

CITY OF MACKINAC ISLAND

AGENDA

PLANNING COMMISSION MEETING

Tuesday, June 13, 2023 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

[a.](#) Zoom Information

II. Roll Call

III. Pledge of Allegiance

IV. Approval of Minutes

[a.](#) Minutes of the Public Hearing May 9, 2023

[b.](#) Minutes of the Regular Meeting May 9, 2023

V. Adoption of Agenda

VI. Correspondence

[a.](#) Municode Meeting Training

[b.](#) Mission District Study Report for Comment

VII. Staff Report

VIII. Committee Reports

IX. Old Business

[a.](#) Harbour View 7th Street Housing

[b.](#) R321-004-048 Tulecki A/C Addendum

[c.](#) HB22-017-032 Woods Restaurant Propane and Shed Amendment

[d.](#) MD23-067-023(H) Corner Cottage Site Plan Amendment

[e.](#) R123-006-022 Gromley New Home

X. New Business

[a.](#) R423-023-029 McCarty Fence

[b.](#) R123-014-036 Hammons New Home

XI. Public Comment

XII. Adjournment

Topic: Historic District Commission

Time: Jun 13, 2023 01:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/84370605749?pwd=MTRRL1RLTFJQeG1CaXYvZU9MWU0yZz09>

<https://tinyurl.com/yxdjrfhr>

Meeting ID: 843 7060 5749

Passcode: 474840

One tap mobile

+13052241968,,84370605749#,,,,*474840# US

Topic: Planning Commission Meeting

Time: Jun 13, 2023 04:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/88265582319?pwd=L2d5b1c0dzJmbkFtd0toOFFVaUp2QT09>

<https://tinyurl.com/2s3d2z7y>

Meeting ID: 882 6558 2319

Passcode: 963429

One tap mobile

+13126266799,,88265582319#,,,,*963429# US (Chicago)

MINUTES OF THE PUBLIC HEARING OF THE PLANNING COMMISSION HELD TUESDAY, MAY 9, 2023 AT 2:30 P.M. IN THE COUNCIL CHAMBERS, CITY HALL, MACKINAC ISLAND, MICHIGAN

Chairman Straus called the Public Hearing of the Mackinac Island Planning Commission to order at 2:33 p.m.

- PRESENT: Michael Straus, Trish Martin, Anneke Myers, Lee Finkel, Mary Dufina, Jim Pettit
- ABSENT: Ben Mosley
- STAFF: Attorney, Erin Evashevski (via Zoom)

Evashevski stated the purpose of the Public Hearing is to discuss a Special Land Use request of boardinghouse at 7596 7th Street, parcel ID 051-630-051-00, which is zoned R4.

No correspondence was received.

PUBLIC COMMENT

Barnwell stated they would like to do a boardinghouse for 20 occupants. Their intent is to tie in to the sewer when available. They will not allow pets and there will be quiet hours from 10:00 PM to 8:00 AM.

COMMITTEE MEMBER COMMENTS

Dufina asked Barnwell about snowmobile parking and access. Barnwell stated they would be parked between Old Barn and this building and the road on the tree-lined side of the street would be used. Dufina asked if there was storage. Barnwell stated there will be no outside storage. Myers asked Barnwell if they have considered an outdoor e-bike charging area. Barnwell stated they had not, but thought it was a good idea. Finkel encouraged the installation of an outdoor outlet as well. Pettit asked the status of the sewer. Barnwell stated once they have Zoning approval it would go to Burt in DPW for the REU determination. Dufina asked what the landscape buffer plans were. Barnwell stated there is an existing cedar hedge. Martin pointed out the requirement of a 10’ area that is to be kept quiet. Barnwell was to check with Evashevski to get clarification on that requirement. Dufina was not clear on the lines shown on the site plan and Barnwell clarified the drawing for her.

With no further comments there was a Motion by Myers, second by Finkel to adjourn the hearing. The hearing was adjourned at 2:51 p.m.

Michael Straus, Chairman

Katie Pereny, Secretary

**MINUTES OF THE REGULAR MEETING OF THE PLANNING COMMISSION H
TUESDAY, MAY 9, 2023 AT 3:00 P.M. IN THE COUNCIL CHAMBERS, CITY HALL,
MACKINAC ISLAND, MICHIGAN**

Chairman Straus called a regular meeting of the Mackinac Island Planning Commission to order at 3:00 p.m.

PRESENT: Michael Straus, Lee Finkel, Anneke Myers, Jim Pettit, Mary Dufina, Trish Martin

ABSENT: Ben Mosley

STAFF: Attorney, Erin Evashevski (via Zoom)

Motion by Dufina, second to the Motion by Martin to approve the minutes, as written, of the regular meeting on March 14, 2023. All in favor. Motion carries.

Motion by Dufina, second to the Motion by Pettit to approve the minutes, as written, of the regular meeting on April 11, 2023. All in favor. Motion carries.

Motion by Martin, second to the Motion by Finkel, to approve the Agenda, as written, and place on file. All in favor. Motion carries.

Correspondence

None

Staff Report

Municode Meetings Login Information – Pereny

Pereny stated she is helping all Commission members to get signed up. Municode will be doing a brief training in the June meeting and hopes to implement the program in July.

HDC Meeting Summary

Finkel summarized the May 9th meeting.

REU Update – Allen Burt

Burt was not able to attend the meeting so submitted a written report. Straus read the report aloud. There are no changes in REU's since last month. Motion by Martin, second by Finkel to place the report on file. All in favor. Motion carries.

Committee Reports

Master Plan Update

Straus stated that the Mayor plans to appoint the committee this month.

Setbacks and Density Update

Martin stated that the committee discussed the significance of landscape buffers primarily as the idea of a buffer next to a residential property needs to be the full 10'. Porches etc. should not be placed within that 10'. In addition, there should be a plan for the maintenance of the buffer. Dufina stated that the buffer is a requirement for a Certificate of Occupancy. Dufina stated there should be site plan and a landscape plan. Martin stated we may have to add to the application check list to cover these items. Dufina stated that in the future when a special land use is granted, contact information needs to be supplied for a manager and ensure enforcement of the use of a Knox box.

Old Business

C23-083-019(H) Gatehouse Lighting Plan for Information Only

Tamara Burns supplied the requested lighting plan for the Gatehouse. Motion by Dufina, second by Myers to place the plan on file. All in favor. Motion carries.

R423-051-005 Harbour View Housing Special Land Use

Straus stated the public hearing took place today, prior to the regular meeting. The committee reviewed each standard to be met in Section 19.06

- 1- It is a safe building and rules have been set. Per Barnwell, the occupancy is set at 20 with a maximum of 21.

- 2- The previous use was in disrepair. The property owner will have a manager on site and no pets will be allowed. There is an existing hedge acting as the landscape buffer.
- 3- The building fits in with other properties that have been improved and offers nice employee housing. The Use is permitted with a Special Land Use.
- 4- There is adequate access to the site. There is a drainage plan. There are utilities and intend to connect to the city sewer when it becomes available. Bike storage and trash plan were provided.
- 5- Walkways have been designed leading to places occupants will come from. The applicant is willing to move the bike racks if the occupants end up using a different traffic pattern. In addition, the applicant is considering an outdoor e-bike charging area.
- 6- The building conforms to R4 regulation.

The following are the conditions of the Special Land Use:

No pets

Will connect to sewer when it becomes available

20 Occupant limit

10:00 PM to 8:00 AM quiet hours

There will be a resident manager on site

If there is any increase in occupancy the applicant must come back to the Planning Commission for approval.

The landscape buffer will be maintained so as to not become a nuisance and it will be continuous and full to ensure privacy as required by Section 4.09.

All of the Conditions will be recorded with Mackinac County

Evashevski reviewed the requirements stated in Section 7A.03,B and confirmed that the requirements are all met.

Motion by Myers, second by Dufina to approve the Special Land Use by Harbour View housing, on 7th street, file number R423-051-005, with all the above stated conditions and findings. Roll call vote: Ayes: Straus, Dufina, Finkel, Martin, Myers, Pettit. Nays: None. All in favor. Motion carries.

Straus asked about approval of the structure. It was determined that it will be reviewed in the June meeting.

R322-008-040 MICT – Barnview Site Plan Revision

McGreevy stated they are no longer doing the septic system, as they will be tying in to the Grand Hotel force main. The REU's became available. Motion by Myers, second by Martin to accept the changes to the approved site plan. Roll call vote: Ayes: Straus, Dufina, Finkel, Martin, Myers. Nays: None. Pettit abstained. All in favor. Motion carries.

R421-011-100 MICT – Employee Housing Elevation Revisions

McGreevy stated they will be changing the windows from casement to double hung. They look the same. Motion by Myers, second by Martin to approve the change in elevation to the building at 2435 Cadotte Avenue. Roll call vote: Ayes: Straus, Dufina, Finkel, Martin, Myers. Nays: None. Pettit abstained. All in favor. Motion carries.

MD23-021-018(H) GHMI – Carousel Mall Contingency

Tamara Burns submitted the required contingency for signage, trash storage, and bike parking. The access will be from the Parker Apartments side of the building. Motion by Myers, second by Dufina to accept the contingency plan, including signage, and place on file. Roll call vote: Straus, Dufina, Finkel, Martin, Myers, Pettit. Nays: None. All in favor. Motion carries.

New Business

R123-006-022 Gromley – New Home in Stonebrook

Architect, Nick Liebler, described the project as a new home on lot 6 in Stonebrooke. The contractor has not yet been selected. HOA approval has been granted. Finkel suggested the applicant consider snowmobile parking. Neal Liddicoat stated that sleds are required to be stored away in the summer. Dufina asked which plan is the correct site plan, as two plans labeled “Landscape” were submitted. It was determined that the landscape plan with the legend, is the correct site plan. Liebler stated that the bike storage building shown on the plan is being removed as

instructed by Dombroski. The overall height is 34' 11 ¾". The structure will be stick built. The overall square footage is 3580 square feet. Per the City ordinance this size requires architectural review. Motion by Myers, second by Finkel, to send the application to Richard Neumann for review, as required by the City Ordinance. All in favor. Motion carries. Dufina questioned the absence of the stormwater management plan and the electrical service, transformers, propane tanks plan. Liebler stated that propane service is provided elsewhere on the island, electric service is provided by the Stonebrooke Association, and the only stormwater management plan they have is the water coming off the house and filters back in to the ground. Finkel pointed out that propane is delivered via dray so there will need to be access for the dray. Liebler stated it will probably only be a small tank of propane for the grill. If larger tanks are required he would need to provide details on storage and screening. Straus asked about pictures of surrounding buildings. The applicant did provide the photos but they were not in the packet. Pereny is to get the photos to the Commissioners. Dufina asked where deliveries will be sent. Liebler stated all deliveries will go to the front door.

MD23-067-023(H) GHMI – Corner Cottage Change of Use & Renovations

Tamara Burns stated that KSL purchased the Musser Cottage. The Grand would like to use it as a single key hotel suite. It is intended to be rented to one family or group only. They would like to change the Use from single family to hotel use. Burns stated that the building will be sprinkled and made ADA accessible. The rear building known as the “Kennel” building will be used as both an employee space and hotel. This building will also be sprinkled. Pettit asked what the increased lot coverage is. Burns stated it is the ADA paths. They will be permeable pavers, but as the ordinance reads now, they are considered impermeable. Myers stated when changing to hotel use, a fire escape must be provided. Burns stated it will be completely sprinkled and there will be egress. Straus asked how the 2nd story is handled. Martin stated there must be two sets of stairs for fire. Burns stated that did not come up with her talk with Dombroski. Burns stated that the whole cottage is looked at as one suite, like Masco cottage, so only one staircase would be required. Myers stated if down the line, if the rooms are rented individually, another staircase must be added. Myers would like that noted in this approval. Straus stated he knows it is allowed, but is there a process that must be followed to change from residential to hotel use. Evashevski stated that she needs to check on this. She believes that since it is a permitted use, she does not believe there is a special process to follow. Burns stated that the lot off of Mahoney is currently used for access for deliveries and trash removal. Pedestrian drop off will be in the front of the building. When the use of the Mahoney lot was questioned, Musser stated that there is an agreement in principle to sell the lot to KSL upon approval of the change of use. Myers asked how the Commission would make sure the plan is OK if the Mahoney lot is sold to someone else. Evashevski stated an access easement would be required. Evashevski further said that if all access is done through the front, an easement would not be required. After some discussion on access, Myers stated if the site plan changes it would need to be brought back to the Planning Commission. Martin asked which way the gate swings. Burns stated it swings out and self closes for ADA access. Martin stated that per the ordinance the gate must swing in. Gene Hopkins stated their goal was not to destroy the historic trellis entrance. Burns stated they could install a button to push to open the gate. Straus asked about the landscape buffer in the back. Burns stated that a buffer is not required in the Market District. There is an existing retaining wall with vegetation on top. Myers stated that overall this is considered one suite with 5 bedrooms. Myers stated that the site plan states 5 hotel rooms are planned. Myers asked for density clarity on how the density should be calculated and stated. It is one hotel suite with 5 bedrooms. Evashevski stated she would prefer Dombroski review the density before changing the wording. Motion by Myers, second by Martin to table the application on the advice of council to have Dombroski review density, and the gate to be amended to swing in. Roll call vote: Ayes: Straus, Dufina, Finkel, Martin, Myers, Pettit. Nays: None. All in favor. Motion carries.

HB23-002-024 GHMI – Masco Cottage Renovations

Burns stated the applicant would like to do some renovations on Masco Cottage suite. They would like to move the door and windows around and extend the outdoor space for more living space. Pettit asked if the propane would be portable. Burns stated yes, it is just for the fire pit. Neumann stated that all of the changes are appropriate to the cottage. Motion by Dufina, second by Martin to approve the application. Roll call vote: Ayes: Straus, Dufina, Finkel, Martin, Myers, Pettit. Nays: None. All in favor. Motion carries.

RS23-046-025(H) Gilmer – Fence & Hedge Replacement

Straus stated that the applicant would like to replace the existing fence and hedge. The HDC approved his application. Doug Darga stated that the east and west side existing chain link fence is to be replaced with a decorative Victorian style 48” high black aluminum fence. The overgrown hedge is being replaced with a narrower arborvitae. The hedges will be set inside the fence line. The hedges grow a maximum of 10-12’ tall. Straus asked if we know that the existing fence is on the property line. Darga stated that Jack Barnwell stated that the hedges were paid for by his grandmother, but are technically on City property. However, she maintained them over the years. Darga will work with Dombroski to make sure the fence is on the applicant’s property. The front fence is not being changed at all. The work will be done with a mini skid steer. Martin asked if the fence tops are pointed. Martin was worried about someone hurting themselves on the fence. Darga reminded her that the hedges will overcome the fence and it won’t even be seen. The fence is being installed for dogs. Motion by Myers, second by Martin to approve the application. Roll call vote: Ayes: Straus, Dufina, Finkel, Martin, Myers, Pettit. Nays: None. All in favor. Motion carries.

R123-019-028 Dobronski – New Carriage House

Steve Rilenge stated that this is the old Fridline house. They would like to build a carriage house to store snowmobiles. It will be in the buildable footprint. The overall height is 17’. Pettit confirmed that no animals will be kept in the building and Straus asked if he understood the REU issue if animals will be kept in the building. Rilenge stated it is just for snowmobiles and bikes. When asked by Martin, Rilenge stated the doors are swing-out doors. Motion by Pettit, second by Dufina to approve the application. Roll call vote: Ayes: Straus, Dufina, Finkel, Martin, Myers, Pettit. Nays: None. All in favor. Motion carries.

PUBLIC COMMENT

Pettit asked about the screening of the A/C units at the Tulecki house. Straus questioned that as well and also discovered that the units were supposed to be placed on the back side of the house. Dombroski is to review this issue.

Pettit stated that Grand Hotel put a couple of shipping containers behind the stockade. Jurcak stated they are permitted containers.

With no further business there was a Motion by Finkel, second by Martin to adjourn the meeting. All in favor. Motion carries. The meeting was adjourned at 4:51 PM.

Michael Straus, Chairman

Katie Pereny, Secretary

ATTORNEYS AND COUNSELORS AT L A W
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May 18, 2023

Michigan Historical Commission
c/o Michigan Dept. of Natural Resources
702 W. Kalamazoo St.
Michigan History Center
Lansing, MI 48909
MHCInfo@Michigan.gov

Michigan Department of Treasury
430 W. Allegan Street
Lansing, MI 48922
MIStateTreasurer@Michigan.gov

Michigan Department of Natural Resources
525 W. Allegan St.
Lansing, MI 48909
DNR-Director@Michigan.gov

Michigan State Housing Development
Authority
735 E. Michigan Avenue
Lansing, MI 48912
MSHDA@michigan.gov

State Historic Preservation Review Board
c/o State Historic Preservation Office
702 W. Kalamazoo St.
Michigan History Center
Lansing, MI 48909
arnolda@michigan.gov

Michigan Economic Development Corp.
300 N. Washington Square
Lansing, MI 48913
wildmanm1@michigan.org

State Historic Preservation Office
702 W. Kalamazoo St.
Michigan History Center
Lansing, MI 48909
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City of Mackinac Island Planning
Commission
Attention: Katie Pereny
7358 Market Street
Mackinac Island, MI 49757
kep@cityofMI.org

Dear Sir or Madam:

Enclosed for your review and recommendations pursuant to the Local Historic Districts Act is a copy of the Preliminary Historic District Study Committee Report regarding a proposed Mission Historic District in the City of Mackinac Island, Michigan.

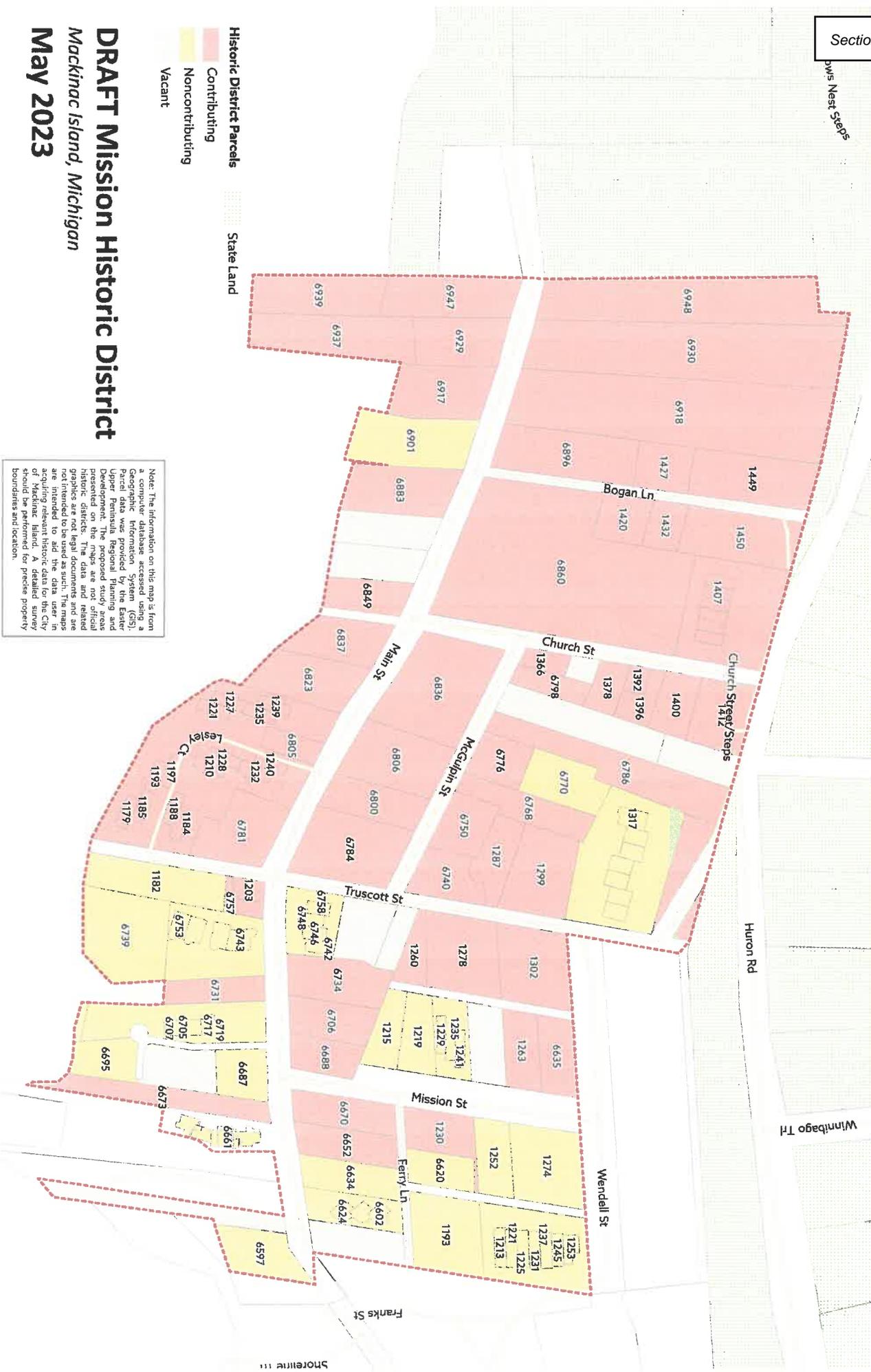
Please call if you have any questions.

Respectfully submitted,

Gary R. Rentrop

Gary R. Rentrop, Attorney for the City of Mackinac
Island Historic District Study Committee

James Nest Steps



Historic District Parcels

- Contributing
- Noncontributing
- Vacant

State Land

DRAFT Mission Historic District
Mackinac Island, Michigan
May 2023

Note: The information on this map is from a computer database accessed using a Geographic Information System (GIS). Parcel data was provided by the Eastern Upper Peninsula Regional Planning and Development. The proposed study areas presented on the map are not official historic districts. The data and related graphics are not legal documents and are intended to aid the data user in acquiring relevant historic data for the City of Mackinac Island. A detailed survey should be performed for precise property boundaries and location.

FINAL DRAFT FOR COMMENT

**PRELIMINARY HISTORIC DISTRICT STUDY COMMITTEE REPORT
MISSION HISTORIC DISTRICT
CITY OF MACKINAC ISLAND, MICHIGAN
May 18, 2023**

CHARGE OF THE HISTORIC DISTRICT STUDY COMMITTEE

On August 3, 2022, the Mackinac Island City Council appointed a committee to study a proposed Mission Historic District. The study area is defined as follows:

On the west, the proposed boundary is the westernmost boundary of the property immediately adjacent to and east of the Island House Hotel property (which is on state-leased land), then proceeding south across Main Street and along the eastern boundary of the state-owned marina property to the water of Haldimand Bay, then proceeding east along the water's edge of Haldimand Bay including docks south of Main Street (M-185/Lakeshore/Huron Street) extending into the bay, to the westernmost boundary of state-owned land located along the water's edge, then continuing northerly along the western boundary of state-owned land and crossing Main Street to follow the western boundary of non-Mission Point owned land just west of Franks Street, north to Wendall Street, then proceeding west along the south side of Wendall Street, then north along the west side of Truscott Street, then proceeding west along the south side of Truscott Street, then west along the south side of Huron Road until Huron Road intersects with state-owned land, then proceeding west along the southern boundary of state-owned land to the point of beginning at the eastern boundary of the property where the Island House Hotel is located (excluding from the above description any state-owned property and the property commonly known as the "Beaver Dock" owned by D and S North Real Estate, LLC). Properties included in the proposed district would include those on both sides of a portion of Main Street, Bogan Lane, Church Street, a portion of Truscott Street, McGulpin Street, Mission Street, Ferry Lane, those properties on the west side of Franks Street, the south side of Wendell Street, a portion of the west and south sides of Truscott Street, and a portion of the south side of Huron Road, as well as properties on both sides of alleys or court streets that are encompassed within these boundaries.

STUDY COMMITTEE MEMBERS

Sam Barnwell, resident of an existing historic district, and part of management company as Chief Development Officer for properties within the proposed historic district

Brad Chambers, long time property owner and resident of Mackinac Island

Mary Dufina, Year-round island resident and business owner for 50 plus years, currently serving Planning Commission, Historic District Study Committee and owner of a historic home in West End Historic District.

Brian Findley, former hotel executive and current owner and manager of a Bed and Breakfast on Mackinac Island, deep roots in Mackinac Island since childhood, involved in the arts on the island

Nancy May, third generation, life-long resident of Mackinac Island and lives and owns property in the proposed district

Consultants to the Committee - Past Perfect, Inc.

Jennifer Metz, Principal (36 CFR 61, Architectural History)

Rebecca Smith-Hoffman, Principal (36 CFR 61, History)

INVENTORY

A photographic inventory of the proposed district was conducted between May and August 2022 for the City of Mackinac Island Building Inventory and Reconnaissance Historic Resource Inventory. Additional photographs were taken in the spring of 2023.

DESCRIPTION OF THE DISTRICT

The proposed Mission Historic District, as described above, is located at the eastern end of Mackinac Island, is bordered at the north by the East Bluff, at the west by State Park-owned land, at the east by the Mission Point Resort, and at the south by Lake Huron. The streets in the district generally form a grid. Main Street is the major east-west artery, with five north-south side streets – Bogan Lane, Church, Truscott, Mission and Franklin Streets. McGulpin, Wendall, and Ferry Streets are short east-west streets north of Main Street, with Lesley Court curving between Main and Truscott Streets at the south.

The proposed district is a largely intact, cohesive neighborhood and the buildings as a group reflect the various periods of development of historic Mackinac Island. Those buildings constructed after the period of significance are designed to fit the scale of the historic structures around them and do not detract from the area’s historic character.

The district contains 81 structures representing a variety of uses – hotels, bed and breakfast inns, apartment and condominium buildings, private residences, and three churches. Barns and other out buildings, though few in number, are a distinctive part of the landscape. Important natural features of the district are its extensive canopy of mature trees, the ubiquitous lilac bushes that are distinctive to the island, colorfully landscaped gardens, and the impressive viewscape looking toward Haldimand Bay of Lake Huron.

A majority of the structures in the district date from the early nineteenth century to the early decades of the twentieth century. However, there is evidence of eighteenth-century development. The William McGulpin House, built in 1790-91 and now located on Fort and Market Streets, was moved from McGulpin Street in 1982. A sided log house at 6768 McGulpin Street, known as the McGulpin Family House, likely dates from the late eighteenth century as well.

There are seven small to medium-sized hotels and bed and breakfast inns: Bay View Bed and Breakfast (6947 Main Street), Inn on Mackinac (6896 Main Street), Harbour View Inn (6860 Main Street), Haan's 1830 Inn (6806 Main Street), the Jacob Wendell House Bed & Breakfast (6734 Main Street), Bogan Lane Inn (1420 Bogan Lane), and the Pine Cottage Bed & Breakfast (1427 Bogan Lane).

There are three small businesses: Mackinac Wheels (6929 Main Street), a bicycle rental and repair shop; Fleurish & Bloom, (6673 Main Street), a flower shop; and the Butterfly House and Insect World (6750 McGulpin Street).

Three of the island's five churches are located in the district: The Mission Church (6670 Main Street), Ste. Anne Roman Catholic Church (6836 Main Street), and Mackinac Island Bible Church (6688 Main Street), which is located in a house converted for use as a church.

ARCHITECTURAL STYLES

Facing Main Street, the district's largest and most high-style structures are private residences and tourist hotels, a number of which originally were larger private houses that have been expanded to accommodate a changed use. The houses on the side streets, which are generally smaller and simpler in design, are a mixture of private residences and bed and breakfast inns, particularly on Bogan Lane. Examples of architectural styles popular in the United States from the early nineteenth to the early decades of the twentieth century can be found in the district – Colonial, Greek Revival, Gothic Revival, Queen Anne, and Colonial Revival, as well as vernacular interpretations of these styles. The predominant vernacular house types dating from the 1840s are front-gabled, gable and wing, side-gabled, and cross-gabled, almost always with a front porch (sometimes enclosed). Occasionally there is simple Queen Anne or Italianate detailing, but most often decorative detail is minimal.

The late twentieth century buildings in the district reflect design elements of earlier styles. For example, a number of the more recent apartment and condominium buildings scattered throughout the area can be characterized as Victorian Revival, the designs mimic the window patterns, use of porches and balconies and decorative detail of the historic structures around them.

Mission Church (6670 Main Street), completed in 1829, reflects the Colonial style common to New England churches at that time, a heritage brought to Mackinac Island by the Reverend William Ferry, a Presbyterian minister. Ferry and his wife, Amanda, came to the island from Massachusetts as missionaries with the American Board of Commissioners for Foreign Mission

in 1823 to establish a school for indigenous children from around the Great Lakes. Ferry's work inspired the founding of a congregation and subsequently the construction of the Mission Church. The restoration of Mission Church in the late 1890s was Mackinac Island's first historic restoration project.

The Lafayette Davis House, now Haan's 1830 Inn (6806 Main Street) and the Jacob Wendell House (6734 Main Street) are fine examples of the Greek Revival style, which was so popular between 1840 and 1860 that it was often known as the "National" style. Another interpretation of the style is the house at 6784 Main Street.

The tower and soaring spire of Ste. Anne Roman Catholic Church (6836 Main Street) provides a distinct visual landmark in the district. The Gothic Revival detailing of this building – its steeply pitched roof, the tall, narrow stained glass windows, delicate turrets at each corner, and the massive pedimented entry – emphasize the verticality of the Gothic Revival style typical to churches of this period.

Although there are no high-style Italianate Revival buildings in the district, a few vernacular houses have features associated with the style. Thuya Cottage (6948 Main Street) is a vernacular house that has simple Italianate features – overhanging eaves with brackets, window hoods with decorative detailing, and segmental-arch windows at the bay. Another vernacular example is the house at 1412 Church Street, which has changed over time, yet retains the simple Italianate detail of hipped roof with overhanging bracketed eaves.

The Queen Anne style, which came into vogue in the United States in the 1880s, is widely represented in the district, for example: Bay View Bed & Breakfast (6947 Main Street), Bonnie Doone Cottage (6883 Main Street), the Bennett Hotel (6781 Main Street), the Inn on Mackinac (6896 Main Street), LaChance Cottage, now part of Harbour View Inn (6860 Main Street), residence (6823 Main Street), as well as the vernacular examples having round porch columns (1420 Bogan Lane), and wrap-around porch (1427 Bogan Lane),

The Madame LaFramboise House (6860 Main Street) with its two-story Colonial Revival portico added in the 1890s is an example of the type of changes that have been made to a number of the buildings in the district over time. Ste. Anne Rectory (6837 Main Street) is a smaller example of the Colonial Revival style.

The Great Depression of the 1930s and gas rationing during World War II were not conducive to tourism and devastated the island economy. The hotels, cottages, and most island businesses were closed and there was essentially no construction during this period.

The district has a few representative single-story ranch houses constructed in the 1960s, as well as the Rowe Terrace apartment/condominium buildings. There are the seven Victorian Revival multiunit apartment/condominiums structures constructed in the 1990s and 2000s.

While the historic buildings in the proposed district have sustained changes over time, some more than others, the majority of the structures retain a high degree of architectural integrity, contributing to the historic sense of place that permeates the island. The more recently built

structures are generally in keeping with the scale, massing, and fenestration detail of their historic neighbors and do not negatively impact those structures.

The proposed district as a whole maintains the seven aspects of integrity: design, location, setting, materials, workmanship, association, and feeling.

There are vacant lots in the district and are indicated on the map as such. Care should be taken with their development as many were likely previously used by settlers for open lawn, natural landscape, or at the water's edge had small commercial fishing structures located on them, all of a smaller scale and not obstructing the views of the water.

RESOURCE LIST - PLEASE SEE SPREADSHEET ATTACHED

Please note that Main Street is also referred to as Huron Street, Lakeshore Drive, and M-185. For the purposes of this report Main Street is used.

COUNT AND PERCENTAGE OF HISTORIC AND NON-HISTORIC RESOURCES

Total Resources - 81

Contributing -59 – Contributing resources account for 73 % of the total

Non-Contributing – 22

Please note: the inventory counts single building apartment buildings as one resource (so condominium buildings are one entity); properties with multiple buildings on one parcel under the same ownership are counted as one resource, but they may have multiple contributing structures on that property.

BOUNDARY DESCRIPTION

On the west, the proposed boundary should be the westernmost boundary of the property immediately adjacent to and east of the Island House Hotel property, then proceeding south across Main Street and along the eastern boundary of the state-owned marina property to the water of Haldimand Bay, then proceeding east along the water's edge of Haldimand Bay including docks south of Main Street (M-185/Lakeshore/Huron Street) extending into the Bay, to the westernmost boundary of state-owned land located along the water's edge, then continuing northerly along the western boundary of state-owned land and crossing Main Street to follow the western boundary of Franks Street, north to Wendall Street, then proceeding west along the south side of Wendall Street, then north along the west side of Truscott Street, then proceeding west along the south side of Truscott Street, then west along the south side of Huron Road until Huron Road intersects with state-owned land, then proceeding west along the southern boundary of state-owned land to the point of beginning at the eastern boundary of the property where the Island House Hotel is located (excluding from the above description any state-owned property and the property commonly known as the "Beaver Dock" owned by D and S North Real Estate, LLC). Properties included in the proposed district would include those on both sides of a portion of Main Street, Bogan Lane, Church Street, a portion of Truscott Street, McGulpin Street,

Mission Street, Ferry Lane, those properties on the west side of Franks Street, the south side of Wendall Street, a portion of the west and south sides of Truscott Street, and a portion of the south side of Huron Road, as well as properties on both sides of alleys or court streets that are encompassed within these boundaries.

BOUNDARY JUSTIFICATION

The boundary is the area of the island to the east of downtown beginning after the Mackinac State Historic Parks-owned leased land, south to the water, and east to the large-scale Mission Point Resort, and north to state-owned leased land. The proposed district began to develop in the late eighteenth century and continued to grow as the village spread beyond its original boundaries. The district contains eighty-one (81) structures representing a variety of uses – hotels, bed and breakfast inns, apartment and condominium buildings, private residences, three churches, and three small commercial structures. To the north of the district is state land and the east bluff cottages, to the south is the lakeshore, which is an inseparable part of the district as it was always related to its use for fishing, tourism, and recreation, and therefore the boundary extends to the water's edge. To the west is the Mackinac State Historic Parks leased-property of the Island House Hotel and to the east the property of Mission Point Resort, as the larger hotel complexes (such as Mission Point Resort, the Grand Hotel, and Stonecliff Hotel) are potential historic districts by their own right.

HISTORY OF THE DISTRICT

Major sources and direct portions for the history include sections from the previous reports on the islands historic contexts taken from the National Historic Landmark update of 1999 (Jane Busch) and the Market and Main (Huron) Historic District Study Report (Jane Busch, Past Perfect, 2011), as well as the Mackinac Island Historic Context Report (Eric Gollanek, Past Perfect, 2011). Please see the bibliography for details.

Before the first Europeans saw Mackinac Island, it was an important gathering place for the Native Americans who came there to fish and imbued the island's limestone formations and cliffs with sacred significance. Historical and archaeological evidence suggests that the island's inhabitants have always clustered near Haldimand Bay. In the late seventeenth century, French fur traders and Jesuit missionaries came to the Straits of Mackinac because of its strategic location and because it was already an Indian gathering place. Father Jacques Marquette and a band of refugee Huron established the first mission on Mackinac Island in 1671. Because the soil was unsuitable for their crops, within the year the mission was moved to the north shore of the straits at Fort DuBuade (later known as St. Ignace). By the 1680s, St. Ignace was a center of activity for the Jesuits, fur traders, and French soldiers who built Fort DuBuade. The fur traders established a trading pattern that made the Straits of Mackinac the heart of the upper Great Lakes fur trade for 150 years. In 1697 the French government abandoned Fort DuBuade in response to a glut in the European fur market. When French soldiers returned to the straits in 1714, the Jesuits and their followers had moved to the south shore of the straits, and there the soldiers built Fort Michilimackinac. In 1761 the British took command of Fort Michilimackinac as a result of the Seven Years War.

With the outbreak of the American Revolution, British officials became concerned that the accessible, wood palisade Fort Michilimackinac would not withstand an American attack. In October 1779, the new commander of Michilimackinac, Lieutenant Governor Patrick Sinclair, developed plans to move the fort to Mackinac Island and began negotiations to purchase the island from the Ojibwa and the move began in the winter of 1779–80. As the location for the fort, Sinclair chose the 150-foot bluff overlooking the harbor and south shore, where he located the village. Sinclair knew this left the fort vulnerable to attack from the higher bluff to the north, but it allowed him to protect the village and harbor. The location of the village outside the fort walls, a departure from the situation at Michilimackinac, was intended to enhance military security. Nevertheless, the village had wooden palisade walls of its own on the south, north, and west sides; the bay was on the east. To entice the villagers to move to the island, Sinclair ordered Ste. Anne Catholic Church to be shipped over the ice by oxen-drawn sleds. The church was located at what is now the corner of Market and Hoban streets (it was later relocated farther west on Haldimand Bay). Other buildings were moved across the ice as well; the William McGulpin House (1575 Fort Street) may have been one of them. Although the British were in command, the civilian population in the village consisted predominantly of French fur traders, their Odawa and Ojibwa wives, and their Métis (mixed-blood) offspring.

Although the 1783 Treaty of Paris placed Mackinac Island under the ownership of the United States, American soldiers did not occupy Fort Mackinac until 1796. During this time the population of Mackinac Island grew, expanding beyond the palisade walls of the original village. Reports of the number of buildings in the village between 1796 and 1802 are erratic, ranging from about fifty to eighty-nine. In the winter only about half of the houses were occupied, but the summer population of a thousand or more filled all of the houses and spilled over into teepees. Even after 1796, British merchants continued to control the fur trade, while French and Métis traders conducted most of the actual trading.

Not surprisingly, the early architecture of the village was French colonial in form and construction. Seven of these French colonial log buildings survive on the island today. In 1811, John Jacob Astor's American Fur Company merged with the Montreal Michilimackinac Company, making Astor the first American with a share of the Great Lakes fur trade. Then in July 1812, in the first land action of the War of 1812, the British captured Fort Mackinac. As the westernmost of a line of forts on the border between the United States and Canada, the northernmost fort on the western frontier, and the grand depot for the fur trade, Fort Mackinac was a key defensive post. In December 1814 the Treaty of Ghent ended the war, returning Fort Mackinac to the Americans, who reoccupied the fort in July 1815.

After the war, Astor reestablished Mackinac Island as the American Fur Company's center for interior operations and quickly came to dominate the flourishing fur trade. The scale and complexity of Astor's trading empire was unprecedented. Ramsey Crooks, Astor's partner and general manager, and Robert Stuart, resident manager, supervised the American Fur Company's Mackinac Island operation. Stuart's Federal-style house (7342 Market Street) functioned as the company's administrative headquarters and was an important venue in the social life of Mackinac Island's upper class. Some independent traders—including Michael Dousman and partners Edward Biddle and John Drew—had headquarters on Mackinac Island as well. The trading pattern was much the same as in the late seventeenth century. During the winter, French

Canadian and Métis traders spread through the Great Lakes region trading for furs with Indian trappers. In the summer, traders returned with their pelts to the American Fur Company warehouse (7358 Market Street) on Mackinac Island, where company clerks counted, sorted, graded, and packed the pelts to ship back to New York City. The traders obtained a new supply of trade goods for the next winter's trading. During this summer rendezvous, the island's permanent population of about five hundred grew to about two thousand with visiting traders and trappers as well as Native Americans from many nations who came to do business with the United States Indian Agent.¹

In the 1830s the decline of the fur trade ushered in a time of change for Mackinac Island. In 1834 Astor sold the American Fur Company to a group of investors led by Ramsey Crooks, who moved the company's inland headquarters west to LaPointe, Wisconsin, reducing though not eliminating, Mackinac's role in the fur trade. Crooks was successful at first, but in 1842 a combination of factors led him to declare bankruptcy. During this time, commercial fishing emerged as the island's primary industry. The 1825 opening of the Erie Canal and the introduction of steamboats on the Great Lakes made travel to the region faster and easier, fostering permanent settlement in the region. Mackinac Island became a fish processing and shipping center for the northern Lake Michigan and Lake Huron region. Schooners and steamers transported the fish to markets in the region's growing villages and cities. Although the island never had the prominence in fishing that it had in the fur trade, the fishing industry provided a strong economic basis for Mackinac until at least the Civil War. A dozen or more new docks were built in the 1840s and 1850s. Leading fish merchants included Michael Dousman, Biddle and Drew, William Scott, Toll and Rice, Bromilow and Bates, and James Bennett. The Bromilow & Bates building (7330 Huron Street) is one of few tangible remnants of the industry. Barrel-making and repair became an important subsidiary industry; more than thirty coopers—many of them from Scotland, Ireland, and Canada—worked on the island in 1850.² Among them was the Doud family of coopers from Ireland. The fishermen themselves were mostly Native American and Métis.

Furs and fish were not the only goods shipped through the Straits of Mackinac. It was the primary Great Lakes shipping lane until the development of railroads across Ohio and the water route was the only way for people and goods to get to the growing upper Midwest. Mackinac Island was the key stopping point and freight of all kinds was transshipped from the port on Haldimand Bay. As steamboats became more common, Mackinac functioned as a fueling station, selling wood at first and later coal. As commerce and industry expanded, it remained concentrated in the original village.

Another boost to the island's economy came from the 1836 Treaty of Washington. Under the terms of this treaty, Ojibwa and Odawa Indians sold fifteen million acres of land in Michigan to the United State government in exchange for money, goods, and provisions to be paid over the next twenty years. The American Fur Company and other island merchants successfully convinced the government to make these distributions on Mackinac Island. Thus each year in late summer approximately four thousand Ojibwa and Odawa came to Mackinac Island to

¹ Porter, Phil, *Mackinac: An Island Famous in These Regions*, Mackinac Island: Mackinac State Historic Park Commission, 1998, pg. 27.

² Porter, *Mackinac: An Island Famous in These Regions*, pg. 35.

receive their annuities in cash, goods, and provisions. The construction of the county courthouse on Market Street in 1839 testifies to Mackinac Island's continuing importance as the county seat for all of the Upper Peninsula and the northern part of the Lower Peninsula.

The arrival of Mackinac Island's first tourists in the 1830s contributed to the diversification of the island's economy. Travelers were beginning to seek resorts that offered scenic beauty, not just healthy water and air as was the custom earlier. The Romantic Movement introduced a new appreciation for the beauty of nature and wilderness landscapes, bringing tourists to places like Niagara Falls and the Catskill Mountains. Mackinac Island combined the health advantages of the lakeshore with the rugged beauty of the wilderness. A number of writers visited the island in the 1830s and 1840s, including Harriet Martineau, Alexis DeTocqueville, Anna Jameson, Margaret Fuller, and William Cullen Bryant. Their published descriptions of Mackinac Island helped to popularize the island as a tourist destination. The steamboats that were being used to transport fish and furs made it easier for visitors to come to Mackinac Island, although it was still a journey, and island businesses were just beginning to cater to the tourist trade. In 1837 the Protestant Mission House (just outside the Mission District) was converted into the island's first hotel; the Island House (adjacent to the Mission District at the west) was built in 1852; and the Lake View House (downtown) opened in 1858. A horse-drawn omnibus offered tours of natural and historic sites as early as the 1840s, and shops in town began carrying "Indian curiosities" such as baskets, corn husk dolls, woven mats, and birch bark containers of maple sugar. The Mission District saw housing and rooming house development increase during this era.

By 1850 Mackinac Island's permanent population had grown to 956. Immigrants came from New England and New York. Twelve African-Americans (some formerly enslaved) came from Kentucky and Virginia. A growing number of islanders were foreign-born, coming from England, Scotland, Canada, Belgium, Prussia, Germany, and Holland. The largest group of immigrants came from Ireland—pushed by the potato famine that brought more than one million Irish to America and pulled by the opportunities in the island's fishing industry. By 1850 the Irish constituted almost 20 percent of the island's population.³

After the Civil War, Mackinac Island quickly rose to prominence as one of the most popular resorts in the Midwest. Improved transportation was the key to bringing more visitors to the island. In 1875 the Grand Rapids and Indiana Railroad completed a railroad line to Petoskey, where travelers could board a steamer to Mackinac Island. In 1882 both the Grand Rapids and Indiana Railroad and the Michigan Central Railroad completed railroad lines to Mackinaw City, where ferry boats were available to complete the short trip to the island. In the same year, the Detroit and Cleveland Steam Navigation Company began regular service to Mackinac Island. Vacationers in this era continued to seek a healthy and inspiring environment, but there was an increasing emphasis on recreation. Scenic views and limestone formations, historic sites from the War of 1812, the harbor that still sheltered sailboats and Indian canoes, the quaint old French houses in the village, and Fort Mackinac itself all offered diversions for tourists. In his 1875 guide book to Mackinac Island, John Disturnell described the village as "a perfect curiosity." Disturnell recounted many of the island's Indian legends, an important part of Mackinac's attraction. In the guidebook's business directory, four stores list Indian curiosities along with

³ Porter, *Mackinac: An Island Famous in These Regions*, pg. 41.

their dry goods, groceries, and provisions.⁴ There was a growing compliment of boarding houses and hotels to accommodate the increased tourism at this time as well.

The island's importance as a resort was solidified with the establishment of America's second national park on Mackinac Island in 1875. The national park, which encompassed about 50 percent of the island, gave new purpose to Fort Mackinac, which had long ceased to have strategic importance as a frontier or border post. Now the fort commandant served as the park superintendent, responsible for enforcing rules and regulations, building roads and trails, collecting and disbursing park funds, and leasing lots for cottages. On the west side of the island, Hubbard's Annex was platted in 1882 as Mackinac Island's first cottage resort community, followed by the first cottages on the East and West Bluffs. The increased services required by visitors and wealthy cottagers alike aided the growth of the island's overall economy. When a partnership of railroad and steamship lines built the Grand Hotel in 1887, Mackinac Island entered the category of fashionable resort where Newport, Rhode Island, and Saratoga Springs, New York, set the standard. The wealthy elite of Chicago, Detroit, and other cities came to stay at the Grand; others built large and elaborate cottages on the bluffs. The East Bluff cottages, on state-leased land, are located on the bluff rising behind the proposed Mission District area.

Mackinac Island faced a crisis in the 1890s when the army decided to close Fort Mackinac and sell the national park. Secretary of War Daniel Lamont believed that the government should not be responsible for maintaining a summer resort for wealthy people. Islanders successfully lobbied Congress to transfer the national park to the state of Michigan, and in 1895 the country's second national park became Michigan's first state park, administered by the newly appointed Mackinac Island State Park Commission. Mackinac Island continued to grow and prosper as a resort, as evidenced by the predominance of late nineteenth- and early twentieth-century buildings on the island today. The village experienced substantial development to the northeast and west of its original boundaries, but that development consisted of private residences, plus a few hotels and large boardinghouses. Commercial buildings were confined to the original village limits, where restaurants, gift shops, hotels, and candy stores replaced the quaint French buildings that had enchanted earlier visitors. Private homes were increasingly converted to boardinghouses and hotels.

The island was modernized with electricity, running water, and telephones, along with telephone poles, a coal-burning electric plant, and a water-pumping station. When the first automobile appeared in the village in 1898, the islanders drew the line. The village council banned automobiles on village streets, and in 1901 the park commission banned automobiles in the park. As is often the case, the disappearance of the island's historic buildings generated interest in their history. Residents and cottagers wrote books on Mackinac Island history and erected historical monuments. In 1895, a group of islanders restored the Mission Church (located in the Mission District), recognizing its importance for its age and history to the island. In 1905, the Park Commission opened Marquette Park in the former soldiers' garden below the fort, and in 1909 dedicated the bronze statue of Father Marquette that still stands in the park.

The tourism-based prosperity that began on Mackinac Island in the late nineteenth century continued through the 1920s. During World War I, however, new construction slowed, and it

⁴ J. Disturnell, *Island of Mackinac and Its Vicinity*, 1875; reprint, Cheboygan, Michigan.: C.W. Page, 1977.

diminished further in the 1920s. The Grand Hotel was an exception—an addition was built in 1912, a golf course in 1917, and in the 1920s a fifth floor was added and an outdoor swimming pool constructed. Certainly, this was evidence of wealth continuing to flow to Mackinac Island. Another indicator was Mackinac Island State Park's acquisition of several hundred acres during the 1920s. After World War I, a steadily growing number of visitors travelled to the island by auto instead of by railroad or steamboat. Two of Michigan's improved highways, the East and West Michigan Pikes, met in Mackinaw City in 1922. The following year the state began operating an automobile ferry across the straits from Mackinaw City to St. Ignace. But these developments had a greater impact on mainland tourism than on the island. In an effort to lure more auto tourists from the mainland, state park Superintendent Frank Kenyon proposed an auto garage on Mackinac Island where people could leave their cars while they toured the island, but it never came to fruition. Although illegal automobiles occasionally appeared on the island, and the ordinances prohibiting automobiles were challenged, they were not overturned.

The Great Depression slowed resort life on Mackinac Island. In the 1930s, tourism dwindled to a trickle, stores on Huron Street were vacant, some cottages on the bluffs were boarded up and overgrown, and the Grand Hotel came close to bankruptcy. A measure of relief came from federal and local public programs. The Civilian Conservation Corps undertook landscaping projects, repaired buildings at Fort Mackinac, reconstructed Fort Holmes, and built the Boy Scout barracks. Under the federal Public Works Act, an airport landing strip was built near the center of the island. Works Projects Administration (WPA) funds were used to hire Grand Rapids architect Warren Rindge to prepare a detailed historical and architectural report on the island's historic buildings.

The City of Mackinac Island initiated a local public works program when it created the Park and Harbor Commission in 1941. By selling revenue bonds, the Park and Harbor Commission raised funds to promote tourism and to undertake a number of civic improvements. These included buying and restoring the American Fur Company warehouse and Stuart House, building public bathrooms, and resurfacing the Arnold Line dock. The Depression extended through World War II on Mackinac Island, as wartime travel restrictions continued to limit tourism, and the relief provided by New Deal projects came to a halt.

When tourism recovered after World War II, it took on a different character than in the years before the Depression. The summer resort of the 1920s essentially continued a late Victorian lifestyle in late Victorian buildings. But the lifestyle of the 1950s was different. The U.S. economy was booming, and Michigan—led by the auto industry—was especially prosperous. A new state tourism campaign was designed to draw vacationers to northern Michigan. Automobiles were now the most common mode of travel to Mackinac Island, though the final stretch was still by ferry (or occasionally airplane), and on the island transportation was by foot, bicycle, or horse. When the Mackinac Bridge opened in 1957, it brought even more automobile tourists to the straits region. It was so much faster and easier to reach the island that day trips became popular. Economic recovery meant that empty stores, homes, and hotels were reoccupied. The Mission District saw new construction in the middle-twentieth century at 6706 Main Street, 6917 Main Street, and 6652 Main Street, as well as the row house buildings on Lesley Court.

Mackinac Island’s tourist-based economy has continued to grow since the 1960s – today sources indicate approximately one to 1.2 million people visit the island each year. There has been infill development in the village and some large-scale development on other parts of the island, including new construction in the Mission District area. Yet history, more than ever, is a key element in Mackinac Island’s appeal. Today the state park encompasses at least 83 percent of the island. Fort Mackinac, which has been systematically restored to its late nineteenth-century appearance, is a premier attraction. The state park commission has acquired and restored many of the island’s most important historic buildings, including the Edward Biddle House, the Mission Church, the Indian Dormitory, the Mission House, and the William McGulpin House. The hotels and cottages that once were modern and fashionable are now historic and fashionable. The Mission District still retains a high-level of historic integrity and sense of place. The proposed Mission District flanks the downtown to the east as a compliment to the West End Historic District to the west of downtown Mackinac Island.

SIGNIFICANCE OF THE DISTRICT

Michigan’s Local Historic District Act, PA 169 of 1970, as amended, requires local historic district study committees to be guided by the evaluation criteria for the National Register of Historic Places in evaluating the significance of historic resources. The act also requires study committees to be guided by a criteria established or approved by the Michigan State Historic Preservation Office (Section 3(1)(c)). In 2022, the State Historic Preservation Office issued criteria that elaborate on historic district boundary determinations and single resource districts.

In accordance with these legal documents and guidelines, the study committee has determined that the Mission District Historic District is significant under National Register Criterion A, for its association with historical events that have contributed significantly to the history of Mackinac Island, the State of Michigan, and the United States; and under Criterion C, for its embodiment of the distinctive characteristics of architectural types, periods, and method of construction. The areas of significance are architecture, entertainment/recreation, ethnic heritage, and religion. The period of significance is from 1790, the likely date of the known log structures in existence in the district to 1973.

The historic structures and resources generally fall within these time periods and contexts:

- o Island settlement and patterns of trade and tourism (pre-1870)
- o Island Resorts and Parks (1870-1930)
- o Mid-century tourism and investment at Mackinac (1930-1973)

The National Register Criteria

The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling and association, and:

Criteria A: That are associated with events that have made a significant contribution to the broad patterns of our history.

Mackinac Island as a whole has been designated a National Historic Landmark for its outstanding significance as a military outpost, fur trade depot, and - since the mid-nineteenth century – one of the country’s premier tourist destinations. The development of the Mission district area at the east end of the island has been overshadowed by more conspicuous development in the original village and the cottages of the west and east bluffs, yet the Mission District to the east end plays an integral and densely developed part of Mackinac Island history and contains a large percentage of the historic resources of the island. The major themes of Mackinac Island history are reflected in the district’s buildings, from the log houses of the fur traders and the simple vernacular houses of the workers in the fishing industry, to the fine large homes, cottages, hotels and rooming houses developed during the tourism era of the late nineteenth century to the Great Depression, as well as the mid-twentieth century period of renewed tourism and investment. There are examples of structures associated with equestrian activity so important to the island, as well as two significant historic church buildings.

Select examples include: (please see inventory forms as well)

6768 McGulpin Street - McGulpin Family house, Fur Trade/log construction, c. 1790

6670 Main Street - Mission Church, Religion, 1829

6836 Main Street - Sainte Anne Catholic Church, Religion, 1874/1890

1260 Truscott Street – Barn, Equestrian Use, c. 1860

6781 Main Street - Bennett Hotel, Tourism, c. 1890

6860 Main Street – Madame LaFramboise House, Fur Trade, 1842

1427 Brogan Lane, Pine Cottage Inn, Commerce, 19th century

6734 Main Street, Jacob Wendell House, Commerce, 1846

Criteria C: That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

The Mission District Historic District contains representative types of the island’s residential architecture. At least one French colonial log building survives in the district on McGulpin Street. These rare, historic structures contribute to Mackinac’s national significance. The William McGulpin house (moved from McGulpin Street to Fort Street in 1982) dates from 1790-91 and it is likely the former neighboring log house at 6768 McGulpin Street, known as the McGulpin Family house, dates from that time period. An original portion of the La Framboise House, now Harbour View Inn, (6860 Main Street) built in 1820 has sided log construction.

The Mission Church (6670 Main Street) and Ste. Anne’s Church (6836 Main Street) and Rectory (6837 Main Street) represent religious architecture of the nineteenth century. A fine Greek Revival example is the Lafayette Davis House at 6806 Main, now Haan’s 1830 Inn.

There are many examples of well-preserved two-story, front-gabled vernacular houses – the most common type of early nineteenth century house on the island. Bayview Bed and Breakfast (6947 Main Street), Bonnie Doone Cottage (6883 Main Street), the Bennett Hotel (6781 Main Street) are representative of the Queen Anne style. Other architectural styles popular during the period can be found in the Italianate Vernacular of Thuya Cottage (6948 Main Street), and the Colonial Revival portico added in the 1890s to the Madame LaFramboise House/Harbour View Inn (6860 Main Street), and Sainte Anne’s Rectory (6837 Main Street). The mid-twentieth century structures in the district are representative of the post-World War II period when the ranch house exemplified the change to less ornate and elaborate structures.

As a group, the Mission Historic District is a cohesive neighborhood that exemplifies Mackinac Island’s long and rich history, representing multiple eras and uses in its 55 contributing historic resources. The non-contributing buildings are not overly obtrusive in size or style and generally fit well into the scale and feel of the neighborhood. Most were constructed after the period of significance in the 1990s and 2000s and were designed to blend with the area’s historic character, rather than to detract from it. The district is dense with historic resources from the late 18th to middle 20th century, with 73% contributing to the historic district.

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PHOTOGRAPHS March 2023
All photographs all taken by Jennifer Metz



Photo 1. Looking East down Main toward the Mission District



Photo 2. 6948 Main Street, c. 1850.



Photo 3. 6849 Main Street.



