



**NEIGHBORHOOD INFORMATION
MEETING - MAJOR SITE PLAN
REVIEW SP 2026-02, MADEIRA
BEACH PUBLIC WORKS BUILDING
AGENDA
Monday, April 27, 2026 at 3:00 PM
Commission Chambers, 300 Municipal Drive,
Madeira Beach, FL 33708**

This Meeting will be televised on Spectrum Channel 640 and YouTube Streamed on the City's Website.

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. MAJOR SITE PLAN REVIEW SP 2026-02**
 - A.** Major Site Plan Review SP 2026-02, Madeira Beach Public Works Building
- 4. ADJOURNMENT**

One or more Elected or Appointed Officials may be in attendance.

In accordance with the Americans with Disabilities Act and F.S. 286.26, any person with a disability requiring reasonable accommodation to participate in this meeting should call Community Development Director Marci Forbes at 727-391-9951, ext. 244; Cell Number: 727-313-0126; or email a written request to mforbes@madeirabeachfl.gov.



NEIGHBORHOOD INFORMATION MEETING NOTICE MAJOR SITE PLAN REVIEW SP 2026-02

Date of Notice Posted: April 9, 2026

From: City of Madeira Beach

Regarding: Madeira Beach Public Works Building

Address and Parcel ID: 503 150th Ave Madeira Beach, FL 33708 (09-31-15-00000-140-0300)

Purpose of This Notice

You are receiving this notice because you own property within 300 feet of the proposed development site for the Madeira Beach Public Works Building located at 503 150th Avenue Madeira Beach, FL 33708.

The City of Madeira Beach Land Development Regulations require that the project applicant hold a **Neighborhood Information Meeting** before the Planning Commission (Local Planning Agency) considers this major site plan application. This meeting provides nearby property owners with an opportunity to learn about the project, view plans, and ask questions.

Meeting Details

- **Date/Time:** April 27, 2026, 3:00 PM
- **Location:** Commission Chambers, 300 Municipal Drive, Madeira Beach, FL 33708
- **Hosted by:** City of Madeira Beach Public Works Department and Community Development Department
- **City Contact:** Andrew Morris, Long Range Planner, amorris@madeirabeachfl.gov
- **Meeting Access:** The meeting will be livestreamed and video archived at <https://www.youtube.com/@cityofmadeirabeach632>.

What Will Be Presented

- The proposed site plan and supporting documents will be presented by city staff.
- The proposed site plan will show the location and dimensions of the structure.
- The structure elevation of the proposed structure.

Question & Answer Session

- City staff will be there to answer questions related to the proposed Public Works Building, the major site plan review process, and the timeline for the project.

Posting & Documentation

This notice has been mailed to all property owners within 300 feet of the proposed site, to the Madeira Beach Board of Commissioners, the City Clerk, and the Community Development Department, and has been posted visibly on the subject property in accordance with City requirements. The application will be available to view online at <https://madeirabeachfl.gov/plan-review-documents/>.

Location Of Major Site Plan Review SP 2026-02



MADEIRA BEACH PUBLIC WORKS BUILDING

SITE DEVELOPMENT PLAN

PINELLAS COUNTY, FL
FEBRUARY 12, 2026

PREPARED FOR:
OWNER/DEVELOPER
CITY OF MADEIRA BEACH

505 150TH AVENUE
MADEIRA BEACH, FL 33708

UTILITY PROVIDERS:

811 TICKET#: 014604613
REV#: 000
TAKEN: 01/14/2026

KEVIN TALECKI / MIKE GAMBOA
ATTY/T
2901 W BUSCH BLVD, SUITE 711
TAMPA, FL 33618
PHONE: (610) 200-3365

DUFFY MCCLELLAND
CHARTER COMMUNICATIONS
2850 S. LECANTO HIGHWAY
LECANTO, FL 34461
PHONE: (352) 527-2189

DANIEL DILLIELO
FRONTIER COMMUNICATIONS
3712 W WALNUT ST
TAMPA, FL 33607
PHONE: (941) 504-9662 EX: 5328

DUKE'S CUSTOMER SERVICE CEN
DUKE ENERGY
3300 EXCHANGE PL
LAKE MARY, FL 32746
PHONE: (407) 629-1010

DANIEL DILLIELO
FRONTIER COMMUNICATIONS
3712 W WALNUT ST.
TAMPA, FL 33607
PHONE: (941) 504-9662

LES GUTHRIE
IQ FIBER (FL) LLC
8787 PERIMETER PARK BLVD
JACKSONVILLE, FL 32216
PHONE: (407) 722-2300

MONICA HUTTO
MCI
10300 OLD ALABAMA RD
ALPHARETTA, GA 00000
PHONE: (407) 996-1183

TOM MENKE
PINELLAS COUNTY UTILITIES
14 S FT HARRISON
CLEARWATER, FL 33756
PHONE: (727) 453-3611

BRIANA VELEZ
TECO PEOPLE GAS- ST PETERSBURG
8416 PALM RIVER RD,
TAMPA, FL 33619
PHONE: (813) 275-3700 EX:8326

JOSEPH PARRISH
PINELLAS COUNTY HWY/ENG
22211 US HWY 19 N BLDG #1
CLEARWATER, FL 33765
PHONE: (813) 302-0800

PROJECT CONTACTS:

ENGINEER:
JASON SHERIDAN, P.E.
PENNONI
5755 RIO VISTA DRIVE
CLEARWATER, FL 33760
PHONE: (727) 325-1257

SURVEYOR:
GEORGE R. MARTIN, P.S.M.
BULLSEYE SURVEYING, INC
2158 NIE COACHMAN, UNIT F
CLEARWATER, FL 33762
PHONE: (727) 475-8088

ARCHITECT:
SOFARELLI & ASSOCIATES ARCHITECTURE
6365 142ND AVENUE N.
CLEARWATER, FL 33760

OWNER/APPLICANT:
CITY OF MADEIRA BEACH
505 150TH AVENUE
MADEIRA BEACH, FL 33708
PHONE: (727) 543-8154

Sheet Description	Sheet Title
CS0001	Cover Sheet
CS0201	Existing Conditions Plan
CS1000	Zoning Plan
CS1001	Site Plan
CS1201	Circulation Plan
CS1501	Grading And Drainage Plan



SOILS MAP
Scale: 1" = 1000'



LOCATION MAP
Scale: 1" = 2000'



FEMA FIRM MAP
Scale: 1" = 2000'

Item 3A
Pennonni
FLORIDA COA 7819
PENNONI ASSOCIATES INC.
5755 Rio Vista Drive
Clearwater, FL 33760
T 727.536.8772 F 727.538.9125



MADEIRA BEACH PUBLIC WORKS BUILDING
505 150TH AVE
ST. PETERSBURG, FL 33708
COVER SHEET
CITY OF MADEIRA BEACH
505 150TH AVENUE
MADEIRA BEACH, FL 33708

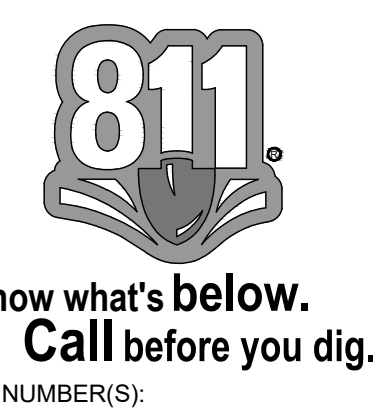
NO.	DATE	REVISIONS	BY

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE. AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

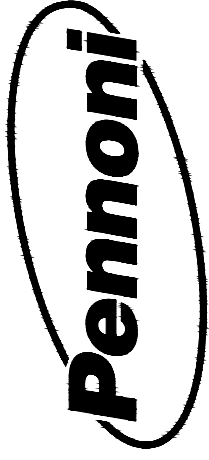
PROJECT: MDBCH25001
DATE: FEBRUARY 2026
DRAWING SCALE: NTS
DRAWN BY: RJM
APPROVED BY: JS

CS0001
SHEET 1 OF 14

U:\Projects\MDBCH\MDBCH25001 - Madeira Beach Public Works Building\SETUP\SETUP\CS0001.dwg PLOTTED: 4/22/2026 10:01:41 AM BY: Ryan Humber PLOTTED: Pennonni KCS.dwg



TICKET NUMBER(S):



PENNONI ASSOCIATES INC.
FLORIDA COA 7819
5755 Rio Vista Drive
Clearwater, FL 33760
T 727.536.8772 F 727.538.9125

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK



MADEIRA BEACH PUBLIC WORKS BUILDING
503 150TH AVE
ST. PETERSBURG, FL 33708

EXISTING CONDITIONS PLAN

CITY OF MADEIRA BEACH
505 150TH AVENUE
MADEIRA BEACH, FL 33708

Table with columns: NO., DATE, REVISIONS, BY

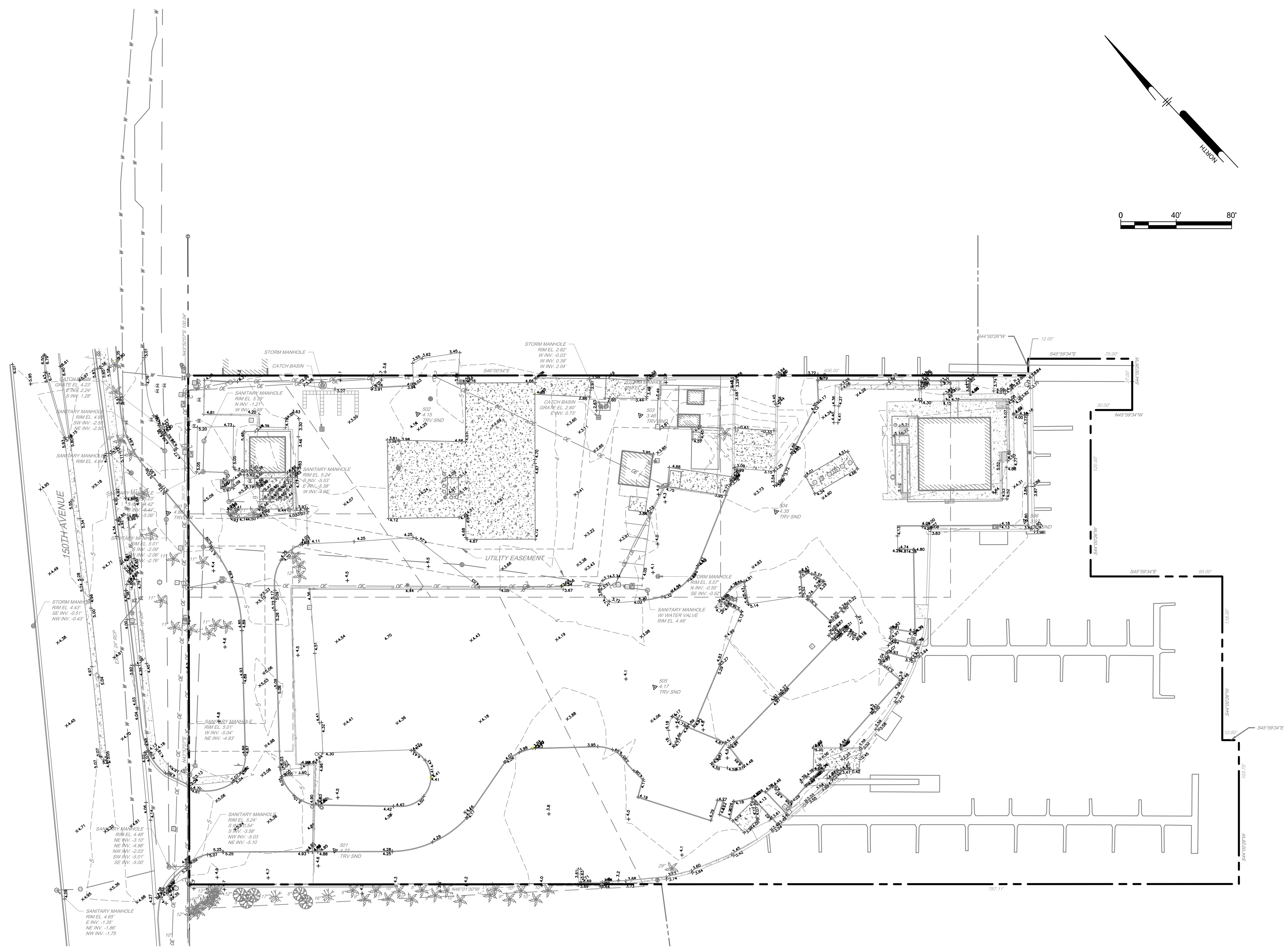
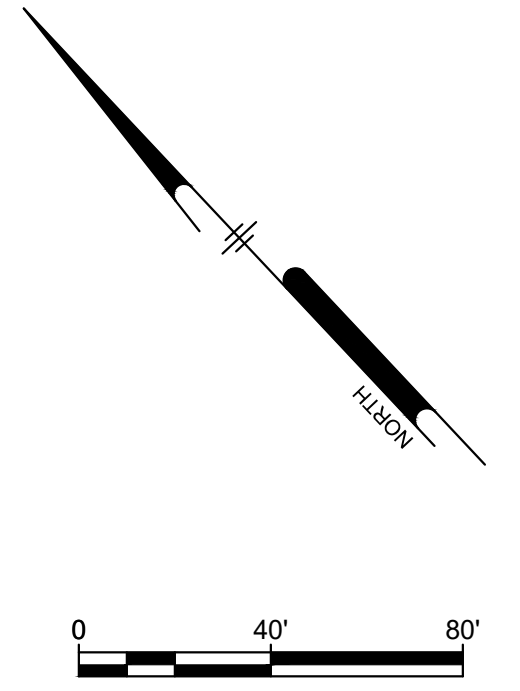
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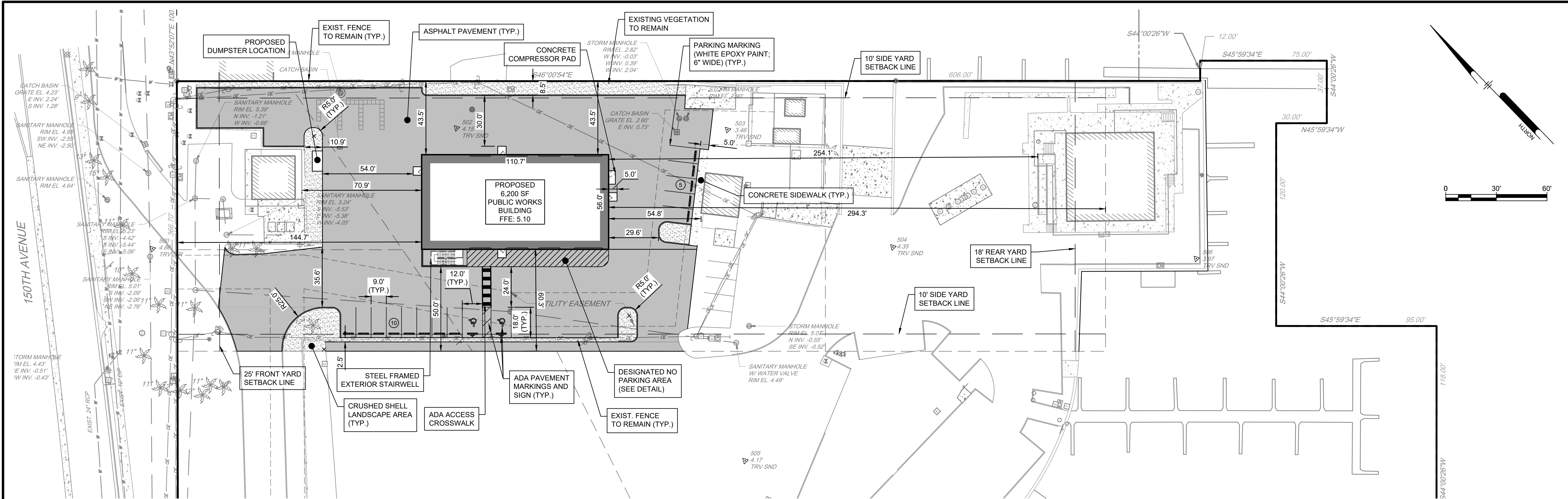
EXISTING LEGEND
PROPERTY LINE
PROPERTY ADJOINING
LEGAL RIGHT-OF-WAY
EASEMENT
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EXISTING LIGHT POLE SINGLE ARM
EXISTING ASPHALT PAVEMENT
EXISTING SIDEWALK / CONCRETE

- GENERAL NOTES:
1. BOUNDARY AND TOPOGRAPHICAL INFORMATION OBTAINED FROM FIELD SURVEY PERFORMED BY BULLSEYE SURVEYING INC.
2. LOCATIONS OF ON AND OFF SITE UTILITIES AS SHOWN ARE APPROXIMATE AND MAY OR MAY NOT BE COMPLETE. THE NATURE AND EXACT LOCATION OF EXISTING UTILITIES SHOULD BE VERIFIED PRIOR TO INITIATING ANY ACTIVITY THAT MAY AFFECT THEIR USE OR LOCATION.
3. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM EXISTING UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED AND FROM SURFACE OBSERVATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
4. IN ACCORDANCE WITH "UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT" FLORIDA STATUTES, CHAPTER 556, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE SUNSHINE ONE CALL SYSTEM, INC. (800-432-4770) A MINIMUM OF 2 WORKING DAYS BEFORE THE START OF EXCAVATION.
5. THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.

- SURVEY NOTES:
1. BASIS OF BEARING IS THE SOUTHEASTERLY RIGHT OF WAY OF THE 150TH AVENUE (TOM STUART CAUSEWAY), BEING N43°51'28"E. (STATE PLAN COORDINATE SYSTEM, FLORIDA WEST ZONE, NORTH AMERICAN DATUM, 1983 ADJUSTMENT)
2. WARRANTY DEED, RECORDED IN OFFICIAL RECORDS BOOK 17229, PAGE 553, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.
3. ELEVATIONS SHOWN HEREON BASED ON NATIONAL GEODETIC SURVEY BENCHMARK, "MADEIRA BEACH". (NORTH AMERICAN VERTICAL DATUM 1988).



