area.

Housh Ghovae went on to bring up the safety of Madeira Way to Gulf Blvd and how it says "right after stop" and he would like a new sign on Madeira Way.

He would like the city to take over Madeira Causeway maintenance, noting that it is owned by FDOT but it is our gateway to the city.

Andrew Morris replied that FDOT has a complete street policy.

Attorney Nancy Meyer added to the discussion that these are good ideas but it is not for this commission to address. We do not send items to them, they sent items to us.

There was no further discussion.

**9. NEXT MEETING**

The next meeting is scheduled for Monday February 5, 2024 at 6:00 PM.

**9. ADJOURNMENT**

Commissioner Wyckoff adjourned the meeting at 7:22 PM.

Respectfully submitted:

\_\_\_\_\_  
Michael Wyckoff, Chairman

\_\_\_\_\_  
Date

\_\_\_\_\_  
Lisa Scheuermann, Board Secretary

\_\_\_\_\_  
Date



# Memorandum

**Meeting Details:** Planning Commission, February 05, 2024

**Prepared For:** Planning Commission

**From:** Community Development Department

**Subject:** Site Plan Application: Don's Dock (SP 2024-01)

**Applicant/Property Owner:** Boardwalk Place Properties LLC

**Subject Property:** 215 Boardwalk Place, Madeira Beach, FL 33708 (15-31-15-00000-410-0200)

**Nature of Request:** Site plan application to build an open structured restaurant.

## **Review:**

### **Section 110-51. - Scope of Review.**

(1) Proposed use:

- a. Primary use. *Met (Sec. 110-287)*
- b. Accessory uses. *N/A*
- c. Special exception use: Approval by special magistrate obtained. *N/A*

(2) Lot restrictions:

- a. Lot size: width, depth, area. *Met (Sec. 110-290)*
- b. Setbacks. *Setbacks indicated on the Site Data Table on the Civil Plans. The front (20 feet) and rear (none) yard setbacks are met, the side yard (5 feet on one side) is not met. Setbacks should be indicated on a plan sheet.*
- c. Lot coverage. *Not indicated on the Site Data Table.*
- d. Impervious surface. *Does not meet. (Sec. 110-294 ISR is 0.85) The Site Data Table on the Civil Plans indicates the ISR is 87.5%, an increase from the existing.*
- e. Green area. *Not indicated on the plans. Should be included on Site Data Table and Landscape Plans.*
- f. Building heights. *Meets requirement (Sec 110-292 34 feet measuring from DFE) (Sec. 110-430(b) allows for elevators, stairways, ornamental towers or spires, to be erected to their height above the allowed building height but may not exceed 20 feet above the maximum building height limit).*



g. Density. *N/A*

(3) Arrangement of structures:

a. Distance between structures. *N/A*

b. Provisions for light, air, privacy and access. *N/A*

c. Location of accessory structures (article VI, division 4 of this chapter). *Cooler walk in must meet all FBC, LDR and FEMA requirements.*

d. Use of open space. *N/A*

e. Transition yard requirements. *N/A*

(4) Impact on surrounding property. *Meets setbacks and special requirements.*

(5) Floodplain regulations (chapter 94):

a. Elevation requirements. *VAR 2023-02 allows for the first story to be built at the same height as the Boardwalk, this is still one foot above BFE.*

b. Use below base flood elevation (BFE). *Meets requirements.*

(6) Parking (article VII of this chapter):

a. Minimum requirements for off-street parking. *Meets requirements with shared parking agreement.*

b. Location of spaces. *Meets requirements.*

c. Circulation. *Meets requirements.*

d. Loading and unloading areas. *Meets requirements.*

e. Handicap facilities. *Must have handicap parking spaces on site. Not provided.*

f. Compact spaces. *Meets requirements.*

g. Remote lots. *Meets requirements.*

(7) Traffic access: *Meets requirements.*

a. Available and allowable street cuts. *Meets requirements.*

b. Use of abutting roadways. *Meets requirements.*

c. Intersection visibility (section 110-423). *Meets requirements.*

d. Emergency vehicle access. *Meets requirements.*

(8) Protection of soil and water resources (chapter 98, article II): *No stormwater retention or drainage direction information provided.*

a. Development requirements.

b. Land alteration plan.

c. Drainage plan:

1. Treatment of stormwater runoff.

2. Protection during construction.

d. Environmentally sensitive area protection plan.

(9) Landscaping (chapter 106, article II): *Landscape Plans not provided.*

- a. Minimum requirements. *Sec. 106-34* Minimum of ten percent landscape areas, exclusive of perimeter landscape buffers. *Not shown on plans*
- b. Perimeter landscaping. *Five ft landscape buffer strip containing one tree for each 35 linear feet on east side (Sec. 106-35(1-2)). Not shown on plans.*
- c. Buffer landscaping. *Not shown on plans.*
- d. Use of existing landscaping. *N/A*
- e. Xeriscape requirements. *N/A*
- f. Irrigation system. *Not shown on plans.*
- g. Intersection restrictions. *Not shown on plans.*
- h. Screening of backflow preventer. *Not shown on plans.*
- i. Protected species (mangroves, sea oats, etc.). *N/A*

(10) Tree protection (chapter 106, article III): *Landscape Plans not provided.*

- a. Minimum requirements. *Not provided (one tree per 400 sq ft Sec. 106-34)*
- c. Use of existing trees. *Not provided*
- d. Removal of exotic species. *N/A*
- e. Protection during construction. *N/A*
- f. Irrigation for the trees. *Not provided*

(11) Lighting (article VI, division 5 of this chapter): *Not provided.*

- a. Impact of indoor and outdoor lighting.
- b. Decorative and accent lighting.
- c. Temporary lighting.
- d. Lighting in beach area.

(12) Sidewalks (chapter 58): *There are no sidewalks on the south side of Boardwalk Pl. Sidewalks are located on the northside of Boardwalk.*

- a. Minimum requirements.
- b. Location and size.
- c. Pedestrian access.

(13) Signs (chapter 102): *No signage proposed. Any future signage must meet the requirements in the Code of Ordinances.*

- a. Type. *N/A*
- b. Location. *N/A*
- c. Size. *N/A*

(14) Recreation areas: *N/A*

- a. Type. *N/A*
- b. Location. *N/A*

(15) Fences and walls (article VI, division 3 of this chapter): *N/A*

- a. Location. *N/A*
- b. Height. *N/A*
- c. Types. *N/A*

(16) Easements (article VI, division 10, subdivision II of this chapter): *Easement on boardwalk stairs.*

- a. Utility. *N/A*
- b. Pedestrian/beach access. *N/A*
- c. Access easements. *Access easements noted on the plans.*

(17) Docks and seawalls (section 110-426 and chapter 14, article V) *Need more information regarding deadmen anchors in structural plans.*

- a. Requirements. *N/A*
- b. Exemptions. *N/A*

(18) Miscellaneous: *N/A*

- a. Laundry facilities. *N/A*
- b. Satellite dish antennas (article VI, division 12, subdivision III of this chapter). *N/A*
- c. Outdoor storage (article VI, division 9, subdivision I of this chapter). *N/A*
- d. Swimming pools (article VI, division 11 of this chapter). *N/A*
- e. Solid waste disposal containers and enclosures (section 54-61). *Location and size not provided.*

(19) Concurrency determination (chapter 90).

**Recommendation:** Staff recommends the applicant meets all requirements noted above.

**Attachments:**

- Site Plan application
- Architectural Plans
- Civil Plans
- Survey
- Variance Approval
- Neighborhood meeting mailing
- Parking Agreement
- Property Posting



CITY OF MADEIRA BEACH
PLANNING & ZONING DEPARTMENT
300 MUNICIPAL DRIVE ♦ MADEIRA BEACH, FLORIDA 33708
(727) 391-9951 EXT. 255 ♦ FAX (727) 399-1131
Email to: planning@madeirabeachfl.gov



SITE PLAN APPLICATION

Site Plan application fee ..... \$300

I. PROJECT

Project Name: Don's Dock Restaurant

Project Description: New Freestanding Restaurant Building

Address of Subject Property: 215 Boardwalk Place E
Madeira Beach, FL 33708

Parcel ID #: 15-31-15-00000-410-0200

Legal Description: See Attached

Existing Use of Property: Vacant Commercial Land with Commercial Marine facilities

Full Description Attached? [x] Yes [ ] No

II. APPLICANT

Applicant Status: Attach proof of ownership (deed) [x] Owner [ ] Agent

Applicant Name, Title:

Company Name (If applicable): Boardwalk Place Properties LLC

Mailing Address: 101 150th Ave Madeira Beach FL 33708

Phone: 727-367-3000 Fax:

Email: wkarns@karnsenterprises.com

If Applicant is the agent for a property owner, please attach proof of Agent Authorization.

Boardwalk Place Properties LLC

Name of Owner (Title Holder):

Mailing Address: 101 150th Ave Madeira Beach FL 33708

DISCLAIMER: According to Florida Statutes, Chapter 119, it is the policy of this state that all state, county, and municipal records are open for personal inspection and copying by any person. Providing access to public records is a duty of each agency. All documents and information not specified in F.S. 119.071 and 119.0713 are subject to public record requests.

III. ADDITIONAL INFORMATION

Is there an existing contract for sale of options to purchase subject property?  Yes  No

If "Yes", list all names of parties involved: \_\_\_\_\_

Is the contract/option contingent or absolute?  Contingent  Absolute  N/A

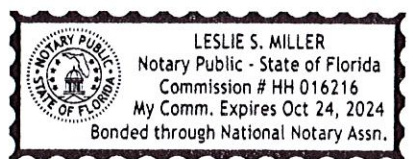
I certify and acknowledge that the information contained herein is true and correct to my best knowledge.

*[Handwritten Signature]* MANAGER 12/28/23  
Signature of Applicant Date

STATE OF Florida  
COUNTY OF Pinellas

The foregoing application as acknowledged before me this 28<sup>th</sup> day of December, 2023  
by William Karns who is  personally known to me or  has produced  
\_\_\_\_\_ as identification.

[SEAL]



*[Handwritten Signature]*  
Public Notary Signature

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**LEGAL DESCRIPTION OF REAL PROPERTY**

That portion of land lying Southeasterly of Lots 1, 2 and 3, Block 1, Mitchell's Beach, according to the map or plat thereof, recorded in Plat Book 3, Page 54, of the public records of Pinellas County, Florida and lying between the extended Northeasterly line of said Lot 1, Block 1 in a Southeasterly direction and the extended Southwesterly line of Said Lot 3, Block 1 in a Southeasterly direction to the mean high water line of John's Pass.

The above described property being one and the same as the parcel described as follows:

That portion of land lying Southeasterly of Lots 1, 2 and 3, Block 1, Mitchell's Beach, according to the map or plat thereof, recorded in Plat Book 3, Page 54, of the public records of Pinellas County, Florida and lying Northwesterly of the mean high water line of said Lot 1 and the Southwesterly line of said Lot 3, as extended Southeasterly to said John's Pass.

LESS AND EXCEPT the Northwesterly 30 feet thereof for the right of way for 128th Avenue.



# GENERAL NOTES:

- DIMENSIONING IS TAKEN TO THE FACE OF STUD (F.O.S.)
- COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH STRUCTURAL DRAWINGS BEFORE LAYING OUT PHYSICAL BUILDING IN FIELD. CONTACT ARCHITECT WITH ANY DISCREPANCIES OR QUESTIONS AS TO CRITICAL DIMENSIONS.
- ALL FLOORING TO HAVE SLIP RESISTANT FINISH. ALL WALL FINISHES TO BE CLASS "C" FLAMESPREAD. VERIFY ALL FINISHES WITH OWNER. SMOOTH TEXTURE ON ALL WALLS AND CEILINGS WHERE APPLICABLE. SQUARE CORNER BEAD ON CORNERS. VERIFY PAINT WITH OWNER.
- PLUMBING FIXTURES TO BE OF A STANDARD GRADE. COLOR TO BE WHITE WITH BRUSHED NICKEL HARDWARE. U.N.O.
- SEE ENLARGED PLANS ON SHEET A3.0 FOR ADDITIONAL NOTES, DETAILS & DIMENSIONS.

# ACCESSIBILITY NOTES:

- NO ABRUPT CHANGES IN ELEVATION ALONG PATH OF TRAVEL SHALL BE ALLOWED.
- SLOPES SHALL NOT EXCEED 1:20 UNLESS A RAMP IS PROVIDED.
- RAMP SLOPES SHALL NOT EXCEED 1:12 SLOPE
- CROSS SLOPES SHALL NOT EXCEED 2%
- MAX 1/4" VERTICAL & 1/4" BEVELED EDGE (TOTAL 1/2") THRESHOLD HEIGHT.
- SEE DETAIL 1 ON A4.0 FOR ALL ADA MOUNTING HEIGHTS AND BATH INTERIOR ELEVATIONS

# SYMBOL REFERENCES

- SPACE NUMBERS
- EQUIPMENT OR KEYED NOTES
- DOOR NUMBERS
- △ REVISIONS MADE TO THIS SHEET
- ◇ WINDOW TYPES
- ⊗ BUILDING SECTIONS OR ELEVATIONS

# WALL LEGEND

- 8 x 8 x 16 CMU ELEVATOR SHAFT WALL - INSTALL HORIZONTAL LAP SIDING OVER BUILDING PAPER ON EXTERIOR SIDES ONLY - SEE ELEVATIONS FOR WALL HEIGHT AND STRUCTURAL PLANS
- 2 x 6 EXTERIOR WOOD FULL HEIGHT WALL AT 16" O.C. - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" GYPSUM BOARD WITH R-13 INSULATION ON INTERIOR SIDES; 8'-0" WALL HEIGHT AT ROOF LEVEL - SEE 4/ A4.1
- 2 x 6 INTERIOR WOOD STUD FULL HEIGHT WALL AT 16" O.C. - INSTALL 1/2" GYPSUM BOARD ON EACH SIDE - SEE 5/ A4.1
- 2 x 6 EXTERIOR WOOD LOW WALL AT 16" O.C. WITH DECORATIVE RAILING ABOVE - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR WALL SIDES - SEE ELEVATIONS FOR WALL & RAILING HEIGHTS - SEE 1/ A4.1
- 2 x 6 WOOD STUD LOW BAR WALL AT 16" O.C. WITH NEW COUNTERTOP - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" WATER RESISTANT GYPSUM BOARD ON & FRP ON INTERIOR SIDE - SEE 2 & 3/ A4.1

- NOTE:
- ALL WALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.)
  - USE WATER RESISTANT GYPSUM BOARD IN ALL WET AREAS AS REQUIRED

# OCCUPANCY CALCULATIONS:

OCCUPANCY TYPE A-2\*

1ST FLOOR

|                             |                  |          |
|-----------------------------|------------------|----------|
| GENERAL SEATING =           | 1,236 S.F./ 15 = | 82 O.L.  |
| BAR SEATING =               | 146 S.F./ 7 =    | 21 O.L.  |
| BATHROOMS & STORAGE =       | 321 S.F./ 300 =  | 1 O.L.   |
| BAR =                       | 340 S.F./ 200 =  | 2 O.L.   |
| TOTAL 1ST FLOOR OCCUPANCY = |                  | 106 O.L. |

2ND FLOOR

|                             |                  |          |
|-----------------------------|------------------|----------|
| GENERAL SEATING =           | 1,586 S.F./ 15 = | 106 O.L. |
| BAR SEATING =               | 254 S.F./ 7 =    | 36 O.L.  |
| BATHROOMS & STORAGE =       | 171 S.F./ 300 =  | 1 O.L.   |
| BAR =                       | 283 S.F./ 200 =  | 2 O.L.   |
| TOTAL 2ND FLOOR OCCUPANCY = |                  | 145 O.L. |

# EGRESS CALCULATIONS:

TOTAL OCCUPANCY LOAD = 251 O.L.

REQUIRED & PROVIDED EGRESS INCHES

DOORS - .2 x 251 O.L. = 50.2' REQUIRED/ 108' PROVIDED - 2 EXITS

STAIRS - .3 x 251 O.L. = 75.3' REQUIRED/ 146' PROVIDED - 2 EXITS

# PLUMBING FIXTURE CALCULATIONS:

TOTAL OCCUPANCY LOAD = 251 O.L.

OCCUPANCY TYPE USED FOR PLUMBING CALCULATIONS: "A-2"

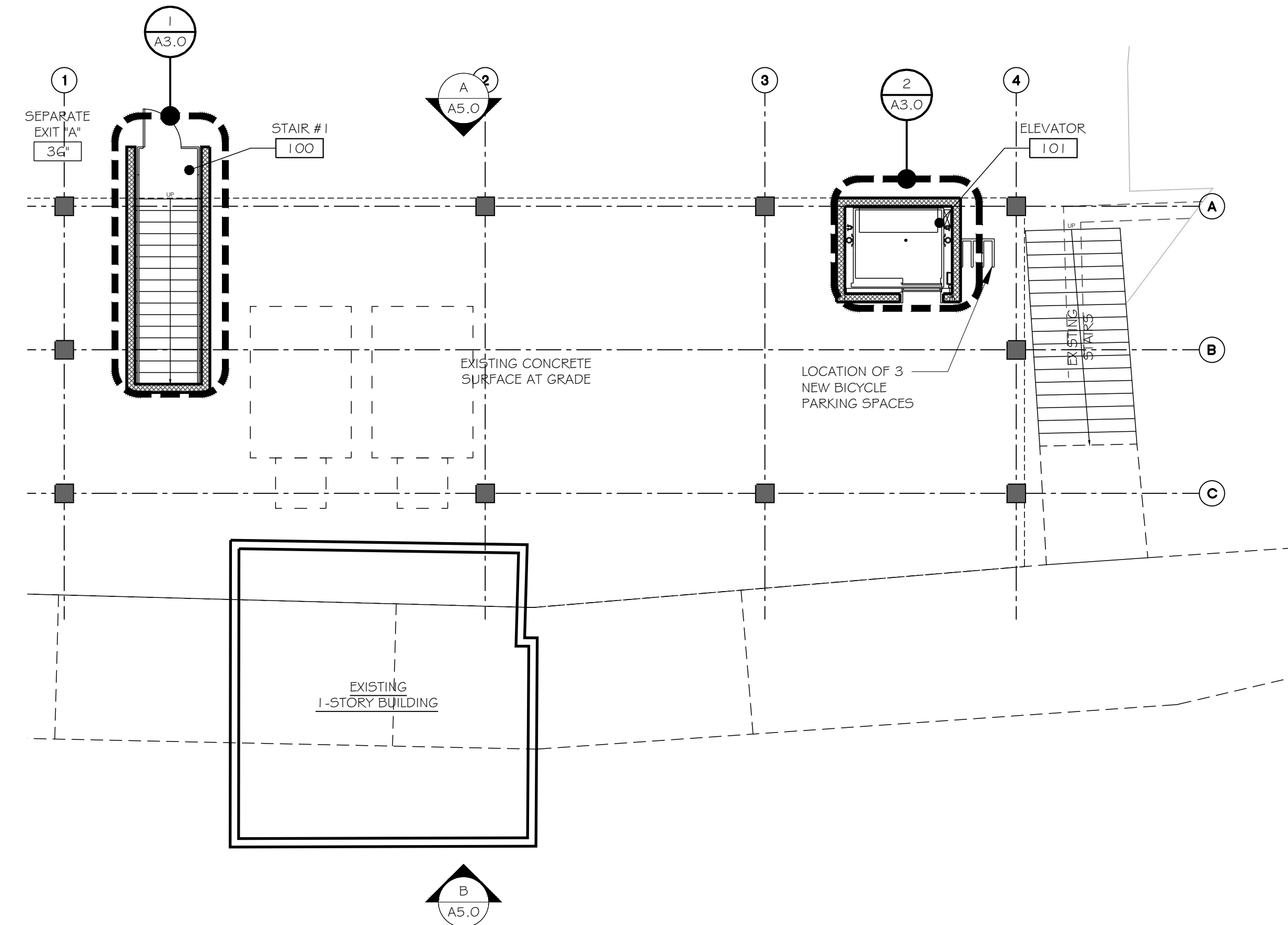
| REQUIRED                  | WOMEN | MEN |
|---------------------------|-------|-----|
| TOILETS (1 PER 75)        | 2     | 2   |
| SINKS (1 PER 200)         | 1     | 1   |
| * 1 SERVICE SINK REQUIRED |       |     |

| PROVIDED                  | WOMEN | MEN |
|---------------------------|-------|-----|
| TOILETS                   | 2     | 2   |
| SINKS                     | 2     | 2   |
| * 1 SERVICE SINK PROVIDED |       |     |

\*FPC 410.4 - SUBSTITUTION: WHERE RESTAURANTS PROVIDE DRINKING WATER IN A CONTAINER FREE OF CHARGE, DRINKING FOUNTAINS SHALL NOT BE REQUIRED IN THOSE RESTAURANTS.

# LIFE SAFETY LEGEND

- EXIT LIGHT FIXTURE
- FIRE EXTINGUISHER
- HORN/ STROBE FIXTURE
- EXIT CAPACITY IN INCHES
- ORIGIN OF TRAVEL DISTANCE
- TRAVEL DISTANCE (PATH)



1 A1.0 NEW GROUND FLOOR & LIFE SAFETY PLAN SCALE: 1/8" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODES AND THE 2018 INTERNATIONAL FIRE CODE.

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| 1   |      |             |

WILLIAM KARNS ENTERPRISES, INC.  
BILL KARNS, PRESIDENT  
1405 BERRY BLVD., SUITE H  
MADEIRA BEACH, FL 33708  
727-367-3000  
WKARNS@KARNSENTERPRISES.COM

CLIENT: DON'S DOCK RESTAURANT  
215 BOARDWALK PLACE EAST, MADEIRA BEACH, FL 33708  
PIN #: 15-31-15-00000-410-0200

DRENGLANG ARCHITECT, AIA  
LICENSE #A00000000

LANG + FERFOGLIA  
ARCHITECTURE | DEVELOPMENT  
FL LICENSE # AR100258 AIA REGISTRATION # 39011970  
2000 34TH AVENUE N, ST PETERSBURG, FL 33713  
TEL: (727) 698-5677

DRAWN BY: SFF  
DATE: 10-12-23  
PROJECT #: 2216  
SHEET: A1.0



**GENERAL NOTES:**

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**WALL LEGEND**

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- 2 x 6 EXTERIOR WOOD FULL HEIGHT WALL AT 16" O.C. - INSTALL HORIZONTAL LAP SIDING OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" GYPSUM BOARD WITH R-13 INSULATION ON INTERIOR SIDES; 8'-0" WALL HEIGHT AT ROOF LEVEL - SEE 4/ A4.1
- 2 x 6 INTERIOR WOOD STUD FULL HEIGHT WALL AT 16" O.C. - INSTALL 1/2" GYPSUM BOARD ON EACH SIDE - SEE 5/ A4.1
- 2 x 6 EXTERIOR WOOD LOW WALL AT 16" O.C. WITH DECORATIVE RAILING ABOVE - INSTALL HORIZONTAL LAP SIDING OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR WALL SIDES - SEE ELEVATIONS FOR WALL & RAILING HEIGHTS - SEE 1/ A4.1
- 2 x 6 WOOD STUD LOW BAR WALL AT 16" O.C. WITH NEW COUNTERTOP - INSTALL HORIZONTAL LAP SIDING OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" WATER RESISTANT GYPSUM BOARD ON & FRP ON INTERIOR SIDE - SEE 2 & 3/ A4.1

NOTE:  
 1. ALL WALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.)  
 2. USE WATER RESISTANT GYPSUM BOARD IN ALL WET AREAS AS REQUIRED

**OCCUPANCY CALCULATIONS:**

|                                    |                  |                 |
|------------------------------------|------------------|-----------------|
| <b>OCCUPANCY TYPE A-2*</b>         |                  |                 |
| <b>1ST FLOOR</b>                   |                  |                 |
| GENERAL SEATING =                  | 1,236 S.F./ 15 = | 82 O.L.         |
| BAR SEATING =                      | 146 S.F./ 7 =    | 21 O.L.         |
| BATHROOMS & STORAGE =              | 321 S.F./ 300 =  | 1 O.L.          |
| BAR =                              | 340 S.F./ 200 =  | 2 O.L.          |
| <b>TOTAL 1ST FLOOR OCCUPANCY =</b> |                  | <b>106 O.L.</b> |
| <b>2ND FLOOR</b>                   |                  |                 |
| GENERAL SEATING =                  | 1,586 S.F./ 15 = | 106 O.L.        |
| BAR SEATING =                      | 254 S.F./ 7 =    | 36 O.L.         |
| BATHROOMS & STORAGE =              | 171 S.F./ 300 =  | 1 O.L.          |
| BAR =                              | 283 S.F./ 200 =  | 2 O.L.          |
| <b>TOTAL 2ND FLOOR OCCUPANCY =</b> |                  | <b>145 O.L.</b> |

**EGRESS CALCULATIONS:**

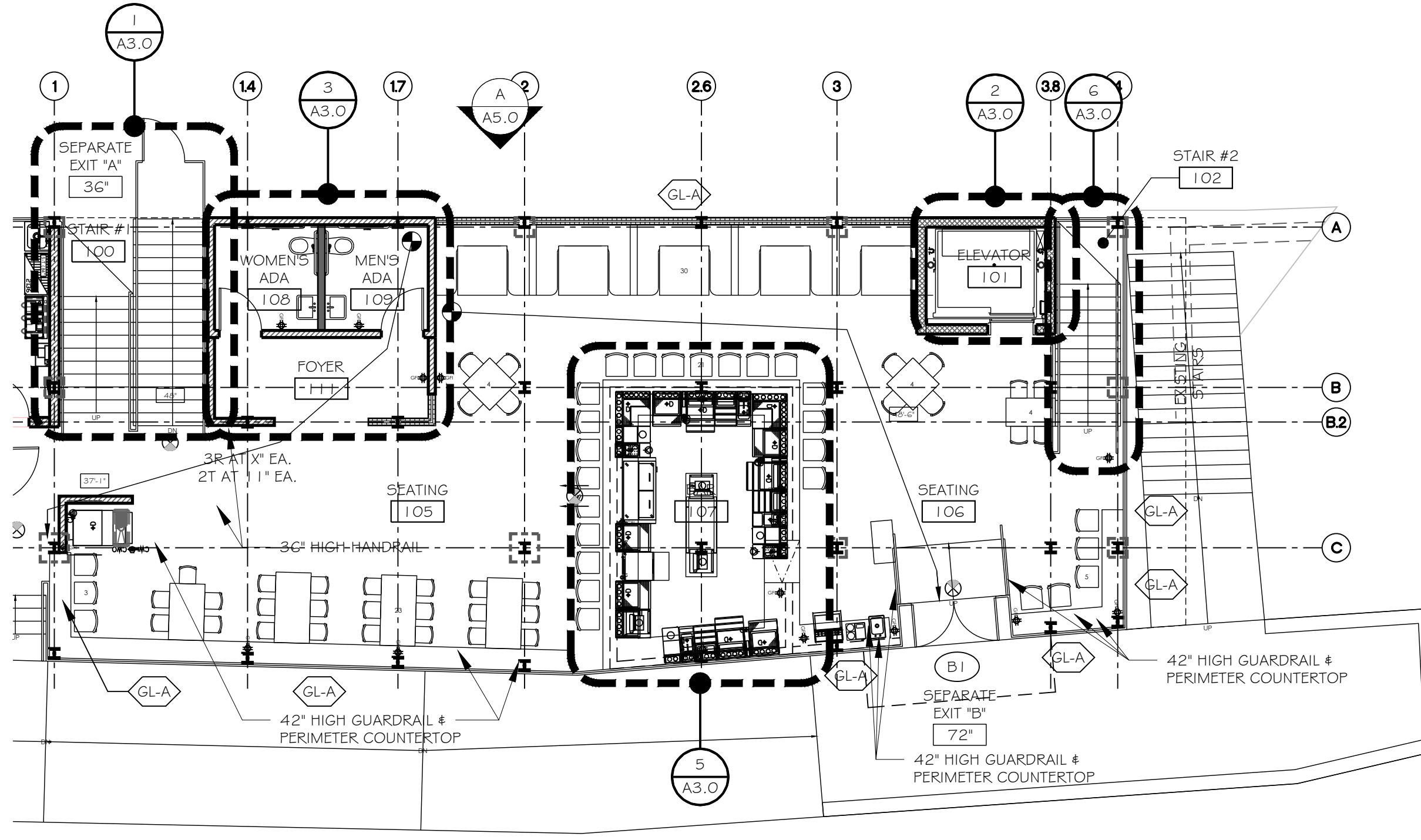
|  |                 |
|--|-----------------|
| <b>TOTAL OCCUPANCY LOAD =</b>                                    | <b>251 O.L.</b> |
| REQUIRED & PROVIDED EGRESS INCHES                                |                 |
| DOORS - .2 x 251 O.L. = 50.2" REQUIRED/ 108" PROVIDED - 2 EXITS  |                 |
| STAIRS - .3 x 251 O.L. = 75.3" REQUIRED/ 146" PROVIDED - 2 EXITS |                 |

**PLUMBING FIXTURE CALCULATIONS:**

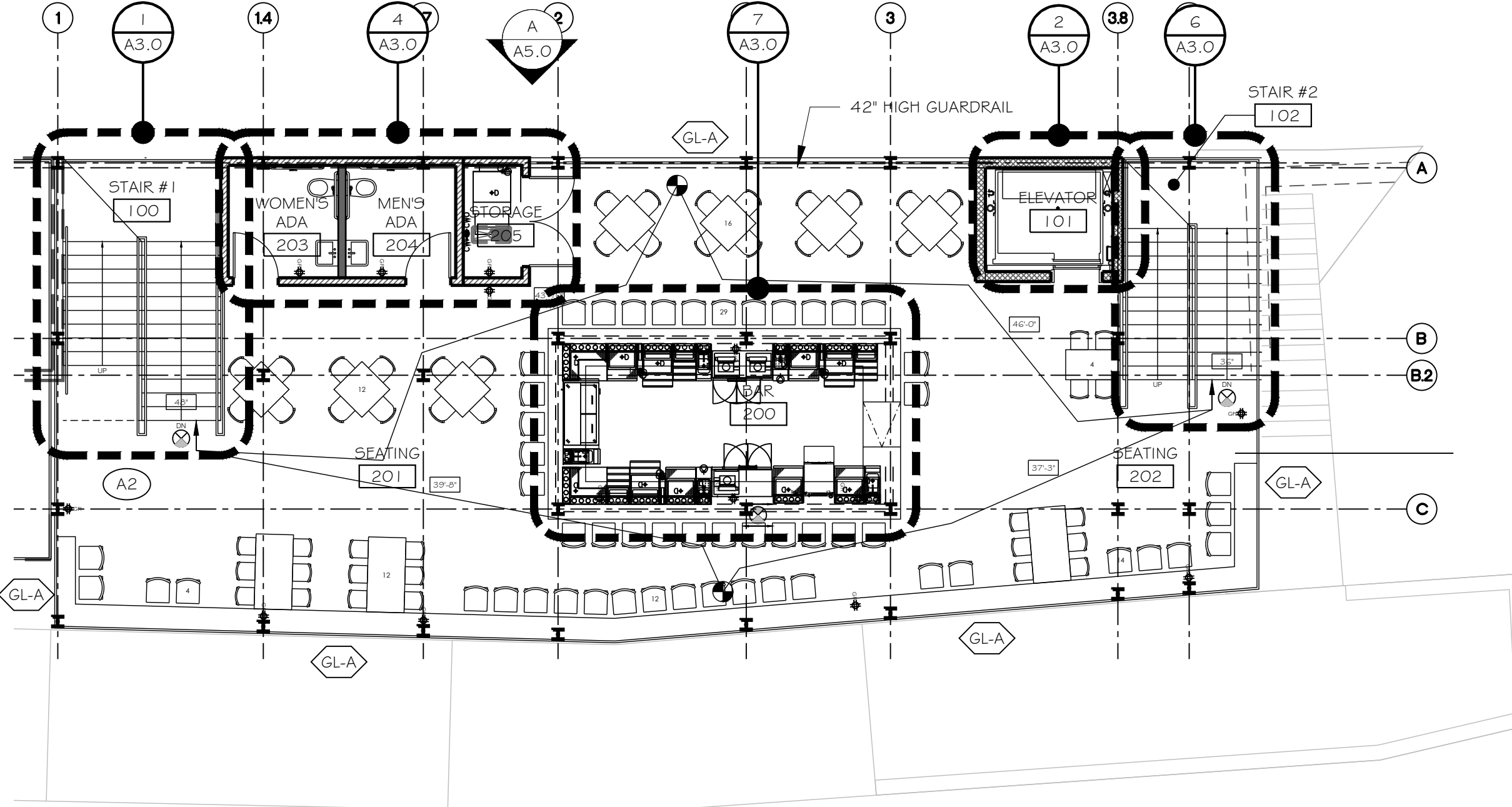
|   |                  |
|---|------------------|
| <b>TOTAL OCCUPANCY LOAD =</b>   | <b>251 O.L.</b>  |
| OCCUPANCY TYPE USED FOR PLUMBING CALCULATIONS: "A-2"  |                  |
| <b>REQUIRED</b>   | <b>WOMEN MEN</b> |
| TOILETS (1 PER 75)  | 2 2              |
| SINKS (1 PER 200)   | 1 1              |
| * 1 SERVICE SINK REQUIRED   |                  |
| <b>PROVIDED</b>   | <b>WOMEN MEN</b> |
| TOILETS   | 2 2              |
| SINKS   | 2 2              |
| * 1 SERVICE SINK PROVIDED   |                  |
| *FPC 410.4 - SUBSTITUTION: WHERE RESTAURANTS PROVIDE DRINKING WATER IN A CONTAINER FREE OF CHARGE, DRINKING FOUNTAINS SHALL NOT BE REQUIRED IN THOSE RESTAURANTS. |                  |

**LIFE SAFETY LEGEND**

- EXIT LIGHT FIXTURE
- FIRE EXTINGUISHER
- HORN/ STROBE FIXTURE
- EXIT CAPACITY IN INCHES
- ORIGIN OF TRAVEL DISTANCE
- TRAVEL DISTANCE (PATH)



**1 NEW 1ST FLOOR & LIFE SAFETY PLAN**  
 SCALE: 1/8" = 1'-0"



**2 NEW 2ND FLOOR & LIFE SAFETY PLAN**  
 SCALE: 1/8" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY PROVISIONS AS DETERMINED BY THE JURISDICTION. THE ARCHITECT MAKES NO WARRANTY, REPRESENTATION OR GUARANTEE AS TO THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE THE CONSTRUCTION OF THE PROJECT.

| REVISIONS |             |
|-----------|-------------|
| NO        | DESCRIPTION |
|           |             |
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WILLIAM KARNS ENTERPRISES, INC.  
 BILL KARNS, PRESIDENT  
 14065 HWY 19, SUITE 104  
 TAMPA, FL 33613  
 727-367-3000  
 WKARNS@KARNSENTERPRISES.COM

**DON'S DOCK RESTAURANT**  
 215 BOARDWALK PLACE EAST, MADEIRA BEACH, FL 33708  
 PIN #: 15-31-15-00000-410-0200

DRAWN BY: SFF  
 DATE: 10-12-23  
 PROJECT #: 2216  
 SHEET: A1.1

**LANG + FERFOGLIA**  
 ARCHITECTURE | DEVELOPMENT  
 LICENSE # AR100258/AA REGISTRATION # 39011970  
 2000 34TH AVENUE N, ST PETERSBURG, FL 33713  
 TEL: (727) 698-9877

DENNIS LANG, ARCHITECT, AIA  
 LICENSE #A100258

**GENERAL NOTES:**

- DIMENSIONING IS TAKEN TO THE FACE OF STUD (F.O.S.)
- COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH STRUCTURAL DRAWINGS BEFORE LAYING OUT PHYSICAL BUILDING IN FIELD. CONTACT ARCHITECT WITH ANY DISCREPANCIES OR QUESTIONS AS TO CRITICAL DIMENSIONS.
- ALL FLOORING TO HAVE SLIP RESISTANT FINISH. ALL WALL FINISHES TO BE CLASS "C" FLAMESPREAD. VERIFY ALL FINISHES WITH OWNER. SMOOTH TEXTURE ON ALL WALLS AND CEILINGS WHERE APPLICABLE. SQUARE CORNER BEAD ON CORNERS. VERIFY PAINT WITH OWNER.
- PLUMBING FIXTURES TO BE OF A STANDARD GRADE. COLOR TO BE WHITE WITH BRUSHED NICKEL HARDWARE. U.N.O.
- SEE ENLARGED PLANS ON SHEET A3.0 FOR ADDITIONAL NOTES, DETAILS & DIMENSIONS.

**ACCESSIBILITY NOTES:**

- NO ABRUPT CHANGES IN ELEVATION ALONG PATH OF TRAVEL SHALL BE ALLOWED.
- SLOPES SHALL NOT EXCEED 1:20 UNLESS A RAMP IS PROVIDED.
- RAMP SLOPES SHALL NOT EXCEED 1:12 SLOPE
- CROSS SLOPES SHALL NOT EXCEED 2%
- MAX 1/4" VERTICAL & 1/4" BEVELED EDGE (TOTAL 1/2") THRESHOLD HEIGHT.
- SEE DETAIL 1 ON A4.0 FOR ALL ADA MOUNTING HEIGHTS AND BATH INTERIOR ELEVATIONS

**SYMBOL REFERENCES**

- SPACE NUMBERS
- EQUIPMENT OR KEYED NOTES
- X  
XX-XX REVISIONS MADE TO THIS SHEET
- X  
XX-XX BUILDING SECTIONS OR ELEVATIONS
- X  
XX-XX REVISIONS MADE TO THIS SHEET
- X  
XX-XX BUILDING SECTIONS OR ELEVATIONS

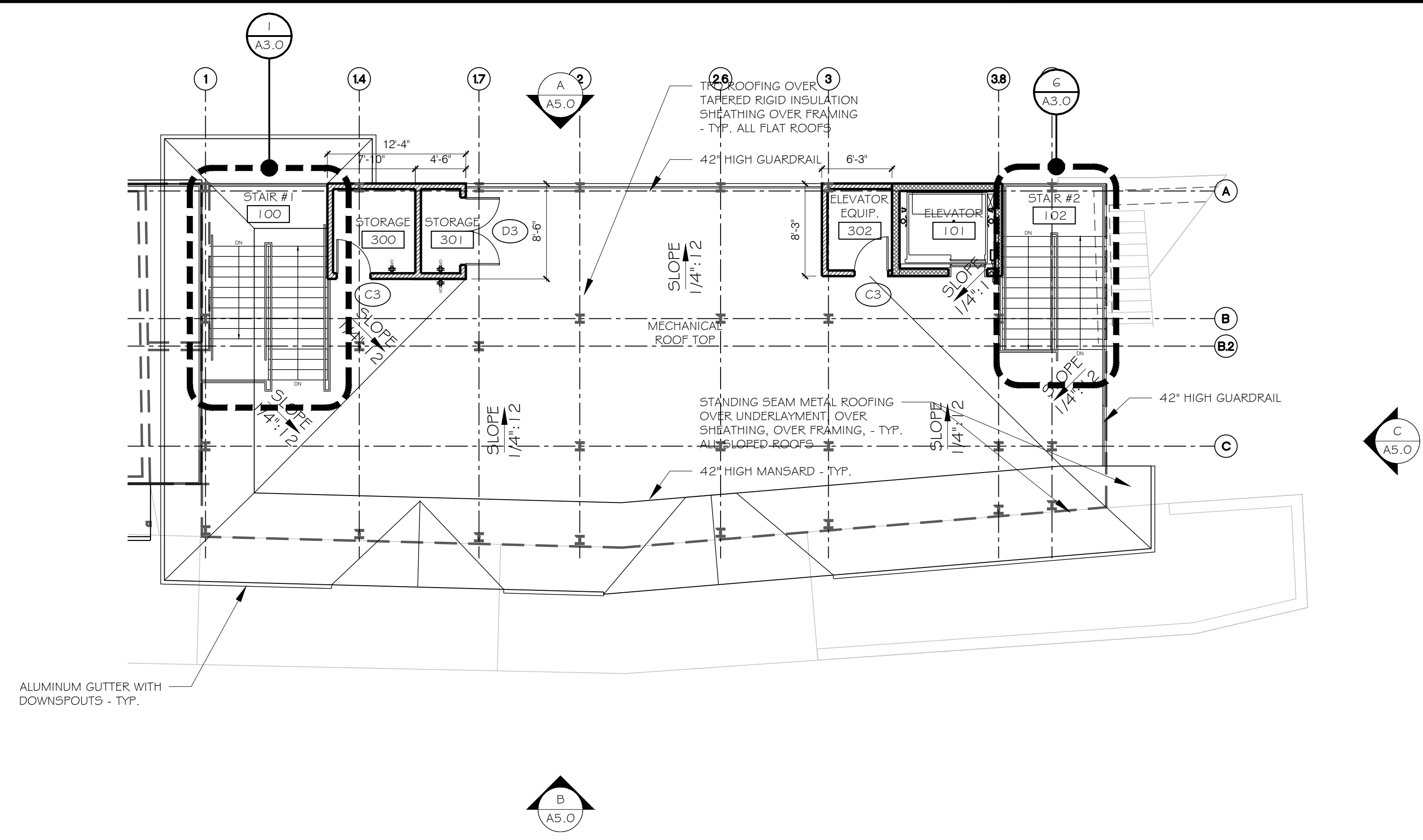
**WALL LEGEND**

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- 2 x 6 EXTERIOR WOOD FULL HEIGHT WALL AT 16" O.C. - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" GYPSUM BOARD WITH R-13 INSULATION ON INTERIOR SIDES; 8'-0" WALL HEIGHT AT ROOF LEVEL - SEE 4/ A4.1
- 2 x 6 INTERIOR WOOD STUD FULL HEIGHT WALL AT 16" O.C. - INSTALL 1/2" GYPSUM BOARD ON EACH SIDE - SEE 5/ A4.1
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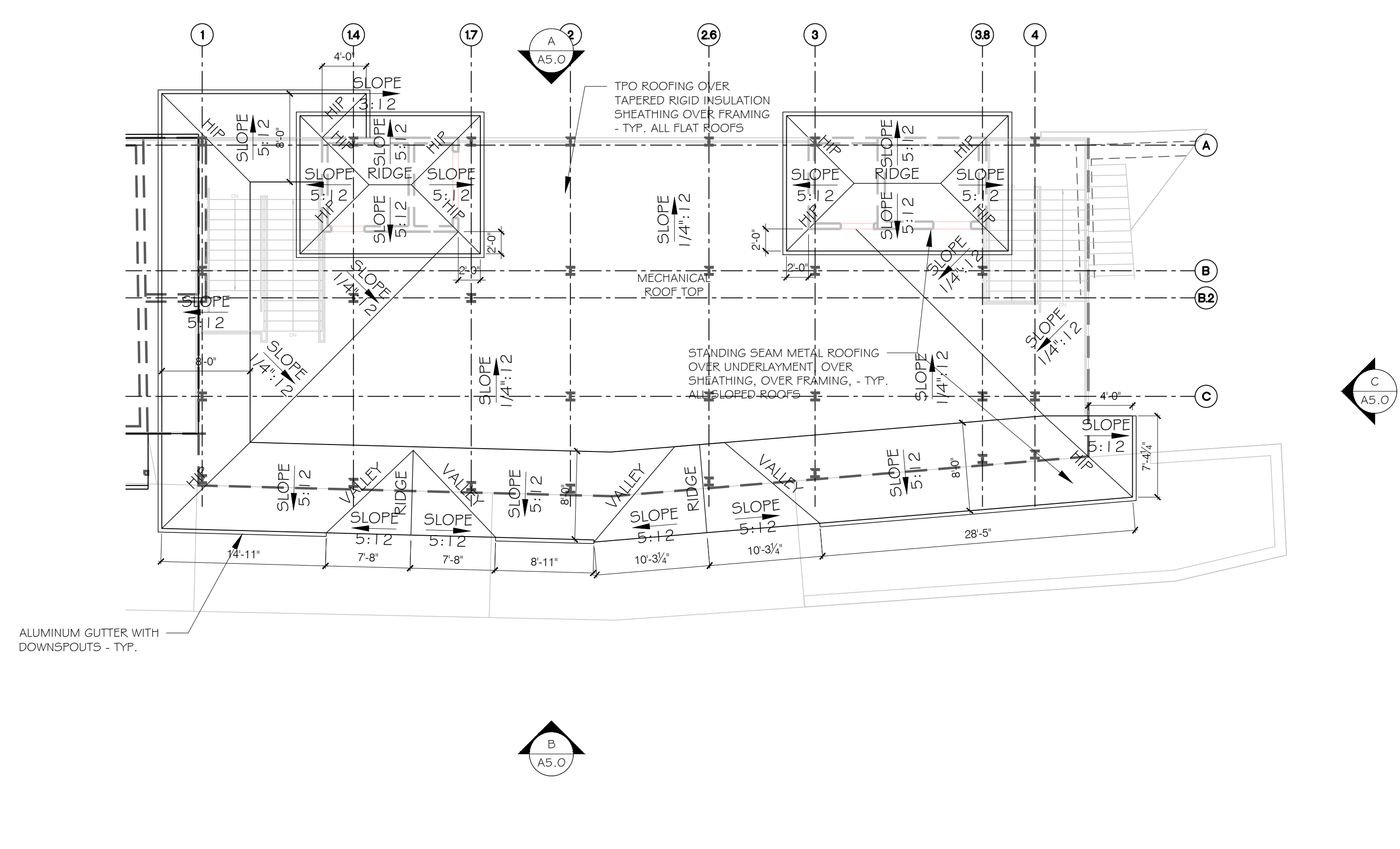
- NOTE:**
- ALL WALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.)
  - USE WATER RESISTANT GYPSUM BOARD IN ALL WET AREAS AS REQUIRED

**LIFE SAFETY LEGEND**

- X  
XX-XX EXIT LIGHT FIXTURE
- X  
XX-XX FIRE EXTINGUISHER
- X  
XX-XX HORN/ STROBE FIXTURE
- X  
XX-XX EXIT CAPACITY IN INCHES
- X  
XX-XX ORIGIN OF TRAVEL DISTANCE
- X  
XX-XX TRAVEL DISTANCE (PATH)



**1 NEW ROOF DECK PLAN**  
SCALE: 1/8" = 1'-0"



**2 NEW ROOF PLAN**  
SCALE: 1/8" = 1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND COMMENTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING WITHIN 10 BUSINESS DAYS OF RECEIVING THE DRAWINGS. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE, SAFETY, AND LIFE SAFETY REQUIREMENTS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

REVISIONS

| NO. | DATE | DESCRIPTION |
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| 1   |      |             |

WILLIAM KARNS ENTERPRISES, INC.  
BILL KARNS, PRESIDENT  
1405 BERRY BLVD., SUITE 104  
MADEIRA BEACH, FL 32949  
727-367-3000  
WKARNS@KARNSENTERPRISES.COM

CLIENT

**DON'S DOCK RESTAURANT**  
215 BOARDWALK PLACE EAST, MADEIRA BEACH, FL 32708  
PIN #: 15-31-15-00000-410-0200

DRAW TITLE

**LANG + FERFOGLIA**  
ARCHITECTURE | DEVELOPMENT  
FL LICENSE # AR100258 | AA REGISTRATION # 39211970  
2000 34TH AVENUE N, ST PETERSBURG, FL 33713  
TEL: (727) 698-5677

DENNIS LANG, ARCHITECT, AIA  
LICENSE # 48028

DRAWN BY: SFF  
DATE: 10-12-23  
PROJECT #: 2216  
SHEET: A1.2

## GENERAL NOTES:

- DIMENSIONING IS TAKEN TO THE FACE OF STUD (F.O.S.)
- COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH STRUCTURAL DRAWINGS BEFORE LAYING OUT PHYSICAL BUILDING IN FIELD. CONTACT ARCHITECT WITH ANY DISCREPANCIES OR QUESTIONS AS TO CRITICAL DIMENSIONS.
- ALL FLOORING TO HAVE SLIP RESISTANT FINISH. ALL WALL FINISHES TO BE CLASS "C" FLAMESPREAD. VERIFY ALL FINISHES WITH OWNER.
- SMOOTH TEXTURE ON ALL WALLS AND CEILINGS WHERE APPLICABLE. SQUARE CORNER BEAD ON CORNERS. VERIFY PAINT WITH OWNER.
- PLUMBING FIXTURES TO BE OF A STANDARD GRADE. COLOR TO BE WHITE WITH BRUSHED NICKEL HARDWARE. U.N.O.
- SEE ENLARGED PLANS ON SHEET A3.0 FOR ADDITIONAL NOTES, DETAILS & DIMENSIONS.

