



**SPECIAL MAGISTRATE-
VARIANCE/SPECIAL EXCEPTION
USE/CODE ENFORCEMENT
HEARING AGENDA**

**Monday, January 26, 2026 at 12:00 PM
Commission Chambers, 300 Municipal Drive,
Madeira Beach, FL 33708**

This Meeting will be televised on Spectrum Channel 640 and YouTube Streamed on the City's Website.

1. CALL TO ORDER

2. PUBLIC COMMENT

Public participation is encouraged. If you are addressing the Special Magistrate, step to the podium and state your name and address for the record. Please limit your comments to three (3) minutes and do not include any topic that is on the agenda.

Public comment on agenda items will be allowed when they come up.

For any quasi-judicial hearings that might be on the agenda, an affected person may become a party to this proceeding and can be entitled to present evidence at the hearing including the sworn testimony of witnesses and relevant exhibits and other documentary evidence and to cross-examine all witnesses by filing a notice of intent to be a party with the Community Development Director, not less than five days prior to the hearing.

3. SPECIAL MAGISTRATE STATEMENT

4. ADMINISTRATION OF OATH TO RESPONDENTS/WITNESSES

5. NEW BUSINESS

A. VAR 2026-01 422 137th Ave Cir

B. Case#2025.006: 545 150th Ave.

C. Case#2025.003: 4th St. E (Vacant Lot)

D. CE-25.99: 410 Virginia Ave.

E. CE-25-181: 13910 Gulf Blvd

6. OLD BUSINESS

- A. CEB 08.07,08.07,08.24,09.39: 13225 2nd St. E (Affidavit of Compliance)
- B. Case#2022.3443: 431 Virginia (Affidavit of Compliance)
- C. Case#2022.3445: 431 Virginia (Affidavit of Compliance)
- D. CE-25-131: 154 154th Ave. (Affidavit of Compliance)
- E. CE-25-71 14060 Miramar Ave (Affidavit of Compliance)
- F. CE-25-91:11 Lynn Way (Affidavit of Non-Compliance)
- G. CE-25-105: 30 Lynn Way (Affidavit of Non-Compliance)
- H. CE-25-127: 14503 N. Bayshore Dr. (Affidavit of Non-Compliance)
- I. CE-25-129: 101/107 154th Ave. & 15398 2nd St. E (Affidavit of Non-Compliance)
- J. CE-25-67: 14210 N Bayshore Dr. (Affidavit of Compliance)

7. ADJOURNMENT

One or more Elected or Appointed Officials may be in attendance.

Any person who decides to appeal any decision of the Special Magistrate with respect to any matter considered at this meeting will need a record of the proceedings and for such purposes may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The law does not require the minutes to be transcribed verbatim; therefore, the applicant must make the necessary arrangements with a private reporter or private reporting firm and bear the resulting expense. In accordance with the Americans with Disability Act and F.S. 286.26; any person with a disability requiring reasonable accommodation to participate in this meeting should call Jenny Rowan, Community Development Director at 727-391-9951, ext. 244 or email a written request to jrowan@madeirabeachfl.gov.



SPECIAL MAGISTRATE – VARIANCE REQUEST

VAR 2026-01

Staff Report and Recommendation

Special Magistrate Meeting – January 26, 2026

Application: VAR 2026-01
Applicant: Paul Mazzillo
Property Owner(s): Paul Mazzillo
Property Address: 422 137th Avenue Cir Madeira Beach, Florida 33708
Parcel ID: 15-31-15-34488-000-0300
Legal Description: GULF SHORES HARBOR SUB LOT 30
Zoning/Future Land Use: R-2, Low Density Multifamily Residential/Residential Medium

Request: Increase in the maximum structure coverage from 40% to 48%

Specific Code Provisions: Sec. 110-208. – Maximum lot coverage.

- (1) The maximum area of a lot or parcel to be covered by structures shall be 40 percent of the total area.

Background

On March 17th, 2025, Paul Mazzillo, the owner of 422 137th Ave submitted a variance request, VAR 2025-03, to reduce the required setbacks on the lot with the plan to build a new home within the newly requested setbacks. The variance was granted and helped to address and partially correct the pre-existing and extremely nonconforming setback issues on site. See VAR 2025-03 for further details. With the focus of the variance being on adjusting the setbacks, the proposed footprint of the new structure was not reviewed by staff for compliance with other code requirements. As a result, it was overlooked that the proposed footprint created a violation of the zoning districts 40% structure coverage limitation. With the pre-existing structure coverage at less than 36% (exhibit two) and the most structure coverage this property being able to obtain by right being about 35% had the lot been vacant and no variance granted (exhibit three), there is no “by right” allowance to exceed the structure coverage limitation.

On October 17th, 2025, the applicant submitted building permit application 2025-4294-BGDR to build a new single family home maximizing each of the setbacks approved under VAR 2025-03, which was denied by city staff on December 3rd, 2025 partially due

to the structure coverage issue. Subsequently, the applicant met with city staff to discuss his options where city staff informed the applicant that the structure coverage violation does not appear to meet the criteria for a variance, however the applicant decided to still apply due to the high costs and burden to re-design the plans. The plans submitted with the building permit application, as well as the comments from the city have been included as exhibits four and five. Due to the circumstances, city staff have waived the normally nonrefundable \$1,800 variance application fee for this variance request.

I. Sec. 2-507. – Variances Criteria and Analysis

(1) Special conditions and circumstances exist which are peculiar to the land, building, or other structures for which the variance is sought and which do not apply generally to the lands, building, or other structures in the same district. Special conditions to be considered shall include, but are not limited to, the following circumstances:

- a. *Substandard or irregular-shaped lot.* If the site involves the utilization of an existing lot that has unique physical circumstances or conditions, including irregularity of shape, narrowness, shallowness, or the size of the lot is less than the minimum required in the district regulations;**
- b. *Significant vegetation or natural features.* If the site contains significant native vegetation or other natural features;**
- c. *Residential neighborhood character.* If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements;**
- d. *Public facilities.* If the proposed project involves the development of public parks, public facilities, schools, or public utilities;**
- e. *Architectural and/or engineering considerations.* If the proposed project utilizes architectural and/or engineering features that would render the project more disaster resistant.**

Staff Findings:

- a.) The aerial from Pinellas County Property Appraiser's Website provided in exhibit six shows that this lot (lot 30) is a similar size and shape to all those around it. Nonetheless, Lot 30 is not perfectly squared and is substandard, being only approximately 3,000 square feet as opposed to the 4,000 square feet required for a single-family home under the zoning districts minimum building site area requirements. The lot depth is also about five feet less than the minimum required 80 feet. Staff find this criterion to have been met, however a variance must meet all 6 criteria.
- (2) The special conditions and circumstances do not result from the actions of the applicant. A self-created hardship shall not justify a variance.**

Staff Findings:

The applicant purchased the property in 1989, and although the house, which meets the structure coverage requirements was built before the 40% lot coverage requirement was codified, this coverage requirement has existed since at least 1971 per ORD 1971-380 and the plat for lot 30 was approved in 1941 which would indicate that the applicant bought a property that they knew the size limitations of. VAR 2025-03 was stated to meet this criteria as the pre-existing home already had legally nonconforming setbacks which were not a result of the action of the applicant, however the pre-existing structure met the code requirements.

- (3) Granting the variance will not confer on the applicant any special privilege that is denied to other lands, buildings or structures in the same zoning district.**

Staff Findings:

In viewing the aerial provided as exhibit six, it can be seen that lots 20 through 30 (lot 30 being the subject property) all offer a similar depth, shape, and area. Of these lots, the only one that the city still has copy of the permitted new building plans for is 316 137th Ave Circle built in 2017. As shown on the permitted site plan provided on exhibit seven, 316 137th Ave was forced to rebuild under the 40% structure coverage required by code while also adhering to more stringent setback requirements in effect at the time. Based on the site data table on sheet A1

of permit 1247, the structure coverage for 316 137th Ave is 35.77%, more than 12% less than what the applicant is requesting through this variance.

The second most recently built house of the group is 244 137th Ave Circle built in 2001. Although the city does not have the permitted plans or a survey of this property on file, based on Pinellas County Property Appraiser's data (see exhibit eight) this property appears to have approximately 36.36% structure coverage, more than 11% less than what the applicant is requesting through this variance and under the city's 40% structure coverage requirement. Allowing the applicant to violate the structure coverage would create a special privilege that was denied to other property owners in the district.

In his application, the applicant provides two examples of properties that currently exceed the 40% structure coverage requirement. The first example provided by the applicant is 420 137th Ave Circle, which was granted VAR 2013-01 on March 14, 2013 to reduce the front setback from 20 feet to 13 feet and proportionally increase the structure coverage. The applicant for today's variance obtained a similar front setback reduction through VAR 2025-03, while also receiving a reduction to the side setback and rear setback, which VAR 2013-01 did not approve. It is important to note this variance was approved prior to ORD 2019-16 was adopted in June 2020 which now requires all 6 variance criteria to be met in full rather than just the majority of the criteria, making a variance stricter to obtain now than it was back when this variance was granted. Since the adoption of ORD 2019-16, the city has been making an effort to correct nonconformities rather than create new ones as the city has an extensive history of approving variances that otherwise would not have been approved. It is also important to consider that VAR 2013-01 was granted for an existing structure to allow for better configuration of parking, not a new structure which will have parking on the full ground floor like this building will. In the staff report for VAR 2013-01 starting with criteria 3, as well as on the order, it is explicitly stated that the variance was needed specifically for this purpose, that the home's historic integrity was to be maintained, and that a new structure would have to conform to code requirements. Additionally, as a stipulation of VAR 2013-01 as stated in criteria 6 of the staff report, the property owner was required to remove the shed, another item which counts towards the

maximum structure coverage. Due to the reasons provided, staff finds that the examples presented in exhibits seven through ten are more comparable to this project but nonetheless if VAR 2013-01 was to still be considered, it should be noted that the site was still only granted a 46% structure coverage based on the staff report which is less than what the applicant is requesting in this variance. VAR 2013-01 has been included as exhibit eleven for the special magistrate's review.

The second example provided by the applicant is 429 137th Ave Circle. Although the application references a variance, there was no variance granted for structure coverage at this site. The number referenced should be RDV 2019-01, which is a redevelopment application to be able to maintain the nonconforming density, not to be confused with VAR 2019-01 which was a variance for an unrelated property that was withdrawn. This property was already over the structure coverage which city code allows to be rebuilt to maintain the nonconforming structure coverage within the same footprint. This example is further discussed in criteria six.

- (4) Literal interpretation would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the land development regulations, subpart B of this Code or section 14-205 of the Code of Ordinances and would work unnecessary and undue hardship on the applicant.**

Staff Findings:

Literal interpretation of the code would allow for a structure coverage of up to about 1,209 square feet (3,022 sf lot based on signed and sealed plans times 0.4) plus cantilevered rooms or balconies which do not count against structure coverage, and multiple stories. The previous structure occupied 1,066 square feet based on Pinellas County Property appraiser data and was only one story. Additionally, as demonstrated with the exhibits referenced in the previous criteria, several other houses on similar lots have been able to or are being required to adhere to the 40% structure coverage requirement. With this evidence, staff finds that a literal interpretation of the code would be reasonable and would not deprive the applicant of rights commonly enjoyed by other

properties in the same zoning district, nor would it create undue hardship on the applicant.

- (5) The variance granted is the minimum variance that will make possible reasonable use of the land.**

Staff Findings:

Based on the exhibits seven and eight outlined in criteria three which both have similarly sized and configured lots, and the previous buildings structure coverage, the request to increase the structure coverage by over 12% from what was existing is not the minimum necessary to make reasonable use of the land. This variance is being requested out of convenience, not necessity.

- (6) The granting of the variance will be in harmony with the general intent and purpose of the city land development regulations or the Code of Ordinances (when it relates to section 14-205), and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.**

Staff Findings:

The 40 percent maximum lot coverage standard has been established in the City Code since at least 1971 (Ord. 1971-380) and variances to this requirement are rarely granted, reflecting its importance in implementing the intent and purpose of the Land Development Regulations. This standard exists to limit overdevelopment, maintain neighborhood character, protect drainage and stormwater function, and preserve open space and environmental quality. Granting the requested variance to increase structural coverage would be inconsistent with these objectives, as it would intensify development beyond what is permitted for similarly situated properties, potentially contributing to increased runoff, reduced pervious area, and visual overcrowding. Such impacts may be injurious to the surrounding area and detrimental to public welfare by setting an adverse precedent and undermining the long-standing regulatory framework designed to protect community health, safety, and character. It is also important to take into consideration that 429 137th Ave Circle, one of the examples brought to attention by the applicant which was permitted to exceed

the structure coverage, has received numerous complaints from the public for being permitted regarding these precise objectives.

II. Staff Recommendation:

City staff recognize that it was due to the approval of VAR 2025-03, and lack of warning from staff that led the applicant to believe they would be able to build a new home in the reduced setbacks. For the reasons discussed however, city staff cannot recommend approval of VAR 2026-01.

Submitted by: **Joseph Petraglia, CFM**
 Planner II
 Community Development Department

Attachments: 1) Application and Support Materials

- 2) Survey marked up by city staff to indicate pre-existing structure coverage
- 3) Survey marked up by city staff to indicate max structure coverage had lot been vacant and no variance to setbacks other than may already be reduced by right
- 4) 2025-4294-BGDR plan review letter sent 12/3/25
- 5) 2025-4294-BGDR P&Z Markup 1.0 – Plans submitted on building permit application along with city comments referenced in 12/3/25 plan review letter
- 6) Aerial from Pinellas County Property Appraiser's website
- 7) Permit 1247 for 316 137TH AVENUE CIR
- 8) 244 137th Ave Circle Pinellas County Property Appraiser Data
- 9) VAR 2013-01 420 137th Ave Circle
- 10) Public Notice Mailing and Posting

VAR 2026-01

Attachment 1



CITY OF MADEIRA BEACH

PLANNING & ZONING DEPARTMENT
300 MUNICIPAL DRIVE ♦ MADEIRA BEACH FLORIDA 33708
(727) 391-9951 EXT. 255 ♦ FAX (727) 399-1131



SPECIAL MAGISTRATE – VARIANCE APPLICATION

*Applicant: Name and Address

Paul Mazzillo

422 137th Ave Circle

Madeira Beach, FI 33708

Telephone: (727) 643-9293

Email: paul@mazzillo.com

*Property Owner: Name and Address

Paul Mazzillo

422 137th Ave Circle

Madeira Beach, FI 33708

Telephone: (727) 643-9293

Email: paul@mazzillo.com

Application for the property located at: (Street Address or Location of the Vacant Lot)

422 137th Ave Circle

Legal Description: LOT 30, Gulf Shores Harbor Subdivision , as recorded in Plat Book 23, Page 51,
of the Public Records of Pinellas County, Florida

Lot Area: 3,022 SF (mol) **Width:** 39.59 ft (mol) **Depth:** 75 ft.

Zoning District: R-2

Present Structures on Property: Single Family Home

Present Use of Property: Residential Single Family Home

Date Building Permit Request denied: N/A

Variance(s) needed from the zoning requirements: Sec 110-425 - Maximum lot coverage -

A lot coverage variance is required from 0.40 to 0.48 to build a house to previously approved variance setbacks.

PLEASE ATTACH REQUIRED SUPPORTING MATERIALS:
SITE PLAN, PICTURES, DEED, SURVEYOR'S SKETCH, DRAWINGS, EXPLANATION, ETC.

DISCLAIMER: According to Florida Statutes, Chapter 119, it is the policy of this state that all state, county, and municipal records are open for personal inspection and copying by any person. Providing access to public records is a duty of each agency. All Documents and information not specified in F.S. 119.071 and 119.0713 are subject to public record requests.



Special Magistrate Case #: _____

Item 5A.

**** For City of Madeira Beach Use Only ****

Fee: _____ ☐ Check # _____ ☐ Cash ☐ Receipt # _____

Date Received: ____ / ____ / ____ Received by: _____

Special Magistrate Case # Assigned: _____

Special Magistrate Hearing Date: ____ / ____ / ____ ☐ Approved ☐ Denied

____ Zoning Variance for Residential Dwelling Units (One, Two or Three Units) \$1,800.00 per Variance
(Fee Waived Per City Staff)
____ Zoning Variance for Multi-Family, Tourist Dwellings or Commercial \$2,000.00 per Variance
____ After-the-fact Variance \$3,600.00 per Variance

X _____
Jenny Rowan, Community Development Director

Date: ____ / ____ / ____

X _____
Robin Gomez, City Manager

Date: ____ / ____ / ____

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Special Magistrate Case #:

APPLICATION (Must submit the following analysis)

This application to the Special Magistrate is requesting permission to: Build a multi-story single-family 30ft x 48ft residence as shown on the site drawing in the previously approved variance request package.

Per city staff, a variance to code Sec. 110-208 is now required to build a 30 ft x 48 ft structure. According to City staff the structure coverage must be measured per Sec. 110-425 to the balcony support columns, not to the enclosed walls.

The special magistrate shall authorize, upon application to appeal, after public notice has been given and public hearing held, such variance from the terms of the city land development regulations as not being contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of the land development regulations, subpart B of this Code will result in unnecessary and undue hardship. In order to authorize any variance from the terms of the city land development regulations, the special magistrate shall consider the following criteria and shall find that the criteria has been satisfied in full and that a hardship exists.

On a separate attached page, explain in detail how your request meets City Code Sec. 2-507 by complying with the following rules. Please note that your explanation demonstrate that your request meets one or more of the conditions listed under criteria #1 below and that it also meets in full criteria 2 through 6 below:

1. Demonstrate that special conditions and circumstances exist which are particular to the land, building, or other structures in the same district. Special conditions to be considered shall include but are not limited to:
 - a. *Substandard or irregular shaped lot.* If the site involves the utilization of an existing lot that has unique physical circumstances or conditions, including irregularity of shape, narrowness, shallowness, or the size of the lot is less than the minimum required in the district regulations.
 - b. *Significant vegetation or natural features.* If the site contains significant native vegetation or other natural features;
 - c. *Residential neighborhood character.* If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements;
 - d. *Public facilities.* If the proposed project involves the development of public parks, public facilities, schools, or public utilities;
 - e. *Architectural and/or engineering considerations.* If the proposed project utilizes architectural and/or engineering features that would render the project more disaster resistant.

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2. Demonstrate that special condition (s) and circumstance (s) do not result from the actions of the applicant. A self-created hardship shall not justify a variance.
3. Demonstrate that the granting of the variance will not confer on the applicant any special privilege that is denied to other lands, buildings, or structures in the same zoning district.
4. Demonstrate that the literal interpretation would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Land Development regulations, subpart B of the code and would work unnecessary and undue hardship on the applicant.
5. Demonstrate that the variance granted is the minimum variance that will make possible the reasonable use of the land.
6. Demonstrate that the granting of the variance will be in harmony with the general intent and purpose of the City Land Development Regulations, and that such Variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

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OWNER CERTIFICATION

I hereby authorize permission for the Special Magistrate, Building Official and Planning & Zoning Director to enter upon the above referenced premises for purposes of inspection related to this petition.

I hereby certify that I have read and understand the contents of this application, and that this application, together with all supplemental data and information, is a true representation of the facts concerning this request; that this application is made with my approval, as owner and applicant, as evidenced by my signature below.

It is hereby acknowledged that the filing of the application does not constitute automatic approval of the request; and further, if the request is approved, I will obtain all the necessary permits and comply with all applicable orders, codes, conditions, rules and regulations pertaining to the subject property.

I have received a copy of the Special Magistrate Requirements and Procedures (attached), read and understand the reasons necessary for granting a variance and the procedure, which will take place at the Public Hearing.

Appeals. (City Code, Sec. 2-109) An aggrieved party, including the local governing authority, may appeal a final administrative order of the Special Magistrate to the circuit court. Such an appeal shall not be a hearing *de novo* but shall be limited to appellate review of the record created before the Special Magistrate. An appeal shall be filed within 30 days of the execution of the order to be appealed.

X

Paul J. Mazzeo
Property Owner's Signature

Date: 1 / 5 / 26

STATE OF

Florida

COUNTY OF

Pinellas

Before me this 5th day of January, ²⁰²⁶~~2025~~, Paul Mazzeo
appeared in person who, being sworn, deposes and says that the foregoing is true and correct certification
and is ☐ personally known to me or ☒ has produced Driver's License as identification.



Samantha Olson

Public Notary Signature

NOTICE: Persons are advised that, if they decide to appeal any decision made at this hearing, they will need a record of the proceedings, and for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

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NON-OWNER (AGENT) CERTIFICATION

I hereby authorize permission for the Special Magistrate, Building Official and Planning & Zoning Director to enter upon the above referenced premises for purposes of inspection related to this petition.

I hereby certify that I have read and understand the contents of this application, and that this application, together with all supplemental data and information, is a true representation of the facts concerning this request; that this application is made with my approval, as owner and applicant, as evidenced by my signature below.

It is hereby acknowledged that the filing of the application does not constitute automatic approval of the request; and further, if the request is approved, I will obtain all the necessary permits and comply with all applicable orders, codes, conditions, rules and regulations pertaining to the subject property.

I have received a copy of the Special Magistrate Requirements and Procedures (attached), read and understand the reasons necessary for granting a variance and the procedure, which will take place at the Public Hearing.

Appeals. (City Code, Sec. 2-109) An aggrieved party, including the local governing authority, may appeal a final administrative order of the Special Magistrate to the circuit court. Such an appeal shall not be a hearing *de novo* but shall be limited to appellate review of the record created before the Special Magistrate. An appeal shall be filed within 30 days of the execution of the order to be appealed.

X _____ Date: ____ / ____ / ____
Property Owner's Signature (If other than the property owner)

STATE OF _____

COUNTY OF _____

Before me this _____ day of _____, 2025, _____
 appeared in person who, being sworn, deposes and says that the foregoing is true and correct certification and is ☐ personally known to me or ☐ has produced _____ as identification.

[SEAL]

 Public Notary Signature

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FOR YOUR RECORDS**SPECIAL MAGISTRATE: REQUIREMENTS AND PROCEDURES (City Code Sec. 2-507)**

- 1) Demonstrate that special conditions and circumstances exist which are particular to the land, building, or other structures in the same district. Special conditions to be considered shall include but are not limited to:
 - a. *Substandard or irregular shaped lot.* If the site involves the utilization of an existing lot that has unique physical circumstances or conditions, including irregularity of shape, narrowness, shallowness, or the size of the lot is less than the minimum required in the district regulations.
 - b. *Significant vegetation or natural features.* If the site contains significant native vegetation or other natural features;
 - c. *Residential neighborhood character.* If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements;
 - d. *Public facilities.* If the proposed project involves the development of public parks, public facilities, schools, or public utilities;
 - e. *Architectural and/or engineering considerations.* If the proposed project utilizes architectural and/or engineering features that would render the project more disaster resistant.
- 2) The special conditions and circumstances do not result from the actions of the applicant. A self-created hardship shall not justify a variance.
- 3) Granting the variance will not confer on the applicant any special privilege that is denied to other lands, buildings, or structures in the same zoning district.
- 4) Literal interpretation would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the land development regulations, subpart B of this Code and would work unnecessary and undue hardship on the applicant.
- 5) The variance granted is the minimum variance that will make possible the reasonable use of the land.
- 6) The granting of the variance will be in harmony with the general intent and purpose of the city land development regulations, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

In granting any variance, the Special Magistrate may prescribe appropriate conditions and safeguards in conformity with the city land development regulations. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted shall be deemed a violation of this Code. The Special Magistrate may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed or both. Under no circumstances except as permitted in the applicable zoning district of the city land development regulations. A nonconforming use of neighborhood lands, structures or buildings in the same zoning district shall not be considered grounds for the authorization of a variance. **Financial loss** standing alone is not sufficient justification for a variance.

The hearing will be conducted in the following manner:

1. Public notice will be read along with correspondence received.
2. City presents its case, and the applicant may cross-examine.
3. The Applicant presents his or her case supported by witnesses and evidence; and the City has the right to cross-examine each witness.
4. Public comment will only be solicited or received from parties directly affected by the variance. Individuals testifying do not have the right to cross-examine the parties.
5. Public participation will be closed, the Special Magistrate deliberates and makes a decision to grant or deny each variance requested in the application.

All variances granted by the Special Magistrate and not acted on within on (1) year of being granted will automatically expire.

The granting of a variance does not relieve the applicant from obtaining a building permit. The Special Magistrate does not have the authority to grant variances from the 100 Year Flood Level for Residential or Commercial Property.

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Variance Request Narrative

Property Address: 422 137th Avenue Circle, Madeira Beach, FL 33708

Prepared By: Paul Mazzillo, P.E.

This variance request seeks to allow construction of a new single-family home on a substandard lot measuring 40± ft by 75± ft, containing 3,022± sf, to replace the home flooded by Hurricane Helene. The R-2 Zoning district requires a minimum lot area of 4,000 sf with a minimum lot depth of 80 ft.

This request seeks a variance from Code Sec. 110-208. - Maximum lot coverage, specifically an increase in the allowable maximum lot coverage from 0.40 (40%) to 0.48 (48%) as currently measured by the City of Madeira Beach per Code Sec. 110-425. - Maximum coverage.

Code section 110-425 states, "Lot coverage shall be figured from the line where the building wall meets the grade or the support columns reach the grade."

Requested Variance from Code Sec 110-208 – Maximum lot coverage to allow construction of a 30ft by 48ft single-family residence to the setbacks previously approved by variance 2025-03.

In March of 2025, a variance was requested to reduce the required front, rear, and side setbacks for the 422 137th Avenue Circle property. The variances were to allow the construction of a 30 ft x 48 ft single-family residence as shown on the site drawing included in the City of Madeira Beach's staff review package (copy attached). The City of Madeira Beach staff recommended approval of the requested setback variances, and the variances were approved in March 2025 (Variance 2025-03).

After the setback, variances were approved in March of 2025. I proceeded with the architectural and structural design process and permitting. On November 3, 2025, construction plans were submitted to the City of Madeira Beach for review.

During the City's construction plans review, comments were issued stating that the design exceeds the maximum 40% lot coverage allowed by Sec 110-208 - Maximum lot coverage. After the comments were received, a meeting was set up with City staff. At the meeting, it was determined that an additional variance for maximum lot coverage would be required. Additionally, the Community Development Director, Marcy Forbes, stated the City would waive the variance application fee for the additional variance.

Sec. 110-208. - Maximum lot coverage.

The maximum lot coverage in the R-2, low-density multifamily residential district, is as follows:

(1) Residential use: Floor area ratio (FAR) 0.80. The maximum area of a lot or parcel to be covered by structures shall be 40 percent of the total area, except for townhouse dwelling units, which shall be 50 percent of the total lot area.

Sec. 110-425. - Maximum coverage.

Land coverage by principal and accessory buildings or structures on each lot shall not be greater than is permitted in the district as set forth within the schedule of use, lot, yard and bulk regulations, where such principal and accessory buildings are located. Lot coverage shall be figured from the line where the building wall meets the grade or the support columns reach the grade.

Response to Variance Criteria:

Variances, Sec. 2-507 (b)

(1) *Special conditions and circumstances exist which are peculiar to the land, building, or other structures for which the variance is sought and which do not apply generally to the lands, building, or other structures in the same district. Special conditions to be considered shall include, but are not limited to, the following circumstances:*

- a. *Substandard or irregular-shaped lot. If the site involves the utilization of an existing lot that has unique physical circumstances or conditions, including irregularity of shape, narrowness, shallowness, or the size of the lot is less than the minimum required in the district regulations;*

Response: Lot 30 is substandard and irregular. In the R-2 Zoning district, the minimum lot depth size is 4,000 square feet, and the minimum lot depth is 80 feet. Lot 30 is 3,022 square feet mol and has a depth of 75 feet.

- b. *Significant vegetation or natural features. If the site contains significant native vegetation or other natural features;*
- c. *Residential neighborhood character. If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements;*

Response: The requested "Maximum lot coverage" is similar to that found on other properties in the neighborhood.

- 420 137th Avenue Circle; Lot Coverage = 47% (Reference Variance 2013.01, and attached drawing);
- 429 137th Avenue Circle; Lot Coverage = 53% (Reference Variance 2019.01, and attached drawing);
- d. *Public facilities. If the proposed project involves the development of public parks, public facilities, schools, or public utilities;*
- e. *Architectural and/or engineering considerations. If the proposed project utilizes architectural and/or engineering features that would render the project more disaster resistant.*

Response: The existing home was slab-on-grade with living space on the ground floor. The previous home was substantially damaged during Hurricane Helene and flooded multiple times in the past 3 years. The new home will be built to the current FEMA requirements and hurricane wind load criteria, making the structure more disaster-resistant than the previous home.

(2) The special conditions and circumstances do not result from the actions of the applicant. A self-created hardship shall not justify a variance.

Response: Per the Pinellas County property appraiser records, this lot has existed in this configuration since 1941, when the platting was completed, and the existing structure was built in 1950.

- (3) Granting the variance will not confer on the applicant any special privilege that is denied to other lands, buildings or structures in the same zoning district.

Response: The requested "Maximum lot coverage" is similar to those found on other properties in the neighborhood. Other lots in the neighborhood are similarly deficient and have lot coverages of a comparable percentage; similar variances have been granted, and construction plans have been approved for other similar properties.

- **420 137th Avenue Circle. (Reference Variance 2013.01, and attached drawing); Coverage = 47%**

The 420 137th Ave Cir property's enclosed ground-level building area is 216± greater than the proposed area on the 422 137th Ave Cir property. The property's total ground floor area, including support columns, is 1% less than the area proposed on the adjacent property to the east.

- **429 137th Avenue Circle (Reference Variance 2019.01, and attached drawing); Coverage = 53%**

This property received a variance (2019.01) under section 110-97(b)(1) which states:

- (1) *Single-family.* May be rebuilt within the same footprint if it complies with all other existing regulatory codes and provisions of the land development regulations.

The construction approved for this property exceeds the maximum lot coverage of 40% allowed per Code Sec. 110-208. - Maximum lot coverage. Per the variance 2019.01 application drawings, the building lot coverage is 53% exceeding the 40% maximum per code by 13%.

- (4) Literal interpretation would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the land development regulations, subpart B of this Code or section 14-205 of the Code of Ordinances and would work unnecessary and undue hardship on the applicant.

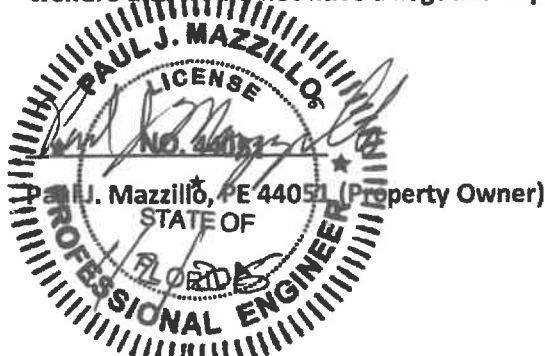
Response: Yes, without the variances, the applicant would not be able to construct a home of a similar size as other redeveloped properties found in the vicinity. The buildable area left after applying the required 40% lot coverage would deprive the applicant of a comparable level of use to other properties in the neighborhood.

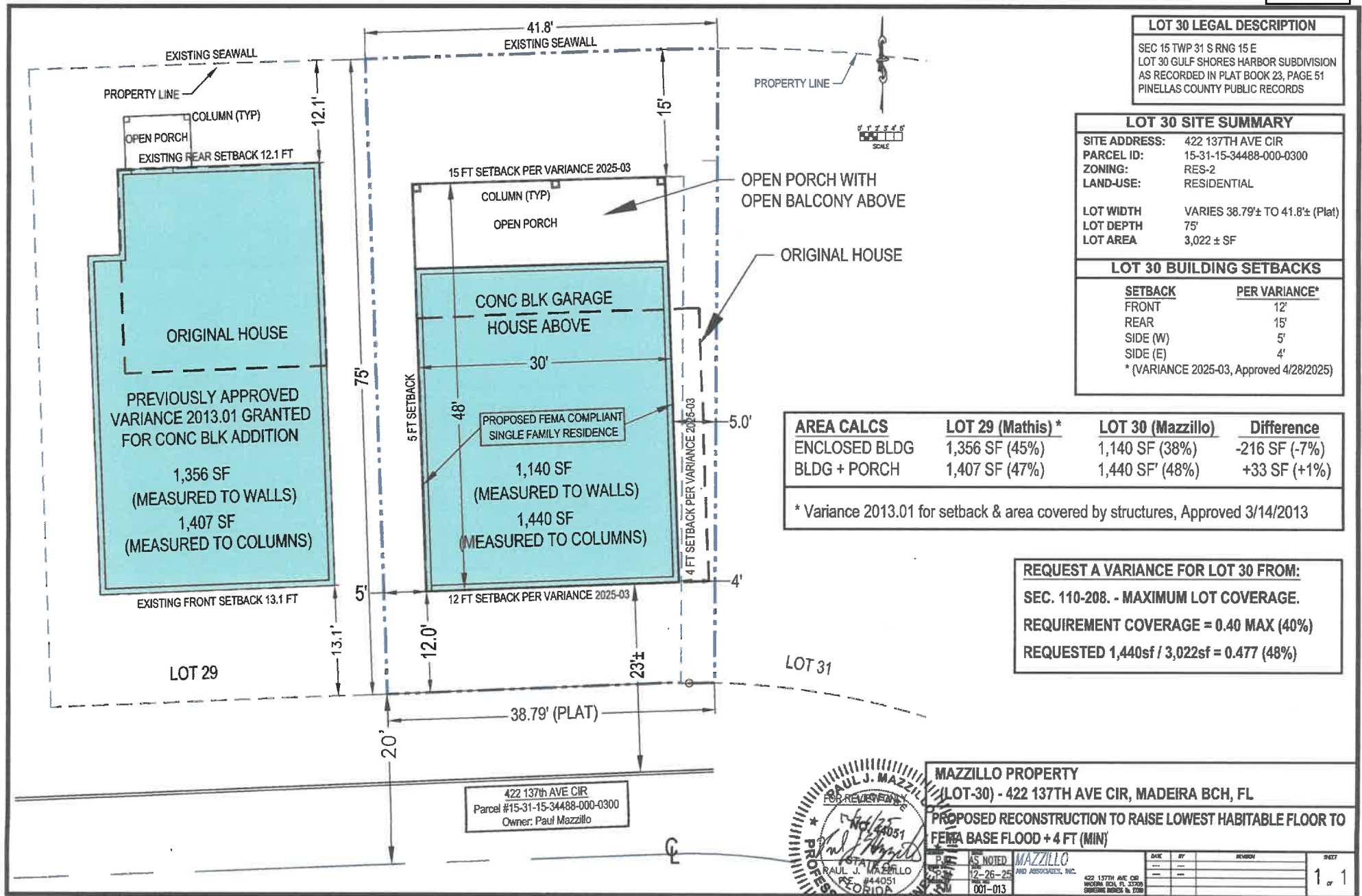
- (5) The variance granted is the minimum variance that will make possible the reasonable use of the land.

The variances proposed are the minimum to address the reduced size and configuration of the lot. What is requested brings the lot back to similar use and standards of the surrounding lots.

- (6) The granting of the variance will be in harmony with the general intent and purpose of the city land development regulations or the Code of Ordinances (when it relates to section 14-205), and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

Response: Granting the requested variances is in harmony with the general intent and purpose of the city land development regulations. The proposed increase in allowable lot coverage would allow for the construction of a new home that would meet all the other current requirements of a single-family home in the R-2 Zoning District. Granting the requested lot coverage variance would not be detrimental to public welfare and would not have a negative impact on nearby properties.





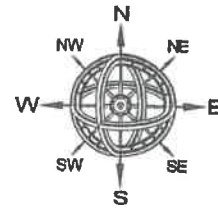
SECTION 15, TOWNSHIP 31 SOUTH, RANGE 15 EAST

CERTIFIED TO:
DONAJO LINDA MATHIS
JERRY MATHIS

A BOUNDARY SURVEY OF

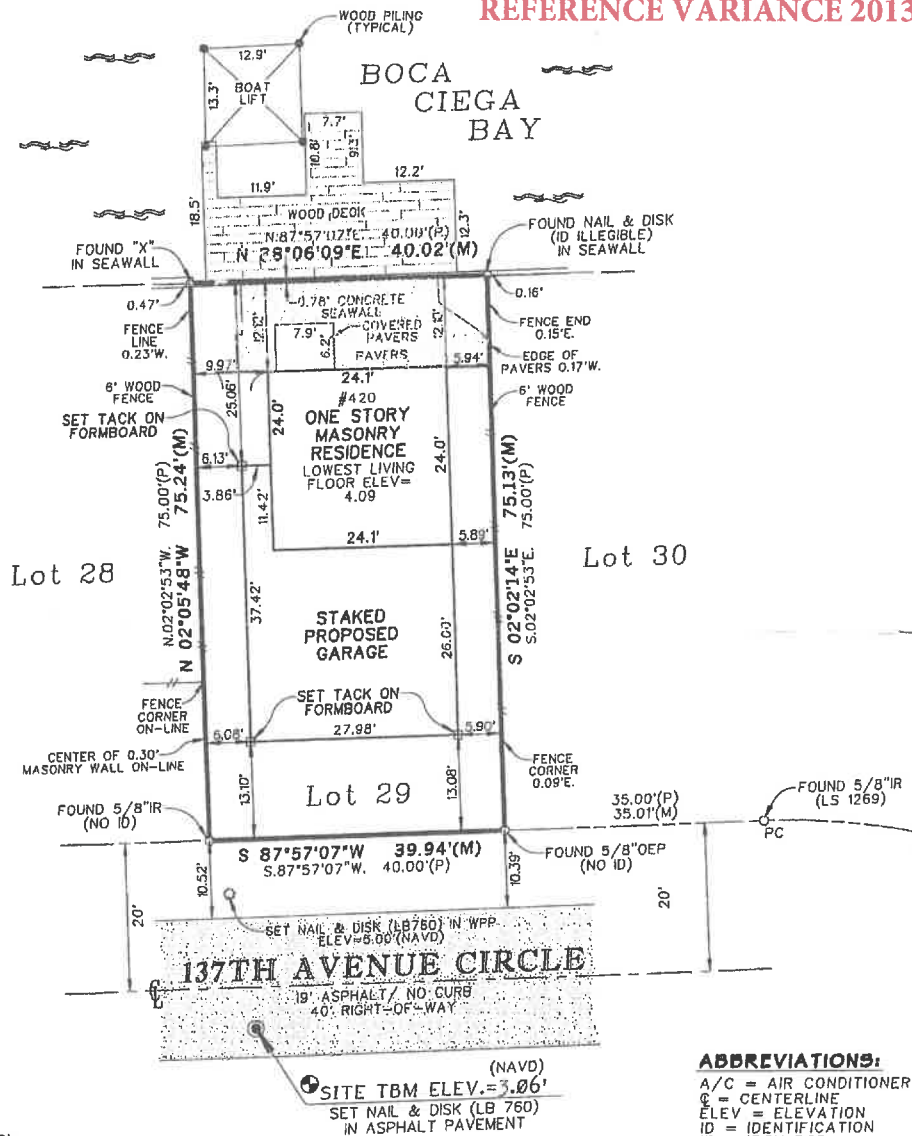
LOT 29, ACCORDING TO THE PLAT OF
GULF SHORES HARBOR SUBDIVISION
AS RECORDED IN PLAT BOOK 23, PAGE 51
OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

BOUNDARY SURVEY WITH IMPROVEMENTS
AND ELEVATION CERTIFICATE - 11/19/12
STAKE PROPOSED PILINGS - 5/13/14
STAKED PROPOSED GARAGE - 7/07/14



NORTH BASIS:
ASSUMED
SCALE: 1" = 20'

REFERENCE VARIANCE 2013.01



Flood Zone Data:
FLOOD ZONE AE (MINIMUM ELEVATION 11')
COMMUNITY PANEL #125127 12103C0191 G
REVISED 9/3/03

Basis of Bearings:
NORTH RIGHT-OF-WAY LINE OF 137TH AVENUE
CIRCLE AS BEING S.87°57'07"W., PER PLAT.

Benchmark:
DNR BRASS DISK 15-90-DA25
ELEV.=3.94' NAVD, MSL=0.00'

NOTE: This survey is made for the
exclusive use of the current owners
of the property and also those who
purchase, mortgage or guarantee the
title thereto within one (1) year from
date hereof.

ABBREVIATIONS:

A/C = AIR CONDITIONER
C = CENTERLINE
ELEV = ELEVATION
ID = IDENTIFICATION
IR = IRON ROD
LS = LICENSED SURVEYOR
(M) = MEASURED
OEP = OPEN END PIPE
(P) = PLAT
PC = POINT OF CURVATURE
TBM = TEMPORARY BENCHMARK
WPP = WOOD POWER POLE

1211-15.CRD
FIELD BOOK 901 PAGE(S) 54&55

This Survey was prepared without the benefit of a title search and is
subject to all easements, rights-of-way, and other matters of record.

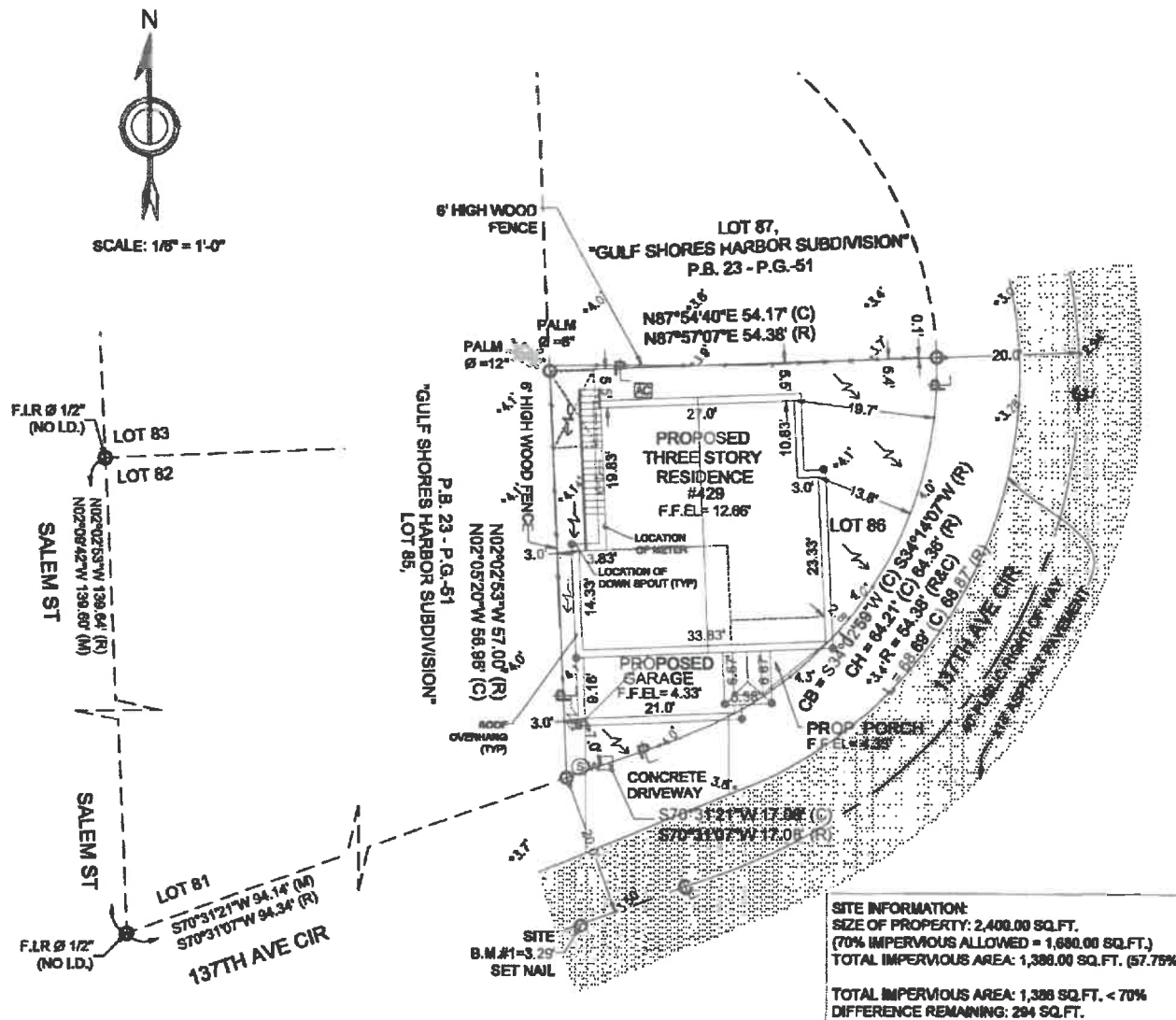
NOTE: Survey not valid without the signature and the original
raised seal of a Florida Licensed Surveyor and Mapper.

JOB# 1211-15
Drawn: DS

I hereby certify that the survey represented hereon meets
the requirements of Chapter 5J-17.05, Florida
Administrative Code.

JOHN C. BRENDLA
Florida Surveyor's Registration No. 1269
Certificate of Authorization No. 760














Prepared by:
JOHN C. BRENDLA & ASSOCIATES, INC.
CONSULTING ENGINEERS AND LAND SURVEYORS
4015 82nd Avenue North
Pinellas Park, Florida 33781
phone (727) 576-7646 ~ fax (727) 577-9932



ABBREVIATIONS

BC=BLOCK CORNER
(C)=CALCULATED
(M)=MEASURED
(R)=RECORD
(P)=PRORATED
TYP.= TYPICAL
P.B. = PLAT BOOK
P.G. = PAGE
F.I.R. = FOUND IRON ROD
F.I.P = FOUND IRON PIPE
S.I.R = SET IRON ROD
I.D = IDENTIFICATION
F.C = FENCE CORNER
B.M. = BENCHMARK
CB = CHORD BEARING
CH = CHORD DISTANCE
R = RADIUS
A = ARC LENGTH

LEGEND

-  CENTER LINE
 PROPERTY CORNER
 PROPERTY LINE
 PALM & TRUNK TREE
 CANOPY & TRUNK TREE
 PINE & TRUNK TREE
 (S) MANHOLE (SANITARY SEWER)
 71.8 GROUND ELEVATION
 70.25 PAVEMENT ELEVATION
 M METER (WATER)
 AC UNIT
 STORMWATER DRAINAGE SLOPE DIRECTION
 DOWN SPOUT

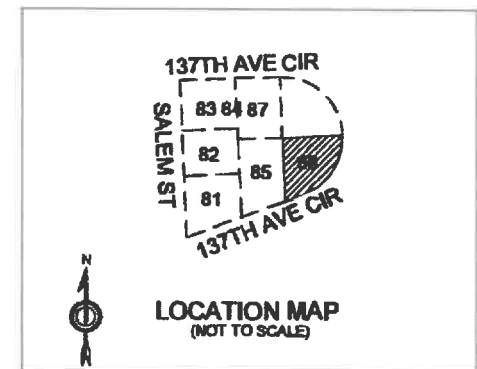
**BENCH MARK: GPS-NAIL ELEVATION: 3.29 FEET
(NAVD88)**

WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1/10 FOOT UNLESS OTHERWISE SHOWN.

BEARINGS AS SHOWN HEREON ARE BASED UPON
AN ASSUMED VALUE OF S34°02'59"W FOR THE
WEST RIGHT OF WAY LINE OF 137TH AVE CIR AS
DEPICTED ON THE MAP OF SURVEY.

**LEGAL DESCRIPTION SUBJECT TO ANY
DEDICATIONS, LIMITATIONS, RESTRICTIONS,
RESERVATIONS OR RECORDED EASEMENTS.**

**NO TREES FOUND 20' AWAY FROM PROPERTY
UNLESS DEPICTED ON THIS MAP.**



PROPERTY ADDRESS:
429 137TH AVE CIR,
MADEIRA BEACH, FL 33708
(FOLIO No. 15-31-15-34488-000-0880)

DESCRIPTION:
LOT 88 OF "GULF SHORES HARBOR SUBDIVISION",
ACCORDING TO THE PLAT THERE OF AS
RECORDED IN PLAT BOOK 23 AT PAGE 51 OF
THE PUBLIC RECORDS OF PINELLAS COUNTY,
FLORIDA.

FLOOD ZONE INFORMATION:
COMMUNITY: CITY OF MADEIRA BEACH-125127
MAP/PANEL NO. 12103C0191G
SUFFIX: G
FIRM DATE: 09/03/2019
FLOOD ZONE: AE + 11

OWNER:

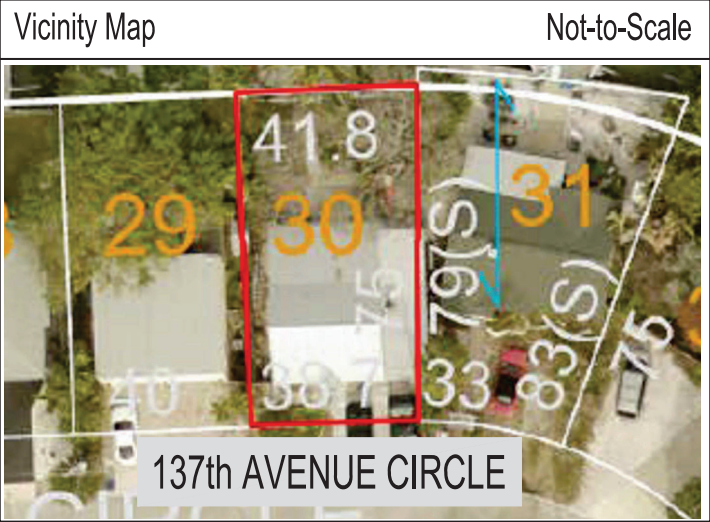
ANDRES PEÑA
ANDREWS PARTNERS OF FLORIDA LLC

SHEET

1/1

VAR 2026-01

Attachment 2



Job Number : 239981-CW	Field:
Drawn By : S.C.V.	Date of Field Work : 03/31/2025
Revisions	

Bearing Basis:

CENTER LINE OF 137th AVENUE CIRCLE AS S87° 57' 07"W
ALL BEARINGS SHOWN HEREON REFERENCED THERETO.

Elevations, if shown:	
Benchmark: AG 0775	Elevations on Drawing are in:
Benchmark Elev.: 51.07'	N.G.V.D.29 <input type="checkbox"/> N.A.V.D.88 <input checked="" type="checkbox"/>
Benchmark Datum: N.A.V.D.88	

CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS OUTLINED IN CHAPTER 5J-17.051 & 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT THE ELECTRONIC SIGNATURE AND SEAL (IF AFFIXED) HEREON MEETS PROCEDURES AS SET FORTH IN CHAPTER 5J-17.062. PURSUANT TO SECTION 472.025, FLORIDA STATUTES.

SIGNATURE _____ DATE: 4-7-2025
PABLO ALVAREZ - PROFESSIONAL SURVEYOR AND MAPPER FLORIDA
REGISTRATION NO. 7274 (NOT VALID WITHOUT THE SIGNATURE AND
ORIGINAL RAISED SEAL OR THE ELECTRONIC SEAL (IF AFFIXED) OF THE
FLORIDA LICENSED SURVEYOR AND MAPPER SHOWN ABOVE)

Surveyors Notes:

1. THIS SURVEY IS BASED UPON RECORD INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
2. ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING FROM THE REMOVAL OF, OR CHANGES MADE TO, ANY FENCES UNLESS WE HAVE PROVIDED A SURVEY SPECIFICALLY LOCATING SAID FENCES FOR SUCH PURPOSES.
3. GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
4. UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
5. ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988) AS SHOWN HEREON.
6. ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
7. ANY CORNERS SHOWN AS "SET" HAVE EITHER BEEN SET ON THE DATE OF FIELD WORK, OR WILL BE SET WITHIN 1-2 WEEKS OF SAID DATE AND ARE IDENTIFIED WITH A CAP MARKED LB (LICENSED BUSINESS) #8598.
8. UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR DIGITAL SEAL OF A FLORIDA LICENSED SURVEYOR OR MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSE ONLY AND IS NOT VALID.
9. ALL DATES SHOWN WITHIN THE REVISION BLOCK HEREON ARE FOR INTEROFFICE FILING USE ONLY AND IN NO WAY AFFECT THE DATE OF THE FIELD SURVEY STATED HEREIN. UNLESS OTHERWISE NOTED.
10. BEARINGS FOLLOWED BY A (M) HAVE BEEN COLLECTED IN FIELD AND ARE IN STATE PLANE (GRID) BEARING BASIS.

Survey Related Information and Certifications:

CERTIFIED TO
PAUL MAZZILLO

Abbreviation Legend (Some items in legend may not appear on drawing)

A OR AL = ARC LENGTH	FPL = FLORIDA POWER AND LIGHT	PH = POOL HEATER	TR = TELEPHONE RISER
AT&T = AMERICAN TELEPHONE & TELEGRAPH	F.F.E. = FINISHED FLOOR ELEV. FIR = FOUND IRON ROD	PI = POINT OF INTERSECTION PK = PARKER KAELO	TWP = TOWNSHIP UE = UTILITY EASEMENT
BFP = BACKFLOW PREVENTER	FN = FOUND NAIL	R = RADIUS	UP = UTILITY POLE
BSL = BUILDING SETBACK LINE	FND = FOUND FLOOR ELEV.	POB = POINT OF BEGINNING	WM = WATER METER
C/O = CLEANOUT	G.F.F.E = GARAGE FINISHED	POC = POINT OF COMMENCEMENT	WV = WATER VALVE
CA = CENTRAL ANGLE	ICV - IRRIGATION CONTROL VALVE	PP = POOL PUMP	
CATV = CABLE TV RISER	L= LEGAL DESCRIPTION	PRC = POINT OF REVERSE CURVATURE	
CF = CALCULATED FROM FIELD	M = MEASURED	QTR = QUARTER	
CH = CHORD DISTANCE	OHC = OVERHEAD CABLE	RNG = RANGE	
CONC. = CONCRETE	P = PLAT	ROW = RIGHT OF WAY	
CR = CALCULATED FROM RECORD	PC = POINT OF CURVATURE	SEC = SECTION	
DE = DRAINAGE EASEMENT	PCC = POINT OF COMPOUND CURVATURE		
EL OR ELEV = ELEVATION			
EM = ELECTRIC METER			

Symbols (Some items in legend may not appear on drawing - Not to Scale)

= UTILITY POLE	= WELL	= HANDICAP SPACES
= LIGHT POLE	= CENTER LINE	= TEMPORARY SITE BENCHMARK
= CATCH BASIN	= PARTY WALL	
= FIRE HYDRANT	= AIR CONDITIONER	
= MANHOLE	= SEPTIC LID	= SEC. QTR. CORNER
= WATER VALVE	= ELEV. SHOT	= SECTION CORNER
= WATER METER		

Legal Description:

LOT 30 OF GULF SHORES HARBOR SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 23, ON PAGE 51, OF THE PUBLIC RECORDS OF PINELLAS. COUNTY, FLORIDA.

Platted Easements & Notable Conditions (unplatted easements also listed if provided):

- WOOD DECK AND BOAT LIFT CROSSES THE BOUNDARY LINE ON NORTHERLY SIDE OF LOT AS SHOWN.
- PLASTIC SHED CROSSES THE BOUNDARY LINE ON WESTERLY SIDE OF LOT AS SHOWN.

PRINTING INSTRUCTIONS

WHEN PRINTING THIS PDF IN ADOBE. SELECT "ACTUAL SIZE" TO ENSURE CORRECT SCALING. DO NOT USE "FIT".

This survey has been issued by the following Landtec Surveying office:
840 US Hwy 1, Suite 330
North Palm Beach, Florida 33408
Office: (561) 210-9344 www.LandtecSurvey.com
Email: Construction@landtecsurvey.com

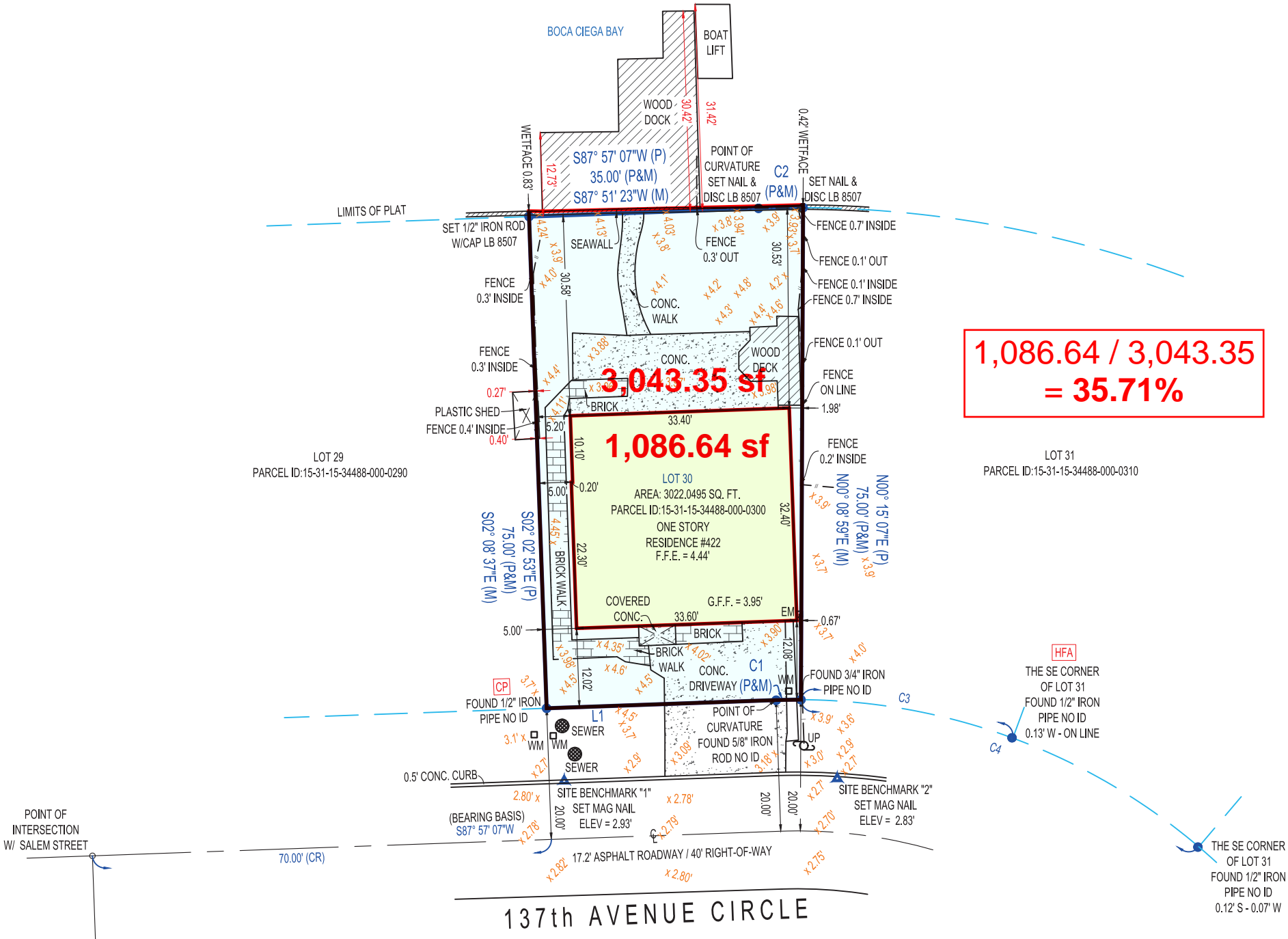
LICENSED BUSINESS No. 25



SCALE: 1"=20'

PROPERTY ADDRESS:
422 137th AVENUE CIRCLE, MADEIRA BEACH, FL. 33708

FLOOD INFORMATION:
ZONE: "AE"
ELEV.= 10.00' (NAVD88)
MAP PANEL#: 12103C0191H
EFFECTIVE DATE: 08/24/2021



CURVE TABLE				CHORD LENGTH	CHORD BEARING
	LENGTH	RADIUS	DELTA		
C1	3.79'	94.38'	02°18'00"	3.79'	N89°06'07"E
C2	6.80'	169.38'	02°18'00"	6.80'	S89°06'07"W
C3(P)	33.00'	94.38'	20°02'00"	32.83'	S79°43'53"E
C3(M)				32.69'	S79°47'17"E
C4(CR)	66.00'	94.38'	40°04'00"	64.66'	S69°42'53"E
C4(M)				64.54'	S69°38'27"E

LINE TABLE		
	BEARING	DISTANCE
L1(P)	N87°57'07"E	35.00'
L1(M)	N87°53'32"E	35.00'

Job Number : 239981-CW	Field:
Drawn By : S.C.V.	Date of Field Work : 03/31/2025
Revisions	

This survey has been issued by the following Landtec Surveying office:
840 US Hwy 1, Suite 330
North Palm Beach, Florida 33408
Office: (561) 210-9344 www.LandtecSurvey.com
Email: Construction@landtecsurvey.com



VAR 2026-01

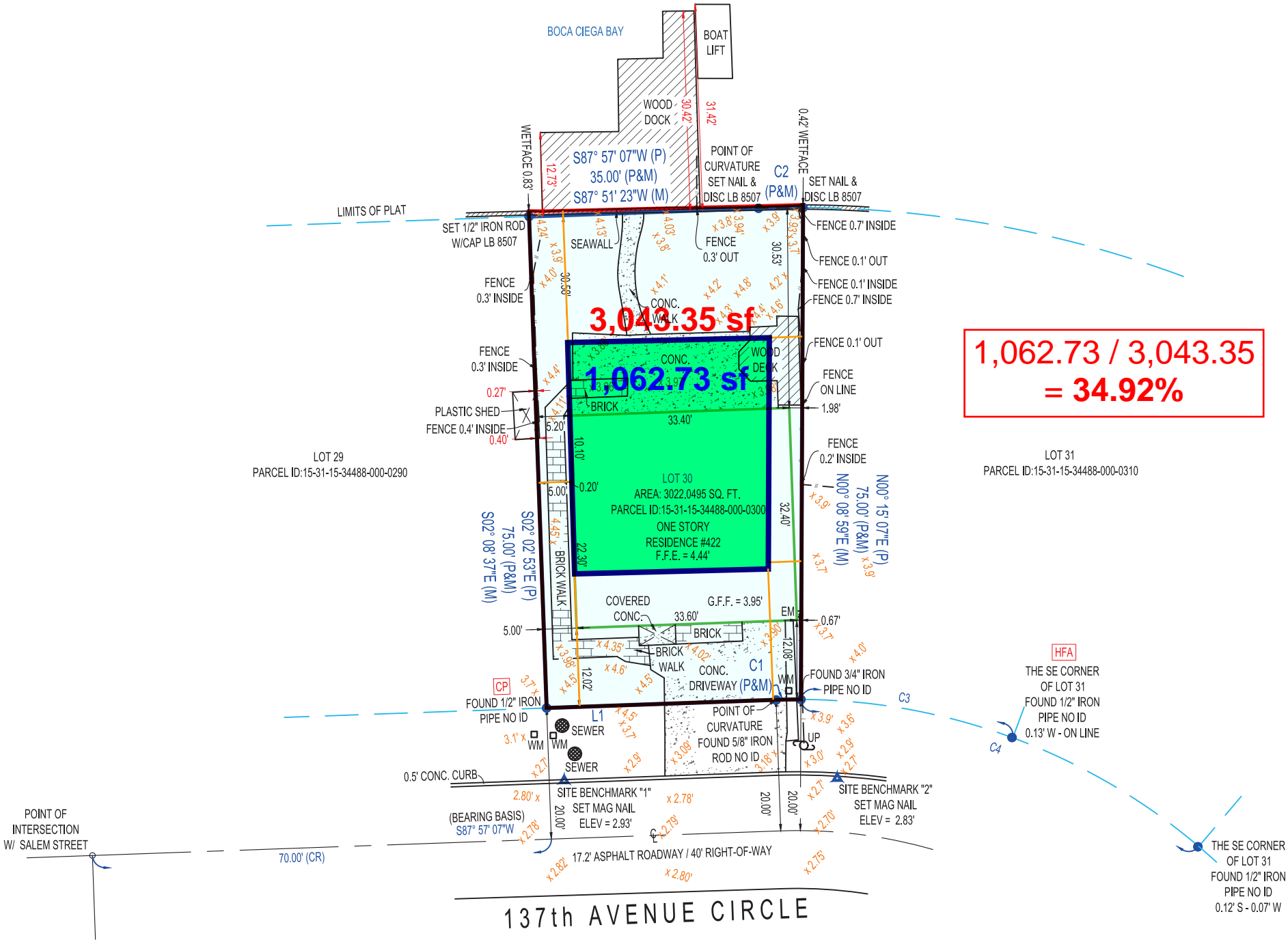
Attachment 3



SCALE: 1"=20'

PROPERTY ADDRESS:
422 137th AVENUE CIRCLE, MADEIRA BEACH, FL. 33708

FLOOD INFORMATION:
ZONE: "AE"
ELEV.= 10.00' (NAVD88)
MAP PANEL#: 12103C0191H
EFFECTIVE DATE: 08/24/2021



CURVE TABLE				CHORD LENGTH	CHORD BEARING
	LENGTH	RADIUS	DELTA		
C1	3.79'	94.38'	02°18'00"	3.79'	N89°06'07"E
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C3(P)	33.00'	94.38'	20°02'00"	32.83'	S79°43'53"E
C3(M)				32.69'	S79°47'17"E
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C4(M)				64.54'	S69°38'27"E

LINE TABLE		
	BEARING	DISTANCE
L1(P)	N87°57'07"E	35.00'
L1(M)	N87°53'32"E	35.00'

Job Number : 239981-CW	Field:
Drawn By : S.C.V.	Date of Field Work : 03/31/2025
Revisions	

This survey has been issued by the following Landtec Surveying office:
840 US Hwy 1, Suite 330
North Palm Beach, Florida 33408
Office: (561) 210-9344 www.LandtecSurvey.com
Email: Construction@landtecsurvey.com



VAR 2026-01

Attachment 4



City of Madeira Beach
Building Department
300 Municipal Drive
Madeira Beach, FL 33708
(727) 391-9951 Ext. 284

Item 5A.

Date: Wednesday, December 3, 2025

Project Number 2025-4294-BGDR

Job Address: 422 137TH AVENUE CIR, MADEIRA BEACH, FL 33708

Description of Work: Reconstruct a single family residential structure. Install wood pilings, construct foundation, concrete block wall first floor and wood frame 2nd and 3rd floors. Project includes connecting newly constructed structure to existing water, and sewer service laterals.- Private provider plan and inspection review.

To whom it may concern;

Staff has completed its review of plans for the property that is to be located at 422 137TH AVENUE CIR, MADEIRA BEACH, FL 33708.

Planning and Zoning Review pending by Joseph Petraglia

BUILDING IS OVER STRUCTURE COVERAGE AND FAR. PLANS NEED TO BE REDESIGNED. SEE COMMENT 3 FOR MORE INFO (SEC. 110-208)

1. The most recent architectural plan set (dated 10/28/25) is not digitally signed and sealed. Be sure to upload the original digitally signed and sealed plan set, as required for submittal.

2. On the survey, please provide off site topography of adjacent properties (Sec. 94-50). Topography of lot 29 is not shown and lot 31 only shows elevations along the front half of the property.

3-15. Please see P&Z Markup 1.0

16. Please provide a non-conversion agreement recorded with the county clerk of court (sec. 94-50):

<https://madeirabeachfl.gov/documents/nonconversion-agreement/>

Please provide a response letter addressing all comments & pointing out where clouded revisions can be found. Do not email revisions to reviewers. Do not upload your revision until all necessary project files have been included.

Joseph Petraglia, CFM
Planner II
(727) 603-0423
jpetraglia@madeirabeachfl.gov

Resubmissions and revisions can be submitted in the customer portal at www.mgoconnect.org. Should you have any issues resubmitting your permit please contact building department at buildingdept@madeirabeachfl.gov.

VAR 2026-01

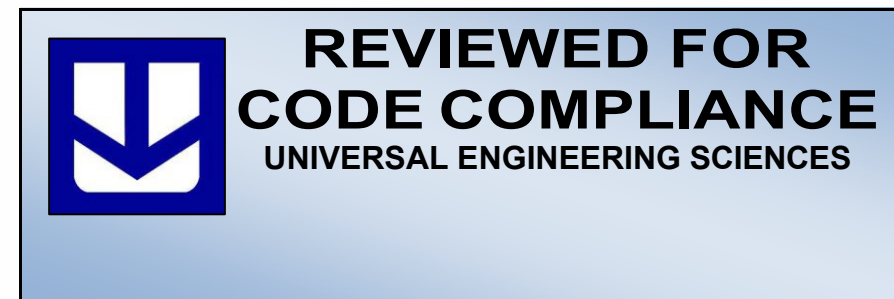
Attachment 5



④ Back 3D



③ Front 3D

**GENERAL NOTES**

1) THE INFORMATION CONTAINED WITHIN THESE DOCUMENTS IS ISSUED TO SHOW DESIGN INTENT AND BASIC FRAMING DETAILS. BY ENTERING INTO A CONTRACT, THE GENERAL CONTRACTOR ASSUMES ALL RESPONSIBILITY TO PERFORM ALL WORK WITHIN STANDARD CONSTRUCTION PRACTICES THAT ENSURE PROPER STRUCTURAL DETAILING, WEATHERPROOF CONSTRUCTION, AND QUALITY WORKMANSHIP. ALL CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES AND STANDARDS. THE GENERAL CONTRACTOR SHALL NOTIFY OWNER IN WRITING OF ANY DISCREPANCIES OR PROBLEMS OBSERVED OR PERCEIVED WITHIN THESE DOCUMENTS PRIOR TO PROCEEDING WITH WORK.

2) GENERAL CONTRACTOR SHALL PROVIDE DESIGN / BUILD STRUCTURAL (AS NEEDED), MECHANICAL, ELECTRICAL, PLUMBING AND SITE DRAINAGE. REVIEW AND COORDINATE WITH THE ARCHITECTURAL DRAWINGS, FOR OWNER(S) APPROVAL PRIOR TO PRECEEDING WITH CONSTRUCTION.

3) THE DESIGNER CANNOT IN ANY WAY BE HELD LIABLE FOR ANY DESIGN OR CONSTRUCTION RELATED PROBLEMS THAT MAY OCCUR THROUGHOUT CONSTRUCTION AND THE LIFE OF THE HOME. STRUCTURAL, CONSTRUCTION AND DESIGN ISSUES THAT MAY ARISE ARE ULTIMATELY THE LIABILITY OF THE HIRED GENERAL CONTRACTOR.

4) CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE PRICING OF THIS PROJECT AND REVIEW ALL AREAS CONCERNED WITH THIS PROJECT.

5) CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING PORTIONS OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.

6) CONTRACTOR SHALL SECURE ANY LICENSES AND INSPECTIONS NECESSARY FOR WITH AND GIVE NOTICES REQUIRED BY LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON PERFORMANCE OF THE WORK.

7) INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED SPECIFICATIONS.

8) USE ALL GIVEN DIMENSIONS ONLY; IF NOT SHOWN, VERIFY CORRECT DIMENSION(S) WITH DESIGNER. GENERAL CONTRACTOR SHALL VERIFY AND CHECK ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. DO NOT SCALE THE DRAWINGS. IF DIMENSIONS ARE IN QUESTION OR DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE DESIGNER BEFORE PROCEEDING.

9) ALL FLOOR TO FLOOR AND CEILING HEIGHTS SHOWN ON DRAWINGS ARE FROM FINISH FLOOR ARE MAY CHANGE DUE TO EXISTING FIELD CONDITIONS. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING GRADES, TREE LOCATIONS, AND PROPOSED BUILDING LOCATION(S) AND SHALL ADVISE DESIGNER OF ANY RECOMMENDED ADJUSTMENTS PRIOR TO PROCEEDING WITH CONSTRUCTION.

10) GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE T.V. ETC.) CONNECTIONS. ALL CONNECTIONS, METERS, CLEAN OUTS ETC., SHALL BE LOCATED IN A NONVISUALLY OFFENSIVE AREA APPROVED BY DESIGNER.