U:\Account\MDBCH\MDBCH25001 - Madeira Beach Public Works Building.dwg DATE: 02/02/2026 09:51:40 AM PLOTTED: 02/26/2026 10:01:00 AM BY: Ryan Hatcher PLOTTED BY: Pennoni KCS-88



- GENERAL NOTES:**
- 1: CITY TO PROVIDE CODE COMPLIANT LANDSCAPING PRIOR TO CERTIFICATE OF OCCUPANCY (CO). IF REQUIRED, A CODE COMPLIANT UNDERGROUND IRRIGATION SYSTEM WILL BE PROVIDED BY THE CITY AS WELL.
 - 2: LIGHTING WILL BE REVIEWED AT TIME OF PERMITTING.
 - 3: ENCLOSED YARD IS GREATER THAN 200' FROM RESIDENTIAL USE.
 - 4: ALL SIGNAGE TO COMPLY WITH LDR REQUIREMENTS AND WILL BE PERMITTED SEPARATELY BY A SIGN CONTRACTOR.

SITE DATA TABLE

ADDRESS: 503 150TH AVE, ST. PETERSBURG, FL 33708

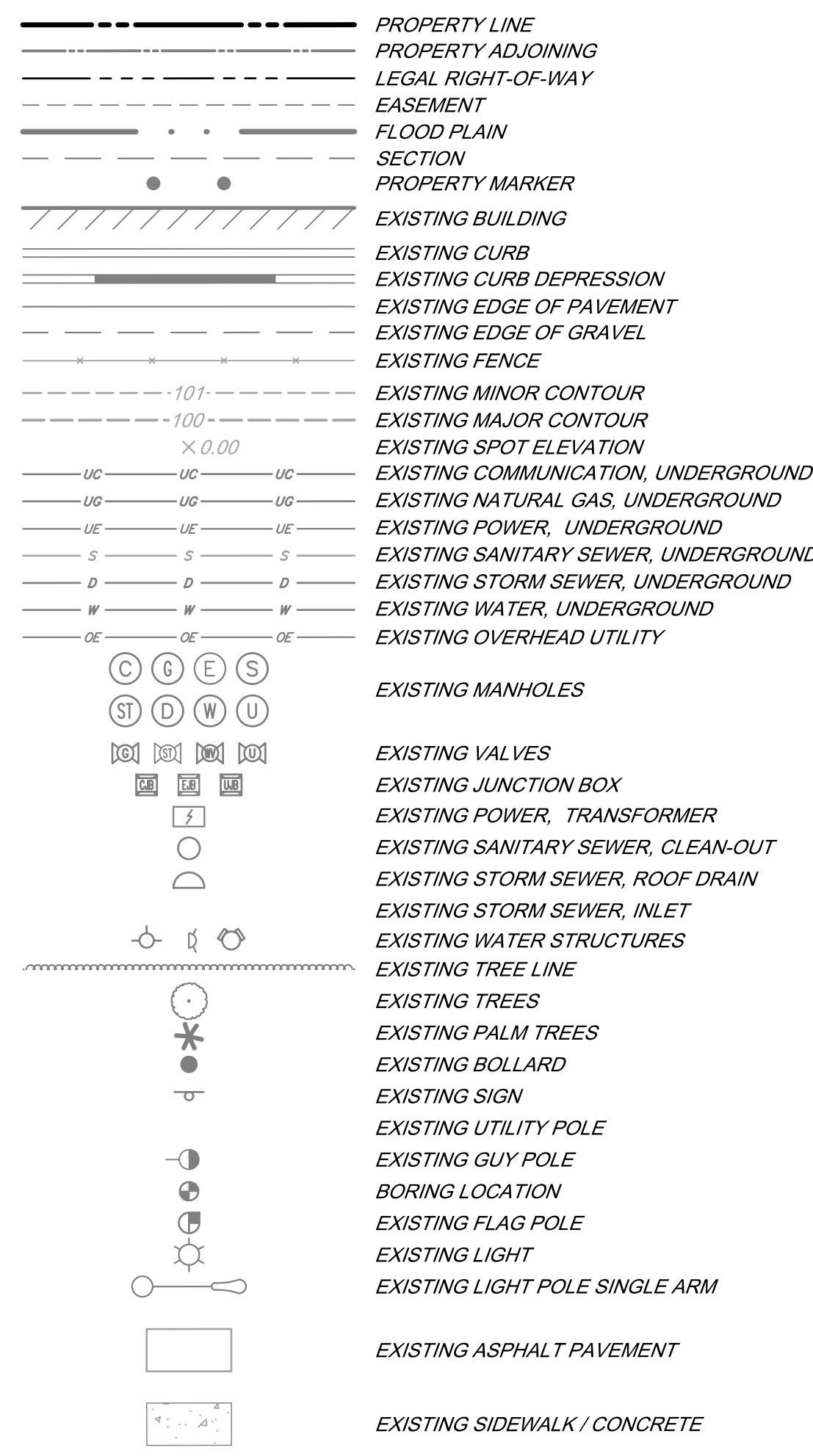
PARCEL #: 09-31-15-00000-140-0300
 ZONING: MARINE COMMERCIAL (C-4)
 FLOOD ZONE(S): VE AND COASTAL A
 TOTAL PARCEL AREA - 87,187 SQ FT. (2.00 ACRES)
 FUTURE LAND USE CLASSIFICATION: PLANNED REDEVELOPMENT MIXED USE (PR-MU)

SECTION	DEVELOPMENT AREA	REQUIRED/ALLOWABLE	EXISTING	PROPOSED	
110	USE REGULATIONS		PUBLIC SERVICE FACILITY	PUBLIC SERVICE FACILITY	
110-351	DIMENSIONAL STANDARDS	MINIMUM FRONT YARD (NW)	25 FT	41 FT	144 FT
		MINIMUM REAR YARD (SE)	18 FT	N/A	294 FT
		MINIMUM SIDE YARD (NE)	10 FT	17 FT	43 FT
		MINIMUM SIDE YARD (SW)	10 FT	68 FT	60 FT
		MAXIMUM BUILDING HEIGHT	3 STORIES ABOVE BFE	N/A	17.75 FT
		MAXIMUM IMPERVIOUS COVERAGE (SF)	61,031 SF	82,141 SF	82,141 SF
		MAXIMUM IMPERVIOUS COVERAGE (%)	0.70	0.94	0.94
F.A.R.	0.55	0.04	0.11		
SQUARE FEET OF PAVING	N/A	47,068 SF	47,068 SF		

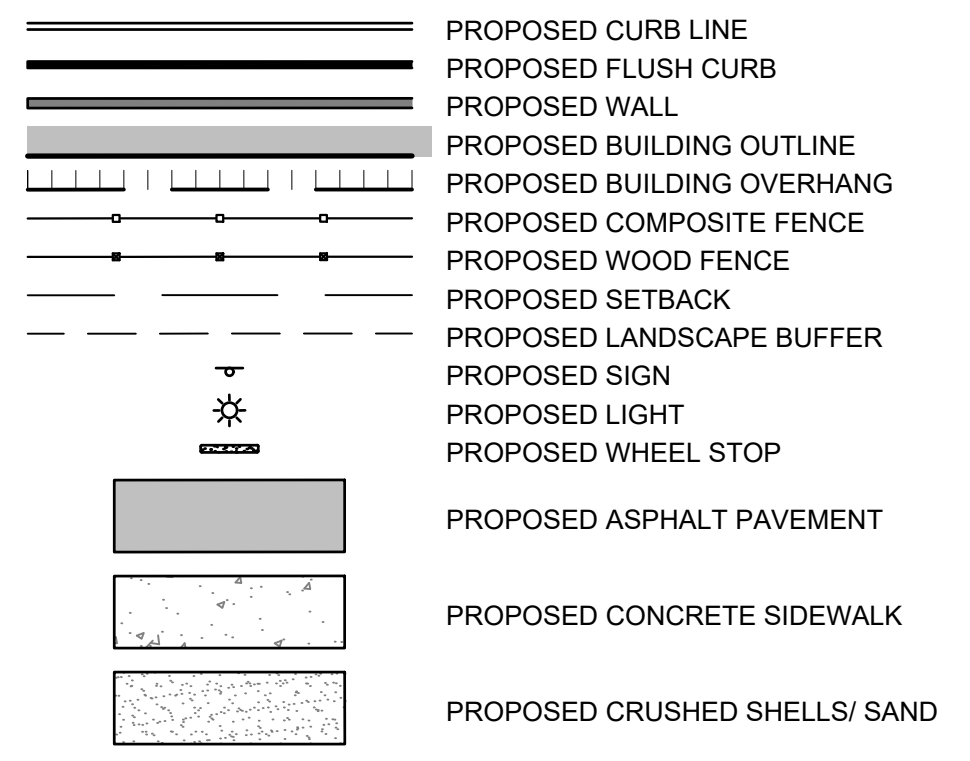
PARKING DATA TABLE

PARKING REQUIREMENTS			
	REQUIRED	ALLOWABLE	PROPOSED
REQUIRED SPACES	1 SPACE PER 1,000 SQUARE FEET GFA	13,086/1,000 = 14 SPACES	15 SPACES
REQUIRED ADA SPACES	1 ADA SPACE PER 25 PARKING SPACES	1 ADA SPACE	2 ADA SPACES (VAN ACCESSIBLE)
REQUIRED LOADING	PROPOSED BUILDING OF < 8,000 SF = 1 LOADING BERTH	1 LOADING BERTH	1 LOADING BERTH

EXISTING LEGEND



PROPOSED LEGEND



Pennoni
 FLORIDA COA 7819
PENNONI ASSOCIATES INC.
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 Clearwater, FL 33760
 T 727.536.8772 F 727.538.9125

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MADEIRA BEACH PUBLIC WORKS BUILDING
 503 150TH AVE
 ST. PETERSBURG, FL 33708

ZONING PLAN

CITY OF MADEIRA BEACH
 505 150TH AVENUE
 MADEIRA BEACH, FL 33708

NO.	DATE	REVISIONS	BY

PROJECT: MDBC25001
 DATE: FEBRUARY 2026
 DRAWING SCALE: 1"=20'
 DRAWN BY: RJM
 APPROVED BY: JS

CS1000
 SHEET 5 OF 14

PLOTTED: 4/22/26 11:43 AM BY: Ryan Humber PLOTTED: Pennoni KCS-8
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NO.	DATE	REVISIONS	BY

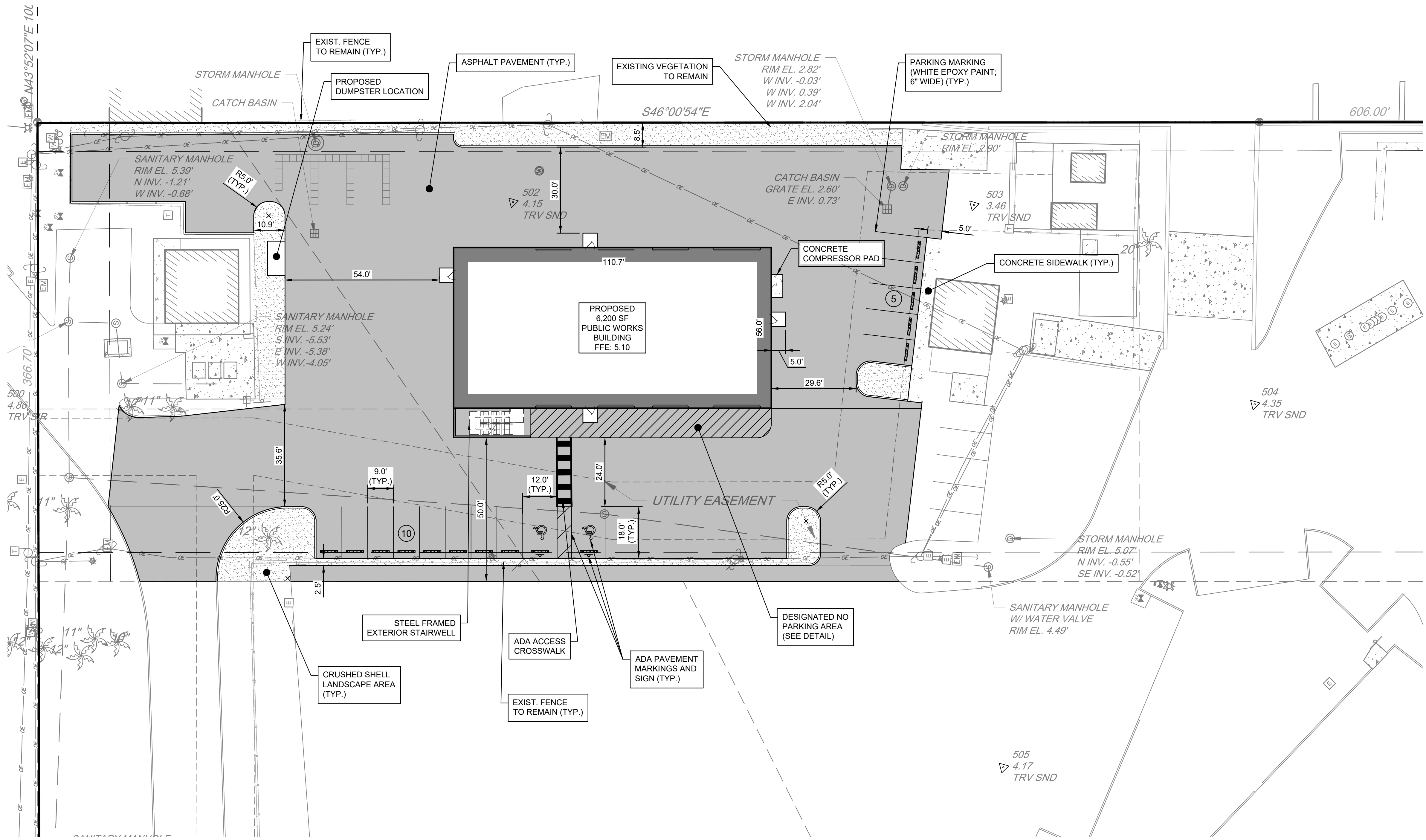
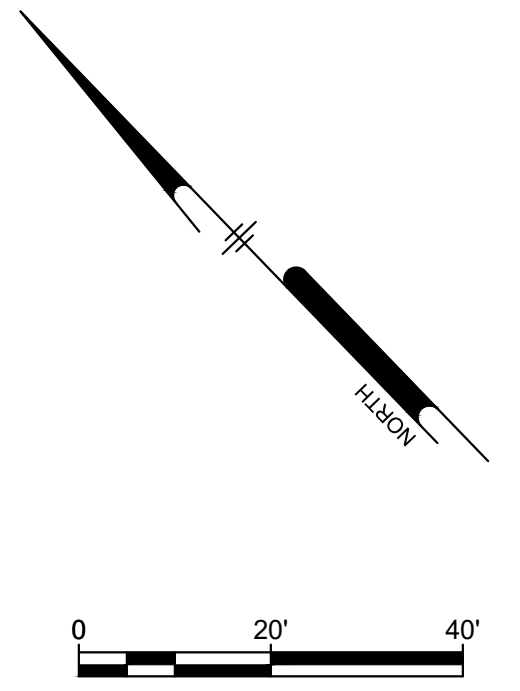
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PROJECT: **MDBCH25001**
 DATE: **FEBRUARY 2026**
 DRAWING SCALE: **1"=20'**
 DRAWN BY: **RJM**
 APPROVED BY: **JS**

- EXISTING LEGEND**
- PROPERTY LINE
 - PROPERTY ADJOINING
 - - - LEGAL RIGHT-OF-WAY
 - - - EASEMENT
 - - - FLOOD PLAIN
 - - - SECTION
 - - - PROPERTY MARKER
 - ▨ EXISTING BUILDING
 - ▬ EXISTING CURB
 - ▬ EXISTING CURB DEPRESSION
 - ▬ EXISTING EDGE OF PAVEMENT
 - ▬ EXISTING EDGE OF GRAVEL
 - ▬ EXISTING FENCE
 - - - EXISTING MINOR CONTOUR
 - - - EXISTING MAJOR CONTOUR
 - - - EXISTING SPOT ELEVATION
 - UC UC UC EXISTING COMMUNICATION, UNDERGROUND
 - UG UG UG EXISTING NATURAL GAS, UNDERGROUND
 - UE UE UE EXISTING POWER, UNDERGROUND
 - S S S EXISTING SANITARY SEWER, UNDERGROUND
 - D D D EXISTING STORM SEWER, UNDERGROUND
 - W W W EXISTING WATER, UNDERGROUND
 - OE OE OE EXISTING OVERHEAD UTILITY

