



PLAN COMMISSION AGENDA

February 19, 2025 at 5:30 PM
303 Mansion Street Mauston, WI

1. **Call to Order/Roll Call**
2. **Discussion and action relating to Minutes**
 - a. a. January 14, 2025
3. **Discussion and recommendation to approve Conditional Use Permit 2025-P-03 for CMK Properties, LLC to build a retail store over 10,000 sq ft, which is considered a Group Development.**
 - a. a. Conditional Use Permit 2025-P-03 and Plans
4. **Discussion and action to preliminary approval of Ron Brunner's rural-style subdivision, contingent upon finalizing the utilities agreement with the City of Mauston.**
 - a. a. City Admin memo
5. **Discussion and recommendation to approve Renewal Unlimited Head Start Daycare Conditional Use Permit 2025-P-04 Amending Resolution 2019-P-05**
 - a. a. Conditional Use Permit 2025-P-04 and plans
6. **Adjourn**

NOTICE:

It is possible that action will be taken on any of the items on the agenda and that the agenda may be discussed in any order. It is also possible that a quorum of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

Also, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact City Deputy Clerk Nicole Lyddy (608) 747-2706.

Any member of the public wishing to join the meeting telephonically should call City Hall by 4pm the day of the meeting. Staff will be happy to provide instructions on joining the meeting by phone. City Hall main number: 608-847-6676



PLAN COMMISSION MINUTES

January 14, 2025 at 5:30 PM

303 Mansion Street Mauston, WI

1. **Call to Order/Roll Call:** The Mauston Plan Commission met in the Community Room of Mauston City Hall and was called to order by Mayor Teske at 5:30 pm Tuesday, January 14, 2025. Members present were Mark Messer, Lenord Kluge, Brian McGuire, Paul Coggins, and Mayor Darryl Teske. Absent was Devan Minard. Also, present were Administrator Daron Haugh, Josh Low from Ehlers, and Zoning Administrator Val Nelson.
2. **Minutes:** McGuire/Kluge to approve minutes of November 20, 2024. Motion carried unanimously.
3. **Public Hearing regarding proposed amendment of the boundaries and Project Plan of Tax Incremental District No. 5:** Mayor Teske opened the public hearing. Josh Low from Ehlers spoke on the proposed amendment and answered any questions the commission had. McGuire/Kluge to close the public hearing. Motion carried unanimously.
4. **Resolution 2025-P-02:** Kluge/McGuire to approve resolution 2025-P-02 Amendment to the Project Plan and Boundaries of Tax Incremental District No. 5. Motion carried unanimously.
5. **Adjourn:** Kluge/Coggins to adjourn. Motion carried unanimously at 6:00 pm.

Chair

Date

City of Mauston Resolution 2025-P-03

RESOLUTION APPROVING CONDITIONAL USE
TRACTOR SUPPLY GROUP DEVELOPMENT

Return Address: City of Mauston
Attn: Val Nelson
303 Mansion Street
Mauston, Wisconsin 53948

Parcel I.D. 29-251-1687

APPLICANT: CMK Properties, LLC

PROPERTY OWNER:

PROPERTY AFFECTED:
Address: 100 Powers Ave

Legal Description: Lot Two (2) of Juneau County Certified Survey Map No. 3329, Recorded in Volume 14, Page 109 as Document 632398, Located in the Southwest Quarter of the Northeast Quarter (SW1/4-NE1/4) of Section 8, Township 15 North, Range 4 East, City of Mauston, Juneau County, Wisconsin, containing 470,644 square feet or 10.804 acres.

WHEREAS, the City of Mauston has received a request for a Conditional Use by the above Applicant regarding the above property, which application is attached hereto and incorporated herein by reference; and

WHEREAS, the Plan Commission has reviewed the application, site plan, and the resolution, and has recommended approval to the Common Council; and

WHEREAS, the Common Council has conducted a public hearing on said application and has carefully evaluated the application, along with input from City staff and consultants.

NOW, THEREFORE, the Common Council of the City of Mauston does hereby resolve as follows:

BE IT FURTHER RESOLVED that the Mauston Common Council finds that this application for a Conditional Use satisfies the standards required by Section 114-288 of the Zoning Ordinance, specifically as follows:

- (a) The Common Council finds that the proposed Conditional Use, in general, independent of its location, is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted or under consideration by the City.
- (b) The Common Council finds that the proposed Conditional Use, in its proposed specific location, is in harmony with the purposes, goals, objectives, policies and

standards of the Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted or under consideration by the City.

- (c) The proposed Conditional Use will not cause a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
- (d) The proposed Conditional Use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- (e) The proposed Conditional Use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- (f) The potential public benefits (e.g. new retail store) of the proposed Conditional Use outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the Applicant’s proposal, including the Applicant’s suggestions to ameliorate any adverse impacts.

BE IT FURTHER RESOLVED that the Mauston Common Council approves the application for a Conditional Use subject to the following conditions and restrictions, which shall be perpetual, unless and until changed by action of the Plan Commission or until the Applicant ceases the use of the property which is conditionally approved herein:

1. APPROVED USE. The Applicant is hereby authorized to use the property, which is located in the Planned Business (PB) District, for the principal land use of Group Development, which is allowed as a “conditional use” pursuant to Sec. 114-130, and for the operation of the following land uses:

- (a) Indoor Sales or Service pursuant to section 114-12(c)
- (b) Outdoor Storage or Wholesaling pursuant to section 111-125(b)

No other use classification may be allowed o this property without first obtaining an amendment to this Resolution. Approval is subject to all the general regulations of the Zoning Ordinance and subject to the following conditions.

2. SITE PLAN APPROVAL. The Site Plan, dated 1/17/25, which is attached hereto and incorporated herein by reference, is approved. Construction of this project shall be completed in substantial conformance with the attached Site Plan, including all hand-written additions thereto and notations thereon which bear the initials of the Applicant and the City.

3. LANDSCAPING. The Landscaping Plan, dated insert date, which is attached hereto and incorporated herein by reference, is approved. The construction of all landscaping for this project shall be completed in substantial conformance with Article V of the Zoning Ordinance and with the attached

Landscaping Plan, including all hand-written additions thereto and notations thereon which bear the initials of the Applicant and the City. Furthermore, the landscaping shall be maintained by the Applicant, its successors and assigns, from year-to-year, in substantial conformance with the Landscaping Plan.

4. SIGNAGE. The Signage Plan, dated 2/11/25, which is attached hereto and incorporated herein by reference, is approved. The construction of all signage shall be completed in substantial conformance with Article VII of the Zoning Ordinance and with the attached Signage Plan, including all hand-written additions thereto and notations thereon which bear the initials of the Applicant and the City.

5. GARBAGE. The Site Plan shows the location of garbage enclosures. The construction and maintenance of the garbage enclosure shall be in conformance with the standards of Article V of the Zoning Ordinance and with the Site Plan. The Applicant shall provide for garbage collection at such intervals to avoid spill-over of garbage from these enclosures.

6. OUTSIDE STORAGE. The site plan shows the location of outside display areas for trailers, equipment, and other retail items, as well as a covered and fenced garden center. No other outdoor storage areas are permitted.

7. LIGHTING. The Lighting Plan, dated 1/27/25, which is attached hereto and incorporated herein by reference, is approved. The construction and maintenance of the exterior lighting shall be in conformance with Article V of the Zoning Ordinance and with the Site Plan. All lighting shall be “down-styled” lighting. All lighting shall be designed, installed and maintained to prevent the glare of light toward adjacent buildings and onto the adjacent street.

8. ACCESSORY STRUCTURES. No accessory structures are approved or permitted.

9. PARKING. There are 105 parking spaces per the site plan. Parking area shall be of a hard surface material, and parking stalls shall be striped, with dimensions required by the Zoning Code.

10. WATER AND SEWER CONNECTION. The City will extend the water and sewer mains to the property line on Powers Avenue in conjunction with construction of the building.

11. STORM WATER. The detention area on site plan is approved. All drainage, grading and topographic work on the site shall be performed pursuant to this plan and to DNR requirements.

12. BUILDING MATERIALS. The Site Plan contains building elevations which shows the exterior of the building. The building will be constructed exactly as shown on the Site Plan. The Applicant intends to use the following colors and products on the exterior of the buildings, which are hereby approved:

- (a) Smooth Faced Concrete Block:** Sanderling and Urban Putty
- (b) Trim:** Safety Red and Gray
- (c) Awning and Main Entrance:** Corrugated metal panel, Gray

13. DRIVEWAYS AND ACCESS. The site plan shows the location of two driveways off of Powers Avenue. The access and driveways shall comply with the standards of Article V of the Zoning Ordinance.

14. COMPLETION DATE. The property may not be used or occupied for the Conditional Use granted herein until ALL the terms and conditions of this document are completed and fulfilled, except:

(a) Landscaping: August 2026

15. CERTIFICATE OF OCCUPANCY. Upon completion of the project authorized by this Resolution and before the project is used or occupied for the Conditional Use granted herein, the Applicant shall notify the City Zoning Administrator, who shall inspect the project and, if appropriate, shall issue a Certificate of Occupancy, pursuant to section 114-292 of the Mauston Zoning Ordinance.

16. CHANGES. Pursuant to section 114-288 of the Zoning Ordinance, the Applicant may apply to the Zoning Administrator for “minor” changes to the Site Plan or this Conditional Use, which changes may be granted, in writing, by the Zoning Administrator, provided (i) the changes do not violate any of the minimum standards of the Mauston Zoning Ordinance and (ii) the spirit and intent of the original Conditional Use is preserved. The Zoning Administrator shall determine, in his/her sole discretion, whether a change is “minor”. All changes which are not “minor” shall be submitted to and approved in writing by the Plan Commission. Whenever an approved change alters any part of a recorded document, the document which authorizes said change shall also be recorded.

17. OTHER REGULATIONS. Nothing herein shall constitute a waiver or limitation of the Applicant’s compliance with all other Mauston ordinances and regulations, including all other requirements of the Mauston Zoning Ordinance.

18. ENFORCEMENT. The conditions imposed herein (including the conditions imposed by any plans or changes submitted hereafter), shall all be enforced as on-going conditions of this Conditional Use Resolution. Failure of the Applicant to comply with these conditions, shall entitle the City to take enforcement action, which may include fines, forfeitures, injunctions, and/or termination of this Resolution, which in turn will require the Applicant to cease the use of the property authorized herein until a new Conditional Use is approved.

19. RECORDING. A copy of this Resolution, without attachments, shall be recorded with the Juneau County Register of Deeds.

20. BINDING AFFECT. This Resolution shall be binding upon and shall inure to the benefit of the heirs, successors and assigns of both parties. Nothing herein shall be construed as limiting the right of the Owner to sell, give, or otherwise convey the premises, provided that the use and occupancy of the premises by any new owner shall be subject to the terms of this Resolution, which shall run with the land and which shall be perpetual, unless and until changed by action of the Common Council.

21. SUNSET CLAUSE. All buildings and structures approved on a site plan shall be fully developed within two years of final approval of the site plan, unless a different date is established by the plan commission in writing. After the expiration of such period, no additional site plan development shall be permitted on undeveloped portions of the subject property. The plan commission may extend this period, as requested by the applicant, through the conditional use process following a public hearing.

22. APPLICANT / OWNER APPROVAL. This Conditional Use shall not become effective and shall not be recorded until the Applicant and Owner acknowledges his/her/its acceptance of this Conditional Use by signing this Document in the space provided below.

Introduced and adopted this _____ day of _____, 2025.

CITY OF MAUSTON COMMON COUNCIL

Approved: _____ **Attest:** _____
Darryl D. D. Teske, Mayor Daron Haugh, Administrator

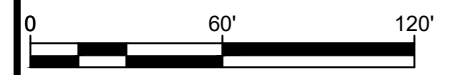
APPLICANT APPROVAL

The undersigned Applicant hereby acknowledges receipt of this Conditional Use and hereby acknowledges that the development and use of the property shall conform with the terms and conditions of this Conditional Use and the Mauston Zoning Ordinance.

Signature: _____ Dated: _____

Print Name: _____

This document drafted by: Valerie K. Nelson-Zoning Administrator, Mauston, WI 53948



SCALE: 1"= 60'
(11X17)

PROJECT INFORMATION

SITE AREA	
LOT	± 3.95 AC
TOTAL	± 3.95 AC

PARKING COUNT SUMMARY		
TSC BLDG	21,930 SF	105 SP
TRAILER		- SP
TOTAL PROVIDED		105 SP

REQUIRED BY CITY		
1 PER 300 SF OF BLDG		74 SP
1 PER 600 SF OF OUTDOOR SALES		45 SP
TOTAL REQUIRED		119 SP

ZONING CLASSIFICATION	
EXISTING	N/A
PROPOSED	TBD

REQUIRED SETBACKS	
FRONT	40'
SIDE	10'
REAR	30'

PROJECT NOTES

- THIS CONCEPTUAL SITE PLAN IS FOR PLANNING PURPOSES ONLY. SITE SPECIFIC INFORMATION SUCH AS EXISTING CONDITIONS, ZONING, PARKING, LANDSCAPE, PAVEMENT LINES AND UTILITY REQUIREMENTS MUST BE VERIFIED.
- ALL CURB CUTS SHOWN ARE PROPOSED AND MUST BE VERIFIED.

DRAWING ISSUE/REVISION RECORD

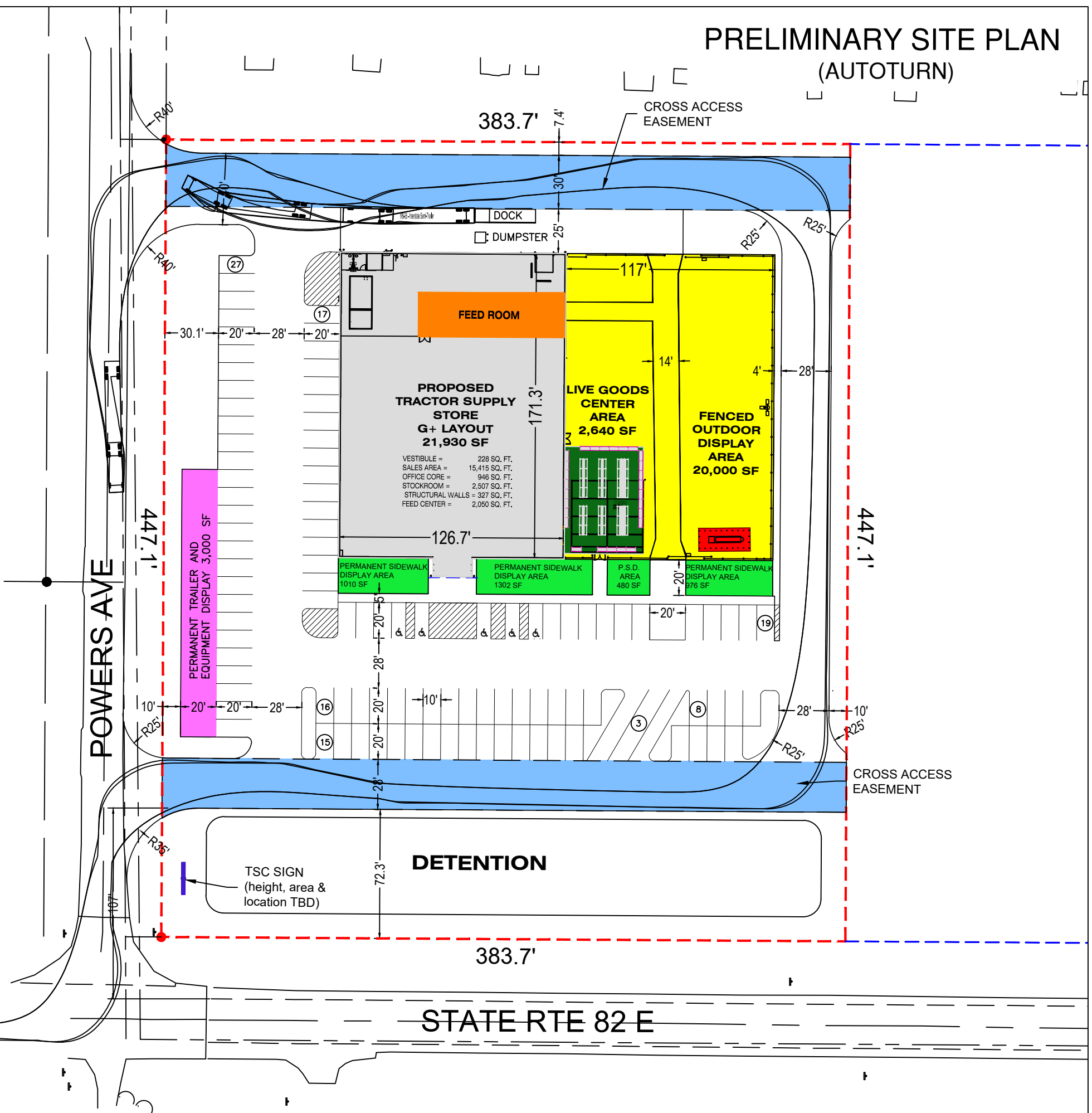
DATE	NARRATIVE	DRAWN BY
7/2/24	INITIALS RELEASE	LL
9/9/24	REVISED BLOCK	MCL
9/24/24	CRIME/NEIGHBOR	MCL
9/30/24	REVISED ENTRANCE	MCL
10/1/24	CRIME/NEIGHBOR	MCL
10/2/24	PRE REC NOTES	MCL
12/06/24	REVISED W/ SURVEY	LMG

G+ PROTOTYPE

TRACTOR SUPPLY
MAUSTON, WI

101

**PRELIMINARY SITE PLAN
(AUTOTURN)**



BUILDING & OUTDOOR DISPLAY AREAS

G+ MAUSTON, WI		
SALES:	15,416	15,416
STOCK/FEED:	4,945	4,945
TOTAL:	20,361	20,361
FOD:	17,360	20,000
LGC:	2,640	2,640
FORAGE:	0	0
TRAILER:	3,000	3,000
SIDEWALK:	3,767	3,768
IOD:	0	0
DISPLAY TOTAL:	26,767	29,408