## ACCESSIBILITY NOTES:

- NO ABRUPT CHANGES IN ELEVATION ALONG PATH OF TRAVEL SHALL BE ALLOWED.
- SLOPES SHALL NOT EXCEED 1:20 UNLESS A RAMP IS PROVIDED.
- RAMP SLOPES SHALL NOT EXCEED 1:12 SLOPE
- CROSS SLOPES SHALL NOT EXCEED 2%
- MAX 1/4" VERTICAL & 1/4" BEVELED EDGE (TOTAL 1/2") THRESHOLD HEIGHT.
- SEE DETAIL 1 ON A4.0 FOR ALL ADA MOUNTING HEIGHTS AND BATH INTERIOR ELEVATIONS

## SYMBOL REFERENCES

- |               |                                 |
|---------------|---------------------------------|
| SPACE NUMBERS | EQUIPMENT OR KEYED NOTES        |
| DOOR NUMBERS  | REVISIONS MADE TO THIS SHEET    |
| WINDOW TYPES  | BUILDING SECTIONS OR ELEVATIONS |

## WALL LEGEND

- |  |  |
|--|--|
|  | 8 x 8 x 16 CMU ELEVATOR SHAFT WALL - INSTALL HORIZONTAL LAP SIDING OVER BUILDING PAPER ON EXTERIOR SIDES ONLY - SEE ELEVATIONS FOR WALL HEIGHT AND STRUCTURAL PLANS  |
|  | 2 x 6 EXTERIOR WOOD FULL HEIGHT WALL AT 16" O.C. - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" GYPSUM BOARD WITH R-13 INSULATION ON INTERIOR SIDES; 8'-0" WALL HEIGHT AT ROOF LEVEL - SEE 4/ A4.1 |
|  | 2 x 6 INTERIOR WOOD STUD FULL HEIGHT WALL AT 16" O.C. - INSTALL 1/2" GYPSUM BOARD ON EACH SIDE - SEE 5/ A4.1   |
|  | 2 x 6 EXTERIOR WOOD LOW WALL AT 16" O.C. WITH DECORATIVE RAILING ABOVE - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR WALL SIDES - SEE ELEVATIONS FOR WALL & RAILING HEIGHTS - SEE 1/ A4.1                      |
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- NOTE:
- ALL WALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.)
  - USE WATER RESISTANT GYPSUM BOARD IN ALL WET AREAS AS REQUIRED

## GENERAL ELECTRICAL NOTES:

- LUMINARIES THAT ARE RECESSED INTO INSULATED AREAS ARE REQUIRED TO BE RATED FOR INSULATION CONTACT ("IC-RATED"), AIR TIGHT AND SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING.
- SWITCH HEIGHT TO BE +44" ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SELECT ALL LIGHT FIXTURES WITH TENANT.
- CONTRACTOR TO PROVIDE FLUORESCENT LAMPS WITH COLOR TEMPERATURES PER TENANT'S REQUIREMENTS - VERIFY PRIOR TO ORDERING.

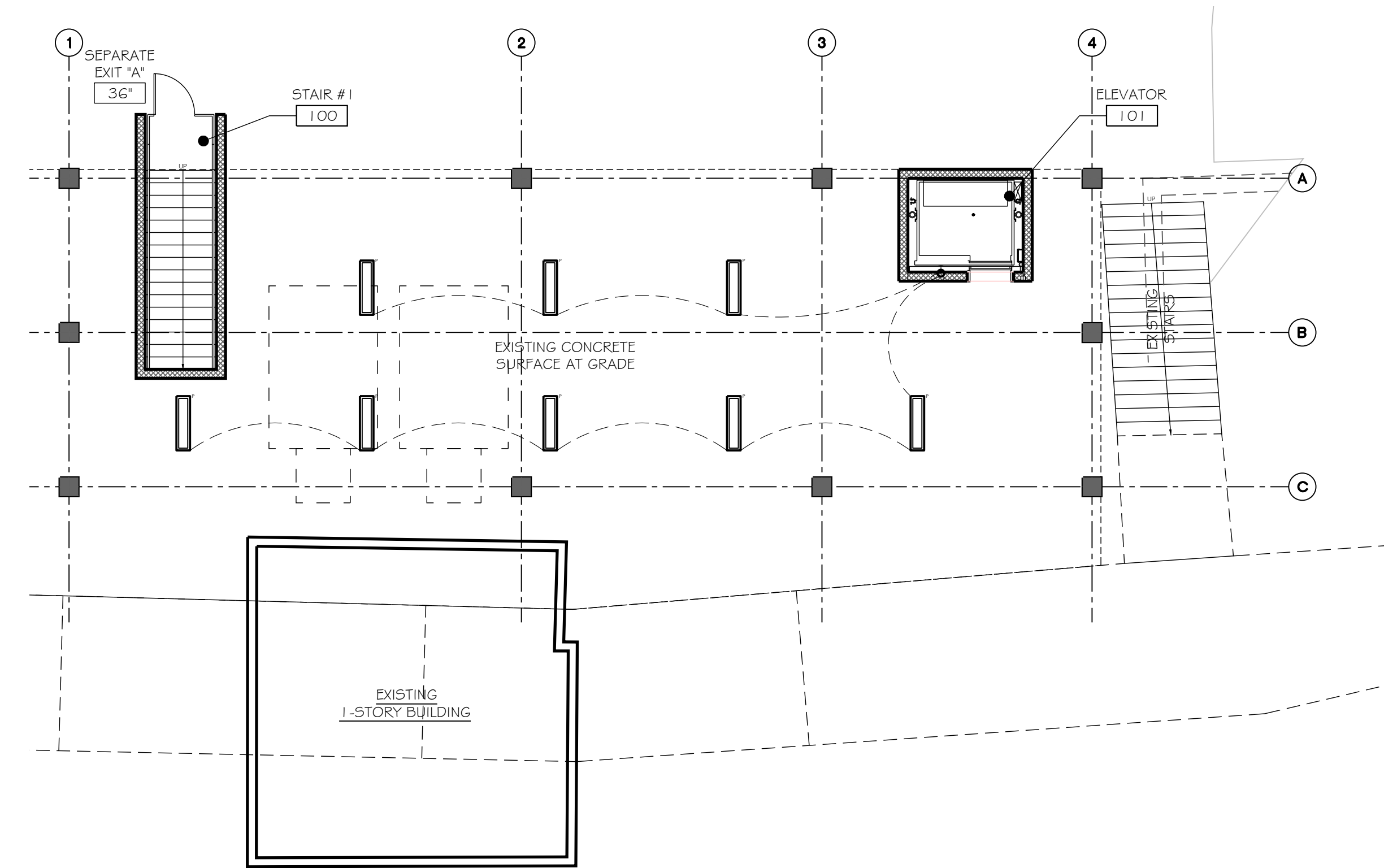
## ELECTRICAL LEGEND

\*\*ALL SYMBOLS ON THE PLANS MARKED "P" SHALL BE ON A PHOTOCELL

- |  |  |  |                                 |
|--|--|--|---------------------------------|
|  | 2' x 2' LAY-IN ACOUSTICAL TILE CEILING SYSTEM - CONTRACTOR TO VERIFY COLOR & FINISH WITH OWNER |  | STANDARD SWITCH                 |
|  | 2' x 2' LAY-IN LIGHT FIXTURE   |  | MOTION SENSOR SWITCH            |
|  | 1' x 4' SURFACE MOUNTED LIGHT FIXTURE  |  | STANDARD OUTLET                 |
|  | RECESSED CAN LIGHT FIXTURE   |  | QUAD OUTLET                     |
|  | TRACK LIGHT FIXTURE  |  | GROUND FAULT INTERCEPTOR OUTLET |
|  | WALL SCONCE LIGHT FIXTURE  |  | ELECTRICAL PANEL                |
|  | ELECTRIC HEATER (AFFIXED TO STRUCTURE ABOVE & ORIENTED DOWNWARD - TYP.)                        |  | EXHAUST FAN                     |
|  |  |  | EXIT LIGHT FIXTURE              |
|  |  |  | COMBINATION LIGHT & CEILING FAN |

## LIFE SAFETY LEGEND

- |                           |  |
|---------------------------|--|
| EXIT LIGHT FIXTURE        |  |
| FIRE EXTINGUISHER         |  |
| HORN/ STROBE FIXTURE      |  |
| EXIT CAPACITY IN INCHES   |  |
| ORIGIN OF TRAVEL DISTANCE |  |
| TRAVEL DISTANCE (PATH)    |  |



1  
A2.0  
NEW GROUND FLOOR CEILING & LIFE SAFETY PLAN  
SCALE: 1/8" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE INTERNATIONAL BUILDING CODE AND THE INTERNATIONAL FIRE CODE. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED HEREON, NOR DOES THE ARCHITECT WARRANT THAT THE INFORMATION PROVIDED HEREON IS COMPLETE, ACCURATE, OR UP-TO-DATE. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON.

| NO. | DATE | DESCRIPTION |
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WILLIAM KARNS ENTERPRISES, INC.  
BILL KARNS, PRESIDENT  
1405 BERRY BEACH, SUITE H  
WEST PALM BEACH, FL 33411  
732-367-3000  
WKARNS@KARNSENTERPRISES.COM

DON'S DOCK RESTAURANT  
215 BOARDWALK PLACE EAST, MADEIRA BEACH, FL 33708  
PIN #: 15-31-15-00000-410-0200

LANG + FERFOGLIA  
ARCHITECTURE | DEVELOPMENT  
FL LICENSE # AR100258 | AA REGISTRATION # 39011970  
2000 34TH AVENUE N, ST PETERSBURG, FL 33713  
TEL: (727) 698-5677

DEAN LANG, ARCHITECT, AIA  
LICENSE #A100258

DRAWN BY: SFF  
DATE: 10-12-23  
PROJECT #: 2216  
SHEET: A2.0

## GENERAL NOTES:

- DIMENSIONING IS TAKEN TO THE FACE OF STUD (F.O.S.)
- COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH STRUCTURAL DRAWINGS BEFORE LAYING OUT PHYSICAL BUILDING IN FIELD. CONTACT ARCHITECT WITH ANY DISCREPANCIES OR QUESTIONS AS TO CRITICAL DIMENSIONS.
- ALL FLOORING TO HAVE SLIP RESISTANT FINISH. ALL WALL FINISHES TO BE CLASS "C" FLAMESPREAD. VERIFY ALL FINISHES WITH OWNER.
- SMOOTH TEXTURE ON ALL WALLS AND CEILINGS WHERE APPLICABLE. SQUARE CORNER BEAD ON CORNERS. VERIFY PAINT WITH OWNER.
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- SEE ENLARGED PLANS ON SHEET A3.0 FOR ADDITIONAL NOTES, DETAILS & DIMENSIONS.

## ACCESSIBILITY NOTES:

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- SLOPES SHALL NOT EXCEED 1:20 UNLESS A RAMP IS PROVIDED.
- RAMP SLOPES SHALL NOT EXCEED 1:12 SLOPE
- CROSS SLOPES SHALL NOT EXCEED 2%
- MAX 1/4" VERTICAL & 1/4" BEVELED EDGE (TOTAL 1/2") THRESHOLD HEIGHT.
- SEE DETAIL 1 ON A4.0 FOR ALL ADA MOUNTING HEIGHTS AND BATH INTERIOR ELEVATIONS

## SYMBOL REFERENCES

- |  |               |  |                                 |
|--|---------------|--|---------------------------------|
|  | SPACE NUMBERS |  | EQUIPMENT OR KEYED NOTES        |
|  | DOOR NUMBERS  |  | REVISIONS MADE TO THIS SHEET    |
|  | WINDOW TYPES  |  | BUILDING SECTIONS OR ELEVATIONS |

## WALL LEGEND

- |  |  |
|--|--|
|  | 8 x 8 x 16 CMU ELEVATOR SHAFT WALL - INSTALL HORIZONTAL LAP SIDING OVER BUILDING PAPER ON EXTERIOR SIDES ONLY - SEE ELEVATIONS FOR WALL HEIGHT AND STRUCTURAL PLANS  |
|  | 2 x 6 EXTERIOR WOOD FULL HEIGHT WALL AT 16" O.C. - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" GYPSUM BOARD WITH R-13 INSULATION ON INTERIOR SIDES; 8'-0" WALL HEIGHT AT ROOF LEVEL - SEE 4/ A4.1 |
|  | 2 x 6 INTERIOR WOOD STUD FULL HEIGHT WALL AT 16" O.C. - INSTALL 1/2" GYPSUM BOARD ON EACH SIDE - SEE 5/ A4.1   |
|  | 2 x 6 EXTERIOR WOOD LOW WALL AT 16" O.C. WITH DECORATIVE RAILING ABOVE - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR WALL SIDES - SEE ELEVATIONS FOR WALL & RAILING HEIGHTS - SEE 1/ A4.1                      |
|  | 2 x 6 WOOD STUD LOW BAR WALL AT 16" O.C. WITH NEW COUNTERTOP - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" WATER RESISTANT GYPSUM BOARD ON & FRP ON INTERIOR SIDE - SEE 2 & 3/ A4.1               |

- NOTE:
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## GENERAL ELECTRICAL NOTES:

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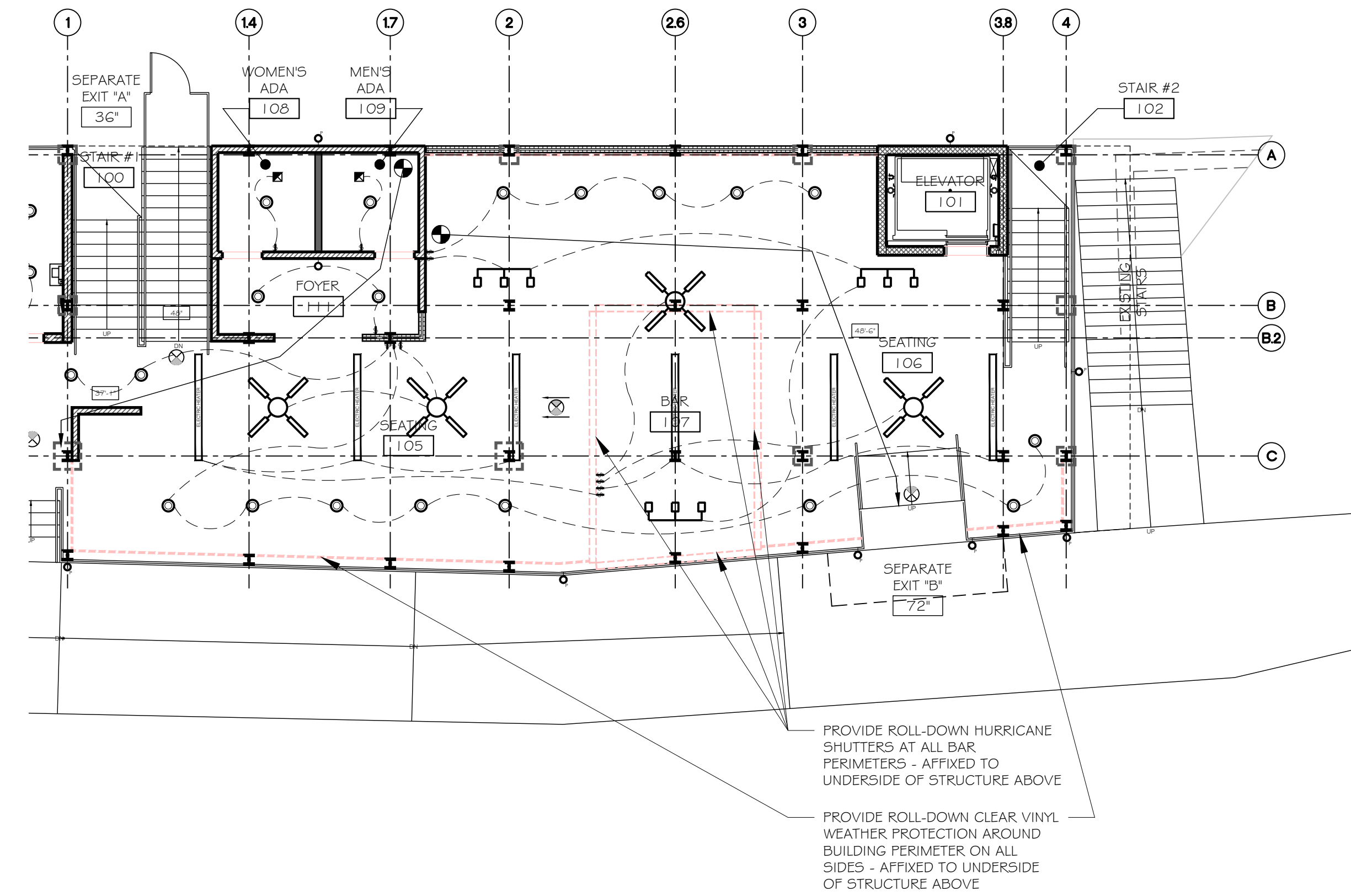
## ELECTRICAL LEGEND

\*\*ALL SYMBOLS ON THE PLANS MARKED "P" SHALL BE ON A PHOTOCELL

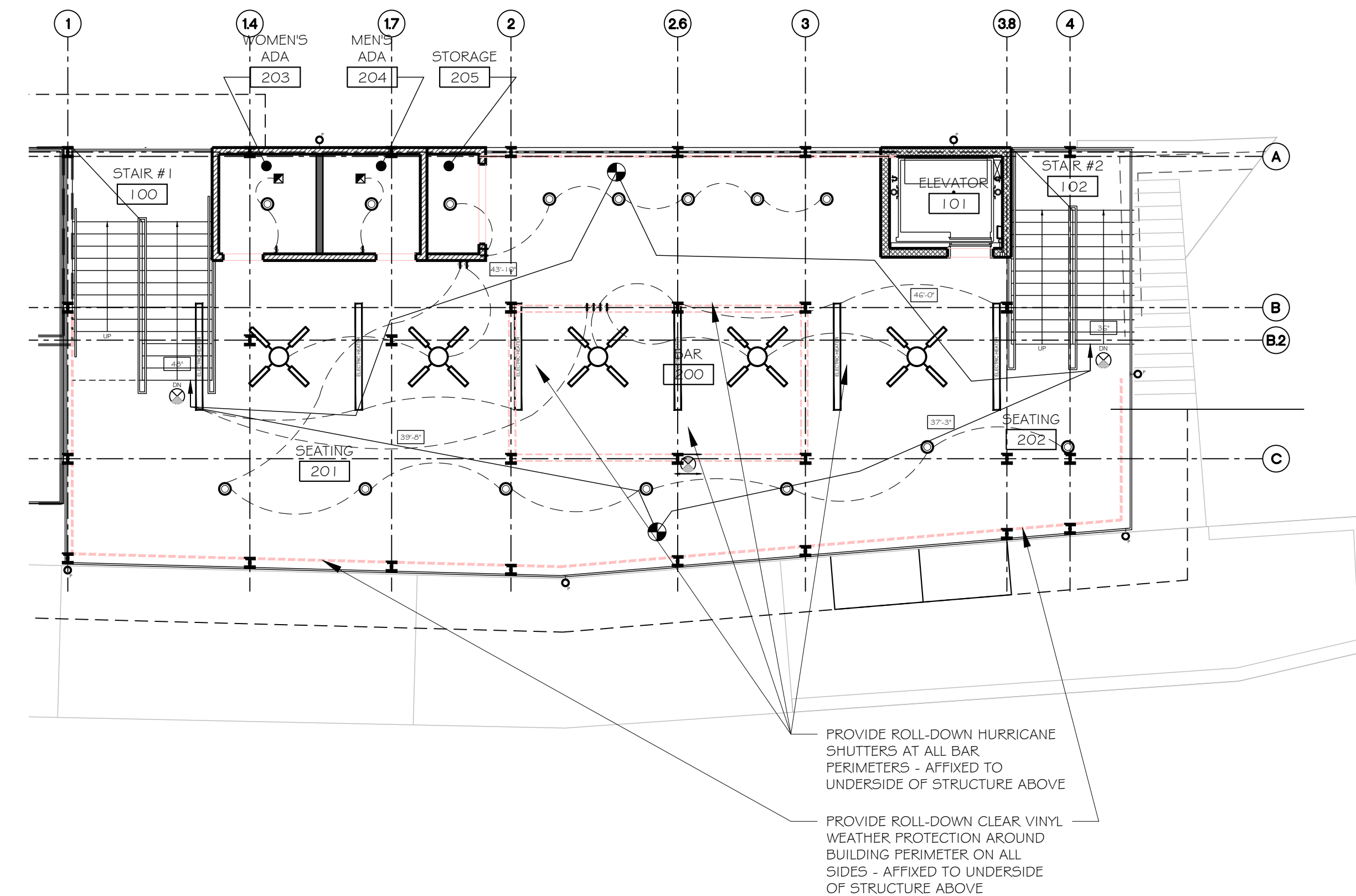
- |  |  |  |                                 |
|--|--|--|---------------------------------|
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|  | 2' x 2' LAY-IN LIGHT FIXTURE   |  | MOTION SENSOR SWITCH            |
|  | 1' x 4' SURFACE MOUNTED LIGHT FIXTURE  |  | STANDARD OUTLET                 |
|  | RECESSED CAN LIGHT FIXTURE   |  | QUAD OUTLET                     |
|  | TRACK LIGHT FIXTURE  |  | GROUND FAULT INTERCEPTOR OUTLET |
|  | WALL SCONCE LIGHT FIXTURE  |  | ELECTRICAL PANEL                |
|  | ELECTRIC HEATER (AFFIXED TO STRUCTURE ABOVE & ORIENTED DOWNWARD - TYP.)                        |  | EXHAUST FAN                     |
|  |  |  | EXIT LIGHT FIXTURE              |
|  |  |  | COMBINATION LIGHT & CEILING FAN |

## LIFE SAFETY LEGEND

- |  |                           |
|--|---------------------------|
|  | EXIT LIGHT FIXTURE        |
|  | FIRE EXTINGUISHER         |
|  | HORN/ STROBE FIXTURE      |
|  | EXIT CAPACITY IN INCHES   |
|  | ORIGIN OF TRAVEL DISTANCE |
|  | TRAVEL DISTANCE (PATH)    |



1 NEW 1ST FLOOR CEILING & LIFE SAFETY PLAN  
A2.1 SCALE: 1/8" = 1'-0"



2 NEW 2ND FLOOR CEILING & LIFE SAFETY PLAN  
A2.1 SCALE: 1/8" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE REGULATORY AGENCIES' REQUIREMENTS AS DETERMINED BY THE ARCHITECT.

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| 1   |      |             |

WILLIAM KARNS ENTERPRISES, INC.  
BILL KARNS, PRESIDENT  
1405 BERRY BLVD., SUITE 104  
DADE CITY, FL 34724  
727-367-3000  
WKARNS@KARNSENTERPRISES.COM

CLIENT

DON'S DOCK RESTAURANT  
215 BOARDWALK PLACE EAST, MADEIRA BEACH, FL 33708  
PIN #: 15-31-15-00000-410-0200





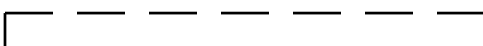
DRAWN BY: SFF  
DATE: 10-12-23  
PROJECT #: 2216  
SHEET: A2.1

LANG + FERFOGLIA  
ARCHITECTURE | DEVELOPMENT  
FL LICENSE # AR100258/AA REGISTRATION # 39011970  
2000 34TH AVENUE N, ST PETERSBURG, FL 33713  
TEL: (727) 698-9877

DENING LANG ARCHITECT, AIA  
LICENSE #A10028

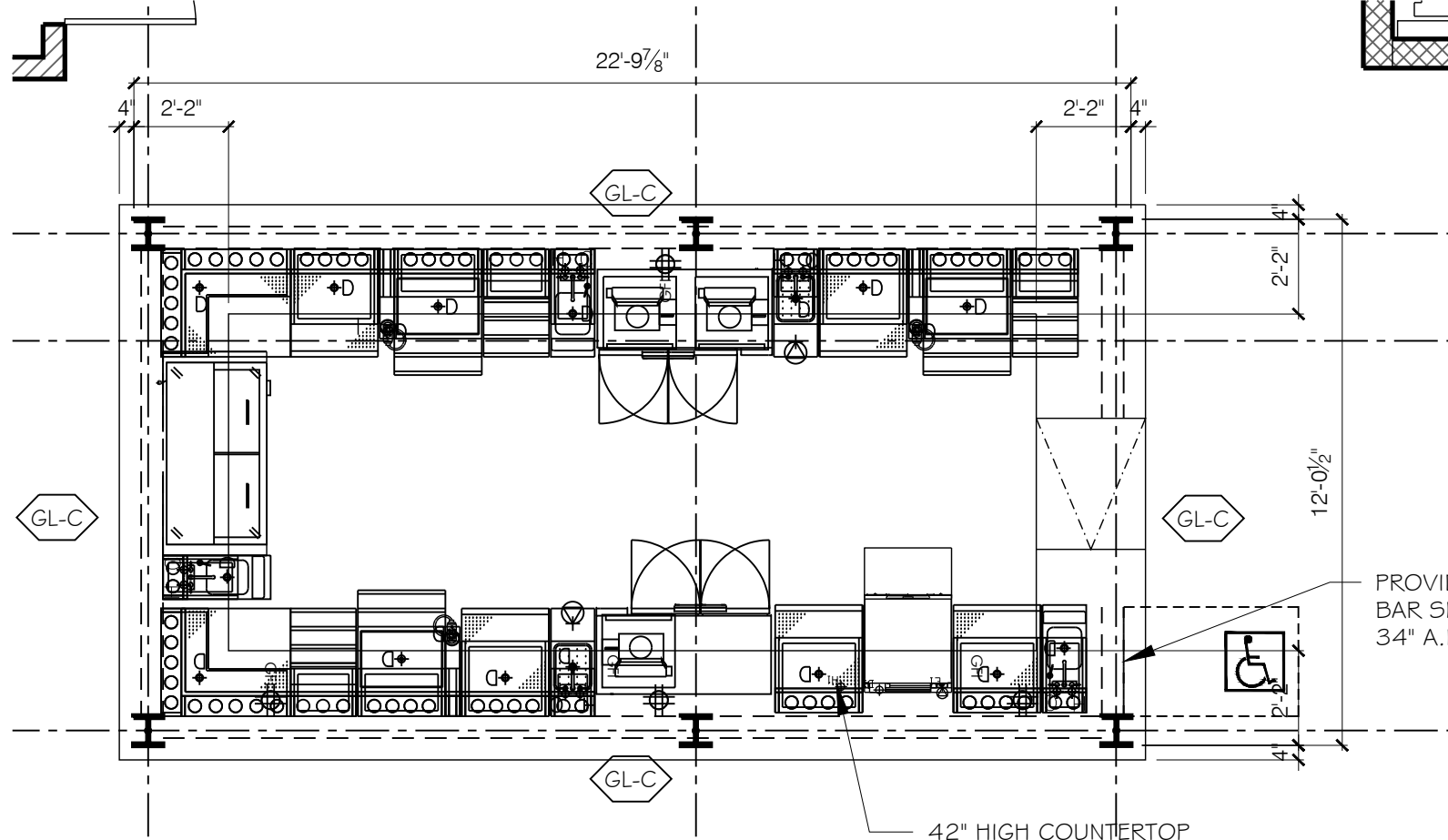
Item 5A

**WALL LEGEND**

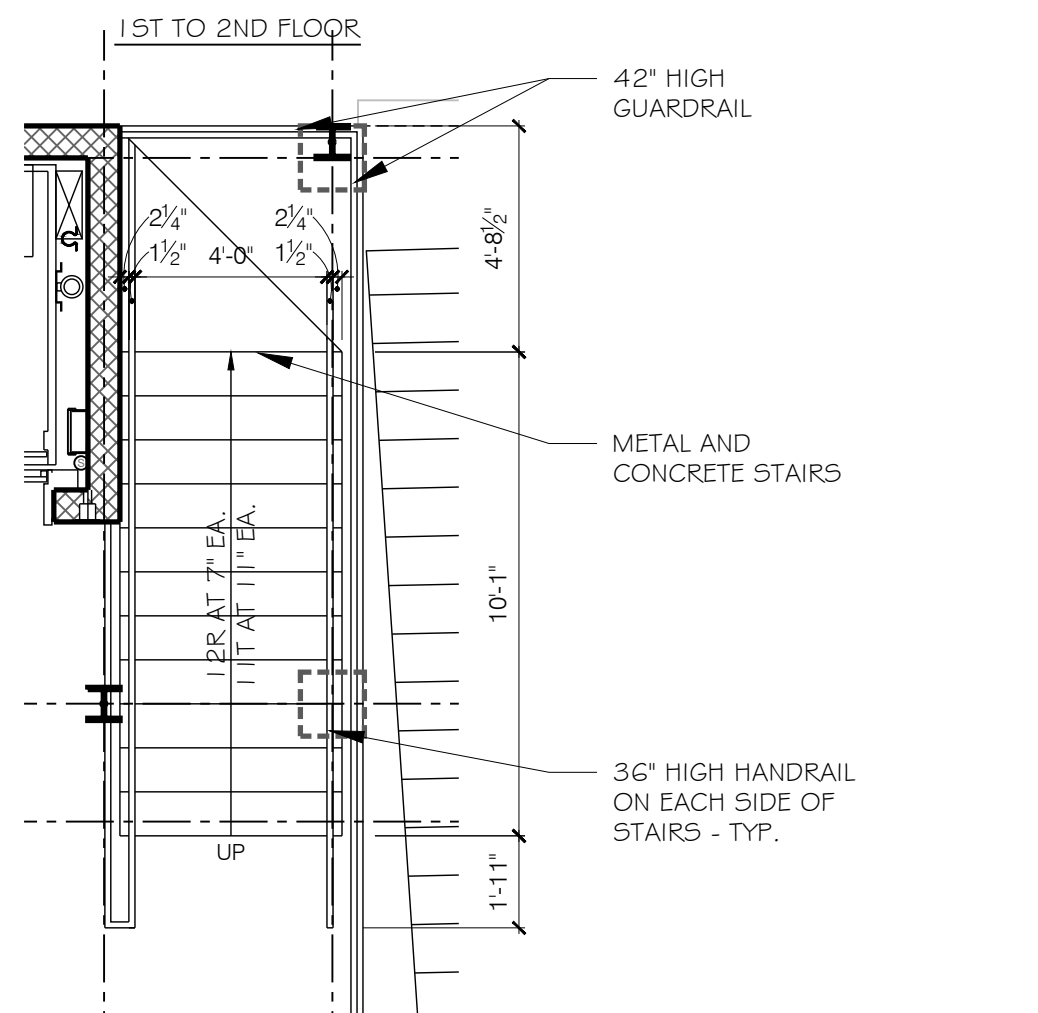
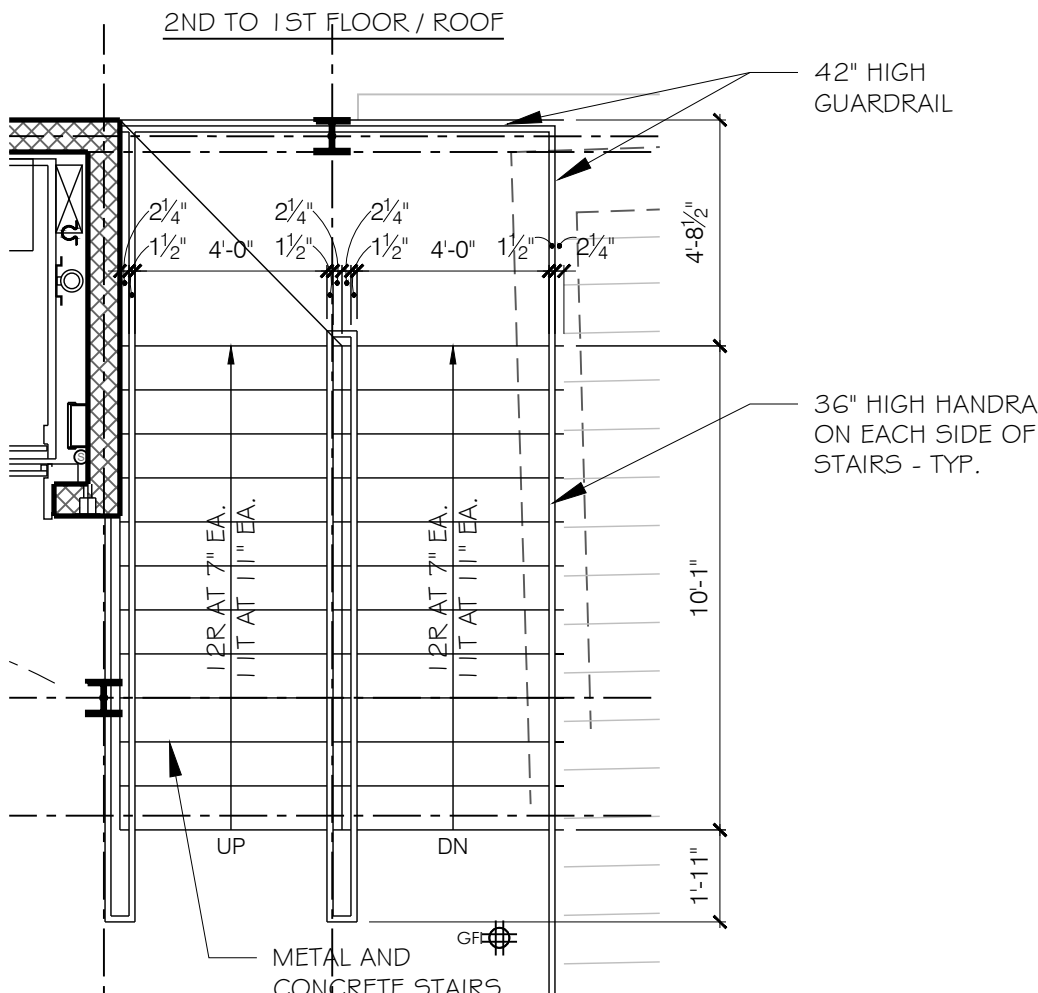
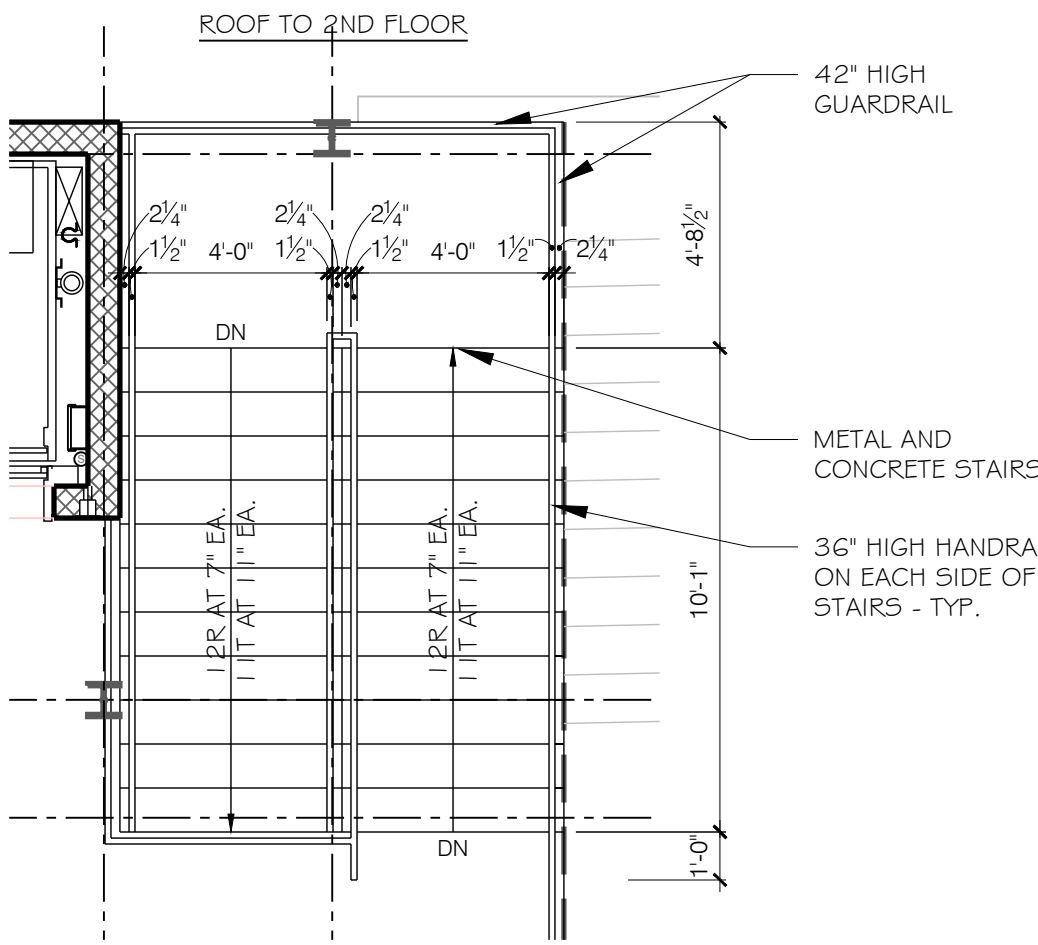
-  8 x 8 x 16 CMU ELEVATOR SHAFT WALL - INSTALL HORIZONTAL LAP SIDING OVER BUILDING PAPER ON EXTERIOR SIDES ONLY - SEE ELEVATIONS FOR WALL HEIGHT AND STRUCTURAL PLANS
-  2 x 6 EXTERIOR WOOD FULL HEIGHT WALL AT 16" O.C. - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" GYPSUM BOARD WITH R-13 INSULATION ON INTERIOR SIDES; 8'-0" WALL HEIGHT AT ROOF LEVEL - SEE 4/ A4.1
-  2 x 6 INTERIOR WOOD STUD FULL HEIGHT WALL AT 16" O.C. - INSTALL 1/2" GYPSUM BOARD ON EACH SIDE - SEE 5/ A4.1
-  2 x 6 EXTERIOR WOOD LOW WALL AT 16" O.C. WITH DECORATIVE RAILING ABOVE - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR WALL SIDES - SEE ELEVATIONS FOR WALL & RAILING HEIGHTS - SEE 1/ A4.1
-  2 x 6 WOOD STUD LOW BAR WALL AT 16" O.C. WITH NEW COUNTERTOP - INSTALL HORIZONTAL LAP SIDING OVER OVER BUILDING PAPER WRAP, OVER SHEATHING ON EXTERIOR SIDES & 1/2" WATER RESISTANT GYPSUM BOARD ON & FRP ON INTERIOR SIDE - SEE 2 & 3/ A4.1