11) ALL WINDOW AND DOORS ARE C.F.C.I. WINDOW AND DOOR SIZES INDICATED ON PLANS ARE NOTED BY GENERIC SASH SIZES.

12) ALL WOOD FRAMING THAT COMES IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED (PT).

13) ALL PLUMBING FIXTURES TO BE C.F.C.I. UNLESS NOTED OTHERWISE. DESIGNER AND OWNER TO SPECIFY AND APPROVE ALL FIXTURES PRIOR TO PURCHASE AND INSTALLATION.

③ These calculations do not match the plans or the ISR worksheet. Based on the plans, the proposed structure coverage is roughly 48% (1,443/3,028), and the FAR is about 81.3%. Max structure coverage is 40%, and max FAR is 80% (sec. 110-208).

VAR 2025-03 was granted specifically for setbacks and city staff would not recommend any additional variances to create additional nonconformities as both of these codes where met with the existing structure. Please revise plan and ISR breakdown accordingly.

1,443/3,028=
48%; Existing is
36% Reqd is
40%

FAR: 81% (see
next sheet)

EROSION CONTROL NOTE:
• SILT FENCE CURRENTLY PLACE AROUND PROPERTY, TO STAY. ALL INLETS NEAREST TO THE CONSTRUCTION SITE MUST BE PROTECTED WITH A FILTER SOCK ON THE EXTERIOR OF THE INLET PER CITY GUIDELINES.

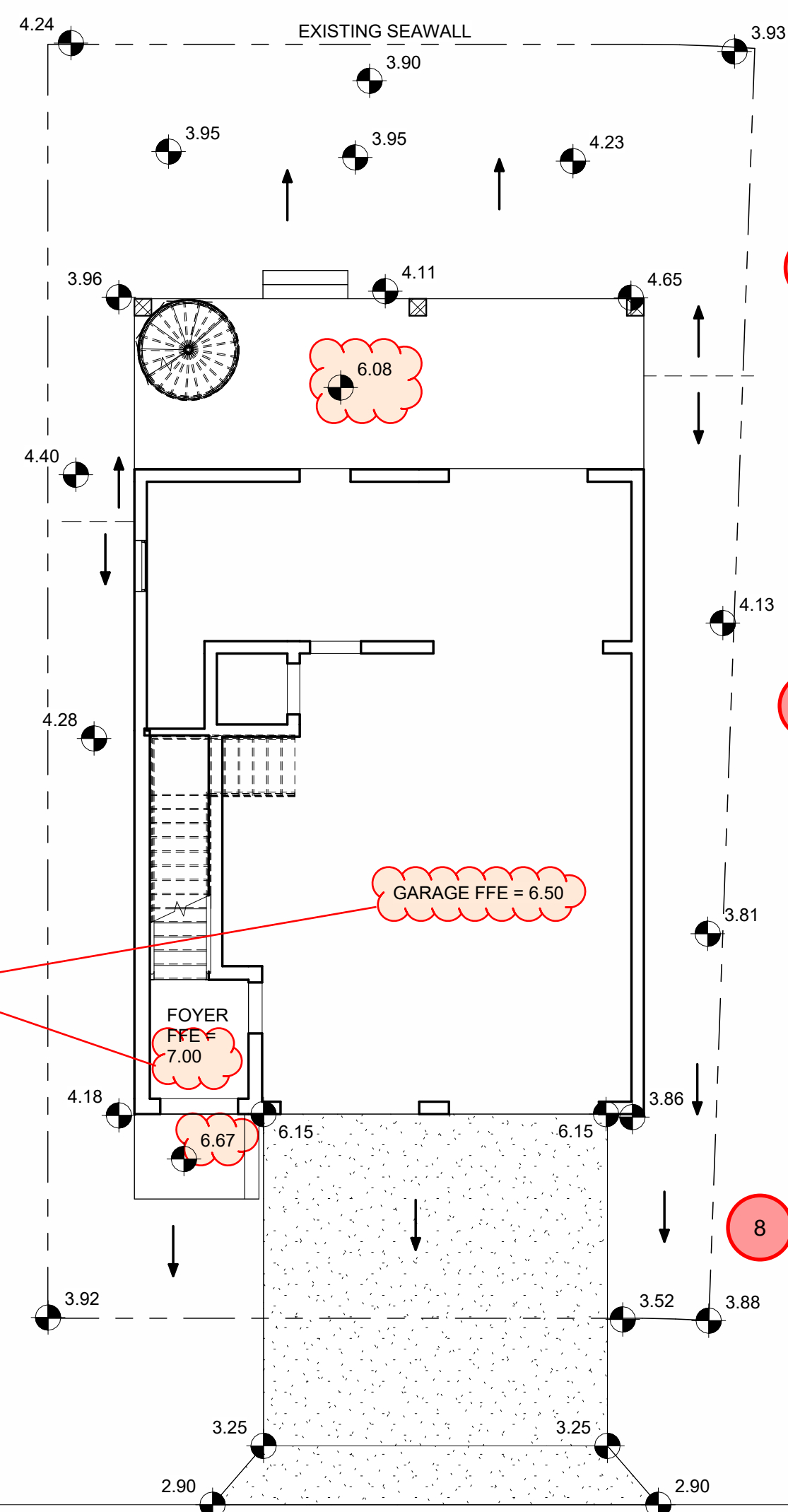
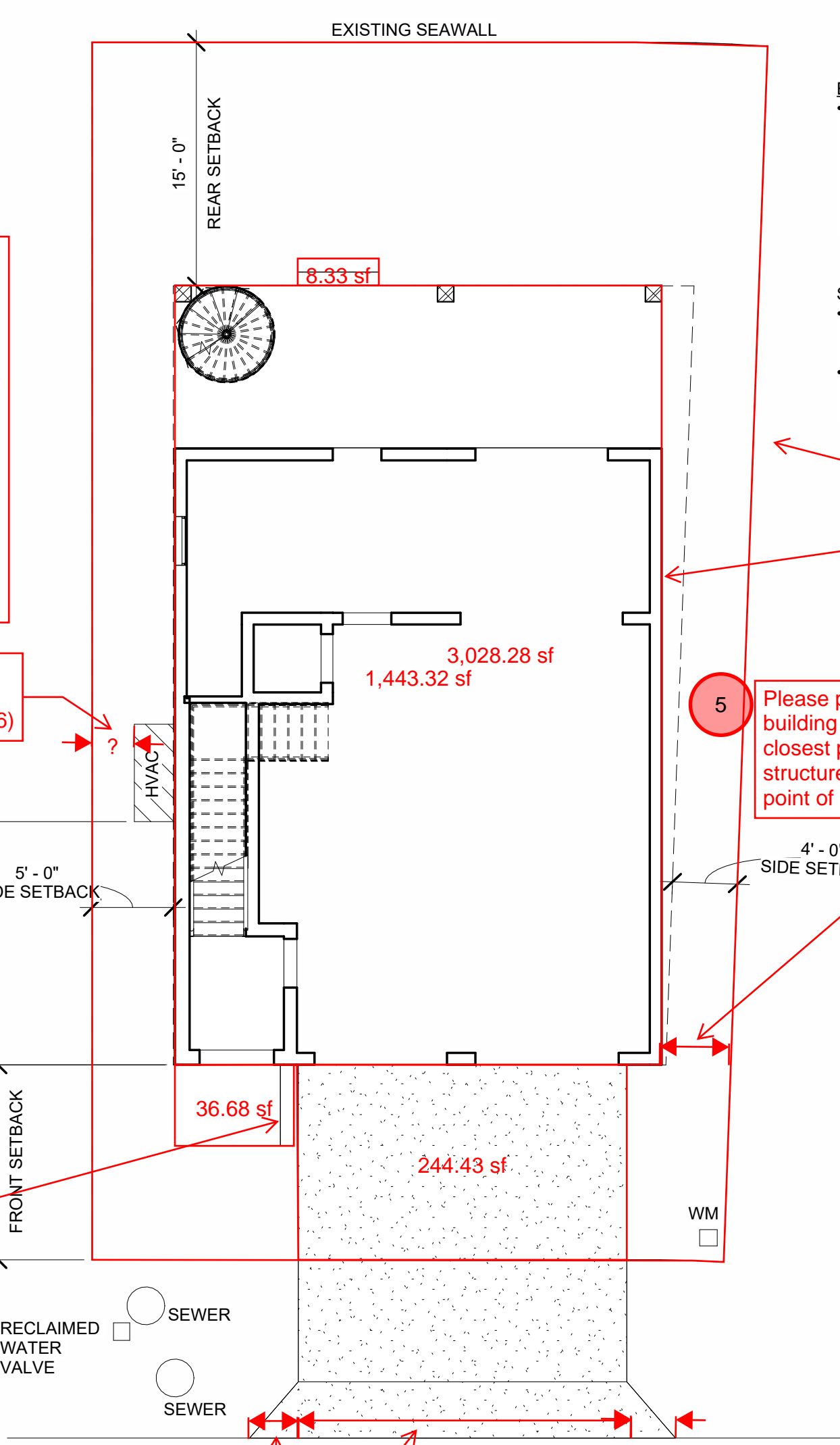
SITE PLAN NOTES:
• ELECTRICAL SERVICE TO BE UNDER GROUND IN COMPLIANCE WITH MADEIRA BEACH CODE, TYP.
• GUTTERS AND DOWNSPOUTS TO BE DIRECTED AWAY FROM ADJACENT PROPERTIES, TYP.

④ Please include the dimensions of the building, and all lot lines (sec. 86-53).

Sheet List	
Sheet Number	Sheet Name
A0	Cover Sheet
A1.0	Floorplan
A1.1	Roof Plan
A2.0	Elevations
A2.1	Elevations
A3.0	Sections
A4.0	RCPs
A4.1	Power Plans
A5.0	Threshold & Opening Details
A5.1	Envelope & Flashing Details

SITE DATA:
ISR: 1,730 / 3,022 = 0.57 - PER ISR WORKSHEET
FAR: 2,401 / 3,022 = 0.79 < 0.80 MAX
STRUCTURE COVERAGE:
1,138 / 3,022 = 0.38 < 0.40 MAX

Area Schedule (Gross Building)		
Level	Name	Area
First Floor	Garage	1000 SF
First Floor	Foyer	138 SF
Second Floor	Conditioned	1207 SF
Third Floor	Conditioned	1194 SF
		3540 SF

BOCA CIEGA BAY② Drainage Plan
1/8" = 1'-0"**BOCA CIEGA BAY**① Site Plan
1/8" = 1'-0"

⑥ Please show electric meter on both the site plan and elevation sheets. Meter height must be between 4' and 5.5' measured from the center of the meter box. The city does not require the meter to be elevated above the DFE, but if it is a 3' x 5' access platform with the 5' depth facing the meter will be required. The platform would only be permitted to encroach up to 50% of the required side yard setback.

⑦ Please provide setback for HVAC equipment. Min. required is 2.5' (sec. 110-206)

⑧ Please provide wall height. Walls in front yard may not exceed three feet in height (sec. 110-447).

⑨ Please provide driveway and flare widths. Max is 24' plus two 3' flares. (sec. 58-32)

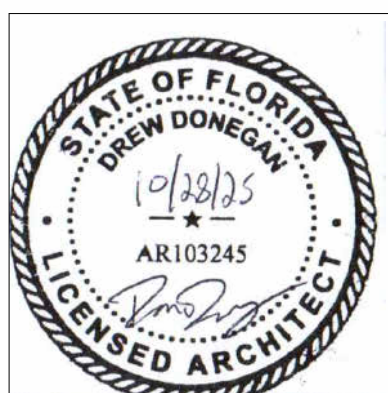
⑤ Please provide building ties from closest point of structure to closest point of property line.

⑩ Drainage plan not yet reviewed. Since the proposed ground floor elevation is more than the normally permitted two feet above the crown of road (2.8') these plans will require an additional review from the city's engineering sub-consultant. Please revise, or email planning@madierabeachfl.gov to schedule a meeting once all other comments have been addressed.

⑪ Please provide an erosion control plan including silt fence and construction entrance details and locations. (sec. 98-33)

ADDRESS
**422 137th Ave Cir.
Madeira Beach, FL 33708**

OWNER : Paul Mazzillo



Issue	Date	Description
0	10/15/2025	PERMIT SET
1	10/28/2025	REV 1

REV 1

Single Family Residence - New Construction

FOR CONSTRUCTION

Architect:

Drew Donegan
drew@donegandesign.com
615.829.9148

donegan design

Door Schedule		
Door Type	Door Size	Finish Comments
1	3'-0" x 8'-0"	Exterior Entry Door
2	6'-0" x 8'-0"	Double Glass Sliding Door
3	3'-0" x 8'-0"	
4	2'-8" x 8'-0"	
5	2'-6" x 8'-0"	Pocket Door
6	6'-0" x 8'-0"	Sliding Closet Door
7	4'-0" x 8'-0" Bi-Fold 4 Panel Closet Door	
8	2'-8" x 8'-0"	Cased Opening
9	2'-6" x 8'-0"	
10	8'-8" x 10'-0"	Garage Door
11	8'-0" x 10'-0"	Garage Door
12	3'-0" x 6'-8"	
13	3'-0" x 6'-8"	

Window Schedule				
Type Mark	Rough Opening		Head Height	Comments
	Width	Height		
A	2' - 6"	5' - 6"	8' - 0"	
B	3' - 0"	2' - 0"	<varies>	10' HEAD HEIGHT ON GROUND FLOOR, 8' ON OTHER FLOORS
C	2' - 0"	6' - 0"	8' - 0"	
D	5' - 0"	5' - 6"	8' - 0"	
E	4' - 8"	1' - 4"	9' - 5"	
F	2' - 6"	5' - 0"	8' - 0"	
G	2' - 6"	4' - 6"	8' - 0"	

NOTE:
PROVIDE IMPACT RESISTANT GLAZING AT ALL DOORS AND WINDOWS. CONTRACTOR SHALL PROVIDE CERTIFICATION FOR IMPACT RESISTANT GLAZING.

SHEET NOTES

- 1) MASONRY DIMENSIONS ARE FROM FACE OF CMU BLOCK TO CMU BLOCK, UNLESS OTHERWISE NOTED.
- 2) FRAMING DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- 3) ALL WOOD FRAMING THAT COMES IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED (PT).

- 4) INSTALL WATERPROOF MEMBRANE & INSULATION @ FOUNDATIONS PER MANUFACTURER SPECIFICATIONS.
- 5) FLOOR, WALL, & ROOF INSULATION TO MEET APPLICABLE CODES.
- 6) DOORS SHALL BE LOCATED 4" FROM CLEAR OPENING TO ADJACENT WALL UNLESS OTHERWISE NOTED OR SHOWN ON PLAN.

- 7) CASEWORK & MILLWORK DIMENSIONS SHALL BE VERIFIED BEFORE UNIT FABRICATION OR INSTALLATION. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR DESIGNER'S APPROVAL.

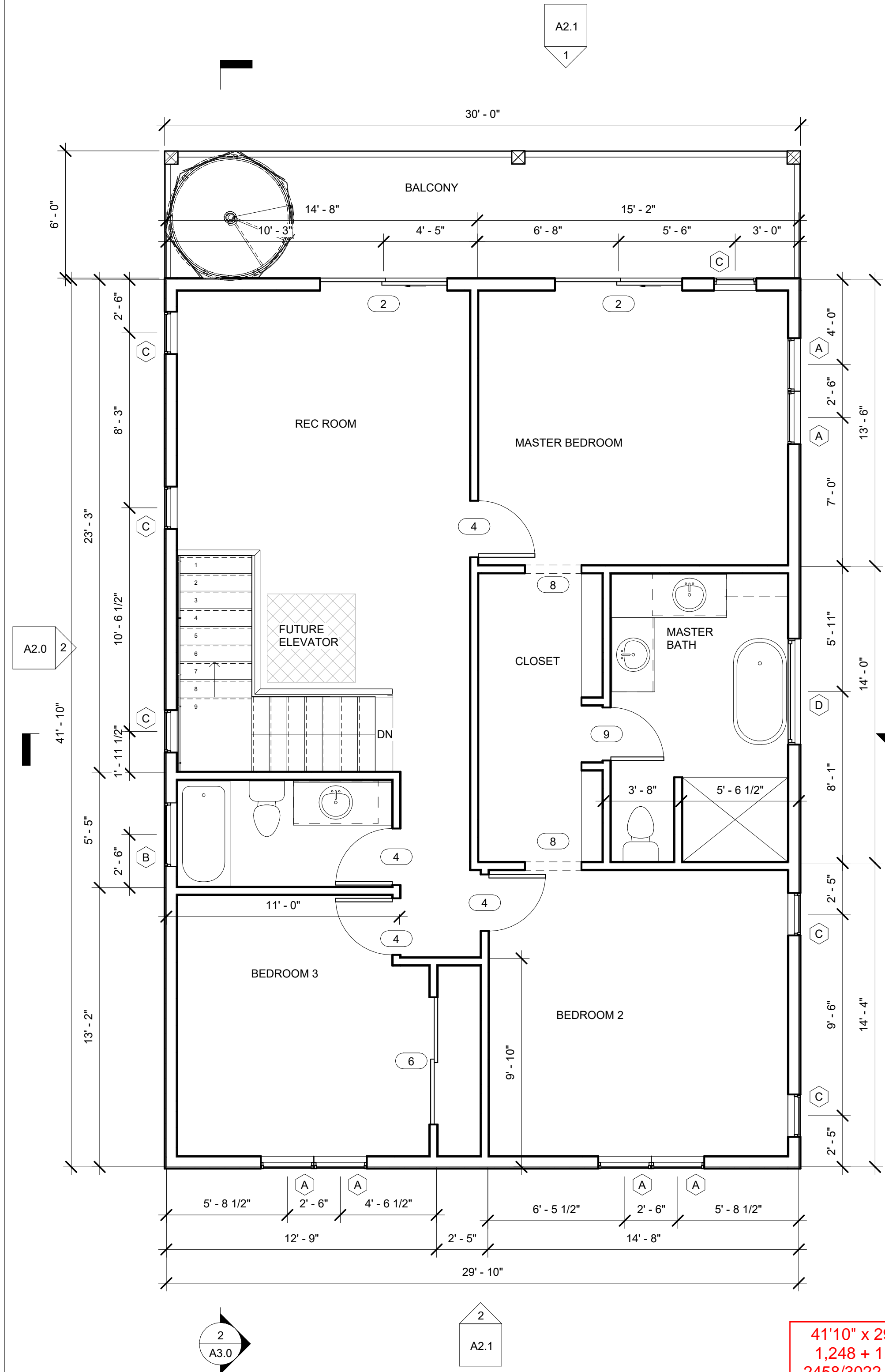
FLOOD VENT CALCULATIONS - SMARTVENT FL PA #5822-R8				
	SQUARE FOOTAGE (INSIDE WALLS)	REQUIRED SQUARE INCHES FLOOD VENT	6"x16" FLOOD VENT CAPACITY	# OF VENTS REQUIRED
GARAGE	1000 SQ FT	1000 SQ IN	200 SQ IN / VENT	5.00
FOYER	138 SQ FT	138 SQ IN	200 SQ IN / VENT	0.69

Area Schedule (Gross Building)		
Level	Name	Area
First Floor	Garage	1000 SF
First Floor	Foyer	138 SF
Second Floor	Conditioned	1207 SF
Third Floor	Conditioned	1194 SF
		3540 SF

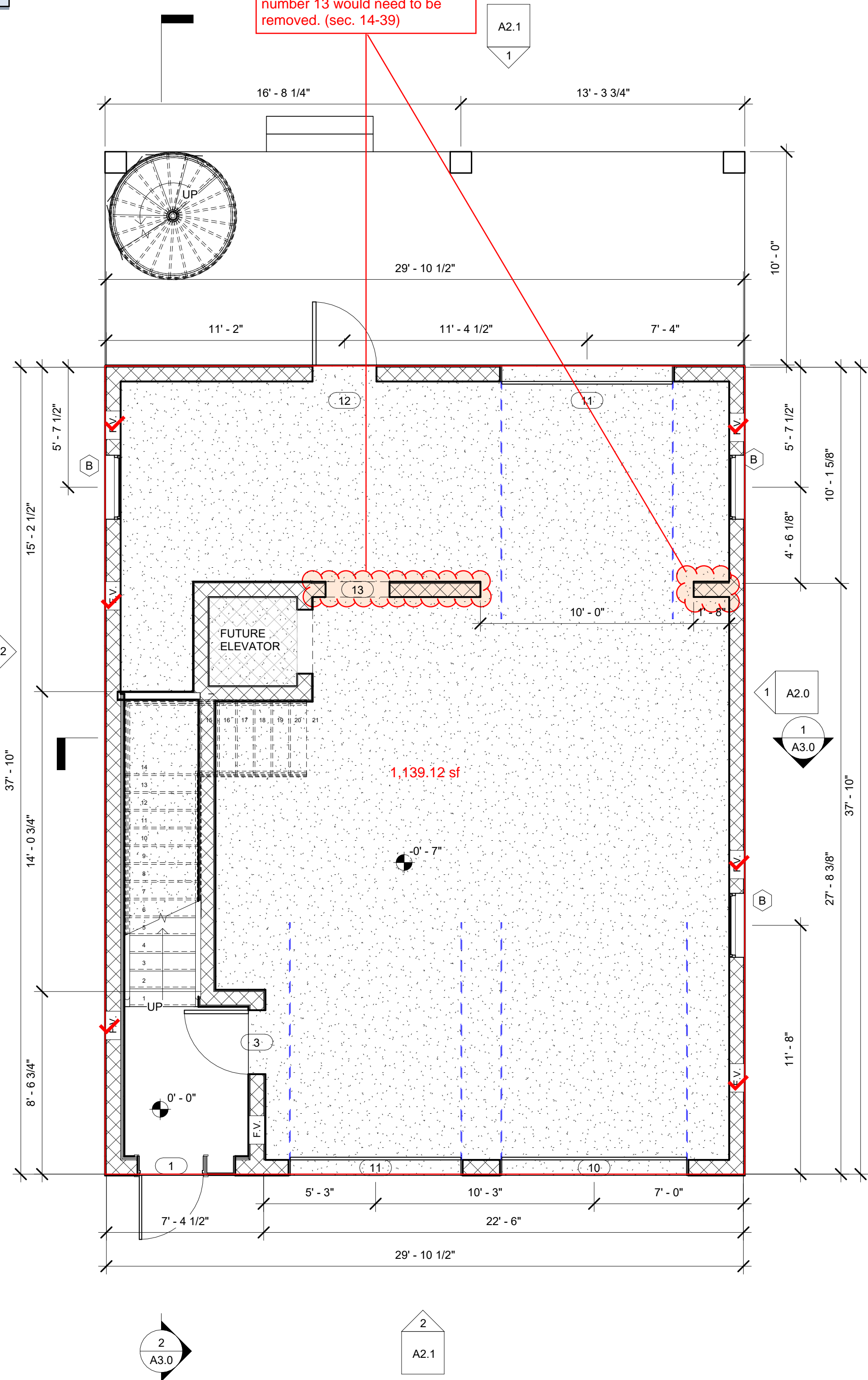
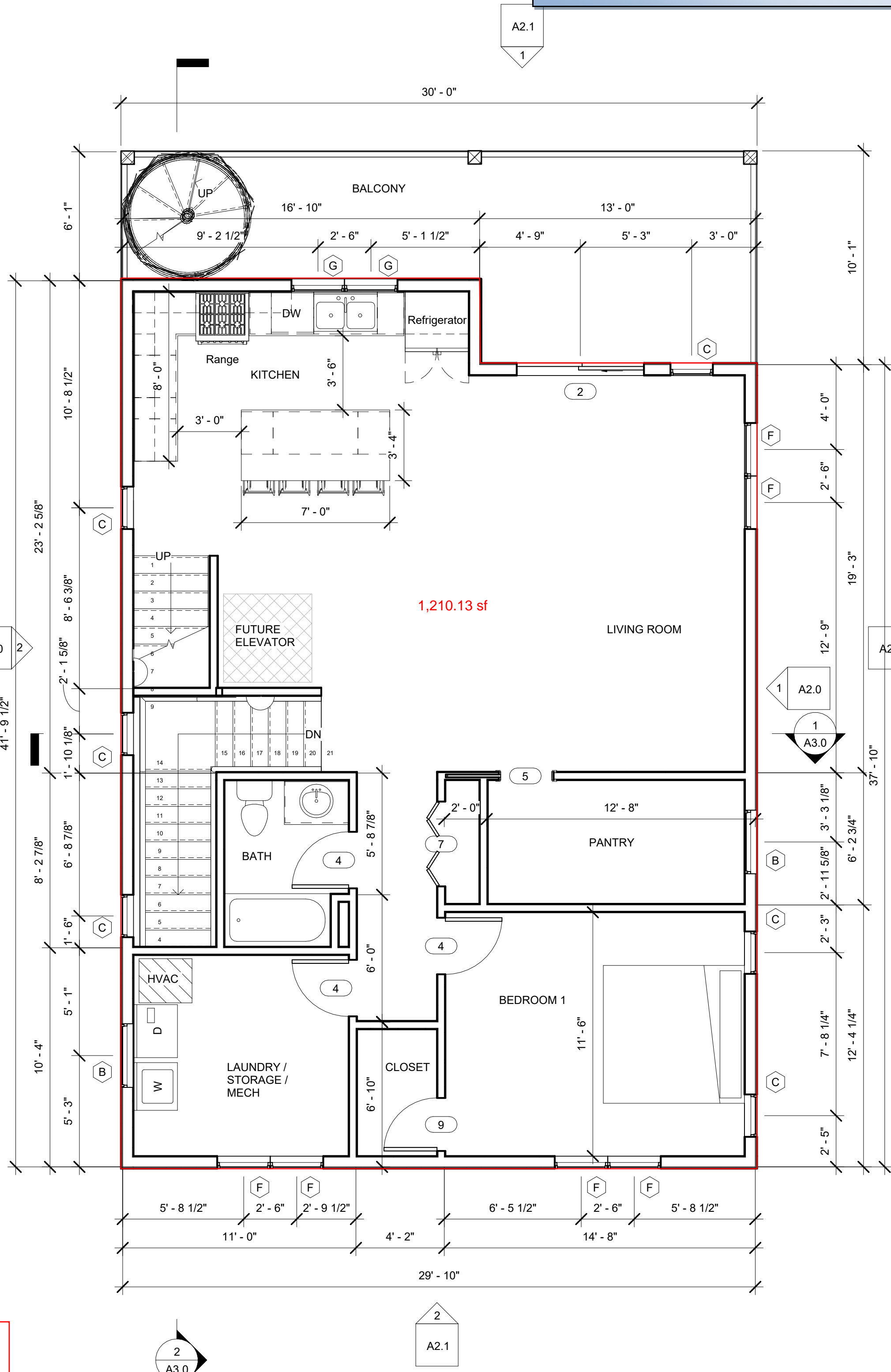


12 Please also add vent calculations for the full ground floor enclosure matching A8 of the EC provided

13 No additional partitions are permitted on ground floor other than foyer and elevator, unless they are the minimum structurally required to support the building. Please remove or clearly indicate on plans. Additionally, door number 13 would need to be removed. (sec. 14-39)



41'10" x 29'10" =
1,248 + 1,210 =
2458/3022 = .8134
Max FAR is .80



3 Third Floor Plan - New Construction
1/4" = 1'-0"

2 Second Floor Plan - New Construction
1/4" = 1'-0"

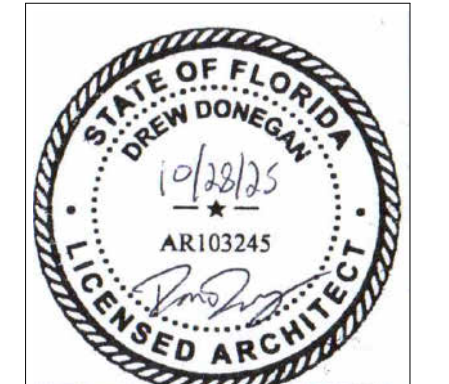
1 First Floor Plan - New Construction
1/4" = 1'-0"

Revision Schedule

Revision Number	Revision Description	Revision Date
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Sheet Information

Date :	10/28/2025
Job Number :	25_031
Drawn By :	Author
Checked By :	Checker
Approved By :	Approver



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Sheet Description:

Floorplan

Sheet:

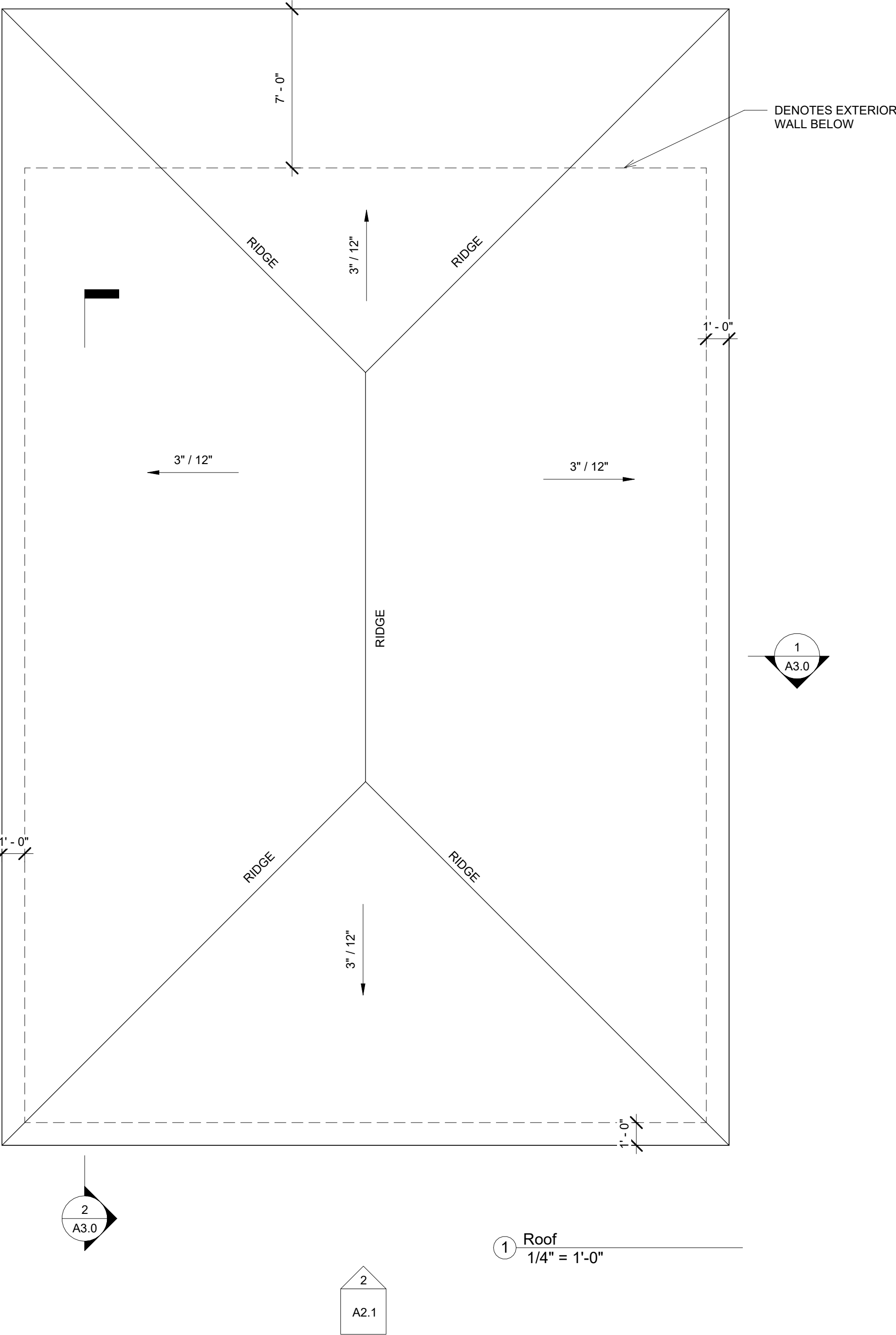
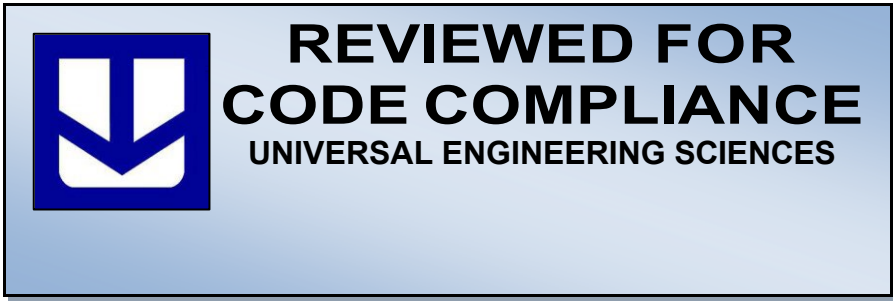
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donegan design

Item 5A.

Drew Donegan
Phone (813) 829-9148
DREW@DONEGANDSIGN.COM

PROJECT MANAGER:
TELEPHONE EXT.:
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In Association with:

Project Manager:

e-mail:

Project Manager:

e-mail:

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AND AESTHETICS OF THIS HOUSE.

Mazzillo Custom Home

422 137th Ave Cir.
Madeira Beach, FL 33708

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Sheet Description:
Roof Plan

Sheet:
A1.1

Door Schedule		
Door Type	Door Size	Finish Comments
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2	6'-0" x 8'-0"	Double Glass Sliding Door
3	3'-0" x 8'-0"	
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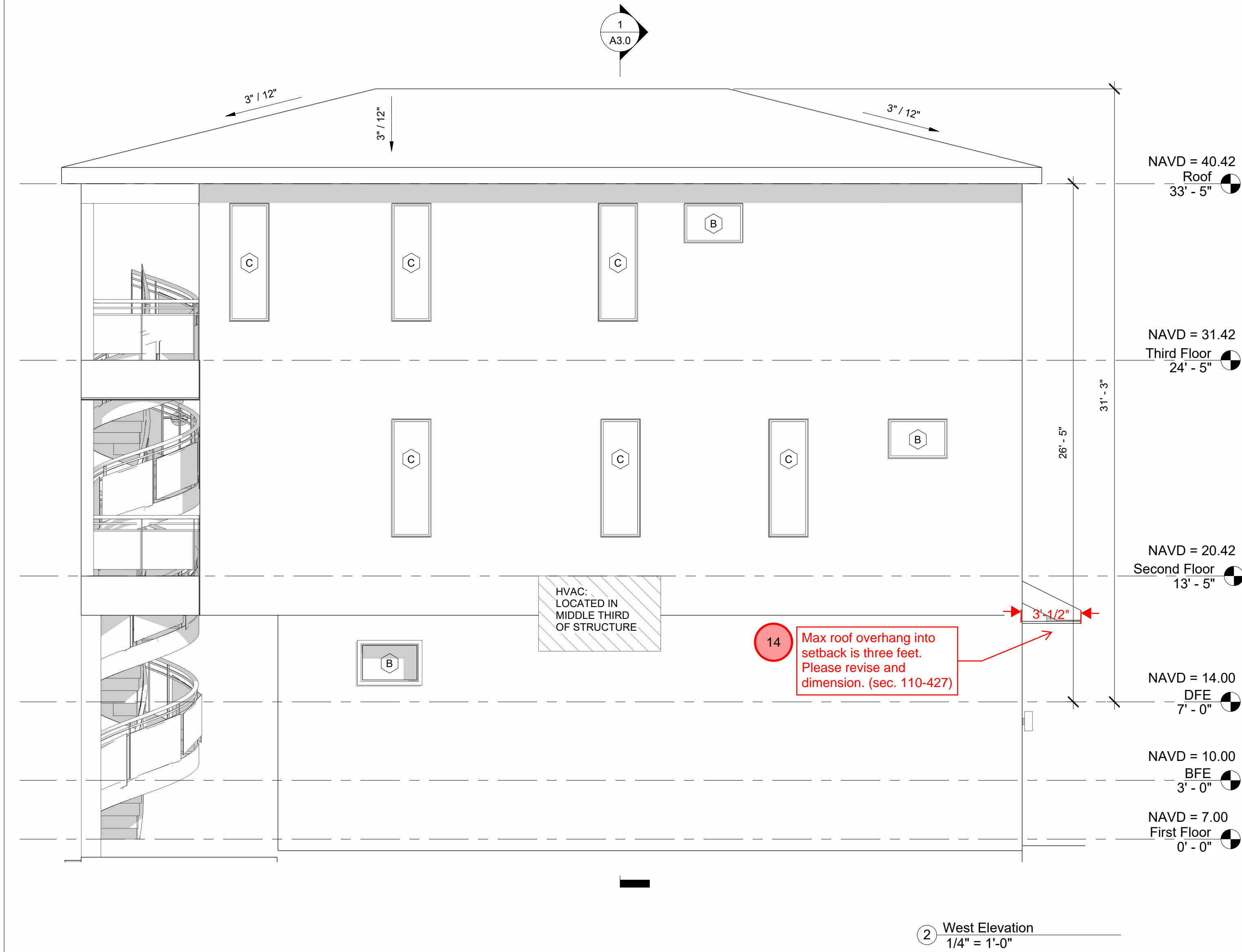
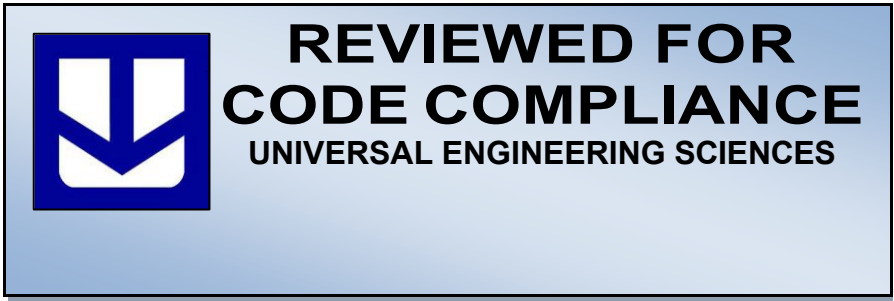
Window Schedule				
Type Mark	Rough Opening		Head Height	Comments
	Width	Height		
A	2' - 6"	5' - 6"	8' - 0"	
B	3' - 0"	2' - 0"	<varies>	10' HEAD HEIGHT ON GROUND FLOOR, 8' ON OTHER FLOORS
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Mazzillo Custom Home

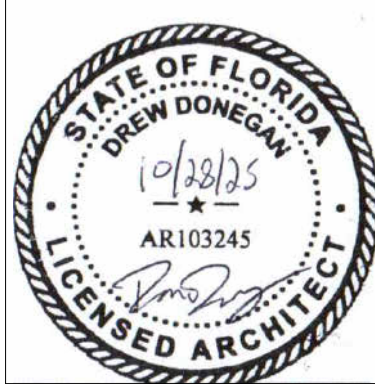
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Madeira Beach, FL 33708

Revision Schedule

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Sheet Description:

Elevations

Sheet:

A2.0

Door Schedule		
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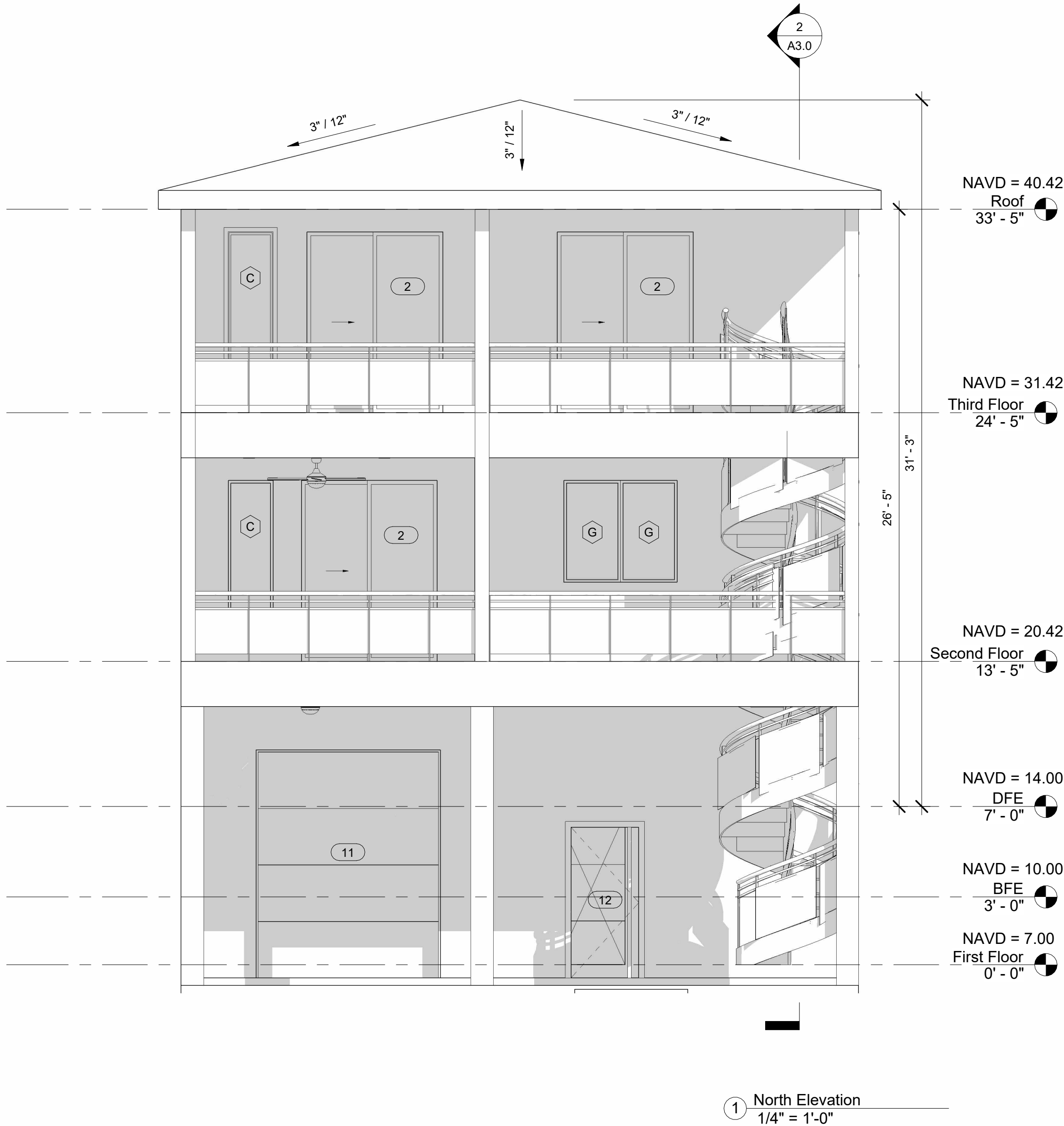
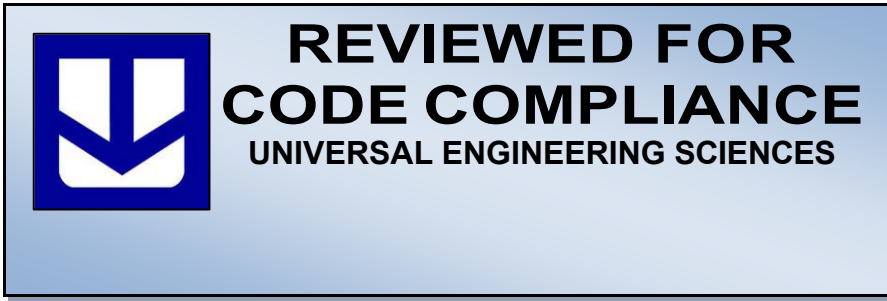
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donegan design

Item 5A.

Drew Donegan
Phone (813) 829-9148
DREW@DONGANDESIGN.COM

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TELEPHONE EXT.
e-mail:

In Association with:

Project Manager:

e-mail:

Project Manager:

e-mail:

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Mazzillo Custom Home

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Madeira Beach, FL 33708

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Checked By : Checker
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Sheet Description:
Elevations

Sheet:
A2.1

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TELEPHONE EXT:
e-mail:

In Association with:

Project Manager:

e-mail:

Project Manager:

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Mazzillo Custom Home

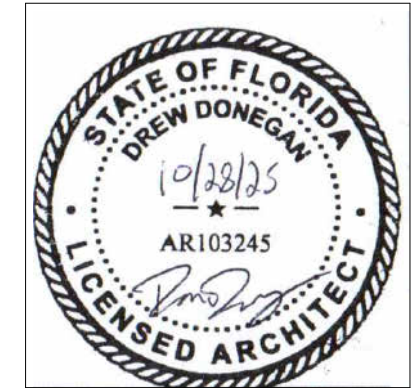
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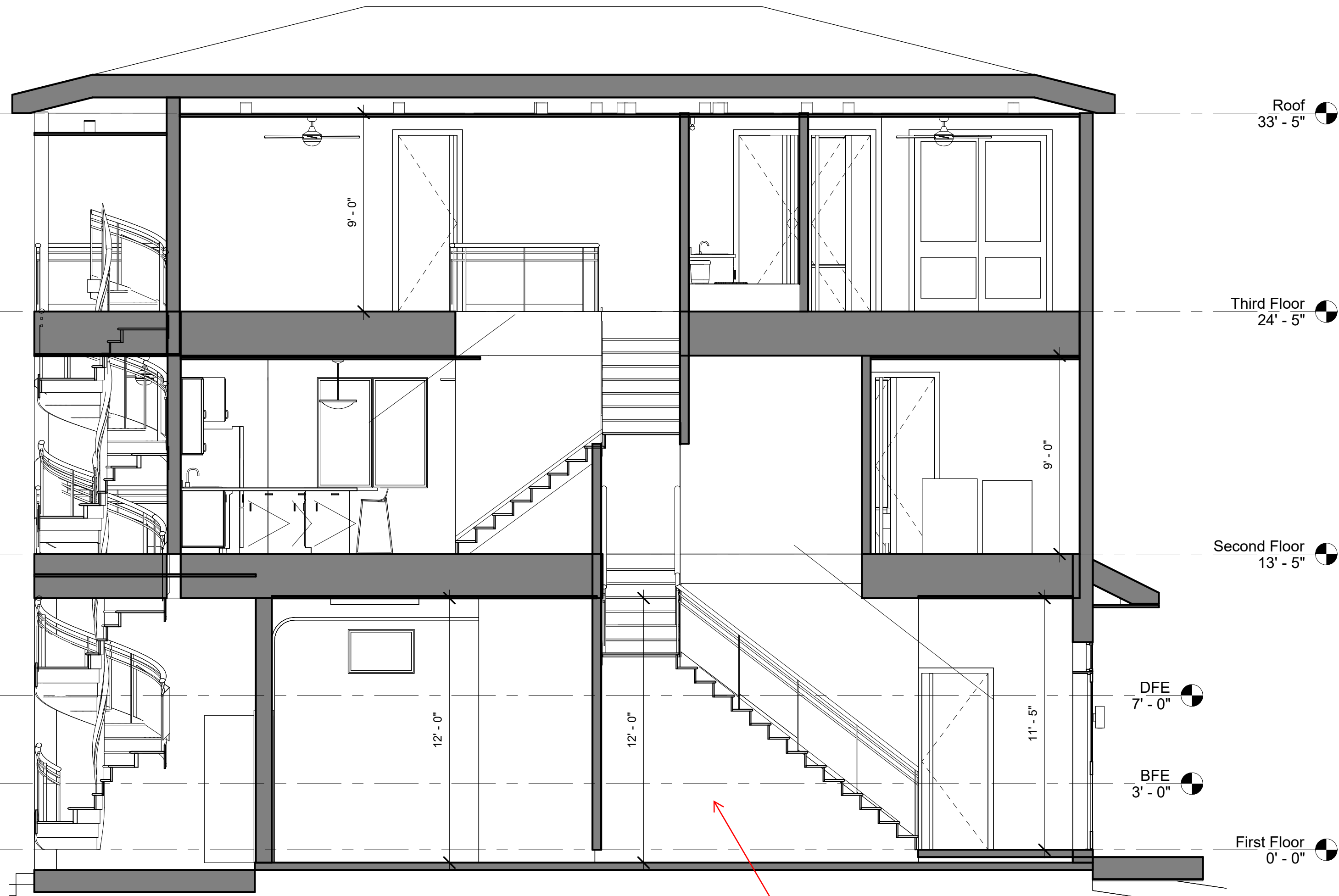
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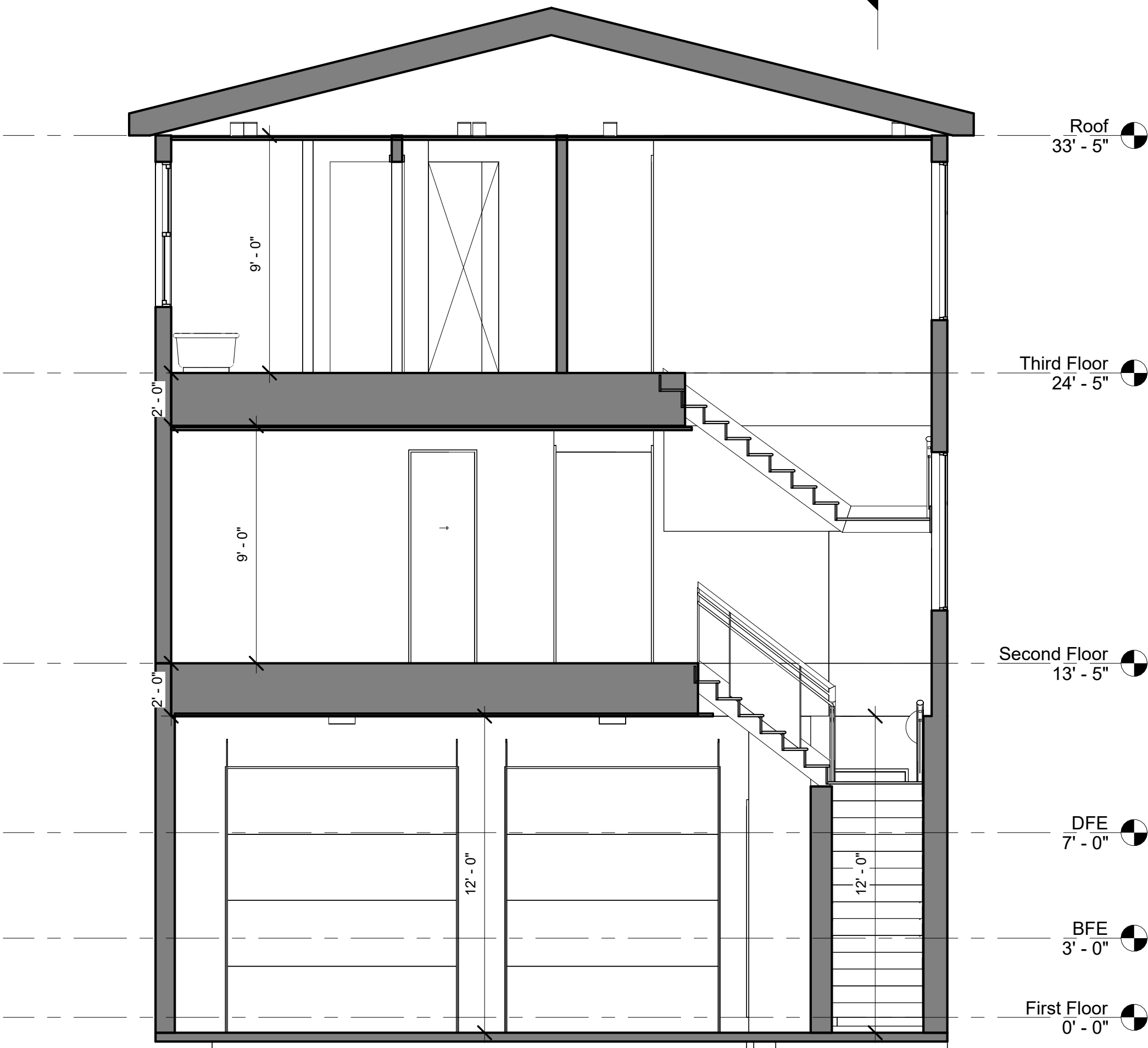


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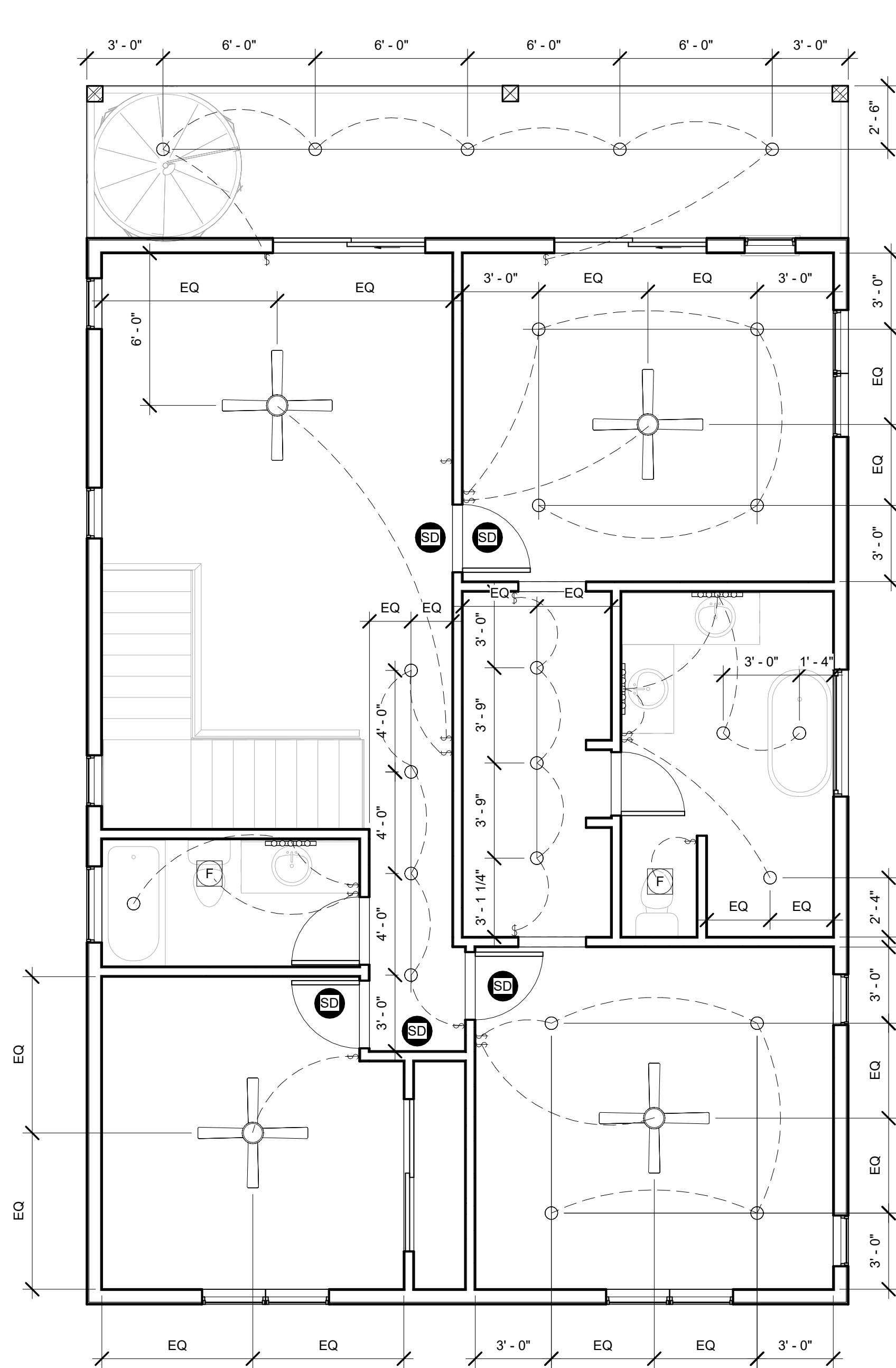
2 Section 2
1/4" = 1'-0"

2
A3.0

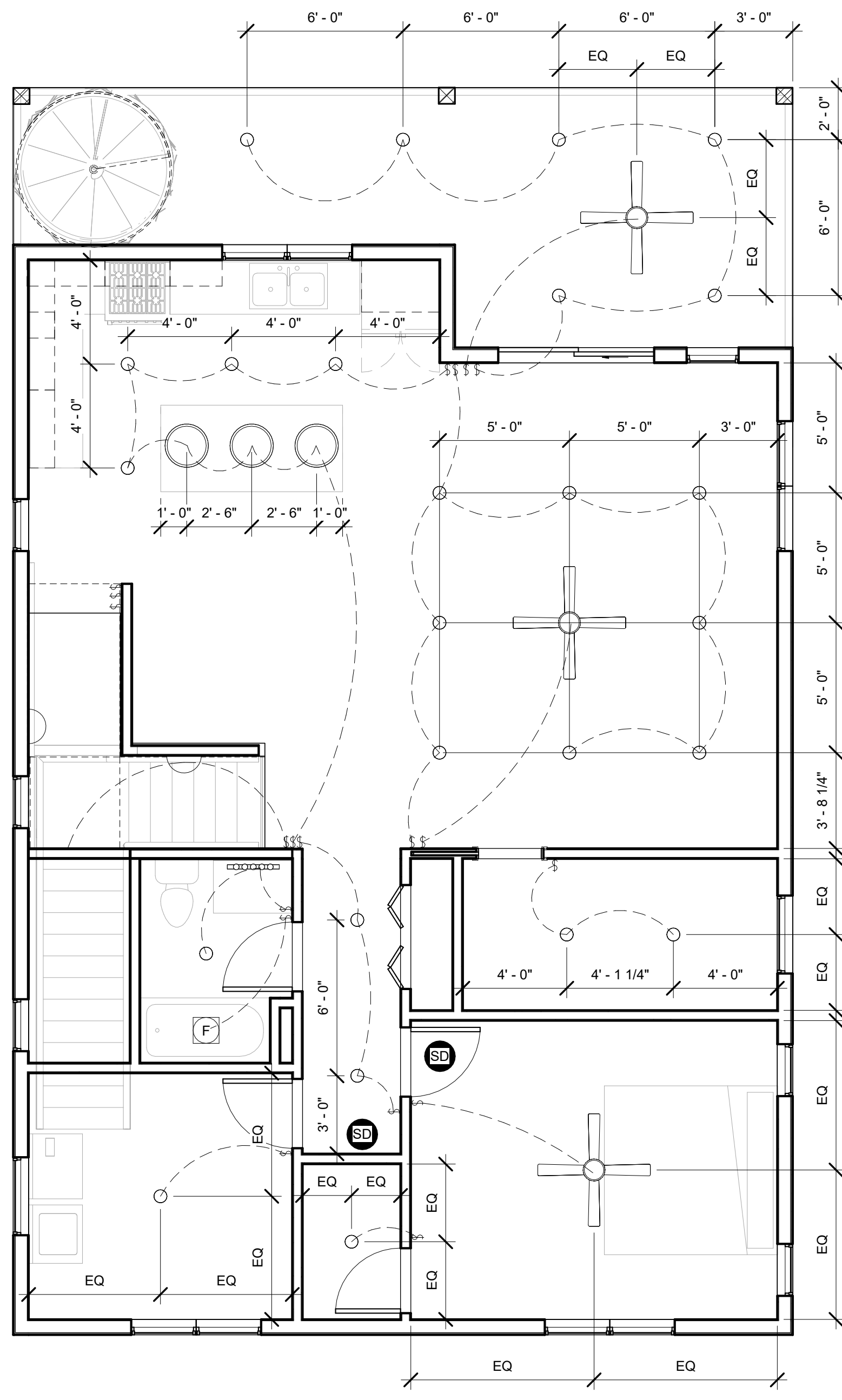


1 Section 1
1/4" = 1'-0"

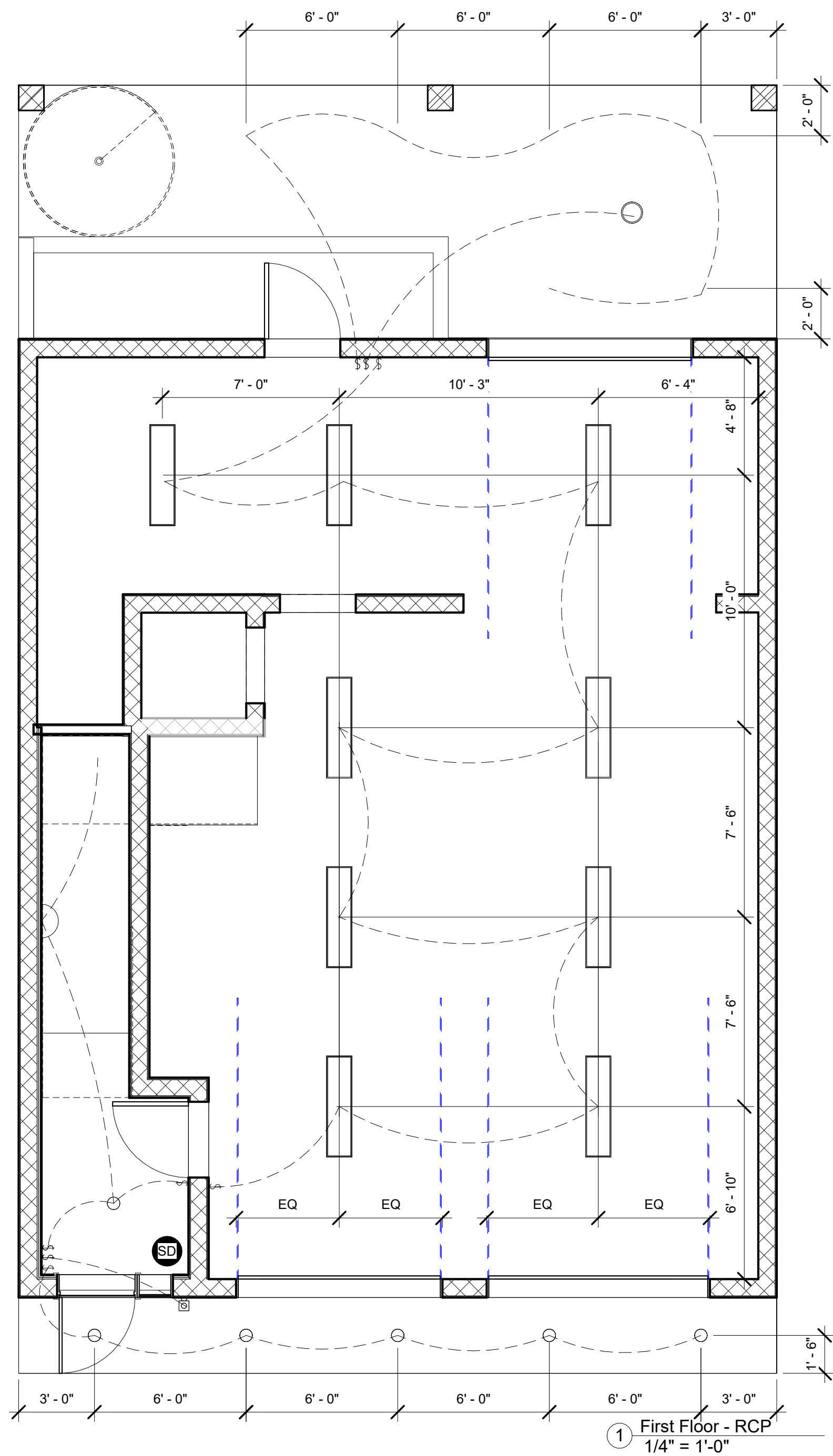
10/29/2025 12:13:25 PM



③ Third Floor - RCP
1/4" = 1'-0"



② Second Floor - RCP
1/4" = 1'-0"



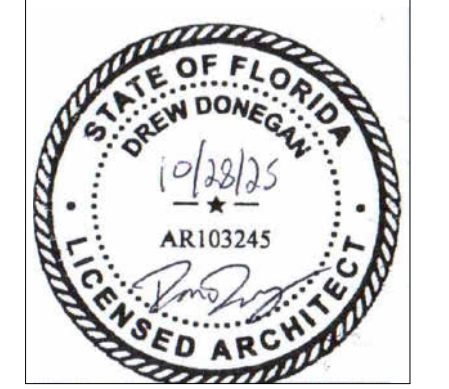
① First Floor - RCP
1/4" = 1'-0"



- SHEET KEY:**
- Recessed Can
 - ⊕ Ceiling Fan
 - ⓕ Recessed Can w/ Exhaust Fan
 - Ⓛ Wall Mounted Fixture - Vanity
 - Pendant Light
 - ⌒ Wall Mounted Fixture - Sconce
 - Ⓛ Wall Mounted Fixture - Sconce

Revision Schedule		
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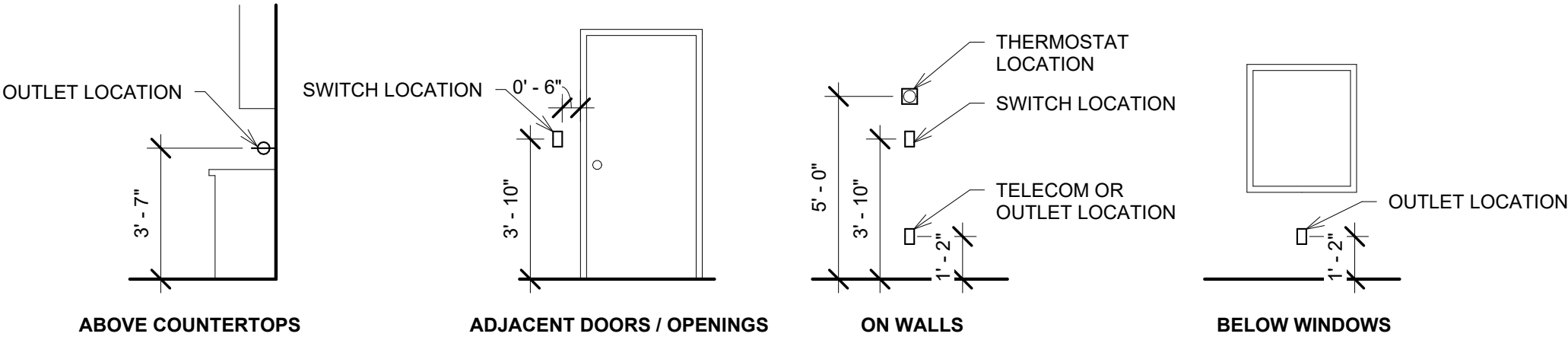
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Sheet Description:	
RCPs	

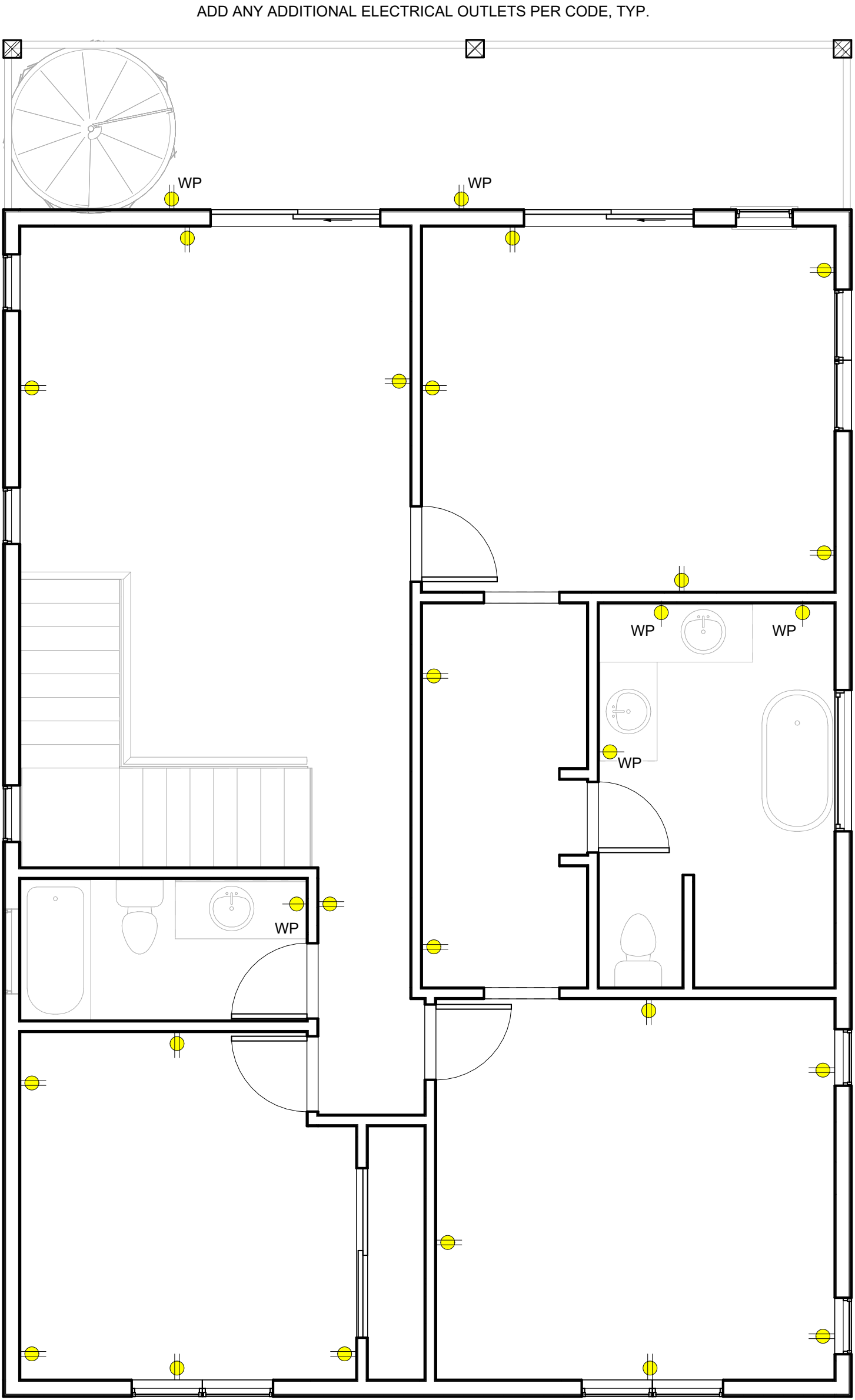
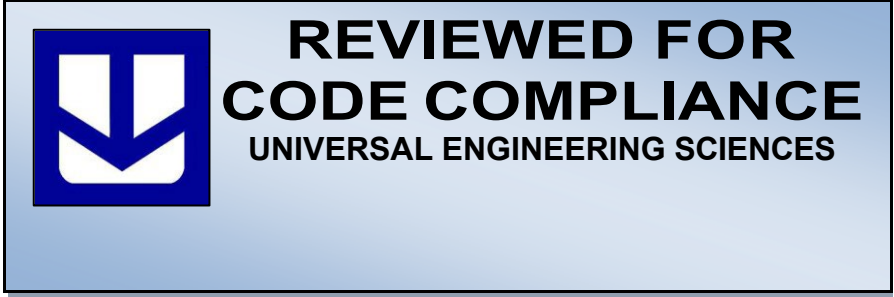
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A4.0	

TYP. MOUNTING HEIGHTS

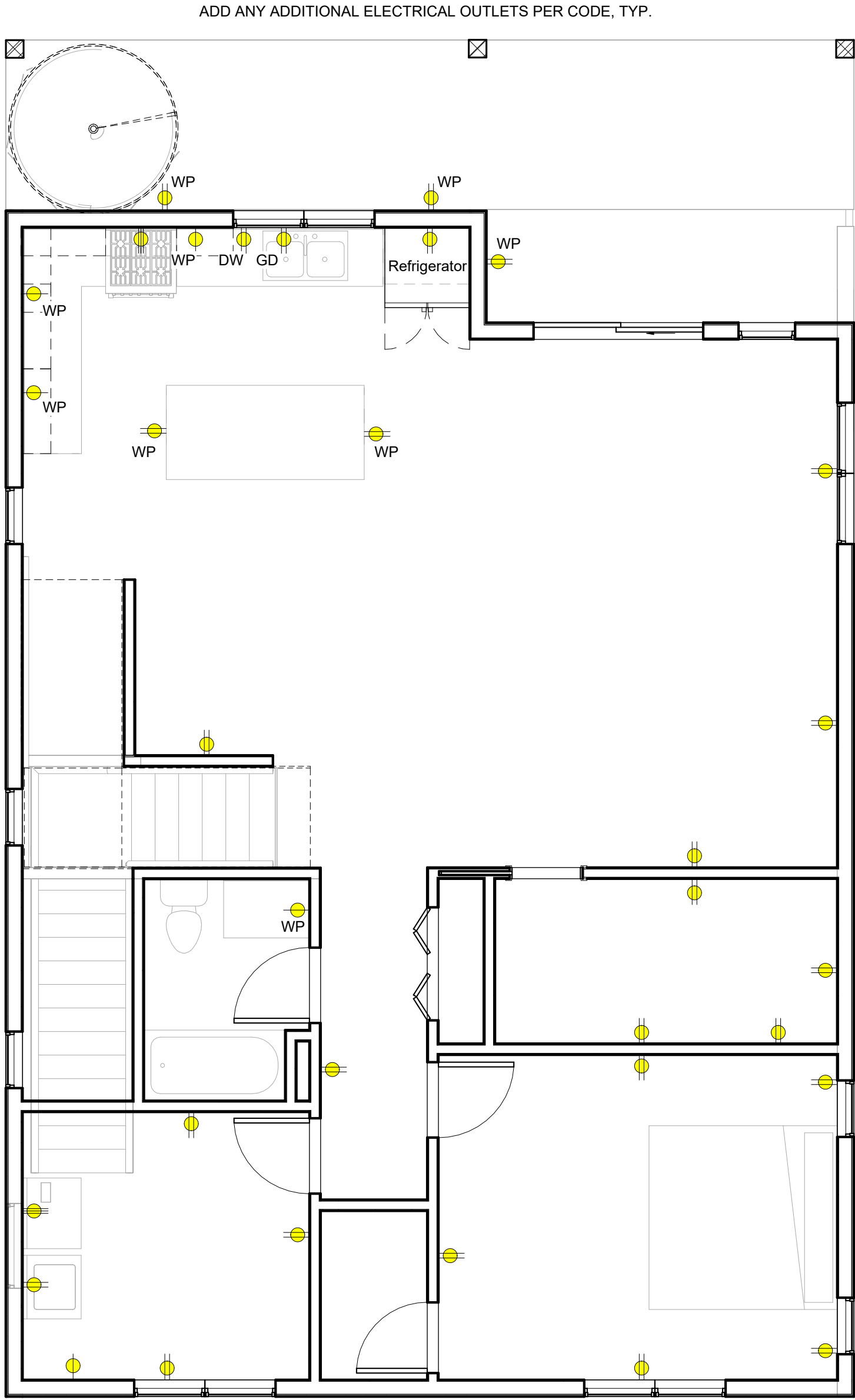


ELECTRICAL LEGEND: NEW CONSTRUCTION

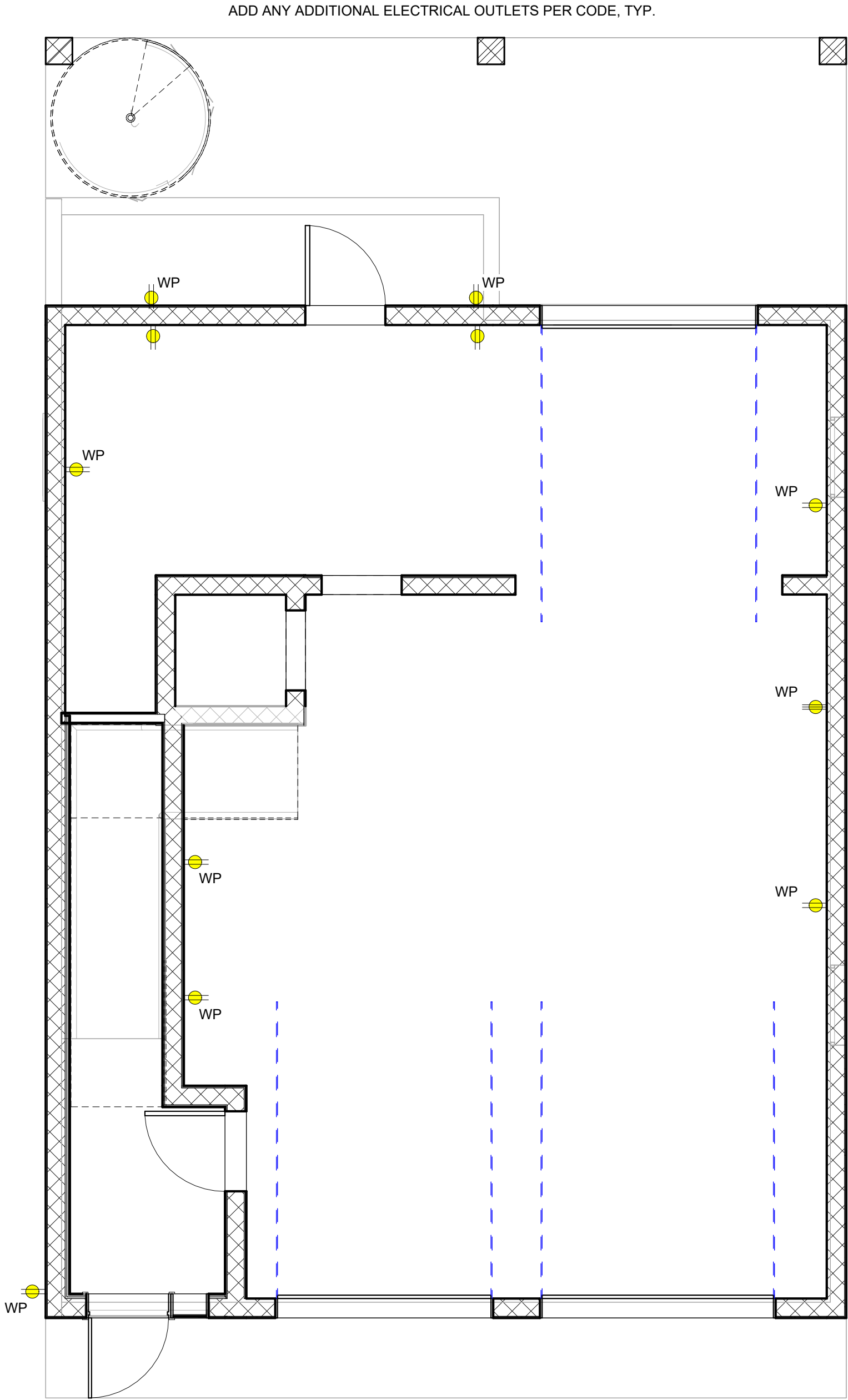
- WALL-MOUNTED 240V OUTLET
- WALL-MOUNTED 120V OUTLET
- ABOVE COUNTER-MOUNTED 120V OUTLET
- WALL-MOUNTED 120V WEATHERPROOF OUTLET



③ Third Floor - Power Plan
1/4" = 1'-0"



② Second Floor - Power Plan
1/4" = 1'-0"



① First Floor - Power Plan
1/4" = 1'-0"

Drew Donegan
Phone (813) 829-9148
DREW@DONGANDSIGN.COM

PROJECT MANAGER:
TELEPHONE EXT.
e-mail:

In Association with:

Project Manager:

e-mail:

Project Manager:

e-mail:

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EXCEEDS ALL
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IT IS THE CONTRACTOR'S
RESPONSIBILITY TO COORDINATE
ALL MECHANICAL, ELECTRICAL,
PLUMBING, AND STRUCTURAL
SYSTEMS WITH THE FRAMEWORK
AND AESTHETICS OF THIS HOUSE.