DESIGN CHECKLIST

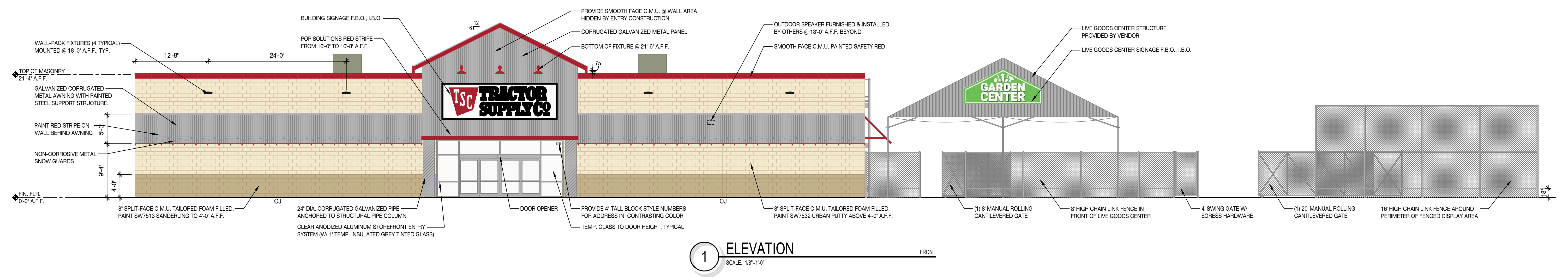
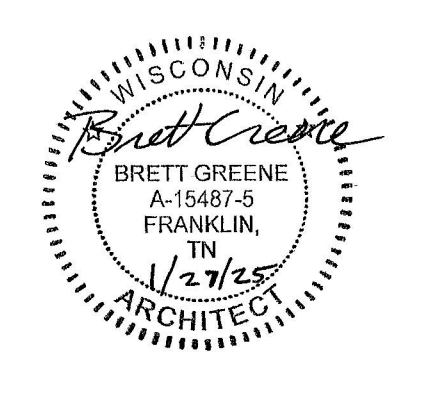
- LGC
- FEED CENTER
- PROPANE
- IOD
- FOD
- TRAILER & EQUIP.
- SIDEWALK DISPLAY
- PYLON SIGN
- FORAGE SHED
- STANDARD SIGNAGE (BLDG & SITE)
- HIGH CRIME SCOPE - CAP SCORE: 83
- GOOD NEIGHBOR SCOPE (SITE LEGEND)

SITE LEGEND

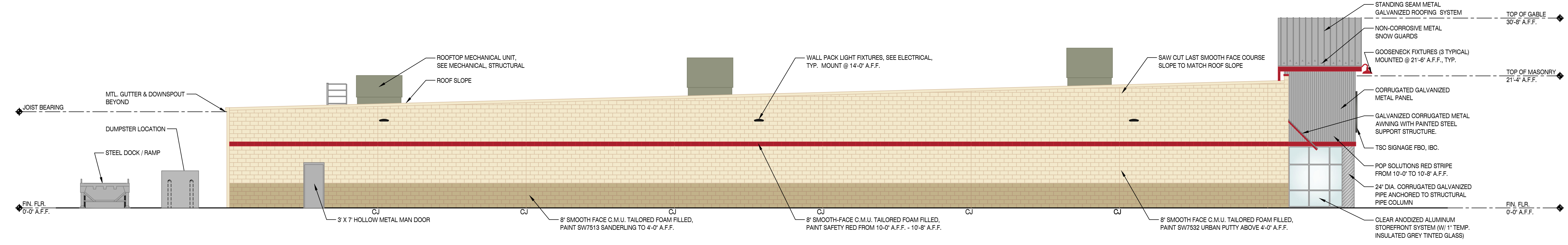
- PROPERTY LINE
- DEMISED PREMISES
- GOOD NEIGHBOR SCOPE

GOOD NEIGHBOR OPTIONS:

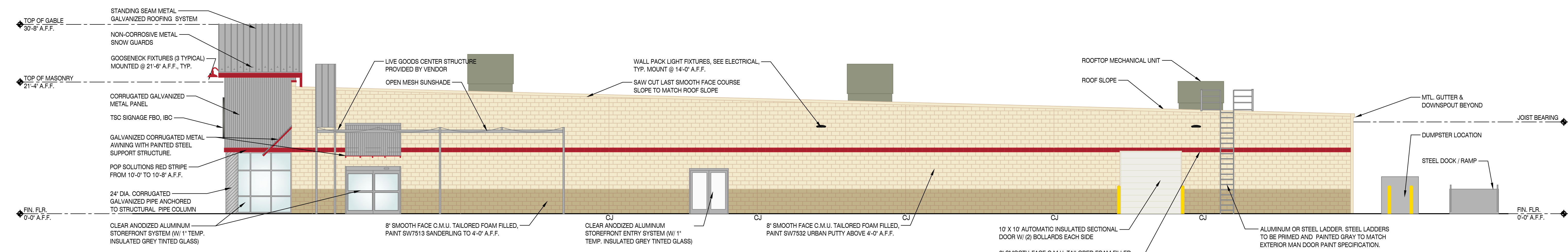
- TIER 1 - LIGHT SHIELDING
- TIER 2 - SECURITY LIGHTING
- TIER 3 - PROPERTY TRASH SCREEN
- TIER 4 - FOD VISIBILITY SCREEN
- TIER 5 - PROPERTY VISIBILITY OR SOUND SCREEN (FENCE OR WALL)
- TIER 6 - PROPERTY LANDSCAPE BUFFER



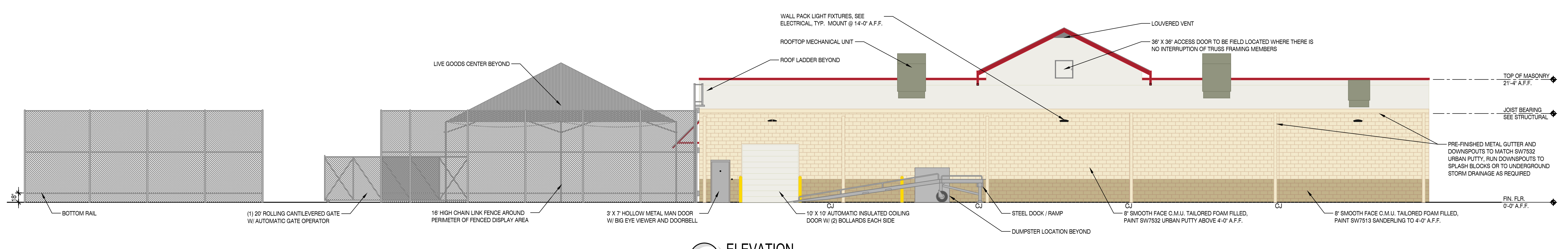
1 ELEVATION FRONT SCALE: 1/8"=1'-0"



2 ELEVATION LEFT SIDE SCALE: 1/8"=1'-0"



3 ELEVATION RIGHT SIDE SCALE: 1/8"=1'-0"



4 ELEVATION REAR SCALE: 1/8"=1'-0"

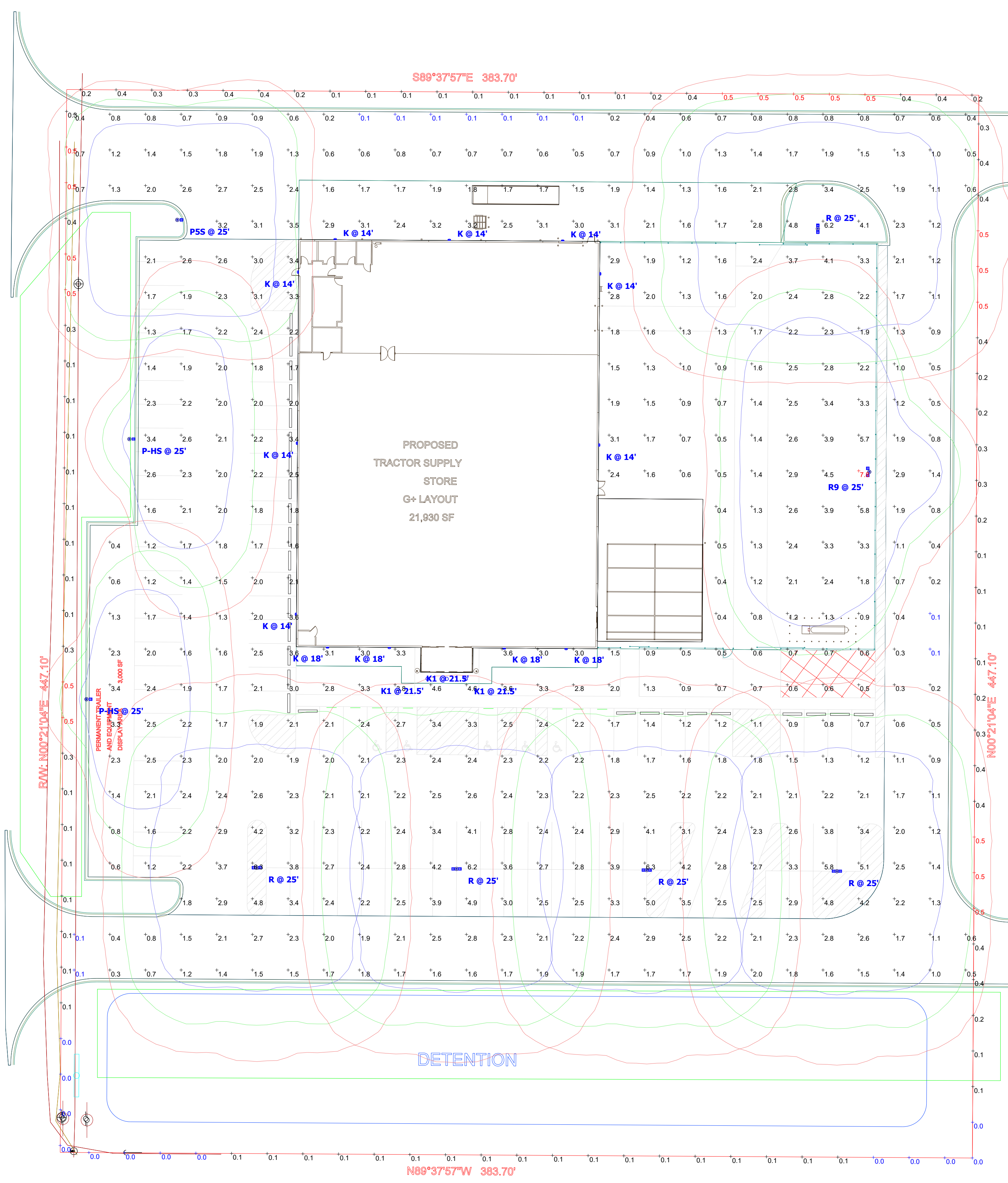
TRACTOR SUPPLY COMPANY MAUSTON, WISCONSIN



BRETT GREENE ARCHITECT

2934 Sidco Drive Suite 120 Nashville, TN 37204

Architecture Planning Interior Architecture



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Line Light Levels	+	0.2 fc	0.5 fc	0.0 fc	N/A	N/A
Parking Lot Light Levels	+	2.0 fc	7.8 fc	0.1 fc	78.0:1	20.0:1

Schedule								
Symbol	Label	Quantity	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
	P-HS	2	RSX1-LED-P3-50K-R3-MVOLT-SPA-HS	Single Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/3ft. Base) HOUSE SIDE SHIELDING & FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	10698	0.95	109.442
	PSS	1	RSX1-LED-P3-50K-R5S-MVOLT-SPA	Single Head Lithonia RSX1 Series LED Area Unit w/Type R5S Distribution (22ft. Pole Height w/3ft. Base) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	14778	0.95	109.44
	R	5	RSX1-LED-P3-50K-R3-MVOLT-SPA	Double Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/3ft. Base) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	14022	0.95	218.88
	R9	1	RSX1-LED-P3-50K-R3-MVOLT-SPA	Double Head Lithonia RSX1 Series LED Area Unit w/Type R3 Distribution (22ft. Pole Height w/3ft. Base)	LED/5000K (FULL CUTOFF DESIGN)	14022	0.95	218.88
	K	12	DSXW1-LED-10C-1000-50K-T3M-MVOLT-DBBXD	Lithonia DSXW1 Series Wall Mount LED Unit w/Type T3M Distribution (18ft. and 14ft. Fixture Mounting Heights) FULL CUTOFF DESIGN	LED/5000K (FULL CUTOFF DESIGN)	3898	0.95	38.8
	K1	3	H-15118-97/HL-AHD-27*97/21/LED2/40/D/BCM-M	Hi-Lite H15118 Series LED Goosneck Unit (21.5ft. Mounting Height) Red Finish (FULL CUTOFF DESIGN)	LED/4000K (FULL CUTOFF DESIGN)	1170	0.95	21

Tractor Supply Co - League City, TX
Photometric Site Lighting Design

Designer
 Adam Carrier
Date
 01/29/2025
Scale
 Not to Scale
Drawing No.
 Summary



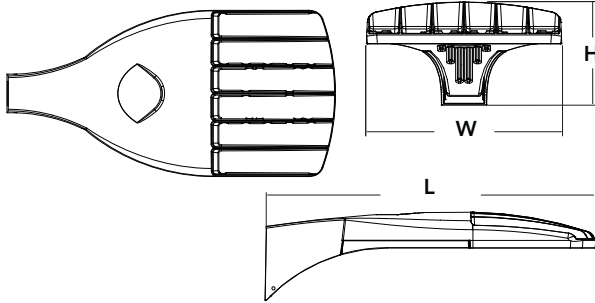
D-Series Size 0 LED Area Luminaire



d#series

Specifications

EPA:	0.95 ft ² (.09 m ²)
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height:	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



Catalog Number **DSX0-LED-40C-700-5** Section 3, Item a.

Notes
Type **SITE**

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED 40C 1000 40K T3M MVOLT SPA DDBXD

DSX0 LED	Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting
	DSX0 LED	Forward optics 20C 20 LEDs (one engine) 40C 40 LEDs (two engines) Rotated optics¹ 30C 30 LEDs (one engine)	530 530 mA 700 700 mA 1000 1000 mA (1 A) ²	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted ³	T1S Type I short T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium T5VS Type V very short T5S Type V short T5M Type V medium T5W Type V wide BLC Backlight control ^{2,4} LCCO Left corner cutoff ^{2,4} RCCO Right corner cutoff ^{2,4}	MVOLT⁵ 120 ⁵ 208 ⁵ 240 ⁵ 277 ⁵ 347 ⁶ 480 ⁶	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor ⁷ RPUMBA Round pole universal mounting adaptor ⁷ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁸

Control options	Other options	Finish (required)
Shipped installed PER NEMA twist-lock receptacle only (no controls) ⁹ PER5 Five-wire receptacle only (no controls) ^{9,10} PER7 Seven-wire receptacle only (no controls) ^{9,10} DMG 0-10V dimming driver (no controls) ¹¹ DCR Dimmable and controllable via ROAM [®] (no controls) ¹² PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ¹³ PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ¹³ PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ¹³	PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ¹³ BL30 Bi-level switched dimming, 30% ^{14,15} BL50 Bi-level switched dimming, 50% ^{14,15} PNMTDD3 Part night, dim till dawn ¹⁶ PNMT5D3 Part night, dim 5 hrs ¹⁶ PNMT6D3 Part night, dim 6 hrs ¹⁶ PNMT7D3 Part night, dim 7 hrs ¹⁶ FAO Field adjustable output ¹⁷	Shipped installed HS House-side shield ¹⁸ SF Single fuse (120, 277, 347V) ¹⁹ DF Double fuse (208, 240, 480V) ¹⁹ L90 Left rotated optics ¹ R90 Right rotated optics ¹ DDL Diffused drop lens ¹⁸ BS Bird spikes

Accessories

Ordered and shipped separately.

DL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²⁰
DL1347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²⁰
DL1480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²⁰
DSH0T SBK U	Shorting cap ²⁰
DSX0HS 20C U	House-side shield for 20 LED unit ¹⁸
DSX0HS 30C U	House-side shield for 30 LED unit ¹⁸
DSX0HS 40C U	House-side shield for 40 LED unit ¹⁸
DSX0DDL U	Diffused drop lens (polycarbonate) ¹⁷
PUMBA DDBXD U*	Square and round pole universal mounting bracket adaptor (specify finish) ⁷
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁸

NOTES

- 30 LEDs (30C option) and rotated options (L90 or R90) only available together.
- Not available with AMBPC.
- Only available with 530mA or 700mA.
- Not available with HS or DDL.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120V, 208V, 240V or 277V options only when ordering with fusing (SF, DF options).
- Not available with single board, 530mA product (20C 530 or 30C 530). Not available with BL30, BL50 or PNMT options.
- Existing drilled pole only. Available as a separate combination accessory; for retrofit use only: PUMBA (finish) U; 1.5 G vibration load rating per ANCI C136.31.
- Must order fixture with SPA mounting. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories.
- If ROAM[®] node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR. Node with integral dimming.
- DMG option for 347V or 480V requires 1000mA.
- Specifies a ROAM[®] enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM[®] deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net. N/A with PIR options, PER5, PER7, BL30, BL50 or PNMT options. Node without integral dimming.

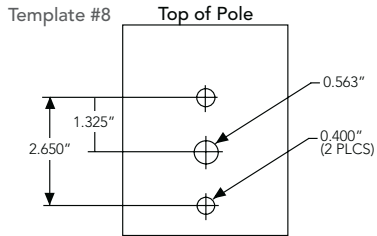
- PIR and PIR1FC3V specify the **SensorSwitch SBGR-10-ODP** control; PIRH and PIRH1FC3V specify the **SensorSwitch SBGR-6-ODP** control; see **Outdoor Control Technical Guide** for details. Dimming driver standard. Not available with PER5 or PER7. Ambient sensor disabled when ordered with DCR. Separate on/off required. Not available with PNMT options.
- Requires an additional switched circuit.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, PER5, PER7 or PNMT options. Not available with PIR1FC3V and PIRH1FC3V.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, PER5, PER7, BL30 or BL50. Not available with PIR1FC3V and PIRH1FC3V. Separate on/off required.
- Dimming driver standard. Not available with PER5, PER7, DMG, BL30, BL50, PNMT, PIR, PIRH, PIR1FC3V and PIRH1FC3V.
- Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.
- For retrofit use only.

For more control options, visit [DTL](#) and [ROAM](#) online.



Drilling

Section 3, Item a.



DSX0 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90°**
DM28AS	2 at 180°	DM39AS	3 at 90°**
DM49AS	4 at 90°**	DM32AS	3 at 120°**

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's **POLES CENTRAL** to see our wide selection of poles, accessories and educational tools.

