

# CITY OF MACKINAC ISLAND

## AGENDA

### PLANNING COMMISSION

Tuesday, April 09, 2024 at 3:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

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**I. Call to Order**

**II. Roll Call**

**III. Pledge of Allegiance**

**IV. Approval of Minutes**

[a.](#) March 12, 2024 Minutes

**V. Adoption of Agenda**

**VI. Correspondence**

[a.](#) Cloverland Electric

**VII. Staff Report**

a. HDC Meeting Summary

b. REU Update

**VIII. Committee Reports**

a. Master Plan Update

**IX. Old Business**

[a.](#) R123-080-093 Lounsbury Site Condominium

[b.](#) R324-011-003 Barnwell Fence

[c.](#) HB21-001-099 Inn at Stonecliffe Sheds Amendment

**X. New Business**

[a.](#) C24-014-012(H) Sheplers Dock Security Equipment

[b.](#) C24-014-017(H) Sheplers Dock Modifications

[c.](#) HB24-028-015 MICT Voyager Exterior Renovations

**XI. Public Comment**

**XII. Adjournment**



**MINUTES**

**PLANNING COMMISSION**

**Tuesday, March 12, 2024 at 1:00 PM**

**City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan**

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**I. Call to Order**

The meeting was called to order at 1:01 PM.

**II. Roll Call**

**PRESENT**

Trish Martin

Jim Pettit

Michael Straus

Anneke Myers

Ben Mosley

Mary Dufina

**ABSENT**

Lee Finkel

STAFF: Erin Evashevski, Dennis Dombroski

**III. Pledge of Allegiance**

**IV. Approval of Minutes**

a. February 13, 2024 Minutes

Motion to approve the minutes as written.

Motion made by Mosley, Seconded by Myers.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina

**V. Adoption of Agenda**

Motion to approve the Agenda as amended. Amendment is to add Lounsbury to Old Business and April Meeting to New Business.

Motion made by Myers, Seconded by Pettit.  
Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina

## VI. Correspondence

### a. Cloverland Response Letter from Brian Lavey

Straus read the letter aloud. Myers wants to know what load is in the summer? We are to write back and ask about summer and winter. Myers stated we continue to grow and Cloverland needs to plan for that. Dufina suggested that maybe they have information on a house vs a hotel usage. Break usage down by month for the last two years. Myers would like to know where we were at when we had the black out in 2000. Dombroski said they added two new circuits in 2000. They also repaired three of the damaged circuits but they have a derated capacity. There are also more hotels now running A/C. Myers would like to know if Cloverland has any plans for expansion and the longevity of current cables. Forward this letter and our letter to City Council making them aware of the conversation. Pereny is to write back to Cloverland requesting the past two years usage, by month. Motion to place on file.

Motion made by Mosley, Seconded by Myers.  
Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina

## VII. Staff Report

### a. HDC Meeting Summary

The HDC meeting was rescheduled for March 21, 2024

### b. REU Update

Burt stated the following REU's are remaining for 2024: 3 residential available, 1.947 small commercial, 1.25 commercial, and 1 residential or boardinghouse.

Burt shared pictures of the construction site. Burt stated they have a tentative plan with state park on maneuvering the cement truck. Pettit asked about the schedule. Burt thinks they are about 2 weeks behind the original schedule.

Pettit added that at the last DPW meeting they were discussing rate increases to cover bond payments and an inspection for lead pipes that is required. They discussed different rates for residential and commercial. Employee housing also came up. Pettit was looking for clarification on employee housing. Is there a list of all employee housing? How can we tell if a house is employee housing? Myers said on the Planning Commission level the only way to know is if it has a special land use for employee housing. Myers suggested the building department come up with a list of houses with special land use. There was discussion on a property that has both residential and employee housing. Pettit also asked who enforces rules like the no

pet rule? Myers stated the Zoning administrator sends to the police department to issue a ticket. Straus appreciates the DPW looking in to different rates but realizes it is a difficult job. Dombroski stated there is very little difference between a hotel and a boardinghouse. Neal Liddicoat stated DPW does not have the same similarities between the two and DPW considers a boardinghouse a residential use.

## VIII. Committee Reports

### a. Master Plan Update

Myers provided an update to the last meeting. The Committee started on Goals and Policies and will continue with that at the next meeting. The next meeting is April 8 at 4 pm. Straus stated if anyone would like to review the existing land use map they can.

## IX. Old Business

### a. R123-080-093 Lounsbury Lot Split

Evashevksi stated that her concerns at last meeting under Article 24 stating any condominium project has to comply with all regulations of the zoning district. Under our ordinance it is subject to same requirements and limitations. The proposed condominium setbacks, density, and lot size do not comply with requirements even before being divided. Evashevski thinks the goal was to take something already out of compliance and make it a little better. This is not a situation for a variance. If we move forward with this and ignore this section of ordinance, Evashevski does not see how we would come back from it. Evashevski's recommendation is to deny because it does not meet the requirements of a subdivided lot. Evashevski suggested it might be something to look at at a committee level, and potentially with Adam Young. When reviewing she ran in to alot of questions. If one or both of the buildings ever need to come down they would be rebuilt in a more conforming manner. How do we keep track of this and allow? Neil Hill stated this started when his client asked him to find a way to divide a piece of property with two primary structures on it. According to our ordinance it is not two primary structures. Does Mackinac Island want these primary structures? If so, can you work within your rules to allow it. Hill feels this property is a good candidate for this. Hill's intention was to make any noncompliance, better. If one of the structures were to burn down tomorrow, the owner has the right to rebuild, as it is. Currently the structures are too close together. The owner would like the two structures to have two different owners. If this was approved, and one of the buildings was destroyed, the new structure would have to be moved to comply with the new restrictions, making it more compliant. Myers stated there were issues with other condos with master plan being changed. The City wasn't happy with that. Hill doesn't see why the City can't require that a master plan can't have a clause in it that would require that if something changes it would need to be reviewed by the City again. One of the Commissioners asked about the Davis and Bunker apartments. Dombroski stated that he thinks 8 or more variances were required. Evashevski talked to Marzella about that. Variances should be very specific and not recurring. Hill asked if the exact variances were determined for this property. Myers asked what they did with the McGreevy lot. Dombroski said that was a lot line adjustment, the parcels had already been split. Myers asked in overall picture given Hill's experience, should we send to lot split with

variances required, or condominiumize? Dufina said the situation only improves if one has to be rebuilt. Myers asked if others wanted to do this same thing is it good or bad? Hill stated that depends on what the community wants. Evashevski stated the approval of this would create a lot of issues. Straus asked if the approval could wait until the master plan update was done. Hill stated he did not know if the client could wait. Hill asked if there is a way to incorporate requirements from the city in the deed. Evashevski stated that is a good question but as of right now she knows of no ability to require that. If we wanted to look at changes to our ordinance we could do that. A problem is also, how would we remember that. If the condominium is approved, the condominium can be collapsed at any time. If that were to happen here, it would then go back to the original lots with one owner. Different scenarios were discussed if this was approved. Pettit asked Evashevski if there is a solution if she recommends not approving. Evashevski said a solution would be looking to see if we want to change our ordinance. Evashevski stated she would like to see it go to committee and also be reviewed by the Master Plan committee. Motion to table for 30 days, reach out to Adam Young with our conundrum, and allow Evashevski and Young to discuss. Dombroski read Section 5 of ordinance stating that they could not build a larger structure if current structure is destroyed.

Motion made by Myers, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina

## **X. New Business**

### **a. R124-019-010 Spitzer Porch Railing Replacement**

Dombroski stated that Dr. Spitzer is wise in replacing the railing because it is in bad shape. The proposed cable railing system is not new, it has been used. Dr. Spitzer stated that his number one concern is safety so he went with a system that was maximally safe. The railing is not really visible. The system itself is designed to be virtually invisible. Straus asked what deck is made of. Spitzer said a wood deck with a membrane over it, similar to what you use on a roof. The sections will be attached to the house by brackets. Myers believes the style is fitting with Spitzers relatively more modern home and not visible from the street or Stonebrooke. Dufina asked if there was anything between the cables. Dombroski stated there is the main post and then intermediate posts that add more stiffness to the cable. The cables cannot be pushed apart. Motion to approve noting it is not visible from the road and the style is fitting with Spitzers relatively more modern home and works on this home in particular.

Motion made by Myers, Seconded by Mosley.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina

### **b. R123-025-030 Steve Murray New Dock**

Dombroski said this is a reapplication for a dock off his lot in the Mission area. The dock is wood but a side elevation showing the height above the high water level was not shown. This originally was submitted in 2023 and was metal and wood. This

conflicted with the EGLE approval. The side elevation and lighting should be provided. Myers asked if there are any plans to put anything on the dock. Murray stated no. Murray said there is no power to the dock so no current plans to add lighting, but probably would in the future for safety reasons. Murray stated this was approved at City Council about three years ago but it was never done. Everything is the same as originally approved. Motion to table until end of meeting. for side elevation and EGLE approval.

Motion made by Myers.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina

At the end of the meeting Murray supplied the side elevation. Motion by Myers, second by Dufina to approve contingent on EGLE approval and any lighting changes.

Motion made by Myers, Seconded by Mosley.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina

c. R424-043-011 GFAK LLC Special Land Use

Corey Omev the architect was available for any questions. Evashevski stated article 19 must be reviewed.

Evashevski asked the applicant if they are applying for boardinghouse which is a special land use under R4, but wanted to bring up the issue it appears to be both multi family and boardinghouse. Evashevski stated that would be a separate special land use. Evashevski suggested the applicant work with Dombroski's office and see if it is currently allowed or done without permission. It was determined this would predate R4, so it would be legal non-conforming. Evashevski stated she needs to review article 5, legal non-conforming, to see if both need to be reviewed. It was determined that the applicant would move forward with employee housing land use, and do the multi family if needed. Motion to set a public hearing for May 14, 2024 at 3:30 PM.

Pettit confirmed the density. Buffering is also shown with landscaping and an existing fence with additional landscaping. Omev stated the summary is shown on page A05 regarding code requirements. Pettit asked what the allowable density is . Omev said up to 10 and the two apartments will be the owner and a long term employee. The whole area allows for 25 occupants, 10 units. Pettit asked if they would be willing to state a maximum number of occupants. Omev stated yes he would limit to 4 people on the deed. If any changes in the future owner would have to come back for review. Myers asked Katy Rise if pets are allowed. Rise stated the employee part would not allow pets. Myers asked the applicant to put this in writing for the hearing.

Motion made by Dufina, Seconded by Martin.  
Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina

Motion to change the April 9 meeting to 3:00 PM .

Motion made by Myers, Seconded by Martin.  
Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina

**XI. Public Comment**

Martin asked about the red house engineering study. Straus stated the homeowner did not allow the study because they felt the engineer would be bias.

Pettit asked about the May house falling in. HDC should also track that and send letter to owner.

**XII. Adjournment**

Motion to adjourn at 3:07 PM

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Michael Straus, Chair

Katie Pereny, Secretary





March 21, 2024

Mr. Michael Straus  
Chairman – Planning Commission  
City of Mackinac Island  
7538 Market Street, PO Box 455  
Mackinac Island, MI 49757

Dear Mr. Straus,

This letter is in response to your letter of March 13, 2024 asking on behalf of the City of Mackinac Island Planning Commission for a 2-year monthly breakdown/usage information for the island, usage data from the 2000 timeframe, the use/integrity of the cable from the 2000 incident, the longevity of the current system, and plans to update or expand service on Mackinac Island.

Attached to this letter are two documents (tables) that provide the usage information for; a) past 2-years monthly and b) the monthly data available from the 2002 timeframe (load data began being recorded in 2002).

Presently the cable system that failed from the 2000 incident remains in place, energized, although disconnected from the electrical network on Mackinac Island, yet quickly and efficiently available to be connected if system conditions warrant or would benefit service connection to the island. This cable has been identified to be retired and removed from the system at a future time that has yet to be determined. There currently are 2 other circuits (cables) that were subsequently installed in the 2000 timeframe (2000 and 2001) that provide electrical service to Mackinac Island. The longevity of the current cable system is expected to be a minimum of 40-50 years under normal conditions. Life/longevity of such modern cable systems of the time are understood to extended beyond this time with the fact that the cables are in freshwater vs saltwater, use of thermal sand for buried portions, exist within naturally cooler water/soil temperatures, and sustain normal electrical loading during their operational life.

Current plans to update or expand service on Mackinac Island are minimal presently, although we have a couple projects in developmental states that have not yet entered our construction work plan cycle. One is to update and expand the Pat Chambers switching station on Mackinac Island with modern switching equipment and electrical buss connectivity that can be remotely controlled in conjunction with system voltage upgrades. We just recently completed



improvements during 2023 replacing existing equipment controls with our standard (modern) control units that have greater remote control and communications of data from the station. While not on the island, there are multiple projects we are currently in the design stages of involving St. Ignace mainland electrical network that improve the reliability and the resiliency to serve Mackinac Island from alternative sources. These projects have been identified to be budgeted and enter our next construction work plan cycle. This is not to say that other improvements on the island will not be occurring. There are a select number of which will be primarily driven by existing member system improvements/requests directly related to those specific members that we are not permitted to share. Some of these projects further support the need for improvements at Pat Chambers and system voltage that were mentioned above.

Again, as requested in our letter in February, we would certainly appreciate any information such as a community/commission 'master plan' that can be shared with us in return.

Sincerely,

Mike Heise

Cc: Brian Lavey, Paul Warner, Katie Pereny (via email correspondence/transmittal)

Encl: Mackinac Island Loading

### Mackinac Island Loading

<b>Month</b>	<b>Total MWh</b>	<b>Peak MW</b>
Jan-22	4450	8.05
Feb-22	3983	7.91
Mar-22	3834	7.56
Apr-22	4103	8.85
May-22	4710	10.14
Jun-22	4534	9.39
Jul-22	4783	9.24
Aug-22	4722	9.40
Sep-22	4326	8.74
Oct-22	4813	10.78
Nov-22	2747	5.99
Dec-22	3610	6.69
Jan-23	3739	7.44
Feb-23	3672	8.32
Mar-23	3689	7.03
Apr-23	3789	8.46
May-23	4706	9.67
Jun-23	4645	10.03
Jul-23	4976	9.67
Aug-23	4804	9.33
Sep-23	4251	8.71
Oct-23	4814	9.57
Nov-23	3227	7.77
Dec-23	3364	8.23

### Mackinac Island Loading

<b>Month</b>	<b>Total MWh</b>	<b>Peak MW</b>
Jan-02	NA	6.28
Feb-02	NA	5.04
Mar-02	NA	7.41
Apr-02	NA	11.11
May-02	NA	12.12
Jun-02	NA	10.74
Jul-02	NA	10.90
Aug-02	NA	10.74
Sep-02	NA	9.68
Oct-02	NA	11.00
Nov-02	NA	5.44
Dec-02	NA	5.53
Jan-03	NA	6.53
Feb-03	NA	6.83
Mar-03	NA	6.28
Apr-03	NA	7.91
May-03	NA	11.23
Jun-03	NA	11.08
Jul-03	NA	11.39
Aug-03	NA	10.60
Sep-03	NA	10.71
Oct-03	NA	12.32
Nov-03	NA	5.14
Dec-03	NA	5.05





B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Existing Buildings ARE non-conforming due to Setbacks

Proposed Use: \_\_\_\_\_

Any Future change would require setback compliance

C. If Vacant:

Previous Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

STATE OF MICHIGAN            )  
COUNTY OF MACKINAC       ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Surveyor (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Neil W. Hill P.S.  
Signature

SIGNATURES \_\_\_\_\_  
Signature

Neil W. Hill P.S.  
Please Print Name

for

Rosemary Lounsbury  
Please Print Name

Signed and sworn to before me on the 31 day of January, 2024.

Kathryn Pereny  
Notary Public



Mackinac County, Michigan  
My commission expires: \_\_\_\_\_

**FOR OFFICE USE ONLY**

Zoning Permit Issued: \_\_\_\_\_

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised October 2023

**OFFICE USE ONLY**

FILE NUMBER: \_\_\_\_\_

FEE: 150.00

DATE: \_\_\_\_\_ CHECK NO: \_\_\_\_\_ INITIALS: \_\_\_\_\_

Revised October 2023



# City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

## Site Plan Review Checklist

### Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

### *Optional Preliminary Plan Review Informational Requirements (Section 20.03)*

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/> <i>NONE</i>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/> <i>N/A</i>	<input checked="" type="checkbox"/>

- 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.
- 13. Proposed construction start date and estimated duration of construction.
- 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission

Natural Features

Provided

Not Provided or Applicable

- 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)
- 16. Topography of the site with at least two- to five-foot contour intervals
- 17. Proposed alterations to topography or other natural features
- 18. Earth-change plans, if any, as required by state law

Physical Features

Provided

Not Provided or Applicable

- 19. Location of existing manmade features on the site and within 100 feet of the site
- 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site
- 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a

dwelling schedule showing the unit type and number of each such units

22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features



23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)



24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)



25. Description of Existing and proposed on-site lighting (see also Section 4.27)



Utility Information

Provided

Not Provided or Applicable

26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand



27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)



28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)



29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.

**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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**Architectural Review  
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

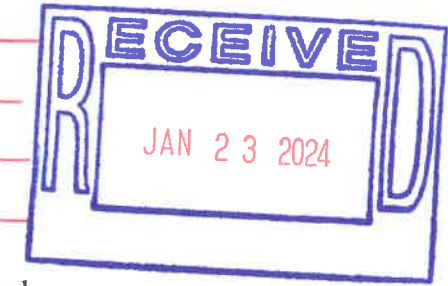
# Mahoney Place Condominium

File No. R123-080-093

Exhibit J

Date 1.29.24

Initials KP



Section IX, Itema.

Sheet 1 of 4  
Cover Page

A Site Condominium  
Exhibit B to the Master Deed

## Description

Lot 5, Block 7, Assessor's Plat No. 4, City of Mackinac Island, Mackinac County, Michigan, According to the recorded Plat thereof;

### In Addition:

Commencing at the Northeast corner of Lot 5, Block 7, Assessors Plat #4, City of Mackinac Island, Mackinac County, Michigan; Thence N 52°15'49" W 119.54 feet, (119' rec.) to the Northwest corner of Lot 5, and the Point of Beginning; Thence S 38°41'55" W 45.07 feet, along the Western boundary of Lot 5; thence N 51°18'05" W 3.30 feet; thence N 37°48'30" E 45.01 feet, 1' Northwesterly of an existing building wall; thence S 52°15'49" E 4.00 feet, along an extension of the North line of Lot 5, to the Point of Beginning;

### Subject to an Electrical Utility Easement:

Beginning at the Southern corner of Lot 5, Block 7, Assessors Plat #4, City of Mackinac Island, Mackinac County, Michigan; Thence N 51°47'06" W 16.00 feet, along the line between Lots 4 and 5; thence N 37°36'50" E 5.00 feet, parallel to the Eastern line of Lot 5; thence S 51°47'06" E 16.00 feet, parallel to the line between Lots 4 and 5; thence S 37°36'50" W 5.00 feet, along the Eastern line of Lot 5, to the Point of Beginning.

Subject to any Easements, Restrictions, or Reservations of Record.

Condominium Subdivision Plans shall be numbered consecutively when recorded in the Register of Deeds. This Condominium Plan shall be designated: Mackinac County Condominium Subdivision Plan No. \_\_\_\_\_

These 4 consecutive pages are to be known as Exhibit B to the Master Deed of the Mahoney Place Condominium, originally recorded in Liber \_\_\_\_\_ Pages \_\_\_\_\_ Mackinac County Records.

## Surveyor's Certificate

I, Neil W. Hill, Registered Land Surveyor of the State of Michigan, hereby certify,

That the subdivision plan known as Mackinac County Condominium Subdivision Plan No. \_\_\_\_ shown on the accompanying drawings, represents a survey on the ground made under my direction, that there are no existing encroachments upon the lands and property herein described.

That the required monuments and iron markers have been located in the ground as required by rules promulgated under section 142 of Act 59 of the Public Acts of 1978.

That the accuracy of this survey is within the limits required by the rules promulgated under section 142 of Act No. 59 of the Public Acts of 1978.

That the bearings, as shown are noted on the survey plan as required under section 142 of Act No. 59 of the Public Acts of 1978.

## Developer:

Rosemary Lounsbury,  
P.O. Box 387,  
Mackinac Island,  
Michigan, 49757

## Vicinity Map



## Prepared By:

Mackinac Country Land Surveys  
Neil W. Hill P.S.  
429 Ellsworth St  
St. Ignace, MI 49781

## Sheet Index

- 1.----Cover Sheet
- 2.----Survey Plan
- 3.----Existing Site & Utility Plan
- 4.----Future Site & Utility Plan

Mackinac Country Land Surveys  
429 Ellsworth St. ~ St. Ignace, MI 49781  
(906) 643-9418 www.MackinacSurveys.com



DATE: January 19, 2024

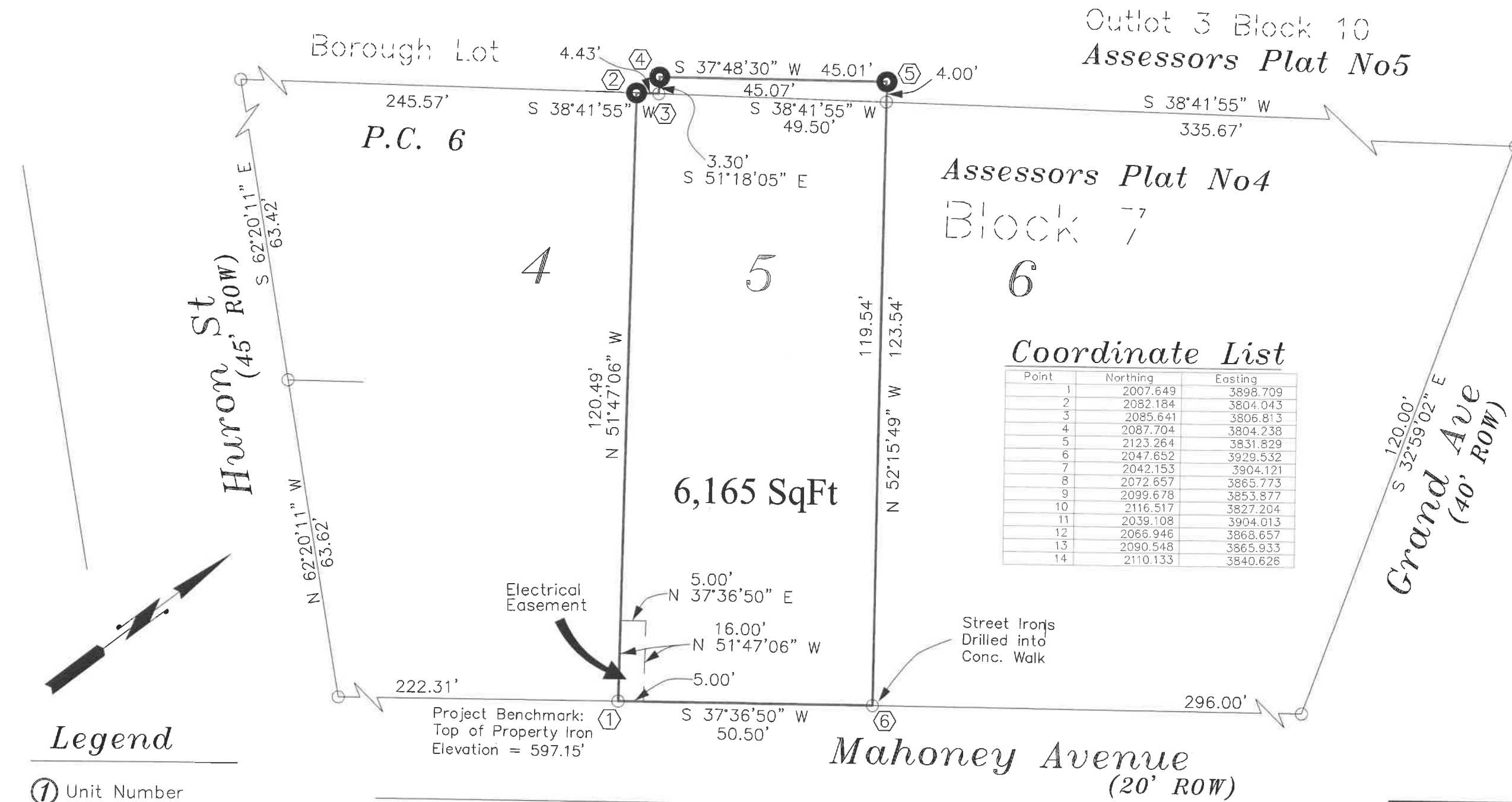
ORDER #: 23073-MC-5-BLK7-AP4-MI

DRAWN BY: Matthew B. Bliss

Neil W. Hill P.S.  
Professional Surveyor #50439

# Mahoney Place Condominium

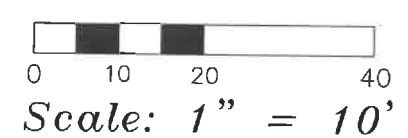
Section IX, Itema.  
Sheet 2 of 4  
Survey Plan



### Coordinate List

Point	Northing	Easting
1	2007.649	3898.709
2	2082.184	3804.043
3	2085.641	3806.813
4	2087.704	3804.238
5	2123.264	3831.829
6	2047.652	3929.532
7	2042.153	3904.121
8	2072.657	3865.773
9	2099.678	3853.877
10	2116.517	3827.204
11	2039.108	3904.013
12	2066.946	3868.657
13	2090.548	3865.933
14	2110.133	3840.626

- ### Legend
- ① Unit Number
  - ⬡ Coordinate Point
  - Found Iron
  - Set Iron #50439
  - ⊙ Set Concrete Monument
  - ⊠ Found Concrete Monument



Bearings, Elevations, & Coordinates based upon the Recorded 139NS-138 Condominium.