NOTE:  
 1. ALL WALL DIMENSIONS ARE TO FACE OF STUD (F.O.S.)  
 2. USE WATER RESISTANT GYPSUM BOARD IN ALL WET AREAS AS REQUIRED

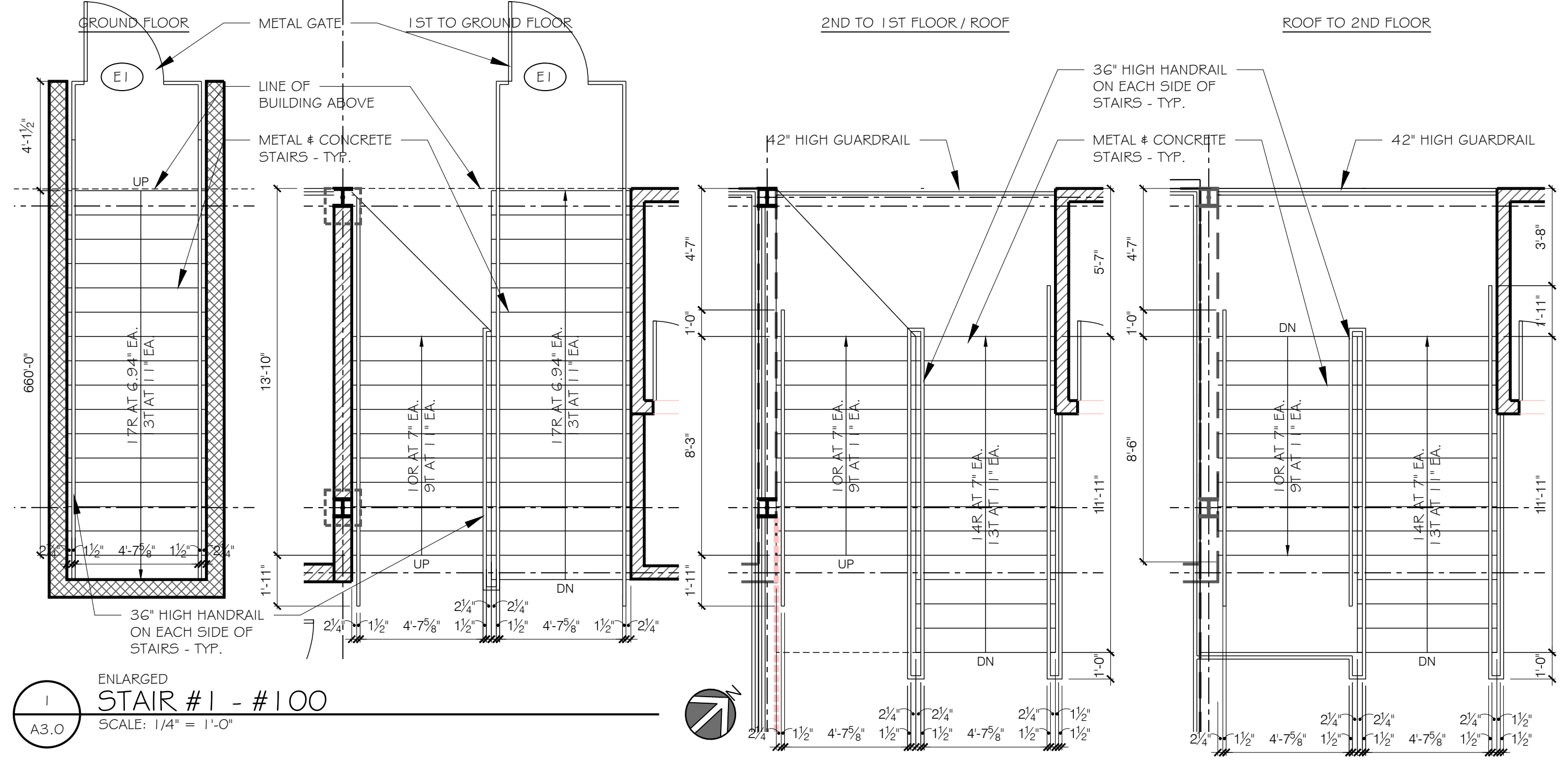
NOTE: SEE MECHANICAL, ELECTRICAL, PLUMBING PLANS & EQUIPMENT SHEETS QFOO1, QF101, QF102, QF103 FOR ALL BAR & KITCHEN EQUIPMENT SCHEDULES & INFORMATION



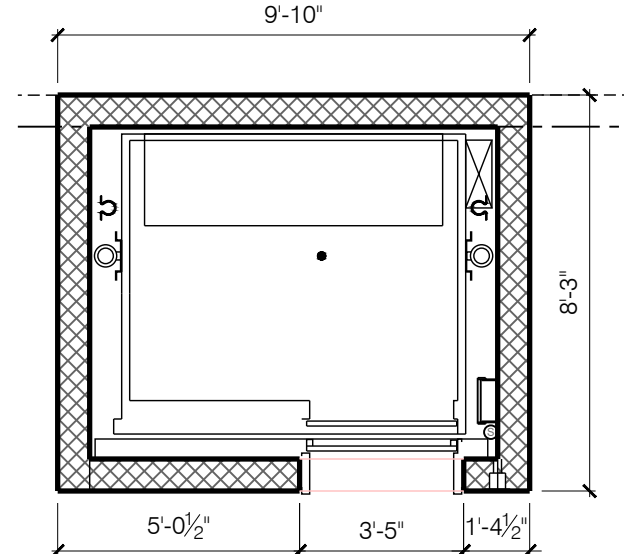
7 ENLARGED BAR #200  
 SCALE: 1/4" = 1'-0"



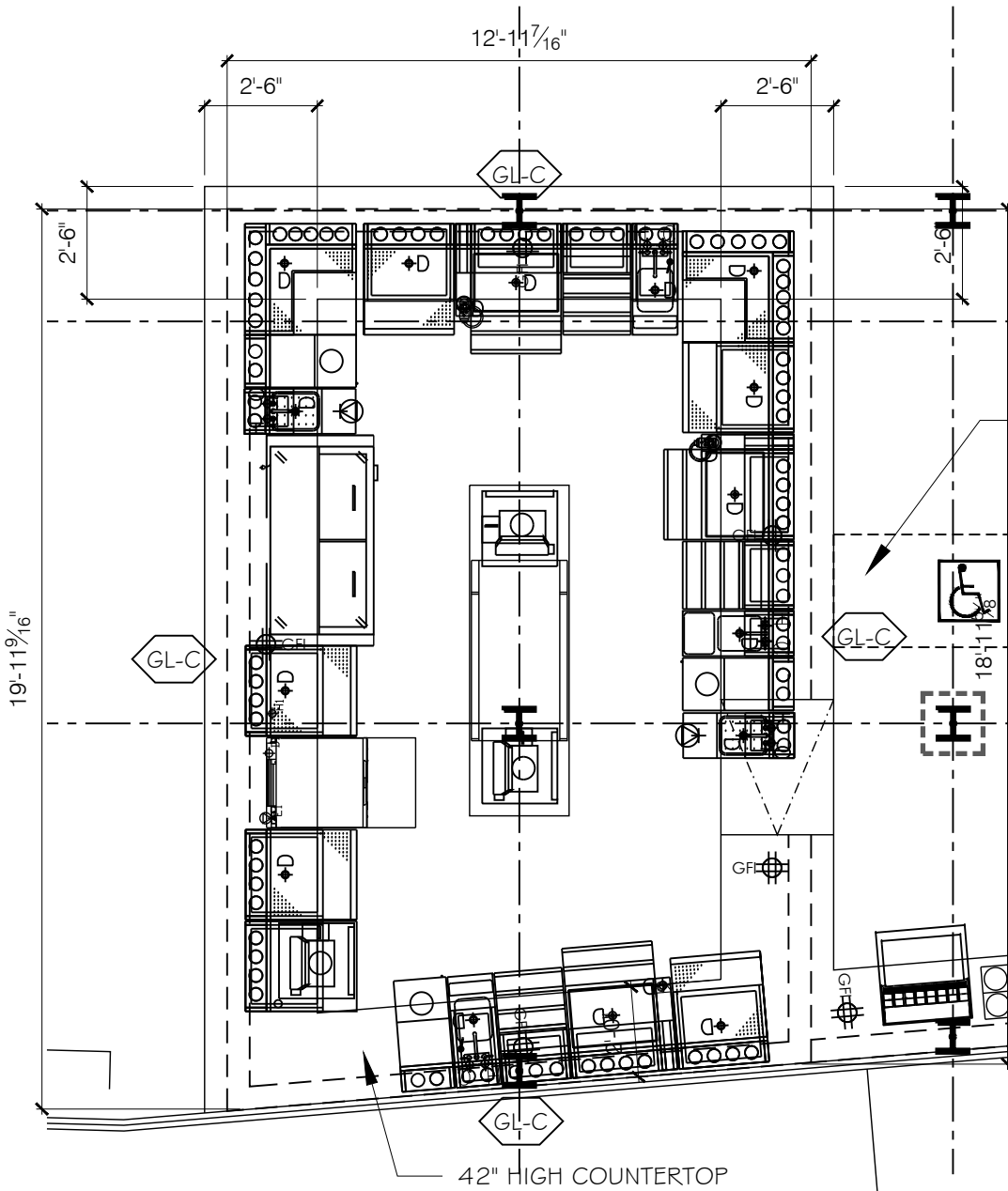
6 ENLARGED STAIR #2 - #102  
 SCALE: 1/4" = 1'-0"



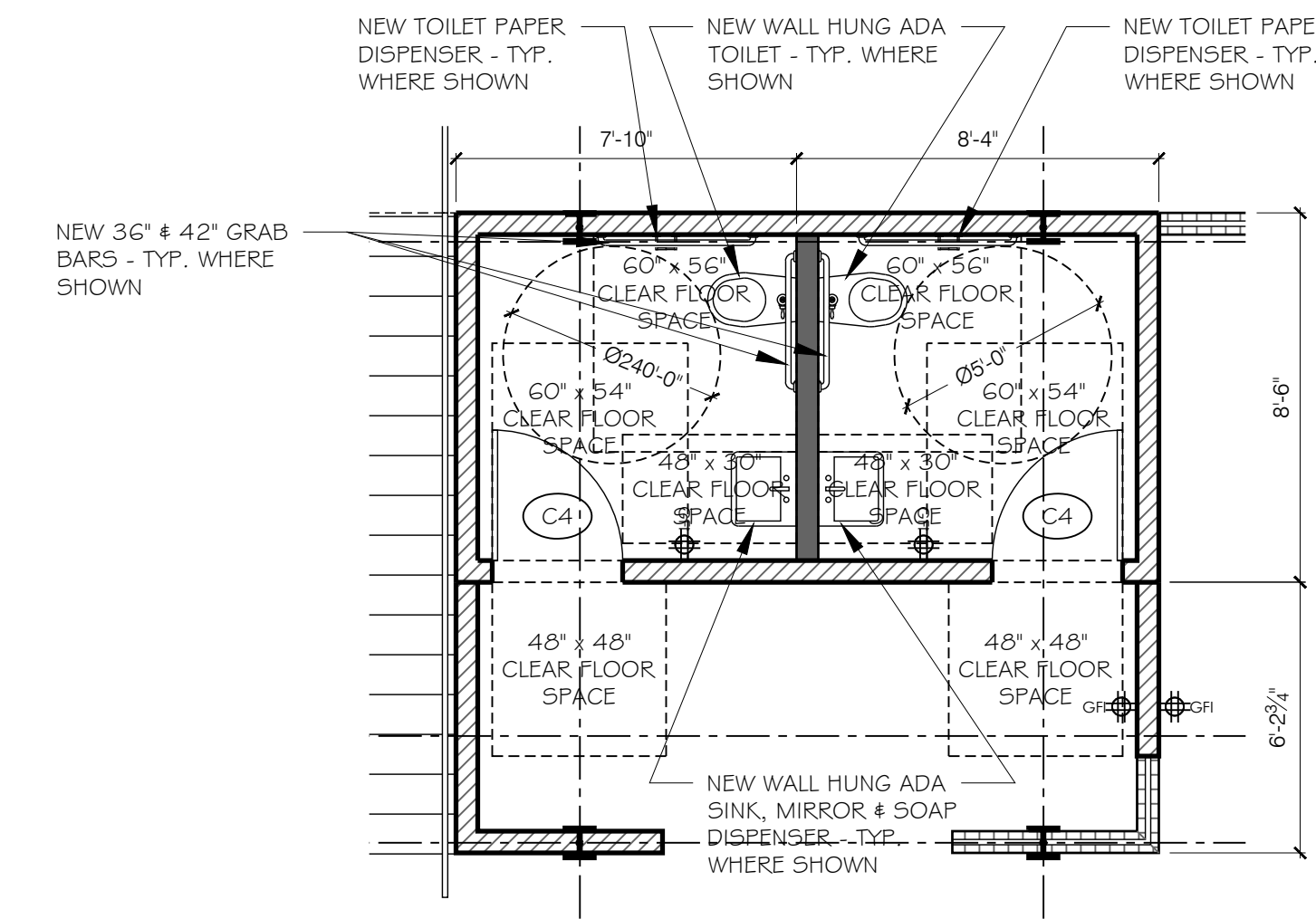
1 ENLARGED STAIR #1 - #100  
 SCALE: 1/4" = 1'-0"



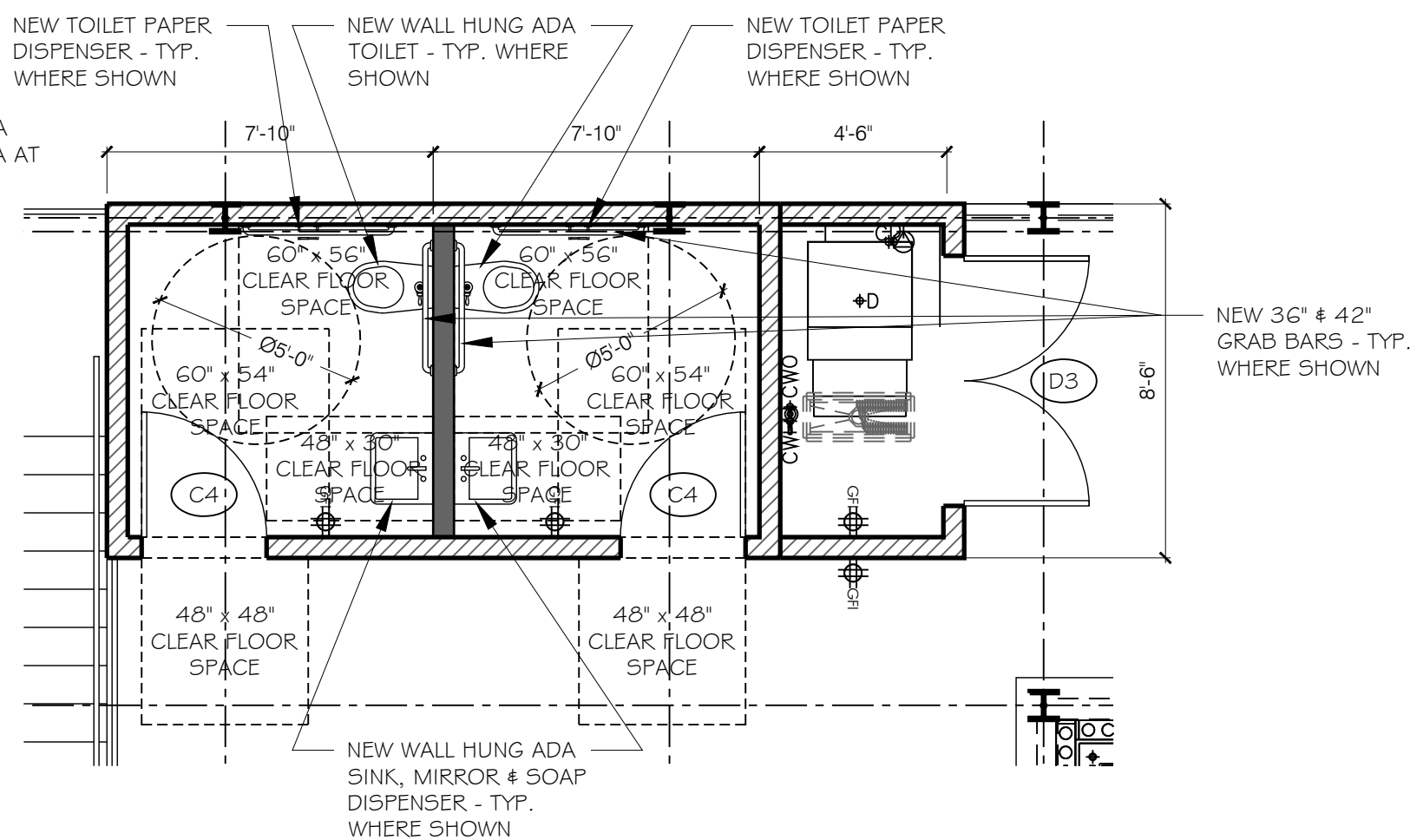
2 ENLARGED ELEVATOR #101  
 SCALE: 1/4" = 1'-0"



5 ENLARGED BAR #107  
 SCALE: 1/4" = 1'-0"



3 ENLARGED ADA BATHROOMS #108, #109 & FOYER #111  
 SCALE: 1/4" = 1'-0"



4 ENLARGED ADA BATHROOMS #203, #204 & STORAGE #205  
 SCALE: 1/4" = 1'-0"

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY, PROVISIONS AS DETERMINED BY THE JURISDICTION.

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| Δ   |      |             |

WILLIAM KARNS ENTERPRISES, INC.  
 BILL KARNS, PRESIDENT  
 1405 BERRY AVE., SUITE H  
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CL-RT

**DON'S DOCK RESTAURANT**  
 215 BOARDWALK PLACE EAST, MADEIRA BEACH, FL 33708  
 PIN #: 15-31-15-00000-410-0200

BAR TITLE: ENLARGED PLANS

DENGLANG ARCHITECT, AIA  
 LICENSE #A00000000

**LANG + FERFOGLIA**  
 ARCHITECTURE | DEVELOPMENT

FL LICENSE # AR100258 AIA REGISTRATION #: 39211970  
 2000 34TH AVENUE N, ST PETERSBURG, FL 33713  
 TEL: (727) 698-5877

DRAWN BY: SFF  
 DATE: 10-12-23  
 PROJECT #: 2216  
 SHEET: A3.0

# ROOM FINISH SCHEDULE

| ROOM NO. | ROOM NAME   | CLG. HGT.  | FLOOR |        | BASE  |        | NORTH WALL |        | EAST WALL |         | SOUTH WALL |         | WEST WALL |        | CEILING |        | REMARKS / NOTES             |
|----------|-------------|------------|-------|--------|-------|--------|------------|--------|-----------|---------|------------|---------|-----------|--------|---------|--------|-----------------------------|
|          |             |            | MATL. | FINISH | MATL. | FINISH | MATL.      | FINISH | MATL.     | FINISH  | MATL.      | FINISH  | MATL.     | FINISH | MATL.   | FINISH |                             |
| 100      | STAIR #1    | OPEN       | -     | SC     | -     | -      | -          | RLG    | SID       | PNT     | -          | -       | SID       | PNT    | WD      | PNT    |                             |
| 101      | ELEVATOR    | 47'-3-1/4" | MFR   | MFR    | MFR   | MFR    | MFR        | MFR    | MFR       | MFR     | MFR        | MFR     | MFR       | MFR    | MFR     | MFR    |                             |
| 102      | STAIR #2    | OPEN       | -     | SC     | -     | -      | -          | RLG    | -         | RLG     | -          | -       | SID       | PNT    | WD      | PNT    |                             |
| 105      | SEATING     | 12'-0"     | WD    | PNT    | WD    | PNT    | SID        | PNT    | SID       | PNT     | -          | RLG     | -         | RLG    | WD      | PNT    |                             |
| 106      | SEATING     | 12'-0"     | WD    | PNT    | WD    | PNT    | SID        | PNT    | -         | RLG     | -          | RLG     | SID       | PNT    | WD      | PNT    |                             |
| 107      | BAR         | 12'-0"     | WD    | CT     | CT    | COVE   | DR         | FRP    | DR        | FRP     | DR         | FRP     | DR        | FRP    | WD      | PNT    |                             |
| 108      | WOMEN'S ADA | 12'-0"     | WD    | CT     | CT    | COVE   | GYP        | PNT    | GYP       | PNT     | GYP        | PNT     | GYP       | PNT    | WD      | PNT    | PROVIDE FRP TO 4'-0" HEIGHT |
| 109      | MENS ADA    | 12'-0"     | WD    | CT     | CT    | COVE   | GYP        | PNT    | GYP       | PNT     | GYP        | PNT     | GYP       | PNT    | WD      | PNT    | PROVIDE FRP TO 4'-0" HEIGHT |
| 111      | FOYER       | 12'-0"     | WD    | PNT    | WD    | PNT    | GYP        | PNT    | GYP       | PNT/RLG | GYP        | PNT/RLG | GYP       | PNT    | WD      | PNT    |                             |
| 200      | BAR         | 12'-0"     | WD    | CT     | CT    | COVE   | DR         | FRP    | DR        | FRP     | DR         | FRP     | DR        | FRP    | WD      | PNT    |                             |
| 201      | SEATING     | 12'-0"     | WD    | PNT    | WD    | PNT    | SID        | PNT    | SID       | PNT     | -          | RLG     | -         | RLG    | WD      | PNT    |                             |
| 202      | SEATING     | 12'-0"     | WD    | PNT    | WD    | PNT    | SID        | PNT    | -         | RLG     | -          | RLG     | SID       | PNT    | WD      | PNT    |                             |
| 203      | WOMEN'S ADA | 12'-0"     | WD    | CT     | CT    | COVE   | GYP        | PNT    | GYP       | PNT     | GYP        | PNT     | GYP       | PNT    | WD      | PNT    | PROVIDE FRP TO 4'-0" HEIGHT |
| 204      | MENS ADA    | 12'-0"     | WD    | CT     | CT    | COVE   | GYP        | PNT    | GYP       | PNT     | GYP        | PNT     | GYP       | PNT    | WD      | PNT    | PROVIDE FRP TO 4'-0" HEIGHT |
| 205      | STORAGE     | 12'-0"     | WD    | PNT    | RUB   | COVE   | GYP        | PNT    | GYP       | PNT     | GYP        | PNT     | GYP       | PNT    | WD      | PNT    |                             |
| 300      | STORAGE     | 8'-0"      | WD    | TPO    | RUB   | COVE   | GYP        | PNT    | GYP       | PNT     | GYP        | PNT     | GYP       | PNT    | WD      | PNT    |                             |
| 301      | STORAGE     | 8'-0"      | WD    | TPO    | RUB   | COVE   | GYP        | PNT    | GYP       | PNT     | GYP        | PNT     | GYP       | PNT    | WD      | PNT    |                             |

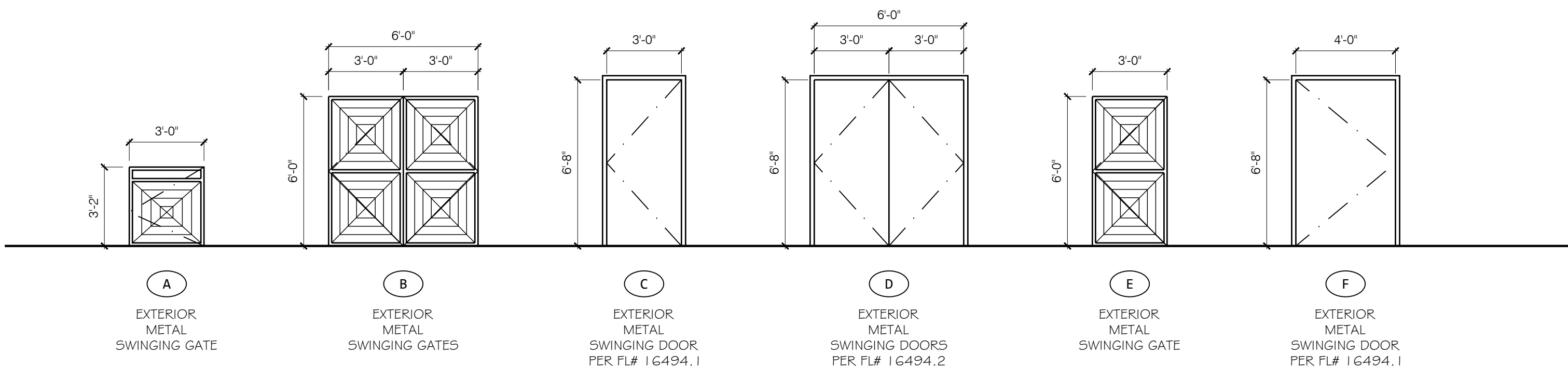
## FINISH SCHEDULE LEGEND & NOTES

ACT = ACOUSTICAL CEILING TILE  
 MFR = BY MANUFACTURER  
 CMU = CONCRETE MASONRY UNIT  
 CT = CERAMIC TILE  
 COVE = COVE BASE  
 DR = DURA ROCK  
 FRP = FRP  
 GYP = GYPSUM WALL BOARD  
 PNT = PAINT - COLOR: TBD BY TENANT

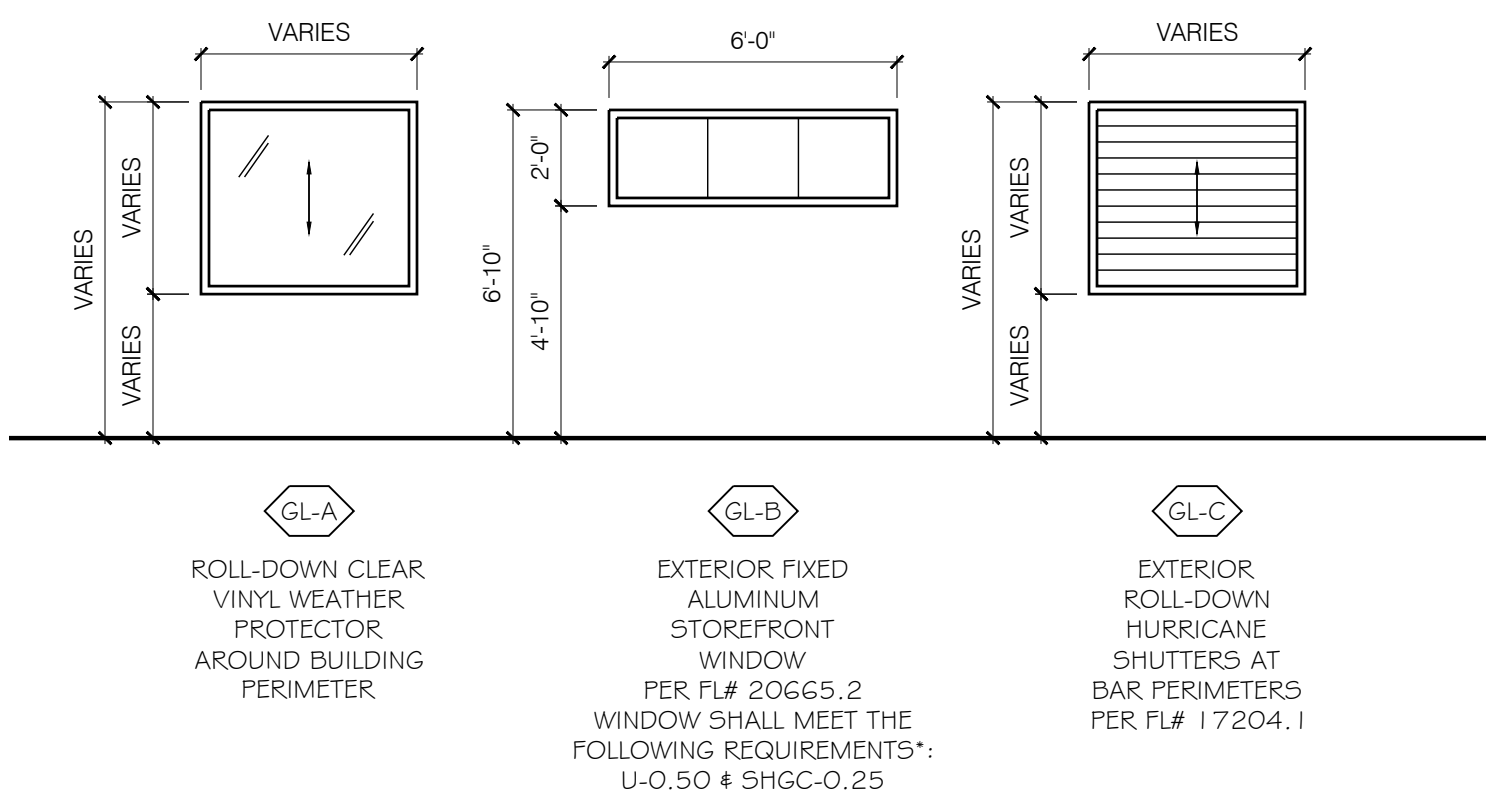
RLG = METAL RAILING  
 RUB = RUBBER COVE BASE  
 SC = SEALED CONCRETE  
 SID = HORIZONTAL SIDING  
 TPO = THERMOPLASTIC POLYOLEFIN MEMBRANE  
 WD = WOOD  
 NOTE: USE MOISTURE RESISTANT GYPSUM BOARD IN ALL WET LOCATIONS

- ALL FLOORING TO HAVE SLIP RESISTANT FINISH. ALL WALL FINISHES TO BE CLASS "C" FLAMESPREAD. VERIFY ALL FINISHES WITH OWNER.
- SMOOTH TEXTURE ON ALL WALLS AND CEILINGS WHERE APPLICABLE. SQUARE CORNER BEAD ON CORNERS. VERIFY PAINT WITH OWNER.
- PLUMBING FIXTURES TO BE OF A STANDARD GRADE. COLOR TO BE WHITE WITH BRUSHED NICKEL HARDWARE. U.N.O.
- USE EPOXY PAINT AT EXTERIOR, WET AREAS.
- ALL INTERIOR FINISHES TO COMPLY WITH THE REQUIREMENTS 2020 FLORIDA FIRE PREVENTION CODE, 7TH EDITION.

## DOOR TYPES



## WINDOW TYPES



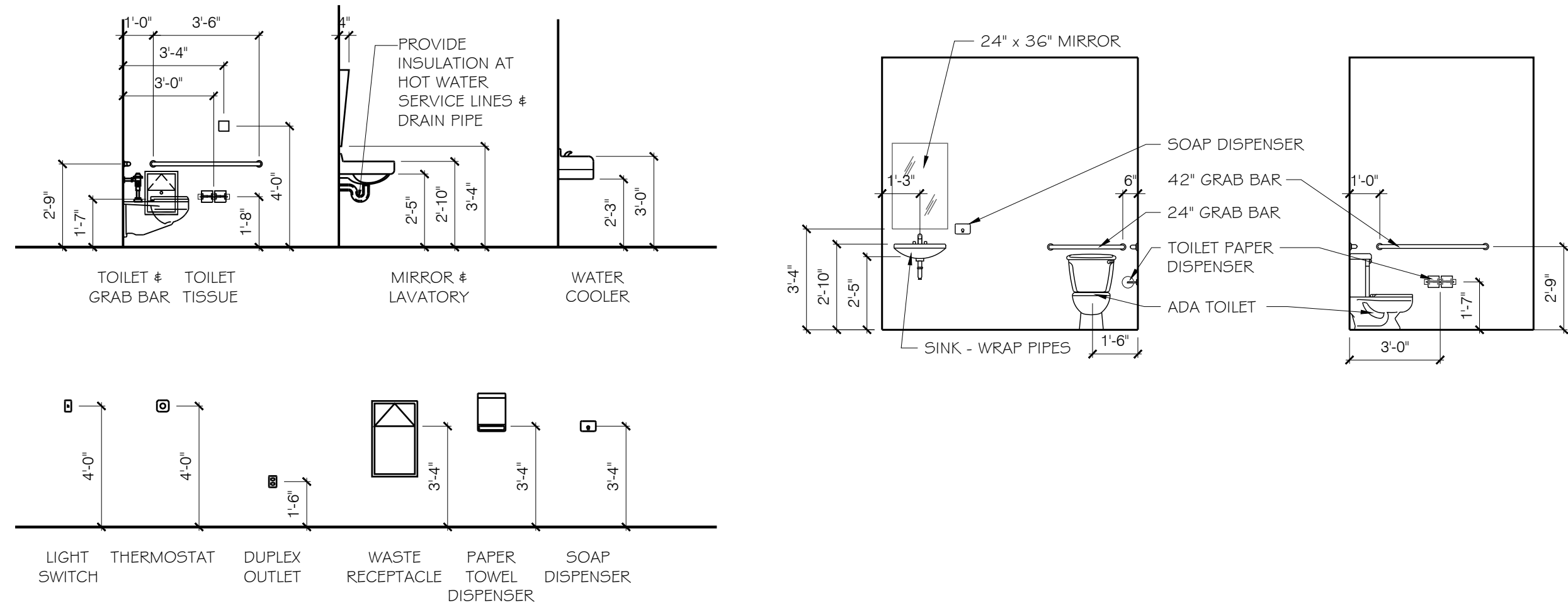
## DOOR HARDWARE SCHEDULE & NOTES

- GATE HINGES, ADA LEVER & LOCKSET ON EXTERIOR SIDE & PANIC HARDWARE ON INTERIOR SIDE
- GATE HINGES, ADA LEVER ON EACH SIDE & PASSAGE SET
- EXTERIOR HINGES, ADA LEVER ON EACH SIDE & LOCKSET ON EXTERIOR SIDE
- EXTERIOR HINGES, ADA LEVER ON EACH SIDE & PRIVACY SET ON INTERIOR SIDE
- EXTERIOR DOUBLE ACTION 'CAFE' HINGES, CENTER ASTRAGAL LATCH, PUSH PLATE ON EACH SIDE & LOCKSET ON EXTERIOR SIDE

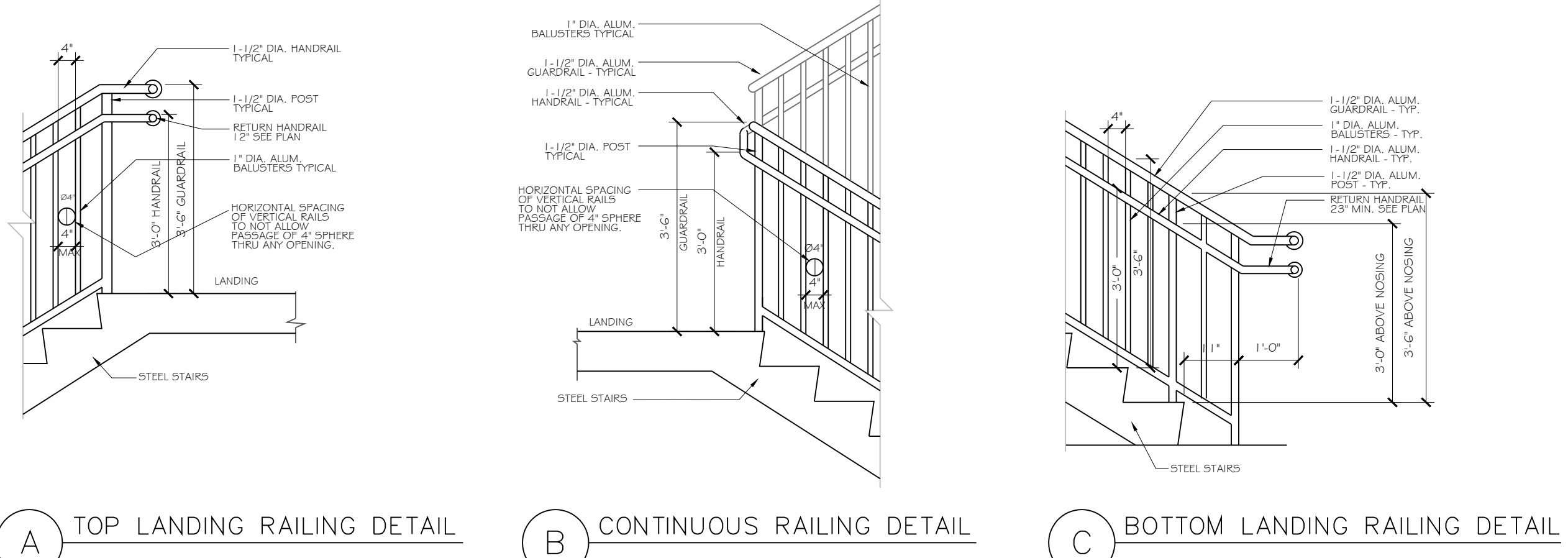
## DOOR LEGEND

⬠ DENOTES DOOR TYPE  
 A1 DENOTES DOOR HARDWARE SCHEDULE NUMBER

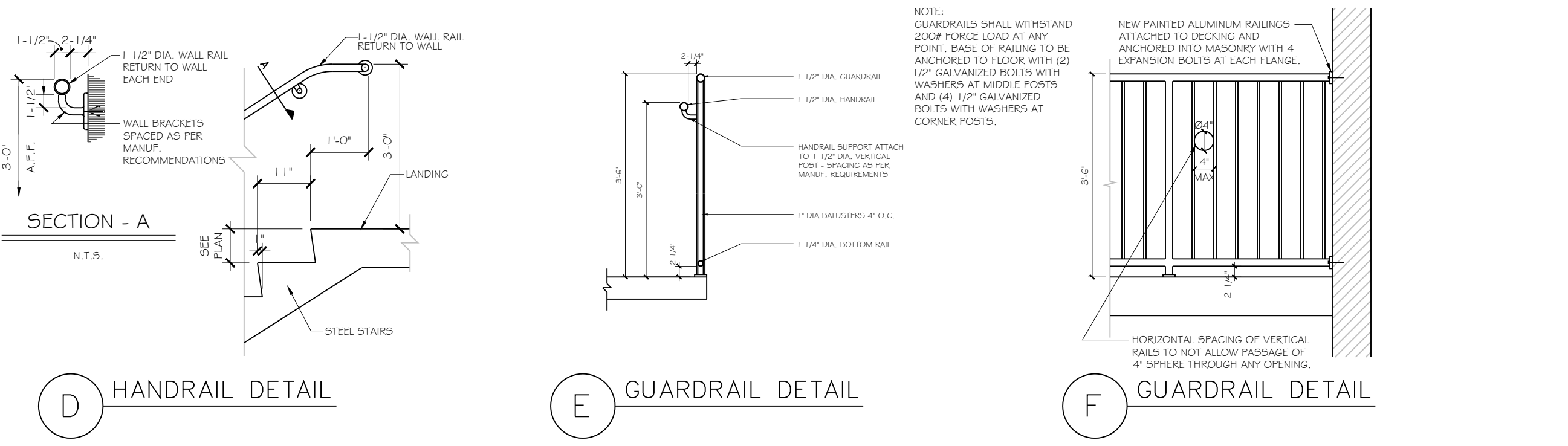
- GENERAL DOOR NOTES:**
- ALL HARDWARE TO HAVE ADA APPROVED LEVER HANDLES & INTERIOR CLOSERS SHALL OPEN W/ 5# MAX PULL.
  - ALL HARDWARE FINISH TO BE BRUSHED NICKEL.
  - FIELD MEASURE SIZE OF ALL REPLACEMENT DOORS PRIOR TO DOOR SUBMITTAL. DOOR SHALL FIT WITHIN EXISTING ROUGH OPENING WITH ADJUSTMENTS MADE FOR ARCHITECTURAL DETAILS AS SHOWN.
  - ALL DOORS SHALL OPEN FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT U.N.O.
  - VERIFY ALL ROUGH OPENING DIMENSIONS WITH MANUFACTURER SPECS PRIOR TO FRAMING.
  - REFER TO ACCESSIBILITY NOTES FOR ADDITIONAL REQUIREMENTS.
  - ON THE FLOOR PLAN, DOOR SWING CONTAINING DOOR SYMBOL INDICATES ACTIVE LEAF.
  - COORDINATE KEYING REQUIREMENTS WITH OWNER PRIOR TO DOOR SUBMITTAL.
  - PLEASE SEE THE DOOR LEGEND, THIS SHEET TO IDENTIFY THE DOOR TYPE & HARDWARE SCHEDULE LABELING NOMENCLATURE FOR THE NEW DOORS ON SHEET A1.0, A1.1 & A1.2.



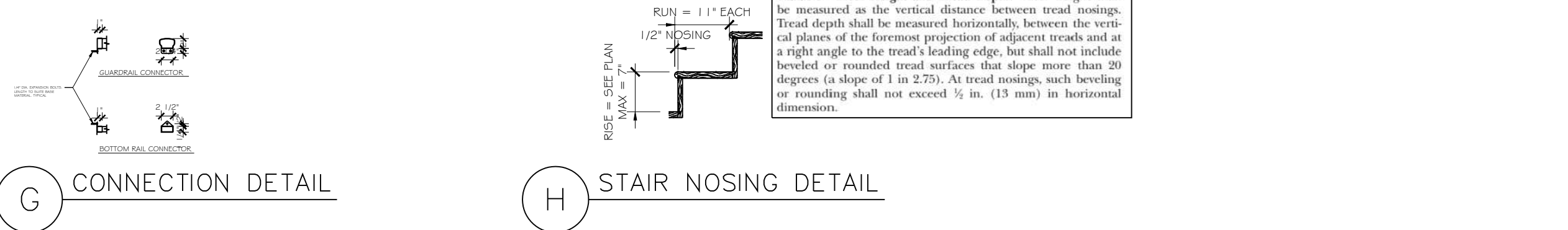
1 TYPICAL ADA MOUNTING HEIGHTS & INTERIOR ELEVATIONS  
 SCALE: 1/4" = 1'-0"



A TOP LANDING RAILING DETAIL  
 B CONTINUOUS RAILING DETAIL  
 C BOTTOM LANDING RAILING DETAIL



D HANDRAIL DETAIL  
 E GUARDRAIL DETAIL  
 F GUARDRAIL DETAIL



G CONNECTION DETAIL  
 H STAIR NOSING DETAIL

2 TYPICAL STANDARD METAL HAND RAIL DETAILS  
 SCALE: 1/2" = 1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DIMENSIONS AND CONDITIONS SHALL BE REPORTED TO THE ARCHITECT IN WRITING. CONSULT THE ARCHITECT FOR ANY QUESTIONS REGARDING THE INTERPRETATION OF THE DRAWINGS. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY REGULATIONS AS DETERMINED IN ACCORDANCE WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY REGULATIONS.

