

# **CITY OF MACKINAC ISLAND**

## **AGENDA**

### **PLANNING COMMISSION**

**Tuesday, December 10, 2024 at 3:00 PM**

**City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan**

---

**I. Call to Order**

**II. Roll Call**

**III. Pledge of Allegiance**

**IV. Adoption of Agenda**

**V. Approval of Minutes**

[a.](#) November 12, 2024

**VI. Correspondence**

[a.](#) Benser Email re 160 Day Extension

[b.](#) Letter re: Benser Building from Trayers Properties LLC

[c.](#) Letter from Seth Harris re: Master Plan

**VII. Staff Report**

a. HDC Meeting Summary

b. DPW Update

**VIII. Committee Reports**

a. Master Plan Future Land Use Map Options

**IX. Old Business**

[a.](#) C24-055/56-056(H) Benser Mr. B's Murdicks Lot Combo Application

[b.](#) C24-055/56-056(H) Benser Mr. B's Murdicks Zoning App

c. Mackinaw City Master Plan Commissioner Comments

[d.](#) R124-007-076 Peavey New Home Forest Bluff

**X. New Business**

[a.](#) R124-010-087 Brockman Conservatory Rebuild

[b.](#) C24-012-088(H) MIFC Arnold Transit Main Dock Pier Repairs

**XI. Public Comment**

**XII. Adjournment**

**MINUTES**

**PLANNING COMMISSION**

**Tuesday, November 12, 2024 at 3:00 PM**

**City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan**

---

**I. Call to Order**

Chairman Straus called the meeting to order at 3:02 PM.

**II. Roll Call**

**PRESENT**

Trish Martin

Jim Pettit

Michael Straus

Anneke Myers

Ben Mosley

Lee Finkel

**ABSENT**

Mary Dufina

Staff: Erin Evahsevski, Dennis Dombroski, David Lipovsky

**III. Pledge of Allegiance**

**IV. Adoption of Agenda**

Motion to approve as amended. Add "Mackinaw City" letter to correspondence.

Motion made by Mosley, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Finkel

**V. Approval of Minutes**

**a. October 8, 2024**

Motion to approve as amended. Amendment was to add David Lipovsky to the Staff in attendance.

Motion made by Mosley, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Finkel

## VI. Correspondence

### a. Letter from Benser re: Mr. B's

Straus read the letter aloud. Benser requested to table both of his applications until December and agreeing to extend the approval time. Evashevski would like to clarify the wording with Benser. The time clock is 100 days, not 60. The date to be extended to should be in writing as well. Straus stated it needs to be extended 30-60 days. Evashevski suggested emailing Benser for clarification. Myers suggested extending to 160 days from when it was submitted. Motion to send letter to Benser that the Planning Commission would like him to agree to 160 days from date of submittal.

Motion made by Myers, Seconded by Mosley.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Finkel

### b. Letter from Mackinaw City re: Master Plan

Straus read the letter aloud. Commissioners to provide comments by next meeting. Motion to place on file. Martin Mosley all in favor.

## VII. Staff Report

### a. HDC Meeting Summary

Finkel summarized the HDC meeting.

### b. DPW Update

Burt shared some progress pictures of construction at the water plant. 70% complete on concrete pouring and 40% of the total project. The project is on schedule and on budget.

## VIII. Committee Reports

### a. Master Plan Update

Myers stated there was a meeting October 22nd with business owners. Draft is now with the City Council and when draft is sent out there may be more comments. The likely changes are:

The following is a potential additional change to be considered:



The Planning Commission will have to evaluate. Straus asked Commission to look at future land use map and think about the three options.

Hearing date to be set during meeting date discussion later in this meeting.

## IX. Old Business

- a. C24-055/56-056(H) Benser Mr. B's Murdicks Lot Combo Application

Tabled at the request of the applicant.

- b. C24-055/56-056(H) Benser Mr. B's Murdicks Zoning App

Tabled at the request of the applicant.