Photo 4. Saint Anne's Church, 6836 Main Street



Photo 5. Saint Anne's Rectory, 6837 Main Street



Photo 6. Harbour View Inn, formerly Madame Laframboise House, 6860 Main Street

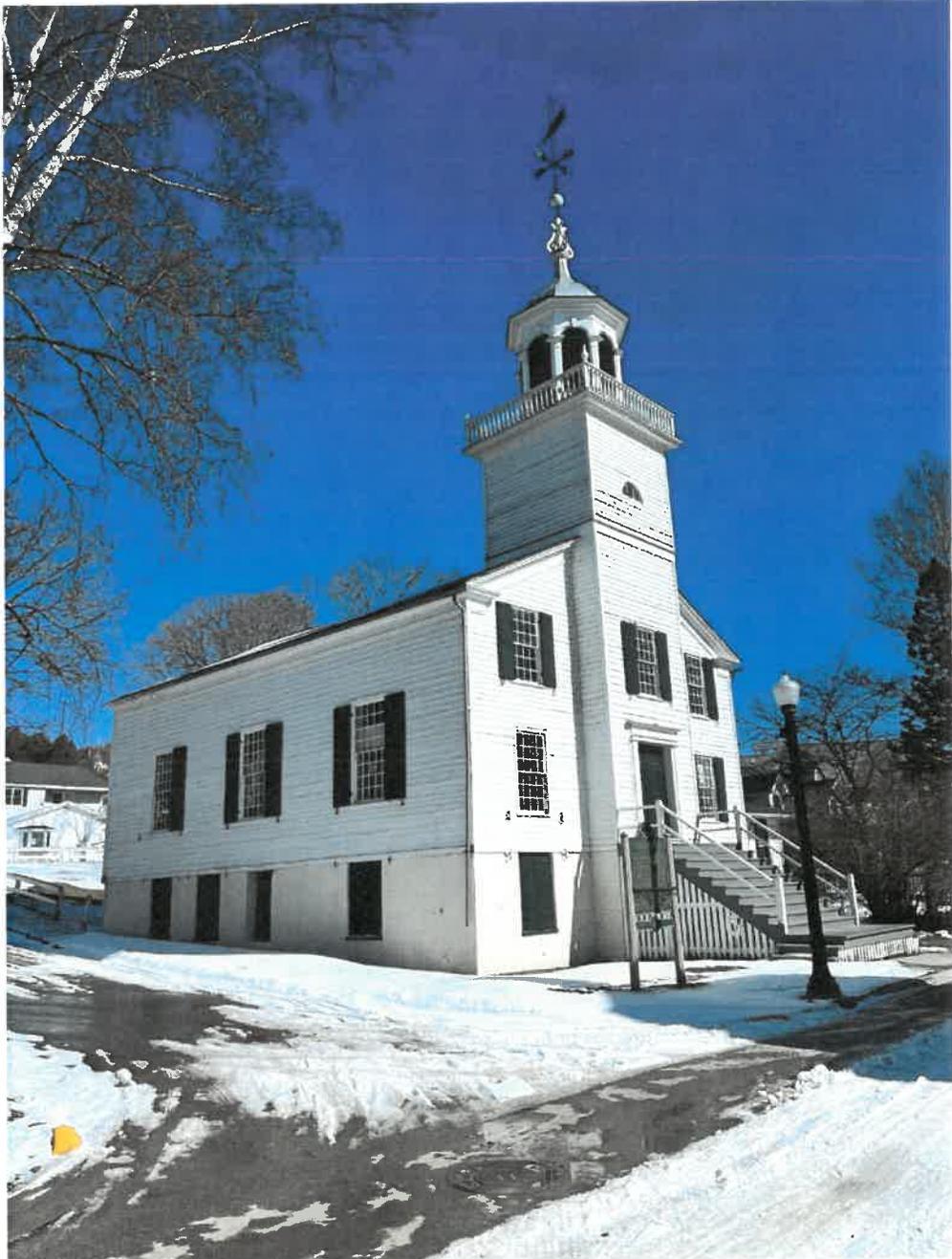


Photo 7 – Mission Church, 1829, 6670 Main Street



Photo 8. Jacob Wendell House, 6734 Main Street

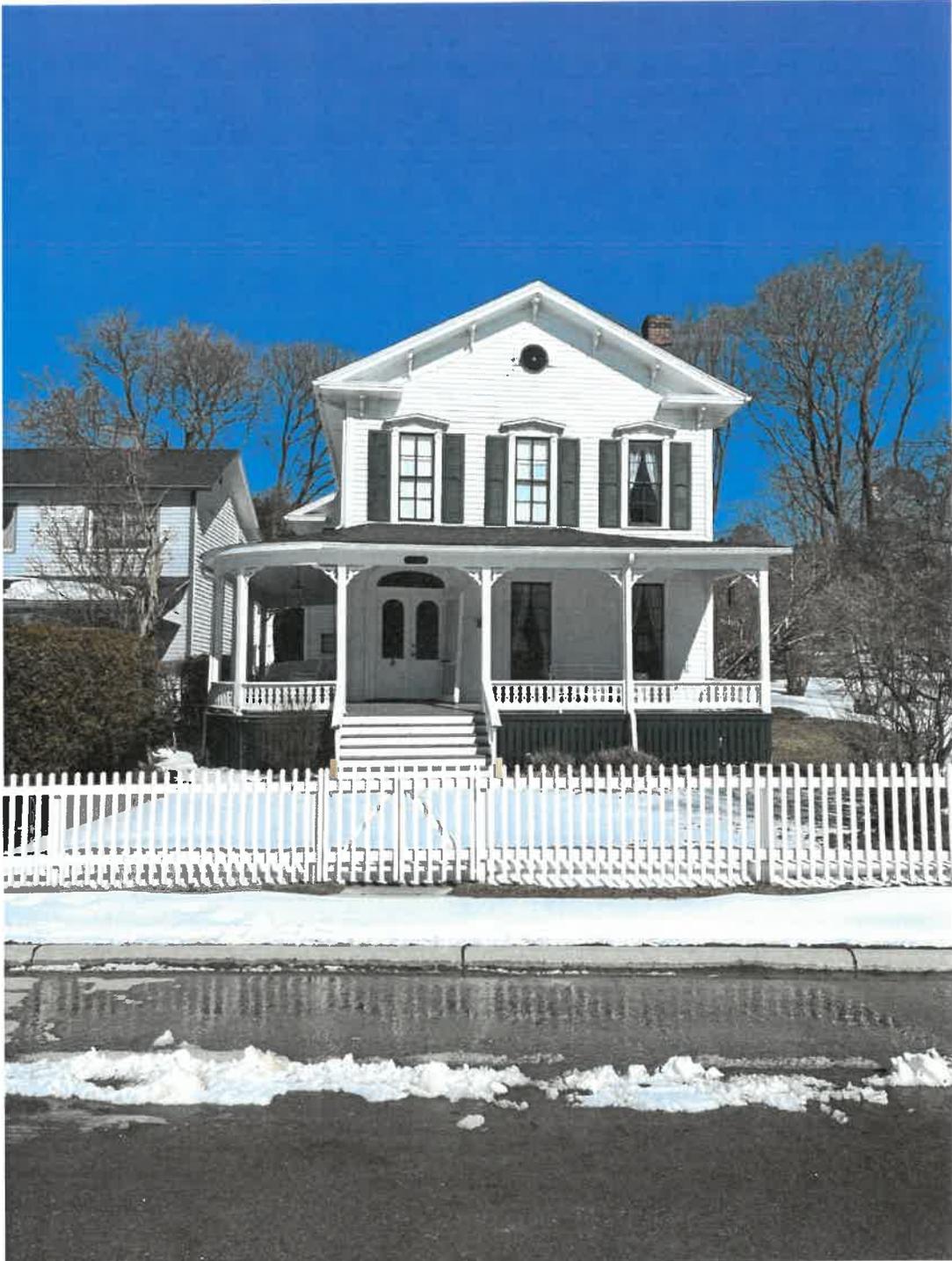


Photo 9 – 6784 Main Street

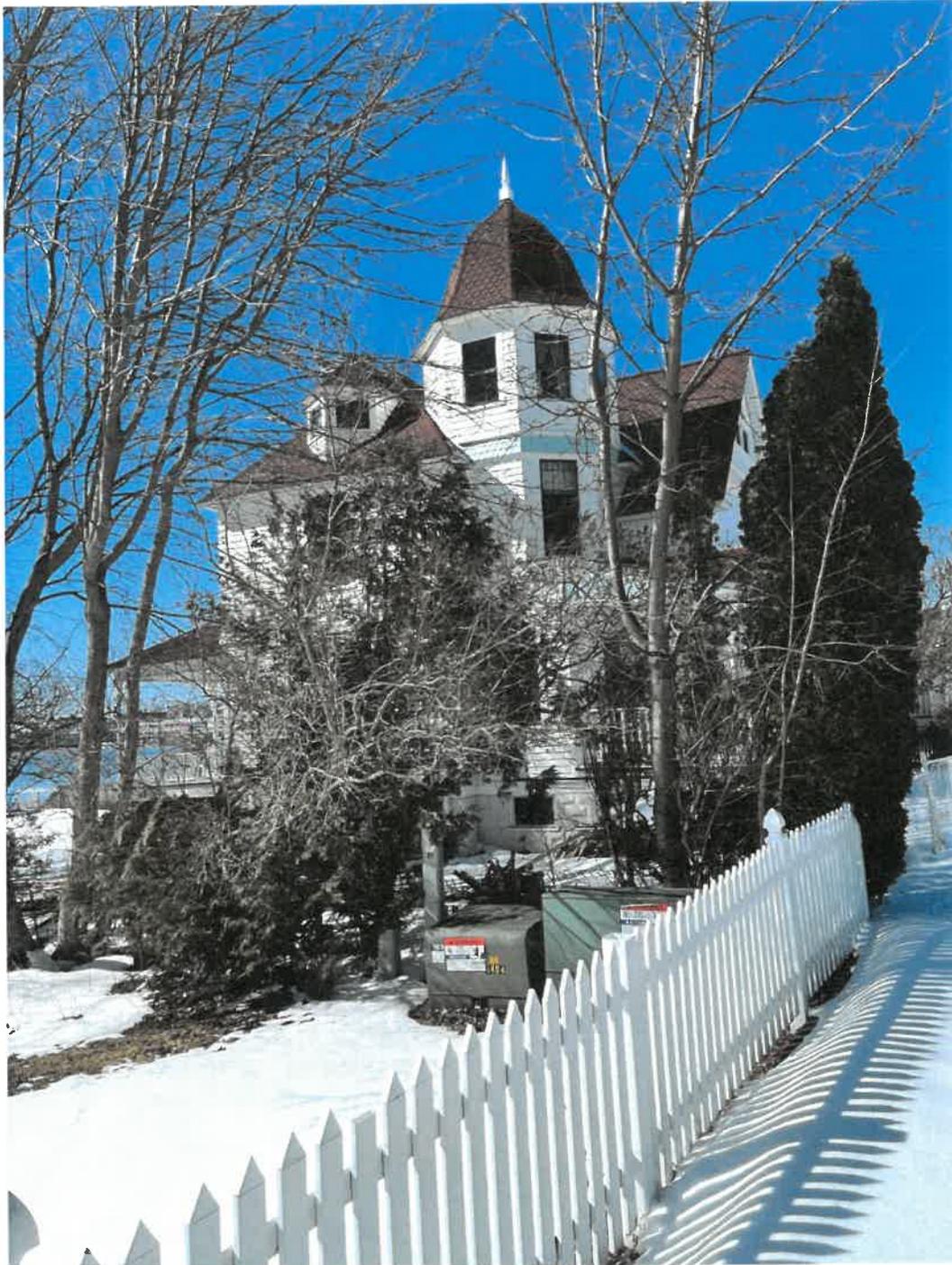


Photo 10 – 6823 Main Street



Photo 11 – 6706 Main Street



Photo 12 – The east end of Mackinac Island and Mission District from the bay.

propaddrnu	propstreet	propStre_1	HistoricDistrict	Year Built	Historic Name	Current Name
1420	BOGAN	LN	Contributing	c. 1885		Bogan Lane Inn
1432	BOGAN	LN	Contributing	c.1900/1950s		
1427	BOGAN	LN	Contributing		1870 Pine Cottage Hotel	Pine Cottage
1450	BOGAN	LN	Contributing	c.1900/various		Voyager Inn
1449	BOGAN	LN	Contributing	. 1850/19th c		
1366	CHURCH	ST	Contributing	c. 1880		
1400	CHURCH	ST	Contributing	c. 1870		
1412	CHURCH	ST	Contributing	c. 1870		
1378	CHURCH	ST	Contributing	c. 1890		
1396	CHURCH	ST	Contributing	c. 1900		
1407	CHURCH	ST	Contributing		1965	Row Terraces
1407	CHURCH	ST	Contributing		1965	Row Terraces
1407	CHURCH	ST	Contributing		1965	Row Terraces
1407	CHURCH	ST	Contributing		1965	Row Terraces
1407	CHURCH	ST	Contributing		1965	Row Terraces
1407	CHURCH	ST	Contributing		1965	Row Terraces
1392	CHURCH	ST	Contributing	c. 1870		
6620	FERRY	LN	Noncontributing		1982	
1213	FRANKS	ST	Noncontributing	c. 1990		
1221	FRANKS	ST	Noncontributing	c. 1990		
1225	FRANKS	ST	Noncontributing	c. 1990		
1231	FRANKS	ST	Noncontributing	c. 1990		
1237	FRANKS	ST	Noncontributing	c. 1990		
1245	FRANKS	ST	Noncontributing	c. 1990		
1253	FRANKS	ST	Noncontributing	c. 1990		
1193	FRANKS	ST	Noncontributing	c. 1980		
1213	FRANKS	ST	Noncontributing			
1213	FRANKS	ST	Noncontributing			
1213	FRANKS	ST	Noncontributing			
1213	FRANKS	ST	Noncontributing			
1213	FRANKS	ST	Noncontributing			

1213 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1213 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1213 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1237 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1237 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1237 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1237 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1237 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1237 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1237 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1237 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1179 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments	1874 St Anne de Michillimackinac	Lesley Court Condominiums
1185 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1193 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1197 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1188 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1210 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1221 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1228 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1227 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1232 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1235 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1240 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1239 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1179 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1240 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
6836 MAIN	ST	Contributing	c. 1850			Saint Anne's Church
6784 MAIN	ST	Contributing	Late 19th c			Murray Cottage
6800 MAIN	ST	Contributing				
6806 MAIN	ST	Contributing		1830 Lafayette Davis Cottage		Haan's 1830 Inn
6823 MAIN	ST	Contributing	c. 1880			
6837 MAIN	ST	Contributing		1881 St. Anne's Rectory		
6883 MAIN	ST	Contributing		1886 Bonnie Doone Cottage		Bonnie Doone Cottage

6929	MAIN	ST	Contributing	c. 1960s					
6947	MAIN	ST	Contributing	1891					Bayview Bed and Breakfast
6896	MAIN	ST	Contributing	1867/various					Inn on Mackinac
6918	MAIN	ST	Contributing	1904/1999					St. Cloud
6930	MAIN	ST	Contributing	c.1850					
6948	MAIN	ST	Contributing	c. 1850					Thuya Cottage
6849	MAIN	ST	Contributing	19th c.					
6901	MAIN	ST	Noncontributing	1999					
6624	MAIN	ST	Noncontributing	c. 2000					
6624	MAIN	ST	Noncontributing	c. 2000					
6602	MAIN	ST	Noncontributing	c. 2000					
6753	MAIN	ST	Noncontributing	c.1990					
6743	MAIN	ST	Noncontributing	c. 1990					
6748	MAIN	ST	Noncontributing	c. 1990					
6746	MAIN	ST	Noncontributing	c. 1990					
6742	MAIN	ST	Noncontributing	c. 1990					
6758	MAIN	ST	Noncontributing	c. 1990					
6597	MAIN	ST	Noncontributing	c. 1980					
6734	MAIN	ST	Contributing	1846					Jacob Wendell House
6688	MAIN	ST	Contributing	c.1890					Mac Is Bible Church
6706	MAIN	ST	Contributing	c. 1960					
6670	MAIN	ST	Contributing	1829					Mission Church
6652	MAIN	ST	Contributing	c. 1950					
6634	MAIN	ST	Noncontributing	c. 1980					
6731	MAIN	ST	Contributing	mid 19th c					
6661	MAIN	ST	Noncontributing	2007					
6661	MAIN	ST	Noncontributing	2007					
6661	MAIN	ST	Noncontributing	2007					
6661	MAIN	ST	Noncontributing	2007					
6695	MAIN	ST	Noncontributing	c. 2010					
6687	MAIN	ST	Noncontributing	2011					
6717	MAIN	ST	Noncontributing	c. 2000					

6705 MAIN	ST	Noncontributing			
6757 MAIN	ST	Contributing	c. 1870		Harbor Cottage
6917 MAIN	ST	Contributing	1962		Watercolor Café
6939 MAIN	ST	Contributing	c.1960		
6673 MAIN	ST	Contributing	c. 1890	Lafayette Cottage	
6860 MAIN	ST	Contributing	1820/variou	LaFramboise Cottage/LaChance Inn	Harbour View Inn
6805 MAIN	ST	Contributing	c. 1860		
6781 MAIN	ST	Contributing	c. 1890	Bennett Hall Hotel	Bennet Hall
6719 MAIN	ST	Noncontributing	c. 1990		
6707 MAIN	ST	Noncontributing	c. 1990		
6937 MAIN	ST	Contributing	c.1960		
6739 MAIN	ST	Noncontributing	c.2010		
6786 MCGULPIN	ST	Contributing	c. 1870		
6798 MCGULPIN	ST	Contributing	c. 1870		
6776 MCGULPIN	ST	Contributing	c. 1920/variou		
6770 MCGULPIN	ST	Noncontributing	c. 1980		
6768 MCGULPIN	ST	Contributing	c. 1790/c.1920	McGulpin Family	Mackinac Island Butterfly Ho
6750 MCGULPIN	ST	Contributing	c. 1910/variou	Truscott Greenhouse	
6740 MCGULPIN	ST	Contributing	c. 1880		
1229 MISSION	ST	Noncontributing	c. 2000		
1235 MISSION	ST	Noncontributing	c. 2000		
1241 MISSION	ST	Noncontributing	c. 2000		
1263 MISSION	ST	Contributing	c.1920/variou		
1274 MISSION	ST	Noncontributing	c. 1980		
1252 MISSION	ST	Noncontributing	c. 1945/c.1980s		
1230 MISSION	ST	Contributing	c. 1950s/variou		
1215 MISSION	ST	Noncontributing	2007		
1219 MISSION	ST	Noncontributing	2007		
1317 TRUSCOTT	ST	Noncontributing	1995		
1317 TRUSCOTT	ST	Noncontributing	1995		
1317 TRUSCOTT	ST	Noncontributing	1995		
1317 TRUSCOTT	ST	Noncontributing	1995		

1317 TRUSCOTT	ST	Noncontributing	1995	
1317 TRUSCOTT	ST	Noncontributing	1995	
1317 TRUSCOTT	ST	Noncontributing	1995	
1302 TRUSCOTT	ST	Contributing	c. 1890	Little Barn
1260 TRUSCOTT	ST	Contributing	c. 1920	
1203 TRUSCOTT	ST	Contributing	c. 1870	
1182 TRUSCOTT	ST	Noncontributing	c. 1990	
1287 TRUSCOTT	ST	Contributing	c. 1900	
1299 TRUSCOTT	ST	Contributing	c. 1915	
6635 WENDELL	ST	Contributing	c. 1900/Various	
1278 TRUSCOTT	ST	Contributing	c. 1900	
6739 MAIN	ST	Noncontributing	c. 1980	

File No. R423.051.005
 Exhibit A
 Date 1.31.23
 Initials KP



**CITY OF MACKINAC ISLAND
 PLANNING COMMISSION & BUILDING DEPARTMENT
 APPLICATION FOR ZONING ACTION**

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Ben Fetig
 126 Fulton Street Petoskey MI 49770
231-338-2333 ben@harborviewcustombuilders.com
 Phone Number Email Address

Property Owner & Mailing Address (if Different from Applicant)

MHP LLC
PO Box 15

Mullet Lake Michigan 49767

Is The Proposed Project Part of a Condominium Association? NO
 Is The Proposed Project Within a Historic Preservation District? NO
 Applicant's Interest in the Project (if not the Fee-Simple Owner): Owner
 Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO
 Is a Variance Required? _____
 Are REU's Required? How Many? _____

*Please complete both sides of application.
 The Fee and fourteen (14) copies of the application,
 plans and all required documents must be
 submitted to the Zoning Administrator fourteen (14)
 days prior to the scheduled Planning Commission
 Meeting.*

Type of Action Requested:

Standard Zoning Permit _____ Appeal of Planning Commission Decision
 Special Land Use _____ Ordinance Amendment/Rezoning
 Planned Unit Development _____ Ordinance Interpretation
 Other _____

Property Information:

A. Property Number (From Tax Statement): 051-630-051-00
 B. Legal Description of Property: ASSESSOR'S PLAT OF HARRISONVILLE LOT 51
 C. Address of Property: 7596 7th Street
 D. Zoning District: R4
 E. Site Plan Checklist Completed & Attached:
 F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes
 G. Sketch Plan Attached: _____
 H. Architectural Plan Attached:
 I. Association Documents Attached (Approval of project, etc.): N/A
 J. FAA Approval Documents Attached: _____
 K. Photographs of Existing and Adjacent Structures Attached:

Proposed Construction/Use:

A. Proposed Construction:
 New Building
 _____ Other, Specify _____
 _____ Alteration/Addition to Existing Building

B. Use of Existing and Proposed Structures and Land:
 Existing Use (if Non-conforming, explain nature of use and non-conformity): _____
 Proposed Use: _____

C. If Vacant:
 Previous Use: _____
 Proposed Use: _____
 Length of Time Parcel Has Been Vacant: _____

OFFICE USE ONLY

FILE NUMBER: R423.051.005 FEE: \$1000
 DATE: 1.31.23 CHECK NO: _____ INITIALS: KP
 Revised Oct 2018

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the owner. (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Ben Fertle Signature
 Please Print Name
 Ben Fertle
 Please Print Name

SIGNATURES
 Signature
 Please Print Name
 Signed and sworn to before me on the 31st day of January
[Signature]
 Notary Public
Emmet County, Michigan
 My commission expires: 8/25/23

Zoning Permit Issued: _____
 FOR OFFICE USE ONLY
 Inspection Record:

1.	Inspection	Date	Inspector	Comments
2.				
3.				

 Occupancy Permit Issued _____
 Revised October 2018

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

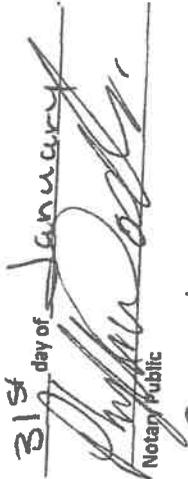
The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

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 - B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
 - C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

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The undersigned affirms that he/she or they is (are) the applicant and the OWNER (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Signature  SIGNATURES _____ Signature _____
 Please Print Name Ben Furtle Please Print Name _____

Signed and sworn to before me on the 31st day of January

 Notary Public
Emmet County, Michigan
 My commission expires: 8/25/23

Zoning Permt. Issued: _____ FOR OFFICE USE ONLY

Inspection Record:

1.	Inspection	Date	Inspector	Comments
2.				
3.				

Occupancy Permit issued _____

Revised October 2018

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units
- 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
- 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
- 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
- 22. Description of Existing and proposed on-site lighting (see also Section 4.27)

Utility Information Provided Not Provided or Applicable

- 23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand
- 24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)
- 25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)
- 26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)

**Architectural Review
Informational Requirements (Section 18.05)**

- | <u>Item</u> | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|---|-------------------------------------|-----------------------------------|
| 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Legal description of the property | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

File No. R4a3.057.005
Exhibit B
Date 1.31.23
RP



Mackinac Island Planning ~~Committee~~ RP

MHP LLC and Harbour View Inn LLC respectfully requests approval for a Special Land Use of Boardinghouse at 7596 7th Street.

In considering this request, please note that:

- This property was recently uninhabitable and demolished with Planning Commission approval
- A new structure is concurrently submitted to meet all current fire, zoning, building and safety regulations
- Landscape Buffers are planned between all adjoining residential lots

This request meets all standards for a special land use in the R-4 district:

1) That the establishment, maintenance or operation of the special land use will not be detrimental to or endanger the public health, safety or general welfare.

a. The proposed construction at the site will benefit the neighborhood by replacing a building that was in need of significant repair - this site is now much safer for its occupants and more visually appealing to the neighborhood.

b. Description of Operations:

- i. A Harbour View supervisor will be responsible for overseeing maintenance, upkeep, and landscaping of all Harbour View housing properties, including this site. This supervisor will have a maintenance specialist on the team that will manage all maintenance issues and will designate a member of the groundskeeping team to maintain all landscaping at the property.
- ii. Rules and expectations for behavior and upkeep in the building will be posted in each Unit, and quiet hours will be enforced after 10pm.
- iii. A Harbour View manager will reside in one of the Units and serve as the on-site point of contact for the property. This person will ensure all rules are being followed. He/she will be the "go-to" person for associates living at the site and for members of the community that have questions/concerns about the property.

2) That the special land use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor shall it substantially diminish and impair property values within its neighborhood.

- a. The recent renovations to this property should enhance property values within the neighborhood.
- b. This property will be well-managed, with on-site oversight of the occupants.
- c. Pets will not be allowed at the site once a special land use is granted

File No. R4a3.051.005
Exhibit B
Date 1.31.23
Mackinac Island Planning Committee, KP



MHP LLC and Harbour View Inn LLC respectfully requests approval for a Special Land Use of Boardinghouse at 7596 7th Street.

In considering this request, please note that:

- This property was recently uninhabitable and demolished with Planning Commission approval
- A new structure is concurrently submitted to meet all current fire, zoning, building and safety regulations
- Landscape Buffers are planned between all adjoining residential lots

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- 1) That the establishment, maintenance or operation of the special land use will not be detrimental to or endanger the public health, safety or general welfare.
 - a. The proposed construction at the site will benefit the neighborhood by replacing a building that was in need of significant repair - this site is now much safer for its occupants and more visually appealing to the neighborhood.
 - b. Description of Operations:
 - i. A Harbour View supervisor will be responsible for overseeing maintenance, upkeep, and landscaping of all Harbour View housing properties, including this site. This supervisor will have a maintenance specialist on the team that will manage all maintenance issues and will designate a member of the groundskeeping team to maintain all landscaping at the property.
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- 2) That the special land use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor shall it substantially diminish and impair property values within its neighborhood.
 - a. The recent renovations to this property should enhance property values within the neighborhood.
 - b. This property will be well-managed, with on-site oversight of the occupants.
 - c. Pets will not be allowed at the site once a special land use is granted

- d. **Other, larger boardinghouses are located in this area. This includes Grand Hotel's Woodville property, and Stonecliffe's Old Barn adjacent to the property.**
- 3) That the establishment of the special land use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- a. **This special land use is completely on the property and will have no impact on surrounding properties' development of improvement**
- 4) That adequate utilities, access roads, drainage and necessary facilities are being or will be provided
- a. **This property is already connected to roads, utilities, and a septic system is planned for the property. Should the DPW secure the sewer line adjacent to the property and REU become available the property would tap in and contribute to the City sewer system.**
- 5) That adequate measures are being or will be taken to provide ingress or egress so designed to minimize congestion in the public streets.
- a. **Ingress and Egress is adequate to allow for the property that fronts 7th Street**
 - b. **Access for trash, utility service, and emergency vehicles is sufficient along the public road**
- 6) That the special land use shall, in all other respects, conform to the applicable regulations of the district in which it is located and to any additional conditions or procedure as specified in article 20.
- a. **This use conforms to all regulations of the R-4 Harrisonville Residential Zone**

Katie Pereny



From: kevin.puiteassets@gmail.com
Sent: Thursday, February 2, 2023 6:46 AM
To: Katie Pereny
Cc: ben@harborviewcustombuilders.com
Subject: RE: 7th Street Special Land Use

Katie,

On behalf of Stonecliffe Properties, LLC, please see the following:

- Pursuant to a Purchase and Sale Agreement for Real Property dated January 30, 2023, Stonecliffe Properties LLC has contracted to sell to MHP LLC (owned by Benjamin Fettig) LOT 51 of the Assessor's Plat of Harrisonville, City of Mackinac Island, Michigan, according to the Plat thereof, as recorded in Liber 4 of Plats, Page 84, Mackinac County Records -- **commonly known as 7596 7th Street, Mackinac Island, Michigan 49757,**
- Stonecliffe Properties LLC approves MHP LLC's application for zoning and/or action affecting the property
- MHP LLC is permitted to seek its requested zoning and/or planning action

If you need anything further, please let me know.

Kevin

Kevin Doyle
Chief Operating Officer
Pulte Family Foundation
434-841-1295

File No. R423.051.005
Exhibit E
Date 2.2.23
Initials KP

This email, including any attachments, may include privileged or confidential information. Any unauthorized review, use, or distribution is strictly prohibited and may be unlawful. If it was not intended for you, please inform the sender, and then destroy all copies of the original message.

From: Katie Pereny <kep@cityofmi.org>

Date: Wednesday, February 1, 2023 at 10:17 AM

To: Sam Barnwell <sam@hishotels.com>

Subject: RE: 7th Street Special Land Use

CAUTION: EXTERNAL EMAIL

This is being shown as owned by Stonecliffe Properties. Please provide something showing MHP or Harborview as the owner. Thank you.

Katie Pereny
City of Mackinac Island Building & Zoning Department
906-847-6190

Katie Pereny

From: kevin.puiteassets@gmail.com
Sent: Thursday, February 2, 2023 6:46 AM
To: Katie Pereny
Cc: ben@harborviewcustombuilders.com
Subject: RE: 7th Street Special Land Use



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Kevin

Kevin Doyle
Chief Operating Officer
Puite Family Foundation
434-841-1295

File No. R423.051.005
Exhibit E
Date 2.2.23
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From: Katie Pereny <kep@cityofmi.org>

Date: Wednesday, February 1, 2023 at 10:17 AM

To: Sam Barnwell <sam@hishotels.com>

Subject: RE: 7th Street Special Land Use

CAUTION: EXTERNAL EMAIL

This is being shown as owned by Stonecliffe Properties. Please provide something showing MHP or Harborview as the owner. Thank you.

Katie Pereny
City of Mackinac Island Building & Zoning Department
906-847-6190

ATTORNEYS AND COUNSELORS AT L A W
RENTROP & MORRISON, P. C.

39572 WOODWARD AVENUE, SUITE 222

BLOOMFIELD HILLS, MICHIGAN 48304

GARY R. RENTROP
E-mail: grentrop@rentropmorrison.com

TELEPHONE (248) 644-6970
FACSIMILE (248) 644-7141

May 18, 2023

Michigan Historical Commission
c/o Michigan Dept. of Natural Resources
702 W. Kalamazoo St.
Michigan History Center
Lansing, MI 48909
MHCInfo@Michigan.gov

Michigan Department of Treasury
430 W. Allegan Street
Lansing, MI 48922
MIStateTreasurer@Michigan.gov

Michigan Department of Natural Resources
525 W. Allegan St.
Lansing, MI 48909
DNR-Director@Michigan.gov

Michigan State Housing Development
Authority
735 E. Michigan Avenue
Lansing, MI 48912
MSHDA@michigan.gov

State Historic Preservation Review Board
c/o State Historic Preservation Office
702 W. Kalamazoo St.
Michigan History Center
Lansing, MI 48909
arnolda@michigan.gov

Michigan Economic Development Corp.
300 N. Washington Square
Lansing, MI 48913
wildmanm1@michigan.org

State Historic Preservation Office
702 W. Kalamazoo St.
Michigan History Center
Lansing, MI 48909
arnolda@michigan.gov

City of Mackinac Island Planning
Commission
Attention: Katie Pereny
7358 Market Street
Mackinac Island, MI 49757
kep@cityofMI.org

Dear Sir or Madam:

Enclosed for your review and recommendations pursuant to the Local Historic Districts Act is a copy of the Preliminary Historic District Study Committee Report regarding a proposed Mission Historic District in the City of Mackinac Island, Michigan.

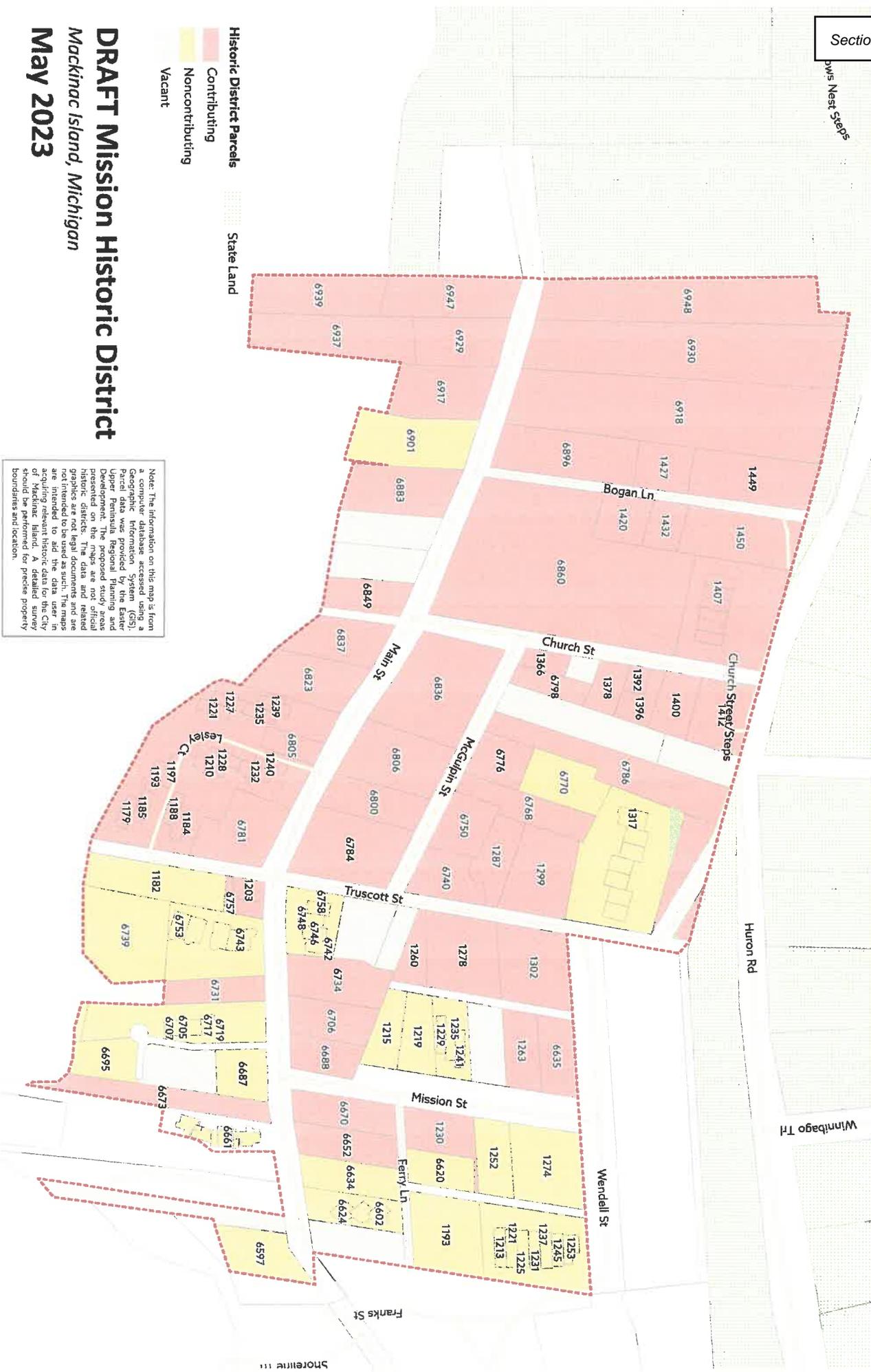
Please call if you have any questions.

Respectfully submitted,

Gary R. Rentrop

Gary R. Rentrop, Attorney for the City of Mackinac
Island Historic District Study Committee

James Nest Steps



- Historic District Parcels**
- Contributing
 - Noncontributing
 - Vacant
- State Land**
- State Land

DRAFT Mission Historic District
Mackinac Island, Michigan
May 2023

Note: The information on this map is from a computer database accessed using a Geographic Information System (GIS). Parcel data was provided by the Eastern Upper Peninsula Regional Planning and Development. The proposed study areas presented on the map are not official historic districts. The data and related graphics are not legal documents and are intended to aid the data user in acquiring relevant historic data for the City of Mackinac Island. A detailed survey should be performed for precise property boundaries and location.

FINAL DRAFT FOR COMMENT

**PRELIMINARY HISTORIC DISTRICT STUDY COMMITTEE REPORT
MISSION HISTORIC DISTRICT
CITY OF MACKINAC ISLAND, MICHIGAN
May 18, 2023**

CHARGE OF THE HISTORIC DISTRICT STUDY COMMITTEE

On August 3, 2022, the Mackinac Island City Council appointed a committee to study a proposed Mission Historic District. The study area is defined as follows:

On the west, the proposed boundary is the westernmost boundary of the property immediately adjacent to and east of the Island House Hotel property (which is on state-leased land), then proceeding south across Main Street and along the eastern boundary of the state-owned marina property to the water of Haldimand Bay, then proceeding east along the water's edge of Haldimand Bay including docks south of Main Street (M-185/Lakeshore/Huron Street) extending into the bay, to the westernmost boundary of state-owned land located along the water's edge, then continuing northerly along the western boundary of state-owned land and crossing Main Street to follow the western boundary of non-Mission Point owned land just west of Franks Street, north to Wendall Street, then proceeding west along the south side of Wendall Street, then north along the west side of Truscott Street, then proceeding west along the south side of Truscott Street, then west along the south side of Huron Road until Huron Road intersects with state-owned land, then proceeding west along the southern boundary of state-owned land to the point of beginning at the eastern boundary of the property where the Island House Hotel is located (excluding from the above description any state-owned property and the property commonly known as the "Beaver Dock" owned by D and S North Real Estate, LLC). Properties included in the proposed district would include those on both sides of a portion of Main Street, Bogan Lane, Church Street, a portion of Truscott Street, McGulpin Street, Mission Street, Ferry Lane, those properties on the west side of Franks Street, the south side of Wendell Street, a portion of the west and south sides of Truscott Street, and a portion of the south side of Huron Road, as well as properties on both sides of alleys or court streets that are encompassed within these boundaries.

STUDY COMMITTEE MEMBERS

Sam Barnwell, resident of an existing historic district, and part of management company as Chief Development Officer for properties within the proposed historic district

Brad Chambers, long time property owner and resident of Mackinac Island

Mary Dufina, Year-round island resident and business owner for 50 plus years, currently serving Planning Commission, Historic District Study Committee and owner of a historic home in West End Historic District.

Brian Findley, former hotel executive and current owner and manager of a Bed and Breakfast on Mackinac Island, deep roots in Mackinac Island since childhood, involved in the arts on the island

Nancy May, third generation, life-long resident of Mackinac Island and lives and owns property in the proposed district

Consultants to the Committee - Past Perfect, Inc.

Jennifer Metz, Principal (36 CFR 61, Architectural History)

Rebecca Smith-Hoffman, Principal (36 CFR 61, History)

INVENTORY

A photographic inventory of the proposed district was conducted between May and August 2022 for the City of Mackinac Island Building Inventory and Reconnaissance Historic Resource Inventory. Additional photographs were taken in the spring of 2023.

DESCRIPTION OF THE DISTRICT

The proposed Mission Historic District, as described above, is located at the eastern end of Mackinac Island, is bordered at the north by the East Bluff, at the west by State Park-owned land, at the east by the Mission Point Resort, and at the south by Lake Huron. The streets in the district generally form a grid. Main Street is the major east-west artery, with five north-south side streets – Bogan Lane, Church, Truscott, Mission and Franklin Streets. McGulpin, Wendall, and Ferry Streets are short east-west streets north of Main Street, with Lesley Court curving between Main and Truscott Streets at the south.

The proposed district is a largely intact, cohesive neighborhood and the buildings as a group reflect the various periods of development of historic Mackinac Island. Those buildings constructed after the period of significance are designed to fit the scale of the historic structures around them and do not detract from the area’s historic character.

The district contains 81 structures representing a variety of uses – hotels, bed and breakfast inns, apartment and condominium buildings, private residences, and three churches. Barns and other out buildings, though few in number, are a distinctive part of the landscape. Important natural features of the district are its extensive canopy of mature trees, the ubiquitous lilac bushes that are distinctive to the island, colorfully landscaped gardens, and the impressive viewscape looking toward Haldimand Bay of Lake Huron.

A majority of the structures in the district date from the early nineteenth century to the early decades of the twentieth century. However, there is evidence of eighteenth-century development. The William McGulpin House, built in 1790-91 and now located on Fort and Market Streets, was moved from McGulpin Street in 1982. A sided log house at 6768 McGulpin Street, known as the McGulpin Family House, likely dates from the late eighteenth century as well.

There are seven small to medium-sized hotels and bed and breakfast inns: Bay View Bed and Breakfast (6947 Main Street), Inn on Mackinac (6896 Main Street), Harbour View Inn (6860 Main Street), Haan's 1830 Inn (6806 Main Street), the Jacob Wendell House Bed & Breakfast (6734 Main Street), Bogan Lane Inn (1420 Bogan Lane), and the Pine Cottage Bed & Breakfast (1427 Bogan Lane).

There are three small businesses: Mackinac Wheels (6929 Main Street), a bicycle rental and repair shop; Fleurish & Bloom, (6673 Main Street), a flower shop; and the Butterfly House and Insect World (6750 McGulpin Street).

Three of the island's five churches are located in the district: The Mission Church (6670 Main Street), Ste. Anne Roman Catholic Church (6836 Main Street), and Mackinac Island Bible Church (6688 Main Street), which is located in a house converted for use as a church.

ARCHITECTURAL STYLES

Facing Main Street, the district's largest and most high-style structures are private residences and tourist hotels, a number of which originally were larger private houses that have been expanded to accommodate a changed use. The houses on the side streets, which are generally smaller and simpler in design, are a mixture of private residences and bed and breakfast inns, particularly on Bogan Lane. Examples of architectural styles popular in the United States from the early nineteenth to the early decades of the twentieth century can be found in the district – Colonial, Greek Revival, Gothic Revival, Queen Anne, and Colonial Revival, as well as vernacular interpretations of these styles. The predominant vernacular house types dating from the 1840s are front-gabled, gable and wing, side-gabled, and cross-gabled, almost always with a front porch (sometimes enclosed). Occasionally there is simple Queen Anne or Italianate detailing, but most often decorative detail is minimal.

The late twentieth century buildings in the district reflect design elements of earlier styles. For example, a number of the more recent apartment and condominium buildings scattered throughout the area can be characterized as Victorian Revival, the designs mimic the window patterns, use of porches and balconies and decorative detail of the historic structures around them.

Mission Church (6670 Main Street), completed in 1829, reflects the Colonial style common to New England churches at that time, a heritage brought to Mackinac Island by the Reverend William Ferry, a Presbyterian minister. Ferry and his wife, Amanda, came to the island from Massachusetts as missionaries with the American Board of Commissioners for Foreign Mission

in 1823 to establish a school for indigenous children from around the Great Lakes. Ferry's work inspired the founding of a congregation and subsequently the construction of the Mission Church. The restoration of Mission Church in the late 1890s was Mackinac Island's first historic restoration project.

The Lafayette Davis House, now Haan's 1830 Inn (6806 Main Street) and the Jacob Wendell House (6734 Main Street) are fine examples of the Greek Revival style, which was so popular between 1840 and 1860 that it was often known as the "National" style. Another interpretation of the style is the house at 6784 Main Street.

The tower and soaring spire of Ste. Anne Roman Catholic Church (6836 Main Street) provides a distinct visual landmark in the district. The Gothic Revival detailing of this building – its steeply pitched roof, the tall, narrow stained glass windows, delicate turrets at each corner, and the massive pedimented entry – emphasize the verticality of the Gothic Revival style typical to churches of this period.

Although there are no high-style Italianate Revival buildings in the district, a few vernacular houses have features associated with the style. Thuya Cottage (6948 Main Street) is a vernacular house that has simple Italianate features – overhanging eaves with brackets, window hoods with decorative detailing, and segmental-arch windows at the bay. Another vernacular example is the house at 1412 Church Street, which has changed over time, yet retains the simple Italianate detail of hipped roof with overhanging bracketed eaves.

The Queen Anne style, which came into vogue in the United States in the 1880s, is widely represented in the district, for example: Bay View Bed & Breakfast (6947 Main Street), Bonnie Doone Cottage (6883 Main Street), the Bennett Hotel (6781 Main Street), the Inn on Mackinac (6896 Main Street), LaChance Cottage, now part of Harbour View Inn (6860 Main Street), residence (6823 Main Street), as well as the vernacular examples having round porch columns (1420 Bogan Lane), and wrap-around porch (1427 Bogan Lane),

The Madame LaFramboise House (6860 Main Street) with its two-story Colonial Revival portico added in the 1890s is an example of the type of changes that have been made to a number of the buildings in the district over time. Ste. Anne Rectory (6837 Main Street) is a smaller example of the Colonial Revival style.

The Great Depression of the 1930s and gas rationing during World War II were not conducive to tourism and devastated the island economy. The hotels, cottages, and most island businesses were closed and there was essentially no construction during this period.

The district has a few representative single-story ranch houses constructed in the 1960s, as well as the Rowe Terrace apartment/condominium buildings. There are the seven Victorian Revival multiunit apartment/condominiums structures constructed in the 1990s and 2000s.

While the historic buildings in the proposed district have sustained changes over time, some more than others, the majority of the structures retain a high degree of architectural integrity, contributing to the historic sense of place that permeates the island. The more recently built

structures are generally in keeping with the scale, massing, and fenestration detail of their historic neighbors and do not negatively impact those structures.

The proposed district as a whole maintains the seven aspects of integrity: design, location, setting, materials, workmanship, association, and feeling.

There are vacant lots in the district and are indicated on the map as such. Care should be taken with their development as many were likely previously used by settlers for open lawn, natural landscape, or at the water’s edge had small commercial fishing structures located on them, all of a smaller scale and not obstructing the views of the water.

RESOURCE LIST - PLEASE SEE SPREADSHEET ATTACHED

Please note that Main Street is also referred to as Huron Street, Lakeshore Drive, and M-185. For the purposes of this report Main Street is used.

COUNT AND PERCENTAGE OF HISTORIC AND NON-HISTORIC RESOURCES

Total Resources - 81
Contributing -59 – Contributing resources account for 73 % of the total
Non-Contributing – 22

Please note: the inventory counts single building apartment buildings as one resource (so condominium buildings are one entity); properties with multiple buildings on one parcel under the same ownership are counted as one resource, but they may have multiple contributing structures on that property.

BOUNDARY DESCRIPTION

On the west, the proposed boundary should be the westernmost boundary of the property immediately adjacent to and east of the Island House Hotel property, then proceeding south across Main Street and along the eastern boundary of the state-owned marina property to the water of Haldimand Bay, then proceeding east along the water’s edge of Haldimand Bay including docks south of Main Street (M-185/Lakeshore/Huron Street) extending into the Bay, to the westernmost boundary of state-owned land located along the water’s edge, then continuing northerly along the western boundary of state-owned land and crossing Main Street to follow the western boundary of Franks Street, north to Wendall Street, then proceeding west along the south side of Wendall Street, then north along the west side of Truscott Street, then proceeding west along the south side of Truscott Street, then west along the south side of Huron Road until Huron Road intersects with state-owned land, then proceeding west along the southern boundary of state-owned land to the point of beginning at the eastern boundary of the property where the Island House Hotel is located (excluding from the above description any state-owned property and the property commonly known as the “Beaver Dock” owned by D and S North Real Estate, LLC). Properties included in the proposed district would include those on both sides of a portion of Main Street, Bogan Lane, Church Street, a portion of Truscott Street, McGulpin Street,

Mission Street, Ferry Lane, those properties on the west side of Franks Street, the south side of Wendall Street, a portion of the west and south sides of Truscott Street, and a portion of the south side of Huron Road, as well as properties on both sides of alleys or court streets that are encompassed within these boundaries.

BOUNDARY JUSTIFICATION

The boundary is the area of the island to the east of downtown beginning after the Mackinac State Historic Parks-owned leased land, south to the water, and east to the large-scale Mission Point Resort, and north to state-owned leased land. The proposed district began to develop in the late eighteenth century and continued to grow as the village spread beyond its original boundaries. The district contains eighty-one (81) structures representing a variety of uses – hotels, bed and breakfast inns, apartment and condominium buildings, private residences, three churches, and three small commercial structures. To the north of the district is state land and the east bluff cottages, to the south is the lakeshore, which is an inseparable part of the district as it was always related to its use for fishing, tourism, and recreation, and therefore the boundary extends to the water’s edge. To the west is the Mackinac State Historic Parks leased-property of the Island House Hotel and to the east the property of Mission Point Resort, as the larger hotel complexes (such as Mission Point Resort, the Grand Hotel, and Stonecliff Hotel) are potential historic districts by their own right.

HISTORY OF THE DISTRICT

Major sources and direct portions for the history include sections from the previous reports on the islands historic contexts taken from the National Historic Landmark update of 1999 (Jane Busch) and the Market and Main (Huron) Historic District Study Report (Jane Busch, Past Perfect, 2011), as well as the Mackinac Island Historic Context Report (Eric Gollanek, Past Perfect, 2011). Please see the bibliography for details.

Before the first Europeans saw Mackinac Island, it was an important gathering place for the Native Americans who came there to fish and imbued the island’s limestone formations and cliffs with sacred significance. Historical and archaeological evidence suggests that the island’s inhabitants have always clustered near Haldimand Bay. In the late seventeenth century, French fur traders and Jesuit missionaries came to the Straits of Mackinac because of its strategic location and because it was already an Indian gathering place. Father Jacques Marquette and a band of refugee Huron established the first mission on Mackinac Island in 1671. Because the soil was unsuitable for their crops, within the year the mission was moved to the north shore of the straits at Fort DuBuade (later known as St. Ignace). By the 1680s, St. Ignace was a center of activity for the Jesuits, fur traders, and French soldiers who built Fort DuBuade. The fur traders established a trading pattern that made the Straits of Mackinac the heart of the upper Great Lakes fur trade for 150 years. In 1697 the French government abandoned Fort DuBuade in response to a glut in the European fur market. When French soldiers returned to the straits in 1714, the Jesuits and their followers had moved to the south shore of the straits, and there the soldiers built Fort Michilimackinac. In 1761 the British took command of Fort Michilimackinac as a result of the Seven Years War.

With the outbreak of the American Revolution, British officials became concerned that the accessible, wood palisade Fort Michilimackinac would not withstand an American attack. In October 1779, the new commander of Michilimackinac, Lieutenant Governor Patrick Sinclair, developed plans to move the fort to Mackinac Island and began negotiations to purchase the island from the Ojibwa and the move began in the winter of 1779–80. As the location for the fort, Sinclair chose the 150-foot bluff overlooking the harbor and south shore, where he located the village. Sinclair knew this left the fort vulnerable to attack from the higher bluff to the north, but it allowed him to protect the village and harbor. The location of the village outside the fort walls, a departure from the situation at Michilimackinac, was intended to enhance military security. Nevertheless, the village had wooden palisade walls of its own on the south, north, and west sides; the bay was on the east. To entice the villagers to move to the island, Sinclair ordered Ste. Anne Catholic Church to be shipped over the ice by oxen-drawn sleds. The church was located at what is now the corner of Market and Hoban streets (it was later relocated farther west on Haldimand Bay). Other buildings were moved across the ice as well; the William McGulpin House (1575 Fort Street) may have been one of them. Although the British were in command, the civilian population in the village consisted predominantly of French fur traders, their Odawa and Ojibwa wives, and their Métis (mixed-blood) offspring.

Although the 1783 Treaty of Paris placed Mackinac Island under the ownership of the United States, American soldiers did not occupy Fort Mackinac until 1796. During this time the population of Mackinac Island grew, expanding beyond the palisade walls of the original village. Reports of the number of buildings in the village between 1796 and 1802 are erratic, ranging from about fifty to eighty-nine. In the winter only about half of the houses were occupied, but the summer population of a thousand or more filled all of the houses and spilled over into teepees. Even after 1796, British merchants continued to control the fur trade, while French and Métis traders conducted most of the actual trading.

Not surprisingly, the early architecture of the village was French colonial in form and construction. Seven of these French colonial log buildings survive on the island today. In 1811, John Jacob Astor's American Fur Company merged with the Montreal Michilimackinac Company, making Astor the first American with a share of the Great Lakes fur trade. Then in July 1812, in the first land action of the War of 1812, the British captured Fort Mackinac. As the westernmost of a line of forts on the border between the United States and Canada, the northernmost fort on the western frontier, and the grand depot for the fur trade, Fort Mackinac was a key defensive post. In December 1814 the Treaty of Ghent ended the war, returning Fort Mackinac to the Americans, who reoccupied the fort in July 1815.

After the war, Astor reestablished Mackinac Island as the American Fur Company's center for interior operations and quickly came to dominate the flourishing fur trade. The scale and complexity of Astor's trading empire was unprecedented. Ramsey Crooks, Astor's partner and general manager, and Robert Stuart, resident manager, supervised the American Fur Company's Mackinac Island operation. Stuart's Federal-style house (7342 Market Street) functioned as the company's administrative headquarters and was an important venue in the social life of Mackinac Island's upper class. Some independent traders—including Michael Dousman and partners Edward Biddle and John Drew—had headquarters on Mackinac Island as well. The trading pattern was much the same as in the late seventeenth century. During the winter, French

Canadian and Métis traders spread through the Great Lakes region trading for furs with Indian trappers. In the summer, traders returned with their pelts to the American Fur Company warehouse (7358 Market Street) on Mackinac Island, where company clerks counted, sorted, graded, and packed the pelts to ship back to New York City. The traders obtained a new supply of trade goods for the next winter's trading. During this summer rendezvous, the island's permanent population of about five hundred grew to about two thousand with visiting traders and trappers as well as Native Americans from many nations who came to do business with the United States Indian Agent.¹

In the 1830s the decline of the fur trade ushered in a time of change for Mackinac Island. In 1834 Astor sold the American Fur Company to a group of investors led by Ramsey Crooks, who moved the company's inland headquarters west to LaPointe, Wisconsin, reducing though not eliminating, Mackinac's role in the fur trade. Crooks was successful at first, but in 1842 a combination of factors led him to declare bankruptcy. During this time, commercial fishing emerged as the island's primary industry. The 1825 opening of the Erie Canal and the introduction of steamboats on the Great Lakes made travel to the region faster and easier, fostering permanent settlement in the region. Mackinac Island became a fish processing and shipping center for the northern Lake Michigan and Lake Huron region. Schooners and steamers transported the fish to markets in the region's growing villages and cities. Although the island never had the prominence in fishing that it had in the fur trade, the fishing industry provided a strong economic basis for Mackinac until at least the Civil War. A dozen or more new docks were built in the 1840s and 1850s. Leading fish merchants included Michael Dousman, Biddle and Drew, William Scott, Toll and Rice, Bromilow and Bates, and James Bennett. The Bromilow & Bates building (7330 Huron Street) is one of few tangible remnants of the industry. Barrel-making and repair became an important subsidiary industry; more than thirty coopers—many of them from Scotland, Ireland, and Canada—worked on the island in 1850.² Among them was the Doud family of coopers from Ireland. The fishermen themselves were mostly Native American and Métis.

Furs and fish were not the only goods shipped through the Straits of Mackinac. It was the primary Great Lakes shipping lane until the development of railroads across Ohio and the water route was the only way for people and goods to get to the growing upper Midwest. Mackinac Island was the key stopping point and freight of all kinds was transshipped from the port on Haldimand Bay. As steamboats became more common, Mackinac functioned as a fueling station, selling wood at first and later coal. As commerce and industry expanded, it remained concentrated in the original village.

Another boost to the island's economy came from the 1836 Treaty of Washington. Under the terms of this treaty, Ojibwa and Odawa Indians sold fifteen million acres of land in Michigan to the United State government in exchange for money, goods, and provisions to be paid over the next twenty years. The American Fur Company and other island merchants successfully convinced the government to make these distributions on Mackinac Island. Thus each year in late summer approximately four thousand Ojibwa and Odawa came to Mackinac Island to

¹ Porter, Phil, *Mackinac: An Island Famous in These Regions*, Mackinac Island: Mackinac State Historic Park Commission, 1998, pg. 27.