ITEM 5A:

REFERENCES TO CONVENTIONAL AND COPYRIGHTS ARE NOT TO BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. ANY AND ALL RIGHTS IN THESE PLANS, SPECIFICATIONS AND SCHEDULES ARE RESERVED AND WILL REMAIN THE PROPERTY OF LANG + FERFOGLIA ARCHITECTURE I DEVELOPMENT. THIS DOCUMENT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OF THIS DOCUMENT FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF LANG + FERFOGLIA ARCHITECTURE I DEVELOPMENT IS STRICTLY PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS AND SPECIFICATIONS.

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| 1   |      |             |
| 2   |      |             |
| 3   |      |             |

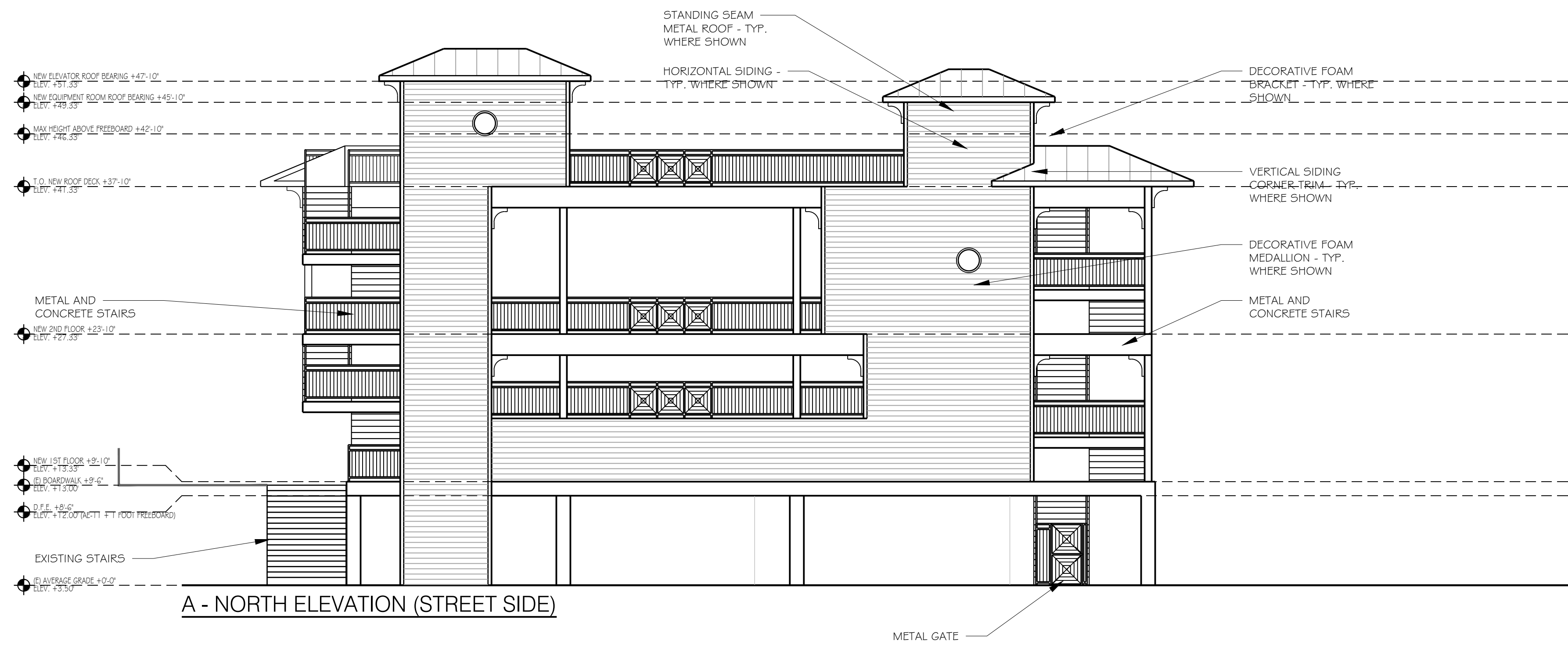
WILLIAM KARNS ENTERPRISES, INC.  
 BILL KARNS, PRESIDENT  
 1400 WEST PALM BLVD., SUITE 104  
 BOCA RATON, FL 33486  
 727-367-3000  
 WKARNS@KARNSENTERPRISES.COM

CLIENT:

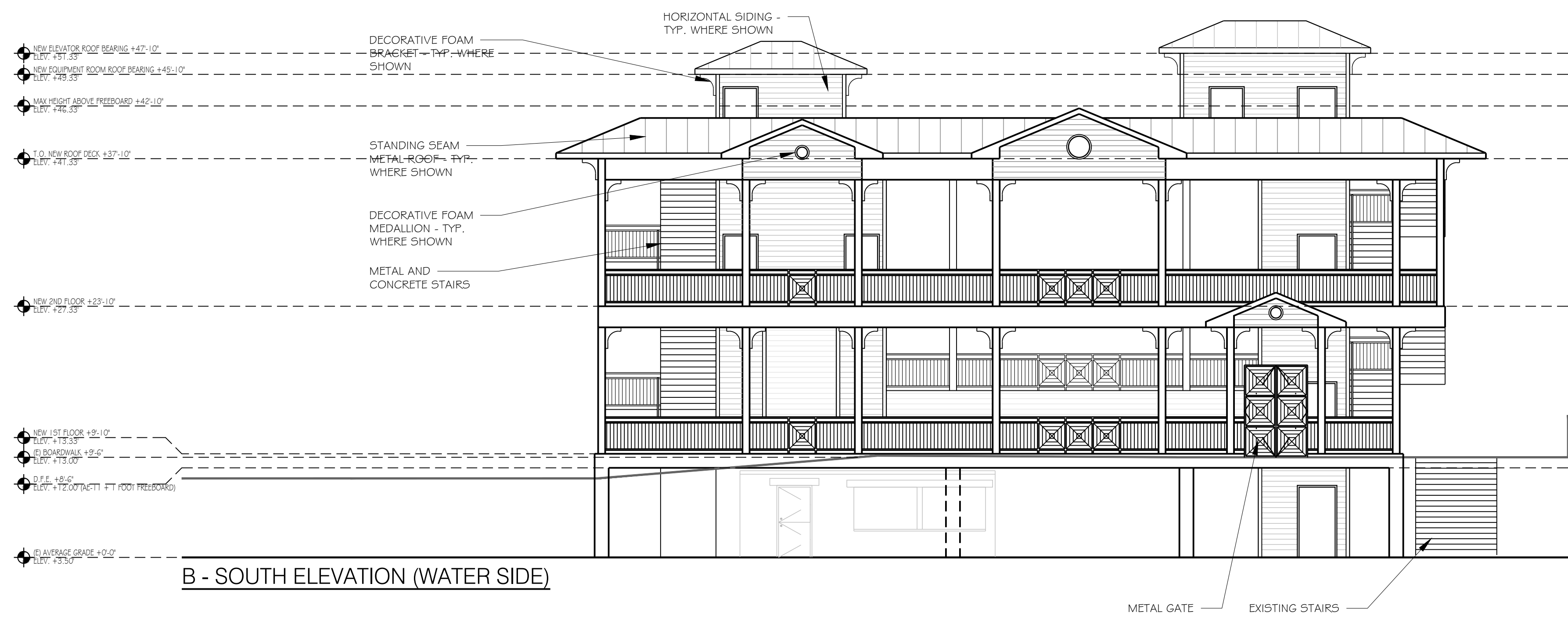
DON'S DOCK RESTAURANT  
 215 BOARDWALK PLACE EAST, MADEIRA BEACH, FL 33708  
 PIN #: 15-31-15-0000-410-0200

LANG + FERFOGLIA ARCHITECTURE I DEVELOPMENT  
 FLORIDA ARCHITECTURE REGISTRATION # 39011970  
 2000 34TH AVENUE N, ST PETERSBURG, FL 33713  
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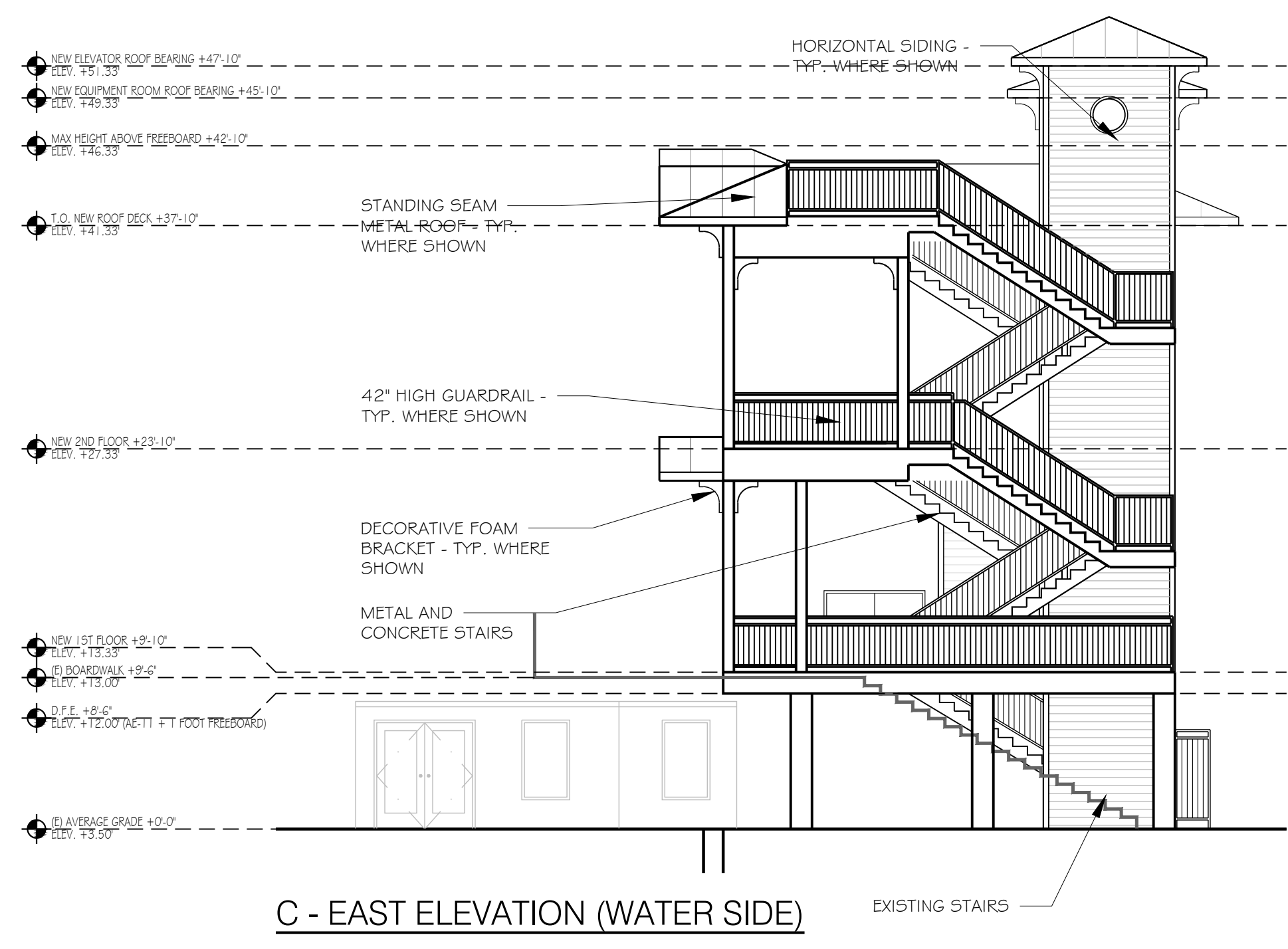
DRAWN BY: SFF  
 DATE: 10-12-23  
 PROJECT #: 2216  
 SHEET: A4.0



A - NORTH ELEVATION (STREET SIDE)



B - SOUTH ELEVATION (WATER SIDE)



C - EAST ELEVATION (WATER SIDE)

1  
A5.0 EXTERIOR ELEVATIONS  
SCALE: 1/8" = 1'-0"

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND COORDINATE ALL FIELD CONDITIONS. ALL DISCREPANCIES AND COMMENTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING 5 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

PROFESSIONAL STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, ENCLOSED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE INTERNATIONAL BUILDING CODE AND THE INTERNATIONAL FIRE CODE.

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| 1   |      |             |

WILLIAM KARNS ENTERPRISES, INC.  
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CLIENT

DON'S DOCK RESTAURANT  
215 BOARDWALK PLACE EAST, MADEIRA BEACH, FL 33708  
PIN #: 15-31-15-00000-410-0200

EXTERIOR ELEVATIONS

LANG + FERFOGLIA  
ARCHITECTURE | DEVELOPMENT  
FL LICENSE # AR100298 AIA REGISTRATION # 39211970  
2000 34TH AVENUE N, ST PETERSBURG, FL 33713  
TEL: (727) 696-9677

DRAWN BY: SFF  
DATE: 10-12-23  
PROJECT #: 2216  
SHEET: A5.0

# DONS DOCK - JOHNS PASS SITE DEVELOPMENT PLAN

SECTION 15, TOWNSHIP 31 S, RANGE 15 E  
MADEIRA BEACH, FLORIDA

### LEGAL DESCRIPTION

THAT PORTION OF LAND LYING SOUTHEASTERLY OF LOTS 1, 2 AND 3, BLOCK 1, MITCHELL'S BEACH, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN PLAT BOOK 3, PAGE 54, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA AND LYING BETWEEN THE EXTENDED NORTHEASTERLY LINE OF SAID LOT 1, BLOCK 1 IN A SOUTHEASTERLY DIRECTION AND THE EXTENDED SOUTHWESTERLY LINE OF SAID LOT 3, BLOCK 1 IN A SOUTHEASTERLY DIRECTION, TO THE MEAN HIGH WATER LINE OF JOHN'S PASS.

THE ABOVE DESCRIBED PROPERTY BEING ONE AND THE SAME AS THE PARCEL DESCRIBED AS FOLLOWS:

THAT PORTION OF LAND LYING SOUTHEASTERLY OF LOTS 1, 2 AND 3, BLOCK 1, MITCHELL'S BEACH, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN PLAT BOOK 3, PAGE 54, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA AND LYING NORTHWESTERLY OF THE MEAN HIGH WATER LINE OF SAID LOT 1 AND THE SOUTHWESTERLY LINE OF SAID LOT 3, AS EXTENDED SOUTHEASTERLY TO SAID JOHN'S PASS.

LESS AND EXCEPT THE NORTHWESTERLY 30 FEET THEREOF FOR THE RIGHT OF WAY FOR 128TH AVENUE.

### LOCATION MAP



### DRAWING INDEX

| SHEET | TITLE   |
|-------|---|
| C1    | COVER SHEET                                   |
| C2    | NOTES & SPECIFICATIONS                        |
| C3    | STORMWATER POLLUTION PREVENTION PLAN          |
| C4    | EXISTING CONDITIONS/DEMOLITION PLAN           |
| C5    | SITE DEVELOPMENT PLAN (GROUND FLOOR)          |
| C6    | SITE DEVELOPMENT PLAN (SECOND & THIRD FLOORS) |
| C7    | CONSTRUCTION DETAILS                          |
| C8    | CONSTRUCTION DETAILS                          |

### SITE DATA TABLE

|                                  |   |                        |                  |
|----------------------------------|---|------------------------|------------------|
| SITE ADDRESS:                    | 209 & 215 BOARDWALK PLACE EAST MADEIRA BEACH, FL  |                        |                  |
| PARCEL ID:                       | 15-31-15-00000-410-1500 & 15-31-15-00000-410-0200   |                        |                  |
| PROPOSED USE:                    |   |                        |                  |
| FUTURE LAND USE MAP DESIGNATION: | COMMERCIAL GENERAL  |                        |                  |
| EXISTING ZONING:                 | C-2   |                        |                  |
| TOTAL LAND AREA:                 | ±6,855 SF (0.157 AC)  |                        |                  |
| SITE DATA TOTALS                 | EXISTING  | PROPOSED               | MIN/MAX REQUIRED |
| BUILDING:                        | 814 SF  |                        |                  |
| PAVEMENT:                        | 5,073 SF  |                        |                  |
| IMPERVIOUS:                      | 5,887 SF (85.9%)  | 6,001 SF (87.5%)       |                  |
| OPEN SPACE:                      | 968 SF  | 854 SF                 |                  |
| PARKING SPACES                   | (*)   | (*)                    |                  |
| BUILDING HEIGHT                  | 2-STORY   | 3-STORY                |                  |
| BUILDING SETBACKS:               |   |                        |                  |
| FRONT (NORTH)                    | 23.6 FT   | 20.4 FT                |                  |
| FRONT (EAST)                     | 5.7 FT (INTERIOR LOT)   | 0 FT                   |                  |
| SIDE (WEST)                      | 4.2 FT  | 4.2 FT (EXISTING BLDG) |                  |
| SIDE (SOUTH)                     | 1.1 FT  | 1.1 FT (EXISTING BLDG) |                  |
| FLOOD ZONE:                      | PROJECT LIES WITHIN FLOOD ZONE AE (EL 11) AND VE (EL 13) AS DELINEATED IN FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 12103C0192H, INDEX DATED AUGUST 24, 2021. |                        |                  |
| ADDITIONAL INFORMATION           |   |                        |                  |

(\*) SEE PARKING CALCULATIONS ON THE DON'S DOCK RESTAURANT ARCHITECTURAL PLANS DATED 10-12-23

### PROJECT DIRECTORY

**OWNERS:** J.W.B.M.B. HOLDINGS LLC  
429 BOCA CIEGA DR  
MADEIRA BEACH, FL 33708-2457

**DEVELOPER:** BOARDWALK PLACE PROPERTY LLC  
410 150TH AVENUE, SUITE H  
MADEIRA BEACH, FL 33708

**CIVIL ENGINEER:** GULF COAST CONSULTING, INC.  
13825 ICOT BOULEVARD, SUITE 605  
CLEARWATER, FL 33760  
PHONE: 727-524-1818  
ATTN: SEAN P. CASHEN, P.E. 42505

**LANDSCAPE ARCHITECT:** NAME  
ADDRESS 1  
ADDRESS 2  
PHONE: 555-555-5555  
ATTN: NAME

**SURVEYOR:** GEODATA SERVICES INC.  
1166 KAPP DRIVE1  
CLEARWATER, FL 33765  
PHONE: 727-447-1763



PREPARED FOR:

## BOARDWALK PLACE PROPERTY LLC

410 150TH AVENUE, SUITE H  
MADEIRA BEACH, FL 33708  
PHONE: 727-367-3000



**Gulf Coast Consulting, Inc.**  
Land Development Consulting  
ENGINEERING TRANSPORTATION PLANNING PERMITTING  
13825 ICOT BLVD., SUITE 605  
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SEAN P. CASHEN  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
LICENSE NO. 42505  
THIS ITEM HAS BEEN ELECTRONICALLY  
SIGNED AND SEALED BY SEAN P. CASHEN  
ON THE DATE INDICATED HERE USING A SHA  
AUTHENTICATION CODE  
PRINTED COPIES OF THIS DOCUMENT ARE  
NOT CONSIDERED SIGNED AND SEALED AND  
THE SHA AUTHENTICATION CODE MUST BE  
VERIFIED ON ANY ELECTRONIC COPIES.

22-065  
DATE: 08/17/2023  
REV: 11/14/2023  
DONS DOCK - JOHNS PASS

Digitally signed by  
**sean p. cashen**  
Date: 2023.11.14  
12:59:36 -05'00'



MISCELLANEOUS

- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE PERMITS AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE ANY NECESSARY INSPECTIONS ACCORDING TO AGENCY INSTRUCTIONS.
- ALL SPECIFICATIONS AND DOCUMENTS REFERRED TO IN THESE PLANS SHALL BE OF THE LATEST REVISION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO THE OWNER'S ENGINEER FOR APPROVAL. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE.
- WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORKS PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THE REQUIRED PERMITS TO PERFORM WORK IN THE PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES BEFORE ORDERING MATERIALS AND CASTING STRUCTURES.
- IT WILL BE NECESSARY TO EXAMINE, COORDINATE AND ADJUST ACCORDINGLY THE PROPOSED LOCATIONS OF THE VARIOUS COMPONENTS OF THE SITE UTILITIES. THE LOCATIONS INDICATED IN THE PLANS ARE NOT EXACT AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SUBMIT COORDINATION DRAWINGS SHOWING PIPE SIZES, STRUCTURES, AND ELEVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING AND COORDINATION OF THE ALL UNDERGROUND WORK ASSOCIATED WITH THIS PROJECT.
- THE CONSTRUCTION OF ALL ABOVE GROUND UTILITY APPURTENANCES VISIBLE FROM THE PUBLIC RIGHT-OF-WAY SUCH AS PEDESTALS, UTILITY METERS, TRANSFORMERS, BACK-FLOW PREVENTION DEVICES, ETC FOR NEW DEVELOPMENT OR REDEVELOPMENT ACTIVITIES SHALL CONFORM TO SCREENING REQUIREMENTS AS OUTLINED IN SECTION 6.06.06.C.10 OF THE LAND DEVELOPMENT CODE. PLANT LOCATION MUST BE CONGRUATE OF REQUIREMENTS OF THE MFD PRELIMINARY FIRE FLOW PROTECTION APPLIANCE IN ACCORDANCE TO THE UNIFORM FIRE CODE.
- ADJUSTMENTS OF INLETS, JUNCTION BOXES, MANHOLE TOPS, WATER VALVES, WATER METERS, ETC. SHALL BE INCLUDED IN THE CONTRACTOR'S BID AND NO CLAIM SHALL BE MADE AGAINST THE OWNER OR ENGINEER FOR THESE ADJUSTMENTS, IF REQUIRED.

SAFETY

- DURING THE CONSTRUCTION AND MAINTENANCE OF THIS PROJECT ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL.
- THE CONTRACTOR'S MAINTENANCE OF TRAFFIC PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN THE FOOT RIGHT-OF-WAY.
- LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN THEIR OWN SAFETY EQUIPMENT IN ACCORDANCE WITH THEIR HEALTH & SAFETY PROGRAM AND ALL OTHER APPLICABLE LEGAL AND HEALTH AND SAFETY REQUIREMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING THEIR EMPLOYEES' AND SUBCONTRACTORS WITH ADEQUATE INFORMATION AND TRAINING TO ENSURE THAT ALL EMPLOYEES AND SUBCONTRACTORS AND SUBCONTRACTORS' EMPLOYEES COMPLY WITH ALL APPLICABLE REQUIREMENTS. CONTRACTOR SHALL REMAIN IN COMPLIANCE WITH ALL OCCUPATIONAL SAFETY AND HEALTH REGULATIONS AS WELL AS THE ENVIRONMENTAL PROTECTION LAWS. THE FOLLOWING IS NOT TO BE PERCEIVED AS THE ENTIRE SAFETY PROGRAM BUT JUST BASIC REQUIREMENTS.
- ALL EXCAVATIONS BY THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENT OF LABOR'S OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION RULES AND REGULATIONS. PARTICULAR ATTENTION MUST BE PAID TO THE CONSTRUCTION STANDARDS FOR EXCAVATIONS, 29 CFR PART 1926, SUBPART F.
- THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF THE STATE OF FLORIDA MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS SHALL BE FOLLOWED IN THE DESIGN, APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS.
- ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE UTILITY COMPANIES PRIOR TO CONSTRUCTION TO OBTAIN FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES. CALL SUNSHINE STATE ONE AT 811 TO ARRANGE FIELD LOCATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THIS CONTRACT.
- ALL UNDERGROUND UTILITIES MUST BE IN PLACE AND TESTED OR INSPECTED PRIOR TO BASE AND PAVEMENT CONSTRUCTION.

SITE PLAN AND COORDINATE GEOMETRY

- CURRENT ZONING: R-3
- ALL POINTS AND MONUMENTS SHALL BE SURVEYED UPON MOBILIZATION TO VERIFY THEIR ACCURACY. ANY DISCREPANCIES DISCOVERED MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING.
- MONUMENTS AND OTHER SURVEY CONTROL POINTS SHALL BE PROTECTED FROM DAMAGE AND DISTURBANCE. IF ANY CONTROL POINTS ARE DAMAGED OR DISTURBED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND REPLACE THE CONTROL POINTS TO THEIR ORIGINAL CONDITION AT HIS OWN EXPENSE.
- BEARINGS SHOWN HEREON ARE BASED ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF GULF BOULEVARD, HAVING AN GRID BEARING OF S 48°26'15"E. THE GRID BEARINGS AS SHOWN HEREON REFER TO THE STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD 83-2007 ADJUSTMENT) FOR THE WEST ZONE OF FLORIDA, AS ESTABLISHED FROM RTK NETWORK.
- THE SUBJECT PROPERTY LIES IN FLOOD ZONE "VE" WITH ELEVATIONS OF 13" ACCORDING TO FLOOD INSURANCE RATE MAP, MAP NO. 12103C0191G FOR PINELLAS COUNTY, FLORIDA, COMMUNITY NO. 125197, DATED SEPTEMBER 3, 2003 AND ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

- LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL FURNISH THE OWNER'S ENGINEER WITH COMPLETE "AS-BUILT" INFORMATION CERTIFIED BY A REGISTERED LAND SURVEYOR. THIS "AS-BUILT" INFORMATION SHALL INCLUDE INVERT ELEVATIONS, LOCATION OF FITTINGS, LOCATION OF STRUCTURES FOR ALL UTILITIES INSTALLED, AS WELL AS TOP OF BANK, TOE OF SLOPE AND GRADE BREAK LOCATIONS AND ELEVATIONS FOR POND AND DITCH CONSTRUCTION. NO ENGINEER'S CERTIFICATIONS FOR CERTIFICATE OF OCCUPANCY PURPOSES WILL BE MADE UNTIL THIS INFORMATION IS RECEIVED AND APPROVED BY THE OWNER'S ENGINEER.
- VERTICAL DATUM FOR ELEVATIONS REFERENCE IN THESE PLANS IS NAVD88.

CLEARING/DEMOLITION

- PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN AS INDICATED ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH LOCAL TREE ORDINANCES AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREE SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM CITY OF MADEIRA BEACH OR THE OWNER.
- THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCHED, SODDED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
- REMAINING EARTHWORK THAT RESULTS FROM CLEARING AND GRUBBING OR SITE EXCAVATION IS TO BE UTILIZED ON-SITE IF REQUIRED, PROVIDED THAT THE MATERIAL IS DEEMED SUITABLE FOR CONSTRUCTION BY THE OWNER'S SOILS TESTING COMPANY. EXCESS MATERIAL IS TO BE EITHER STOCKPILED ON THE SITE AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER, OR REMOVED FROM THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING EXCESS EARTHWORK FROM THE SITE.
- ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREMENTS.
- CONTRACTOR WILL BE RESPONSIBLE FOR MAKING A VISUAL INSPECTION OF THE SITE AND WILL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL PURSUANT TO ALL FEDERAL, STATE, COUNTY, CITY OR OTHER GOVERNMENT AGENCY REQUIREMENTS, OF ALL UNDERGROUND AND ABOVE GROUND STRUCTURES THAT WILL NOT BE INCORPORATED WITHIN THE NEW FACILITIES.

PAVING AND GRADING

- ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER, THE OWNER'S ENGINEER, OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS TO BE BACK FILLED WITH APPROVED MATERIAL AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PILING AND APPURTENANCES ARE BEING PLACED.
- ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOIL TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS OR THE REFERENCED SOILS REPORT.
- PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
- CONTRACTOR SHALL TRIM, TACK AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
- CURBING WILL BE PLACED AT THE EDGE OF ALL PAVEMENT, AS SHOWN ON THE PLANS.
- REFER TO THE LATEST EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL F.D.O.T. TYPE CURBING AND GUTTERS CALLED FOR IN THESE PLANS.
- CONTRACTOR TO PROVIDE A 1/2" TO 1" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT JUNCTION OF CONCRETE AND OTHER MATERIALS (BUILDINGS, OTHER POURED CONCRETE, ETC.)
- ALL PAVEMENT MARKINGS SHALL BE MADE WITH PERMANENT THERMOPLASTIC AND SHALL CONFORM TO F.D.O.T. STANDARD INDEX NO. 17346, SHEETS 1-7. PARKING STRIP STRIPING TO BE 4" WIDE PAINTED STRIPING.
- CONTRACTOR IS TO PROVIDE EROSION CONTROL AND SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS. STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITY, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.
- IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION OR OTHER ACCEPTABLE METHODS.
- THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOD OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING COMPLETION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER WITHIN THE FOOT RIGHT-OF-WAY, THE CONTRACTOR SHALL STABILIZE THE RIGHT-OF-WAY BY SODDING ONLY.

DRAINAGE

- STANDARD INDEXES REFER TO THE LATEST EDITION OF THE FOOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM.
- ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS.
- PIPE LENGTHS SHOWN ARE APPROXIMATE AND MEASURED FROM CENTER TO CENTER OF THE PROPOSED DRAINAGE STRUCTURES OR TO THE CONNECTION OF END WALLS AND MITERED END SECTIONS.

- ALL DRAINAGE STRUCTURE GRATES AND COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
- ALL STORM DRAINAGE PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION. CONTRACTOR SHALL ONLY INSTALL FDOT APPROVED/STAMPED PIPE IN FDOT RIGHT-OF-WAY.
- THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE BY THE OWNER'S ENGINEER.

EXISTING TREE PROTECTION NOTES:

- REQUIRED BARRICADES AND FLAGGING SHALL BE ERECTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER AND PINELLAS COUNTY PRIOR TO COMMENCEMENT OF LAND ALTERATION ACTIVITIES. COMMENCEMENT OF LAND ALTERATION ACTIVITIES, BARRICADES SHALL REMAIN IN PLACE UNTIL ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED.
- DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OF TO PLAC SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIPLINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE COUNTY.

EROSION/TURBIDITY CONTROL NOTES

- THE INSTALLATION OF TEMPORARY EROSION CONTROL BARRIERS SHALL BE COORDINATED WITH THE CONSTRUCTION OF THE PERMANENT EROSION CONTROL FEATURES TO THE EXTENT NECESSARY TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL OF EROSION AND WATER POLLUTION THROUGHOUT THE LIFE OF THE CONSTRUCTION PHASE.
- THE TYPE OF EROSION CONTROL BARRIERS USED SHALL BE GOVERNED BY THE NATURE OF THE CONSTRUCTION OPERATION AND SOIL TYPE THAT WILL BE EXPOSED. SILTY AND CLAYEY MATERIAL USUALLY REQUIRE SOLID SEDIMENT BARRIERS TO PREVENT TURBID WATER DISCHARGE, WHILE SANDY MATERIAL MAY NEED ONLY SILT SCREENS OR HAY BALES TO PREVENT EROSION. FLOATING TURBIDITY CURTAINS SHALL BE USED IN OPEN WATER SITUATIONS. DIVERSION DITCHES OR SWALES MAY BE REQUIRED TO PREVENT TURBID STORMWATER RUNOFF FROM BEING DISCHARGED TO WETLANDS OR OTHER WATER BODIES. IT MAY BE NECESSARY TO EMPLOY A COMBINATION OF BARRIERS, DITCHES AND OTHER EROSION/TURBIDITY CONTROL MEASURES IF CONDITIONS WARRANT.
- CONSTRUCTION OPERATIONS IN OR ADJACENT TO WETLANDS SHALL BE RESTRICTED TO THOSE AREAS IDENTIFIED IN THE PLANS AND IN THE SPECIFICATIONS.
- EXCAVATED MATERIAL SHALL NOT BE DEPOSITED IN THE WETLANDS OR IN A POSITION CLOSE ENOUGH THERETO TO BE WASHED AWAY BY HIGH WATER OR RUNOFF.
- WHERE PUMPS ARE TO BE USED TO REMOVE TURBID WATERS FROM CONSTRUCTION AREAS, THE WATER SHALL BE TREATED PRIOR TO DISCHARGE TO THE WETLANDS. TREATMENT METHODS INCLUDE AND ARE NOT LIMITED TO, TURBID WATER BEING PUMPED INTO GRASSED SWALES OR APPROPRIATE VEGETATED AREAS, SEDIMENT BASINS, OR CONFINED BY AN APPROPRIATE ENCLOSURE SUCH AS TURBIDITY BARRIERS, AND KEPT CONFINED UNTIL ITS TURBIDITY LEVEL MEETS STATE WATER QUALITY STANDARDS.
- THE CONTRACTOR SHALL SCHEDULE HIS OPERATIONS SUCH THAT THE AREA OF UNPROTECTED ERODIBLE EARTH EXPOSED AT ANY ONE TIME IS NOT LARGER THAN THE MINIMUM AREA NECESSARY FOR EFFICIENT CONSTRUCTION OPERATIONS. THE DURATION OF EXPOSED UNCOMPLETED CONSTRUCTION TO THE ELEMENTS SHALL BE AS SHORT AS PRACTICABLE. CLEARING AND GRUBBING SHALL BE SO SCHEDULED AND PERFORMED THAT GRADING OPERATIONS CAN FOLLOW IMMEDIATELY THEREAFTER. AND GRADING OPERATIONS SHALL BE SCHEDULED AND PERFORMED THAT PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER IF CONDITIONS ON THE PROJECT PERMIT.
- THE CONTRACTOR AND/OR OWNER'S REPRESENTATIVE SHALL PROVIDE ROUTINE MAINTENANCE OF PERMANENT AND TEMPORARY EROSION CONTROL FEATURES UNTIL THE PROJECT IS COMPLETE AND ALL BARED SOILS ARE STABILIZED.
- SILT FENCE SHALL BE LOCATED AT THE PERIMETER OF CONSTRUCTION LIMITS, AS DEFINED BY FIELD CONDITIONS.

UTILITY SEPARATION NOTES

- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE.
- HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. AT SUCH POINTS, ALL SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

NOTES:

THE SITE LIGHTING PLAN FOR THE PROJECT WILL ADHERE TO THE PROVISIONS IDENTIFIED IN THE MADEIRA BEACH, FL CODE OF ORDINANCES FOR SITE LIGHTING, INCLUDING ORDINANCE 2019-12.

AT ALL STREET INTERSECTIONS NO OBSTRUCTION TO VISION (OTHER THAN AN EXISTING BUILDING, POST, COLUMN, OR TREE) EXCEEDING 36 INCHES IN HEIGHT ABOVE THE ESTABLISHED GRADE OF THE STREET AT THE PROPERTY LINE SHALL BE ERECTED OR MAINTAINED ON ANY LOT WITHIN THE TRIANGLE FORMED BY THE STREET LOT LINES OF SUCH LOT AND A LINE DRAWN BETWEEN THE POINTS ALONG SUCH STREET LOT LINES 25 FEET DISTANT FROM THEIR POINT OF INTERSECTION.

CITY OF MADEIRA BEACH NOTES

- WHERE NECESSARY TO ACCOMMODATE PROPOSED DEVELOPMENT, THE APPLICANT SHALL BE RESPONSIBLE FOR THE REMOVAL AND/OR RELOCATION OF ANY AND ALL PUBLIC UTILITIES LOCATED ON THE SUBJECT SITE, INCLUDING THE GRANTING OF EASEMENTS AS MAY BE REQUIRED. THIS IS REGARDLESS OF WHETHER THE PUBLIC UTILITIES ARE KNOWN AT THE TIME OF SITE PLAN APPROVAL OR DISCOVERED SUBSEQUENT TO SUCH APPROVAL. ANY REQUIRED RELOCATION WILL REQUIRE APPROVAL FROM THE CITY'S COMMUNITY SERVICES DEPARTMENT.
- UTILITY SERVICES - ALL UTILITIES SERVICING THE PROPOSED BUILDING AND ACCESSORY USES MUST BE UNDERGROUND
- BUILDING FIRE CODE - THE BUILDING DESIGN MUST BE IN CONFORMANCE WITH THE NFPA FIRE/LIFE SAFETY CODE, APPLICABLE LAW, STATE AND NATIONAL ORDINANCES AND CODES.

GENERAL NOTES

- ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH CITY OF MADEIRA BEACH STANDARDS, AND FDOT SPECIFICATIONS, LATEST EDITIONS.
- CONTRACTOR IS TO COORDINATE ALL WORK WITHIN, BUT NOT LIMITED TO PUBLIC RIGHT-OF-WAY WITH UTILITY COMPANIES IN ORDER TO PREVENT DAMAGE TO UTILITY LINES AND THE MAKING OF ADJUSTMENTS TO SAME, IF REQUIRED.
- CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR THE OWNER PRIOR TO ANY CONSTRUCTION THAT MAY DAMAGE TREES.
- ADJUSTING MANHOLE TOPS, VALVE COVERS, METER BOXES, ETC. TO MATCH GRADE AND SLOPE OF THE FINISH PAVING SHALL BE INCLUDED IN THE CONSTRUCTION COST. PAYMENT OF WHICH WILL CONSTITUTE FULL COMPENSATION FOR THE CONSTRUCTION OF THE PROJECT, AND NO ADDITIONAL PAYMENT WILL BE ALLOWED OR MADE FOR THESE ADJUSTMENTS.
- ALL FINISH FLOOR ELEVATIONS (FFE) ARE MINIMUMS.
- SLOPE PERMETER GRADE TO MATCH EXISTING GRADE AT 4:1 MAXIMUM.
- ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE, SODDING, FLUSHING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1. VEGETATION OTHER THAN GRASS IS ACCEPTABLE UNLESS OTHERWISE SPECIFIED.
- THIS LOT AS DESCRIBED IS IN ZONE VE PER COMMUNITY PANEL NO. 12103C0191G, DATED 9/3/2003
- NOT USED.
- ALL GRADING OF SIDEWALKS AND PEDESTRIAN WALKWAYS SHALL MEET MINIMUM ADA STANDARDS. SIDEWALK CROSS SLOPES AND DRIVEWAY CROSSINGS FOR SIDEWALKS TO BE 2.0% MAX. SLOPE. ALL SIDEWALK RUNNING SLOPES SHALL NOT EXCEED 5% WITHOUT USE OF PROPER RAMPS PER FDOT OR FLORIDA BUILDING CODE. CONTRACTOR SHALL FIELD VERIFY SIDEWALK FORM STANDARDS PRIOR TO CONSTRUCTING WALKWAYS.
- CONTRACTOR SHALL WRAP ALL INLET GRATES WITH FILTER FABRIC UPON INSTALLATION. FABRIC TO BE REMOVED UPON COMPLETION OF BUILDING CONSTRUCTION.
- BUILDING EXTERIOR GRADE SHALL BE 5' LEVEL AT BUILDING PERIMETER PRIOR TO EXISTING GRADE.
- CONTRACTOR SHALL OBTAIN ALL CONTRACTOR RELATED PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THIS CONTRACT.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OF THE RIGHT-OF-WAY S/R, 699 AFTER THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- AT THE LOCATIONS OF ANY EXISTING DRIVEWAYS AND ROADWAY TIE-IN POINTS THAT ARE TO BE REMOVED, THE DROP CURB AND DRIVEWAY/ROADWAY APRONS SHALL BE REMOVED AND AREA REGRADED, SODDED AND RESTORED WITH TYPE "C" CURB AND STANDARD SIDEWALK THAT CONFORMS WITH FDOT STANDARD INDEX NO. 520-001 AND 522-001.
- ANY SIDEWALK FRONTING THE PROPERTY THAT IS CRACKED, DAMAGED OR UNSTABLE AND IS CREATING AN ADA TRIP HAZARD MUST BE REPLACED BY SECTION, USING STANDARD 520-001, 522-002, AND 522-001 FOR THE CONSTRUCTION OF SIDEWALK AND MEET ADA STANDARDS. ALL CONCRETE PLACED IN THE R/W SHALL BE A MINIMUM OF 6" THICK, FDOT CLASS-1 NON STRUCTURAL, 2500 PSI CONCRETE WITH FIBER MESH MATERIAL FROM A STATE APPROVED PLANT.
- PRIOR TO THE REMOVAL OF ANY MATERIAL, THE AREA MUST BE SAW-CUT TO PREVENT ANY DAMAGE TO THE ROADWAY

WATER DISTRIBUTION

- ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
- ALL WATER SYSTEM WORK SHALL CONFORM TO CITY OF MADEIRA BEACH STANDARDS AND SPECIFICATIONS.
- CONFLICTS BETWEEN WATER AND STORM OR SANITARY SEWER TO BE RESOLVED BY ADJUSTING THE WATER LINES AS NECESSARY.
- CONTRACTOR TO INSTALL TEMPORARY BLOWOFFS AT THE END OF WATER SERVICE LATERALS TO BUILDINGS TO ASSURE ADEQUATE FLUSHING AND DISINFECTION.
- THRUST BLOCKING SHALL BE PROVIDED AT ALL FITTINGS AND HYDRAULICALLY AS SHOWN ON DETAILS. ALL JOINTS SHALL BE RESTRAINT JOINT FITTINGS.
- POINTS OF CONNECTION OF THE EXTERNAL WATER LINES ARE TO COINCIDE WITH THE BUILDING PLUMBING AS SHOWN ON THE BUILDING PLUMBING PLANS. CONNECTION LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE.
- CONTRACTOR TO PERFORM CHLORINATION AND BACTERIOLOGICAL SAMPLING AND OBTAIN CLEARANCE OF DOMESTIC WATER SYSTEM. COPIES OF ALL BACTERIOLOGICAL TESTS TO BE SUBMITTED TO OWNER'S ENGINEER.
- WATER MAIN SHALL HAVE SUITABLE MAGNETIC LOCATOR TAPE BURIED APPROXIMATE.