Mazzillo Custom Home

422 137th Ave Cir.
Madeira Beach, FL 33708

Revision Schedule		
Revision Number	Revision Description	Revision Date

Sheet Information	
Date :	10/28/2025
Job Number :	25_031
Drawn By :	Author
Checked By :	Checker
Approved By :	Approver



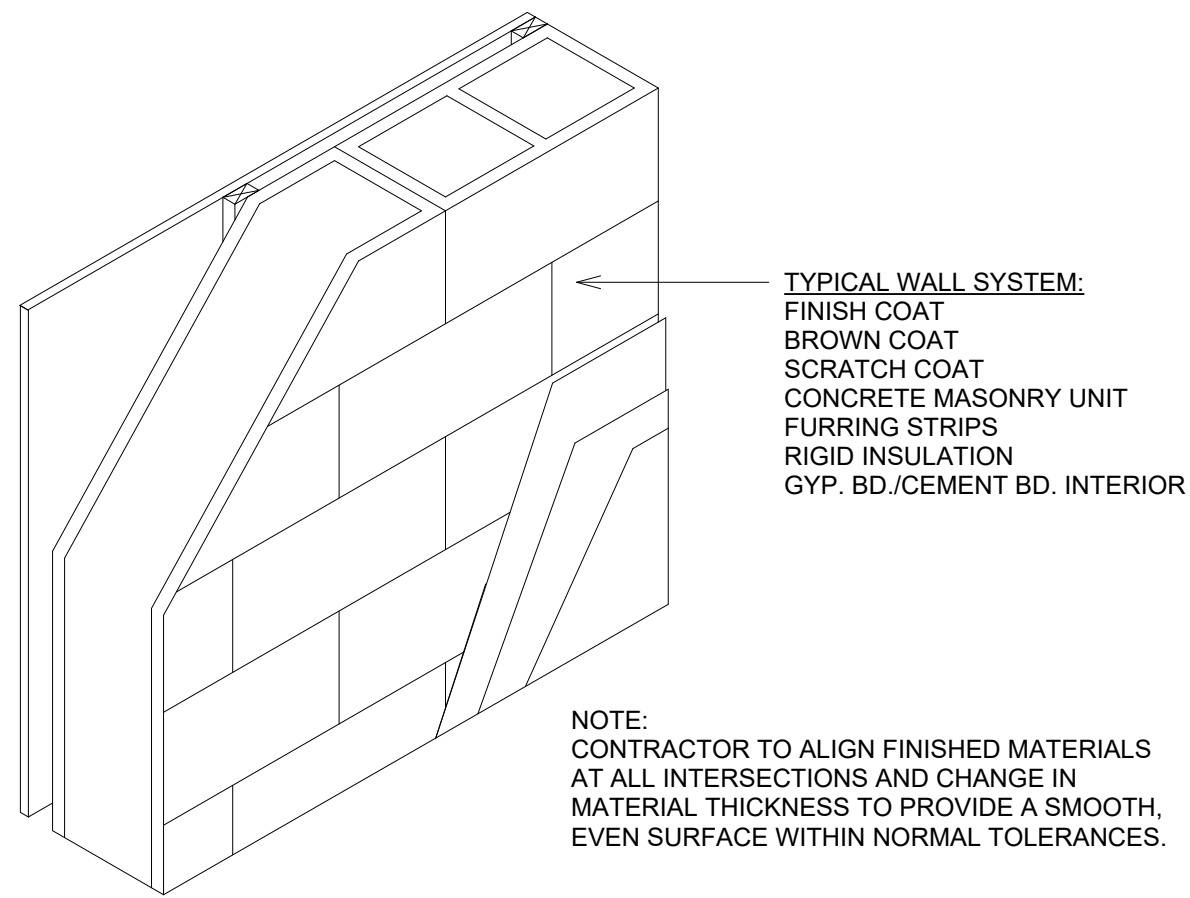
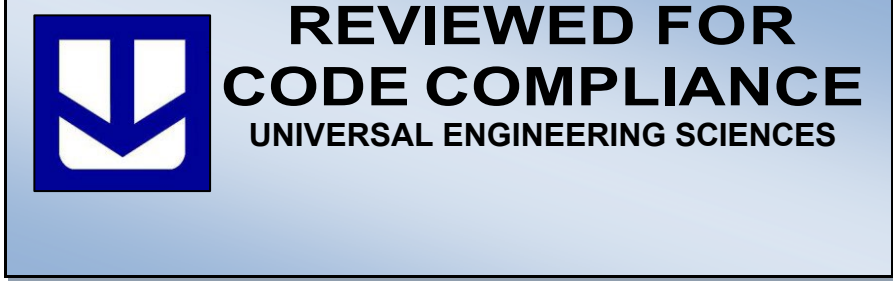
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Sheet Description:
Power Plans

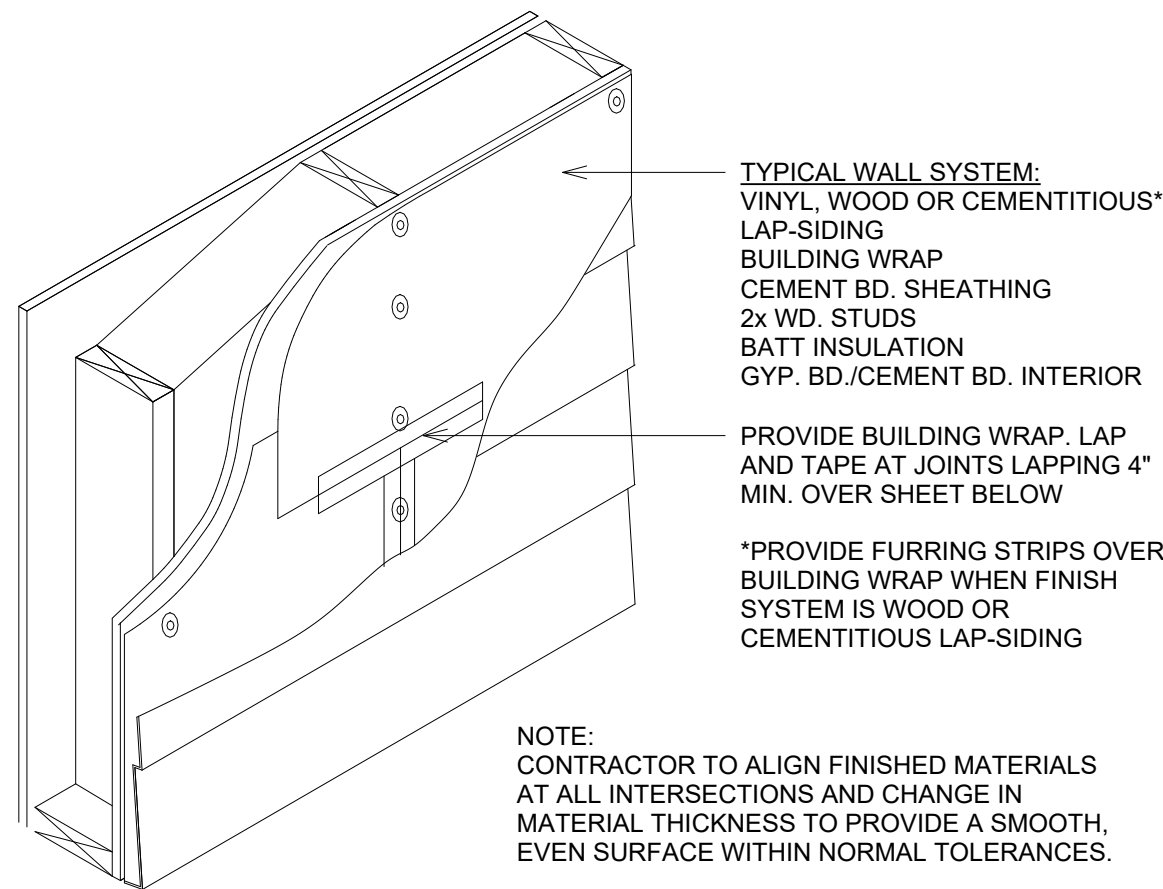
Sheet:

A4.1



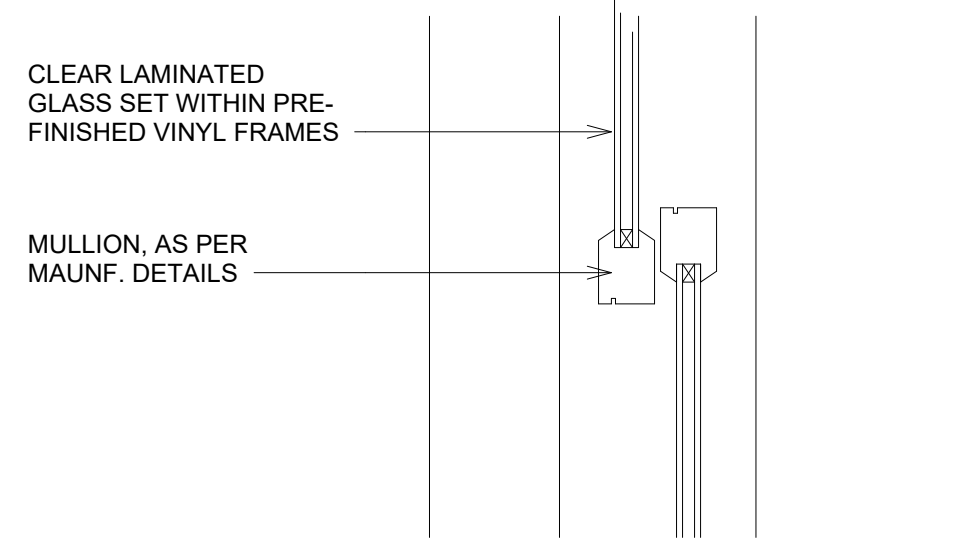
NOTE:
CONTRACTOR TO ALIGN FINISHED MATERIALS
AT ALL INTERSECTIONS AND CHANGE IN
MATERIAL THICKNESS TO PROVIDE A SMOOTH,
EVEN SURFACE WITHIN NORMAL TOLERANCES.

12 Typ. CMU Wall Isometric
3" = 1'-0"

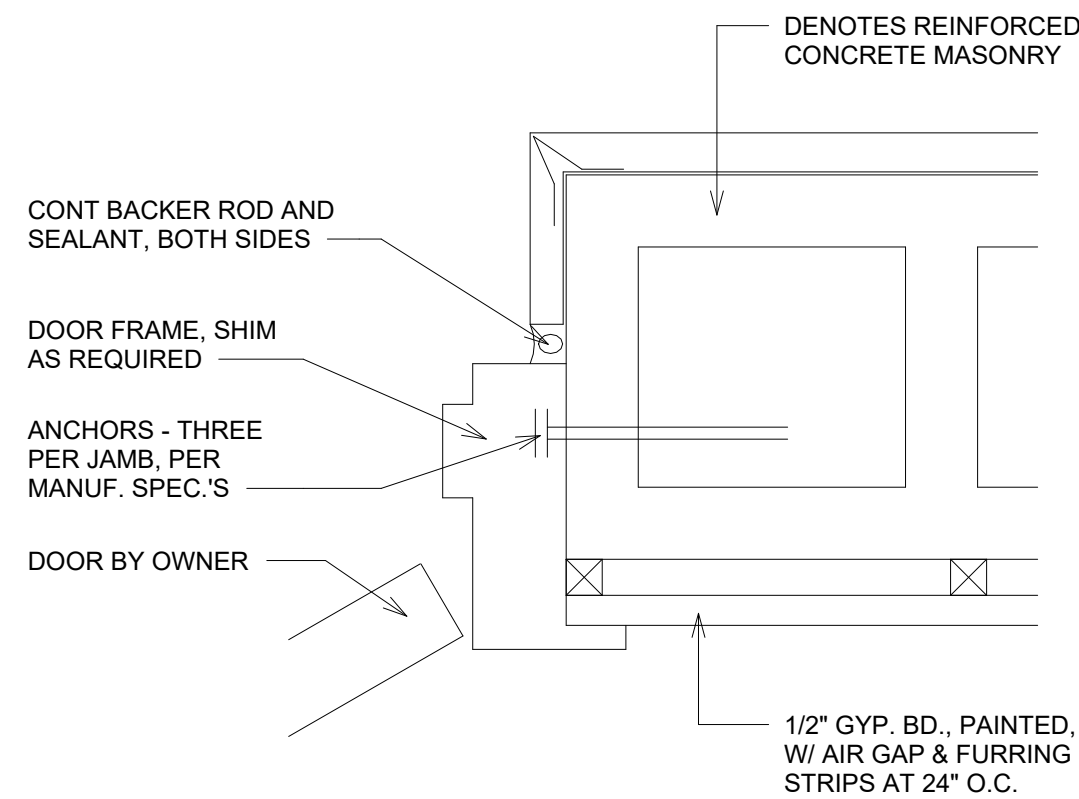


NOTE:
CONTRACTOR TO ALIGN FINISHED MATERIALS
AT ALL INTERSECTIONS AND CHANGE IN
MATERIAL THICKNESS TO PROVIDE A SMOOTH,
EVEN SURFACE WITHIN NORMAL TOLERANCES.

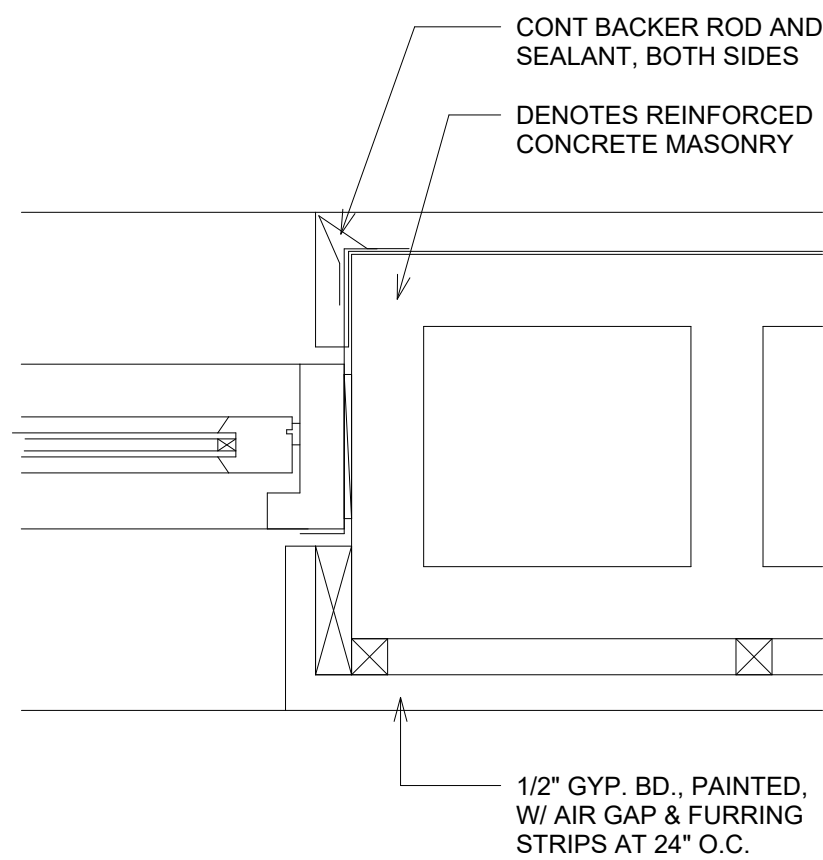
11 Typ. Frame Wall Isometric
3" = 1'-0"



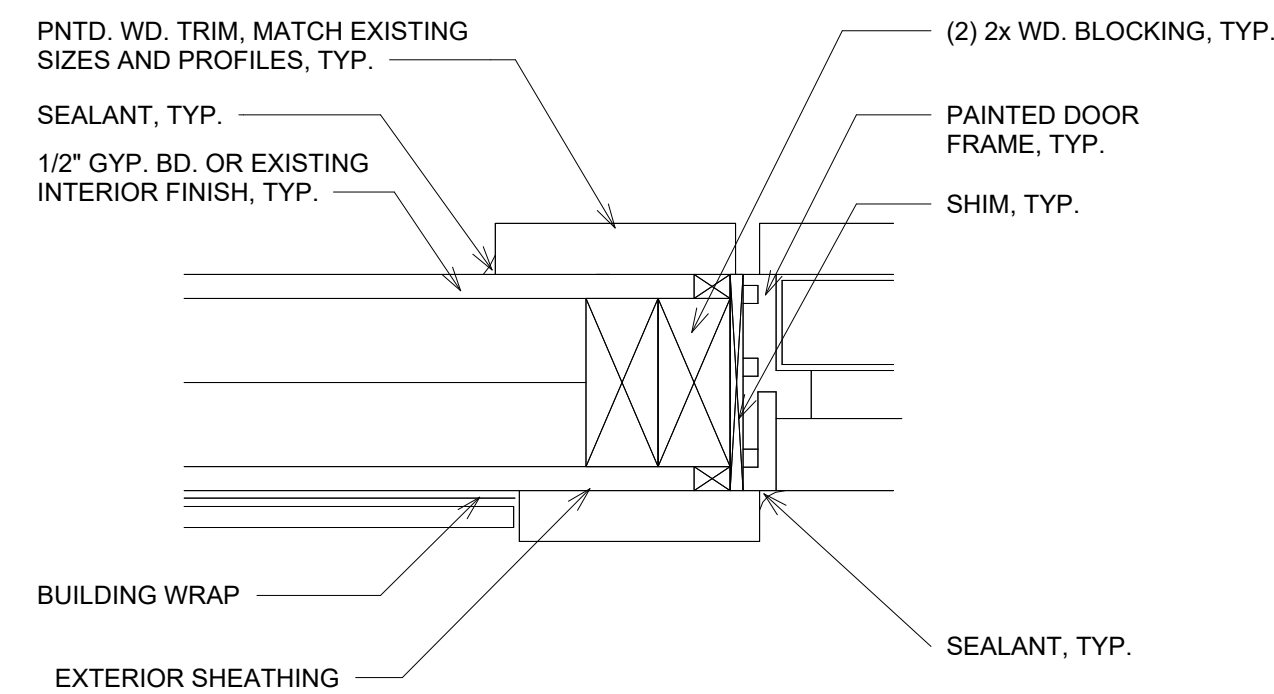
4 Window Mullion
3" = 1'-0"



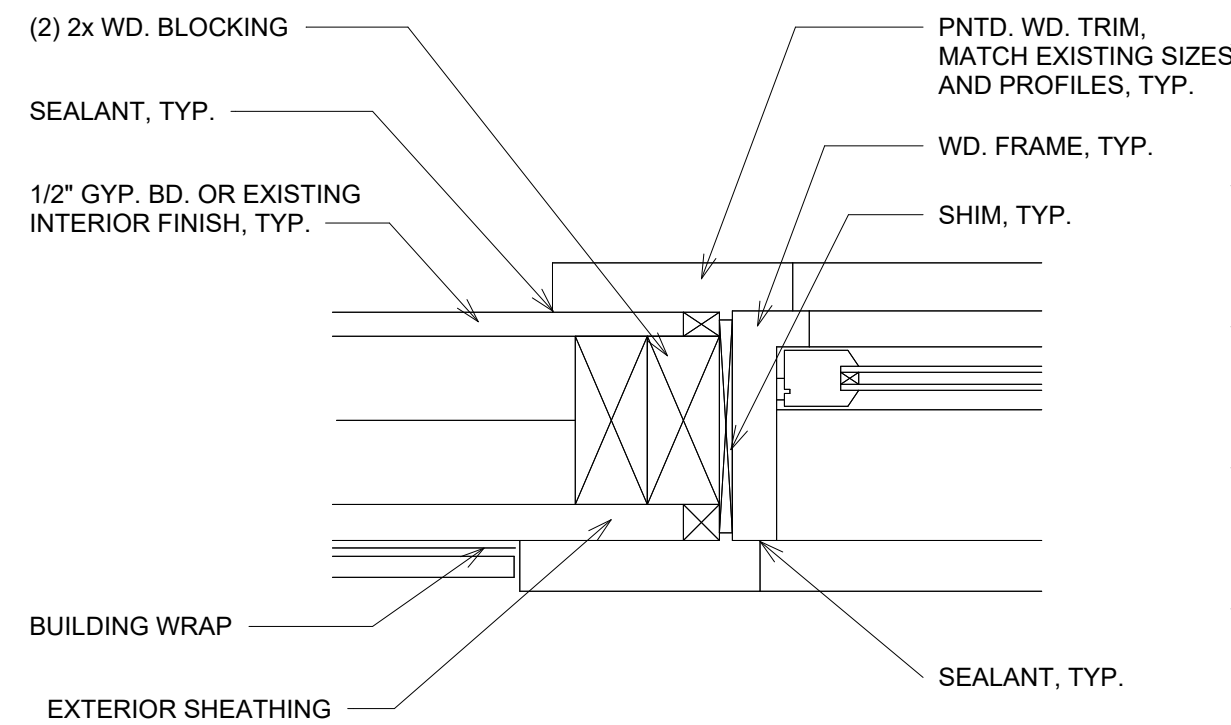
13 Exterior Door Jamb at CMU
3" = 1'-0"



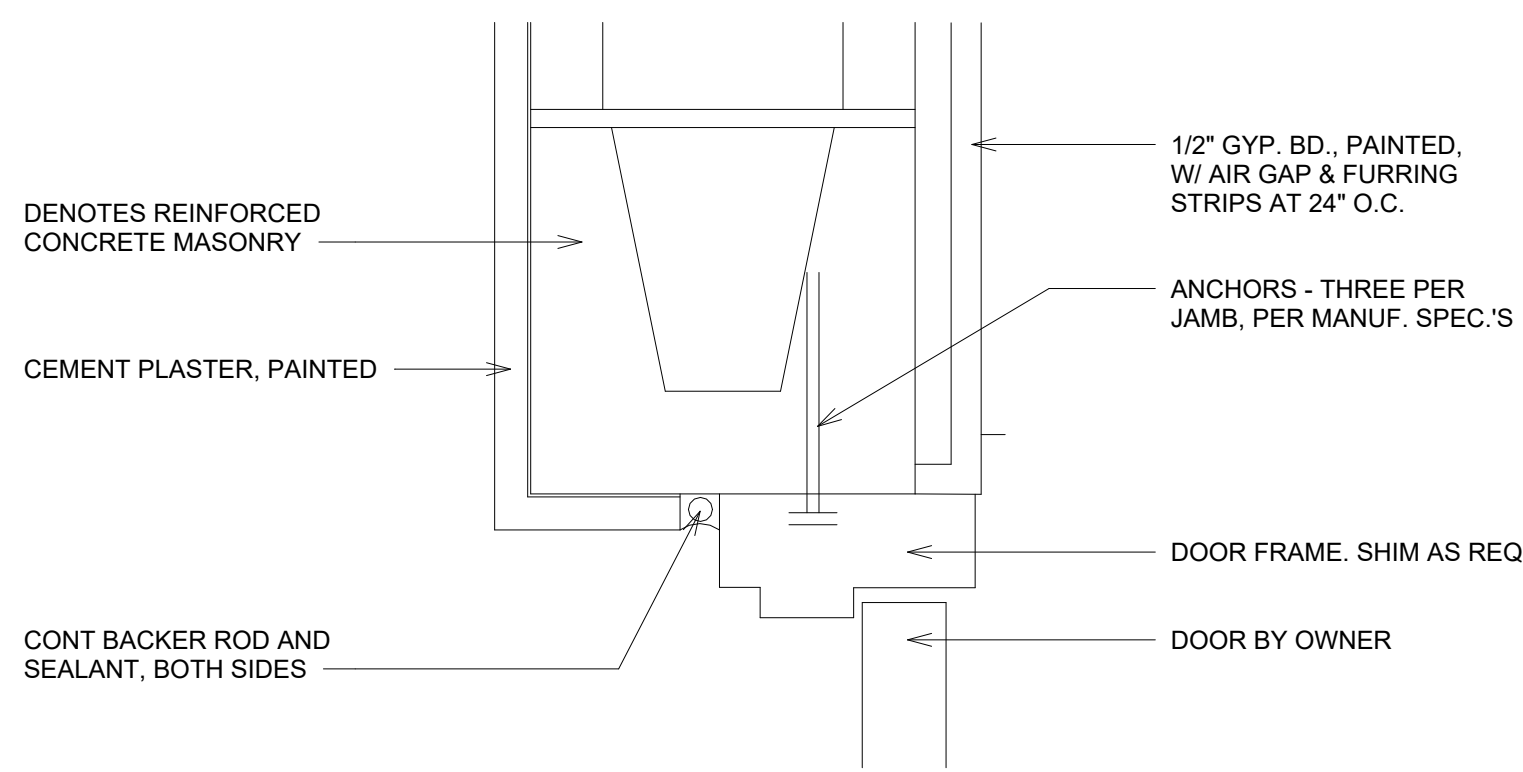
10 Window Jamb at CMU
3" = 1'-0"



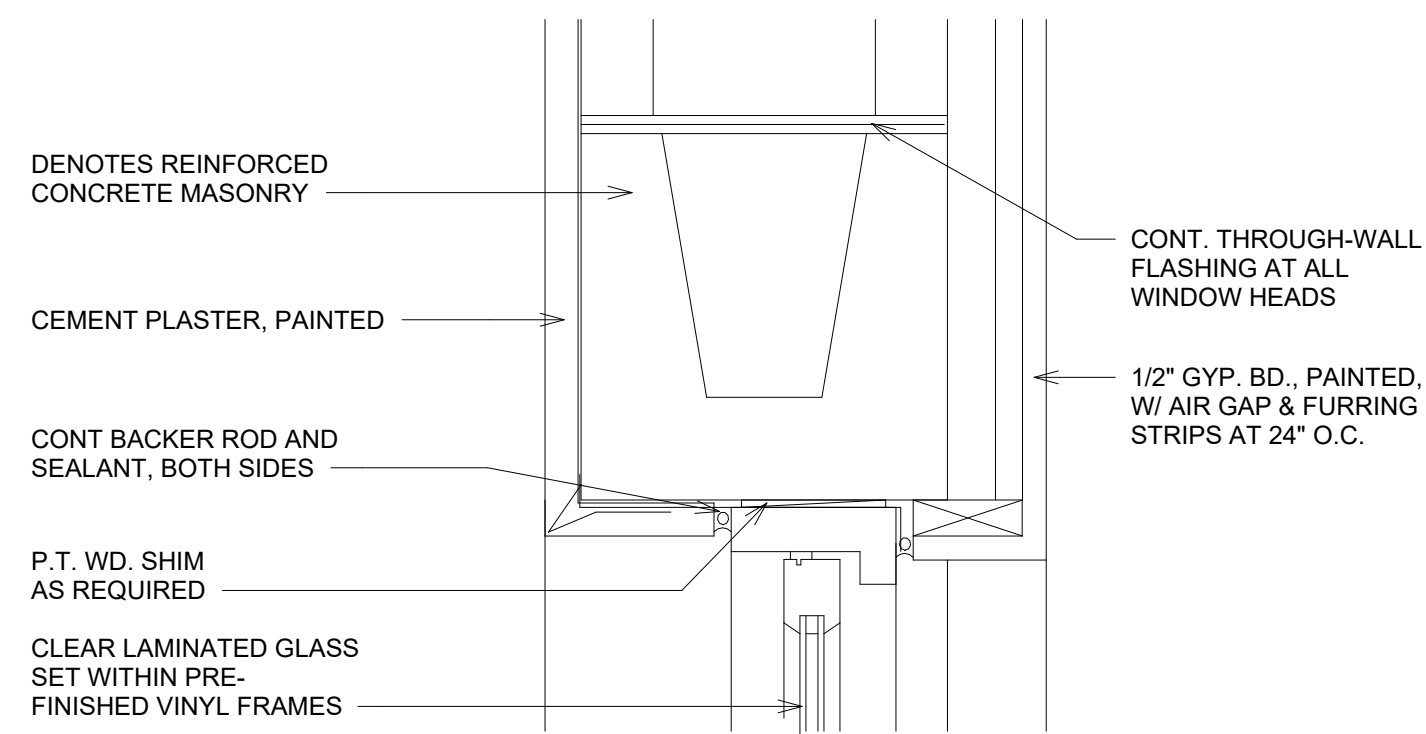
7 Exterior Door Jamb Detail At Wd. Frame
3" = 1'-0"



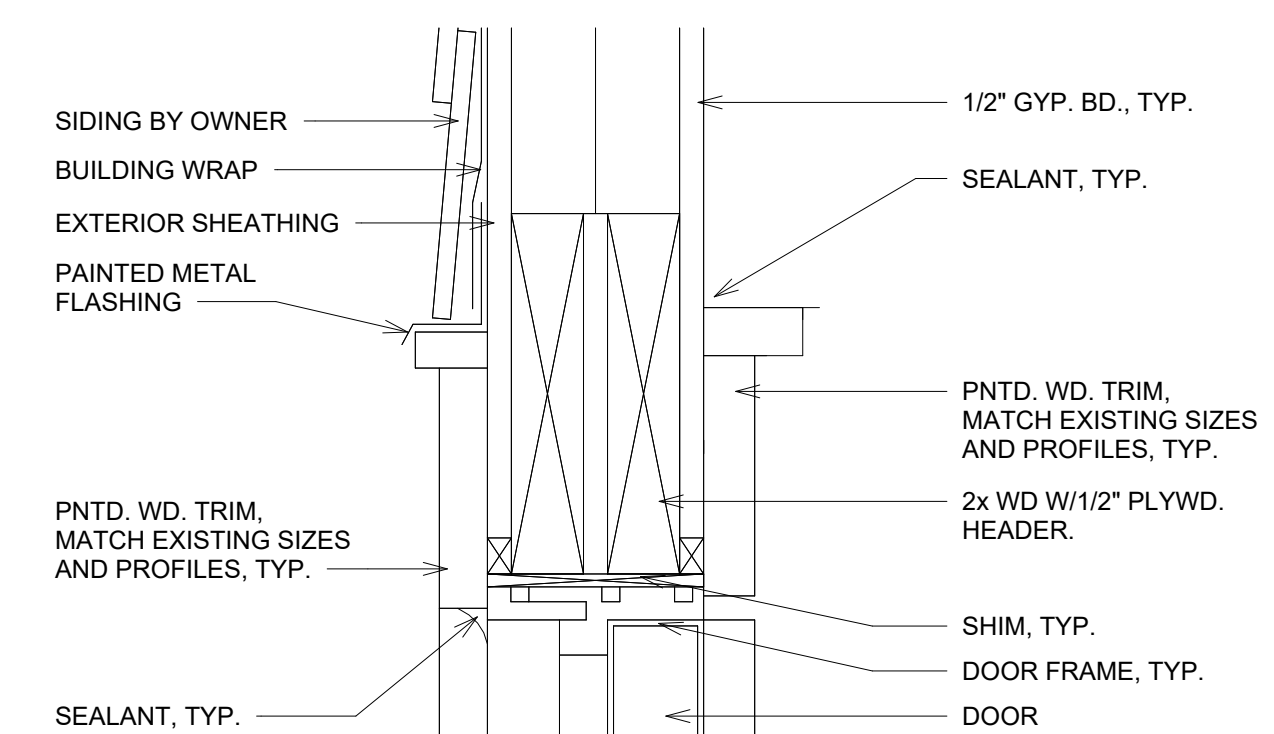
3 Window Jamb at Wd. Frame
3" = 1'-0"



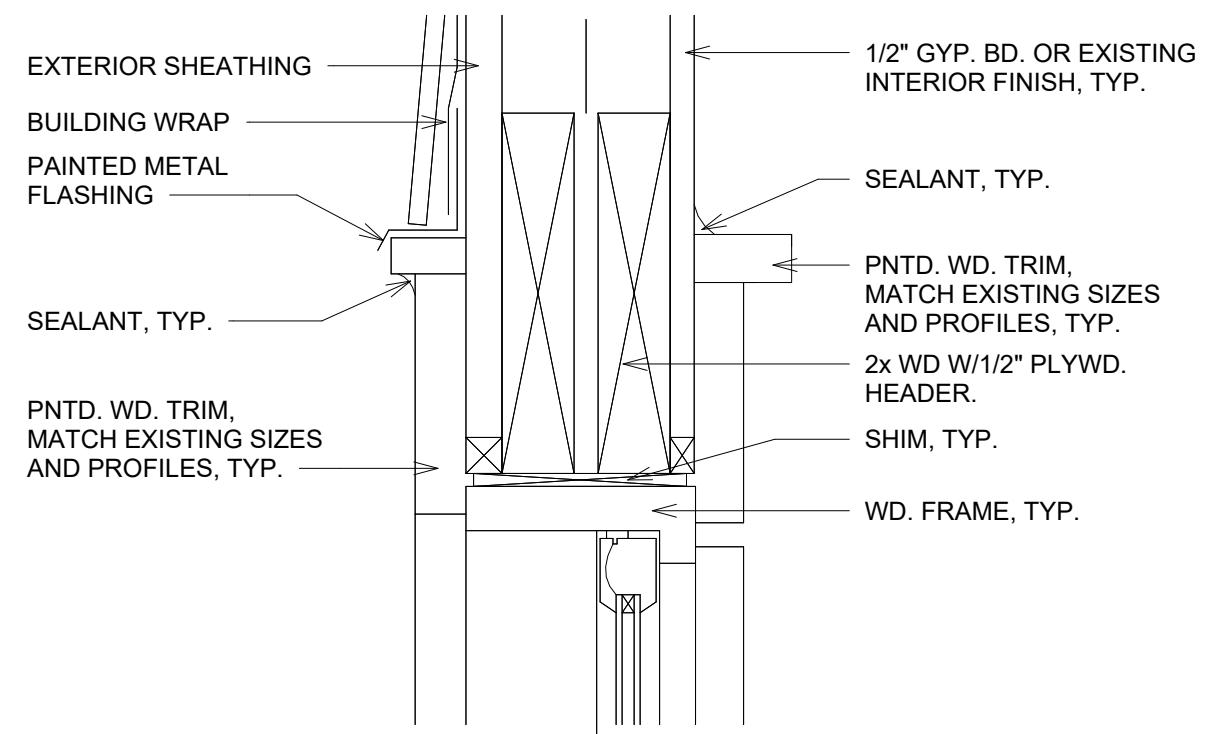
14 Exterior Door Head at CMU
3" = 1'-0"



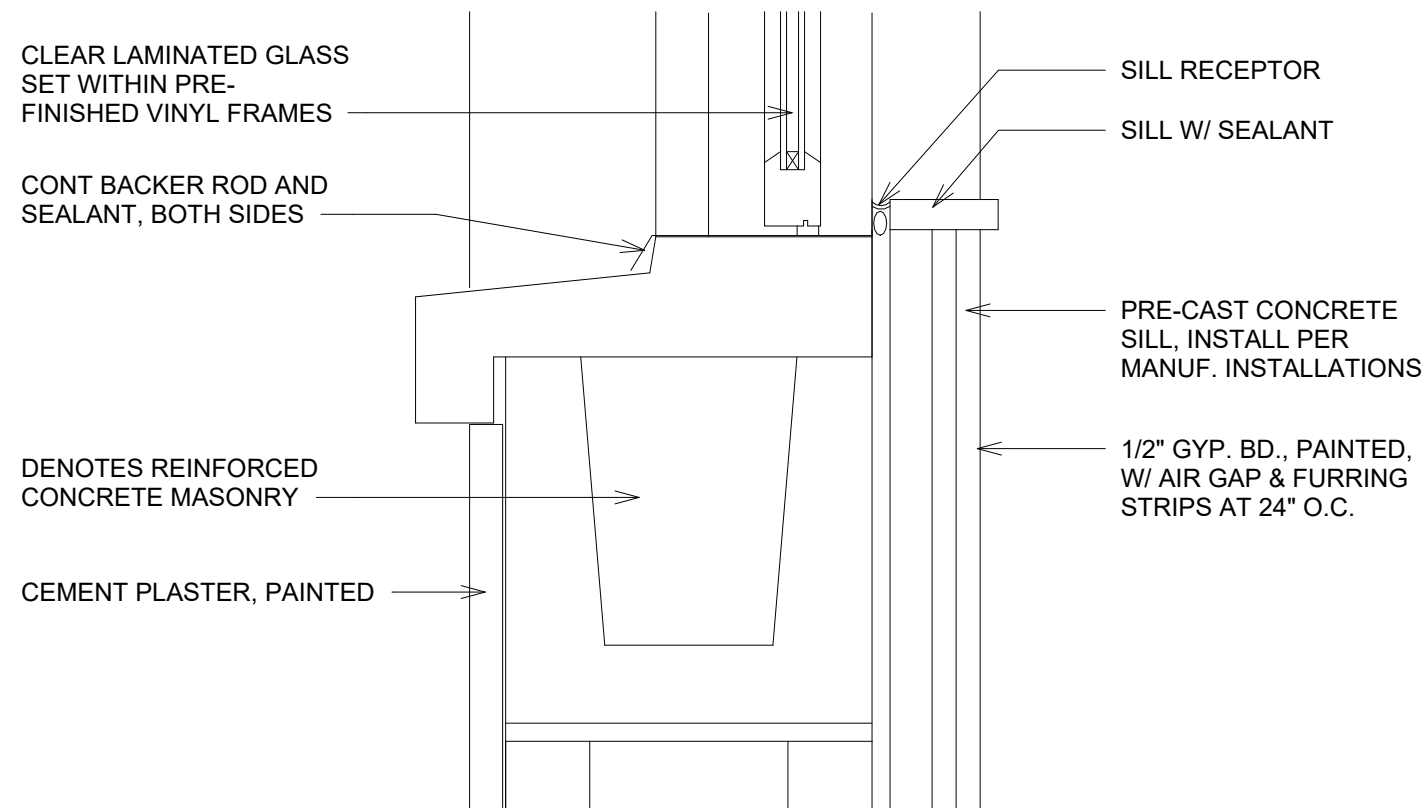
9 Window Head at CMU
3" = 1'-0"



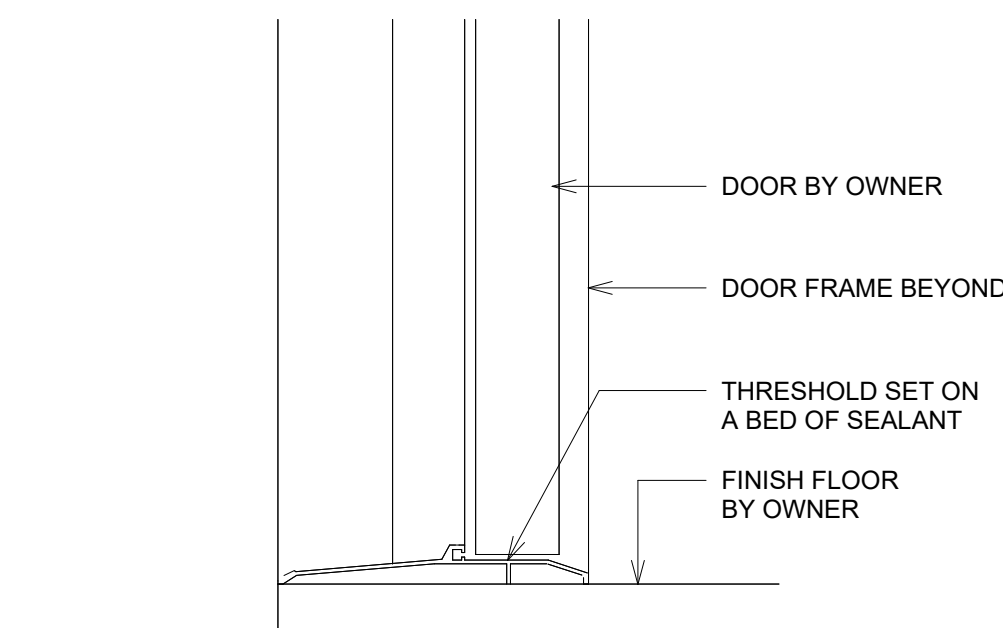
6 Exterior Door Head Detail At Wd. Frame
3" = 1'-0"



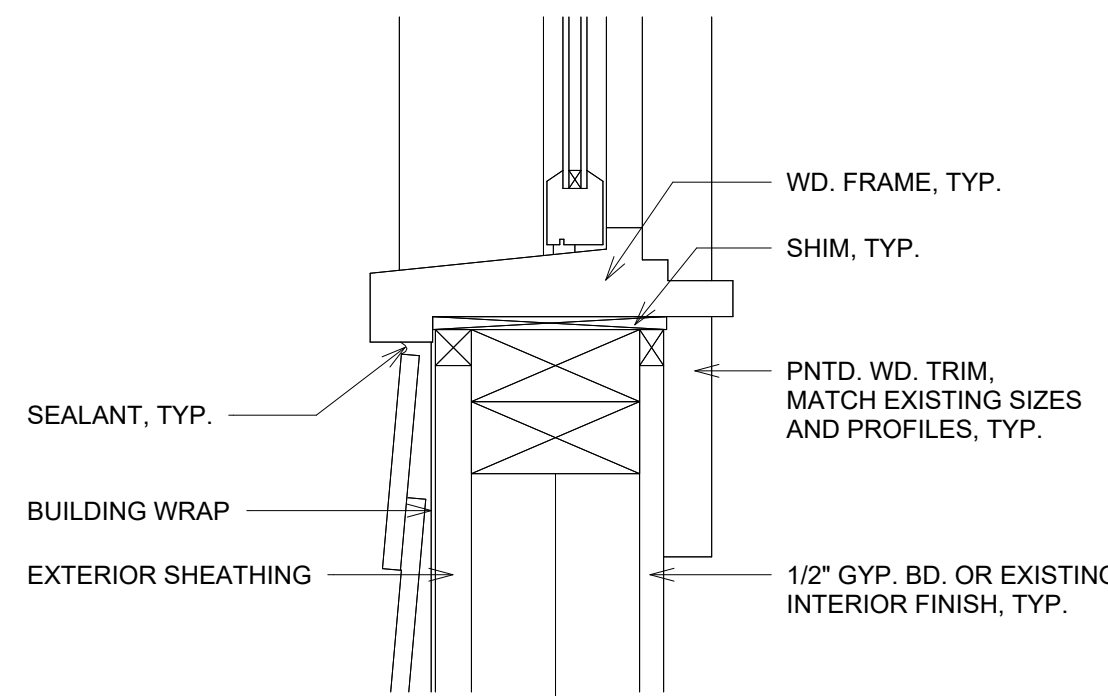
2 Window Head at Wd. Frame
3" = 1'-0"



8 Window Sill at CMU
3" = 1'-0"



5 Exterior Door Threshold
3" = 1'-0"



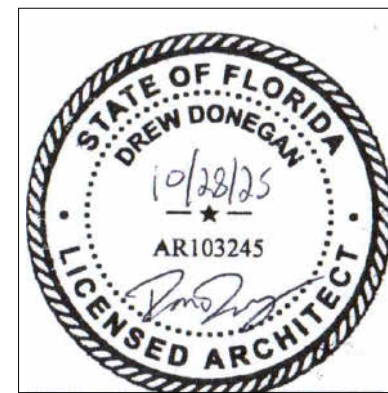
1 Window Sill at Wd. Frame
3" = 1'-0"

Revision Schedule

Revision Number	Revision Description	Revision Date
1	REV - 1	10/28/2025

Sheet Information

Date :	10/28/2025
Job Number :	25_031
Drawn By :	Author
Checked By :	Checker
Approved By :	Approver



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Sheet Description:
**Threshold & Opening
Details**

Sheet:

A5.0

PROJECT MANAGER:

TELEPHONE EXT.:

e-mail:

In Association with:

Project Manager:

e-mail:

Project Manager:

e-mail:

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SYSTEMS WITH THE FRAMEWORK
AND AESTHETICS OF THIS HOUSE.

Mazillo Custom Home

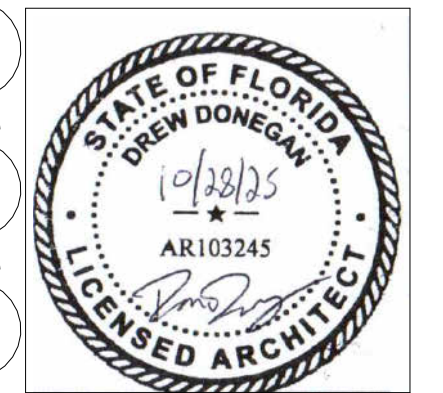
422 137th Ave Cir.
Madeira Beach, FL 33708

Revision Schedule

Revision Number	Revision Description	Revision Date
1	REV - 1	10/28/2025

Sheet Information

Date :	10/28/2025
Job Number :	25_031
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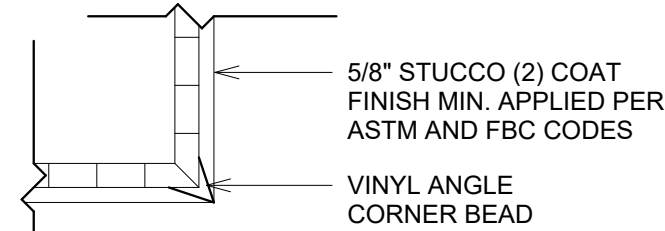
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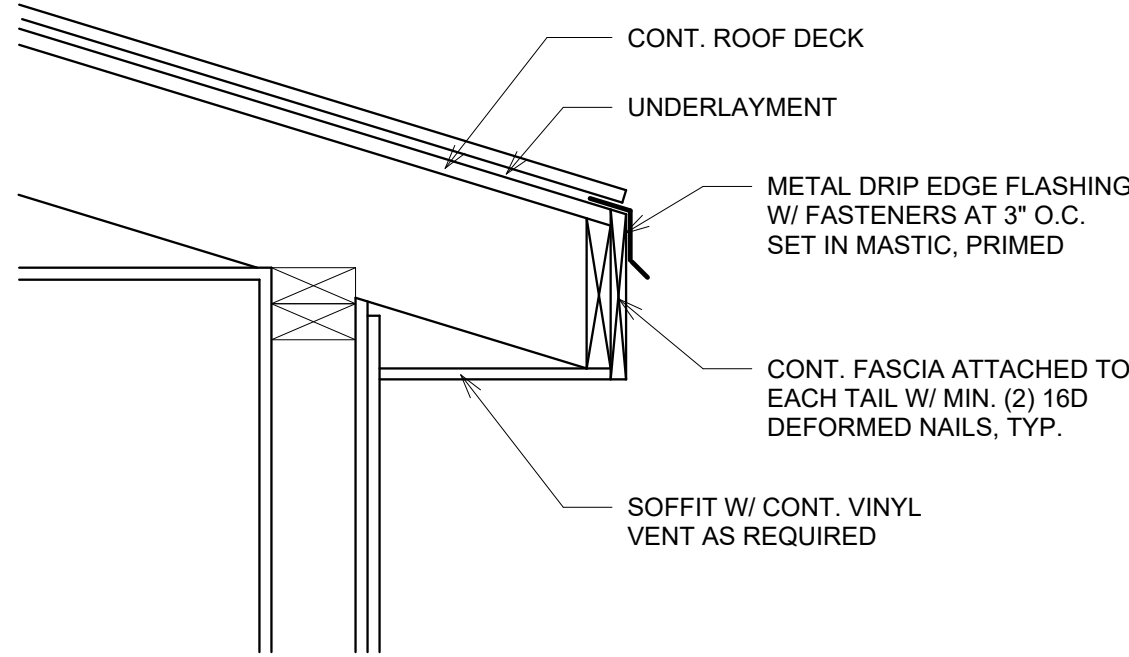
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**Envelope & Flashing
Details**

Sheet:

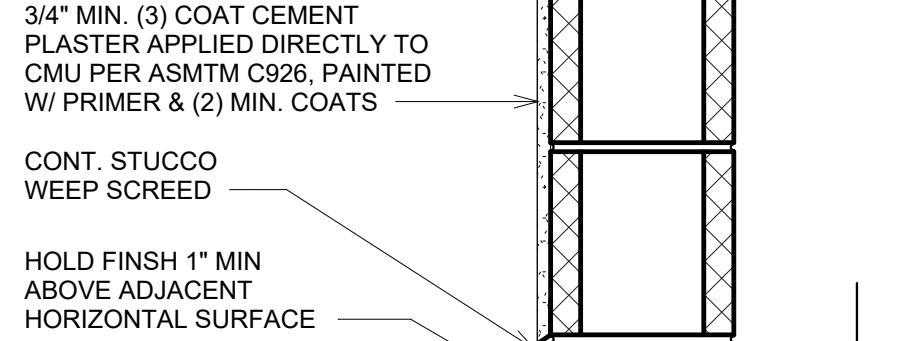
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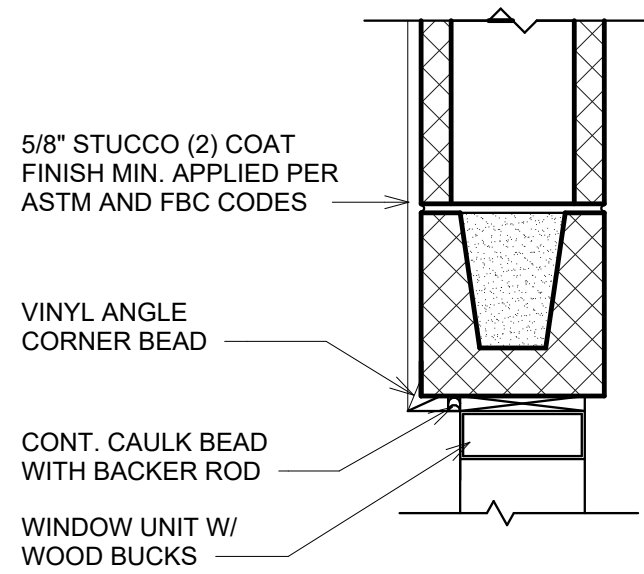
7 Stucco at Corner of Wall
1 1/2" = 1'-0"



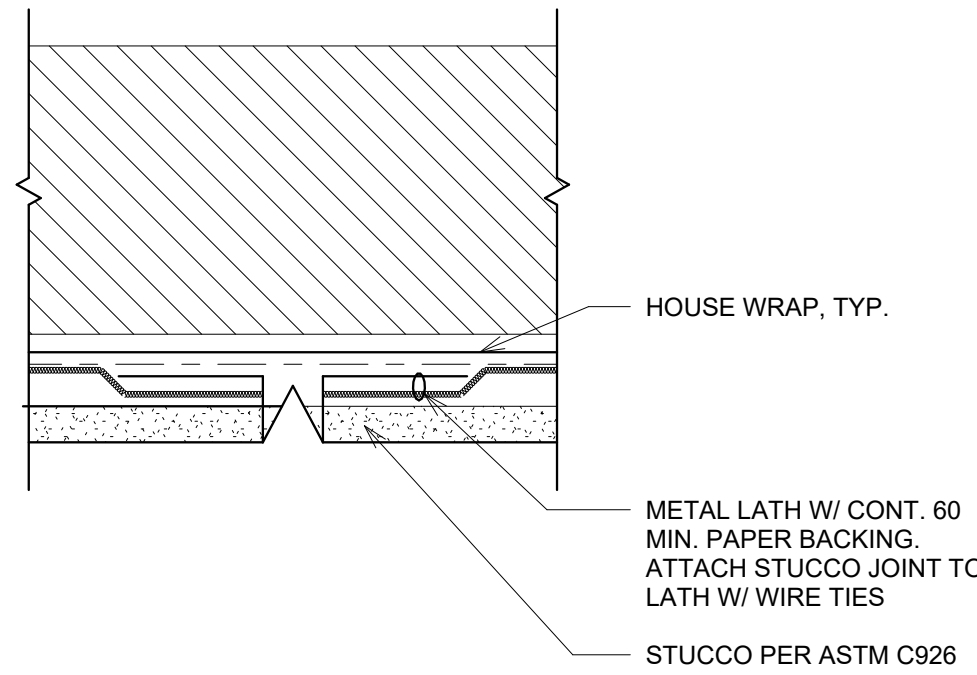
10 W.D. Frame Eaves Detail
1 1/2" = 1'-0"



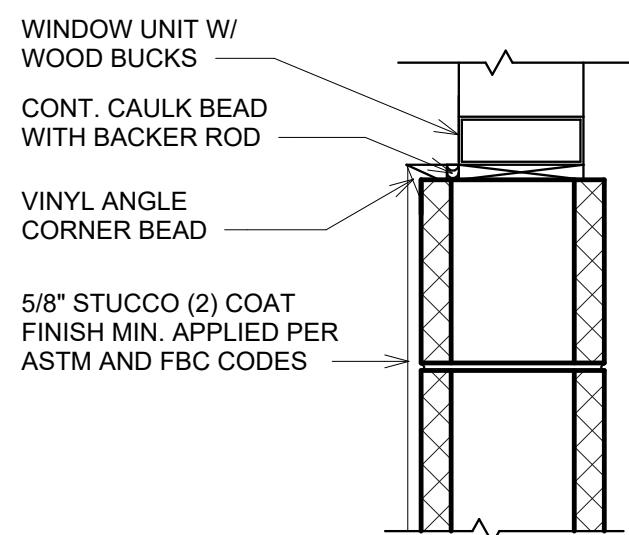
6 Stucco at Bottom of Wall
1 1/2" = 1'-0"



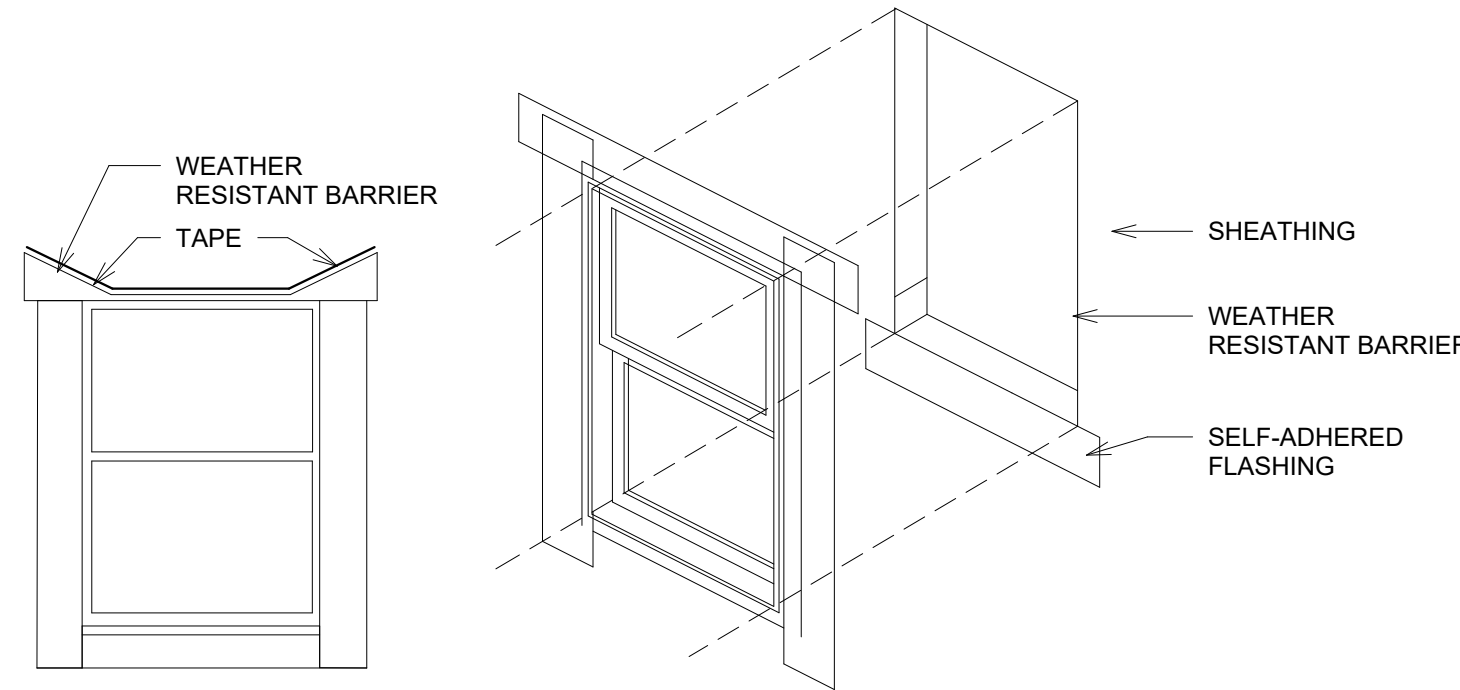
9 Stucco at Window Head
1 1/2" = 1'-0"



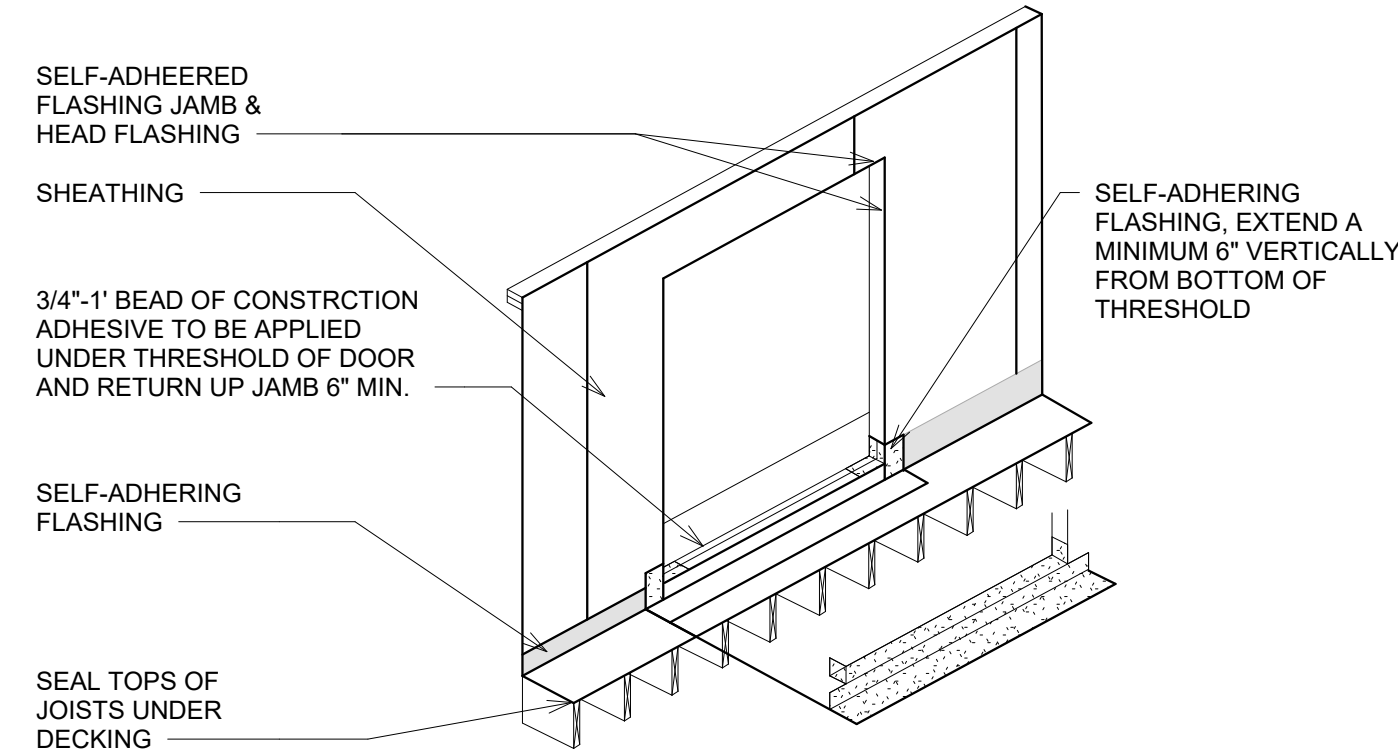
5 Typical Stucco Joint
1 1/2" = 1'-0"



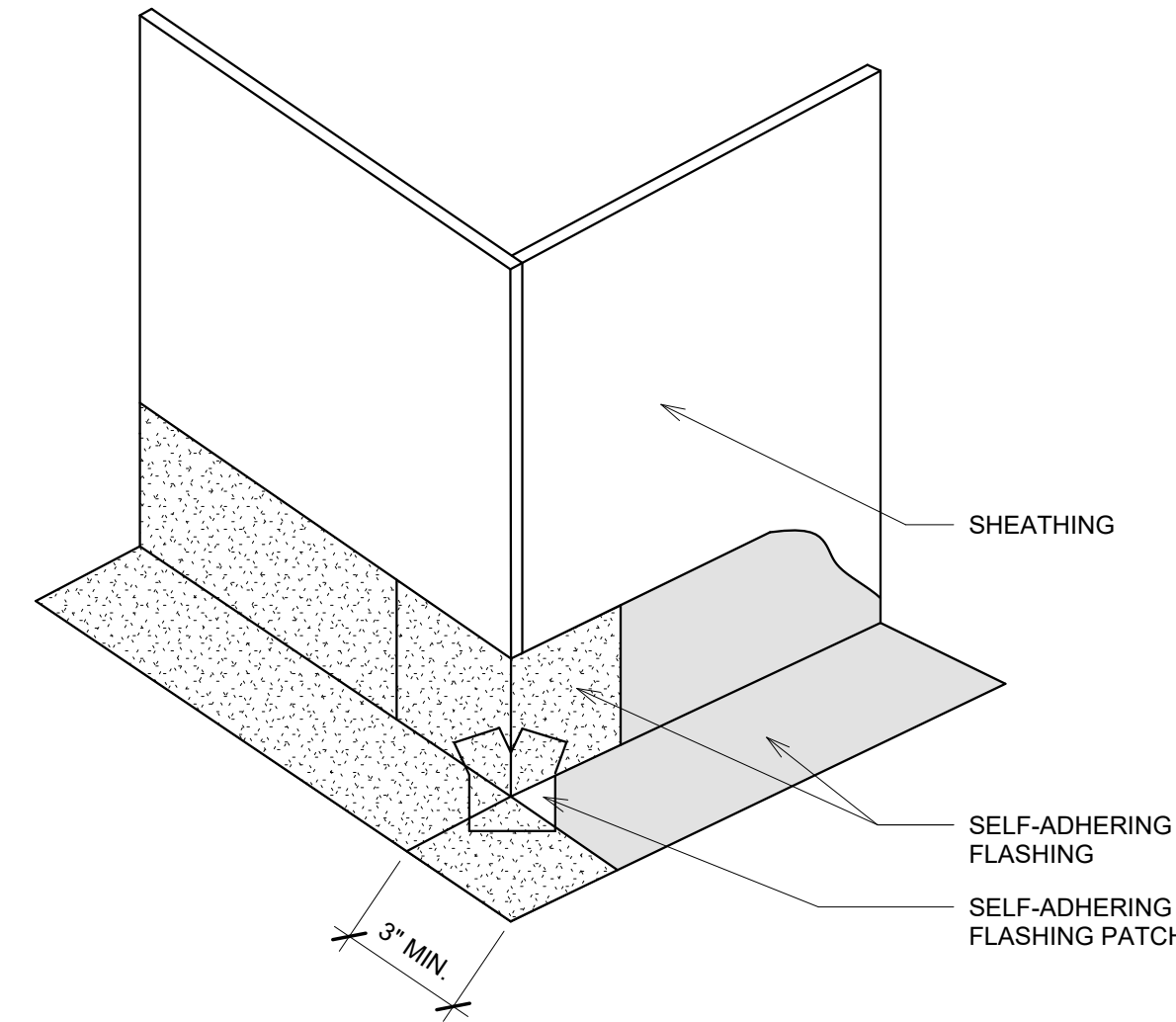
8 Stucco at Window Sill
1 1/2" = 1'-0"



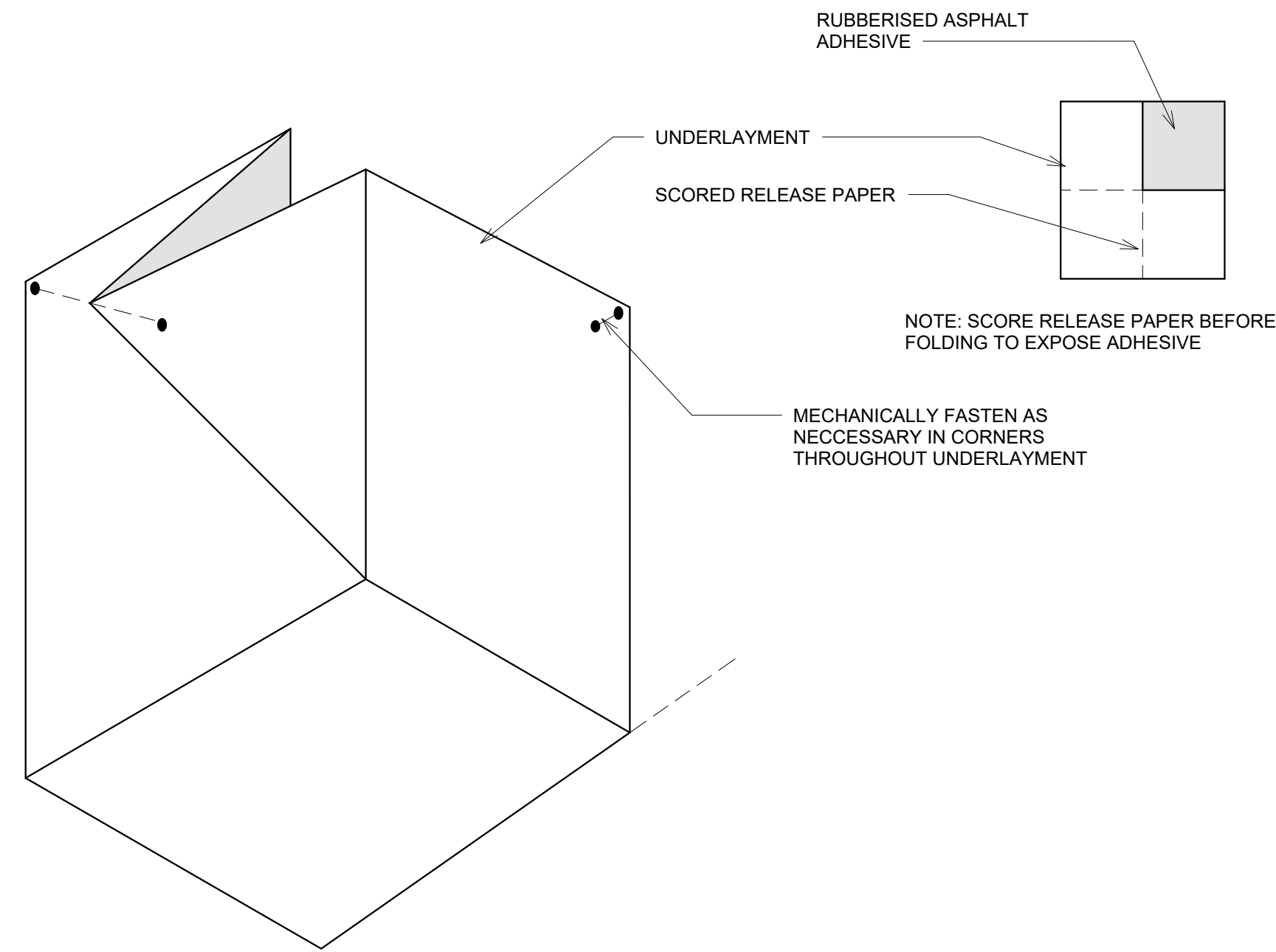
4 Self-Adhered Flashing Flanged Window
1 1/2" = 1'-0"



3 Self-Adhered Flashing At Ext. Door W/ Deck
1 1/2" = 1'-0"



2 Outside Corner Flashing
1 1/2" = 1'-0"



1 Inside Corner Flashing
1 1/2" = 1'-0"

VAR 2026-01

Attachment 6

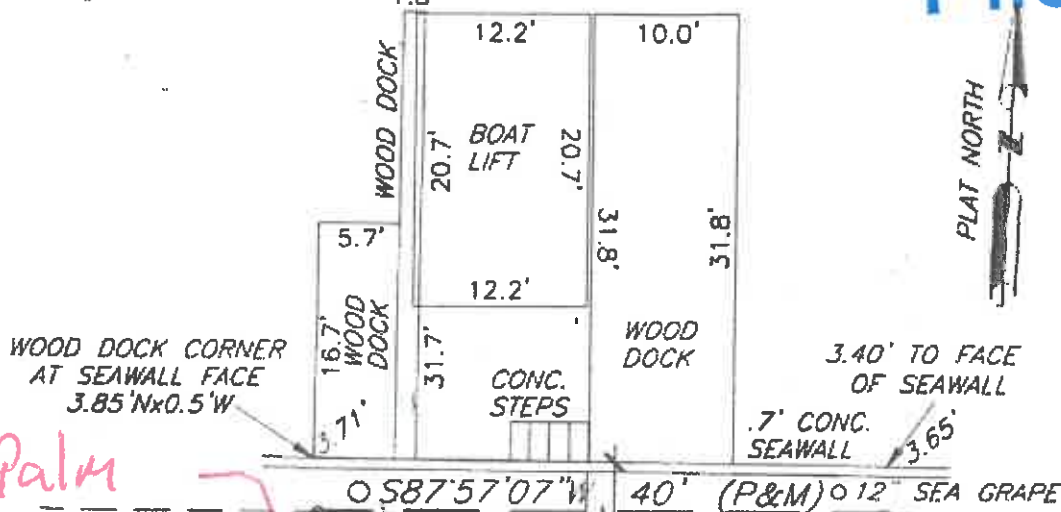


VAR 2026-01

Attachment 7

File Copy

SUBJECT TO FIELD
INSPECTION APPROVAL



Palm

SET DISK (PSM2650)

2' for small plants

Croton Peta

APPROVED

LOT 23

Conditional upon
Owner signing
here, intent
to use main
barrel system
for irrigation
10.5-11

ADJ. 6' W.F. OVER 3.5'
6' W.F. CLEAR 3.5'

Laurel Oak
Myrtle Oak

CONCRETE CLEAR 0.15'

160' (P&M)

5/8" F.I.R. (LB6539) 3.9

20'

CONC. WALK
B.C. 3.04

PROPERTY LINES

25'-0" BACK F SEAWALL

5/8" F.I.R.