- c. HB24-041-016 Jaquiss Demo and New Home

New details have been provided. Murray and Jaquiss were both on Zoom for questions. Ryan Spencer is in the audience. Straus asked about the plaque they stated they would put up. Straus stated he has received comments from the public asking if the plaque is a good idea. Ryan Spencer stated they still think it is a good idea as there still might be a historical story to tell. Spencer stated it is up to the Planning Commission and the HDC. Straus stated that we didn't want a misrepresentation of history. Straus doesn't think a plaque is necessary but he couldn't speak for the HDC. Spencer stated they would work on the wording with the HDC and Neumann. Finkel stated he would be more comfortable without a plaque. The level of preservation is not significant. Spencer stated they talked about a case with the wood and brick with the plaque. Finkel thinks it the owners decision. Pettit asked about the modular home sections and our ordinance. Pettit stated the plans call out 56', 52' and 48' sections. Another house that had larger modules required a variance. 44' is our maximum length in our ordinance. Pettit stated he will vote no on this unless they change to 44' modules or the City changes the ordinance, which he does not think would happen. Pettit doesn't understand how we could grant a variance on something that could be done without a variance by changing modules to 44'. Murray stated this is a City Council issue, not Planning Commission. Planning Commission could approve contingent on City Council approval of a variance. Pettit stated part of the Planning Commission job now is to review materials, etc so the modules are under the Planning Commission. Pettit stated that asking for variance to save money is not legal. Spencer stated that the reason they got approval for the Murray house is because more modules required more days and more vehicles. Spencer stated the goal of the contractor is to get on and off the island as quickly as possible. Mosley asked if the crane will block the road. Spencer stated the plan submitted shows that the outriggers will be off the road. Myers reviewed the timeline.

Asbestos removal happens first and will take 6 days. Timeline shows Tuesday November 12. This will be adjusted. Then exterior pieces will be removed. Myers stated Friday December 6 is set for tear down and that is not possible due to the Christmas Bazaar. Myers noted that the Temp fence isn't shown to be installed until April. Spencer stated they didn't want to set the fence until Belonga has been in and out. Myers stated the site must be fenced off with a temporary fence when construction starts. Straus asked Evashevski about the letter from Mark Ware and if it is good enough for the approval. Evashevski stated she was wondering about that as well. It is similar to what Jim Murray did. Evashevski would like some clarification from Ware. Evashevski suggested an approval contingent on a more specific confirmation from Ware stating that the applicant has permission to cross and store material on his property in the manner the applicant has requested and for the time period requested, which is until November 2025. Myers thinks the application is very complete. Myers asked if there is a way to have a motion for the demo and a motion for the new house. Dombroski stated it could be split in to two approvals. Straus and Evashevski stated they should keep it as one approval. Straus wanted to address Pettit's concern. Straus agrees with Pettit but agrees that it is a City Council decision. We could send a letter to City Council as a contingency. Pettit strongly stated that the applicant should come back with a plan that fits in our ordinance. You cannot grant a variance for someone to save money. Evashevski stated that if our ordinances don't make sense, we should review them, but also agrees with Straus that we should stick with the zoning review. The variance is up to City Council. Evashevski agrees that if there are going to be exceptions to the Ordinance, those exceptions should be part of the Ordinance. Evashevski stated this is a regulatory ordinance and she would like more time to look into it. Murray requested that the Planning Commission approve contingent on the Ware letter and approve the demolition and the new house. Motion to approve contingent on the letter from Ware with date and place the applicant may use their property, and all motor vehicle permits.

Motion made by Mosley, Seconded by Myers.  
 Voting Yea: Martin, Straus, Myers, Mosley, Finkel  
 Voting Nay: Pettit

Motion by Mosley, seconded by Myers to send a letter to City Council letting City Council know about the concern by the Commission of approving the Jaquiss vehicle permits because the modules do not fit within the motor vehicle ordinance because the sections are too long. All in favor. Motion carries.

Spencer suggested a Route Check Form be submitted to City Council for vehicle permits such as this. His company has used them for a long time.