|          |     |
|----------|-----|
| DESIGNED | SPC |
| DRAWN    | MKC |
| CHECKED  | SPC |
| QC       |     |

**Gulf Coast Consulting, Inc.**  
 Land Development Consulting  
 ENGINEERING, TRANSPORTATION, PLANNING, PERMITTING  
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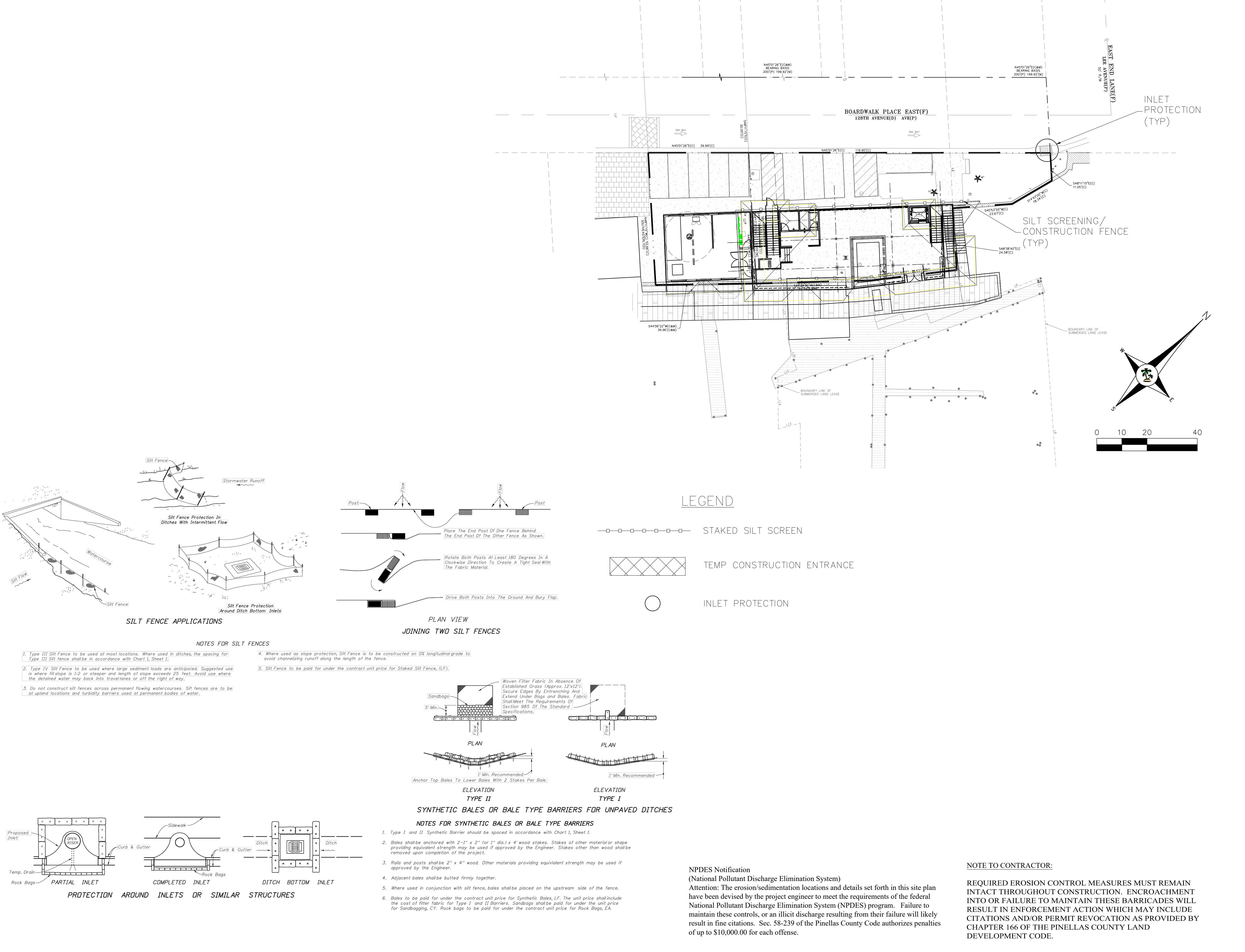
PREPARED FOR:  
**BOARDWALK PLACE PROPERTY LLC**  
 410 150TH AVENUE, SUITE H  
 MADEIRA BEACH, FL 33708  
 PHONE: 727-367-3000

SHEET DESCRIPTION:  
**DONS DOCK - JOHNS PASS**  
 NOTES & SPECIFICATIONS

|    |      |           |
|----|------|-----------|
| NO | DATE | REVISIONS |
|    |      |           |
|    |      |           |

|  |   |                 |                    |
|--|---|-----------------|--------------------|
| SEAN P. CASHEN<br>STATE OF FLORIDA<br>PROFESSIONAL ENGINEER<br>LICENSE NO. 8809<br><br>THIS ITEM HAS BEEN ELECTRONICALLY<br>SIGNED AND SEALED BY SEAN P. CASHEN,<br>ON THE DATE INDICATED HERE USING A SHA<br>AUTHENTICATION CODE.<br><br>SEAN P. CASHEN, P.E. #42505<br><br>PRINTED COPIES OF THIS DOCUMENT ARE<br>NOT CONSIDERED SIGNED AND SEALED<br>BY AN ENGINEER AND REPLACES THE<br>SHA AUTHENTICATION CODE MUST BE<br>VERIFIED ON ANY ELECTRONIC COPIES. | THESE PLANS MAY NOT BE COPIED OR<br>MODIFIED WITHOUT WRITTEN PERMISSION<br>FROM GULF COAST CONSULTING, INC. | A8/NO<br>22-065 | SHEET<br><b>C2</b> |
| DATE:  | 08/17/23  |                 |                    |

| SEQUENCE OF MAJOR EVENTS:   |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
|---|-------------|---------------------------|------------------------------------|---------------------------|-------------|------|-------------|-----|------------------------------------|-------------------|------|---------------|------------------|-------|--|--|--|
| <ol style="list-style-type: none"> <li>1. INSTALL STAKED SILT FENCE AS INDICATED ON THE CONSTRUCTION PLANS.</li> <li>2. CLEAR AND GRUB SITE.</li> <li>3. EXCAVATE TEMPORARY SEDIMENT TRAPS AS NEEDED.</li> <li>4. BEGIN BUILDING CONSTRUCTION.</li> <li>5. INSTALL STORM SEWER SYSTEM AND ITS SILTATION PROTECTION AND UTILITIES.</li> <li>6. CONSTRUCT CURB, BASE AND ASPHALT.</li> <li>7. COMPLETE FINAL SITE GRADING.</li> <li>8. INSTALL PERMANENT LANDSCAPING ON SITE. REPAIR ANY WASHED OUT AREAS.</li> <li>9. WHEN CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE EROSION PROTECTION DEVICES AND PLACE SOO AS NECESSARY.</li> </ol>  |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| STABILIZATION PRACTICES   |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| <b>WIND EROSION STABILIZATION</b> - THE CONTRACTOR SHALL DENUDE ONLY AREAS WHERE IT IS EXPECTED TO BE GRADED OR ALTERED WITHIN A TWO (2) WEEK TIME FRAME. ALL PREVIOUS AREAS OF THE SITE INCLUDED IN GRADING THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE GRADED AND PREPARED WITH A COMBINATION OF SOO AND/OR SEEDING AND MULCHING. PAD AREAS WITHIN FUTURE UNITS WHERE EARTHWORK IS COMPLETED SHALL BE COMPLETELY SEEDING AND MULCHED. AREAS WHERE CONSTRUCTION OPERATIONS WILL BE CONTINUOUS, FUGITIVE DUST SHALL BE MANAGED BY APPLYING A WATER SPRAY TO SATURATE THE SURFACE SOO OR (AS NEEDED) TO MAINTAIN MINIMAL DUST TRANSPORT. FUGITIVE DUST SHALL BE MONITORED CONTINUOUSLY AND ADDITIONAL MEASURES MAY NEED TO BE TAKEN TO CONTROL OFF SITE TRANSPORT OF UNACCEPTABLE LEVELS OF DUST.<br><b>TEMPORARY STABILIZATION</b> - TOP OF SOO STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 21 DAYS SHALL BE STABILIZED WITH TEMPORARY GRASS AND MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY. GRASS SEED SHALL BE A MIXTURE OF 20 PARTS OF BERMOUDA AND 80 PARTS OF PENSACOLA BAHIA. THE SEPARATE THRES OF SEED USED SHALL BE THOROUGHLY DRY MIXED IMMEDIATELY BEFORE SOWING. SEED WHICH HAS BECOME WET SHALL NOT BE USED. THE MULCH MATERIAL USED SHALL NORMALLY BE DRY MULCH. DRY MULCH SHALL BE STRAW OR HAY CONSISTING OF OAT, RYE OR WHEAT STRAW, OR OF PANGOLA, PEANUT COASTAL BERMOUDA OR BAHIA GRASS. HAY ONLY UNDERGRATED MULCH WHICH CAN BE READY CUT INTO THE SOO, SHALL BE USED. AREAS OF THE SITE WHICH ARE TO BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING STABILIZATION AND BASE.<br><b>PERMANENT STABILIZATION</b> - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY PERMANENTLY CEASES SHALL BE STABILIZED WITH SOO NO LATER THAN 14 DAYS AFTER LAST CONSTRUCTION ACTIVITY.   |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| STRUCTURAL PRACTICES  |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| <b>EROSION PROTECTION</b> - DURING THE CONSTRUCTION PHASES, APPROPRIATE PRACTICES INCLUDING, BUT NOT LIMITED TO SILT FENCE BARRIERS, HAY BALES AND WATERING OR OTHER METHODS NECESSARY WILL BE IMPLEMENTED TO CONTROL FUGITIVE DUST.<br><b>SEDIMENT BASINS</b> - THE STORM WATER MANAGEMENT AREAS (RETENTION AREAS) WILL SERVE AS SEDIMENT BASINS DURING THE CONSTRUCTION PERIOD. AT THE CONTRACTOR'S DISCRETION, THE SEDIMENT BASINS WILL BE CONSTRUCTED TO THE DESIGN CROSS-SECTION OR A MINIMUM OF 2-FEET BELOW EXISTING GROUND TO ALLOW THE SILT TO BE COLLECTED AND REMOVED PRIOR TO COMPLETION OF THE GRADING.  |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| STORM WATER MANAGEMENT  |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| STORM WATER DRAINAGE WILL BE PROVIDED BY AN INVERTED CROWN PAVEMENT, STORM WATER AND CATCH BASIN SYSTEM FOR THE DEVELOPED AREAS. THE AREAS NOT DEVELOPED SHALL BE GRADED TO LESS THAN 2% SLOPES AND HAVE PERMANENT SEEDING OR PLANTINGS. WHEN CONSTRUCTION IS COMPLETE THE SITE WILL DRAIN TO STORM WATER PONDS THAT WERE UTILIZED AS THE TEMPORARY SEDIMENT BASINS DURING THE CONSTRUCTION PROCESS. ANY ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT ALL RETENTION/DETENTION AREAS IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLANS.  |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| WASTE DISPOSAL  |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| <b>WASTE MATERIALS</b> - ALL WASTE MATERIAL SHALL BE COLLECTED AND CONTAINED IN A CONTROLLED AREA PURSUANT TO STATE AND LOCAL SOLID WASTE REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS GENERATED FROM CONSTRUCTION IS TO BE REMOVED FROM THE SITE AND DISPOSED APPROPRIATELY. NO CONSTRUCTION MATERIALS SHALL BE BURIED ON SITE. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES SHALL BE POSTED IN THE OFFICE TRAILER AND THE CONSTRUCTION MANAGER RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS SHALL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.<br><b>HAZARDOUS WASTE</b> - IF ENCOUNTERED, ALL WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY STATE AND/LOCAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.<br><b>SANITARY WASTE</b> - ALL SANITARY WASTE SHALL BE COLLECTED FROM PORTABLE UNITS BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR AS REQUIRED BY STATE AND LOCAL CODES AND REGULATIONS.   |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| OFF SITE VEHICLE TRACKING   |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED TO HELP REDUCE OFF SITE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREETS SHALL BE CLEANED AS NEEDED TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE SITE SHALL BE COVERED WITH A TARPULIN AT ALL TIMES.   |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| TIMING OF CONTROL MEASURES  |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, STAKED SILT FENCE, STABILIZED CONSTRUCTION ENTRANCES AND SEDIMENT BASINS SHALL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTION OF THE SITE. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 21 DAYS SHALL BE STABILIZED WITH A TEMPORARY GRASS AND MULCH WITHIN 14 DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY THAT AREA SHALL BE STABILIZED WITH PERMANENT SOO. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE TRAPS AND THE STAKED SILT FENCES SHALL BE REMOVED.   |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES   |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| THESE ARE THE INSPECTION AND MAINTENANCE PRACTICES THAT SHALL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROL: <ol style="list-style-type: none"> <li>1. LESS THAN ONE HALF OF THE SITE SHALL BE DENuded AT ONE TIME.</li> <li>2. ALL CONTROL MEASURES SHALL BE INSPECTED AT AT THE END OF EACH WORK DAY AND FOLLOWING ANY STORM EVENT OF 0.5-INCHES OR GREATER BY A CONTRACTOR'S REPRESENTATIVE.</li> <li>3. ALL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.</li> <li>4. BUTT UP SEDIMENT SHALL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE.</li> <li>5. SILT FENCE SHALL BE INSPECTED REGULARLY FOR DEPTH OF SEDIMENT AND TEARS TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS AND SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.</li> <li>6. THE SEDIMENT BASINS SHALL BE INSPECTED DEPTH OF SEDIMENT AND BUILD UP OF SEDIMENT SHALL BE REMOVED WHEN IT REACHES 10% OF THE DESIGN CAPACITY OR AT THE END OF THE JOB.</li> <li>7. TEMPORARY AND PERMANENT GRASSING AND MULCHING AND SODDING SHALL BE INSPECTED FOR BARE SPOTS, WASHOUTS AND ACTIVE GROWTH.</li> <li>8. A MAINTENANCE INSPECTION REPORT SHALL BE MADE AFTER EACH INSPECTION BY THE CONTRACTOR AND SHALL BE KEPT IN A HEALTHY LOG READILY AVAILABLE AT THE JOB SITE.</li> <li>9. EITHER THE SITE SUPERINTENDENT OR HIS DESIGNEE SHALL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE, REPAIR ACTIVITIES AND COMPLETING THE INSPECTION AND MAINTENANCE REPORT.</li> <li>10. PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES SHALL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY SHALL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ON SITE IN GOOD WORKING ORDER.</li> </ol>  |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| NON-STORM WATER DISCHARGE   |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD: <ol style="list-style-type: none"> <li>1. WATER FROM WATER LINE FLUSHING.</li> <li>2. PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).</li> <li>3. UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION).</li> </ol> ALL NON-STORM WATER DISCHARGES SHALL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.   |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| NON-STORM WATER DISCHARGE   |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES SHALL NOT OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD: <table border="0"> <tr> <td>CONCRETE</td> <td>DETERGENTS</td> <td>PAINTS (ENAMEL AND LATEX)</td> <td>METAL STUDS</td> </tr> <tr> <td>SAND</td> <td>FERTILIZERS</td> <td>TAR</td> <td>PETROLEUM BASED PRODUCTS AND FUELS</td> </tr> <tr> <td>CLEANING SOLVENTS</td> <td>WOOD</td> <td>MASONRY BLOCK</td> <td>ROOFING SHINGLES</td> </tr> <tr> <td>STONE</td> <td></td> <td></td> <td></td> </tr> </table>   |             | CONCRETE                  | DETERGENTS                         | PAINTS (ENAMEL AND LATEX) | METAL STUDS | SAND | FERTILIZERS | TAR | PETROLEUM BASED PRODUCTS AND FUELS | CLEANING SOLVENTS | WOOD | MASONRY BLOCK | ROOFING SHINGLES | STONE |  |  |  |
| CONCRETE  | DETERGENTS  | PAINTS (ENAMEL AND LATEX) | METAL STUDS                        |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| SAND  | FERTILIZERS | TAR                       | PETROLEUM BASED PRODUCTS AND FUELS |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| CLEANING SOLVENTS   | WOOD        | MASONRY BLOCK             | ROOFING SHINGLES                   |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| STONE   |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| SPILL PREVENTION  |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF. <p><b>GOOD HOUSEKEEPING:</b><br/>THE FOLLOWING GOOD HOUSEKEEPING PRACTICES SHALL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT.</p> <p>AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO COMPLETE THE PROJECT. ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND IF POSSIBLE, UNDER A ROOF OR OTHER CONTAINER ENCLOSURE. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL MANUFACTURERS LABELED CONTAINERS. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. WHENEVER POSSIBLE, ALL OF THE PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER. MANUFACTURERS RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON SITE.</p> <p><b>HAZARDOUS PRODUCTS:</b><br/>THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS. PRODUCTS SHALL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED. THEY CONTAIN IMPORTANT PRODUCT INFORMATION. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS OR LOCAL AND STATE RECOMMENDED METHODS OF PROPER DISPOSAL SHALL BE FOLLOWED.</p> <p><b>PESTICIDES/POISONOUS PRODUCTS:</b><br/>ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS.</p> <p><b>FERTILIZERS:</b><br/>FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNT RECOMMENDED BY THE MANUFACTURER. ANY APPLIED, FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE SHALL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.</p> <p><b>PAINTS:</b><br/>ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT SHALL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.</p> <p><b>CONCRETE TRUCKS:</b><br/>DISCHARGE OF SURPLUS CONCRETE OR DRUM WASH WATER IS STRICTLY PROHIBITED. HARD DEBRIS SHALL BE DISPOSSED OF BY CONTRACTOR UPON COMPLETION OF THE PROJECT.</p> |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| SPILL CONTROL PRACTICES   |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |
| IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEAN UP: <p>MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEAN UP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEAN UP SUPPLIES.</p> <p>MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEAN UP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SHAMPOO AND PLASTIC AND METAL TRASH CONTAINERS.</p> <p>ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.</p> <p>THE SPILL SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH HAZARDOUS SUBSTANCE.</p> <p>SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.</p> <p>THE SPILL PREVENTION PLAN SHALL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND THE CLEAN UP PROCEDURES FOR FUTURE USE. A DESCRIPTION OF THE SPILL, ITS CAUSE AND THE CLEAN UP MEASURES SHALL ALSO BE INCLUDED.</p> <p>THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEAN UP COORDINATOR. HE OR SHE SHALL DESIGNATE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEAN UP TRAINING. THESE INDIVIDUALS SHALL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEAN UP. THE NAMES OF THE RESPONSIBLE SPILL PERSONNEL SHALL BE POSTED IN THE MATERIAL STORAGE AREA OR IN THE OFFICE TRAILER ON SITE, IF APPLICABLE.</p>  |             |                           |                                    |                           |             |      |             |     |                                    |                   |      |               |                  |       |  |  |  |



**NOTE TO CONTRACTOR:**

**REQUIRED EROSION CONTROL MEASURES MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. ENCROACHMENT INTO OR FAILURE TO MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS AND/OR PERMIT REVOCATION AS PROVIDED BY CHAPTER 166 OF THE PINELLAS COUNTY LAND DEVELOPMENT CODE.**

SEAN P. CASHEN  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
LICENSE NO. #42505

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SEAN P. CASHEN, ON THE DATE INDICATED HERE USING A SHA AUTHENTICATION CODE.

NOT VALID UNLESS SIGNED & EMBOSSED BY A REGISTERED ENGINEER GULF COAST CONSULTING, INC. CERTIFICATE OF AUTHORIZATION No. 9774

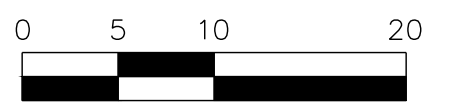
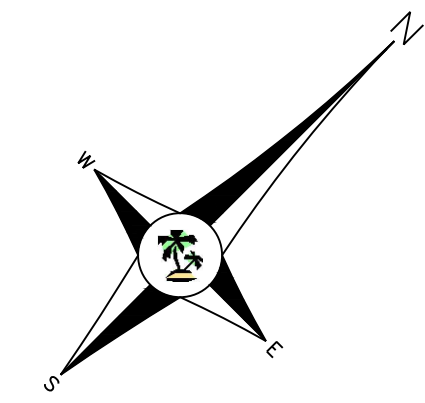
SEAN P. CASHEN, P.E. #42505

AB NO. 22-065

DATE: 08/17/23

**NPDES Notification**  
**(National Pollutant Discharge Elimination System)**  
**Attention:** The erosion/sedimentation locations and details set forth in this site plan have been devised by the project engineer to meet the requirements of the federal National Pollutant Discharge Elimination System (NPDES) program. Failure to maintain these controls, or an illicit discharge resulting from their failure will likely result in fine citations. Sec. 58-239 of the Pinellas County Code authorizes penalties of up to \$10,000.00 for each offense.

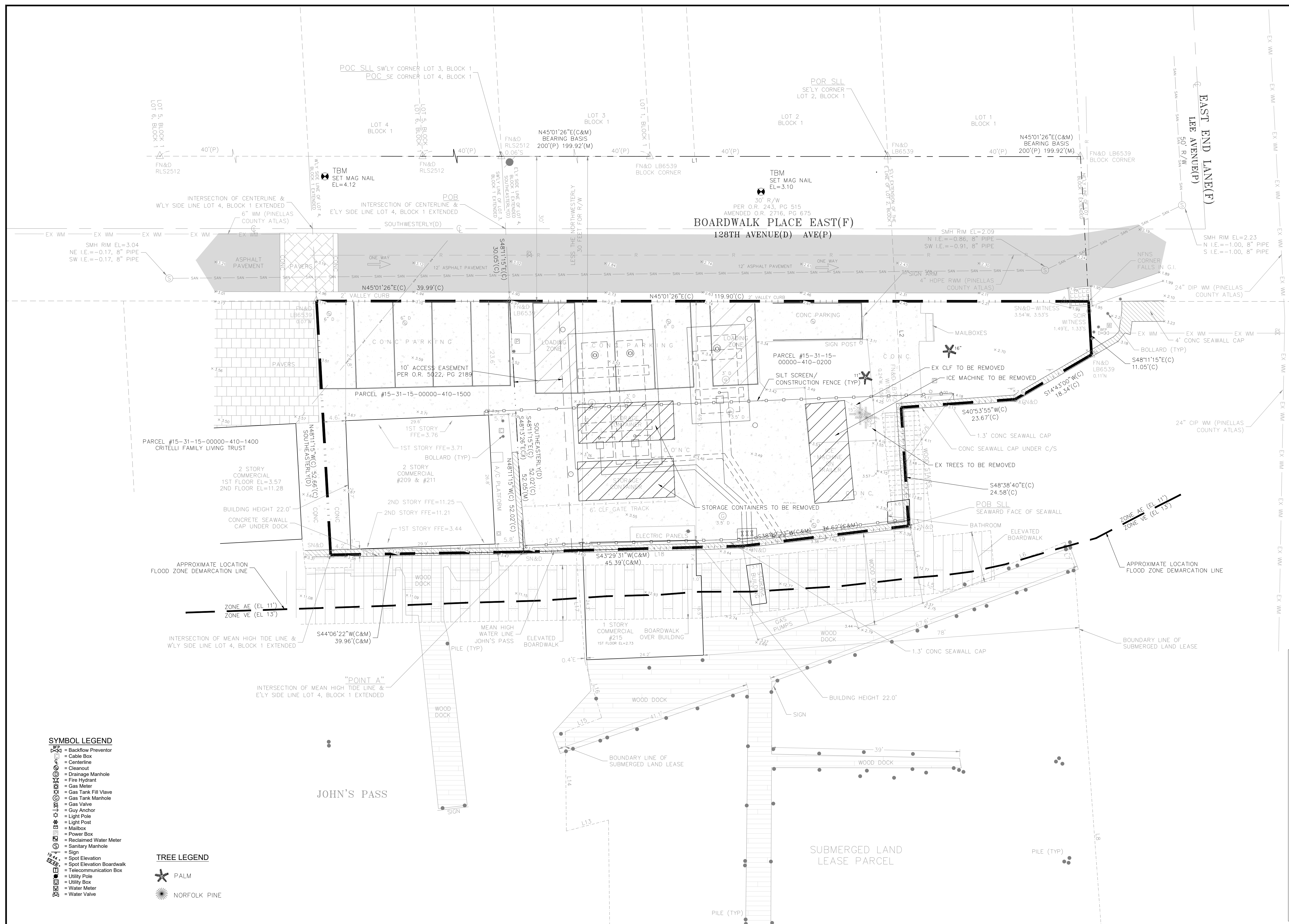
|  |  |   |  |                       |      |           |             |
|--|--|---|--|-----------------------|------|-----------|-------------|
| DESIGNED: SPC<br>DRAWN: MKC<br>CHECKED: SPC<br>DATE: | <p><b>Gulf Coast Consulting, Inc.</b><br/>Land Development Consulting<br/>ENGINEERING TRANSPORTATION PLANNING PERMITTING<br/>13825 I-COT BLVD., SUITE 605<br/>CLEARWATER, FLORIDA 33760<br/>Phone: (727) 524-1818 Fax: (727) 524-6090<br/>WWW.GULFCOASTCONSULTINGINC.COM</p> | PREPARED FOR:<br><p><b>BOARDWALK PLACE PROPERTY LLC</b><br/>410 150TH AVENUE, SUITE H<br/>MADEIRA BEACH, FL 33708<br/>PHONE: 727-367-3000</p> | SHEET DESCRIPTION:<br><p><b>DONS DOCK - JOHNS PASS</b><br/><b>STORMWATER POLLUTION PREVENTION PLAN</b></p> | NO.                   | DATE | REVISIONS | APPROVED BY |
|  |  |   |  | <p>SEAN P. CASHEN</p> |      |           |             |



**NOTE TO CONTRACTORS:**  
 THE LOCATIONS OF ALL UTILITIES ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED. BEFORE BEGINNING SITE WORK, THE CONTRACTOR IS REQUIRED TO FIELD VERIFY THE EXISTENCE, LOCATION & ELEVATION OF UNDERGROUND UTILITIES AND OTHER FEATURES, & CONTACT THE ENGINEER TO CONVEY ANY INFORMATION AND/OR DISCREPANCIES.

**FLOOD ZONE NOTE:**  
 SUBJECT PROPERTY LIES IN FLOOD ZONE AE (EL. 11) AND VE (EL. 13), ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 12103C0192H, DATED AUGUST 24, 2021.

**DATUM NOTE:**  
 ALL ELEVATIONS BASED ON FDOT BENCHMARK "BM 15-90-DA-25A, ELEVATION = 4.28' & "PBE 147 USE", PID NUMBER AG0767, ELEVATION = 4.51' AS PUBLISHED BY THE NATIONAL GEODETIC SURVEY. DATUM BASED ON NORTH AMERICAN VERTICAL DATUM 1988.



| LEGEND |                               |
|--------|-------------------------------|
|        | EXISTING BOUNDARY             |
|        | TO BE REMOVED OR DEMOLISHED   |
|        | EXISTING SPOT ELEVATION       |
|        | EXISTING SANITARY PIPE        |
|        | EXISTING SANITARY MANHOLE     |
|        | EXISTING WATER MAIN           |
|        | EXISTING RECLAIMED WATER MAIN |
|        | EXISTING OVER HEAD WIRES      |
|        | EXISTING OVER HEAD WIRES      |
|        | EXISTING OVER HEAD WIRES      |

- SYMBOL LEGEND**
- = Backflow Preventor
  - = Cable Box
  - = Centerline
  - = Clearcut
  - = Drainage Manhole
  - = Fire Hydrant
  - = Gas Meter
  - = Gas Tank Fill Valve
  - = Gas Tank Manhole
  - = Gas Valve
  - = Guy Anchor
  - = Light Pole
  - = Mailbox
  - = Power Box
  - = Reclaimed Water Meter
  - = Sanitary Manhole
  - = Sign
  - = Spot Elevation
  - = Spot Elevation Boardwalk
  - = Telecommunication Box
  - = Utility Pole
  - = Water Meter
  - = Water Valve

- TREE LEGEND**
- PALM
  - NORFOLK PINE

DESIGNED: SPC  
 DRAWN: MKC  
 CHECKED: SPC  
 QC:



**Gulf Coast Consulting, Inc.**  
 Land Development Consulting  
 ENGINEERING TRANSPORTATION PLANNING PERMITTING  
 13825 ICOT BLVD., SUITE 605  
 Clearwater, Florida 33760  
 Phone: (727) 524-1818 Fax: (727) 524-6090  
 WWW.GULFCOASTCONSULTINGINC.COM

PREPARED FOR:  
**BOARDWALK PLACE PROPERTY LLC**  
 410 150TH AVENUE, SUITE H  
 MADEIRA BEACH, FL 33708  
 PHONE: 727-367-3000

SHEET DESCRIPTION:  
**DONS DOCK - JOHNS PASS**  
 EXISTING CONDITIONS / DEMOLITION PLAN

| NO. | DATE | REVISIONS |
|-----|------|-----------|
|     |      |           |
|     |      |           |
|     |      |           |

SEAN P. CASHEN  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 42505

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SEAN P. CASHEN, ON THE DATE INDICATED HERE USING A SHA AUTHENTICATION CODE.

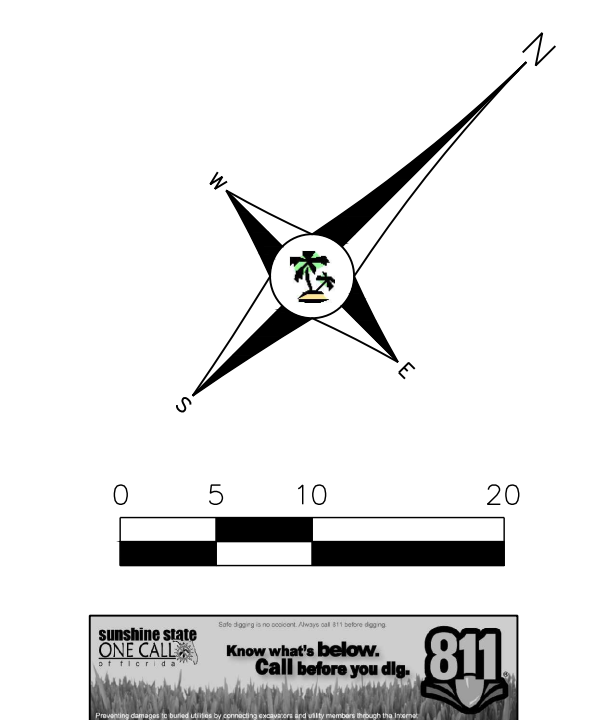
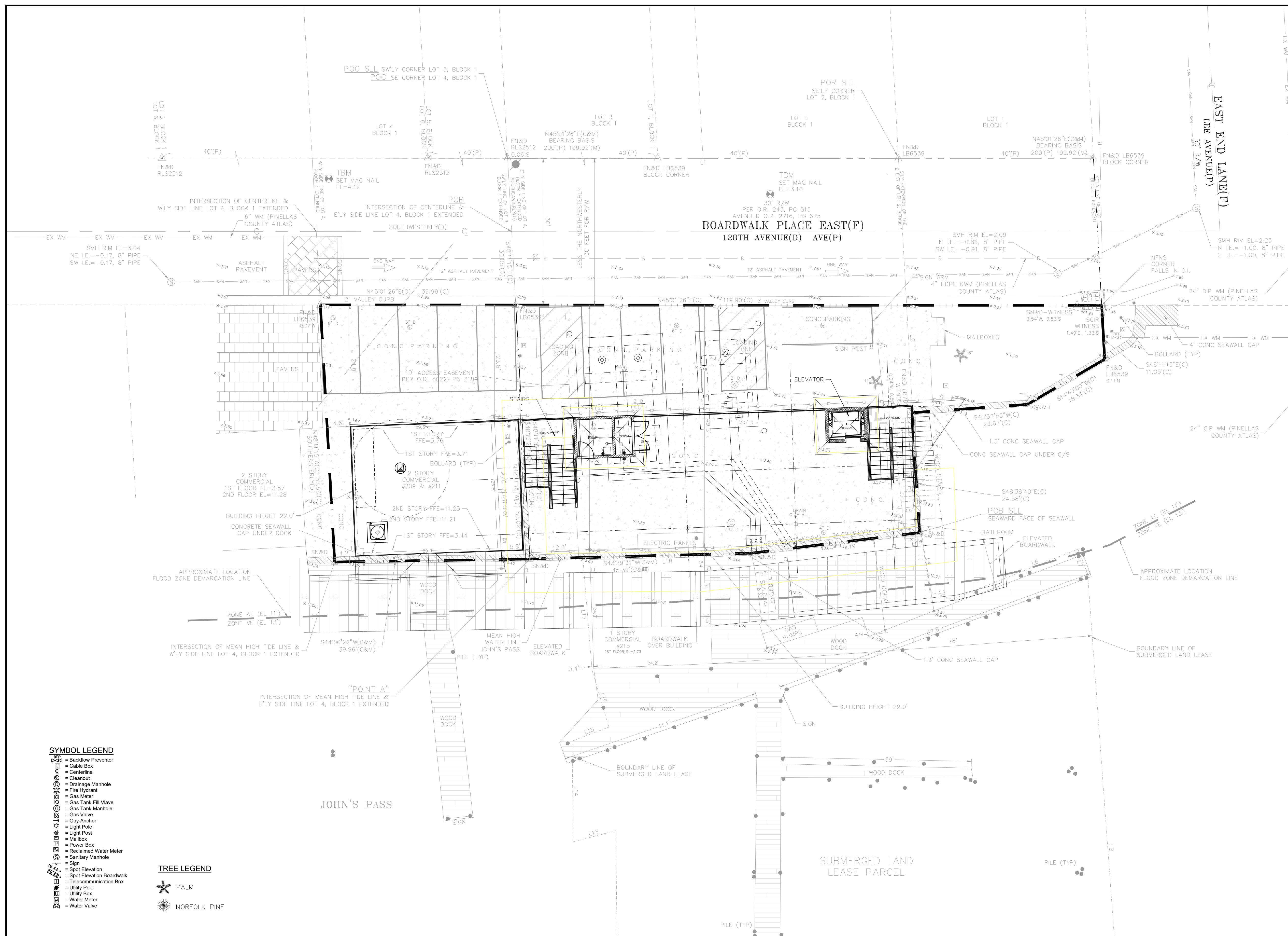
NOT VALID UNLESS SIGNED & EMBOSSED BY A REGISTERED ENGINEER  
 GULF COAST CONSULTING, INC.  
 CERTIFICATE OF AUTHORIZATION No. 9774

APP'D BY: [Signature]

DATE: 08/17/23

NO. 22-065

**C4**



**NOTE TO CONTRACTORS:**  
 THE LOCATIONS OF ALL UTILITIES ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED. BEFORE BEGINNING SITE WORK, THE CONTRACTOR IS REQUIRED TO FIELD VERIFY THE EXISTENCE, LOCATION & ELEVATION OF UNDERGROUND UTILITIES AND OTHER FEATURES, & CONTACT THE ENGINEER TO CONVEY ANY INFORMATION AND/OR DISCREPANCIES.

**FLOOD ZONE NOTE:**  
 SUBJECT PROPERTY LIES IN FLOOD ZONE AE (EL. 11') AND VE (EL. 13'), ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 12103C0192H, DATED AUGUST 24, 2021.

**DATUM NOTE:**  
 ALL ELEVATIONS BASED ON FDOT BENCHMARK "BM 15-90-DA-25A, ELEVATION = 4.28' & "PBE 147 USE", PID NUMBER AG0767, ELEVATION = 4.51' AS PUBLISHED BY THE NATIONAL GEODETIC SURVEY. DATUM BASED ON NORTH AMERICAN VERTICAL DATUM 1988.

- SYMBOL LEGEND**
- = Backflow Preventor
  - = Cable Box
  - = Centerline
  - = Cleanout
  - = Drainage Manhole
  - = Fire Hydrant
  - = Gas Meter
  - = Gas Tank Fill Valve
  - = Gas Tank Manhole
  - = Gas Valve
  - = Guy Anchor
  - = Light Pole
  - = Light Post
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  - = Power Box
  - = Reclaimed Water Meter
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  - = Sign
  - = Spot Elevation
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  - = Telecommunication Box
  - = Utility Pole
  - = Water Meter
  - = Water Valve

- TREE LEGEND**
- = PALM
  - = NORFOLK PINE

DESIGNED: SPC  
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 QC:



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PREPARED FOR:  
**BOARDWALK PLACE PROPERTY LLC**  
 410 150TH AVENUE, SUITE H  
 MADEIRA BEACH, FL 33708  
 PHONE: 727-367-3000

SHEET DESCRIPTION:  
**DONS DOCK - JOHNS PASS**  
 SITE DEVELOPMENT PLAN - GROUND FLOOR

| NO. | DATE | REVISIONS |
|-----|------|-----------|
|     |      |           |
|     |      |           |
|     |      |           |
|     |      |           |
|     |      |           |

SEAN P. CASHEN  
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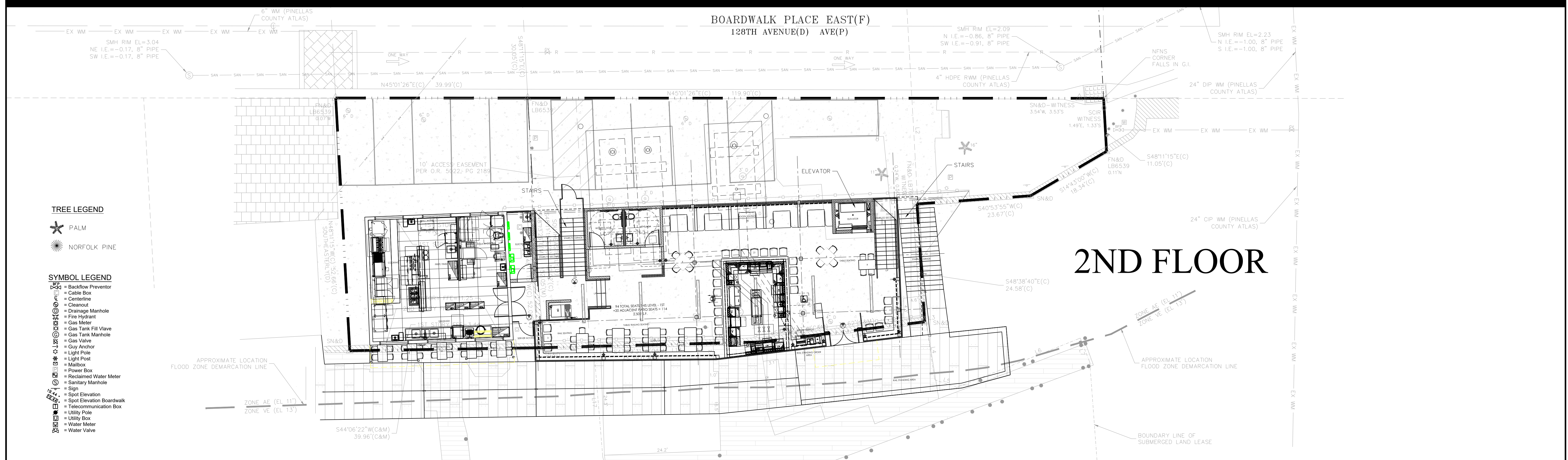
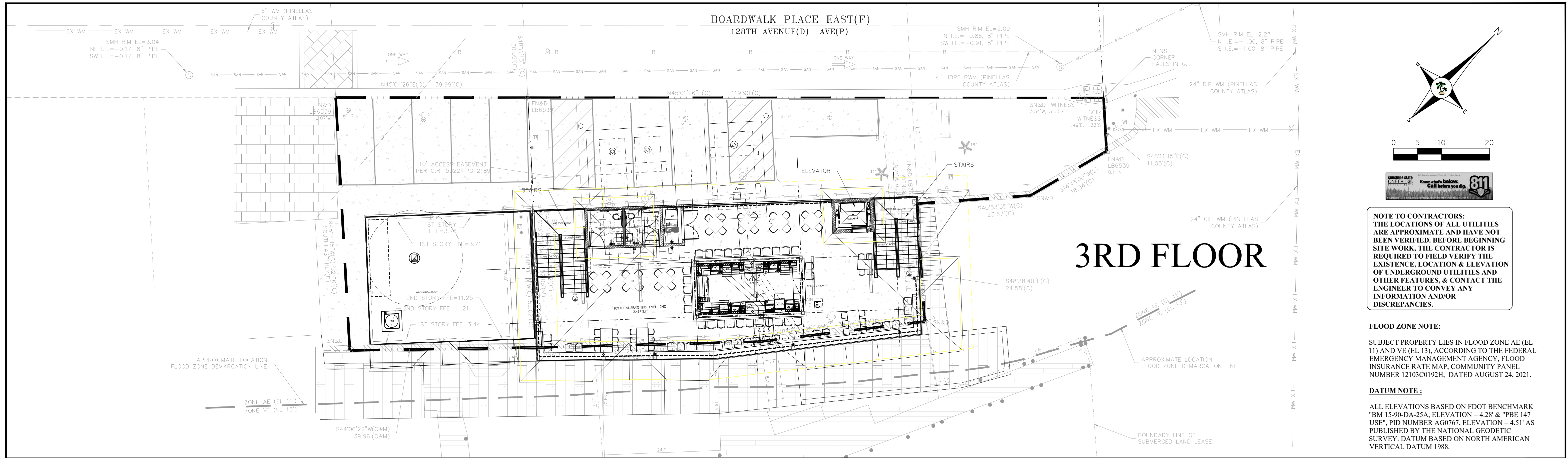
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 GULF COAST CONSULTING, INC.  
 CERTIFICATE OF AUTHORIZATION No. 9774

APP'D BY: [Signature]