**Neil W. Hill P.S.**  
Professional Surveyor #50439

Mackinac Country Land Surveys  
 429 Ellsworth St. ~ St. Ignace, MI 49781  
 (906) 643-9418 www.MackinacSurveys.com

DATE: January 19, 2024  
 ORDER #: 23073-MC-5-BLK7-AP4-MI  
 DRAWN BY: Matthew B. Bliss



# Mahoney Place Condominium

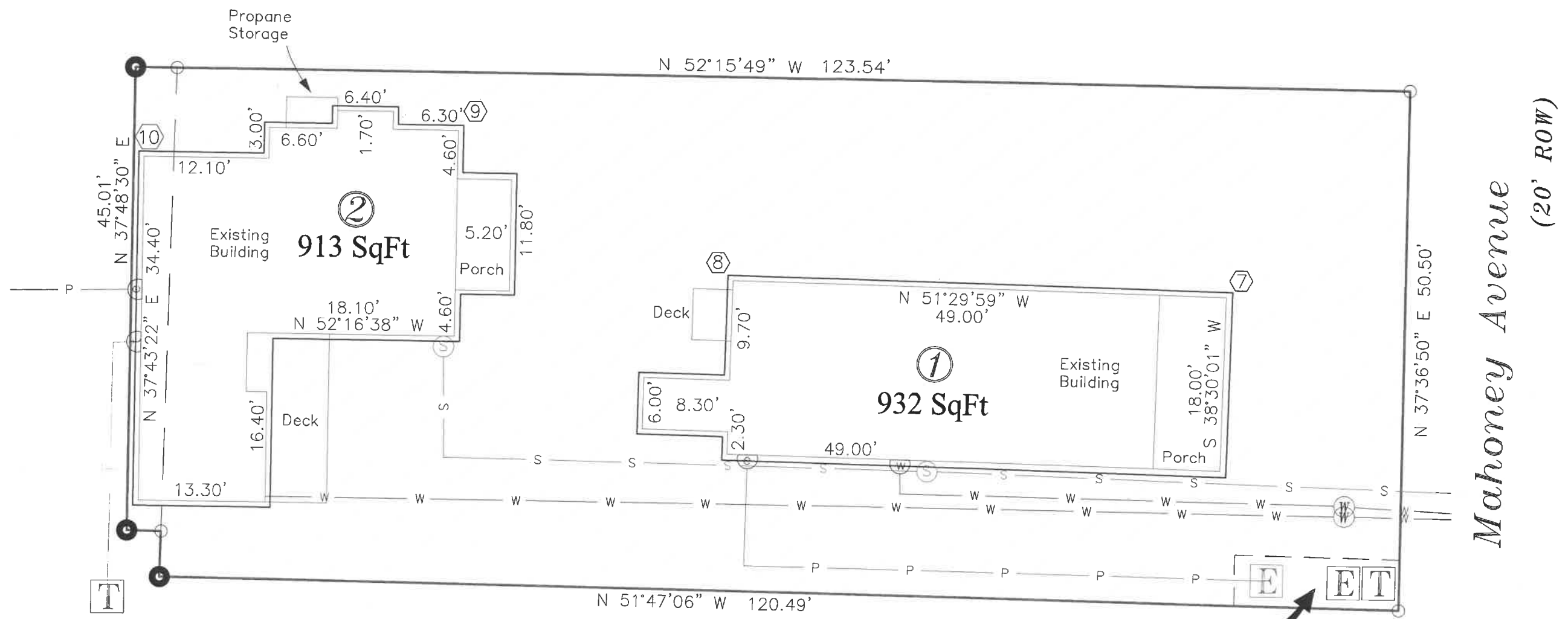
## Existing Building Envelopes

Sheet 3 of 4  
Existing Site, Section  
& Utility Plan

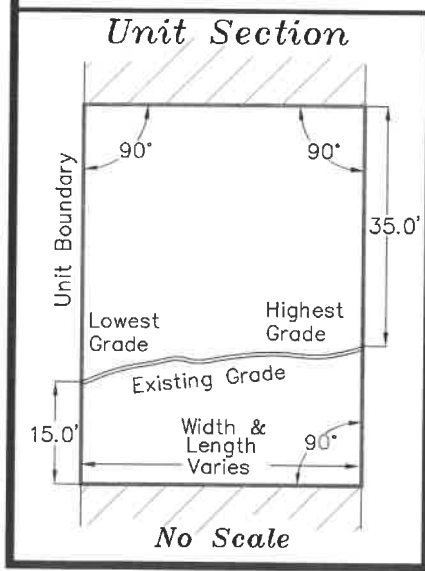
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DATE: January 19, 2024  
ORDER #: 23073-MC-5-BLK7-AP4-MI  
DRAWN BY: Matthew B. Bliss



Note:  
All Existing Building  
Envelope Angles Are  
90 Degrees



### Legend

- |   |                   |   |                   |   |                         |
|---|-------------------|---|-------------------|---|-------------------------|
| ① | Unit Number       | ① | Coordinate Point  | □ | Unit Areas              |
| P | Udg Power Line    | Ⓜ | Water Valve       | ▨ | General Common Elements |
| W | Udg Water Line    | ⓔ | Electrical Meter  |   |                         |
| S | Udg Sewer Line    | Ⓜ | Water Meter       |   |                         |
| T | Udg Telephone     | Ⓢ | Sanitary Cleanout |   |                         |
| Ⓢ | Sanitary Cleanout | Ⓣ | Telephone         |   |                         |
| Ⓟ | Power Pole        |   |                   |   |                         |
| ⓔ | Electric Trans    |   |                   |   |                         |
| Ⓜ | Fire Hydrant      |   |                   |   |                         |
| Ⓣ | Telephone Box     |   |                   |   |                         |



Scale: 1" = 5'

Neil W. Hill P.S.  
Professional Surveyor #50439

# Mahoney Place Condominium

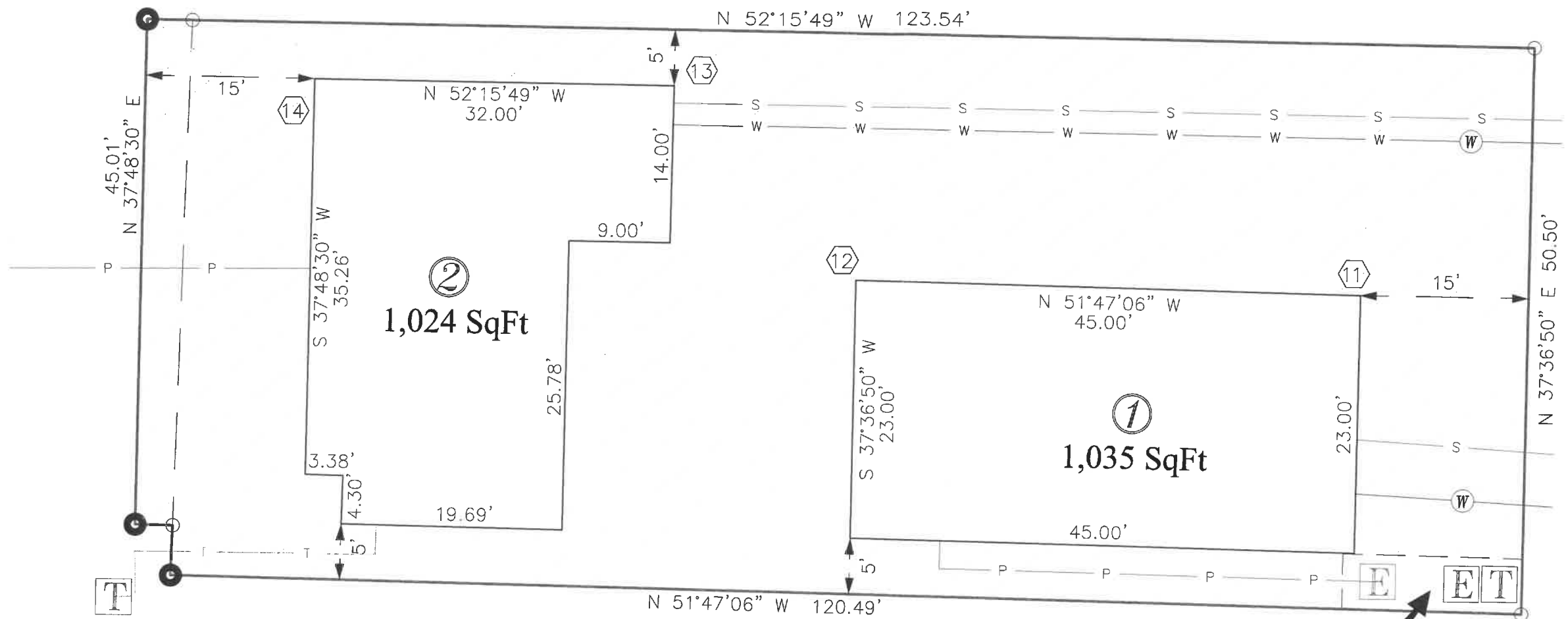
## Future Building Envelopes

Sheet 4 of 4  
Future Site, Section  
& Utility Plan

Mackinac Country Land Surveys  
429 Ellsworth St. ~ St. Ignace, MI 49781  
(906) 643-9418 www.MackinacSurveys.com



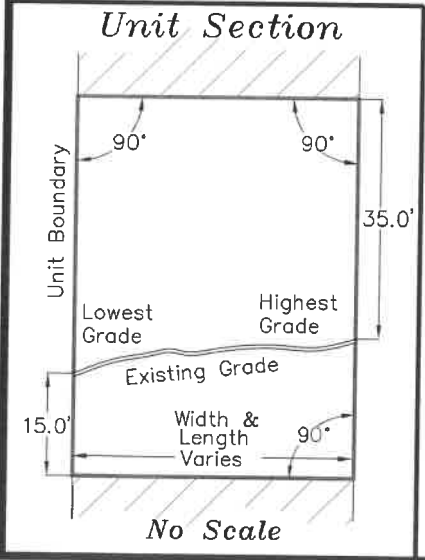
DATE: January 19, 2024  
ORDER #: 23073-MC-5-BLK7-AP4-MI  
DRAWN BY: Matthew B. Bliss



Mahoney Avenue  
(20' ROW)

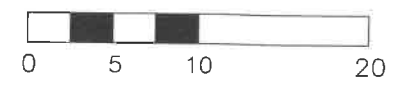
Note:  
Any combination of  
future building envelopes  
with existing building  
envelopes does not  
violate building setback  
or seperation guidlines.

Electrical  
Easement



### Legend

- |          |                   |          |                   |  |                            |
|----------|-------------------|----------|-------------------|--|----------------------------|
| <b>①</b> | Unit Number       | <b>①</b> | Coordinate Point  |  | Unit Areas                 |
|          | Udg Power Line    |          | Water Valve       |  | General<br>Common Elements |
|          | Udg Water Line    |          | Electrical Meter  |  |                            |
|          | Udg Sewer Line    |          | Water Meter       |  |                            |
|          | Udg Telephone     |          | Sanitary Cleanout |  |                            |
|          | Sanitary Cleanout |          | Telephone         |  |                            |
|          | Power Pole        |          |                   |  |                            |
|          | Electric Trans    |          |                   |  |                            |
|          | Fire Hydrant      |          |                   |  |                            |
|          | Telephone Box     |          |                   |  |                            |



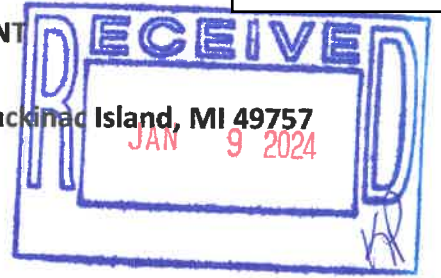
Scale: 1" = 5'

Neil W. Hill P.S.  
Professional Surveyor #50439



CITY OF MACKINAC ISLAND  
PLANNING COMMISSION & BUILDING DEPARTMENT  
APPLICATION FOR ZONING ACTION

906-847-6190 PO Box 455 Mackinac Island, MI 49757



APPLICANT NAME & CONTACT INFORMATION:

Mary Jane Barnwell  
1230 Mission St Mackinac Island  
231 881 2343 islandbookstore@gmail.com  
Phone Number Email Address

File No. R324. 011-003  
Exhibit A  
Date 1-9-24  
Initials KP

Property Owner & Mailing Address (If Different From Applicant)

Is The Proposed Project Part of a Condominium Association? No  
Is The Proposed Project Within a Historic Preservation District? No  
Applicant's Interest in the Project (If not the Fee-Simple Owner): Owner  
Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? No  
Is a Variance Required? No  
Are REU's Required? How Many? No

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other Fence Installation Request
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-500-011-00
- B. Legal Description of Property: [scribble]
- C. Address of Property: 1230 Mission St Mackinac Island, MI 49757
- D. Zoning District: R-3
- E. Site Plan Checklist Completed & Attached: \_\_\_\_\_
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) \_\_\_\_\_
- G. Sketch Plan Attached: \_\_\_\_\_
- H. Architectural Plan Attached: \_\_\_\_\_
- I. Association Documents Attached (Approval of project, etc.): \_\_\_\_\_
- J. FAA Approval Documents Attached: \_\_\_\_\_
- K. Photographs of Existing and Adjacent Structures Attached: \_\_\_\_\_

Proposed Construction/Use:

- A. Proposed Construction:  
 New Building  Alteration/Addition to Existing Building  
 Other, Specify \_\_\_\_\_
- B. Use of Existing and Proposed Structures and Land:  
Existing Use (If Non-conforming, explain nature of use and non-conformity):

R324. 011-003 1-9-24 \$150- KP

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Mary Jane Barnwell  
Signature

SIGNATURES \_\_\_\_\_  
Signature

Mary Jane Barnwell  
Please Print Name

\_\_\_\_\_  
Please Print Name

Signed and sworn to before me on the 2nd day of January, 2024.

K. RICKLEY, Notary Public  
Mackinac County, State of Michigan  
Acting in the County of Mackinac  
My Commission Expires: 10/21/2025

K. Rickley  
Notary Public

Mackinac County, Michigan  
My commission expires: 10/21/2025

**Katie Pereny**

---

**From:** Mary Jane <islandbookstore@gmail.com>  
**Sent:** Wednesday, March 6, 2024 9:15 AM  
**To:** Amanda Hunt via JobNimbus; Katie Pereny  
**Subject:** Re: I have a question about signing Estimate #1641

I just got the estimate for the red cedar fence with a 10 foot gate. It will resemble the fence I have now, and will only be on the Ferry Lane side of the yard. The original wood fence would remain.

What else exactly do you need before I can submit for approval?

Thanks,  
Mary Jane

Visit [www.islandbookstore.com](http://www.islandbookstore.com) throughout the year for Mackinac books and gifts!

On Tue, Jan 30, 2024 at 2:18 PM Mary Jane <islandbookstore@gmail.com> wrote:  
We will want the 3' height

On Tue, Dec 5, 2023 at 8:54 AM Amanda Hunt <jlhfence@jobnimbusmail.com> wrote:  
The pickets are 1.5" squares, and the material is vinyl.

I have sent over a contract for you to sign if you'd like to secure this project for Spring.

Thank you,

Amanda Hunt

JLH Fence

The picture on the top looks like it's not a 1 in.<sup>2</sup> picket. Can you give me the dimension of the picket?  
Is it aluminum?

On Dec 4, 2023, at 12:29 PM, Amanda Hunt <jlhfence@jobnimbusmail.com> wrote:

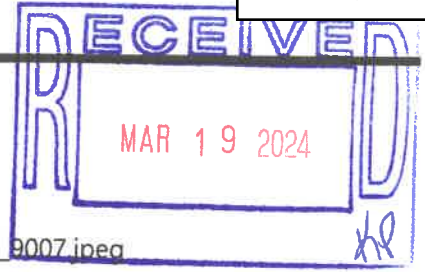
Absolutely, here you go.

Can I see a sample of the fence material?

Visit [www.islandbookstore.com](http://www.islandbookstore.com) throughout the year for Mackinac books and gifts!

[jnid:lpr6rte3u8le5nypqxgez6x]  
<12\_4\_23 12:29:00 PM.jpeg>

**Katie Pereny**



**From:** Mary Jane <islandbookstore@gmail.com>  
**Sent:** Monday, March 18, 2024 5:23 PM  
**To:** Katie Pereny  
**Subject:** Barnwell fence  
**Attachments:** IMG\_9105.jpeg; IMG\_9008.jpeg; IMG\_9006.jpeg; IMG\_9007.jpeg

I'm on vacation now but I can send some photos for the fence project. I'm not sure how perfect they have to be. The first is an overhead shot of where the gates will be and the width of the gate. The second shots are of the current fence. The proposed fence will be made of red cedar, stained white, with the exact dimensions and proportions as the front of the house. It should be a huge improvement.

I have the same layout I sent earlier that includes blueprint of the house and the yard, but it's on the island. Do I need to send that again?

Thanks,  
Mary Jane Barnwell

Visit [www.islandbookstore.com](http://www.islandbookstore.com) throughout the year for Mackinac books and gifts!

File No. R324.011.003  
Exhibit G  
Date 3.19.24  
Initials KP

RECEIVED  
Section IX, Itemb.  
MAR 19 2024



File No. R324-011-003

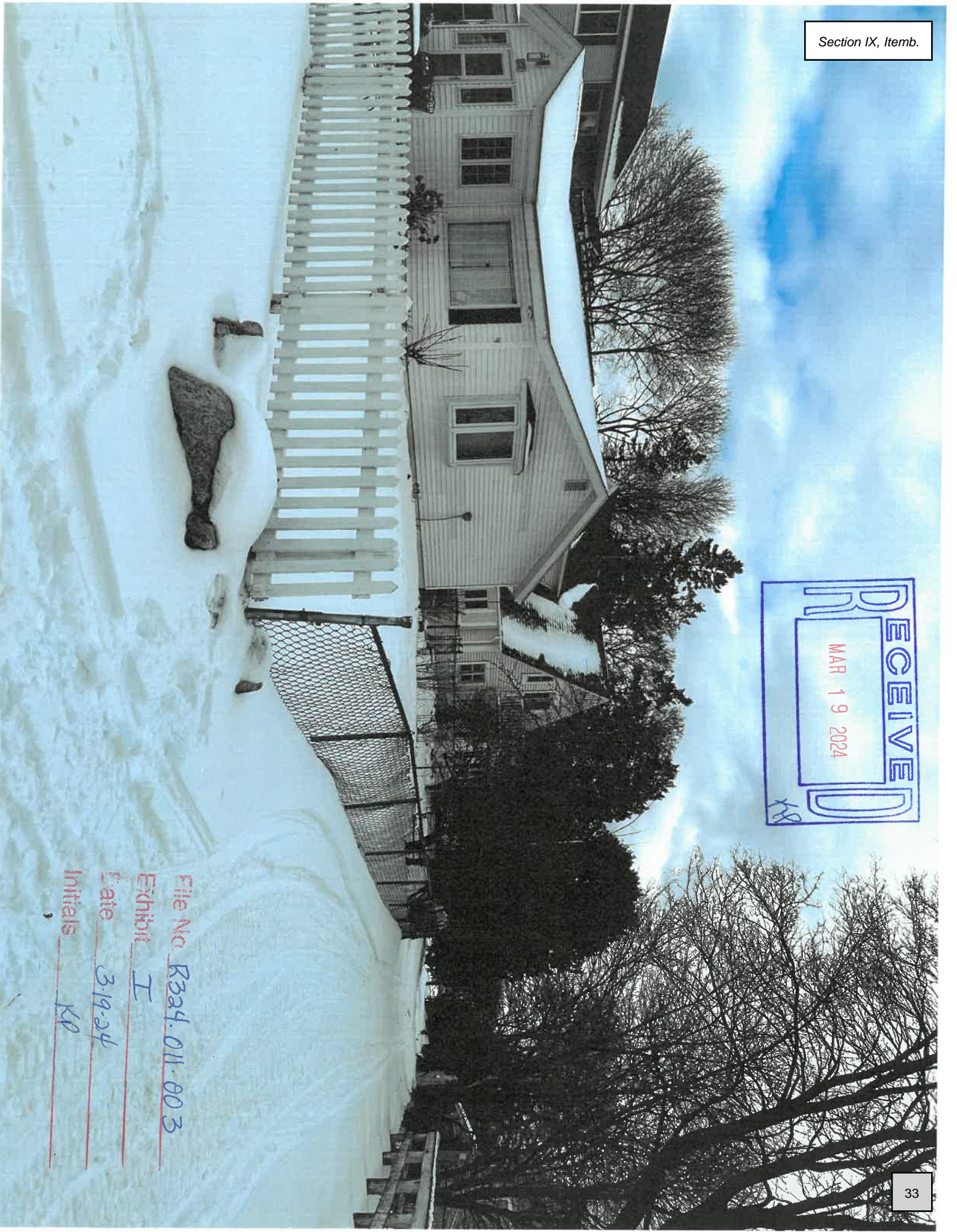
Exhibit H

Date 3-19-24

Initials KP



RECEIVED  
MAR 19 2024  
KJ



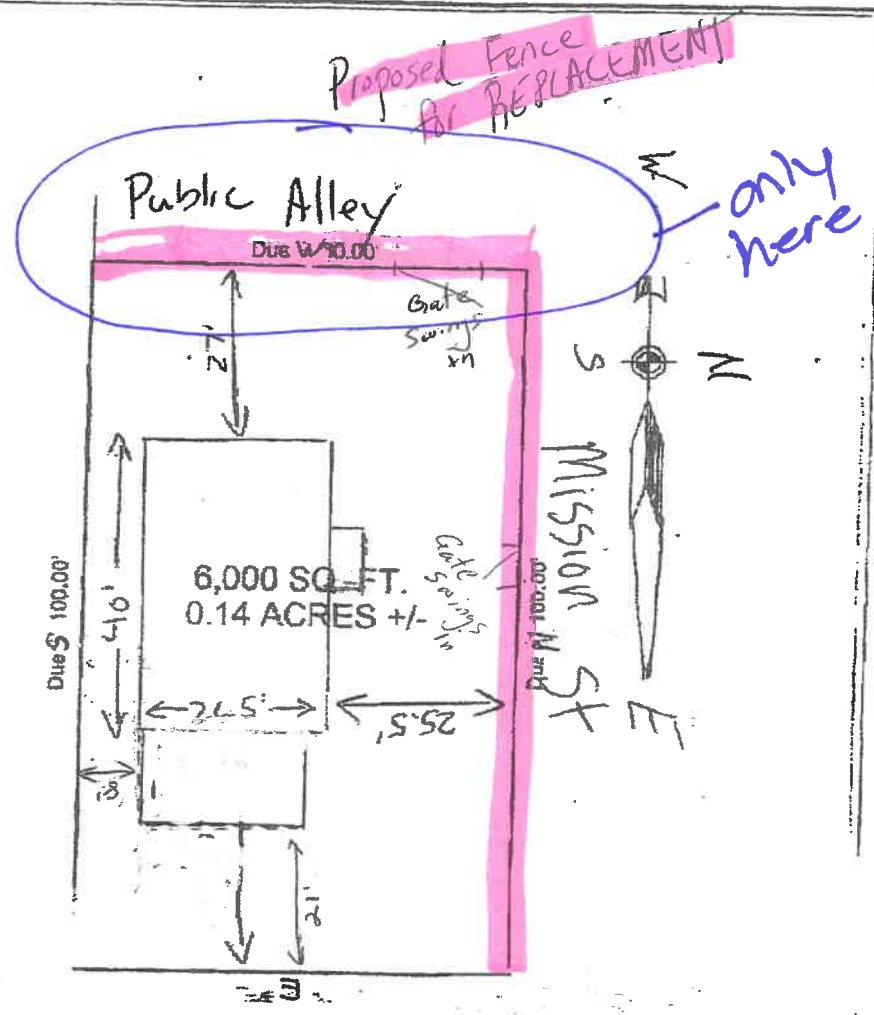
File No. R324.011.003  
Exhibit I  
Date 3.19.24  
Initials KJ





**FLOORPLAN**

Borrower: Mary Jane Barrwell	File No.: 093719
Property Address: 1230 Mission Street	Case No.: 509993
City: Mackinac Island	State: MI
Lender: National City Mortgage	Zip: 49757



**SITE SKETCH**

File No. R324-011-003  
 Exhibit B  
 Date 1-9-24  
 Initials KP

Set by Agent

Comments:

**Subject Site**  
 Beginning at a point of the Tract described by Metes and Bounds as follows:  
 THENCE Due North, a distance of 100.00 Feet;  
 THENCE Due East, a distance of 60.00 Feet;  
 THENCE Due South, a distance of 100.00 Feet;  
 THENCE Due West, a distance of 60.00 Feet to point of beginning;  
 Said tract containing 0.14 acres (6000.00 sqft.) of land, more or less.  
 Perimeter = 120.00 Feet  
 No significant error of closure.