## X. New Business

### a. MD24-069-074 May Lot Split

Joe Stakoe submitted a letter to Evashevski and the Commission. Straus read the letter aloud. Stakoe suggested that any approval be contingent on the correction of the non-conformity. The two encroachments are the bilco door and the shed. Dombroski stated both should be able to be corrected. Both are on the larger house. Larry Rellinger stated the encroachments will be removed prior to May 1st. Straus stated they would like that in writing.

Motion to recommend the lot split contingent on it meeting the requirement of Article 10, Section 10.4,A, and that the applicant would need to present a new survey to City Council with the lot changes, and that the encroachments will be removed by May 1, 2025, and that City Council guarantees in some way that the encroachments are removed.

Myers asked what happens if the encroachments are not removed. Evashevski stated that is for the City Council to figure out. Pettit asked about Article 10, Section 10.04,A and the lot being less than the required 50'. The Plan shows 48.5'. Straus suggested tabling until the encroachments and the lot width issues are figured out. Dombroski stated that there appears to be plenty of room to move that over to meet the 50' requirement.

Motion made by Myers, Seconded by Martin.  
Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Finkel

### b. R124-007-076 Peavey New Home Forest Bluff

The applicant was not present. Larry Rellinger stated he was not part of the HOA, however there is an HOA approval letter submitted by the applicant and signed by Larry Rellinger. Allen Burt asked if the home will be tying in to the common septic system that is there or are they putting in their own. Rellinger stated they will be part of the system that was installed in 2002 that handles all 7 properties. Burt needs to know if the HOA is taking care of that maintenance and common elements. Rellinger stated now that all the lots are sold there will be a new HOA that will be responsible for its maintenance. Straus stated since the applicant is not present he suggests to table until December to answer questions about sewer system, HOA approval, and contour maps for steep slope. Motion to table because the application is incomplete.

Motion made by Finkel, Seconded by Mosley.  
Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Finkel

c. Exterior Lighting - Dombroski

Dombroski stated this came up in the HDC. The question is if soffit lighting is appropriate to structures in a historic district. The HDC decided it is not appropriate. Spencer stated these will not be included in the red house. HDC and Planning Commission should have a discussion. Straus stated it is important to note that the Murray home was not in a HD at the time it was approved, but that going forward he agrees about the soffit lighting. Finkel stated the HDC was waiting for Neumanns input to discuss.

d. Adoption of 2025 Meeting Dates

Motion to adopt the 2025 meeting schedule. Pereny will ask Christine Rollins to fill in.

Motion made by Finkel, Seconded by Myers.  
Voting Yea: Martin, Pettit, Straus, Myers, Finkel

Motion by Myers, seconded by Finkel to set the Master Plan Draft Hearing for February 11, 2025 at noon. All in favor. Motion carries.

**XI. Public Comment**

Fortino announced she has taken a new job with Mackinac State Park so this is her last meeting.

Pettit commented that in the master plan meeting on October 22nd, the issue they were upset with was part of the existing Master Plan. Pettit stated DPW is trying to set rate tiers. Pettit stated defining employee housing is a good starting point. Pettit wondered if the Master Plan could be used to help also. Myers suggested cross referencing with Joe Stakoe on how he has places assessed.

**XII. Adjournment**

Motion to adjourn at 4:51 PM.  
Motion made by Mosley, Seconded by Martin.  
Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Finkel

---

Michael Straus, Chair

---

Katie Pereny, Secretary

**Katie Pereny**

**From:** Bob Benser <bbenser@icloud.com>  
**Sent:** Wednesday, November 13, 2024 12:46 PM  
**To:** Katie Pereny  
**Subject:** Benser Applications



Hi Katie,

Please extend my two pending applications 160 days from the time I submitted them. Thank you.  
Bob Benser

Sent from my iPhone

File No. C24-055/56-0  
Exhibit N  
Date 11.19.24  
Initials KP





45 Ottawa Avenue SW  
Suite 1100  
P.O. Box 306  
Grand Rapids, MI 49501-0306



**ROBERT W. O'BRIEN**  
Attorney

Section VI, Itemb.