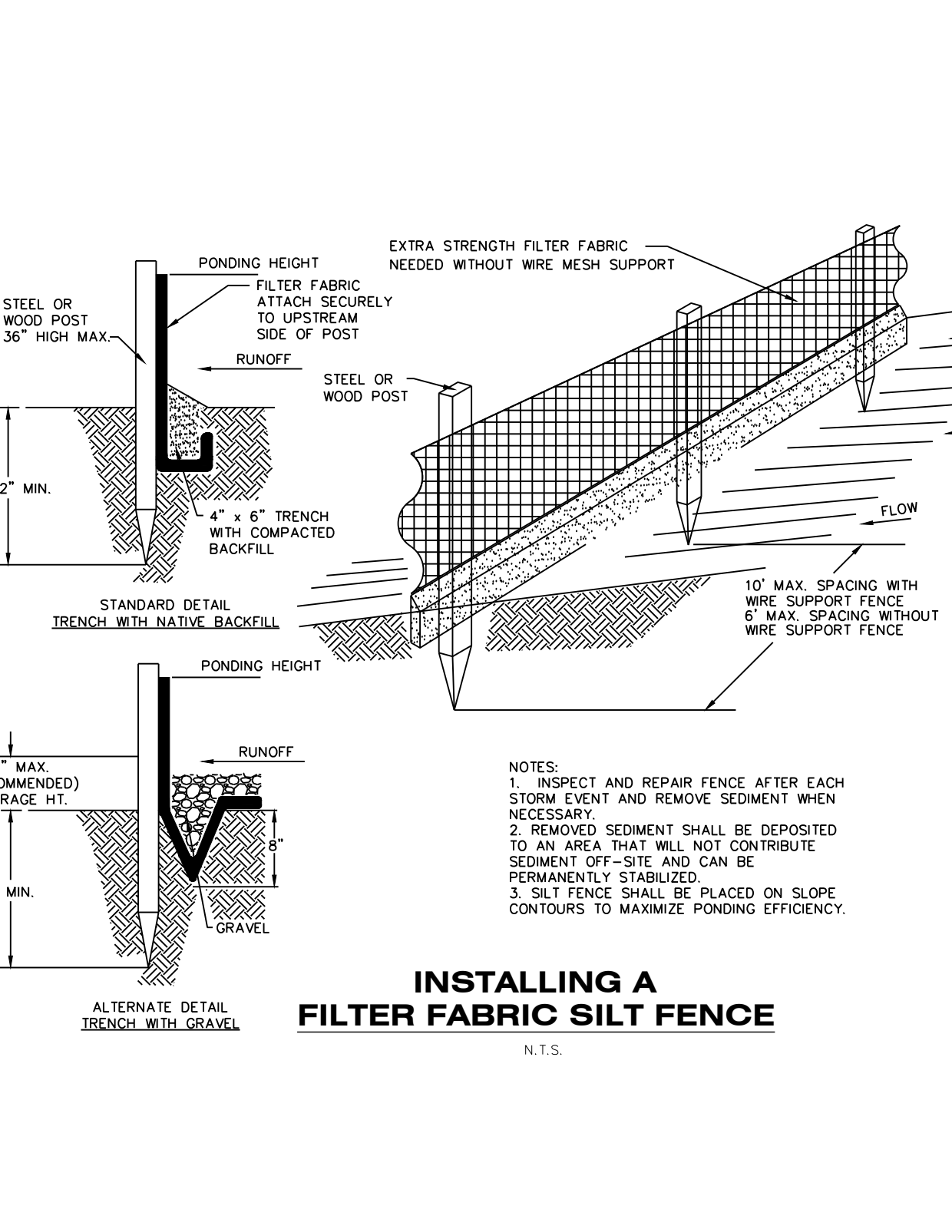
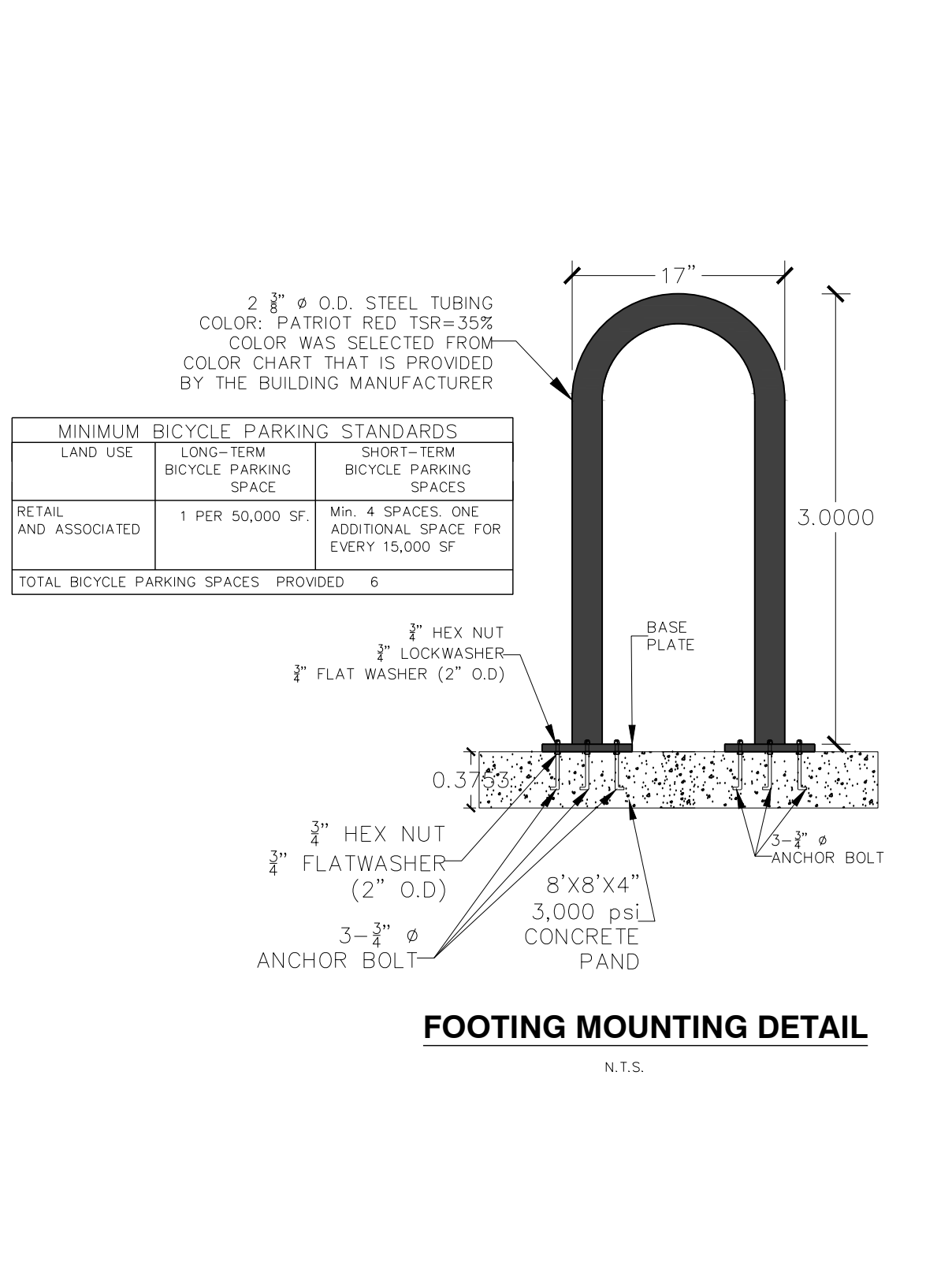
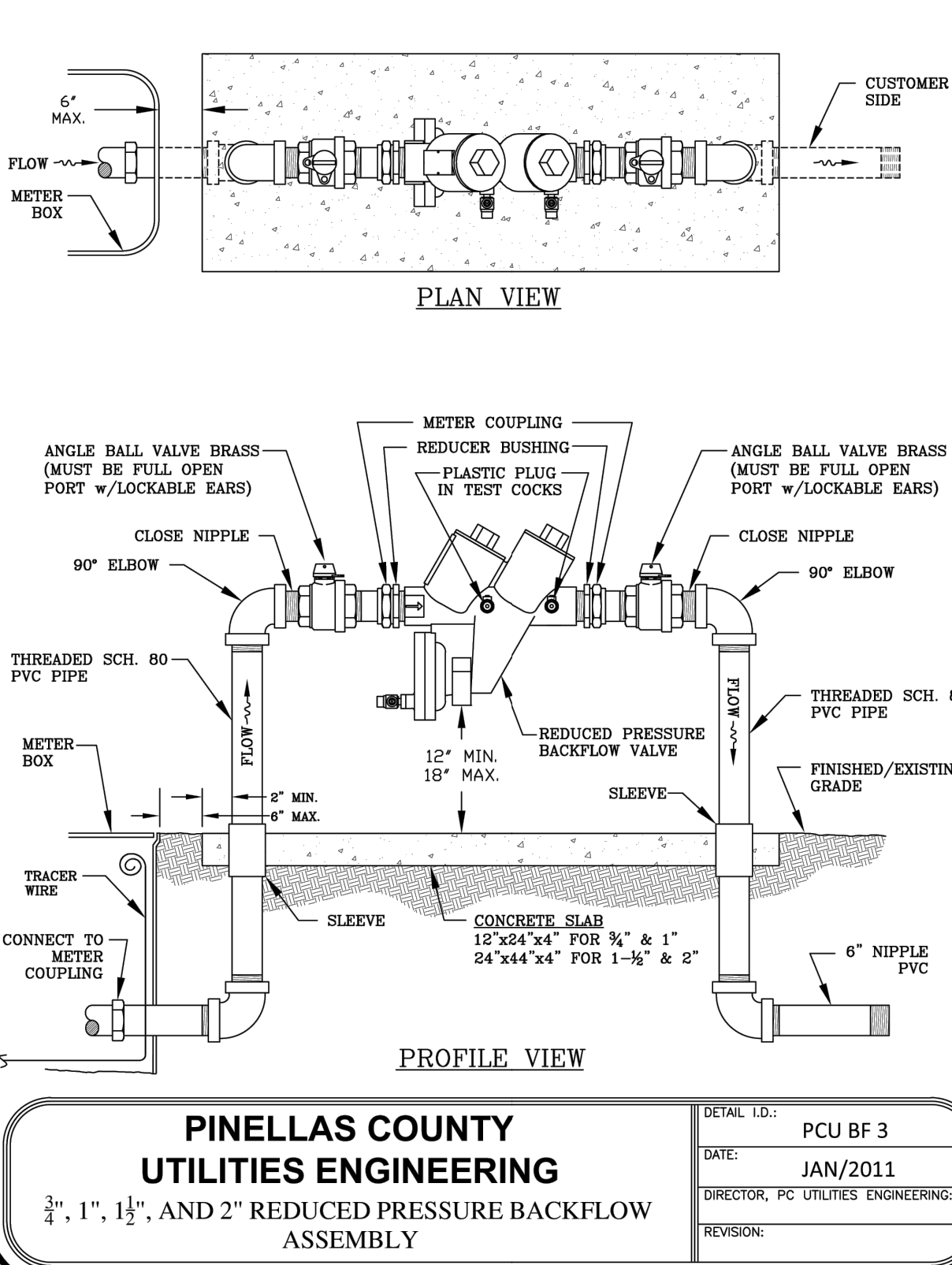
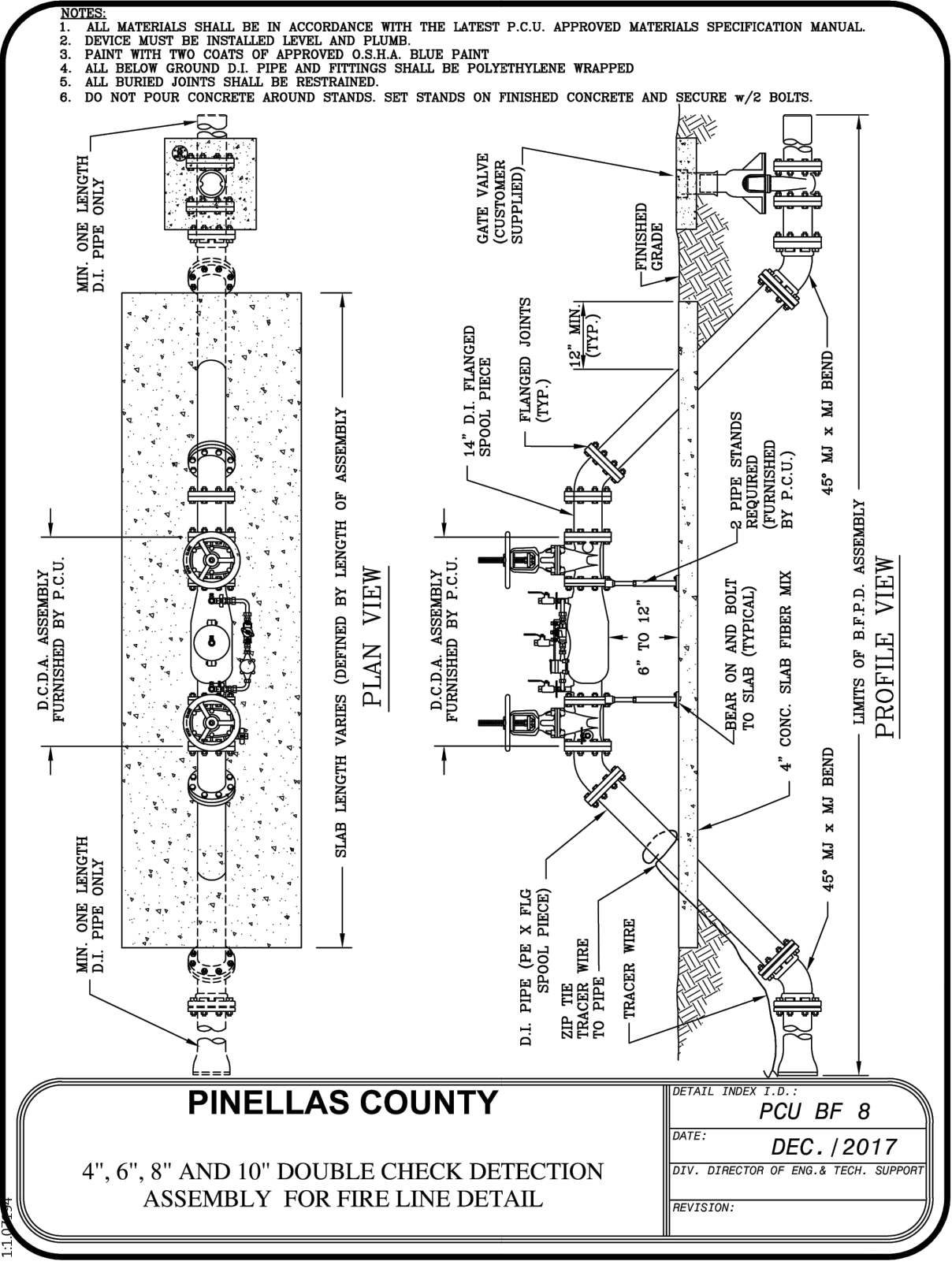
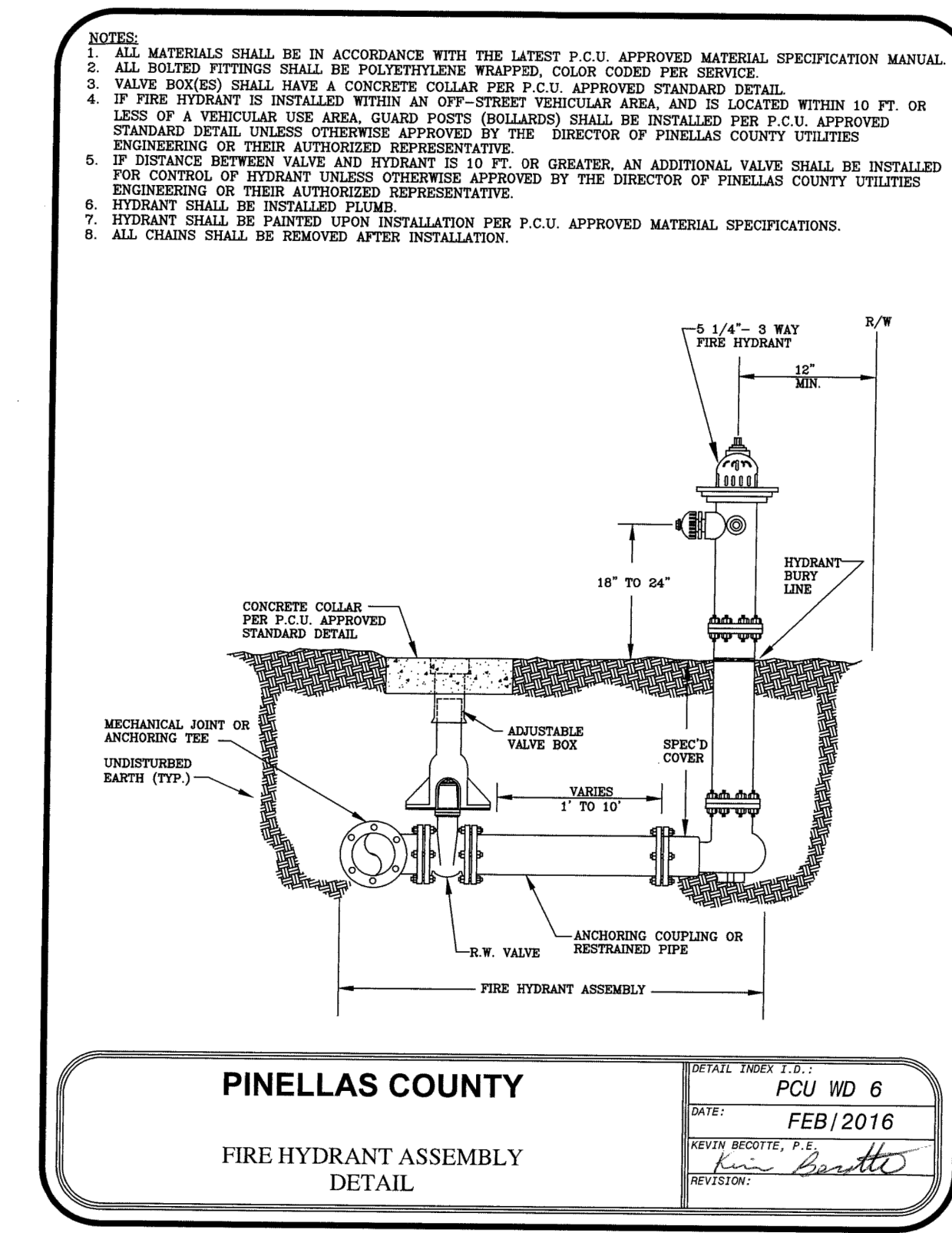
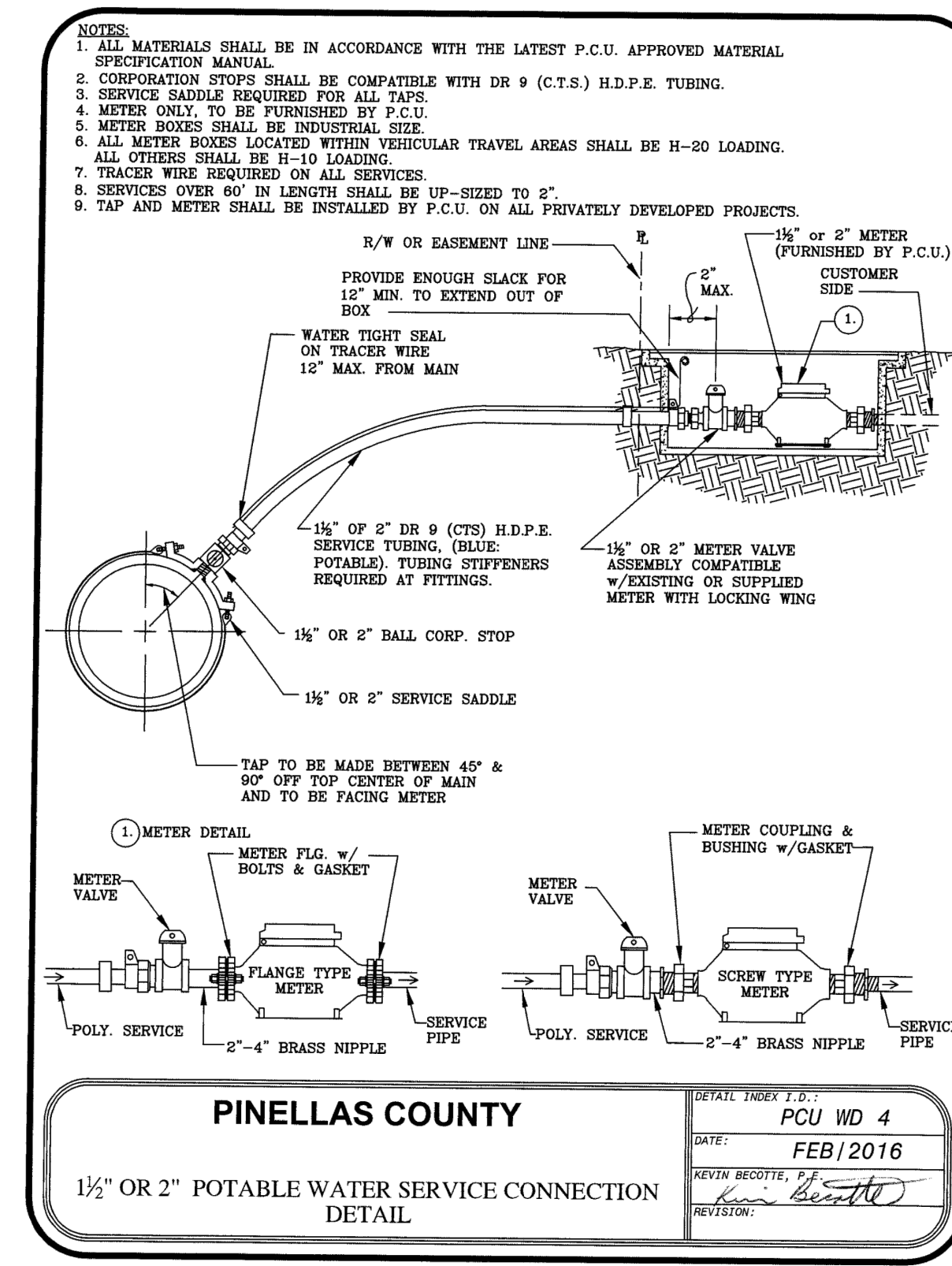
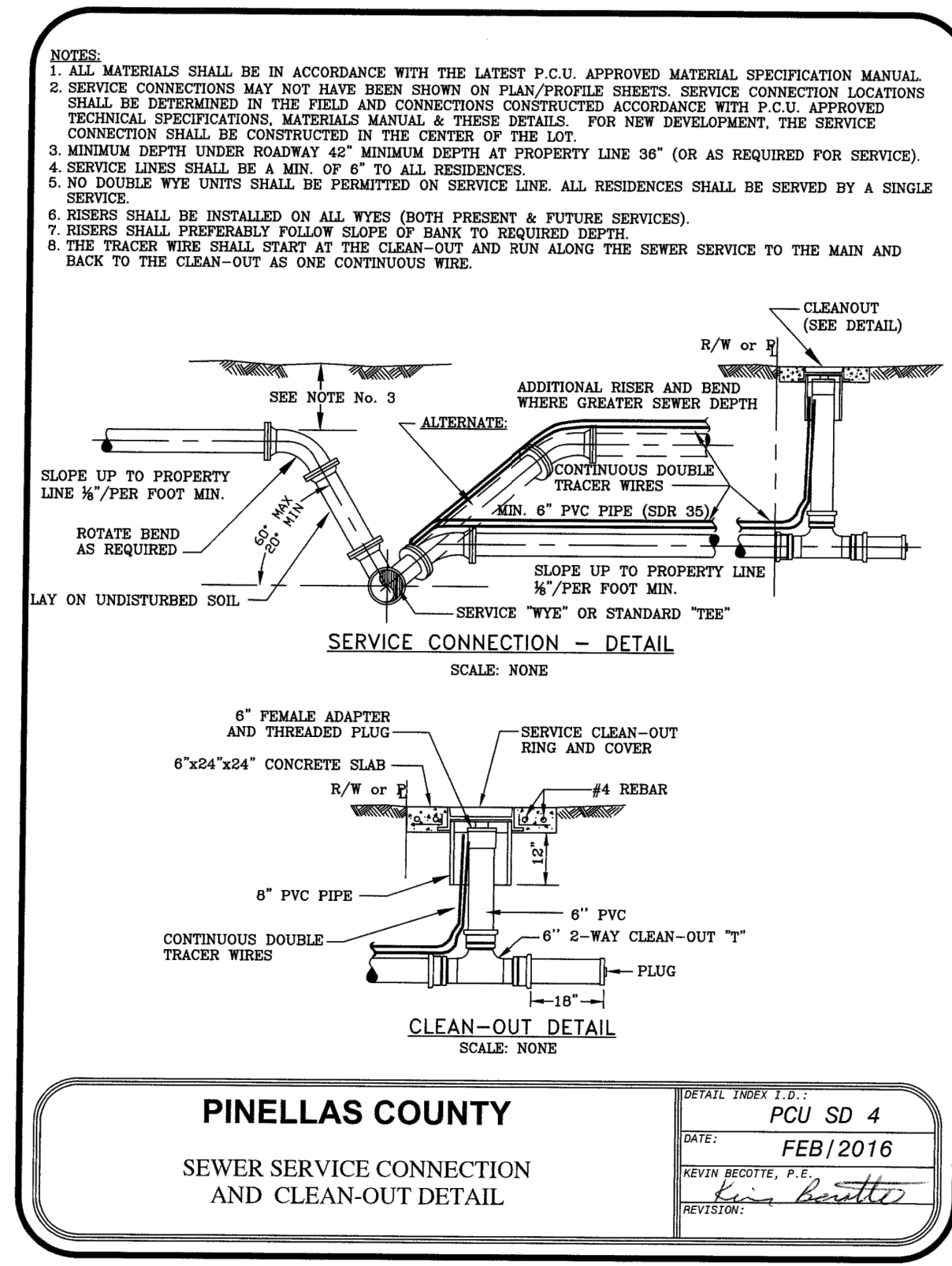
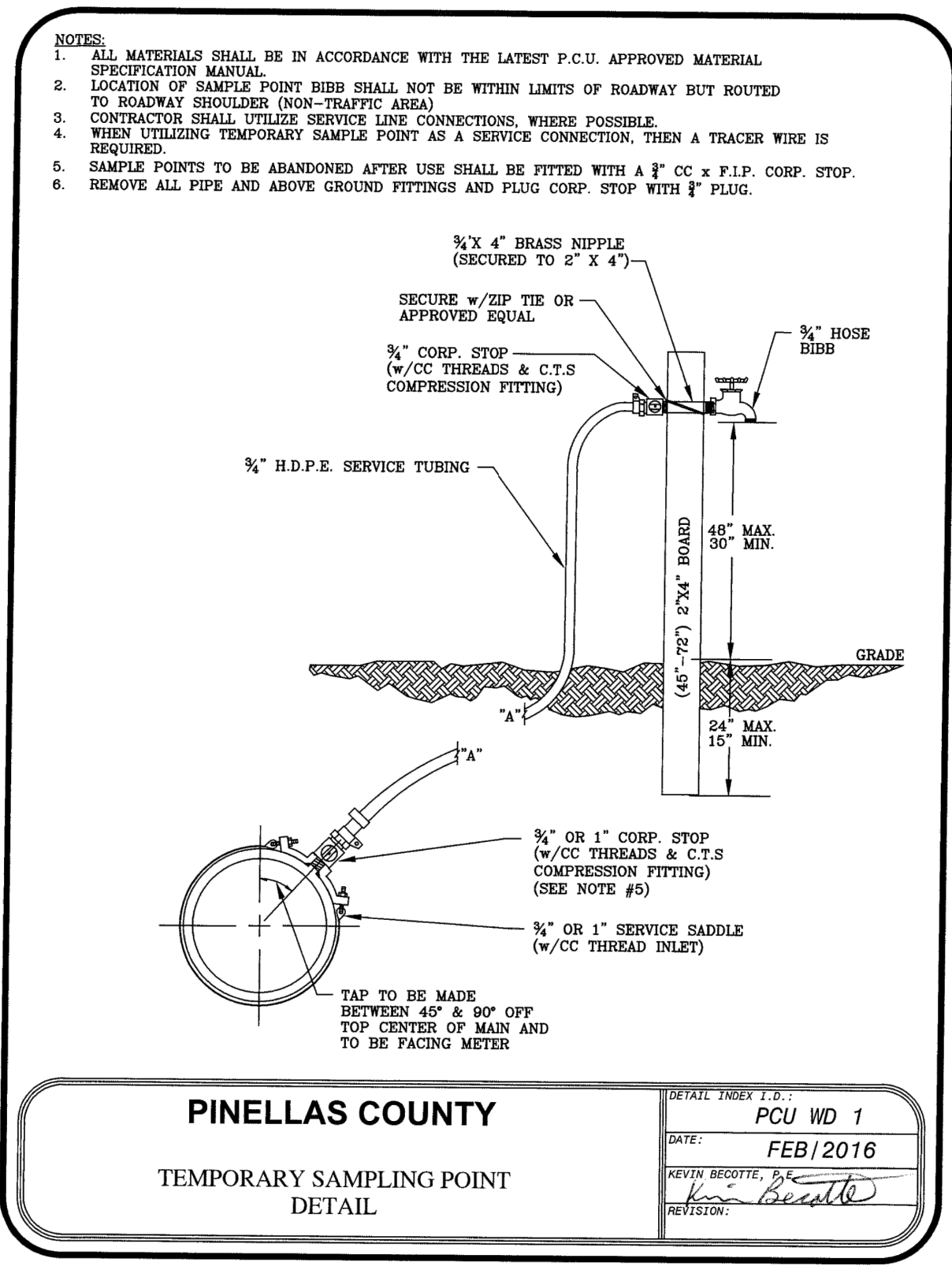
DATE: 08/17/23

22-065

**C5**



|  |  |  |  |  |   |   |
|--|--|--|--|--|---|---|
| DESIGNED: SPC<br>DRAWN: MKC<br>CHECKED: SPC<br>QC: | <b>Gulf Coast Consulting, Inc.</b><br>Land Development Consulting<br>ENGINEERING TRANSPORTATION PLANNING PERMITTING<br>13825 ICOT BLVD., SUITE 605<br>CLEARWATER, FLORIDA 33760<br>Phone: (727) 524-1818 Fax: (727) 524-6090<br>WWW.GULFCOASTCONSULTINGINC.COM | <b>PREPARED FOR:</b><br><b>BOARDWALK PLACE PROPERTY LLC</b><br>410 150TH AVENUE, SUITE H<br>MADEIRA BEACH, FL 33708<br>PHONE: 727-367-3000 | <b>SHEET DESCRIPTION:</b><br><b>DONS DOCK - JOHNS PASS</b><br>SITE DEVELOPMENT PLAN - 2ND & 3RD FLOORS | SEAN P. CASHEN<br>STATE OF FLORIDA<br>PROFESSIONAL ENGINEER<br>LICENSE NO. 42505<br>THIS ITEM HAS BEEN ELECTRONICALLY<br>SIGNED AND SEALED BY SEAN P. CASHEN,<br>ON THE DATE INDICATED HERE USING A SHA<br>AUTHENTICATION CODE<br>NOT VALID UNLESS SIGNED & EMBOSSED<br>BY A REGISTERED ENGINEER<br>GULF COAST CONSULTING, INC.<br>CERTIFICATE OF AUTHORIZATION No. 9774 | THESE PLANS MAY NOT BE COPIED OR<br>MODIFIED WITHOUT WRITTEN PERMISSION<br>FROM GULF COAST CONSULTING, INC.<br>22-065<br>DATE: 08/17/23 | <h1 style="font-size: 48px; margin: 0;">C6</h1> |
|--|--|--|--|--|---|---|



DESIGNED: SPC  
DRAWN: MKC  
CHECKED: SPC  
QC:

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PREPARED FOR:  
**BOARDWALK PLACE PROPERTY LLC**  
410 150TH AVENUE, SUITE H  
MADEIRA BEACH, FL 33708  
PHONE: 727-367-3000

SHEET DESCRIPTION:  
**DONS DOCK - JOHNS PASS**  
CONSTRUCTION DETAILS

| NO. | DATE | REVISIONS | APP'D BY |
|-----|------|-----------|----------|
|     |      |           |          |
|     |      |           |          |
|     |      |           |          |

SEAN P. CASHEN  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
LICENSE NO. 42505

THIS ITEM HAS BEEN ELECTRONICALLY  
SIGNED AND SEALED BY SEAN P. CASHEN,  
ON THE DATE INDICATED HERE USING A SHA  
AUTHENTICATION CODE

PRINTED COPIES OF THIS DOCUMENT ARE  
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THE SHA AUTHENTICATION CODE MUST BE  
VERIFIED ON ANY ELECTRONIC COPIES.

SEAN P. CASHEN, P.E. #42505  
NOT VALID UNLESS SIGNED & EMBOSSED  
BY A REGISTERED ENGINEER  
GULF COAST CONSULTING, INC.  
CERTIFICATE OF AUTHORIZATION No. 9774

DATE: **08/17/23**

NO. **22-065**

SHEET **C7**

**NOTES:**

- MILLING AND RESURFACING LIMITS: 3'-0" FOR RESIDENTIAL ROADS, 25'-0" FOR ALL OTHER TYPES OF ROADS. SHALL INCLUDE ENTIRE LANE WIDTH.
- BACKFILL FOR TRENCH SHALL BE PLACED IN 6" COMPACTED LAYERS TO 100% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99. (EXCAVABLE FLOWABLE FILL OPTION IS SUBJECT TO COUNTY ENGINEER'S APPROVAL). TEST REPORTS ARE REQUIRED AND SHALL BE SUBMITTED TO PINELLAS COUNTY.
- BASE MATERIAL SHALL BE LIME ROCK OR CRUSHED CONCRETE (MIN. 100) AND SHALL BE PLACED IN 6" COMPACTED LAYERS TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-190 (MODIFIED) (TEST REPORTS ARE REQUIRED AND SHALL BE SUBMITTED TO PINELLAS COUNTY).
- AS AN ALTERNATIVE TO COMPACTED BASE AND IN WET AREAS FULL-LIFT ASPHALTIC CONCRETE, FINE TRAFFIC LEVEL, C TYPES SP-9.5 OR 12.5, SHALL BE PLACED IN 2" COMPACTED LAYERS WITH A MINIMUM THICKNESS EQUAL TO THE EXISTING BASE (5" MIN.).
- ASPHALTIC CONCRETE PAVEMENT JOINTS SHALL BE SAW-CUT AND ALL SURFACES TACK COATED.
- ASPHALT SURFACE SHALL BE CONSISTENT WITH EXISTING GRADE, IN ACCORDANCE WITH PINELLAS COUNTY SPECIFICATIONS. THE FOLLOWING ROADWAY CLASSIFICATION TYPE/THICKNESS ARE REQUIRED: ARTERIAL-3" MIN. TYPE SP-12.5 FINE TRAFFIC LEVEL "C", COLLECTOR-2" MIN. TYPE SP-12.5 FINE TRAFFIC LEVEL "C", RESIDENTIAL-1 1/2" MIN. TYPE SP-9.5 TRAFFIC LEVEL "C" (TEST REPORTS ARE REQUIRED AND SHALL BE SUBMITTED TO PINELLAS COUNTY).
- OVERLAY OF CONSTRUCTION SCARS TO PAVEMENT AND TRENCH SHALL BE REQUIRED AS DIRECTED BY THE COUNTY ENGINEER.
- EXCAVATION SHALL COMPLY WITH THE TRENCH SAFETY ACT REQUIREMENTS.
- INSTALL DRY COMPACTABLE MATERIAL AROUND THE PIPE.
- ALL MATERIAL, WORK AND TESTING SHALL MEET PINELLAS COUNTY STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL RESTORE PAVEMENT TO MATCH THE GRADES THAT EXISTED PRIOR TO CONSTRUCTION. ANY ADDITIONAL SURVEY NECESSARY TO ENSURE THAT THIS REQUIREMENT IS MET SHALL BE PERFORMED AT THE CONTRACTOR'S EXPENSE.

**PINELLAS COUNTY**  
PAVEMENT CUTS, EXCAVATION AND RESTORATION

DETAIL INDEX T.D.: 1291  
DATE: FEB/2016  
DESIGNER: KEVIN BELOTTE, P.E.  
REVISION: *Kevin Belette*

**NOTES:**

- POTABLE WATER MAIN SHOULD CROSS ABOVE OTHER PIPE WHEN POTABLE WATER MAIN IS REQUIRED TO CROSS UNDER OTHER PIPE. MINIMUM SEPARATION IS 12 INCHES.
- RECLAIMED WATER RECLAIMED UNDER DUCT SHALL BE INSTALLED UNDER OTHER PIPE.
- RECLAIMED WATER RECLAIMED UNDER DUCT SHALL BE INSTALLED UNDER OTHER PIPE.
- RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. SPECIFICATIONS MANUALES.

**PINELLAS COUNTY**  
MAIN CLEARANCES DETAIL

DETAIL INDEX T.D.: PCU GD 2  
DATE: FEB/2016  
DESIGNER: KEVIN BELOTTE, P.E.  
REVISION: *Kevin Belette*

**NOTES:**

- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.
- IF STREET IS A SHORT CUL-DE-SAC, LOCATOR WIRE IS TO RUN FROM MAIN VALVE TO BLOW-OFF VALVE BOX.

**PINELLAS COUNTY**  
TRACER WIRE LAYOUT DETAIL

DETAIL INDEX T.D.: PCU GD 3  
DATE: FEB/2016  
DESIGNER: KEVIN BELOTTE, P.E.  
REVISION: *Kevin Belette*

**NOTES:**

- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.
- USE 2-#14 GAUGE (MINIMUM), SOLID CORE COPPER WIRE WITH COLOR CODED INSULATION PER SERVICE.
- THERE SHALL BE SUFFICIENT SLACK IN TRACER WIRE TO EXTEND A MIN. OF 12" ABOVE VALVE BOX.
- WIRE IS TO CONTINUE THROUGH TEES ON MAIN LINE WHERE NO VALVES EXIST.
- ATTACH WIRE TO TOP CENTER LINE OF MAIN USING DUCT TAPE OR APPROVED EQUAL @ 5'-0" INTERVALS.
- DUMMY BOXES ARE TO CONSIST OF A TOP SECTION OF A VALVE BOX ASSEMBLY ENCASED IN A CONCRETE VALVE BOX COLLAR PER P.C.U. APPROVED STANDARD DETAIL.

**PINELLAS COUNTY**  
TRACER WIRE INSTALLATION DETAIL

DETAIL INDEX T.D.: PCU GD 3a  
DATE: FEB/2016  
DESIGNER: KEVIN BELOTTE, P.E.  
REVISION: *Kevin Belette*

**NOTES:**

- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.
- FILTER FABRIC REQUIRED ON VALVES WHEN PIPE LINE HAS 5' OR MORE OF COVER. VALVE KEY EXTENSION REQUIRED ON VALVES WITH OPERATOR NUT OVER 2' DEEP. COLOR CODED POLY WRAP REQUIRED ON ALL BURIED VALVES AND FITTINGS.

**PINELLAS COUNTY**  
VALVE BOX/TRACER WIRE INSTALLION DETAIL

DETAIL INDEX T.D.: PCU GD 4  
DATE: FEB/2016  
DESIGNER: KEVIN BELOTTE, P.E.  
REVISION: *Kevin Belette*

**NOTES:**

- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION MANUAL.
- IF VALVE IS LOCATED WITHIN A SIDEWALK CONCRETE COLLAR MAY BE ELIMINATED AND DISK SET FLUSH DIRECTLY IN SIDEWALK.
- BRONZE DISK REQUIRED FOR ALL VALVES, AND DUMMY BOXES.
- THE 24"x24"x6" THICK CONCRETE VALVE BOX COLLAR CAN BE INSTALLED BELOW THE FRICTION COARSE AND THE BRONZE DISK ANCHORED IN A NEAR-BY CURB OR SIDEWALK.
- ALL VALVES/BOXES SHALL BE LOCATED BY MEANS OF A PERPENDICULAR 6"x2" BLUE STRIPE ACROSS THE CURB. THE DISTANCE FROM THE BACK OF THE CURB TO THE VALVE SHALL BE STENCILED ON THE CURB WITH NUMBERS FOUR INCHES HIGH, PAINTED BLUE, BY THE CONTRACTOR.

**PINELLAS COUNTY**  
CONCRETE VALVE BOX AND COLLAR DETAIL

DETAIL INDEX T.D.: PCU GD 5  
DATE: FEB/2016  
DESIGNER: KEVIN BELOTTE, P.E.  
REVISION: *Kevin Belette*

**NOTES:**

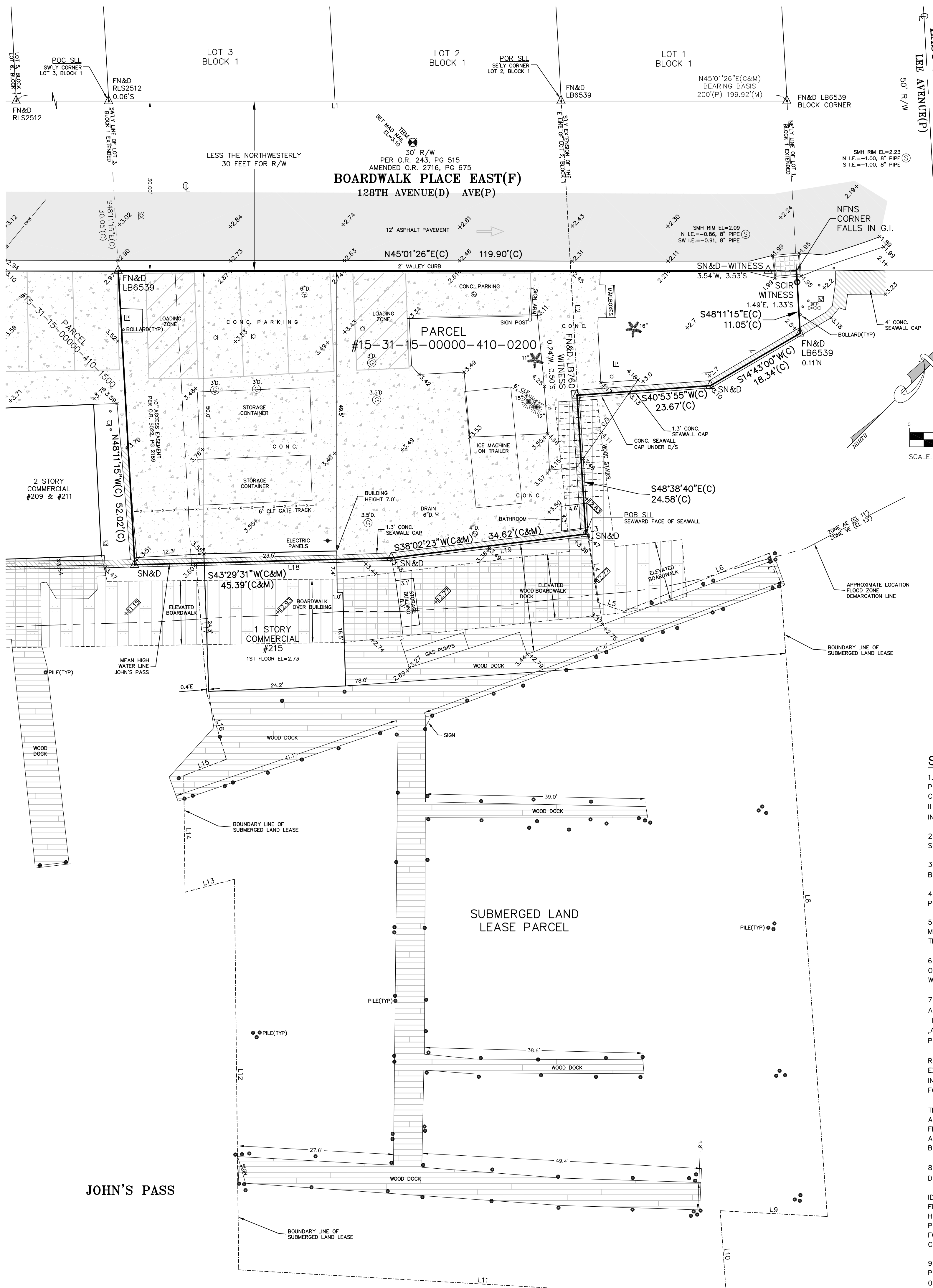
- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST P.C.U. APPROVED MATERIAL SPECIFICATION.
- MANUAL THIS TABLE SHALL BE UTILIZED FOR ALL PRESSURE MAIN INSTALLATIONS. ALL FITTINGS SHALL BE RESTRAINED TO THE LENGTHS INDICATED, AT A MINIMUM.
- THIS TABLE WAS DEVELOPED USING THE FOLLOWING ASSUMPTIONS:
  - D.I. PIPE WITH POLY WRAP
  - SAFETY FACTOR OF 1.5 TO 1
  - TEST PRESSURE OF 150 P.S.I.
  - SOIL TYPE = S.M.
  - TYPE 3 TRENCH
  - DEPTH OF COVER = 2.5' UP TO 18" AND 3' FOR 20" AND ABOVE.
- WHEN A TEE HAS A VALVE ON THE RUN, THE BRANCH AND THE RUNS SHALL BE RESTRAINED AS A 90° BEND FOR THE SIZE OF THE PIPE.
- ALL BENDS, TEES, AND VALVES SHALL BE RESTRAINED ON EACH SIDE OF THE FITTING.
- ALL RESTRAINED PIPE LENGTHS ARE IN FEET.
- "\*" REPRESENTS THE RESTRAINED JOINTS AT THE FITTINGS.
- HPPE TRANSITION VALVE IS FOR STRAIGHT TIE-INS. IF A BEND IS USED, THE VALVE FOR THE BEND MUST BE ADDED.
- LINE VALVES SHALL BE RESTRAINED UPSTREAM AND DOWNSTREAM AS A DEAD END.

