PLAN COMMISSION AGENDA



February 19, 2025 at 5:30 PM 303 Mansion Street Mauston, WI

- 1. Call to Order/Roll Call
- 2. Discussion and action relating to Minutes
 - a. January 14, 2025
- Discussion and recommendation to approve Conditional Use Permit 2025-P-03 for CMK
 Properties, LLC to build a retail store over 10,000 sq ft, which is considered a Group
 Development.
 - a. Conditional Use Permit 2025-P-03 and Plans
- 4. Discussion and action to preliminary approval of Ron Brunner's rural-style subdivision, contingent upon finalizing the utilities agreement with the City of Mauston.
 - a. City Admin memo
- Discussion and recommendation to approve Renewal Unlimited Head Start Daycare
 Conditional Use Permit 2025-P-04 Amending Resolution 2019-P-05
 - a. Conditional Use Permit 2025-P-04 and plans
- 6. Adjourn

NOTICE:

It is possible that action will be taken on any of the items on the agenda and that the agenda may be discussed in any order. It is also possible that a quorum of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

Also, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact City Deputy Clerk Nicole Lyddy (608) 747-2706.

Any member of the public wishing to join the meeting telephonically should call City Hall by 4pm the day of the meeting. Staff will be happy to provide instructions on joining the meeting by phone. City Hall main number: 608-847-6676

Section 2, Item a.

PLAN COMMISSION MINUTES



January 14, 2025 at 5:30 PM 303 Mansion Street Mauston, WI

- 1. Call to Order/Roll Call: The Mauston Plan Commission met in the Community Room of Mauston City Hall and was called to order by Mayor Teske at 5:30 pm Tuesday, January 14, 2025. Members present were Mark Messer, Lenord Kluge, Brian McGuire, Paul Coggins, and Mayor Darryl Teske. Absent was Devan Minard. Also, present were Administrator Daron Haugh, Josh Low from Ehlers, and Zoning Administrator Val Nelson.
- 2. Minutes: McGuire/Kluge to approve minutes of November 20, 2024. Motion carried unanimously.
- 3. Public Hearing regarding proposed amendment of the boundaries and Project Plan of Tax Incremental District No. 5: Mayor Teske opened the public hearing. Josh Low from Ehlers spoke on the proposed amendment and answered any questions the commission had.
 McGuire/Kluge to close the public hearing. Motion carried unanimously.
- **4. Resolution 2025-P-02:** Kluge/McGuire to approve resolution 2025-P-02 Amendment to the Project Plan and Boundaries of Tax Incremental District No. 5. Motion carried unanimously.

5.	Adjourn: Kluge/Coggins to adjourn.	Motion carried unanimously at 6:00 pm.

Chair	Date	

City of Mauston Resolution 2025-P-03

RESOLUTION APPROVING CONDITIONAL USE TRACTOR SUPPLY GROUP DEVELOPMENT

Return Address: City of Mauston

Attn: Val Nelson 303 Mansion Street

Mauston, Wisconsin 53948

Parcel I.D. 29-251-1687

APPLICANT: CMK Properties, LLC

PROPERTY OWNER:

PROPERTY AFFECTED:

Address: 100 Powers Ave

Legal Description: Lot Two (2) of Juneau County Certified Survey Map No. 3329, Recorded in Volume 14, Page 109 as Document 632398, Located in the Southwest Quarter of the Northeast Quarter (SW1/4-NE1/4) of Section 8, Township 15 North, Range 4 East, City of Mauston, Juneau County, Wisconsin, containing 470,644 square feet or 10.804 acres.

WHEREAS, the City of Mauston has received a request for a Conditional Use by the above Applicant regarding the above property, which application is attached hereto and incorporated herein by reference; and

WHEREAS, the Plan Commission has reviewed the application, site plan, and the resolution, and has recommended approval to the Common Council; and

WHEREAS, the Common Council has conducted a public hearing on said application and has carefully evaluated the application, along with input from City staff and consultants.

NOW, THEREFORE, the Common Council of the City of Mauston does hereby resolve as follows:

BE IT FURTHER RESOLVED that the Mauston Common Council finds that this application for a Conditional Use satisfies the standards required by Section 114-288 of the Zoning Ordinance, specifically as follows:

- (a) The Common Council finds that the proposed Conditional Use, in general, independent of its location, is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted or under consideration by the City.
- (b) The Common Council finds that the proposed Conditional Use, in its proposed specific location, is in harmony with the purposes, goals, objectives, policies and

- standards of the Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted or under consideration by the City.
- (c) The proposed Conditional Use will not cause a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
- (d) The proposed Conditional Use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- (e) The proposed Conditional Use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- (f) The potential public benefits (e.g. new retail store) of the proposed Conditional Use outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the Applicant's proposal, including the Applicant's suggestions to ameliorate any adverse impacts.

BE IT FURTHER RESOLVED that the Mauston Common Council approves the application for a Conditional Use subject to the following conditions and restrictions, which shall be perpetual, unless and until changed by action of the Plan Commission or until the Applicant ceases the use of the property which is conditionally approved herein:

- 1. APPROVED USE. The Applicant is hereby authorized to use the property, which is located in the Planned Business (PB) District, for the principal land use of Group Development, which is allowed as a "conditional use" pursuant to Sec. 114-130, and for the operation of the following land uses:
 - (a) Indoor Sales or Service pursuant to section 114-12(c)
 - **(b)** Outdoor Storage or Wholesaling pursuant to section 111-125(b)

No other use classification may be allowed o this property without first obtaining an amendment to this Resolution. Approval is subject to all the general regulations of the Zoning Ordinance and subject to the following conditions.

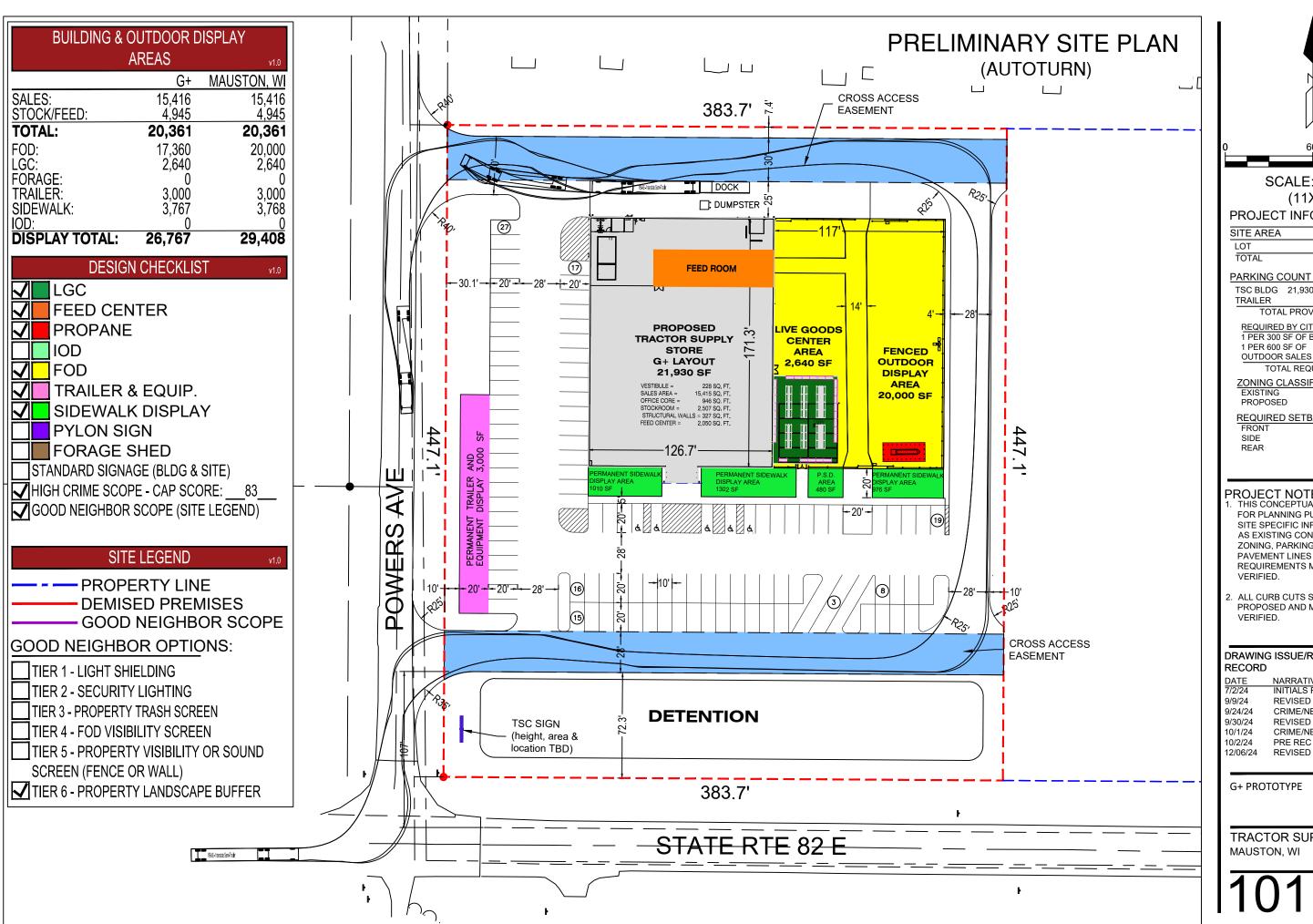
- 2. SITE PLAN APPROVAL. The Site Plan, dated 1/17/25, which is attached hereto and incorporated herein by reference, is approved. Construction of this project shall be completed in substantial conformance with the attached Site Plan, including all hand-written additions thereto and notations thereon which bear the initials of the Applicant and the City.
- 3. LANDSCAPING. The Landscaping Plan, dated <u>insert date</u>, which is attached hereto and incorporated herein by reference, is approved. The construction of all landscaping for this project shall be completed in substantial conformance with Article V of the Zoning Ordinance and with the attached

Landscaping Plan, including all hand-written additions thereto and notations thereon which bear the initials of the Applicant and the City. Furthermore, the landscaping shall be maintained by the Applicant, its successors and assigns, from year-to-year, in substantial conformance with the Landscaping Plan.

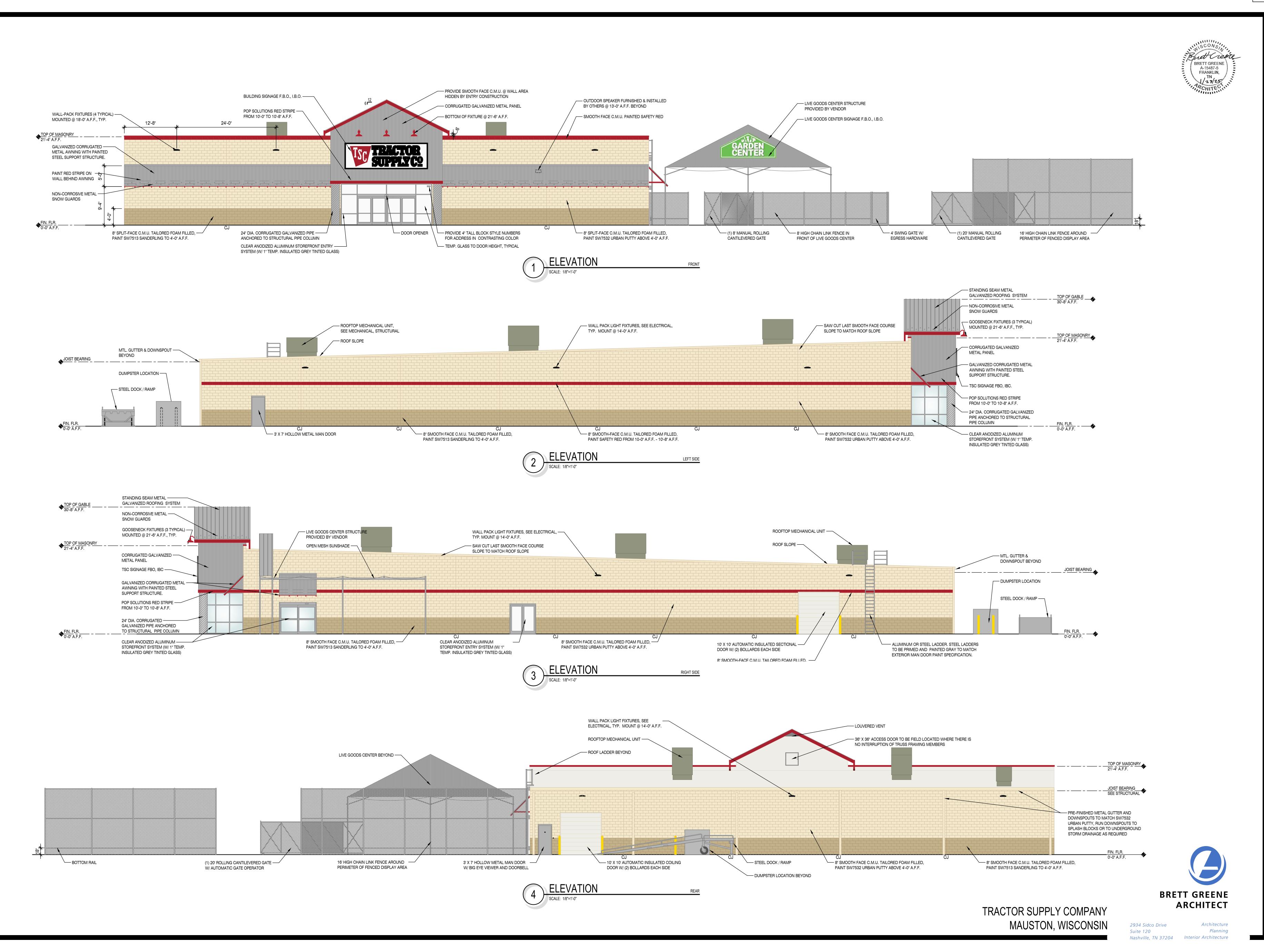
- 4. SIGNAGE. The Signage Plan, dated <u>2/11/25</u>, which is attached hereto and incorporated herein by reference, is approved. The construction of all signage shall be completed in substantial conformance with Article VII of the Zoning Ordinance and with the attached Signage Plan, including all hand-written additions thereto and notations thereon which bear the initials of the Applicant and the City.
- **5. GARBAGE.** The Site Plan shows the location of garbage enclosures. The construction and maintenance of the garbage enclosure shall be in conformance with the standards of Article V of the Zoning Ordinance and with the Site Plan. The Applicant shall provide for garbage collection at such intervals to avoid spill-over of garbage from these enclosures.
- **6. OUTSIDE STORAGE.** The site plan shows the location of outside display areas for trailers, equipment, and other retail items, as well as a covered and fenced garden center. No other outdoor storage areas are permitted.
- 7. **LIGHTING.** The Lighting Plan, dated <u>1/27/25</u>, which is attached hereto and incorporated herein by reference, is approved. The construction and maintenance of the exterior lighting shall be in conformance with Article V of the Zoning Ordinance and with the Site Plan. All lighting shall be "down-styled" lighting. All lighting shall be designed, installed and maintained to prevent the glare of light toward adjacent buildings and onto the adjacent street.
 - **8. ACCESSORY STRUCTURES.** No accessory structures are approved or permitted.
- **9. PARKING.** There are 105 parking spaces per the site plan. Parking area shall be of a hard surface material, and parking stalls shall be striped, with dimensions required by the Zoning Code.
- 10. WATER AND SEWER CONNECTION. The City will extend the water and sewer mains to the property line on Powers Avenue in conjunction with construction of the building.
- 11. STORM WATER. The detention area on site plan is approved. All drainage, grading and topographic work on the site shall be performed pursuant to this plan and to DNR requirements.
- 12. BUILDING MATERIALS. The Site Plan contains building elevations which shows the exterior of the building. The building will be constructed exactly as shown on the Site Plan. The Applicant intends to use the following colors and products on the exterior of the buildings, which are hereby approved:
 - (a) Smooth Faced Concrete Block: Sanderling and Urban Putty
 - **(b) Trim:** Safety Red and Gray
 - (c) Awning and Main Entrance: Corrugated metal panel, Gray
- 13. **DRIVEWAYS AND ACCESS**. The site plan shows the location of two driveways off of Powers Avenue. The access and driveways shall comply with the standards of Article V of the Zoning Ordinance.

