



PLAN COMMISSION AGENDA

May 22, 2024 at 6:00 PM

303 Mansion Street Mauston, WI

1. **Call to Order/Roll Call**
2. **Discussion and action relating to Minutes**
 - a. May 1, 2024
3. **Discussion and recommendation regarding Conditional Uses for:**
 - a. Hillsboro Equipment for a Group Development and Outdoor Sales/Service.
 - b. Mauston Methodist Church for lighted free-standing signage at 420 Suszycki Dr. Mauston, WI 53948
4. **Adjourn**

NOTICE:

It is possible that action will be taken on any of the items on the agenda and that the agenda may be discussed in any order. It is also possible that a quorum of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

Also, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact City Deputy Clerk Nicole Lyddy (608) 747-2706.

Any member of the public wishing to join the meeting telephonically should call City Hall by 4pm the day of the meeting. Staff will be happy to provide instructions on joining the meeting by phone. City Hall main number: 608-847-6676



PLAN COMMISSION MINUTES

May 01, 2024 at 6:00 PM

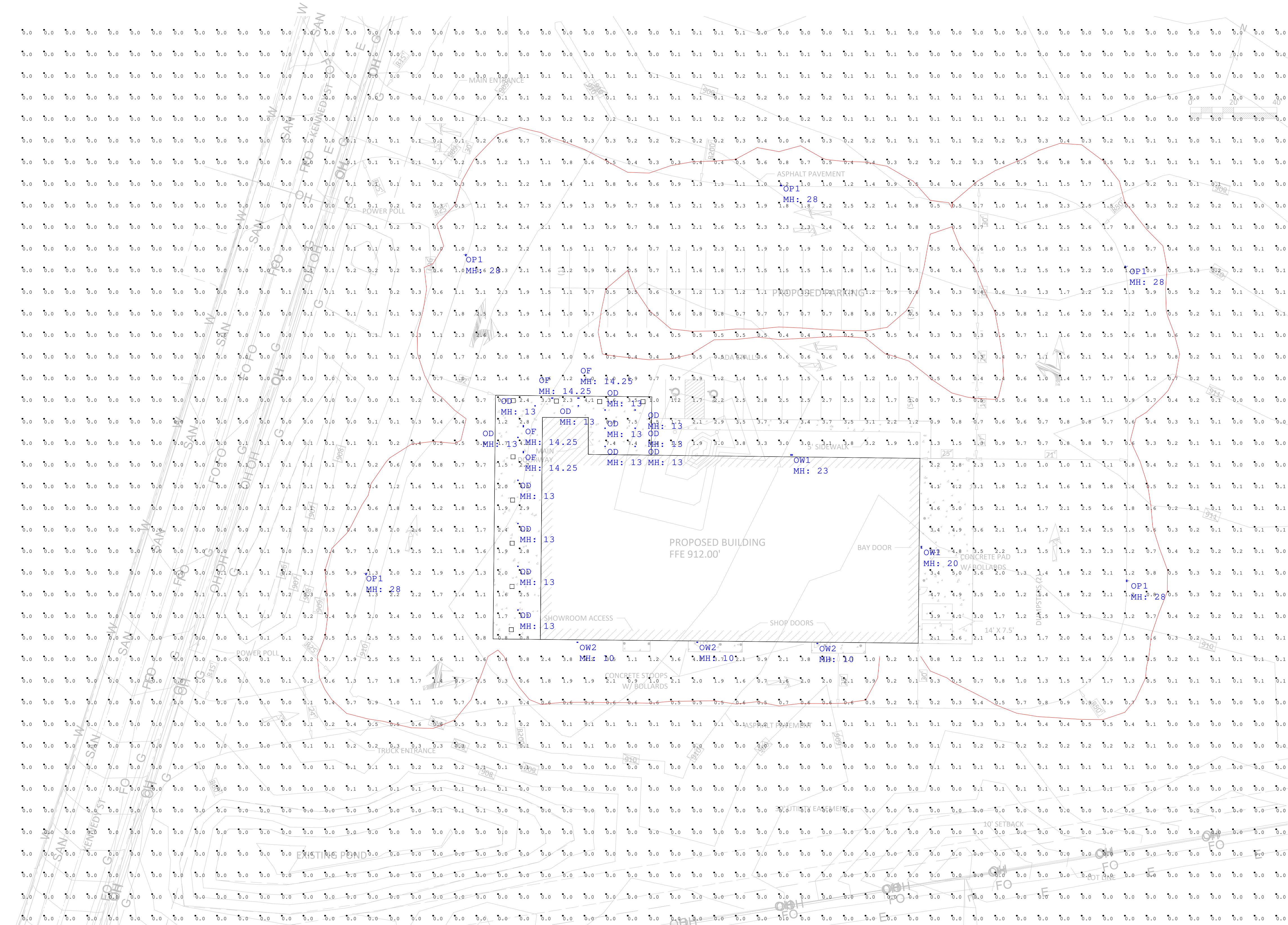
303 Mansion Street Mauston, WI

1. **Call to Order/Roll Call-** The Mauston Plan Commission met at 6:00 pm Wednesday, May 1, 2024, in the Council Chambers of City Hall. Present were Mark Messer, Lenord Kluge, Brian McGuire, Paul Coggins, Devan Minard, and Mayor Darryl Teske. Also present was Zoning Administrator Allison Schwark.
2. **Minutes-** Messer/Minard motion to approve meeting minutes from March 27, 2024. Motion carried.
3. **Site Plan for Hillsboro Equipment Building-** Zoning Administrator Schwark and the applicant were present and gave a presentation on the project. Schwark recommended approval of the site plan with the following conditions:
 1. The applicant is responsible for obtaining all applicable building permits with state and local authorities.
 2. The applicant shall apply for a sign permit application for all signage on site.
 3. The project shall be developed in accordance with the site plan approved. Any deviation from the approved plans shall require zoning administrator and/or plan commission approval.
 4. The applicant is responsible for planning, design, and implementation of the grading plan for the site. The City of Mauston shall not be held responsible for any deficiency in the grading plan.
 5. The applicant shall apply for a Conditional Use Permit for a group development, and for outdoor sales and service, and be approved at the next scheduled plan commission meeting.