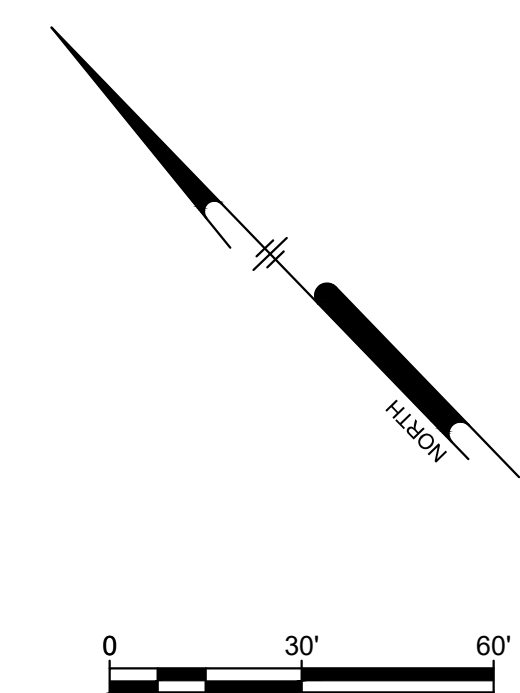
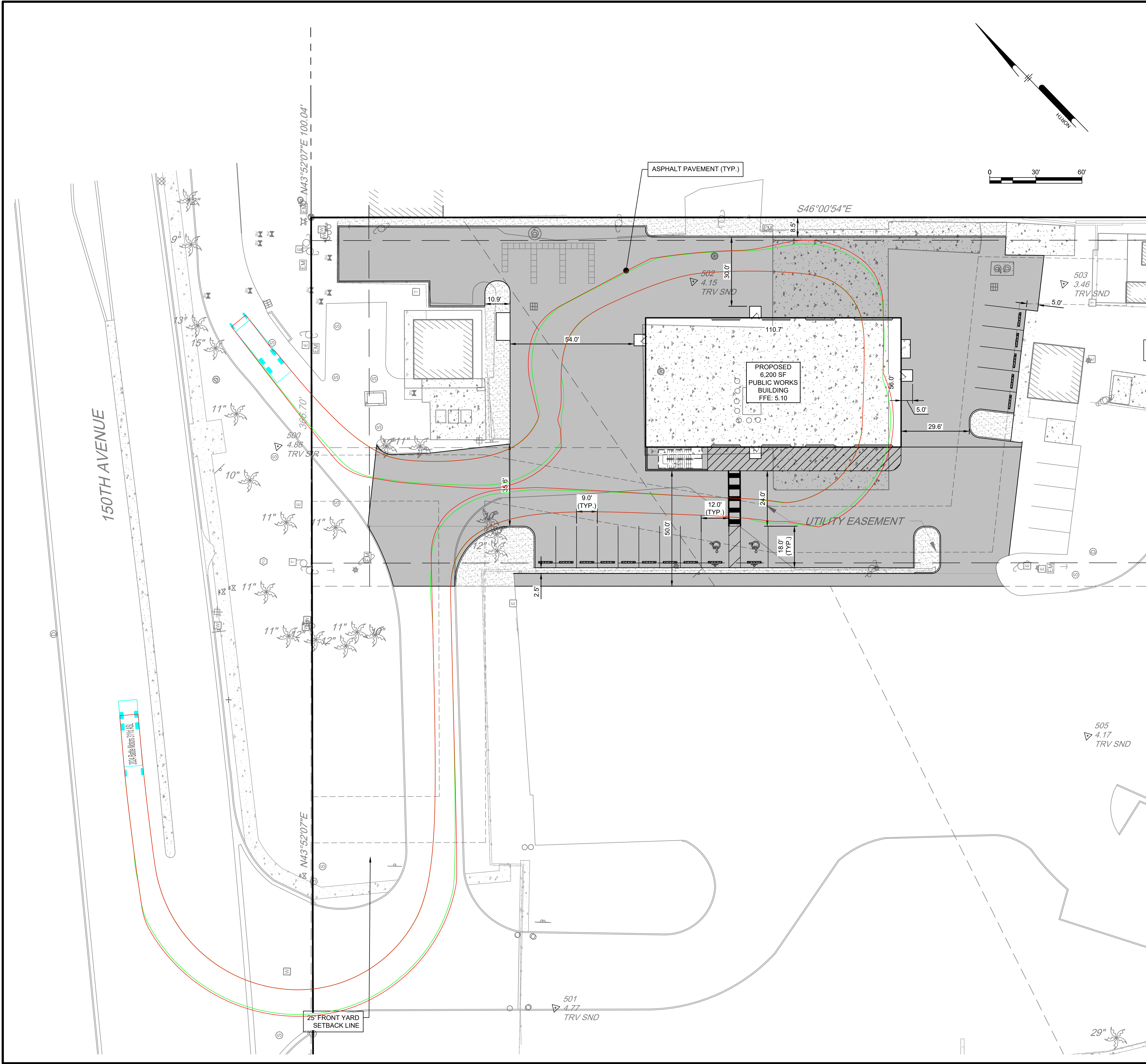
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- EXISTING VALVES
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 - EXISTING LIGHT
 - EXISTING LIGHT POLE SINGLE ARM
- EXISTING ASPHALT PAVEMENT**
- EXISTING SIDEWALK / CONCRETE**

- PROPOSED LEGEND**
- ▬ PROPOSED CURB LINE
 - ▬ PROPOSED FLUSH CURB
 - ▬ PROPOSED WALL
 - ▬ PROPOSED BUILDING OUTLINE
 - ▬ PROPOSED BUILDING OVERHANG
 - ▬ PROPOSED COMPOSITE FENCE
 - ▬ PROPOSED WOOD FENCE
 - ▬ PROPOSED SETBACK
 - ▬ PROPOSED LANDSCAPE BUFFER
 - PROPOSED SIGN
 - PROPOSED LIGHT
 - PROPOSED WHEEL STOP
 - ▬ PROPOSED ASPHALT PAVEMENT
 - ▬ PROPOSED CONCRETE SIDEWALK
 - ▬ PROPOSED CRUSHED SHELLS / SAND



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 PLOTTED: 1/22/26 12:22 PM, BY: Ryan Malmgren - PLOTTED BY: Pennoni KCS:ab

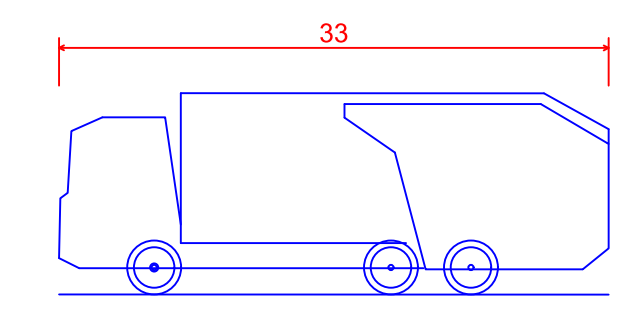
U:\Users\mrbch\Documents\2024\02\01\2024 Battle Motors 31Yd ASL\2024 Battle Motors 31Yd ASL.dwg PLOTTED: 02/28/2024 10:01 PM BY: Ryan Malmgren PLOT STYLE: Penmon V03.ctb



- EXISTING LEGEND**
- PROPERTY LINE
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 - PROPOSED LIGHT
 - PROPOSED WHEEL STOP
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED CRUSHED SHELLS/ SAND
 - PROPOSED WATER MAIN
 - PROPOSED SANITARY SEWER
 - PROPOSED UNDERGROUND ELECTRIC
 - PROPOSED UNDERGROUND GAS
 - PROPOSED UNDERGROUND TELCOM
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - PROPOSED STORM SEWER
 - PROPOSED AREA DRAIN
 - PROPOSED DRAINAGE INLET
 - PROPOSED DRAINAGE MANHOLE
 - PROPOSED SANITARY MANHOLE

AUTOTURN VEHICLE TRACKING:



- 2024 Battle Motors 31Yd ASL
- Overall Length
- Overall Width
- Overall Body Height
- Min Body Ground Clearance
- Track Width
- Lock-to-lock time
- Curb to Curb Turning Radius

Item 3A

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MADEIRA BEACH PUBLIC WORKS BUILDING
 503 150TH AVE
 ST. PETERSBURG, FL 33708

CIRCULATION PLAN

CITY OF MADEIRA BEACH
 505 150TH AVENUE
 MADEIRA BEACH, FL 33708

NO.	DATE	REVISIONS	BY

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PROJECT: MDBC25001
 DATE: FEBRUARY 2026
 DRAWING SCALE: 1"=20'
 DRAWN BY: JS
 APPROVED BY: JS

CS1201
 SHEET 7 OF 14



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MADEIRA BEACH PUBLIC WORKS BUILDING
503 150TH AVE
ST. PETERSBURG, FL 33708

GRADING AND DRAINAGE PLAN

CITY OF MADEIRA BEACH
505 150TH AVENUE
MADEIRA BEACH, FL 33708

Table with columns: NO., DATE, REVISIONS, BY

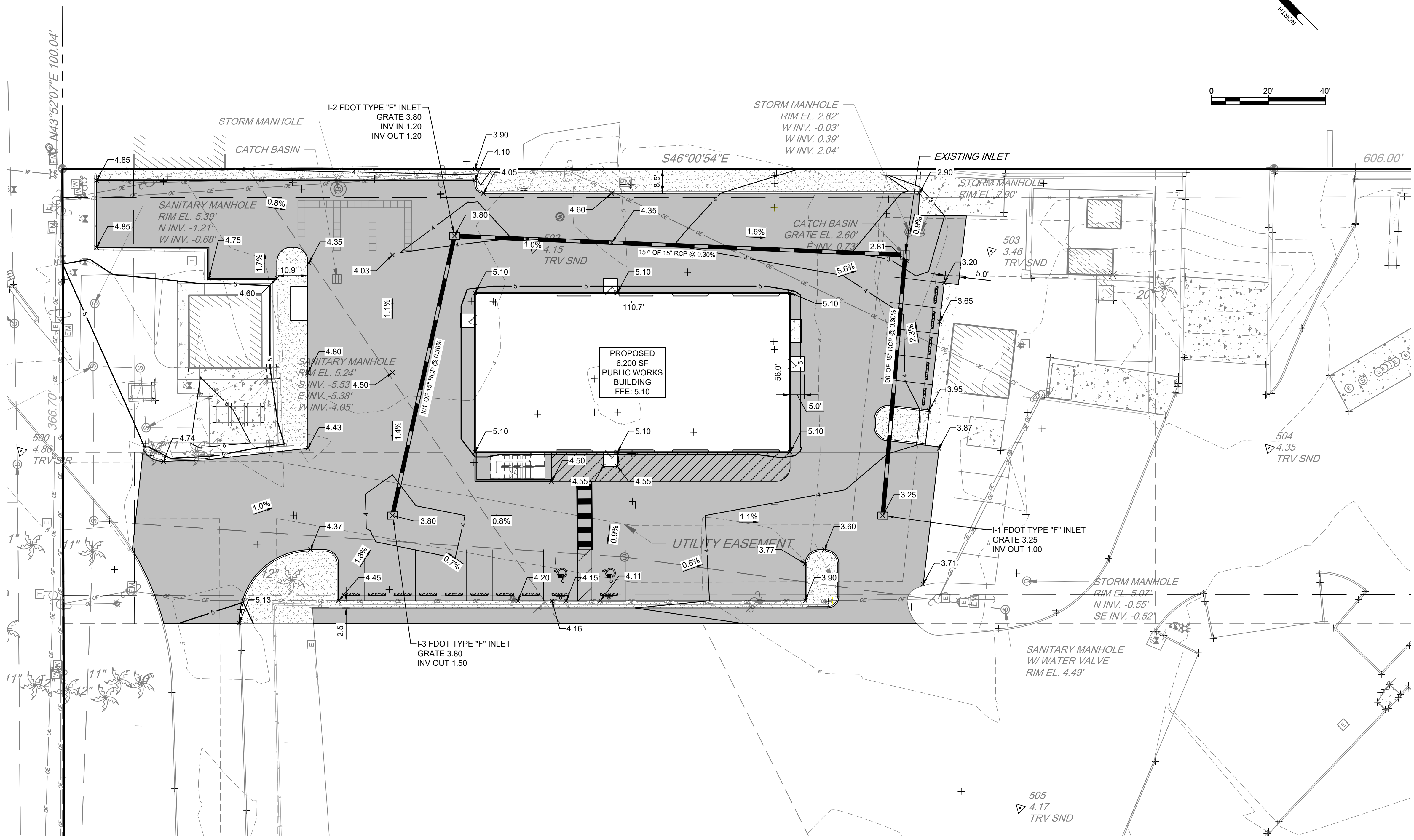
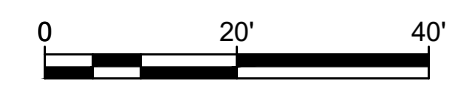
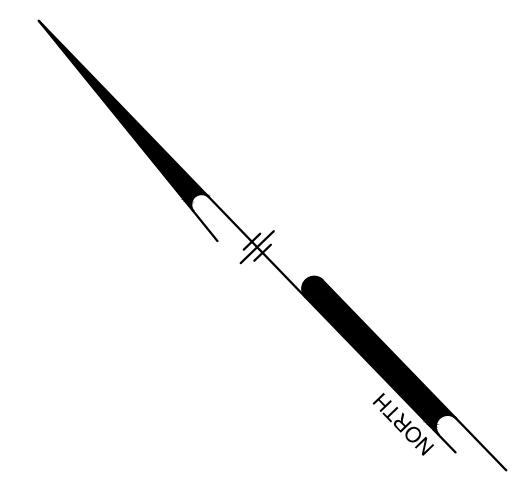
ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT...

PROJECT: MDBC25001
DATE: FEBRUARY 2026
DRAWING SCALE: 1"=20'
DRAWN BY: RJM
APPROVED BY: JS

- EXISTING LEGEND
PROPERTY LINE
PROPERTY ADJOINING
LEGAL RIGHT-OF-WAY
EASEMENT
FLOOD PLAIN
SECTION
PROPERTY MARKER
EXISTING BUILDING
EXISTING CURB
EXISTING CURB DEPRESSION
EXISTING EDGE OF PAVEMENT
EXISTING EDGE OF GRAVEL
EXISTING FENCE
EXISTING MINOR CONTOUR
EXISTING MAJOR CONTOUR
EXISTING SPOT ELEVATION
EXISTING COMMUNICATION, UNDERGROUND
EXISTING NATURAL GAS, UNDERGROUND
EXISTING POWER, UNDERGROUND
EXISTING SANITARY SEWER, UNDERGROUND
EXISTING STORM SEWER, UNDERGROUND
EXISTING WATER, UNDERGROUND
EXISTING OVERHEAD UTILITY

- EXISTING MANHOLES
EXISTING VALVES
EXISTING JUNCTION BOX
EXISTING POWER, TRANSFORMER
EXISTING SANITARY SEWER, CLEAN-OUT
EXISTING STORM SEWER, ROOF DRAIN
EXISTING STORM SEWER, INLET
EXISTING WATER STRUCTURES
EXISTING TREE LINE
EXISTING TREES
EXISTING PALM TREES
EXISTING BOLLARD
EXISTING SIGN
EXISTING UTILITY POLE
EXISTING GUY POLE
BORING LOCATION
EXISTING FLAG POLE
EXISTING LIGHT
EXISTING LIGHT POLE SINGLE ARM
EXISTING ASPHALT PAVEMENT
EXISTING SIDEWALK / CONCRETE

- PROPOSED LEGEND
PROPOSED CURB LINE
PROPOSED FLUSH CURB
PROPOSED WALL
PROPOSED BUILDING OUTLINE
PROPOSED BUILDING OVERHANG
PROPOSED COMPOSITE FENCE
PROPOSED WOOD FENCE
PROPOSED SETBACK
PROPOSED LANDSCAPE BUFFER
PROPOSED SIGN
PROPOSED LIGHT
PROPOSED WHEEL STOP
PROPOSED ASPHALT PAVEMENT
PROPOSED CONCRETE SIDEWALK
PROPOSED CRUSHED SHELLS/ SAND
PROPOSED WATER MAIN
PROPOSED SANITARY SEWER
PROPOSED UNDERGROUND ELECTRIC
PROPOSED UNDERGROUND GAS
PROPOSED UNDERGROUND TELCOM
PROPOSED MAJOR CONTOUR
PROPOSED MINOR CONTOUR
PROPOSED STORM SEWER
PROPOSED AREA DRAIN
PROPOSED DRAINAGE INLET
PROPOSED DRAINAGE MANHOLE
PROPOSED SANITARY MANHOLE



GRADING ABBREVIATIONS:

- BC = BOTTOM OF CURB
BS = BOTTOM OF STAIR
BW = BOTTOM OF WALL
FC = FLUSH CURB
GB = GRADE BREAK
HP = HIGH POINT
LP = LOW POINT
TC = TOP OF CURB
TS = TOP OF STAIR
TW = TOP OF WALL

GRADING NOTES:

- 1. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS. ALL EXISTING UNDERGROUND UTILITIES SHALL BE REMOVED OR RELOCATED. THE PREPARED SUBGRADE SHALL BE PROOF ROLLED WITH A SMOOTH-DRUM VIBRATING ROLLER TO DELINEATE SOFT/UNSTABLE AREAS AND COMPACT SOILS DISTURBED DURING EXCAVATION OPERATIONS. AREAS WHICH EXHIBIT INSTABILITY SHALL BE UNDERCUT AND REPLACED WITH LOAD-BEARING FILL.
2. MINIMUM PAVEMENT GRADE SHALL BE 1.0% SLOPE UNLESS NOTED OTHERWISE.
3. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
4. COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
6. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
7. SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
8. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AREA AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
9. ELEVATIONS SHOWN HEREON BASED ON NATIONAL GEODETIC SURVEY BENCHMARK, XXXXXX 'MADEIRA BEACH', HAVING AN ELEVATION OF XXXXX FEET, (NORTH AMERICAN VERTICAL DATUM 1988).

U:\madrach\mdbc\mdbc25001 - Madeira Beach Public Works Regrading_SHEETS\CS1501.dwg PLOTTED: 4/22/26 11:01 AM BY: Ryan Humber PLOTTED: Pennoni KCS-48

NOTE :
 IN ADDITION TO DEAD AND LIVE LOADS, THE
 AWNING INSTALLER OR MANUFACTURER SHALL
 PROVIDE REQUIRED ATTACHMENT TO EXTERIOR
 F.F.F. METAL WALL TO WITHSTAND MAXIMUM WIND
 FORCES DUE TO AN 145 MPH EXPOSURE 'B'
 CONDITION. COORDINATE ALL DESIGN
 REQUIREMENTS WITH CONTRACTOR TO ENSURE
 IMPLEMENTATION OF PROPER CONNECTIONS.

SPECIAL NOTE
 REFERENCE AND
 COORDINATE WITH ALL METAL
 BUILDING (P.E.M.B.)
 MANUFACTURER'S SHOP
 DRAWINGS FOR ALL METAL
 BUILDING COMPONENTS.

NOTE :
 DOWN SPOUT LEADER TO UNDERGROUND
 MANIFOLD SYSTEM (T.B.D.) REFER TO CIVIL
 SHEETS FOR SPECS. IF A CONC. SPLASH
 BLOCK IS REQUIRED (NOT SHOWN), TO BE
 DETERMINED, TO SHEET FLOW AWAY FROM
 STRUCTURE. REFER TO CIVIL SHEETS.

NOTE
 REFER TO P.E.M.B. STRUCTURAL SHOP
 DRAWINGS FOR EXACT COLUMN LINE
 FRAME CONFIGURATION.

NOTE
 REFER TO P.E.M.B. ERECTION
 DRAWINGS FOR ALL FRAMING SIZES
 LOCATIONS AND SPECIFICATIONS.

NOTE
 REFER TO STRUCTURAL DRAWINGS
 FOR ALL FOUNDATION SIZES
 LOCATIONS AND SPECIFICATIONS.