- 14. **COMPLETION DATE.** The property may not be used or occupied for the Conditional Use granted herein until **ALL** the terms and conditions of this document are completed and fulfilled, except:
 - (a) Landscaping: August 2026
- 15. CERTIFICATE OF OCCUPANCY. Upon completion of the project authorized by this Resolution and before the project is used or occupied for the Conditional Use granted herein, the Applicant shall notify the City Zoning Administrator, who shall inspect the project and, if appropriate, shall issue a Certificate of Occupancy, pursuant to section 114-292 of the Mauston Zoning Ordinance.
- 16. CHANGES. Pursuant to section 114-288 of the Zoning Ordinance, the Applicant may apply to the Zoning Administrator for "minor" changes to the Site Plan or this Conditional Use, which changes may be granted, in writing, by the Zoning Administrator, provided (i) the changes do not violate any of the minimum standards of the Mauston Zoning Ordinance and (ii) the spirit and intent of the original Conditional Use is preserved. The Zoning Administer shall determine, in his/her sole discretion, whether a change is "minor". All changes which are not "minor" shall be submitted to and approved in writing by the Plan Commission. Whenever an approved change alters any part of a recorded document, the document which authorizes said change shall also be recorded.
- 17. OTHER REGULATIONS. Nothing herein shall constitute a waiver or limitation of the Applicant's compliance with all other Mauston ordinances and regulations, including all other requirements of the Mauston Zoning Ordinance.
- 18. ENFORCEMENT. The conditions imposed herein (including the conditions imposed by any plans or changes submitted hereafter), shall all be enforced as on-going conditions of this Conditional Use Resolution. Failure of the Applicant to comply with these conditions, shall entitle the City to take enforcement action, which may include fines, forfeitures, injunctions, and/or termination of this Resolution, which in turn will require the Applicant to cease the use of the property authorized herein until a new Conditional Use is approved.
- **19. RECORDING.** A copy of this Resolution, without attachments, shall be recorded with the Juneau County Register of Deeds.
- **20. BINDING AFFECT.** This Resolution shall be binding upon and shall inure to the benefit of the heirs, successors and assigns of both parties. Nothing herein shall be construed as limiting the right of the Owner to sell, give, or otherwise convey the premises, provided that the use and occupancy of the premises by any new owner shall be subject to the terms of this Resolution, which shall run with the land and which shall be perpetual, unless and until changed by action of the Common Council.
- 21. SUNSET CLAUSE. All buildings and structures approved on a site plan shall be fully developed within two years of final approval of the site plan, unless a different date is established by the plan commission in writing. After the expiration of such period, no additional site plan development shall be permitted on undeveloped portions of the subject property. The plan commission may extend this period, as requested by the applicant, through the conditional use process following a public hearing.

Introduced and adopted this	day of	, 2025.
CITY OF MAUSTON COMMON C	OUNCIL	
Approved:	Attest:	dministrator
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A	PPLICANT APPROVAL	
A The undersigned Applicant hereby ack acknowledges that the development an conditions of this Conditional Use and	nowledges receipt of this Condition d use of the property shall conform	
The undersigned Applicant hereby ack acknowledges that the development an	nowledges receipt of this Condition duse of the property shall conform the Mauston Zoning Ordinance.	m with the terms and
The undersigned Applicant hereby ack acknowledges that the development an conditions of this Conditional Use and	nowledges receipt of this Condition duse of the property shall conform the Mauston Zoning Ordinance. Date	m with the terms and d:
The undersigned Applicant hereby ack acknowledges that the development an conditions of this Conditional Use and Signature:	nowledges receipt of this Condition duse of the property shall conform the Mauston Zoning Ordinance. Date	m with the terms and d:



Section 3, Item a. 120' SCALE: 1"= 60' (11X17)PROJECT INFORMATION ± 3.95 AC ± 3.95 AC PARKING COUNT SUMMARY TSC BLDG 21,930 SF 105 SP TOTAL PROVIDED 105 SP REQUIRED BY CITY 1 PER 300 SF OF BLDG 74 SP 45 SP **OUTDOOR SALES** TOTAL REQUIRED 119 SP ZONING CLASSIFICATION REQUIRED SETBACKS 40' **PROJECT NOTES** THIS CONCEPTUAL SITE PLAN IS FOR PLANNING PURPOSES ONLY. SITE SPECIFIC INFORMATION SUCH AS EXISTING CONDITIONS, ZONING, PARKING, LANDSCAPE PAVEMENT LINES AND UTILITY REQUIREMENTS MUST BE ALL CURB CUTS SHOWN ARE PROPOSED AND MUST BE DRAWING ISSUE/REVISION NARRATIVE DRAWN BY INITIALS RELEASE REVISED BLOCK CRIME/NEIGHBOR REVISED ENTRANCE MCL CRIME/NEIGHBOR MCL PRE REC NOTES MCI REVISED W/ SURVEY LMG TRACTOR SUPPLY



Designer
Adam Carrier
Date
)1/29/2025
Scale
Not to Scale
Drawing No.

1 of 1 10

Summary

	Statistics									
	Description		Symbol	Avg	N	Л ах	Mir	n M	ax/Min	Avg/Min
	Property Line Light	t Levels	+	0.2 fc	0	.5 fc	0.01	fc	N/A	N/A
	Parking Lot Light L	.evels	+	2.0 fc	7	.8 fc	0.11	fc	78.0:1	20.0:1
								Lumens	Light Lo	SS
Quantity	Catalog Number	Description			Lamp			Per Lamp		
2	RSX1-LED-P3-50K-R3- MVOLT-SPA-HS	Area Unit w/Ty Pole Height w/	thonia RSX1 Seri ype R3 Distributio '3ft. Base) HOUS FULL CUTOFF DE	on (22ft. E SIDE		000K (FL F DESIG	-	0698	0.95	109.442
1	RSX1-LED-P3-50K-R5S- -MVOLT-SPA	Area Unit w/T	thonia RSX1 Seri ype R5S Distribut '3ft. Base) FULL (tion (22ft.		000K (FU F DESIG		4778	0.95	109.44
5	RSX1-LED-P3-50K-R3- MVOLT-SPA	Area Unit w/T	ithonia RSX1 Ser ype R3 Distributio '3ft. Base) FULL (on (22ft.		000K (FU F DESIG		4022	0.95	218.88
1	RSX1-LED-P3-50K-R3- MVOLT-SPA		ithonia RSX1 Sei ype R3 Distributio '3ft. Base)			000K (FL F DESIG		4022	0.95	218.88
12	DSXW1-LED-10C-1000- -50K-T3M-MVOLT- DDBXD	Unit w/Type T	3M Distribution (Mounting Heights)	18ft. and		000K (FU F DESIG	-	898	0.95	38.8

LED/4000K (FULL | 1170

CUTOFF DESIGN)

0.95

H-15118-97/HL-AHD-27"97/21/LED2/40/D/ BCM-M

Hi-Lite H15118 Series LED Goosneck Unit (21.5ft. Mounting Height) Red Finish (FULL CUTOFF DESIGN)

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0.30.4	+0.8	⁺ 0.8 ⁺ 0.7	⁺ 0.9	+0.9	+0.6	+0.2	+0.1	+0.1	+0.1	+0.1	+0.1	+0.1	⁺ 0.1	†0.2	+0.4	†0.6	+0.7	0.5	0.5	0.5	0.5	0.4	0.4	0.2
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	*3.4 P- J IS <u>(</u> @/25	+2.4 +1.9	+1.7	⁺ 2.1	†3.0	+2.8	+3.3 k	(1 [†]∂ ⁸21.	5' ⁺ 4.6	⁺ 4.6 K1 (@ 21.5'	*3.3	*2.8	2.0	+1.3	†0.9	†0.7	+0.7	0.6	0.6	+0.5	⁺ 0.3	+0.2	0.2
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	Property Line Light	t Levels	+	0.2 fc	0.5 fc	0.0 fc	N/	Ά	N/A
	Parking Lot Light L	_evels	+	2.0 fc	7.8 fc	0.1 fc	78.0	D: 1	20.0:1
ty	Catalog Number	Description			Lamp		nens L Lamp	ight Loss. Factor	Wattage
	RSX1-LED-P3-50K-R3- MVOLT-SPA-HS	Area Unit w/Ty Pole Height w/	ithonia RSX1 Seri ype R3 Distributio /3ft. Base) HOUS FULL CUTOFF DE	on (22ft. E SIDE	LED/5000K (FU CUTOFF DESIG		3	0.95	109.442
	RSX1-LED-P3-50K-R5S- -MVOLT-SPA	Area Unit w/T	ithonia RSX1 Seri ype R5S Distribut /3ft. Base) FULL (tion (22ft.	LED/5000K (FU CUTOFF DESIG		3	0.95	109.44
	RSX1-LED-P3-50K-R3- MVOLT-SPA	Area Unit w/T	Lithonia RSX1 Ser ype R3 Distributio /3ft. Base) FULL (on (22ft.	LED/5000K (FU CUTOFF DESIG		2	0.95	218.88
	RSX1-LED-P3-50K-R3- MVOLT-SPA		ithonia RSX1 Sei		LED/5000K (FU CUTOFF DESIG	I	2	0.95	218.88

Schedule

 \blacksquare . \blacksquare

Symbol Label Quantity Cata

R9

K1



D-Series Size 0 ED Area Luminaire



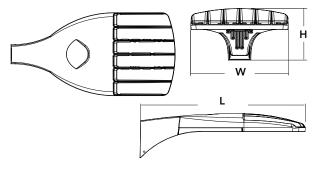


Specifications

0.95 ft² EPA: (.09 m²) 26" Length: (66.0 cm)

13" Width: (33.0 cm)

7" Height: (17.8 cm) Weight 16 lbs (max):



Catalog DSX0-LED-40C-700-5

Section 3, Item a.

Notes

Туре

SITE

Introduction

The modern styling of the D-Series is striking vet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED 40C 1000 40K T3M MVOLT SPA DDBXD

DSX0 LED												
Series	LEDs	Drive current Color tempera			mperature	Distrib	oution			Voltage	Mounting	
DSX0 LED	Forward optics	530	530 mA	30K	3000 K	T1S	Type I short	T5S	Type V short	MVOLT ⁵	Shipped include	ed
	20C 20 LEDs (one engine)	700	700 mA	40K	4000 K	T2S	Type II short	T5M	Type V medium	120 ⁵	SPA	Square pole mounting
	40C 40 LEDs (two engines)	1000		50K	5000 K	T2M	Type II medium	T5W	Type V wide	208 5	RPA	Round pole mounting
	Rotated optics ¹		(1 A) ²	AMBPC	Amber	T3S	Type III short	BLC	Backlight control ^{2,4}	240 5	WBA	Wall bracket
	30C 30 LEDs (one engine)				phosphor converted ³	T3M	Type III medium	LCC0	Left corner cutoff ^{2,4}	277 5	SPUMBA	Square pole universal mounting adaptor 7
					converteu	T4M	Type IV medium	RCC0	Right corner	347 ⁶	RPUMBA	Round pole universal mounting adaptor 7
						TFTM	Forward throw		cutoff ^{2,4}	480 ⁶	Shipped separa	tely
							medium				KMA8 DDBXD U	Mast arm mounting bracket adaptor
						T5VS	Type V very short					(specify finish) ⁸
		1		1		1				1	ı	

Control opt	tions	0ther	options	Finish (required)			
Shipped in PER PER5 PER7 DMG DCR PIR PIRH PIR1FC3V	NEMA twist-lock receptacle only (no controls) ⁹ Five-wire receptacle only (no controls) ^{9,10} Seven-wire receptacle only (no controls) ^{9,10} 0-10V dimming driver (no controls) ¹¹ Dimmable and controllable via ROAM® (no controls) ¹² Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ¹³ Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ¹³ Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ¹³	PIRH1FC3V BL30 BL50 PNMTDD3 PNMT5D3 PNMT6D3 PNMT7D3 FAO	Bi-level, motion/ambient sensor, 15–30' mounting height, ambient sensor enabled at 1fc ¹³ Bi-level switched dimming, 30% ^{14,15} Bi-level switched dimming, 50% ^{14,15} Part night, dim till dawn ¹⁶ Part night, dim 5 hrs ¹⁶ Part night, dim 6 hrs ¹⁶ Part night, dim 7 hrs ¹⁶ Field adjustable output ¹⁷	Shipp HS SF DF L90 R90 DDL BS	House-side shield ¹⁸ Single fuse (120, 277, 347V) ¹⁹ Double fuse (208, 240, 480V) ¹⁹ Left rotated optics ¹ Right rotated optics ¹ Diffused drop lens ¹⁸ Bird spikes	DDBXD DBLXD DNAXD DWHXD DWHXD DDBTXD DBLBXD DNATXD DWHGXD	Dark bronze Black Natural aluminum White Textured dark bronze Textured black Textured natural aluminum Textured white

Controls & Shields

Accessories

DLL127F 1.5 JU Photocell - SSL twist-lock (120-277V) ² DLL347F 1.5 CUL JU Photocell - SSL twist-lock (347V) 20 DLL480F 1.5 CUL JU Photocell - SSL twist-lock (480V) 20 DSHORT SRK II Shorting cap 20 DSX0HS 20C U House-side shield for 20 LED unit 18 DSX0HS 30C U House-side shield for 30 LED unit 18

House-side shield for 40 LED unit 18 Diffused drop lens (polycarbonate) 17 PUMBA DDBXD U* Square and round pole universal mounting bracket adaptor (specify finish)21

KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish)

For more control options, visit DTL and ROAM online

- 30 LEDs (30C option) and rotated options (L90 or R90) only available together. Not available with AMBPC.

- Not available with AMBPC.

 Only available with 530mA or 700mA.

 Not available with 150 r DDL.

 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120V, 208V, 240V or 277V options only when ordering with fusing (SF, DF options).

 Not available with single board, 530mA product (20C 530 or 30C 530). Not available with BL30, BL50 or PNMT options.

 Existing drilled pole only. Available as a separate combination accessory; for retrofit use only: PUMBA (finish) U; 1.5 G vibration load rating per ANCI CT36.31.

 Must order fixture with 5PA mounting. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).

 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See
- accessiones.

 If ROAM® node required, it must be ordered and shipped as a separate line item from Acuty Brands Controls. Not available with DCR. Node with integral dimming. DMG option for 347V or 480V requires 1000mA.
- DMG option for 347V or 480V requires 1000mA.

 Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM® deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net. N/A with PIR options, PERS, PER7, BL30, BL50 or PNMT options. Node without integral dimming.
- PIR and PIR1FC3V specify the Sens rSwitch SBGR-10-ODP control; PIRH and PIR and PIR IT-L3V specify the SensorSwitch SBGR-6-ODP control; PIRH and PIRHTEG3V specify the SensorSwitch SBGR-6-ODP control; see Outdoor Control Technical Guide for details, Dimming driver standard. Not available with PERS or PER7. Ambient sensor disabled when ordered with DCR. Separate on/off required. Not available with PNMT options. Requires an additional switched circuit. Dimming driver standard. MVOLT only. Not available with 947V, 480V, DCR, PER5, PER7 or PNMT options. Not available with PIRTEG3V and PIRHTEG3V.

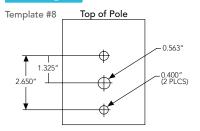
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, PER5, PER7, BL30 or BL50. Not available with PIR1FC3V and PIRH1FC3V. Separate on/
- PERT, DEAD OF DEAD TO STATE AT THE STATE OF THE STATE OF
- Not available with BLC, LCCO and RCCO distribution. Also available as a
- separate accessory; see Accessories information.
 Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.
- For retrofit use only.

DSXOHS 40C U

DSXODDL U

Drilling

Section 3, Item a.



DSXO shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS Single unit DM29AS 2 at 90° * 3 at 90° * DM28AS DM39AS 2 at 180° DM49AS 4 at 90° * DM32AS 3 at 120° **

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's POLES CENTRAL to see our wide selection of poles, accessories and educational tools. *Round pole top must be 3.25" O.D. minimum. $\ensuremath{^{**}\text{For round pole}}$ mounting (RPA) only.

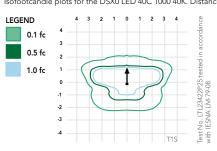
Tenon Mounting Slipfitter

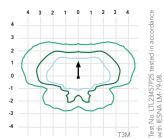
Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

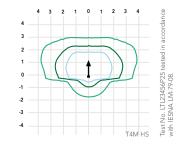
Photometric Diagrams

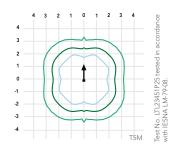
To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Area Size 0 homepage.

Isofootcandle plots for the DSX0 LED 40C 1000 40K. Distances are in units of mounting height (20').









Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40 °C (32-104 °F).

Amt	pient	Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.99

Electrical Load

					Curre	III (A)		
Number of LEDs	Drive Current (mA)	System Watts	120	208	240	277	347	480
	530	35	0.34	0.22	0.21	0.20		
20C	700	45	0.47	0.28	0.24	0.22	0.18	0.14
	1000	72	0.76	0.45	0.39	0.36	0.36	0.26
	530	52	0.51	0.31	0.28	0.25		
30C	700	70	0.72	0.43	0.37	0.34	0.25	0.19
	1000	104	1.11	0.64	0.56	0.49	0.47	0.34
	530	68	0.71	0.41	0.36	0.33	0.25	0.19
40C	700	91	0.94	0.55	0.48	0.42	0.33	0.24
	1000	138	1.45	0.84	0.73	0.64	0.69	0.50

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
		DSX0 LED	20C 1000	
	1	0.98	0.96	0.93
Lumen Maintenance		DSX0 LED	40C 1000	
	1	0.98	0.95	0.90
		DSX0 LED	40C 700	
	1	0.99	0.99	0.99

Performance Data

Section 3, Item a.