McGuire asked about the dimensions of the building, and there were no further questions. McGuire/Minard motioned to approve the Site plan with the above conditions. Motion carried.
4. **Adjourn-** McGuire/Coggins to adjourn. Motion carried.

Chair

Date



Scale: 1 inch= 25 Ft.

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
SIGN_Face	Illuminance	Fc	3.51	4.2	2.7	1.30
SITE	Illuminance	Fc	0.52	8.0	0.0	N.A.

Luminaire Schedule								
Symbol	Qty	Label	Manufacturer	Description	Arrangement	Lum. Lumens	Lum. Watts	LLF
	13	OD	PRESCOLITE	LBRST-6RD-M-LSML-CS9-WH	Single	1227	13.33	0.900
	4	OF	EXO	LSP-LSCS (1000LM, 4000K)	Single	1015	7.92	0.900
	5	OP1	EXO	ASL1-160L-135-4K7-4W-UNV	Single	17568	133.1	0.900
	2	OW1	BEACON	RWL2-160L-115-4K7-3-UNV	Single	15281	109.8	0.900
	3	OW2	BEACON	RWL1-48L-25-4K7-4W-UNV	Single	3679	28	0.900

1. Lighting Reflectance of 80/50/20 used unless noted otherwise
2. Interior calc points shown at 30" A.F.F. unless noted otherwise
3. Exterior calc points shown at grade unless noted otherwise
4. Emergency egress calc points shown at 0" A.F.F.
5. Photometric drawings are for Design purposes only, not for Construction documents

Project #: 65702
Date:4/22/2024

MAUSTON, WI

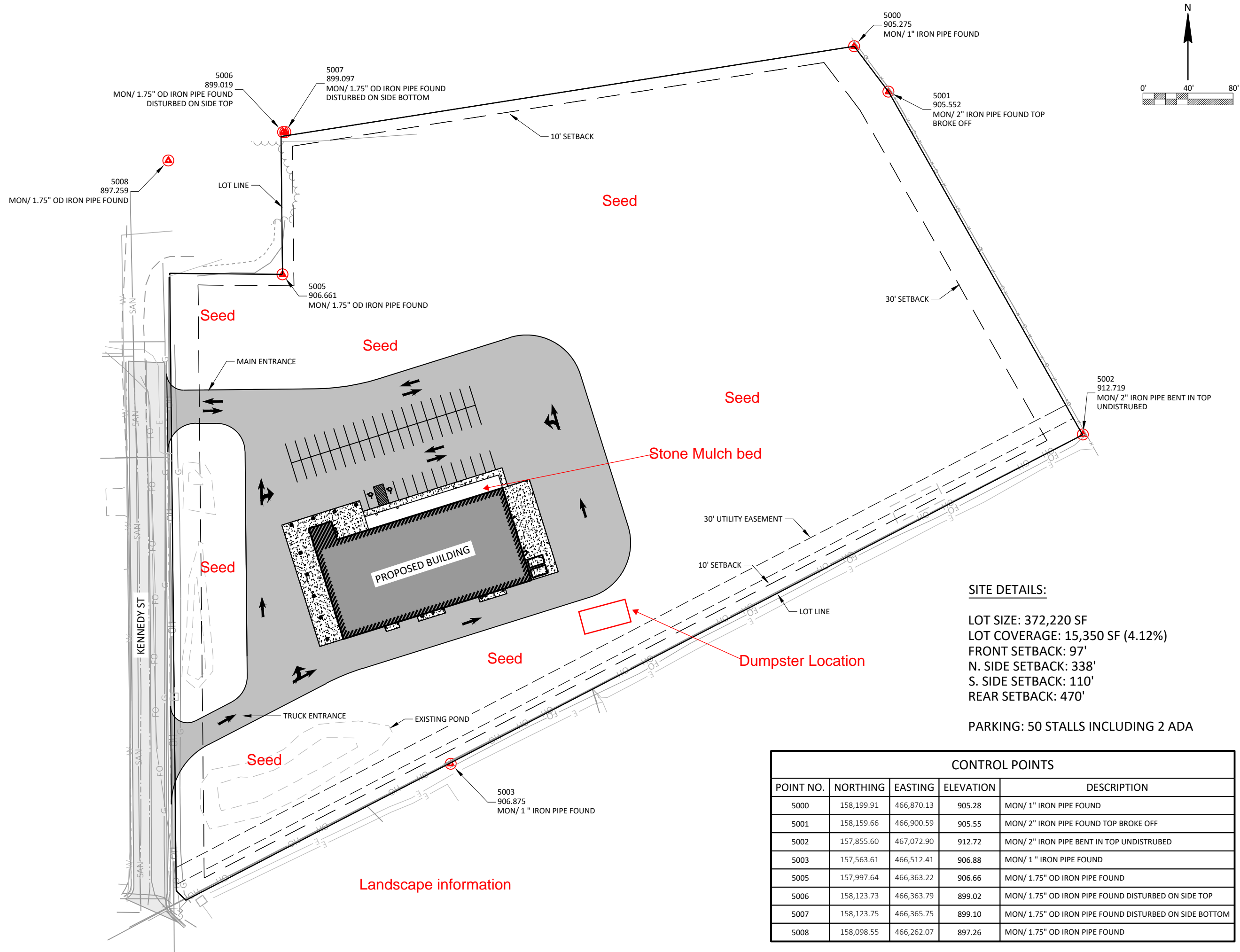
Calculated light levels shown are estimates based on information available at time of layout request. Due to unknown site conditions JTH Lighting assumes no responsibility for installed light levels.