2' for small planting
ADJ. CONC.

Croton Peta

small PALM plants

LOT 25

BUILDING SETBACK LINES

SMALL PALM 5'

52'02'53"E(P)
52'07'02"E(M)

VARIANCE REQUEST AREA
5'-0" X 28'-0"
140 SF

Small Palm w/

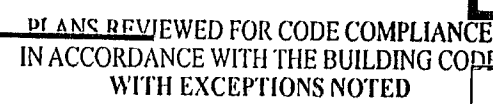
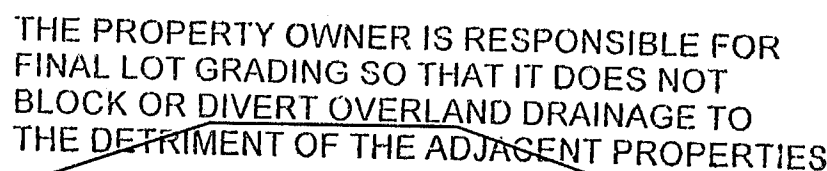
Aztec Grass

F. DISK (LB6539)

N.A.V.D. B.M.
EL. = 4.08'
ON DISK

20'

Fountain Grass Red



ALL CONSTRUCTION
MATERIALS BELOW B.F.E.
MUST BE FLOOD RESISTANT

JAN 04 2017

R-Z

12/11/2016

KEVIN S. SMITH
12/11/2016
LICENSE #ARI1656

Kevin S. Smith, A.I.A.

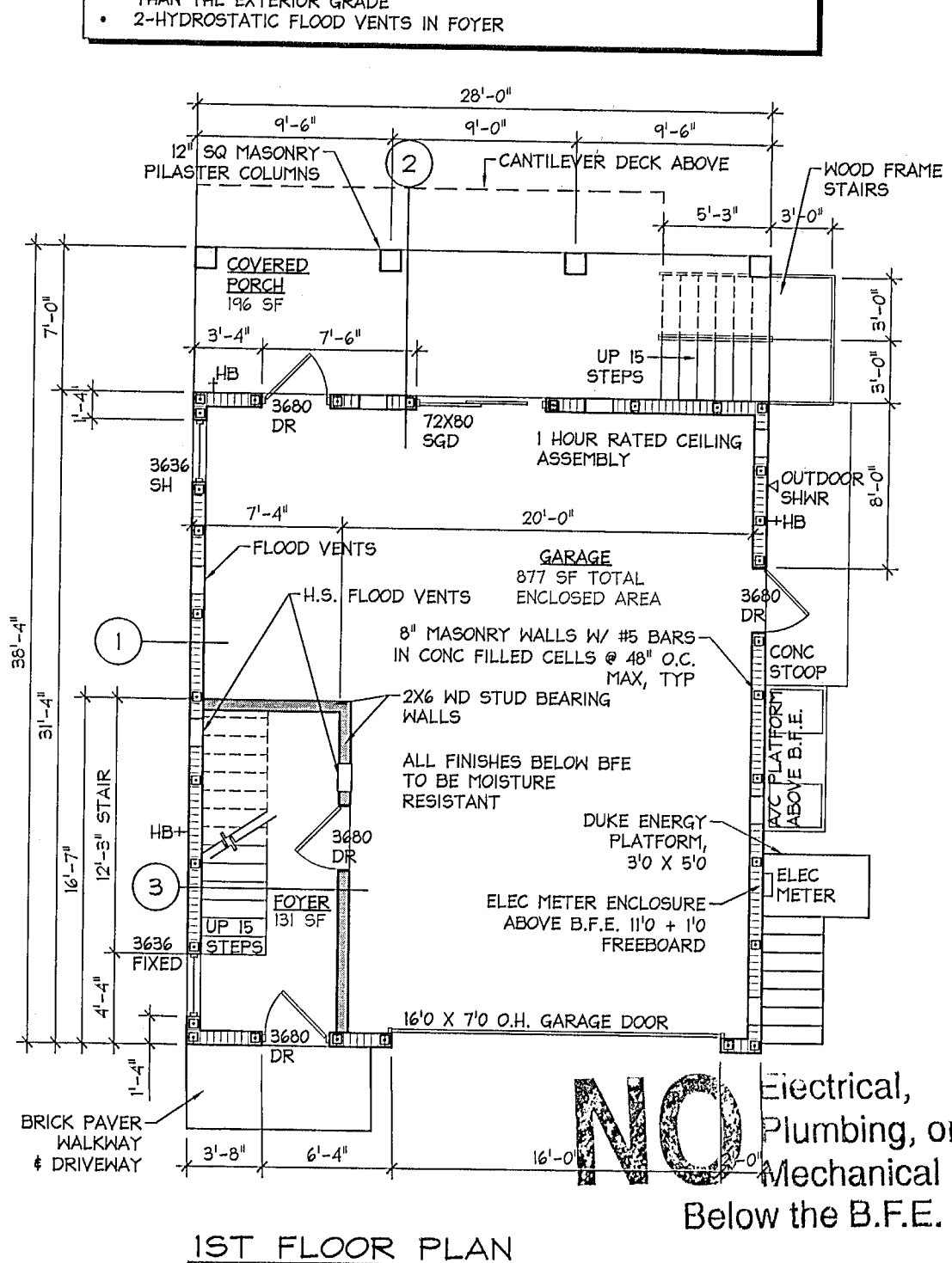
1909 West Patterson St. Tampa, Fl. 33604

File Copy SUBJECT TO FIELD INSPECTION APPROVAL 46

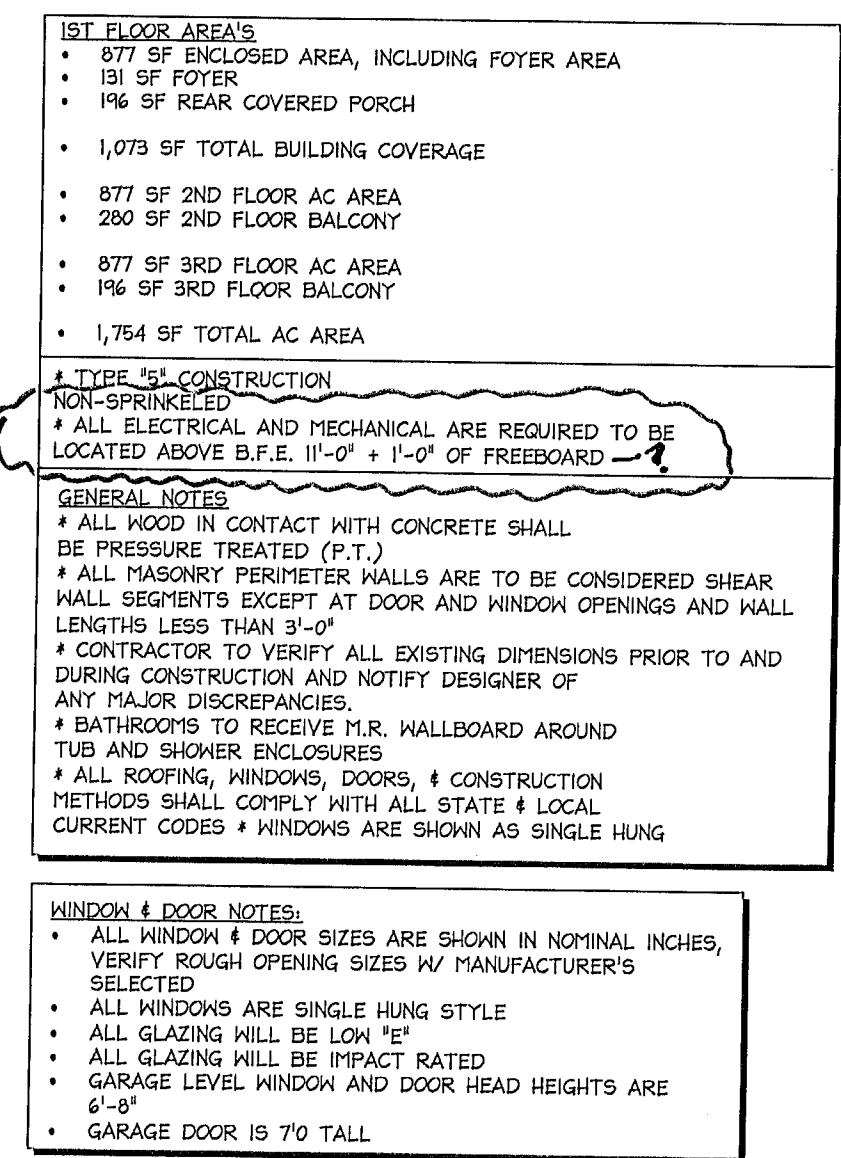
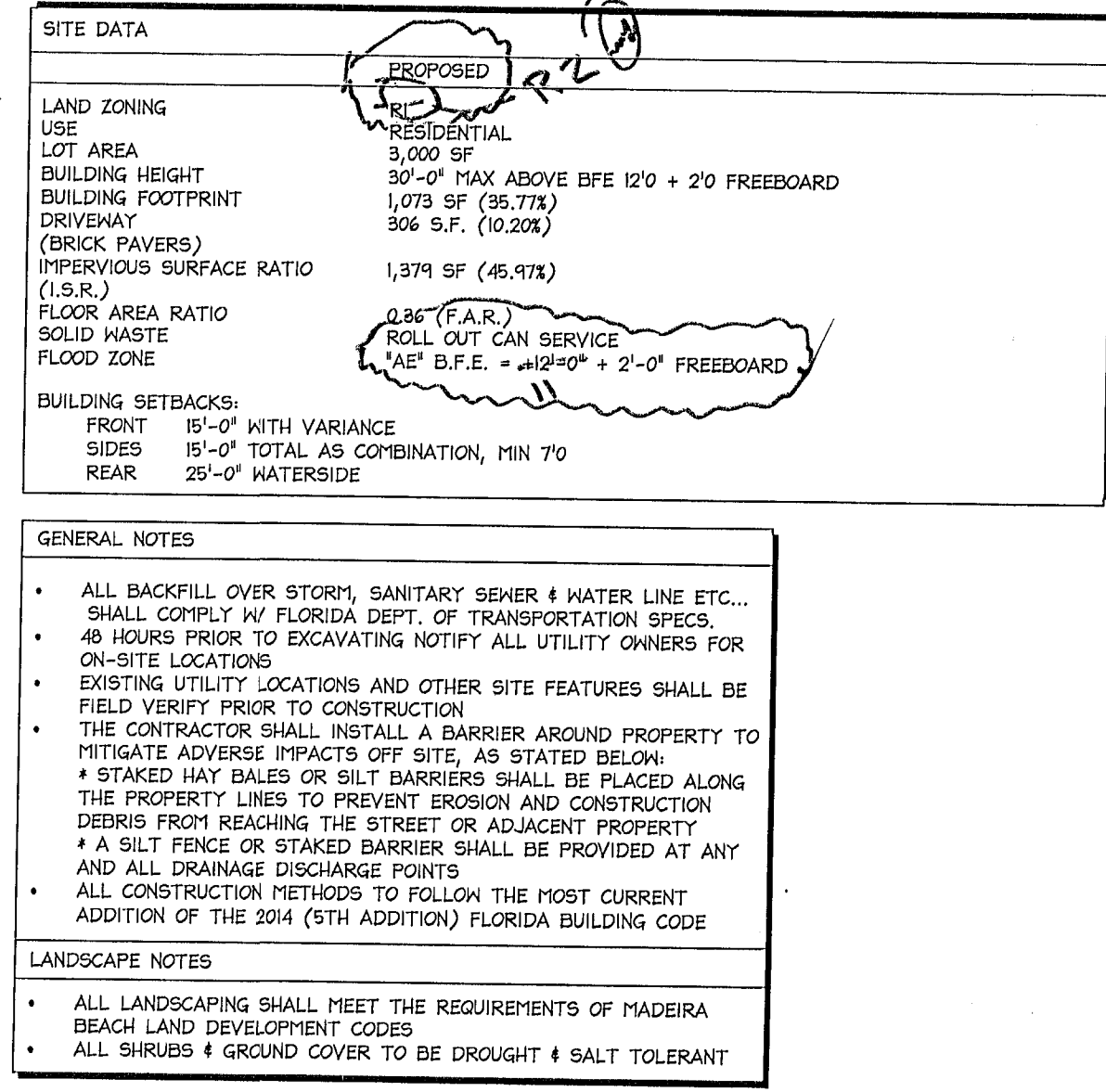
A1

NO Electrical,
Plumbing, or
Mechanical
Below the B.F.E.

"PLAN REVIEW SET"



* Contractor notified via email of incorrect AE, Sheet A-1 will be corrected for file and provided upon permit pick up. Surveyor should add elevation and resubmit but not required for permit issuance. *WJH*



VAR 2026-01

Attachment 8



Mike Twitty, MAI, CFA
Pinellas County Property Appraiser

Parcel Summary
(as of 13-Jan-2026)

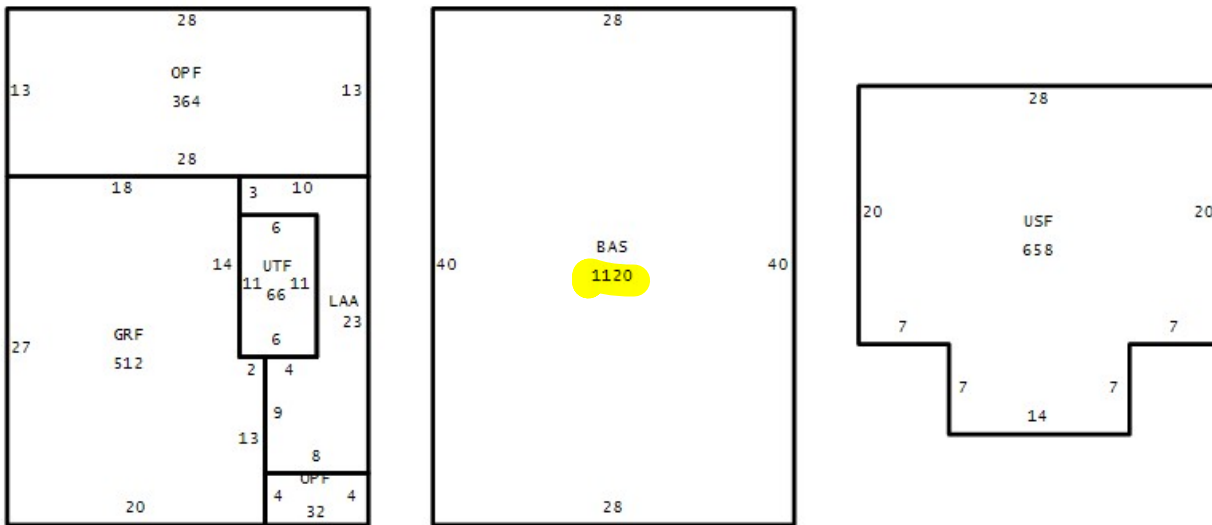
Parcel Number

15-31-15-34488-000-0210

- Owner Name
VIGIL, RONALD
VIGIL, SHARON
- Property Use
0110 Single Family Home
- Site Address
244 137TH AVENUE CIR
MADEIRA BEACH, FL 33708
- Mailing Address
244 137TH AVENUE CIR
MADEIRA BEACH, FL 33708-2508
- Legal Description
GULF SHORES HARBOR SUB LOT 21 & LAND TO SEAWALL
- Current Tax District
MADEIRA BEACH (MB)
- Year Built
2001

Living SF	Gross SF	Living Units	Buildings
1,924	2,898	1	1

Sub Area	Living Area SF	Gross Area SF
Base (BAS):	1,120	1,120
Upper Story (USF):	658	658
Lower Area Access (LAA):	146	146
Garage (GRF):	0	512
Open Porch (OPF):	0	396
Utility (UTF):	0	66
Total Area SF:	1,924	2,898



Land Area: \approx 3,080 sf | \approx 0.07 acres Frontage and/or View: Canal/River Seawall: Yes

Property Use	Land Dimensions	Unit Value	Units	Method	Total Adjustments	Adjusted Value
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VAR 2026-01

Attachment 9

2013.01

Item 5A.

THE CITY OF MADEIRA BEACH, FLORIDA
SPECIAL MAGISTRATE - VARIANCE APPLICATION

APPLICATION 201352DATED: 1/23/13.Applicant: Name and Address

Donajo Mathis
420 137th Ave Cir.
Madeira Beach

Property Owner: Name and Address

Jerry and Donajo Mathis
420 137th Ave Cir.
Madeira Beach

Telephone #: 727-430-5481Telephone #: same

Application for property located at (street address or location of vacant lot):

420 137th Ave Cir, Madeira Beach

Legal description:

Block

Lot(s)

Subdivision

29 Gulf Shores Harbor Subdivis
- 107Approx. lot area: 3000 sq. ft. Lot width 40 ft. Lot depth 75 ft.

Zoning district:

R-2

Present structures on property:

one story masonry house and shed

Present use of property:

single family home

The date my request for a Building Permit was denied: _____

FILING FEES



Zoning Variance for Residential Dwelling Units (one, two or three units)

\$350 per variance

☐ Zoning Variance for Multi-Family, Tourist Dwellings or Commercial

\$350 per variance

☐ After-the-Fact Variance

\$500

Variance(s) needed from the zoning requirements are:

9' from front setback, increase area covered by structures

*** PLEASE ATTACH REQUIRED SUPPORTING MATERIALS ***

SITE PLAN, SURVEY, PICTURES, DEED, SURVEYOR'S SKETCH, DRAWINGS, ETC.

This application to the Special Magistrate is requesting permission to be allowed to:

-to add on a double car garage to the existing single family house. In order to add the proposed garage, we request a variance of 9' from the front setback and an increase in the area covered by structures to 46%. This variance would allow us a 29' x 28' (exterior dimension) two-car garage added to our existing structure.

A variance granted by the Special Magistrate shall be consistent with the public interest, when owing to a special condition and literal enforcement of the provisions of the code will not result in an unnecessary and undue hardship to the applicant. Further, that the special condition or unique circumstance does not result from the intentional act of the applicant or the applicant's agent(s). In order to authorize any variance from the provisions of the City Code the Special Magistrate shall consider the following criteria and shall find that the criteria has been substantially satisfied and that a hardship exists:

EXPLAIN IN DETAIL HOW YOUR REQUEST COMPLIES WITH THE FOLLOWING RULES.

1. Demonstrate that special conditions and circumstances exist which are peculiar to the land, building, or other structures in the same district. Special conditions to be considered shall include, but are not limited to, the following circumstances:
 - a. *Substandard or irregular-shaped lot.* If the site involves the utilization of an existing lot that has unique physical circumstances or conditions, including irregularity of shape, narrowness, shallowness, or the size of the lot is less than the minimum required in the district regulations;
 - b. *Significant vegetation or natural features.* If the site contains significant native vegetation or other natural features;
 - c. *Residential Neighborhood character.* If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements;
 - d. *Public facilities.* If the proposed project involves the development of public parks, public facilities, schools, or public utilities;
 - e. *Architectural and/or engineering considerations.* If the proposed project utilizes architectural and/or engineering features that would render the project more disaster resistant.

1. a,c Our house is located on a substandard lot which is 40' x 75', which is 3000sf. The minimum size required for a single family lot is 4000sf. This greatly limits the building size due to the zoning requirements.

Currently in the neighborhood, there are other houses or garages that are inside the front 20' setback from the right of way. The street-side wall of the garage proposed would be approximately the same set back distance as our neighbor's house to the east. I have enclosed photos and an aerial photo showing this. The proposed garage would blend in nicely with the other homes in the neighborhood and would increase the aesthetic value of our home and neighborhood

2.	<p>Demonstrate that a special conditions and circumstances do not result from the actions of the applicant. A self-created hardship shall not justify a variance.</p> <p>The home was built in 1946 and is a very well built, extremely small single family home of 576 sf. Our home has no closets or other storage space.</p>
3.	<p>Demonstrate that that granting the variance will not confer on the applicant any special privilege that is denied to other lands, buildings or structures in the same zoning district.</p> <p>As stated previously, there are other houses and garages within the 20' setback.</p>
4.	<p>Demonstrate that literal interpretation would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the land development regulations, subpart B of this Code and would work unnecessary and undue hardship on the applicant.</p> <p>The code 110.973 allows 2 off street parking spaces for a single family home. We would like to enclose these parking spaces with a garage. Most single family homes have garages, which provides protection from the extreme damage caused by the sun and salt. This garage would provide storage room and a laundry area which would accommodate basic household needs and free up much-needed space inside our home. The garage would also increase security of our vehicles while parked, lessening the likelihood of vandalism or theft.</p>
5.	<p>Demonstrate the variance granted is the minimum variance that will make possible the reasonable use of the land.</p> <p>The code states a parking space is 9' x 24'. So if you take each space $9' + 9' = 18'$ and add 3' to one side of the spaces, 3' between the spaces and another 3' to the other side of the spaces to allow for the opening of the doors while parked side by side in the garage. This comes to a total of $27', 3' + 9' + 3' + 9' + 3'$, so the minimum width would be 27', and add the width of the concrete block walls approx. 16", so rounded up is 29' wide. For length, 24' plus the block wall and the depth of the garage door that protrudes from the wall is about 25'. (Cont. on back)</p>
6.	<p>Demonstrate that the granting of the variance will be in harmony with the general intent and purpose of the city land development regulations, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.</p> <p>By granting the variance, it would be an improvement to the property which would add value and in return would benefit the city in increased taxes. The addition would fit in with the newer homes being built in the neighborhood. We propose to do architectural details to make it aesthetically pleasing (an example has been enclosed).</p>

Pg 4 of 7

CERTIFICATION

I hereby authorize permission for the Special Magistrate, Building Official and Community Development Director to enter upon the above referenced premises for purposes of inspection related to this petition.

I hereby certify that I have read and understand the contents of this application, and that this application, together with all supplemental data and information, is a true representation of the facts concerning this request; that this application is made with my approval, as owner and applicant, as evidenced by my signature below.

It is hereby acknowledged that the filing of this application does not constitute automatic approval of the request; and further, if the request is approved, I will obtain all the necessary permits and comply with all applicable orders, codes, conditions, rules and regulations pertaining to the subject property.

I have received a copy of the Special Magistrate Requirements and Procedures (attached), read and understand the reasons necessary for granting a variance and the procedure, which will take place at the Public Hearing.

Appeals. (City Code, Sec. 2-509) An aggrieved party, including the local governing authority, may appeal a final administrative order of the Special Magistrate to the circuit court. Such an appeal shall not be a hearing de novo, but shall be limited to appellate review of the record created before the Special Magistrate. An appeal shall be filed within 30 days of the execution of the order to be appealed.

Date: 11-6-12 Property owner's signature: [Signature]

Before me, this 6th day of November, 2012, appeared in person

Mathis, Donajio Linda + Mathis, Jerry Lee who, being sworn, deposes and says that the forgoing
(name of property owner)

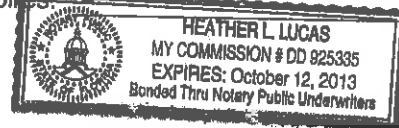
is true and correct certification.

STATE OF FLORIDA
COUNTY OF PINELLAS – NOTARY SIGNATURE

Heather L Lucas

Personally Known to me: _____ Commission Expires: 10/12/13
Stamp

Identification Taken: DR Lic (FL) / Military ID



NOTICE: Persons are advised that, if they decide to appeal any decision made at this hearing, they will need a record of the proceedings, and for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

SPECIAL MAGISTRATE: REQUIREMENTS AND PROCEDURES (City Code Sec. 2-507)

An affirmative decision by the Special Magistrate shall be necessary to reverse the decision of the administration and grant a variance. The Special Magistrate, during the review of your petition, shall take note of the following:

- (1) Special conditions and circumstances exist which are peculiar to the land, building, or other structures for which the variance is sought and which do not apply generally to the lands, building, or other structures in the same district. Special conditions to be considered shall include, but are not limited to, the following circumstances:
 - a. *Substandard or irregular-shaped lot.* If the site involves the utilization of an existing lot that has unique physical circumstances or conditions, including irregularity of shape, narrowness, shallowness, or the size of the lot is less than the minimum required in the district regulations;
 - b. *Significant vegetation or natural features.* If the site contains significant native vegetation or other natural features;
 - c. *Residential Neighborhood character.* If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements;
 - d. *Public facilities.* If the proposed project involves the development of public parks, public facilities, schools, or public utilities;
 - e. *Architectural and/or engineering considerations.* If the proposed project utilizes architectural and/or engineering features that would render the project more disaster resistant.
- (2) The special conditions and circumstances do not result from the actions of the applicant. A self-created hardship shall not justify a variance.
- (3) Granting the variance will not confer on the applicant any special privilege that is denied to other lands, buildings or structures in the same zoning district.
- (4) Literal interpretation would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the land development regulations, subpart B of this Code and would work unnecessary and undue hardship on the applicant.
- (5) The variance granted is the minimum variance that will make possible the reasonable use of the land.
- (6) The granting of the variance will be in harmony with the general intent and purpose of the city land development regulations, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

In granting any variance, the special magistrate may prescribe appropriate conditions and safeguards in conformity with the city land development regulations. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted shall be deemed a violation of this Code. The special magistrate may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed or both. Under no circumstances except as specified in subsection (a) shall the special magistrate grant a variance to allow a use not generally or by special exception use permitted in the applicable zoning district of the city land development regulations. A nonconforming use of neighborhood lands, structures or buildings in the same zoning district shall not be considered grounds for the authorization of a variance. **Financial loss** standing alone is not sufficient justification for a variance.

The hearing will be conducted in the following manner:

1. Public notice will be read along with correspondence received.
2. City presents its case, and the applicant may cross-examine.
3. The Applicant presents his or her case supported by witnesses and evidence; and the City has the right to cross-examine each witness.
4. Public comment will only be solicited or received from parties directly affected by the variance. Individuals testifying do not have the right to cross-examine the parties.
5. Public participation will be closed, the Special Magistrate deliberates and makes a decision to grant or deny each variance requested in the application.

All variances granted by the Special Magistrate and not acted on within one (1) year of being granted will automatically expire.

The granting of a variance does not relieve the applicant from obtaining a building permit. The Special Magistrate does not have the authority to grant variances from the 100 Year Flood Level for Residential or Commercial Property.

Appeals. (City Code, Sec. 2-109) An aggrieved party, including the local governing authority, may appeal a final administrative order of the Special Magistrate to the circuit court. Such an appeal shall not be a hearing de novo, but shall be limited to appellate review of the record created before the Special Magistrate. An appeal shall be filed within 30 days of the execution of the order to be appealed.

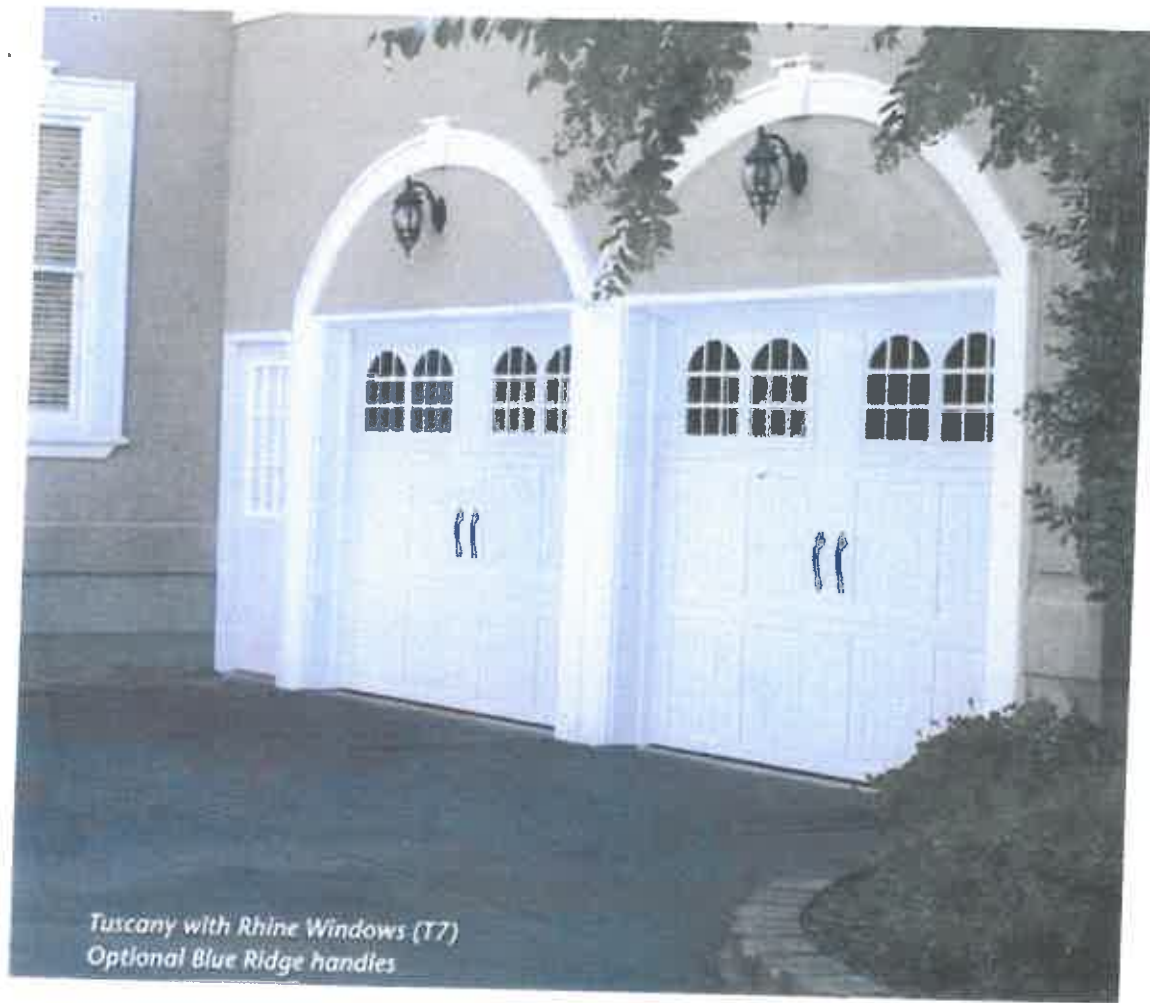
I have received a copy of the Special Magistrate Requirements and Procedures (attached), read and understand the reasons necessary for granting a variance and the procedure, which will take place at the Public Hearing.

Signature of Applicant

Date



our house



example of exterior
design for a garage.



House and garage within 20' front
setback in neighborhood



within 20' front setback

Item 5A.



Within 20' setback



neighbors house to east.
within 20' front setback - the proposed garage would
approximately be in line with this house

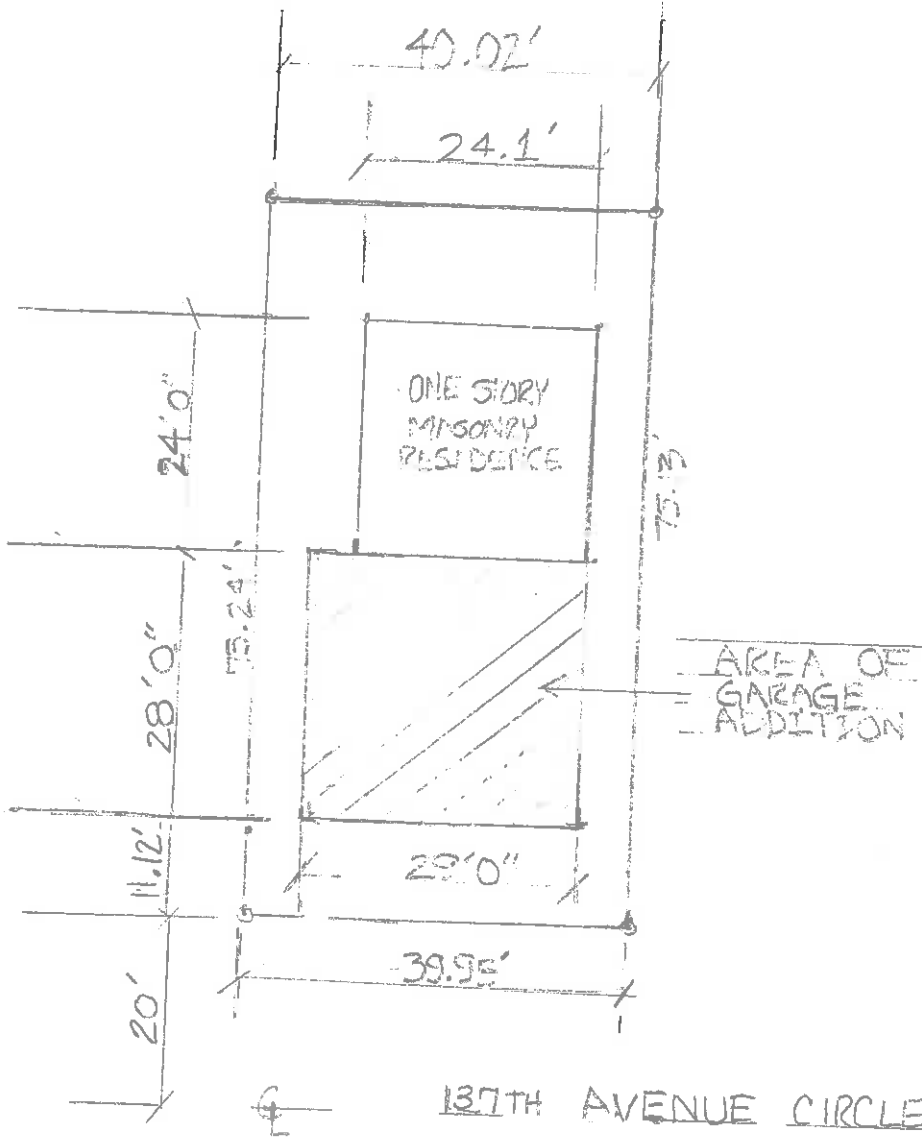


→ the line shows approx
how the garage lines
up to neighbor's
house

showing properties
within 20' setback

Item 5A.





SHEET: FLOOR PLAN, SITE PLAN

PROJECT: MATHIS RESIDENCE
420 137TH AVE. CIR., MADEIRA BEACH FL

DATE: JAN. 13 2013
SCALE: AS NOTED
BY DLM

SITE PLAN

SCALE: 1"=20'0"

WARRANTY DEED
INDIVID. TO INDIVID.

Return to: (enclose self-addressed stamped envelope)

Name: Chicago Title Insurance Company

Attn.: Monica L Borne

Address: 595 Corey Ave.
ste. C, St. Pete Beach, 33706

File Number: 03-116-10

This Instrument Prepared by:

Name: Chicago Title Insurance Company

Attn: Monica L Borne

Address: 595 Corey Ave.
ste. C, St. Pete Beach, 33706

Property Appraisers Parcel Identification

Folio Number(s): 15/31/15/34488/000/0280

Grantee(s) S.S. # (s)

PAGES 2
 ACCT
 REC 10.50
 DR219 1,679.30
 DS
 INT
 FEES
 MTF
 P/C
 REV

TOTAL 1,689.80
 - CK BAL
 CHG AMT

JMS

KARLEEN F. DE BLAKER, CLERK OF COURT
PINELLAS COUNTY, FLORIDA

60303125 02-11-2003 17:17:29 MDK
 51 DED-DAVID HOLLOWAY/DANIEL HEIKES
 033325
 IH:03055520 BK:12530 SPG:2310 EPG:2311
 RECORDING 002 PAGES 1 \$10.50
 DOC STAMP - DR219 3 \$1,679.30

TOTAL: \$1,689.80
 CHECK AMT. TENDERED: \$1,689.80
 CHANGE: \$0.00
 BY MDK DEPUTY CLERK

03-055520 FEB-11-2003 5:16PM
 PINELLAS CO BK 12530 PG 2310

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

This Warranty Deed, Made and executed this 7th day of February, 2003

by DAVID W. HOLLOWAY, a single man, whose address is 343 BOCA CIEGA DRIVE Madeira Beach FL 33708 hereinafter called the Grantor,

to DANIEL D. HEIKES and DONAJA L. HEIKES, husband and wife and DONALD THEODORE JOHNSON, a single man, whose post office address is 420 137TH AVENUE CIRCLE Madeira Beach FL 33708 hereinafter called the Grantee.

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires)

Witnesseth, That the Grantor, for and in consideration of the sum of \$10.00 (Ten and 00/100 Dollars) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land, situate in Pinellas County, State of Florida, viz:

Lot(s) 29, GULF SHORES HARBOR SUBDIVISION, according to plat thereof as recorded in Plat Book 23, Page(s) 51, of the Public Records of Pinellas County, Florida.

Together, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.**To Have and to Hold,** the same in fee simple forever.

WARRANTY DEED
INDIVID. TO INDIVID.

PINELLAS COUNTY FLA.
OFF REC BK 12530 PG 2311

SPACE ABOVE THIS LINE FOR RECORDING DATA

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2002.

In Witness Whereof, the said Grantor has signed and sealed these presents the day and year first above written.

Monica L Borne
Witness

David W. Holloway
DAVID W. HOLLOWAY

Monica L. Borne
Printed name

Samuel Lewis
Witness

Swann Lewis
Printed name

STATE OF FLORIDA
COUNTY OF PINELLAS

This foregoing instrument was acknowledged before me this 7th day of February, 2003, by DAVID W. HOLLOWAY, a single man.
(Check one:) ☐ Said person(s) is/are personally known to me. ☒ Said person(s) provided the following type of identification: Valid Driver's License

NOTARY RUBBER STAMP SEAL



Monica L Borne
Notary Signature

Print Name

Prepared by and Return to: Donajo L. Mathis
420 137th Avenue Circle,
Madiera Beach, Florida 33708
Parcel ID No: 15/31/15/34488/000/0290

Quit Claim Deed

Made this November 2, 2012 A.D. by, Donajo Linda Heikes a/k/a Donajo L. Heikes n/k/a Donajo Linda Mathis, a married woman joined by her husband Jerry Mathis, herein called the grantor to Donajo Linda Mathis and Jerry Mathis, wife and husband whose post office address is: 420 137th Avenue Circle, Madeira Beach, Florida 33708 hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal re-presentatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of \$ TEN AND NO/100 DOLLARS (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, does hereby remise, release, and quit claim unto the grantee forever, all the right, title, interest, claim and demand which the said grantor has in and to, all that certain land situate in Pinellas County, Florida, viz:

Lot 29, Gulf Shores Harbor Subdivision, according to the map or plat thereof, as recorded in Plat Book 23, Page(s) 51, of the Public Records of Pinellas County, Florida.

Grantor gives this deed to create a husband and wife tenancy

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said grantor, either in law or equity, to the only proper use, benefit and behoof of the said grantee forever.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Witness Name	<u>Mitchell Hardin</u>	Printed	<u>Donajo Linda Heikes a/k/a Donajo L. Heikes n/k/a Donajo Linda Mathis</u>	(Seal)
Witness Name	<u>Mitchell Hardin</u>	Printed	<u>Address: 420 137th Avenue Circle, Madeira Beach, Florida 33708</u>	
Witness Name	<u>Jerry Mathis</u>	Printed	<u>Jerry Mathis</u>	(Seal)
Witness Name	<u>Jerry Mathis</u>	Printed	<u>Address: 420 137th Avenue Circle, Madeira Beach, Florida 33708</u>	
Witness Name	<u>Blaine Hanson</u>	Printed	<u>Address:</u>	(Seal)
Witness Name	<u>Blaine Hanson</u>	Printed	<u>Address:</u>	(Seal)

State of Florida
County of Pinellas

The foregoing instrument was acknowledged before me this November 2, 2012, by Donajo Linda Heikes a/k/a Donajo L. Heikes n/k/a Donajo Linda Mathis, a married woman joined by her husband Jerry Mathis, who is personally known to me or who has produced Florida Drivers Licenses as identification.



Deborah M. Hall
Notary Public
Print Name: Deborah M. Hall
My Commission Expires: May 8, 2015
Seal

Quitclaim Deed

THIS QUITCLAIM DEED, executed this 15th day of February, 2005,
by first party, Grantor, Donald Theodore Johnson
whose post office address is 4312 Brookview Ave. Edina MN 55424
to second party, Grantee, Daniel Dean and Donajo Linda Heikes
whose post office address is 23500 Zane Ave Lakeville MN 55044

WITNESSETH, That the said first party, for good consideration and for the sum of _____ Dollars (\$ 0.00)

paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quitclaim unto the said second party forever, all the right, title, interest and claim which the said first party has in and to the following described parcel of land, and improvements and appurtenances thereto in the County of Pinellas State of Florida to wit:

Property Address: 420 137th Ave Circle
Madeira Beach FL 33708

Property Description: Lot(s) 29, Gulf Shores
Harbor Subdivision, according to plat
thereof as recorded in Plat Book 23,
Page(s) 51, of the Public Records
of Pinellas County, Florida.

IN WITNESS WHEREOF, The said first party has signed and sealed these presents the day and year first above written.
Signed, sealed and delivered in presence of:

Signature of Witness: Roseanne Callahan

Print name of Witness: Roseanne Callahan

Signature of Witness: Susan Stenseth

Print name of Witness: Susan Stenseth

Signature of First Party: Donald Theodore Johnson

Print name of First Party: DONALD THEODORE JOHNSON

Signature of Second Party: Daniel Dean Heikes Donajo Linda Heikes

Print name of Second Party: Daniel Dean Heikes Donajo Linda Heikes

Signature of Preparer: Donajo Linda Heikes

Print Name of Preparer: Donajo Linda Heikes

Address of Preparer: 23500 Zane Ave. Lakeville MN 55044

State of Florida
County of Manatee

On February 15th 2005 before me, Donald Theodore Johnson, Daniel Dean Heikes, Donajo Linda Heikes
appeared

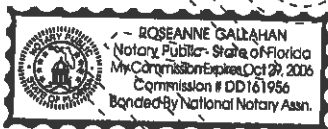
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized
capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the
person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Roseanne Callahan
Signature of Notary

Affiant N/A Known X Produced ID
Type of ID N/A

(Seal)



SECTION 15, TOWNSHIP 31 SOUTH, RANGE 15 EAST

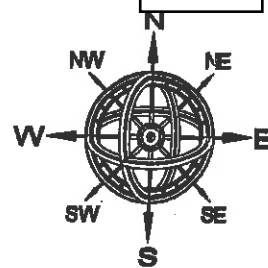
CERTIFIED TO:
DONAJO LINDA MATHIS
JERRY MATHIS

A BOUNDARY SURVEY OF

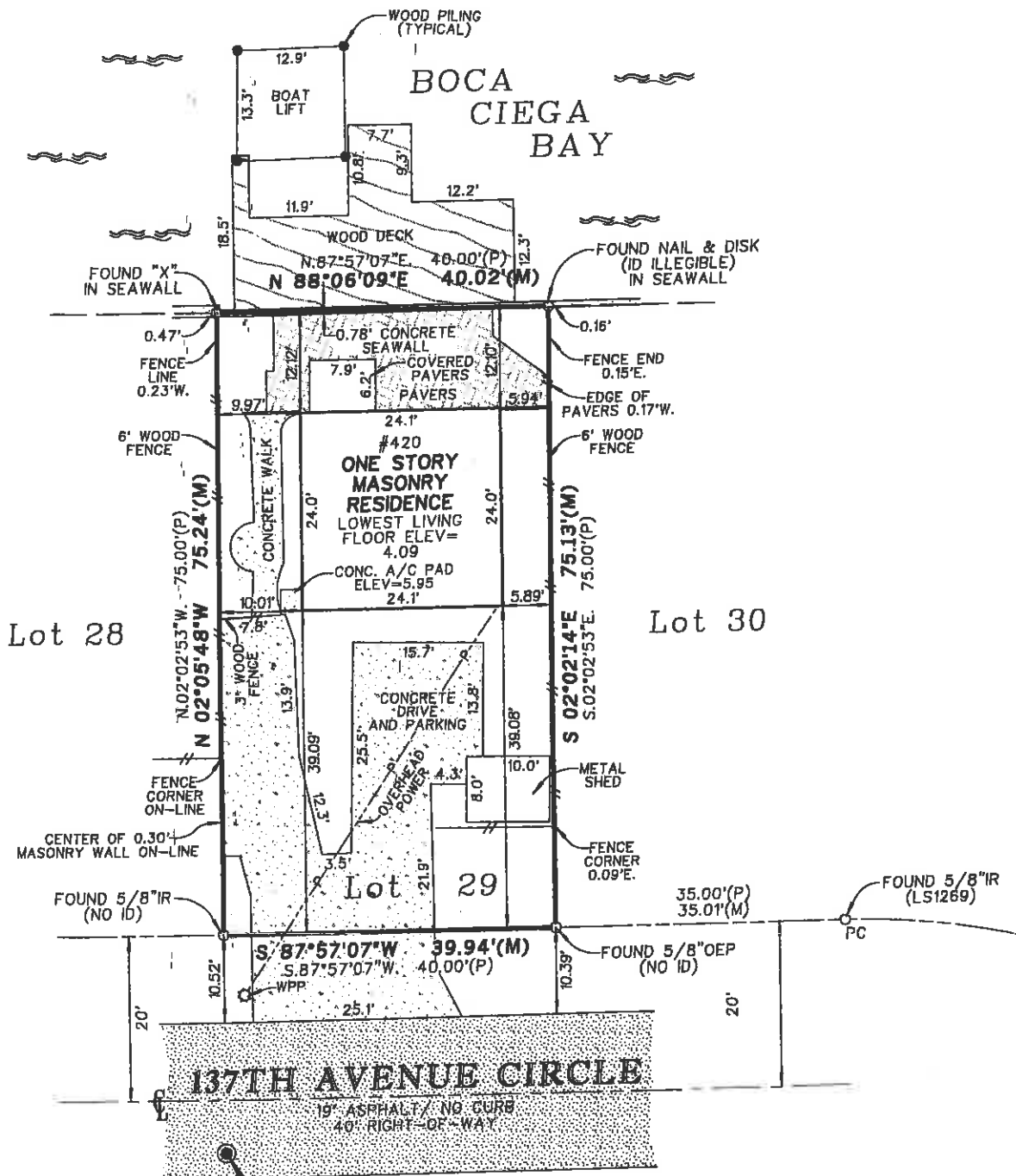
LOT 29, ACCORDING TO THE PLAT OF
GULF SHORES HARBOR SUBDIVISION
AS RECORDED IN PLAT BOOK 23, PAGE 51
OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

BOUNDARY SURVEY WITH IMPROVEMENTS
AND ELEVATION CERTIFICATE - 11/19/12

Item 5A.



NORTH BASIS:
ASSUMED
SCALE: 1" = 20'



Flood Zone
FLOOD ZONE AE (MINIMUM ELEVATION 11')
COMMUNITY PANEL #125127 12103C0191 G
REVISED 6/12/2012

(NAVD)
SITE TBM ELEV. = 3.06'
SET NAIL & DISK (LB 760)
IN ASPHALT PAVEMENT

ABBREVIATIONS:
A/C = AIR CONDITIONER
C = CENTERLINE
ELEV = ELEVATION
ID = IDENTIFICATION
IR = IRON ROD
LS = LICENSED SURVEYOR
(M) = MEASURED
DEP = DEEP END SIDE



SPECIAL MAGISTRATE – VARIANCE REQUEST

Meeting Date: February 25, 2013
Application: 2013-01
Applicant: Donajo Mathis
 420 137th Avenue Circle
 Madeira Beach, FL 33708

I. GENERAL INFORMATION

- A. Request:** The applicant is seeking the following variances from the Madeira Beach Land Development Regulations: Section 110-231, to allow the construction of a two car garage in a manner that encroaches into the front yard setback requirement; and, Section 110-208 (1), to allow a variance to exceed the maximum area of a lot that can be covered by structures.

Property Owners: Jerry and Donajo Mathis
 420 137th Avenue Circle
 Madeira Beach, FL 33708

Parcel's ID #: 15-31-15-34488-000-0290

Request: Section 110-231. Setback Requirements

Front Yard Setback Requirement

Required: 20.00 feet
 Requested: 11.00 feet
 Variance: 9.00 feet

Section 110-208 (1) Maximum Lot Coverage

Maximum Lot Coverage in R-2

Allowed: 40.0 %
 Requested: 46.0 %
 Variance: 6.0 %

B. Location: 420 137th Avenue Circle

C. Zoning: R-2, Low Density Multifamily Residential

The R-2, low density multifamily residential district provides for low density multifamily residential correlates with the residential medium (RM) category of the Countywide Plan and, which does allow for a variety of dwelling types.

II. BACKGROUND

Proposal: The applicant is requesting to construct a 29' x 28' two car garage to be located to the front of the existing residential structure. The subject lot is 3,000 sq. ft. in size and is 40' x 75' dimensionally. The subject house was constructed in 1946 and according to the property appraiser's office has 576 sq. ft. of living space. There is also a small 64 sq. ft. open porch in the rear. Access to the house is from the water side. Staff's understanding from the applicant is that the house is essentially one bedroom without closet space (a washer/dryer currently occupy the only "closet space" in the house). There is also a shed in the front yard area of the house that the applicant wants to eliminate, if approved for a garage.

Per discussions with the applicant, it was expressed to staff that a garage is needed for the storage of two cars, yard equipment, bicycles, and laundry facilities.

Please note that any garage structure would not be considered living space but is new construction. Any approved new construction will be required to comply with the rules and regulations of the Florida Building Code and FEMA.

The applicant has provided a thorough application outlining the request.

III. REVIEW CRITERIA FOR VARIANCE(S)

- (a) The purpose of a variance is to ensure that no property, because of the special circumstances applicable to it, shall be deprived of privileges commonly enjoyed by other properties in the same zone and vicinity. Variances shall be reviewed and may be approved, approved with conditions, or denied by the special magistrate.
- (b) The special magistrate shall authorize, upon application to appeal, after public notice has been given and public hearing held, such variance from the terms of the city land development regulations as not being contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of the land development regulations, subpart B of this Code will result in unnecessary and undue hardship. In order to authorize any variance from the terms of the city land development regulations, the special magistrate shall consider the following criteria and shall find that the criteria has been substantially satisfied and that a hardship exists:
 - (1) Special conditions and circumstances exist which are peculiar to the land, building, or other structures for which the variance is sought and which do not apply generally to the lands, building, or other structures in the same district. Special conditions to be considered shall include, but are not limited to, the following circumstances:
 - a. *Substandard or irregular-shaped lot.* If the site involves the utilization of an existing lot that has unique physical circumstances or conditions, including irregularity of shape, narrowness, shallowness, or the size of the lot is less than the minimum required in the district regulations;
 - b. *Significant vegetation or natural features.* If the site contains significant native vegetation or other natural features;
 - c. *Residential Neighborhood character.* If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements;

- d. *Public facilities.* If the proposed project involves the development of public parks, public facilities, schools, or public utilities;
 - e. *Architectural and/or engineering considerations.* If the proposed project utilizes architectural and/or engineering features that would render the project more disaster resistant.
- (2) The special conditions and circumstances do not result from the actions of the applicant. A self-created hardship shall not justify a variance.
 - (3) Granting the variance will not confer on the applicant any special privilege that is denied to other lands, buildings or structures in the same zoning district.
 - (4) Literal interpretation would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the land development regulations, subpart B of this Code and would work unnecessary and undue hardship on the applicant.
 - (5) The variance granted is the minimum variance that will make possible the reasonable use of the land.
 - (6) The granting of the variance will be in harmony with the general intent and purpose of the city land development regulations, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

In granting any variance, the Special Magistrate may prescribe appropriate conditions and safeguards in conformity with the City Land Development Regulations. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted shall be deemed a violation of this code.

The Special Magistrate may prescribe a reasonable time limit within which the action for which the variance is required shall begin, be completed or both. Under no circumstances except as specified above shall the Special Magistrate grant a variance to allow a use not generally or by Special Exception Use permitted in the applicable zoning district of the City Land Development Regulations.

No nonconforming use of neighborhood lands, structures or buildings in the same zoning districts shall be considered grounds for the authorization of a variance. Financial loss standing alone is not sufficient justification for a variance.

B. Analysis:

1. **Demonstrate that special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures or buildings in the same zoning district.**

The subject property is zoned R-2, Low Density Multifamily Residential.

- a. **Substandard or irregular-shaped lot.** If the site involves the utilization of an existing lot that has unique physical circumstances or conditions, including irregularity of shape, narrowness, shallowness, or the size of the lot is less than the minimum required in the district regulations;

The subject property is a rectangular 40' x 75' lot and is approximately 3,000 sq. ft. in size. This is less than the minimum 4,000 sq. ft. required by Code. The house was constructed in 1946 and is located in a neighborhood of similarly constructed residences. Currently, the existing house has 546 sq. ft. of living space and a 64 sq. ft. open porch on the water side of the property. The applicant wants to construct a two-car garage that would be located to the front of the existing house. Such garage is requested to encroach into the front yard setback area by none (9) feet. Using the outside dimensions, this would mean an additional 812 sq. ft. of building. The addition as proposed would increase the building coverage of the lot to 46 percent.

- b. Significant vegetation or natural features.** If the site contains significant native vegetation or other natural features;

Not applicable.

- c. Residential Neighborhood character.** If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements;

There are some other older houses in this area that have maintained their historic configurations. This project would adaptively reuse one of the older houses on Madeira Beach, rather than tearing it down and building anew.

- d. Public facilities.** If the proposed project involves the development of public parks, public facilities, schools, or public utilities;

Not applicable.

- e. Architectural and/or engineering considerations.** If the proposed project utilizes architectural and/or engineering features that would render the project more disaster resistant.

Not applicable.

- 2. Demonstrate that a special conditions and circumstances do not result from the actions of the applicant.**

The subject lot property is a small 3,000 sq. ft. lot that is rectangular in size and located on the waterfront. The residential building was constructed in 1946 and is 576 sq. ft. in size. The applicant wants to build a two car garage that would be located in the front of the existing house and would encroach into the building setback area by nine (9) feet.

- 3. Demonstrate that granting the variance will not confer on the applicant any special privilege that is denied to other lands, buildings, or structures in the same zoning district.**

The subject property is one of the older properties Madeira Beach and exists in its historic configuration. Any new construction allowed must conform to the Florida Building Code and FEMA requirements. The applicant has indicated a need for a garage to store vehicles, keep lawn equipment and bicycles, and have laundry facilities. A garage is a common element of residential property. The major questions relate to the setback encroachment and size of the garage.

4. **Demonstrate that literal interpretation would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the land development regulations, subpart B of this Code and would work unnecessary and undue hardship on the applicant.**

There is 19 feet from the front setback line and the residential structure. Staff asked the Building Official if there were typical dimensions for garages in the Florida Building Code, and unfortunately, there are not typical dimensions. Staff finds that the average parking space requirement in the City Code for a 0 degree parking space is 9' x 24'. However, please be aware that this is a parking lot or parallel parking configuration. This reference shows that a typical garage addition would need to encroach into the front setback area. As such, the applicant would likely need a variance to construct any standard garage. The applicant has provided a detailed analysis of this criterion in her application.

5. **Demonstrate the variance granted is the minimum variance that will make possible the reasonable use of the land.**

The applicant is seeking to add a garage addition to the subject property. The size of the lot and the current building configuration restricts the applicant's ability to add a two-car garage (or even one-car garage without encroaching into the front setback area. In fact, the subject property is one on the older properties on Madeira Beach and is located in an older neighborhood with similarly situated properties. The applicant has provided a detailed analysis of this criterion in her application.

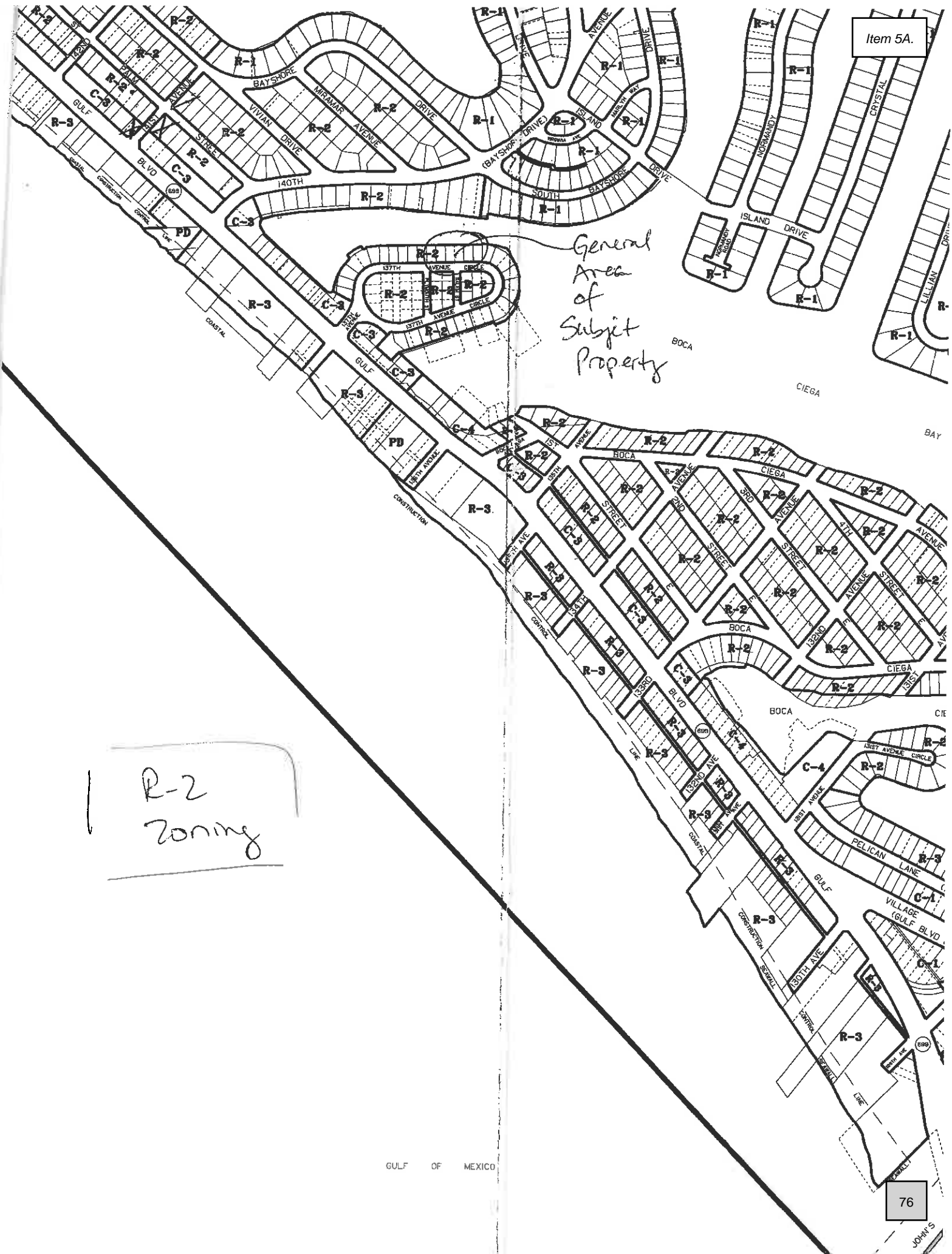
6. **Demonstrate that the granting of the variance will be in harmony with the general intent and purposes of the city's land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.**

The surrounding neighborhood houses many older houses on small lots. Even new construction in the neighborhood is on small lots. There are properties in the neighborhood with front yard encroachments, including the house directly next door on the east side. The applicant has indicated that she envisions a garage addition that has some architectural amenities that would make it attractive and has provided a sample of what such might look like. She has also said that the shed would be removed.

Staff recommends that if the variance is granted, that it be stipulated that the shed will be removed. In addition, even though Madeira Beach does not have design review guidelines, staff recommends that the applicant dress up the front of the garage in a manner that is not plain and typical of garage fronts. In addition, landscaping along the edges of the garage would soften any visual impact the proposed garage would have on the streetscape.

Exhibits:

- A. Application
- B. Survey
- C. Site Plan
- D. Staff Report
- E. Zoning Map
- F. Pinellas County Property Appraiser's database information
- G. Aerial of property from Google Earth
- H. Property Owners Notified



Item 5A.

General
Area
of
Subject
Property

R-2
Zoning

GULF OF MEXICO

[Interactive Map of this parcel](#)
[Sales Query](#)
[Back to Query Results](#)
[New Search](#)
[Tax Collector Home Page](#)
[Question/Comment about this page](#)

WM

15-31-15-34488-000-0290

[Portability Calculator](#)

Data Current as of January 30, 2013

[Print](#)

[Radius Search](#)

[Improvement Value per F.S. 553.844](#)

Ownership/Mailing Address	Site Address
MATHIS, DONAJO LINDA MATHIS, JERRY 420 137TH AVENUE CIR MADEIRA BEACH FL 33708-2512	420 137TH AVENUE CIR MADEIRA BEACH 33708-



Property Use: 0110 (Single Family Home)

Living Units:
1

[click here to hide] **2012 Legal Description**
GULF SHORES HARBOR SUB LOT 29

[2013 Exemptions](#) [Mortgage Letter for Homestead Exemption](#)

[File](#)**2012 Caps/Classified Agricultural Value**

Homestead: Yes	Government: No
Institutional: No	Historic: No

Save-Our-Homes Cap Percentage:
100.00%

Non-Homestead 10% Cap: No

Classified Agricultural: No

2012 Parcel Information [2012 Trim Notice](#)

Most Recent Conveyance	Sales Comparison	Census Tract	Evacuation Zone	Plat Book/Page
17771/2565	\$187,700 Sales Query	1210327802	A	023/051

2012 Interim Value Information

Year	Save-Our-Homes cap	Just/Market Value	Assessed Value/ SOH Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2012	Yes	\$154,255	\$146,282	\$96,282	\$121,282	\$96,282

[click here to hide] **Value History as Certified (yellow indicates correction on file)**

Year	Save-Our-Homes Cap	Just/Market Value	Assessed Value/ SOH Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2012	Yes	\$154,255	\$146,282	\$96,282	\$121,282	\$96,282
2011	Yes	\$142,021	\$142,021	\$92,021	\$117,021	\$92,021
2010	Yes	\$184,367	\$184,367	\$134,367	\$159,367	\$134,367
2009	Yes	\$211,398	\$211,398	\$161,398	\$186,398	\$161,398
2008	Yes	\$257,200	\$257,200	\$207,200	\$232,200	\$207,200

2007	No	\$310,200	\$310,200	\$285,200	N/A	\$285,200
2006	No	\$327,400	\$327,400	\$327,400	N/A	\$327,400
2005	No	\$227,300	\$227,300	\$227,300	N/A	\$227,300
2004	No	\$183,900	\$183,900	\$183,900	N/A	\$183,900
2003	Yes	\$144,200	\$144,200	\$144,200	N/A	\$144,200
2002	Yes	\$130,200	\$78,100	\$53,100	N/A	\$53,100
2001	Yes	\$89,900	\$76,900	\$51,900	N/A	\$51,900
2000	Yes	\$76,200	\$74,700	\$49,700	N/A	\$49,700
1999	No	\$72,800	\$72,800	\$47,800	N/A	\$47,800
1998	No	\$65,300	\$65,300	\$65,300	N/A	\$65,300
1997	Yes	\$62,900	\$58,300	\$33,300	N/A	\$33,300
1996	Yes	\$57,300	\$56,600	\$31,600	N/A	\$31,600

2012 Tax Information

[Click Here for 2012 Tax Bill](#) Tax District: [MB](#)

2012 Final Millage Rate 18.1144

2012 Est Taxes w/o Cap or Exemptions \$2,794.24

A significant change in taxable value may occur when sold due to changes in the market or the removal of exemptions. [Click here for more information.](#)

Ranked Sales [\(What are Ranked Sales?\)](#) [See all transactions](#)

Sale Date	Book/Page	Price	Q/U	V/I
11 Feb 2003	12530 / 2310	\$239,900	Q	I
18 Mar 1997	09642 / 1588	\$110,000	Q	I
30 Aug 1993	08385 / 0918	\$70,000	Q	I
Jun 1983	05541 / 1006	\$54,000	Q	
09 Mar 2005	14165 / 0277	\$74,100	U	I
31 Jan 1995	08902 / 1354	\$45,000	U	I

2012 Land Information

Seawall: Yes

Frontage: Canal/River

View:

Land Use	Land Size	Unit Value	Units	Total Adjustments	Adjusted Value	Method
Single Family (01)	40x75	2900.00	40.0000	1.0000	\$116,000	FF

[click here to hide] 2012 Building 1 Structural Elements [Back to Top](#)

Site Address: 420 137TH AVENUE CIR MADEIRA BEACH 33708-

Quality: Average

Square Footage: 640.00

Foundation: Continuous

Footing

Floor System: Slab On

Grade

Exterior Wall: Cb

Stucco/Cb Reclad

Roof Frame: Gable Or
Hip

Roof Cover: Composition
Shingle

Stories: 1

Living units: 1

Floor Finish:
Carpet/Hardtile/Hardwood

Interior Finish:
Drywall/Plaster

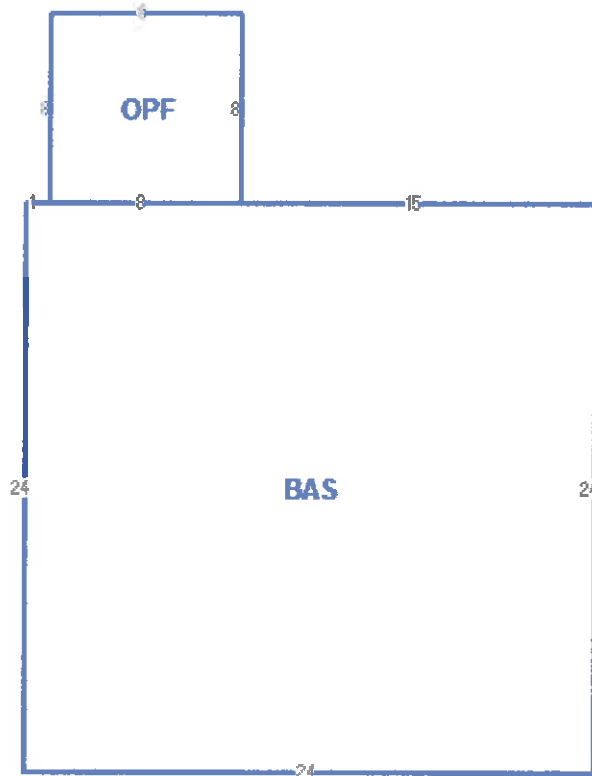
Fixtures: 3

Year Built: 1946

Effective Age: 30

Heating: Central Duct

Cooling: Cooling
(Central)



[Open plot in New Window](#)

Building 1 Sub Area Information

Description	<u>Living Area Ft²</u>	<u>Gross Area Ft²</u>	<u>Factor</u>	<u>Effective</u>
Open Porch	0	64	0.20	
Base	576	576	1.00	
Total Living SF: 576		Total Gross SF: 640	Total Effective SF: :	

[\[click here to hide\]](#) 2012 Extra Features

Description	Value/Unit	Units	Total New Value	Depreciated Value	Year
PATIO/DECK	\$0.00	1.00	\$0.00	\$0.00	19
BT LFT/DAV	\$8,000.00	1.00	\$8,000.00	\$4,480.00	19
BT LFT/DAV	\$1,500.00	1.00	\$1,500.00	\$600.00	19
DOCK	\$40.00	456.00	\$18,240.00	\$10,214.00	19

[\[click here to hide\]](#) Permit Data

Permit information is received from the County and Cities. This data may be incomplete and may exclude permits that do not result in field reviews (for example for water heater replacement permits). Any questions regarding permits should be directed to the permitting office in which the structure is located.