*Round pole top must be 3.25" O.D. minimum.

**For round pole mounting (RPA) only.

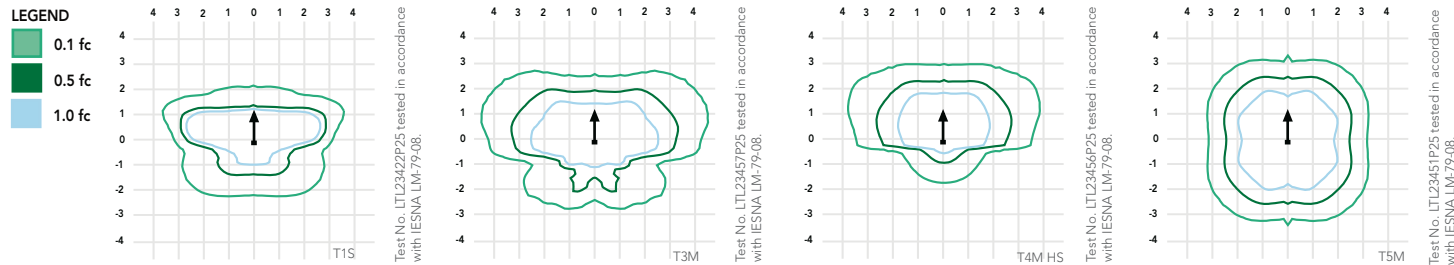
Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 0 homepage](#).

Isofootcandle plots for the DSX0 LED 40C 1000 40K. Distances are in units of mounting height (20').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.99

Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
20C	530	35	0.34	0.22	0.21	0.20	--	--
	700	45	0.47	0.28	0.24	0.22	0.18	0.14
	1000	72	0.76	0.45	0.39	0.36	0.36	0.26
30C	530	52	0.51	0.31	0.28	0.25	--	--
	700	70	0.72	0.43	0.37	0.34	0.25	0.19
	1000	104	1.11	0.64	0.56	0.49	0.47	0.34
40C	530	68	0.71	0.41	0.36	0.33	0.25	0.19
	700	91	0.94	0.55	0.48	0.42	0.33	0.24
	1000	138	1.45	0.84	0.73	0.64	0.69	0.50

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	DSX0 LED 20C 1000			
	1	0.98	0.96	0.93
	DSX0 LED 40C 1000			
	1	0.98	0.95	0.90
	DSX0 LED 40C 700			
	1	0.99	0.99	0.99

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																								
LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)				40K (4000 K, 70 CRI)				50K (5000 K, 70 CRI)				AMBPC (Amber Phosphor Converted)								
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	
20C (20 LEDs)	530 mA	35 W	T1S	4,079	1	0	1	117	4,380	1	0	1	125	4,408	1	0	1	126	2,541	1	0	1	73	
			T2S	4,206	1	0	1	120	4,516	1	0	1	129	4,544	1	0	1	130	2,589	1	0	1	74	
			T2M	4,109	1	0	1	117	4,413	1	0	1	126	4,440	1	0	1	127	2,539	1	0	1	73	
			T3S	4,104	1	0	1	117	4,407	1	0	1	126	4,435	1	0	1	127	2,558	1	0	1	73	
			T3M	4,142	1	0	1	118	4,447	1	0	1	127	4,475	1	0	1	128	2,583	1	0	1	74	
			T4M	4,198	1	0	1	120	4,508	1	0	1	129	4,536	1	0	1	130	2,570	1	0	1	73	
			FTM	4,135	1	0	1	118	4,440	1	0	2	127	4,468	1	0	2	128	2,540	1	0	1	73	
			TSVS	4,368	2	0	0	125	4,691	2	0	0	134	4,720	2	0	0	135	2,650	1	0	0	76	
			T5S	4,401	2	0	2	126	4,725	2	0	0	135	4,755	2	0	0	136	2,690	1	0	0	77	
			T5M	4,408	2	0	1	126	4,734	3	0	1	135	4,763	3	0	1	136	2,658	2	0	0	76	
			TSW	4,344	3	0	1	124	4,664	3	0	1	133	4,693	3	0	1	134	2,663	2	0	1	76	
			BLC	3,071	1	0	1	88	3,297	1	0	1	94	3,318	1	0	1	95						
			LCCO	2,983	1	0	1	85	3,204	1	0	1	92	3,224	1	0	1	92						
			RCCO	2,983	1	0	1	85	3,204	1	0	1	92	3,224	1	0	1	92						
			T1S	5,181	1	0	1	115	5,563	1	0	1	124	5,598	1	0	1	124	3,144	1	0	1	70	
	T2S	5,342	1	0	1	119	5,736	1	0	1	127	5,772	1	0	1	128	3,203	1	0	1	71			
	T2M	5,219	1	0	1	116	5,605	1	0	1	125	5,640	1	0	1	125	3,141	1	0	1	70			
	T3S	5,213	1	0	1	116	5,598	1	0	1	124	5,633	1	0	1	125	3,165	1	0	1	70			
	T3M	5,260	1	0	1	117	5,649	1	0	2	126	5,684	1	0	2	126	3,196	1	0	1	71			
	T4M	5,332	1	0	1	118	5,725	1	0	2	127	5,761	1	0	2	128	3,179	1	0	1	71			
	FTM	5,252	1	0	2	117	5,640	1	0	2	125	5,675	1	0	2	126	3,143	1	0	1	70			
	TSVS	5,548	2	0	0	123	5,958	2	0	0	132	5,995	2	0	0	133	3,278	2	0	0	73			
	T5S	5,589	2	0	0	124	6,002	2	0	0	133	6,039	2	0	0	134	3,328	2	0	0	74			
	T5M	5,599	3	0	1	124	6,012	3	0	1	134	6,050	3	0	1	134	3,288	2	0	1	73			
	TSW	5,517	3	0	1	123	5,924	3	0	1	132	5,961	3	0	1	132	3,295	2	0	1	73			
	BLC	3,909	1	0	1	87	4,198	1	0	1	93	4,224	1	0	1	94								
	LCCO	3,798	1	0	1	84	4,078	1	0	1	91	4,104	1	0	1	91								
	RCCO	3,798	1	0	1	84	4,078	1	0	1	91	4,104	1	0	1	91								
	T1S	7,085	1	0	1	98	7,608	2	0	2	106	7,656	2	0	2	106								
	T2S	7,305	1	0	1	101	7,845	2	0	2	109	7,894	2	0	2	110								
	T2M	7,138	1	0	2	99	7,665	2	0	2	106	7,713	2	0	2	107								
	T3S	7,129	1	0	1	99	7,656	2	0	2	106	7,704	2	0	2	107								
	T3M	7,194	1	0	2	100	7,725	2	0	2	107	7,773	2	0	2	108								
	T4M	7,292	1	0	2	101	7,830	2	0	2	109	7,879	2	0	2	109								
	FTM	7,183	1	0	2	100	7,713	1	0	2	107	7,761	1	0	2	108								
	TSVS	7,588	2	0	0	105	8,148	3	0	0	113	8,199	3	0	0	114								
	T5S	7,644	2	0	0	106	8,208	2	0	0	114	8,259	2	0	0	115								
	T5M	7,657	3	0	1	106	8,222	3	0	1	114	8,274	3	0	1	115								
	TSW	7,545	3	0	1	105	8,102	3	0	2	113	8,153	3	0	2	113								
	BLC	5,162	1	0	1	72	5,543	1	0	2	77	5,578	1	0	1	77								
	LCCO	5,015	1	0	2	70	5,386	1	0	2	75	5,419	1	0	2	75								
	RCCO	5,015	1	0	2	70	5,386	1	0	2	75	5,419	1	0	2	75								

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																							
LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
40C (40 LEDs)	530 mA	68 W	T1S	7,926	2	0	2	117	8,511	2	0	2	125	8,564	2	0	2	126	4,878	1	0	1	72
			T2S	8,172	2	0	2	120	8,775	2	0	2	129	8,830	2	0	2	130	4,969	1	0	1	73
			T2M	7,985	2	0	2	117	8,574	2	0	2	126	8,628	2	0	2	127	4,874	1	0	1	72
			T3S	7,975	1	0	2	117	8,564	2	0	2	126	8,617	2	0	2	127	4,910	1	0	1	72
			T3M	8,047	2	0	2	118	8,642	2	0	2	127	8,696	2	0	2	128	4,958	1	0	2	73
			T4M	8,157	1	0	2	120	8,759	2	0	2	129	8,813	2	0	2	130	4,932	1	0	2	73
			TFTM	8,035	1	0	2	118	8,628	2	0	2	127	8,682	2	0	2	128	4,876	1	0	2	72
			T5VS	8,488	2	0	0	125	9,115	3	0	0	134	9,172	3	0	0	135	5,086	2	0	0	75
			T5S	8,550	2	0	0	126	9,182	3	0	1	135	9,239	3	0	1	136	5,163	2	0	0	76
			T5M	8,565	3	0	1	126	9,198	3	0	2	135	9,255	3	0	2	136	5,102	3	0	1	75
			T5W	8,440	3	0	2	124	9,063	3	0	2	133	9,120	3	0	2	134	5,112	3	0	1	75
			BLC	6,142	1	0	2	90	6,595	1	0	2	97	6,636	1	0	2	98					
			LCCO	5,967	1	0	2	88	6,407	1	0	2	94	6,447	1	0	2	95					
			RCCO	5,967	1	0	2	88	6,407	1	0	2	94	6,447	1	0	2	95					
			T1S	10,066	2	0	2	111	10,810	2	0	2	119	10,877	2	0	2	120	6,206	2	0	2	68
	T2S	10,379	2	0	2	114	11,145	2	0	2	122	11,215	2	0	2	123	6,322	2	0	2	69		
	T2M	10,141	2	0	2	111	10,890	2	0	2	120	10,958	2	0	2	120	6,201	2	0	2	68		
	T3S	10,129	2	0	2	111	10,877	2	0	2	120	10,945	2	0	2	120	6,247	1	0	2	69		
	T3M	10,221	2	0	2	112	10,975	2	0	2	121	11,044	2	0	2	121	6,308	2	0	2	69		
	T4M	10,359	2	0	2	114	11,124	2	0	2	122	11,194	2	0	2	123	6,275	1	0	2	69		
	TFTM	10,205	2	0	2	112	10,958	2	0	3	120	11,027	2	0	3	121	6,203	1	0	2	68		
	T5VS	10,781	3	0	0	118	11,576	3	0	1	127	11,649	3	0	1	128	6,569	2	0	0	72		
	T5S	10,860	3	0	1	119	11,662	3	0	1	128	11,734	3	0	1	129	6,569	2	0	0	72		
	T5M	10,879	3	0	2	120	11,682	3	0	2	128	11,755	3	0	2	129	6,491	3	0	1	71		
	T5W	10,719	3	0	2	118	11,511	4	0	2	126	11,583	4	0	2	127	6,504	3	0	2	71		
	BLC	7,819	1	0	2	86	8,396	1	0	2	92	8,448	1	0	2	93							
	LCCO	7,596	1	0	2	83	8,157	1	0	2	90	8,208	1	0	2	90							
	RCCO	7,596	1	0	2	83	8,157	1	0	2	90	8,208	1	0	2	90							
	T1S	13,767	2	0	2	100	14,783	3	0	3	107	14,876	3	0	3	108							
	T2S	14,194	2	0	2	103	15,242	3	0	3	110	15,338	3	0	3	111							
	T2M	13,869	2	0	2	101	14,893	3	0	3	108	14,986	3	0	3	109							
	T3S	13,852	2	0	2	100	14,875	2	0	2	108	14,968	2	0	2	108							
	T3M	13,978	2	0	2	101	15,010	3	0	3	109	15,104	3	0	3	109							
	T4M	14,168	2	0	2	103	15,214	3	0	3	110	15,309	3	0	3	111							
	TFTM	13,956	2	0	3	101	14,987	2	0	3	109	15,080	2	0	3	109							
	T5VS	14,744	3	0	1	107	15,832	3	0	1	115	15,931	4	0	1	115							
	T5S	14,852	3	0	1	108	15,948	3	0	1	116	16,048	3	0	1	116							
	T5M	14,878	4	0	2	108	15,976	4	0	2	116	16,076	4	0	2	116							
	T5W	14,660	4	0	2	106	15,742	4	0	2	114	15,840	4	0	2	115							
	BLC	10,325	1	0	2	75	11,087	1	0	2	80	11,156	1	0	2	81							
	LCCO	10,031	2	0	2	73	10,771	2	0	3	78	10,839	2	0	3	79							
	RCCO	10,031	2	0	2	73	10,771	2	0	3	78	10,839	2	0	3	79							



D-Series Size 1 LED Wall Luminaire

Catalog
Number

Section 3, Item a.

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.



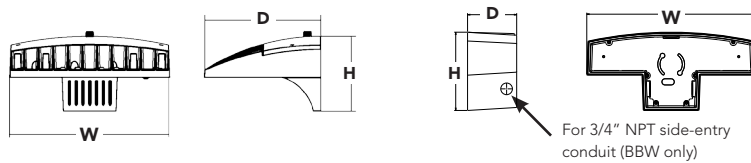
d#series

Specifications Luminaire

Width:	13-3/4" (34.9 cm)	Weight:	12 lbs (5.4 kg)
Depth:	10" (25.4 cm)		
Height:	6-3/8" (16.2 cm)		

Back Box (BBW, ELCW)

Width:	13-3/4" (34.9 cm)	BBW Weight:	5 lbs (2.3 kg)
Depth:	4" (10.2 cm)	ELCW Weight:	10 lbs (4.5 kg)
Height:	6-3/8" (16.2 cm)		



Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DBTDX

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine) 20C 20 LEDs (two engines)	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A)	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium ASYDF Asymmetric diffuse	MVOLT ¹ 120 ¹ 208 ¹ 240 ¹ 277 ¹ 347 ² 480 ²	Shipped included (blank) Surface mounting bracket BBW Surface-mounted back box (for conduit entry) ³	Shipped installed PE Photoelectric cell, button type ⁴ DMG 0-10V dimming driver (no controls) PIR 180° motion/ambient light sensor, <15' mtg ht ⁵ PIRH 180° motion/ambient light sensor, 15-30' mtg ht ⁵ PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ⁵ PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ⁵ ELCW Emergency battery backup (includes external component enclosure) ⁶

Other Options

Finish (required)

Shipped installed

SF	Single fuse (120, 277 or 347V) ⁷
DF	Double fuse (208, 240 or 480V) ⁷
HS	House-side shield ⁸
SPD	Separate surge protection ⁹

Shipped separately⁸

BSW	Bird-deterrent spikes
WG	Wire guard
VG	Vandal guard
DDL	Diffused drop lens

DDBXD

DDBXD	Dark bronze	DSSXD	Sandstone
DBLXD	Black	DBTDX	Textured dark bronze
DNAXD	Natural aluminum	DBLBXD	Textured black
DWHXD	White	DNATXD	Textured natural aluminum

DWHGXD	Textured white
DSSTXD	Textured sandstone

Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW1WG U	Wire guard accessory
DSXW1VG U	Vandal guard accessory

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- PIR and PIR1FC3V specifies the [Sensor Switch SBGR-10-ODP](#) control; PIRH specifies the [Sensor Switch SBGR-6-ODP](#) control; see [Motion Sensor Guide](#) for details. Includes ambient light sensor. Not available with "PE" option (button type photocell). Dimming driver standard. Not available with 20 LED/1000 mA configuration (DSXW1 LED 20C 1000).
- Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at [www.lithonia.com](#)
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option. Not available with ELCW.
- Also available as a separate accessory; see Accessories information.
- See the electrical section on page 3 for more details.



Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K					40K					50K					AMBER				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
(10 LEDs)	350mA	14W	T2S	1,415	0	0	1	101	1,520	0	0	1	109	1,529	0	0	1	109	894	0	0	1	64
			T2M	1,349	0	0	1	96	1,449	0	0	1	104	1,458	0	0	1	104	852	0	0	1	61
			T3S	1,400	0	0	1	100	1,503	0	0	1	107	1,512	0	0	1	108	884	0	0	1	63
			T3M	1,386	0	0	1	99	1,488	0	0	1	106	1,497	0	0	1	107	876	0	0	1	63
			T4M	1,358	0	0	1	97	1,458	0	0	1	104	1,467	0	0	1	105	858	0	0	1	61
			TFTM	1,411	0	0	1	101	1,515	0	0	1	108	1,525	0	0	1	109	892	0	0	1	64
	ASDF	1,262	0	0	1	90	1,355	1	0	1	97	1,363	1	0	1	97	797	0	0	1	57		
	530 mA	20W	T2S	2,054	1	0	1	103	2,205	1	0	1	110	2,219	1	0	1	111	1,264	0	0	1	63
			T2M	1,957	1	0	1	98	2,102	1	0	1	105	2,115	1	0	1	106	1,205	0	0	1	60
			T3S	2,031	0	0	1	102	2,181	0	0	1	109	2,195	0	0	1	110	1,250	0	0	1	63
			T3M	2,010	1	0	1	101	2,159	1	0	1	108	2,172	1	0	1	109	1,237	0	0	1	62
			T4M	1,970	1	0	1	99	2,115	1	0	1	106	2,128	0	0	1	106	1,212	0	0	1	61
			TFTM	2,047	0	0	1	102	2,198	0	0	1	110	2,212	0	0	1	111	1,260	0	0	1	63
	ASDF	1,830	1	0	1	92	1,966	1	0	1	98	1,978	1	0	1	99	1,127	0	0	1	56		
	700 mA	27W	T2S	2,623	1	0	1	97	2,816	1	0	1	104	2,834	1	0	1	105	1,544	0	0	1	57
			T2M	2,499	1	0	1	93	2,684	1	0	1	99	2,701	1	0	1	100	1,472	0	0	1	55
			T3S	2,593	1	0	1	96	2,785	1	0	1	103	2,802	1	0	1	104	1,527	0	0	1	57
			T3M	2,567	1	0	1	95	2,757	1	0	1	102	2,774	1	0	1	103	1,512	0	0	1	56
			T4M	2,515	1	0	1	93	2,701	1	0	1	100	2,718	1	0	1	101	1,481	0	0	1	55
			TFTM	2,614	1	0	1	97	2,807	1	0	1	104	2,825	1	0	1	105	1,539	0	0	1	57
	ASDF	2,337	1	0	1	87	2,510	1	0	1	93	2,526	1	0	1	94	1,376	0	0	1	51		
	1000 mA	40W	T2S	3,685	1	0	1	92	3,957	1	0	1	99	3,982	1	0	1	100	2,235	1	0	1	58
			T2M	3,512	1	0	1	88	3,771	1	0	1	94	3,795	1	0	1	95	2,130	1	0	2	55
			T3S	3,644	1	0	1	91	3,913	1	0	1	98	3,938	1	0	1	98	2,210	1	0	2	57
T3M			3,607	1	0	1	90	3,874	1	0	1	97	3,898	1	0	1	97	2,187	1	0	2	56	
T4M			3,534	1	0	1	88	3,795	1	0	1	95	3,819	1	0	1	95	2,143	1	0	2	55	
TFTM			3,674	1	0	1	92	3,945	1	0	1	99	3,969	1	0	1	99	2,228	1	0	2	57	
ASDF	3,284	1	0	1	82	3,527	1	0	1	88	3,549	1	0	1	89	1,991	1	0	2	51			
(20 LEDs)	350mA	24W	T2S	2,820	1	0	1	118	3,028	1	0	1	126	3,047	1	0	1	127	1,777	1	0	1	74
			T2M	2,688	1	0	1	112	2,886	1	0	1	120	2,904	1	0	1	121	1,693	1	0	1	71
			T3S	2,789	1	0	1	116	2,995	1	0	2	125	3,013	1	0	2	126	1,757	0	0	1	73
			T3M	2,761	1	0	1	115	2,964	1	0	2	124	2,983	1	0	2	124	1,739	1	0	1	72
			T4M	2,705	1	0	1	113	2,904	1	0	2	121	2,922	1	0	2	122	1,704	1	0	1	71
			TFTM	2,811	1	0	1	117	3,019	1	0	2	126	3,038	1	0	2	127	1,771	0	0	1	74
	ASDF	2,513	1	0	1	105	2,699	1	0	2	112	2,716	1	0	2	113	1,584	1	0	1	66		
	530 mA	36W	T2S	4,079	1	0	1	113	4,380	1	0	1	122	4,408	1	0	1	122	2,504	1	0	1	70
			T2M	3,887	1	0	1	108	4,174	1	0	1	116	4,200	1	0	1	117	2,387	1	0	1	66
			T3S	4,034	1	0	1	112	4,332	1	0	1	120	4,359	1	0	1	121	2,477	1	0	1	69
			T3M	3,993	1	0	1	111	4,288	1	0	1	119	4,315	1	0	1	120	2,451	1	0	2	68
			T4M	3,912	1	0	2	109	4,201	1	0	2	117	4,227	1	0	1	117	2,402	1	0	1	67
			TFTM	4,066	1	0	1	113	4,367	1	0	1	121	4,394	1	0	1	122	2,496	1	0	1	69
	ASDF	3,635	1	0	2	101	3,904	1	0	2	108	3,928	1	0	2	109	2,232	1	0	1	62		
	700 mA	47W	T2S	5,188	1	0	1	110	5,571	1	0	1	119	5,606	1	0	1	119	3,065	1	0	1	65
			T2M	4,945	1	0	1	105	5,310	1	0	1	113	5,343	1	0	1	114	2,921	1	0	1	62
			T3S	5,131	1	0	1	109	5,510	1	0	2	117	5,544	1	0	2	118	3,031	1	0	1	64
			T3M	5,079	1	0	2	108	5,454	1	0	2	116	5,488	1	0	2	117	3,000	1	0	1	64
			T4M	4,976	1	0	2	106	5,343	1	0	2	114	5,377	1	0	2	114	2,939	1	0	1	63
			TFTM	5,172	1	0	2	110	5,554	1	0	2	118	5,589	1	0	2	119	3,055	1	0	1	65
	ASDF	4,624	1	0	2	98	4,966	1	0	2	106	4,997	1	0	2	106	2,732	1	0	1	58		
	1000 mA	74W	T2S	7,205	1	0	1	97	7,736	1	0	1	105	7,785	1	0	1	105	4,429	1	0	1	61
			T2M	6,866	1	0	2	93	7,373	1	0	2	100	7,419	1	0	2	100	4,221	1	0	2	58
			T3S	7,124	1	0	2	96	7,650	1	0	2	103	7,698	1	0	2	104	4,380	1	0	2	60
T3M			7,052	1	0	2	95	7,736	1	0	2	105	7,620	1	0	2	103	4,335	1	0	2	59	
T4M			6,910	1	0	2	93	7,420	1	0	2	100	7,466	1	0	2	101	4,248	1	0	2	58	
TFTM			7,182	1	0	2	97	7,712	1	0	2	104	7,760	1	0	2	105	4,415	1	0	2	60	
ASDF	6,421	1	0	2	87	6,895	2	0	2	93	6,938	2	0	2	94	3,947	1	0	2	54			

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW1 LED 20C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.93	0.88

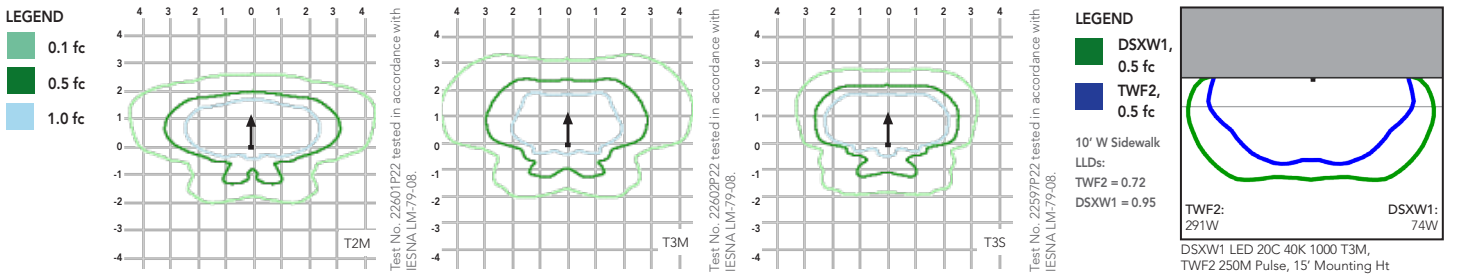
Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
10C	350	14 W	0.13	0.07	0.06	0.06	-	-
	530	20 W	0.19	0.11	0.09	0.08	-	-
	700	27 W	0.25	0.14	0.13	0.11	-	-
	1000	40 W	0.37	0.21	0.19	0.16	-	-
20C	350	24 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	0.15	0.11
	1000	74 W	0.69	0.40	0.35	0.30	0.23	0.17

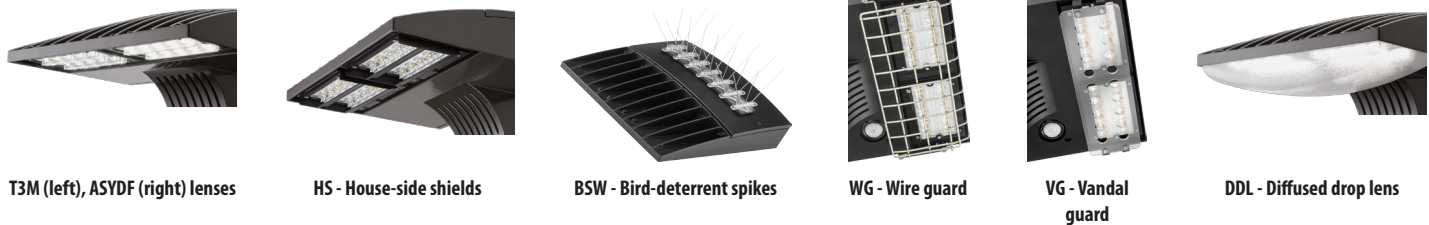
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Wall Size 1 homepage](#).

Isfootcandle plots for the DSXW1 LED 20C 1000 40K. Distances are in units of mounting height (15').



Options and Accessories



FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 1 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L88/100,000 hrs at 25°C). Class 1 electronic drivers have a

power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

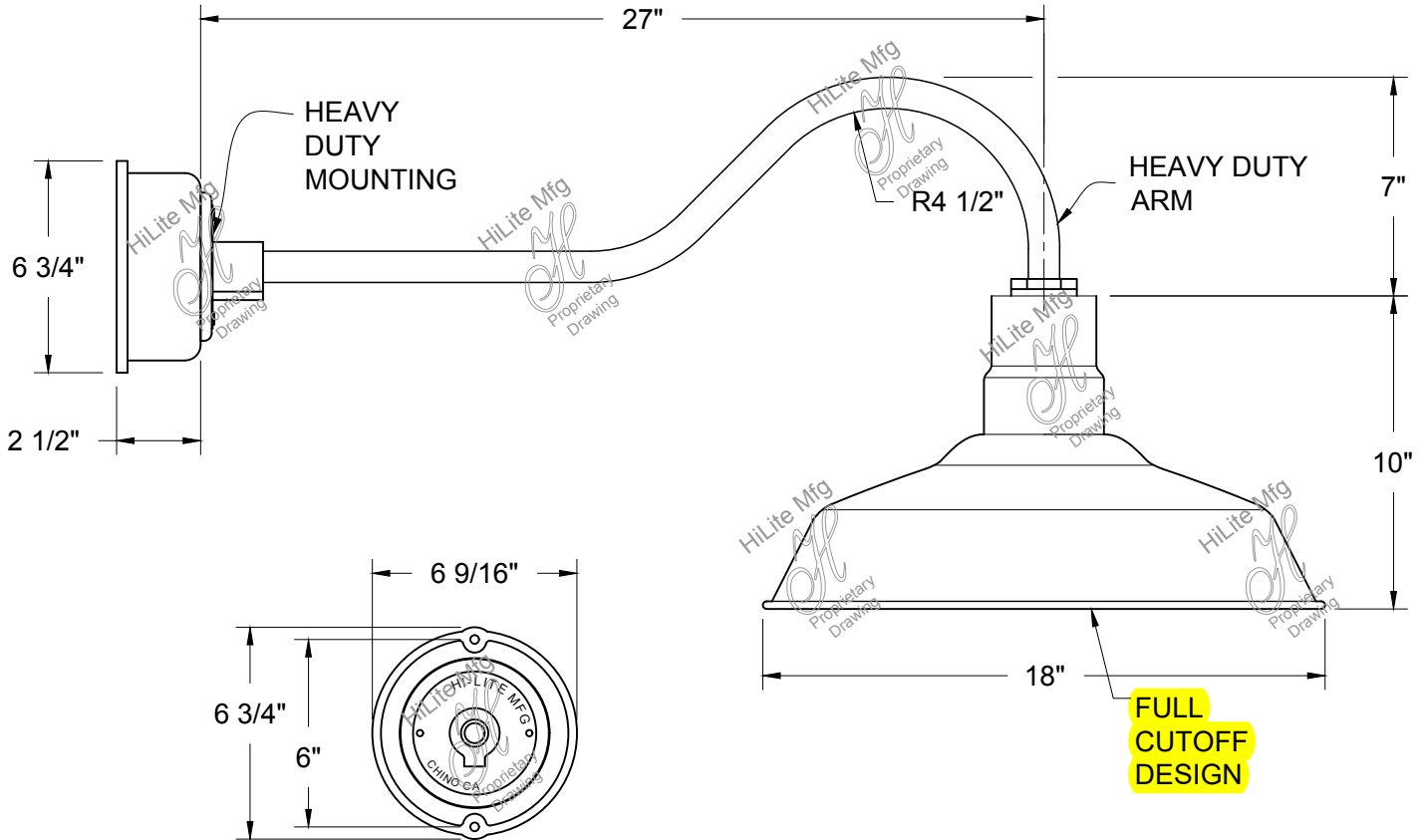




HI-LITE MFG. CO., INC.

13450 Monte Vista Avenue
 Chino, California 91710
 Telephone: (909) 465-1999
 Toll Free: (800) 465-0211
 Fax: (909) 465-0907
 www.hilitemfg.com

JOB NAME: Tractor Su		
SCALE: N.T.S.	DATE: 04/21/2017	Section 3, Item a.
DRAWN BY: S.M.-D	QTY:	
SHEET:		REV:



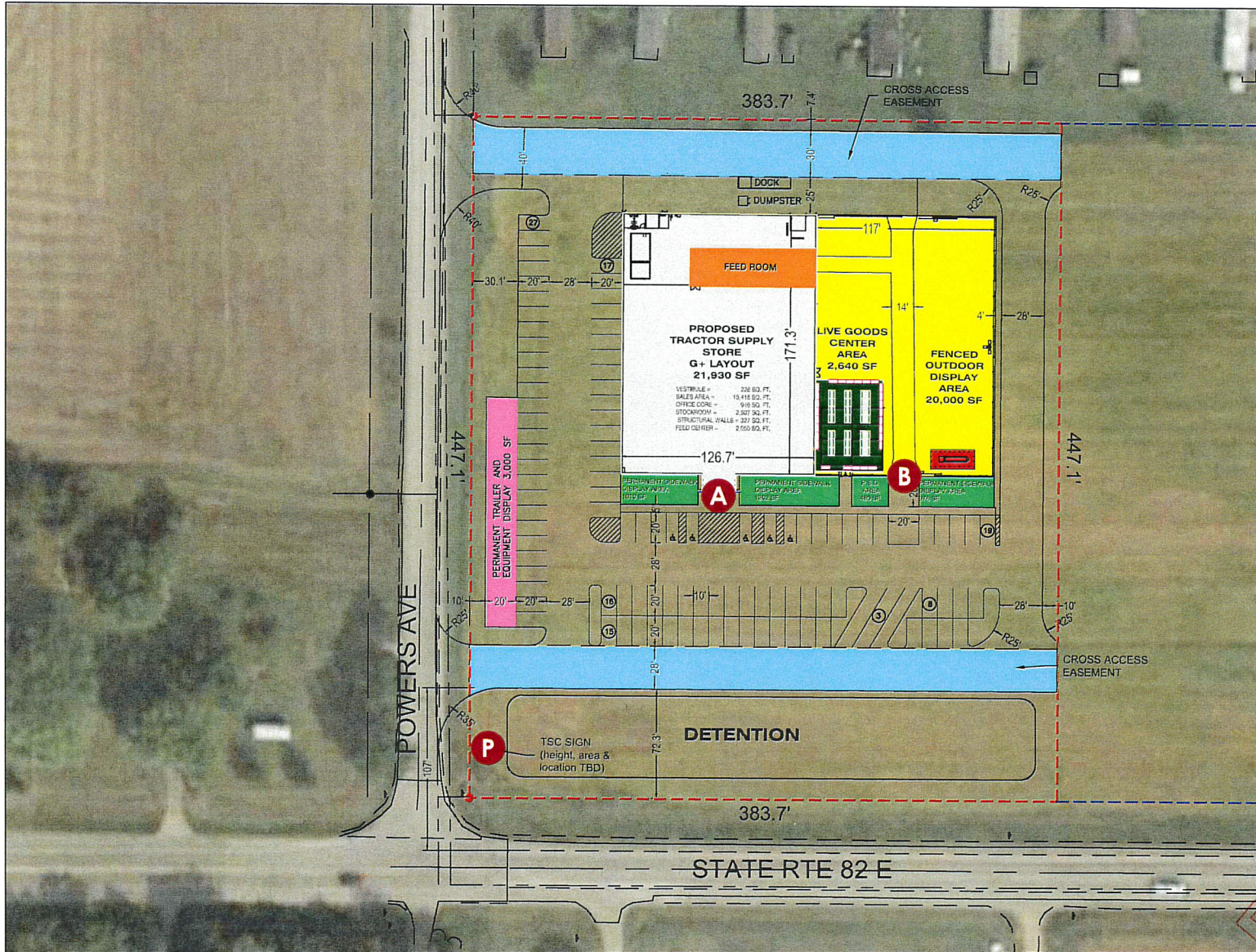
CANOPY FRONT VIEW

Item Number	Wattage	Voltage
H-15118-97/HL-AHD-27"97/21/LED2/40/D/BCM-M	21W	120/277V

Finish
 97-Red (Fixture & Arm)

Mounting
 Wall Mount

Lamp/Socket
 21W LED2 2000 Lumens, 4000K



SIGNAGE PLAN (4 PGS)

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5/21/25



TRACTOR SUPPLY CO - MAUSTON, WI - SITE PLAN

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 www.idassociatesinc.com

CLIENT: TRACTOR SUPPLY CO

LOCATION: MAUSTON, WI

ACCOUNT REP: DEANNA PAYNE

DRAWING NO: TSC - MAUSTON, WI - SIGN EXHIBIT

STORE #:

DATE: 02/06/25

DRAWN BY: BRC

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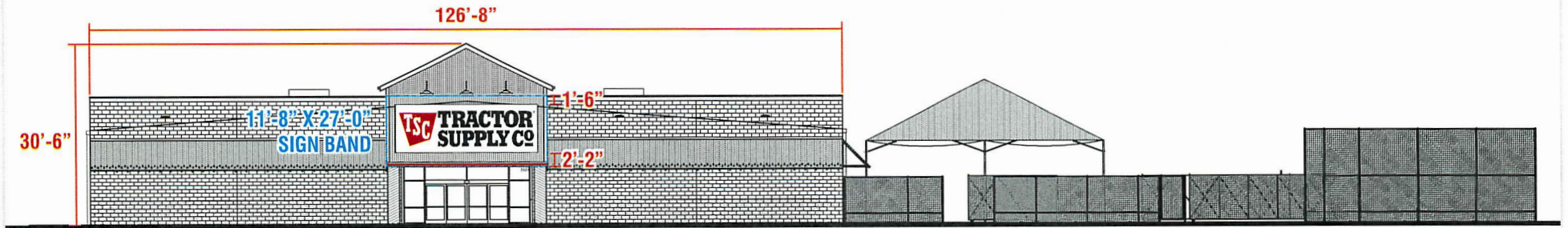
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EXHIBIT APPROVED BY:

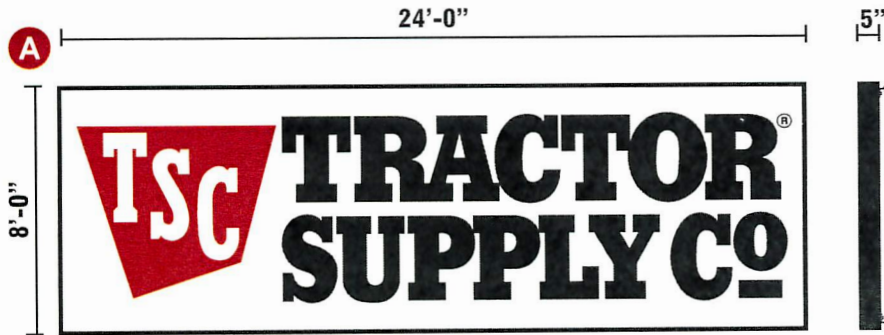




NOTE: DISTANCE BETWEEN THE BOTTOM OF THE SIGN TO THE BOTTOM OF GABLE/RED STRIPE IS 2'-2".
****ALL TSC WALL SIGNS MUST BE INSTALLED USING THREADED ROD AND CANNOT BE LAGGED IN.****

Any Blocking Exposed To The Elements, Sign Installer is Required to Use Unistrut, Aluminum Angle or Pressure Treated Wood.