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Corporation		Drive					30K					40K					50K				AI	ИВРС		
TIS	LEDs							CRI)										CRI)		(Ambe			onvert	ed)
Time		(mA)	Watts	Туре	Lumens	В	U	G	LPW	Lumens	В	U	G	LPW	Lumens	В	U	G	LPW		В	U	G	LPW
Sad mar Sad				T1S	4,079	1	0	1	117	4,380	1	0	1	125	4,408	1	0	1	126	2,541	1	0	1	73
Signar S				T2S	4,206	1	0	_	120	4,516	1	0	1	129	4,544	1	0	_	130	2,589	1	0	1	74
S30 mA					-	_	_	_	_	-	1	_			-	_	-	_		-	1	0	1	73
S30 mA					 	_	_				_		-				-				1	0	1	73
S30 mA					-	_	_		_	-	+				-	_		_		-	1	0	1	74
S30 mA					-	_	_	_	_	-	_	_	_		-	_	_	_		-	1	0	1	73
TSS 4,401 2 0 0 2 126 4,725 2 0 0 0 135 4,755 2 0 0 0 136 2,690		530 mA	35 W			_	_	_			_		_		 	_	_	_			1	0	1	73
TSM					-	_	-	-	_	-	_	_	_		-	_	_	_		-	1	0	0	76
TSW				-	-	_	_	_	_	-	_				-	_	_	_		-	1	0	0	77
BIC 3,071 1 0 1 88 3,297 1 0 1 94 3,318 1 0 1 95					-	_	_	_	_		_		_		-	_		_		-	2	0	0	76 76
LICCO 2,983 1 0 1 85 3,204 1 0 1 92 3,224 1 0 1 92 1,224 1 0 1 92 1,224 1 0 1 92 1,224 1 0 1 92 1,224 1 0 1 92 1,224 1 0 1 1 1 1 1 1 1 1					-	_	_	_	_	-	-	_	_		-	_	_	_	_	2,003		U		/0
RCCO 2,983 1 0 1 85 3,204 1 0 1 92 3,224 1 0 1 92 1 1 2 1 1 2 1 1 2 1 2 3,144 1 1 2 1 2 3,144 1 1 2 1 2 3,144 1 2 3,144 1 2 1 2 3,144 1 2 1 2 3,144 1 2 1 2 3,144 1 2 1 2 3,144 1 2 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 3					-	_	_	_	_	-	_				-	_		_		-				
TIS 5,181 1 0 1 115 5,563 1 0 1 124 5,598 1 0 1 124 3,144 TZS 5,342 1 0 1 119 5,736 1 0 1 127 5,772 1 0 1 128 3,203 TZM 5,219 1 0 1 116 5,605 1 0 1 127 5,772 1 0 1 125 3,141 TZS 5,213 1 0 1 116 5,605 1 0 1 124 5,633 1 0 1 125 3,141 TZS 5,213 1 0 1 116 5,696 1 0 1 124 5,633 1 0 1 125 3,141 TZS 5,213 1 0 1 117 5,649 1 0 2 126 5,684 1 0 2 126 3,196 TZM TZM					 	_	_	_			_		_	_	 	_	_	_						
T2S					-	_	_	_	_		_	_			-	_		_	_	3.144	1	0	1	70
T2M					-	_	_	_	_		_		_		-	_		_		-	1	0	1	71
Table Tabl				T2M		_	_	1			_		1	_	 	_	0		_		1	0	1	70
20C (20 LEDS) 700 mA 45 W THM				T3S	5,213	1	0	1	116	5,598	1	0	1	124	5,633	1	0	1	125	3,165	1	0	1	70
20C (20 LEDs) 700 mA 45W TFIM 5,252 1 0 2 117 5,640 1 0 2 117 5,640 1 0 2 125 5,675 1 0 2 126 3,143 3,278 1555 5,588 2 0 0 124 6,002 2 0 0 133 6,039 2 0 0 134 3,328 15M 5,599 3 0 1 124 6,012 3 0 1 134 6,050 3 0 1 134 6,050 3 0 1 134 3,288 15W 5,517 3 0 1 1 123 5,243 3 0 1 1 134 5,961 3 0 1 1 134 5,961 3 0 1 1 134 5,961 3 0 1 1 1 1 1 1 1 1 1 1 1 1				T3M	5,260	1	0	1	117	5,649	1	0	2	126	5,684	1	0	2	126	3,196	1	0	1	71
TSVS S,548 2 0 0 123 S,958 2 0 0 132 S,995 2 0 0 0 133 3,278				T4M	5,332	1	0	1	118	5,725	1	0	2	127	5,761	1	0	2	128	3,179	1	0	1	71
TSVS 5,548 2 0 0 123 5,958 2 0 0 132 5,995 2 0 0 133 3,278 155 5,589 2 0 0 124 6,002 2 0 0 133 6,039 2 0 0 134 3,328 15W 5,517 3 0 1 124 6,012 3 0 1 134 6,050 3 0 1 134 3,288 15W 5,517 3 0 1 123 5,924 3 0 1 132 5,961 3 0 1 134 3,288 15W 5,517 3 0 1 123 5,924 3 0 1 132 5,961 3 0 1 132 3,295 16LC 3,909 1 0 1 87 4,198 1 0 1 93 4,224 1 0 1 94 120 1 94 120 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		700 mA	45 W		-	_	_	_	_	-	_	_			-	_	_	_		-	1	0	1	70
T5M 5,599 3 0 1 124 6,012 3 0 1 134 6,050 3 0 1 134 3,288 T5W 5,517 3 0 1 123 5,924 3 0 1 132 5,961 3 0 1 132 3,295 BLC 3,909 1 0 1 87 4,198 1 0 1 93 4,224 1 0 1 94 LCCO 3,798 1 0 1 84 4,078 1 0 1 91 4,104 1 0 1 91 RCCO 3,798 1 0 1 84 4,078 1 0 1 91 4,104 1 0 1 91 T1S 7,085 1 0 1 98 7,608 2 0 2 106 7,656 2 0 2 106 T2S 7,305 1 0 1 101 7,845 2 0 2 106 7,656 2 0 2 106 T2M 7,138 1 0 2 99 7,665 2 0 2 106 7,713 2 0 2 107 T3M 7,194 1 0 2 100 7,725 2 0 2 106 7,773 2 0 2 107 T3M 7,194 1 0 2 100 7,725 2 0 2 107 7,773 2 0 2 108 T4M 7,292 1 0 2 101 7,830 2 0 2 107 7,773 2 0 2 108 T4M 7,292 1 0 2 101 7,830 2 0 2 107 7,773 2 0 2 108 T4M 7,292 1 0 2 101 7,830 2 0 2 107 7,773 2 0 2 108 T5VS 7,588 2 0 0 105 8,148 3 0 0 113 8,199 3 0 0 114 T5S 7,644 2 0 0 106 8,208 2 0 0 114 8,274 3 0 1 115 T5M 7,657 3 0 1 106 8,222 3 0 1 114 8,274 3 0 1 115 T5W 7,545 3 0 1 105 8,102 3 0 2 113 8,153 3 0 2 113	(20 LEDs)	70011111	15 11			_	_	_			_		_			_	_	_			2	0	0	73
T5W 5,517 3 0 1 123 5,924 3 0 1 132 5,961 3 0 1 132 3,295 BLC 3,909 1 0 1 87 4,198 1 0 1 93 4,224 1 0 1 94 LCC0 3,798 1 0 1 84 4,078 1 0 1 91 4,104 1 0 1 91 RCC0 3,798 1 0 1 84 4,078 1 0 1 91 4,104 1 0 1 91 T1S 7,085 1 0 1 98 7,608 2 0 2 106 7,656 2 0 2 106 T2S 7,305 1 0 1 101 7,845 2 0 2 106 7,656 2 0 2 107 T2M 7,138 1 0 2 99 7,665 2 0 2 106 7,713 2 0 2 107 T3S 7,129 1 0 1 99 7,656 2 0 2 106 7,773 2 0 2 107 T3M 7,194 1 0 2 100 7,725 2 0 2 107 7,773 2 0 2 108 T4M 7,292 1 0 2 101 7,830 2 0 2 107 7,773 2 0 2 108 T4M 7,292 1 0 2 101 7,830 2 0 2 107 7,773 2 0 2 108 T5W 7,588 2 0 0 105 8,148 3 0 0 113 8,199 3 0 0 114 T5S 7,644 2 0 0 106 8,208 2 0 0 114 8,274 3 0 1 115 T5W 7,545 3 0 1 106 8,222 3 0 1 114 8,274 3 0 1 115 T5W 7,545 3 0 1 105 8,102 3 0 2 113 8,153 3 0 2 113					-	_	_	_	_	-	_		_		-,	_	-	_	_	-	2	0	0	74
BLC 3,909 1 0 1 87 4,198 1 0 1 93 4,224 1 0 1 94 LCC0 3,798 1 0 1 84 4,078 1 0 1 91 4,104 1 0 1 91 RCC0 3,798 1 0 1 84 4,078 1 0 1 91 4,104 1 0 1 91 T1S 7,085 1 0 1 98 7,608 2 0 2 106 7,656 2 0 2 106 T2S 7,305 1 0 1 101 7,845 2 0 2 109 7,894 2 0 2 110 T2M 7,138 1 0 2 99 7,665 2 0 2 106 7,713 2 0 2 107 T3S 7,129 1 0 1 99 7,656 2 0 2 106 7,704 2 0 2 107 T3M 7,194 1 0 2 100 7,725 2 0 2 107 7,773 2 0 2 108 T4M 7,292 1 0 2 101 7,830 2 0 2 107 7,773 2 0 2 108 T4M 7,292 1 0 2 101 7,830 2 0 2 107 7,773 2 0 2 108 T4M 7,183 1 0 2 100 7,725 2 0 2 107 7,773 2 0 2 108 T5S 7,644 2 0 0 105 8,148 3 0 0 113 8,199 3 0 0 114 T5S 7,644 2 0 0 106 8,208 2 0 0 114 8,259 2 0 0 115 T5M 7,657 3 0 1 106 8,222 3 0 1 114 8,274 3 0 1 115 T5W 7,545 3 0 1 105 8,102 3 0 2 113 8,153 3 0 2 113					-	_	_	_	_	-	_				-	_		_		-	2	0	1	73
LCCO 3,798 1 0 1 84 4,078 1 0 1 91 4,104 1 0 1 91						_	_	_			_		_	_	 	_		_	_	3,295	2	0	1	73
RCCO 3,798 1 0 1 84 4,078 1 0 1 91 4,104 1 0 1 91 T1S 7,085 1 0 1 98 7,608 2 0 2 106 7,656 2 0 2 106 T2S 7,305 1 0 1 101 7,845 2 0 2 109 7,894 2 0 2 110 T2M 7,138 1 0 2 99 7,655 2 0 2 106 7,713 2 0 2 107 T3S 7,129 1 0 1 99 7,656 2 0 2 106 7,713 2 0 2 107 T3M 7,194 1 0 2 100 7,725 2 0 2 107 T3M 7,194 1 0 2 100 7,725 2 0 2 107 T4M 7,292 1 0 2 101 7,830 2 0 2 107 TFIM 7,183 1 0 2 100 7,713 1 0 2 107 TFIM 7,183 1 0 2 100 7,713 1 0 2 107 T5S 7,588 2 0 0 105 8,148 3 0 0 113 8,199 3 0 0 114 T5S 7,644 2 0 0 106 8,202 3 0 1 114 8,259 2 0 0 115 T5M 7,657 3 0 1 106 8,202 3 0 1 114 8,274 3 0 1 115 T5W 7,545 3 0 1 105 8,102 3 0 2 113 8,153 3 0 2 113					-	_	_	_	-	-	_				-	_		_		-				
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T2S 7,305 1 0 1 101 7,845 2 0 2 109 7,894 2 0 2 110 T2M 7,138 1 0 2 99 7,665 2 0 2 106 7,713 2 0 2 107 T3S 7,129 1 0 1 99 7,656 2 0 2 106 7,704 2 0 2 107 T3M 7,194 1 0 2 100 7,725 2 0 2 107 7,773 2 0 2 108 T4M 7,292 1 0 2 101 7,830 2 0 2 109 7,879 2 0 2 109 TFIM 7,183 1 0 2 100 7,713 1 0 2 109 7,879 2 0 2 109 TFIM 7,183 1 0 2 100 7,713 1 0 2 107 7,761 1 0 2 108 T5VS 7,588 2 0 0 105 8,148 3 0 0 113 8,199 3 0 0 114 T5S 7,644 2 0 0 106 8,208 2 0 0 114 8,259 2 0 0 115 T5M 7,657 3 0 1 106 8,222 3 0 1 114 8,274 3 0 1 115 T5W 7,545 3 0 1 105 8,102 3 0 2 113 8,153 3 0 2 113					-,	_	_	_	-		_		_	_	<u> </u>	_	_	_	_					
T2W 7,138 1 0 2 99 7,665 2 0 2 106 7,713 2 0 2 107 T3S 7,129 1 0 1 99 7,656 2 0 2 106 7,704 2 0 2 107 T3M 7,194 1 0 2 100 7,725 2 0 2 107 7,773 2 0 2 108 T4M 7,292 1 0 2 101 7,830 2 0 2 109 7,879 2 0 2 109 TFIM 7,183 1 0 2 100 7,713 1 0 2 107 7,761 1 0 2 108 T5VS 7,588 2 0 0 105 8,148 3 0 0 113 8,199 3 0 0 114 T5S 7,644 2 0 0 106 8,208 2 0 0 114 8,259 2 0 0 114 T5S 7,657 3 0 1 106 8,222 3 0 1 114 8,274 3 0 1 115 T5W 7,545 3 0 1 105 8,102 3 0 2 113 8,153 3 0 2 113					-	_	_	-	_		_		_		-	_		_						
T3S 7,129 1 0 1 99 7,656 2 0 2 106 7,704 2 0 2 107 T3M 7,194 1 0 2 100 7,725 2 0 2 107 7,773 2 0 2 108 T4M 7,292 1 0 2 101 7,830 2 0 2 109 7,879 2 0 2 109 TFIM 7,183 1 0 2 100 7,713 1 0 2 107 7,761 1 0 2 108 T5VS 7,588 2 0 0 105 8,148 3 0 0 113 8,199 3 0 0 114 T5S 7,644 2 0 0 106 8,208 2 0 0 114 8,259 2 0 0 115 T5M 7,657 3 0 1 106 8,222 3 0 1 114 8,274 3 0 1 115 T5W 7,545 3 0 1 105 8,102 3 0 2 113 8,153 3 0 2 113					-	_	-	_	-		_	_	_		,	_		_	_					
1000 mA					 	_	_				_		_		 	_			_					
T4M 7,292 1 0 2 101 7,830 2 0 2 109 7,879 2 0 2 109 TFIM 7,183 1 0 2 100 7,713 1 0 2 107 7,761 1 0 2 108 T5VS 7,588 2 0 0 105 8,148 3 0 0 113 8,199 3 0 0 114 T5S 7,644 2 0 0 106 8,208 2 0 0 114 8,259 2 0 0 115 T5M 7,657 3 0 1 106 8,222 3 0 1 114 8,274 3 0 1 115 T5W 7,545 3 0 1 105 8,102 3 0 2 113 8,153 3 0 2 113					-	_	_	_	_	-	_					_	0	_		1				
1000 mA				T4M	7,292	1	0	2	101	7,830	2	0		109	7,879	2	0	2	109					
TSS 7,644 2 0 0 106 8,208 2 0 0 114 8,259 2 0 0 115 TSM 7,657 3 0 1 106 8,222 3 0 1 114 8,274 3 0 1 115 TSW 7,545 3 0 1 105 8,102 3 0 2 113 8,153 3 0 2 113		1000 m A	72 W	TFTM		1	0	2	100		1	0		107		1	0	2	108]				
T5M 7,657 3 0 1 106 8,222 3 0 1 114 8,274 3 0 1 115 T5W 7,545 3 0 1 105 8,102 3 0 2 113 8,153 3 0 2 113		1000 mA	/ Z VV	T5VS	7,588	2	0	0	105	8,148	3	0	0	113	8,199	3	0	0	114					
T5W 7,545 3 0 1 105 8,102 3 0 2 113 8,153 3 0 2 113					7,644		0	_			_	0	_		 	_	0	_	_					
					-	_	-	_	_	-	_	_	-		-	-	_	_	_					
DIC 5162 1 0 1 72 5542 1 0 2 77 5570 4 0 4 77					-	_	_	_	_		_		_			_		_						
				BLC	5,162	1	0	1	72	5,543	1	0	2	77	5,578	1	0	1	77					
LCCO 5,015 1 0 2 70 5,386 1 0 2 75 5,419 1 0 2 75 RCCO 5,015 1 0 2 70 5,386 1 0 2 75 5,419 1 0 2 75						_	_	_	_		_	_	_	_		_	_	_	_					



Performance Data

Section 3, Item a.