Eastern Wisconsin
2612 S Greeley Street
Milwaukee, WI 53207
(p) 414-635-9900
www.jthlighting.com

HILLSBORO EQUIPMENT SITE

Page 1 of 1

3



Proposed Building Plans for
Hillsboro Equipment Mauston
Mauston, Wisconsin

Section 3, Item a.

JEWELL
associates engineers
Engineers - Surveyors - Architects

560 Sunrise Drive
Spring Green, WI 53588
phone: 608-588-7494
fax: 608-588-9322

PRELIMINARY

560 Sunrise Drive
Spring Green, WI 53588
phone: 608-588-7484
fax: 608-588-9322

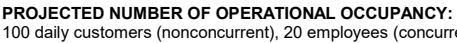


Date
4-15-2024

Drawing Name	
Title Sheet	

GENERAL NOTES		ABBREVIATIONS		CODE SUMMARY		PROJECT DIRECTORY		DRAWING INDEX	
<div><div><div>1.</div><div>All work to be constructed per governing codes/ordinances, as amended by local authorities. Said codes/ordinances are herein incorporated into these documents. All code required work to be included in contract sum.</div></div><div><div>2.</div><div>Adherence to Code Requirements of the New and Remodeled construction shall be the strict responsibility of the Owner/ Builder. The Architect shall not be held liable for any such unauthorized deviations or violations of any applicable Building, Plumbing, HVAC, or Electrical codes or the ADA (Americans with Disabilities Act.)</div></div><div><div>3.</div><div>General notes are intended to clarify or emphasize the requirements of the drawings and specifications. In the event of a conflict between the drawings or specifications and these notes, the contractor shall comply with the more stringent requirement.</div></div><div><div>4.</div><div>All work to be performed in a manner so as to have a minimum of disruption and disturbance with existing operations and local environment. Noise and dust shall be kept to a minimum.</div></div><div><div>5.</div><div>Do not scale drawings.</div></div><div><div>6.</div><div>Permit and approvals are to be kept on-site at all times.</div></div><div><div>7.</div><div>Details and notes of similar conditions are typical whether or not called out at all places. references to any detail is for convenience only and does not limit the application of such detail or drawing.</div></div><div><div>8.</div><div>Systems shown on drawings are intended to be furnished, installed, and turned over to the owner in proper functioning condition. All work to be considered in contract sum.</div></div><div><div>9.</div><div>Contractor shall check and verify all field conditions and dimensions with the construction drawings at the project site prior to construction, erection, and/or fabrication. Contractor shall inspect related work and adjacent surfaces. Contractor shall report any discrepancies between the contract documents and the existing conditions which shall prevent proper execution of this work to the architect before proceeding with the work. Contractor is responsible for dimensions, quantities, and coordination of other trades.</div></div><div><div>10.</div><div>Special finish materials, carpet/ flooring, bases, doors, etc. are not shown on all details for clarity purposes. refer to plans, sections, other details, specifications, and schedules for additional information.</div></div><div><div>11.</div><div>Installation of all materials and systems shall be in accordance with manufacturer's written instructions.</div></div><div><div>12.</div><div>This project is being constructed using a design-bid-build construction methodology. All contractors are responsible for complying with all applicable codes and ordinances related to their design and construction and integration with other systems and components. All concerns or conflicts related to such shall be brought to the attention of the general contractor prior to the start of construction.</div></div><div><div>13.</div><div>All products are to be selected for the intended use and installed per manufacturer's specifications.</div></div></div>		<div>ABANCHOR BOLT</div> <div>AFFABOVE FINISHED FLOOR</div> <div>CJCONTROL JOINT</div> <div>CLGCCeilings</div> <div>CLCENTER LINE</div> <div>COLCOLUMN</div> <div>CONCCONCRETE</div> <div>CMUCONCRETE MASONRY UNIT</div> <div>CPTCARPET</div> <div>CTCERAMIC TILE</div> <div>DIMDIMENSION</div> <div>DSDOWNSPOUT</div> <div>EJEXPANSION JOINT</div> <div>EQEQUAL</div> <div>EXTEXTERIOR</div> <div>FDfloor drain</div> <div>FRPFIBERGLASS REINFORCED PLASTIC</div> <div>FEFIRE EXTINGUISHER</div> <div>FFFINISHED FLOOR</div> <div>FLRFLOOR</div> <div>REINREINFORC (ED) (ING)</div> <div>GWBGYPSUM WALLBOARD</div> <div>GCGENERAL CONTRACTOR</div> <div>INSULINSULATION</div> <div>INTINTERIOR</div> <div>JTJOINT</div> <div>METMETAL</div> <div>MRMOISTURE RESISTANT</div> <div>NTSNOT TO SCALE</div> <div>ODOUTSIDE DIMENSION</div> <div>PLPLATE</div> <div>QTYQUANTITY</div> <div>RRADIUS</div> <div>RMROOM</div> <div>ROROUGH OPENING</div> <div>SABSOUND ATTENUATION BATT</div> <div>SCSUSPENDED CEILING</div> <div>SIMSIMILAR</div> <div>SSSTAINLESS STEEL</div> <div>STLSTEEL</div> <div>TEMPTEMPERED</div> <div>T&BTOP AND BOTTOM</div> <div>TOCTOP OF CONCRETE</div> <div>TOFTOP OF FOOTING</div> <div>TOSTOP OF SLAB</div> <div>TOWTOP OF WALL</div> <div>TYP TYPICAL</div> <div>UONUNLESS OTHERWISE NOTED</div> <div>VBVAPOR BARRIER</div> <div>VCTVINYL COMPOSITE TILE</div> <div>W/ WITH</div> <div>WC VINYL FACED WALL COVERING</div> <div>WDWOOD</div>	<div><div>PROJECT DESCRIPTION:</div><div>Construction of a new showroom and shop.</div></div> <div><div>OCCUPANCY:</div><div>S-1 Moderate Hazard Storage</div><div>M Mercantile</div></div> <div><div>CONSTRUCTION:</div><div>IIB Metal Frame Unprotected</div></div> <div><div>FIRE PROTECTION:</div><div>Fully Sprinklered NFPA13</div></div> <div><div>AREA:</div><div>New Construction = 17,550 S.F.</div></div>	<div><div>OWNER</div><div>Don Slama</div><div>Hillsboro Equipment</div><div>E 18898 Hwy 33 East</div><div>Hillsboro, WI 54634</div><div>608-489-2275</div></div> <div><div>ARCHITECT</div><div>Andrea Ring, Architect</div><div>CIVIL ENGINEERING</div><div>Eric Olson, Engineer</div><div>STRUCTURAL ENGINEERING</div><div>Michael Mertens, Engineer</div></div> <div><div>Jewell Associates, Inc.</div><div>560 Sunrise Drive</div><div>Spring Green, WI 53588</div><div>andrea.ring@jewellassoc.com</div><div>608-588-7484</div></div> <div><div>GENERAL CONTRACTOR</div><div>Joe Dolezal</div><div>Boson</div><div>2613 W. Veterans Parkway</div><div>PO Box 544</div><div>Marshfield, WI 54449</div><div>715-384-3184</div></div>	<div><div>T1.0</div><div>Title Sheet</div></div> <div><div>T1.1</div><div>Schedules</div></div> <div><div>T1.2</div><div>Details</div></div> <div><div>C1.0</div><div>Site Overview</div></div> <div><div>C1.1</div><div>Existing Site</div></div> <div><div>C2.0</div><div>Proposed Site</div></div> <div><div>C2.1</div><div>Proposed Site</div></div> <div><div>C3.0</div><div>Grading Plan</div></div> <div><div>C4.0</div><div>Erosion Control Details</div></div> <div><div>C4.1</div><div>Pavement Details</div></div> <div><div>C4.2</div><div>Curb Ramp Details</div></div> <div><div>EX A</div><div>Vehicle Tracking</div></div> <div><div>A0.0</div><div>Life Safety Plan</div></div> <div><div>A0.1</div><div>Rendered Views</div></div> <div><div>A0.2</div><div>Rendered Views</div></div> <div><div>A0.3</div><div>Rendered Views</div></div> <div><div>A1.0</div><div>Floor Plan</div></div> <div><div>A1.1</div><div>Upper Floor Plan</div></div> <div><div>A1.2</div><div>Roof Plan</div></div> <div><div>A1.3</div><div>Restroom Plan and Details</div></div> <div><div>A2.0</div><div>Proposed Elevations</div></div> <div><div>A3.0</div><div>Sections</div></div> <div><div>A3.1</div><div>Section Details</div></div> <div><div>A3.2</div><div>Framing Details</div></div> <div><div>A4.0</div><div>Finish Plan</div></div> <div><div>A4.1</div><div>Reflected Ceiling Plan</div></div> <div><div>S0.0</div><div>Structural Notes</div></div> <div><div>S0.1</div><div>Structural Notes</div></div> <div><div>S1.0</div><div>Foundation Plan</div></div> <div><div>S1.1</div><div>Structural Details</div></div> <div><div>S1.2</div><div>Structural Details</div></div> <div><div>S2.0</div><div>Roof Framing Plan</div></div>	<div><div>THIS DOCUMENT, THE IDEAS AND DESIGNS INCORPORATED HEREIN AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF JEWELL ASSOCIATES ENGINEERS, INC. AND IS NOT TO BE USED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN AUTHORIZATION OF JEWELL ASSOCIATES ENGINEERS, INC.</div><div><div><div><div>B</div><div>BOSCON</div><div>Collaborate Construct</div></div></div></div><div><div>Hillsboro Equipment</div><div>Mauston Retail Store</div><div>Mauston, Wisconsin</div></div></div>			
<div>SUMMARY BUILDING CODE REQUIREMENTS</div>									
<div>Applicable code provisions include, but are not limited to the following:</div> <div>362.0712 - Penetrations</div>									