MAR 26 2024

FOUNDATION COTTAGES LOT LEGAL DESCRIPTION:

PRIVATE CLAIM NO.2 COM AT THE NE'LY COR OF PC 2 TH S 32 DEG 51'45"W 4020.8 FT ALG SE'LY LINE OF PC 2 TO THE POB TH N 40 DEG 40'50"W 130.0 FT TH N 14 DEG 18'18"E 257.95 FT M/L TO S'LY LINE OF STONECLIFFE CONDO VI TH E'LY AND N'LY ALG CONDO BOUNDARY TO THE N LINE OF AN EASEMENT (282/163) TH E'LY ALG N LINE OF SAID EASEMENT TO THE E'LY LINE OF PC 2 WITH SAID POINT BEING S 32 DEG 51'45"W 3523.82 FT FROM THE NE'LY COR OF PC 2 TH S 32 DEG 51'45"W 200.0 FT M/L ALG SE'LY LINE OF PC 2 TO THE N LINE OF A PARCEL DESC IN 589 TH N 87 DEG 32'W 85.75 FT TH S 02 DEG 28'W TO SE'LY LINE OF PC 2 TH S 32 DEG 51'45"W ALG SE'LY LINE TO THE POB. PART OF PC 2.

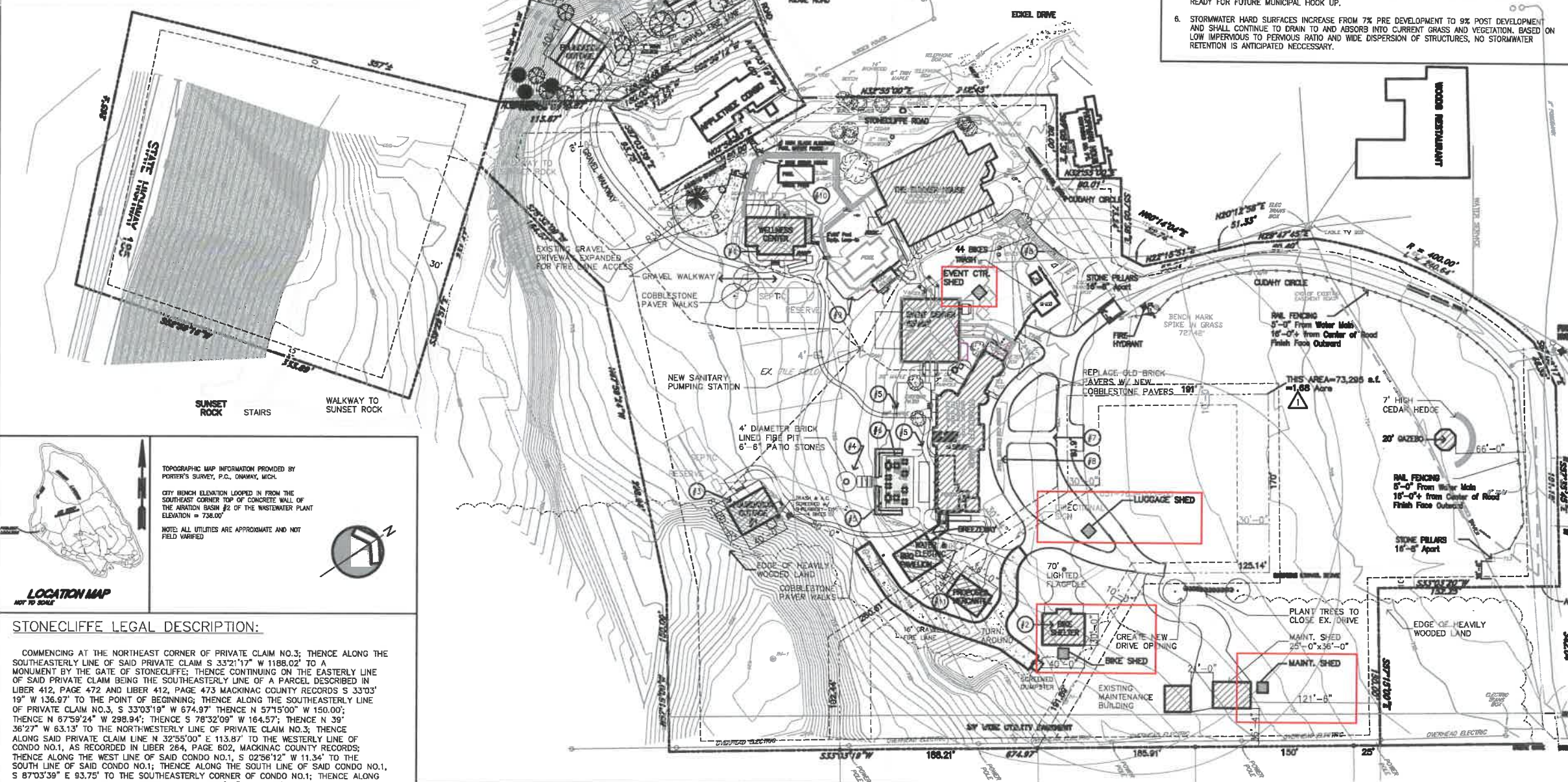
SEE PROJECT 4 DRAWING SET FOR DETAILS OF THIS AREA

SITE NOTES:

1. BICYCLE PARKING RACKS ARE PROVIDED AT THE COTTAGE AND AT THE SUMMERHOUSE AND AT THE BICYCLE PAVILION FOR THE MANSION. 1 BIKE SPACE PER BEDROOM.
2. SHRUBBERY SCREENED TRASH ADJACENT TO EACH COTTAGE. ALL TRASH FROM EACH STRUCTURE THEN GOES TO A CENTRAL TRASH COLLECTION POINT INTO A SHED WITHIN THE GATED UTILITY AREA.
3. LIGHTING - SEE INDIVIDUAL STRUCTURES FOR BUILDING LIGHTING, NO PATHWAY LIGHTING PROPOSED.
4. A.C. CONDENSERS - SEE INDIVIDUAL STRUCTURES FOR BUILDING COMPRESSORS DISGUISED W/ SHRUBBERY.
5. EACH STRUCTURE REQUIRING SANITARY SHALL INITIALLY BE ON ITS OWN HEALTH DEPT. APPROVED SEPTIC TANK AND FIELD AND ALSO BE PIPED TO A CENTRAL FUTURE PUMPING STATION LOCATION READY FOR FUTURE MUNICIPAL HOOK UP.
6. STORMWATER HARD SURFACES INCREASE FROM 7% PRE DEVELOPMENT TO 9% POST DEVELOPMENT AND SHALL CONTINUE TO DRAIN TO AND ABSORB INTO CURRENT GRASS AND VEGETATION. BASED ON LOW IMPERVIOUS TO PERVIOUS RATIO AND WIDE DISPERSION OF STRUCTURES, NO STORMWATER RETENTION IS ANTICIPATED NECESSARY.

LEGEND:

- KEY: = (1) →
1. ADDITION OF A WELLNESS CENTER BUILDING WHICH INCLUDES AN EXERCISE ROOM WITH HIS & HERS LOCKERS AND BATHROOMS.
  2. ADDITION OF A BICYCLE SHED
  3. ADDITION OF A FOUNDATION COTTAGE #1.
  4. ADDITION OF A PATIO WITH 4'x4' FIRE PIT AREA.
  5. CHANGE OUT REAR PAVER WALKWAYS & PATIOS WITH NEW COBBLESTONE PAVERS.
  6. ADD A SMALL WATER FEATURE FOUNTAIN TO THE EXISTING PATIO AREA OFF OF THE REAR COVERED LANAI.
  7. ADDITION OF A SECONDARY COBBLESTONE PAVER ARRIVAL LOOP FOR HORSE AND CARRIAGE TRAFFIC.
  8. REPLACE THE OLD PAVER DRIVE & WALKWAYS TO SUMMERHOUSE WITH NEW COBBLESTONE PAVERS.
  9. CUT BACK EXISTING POOL PATIO BY 12'. MOVE BACK PATIO DECK FENCE 12' WITH NEW ALUMINUM 4' HIGH BRONZE COLOR POOL FENCE.
  10. OUTDOOR POOL AT WELLNESS CENTER & MISC. LANDSCAPE FEATURES.
  11. PROPOSED MERCANTILE BUILDING.



TOPOGRAPHIC MAP INFORMATION PROVIDED BY PORTER'S SURVEY, P.C., OAKWAY, MICH.

CITY BENCH ELEVATION LOOPED IN FROM THE SOUTHEAST CORNER TOP OF CONCRETE WALL OF THE ABUTION BASIN #2 OF THE WASTEWATER PLANT ELEVATION = 738.00'

NOTE: ALL UTILITIES ARE APPROXIMATE AND NOT FIELD VERIFIED

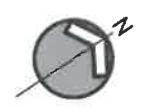
LOCATION MAP NOT TO SCALE

STONECLIFFE LEGAL DESCRIPTION:

COMMENCING AT THE NORTHEAST CORNER OF PRIVATE CLAIM NO.3; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID PRIVATE CLAIM S 35°21'17" W 1188.02' TO A MONUMENT BY THE GATE OF STONECLIFFE; THENCE CONTINUING ON THE EASTERLY LINE OF SAID PRIVATE CLAIM BEING THE SOUTHEASTERLY LINE OF A PARCEL DESCRIBED IN LIBER 412, PAGE 472 AND LIBER 412, PAGE 473 MACKINAC COUNTY RECORDS S 33°03'19" W 136.97' TO THE POINT OF BEGINNING; THENCE ALONG THE SOUTHEASTERLY LINE OF PRIVATE CLAIM NO.3, S 33°03'19" W 674.97' THENCE N 57°15'00" W 150.00'; THENCE N 87°59'24" W 298.94'; THENCE S 78°32'09" W 164.57'; THENCE N 39° 36'27" W 63.13' TO THE NORTH-WESTERLY LINE OF PRIVATE CLAIM NO.3; THENCE ALONG SAID PRIVATE CLAIM LINE N 32°55'00" E 113.87' TO THE WESTERLY LINE OF CONDO NO.1, AS RECORDED IN LIBER 264, PAGE 602, MACKINAC COUNTY RECORDS; THENCE ALONG THE WEST LINE OF SAID CONDO NO.1, S 02°56'12" W 11.34' TO THE SOUTH LINE OF SAID CONDO NO.1; THENCE ALONG THE SOUTH LINE OF SAID CONDO NO.1, S 87°03'39" E 93.75' TO THE SOUTHEASTERLY CORNER OF CONDO NO.1; THENCE ALONG THE EASTERLY LINE OF SAID CONDO NO.1, N 02°56'23" E 160.00' TO THE NORTHEASTERLY CORNER OF SAID CONDO NO.1; THENCE ALONG THE NORTH LINE OF SAID CONDO NO.1, N 87°03'19" W 8.00' TO THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO.3; THENCE ALONG THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO.3, N 32°55' 00" E 242.45' TO THE SOUTHWESTERLY LINE OF A PARCEL DESCRIBED IN LIBER 250, PAGE 204 AND LIBER 250, PAGE 229, MACKINAC COUNTY RECORDS; THENCE ALONG SAID SOUTHWESTERLY LINE S 57°05'38" E 80.00' TO THE SOUTHEASTERLY CORNER OF SAID PARCEL; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID PARCEL N 32°55'00" E 60.01' TO THE NORTHEASTERLY CORNER OF SAID PARCEL; THENCE S 57°05'38" E 73.24'; THENCE N 80°14'04" E 22.74'; THENCE N 22°15'51" E 53.51'; THENCE N 20°12'58" E 51.33'; THENCE N 29°47'45" E 60.40'; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 400.00', A DELTA OF 33°28'55", AN ARC LENGTH OF 233.52' AND A CHORD WHICH BEARS N 59°02'27" E 230.21'; THENCE S 83°08' 17" E 48.39' TO THE NORTHERLY LINE OF A 20' WIDE PRIVATE EASEMENT RECORDED LIBER 454, PAGES 366-369, MACKINAC COUNTY RECORDS; THENCE S 57°35'45" E 191.19' ALONG THE NORTH LINE OF SAID EASEMENT; THENCE S 33°03'20" W 20.00' TO THE NORTH-WESTERLY CORNER OF A PARCEL DESCRIBED IN LIBER 412, PAGE 472, AND LIBER 412, PAGE 473, MACKINAC COUNTY RECORDS; THENCE ALONG THE NORTHWESTERLY LINE OF SAID PARCEL S 33°03'19" W 152.25' TO THE SOUTHWESTERLY CORNER OF SAID DESCRIBED PARCEL; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL S 57°15'00" E 150.00' TO THE POINT OF BEGINNING, CONTAINING 10.32 ACRES, BEING SUBJECT TO ALL EASEMENTS OF RECORD, IF ANY, ALL BEING A PART OF PRIVATE CLAIM NO.3, T40N, R33W, CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN.

STONECLIFFE SITE PLAN NOTES:

1. PROPERTY ZONED HB HOTEL BOARDINGHOUSE.
2. MINIMUM LOT SIZE REQUIREMENTS; AREA SHALL NOT BE LESS THAN 7500 SQ. FT. W/ A MIN. WIDTH OF 80' AT THE BUILDING LINE.  
ACTUAL LOT SIZE = 8.64 AC (376,358 SF) LARGE PARCEL + 1.68 AC (73,181 SF) SMALL PARCEL = 10.32 AC (449,539 S.F.)
3. MINIMUM LOT REQUIREMENTS:  
FRONT = 30 FEET, SIDE = 10 FEET, REAR = 30 FEET.
4. NO BUILDING SHALL EXCEED 40 FEET OR 3 1/2 STORIES IN HEIGHT.
5. MAXIMUM LOT COVERAGE IS 40%  
ACTUAL LOT COVERAGE OF LARGE PARCEL IS 15.7% = 59,020 S.F. = ALL BUILDINGS, PATIOS, COBBLES, PATHS, WALKS DRIVES. (AN INCREASE OF 200 S.F. FOR TWO SHEDS)
6. ACTUAL LOT COVERAGE OF SMALL INTERIOR PARCEL IS 11.8% = 8,632, (AN INCREASE OF 200 S.F. FOR TWO SHEDS)
7. HOTEL UNITS:  
7.1. THE MANSION - 16 EXISTING HOTEL ROOMS  
7.2. THE SUMMERHOUSE - 31 EXISTING HOTEL ROOMS  
7.3. THE FOUNDATION COTTAGE - SINGLE FAMILY UNIT OR 1 HOTEL GUEST ROOM  
7.4. 16+31+1 = 48 TOTAL GUESTROOMS INCLUDING THE COTTAGE.
8. ALLOWABLE AND ACTUAL DENSITIES:  
-HOTELS: ALLOWABLE = 60 BEDROOMS PER ACRE = 60 x 8.64 ACRES = 518 ALLOWED.  
-HOTEL USE = 47-50 ACTUAL = 10% OF SITE UTILIZED AS HOTEL USE. THUS 90% OF SITE AVAILABLE FOR RESIDENTIAL USE.  
-DWELLING UNITS ALLOWED = 20 DWELLING UNITS PER ACRE x (8.64 ACRES x90%) = 155 ALLOWED, 1 PROPOSED.
8. AT LEAST 1 BICYCLE SPACE PER BEDROOM IS PROVIDED.



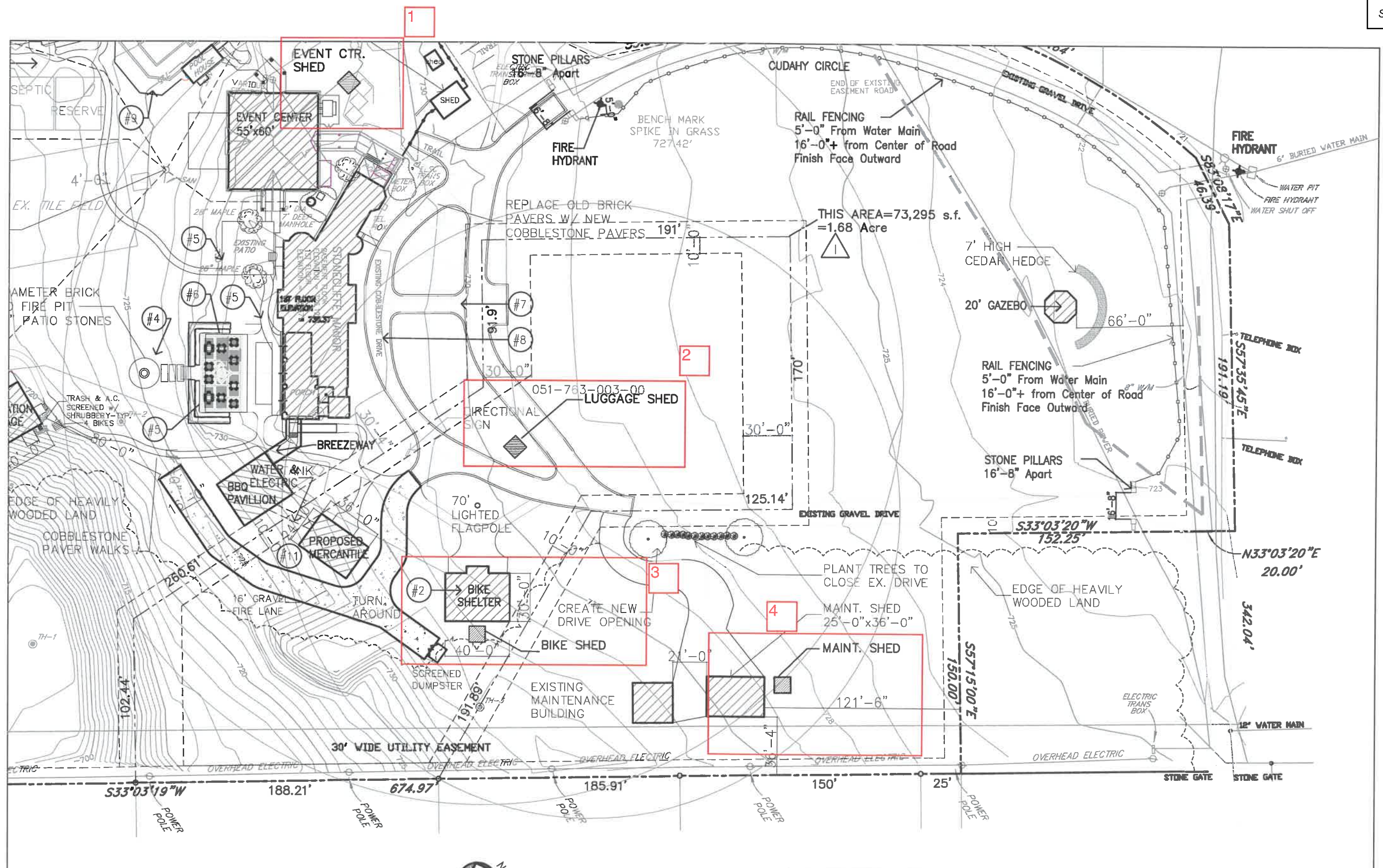
OVERALL SITE PLAN

Richard Clements Architect, PLLC  
1920 Merry Lane  
Oshtemo, MI 49799  
richard@rca23@livecom 989-370-3661

THE INN AT STONECLIFFE  
UTILITY SHEDS PROJECT  
8593 CUDAHY CIRCLE  
MACKINAC ISLAND, MI

date: Mar. 26, 2024	sheet:
project: 2131	A15.0
SITE PLAN	

File No. HB21-001-099  
Exhibit PPP  
Date 3.26.24  
Initials KP



ENLARGED PARTIAL SITE PLAN

Richard Clements Architect, PLLC 1929 Merry Lane Okemos, MI 49739 richard@rca2.com 989-370-3681	THE INN AT STONECLIFFE UTILITY SHEDS PROJECT 8593 CUDAHY CIRCLE MACKINAC ISLAND, MI	date: Mar. 26, 2024	sheet:
		project: 2131	A15.1
		ENLARGED SITE PLAN	© 2024



EVENT CENTER SHED

LUGGAGE SHED



BIKE PAVILLION SHED

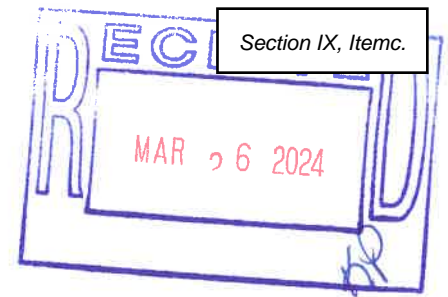
TYPICAL SHED-

- TYPICAL SIZE: 9'-11"x9'-11"
- ASPHALT SHINGLES
- PAINTED WOOD SIDING
- PAINTED WOOD DOUBLE DOORS

Richard Clements Architect, PLLC 13215 Mary Lane Oshtemo, MI 49759 richardcl@lva.com 989-570-5681	THE INN AT STONECLIFFE UTILITY SHEDS PROJECT	date: Mar. 28, 2024	sheet:
	8593 CUDAHY CIRCLE MACKINAC ISLAND, MI	project: 2131	A15.2
		PHOTOS	



File No. HB21-001-099  
Exhibit 000  
Date 3.26.24  
Initials KP



**Stonecliffe Properties LLC – Storage Shed Additions (Project 3 Addendum)**

**Project Description:**

This addendum includes the addition of ~98 SF storage sheds are areas that have been identified as “pinch points” in the operation of the resort, where a storage shed will help maintain the elevated look and feel of the renovated property. These are being strategically placed to blend in with their environment. These locations include:

- Carriage Driveway “Luggage Shed” –at the end of the new carriage driveway; to prevent luggage from being stored out in the open between carriages
- Bike Pavilion Shed – behind the new bike pavilion to store bicycle accessories, etc. needed for the bike rental operation
- Event Center Shed – in the ‘back of house’ area behind the new event venue, to be used for storing banquet tables, chairs, etc. can rather than stacking them inside the venue when not being used
- Maintenance Area Shed – one additional ‘utility’ shed that will be kept in the maintenance area for additional storage.