Minimum required backing (between fascia and studs and/or girts) for wall sign is 3/4" pressure treated plywood, to be the full height and length of the sign area provided by landlord/Gen. Contractor. We must have access behind the wall to penetrate through with 3/8" allthread in order to secure sign to studs or girts in wall structure w/ 2" x 4" bracing provided by sign installer.

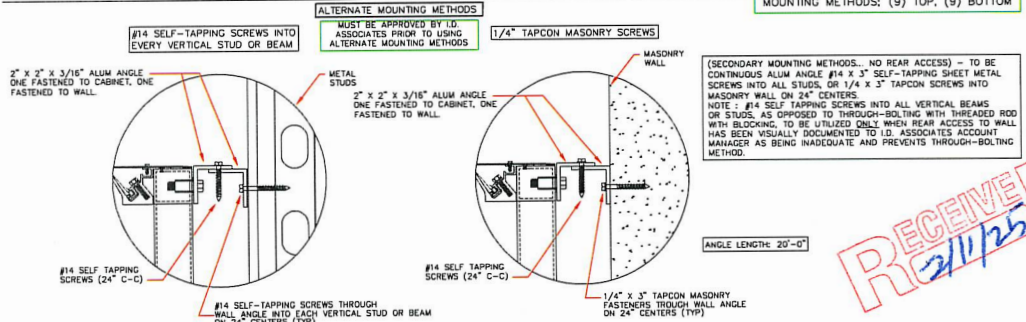
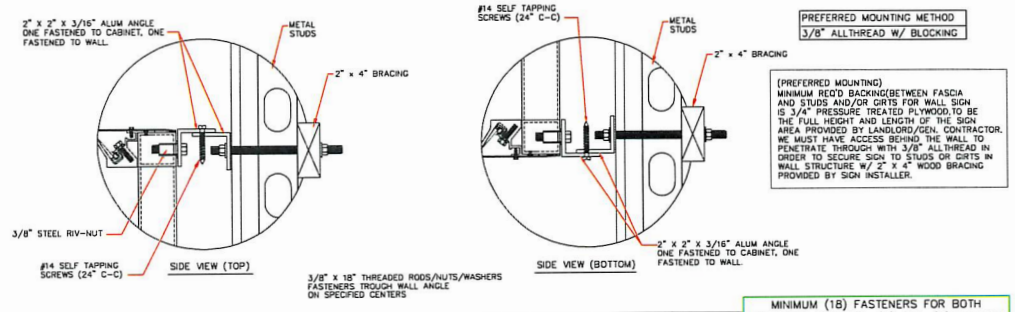


NOTES:

- NON-ILLUMINATED 8'-0" X 24'-0" X 5" DEEP SINGLE FACE CABINET
- 2" ALUMINUM RETAINERS (.050)
- 3M PANAGRAPHS III SUBSTRATE / VINYL GRAPHICS FIRST SURFACE
- CABINET FRAMED W/ 2" X 2" X 1/8" ALUMINUM TUBE

COLORS:

- CABINET - GLOSS BLACK
- BACKGROUND WHITE
- LOGO - 3M 3630-33 RED VINYL WITH WHITE COPY
- TRACTOR SUPPLY CO. - 3M 7725-12 BLACK



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2/11/25

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CLIENT: TRACTOR SUPPLY CO

LOCATION: MAUSTON, WI

ACCOUNT REP: DEANNA PAYNE

DRAWING NO: TSC - MAUSTON, WI - SIGN EXHIBIT

STORE #:

DATE: 02/06/25

DRAWN BY: BRC

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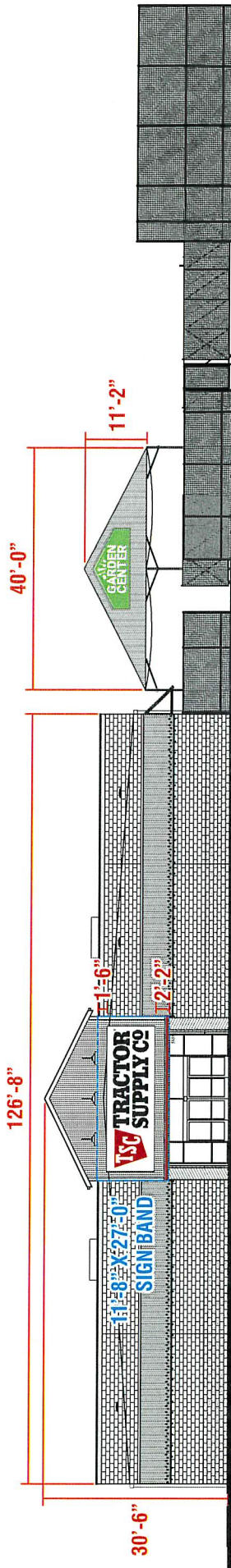
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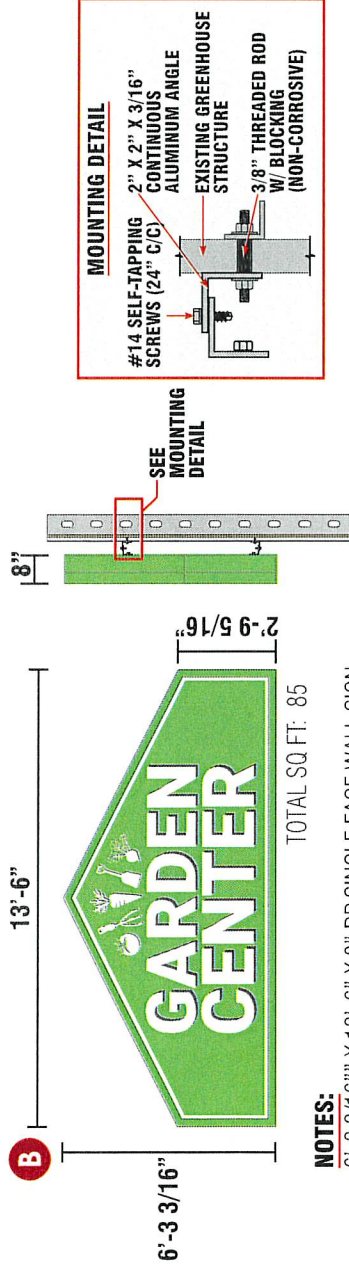
EXHIBIT APPROVED BY:



NOTE: ALL DIMENSIONS MUST BE CONFIRMED WHEN SITE SPECIFIC PLANS HAVE BEEN RECEIVED



NOTE: SIGN WILL HAVE 2" ALUMINUM ANGLES FOR MOUNTING AND SHOULD BE ATTACHED WITH THRU BOLTS DIRECTLY TO THE LGC/GREENHOUSE FRAME/TUBING.



NOTES:

- 6'-3 3/16" X 13'-6" X 8" DP SINGLE FACE WALL SIGN
- FLAT WHITE LEXAN FACE W/ DIGITALLY PRINTED GRAPHICS
- INTERNALLY ILLUMINATED WITH LEDs w/ 120v/277v Power Supplies (Multi-Volt)
- PRIMARY FRAME - BENT .090 ALUMINUM
- .063 ALUM RETURNS AND 2" RETAINERS

COLORS:

- CABINET AND RETAINERS - PAINTED GREEN (MATCH SIGN FACE COLOR)
- FACE - FLAT LEXAN FACES W/ DIGITALLY PRINTED GRAPHICS

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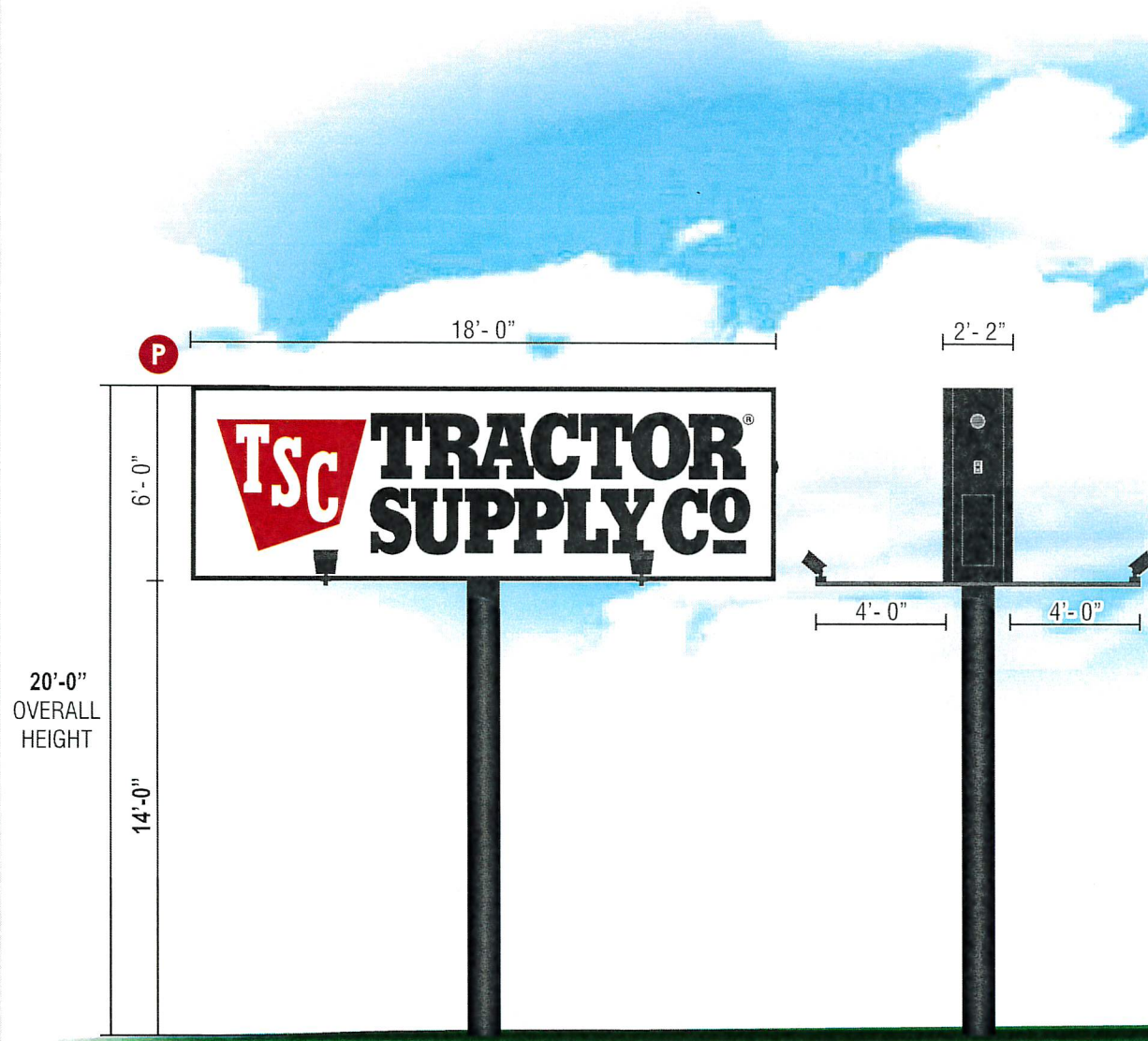
CLIENT: TRACTOR SUPPLY CO
 LOCATION: MAUSTON, WI
 ACCOUNT REP: DEANNA PAYNE
 DRAWING NO: TSC - MAUSTON, WI - SIGN EXHIBIT

STORE #: _____
 DATE: 02/06/25
 DRAWN BY: BRC

REV: _____
 REV: _____
 REV: _____

EXHIBIT APPROVED BY:





MANUFACTURING NOTES:

- 6'-0" X 18'-0" X 26" DEEP DOUBLE FACE CABINET
- 2" (.050) ALUMINUM RETAINERS
- .050 ALUMINUM FILLER
- 3M PANAGRAPHS III FLEXIBLE SIGN FACE MATERIAL
- JR. BLEED EXTRUSION RETENSION SYSTEM
- FRAMED WITH 2" X 2" X 16GA T.S. & 2' X 2" X 3/16" ANGLE IRON SADDLES
- 108 SQUARE FEET

COLOR NOTES:

- CABINET & STEEL PAINTED GLOSS BLACK
- BACKGROUND - WHITE
- LOGO - 3M 3630-33 RED VINYL WITH WHITE COPY
- "TRACTOR SUPPLY CO" - 3M 7725-12 GLOSS BLACK VINYL
- SUB-COPY - 3M 3630-33 RED VINYL WITH WHITE COPY

ELECTRICAL NOTES:

- UNIVERSAL 120/277 VOLT 20 AMP PRIMARY POWER TO SIGN & FINAL CONNECTION BY OTHERS
- EXTERNAL ILLUMINATION
- (4) 40 WATT LED FLOOD LAMPS
- 2" X 4" WEATHER PROOF J-BOXES
- POWER SWITCH WITH MOUNTING HARDWARE FOR TUBE STEEL
- 1 1/2" X 1 1/2" TUBE STEEL CENTERED & SPACED FOR MAXIMUM ILLUMINATION.

COLORS:

3M 3630-33 RED VINYL	3M FLEXIBLE SUBSTRATE	3M 7725-12 BLACK VINYL
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2/11/25

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CLIENT: TRACTOR SUPPLY CO	STORE #:	REV:	REV:	REV:
LOCATION: MAUSTON, WI	DATE: 02/06/25	REV:	REV:	REV:
ACCOUNT REP: DEANNA PAYNE	DRAWN BY: BRC	REV:	REV:	REV:
DRAWING NO: TSC - MAUSTON, WI - SIGN EXHIBIT				

EXHIBIT APPROVED BY:



To: Plan Commission – Mayor Teske
From: Daron J Haugh – City Administrator
Subject: Tentative Rural Subdivision Approval
Date: 2025-02-17

I am writing to request the Plan Commission's tentative approval for a proposed rural subdivision development by Mr. Ron Brunner. The property is located within Mauston city limits, behind the high school on the south end, but maintains a rural character.

While traditional city subdivisions require infrastructure like curbs, gutters, and sewers, this development would be unique due to its countryside location. Mr. Brunner and the City of Mauston are negotiating a utilities exchange agreement related to the Tractor Supply development. Under this arrangement, the City would extend utilities to Mr. Brunner's fields for future development.

Mr. Brunner seeks the Plan Commission's preliminary approval to proceed with this rural-style subdivision, contingent upon finalizing the utilities agreement along with final plan approval from the Plan Commission when Mr. Brunner is ready to build.

City of Mauston Resolution 2025-P-04

RESOLUTION AMMENDING CONDITIONAL USE

RESOLUTION NO. 2019-P-05 – RENEWAL UNLIMITED

Return Address: City of Mauston
Attn: Val Nelson
303 Mansion Street
Mauston, Wisconsin 53948

Parcel I.D. **29-251-1500**

APPLICANT: Renewal Unlimited Inc.

PROPERTY AFFECTED:

Address: **717 Martin Street**

Legal Description: A part of the South Half of the Northwest Quarter (S ½ NW¼) of Section 12, T15N, R3E, City of Mauston, Juneau County, Wisconsin: Commencing at the West Quarter corner of Section 12; thence North 00°32'27" West along the West line of the Northwest Quarter of said Section 12, 769.53 feet; thence North 89°27'33" East, 1,666.14 feet to the Southeast corner of Lot 4, Certified Survey Map, No. 327 said point being at the intersection of the West right-of-way line of Liberty Street and the North right-of-way line of Tremont Street; thence North 06°09'14" East along the West right-of-way line of Liberty Street and the East line of said Lot 4, 120.00 feet to the Northeast corner thereof said point being the Southeast corner of Lot 5, Certified Survey Map, No. 4439; thence north 81°28'08" West along the North line of said Lot 4 and the North line of Lot 3, Certified Survey Map, No. 327 and the South line of Lot 5, Certified Survey Map, No. 4439, 108.50 feet of the pint of beginning; thence continuing North 81°28'08" West along the North line of Lot 3 and the North line of Lot 2, Certified Survey Map, No. 327, 231.30 feet to the Northwest corner of said Lot 2; thence North 06°09'14" East, 39.00 feet; thence North 81°28'08" West, 83.31 feet to a point in the East right-of-way line of an unnamed public road; thence North 11°36'44" East along the said East right-of-way line, 276.13 feet to the South right-of-way line of Martin St; thence South 89°24'57" East along the South right-of-way line of Martin Street, 89.53 feet; thence South 83°51'24" East along the South right-of-way line of Martin Street, 198.97 feet to the Northwest corner of Lot 1, Certified Survey Map, No. 466; thence South 06°09'14"; thence South 06°09'14" West along the West line of said Lot 1, 170.00 feet to the Southwest corner thereof; thence South 83°51'24" East along the South line of said Lot 1, 180.41 feet to a point in the West right-of-way line of Liberty Street; thence South 06°09'14" West along the West right-of-way line of Liberty Street, 23.89 feet to the Northeast corner of Lot 5, Certified Survey Map, No. 4439; thence North 83°51'24" West along the North line of said Lot 5, 108.41 feet to the Northwest corner thereof; thence South 06°09'14" West along the West line of said Lot 5, 141.76 feet to the point of beginning.

WHEREAS, the City of Mauston has received a request from the above Applicant to amend the Conditional Use (2019-P-05) regarding the above property, which application is attached hereto and incorporated herein by reference. The amendment is needed because the project was not started/completed by the required time; and

WHEREAS, the Plan Commission has reviewed the application, site plan, and the resolution, and has recommended approval to the Common Council; and

WHEREAS, The Common Council has conducted a public hearing on said application and has carefully evaluated the application, along with input from City staff and consultants.