**NO PROPOSED
 ROOFTOP
 EQUIPMENT**

ISSUED FOR:
 PROGRESS SET

MICHAEL F. SOFARELLI, JR.
 FLORIDA STATE BOARD
 OF ARCHITECTURE
 REGISTRATION No. :
 AR 0014577

**MADERA BEACH PUBLIC WORKS
 NEW CONSTRUCTION**
 503 150th Av. Madeira Bch, FL 33708

FLORIDA ARCHITECTS ASSOCIATION
 30
 YEARS
 1905-2015

SOFARELLI & ASSOCIATES ARCHITECTURE
 MICHAEL F. SOFARELLI, JR., AIA
 1000 S. BELCHER RD., SU. No. A-1
 LARGO, FLORIDA 33771
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Revisions:

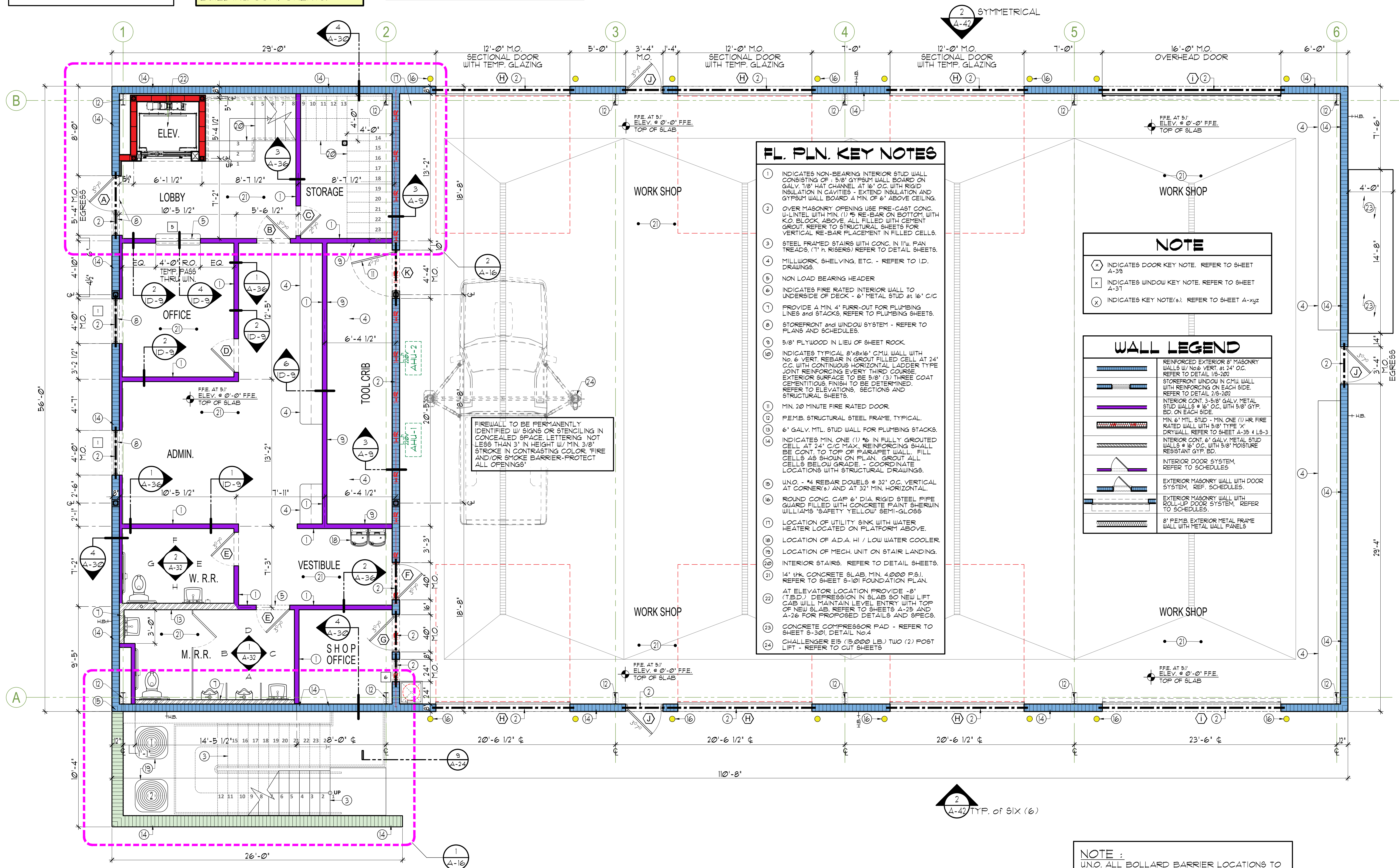
Content:
 PROPOSED FLOOR PLAN
 GRADE LEVEL

Filename:
 MAD. BCH.
 CENTER

Date:
 04-09-2026

Proj. no.
 26018

Sheet:
A-2



FL. PLN. KEY NOTES

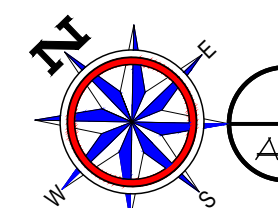
- 1 INDICATES NON-BEARING INTERIOR STUD WALL CONSISTING OF 5/8" GYPSUM WALL BOARD ON GALV. 1 1/2" HAT CHANNEL AT 16" O.C. WITH RIGID INSULATION IN CAVITIES - EXTEND INSULATION AND GYPSUM WALL BOARD A MIN. OF 6" ABOVE CEILING.
- 2 OVER MASONRY OPENING USE PRE-CAST CONC. U-INTEL WITH MIN. (1) #5 RE-BAR ON BOTTOM WITH K.O. BLOCK ABOVE. ALL FILLED WITH CEMENT GROUT. REFER TO STRUCTURAL SHEETS FOR VERTICAL RE-BAR PLACEMENT IN FILLED CELLS.
- 3 STEEL FRAMED STAIRS WITH CONC. IN 11" PAN TREADS, (1" R. RISERS) REFER TO DETAIL SHEETS.
- 4 MILLWORK, SHELVING, ETC. - REFER TO I.D. DRAWINGS.
- 5 NON LOAD BEARING HEADER
- 6 INDICATES FIRE RATED INTERIOR WALL TO UNDERSIDE OF DECK - 6" METAL STUD AT 16" C/C
- 7 PROVIDE A MIN. 4" FURR-OUT FOR PLUMBING LINES AND STACKS. REFER TO PLUMBING SHEETS.
- 8 STOREFRONT AND WINDOW SYSTEM - REFER TO PLANS AND SCHEDULES.
- 9 5/8" PLYWOOD IN LIEU OF SHEET ROCK
- 10 INDICATES TYPICAL 8"x8"x6" CMU WALL WITH NO. 6 VERT. REBAR IN GROUT FILLED CELL AT 24" O.C. WITH CONTINUOUS HORIZONTAL LADDER TYPE JOINT REINFORCING EVERY THIRD COURSE. EXTERIOR SURFACE TO BE 5/8" (3) THREE COAT CEMENTITIOUS FINISH TO BE DETERMINED. REFER TO ELEVATIONS, SECTIONS AND STRUCTURAL SHEETS.
- 11 MIN. 20 MINUTE FIRE RATED DOOR
- 12 P.E.M.B. STRUCTURAL STEEL FRAME, TYPICAL
- 13 6" GALV. MTL. STUD WALL FOR PLUMBING STACKS.
- 14 INDICATES MIN. ONE (1) 1/2" IN FULLY GROUTED CELL AT 16" C/C. REINFORCING SHALL BE CONT. TO TOP OF PARAPET WALL. FILL CELLS AS SHOWN ON PLAN. GROUT ALL CELLS BELOW GRADE. - COORDINATE LOCATIONS WITH STRUCTURAL DRAWINGS.
- 15 UNO. #4 REBAR DOUELS @ 32" O.C. VERTICAL AT CORNERS AND AT 32" MIN. HORIZONTAL.
- 16 ROUND CONC. CAP 6" DIA. RIGID STEEL PIPE GUARD FILLED WITH CONCRETE PAINT SHERWIN WILLIAMS 'SAFETY YELLOW' SEMI-GLOSS
- 17 LOCATION OF UTILITY SINK WITH WATER HEATER LOCATED ON PLATFORY ABOVE.
- 18 LOCATION OF A.D.A. HI / LOW WATER COOLER
- 19 LOCATION OF MECH. UNIT ON STAIR LANDING.
- 20 INTERIOR STAIRS. REFER TO DETAIL SHEETS.
- 21 14" THK. CONCRETE SLAB. MIN. 4000 P.S.I. REFER TO SHEET S-101 FOUNDATION PLAN.
- 22 AT ELEVATOR LOCATION PROVIDE -8" (T.B.D.) DEPRESSION IN SLAB SO NEW LIFT CAB WILL MAINTAIN LEVEL ENTRY WITH TOP OF NEW SLAB. REFER TO SHEETS A-25 AND A-26 FOR PROPOSED DETAILS AND SPECS.
- 23 CONCRETE COMPRESSOR PAD - REFER TO SHEET S-301, DETAIL No.4
- 24 CHALLENGER E15 (15,000 LB.) TWO (2) POST LIFT - REFER TO CUT SHEETS

NOTE

- (A) INDICATES DOOR KEY NOTE. REFER TO SHEET A-35
- (X) INDICATES WINDOW KEY NOTE. REFER TO SHEET A-31
- (X) INDICATES KEY NOTE(S). REFER TO SHEET A-xyz

WALL LEGEND

	REINFORCED EXTERIOR 8" MASONRY WALLS W/ NO. 6 VERT. AT 24" O.C. REFER TO DETAIL 1/8-202
	STOREFRONT WINDOW IN CMU WALL WITH REINFORCING ON EACH SIDE. REFER TO DETAIL 2/8-202
	INTERIOR CONT. 3-5/8" GALV. METAL STUD WALLS @ 16" O.C. WITH 5/8" GYP. ED. ON EACH SIDE.
	MIN. 6" MTL. STUD - MIN. ONE (1) HR FIRE RATED WALL WITH 5/8" TYPE 'X' DRYWALL. REFER TO SHEET A-35 & L5-3
	INTERIOR CONT. 6" GALV. METAL STUD WALLS @ 16" O.C. WITH 5/8" MOISTURE RESISTANT GYP. ED.
	INTERIOR DOOR SYSTEM. REFER TO SCHEDULES
	EXTERIOR MASONRY WALL WITH DOOR SYSTEM. REF. SCHEDULES.
	EXTERIOR MASONRY WALL WITH ROLL-UP DOOR SYSTEM. REFER TO SCHEDULES.
	8" P.E.M.B. EXTERIOR METAL FRAME WALL WITH METAL WALL PANELS



PROPOSED FLOOR PLAN - GRADE LEVEL

REFER TO SHEET A-6 FOR KEY NOTES AND LEGENDS.

NOTE :
 UNO. ALL BOLLARD BARRIER LOCATIONS TO BE PROVIDED BY OWNER, ALSO REFER TO CIVIL SHEETS. - REFER TO DETAIL G/5-6

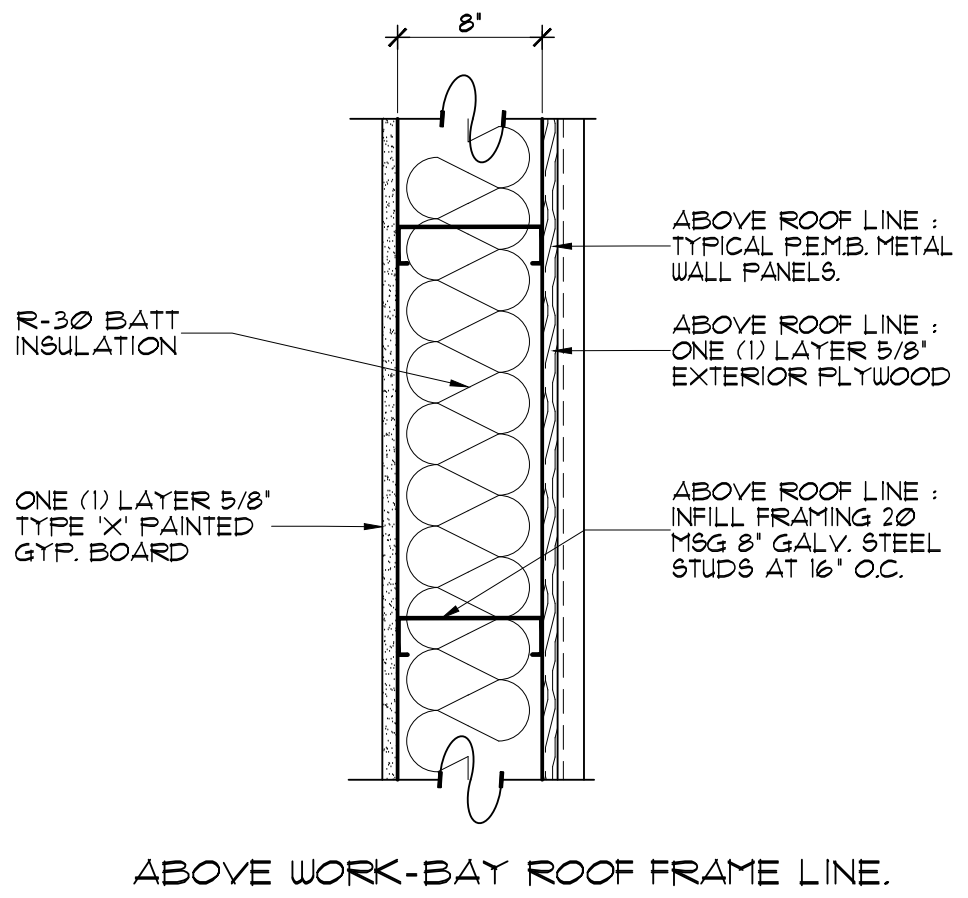
SCALE : 1/4" = 1'-0"

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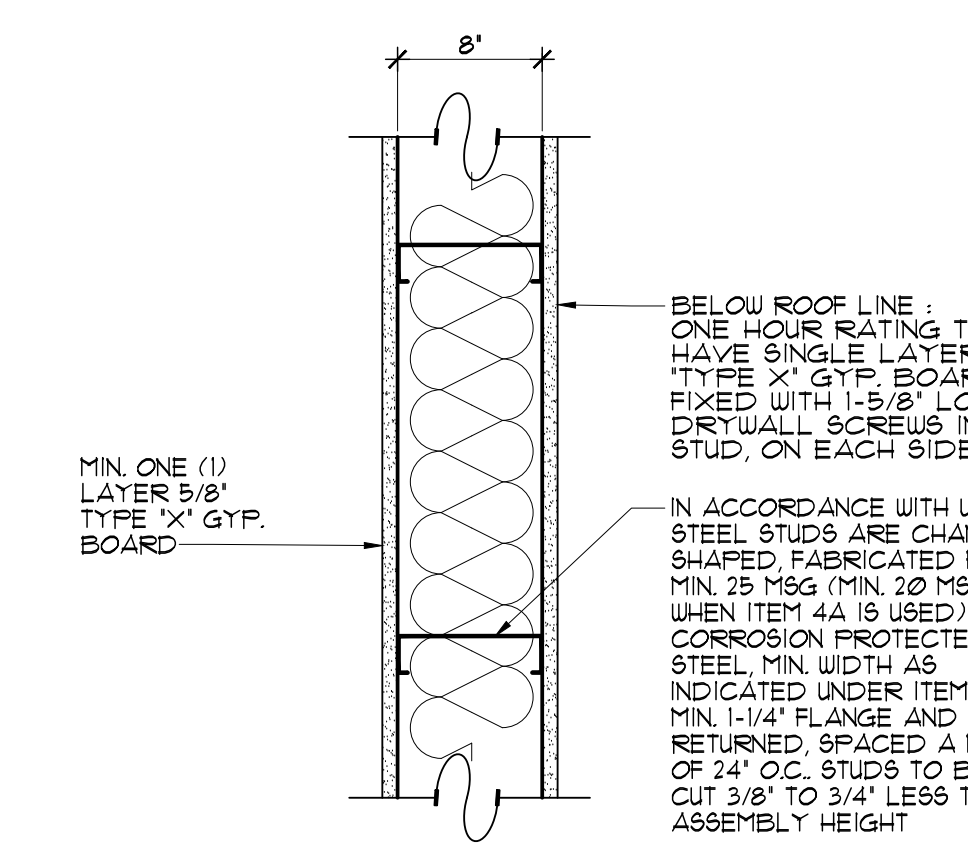
GENERAL NOTES