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward	Optics																						
	Drive	Custom	Dist.			30K					40K					50K				Al	MBPC		
		System Watts			(3000	K, 70 (RI)			(4000	K, 70 C	RI)			(5000	K, 70 (RI)		(Ambe	r Phos	phor C	onvert	_
	(mA)	Watts	Туре	Lumens	В	U	G	LPW	Lumens	В	U	G	LPW	Lumens	В	U	G	LPW	Lumens	В	U	G	LPW
			T1S	7,926	2	0	2	117	8,511	2	0	2	125	8,564	2	0	2	126	4,878	1	0	1	72
			T2S	8,172	2	0	2	120	8,775	2	0	2	129	8,830	2	0	2	130	4,969	1	0	1	73
			T2M	7,985	2	0	2	117	8,574	2	0	2	126	8,628	2	0	2	127	4,874	1	0	1	72
			T3S	7,975	1	0	2	117	8,564	2	0	2	126	8,617	2	0	2	127	4,910	1	0	1	72
			T3M	8,047	2	0	2	118 120	8,642	2	0	2	127 129	8,696	2	0	2	128 130	4,958	1	0	2	73
			T4M TFTM	8,157 8,035	1	0	2	118	8,759 8,628	2	0	2	129	8,813 8,682	2	0	2	128	4,932 4,876	1	0	2	73 72
	530 mA	68 W	T5VS	8,488	2	0	0	125	9,115	3	0	0	134	9,172	3	0	0	135	5,086	2	0	0	75
			TSS	8,550	2	0	0	125	9,113	3	0	1	135	9,239	3	0	1	136	5,163	2	0	0	76
			T5M	8,565	3	0	1	126	9,198	3	0	2	135	9,255	3	0	2	136	5,103	3	0	1	75
			T5W	8,440	3	0	2	124	9,063	3	0	2	133	9,120	3	0	2	134	5,112	3	0	1	75
			BLC	6,142	1	0	2	90	6,595	1	0	2	97	6,636	1	0	2	98	3,112				,,,
			LCCO	5,967	1	0	2	88	6,407	1	0	2	94	6,447	1	0	2	95	-				
			RCCO	5,967	1	0	2	88	6,407	1	0	2	94	6,447	1	0	2	95					
			T1S	10,066	2	0	2	111	10,810	2	0	2	119	10,877	2	0	2	120	6,206	2	0	2	68
			T2S	10,379	2	0	2	114	11,145	2	0	2	122	11,215	2	0	2	123	6,322	2	0	2	69
			T2M	10,141	2	0	2	111	10,890	2	0	2	120	10,958	2	0	2	120	6,201	2	0	2	68
			T3S	10,129	2	0	2	111	10,877	2	0	2	120	10,945	2	0	2	120	6,247	1	0	2	69
			T3M	10,221	2	0	2	112	10,975	2	0	2	121	11,044	2	0	2	121	6,308	2	0	2	69
			T4M	10,359	2	0	2	114	11,124	2	0	2	122	11,194	2	0	2	123	6,275	1	0	2	69
40C	700 mA	91 W	TFTM	10,205	2	0	2	112	10,958	2	0	3	120	11,027	2	0	3	121	6,203	1	0	2	68
(40 LEDs)	700 IIIA	21 W	T5VS	10,781	3	0	0	118	11,576	3	0	1	127	11,649	3	0	1	128	6,569	2	0	0	72
			T5S	10,860	3	0	1	119	11,662	3	0	1	128	11,734	3	0	1	129	6,569	2	0	0	72
			T5M	10,879	3	0	2	120	11,682	3	0	2	128	11,755	3	0	2	129	6,491	3	0	1	71
			T5W	10,719	3	0	2	118	11,511	4	0	2	126	11,583	4	0	2	127	6,504	3	0	2	71
			BLC	7,819	1	0	2	86	8,396	1	0	2	92	8,448	1	0	2	93					
			LCC0	7,596	1	0	2	83	8,157	1	0	2	90	8,208	1	0	2	90	-				
			RCCCO	7,596	1	0	2	83	8,157	1	0	2	90	8,208	1	0	2	90					
			T1S T2S	13,767 14,194	2	0	2	100	14,783 15,242	3	0	3	107 110	14,876 15,338	3	0	3	108 111	-				
			T2M	13,869	2	0	2	103	14,893	3	0	3	108	14,986	3	0	3	109					
			T3S	13,852	2	0	2	100	14,875	2	0	2	108	14,968	2	0	2	109					
			T3M	13,978	2	0	2	101	15,010	3	0	3	109	15,104	3	0	3	109	-				
			T4M	14,168	2	0	2	103	15,214	3	0	3	110	15,309	3	0	3	111	-				
			TFTM	13,956	2	0	3	101	14,987	2	0	3	109	15,080	2	0	3	109					
	1000 mA	138 W	T5VS	14,744	3	0	1	107	15,832	3	0	1	115	15,931	4	0	1	115					
			TSS	14,852	3	0	1	108	15,948	3	0	1	116	16,048	3	0	1	116					
			T5M	14,878	4	0	2	108	15,976	4	0	2	116	16,076	4	0	2	116					
			T5W	14,660	4	0	2	106	15,742	4	0	2	114	15,840	4	0	2	115					
			BLC	10,325	1	0	2	75	11,087	1	0	2	80	11,156	1	0	2	81					
			LCC0	10,031	2	0	2	73	10,771	2	0	3	78	10,839	2	0	3	79					
			RCCO	10,031	2	0	2	73	10,771	2	0	3	78	10,839	2	0	3	79					



D-Series Size 1LED Wall Luminaire







d"series

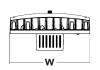
Specifications

Luminaire

Width: 13-3/4" Weight: 12 lbs (5.4 kg)

Depth: 10" (25.4 cm)

Height: 6-3/8" (16.2 cm)





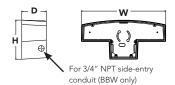
Back Box (BBW, ELCW)

 Width:
 13-3/4" BBW 5 lbs (2.3 kg)

 (34.9 cm)
 Weight:
 (2.3 kg)

 Depth:
 4" ELCW (10.2 cm)
 10 lbs (4.5 kg)

Height: 6-3/8"



Catalog Number

Section 3. Item a.

Notes

Туре

lit the Tab key or mouse over the page to see all interactive elements

Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

DSXW1 LED													
Series	LEDs		Drive (Current	Color ten	nperature	Distribu	ition	Voltage	Mountii	ng	Control Opt	ions
DSXW1 LED	20C	10 LEDs (one engine) 20 LEDs (two engines)	350 530 700 (1000)	350 mA 530 mA 700 mA 1000 mA (1 A)	30K 40K 50K AMBPC	3000 K 4000 K 5000 K Amber phosphor converted	T2S T2M T3S T3M T4M TFTM	Type II Short Type II Medium Type III Short Type III Medium Type IV Medium Type IV Medium Forward Throw Medium Asymmetric diffuse	MVOLT ¹ 120 ¹ 208 ¹ 240 ¹ 277 ¹ 347 ² 480 ²	Shippe (blank) BBW	Surface mounting bracket Surface- mounted back box (for conduit entry) ³	Shipped in PE DMG PIR PIRH PIR1FC3V PIRH1FC3V	Photoelectric cell, button type ⁴ 0-10V dimming driver (no controls) 180° motion/ambient light sensor, <15′ mtg ht ⁵ 180° motion/ambient light sensor, 15-30′ mtg ht ⁵ Motion/ambient sensor, 8-15′ mounting height, ambient sensor enabled at 1fc ⁵ Motion/ambient sensor, 15-30′ mounting height, ambient sensor enabled at 1fc ⁵ Emergency battery backup (includes external component enclosure) ⁶

Other	Options			Finish (req					
Shipp SF DF HS SPD	ed installed Single fuse (120, 277 or 347V) ⁷ Double fuse (208, 240 or 480V) ⁷ House-side shield ⁸ Separate surge protection ⁹	Shipp BSW WG VG DDL	ed separately ⁸ Bird-deterrent spikes Wire guard Vandal guard Diffused drop lens	DDBXD DBLXD DNAXD DWHXD	Dark bronze Black Natural aluminum White	DSSXD DDBTXD DBLBXD DNATXD	Sandstone Textured dark bronze Textured black Textured natural aluminum	DWHGXD DSSTXD	Textured white Textured sandstone

Accessories Ordered and shipped separately

DSXWHS U House-side shield (one per

DSXWBSU U Bird-deterrent spikes
DSXW1WG U Wire guard accessory
DSXW1VG U Vandal guard accessory

NOTES

- 1 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- 2 Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- 3 Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- 4 Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- 5 PIR and PIR1FC3V specifies the Sensor Switch SBGR-10-ODP control; PIRH specifies the Sensor Switch SBGR-6-ODP control; see Motion Sensor Guide for details. Includes ambient light sensor. Not available with "PE" option (button type photocell). Dimming driver standard. Not available with 20 LED/1000 mA configuration (DSXW1 LED 20C 1000).
- 6 Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at wave lithering com
- 7 Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option. Not available with ELCW.
- 8 Also available as a separate accessory; see Accessories information.
- 9 See the electrical section on page 3 for more details.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

	Drive	Cuctom	Dist.			30K					40K					50K				, l	AMBER		
LEDs	Current (mA)	System Watts	Туре	Lumens	В	U	G	LPW	Lumens	В	U	G	LPW	Lumens	В	U	G	LPW	Lumens	В	U	G	LPW
			T2S	1,415	0	0	1	101	1,520	0	0	1	109	1,529	0	0	1	109	894	0	0	1	64
			T2M	1,349	0	0	1	96	1,449	0	0	1	104	1,458	0	0	1	104	852	0	0	1	61
	350mA	14W	T3S T3M	1,400 1,386	0	0	1	100 99	1,503 1,488	0	0	1	107 106	1,512 1,497	0	0	1	108 107	884 876	0	0	1	63
	JJUIIA	1444	T4M	1,358	0	0	1	97	1,458	0	0	1	104	1,457	0	0	1	107	858	0	0	1	61
			TFTM	1,411	0	0	1	101	1,515	0	0	1	108	1,525	0	0	1	109	892	0	0	1	64
			ASYDF	1,262	0	0	1	90	1,355	1	0	1	97	1,363	1	0	1	97	797	0	0	1	57
			T2S	2,054	1	0	1	103	2,205	1	0	1	110	2,219	1	0	1	111	1,264	0	0	1	63
			T2M	1,957	1	0	1	98	2,102	1	0	1	105	2,115	1	0	1	106	1,205	0	0	1	60
			T3S	2,031	0	0	1	102	2,181	0	0	1	109	2,195	0	0	1	110	1,250	0	0	1	63
	530 mA	20W	T3M	2,010	1	0	1	101	2,159	1	0	1	108	2,172	1	0	1	109	1,237	0	0	1	62
			T4M	1,970	1	0	1	99	2,115	1	0	1	106	2,128	0	0	1	106	1,212	0	0	1	61
10C			ASYDF	2,047 1,830	1	0	1	102 92	2,198 1,966	1	0	1	110 98	2,212 1,978	1	0	1	111 99	1,260 1,127	0	0	1	56
			T2S	2,623	1	0	1	97	2,816	1	0	1	104	2,834	1	0	1	105	1,544	0	0	1	57
(10 LEDs)			T2M	2,499	1	0	1	93	2,684	1	0	1	99	2,701	1	0	1	100	1,472	0	0	1	55
			T3S	2,593	1	0	1	96	2,785	1	0	1	103	2,802	1	0	1	104	1,527	0	0	1	57
	700 mA	27W	T3M	2,567	1	0	1	95	2,757	1	0	1	102	2,774	1	0	1	103	1,512	0	0	1	56
			T4M	2,515	1	0	1	93	2,701	1	0	1	100	2,718	1	0	1	101	1,481	0	0	1	55
			TFTM	2,614	1	0	1	97	2,807	1	0	1	104	2,825	1	0	1	105	1,539	0	0	1	57
			ASYDF	2,337	1	0	1	87	2,510	1	0	1	93	2,526	1	0	1	94	1,376	0	0	1	51
			T2S	3,685	1	0	1	92	3,957	1	0	1	99	3,982	1	0	1	100	2,235	1	0	1	58
			T2M	3,512	1	0	1	88	3,771	1	0	1	94	3,795	1	0	1	95	2,130	1	0	2	55
	1000 mA	40W	T3S T3M	3,644 3,607	1	0	1	91 90	3,913 3,874	1	0	1	98 97	3,938 3,898	1	0	1	98 97	2,210 2,187	<u>1</u> 1	0	2	57
	1000 IIIA	4000	T4M	3,534	1	0	1	88	3,795	1	0	1	95	3,819	1	0	1	95	2,167	1	0	2	55
			TFTM	3,674	1	0	1	92	3,945	1	0	1	99	3,969	1	0	1	99	2,228	1	0	2	57
			ASYDF	3,284	1	0	1	82	3,527	1	0	1	88	3,549	1	0	1	89	1,991	1	0	2	51
			T2S	2,820	1	0	1	118	3,028	1	0	1	126	3,047	1	0	1	127	1,777	1	0	1	74
			T2M	2,688	1	0	1	112	2,886	1	0	1	120	2,904	1	0	1	121	1,693	1	0	1	71
			T3S	2,789	1	0	1	116	2,995	1	0	2	125	3,013	1	0	2	126	1,757	0	0	1	73
	350mA	24W	T3M	2,761	1	0	1	115	2,964	1	0	2	124	2,983	1	0	2	124	1,739	1	0	1	72
			T4M	2,705	1	0	1	113	2,904	1	0	2	121	2,922	1	0	2	122	1,704	1	0	1	71
			TFTM ASYDF	2,811	1	0	1	117 105	3,019	1	0	2	126 112	3,038 2,716	1	0	2	127 113	1,771	1	0	1	74 66
			T2S	2,513 4,079	1	0	1	113	2,699 4,380	1	0	1	122	4,408	1	0	1	122	1,584 2,504	1	0	1	70
			T2M	3,887	1	0	1	108	4,174	1	0	1	116	4,200	1	0	1	117	2,387	1	0	1	66
			T3S	4,034	1	0	1	112	4,332	1	0	1	120	4,359	1	0	1	121	2,477	1	0	1	69
	530 mA	36W	T3M	3,993	1	0	1	111	4,288	1	0	1	119	4,315	1	0	1	120	2,451	1	0	2	68
			T4M	3,912	1	0	2	109	4,201	1	0	2	117	4,227	1	0	1	117	2,402	1	0	1	67
20C			TFTM	4,066	1	0	1	113	4,367	1	0	1	121	4,394	1	0	1	122	2,496	1	0	1	69
			ASYDF	3,635	1	0	2	101	3,904	1	0	2	108	3,928	1	0	2	109	2,232	1	0	1	62
(20 LEDs)			T2S	5,188	1	0	1	110	5,571	1	0	1	119	5,606	1	0	1	119	3,065	1	0	1	65
(20 LLD3)			T2M	4,945	1	0	1	105	5,310	1	0	1	113	5,343	1	0	1	114	2,921	1	0	1	62
	700 mA	47W	T3S T3M	5,131 5,079	1	0	2	109 108	5,510 5,454	1	0	2	117 116	5,544 5,488	1	0	2	118 117	3,031 3,000	1 1	0	1 1	64
	700 IIIA	47 00	T4M	4,976	1	0	2	106	5,343	1	0	2	114	5,377	1	0	2	114	2,939	1	0	1	63
			TFTM	5,172	1	0	2	110	5,554	1	0	2	118	5,589	1	0	2	119	3,055	1	0	1	65
			ASYDF	4,624	1	0	2	98	4,966	1	0	2	106	4,997	1	0	2	106	2,732	1	0	1	58
			T2S	7,205	1	0	1	97	7,736	1	0	1	105	7,785	1	0	1	105	4,429	1	0	1	61
			T2M	6,866	1	0	2	93	7,373	1	0	2	100	7,419	1	0	2	100	4,221	1	0	2	58
			T3S	7,124	1	0	2	96	7,650	1	0	2	103	7,698	1	0	2	104	4,380	1	0	2	60
	1000 mA	74W	T3M	7,052	1	0	2	95	7,736	1	0	2	105	7,620	1	0	2	103	4,335	11	0	2	59
			T4M	6,910	1	0	2	93	7,420	1	0	2	100	7,466	1	0	2	101	4,248	1	0	2	58
			TFTM	7,182	1	0	2	97	7,712	1	0	2	104	7,760	1	0	2	105	4,415	1	0	2	60
			ASYDF	6,421	1	0	2	87	6,895	2	0	2	93	6,938	2	0	2	94	3,947	1	0	2	54



Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F)

Amb	pient	Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW1 LED 20C 1000** petrom in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.93	0.88

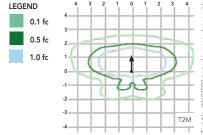
Electrical Load

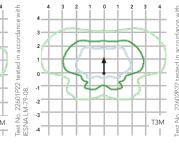
					Curre	nt (A)		
	Drive Current (mA)	System Watts	120V	208V	240V	277V	347V	480V
	350	14 W	0.13	0.07	0.06	0.06	-	-
10C	530	20 W	0.19	0.11	0.09	0.08	-	-
100	700	27 W	0.25	0.14	0.13	0.11	-	-
	1000	40 W	0.37	0.21	0.19	0.16	-	-
	350	24 W	0.23	0.13	0.12	0.10	-	-
200	530	36 W	0.33	0.19	0.17	0.14	-	-
20C	700	47 W	0.44	0.25	0.22	0.19	0.15	0.11
	1000	74 W	0.69	0.40	0.35	0.30	0.23	0.17

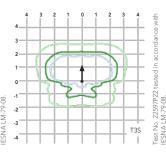
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Wall Size 1 homepage.

Isofootcandle plots for the DSXW1 LED 20C 1000 40K. Distances are in units of mounting height (15').

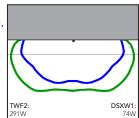






DSXW1 0.5 fc TWF2, 0.5 fc 10' W Sidewalk LLDs: TWF2 = 0.72

DSXW1 = 0.95



Distribution overlay comparison to 250W metal halide.

DSXW1 LED 20C 40K 1000 T3M, TWF2 250M Pulse, 15' Mounting Ht

Options and Accessories











T3M (left), ASYDF (right) lenses

HS - House-side shields

BSW - Bird-deterrent spikes

WG - Wire guard

VG - Vandal guard

DDL - Diffused drop lens

FEATURES & SPECIFICATIONS

The energy savings, long life and easy-to-install design of the D-Series Wall Size 1 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L88/100,000 hrs at 25°C). Class 1 electronic drivers have a

power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five-year limited warranty. Complete warranty terms located at www.acuitybrands.com/

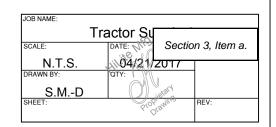
Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

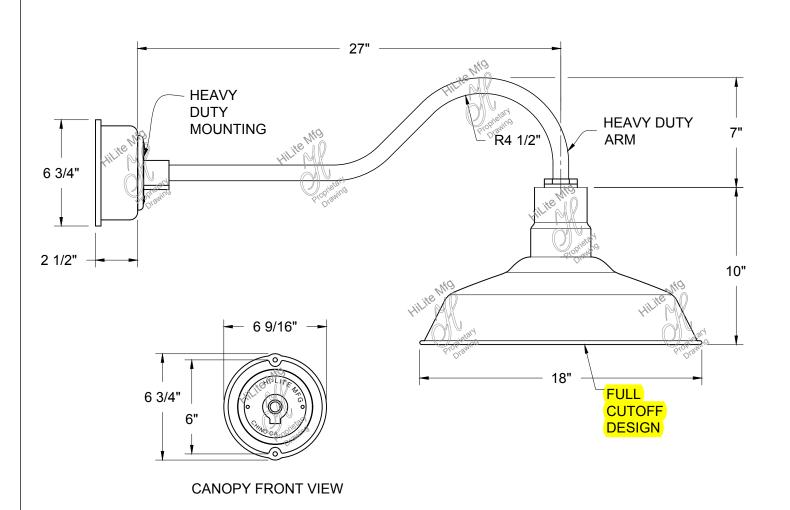




HI-LITE MFG. CO., INC.