NOW, THEREFORE BE IT RESOLVED that the Mauston Common Council finds that this application for a Conditional Use satisfies the standards required by Section 114-288 of the Zoning Ordinance, specifically as follows:

- (a) The Common Council finds that the proposed Conditional Use, in general, independent of its location, is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted or under consideration by the City.
- (b) The Common Council finds that the proposed Conditional Use, in its proposed specific location, is in harmony with the purposes, goals, objectives, policies and standards of the Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted or under consideration by the City.
- (c) The proposed Conditional Use will not cause a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
- (d) The proposed Conditional Use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- (e) The proposed Conditional Use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- (f) The potential public benefits (e.g. new Head Start facility) of the proposed Conditional Use outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the Applicant's proposal, including the Applicant's suggestions to ameliorate any adverse impacts.

BE IT FURTHER RESOLVED that the Mauston Common Council approves the application for a Conditional Use subject to the following conditions and restrictions, which shall be perpetual, unless and until changed by action of the Plan Commission or until the Applicant ceases the use of the property which is conditionally approved herein:

- 1. PRIOR RESOLUTION.** Resolution 2019-P-05 is hereby replaced by this Resolution.
- 2. APPROVED USE.** The Applicant is hereby authorized to use the property, which is located in the MR-10 District, for the principal land use of Group Day Care which is allowed as a

"conditional use" pursuant to Sec.114-124(1). No other classification may be allowed on this property without first obtaining an amendment to this Resolution. Approval is subject to all the general regulations of the Zoning Ordinance and to the following conditions.

3. SITE PLAN APPROVAL. The Site Plan, dated 2/10/25, which is attached hereto and incorporated herein by reference, is approved. Construction of this project shall be completed in substantial conformance with the attached Site Plan, including all hand-written additions thereto and notations thereon which bear the initials of the Applicant and the City.

4. LANDSCAPING. The Landscaping Plan, dated 2/10/25, which is attached hereto and incorporated herein by reference, is approved. The construction of all landscaping for this project shall be completed in substantial conformance with Article V of the Zoning Ordinance and with the attached Landscaping Plan, including all hand-written additions thereto and notations thereon which bear the initials of the Applicant and the City. Furthermore, the landscaping shall be maintained by the Applicant, its successors and assigns, from year-to-year, in substantial conformance with the Landscaping Plan.

5. SIGNAGE. The applicant will submit a signage plan for review and approval by the Zoning Administrator prior to occupancy.

6. GARBAGE. The Site Plan shows the location of 6 ft. high cedar garbage enclosure. The construction and maintenance of the garbage enclosure shall be in conformance with the standards of Article V of the Zoning Ordinance and with the Site Plan. The Applicant shall provide for garbage collection at such intervals to avoid spill-over of garbage from these enclosures.

7. OUTSIDE STORAGE. No outside storage of merchandise, equipment or other materials shall be permitted, except for garbage properly stored within the enclosure described in paragraph 5 above.

8. LIGHTING. The Lighting Plan, dated 2/10/25, which is attached hereto and incorporated herein by reference, is approved. The construction and maintenance of the exterior lighting shall be in conformance with Article V of the Zoning Ordinance and with the Site Plan. All lighting shall be "down-styled" lighting. All lighting shall be designed, installed and maintained to prevent the glare of light toward adjacent buildings and onto the adjacent street.

9. ACCESSORY STRUCTURES. The site plan shows the location of a storage shed under 450 square feet. No other accessory structures are approved or permitted other than play structures associated with a group day care.

10. FENCE. The fence for the playground area per site plan will be 5 ft high chain link.

11. WATER AND SEWER CONNECTION. Existing

12. STORM WATER. The Storm Water Management Plan dated October 2019 is hereby approved. All drainage, grading and topographic work on the site shall be performed pursuant to this Plan.

13. UNDERGROUND UTILITIES. All utilities shall be installed underground. Prior to the installation of each utility, the applicant shall contact the Director of Public Works and obtain his approval of the location of the utility. Before the new building is occupied, the Applicant shall submit a utility plan (potable water lines, sanitary sewer lines, electric lines, gas lines, telephone and cable TV lines. etc.) for this site, showing the location of all the utilities.

14. BUILDING MATERIALS. The Site Plan contains building elevations which shows the exterior of the buildings. The buildings will be constructed exactly as shown on the Site Plan. The Applicant intends to use the following colors and products on the exterior of the buildings, which are hereby approved:

- (a) **Composite Lap Siding:** Rapids Blue & Desert Stone
- (b) **Decorative Scallop Siding:** Snowscape White
- (c) **Trim:** Snowscape White
- (d) **Manufactured Stone Veneer:** Mojave Country Ledgestone
- (e) **Shingles:** Asphalt - Charcoal

15. SUBDIVISION. In the future, the owner will not be able to subdivide this Property for sale to separate owners. Furthermore, ownership of the entire parcel shall remain under the ownership and control of a single entity so that the appearance of all the buildings in the entire Site can be maintained as a unified whole.

16. DRIVEWAYS AND ACCESS. The site plan shows the location of one driveway off of Martin Street and two driveways off of the alley to the west. More than one access point per street requires specific approval via Conditional Use. The access and driveways shall comply with the standards of 114-162 of the Mauston zoning ordinances.

17. COMPLETION DATE. The property may not be used or occupied for the Conditional Use granted herein until **ALL** the terms and conditions of this document are completed and fulfilled, except:

- (a) Landscaping: To be completed by the fall of 2026.

18. CERTIFICATE OF OCCUPANCY. Upon completion of the project authorized by this Resolution and before the project is used or occupied for the Conditional Use granted herein, the Applicant shall notify the City Zoning Administrator, who shall inspect the project and, if appropriate, shall issue a Certificate of Occupancy, pursuant to section 114-292 of the Mauston Zoning Ordinance.

19. CHANGES. Pursuant to section 114-288 of the Zoning Ordinance, the Applicant may apply to the Zoning Administrator for "minor" changes to the Site Plan or this Conditional Use, which changes may be granted, in writing, by the Zoning Administrator, provided (i) the changes do not violate any of the minimum standards of the Mauston Zoning Ordinance and (ii) the spirit and intent of the original Conditional Use is preserved. The Zoning Administer shall determine, in his/her sole discretion, whether a change is "minor". All changes which are not "minor" shall be submitted to and approved in writing by the Plan Commission. Whenever an approved change alters any part of a recorded document, the document which authorizes said change shall also be recorded.

20. OTHER REGULATIONS. Nothing herein shall constitute a waiver or limitation of the Applicant's compliance with all other Mauston ordinances and regulations, including all other requirements of the Mauston Zoning Ordinance.

21. ENFORCEMENT. The conditions imposed herein (including the conditions imposed by any plans or changes submitted hereafter), shall all be enforced as on-going conditions of this

Conditional Use Resolution. Failure of the Applicant to comply with these conditions, shall entitle the City to take enforcement action, which may include fines, forfeitures, injunctions, and/or termination of this Resolution, which in turn will require the Applicant to cease the use of the property authorized herein until a new Conditional Use is approved.

22. RECORDING. A copy of this Resolution, without attachments, shall be recorded with the Juneau County Register of Deeds.

23. BINDING AFFECT. This Resolution shall be binding upon and shall inure to the benefit of the heirs, successors and assigns of both parties. Nothing herein shall be construed as limiting the right of the Owner to sell, give, or otherwise convey the premises, provided that the use and occupancy of the premises by any new owner shall be subject to the terms of this Resolution, which shall run with the land and which shall be perpetual, unless and until changed by action of the Plan Commission.

24. SUNSET CLAUSE. All buildings and structures approved on a site plan shall be fully developed within two years of final approval of the site plan, unless a different date is established by the plan commission in writing. After the expiration of such period, no additional site plan development shall be permitted on undeveloped portions of the subject property. The plan commission may extend this period, as requested by the applicant, through the conditional use process following a public hearing.

25. APPLICANT/ APPROVAL. This Conditional Use shall not become effective and shall not be recorded until the Applicant acknowledges his/her/its acceptance of this Conditional Use by signing this Document in the space provided below.

Introduced and adopted this _____ day of _____, 2025.

CITY OF MAUSTON COMMON COUNCIL

Approved: _____ **Attest:** _____
Darryl D. D. Teske, Mayor Daron Haugh, Administrator

The undersigned Applicant hereby acknowledges receipt of this Conditional Use and hereby acknowledges that the development and use of the property shall conform with the terms and conditions of this Conditional Use and the Mauston Zoning Ordinance.

Signature: _____ Dated: _____

Print Name: _____

This document drafted by: Valerie K. Nelson-Zoning Administrator, Mauston, WI 53948

RENEWAL UNLIMITED HEAD START DAYCARE

MAUSTON, WISCONSIN

Designing Experiences.
Building Relationships.

PROJECT INFORMATION

RENEWAL UNLIMITED INC
777 MARTIN STREET
MAUSTON, WI 53948

OWNER

RENEWAL UNLIMITED INC
2900 RED FOX RUN
PORTAGE, WI 53901
PHONE

ARCHITECT/INTERIOR DESIGN

ARCHITECTURAL DESIGN CONSULTANTS, INC.
30 WISCONSIN DELLS PARKWAY
P.O. BOX 580
LAKE DELTON, WI 53940
PHONE NUMBER: 608.254.6181

CIVIL CONSULTANT

GENERAL ENGINEERING COMPANY
P.O. BOX 340
916 SILVER LAKE DRIVE
PORTAGE, WI 53901
PHONE NUMBER: 608.742.2169

STRUCTURAL CONSULTANT

MP-SQUARED STRUCTURAL ENGINEERS, LLC
1583 DONOFIO DRIVE, SUITE 201
MADISON, WI 53719
PHONE NUMBER: 608.821.4774

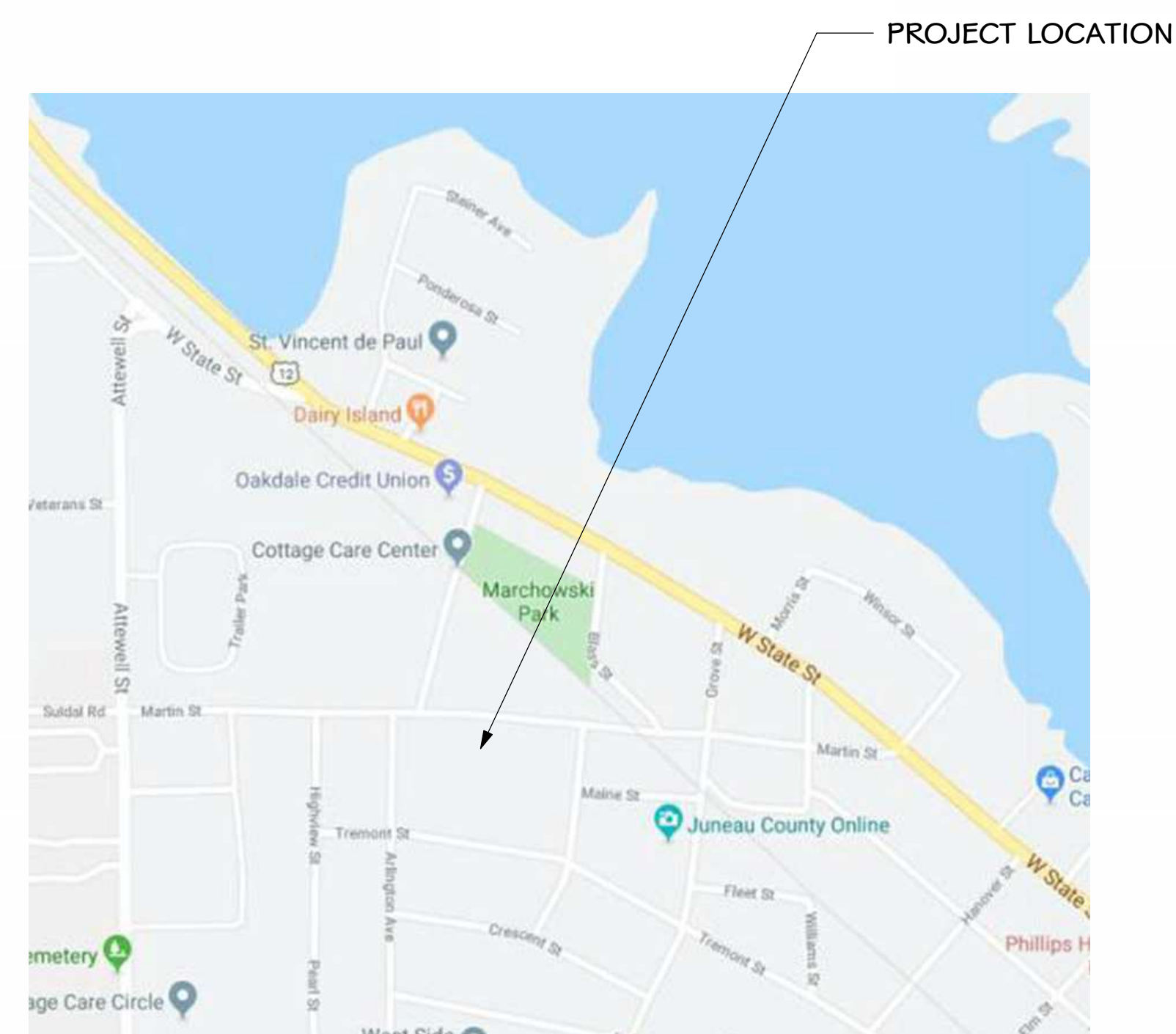
OWNER DIRECT CONSULTANTS:

GENERAL CONTRACTOR

HARMONY CONSTRUCTION MANAGEMENT
906 JONATHAN DR.
MADISON, WI 53713
PHONE NUMBER: 608.224.3310



BUILDING INFORMATION:	
OCCUPANCY:	E
CLASS OF CONSTRUCTION:	VB
SPRINKLERED:	NA (PER SECTION 903.2.3.1 IBC)
NUMBER OF STORIES:	1
NUMBER OF FLOORS:	1
BUILDING HEIGHT:	21'
BUILDING FOOTPRINT:	9,344 SQ FT
FLOOR AREA:	9,344 SQ FT
ADCI PROJECT NUMBER:	19-101
BUILDING CODE:	2015 INTERNATIONAL BUILDING CODE W WISCONSIN AMENDMENTS



VICINITY MAP

NOT TO SCALE



INDEX OF DRAWINGS	
T100	TITLE SHEET

CIVIL	
C1.0	LEGEND & NOTES
C2.0	EXISTING SITE PLAN
C3.0	PROPOSED SITE PLAN
C4.0	GRADING & EROSION CONTROL PLAN
C5.0	MISC DETAILS

LANDSCAPING	
L1.0	PROPOSED LANDSCAPE PLAN

ARCHITECTURAL	
A001	ARCHITECTURAL ABBREVIATIONS & SYMBOLS
A01	CODE PLAN
G200	BARRIER FREE DESIGN NOTES
G201	BARRIER FREE DESIGN DETAILS
G202	BARRIER FREE DESIGN DETAILS
G203	BARRIER FREE DESIGN DETAILS
G204	BARRIER FREE DESIGN NOTES & DETAILS
A5100	ARCHITECTURAL SITE PLAN
A101	FLOOR PLAN
A105	ROOF PLAN
A300	INTERIOR ELEVATIONS
A301	INTERIOR ELEVATIONS
A302	INTERIOR ELEVATIONS
A400	EXTERIOR ELEVATIONS
A401	EXTERIOR ELEVATIONS
A500	SECTIONS
A600	ARCHITECTURAL DETAILS
A601	ARCHITECTURAL DETAILS
A602	ARCHITECTURAL DETAILS
A603	ARCHITECTURAL DETAILS
A604	ARCHITECTURAL DETAILS
A701	FLOOR FINISH PLAN
A801	REFLECTED CEILING PLAN
A900	SCHEDULES
A930	ROOM FINISH SCHEDULE & FINISH MATERIAL LIST

STRUCTURAL	
S001	STRUCTURAL NOTES
S101	FOUNDATION PLAN
S301	ROOF FRAMING PLAN
S601	CONCRETE DETAILS
S911	WOOD DETAILS
S912	WOOD DETAILS

MAUSTON SUBMITTAL	10-16-2019
SD APPROVAL	02-04-2020
DD APPROVAL	03-31-2020
FD APPROVAL	04-28-2020
PERMITTING & CONSTRUCTION	04-30-2020
PERMITTING & CONSTRUCTION RE-SUBMITTAL	08-02-2022
PERMITTING & CONSTRUCTION SECOND SUBMITTAL	08-22-2023

Reviewed - City of Mauston
2/10/25

ARCHITECTURAL DESIGN CONSULTANTS, INC.
30 Wisconsin Dells Parkway | P.O. Box 580
Lake Delton, WI 53940 | Phone: 608.254.6181

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ISSUED FOR	DATE
PERMITTING & CONSTRUCTION	08-02-2022
PERMITTING & CONSTRUCTION (SECOND)	08-22-2023