**PINELLAS COUNTY**  
PRESSURE MAIN RESTRAINED JOINT DETAIL

DETAIL INDEX T.D.: PCU GD 11  
DATE: FEB/2016  
DESIGNER: KEVIN BELOTTE, P.E.  
REVISION: *Kevin Belette*

| REDUCERS | LARGER PIPE |          |      |
|----------|-------------|----------|------|
|          | LG. SIZE    | SM. SIZE |      |
| 4"       | 2"          | 17"      | 24"  |
| 6"       | 4"          | 50"      | 35"  |
| 8"       | 4"          | 91"      | 64"  |
|          | 6"          | 53"      | 37"  |
|          | 4"          | 123"     | 87"  |
| 10"      | 6"          | 93"      | 66"  |
|          | 8"          | 51"      | 36"  |
|          | 4"          | 154"     | 108" |
| 12"      | 6"          | 179"     | 91"  |
|          | 8"          | 94"      | 64"  |
|          | 10"         | 52"      | 37"  |
|          | 6"          | 160"     | 113" |
|          | 8"          | 131"     | 92"  |
| 14"      | 6"          | 95"      | 67"  |
|          | 12"         | 52"      | 36"  |
|          | 6"          | 190"     | 134" |
| 16"      | 8"          | 165"     | 116" |
|          | 10"         | 134"     | 94"  |
|          | 12"         | 96"      | 67"  |
| 18"      | 8"          | 198"     | 137" |
|          | 10"         | 169"     | 118" |
|          | 12"         | 135"     | 95"  |
|          | 14"         | 96"      | 67"  |
| 20"      | 10"         | 217"     | 141" |
|          | 12"         | 147"     | 103" |
|          | 14"         | 117"     | 82"  |
|          | 16"         | 82"      | 58"  |
| 24"      | 12"         | 241"     | 141" |
|          | 14"         | 149"     | 104" |
|          | 16"         | 117"     | 82"  |
|          | 18"         | 82"      | 57"  |
| 30"      | 16"         | 278"     | 180" |
|          | 20"         | 178"     | 125" |
|          | 24"         | 115"     | 80"  |
|          | 28"         | 75"      | 50"  |
|          | 30"         | 207"     | 144" |
|          | 36"         | 114"     | 80"  |

| PIPE SIZE | FITTINGS |             |     |     |         | DEAD END |
|-----------|----------|-------------|-----|-----|---------|----------|
|           | TEE      | BRANCH ONLY | 90° | 45° | 22 1/2° |          |
| 2"        | F        | 40          | 17  | F   | F       | 40       |
| 4"        | 19       | 49          | 20  | 10  | 5       | 49       |
| 6"        | 33       | 69          | 28  | 14  | 7       | 69       |
| 8"        | 58       | 88          | 37  | 18  | 9       | 88       |
| 10"       | 76       | 107         | 44  | 21  | 11      | 107      |
| 12"       | 93       | 125         | 52  | 25  | 12      | 125      |
| 14"       | 110      | 142         | 59  | 28  | 14      | 142      |
| 16"       | 127      | 159         | 66  | 32  | 16      | 159      |
| 18"       | 143      | 175         | 73  | 35  | 17      | 175      |
| 20"       | 132      | 164         | 68  | 33  | 16      | 164      |
| 24"       | 159      | 192         | 79  | 38  | 19      | 192      |
| 30"       | 195      | 229         | 95  | 46  | 23      | 229      |
| 36"       | 230      | 264         | 109 | 53  | 26      | 264      |



TREE LEGEND, ABBREVIATION LEGEND, SYMBOL LEGEND. Includes symbols for Palm, Norfolk Pine, Backflow Preventor, etc.



SURVEY NOTES: 1. THIS SURVEY WAS PERFORMED WITH BENEFIT OF A TITLE COMMITMENT PREPARED BY STEWART TITLE, COMMITMENT NO.: AB22-108105...

ADDRESS: 215 BOARDWALK PLACE EAST, MADEIRA BEACH, FLORIDA. LEGAL DESCRIPTION: THAT PORTION OF LAND LYING SOUTHEASTERLY OF LOTS 1, 2 AND 3, BLOCK 1, MITCHELL'S BEACH...

SCHEDULE B PART II NOTES: 2c. ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES, OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE SURVEY AND INSPECTION OF THE PREMISES. SHOWN HEREON...

SLL LINE TABLE with columns: LINE, BEARING, LENGTH. Lists lines L1(C) through L19(C) with their respective bearings and lengths.

ALTA/NSPS TABLE A NOTES: ITEM 1-3 SHOWN HEREON 4.766 SQUARE FEET OR 0.109 ACRES, MORE OR LESS SHOWN HEREON...

CERTIFICATION: TO: 1. BOARDWALK PLACE PROPERTIES, LLC 2. LAKE MICHIGAN CREDIT UNION 3. STEWART TITLE GUARANTY COMPANY 4. PARAMOUNT TITLE II

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS...

Geodata Services Inc. logo and contact information: 1166 KAPP DRIVE, CLEARWATER, FL 33765, PHONE: (727) 447-1763. Includes a signature line for Dennis J. Eyre, P.L.S., F.L.A. REG. NO. 2865.



LOCAL GOVERNMENT VARIANCES, SPECIAL EXCEPTION USES  
AND APPEALS OF ADMINISTRATIVE DECISIONS  
CITY OF MADEIRA BEACH, FLORIDA  
Application No. 2023-02

William Karns Enterprises  
for the property located at  
215 Boardwalk Place E.  
Madeira Beach, Florida 33708,

Applicant.

\_\_\_\_\_ /

**ORDER GRANTING VARIANCE**

Variance to reduce the 15'-0" Design Flood Elevation (DFE) to 12'-0" DFE.

Special Code Provisions: Sec. 94-75. - Considerations for issuance of variances., Sec. 94-76. - Conditions for issuance of variances. The property address is 215 Boardwalk Place East, Madeira Beach, FL 33708, and is identified as:

PARCEL IDENTIFICATION NUMBER: 15-31-15-00000-410-0200

Special Magistrate, Bart R. Valdes, heard testimony and reviewed all evidence received at the Special Magistrate hearing held on July 31, 2023, and, based on the evidence, the testimony of Marcy Forbets, Community Development Engineer, Andrew Morris, Long Range Planner, Scott Brainard, and Ed Lang, Architect, as well as the favorable public comment from Guitano Crittili and Stephanie Berry, and recommendations of City Staff, enters the following findings of fact, conclusion of law and order.

**FINDINGS OF FACT**

1. The application of William Karns Enterprises ("the applicant") presents the issue involving a variance from the requirements of the above stated Madeira Beach Code of Ordinances, requesting a variance to reduce the 15'-0" Design Flood Elevation (DFE) to 12'-0" DFE.

2. The applicant needs a variance to allow for the construction of a commercial structure to be built that would have level access from the structure to the Johns Pass Boardwalk in order to comply with the requirements of the Code of Ordinances of the City of Madeira Beach (the "Code").

3. Special conditions and circumstances exist, as stated on the record, and in the Staff report to justify the variance.

4. The building will be constructed in accordance with current Florida Building Codes (FBC), meeting all requirements for structures located in a Coastal A zone, including but not limited to deep foundation installation, stringent connection points and fasteners and structural design such that extreme lateral loads are considered. As such there is limited danger associated with loose materials or building debris.

5. The deep foundation design considers scouring caused from erosion around pile foundations during storm events and as such is inherent to the design. In addition, all components constructed below the DFE will be dry floodproofed and a certification as to that fact will be provided by the design engineer. Therefore, there is no anticipated increase in danger to the building, occupants, or surrounding structures due to flooding or erosion.

6. The building below DFE will be dry floodproofed and any non-structural components will be designed to either resist shifting and floatation or to be removed from the site during an approaching storm. The anticipated design and construction techniques will be such that the building will not negatively impact current or future owners.

7. The proposed restaurant will improve upon what is currently located on this parcel and provide another route for ADA accessibility via the restaurant elevator. Promoting business redevelopment in this area while maintaining the unique characteristic of Johns Pass Village is critical given all the businesses require access to the boardwalk as a fixed point providing pedestrian traffic to their businesses.

8. The location of the site is unique and offers an opportunity to provide new construction along the boardwalk and improve on what is currently constructed on the parcel. Another location would not provide the same opportunity as the one here.

9. The proposed development is compatible with both current uses and anticipated future use of all businesses along the boardwalk.

10. Madeira Beach Comprehensive Plan Policy 4.1.9.6 and Policy 4.1.9.8 reference the importance of John's Pass Village for tourism and commerce and that redevelopment needs to fit within the overall theme of the area. The proposed development would align with the redevelopment policies for John's Pass Village in the Madeira Beach Comprehensive Plan and fit within the established theme of the area. The proposed development will be more resilient compared to the existing structure on the property.

11. The structure will be accessed in the same manner as other businesses along the corridor via the one-way Boardwalk Place East.

12. The property is in the AE-11, Coastal A high hazard area and has been mapped as such to take into account expected heights, velocity, duration, etc., associated with storm events. This structure will be built to higher standards than the surrounding buildings, which are much older and were constructed under different building requirements. All necessary studies and reports utilized in the final design of the building will be reviewed by City Staff to ensure the impacts from all storm effects are considered.

13. There is no additional anticipated financial hardship regarding government services associated with the proposed restaurant given the current parcel usage and in consideration that all utilities will be replaced with current, code compliant construction techniques.

14. The applicant has submitted sufficient information showing the unique challenges of the site as related to the necessity of accessing the fixed elevation of the boardwalk as compared to the elevation of the “business” level.

15. Granting of this variance will not result in any negative impact to the property or adjacent properties and will instead help to further options for more resilient construction in John’s Pass Village while maintaining the unique boardwalk, pedestrian friendly build out that currently exists. The designer has spent considerable time reviewing options for meeting FEMA criteria while maintaining access to the boardwalk and has determined this is the option of least variance that will still allow boardwalk access.

16. The applicant is aware of and has acknowledged intent to comply with all recording requirements.

17. The applicant is not requesting to build below the required BFE but is instead requesting relief from the additional requirement of the 4-foot freeboard which is unique to the Madeira Beach LDR. The FBC requires 1-foot of freeboard which the applicant will adhere to.

### CONCLUSION OF LAW

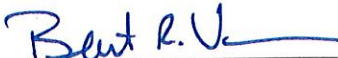
1. Section 2-507 of the Madeira Beach Code of Ordinances authorizes variances from the terms of the city land development regulations as not being contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of the land development regulations will result in unnecessary and undue hardship.

2. The applicant has the burden to establish the requirements for the variance. Here, the applicant meets the criteria for the variance as set forth in Section 2-507 of the Madeira Beach Code of Ordinances.

### ORDER

It is ADJUDGED that the application is GRANTED, allowing a variance from the zoning requirements of the Madeira Beach Land Development Regulations, to reduce the 15’-0” Design Flood Elevation (DFE) to 12’-0” DFE.

DONE AND ORDERED on August 7, 2023.

  
\_\_\_\_\_  
Bart R. Valdes  
Special Magistrate

Copies furnished to:

Tom Trask, City Attorney

Clara VanBlargan, City of Madeira Beach

William Karns Enterprises  
215 Boardwalk Place E.  
Madeira Beach, Florida 33708

William Karns Enterprises  
101 150<sup>th</sup> Ave.  
Madeira Beach, Florida 33708

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# NOTICE OF NEIGHBORHOOD INFORMATION MEETING

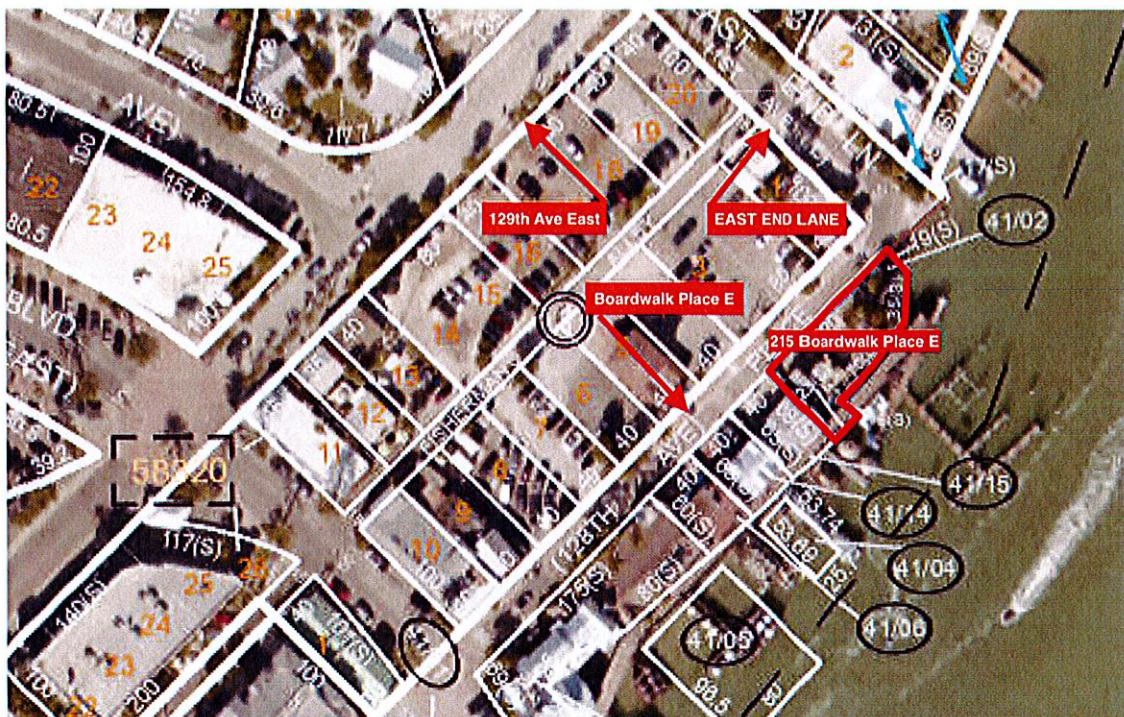
Item 5A.

**WHAT:** A neighborhood meeting will be held regarding the Site Plan Application submitted by Boardwalk Place Properties LLC to The City of Madeira Beach.

**WHEN/WHERE:** **Thursday, February 1<sup>st</sup>, 2024**  
6:00 pm EST  
Madeira Beach City Centre Room  
300 Municipal Drive  
Madeira Beach, FL 33708

Boardwalk Properties LLC has filed an application for site plan approval with The City of Madeira Beach relating to the property located at 215 Boardwalk Place East, Madeira Beach, FL 33708. The property is in Johns Pass Village along the southeast side of Boardwalk Place East. At the bottom of this notice is a sketch of the property that is included in the application.

There will be a neighborhood information meeting on February 1<sup>st</sup>, 2024 for the purpose of providing information about and explaining the proposed site plan application. Again, the meeting will be held at Madeira Beach City Hall City Centre Room. The plans submitted will be provided to the attendees for review as well as a time for question/answers.



NGUYEN, SON  
HUYNH, HONG  
12801 EAST END LN  
MADEIRA BEACH, FL 33708-2785

FL INT IMP FUND TRE  
CRITELLI FAMILY LIVING TRUST  
8162 TERRACE GARDEN DR N UNIT 102  
ST PETERSBURG, FL 33709-1055

FL INT IMP FUND TRE  
C/O GARDNER PROPERTIES INC  
555 SE ST LUCIE BLVD  
STUART, FL 34996-1320

N J E PROPERTIES INC  
C/O HAMUY  
PO BOX 14433  
TALLAHASSEE, FL 32317-4433

N J E PROPERTIES INC  
C/O HAMUY  
PO BOX 14433  
TALLAHASSEE, FL 32317-4433

PERSHING ENTERPRISES LLC  
9226 143RD LN  
SEMINOLE, FL 33776-1959

CHOUINARD, BRENDA M  
303 129TH AVE E  
MADEIRA BEACH, FL 33708-2613

JPV HOTEL PROPERTY LLC  
101 150TH AVE  
ST PETERSBURG, FL 33708-2005

JPV HOTEL PROPERTY LLC  
101 150TH AVE  
ST PETERSBURG, FL 33708-2005

JPV HOTEL PROPERTY LLC  
101 150TH AVE  
ST PETERSBURG, FL 33708-2005

JPV HOTEL PROPERTY LLC  
101 150TH AVE  
ST PETERSBURG, FL 33708-2005

MAYNARD LEE PROPERTIES LLC  
413 CROSSWINDS DR  
PALM HARBOR, FL 34683-1306

JPV HOTEL PROPERTY LLC  
101 150TH AVE  
ST PETERSBURG, FL 33708-2005

JPV HOTEL PROPERTY LLC  
101 150TH AVE  
ST PETERSBURG, FL 33708-2005

PAIRODOCS LLC 310 SERIES  
5837 TEAL LN  
LONG GROVE, IL 60047-5067

JPV HOTEL PROPERTY LLC  
101 150TH AVE  
ST PETERSBURG, FL 33708-2005

FISHRUNNER LLC  
14041 E PARSLEY DR  
MADEIRA BEACH, FL 33708-2301

MERMAID HOLDINGS LLC  
12831 VILLAGE BLVD  
MADEIRA BEACH, FL 33708-2654

JPV HOTEL PROPERTY LLC  
101 150TH AVE  
ST PETERSBURG, FL 33708-2005

JPV HOTEL PROPERTY LLC  
101 150TH AVE  
ST PETERSBURG, FL 33708-2005

J W B M B HOLDINGS LLC  
429 BOCA CIEGA DR  
MADEIRA BEACH, FL 33708-2457

JPV HOTEL PROPERTY LLC  
101 150TH AVE  
ST PETERSBURG, FL 33708-2005

ESTATE BROTHERS LLC  
5837 TEAL LN  
LONG GROVE, IL 60047-5067

JPV HOTEL PROPERTY LLC  
101 150TH AVE  
ST PETERSBURG, FL 33708-2005

JPV HOTEL PROPERTY LLC  
101 150TH AVE  
ST PETERSBURG, FL 33708-2005

2DS HOLDINGS LLC  
12901 PELICAN LN  
MADEIRA BEACH, FL 33708-4600

MERMAID HOLDINGS LLC  
12831 VILLAGE BLVD  
MADEIRA BEACH, FL 33708-2654

CHOUINARD, BRENDA M  
303 129TH AVE E  
MADEIRA BEACH, FL 33708-2613

CHOUINARD, BRENDA M  
303 129TH AVE E  
MADEIRA BEACH, FL 33708-2613

JPV RESTAURANT PROPERTY LLC  
101 150TH AVE  
ST PETERSBURG, FL 33708-2005



CRITELLI FAMILY LIVING TRUST  
8162 TERRACE GARDEN DR N UNIT 102  
ST PETERSBURG, FL 33709-1055

Board of Commissioners  
City of Madeira Beach  
300 Municipal Drive  
Madeira Beach, FL 33708

U.S. POSTAGE PAID  
MADEIRA BEACH, FL  
JAN 17 2024  
AMOUNT  
**\$18.24**  
R23G4MT11771-5



# JPV HOTEL PROPERTY, LLC

101 150<sup>TH</sup> AVENUE  
MADEIRA BEACH, FL 33708  
(727) 367-3000

## PARKING AGREEMENT

PARKING AGREEMENT dated this 13<sup>th</sup> day of November, 2023, by and between JPV HOTEL PROPERTY, LLC, a Florida limited liability company (“JPVHP”), and BOARDWALK PLACE PROPERTIES, LLC, a Florida limited liability company (“BPP”).

### RECITALS

A. BPP is the owner of the real property located at 215 Boardwalk Place East, Madeira Beach, FL 33708 (the “BPP Property”), and it intends to construct a new building (the “New Building”) on the BPP Property.

B. JPVHP is the owner of real property on the north side of and across Boardwalk Place East from the BPP Property which is used as a public parking lot (the “Parking Lot”).

IN CONSIERATION of the mutual covenants contained herein, the parties agree as follows:

1. Upon completion of construction of the New Building, JPVHP shall designate Fourteen (14) parking spaces within the Parking Lot for the use of the BPP, its successors and assigns, and its and their members, officers, employees, tenants, subtenants, contractors, agents, representatives, and invitees (the “BPP Parties”), in conjunction with the use of the BPP Property. For the purposes of this Agreement, the issuance of a Certificate of Occupancy by the City of Madeira Beach shall constitute completion of construction. The location of the actual spaces designated shall be mutually agreed by the parties.

2. The use of the designated parking spaces shall be under and in accordance with the same rules and regulations as for the use of the rest of parking spaces in the Parking Lot, including JPVHP’s right to charge a fee for the use of the designated spaces to the persons using the spaces.

3. JPVHP shall be responsible for the maintenance and repair of the designated parking spaces and shall maintain such insurance covering the designated parking spaces with limits as it may be determined from time to time in its sole discretion. As long as BPP shall use the designated parking spaces, BPP shall at its expense maintain insurance covering property damage and personal injury within the designated parking spaces with limits of no less than \$1,000,000 per person and \$2,000,000 per occurrence, and such insurance shall name JPVHP as an additional insured party with respect to the designated parking spaces.

**JPV HOTEL PROPERTY, LLC**

By:

  
William Karns, Manager

**BOARDWALK PLACE PROPERTIES, LLC**

By:

  
William Karns, Manager



**NOTICE OF NEIGHBORHOOD INFORMATION MEETING**

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300 Municipal Drive  
Madeira Beach, FL 33708

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## Memorandum

**Meeting Details:** Planning Commission, February 05, 2024

**Prepared For:** Planning Commission

**From:** Community Development Department

**Subject:** Ordinance 2024-02 Open Accessory Structures

**Background:** Madeira Beach Land Development Regulations (LDRs) does not define “shade structure” or “open accessory structure”, nor any structure that would be directly comparable. While the Madeira Beach Code of Ordinances has definitions for “Structure”, broken into subcategories of Major, Minor, Non-habitable Major and Coastal or Shore Protection, only the Minor definition makes mention of a gazebo. The Code of Ordinances references traditional Chickee huts stating they are not regulated by the Florida Building Code but must meet Planning and Zoning requirements.

The Board of Commissioners directed city staff to research and amend the Code to allow for shade structures (what is also referenced as “open accessory structures”) that would be different from enclosed accessory structures (what one would typically think of as a shed).

**Discussion:** The proposed ordinance (attached) was reviewed and workshopped at multiple Planning Commission meetings as a discussion item. The proposed ordinance incorporates all the discussions and amendments made at these meetings.

The ordinance creates multiple sections, which includes the applicability of division, definitions, building permits required, accessory structure maintenance, excluded from permitting, construction trailers, and outdoor kitchens. The final version allows for open accessory structures (e.g. tiki huts, gazebos) at a percentage of the total lot size (3.5 percent) in addition to the already allowed enclosed accessory structure. The amendments create setbacks for the open accessory structures considering the side yard setbacks for each Zoning District and structural elements of the seawall on lots on the water. In

the C-4 Zoning District staff were aware of issues arising from accessory structures that were required by federal and state regulations that conflicted with the current accessory structures section in the Code. Staff added language to address these concerns.

The Code does not address construction trailers, therefore, staff decided to create a new section to put in place regulations for construction trailers with specific time limitations, setbacks, and evacuation plans.

Staff discussed with the Planning Commission and FDEM (with FEMA considerations) the allowances of permanent outdoor kitchens and created a new section to allow and manage outdoor kitchens as staff realizes with the allowance of open accessory structures will most likely begin more outdoor kitchens.

**Recommendation(s):** Staff recommends approval of Ordinance 2024-02

**Fiscal Impact or Other:**

There is no anticipated fiscal impact, except for increased permit fees associated with permitting and inspections.

**Attachments:**

- Ordinance 2024-02



## ORDINANCE 2024-02

**AN ORDINANCE OF THE CITY OF MADEIRA BEACH, FLORIDA, AMENDING DIVISION 4 (ACCESSORY STRUCTURES) OF ARTICLE VI (SUPPLEMENTARY DISTRICT REGULATIONS) OF CHAPTER 110 (ZONING) OF THE CITY'S LAND DEVELOPMENT CODE TO PROVIDE FOR APPLICABILITY; TO PROVIDE DEFINITIONS; TO REQUIRE BUILDING PERMITS FOR ACCESSORY STRUCTURES AND PROVIDE FOR REGULATION OF CHICKEES; TO PROVIDE FOR MAINTENANCE OF ACCESSORY STRUCTURES; AMEND THE SETBACKS FOR REAR YARD ACCESSORY STRUCTURES ON LOTS ON WATER IN R-1 ZONING DISTRICT; AMEND THE SETBACKS FOR REAR YARD ACCESSORY STRUCTURES ON LOTS ON WATER IN R-2 ZONING DISTRICT; AMEND THE SETBACKS FOR ACCESSORY STRUCTURES IN C-4 ZONING DISTRICT AND ADD ALLOWANCES FOR FEDERAL AND STATE REGULATED STRUCTURES; ADD QUANTITY TO MAXIMUM SIZE OF ACCESSORY STRUCTURES IN R-1, R-2, AND R-3 ZONING DISTRICTS; AMEND THE MAXIMUM SIZE FOR ENCLOSED AND OPEN ACCESSORY STRUCTURES FOR SINGLE-FAMILY USE, DUPLEX AND MULTIFAMILY USE, AND TEMPORARY LODGING USE; ADD QUANTITY TO MAXIMUM SIZE OF ACCESSORY STRUCTURES IN C-1, C-2, C-3, AND C-4 ZONING DISTRICTS; ADD A SECTION TO ADDRESS CONSTRUCTION TRAILERS; ADD A SECTION TO ADDRESS OUTDOOR KITCHENS; PROVIDING FOR CONFLICT, SEVERABILITY AND CODIFICATION; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, City Staff has reviewed the current provisions of Division 4 (Accessory Structures) of Article VI (Supplementary District Regulations) of Chapter 110 (Zoning) of the Land Development Code of the City of Madeira Beach and recommends amending same; and

**WHEREAS**, the recommended changes were presented to and reviewed by the Planning Commission at a public hearing; and

**WHEREAS**, the Planning Commission has recommended approval of the proposed changes; and

**WHEREAS**, the recommendations of staff have been found meritorious by the Board of Commissioners; and

**WHEREAS**, the Board of Commissioners has received input from the public at two public hearings.

**NOW THEREFORE, BE IT ORDAINED BY THE BOARD OF COMMISSIONERS OF THE CITY OF MADEIRA BEACH, FLORIDA, AS FOLLOWS:**

**Section 1.** That Division 4 (Accessory Structures) of Article VI (Supplementary District Regulations) of Chapter 110 (Zoning) of the Land Development Code of the City of Madeira Beach, Florida, is hereby amended to read as follows:

**Sec. 110-471. ~~Building permits required.~~Applicability of Division.**

This division applies to all open and enclosed accessory structures that are not specifically exempt from this division.

**Sec. 110-472. Definitions**

The following terms and phrases used in this division have the following meanings.

Accessory Structure is a subordinate structure(s), the use of which is incidental to that of the principal structure and located on the same lot therewith.

Area of Open Accessory Structure means the square footage of the accessory structure including the roof overhang.

Enclosed Accessory Structure means a structure with walls on all sides (e.g. a shed for outdoor equipment) and a roof.

Open Accessory Structure means an accessory structure containing all open sides between posts (e.g. gazebo, tiki hut, or chickees) and a roof. Open accessory structures are measured for area and setbacks from the outermost point of any roof overhang.

Outdoor Kitchen may only contain counterspace, grill, sink, and miniature refrigerator.

Height is measured from the average grade at the base of the accessory structure.

**Sec. 110- 473. Building permits required.**

Building permits are required for the construction or placement of all accessory structures. Chickees constructed by the Miccosukee Tribe of Indians of Florida, or

the Seminole Tribe of Florida are exempt from the Florida Building Code, but must obtain a building permit for planning and zoning purposes. As used in this paragraph, the term "chickee" means an open-sided wooden hut that has a thatched roof of palm or palmetto or other traditional materials, and that does not incorporate any mechanical, electrical, plumbing, or other non-wood features.

**Sec. 110-474. Maintenance of accessory structures.**

After construction, all accessory structures must be maintained and remain substantially vertical to serve their function and aesthetic purposes. Structural integrity must be maintained to prevent the danger of destruction or flight during high winds.

**Sec. 110-475. Excluded from permitting.**

- (1) Outdoor storage containers not to exceed four feet long by four feet wide by three feet tall.
- (2) Removable sunshades provided that any pole is ten feet from any property line and the pole does not exceed six feet in height.

**Sec. 110-4726. R-1, single-family residential zones.**

Accessory structures may not be located in front yards in R-1, single-family residential zones.

- (1) *Lots not on water.* For lots not on water in R-1, single-family residential zones, accessory structures may be located in side or rear yards but must provide a minimum of 2½-foot setback to allow for vegetation control.
- (2) *Lots on water.* For lots on water in R-1, single-family residential zones, accessory structures may be located in side or rear yards. If the accessory structure is located in a side yard, a minimum of 2½-foot side setback must be provided. If the accessory structure is located in the rear yard, ~~the same rear setback as required for principal structures must be provided.~~ a minimum of a 7-foot side setback and 12-foot rear setback must be provided, so not to interfere with seawall tiebacks..

**Sec. 110-4737. R-2, low density multifamily residential zones.**

Accessory structures may not be located in front yards in R-2, low density multifamily residential zones.

- (1) *Lots not on water.* For lots not on water in R-2, low density multifamily residential zones, accessory structures may be located in side or rear yards but must provide a minimum of 2½-foot setback to allow for vegetation control.
- (2) *Lots on water.* For lots on water in R-2, low density multifamily residential zones, accessory structures may be located in side or rear yards. If the accessory

structure is located in a side yard, a minimum of 2½-foot side setback must be provided. If the accessory structure is located in the rear yard, ~~the same rear setback as required for principal structures must be provided.~~ a minimum of a 5-foot side setback and 12-foot rear setback must be provided, so not to interfere with seawall tiebacks.

**Sec. 110-~~474~~ 478. R-3, medium density multifamily residential zones.**

Accessory structures (except carports) may not be located in front yards in R-3, medium density multifamily residential zones.

- (1) *Lots not on water.* For lots not on water in R-3, medium density multifamily residential zones, accessory structures (except carports) may be located in side yard, but must provide a five-foot minimum side setback. If the accessory structure is located in the rear yard, a minimum of two-foot setback must be provided to allow for vegetation control.
- (2) *Lots on water.* Accessory structures (except carports) on lots on water in R-3, medium density multifamily residential zones must provide the same setbacks as are required for the principal structure.
- (3) Carports in the R-3, medium density multifamily residential zones may be located in the front or side yard and must provide a five-foot side yard setback and ten-foot front yard setback.
- (4) The accessory structure must meet the intersection visibility requirement.

**Sec. 110-~~475~~9. C-1, tourist commercial zones.**

Accessory structures may not be located in front yards in C-1, tourist commercial zones.

- (1) *Lots not on water.* For lots not on water in C-1, tourist commercial zones, accessory structures may be located in side yard, but must provide a five-foot minimum side setback. If the accessory structure is located in the rear yard, a minimum of 2½-foot setback must be provided to allow for vegetation control.
- (2) *Lots on water.* Accessory structures on lots on water in C-1, tourist commercial zones must provide the same setbacks as are required for the principal structure.

**Sec. 110-~~476~~480. C-2, John's Pass marine commercial zone.**

Accessory structures may not be located in front yards in the C-2, John's Pass marine commercial zone. Accessory structures in the C-2, John's Pass marine commercial zone must provide the same side and rear setbacks as are required for the principal structure.

**Sec. 110-477481. C-3, retail commercial zones.**

Accessory structures may not be located in front yards in C-3, retail commercial zones. Accessory structures in C-3, retail commercial zones must provide the same side and rear setbacks as are required for the principal structure.

**Sec. 110-478482. C-4, marine commercial zones.**

Accessory structures may not be located in front yards in C-4, marine commercial zones. Accessory structures in C-4, marine commercial zones must provide a 10-foot side and rear setback. the same side and rear setbacks as are required for the principal structure. Accessory structures for working waterfronts or marina uses, which are required by federal or state regulations to be immediately proximate to the waters edge, are permitted within the required setback. Property owners must show documentation from the federal or state regulating board to permit accessory structures within the required setback.

**Sec. 110-479483. P/SP, public-semi public zones.**

There are no restrictions regarding accessory structures in P/SP, public-semi public zones. Accessory structures in P/SP, public-semi public zones must be consistent with site plan approval.

**Sec. 110-480484. Maximum size and quantity in R-1, R-2 and R-3 zones.**

- (1) Single-Family Use: Single-family structures may only have one enclosed and one open accessory structure. For single-family structures, the The maximum size for an enclosed accessory structure will be is eight feet wide by ten feet long by eight ten feet high. The total maximum size for all open accessory structures on the property is 3.5 percent of the total land area of the lot. The maximum height for an open accessory structure is 20 feet.
- (2) Duplex and Multifamily Use: Duplex and multifamily structures may only have two enclosed accessory structures, and one open accessory structure for every two dwelling units. For duplex and multifamily structures, there may not be more than two The maximum size for an enclosed accessory structures for a maximum size of six is eight feet wide by eight feet long by eight ten feet high or a single accessory structure eight feet by ten feet by eight feet. The total maximum size for all open accessory structures on the property is 3.5 percent of the total land area of the lot. The maximum height for an open accessory structure is 20 feet.
- (3) Temporary Lodging Use: Temporary lodging structures may only have two enclosed accessory structures, and no limitation on the amount of open accessory structures. The maximum size for an enclosed accessory structure is eight feet wide by eight feet long by ten feet high. The total maximum size for all

open accessory structures on the property is 3.5 percent of the total land area of the lot. The maximum height for an open accessory structure is 20 feet.

- (4) The maximum size of a carport in the R-3, medium density multifamily residential zone for single family structures, is 20 feet wide by 22 feet long by ten feet high. For single family structures, there may not be more than one carport. The limit to the number of carport structure for duplex, ~~and~~ multifamily, and temporary lodging structures will be regulated by parking requirements and the site plan approval process.

**Sec. 110-~~481~~485. Maximum size in C-1, C-2, C-3 and C-4 zones.**

~~An~~ The maximum size for an enclosed accessory structure ~~is not to exceed eight 8~~ feet ~~wide~~ by 12 feet ~~long~~ by ~~eight 10~~ feet ~~high~~. ~~Properties~~ may ~~be installed and~~ only ~~have one two enclosed and two open~~ accessory type structures ~~may be placed on any lot or group of lots under the same ownership.~~ The total maximum size for all open accessory structures on the property is 3.5 percent of the total land area of the lot. The maximum height for an open accessory structure is 20 feet. -Accessory structures for working waterfronts or marina uses, which are required by federal, or state regulations do not count towards the number of structures and may exceed the maximum size with documentation that the additional size is required to maintain compliance.

**Sec. 110-~~482~~486. Lot coverage.**

The area covered by accessory structures shall be included in the allowable lot coverage.

**Sec. 110-~~483~~487. Tiedowns.**

All accessory structures must have tiedowns per the ~~Standard~~ current Florida Building Code. This also applies to all accessory type structures in place before the passage of the ordinance from which this section was derived.

**Sec. 110-~~484~~ 488. Placement.**

An accessory type structure may not be placed forward of the front entrance of the principal structure. In no case shall an accessory type structure be placed closer to any lot line adjacent to a street than provided for the principal structure nor closer than 18 feet to any seawall on the Gulf of Mexico.

**Sec. 110-~~485~~ 489. Prohibited accessory structures.**

Manufactured housing, mobile homes, semi-trailers and other motor vehicles shall not be permitted to be used as storage buildings or other such uses.

**Sec. 110-490. Construction Trailers.**

Construction trailers may only be on site if a building permit is issued, and construction must begin within 30 days of the construction trailer placement. Trailers must be

removed within 30 days after a Certificate of Occupancy is issued. Construction trailers are allowed five feet from any property line and must meet intersection visibility requirements in Section 110-423. Construction trailers must be removed from site during any named storm event or anchored per the current Florida Building Code. Temporary buildings or sheds used exclusively for construction purposes are exempt from the Florida Building Code but must retain a building permit.

### **Sec. 110-491 Outdoor Kitchens.**

Outdoor kitchens must follow the setbacks for open accessory structures provided in this Division, the countertop structure cannot exceed a height of 36 inches from grade, and cannot be larger than 50 square feet in area. The outdoor kitchen must be permanent and meet requirements in Section 94-140. If the outdoor kitchen is connected to a sewer line, it must have an in-line isolation valve. Electricity must be isolated with disconnects from the primary structure. Plumbing lines must have back flow prevention. Any sewer, electrical or plumbing must be shut off during any named storm event.

**Secs. 110-~~486~~492—110-500. Reserved.**

**Section 2.** For purposes of codification of any existing section of the Madeira Beach Code herein amended, words **underlined** represent additions to original text, words **stricken** are deletions from the original text, and words neither underlined nor stricken remain unchanged.

**Section 3.** Ordinances or parts of ordinances in conflict herewith to the extent that such conflict exists are hereby repealed.

**Section 4.** In the event a court of competent jurisdiction finds any part or provision of the Ordinance unconstitutional or unenforceable as a matter of law, the same shall be stricken and the remainder of the Ordinance shall continue in full force and effect.

**Section 5.** The Codifier shall codify the substantive amendments to the Land Development Code of the City of Madeira Beach contained in Section 1 of this Ordinance as provided for therein and shall not codify the exordial clauses nor any other sections not designated for codification.

**Section 6.** Pursuant to Florida Statutes §166.041(4), this Ordinance shall take effect immediately upon adoption.

**PASSED AND ADOPTED BY THE BOARD OF COMMISSIONERS OF THE CITY OF MADEIRA BEACH, FLORIDA, THIS \_\_\_\_\_ day of \_\_\_\_\_, 2024.**

\_\_\_\_\_  
James "Jim" Rostek, Mayor

**ATTEST:**

\_\_\_\_\_  
Clara VanBlargan, MMC, MSM, City Clerk

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Thomas J. Trask, City Attorney

PASSED ON FIRST READING: \_\_\_\_\_

PUBLISHED: \_\_\_\_\_

PASSED ON SECOND READING: \_\_\_\_\_



An aerial photograph of John's Pass Village, Florida, showing a mix of residential and commercial buildings along the waterfront. The water is filled with numerous boats and yachts. The text 'John's Pass Village Activity Center Zoning Workshop' is overlaid in large white font on a semi-transparent dark rectangle.