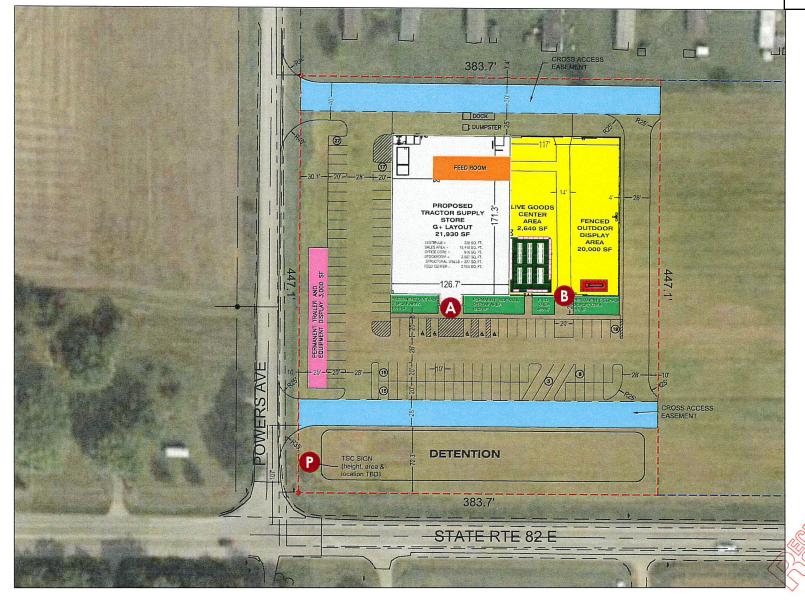
13450 Monte Vista Avenue Chino, California 91710 Telephone: (909) 465-1999 Toll Free: (800) 465-0211 Fax: (909) 465-0907 www.hilitemfg.com





Item Number	Wattage	Voltage
H-15118-97/HL-AHD-27"97/21/LED2/40/D/BCM-M	21W	120/277V

Finish 97-Red (Fixture & Arm) Mounting Wall Mount Lamp/Socket 21W LED2 2000 Lumens, 40(°



TRACTOR SUPPLY CO - MAUSTON, WI - SITE PLAN

THIS DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DUE TO CONSTRUCTION CONSTRAINTS, SIZES AND/OR LAYOUTS MAY CHANGE SLIGHTLY.

ID. ASSOCIATES

Exercises THE WORLD'S BARDE TO LIFE

1771 Industrial Road, Dethon, Alabama 36303

(§ (888) 303-5534 (§ (334) 836-1401)

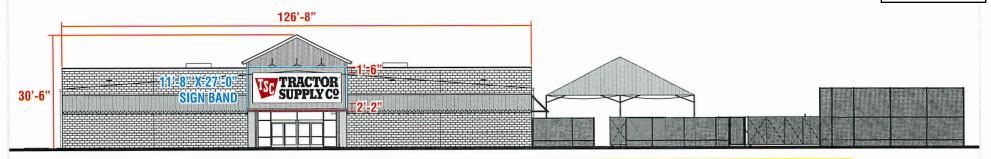
www.iddssociatesinc.com

CLIENT: TRACTOR SUPPLY CO	STORE #:	REV:	REV:	REV:
LOCATION: MAUSTON, WI	DATE: 02/06/25	REV:	REV:	REV:
ACCOUNT REP: DEANNA PAYNE	DRAWN BY: BRC	REV:	REV:	REV:
DRAWING NO: TSC - MAUSTON, WI - SIGN	EXHIBIT			





Section 3, Item a.



NOTE: DISTANCE BETWEEN THE BOTTOM OF THE SIGN TO THE BOTTOM OF GABLE/RED STRIPE IS 2'-2". **ALL TSC WALL SIGNS MUST BE INSTALLED USING THREADED ROD AND CANNOT BE LAGGED IN.**

Any Blocking Exposed To The Elements, Sign Installer is Required to Use Unistrut, Aluminum Angle or Pressure Treated Wood.



NOTES:

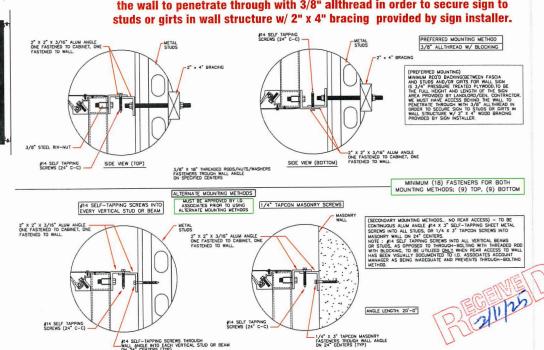
192 SQUARE FEET

NON-ILLUMINATED 8'-0" X 24'-0" X 5" DEEP SINGLE FACE CABINET 2" ALUMINUM RETAINERS (.050) 3M PANAGRAPHICS III SUBSTRATE / VINYL GRAPHICS FIRST SURFACE CABINET FRAMED W/ 2" X 2" X 1/8" ALUMINUM TUBE

COLORS:

CABINET - GLOSS BLACK BACKGROUND WHITE LOGO - 3M 3630-33 RED VINYL WITH WHITE COPY TRACTOR SUPPLY CO. - 3M 7725-12 BLACK

Minimum required backing (between fascia and studs and/or girts) for wall sign is 3/4" pressure treated plywood, to be the full height and length of the sign area provided by landlord/Gen. Contractor. We must have access behind the wall to penetrate through with 3/8" allthread in order to secure sign to studs or girts in wall structure w/ 2" x 4" bracing provided by sign installer.



CEPTUAL PURPOSES ONLY, DUE TO CONSTRUCTION CONSTRAINTS, SIZES AND/OR LAYOUTS MAY CHANGE SLIGHTLY **EXHIBIT APPROVED BY:**



CLIENT: TRACTOR SUPPLY CO	STORE #:	REV:	REV:	REV:
LOCATION: MAUSTON, WI	DATE: 02/06/25	REV:	REV:	REV:
ACCOUNT REP: DEANNA PAYNE	DRAWN BY: BRC	REV:	REV:	REV:
DRAWING NO: TSC - MAUSTON, WI - SIGN	EXHIBIT			



20

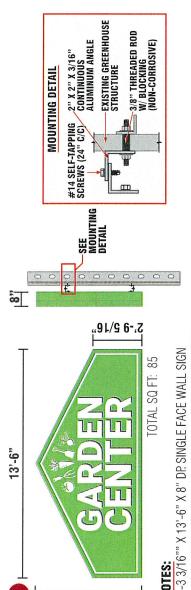
GARDEN CENTER

Section 3, Item a.

U Underwriters
Laboratories Inc.

11.-2" 40,-0" TRACTOR SUPPLY CO 126'-8" 30,-6"

NOTE: SIGN WILL HAVE 2" ALUMINUM ANGLES FOR MOUNTING AND SHOULD BE ATTACHED WITH THRU BOLTS DIRECTLY TO THE LGC/GREENHOUSE FRAME/TUBING.



6'-3 3/16"

FLAT WHITE LEXAN FACE W/ DIGITALLY PRINTED GRAPHICS 6'-3 3/16"" X 13'-6" X 8" DP. SINGLE FACE WALL SIGN

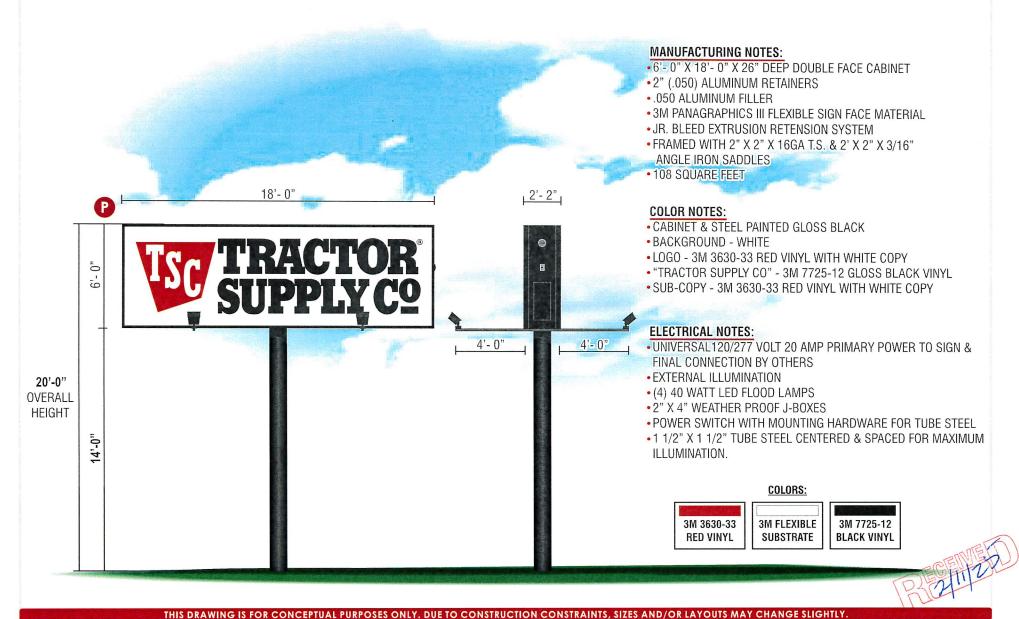
INTERNALLY ILLUMINATED WITH LEDs w/ 120v/277v Power Supplies (Multi-Volt)

PRIMARY FRAME - BENT .090 ALUMINUM .063 ALUM RETURNS AND 2" RETAINERS

CABINET AND RETAINERS - PAINTED GREEN (MATCH SIGN FACE COLOR) FACE - FLAT LEXAN FACES W/ DIGITALLY PRINTED GRAPHICS

	⑤ (888) 303-5534 (⊕ (334) 836-1401
ACCOUNT	1771 Industrial Road, Dothan, Alabama 36303
LOCATION	PRINCIPO THE WORLD'S PROBLETO LIFE
CLIENT: TR	F ID. ASSOCIATES

Ξ	THIS DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DUE TO CONSTRUCTION CONSTRAINTS, SIZES AND/OR LAYOUTS MAY CHANGE SLIGHTLY.	JRPOSES ONLY. DUE TO	CONSTRUCTION	ONSTRAINTS	SIZES AND/OR LAYOUTS MAY C	HANGE SLIGHTLY.
V I	CLIENT: TRACTOR SUPPLY CO	STORE #:	REV:	REV:	REV:	ЕХНІВ
3 5	LOCATION: MAUSTON, WI	DATE: 02/06/25	REV:	REV:	REV:	
36303	ACCOUNT REP: DEANNA PAYNE	DRAWN BY: BRC	REV:	REV:	REV:	(<u>;</u>
	DRAWING NO: TSC - MAUSTON, WI - SIGN EXHIBIT	EXHIBIT				5 ⁵)



A-	ID. ASSOCIATES
	PRINCIPLE THE WORLD'S BRANDS TO LIFE
771 Ind	ustrial Road, Dothan. Alabama 36303
((888) 303-5534 ((334) 836-1401
æ	www.idassociatesinc.com

DRAWING IS FOR CONCEPTUAL P CLIENT: TRACTOR SUPPLY CO	STORE #:	REV:	REV:	REV:
LOCATION: MAUSTON, WI	DATE: 02/06/25	REV:	REV:	REV:
ACCOUNT REP: DEANNA PAYNE	DRAWN BY: BRC	REV:	REV:	REV:
DRAWING NO: TSC - MAUSTON, WI - SIGN	EXHIBIT			



EXHIBIT APPROVED BY:

Section 4. Item a.



MEMO

To: Plan Commission – Mayor Teske

From: Daron J Haugh – City Administrator

Subject: Tentative Rural Subdivision Approval

Date: 2025-02-17

I am writing to request the Plan Commission's tentative approval for a proposed rural subdivision development by Mr. Ron Brunner. The property is located within Mauston city limits, behind the high school on the south end, but maintains a rural character.

While traditional city subdivisions require infrastructure like curbs, gutters, and sewers, this development would be unique due to its countryside location. Mr. Brunner and the City of Mauston are negotiating a utilities exchange agreement related to the Tractor Supply development. Under this arrangement, the City would extend utilities to Mr. Brunner's fields for future development.

Mr. Brunner seeks the Plan Commission's preliminary approval to proceed with this rural-style subdivision, contingent upon finalizing the utilities agreement along with final plan approval from the Plan Commission when Mr. Brunner is ready to build.

City of Mauston Resolution 2025-P-04

RESOLUTION AMMENDING CONDITIONAL USE RESOLUTION NO. 2019-P-05 – RENEWAL UNLIMITED

Return Address: City of Mauston

Attn: Val Nelson 303 Mansion Street

Mauston, Wisconsin 53948

Parcel I.D. 29-251-1500

APPLICANT: Renewal Unlimited Inc.

PROPERTY AFFECTED:

Address: 717 Martin Street

Legal Description: A part of the South Half of the Northwest Quarter (S ½ NW½) of Section 12, Tl5N, R3E, City of Mauston, Juneau County, Wisconsin: Commencing at the West Quarter corner of Section 12; thence North 00°32'27" West along the West line of the Northwest Quarter of said Section 12, 769.53 feet; thence North 89°27'33" East, 1,666.14 feet to the Southeast corner of Lot 4, Certified Survey Map, No. 327 said point being at the intersection of the West right-of-way line of Liberty Street and the North right-of-way line of Tremont Street; thence North 06°09'14" East along the West right-of-way line of Liberty Street and the East line of said Lot 4, 120.00 feet to the Northeast corner thereof said point being the Southeast corner of Lot 5, Certified Survey Map, No. 4439; thence north 81°28'08" West along the North line of said Lot 4 and the North line of Lot 3, Certified Survey Map, No. 327 and the South line of Lot 5, Certified Survey Map, No. 4439, 108.50 feet of the pint of beginning; thence continuing North 81°28'08" West along the North line of Lot 3 and the North line of Lot 2, Certified Survey Map, No. 327,231.30 feet to the Northwest corner of said Lot 2; thence North 06°09'14" East, 39.00 feet; thence North 81°28'08" West, 83.31 feet to a point in the East right-of-way line of an unnamed public road; thence North 11°36'44" East along the said East right-of-way line, 276.13 feet to the South right-of-way line of Martin St; thence South 89°24'57" East along the South right-of-way line of Martin Street, 89.53 feet; thence South 83°51'24" East along the South right-of-way line of Martin Street, 198.97 feet to the Northwest corner of Lot 1, Certified Survey Map, No. 466; thence South 06°09'14"; thence South 06°09'14" West along the West line of said Lot 1, 170.00 feet to the Southwest corner thereof; thence South 83°51'24" East along the South line of said Lot 1, 180.41 feet to a point in the West right-of-way line of Liberty Street; thence South 06°09'14" West along the West right-of-way line of Liberty Street, 23.89 feet to the Northeast corner of Lot 5, Certified Survey Map, No. 4439; thence North 83°51'24" West along the North line of said Lot 5, 108.41 feet to the Northwest corner thereof; thence South 06°09'14" West along the West line of said Lot 5, 141.76 feet to the point of beginning.

WHEREAS, the City of Mauston has received a request from the above Applicant to amend the Conditional Use (2019-P-05) regarding the above property, which application is attached hereto and incorporated herein by reference. The amendment is needed because the project was not started/completed by the required time; and

WHEREAS, the Plan Commission has reviewed the application, site plan, and the resolution, and has recommended approval to the Common Council; and

WHEREAS, The Common Council has conducted a public hearing on said application and has carefully evaluated the application, along with input from City staff and consultants.

NOW, THEREFORE BE IT RESOLVED that the Mauston Common Council finds that this application for a Conditional Use satisfies the standards required by Section 114-288 of the Zoning Ordinance, specifically as follows:

- (a) The Common Council finds that the proposed Conditional Use, in general, independent of its location, is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted or under consideration by the City.
- (b) The Common Council finds that the proposed Conditional Use, in its proposed specific location, is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted or under consideration by the City.
- (c) The proposed Conditional Use will not cause a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
- (d) The proposed Conditional Use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- (e) The proposed Conditional Use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- (f) The potential public benefits (e.g. new Head Start facility) of the proposed Conditional Use outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the Applicant's proposal, including the Applicant's suggestions to ameliorate any adverse impacts.

BE IT FURTHER RESOLVED that the Mauston Common Council approves the application for a Conditional Use subject to the following conditions and restrictions, which shall be perpetual, unless and until changed by action of the Plan Commission or until the Applicant ceases the use of the property which is conditionally approved herein:

- 1. **PRIOR RESOLUTION.** Resolution 2019-P-05 is hereby replaced by this Resolution.
- **2. APPROVED USE.** The Applicant is hereby authorized to use the property, which is located in the MR-10 District, for the principal land use of Group Day Care which is allowed as a

"conditional use" pursuant to Sec.114-124(1). No other classification may be allowed on this property without first obtaining an amendment to this Resolution. Approval is subject to all the general regulations of the Zoning Ordinance and to the following conditions.