These sheds were ordered last Fall without a pre-determined location, knowing that some storage locations would be identified in the lead-up to opening the hotel. At the time they were ordered and delivered, we did not believe they required Planning Commission approval (due to their size). After consultation with Dennis Dombrowski, however, we are submitting these sheds now that we have determined their final locations and can add them to our overall site plan

Shed Description: 9’11 x 9’11 storage shed with LP Lap siding, wood double doors, and shingled roof. Two are white siding and two are green siding.

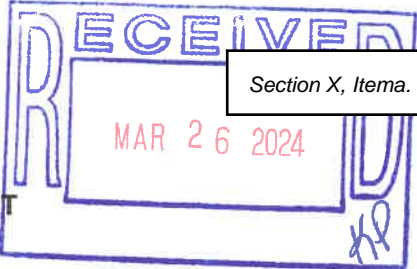
**Description of effect on adjoining lands:**

There will be no effect on any adjoining lands other than a better aesthetic for neighbors passing by, given that the sheds are much nicer looking than bags and materials being stored in an open location.

**Description of Operations:**

These storage sheds provide an enclosed location for storage of items required for the Resort’s operations (e.g., luggage, bicycle rental equipment, banquet equipment). The General Manager and Facilities Director will ensure that these small sheds are properly utilized and properly kept up.





Section X, Itema.

CITY OF MACKINAC ISLAND  
PLANNING COMMISSION & BUILDING DEPARTMENT  
APPLICATION FOR ZONING ACTION

[www.cityofmi.org](http://www.cityofmi.org)    [kep@cityofmi.org](mailto:kep@cityofmi.org)    906-847-6190    PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

JASON WILEY & CHRIS SHEPLER

231-436-5023    jason@sheplersferry.com  
Phone Number                      Email Address

Please complete both sides of application.  
The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

CHRIS SHEPLER                      556 E. CENTRAL AVE.  
MACKINAW CITY, MI 49701

- Is The Proposed Project Part of a Condominium Association?                      No
- Is The Proposed Project Within a Historic Preservation District?                      YES
- Applicant's Interest in the Project (If not the Fee-Simple Owner):                      ~~OWNER~~ Director of Operations
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?                      NO
- Is a Variance Required?                      NO
- Are REU's Required? How Many?                      NO / -

Type of Action Requested:

- Standard Zoning Permit                       Appeal of Planning Commission Decision
- Special Land Use                       Ordinance Amendment/Rezoning
- Planned Unit Development                       Ordinance Interpretation
- Other Installation of safety and security equipment

Property Information:

- A. Property Number (From Tax Statement): 051-440-014-00
- B. Legal Description of Property: See attachment                      File No C24-014-012(H)
- C. Address of Property: 7431 Main St.                      Exhibit E
- D. Zoning District: Commercial
- E. Site Plan Checklist Completed & Attached: Yes                      Date 3.26.24
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes                      Initials KP
- G. Sketch Plan Attached: N/A
- H. Architectural Plan Attached: N/A
- I. Association Documents Attached (Approval of project, etc.): N/A
- J. FAA Approval Documents Attached: N/A
- K. Photographs of Existing and Adjacent Structures Attached: See attachment

Proposed Construction/Use:

- A. Proposed Construction:
  - New Building                       Alteration/Addition to Existing Building
  - Other, Specify Safety and Security equipment

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Proposed Use: \_\_\_\_\_

C. If Vacant:

Previous Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

STATE OF MICHIGAN )  
COUNTY OF MACKINAC ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

Director of

The undersigned affirms that he/she or they is (are) the applicant and the Operations (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

[Signature]  
Signature

SIGNATURES \_\_\_\_\_  
Signature

JASON WILEY  
Please Print Name

\_\_\_\_\_  
Please Print Name

Signed and sworn to before me on the 2nd day of April, 2024.

MINDY ROGALA, Notary Public  
State of Michigan  
County of Cheboygan  
My Commission Expires 10/28/2028  
Acting in the County of Emmet

[Signature]  
Notary Public

Emmet County, Michigan  
My commission expires: 10/28/2028

**FOR OFFICE USE ONLY**

Zoning Permit Issued: \_\_\_\_\_

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised October 2023

**OFFICE USE ONLY**

FILE NUMBER: C24.014.012(H)

FEE: 400 + 250 penalty

DATE: 3.26.24

CHECK NO: 5090

INITIALS: KD

Revised October 2023

# City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

## Site Plan Review Checklist Please Submit With The Application for Zoning Action

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As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

---

### *Optional Preliminary Plan Review Informational Requirements (Section 20.03)*

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Legal description of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Present zoning classification of the subject parcel	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.
  
- 13. Proposed construction start date and estimated duration of construction.
  
- 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
19. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a	<input type="checkbox"/>	<input checked="" type="checkbox"/>



dwelling schedule showing the unit type and number of each such units

- 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
- 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
- 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
- 25. Description of Existing and proposed on-site lighting (see also Section 4.27)

Utility Information

Provided

Not Provided or Applicable

- 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand
- 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)
- 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)
- 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.

**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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**Architectural Review  
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

MAR 26 2024

Installation of (4) sets of SLS D-800 RFID Dock Doors (please see attachment for specs) to be installed at:

- 1. Head of the dock (West end where the wooden dock meets the concrete)
- 2. Ramp 1 – used to move people and belonging to both ports.
- 3. Ramp 2 – primary St. Ignace port ramp
- 4. Ramp 3 – primary Mackinaw City port ramp

The installation of this equipment will provide safety and security sensitive information on all items being shipped to and from Mackinac Island to either St. Ignace or Mackinaw City. Will also provide safety and security sensitive information on all items crossing the threshold from Shepler’s Mackinac Island dock and the City of Mackinac Island.

Each item being shipped will possess an RFID tag which is read when it passes through any of the (4) read zones being installed.

Currently, the color of the Dock Door unit is yellow for safety reasons but could possibly be painted for aesthetic reasons if SLS believes it won’t affect the integrity of the equipment. Also, there is a black insert placed within the metal frame that can be customized to reflect the “Shepler” brand if necessary for aesthetic purposes as well.

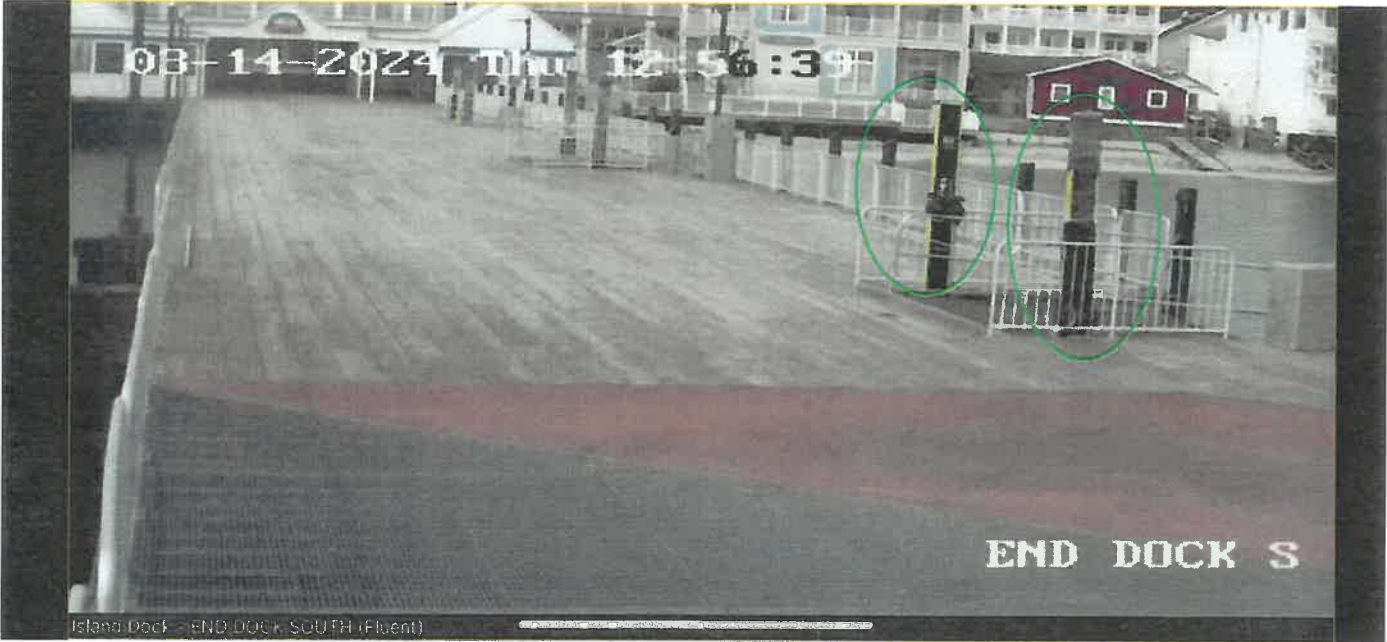
**\*\*The pictures below were taken from security cameras on 3.14.24. Currently, they’re wrapped in some protective plastic. \*\***

Head of Dock



File No. C24-014-012(LH)  
 Exhibit D  
 Date 3-26-24  
 Initials KP

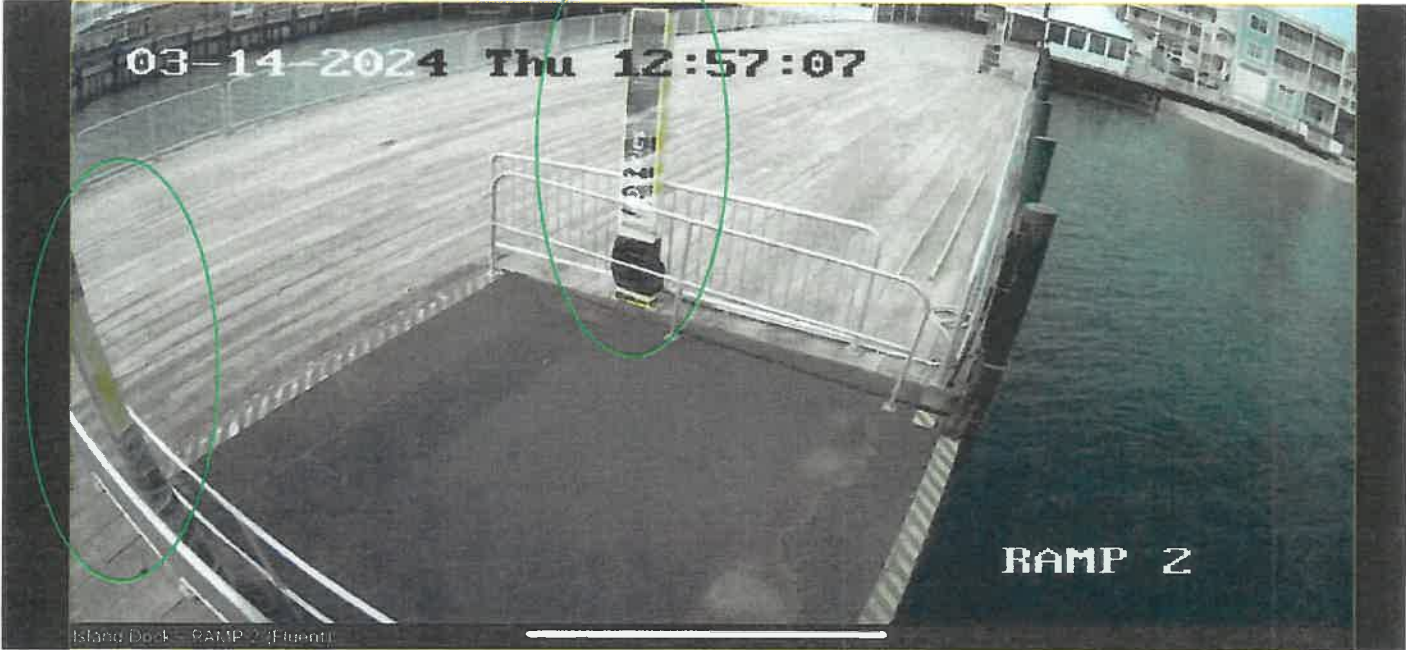
Ramp 3



Ramp 1



Ramp 2



Head of Dock pictures taken 3.26.24





Ramp1 Picture taken 3.26.24



Ramp 2 Picture taken 3.26.24



Ramp 3 Picture taken 3.26.24

Section X, Itema.

e No. cat. 014.0124

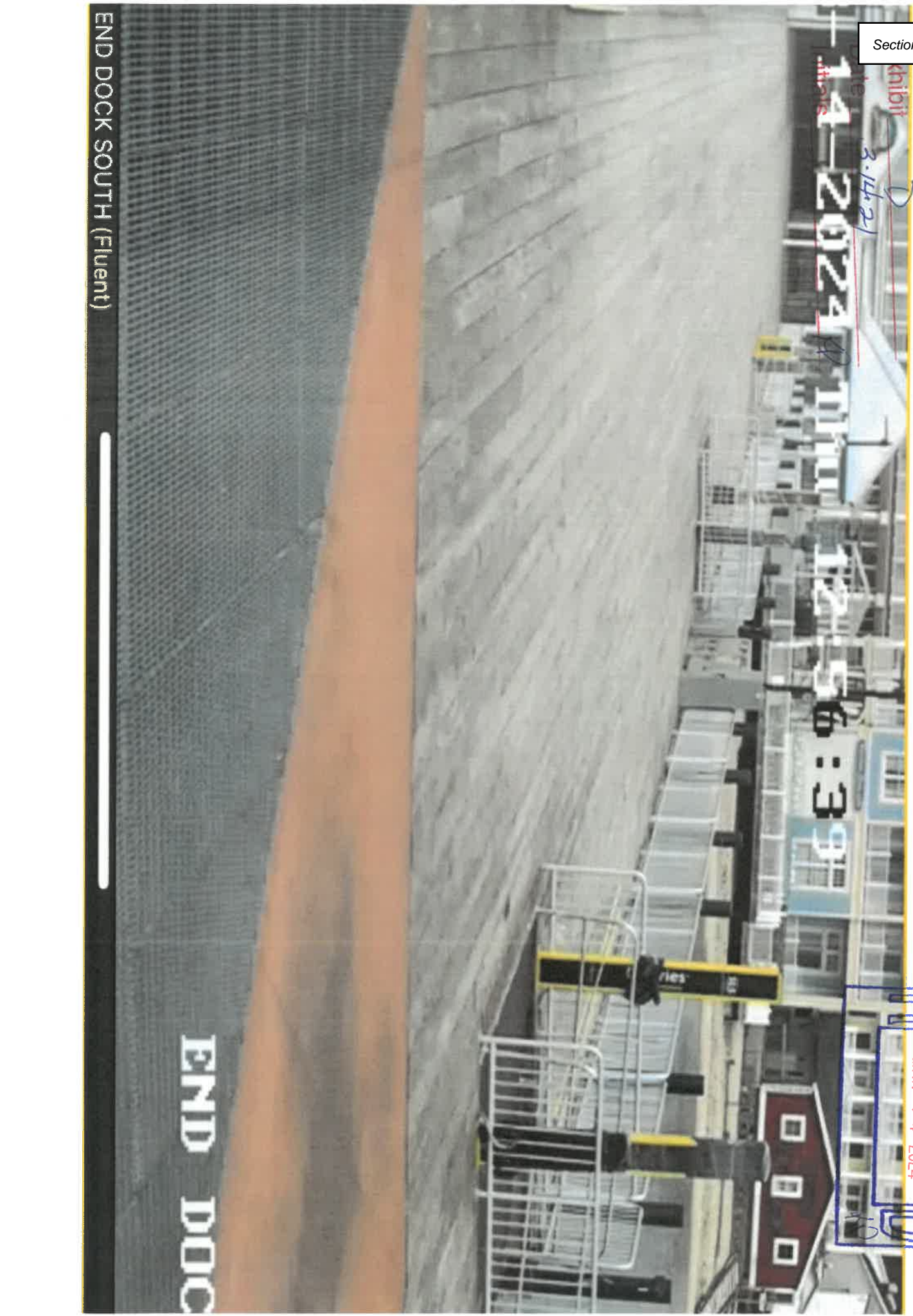
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14-2024

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MAR 14 2024

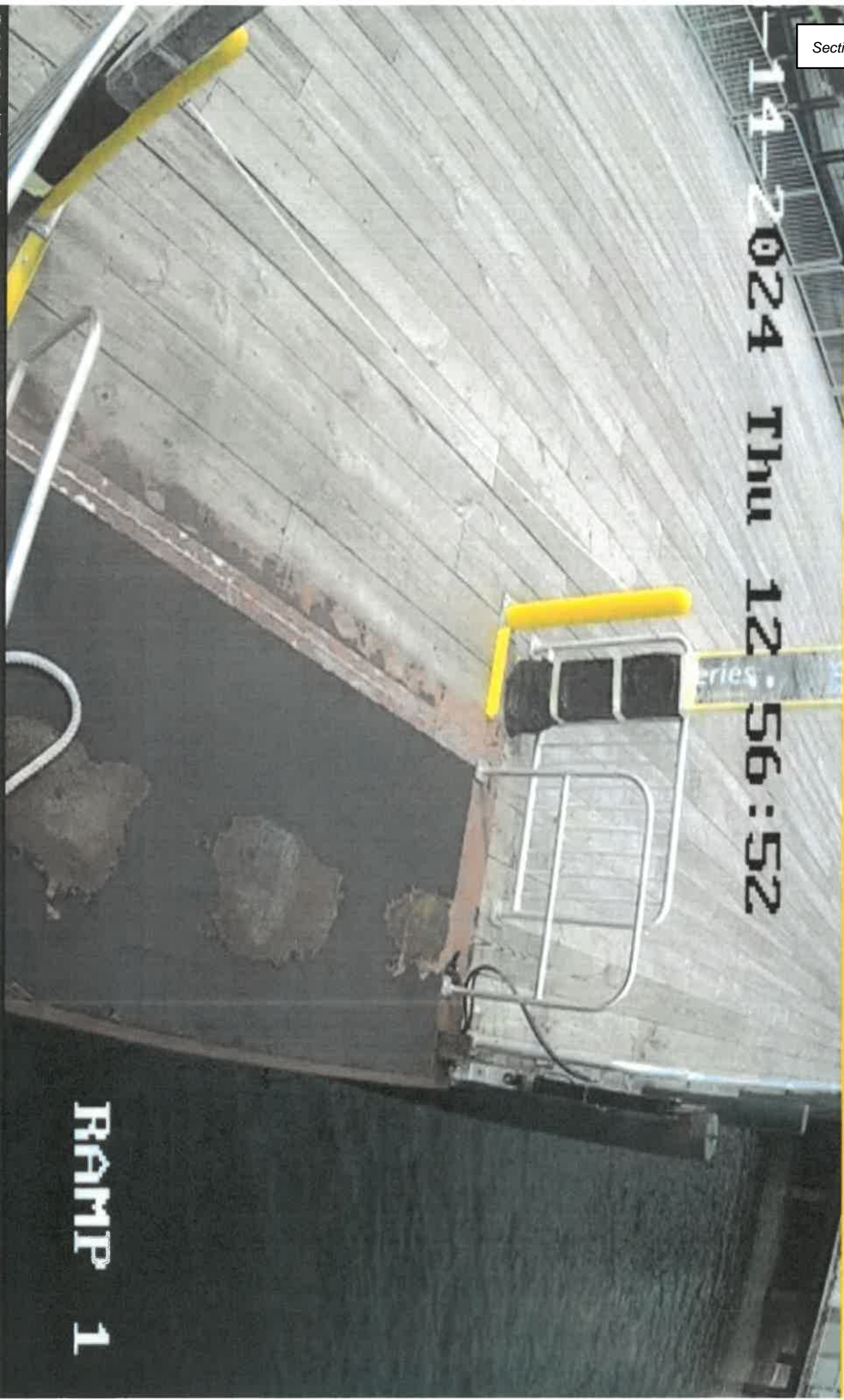
END DOCK SOUTH (Fluent)

END DOCK



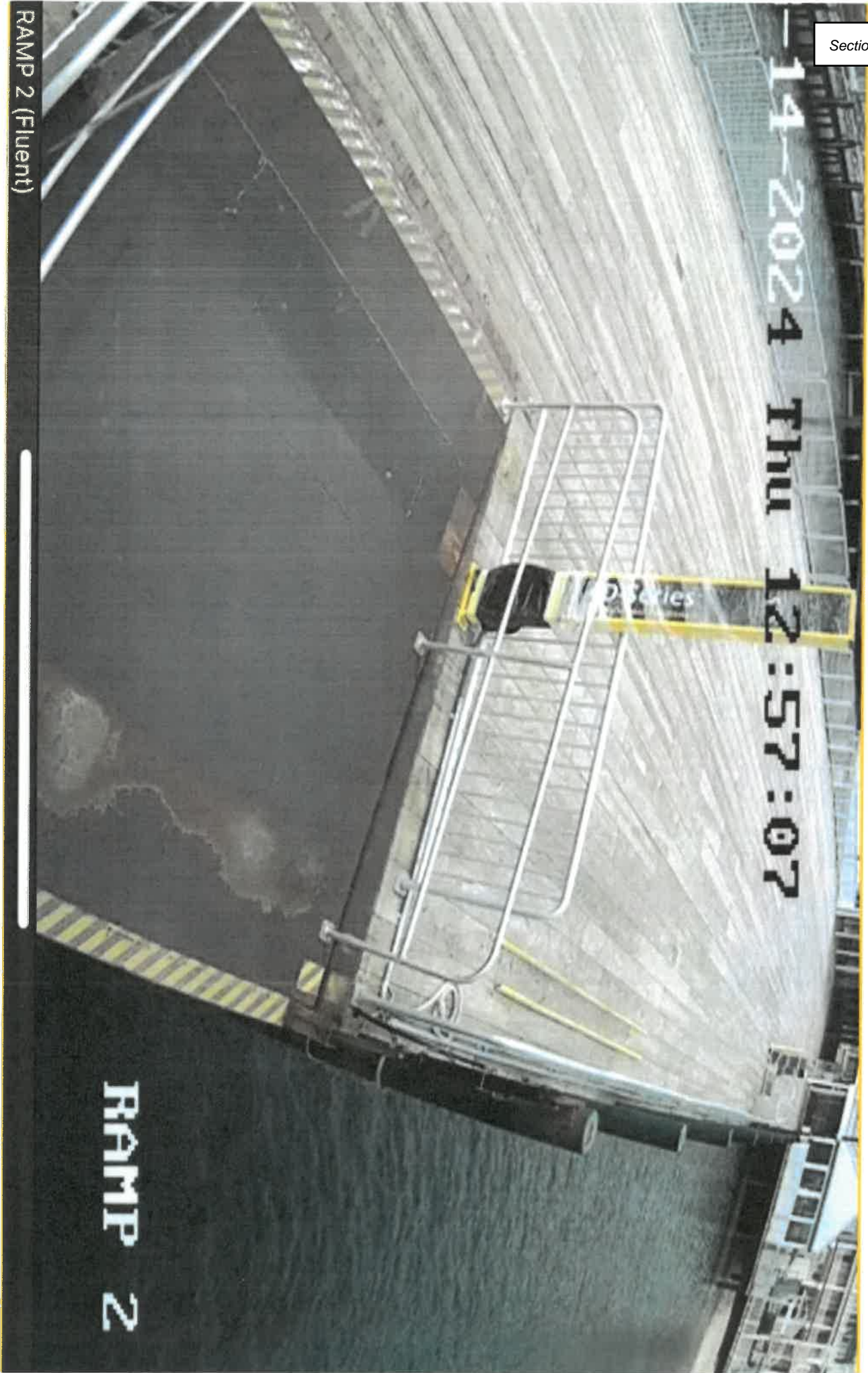


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RAMP 1 (Fluent)