Permit Number	Description	Issue Date	Estimated Value
P2615298	DOCK	29 Sep 1998	\$0
9800497	BOAT LIFT/DAVIT	06 Aug 1998	\$5,500

Radius (feet): 228	Aerials: 2011 Color <input type="button" value="v"/>	Transparency: 0.5
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If you do not see map, the SVG viewer has not been installed. [Click here for information and installation.](#)

How to copy and paste a static map using Internet Explorer: Right-click on the map; Select "Copy SVG"; Open a Word "Paste Special" from Edit menu on toolbar; Select Bitmap, then OK

How to copy and paste a static map using Mozilla Firefox: Right-click on the map; Select "This Frame"; Select "Open F. Window"; Print from the new window.

Click here for Interactive Map	
--	---

[Interactive Map of this
parcel](#)

[Sales
Query](#)

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[New
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[Tax Collector Home
Page](#)

[Question/Comment about this
page](#)



Google earth













PAM DUBOV, CFA, CAE
Pinellas County Property Appraiser
www.pcpao.org pam@pcpao.org

Item 5A.

420-137 Ave C

Run Date: 30 Jan 2013

Subject Parcel: 15-31-15-34488-000-0290

Radius: 200 feet

Parcel Count: 34

Note: Parcels with protected address status are not included in this report.

Total pages: 3

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☒ **MAIN BRANCH- COURTHOUSE**

315 Court St. - 2nd Floor
Clearwater, FL 33756

MAIL: PO Box 1957
Clearwater, FL 33757

TEL: (727) 464-3207

FAX: (727) 464-3448

HEARING IMPAIRED: (727) 464-3370

EXEMPTIONS:

TEL: (727) 464-3294

FAX: (727) 464-3408

COMMERCIAL APPRAISALS:

TEL: (727) 464-3284

RESIDENTIAL APPRAISALS:

TEL: (727) 464-3643 (CW)

☐ **NORTH COUNTY**

29269 US Highway 19 N

Clearwater, FL 33761

TEL: (727) 464-8780

FAX: (727) 464-8794

☐ **TYRONE (SOUTH)**

1800 66TH St. N

St. Petersburg, FL 33710

TEL: (727) 582-7652

FAX: (727) 582-7610

☐ **MID-COUNTY**

CUSTOMER SERVICE CENTER - WALK-IN
13025 Starkey Rd., Largo (Tax Collector)

TANGIBLE PERSONAL PROPERTY

TPP TEL: (727) 464-8484

TPP FAX: (727) 464-8488

MAIL: PO Box 1957 - Clearwater, FL 33757

ADAMS, KIMBERLY
445 137TH AVENUE CIR
MADEIRA BEACH FL 33708-2540

BABICH, NICHOLAS G
BABICH, KATHRYN S
317 140TH AVE N
MADEIRA BEACH FL 33708

CORNERSTONE INV INC
18325 GULF BLVD APT 503
REDINGTON SHORES FL 33708-1061





SPECIAL MAGISTRATE – VARIANCE REQUEST

Meeting Date: February 25, 2013
Application: 2013-01
Applicant: Donajo Mathis
 420 137th Avenue Circle
 Madeira Beach, FL 33708

I. GENERAL INFORMATION

- A. Request:** The applicant is seeking the following variances from the Madeira Beach Land Development Regulations: Section 110-231, to allow the construction of a two car garage in a manner that encroaches into the front yard setback requirement; and, Section 110-208 (1), to allow a variance to exceed the maximum area of a lot that can be covered by structures.

Property Owners: Jerry and Donajo Mathis
 420 137th Avenue Circle
 Madeira Beach, FL 33708
Parcel's ID #: 15-31-15-34488-000-0290

Request: **Section 110-231. Setback Requirements**

Front Yard Setback Requirement

Required: 20.00 feet
 Requested: 11.00 feet
 Variance: 9.00 feet

Section 110-208 (1) Maximum Lot Coverage

Maximum Lot Coverage in R-2

Allowed: 40.0 %
 Requested: 46.0 %
 Variance: 6.0 %

B. Location: 420 137th Avenue Circle

C. Zoning: **R-2, Low Density Multifamily Residential**

The R-2, low density multifamily residential district provides for low density multifamily residential correlates with the residential medium (RM) category of the Countywide Plan and, which does allow for a variety of dwelling types.

II. BACKGROUND

Proposal: The applicant is requesting to construct a 29' x 28' two car garage to be located to the front of the existing residential structure. The subject lot is 3,000 sq. ft. in size and is 40' x 75' dimensionally. The subject house was constructed in 1946 and according to the property appraiser's office has 576 sq. ft. of living space. There is also a small 64 sq. ft. open porch in the rear. Access to the house is from the water side. Staff's understanding from the applicant is that the house is essentially one bedroom without closet space (a washer/dryer currently occupy the only "closet space" in the house). There is also a shed in the front yard area of the house that the applicant wants to eliminate, if approved for a garage.

Per discussions with the applicant, it was expressed to staff that a garage is needed for the storage of two cars, yard equipment, bicycles, and laundry facilities.

Please note that any garage structure would not be considered living space but is new construction. Any approved new construction will be required to comply with the rules and regulations of the Florida Building Code and FEMA.

The applicant has provided a thorough application outlining the request.

III. REVIEW CRITERIA FOR VARIANCE(S)

- (a) The purpose of a variance is to ensure that no property, because of the special circumstances applicable to it, shall be deprived of privileges commonly enjoyed by other properties in the same zone and vicinity. Variances shall be reviewed and may be approved, approved with conditions, or denied by the special magistrate.
- (b) The special magistrate shall authorize, upon application to appeal, after public notice has been given and public hearing held, such variance from the terms of the city land development regulations as not being contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of the land development regulations, subpart B of this Code will result in unnecessary and undue hardship. In order to authorize any variance from the terms of the city land development regulations, the special magistrate shall consider the following criteria and shall find that the criteria has been substantially satisfied and that a hardship exists:
 - (1) Special conditions and circumstances exist which are peculiar to the land, building, or other structures for which the variance is sought and which do not apply generally to the lands, building, or other structures in the same district. Special conditions to be considered shall include, but are not limited to, the following circumstances:
 - a. *Substandard or irregular-shaped lot.* If the site involves the utilization of an existing lot that has unique physical circumstances or conditions, including irregularity of shape, narrowness, shallowness, or the size of the lot is less than the minimum required in the district regulations;
 - b. *Significant vegetation or natural features.* If the site contains significant native vegetation or other natural features;
 - c. *Residential Neighborhood character.* If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements;
 - d. *Public facilities.* If the proposed project involves the development of public parks, public facilities, schools, or public utilities;

- e. *Architectural and/or engineering considerations.* If the proposed project utilizes architectural and/or engineering features that would render the project more disaster resistant.
- (2) The special conditions and circumstances do not result from the actions of the applicant. A self-created hardship shall not justify a variance.
- (3) Granting the variance will not confer on the applicant any special privilege that is denied to other lands, buildings or structures in the same zoning district.
- (4) Literal interpretation would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the land development regulations, subpart B of this Code and would work unnecessary and undue hardship on the applicant.
- (5) The variance granted is the minimum variance that will make possible the reasonable use of the land.
- (6) The granting of the variance will be in harmony with the general intent and purpose of the city land development regulations, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

In granting any variance, the Special Magistrate may prescribe appropriate conditions and safeguards in conformity with the City Land Development Regulations. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted shall be deemed a violation of this code.

The Special Magistrate may prescribe a reasonable time limit within which the action for which the variance is required shall begin, be completed or both. Under no circumstances except as specified above shall the Special Magistrate grant a variance to allow a use not generally or by Special Exception Use permitted in the applicable zoning district of the City Land Development Regulations.

No nonconforming use of neighborhood lands, structures or buildings in the same zoning districts shall be considered grounds for the authorization of a variance. Financial loss standing alone is not sufficient justification for a variance.

B. Analysis:

1. **Demonstrate that special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures or buildings in the same zoning district.**

The subject property is zoned R-2, Low Density Multifamily Residential.

- a. **Substandard or irregular-shaped lot.** If the site involves the utilization of an existing lot that has unique physical circumstances or conditions, including irregularity of shape, narrowness, shallowness, or the size of the lot is less than the minimum required in the district regulations;

The subject property is a rectangular 40' x 75' lot and is approximately 3,000 sq. ft. in size. This is less than the minimum 4,000 sq. ft. required by Code. The house was constructed in 1946 and is located in a neighborhood of similarly constructed residences. Currently, the existing house has 546 sq. ft. of living space and a 64 sq. ft. open porch on the water side of the property. The applicant wants to construct a two-car garage that would be located to the front of the existing house. Such garage is requested to encroach into the front yard setback area by none (9) feet. Using the outside dimensions, this would mean an additional 812 sq. ft. of building. The

addition as proposed would increase the building coverage of the lot to 46 percent.

- b. Significant vegetation or natural features.** If the site contains significant native vegetation or other natural features;

Not applicable.

- c. Residential Neighborhood character.** If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements;

There are some other older houses in this area that have maintained their historic configurations. This project would adaptively reuse one of the older houses on Madeira Beach, rather than tearing it down and building anew.

- d. Public facilities.** If the proposed project involves the development of public parks, public facilities, schools, or public utilities;

Not applicable.

- e. Architectural and/or engineering considerations.** If the proposed project utilizes architectural and/or engineering features that would render the project more disaster resistant.

Not applicable.

- 2. Demonstrate that a special conditions and circumstances do not result from the actions of the applicant.**

The subject lot property is a small 3,000 sq. ft. lot that is rectangular in size and located on the waterfront. The residential building was constructed in 1946 and is 576 sq. ft. in size. The applicant wants to build a two car garage that would be located in the front of the existing house and would encroach into the building setback area by nine (9) feet.

- 3. Demonstrate that granting the variance will not confer on the applicant any special privilege that is denied to other lands, buildings, or structures in the same zoning district.**

The subject property is one of the older properties Madeira Beach and exists in its historic configuration. Any new construction allowed must conform to the Florida Building Code and FEMA requirements. The applicant has indicated a need for a garage to store vehicles, keep lawn equipment and bicycles, and have laundry facilities. A garage is a common element of residential property. The major questions relate to the setback encroachment and size of the garage.

- 4. Demonstrate that literal interpretation would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the land development regulations, subpart B of this Code and would work unnecessary and undue hardship on the applicant.**

There is 19 feet from the front setback line and the residential structure. Staff asked the Building Official if there were typical dimensions for garages in the Florida Building Code, and unfortunately, there are not typical dimensions. Staff finds that the average parking space requirement in the City Code for a 0 degree parking space is 9' x 24'. However, please be aware that this is a parking lot or parallel parking configuration. This reference shows that a typical garage addition would need to encroach into the front setback area.

As such, the applicant would likely need a variance to construct any standard garage. The applicant has provided a detailed analysis of this criterion in her application.

5. Demonstrate the variance granted is the minimum variance that will make possible the reasonable use of the land.

The applicant is seeking to add a garage addition to the subject property. The size of the lot and the current building configuration restricts the applicant's ability to add a two-car garage (or even one-car garage without encroaching into the front setback area. In fact, the subject property is one on the older properties on Madeira Beach and is located in an older neighborhood with similarly situated properties. The applicant has provided a detailed analysis of this criterion in her application.

6. Demonstrate that the granting of the variance will be in harmony with the general intent and purposes of the city's land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

The surrounding neighborhood houses many older houses on small lots. Even new construction in the neighborhood is on small lots. There are properties in the neighborhood with front yard encroachments, including the house directly next door on the east side. The applicant has indicated that she envisions a garage addition that has some architectural amenities that would make it attractive and has provided a sample of what such might look like. She has also said that the shed would be removed.

Staff recommends that if the variance is granted, that it be stipulated that the shed will be removed. In addition, even though Madeira Beach does not have design review guidelines, staff recommends that the applicant dress up the front of the garage in a manner that is not plain and typical of garage fronts. In addition, landscaping along the edges of the garage would soften any visual impact the proposed garage would have on the streetscape.

Exhibits:

- A. Application
- B. Survey
- C. Site Plan
- D. Staff Report
- E. Zoning Map
- F. Pinellas County Property Appraiser's database information
- G. Aerial of property from Google Earth
- H. Property Owners Notified

LOCAL GOVERNMENT VARIANCES, SPECIAL EXCEPTION USES
AND APPEALS OF ADMINISTRATIVE DECISIONS
CITY OF MADEIRA BEACH, FLORIDA
Application No. 2013.01

Donajo Mathis
for the property located at
420 137th Ave. Circle
Madeira Beach, FL 33708,
Applicant.

ORDER GRANTING VARIANCE

Madeira Beach Land Development Regulations, Chapter 110 (Zoning), Article V (Districts), Division 3 (R-2, Low-Density Multifamily Residential), Section 110-206 (Setback Requirements), and Section 110-208 (Maximum Lot Coverage)

LEGAL DESCRIPTION: Gulf Shores Harbor Sub Lot 29

PARCEL IDENTIFICATION NUMBER: 15-31-15-34488-000-0290

Special Magistrate, Herbert E. Langford, Jr., heard testimony and reviewed all evidence received at the Special Magistrate hearing held on February 25, 2013 and, based on the evidence, enters the following findings of fact, conclusions of law and order.

FINDINGS OF FACT

1. This application of Donajo Mathis ("the applicant") presents the issue involving a variance from the zoning requirements of the above Madeira Beach Land Development Regulations, requesting to construct a new two-car garage in front of the existing house, and: 1) to reduce the front yard setback from 20 feet to 11 feet; and 2) to increase the area covered by structures from 40 percent to 46 percent.
2. The applicant's property, if built according to the plans, will not conform to the requirements of the Code of Ordinances of the City of Madeira Beach ("the Code") because: 1) Section 110-206 mandates minimum front yard setback of 20 feet, and 2) Section 110-208 limits maximum lot coverage by structures to 40 percent.

Donajo Mathis

Application No. 2013.01

3. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures or buildings in the same zoning district. This substandard 40 x 75-foot rectangular-shaped lot of 3000 square feet (Code-mandated minimum is 4,000 square feet), sits in the R-2 zoning district. Access into this historic waterfront home is on the water side. The applicant intends to maintain the home's historic integrity.
4. The special conditions and circumstances do not result from the actions of the applicant. The applicant purchased the 1946-built house in 2003. It has 576 square feet of living space, with a washer and dryer filling the only closet, and a 64 square-foot open porch, facing the water. No prior variances exist for the property. Applicant seeks to add a 29 x 28-foot two-car garage (812 square feet) to secure cars, yard equipment and bicycles, and to relocate the washer and dryer. Applicant will remove the shed currently on the property.

Although the applicant's testimony and narrative refer to the requested garage's width at 29 feet, the instant application seeks a variance from the front yard setback, not a side yard setback. Such width requires a separate application for a variance (and attendant analysis and advertisement). Accordingly, this order does not consider or address a variance from any side yard setback.

5. Granting the variance will not confer on the applicant a special privilege that is denied to other lands, buildings or structures in the same zoning district. Many of the area's historic homes have garages, some, including applicant's easterly neighbor, infringe on the front yard setback. The structure must comply with FEMA and Building Code mandates and shall include no living space.
6. Literal interpretation would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the land development regulations, subpart B of this Code and would work unnecessary and undue hardship on the applicant. Other properties in the same zoning district enjoy garages which encroach the front yard setback. The applicant plans to install a garage aesthetically consistent with the neighborhood's historic feeling.
7. Granting the requested variance is the minimum variance that will make possible the reasonable use of the land. As guidance, the minimum size of off-street parking spaces per the Code is 9 x 24 feet. The requested garage's length that the applicant seeks (28 feet) exceeds the minimum amount necessary. 26 feet

Donajo Mathis

Application No. 2013.01

reasonably accommodates the length of a large vehicle, the block wall and garage door's depth, and walk-around space.

8. The granting of the requested variance would be in harmony with the general intent and purpose of the city land development regulations, and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare. Most of the neighborhood houses, both old and new, are on small lots, many with encroachments into the front yard setback. Also, the applicant intends to build an architecturally pleasing and aesthetically consistent garage.
9. The variance is appropriate under the following condition(s): Applicant shall: 1) remove the existing shed, 2) landscape along the side of the garage, 3) "dress up" the front of garage with a decorative (paneled, not plain) door, and 4) be FEMA and Building Code-compliant. Further, the new structure shall include no living space.

CONCLUSIONS OF LAW

10. Section 2-507 of the Madeira Beach Code of Ordinances authorizes variances from the terms of the city land development regulations as not being contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of the land development regulations will result in unnecessary and undue hardship.
11. The applicant has the burden to establish the requirements for a variance. Here, the applicant meets the criteria for a variance as set forth in Section 2-507 of the Madeira Beach Code of Ordinances.

ORDER

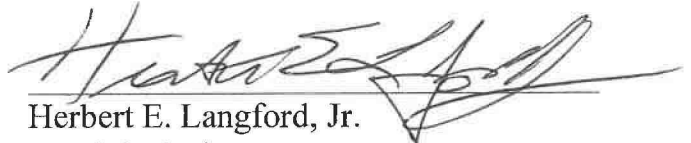
It is ADJUDGED that the application is GRANTED, specifically, allowing a variance from the zoning requirements of the Madeira Beach Land Development Regulations, Chapter 110 (Zoning), Article V (Districts), Division 3 (R-2, Low-Density Multifamily Residential), Section 110-206 (Setback Requirements), and Section 110-208 (Maximum Lot Coverage) to construct a new two-car garage in front of the existing

Donajo Mathis

Application No. 2013.01

house, and: 1) to reduce the front yard setback from 20 feet to 13 feet; and 2) to proportionally increase the area covered by structures from 40 percent.

DONE AND ORDERED on March 14, 2013.



Herbert E. Langford, Jr.
Special Magistrate

Copies furnished to:
Donajo Mathis
Thomas J. Trask, City Attorney

VAR 2026-01

Attachment 10



AFFIDAVIT OF POSTING

Date: 1/14/2026

Postings for: VAR-2026-1

Before me this day Lisa Sheumant personally appeared. He/she has posted public notices at the locations indicated in the notice document(s).

Lisa Sheumant
Signature

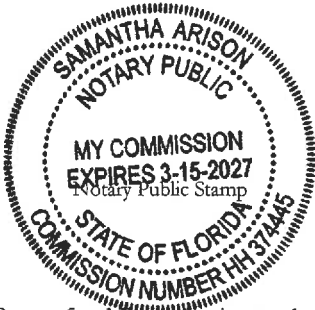
STATE OF FLORIDA
COUNTY OF PINELLAS

Sworn to and subscribed before me this 14th day of January, 2026.

Personally known or produced _____ as identification.

Samantha Arison

Notary Public



1/14/26

Date

*Copy of public notice is attached.



AFFIDAVIT OF MAILING

Date: 1/14/2026

Mailings for Case # VAR-2026-1

STATE OF FLORIDA
COUNTY OF PINELLAS

Before me this day Lisa Schlemmer personally appeared. He/she has mailed public notices to property owners within a 300 foot radius of the subject property.

Sworn and subscribed before me this 14th day of Jan, 2026.

Personally known or produced _____ as identification.



Samantha Arison
Notary Public

1/14/26
Date

*Copy of public notice is attached.



MIKE TWITTY, MAI, CFA
Pinellas County Property Appraiser

www.pcpao.gov

mike@pcpao.gov

Run Date: 12 Jan 2026

Subject Parcel: 15-31-15-34488-000-0300

Radius: 300 feet

Parcel Count: 41

Total pages: 3

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MUI, WING HANG
MUI, NIM FONG
339 SOUTHAMPTON DR
GENEVA, IL 60134-2557

BABICH, NICHOLAS G
BABICH, KATHRYN S
317 140TH AVE E
MADEIRA BEACH, FL 33708-2208

ZYLSTRA, KATHY L
ZYLSTRA, JAMES S
417 S BAYSHORE DR
MADEIRA BEACH, FL 33708-2305

COLE, CHRISTOPHER A TRE
COLE, JANICE K TRE
425 S BAYSHORE DR
MADEIRA BEACH, FL 33708-2305

HUYNH, KENNETH
NGO, PHUONG
403 S BAYSHORE DR
MADEIRA BEACH, FL 33708-2305

SAIA, CHRISTOPHER
SAIA, JANICE R
441 S BAYSHORE DR
MADEIRA BEACH, FL 33708-2305

RIECK, ROBERT T
BROOKS, LINDA G
250 137TH AVENUE CIR
MADEIRA BEACH, FL 33708-2508

MALONEY, TIMOTHY
MALONEY, JENNIFER
316 137TH AVENUE CIR
MADEIRA BEACH, FL 33708-2510

CABASSA, LUIS A
CABASSA, ANGELA C
330 137TH AVENUE CIR
MADEIRA BEACH, FL 33708-2510

MARKUNAS, RICHARD K
PATRI, PERINDA
401 137TH AVENUE CIR
MADEIRA BEACH, FL 33708-2511

MATHIS, DONAJA LINDA
MATHIS, JERRY
420 137TH AVENUE CIR
MADEIRA BEACH, FL 33708-2512

DEMONTMOLLIN, DAVID B
DEMONTMOLLIN, CHASITY NICOLE
464 137TH AVENUE CIR
MADEIRA BEACH, FL 33708-2512

GREENBERG, MARK A
GREENBERG, BETH E
436 137TH AVENUE CIR
MADEIRA BEACH, FL 33708-2512

CAPITOSTI, FREDRIC S
CAPITOSTI, DEBORAH W
452 137TH AVENUE CIR
MADEIRA BEACH, FL 33708-2512

TUASON, MICHAEL
TUASON, PAMELA
432 137TH AVENUE CIR
MADEIRA BEACH, FL 33708-2512

GILMORE, JAMES BASIL
GILMORE, PATRICE HOLLY
13785 SALEM ST
MADEIRA BEACH, FL 33708-2543

KOCH, LESHA R TRE
KOCH, LESHA R REV TRUST
1313 TIMBERLANE DR
SABETHA, KS 66534-2563

CABASSA, LUIS ANTONIO TRE
CABASSA, ANGELA CARTER TRE
103 SHORE DR
SUMMERLAND KEY, FL 33042-3609

CALLAHAN, JAMES K JR
CALLAHAN, CYNTHIA J
24947 HUNT LN
SUMMERLAND KEY, FL 33042-4441

CLOUSE, GERALD
CLOUSE, WATCHARIN
1925 HAVEN BND
TAMPA, FL 33613-1109

FLOYD, JANE A TRE
FLOYD, WILLIAM HENRY JR TRE
3401 BAYSHORE BLVD UNIT 1104
TAMPA, FL 33629-8991

MARTINOVIC, PAVO
MARTINOVIC, DEBBIE
189 BECKWICK RD
THUNDER BAY ON P7G 1N7,
CANADA

TUCKER, BLAZIA P
C/O JOHN DIAS POA
3651 N GOLDENROD RD APT F202
WINTER PARK, FL 32792-8880

SCHAEDEL, JAN M
468 137TH AVENUE CIR
MADEIRA BEACH, FL 33708-2512

MOBERLY, PAUL
235 140TH AVE E
MADEIRA BEACH, FL 33708-2206

MCCLERNAN, SANDRA D
427 137TH AVENUE CIR
MADEIRA BEACH, FL 33708-2511

KKD ESTATES LLC
12407 OAK LODGE LN NE
ROCHESTER, MN 55906-8815

BONNELL, JAMES
117 WALL ST
REDINGTON SHORES, FL 33708-1243

CATTAR, CATHERINE
5247 OLIVET DR
RIDGE MANOR, FL 33523-9039

ADAMS, ELLIS
6404 THOROUGHbred LP
ODESSA, FL 33556-1856

ERLANDSON, DAVID
107 DONNINGTON CT
LONGWOOD, FL 32779-4605

MADEIRA PALOMA PROPERTIES LLC
500 E PIPING ROCK LN
SIOUX FALLS, SD 57108-8553

ONX COMPANIES LLC
3150 SHEYENNE ST APT 301
WEST FARGO, ND 58078-8549

Item 5A.

HOLLY BERRY GIFTS INC
9810 SAN DIEGO WAY
PORT RICHEY, FL 34668-3528

GAROFALO, NELLA
315 140TH AVE N
MADEIRA BEACH, FL 33708

GMB360 LLC
7625 LEATHER FERN CT N
PINELLAS PARK, FL 33782-4318

BRINTON, WALTER A
12121 SIERRA SUNSET LN
GAINESVILLE, VA 20155-3863

GULF BEACHES CHURCH BY THE SEA INC
495 137TH AVENUE CIR
MADEIRA BEACH, FL 33708-2539

MADIERA PALOMA PROPERTIES LLC
500 E PIPING ROCK LN
SIOUX FALLS, SD 57108-8553

BUCCI, MICHAEL A
445 137TH AVENUE CIR
ST PETERSBURG, FL 33708-2540

GULF BEACHES CHURCH BY THE SEA INC
495 137TH AVENUE CIR
MADEIRA BEACH, FL 33708-2539



PUBLIC NOTICE OF SPECIAL MAGISTRATE VARIANCE HEARING

**CITY OF MADEIRA BEACH
300 MUNICIPAL DRIVE
MADEIRA BEACH, FLORIDA 33708**

A Special Magistrate Hearing of the City of Madeira Beach, Florida will be held on **January 26, 2026, at 12:00p.m.**, at the Madeira Beach City Hall in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, to discuss the agenda item listed below. This proceeding is available for viewing on Spectrum Television Public Access Channel 640 for viewers within the 33708 Zip Code and on the City of Madeira Beach website by clicking the “Watch Live Meetings” button.

THIS APPLICATION IS FOR A SPECIAL MAGISTRATE -VARIANCE 2026-01

Application: VAR 2026-01
Applicant: Paul Mazzillo
Property Owner(s): Paul Mazzillo
Property Address: 422 137th Avenue Cir Madeira Beach, Florida 33708
Parcel ID: 15-31-15-34488-000-0300
Legal Description: GULF SHORES HARBOR SUB LOT 30
Zoning/Future Land Use: R-2, Low Density Multifamily Residential/Residential Medium

Request: Increase in the maximum structure coverage from 40% to 48%

Specific Code Provisions: Sec. 110-208. – Maximum lot coverage.

(1) Residential use: Floor area ratio (FAR) 0.80. The maximum area of a lot or parcel to be covered by structures shall be 40 percent of the total area except for townhouse dwelling units which shall be 50 percent of the total lot area.

Note: You have received this notice because you are a property owner within 300 feet of the subject property. If you are desirous of voicing approval or disapproval of this application, you may attend the Special Magistrate Hearing or can submit comment to planning@madeirabeachfl.gov. *Any affected person may become a party to this proceeding and can be entitled to present evidence at the hearing including the sworn testimony of witnesses and relevant exhibits and other documentary evidence and to cross-examine all witnesses by filing a notice of intent to be a party with the Community Development Department not less than five days prior to the hearing. The notice, which is attached, can be filed in person or sent by mail to Community Development Department at Madeira Beach City Hall located at 300 Municipal Drive, Madeira Beach, 33708. The variance application is on file in the Community Development Department and may be reviewed between 8:30 a.m. and 4:00 p.m.*

Posted: January 15, 2026, at the property site, City Hall, City of Madeira Beach website, and Gulf Beaches Library. View more information about this application at <https://madeirabeachfl.gov/plan-review-documents/>



Item 5A.

NOTICE OF INTENT TO BE AN AFFECTED PARTY

AFFECTED PERSON INFORMATION

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email: _____

APPLICATION INFORMATION

Case No or Application No., whichever applies: _____

Applicant's Name: _____

Signature of Affected Person

Date

Note: One or more Elected or Appointed Officials may be in attendance. Any person who decides to appeal any decision of the Special Magistrate with respect to any matter considered at this meeting will need a record of the proceedings and for such purposes may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The law does not require the City to transcribe verbatim minutes; therefore, the applicant must make the necessary arrangements with a private reporter or private reporting firm and bear the resulting expense. In accordance with the Americans with Disability Act and F.S. 286.26; any person with a disability requiring reasonable accommodation in order to participate in this meeting should call 727-391-9951 or fax a written request to 727-399-1131.

Documents

Activity

Community

51 x244

madeirabeachfl.gov

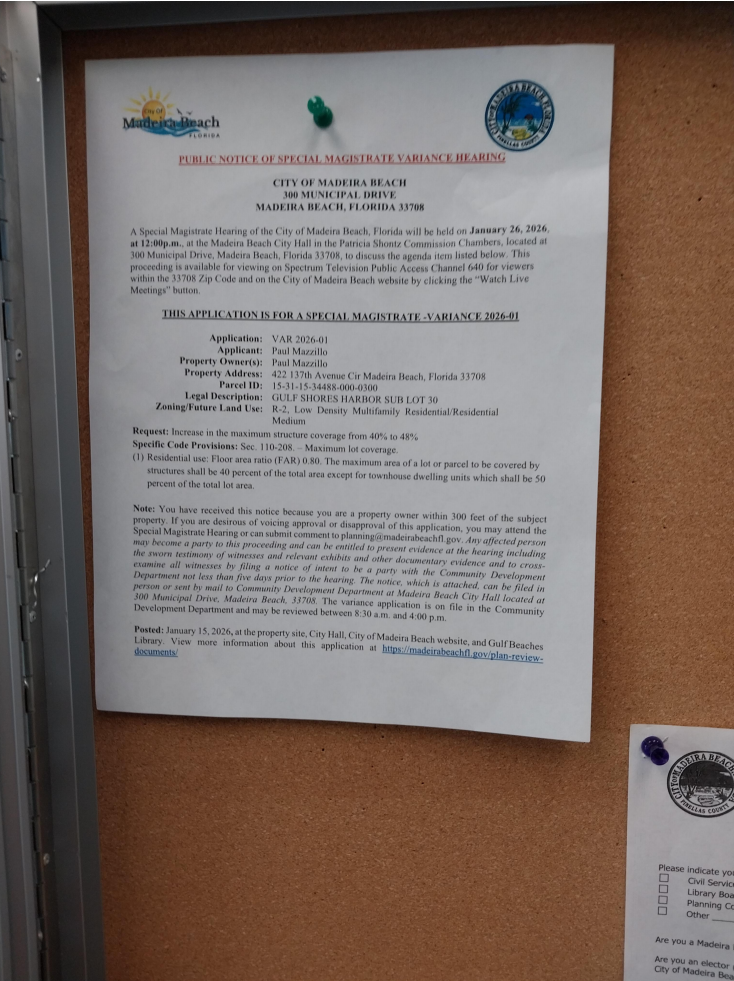
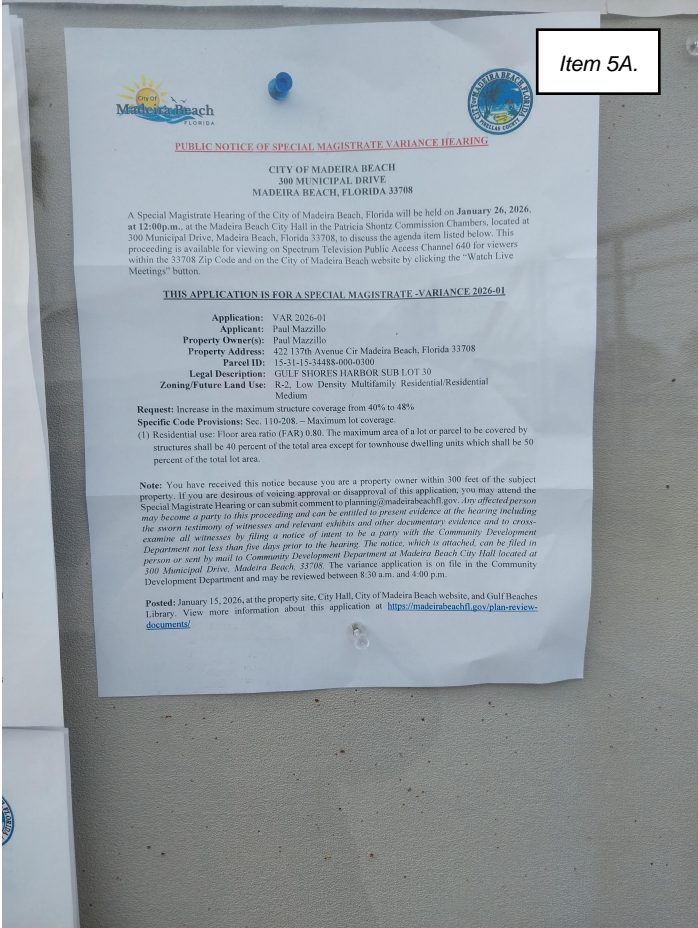
Plan Review Documents

Special Magistrate Variances and Special Exception Uses

1/26/26 Special Magistrate Meeting 12:00 PM

Public Notice VAR 2026-01 422 137th Ave CIR

VAR 2026-01 422 137th Ave Application





Parcel Summary (as of 15-Jan-2026)

Parcel Map

Parcel Number

09-31-15-00000-140-0200

Owner Name

PRUITT, DEAN A

PRUITT, MARIA L

Property Use

2740 Boat Sale & Marine Equipment, Mobile Home,
Motor Home, Travel Trailer

Site Address

545 150TH AVE

MADEIRA BEACH, FL 33708

Mailing Address

1336 BAYVIEW DR

CLEARWATER, FL 33756-1232

Legal Description

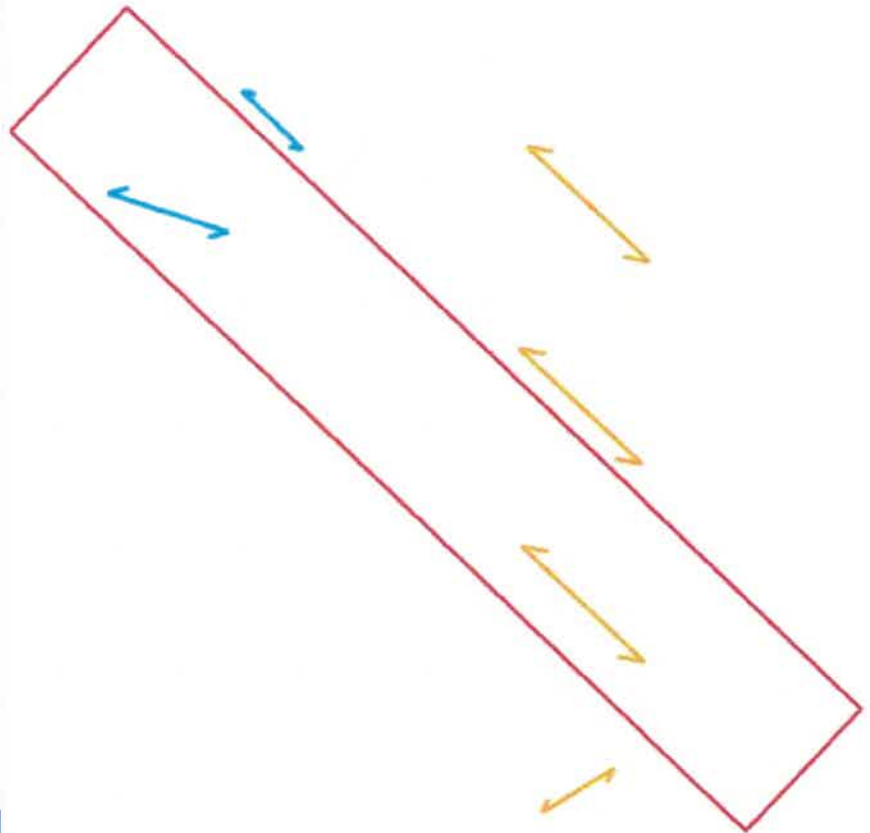
UPLAND & SUBM LANDS IN GOVT LOT 1 & PT IN
GOVT LOT 2 OF SEC 10-31-15 DESC FROM
INTERSECTION OF S LINE OF GOVT LOT 1 & C/L OF
150TH AVE TH N43D51' 28'E

Current Tax District

MADEIRA BEACH (MB)

Year Built

1980



Heated SF	Gross SF	Living Units	Buildings
2,704	3,384	0	1

Exemptions

Year	Homestead	Use %	Status	Property Exemptions & Classifications
2027	No	0%		No Property Exemptions or Classifications found. Please note that Ownership Exemptions (Homestead, Senior, Widow/Widower, Veterans, First Responder, etc... will not display here).
2026	No	0%		
2025	No	0%		

Miscellaneous Parcel Info

Last Recorded Deed	Sales Comparison	Census Tract	Evacuation Zone	Flood Zone	Elevation Certificate	Zoning	Plat Bk/Pg
17439/0357	Find Comps	278.01	A	Current FEMA Maps	Check for EC	Zoning Map	/

2025 Final Values

Year	Just/Market Value	Assessed Value/SOH Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2025	\$490,000	\$490,000	\$490,000	\$490,000	\$490,000

Value History (yellow indicates corrected value)

Year	Homestead Exemption	Just/Market Value	Assessed Value/SOH Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2024	N	\$480,000	\$480,000	\$480,000	\$480,000	\$480,000
2023	N	\$460,000	\$460,000	\$460,000	\$460,000	\$460,000

2022	N	\$460,000	\$460,000	\$460,000	\$460,000	\$460,000	\$460,000
2021	N	\$443,000	\$443,000	\$443,000	\$443,000	\$443,000	\$443,000
2020	N	\$443,000	\$443,000	\$443,000	\$443,000	\$443,000	\$443,000

Item 5B.

2025 Tax Information



Do not rely on current taxes as an estimate following a change in ownership. A significant change in taxable value may occur after a transfer due to a loss of exemptions, reset of the Save Our Homes or 10% Cap, and/or market conditions. Please use our **Tax Estimator** to estimate taxes under new ownership.

Tax Bill	2025 Millage Rate	Tax District
View 2025 Tax Bill	16.2172	(MB)

Sales History

Sale Date	Price	Qualified / Unqualified	Vacant / Improved	Grantor	Grantee	Book / Page
15-Dec-2011	\$525,000	Q	I	MCLEAN HOWARD	PRUITT DEAN A	17439/0357
04-Feb-2008	\$100	U	I	MCLEAN HOWARD	MCLEAN, HOWARD	16140/0446
31-Dec-1979	\$41,000	Q				04826/2154
31-Dec-1978	\$27,000	Q				04642/1380

2025 Land Information

Land Area: \cong 59,716 sf | \cong 1.37 acres

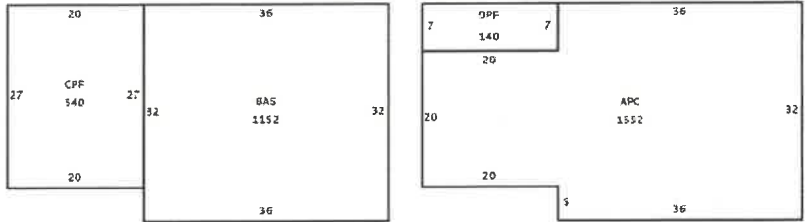
Frontage and/or View: None

Seawall: No

Property Use	Land Dimensions	Unit Value	Units	Method	Total Adjustments	Adjusted Value
Vehicle Sl/Serv/Rent	0x0	\$37	11,085	SF	1.0000	\$410,145
Rivers And Lakes	0x0	\$1,000	1.3700	AC	1.0000	\$1,370

2025 Building 1 Structural Elements and Sub Area Information

Structural Elements		Sub Area	Heated Area SF	Gross	Item 5B.
Foundation	Continuous Footing	Apartment (APC)	1,552		1,552
Floor System	Slab On Grade	Base (BAS)	1,152		1,152
Exterior Walls	Concrete Block	Carport (CPF)	0		540
Unit Stories	2	Open Porch (OPF)	0		140
Roof Frame	Gable Or Hip	Total Area SF	2,704		3,384
Living Units	0				
Roof Cover	Composition Shingle				
Year Built	1980				
Building Type	Warehouses				
Quality	Average				
Floor Finish	Carpet Combination				
Interior Finish	Dry Wall				
Cooling	Heat & Cooling Pkg				
Fixtures	3				
Effective Age	39				



2025 Extra Features

Description	Value/Unit	Units	Total Value as New	Depreciated Value	Year
DOCK	\$48.00	2,128.0	\$102,144	\$63,329	2012
FENCE	\$16.00	200.0	\$3,200	\$1,280	1980

Permit Data

Permit information is received from the County and Cities. This data may be incomplete and may exclude permits that do not result in field reviews (for example for water heater replacement permits). We are required to list all improvements, which may include unpermitted construction. Any questions regarding permits, or the status of non-permitted improvements, should be directed to the permitting jurisdiction in which the structure is located.

Permit Number	Description	Issue Date	Estimated Value
20221105	FIRESPRINK	12/05/2022	\$17,394
D&L3990	DOCK	08/26/2019	\$48,900
RC49731-19	DOCK	08/20/2019	\$0
RC42055-12	DOCK	06/01/2012	\$0
201200386	SEA WALL	06/01/2012	\$17,600
201200419	DOCK	06/01/2012	\$6,500
201200259	ADDITION/REMODEL/RENOVATION	04/20/2012	\$19,500
201200200	MISCELLANEOUS	02/10/2012	\$5,000
PER-H-CB267605	SPA/JAC/HT	01/16/2003	\$2,599
PER-H-CB198264	ROOF	06/09/1999	\$2,940



2025 REAL ESTATE TAX

Item 5B.

Adam Ross, Pinellas County Tax CollectorP.O. Box 31149, Tampa, FL 33631-3149
(727) 464-7777 | pinellastaxcollector.gov

Notice of Ad Valorem Taxes and Non-Ad Valorem Assessments

Pay online at pinellastaxcollector.gov

• E-check - No fee • Credit card - 2.95% convenience fee

If Postmarked By	Nov 30, 2025	Dec 31, 2025	Jan 31, 2026	Feb 28, 2026	Mar 31, 2026
Pay this Amount	\$7628.58	\$7708.05	\$7787.51	\$7866.98	\$7946.44

ACCOUNT NUMBER	ESCROW CODE	MILLAGE CODE
R102727		MB

PRUITT, DEAN A
PRUITT, MARIA L
1336 BAYVIEW DR
CLEARWATER, FL 33756-1232

PARCEL NO.: 09/31/15/00000/140/0200
SITE ADDRESS: 545 150TH AVE, MADEIRA BEACH
PLAT: UNREC
LEGAL:
UPLAND & SUBM LANDS IN
GOVT LOT 1 & PT IN GOVT
LOT 2 OF SEC 10-31-15 DESC
FROM INTERS
SEE ADDITIONAL LEGAL ON TAX ROLL

AD VALOREM TAXES

TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION	TAXABLE VALUE	TAXES LEVIED
GENERAL FUND	4.5423	490,000	0	490,000	2,225.73
HEALTH DEPARTMENT	0.0713	490,000	0	490,000	34.94
EMS	0.8050	490,000	0	490,000	394.45
SCHOOL-STATE LAW	3.0450	490,000	0	490,000	1,492.05
SCHOOL-LOCAL BD.	3.2480	490,000	0	490,000	1,591.52
MADEIRA BEACH	2.7500	490,000	0	490,000	1,347.50
SW FLA WTR MGMT.	0.1831	490,000	0	490,000	89.72
PINELLAS COUNTY PLN.CNCL.	0.0175	490,000	0	490,000	8.58
JUVENILE WELFARE BOARD	0.8250	490,000	0	490,000	404.25
SUNCOAST TRANSIT AUTHORITY	0.7300	490,000	0	490,000	357.70
TOTAL MILLAGE 16.2172					GROSS AD VALOREM TAXES \$7,946.44

NON-AD VALOREM ASSESSMENTS

LEVYING AUTHORITY	AMOUNT

TAXES BECOME DELINQUENT APRIL 1ST COMBINED GROSS TAXES AND ASSESSMENTS \$7,946.44

PLEASE RETAIN TOP PORTION FOR YOUR RECORDS

Adam Ross, Pinellas County Tax CollectorPay in U.S. funds to **Pinellas County Tax Collector**
P.O. Box 31149, Tampa, FL 33631-3149
(727) 464-7777 | pinellastaxcollector.gov**2025 REAL ESTATE TAX**

Notice of Ad Valorem Taxes and Non-Ad Valorem Assessments

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• E-check - No fee • Credit card - 2.95% convenience fee

If Postmarked By	Nov 30, 2025	Dec 31, 2025	Jan 31, 2026	Feb 28, 2026	Mar 31, 2026
Pay this Amount	\$7628.58	\$7708.05	\$7787.51	\$7866.98	\$7946.44

ACCOUNT NUMBER	ESCROW CODE	MILLAGE CODE
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PRUITT, DEAN A
PRUITT, MARIA L
1336 BAYVIEW DR
CLEARWATER, FL 33756-1232

PARCEL NO.: 09/31/15/00000/140/0200
SITE ADDRESS: 545 150TH AVE, MADEIRA BEACH
PLAT: UNREC
LEGAL:
UPLAND & SUBM LANDS IN
GOVT LOT 1 & PT IN GOVT
LOT 2 OF SEC 10-31-15 DESC
FROM INTERS
SEE ADDITIONAL LEGAL ON TAX ROLL



CITY OF MADEIRA BEACH

COMMUNITY SERVICES – CODE ENFORCEMENT
300 MUNICIPAL DRIVE ♦ MADEIRA BEACH, FLORIDA 33708
(727) 391-9951 EXT. 295 ♦ FAX (727) 399-1131



COURTESY NOTICE LETTER TO PROPERTY OWNER

10/18/2025

PRUITT, DEAN A
PRUITT, MARIA L
1336 BAYVIEW DR
CLEARWATER, FL 33756-1232

IN REFERENCE TO THE FOLLOWING:

545 150TH AVE E
MADEIRA BEACH, FL 33708

INSPECTION DATE: 10/10/2025

PARCEL NUMBER: 09-31-15-00000-140-0200

LEGAL DESCRIPTION: UPLAND & SUBM LANDS IN GOVT LOT 1 & PT IN GOVT LOT 2 OF SEC 10-31-15
DESC FROM INTERSECTION OF S LINE OF GOVT LOT 1 & C/L OF 150TH AVE TH N43D51' 28'E 1818FT TH
S46D08'32"E 50FT FOR POB TH N43D51' 28"E 100FT TH S46D08'32"E 600FT(S) TH SW'LY 100FT ALONG
BOCA CIEGA BAY TH N46D08'32"W 600FT(S) TO POB CONT 1.38 AC(C) SUBM LAND DEED NO. 20228

CODE ENFORCEMENT CASE # 2025.006

Dear Property Owner/Occupant:

An inspection of your property revealed a violation(s) of the City Code of Ordinances. The following violation(s) were found to exist;

Violations: Inoperable Vessels

Sec. 34-129. - Same—Allowing to remain on private property restricted.

No person in charge or control of any property within the city, whether as owner, tenant, occupant, lessee, or otherwise, shall allow any abandoned, wrecked, junked, or partially dismantled boat, vessel or watercraft to remain on such property within the city for longer than 72 hours, whether with or without current registration.

Except that this section shall not apply with regard to a boat, vessel or watercraft:

- (1) In an enclosed building;
 - (2) On the premises of a business enterprise operated specifically for the purpose of repairing or building boats, vessels, or watercraft in a lawful place and manner when necessary to the operation of such business enterprise; or
 - (3) That by either size or design does not require current registration.
- (Ord. No. 973, § 2, 9-24-02)

REMOVE INOPERABLE, SUNKEN AND DISMANTLED VESSELS FROM PROPERTY.

The violation(s) must be corrected by: 10/29/2025

If you should have any questions or concerns, please do not hesitate to contact me.

My phone number is listed below.

Thank you in advance for your prompt response.

Sincerely,

Deputy Cory Snyder
csnyder@pcsonet.com
Code Enforcement Officer
Telephone: (727) 391-9951







CITY OF MADEIRA BEACH

COMMUNITY SERVICES – CODE ENFORCEMENT
300 MUNICIPAL DRIVE ♦ MADEIRA BEACH, FLORIDA 33708
(727) 391-9951 EXT. 244 ♦ FAX (727) 399-1131



SPECIAL MAGISTRATE NOTICE OF VIOLATION

11/19/2025
PRUITT, DEAN A
PRUITT, MARIA L
1336 BAYVIEW DR
CLEARWATER, FL 33756-1232

IN REFERENCE TO THE FOLLOWING:

545 150TH AVE E
MADEIRA BEACH FL 33708

INSPECTION DATE: 11/19/2025

PARCEL NUMBER: 09-31-15-00000-140-0200

LEGAL DESCRIPTION: UPLAND & SUBM LANDS IN GOVT LOT 1 & PT IN GOVT LOT 2 OF SEC 10-31-15
DESC FROM INTERSECTION OF S LINE OF GOVT LOT 1 & C/L OF 150TH AVE TH N43D51' 28'E 1818FT TH
S46D08'32"E 50FT FOR POB TH N43D51' 28"E 100FT TH S46D08'32"E 600FT(S) TH SW'LY 100FT ALONG
BOCA CIEGA BAY TH N46D08'32"W 600FT(S) TO POB CONT 1.38 AC(C) SUBM LAND DEED NO. 20228

SPECIAL MAGISTRATE – CODE ENFORCEMENT CASE #2025.006

Dear Property Owner/Occupant:

An inspection of your property revealed a violation(s) of the City Code of Ordinances. The following violations were found to exist;

Ordinance:

- Violations: SUNKEN, ABANDONED VESSELS,

Sec. 34-129. - Same—Allowing to remain on private property restricted.

No person in charge or control of any property within the city, whether as owner, tenant, occupant, lessee, or otherwise, shall allow any abandoned, wrecked, junked, or partially dismantled boat, vessel or watercraft to remain on such property within the city for longer than 72 hours, whether with or without current registration.

Except that this section shall not apply with regard to a boat, vessel or watercraft:

- (1) In an enclosed building;
 - (2) On the premises of a business enterprise operated specifically for the purpose of repairing or building boats, vessels, or watercraft in a lawful place and manner when necessary to the operation of such business enterprise; or
 - (3) That by either size or design does not require current registration.
- (Ord. No. 973, § 2, 9-24-02)

The violation(s) must be corrected 11/22/2025. If the violation(s) are not remedied and discontinued, you will receive a notice to appear for a hearing before the Madeira Beach Special Magistrate for failure to correct the violation(s).

If you should have any questions or concerns, please do not hesitate to contact me.

Sincerely,
Deputy Snyder
Code Enforcement Deputy
Telephone: (727) 391-9951 x 295

Method of Delivery: ☐ Certified Mail ☐ Regular Mail

PLEASE NOTIFY THIS OFFICE AS SOON AS THE VIOLATION(S) IS CORRECTED

***NOTE:** You are hereby notified to correct the attached violation(s) and notify the above signed Code Enforcement Officer within the time limits specified. Failure to comply will result in charges being filed against you with the Special Magistrate of the City of Madeira Beach which may result in a potential fine of up to \$250.00 per day. Repeat violators can be fined up to \$500.00 per day. Such charges will be a lien upon the real and/or personal property of the violator and may be collected pursuant to law. The City is also entitled to collect all costs incurred in recording and satisfying a lien against the property.*













CITY OF MADEIRA BEACH

COMMUNITY SERVICES – CODE ENFORCEMENT
300 MUNICIPAL DRIVE ♦ MADEIRA BEACH, FLORIDA 33708
(727) 391-9951 EXT. 244 ♦ FAX (727) 399-1131



SPECIAL MAGISTRATE STATEMENT OF VIOLATION/REQUEST FOR HEARING

Name and address of violator(s):

CASE NO. 2026.006

DATE: 01/08/2026

PRUITT, DEAN A
PRUITT, MARIA L
1336 BAYVIEW DR
CLEARWATER, FL 33756-1232

RE: Property: 545 150th Ave MADEIRA BEACH 33708

Parcel #: 09-31-15-00000-140-0200

LEGAL DESCRIPTION: : UPLAND & SUBM LANDS IN GOVT LOT 1 & PT IN GOVT LOT 2 OF SEC 10-31-15 DESC FROM INTERSECTION OF S LINE OF GOVT LOT 1 & C/L OF 150TH AVE TH N43D51' 28"E 1818FT TH S46D08'32"E 50FT FOR POB TH N43D51' 28"E 100FT TH S46D08'32"E 600FT(S) TH SW'LY 100FT ALONG BOCA CIEGA BAY TH N46D08'32"W 600FT(S) TO POB CONT 1.38 AC(C) SUBM LAND DEED NO. 20228

Code(s) which have been violated:

Violation Detail

1. On 10/10/2025, I conducted an inspection on the listed property identifying the listed violations. Sunken/Abandoned Vessels.
2. A Courtesy letter was mailed on 10/18/2025. A re-inspection date of 10/29/2025 was given.
3. On 11/13/2026 a re-inspection was conducted, and the property was found to still be in violation.
4. A Notice of Violation letter was mailed to the property owners on 11/14/2025 with a re-inspection date of 11/22/25.

5. On 01/08/2026, I conducted a final re-inspection of the listed property. The property was still found to be in violation, none of the issues were corrected. Sinking inoperable vessels remained.
6. On 01/08/2026, the notice of Hearing, Affidavit of Service, Statement of Violation and Affidavit of Posting was mailed both certified and regular.
7. On 01/08/2026 the affidavit of Posting was posted on the property.
8. On 01/08/2026 All Special Magistrate Paperwork was posted on the Property.
9. A special magistrate hearing was set for January 26th, 2026 12:00 PM.

I DO HEREBY SWEAR THAT THE ABOVE FACTS ARE TRUE TO THE BEST OF MY KNOWLEDGE. I REQUEST A HEARING ON THE ABOVE VIOLATION(S) BY THE MADEIRA BEACH SPECIAL MAGISTRATE OF THE CITY OF MADEIRA BEACH.


Deputy Cory Snyder, Community Policing Officer



CITY OF MADEIRA BEACH

COMMUNITY SERVICES – CODE ENFORCEMENT
300 MUNICIPAL DRIVE ♦ MADEIRA BEACH, FLORIDA 33708
(727) 391-9951 EXT. 244 ♦ FAX (727) 399-1131



SPECIAL MAGISTRATE NOTICE OF HEARING

CITY OF MADEIRA BEACH, FL
300 MUNICIPAL DRIVE
MADEIRA BEACH, FL 33708

CASE # 2020.216

Petitioner,

vs.

PRUITT, DEAN A
PRUITT, MARIA L
1336 BAYVIEW DR
CLEARWATER, FL, 33756-1232

Respondent,

RE: PROPERTY: 545 150th Ave, MADEIRA BEACH 33708-2435

Parcel #: 09-31-15-00000-140-0200

Legal Description: UPLAND & SUBM LANDS IN GOVT LOT 1 & PT IN GOVT LOT 2 OF SEC 10-31-15 DESC FROM INTERSECTION OF S LINE OF GOVT LOT 1 & C/L OF 150TH AVE TH N43D51' 28'E 1818FT TH S46D08'32"E 50FT FOR POB TH N43D51' 28"E 100FT TH S46D08'32"E 600FT(S) TH SW'LY 100FT ALONG BOCA CIEGA BAY TH N46D08'32"W 600FT(S) TO POB CONT 1.38 AC(C) SUBM LAND DEED NO. 20228

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on **MONDAY** the **26th** day of January, 2026, there will be a public hearing at the Madeira Beach City Hall, 300 Municipal Drive, Madeira Beach, Florida 33708, concerning the following:

Violation Detail:**Sec. 34-129. - Same—Allowing to remain on private property restricted.**

No person in charge or control of any property within the city, whether as owner, tenant, occupant, lessee, or otherwise, shall allow any abandoned, wrecked, junked, or partially dismantled boat, vessel or watercraft to remain on such property within the city for longer than 72 hours, whether with or without current registration.

Except that this section shall not apply with regard to a boat, vessel or watercraft:

- (1) In an enclosed building;
 - (2) On the premises of a business enterprise operated specifically for the purpose of repairing or building boats, vessels, or watercraft in a lawful place and manner when necessary to the operation of such business enterprise; or
 - (3) That by either size or design does not require current registration.
- (Ord. No. 973, § 2, 9-24-02)

You are hereby ordered to appear before the Madeira Beach Special Magistrate on that date to answer these charges and to present your side of the case. Failure to appear may result in the Special Magistrate proceeding in your absence.

Should you be found in violation of the above code, the Special Magistrate has the power by law to levy fines of up to \$500.00 per day against you and your property for every day that any violation continues beyond the date set in an order of the Special Magistrate for compliance.

If the violation is corrected and then recurs, or if the violation is not corrected by the time specified by the Code Enforcement Officer for correction, the case may be presented to the Madeira Beach Special Magistrate even if the violation has been corrected prior to the Special Magistrate hearing.

Should you desire, you have the right to obtain an attorney at your own expense to represent you before the Special Magistrate. You will also have to opportunity to present witnesses as well as question the witnesses against you prior to the Special Magistrate making a determination.

Please be prepared to present evidence at this meeting concerning the time frame necessary to correct the alleged violation, should you be found in violation of the City Code.

If you wish to have any witnesses subpoenaed or have any other questions, please contact the Assistant to Code Enforcement of the City of Madeira Beach within five (5) days at 300 Municipal Drive, Madeira Beach, Florida 33708, telephone number (727) 391-9951 x 244.

Your failure to respond to the previously issued Notice of Violation has resulted in costs of prosecution of this case.

PLEASE NOTE: Should any interested party seek to appeal any decision made by the Special Magistrate with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to insure that a verbatim record of the proceedings is made which record includes the testimony and evidence upon which the appeal is to be based per Florida Statute 286.0105.

I HEREBY CERTIFY that a copy of the foregoing Notice of Hearing was mailed to Respondent(s) by certified mail, return receipt requested.

Dated this 8th day of January, 2026


Deputy

Cory Snyder, Code Enforcement Officer



CITY OF MADEIRA BEACH

COMMUNITY SERVICES – CODE ENFORCEMENT
300 MUNICIPAL DRIVE ♦ MADEIRA BEACH, FLORIDA 33708
(727) 391-9951 EXT. 244 ♦ FAX (727) 399-1131



SPECIAL MAGISTRATE AFFIDAVIT OF SERVICE

CITY OF MADEIRA BEACH, FLORIDA
300 MUNICIPAL DRIVE
MADEIRA BEACH, FL 33708
Petitioner

Case # 2025.006

Vs.

PRUITT, DEAN A
PRUITT, MARIA L
1336 BAYVIEW DR
CLEARWATER, FL 33756-1232

Respondent

RE: Property: 545 150TH AVE E MADEIRA BEACH FL 33708

Parcel #: 09-31-15-00000-140-0200

LEGAL DESCRIPTION: : UPLAND & SUBM LANDS IN GOVT LOT 1 & PT IN GOVT LOT 2 OF SEC 10-31-15
DESC FROM INTERSECTION OF S LINE OF GOVT LOT 1 & C/L OF 150TH AVE TH N43D51' 28"E 1818FT TH
S46D08'32"E 50FT FOR POB TH N43D51' 28"E 100FT TH S46D08'32"E 600FT(S) TH SW'LY 100FT ALONG
BOCA CIEGA BAY TH N46D08'32"W 600FT(S) TO POB CONT 1.38 AC(C) SUBM LAND DEED NO. 20228

AFFIDAVIT OF SERVICE

I, Deputy Cory Snyder, Community Policing Officer of the City of Madeira Beach, upon being duly sworn,
deposed and says the following:

That pursuant to Florida Statute 162.12,

On the 8th day of January 2026, I mailed a copy of the attached **NOTICE OF HEARING/ORDER** via certified Mail, Return Receipt requested.

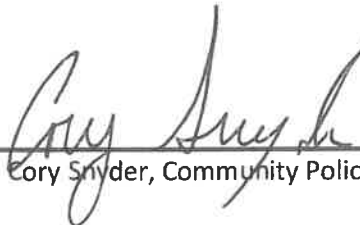
On the 8th day of January 2026, I mailed a copy of the attached **NOTICE OF HEARING/ORDER** via First Class Mail.

On the 8th day of January 2026, I posted a copy of the attached **NOTICE OF HEARING/ORDER** on the property located at 545 150th Ave . MADEIRA BEACH 33708

Parcel # 09-31-15-00000-140-0200


UPLAND & SUBM LANDS IN GOVT LOT 1 & PT IN GOVT LOT 2 OF SEC 10-31-15 DESC FROM INTERSECTION OF S LINE OF GOVT LOT 1 & C/L OF 150TH AVE TH N43D51' 28"E 1818FT TH S46D08'32"E 50FT FOR POB TH N43D51' 28"E 100FT TH S46D08'32"E 600FT(S) TH SW'LY 100FT ALONG BOCA CIEGA BAY TH N46D08'32"W 600FT(S) TO POB CONT 1.38 AC(C) SUBM LAND DEED NO. 20228

On the 8th day of January 2026, I caused the attached NOTICE OF HEARING/ORDER to be posted at the Municipal Government Offices, 300 MUNICIPAL DR, Madeira Beach; and that said papers remain posted at the Municipal Government Offices for a period of not less than ten days from the date of posting.


 Deputy Cory Snyder, Community Policing Officer

State of Florida
 County of Pinellas

Before me on 8thday of January 2026, personally appeared Cory Snyder who executed the foregoing instrument and who is personally known to me.


 Notary

SEAL

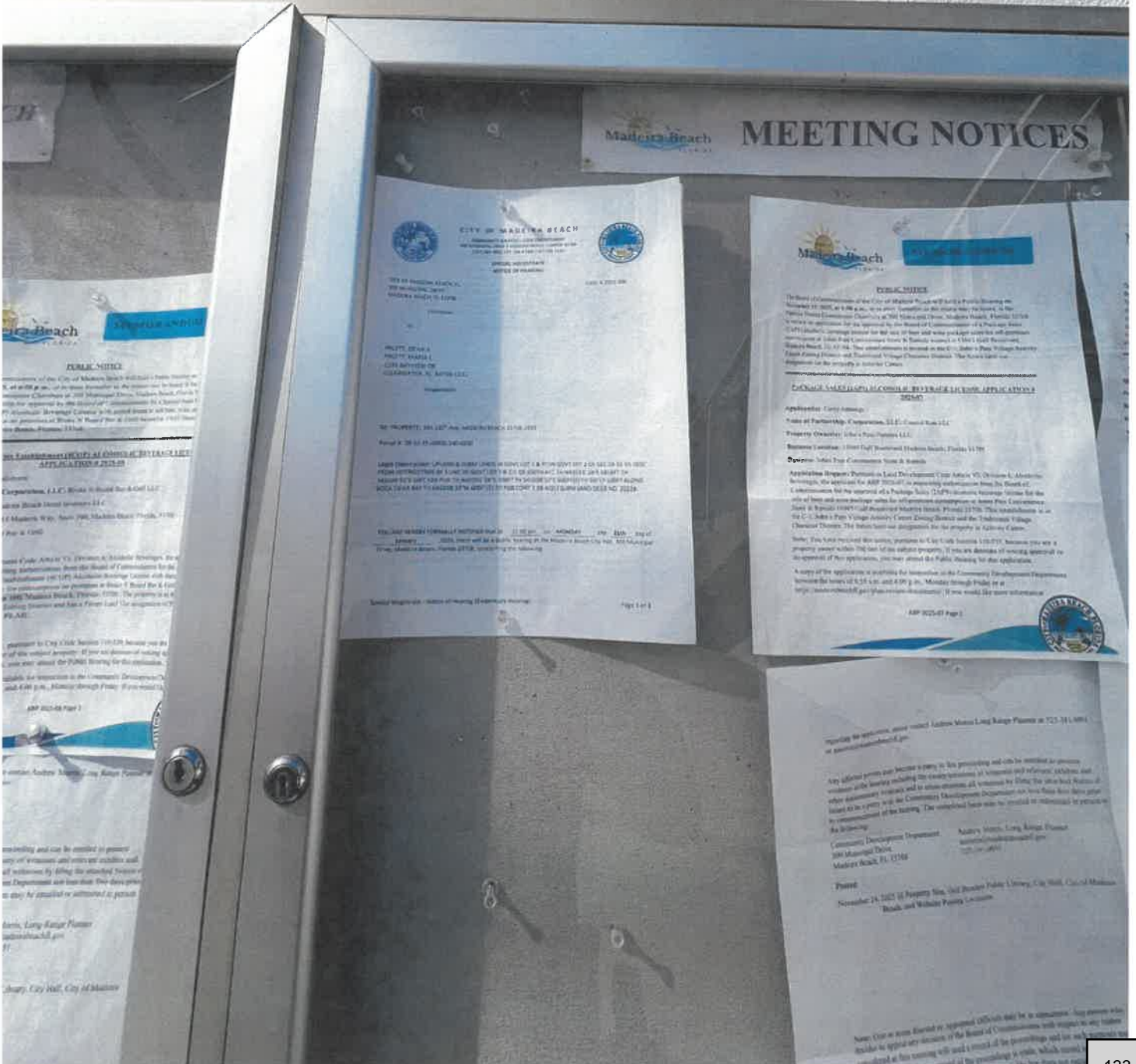














Parcel Summary (as of 15-Jan-2026)

Parcel Map

Parcel Number

15-31-15-65304-010-0150

Owner Name

ANTOLOVICH, DAVE

ANTOLOVICH, JUNLI

Property Use

0000 Vacant Residential - lot & acreage less than 5 acres

Site Address

4TH ST E

MADEIRA BEACH, FL 33708

Mailing Address

37195 DEER RUN

SOLON, OH 44139-2554

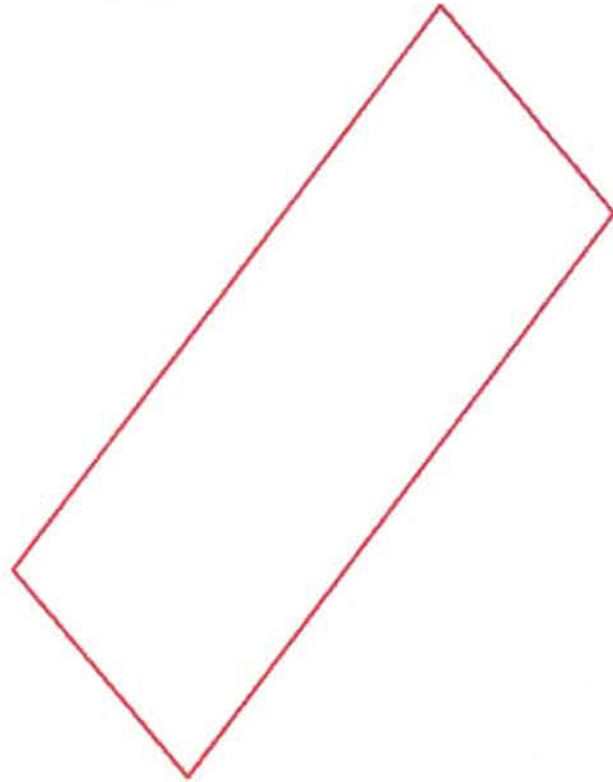
Legal Description

PAGE'S REPLAT OF MITCHELL'S BEACH BLK J, LOT 15

Current Tax District

MADEIRA BEACH (MB)

Year Built



Living SF	Gross SF	Living Units	Buildings
			0

Exemptions

Year	Homestead	Use %	Status	Property Exemptions & Classifications
2027	No	0%		No Property Exemptions or Classifications found. Please note that Ownership Exemptions (Homestead, Senior, Widow/Widower, Veterans, First Responder, etc... will not display here).
2026	No	0%		
2025	No	0%		

Miscellaneous Parcel Info

Last Recorded Deed	Sales Comparison	Census Tract	Evacuation Zone	Flood Zone	Elevation Certificate	Zoning	Plat Bk/Pg
22891/2209	\$253,100	278.02	A	Current FEMA Maps	Check for EC	Zoning Map	20/69

2025 Final Values

Year	Just/Market Value	Assessed Value/SOH Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2025	\$217,305	\$217,305	\$217,305	\$217,305	\$217,305

Value History (yellow indicates corrected value)

Year	Homestead Exemption	Just/Market Value	Assessed Value/SOH Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2024	N	\$290,160	\$101,593	\$0	\$0	\$0
2023	N	\$277,497	\$92,357	\$0	\$0	\$0
2022	N	\$289,587	\$83,961	\$0	\$0	\$0
2021	N	\$220,285	\$76,328	\$0	\$0	\$0
2020	N	\$158,245	\$69,389	\$0	\$0	\$0

2025 Tax Information

Item 5C.



Do not rely on current taxes as an estimate following a change in ownership. A significant change in taxable value may occur after a transfer due to a loss of exemptions, reset of the Save Our Homes or 10% Cap, and/or market conditions. Please use our **Tax Estimator** to estimate taxes under new ownership.

Tax Bill	2025 Millage Rate	Tax District
View 2025 Tax Bill	16.2172	(MB)

Sales History

Sale Date	Price	Qualified / Unqualified	Vacant / Improved	Grantor	Grantee	Book / Page
12-Aug-2024	\$269,000	Q	V	CHRIST AT THE SEA FOUNDATION INC	ANTOLOVICH DAVE	22891/2209
03-Jul-2003	\$0			SHARP BOBBY JOE	CHRIST AT THE SEA FOUNDATION INC	12977/2344

2025 Land Information

Land Area: \cong 4,060 sf | \cong 0.09 acres

Frontage and/or View: None

Seawall: No

Property Use	Land Dimensions	Unit Value	Units	Method	Total Adjustments	Adjusted Value
Vacant	40x104	\$5,800	40.00	FF	1.1845	\$274,804

2025 Extra Features

Description	Value/Unit	Units	Total Value as New	Depreciated Value	Year
-------------	------------	-------	--------------------	-------------------	------

No Extra Features on Record.