PROJECT ADDRESS:
Kennedy Street
Mauston, WI 53948



TAX PARCEL NUMBER: 292510265

1t WINDOW

362.2406 - Safety Glazing
Provide Safety Glazing per IBC section 2406.

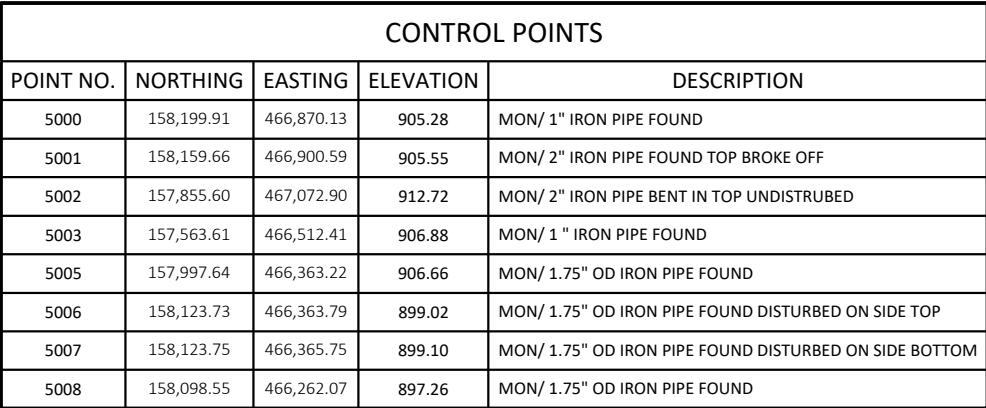
The General Contractor and sub contractors are responsible for coordinating with product manufacturers, suppliers, and installers to ensure that all applicable code provisions are complied with. Review the full Wisconsin Building Code for complete requirements.