REVISIONS	DATE
1 15% ¹	01-31-2024

CLIENT
RENEWAL UNLIMITED

PROJECT
HEAD START DAYCARE

MAUSTON, WISCONSIN

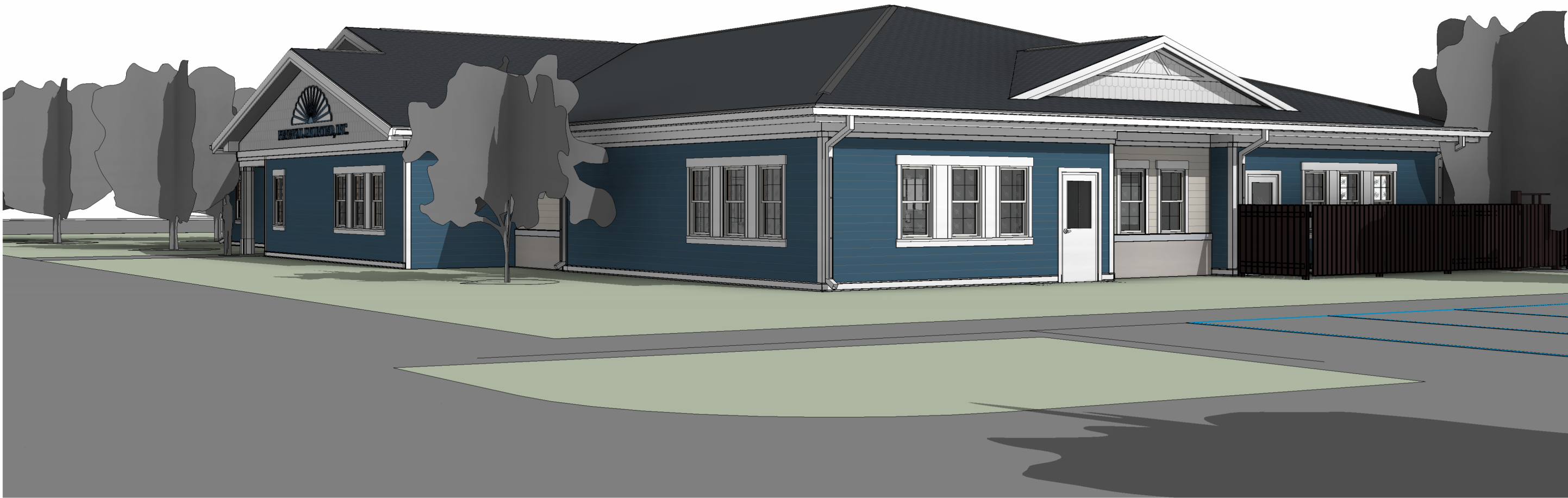
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RDM
CHECKED BY
MLM
DATE
08.22.2023
JOB NUMBER
19-101
BID SET | VOLUME

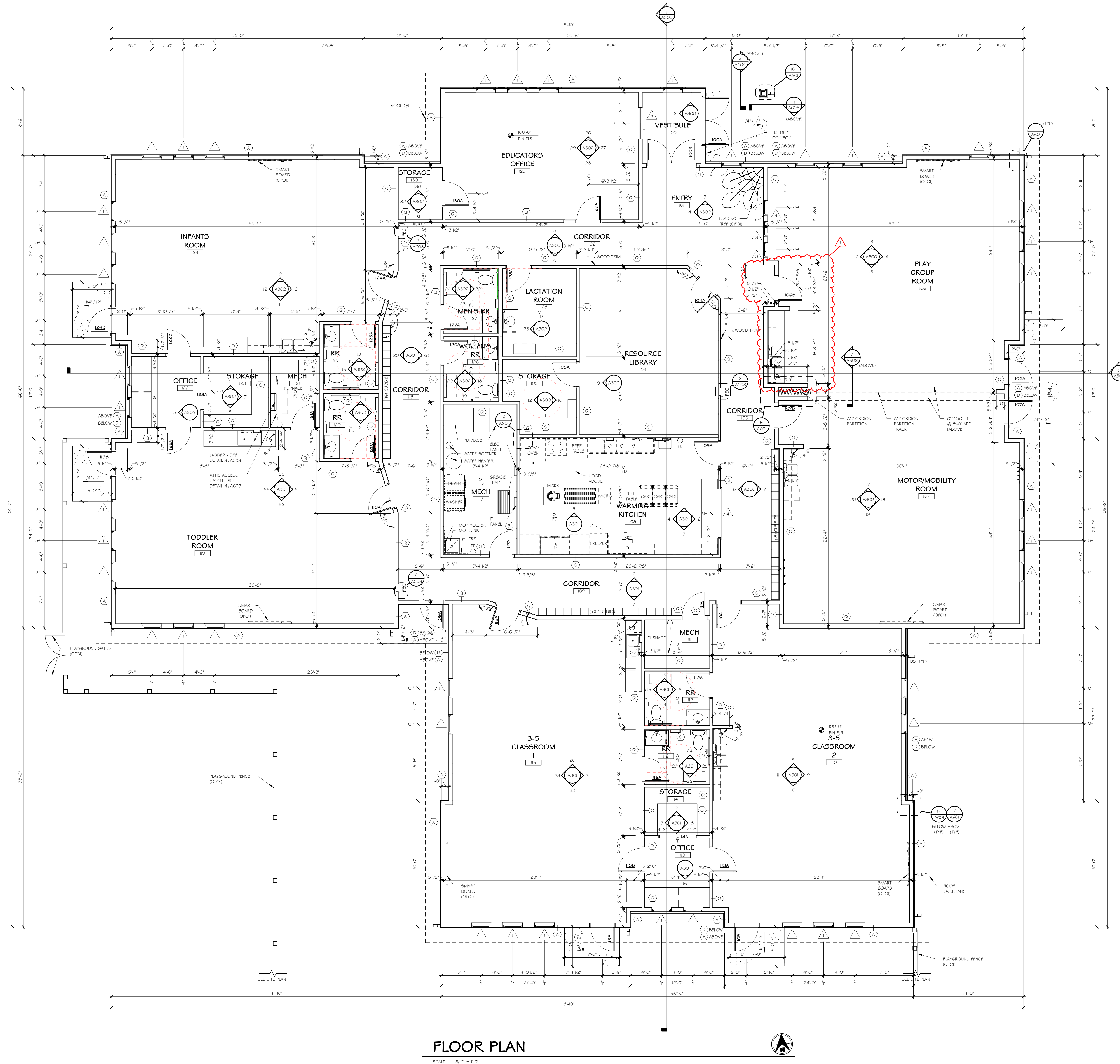
SHEET NAME
TITLE SHEET

SHEET NUMBER

T100







FLOOR PLAN

SCALE: 3/32" = 1'-0"

REVISIONS	DATE
1. RSM	01.31.2024

CLIENT
RENEWAL UNLIMITED

PROJECT
HEAD START DAYCARE

MAUSTON, WISCONSIN

DRAWN BY
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 MLM
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 BID SET | VOLUME

SHEET NAME
FLOOR PLAN

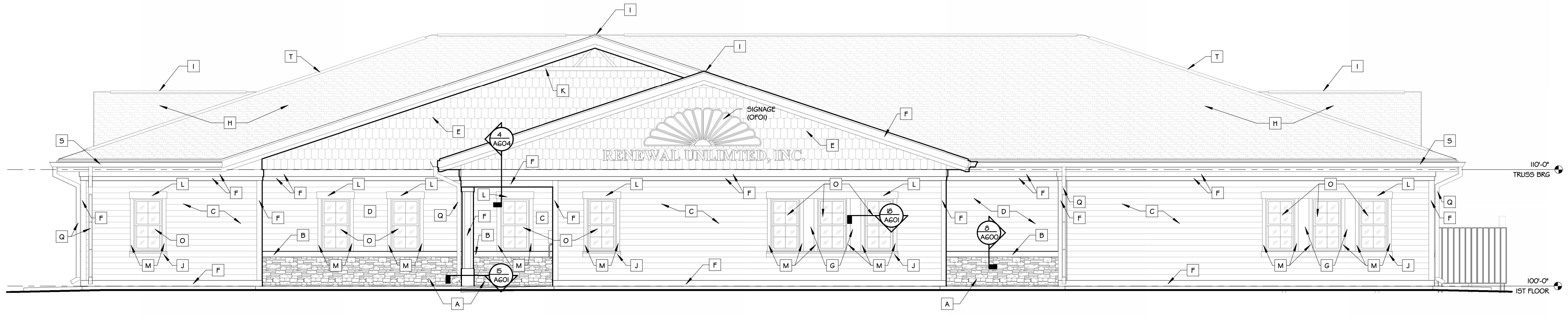
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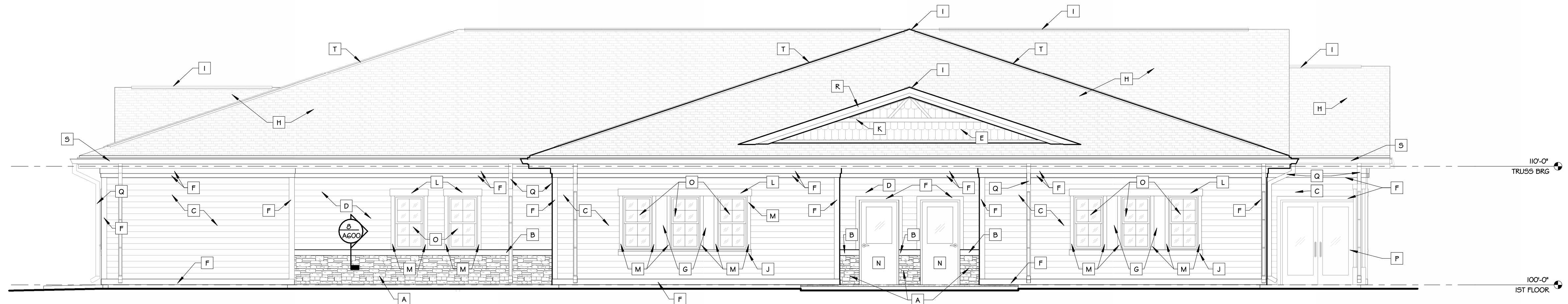
ARCHITECTURAL DESIGN CONSULTANTS, INC.
 20 Wisconsin Trails Parkway | P.O. Box 580
 Lake Delton, WI 53840 | Phone: 608.254.8181

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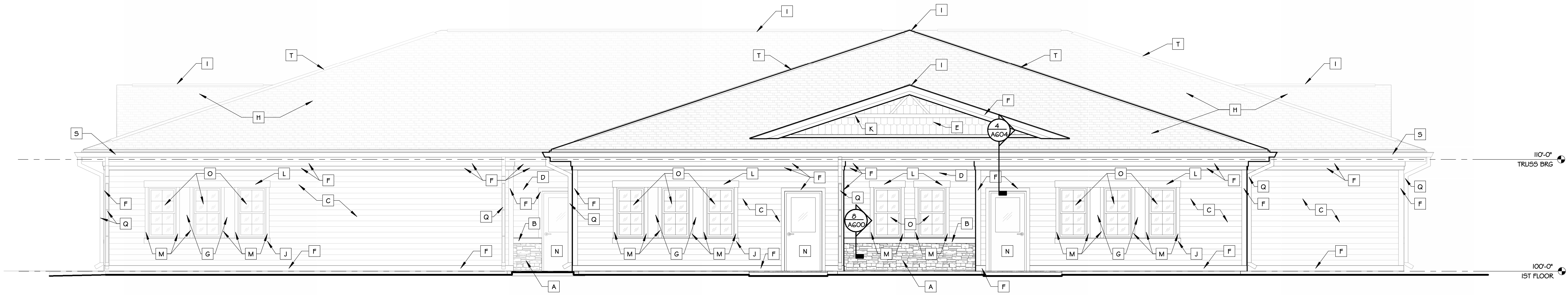
BOX	MATERIAL	COLOR / DESCRIPTION	NOTES
A	MANUFACTURED STONE VENEER	MOJAVE COUNTRY LEDGESTONE	---
B	PRECAST STONE CAP / SILL	LIGHT GUNPOWDER	---
C	COMPOSITE LAP SIDING	RATONS BLUE	---
D	COMPOSITE LAP SIDING	DESERT STONE	---
E	COMPOSITE DECORATIVE SCALLOP SIDING	SNOWSCAPE WHITE	---
F	COMPOSITE TRIM	SNOWSCAPE WHITE	---
G	COMPOSITE PANEL	WHITE	---
H	ASPHALT SHINGLES	CHARCOAL	---
I	CONTINUOUS RIDGE VENT	CHARCOAL	---
J	COMPOSITE TRIM	WHITE	---
K	COMPOSITE TRIM	SNOWSCAPE WHITE	---
L	COMPOSITE WINDOW HEAD ACCENT	SNOWSCAPE WHITE	---
M	COMPOSITE WINDOW 4 DOOR TRIM	SNOWSCAPE WHITE	---
N	HOLLOW METAL DOOR 4 FRAME	SNOWSCAPE WHITE	---
O	VINYL WINDOW	WHITE	---
P	ALUMINUM STOREFRONT DOORS	CLEAR ANODIZED	---
Q	PREFIN ALUM OPEN FACE DOWNSPOUT	WHITE	---
R	COMPOSITE FASCIA	WHITE	---
S	PREFIN ALUM EAVE GUTTER	WHITE	---
T	CONTINUOUS HIP VENT	CHARCOAL	---



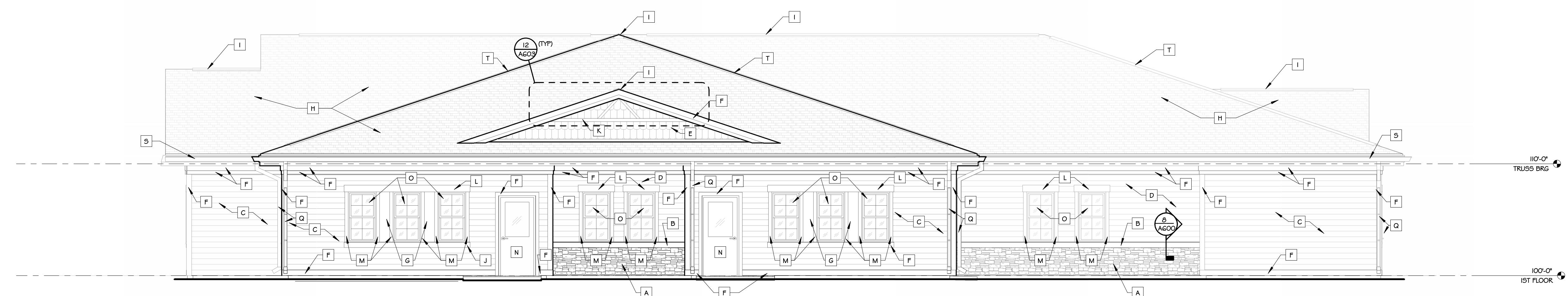
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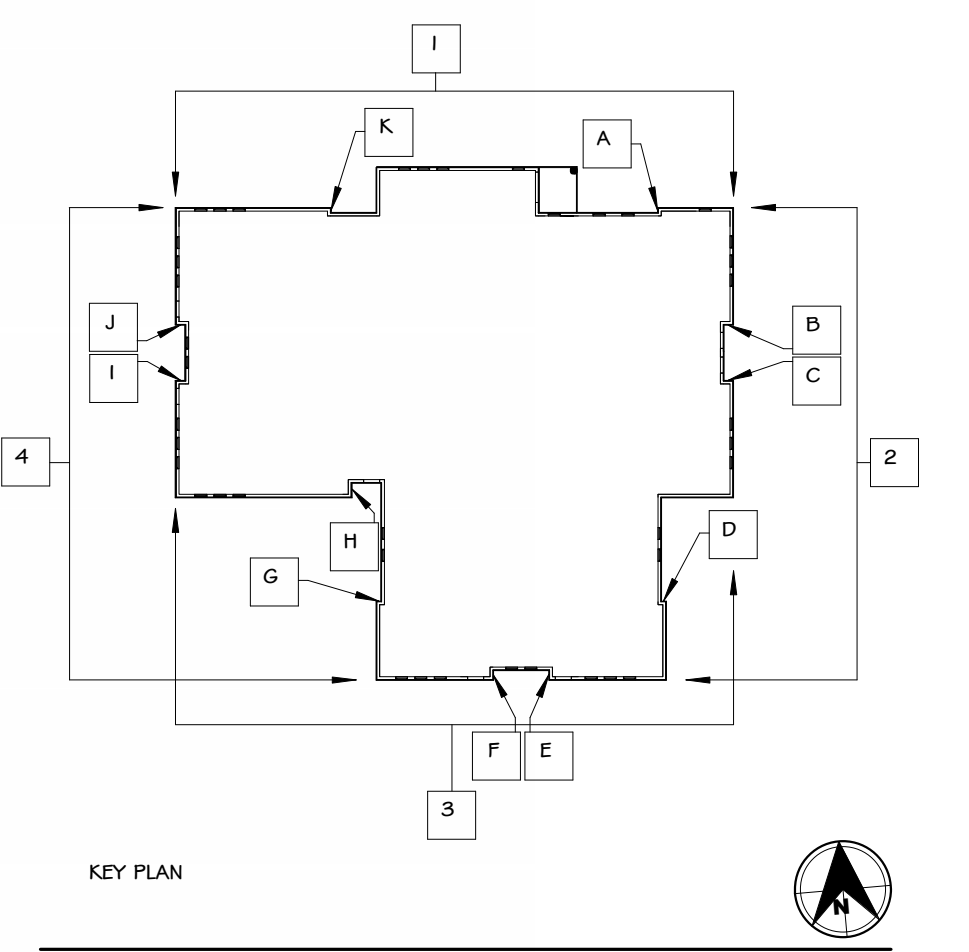
ELEVATION 2
 SCALE: 3/8" = 1'-0"



ELEVATION 3
 SCALE: 3/8" = 1'-0"



ELEVATION 4
 SCALE: 3/8" = 1'-0"



REVISIONS	DATE

CLIENT
 RENEWAL UNLIMITED

PROJECT
 HEAD START DAYCARE

MAUSTON, WISCONSIN

DRAWN BY
 RDM
 CHECKED BY
 MLM
 DATE
 08.22.2023
 JOB NUMBER
 19-101
 BID SET | VOLUME

SHEET NAME
 EXTERIOR ELEVATIONS

SHEET NUMBER
 A400

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PLANT LIST
Head Start Daycare
City of Mauston, WI

KEY	COMMON NAME	(BOTANICAL NAME)	PLANTING SIZE (Inches)	PLANTING SIZE (#)	COMMENTS (Maturity Height-HT)
SHRUBS					
BGG	'GREEN GEM' BOXWOOD	(BUXUS X GREEN GEM)	15-18	7	(2-FOOT HT), 2 1/2' OC (6 TO 8-FOOT HT)
CSN	'SNOW FOUNTAINS' WEEPING CHERRY	(PRUNUS SNOWFLAKE)	15'-CAL	1	WHITE FLOWERS, GOLDENRANGE FALL COLOR (3 TO 4-FOOT HT), PINK ANNNELLE HYDRANGEA (8-FOOT HT)
HIS	HYDRANGEA 'INVINCIBLE SPIRIT'	(HYDRANGEA ARBORESCENS 'INVINCIBLE SPIRIT')	24-30	6	WHITE FLOWERS, GOLDENRANGE FALL COLOR (3 TO 4-FOOT HT), PINK ANNNELLE HYDRANGEA (8-FOOT HT)
HPQ	'QUICKFIRE' PANICLE HYDRANGEA	(HYDRANGEA PANICULATA 'QUICKFIRE')	30-36	1	4' OC, MOST RELIABLE PINK HYDRANGEA (8-FOOT HT)
JBS	BLUE STAR JUNIPER	(JUNIPERUS SQUAMATA 'BLUE STAR')	18-24	9	WHITE FLOWERS/SPRING, THEN PINK/SUMMER (2-FOOT HT), 3 1/2' OC
PAB	ABBOTSWOOD FLOWERING POTENTILLA	(POTENTILLA FRUTICOSA 'ABBOTSWOOD')	15-18	6	BLUE-GREEN NEEDLES (3-FOOT HT), 3 1/2' OC
POD	GOLD DROP POTENTILLA	(POTENTILLA FRUTICOSA 'GOLD DROP')	15-18	6	WHITE FLOWER (3-FOOT HT), 3 1/2' OC
SDF	GOLDFLAME SPIREA	(SPIRAEA X BUMALDA 'GOLDFLAME')	15-18	9	(3-FOOT HT), 3 1/2' OC
WRP	'RED PRINCE' WEIGELA	(WEIGELA X 'RED PRINCE')	24-30	3	(4-FOOT HT), 5 1/2' OC

* All woody shrubs shown in container root condition at time of planting.