- REFER TO SHEET A-5 FOR DIMENSIONS.
- ALL G.W.B. TO RECEIVE SLICK LEVEL FIVE (5) FINISH UNDER PAINT AND LEVEL FOUR (4) FINISH UNDER WALL COVERING.
- TYPICAL SUBSTRATES FOR INTERIOR WALLS SHALL BE AS FOLLOWS:
TOILETS:
5/8" DUROCK CEMENT BOARD
ALCOVES AND SALES AREA:
5/8" GYPSUM BOARD
- EQUIPMENT SUPPLIER TO PLACE ALL NEW EQUIPMENT.
- G.C. TO MAKE ALL MECHANICAL, PLUMBING AND ELECTRICAL CONNECTIONS FOR ALL EQUIPMENT AS INDICATED ON EQUIPMENT PLAN. COORDINATE WITH EQUIPMENT.
- G.C. TO VERIFY CLEARANCES FOR INSTALLING EQUIPMENT.
- REFER A-xy FOR DOOR MANEUVERING CLEARANCES DETAILS.
- REFER TO SHEET A-xy AND A-xy FOR DOOR AND WINDOW SCHEDULES.
- G.C. SHALL PROVIDE ADEQUATE BLOCKING AS REQUIRED THROUGHOUT. IN RESTROOMS FOR GRAB BARS, LAVATORIES, HAND DRYERS, MIRRORS, PAPER TOWEL DISPENSERS AND OTHER ACCESSORIES UNLESS OTHERWISE NOTED. IN SERVICE AREA FOR TV, WALL SHELVES, ETC.
- BRACE STUDS ABOVE CEILING AS REQUIRED TO PROVIDE RIGID WALLS THROUGHOUT. SEE STRUCTURAL DRAWINGS.
- USE APPROVED CAULKING BETWEEN COUNTERTOPS AND WALLS AND WHERE REQUIRED PER LOCAL AND COUNTY HEALTH DEPARTMENT REQUIREMENTS.
- GENERAL CONTRACTOR SHALL COORDINATE WITH THE EQUIPMENT AND DRYWALL INSTALLERS TO ENSURE THAT ALL ELECTRICAL WIRING, WATER LINES AND REFRIGERATION LINES HAVE BEEN INSTALLED PROPERLY ON ALL EQUIPMENT PRIOR TO THE HANGING OF ANY DRYWALL. REFER TO THE FAMOUS DATE PROJECT MANAGER FOR ANY EQUIPMENT LOCATION CLARIFICATIONS.
- PROVIDE 5/8" MOISTURE-RESISTANT GYPSUM WALLBOARD THROUGHOUT RESTROOMS, LOUNGE AND WHERE REQUIRED.
- ALL MILLWORK / CASEWORK ARE BY OWNER / VENDOR. UNO.
- GENERAL CONTRACTOR TO VERIFY AND COORDINATE ALL PLUMBING AND ELECTRICAL ROUGH-INS REQUIREMENTS AND LOCATIONS WITH EQUIPMENT SUPPLIER.
- G.C. TO NOTIFY ARCHITECT IN WRITING WITH ANY DISCREPANCIES UPON DISCOVERY PRIOR TO COMMENCING WITH ANY WORK.
- REFER TO PLUMBING AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- ALL INTERIOR DOORS ARE TO HAVE A MIN. 2-1/2" JAMB AT HINGE SIDE OF DOOR, UNO.
- THIS PLAN IS FOR FIXTURE PLACEMENT PURPOSES ONLY.
- CMU WALL CONSTRUCTION SHALL BE RUNNING-BOND CONSTRUCTION AND VERTICALLY REINFORCED ACCORDING TO THE SCHEDULE.
- NO. 6 REINFORCEMENT BARS SHALL BE PLACED IN GROUT-FILLED CELLS. SPACING OF VERTICAL REINFORCEMENT BARS SHALL NOT EXCEED 24" O.C. - REFER TO STRUCTURAL SHEETS.
- HORIZONTAL CMU WALL REINFORCEMENT SHALL BE 3 GA. SPACED AT 16" O.C.
- VERTICAL REINFORCEMENT BELOW AND ABOVE OPENINGS SHALL MATCH ADJACENT WALLS VERTICAL REINFORCEMENT.
- CMU WALL REINFORCEMENT SHALL BE DOUBLED INTO FOOTING AND TIE BEAMS / LINTELS.
- ALL CMU WALL BELOW GRADE SHALL BE FULLY GROUTED, TYPICAL.
- ALL FINISH MATERIALS, PAINT COLORS AND FINISH COLORS, ETC. THROUGHOUT THIS SET OF DOCUMENTS ARE SUBJECT TO CHANGES. REFER TO A FAMOUS DATE REPRESENTATIVE FOR THE MOST UPDATED SPECIFICATIONS.

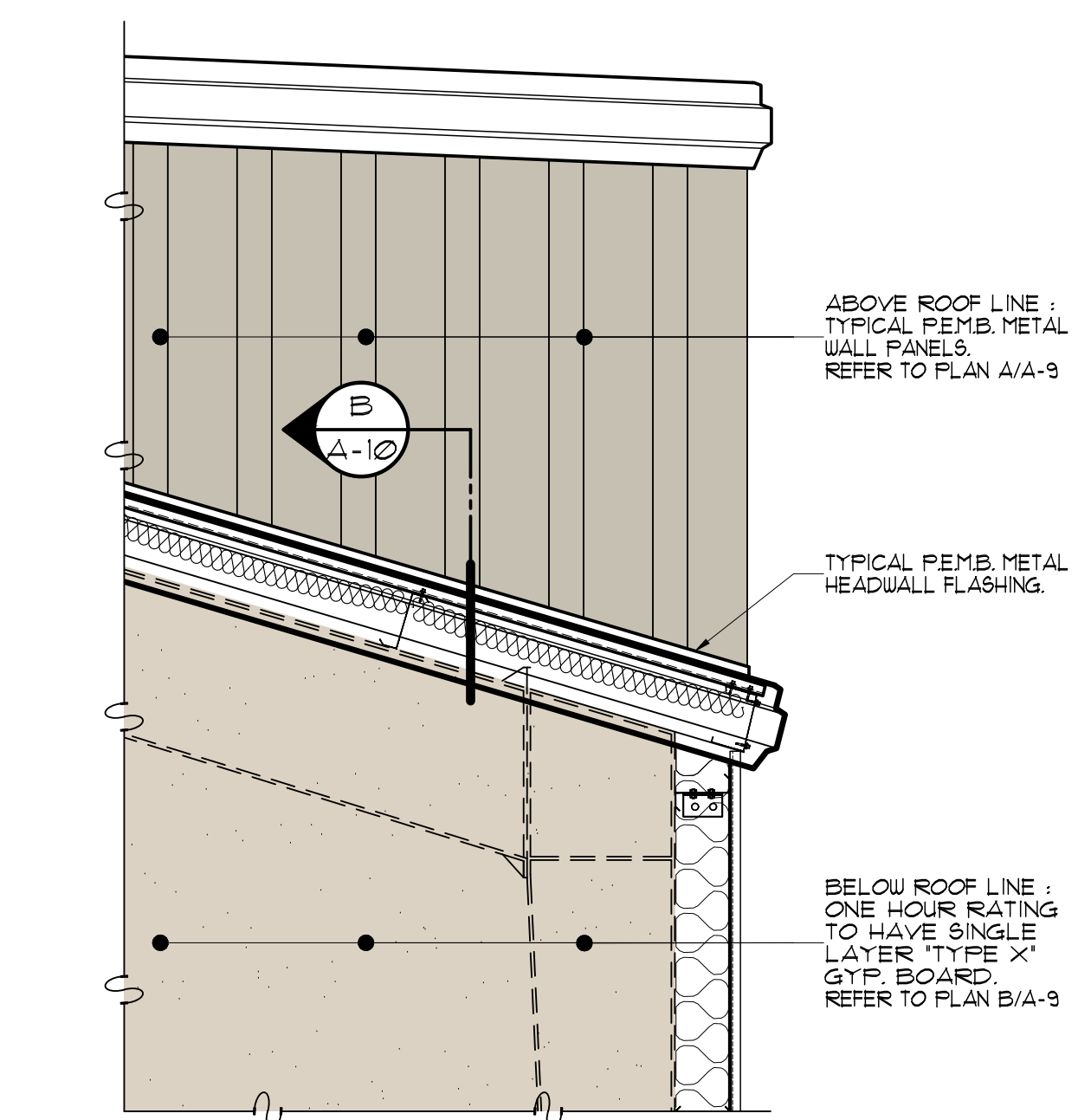
NOTE:
OWNER SELECTED MILLWORK.
SUBMIT SHOP DRAWINGS.



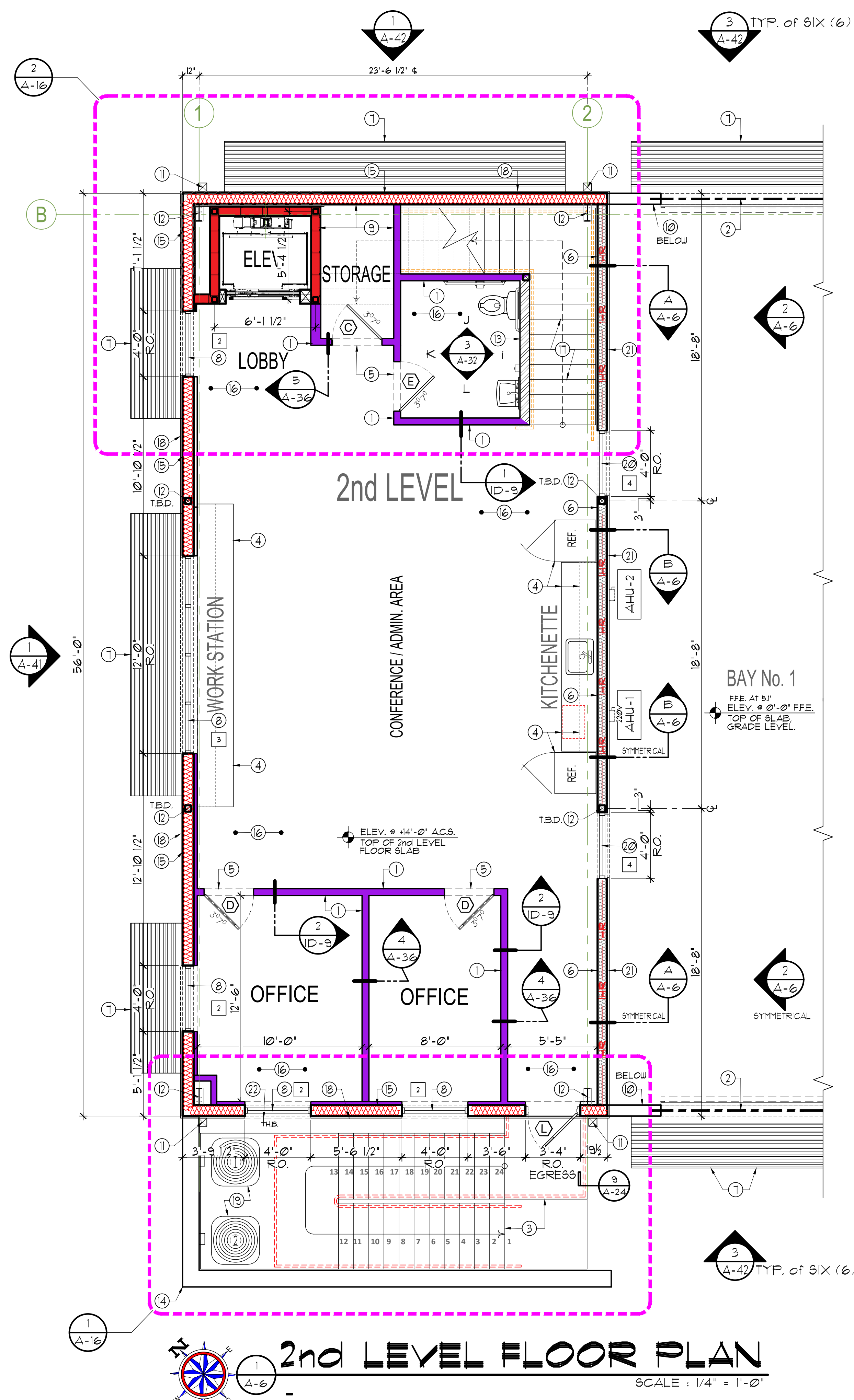
PLAN DETAIL A-6
SCALE: 1-1/2" = 1'-0"



PLAN DETAIL B
SCALE: 1-1/2" = 1'-0"



PARTIAL ELEVATION A-6
SCALE: 1-1/2" = 1'-0"



2nd LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

SPECIAL NOTES

- ANY PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE PROTECTED AS PER NFPA 101, SECTION 8.3.5.
- G.C. SHALL INSTALL MIN. 12" HIGH ADDRESS/UNIT NUMBERS AT FRONT ENTRY AND MIN. 6" HIGH ADDRESS/UNIT NUMBERS ON BACK DOOR.
- G.C. SHALL LABEL ANY SPECIAL ROOMS (I.E., ELECTRICAL ROOM, MECHANICAL ROOM, FACP) WITH MIN. 6" HIGH LETTERS.

NOTE

- ⊗ INDICATES DOOR KEY NOTE. REFER TO SHEET A-39
- ⊗ INDICATES WINDOW KEY NOTE. REFER TO SHEET A-31
- ⊗ INDICATES KEY NOTE(S). REFER TO SHEET A-xyz

WALL LEGEND

	REINFORCED EXTERIOR 8" MASONRY WALLS W/ NO. 6 VERT. AT 24" O.C. REFER TO DETAIL 18-202
	STOREFRONT WINDOW IN CMU WALL WITH REINFORCING ON EACH SIDE. REFER TO DETAIL 215-202
	INTERIOR CON. 3-5/8" GALV. METAL STUD WALLS @ 16" O.C. WITH 5/8" GYP. BD. ON EACH SIDE.
	MIN. 6" MTL. STUD - MIN. ONE (1) HR. FIRE RATED WALL WITH 5/8" TYPE 'X' DRYWALL. REFER TO SHEET A-35 L8-3
	INTERIOR CON. 6" GALV. METAL STUD WALLS @ 16" O.C. WITH 5/8" MOISTURE RESISTANT GYP. BD.
	INTERIOR DOOR SYSTEM. REFER TO SCHEDULES
	EXTERIOR MASONRY WALL WITH DOOR SYSTEM. REFER TO SCHEDULES.
	EXTERIOR MASONRY WALL WITH ROLL-UP DOOR SYSTEM. REFER TO SCHEDULES.
	8" PEMB. EXTERIOR METAL FRAME WALL WITH METAL WALL PANELS

FL. PLN. KEY NOTES

- INDICATES NON-BEARING INTERIOR STUD WALL CONSISTING OF 5/8" GYPSUM WALL BOARD ON GALV. 1/2" HAT CHANNEL AT 16" O.C. WITH RIGID INSULATION IN CAVITIES - EXTEND INSULATION AND GYPSUM WALL BOARD A MIN. OF 6" ABOVE CEILING.
- OVER MASONRY OPENING USE PRE-CAST CONC. U-LINTEL WITH MIN. (1) #5 RE-BAR ON BOTTOM, WITH K.O. BLOCK ABOVE. ALL FILLED WITH CEMENT GROUT. REFER TO STRUCTURAL SHEETS FOR VERTICAL RE-BAR PLACEMENT IN FILLED CELLS.
- STEEL FRAMED STAIRS WITH CONC. IN PAN 1" W. TREADS, (1" RISERS). REFER TO DETAIL SHEETS.
- MILLWORK, SHELVING, APPLIANCES ETC. REFER TO INTERIOR DESIGN (I.D.) DRAWINGS.
- NON LOAD BEARING HEADER
- INDICATES MIN. ONE (1) HOUR FIRE RATED INTERIOR WALL TO UNDERSIDE OF DECK.
- STOREFRONT WINDOW SYSTEM - REFER TO PLANS AND SCHEDULES.
- 5/8" PLYWOOD IN LIEU OF SHEET ROCK
- INDICATES TYPICAL 8"x16" CMU WALL WITH NO. 6 VERT. REBAR IN GROUT FILLED CELL AT 24" O.C. WITH CONTINUOUS HORIZONTAL LADDER TYPE JOINT REINFORCING EVERY THIRD COURSE. EXTERIOR SURFACE TO BE 5/8" (3) THREE COAT CEMENTITIOUS FINISH TO BE DETERMINED. REFER TO ELEVATIONS, SECTIONS AND STRUCTURAL SHEETS.
- INDICATES A MIN. OF GALV. SM. 6" x 6" DOWNSPOUT. PAINT TO MATCH ADJACENT WALL SURFACE. PROVIDE GALV. SM. STRAPS AT 6" O.C. (MIN. OF 3 PER DS.)
- PEMB. STRUCTURAL STEEL FRAME, TYPICAL.
- 6" GALV. MTL. STUD WALL FOR PLUMBING STACKS.
- AT TOP OF (T.O.) SCREENING WALL, PROVIDE ONE CONT. COURSE KNOCK-OUT BLOCK TIE BEAM WITH HORIZ. #5 REBAR FILLED WITH MIN. 3000 P.S.I. PUMP MIX. TYP. - REFER TO STRUCTURAL SHEETS.
- UNO - 8" DEEP 1/2 GAGE TWO SPAN MAX LAP "ZEE" WIND GIRT @ 4'-0" (MAX.). THIS SIDE SHALL HAVE END TO END FRAMING INTO ADJACENT COLUMN/ STRUCTURAL ON SHEETS.
- UNO - PROVIDE A MIN. OF 3" CONC. ON 9/16" METAL DECK WITH 6 x 6 10/10 WWF. *2nd LEVEL SLAB and FRAMING BY PEMB.
- INTERIOR STAIRS. REFER TO DETAIL SHEETS.
- TYPICAL PEMB. METAL WALL PANELS.
- LOCATION OF MECH. UNIT ON STAIR LANDING.
- MIN. ONE HOUR RATED, TEMPERED, 1/2"PK CLEAR WINDOW - REFER TO PLANS AND SCHEDULES.
- BELOW ROOF LINE - ONE HOUR RATING TO HAVE SINGLE LAYER TYPE 'X' GYP. BOARD - REFER TO B/A-9 - ABOVE ROOF LINE: TYPICAL PEMB. METAL WALL PANELS ON ONE (1) LAYER 5/8" EXTERIOR PLYWOOD ON INFILL FRAMING 20 MSG 8" GALV. STEEL STUDS AT 16" O.C. - REFER TO A/A-9
- PROVIDE HOSE BIB AT STAIR LANDING FOR CLEANING MECHANICAL UNITS, AT -8'-4" A.C.S.