THIS DOCUMENT, THE IDEAS AND DESIGNS INCORPORATED HEREIN AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF JEWELL ASSOCIATES ENGINEERS, INC. AND IS NOT TO BE USED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN AUTHORIZATION OF JEWELL ASSOCIATES ENGINEERS, INC.

Hillsboro Equipment
Mauston Retail Store
Mauston, Wisconsin

[illegible]

project number	Sheet
H85040	C2.0



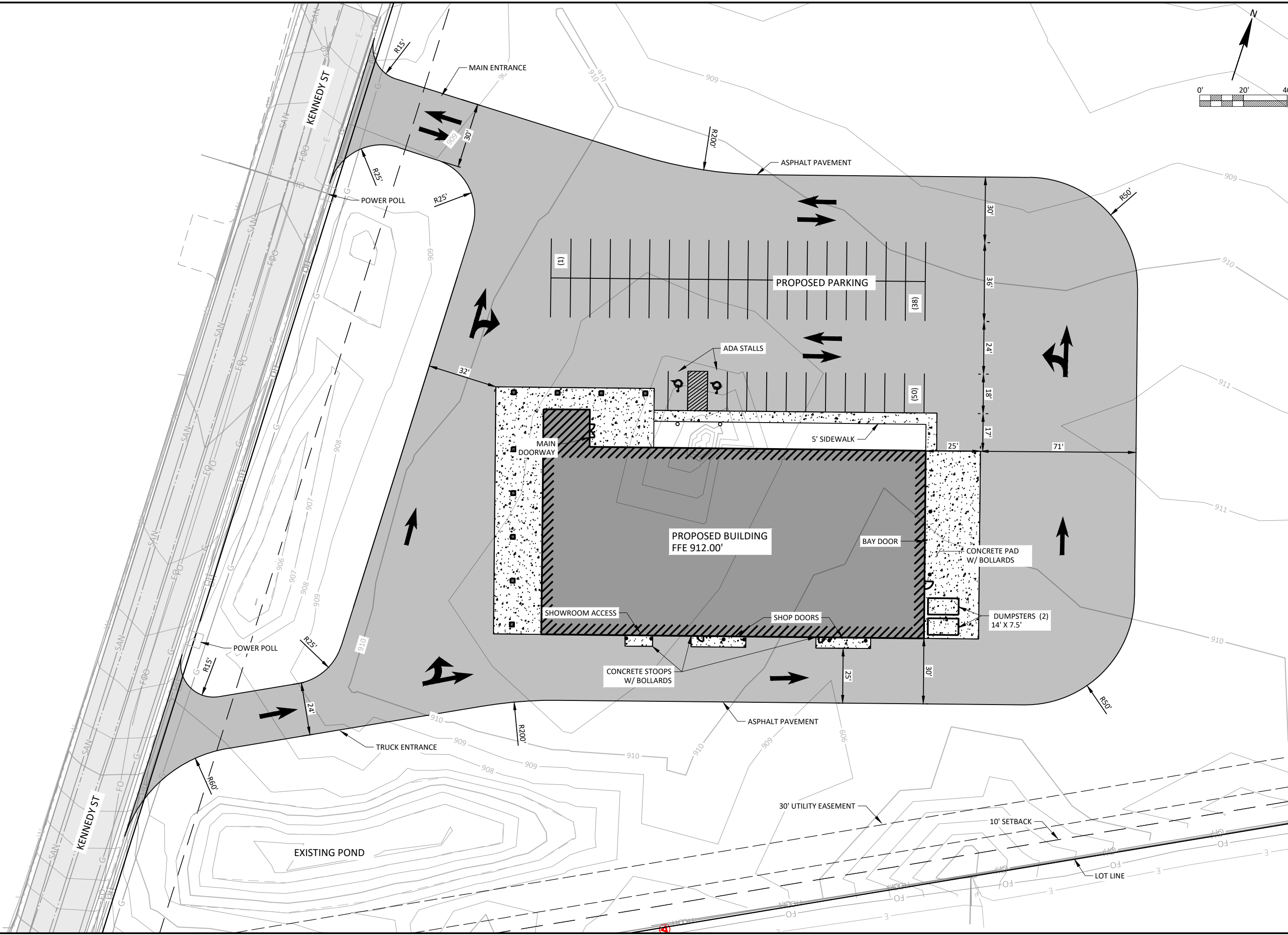
Hillsboro Equipment
Mauston Retail Store
Mauston, Wisconsin

Date
4-15-2024

[illegible]

Proposed Site

Project number	Sheet
485040	C2.1





1 Northeast Rendering
A0.3 1" = 100'-0"



2 Front Night Rendering
A0.3 $3/64" = 1'-0"$

Section 3, Item a.

JEWELL
associates engineer
Engineers - Surveyors - Architects

560 Sunrise Drive
Spring Green, WI 53588
phone: 608-588-7484
fax: 608-588-9322

THIS DOCUMENT, THE IDEAS AND DESIGNS INCORPORATED HEREIN AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF JEWELL ASSOCIATES ENGINEERS, INC. AND IS NOT TO BE USED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN AUTHORIZATION OF JEWELL ASSOCIATES ENGINEERS, INC.