RAMP 1



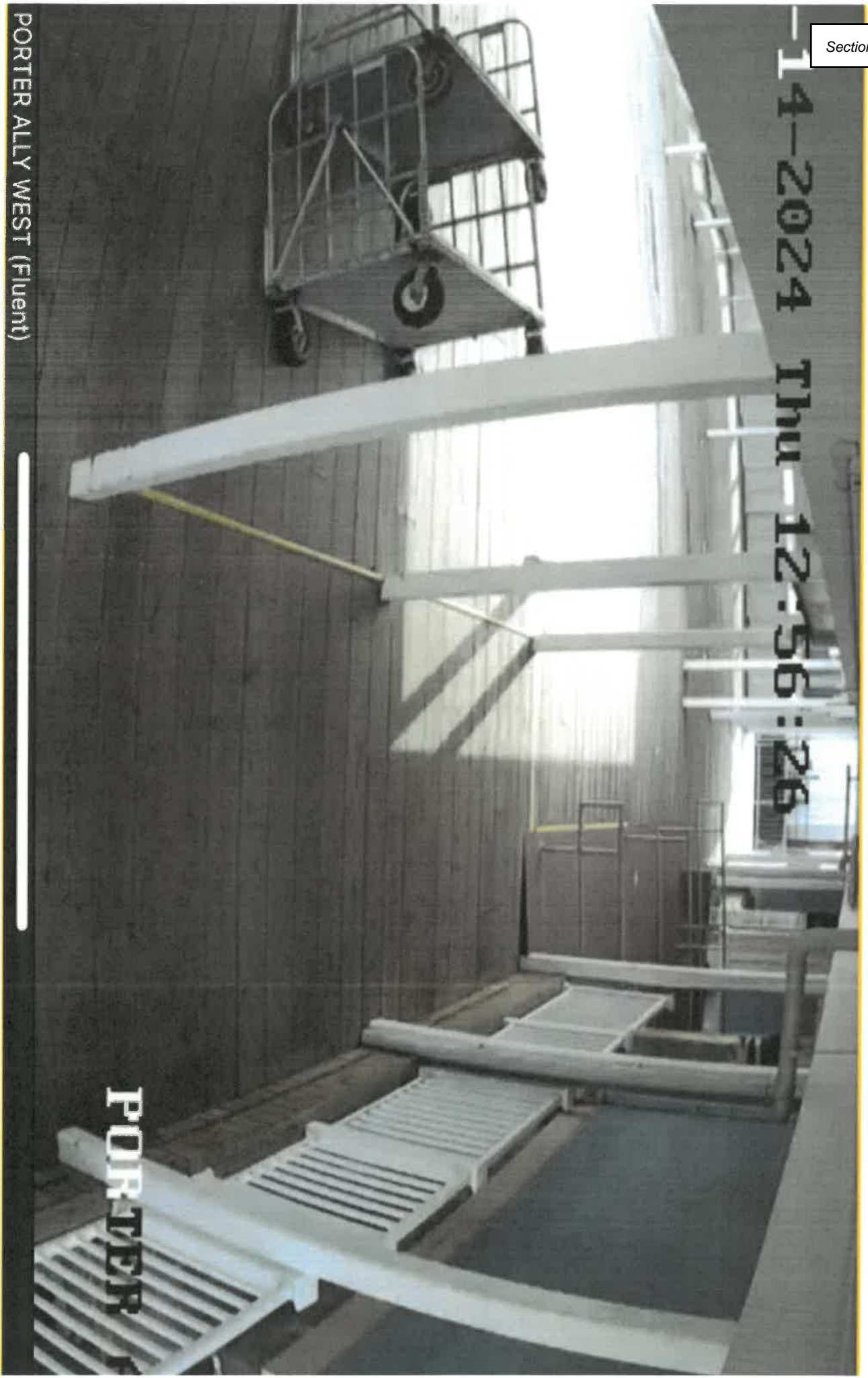
RAMP 2 (Fluent)

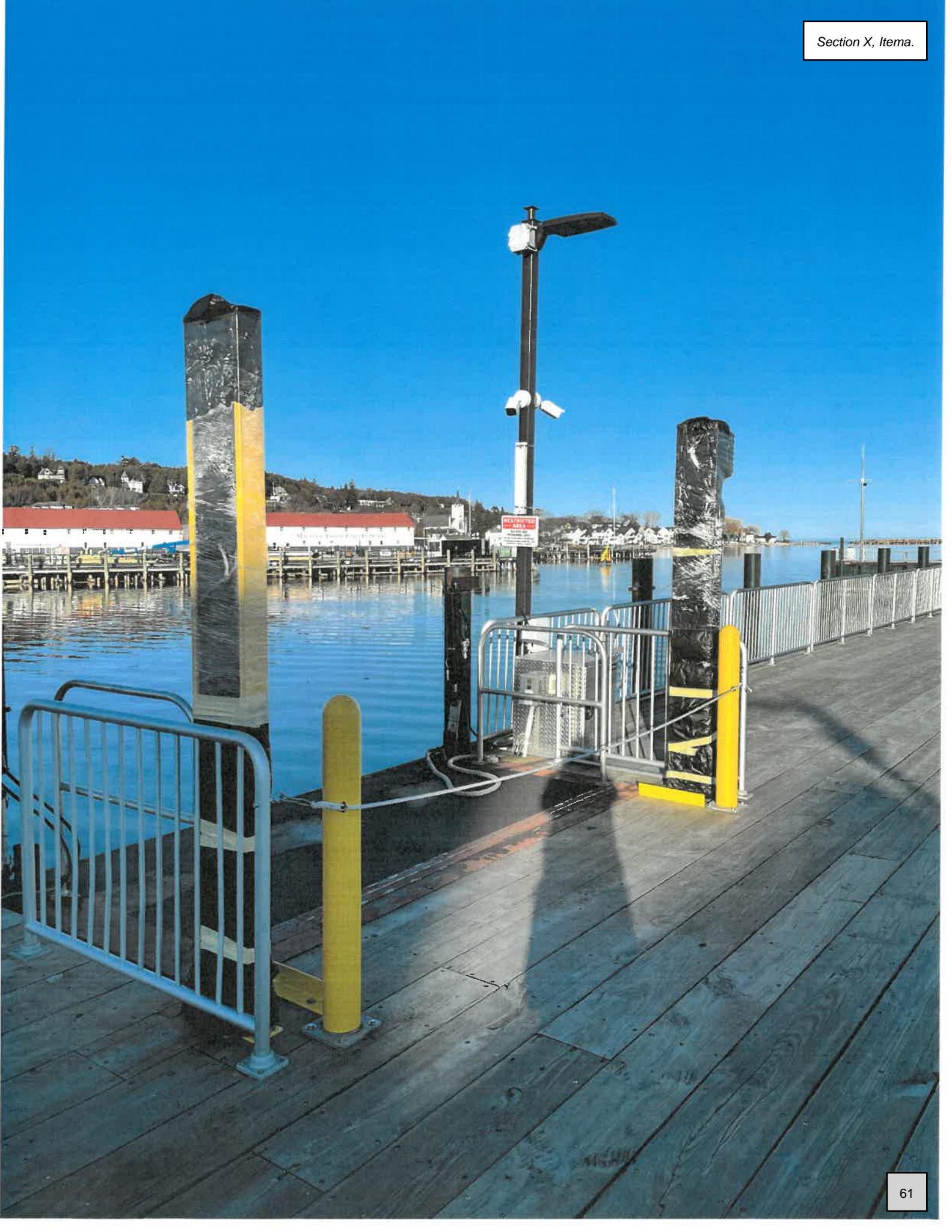


14-2024 Thu 12:56:26

PORTER ALLY WEST (Fluent)

PORTER



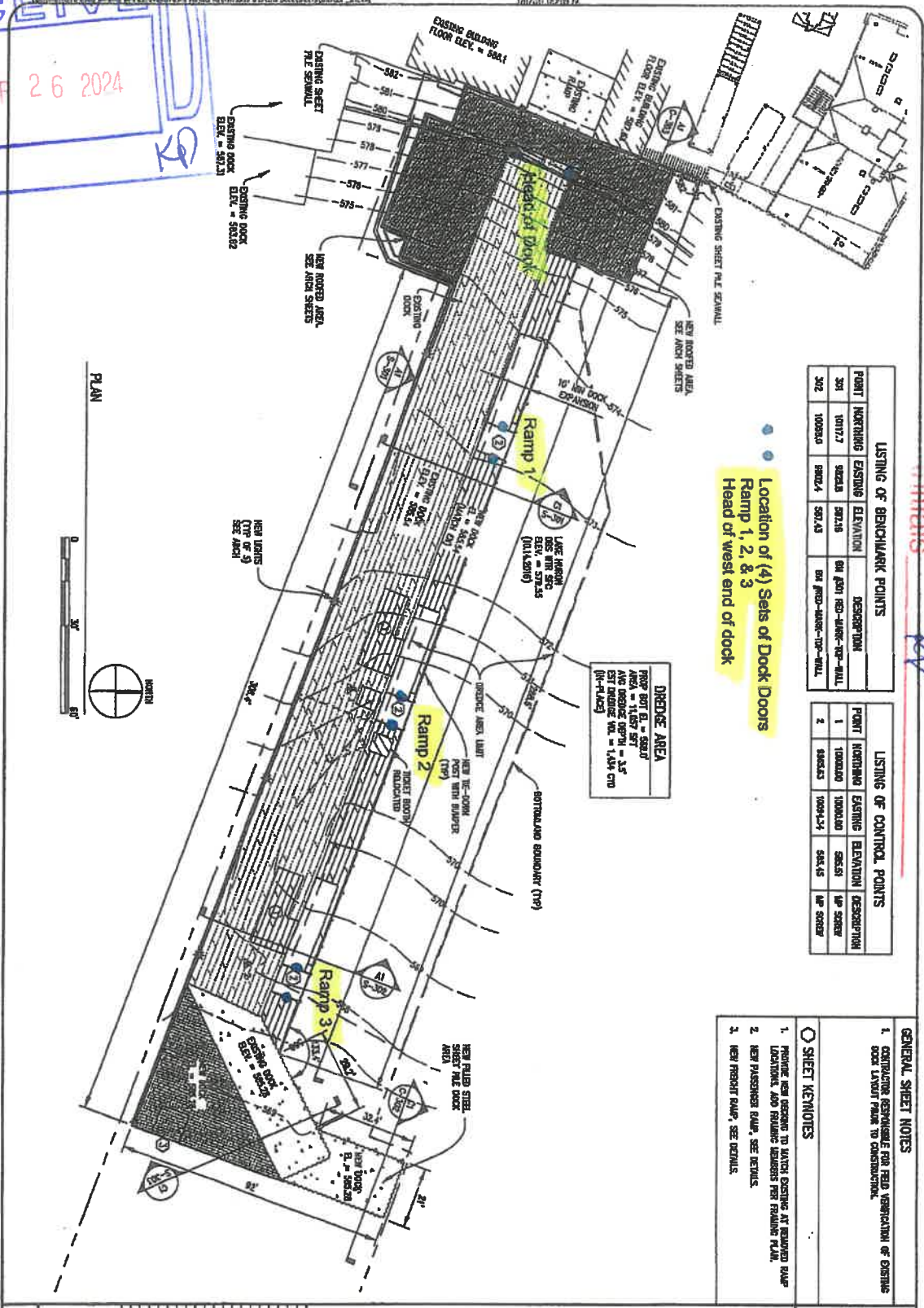






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**LISTING OF BENCHMARK POINTS**

POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
301	1017.7	922.5	587.5	BM 4011 RB-448C-TM-BULL
302	1003.0	980.4	581.3	BM 4003-448C-TM-BULL

**LISTING OF CONTROL POINTS**

POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	1000.00	1000.00	585.51	WP 5000
2	940.53	1004.54	585.45	WP 5002

Location of (4) Sets of Dock Doors  
Ramp 1, 2, & 3  
Head of west end of dock

**DREDGE AREA**  
FROM BOT. EL. = 582.0'  
AREA = 12,651 SQ FT  
EST. VOLUME = 1,445 CUB YD  
EST. DEPTH = 1.445 CUB YD  
(11'-4" MAX)

- GENERAL SHEET NOTES**
1. CONSULTING RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING DOCK LAYOUT PRIOR TO CONSTRUCTION.
- SHEET KEYNOTES**
1. PROVIDE NEW ROOFING TO MATCH EXISTING AT REMOVED RAMP LOCATIONS. ADD FINISH DETAILS PER FINISH PLAN.
  2. NEW PASSENGER RAMP. SEE DETAILS.
  3. NEW FREIGHT RAMP. SEE DETAILS.

File No. C-14-0126(H)

Exhibit F

Date 3.26.24

Initials WP

**DOCK EXPANSION**  
MACKINAC ISLAND, MICHIGAN

PREPARED FOR: SHEPLER'S MACKINAC ISLAND FERRY

**NDG**  
NATIONAL DESIGN GROUP  
CONSULTING ENGINEERS  
2440 Parkway Drive  
Ann Arbor, Michigan 48106  
(734) 993-1100  
www.ndginc.com

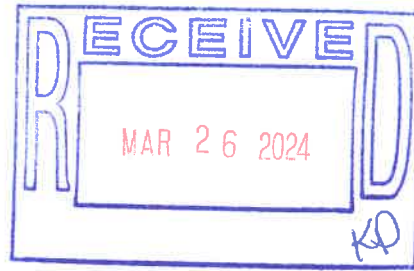
**SITE PLAN**

C-101



# D-Series®

## RFID Dock Door Solution



### Optimizing Supply Chains

For organizations looking to gain visibility and efficiency in their supply chain, look no further. The SLS D-Series® RFID Dock Door Solution was designed with your supply chain needs in mind - combining the performance of Wave® Antenna technology, lightweight strength of durable aluminum extrusion, and unmatched ease of installation to deliver the industry's leading industrial data capture solution.

### Control Your Read Zone

The SLS D-Series® RFID Dock Door Solution has quickly become the industry leader for RFID solutions within warehouses and distribution centers. Using the Wave® Antenna Technology, the D-Series® operates at a very low power, allowing read zones to be tightly controlled and extremely defined, while minimizing risk of cross reads between adjacent read points. Differing from patch antennas, the D-Series® is designed to uniformly illuminate a volume of space, allowing for greater read accuracy with zero support from complex software algorithms.

The integrated Wave® Antennas used in the D-Series® are unique in covering all three tag orientations within a user-defined zone. Our antenna design creates a wide-angle lens effect which covers all three polarizations at once and are designed to provide superior UHF read zone coverage. Whether there is a need for pallet level or item level reads, the SLS D-Series® is fully equipped to acquire these tag reads with impressively high accuracy.

### Built to Last

The SLS D-Series® has made its mark in the industry not only for its outstanding technology performance, but its ruggedness and durability. These antennas are often installed in industrial, high traffic environments and are subject to forklift damage from time to time. SLS has manufactured these antennas to withstand large blows while maintaining full functionality in the field.

### Scalable

The SLS D-Series® is completely plug-and-play - no additional servers or A/C power is necessary. SLS understands the need for these solutions to be cost effective in order to have a quick ROI, which is why our Dock Door Solution was engineered to be ran completely off of Power over Ethernet (PoE).

The SLS Dock Door Solution offers an extremely straightforward installation process, allowing for a repeatable and scalable solution, giving our customers an even greater overall success and rapid ROI.



File No. C24-014-012(H)

Exhibit C

Date 3.26.24

Initials KD

Section X, Item.



	SLS D-800	SLS D-500	SLS-D-200	SLS D-100
<b>Weight</b>	45lbs	30lbs	10lbs	10lbs
<b>Dimensions</b>	96"x15"x4"	62"x15"x4"	24"x15"x4"	61"x9"x2"
<b>Reader Compatibility</b>				
<b>Impinj R420</b>	✓	✓	✓ *	✓
<b>Impinj R700</b>	✓	✓	✓ *	✓
<b>Zebra FX9600</b>	✓	✓	✓ *	✓ *
<b>Zebra FX7500</b>	✓	✓	✓ *	✓
<b>GPIO</b>	Optional	Optional	Optional	Optional
<b>Mounting Hardware</b>	Included	Included	Included	Included
<b>Max EIRP (FCC Compliance)</b>	36dBi	36dBi	36dBi	36dBi
<b>Frequency Range (North America)</b>	902-928 MHz	902-928 MHz	902-928 MHz	902-928 MHz
<b>Frequency Range (Europe)</b>	865-868 MHz	865-868 MHz	865-868 MHz	865-868 MHz
<b>Temperature Range</b>	-4°F to 140°F (-20°C to 60°C)	-4°F to 140°F (-20°C to 60°C)	-4°F to 140°F (-20°C to 60°C)	-4°F to 140°F (-20°C to 60°C)
<b>Polarization</b>	Multi-Linear	Multi-Linear	Multi-Linear	Multi-Linear
<b>Impedance</b>	50 Ohms	50 Ohms	50 Ohms	50 Ohms
<b>Gain</b>	3.0 dBi	3.0 dBi	3.0 dBi	3.0 dBi
<b>Maximum Input Power</b>	10 Watts	10 Watts	10 Watts	10 Watts
<b>H-Plane Beam Width</b>	180 Degrees	180 Degrees	180 Degrees	180 Degrees
<b>E-Plane Beam Width</b>	180 Degrees	180 Degrees	180 Degrees	180 Degrees
<b>Antenna Count</b>	2	2	1	2
<b>RF Coaxial Cables</b>	Included	Included	Included	NOT Included
<b>Cable Spec</b>	RPTNC Male to RPTNC Male	RPTNC Male to RPTNC Male	RPTNC Male to RPTNC Male	RPTNC Male to RPTNC Male

\* Mounted Externally

Federal Communications Commission (FCC) Compliance  
 Industry Canada (IC) Compliance  
 Europe – EU Declaration of Conformity (CE mark)

© 2021 Smart Label Solutions, LLC  
 1100 Durant Drive, Howell, MI 48843  
 Toll Free: 800.996.RFID (7343) Ph: 810.229.9890  
 www.slsrfid.com

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File No. C24-014-012(A)

Exhibit C

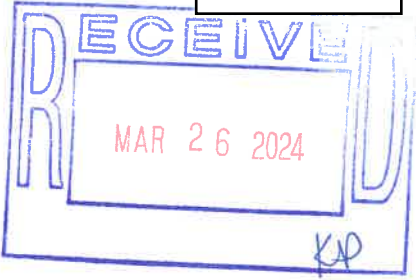
Date 3.14.24

Initials KP

**Legal Description:**

LEASED FROM D.N.R. FORMER NO. 940-014-00 BUILDING ON LEASED LAND (SHEPLER DOCK) DESC AS COMM AT THE NW COR OF LOT 139 ASSESSOR'S PLAT NO 3 TH S 76 DEG 15'50"E 51.00 FT TO TH POB TH S 76 DEG 37'00"E 83.00 FT TH N 73 DEG 23'00"E 68.84 FT TH S 76 DEG 37'00"E 331.15 FT TH S 13 DEG 11'00"W 78.00 FT TH N 76 DEG 49'00"W 470.00 FT TH N 06 DEG 14'40"E 45.10 FT TO THE POB

Section X, Itema.



File No. C24-014-012(H)  
Exhibit E  
Date 3-26-24  
Initials KP



Modification of the support bullworks underneath Ramp #2 and Ramp #3 of our Mackinac Island Dock to accommodate the lower water levels going into the 2024 navigational season.

Ramp #2:

Picture 1 – cut out main I-Beam under the ramp and reinstall 2 foot lower than previous height.

Picture 2 – cut out perpendicular I-Beam, install new vertical column to support existing cross beam, and reinstall perpendicular I-Beam 2 foot lower than previous height.

Ramp #3:

Picture 3 – cut out main I-Beam under the ramp and reinstall 2 feet lower than previous height.

Picture 4 – cut out nearest perpendicular I-Beam, installing new vertical column to support existing cross beam, and reinstall perpendicular I-Beam 2 foot lower than previous height.

These modifications were vetted and designed by our structural engineers at OHM in Petoskey, and the blueprints are included.

Materials to be transported include plasma torches and welders, chains and cribbing, 12 ft metal skif for under dock work and any additional steel beams that may be required. It is our intention to contain our materials to our dock and immediate vicinity of the ramp we are currently working on.

These modifications will ensure that our vessels can continue to conduct business with these lower water levels.

File No. C24-014-017(4)  
Exhibit C  
Date 3-26-24  
Initials KP

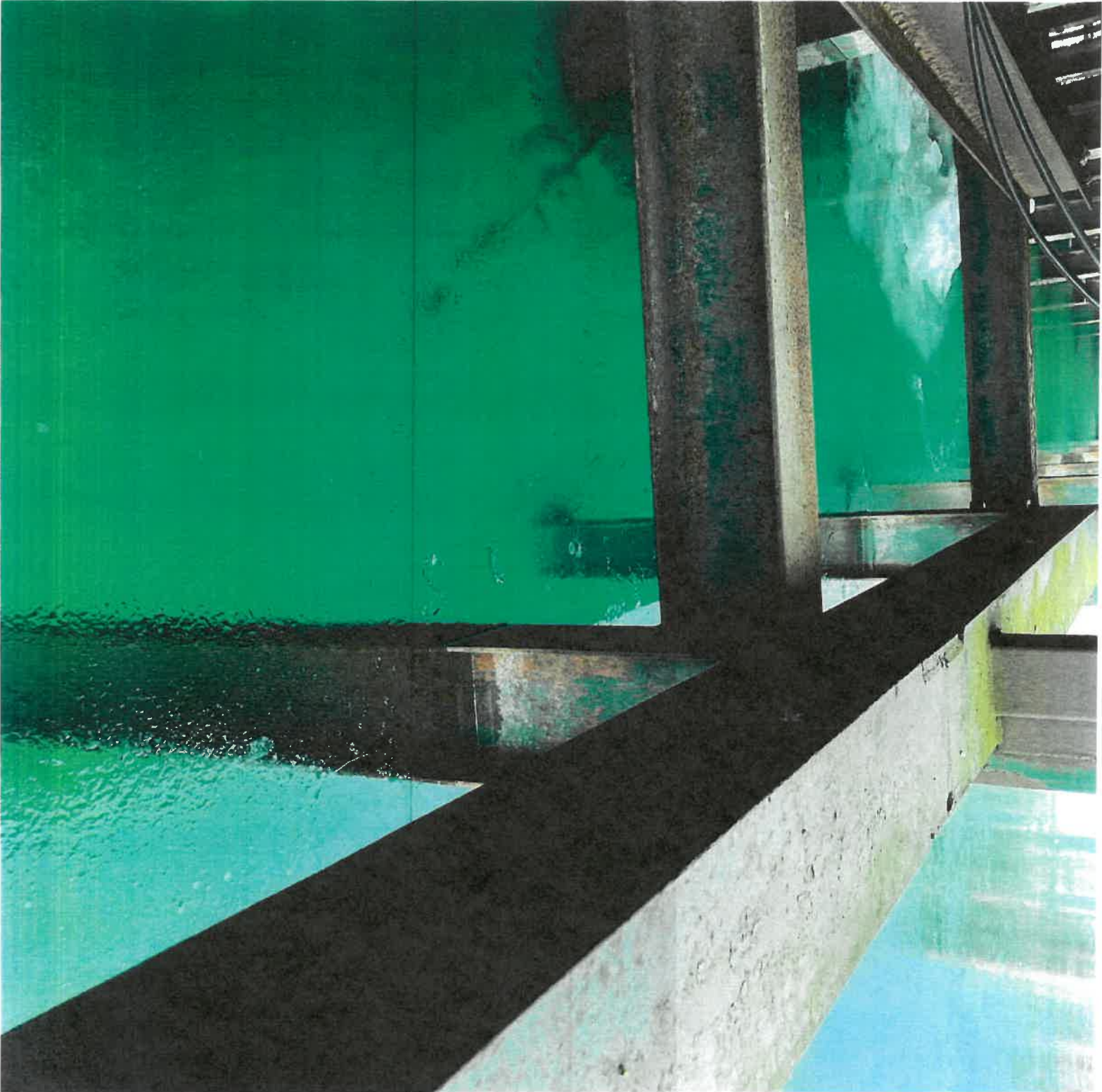


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Section X, Itemb.  
MAR 26 2024



Ramp 2 Picture 7

File No. C24.014.017(4)  
Exhibit D  
Date 3-26-24  
Initials KP



RAMP 2 PICTURE 2



RAMP 3 PICTURE 3



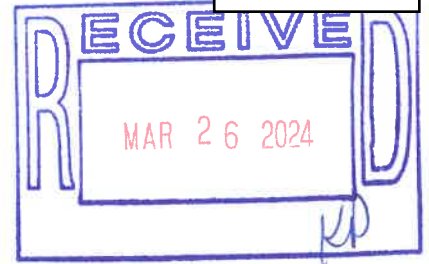


RAMP 3 PICTURE 4

**Legal Description:**

LEASED FROM D N R FORMER NO. 940-014-00 BUILDING ON LEASED LAND (SHEPLER DOCK) DESC AS COMM AT THE NW COR OF LOT 139 ASSESSOR'S PLAT NO 3 TH S 76 DEG 15'50"E 51.00 FT TO TH POB TH S 76 DEG 37'00"E 83.00 FT TH N 73 DEG 23'00"E 68.84 FT TH S 76 DEG 37'00"E 331.15 FT TH S 13 DEG 11'00"W 78.00 FT TH N 76 DEG 49'00"W 470.00 FT TH N 08 DEG 14'40"E 45.10 FT TO THE POB

Section X, Itemb.