# John's Pass Village Activity Center Zoning Workshop

# WHY

- Protect the Village
- Compatible redevelopment
- Consistency with the Countywide Plan
- Proactive instead of Reactive Planning

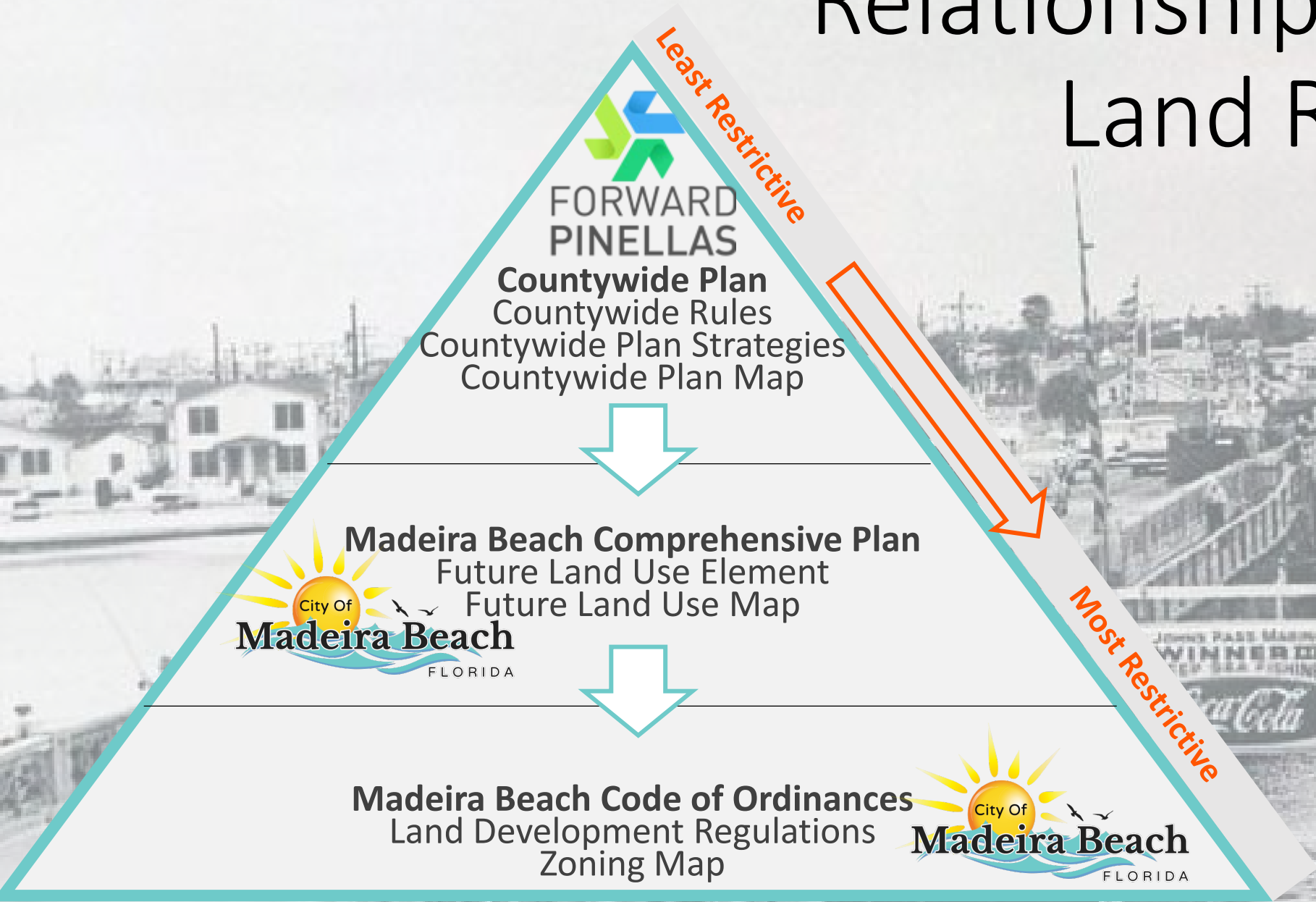
**Legend**

— John's Pass Village Activity Center Study Area

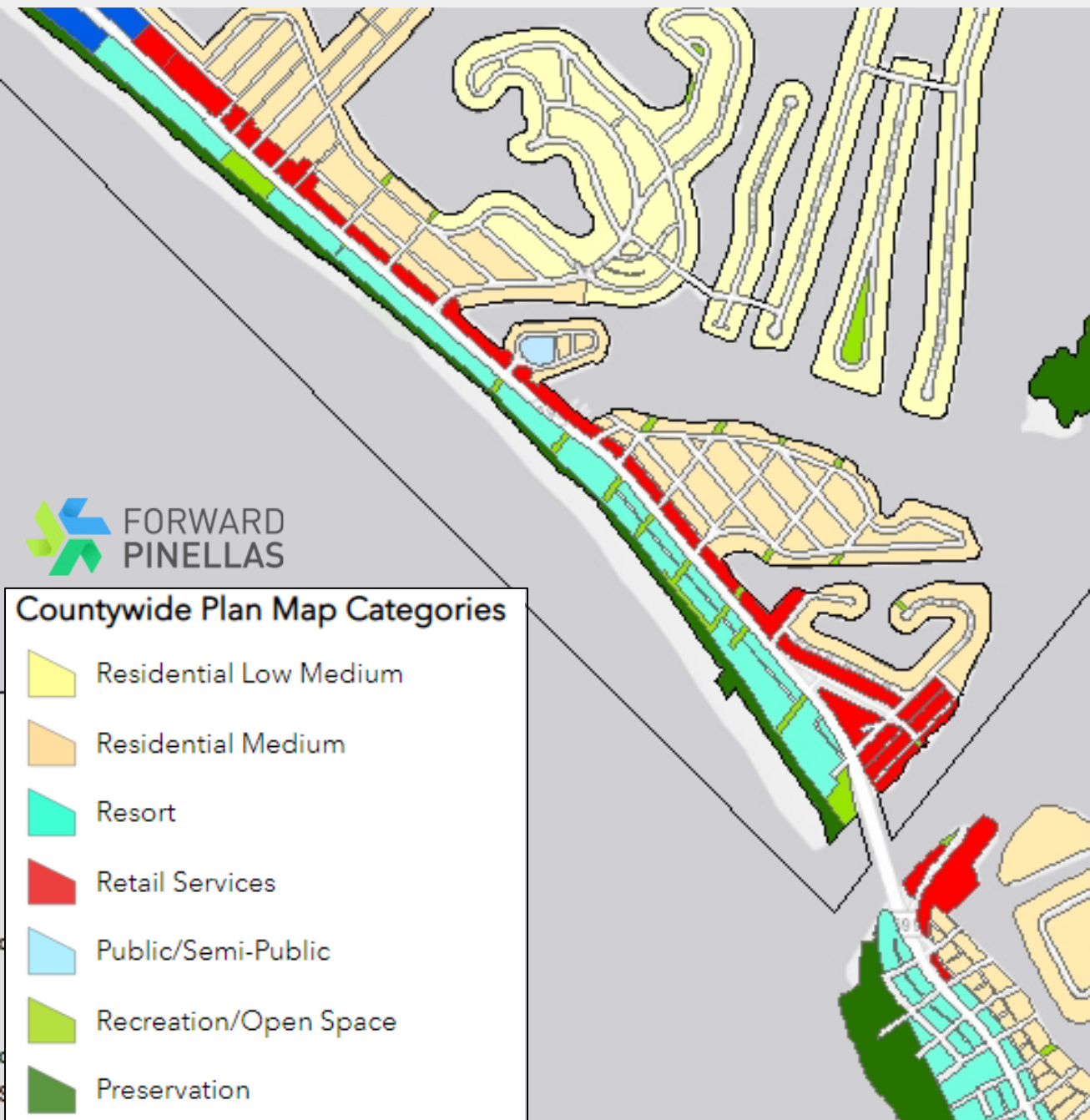
0.1 0.05 0 0.1 Miles



# Relationship with Local Land Regulations



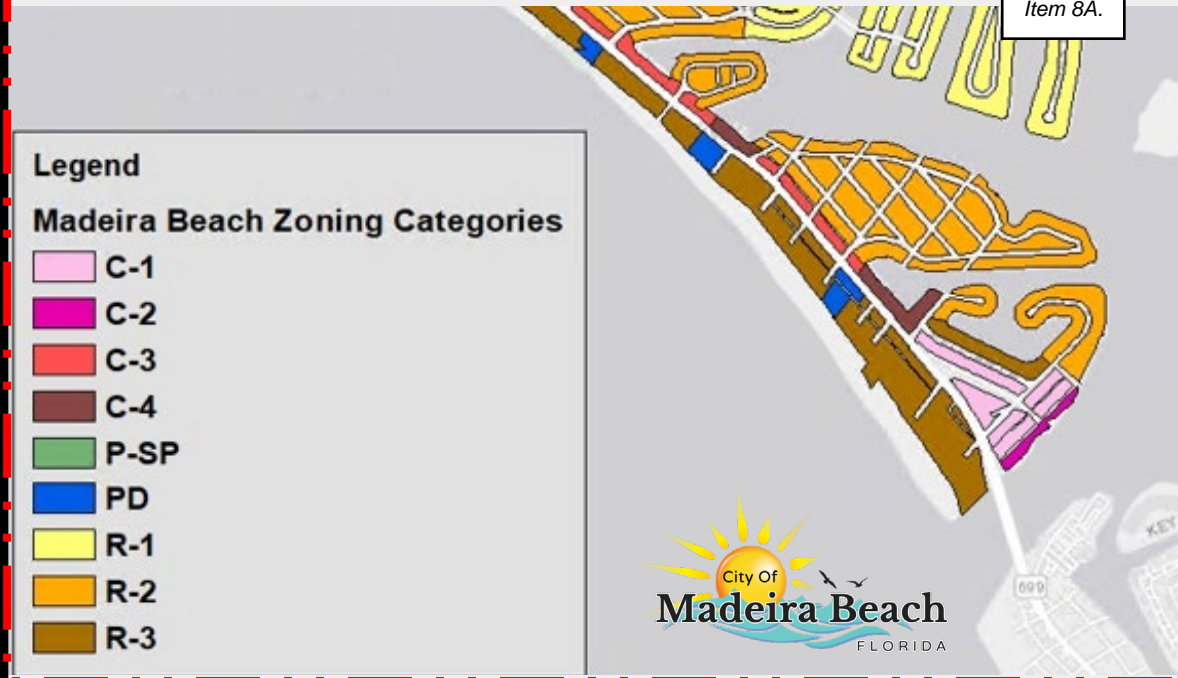
# COUNTYWIDE PLAN MAP



## Countywide Plan Map Categories

- Residential Low Medium
- Residential Medium
- Resort
- Retail Services
- Public/Semi-Public
- Recreation/Open Space
- Preservation

# MADEIRA BEACH ZONING MAP

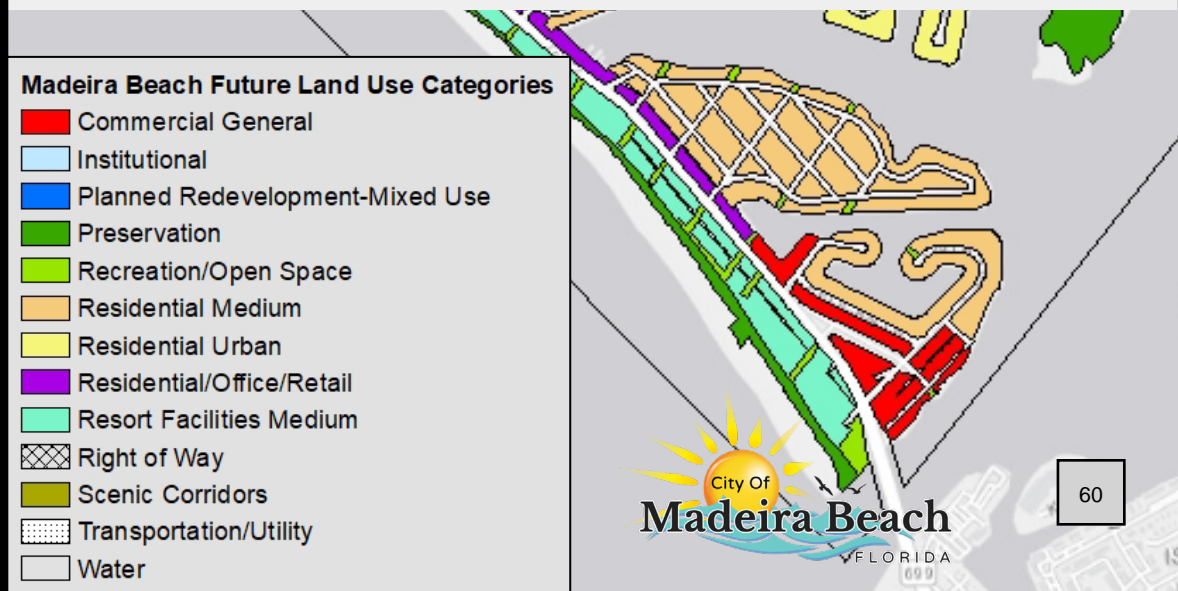


Item 8A.

- Legend**
- Madeira Beach Zoning Categories**
- C-1
  - C-2
  - C-3
  - C-4
  - P-SP
  - PD
  - R-1
  - R-2
  - R-3



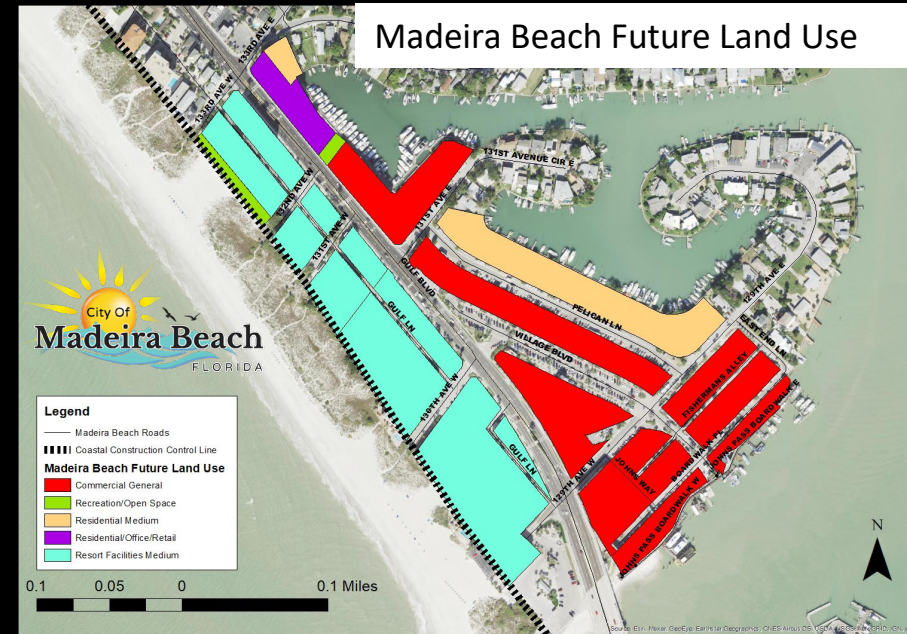
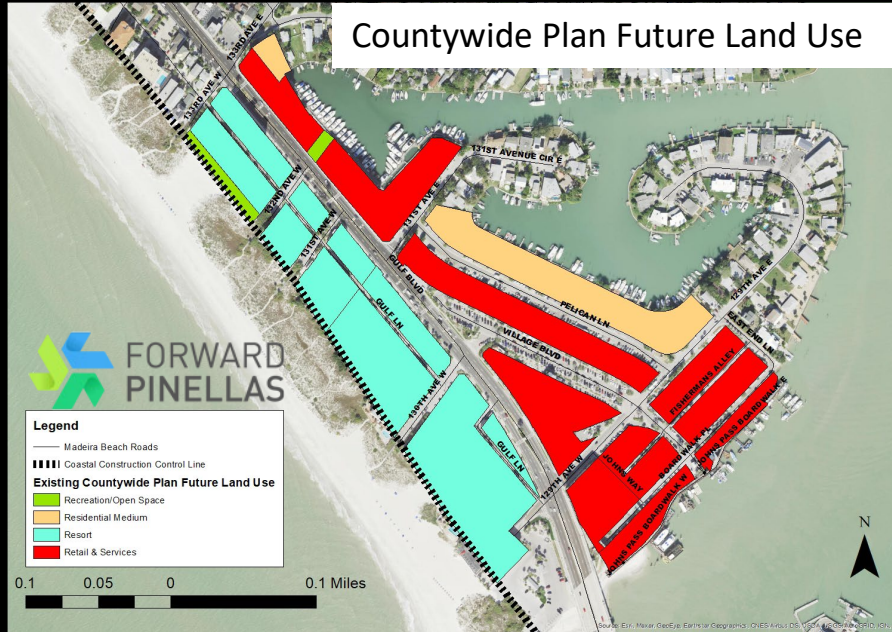
# MADEIRA BEACH FUTURE LAND USE MAP



- Madeira Beach Future Land Use Categories**
- Commercial General
  - Institutional
  - Planned Redevelopment-Mixed Use
  - Preservation
  - Recreation/Open Space
  - Residential Medium
  - Residential Urban
  - Residential/Office/Retail
  - Resort Facilities Medium
  - Right of Way
  - Scenic Corridors
  - Transportation/Utility
  - Water



# EXISTING DENSITIES AND INTENSITIES



| Countywide Plan Future Land Use |          |                             | Madeira Beach Comprehensive Plan Future Land Use |                                       |                                |
|---------------------------------|----------|-----------------------------|--|---------------------------------------|--------------------------------|
| <b>Retail and Services</b>      | FAR 0.55 | RES UPA: 24<br>TEMP UPA: 40 | <b>Commercial General</b>                        | FAR 1.2                               | RES UPA: 15<br>TEMP UPA: 60    |
| <b>Resort</b>                   | FAR 1.2  | RES UPA: 30<br>TEMP UPA: 50 | <b>Residential/Office/Retail</b>                 | FAR 1.0                               | RES UPA: 18<br>TEMP UPA: 45    |
| <b>Residential Medium</b>       | FAR 0.5  | RES UPA: 15<br>TEMP UPA: 0  | <b>Resort Facilities Medium</b>                  | FAR 1.0 – 2.0 (Depends on Lot Area)   | RES UPA: 18<br>TEMP UPA: 45-75 |
| <b>Recreation/Open Space</b>    | FAR 0.25 | RES UPA: 0<br>TEMP UPA: 0   | <b>Residential Medium</b>                        | Not specified in Comp Plan. In Zoning | RES UPA: 15<br>TEMP UPA: 0     |
|                                 |          |                             | <b>Recreation/Open Space</b>                     | FAR 0.25                              | RES UPA: 0<br>TEMP UPA: 0      |

# John's Pass Village Activity Center

Item 8A.



# Proposed Activity Center Plan: Character Districts

Traditional Village

Commercial Core

Boardwalk

John's Pass Resort

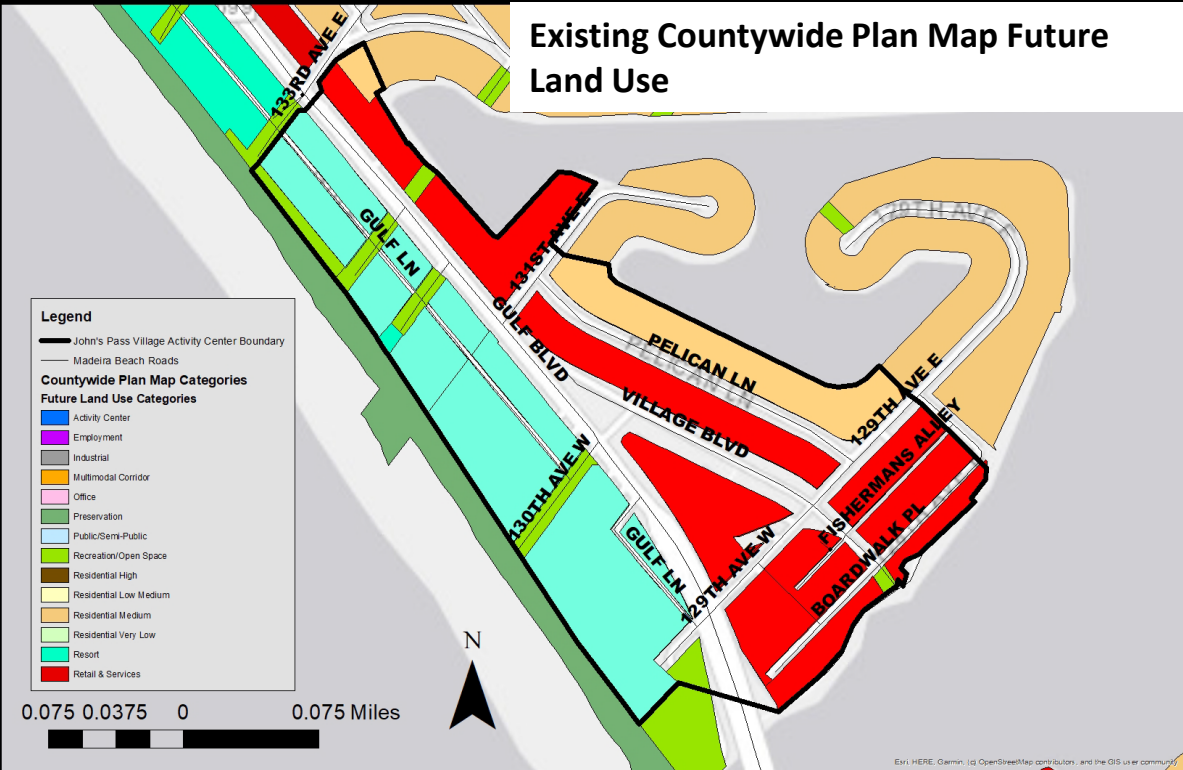
Low Intensity Mixed Use

Transitional

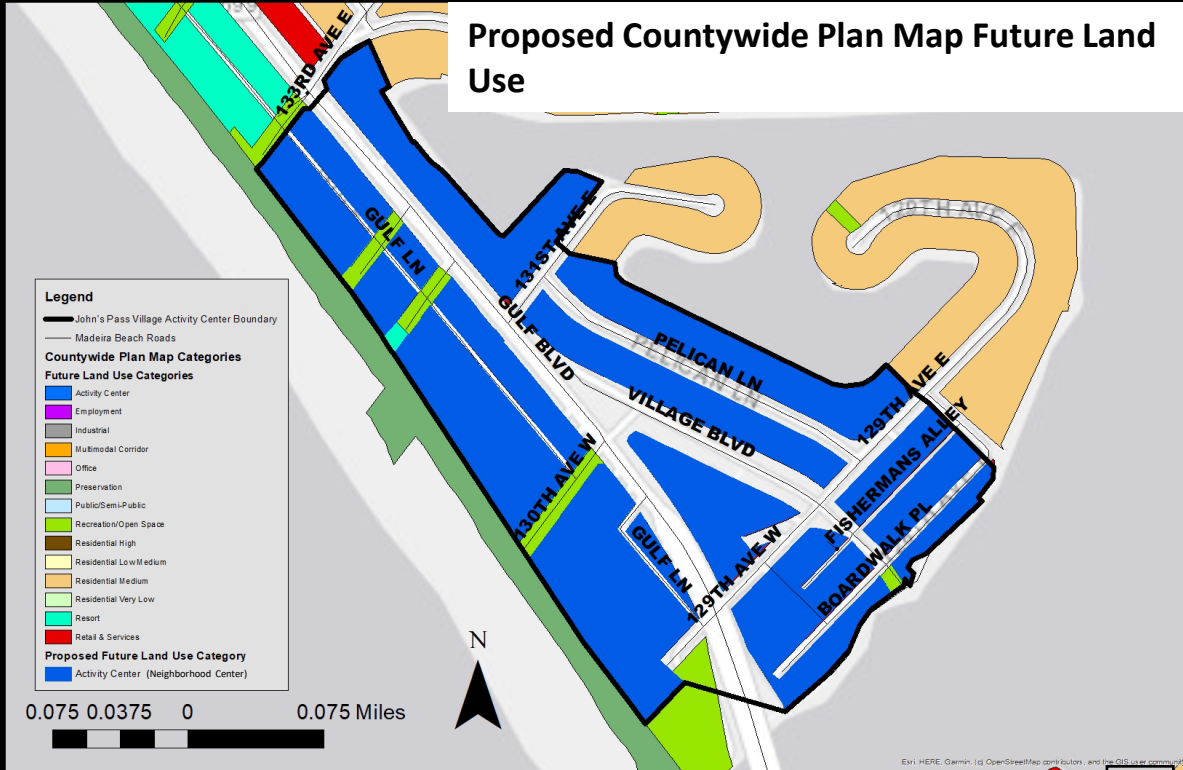


# Countywide Plan Map

### Existing Countywide Plan Map Future Land Use

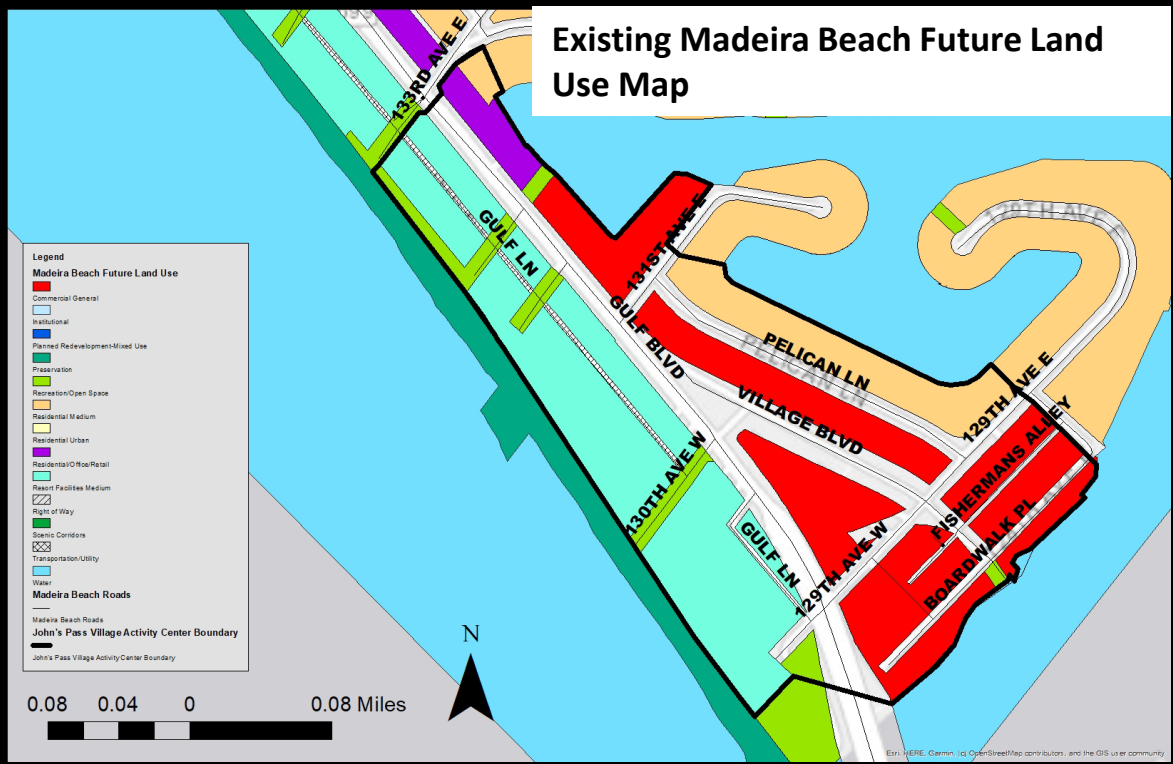


### Proposed Countywide Plan Map Future Land Use

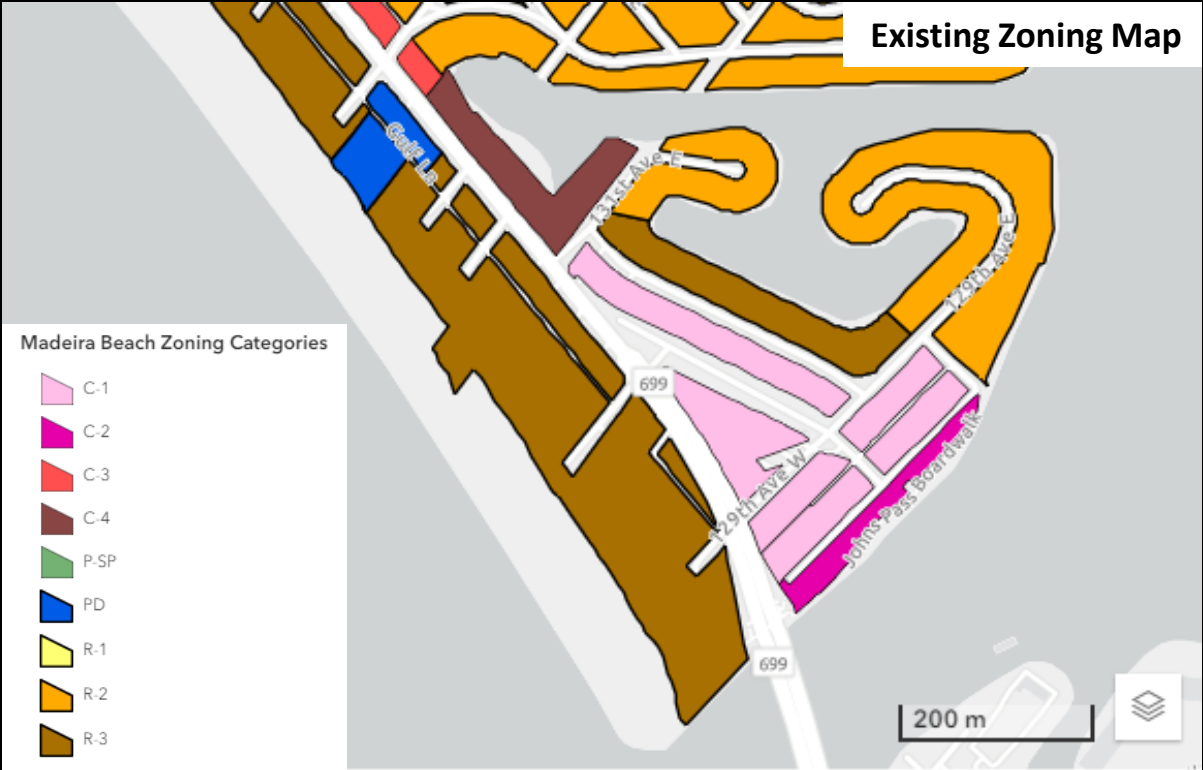




# Madeira Beach Future Land Use Map



# Madeira Beach Zoning Map



FAR: 1.5/2.0\*  
Temp UPA: 50/75\*  
Res UPA: 18

FAR: 1.5/2.0\*  
Temp UPA: 40/60\*  
Res UPA: 18

FAR: 2.0  
Temp UPA: 45  
Res UPA: 15

FAR: 2.0/2.2-3.0\*  
Temp UPA: 60/75-100\*  
Res UPA: 15

FAR: 2.0/2.2-2.5\*  
Temp UPA: 60/75-100\*  
Res UPA: 18

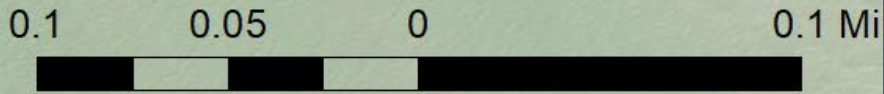
FAR: 1.5  
Temp UPA: 0  
Res UPA: 0

**Legend**

- Madeira Beach Roads
- ▬▬▬▬ Coastal Construction Control Line

**John's Pass Village Activity Center Character Districts**

- Boardwalk
- Commercial Core
- John's Pass Resort
- Low Intensity Mixed Use
- Tradional Village
- Transitional



# Madeira Beach Code of Ordinances

## Zoning Districts

- Setbacks
- Height
- Impervious Surface Ratio
- Special Requirements
  - Design Standards
    - not allowed for single-family and duplex
    - Architectural features
  - Buffering Requirements
    - Use and Zone-specific landscaping

## Land Development Regulations

- Landscaping
- Sidewalks and Driveways
- Accessory Structures
- Parking Standards
- Swimming Pools

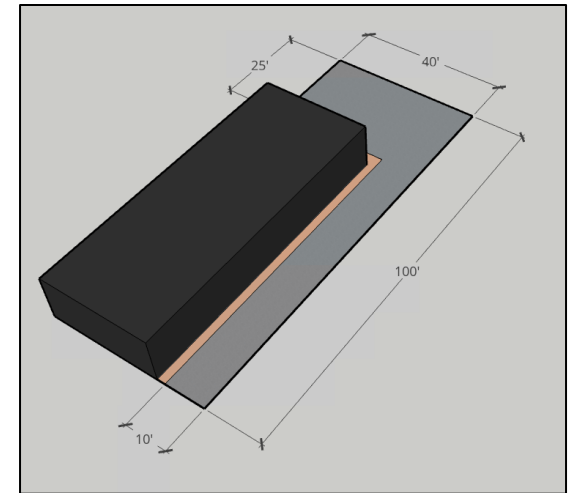
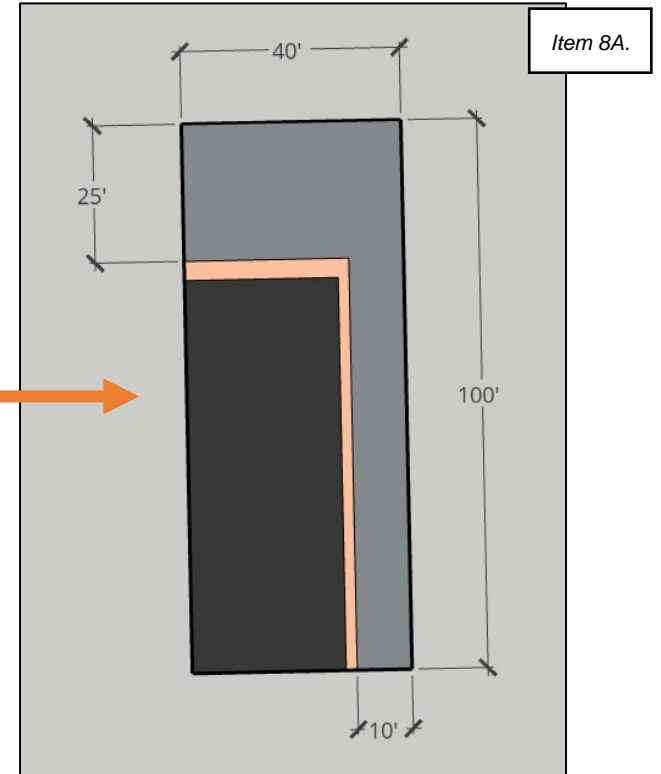
# Madeira Beach Land Development Regulations

## C-1 Zoning

Setbacks: Front Yard (none), Side Yard (10 ft one side), Rear Yard (25 ft)

Height: 34 ft

Floor Area Ratio: 0.55 for commercial uses



# Madeira Beach Land Development Regulations

## R-3 Zoning

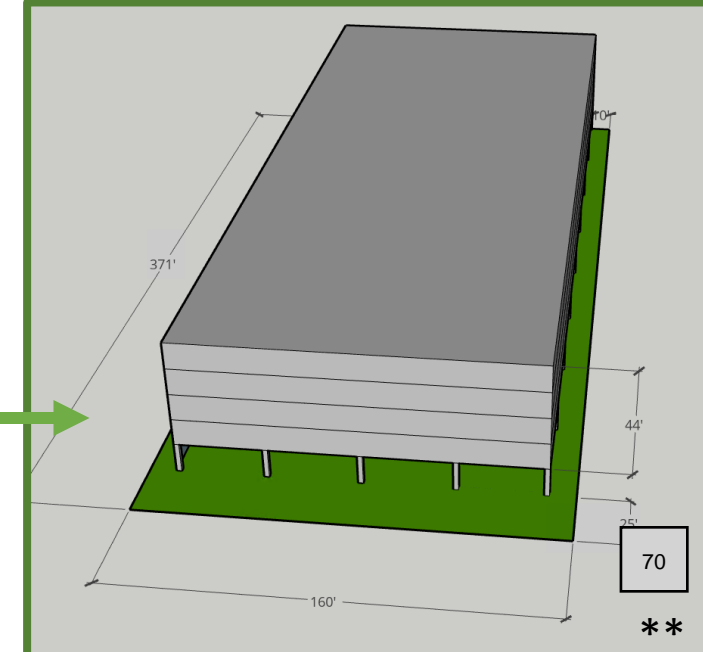
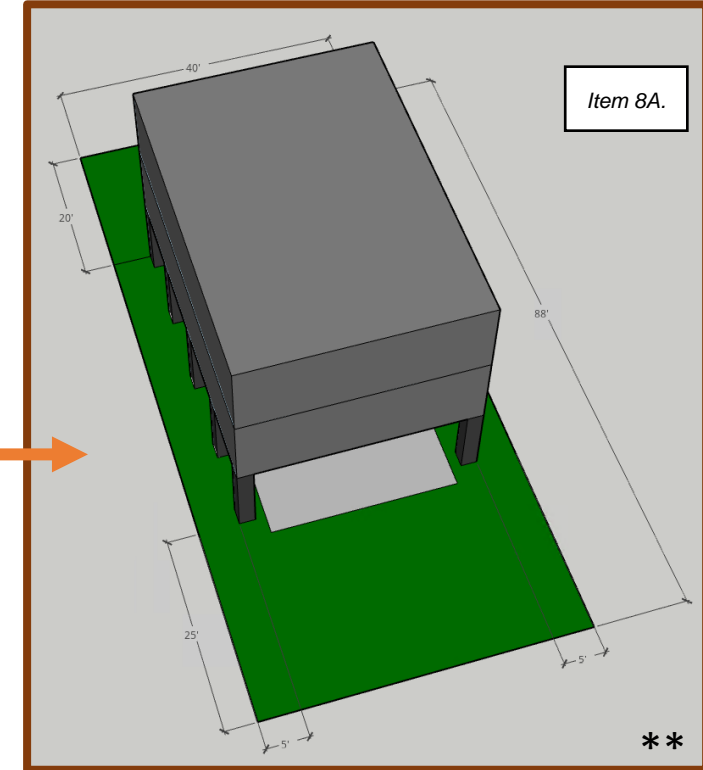
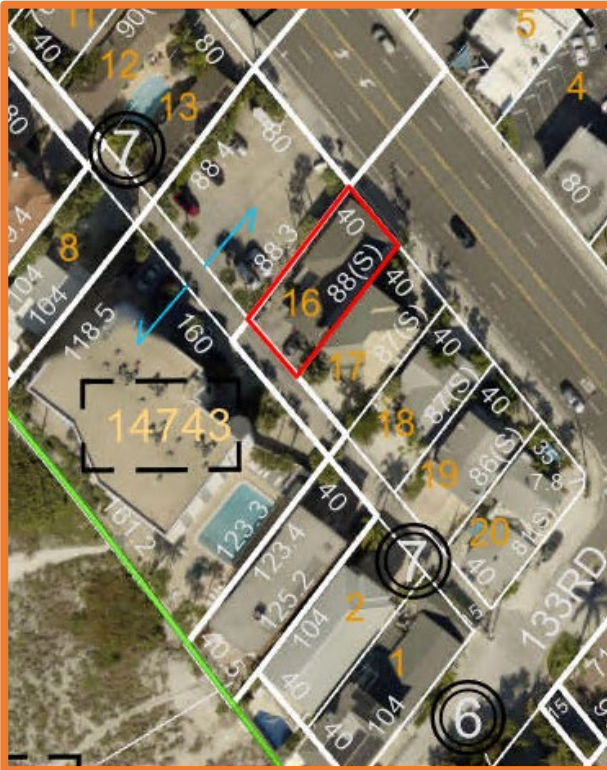
Setbacks: Front Yard (20-25ft\*), Side Yard (5-10 ft\*), Rear Yard (CCCL or 25 ft\*)

Height: 44 ft

Floor Area Ratio: 0.55  
commercial use

\*based on use and width of lot

\*\*images based only on setbacks and height (not including landscape requirements and ISR)



# Planning and Urban Design Principles

## The Activity Center Plan includes Design Policies and Principles based on:

- The City Comprehensive Plan which supports the special character and unique design features of John's Pass Village
- The Countywide Strategies Plan that requires certain design principles be addressed, including:
  - Location, size and density/intensity standards
  - Connectivity
  - Site orientation
  - Public realm enhancements
  - Ground floor design and use
  - Transition to neighborhoods



## Plan Adoption and Implementation Steps

01

Amend City's Comprehensive Plan to create Activity Center category Ordinance 2023-15

02

Initial City action to adopt Activity Center Plan Ordinance 2023-01  
  
Initial City action to amend Future Land Use map Ordinance 2023-02

03

CPA Meeting  
02/20/2024

Amend Countywide Plan to establish Activity Center on the Countywide Plan Map and the Land Use Strategy Map (PAC/PPC/CPA)

04

BOC Meeting  
03/13/2024

Final City action to adopt Activity Center Plan Ordinance 2023-01  
  
Final City action to amend Future Land Use map Ordinance 2023-02

05

Amend City's Land Development Code to establish Activity Center zoning districts

Administer and implement the Activity Center Plan





# Public Workshop

## John's Pass Village Activity Center Zoning



**Thursday 1/18/2024 1:00 PM-3:00 PM • Tuesday 1/23/2024 10:00 AM - 12:00 PM**

**Saturday 1/27/24 10:00 AM-12:00 PM**

**The Community Development Team will make a brief presentation and open workshop stations will follow. Three meetings are scheduled. All meetings have the same agenda.**

**Come to the one that works best for you.**

300 Municipal Drive Second Floor Commission Chambers

Refreshments will be served

# Boardwalk



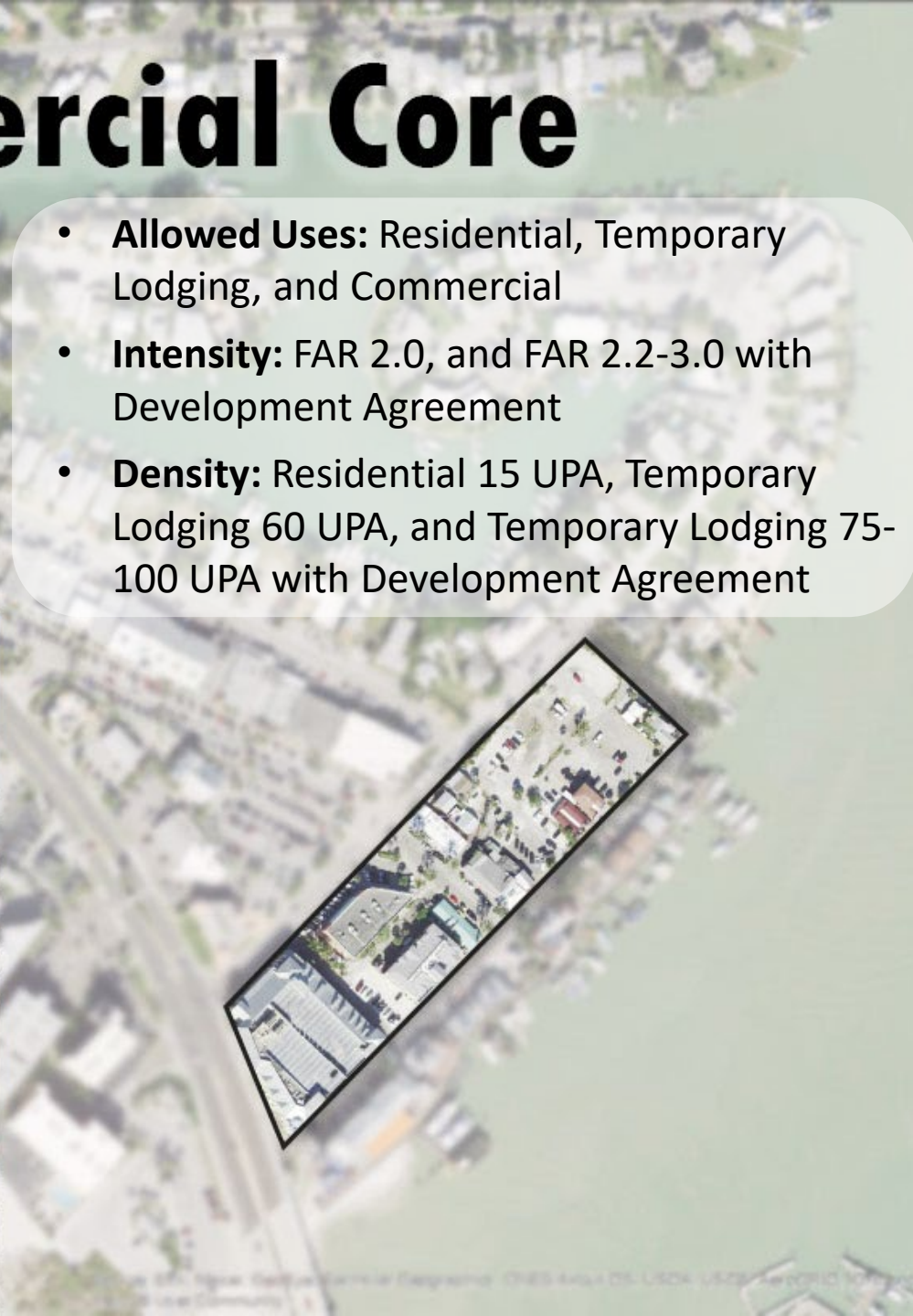
- **Allowed Uses:** Commercial, Commercial Recreation, and Services
- **Intensity:** FAR 1.5
- **Density:** Residential 0 UPA and Temporary Lodging 0 UPA



# Commercial Core



- **Allowed Uses:** Residential, Temporary Lodging, and Commercial
- **Intensity:** FAR 2.0, and FAR 2.2-3.0 with Development Agreement
- **Density:** Residential 15 UPA, Temporary Lodging 60 UPA, and Temporary Lodging 75-100 UPA with Development Agreement



# John's Pass Resort

- **Allowed Uses:** Residential, Temporary Lodging, and Commercial only up to 20 percent of the building floor area
- **Intensity:** FAR 2.0, and FAR 2.2-2.5 with Development Agreement
- **Density:** Residential 18 UPA, Temporary Lodging 60 UPA, and Temporary Lodging 75-100 UPA with Development Agreement



# Low Intensity Mixed Use

- **Allowed Uses:** Residential, Temporary Lodging, and Commercial only up to 20 percent of the building floor area.
- **Intensity:** FAR 1.5, and 2.0 with Development Agreement
- **Density:** Residential 18 UPA, Temporary Lodging 40 UPA, and 60 UPA with Development Agreement.



# Traditional Village

- **Allowed Uses:** Residential, Temporary Lodging, and Commercial.
- **Intensity:** FAR 2.0
- **Density:** Residential 15 UPA, and Temporary Lodging 45 UPA



# Transitional

- **Allowed Uses:** retail and services, restaurant, office, temporary lodging, and residential units (Commercial only up to 20 percent of the building floor area on Westside of Gulf Boulevard).
- **Intensity:** FAR 1.5, and 2.0 FAR with Development Agreement
- **Density:** Residential 18 UPA, Temporary Lodging 50 UPA, and Temporary Lodging 75 UPA with Development Agreement