Hillsboro Equipment
Mauston Retail Store
Mauston, Wisconsin

Date
4-15-2024

[illegible]

Drawing Name	Rendered Views
--------------	----------------

Project number	H85040	A0.3
----------------	---------------	-------------

11
A0.3

THIS DOCUMENT, THE IDEAS AND DESIGN INCORPORATED HEREIN AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF JEWELL ASSOCIATES ENGINEERS, INC. AND IS NOT TO BE USED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN AUTHORIZATION OF JEWELL ASSOCIATES ENGINEERS, INC.



Date
4-15-2024

[illegible]

Project number	
H85040	A2.0

3 South Elevation
A2.0 1/8" = 1'-0"



CHAPTER 114 ZONING APPLICATION FORM

I. APPLICANT INFORMATIONName: Joe DolezalAddress: PO Box 544 2613 west veterans parkway Marshfield WI 54449Telephone: 715-384-3184 715-305-9002 cell Fax: 715-384-5872**II. PROPERTY OWNER INFORMATION** (if different from Applicant)Name: Hillsboro Equipment/ Slama Commercial Properties LLCAddress: PO box 583 Hillsboro WI 54634Telephone: 608-489-2275

Fax: _____

III. CONSULTANT(S) INFORMATION (Applicant's Architect, Engineer, Developer, Builder)
(Attach additional sheets if necessary)Name: Jewell Associates Engineers, Inc Paul Kardatzke,Address: 560 Sunrise Drive Spring Green, WI 53588Telephone: 608-588-7484

Fax: _____

State License/Certification #: _____

Expiration Date: _____

IV. PROPERTY INFORMATIONAddress: Kennedy Street county of Juneau, no city addressTax Parcel #: pin 292510265 Attach a copy of the Owner's deed to the property.Approximate Cost of Project: \$4,000,000.00**V. ZONING APPLICATION** (Check the type(s) of application(s) you are submitting)

(Refer to Zoning Ordinance Chapter 114, Article. VIII: Procedures and Administration, for details)

(Checklist No.)

Amendment of Zoning Regulations (per Section 114-285)

1 ☐

Amendment to the Official Zoning Maps (per Section 114-286)

2 ☐

Zoning Permit for (check as appropriate)

Permitted Use (per Section 114-287) (May require site plan)

3 ☐

Conditional Use (per Section 114-288) (Requires site plan)

4 and 7 ☒

Temporary Use (per Section 114-289)

5 ☐

Sign Permit (per Section 114-290)

6 ☐

Site Plan Approval (per Section 114-291)

7 ☐

Zoning Certificate of Occupancy (per Section 114-292)

na ☐

Variance (per Section 114-293) (Requires site plan)

8 ☐

Ordinance Interpretation (per Section 114-294)

9 ☐

Appeal of Zoning Decision (per Section 114-295)

10 ☐

Creation of Planned Development District (per Section 114-296)

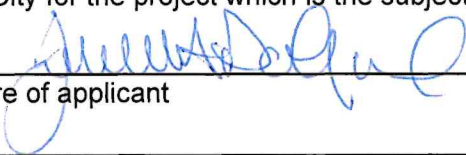
11 ☐

Other Permits/Licenses (D.P.W./Fire/Clerk)

12 ☐

VI. CERTIFICATION BY APPLICANT AND PROPERTY OWNER

I (We) hereby certify that the above and foregoing information, including any information on attached forms, documents or drawings submitted herewith, is true and correct. I (We) understand that the work proposed to be performed and the improvements proposed to be installed pursuant to this application, may not be commenced until an appropriate permit for such work and improvement has been issued by the City. I (We) understand that all work performed and improvements installed pursuant to this application, must conform with all applicable City Ordinances, State Building Codes, and the specific terms and conditions of the permit granted. I (We) understand that the submission of false or misleading information on this Application, or on the forms, documents or drawings submitted herewith, shall justify rejection of this application by the City, forfeiture of the fees paid herewith, and rejection of any future application to the City for the project which is the subject of this application.



Signature of applicant

04-15-24

Date

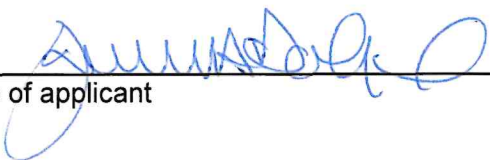
Signature of Property Owner (if different from Applicant)

Date

VII. AGREEMENT REGARDING PAYMENT OF REIMBURSABLE COSTS

1. The undersigned acknowledge that he/she/they have read the Ordinance 114-301(d), and understand and agree that he/she/they are the" applicant" as referred to in said Ordinance, and do hereby agree to comply with said Ordinance.
2. The undersigned agree that the submittal of this Application shall constitute an acknowledgment and agreement by the undersigned to pay the Reimbursable Costs referred to in Ordinance 114-301(d). These costs may include the cost of time spent by the City Staff and the Fees of Engineers, Architects, Landscape Architects, Urban Planners, Attorneys, Accounts, or other professional consultants used to review and evaluate the Application, and to meet with the Applicant, to review and evaluate the Site Plan, and to meet with the Developer, to meet with the Plan Commission, and to assist the City in all aspects of review and action upon the development proposed by the Site Plan.
3. The Undersigned agrees to pay these Reimbursable Costs as follows:
 - (a) In advance, such amounts as may be requested by the City, and
 - (b) Within ten (10) days of receipt of a bill(s) from the City, such additional amounts as may be requested by the City.

The City may delay acceptance or approval of any application, or may delay any required hearing or interim administrative action on any application, until such time as such costs are paid.