ISSUED FOR:
PROGRESS SET

**MADERA BEACH PUBLIC WORKS
NEW CONSTRUCTION**
503 150th Av. Madeira Bch, FL 33708

30 YEARS
1985-2015

SOFARELLI & ASSOCIATES ARCHITECTURE
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Revisions:

Content:
PROPOSED FLOOR PLAN SECOND LEVEL

Filename:
MAD_BCH_CENTER
Date:
04-09-2026
Proj. no.
26018
Sheet:
A-6



NOTE :
 U.N.O. ALL BOLLARD BARRIER LOCATIONS TO BE PROVIDED BY OWNER, ALSO REFER TO CIVIL SHEETS. - REFER TO DETAIL G/8-6

SCALE : 1/4" = 1'-0"

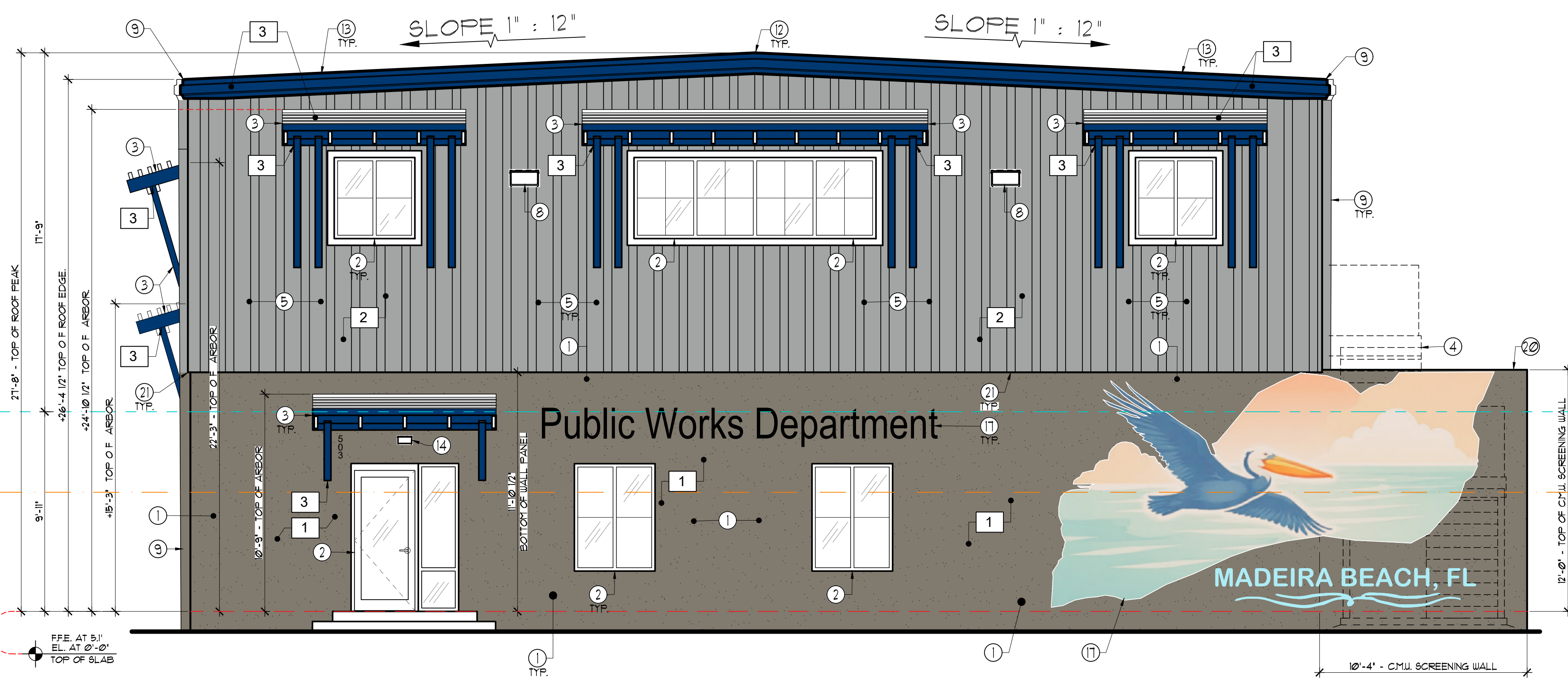
ELEV. KEY NOTES

- ① INDICATES TYPICAL 8"x8"x16" CMU WALL WITH NO. 6 VERT. REBAR IN GROUT FILLED CELL AT 24" O.C. WITH CONTINUOUS HORIZONTAL LADDER TYPE JOINT REINFORCING EVERY THIRD COURSE, EXTERIOR SURFACE TO BE 5/8" (3) THREE COAT CEMENTITIOUS. NOTE: SAND FINISH TO BE DETERMINED.
- ② STOREFRONT AND WINDOW SYSTEM - REFER TO FLANS AND SCHEDULES.
- ③ CUSTOM ALUMINUM ARBOR / AWNING STRUCTURE. NOTE: DEFERRED SUBMITTAL, ENGINEERED SHOP DRAWINGS TO PROVIDE DETAILS SHOWING EXACT DIMENSIONS, FRAMING, MEMBER SIZES, CONNECTION AND MOUNTING DETAILS (PRECISION ENGINEERING FOR HOW THE STRUCTURE ATTACHES TO THE PEMB. STRUCTURE, (E.G. THROUGH-BOLTING, EPOXY ANCHORS, OR BRACKET DESIGN), AND WIND LOAD CALCULATIONS.
- ④ STEEL FRAMED STAIRS WITH CONC. IN PAN TREADS. DEFERRED SUBMITTAL. REFER TO NOTE NO. 3 (9/1).
- ⑤ TYPICAL PEMB. METAL WALL PANELS.
- ⑥ BOLLARD : ROUND CONC. CAP 6" DIA. RIGID STEEL PIPE GLASS FILL WITH CONCRETE PAINT SHERWIN WILLIAMS 'SAFETY YELLOW' SEMI-GLOSS. REFER TO DETAIL G/8-6
- ⑦ U.N.O. PROVIDE 3/8" CHANNEL SCREED BY FRY - REGLET OR APPROVED EQUAL.
- ⑧ L.E.D. WALL PACK LIGHT FIXTURE. REF. ELEC.
- ⑨ INDICATES PEMB. GUTTER AND MIN. OF GALV. 9/16" x 6" DOWNSPOUT. PAINT TO MATCH ADJACENT WALL SURFACE. PROVIDE GALV. 9/16" STRAPS @ 6'-0" O.C. (MIN. OF 3 PER D.S.)
- ⑩ METAL OR FIBERGLASS (T.B.D.) EGRESS MAN DOOR WITH TEMPERED GLASS TRANSOM.
- ⑪ PEMB. METAL ROOF PANELS ON ROOF PULING ON PEMB. FRAMING. TYPICAL REFERENCE PEMB. STRUCTURAL / SHOP DRAWINGS FOR SIZES AND SPACING.
- ⑫ CONTINUOUS FORMED METAL RIDGE CAP - REF. MANUF. SHOP DRAWINGS.
- ⑬ CONTINUOUS FORMED METAL COPING - REF. MANUF. SHOP DRAWINGS.
- ⑭ EGRESS LIGHT FIXTURE REQUIRED AS BY CODE.
- ⑮ DOOR SEALS AND HEAD CURTAIN NOT SHOWN FOR CLARITY.
- ⑯ MASONRY EDGE TO HAVE VERTICAL #48" H. x 4" x 4" REINFORCED ANGLE EDGE PROTECTOR ON FRONT EDGE OF CMU. M.O. PAINT SETBY 'YELLOW'
- ⑰ BUILDING CITY SIGNAGE - DEFERRED SUBMITTAL. REFER TO NOTE NO. 3 (9/1).
- ⑱ INDICATES ROLL-UP DOOR WITH MIN. (U.N.O.) 2"x2" GUIDE BRACKET WITH VINYL WEAR STRIPS AND WIND HOOK STRAPS. FASTEN TO MASONRY WITH 1/4"x1-1/4" H.W.H. CONCRETE SCREW OR 5/16" DIA. x 1/2" SLEEVE. ANCHOR EITHER SPACED AT 16" O.C. INSIDE JAMB.
- ⑲ INDICATES PROVIDE TWO (2) POWER DISCONNECTS ON NEW BUILDING WALL AT MIN. 8'-0" ABOVE GRADE. POWER REQUIREMENTS TO BE DETERMINED WHEN THE CITY OF MADEIRA BEACH HAS CHOSEN THE COMPRESSORS TO BE USED IN THIS LOCATION. - REF. ELEC. SHEETS.
- ⑳ CONTINUOUS GALV. METAL COPING FLASHING AS REQUIRED, (USE BACK SPLICE PLATES) PAINTED TO MATCH ADJACENT WALL COLOR.
- ㉑ PROVIDE 'Z' DRIP EDGE AT PANEL BASE OVER DOOR. 3" VERTICAL LEG BEHIND PANEL.
- ㉒ CONT. GALV. HEADWALL FLASHING - PAINTED.

RIGHT SIDE ELEVATION

② SOUTH-WEST

NOTE : DOWNSPOUT LEADERS TO BE PAINTED TO MATCH ADJACENT WALL COLOR SCHEME, TYPICAL



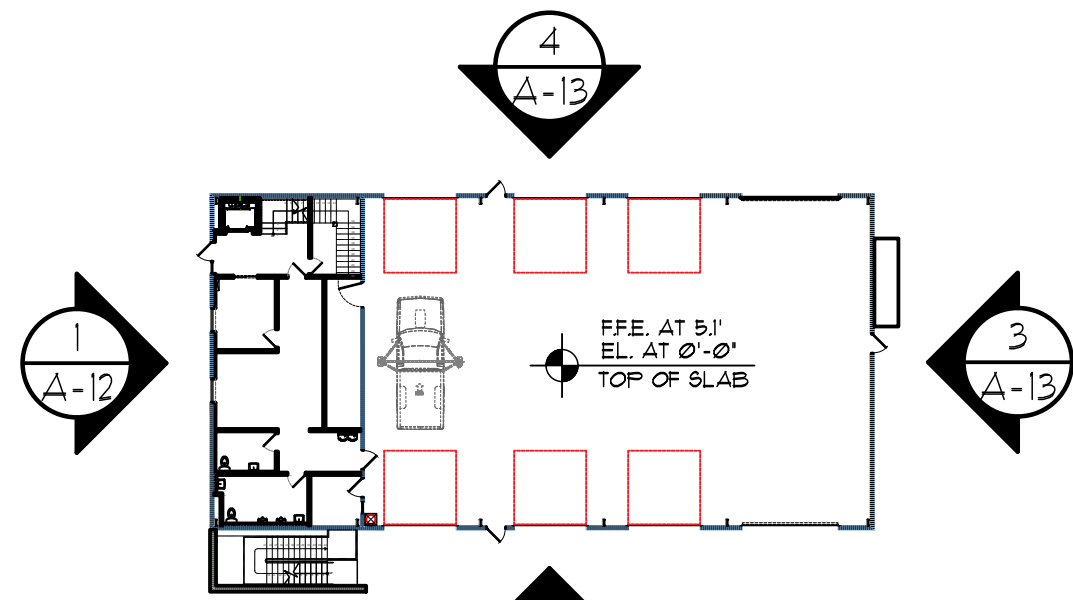
FRONT ELEVATION

① NORTH-WEST

SCALE : 1/4" = 1'-0"

NOTES

1. ALL FINISH MATERIALS, PAINT COLORS AND FINISH COLORS, ETC. THROUGHOUT THIS SET OF DOCUMENTS ARE SUBJECT TO CHANGES. REFER TO A MADEIRA BEACH REPRESENTATIVE FOR THE MOST UPDATED SPECIFICATIONS.
2. FIELD PICTURES ARE FOR CLARITY ONLY. REFER TO A MADEIRA BEACH REPRESENTATIVE FOR THE MOST UPDATED SPECIFICATIONS.
3. SIGNAGE SUPPORT REQUIREMENTS 410.36 AND 314.21 NEC 2020 ACCESS TO JUNCTION BOXES 410.18
4. ALL EXTERIOR SIGNAGE SHOWN FOR ILLUSTRATIVE AND CLARITY PURPOSES ONLY. PERMITTED UNDER SEPARATE COVER. ALL SIGNAGE SPEC'S TO BE PROVIDED BY OWNER.
5. SIGNAGE AREA (N.I.C.), G.C. TO PROVIDE 'J' BOX IN FACADE FOR ALL SIGNAGE. VERIFY EXACT LOCATION FOR OF 'J' BOX IN CANOPY WITH SIGNAGE CONTRACTOR. G.C. TO INSTALL TWO (2) 2"x8" P.T. WOOD BLOCKING FOR SIGN TRACK MOUNTING, U.N.O. (T.B.D.).
6. G.C. TO USE NON CORROSIVE HARDWARE. USE SILICON AROUND ALL HOLES IN RECEIVER TRACK. ALL CUTS EXPOSING BARE METAL TO BE WEATHER PROOFED WITH GALVANIC PAINT - TYPICAL.



KEY PLAN

SCALE : N.T.S.

ISSUED FOR:
PROGRESS SET

MICHAEL F. SOFARELLI, JR.
 FLORIDA STATE BOARD OF ARCHITECTURE
 REGISTRATION No. AR 0014577

**MADEIRA BEACH PUBLIC WORKS
 NEW CONSTRUCTION**
 503 150th Av. Madeira Bch, FL 33708

30 YEARS
 1985-2015

S&A ASSOCIATES ARCHITECTURE
 MICHAEL F. SOFARELLI, JR., AIA
 1000 S. BELCHER RD., SU. NO. A-1
 LARGO, FLORIDA 33771
 EMAIL: sofarelli@verizon.net (727) 550-3535

Revisions:

Content:
PROPOSED EXTERIOR ELEVATIONS

Filename:
MAD. BCH. CENTER
 Date:
04-09-2026
 Proj. no.
26018
 Sheet:
A-12

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ELEV. KEY NOTES

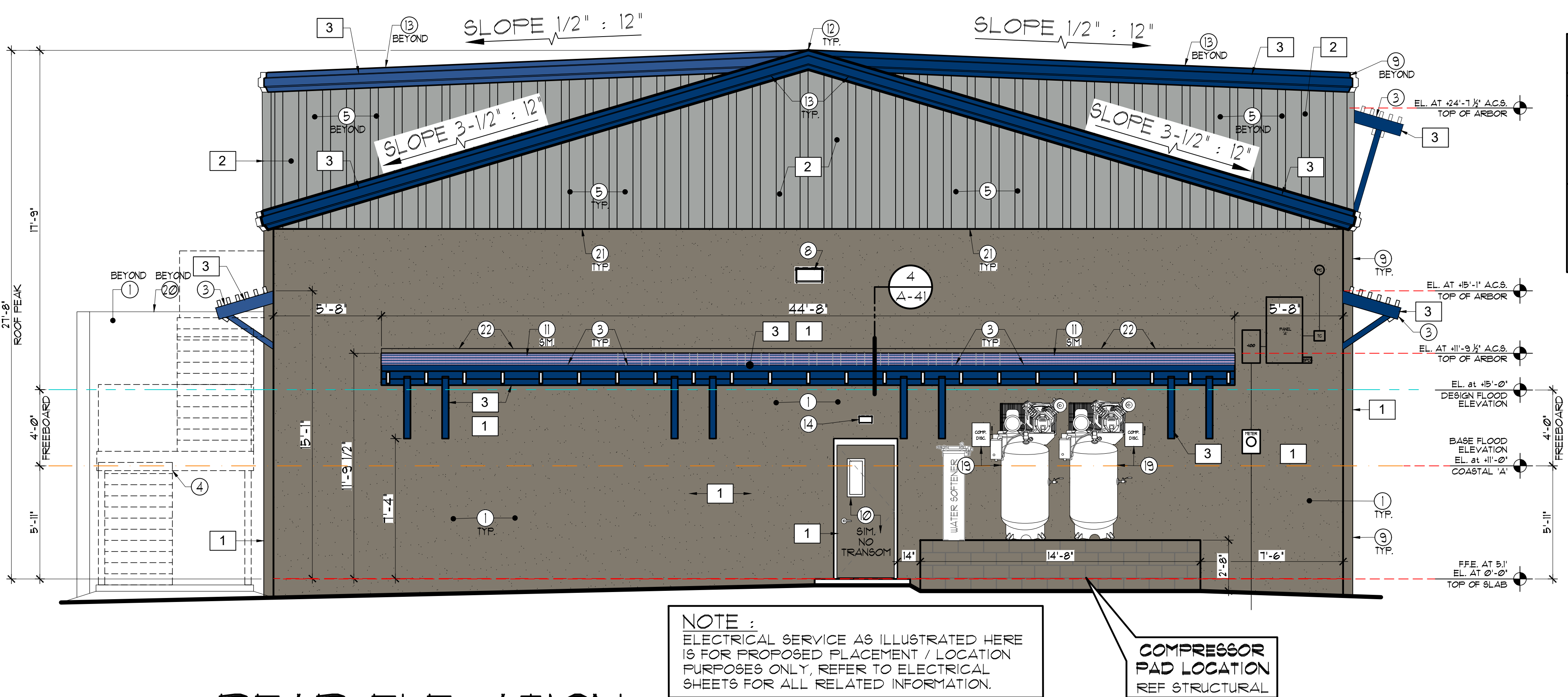
- 1 INDICATES TYPICAL 8"x8"x16" CMU WALL WITH NO. 6 VERT. REBAR IN GROUT FILLED CELL AT 24" O.C. WITH CONTINUOUS HORIZONTAL LADDER TYPE JOINT REINFORCING EVERY THIRD COURSE. EXTERIOR SURFACE TO BE 5/8" (3) THREE COAT CEMENTITIOUS. NOTE: SAND FINISH TO BE DETERMINED.
- 2 STOREFRONT AND WINDOW SYSTEM - REFER TO PLANS AND SCHEDULES.
- 3 CUSTOM ALUMINUM ARBOR / AWNING STRUCTURE. NOTE: DEFERRED SUBMITTAL. ENGINEERED SHOP DRAWINGS TO PROVIDE DETAILS SHOWING EXACT DIMENSIONS, FRAMING, MEMBER SIZES, CONNECTION AND MOUNTING DETAILS (PRECISION ENGINEERING FOR HOW THE STRUCTURE ATTACHES TO THE PEMB. STRUCTURE (E.G. THROUGH-BOLTING, EPOXY ANCHORS, OR BRACKET DESIGNS) AND WIND LOAD CALCULATIONS.
- 4 STEEL FRAMED STAIRS WITH CONC. IN FAN TREADS. DEFERRED SUBMITTAL. REFER TO NOTE No. 3 (91P).
- 5 TYPICAL PEMB. METAL WALL PANELS.
- 6 BOLLARD: ROUND CONC. CAP 6" DIA. RIGID STEEL PIPE GUARD FILLED WITH CONCRETE PAINT SHERWIN WILLIAMS 'SAFETY YELLOW' SEMI-GLOSS. REFER TO DETAIL G/5-6
- 7 UNO. PROVIDE 3/8" CHANNEL SCREED BY FRY - REGLET OR APPROVED EQUAL.
- 8 L.E.D. WALL PACK LIGHT FIXTURE. REF. ELEC.
- 9 INDICATES PEMB. GUTTER AND MIN. OF GALV. 5M. 6"x6" DOWNSPOUT. PAINT TO MATCH ADJACENT WALL SURFACE. PROVIDE GALV. 5M. STRAPS @ 6'-0" O.C. (MIN. OF 3 PER D.S.)
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- 16 MASONRY EDGE TO HAVE VERTICAL 48" H. x 4' x 4' REINFORCED ANGLE EDGE PROTECTOR ON FRONT EDGE OF CMU. M.O. PAINT SAFETY YELLOW.
- 17 BUILDING CITY SIGNAGE - DEFERRED SUBMITTAL. REFER TO NOTE No. 3 (91P).
- 18 INDICATES ROLL-UP DOOR WITH MIN. (UNO.) 2"x2"x1/2" GUIDE BRACKET WITH VINYL WEAR STRIPS AND WIND HOOK STRAPS. FASTEN TO MASONRY WITH 1/4"x1-1/4" HWH. CONCRETE SCREW OR 5/16" DIA. x 1-1/2" SLEEVE ANCHOR EITHER SPACED AT 16" O.C. INSIDE JAMB.
- 19 INDICATES PROVIDE TWO (2) POWER DISCONNECTS ON NEW BUILDING WALL AT MIN. 6'-0" ABOVE GRADE. POWER REQUIREMENTS TO BE DETERMINED WHEN THE CITY OF MAD. BCH. HAS CHOSEN THE COMPRESSORS TO BE USED IN THIS LOCATION. - REF. ELEC. SHEETS.
- 20 CONTINUOUS GALV. METAL COPING FLASHING AS REQUIRED. (USE BACK SPLICE PLATES) PAINTED TO MATCH ADJACENT WALL COLOR.
- 21 PROVIDE 'Z' DRIP EDGE AT PANEL BASE OVER DOOR 3" VERTICAL LEG BEHIND PANEL
- 22 CONT. GALV. HEADWALL FLASHING - PAINTED.