616.831.1783  
616.988.1783 fax  
obrienr@millerjohnson.com

November 26, 2024

**SENT VIA E-MAIL**

Mackinac Island Planning Commission  
Attn: Chairperson Michael Straus  
7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

Re: **C24-055/56-056 (H)**  
**Expansion & Renovation**  
**Mister B's and Murdick's Fudge**  
7363 & 7367 Main Street  
Mackinac Island, MI  
Project No. 23022

Dear Planning Commission:

This law firm represents Trayser Properties, LLC ("Trayser") in connection with property owned at 7359 Main Street, Mackinac Island, Michigan 49757, commonly known as the Trading Post Building (the "Trading Post Building"). The Trading Post Building shares a wall the building currently located at 7363 Main Street, formerly known as the Murdick's Fudge Building (the "Shared Wall"). This correspondence is sent for the purpose of notifying you of Trayser's objections to any plan or project which includes the expansion, modification or alteration of the Shared Wall.

As set forth in the enclosed correspondence from Tiseo Architects, Inc., the drawings submitted for Mister B's and Murdick's Fudge Expansion & Renovation dated August 19, 2024, detail the expansion of the Murdick's Fudge Building and include a modification and expansion of the Shared Wall (the "Project"). Expanding, moving or otherwise modifying the shared wall without Trayser's prior written consent is a direct violation of Michigan law. Specifically, a party to a shared wall has no right expand, move or otherwise modify the shared wall without an express written agreement with the adjoining property owner. Specifically, any expansion or modification of the Shared Wall is an unauthorized physical intrusion and trespass interfering with Trayser's right to exclusive use of its property. Moreover, any alteration which expands the shared wall, undermines the existing wall, causes damage to the wall, or otherwise

MILLER JOHNSON

Section VI, Itemb.

Mackinac Island Planning Commission  
Attn: Chairperson Michael Straus  
November 26, 2024  
Page 2

---

burdens the Trading Post Building without Trayser's prior consent is an illegal trespass. Accordingly, Trayser objects to the Project since approving the Project as proposed will result in a trespass.

Please contact me if you have any questions or wish to discuss this matter further.

Sincerely,

MILLER JOHNSON



By

Robert W. O'Brien

cc: Client





19815 Farmington Road  
Livonia, Michigan  
48152-1444

Phone: 248.888.1300  
www.tiseo.com

November 26, 2024

Mackinac Island Planning Commission  
Attn: Chairperson Michael Straus  
7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

Re: **C24-055/56-056 (H)**  
**Expansion & Renovation**  
**Mister B's and Murdick's Fudge**  
7363 & 7367 Main Street  
Mackinac Island, MI  
Project No. 23022

Dear Planning Commissioners,

At the request of Trayser Properties LLC the owner of the adjacent Trading Post building (containing Trading Post, May's Fudge & Baxter's Somewhere in Time Shop & Art Gallery, and the apartments above) I reviewed Richard Clements Architect, PLLC Drawings (A1.0, A1.4, A2.1, A2.2, A2.3 and S2.2) submitted for **Mister B's and Murdick's Fudge Expansion & Renovation** dated August 19, 2024.

I understand this construction project is now to be completed in different phases. Phase 1 is represented on the submitted drawings which reflect keeping the existing Murdick's Fudge single story storefront as-is and building a new building behind that storefront. Both buildings include a new Basement and First Floor at approximately 55 feet back from the current storefront. No future Construction Phasing Scope of Work is indicated on these drawings.

These revised drawings still do not address several objections we had regarding the currently shared building common walls along the adjoining property line.