- 3. SITE PLAN APPROVAL. The Site Plan, dated <u>2/10/25</u>, which is attached hereto and incorporated herein by reference, is approved. Construction of this project shall be completed in substantial conformance with the attached Site Plan, including all hand-written additions thereto and notations thereon which bear the initials of the Applicant and the City.
- **4. LANDSCAPING.** The Landscaping Plan, dated <u>2/10/25</u>, which is attached hereto and incorporated herein by reference, is approved. The construction of all landscaping for this project shall be completed in substantial conformance with Article V of the Zoning Ordinance and with the attached Landscaping Plan, including all hand-written additions thereto and notations thereon which bear the initials of the Applicant and the City. Furthermore, the landscaping shall be maintained by the Applicant, its successors and assigns, from year-to-year, in substantial conformance with the Landscaping Plan.
- **5. SIGNAGE.** The applicant will submit a signage plan for review and approval by the Zoning Administrator prior to occupancy.
- **6. GARBAGE.** The Site Plan shows the location of 6 ft. high cedar garbage enclosure. The construction and maintenance of the garbage enclosure shall be in conformance with the standards of Article V of the Zoning Ordinance and with the Site Plan. The Applicant shall provide for garbage collection at such intervals to avoid spill-over of garbage from these enclosures.
- 7. OUTSIDE STORAGE. No outside storage of merchandise, equipment or other materials shall be permitted, except for garbage properly stored within the enclosure described in paragraph 5 above.
- **8. LIGHTING.** The Lighting Plan, dated <u>2/10/25</u>, which is attached hereto and incorporated herein by reference, is approved. The construction and maintenance of the exterior lighting shall be in conformance with Article V of the Zoning Ordinance and with the Site Plan. All lighting shall be "down-styled" lighting. All lighting shall be designed, installed and maintained to prevent the glare of light toward adjacent buildings and onto the adjacent street.
- **9. ACCESSORY STRUCTURES.** The site plan shows the location of a storage shed under 450 square feet. No other accessory structures are approved or permitted other than play structures associated with a group day care.
 - **10. FENCE.** The fence for the playground area per site plan will be 5 ft high chain link.
 - 11. WATER AND SEWER CONNECTION. Existing
- 12. STORM WATER. The Storm Water Management Plan dated <u>October 2019</u> is hereby approved. All drainage, grading and topographic work on the site shall be performed pursuant to this Plan.
- 13. UNDERGROUND UTILITIES. All utilities shall be installed underground. Prior to the installation of each utility, the applicant shall contact the Director of Public Works and obtain his approval of the location of the utility. Before the new building is occupied, the Applicant shall submit a utility plan (potable water lines, sanitary sewer lines, electric lines, gas lines, telephone and cable TV lines. etc.) for this site, showing the location of all the utilities.

- **14. BUILDING MATERIALS.** The Site Plan contains building elevations which shows the exterior of the buildings. The buildings will be constructed exactly as shown on the Site Plan. The Applicant intends to use the following colors and products on the exterior of the buildings, which are hereby approved:
 - (a) Composite Lap Siding: Rapids Blue & Desert Stone
 - (b) Decorative Scallop Siding: Snowscape White
 - (c) Trim: Snowscape White
 - (d) Manufactured Stone Veneer: Mojave Country Ledgestone
 - (e) Shingles: Asphalt Charcoal
- 15. SUBDIVISION. In the future, the owner will not be able to subdivide this Property for sale to separate owners. Furthermore, ownership of the entire parcel shall remain under the ownership and control of a single entity so that the appearance of all the buildings in the entire Site can be maintained as a unified whole.
- **16. DRIVEWAYS AND ACCESS.** The site plan shows the location of one driveway off of Martin Street and two driveways off of the alley to the west. More than one access point per street requires specific approval via Conditional Use. The access and driveways shall comply with the standards of 114-162 of the Mauston zoning ordinances.
- 17. **COMPLETION DATE.** The property may not be used or occupied for the Conditional Use granted herein until **ALL** the terms and conditions of this document are completed and fulfilled, except:
 - (a) <u>Landscaping:</u> To be completed by the fall of 2026.
- **18. CERTIFICATE OF OCCUPANCY.** Upon completion of the project authorized by this Resolution and before the project is used or occupied for the Conditional Use granted herein, the Applicant shall notify the City Zoning Administrator, who shall inspect the project and, if appropriate, shall issue a Certificate of Occupancy, pursuant to section 114-292 of the Mauston Zoning Ordinance.
- 19. CHANGES. Pursuant to section 114-288 of the Zoning Ordinance, the Applicant may apply to the Zoning Administrator for "minor" changes to the Site Plan or this Conditional Use, which changes may be granted, in writing, by the Zoning Administrator, provided (i) the changes do not violate any of the minimum standards of the Mauston Zoning Ordinance and (ii) the spirit and intent of the original Conditional Use is preserved. The Zoning Administer shall determine, in his/her sole discretion, whether a change is "minor". All changes which are not "minor" shall be submitted to and approved in writing by the Plan Commission. Whenever an approved change alters any part of a recorded document, the document which authorizes said change shall also be recorded.
- **20. OTHER REGULATIONS.** Nothing herein shall constitute a waiver or limitation of the Applicant's compliance with all other Mauston ordinances and regulations, including all other requirements of the Mauston Zoning Ordinance.
- **21. ENFORCEMENT.** The conditions imposed herein (including the conditions imposed by any plans or changes submitted hereafter), shall all be enforced as on-going conditions of this

Conditional Use Resolution. Failure of the Applicant to comply with these conditions, shall entitle the City to take enforcement action, which may include fines, forfeitures, injunctions, and/or termination of this Resolution, which in turn will require the Applicant to cease the use of the property authorized herein until a new Conditional Use is approved.

- **22. RECORDING.** A copy of this Resolution, without attachments, shall be recorded with the Juneau County Register of Deeds.
- BINDING AFFECT. This Resolution shall be binding upon and shall inure to the benefit of the heirs, successors and assigns of both parties. Nothing herein shall be construed as limiting the right of the Owner to sell, give, or otherwise convey the premises, provided that the use and occupancy of the premises by any new owner shall be subject to the terms of this Resolution, which shall run with the land and which shall be perpetual, unless and until changed by action of the Plan Commission.
- 24. SUNSET CLAUSE. All buildings and structures approved on a site plan shall be fully developed within two years of final approval of the site plan, unless a different date is established by the plan commission in writing. After the expiration of such period, no additional site plan development shall be permitted on undeveloped portions of the subject property. The plan commission may extend this period, as requested by the applicant, through the conditional use process following a public hearing.
- 25. APPLICANT/ APPROVAL. This Conditional Use shall not become effective and shall not be recorded until the Applicant acknowledges his/her/its acceptance of this Conditional Use by signing this Document in the space provided below.

Introduced and adopted this	day of	
CITY OF MAUSTON COMMOR	N COUNCIL	
Approved:	Atte	st:
Darryl D. D. Teske, Ma	yor	Daron Haugh, Administrator
	and use of the pr	ges receipt of this Conditional Use and hereby roperty shall conform with the terms and Zoning Ordinance.
Signature:		Dated:
Print Name:		

This document drafted by: Valerie K. Nelson-Zoning Administrator, Mauston, WI 53948



HEAD START DAYCARE

MAUSTON, WISCONSIN

Designing Experiences. **Building Relationships.**

PROJECT INFORMATION

RENEWEL UNLIMITED INC 717 MARTIN STREET MAUSTON, WI 53948

OWNER

RENEWEL UNLINTED INC 2900 RED FOX RUN PORTAGE, WI 53901

ARCHITECT/INTERIOR DESIGN

ARCHITECTURAL DESIGN CONSULTANTS, INC. 30 WISCONSIN DELLS PARKWAY P.O. BOX 580 LAKE DELTON, WI 53940 PHONE NUMBER: 608.254.6181

CIVIL CONSULTANT

GENERAL ENGINEERING COMPANY P.O. BOX 340 916 SILVER LAKE DRIVE PORTAGE, WI 53901 PHONE NUMBER: 608.742.2169

STRUCTURAL CONSULTANT

MP-SQUARED STRUCTURAL ENGINEERS, LLC 583 D'ONOFRIO DRIVE, SUITE 201 MADISON, WI 53719 PHONE NUMBER: 608.821.4774

OWNER DIRECT CONSULTANTS:

GENERAL CONTRACTOR

HARMONY CONSTRUCTION MANAGEMENT 906 JONATHON DR. MADISON, WI 53713 PHONE NUMBER: 608.224.3310



BUILDING INFORMATION:		
OCCUPANCY:	Е	
LASS OF CONSTRUCTION:	VB	
PRINKLERED:	N/A (PER SECTION 903.2.3.	LIBC)
T NINKLENED.	TYPA (I EIX SECTION 503.2.3.	
IUMBER OF STORIES:	1	
IUMBER OF FLOORS:	1	
BUILDING HEIGHT:	21'	
BUILDING FOOTPRINT:	9,344 5Q FT	
LOOR AREA:	9,344 5Q FT	
DCI PROJECT NUMBER:	19-101	
BUILDING CODE:	2015 INTERNATIONAL BUILE W/ WISCONSIN AMENDMEN	



MAUSTON SUBMITTAL SD APPROVAL 02-04-2020 DD APPROVAL 03-31-2020 FD APPROVAL 04-28-2020 PERMITTING & CONSTRUCTION 04-30-2020 PERMITTING & CONSTRUCTION RE-SUBMITTAL 08-02-2022

Reviewed - City of Mauston 2/10/25



ANDSCA	PING
)	PROPOSED LANDSCAPE PLAN

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TITLE SHEET

LEGEND \$ NOTES

MISC DETAILS

EXISTING SITE PLAN PROPOSED SITE PLAN

GRADING \$ EROSION CONTROL PLAN

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G202	BARRIER FREE DESIGN DETAILS	
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10-16-2019 PERMITTING & CONSTRUCTION SECOND SUBMITTAL V 08-22-2023



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30 Wisconsin Dells Parkway | P.O. Box 580
Lake Delton, WI 53940 | Phone: 608.254.6181

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PERMITTING \$ CONSTRUCTION

PERMITTING \$ CONSTRUCTION (SECOND) 08.22.2023

RENEWAL UNLIMITED

HEAD START DAYCARE

MAUSTON, WISCONSIN

TITLE SHEET

T100

RDM **CHECKED BY** MLM

JOB NUMBER 19-101

BID SET | VOLUME





REVIEWED - CITY OF MAUSTON 2/10/25

PERSPECTIVE





PERSPECTIVE

30 Wisconsin Dells Parkway | P.O. Box 580

experience architecture design

EXISTING LINETYPES LEGEND SYMBOLS LEGEND **GRADING & EROSION CONTROL NOTES**

CONSTRUCTION NOTES

GENERAL

ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED, BY CONTRACTOR, PRIOR TO CONSTRUCTION.

WATER MAIN

- EXISTING WATER MAIN LOCATIONS, SIZES, AND TYPES SHOULD BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO MAKING ANY CONNECTIONS.
- UNLESS OTHERWISE INDICATED BY DESIGN GRADE, MAINTAIN A 7.0' MINIMUM DEPTH OF COVER OVER PROPOSED WATER MAIN LATERALS.

SANITARY SEWER

EXISTING SANITARY SEWER LOCATIONS, SIZES, AND TYPES SHOULD BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO MAKING ANY CONNECTIONS.

STORM SEWER

STORM SEWER PIPE LENGTHS ARE SHOWN MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.

- 2. SILT FENCE, TEMPORARY SEDIMENT BASIN, & ROCK CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES, INCLUDING CLEARING & GRUBBING.
- 3. ALL STORM SEWER INLETS SHALL HAVE INLET PROTECTION TYPE-D INSTALLED UPON INLET INSTALLATION.
- 4. CONTRACTOR IS RESPONSIBLE FOR WEEKLY DNR INSPECTION REPORTS IN ACCORDANCE WITH NR 216.46(9).
- ADDITIONAL EROSION CONTROL MEASURES MAY BE ADDED ON AN AS-NEEDED BASIS.
- 6. ANY AREAS WHERE GRADING IS COMPLETE SHALL BE STABILIZED WITH FERTILIZER, SEED, & MULCH AS SOON AS POSSIBLE.
- 7. ALL BEST MANAGEMENT PRACTICES WILL BE INSTALLED BY THE TIME THE CONSTRUCTION SITE IS CONSIDERED STABILIZED.
- 8. A COPY OF THIS EROSION CONTROL PLAN SHALL BE KEPT ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
- STOCKPILES LEFT INACTIVE FOR 7 DAYS SHALL BE SEEDED AND SURROUNDED BY SILT FENCE.
- 10. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED BY RUNOFF INTO RECEIVING CHANNEL.
- 11. ALL DEWATERING PERMITTING, IF REQUIRED, IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN ACCORDANCE WITH DNR TECHNICAL STANDARD 1061.
- 12. STREETS SHALL BE SWEPT AT THE END OF EACH WORK DAY OR AS DIRECTED BY THE MUNICIPALITY.
- 13. TRACKING PADS SHALL BE USED AT THE CONSTRUCTION ENTRANCE AND EXITS.
- 14. ALTHOUGH ROCK CONSTRUCTION TRACKING PADS MAY NOT BE SHOWN ON THE PLANS, THE CONTRACTOR SHALL INSTALL THEM AS NECESSARY OR AS DIRECTED BY THE ENGINEER TO MINIMIZE TRACKING ONTO ADJACENT STREETS. THESE PADS ARE CONSIDERED INCIDENTAL TO THE WORK AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- 15. CONTRACTOR WILL BE RESPONSIBLE FOR ALL DUST CONTROL.
- 16. ALL BANK AREAS DISTURBED SHALL BE STABILIZED WITH EROSION CONTROL MAT IMMEDIATELY.
- 17. POSITIVE DRAINAGE AWAY FROM THE BUILDING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE CONFIRMED BY THE ENGINEER.
- 18. DOWN SPOUTS SHALL BE DIRECTED IN A SAFE MANNER AND COMPLY WITH ALL LOCAL AND STATE REGULATIONS.
- 19. ALL FILL PLACED UNDER BUILDING AND PAVED AREAS SHALL BE STRUCTURALLY SOUND.
- 20. SEDIMENT WILL BE REMOVED FROM BEHIND SEDIMENT FENCES AND BARRIERS BEFORE IT REACHES A DEPTH THAT IS EQUAL TO HALF THE BARRIER'S HEIGHT.
- 21. BREAKS AND GAPS IN SEDIMENT FENCES AND BARRIERS WILL BE REPAIRED IMMEDIATELY. DECOMPOSING STRAW BALES WILL BE REPLACED (TYPICAL BALE LIFE IS THREE MONTHS).
- 22. ALL SEDIMENT THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS WILL BE CLEANED UP BEFORE THE END OF THE SAME WORKDAY.
- 23. ALL INSTALLED EROSION CONTROL PRACTICES WILL BE MAINTAINED UNTIL THE DISTURBED AREAS THEY PROTECT ARE STABILIZED.
- 24. ALL EROSION CONTROL MAT SHALL BE INSTALLED WITHIN 24 HOURS OF FINAL GRADES BEING ESTABLISHED.