² Porter, *Mackinac: An Island Famous in These Regions*, pg. 35.

receive their annuities in cash, goods, and provisions. The construction of the county courthouse on Market Street in 1839 testifies to Mackinac Island's continuing importance as the county seat for all of the Upper Peninsula and the northern part of the Lower Peninsula.

The arrival of Mackinac Island's first tourists in the 1830s contributed to the diversification of the island's economy. Travelers were beginning to seek resorts that offered scenic beauty, not just healthy water and air as was the custom earlier. The Romantic Movement introduced a new appreciation for the beauty of nature and wilderness landscapes, bringing tourists to places like Niagara Falls and the Catskill Mountains. Mackinac Island combined the health advantages of the lakeshore with the rugged beauty of the wilderness. A number of writers visited the island in the 1830s and 1840s, including Harriet Martineau, Alexis DeTocqueville, Anna Jameson, Margaret Fuller, and William Cullen Bryant. Their published descriptions of Mackinac Island helped to popularize the island as a tourist destination. The steamboats that were being used to transport fish and furs made it easier for visitors to come to Mackinac Island, although it was still a journey, and island businesses were just beginning to cater to the tourist trade. In 1837 the Protestant Mission House (just outside the Mission District) was converted into the island's first hotel; the Island House (adjacent to the Mission District at the west) was built in 1852; and the Lake View House (downtown) opened in 1858. A horse-drawn omnibus offered tours of natural and historic sites as early as the 1840s, and shops in town began carrying "Indian curiosities" such as baskets, corn husk dolls, woven mats, and birch bark containers of maple sugar. The Mission District saw housing and rooming house development increase during this era.

By 1850 Mackinac Island's permanent population had grown to 956. Immigrants came from New England and New York. Twelve African-Americans (some formerly enslaved) came from Kentucky and Virginia. A growing number of islanders were foreign-born, coming from England, Scotland, Canada, Belgium, Prussia, Germany, and Holland. The largest group of immigrants came from Ireland—pushed by the potato famine that brought more than one million Irish to America and pulled by the opportunities in the island's fishing industry. By 1850 the Irish constituted almost 20 percent of the island's population.³

After the Civil War, Mackinac Island quickly rose to prominence as one of the most popular resorts in the Midwest. Improved transportation was the key to bringing more visitors to the island. In 1875 the Grand Rapids and Indiana Railroad completed a railroad line to Petoskey, where travelers could board a steamer to Mackinac Island. In 1882 both the Grand Rapids and Indiana Railroad and the Michigan Central Railroad completed railroad lines to Mackinaw City, where ferry boats were available to complete the short trip to the island. In the same year, the Detroit and Cleveland Steam Navigation Company began regular service to Mackinac Island. Vacationers in this era continued to seek a healthy and inspiring environment, but there was an increasing emphasis on recreation. Scenic views and limestone formations, historic sites from the War of 1812, the harbor that still sheltered sailboats and Indian canoes, the quaint old French houses in the village, and Fort Mackinac itself all offered diversions for tourists. In his 1875 guide book to Mackinac Island, John Disturnell described the village as "a perfect curiosity." Disturnell recounted many of the island's Indian legends, an important part of Mackinac's attraction. In the guidebook's business directory, four stores list Indian curiosities along with

³ Porter, *Mackinac: An Island Famous in These Regions*, pg. 41.

their dry goods, groceries, and provisions.⁴ There was a growing compliment of boarding houses and hotels to accommodate the increased tourism at this time as well.

The island's importance as a resort was solidified with the establishment of America's second national park on Mackinac Island in 1875. The national park, which encompassed about 50 percent of the island, gave new purpose to Fort Mackinac, which had long ceased to have strategic importance as a frontier or border post. Now the fort commandant served as the park superintendent, responsible for enforcing rules and regulations, building roads and trails, collecting and disbursing park funds, and leasing lots for cottages. On the west side of the island, Hubbard's Annex was platted in 1882 as Mackinac Island's first cottage resort community, followed by the first cottages on the East and West Bluffs. The increased services required by visitors and wealthy cottagers alike aided the growth of the island's overall economy. When a partnership of railroad and steamship lines built the Grand Hotel in 1887, Mackinac Island entered the category of fashionable resort where Newport, Rhode Island, and Saratoga Springs, New York, set the standard. The wealthy elite of Chicago, Detroit, and other cities came to stay at the Grand; others built large and elaborate cottages on the bluffs. The East Bluff cottages, on state-leased land, are located on the bluff rising behind the proposed Mission District area.

Mackinac Island faced a crisis in the 1890s when the army decided to close Fort Mackinac and sell the national park. Secretary of War Daniel Lamont believed that the government should not be responsible for maintaining a summer resort for wealthy people. Islanders successfully lobbied Congress to transfer the national park to the state of Michigan, and in 1895 the country's second national park became Michigan's first state park, administered by the newly appointed Mackinac Island State Park Commission. Mackinac Island continued to grow and prosper as a resort, as evidenced by the predominance of late nineteenth- and early twentieth-century buildings on the island today. The village experienced substantial development to the northeast and west of its original boundaries, but that development consisted of private residences, plus a few hotels and large boardinghouses. Commercial buildings were confined to the original village limits, where restaurants, gift shops, hotels, and candy stores replaced the quaint French buildings that had enchanted earlier visitors. Private homes were increasingly converted to boardinghouses and hotels.

The island was modernized with electricity, running water, and telephones, along with telephone poles, a coal-burning electric plant, and a water-pumping station. When the first automobile appeared in the village in 1898, the islanders drew the line. The village council banned automobiles on village streets, and in 1901 the park commission banned automobiles in the park. As is often the case, the disappearance of the island's historic buildings generated interest in their history. Residents and cottagers wrote books on Mackinac Island history and erected historical monuments. In 1895, a group of islanders restored the Mission Church (located in the Mission District), recognizing its importance for its age and history to the island. In 1905, the Park Commission opened Marquette Park in the former soldiers' garden below the fort, and in 1909 dedicated the bronze statue of Father Marquette that still stands in the park.

The tourism-based prosperity that began on Mackinac Island in the late nineteenth century continued through the 1920s. During World War I, however, new construction slowed, and it

⁴ J. Disturnell, *Island of Mackinac and Its Vicinity*, 1875; reprint, Cheboygan, Michigan.: C.W. Page, 1977.

diminished further in the 1920s. The Grand Hotel was an exception—an addition was built in 1912, a golf course in 1917, and in the 1920s a fifth floor was added and an outdoor swimming pool constructed. Certainly, this was evidence of wealth continuing to flow to Mackinac Island. Another indicator was Mackinac Island State Park's acquisition of several hundred acres during the 1920s. After World War I, a steadily growing number of visitors travelled to the island by auto instead of by railroad or steamboat. Two of Michigan's improved highways, the East and West Michigan Pikes, met in Mackinaw City in 1922. The following year the state began operating an automobile ferry across the straits from Mackinaw City to St. Ignace. But these developments had a greater impact on mainland tourism than on the island. In an effort to lure more auto tourists from the mainland, state park Superintendent Frank Kenyon proposed an auto garage on Mackinac Island where people could leave their cars while they toured the island, but it never came to fruition. Although illegal automobiles occasionally appeared on the island, and the ordinances prohibiting automobiles were challenged, they were not overturned.

The Great Depression slowed resort life on Mackinac Island. In the 1930s, tourism dwindled to a trickle, stores on Huron Street were vacant, some cottages on the bluffs were boarded up and overgrown, and the Grand Hotel came close to bankruptcy. A measure of relief came from federal and local public programs. The Civilian Conservation Corps undertook landscaping projects, repaired buildings at Fort Mackinac, reconstructed Fort Holmes, and built the Boy Scout barracks. Under the federal Public Works Act, an airport landing strip was built near the center of the island. Works Projects Administration (WPA) funds were used to hire Grand Rapids architect Warren Rindge to prepare a detailed historical and architectural report on the island's historic buildings.

The City of Mackinac Island initiated a local public works program when it created the Park and Harbor Commission in 1941. By selling revenue bonds, the Park and Harbor Commission raised funds to promote tourism and to undertake a number of civic improvements. These included buying and restoring the American Fur Company warehouse and Stuart House, building public bathrooms, and resurfacing the Arnold Line dock. The Depression extended through World War II on Mackinac Island, as wartime travel restrictions continued to limit tourism, and the relief provided by New Deal projects came to a halt.

When tourism recovered after World War II, it took on a different character than in the years before the Depression. The summer resort of the 1920s essentially continued a late Victorian lifestyle in late Victorian buildings. But the lifestyle of the 1950s was different. The U.S. economy was booming, and Michigan—led by the auto industry—was especially prosperous. A new state tourism campaign was designed to draw vacationers to northern Michigan. Automobiles were now the most common mode of travel to Mackinac Island, though the final stretch was still by ferry (or occasionally airplane), and on the island transportation was by foot, bicycle, or horse. When the Mackinac Bridge opened in 1957, it brought even more automobile tourists to the straits region. It was so much faster and easier to reach the island that day trips became popular. Economic recovery meant that empty stores, homes, and hotels were reoccupied. The Mission District saw new construction in the middle-twentieth century at 6706 Main Street, 6917 Main Street, and 6652 Main Street, as well as the row house buildings on Lesley Court.

Mackinac Island’s tourist-based economy has continued to grow since the 1960s – today sources indicate approximately one to 1.2 million people visit the island each year. There has been infill development in the village and some large-scale development on other parts of the island, including new construction in the Mission District area. Yet history, more than ever, is a key element in Mackinac Island’s appeal. Today the state park encompasses at least 83 percent of the island. Fort Mackinac, which has been systematically restored to its late nineteenth-century appearance, is a premier attraction. The state park commission has acquired and restored many of the island’s most important historic buildings, including the Edward Biddle House, the Mission Church, the Indian Dormitory, the Mission House, and the William McGulpin House. The hotels and cottages that once were modern and fashionable are now historic and fashionable. The Mission District still retains a high-level of historic integrity and sense of place. The proposed Mission District flanks the downtown to the east as a compliment to the West End Historic District to the west of downtown Mackinac Island.

SIGNIFICANCE OF THE DISTRICT

Michigan’s Local Historic District Act, PA 169 of 1970, as amended, requires local historic district study committees to be guided by the evaluation criteria for the National Register of Historic Places in evaluating the significance of historic resources. The act also requires study committees to be guided by a criteria established or approved by the Michigan State Historic Preservation Office (Section 3(1)(c)). In 2022, the State Historic Preservation Office issued criteria that elaborate on historic district boundary determinations and single resource districts.

In accordance with these legal documents and guidelines, the study committee has determined that the Mission District Historic District is significant under National Register Criterion A, for its association with historical events that have contributed significantly to the history of Mackinac Island, the State of Michigan, and the United States; and under Criterion C, for its embodiment of the distinctive characteristics of architectural types, periods, and method of construction. The areas of significance are architecture, entertainment/recreation, ethnic heritage, and religion. The period of significance is from 1790, the likely date of the known log structures in existence in the district to 1973.

The historic structures and resources generally fall within these time periods and contexts:

- o Island settlement and patterns of trade and tourism (pre-1870)
- o Island Resorts and Parks (1870-1930)
- o Mid-century tourism and investment at Mackinac (1930-1973)

The National Register Criteria

The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling and association, and:

Criteria A: That are associated with events that have made a significant contribution to the broad patterns of our history.

Mackinac Island as a whole has been designated a National Historic Landmark for its outstanding significance as a military outpost, fur trade depot, and - since the mid-nineteenth century – one of the country’s premier tourist destinations. The development of the Mission district area at the east end of the island has been overshadowed by more conspicuous development in the original village and the cottages of the west and east bluffs, yet the Mission District to the east end plays an integral and densely developed part of Mackinac Island history and contains a large percentage of the historic resources of the island. The major themes of Mackinac Island history are reflected in the district’s buildings, from the log houses of the fur traders and the simple vernacular houses of the workers in the fishing industry, to the fine large homes, cottages, hotels and rooming houses developed during the tourism era of the late nineteenth century to the Great Depression, as well as the mid-twentieth century period of renewed tourism and investment. There are examples of structures associated with equestrian activity so important to the island, as well as two significant historic church buildings.

Select examples include: (please see inventory forms as well)

6768 McGulpin Street - McGulpin Family house, Fur Trade/log construction, c. 1790

6670 Main Street - Mission Church, Religion, 1829

6836 Main Street - Sainte Anne Catholic Church, Religion, 1874/1890

1260 Truscott Street – Barn, Equestrian Use, c. 1860

6781 Main Street - Bennett Hotel, Tourism, c. 1890

6860 Main Street – Madame LaFramboise House, Fur Trade, 1842

1427 Brogan Lane, Pine Cottage Inn, Commerce, 19th century

6734 Main Street, Jacob Wendell House, Commerce, 1846

Criteria C: That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

The Mission District Historic District contains representative types of the island’s residential architecture. At least one French colonial log building survives in the district on McGulpin Street. These rare, historic structures contribute to Mackinac’s national significance. The William McGulpin house (moved from McGulpin Street to Fort Street in 1982) dates from 1790-91 and it is likely the former neighboring log house at 6768 McGulpin Street, known as the McGulpin Family house, dates from that time period. An original portion of the La Framboise House, now Harbour View Inn, (6860 Main Street) built in 1820 has sided log construction.

The Mission Church (6670 Main Street) and Ste. Anne’s Church (6836 Main Street) and Rectory (6837 Main Street) represent religious architecture of the nineteenth century. A fine Greek Revival example is the Lafayette Davis House at 6806 Main, now Haan’s 1830 Inn.

There are many examples of well-preserved two-story, front-gabled vernacular houses – the most common type of early nineteenth century house on the island. Bayview Bed and Breakfast (6947 Main Street), Bonnie Doone Cottage (6883 Main Street), the Bennett Hotel (6781 Main Street) are representative of the Queen Anne style. Other architectural styles popular during the period can be found in the Italianate Vernacular of Thuya Cottage (6948 Main Street), and the Colonial Revival portico added in the 1890s to the Madame LaFramboise House/Harbour View Inn (6860 Main Street), and Sainte Anne’s Rectory (6837 Main Street). The mid-twentieth century structures in the district are representative of the post-World War II period when the ranch house exemplified the change to less ornate and elaborate structures.

As a group, the Mission Historic District is a cohesive neighborhood that exemplifies Mackinac Island’s long and rich history, representing multiple eras and uses in its 55 contributing historic resources. The non-contributing buildings are not overly obtrusive in size or style and generally fit well into the scale and feel of the neighborhood. Most were constructed after the period of significance in the 1990s and 2000s and were designed to blend with the area’s historic character, rather than to detract from it. The district is dense with historic resources from the late 18th to middle 20th century, with 73% contributing to the historic district.

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PHOTOGRAPHS March 2023
All photographs all taken by Jennifer Metz



Photo 1. Looking East down Main toward the Mission District



Photo 2. 6948 Main Street, c. 1850.



Photo 3. 6849 Main Street.



Photo 4. Saint Anne's Church, 6836 Main Street



Photo 5. Saint Anne's Rectory, 6837 Main Street



Photo 6. Harbour View Inn, formerly Madame Laframboise House, 6860 Main Street

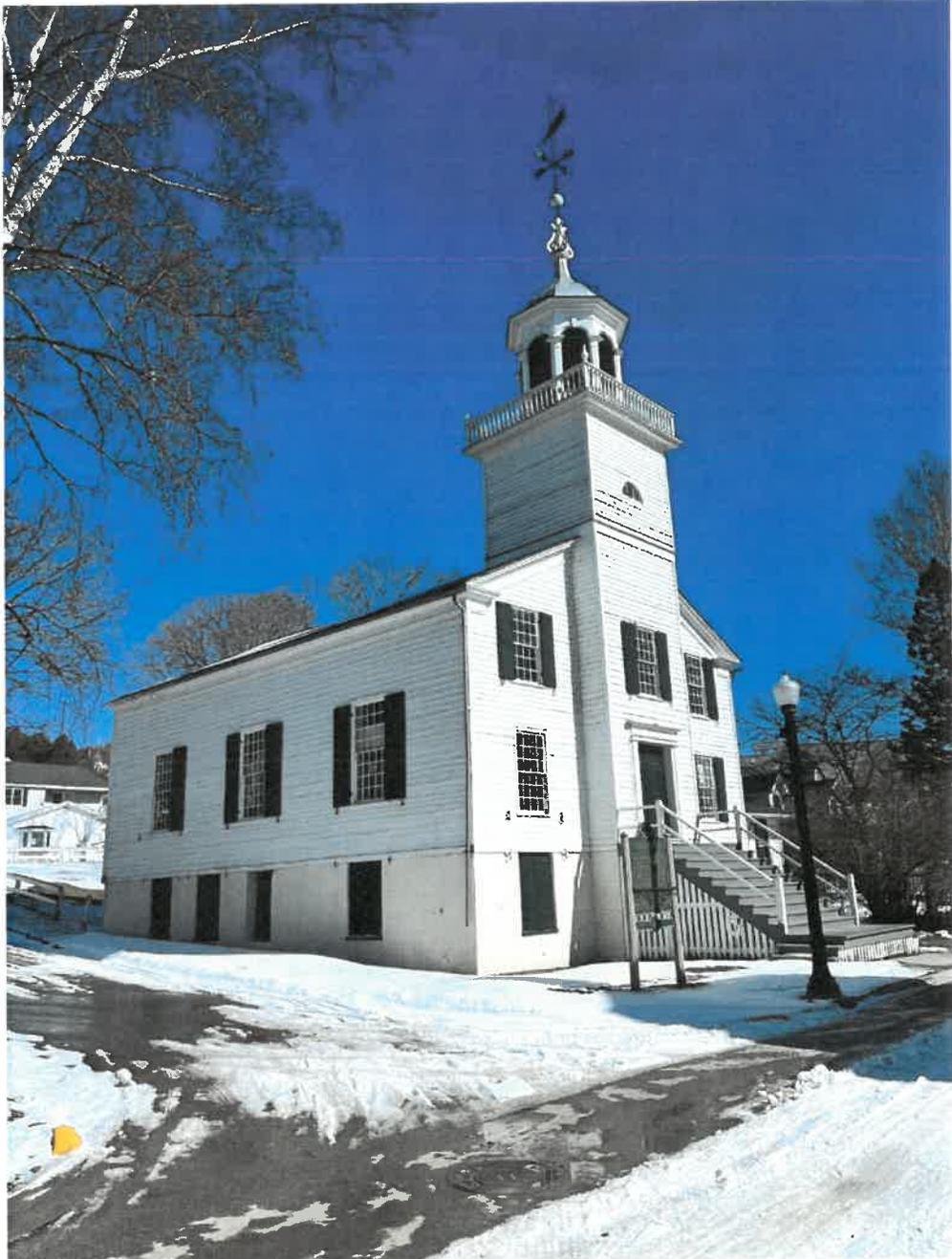


Photo 7 – Mission Church, 1829, 6670 Main Street



Photo 8. Jacob Wendell House, 6734 Main Street

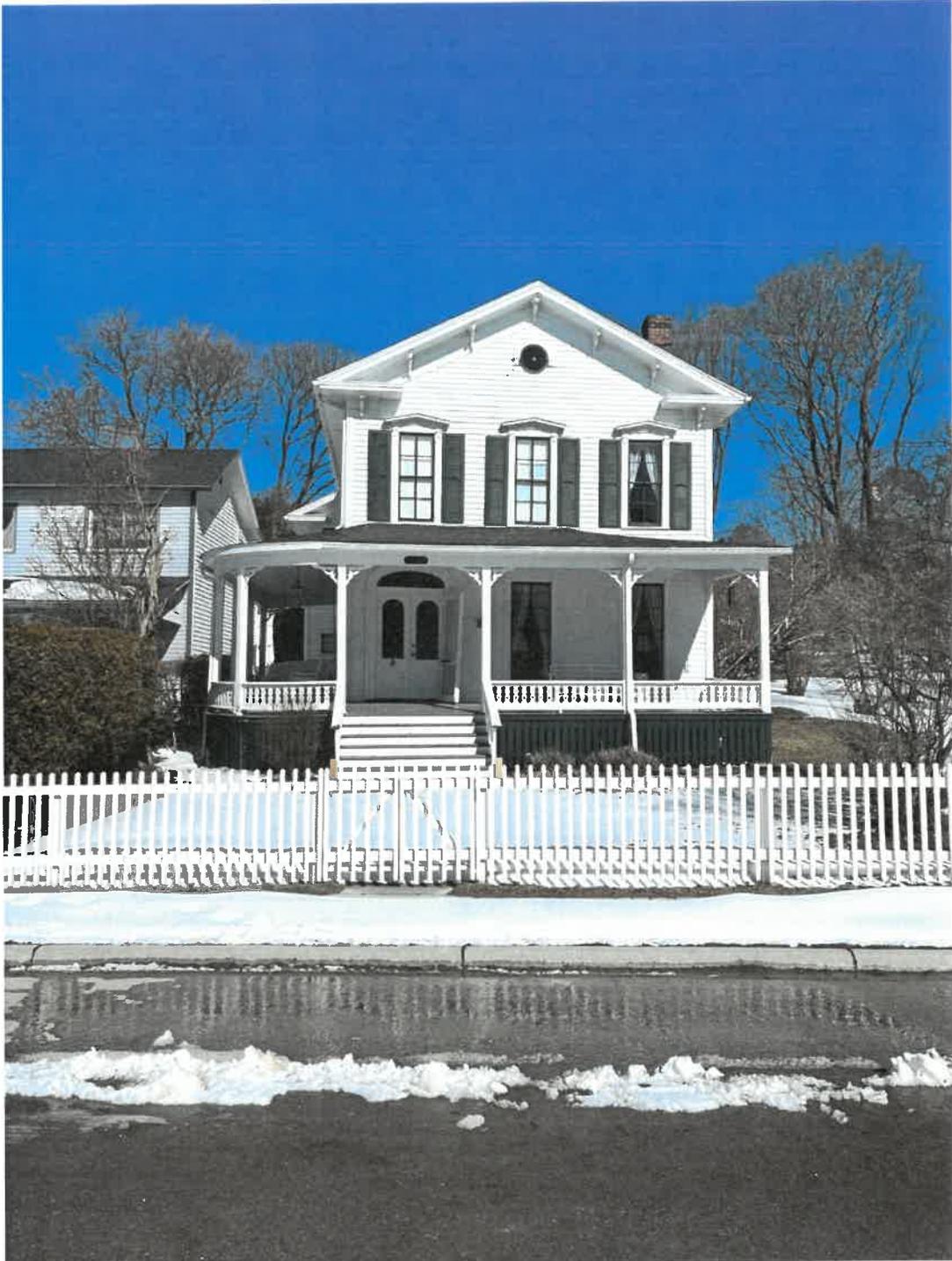


Photo 9 – 6784 Main Street

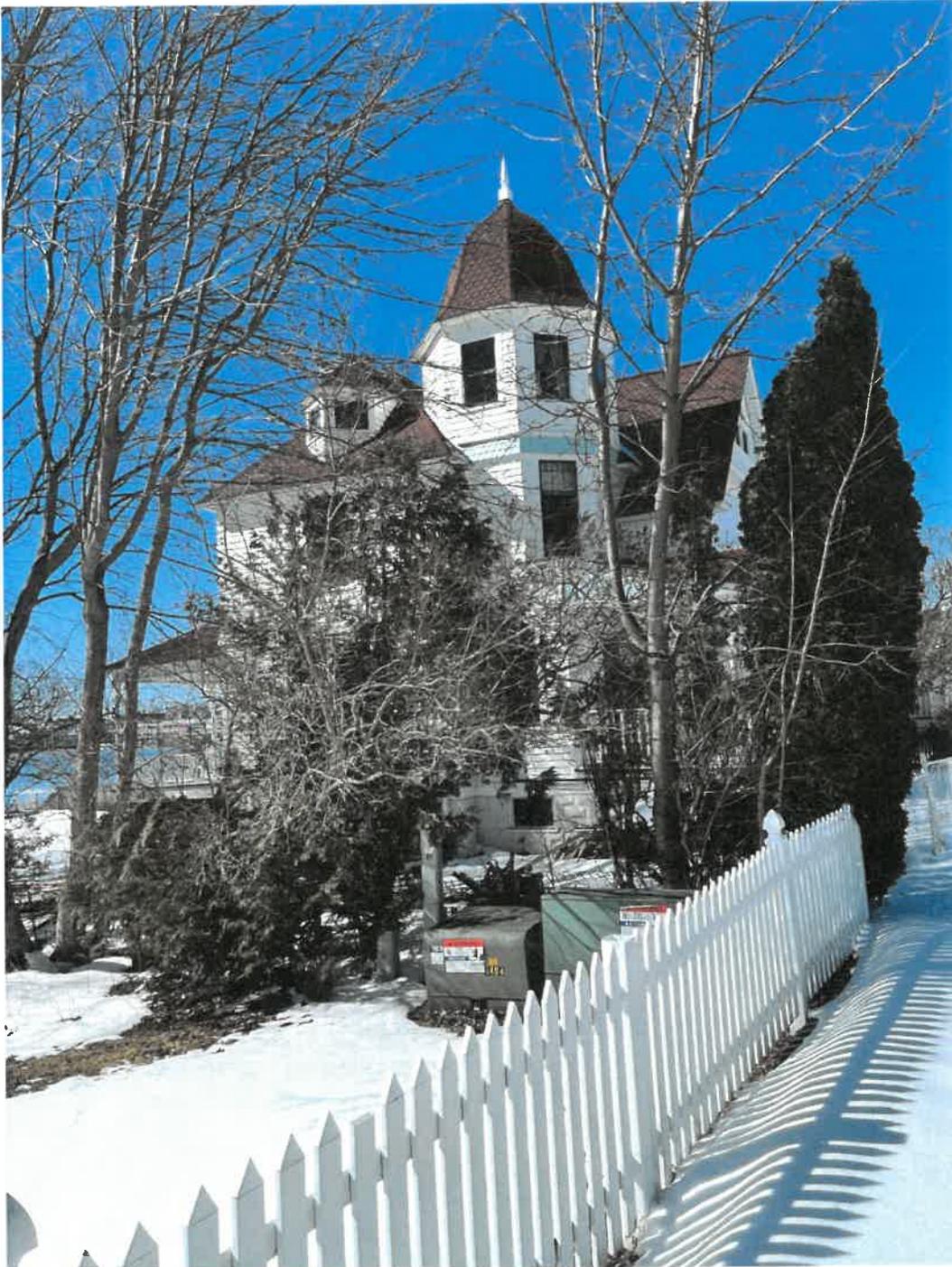


Photo 10 – 6823 Main Street



Photo 11 – 6706 Main Street



Photo 12 – The east end of Mackinac Island and Mission District from the bay.

propaddrnu	propstreet	propStre_1	HistoricDistrict	Year Built	Historic Name	Current Name
1420	BOGAN	LN	Contributing	c. 1885		Bogan Lane Inn
1432	BOGAN	LN	Contributing	c.1900/1950s		
1427	BOGAN	LN	Contributing		1870 Pine Cottage Hotel	Pine Cottage
1450	BOGAN	LN	Contributing	c.1900/various		Voyager Inn
1449	BOGAN	LN	Contributing	. 1850/19th c		
1366	CHURCH	ST	Contributing	c. 1880		
1400	CHURCH	ST	Contributing	c. 1870		
1412	CHURCH	ST	Contributing	c. 1870		
1378	CHURCH	ST	Contributing	c. 1890		
1396	CHURCH	ST	Contributing	c. 1900		
1407	CHURCH	ST	Contributing		1965	Row Terraces
1407	CHURCH	ST	Contributing		1965	Row Terraces
1407	CHURCH	ST	Contributing		1965	Row Terraces
1407	CHURCH	ST	Contributing		1965	Row Terraces
1407	CHURCH	ST	Contributing		1965	Row Terraces
1407	CHURCH	ST	Contributing		1965	Row Terraces
1392	CHURCH	ST	Contributing	c. 1870		
6620	FERRY	LN	Noncontributing		1982	
1213	FRANKS	ST	Noncontributing	c. 1990		
1221	FRANKS	ST	Noncontributing	c. 1990		
1225	FRANKS	ST	Noncontributing	c. 1990		
1231	FRANKS	ST	Noncontributing	c. 1990		
1237	FRANKS	ST	Noncontributing	c. 1990		
1245	FRANKS	ST	Noncontributing	c. 1990		
1253	FRANKS	ST	Noncontributing	c. 1990		
1193	FRANKS	ST	Noncontributing	c. 1980		
1213	FRANKS	ST	Noncontributing			
1213	FRANKS	ST	Noncontributing			
1213	FRANKS	ST	Noncontributing			
1213	FRANKS	ST	Noncontributing			
1213	FRANKS	ST	Noncontributing			

1213 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1213 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1213 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1237 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1237 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1237 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1237 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1237 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1237 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1237 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1237 FRANKS	ST	Noncontributing				Lesley Court Condominiums
1179 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments	1874 St Anne de Michillimackinac	Lesley Court Condominiums
1185 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1193 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1197 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1188 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1210 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1221 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1228 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1227 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1232 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1235 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1240 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1239 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1179 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
1240 LESLEY	CT	Contributing	c. 1965	Lesley Court Apartments		Lesley Court Condominiums
6836 MAIN	ST	Contributing	c. 1850			Saint Anne's Church
6784 MAIN	ST	Contributing	Late 19th c			Murray Cottage
6800 MAIN	ST	Contributing				
6806 MAIN	ST	Contributing		1830 Lafayette Davis Cottage		Haan's 1830 Inn
6823 MAIN	ST	Contributing	c. 1880			
6837 MAIN	ST	Contributing		1881 St. Anne's Rectory		
6883 MAIN	ST	Contributing		1886 Bonnie Doone Cottage		Bonnie Doone Cottage

6929	MAIN	ST	Contributing	c. 1960s					
6947	MAIN	ST	Contributing	1891					Bayview Bed and Breakfast
6896	MAIN	ST	Contributing	1867/variou					Inn on Mackinac
6918	MAIN	ST	Contributing	1904/1999		Bogan House/Chateau Beaumont			St. Cloud
6930	MAIN	ST	Contributing	c.1850		St. Cloud Hotel			St. Cloud
6948	MAIN	ST	Contributing	c. 1850		Thuya Cottage			
6849	MAIN	ST	Contributing	19th c.					
6901	MAIN	ST	Noncontributing	1999					
6624	MAIN	ST	Noncontributing	c. 2000					
6624	MAIN	ST	Noncontributing	c. 2000					
6602	MAIN	ST	Noncontributing	c. 2000					
6753	MAIN	ST	Noncontributing	c.1990					
6743	MAIN	ST	Noncontributing	c. 1990					
6748	MAIN	ST	Noncontributing	c. 1990					
6746	MAIN	ST	Noncontributing	c. 1990					
6742	MAIN	ST	Noncontributing	c. 1990					
6758	MAIN	ST	Noncontributing	c. 1990					
6597	MAIN	ST	Noncontributing	c. 1980					
6734	MAIN	ST	Contributing	1846	Jacob Wendell House				Jacob Wendell House
6688	MAIN	ST	Contributing	c.1890					Mac Is Bible Church
6706	MAIN	ST	Contributing	c. 1960					
6670	MAIN	ST	Contributing	1829	Mission Church				Mission Church
6652	MAIN	ST	Contributing	c. 1950					
6634	MAIN	ST	Noncontributing	c. 1980					
6731	MAIN	ST	Contributing	mid 19th c					
6661	MAIN	ST	Noncontributing	2007					
6661	MAIN	ST	Noncontributing	2007					
6661	MAIN	ST	Noncontributing	2007					
6661	MAIN	ST	Noncontributing	2007					
6695	MAIN	ST	Noncontributing	c. 2010					
6687	MAIN	ST	Noncontributing	2011					
6717	MAIN	ST	Noncontributing	c. 2000					

6705 MAIN	ST	Noncontributing			
6757 MAIN	ST	Contributing	c. 1870		Harbor Cottage
6917 MAIN	ST	Contributing	1962		Watercolor Café
6939 MAIN	ST	Contributing	c.1960		
6673 MAIN	ST	Contributing	c. 1890	Lafayette Cottage	
6860 MAIN	ST	Contributing	1820/variou	LaFramboise Cottage/LaChance Inn	Harbour View Inn
6805 MAIN	ST	Contributing	c. 1860		
6781 MAIN	ST	Contributing	c. 1890	Bennett Hall Hotel	Bennet Hall
6719 MAIN	ST	Noncontributing	c. 1990		
6707 MAIN	ST	Noncontributing	c. 1990		
6937 MAIN	ST	Contributing	c.1960		
6739 MAIN	ST	Noncontributing	c.2010		
6786 MCGULPIN	ST	Contributing	c. 1870		
6798 MCGULPIN	ST	Contributing	c. 1870		
6776 MCGULPIN	ST	Contributing	c. 1920/variou		
6770 MCGULPIN	ST	Noncontributing	c. 1980		
6768 MCGULPIN	ST	Contributing	c. 1790/c.1920	McGulpin Family	Mackinac Island Butterfly Ho
6750 MCGULPIN	ST	Contributing	c. 1910/variou	Truscott Greenhouse	
6740 MCGULPIN	ST	Contributing	c. 1880		
1229 MISSION	ST	Noncontributing	c. 2000		
1235 MISSION	ST	Noncontributing	c. 2000		
1241 MISSION	ST	Noncontributing	c. 2000		
1263 MISSION	ST	Contributing	c.1920/variou		
1274 MISSION	ST	Noncontributing	c. 1980		
1252 MISSION	ST	Noncontributing	c. 1945/c.1980s		
1230 MISSION	ST	Contributing	c. 1950s/variou		
1215 MISSION	ST	Noncontributing	2007		
1219 MISSION	ST	Noncontributing	2007		
1317 TRUSCOTT	ST	Noncontributing	1995		
1317 TRUSCOTT	ST	Noncontributing	1995		
1317 TRUSCOTT	ST	Noncontributing	1995		
1317 TRUSCOTT	ST	Noncontributing	1995		

1317 TRUSCOTT	ST	Noncontributing	1995	
1317 TRUSCOTT	ST	Noncontributing	1995	
1317 TRUSCOTT	ST	Noncontributing	1995	
1302 TRUSCOTT	ST	Contributing	c. 1890	Little Barn
1260 TRUSCOTT	ST	Contributing	c. 1920	
1203 TRUSCOTT	ST	Contributing	c. 1870	
1182 TRUSCOTT	ST	Noncontributing	c. 1990	
1287 TRUSCOTT	ST	Contributing	c. 1900	
1299 TRUSCOTT	ST	Contributing	c. 1915	
6635 WENDELL	ST	Contributing	c. 1900/Various	
1278 TRUSCOTT	ST	Contributing	c. 1900	
6739 MAIN	ST	Noncontributing	c. 1980	



LOOKING EAST AT SHED FROM LOT ▲



LOOKING SOUTH AT LOT FROM OLD BARN ▲

LOOKING SOUTH AT LOT FROM OLD BARN ▼



File No. R423-051-005
Exhibit L
Date 3-29-23
Initials KP

Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1523@live.com 989-370-3681	
SEVENTH STREET GOUGH LOT HOUSING 7596 7th STREET MACKINAC ISLAND, MI	
date: Feb. 24, 2023	sheet:
project: 2238	A0.0
AREA PHOTOS	COPYRIGHT © 2023

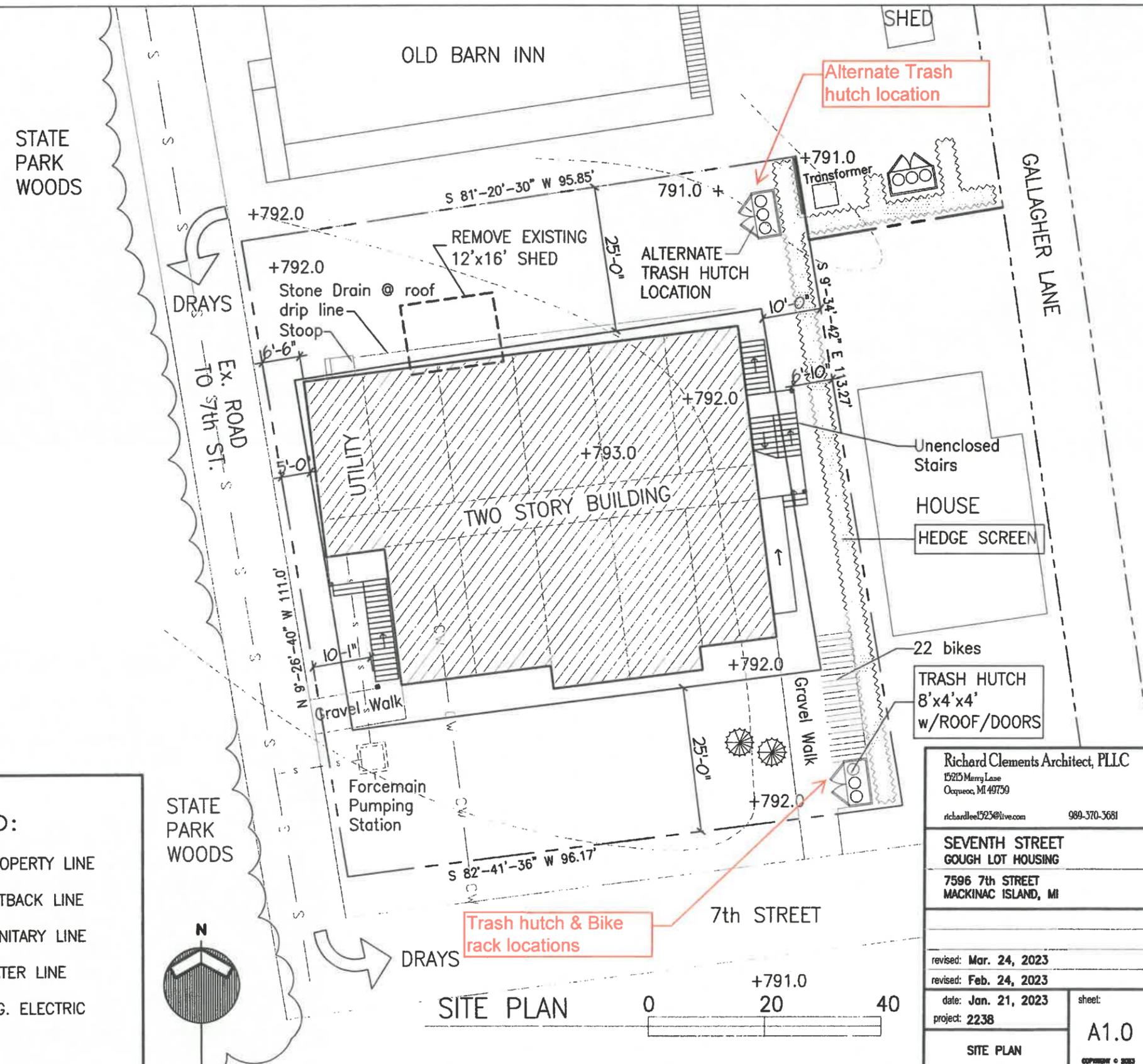
7th ST. SITE:
 PARCEL # 051-630-051-00
 ASSESSOR'S PLAT OF HARRISONVILLE LOT 51
ZONING: R-4
 SITE AREA = 10,761 s.f. = 0.247 ACRES
 ALLOWABLE IMPERVIOUS LOT COVERAGE = 40%
 ACTUAL IMPERVIOUS LOT COVERAGE = 4,230 s.f. = 39.3%
 ALLOWABLE DENSITY = 10761 s.f./500 = 21
 OCCUPANTS, ACTUAL = 20 OCCUPANTS

STORMWATER PLAN:
DESIGN CRITERIA:
 10 YEAR 24 HOUR RAINFALL = 3.3"
 (SOURCE: MDT MS4 REPORT)
 = (0.28') = 0.011' /hour
INFILTRATION RATE OF SOIL = 0.2"/hr.
 (SOURCE: USDA) = 0.016'/hour x24 hrs. *
 67% = 0.25' / storm event
DESIGN STORM VOLUME = 4,230 s.f.
 IMPERVIOUS x 0.28' = 1184 cu. ft.
ABSORPTION AREA OF 26'x96' FRONT & REAR YARDS ADJACENT TO BUILDING = 4,992 s.f.
STORMWATER ABSORPTION = 4,992 s.f. x 0.25' = 1248 cu. ft.
STORM VOLUME minus ABSORPTION = REQUIRED DETENTION;
 1248 cu. ft. > 1184 cu. ft.
 SITE IS ESSENTIALLY LEVEL. STORMWATER WILL BE ABSORBED IN THE LAWN AREAS AROUND THE STRUCTURE.

- SITE NOTES:**
- BICYCLE PARKING RACK IS PROVIDED AT A RATE OF 1 PER OCCUPANT + 2 VISITORS. (22 TOTAL)
 - TRASH TO BE HELD WITHIN THE TRASH HUTCH ADJACENT TO THE STREET OR IN THE REAR CORNER OF THE SITE AND SET CURBSIDE ON COLLECTION DAYS
 - LIGHTING - NO AREA LIGHTING PROPOSED. COACH LIGHTING PROVIDED AT BUILDING ENTRANCES SHIELDED TO CONFINE LIGHT WITHIN THE SITE.
 - SEE STORMWATER NOTES THIS SHEET

LEGEND:

- PROPERTY LINE
- - - SETBACK LINE
- S SANITARY LINE
- (W) WATER LINE
- - - U.G. ELECTRIC

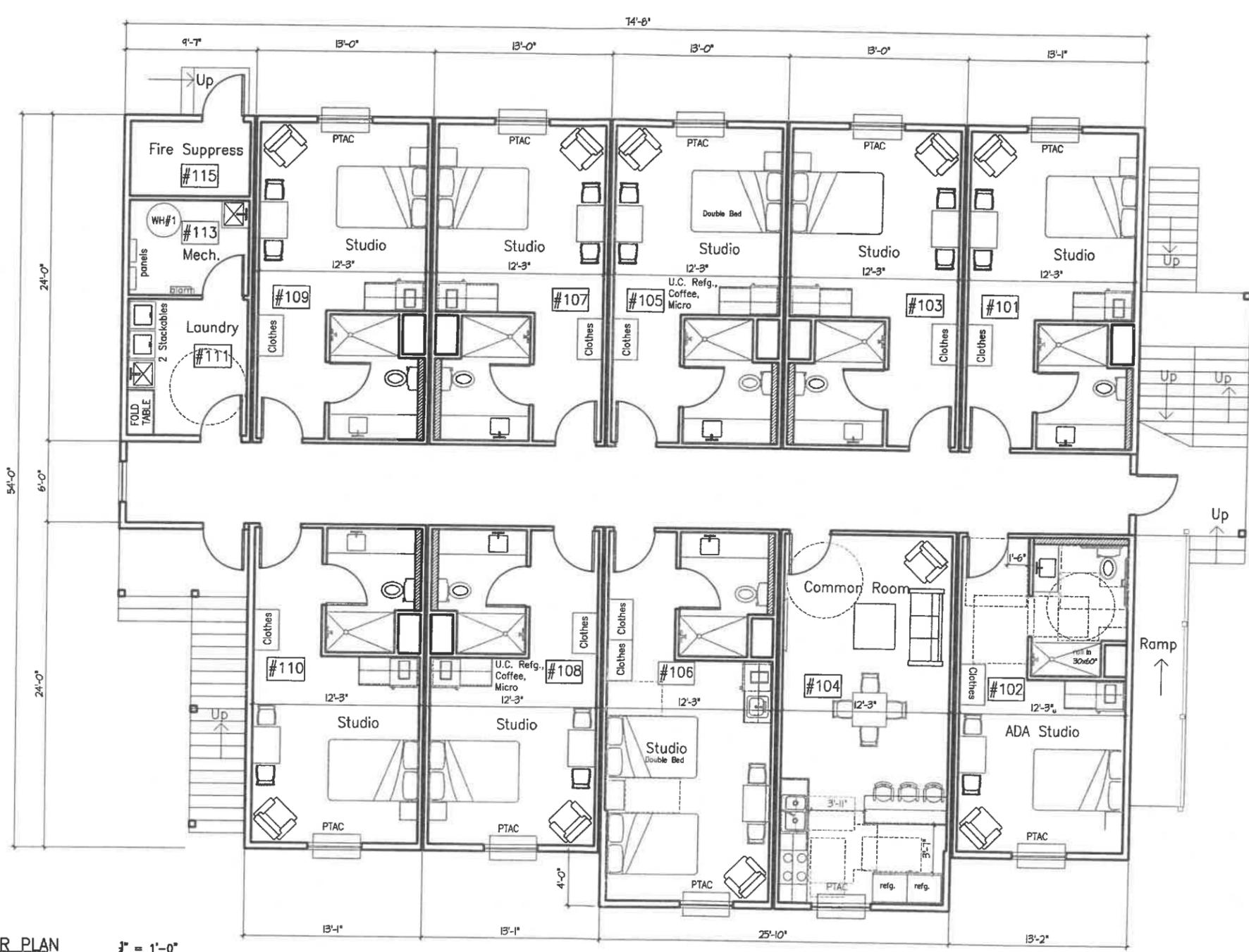


Richard Clements Architect, PLLC
 15215 Merry Lane
 Okemos, MI 48869
 richardlee1523@live.com 989-370-3681

SEVENTH STREET GOUGH LOT HOUSING
 7596 7th STREET
 MACKINAC ISLAND, MI

revised: Mar. 24, 2023
 revised: Feb. 24, 2023
 date: Jan. 21, 2023 sheet:
 project: 2238

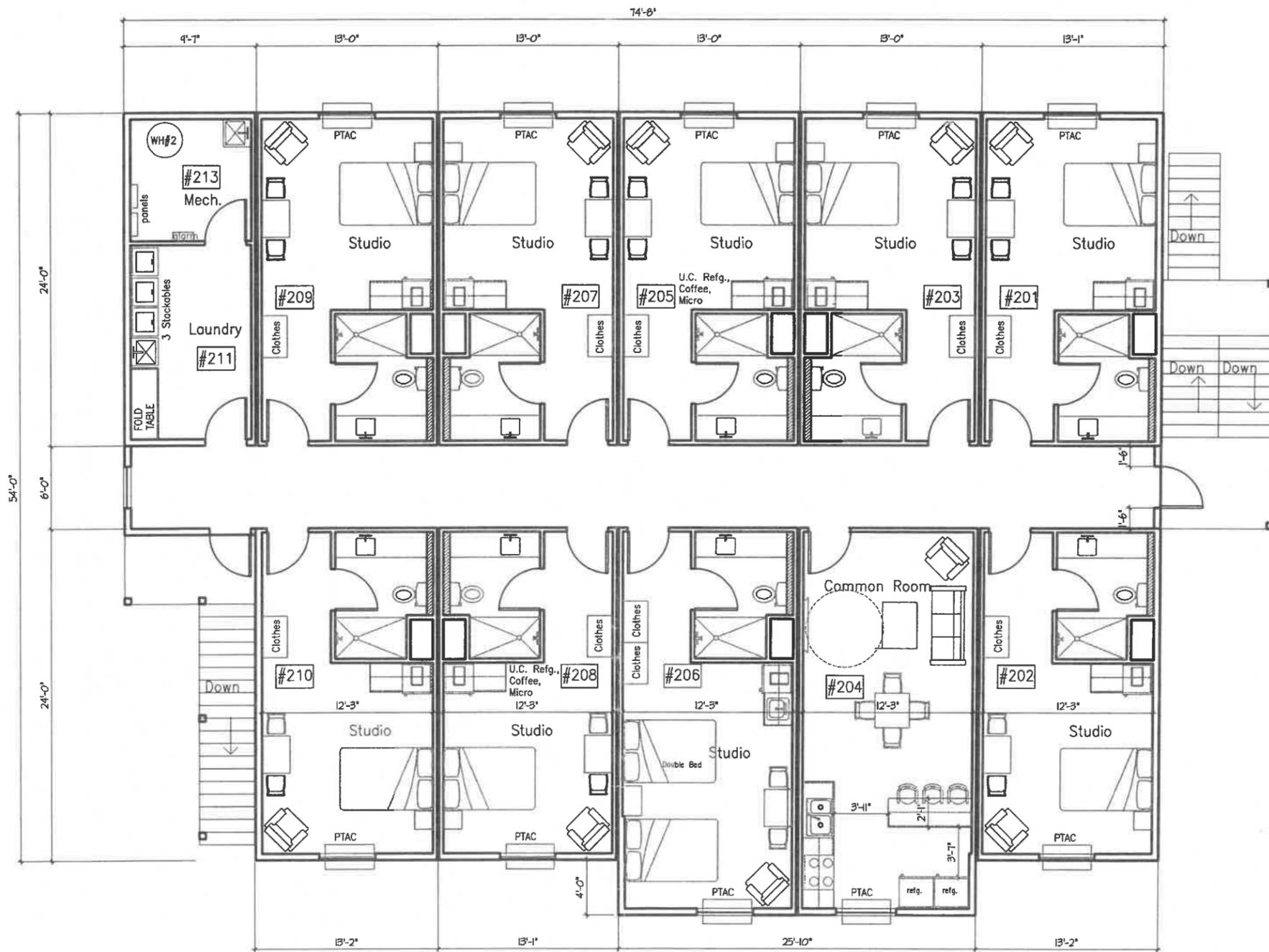
A1.0
 SITE PLAN



PROPOSED 1st FLOOR PLAN 3/8" = 1'-0"

FIRST FLOOR w/ 1 ADA UNIT.
 REMAINDER OF 1st FLOOR UNITS ARE ALL TYPE B ACCESSIBLE.
 NO ACCESSIBILITY REQUIREMENTS FOR 2nd FLOOR UNITS.