1. Sheet A1.4, Phase 1 Basement Plan indicates the front 12'-1" common wall of the Trading Post & Murdick's is to remain. Since this wall is the Trading Post building wall there are no drawings indicating how the Murdick's Building will be separated by extending the required 2-hour fire rated wall to the street front. The drawings does not address the code requirement in Table 602 of the required 2-hour fire resistance wall.
2. Sheet S2.2, Phase 1 Section B-B is a transversal (side to side) Building Section of the new construction. That Section indicates, by error I believe, the new exterior 2-hour wall at the adjoining property line to be approximately 2 feet from the existing Trading Post exterior wall. If the drawing of this wall

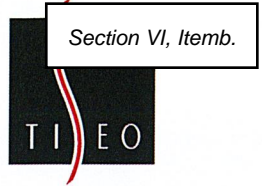


Veteran Owned  
Small Business

ARCHITECTURE  
PLANNING  
INTERIORS

To: Mackinac Island Planning Commission  
Date: 11/26/2024  
Page: 2 of 2

Section VI, Itemb.



section is indeed correct, their new concrete foundation will be under the Trading Post Basement footing. The ability to provide a weather-resistant building (either building) as required in Section 1403.2, in my opinion would be impossible with a 2-foot gap between walls.

3. Also, on that same section, it indicates their new Basement CMU wall construction to be constructed with a concrete footing bottom approximately 8'-6" below their First Floor Level. That means that their new wall would be below the Trading Post existing Basement wall. Their drawings give no details or indication on how to shore up the Trading Post building to prevent the collapse of that building during the excavation for the new Murdick's Fudge building as required in Section 1604 of the Building Code.

Because the available drawings do not clearly indicate (or dimension) the relationship between the two buildings' basements or between the two foundations' bearing depths, or between the two buildings' exterior walls along the property line, it is exceedingly difficult to properly assess the level of potential hazard or damage being created at the Trading Post property directly resulting from the neighbor's proposed work.

Sincerely,

**TISEO ARCHITECTS, INC.**

A handwritten signature in green ink, appearing to read 'Benedetto Tiseo', is written over the company name.

Benedetto Tiseo, FAIA, NCARB  
President  
[ben@tiseo.com](mailto:ben@tiseo.com)

Cc. Devan Anderson, Robert O'Brien, Anthony Trayser

Attachment









**Katie Pereny**

---

**From:** Seth Harris <sharris@eup-planning.org>  
**Sent:** Friday, December 6, 2024 8:35 AM  
**To:** Katie Pereny  
**Cc:** Jeff Hagan  
**Subject:** Mackinac Island Master Plan Review Period - Comments  
**Attachments:** Housing Market Analysis - Mackinac Island - 2024 final revised.pdf - 11-6-24.pdf

Greetings,

This is Seth Harris from EUP Regional Planning & Development, the RPO for the Eastern U.P. I'm reaching out today to provide comments on the proposed master plan. You can find the comments from our organization below:

- There are several of mentions of the Michigan Department of Environmental Quality (DEQ). These should be changed to Michigan Department of Environment, Great Lakes, and Energy (EGLE) or another department, as appropriate.
- For an island community, emerging topics such as renewable energy, on-island energy production, climate change, materials management, and, especially, resiliency for changing water levels should be highlighted.
- In this island community, where there are major land constraints, and what is a reasonable expectation for this plan to aid in the addition of housing units? And how does this relate back to the community input received?
- We do commend the authors for addressing housing as was required by the update to the planning enabling act.
- It may be beneficial to include, in the appendix, either an excerpt or the entirety of the recent Housing Needs Assessment conducted by Community Research Services, LLC (attached).

Thanks, and please let me know if you have any questions or comments.

Seth Harris  
Assistant Planner  
EUP Regional Planning & Development Commission  
906-635-1581 ext 5277  
[sharris@eup-planning.org](mailto:sharris@eup-planning.org) | [www.eup-planning.org](http://www.eup-planning.org)  
2345 Meridian Street, Sault Ste. Marie, MI 49783



CITY OF MACKINAC ISLAND  
PLANNING COMMISSION & BUILDING DEPARTMENT  
APPLICATION FOR ZONING ACTION

www.cityofmi.org    kep@cityofmi.org    906-847-6190    PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Robert G. Benser  
PO BOX 481 MACKINAC IS  
231-881-3343    dbenser@me.com  
Phone Number                      Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Is The Proposed Project Part of a Condominium Association?

NO

Is The Proposed Project Within a Historic Preservation District?