TREES

KEY	COMMON NAME	(BOTANICAL NAME)	PLANTING SIZE (Inches)	PLANTING SIZE (#)	COMMENTS (Maturity Height-HT)
BRH	'HERITAGE' RIVER BIRCH	(BETULA NIGRA 'HERITAGE')	8-10 HT.	2	MULTI (3) TRUNK, (25-FOOT HT)
CSS	'SPRING SNOW' FLOWERING CRABAPPLE	(MALUS 'SPRING SNOW')	2'-CAL.	2	WHITE FLOWERS, NO FRUITS, (25-FOOT HT)
EAC	ACCOLADE ELM	(ULMUS X ACCOLADE)	2'-CAL.	1	VASE-SHAPE, YELLOW FALL COLOR, (50-FOOT HT)
STF	FOUNDER ELM	(ULMUS 'FOUNDER')	2'-CAL.	3	UPRIGHT PYRAMIDAL SHAPE, SMOOTH BARK, DEEP RED FALL COLOR, (35-FOOT HT)
FVH	WHITE FIR	(ABIES CONCOLOR)	4-5 HT.	1	14' OC, (10-FOOT HT), FAST GROWING
GAG	GINKGO AUTUMN GOLD	(MALE CULTIVAR)	2 1/2'-CAL.	1	GOLDEN-YELLOW FALL COLOR, (45-FOOT HT)
GOM	GINKGO MADYAR	(FEMALE CULTIVAR)	2 1/2'-CAL.	1	GOLD-YELLOW FALL COLOR, (45-FOOT HT)
HPP	'PRAIRIE PRIDE' COMMON HICKORY	(CELTIS OCCIDENTALIS 'PRAIRIE PRIDE')	2'-CAL.	1	YELLOW FALL COLOR, (60-FOOT HT)
LIS	IVORY SILK JAPANESE TREE LILAC	(SYRINGA RETICULATA 'IVORY SILK')	2'-CAL.	2	SINGLE TRUNK, (20-FOOT HT)
MAB	AUTUMN BLAZE 'FREEMAN' MAPLE	(ACER X 'FREEMAN') AUTUMN BLAZE	2'-CAL.	1	FALL COLOR, (35-FOOT HT)
MCF	'CELEBRATION' FREEMAN MAPLE	(ACER X 'FREEMAN') CELEBRATION	2'-CAL.	2	ORANGE FALL COLOR, (35-FOOT HT)
MOO	OCTOBER GLORY RED MAPLE	(ACER RUBRUM 'OCTOBER GLORY')	2'-CAL.	1	40 FOOT HT
MSU	SUGAR MAPLE	(ACER SACCHARUM)	2'-CAL.	1	DF, RED TO REDDISH PURPLE FALL COLOR (60-FOOT HT), ORANGE-RED FALL COLOR

* All trees shown in B&B (Balled & Burlapped) root condition at time of planting.

PERENNIALS

Key	Common Name	(Botanical Name)	Spacing (Inches O/C)	Comments
DLS	DAYLILY (HEMEROCALLIS)	'STELLA D'ORO'	24	YELLOW FLOWER, (18-INCH HT)

* Perennials are shown as gallon container size.

- LANDSCAPE NOTES**
Head Start Daycare
- PLANT MATERIAL/PLANTING BEDS:**
 - FERTILIZE ALL SHRUBS AND/OR TREES WITH A COMMERCIAL SLOW-RELEASE FERTILIZER TABLET OR PACKET, INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
 - FOR PERENNIALS AND/OR ORNAMENTAL GRASSES, APPLY A COMMERCIAL MIXTURE OF 10-10-10 OR APPROPRIATE ORGANIC FERTILIZER AT TIME OF PLANTING.
 - BACKFILL TO A MINIMUM OF 3-TIMES THE DIAMETER OF THE ROOT BALL. ALL PLANT MATERIAL WITH A SOIL MIX RICH IN ORGANIC MATTER. WHERE PERENNIALS ARE SHOWN ON PLAN, INSTALL RICH ORGANIC SUSTAINABLE SOIL AT A MINIMUM DEPTH OF 10-12 INCHES.
 - PLANTING BEDS: EDGING, VARIETY SHOWN ON PLAN, TO BE VALLEY VIEW 'BLACK DIAMOND' POLYETHYLENE BED DIVIDER, INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
 - ORGANIC WOOD MULCH MATERIAL, LOCATED AROUND BUILDING FOUNDATION, TO BE SHREDDED NORTHERN WHITE CEDAR MULCH, INSTALLED AND SPREAD EVENLY AT A DEPTH OF 3 INCHES.
 - IN WOOD MULCH BEDS AFTER SOIL AND PLANTS ARE INSTALLED AND PRIOR TO WOOD MULCH INSTALLATION, BROADCAST THE PRE-EMERGENT HERBICIDE, TRIFLURALIN, OVER THE PLANTING BED SOIL THROUGHOUT THE PLANTING BEDS. INSTALL PRE-EMERGENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 - DO NOT INSTALL A WEED BARRIER FABRIC UNDER ANY ORGANIC WOOD MULCH LOCATIONS.
 - TREES:**
 - MAINTAIN ROOT COLLAR OF TREE SLIGHTLY ABOVE GRADE WHEN INSTALLING.
 - DIG HOLE NO DEEPER THAN THE LEVEL ON WHICH THE BOTTOM OF THE ROOT BALL WILL SET.
 - DO NOT STAKE TREE, UNLESS WINDY CONDITIONS DICTATE.
 - WHERE TREES ARE LOCATED IN LANDSCAPE 'TURF' AREAS, PROVIDE A MINIMUM 5-FEET DIAMETER MULCH BED AROUND EACH TREE. MULCH AROUND THESE TREES WITH A 3-INCH DEPTH OF CEDAR WOOD MULCH SPREAD EVENLY. NESTLED INSTALL WEED BARRIER FABRIC UNDER WOOD MULCH. NO A BED DIVIDER AROUND TREE.
 - PLANT WARRANTY:**
 - ALL SHRUBS AND TREES TO BE GUARANTEED FOR ONE FULL CALENDAR YEAR FOLLOWING DATE OF INITIAL INSTALLATION. REPLACE ANY DEAD OR DISEASED PLANTS WITH HEALTHY PLANT SPECIMENS EQUAL TO OR LARGER THAN PLANT SIZE ORIGINALLY PLANTED.
 - GUARANTEE PERENNIALS AND ORNAMENTAL GRASSES FOR ONE FULL GROWING SEASON. REPLACE, IF NECESSARY, ANY DEAD OR DISEASED SPECIMENS.
 - TURFGRASS AREAS:**
 - TOPSOIL/TOPSOIL GRADING:**
 - PROVIDE TOPSOIL, IF CONTRACT REQUIRES.
 - TOPSOIL SHALL BE BLACK LOAM NATIVE TO THE AREA, WITHOUT SUBSOIL, STONES, LUMPS, CLOUDS OF HARD EARTH, PLANTS, ROOTS, STICKS, AND OTHER EXTRANEOUS MATERIALS.
 - STOCKPILED TOPSOIL MEETING THE REQUIREMENTS STATED HEREIN MAY BE USED.
 - PLACE TOPSOIL AND SPREAD UNIFORMLY OVER ALL LAWN AREAS TO A MINIMUM DEPTH OF 6 INCHES. DO NOT PLACE TOPSOIL WHILE IN A FROZEN OR MUDDY CONDITION.
 - SMOOTH AND UNIFORMLY FINE TEXTURE IMMEDIATELY PRIOR TO SOODING AND/OR SEEDING. CORRECT ALL SOFT SPOTS AND IRREGULARITIES IN GRADE.
 - JUST PRIOR TO SOODING AND/OR SEEDING, SPREAD AND RAKE LAWN FERTILIZER INTO TOPSOIL AT A RATE OF 10 LBS. PER 1,000 SQ. FT. COMMERCIAL LAWN FERTILIZER SHALL BE A COMPLETE FERTILIZER PARTIALLY DERIVED FROM ORGANIC SOURCES AND CONTAINING 10% NITROGEN, 10% PHOSPHORIC ACID, AND 10% POTASH, ALL BY WEIGHT AS SPECIFIED. BLEND IN NEW SOIL TO MATCH EXISTING GRADES OF ADJACENT PROPERTIES, WHERE APPLICABLE.
 - SEEDING:**
 - WHERE SEEDING IS REQUIRED, ON ALL TURFGRASS GREENSPACE AREAS, PROVIDE FRESH, CLEAN, NEW-CROP SEED IN COMPLIANCE WITH THE STANDARDS ESTABLISHED BY THE OFFICIAL SEED ANALYSIS OF NORTH AMERICA.
 - BLEND 'CAPITAL CITY PARKS' TURFGRASS MIX, BY HERITAGE SEED COMPANY, OR SIMILAR BLEND OF EQUAL PROPORTION AND GERMINATION RATE.
 - MIX COMPOSITION:**
 - 20% ELITE KENTUCKY BLUEGRASS VARIETIES
 - 25% ELITE PERENNIAL RYEGRASS VARIETIES
 - 13% ELITE CREEPING RED FESCUE
 - 12% ELITE CHEWINGS FESCUE
 - REQUIRED MINIMUM TEST RESULTS: 98% PURITY AND 85% GERMINATION
 - SOW UNIFORMLY AT A MINIMUM RATE OF 4-LBS. PER 1,000 SQ. FT.
 - AFTER SEEDING, APPLY MULCH CONSISTING OF CLEAN MARSH HAY, OR STRAW, AS FREE OF WEEDS AS POSSIBLE. UNIFORMLY OVER ALL SEEDING AREAS.
 - SEEDING SCHEDULE:**
 - SEEDING AREAS PLACED DURING THE SPRING (UNTIL JULY 1ST) PLANTING SEASON SHALL BE GUARANTEED FOR NINETY (90) DAYS FOLLOWING FINAL PLACEMENT.
 - SEEDING AREAS PLACED DURING THE FALL PLANTING SEASON SHALL BE GUARANTEED THROUGH JULY 1ST OF THE FOLLOWING YEAR.
 - REPAIR ALL SEEDING AREAS FOUND DEAD OR NOT IN SATISFACTORY GROWTH. REPAIR/REPLACE ALL SEED AREAS WITH SAME TURF GRASS BLEND AS ORIGINALLY SPECIFIED. COST OF REPLACEMENT SHALL BE BORNE BY THE CONTRACTOR, EXCEPT REPLACEMENT/REPAIR REQUIRED DUE TO LOSS OR DAMAGE FROM OWNER OCCUPANCY, VANDALISM, OR NATURAL DISASTER.



ISSUED FOR DATE

PERMITTING & CONSTRUCTION	06.02.2022
PERMITTING & CONSTRUCTION (SECOND)	06.22.2023

REVISIONS DATE

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CLIENT
RENEWAL UNLIMITED

PROJECT
HEAD START DAYCARE

MAUSTON, WI

DRAWN BY
BUPWARD
CHECKED BY
B. SPOETCHER
DATE
08.22.2023
JOB NUMBER
19-101
BID SET | VOLUME

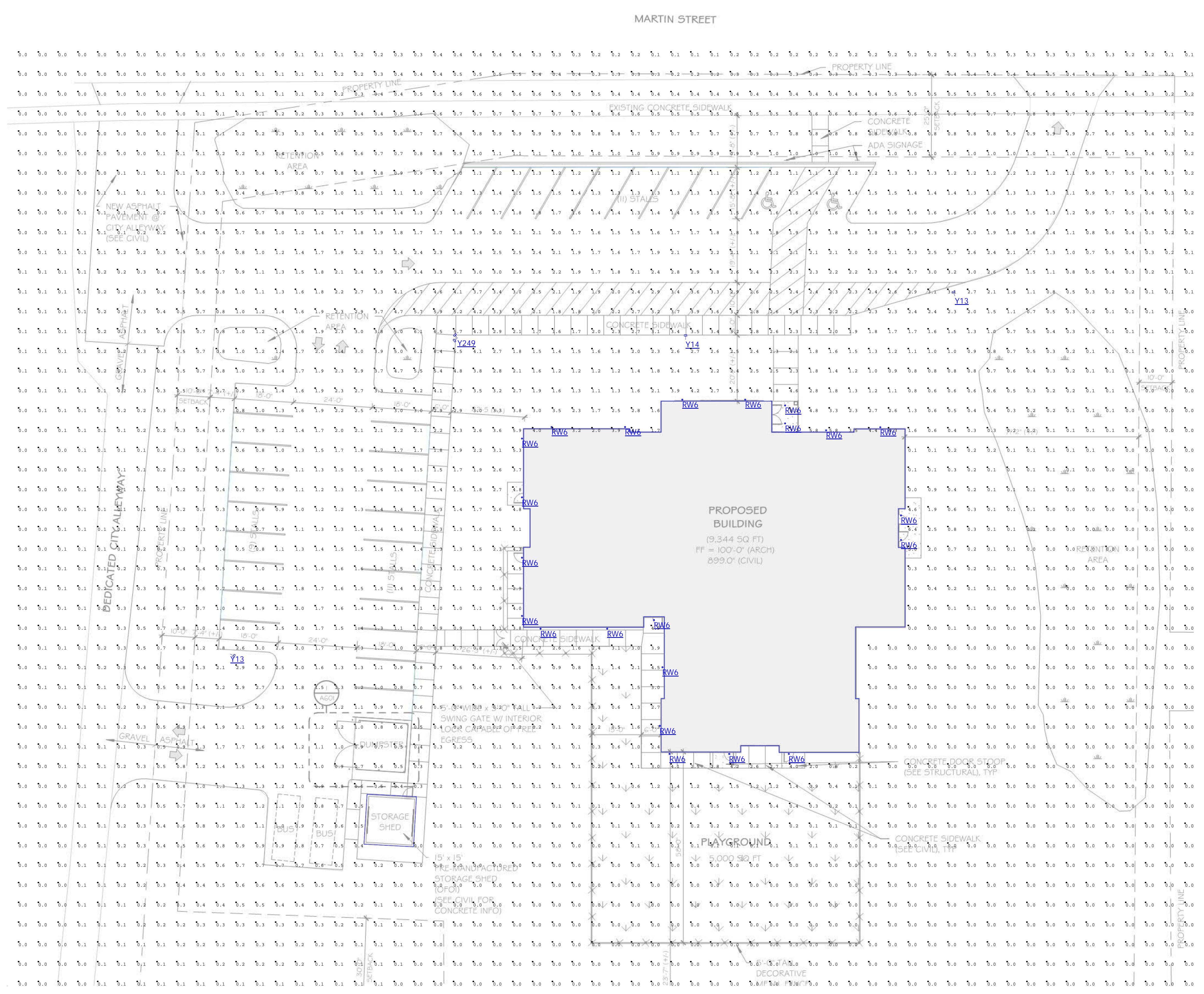
SHEET NAME
LANDSCAPE PLAN

SHEET NUMBER



REVIEWED - CITY OF MAUSTON
2/10/25

L1.0



Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CalcPts_1	illuminance	Fc	0.60	8.1	0.0	N.A.
PARKING LOT	illuminance	Fc	1.71	5.9	0.4	4.28

Luminaire Schedule									
Symbol	Qty	Label	Tag	Description	Arrangement	LLF	Luminaire Lumens	Luminaire Watts	
⊙	22	WF6 ALO20 SWW5 90CRI MVOLT 40	RW6	WF6 ALO20 SWW5 90CRI MVOLT 40K recessed wafer light	Single	0.900	1360	15	
—	2	RSX1 LED P3 50K R3	Y13	RSX1 LED P3 50K R3 type 3 distribution pole fixture on 25ft pole with 2.5ft base	Single	0.900	14022	109.44	
—	1	RSX1 LED P3 50K R4	Y14	RSX1 LED P3 50K R4 type 4 distribution pole fixture on 25ft pole with 2.5ft base	Single	0.900	14206	109.44	
⊙	1	RSX1 LED P3 50K R4 2@90	Y249	RSX1 LED P3 50K R4 2@90 type 4 distribution pole fixture on 25ft pole with 2.5ft base	2 @ 90 degrees	0.900	14206	109.44	

REVIEWED - CITY OF MAUSTON
2/10/25

1. STANDARD REFLECTANCE OF 80/50/20 UNLESS NOTED OTHERWISE.
 2. NOT A CONSTRUCTION DOCUMENT- FOR DESIGN PURPOSES ONLY.
 3. STANDARD INDOOR CALC POINTS @ 30" AFF UNLESS NOTED OTHERWISE.
 4. STANDARD OUTDOOR CALC POINTS @ GRADE UNLESS NOTED OTHERWISE.
 5. EGRESS CALC POINTS @ 0'-0" AFF.
 6. PHOTOMETRICS ARE ESTIMATED LIGHTING CALCULATIONS.
 7. VIKING ELECTRIC ASSUMES NO RESPONSIBILITY FOR INSTALLED LIGHT LEVELS DUE TO FIELD CONDITIONS.
 8. VIKING ELECTRIC NOT RESPONSIBLE FOR FINAL REVIEW OF CODE REQUIREMENTS.

#	Date	Comments

Revisions	

Drawn By: JB
 Project #: 142112
 Date: 10/22/2024
 Scale: 1" = 15'

PHOTOMETRIC SITE PLAN
 RENEWAL DAYCARE
 MAUSTON, WISCONSIN