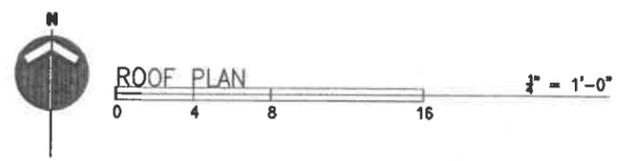
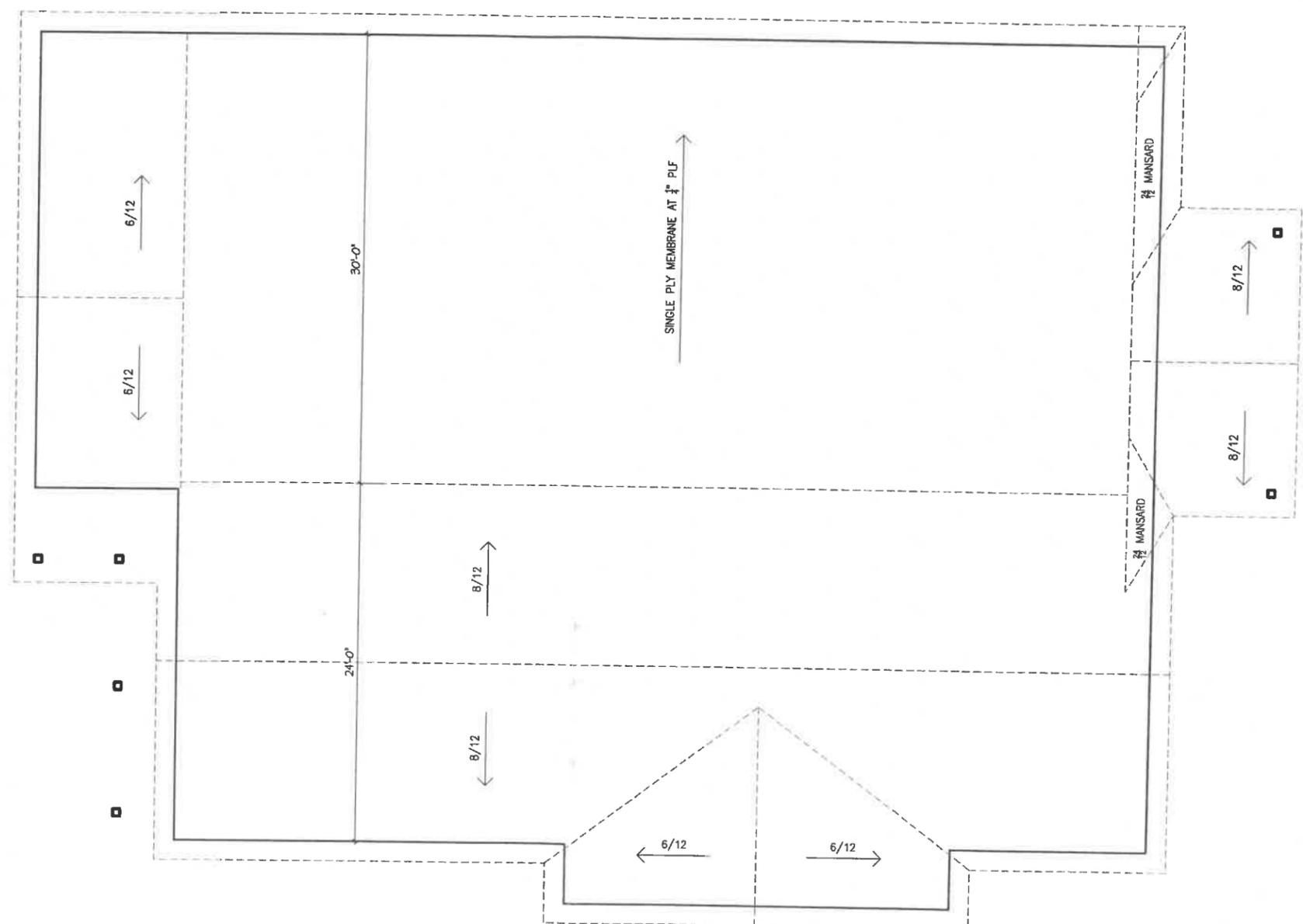
Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1523@live.com 989-370-3681	SEVENTH STREET GOUGH LOT HOUSING	date: Feb. 24, 2023 project: 2238	sheet:
	7596 7th STREET MACKINAC ISLAND, MI	1st FLOOR PLAN	A1.1 COPYRIGHT © 2023



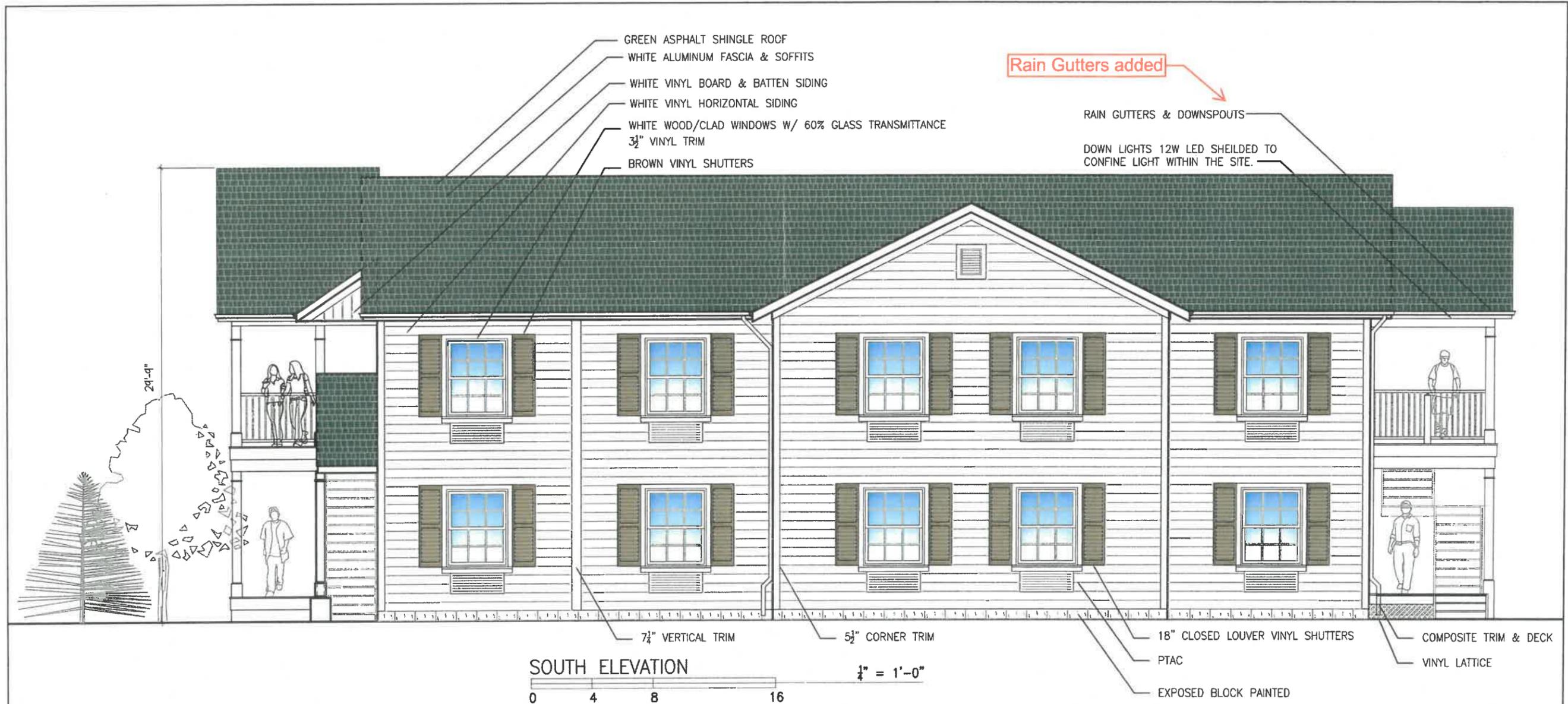
PROPOSED 2nd FLOOR PLAN 1/4" = 1'-0"

0 4 8 16

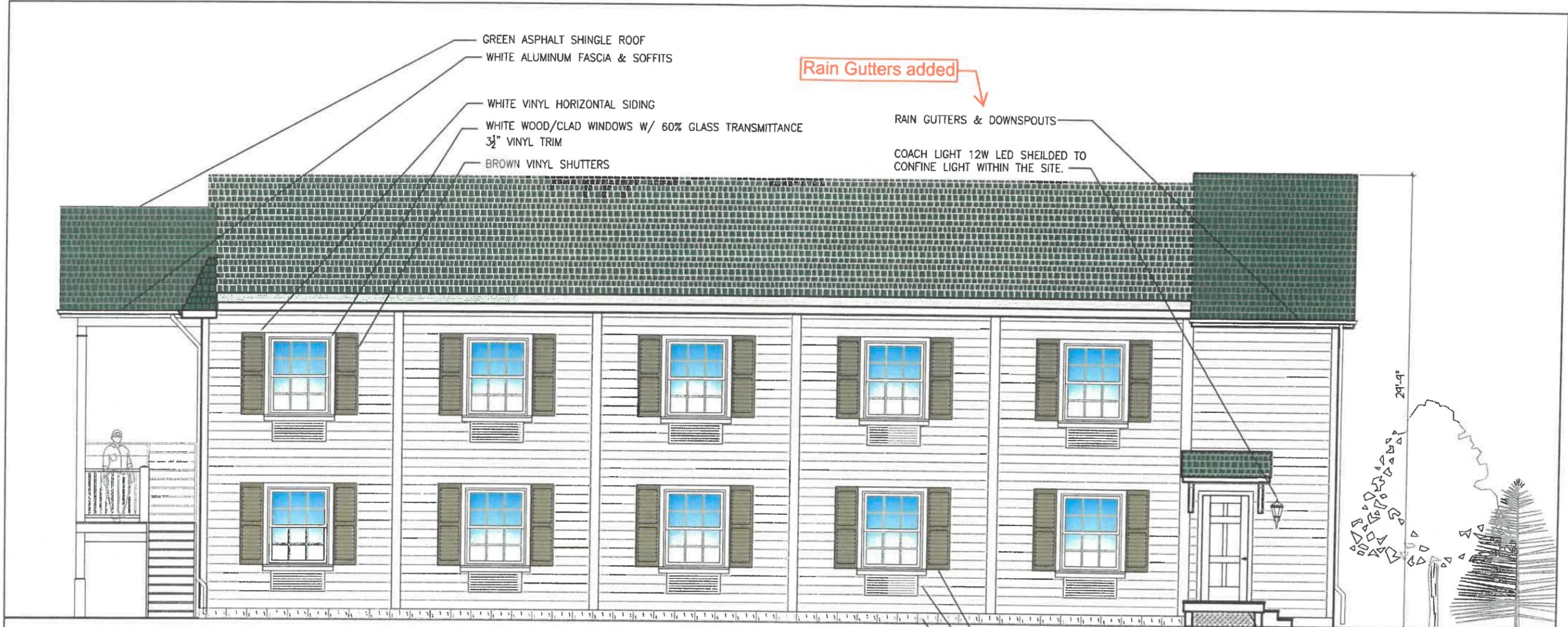
Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardleel525@live.com 989-370-3681	SEVENTH STREET GOUGH LOT HOUSING	date: Feb. 24, 2023 project: 2238	sheet: A1.2
	7596 7th STREET MACKINAC ISLAND, MI	2nd FLOOR PLAN	COPYRIGHT © 2023



Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1525@live.com 989-370-3681	SEVENTH STREET GOUGH LOT HOUSING	date: Feb. 24, 2023 project: 2238	sheet: A1.3
	7596 7th STREET MACKINAC ISLAND, MI	ROOF PLAN	COPYRIGHT © 2023



Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1523@live.com 989-370-3681	SEVENTH STREET GOUGH LOT HOUSING	date: Mar. 24, 2023	date: Feb. 24, 2023 project: 2238	sheet:
	7596 7th STREET MACKINAC ISLAND, MI			A2.1 ELEVATIONS COPYRIGHT © 2023



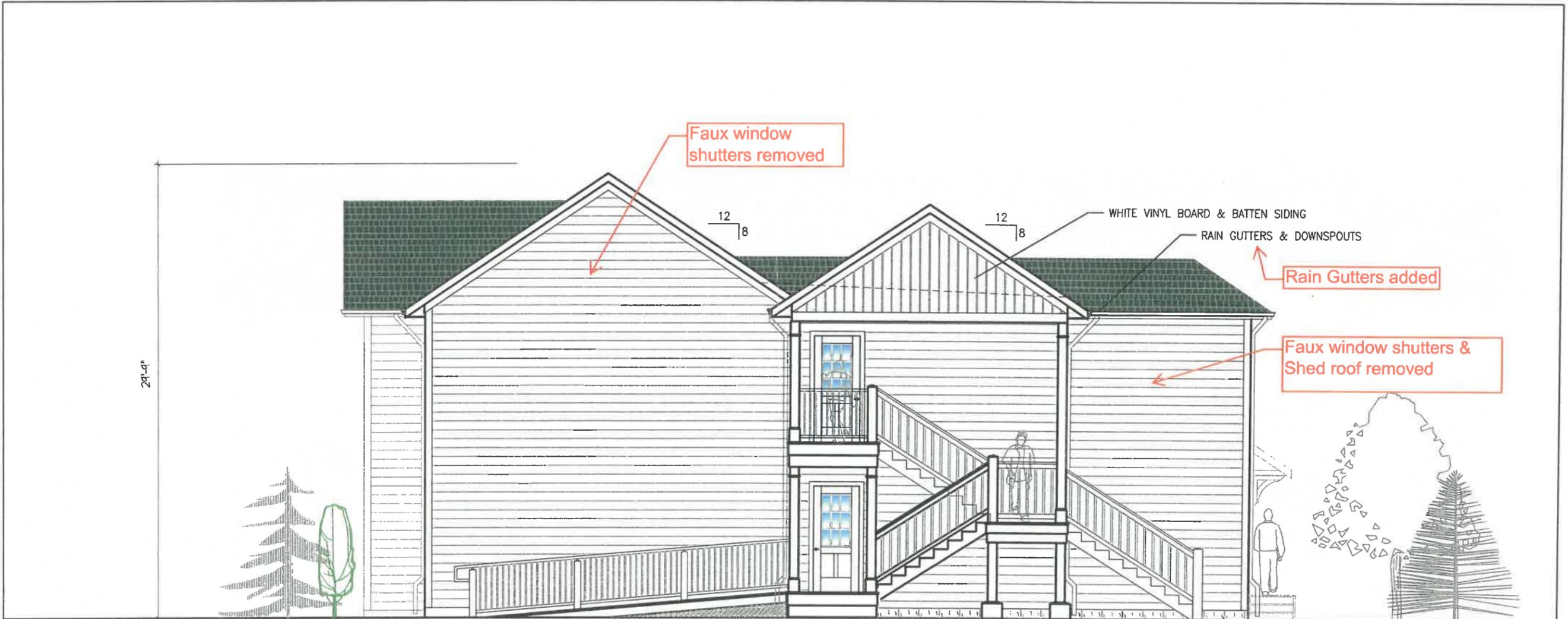
NORTH ELEVATION

0 4 8 16

1/4" = 1'-0"

- 18" CLOSED LOUVER VINYL SHUTTERS
- PTAC
- EXPOSED BLOCK PAINTED
- COMPOSITE TRIM & DECK
- VINYL LATTICE

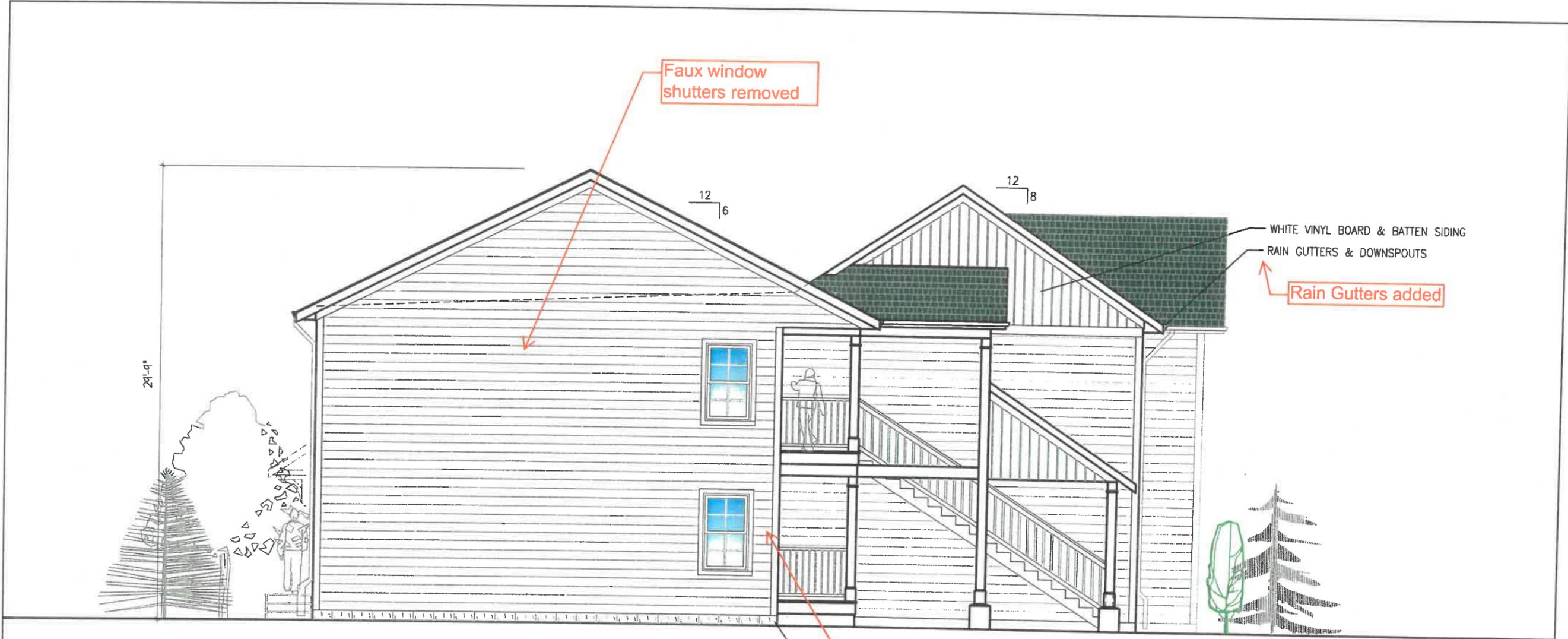
Richard Clements Architect, PLLC 15215 Merry Lane Oqueoc, MI 49759 richardlee1523@live.com 989-370-3681	SEVENTH STREET GOUGH LOT HOUSING	date: Mar. 24, 2023	date: Feb. 24, 2023 project: 2238	sheet: A2.2
	7596 7th STREET MACKINAC ISLAND, MI			ELEVATIONS



EAST ELEVATION
 0 4 8 16
 $\frac{1}{4}'' = 1'-0''$

Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardleel1523@live.com 989-370-3681	SEVENTH STREET GOUGH LOT HOUSING	date: Mar. 24, 2023	date: Feb. 24, 2023 project: 2238	sheet:
	7596 7th STREET MACKINAC ISLAND, MI			A2.3 COPYRIGHT © 2023

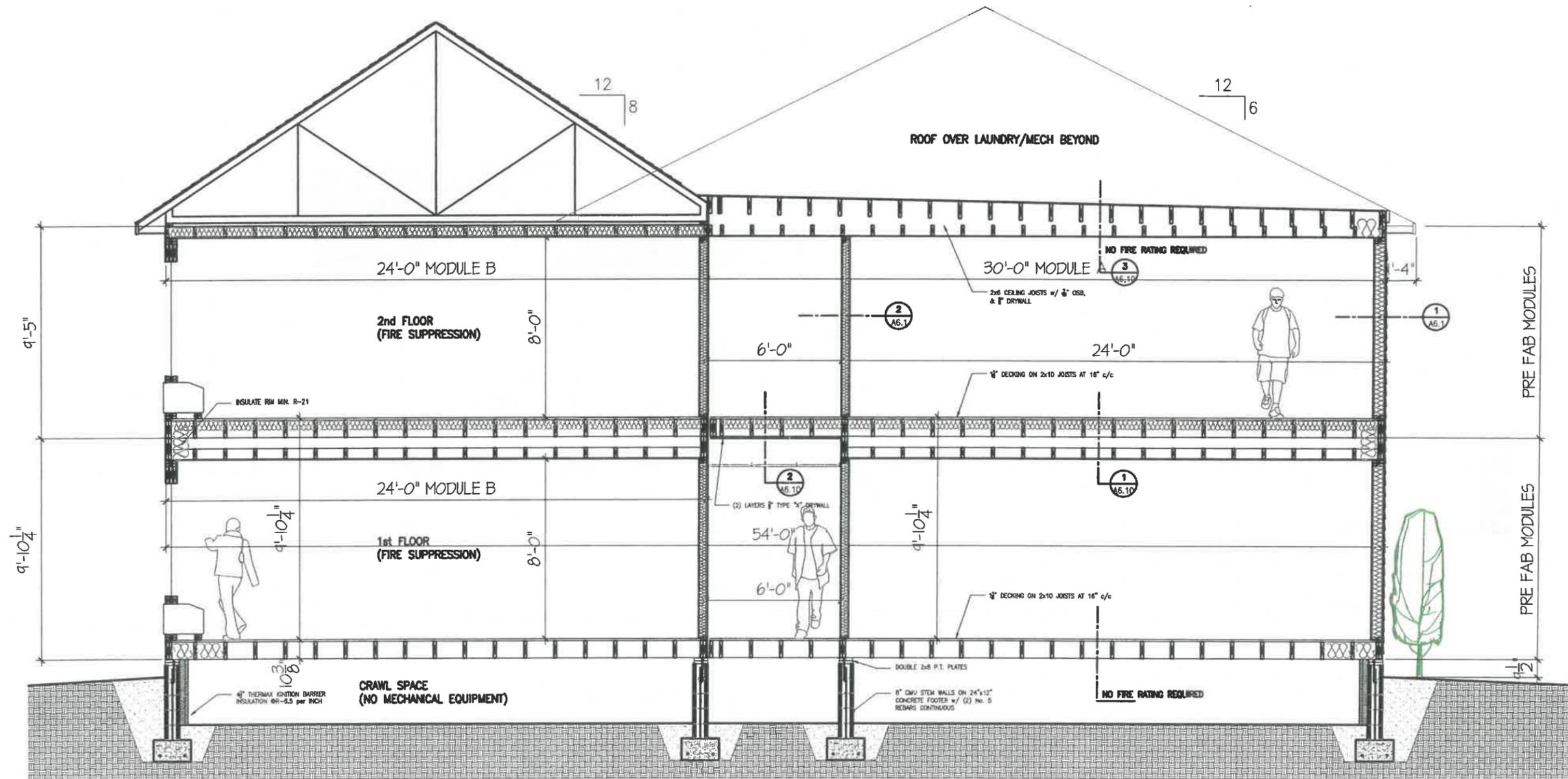
ELEVATIONS



WEST ELEVATION
 0 4 8 16
 $\frac{1}{4}'' = 1'-0''$

Windows added to 1st & 2nd floor hallways as is shown on plans
 EXPOSED BLOCK PAINTED

Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1523@live.com 989-370-3681	SEVENTH STREET GOUGH LOT HOUSING	date: Mar. 24, 2023	date: Feb. 24, 2023 project: 2238	sheet:
	7596 7th STREET MACKINAC ISLAND, MI		ELEVATIONS	A2.4 COPYRIGHT © 2023



Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1923@live.com 989-370-3681	SEVENTH STREET GOUGH LOT HOUSING	date: Feb. 24, 2023 project: 2238	sheet: A3.1
	7596 7th STREET MACKINAC ISLAND, MI	SECTION	COPYRIGHT © 2023



LOOKING EAST AT SHED FROM LOT ▲



LOOKING SOUTH AT LOT FROM OLD BARN ▲

LOOKING SOUTH AT LOT FROM OLD BARN ▼

File No. R423-051-005
Exhibit P
Date 5-17-23
Initials KR



Richard Clements Architect, PLLC
15215 Merry Lane
Oshtemo, MI 49759
richardlee1523@live.com 989-370-3681

SEVENTH STREET
GOUGH LOT HOUSING
7596 7th STREET
MACKINAC ISLAND, MI

date: May 16, 2023
date: Feb. 24, 2023
project: 2238

sheet:
A0.0

AREA PHOTOS
COPYRIGHT © 2023

7th ST. SITE:
 PARCEL # 051-630-051-00
 ASSESSOR'S PLAT OF HARRISONVILLE LOT 51
ZONING: R-4
 SITE AREA = 10,761 s.f. = 0.247 ACRES
 ALLOWABLE IMPERVIOUS LOT COVERAGE = 40%
 ACTUAL IMPERVIOUS LOT COVERAGE = 4,230 s.f. = 39.3%
 ALLOWABLE DENSITY = 10761 s.f./500 = 21 OCCUPANTS, ACTUAL = 20 OCCUPANTS

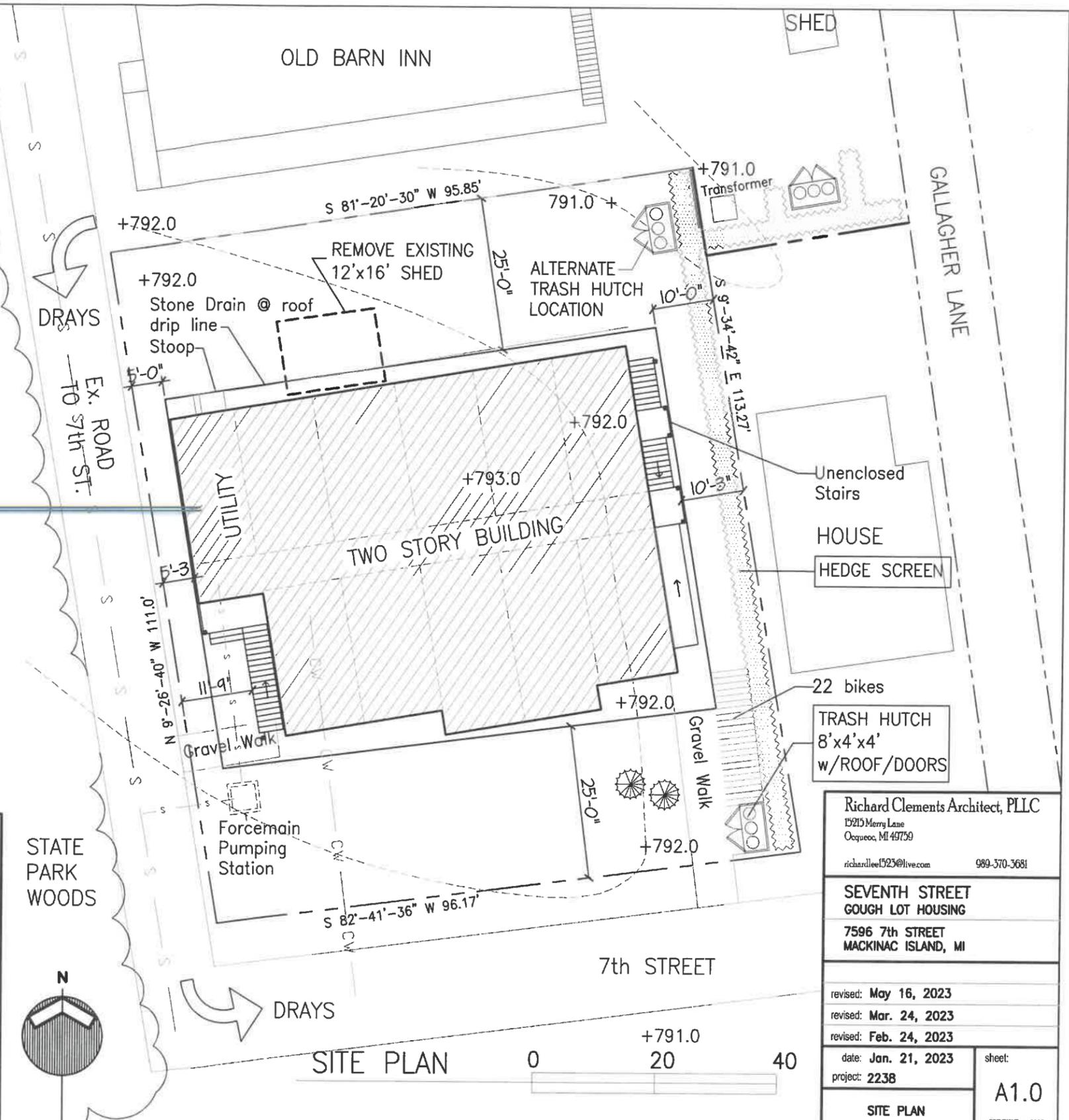
STORMWATER PLAN:
DESIGN CRITERIA:
 10 YEAR 24 HOUR RAINFALL = 3.3"
 (SOURCE: MDOT MS4 REPORT)
 = (0.28") = 0.011' /hour
 INFILTRATION RATE OF SOIL = 0.2"/hr.
 (SOURCE: USDA) = 0.016'/hour x24 hrs. *
 67% = 0.25' / storm event
 DESIGN STORM VOLUME = 4,230 s.f.
 IMPERVIOUS x 0.28" = 1184 cu. ft.
 ABSORPTION AREA OF 26'x96' FRONT & REAR YARDS ADJACENT TO BUILDING = 4,992 s.f.
 STORMWATER ABSORPTION = 4,992 s.f. x 0.25' = 1248 cu. ft.
 STORM VOLUME minus ABSORPTION = REQUIRED DETENTION;
 1248 cu. ft. > 1184 cu. ft.
 SITE IS ESSENTIALLY LEVEL. STORMWATER WILL BE ABSORBED IN THE LAWN AREAS AROUND THE STRUCTURE.

SITE NOTES:

- BICYCLE PARKING RACK IS PROVIDED AT A RATE OF 1 PER OCCUPANT + 2 VISITORS. (22 TOTAL)
- TRASH TO BE HELD WITHIN THE TRASH HUTCH ADJACENT TO THE STREET OR IN THE REAR CORNER OF THE SITE AND SET CURBSIDE ON COLLECTION DAYS
- LIGHTING -- NO AREA LIGHTING PROPOSED. COACH LIGHTING PROVIDED AT BUILDING ENTRANCES SHELDIED TO CONFINE LIGHT WITHIN THE SITE.
- SEE STORMWATER NOTES THIS SHEET

LEGEND:

- PROPERTY LINE
- - - - - SETBACK LINE
- S- SANITARY LINE
- CW- WATER LINE
- - - - - U.G. ELECTRIC



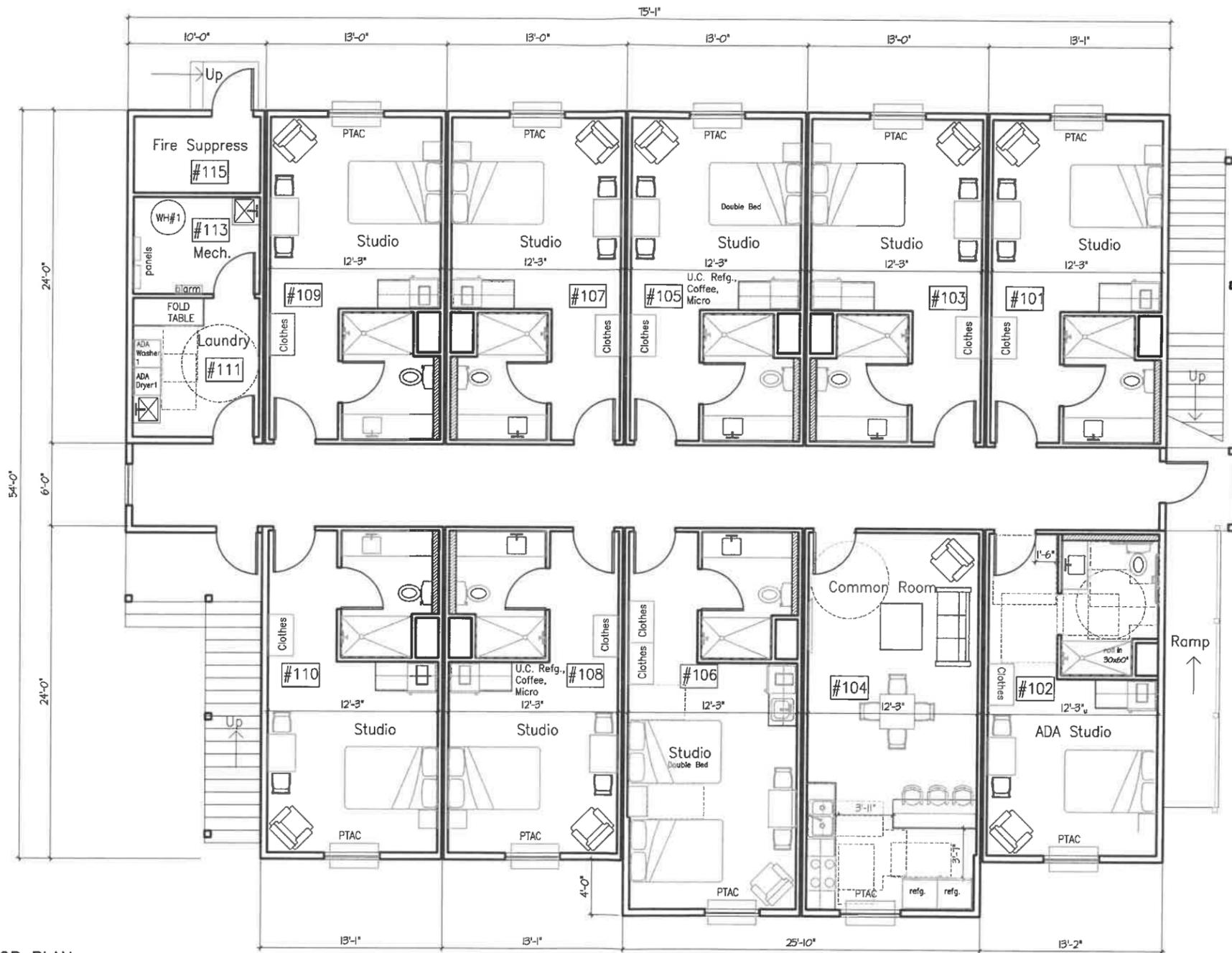
Richard Clements Architect, PLLC
 15215 Merry Lane
 Okemos, MI 48869
 richardlee1523@live.com 989-370-3681

**SEVENTH STREET
 GOUGH LOT HOUSING**
 7596 7th STREET
 MACKINAC ISLAND, MI

revised: May 16, 2023
 revised: Mar. 24, 2023
 revised: Feb. 24, 2023

date: Jan. 21, 2023 sheet:
 project: 2238

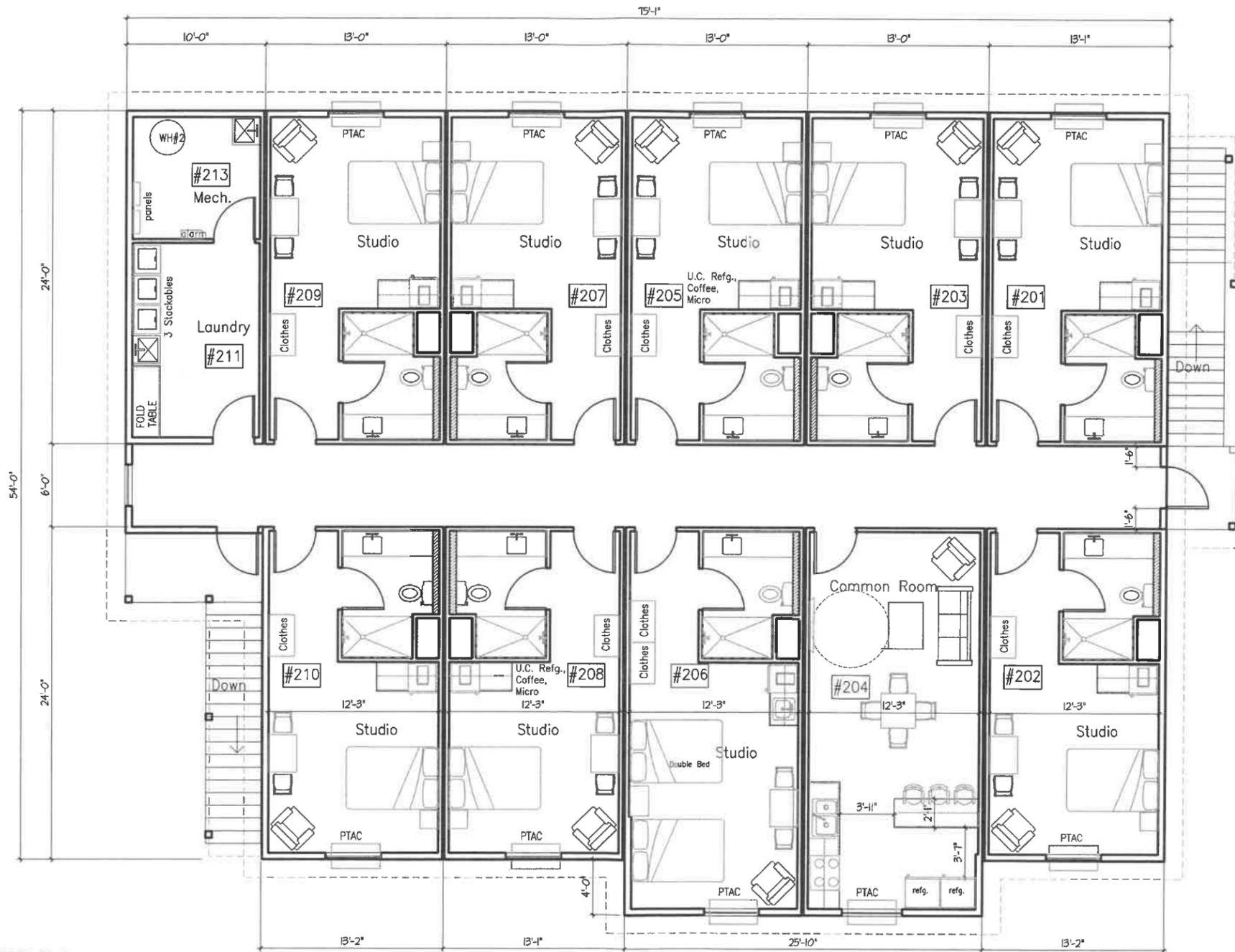
A1.0
 SITE PLAN
 COPYRIGHT © 2023



PROPOSED 1st FLOOR PLAN 3/8" = 1'-0"

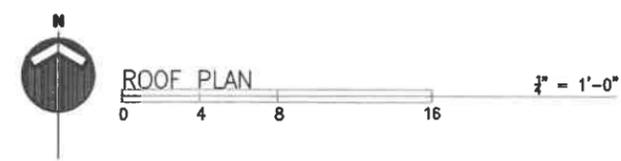
FIRST FLOOR w/ 1 ADA UNIT.
 REMAINDER OF 1st FLOOR UNITS ARE ALL TYPE B ACCESSIBLE.
 NO ACCESSIBILITY REQUIREMENTS FOR 2nd FLOOR UNITS.

Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1525@live.com 989-370-3681	SEVENTH STREET GOUGH LOT HOUSING	rev: May 15, 2023	date: Feb. 24, 2023 project: 2238	sheet:
	7596 7th STREET MACKINAC ISLAND, MI		1st FLOOR PLAN	A1.1 COPYRIGHT © 2023



PROPOSED 2nd FLOOR PLAN
 1/4" = 1'-0"
 0 4 8 16

<p>Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1523@live.com 989-370-3681</p>	<p>SEVENTH STREET GOUGH LOT HOUSING 7596 7th STREET MACKINAC ISLAND, MI</p>	<p>rev: May 15, 2023</p>	<p>date: Feb. 24, 2023 project: 2238 2nd FLOOR PLAN</p>	<p>sheet: A1.2 COPYRIGHT © 2023</p>
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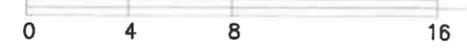
Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1523@live.com 989-370-3681	SEVENTH STREET GOUGH LOT HOUSING	date: Feb. 24, 2023 project: 2238	sheet:
	7596 7th STREET MACKINAC ISLAND, MI	rev: May 15, 2023	ROOF PLAN



Richard Clements Architect, PLLC 15215 Merry Lane Oscqueoc, MI 49759 richardleel523@live.com 989-370-3681	SEVENTH STREET GOUGH LOT HOUSING	date: Mar. 24, 2023 rev: May 15, 2023	date: Feb. 24, 2023 project: 2238	sheet:
	7596 7th STREET MACKINAC ISLAND, MI			A2.1 ELEVATIONS COPYRIGHT © 2023



NORTH ELEVATION



1/4" = 1'-0"

- GREEN ASPHALT SHINGLE ROOF
- WHITE ALUMINUM FASCIA & SOFFITS
- WHITE VINYL HORIZONTAL SIDING
- WHITE WOOD/CLAD WINDOWS W/ 60% GLASS TRANSMITTANCE
- 3/2" VINYL TRIM
- BROWN VINYL SHUTTERS
- RAIN GUTTERS & DOWNSPOUTS
- COACH LIGHT 12W LED SHEILD TO CONFINE LIGHT WITHIN THE SITE.
- 18" CLOSED LOUVER VINYL SHUTTERS
- PTAC
- EXPOSED BLOCK PAINTED
- COMPOSITE TRIM & DECK
- VINYL LATTICE

Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1523@live.com 989-370-3681	SEVENTH STREET GOUGH LOT HOUSING	date: Mar. 24, 2023 rev: May 15, 2023	date: Feb. 24, 2023 project: 2238	sheet:
	7596 7th STREET MACKINAC ISLAND, MI			ELEVATIONS



EAST ELEVATION
 $\frac{1}{4}'' = 1'-0''$
 0 4 8 16

Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1523@live.com 989-370-3681	SEVENTH STREET GOUGH LOT HOUSING	date: Mar. 24, 2023 rev: May 15, 2023	date: Feb. 24, 2023 project: 2238	sheet:
	7596 7th STREET MACKINAC ISLAND, MI		ELEVATIONS	A2.3 COPYRIGHT © 2023

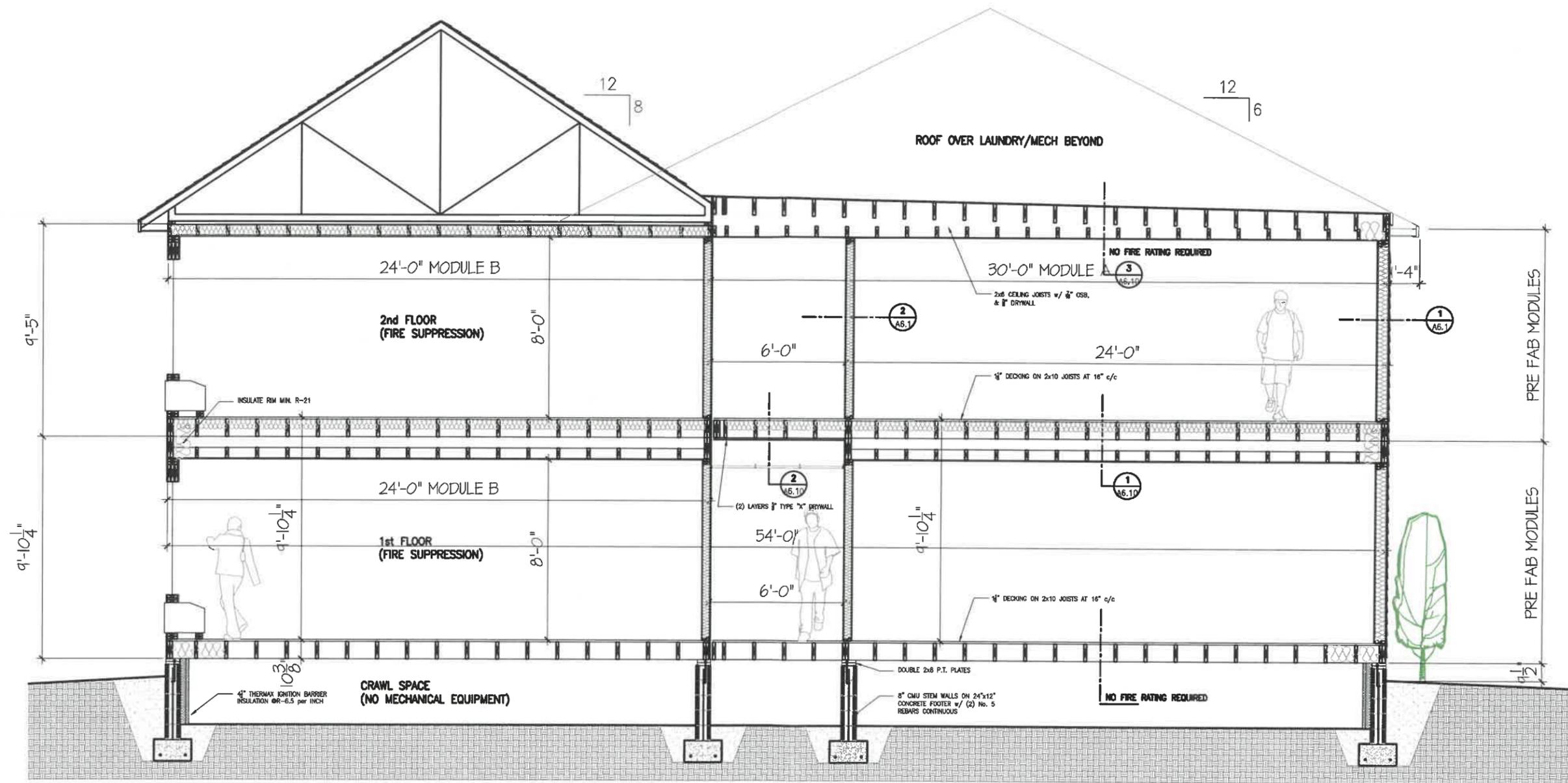


WHITE VINYL BOARD & BATTEN SIDING
RAIN GUTTERS & DOWNSPOUTS

WEST ELEVATION
0 4 8 16
 $\frac{1}{4}'' = 1'-0''$

EXPOSED BLOCK PAINTED

Richard Clements Architect, PLLC 15215 Merry Lane Oscqueoc, MI 49759 richardlee1523@live.com 989-370-3681	SEVENTH STREET GOUGH LOT HOUSING	date: Mar. 24, 2023 date: May 15, 2023	date: Feb. 24, 2023 project: 2238	sheet:
	7596 7th STREET MACKINAC ISLAND, MI			A2.4 ELEVATIONS COPYRIGHT © 2023



Richard Clements Architect, PLLC
 15215 Merry Lane
 Oshtemo, MI 49759
 richardlee1523@live.com 989-370-3681

SEVENTH STREET
 GOUGH LOT HOUSING
 7596 7th STREET
 MACKINAC ISLAND, MI

date: May 15, 2023

date: Feb. 24, 2023
 project: 2238

sheet:
 A3.1
 SECTION
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22 May 2023

Katie Pereny, Secretary
Planning Commission
City of Mackinac Island
Mackinac Island, MI 49757

File No. 2423-051-005
Exhibit Q
Date 5-22-23
Initials KP

Re: **SEVENTH STREET HOUSING**
Architectural Review Follow-up

Dear Ms. Pereny:

I have reviewed the revised design of the east side stair at the Seventh Street Employee Housing project proposed by the Harbour View Inn.

In order to eliminate the previously proposed east side yard setback encroachment, the stair design is proposed to be changed to a single-run design extending from the second floor to the north. The width of the middle landing would be narrowed and the stair run exiting to the south eliminated. A shed roof would be added over the lower run of the stair.

These proposed design refinements would meet the Standards for review.

Should you have any questions, please let me know.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

- c. Richard Clements, Richard Clements Architect
Dennis Dombroski, City of Mackinac Island
Erin Evashevski, Evashevski Law Firm, PLLC

The INN At
STONECLIFFE
MACKINAC ISLAND
• 1904 •



Dear Mackinac Island Planning Commission,

Stonecliffe Properties Tulecki Project Addendum

Addendum Description:

Relocation of two mini split condensers from the north side (back) of Tulecki to the south (roadside) of the building due to terrain issues with the original proposed location. Jim Musick and Dennis Dombrowski discussed changes at Tulecki during field visit.

Description of effect on adjoining lands:

There is no negative effect on the adjoining lands.

Description of Operations:

Tulecki was issued a Certificate of Occupancy on Nov 22, 2022. Arborvitae trees were planted in front of south side condensers in May 2023.

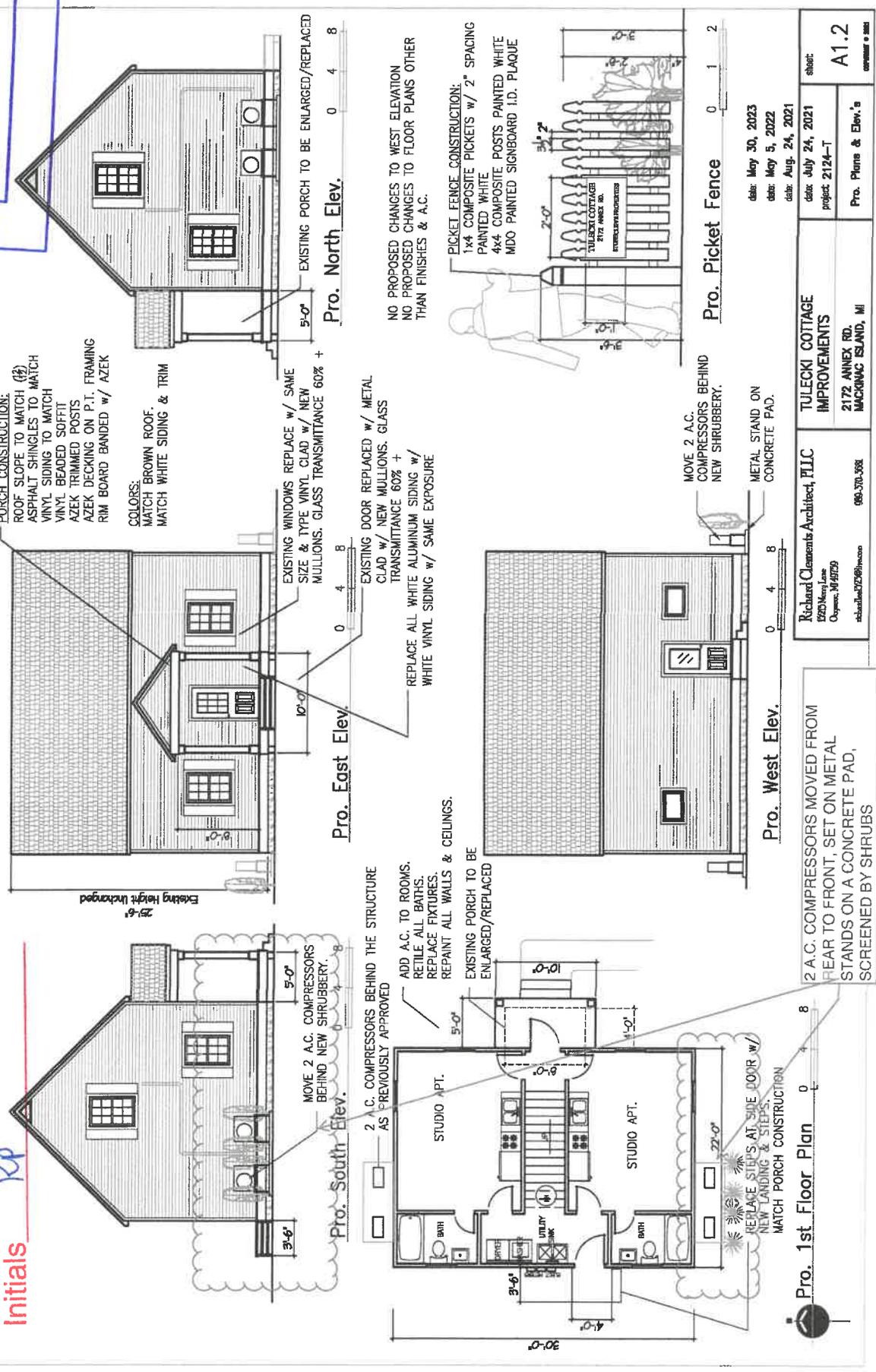
File No. R321.004.048
Exhibit Y
Date 5.30.23
Initials KP

Respectfully,

Kevin P. Doyle
Chief Operating Officer
Pulte Family Charitable Foundation
Stonecliffe Properties LLC

File No. R321.004.048
 Exhibit AA
 Date 5.30.23
 Initials KP

RECEIVED
 MAY 30 2023

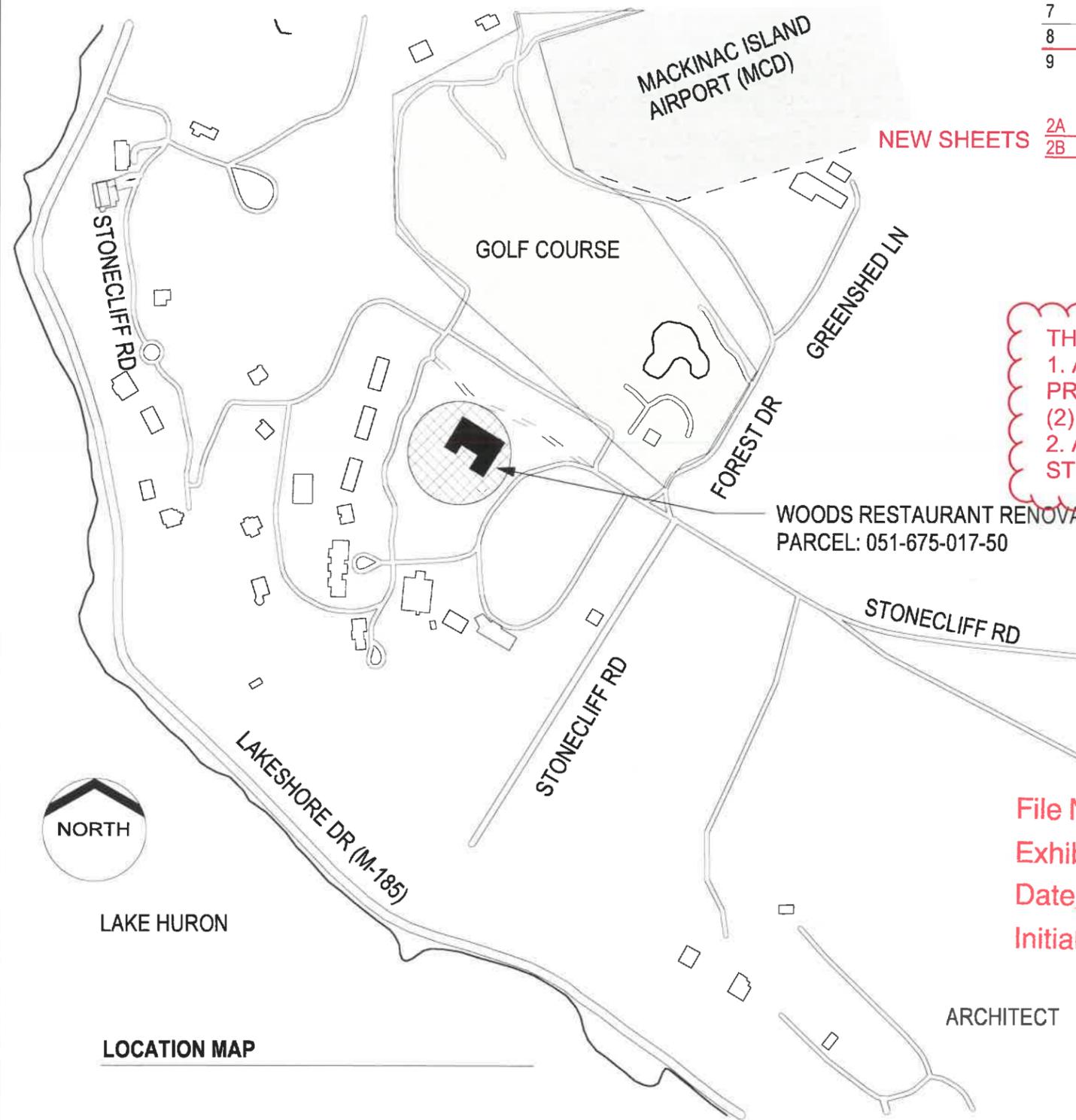


date: May 30, 2023	date: May 5, 2022	date: Aug. 24, 2021	date: July 24, 2021
date: May 30, 2023	date: May 5, 2022	date: Aug. 24, 2021	date: July 24, 2021
project: 2124-T	project: 2124-T	project: 2124-T	project: 2124-T
Pro. Plans & Elev.'s	Pro. Plans & Elev.'s	Pro. Plans & Elev.'s	Pro. Plans & Elev.'s
Richard Clements Architect, PLLC 1920 New Line Oconomowoc, WI 53099 richard@rcapl.com 980-378-3581	TULECKI COTTAGE IMPROVEMENTS 2172 ANNEX RD. MACKINAC ISLAND, MI	TULECKI COTTAGE IMPROVEMENTS 2172 ANNEX RD. MACKINAC ISLAND, MI	TULECKI COTTAGE IMPROVEMENTS 2172 ANNEX RD. MACKINAC ISLAND, MI

2 A.C. COMPRESSORS MOVED FROM REAR TO FRONT, SET ON METAL STANDS ON A CONCRETE PAD, SCREENED BY SHRUBS

Grand Hotel

WORLD'S LARGEST SUMMER HOTEL



LAKE HURON

LOCATION MAP

Sheet List

- PLANNING COMMISSION
- 1 COVER
 - 2 PROPERTY DESCRIPTION
 - 3 SITE & STREET SCAPE
 - 4 PHOTOGRAPHS - EXISTING
 - 5 SITE PLAN
 - 6 FLOOR PLAN - INTERIOR SCOPE
 - 7 FLOOR PLAN - EXTERIOR SCOPE
 - 8 EXTERIOR ELEVATIONS
 - 9 3D VIEWS

REISSUED

NEW SHEETS

- 2A PROPERTY DESCRIPTION
- 2B PROPERTY DESCRIPTION



THIS AMENDMENT IS FOR
 1. APPROVAL OF A PROPOSED LOCATION OF (2) TWO PROPANE TANKS.
 2. APPROVAL OF GOLF STORAGE SHED.

WOODS RESTAURANT RENOVATION
 PARCEL: 051-675-017-50

File No. HB22-017-032
 Exhibit R
 Date 6.6.23
 Initials KR

ARCHITECT
HopkinsBurns Design Studio
 113 S Fourth Ave.
 Ann Arbor, Michigan 48104
 (734)424-3344
 www.hopkinsburns.com

Grand Hotel WOODS RESTAURANT RENOVATION

AMENDMENT

MACKINAC ISLAND, MI



Section IX, Itemc.

OWNER: GRAND HOTEL
 CONTACTS: KEN PETERSON 906.847.3331
 DAVID JURCAK 303.710.8474
 PROPERTY ADDRESS: 8655 CUDAHY CIR. MACKINAC ISLAND, MI 49757
 PARCEL #: 051-675-017-50

Project Description

Replacement and minor expansion of existing exterior dining deck. New covered exterior dining canopy. Minor interior modifications throughout to include select new finishes and expanded ADA compliant restrooms.

ADDITION OF GOLF STORAGE SHED
 (8'X14' = 112 S.F.)