File No. C24.014.017(H)  
Exhibit E  
Date 3.26.24  
Initials KP

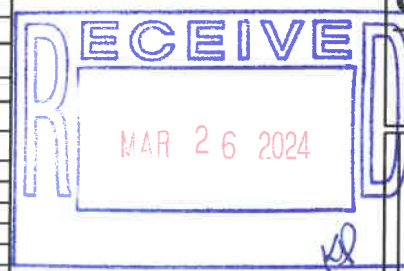
LEGEND	
	DENOTES COLUMN ABOVE
	DENOTES COL. FROM ABOVE, CONT. THROUGH FLOOR FRAMING, SUPPORTED BY FTG. FOUNDATIONS OR PLANK
	DENOTES COL. SUPPORTING FLOOR FRAMING
	DENOTES BEARING WALL
<b>C#</b>	DENOTES COLUMN MARK
<b>B#</b>	DENOTES BEAM MARK
<b>F#</b>	DENOTES FOOTING MARK
<b>P#</b>	DENOTES PIER MARK
TRUSSES = PRE-ENGINEERED METAL-PLATE-CONNECTED WOOD TRUSSES	
	GIRDER TRUSS
	BEAM
	OVERBUILD FRAMING
	FOUNDATION WALL
	FOOTING
	MOMENT CONNECTION

ABBREVIATIONS	
<b>SYM</b>	AND NUMBER
<b>A</b>	ALUMINUM AMERICAN NATIONAL STANDARDS INSTITUTE
<b>APPROX</b>	APPROXIMATE
<b>ARCH</b>	ARCHITECTURAL (ARCHITECT)
<b>ASTM</b>	AMERICAN SOCIETY FOR TESTING AND MATERIALS
<b>B</b>	BOTH FACES
<b>BLDG</b>	BUILDING
<b>BLK</b>	BLOCK
<b>BLKG</b>	BLOCKING
<b>BOF</b>	BOTTOM OF FOOTING
<b>BOT</b>	BOTTOM
<b>BRG</b>	BEARING
<b>BRKT</b>	BRACKET
<b>BTWN</b>	BETWEEN
<b>C</b>	CAST-IN-PLACE
<b>CJ</b>	CONTROL JOINT
<b>CL</b>	CENTER LINE
<b>CLR</b>	CLEAR
<b>CMU</b>	CONCRETE MASONRY UNIT
<b>COL</b>	COLUMN
<b>CONC</b>	CONCRETE
<b>D</b>	DEGREE
<b>DEM</b>	DEMOLITION
<b>DET</b>	DETAIL
<b>DIA</b>	DIAMETER
<b>DIST</b>	DISTANCE
<b>DL</b>	DEAD LOAD
<b>E</b>	EACH
<b>EF</b>	EACH FACE
<b>EJ</b>	EXPANSION JOINT
<b>EL</b>	ELEVATION
<b>ENG</b>	ENGINEER
<b>ENTR</b>	ENTRANCE
<b>EQ</b>	EQUAL
<b>EQUIP</b>	EQUIPMENT
<b>ES</b>	EACH SIDE
<b>EW</b>	EACH WAY
<b>EX</b>	EXISTING
<b>EXP</b>	EXPANSION (EXPOSED)
<b>F</b>	FLOOR DRAIN
<b>FF</b>	FINISHED FLOOR
<b>FIN</b>	FINISH/FINISHED
<b>FT</b>	FOOT/FEET
<b>FTG</b>	FOOTING
<b>G</b>	GAGE
<b>GALV</b>	GALVANIZED
<b>GB</b>	GYPSON BOARD
<b>GT</b>	GIRDER TRUSS
<b>GYP</b>	GYPSON
<b>H</b>	HEADER
<b>HDR</b>	HORIZONTAL
<b>HR</b>	HOUR
<b>HT</b>	HEIGHT
<b>I</b>	INCH/INCHES
<b>IN</b>	INSULATION
<b>INSUL</b>	
<b>J</b>	JOIST
<b>JST</b>	JOINT
<b>LT</b>	LONG LEG HORIZONTAL
<b>LLH</b>	LONG LEG VERTICAL
<b>LLV</b>	LONGITUDINAL
<b>LP</b>	LOW POINT
<b>LT</b>	LEFT
<b>M</b>	MAXIMUM
<b>MBC</b>	MICHIGAN BUILDING CODE
<b>MECH</b>	MECHANICAL
<b>MFR</b>	MANUFACTURER
<b>MIN</b>	MINIMUM
<b>MISC</b>	MISCELLANEOUS
<b>MO</b>	MASONRY OPENING
<b>MRC</b>	MICHIGAN RESIDENTIAL CODE
<b>N</b>	NORTH
<b>NA</b>	NOT APPLICABLE
<b>NIC</b>	NOT IN CONTRACT
<b>NO</b>	NUMBER
<b>NOM</b>	NOMINAL
<b>NTS</b>	NOT TO SCALE
<b>O</b>	OHIO BUILDING CODE
<b>OBC</b>	ON CENTER
<b>OC</b>	OVERHEAD
<b>P</b>	POUNDS PER CUBIC FOOT
<b>PCF</b>	PLATE
<b>PL</b>	PLUMBING
<b>PLMB</b>	PLYWOOD
<b>PLYWD</b>	PREFABRICATED
<b>PREFAB</b>	POUNDS PER SQUARE FOOT
<b>PSF</b>	POUNDS PER SQUARE INCH
<b>PSI</b>	PRESSURE TREATED
<b>PT</b>	POLYVINYL CHLORIDE
<b>PVC</b>	

ABBREVIATIONS (cont)	
<b>E</b>	EACH
<b>EF</b>	EACH FACE
<b>EJ</b>	EXPANSION JOINT
<b>EL</b>	ELEVATION
<b>ENG</b>	ENGINEER
<b>ENTR</b>	ENTRANCE
<b>EQ</b>	EQUAL
<b>EQUIP</b>	EQUIPMENT
<b>ES</b>	EACH SIDE
<b>EW</b>	EACH WAY
<b>EX</b>	EXISTING
<b>EXP</b>	EXPANSION (EXPOSED)
<b>F</b>	FLOOR DRAIN
<b>FF</b>	FINISHED FLOOR
<b>FIN</b>	FINISH/FINISHED
<b>FT</b>	FOOT/FEET
<b>FTG</b>	FOOTING
<b>G</b>	GAGE
<b>GALV</b>	GALVANIZED
<b>GB</b>	GYPSON BOARD
<b>GT</b>	GIRDER TRUSS
<b>GYP</b>	GYPSON
<b>H</b>	HEADER
<b>HDR</b>	HORIZONTAL
<b>HR</b>	HOUR
<b>HT</b>	HEIGHT
<b>I</b>	INCH/INCHES
<b>IN</b>	INSULATION
<b>INSUL</b>	
<b>J</b>	JOIST
<b>JST</b>	JOINT
<b>LT</b>	LONG LEG HORIZONTAL
<b>LLH</b>	LONG LEG VERTICAL
<b>LLV</b>	LONGITUDINAL
<b>LP</b>	LOW POINT
<b>LT</b>	LEFT
<b>M</b>	MAXIMUM
<b>MBC</b>	MICHIGAN BUILDING CODE
<b>MECH</b>	MECHANICAL
<b>MFR</b>	MANUFACTURER
<b>MIN</b>	MINIMUM
<b>MISC</b>	MISCELLANEOUS
<b>MO</b>	MASONRY OPENING
<b>MRC</b>	MICHIGAN RESIDENTIAL CODE
<b>N</b>	NORTH
<b>NA</b>	NOT APPLICABLE
<b>NIC</b>	NOT IN CONTRACT
<b>NO</b>	NUMBER
<b>NOM</b>	NOMINAL
<b>NTS</b>	NOT TO SCALE
<b>O</b>	OHIO BUILDING CODE
<b>OBC</b>	ON CENTER
<b>OC</b>	OVERHEAD
<b>P</b>	POUNDS PER CUBIC FOOT
<b>PCF</b>	PLATE
<b>PL</b>	PLUMBING
<b>PLMB</b>	PLYWOOD
<b>PLYWD</b>	PREFABRICATED
<b>PREFAB</b>	POUNDS PER SQUARE FOOT
<b>PSF</b>	POUNDS PER SQUARE INCH
<b>PSI</b>	PRESSURE TREATED
<b>PT</b>	POLYVINYL CHLORIDE
<b>PVC</b>	

ABBREVIATIONS (cont)	
<b>Q</b>	QUANTITY
<b>QTY</b>	
<b>R</b>	REINFORCE
<b>REINF</b>	REQUIRED
<b>REQD</b>	REVISE/REVISION
<b>REV</b>	ROUGH OPENING
<b>RO</b>	ROUGH SAWN
<b>RS</b>	RIGHT
<b>RT</b>	
<b>S</b>	SIMILAR
<b>SIM</b>	SLAB ON GRADE
<b>SOG</b>	SQUARE FOOT/FEET
<b>SQ FT</b>	SQUARE INCH/INCHES
<b>SQ IN</b>	STEEL
<b>STL</b>	
<b>T</b>	TOP & BOTTOM
<b>T&amp;B</b>	TONGUE & GROOVE
<b>T&amp;G</b>	TEMPERATURE/TEMPERED
<b>TEMP</b>	TOP OF BEAM
<b>TOB</b>	TOP OF CONCRETE
<b>TOC</b>	TOP OF MASONRY
<b>TOM</b>	TOP OF STEEL
<b>TOS</b>	TOP OF WALL
<b>TOW</b>	TYPICAL
<b>TYP</b>	
<b>U</b>	UNLESS NOTED OTHERWISE
<b>UNO</b>	
<b>V</b>	VERTICAL
<b>VERT</b>	VERIFY IN FIELD
<b>VIF</b>	
<b>W</b>	WOOD
<b>WD</b>	WIDE FLANGE
<b>WF</b>	WEIGHT
<b>WT</b>	WELDED WIRE FABRIC
<b>WWF</b>	
<b>Y</b>	YARD
<b>YD</b>	

GENERAL STRUCTURAL NOTES	
<b>BUILDING LOADS</b>	
<b>LIVE LOADS</b>	
1. UNIFORM PEDESTRIAN LIVE LOAD	100 PSF
<b>DEAD LOADS</b>	
1. MATERIAL DEAD LOAD	SELF WEIGHT
<b>SNOW LOADS</b>	
<b>BALANCED SNOW</b>	
1. GROUND SNOW LOAD, P <sub>g</sub>	60 PSF
2. FLAT-ROOF SNOW LOAD, P <sub>f</sub>	45.4 PSF
3. SNOW EXPOSURE FACTOR, C <sub>e</sub>	0.90
4. RISK CATEGORY	II
5. SNOW LOAD IMPORTANCE FACTOR, I <sub>s</sub>	1.0
6. ROOF THERMAL FACTOR, C <sub>t</sub>	1.20
<b>WIND LOADS</b>	
<b>LOAD OR VARIABLE</b>	
1. ULTIMATE DESIGN WIND SPEED (3-SECOND GUST)	115 MPH
2. RISK CATEGORY	II
3. WIND EXPOSURE CATEGORY	D
4. INTERNAL PRESSURE COEFFICIENT (ENCLOSED BUILDING)	NA
5. MAIN WIND FORCE RESISTING SYSTEM (MAX ROOF UPLIFT AT OVERHANG)	NA
6. MAIN WIND FORCE RESISTING SYSTEM (MAX WALL)	NA
<b>EARTHQUAKE DESIGN DATA</b>	
<b>LOAD VARIABLE</b>	
1. RISK CATEGORY	II
2. SEISMIC IMPORTANCE FACTOR, I <sub>e</sub>	1.0
3. SEISMIC DESIGN CATEGORY	A
<b>MISCELLANEOUS DESIGN DATA</b>	
<b>LOAD VARIABLE</b>	
1. FLOOD LOAD	NONE
2. SPECIAL LOADS	NONE
3. SYSTEMS REQUIRING SPECIAL INSP FOR SEISMIC RESISTANCE	NONE
<b>ASSUMED SOIL BEARING STRENGTH</b>	
	NA
<b>NOTES:</b>	
1. APPLICABLE CODE IS 2015 MICHIGAN BUILDING CODE	
2. APPLICABLE TECHNICAL CODE IS ASCE/ SEI 7-10	
3. WIND LOAD BASED ON ASCE 7-10	
4. LOADS ARE BASED ON SECTION 16 OF MBC 2015 UNLESS OTHERWISE NOTED.	



03/26/2023  
FOR CONSTRUCTION

File No. C24014-017(H)  
 Exhibit F  
 Date 3-26-24  
 Initials KP

PRINT DRAWINGS IN COLOR

DATE: 03/26/2024  
 PROJECT: SHEPLER'S MACKINAC ISLAND FERRY  
 SHEPLER'S MACKINAC ISLAND DOCK RAMP REVISIONS  
 SHEET: S-001

**OHM**  
 ARCHITECTS ENGINEERS PLANNERS  
 300 East Mitchell St., Suite 2  
 Pontiac, MI 48170  
 P (248) 344-1150  
 OHM-ADVISORS.COM

**GENERAL STRUCTURAL NOTES (cont)**

GENERAL STRUCTURAL NOTES

- THE GENERAL STRUCTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS. SHOULD CONFLICTS OCCUR BETWEEN DOCUMENTS, THE STRICTEST PROVISION SHALL GOVERN.
- THE CONTRACTOR SHALL LIMIT THE AMOUNT OF LOAD IMPOSED UPON THE STRUCTURAL FRAMING SYSTEM DURING CONSTRUCTION. LOADS, INCLUDING CONSTRUCTION LOADS, MUST NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED. THE CONTRACTOR SHALL INFORM THE ENGINEER OF POTENTIAL CONSTRUCTION LOADS DEEMED EXCESSIVE BY THE CONTRACTOR.
- THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED SELF SUPPORTING, STABLE STRUCTURE UNLESS OTHERWISE INDICATED. THEY DO NOT INDICATE THE MEANS OR METHOD OF CONSTRUCTION. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE, CONSTRUCTION SEQUENCE AND PROVIDE ALL MEASURES OR TEMPORARY BRACING NECESSARY TO ENSURE THE STABILITY AND SAFETY OF THE STRUCTURE AND ITS COMPONENTS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING FOR CONSTRUCTION EQUIPMENT, SHORING FOR THE BUILDING, SHORING FOR EARTH BANKS, FORMS, SCAFFOLDING, PLANKING, SAFETY NETS, SUPPORT AND BRACING FOR CRANES AND GIN POLES, ETC.
- ALL MATERIALS AND WORKMANSHIP SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE GOVERNING BUILDING CODE: MICHIGAN BUILDING CODE, CURRENT EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL RELEVANT DIMENSIONS AND ELEVATIONS AT THE SITE. REPORT ANY DISCREPANCIES FOUND TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL INFORM THE ENGINEER OF ANY DEVIATIONS FROM THE DRAWINGS. DO NOT CUT OR MODIFY STRUCTURAL MEMBERS WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER.
- DRAWINGS ARE INTENDED TO BE PRINTED PER THE SCALE PROVIDED. THE CONTRACTOR SHALL CONTACT THE ENGINEER IF ADDITIONAL DIMENSIONS ARE REQUIRED. DO NOT SCALE THE DRAWINGS.
- CONTRACTOR SHALL NOT MIX GALVANIZED AND STAINLESS STEEL AT ANY TIME. ANY METAL PARTS IN CONTACT WITH OTHER METAL PARTS SHALL BE OF A SIMILAR METAL.
- CONTRACTOR SHALL RECOGNIZE EFFECTS OF THERMAL MOVEMENTS AND MOISTURE CONTENT CHANGES OF STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PERIOD AND CONSIDER THESE EFFECTS DURING CONSTRUCTION AND/OR ERECTION SEQUENCES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING COMPLETE AND FUNCTIONING SYSTEMS, INCLUDING BUT NOT LIMITED TO, PROVIDING (AT NO ADDITIONAL COST) ITEMS NOT SPECIFICALLY SHOWN IN THESE DRAWINGS WHICH ARE NORMALLY CONSIDERED NECESSARY.
- COLUMNS/PILES ARE SHOWN SCHEMATICALLY ON THE FRAMING PLANS. SIZES ARE SPECIFIED IN THE NOTES OR SCHEDULES.

**GENERAL STRUCTURAL NOTES (cont)**

STRUCTURAL STEEL

- COMPLY WITH CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES – THE LATEST APPLICABLE EDITION
- STRUCTURAL STEEL PLATES, ANGLES, CHANNELS AND S-SHAPE MEMBERS: ASTM A36, Fy=36KSI.
- ANCHOR RODS: ASTM F1554, GRADE 36.
- STRUCTURAL STEEL WIDE FLANGE SECTIONS: ASTM A992, GRADE 50, Fy=50KSI.
- HOLLOW STRUCTURAL SECTIONS: ASTM A500, GRADE B, Fy=46KSI.
- STEEL PIPE: ASTM A53, GRADE B, Fy=35KSI.
- HP PILES: ASTM A572 GRADE 50.
- USE ASTM A325N, 3/4" DIA FOR ALL BOLTS IN STANDARD ROUND HOLES UNLESS NOTED OTHERWISE ON THE PLANS.
- ALL BOLTED CONNECTIONS SHALL BE SNUG TIGHTENED BEARING TYPE N UNLESS OTHERWISE NOTED (FULL EFFORT ON SPUD WRENCH).
- ALL STRUCTURAL STEEL MEMBERS AND ACCESSORIES UNLESS NOTED OTHERWISE, SHALL RECEIVE ONE SHOP PRIME COAT OF PROTECTIVE PAINT PRIOR TO DELIVERY TO JOBSITE. FINISH PAINT ALL STRUCTURAL STEEL AND CONNECTIONS, AFTER ERECTION AS SPECIFIED BY OWNER.
- WHERE MEMBERS ARE NOTED TO BE GALVANIZED, PROVIDE HOT DIPPED GALVANIZING IN ACCORDANCE WITH ASTM A123. PROVIDE FIELD TOUCH-UP OF ABRADED OR DAMAGED GALVANIZED COATINGS WITH HIGH-ZINC-DUST-CONTENT PAINT WITH DRY FILM CONTAINING NOT LESS THAN 94% ZINC DUST BY WEIGHT COMPLYING WITH SSPC-PAINT 20.
- DESIGN, CONSTRUCTION AND REMOVAL OF ALL TEMPORARY SUPPORTS AND BRACING (SEE AISC CODE OF STANDARD PRACTICE) IS THE RESPONSIBILITY OF THE STEEL ERECTORS.
- WELDING SHALL BE IN ACCORDANCE WITH THE STRUCTURAL WELDING CODE – STEEL (AWS D1.1-CURRENT) PUBLISHED BY THE AMERICAN WELDING SOCIETY. PERFORM WELDING BY CERTIFIED WELDERS. USE E70XX ELECTRODE.
- DO NOT USE STEEL FRAMING CONNECTIONS WHICH REQUIRE EITHER MEMBER TO BE COMPLETELY DISCONNECTED (NUTS REMOVED FROM BOLTS) FOR INSTALLATION OF THE SUCCEEDING MEMBER.

**GENERAL STRUCTURAL NOTES (cont)**

(This section is currently blank in the provided image.)