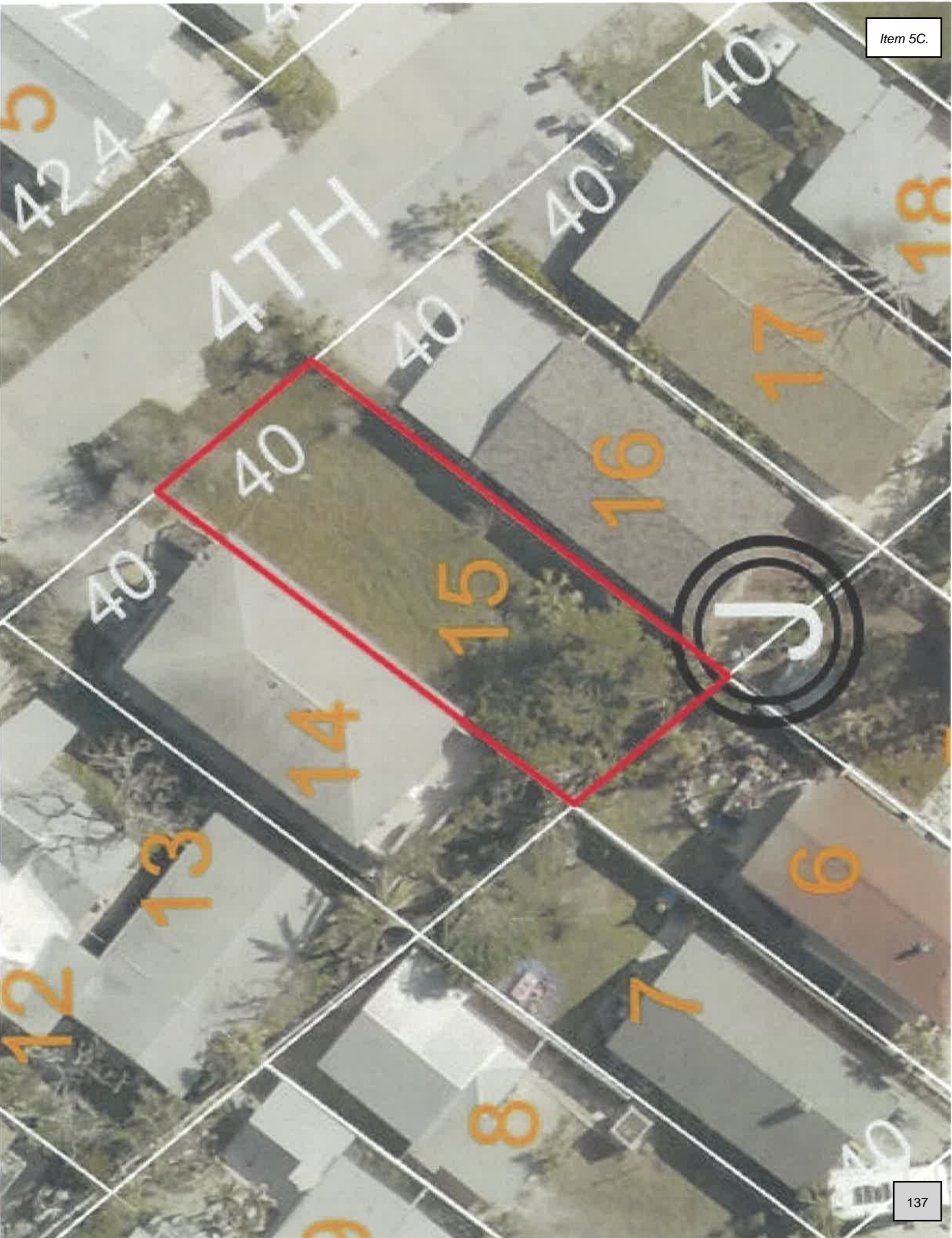
Permit Data

Permit information is received from the County and Cities. This data may be incomplete and may exclude permits that do not result in field reviews (for example for water heater replacement permits). We are required to list all improvements, which may include unpermitted construction. Any questions regarding permits, or the status of non-permitted improvements, should be directed to the permitting jurisdiction in which the structure is located.

Permit Number	Description	Issue Date	Estimated Value
---------------	-------------	------------	-----------------

No Permits on Record.





[Search](#) > Account Summary

Real Estate Account #R416541

Owner:

ANTOLOVICH, DAVE
ANTOLOVICH, JUNLI

Situs:

4TH ST E
MADEIRA BEACH

[Parcel details](#)[Property Appraiser](#) [Get bills by email](#)

Amount Due

Your account is **paid in full**. There is nothing due at this time.
Your most recent payment was made on **12/13/2025** for **\$3,418.35**.

[✎ Apply for the 2026 installment payment plan](#)

Account History

BILL	AMOUNT DUE
2025 Annual Bill ⓘ	\$0.00 Print (PDF)
2024 Annual Bill ⓘ	\$0.00 Print (PDF)
2023 Annual Bill ⓘ	\$0.00 Print (PDF)
2022 Annual Bill ⓘ	\$0.00 Print (PDF)
2021 Annual Bill ⓘ	\$0.00

[2020 Annual Bill](#) ⓘ

 [Print \(PDF\)](#)
\$0.00


[2019 Annual Bill](#) ⓘ

 [Print \(PDF\)](#)
\$0.00

[2018 Annual Bill](#) ⓘ

 [Print \(PDF\)](#)
\$0.00

[2017 Annual Bill](#) ⓘ

 [Print \(PDF\)](#)
\$0.00

[2016 Annual Bill](#) ⓘ

 [Print \(PDF\)](#)
\$0.00

[2015 Annual Bill](#) ⓘ

 [Print \(PDF\)](#)
\$0.00



1 2 3



CITY OF MADEIRA BEACH

COMMUNITY SERVICES – CODE ENFORCEMENT
300 MUNICIPAL DRIVE ♦ MADEIRA BEACH, FLORIDA 33708
(727) 391-9951 EXT. 295 ♦ FAX (727) 399-1131



COURTESY NOTICE LETTER TO PROPERTY OWNER

10/02/2025

ANTOLOVICH, DAVE
ANTOLOVICH, JUNLI
37195 DEER RUN
OLON, OH 44139-2554

IN REFERENCE TO THE FOLLOWING:

VACANT LOT
MADEIRA BEACH, FL 33708

INSPECTION DATE: 10/02/2025

PARCEL NUMBER: 15-31-15-65304-010-0150

LEGAL DESCRIPTION: PAGE'S REPLAT OF MITCHELL'S BEACH BLK J, LOT 15

CODE ENFORCEMENT CASE # 2025.003

Dear Property Owner/Occupant:

An inspection of your property revealed a violation(s) of the City Code of Ordinances. The following violation(s) were found to exist;

- **Violations:**

-Tall Grass, Dead/Dying trees, plantings and landscaping. Trash and debris.

Sec. 14-68. - Same—Maintenance of vegetation, trees, plantings and landscaping.

The owners/occupants of private property are responsible for the maintenance of plants, trees, grass, ground cover, plantings, landscaping, organic materials, and vegetation of any type or nature (collectively referred to as vegetation and organic material) located on such property and abutting rights-of-way, excluding roads and streets. The board of commissioners may designate by resolution right-of-way areas to be maintained by the city due to special circumstances.

(1) Private property and rights-of-way shall be maintained with a herbaceous layer of sod, a ground cover material or organic mulch. Sod shall be maintained at a maximum overall height of six inches or less; other ground cover material shall be maintained at an overall height not to exceed 12 inches. Organic mulch shall be composed of chopped or shredded organic material and maintained in a manner which will retard or prevent the rapid or easy spread of fire.

(6) Vegetation and organic material including, but not limited to, sod, vines, hedges, and shrubs, shall be maintained so as not to encroach upon sidewalks, streets, and public rights-of-way. Trees, bushes, shrubs and other vegetation which extends over sidewalks, streets, and public rights-of-way shall be maintained so as to allow the safe travel of pedestrians, bicyclists, and motorists.

(7) Dead and dying trees, bushes, shrubs, or other natural growth, or the branches or limbs thereof, which constitute a hazard to persons and property by reason of rot, deterioration, storm damage, or any other cause, shall be pruned and trimmed to prevent such hazard or danger.

14-69. - Same—Maintenance of the exterior of premises.

The exterior of premises and all structures thereon including but not limited to private property and vacant lots shall be kept free of all hazards to the health, safety and welfare of persons on or near the premises. It shall be the duty of the owner/occupant of such property to promptly abate or remove the same.

(1) Garbage, trash, refuse, debris, accumulations of filth, broken glass, junk, scrap metal, scrap lumber, wastepaper products, discarded building materials, inoperative machinery, machinery parts, and similar materials shall not be stored or maintained on private property.

MOW AT REGULAR INTERVALS, CLEAN UP TRASH AND DEBRIS IN REAR OF LOT. **REMOVE BATH TUB**

The violation(s) must be corrected by: 10/13/2025

If you should have any questions or concerns, please do not hesitate to contact me.

My phone number is listed below.

Thank you in advance for your prompt response.

Sincerely,

Deputy Cory Snyder
csnyder@pcsonet.com
Code Enforcement Officer
Telephone: (727) 391-9951













CITY OF MADEIRA BEACH

COMMUNITY SERVICES – CODE ENFORCEMENT
300 MUNICIPAL DRIVE ♦ MADEIRA BEACH, FLORIDA 33708
(727) 391-9951 EXT. 244 ♦ FAX (727) 399-1131



SPECIAL MAGISTRATE NOTICE OF VIOLATION

12/10/2025
ANTOLOVICH, DAVE
ANTOLOVICH, JUNLI
37195 DEER RUN
OLON, OH 44139-2554

IN REFERENCE TO THE FOLLOWING:
VACANT LOT 4TH ST E
MADEIRA BEACH FL 33708

INSPECTION DATE: 12/10/2025
PARCEL NUMBER: 15-31-15-65304-010-0150

LEGAL DESCRIPTION: PAGE'S REPLAT OF MITCHELL'S BEACH BLK J, LOT 15

SPECIAL MAGISTRATE – CODE ENFORCEMENT CASE #2025.003

Dear Property Owner/Occupant:

An inspection of your property revealed a violation(s) of the City Code of Ordinances. The following violations were found to exist;

Ordinance:

- Violations:

Tall Grass, Dead/Dying trees, plantings and landscaping. Trash and debris.

Sec. 14-68. - Same—Maintenance of vegetation, trees, plantings and landscaping.

The owners/occupants of private property are responsible for the maintenance of plants, trees, grass, ground cover, plantings, landscaping, organic materials, and vegetation of any type or nature (collectively referred to as vegetation and organic material) located on such property and abutting rights-of-way, excluding roads and streets. The board of commissioners may designate by resolution right-of-way areas to be maintained by the city due to special circumstances.

(1) Private property and rights-of-way shall be maintained with a herbaceous layer of sod, a ground cover material or organic mulch. Sod shall be maintained at a maximum overall height of six inches or less; other

ground cover material shall be maintained at an overall height not to exceed 12 inches. Organic mulch shall be composed of chopped or shredded organic material and maintained in a manner which will retard or prevent the rapid or easy spread of fire.

(6) Vegetation and organic material including, but not limited to, sod, vines, hedges, and shrubs, shall be maintained so as not to encroach upon sidewalks, streets, and public rights-of-way. Trees, bushes, shrubs and other vegetation which extends over sidewalks, streets, and public rights-of-way shall be maintained so as to allow the safe travel of pedestrians, bicyclists, and motorists.

(7) Dead and dying trees, bushes, shrubs, or other natural growth, or the branches or limbs thereof, which constitute a hazard to persons and property by reason of rot, deterioration, storm damage, or any other cause, shall be pruned and trimmed to prevent such hazard or danger.

14-69. - Same—Maintenance of the exterior of premises.

The exterior of premises and all structures thereon including but not limited to private property and vacant lots shall be kept free of all hazards to the health, safety and welfare of persons on or near the premises. It shall be the duty of the owner/occupant of such property to promptly abate or remove the same.

- (1) Garbage, trash, refuse, debris, accumulations of filth, broken glass, junk, scrap metal, scrap lumber, wastepaper products, discarded building materials, inoperative machinery, machinery parts, and similar materials shall not be stored or maintained on private property.

Please have the lot mowed and cleaned come into compliance with city code.

The violation(s) must be corrected 12/24/2025. If the violation(s) are not remedied and discontinued, you will receive a notice to appear for a hearing before the Madeira Beach Special Magistrate for failure to correct the violation(s).

If you should have any questions or concerns, please do not hesitate to contact me.

Sincerely,
Deputy Snyder
Code Enforcement Deputy
Telephone: (727) 391-9951

Method of Delivery: ☐ Certified Mail ☐ Regular Mail

PLEASE NOTIFY THIS OFFICE AS SOON AS THE VIOLATION(S) IS CORRECTED

NOTE: You are hereby notified to correct the attached violation(s) and notify the above signed Code Enforcement Officer within the time limits specified. Failure to comply will result in charges being filed against you with the Special Magistrate of the City of Madeira Beach which may result in a potential fine of up to \$250.00 per day. Repeat violators can be fined up to \$500.00 per day. Such charges will be a lien upon the real and/or personal property of the violator and may be collected pursuant to law. The City is also entitled to collect all costs incurred in recording and satisfying a lien against the property.













CITY OF MADEIRA BEACH

COMMUNITY SERVICES – CODE ENFORCEMENT
300 MUNICIPAL DRIVE ♦ MADEIRA BEACH, FLORIDA 33708
(727) 391-9951 EXT. 244 ♦ FAX (727) 399-1131



SPECIAL MAGISTRATE NOTICE OF HEARING

CITY OF MADEIRA BEACH, FL
300 MUNICIPAL DRIVE
MADEIRA BEACH, FL 33708

CASE # 2025.003

Petitioner,

vs.

ANTOLOVICH, DAVE
ANTOLOVICH, JUNLI
37195 DEER RUN
SOLON, OH 44139-2554

Respondent,

PROPERTY: VACANT LOT 4TH ST E MADEIRA BEACH FL 33708

Parcel #: 15-31-15-65304-010-0150

Legal Description: PAGE'S REPLAT OF MITCHELL'S BEACH BLK J, LOT 15

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY the 26th day of January, 2026, there will be a public hearing at the Madeira Beach City Hall, 300 Municipal Drive, Madeira Beach, Florida 33708, concerning the following:

Violation Detail:**Sec. 14-68. - Same—Maintenance of vegetation, trees, plantings and landscaping.**

The owners/occupants of private property are responsible for the maintenance of plants, trees, grass, ground cover, plantings, landscaping, organic materials, and vegetation of any type or nature (collectively referred to as vegetation and organic material) located on such property and abutting rights-of-way, excluding roads and streets. The board of commissioners may designate by resolution right-of-way areas to be maintained by the city due to special circumstances.

(1) Private property and rights-of-way shall be maintained with a herbaceous layer of sod, a ground cover material or organic mulch. Sod shall be maintained at a maximum overall height of six inches or less; other ground cover material shall be maintained at an overall height not to exceed 12 inches. Organic mulch shall be composed of chopped or shredded organic material and maintained in a manner which will retard or prevent the rapid or easy spread of fire.

(6) Vegetation and organic material including, but not limited to, sod, vines, hedges, and shrubs, shall be maintained so as not to encroach upon sidewalks, streets, and public rights-of-way. Trees, bushes, shrubs and other vegetation which extends over sidewalks, streets, and public rights-of-way shall be maintained so as to allow the safe travel of pedestrians, bicyclists, and motorists.

(7) Dead and dying trees, bushes, shrubs, or other natural growth, or the branches or limbs thereof, which constitute a hazard to persons and property by reason of rot, deterioration, storm damage, or any other cause, shall be pruned and trimmed to prevent such hazard or danger.

14-69. - Same—Maintenance of the exterior of premises.

The exterior of premises and all structures thereon including but not limited to private property and vacant lots shall be kept free of all hazards to the health, safety and welfare of persons on or near the premises. It shall be the duty of the owner/occupant of such property to promptly abate or remove the same.

- (1) Garbage, trash, refuse, debris, accumulations of filth, broken glass, junk, scrap metal, scrap lumber, wastepaper products, discarded building materials, inoperative machinery, machinery parts, and similar materials shall not be stored or maintained on private property.

You are hereby ordered to appear before the Madeira Beach Special Magistrate on that date to answer these charges and to present your side of the case. Failure to appear may result in the Special Magistrate proceeding in your absence.

Should you be found in violation of the above code, the Special Magistrate has the power by law to levy fines of up to \$500.00 per day against you and your property for every day that any violation continues beyond the date set in an order of the Special Magistrate for compliance.

If the violation is corrected and then recurs, or if the violation is not corrected by the time specified by the Code Enforcement Officer for correction, the case may be presented to the Madeira Beach Special Magistrate even if the violation has been corrected prior to the Special Magistrate hearing.

Should you desire, you have the right to obtain an attorney at your own expense to represent you before the Special Magistrate. You will also have to opportunity to present witnesses as well as question the witnesses against you prior to the Special Magistrate making a determination.

Please be prepared to present evidence at this meeting concerning the time frame necessary to correct the alleged violation, should you be found in violation of the City Code.

If you wish to have any witnesses subpoenaed or have any other questions, please contact the Assistant to Code Enforcement of the City of Madeira Beach within five (5) days at 300 Municipal Drive, Madeira Beach, Florida 33708, telephone number (727) 391-9951 x 244.

Your failure to respond to the previously issued Notice of Violation has resulted in costs of prosecution of this case.

PLEASE NOTE: Should any interested party seek to appeal any decision made by the Special Magistrate with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to insure that a verbatim record of the proceedings is made which record includes the testimony and evidence upon which the appeal is to be based per Florida Statute 286.0105.

I HEREBY CERTIFY that a copy of the foregoing Notice of Hearing was mailed to Respondent(s) by certified mail, return receipt requested.

Dated this 9th day of January, 2026



Deputy Cory Snyder, Code Enforcement Officer



CITY OF MADEIRA BEACH

COMMUNITY SERVICES – CODE ENFORCEMENT
300 MUNICIPAL DRIVE ♦ MADEIRA BEACH, FLORIDA 33708
(727) 391-9951 EXT. 244 ♦ FAX (727) 399-1131



SPECIAL MAGISTRATE AFFIDAVIT OF SERVICE

CITY OF MADEIRA BEACH, FLORIDA
300 MUNICIPAL DRIVE
MADEIRA BEACH, FL 33708
Petitioner

Case # 2025.003

Vs.

ANTOLOVICH, DAVE
ANTOLOVICH, JUNLI
37195 DEER RUN
SOLON, OH 44139-2554

Respondent

Property: VACANT LOT 4TH ST E MADEIRA BEACH FL 33708

Parcel #: 15-31-15-65304-010-0150

LEGAL DESCRIPTION: PAGE'S REPLAT OF MITCHELL'S BEACH BLK J, LOT 15

AFFIDAVIT OF SERVICE

I, Cory Snyder, Community Policing Officer of the City of Madeira Beach, upon being duly sworn, deposed and says the following:

That pursuant to Florida Statute 162.12,

On the 9th day of January, 2026, I mailed a copy of the attached **NOTICE OF HEARING/ORDER** via certified Mail, Return Receipt requested.

On the 9th day of January 2026, I mailed a copy of the attached **NOTICE OF HEARING/ORDER** via First Class Mail.

On the 9th day of January 2026, I posted a copy of the attached **NOTICE OF HEARING/ORDER** on the property located at 15-31-15-65304-010-0150, PAGE'S REPLAT OF MITCHELL'S BEACH BLK J, LOT 15 in the City of Madeira Beach.

On the 9th day of January, 2026, I caused the attached NOTICE OF HEARING/ORDER to be posted at the Municipal Government Offices, 300 MUNICIPAL DR, Madeira Beach; and that said papers remain posted at the Municipal Government Offices for a period of not less than ten days from the date of posting.



Deputy Cory Snyder, Community Policing Officer

State of Florida

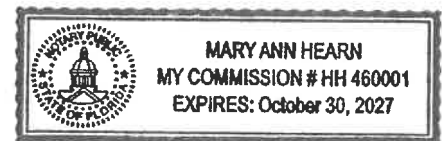
County of Pinellas

Before me on 9th day of January, 2026, personally appeared Cory Snyder who executed the foregoing instrument and who is personally known to me.



Notary

SEAL





CITY OF MADEIRA BEACH

COMMUNITY SERVICES – CODE ENFORCEMENT
300 MUNICIPAL DRIVE ♦ MADEIRA BEACH, FLORIDA 33708
(727) 391-9951 EXT. 244 ♦ FAX (727) 399-1131



SPECIAL MAGISTRATE STATEMENT OF VIOLATION/REQUEST FOR HEARING

Name and address of violator(s):

CASE NO. 2025.003

DATE: 01/9/2026

ANTOLOVICH, DAVE
ANTOLOVICH, JUNLI
37195 DEER RUN
OLON, OH 44139-2554

Property: Vacant Lot 4th Street E

Parcel #: 15-31-15-65304-010-0150

LEGAL DESCRIPTION: PAGE'S REPLAT OF MITCHELL'S BEACH BLK J, LOT 15

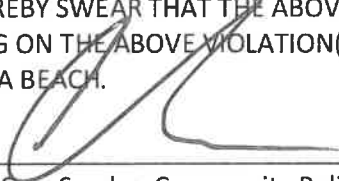
Code(s) which have been violated:

Violation Detail:

1. In October 2025, I received a forwarded complaint from city hall regarding the listed vacant lot. Rats, trash debris were reported on the vacant lot as well as tall grass and tree debris. Rear neighbor Sid Boujelal from 13235 3rd St was the complainant.
2. On 10/2/2026 I conducted an inspection of the property finding trash debris, tree debris. The property was in violation.
3. A Courtesy Letter was mailed to the property owners on 10/02/2026 with a re-inspection date of 10/13/2025.
4. On 11/04/2025, Sid Boujelal emailed the city complaining about no change in the property. Trash and Debris and tree debris.
5. On 12/10/2025, I conducted a reinspection of the property find it still in violation.

6. On 12/10/2025 I mailed a Notice of Violation to the property owners having a re-inspection date of 1/24/2025.
7. On 01/8/2026 I conducted a final inspection of the property. No correction had been made. The property was in Violation.
8. On 1/9/2026 The Special Magistrate packet was Mailed both regular and certified to the property owner on record.
9. On 01/9/2026 All Special Magistrate Paperwork was posted on the Property.
10. A special magistrate hearing was set for January 26th, 2026 12:00 PM.

I DO HEREBY SWEAR THAT THE ABOVE FACTS ARE TRUE TO THE BEST OF MY KNOWLEDGE. I REQUEST A HEARING ON THE ABOVE VIOLATION(S) BY THE MADEIRA BEACH SPECIAL MAGISTRATE OF THE CITY OF MADEIRA BEACH.


Deputy Cory Snyder, Community Policing Officer











Item 5C.



YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY the 26th day of January, 2026, there will be a public hearing at the Madeira Beach City Hall, 300 Municipal Drive, Madeira Beach, Florida 33708, concerning the following:

Page 1 of 3

Special Magistrate - Notice of Hearing (Evidentiary Hearing)

**CITY OF MADEIRA BEACH**

COMMUNITY SERVICES - CODE ENFORCEMENT
300 MUNICIPAL DRIVE • MADEIRA BEACH, FLORIDA 33708
(727) 391-9951 EXT. 244 • FAX (727) 399-1131

**SPECIAL MAGISTRATE
NOTICE OF HEARING**

CITY OF MADEIRA BEACH, FL
300 MUNICIPAL DRIVE
MADEIRA BEACH, FL 33708

CASE # 2025.003

Petitioner,

vs.

ANTOLOVICH, DAVE
ANTOLOVICH, JUNI
37195 DEER RUN
SOLOON, OH 44139-2554

Respondent,

PROPERTY: VACANT LOT 4TH ST E MADEIRA BEACH FL 33708

Parcel #: 15-31-15-65304-010-0150

Legal Description: PAGE'S REPLAT OF MITCHELL'S BEACH BLK J, LOT 15

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY the 26th day of January, 2026, there will be a public hearing at the Madeira Beach City Hall, 300 Municipal Drive, Madeira Beach, Florida 33708, concerning the following:

Special Magistrate - Notice of Hearing (Evidentiary Hearing)

Page 1 of 3





Parcel Summary (as of 15-Jan-2026)

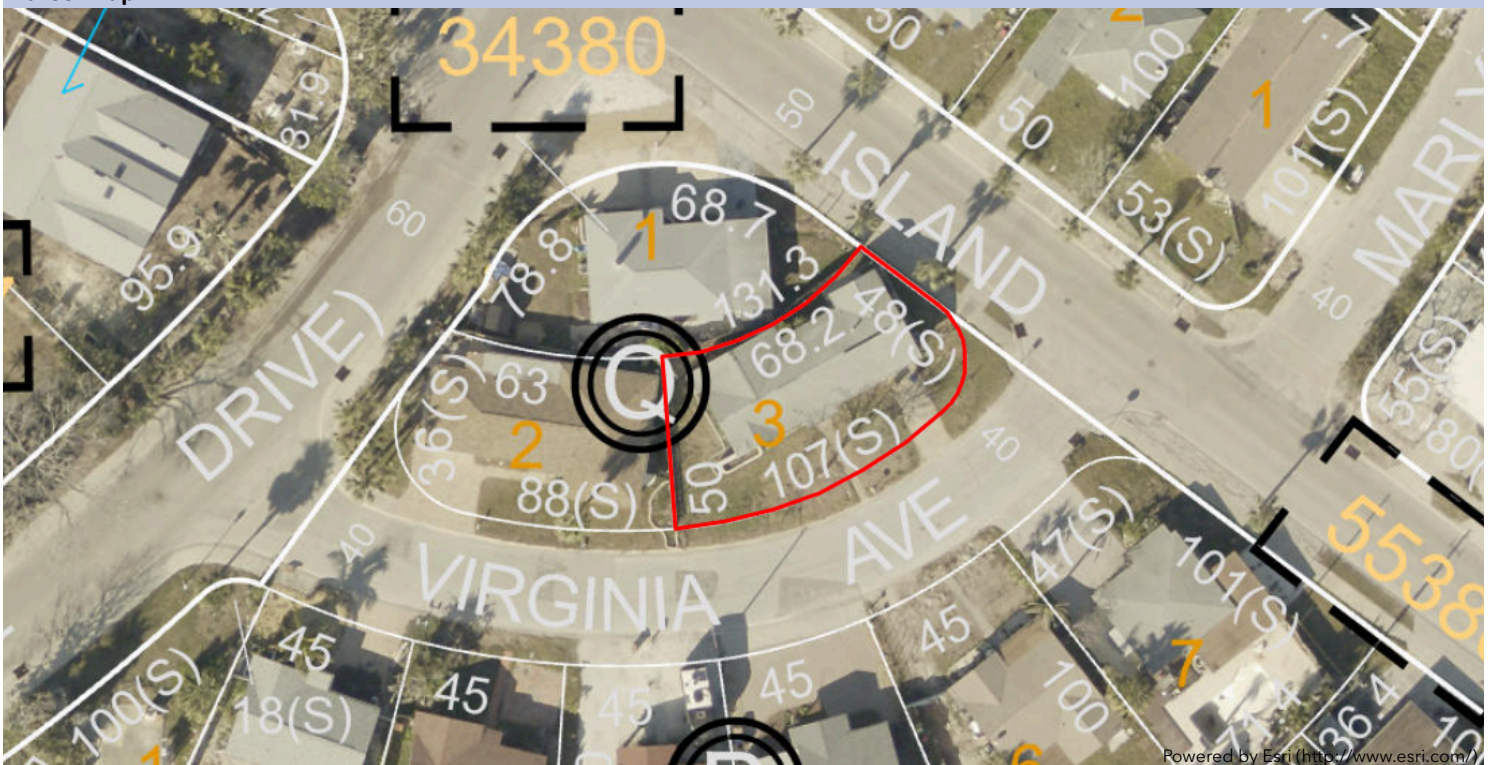
Parcel Number

10-31-15-34380-017-0030

- Owner Name
HERNANDEZ GLOBAL INVESTMENT GROUP LLC
- Property Use
0110 Single Family Home
- Site Address
**410 VIRGINIA AVE
MADEIRA BEACH, FL 33708**
- Mailing Address
**12015 SW 18TH ST UNIT 8
MIAMI, FL 33175-1691**
- Legal Description
GULF SHORES 4TH ADD BLK Q, LOT 3
- Current Tax District
MADEIRA BEACH (MB)
- Year Built
1946

Living SF	Gross SF	Living Units	Buildings
1,147	1,491	1	1

Parcel Map



Powered by Esri (<http://www.esri.com/>)


Exemptions

Year	Homestead	Use %	Status	Property Exemptions & Classifications	Item 5D.
2027	No	0%		No Property Exemptions or Classifications found. Please note that Ownership Exemptions (Homestead, Senior, Widow/Widower, Veterans, First Responder, etc... will not display here).	
2026	No	0%			
2025	Yes	100%			

Miscellaneous Parcel Info							
Last Recorded Deed	Sales Comparison	Census Tract	Evacuation Zone	Flood Zone	Elevation Certificate	Zoning	Plat Bk/Pg
23188/0710	\$292,900	278.02	A	Current FEMA Maps	Check for EC	Zoning Map	23/61

2025 Final Values					
Year	Just/Market Value	Assessed Value/SOH Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2025	\$254,778	\$94,360	\$33,638	\$59,360	\$0

Value History						
Year	Homestead Exemption	Just/Market Value	Assessed Value/SOH Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2024	Y	\$354,704	\$101,909	\$0	\$0	\$0
2023	Y	\$310,637	\$98,941	\$43,941	\$68,941	\$0
2022	Y	\$323,186	\$96,059	\$45,559	\$70,559	\$0
2021	Y	\$256,004	\$93,261	\$42,761	\$67,761	\$0
2020	Y	\$251,046	\$91,973	\$41,473	\$66,473	\$0

2025 Tax Information		
	Do not rely on current taxes as an estimate following a change in ownership. A significant change in taxable value may occur after a transfer due to a loss of exemptions, reset of the Save Our Homes or 10% Cap, and/or market conditions. Please use our Tax Estimator to estimate taxes under new ownership.	
	Tax Bill	2025 Millage Rate
	View 2025 Tax Bill	16.2172
		Tax District
		(MB)

Sales History						
Sale Date	Price	Qualified / Unqualified	Vacant / Improved	Grantor	Grantee	Book / Page
06-Feb-2025	\$275,000	Q	I	GILMORE MARY	HERNANDEZ GLOBAL INVESTMENT GROUP LLC	23188/0710
06-Feb-2007	\$100	U	I	GILMORE MARY	GILMORE, MARY	15620/0401
31-Dec-1974	\$17,000	Q				04190/0254

2025 Land Information						
Land Area: \cong 4,360 sf \cong 0.10 acres		Frontage and/or View: None			Seawall: No	
Property Use	Land Dimensions	Unit Value	Units	Method	Total Adjustments	Adjusted Value
Single Family	50x94	\$5,200	50.00	FF	1.0379	\$269,854

2025 Building 1 Structural Elements and Sub Area Information				
Structural Elements		Sub Area	Living Area SF	Gross Area SF
Foundation:	Continuous Footing Poured	Base (BAS):	1,147	1,147
Floor System:	Slab On Grade	Garage Unfinished (GRU):	0	312

Structural Elements

Exterior Walls: Cb Stucco/Cb Reclad
Unit Stories: 1
Living Units: 1
Roof Frame: Gable Or Hip
Roof Cover: Shingle Composition
Year Built: 1946
Building Type: Single Family
Quality: Average
Floor Finish: Carpet/Hardtile/Hardwood
Interior Finish: Drywall/Plaster
Heating: Central Duct
Cooling: Cooling (Central)
Fixtures: 3
Effective Age: 27

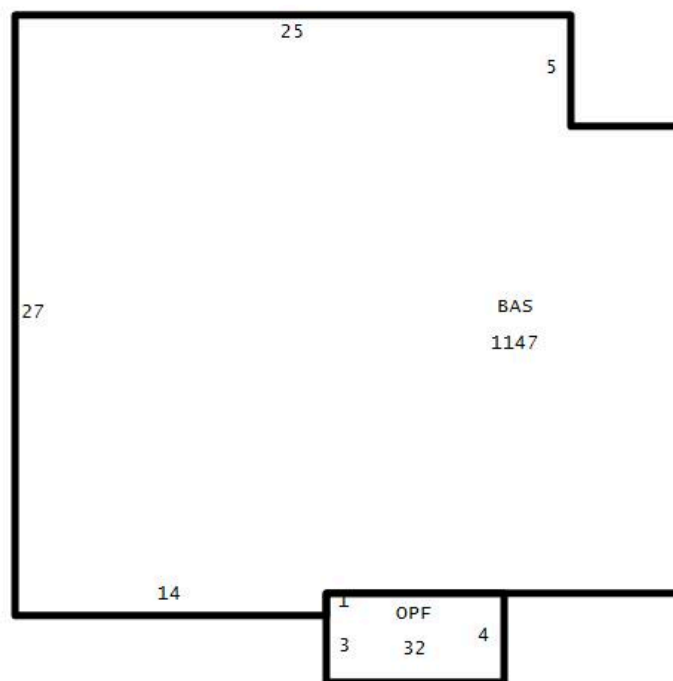
Sub Area**Living Area SF****Gross Area S**

Item 5D.

Open Porch (OPF):

0

32

Total Area SF:**1,147****1,491****2025 Extra Features**

Description	Value/Unit	Units	Total Value as New	Depreciated Value	Year
No Extra Features on Record.					

Permit Data

Permit information is received from the County and Cities. This data may be incomplete and may exclude permits that do not result in field reviews (for example for water heater replacement permits). We are required to list all improvements, which may include unpermitted construction. Any questions regarding permits, or the status of non-permitted improvements, should be directed to the permitting jurisdiction in which the structure is located.

Permit Number	Description	Issue Date	Estimated Value
E4617	ELECTRICAL	04/29/2020	\$6,200
M2725	HEAT/AIR	06/26/2018	\$6,767
1260	MISCELLANEOUS	01/17/2017	\$2,495
201211356	WINDOWS/DOORS	11/02/2012	\$18,773

Permit Number	Description	Issue Date	Estimated Value	Item 5D.
PER-H-CB06-04891	ROOF	03/27/2006	\$5,180	
PER-H-CB232700	HEAT/AIR	03/30/2001	\$4,588	

**CODE ENFORCEMENT
CITY OF MADEIRA BEACH**

JUNE 25, 2025

HERNANDEZ GLOBAL INVESTMENT GROUP LLC
12015 SW 18TH ST UNIT 8
MIAMI FL 33175-1691
Case Number: CE-25-99

RE Property: 410 VIRGINIA AVE, MADEIRA BCH **Parcel #**10-31-15-34380-017-0030

Legal Description: GULF SHORES 4TH ADD BLK Q, LOT 3

COURTESY NOTICE OF CODE VIOLATION

To whom it may concern:

During a recent review of properties, it was noted that your property is in violation of the following code/ordinance(s):

Ordinance(s):

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

Therefore, if the action(s) specified in this notice is not completed by 8:00 am of the re-inspection date listed, the City will take legal action concerning this violation(s). This action may include the issuance of a citation and imposition of a fine of up to two hundred fifty dollars (\$250) per day.

Violation Detail(s):

Work without a permit.

Corrective Action(s):

Either the property owner and/or licensed contractor will need to apply for and obtain an “after-the-fact” building permit to comply.

Please reply with a plan of corrections before the follow-up date listed:

Follow up date:

JULY 9, 2025

City of Madeira Beach
Building Department
buildingdept@madeirabeachfl.gov
727-391-9951

We are now using My Government Online (MGO). Please scan the QR code below, or go to www.mgoconnect.org/cp/portal to apply online for a permit, pay fees, and schedule inspections. We are no longer accepting paper, in-person permit applications.



Therefore, if the action(s) specified in this notice is not completed by 8:00 am of the re-inspection date listed, the City will take legal action concerning this violation(s). This action may include the issuance of a citation and imposition of a fine of up to two hundred fifty dollars (\$250) per day.



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Overview Facts & features Market value Payment calculator Neighborhood

\$550,000

410 Virginia Ave, Madeira Beach, FL 33708

3

beds

1

baths

1,147

sqft

Est.: **\$3,794/mo** Get pre-qualified

Single Family Residence

Built in 1946

4,360 Square Feet Lot

\$515,800 Zestimate®

\$480/sqft

\$-- HOA

Request a tour

as early as tomorrow at 9:00 am

Contact agent

What's special

FRESH PAINT

PLENTY OF NATURAL LIGHT

MODERN KITCHEN

BRAND-NEW WINDOWS

COZY ATMOSPHERE

NEW CEILING FANS

BRAND-NEW APPLIANCES

Welcome to your FULLY RENOVATED dream home in Madeira Beach! This beautifully renovated three-bedroom, one-bath gem is less than a mile of the beach. Enjoy a modern kitchen with brand-new appliances, as well as brand-new windows that bring in plenty of natural light. With fresh paint, new ceiling fans, and a cozy atmosphere, this home is perfect as a vacation getaway or YOUR NEXT AIRBNB INVESTMENT OPPORTUNITY, with nearby restaurants, grocery stores, and other attractions close by.

Hide

18 days on Zillow | 375 views | 22 saves



Ready to move in? Us too.

Get free 2-day shipping and easy, one-cord 15-minute set-up.

Learn More



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**CODE ENFORCEMENT
CITY OF MADEIRA BEACH**

JULY 11, 2025

HERNANDEZ GLOBAL INVESTMENT GROUP LLC
12015 SW 18TH ST UNIT 8
MIAMI FL 33175-1691
Case Number: CE-25-99

RE Property: 410 VIRGINIA AVE, MADEIRA BCH **Parcel #**10-31-15-34380-017-0030

Legal Description: GULF SHORES 4TH ADD BLK Q, LOT 3

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Building Department
buildingdept@madeirabeachfl.gov
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Ready to move in? Us too.

Get free 2-day shipping and easy, one-cord 15-minute set-up.

Learn More



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300 Municipal Drive
Madeira Beach, Florida 33708

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07/10/2025 ZIP 33708
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US POSTAGE

JULY 11, 2025

HERNANDEZ GLOBAL INVESTMENT GROUP LLC
12015 SW 18TH ST UNIT 8
MIAMI FL 33175-1691
Case Number: CE-25-99









**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

1/16/2026
City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. CE-25-99

HERNANDEZ GLOBAL INVESTMENT GROUP LLC
12015 SW 18TH ST UNIT 8
MIAMI, FL 33175-1691

Respondents.

RE Property: 410 VIRGINIA AVE

Parcel #10-31-15-34380-017-0030

Legal Description: GULF SHORES 4TH ADD BLK Q, LOT 3

NOTICE OF HEARING

To whom it may concern:

YOU ARE HEREBY FORMALLY NOTIFIED that at **12:00 pm** on **MONDAY** the 26th day of January, **2026** at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

You are hereby ordered to appear before the Special Magistrate of the City of Madeira Beach on that date and time to answer these charges and to present your side of the case. Failure to appear may result in the Special Magistrate proceeding in your absence.

Should you be found in violation of the above code, the Special Magistrate has the power by law to levy fines of up to \$250.00 per day for an initial violation(s) and \$500.00 per day for repeat violations against you and your property for every day that any violation continues beyond the date set in an order of the Special Magistrate for compliance.

If the violation is corrected and then recurs, or if the violation is not corrected by the time specified by the Code Enforcement Officer for correction, the case may still be presented to the Special Magistrate of the City of Madeira Beach even if the violation has been corrected prior to the Special Magistrate hearing.

Should you desire, you have the right to obtain an attorney at your own expense to represent you before the Special Magistrate. You will also have the opportunity to present witnesses as well as question the witnesses against you prior to the Special Magistrate making a determination.

Please be prepared to present evidence at this meeting concerning the time frame necessary to correct the alleged violation(s), should you be found in violation of the City Code.

If you wish to have any witnesses subpoenaed or have any other questions, please contact the Code Enforcement department of the City of Madeira Beach within five (5) days at 300 Municipal Drive, Madeira Beach, Florida 33708, telephone number (727) 391-9951 ext 298.

Your failure to respond to the previously issued Notice of Violation has resulted in costs of prosecution of this case.

PLEASE NOTE: Should any interested party seek to appeal any decision made by the Special Magistrate with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made which record includes the testimony and evidence upon which the appeal is to be based per Florida Statute 286.0105.

I DO HEREBY CERTIFY that a copy of the foregoing Notice of Hearing was mailed to Respondent(s) by certified mail, return receipt requested.

Dated this 16th day of January, 2026.

Holden Pinkard

**Holden Pinkard, Code Compliance Supervisor
City of Madeira Beach**

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

1/16/2026
City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.
HERNANDEZ GLOBAL INVESTMENT GROUP LLC
12015 SW 18TH ST UNIT 8
MIAMI, FL 33175-1691

CASE NO. CE-25-99

Respondents.

RE Property: 410 VIRGINIA AVE

Parcel # 10-31-15-34380-017-0030

Legal Description: GULF SHORES 4TH ADD BLK Q, LOT 3

STATEMENT OF VIOLATION/ REQUEST FOR HEARING

To whom it may concern:

During a recent review of properties on your street, it was noted that your property is in violation of the following code section(s):

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

Please bring the property into compliance by applying for and obtaining an after the fact building permit or removing within seven (7) days of the date of this letter. Should you fail to bring the property into compliance within seven (7) days the City will bring this case to the Special Magistrate. Please note that the Special Magistrate can levy fines up to \$250.00 per day for each day the property remains in non-compliance.

I DO HEREBY SWEAR THAT THE ABOVE FACTS ARE TRUE TO THE BEST OF MY KNOWLEDGE. I REQUEST A HEARING ON THE ABOVE VIOLATION(S) BY THE SPECIAL MAGISTRATE OF THE CITY OF MADEIRA BEACH.

Holden Pinkard

**Holden Pinkard, Code Compliance Supervisor
City of Madeira Beach**

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

1/16/2026
City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. CE-25-99

HERNANDEZ GLOBAL INVESTMENT GROUP LLC
12015 SW 18TH ST UNIT 8
MIAMI, FL 33175-1691

Respondents.

RE Property: 410 VIRGINIA AVE Parcel #10-31-15-34380-017-0030

Legal Description: GULF SHORES 4TH ADD BLK Q, LOT 3

AFFIDAVIT OF SERVICE

I, Holden Pinkard, Building Code Compliance Supervisor of the City of Madeira Beach, upon being duly sworn, deposed and says the following:

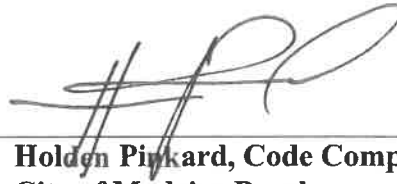
That pursuant to Florida Statute 162.12,

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via Certified Mail, Return Receipt Requested.

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via First Class mail.

On the 16 day of January, 2026, I posted a copy of the attached NOTICE OF HEARING on the property located at 410 VIRGINIA AVE, Parcel #10-31-15-34380-017-0030 the City of Madeira Beach.

On the 16 day of January, 2026, I caused the attached NOTICE OF HEARING to be posted at the Municipal Government Offices, 300 Municipal Drive, Madeira Beach; and that said papers remain posted at the Municipal Government Offices for a period of not less than ten days from the date of posting.



**Holden Pinkard, Code Compliance Supervisor
City of Madeira Beach**

STATE OF FLORIDA

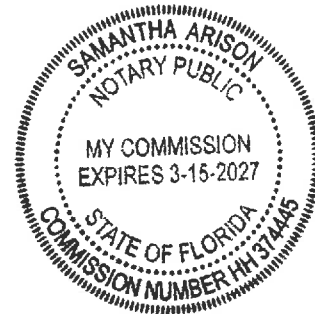
COUNTY OF PINELLAS

The foregoing instrument was acknowledged before me, the undersigned authority, by means of ✓ physical presence or online notarization, this 16th day of January, 2026, by Holden Pinkard, who is personally known to me, or produced as identification. My Commission Expires: 03-15-27

Notary Public- State of Florida



Print or type Name. Samantha Arison

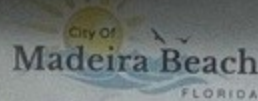


Jan 15, 2026 at 10:47:12 AM

Item 5D.



January 15, 2026 at 11:46:38 AM



CITY OF MADEIRA BEACH

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
N. DAVID C IV
N. KONNY A
N. BAYSHORE DR
JRA BEACH FL 33708-2233

Respondents,
14210 N. Bayshore Dr. Parcel #10-31-15-34326-004-0100

Legal Description: GULF SHORES 1ST ADD BLK D, LOTS 10 AND 11

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
HERNANDEZ GLOBAL INVESTMENT GROUP LLC
12015 SW 18TH ST UNIT 8
MIAMI, FL 33175-1691

Respondents,
410 VIRGINIA AVE. Parcel #10-31-15-34380-017-0030

Legal Description: GULF SHORES 4TH ADD BLK Q, LOT 3

**NOTICE OF HEARING
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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
MEDITERRANEAN OF MADEIRA CONDO ASSN INC
17910 GULF BLVD
MADEIRA BEACH, FL 33708-2567

Respondents,
13910 GULF BLVD Parcel #15-3

Legal Description: MEDITERRANEAN OF MADEIRA CONDO, TH

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
ILARIO SIMONETTA
13225 2nd ST. E
MADEIRA BEACH, FL
33708-2407

Respondents,
13225 2nd ST. E Parcel #15-31-15-45304-011-0040

Legal Description: 13225 2ND ST E MADEIRA BEACH FL LLC

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
AN ENTERPRISE LLC
BAYSHORE BLVD
PA, FL 33611

Respondents,
15398 2ND ST E, 101 & 107 154TH AVE Parcel #09-31-15-526

Legal Description: LONE PALM BEACH 5TH ADD BLK 28, LOTS 13 & 14 TH PART OF LOTS 1 & 2 DESC BEG MOST NLY COR OF SD LOT 1 TH S 40021' W 16FT TH WLY 118 9FT TO MOST WLY COR OF LOT 1 TH N 4

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
MADEIRA BEACH GETAWAY LLC
4650 HUNTINGTON ST NE
ST PETERSBURG, FL 33703-4201

Respondents,
14503 N. Bayshore Dr. Parcel #10-31-15

Legal Description: MADEIRA SHORES 1ST ADD LOT 45

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
KAPAKORP LLC
1517 FLANGE DR
DAVENPORT, FL 33607

Respondents,
300 Lynn Way Parcel #10-31-15-34470-024-0070

Legal Description: GULF SHORES 6TH ADD REPLAT BLK X, LOT 7

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
OLIVIA LAND & SAND LLC
3104 N ARMINIA AVE STE 1
TAMPA, FL 33607-1658

Respondents,
11 Lynn Way Parcel #10-31-15-34452-231-0050

Legal Description: GULF SHORES 6TH ADD REPLAT BLK W, LOT 5

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
R REALTY & ESTATES LLC
660 MIRAMAR AVE
ADELIRA BEACH FL 33708-2590

Respondents,
14060 Miramar Dr. Parcel #10-31-15-34362-011-0150

Legal Description: GULF SHORES 3RD ADD REPLAT BLK K, LOTS 15 AND 16

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
OLIVIA LAND & SAND LLC
3104 N ARMINIA AVE STE 1
TAMPA, FL 33607-1658

Respondents,
154 154th Ave. Parcel #09-31-15-52596

Legal Description: LONE PALM BEACH 4TH ADD BLK 26, LOT

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
IVANCHUK, NAZARY
431 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents,
431 Virginia Ave. Parcel #10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
IVANCHUK, NAZARY
431 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents,
431 Virginia Ave. Parcel #10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

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Parcel Summary
(as of 15-Jan-2026)

Parcel Number

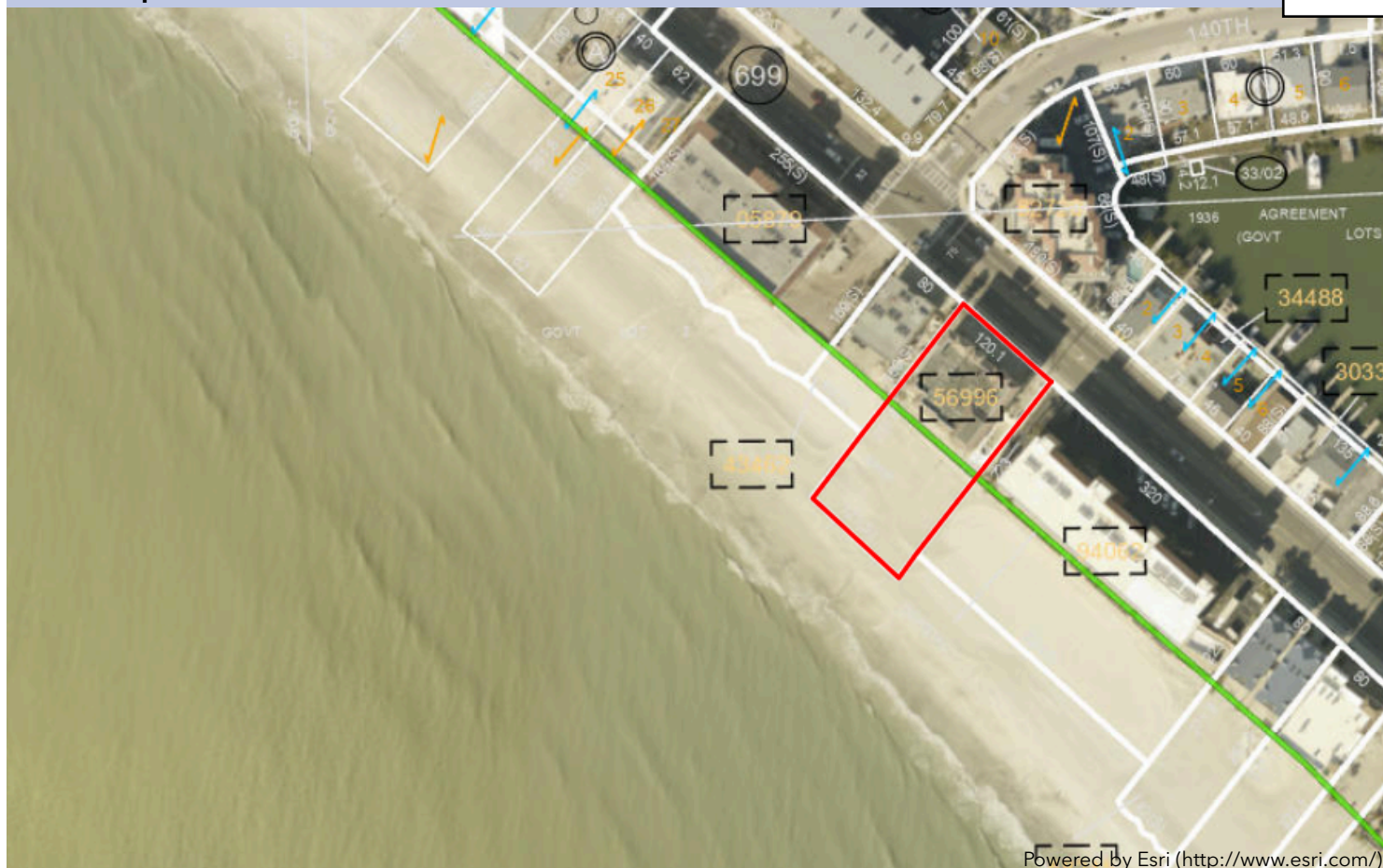
15-31-15-56996-000-0001

- Owner Name
MEDITERRANEAN OF MADEIRA CONDO ASSN INC
- Property Use
0904 Condo Common Area Assn Own - open/green space
- Site Address
**GULF BLVD
MADEIRA BEACH, FL 33708**
- Mailing Address
**13910 GULF BLVD
MADEIRA BEACH, FL 33708-2567**
- Legal Description
MEDITERRANEAN OF MADEIRA A CONDO, THE COMMON ELEMENTS
- Current Tax District
MADEIRA BEACH [\(MB\)](#)
- Year Built
n/a

Living SF	Gross SF	Living Units	Buildings
n/a	n/a	n/a	0

Parcel Map

Item 5E.



Exemptions

Year	Homestead	Use %	Status	Property Exemptions & Classifications
2027	No	0%		No Property Exemptions or Classifications found. Please note that Ownership Exemptions (Homestead, Senior, Widow/Widower, Veterans, First Responder, etc... will not display here).
2026	No	0%		
2025	No	0%		

Miscellaneous Parcel Info

Last Recorded Deed	Sales Comparison	Census Tract	Evacuation Zone	Flood Zone	Elevation Certificate	Zoning	Plat Bk/Pg
10174/1623	Find Comps	278.02	A	Current FEMA Maps	Check for EC	Zoning Map	123/48

2025 Final Values

Year	Just/Market Value	Assessed Value/SOH Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2025	\$0	\$0	\$0	\$0	\$0

Value History

Year	Homestead Exemption	Just/Market Value	Assessed Value/SOH Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value	Item 5E.
2024	N	\$0	\$0	\$0	\$0	\$0	
2023	N	\$0	\$0	\$0	\$0	\$0	
2022	N	\$0	\$0	\$0	\$0	\$0	
2021	N	\$0	\$0	\$0	\$0	\$0	
2020	N	\$0	\$0	\$0	\$0	\$0	

2025 Tax Information



Do not rely on current taxes as an estimate following a change in ownership. A significant change in taxable value may occur after a transfer due to a loss of exemptions, reset of the Save Our Homes or 10% Cap, and/or market conditions. Please use our [Tax Estimator](#) to estimate taxes under new ownership.

Tax Bill	2025 Millage Rate	Tax District
View 2025 Tax Bill	16.2172	(MB)

Sales History

Sale Date	Price	Qualified / Unqualified	Vacant / Improved	Grantor	Grantee	Book / Page
01-Jan-1899						10174/1623

2025 Land Information

Land Area: \cong 30,318 sf | \cong 0.69 acres Frontage and/or View: None Seawall: No

Property Use	Land Dimensions	Unit Value	Units	Method	Total Adjustments	Adjusted Value
Residential Common Area	0x0	\$190	16,200	SF	1.0000	\$3,078,000

2025 Extra Features

Description	Value/Unit	Units	Total Value as New	Depreciated Value	Year
No Extra Features on Record.					

Permit Data

Permit information is received from the County and Cities. This data may be incomplete and may exclude permits that do not result in field reviews (for example for water heater replacement permits). We are required to list all improvements, which may include unpermitted construction. Any questions regarding permits, or the status of non-permitted improvements, should be directed to the permitting jurisdiction in which the structure is located.

Permit Number	Description	Issue Date	Estimated Value
No Permits on Record.			

**CODE ENFORCEMENT
CITY OF MADEIRA BEACH**

DECEMBER 12, 2025

MEDITERRANEAN OF MADEIRA CONDO ASSN INC
13910 GULF BLVD
MADEIRA BEACH FL 33708-2567
Case Number: CE-25-181

RE Property: 13910 GULF BLVD

Parcel #15-31-15-56996-000-0001

Legal Description: MEDITERRANEAN OF MADEIRA A CONDO, THE COMMON ELEMENTS

COURTESY NOTICE OF CODE VIOLATION

To whom it may concern:

During a recent review of properties, it was noted that your property is in violation of the following code/ordinance(s):

Ordinance(s):

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

Therefore, if the action(s) specified in this notice is not completed by 8:00 am of the re-inspection date listed, the City will take legal action concerning this violation(s). This action may include the issuance of a citation and imposition of a fine of up to two hundred fifty dollars (\$250) per day.

Sec. 14-70. - Same—General maintenance.

The exterior of every structure or accessory structure (including fences, signs, screens and store fronts) shall be maintained in good repair, termite free and all surfaces thereof shall be kept painted or have similar protective coating where necessary for purpose of preservation and appearance. All surfaces shall be maintained free of broken glass, loose shingles, crumbling stone or brick, excessive peeling paint or other condition reflective of deterioration or inadequate maintenance to the end which the property itself may be preserved, safety and fire hazards eliminated, and adjoining properties will be protected from conditions which tend to decrease the property values of surrounding properties.

(7) Walls and ceilings shall be in good repair, free from excessive cracks, breaks, loose plaster and similar conditions. Walls shall be provided with paint, wall covering materials or other protective covering.

Violation Detail(s):

Work without a permit - new concrete pool barrier wall and pavers.

Exterior maintenance – exposed rebar, stucco wall separation.

Temporary pool barrier – fence permit not applied for and not covering all entryways of pool area.

Corrective Action(s):

A licensed contractor will need to apply for and obtain “after-the-fact” building permits to comply for the newly constructed wall and pavers, individually.

Temporary pool barrier must fully enclose pool for life/safety measures.

Cap or remove exposed rebar for life/safety measures.

Repair stucco on wall where detachment is taking place.

Repair barrier fencing on beachside.

Please reply with a plan of corrections before the follow-up date listed:

Follow up date:

DECEMBER 26, 2025

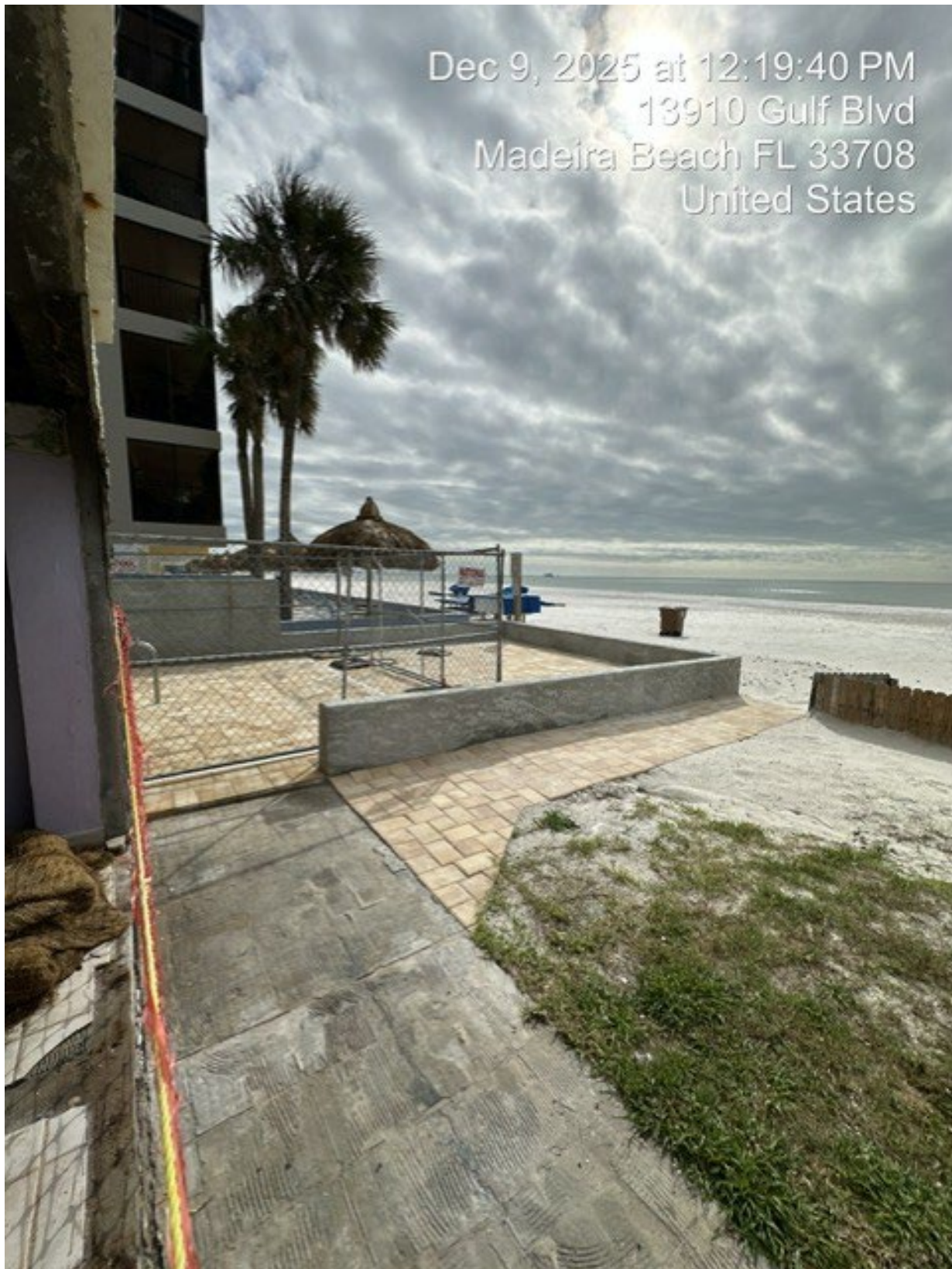
City of Madeira Beach
Building Department
buildingdept@madeirabeachfl.gov
727-391-9951

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We are now using My Government Online (MGO). Please scan the QR code below, or go to www.mgoconnect.org/cp/portal to apply online for a permit, pay fees, and schedule inspections. We are no longer accepting paper, in-person permit applications.



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**CODE ENFORCEMENT
CITY OF MADEIRA BEACH**

DECEMBER 30, 2025

MEDITERRANEAN OF MADEIRA CONDO ASSN INC
13910 GULF BLVD
MADEIRA BEACH FL 33708-2567
Case Number: CE-25-181

RE Property: 13910 GULF BLVD

Parcel #15-31-15-56996-000-0001

Legal Description: MEDITERRANEAN OF MADEIRA A CONDO, THE COMMON ELEMENTS

NOTICE OF CODE VIOLATION

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Corrective Action(s):

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Cap or remove exposed rebar for life/safety measures.

Repair stucco on wall where detachment is taking place.

Repair barrier fencing on beachside.

Please reply with a plan of corrections before the follow-up date listed:

Follow up date:

January 13, 2025

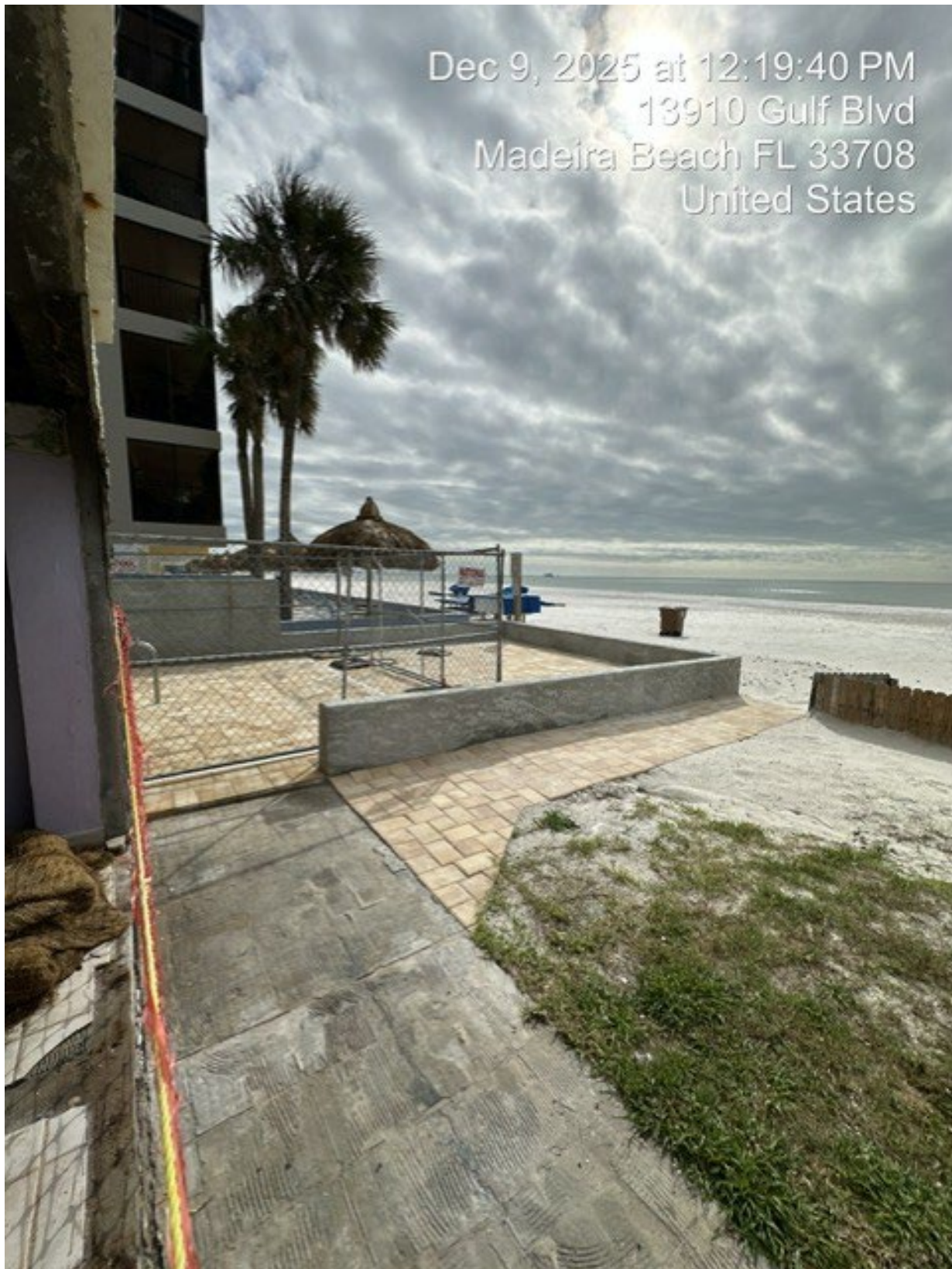
City of Madeira Beach
Building Department
buildingdept@madeirabeachfl.gov
727-391-9951

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300 Municipal Drive
Madeira Beach, Florida 33708

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01/02/2026 ZIP 33708
043M31233717

US POSTAGE

SEPTEMBER 30, 2023

MEDITERRANEAN OF MADEIRA CONDO ASSN INC
13910 GULF BLVD
MADEIRA BEACH FL 33708-2567
Case Number: CE-25-181

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026
City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. 25-181

MEDITERRANEAN OF MADEIRA CONDO ASSN INC
13910 GULF BLVD
MADEIRA BEACH, FL 33708-2567

Respondents.

RE Property: 13910 GULF BLVD

Parcel #15-31-15-56996-000-0001

Legal Description: MEDITERRANEAN OF MADEIRA A CONDO, THE COMMON
ELEMENTS

NOTICE OF HEARING

To whom it may concern:

YOU ARE HEREBY FORMALLY NOTIFIED that at **12:00 pm** on **MONDAY** the **26th** day of **JANUARY, 2026** at the Madeira Beach City Hall in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

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(7) Walls and ceilings shall be in good repair, free from excessive cracks, breaks, loose plaster and similar conditions. Walls shall be provided with paint, wall covering materials or other protective covering.

You are hereby ordered to appear before the Special Magistrate of the City of Madeira Beach on that date and time to answer these charges and to present your side of the case. Failure to appear may result in the Special Magistrate proceeding in your absence.

Should you be found in violation of the above code, the Special Magistrate has the power by law to levy fines of up to \$250.00 per day for an initial violation(s) and \$500.00 per day for repeat violations against you and your property for every day that any violation continues beyond the date set in an order of the Special Magistrate for compliance.

If the violation is corrected and then recurs, or if the violation is not corrected by the time specified by the Code Enforcement Officer for correction, the case may still be presented to the Special Magistrate of the City of Madeira Beach even if the violation has been corrected prior to the Special Magistrate hearing.

Should you desire, you have the right to obtain an attorney at your own expense to represent you before the Special Magistrate. You will also have the opportunity to present witnesses as well as question the witnesses against you prior to the Special Magistrate making a determination.

Please be prepared to present evidence at this meeting concerning the time frame necessary to correct the alleged violation(s), should you be found in violation of the City Code.

If you wish to have any witnesses subpoenaed or have any other questions, please contact the Code Enforcement department of the City of Madeira Beach within five (5) days at 300 Municipal Drive, Madeira Beach, Florida 33708, telephone number (727) 391-9951.

Your failure to respond to the previously issued Notice of Violation has resulted in costs of prosecution of this case.

PLEASE NOTE: Should any interested party seek to appeal any decision made by the Special Magistrate with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that

a verbatim record of the proceedings is made which record includes the testimony and evidence upon which the appeal is to be based per Florida Statute 286.0105.

I DO HEREBY CERTIFY that a copy of the foregoing Notice of Hearing was mailed to Respondent(s) by certified mail, return receipt requested.

Dated this **16th** day of **January, 2026**.

A handwritten signature in black ink, appearing to read 'Taylor Davis', is written over a horizontal line.

**Taylor Davis, Permit & Code Compliance Specialist
City of Madeira Beach**

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026
City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. 25-181

MEDITERRANEAN OF MADEIRA CONDO ASSN INC
13910 GULF BLVD
MADEIRA BEACH, FL 33708-2567

Respondents.

RE Property: 13910 GULF BLVD

Parcel #15-31-15-56996-000-0001

Legal Description: MEDITERRANEAN OF MADEIRA A CONDO, THE COMMON
ELEMENTS

STATEMENT OF VIOLATION/ REQUEST FOR HEARING

To whom it may concern:

During a recent review of properties on your street, it was noted that your property is in violation of the following code section(s):

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

Sec. 14-70. - Same—General maintenance.

The exterior of every structure or accessory structure (including fences, signs, screens and store fronts) shall be maintained in good repair, termite free and all surfaces thereof shall be kept painted or have similar protective coating where necessary for purpose of preservation and appearance. All surfaces shall be maintained free of broken glass, loose shingles, crumbling stone or brick, excessive peeling paint or other condition reflective of deterioration or inadequate maintenance to the end which the property itself may be preserved, safety and fire hazards eliminated, and adjoining properties will be protected from conditions which tend to decrease the property values of surrounding properties.

(7) Walls and ceilings shall be in good repair, free from excessive cracks, breaks, loose plaster and similar conditions. Walls shall be provided with paint, wall covering materials or other protective covering.

Please bring the property into compliance by applying for and obtaining an “after-the-fact” building permit or removing unpermitted work within seven (7) days of the date of this letter. Should you fail to bring the property into compliance within seven (7) days the City will bring this case to the Special Magistrate. Please note that the Special Magistrate can levy fines up to \$250.00 per day for each day the property remains in non-compliance.

I DO HEREBY SWEAR THAT THE ABOVE FACTS ARE TRUE TO THE BEST OF MY KNOWLEDGE. I REQUEST A HEARING ON THE ABOVE VIOLATION(S) BY THE SPECIAL MAGISTRATE OF THE CITY OF MADEIRA BEACH.


Taylor Davis, Permit & Code Compliance Specialist
City of Madeira Beach

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2025
City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. 25-181

MEDITERRANEAN OF MADEIRA CONDO ASSN INC
13910 GULF BLVD
MADEIRA BEACH, FL 33708-2567

Respondents.

RE Property: 13910 GULF BLVD

Parcel #15-31-15-56996-000-0001

Legal Description: MEDITERRANEAN OF MADEIRA A CONDO, THE COMMON
ELEMENTS

AFFIDAVIT OF SERVICE

I, Taylor Davis, Permit and Code Compliance Specialist of the City of Madeira Beach, upon
being duly sworn, deposed and says the following:

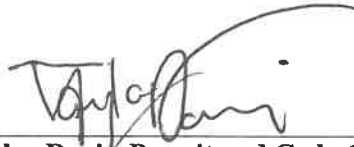
That pursuant to Florida Statute 162.12,

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via
Certified Mail, Return Receipt Requested.

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via
First Class mail.

On the 16 day of January, 2026, I posted a copy of the attached NOTICE OF HEARING on
the property located at 13910 GULF BLVD, Parcel #15-31-15-56996-000-0001 the City of
Madeira Beach.

On the 16 day of January, 2026, I caused the attached NOTICE OF HEARING to be
posted at the Municipal Government Offices, 300 Municipal Drive, Madeira Beach; and that
said papers remain posted at the Municipal Government Offices for a period of not less than
ten days from the date of posting.



Taylor Davis, Permit and Code Compliance Specialist
City of Madeira Beach

STATE OF FLORIDA

COUNTY OF PINELLAS

The foregoing instrument was acknowledged before me, the undersigned authority, by means of X physical presence or ___ online notarization, this 16 day of JANUARY, 2026, by Taylor Davis, who is personally known to me, or produced _____ as identification. My Commission Expires: 06/26/2029

Notary Public- State of Florida



Print or type Name.



Jan 15, 2026 at 11:06:55 AM

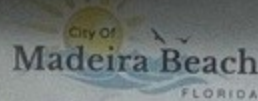
Item 5E.

MEDITERRANEAN
13910



222

January 15, 2026 at 11:46:38 AM



CITY OF MADEIRA BEACH

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
N. DAVID C IV
N. KONNY A
N. BAYSHORE DR
JRA BEACH FL 33708-2233

Respondents,
Property: 14210 N. Bayshore Dr. Parcel #10-31-15-34326-004-0100

Description: GULF SHORES 1ST ADD BLK D, LOTS 10 AND 11

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
HERNANDEZ GLOBAL INVESTMENT GROUP LLC
12015 SW 18TH ST UNIT 8
MIAMI, FL 33175-1691

Respondents,
RE Property: 410 VIRGINIA AVE. Parcel #10-31-15-34380-017-0030

Legal Description: GULF SHORES 4TH ADD BLK Q, LOT 3

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
MEDITERRANEAN OF MADEIRA CONDO ASSN INC
17910 GULF BLVD
MADEIRA BEACH, FL 33708-2567

Respondents,
RE Property: 13910 GULF BLVD Parcel #15-3

Legal Description: MEDITERRANEAN OF MADEIRA CONDO, TH

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
ILARIO SIMONETTA
13225 2nd ST. E
MADEIRA BEACH, FL
33708-2407

Respondents,
RE Property: 13225 2nd St. E Parcel #15-31-15-45304-011-0040

Legal Description: 13225 2ND ST E MADEIRA BEACH FL LLC

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY the 26th day of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
AN ENTERPRISE LLC
BAYSHORE BLVD
PA, FL 33611

Respondents,
Property: 15398 2ND ST E, 101 & 107 154TH AVE Parcel #09-31-15-526

Description: LONE PALM BEACH 5TH ADD BLK 28, LOTS 13 & 14 TH PART OF LOTS 1 & 2 DESC BEG MOST NLY COR OF SD LOT 1 TH S 40021' W 16FT TH WLY 118 9FT TO MOST WLY COR OF LOT 1 TH N 4

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52 - When required.
A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter any extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any apparatus installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection.