Signature of applicant

04-15-24

Date

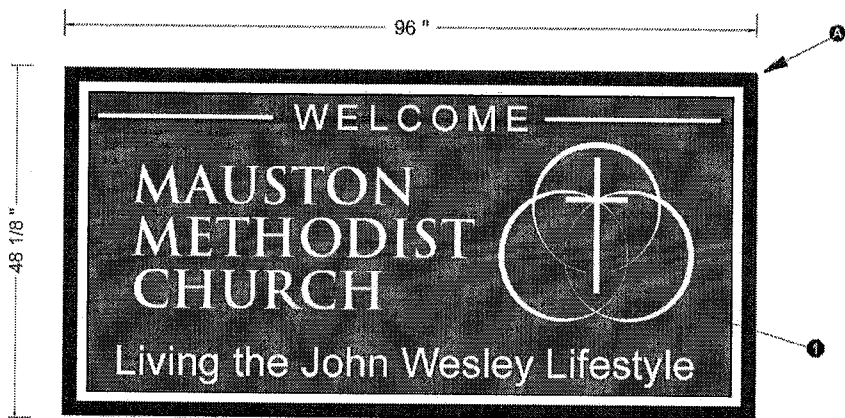
Signature of property owner (if different from applicant)

Date

WALL SIGN.

SPECIFICATION NOTES

A WALL SIGN.



Approved by: *Dan D. Trojanski* Date: 3/28/2024 Landlord: n/a Date:

This drawing is a copyright and may not be reproduced without permission. All rights reserved. All other trademarks are the property of their respective owners.

DESIGN

SALES

FILE

COLOR KEY

NUMBERS MATCH ARE ONLY A REPRESENTATION. ACTUAL COLOR OF PRINTING MAY VARY.



ONALASKA | MADISON | EAU CLAIRE
1450 Oak Forest Drive • Onalaska, WI 54650 • 608-791-1450
2242 Mustang Way • Madison, WI 53718 • 608-222-5393
2502 Mabey Street • Eau Claire, WI 54703 • 715-835-6109

Drawing by: MICHAEL V JOLIN
Sign Type: VARIOUS SIGNS.
Date Created: 12/20/2023
Last Modified: 2/13/2024
Scale:

Job Name: ART 123120 1 WALL
Job: 420 SUSZYCKI DRIVE
Address: MAUSTON WI, 53948
Sales Consultant: JAMES FUCHSEL
Job Number: #123120

Job File Location:
S:\Madison Division\01\DeForest
Area Historical Society\121624
Post & Panel

1 INTENSE BLUE TRANSLUCENT #3630-127
THE PMS MATCH IS PMS #300C



CHAPTER 114 ZONING APPLICATION FORM

I. APPLICANT INFORMATION

Name: Diane D. KropiwkaAddress: 1020 E. State St. Mauston* Telephone: 608-548-3334 Fax: mikendianet006@gmail.com

II. PROPERTY OWNER INFORMATION (if different from Applicant)

Name: Mauston Methodist ChurchAddress: 420 Suszycki Dr MaustonTelephone: same as applicant Email: mmc-office@mwst.netIII. CONSULTANT(S) INFORMATION (Applicant's Architect, Engineer, Developer, Builder)
(Attach additional sheets if necessary)Name: n/a

Address: _____

Telephone: _____ Fax: _____

State License/Certification #: _____ Expiration Date: _____

IV. PROPERTY INFORMATION

Address: 420 Suszycki Dr

Tax Parcel #: _____ Attach a copy of the Owner's deed to the property.

Approximate Cost of Project: \$4000 -V. ZONING APPLICATION (Check the type(s) of application(s) you are submitting)
(Refer to Zoning Ordinance Chapter 114, Article. VIII: Procedures and Administration, for details)

(Checklist No.)

Amendment of Zoning Regulations (per Section 114-285)

1 ☐

Amendment to the Official Zoning Maps (per Section 114-286)

2 ☒

Zoning Permit for (check as appropriate)

Permitted Use (per Section 114-287) (May require site plan)

3 ☐

Conditional Use (per Section 114-288) (Requires site plan)

4 and 7 ☒

Temporary Use (per Section 114-289)

5 ☐

Sign Permit (per Section 114-290)

6 ☒

Site Plan Approval (per Section 114-291)

7 ☐

Zoning Certificate of Occupancy (per Section 114-292)

na ☐

Variance (per Section 114-293) (Requires site plan)

8 ☐

Ordinance Interpretation (per Section 114-294)

9 ☐

Appeal of Zoning Decision (per Section 114-295)

10 ☐

Creation of Planned Development District (per Section 114-296)

11 ☐

Other Permits/Licenses (D.P.W./Fire/Clerk)

12 ☐

VI. CERTIFICATION BY APPLICANT AND PROPERTY OWNER

I (We) hereby certify that the above and foregoing information, including any information on attached forms, documents or drawings submitted herewith, is true and correct. I (We) understand that the work proposed to be performed and the improvements proposed to be installed pursuant to this application, may not be commenced until an appropriate permit for such work and improvement has been issued by the City. I (We) understand that all work performed and improvements installed pursuant to this application, must conform with all applicable City Ordinances, State Building Codes, and the specific terms and conditions of the permit granted. I (We) understand that the submission of false or misleading information on this Application, or on the forms, documents or drawings submitted herewith, shall justify rejection of this application by the City, forfeiture of the fees paid herewith, and rejection of any future application to the City for the project which is the subject of this application.