DRAWING PATH: P:\7170\_71997\70220010\_Shepler\_MackinacIslandDockRamp\Drawings\Sheet\Sheet S-00010 NOTES.dwg Jun 30, 2023 - 11:15am

PRINT DRAWINGS IN COLOR

REVISIONS  
FOR CONSTRUCTION  
06/30/2023

SHEPLER'S MACKINAC ISLAND FERRY  
SHEPLER'S MACKINAC ISLAND DOCK RAMP REVISIONS  
STRUCTURAL NOTES

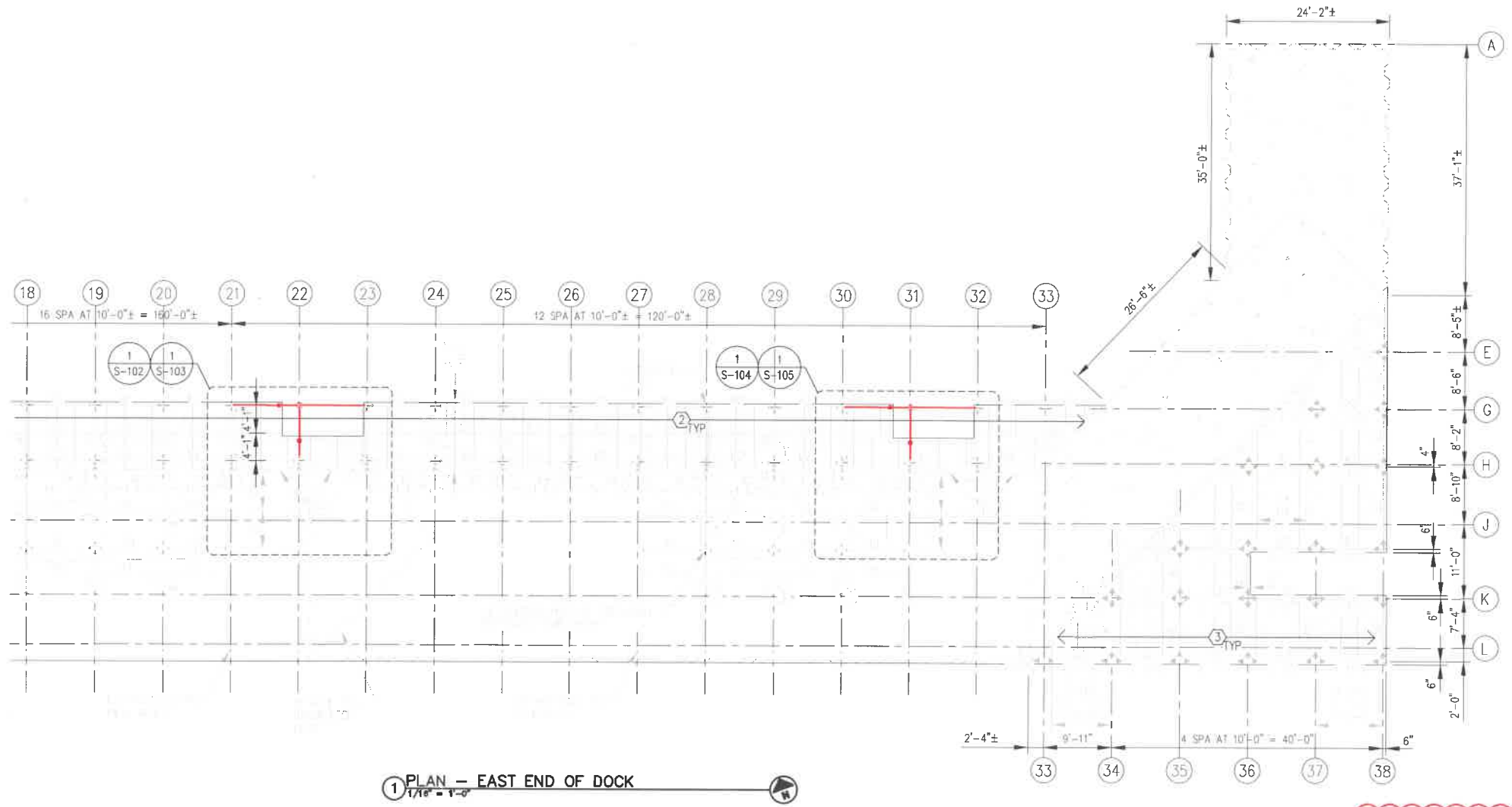
SHEET S-002

**OHM**  
 ARCHITECTS ENGINEERS PLANNERS  
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 Pataway, MI 48770  
 P (248) 344-1150  
 OHM-ADVISORS.COM

BEAM SCHEDULE		
MARK	SIZE	REMARKS
B1	W10x33	--
B2	W12x65	--
B3	W6x15	CAN BE SINGLE OR MULTI-SPAN CONTINUOUS, UNLESS NOTED OTHERWISE
B4	W10x22	--
B5	W6x20	--
B6	C5x9	CAN BE SINGLE OR MULTI-SPAN CONTINUOUS, UNLESS NOTED OTHERWISE
B7	HSS 12x8x1/4	--
B8	W10x15	CAN BE SINGLE OR MULTI-SPAN CONTINUOUS, UNLESS NOTED OTHERWISE WITH STIFFENERS OVER SUPPORTING BEAM C <sub>s</sub> , TYP

1. NOT ALL BEAM SIZES USED ON THIS SHEET  
 ▶ = MOMENT CONNECTION

- GENERAL SHEET NOTES**
- CONTRACTOR RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING PILE LAYOUT PRIOR TO CONSTRUCTION.
  - SOME OF THE EXISTING FRAMING NOT SHOWN FOR CLARITY. MEMBERS SHOW WITH A GRAY/BLACK LINE ARE EXISTING. MEMBERS SHOWN IN RED ARE NEW OR MODIFIED EXISTING MEMBERS.
- SHEET KEYNOTES**
- 4x12 S4S WOOD PLANK WEARING SURFACE TO MATCH EXISTING.
  - 4x6 S4S JOIST AT 16".
  - EX OHIO GRATINGS, INC HEAVY DUTY WELDED STEEL 19-W-4 GRATING WITH 1 1/2"x1/4" RECTANGULAR BEARING BARS AT 1 3/16" SPACING WITH CROSS BARS AT 4" SPACING WITH 1 1/2"x1/4" BANDING BARS AT ENDS AND DIAGONAL CUTS OF THE GRADING PANELS. PROVIDE SLIPNOT GRADE 3 FINISH (BY W.S. MOLNAR DETROIT, MI) APPLIED TO THE TOP SURFACE OF THE GRADING PANELS. HOT DIP GALVANIZED PANELS AFTER APPLYING SLIPNOT FINISH.



1 PLAN - EAST END OF DOCK  
 1/16" = 1'-0"

PRINT DRAWINGS IN COLOR

REVISIONS FOR CONSTRUCTION

NO.	DATE	DESCRIPTION

DATE: 04/22/24  
 PROJECT NUMBER: 712220201  
 DRAWING NUMBER: 01  
 PROJECT: SHEPLER'S MACKINAC ISLAND FERRY  
 SHEPLER'S MACKINAC ISLAND DOCK RAMP REVISIONS  
 PLAN - EAST END OF DOCK

SHEET S-101

DRAWING PATH: P:\700\_72867222010\_Shepler's\_Island\_Ferry\_Revisions\Drawings\Structural\Shepler's\_Island\_Ferry\_Revisions\01\_Plan\_S-101.dwg

BEAM SCHEDULE		
MARK	SIZE	REMARKS
B1	W10x33	-
B2	W12x65	-
B3	W6x15	CAN BE SINGLE OR MULTI-SPAN CONTINUOUS, UNLESS NOTED OTHERWISE
B4	W10x22	-
B5	W6x20	-
B6	C5x9	CAN BE SINGLE OR MULTI-SPAN CONTINUOUS, UNLESS NOTED OTHERWISE
B7	HSS 12x8x1/4	-
B8	W10x15	CAN BE SINGLE OR MULTI-SPAN CONTINUOUS, UNLESS NOTED OTHERWISE WITH STIFFENERS OVER SUPPORTING BEAM $\phi_s$ , TYP.

1. NOT ALL BEAM SIZES USED ON THIS SHEET  
 ▶ = MOMENT CONNECTION

GENERAL SHEET NOTES

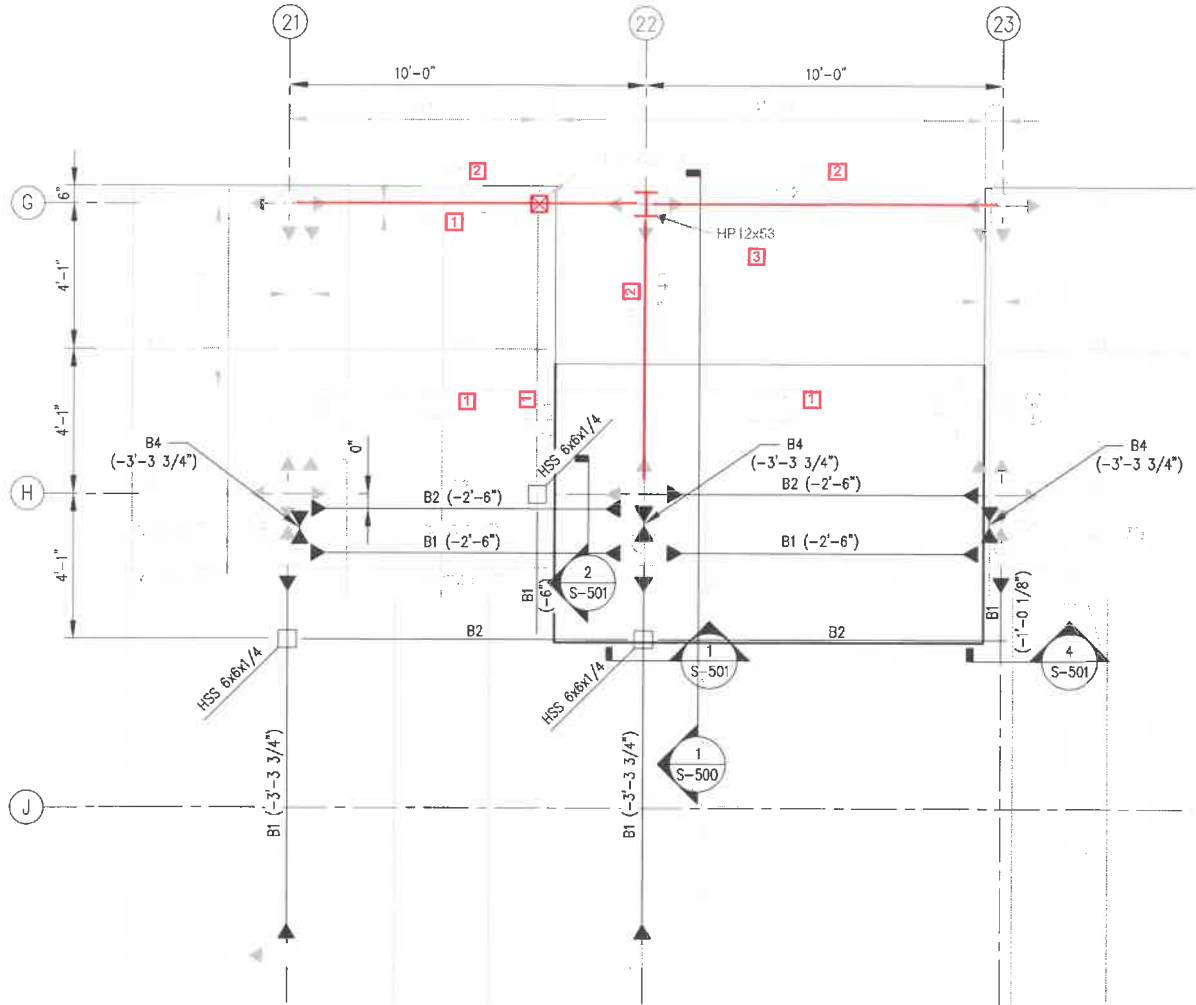
- CONTRACTOR RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING PILE LAYOUT PRIOR TO CONSTRUCTION.
- SOME OF THE EXISTING FRAMING NOT SHOWN FOR CLARITY. MEMBERS SHOWN WITH A GRAY/BLACK LINE ARE EXISTING. MEMBERS SHOWN WITH A RED LINE ARE NEW/MODIFIED.

KEYNOTES

- SHORE EXISTING BEAM AS REQUIRED.
- REMOVE EXISTING BEAM/COL AND SALVAGE FOR REUSE (OR PROVIDE NEW BEAM/COL OF SAME SIZE).
- REMOVE TOP PORTION OF EXISTING PILE. SEE DETAILS.



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1 PARTIAL DEMO PLAN - RAMP #2  
 1/4" = 1'-0"

PRINT DRAWINGS IN COLOR

REVISIONS  
 FOR CONSTRUCTION  
 03/09/2023

DATE: 03/09/2023  
 TIME: 17:22:00  
 PROJ NUMBER: 172322001  
 DES: RFP  
 PROJ NAME: SHEPLER'S MACKINAC ISLAND FERRY  
 COUNTY: SHEPLER'S MACKINAC ISLAND DOCK RAMP REVISIONS  
 CITY/TOWN/JURISDICTION: PARTIAL FRAMING PLAN - RAMP #2

S-102

DRAWING PATH: P:\1706\_172322001\172322001\_172322001\_Sheplers\_Mackinac\_Island\_Dock\_Ramp\_Revisions\Drawings\Sheplers\_SHEP172322001\_P1.MXD, Mar 30, 2023, 11:15am

BEAM SCHEDULE		
MARK	SIZE	REMARKS
B1	W10x33	-
B2	W12x65	-
B3	W6x15	CAN BE SINGLE OR MULTI-SPAN CONTINUOUS, UNLESS NOTED OTHERWISE
B4	W10x22	-
B5	W6x20	-
B6	C5x9	CAN BE SINGLE OR MULTI-SPAN CONTINUOUS, UNLESS NOTED OTHERWISE
B7	HSS 12x8x1/4	-
B8	W10x15	CAN BE SINGLE OR MULTI-SPAN CONTINUOUS, UNLESS NOTED OTHERWISE WITH STIFFENERS OVER SUPPORTING BEAM Qs, TYP.

1. NOT ALL BEAM SIZES USED ON THIS SHEET  
 ▶ = MOMENT CONNECTION

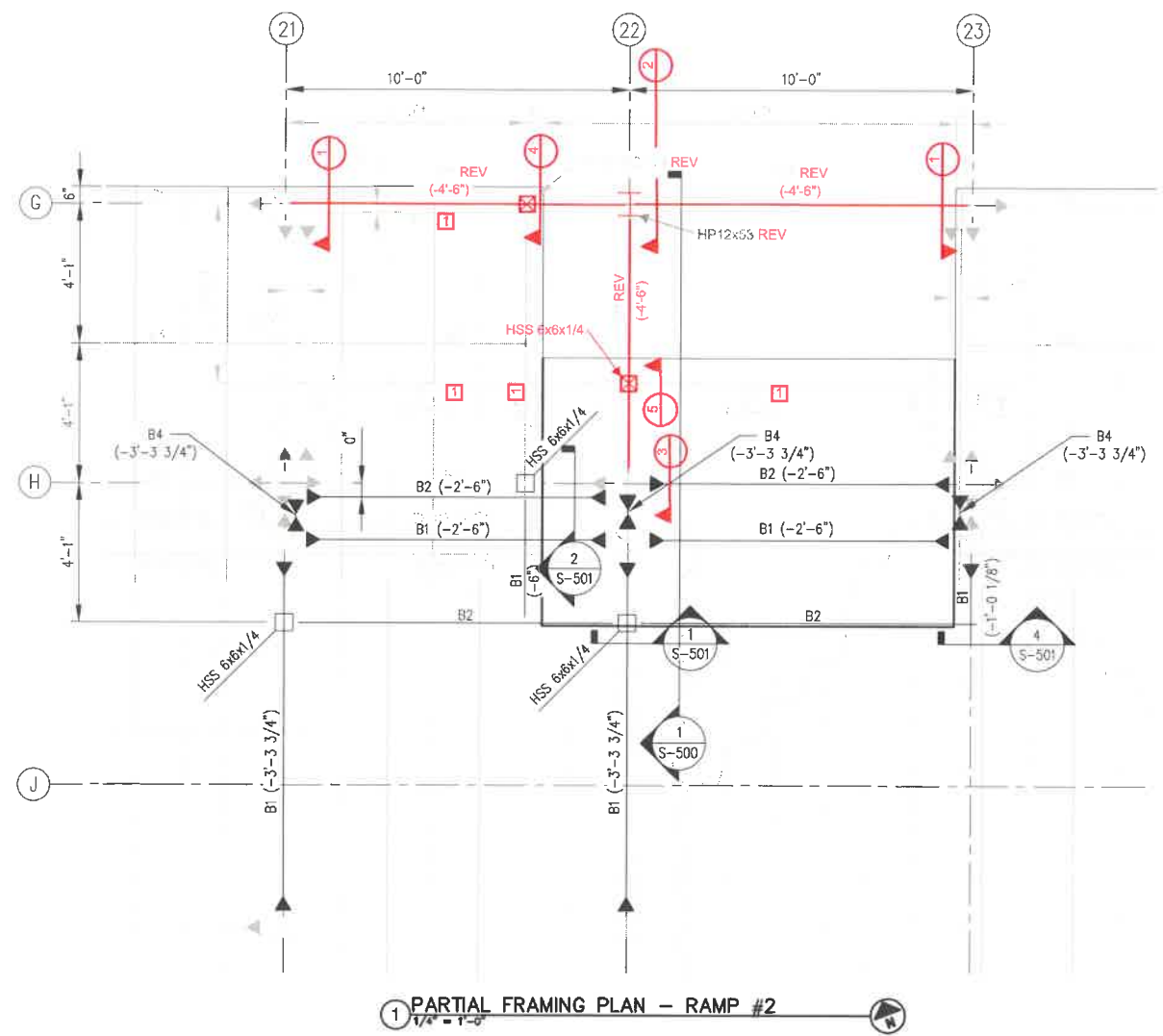
GENERAL SHEET NOTES

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KEYNOTES

1 SHORE EXISTING BEAM AS REQUIRED.

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1 PARTIAL FRAMING PLAN - RAMP #2  
 1/4" = 1'-0"

PRINT DRAWINGS IN COLOR

REVISIONS FOR CONSTRUCTION

NO.	DATE	BY	CHKD	COBTD	COMNT

SHEPLER'S MACKINAC ISLAND FERRY  
 SHEPLER'S MACKINAC ISLAND DOCK RAMP REVISIONS  
 PARTIAL FRAMING PLAN - RAMP #2

DRAWING PATH: P:\7700\_7766175220010\_Sheplers\_MackinacIslandDockRamp\Drawings\Structural\Drawings\11\Structural\Sheet\19230010\_Plan\_1.dwg, Mar 30, 2023 - 11:18 AM

BEAM SCHEDULE		
MARK	SIZE	REMARKS
B1	W10x33	-
B2	W12x65	-
B3	W6x15	CAN BE SINGLE OR MULTI-SPAN CONTINUOUS, UNLESS NOTED OTHERWISE
B4	W10x22	-
B5	W6x20	-
B6	C5x9	CAN BE SINGLE OR MULTI-SPAN CONTINUOUS, UNLESS NOTED OTHERWISE
B7	HSS 12x8x1/4	-
B8	W10x15	CAN BE SINGLE OR MULTI-SPAN CONTINUOUS, UNLESS NOTED OTHERWISE WITH STIFFENERS OVER SUPPORTING BEAM $\phi$ s, TYP.

1. NOT ALL BEAM SIZES USED ON THIS SHEET  
 ▶ = MOMENT CONNECTION

**GENERAL SHEET NOTES**

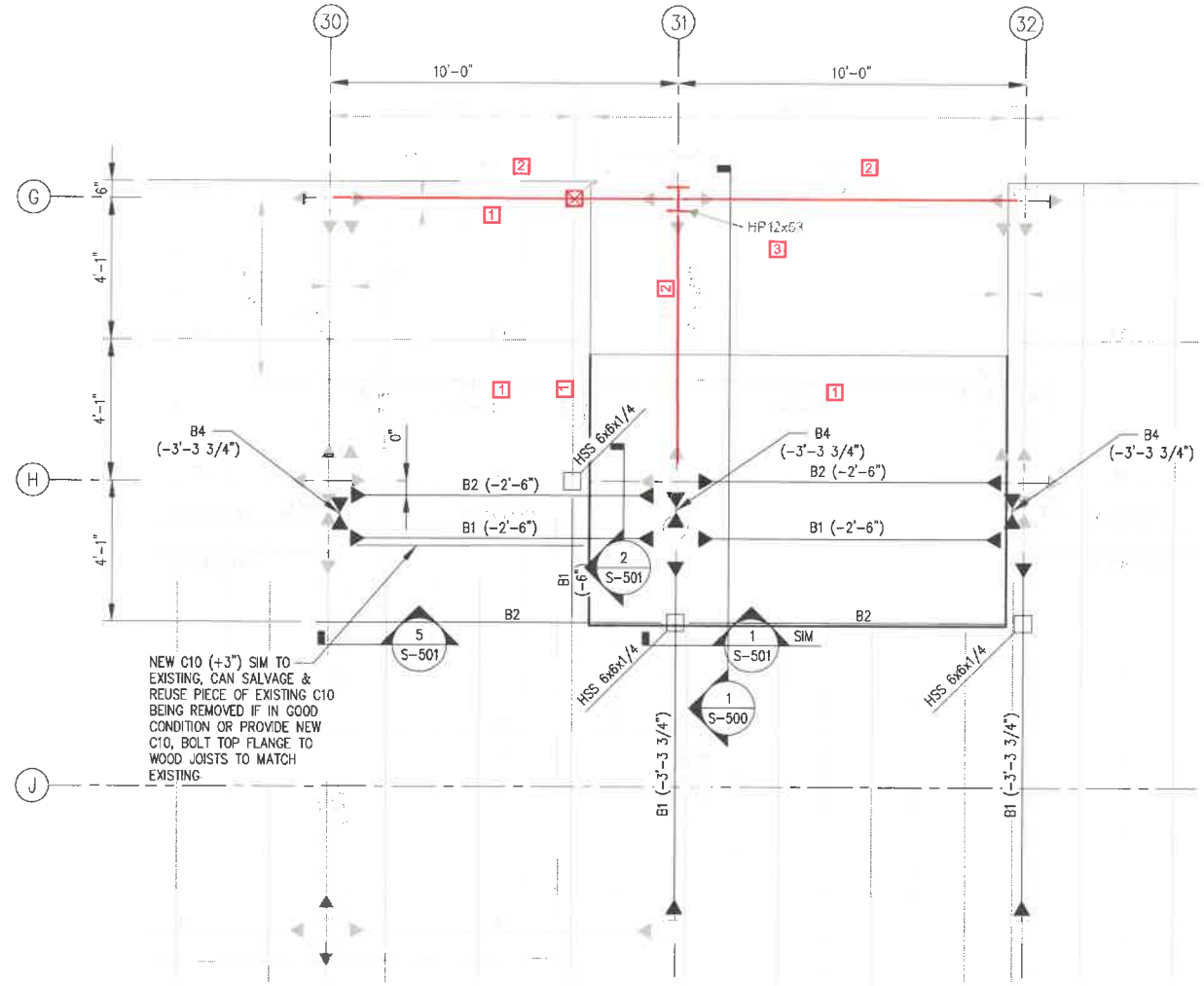
- CONTRACTOR RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING PILE LAYOUT PRIOR TO CONSTRUCTION.
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**KEYNOTES**

- SHORE EXISTING BEAM AS REQUIRED.
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- REMOVE TOP PORTION OF EXISTING PILE. SEE DETAILS.



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1 PARTIAL DEMO PLAN - RAMP #3  
 1/4" = 1'-0"

PRINT DRAWINGS IN COLOR

REVISIONS FOR CONSTRUCTION  
 03/30/2023

SHEPLER'S MACKINAC ISLAND FERRY  
 SHEPLER'S MACKINAC ISLAND DOCK RAMP REVISIONS  
 PARTIAL FRAMING PLAN - RAMP #3

S-104

DRAWING PATH: P:\7707\_7798\77222010\_Shepler\_MackinacIslandDockRamp\_Rev06.dwg; Shepler\Shepler\2023\03\_PLANS.dwg; Mar 30, 2023, 1:21:11



BEAM SCHEDULE		
MARK	SIZE	REMARKS
B1	W10x33	-
B2	W12x65	-
B3	W6x15	CAN BE SINGLE OR MULTI-SPAN CONTINUOUS, UNLESS NOTED OTHERWISE
B4	W10x22	-
B5	W6x20	-
B6	C5x9	CAN BE SINGLE OR MULTI-SPAN CONTINUOUS, UNLESS NOTED OTHERWISE
B7	HSS 12x8x1/4	-
B8	W10x15	CAN BE SINGLE OR MULTI-SPAN CONTINUOUS, UNLESS NOTED OTHERWISE WITH STIFFENERS OVER SUPPORTING BEAM @s, TYP.