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
MADEIRA BEACH GETAWAY LLC
4650 HUNTINGTON ST NE
ST PETERSBURG, FL 33703-4201

Respondents,
RE Property: 14503 N. Bayshore Dr. Parcel #10-31-15

Legal Description: MADEIRA SHORES 1ST ADD LOT 45

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
KAPAKORP LLC
1517 FLANGE DR
DAVENPORT, FL 33607

Respondents,
RE Property: 30 Lynn Way Parcel #10-31-15-34470-024-0070

Legal Description: GULF SHORES 6TH ADD REPLAT BLK X, LOT 7

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
OLIVIA LAND & SAND LLC
3104 N ARMINIA AVE STE 1
TAMPA, FL 33607-1658

Respondents,
RE Property: 11 Lynn Way Parcel #10-31-15-34452-231-0050

Legal Description: GULF SHORES 6TH ADD REPLAT BLK W, LOT 5

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY the 26th day of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52 - When required.
A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter any extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any apparatus installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection.

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
R REALTY & ESTATES LLC
660 MIRAMAR AVE
MADEIRA BEACH FL 33708-2590

Respondents,
E Property: 14060 Miramar Dr. Parcel #10-31-15-34362-011-0150

Legal Description: GULF SHORES 3RD ADD REPLAT BLK K, LOTS 15 AND 16

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY the day of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
OLIVIA LAND & SAND LLC
3104 N ARMINIA AVE STE 1
TAMPA, FL 33607-1658

Respondents,
RE Property: 154 154th Ave. Parcel #09-31-15-52596

Legal Description: LONE PALM BEACH 4TH ADD BLK 26, LOT

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
IVANCHUK, NAZARY
411 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents,
RE Property: 431 Virginia Ave. Parcel #10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY the day of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52 - When required.
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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
IVANCHUK, NAZARY
411 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents,
RE Property: 431 Virginia Ave. Parcel #10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

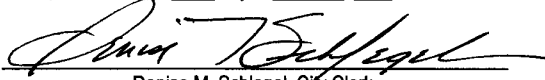
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STATE OF FLORIDA)
COUNTY OF PINELLAS) SS
CITY OF MADEIRA BEACH)

I, Denise Schlegel, the duly appointed City Clerk of the City of Madeira Beach, County of Pinellas, State of Florida, do hereby certify, that Local Government Code Enforcement, City of Madeira Beach, FL Case No. CEB 08.04 consisting of three pages is a true and correct copy of the record in Madeira Beach City Hall located at 300 Municipal Drive, Madeira Beach, Florida 33708.

I have hereto sent my hand and affixed the corporate seal of the said CITY OF MADEIRA BEACH, PINELLAS COUNTY, FLORIDA this 10th day of October, 2008.



Denise M. Schlegel, City Clerk

**LOCAL GOVERNMENT CODE ENFORCEMENT
CITY OF MADEIRA BEACH, FLORIDA
Case No. CEB 08.04**

**CITY OF MADEIRA BEACH, FLORIDA,
Petitioner,**

v.

**ILARIO SIMONETTA
13225 2nd Street East
Madeira Beach, FL 33708,
Respondent.**

**ORDER ON VIOLATION FOR LATER REPEAT
VIOLATION, AND TO PAY COSTS AND EXPENSES**

Chapter 14, Sections 14-68 & 14-68 (1) of the Code of Ordinances, City of Madeira Beach, Florida (Madeira Beach Code)

LEGAL DESCRIPTION: Page's Replat of Mitchell's Beach, Block K, Lots 4 and 5
13225 2nd Street East, Madeira Beach, FL

PARCEL IDENTIFICATION NUMBER: 15/31/15/65304/011/0040

Special Magistrate, Herbert E. Langford, Jr., has heard testimony and reviewed all evidence received at the Special Magistrate hearing held on April 9, 2008 and, based on the evidence, enters the following findings of fact, conclusions of law and order.

FINDINGS OF FACT

1. The Respondent, ILARIO SIMONETTA, did not maintain the property, its plants, trees, grass, ground cover, plantings, landscaping, organic materials, and vegetation (collectively referred to as vegetation and organic material). The Respondent did not maintain the property's vegetation. The property was overgrown, and not maintained. Sod (grass) exceeded a maximum overall height of six inches, and other ground cover material exceeded an overall height of 12 inches.

Ilario Simonetta

Case No. CEB 08.04

2. Based on the testimony of Don Lewis, the City of Madeira Beach Code Compliance Officer, it is evident that the property came into compliance as of April 9, 2008.
3. The City incurred costs for the prosecution of this case and expenses for the Special Magistrate to adjudicate it. The City did not seek reimbursement for staff time, but did assess the administrative fee of \$200.00 pursuant to Chapter 14, Section 14-80 of the Madeira Beach Code, and did expend \$125.00 for mowing and \$16.86 for postage (certified mail, return receipt requested) for this matter. Special Magistrate reasonably spent at least three hours at \$175 per hour to adjudicate this case.

CONCLUSIONS OF LAW

4. The Respondent, ILARIO SIMONETTA, did violate Chapter 14, Section 14-68 & 14-68 (1) of the Madeira Beach Code. As of April 9, 2008, the Respondent was no longer in violation of Sections 14-68 & 14-68 (1) of the Madeira Beach Code.
5. The City did establish the violation to later establish a repeat violation, if any. The City seeks no fine in this case.
6. The City prevailed in the prosecution of this case and, pursuant to Chapter 2, Section 2-378(f) of the Madeira Beach Code, is entitled to recover all costs and expenses incurred. The time that the Special Magistrate spent was necessary and reasonable.

ORDER

It is ADJUDGED that:

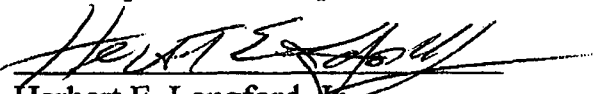
7. The Respondent, ILARIO SIMONETTA, was in compliance as of April 9, 2008 and that no fine will accrue.
8. The City did establish the violation to later establish a repeat violation, if any.
9. Separate and distinct from the amount due or fine, if any, as set forth above, the Respondent, ILARIO SIMONETTA, shall pay \$866.86 within thirty (30) days of this order toward the City's costs and expenses for the Special Magistrate. Further, the Respondent shall pay the City's additional costs and expenses, if any, to perfect and satisfy any lien that ensues from this order.

Ilario Simonetta

Case No. CEB 08.04

10. Any aggrieved party may petition the Special Magistrate to reconsider or rehear any Order resulting from a public hearing. This petition must be made in writing and filed with the City Clerk no later than thirty (30) days after the execution of the Order and prior to the filing of any appeal. The only grounds for a petition to reconsider or rehear are that there is newly discovered relevant evidence that was not available and known to the aggrieved party at the time of the public hearing, or that the Special Magistrate made a mistake in determination of a relevant fact. The Special Magistrate will not hear oral argument or evidence in determining whether to grant the petition to reconsider or rehear.
11. Upon the Respondent's failure to timely comply or pay the appropriate fine for any untimely compliance, or pay the amount toward costs and expenses as set forth above, and after the thirty (30) days referenced in the preceding paragraph, the City shall send the Respondent an Affidavit of Noncompliance by certified mail, return receipt requested.
12. If the Respondent fails to file a written objection within fifteen (15) days from the date of mailing the Affidavit of Noncompliance, the Respondent shall be deemed to acknowledge the noncompliance with the Order.
13. Thereafter, a certified copy of this Order shall be recorded in the Official Records of the Clerk of the Circuit Court for Pinellas County, Florida, and once recorded shall constitute a lien against any real or personal property owned by the violator, superior to all other liens except a lien for taxes, pursuant to Section 2-378, Madeira Beach Code and Chapter 162, Florida Statutes.
14. A fine imposed pursuant to law continues to accrue until the violator comes into compliance or until a judgment is rendered in a suit to foreclose on a lien filed pursuant to Section 2-378, Madeira Beach Code and Chapter 162, Florida Statutes, whichever occurs first.

DONE AND ORDERED on May 12, 2008, *nunc pro tunc* to April 9, 2008.


Herbert E. Langford, Jr.
Special Magistrate

Copies furnished to:
Ilario Simonetta
Michael A. Connolly, City Attorney

Ilario Simonetta

Case No. CEB 08.07

detrimental conditions, including, but not limited to breeding areas and habitat for noxious, harmful or undesirable insects, pests, and animals; hazards and dangers to persons on or near the premises or property; increased risk of fire; increased risk of storm and wind damage to persons and property on or near the premises or property; cover and concealment for criminal or unlawful activity; sources of disease or illness; and diminished property values for surrounding properties.

2. The Respondent did not maintain the property, its plants, trees, grass, ground cover, plantings, landscaping, organic materials, and vegetation (collectively referred to as vegetation and organic material).
3. The Respondent did not maintain the property's vegetation. The property is overgrown, and not maintained with a herbaceous layer of sod, a ground cover material or organic mulch. Sod (grass) exceeded a maximum overall height of six inches, and other ground cover material exceeded an overall height of 12 inches. The organic mulch is not maintained to retard or prevent the rapid or easy spread of fire.
4. The Respondent did not keep or maintain the vegetation or organic materials, *e.g.*, accumulation of flammable branches or leaves and dead or flammable grasses or ground cover, to avoid the promotion or allowance of easy or rapid spread of fire.
5. The Respondent allowed vegetation or organic material which evidences rodent, vermin, pest, or insect infestation, nesting or habitation to be kept on private property.
6. The Respondent allowed dead and dying trees, bushes, shrubs, or other natural growth, or the branches or limbs thereof, which constitute a hazard to persons and property by reason of rot, deterioration, storm damage, or any other cause, and failed to prune and trim to prevent such hazard or danger.
7. The Respondent has previously been found in violation of Sections 14-68 & 14-68(1), within five years and therefore is a repeat violator. *See* Case Number CEB 08.04.
8. The City incurred costs for the prosecution of this case and expenses for the Special Magistrate to adjudicate it. The City did not seek reimbursement for staff time, but did assess the administrative fee of \$200.00 pursuant to Section 14-80 of the Madeira Beach Code, did expend \$125.00 for mowing and \$50.58 for postage (certified mail, return receipt requested) for this matter. Special Magistrate reasonably spent at least four hours at \$175 per hour to adjudicate this case.

Ilario Simonetta

Case No. CEB 08.07

CONCLUSIONS OF LAW

9. The Respondent, ILARIO SIMONETTA, has, since April 29, 2008, continuously been in violation of Chapter 14, Sections 14-61, 14-68, 14-68(1), (2), (4) and (7) of the Madeira Beach Code. The Respondent again allowed the areas' condition to fall into disrepair, and made no effort nor took steps to correct the situation before the subject citation's issuance.
10. The City prevailed in the prosecution of this case and, pursuant to Chapter 2, Section 2-378(f) of the Madeira Beach Code, is entitled to recover all costs and expenses incurred. The time that the Special Magistrate spent was necessary and reasonable.


ORDER

It is ADJUDGED that:

11. The Respondent, ILARIO SIMONETTA, shall come into compliance and pay to the City of Madeira Beach a fine in the amount of \$100.00 per day commencing April 29, 2008 and continuing thereafter for each day that the violation(s) continue to exist through May 28, 2008.
12. The Respondent shall come into compliance and pay to the City of Madeira Beach a fine in the amount of \$250.00 per day, commencing May 29, 2008, and continuing thereafter for each day that the violation(s) continue to exist through June 15, 2008.
13. The Respondent shall come into compliance and pay to the City of Madeira Beach a fine in the amount of \$500.00 per day, commencing June 16, 2008, and continuing thereafter for each day that the violation(s) continue to exist.
14. Separate and distinct from the amount due or fine, the Respondent, ILARIO SIMONETTA, shall pay within thirty (30) days of this order \$1075.58 toward the City's costs and expenses in the prosecution of this case. Further, the Respondent shall pay the City's additional costs and Special Magistrate expenses, if any, to perfect and satisfy any lien that ensues from this order, including, but not limited to official records recording costs and postage for orders, affidavits, notices, satisfactions and any other related documents.
15. Any aggrieved party may petition the Special Magistrate to reconsider or rehear any

Case No. CEB 08.07

16. Upon the Respondent's failure to timely comply or pay the appropriate fine for any untimely compliance, or pay the amount toward costs and expenses as set forth above, and after the thirty (30) days referenced in the preceding paragraph, the City shall send the Respondent an Affidavit of Noncompliance by certified mail, return receipt requested.
17. If the Respondent fails to file a written objection within fifteen (15) days from the date of mailing the Affidavit of Noncompliance, the Respondent shall be deemed to acknowledge the noncompliance with the Order.
18. Thereafter, a certified copy of this Order shall be recorded in the Official Records of the Clerk of the Circuit Court for Pinellas County, Florida, and once recorded shall constitute a lien against any real or personal property owned by the violator, superior to all other liens except a lien for taxes, pursuant to Section 2-378, Madeira Beach Code and Chapter 162, Florida Statutes.
19. A fine imposed pursuant to law continues to accrue until the violator comes into compliance or until a judgment is rendered in a suit to foreclose on a lien filed pursuant to Section 2-378, Madeira Beach Code and Chapter 162, Florida Statutes, whichever occurs first.

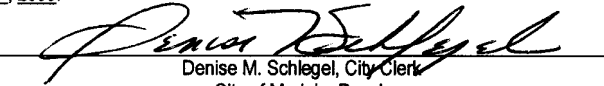

Herbert E. Langford, Jr.
Special Magistrate

Page 4 of 4

STATE OF FLORIDA)	
COUNTY OF PINELLAS)	SS
CITY OF MADEIRA BEACH)	

I, Denise Schlegel, the duly appointed City Clerk of the City of Madeira Beach, Florida, do hereby certify, that CASE No. CEB 08.24, consisting of three pages, is a true and correct copy of the records in Madeira Beach City Hall located at 300 Municipal Drive, Madeira Beach, Florida 33708.

IN WITNESS WHEREOF, I have hereto sent my hand and affixed the corporate seal of the said CITY OF MADEIRA BEACH, PINELLAS COUNTY, FLORIDA, this 8th day of May, 2009.


Denise M. Schlegel, City Clerk
City of Madeira Beach

LOCAL GOVERNMENT CODE ENFORCEMENT
CITY OF MADEIRA BEACH, FLORIDA
Case No. CEB 08.24

CITY OF MADEIRA BEACH, FLORIDA,
Petitioner,

v.

ILARIO SIMONETTA
13225 2nd Street East
Madeira Beach, FL 33708,
Respondent.

ORDER ON REPEAT VIOLATION, AND TO PAY COSTS AND EXPENSES

Chapter 14, Section 14-68 and 14-68(1) of the Code of Ordinances, City of Madeira Beach, Florida (Madeira Beach Code)

LEGAL DESCRIPTION: Page's Replat of Mitchell's Beach, Block K, Lots 4 and 5
13225 2nd Street East, Madeira Beach, FL 33708

PARCEL IDENTIFICATION NUMBER: 15/31/15/65304/011/0040

Special Magistrate, Herbert E. Langford, Jr., has heard testimony and reviewed all evidence received at the Special Magistrate hearing held on December 10, 2008 and, based on the evidence, enters the following findings of fact, conclusions of law and order.

FINDINGS OF FACT

1. The Respondent, ILARIO SIMONETTA, did again not maintain the property, its plants, trees, grass, ground cover, plantings, landscaping, organic materials, and vegetation (collectively referred to as vegetation and organic material). The Respondent did again not maintain the property's vegetation. The property was overgrown, and not maintained. Sod (grass) exceeded a maximum overall height of six inches, and other ground cover material exceeded an overall height of 12 inches.

Simonetta, Ilario

Case No. CEB 08.24

2. The Respondent has previously been found in violation of Section 14-68 and 14-68(1) within five years and therefore is a repeat violator. *See* Case Numbers CEB 08.04 and 08.07. The City incurred costs for the prosecution of this case and expenses for the Special Magistrate to adjudicate it. The City did not seek reimbursement for staff time, but, overall for Case Numbers CEB 08.04, 08.07 and the instant matter, did expend \$425 for mowing (3 @ \$100 and 1 @ \$125), \$600 for tree removal, and \$1000 for administrative fees (5 @ \$200), for a total of \$2025.00. The Respondent has previously been ordered to pay \$650.00 (\$325 in each respective order, CEB 08.04 and 08.07). The remaining amount is \$1375.00 and \$74.48 for postage (certified mail, return receipt requested), for a total of \$1,449.48. Special Magistrate reasonably spent at least four hours at \$175 per hour to adjudicate this case.

CONCLUSIONS OF LAW

3. The Respondent, ILARIO SIMONETTA, did again violate Chapter 14, Section 14-68 and 14-68(1) of the Madeira Beach Code. As of August 8, 2008, the Respondent was no longer in violation of Chapter 14, Section 14-68 and 14-68(1) of the Madeira Beach Code because the city brought the property into compliance. The City generously seeks no fine in this case.
4. The City prevailed in the prosecution of this case and, pursuant to Chapter 2, Section 2-378(f) of the Madeira Beach Code, is entitled to recover all costs and expenses incurred. The time that the Special Magistrate spent was necessary and reasonable.

ORDER

It is ADJUDGED that:

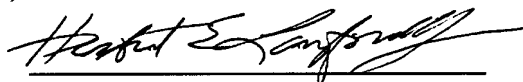
5. Separate and distinct from the amount due or fine, if any, as set forth above, the Respondents, ILARIO SIMONETTA, shall pay \$2,149.48 toward the City's costs and expenses for the Special Magistrate within thirty (30) days of this order. Further, the Respondent shall pay the City's additional costs and Special Magistrate expenses, if any, to perfect and satisfy any lien that ensues from this order, including, but not limited to official records recording costs and postage for orders, affidavits, notices, satisfactions and any other related documents.
6. Upon complying, the Respondent shall notify Donald Lewis, the Code Compliance Officer, at (727) 391-9951, who shall inspect the property and notify the Special Magistrate of the compliance.

Simonetta, Ilario

Case No. CEB 08.24

7. Any aggrieved party may petition the Special Magistrate to reconsider or rehear any Order resulting from a public hearing. This petition must be made in writing and filed with the City Clerk no later than thirty (30) days after the execution of the Order and prior to the filing of any appeal. The only grounds for a petition to reconsider or rehear are that there is newly discovered relevant evidence that was not available and known to the aggrieved party at the time of the public hearing, or that the Special Magistrate made a mistake in determination of a relevant fact. The Special Magistrate will not hear oral argument or evidence in determining whether to grant the petition to reconsider or rehear.
8. Upon the Respondent's failure to timely comply or pay the appropriate fine for any untimely compliance, or pay the amount toward costs and expenses as set forth above, and after the thirty (30) days referenced in the preceding paragraph, the City shall send the Respondent an Affidavit of Noncompliance by certified mail, return receipt requested.
9. If the Respondent fails to file a written objection within fifteen (15) days from the date of mailing the Affidavit of Noncompliance, the Respondent shall be deemed to acknowledge the noncompliance with the Order.
10. Thereafter, a certified copy of this Order shall be recorded in the Official Records of the Clerk of the Circuit Court for Pinellas County, Florida, and once recorded shall constitute a lien against any real or personal property owned by the violator, superior to all other liens except a lien for taxes, pursuant to Section 2-378, Madeira Beach Code and Chapter 162, Florida Statutes.
11. A fine imposed pursuant to law continues to accrue until the violator comes into compliance or until a judgment is rendered in a suit to foreclose on a lien filed pursuant to Section 2-378, Madeira Beach Code and Chapter 162, Florida Statutes, whichever occurs first.

DONE AND ORDERED on January 06, 2009.



Herbert E. Langford, Jr.
Special Magistrate

Copies furnished to:
Ilario Simonetta
Michael A. Connolly, City Attorney

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FINDINGS OF FACT

1. At all times material hereto, the above described real property was owned by the Respondents, ILARIO SIMONETTA and DISCOUNT PROPERTIES OF FLORIDA, LLC, a/k/a DISCONT PROPERTIES OF FLORIDA, LLC.
2. The Respondents, ILARIO SIMONETTA and DISCOUNT PROPERTIES OF FLORIDA, LLC, a/k/a DISCONT PROPERTIES OF FLORIDA, LLC, did not maintain its plants, trees, grass, ground cover, plantings, landscaping, organic materials, and vegetation (collectively referred to as vegetation and organic material). The property was overgrown and not maintained. Sod (grass) exceeded a maximum overall height of six inches, and other ground cover material exceeded an overall height of 12 inches. In addition, the vegetation or organic material has been maintained in a manner which could promote or allow the easy or rapid spread of fire.
3. Such conditions constitute a violation of Section 14-68(1) and (2) of the Madeira Beach Code, as previously cited by the City.
4. Such conditions existed as of the date of the issuance of the Notice of Violation issued herein on May 27, 2009, and has continued up until the date of this hearing.
5. The City incurred costs for the prosecution of this case and expenses for the Special Magistrate to adjudicate the case. The City did not seek reimbursement for staff time, but did expend \$11.96 for postage (certified mail, return receipt requested).
6. Special Magistrate reasonably spent at least two and one-half hours at \$175.00 per hour to receive and review the docket and agenda pertaining to this matter, reviewing and researching the appropriate City Code provisions, conducting the hearing herein, and adjudicating this matter to include the preparation of this Order.

CONCLUSIONS OF LAW

7. The Respondents, ILARIO SIMONETTA and DISCOUNT PROPERTIES OF FLORIDA, LLC, a/k/a DISCONT PROPERTIES OF FLORIDA, LLC, and the above-referenced property, is in violation of Chapter 14 Section 14-68(1) and (2) of the Madeira Beach Code.
8. The City prevailed in the prosecution of this case and, pursuant to Chapter 2, Section 2-378(f) of the Madeira Beach Code, is entitled to recover all costs and expenses incurred. The time that the Special Magistrate spent was necessary and reasonable.

Based upon the foregoing Findings of Fact and Conclusions of Law, it is hereby ORDERED AND ADJUDGED as follows:

9. The Respondents, ILARIO SIMONETTA and DISCOUNT PROPERTIES OF FLORIDA, LLC, a/k/a DISCONT PROPERTIES OF FLORIDA, LLC, shall correct the above violations and come into compliance with the above cited Sections of the Madeira Beach Code on or before 8:00 a.m. on Wednesday, July 15, 2009, or suffer a fine of \$100.00 per day for each day thereafter the violations continue to exist.
10. Separate and distinct from the amount due or fine, if any, as set forth above, the Respondents, ILARIO SIMONETTA and DISCOUNT PROPERTIES OF FLORIDA, LLC, a/k/a DISCONT PROPERTIES OF FLORIDA, LLC, shall pay \$449.46 within thirty (30) days of this order toward the City's costs and expenses for the Special Magistrate. Further, the Respondents shall pay the City's additional costs and Special Magistrate expenses, if any, to perfect and satisfy any lien that ensues from this order.
11. Upon complying, the Respondents shall notify the City's Code Compliance Officer at (727) 391-9951, who shall inspect the property and notify the Special Magistrate of the compliance.
12. In the event the property owners do not bring the property into compliance by the date specified herein, the City of Madeira Beach is hereby authorized to go on to the property and correct the violation and to assess the appropriate costs for such corrective action against the Respondent and the property.
13. Any aggrieved party may petition the Special Magistrate to reconsider or rehear any Order resulting from a public hearing. This petition must be made in writing and filed with the City Clerk no later than thirty (30) days after the execution of the Order and prior to the filing of any appeal. The only grounds for a petition to reconsider or for rehearing of this matter are that there is newly discovered relevant evidence that was not available and known to the aggrieved party at the time of the public hearing, or that the Special Magistrate made a mistake in determination of a relevant fact. The Special Magistrate will not hear oral argument or evidence in determining whether to grant the petition to reconsider or rehear.
14. Upon the Respondents' failure to timely comply or pay the appropriate fine for any untimely compliance, or pay the amount toward costs and expenses as set forth above, and after the thirty (30) days referenced in the preceding paragraph, the City shall send the Respondents an Affidavit of Noncompliance by certified mail, return receipt requested.

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. CEB 08.04
CASE NO. CEB 08.07
CASE NO. CEB 08.24
CASE NO. CEB 09.39

ILARIO SIMONETTA
13225 2nd ST. E
MADEIRA BEACH, FL
33708-2407

Respondents.

RE Property: 13225 2nd St. E

Parcel #15-31-15-65304-011-0040

Legal Description: 13225 2ND ST E MADEIRA BEACH FL LLC

NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE

To whom it may concern:

YOU ARE HEREBY FORMALLY NOTIFIED that at **12:00 pm** on **MONDAY** the **26th** day of **January**, **2026** at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 14-68. - Same—Maintenance of vegetation, trees, plantings and landscaping.

The owners/occupants of private property are responsible for the maintenance of plants, trees, grass, ground cover, plantings, landscaping, organic materials, and vegetation of any type or nature (collectively referred to as vegetation and organic material) located on such property and abutting rights-of-way, excluding roads and streets. The board of commissioners may designate by resolution right-of-way areas to be maintained by the city due to special circumstances.

You are hereby ordered to appear before the Special Magistrate of the City of Madeira Beach on that date and time to answer these charges and to present your side of the case. Failure to appear may result in the Special Magistrate proceeding in your absence.

Should you be found in violation of the above code, the Special Magistrate has the power by law to levy fines of up to \$250.00 per day for an initial violation(s) and \$500.00 per day for repeat violations against you and your property for every day that any violation continues beyond the date set in an order of the Special Magistrate for compliance.

If the violation is corrected and then recurs, or if the violation is not corrected by the time specified by the Code Enforcement Officer for correction, the case may still be presented to the Special Magistrate of the City of Madeira Beach even if the violation has been corrected prior to the Special Magistrate hearing.

Should you desire, you have the right to obtain an attorney at your own expense to represent you before the Special Magistrate. You will also have the opportunity to present witnesses as well as question the witnesses against you prior to the Special Magistrate making a determination.

Please be prepared to present evidence at this meeting concerning the time frame necessary to correct the alleged violation(s), should you be found in violation of the City Code.

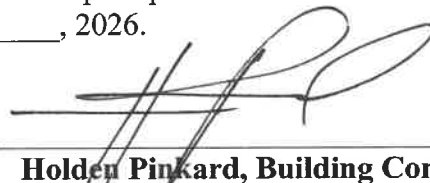
If you wish to have any witnesses subpoenaed or have any other questions, please contact the Code Enforcement department of the City of Maderia Beach within five (5) days at 300 Municipal Drive, Maderia Beach, Florida 33708, telephone number (727) 391-9951 ext 298.

Your failure to respond to the previously issued Notice of Violation has resulted in costs of prosecution of this case.

PLEASE NOTE: Should any interested party seek to appeal any decision made by the Special Magistrate with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made which record includes the testimony and evidence upon which the appeal is to be based per Florida Statute 286.0105.

I DO HEREBY CERTIFY that a copy of the foregoing Notice of Hearing was mailed to Respondent(s) by certified mail, return receipt requested.

Dated this 16 day of January, 2026.



**Holden Pinkard, Building Compliance Supervisor
City of Madeira Beach**

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

CASE NO. CEB 08.04
CASE NO. CEB 08.07
CASE NO. CEB 08.24
CASE NO. CEB 09.39

vs.

ILARIO SIMONETTA
13225 2nd ST. E
MADEIRA BEACH, FL
33708-2407

Respondents.

RE Property: 13225 2nd St. E

Parcel #15-31-15-65304-011-0040

Legal Description: PAGE'S REPLAT OF MITCHELL'S BEACH BLK K, LOTS 4 AND 5

AFFIDAVIT OF SERVICE

I, Holden Pinkard, Building Code Compliance Supervisor of the City of Madeira Beach, upon being duly sworn, deposed and says the following:

That pursuant to Florida Statute 162.12,

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via Certified Mail, Return Receipt Requested.

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via First Class mail.

On the 16 day of January, 2026, I posted a copy of the attached NOTICE OF HEARING on the property located at 13225 2nd St. E, Parcel #15-31-15-65304-011-0040 the City of Madeira Beach.

On the 16 day of January, 2026, I caused the attached NOTICE OF HEARING to be posted at the Municipal Government Offices, 300 Municipal Drive, Madeira Beach; and that said papers remain posted at the Municipal Government Offices for a period of not less than ten days from the date of posting.



**Holden Pinkard, Code Compliance Supervisor
City of Madeira Beach**

STATE OF FLORIDA

COUNTY OF PINELLAS

The foregoing instrument was acknowledged before me, the undersigned authority, by means of ✓ physical presence or online notarization, this 16th day of January, 2026, by Holden Pinkard who is personally known to me, or produced _____ as identification. My Commission Expires: 03-15-27

Notary Public- State of Florida



Print or type Name.

Samantha Arison



**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708,

Petitioner,

vs.

CASE NO. CEB 08.04
CASE NO. CEB 08.07
CASE NO. CEB 08.24
CASE NO. CEB 09.39

ILARIO SIMONETTA
13225 2nd ST. E
MADEIRA BEACH, FL
33708-2407

Respondents,

AFFIDAVIT OF COMPLIANCE

I, Holden Pinkard, *Building Compliance Supervisor*, have personally examined the property described in:

Madeira Beach Special Magistrate Order: 05-12-2008
05-23-2008
01-05-2009
08-12-2009

In the above-mentioned case and find that said property is in compliance with Sec. 14-68 of the Code of City of Madeira Beach, Florida, as of 05-31-2011


Holden Pinkard, Building Compliance Supervisor

STATE OF FLORIDA

COUNTY OF PINELLAS

Before me on this 16th day of January 2026, Holden Pinkard personally appeared who executed the foregoing instrument and who is personally known to me.



Notary

SEAL



CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH

CITY OF MADEIRA BEACH,

CASE NUMBER: 2022.3443

Petitioner,

vs.

IVANCHUK, NAZARY,
431 Virginia Ave.
Madeira Beach, FL 33708,

Respondent.

FINDINGS OF FACT, CONCLUSION OF LAW AND ORDER IMPOSING FINE

THIS CAUSE came on to be heard for public hearing before the undersigned Special Magistrate on August 1, 2022, after due notice to the Respondent, and the Special Magistrate having heard testimony under oath, received evidence, and otherwise being fully advised in the premises, hereby finds as follows:

Findings of Fact:

1. The City was represented by the City Attorney, Thomas Trask, Esq., and Frank Desantis provided testimony on behalf of the City.
2. No one appeared on behalf of the Respondent.
3. No one provided public comment.
4. The property in question is located at 431 Virginia Ave., Madeira Beach, Florida 33708 ("Property"). The legal description for the Property is as follows:

GULF SHORES 4TH ADD BLK P, LOT 4

5. Proper notice was served upon the Respondent via certified mail, regular mail, posting or hand delivery in accordance with Chapters 162 and 166, Florida Statutes.
6. The Respondent was notified that Respondent was in violation of the following section of the Code of Ordinances of the City of Madeira Beach to wit:

Sec. 86-52.- When Required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or

other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovered flat slabs of no greater than 50 square feet, for work of a strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

7. The violation set forth above existed as of the date of the Notice of Violation herein and at all times subsequent thereto up to the date of the Hearing.

8. A reasonable period of time for correcting the above violation and bringing the Property into compliance is thirty (30) days from the date of the Hearing.

BASED UPON THE FOREGOING FINDINGS OF FACT, IT IS HEREBY ORDERED AND ADJUDGED AS FOLLOWS:


1. The Respondent, and the Property at the above mentioned location, are found to be in violation of Sections 86-52 of the Code of Ordinances of the City of Madeira Beach.

2. The Respondent shall correct the above stated violation on or before August 31, 2022, by taking the remedial action as set forth in the Notice of Code Violation and stated on the record at the hearing to obtain an "after-the-fact" building permit for the mechanical work (which appears to be air conditioners) done at the Property.

3. If the Respondent fails to timely comply with the remedial actions as set forth above, a fine shall be imposed, without further hearing, in the amount of \$100.00 per day for the violation set forth in Paragraph 6 above for each day the Respondent has failed to correct the violation after August 31, 2022, and the fine shall continue to accrue until such time as the Property is brought into compliance.

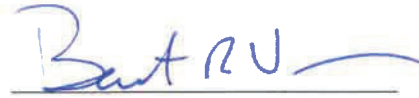
4. The Special Magistrate does hereby retain jurisdiction over this matter to enter such other and further orders as may be just and proper.

DONE AND ORDERED this 9th day of August, 2022.


Bart R. Valdes
Special Magistrate

A true and correct copy of this Order was delivered by certified mail, regular mail and electronic mail to: **Nazary Ivanchuk, 431 Virginia Ave., Madeira Beach, Florida 33708 (cityskynoz@gmail.com);** by electronic mail to **Thomas Trask, Esq. (tom@cityattorneys.legal);** and by U.S. Mail and e-mail transmission to the **City of Madeira**

Beach, Clara VanBlargan, 300 Municipal Dr., Madeira Beach, Florida 33708, on this 9th day of August, 2022.



Bart R. Valdes

APPEALS

An aggrieved party, including the local governing body, may appeal a final administrative order of a Special Magistrate to the circuit court. Such an appeal shall not be a hearing de nova but shall be limited to appellate review of the record created before the Special Magistrate. An appeal shall be filed within 30 days of the execution of the order to be appealed. Ss. 162-11.

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. 2022.3443

IVANCHUK, NAZARY
431 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents.

RE Property: 431 Virginia Ave.

Parcel #10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE

To whom it may concern:

YOU ARE HEREBY FORMALLY NOTIFIED that at **12:00 pm** on **MONDAY** the **26th** day of **January**, **2026** at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a

permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

You are hereby ordered to appear before the Special Magistrate of the City of Madeira Beach on that date and time to answer these charges and to present your side of the case. Failure to appear may result in the Special Magistrate proceeding in your absence.

Should you be found in violation of the above code, the Special Magistrate has the power by law to levy fines of up to \$250.00 per day for an initial violation(s) and \$500.00 per day for repeat violations against you and your property for every day that any violation continues beyond the date set in an order of the Special Magistrate for compliance.

If the violation is corrected and then recurs, or if the violation is not corrected by the time specified by the Code Enforcement Officer for correction, the case may still be presented to the Special Magistrate of the City of Madeira Beach even if the violation has been corrected prior to the Special Magistrate hearing.

Should you desire, you have the right to obtain an attorney at your own expense to represent you before the Special Magistrate. You will also have the opportunity to present witnesses as well as question the witnesses against you prior to the Special Magistrate making a determination.

Please be prepared to present evidence at this meeting concerning the time frame necessary to correct the alleged violation(s), should you be found in violation of the City Code.

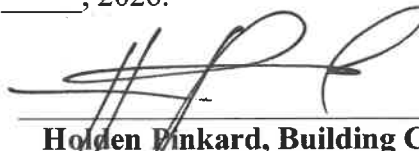
If you wish to have any witnesses subpoenaed or have any other questions, please contact the Code Enforcement department of the City of Maderia Beach within five (5) days at 300 Municipal Drive, Maderia Beach, Florida 33708, telephone number (727) 391-9951 ext 298.

Your failure to respond to the previously issued Notice of Violation has resulted in costs of prosecution of this case.

PLEASE NOTE: Should any interested party seek to appeal any decision made by the Special Magistrate with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made which record includes the testimony and evidence upon which the appeal is to be based per Florida Statute 286.0105.

I DO HEREBY CERTIFY that a copy of the foregoing Notice of Hearing was mailed to Respondent(s) by certified mail, return receipt requested.

Dated this 16 day of January, 2026.



**Holden Pinkard, Building Compliance Supervisor
City of Madeira Beach**

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. 2022.3443

IVANCHUK, NAZARY
431 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents.

RE Property: 431 Virginia Ave. **Parcel #**10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

AFFIDAVIT OF SERVICE

I, Holden Pinkard, Building Code Compliance Supervisor of the City of Madeira Beach, upon being duly sworn, deposed and says the following:

That pursuant to Florida Statute 162.12,

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via Certified Mail, Return Receipt Requested.

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via First Class mail.

On the 16 day of January, 2026, I posted a copy of the attached NOTICE OF HEARING on the property located at 431 Virginia Ave., Parcel #10-31-15-34380-016-0040 the City of Madeira Beach.

On the 16 day of January, 2026, I caused the attached NOTICE OF HEARING to be posted at the Municipal Government Offices, 300 Municipal Drive, Madeira Beach; and that said papers remain posted at the Municipal Government Offices for a period of not less than ten days from the date of posting.



**Holden Pinkard, Code Compliance Supervisor
City of Madeira Beach**

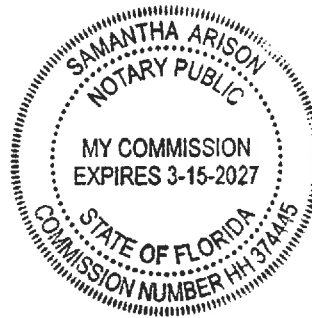
STATE OF FLORIDA
COUNTY OF PINELLAS

The foregoing instrument was acknowledged before me, the undersigned authority, by means of ✓ physical presence or _____ online notarization, this 16th day of January, 2026, by Holden Pinkard, who is personally known to me, or produced _____ as identification. My Commission Expires: 03-15-27

Notary Public- State of Florida



Print or type Name. Samantha Arison



**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

November 12, 2025

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708,

Petitioner,

vs.

CASE NUMBER: 2022.3443

IVANCHUK, NAZARY
431 Virginia Ave.
Madeira Beach, FL 33708

Respondents.

AFFIDAVIT OF COMPLIANCE

I, Holden Pinkard, *Building Compliance Supervisor*, have personally examined the property described in

Madeira Beach Notice of Violation: 02-18-2022

Madeira Beach Special Magistrate Order: 08-09-2022

In the above-mentioned case and find that said property is in compliance with Sec. 86-52 of the Code of City of Madeira Beach, Florida, as of 10-15-2025.


Holden Pinkard, Building Compliance Supervisor

STATE OF FLORIDA

COUNTY OF PINELLAS

Before me on this 12th day of November, 2025, Holden Pinkard personally appeared who executed the foregoing instrument and who is personally known to me.

SEAL


Notary





Madeira Beach

300 Municipal Drive
Madeira Beach, FL 33708

(727) 391-9951 ext. 284
Voice

**Building/Floodplain Development Permit
Remodel (R)**

Issue Date: October 15, 2025 Expiration Date: April 15, 2026

PROJECT DESCRIPTION: Interior demo/remodel

Item 6B.

PROJECT #
2025-4255-RINT



LOCATION

**431 VIRGINIA AVE
MADEIRA BEACH, FL 33708**

Work Applicable to this project:

CONTRACTOR

Aprimesource Services, LLC

5335 Burlington Ave. N
St. Petersburg, FL 33710

Phone:

Mobile: (727) 365-2182

Email: leonardwoodard@gmail.com

OWNER

DANIEL IVANCHUK
431 VIRGINIA AVE
MADEIRA BEACH, FL 33708-2307

AVAILABLE INSPECTIONS

- ▶ Electrical Rough Inspection (Required)
- ▶ Plumbing Rough Inspection (Required)
- ▶ Drywall Screw Inspection (Required)
- ▶ Insulation Inspection (Required)
- ▶ Electrical Final Inspection (Required)
- ▶ Building Final Inspection (Required)
- ▶ Plumbing Final Inspection (Required)
- ▶ HVAC Final Inspection (Required)

NOTICES

- 1) All work must be done in compliance with the approved local codes.
- 2) A copy of the signed permit and approved plans must be on site at all times.
- 3) The project address must be clearly posted at the job site.
- 4) Construction Hours: Monday-Saturday 7:30 AM-10:00 PM No work is permitted on Sundays or City holidays.
- 5) Inspection requests are submitted online through the portal. Inspections are done Monday- Friday. Inspections are scheduled in the order received. Due to volume of inspections, we cannot accommodate time requests. You do not need to be present for an inspection if inspector has access. Please give access information when making inspection request.

PERMIT IS VOIDED SIX MONTHS AFTER DATE OF ISSUANCE IF NO APPROVED INSPECTION HAS BEEN PERFORMED. FAILURE TO COMPLY WITH THE MECHANICS LIEN LAW CAN RESULT IN THE PROPERTY OWNER PAYING TWICE FOR BUILDING IMPROVEMENTS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE ABOVE STATEMENTS AND THE CITY MADEIRA BEACH BUILDING AND ZONING CODES ORDINANCES.

ISSUED BY

In compliance with the 2023
FBC's - 8th Edition

Issuer's Signature

WARNING TO OWNER:

YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

252



Madeira Beach

300 Municipal Drive
Madeira Beach, FL 33708

(727) 391-9951 ext. 284
Voice

INSPECTION RECORD

Issue Date: October 15, 2025 Expiration Date: April 15, 2026

PROJECT DESCRIPTION: Interior demo/remodel

PROJECT #
2025-4255-RINT

LOCATION

431 VIRGINIA AVE
MADEIRA BEACH, FL 33708

CONTRACTOR

Aprimesource Services, LLC

5335 Burlington Ave. N
St. Petersburg, FL 33710

Phone:

Mobile: (727) 365-2182

Email: leonardwoodard@gmail.com

OWNER

DANIEL IVANCHUK

431 VIRGINIA AVE
MADEIRA BEACH, FL 33708-2307

TYPE OF INSPECTION	STATUS	DATE	REMARKS
Electrical Rough Inspection			
Plumbing Rough Inspection			
Drywall Screw Inspection			
Insulation Inspection			
Electrical Final Inspection			
Building Final Inspection			
Plumbing Final Inspection			
HVAC Final Inspection			

**DO NOT COVER ANY WORK BEFORE IT HAS BEEN INSPECTED
THIS CARD MUST BE POSTED ON THE JOB**

CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH

CITY OF MADEIRA BEACH,

CASE NUMBER: 2022.3445

Petitioner,
vs.

IVANCHUK, NAZARY,
431 Virginia Ave.
Madeira Beach, FL 33708,

Respondent.

FINDINGS OF FACT, CONCLUSION OF LAW AND ORDER IMPOSING FINE

THIS CAUSE came on to be heard for public hearing before the undersigned Special Magistrate on August 1, 2022, after due notice to the Respondent, and the Special Magistrate having heard testimony under oath, received evidence, and otherwise being fully advised in the premises, hereby finds as follows:

Findings of Fact:

1. The City was represented by the City Attorney, Thomas Trask, Esq., and Frank Desantis provided testimony on behalf of the City.
2. No one appeared on behalf of the Respondent.
3. No one provided public comment.
4. The property in question is located at 431 Virginia Ave., Madeira Beach, Florida 33708 ("Property"). The legal description for the Property is as follows:

GULF SHORES 4TH ADD BLK P, LOT 4

5. Proper notice was served upon the Respondent via certified mail, regular mail, posting or hand delivery in accordance with Chapters 162 and 166, Florida Statutes.
6. The Respondent was notified that Respondent was in violation of the following section of the Code of Ordinances of the City of Madeira Beach to wit:

Sec. 86-52.- When Required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or

other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovered flat slabs of no greater than 50 square feet, for work of a strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

7. The violation set forth above existed as of the date of the Notice of Violation herein and at all times subsequent thereto up to the date of the Hearing.

8. A reasonable period of time for correcting the above violation and bringing the Property into compliance is thirty (30) days from the date of the Hearing.

BASED UPON THE FOREGOING FINDINGS OF FACT, IT IS HEREBY ORDERED AND ADJUDGED AS FOLLOWS:

1. The Respondent, and the Property at the above mentioned location, are found to be in violation of Sections 86-52 of the Code of Ordinances of the City of Madeira Beach.

2. The Respondent shall correct the above stated violation on or before August 31, 2022, by taking the remedial action as set forth in the Notice of Code Violation and stated on the record at the hearing to obtain an "after-the-fact" building permit for the addition built on the Property. If the permit cannot be obtained, then the unpermitted construction must be removed.

3. If the Respondent fails to timely comply with the remedial actions as set forth above, a fine shall be imposed, without further hearing, in the amount of \$250.00 per day for the violation set forth in Paragraph 6 above for each day the Respondent has failed to correct the violation after August 31, 2022, and the fine shall continue to accrue until such time as the Property is brought into compliance.

4. The Special Magistrate does hereby retain jurisdiction over this matter to enter such other and further orders as may be just and proper.

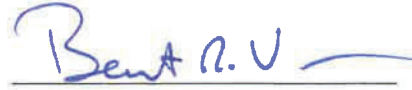
DONE AND ORDERED this 9th day of August, 2022.



Bart R. Valdes
Special Magistrate

A true and correct copy of this Order was delivered by certified mail, regular mail and electronic mail to: **Nazary Ivanchuk, 431 Virginia Ave., Madeira Beach, Florida 33708 (cityskynoz@gmail.com);** by electronic mail to **Thomas Trask, Esq. (tom@cityattorneys.legal);** and by U.S. Mail and e-mail transmission to the **City of Madeira**

Beach, Clara VanBlargan, 300 Municipal Dr., Madeira Beach, Florida 33708, on this 9th day of August, 2022.



Bart R. Valdes

APPEALS

An aggrieved party, including the local governing body, may appeal a final administrative order of a Special Magistrate to the circuit court. Such an appeal shall not be a hearing de nova but shall be limited to appellate review of the record created before the Special Magistrate. An appeal shall be filed within 30 days of the execution of the order to be appealed. Ss. 162-11.

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. 2022.3445

IVANCHUK, NAZARY
431 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents.

RE Property: 431 Virginia Ave.

Parcel #10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE

To whom it may concern:

YOU ARE HEREBY FORMALLY NOTIFIED that at **12:00 pm** on **MONDAY** the **26th** day of **January**, **2026** at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a

permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

You are hereby ordered to appear before the Special Magistrate of the City of Madeira Beach on that date and time to answer these charges and to present your side of the case. Failure to appear may result in the Special Magistrate proceeding in your absence.

Should you be found in violation of the above code, the Special Magistrate has the power by law to levy fines of up to \$250.00 per day for an initial violation(s) and \$500.00 per day for repeat violations against you and your property for every day that any violation continues beyond the date set in an order of the Special Magistrate for compliance.

If the violation is corrected and then recurs, or if the violation is not corrected by the time specified by the Code Enforcement Officer for correction, the case may still be presented to the Special Magistrate of the City of Madeira Beach even if the violation has been corrected prior to the Special Magistrate hearing.

Should you desire, you have the right to obtain an attorney at your own expense to represent you before the Special Magistrate. You will also have the opportunity to present witnesses as well as question the witnesses against you prior to the Special Magistrate making a determination.

Please be prepared to present evidence at this meeting concerning the time frame necessary to correct the alleged violation(s), should you be found in violation of the City Code.

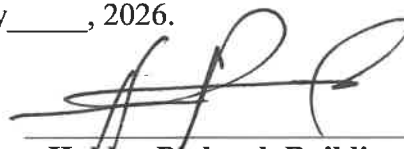
If you wish to have any witnesses subpoenaed or have any other questions, please contact the Code Enforcement department of the City of Maderia Beach within five (5) days at 300 Municipal Drive, Maderia Beach, Florida 33708, telephone number (727) 391-9951 ext 298.

Your failure to respond to the previously issued Notice of Violation has resulted in costs of prosecution of this case.

PLEASE NOTE: Should any interested party seek to appeal any decision made by the Special Magistrate with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made which record includes the testimony and evidence upon which the appeal is to be based per Florida Statute 286.0105.

I DO HEREBY CERTIFY that a copy of the foregoing Notice of Hearing was mailed to Respondent(s) by certified mail, return receipt requested.

Dated this 16 day of January, 2026.



**Holden Pinkard, Building Compliance Supervisor
City of Madeira Beach**

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. 2022.3445

IVANCHUK, NAZARY
431 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents.

RE Property: 431 Virginia Ave. **Parcel #**10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

AFFIDAVIT OF SERVICE

I, Holden Pinkard, Building Code Compliance Supervisor of the City of Madeira Beach, upon
being duly sworn, deposed and says the following:

That pursuant to Florida Statute 162.12,

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via
Certified Mail, Return Receipt Requested.

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via
First Class mail.

On the 16 day of January, 2026, I posted a copy of the attached NOTICE OF HEARING on
the property located at 431 Virginia Ave., Parcel #10-31-15-34380-016-0040 the City of
Madeira Beach.

On the 16 day of January, 2026, I caused the attached NOTICE OF HEARING to be
posted at the Municipal Government Offices, 300 Municipal Drive, Madeira Beach; and that
said papers remain posted at the Municipal Government Offices for a period of not less than ten days
from the date of posting.



**Holden Pinkard, Code Compliance Supervisor
City of Madeira Beach**

STATE OF FLORIDA

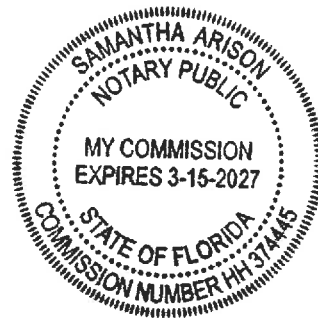
COUNTY OF PINELLAS

The foregoing instrument was acknowledged before me, the undersigned authority, by means of ✓ physical presence or online notarization, this 16th day of January, 2026, by Holden Pinkard, who is personally known to me, or produced as identification. My Commission Expires: 03-15-27

Notary Public- State of Florida



Print or type Name. Samantha Arison



**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

November 12, 2025

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708,

Petitioner,

vs.

CASE NUMBER: 2022.3445

IVANCHUK, NAZARY
431 Virginia Ave.
Madeira Beach, FL 33708

Respondents.

AFFIDAVIT OF COMPLIANCE

I, Holden Pinkard, *Building Compliance Supervisor*, have personally examined the property described in

Madeira Beach Notice of Violation: 02-18-2022

Madeira Beach Special Magistrate Order: 08-09-2022

In the above-mentioned case and find that said property is in compliance with Sec. 86-52 of the Code of City of Madeira Beach, Florida, as of 10-15-2025.



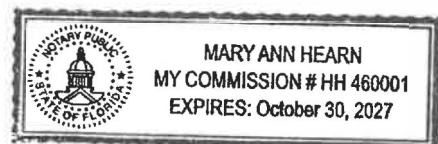
Holden Pinkard, Building Compliance Supervisor

STATE OF FLORIDA

COUNTY OF PINELLAS

Before me on this 12th day of November, 2025, Holden Pinkard personally appeared who executed the foregoing instrument and who is personally known to me.

SEAL


Notary



Building/Floodplain Development Permit Remodel (R)

Item 6C.

Issue Date: October 15, 2025 Expiration Date: April 15, 2026

PROJECT DESCRIPTION: Interior demo/remodel

Madeira Beach

300 Municipal Drive
Madeira Beach, FL 33708

(727) 391-9951 ext. 284
Voice

PROJECT #
2025-4255-RINT



LOCATION

431 VIRGINIA AVE
MADEIRA BEACH, FL 33708

Work Applicable to this project:

CONTRACTOR

Aprimesource Services, LLC

5335 Burlington Ave. N
St. Petersburg, FL 33710

Phone:

Mobile: (727) 365-2182

Email: leonardwoodard@gmail.com

OWNER

DANIEL IVANCHUK
431 VIRGINIA AVE
MADEIRA BEACH, FL 33708-2307

AVAILABLE INSPECTIONS

- ▶ Electrical Rough Inspection (Required)
- ▶ Plumbing Rough Inspection (Required)
- ▶ Drywall Screw Inspection (Required)
- ▶ Insulation Inspection (Required)
- ▶ Electrical Final Inspection (Required)
- ▶ Building Final Inspection (Required)
- ▶ Plumbing Final Inspection (Required)
- ▶ HVAC Final Inspection (Required)

NOTICES

- 1) All work must be done in compliance with the approved local codes.
- 2) A copy of the signed permit and approved plans must be on site at all times.
- 3) The project address must be clearly posted at the job site.
- 4) Construction Hours: Monday-Saturday 7:30 AM-10:00 PM No work is permitted on Sundays or City holidays.
- 5) Inspection requests are submitted online through the portal. Inspections are done Monday- Friday. Inspections are scheduled in the order received. Due to volume of inspections, we cannot accommodate time requests. You do not need to be present for an inspection if inspector has access. Please give access information when making inspection request.

PERMIT IS VOIDED SIX MONTHS AFTER DATE OF ISSUANCE IF NO APPROVED INSPECTION HAS BEEN PERFORMED. FAILURE TO COMPLY WITH THE MECHANICS LIEN LAW CAN RESULT IN THE PROPERTY OWNER PAYING TWICE FOR BUILDING IMPROVEMENTS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE ABOVE STATEMENTS AND THE CITY MADEIRA BEACH BUILDING AND ZONING CODES ORDINANCES.

ISSUED BY

In compliance with the 2023
FBC's - 8th Edition

Issuer's Signature

WARNING TO OWNER:

YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

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INSPECTION RECORD

Issue Date: October 15, 2025 Expiration Date: April 15, 2026

PROJECT DESCRIPTION: Interior demo/remodel

PROJECT #
2025-4255-RINT

Madeira Beach

300 Municipal Drive
Madeira Beach, FL 33708

(727) 391-9951 ext. 284
Voice

LOCATION

431 VIRGINIA AVE
MADEIRA BEACH, FL 33708

CONTRACTOR

Aprimesource Services, LLC

5335 Burlington Ave. N
St. Petersburg, FL 33710

Phone:

Mobile: (727) 365-2182

Email: leonardwoodard@gmail.com

OWNER

DANIEL IVANCHUK

431 VIRGINIA AVE
MADEIRA BEACH, FL 33708-2307

TYPE OF INSPECTION	STATUS	DATE	REMARKS
Electrical Rough Inspection			
Plumbing Rough Inspection			
Drywall Screw Inspection			
Insulation Inspection			
Electrical Final Inspection			
Building Final Inspection			
Plumbing Final Inspection			
HVAC Final Inspection			

**DO NOT COVER ANY WORK BEFORE IT HAS BEEN INSPECTED
THIS CARD MUST BE POSTED ON THE JOB**

CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH

CITY OF MADEIRA BEACH,

CASE NUMBER: CE-25-131

Petitioner,

vs.

OLIVA LAND & SAND LLC,
154 154th Ave.
Madeira Beach, FL 33708,

Respondent.

**FINDINGS OF FACT, CONCLUSIONS OF LAW
AND ORDER IMPOSING FINE AND CERTIFYING LIEN**

THIS CAUSE came on to be heard at the public hearing before the undersigned Special Magistrate on October 27, 2025, after due notice to the Respondent, and the Special Magistrate having heard testimony under oath, received evidence, and otherwise being fully advised in the premises, hereby finds as follows:

Findings of Fact:

1. The City was represented by the City Attorney, and Holden Pinkard provided testimony on behalf of the City.
2. No one appeared on behalf of the Respondent.
3. No one provided public comment.
4. The property in question is located at 154 154th Ave., Madeira Beach, Florida 33708 ("Property"). The legal description for the Property is as follows:

LONE PALM BEACH 4TH ADD BLK 26, LOT 11

5. Proper notice was served upon the Respondent via certified mail, regular mail, posting or hand delivery in accordance with Chapters 162 and 166, *Florida Statutes*.
6. The Respondent was notified that Respondent was in violation of the following sections of the Code of Ordinances of the City of Madeira Beach to wit:

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or

install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

7. The violation set forth above existed as of the date of the Notice of Violation herein and at all times subsequent thereto up to the date of the Hearing.

8. A reasonable period of time for correcting the above violation and bringing the Property into compliance is on or before November 26, 2025.

BASED UPON THE FOREGOING FINDINGS OF FACT, IT IS HEREBY ORDERED AND ADJUDGED AS FOLLOWS:

9. The Respondent, and the Property at the above mentioned location, are found to be in violation of Section 86-52, of the Code of Ordinances of the City of Madeira Beach.

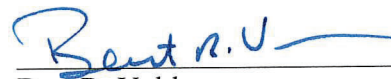
10. The Respondent shall correct the above stated violation on or before November 26, 2025, by taking the remedial action as set forth in the Notice of Violation, and as stated on the record at the Hearing which is to apply for and obtain an after-the-fact building permit.

11. Upon complying, the Respondent shall notify the Code Compliance Officer at the City of Madeira Beach, who shall then inspect the Property to confirm compliance has been accomplished.

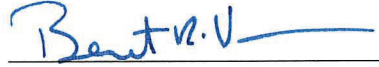
12. If the Respondent fails to timely comply with the remedial actions as set forth above, a fine shall be imposed, in the amount of \$100.00 per day for the violation set forth in Paragraph 6 above for each day the Respondent has failed to correct the violation after November 26, 2025, and the fine shall continue to accrue until such time as the Property is brought into compliance.

13. The Special Magistrate does hereby retain jurisdiction over this matter to enter such other and further orders as may be just and proper.

DONE AND ORDERED this 17th day of November, 2025.


Bart R. Valdes
Special Magistrate

A true and correct copy of this Findings of Fact was delivered by certified mail and regular mail to: **OLIVA LAND & SAND LLC, 11 Lynn Way, Madeira Beach, FL 33708; and 3104 N. Armenia Ave., Ste. 1, Tampa, FL 33607**, by electronic mail to **Thomas Trask, Esq. (tom@cityattorneys.legal)**; and by U.S. Mail and e-mail transmission to the **City of Madeira Beach, Clara VanBlargan, 300 Municipal Dr., Madeira Beach, Florida 33708**, on this 17th day of November, 2025.



Bart R. Valdes

APPEALS

An aggrieved party, including the local governing body, may appeal a final administrative order of a Special Magistrate to the circuit court. Such an appeal shall not be a hearing de nova but shall be limited to appellate review of the record created before the Special Magistrate. An appeal shall be filed within 30 days of the execution of the order to be appealed. §162.11, *Florida Statutes* (2024).

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. CE-25-131

OLIVA LAND & SAND LLC
3104 N ARMENIA AVE STE 1
TAMPA, FL 33607-1658

Respondents.

RE Property: 154 154th Ave.

Parcel #09-31-15-52596-026-0110

Legal Description: LONE PALM BEACH 4TH ADD BLK 26, LOT 11

NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE

To whom it may concern:

YOU ARE HEREBY FORMALLY NOTIFIED that at **12:00 pm** on **MONDAY** the **26th** day of **January**, **2026** at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a

permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

You are hereby ordered to appear before the Special Magistrate of the City of Madeira Beach on that date and time to answer these charges and to present your side of the case. Failure to appear may result in the Special Magistrate proceeding in your absence.

Should you be found in violation of the above code, the Special Magistrate has the power by law to levy fines of up to \$250.00 per day for an initial violation(s) and \$500.00 per day for repeat violations against you and your property for every day that any violation continues beyond the date set in an order of the Special Magistrate for compliance.

If the violation is corrected and then recurs, or if the violation is not corrected by the time specified by the Code Enforcement Officer for correction, the case may still be presented to the Special Magistrate of the City of Madeira Beach even if the violation has been corrected prior to the Special Magistrate hearing.

Should you desire, you have the right to obtain an attorney at your own expense to represent you before the Special Magistrate. You will also have the opportunity to present witnesses as well as question the witnesses against you prior to the Special Magistrate making a determination.

Please be prepared to present evidence at this meeting concerning the time frame necessary to correct the alleged violation(s), should you be found in violation of the City Code.

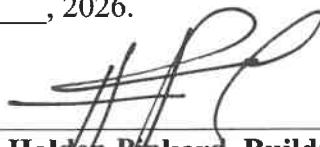
If you wish to have any witnesses subpoenaed or have any other questions, please contact the Code Enforcement department of the City of Maderia Beach within five (5) days at 300 Municipal Drive, Maderia Beach, Florida 33708, telephone number (727) 391-9951 ext 298.

Your failure to respond to the previously issued Notice of Violation has resulted in costs of prosecution of this case.

PLEASE NOTE: Should any interested party seek to appeal any decision made by the Special Magistrate with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made which record includes the testimony and evidence upon which the appeal is to be based per Florida Statute 286.0105.

I DO HEREBY CERTIFY that a copy of the foregoing Notice of Hearing was mailed to Respondent(s) by certified mail, return receipt requested.

Dated this 16 day of January, 2026.



**Holden Pinkard, Building Compliance Supervisor
City of Madeira Beach**

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. CE-25-131

OLIVA LAND & SAND LLC
3104 N ARMENIA AVE STE 1
TAMPA, FL 33607-1658

Respondents.

RE Property: 154 154TH AVE **Parcel #09-31-15-52596-026-0110**

Legal Description: LONE PALM BEACH 4TH ADD BLK 26, LOT 11

AFFIDAVIT OF SERVICE

I, Holden Pinkard, Building Code Compliance Supervisor of the City of Madeira Beach, upon being duly sworn, deposed and says the following:

That pursuant to Florida Statute 162.12,

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via Certified Mail, Return Receipt Requested.

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via First Class mail.

On the 16 day of January, 2026, I posted a copy of the attached NOTICE OF HEARING on the property located at 154 154TH AVE, Parcel #09-31-15-52596-026-0110 the City of Madeira Beach.

On the 16 day of January, 2026, I caused the attached NOTICE OF HEARING to be posted at the Municipal Government Offices, 300 Municipal Drive, Madeira Beach; and that said papers remain posted at the Municipal Government Offices for a period of not less than ten days from the date of posting.

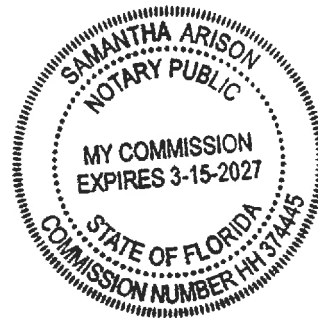


**Holden Pinkard, Code Compliance Supervisor
City of Madeira Beach**

STATE OF FLORIDA**COUNTY OF PINELLAS**

The foregoing instrument was acknowledged before me, the undersigned authority, by means of ✓ physical presence or online notarization, this 16th day of January, 2026, by Holden Pinkard, who is personally known to me, or produced as identification. My Commission Expires: 03-15-27

Notary Public- State of Florida


Print or type Name. Samantha Arison

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708,

Petitioner,

vs.

CASE NO. CE-25-131

OLIVA LAND & SAND LLC
3104 N ARMENIA AVE STE 1
TAMPA, FL 33607-1658

Respondents,

AFFIDAVIT OF COMPLIANCE

I, Holden Pinkard, *Building Compliance Supervisor*, have personally examined the property described in:

Madeira Beach Notice of Violation: 08-26-2025

Madeira Beach Special Magistrate Order: 11-17-2025

In the above-mentioned case and find that said property is in compliance with Sec. 86-52 of the Code of City of Madeira Beach, Florida, as of 11-10-2025


Holden Pinkard, Building Compliance Supervisor

STATE OF FLORIDA

COUNTY OF PINELLAS

Before me on this 16th day of January 2026, Holden Pinkard personally appeared who executed the foregoing instrument and who is personally known to me.


Samantha Arison

Notary



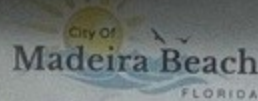
Jan 15, 2026 at 10:30:59 AM

Item 6D.



272

January 15, 2026 at 11:46:38 AM



CITY OF MADEIRA BEACH

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
N. DAVID C IV
N. KONNY A
N. BAYSHORE DR
JRA BEACH FL 33708-2233

Respondents,
Property: 14210 N. Bayshore Dr. Parcel #10-31-15-34326-004-0100

Description: GULF SHORES 1ST ADD BLK D, LOTS 10 AND 11

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
HERNANDEZ GLOBAL INVESTMENT GROUP LLC
12015 SW 18TH ST UNIT 8
MIAMI, FL 33175-1691

Respondents,
RE Property: 410 VIRGINIA AVE. Parcel #10-31-15-34380-017-0030

Legal Description: GULF SHORES 4TH ADD BLK Q, LOT 3

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
MEDITERRANEAN OF MADEIRA CONDO ASSN INC
17910 GULF BLVD
MADEIRA BEACH, FL 33708-2567

Respondents,
RE Property: 13910 GULF BLVD Parcel #15-3

Legal Description: MEDITERRANEAN OF MADEIRA CONDO, TH

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
ILARIO SIMONETTA
13225 2nd ST. E
MADEIRA BEACH, FL
33708-2407

Respondents,
RE Property: 13225 2nd St. E Parcel #15-31-15-45304-011-0040

Legal Description: 13225 2ND ST E MADEIRA BEACH FL LLC

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY the 26th day of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
AN ENTERPRISE LLC
BAYSHORE BLVD
PA, FL 33611

Respondents,
Property: 15398 2ND ST E, 101 & 107 154TH AVE Parcel #09-31-15-526

Legal Description: LONE PALM BEACH 5TH ADD BLK 28, LOTS 13 & 14 TH PART OF LOTS 1 & 2 DESC BEG MOST NLY COR OF SD LOT 1 TH S 40021' W 16FT TH WLY 118 9FT TO MOST WLY COR OF LOT 1 TH N 4

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52 - When required.
A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter any fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any apparatus installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection.

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
MADEIRA BEACH GETAWAY LLC
4650 HUNTINGTON ST NE
ST PETERSBURG, FL 33703-4201

Respondents,
RE Property: 14503 N. Bayshore Dr. Parcel #10-31-15

Legal Description: MADEIRA SHORES 1ST ADD LOT 45

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
KAPAKORP LLC
1517 FLANGE DR
DAVENPORT, FL 33607

Respondents,
RE Property: 30 Lynn Way Parcel #10-31-15-34470-024-0070

Legal Description: GULF SHORES 6TH ADD REPLAT BLK X, LOT 7

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
OLIVA LAND & SAND LLC
3104 N ARMINIA AVE STE 1
TAMPA, FL 33607-1658

Respondents,
RE Property: 11 Lynn Way Parcel #10-31-15-34452-231-0050

Legal Description: GULF SHORES 6TH ADD REPLAT BLK W, LOT 5

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY the 26th day of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

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A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter any fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any apparatus installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection.

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
R REALTY & ESTATES LLC
660 MIRAMAR AVE
ADELPHI BEACH FL 33708-2590

Respondents,
E Property: 14060 Miramar Dr. Parcel #10-31-15-34362-011-0150

Legal Description: GULF SHORES 3RD ADD REPLAT BLK K, LOTS 15 AND 16

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
OLIVA LAND & SAND LLC
3104 N ARMINIA AVE STE 1
TAMPA, FL 33607-1658

Respondents,
RE Property: 154 154th Ave. Parcel #09-31-15-52596

Legal Description: LONE PALM BEACH 4TH ADD BLK 26, LOT

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
IVANCHUK, NAZARY
431 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents,
RE Property: 431 Virginia Ave. Parcel #10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
IVANCHUK, NAZARY
431 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents,
RE Property: 431 Virginia Ave. Parcel #10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH

CITY OF MADEIRA BEACH,

CASE NUMBER: CE-25-71

Petitioner,

vs.

D&R REALTY & ESTATES LLC
14060 Miramar Ave.
Madeira Beach, FL 33708,

Respondent.

**FINDINGS OF FACT, CONCLUSIONS OF LAW
AND ORDER IMPOSING FINE AND CERTIFYING LIEN**

THIS CAUSE came on to be heard at the public hearing before the undersigned Special Magistrate on July 7, 2025, after due notice to the Respondent, and the Special Magistrate having heard testimony under oath, received evidence, and otherwise being fully advised in the premises, hereby finds as follows:

Findings of Fact:

1. The City was represented by the City Attorney, and Holden Pinkard provided testimony on behalf of the City.
2. No one appeared on behalf of the Respondent.
3. No one provided public comment.
4. The property in question is located at 14060 Miramar Ave., Madeira Beach, Florida 33708 ("Property"). The legal description for the Property is as follows:

GULF SHORES 3RD ADD REPLAT BLK K, LOTS 15 AND 16

5. Proper notice was served upon the Respondent via certified mail, regular mail, posting or hand delivery in accordance with Chapters 162 and 166, *Florida Statutes*.
6. The Respondent was notified that Respondent was in violation of the following section of the Code of Ordinances of the City of Madeira Beach to wit:

Sec. 86-52.- When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or

install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovered flat slabs of no greater than 50 square feet, for work of a strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

7. The violation set forth above existed as of the date of the Notice of Violation herein and at all times subsequent thereto up to the date of the Hearing.

8. A reasonable period of time for correcting the above violation and bringing the Property into compliance is on or before August 6, 2025.

BASED UPON THE FOREGOING FINDINGS OF FACT, IT IS HEREBY ORDERED AND ADJUDGED AS FOLLOWS:

9. The Respondent, and the Property at the above mentioned location, are found to be in violation of Section 86-52, of the Code of Ordinances of the City of Madeira Beach.

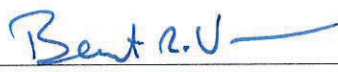
10. The Respondent shall correct the above stated violation on or before August 6, 2025, by taking the remedial action as set forth in the Notice of Violation, and as stated on the record at the Hearing which is to apply for an "after-the-fact" building permit.

11. Upon complying, the Respondent shall notify the Code Compliance Officer at the City of Madeira Beach, who shall then inspect the Property to confirm compliance has been accomplished.

12. If the Respondent fails to timely comply with the remedial actions as set forth above, a fine shall be imposed, in the amount of \$250.00 per day for the violation set forth in Paragraph 6 above for each day the Respondent has failed to correct the violation after August 6, 2025, and the fine shall continue to accrue until such time as the Property is brought into compliance.

13. The Special Magistrate does hereby retain jurisdiction over this matter to enter such other and further orders as may be just and proper.

DONE AND ORDERED this 11th day of July, 2025.


Bart R. Valdes
Special Magistrate

A true and correct copy of this Findings of Fact was delivered by certified mail and regular mail

to: D&R Realty & Estates, LLC, 10606 Miramar Ave., Madeira Beach, FL 33708; and 556 3rd St. N., St. Petersburg, FL 33701; by electronic mail to Thomas Trask, Esq. (tom@cityattorneys.legal); and by U.S. Mail and e-mail transmission to the City of Madeira Beach, Clara VanBlargan, 300 Municipal Dr., Madeira Beach, Florida 33708, on this 11th day of July, 2025.


Bart R. Valdes

APPEALS

An aggrieved party, including the local governing body, may appeal a final administrative order of a Special Magistrate to the circuit court. Such an appeal shall not be a hearing de nova but shall be limited to appellate review of the record created before the Special Magistrate. An appeal shall be filed within 30 days of the execution of the order to be appealed. §162.11, *Florida Statutes* (2024).

CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH

CITY OF MADEIRA BEACH,

CASE NUMBER: CE-25-71

Petitioner,

vs.

D&R REALTY & ESTATES, LLC,
14060 Miramar Ave.
Madeira Beach, FL 33708,

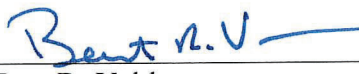
Respondent.

SECOND ORDER EXTENDING COMPLIANCE DEADLINE

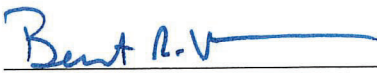
THIS CAUSE came on to be heard for public hearing before the undersigned Special Magistrate on October 27, 2025, on Respondent's Motion for Extension of Time to Comply with Magistrate's Order, and after due notice to the Respondent, and having received evidence, and otherwise being fully advised in the premises, **IT IS HEREBY ORDERED AND ADJUDGED:**

1. The Respondent's Motion for Extension of Time to Comply with Magistrate's Order is granted to the extent that the deadline for compliance set forth in the Findings Of Fact, Conclusion Of Law And Order Imposing Fine dated July 11, 2025, is extended to November 7, 2025.