Zoning

CURRENT ZONING DISTRICT: HOTEL/BOARDING HOUSE, "HB"

Requirements

	REQ'D	EXISTING	PROPOSED
MIN. LOT SIZE:	7,500 SF	2,161,728 SF (49.63 ACRES)	
SETBACKS	ALLOWED	PROPOSED	
FRONT YARD	30' MIN	GREATER OR EQUAL TO 30'	
SIDE YARD	10' MIN	GREATER OR EQUAL TO 10'	
REAR YARD	30' MIN	GREATER OR EQUAL TO 30'	
HEIGHT	ALLOWED	EXISTING	PROPOSED
FEET (MIN)(MAX)	(12')(40')	(8')(27')	(8')(27')
LOT COVERAGE	ALLOWED	EXISTING	PROPOSED
SQ. FT. (COMBINED)	864,691 SF (40%)	10,729 SF (0.5%)	12,589 SF (0.6%) + GOLF STORAGE SHED (112 S.F.) = 12,651 SF
DENSITY	N/A		
BUFFER AT ADJACENT SINGLE FAMILY RESIDENTIAL USE:		N/A	
BIKE PARKING:		EXISTING SPACES PROVIDED	

WOODS RESTAURANT
 RENOVATION
 PLANNING COMMISSION

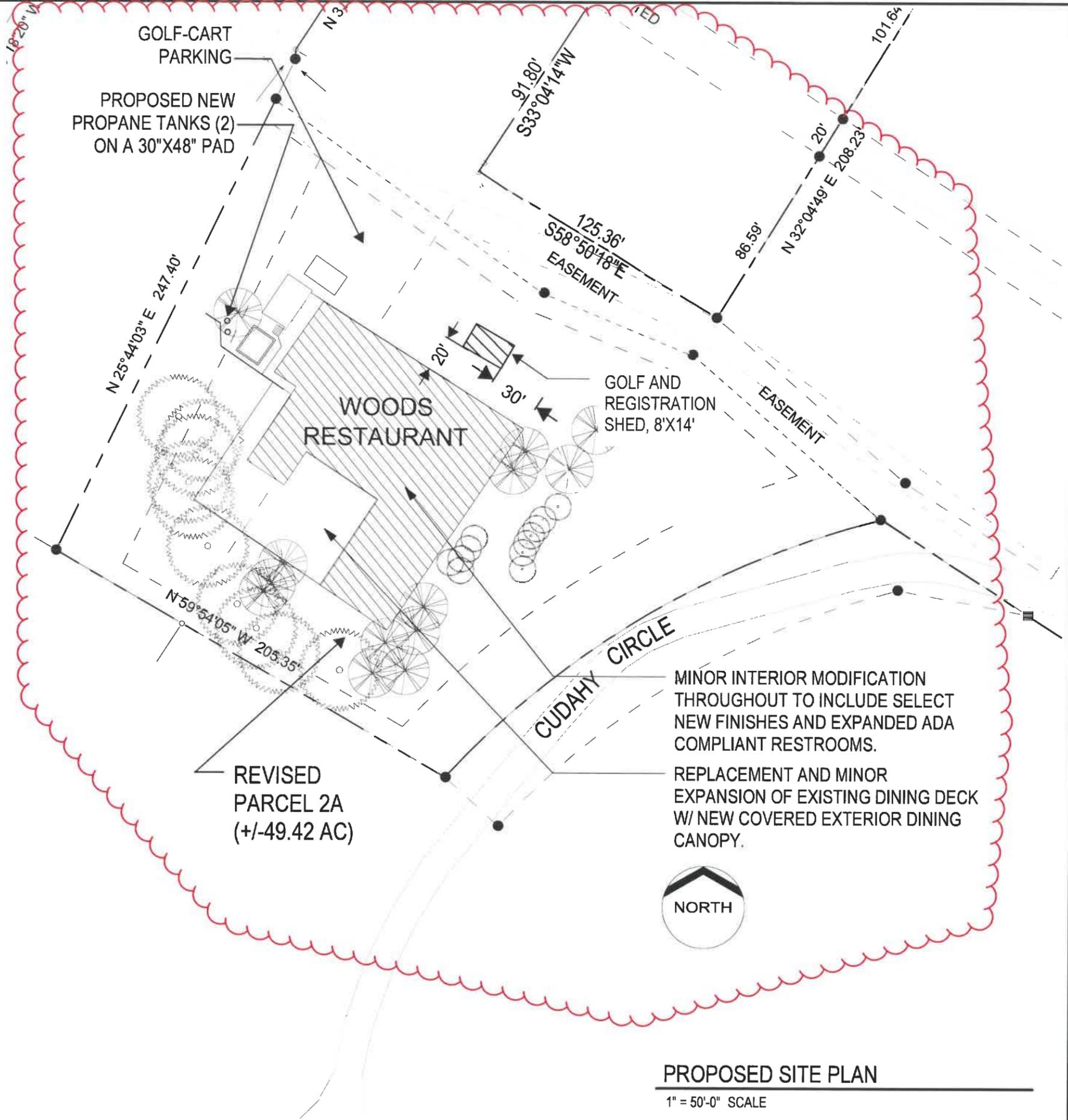


Grand Hotel
 WORLD'S LARGEST SUMMER HOTEL
 SCALE: As Noted
 5/26/2023

Revised Legal Description: refer to sheets 2A and 2B



PROPOSED NEW GOLF STORAGE SHED, 8' WIDE X 14' LONG. PAINTED TO MATCH WOODS RESTAURANT



PROPOSED SITE PLAN
1" = 50'-0" SCALE

 historic preservation & communities by design	WOODS RESTAURANT RENOVATION PLANNING COMMISSION	 WORLD'S LARGEST SUMMER HOTEL 5/26/2023	Section IX, Itemc. 2 PROPERTY DESCRIPTION
	SCALE: 1" = 50'-0"		

Legal Description

REVISED PARCELS

(Combining Parcels 28B and a portion of Parcel 28A with Parcel 2A)

PARCEL 2A: REVISED

Part of Private Claims 2 and 3, Mackinac Island, Mackinac County, Michigan, being more particularly described as follows:

Commencing at a stone marker at the Southwesterly corner of Private Claim 2, Mackinac Island, Mackinac County, Michigan; thence along the Westerly line of said Private Claim 2 North 33 degrees 16 minutes 45 seconds East 1999.30 feet to a stone marker at the Northwesterly corner of said Private Claim 2 and the POINT OF BEGINNING; thence along the Northerly line of said Private Claim 2 South 44 degrees 05 minutes 35 seconds East 1862.71 feet to a stone marker at the Northeasterly corner of said Private Claim 2; thence along the Easterly line of said Private Claim 2 South 33 degrees 04 minutes 16 seconds West 1561.38 feet; thence along the Northerly boundary of the airport property South 75 degrees 26 minutes 16 seconds West 650.59 feet; thence South 14 degrees 33 minutes 43 seconds East 400.00 feet; thence South 29 degrees 17 minutes 00 seconds East 161.29 feet to the Easterly line of said Private Claim 2 and to the most Westerly corner of Lot 1 of STONECLIFFE MANOR V CONDOMINIUM as recorded in Liber 326, page 289, Mackinac County Records; thence along the exterior boundary of said STONECLIFFE MANOR V in the following courses: South 53 degrees 22 minutes 46 seconds East 282.18 feet; South 22 degrees 39 minutes 44 seconds East 392.17 feet; and South 33 degrees 20 minutes 00 seconds West 160.56 feet; thence North 57 degrees 34 minutes 25 seconds West 81.03 feet; thence North 57 minutes 34 minutes 25 seconds West 125.00 feet; thence South 33 degrees 20 minutes 00 seconds West 225.00 feet to the Northerly boundary of a 20 foot wide platted roadway as monumented in WOODBLUFF SUBDIVISION as recorded in Liber 04, page 70, Mackinac County Records; thence Westerly along the monumented roadway of said WOODBLUFF SUBDIVISION North 57 degrees 34 minutes 25 seconds West 57.73 feet to a found concrete marker; thence crossing to the Southerly boundary of said Woodbluff roadway as monumented South 76 degrees 49 minutes 55 seconds West 28.16 feet to a found concrete marker; thence North 57 degrees 34 minutes 28 seconds West 80.45 feet; thence 233.07 feet along the arc of a non-tangential curve to the left, radius 400.00 feet, delta 33 degrees 23 minutes 04 seconds, chord South 59 degrees 13 minutes 51 seconds West 229.78 feet; thence North 59°54'05" West 205.46 feet; thence North 25°44'03" East 247.02 feet; thence North 03°13'12" East 4.59 feet; thence North 33°04'16" East 111.63 feet; thence South 56°36'50" East 100.01 feet along the Southerly line of Woodbluff roadway; thence South 33°04'14" West 91.80 feet; thence South 58°50'18" East 127.36 feet; thence North 32 degrees 04 minutes 49 seconds East 86.59 feet to the Southerly boundary of said Woodbluff roadway as monumented; thence North 32 degrees 04 minutes 49 seconds East 20.00 feet to the Northerly boundary of said Woodbluff roadway as monumented; thence North 32 degrees 04 minutes 49 seconds East 101.64 feet; thence North 57 degrees 34 minutes 26 seconds West 193.00 feet; thence North 45 degrees 12 minutes 51 seconds West 165.30 feet to the Easterly boundary of said Woodbluff roadway as monumented; thence North 45 degrees 12 minutes 51 seconds West 23.36 feet to the Westerly boundary of said Woodbluff roadway as monumented; thence North 45 degrees 12 minutes 51 seconds West 321.94 feet; thence North 7 degrees 09 minutes 59 seconds East 320.31 feet to the Southwesterly corner of Lot 38 of said WOODBLUFF SUBDIVISION; thence North 66 degrees 14 minutes 52 seconds East 393.01 feet to a found concrete marker on the Westerly boundary of said Woodbluff roadway as monumented; thence North 83 degrees 58 minutes 01 second East 20.39 feet to a found concrete marker on the Easterly boundary of said Woodbluff roadway as monumented; thence along the Easterly boundary of said Woodbluff roadway as monumented North 8 degrees 31 minutes 09 seconds West 208.82 feet to a found nail in a tree root; thence along the Easterly boundary of said Woodbluff roadway as monumented North 14 degrees 11 minutes 04 seconds East 44.16 feet to a found concrete marker at the Southwesterly corner of STONECLIFFE MANOR CONDOMINIUM as recorded in Liber 295, page 01, Mackinac County Records; thence along the exterior boundary of said STONECLIFFE MANOR CONDOMINIUM in the following courses: South 89 degrees 41 minutes 44 seconds East 728.42 feet; North 0 degrees 18 minutes 16 seconds East 410.94 feet; 124.64 feet along the arc of a non-tangential curve to the left, radius 273.09 feet,

delta 25 degrees 09 minutes 00 seconds, chord North 86 degrees 13 minutes 30 seconds West 123.57 feet; 204.28 feet along the arc of a tangential curve to the right, radius 609.42 feet, delta 19 degrees 12 minutes 22 seconds, chord North 89 degrees 41 minutes 44 seconds West 203.32 feet; 257.88 feet along the arc of a tangential curve to the left, radius 769.30 feet, delta 19 degrees 12 minutes 22 seconds, chord North 89 degrees 41 minutes 44 seconds West 256.68 feet; and 105.70 feet along the arc of a tangential curve to the right, radius 600.00 feet, delta 10 degrees 05 minutes 36 seconds, chord South 85 degrees 44 minutes 46 seconds West 105.56 feet; thence along the Easterly roadway of said WOODBLUFF SUBDIVISION North 19 degrees 40 minutes 43 seconds West 184.12 feet; thence North 3 degrees 04 minutes 15 seconds West 21.12 feet to the Southwesterly corner of Lot 23 of STONECLIFFE MANOR IV CONDOMINIUM as recorded in Liber 324, page 154, Mackinac County Records; thence along the exterior boundary of said STONECLIFFE MANOR IV, excluding lot 24 and the Southerly roadway, in the following courses: North 68 degrees 13 minutes 15 seconds East 68.72 feet; North 76 degrees 53 minutes 55 seconds East 29.18 feet; North 0 degrees 51 minutes 31 seconds West 557.74 feet; North 11 degrees 37 minutes 00 seconds East 198.48 feet; North 21 degrees 14 minutes 50 seconds West 354.06 feet; North 30 degrees 13 minutes 20 seconds West 105.75 feet; North 33 degrees 00 minutes 00 seconds East 280.00 feet; North 12 degrees 35 minutes 07 seconds East 156.34 feet; and North 70 degrees 41 minutes 48 seconds West 80.00 feet to the Northwesterly corner of Lot 1 of said STONECLIFFE MANOR IV and the West line of said Private Claim 2; thence along the West line of said Private Claim 2 North 33 degrees 16 minutes 45 seconds East 394.10 feet to a stone marker at the Northwesterly corner of Private Claim 2 and the POINT OF BEGINNING.

EXCEPTING therefrom the platted roadways of said WOODBLUFF SUBDIVISION, and as amended by AMENDED PLAT OF PART OF WOODBLUFF, according to the plat thereof as recorded in Liber 4 of Plats, pages 95, 96 and 97, Mackinac County Records, AND

ALSO EXCEPTING therefrom STONECLIFFE MANOR II and STONECLIFFE MANOR III, being more particularly described as follows: Commencing at a stone marker at the Southwesterly corner of Private Claim 2, Mackinac Island, Mackinac County, Michigan; thence along the Westerly line of said Private Claim 2 North 33 degrees 16 minutes 45 seconds East 1999.30 feet to a stone marker at the Northwesterly corner of said Private Claim 2; thence South 9 degrees 37 minutes 19 seconds East 303.62 feet to the most Northerly corner of Lot 12 of STONECLIFFE MANOR III CONDOMINIUM as recorded in Liber 312, page 459, Mackinac County Records; thence South 32 degrees 25 minutes 19 seconds East 197.25 feet to the most Northerly corner of Lot 11 of said STONECLIFFE MANOR III and the POINT OF BEGINNING; thence along the Northerly boundary of said STONECLIFFE MANOR III South 32 degrees 25 minutes 19 seconds East 135.80 feet; thence South 48 degrees 43 minutes 36 seconds East 572.94 feet to the Northwesterly corner of Lot 18 of STONECLIFFE MANOR II CONDOMINIUM as recorded in Liber 312, page 408, Mackinac County Records; thence along the Northerly boundary of said STONECLIFFE MANOR II South 48 degrees 43 minutes 36 seconds East 505.58 feet; thence South 54 degrees 19 minutes 47 seconds East 83.80 feet; thence South 36 degrees 15 minutes 13 seconds West 108.00 feet; thence South 65 degrees 02 minutes 19 seconds West 95.39 feet; thence South 21 degrees 56 minutes 47 minutes East 10.01 feet; thence South 25 degrees 35 minutes 13 seconds West 521.29 feet; thence South 46 degrees 55 minutes 18 seconds West 79.04 feet; thence North 64 degrees 25 minutes 23 seconds West 126.82 feet to the Southwesterly corner of Lot 47 of said STONECLIFFE MANOR II; thence North 20 degrees 53 minutes 45 seconds East 523.52 feet; thence North 54 degrees 05 minutes 41 seconds West 130.55 feet; thence North 60 degrees 44 minutes 47 seconds West 169.13 feet to the East line of a 20 foot wide roadway of said STONECLIFFE MANOR II; thence South 22 degrees 09 minutes 13 seconds West 10.08 feet; thence South 60 degrees 44 minutes 47 seconds East 168.29 feet; thence South 26 degrees 56 minutes 23 seconds West 440.26 feet; thence South 62 degrees 22 minutes 45 seconds West 155.92 feet; thence South 76 degrees 24 minutes 31 seconds West 68.49 feet; thence North 14 degrees 32 minutes 36 seconds West 262.89 feet; thence North 21 degrees 31 minutes 26 seconds East 340.44 feet to the Northwesterly corner of Lot 21 of said STONECLIFFE MANOR II; thence South 66 degrees 24 minutes 00 seconds East 166.43 feet to the West line of a 20 foot wide roadway of said STONECLIFFE MANOR II; thence North 21 degrees 54 minutes 00 seconds East 10.00 feet; thence North 66 degrees 24 minutes 00 seconds West 166.50 feet; thence North 21 degrees 28 minutes 41 seconds East 75.10 feet to the most Southerly corner of Lot 32 of said STONECLIFFE MANOR III; thence North 54

Legal Description (continued)

4 degrees 56 minutes 35 seconds West 45.38 feet; thence South 36 degrees 09 minutes 24 seconds West 229.73 feet; thence North 26 degrees 12 minutes 47 seconds West 106.24 feet; thence North 89 degrees 58 minutes 22 seconds West 90.00 feet; thence North 7 degrees 19 minutes 53 seconds East 39.46 feet; thence North 0 degrees 01 minute 38 seconds East 240.86 feet; thence North 21 degrees 38 minutes 53 seconds West 80.82 feet; thence North 32 degrees 31 minutes 13 seconds West 142.58 feet; thence North 14 degrees 51 minutes 08 seconds East 344.63 feet to the Northwesterly corner of Lot 13 of said STONECLIFFE MANOR III; thence South 75 degrees 08 minutes 52 seconds East 100.00 feet; thence North 57 degrees 15 minutes 13 seconds East 66.59 feet to the most Northerly corner of Lot 11 of said STONECLIFFE MANOR III and the Point of Beginning, AND

ALSO EXCEPTING therefrom roadway exception "A", being part of Private Claim 2, Mackinac County, Michigan, being more particularly described as follows: Commencing at a stone marker at the Southwesterly corner of Private Claim 2, Mackinac Island, Mackinac County, Michigan; thence along the Westerly line of said Private Claim 2 North 33 degrees 16 minutes 45 seconds East 1999.30 feet to a stone marker at the Northwesterly corner of said Private Claim 2; thence South 7 degrees 52 minutes 35 seconds West 1967.46 feet to the Southwesterly corner of Lot 23 of STONECLIFFE MANOR IV CONDOMINIUM as recorded in Liber 324, page 154, Mackinac County Records and the POINT OF BEGINNING; thence along the Southerly boundary of said lot 23 North 68 degrees 13 minutes 15 seconds East 68.72 feet; thence North 76 degrees 53 minutes 55 seconds East 29.18 feet; thence North 76 degrees 53 minutes 55 seconds East 243.36 feet; thence North 64 degrees 05 minutes 36 seconds East 172.09 feet to the most Southerly corner of Lot 26 of STONECLIFFE MANOR II Condominium as recorded in Liber 312, page 408, Mackinac County Records; thence along the Westerly boundary of said STONECLIFFE MANOR II South 14 degrees 32 minutes 36 seconds East 20.40 feet; thence South 64 degrees 05 minutes 36 seconds West 170.32 feet; thence South 76 degrees 53 minutes 55 seconds West 273.24 feet; thence South 68 degrees 13 minutes 15 seconds West 74.00 feet to the Easterly boundary of WOODBLUFF SUBDIVISION as recorded in Liber 04, page 70, Mackinac County Records; thence North 3 degrees 04 minutes 15 seconds West 21.12 feet to the Point of Beginning, AND

ALSO EXCEPTING therefrom roadway exception "B", being part of Private Claim 2, Mackinac County, Michigan, being more particularly described as follows: Commencing at a stone marker at the Southwesterly corner of Private Claim 2, Mackinac Island, Mackinac County, Michigan; thence along the Westerly line of said Private Claim 2 North 33 degrees 16 minutes 45 seconds East 1999.30 feet to a stone marker at the Northwesterly corner of said Private Claim 2; thence South 12 degrees 39 minutes 37 seconds East 2199.58 feet to the Northeasterly corner of STONECLIFFE MANOR CONDOMINIUM as recorded in Liber 295, page 01, Mackinac County Records and the POINT OF BEGINNING; thence North 55 degrees 43 minutes 50 seconds East 87.60 feet; thence North 45 degrees 09 minutes 00 seconds East 147.97 feet; thence South 64 degrees 25 minutes 33 seconds East 21.22 feet; thence South 45 degrees 09 minutes 00 seconds West 175.00 feet; thence South 59 degrees 52 minutes 56 seconds East 83.79 feet to the Northeasterly corner of Lot 40 of said STONECLIFFE MANOR CONDOMINIUM; thence North 0 degrees 18 minutes 16 seconds East 20.94 feet to the Point of Beginning, AND

ALSO EXCEPTING therefrom roadway exception "E", being part of Private Claims 2 and 3, Mackinac County, Michigan, being more particularly described as follows: Commencing at a stone marker at the Southwesterly corner of Private Claim 2, Mackinac Island, Mackinac County, Michigan; thence along the Westerly line of said Private Claim 2 North 33 degrees 16 minutes 45 seconds East 1999.30 feet to a stone marker at the Northwesterly corner of said Private Claim 2; thence South 0 degrees 53 minutes 22 seconds West 4049.05 feet to a found concrete marker at the Northerly boundary of a 20 foot wide platted roadway as monumented in Woodbluff Subdivision as recorded in Liber 04, page 70, Mackinac County Records and the POINT OF BEGINNING; thence crossing to the Southerly boundary of said Woodbluff roadway as monumented South 76 degrees 49 minutes 55 seconds West 28.16 feet to a found concrete marker; thence North 57 degrees 34 minutes 28 seconds West 80.45 feet; thence North 49 degrees 10 minutes 03 seconds West 113.56 feet; thence North 67 degrees 28 minutes 13 seconds West 75.93 feet; thence North 54 degrees

23 minutes 34 seconds West 148.42 feet; thence North 25 degrees 44 minutes 03 seconds East 20.24 feet; thence South 58 degrees 50 minutes 18 seconds East 225.14 feet; thence South 49 degrees 10 minutes 03 seconds East 114.29 feet; thence South 57 degrees 33 minutes 18 seconds East 99.69 feet to the Point of Beginning, AND ALSO EXCEPTING therefrom roadway exception "H", being part of Private Claim 2, Mackinac County, Michigan, being more particularly described as follows: Commencing at a stone marker at the Southwesterly corner of Private Claim 2, Mackinac Island, Mackinac County, Michigan; thence along the Westerly line of said Private Claim 2 North 33 degrees 16 minutes 45 seconds East 1999.30 feet to a stone marker at the Northwesterly corner of said Private Claim 2; thence South 5 degrees 04 minutes 01 second West 2815.63 feet to the Southeasterly corner of Lot 36 of WOODBLUFF SUBDIVISION as recorded in Liber 04, page 70, Mackinac County Records and the POINT OF BEGINNING; thence North 83 degrees 58 minutes 01 second East 20.39 feet to a found concrete marker on the Easterly boundary of said Woodbluff roadway as monumented; thence South 13 degrees 19 minutes 09 seconds West 71.15 feet; thence 45.14 feet along the arc of a non-tangential curve to the left, radius 126.94 feet, delta 20 degrees 22 minutes 30 seconds, chord South 3 degrees 12 minutes 33 seconds West 44.90 feet; thence 241.78 feet along the arc of a tangential curve to the left, radius 459.84 feet, delta 30 degrees 07 minutes 34 seconds, chord South 22 degrees 02 minutes 29 seconds East 239.01 feet; thence 94.39 feet along the arc of a tangential curve to the left, radius 195.23 feet, delta 27 degrees 42 minutes 03 seconds, chord South 50 degrees 57 minutes 17 seconds East 93.47 feet; thence South 29 degrees 17 minutes 00 seconds South 38.57 feet; thence 135.97 feet along the arc of a non-tangential curve to the right, radius 242.54 feet, delta 32 degrees 07 minutes 18 seconds, chord North 53 degrees 09 minutes 55 seconds West 134.20 feet; thence 252.30 feet along the arc of a tangential curve to the right, radius 479.84 feet, delta 30 degrees 07 minutes 34 seconds, chord North 22 degrees 02 minutes 29 seconds West 249.40 feet; thence 52.25 feet along the arc of a tangential curve to the right, radius 146.94 feet, delta 20 degrees 22 minutes 30 seconds, chord North 3 degrees 12 minutes 33 seconds East 51.98 feet; thence North 13 degrees 59 minutes 51 seconds East 64.37 feet to the Point of Beginning.

EASEMENT PARCEL 1:

Together with non-exclusive easements as created, limited and defined in that certain instrument recorded in Liber 354, page 255, Mackinac County Records.

EASEMENT PARCEL 2:

Together with non-exclusive easements as created, limited and defined in that certain instrument recorded in Liber 354, page 255, Mackinac County Records.

2B
PROPERTY
DESCRIPTIO

Grand Hotel
WORLD'S LARGEST SUMMER HOTEL

5/26/2023

SCALE: N/A

**WOODS RESTAURANT
RENOVATION**

PLANNING COMMISSION

HopkinsBurns
DESIGN STUDIO
historic preservation &
communities by design



CORNER COTTAGE RENOVATION PLANNING COMMISSION AND HISTORIC DISTRICT COMMISSION SUBMITTAL



AMENDMENT

Sheet List

- GENERAL
- 0 COVER
- 1 SURVEY
- 2 SITE PLAN
- 2A SITE PLAN
- 3 EXISTING
- 4 EXISTING
- 5 NEW WORK
- 6 NEW WORK
- 7 ELEVATIONS
- 8 ELEVATIONS
- 9 ELEVATIONS
- 10 ELEVATIONS
- 11 ELEVATIONS
- 12 CONTEXT
- 13 CONTEXT
- 14 CONTEXT

REISSUED

PC/HDC

ADDED
LANGUAGE
UNDERLINED

OWNER: GMHI CORNER HOLDINGS LLC
CONTACT: MICHAEL MCHALE
404.295.3568
PROPERTY ADDRESS: 7714 MAIN ST.
MACKINAC ISLAND, MI 49757
PARCEL #: 051-575-067-00



Project Description

This project involves minor modifications to contributing buildings to the West End Historic District. Use of the Cottage to be changed from Single Family Residential to Hotel for short-term guest use as a single unit with 5 bedrooms. The cottage will be rented to one entity as a suite with five bedrooms. Bedrooms will not be rented as separate hotel rooms. Interior to be renovated, including barrier free access to the first floor and integration of a fire suppression system. Exterior ADA-compliant walk and other building-access walks to be added to the site. Apartment and Hotel Support uses to be separated in Kennel Building including adding a new access door to the first floor and adding fire suppression.

Zoning

ZONING DISTRICT: MD-MARKET

Requirements

MIN. LOT SIZE:	REQ'D 5,000 SF	EXISTING 39,578 SF	
SETBACKS	ALLOWED	EXISTING	PROPOSED
CORNER COTTAGE:			
FRONT YARD	10'	61'-7"	NO CHANGE
SIDE YARD	10'	55'-8"	NO CHANGE
REAR YARD	15'	55'-1"	NO CHANGE

KENNEL BUILDING:	ALLOWED	EXISTING	PROPOSED
FRONT YARD	10'	160'-3"	NO CHANGE
SIDE YARD	10'	36'-4"	NO CHANGE
REAR YARD	15'	3'-9"	NO CHANGE*

*NON-CONFORMING CONDITION IS NOT INCREASED

HEIGHT	ALLOWED	EXISTING	PROPOSED
STORIES MIN.	N/A	2	NO CHANGE
STORIES MAX.	2.5	2	NO CHANGE
FEET MIN.	12'	29'	NO CHANGE
FEET MAX.	30'	29'	NO CHANGE

LOT COVERAGE	ALLOWED	EXISTING	PROPOSED
SQ. FT.	13,852 SF (35%)	4,971 SF (13%)	5,978 SF (16%)
CHANGE TO CURRENT IMPERMEABLE SURFACE PERCENTAGE: +3% (1,007 SF)			

ROOMS QUANTITY	ALLOWED	EXISTING	PROPOSED
	11	N/A	5
NUMBER OF ALLOWABLE ROOMS = 4,917 GROSS BUILDING SF/450 SF			
NOTE: "ROOMS" DEFINED HERE ARE BEDROOMS IN THE COTTAGE			

OFF-STREET BIKE PARKING	REQUIRED	EXISTING	PROPOSED
	1 / BEDROOM	N/A	5

Legal Description

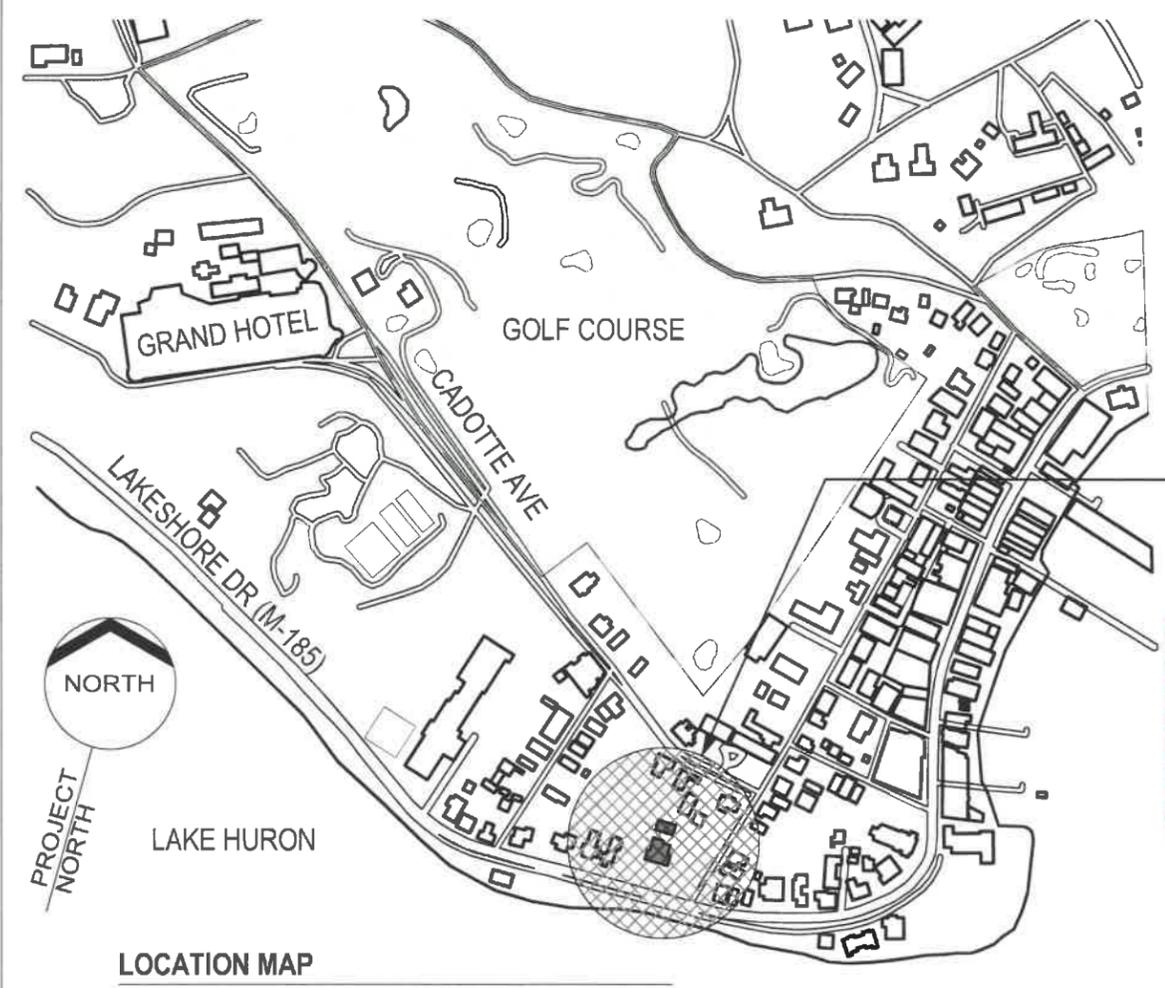
(Per Near North Title Group, Commitment No. MI2204666, with Commitment Date of May 19, 2022)
Situating in the City of Mackinac Island, Mackinac County, Michigan:
PARCEL 1
Lot 14, Block 5 of Assessors Plat 4, said plat recorded in Liber 2 of Plats, page 51, in the office of the Register of Deeds for Mackinac County.

File No. MD23-067-023(A)
Exhibit J
Date 5.30.23
Initials KL

AREA OF WORK.
EXISTING RESIDENCES.
SEE SITE PLAN.
PARCEL: 051-575-067-00

THIS AMENDMENT IS TO CLARIFY USE, AND TO SWING PORTAL GATE INTO PROPERTY AND NOT INTO M-185 R.O.W.

ARCHITECT **HopkinsBurns Design Studio**
113 S Fourth Ave.
Ann Arbor, Michigan 48104
(734)424-3344
www.hopkinsburns.com



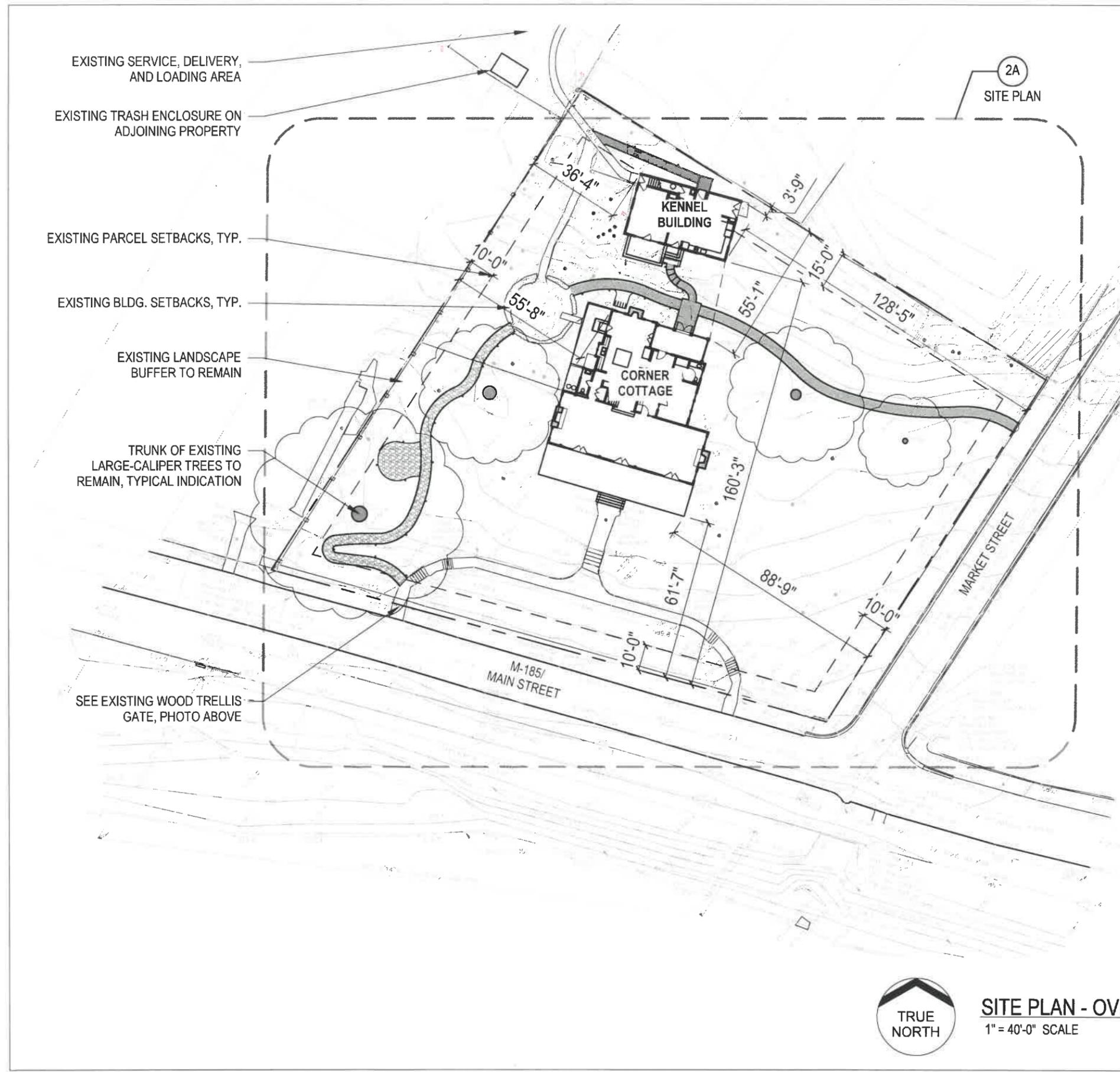
0 Cover

Corner Cottage Renovation

Planning Commission and Historic District Commission

HopkinsBurns DESIGN STUDIO
historic preservation & communities by design

SCALE: As Noted



EXISTING GATE TO BE PROVIDED WITH ADA-COMPLIANT AUTOMATIC OPENER HARDWARE.

LEVEL EXISTING PAVEMENT TO ADA COMPLIANCE

EXISTING WOOD TRELLIS GATE
NO SCALE

SITE IMPROVEMENTS:

- PROVIDE NEW 4' WIDE SLOPING ADA-COMPLIANT BRICK PAVER SIDEWALK FROM EXISTING GATE AT MARKET STREET TO NEW ADA-COMPLIANT BRICK STOOP. CONTINUE 4' WIDE ADA-COMPLIANT WALK TO EXISTING CIRCULAR HEDGE SPACE.
- PROVIDE NEW ADA-COMPLIANT BRICK STOOP AT EXISTING NORTH SCREENED PORCH
- PROVIDE NEW 3' WIDE STEPPED BRICK PATH TO EXISTING SOUTH STOOP OF THE KENNEL BUILDING.
- REMOVE EXISTING FENCE BETWEEN BUILDINGS, EAST SIDE.
- INSTALL NEW 3' WIDE CONCRETE WALK NORTH OF THE KENNEL BUILDING.
- PROVIDE NEW 4' WIDE ADA-COMPLIANT FLAGSTONE WALK FROM WEST MAIN STREET PORTAL GATE TO CIRCULAR HEDGE SPACE, MODIFY GATE TO BE ADA-COMPLIANT
- PRESERVE AND MAINTAIN EXISTING LARGE-CALIPER TREES.



SITE PLAN - OVERALL
1" = 40'-0" SCALE



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

8 June 2023

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
P.O. Box 455
Mackinac Island, MI 49757

Re: **CORNER COTTAGE RENOVATION**
Follow-up Design Review

Dear Ms. Pereny:

In reference to proposed entry gate revisions at the Corner Cottage at 7714 Main Street in the West End Historic District, I have reviewed the request for making the gate accessible / barrier-free, as is required by the Michigan Building Code for commercial uses.

While the actual proposed hardware and equipment are yet to be determined, I believe such revisions must meet the Standards for review, as they are code mandated, as long as the need is achieved in the most invisible and appropriate way possible. I recommend approval of this request, upon further submittal of detail information to the Building Official.

Should you have any questions, please contact me.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

- c. Tamara Burns, Hopkins Burns Design Studio
Dennis Dombroski, City of Mackinac Island
Gary Rentrop, Rentrop & Morrison

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

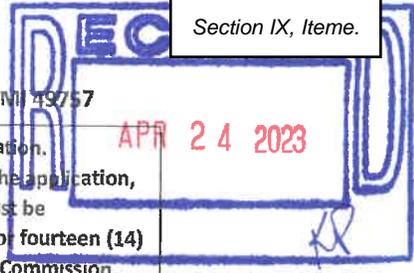
Section IX, Iteme.

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Nick LIEBLER, AIA
117 HOWARD ST. PETOSKEY, MI 49770
231-347-6870 NIEBLER@WHITE-LIEBLER.COM
Phone Number Email Address

Please complete both sides of application.
The Fee and fourteen (14) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.



Property Owner & Mailing Address (if Different From Applicant)

KEVIN GROMLEY & NANCY SCOTT P: 248-797-1326
23626 WARNER ST.
FARMINGTON, MI 48336

- Is The Proposed Project Part of a Condominium Association? Yes
- Is The Proposed Project Within a Historic Preservation District? NO
- Applicant's Interest in the Project (If not the Fee-Simple Owner): ARCHITECT
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? Yes
- Is a Variance Required? NO
- Are REU's Required? How Many? NO /

Type of Action Requested:

- Standard Zoning Permit _____ Appeal of Planning Commission Decision
- _____ Special Land Use _____ Ordinance Amendment/Rezoning
- _____ Planned Unit Development _____ Ordinance Interpretation
- _____ Other _____

Property Information:

- A. Property Number (From Tax Statement): 051-752-006-00
- B. Legal Description of Property: 368/25-85 472/616 598/840 730/21700 STONE BROOK LOND
- C. Address of Property: UNIT 6 - STONE BROOK MACKINAC ISLAND, MI 49757 #6
- D. Zoning District: R-1 LOW DENSITY RESIDENTIAL
- E. Site Plan Checklist Completed & Attached: Yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes
- G. Sketch Plan Attached: N/A
- H. Architectural Plan Attached: Yes
- I. Association Documents Attached (Approval of project, etc.): APPROVED- ATTACHED
- J. FAA Approval Documents Attached: PENDING
- K. Photographs of Existing and Adjacent Structures Attached: Yes

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building _____ Alteration/Addition to Existing Building
 - _____ Other, Specify _____
- B. Use of Existing and Proposed Structures and Land:
 - Existing Use (If Non-conforming, explain nature of use and non-conformity): _____
 - Proposed Use: _____ File No. R123-006-022
 - _____ Exhibit A
- C. If Vacant:
 - Previous Use: VACANT SITE
 - Proposed Use: SINGLE FAMILY RESIDENTIAL Date 4.24.23
 - Length of Time Parcel Has Been Vacant: _____ Initials KP

OFFICE USE ONLY			
FILE NUMBER: <u>R123-006-022</u>	FEE: <u>\$150-</u>		
DATE: <u>4.24.23</u>	CHECK NO: _____	INITIALS: <u>KP</u>	Revised Oct 2018

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the ARCHITECT (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.



Signature

SIGNATURES _____
Signature

NICHOLAS LIEBLER

Please Print Name

Please Print Name

Signed and sworn to before me on the 19TH day of APRIL, 2023.



Notary Public

EMMET County, Michigan
My commission expires: 08/25/2023

DUSTIN PRICE
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF OTSEGO
My Commission Expires Aug. 25, 2023
Acting in the County of EMMET

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input checked="" type="checkbox"/>	<input type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units
- 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
- 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
- 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
- 22. Description of Existing and proposed on-site lighting (see also Section 4.27)

<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**ARCHITECTURAL CONTROL COMMITTEE
STONE BROOK OWNERS' ASSOCIATION**



April 8, 2023

Mr. Kevin Gromley & Ms. Nancy Scott
c/o Mr. Nick Liebler
White & Liebler Architects
117 Howard St.
Petoskey, MI 49770

Subject: ***Stone Brook Owners' Association
Architectural Control Committee
Final Approval – Unit 6 House Plans (Gromley)***

Dear Kevin & Nancy:

On April 6, 2023, the Architectural Control Committee of the Stone Brook Owners' Association granted final approval of the construction documents dated March 10, 2023 related to your proposed home at Stone Brook Unit 6. Based on discussion at the meeting, two minor changes were made to the documents:

- Sheet A0.2 was modified to note that Azek is not an acceptable material for exterior trim under Stone Brook's architectural control guidelines, and
- Sheet A1.1 was modified to designate the driveway as being asphalt, rather than the previously-stated exposed aggregate, so as to be consistent with the guidelines.

Also, it should be noted that this approval pertains only to the house and not to the designated bike storage area adjacent to the driveway, which is assumed not to include a structure of any sort. If you desire to construct a structure at this location, plans for that structure must be submitted for further review by the committee.

Attached you will find copies of the construction documents marked "Approved - Final."

Any deviations from the approved plans must be submitted to the Architectural Control Committee for further consideration.

Please feel free to contact me if you have questions regarding this.

Sincerely,

Neal K. Liddicoat, Chairman
Architectural Control Committee

cc: Mr. Joel Hancock
Ms. Janet Randazzo
Mr. Tim Shea
Mr. Francesco Viola
Ms. Katie Pereny, Mackinac Island Planning Commission

Attachments

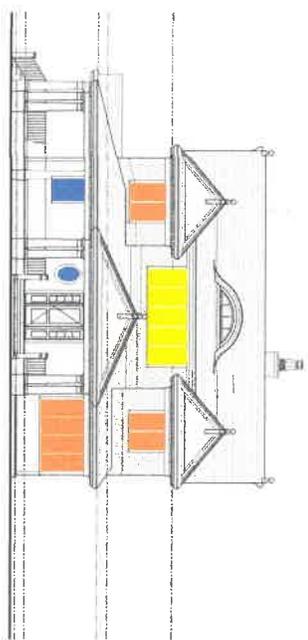
File No. R123.006.022
Exhibit E
Date 4-24-23
Initials KP

	D.H.	SIM	OTHER	TOTAL
EAST	8	5	2	15
SOUTH	5	2	0	7
WEST	12	6	7	25
NORTH	5	2	0	7
TOTAL	30	15	9	54

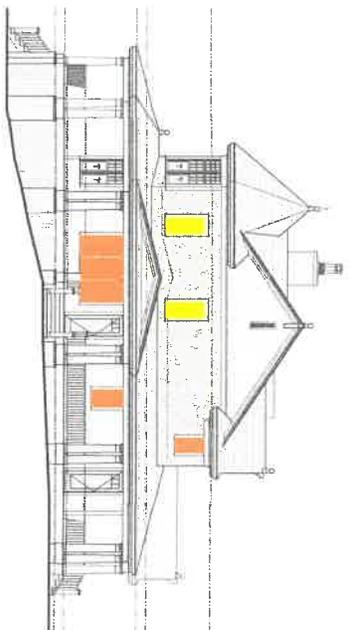
54 UNITS x 70% = 38 UNITS REQUIRED TO BE DOUBLE HUNG OR SIM.
 DOUBLE HUNG UNITS = 30
 SIMULATED DOUBLE HUNG UNITS = 15
 OTHER UNITS = 9

WINDOW TYPE LEGEND

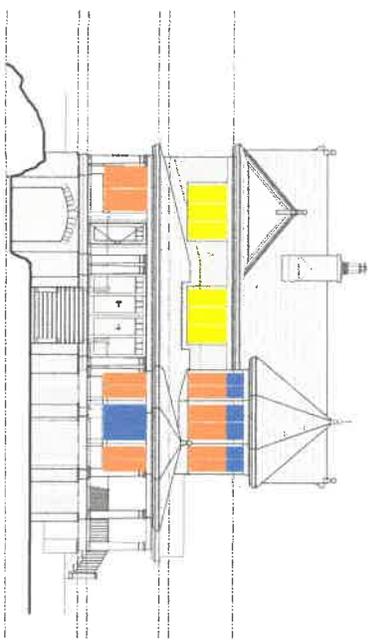
- DOUBLE HUNG
- SIMULATED DOUBLE HUNG
- OTHER



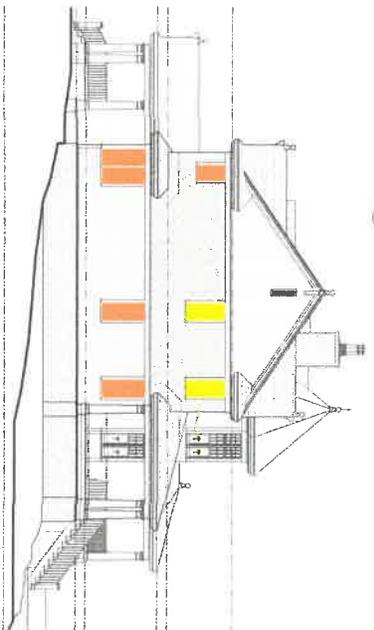
2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



5 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

File No. R123-006-022
 Exhibit A
 Date 5.8.23
 Initials KL



WHITE & LIEBLER
 architects
 architecture | planning | sustainable design
 111 Lake Street, Proskye #970 www.white-liebler.com 23 347-6676

JOB NO. 2136
 DRAWN BY: SDJ
 CHECK BY: NAL

GROMLEY RESIDENCE
 MACONAC BLAND, MI
 EXTERIOR ELEVATIONS

SHEET NO. **A7.4**

RECEIVED
APR 24 2023
KL



File No. R123-0016-02
Exhibit D
Date 4-24-23
Initials KL











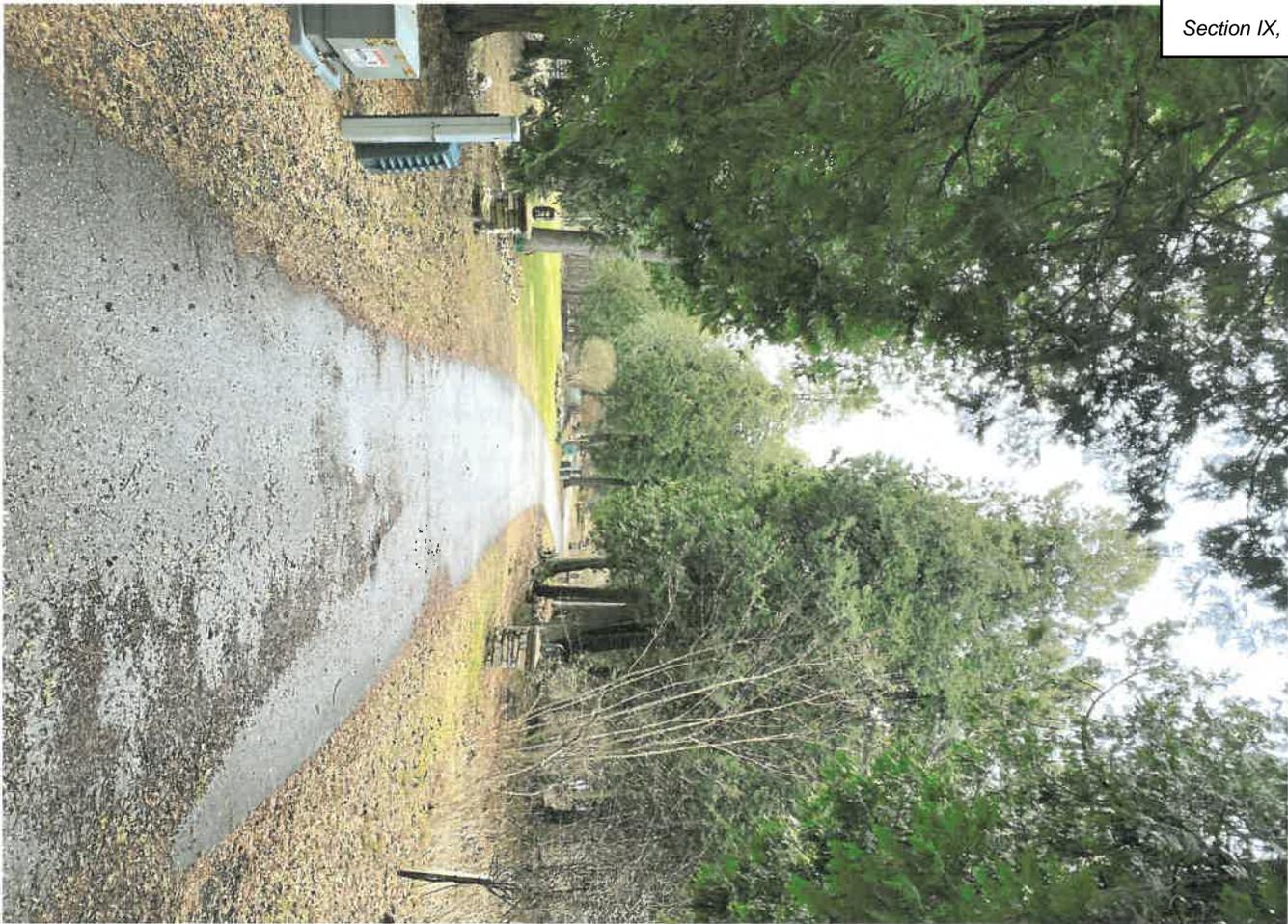
















Legend:

- Found Water (by)
- Water Table
- ⊕ Fire Hydrant
- * Lamp
- Easement Line
- Easement Line
- 10' Utility Easement
- Fence Line
- Approximate Tree Line
- Tree (to be removed)



Northland
Surveying & Mapping LLC

1155 S. H. Hartman Road
Farmington, Michigan 48336
Phone: 248-471-1111
Fax: 248-471-1112

Client: **Grumley**
 Job No.: 2136-001
 File: 12022-001.dwg (1/1)
 Sheet: 2 of 2
 Title: 2136-001.rvt
 Revised Date: 4/24/23
 Revised Date:

SINGLE FAMILY RESIDENCE
FOR MR. & MRS. GRUMLEY
23626 WARNER ST
FARMINGTON, MI 48336

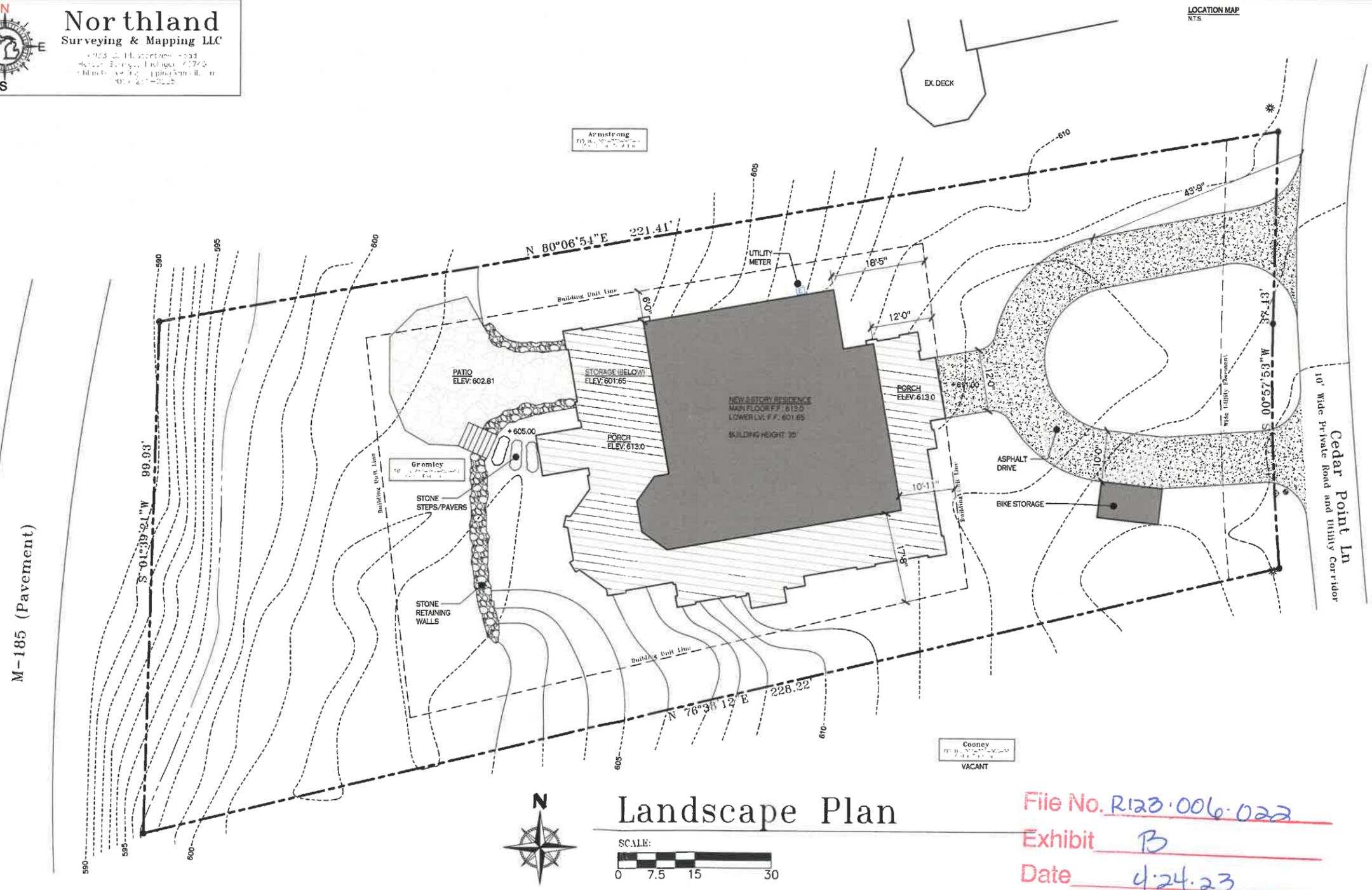
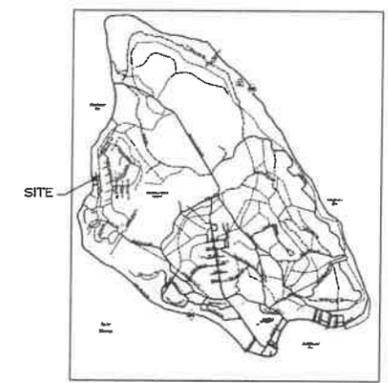
SITE DATA

ZONING DISTRICT: R1
 LOT SIZE: 20,141 SQ. FT.
 ROOF COVERAGE: 3,962 SQ. FT.
 DRIVE COVERAGE: 0 SQ. FT.
 TOTAL LOT COVERAGE: 3,962 SQ. FT.
 % LOT COVERAGE: 20%

SETBACKS:
 FRONT: AS PER CONDO ENVELOPE
 SIDE: 10' AS PER CONDO ENVELOPE
 REAR: AS PER CONDO ENVELOPE

MAX. BUILDING HEIGHT: 35'

CARRIAGE HOUSE - STORAGE OF BICYCLES, SNOW MOBILES,
LAWN FURNITURE & TRASH



Landscape Plan

SCALE: 0 7.5 15 30

File No. R123-006-022
 Exhibit B
 Date 4.24.23
 Initials NL

ISSUED DATE	DESCRIPTION
12.09.22	REVIEW
09.10.23	APPROVAL SET

JOB NO. **2136**
 DRAWN BY: SDJ
 CHECK BY: NAL

GROMLEY RESIDENCE
MACKINAC ISLAND, MI

SITE PLAN

SHEET NO.
A1.1

GROMLEY RESIDENCE

Section IX, Iteme.

APR 24 2023

APPROVED - FINAL
FINAL APPROVAL GRANTED BY
STONE BROOK CHAPTER ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 6, 2023

Handwritten signature

CONSULTANT INDEX

ARCHITECT

WHITE & LIEBLER ARCHITECTS
NICK LIEBLER
117 HOWARD ST.
PETOSKEY, MI 49770
231.347.6870
NLIEBLER@WHITE-LIEBLER.COM

CONTRACTOR

CONTRACTOR
ADDRESS
CITY, STATE, ZIP
PHONE
EMAIL

STRUCTURAL ENG.

ENGINEER
ADDRESS
CITY, STATE, ZIP
PHONE
EMAIL

INT. DESIGN

INTERIOR DESIGNER
ADDRESS
CITY, STATE, ZIP
PHONE
EMAIL

KITCHEN DESIGN

KITCHEN DESIGNER
ADDRESS
CITY, STATE, ZIP
PHONE
EMAIL

CIVIL ENGINEERING

CIVIL ENGINEER
ADDRESS
CITY, STATE, ZIP
PHONE
EMAIL

PLUMB/MECH

PLUMBING / MECHANICAL
ADDRESS
CITY, STATE, ZIP
PHONE
EMAIL

AUDIO/VISUAL

AUDIO / VISUAL
ADDRESS
CITY, STATE, ZIP
PHONE
EMAIL

LANDSCAPE ARCH.

LANDSCAPE ARCHITECT
ADDRESS
CITY, STATE, ZIP
PHONE
EMAIL

SECURITY

SECURITY
ADDRESS
CITY, STATE, ZIP
PHONE
EMAIL

DRAWING INDEX

RESIDENCE

SHT. NO.	SHEET TITLE	ISSUE / REVISIONS NO.								
		01	02	03	04	05	06	07	08	09
A0.1	TITLE SHEET / DRAWING INDEX									
A0.2	SPECIFICATIONS & NOTES									
A0.3	SPECIFICATIONS & NOTES									
A1.1	ARCHITECTURAL SITE PLAN									
A2.1	FOUNDATION PLAN									
A2.2	FOUNDATION PLAN									
A3.1	BASEMENT PLAN									
A3.2	FIRST FLOOR PLAN									
A3.3	SECOND FLOOR PLAN									
A3.4	ROOF PLAN									
A3.5	BASEMENT REFLECTED CEILING PLAN									
A3.6	FIRST FLOOR REFLECTED CEILING PLAN									
A3.7	SECOND FLOOR REFLECTED CEILING PLAN									
A4.1	DOOR SCHEDULE & NOTES									
A4.2	WINDOW SCHEDULE & NOTES									
A4.3	ROOM FINISH SCHEDULE									
A5.1	INTERIOR DETAILS									
A5.2	INTERIOR ELEVATIONS									
A5.3	INTERIOR ELEVATIONS									
A6.1	TYPICAL WALL SECTION & DETAILS									
A6.2	BUILDING DETAILS									
A6.3	BUILDING SECTIONS									
A6.4	BUILDING SECTIONS									
A6.5	BUILDING SECTIONS									
A6.6	BUILDING SECTIONS									
A6.7	BUILDING SECTIONS									
A7.1	EXTERIOR ELEVATIONS									
A7.2	EXTERIOR ELEVATIONS									
A7.3	EXTERIOR ELEVATIONS									
A7.4	EXTERIOR ELEVATIONS									
S1.1	FIRST FLOOR FRAMING PLAN									
S1.2	SECOND FLOOR FRAMING PLAN									
S2.1	LOW ROOF FRAMING PLAN									
S2.2	HIGH ROOF FRAMING PLAN									
E1.1	BASEMENT ELECTRICAL PLAN									
E1.2	FIRST FLOOR ELECTRICAL PLAN									
E1.3	SECOND FLOOR ELECTRICAL PLAN									

WHITE & LIEBLER
architects
architecture | planning | sustainable design
117 Howard Street, Petoskey MI 49770 www.white-liebler.com 231-347-6870

ISSUED DATE	DESCRIPTION
12.09.22	REVIEW
03.10.23	APPROVAL SET

JOB NO. 2136
DRAWN BY: SDJ
CHECK BY: NAL

GROMLEY RESIDENCE
MACKINAC ISLAND, MI
COVER SHEET

SHEET NO. AO.1

"BID & PERMIT SET": PRELIMINARY DOCUMENTS PREPARED FOR CONTRACTOR'S BID PURPOSES & BUILDING CODE OFFICIAL'S REVIEW. NOT FOR CONSTRUCTION.