UTILITIES

1. ELECTRIC **ALLIANT ENERGY** 338 E. STATE ST. Mauston, WI 53948

2. TELEPHONE **FRONTIER** 120 HICKORY ST. MAUSTON, WI 53948

PHONE: (715) 424-7023

3. GAS **ALLIANT ENERGY** 338 E. STATE ST. MAUSTON, WI 53948 PHONE: (715) 424-7023 4. CABLE TV MEDIACOM COMMUNICATIONS 418 ELM ST. MAUSTON, WI 539481

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ISSUED FOR DATE PERMITTING & CONSTRUCTION 08.02.2022 PERMITTING & CONSTRUCTION (SECOND) 08.22.2023

REVISIONS / DATE

RENEWAL UNLIMITED

HEAD START DAYCARE

MAUSTON, WI

B.UPWARD CHECKED BY B.BOETTCHER 08.22.2023 JOB NUMBER

19-101

BID SET | VOLUME

LEGEND & NOTES

32





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PERMITTING & CONSTRUCTION PERMITTING \$ CONSTRUCTION (SECOND) 08.22.2023

REVISIONS 🛆

RENEWAL UNLIMITED

HEAD START DAYCARE

MAUSTON, WI

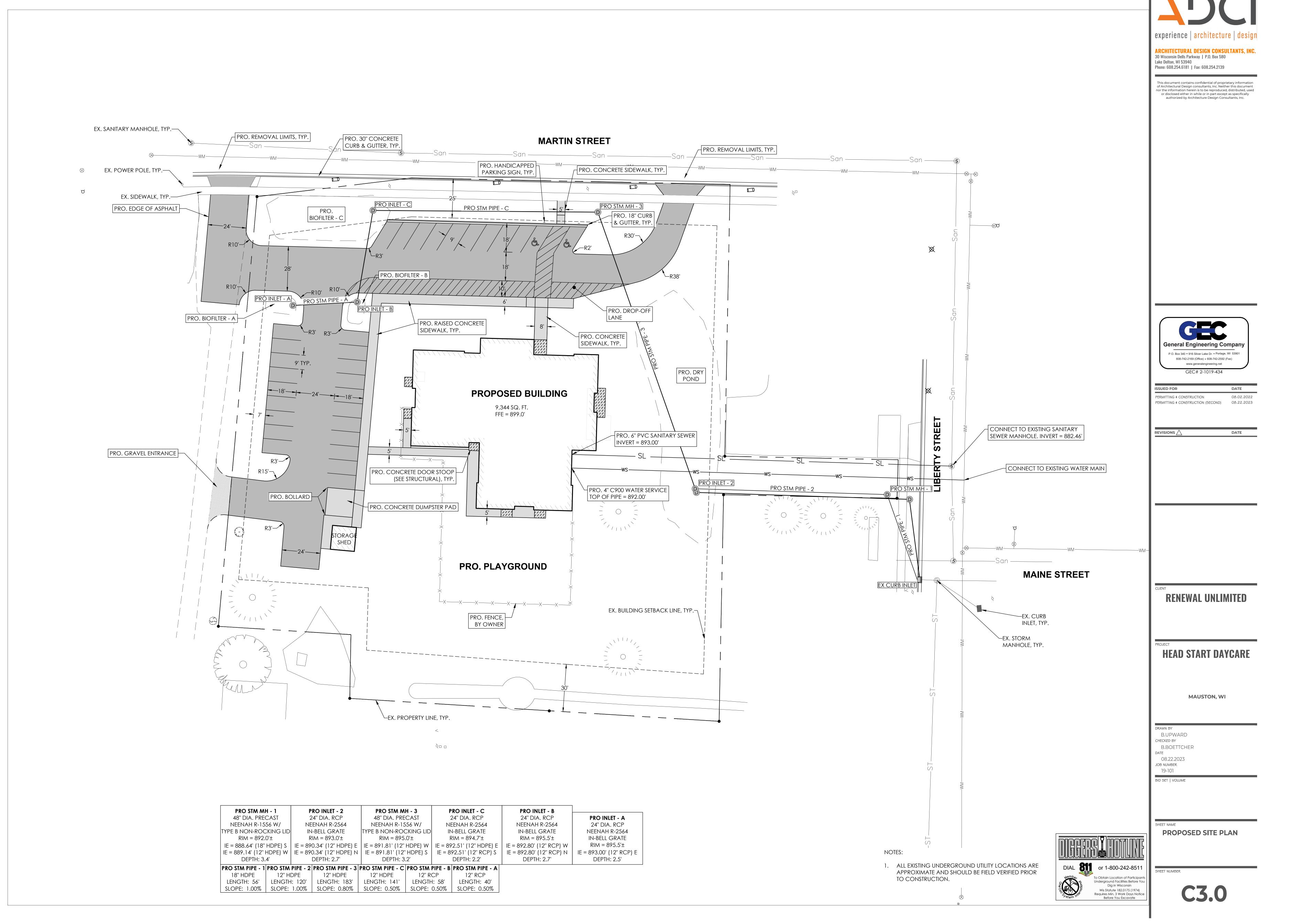
B.UPWARD CHECKED BY B.BOETTCHER date 08.22.2023

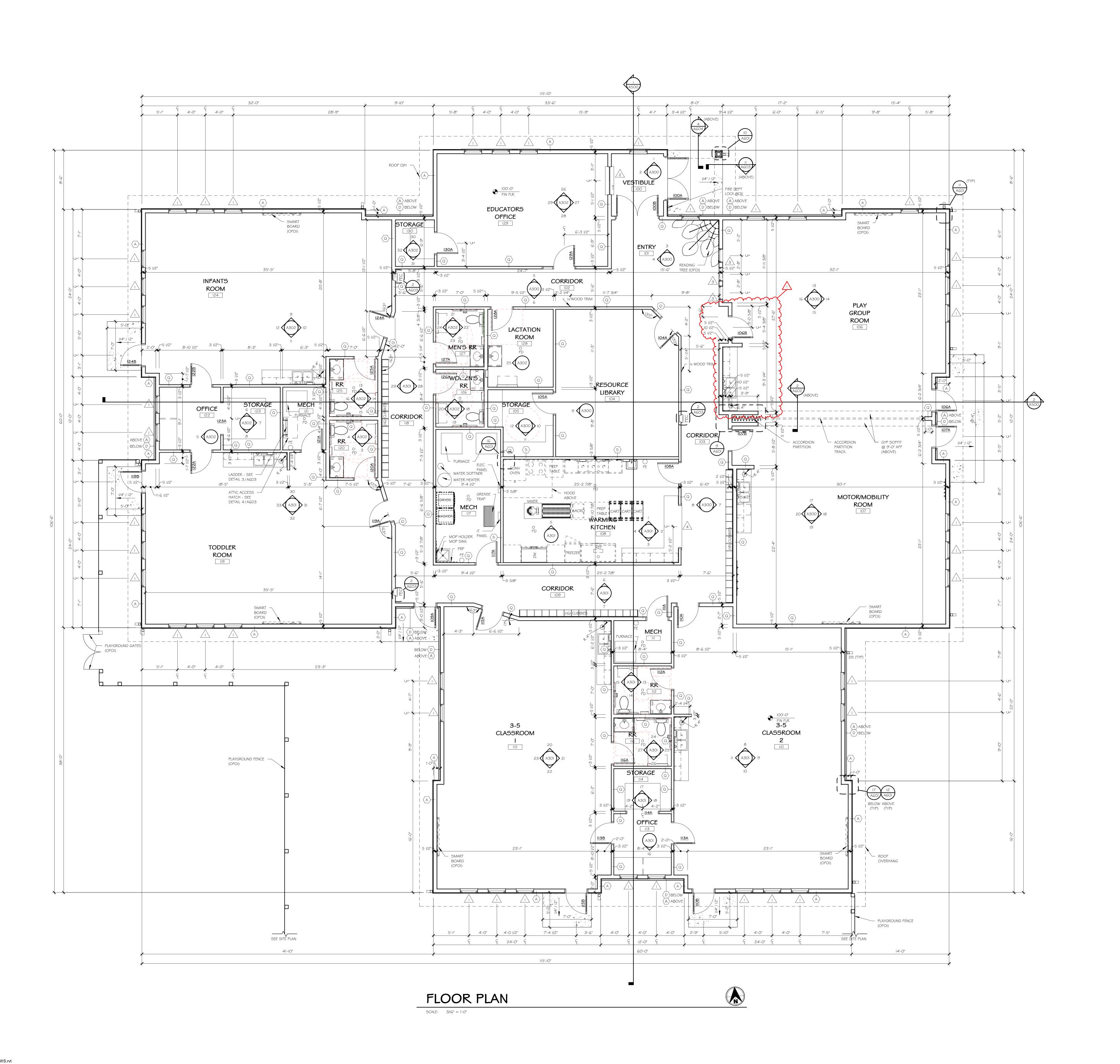
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EXISTING SITE PLAN







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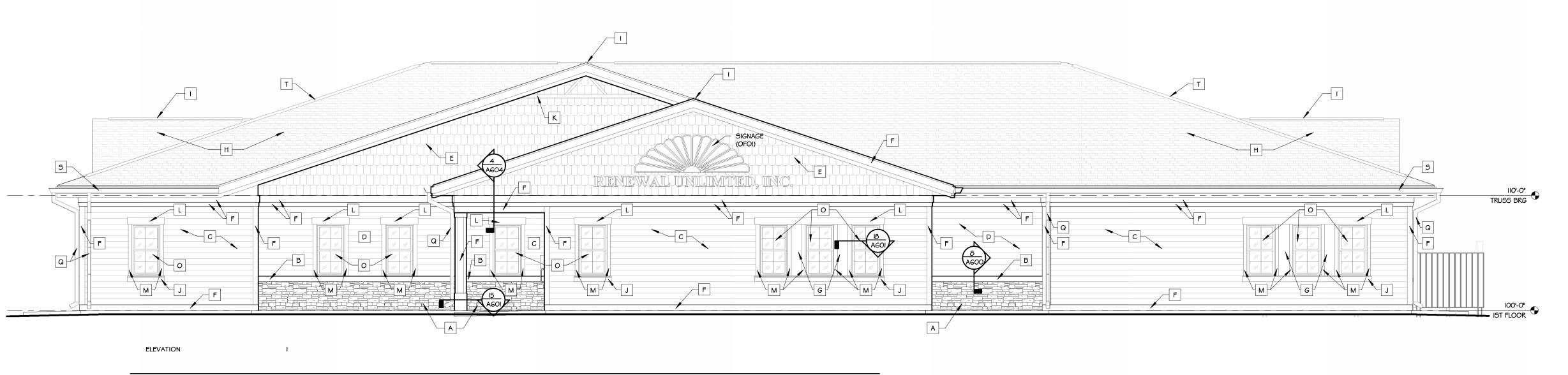
MAUSTON, WISCONSIN

DRAWN BY
RDM
CHECKED BY
MLM
DATE
08.22.2023
JOB NUMBER
19-101
BID SET | VOLUME

FLOOR PLAN

SHEET NUMBER

A101

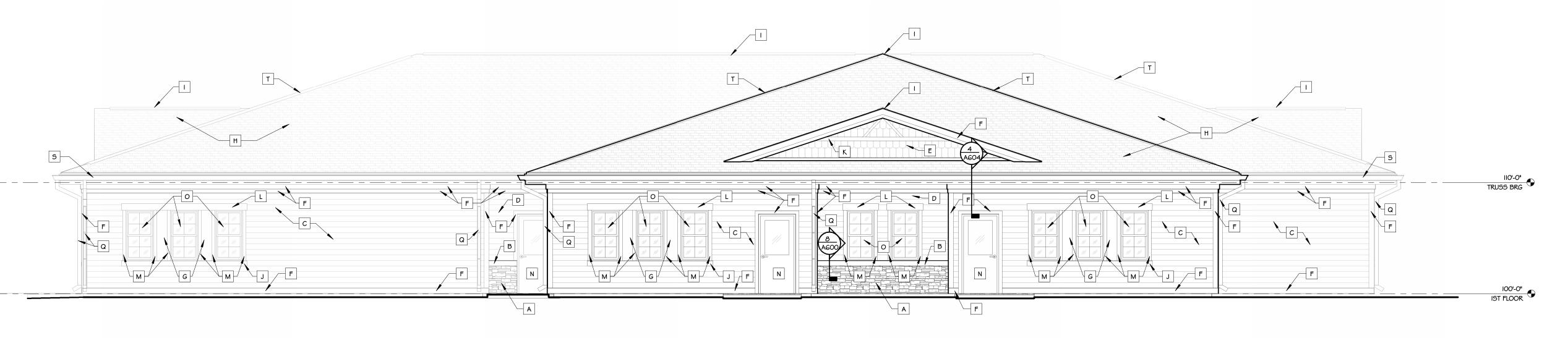


	EXTERIOR FINISH	SCHEDULE	
ВОХ	MATERIAL	COLOR / DESCRIPTION	NOTE
Α	MANUFACTURED STONE VENEER	MOJAVE COUNTRY LEDGESTONE	
В	PRECAST STONE CAP / SILL	LIGHT GUNPOWDER	
С	COMPOSITE LAP SIDING	RAPIDS BLUE	
D	COMPOSITE LAP SIDING	DESERT STONE	
E	COMPOSITE DECORATIVE SCALLOP SIDING	SNOWSCAPE WHITE	
F	COMPOSITE TRIM	SNOWSCAPE WHITE	
G	COMPOSITE PANEL	WHITE	
Н	ASPHALT SHINGLES	CHARCOAL	
I	CONTINUOUS RIDGE VENT	CHARCOAL	
J	COMPOSITE TRIM	WHITE	
K	COMPOSITE TRIM	SNOWSCAPE WHITE	
L	COMPOSITE WINDOW HEAD ACCENT	SNOWSCAPE WHITE	
М	COMPOSITE WINDOW & DOOR TRIM	SNOWSCAPE WHITE	
N	HOLLOW METAL DOOR & FRAME	SNOWSCAPE WHITE	
0	VINYL WINDOW	WHITE	
Р	ALUMINUM STOREFRONT DOORS	CLEAR ANODIZED	
Q	PREFIN ALUM OPEN FACE DOWNSPOUT	WHITE	
R	COMPOSITE FASCIA	WHITE	
5	PREFIN ALUM EAVE GUTTER	WHITE	
Т	CONTINUOUS HIP VENT	CHARCOAL	



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QF	FQ	OLF	D F F Q F		Q TRUSS BRG
F	B A600		B B B		
F	M	M G M J	N N F	MGMJ	P 100'-0"
	A	F	A		IST FLOOR

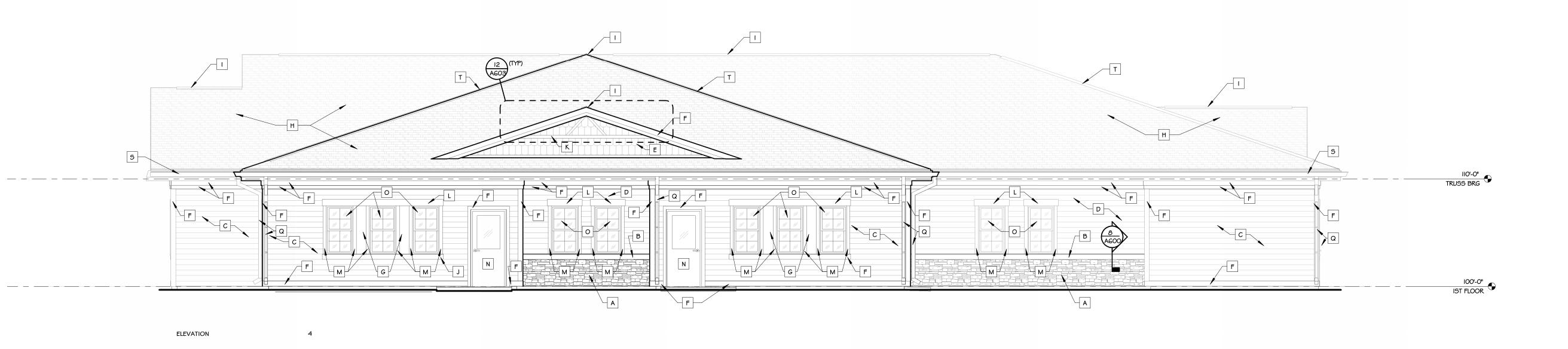
SCALE: 3/I6" = I'-O"

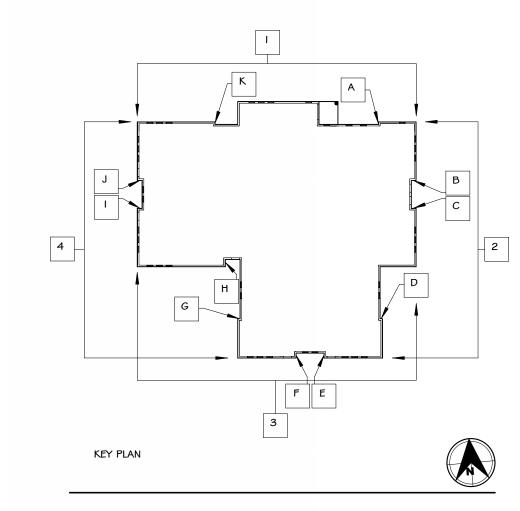


SCALE: 3/16" = 1'-0"

SCALE: 3/I6" = I'-0"

SCALE: 3/16" = 1'-0"





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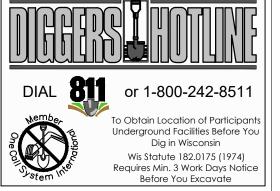


(BOTANICAL NAME) PLANTING SIZE COMMENTS

(Maturity Height-HT)