DONE AND ORDERED this 17th day of November, 2025.


Bart R. Valdes
Special Magistrate

A true and correct copy of this Order Extending Compliance Deadline was delivered by certified mail and regular mail to: **D&R Realty & Estates, LLC, 14060 Miramar Ave., Madeira Beach, FL 33708; and 556 3rd St. N., St. Petersburg, FL 33701;** by electronic mail to **Thomas Trask, Esq. (tom@cityattorneys.legal);** and by U.S. Mail and e-mail transmission to the **City of Madeira Beach, Clara VanBlargan, 300 Municipal Dr., Madeira Beach, Florida 33708,** on this 17th day of November, 2025.


Bart R. Valdes

APPEALS

An aggrieved party, including the local governing body, may appeal a final administrative order of a Special Magistrate to the circuit court. Such an appeal shall not be a hearing de nova but shall be limited to appellate review of the record created before the Special Magistrate. An appeal shall be filed within 30 days of the execution of the order to be appealed. §162.11, Fla. Stat. (2024)

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. CE-25-71

D&R REALTY & ESTATES LLC
14060 MIRAMAR AVE
MADEIRA BEACH FL 33708-2590

Respondents.

RE Property: 14060 Miramar Dr.

Parcel #10-31-15-34362-011-0150

Legal Description: GULF SHORES 3RD ADD REPLAT BLK K, LOTS 15 AND 16

NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE

To whom it may concern:

YOU ARE HEREBY FORMALLY NOTIFIED that at **12:00 pm** on **MONDAY** the **26th** day of **January**, **2026** at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change

the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code

until a permit has been issued by the building official. When the cost of repair or modification does

not exceed \$500.00, does not result in a structural change, and does not require an inspection, a

permit need not be issued by the building official. No permit is required for uncovering flat slabs of

no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

You are hereby ordered to appear before the Special Magistrate of the City of Madeira Beach on that date and time to answer these charges and to present your side of the case. Failure to appear may result in the Special Magistrate proceeding in your absence.

Should you be found in violation of the above code, the Special Magistrate has the power by law to levy fines of up to \$250.00 per day for an initial violation(s) and \$500.00 per day for repeat violations against you and your property for every day that any violation continues beyond the date set in an order of the Special Magistrate for compliance.

If the violation is corrected and then recurs, or if the violation is not corrected by the time specified by the Code Enforcement Officer for correction, the case may still be presented to the Special Magistrate of the City of Madeira Beach even if the violation has been corrected prior to the Special Magistrate hearing.

Should you desire, you have the right to obtain an attorney at your own expense to represent you before the Special Magistrate. You will also have the opportunity to present witnesses as well as question the witnesses against you prior to the Special Magistrate making a determination.

Please be prepared to present evidence at this meeting concerning the time frame necessary to correct the alleged violation(s), should you be found in violation of the City Code.

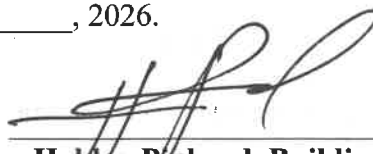
If you wish to have any witnesses subpoenaed or have any other questions, please contact the Code Enforcement department of the City of Maderia Beach within five (5) days at 300 Municipal Drive, Maderia Beach, Florida 33708, telephone number (727) 391-9951 ext 298.

Your failure to respond to the previously issued Notice of Violation has resulted in costs of prosecution of this case.

PLEASE NOTE: Should any interested party seek to appeal any decision made by the Special Magistrate with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made which record includes the testimony and evidence upon which the appeal is to be based per Florida Statute 286.0105.

I DO HEREBY CERTIFY that a copy of the foregoing Notice of Hearing was mailed to Respondent(s) by certified mail, return receipt requested.

Dated this 16 day of January, 2026.



**Holden Pinkard, Building Compliance Supervisor
City of Madeira Beach**

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. CE-25-71

D&R REALTY & ESTATES LLC
14060 MIRAMAR AVE
MADEIRA BEACH FL 33708-2590

Respondents.

RE Property: 14060 Miramar Dr. **Parcel #**10-31-15-34362-011-0150

Legal Description: GULF SHORES 3RD ADD REPLAT BLK K, LOTS 15 AND 16

AFFIDAVIT OF SERVICE

I, Holden Pinkard, Building Code Compliance Supervisor of the City of Madeira Beach, upon
being duly sworn, deposed and says the following:

That pursuant to Florida Statute 162.12,

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via
Certified Mail, Return Receipt Requested.

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via
First Class mail.

On the 16 day of January, 2026, I posted a copy of the attached NOTICE OF HEARING on
the property located at 14060 Miramar Dr., Parcel #10-31-15-34362-011-0150 the City of
Madeira Beach.

On the 16 day of January, 2026, I caused the attached NOTICE OF HEARING to be

posted at the Municipal Government Offices, 300 Municipal Drive, Madeira Beach; and that
said papers remain posted at the Municipal Government Offices for a period of not less than ten days
from the date of posting.



**Holden Pinkard, Code Compliance Supervisor
City of Madeira Beach**

STATE OF FLORIDA

COUNTY OF PINELLAS

The foregoing instrument was acknowledged before me, the undersigned authority, by means of ✓ physical presence or online notarization, this 16th day of January, 2026, by Holden Pinkard, who is personally known to me, or produced as identification. My Commission Expires: 03-15-27

Notary Public- State of Florida



Print or type Name. Samantha Arison



**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2025

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708,

Petitioner,

vs.

CASE NO. CE-25-71

D&R REALTY & ESTATES LLC
14060 MIRAMAR AVE
MADEIRA BEACH FL 33708-2590

Respondents.

AFFIDAVIT OF COMPLIANCE

I, Holden Pinkard, *Building Compliance Supervisor*, have personally examined the property described in

Madeira Beach Notice of Violation: 05-21-2025

Madeira Beach Special Magistrate Order: 11-07-2025

In the above-mentioned case and find that said property is in compliance with Sec. 86-52 of the Code of City of Madeira Beach, Florida, as of 12-15-2025



Holden Pinkard, Building Compliance Supervisor

STATE OF FLORIDA

COUNTY OF PINELLAS

Before me on this 16th day of January 2026, Holden Pinkard personally appeared who executed the foregoing instrument and who is personally known to me.



Notary



Jan 15, 2026 at 10:58:00 AM

Item 6E.



CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH

CITY OF MADEIRA BEACH,

CASE NUMBER: CE-25-91

Petitioner,

vs.

OLIVA LAND & SAND LLC,
11 Lynn Way
Madeira Beach, FL 33708,

Respondent.

**FINDINGS OF FACT, CONCLUSIONS OF LAW
AND ORDER IMPOSING FINE AND CERTIFYING LIEN**

THIS CAUSE came on to be heard at the public hearing before the undersigned Special Magistrate on October 27, 2025, after due notice to the Respondent, and the Special Magistrate having heard testimony under oath, received evidence, and otherwise being fully advised in the premises, hereby finds as follows:

Findings of Fact:

1. The City was represented by the City Attorney, and Taylor Davis provided testimony on behalf of the City.
2. Jason Sanchez appeared on behalf of the Respondent as the Contractor for the owner.
3. No one provided public comment.
4. The property in question is located at 11 Lynn Way, Madeira Beach, Florida 33708 ("Property"). The legal description for the Property is as follows:

GULF SHORES 6TH ADD REPLAT BLK W 1, LOT 5

5. Proper notice was served upon the Respondent via certified mail, regular mail, posting or hand delivery in accordance with Chapters 162 and 166, *Florida Statutes*.
6. The Respondent was notified that Respondent was in violation of the following sections of the Code of Ordinances of the City of Madeira Beach to wit:

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish,

or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

7. The violation set forth above existed as of the date of the Notice of Violation herein and at all times subsequent thereto up to the date of the Hearing.

8. A reasonable period of time for correcting the above violation and bringing the Property into compliance is on or before November 26, 2025.

BASED UPON THE FOREGOING FINDINGS OF FACT, IT IS HEREBY ORDERED AND ADJUDGED AS FOLLOWS:

9. The Respondent, and the Property at the above mentioned location, are found to be in violation of Section 86-52, of the Code of Ordinances of the City of Madeira Beach.


10. The Respondent shall correct the above stated violation on or before November 26, 2025, by taking the remedial action as set forth in the Notice of Violation, and as stated on the record at the Hearing which is to apply for and obtain an after-the-fact building permit.

11. Upon complying, the Respondent shall notify the Code Compliance Officer at the City of Madeira Beach, who shall then inspect the Property to confirm compliance has been accomplished.

12. If the Respondent fails to timely comply with the remedial actions as set forth above, a fine shall be imposed, in the amount of \$250.00 per day for the violation set forth in Paragraph 6 above for each day the Respondent has failed to correct the violation after November 26, 2025, and the fine shall continue to accrue until such time as the Property is brought into compliance.

13. The Special Magistrate does hereby retain jurisdiction over this matter to enter such other and further orders as may be just and proper.

DONE AND ORDERED this 17th day of November, 2025.


Bart R. Valdes
Special Magistrate

A true and correct copy of this Findings of Fact was delivered by certified mail and regular mail to: **OLIVA LAND & SAND LLC, 11 Lynn Way, Madeira Beach, FL 33708; and 3104 N. Armenia Ave., Ste. 1, Tampa, FL 33607**, by electronic mail to **Thomas Trask, Esq. (tom@cityattorneys.legal)**; and by U.S. Mail and e-mail transmission to the **City of Madeira Beach, Clara VanBlargan, 300 Municipal Dr., Madeira Beach, Florida 33708**, on this 17th day of November, 2025.



Bart R. Valdes

APPEALS

An aggrieved party, including the local governing body, may appeal a final administrative order of a Special Magistrate to the circuit court. Such an appeal shall not be a hearing de nova but shall be limited to appellate review of the record created before the Special Magistrate. An appeal shall be filed within 30 days of the execution of the order to be appealed. §162.11, *Florida Statutes* (2024).

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. CE-25-91

OLIVA LAND & SAND LLC
3104 N ARMENIA AVE STE 1
TAMPA, FL 33607-1658

Respondents.

RE Property: 11 Lynn Way

Parcel #10-31-15-34452-231-0050

Legal Description: GULF SHORES 6TH ADD REPLAT BLK W 1, LOT 5

NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE

To whom it may concern:

YOU ARE HEREBY FORMALLY NOTIFIED that at **12:00 pm** on **MONDAY** the **26th** day of **January**, **2026** at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

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the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code

until a permit has been issued by the building official. When the cost of repair or modification does

not exceed \$500.00, does not result in a structural change, and does not require an inspection, a

permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

You are hereby ordered to appear before the Special Magistrate of the City of Madeira Beach on that date and time to answer these charges and to present your side of the case. Failure to appear may result in the Special Magistrate proceeding in your absence.

Should you be found in violation of the above code, the Special Magistrate has the power by law to levy fines of up to \$250.00 per day for an initial violation(s) and \$500.00 per day for repeat violations against you and your property for every day that any violation continues beyond the date set in an order of the Special Magistrate for compliance.

If the violation is corrected and then recurs, or if the violation is not corrected by the time specified by the Code Enforcement Officer for correction, the case may still be presented to the Special Magistrate of the City of Madeira Beach even if the violation has been corrected prior to the Special Magistrate hearing.

Should you desire, you have the right to obtain an attorney at your own expense to represent you before the Special Magistrate. You will also have the opportunity to present witnesses as well as question the witnesses against you prior to the Special Magistrate making a determination.

Please be prepared to present evidence at this meeting concerning the time frame necessary to correct the alleged violation(s), should you be found in violation of the City Code.

If you wish to have any witnesses subpoenaed or have any other questions, please contact the Code Enforcement department of the City of Maderia Beach within five (5) days at 300 Municipal Drive, Maderia Beach, Florida 33708, telephone number (727) 391-9951 ext 298.

Your failure to respond to the previously issued Notice of Violation has resulted in costs of prosecution of this case.

PLEASE NOTE: Should any interested party seek to appeal any decision made by the Special Magistrate with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made which record includes the testimony and evidence upon which the appeal is to be based per Florida Statute 286.0105.

I DO HEREBY CERTIFY that a copy of the foregoing Notice of Hearing was mailed to Respondent(s) by certified mail, return receipt requested.

Dated this 16 day of January, 2026.



**Holden Pinkard, Building Compliance Supervisor
City of Madeira Beach**

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. CE-25-91

OLIVA LAND & SAND LLC
3104 N ARMENIA AVE STE 1
TAMPA, FL 33607-1658

Respondents.

RE Property: 11 Lynn Way **Parcel #**10-31-15-34452-231-0050

Legal Description: GULF SHORES 6TH ADD REPLAT BLK W 1, LOT 5

AFFIDAVIT OF SERVICE

I, Holden Pinkard, Building Code Compliance Supervisor of the City of Madeira Beach, upon being duly sworn, deposed and says the following:

That pursuant to Florida Statute 162.12,

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via Certified Mail, Return Receipt Requested.

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via First Class mail.

On the 16 day of January, 2026, I posted a copy of the attached NOTICE OF HEARING on the property located at 11 Lynn Way, Parcel #10-31-15-34452-231-0050 the City of Madeira Beach.

On the 16 day of January, 2026, I caused the attached NOTICE OF HEARING to be posted at the Municipal Government Offices, 300 Municipal Drive, Madeira Beach; and that said papers remain posted at the Municipal Government Offices for a period of not less than ten days from the date of posting.

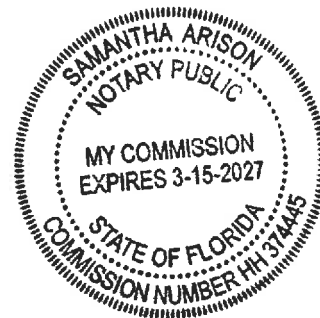


**Holden Pinkard, Code Compliance Supervisor
City of Madeira Beach**

STATE OF FLORIDA**COUNTY OF PINELLAS**

The foregoing instrument was acknowledged before me, the undersigned authority, by means of ✓ physical presence or _____ online notarization, this 16th day of January, 2026, by Holden Pinkard, who is personally known to me, or produced _____ as identification. My Commission Expires: 03-15-27

Notary Public- State of Florida


Print or type Name. Samantha Arison

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2025

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708,

Petitioner,

vs.

CASE NO. CE-25-91

OLIVA LAND & SAND LLC
3104 N ARMENIA AVE STE 1
TAMPA, FL 33607-1658

Respondents.

AFFIDAVIT OF NON-COMPLIANCE

I, Holden Pinkard, *Building Compliance Supervisor*, have personally examined the property described in

Madeira Beach Notice of Violation: 07-03-2025

Madeira Beach Special Magistrate Order: 11-17-2025

In the above-mentioned case and find that said property is not in compliance with Sec. 86-52 of the Code of City of Madeira Beach, Florida, as of 11-18-2025



Holden Pinkard, Building Compliance Supervisor

STATE OF FLORIDA

COUNTY OF PINELLAS

Before me on this 16th day of January 2026, Holden Pinkard personally appeared who executed the foregoing instrument and who is personally known to me.

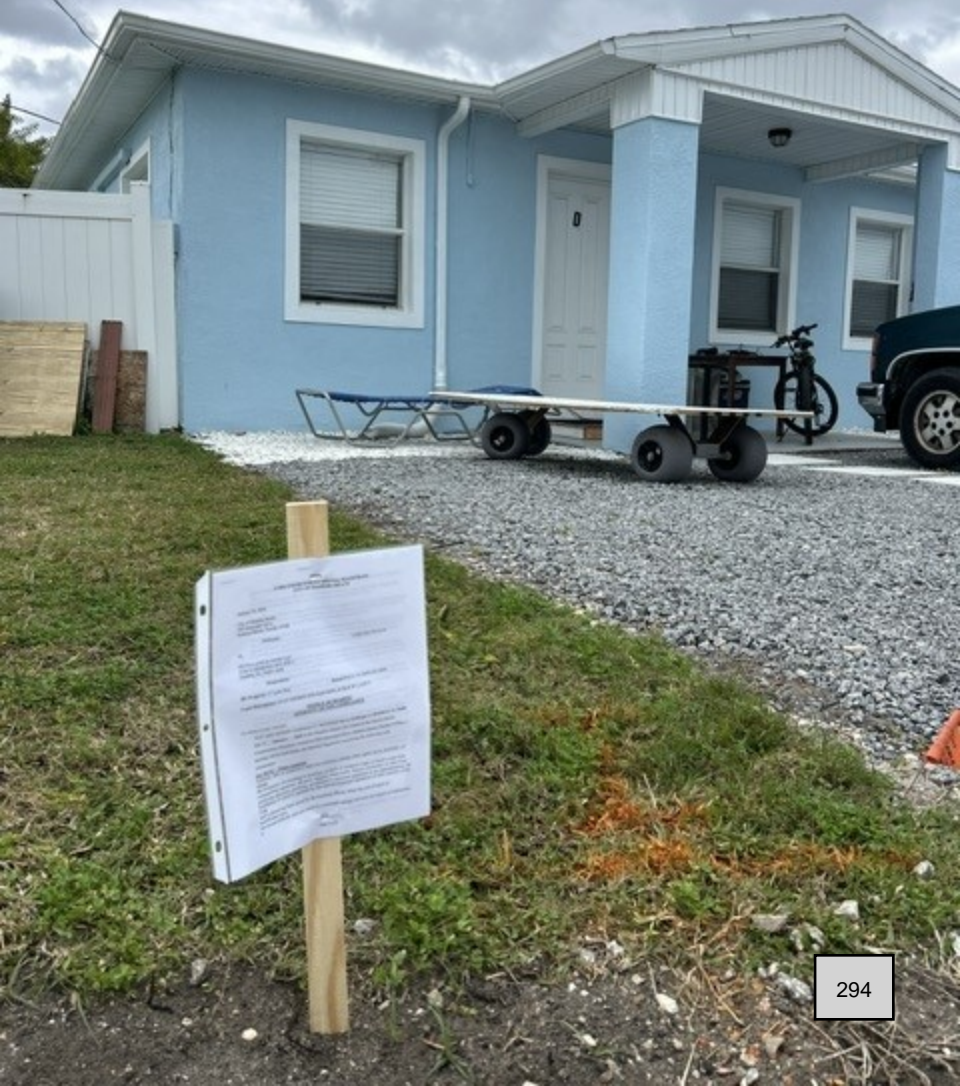


Notary

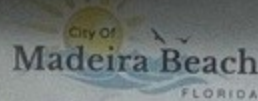


Jan 15, 2026 at 10:52:11 AM

Item 6F.



January 15, 2026 at 11:46:38 AM



CITY OF MADEIRA BEACH

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
N. DAVID C IV
N. KONNY A
N. BAYSHORE DR
JRA BEACH FL 33708-2233

Respondents,
Property: 14210 N. Bayshore Dr. Parcel #10-31-15-34326-004-0100

Description: GULF SHORES 1ST ADD BLK D, LOTS 10 AND 11

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
HERNANDEZ GLOBAL INVESTMENT GROUP LLC
12015 SW 18TH ST UNIT 8
MIAMI, FL 33175-1691

Respondents,
RE Property: 410 VIRGINIA AVE. Parcel #10-31-15-34380-017-0030

Legal Description: GULF SHORES 4TH ADD BLK Q, LOT 3

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
MEDITERRANEAN OF MADEIRA CONDO ASSN INC
13910 GULF BLVD
MADEIRA BEACH, FL 33708-2567

Respondents,
RE Property: 13910 GULF BLVD Parcel #15-3

Legal Description: MEDITERRANEAN OF MADEIRA CONDO, TH

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
ILARIO SIMONETTA
13225 2nd St. E
MADEIRA BEACH, FL 33708-2407

Respondents,
RE Property: 13225 2nd St. E Parcel #15-31-15-45304-011-0040

Legal Description: 13225 2ND ST E MADEIRA BEACH FL LLC

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY the 26th day of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
AN ENTERPRISE LLC
BAYSHORE BLVD
PA, FL 33611

Respondents,
Property: 15398 2ND ST E, 101 & 107 154TH AVE Parcel #09-31-15-526

Legal Description: LONE PALM BEACH 5TH ADD BLK 28, LOTS 13 & 14 TH PART OF LOTS 1 & 2 DESC BEG MOST NLY COR OF SD LOT 1 TH S 40021' W 16FT TH WLY 118 9FT TO MOST WLY COR OF LOT 1 TH N 4

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52 - When required.
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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
MADEIRA BEACH GETAWAY LLC
4650 HUNTINGTON ST NE
ST PETERSBURG, FL 33703-4201

Respondents,
RE Property: 14503 N. Bayshore Dr. Parcel #10-31-15

Legal Description: MADEIRA BEACH 1ST ADD LOT 45

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
KAPAKORP LLC
1517 FLANGE DR
DAVENPORT, FL 33607

Respondents,
RE Property: 30 Lynn Way Parcel #10-31-15-34470-024-0070

Legal Description: GULF SHORES 6TH ADD REPLAT BLK X, LOT 7

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
OLIVIA LAND & SAND LLC
3104 N ARMINIA AVE STE 1
TAMPA, FL 33607-1658

Respondents,
RE Property: 11 Lynn Way Parcel #10-31-15-34452-231-0050

Legal Description: GULF SHORES 6TH ADD REPLAT BLK W, LOT 5

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
K. REALTY & ESTATES LLC
660 MIRAMAR AVE
MADEIRA BEACH FL 33708-2590

Respondents,
E Property: 14060 Miramar Dr. Parcel #10-31-15-34362-011-0150

Legal Description: GULF SHORES 3RD ADD REPLAT BLK K, LOTS 15 AND 16

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
OLIVIA LAND & SAND LLC
3104 N ARMINIA AVE STE 1
TAMPA, FL 33607-1658

Respondents,
RE Property: 154 154th Ave. Parcel #09-31-15-52596

Legal Description: LONE PALM BEACH 4TH ADD BLK 26, LOT

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52 - When required.
A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter any fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any apparatus installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection.

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
IVANCHUK, NAZARY
431 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents,
RE Property: 431 Virginia Ave. Parcel #10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY the day of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52 - When required.
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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
IVANCHUK, NAZARY
431 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents,
RE Property: 431 Virginia Ave. Parcel #10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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Sec. 86-52 - When required.
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CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH

CITY OF MADEIRA BEACH,

CASE NUMBER: CE-25-105

Petitioner,

vs.

KAPAKORP LLC,
30 Lynn Way
Madeira Beach, FL 33708,

Respondent.

**FINDINGS OF FACT, CONCLUSIONS OF LAW
AND ORDER IMPOSING FINE AND CERTIFYING LIEN**

THIS CAUSE came on to be heard at the public hearing before the undersigned Special Magistrate on October 27, 2025, after due notice to the Respondent, and the Special Magistrate having heard testimony under oath, received evidence, and otherwise being fully advised in the premises, hereby finds as follows:

Findings of Fact:

1. The City was represented by the City Attorney, and Holden Pinkard provided testimony on behalf of the City.
2. No one appeared on behalf of the Respondent.
3. No one provided public comment.
4. The property in question is located at 30 Lynn Way, Madeira Beach, Florida 33708 ("Property"). The legal description for the Property is as follows:

GULF SHORES 6TH ADD REPLAT BLK X, LOT 7

5. Proper notice was served upon the Respondent via certified mail, regular mail, posting or hand delivery in accordance with Chapters 162 and 166, *Florida Statutes*.
6. The Respondent was notified that Respondent was in violation of the following sections of the Code of Ordinances of the City of Madeira Beach to wit:

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or

install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

7. The violation set forth above existed as of the date of the Notice of Violation herein and at all times subsequent thereto up to the date of the Hearing.

8. A reasonable period of time for correcting the above violation and bringing the Property into compliance is on or before November 26, 2025.

BASED UPON THE FOREGOING FINDINGS OF FACT, IT IS HEREBY ORDERED AND ADJUDGED AS FOLLOWS:

9. The Respondent, and the Property at the above mentioned location, are found to be in violation of Section 86-52, of the Code of Ordinances of the City of Madeira Beach.

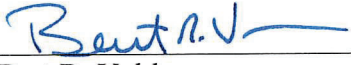
10. The Respondent shall correct the above stated violation on or before November 26, 2025, by taking the remedial action as set forth in the Notice of Violation, and as stated on the record at the Hearing which is to apply for and obtain an after-the-fact building permit.

11. Upon complying, the Respondent shall notify the Code Compliance Officer at the City of Madeira Beach, who shall then inspect the Property to confirm compliance has been accomplished.

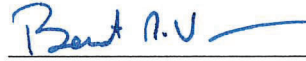
12. If the Respondent fails to timely comply with the remedial actions as set forth above, a fine shall be imposed, in the amount of \$250.00 per day for the violation set forth in Paragraph 6 above for each day the Respondent has failed to correct the violation after November 26, 2025, and the fine shall continue to accrue until such time as the Property is brought into compliance.

13. The Special Magistrate does hereby retain jurisdiction over this matter to enter such other and further orders as may be just and proper.

DONE AND ORDERED this 17th day of November, 2025.


Bart R. Valdes
Special Magistrate

A true and correct copy of this Findings of Fact was delivered by certified mail and regular mail to: **KAPAKORP LLC, 30 Lynn Way, Madeira Beach, FL 33708; and 1517 Flange Dr., Davenport, FL 33896**, by electronic mail to **Thomas Trask, Esq. (tom@cityattorneys.legal)**; and by U.S. Mail and e-mail transmission to the **City of Madeira Beach, Clara VanBlargan, 300 Municipal Dr., Madeira Beach, Florida 33708**, on this 17th day of November, 2025.



Bart R. Valdes

APPEALS

An aggrieved party, including the local governing body, may appeal a final administrative order of a Special Magistrate to the circuit court. Such an appeal shall not be a hearing de nova but shall be limited to appellate review of the record created before the Special Magistrate. An appeal shall be filed within 30 days of the execution of the order to be appealed. §162.11, *Florida Statutes* (2024).

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. CE-25-105

KAPAKORP LLC
1517 FLANGE DR
DAVENPORT, FL, 33896

Respondents.

RE Property: 30 Lynn Way

Parcel #10-31-15-34470-024-0070

Legal Description: GULF SHORES 6TH ADD REPLAT BLK X, LOT 7

NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE

To whom it may concern:

YOU ARE HEREBY FORMALLY NOTIFIED that at **12:00 pm** on **MONDAY** the **26th** day of **January**, **2026** at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a

permit need not be issued by the building official. No permit is required for uncovering flat slabs of
no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

You are hereby ordered to appear before the Special Magistrate of the City of Madeira Beach on that date and time to answer these charges and to present your side of the case. Failure to appear may result in the Special Magistrate proceeding in your absence.

Should you be found in violation of the above code, the Special Magistrate has the power by law to levy fines of up to \$250.00 per day for an initial violation(s) and \$500.00 per day for repeat violations against you and your property for every day that any violation continues beyond the date set in an order of the Special Magistrate for compliance.

If the violation is corrected and then recurs, or if the violation is not corrected by the time specified by the Code Enforcement Officer for correction, the case may still be presented to the Special Magistrate of the City of Madeira Beach even if the violation has been corrected prior to the Special Magistrate hearing.

Should you desire, you have the right to obtain an attorney at your own expense to represent you before the Special Magistrate. You will also have the opportunity to present witnesses as well as question the witnesses against you prior to the Special Magistrate making a determination.


Please be prepared to present evidence at this meeting concerning the time frame necessary to correct the alleged violation(s), should you be found in violation of the City Code.

If you wish to have any witnesses subpoenaed or have any other questions, please contact the Code Enforcement department of the City of Maderia Beach within five (5) days at 300 Municipal Drive, Maderia Beach, Florida 33708, telephone number (727) 391-9951 ext 298.

Your failure to respond to the previously issued Notice of Violation has resulted in costs of prosecution of this case.

PLEASE NOTE: Should any interested party seek to appeal any decision made by the Special Magistrate with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made which record includes the testimony and evidence upon which the appeal is to be based per Florida Statute 286.0105.

I DO HEREBY CERTIFY that a copy of the foregoing Notice of Hearing was mailed to Respondent(s) by certified mail, return receipt requested.
Dated this 16 day of January, 2026.


Holden Pinkard, Building Compliance Supervisor
City of Madeira Beach

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. CE-25-105

KAPAKORP LLC
1517 FLANGE DR
DAVENPORT, FL, 33896

Respondents.

RE Property: 30 Lynn Way **Parcel #**10-31-15-34470-024-0070

Legal Description: GULF SHORES 6TH ADD REPLAT BLK X, LOT 7

AFFIDAVIT OF SERVICE

I, Holden Pinkard, Building Code Compliance Supervisor of the City of Madeira Beach, upon being duly sworn, deposed and says the following:

That pursuant to Florida Statute 162.12,

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via Certified Mail, Return Receipt Requested.

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via First Class mail.

On the 16 day of January, 2026, I posted a copy of the attached NOTICE OF HEARING on the property located at 30 Lynn Way, Parcel #10-31-15-34470-024-0070 the City of Madeira Beach.

On the 16 day of January, 2026, I caused the attached NOTICE OF HEARING to be posted at the Municipal Government Offices, 300 Municipal Drive, Madeira Beach; and that said papers remain posted at the Municipal Government Offices for a period of not less than ten days from the date of posting.



**Holden Pinkard, Code Compliance Supervisor
City of Madeira Beach**

STATE OF FLORIDA

COUNTY OF PINELLAS

The foregoing instrument was acknowledged before me, the undersigned authority, by means of ✓ physical presence or _____ online notarization, this 16th day of January, 2026, by Holden Pinkard, who is personally known to me, or produced _____ as identification. My Commission Expires: 03-15-27

Notary Public- State of Florida



Print or type Name. Samantha Arison



**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2025

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708,

Petitioner,

vs.

CASE NO. CE-25-105

KAPAKORP LLC
1517 FLANGE DR
DAVENPORT, FL, 33896

Respondents.

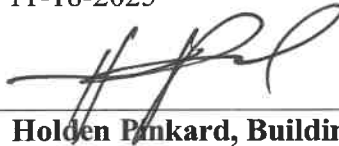
AFFIDAVIT OF NON-COMPLIANCE

I, Holden Pinkard, *Building Compliance Supervisor*, have personally examined the property described in

Madeira Beach Notice of Violation: 07-22-2025

Madeira Beach Special Magistrate Order: 11-17-2025

In the above-mentioned case and find that said property is not in compliance with Sec. 86-52 of the Code of City of Madeira Beach, Florida, as of 11-18-2025



Holden Pinkard, Building Compliance Supervisor

STATE OF FLORIDA

COUNTY OF PINELLAS

Before me on this 16th day of January 2026, Holden Pinkard personally appeared who executed the foregoing instrument and who is personally known to me.



Notary



Jan 15, 2026 at 10:50:27 AM

Item 6G.



304

CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH

CITY OF MADEIRA BEACH,

CASE NUMBER: CE-25-105

Petitioner,

vs.

KAPAKORP LLC,
30 Lynn Way
Madeira Beach, FL 33708,

Respondent.

**FINDINGS OF FACT, CONCLUSIONS OF LAW
AND ORDER IMPOSING FINE AND CERTIFYING LIEN**

THIS CAUSE came on to be heard at the public hearing before the undersigned Special Magistrate on October 27, 2025, after due notice to the Respondent, and the Special Magistrate having heard testimony under oath, received evidence, and otherwise being fully advised in the premises, hereby finds as follows:

Findings of Fact:

1. The City was represented by the City Attorney, and Holden Pinkard provided testimony on behalf of the City.
2. No one appeared on behalf of the Respondent.
3. No one provided public comment.
4. The property in question is located at 30 Lynn Way, Madeira Beach, Florida 33708 ("Property"). The legal description for the Property is as follows:

GULF SHORES 6TH ADD REPLAT BLK X, LOT 7

5. Proper notice was served upon the Respondent via certified mail, regular mail, posting or hand delivery in accordance with Chapters 162 and 166, *Florida Statutes*.
6. The Respondent was notified that Respondent was in violation of the following sections of the Code of Ordinances of the City of Madeira Beach to wit:

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or

install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

7. The violation set forth above existed as of the date of the Notice of Violation herein and at all times subsequent thereto up to the date of the Hearing.

8. A reasonable period of time for correcting the above violation and bringing the Property into compliance is on or before November 26, 2025.

BASED UPON THE FOREGOING FINDINGS OF FACT, IT IS HEREBY ORDERED AND ADJUDGED AS FOLLOWS:

9. The Respondent, and the Property at the above mentioned location, are found to be in violation of Section 86-52, of the Code of Ordinances of the City of Madeira Beach.

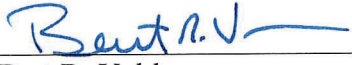
10. The Respondent shall correct the above stated violation on or before November 26, 2025, by taking the remedial action as set forth in the Notice of Violation, and as stated on the record at the Hearing which is to apply for and obtain an after-the-fact building permit.

11. Upon complying, the Respondent shall notify the Code Compliance Officer at the City of Madeira Beach, who shall then inspect the Property to confirm compliance has been accomplished.

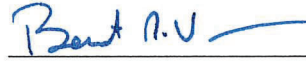
12. If the Respondent fails to timely comply with the remedial actions as set forth above, a fine shall be imposed, in the amount of \$250.00 per day for the violation set forth in Paragraph 6 above for each day the Respondent has failed to correct the violation after November 26, 2025, and the fine shall continue to accrue until such time as the Property is brought into compliance.

13. The Special Magistrate does hereby retain jurisdiction over this matter to enter such other and further orders as may be just and proper.

DONE AND ORDERED this 17th day of November, 2025.


Bart R. Valdes
Special Magistrate

A true and correct copy of this Findings of Fact was delivered by certified mail and regular mail to: **KAPAKORP LLC, 30 Lynn Way, Madeira Beach, FL 33708; and 1517 Flange Dr., Davenport, FL 33896**, by electronic mail to **Thomas Trask, Esq. (tom@cityattorneys.legal)**; and by U.S. Mail and e-mail transmission to the **City of Madeira Beach, Clara VanBlargan, 300 Municipal Dr., Madeira Beach, Florida 33708**, on this 17th day of November, 2025.



Bart R. Valdes

APPEALS

An aggrieved party, including the local governing body, may appeal a final administrative order of a Special Magistrate to the circuit court. Such an appeal shall not be a hearing de nova but shall be limited to appellate review of the record created before the Special Magistrate. An appeal shall be filed within 30 days of the execution of the order to be appealed. §162.11, *Florida Statutes* (2024).

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. CE-25-105

KAPAKORP LLC
1517 FLANGE DR
DAVENPORT, FL, 33896

Respondents.

RE Property: 30 Lynn Way

Parcel #10-31-15-34470-024-0070

Legal Description: GULF SHORES 6TH ADD REPLAT BLK X, LOT 7

NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE

To whom it may concern:

YOU ARE HEREBY FORMALLY NOTIFIED that at **12:00 pm** on **MONDAY** the **26th** day of **January**, **2026** at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a

permit need not be issued by the building official. No permit is required for uncovering flat slabs of
no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

You are hereby ordered to appear before the Special Magistrate of the City of Madeira Beach on that date and time to answer these charges and to present your side of the case. Failure to appear may result in the Special Magistrate proceeding in your absence.

Should you be found in violation of the above code, the Special Magistrate has the power by law to levy fines of up to \$250.00 per day for an initial violation(s) and \$500.00 per day for repeat violations against you and your property for every day that any violation continues beyond the date set in an order of the Special Magistrate for compliance.

If the violation is corrected and then recurs, or if the violation is not corrected by the time specified by the Code Enforcement Officer for correction, the case may still be presented to the Special Magistrate of the City of Madeira Beach even if the violation has been corrected prior to the Special Magistrate hearing.

Should you desire, you have the right to obtain an attorney at your own expense to represent you before the Special Magistrate. You will also have the opportunity to present witnesses as well as question the witnesses against you prior to the Special Magistrate making a determination.

Please be prepared to present evidence at this meeting concerning the time frame necessary to correct the alleged violation(s), should you be found in violation of the City Code.


If you wish to have any witnesses subpoenaed or have any other questions, please contact the Code Enforcement department of the City of Maderia Beach within five (5) days at 300 Municipal Drive, Maderia Beach, Florida 33708, telephone number (727) 391-9951 ext 298.

Your failure to respond to the previously issued Notice of Violation has resulted in costs of prosecution of this case.

PLEASE NOTE: Should any interested party seek to appeal any decision made by the Special Magistrate with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made which record includes the testimony and evidence upon which the appeal is to be based per Florida Statute 286.0105.

I DO HEREBY CERTIFY that a copy of the foregoing Notice of Hearing was mailed to Respondent(s) by certified mail, return receipt requested.

Dated this 16 day of January, 2026.


Holden Pinkard, Building Compliance Supervisor
City of Madeira Beach

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. CE-25-105

KAPAKORP LLC
1517 FLANGE DR
DAVENPORT, FL, 33896

Respondents.

RE Property: 30 Lynn Way **Parcel #**10-31-15-34470-024-0070

Legal Description: GULF SHORES 6TH ADD REPLAT BLK X, LOT 7

AFFIDAVIT OF SERVICE

I, Holden Pinkard, Building Code Compliance Supervisor of the City of Madeira Beach, upon being duly sworn, deposed and says the following:

That pursuant to Florida Statute 162.12,

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via Certified Mail, Return Receipt Requested.

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via First Class mail.

On the 16 day of January, 2026, I posted a copy of the attached NOTICE OF HEARING on the property located at 30 Lynn Way, Parcel #10-31-15-34470-024-0070 the City of Madeira Beach.

On the 16 day of January, 2026, I caused the attached NOTICE OF HEARING to be posted at the Municipal Government Offices, 300 Municipal Drive, Madeira Beach; and that said papers remain posted at the Municipal Government Offices for a period of not less than ten days from the date of posting.



**Holden Pinkard, Code Compliance Supervisor
City of Madeira Beach**

STATE OF FLORIDA

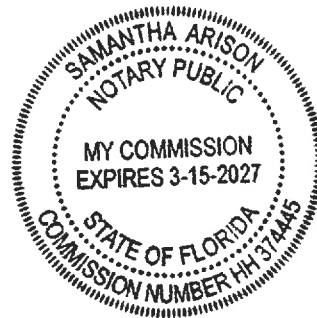
COUNTY OF PINELLAS

The foregoing instrument was acknowledged before me, the undersigned authority, by means of ✓ physical presence or _____ online notarization, this 16th day of January, 2026, by Holden Pinkard, who is personally known to me, or produced _____ as identification. My Commission Expires: 03-15-27

Notary Public- State of Florida



Print or type Name. Samantha Arison



**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2025

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708,

Petitioner,

vs.

CASE NO. CE-25-105

KAPAKORP LLC
1517 FLANGE DR
DAVENPORT, FL, 33896

Respondents.


AFFIDAVIT OF NON-COMPLIANCE

I, Holden Pinkard, *Building Compliance Supervisor*, have personally examined the property described in

Madeira Beach Notice of Violation: 07-22-2025

Madeira Beach Special Magistrate Order: 11-17-2025

In the above-mentioned case and find that said property is not in compliance with Sec. 86-52 of the Code of City of Madeira Beach, Florida, as of 11-18-2025



Holden Pinkard, Building Compliance Supervisor

STATE OF FLORIDA

COUNTY OF PINELLAS

Before me on this 16th day of January 2026, Holden Pinkard personally appeared who executed the foregoing instrument and who is personally known to me.



Notary



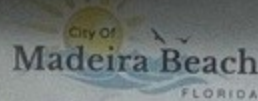
Jan 15, 2026 at 10:50:27 AM

Item 6H.



314

January 15, 2026 at 11:46:38 AM



CITY OF MADEIRA BEACH

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
N. DAVID C IV
N. KONNY A
N. BAYSHORE DR
JRA BEACH FL 33708-2233

Respondents,
Property: 14210 N. Bayshore Dr. Parcel #10-31-15-34326-004-0100

Description: GULF SHORES 1ST ADD BLK D, LOTS 10 AND 11

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
HERNANDEZ GLOBAL INVESTMENT GROUP LLC
12015 SW 18TH ST UNIT 8
MIAMI, FL 33175-1691

Respondents,
RE Property: 410 VIRGINIA AVE. Parcel #10-31-15-34380-017-0030

Legal Description: GULF SHORES 4TH ADD BLK Q, LOT 3

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
MEDITERRANEAN OF MADEIRA CONDO ASSN INC
17910 GULF BLVD
MADEIRA BEACH, FL 33708-2567

Respondents,
RE Property: 13910 GULF BLVD Parcel #15-3

Legal Description: MEDITERRANEAN OF MADEIRA CONDO, TH

**NOTICE OF HEARING
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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
ILARIO SIMONETTA
13225 2nd ST. E
MADEIRA BEACH, FL 33708-2407

Respondents,
RE Property: 13225 2nd St. E Parcel #15-31-15-45304-011-0040

Legal Description: 13225 2ND ST E MADEIRA BEACH FL LLC

**NOTICE OF HEARING
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YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY the 26th day of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
AN ENTERPRISE LLC
BAYSHORE BLVD
PA, FL 33611

Respondents,
Property: 15398 2ND ST E, 101 & 107 154TH AVE Parcel #09-31-15-526

Legal Description: LONE PALM BEACH 5TH ADD BLK 28, LOTS 13 & 14 TH PART OF LOTS 1 & 2 DESC BEG MOST NLY COR OF SD LOT 1 TH S 40021' W 16FT TH WLY 118 9FT TO MOST WLY COR OF LOT 1 TH N 4

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
MADEIRA BEACH GETAWAY LLC
4650 HUNTINGTON ST NE
ST PETERSBURG, FL 33703-4201

Respondents,
RE Property: 14503 N. Bayshore Dr. Parcel #10-31-15

Legal Description: MADEIRA BEACH 1ST ADD LOT 45

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
KAPAKORP LLC
1517 FLANGE DR
DAVENPORT, FL 33607

Respondents,
RE Property: 30 Lynn Way Parcel #10-31-15-34470-024-0070

Legal Description: GULF SHORES 6TH ADD REPLAT BLK X, LOT 7

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
OLIVIA LAND & SAND LLC
3104 N ARMINIA AVE STE 1
TAMPA, FL 33607-1658

Respondents,
RE Property: 11 Lynn Way Parcel #10-31-15-34452-231-0050

Legal Description: GULF SHORES 6TH ADD REPLAT BLK W, LOT 5

**NOTICE OF HEARING
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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
R REALTY & ESTATES LLC
660 MIRAMAR AVE
MADEIRA BEACH FL 33708-2590

Respondents,
RE Property: 14060 Miramar Dr. Parcel #10-31-15-34362-011-0150

Legal Description: GULF SHORES 3RD ADD REPLAT BLK K, LOTS 15 AND 16

**NOTICE OF HEARING
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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
OLIVIA LAND & SAND LLC
3104 N ARMINIA AVE STE 1
TAMPA, FL 33607-1658

Respondents,
RE Property: 154 154th Ave. Parcel #09-31-15-52596

Legal Description: LONE PALM BEACH 4TH ADD BLK 26, LOT

**NOTICE OF HEARING
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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
IVANCHUK, NAZARY
431 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents,
RE Property: 431 Virginia Ave. Parcel #10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
IVANCHUK, NAZARY
431 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents,
RE Property: 431 Virginia Ave. Parcel #10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH

CITY OF MADEIRA BEACH,

CASE NUMBER: CE-25-129

Petitioner,

vs.

OCEAN ENTERPRISE LC,
101 & 107 154th Ave., 15398 2nd St E.
Madeira Beach, FL 33708,

Respondent.

_____/

**FINDINGS OF FACT, CONCLUSIONS OF LAW
AND ORDER IMPOSING FINE AND CERTIFYING LIEN**

THIS CAUSE came on to be heard at the public hearing before the undersigned Special Magistrate on October 27, 2025, after due notice to the Respondent, and the Special Magistrate having heard testimony under oath, received evidence, and otherwise being fully advised in the premises, hereby finds as follows:

Findings of Fact:

1. The City was represented by the City Attorney, and Holden Pinkard provided testimony on behalf of the City.
2. No one appeared on behalf of the Respondent.
3. No one provided public comment.
4. The property in question is located at 101 & 107 154th Ave., 15398 2nd St E., Madeira Beach, Florida 33708 ("Property"). The legal description for the Property is as follows:

**LONE PALM BEACH 5TH ADD BLK 28, LOTS 13 & 14 TOGETHER
WITH THAT PART OF LOTS 1 & 2 DESC BEG MOST N'LY COR OF SD
LOT 1 TH S49D39'E 84FT TH S40D21'W 16FT TH W'LY 118.9FT TO
MOST W'LY COR OF LOT 1 TH N40D21'E 100FT TO POB**

5. Proper notice was served upon the Respondent via certified mail, regular mail, posting or hand delivery in accordance with Chapters 162 and 166, *Florida Statutes*.
6. The Respondent was notified that Respondent was in violation of the following sections of the Code of Ordinances of the City of Madeira Beach to wit:

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any appurtenances, the installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

7. The violation set forth above existed as of the date of the Notice of Violation herein and at all times subsequent thereto up to the date of the Hearing.

8. A reasonable period of time for correcting the above violation and bringing the Property into compliance is on or before November 26, 2025.

BASED UPON THE FOREGOING FINDINGS OF FACT, IT IS HEREBY ORDERED AND ADJUDGED AS FOLLOWS:

9. The Respondent, and the Property at the above mentioned location, are found to be in violation of Section 86-52, of the Code of Ordinances of the City of Madeira Beach.

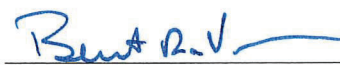
10. The Respondent shall correct the above stated violation on or before November 26, 2025, by taking the remedial action as set forth in the Notice of Violation, and as stated on the record at the Hearing which is to apply for and obtain an after-the-fact building permit.

11. Upon complying, the Respondent shall notify the Code Compliance Officer at the City of Madeira Beach, who shall then inspect the Property to confirm compliance has been accomplished.

12. If the Respondent fails to timely comply with the remedial actions as set forth above, a fine shall be imposed, in the amount of \$250.00 per day for the violation set forth in Paragraph 6 above for each day the Respondent has failed to correct the violation after November 26, 2025, and the fine shall continue to accrue until such time as the Property is brought into compliance.

13. The Special Magistrate does hereby retain jurisdiction over this matter to enter such other and further orders as may be just and proper.

DONE AND ORDERED this 17th day of November, 2025.



Bart R. Valdes
Special Magistrate

A true and correct copy of this Findings of Fact was delivered by certified mail and regular mail to: **OCEAN ENTERPRISE LC, 101 & 107 154th Ave., 15398 2nd St E., Madeira Beach, FL 33708; and 5424 Bayshore Blvd., Tampa, FL 33611**, by electronic mail to **Thomas Trask, Esq. (tom@cityattorneys.legal)**; and by U.S. Mail and e-mail transmission to the **City of Madeira Beach, Clara VanBlargan, 300 Municipal Dr., Madeira Beach, Florida 33708**, on this 17th day of November, 2025.



Bart R. Valdes

APPEALS

An aggrieved party, including the local governing body, may appeal a final administrative order of a Special Magistrate to the circuit court. Such an appeal shall not be a hearing de nova but shall be limited to appellate review of the record created before the Special Magistrate. An appeal shall be filed within 30 days of the execution of the order to be appealed. §162.11, *Florida Statutes* (2024).

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. CE-25-129

OCEAN ENTERPRISE LC
5424 BAYSHORE BLVD
TAMPA, FL, 33611

Respondents.

RE Property: 15398 2ND ST E, 101 & 107 154TH AVE **Parcel #**09-31-15-52614-028-0130

Legal Description: LONE PALM BEACH 5TH ADD BLK 28, LOTS 13 & 14 TOGETHER WITH THAT PART OF LOTS 1 & 2 DESC BEG MOST N'LY COR OF SD LOT 1 TH S49D39'E 84FT TH S40D21'W 16FT TH W'LY 118.9FT TO MOST W'LY COR OF LOT 1 TH N40D21'E 100FT TO POB

NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE

To whom it may concern:

YOU ARE HEREBY FORMALLY NOTIFIED that at **12:00 pm** on **MONDAY** the **26th** day of **January**, **2026** at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52. – When required.

A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change

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not exceed \$500.00, does not result in a structural change, and does not require an inspection, a permit need not be issued by the building official. No permit is required for uncovering flat slabs of no greater than 50 square feet, for work of strictly cosmetic nature (painting, wallpapering, carpeting, kitchen cabinets, etc.) or roof work less than \$100.00 in value.

You are hereby ordered to appear before the Special Magistrate of the City of Madeira Beach on that date and time to answer these charges and to present your side of the case. Failure to appear may result in the Special Magistrate proceeding in your absence.

Should you be found in violation of the above code, the Special Magistrate has the power by law to levy fines of up to \$250.00 per day for an initial violation(s) and \$500.00 per day for repeat violations against you and your property for every day that any violation continues beyond the date set in an order of the Special Magistrate for compliance.

If the violation is corrected and then recurs, or if the violation is not corrected by the time specified by the Code Enforcement Officer for correction, the case may still be presented to the Special Magistrate of the City of Madeira Beach even if the violation has been corrected prior to the Special Magistrate hearing.

Should you desire, you have the right to obtain an attorney at your own expense to represent you before the Special Magistrate. You will also have the opportunity to present witnesses as well as question the witnesses against you prior to the Special Magistrate making a determination.

Please be prepared to present evidence at this meeting concerning the time frame necessary to correct the alleged violation(s), should you be found in violation of the City Code.

If you wish to have any witnesses subpoenaed or have any other questions, please contact the Code Enforcement department of the City of Maderia Beach within five (5) days at 300 Municipal Drive, Maderia Beach, Florida 33708, telephone number (727) 391-9951 ext 298.

Your failure to respond to the previously issued Notice of Violation has resulted in costs of prosecution of this case.

PLEASE NOTE: Should any interested party seek to appeal any decision made by the Special Magistrate with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made which record includes the testimony and evidence upon which the appeal is to be based per Florida Statute 286.0105.

I DO HEREBY CERTIFY that a copy of the foregoing Notice of Hearing was mailed to Respondent(s) by certified mail, return receipt requested.
Dated this 16 day of January, 2026.

Holden Pinkard

**Holden Pinkard, Building Compliance Supervisor
City of Madeira Beach**

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. CE-25-129

OCEAN ENTERPRISE LC
5424 BAYSHORE BLVD
TAMPA, FL, 33611

Respondents.

RE Property: 101 & 107 154th Ave, 15398 2nd St E **Parcel #**09-31-15-52614-028-0130

Legal Description: LONE PALM BEACH 5TH ADD BLK 28, LOTS 13 & 14 TOGETHER WITH THAT PART OF LOTS 1 & 2 DESC BEG MOST N'LY COR OF SD LOT 1 TH S49D39'E 84FT TH S40D21'W 16FT TH W'LY 118.9FT TO MOST W'LY COR OF LOT 1 TH N40D21'E 100FT TO POB

AFFIDAVIT OF SERVICE

I, Holden Pinkard, Building Code Compliance Supervisor of the City of Madeira Beach, upon being duly sworn, deposed and says the following:

That pursuant to Florida Statute 162.12,

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via Certified Mail, Return Receipt Requested.

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via First Class mail.

On the 16 day of January, 2026, I posted a copy of the attached NOTICE OF HEARING on the property located at 101 & 107 154th Ave, 15398 2nd St E, Parcel #09-31-15-52614-028-0130 the City of Madeira Beach.

On the 16 day of January, 2026, I caused the attached NOTICE OF HEARING to be posted at the Municipal Government Offices, 300 Municipal Drive, Madeira Beach; and that said papers remain posted at the Municipal Government Offices for a period of not less than ten days from the date of posting.

Holden Pinkard

**Holden Pinkard, Code Compliance Supervisor
City of Madeira Beach**

STATE OF FLORIDA

COUNTY OF PINELLAS

The foregoing instrument was acknowledged before me, the undersigned authority, by means of ✓ physical presence or online notarization, this 16th day of January, 2026, by Holden Pinkard, who is personally known to me, or produced as identification. My Commission Expires: 03-15-27

Notary Public- State of Florida

Samantha Arison

Print or type Name. Samantha Arison



**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2025

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708,

Petitioner,

vs.

CASE NO. CE-25-129

OCEAN ENTERPRISE LC
5424 BAYSHORE BLVD
TAMPA, FL, 33611

Respondents.

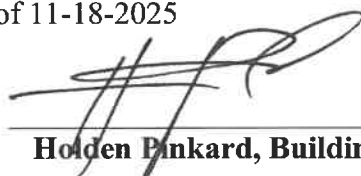
AFFIDAVIT OF NON-COMPLIANCE

I, Holden Pinkard, *Building Compliance Supervisor*, have personally examined the property described in

Madeira Beach Notice of Violation: 09-09-2025

Madeira Beach Special Magistrate Order: 11-17-2025

In the above-mentioned case and find that said property is not in compliance with Sec. 86-52 of the Code of City of Madeira Beach, Florida, as of 11-18-2025



Holden Pinkard, Building Compliance Supervisor

STATE OF FLORIDA

COUNTY OF PINELLAS

Before me on this 16th day of January 2026, Holden Pinkard personally appeared who executed the foregoing instrument and who is personally known to me.



Notary



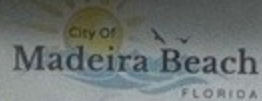
Jan 15, 2026 at 10:29:02 AM

Item 61.



325

January 15, 2026 at 11:46:38 AM



CITY OF MADEIRA BEACH

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
N. DAVID C IV
N. KONNY A
N. BAYSHORE DR
JRA BEACH FL 33708-2233

Respondents,
Property: 14210 N. Bayshore Dr. Parcel #10-31-15-34326-004-0100

Description: GULF SHORES 1ST ADD BLK D, LOTS 10 AND 11

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
HERNANDEZ GLOBAL INVESTMENT GROUP LLC
12015 SW 18TH ST UNIT 8
MIAMI, FL 33175-1691

Respondents,
RE Property: 410 VIRGINIA AVE. Parcel #10-31-15-34380-017-0030

Legal Description: GULF SHORES 4TH ADD BLK Q, LOT 3

**NOTICE OF HEARING
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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
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Petitioner,
MEDITERRANEAN OF MADEIRA CONDO ASSN INC
13910 GULF BLVD
MADEIRA BEACH, FL 33708-2567

Respondents,
RE Property: 13910 GULF BLVD Parcel #15-3

Legal Description: MEDITERRANEAN OF MADEIRA CONDO, TH

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CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
ILARIO SIMONETTA
13225 2nd ST. E
MADEIRA BEACH, FL
33708-2407

Respondents,
RE Property: 13225 2nd St. E Parcel #15-31-15-45304-011-0040

Legal Description: 13225 2ND ST E MADEIRA BEACH FL LLC

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY the 26th day of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
AN ENTERPRISE LLC
BAYSHORE BLVD
PA, FL 33611

Respondents,
Property: 15398 2ND ST E, 101 & 107 154TH AVE Parcel #09-31-15-526

Description: LONE PALM BEACH 5TH ADD BLK 28, LOTS 13 & 14 TH PART OF LOTS 1 & 2 DESC BEG MOST NLY COR OF SD LOT 1 TH S 40021' W 16FT TH WLY 118 9FT TO MOST WLY COR OF LOT 1 TH N 4

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

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Sec. 86-52 - When required.
A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter any fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any apparatus installation of which is regulated by the land development regulations or other sections of the Code.

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
MADEIRA BEACH GETAWAY LLC
4650 HUNTINGTON ST NE
ST PETERSBURG, FL 33703-4201

Respondents,
RE Property: 14503 N. Bayshore Dr. Parcel #10-31-15

Legal Description: MADEIRA SHORES 1ST ADD LOT 45

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
KAPAKORP LLC
1517 FLANGE DR
DAVENPORT, FL 33607

Respondents,
RE Property: 30 Lynn Way Parcel #10-31-15-34470-024-0070

Legal Description: GULF SHORES 6TH ADD REPLAT BLK X, LOT 7

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
OLIVA LAND & SAND LLC
3104 N ARMINIA AVE STE 1
TAMPA, FL 33607-1658

Respondents,
RE Property: 11 Lynn Way Parcel #10-31-15-34452-231-0050

Legal Description: GULF SHORES 6TH ADD REPLAT BLK W, LOT 5

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
K. REALTY & ESTATES LLC
660 MIRAMAR AVE
MADEIRA BEACH FL 33708-2590

Respondents,
E Property: 14060 Miramar Dr. Parcel #10-31-15-34362-011-0150

Legal Description: GULF SHORES 3RD ADD REPLAT BLK K, LOTS 15 AND 16

**NOTICE OF HEARING
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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
OLIVA LAND & SAND LLC
3104 N ARMINIA AVE STE 1
TAMPA, FL 33607-1658

Respondents,
RE Property: 154 154th Ave. Parcel #09-31-15-52596

Legal Description: LONE PALM BEACH 4TH ADD BLK 26, LOT

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
IVANCHUK, NAZARY
431 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents,
RE Property: 431 Virginia Ave. Parcel #10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
IVANCHUK, NAZARY
431 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents,
RE Property: 431 Virginia Ave. Parcel #10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH

CITY OF MADEIRA BEACH,

CASE NUMBER: CE-25-67

Petitioner,

vs.

BROWN, DAVID C IV
BROWN, RONNY A,
14210 N. Bayshore Dr.
Madeira Beach, FL 33708,

Respondents.

**FINDINGS OF FACT, CONCLUSIONS OF LAW
AND ORDER IMPOSING FINE AND CERTIFYING LIEN**

THIS CAUSE came on to be heard at the public hearing before the undersigned Special Magistrate on October 7, 2025, after due notice to the Respondents, and the Special Magistrate having heard testimony under oath, received evidence, and otherwise being fully advised in the premises, hereby finds as follows:

Findings of Fact:

1. The City was represented by the City Attorney, and Holden Pinkard provided testimony on behalf of the City.
2. David Brown appeared on behalf of the Respondents.
3. No one provided public comment.
4. The property in question is located at 14210 N. Bayshore Dr., Madeira Beach, Florida 33708 ("Property"). The legal description for the Property is as follows:

GULF SHORES 1ST ADD BLK D, LOTS 10 AND 11

5. Proper notice was served upon the Respondents via certified mail, regular mail, posting or hand delivery in accordance with Chapters 162 and 166, *Florida Statutes*.
6. The Respondents were notified that Respondents were in violation of the following sections of the Code of Ordinances of the City of Madeira Beach to wit:

Sec. 14-69. - Same—Maintenance of the exterior of premises.

The exterior of premises and all structures thereon including but not limited to private

property and vacant lots shall be kept free of all hazards to the health, safety and welfare of persons on or near the premises. It shall be the duty of the owner/occupant of such property to promptly abate or remove the same.

(3) Overhanging or overhead objects which are loose, insecurely fastened or otherwise constitute a danger of falling on persons or property by reason of their location above the ground shall not be stored or maintained on private property.

7. The violation set forth above existed as of the date of the Notice of Violation herein and at all times subsequent thereto up to the date of the Hearing.

8. A reasonable period of time for correcting the above violation and bringing the Property into compliance is on or before November 6, 2025.

BASED UPON THE FOREGOING FINDINGS OF FACT, IT IS HEREBY ORDERED AND ADJUDGED AS FOLLOWS:

9. The Respondents, and the Property at the above mentioned location, are found to be in violation of Section 14-69, of the Code of Ordinances of the City of Madeira Beach.

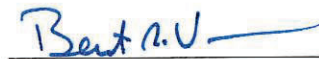
10. The Respondents shall correct the above stated violation on or before November 6, 2025, by taking the remedial action as set forth in the Notice of Violation, and as stated on the record at the Hearing.

11. Upon complying, the Respondents shall notify the Code Compliance Officer at the City of Madeira Beach, who shall then inspect the Property to confirm compliance has been accomplished.

12. If the Respondents fail to timely comply with the remedial actions as set forth above, a fine shall be imposed, in the amount of \$250.00 per day for the violation set forth in Paragraph 6 above for each day the Respondents have failed to correct the violation after November 6, 2025, and the fine shall continue to accrue until such time as the Property is brought into compliance.

13. The Special Magistrate does hereby retain jurisdiction over this matter to enter such other and further orders as may be just and proper.

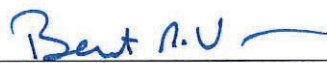
DONE AND ORDERED this 9th day of October, 2025.



Bart R. Valdes
Special Magistrate

A true and correct copy of this Findings of Fact was delivered by certified mail and regular mail to: **BROWN, DAVID C IV, and BROWN, RONNY A, 14210 N. Bayshore Dr., Madeira Beach, FL 33708**; by electronic mail to **Thomas Trask, Esq. (tom@cityattorneys.legal)**; and by U.S. Mail and e-mail transmission to the **City of Madeira Beach, Clara VanBlargan, 300**

Municipal Dr., Madeira Beach, Florida 33708, on this 5th day of October, 2025.


Bart R. Valdes

APPEALS

An aggrieved party, including the local governing body, may appeal a final administrative order of a Special Magistrate to the circuit court. Such an appeal shall not be a hearing de nova but shall be limited to appellate review of the record created before the Special Magistrate. An appeal shall be filed within 30 days of the execution of the order to be appealed. §162.11, *Florida Statutes* (2024).

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. CE-25-67

BROWN, DAVID C IV
BROWN, RONNY A
14210 N BAYSHORE DR
MADEIRA BEACH FL 33708-2233

Respondents.

RE Property: 14210 N. Bayshore Dr. **Parcel #**10-31-15-34326-004-0100

Legal Description: GULF SHORES 1ST ADD BLK D, LOTS 10 AND 11

NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE

To whom it may concern:

YOU ARE HEREBY FORMALLY NOTIFIED that at **12:00 pm** on **MONDAY** the **26th** day of **JANUARY, 2026** at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 14-69. - Same—Maintenance of the exterior of premises.

The exterior of premises and all structures thereon including but not limited to private property and vacant lots shall be kept free of all hazards to the health, safety and welfare of persons on or near the premises. It shall be the duty of the owner/occupant of such property to promptly abate or remove the same.

(3) Overhanging or overhead objects which are loose, insecurely fastened or otherwise constitute a danger of falling on persons or property by reason of their location above the ground shall not be stored or maintained on private property.

You are hereby ordered to appear before the Special Magistrate of the City of Madeira Beach on that date and time to answer these charges and to present your side of the case. Failure to appear may result in the Special Magistrate proceeding in your absence.

Should you be found in violation of the above code, the Special Magistrate has the power by law to levy fines of up to \$250.00 per day for an initial violation(s) and \$500.00 per day for repeat violations against you and your property for every day that any violation continues beyond the date set in an order of the Special Magistrate for compliance.

If the violation is corrected and then recurs, or if the violation is not corrected by the time specified by the Code Enforcement Officer for correction, the case may still be presented to the Special Magistrate of the City of Madeira Beach even if the violation has been corrected prior to the Special Magistrate hearing.

Should you desire, you have the right to obtain an attorney at your own expense to represent you before the Special Magistrate. You will also have the opportunity to present witnesses as well as question the witnesses against you prior to the Special Magistrate making a determination.

Please be prepared to present evidence at this meeting concerning the time frame necessary to correct the alleged violation(s), should you be found in violation of the City Code.

If you wish to have any witnesses subpoenaed or have any other questions, please contact the Code Enforcement department of the City of Madeira Beach within five (5) days at 300 Municipal Drive, Madeira Beach, Florida 33708, telephone number (727) 391-9951 ext 298.

Your failure to respond to the previously issued Notice of Violation has resulted in costs of prosecution of this case.

PLEASE NOTE: Should any interested party seek to appeal any decision made by the Special Magistrate with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made which record includes the testimony and evidence upon which the appeal is to be based per Florida Statute 286.0105.

I DO HEREBY CERTIFY that a copy of the foregoing Notice of Hearing was mailed to Respondent(s) by certified mail, return receipt requested.

Dated this 16th day of JANUARY, 2026.



**Holden Pinkard, Building Compliance Supervisor
City of Madeira Beach**

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,

vs.

CASE NO. CE-25-67

BROWN, DAVID C IV
BROWN, RONNY A
14210 N BAYSHORE DR
MADEIRA BEACH FL 33708-2233

Respondents.

RE Property: 14210 N Bayshore Dr **Parcel #**10-31-15-34326-004-0100

Legal Description: GULF SHORES 1ST ADD BLK D, LOTS 10 AND 11

AFFIDAVIT OF SERVICE
AFFIDAVIT OF COMPLIANCE

I, Holden Pinkard, Building Code Compliance Supervisor of the City of Madeira Beach, upon
being duly sworn, deposed and says the following:

That pursuant to Florida Statute 162.12,

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via
Certified Mail, Return Receipt Requested.

On the 16 day of January, 2026, I mailed a copy of the attached NOTICE OF HEARING via
First Class mail.

On the 16 day of January, 2026, I posted a copy of the attached NOTICE OF HEARING on
the property located at 14210 N Bayshore Dr, Parcel #10-31-15-34326-004-0100 the City of
Madeira Beach.

On the 16 day of January, 2026, I caused the attached NOTICE OF HEARING to be
posted at the Municipal Government Offices, 300 Municipal Drive, Madeira Beach; and that
said papers remain posted at the Municipal Government Offices for a period of not less than ten days
from the date of posting.



**Holden Pinkard, Code Compliance Supervisor
City of Madeira Beach**

STATE OF FLORIDA

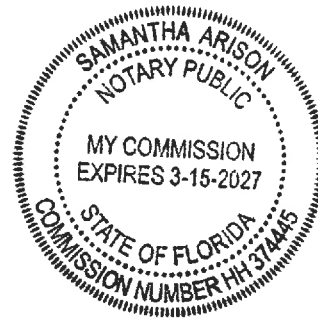
COUNTY OF PINELLAS

The foregoing instrument was acknowledged before me, the undersigned authority, by means of ✓ physical presence or online notarization, this 16th day of January, 2026, by Holden Pinkard, who is personally known to me, or produced as identification. My Commission Expires: 03-15-27

Notary Public- State of Florida



Print or type Name. Samantha Arison



**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708,

Petitioner,

vs.

CASE NO. CE-25-67

BROWN, DAVID C IV
BROWN, RONNY A
14210 N BAYSHORE DR
MADEIRA BEACH FL 33708-2233

Respondents,

AFFIDAVIT OF COMPLIANCE

I, Holden Pinkard, *Building Compliance Supervisor*, have personally examined the property described in:

Madeira Beach Notice of Violation: 06-20-2025

Madeira Beach Special Magistrate Order: 10-09-2025

In the above-mentioned case and find that said property is in compliance with Sec. 14-69 of the Code of City of Madeira Beach, Florida, as of 11-26-2025


Holden Pinkard, Building Compliance Supervisor

STATE OF FLORIDA

COUNTY OF PINELLAS

Before me on this 16th day of January 2026, Holden Pinkard personally appeared who executed the foregoing instrument and who is personally known to me.



Notary



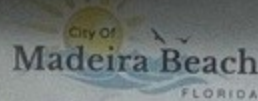
Jan 15, 2026 at 11:04:04 AM

Item 6J.



335

January 15, 2026 at 11:46:38 AM



CITY OF MADEIRA BEACH

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
N. DAVID C IV
N. KONNY A
N. BAYSHORE DR
JRA BEACH FL 33708-2233

Respondents,
14210 N. Bayshore Dr. Parcel #10-31-15-34326-004-0100

Legal Description: GULF SHORES 1ST ADD BLK D, LOTS 10 AND 11

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
HERNANDEZ GLOBAL INVESTMENT GROUP LLC
12015 SW 18TH ST UNIT 8
MIAMI, FL 33175-1691

Respondents,
410 VIRGINIA AVE. Parcel #10-31-15-34380-017-0030

Legal Description: GULF SHORES 4TH ADD BLK Q, LOT 3

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
MEDITERRANEAN OF MADEIRA CONDO ASSN INC
17910 GULF BLVD
MADEIRA BEACH, FL 33708-2567

Respondents,
13910 GULF BLVD Parcel #15-3

Legal Description: MEDITERRANEAN OF MADEIRA CONDO, TH

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
ILARIO SIMONETTA
13225 2nd ST. E
MADEIRA BEACH, FL 33708-2407

Respondents,
13225 2nd St. E Parcel #15-31-15-45304-011-0040

Legal Description: 13225 2ND ST E MADEIRA BEACH FL LLC

**NOTICE OF HEARING
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CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
AN ENTERPRISE LLC
BAYSHORE BLVD
PA, FL 33611

Respondents,
15398 2ND ST E, 101 & 107 154TH AVE Parcel #09-31-15-526

Legal Description: LONE PALM BEACH 5TH ADD BLK 28, LOTS 13 & 14 TH PART OF LOTS 1 & 2 DESC BEG MOST NLY COR OF SD LOT 1 TH S 40021' W 16FT TH WLY 118 9FT TO MOST WLY COR OF LOT 1 TH N 4

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
MADEIRA BEACH GETAWAY LLC
4650 HUNTINGTON ST NE
ST PETERSBURG, FL 33703-4201

Respondents,
14503 N. Bayshore Dr. Parcel #10-31-15

Legal Description: MADEIRA SHORES 1ST ADD LOT 45

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
KAPAKORP LLC
1517 FLANGE DR
DAVENPORT, FL 33607

Respondents,
300 Lynn Way Parcel #10-31-15-34470-024-0070

Legal Description: GULF SHORES 6TH ADD REPLAT BLK X, LOT 7

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52 - When required.
A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter any fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any apparatus installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection.

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
OLIVIA LAND & SAND LLC
3104 N ARMINIA AVE STE 1
TAMPA, FL 33607-1658

Respondents,
11 Lynn Way Parcel #10-31-15-34452-231-0050

Legal Description: GULF SHORES 6TH ADD REPLAT BLK W, LOT 5

**NOTICE OF HEARING
AFFIDAVIT OF NON-COMPLIANCE**

YOU ARE HEREBY FORMALLY NOTIFIED that at 12:00 pm on MONDAY the 26th day of JANUARY, 2026 at the Madeira Beach City Center in the Patricia Shontz Commission Chambers, located at 300 Municipal Drive, Madeira Beach, Florida 33708, a hearing will be held before the Special Magistrate concerning the following code violation(s):

Sec. 86-52 - When required.
A person, firm or corporation shall not construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or erect, or construct a sign, or install or alter any fire extinguishing apparatus, elevators, engines, steam boiler, furnace, incinerator, or other heat producing apparatus, plumbing, mechanical or electrical equipment or any apparatus installation of which is regulated by the land development regulations or other sections of the Code until a permit has been issued by the building official. When the cost of repair or modification does not exceed \$500.00, does not result in a structural change, and does not require an inspection.

**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
R REALTY & ESTATES LLC
660 MIRAMAR AVE
MADEIRA BEACH FL 33708-2590

Respondents,
14060 Miramar Dr. Parcel #10-31-15-34362-011-0150

Legal Description: GULF SHORES 3RD ADD REPLAT BLK K, LOTS 15 AND 16

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
OLIVIA LAND & SAND LLC
3104 N ARMINIA AVE STE 1
TAMPA, FL 33607-1658

Respondents,
154 154th Ave. Parcel #09-31-15-52596

Legal Description: LONE PALM BEACH 4TH ADD BLK 26, LOT

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
IVANCHUK, NAZARY
411 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents,
431 Virginia Ave. Parcel #10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

**NOTICE OF HEARING
AFFIDAVIT OF COMPLIANCE**

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**CODE ENFORCEMENT SPECIAL MAGISTRATE
CITY OF MADEIRA BEACH**

January 16, 2026

City of Madeira Beach
300 Municipal Drive
Madeira Beach, Florida 33708

Petitioner,
IVANCHUK, NAZARY
411 VIRGINIA AVE
MADEIRA BEACH FL 33708-2307

Respondents,
431 Virginia Ave. Parcel #10-31-15-34380-016-0040

Legal Description: GULF SHORES 4TH ADD BLK P, LOT 4

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