Diane D. Drosowka

4/23/04

Signature of applicant

Date

Trustee Chair

Signature of Property Owner (if different from Applicant)

Date

VII. AGREEMENT REGARDING PAYMENT OF REIMBURSABLE COSTS

1. The undersigned acknowledge that he/she/they have read the Ordinance 114-301(d), and understand and agree that he/she/they are the "applicant" as referred to in said Ordinance, and do hereby agree to comply with said Ordinance.
2. The undersigned agree that the submittal of this Application shall constitute an acknowledgment and agreement by the undersigned to pay the Reimbursable Costs referred to in Ordinance 114-301(d). These costs may include the cost of time spent by the City Staff and the Fees of Engineers, Architects, Landscape Architects, Urban Planners, Attorneys, Accounts, or other professional consultants used to review and evaluate the Application, and to meet with the Applicant, to review and evaluate the Site Plan, and to meet with the Developer, to meet with the Plan Commission, and to assist the City in all aspects of review and action upon the development proposed by the Site Plan.
3. The Undersigned agrees to pay these Reimbursable Costs as follows:
 - (a) In advance, such amounts as may be requested by the City, and
 - (b) Within ten (10) days of receipt of a bill(s) from the City, such additional amounts as may be requested by the City.

The City may delay acceptance or approval of any application, or may delay any required hearing or interim administrative action on any application, until such time as such costs are paid.

Diane D. Drosowka

4/23/04

Signature of applicant

Date

Trustee Chair

Signature of property owner (if different from applicant)

Date

THE CITY OF Mauston

City Staff Use Only:	Parcel # _____	Zoning Class _____
Date _____	Permit # _____	Fee _____
	Check _____	Cash _____

Property Address: 420 Suszycki Dr Mauston

Applicant Information:

Name: Diane D Kropiwka Phone: 608-548-3334
 Address: 1020 E. State, Mauston Fax: mikendiane1006@gmail.com

Owner Information:

Name: Mauston Methodist Church Phone: 608-847-6676
 Address: 420 Suszycki Dr Fax: mmc-office@mut.net

Information on Signs:

Current number of signs on parcel 2 Total square footage of current signs 100 ft (?)
 Proposed number of new signs 2 Total square footage of new signs 64 sq ft

What is the approximate cost of project: \$ 4000

Attach a dimensional drawing showing the following:

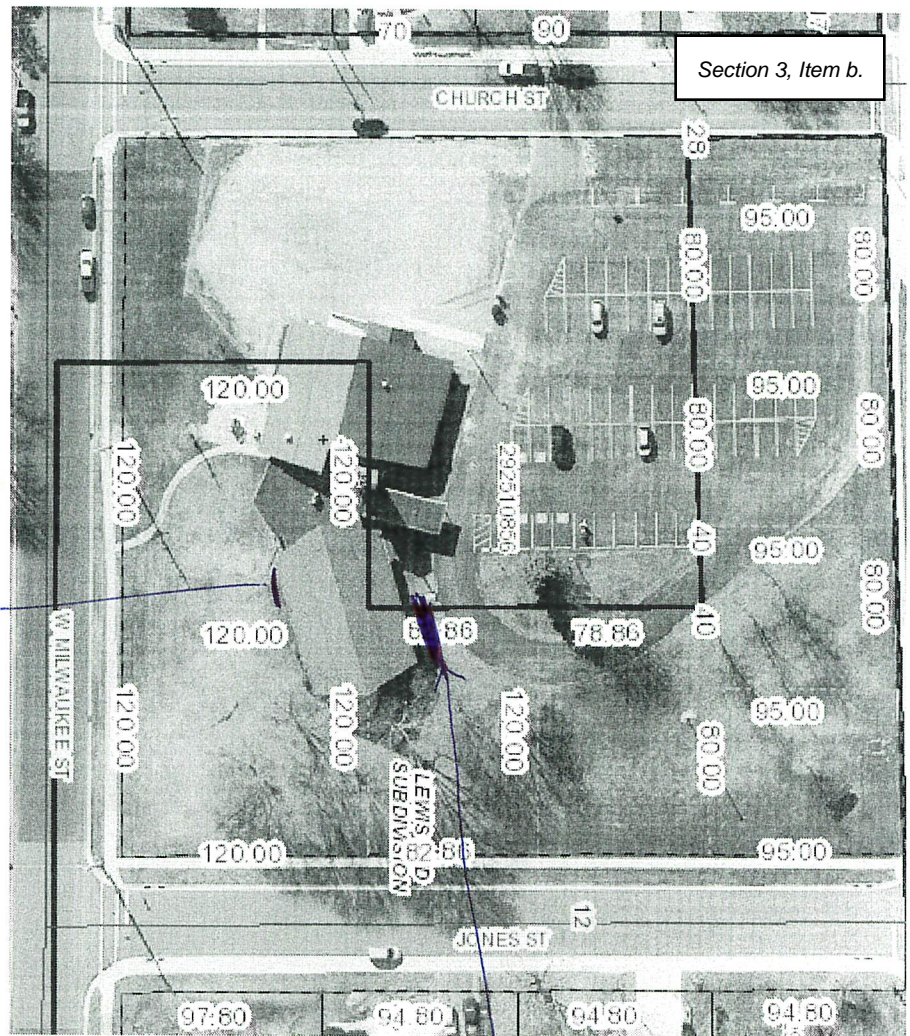
- 1) Dimensions of parcel for which permit is requested.
- 2) Location of existing structures, with distances measured from lot lines and from the approximate centerline of all abutting streets.
- 3) Location of existing and proposed signs on property.
- 4) Dimensional drawing of the signs.

Certification by Applicant:

I hereby certify that the above and foregoing information, including any information on attached forms or drawings, is true and correct. I will notify the City if any changes or modifications are made related to this application. I understand that the building and work described above shall conform to all applicable City Ordinances and State Building Codes. I understand that no structure may be placed within the limits of a street right-of-way or floodway/floodplain as shown on the official City map.

Diane D Kropiwka, Trustee Chair Date 4/23/2024
 Applicant Signature Diane D. Kropiwka Print Name

 Zoning Administrator Date _____



Both signs will be identical

existing 4x8 sign internally lit

Proposed 8x7 internally lit sign