1. NOT ALL BEAM SIZES USED ON THIS SHEET  
 ▶ = MOMENT CONNECTION

GENERAL SHEET NOTES

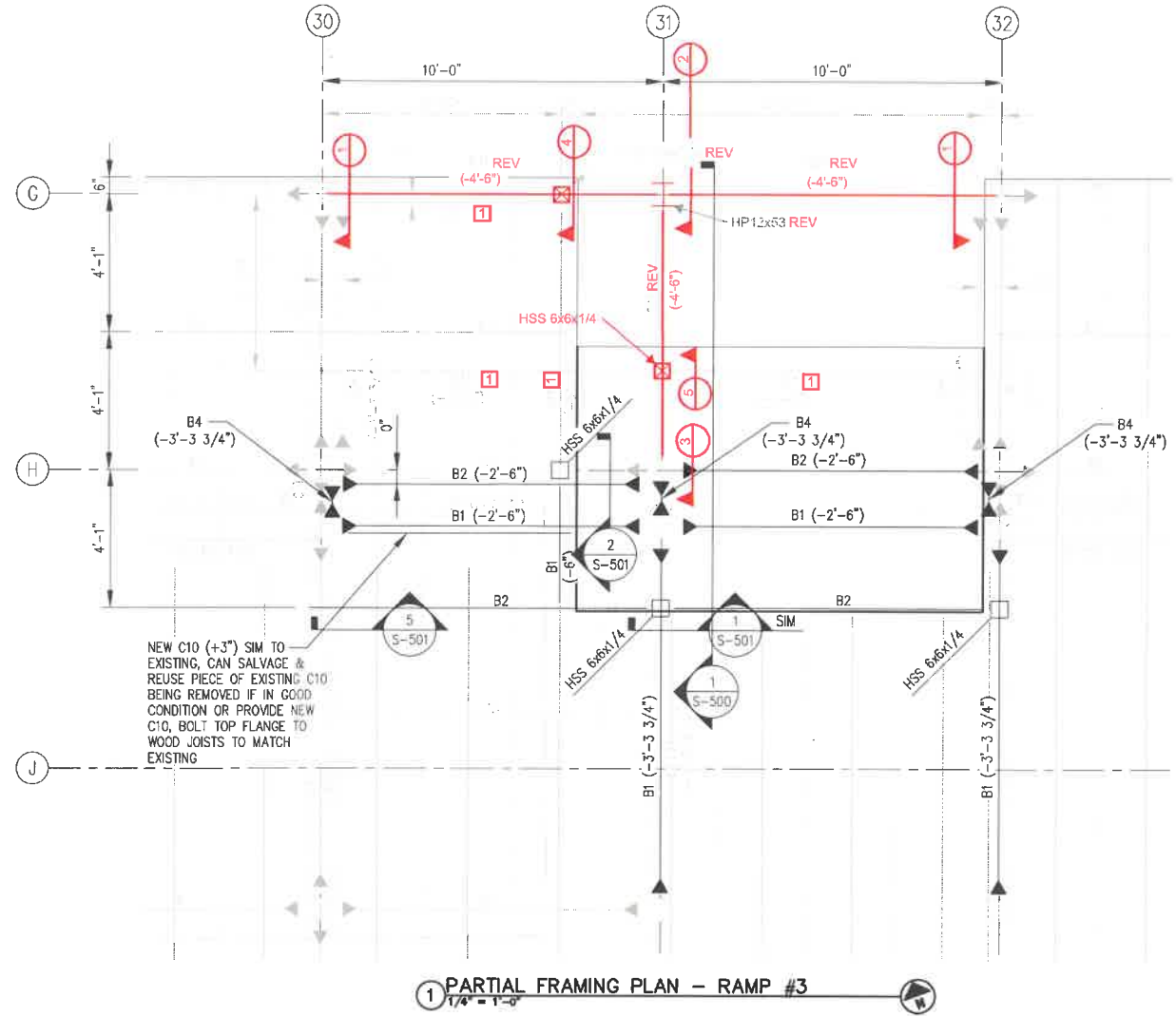
- CONTRACTOR RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING PILE LAYOUT PRIOR TO CONSTRUCTION.
- SOME OF THE EXISTING FRAMING NOT SHOWN FOR CLARITY. MEMBERS SHOWN WITH A GRAY/BLACK LINE ARE EXISTING. MEMBERS SHOWN WITH A RED LINE ARE NEW/MODIFIED.

KEYNOTES

- 1 SHORE EXISTING BEAM AS REQUIRED.



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1 PARTIAL FRAMING PLAN - RAMP #3  
 1/4" = 1'-0"

PRINT DRAWINGS IN COLOR

DATE	PROJECT	PROJ. USE	DATE	COUNTY	DATE
1/22/2024	7022601	APP	1/22/2024	Was	1/22/24
SHEPLER'S MACKINAC ISLAND FERRY SHEPLER'S MACKINAC ISLAND DOCK RAMP REVISIONS PARTIAL FRAMING PLAN - RAMP #3					
REVISIONS FOR CONSTRUCTION					
24/03/2024					

S-105

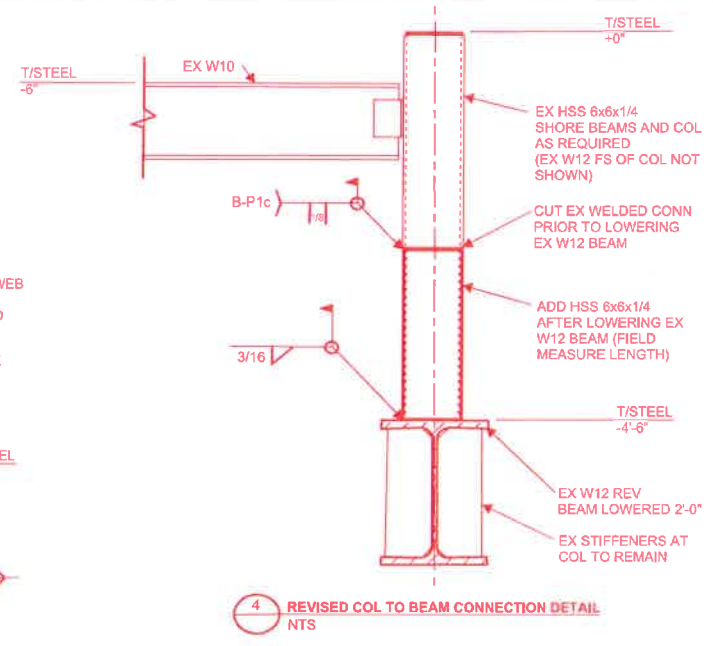
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 ARCHITECTS ENGINEERS PLANNERS  
 300 East Mitchell St., Suite 2  
 Palmsby, MI 49770  
 P (231) 344-1150  
 OHM-ADVISORS.COM

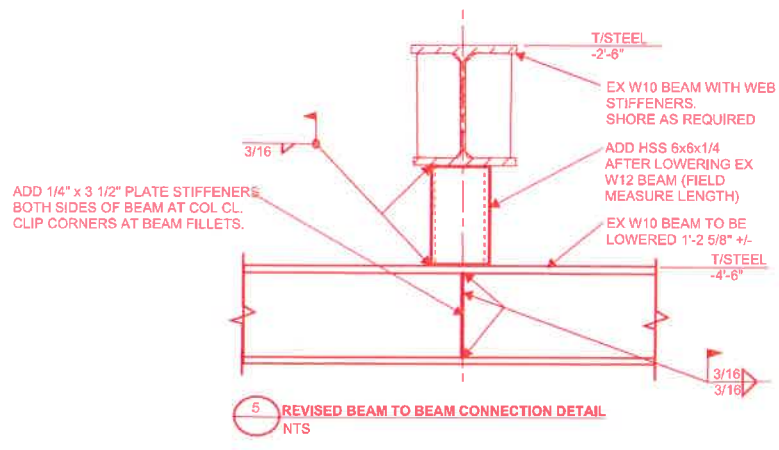
0003/2023  
 FOR CONSTRUCTION

SHEPLER'S MACKINAC ISLAND FERRY  
 SHEPLER'S MACKINAC ISLAND DOCK RAMP REVISIONS  
 STRUCTURAL DETAILS

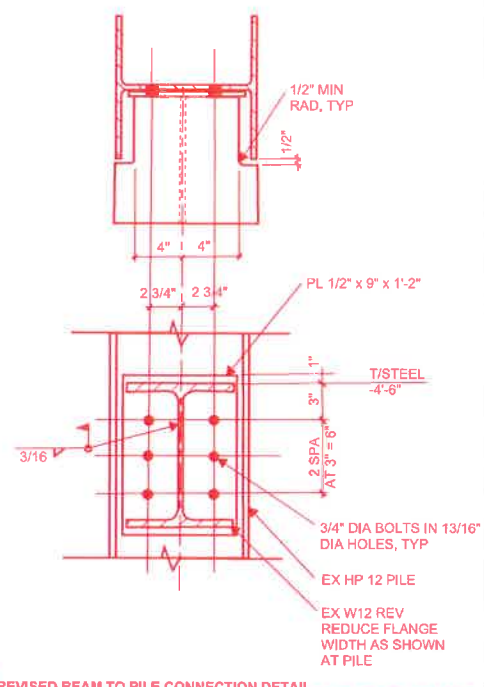
SHEET  
 DATE 12/22/2023  
 PROJECT SHEPLER'S MACKINAC ISLAND DOCK RAMP REVISIONS  
 DRAWN BY JTB/2023  
 CHECKED BY JTB/2023  
 CADD DATE 12/22/2023  
 COUNTY  
 CITY  
 STATE MI  
 SHEET NO. S-501



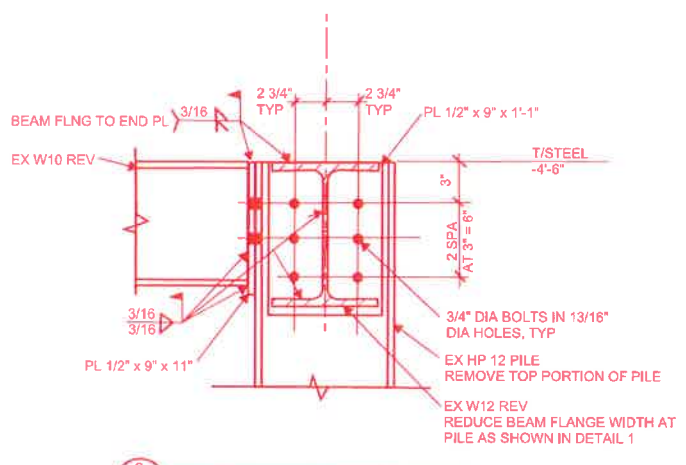
4 REVISED COL TO BEAM CONNECTION DETAIL  
 NTS



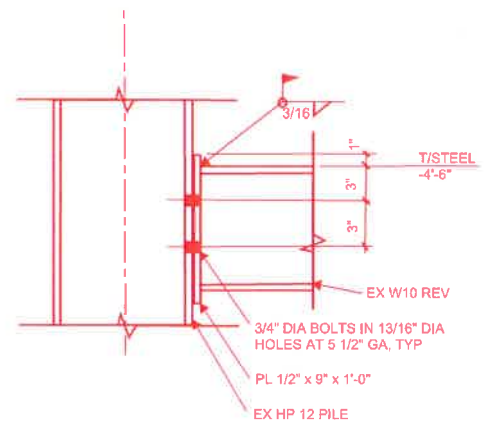
5 REVISED BEAM TO BEAM CONNECTION DETAIL  
 NTS



1 REVISED BEAM TO PILE CONNECTION DETAIL  
 NTS



2 REVISED BEAM TO PILE CONNECTION DETAIL  
 NTS

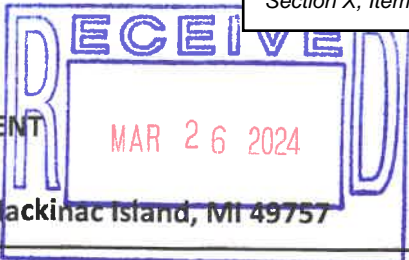


3 REVISED BEAM TO PILE CONNECTION DETAIL  
 NTS

PRINT DRAWINGS IN COLOR

DRAWING PATH: P:\710-1789\172220\0\_Shepler's Mackinac Island Dock Ramp\Drawings\Structural\DETAILS.dwg, Plot Date: 2023-11-15am

CITY OF MACKINAC ISLAND  
PLANNING COMMISSION & BUILDING DEPARTMENT  
APPLICATION FOR ZONING ACTION



[www.cityofmi.org](http://www.cityofmi.org)    [kep@cityofmi.org](mailto:kep@cityofmi.org)    906-847-6190    PO Box 455 Mackinac Island, MI 49757

**APPLICANT NAME & CONTACT INFORMATION:**

JASON WILLY  
231-436-5023    JASON@SITEPLERSFERRY.COM  
Phone Number                      Email Address

Please complete both sides of application.  
The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

**Property Owner & Mailing Address (If Different From Applicant)**

CHRIS SHEPLER                      556 E. CENTRAL AVE.  
MACKINAW CITY, MI 49701

- Is The Proposed Project Part of a Condominium Association? NO
- Is The Proposed Project Within a Historic Preservation District? YES
- Applicant's Interest in the Project (If not the Fee-Simple Owner): DIRECTOR OF OPERATIONS
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO
- Is a Variance Required? NO
- Are REU's Required? How Many? NO                      1 -

**Type of Action Requested:**

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other MODIFICATION TO DOCK STRUCTURE
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

**Property Information:**

- A. Property Number (From Tax Statement): 051-440-014-00    File No. C24.014.017(H)
- B. Legal Description of Property: \_\_\_\_\_
- C. Address of Property: 7431 MAIN ST.    Exhibit A
- D. Zoning District: COMMERCIAL    Date 3-26-24
- E. Site Plan Checklist Completed & Attached: YES
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) YES    Initials KP
- G. Sketch Plan Attached: N/A
- H. Architectural Plan Attached: YES
- I. Association Documents Attached (Approval of project, etc.): N/A
- J. FAA Approval Documents Attached: N/A
- K. Photographs of Existing and Adjacent Structures Attached: SEE ATTACHMENT

**Proposed Construction/Use:**

- A. Proposed Construction:
  - New Building
  - Alteration/Addition to Existing Building
  - Other, Specify MODIFICATION TO DOCK STRUCTURE

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Proposed Use: \_\_\_\_\_  
\_\_\_\_\_

C. If Vacant:

Previous Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

STATE OF MICHIGAN )  
COUNTY OF MACKINAC ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the DIRECTOR OF OPERATIONS (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Jason Wiley  
Signature

SIGNATURES \_\_\_\_\_  
Signature

JASON WILEY  
Please Print Name

\_\_\_\_\_  
Please Print Name

Signed and sworn to before me on the 2nd day of April, 2024.

**MINDY ROGALA, Notary Public**  
State of Michigan  
County of Cheboygan  
My Commission Expires 10/28/2028  
Acting in the County of Emmet

Mindy Rogala  
Notary Public

Emmet County, Michigan  
My commission expires: 10/28/2028

**FOR OFFICE USE ONLY**

Zoning Permit Issued: \_\_\_\_\_

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised October 2023

**OFFICE USE ONLY**

FILE NUMBER: \_\_\_\_\_

FEE: \_\_\_\_\_

DATE: \_\_\_\_\_

CHECK NO: \_\_\_\_\_

INITIALS: \_\_\_\_\_

Revised October 2023

# City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

## Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

### Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Legal description of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Present zoning classification of the subject parcel	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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13. Proposed construction start date and estimated duration of construction.

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission

<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------

Natural Features

Provided

Not Provided or Applicable

15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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16. Topography of the site with at least two- to five-foot contour intervals

<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------

17. Proposed alterations to topography or other natural features

<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------

18. Earth-change plans, if any, as required by state law

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Physical Features

Provided

Not Provided or Applicable

19. Location of existing manmade features on the site and within 100 feet of the site

<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------

20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site

<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------

21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a

<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	-------------------------------------



dwelling schedule showing the unit type and number of each such units

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features                               | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)       | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27)  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Utility Information

- |  | <u>Provided</u>          | <u>Not Provided or Applicable</u>   |
|--|--------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review  
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>





STATE OF MICHIGAN )  
COUNTY OF MACKINAC ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

**The undersigned affirms** that he/she or they is (are) the applicant and the \_\_\_\_\_ (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**

\_\_\_\_\_  
Signature

SIGNATURES

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Please Print Name

\_\_\_\_\_  
Please Print Name

Signed and sworn to before me on the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Notary Public  
\_\_\_\_\_  
County, Michigan  
My commission expires: \_\_\_\_\_

**FOR OFFICE USE ONLY**

Zoning Permit Issued: \_\_\_\_\_

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised October 2018

# City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

## Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

### Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>



- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 22. Description of Existing and proposed on-site lighting (see also Section 4.27)  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | <u>Utility Information</u>  | <u>Provided</u>          | <u>Not Provided<br/>or Applicable</u> |
|---|--------------------------|---------------------------------------|
| 23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand   | <input type="checkbox"/> | <input checked="" type="checkbox"/>   |
| 24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)  | <input type="checkbox"/> | <input checked="" type="checkbox"/>   |
| 25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)  | <input type="checkbox"/> | <input checked="" type="checkbox"/>   |
| 26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/>   |

**Architectural Review  
Informational Requirements (Section 18.05)**

- | <u>Item</u>   | <u>Provided</u>                     | <u>Not Provided<br/>or Applicable</u> |
|---|-------------------------------------|---------------------------------------|
| 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership  | <input type="checkbox"/>            | <input checked="" type="checkbox"/>   |
| 2. Legal description of the property  | <input checked="" type="checkbox"/> | <input type="checkbox"/>              |
| 3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06) | <input type="checkbox"/>            | <input checked="" type="checkbox"/>   |
| 4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.   | <input type="checkbox"/>            | <input checked="" type="checkbox"/>   |

# City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

## Site Plan Review Checklist Please Submit With The Application for Zoning Action

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As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

---

### ***Optional Preliminary Plan Review Informational Requirements (Section 20.03)***

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input type="checkbox"/>

All materials hauled to site with drays. Debris handled with 2 footers. Might need Ditch Witch Stand On Skid Steer for retaining wall.

Revised October 2023

All materials and vehicles will be stored on the lot. 2 footer will be staged on street in a manner that will not block access for emergency vehicles or carriages.

- 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.
- 13. Proposed construction start date and estimated duration of construction.    

Start April 2024  
Duration 2 months
- 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
19. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a	<input type="checkbox"/>	<input checked="" type="checkbox"/>

dwelling schedule showing the unit type and number of each such units

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features                               | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)       | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27)  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Utility Information

Provided

Not Provided or Applicable

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

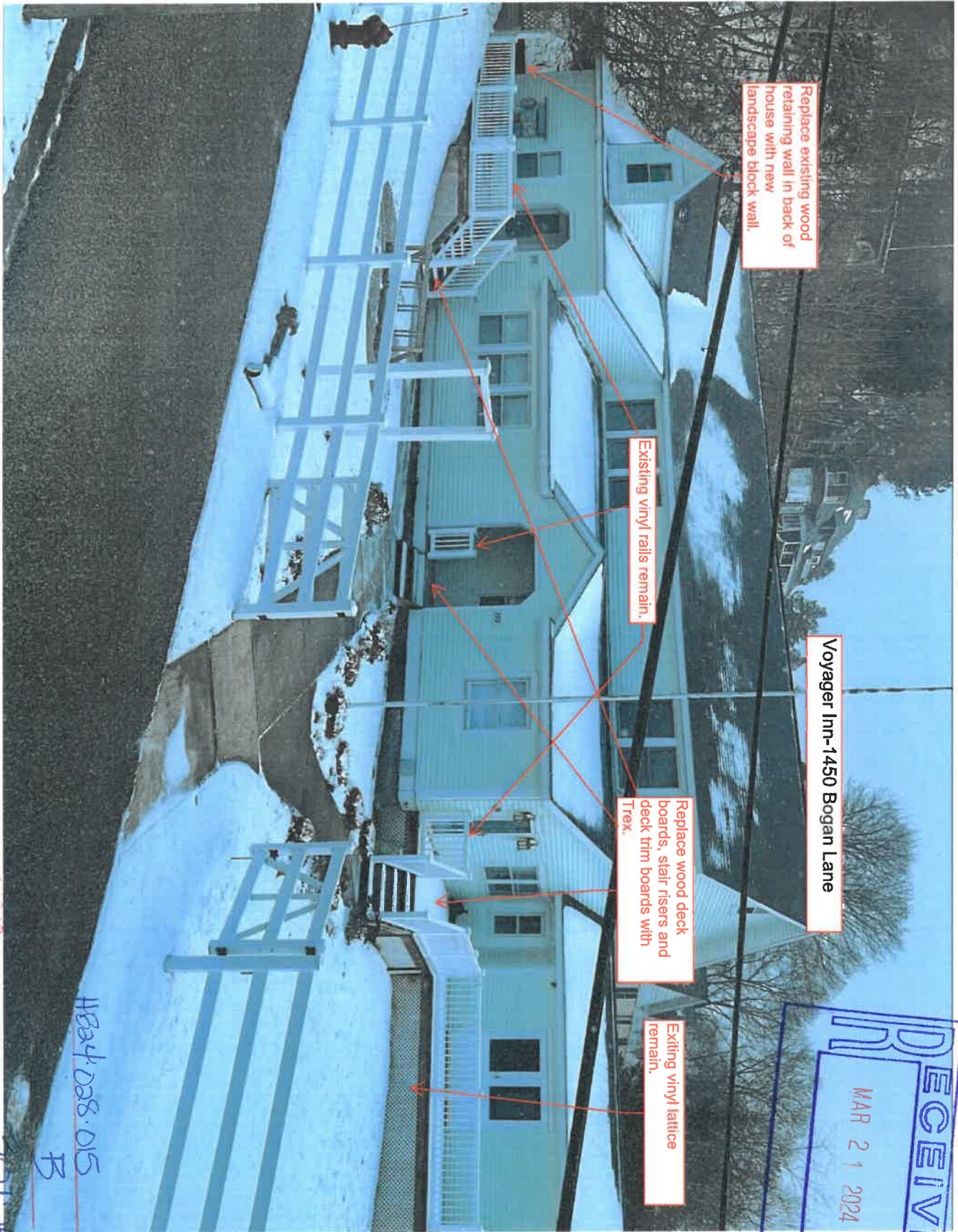
**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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**Architectural Review  
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

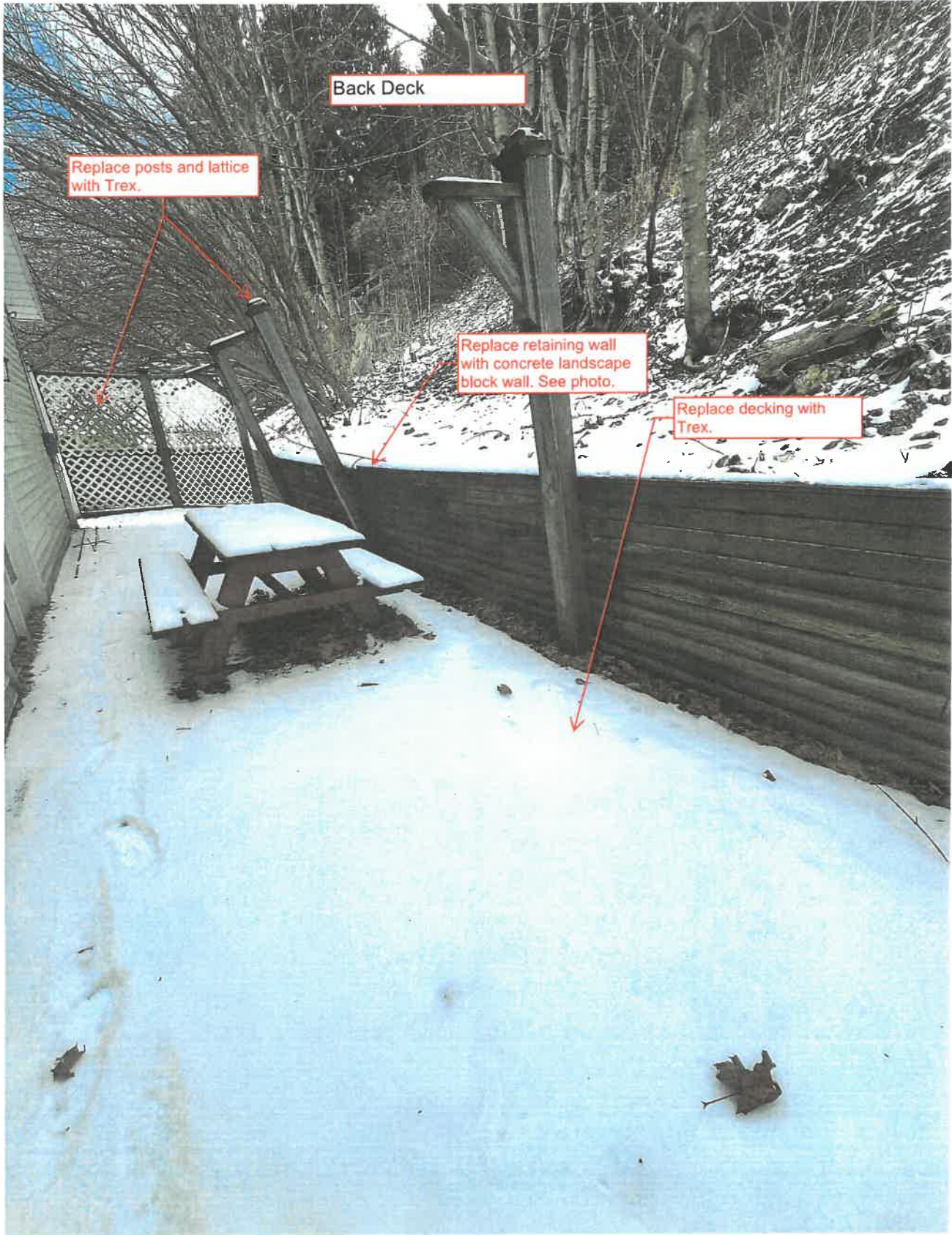


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Date 3.21.24

Initials KP