YES

Applicant's Interest in the Project (If not the Fee-Simple Owner):

-

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

NO

Is a Variance Required?

NO

Are REU's Required? How Many?

NO                      1

Type of Action Requested:

- Standard Zoning Permit

- Special Land Use

- Planned Unit Development

X Other LOT COMBINATION

- Appeal of Planning Commission Decision

- Ordinance Amendment/Rezoning

- Ordinance Interpretation

Property Information:

051.550.056.00 + 051.550.055.00

A. Property Number (From Tax Statement):

SEE PRINTS

B. Legal Description of Property:

SEE PRINTS

C. Address of Property:

7363 MAIN ST MACKINAC IS + 7367 Main

D. Zoning District:

COMMERCIAL

E. Site Plan Checklist Completed & Attached:

YES

F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance)

SEE PRINTS

G. Sketch Plan Attached:

-

H. Architectural Plan Attached:

YES

I. Association Documents Attached (Approval of project, etc.):

N/A

J. FAA Approval Documents Attached:

N/A

K. Photographs of Existing and Adjacent Structures Attached:

SEE PLANS

Proposed Construction/Use:

A. Proposed Construction:

X New Building

- Other, Specify \_\_\_\_\_

- Alteration/Addition to Existing Building

File No. C24-055/56-056(H)

Exhibit A

Date 8.27.24

Initials KP

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

MURDER'S FUDGE & VACANT MR. B's LOT

Proposed Use:

CONSTRUCT BASEMENT & PATIO FOR EXPANDED MURDER'S FUDGE & NEW MR B's.

C. If Vacant:

Previous Use:

MR B's

Proposed Use:

MR B's

STATE OF MICHIGAN )

COUNTY OF MACKINAC ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the OWNER (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.



Robert G. Benser  
Signature

SIGNATURES \_\_\_\_\_  
Signature

Robert G. Benser  
Please Print Name

\_\_\_\_\_  
Please Print Name

Signed and sworn to before me on the 27 day of August, 2024.

K. RICKLEY, Notary Public  
Mackinac County, State of Michigan  
Acting in the County of Mackinac  
My Commission Expires: 10/21/2025

K. Rickley  
Notary Public  
Mackinac County, Michigan  
My commission expires: 10/21/2025

FOR OFFICE USE ONLY

Zoning Permit Issued: \_\_\_\_\_

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: C24-055/56-056(H) FEE: \$400  
DATE: 8.27.24 CHECK NO: 1019064 INITIALS: KD  
Revised October 2023

City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

**Site Plan Review Checklist**  
**Please Submit With The Application for Zoning Action**

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

**Optional Preliminary Plan Review**  
**Informational Requirements (Section 20.03)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- |   |                                     |                          |
|---|-------------------------------------|--------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction.  | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

#### Natural Features

- |   | <u>Provided</u>          | <u>Not Provided<br/>or Applicable</u> |
|---|--------------------------|---------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/>   |
| 16. Topography of the site with at least two- to five-foot contour intervals  | <input type="checkbox"/> | <input checked="" type="checkbox"/>   |
| 17. Proposed alterations to topography or other natural features  | <input type="checkbox"/> | <input checked="" type="checkbox"/>   |
| 18. Earth-change plans, if any, as required by state law  | <input type="checkbox"/> | <input checked="" type="checkbox"/>   |

#### Physical Features

- |   | <u>Provided</u>                     | <u>Not Provided<br/>or Applicable</u> |
|---|-------------------------------------|---------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site   | <input type="checkbox"/>            | <input checked="" type="checkbox"/>   |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/>              |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a  | <input type="checkbox"/>            | <input checked="" type="checkbox"/>   |

dwelling schedule showing the unit type and number of each such units

22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features

☐
☒

23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)

☒
☐

24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)

☒
☐

25. Description of Existing and proposed on-site lighting (see also Section 4.27)

☐
☒

#### Utility Information

#### Provided

#### Not Provided or Applicable

26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand

☐
☒

27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)

☒
☐

28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)

☒
☐

29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.