"CONSTRUCTION SET": CONSTRUCTION DOCUMENTS INCORPORATING THE BUILDING CODE OFFICIAL'S, ARCHITECT'S, OWNER'S AND CONTRACTOR'S REVISIONS FOR BUILDING CODE COMPLIANCE, DESIGN REVISIONS AND BUDGETARY REQUIREMENTS.

ISSUED / REVISED FOR:

NO.	DESCRIPTION	DATE
01	REVIEW SET	12-09-22
02	STONEBROOK APPROVAL SET	03-10-23
03		
04		
05		
06		
07		
08		
09		
10		

File No. Rb3.006.022
Exhibit C
Date 4.24.23
Initials KL

GENERAL NOTES

- 1. ARCHITECT SHALL REVIEW ALL SHOP DRAWINGS AND PRODUCT SUBMISSIONS.
2. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CODES.
3. CONTRACTOR SHALL NOT SCALE DRAWINGS, CONSULT ARCHITECT W/ALL QUESTIONS.
4. CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY FOR HIS/HER EMPLOYEES, SUBCONTRACTORS, SUPPLIERS & THE PUBLIC.
5. INSULATION SCHEDULE: ALL SPRAY FOAM INSULATION SHALL BE APPLIED ACCORDING TO MANUFACTURER'S SPECIFICATIONS ESPECIALLY REGARDING APPLICATION THICKNESS.
6. WRAP EXTERIOR WALL SHEATHING WITH TYVEK SHEET, TAPE JOINTS, AND LAP SILL PLATE.
7. FOR SHINGLE SIDING PROVIDE BENJAMIN OBDYKE HOME SLICKER RAINSCREEN OVER TYVEK.
8. WINDOWS ARE BASED UPON KOLBE ULTRA SERIES, COLOR - CLOUD, LOW E GLAZING WITH SCREENS AND PERMANENT 1 1/8" S/DL GRILLES WHERE SHOWN.
9. TYPICAL WALL FRAMING:
10. CONTRACTOR SHALL VERIFY ALL WINDOW AND DOOR R.O.C(S) WITH SELECTED MANUFACTURER AND SUBMIT WINDOW AND DOOR SHOPS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PLACING FABRICATION ORDER.
11. USE METAL STUDS/FURRING @ F.P. & CHIMNEY MASSSES (NON-COMBUSTIBLE MATERIAL PER BUILDING CODE).
12. PROVIDE WALL FIRESTOPPING AS REQUIRED BY BUILDING CODE.

ROOFING NOTES

- 1. ALL CRICKETS, SADDLES AND FLASHINGS SHALL BE ATAS' METAL COLOR - SLATE GREY.
2. UNDERLAY ALL FLASHINGS WITH ONE LAYER GRACE ICE AND WATER SHIELD.
3. ALL EAVES & VALLEYS SHALL HAVE ONE LAYER OF 36" BUTYTHENE APPLIED DIRECTLY TO PLYWOOD.
4. ALL CHIMNEYS AND DORMERS SHALL BE STEP FLASHED AND COUNTERFLASHED.
5. ROOF VENTS SHALL BE CERTAINTED SHINGLE VENT II, INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
6. GUTTERS AS DRAWN SHALL BE K-STYLE GUTTERS, WHITE W/ DOWNSPOUTS TBD, MOUNT @ 36" O.C. MIN. SPACING.
7. ROOF SLOPES, CRICKETS AND SADDLES UNDER 3:12 PITCH, OR AS NOTED, SHALL BE COLORKAD STANDING SEAM WITH 12" WIDE PANELS AND 1" ROLLED RIBS OVER (1) LAYER ICE AND WATER SHIELD.
8. ROOF SHINGLES SHALL BE CERTAINTED LANDMARK PRO, GEORGETOWN GRAY OR PRAIRIE WOOD COLOR OVER (1) LAYER GAF DECK ARMOR OR EQUAL.

INTERIOR FINISH NOTES

- 1. SAND SMOOTH ALL WOOD TRIM CORNERS, BOARD ENDS AND CUTS AND FILL OR REMOVE ALL CHATTERMARKS, CRACKS, GRAIN IRREGULARITIES AND MARKINGS.
2. INTERIOR TRIM WOOD SHALL BE:
3. WOOD FILLER OR PUTTY SHALL BE HARDENING TYPE (WOOD DOUGH OR PLASTIC WOOD) COLOR MATCHED, SANDED AND PRIMED BEFORE PAINTING.
4. CERAMIC TILE - SCHLUETER SYSTEMS FOR TILE SETTING SHALL BE APPROVED BY ARCHITECT.
5. ALL DRYWALL SHALL BE 5/8" FIRECODE TYPE, SCREWED. CORNER BEADS SHALL BE METAL TYPE.
6. ALL WOOD T & G FLOORING SHALL BE AS NOTED IN THE ROOM FINISH LEGEND WITH RANDOM LENGTH (36" LENGTH MINIMUM) PREMIUM QUALITY.
7. STAIR TREAD AND HANDRAIL SHALL BE HARDWOOD, STAIR RISERS SHALL BE PAINTED TBD. STAIR BALUSTERS SHALL BE PAINTED TBD.
8. ALL HEAT REGISTERS IN WOOD FLOORS SHALL BE HARDWOOD REGISTERS; OVERSIZE BY 1" EACH WAY TO SET ON SUBFLOOR.
9. HEAT REGISTERS, IN CARPET AND TILE FLOORS SHALL HAVE 2 CT. ALKYD ENAMEL SEMI-GLOSS MATCH SURROUNDING SURFACE.
10. SEAL EDGE OF TUB, SHOWER DOOR AND SINKS WITH SILICONE SEALANT, COLOR TO MATCH.
11. PRIME ALL T & G PANELING PRIOR TO INSTALLATION, ESPECIALLY TONGUES. PRIME ALL SIDES.
12. PAINT STRUCTURE BEHIND HEAT REGISTERS FLAT BLACK.
13. CARPET AND VINYL (INCLUDING INSTALLATION) SHALL BE PROVIDED BY OWNER.

INTERIOR PAINT SCHEDULE

- 1. DRYWALL
A. (1) CT. PRIMER.
B. (2) CT. LATEX ENAMEL FLAT; SPRAY OR ROLLER ACCEPTABLE.
C. BENJAMIN MOORE REGAL, WALL SATIN.
2. BUILT-IN CABINETRY, DOORS AND WINDOW TRIM, BASE, BEAMS, STAIR BALUSTERS, STAIR RISERS, WOOD WALL PANELING AND ALL RUNNING TRIM
A. (1) CT. OIL BASE WOOD PRIMER, SAND PRIOR TO INSTALLATION.
B. (2) CT. ALKYD ENAMEL, BENJAMIN MOORE SEMI-GLOSS IMPERVO.
C. PRIME AND PANELING PRIOR TO INSTALLATION ESPECIALLY TONGUES.
D. ALL COATS BRUSH APPLIED.
E. SPRAY APPLICATION ACCEPTABLE ONLY WITH OWNER OR ARCHITECT'S APPROVAL.
3. WOOD FLOORING, WOOD HANDRAILS, STAIR TREADS, WOOD HEAT REGISTERS
A. (1) CT. FILLER, SQUEEGED AND SANDED.
B. (1) CT. STAIN, WIPED.
C. (1) CT. 50/50 POLYURETHANE/THINNER.
D. (2) CT. POLYURETHANE VARNISH; GLOSS RAILS, SEMI-GLOSS TREADS AND FLOORS.
E. LIGHTLY SAND BETWEEN COATS WITH 220 GRIT PAPER.
4. STAINED WOOD PANELING
A. (1) CT. SEALER STAIN (SOFTWOODS SHALL BE SEALED FOR NON-BLOTCHY STAIN APPEARANCE).
B. (3) CT. POLYURETHANE VARNISH, SATIN, LIGHTLY SAND BETWEEN COATS WITH 220 GRIT PAPER.

EXTERIOR FINISH NOTES

- 1. ALL EXTERIOR TRIM SHALL BE CLEAR CEDAR OR REDWOOD, SMOOTH, PAINTED (FINGER JOINT LUMBER IS ACCEPTABLE WHERE TRIM IS TO BE PAINTED).
2. FILL ALL CONSTRUCTION DENTS AND SPLITS WITH AUTO BODY COMPOUND (2 PARTS AND SAND SMOOTH.
3. EXTERIOR CEDAR BEVELED LAP SIDING SHALL BE 6" EXPOSURE; PRE-FINISHED WITH ONE COAT OF SOLID FLAT ON ALL SIDES.
4. NAILED THROUGH TONGUES. ALL EAVES SHALL BE 1X4 FIR OR CEDAR T&G, PAINTED.
5. BACK PRIME ALL GOFFITS, PORCH CEILINGS, EAVE, DOOR, WINDOW AND COLUMN TRIM WITH 1 CT. PRIMER OR VARNISH PRIOR TO INSTALLATION.
6. PROVIDE BENJAMIN MOORE PAINTS OR SHERWIN WILLIAMS (BEST QUALITY) FOR ALL EXTERIOR FINISHES.
7. EXTERIOR SEALANT SHALL BE POLYURETHANE OR URETHANE BASE. APPLY BEAD OF SEALANT @ ALL JOINTS IN SIDING AND TRIM (DOORS, WINDOWS, CORNER, MUDSILL)

EXTERIOR PAINT SCHEDULE

- 1. BACKPRIME ALL SIDING, EAVE, DOOR, WINDOW AND COLUMN TRIM WITH 1 CT. PRIMER.
2. ALL PAINT TO BE BRUSH APPLIED.
3. POLYURETHANE EXTERIOR VARNISH SHALL BE PETTIT'S MARINE SPAR VARNISH OR EQUAL.
4. DOOR, WINDOW, COLUMNS, RAILS, BALUSTERS, MUDSILL, EAVES, BRACKET TRIM.
5. WOOD ENTRY DOORS - STAINED AND VARNISHED
6. LAKESIDE PORCH, BREEZEWAY AND ENTRY PORCH CEILINGS - STAIN & VARNISH
7. EXTERIOR STONERWORK AND CHIMNEY CAPS
8. SIDING - CEDAR LAP & SHINGLE

CABINETRY HARDWARE

- 1. KNOBS - SEE INTERIOR DESIGNER
2. HINGES - SEE INTERIOR DESIGNER
3. GLIDES - BALL BEARING TYPE, SELF-CLOSING (BLUMOTION OR EQUAL)
4. SHELF SUPPORTS - 1/4" DRILLED HOLES @ 1" O.C. WITH BRASS "L" PEGS.
5. TV BRACKET HARDWARE - TO BE PROVIDED BY AV INSTALLER

STAIR SPECIFICATIONS

- 1. TREADS - SEE INTERIOR DESIGNER
2. RISERS - SEE INTERIOR DESIGNER
3. BALUSTERS - SEE INTERIOR DESIGNER
4. NEWEL - SEE INTERIOR DESIGNER
5. RAILING - SEE INTERIOR DESIGNER

NOTES

- 1. STAIR SUPPLIER SHALL PROVIDE ALL FITTINGS REQUIRED FOR AN "OVER-THE-POST" DESIGN.
2. PROVIDE SHOP DRAWINGS FOR ALL INTERIOR STAIRS.
3. HARDWOOD FOR RAILINGS SHALL BE SELECT, GRAIN AND COLOR MATCHED.

DOOR NOTES

- 1. ALL WOOD DOORS SHALL BE SEALED AT ALL CUT EDGES IMMEDIATELY AFTER TRIMMING.
2. ALL HARDWARE SHALL BE TBD, VERIFY W/ INT. DESIGNER.
3. HINGES SHALL BE BALL TIP, 4 "X 4" OR APPROVED EQUAL. 4 PER 8 FT. DOOR, 3 PER 7FT. DOOR.
4. EXTEND STRIKE PLATES WITH SOLID BRASS TRIM WORK PROTECTORS AT DOORS IN 5 1/2" THICK EXTERIOR WALLS.
5. KEY LOCKSETS TO A MASTER KEY SYSTEM.
6. KEY ALL EXTERIOR DOORS TO SCHLAGE CYLINDERS.
7. ALL HARDWARE SHALL BE TIGHTLY FIT WITH MINIMAL (1/32") GAP BETWEEN THE STRIKES, LATCHES, HINGES, AND THE MORTISE OPENING.
8. ALL INTERIOR DOORS TO BE 1-3/4" THICKNESS MDF
9. WOOD ENTRY DOORS TO BE 2-1/4" THICKNESS MIN.

LOCATION OF SAFETY GLAZING

- 1. GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING AND BIFOLD DOORS.
2. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
3. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
4. ALL GLAZING IN RAILINGS.
5. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
6. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND WITHIN 60" MEASURED HORIZ. AND IN A STRAIGHT LINE OF THE WATER'S EDGE.
7. GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMP WITHIN 36 INCHES HORIZ. OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
8. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZ. OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.

REFER TO THE 2015 MICHIGAN RESIDENTIAL CODE FOR EXCEPTIONS TO THE REQUIREMENTS ABOVE. NO EXCEPTIONS WERE TAKEN FOR THIS PROJECT.

ELECTRICAL NOTES

- 1. ALL ELECTRICAL WORK SHALL COMPLY WITH IRC, MICHIGAN RESIDENTIAL CODE AND NEC REQUIREMENTS.
2. ELECTRICAL CONTRACTOR SHALL PROVIDE 300 A UNDERGROUND SERVICE TO METER AND DISCONNECT: 100A, GARAGE, 200A, MAIN HOUSE.
3. REFER TO RISER DIAGRAM AND ELECTRICAL FLOOR PLANS FOR DISTRIBUTION OF POWER PANELS.
4. ELECTRICAL CONTRACTOR SHALL VERIFY ALL MECHANICAL AND KITCHEN EQUIPMENT; A.C. UNITS, HUMIDIFIERS, EXHAUST FANS, ETC., AND PROVIDE SERVICE AS REQUIRED.
5. ELECTRICAL CONTRACTOR SHALL PROVIDE LAUNDRY, KITCHEN & BATH EXHAUST FANS AND WIRING, MECHANICAL CONTRACTOR SHALL PROVIDE DUCTING AND EXTERIOR WALL GRILLS.
6. ALL INTERIOR WIRING SHALL BE 14-2 WITH GROUND MINIMUM SIZE. ALL CONDUIT, IF REQUIRED, SHALL BE THIN WALL METAL TYPE.
7. TELEPHONE SERVICE SHALL BE (2 LINE OR MULTILINE) TYPE WITH ALL LINES ORIGINATING FROM CENTRAL TERMINAL (NO DAISY CHAIN). CATEGORY 5 WIRING REQUIRED.
8. SECURITY, CABLE TV, INTERNET AND AV WIRING SHALL BE PROVIDED BY OWNER.
9. TELEPHONE SYSTEM SHALL BE CONTRACTED BY OWNER.
10. ALL EXTERIOR, GARAGE, KITCHEN SINK AREA AND BATH OUTLETS SHALL BE GFI EQUIPPED.
11. ALL INTERIOR SWITCHES, RECEPTACLES AND PLATES SHALL BE PURE WHITE IN COLOR, DECORA STYLE WITH DIMMERS AS NOTED.
12. PROVIDE 2" PVC CONDUIT UNDER ALL HARD SURFACES. DO NOT DIRECT BURY WIRES UNDER DRIVE, WALKS OR PATIOS.
13. ELECTRICAL CONTRACTOR SHALL INSTALL ALL FIXTURES LISTED AND SHALL STORE AND INSTALL FIXTURES "SUPPLIED BY OWNER" (SBO) AS NOTED ON FIXTURE SCHEDULE.
14. PROVIDE EXTERIOR LIGHT POSTS (LP) AND A 15 AMP CIRCUIT TO THE SITE LIGHTING AS SHOWN ON THE SITE PLAN.
15. SEAL ALL EXTERIOR WALL OUTLET AND SWITCH BOXES WITH FOAM SEALER OR FLEXIBLE BOOT. TAPE VISQUEEN @ BOX.

PLUMBING NOTES

- 1. ALL PLUMBING SHALL COMPLY WITH ALL APPLICABLE CODES.
2. REFER TO SITE PLAN FOR SEPTIC SYSTEM LAYOUT.
3. SUPPLY PIPING SHALL BE TYPE L COPPER - LEAD-FREE SOLDER SHALL BE PROVIDED AS PER PLUMBING CODE. SUPPORT PIPING WITH CUSHIONED HANGARS @ 60" O. C. MIN.
4. ALL VERTICAL WASTE PIPING ABOVE THE FIRST FLOOR SHALL BE CAST IRON, NO HUB TYPE. ALL WASTE PIPING BELOW FIRST FLOOR SHALL BE SCHED. 40 P.V.C. INSULATE TRAP OF ALL TOILETS WITH 6" FIBERGLASS BATT.
5. INSULATE ALL HOT AND COLD WATER PIPES WITH FOAM TYPE INSULATION; TAPE JOINTS.
6. NO WATER SUPPLY SHALL BE RUN OVERHEAD IN UNHEATED ATTIC AREAS.
7. WATER HEATER SHALL BE 50 GAL. MIN. ELECTRIC LOWBOY STYLE WITH GRUNDFOS NO. UP 25-64 SF RECIRCULATION PUMP AND TIMER SERIES HOOKUP.
8. ALL HOT AND COLD WATER SUPPLY SHALL BE SLOPED TO DRAIN AT SILL COCKS IN BASEMENT MECHANICAL ROOM.
9. PROVIDE WATER SUPPLY AND SHUTOFF FOR FURNACE HUMIDIFIERS AND ICE MAKER FOR THE KITCHEN REFRIGERATOR.
10. KITCHEN FIXTURES, FITTINGS AND APPLIANCES TO BE PART OF KITCHEN ALLOWANCE; CONTRACTOR TO INSTALL.
11. ALL HOSE BIBS (SYMBOL HB) SHALL BE FROST PROOF TYPE. NO "SHORTY" TYPE HOSEBIBS ALLOWED. SEE (FLOOR/MECH) PLAN FOR LOCATION.
12. FLOOR DRAINS ON ALL FLOORS SHALL HAVE CHROME PLATED BRASS COVERS AND ADJUSTABLE HUBS.
13. PROVIDE GAS PIPING AND SHUTOFFS FOR ALL GAS APPLIANCES INCLUDING GAS RANGE, GAS DRYER AND FIREPLACE.
14. PLUMBING CONTRACTOR SHALL COORDINATE WITH THE EXCAVATOR FOR CONNECTING BUILDING DRAIN WITH THE SANITARY SEWER.
15. CATCH BASINS IN GARAGE SHALL HAVE SEDIMENT TRAPS. PREFAB DRAINS ARE ACCEPTABLE; COORDINATE INSTALLATION WITH CONCRETE CONTRACTOR, DRAIN TO SANITARY SEWER SYSTEM.
16. WASHERS SHALL BE SET IN A DRAINAGE PAN; DURAPAN OR EQUAL.
17. EXTERIOR CATCH BASINS SHALL BE BY EXCAVATION CONTRACTOR.
18. PROVIDE WATER SOFTENER HOOKUP AND BYPASS VALVING IN MECH. ROOM (EQUIPMENT BY OTHERS). ALL WATER SHALL BE SOFTENED EXCEPT HOSE BIBS, KITCHEN AND BAR COLD & ICE MACHINES.
19. PROVIDE LAWN IRRIGATION HOOK-UP AND CONTROLS IN GARAGE; DRAINABLE.
20. WATER TO ALL TOILETS SHALL BE TEMPERED VIA TEMPERING VALVES.

MECHANICAL NOTES

- 1. ALL DUCTWORK FOR TRUNK LINES SHALL BE GALVANIZED METAL ACCORDING TO SMACNA STANDARDS. DUCT SIZES ARE CLEAR DIMENSIONS.
2. FURNACE OR BOILER AND DUCT LOCATIONS ARE GENERAL LOCATIONS, FINAL LOCATION TO BE DETERMINED IN FIELD W/ARCHITECT'S APPROVAL.
3. ALL SUPPLY AIR DUCTS TO BE INSULATED ON THE EXTERIOR WITH 1" VINYL FACED FIBERGLASS. FLEXIBLE DUCTS SHALL BE PERMITTED FOR LENGTHS OF 14' OR LESS.
4. ALL RETURN AIR DUCTS AT FURNACE PLENUM SHALL BE INSULATED ON THE INTERIOR WITH 1" ACOUSTIC DUCT LINER GLUED AND NAILED OR PIN SPOT. INSULATE RETURN AIR (RA) DUCT ONLY WITHIN 8' OF FURNACE FOR ACOUSTICAL CONTROL. ALL FURNACE PLENUM CONNECTORS SHALL BE FLEXIBLE TYPE.
5. TURNING VANES TO BE INSTALLED IN ALL TURNS OF DUCTWORK. BALANCE DAMPERS TO BE INSTALLED AT ALL BRANCHES. DAMPERS IN LATERAL SUPPLIES TO BE INSTALLED AT REGISTER OPENINGS IN DUCT SYSTEM ALONE WITH DAMPER ON REGISTER.
6. DUCTS IN EXTERIOR WALLS SHALL HAVE RIGID INSULATION BEHIND DUCTS; 2" THERMAX MINIMUM.
7. ALL REGISTERS SHALL HAVE BUTTERFLY TYPE DAMPERS.
8. ALL PANNING METAL TO BE 24 GA. AND BRAGED TO PREVENT RATTLE.
9. OUTSIDE FRESH AIR DUCT SHALL BE INSULATED AND TIED INTO AIR TO AIR EXCHANGER OF FURNACES.
10. COMBUSTION AIR DUCTS IF REQUIRED SHALL HAVE AUTOMATIC DAMPER CONTROL.
11. CHIMNEY LOCATION THROUGH ROOF SHALL BE APPROVED BY ARCHITECT IN FIELD.
12. CHIMNEYS TO BE 3" PVC SCH 40 PIPE. VENT FOR ANY GAS FIRED WATER HEATER TO BE METALBESTOS OR HART & COOLEY INSULATED TYPE. PAINT FLAT GRAY ABOVE ROOF.
13. THERMOSTAT WIRING TO BE #18 GA., B CONDUCTOR, WIRING BY MECHANICAL CONTRACTOR.
14. AIR CONDION PIPING TO BE RIGID PIPE SIZED FOR LENGTH TO BE SOLDERED WITH "SL-PROS", SOLDER AND LINES INSULATED WITH ARMAFLEX-3/8" WALL THICKNESS. LIQUID LINE TO BE REFRIGERATION SOFT CAP. 1-1/8" SUCTION LINE. 3/8" LIQUID LINE.
15. PADS FOR A/C CONDENSER BY MECHANICAL CONTRACTOR. 4" CONCRETE WITH 12" TURN DOWN LP.
16. GAS SERVICES SHALL BE RUN INTO MECHANICAL ROOM BY PLUMBING CONTRACTOR. ALL GAS PIPING TO BE SCH. 40 BLACK IRON WITH ROD AND GLEAVIS HANGERS.
17. VENT ALL BATH AND RANGE HOOD EXHAUST FANS DIRECTLY TO THE OUTDOORS. FAN UNITS BY OTHERS.
18. SYSTEM TO BE CLEANED, MOTORS OILED, NEW FILTERS INSTALLED AND CUSTOMER INSTRUCTED ON PROPER OPERATION AT COMPLETION OF JOB.
19. ALL WARRANTIES AND INSTRUCTION MANUALS SHALL BE GIVEN TO GENERAL CONTRACTOR FOR SUBMISSION TO OWNER.

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Table with 2 columns: DATE, DESCRIPTION. Includes dates 12.09.22 and 03.10.23.

JOB NO. 2136

GROMLEY RESIDENCE MACKINAC ISLAND, MI

APPROVED - FINAL FINAL APPROVAL GRANTED BY STONE BROOK OWNERS' ASSOCIATION ARCHITECTURAL CONTROL COMMITTEE APRIL 6, 2023

Handwritten signature: Neal K. Liebler

SHEET NO.

A0.2

FOUNDATION NOTES

- 1. ALLOWABLE SOIL BEARING PRESSURE: SPREAD FOOTING = 2000PSI (ASSUMED SANDY CLAY)
2. CRAWL SPACE WALL ACTIVE LATERAL SOIL PRESSURE = 40PSF/FT.
3. FILL SOIL SHOULD BE SPREAD IN SHALLOW LIFTS, 6" TO 8" MAXIMUM, AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY (ASTM D-1557).

CONCRETE NOTES

- 1. STEEL REINFORCEMENTS: A. REINFORCING BARS: ASTM A615, GRADE 60, DEFORMED. B. WELDABLE LOW-ALLOY RE-BARS: ASTM A706, GRADE 60, DEFORMED.
2. CONCRETE MATERIALS: A. PORTLAND CEMENT: ASTM C 150, TYPE I/II. B. FLY ASH: ASTM C618, CLASS C OR F, MAX 15% CEMENT REPLACEMENT.
3. ADMIXTURES - ADMIXTURES CERTIFIED BY MANUFACTURER TO CONTAIN NOT MORE THAN 0.1 PERCENT WATER-SOLUBLE CHLORIDE IONS BY MASS OF CEMENTITIOUS MATERIAL AND TO BE COMPATIBLE WITH OTHER ADMIXTURES AND CEMENTITIOUS MATERIALS.

CAST-IN-PLACE CONCRETE WALL NOTES

- 1. CONCRETE REINFORCING PATTERN SHALL BE NO. 5 BARS @ 24" O.C. EA. WAY SET @ 3" FROM INSIDE FACE OF WALL. TIED TO NO. 5 FOOTING DOWELS @ 24" O.C.

MASONRY WALL NOTES

- 1. ALL CONCRETE BLOCK SHALL BE STANDARD WEIGHT.
2. MASONRY MORTAR SHALL BE TYPE M.
3. VERTICAL WALL REINFORCING (MASONRY)
3.1. 12" EXTERIOR WALLS - NO. 5 BAR IN GROUTED CORE AT 32" O.C.; SET AT 3" FROM INSIDE FACE OF WALL.

GENERAL STRUCTURAL NOTES

- DESIGN CODE: 2015 MICHIGAN RESIDENTIAL CODE - CONSTRUCTION TYPE 5B
MISCELLANEOUS NOTES:
1. STRUCTURAL DRAWINGS ARE INTENDED TO BE USED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING SUCH REQUIREMENTS INTO THEIR SHOP DRAWINGS AND WORK.
2. NO OPENING SHALL BE MADE IN ANY STRUCTURAL MEMBER WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER, OR MANUFACTURER'S GRAPHIC DIAGRAM.

FRAMING NOTES

- 1. ALL COMPOSITE WOOD PRODUCTS DESIGNATED AS LVL OR PSL. FOLLOW ALL REQUIREMENTS AND RECOMMENDATIONS OF MANUFACTURER. LVL = 1.9E, FB=2600PSI, LAMINATED VENEER LUMBER PSL = 2.0E, FB=2900PSI PARALLEL STRAND LUMBER
2. GLUE LAMINATED STRUCTURAL BEAMS SHALL BE DOUG-FIR GRADE 24F.
3. DIMENSION WALL, STUD LUMBER, INTERIOR PARTITION WALL PLATES, LINTELS AND FLOOR FRAMING SHALL BE GRADE S-P-F NO. 2 OR BETTER.

DESIGN LOADING

Table with 2 columns: Category (ROOF, FLOOR, WIND LOADING) and Values (SNOW LOAD, DEAD LOAD, LIVE LOAD, DEAD LOAD, TOTAL LOAD, ASCE 7-16 EXPOSURE, FM CLASS)

STEEL FRAMING NOTES

- 1. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING GRADES: A. ALL WIDE FLANGES: A992 GRADE 50 (FY=50 KSI) B. BARS, ANGLES, CHANNELS, & PLATES: A50
2. ALL STRUCTURAL STEEL SHALL BE DESIGNED, DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE AISC MANUAL OF STEEL CONSTRUCTION, ALLOWABLE STRESS DESIGN, 14TH EDITION, EXCEPT AS MODIFIED IN THESE NOTES AND THE PROJECT SPECIFICATIONS.
3. SHOP DRAWINGS - SHOW COMPLETE DETAILS AND SCHEDULES (IF REQUIRED) FOR FABRICATION, ASSEMBLY, AND ERECTION.

SITE NOTES

- 1. VERIFY ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR CONNECTION. CALL MISS DIG - 1-800-482-7171 OR 811.
2. ROUGH AND FINISH GRADING, FOUNDATION EXCAVATION, BACKFILL AND ASPHALT PAVING SHALL BE PROVIDED BY THE CONTRACTOR. BOULDER WALLS, WALKS AND LANDSCAPING SHALL BE PROVIDED BY THE LANDSCAPING CONTRACTOR.
3. EXCESS SOIL FROM EXCAVATION SHALL BE STOCKPILED ON SITE.

APPROVED - FINAL
FINAL APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 6, 2023

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Table with 2 columns: DATE, DESCRIPTION. Includes entries for 12.09.22 REVIEW and 03.10.23 APPROVAL SET.

JOB NO. 2136
DRAWN BY: SDJ
CHECK BY: NAL

GROMLEY RESIDENCE
MACQUINAC ISLAND, MI
SPECIFICATIONS & NOTES

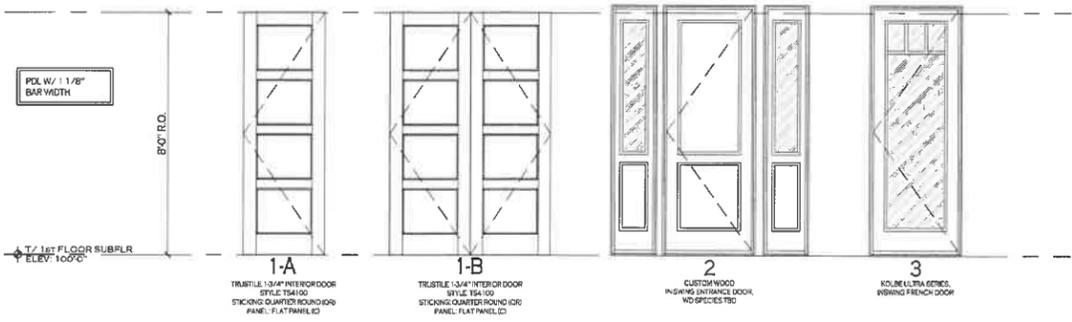
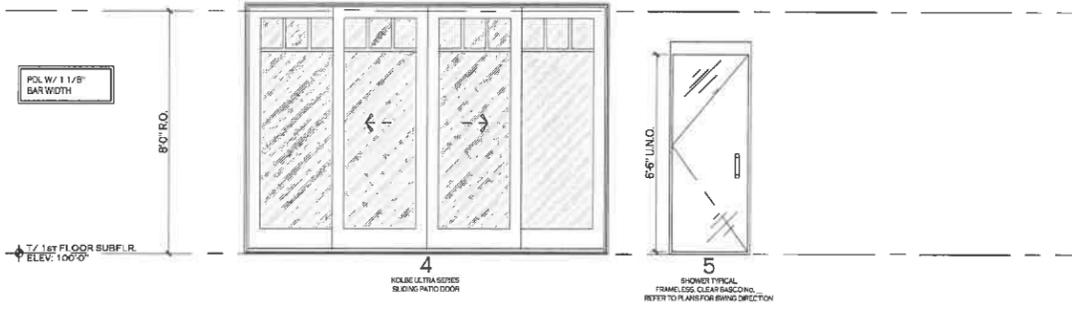
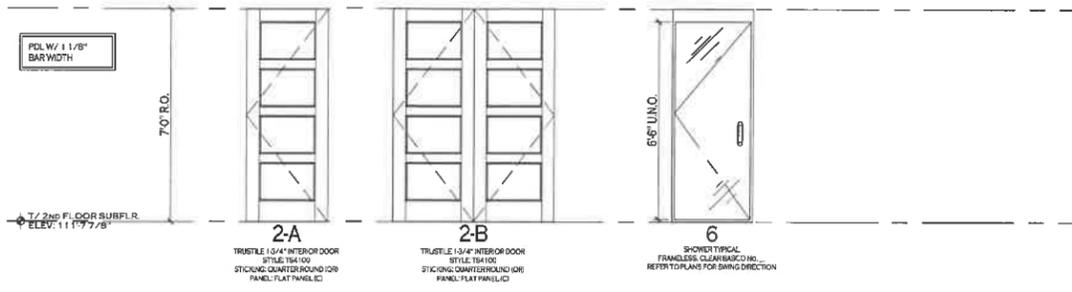
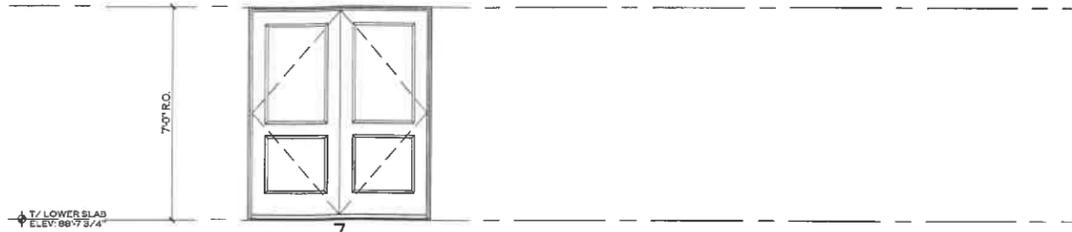
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 STONE BROOK OWNERS' ASSOCIATION
 ARCHITECTURAL CONTROL COMMITTEE
 APRIL 6, 2023

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FLOOR	UNIT	ROOM	DOOR OR UNIT SIZE (WIDTH X HEIGHT)	DOOR			FRAME	HARDWARE	REMARKS (ALL EXTERIOR DOORS GLAZING TO BE TEMPERED, INSULATED, LOW E, ARGON U.N.C.)
				TYPE	MATERIAL	FINISH			
FIRST FLOOR	101-1	101- ENTRY	3'-0" x 8'-0"	2	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY	
	102-1	102- WALK-IN-CLOSET	2'-0" x 8'-0"	1-A	WOOD	PTD.	WOOD	PASS	
	103-1	103- POWDER ROOM	2'-0" x 8'-0"	1-A	WOOD	PTD.	WOOD	PRIV.	
	104-1	104- LAUNDRY	3'-0" x 8'-0"	1-A	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY	
	104-2	104- LAUNDRY	2'-0" x 8'-0"	1-A	WOOD	PTD.	WOOD	PASS	POCKET DOOR
	105-1	105- PANTRY	2'-0" x 8'-0"	1-A	WOOD	PTD.	WOOD	PASS	
	107-1	107- DINING	3'-0" x 8'-0"	1-A	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY	
	108-1	108- LIVING	12'-0" x 8'-3 3/32"	4	T/G	ST. / VAR.	WOOD	ENTRY	SLIDING GLASS DOOR (7)
	109-2	109- LIVING	2'-8" x 8'-0"	1-A	WOOD	PTD.	WOOD	MANUF. ENTRY	
	109-2	109- LIVING	2'-8" x 8'-0"	1-A	WOOD	PTD.	WOOD	MANUF. ENTRY	
	110-1	110- M. BED	2'-8" x 8'-0"	1-A	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY	
	110-2	110- M. BED	3'-0" x 8'-0"	3	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY	
	111-1	111- M. CLOSET	5'-0" x 8'-0"	2A	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY	
112-1	112- M. BATH	2'-8" x 8'-0"	1-A	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY		
112-2	112- M. BATH	2'-0" x 8'-0"	1-A	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY		
113-1	113- M. SHOWER	2'-2" x 7'-0"	5	T/G	-	P.N.	-	TEMPERED CLEAR GLASS	
SECOND FLOOR	201-1	201- UPPER HALL	2'-6" x 8'-0"	2A	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY	
	201-2	201- UPPER HALL	2'-4" x 8'-0"	2A	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY	
	202-1	202- BED #2	2'-8" x 8'-0"	2A	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY	
	203-1	203- CLOS #2	2'-6" x 8'-0"	2B	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY	
	204-1	204- BATH #2	2'-6" x 8'-0"	2A	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY	
	205-1	205- SHOWER #2	2'-2" x 7'-0"	5	T/G	-	P.N.	-	TEMPERED CLEAR GLASS
	206-1	206- BED #3	2'-8" x 8'-0"	2A	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY	
	206-2	206- BED #3	2'-6" x 8'-0"	2B	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY	
	207-1	207- BED #4	2'-8" x 8'-0"	2A	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY	
	208-1	208- WALK-IN-CLOSET #3	2'-8" x 8'-0"	2A	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY	POCKET DOOR
	209-1	209- BATH #3	2'-8" x 8'-0"	2A	WOOD	ST. / VAR.	WOOD	MANUF. ENTRY	
210-1	210- SHOWER #3	2'-2" x 7'-0"	5	T/G	-	P.N.	-	TEMPERED CLEAR GLASS	
LOWER LEVEL	001-1	001- STORAGE	6'-0" x 7'-0"	7	F/G	PTD.	WOOD	MANUF. ENTRY	

- NOTES:
- REFER TO FLOOR PLANS FOR SWING DIRECTION / ACTIVE/INACTIVE PANELS
 - POL BARS: 2" DIA. BEVELLED HEAD
 - HARDWARE SELECTIONS:
 - DOUBLE HING.
 - CASEMENT / HINGING.
 - SLIDING PATIO DOOR.
 - EXTERIOR PATIO DOOR.
 - LIFT & SLIDE POCKET DOOR.
 - SCREEN COLOR.



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ISSUED DATE	DESCRIPTION
12.09.22	REVIEW
09.10.23	APPROVAL SET

JOB NO. 2136
 DRAWN BY: SDJ
 CHECK BY: NAL

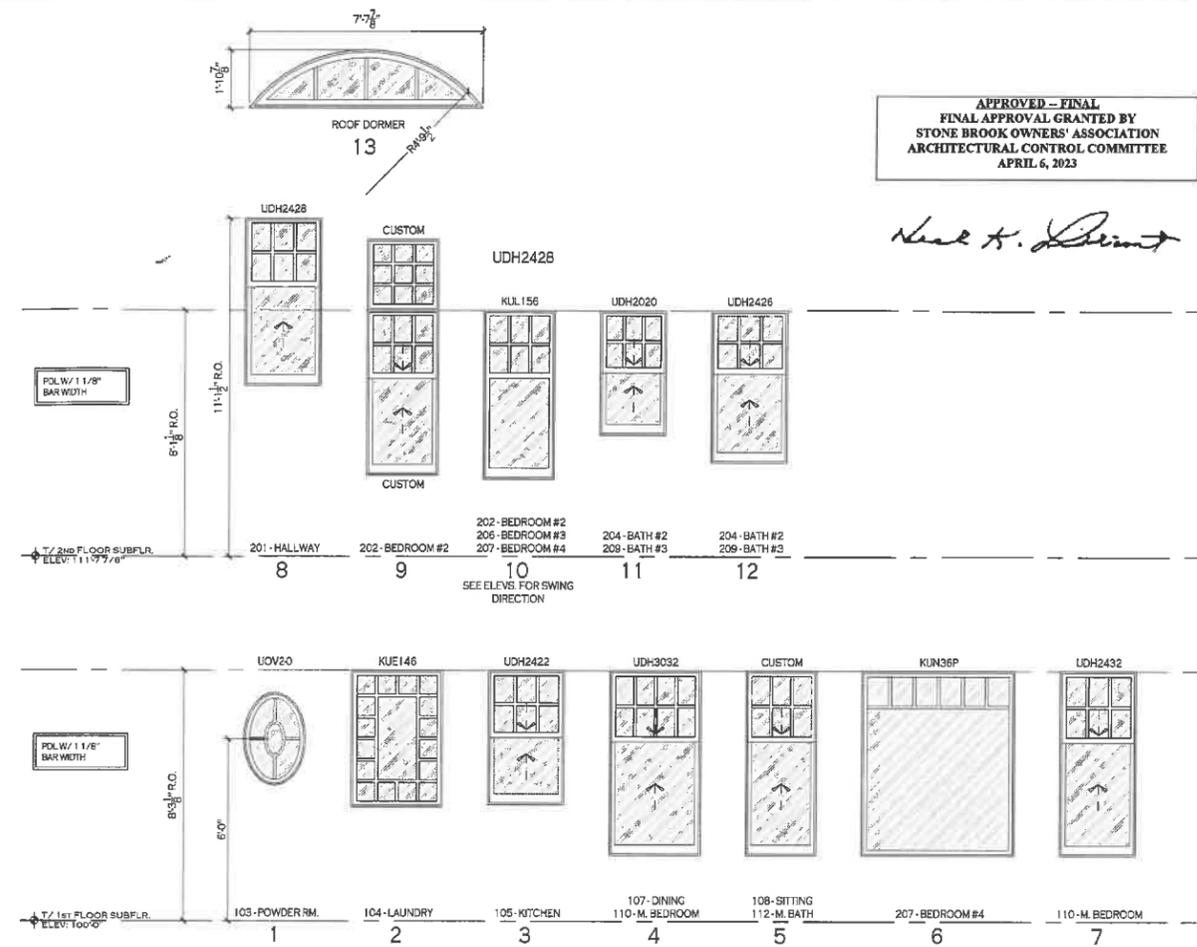
GROMLEY RESIDENCE
 MACRINAC ISLAND, MI
 DOOR SCHEDULE

SHEET NO. A4.1

WINDOW SCHEDULE

UNIT	ROOM	MANUFACTURER'S # (MOLBE 9 MOLBE STERLING SERIES, COLOR TBD)	UNIT DIMENSIONS W x H - VERIFY ROUGH OPENING W/ MANUF DETAILS	HEADER HEIGHT ABOVE SUB-FLOOR	UNIT TYPE	UNIT OPERATION	GLAZING REMARKS (ALL WINDOWS TO BE LOW E/ INSULATED / ARGON LUNO)	ADDITIONAL REMARKS (SEE NOTE BELOW SCHEDULE FOR PDL / SPACER BAR SIZE)
103A	103- POWDER ROOM	UDV20	2'-0 1/2" x 9'-0 1/2"	7'-6"	1	FIXED		
104A	104- LAUNDRY	KUE146	3'-0 1/2" x 4'-6 1/2"	8'-3 3/32"	2	FIXED		
105A	105- KITCHEN	UDH2428	2'-6" x 4'-6"	8'-3 3/32"	3	DOUBLE HUNG		
107A	107- DINING	UDH3032	3'-0" x 6'-1"	8'-3 3/32"	4	COTTAGE		
107B	107- DINING	UDH3032	3'-0" x 6'-1"	8'-3 3/32"	4	COTTAGE		
107C	107- DINING	UDH3032	3'-0" x 6'-1"	8'-3 3/32"	4	COTTAGE		
108A	108- SITTING	CUSTOM- SEE DETAIL	2'-4" x 6'-1"	8'-3 3/32"	5	COTTAGE		
108B	108- SITTING	CUSTOM- SEE DETAIL	2'-4" x 6'-1"	8'-3 3/32"	5	COTTAGE		
108C	108- SITTING	KUN96P	5'-1/2" x 6'-1"	8'-3 3/32"	6	FIXED		
108D	108- SITTING	CUSTOM- SEE DETAIL	2'-4" x 6'-1"	8'-3 3/32"	5	COTTAGE		
108E	108- SITTING	CUSTOM- SEE DETAIL	2'-4" x 6'-1"	8'-3 3/32"	5	COTTAGE		
110A	110- M. BED	UDH3032	3'-0" x 6'-1"	8'-3 3/32"	4	COTTAGE		
110B	110- M. BED	UDH3032	3'-0" x 6'-1"	8'-3 3/32"	4	COTTAGE		
110C	110- M. BED	UDH2432	2'-6" x 6'-1"	8'-3 3/32"	7	COTTAGE		
110D	110- M. BED	UDH2432	2'-6" x 6'-1"	8'-3 3/32"	7	COTTAGE		
112A	112- M. BATH	CUSTOM- SEE DETAIL	2'-4" x 6'-1"	8'-3 3/32"	5	COTTAGE		
112B	112- M. BATH	CUSTOM- SEE DETAIL	2'-4" x 6'-1"	8'-3 3/32"	5	COTTAGE		
112C	112- M. BATH	CUSTOM- SEE DETAIL	2'-4" x 6'-1"	8'-3 3/32"	5	COTTAGE		
112D	112- M. BATH	CUSTOM- SEE DETAIL	2'-4" x 6'-1"	8'-3 3/32"	5	COTTAGE		
112E	112- M. BATH	CUSTOM- SEE DETAIL	2'-4" x 6'-1"	8'-3 3/32"	5	COTTAGE		
112F	112- M. BATH	CUSTOM- SEE DETAIL	2'-4" x 6'-1"	8'-3 3/32"	5	COTTAGE		
201A	201- UPPER HALL	UDH2428	2'-6" x 5'-6"	11'-1 1/2"	8	COTTAGE		
201B	201- UPPER HALL	UDH2428	2'-6" x 5'-6"	11'-1 1/2"	8	COTTAGE		
201C	201- UPPER HALL	UDH2428	2'-6" x 5'-6"	11'-1 1/2"	8	COTTAGE		
201D	201- UPPER HALL	UDH2428	2'-6" x 5'-6"	11'-1 1/2"	8	COTTAGE		
201E	201- UPPER HALL	UDH2428	2'-6" x 5'-6"	11'-1 1/2"	8	COTTAGE		
202A	202- BED #2	KUL156	2'-4 1/2" x 5'-6 1/2"	8'-1 1/8"	10	CSMT	EGRESS, 2 1/4" CHECK RAIL	
202B	202- BED #2	KUL156	2'-4 1/2" x 5'-6 1/2"	8'-1 1/8"	10	CSMT	EGRESS, 2 1/4" CHECK RAIL	
202C	202- BED #2	CUSTOM- SEE DETAIL	2'-4" x 5'-5 1/2" x 2'-4" x 2'-4"		9	COTTAGE/FIXED		
202D	202- BED #2	CUSTOM- SEE DETAIL	2'-4" x 5'-5 1/2" x 2'-4" x 2'-4"		9	COTTAGE/FIXED		
202E	202- BED #2	CUSTOM- SEE DETAIL	2'-4" x 5'-5 1/2" x 2'-4" x 2'-4"		9	COTTAGE/FIXED		
202F	202- BED #2	CUSTOM- SEE DETAIL	2'-4" x 5'-5 1/2" x 2'-4" x 2'-4"		9	COTTAGE/FIXED		
202G	202- BED #2	CUSTOM- SEE DETAIL	2'-4" x 5'-5 1/2" x 2'-4" x 2'-4"		9	COTTAGE/FIXED		
202H	202- BED #2	CUSTOM- SEE DETAIL	2'-4" x 5'-5 1/2" x 2'-4" x 2'-4"		9	COTTAGE/FIXED		
204A	204- BATH #2	UDH2020	2'-2" x 4'-1"	8'-1 1/8"	11	DOUBLE HUNG		
204B	204- BATH #2	UDH2428	2'-6" x 5'-1"	8'-1 1/8"	12	COTTAGE		
204C	204- BATH #2	UDH2428	2'-6" x 5'-1"	8'-1 1/8"	12	COTTAGE		
206A	206- BED #3	KUL156	2'-4 1/2" x 5'-6 1/2"	8'-1 1/8"	10	CSMT	EGRESS, 2 1/4" CHECK RAIL	
206B	206- BED #3	KUL156	2'-4 1/2" x 5'-6 1/2"	8'-1 1/8"	10	CSMT	EGRESS, 2 1/4" CHECK RAIL	
206C	206- BED #3	KUL156	2'-4 1/2" x 5'-6 1/2"	8'-1 1/8"	10	CSMT	EGRESS, 2 1/4" CHECK RAIL	
207A	207- BED #4	KUL156	2'-4 1/2" x 5'-6 1/2"	8'-1 1/8"	10	CSMT	EGRESS, 2 1/4" CHECK RAIL	
207B	207- BED #4	KUL156	2'-4 1/2" x 5'-6 1/2"	8'-1 1/8"	10	CSMT	EGRESS, 2 1/4" CHECK RAIL	
207C	207- BED #4	KUL156	2'-4 1/2" x 5'-6 1/2"	8'-1 1/8"	10	CSMT	EGRESS, 2 1/4" CHECK RAIL	
207D	207- BED #4	KUL156	2'-4 1/2" x 5'-6 1/2"	8'-1 1/8"	10	CSMT	EGRESS, 2 1/4" CHECK RAIL	
207E	207- BED #4	KUL156	2'-4 1/2" x 5'-6 1/2"	8'-1 1/8"	10	CSMT	EGRESS, 2 1/4" CHECK RAIL	
208A	208- BATH #3	UDH2428	2'-6" x 5'-1"	8'-1 1/8"	12	COTTAGE		
208B	208- BATH #3	UDH2428	2'-6" x 5'-1"	8'-1 1/8"	12	COTTAGE		
209C	209- BATH #3	UDH2020	2'-2" x 4'-1"	8'-1 1/8"	11	DOUBLE HUNG		
301A	ROOF DORMER	CUSTOM- SEE DETAIL	CUSTOM- SEE DETAIL	CUSTOM- SEE DETAIL	13	CUSTOM		

- NOTES:
- REFER TO FLOOR PLANS FOR SWING DIRECTION / ACTIVE / INACTIVE PANELS
 - PDL BARS 7/8" - BEVELED BEAD
 - HARDWARE SELECTIONS:
 - 3.1. DOUBLE HUNG: TBD
 - 3.2. CASEMENT / AWNING: TBD
 - 3.3. SLIDING PATIO DOOR: TBD
 - 3.4. EXTERIOR PATIO DOOR: TBD
 - 3.5. LIFT & SLIDE POCKET DOOR: TBD
 - SCREEN COLOR: TBD



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STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 6, 2023

Neal H. Luebner

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ISSUED	DATE	DESCRIPTION
	12.09.22	REVIEW
	03.10.23	APPROVAL SET

JOB NO. 2136
DRAWN BY: SDJ
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GROMLEY RESIDENCE
MACONAC ISLAND, MI
WINDOW SCHEDULE

SHEET NO. A4.2

WINDOW ROUGH OPENING HEIGHTS TO BE SET BY EXTERIOR DOOR UNIT ROUGH OPENING HEIGHT SO THAT INTERIOR HEAD TRIM IS AT SAME HEIGHT TYPICAL.

APPROVED - FINAL
FINAL APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 6, 2023

Neil H. Shinn

REFER TO SHEET A0.2 FOR GENERAL AND INTERIOR SPECIFICATIONS AND NOTES

VERIFY ALL FINISHES WITH OWNER PRIOR TO PLACING FINAL ORDERS

FINISH SCHEDULE LEGEND

- B-1 BASEBOARD, POPLAR U.N.O.- DETAIL ON SHEET A5.1
- BEAM BEAM PROFILE- DETAIL ON SHEET A5.1
- CBW COTTAGE BOARD 5" EXPOSURE
- CONC. CONCRETE
- CPT-1 CARPET
- CM-1 1-PIECE CROWN- DETAIL ON SHEET A5.1
- CM-2 2-PIECE CROWN- DETAIL ON SHEET A5.1
- C.T. CERAMIC TILE
- DWFC 5/8" DRYWALL FIRECODE
- DWMR 5/8" DRYWALL MOISTURE RESISTANT
- EPOXY INDUSTRIAL FLOOR FINISH
- HDWD(A) HARDWOOD FLOORING, SPEC TBD
- HDWD(B) HARDWOOD FLOORING, SPEC TBD
- P.T. PORCELAIN TILE
- PTD PAINTED, SEE SHEET A0.2
- PLYWD 3/4" T & G PLYWOOD (U.N.O.)
- SIDING SEE EXTERIOR ELEVATIONS
- ST./VAR. STAIN AND VARNISH. SEE SHEET A0.2
- STONE-1 STONE FINISHED SURFACE, THICKNESS TBD, SEALER TBD
- UNF. UNFINISHED
- U.N.O. UNLESS NOTED OTHERWISE
- W.T. WALLPAPER / GRASS CLOTH- SEE INTERIOR DESIGNER
- WD WOOD
- 1x_BB T&G BEAD BOARD, POPLAR U.N.O.
- 1x_MV MINI V-GROOVE, POPLAR U.N.O.
- 1x_V V-GROOVE, POPLAR U.N.O.
- 1x_NS NICKEL SLOT, POPLAR U.N.O.
- 1x_PANEL RECESSED PANELING w/ 1x TRIM, WD SPECIES U.N.O.