LEFT SIDE ELEVATION NORTH-EAST

NOTE: DOWNSPOUT LEADERS TO BE PAINTED TO MATCH ADJACENT WALL COLOR SCHEME, TYPICAL

NOTE: UNO. ALL BOLLARD BARRIER LOCATIONS TO BE PROVIDED BY OWNER. ALSO REFER TO CIVIL SHEETS. - REFER TO DETAIL G/5-6

SCALE: 1/4" = 1'-0"



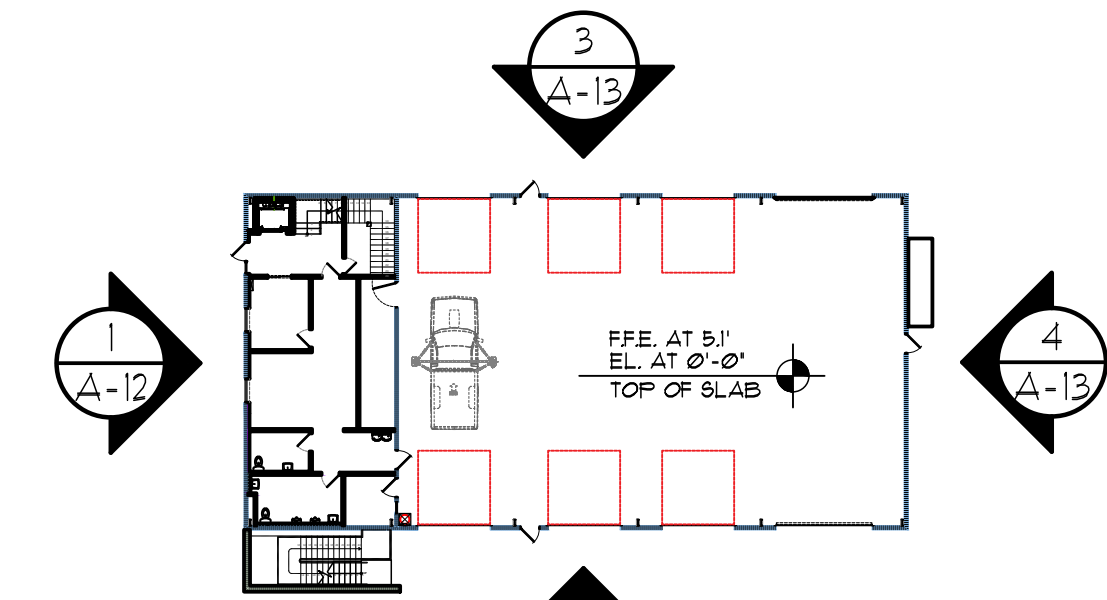
REAR ELEVATION SOUTH-EAST

NOTE: ELECTRICAL SERVICE AS ILLUSTRATED HERE IS FOR PROPOSED PLACEMENT / LOCATION PURPOSES ONLY. REFER TO ELECTRICAL SHEETS FOR ALL RELATED INFORMATION.

COMPRESSOR PAD LOCATION REF STRUCTURAL

SCALE: 1/4" = 1'-0"

EXT. PAINT SELECTION			
No.	COLOR	No.	COLOR
1	ANONYMOUS SW 7046	2	PETERSEN PAC-CLAD CITYSCAPE
3	PETERSEN PAC-CLAD PACIFIC BLUE	4	NOTE: FINAL COLOR APPROVAL TO BE CLARIFIED BY THE CITY OF MADEIRA BEACH.



KEY PLAN

SCALE: N.T.S.

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ISSUED FOR:
PROGRESS SET

MICHAEL F. SOFARELLI, JR.
FLORIDA STATE BOARD
OF ARCHITECTURE
REGISTRATION No. :
AR 0014577

**MADEIRA BEACH PUBLIC WORKS
NEW CONSTRUCTION**
503 150th Av. Madeira Bch, FL 33708

CITY OF MADEIRA BEACH
FLORIDA
HILLSBOROUGH COUNTY



SOFARELLI & ASSOCIATES ARCHITECTURE
MICHAEL F. SOFARELLI, JR., AIA.
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Revisions:

Content:
PROPOSED EXTERIOR ELEVATIONS

Filename: MAD. BCH. CENTER
Date: 04-09-2026
Proj. no. 26018
Sheet:

A-13

BOUNDARY / TOPOGRAPHIC SURVEY

THE MAP AND REPORT ARE NOT FULL AND COMPLETE WITHOUT THE OTHER.

SURVEYOR'S REPORT

LEGAL DESCRIPTION:

SURVEYOR'S REPORT

LEGAL DESCRIPTION FOR PARENT TRACT: (DEED BOOK 1454 PAGE 387)

PARCEL 1
COMMENCE AT THE INTERSECTION OF THE NORTH BOUNDARY OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, AND THE CENTERLINE OF STATE ROAD 233, AS SHOWN ON THE PLAT FILED IN DEED BOOK 882, PAGE 44, RECORDS OF PINELLAS COUNTY, FLORIDA; RUN THENCE NORTH 43 DEGREES 51 MINUTES 28 SECONDS EAST ALONG THE CENTERLINE OF SAID STATE ROAD 233, A DISTANCE OF 6718 FEET; THENCE SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST, 50 FEET FOR A P.O.B.; RUN THENCE SOUTH 43 DEGREES 51 MINUTES 28 SECONDS WEST PARALLEL TO THE CENTERLINE OF SAID STATE ROAD 233, A DISTANCE OF 60 FEET; THENCE SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST TO THE SHORE LINE OF BOCA CIEGA BAY; THENCE NORTHWESTWARD ALONG THE WATERS OF BOCA CIEGA BAY TO A POINT SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST FROM THE P.O.B.; THENCE NORTH 46 DEGREES 8 MINUTES 32 SECONDS WEST TO THE P.O.B., TOGETHER WITH ALL RIPARIAN RIGHTS, RIGHTS OF ACCRETION THEREUNTO APPERTAINING.

PARCEL 2
COMMENCE AT THE INTERSECTION OF THE NORTH BOUNDARY OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, AND THE CENTERLINE OF STATE ROAD 233, AS SHOWN ON THE PLAT FILED IN DEED BOOK 882, PAGE 44, RECORDS OF PINELLAS COUNTY, FLORIDA; RUN THENCE NORTH 43 DEGREES 51 MINUTES 28 SECONDS EAST, 1658 FEET ALONG THE CENTERLINE OF SAID STATE ROAD 233, A DISTANCE OF 1718 FEET; THENCE SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST 50 FEET FOR A P.O.B.; THENCE NORTH 43 DEGREES 51 MINUTES 28 SECONDS EAST 100 FEET PARALLEL TO THE CENTERLINE OF SAID STATE ROAD 233; THENCE SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST TO THE SHORE LINE OF BOCA CIEGA BAY; THENCE FOLLOWING SAID SHORELINE OF BOCA CIEGA BAY TO A POINT SOUTH 46 DEGREES 8 MINUTES 32 SECONDS EAST FROM THE P.O.B.; THENCE NORTH 46 DEGREES 8 MINUTES 32 SECONDS WEST TO THE P.O.B., TOGETHER WITH ALL RIPARIAN RIGHTS, RIGHTS OF ACCRETION, FIVE FEET EACH SIDE AND ABUTTING THE SOUTH-WESTERLY BOUNDARY LINE IS RESTRICTED AGAINST BUILDINGS OF ALL KINDS.

PARCEL 3
BEGINNING THE INTERSECTION OF THE NORTH BOUNDARY OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, AND THE CENTERLINE OF STATE ROAD 233, AS SHOWN ON THE PLAT FILED IN DEED BOOK 882, PAGE 44, RECORDS OF PINELLAS COUNTY, FLORIDA; RUN THENCE NORTH 43 DEGREES 51 MINUTES 28 SECONDS EAST, 1838 FEET ALONG THE CENTERLINE OF STATE HIGHWAY NO. 233; THENCE SOUTH 46 DEGREES 09 MINUTES EAST 225 FEET TO MEAN HIGH WATER FOR A POINT OF BEGINNING; THENCE SOUTH 46 DEGREES 09 MINUTES EAST 375 FEET; THENCE NORTH 43 DEGREES 51 MINUTES EAST 160 FEET; THENCE NORTH 46 DEGREES 09 MINUTES WEST, 485 FEET TO THE HIGH WATER MARK; THENCE SOUTH ALONG THE HIGH WATER MARK TO THE P.O.B., CONTAINING IN ALL, 1.58 ACRES MORE OR LESS, SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

PARCEL 4
FROM A POINT OF INTERSECTION OF THE NORTH LINE OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, WHICH NORTH LINE OF GOVERNMENT LOT 2 HAS BEEN ESTABLISHED BY AGREEMENT (SEE PINELLAS COUNTY DEED BOOK 882, PAGE 41), AND THE CENTERLINE OF STATE ROAD NO. 233; THENCE NORTH 43 DEGREES 51'28" EAST ALONG SAID CENTERLINE OF STATE ROAD NO. 233, 1448.42 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE ALONG SAID CENTERLINE OF STATE ROAD NO. 233, NORTH 43 DEGREES 51'28" EAST 208.38 FEET; THENCE SOUTH 46 DEGREES 08'32" EAST TO THE WATERS OF BOCA CIEGA BAY; THENCE SOUTH-WESTERLY ALONG THE WATERS OF BOCA CIEGA BAY TO A POINT SOUTH 40 DEGREES 09'32" EAST FROM THE P.O.B.; THENCE NORTH 46 DEGREES 08'32" WEST TO P.O.B., LESS RIGHT-OF-WAY OF STATE ROAD NO. 233.

11. LEASE PARCEL DESCRIPTION:
30' X 30' BELLSOUTH MOBILITY LEASE AREA (AS PROVIDED)
A TRACT OF LAND IN SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST AND THE CENTERLINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID CENTERLINE OF STATE ROAD NO. 233, A DISTANCE OF 1448.42 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 50.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 369.00 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 353.95 FEET; THENCE SOUTH 44°12'29" WEST, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE SOUTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING; SAID DESCRIBED TRACT CONTAINING 0.0207 ACRES, MORE OR LESS.

20' X 30' PROPOSED NEXTEL LEASE AREA (AS PROVIDED)
A TRACT OF LAND IN SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST AND THE CENTERLINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID CENTERLINE OF STATE ROAD NO. 233, A DISTANCE OF 1448.42 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 50.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 369.00 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 384.09 FEET; THENCE SOUTH 45°00'00" WEST, A DISTANCE OF 40.60 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 20.00 FEET; THENCE NORTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE SOUTH 45°00'00" EAST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING; SAID DESCRIBED TRACT CONTAINING 0.014 ACRES, MORE OR LESS.

PROPOSED CROWN CASTLE LEASE AREA
A TRACT OF LAND IN SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE POINT OF INTERSECTION OF THE NORTH LINE OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST AND THE CENTERLINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID CENTERLINE OF STATE ROAD NO. 233, A DISTANCE OF 1448.42 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 50.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF SAID STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 369.00 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 353.95 FEET; THENCE SOUTH 44°12'29" WEST, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 30.00 FEET; THENCE SOUTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" EAST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING; SAID DESCRIBED TRACT CONTAINING 0.014 ACRES, MORE OR LESS.

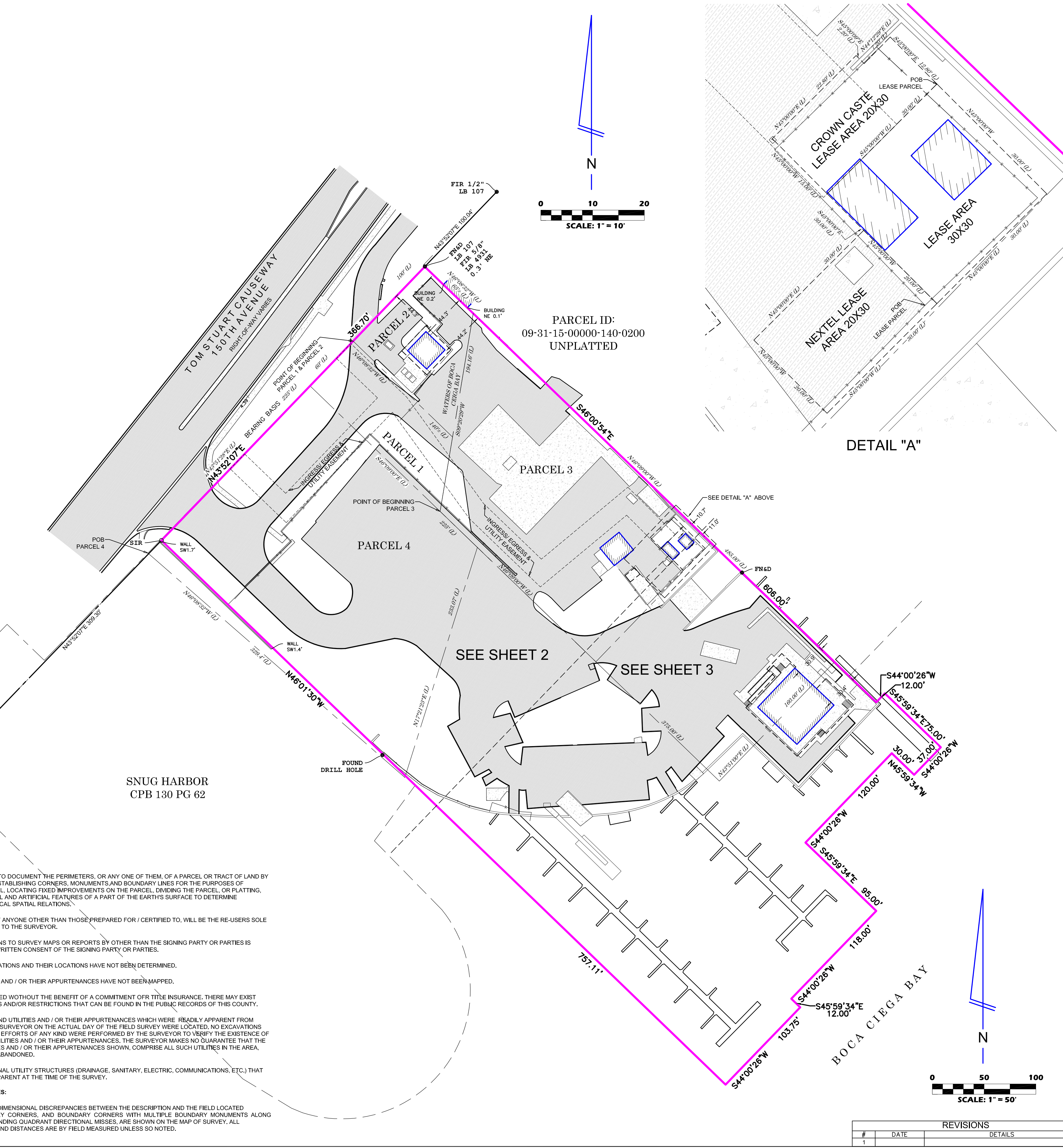
EASEMENT DESCRIPTION (AS PROVIDED):
20' EASEMENT FOR INGRESS/EGRESS & UTILITIES' A TRACT OF LAND IN SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF GOVERNMENT LOT 2, SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST, AND THE CENTERLINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID CENTERLINE OF STATE ROAD NO. 233, A DISTANCE OF 1448.42 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 50.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 233; THENCE NORTH 43°51'28" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 369.00 FEET; THENCE SOUTH 46°08'32" EAST, A DISTANCE OF 353.95 FEET; THENCE SOUTH 44°12'29" WEST, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 30.00 FEET; THENCE SOUTH 45°00'00" EAST, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" EAST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTHWESTERLY S 45°00'00" W, A DISTANCE OF 30.00 FEET; THENCE NORTH 45°00'00" WEST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

- ACCURACY:**
- ALL MEASUREMENTS, DISTANCES, ELEVATIONS (IF SHOWN) AND FEATURES WERE PERFORMED IN STRICT ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE (5J-17FAC).
 - METHODS FOR ALL CONTROL MEASUREMENTS WERE MADE WITH A TRANSIT AND STEEL TAPE, OR DEVICES WITH EQUIVALENT OR HIGHER DEGREES OF ACCURACY.
 - THE ACCURACY STANDARD USED FOR THIS SURVEY, AS CLASSIFIED IN THE MINIMUM STANDARDS OF PRACTICE (5J-17 FAC), IS "COMMERCIAL/HIGH RISK". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 10,000 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE MET THIS REQUIREMENT.
- DATA SOURCES:**
- BASIS OF BEARING IS THE SOUTHEASTERLY RIGHT-OF-WAY OF THE 150TH AVENUE (TOM STUART CAUSEWAY), BEING N43°51'28"E, (STATE PLANE COORDINATE SYSTEM, FLORIDA WEST ZONE, NORTH AMERICAN DATUM, 1983 ADJUSTMENT)
 - WARRANTY DEED, RECORDED IN OFFICIAL RECORDS BOOK 17229, PAGE 553, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.
 - ELEVATIONS SHOWN HEREON BASED ON NATIONAL GEODETIC SURVEY BENCHMARK, xxxxxx "MADEIRA BEACH", HAVING AN ELEVATION OF xxxxx FEET, (NORTH AMERICAN VERTICAL DATUM 1988).