	(ODEEN OF A DOMAIGOR OF A DIRECT OF A				
BGG	'GREEN GEM' BOXWOOD (BUXUS X 'GREEN GEM'		15-18	7	(2-FOOT HT), 2½' OC
CSN	'SNOW FOUNTAINS' WEEPING CHERRY (PRUNUS 'SNOFOZAM') HYDRANGEA 'IN/IN/CIRELLE SPIRIT'		1½"-CAL		(6 TO 8-FOOT HT) WHITE FLOWERS, GOLD/ORANGE FALL COLOR
HIS	HYDRANGEA 'INVINCIBELLE SPIRIT' (HYDRANGEA ARBORESCENS 'INVINCIBELLE	E SPIRIT')	24-30	6	(3 TO 4-FOOT HT), PINK 'ANNABELLE' HYDRANGEA 4' O/C, MOST RELIABLE 'PINK' HYDRANGEA
HPQ	'QUICKFIRE' PANICLE HYDRANGEA (HYDRANGEA PANICULATA 'QUICKFIRE')		30-36	1	(6-FOOT HT) WHITE FLOWERS/SPRING, THEN PINK/SUMMER
IBS	BLUE STAR JUNIPER (JUNIPERUS SQUAMATA 'BLUE STAR')		18-24	9	(2-FOOT HT), 3½' O/C BLUE-GREEN NEEDLES
PAB	ABBOTSWOOD FLOWERING POTENTILLA (POTENTILLA FRUTICOSA 'ABBOTSWOOD')		15-18	6	(3-FOOT HT), 3½' O/C WHITE FLOWER
GD	GOLD DROP POTENTILLA (POTENTILLA FRUTICOSA 'GOLD DROP')		15-18	6	(3-FOOT HT), 3½ O/C
GF	GOLDFLAME SPIREA (SPRAEA x BUMALDA 'GOLDFLAME')		15-18	9	(3-FOOT HT), 3½ O/C
/RP	'RED PRINCE' WEIGELA' (WEIGELA x 'RED PRINCE'		24-30	3	(4-FOOT HT), 5½' O/C
	* All woody shrubs shown in container root of	condition	at time	e of pla	anting.
REES				#	
BRH	'HERITAGE' RIVER BIRCH	8'-10' HT.		2	MULTI (3+) TRUNK, (35-FOOT HT)
css	(BETULA NIGRA 'HERITAGE') 'SPRING SNOW' FLOWERING CRABAPPLE	2"-CAL.		2	WHITE FLOWERS, NO FRUITS, (25-FOOT HT)
AC	(MALUS x 'SPRING SNOW') ACCOLADE ELM (ULMUS x ACCOLADE)	2"-CAL.		1	VASE-SHAPE, YELLOW FALL COLOR, (50-FOOT HT)
FR	FONTIER ELM (ULMUS x FRONTIER)	2"-CAL.		3	UPRIGHT PYRAMIDAL SHAPE, SMOOTH BARK DEEP RED FALL COLOR, (35-FOOT HT)
WH GAG	WHITE FIR (ABIES CONCOLOR) GINKGO 'AUTUMN GOLD' (MALE CULTIVAR))	4'-5' HT. 2½"-CAL.		1	14' O/C, (70-FOOT HT). FAST-GROWING. GOLDEN-YELLOW FALL COLOR, (45-FOOT HT)
SOM	(GINKGO BILOBA <i>var.</i> 'AUTUMN GOLD') " GINKGO 'MAGYAR' (MALE CULTIVAR)	21/2"-CAL.		1	GOLD-YELLOW FALL COLOR, (45-FOOT HT)
HPP	(GINKGO BILOBA <i>var.</i> , 'MAGYAR') 'PRAIRIE PRIDE' COMMON HACKBERRY	2" CAL.		1	YELLOW FALL COLOR, (60-FOOT HT)
.IS	(CELTIS OCCIDENTALIS 'PRAIRIE PRIDE') 'IVORY SILK' JAPANESE TREE LILAC	2"-CAL.		2	SINGLE TRUNK, (20-FOOT HT)
1AB	(SYRINGA RETICULATA 'IVORY SILK') 'AUTUMN BLAZE' FREEMAN MAPLE	2"-CAL.		1	FALL COLOR, (35-FOOT HT)
1CF	(ACER x FREEMANII 'AUTUMN BLAZE' 'CELEBRATION' FREEMAN MAPLE	2"-CAL.		2	
IOG	(ACER x FREEMANII 'CELEBRATION') 'OCTOBER GLORY' RED MAPLE	2"-CAL.		1	ORANGE FALL COLOR, (35-FOOT HT) 40-FOOT HT)
SU	(ACER RUBRUM 'OCTOBER GLORY') SUGAR MAPLE (ACER SACCHARUM)	2"-CAL.			DP. RED TO REDDISH PURPLE FALL COLOR
			00-1	1 tion at	(60-FOOT HT), ORANGE-RED FALL COLOR
ED	All trees shown in B&B (Balled & Burlap)	ped) root	condit	uon at	unie or planting.
	NIALS				
ley .	Common Name (Botanical Name)		es O/C)		Comments
LS	DAYLILY (HEMEROCALLIS) 'STELLA D'ORO'	2	24		YELLOW FLOWER, (18-INCH HT)
	Perennials are shown as gallon containe	ar sizo			, , , , , , , , , , , , , , , , , , , ,
	LANDSC Hoad St				
ΔP	Head Sta				
A. PI	Head Standard MATERIAL/PLANTING BEDS: FERTILIZE ALL SHRUBS AND/OR TREES WITH A CO	art Dayca	are	RELEASI	E FERTILIZER TABLET OR PACKET, INSTALLED TO
	Head Standard Material/Planting Beds: FERTILIZE ALL SHRUBS AND/OR TREES WITH A COMMANUFACTURER'S SPECIFICATIONS. FOR PERENNIALS AND/OR ORNAMENTAL GRASSES	art Dayca	are		
1,	Head Standard Material/Planting Beds: FERTILIZE ALL SHRUBS AND/OR TREES WITH A COMMANUFACTURER'S SPECIFICATIONS. FOR PERENNIALS AND/OR ORNAMENTAL GRASSES FERTILIZER AT TIME OF PLANTING. BACKFILL, TO A MINIMUM OF 3-TIMES THE DIAMETE	MMERCIAL S, APPLY A (SLOW-F	RCIAL M	MIXTURE OF 10-10-10 OR APPROPRIATE ORGANIC
1. 2. 3.	Head Standard Material/Planting Beds: FERTILIZE ALL SHRUBS AND/OR TREES WITH A COMMANUFACTURER'S SPECIFICATIONS. FOR PERENNIALS AND/OR ORNAMENTAL GRASSES FERTILIZER AT TIME OF PLANTING. BACKFILL, TO A MINIMUM OF 3-TIMES THE DIAMETE MATTER. WHERE PERENNIALS ARE SHOWN ON PURCHES.	MMERCIAL S, APPLY A (ER OF THE FLAN, INSTAL	SLOW-F COMMEI ROOT BA LL RICH	RCIAL M ALL, ALI ORGAN	MIXTURE OF 10-10-10 OR APPROPRIATE ORGANIC L PLANT MATERIAL WITH A SOIL MIX RICH IN ORGANIC IIC SUSTAINABLE SOIL AT A MINIMUM DEPTH OF 10-12
1. 2. 3.	Head Stand MATERIAL/PLANTING BEDS: FERTILIZE ALL SHRUBS AND/OR TREES WITH A COMMANUFACTURER'S SPECIFICATIONS. FOR PERENNIALS AND/OR ORNAMENTAL GRASSES FERTILIZER AT TIME OF PLANTING. BACKFILL, TO A MINIMUM OF 3-TIMES THE DIAMETE MATTER. WHERE PERENNIALS ARE SHOWN ON PLINCHES. PLANTING BED EDGING, WHERE SHOWN ON PLAN, TO MANUFACTURER'S SPECIFICATIONS.	MMERCIAL S, APPLY A (ER OF THE FLAN, INSTAL TO BE VALI	SLOW-R COMMEI ROOT BA LL RICH	RCIAL M ALL, ALL ORGAN W'BLAC	MIXTURE OF 10-10-10 OR APPROPRIATE ORGANIC L PLANT MATERIAL WITH A SOIL MIX RICH IN ORGANIC IIC SUSTAINABLE SOIL AT A MINIMUM DEPTH OF 10-12 CK DIAMOND POLYETHYLENE BED DIVIDER, INSTALLE
1. 2. 3. 4. 5.	Head Stand Material/Planting Beds: FERTILIZE ALL SHRUBS AND/OR TREES WITH A COMMANUFACTURER'S SPECIFICATIONS. FOR PERENNIALS AND/OR ORNAMENTAL GRASSES FERTILIZER AT TIME OF PLANTING. BACKFILL, TO A MINIMUM OF 3-TIMES THE DIAMETE MATTER. WHERE PERENNIALS ARE SHOWN ON PLINCHES. PLANTING BED EDGING, WHERE SHOWN ON PLAN, TO MANUFACTURER'S SPECIFICATIONS. ORGANIC (WOOD) MULCH MATERIAL, LOCATED ARM MULCH, INSTALLED AND SPREAD EVENLY AT A DEF	MMERCIAL S, APPLY A (ER OF THE F LAN, INSTAL TO BE VALI OUND BUILT PTH OF 3 IN	SLOW-F COMMEI ROOT BALL RICH LEY VIEW	RCIAL M ALL, ALI ORGAN W 'BLAC DUNDAT	MIXTURE OF 10-10-10 OR APPROPRIATE ORGANIC L PLANT MATERIAL WITH A SOIL MIX RICH IN ORGANIC IIC SUSTAINABLE SOIL AT A MINIMUM DEPTH OF 10-12 CK DIAMOND POLYETHYLENE BED DIVIDER; INSTALLE TION, TO BE SHREDDED NORTHERN WHITE CEDAR
1. 2. 3.	Head Stand Material/Planting Beds: FERTILIZE ALL SHRUBS AND/OR TREES WITH A COMMANUFACTURER'S SPECIFICATIONS. FOR PERENNIALS AND/OR ORNAMENTAL GRASSES FERTILIZER AT TIME OF PLANTING. BACKFILL, TO A MINIMUM OF 3-TIMES THE DIAMETE MATTER. WHERE PERENNIALS ARE SHOWN ON PLINCHES. PLANTING BED EDGING, WHERE SHOWN ON PLAN, TO MANUFACTURER'S SPECIFICATIONS. ORGANIC (WOOD) MULCH MATERIAL, LOCATED ARE MULCH, INSTALLED AND SPREAD EVENLY AT A DEFIN WOOD MULCH BEDS, AFTER SOIL AND PLANTS A PRE-EMERGENT HERBICIDE, "PREEN" EVENLY OVE	MMERCIAL S, APPLY A (ER OF THE F LAN, INSTAL TO BE VALI OUND BUILI PTH OF 3 IN ARE INSTALI IR THE PLAN	SLOW-F COMMEI ROOT B, LL RICH LEY VIEI DING FC ICHES. LED AND	RCIAL M ALL, ALL ORGAN W 'BLAC DUNDAT	MIXTURE OF 10-10-10 OR APPROPRIATE ORGANIC L PLANT MATERIAL WITH A SOIL MIX RICH IN ORGANIC IIC SUSTAINABLE SOIL AT A MINIMUM DEPTH OF 10-12 CK DIAMOND POLYETHYLENE BED DIVIDER; INSTALLE TION, TO BE SHREDDED NORTHERN WHITE CEDAR R TO WOOD MILL CHINSTALL ATION, BROADCAST THE
1. 2. 3. 4. 5. 6. 7.	Head Stand MATERIAL/PLANTING BEDS: FERTILIZE ALL SHRUBS AND/OR TREES WITH A COMMANUFACTURER'S SPECIFICATIONS. FOR PERENNIALS AND/OR ORNAMENTAL GRASSES FERTILIZER AT TIME OF PLANTING. BACKFILL, TO A MINIMUM OF 3-TIMES THE DIAMETE MATTER. WHERE PERENNIALS ARE SHOWN ON PLINCHES. PLANTING BED EDGING, WHERE SHOWN ON PLAN, TO MANUFACTURER'S SPECIFICATIONS. ORGANIC (WOOD) MULCH MATERIAL, LOCATED ARM MULCH, INSTALLED AND SPREAD EVENLY AT A DEFIN WOOD MULCH BEDS, AFTER SOIL AND PLANTS APRE-EMERGENT HERBICIDE, "PREEN" EVENLY OVE EMERGENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.	MMERCIAL S, APPLY A (ER OF THE F LAN, INSTAL TO BE VALI OUND BUILT PTH OF 3 IN ARE INSTALA ER THE PLAN ECIFICATIO	SLOW-F COMMEI ROOT B, LL RICH LEY VIEV DING FC ICHES. LED ANI NTING B	RCIAL M ALL, ALI ORGAN W 'BLAC DUNDAT D PRIOR ED SOIL	MIXTURE OF 10-10-10 OR APPROPRIATE ORGANIC L PLANT MATERIAL WITH A SOIL MIX RICH IN ORGANIC IIC SUSTAINABLE SOIL AT A MINIMUM DEPTH OF 10-12 CK DIAMOND POLYETHYLENE BED DIVIDER, INSTALLE TION, TO BE SHREDDED NORTHERN WHITE CEDAR R TO WOOD MULCH INSTALLATION, BROADCAST THE L THROUGHOUT THE PLANTING BED(S). INSTALL PRE
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REVIEWED - CITY OF MAUSTON 2/10/25



experience | architecture | design

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ISSUED FOR DATE

PERMITTING \$ CONSTRUCTION 08.02.2022

PERMITTING \$ CONSTRUCTION (SECOND) 08.22.2023

REVISIONS _____ DATE

RENEWAL UNLIMITED

HEAD START DAYCARE

MAUSTON, WI

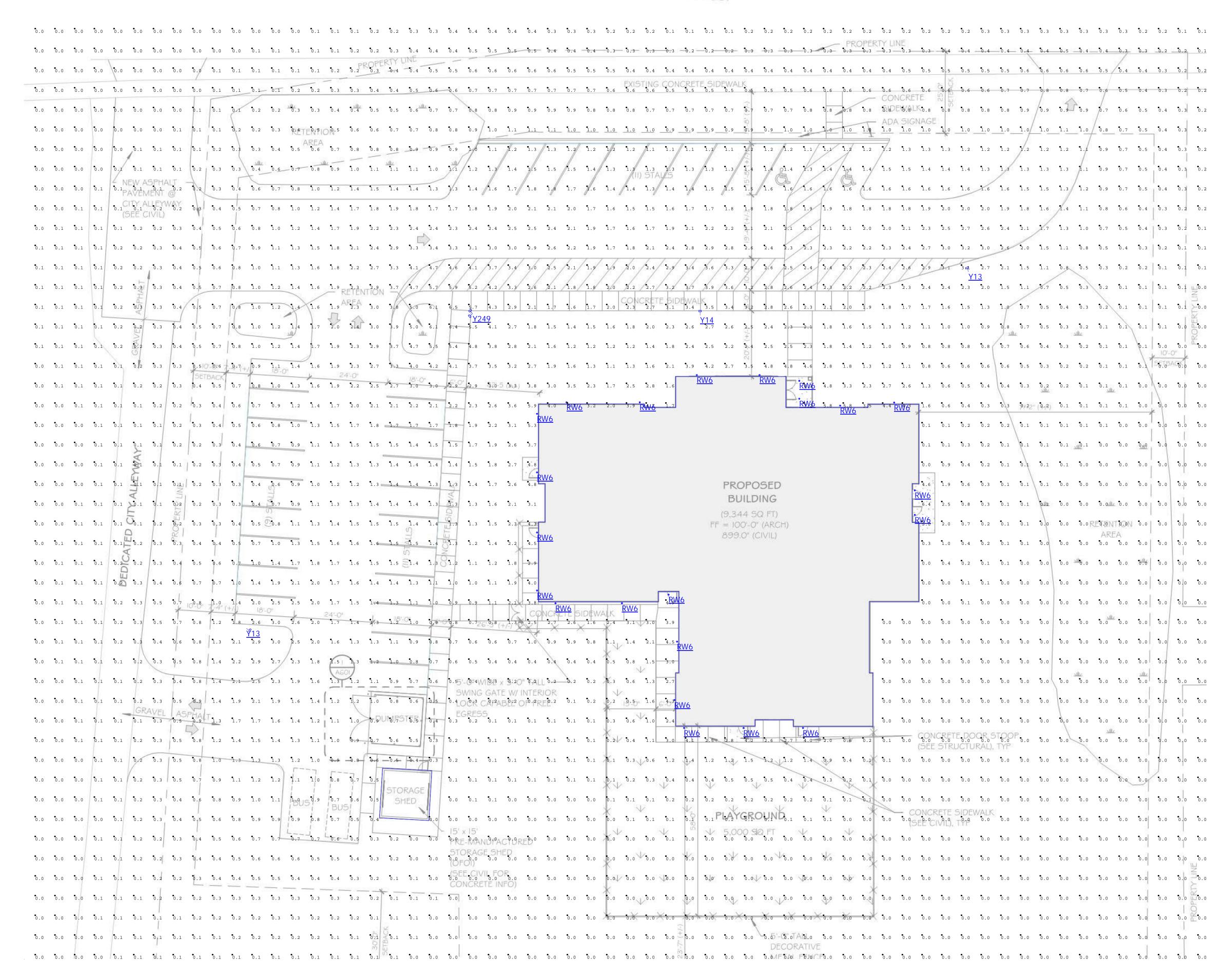
DRAWN BY
B.UPWARD
CHECKED BY
B.BOETTCHER
DATE
08.22.2023
JOB NUMBER
19-101
BID SET | VOLUME

LANDSCAPE PLAN

SHEET NUME

L1.0

MARTIN STREET



Calculation Su	ımmary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Mi
CalcPts_1	Illuminance	Fc	0.60	8.1	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	1.71	5.9	0.4	4.28	14.75

REVIEWED - CITY OF MAUSTON 2/10/25

Symbol	Qty	Label	Tag	Description	Arrangement	LLF	Luminaire	Luminaire
-							Lumens	Watts
\bigoplus	22	WF6 ALO20 SWW5 90CRI MVOLT 40	RW6	WF6 ALO20 SWW5 90CRI MVOLT 40K	Single	0.900	1360	15
				recessed wafer light	_			
	2	RSX1 LED P3 50K R3	Y13	RSX1 LED P3 50K R3 type 3	Single	0.900	14022	109.44
				distribution pole fixture on				
			25ft pole with 2.5ft base					
	1	RSX1 LED P3 50K R4	Y14	RSX1 LED P3 50K R4 type 4	Single	0.900	14206	109.44
				distribution pole fixture on				
				25ft pole with 2.5ft base				
\$	1	RSX1 LED P3 50K R4 2@90	Y249	RSX1 LED P3 50K R4 2@90 type 4	2 @ 90	0.900	14206	109.44
				distribution pole fixture on	degrees			
				25ft pole with 2.5ft base				

. STANDARD REFLECTANCE OF 80/50/20 UNLESS NOTED OTHERWISE.
. NOT A CONSTRUCTION DOCUMENT- FOR DESIGN PURPOSES ONLY.
. STANDARD INDOOR CALC POINTS @ 30" AFF UNLESS NOTED OTHERWISE.

3. Standard indoor calc points @ 30" AFF unless noted otherwise. 4. Standard Outdoor calc points @ Grade unless noted otherwis 5. Egress calc points @ 0'-0" AFF.

PHOTOMETRICS ARE ESTIMATED LIGHTING CALUCULATIONS.
 VIKING ELECTRIC ASSUMES NO RESPONSIBILITY FOR INSTALLED LIGHT LEVELS DUE TO FIELD CONDITIONS.

7. VIKING ELECTRIC NOT RESPONSIBLE FOR FINAL REVIEW OF CODE REQUIREMENTS.

ES001



Comments					
Date					
#	Re	evisi	ons	<u> </u>	