ROOM FINISH SCHEDULE												
	ROOM NUMBER	ROOM NAME	FLOOR		WALL			CEILING			REMARKS	
			MATERIAL	FINISH	BASE MLDG.	MATERIAL	FINISH	MATERIAL	FINISH	CROWN MLDG.		HEIGHT
FIRST FLOOR	101	ENTRY	SHLUETER	P.T.	B-1	DWFC	PTD.	DWFC	PTD.	CM-1	9'-11 3/4"	
	102	WALKIN CLOSET	PLYWD	WD	B-1	DWFC	PTD.	DWFC	PTD.			
	103	POWDER ROOM	THINSET ON PLYWD	P.T.	B-1	DWFC	PTD.	DWFC	PTD.			
	104	LAUNDRY	PLYWD	WD	B-1	DWFC	PTD.	DWFC	PTD.			
	105	KITCHEN	PLYWD	WD	B-1	DWFC	PTD.	DWFC	PTD.	CM-1		
	106	PANTRY	PLYWD	WD	B-1	DWFC	PTD.	DWFC	PTD.			
	107	DINING	PLYWD	WD	B-1	DWFC	PTD.	DWFC	PTD.	CM-1		
	108	SITTING	PLYWD	WD	B-1	DWFC	PTD.	DWFC	PTD.	CM-1		
	109	LIVING	PLYWD	WD	B-1	DWFC	PTD.	DWFC	PTD.	CM-1		
	110	M. BED	PLYWD	WD	B-1	DWFC	PTD.	DWFC	PTD.			
	111	M. CLOS	PLYWD	WD	B-1	DWFC	PTD.	DWFC	PTD.			
	112	M. BATH	THINSET ON PLYWD	P.T.	B-1	DWFC	PTD.	DWFC	PTD.			
	113	M. SHWR	SHLUETER	P.T.		SHLUETER	P.T.	SHLUETER	P.T.			
SECOND FLOOR	201	201-UPPER HALL	PLYWD	WD	B-1	DWFC	PTD.	DWFC	PTD.	CM-1		
	202	202-BED #2	PLYWD	WD	B-1	DWFC	PTD.	DWFC	PTD.	CM-1		
	203	203-CLOS #2	PLYWD	WD	B-1	DWFC	PTD.	DWFC	PTD.	CM-1		
	204	204-BATH #2	THINSET ON PLYWD	P.T.	B-1	DWFC	PTD.	DWFC	PTD.	CM-1		
	205	205-SHOWER #2	SHLUETER	P.T.		SHLUETER	P.T.	SHLUETER	P.T.			
	206	206-BED #3	PLYWD	CPT	B-1	DWFC	PTD.	DWFC	PTD.	CM-1		
	207	207-BED #4	PLYWD	CPT	B-1	DWFC	PTD.	DWFC	PTD.	CM-1		
	208	208-WALKIN CLOSET #3	PLYWD	CPT	B-1	DWFC	PTD.	DWFC	PTD.	CM-1		
	209	209-BATH #3	THINSET ON PLYWD	P.T.	B-1	DWFC	PTD.	DWFC	PTD.	CM-1		
	210	210-SHOWER #3	SHLUETER	P.T.		SHLUETER	P.T.	SHLUETER	P.T.			
LOWER LEVEL	001	001-STORAGE	CONCRETE	SEALED		DWFC	PTD.	DWFC	PTD.			
	002	002-BIKE STORAGE	GRAVEL				STONE-1					
STAIRS	S1	STAR-1	HWWD	ST/V		DWFC	PTD.	DWFC	PTD.			
PORCHES	P1	ENTRY PORCH	TIMBERTEK			CBW	PTD.	1x_BB	PTD.	CM-1		
	P2	SIDE PORCH	TIMBERTEK			CBW	PTD.	1x_BB	PTD.	CM-1		
	P3	LAKE PORCH	TIMBERTEK			CBW	PTD.	1x_BB	PTD.	CM-1		

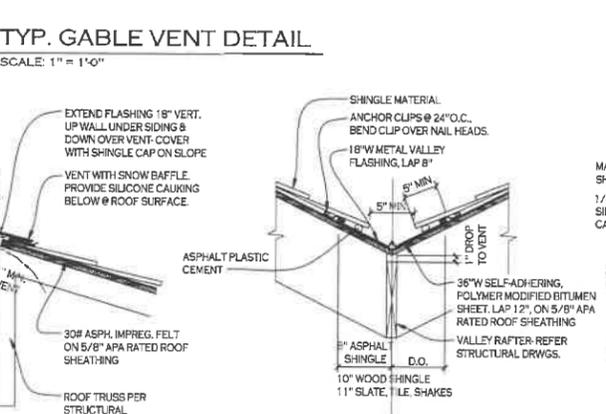
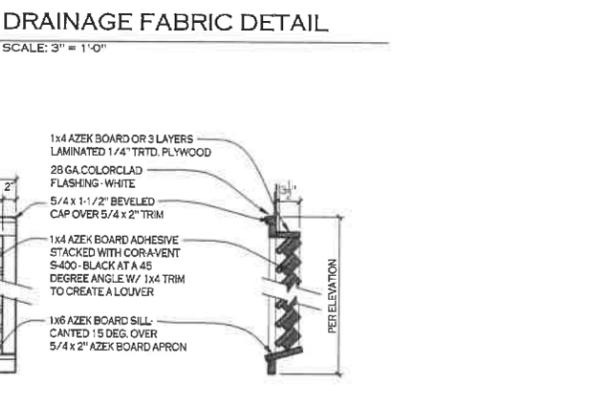
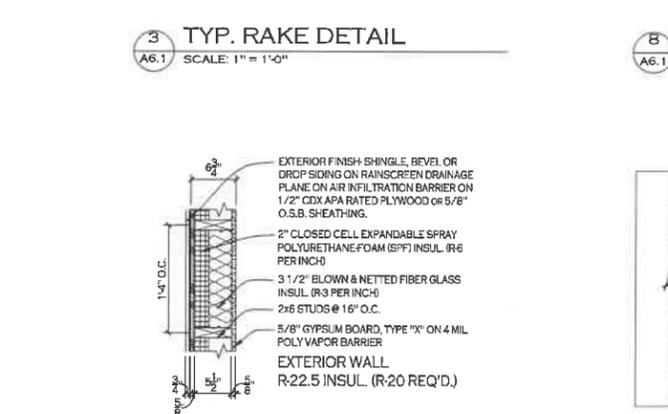
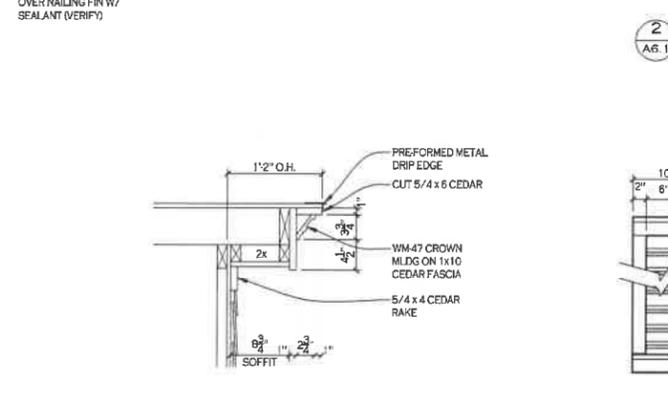
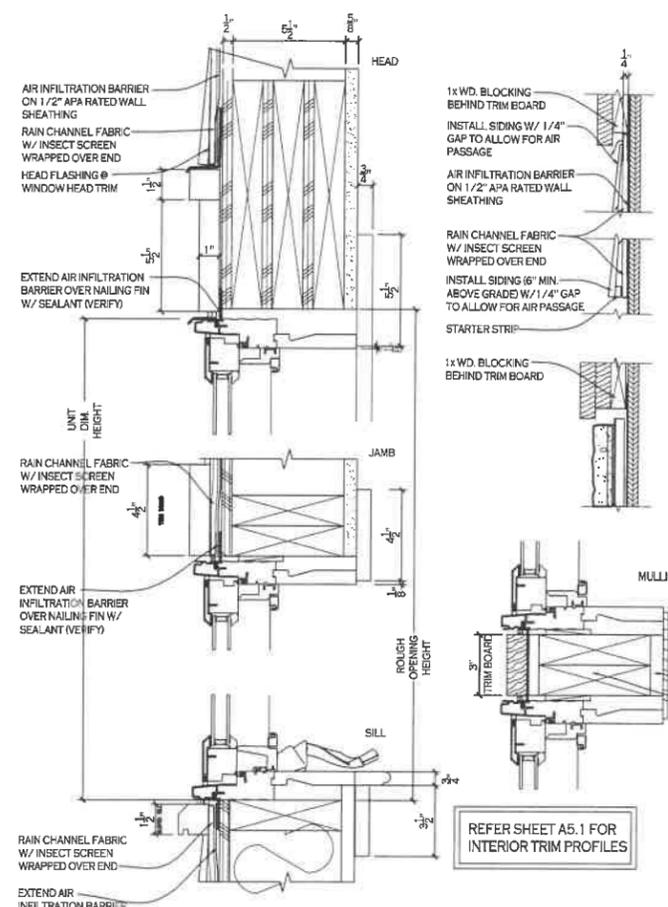
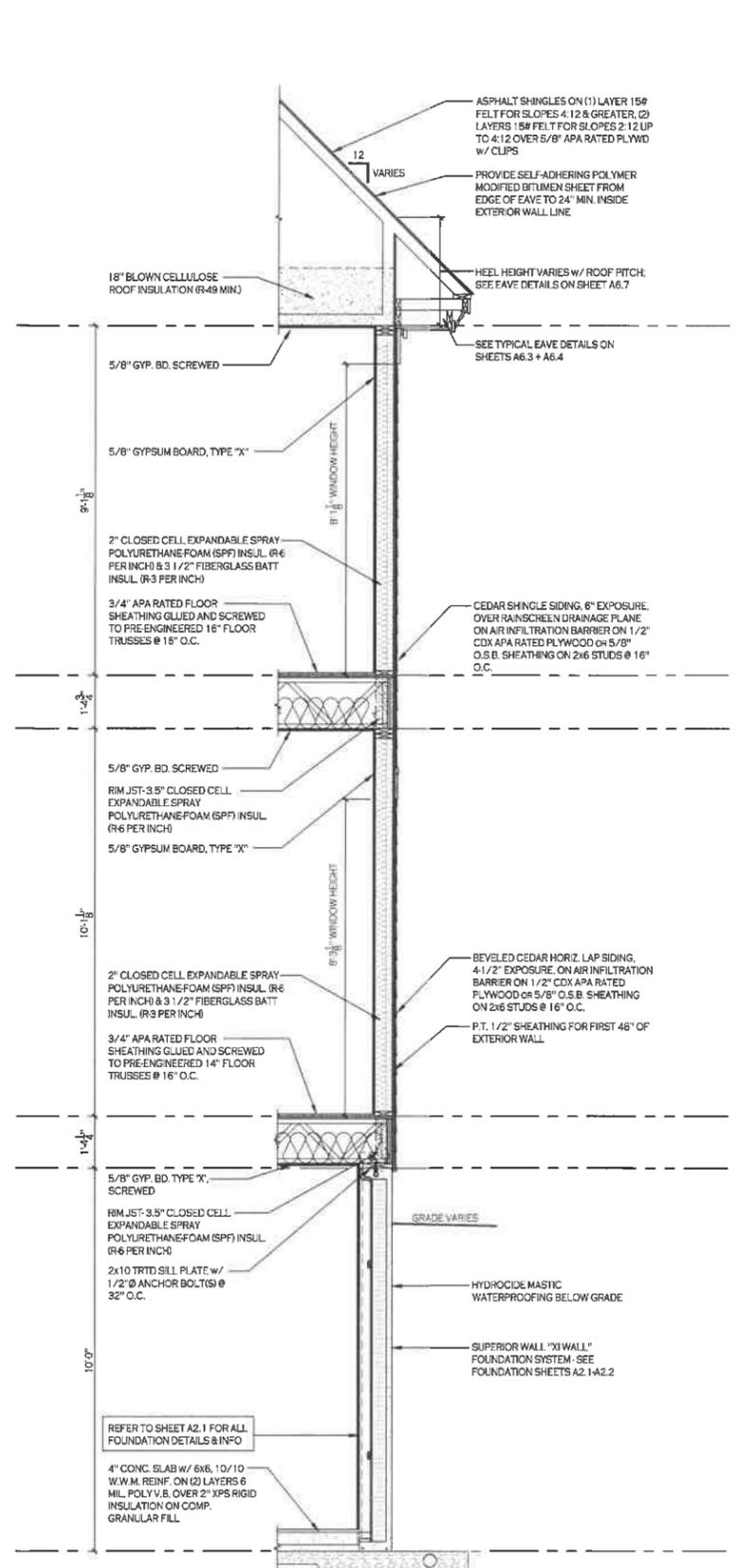
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ISSUED	
DATE	DESCRIPTION
12.09.22	REVIEW
08.10.23	APPROVAL SET

JOB NO. **2136**
DRAWN BY: SDJ
CHECK BY: NAL

GROMLEY RESIDENCE
MACKINAC ISLAND, MI
FINISH SCHEDULE

SHEET NO. **A4.3**



INSTALLATION W/ INSULATION BOARD

1. INSTALL SIDING MATERIAL OVER STUDS AND APPLY WATER RESISTIVE BARRIER PER MANUFACTURER'S INSTRUCTIONS. INSTALL INSULATION BOARD OVER THE WALL SURFACE PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. INSTALL HOME SLICKER AFTER WINDOWS ARE PROPERLY INSTALLED AND FLASHED. REFER TO WINDOW INSTALLATION DETAILS ON FLASHING INTEGRATION.
2. ROLL OUT HOME SLICKER (OVER THE INSULATION BOARD) WHEREVER SIDING OR CLADDING WILL BE APPLIED WITH CHANNELS RUNNING VERTICALLY. DO NOT STRETCH HOME SLICKER - IT SHOULD LIE FLAT AGAINST THE WALL. NAIL OR STAPLE MIN. 1/2" STAPLED EVERY 3 SQUARE FEET. (FOR STUCCO OR STONE APPLICATIONS, PLEASE REFER TO INSTALLATION INSTRUCTIONS FOR MORTAR/VENT.)
3. BUTT EDGES OF NEW ROLLS OR NEW COURSES TOGETHER - DO NOT OVERLAP LAYERS OF HOME SLICKER. COVER ENTIRE WALL SURFACE WHEREVER SIDING MATERIALS WILL BE INSTALLED.
4. INSTALL SIDING OR CLADDING SYSTEM OVER WALL SURFACE WITHIN 30 DAYS OF HOME SLICKER APPLICATION PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALLOW FOR THICKNESS OF HOME SLICKER IN NAIL SELECTION. DO NOT OVERNAIL.

INSTALLATION W/O INSULATION BOARD

1. INSTALL SIDING MATERIAL OVER STUDS AND APPLY WATER RESISTIVE BARRIER PER MANUFACTURER'S INSTRUCTIONS. INSTALL HOME SLICKER AFTER WINDOWS ARE PROPERLY INSTALLED AND FLASHED. REFER TO WINDOW INSTALLATION DETAILS ON FLASHING INTEGRATION.
2. ROLL OUT HOME SLICKER WHEREVER SIDING OR CLADDING WILL BE APPLIED WITH CHANNELS RUNNING VERTICALLY. DO NOT STRETCH HOME SLICKER - IT SHOULD LIE FLAT AGAINST THE WALL. NAIL OR STAPLE MIN. 1/2" STAPLED EVERY 3 SQUARE FEET. (FOR STUCCO OR STONE APPLICATIONS, PLEASE REFER TO INSTALLATION INSTRUCTIONS FOR MORTAR/VENT.)
3. BUTT EDGES OF NEW ROLLS OR NEW COURSES TOGETHER - DO NOT OVERLAP LAYERS OF HOME SLICKER. COVER ENTIRE WALL SURFACE WHEREVER SIDING MATERIALS WILL BE INSTALLED.
4. INSTALL SIDING OR CLADDING SYSTEM OVER WALL SURFACE WITHIN 30 DAYS OF HOME SLICKER APPLICATION PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALLOW FOR THICKNESS OF HOME SLICKER IN NAIL SELECTION. DO NOT OVERNAIL.

CORNER DETAIL

APPLY TRIM BOARDS TO OUTSIDE AND INSIDE CORNERS OR SIMILAR SMALLER TRIM BOARDS OUT TO ACCOUNT FOR HOME SLICKER THICKNESS. INSTALL HOME SLICKER UP TO TRIM BOARD AND BUTT EDGE OF HOME SLICKER AGAINST TRIM BOARD. THIS GIVES THE ADDED BENEFIT OF "COMPARTMENTALIZING" EACH WALL SECTION, WHICH WILL ASSIST IN PRESSURE EQUALIZATION TO HELP REDUCE WATER INTRUSION.

OPTIONALLY, HOME SLICKER MAY BE INSTALLED UNDER TRIM BOARDS AS WELL.

NOTES

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. PRIOR TO HOME SLICKER INSTALLATION, INSTALL SIDING MATERIAL OVER WALL STUDS AND APPLY HOUSEWRAP OR BUILDING PAPER PER MANUFACTURER'S INSTRUCTIONS.

NAIL SELECTION INFORMATION

WOOD SIDING

ALL NAILS ARE REQUIRED TO MEET THE FOLLOWING CONDITIONS:

- SIDING OR BOX NAIL
- BLUNT-TIPPED TO REDUCE SPLITTING
- RING OR SPIRAL-THREADED SHANKS TO PROVIDE INCREASED HOLDING POWER
- STAINLESS STEEL, HOT-DIPPED GALVANIZED, OR ALUMINUM FOR CORROSION RESISTANCE. MINIMUM 1 1/4" PENETRATION INTO STUDS

PNEUMATIC NAIL GUNS CAN BE USED IF COLLATED NAILS MEET PRIOR RECOMMENDATIONS AND THE AIR PRESSURE AND DEPTH GAUGE IS SET SO THAT NAIL IS DRIVEN SNUG WITH THE SURFACE. (DO NOT OVERDRIVE NAILS)

FOR FURTHER INFORMATION, CONSULT THE WESTERN RED CEDAR LUMBER ASSOCIATION (WRCLA) OR THE WESTERN WOOD PRODUCTS ASSOCIATION (WWPA)

NOTE: TO PREVENT BLEEDING AND CORROSIVE STAINING, USE ONLY STAINLESS STEEL NAILS IN THE FOLLOWING SITUATIONS: NO STAIN ON SIDING, CLEAR OR SEMI-TRANSPARENT STAIN ON SIDING, OR AN APPLICATION THAT IS SUBJECT TO SEACOAST EXPOSURE.

WOOD SHINGLES / SHAKES

ALL NAILS ARE REQUIRED TO MEET THE FOLLOWING CONDITIONS:

- SIDING OR ROOFING NAIL
- HOT-DIPPED GALVANIZED OR STAINLESS STEEL FOR CORROSION RESISTANCE
- MINIMUM 1 1/4" PENETRATION INTO STUDS

PNEUMATIC NAIL GUNS CAN BE USED IF COLLATED NAILS MEET PRIOR RECOMMENDATIONS AND THE AIR PRESSURE AND DEPTH GAUGE IS SET SO THAT NAIL IS DRIVEN SNUG WITH THE SURFACE. (DO NOT OVERDRIVE NAILS)

FOR FURTHER INFORMATION, CONSULT THE CEDAR SHAKE AND SHINGLE BUREAU (CSSB).

NOTE: TO PREVENT BLEEDING AND CORROSIVE STAINING, USE ONLY STAINLESS STEEL NAILS IN THE FOLLOWING SITUATIONS: NO STAIN ON SIDING, CLEAR OR SEMI-TRANSPARENT STAIN ON SIDING, OR AN APPLICATION THAT IS SUBJECT TO SEACOAST EXPOSURE.

FIBERCEMENT PLANK & PANEL

ALL NAILS ARE REQUIRED TO MEET THE FOLLOWING CONDITIONS:

- SIDING OR ROOFING NAIL
- HOT-DIPPED GALVANIZED OR STAINLESS STEEL FOR CORROSION RESISTANCE
- MINIMUM 1 1/4" PENETRATION INTO STUDS

NOTE: THE USE OF A SIDING OR ROOFING NAIL MAY NOT BE APPLICABLE TO ALL INSTALLATIONS WHERE GREATER WINDLOADS OR WIND RESISTANCE IS REQUIRED BY THE LOCAL BUILDING CODE. REFER TO THE APPLICABLE BUILDING CODE COMPLIANCE REPORT OR FIBERCEMENT MANUFACTURER FOR MORE INFORMATION.

PNEUMATIC NAIL GUNS CAN BE USED IF COLLATED NAILS MEET PRIOR RECOMMENDATIONS AND THE AIR PRESSURE AND DEPTH GAUGE IS SET SO THAT NAIL IS DRIVEN SNUG WITH THE SURFACE. (DO NOT OVERDRIVE NAILS)

APPROVED - FINAL
FINAL APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 6, 2023

Neal K. Luebner

ISSUED	DATE	DESCRIPTION
	12.09.22	REVIEW
	03.10.23	APPROVAL SET

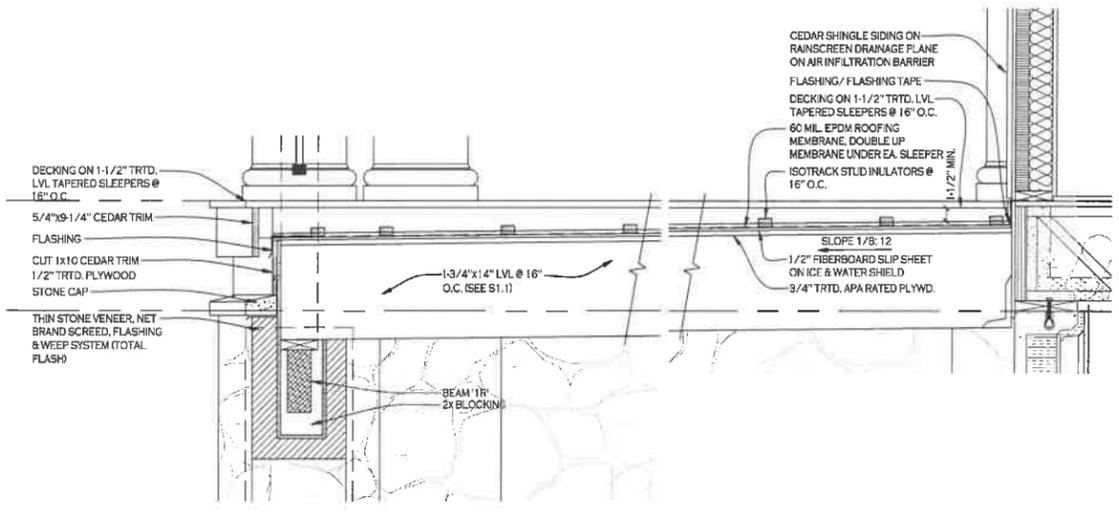
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GROMLEY RESIDENCE
MACKINAC ISLAND, MI
EXTERIOR ELEVATIONS

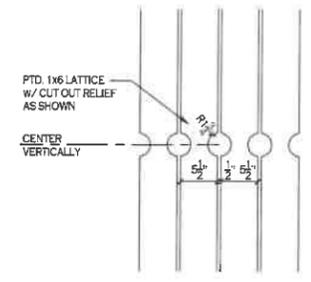
SHEET NO. A6.1

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 STONE BROOK OWNERS' ASSOCIATION
 ARCHITECTURAL CONTROL COMMITTEE
 APRIL 6, 2023

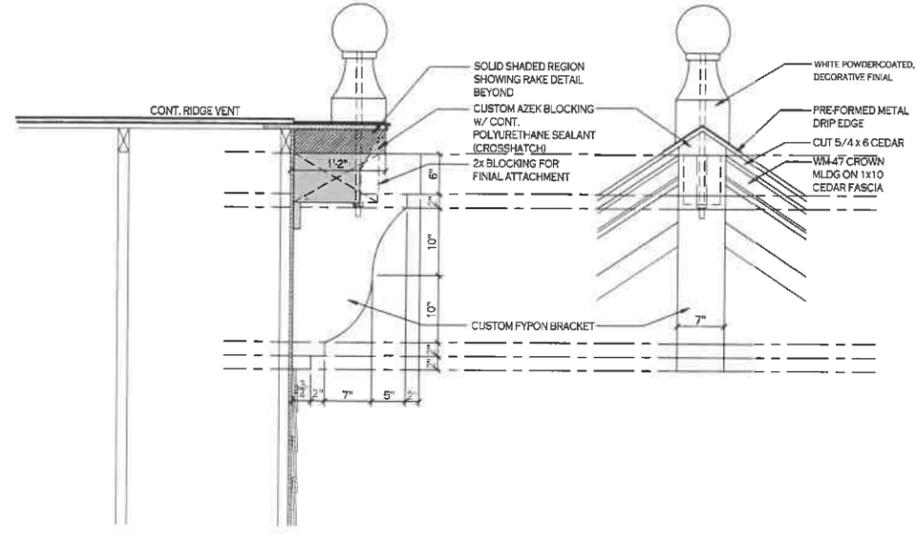
Neal H. Schmitt



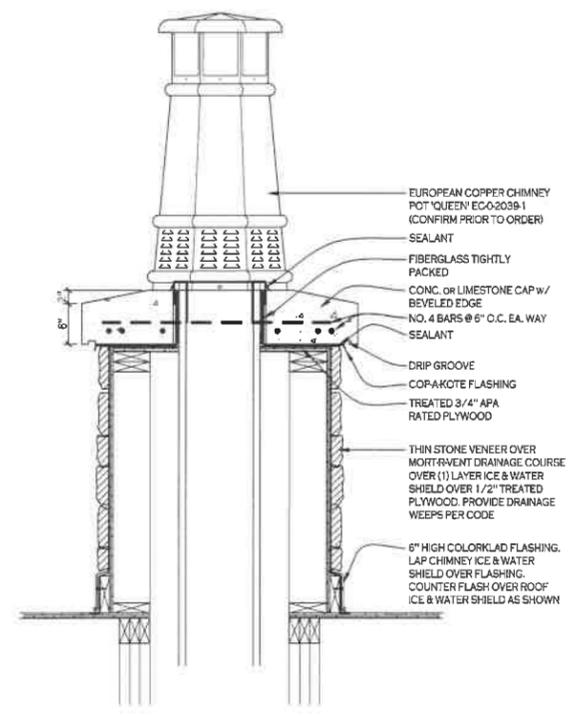
6 PORCH DRAINAGE DETAIL
 A6.2 SCALE: 1" = 1'-0"



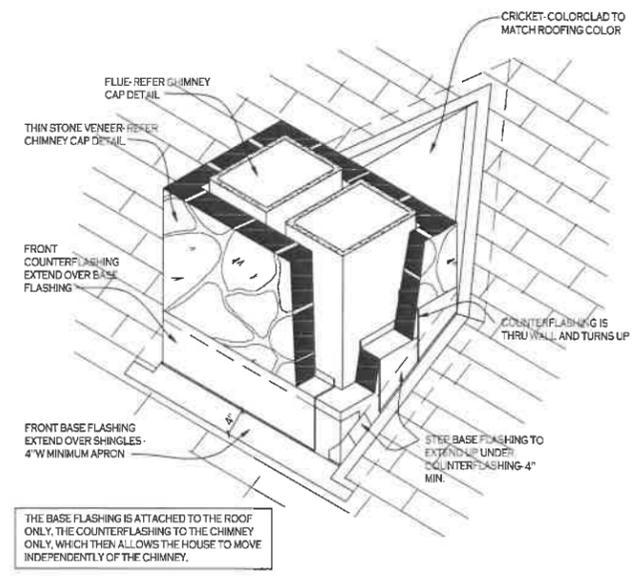
5 PORCH SKIRTING DETAIL
 A6.2 SCALE: 1" = 1'-0"



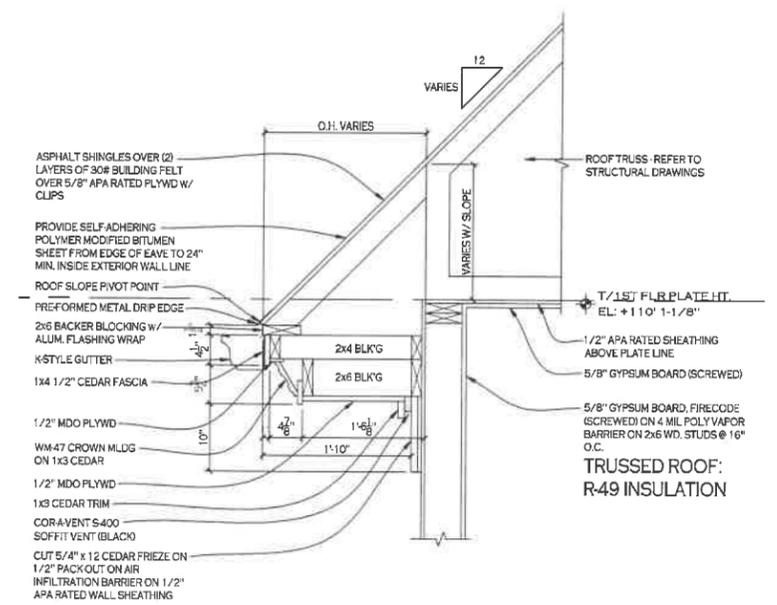
2 DECORATIVE FINIAL DETAIL
 A6.2 SCALE: 1" = 1'-0"



4 CHIMNEY CAP DETAIL
 A6.2 SCALE: 1" = 1'-0"



3 CHIMNEY FLASHING DETAIL
 A6.2 SCALE: 1" = 1'-0"



1 TYPICAL EAVE DETAIL
 A6.2 SCALE: 1" = 1'-0"

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12.09.22	REVIEW
03.10.23	APPROVAL SET

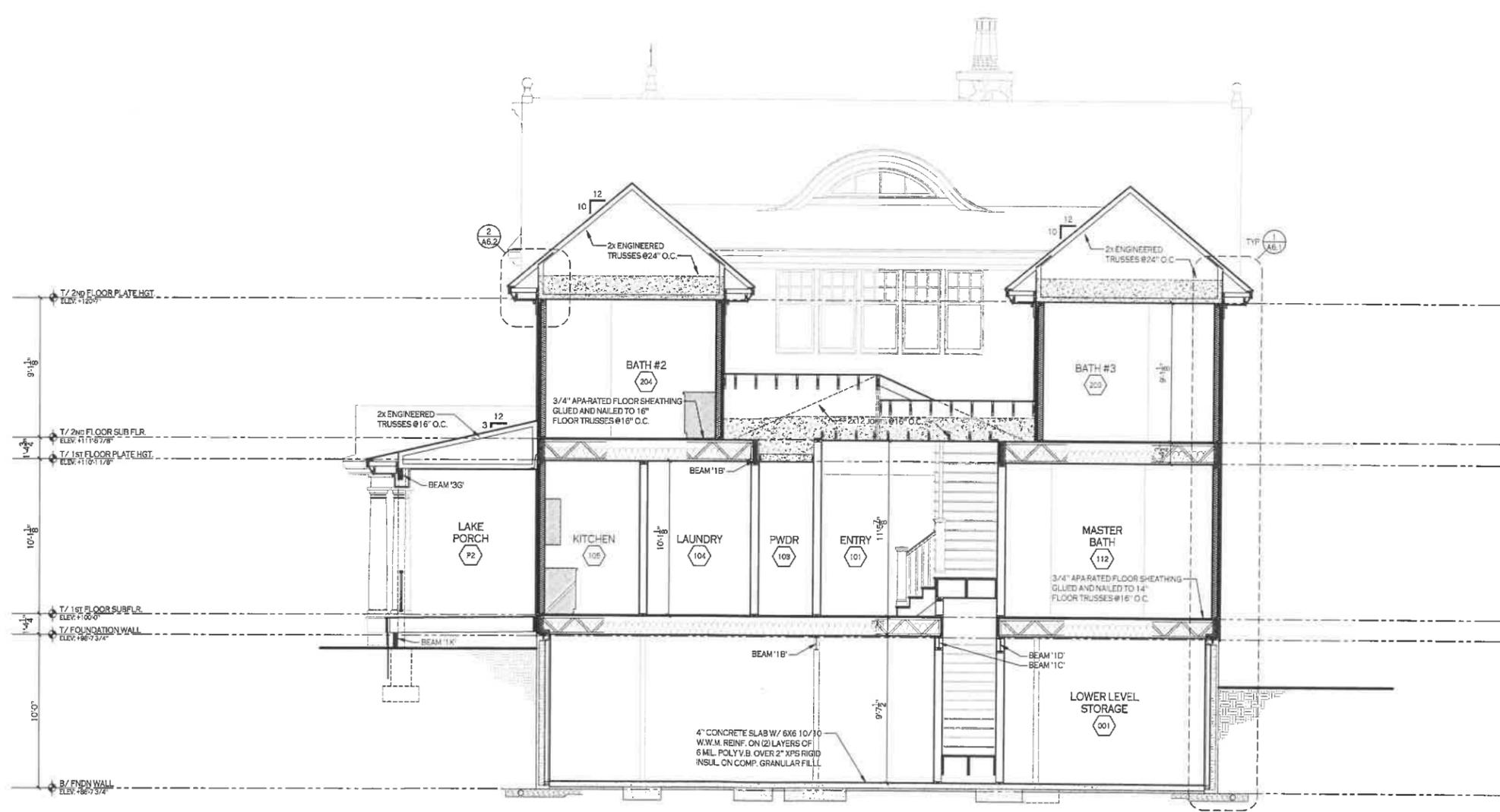
JOB NO. 2136
 DRAWN BY: SDJ
 CHECK BY: NAL

GROMLEY RESIDENCE
 MACKINAC ISLAND, MI
 BUILDING DETAILS

SHEET NO. A6.2

APPROVED - FINAL
 FINAL APPROVAL GRANTED BY
 STONE BROOK OWNERS' ASSOCIATION
 ARCHITECTURAL CONTROL COMMITTEE
 APRIL 6, 2023

Neal H. Liebler



1 BUILDING SECTION 'A'
 A6.3 SCALE: 1/4" = 1'-0"

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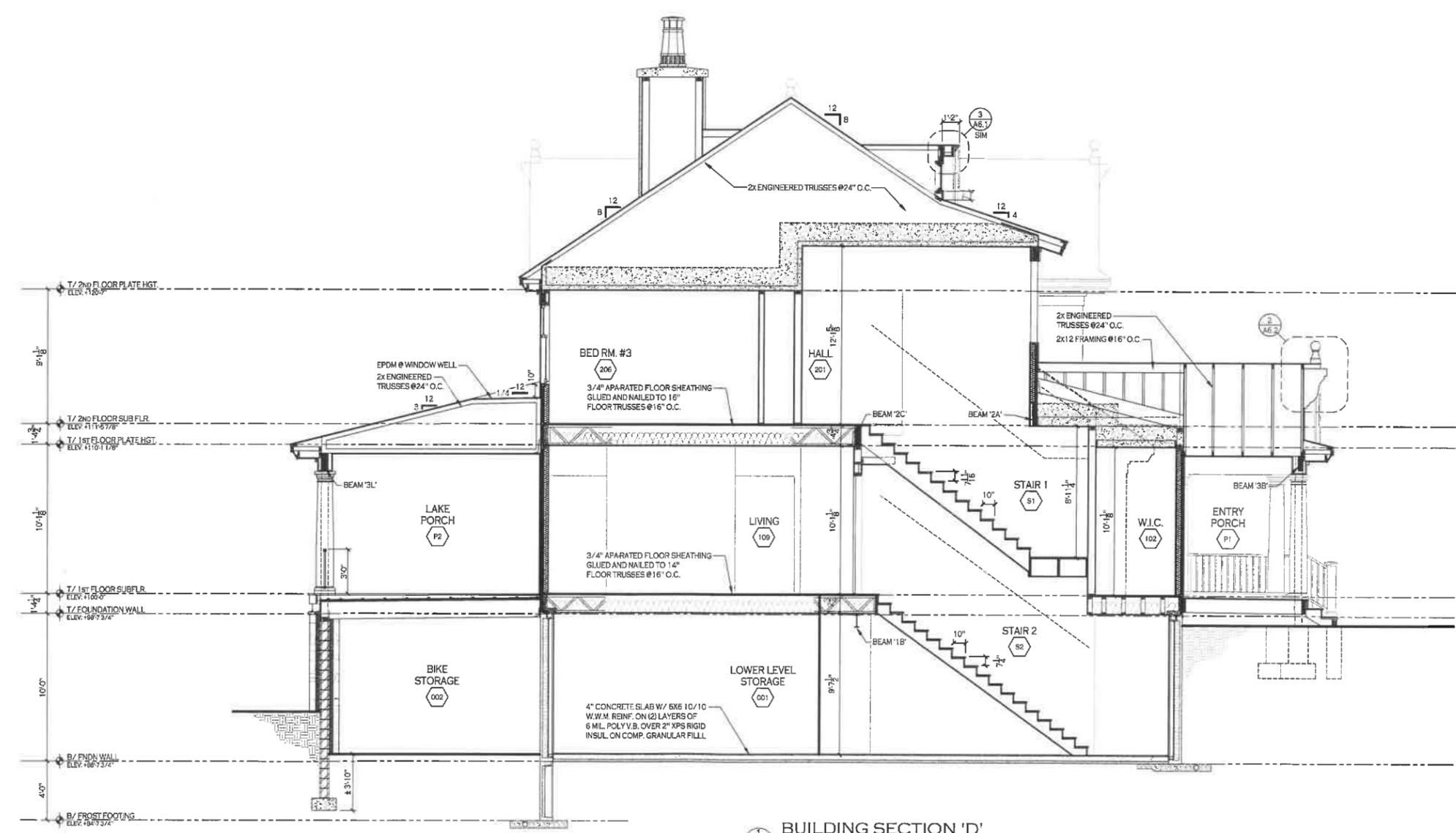
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 CHECK BY: NAL

GROMLEY RESIDENCE
 MACKINAC ISLAND, MI
 BUILDING SECTIONS

SHEET NO. A6.3

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 APRIL 6, 2023

Neil H. Liebler



BUILDING SECTION 'D'
 SCALE: 1/4" = 1'-0"

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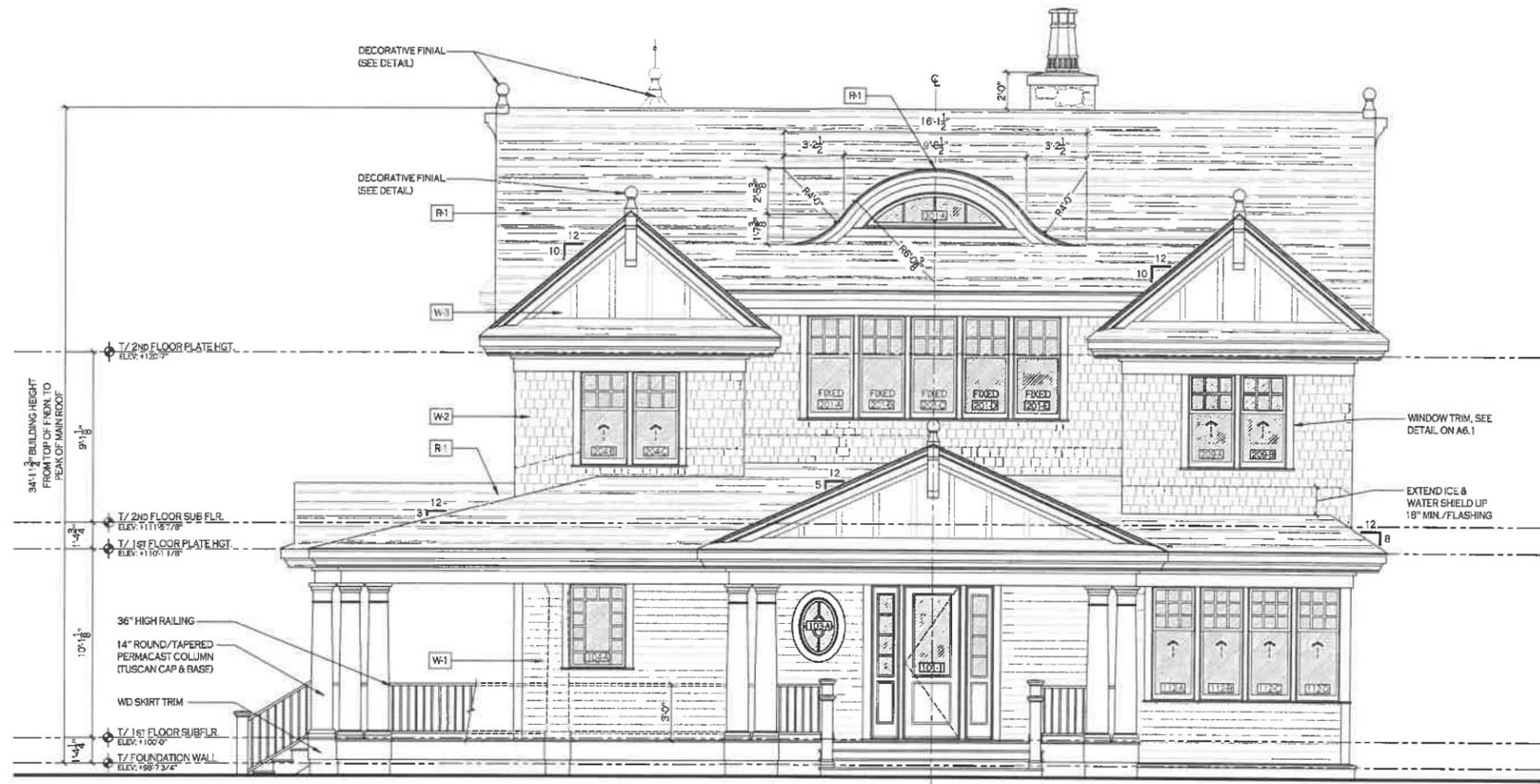
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 CHECK BY: NAL

GROMLEY RESIDENCE
 MACKINAC ISLAND, MI
 BUILDING SECTIONS

SHEET NO.
A6.6

APPROVED - FINAL
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 ARCHITECTURAL CONTROL COMMITTEE
 APRIL 6, 2023

Neal K. Liebler



1 EAST ELEVATION
 A7.1 SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE			
SYMBOL	MATERIAL	MANUFACTURER	DESCRIPTION
W-1	CEDAR BEVELED LAP SIDING	TBD	BEVELED CEDAR LAP SIDING, WHITE CEDAR, 6" EXPOSURE, PRE-FINISHED ON ALL SIDES, COLOR SIMPLY WHITE
W-2	CEDAR SHINGLE SIDING	TBD	CERTIGRADE REBUTTED/REJOINTED SHINGLES, WHITE CEDAR, 6" EXPOSURE, PRE-FINISHED ON ALL SIDES, WARRANTED BY THE CEDAR SHAKE & SHINGLE BUREAU - SEMI-TRANSPARENT STAIN, COLOR: SEACAST GRAY 1/2" THICK MEDIUM DENSITY OVERLAY (MDO) EXTERIOR-GRADE PLYWOOD, FLAT PANEL, W/ 2x4 CEDAR BATTENS @ 24" O.C. PAINT COLOR: BENJAMIN MOORE - SIMPLY WHITE
W-3	BOARD AND BATTEN SIDING	TBD	
R-1	ASPHALT SHINGLE ROOF	CERTAINTED	ASPHALT ARCHITECTURAL SHINGLE ROOFING, CERTAINTED LANDMARK PRO, COLOR - GEORGETOWN GRAY
R-2	STANDING SEAM METAL ROOF	ATAS METALS	STANDING SEAM MTL. ROOF - 11" RIBS W/O STRIATIONS COLOR: SLATE GREY
ST-1	STONE - TBD	TBD	OVER-GROUTED SPLIT FACE FIELD STONE - LIMITED PINK
	EXTERIOR CEDAR TRIM		CLEAR CEDAR, SMOOTH (4 SIDES) SAND SMOOTH ALL CUTS & SPLICES, ALL SIDES PRE-PRIMED PRIOR TO INSTALL, PAINT COLOR: BENJAMIN MOORE - SIMPLY WHITE
	EXTERIOR SOFFITS		1/2" THICK MEDIUM DENSITY OVERLAY (MDO) EXTERIOR-GRADE PLYWOOD, FLAT PANEL, ALL SIDES PRE-PRIMED PRIOR TO INSTALL, PAINT COLOR: BENJAMIN MOORE - SIMPLY WHITE
	EXTERIOR PORCH CEILINGS		1x6 CEDAR V-GROOVE TONGUE & GROOVE, FINISH: BENJAMIN MOORE - SIMPLY WHITE

EXTERIOR FINISH NOTES:
 PROVIDE EXTERIOR FINISH MOCK-UP FOR CLIENT APPROVAL PRIOR TO FINAL ORDER

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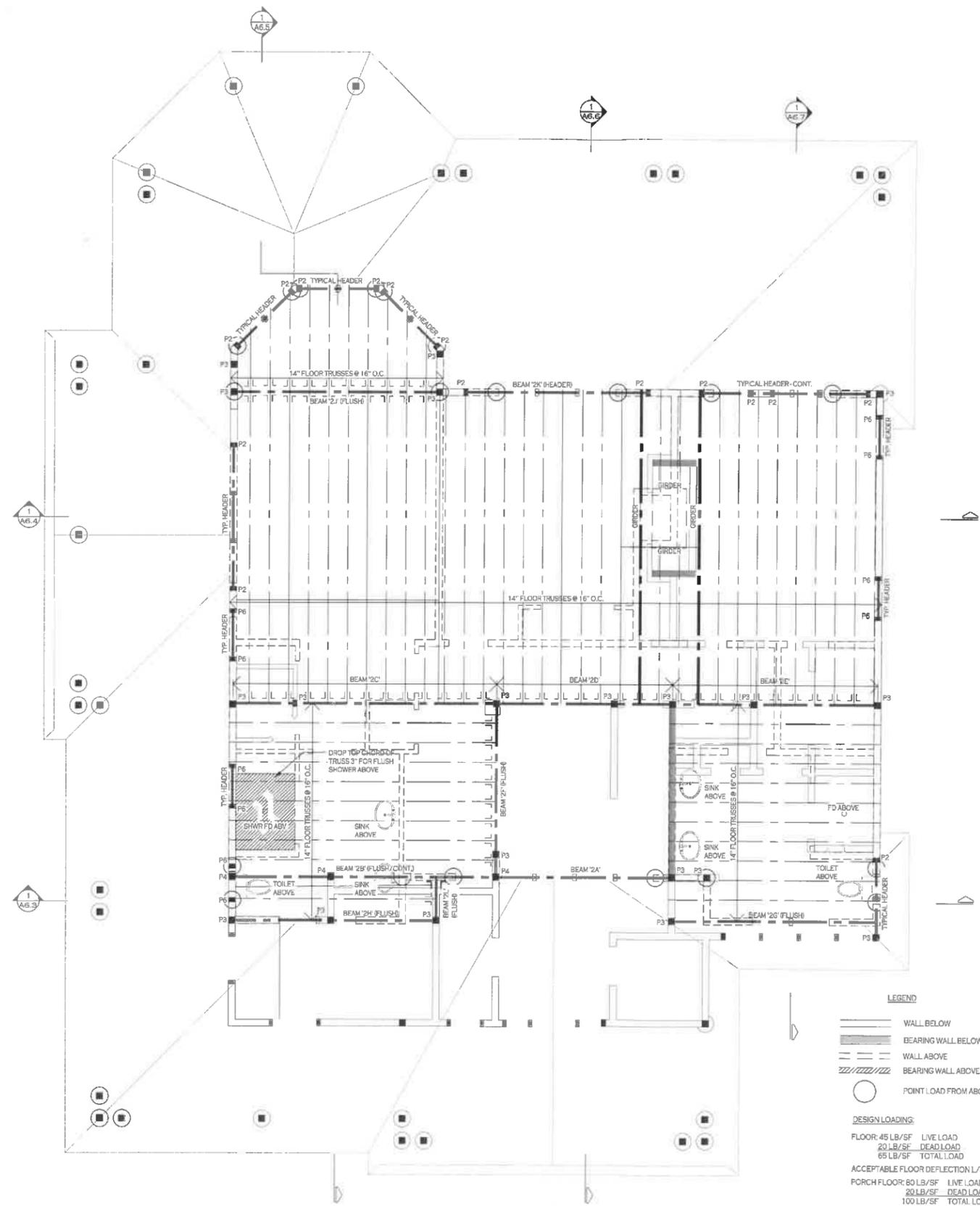
GROMLEY RESIDENCE
 MACKINAC ISLAND, MI

EXTERIOR ELEVATIONS

SHEET NO. A7.1

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 STONE BROOK OWNERS' ASSOCIATION
 ARCHITECTURAL CONTROL COMMITTEE
 APRIL 6, 2023

Neal H. Diment



SECOND FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"

LEGEND

- WALL BELOW
- BEARING WALL BELOW
- WALL ABOVE
- BEARING WALL ABOVE
- POINT LOAD FROM ABOVE

DESIGN LOADING:

FLOOR: 45 LB/SF LIVE LOAD
 20 LB/SF DEAD LOAD
 65 LB/SF TOTAL LOAD

ACCEPTABLE FLOOR DEFLECTION L/480

PORCH FLOOR: 30 LB/SF LIVE LOAD
 20 LB/SF DEAD LOAD
 100 LB/SF TOTAL LOAD

ACCEPTABLE FLOOR DEFLECTION L/480

ROOF: 70 LB/SF SNOW LOAD
 15 LB/SF DEAD LOAD
 85 LB/SF TOTAL LOAD

WIND LOADING: 90 MPH

COLUMN SCHEDULE

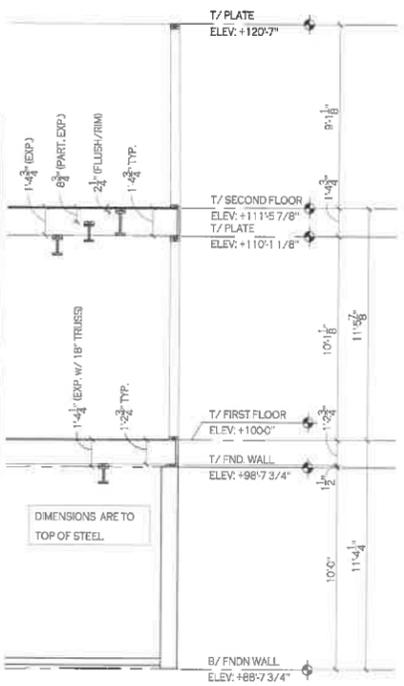
ALL COLUMNS UNDER STEEL ARE P6 UNLESS NOTED OTHERWISE.

P1-	3 1/2" x 3 1/2" PSL COL
P2-	3 1/2" x 5 1/4" PSL COL (TRTD. AS NOTED)
P3-	5 1/4" x 5 1/4" PSL COL (TRTD. AS NOTED)
P4-	4" x 4" x 1/4" STL. TUBE COL
P5-	5" x 5" x 1/4" STL. TUBE COL (CONTINUOUS)
P6-	(2) 2x6 NAIL BUILT UP COL
P7-	(2) 2x6 NAIL BUILT UP COL

BEAM SCHEDULE

7" SERIES SECOND FLOOR FRAMING
 ALL EXT. HORS B LOAD BRG. INT. HORS TO BE 3 1/2" x 7 1/4" 2.0E PSL TYPICAL UN.Q.

2A-	3 1/2" x 18" 2.0E PSL
2B-	7" x 14" 2.0E PSL (FLUSH/CONT.)
2C-	5 1/4" x 14" 2.0E PSL (CONT.)
2D-	3 1/2" x 9 1/4" 2.0E PSL (FLUSH)
2E-	3 1/2" x 9 1/4" 2.0E PSL (FLUSH)
2F-	3 1/2" x 11 1/4" 2.0E PSL (FLUSH)
2G-	(2) 1 3/4" x 11 1/4" 2.0E LP SS LVL (FLUSH)
2H-	(2) 1 3/4" x 11 1/4" 2.0E LP SS LVL (FLUSH)
2J-	(4) 1 3/4" x 14" 2.0E LP SS LVL (FLUSH)
2K-	(2) 1 3/4" x 20" 2.0E LP SS LVL (HEADER)
2L-	(2) 1 3/4" x 11 1/4" 2.0E LP SS LVL (FLUSH)



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03.10.23	APPROVAL SET

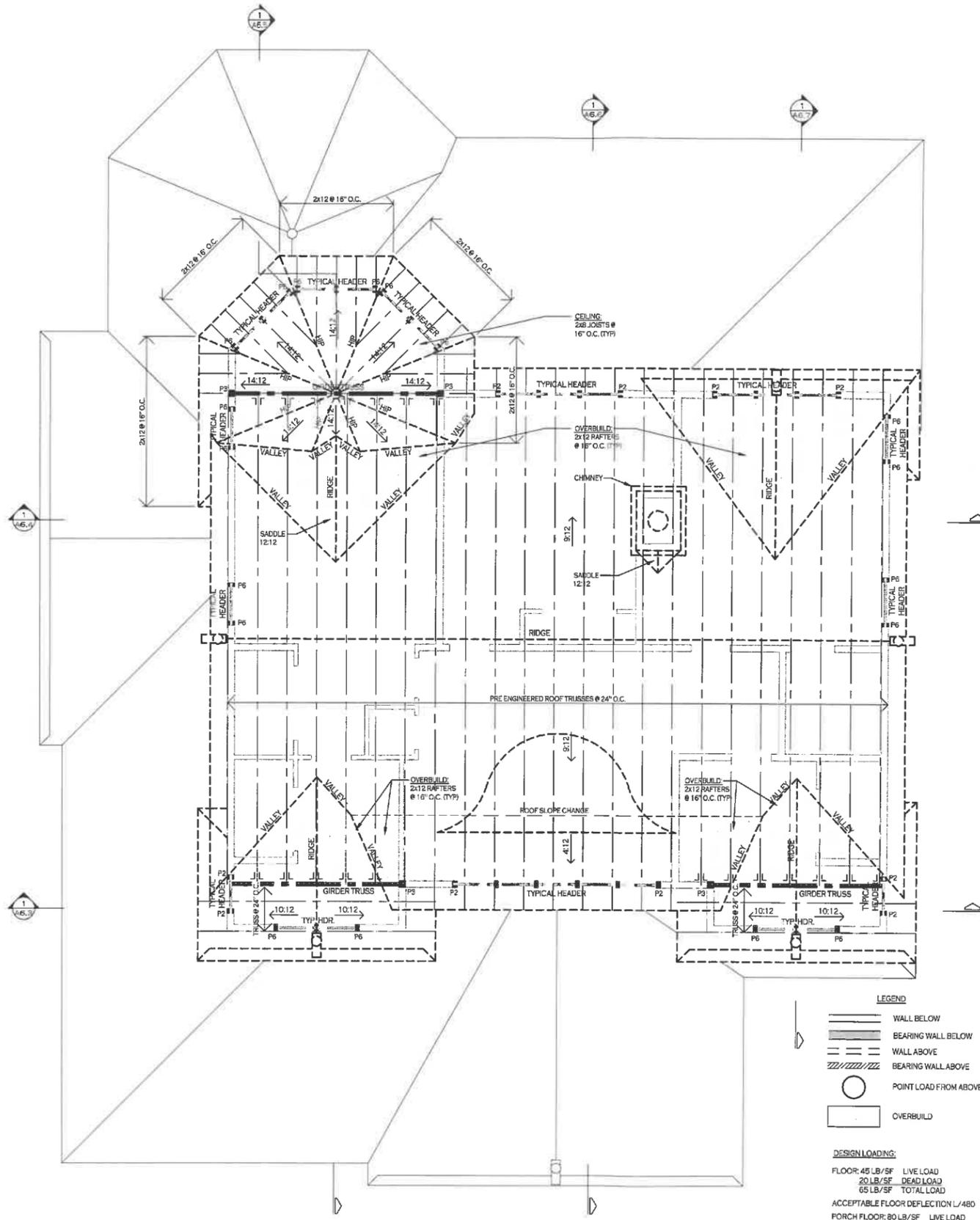
JOB NO. **2136**
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GROMLEY RESIDENCE
 MACKINAC ISLAND, MI
 SECOND FLOOR FRAMING PLAN

SHEET NO. **S1.2**

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 ARCHITECTURAL CONTROL COMMITTEE
 APRIL 6, 2023

Neal K. Liebler



1 HIGH ROOF FRAMING PLAN
 S2.2 SCALE: 1/4" = 1'-0"

LEGEND

- WALL BELOW
- BEARING WALL BELOW
- WALL ABOVE
- BEARING WALL ABOVE
- POINT LOAD FROM ABOVE
- OVERBUILD

DESIGN LOADING

FLOOR: 45 LB/SF LIVE LOAD
 20 LB/SF DEAD LOAD
 65 LB/SF TOTAL LOAD

ACCEPTABLE FLOOR DEFLECTION L/480

PORCH FLOOR: 80 LB/SF LIVE LOAD
 20 LB/SF DEAD LOAD
 100 LB/SF TOTAL LOAD

ACCEPTABLE FLOOR DEFLECTION L/480

ROOF: 70 LB/SF SNOW LOAD
 15 LB/SF DEAD LOAD
 85 LB/SF TOTAL LOAD

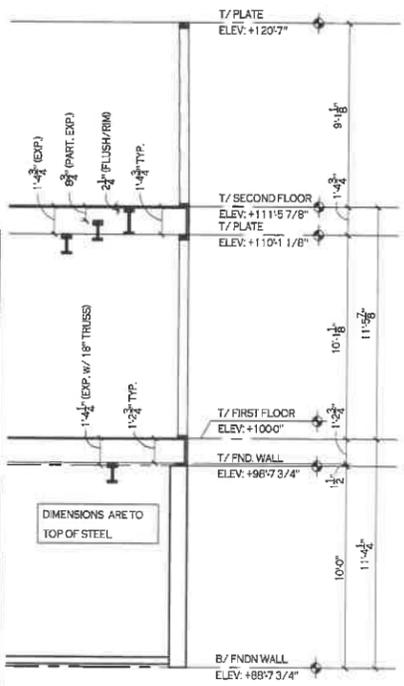
WIND LOADING: 90 MPH

COLUMN SCHEDULE
 ALL COLUMNS UNDER STEEL ARE PS UNLESS NOTED OTHERWISE.

- P1- 3 1/2" x 3 1/2" PSL COL.
- P2- 3 1/2" x 5 1/4" PSL COL. (TRTD. AS NOTED)
- P3- 5 1/4" x 5 1/4" PSL COL. (TRTD. AS NOTED)
- P4- 4" x 4" x 1/4" STL. TUBE COL.
- P5- 5" x 5" x 1/4" STL. TUBE COL. (CONTINUOUS)
- P6- (2) 2x6 NAIL BUILT UP COL.
- P7- (3) 2x6 NAIL BUILT UP COL.

BEAM SCHEDULE
 4" SERIES HIGH ROOF FRAMING
 ALL EXT. HDRS & LOAD BRG. INT. HDRS TO BE 3 1/2" x 1 1/4" 2.0E PSL TYPICAL U.N.O.