FLOOD ZONE MAP (NOT TO SCALE) SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY

- LIMITATIONS:**
- PURPOSE OF SURVEY: TO DOCUMENT THE PERIMETERS, OR ANY ONE OF THEM, OF A PARCEL OR TRACT OF LAND BY ESTABLISHING OR RE-ESTABLISHING CORNERS, MONUMENTS AND BOUNDARY LINES FOR THE PURPOSES OF DESCRIBING THE PARCEL, LOCATING FIXED IMPROVEMENTS ON THE PARCEL, DIVIDING THE PARCEL, OR PLATTING, AND SELECTED NATURAL AND ARTIFICIAL FEATURES OF A PART OF THE EARTH'S SURFACE TO DETERMINE HORIZONTAL AND VERTICAL SPATIAL RELATIONS.
 - USE OF THIS SURVEY BY ANYONE OTHER THAN THOSE PREPARED FOR / CERTIFIED TO, WILL BE THE RE-USERS SOLE RISK WITHOUT LIABILITY TO THE SURVEYOR.
 - ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - UNDERGROUND FOUNDATIONS AND THEIR LOCATIONS HAVE NOT BEEN DETERMINED.
 - IRRIGATION EQUIPMENT AND / OR THEIR APPURTENANCES HAVE NOT BEEN MAPPED.
 - THIS SURVEY PERFORMED WITHOUT THE BENEFIT OF A COMMITMENT OF TITLE INSURANCE. THERE MAY EXIST ADDITIONAL EASEMENTS AND/OR RESTRICTIONS THAT CAN BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
 - ONLY THE UNDERGROUND UTILITIES AND / OR THEIR APPURTENANCES WHICH WERE READILY APPARENT FROM GROUND LEVEL TO THE SURVEYOR ON THE ACTUAL DAY OF THE FIELD SURVEY WERE LOCATED. NO EXCAVATIONS OR SUBSURFACE WORK EFFORTS OF ANY KIND WERE PERFORMED BY THE SURVEYOR TO VERIFY THE EXISTENCE OF ANY UNDERGROUND UTILITIES AND / OR THEIR APPURTENANCES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES AND / OR THEIR APPURTENANCES SHOWN, COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
 - THERE MAY BE ADDITIONAL UTILITY STRUCTURES (DRAINAGE, SANITARY, ELECTRIC, COMMUNICATIONS, ETC.) THAT WERE NOT READILY APPARENT AT THE TIME OF THE SURVEY.

- BOUNDARY INCONSISTENCIES:**
- ANY ANGULAR AND/OR DIMENSIONAL DISCREPANCIES BETWEEN THE DESCRIPTION AND THE FIELD LOCATED OCCUPATION BOUNDARY CORNERS, AND BOUNDARY CORNERS WITH MULTIPLE BOUNDARY MONUMENTS ALONG WITH THEIR CORRESPONDING QUADRANT DIRECTIONAL MISSES, ARE SHOWN ON THE MAP OF SURVEY. ALL PERIMETER BEARINGS AND DISTANCES ARE BY FIELD MEASURED UNLESS SO NOTED.



BULLSEYE SURVEYING, INC.
LB 7818
2198 NE COACHMAN ROAD, UNIT F
CLEARWATER, FL 33762
PHONE: 727-475-8088

PARCEL INFORMATION:
SECTION 9, TOWNSHIP 31 SOUTH, RANGE 15 EAST
PINELLAS COUNTY, FLORIDA

ADDRESS:
503 150TH AVENUE, MADEIRA BEACH, FL 33708

FOLIO: 09-31-15-00000-140-0300

- SYMBOL LEGEND**
- NOTES**
- BAR CONDITIONING EQUIPMENT
 - BACKFLOW PREVENTER
 - BOLLARD OR POST
 - CLC/LANOUT
 - DRAINAGE MANHOLE
 - ELECTRIC EQUIPMENT
 - ELECTRIC METER
 - ELECTRIC MANHOLE
 - FIRE HYDRANT
 - FIBRE OPTIC WARNING SIGN
 - GAS VALVE
 - GRATE INLET
 - GUY ANCHOR
 - LIGHT POLE (CONCRETE)
 - LIGHT POLE (WOOD)
 - MONITORING WELL
 - SANITARY MANHOLE
 - SANITARY SEWER VALVE
 - SIGN
 - TELEPHONE EQUIPMENT
 - TREE (PALM)
 - TREE (OAK)
 - TREE (OTHER)
 - UTILITY POLE (WOOD)
 - WATER VALVE
 - WATER METER

ABBREVIATIONS

- NOTES**
- (L)=INFORMATION FROM PLAT
 - CPB=CONDOMINIUM PLAT BOOK
 - FIR=FOUND REBAR SIZE AS NOTED
 - FN&D=FOUND NAIL AND DISK
 - FXC=FOUND "X" CUT
 - LB=LICENSED BUSINESS
 - LS=LICENSED SURVEYOR
 - PB=PLAT BOOK
 - PG=PAGE
 - POB=POINT OF BEGINNING
 - PSM=PROFESSIONAL SURVEYOR AND MAPPER
 - PVC=POLYVINYL CHLORIDE PIPE
 - SIRV=SET 1/2" REBAR & CAP LB 7818
 - SND=SET NAIL AND DISK LB 7818

THIS SURVEY AND THE COPIES THEREOF, EXCEPT THOSE WITH ELECTRONIC SIGNATURE AND ELECTRONIC SEAL, THE SURVEY OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

ADDITIONS OR DELETIONS TO SURVEY REPORTS OR MAPS BY ANYONE OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED

CERTIFIED TO:

- CITY OF MADEIRA BEACH

GEORGE R. MARTIN
PROFESSIONAL SURVEYOR & MAPPER
LICENSE NUMBER LS 6019
STATE OF FLORIDA

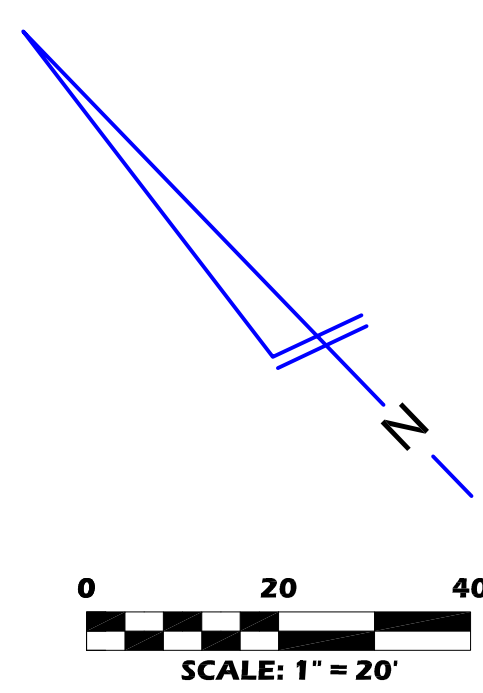
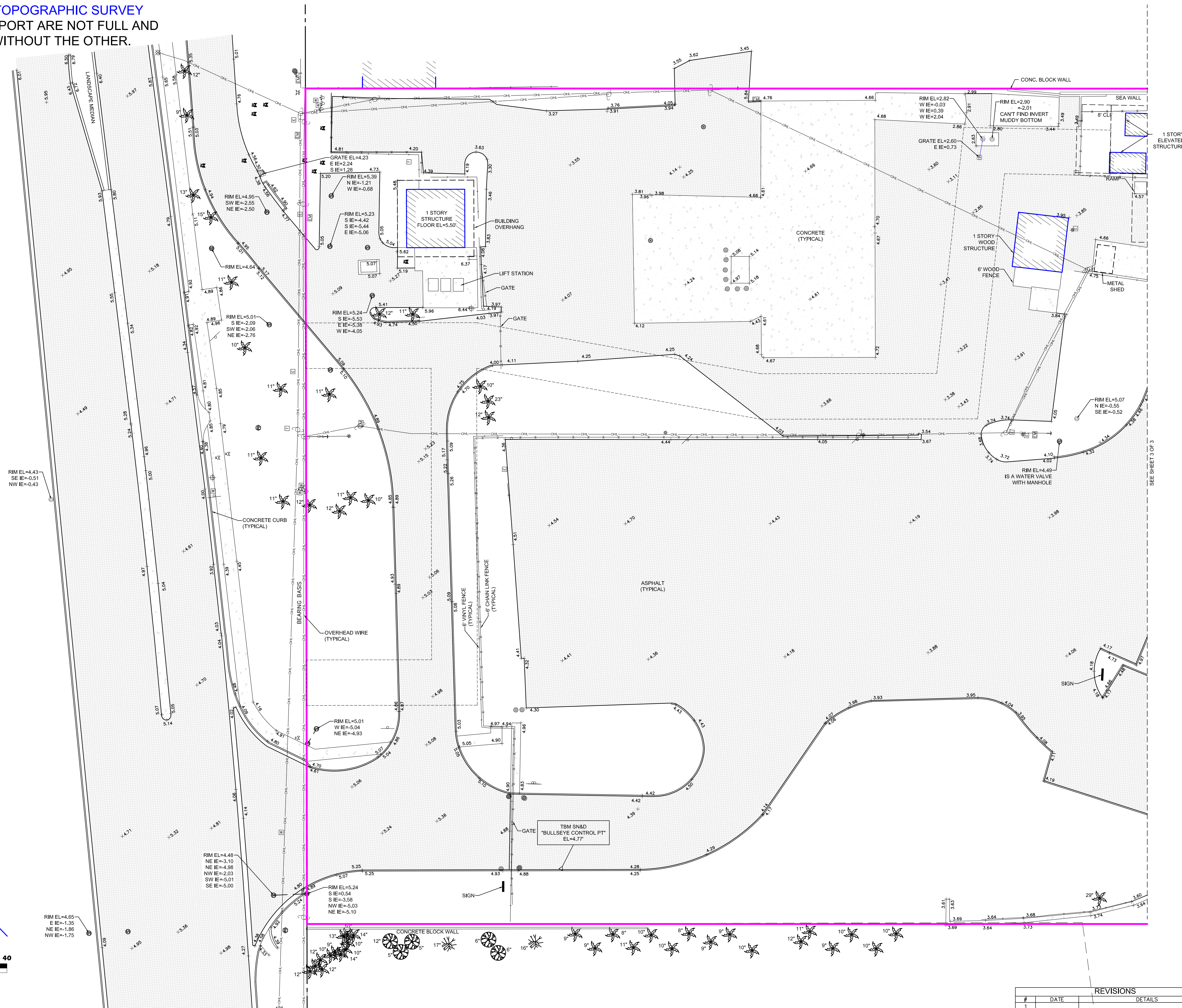
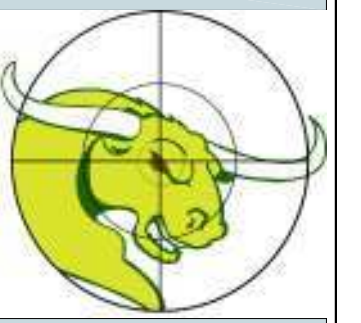
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30/40-45	VARIES	1 of 3
DRAFTED BY	SURVEY FIELD DATE	
GSST	01/16/2023	
PROJECT NUMBER	FILE NAME	
22-064	22-064-2.dwg	

REVISIONS		
#	DATE	DETAILS
1		

BOUNDARY / TOPOGRAPHIC SURVEY
THE MAP AND REPORT ARE NOT FULL AND COMPLETE WITHOUT THE OTHER.

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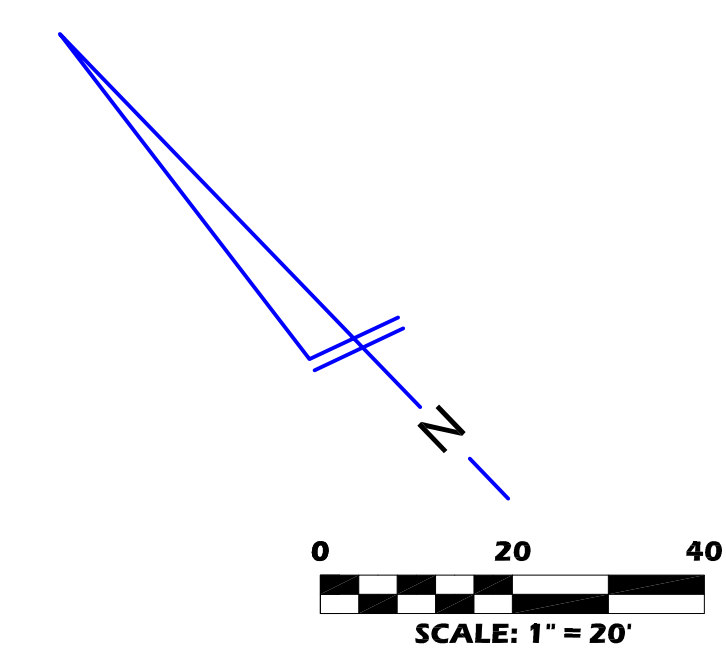
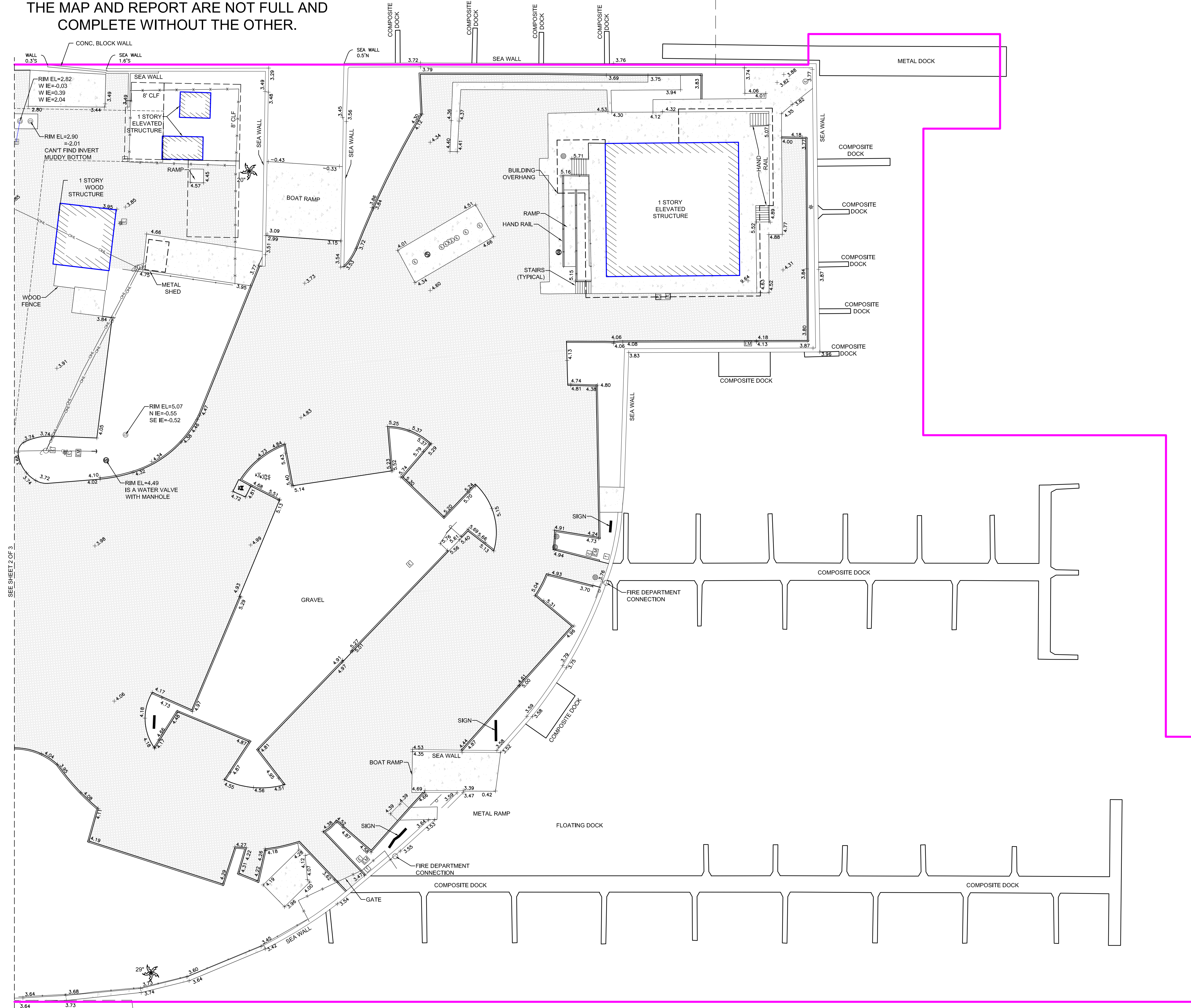
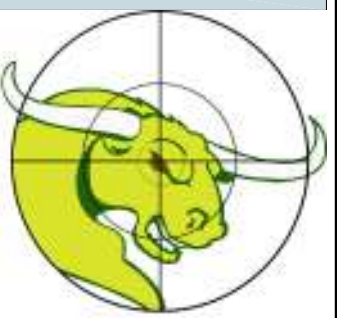
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FIELD BOOK / PAGE	SCALE	SHEET NUMBER
30/40-45	1" = 20'	2 of 3
DRAFTED BY	SURVEY FIELD DATE	
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