- 4A-
- 4B-
- 4C-
- 4D-
- 4E-
- 4F-



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JOB NO. 2136
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GROMLEY RESIDENCE
 MACKINAC ISLAND, MI
 HIGH ROOF FRAMING PLAN

SHEET NO. S2.2



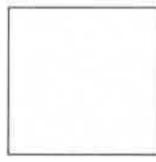
EXTERIOR EXAMPLE



NATURAL STONE VENEER
OVER GROUTED SPLIT FACE FIELD STONE - LIMITED PINK



WINDOWS
KOLBE & KOLBE CLAD ULTRA SERIES
COLOR: SIMPLY WHITE
7/8" PDL DIVIDED LITE



CEDAR BEVELED LAP SIDING
RED CEDAR BEVELED LAP SIDING
6" EXPOSURE
(2) COATS CABOT SOLID STAIN
COLOR: SIMPLY WHITE



CEDAR SHINGLE SIDING
WHITE CEDAR SHINGLE
6" EXPOSURE
(2) COATS CABOT SOLID STAIN-
COLOR: SANDSTONE GRAY



BOARD/BATTEN SIDING
3-1/2" WHITE CEDAR BATTENS
W/ MDO PANELS 24" O.C.
(2) COATS BENJAMIN MOORE-
COLOR: SIMPLY WHITE



FASCIA/ TRIM DETAILS
SMOOTH CEDAR FASCIA, CROWN, FRIEZE BOARD
(2) COATS BENJAMIN MOORE- SIMPLY WHITE
SMOOTH CEDAR WINDOW CASING
(2) COATS BENJAMIN MOORE- SIMPLY WHITE
K&S STYLE GUTTERS



SHINGLES
CERTAINTED LANDMARK PRO SHINGLES
COLOR: GEORGETOWN GRAY



PORCH COLUMNS
HB&G PERMACAST ROUND COLUMNS
PAINTED- SIMPLY WHITE
PORCH CEILINGS
PAINTED FIR COTTAGE BEAD BOARD, COLOR: SIMPLY WHITE
EXTERIOR LIGHTING
TBD



CHIMNEY POTS
JACK ARNOLDEUROPEAN COPPER-QUEEN



STONE RETAINING WALLS
DRYSTACKED FIELD STONE RETAINING

APPROVED - FINAL
FINAL APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 6, 2023

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GROMLEY RESIDENCE
MACKINAC ISLAND, MI
EXTERIOR ELEVATIONS

SHEET NO.
A7.3



1 WEST ELEVATION
A7.3 SCALE: 1/4" = 1'-0"



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0231

7 June 2023

Katie Pereny, Secretary
Planning Commission
City of Mackinac Island
Mackinac Island, MI 49757

File No. 2123-006-022
Exhibit I
Date 6-8-23
Initials KP

Re: **GROMLEY RESIDENCE**
Architectural Review

Dear Ms. Pereny:

Find attached the architectural review for the proposed Gromley Residence at Unit #6,
Stonebrook Condominium Association.

Should you have any questions, please let me know.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

- c. Nick Liebler, White & Liebler Architects
- Dennis Dombroski, City of Mackinac Island
- Erin Evashevski, Evashevski Law Office



**Richard
Neumann
Architect**

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

7 June 2023

ARCHITECTURAL REVIEW

GROMLEY RESIDENCE
Mackinac Island, Michigan

INTRODUCTION

This architectural review is of the design for a proposed new residence at Unit # 6 Stone Brook South, in the Stone Brook Condominium Association.

This architectural review is based on the stated intent of Section 18.06 "Standards for Review", paragraph A. "Non-commercial structures in all areas except the R-4 District", of Article 18 "Architectural Review", of the City of Mackinac Island Ordinance No. 479, effective November 12, 2013, and as amended through Ordinance No. 547, effective May 16, 2017. Any necessary additional interpretation of these standards is based on the widely used and professionally acknowledged standards developed by the Department of the Interior entitled "The Secretary of the Interior's Standards for the Treatment of Historic Properties".

Materials submitted for Review consist of architectural drawings including site survey, site plan, floor plans, exterior elevations, and details, dated 10 March 2023, by White & Liebler Architects.

REVIEW

The general standards for review in Section 18.06 are the following:

Placement on Lot:

The site plan indicates the proposed building meets yard setback and lot area coverage requirements. A small bicycle storage building would be located on the drive side.

Height:

The height of the house would be 35 feet, just meeting the allowable 35 feet maximum.

Gromley Residence Architectural Review
 7 June 2023
 Page 2

Appearance:

The house would have a traditional appearance in the Colonial Revival style, having a squarish plan with the predominant gable roof running side to side. The front (west) would be an asymmetrical treatment with center entry steps flanked on one side by a projecting wrap around porch with octagonal bay above, and on the other by a segmental arched basement entry under the porch and a gable above, balancing the turret. A covered porch would extend across the front (west), wrap along one side (south), and across most of the rear (east). The rear, a more symmetrically designed facade, would have a centered gable roof above the entry, under a bank of five windows on the second floor, and an eye-brow dormer set in the roof. Design elements include a stone foundation, Classical columns supporting a horizontal frieze band, finial-peaked gable ends, the eye-brow window, banks of cottage style double-hung windows, a stone chimney, and clapboard and shingle siding. The appearance of the proposed house would be congruous and in harmony with the district and the historical character of the Island.

The detailed standards for review in Section 18.06 are the following:

Exterior Features:

Foundations - *"Foundation materials shall in some way be treated (painted, parged, stuccoed or otherwise detailed) to provide a finished appearance. Natural and synthetic stone native to, or characteristic of, the Great Lakes basin are excepted."*

The exposed portions of the lower-floor basement walls are proposed to be stone veneered, providing a finished appearance.

Walls - *"The majority of all exterior wall surfaces shall be covered with materials that provide the appearance of wood shingles, horizontal lap siding, vertical board and batten siding, or natural stone native to the Great Lakes basin. Accent panels and window or door trim may be of any material. Log exteriors may be allowed where consistent or congruous with the character of the surrounding neighborhood."*

Above the lower level stone cladding, the main floor would be sided with horizontal cedar wood lap siding, and the second floor would be covered with cedar wood shingle siding. The gable ends would be clad with a board-and-batten treatment. Facia, soffit, corner boards, door and window trim, and column and beams would be wood, or finished to appear as wood.

Windows - *"The maximum glass area for any of the exterior wall surfaces (excluding approved attached or detached greenhouse type structures and fully enclosed porches) is 50%. A minimum of 70% of the individual window units shall be either the single hung or double hung type, or single hung or double hung in appearance. Mirrored or dark tinted glass with visible light transmittance of less than 60% shall not be allowed. The replacement of windows identical in appearance to existing windows does not require architectural review. The installation of new windows or replacement of existing windows with a new window type shall be required, as*

Gromley Residence Architectural Review
 7 June 2023
 Page 3

determined appropriate by the Planning Commission, to match the type (ie., single hung, double hung) and appearance (ie., with muntins) of the original windows or what would have been typical historically."

All four exterior elevations would have less than 50% of the wall area as glass. Windows are proposed to be a mix of double-hung units and casement units simulated to appear as double-hung, and with a few one-of-a-kind windows. A minimum of 70% of individual units would be single or double hung type in appearance.

Doors - *"Doors shall be the hinged type, or at a minimum shall look like hinged doors. On residential or residential accessory buildings horizontal tracked doors shall be allowed, but roll-up or tilt-up style garage doors shall not be allowed."*

Doors are proposed to be hinged-type on the east rear and south side, but sliding patio type, appearing as french doors, on the west front.

Roofs - *"All roofs shall be in keeping with the roofs of surrounding buildings and the historic nature of Mackinac Island. The minimum pitch for the main portion of the roof shall be 6 vertical and 12 horizontal. Roof coverings for the main portion of the roof shall have an individual unit shingled appearance and be of materials such as wood, asphalt, fiberglass, or metal. Ribbed or standing seam metal roofs may also be allowed, as determined appropriate by the Planning Commission."*

All of the primary roof pitches would be greater than a 6/12 slope, and would be covered with asphalt shingles providing an individual unit appearance. The eye-brow dormer facing east would have a standing seam metal roof. The proposed main roof would be 8 / 12, with gable and turret roofs being steeper, and would be in keeping with those of surrounding buildings and the Island.

Porches - *"Front porches or stoops, when provided, shall be covered with a roof that is compatible with, but does not necessarily match, the structure's main roof."*

Projecting porch roofs would be 3 / 12, and would appear compatible with the house's main roofs, both in slope and in coverings, being asphalt shingles.

Colors - *"When architectural review is required by this ordinance, colors shall be reviewed and shall be in keeping with surrounding buildings and the historic nature of Mackinac Island. Neon, fluorescent or iridescent colors are prohibited. Changing the color of a building or structure (repaint) does not require architectural review but any such repaint is subject to the prohibition against neon, fluorescent or iridescent colors and shall be in keeping with the colors of surrounding buildings and the historic nature of Mackinac Island."*

No indication of exterior material colors are given.

Gromley Residence Architectural Review
7 June 2023
Page 4

Monotony of Design - *“For new construction or additions involving multiple units, monotony of design shall be avoided. Variation of detail, form and siting shall be used to provide visual interest.”*

This standard is not applicable to this project, it being a single custom home.

Chimneys - *“All chimneys shall be stylistically consistent with the appearance of the building. Existing chimneys that are stylistically significant shall be preserved.”*

The proposed stone-clad chimney would appear stylistically appropriate with the appearance of the building.

As such, the Exterior Features standards would be met.

Color and Texture of Materials:

Based on the elevation drawings, and the above discussion, this standard would be met.

Conclusion:

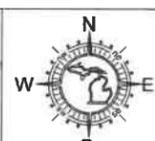
Based on the findings above, the proposed design would meet the Standards for review.

END OF REVIEW

Legend:

- Found Survey Iron
- ⊙ Water Valve
- ⊙ Fire Hydrant
- ⊙ Lamp
- Boundary Line
- Setback Line
- 10' Wide Utility Fosement
- Fence Line
- ~ Approximate Tree Line
- ⊙ Tree (As Described)

Gromley
 File No.: N2022-089 Gromley - Topo.gx
 Date: 31 October 2022
 Revised Date:



Northland
 Surveying & Mapping LLC

1925 W. Robertson Road
 Harbor Springs, Michigan 49740
 Phone: (231) 326-1100
 Fax: (231) 326-1101

SINGLE FAMILY RESIDENCE
 FOR MR. & MRS. GROMLEY
 23626 WARNER ST
 FARMINGTON, MI 48336

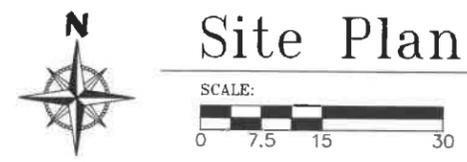
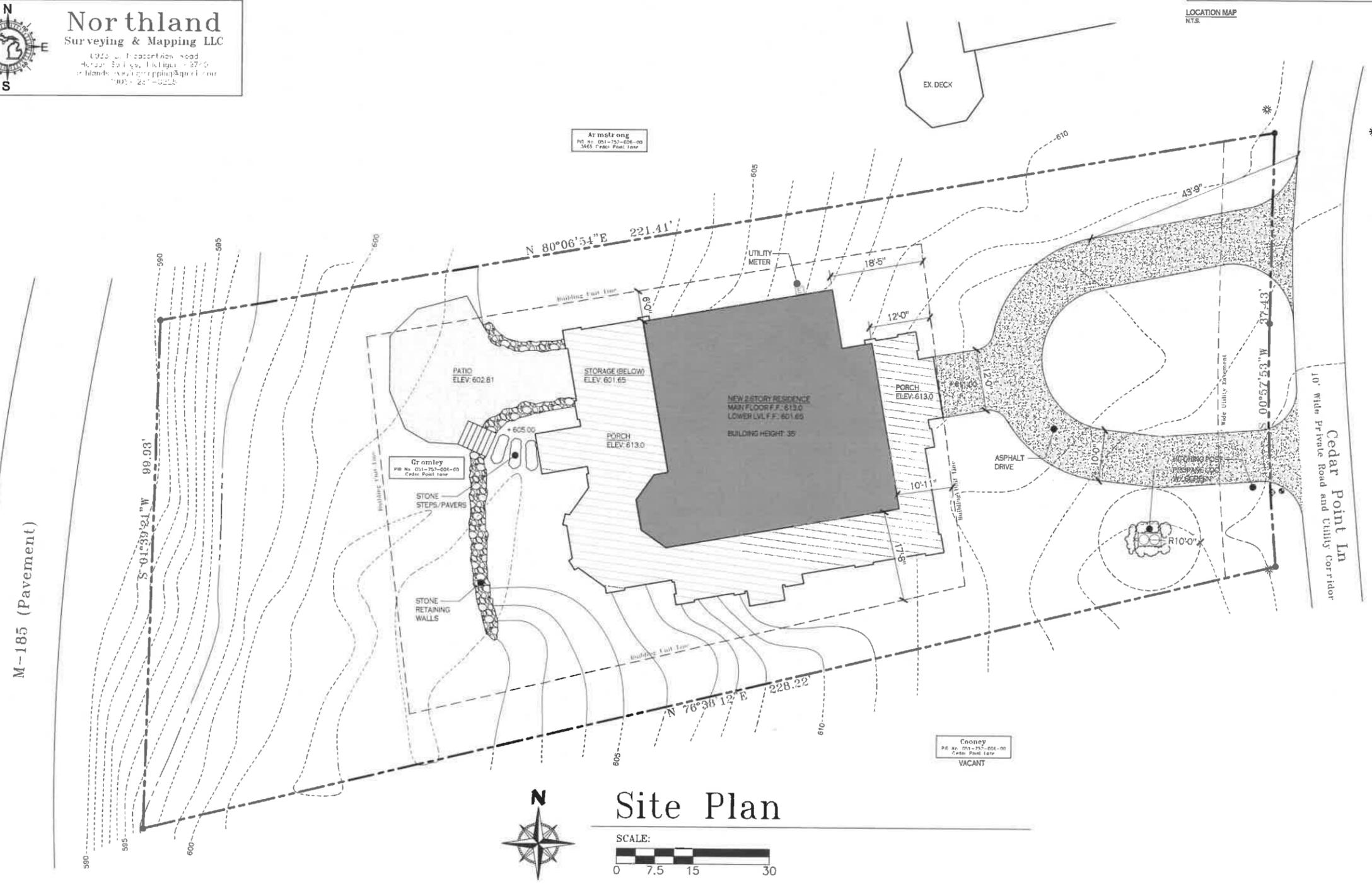
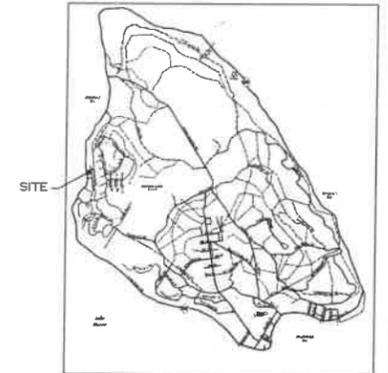
SITE DATA

ZONING DISTRICT: R-1
 LOT SIZE: 20,141 SQ. FT.
 ROOF COVERAGE: 3,962 SQ. FT.
 DRIVE COVERAGE: 0 SQ. FT.
 TOTAL LOT COVERAGE: 3,962 SQ. FT.
 % LOT COVERAGE: 20%

SETBACKS:
 FRONT: AS PER CONDO ENVELOPE
 SIDE: 10' AS PER CONDO ENVELOPE
 REAR: AS PER CONDO ENVELOPE

MAX. BUILDING HEIGHT: 35'

CARRIAGE HOUSE - STORAGE OF BICYCLES, SNOW MOBILES,
 LAWN FURNITURE & TRASH



WHITE & LIEBLER
 architects
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 117 Howard Street, Petoskey MI 49770 www.white-lieber.com 231.347.6670

ISSUED DATE	DESCRIPTION
12.09.22	REVIEW
03.10.23	APPROVAL SET

JOB NO. 2136
 DRAWN BY: SDJ
 CHECK BY: NAL

GROMLEY RESIDENCE
 MACKINAC ISLAND, MI

SITE PLAN

SHEET NO.
A1.1

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

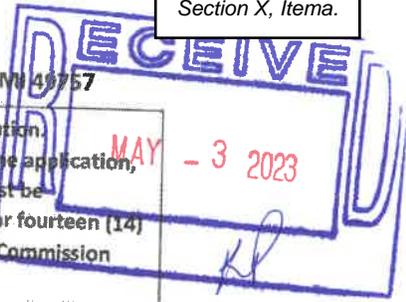
Section X, Itema.

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Matthew McCarthy

Please complete both sides of application.
The Fee and fourteen (14) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.



8653043296 MBMCARTY AT
Phone Number Email Address MSN, com

Property Owner & Mailing Address (if Different From Applicant)
8931 Isherwood Lane 2794 Park Drive
Knoxville, TN 37922 for: Mackinac Island MI 49757

- Is The Proposed Project Part of a Condominium Association? yes, trillion
- Is The Proposed Project Within a Historic Preservation District? No
- Applicant's Interest in the Project (If not the Fee-Simple Owner): owner
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? yes
- Is a Variance Required? NO
- Are REU's Required? How Many? NO /

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other Fence Permit
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 49-051-740-023-00
- B. Legal Description of Property: Single family Home
- C. Address of Property: 2794 Park Drive Mackinac Island, MI 49757
- D. Zoning District: R-4
- E. Site Plan Checklist Completed & Attached: yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) yes
- G. Sketch Plan Attached: NA
- H. Architectural Plan Attached: NA
- I. Association Documents Attached (Approval of project, etc.): yes
- J. FAA Approval Documents Attached: NA
- K. Photographs of Existing and Adjacent Structures Attached: NA

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Other, Specify Fence
 - Alteration/Addition to Existing Building
- B. Use of Existing and Proposed Structures and Land:
 - Existing Use (If Non-conforming, explain nature of use and non-conformity):
 - Proposed Use: File No. R423-023-029
 - Exhibit A
 - Date 5.3.23
 - Initials KP
- C. If Vacant:
 - Previous Use:
 - Proposed Use:
 - Length of Time Parcel Has Been Vacant:

OFFICE USE ONLY			
FILE NUMBER:	<u>R423-023-029</u>	FEE:	<u>\$150 -</u>
DATE:	<u>5.3.23</u>	CHECK NO:	<u>8241</u>
		INITIALS:	<u>KP</u>

Revised Oct 2018

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

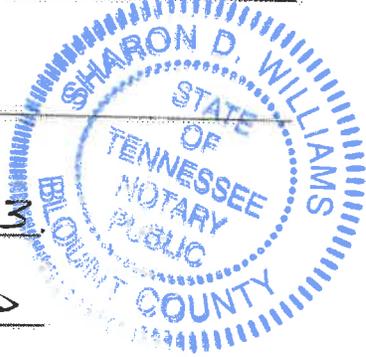
The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

[Signature]
Signature
Matthew J. McCarty
Please Print Name

SIGNATURES _____
Signature

Please Print Name



Signed and sworn to before me on the 3rd day of May 2023.

Sharon D. Williams
Notary Public

Blount County, Michigan TEN

My commission expires February 28th, 2026

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

General Information

	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Natural Features

	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Physical Features

	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- | | | |
|--|-------------------------------------|-------------------------------------|
| 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 22. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Utility Information

- | | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|---|--------------------------|-------------------------------------|
| 23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Architectural Review
Informational Requirements (Section 18.05)**

- | <u>Item</u> | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|---|-------------------------------------|-------------------------------------|
| 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Legal description of the property | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Site Plan

Unit #23, Trillium Heights Condo

For: Mathew McCarty
& Phil & Lees Homes



File No. R423-023-029

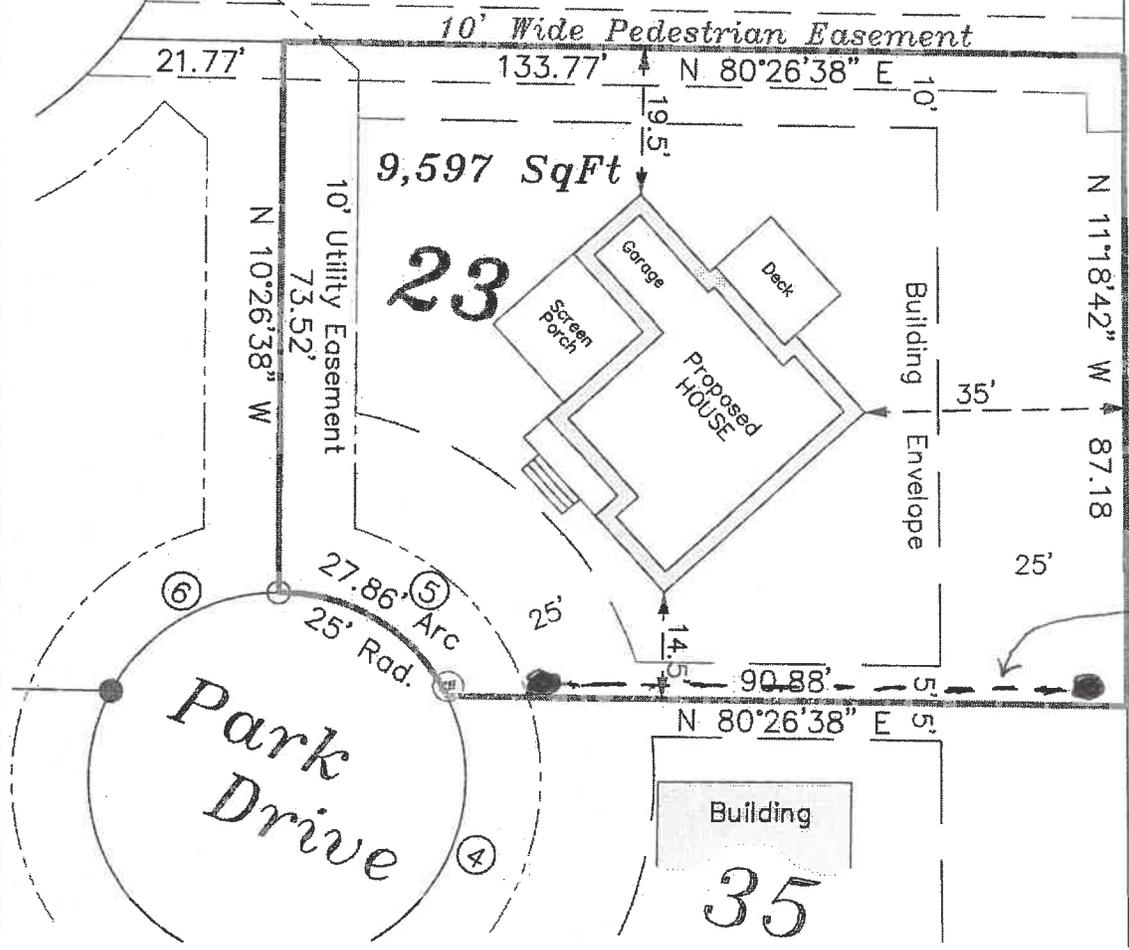
Exhibit B

Date 5/3/23

Initials KP



Scale 1" = 20'
All dimensions
from Record



By: *Neil W. Hill P.S.*
 Neil W. Hill P.S. #50439
 Registered Land Surveyor
 Date: February 9, 2019
 Order No.: 19-007-23-THC-MI



429 Ellsworth Street
 St. Ignace, MI 49781
 (906) 643-9418 Phone
 (906) 643-6327 Fax
 info@mackinacsurveys.com



PROPOSAL HARBOR FENCE COMPANY

2009 U.S. 31 North ♦ Petoskey, MI 49770
(231)348-5566 ♦ Fax (231) 348-5032 ♦ 800-968-3362
Kent C. Warner

Proposal submitted to: Mr. Matthew McCarty

Address: Mackinac Island, Michigan 49757 2794 Park Drive

County & Twp. Crossroads Sides Flagged N S E W

Date: 7/25/2022 Phone: 865-384-3296 Email: MBMCCARTY@msn.com

Specifications for the professional installation of (90') of western red cedar (3-Rail) split rail fence. This proposal does not include the cost of the freight to the island, the dray and Kory to bring the supplies and crews to the jobsite those costs must be covered by Mr. McCarty and are not included in this proposal.

- (2) - Western Red Cedar Split Rail End Posts.
- (8) - Western Red Cedar Split Rail Line Posts.
- (27) - 10' Western Red Cedar Split Rails.

Total retail cost of the materials:.....	\$1,954.44
Labor to professionally install all as listed above:.....	\$1,080.00
Total:.....	\$3,034.54

~~Elevation clause - If the digging becomes extremely rocky and difficult Harbor Fence Company reserves the right to add whatever additional labor is required to the labor cost already proposed herein this proposal.~~

Terms: 50% down With the Balance Due upon Installation.

~~Note: All Projects Are Installed by The Date Sold & Deposit Received - Due to Weather & Digging Conditions Installation Dates Can Be Guaranteed and are Subject To Change.~~

Home Owner Is Responsible For All Local & County Permits Required.
Home Owner Is Also Responsible For Any Needed Variance's.
No returns on vinyl products and special orders.
Shipping and handling fee & 25% restocking fee apply to all other items.

Authorized Signature Kent C. Warner

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents, or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance.

Note: A 50% deposit of total is required upon acceptance, also this proposal may be withdrawn by us if not accepted within 7 days.

Acceptance of proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Owner is responsible for property lines, Miss Dig, and All buried improvements. (Example - gas lines, high voltage, telephone, cable, irrigation) The Customer Is Also Responsible For Any Approvals Or Permissions By Any Local Government Or Associations, Boards Or Community Bylaws. No Refunds.

Date of Acceptance 7/29/22

Signature [Signature]

Payment to be made as follows: Balance due upon installation. Late charge of 3% interest from the date of completion.



Trillium fence

john huibregtse <jhubrex@gmail.com>

Sun 7/24/2022 10:19 AM

To: Leslie Christy <lesliechristy4@gmail.com>; Liz Burt, The Quilted Turtle <turtle.quilted@gmail.com>; MATTHEW mccarty <MBMCCARTY@msn.com>

Hi. Matt. I spoke with the other board members regarding your request to build a fence near your property line. Although our bylaws prohibit fences between lots, and 2 other fences have been built (by arrangement with Brad C prior to the HOA) The board agrees that you have a "special need" A 3-rail fence would blend in to your landscape plan. Please check your boundary markers before building to prevent any Future issues. Hope this works for you. Regards. John

File No. R423.023.029
Exhibit D
Date 5.3.23
Initials KP

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

Section X, Itemb.



www.cityofmi.org | kep@cityofmi.org | 906-847-6190 | PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

U.P. NORTH CONSTRUCTION
PO BOX 1349 MACKINAC ISLAND
3728/6895 srilenge@msn.com
Phone Number Email Address

Please complete both sides of application. The Fee and fourteen (14) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Greg & Denise HAMMONS
27015 JESS MORGAN ROAD
ROLAND ARK. 72135

- Is The Proposed Project Part of a Condominium Association? yes
- Is The Proposed Project Within a Historic Preservation District? NO
- Applicant's Interest in the Project (If not the Fee-Simple Owner): NO
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? YES
- Is a Variance Required? NO
- Are REU's Required? How Many? yes 1/1

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other _____
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-755-014-60
- B. Legal Description of Property: UNIT 14 Stonecliffe Manor
- C. Address of Property: Lot 14
- D. Zoning District: D-1
- E. Site Plan Checklist Completed & Attached: YES
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) YES
- G. Sketch Plan Attached: yes
- H. Architectural Plan Attached: yes
- I. Association Documents Attached (Approval of project, etc.): yes
- J. FAA Approval Documents Attached: Neil Hill Submitted
- K. Photographs of Existing and Adjacent Structures Attached: yes

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Alteration/Addition to Existing Building
 - Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Proposed Use: New Single family Home

C. If Vacant:

Previous Use: _____
Proposed Use: _____
Length of Time Parcel Has Been Vacant: _____
File No. R123-014-036
Exhibit A
Date 5.30.23
Initials KP

OFFICE USE ONLY	
FILE NUMBER: <u>R123-014-036</u>	FEE: <u>5/50-</u>
DATE: <u>5.30.23</u>	CHECK NO: <u>5063</u> INITIALS: <u>KP</u>
Revised Oct 2018	

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

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[Handwritten Signature]
Signature

SIGNATURES _____
Signature

STEVEN R. LENCE
Please Print Name

Please Print Name

Signed and sworn to before me on the 30 day of May, 2023

[Handwritten Signature]

Notary Public

BRENDA BUNKER, Notary Public

Mackinac County, State of Michigan

County, Michigan

Acting in the County of Mackinac

My commission expires: _____

My Commission Expires: 07/21/2025

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2018

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

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<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
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2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units
- 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
- 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
- 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
- 22. Description of Existing and proposed on-site lighting (see also Section 4.27)

Utility Information

- | | <u>Provided</u> | <u>Not Provided
or Applicable</u> |
|---|--------------------------|---------------------------------------|
| 23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Architectural Review
Informational Requirements (Section 18.05)**

- | <u>Item</u> | <u>Provided</u> | <u>Not Provided
or Applicable</u> |
|---|-------------------------------------|---------------------------------------|
| 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Legal description of the property | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Site Plan

051-755-014-00

Unit 14, Stonecliffe Manor Condo

For: Denis Hammons & Steve Relinge

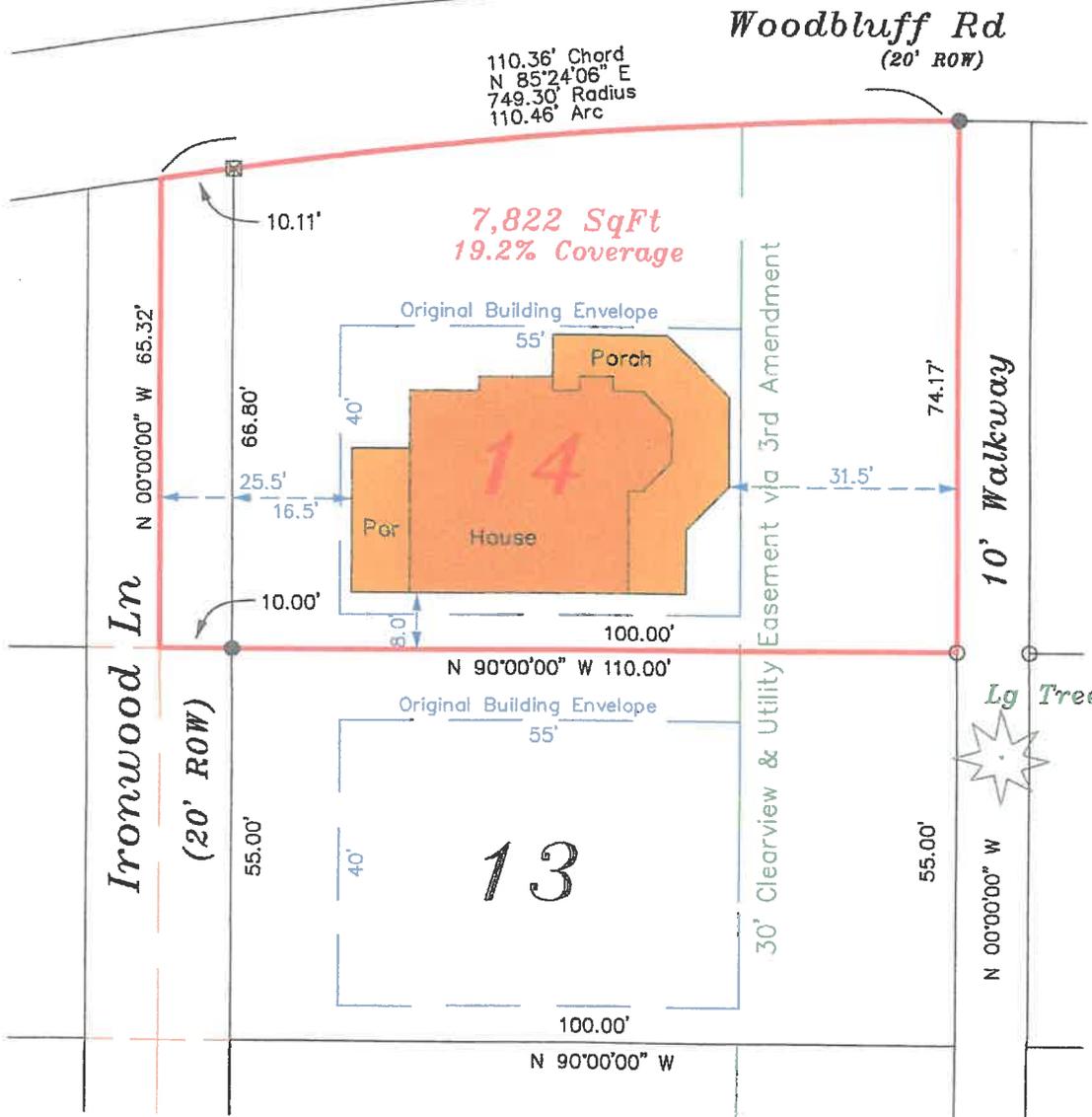
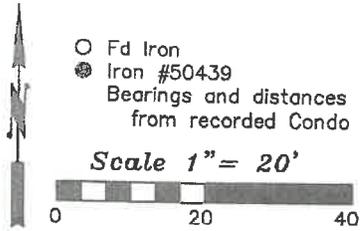


File No. R123-014-036

Exhibit B

Date 5.30.23

Initials KR



By: *Neil W. Hill P.S.*
Neil W. Hill P.S. #50439
Registered Land Surveyor
Date: May 23, 2023
Order No.: 23028-DH-14-SC1-MI



429 Ellsworth Street
St. Ignace, MI 49781
(906) 643-9418 Phone
(906) 643-6327 Fax
info@mackinacsurveys.com



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Sunset Forest Association Architectural Review and Building Handbook

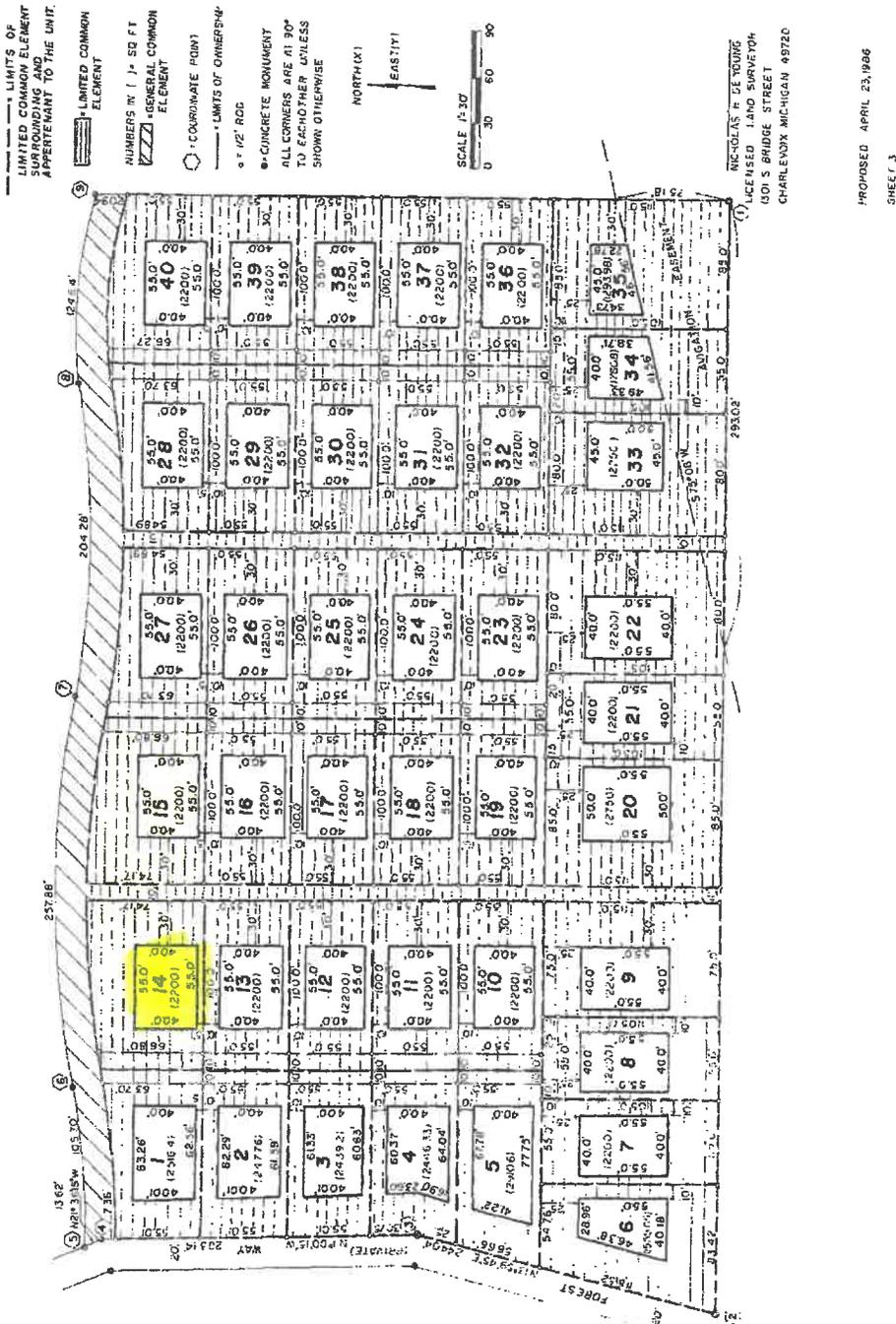
Section X, Item b.

Section i - Introduction

Stonecliffe Manor I

Presently consisting of 40 Units or Lots. Borders Jewel / Woods Golf Course – Fairways 7 and 8

**UNIT PLAN OF
STONECLIFFE MANOR
A CONDOMINIUM**





Eastern UP GIS

Parcel Report: 051-755-014-00

Section X, Itemb.

5/30/2023

9:28:01 AM



Property Address

IRONWOOD LN
 MACKINAC ISLAND, MI, 49757

Owner Address

HAMMONS DENISE M
 —
 27015 JESS MORGAN RD
 ROLAND, AR 72135

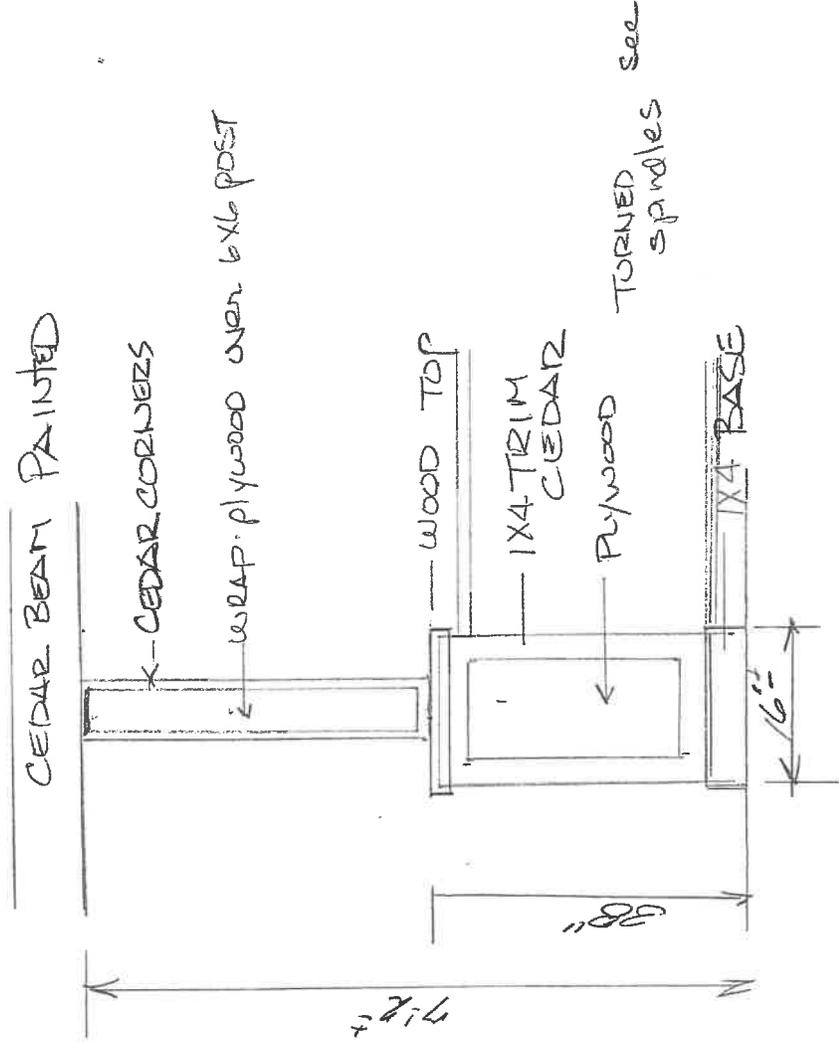
Unit: 051
 Unit Name: CITY OF MACKINAC ISLAND

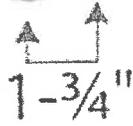
General Information for 2023 Tax Year

Parcel Number: 051-755-014-00

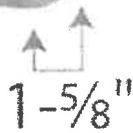


File No. R123-014-036
Exhibit C
Date 5.30.23
Initials KP





McKinlev Spindle — 2x2



Porch Spindle — 1 5/8"





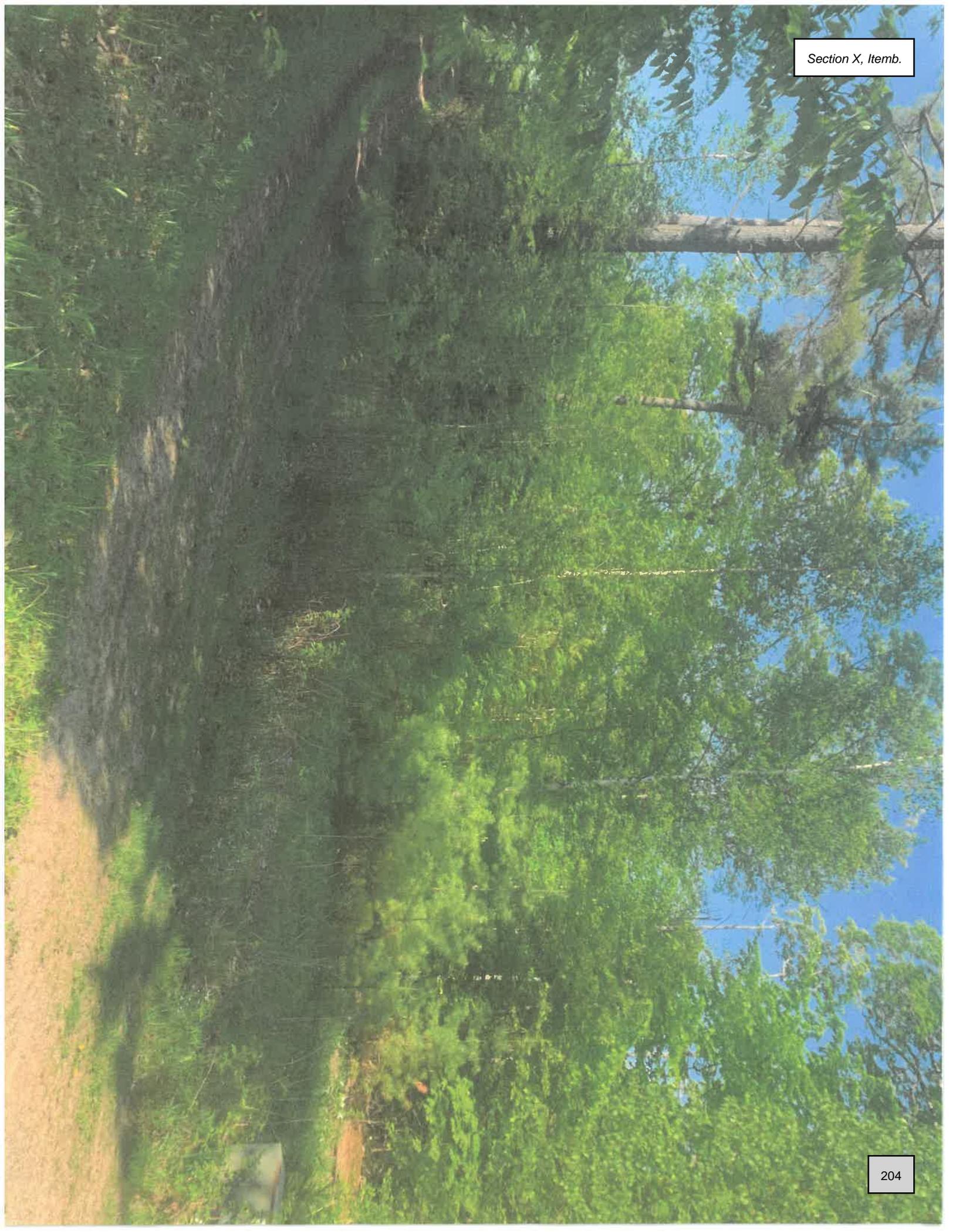
RECEIVED
MAY 30 2023
XP

File No. K133-014-036

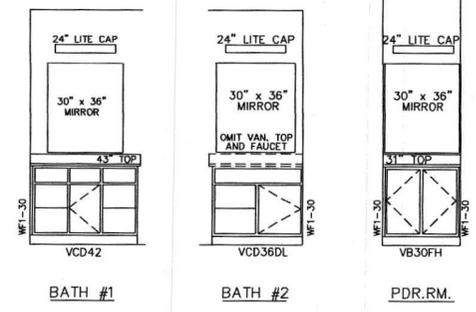
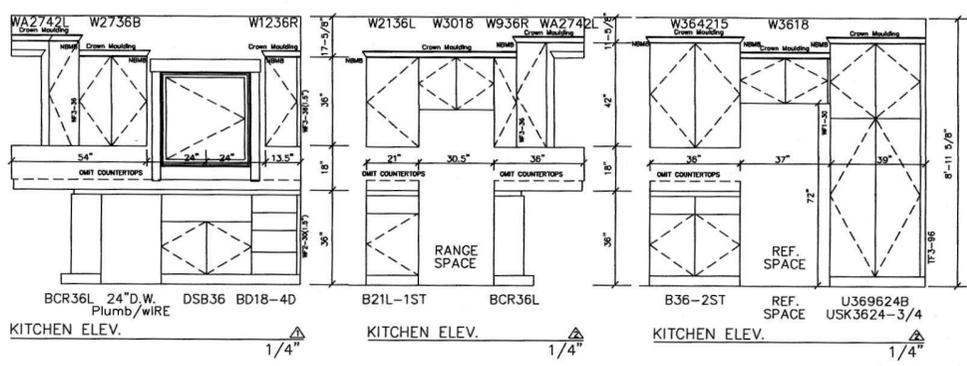
Exhibit D

Date 6.30.23

Initials XP







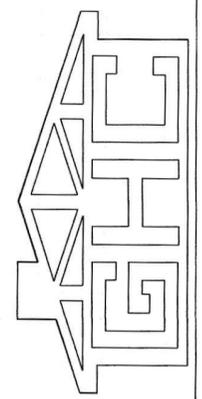
PELLA(WOOD) Omit Grilles

(A)	PTD-2941	DH	30"x41-3/4"	BATH
(B)	PC2-3541	CSMNT	36"x41-3/4"	KITCHEN
(C)	PTD-3757	DH	38"x57-3/4"	EGRESS (5.9)
(D)	PTD-3765	DH	38"x65-3/4"	EGRESS (6.9)
(E)	PTD-3757VV	DH	75"x57-3/4"	EGRESS (5.9x2)
(F)	PC2-2929LR	CSMNT	59"x29-3/4"	STAIRS

ALL WINDOWS AT STD. HEADER HT.(82" AFF)

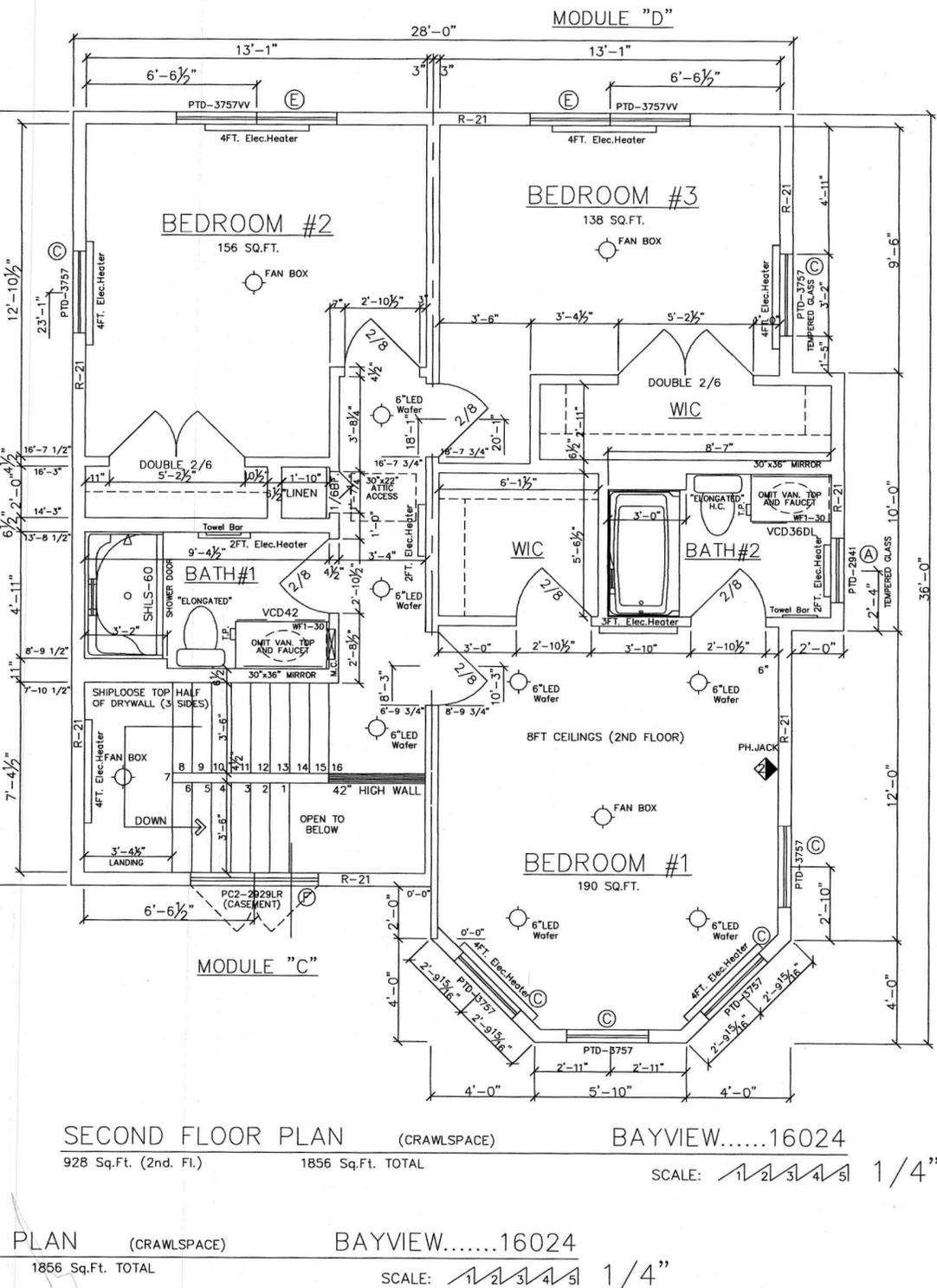
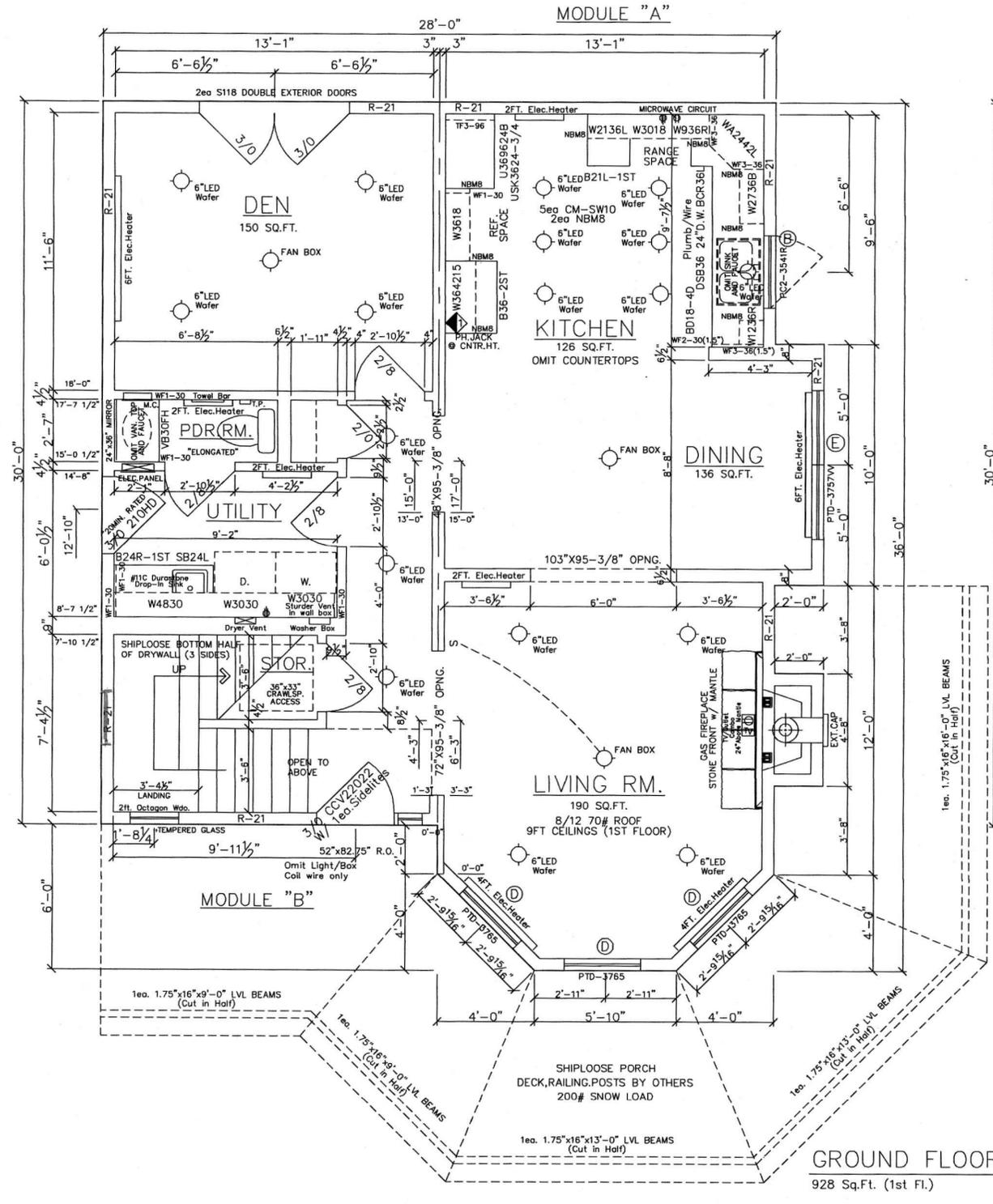
DRN RMN
DATE 9/10/08
REV 11/23/22 RMN
REV 11/23/22 RMN

GENERAL HOUSING CORPORATION
4650 E. WILDER RD.
BAY CITY, MICHIGAN 48706



TITLE
BAYVIEW.....16024
Crawlspace, End Kitchen, R.H.
FLOOR PLAN.....1/4"

MODEL 16024F
SHEET A-1 of 3



GROUND FLOOR PLAN (CRAWLSPACE) BAYVIEW.....16024
928 Sq.Ft. (1st Fl.) 1856 Sq.Ft. TOTAL SCALE: 1/4"

SECOND FLOOR PLAN (CRAWLSPACE) BAYVIEW.....16024
928 Sq.Ft. (2nd Fl.) 1856 Sq.Ft. TOTAL SCALE: 1/4"

16024F-ARMSTRONG-HAMMOND
COPYRIGHT 2014 GENERAL HOUSING CORP.



HAMMONS HOME		
SCALE: 1/4"=1'-0"	APPROVED BY:	DRAWN BY SR
DATE: 5/21/23		REVISED
STONECLIFFE MANOR I LOT 14		
UP NORTH CONSTRUCTION		DRAWING NUMBER



FRONT ELEVATION



LEFT ELEVATION

COLOR SCHEDULE	
CEDAR SIDING -	BENJAMIN MOORE HALE NAVY
CEDAR TRIM	BENJAMIN MOORE WHITE
ROOF SHINGLES -	CERTAINTED ARCHITECTURAL PRO MOIRE BLACK
WINDOWS -	BLACK PELLA WITH WHITE TRIM SURROUNDING
PORCH RAILINGS - COLUMNS - SPINDLES	BENJAMIN MOORE WHITE

HAMMONS HOME		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY: SR
DATE: 5/21/23		REVISED:
STONECLIFFE MANOR I LOT 14		
UP NORTH CONSTRUCTION		DRAWING NUMBER