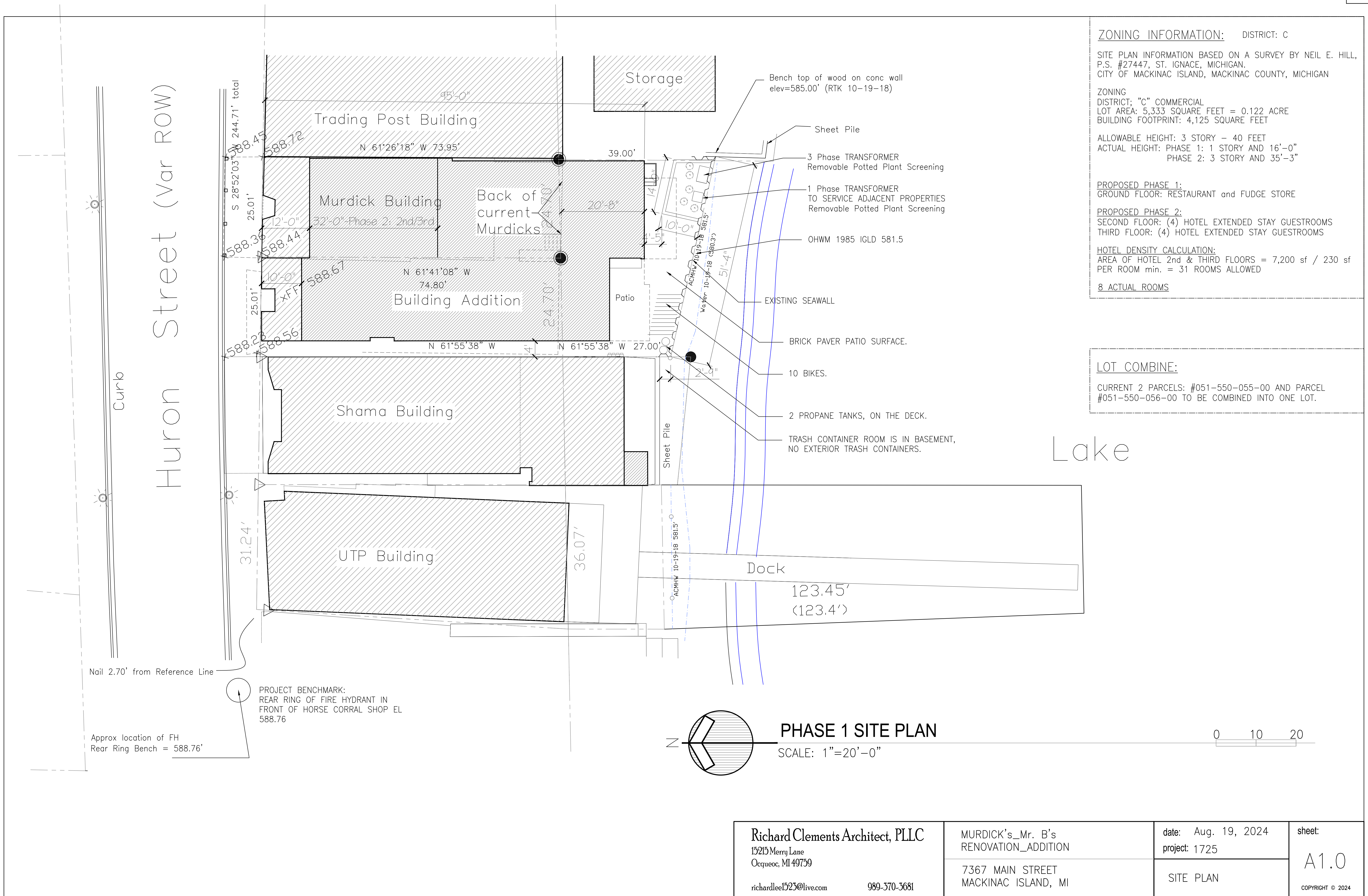
☒
☐

Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)

Demolition	Provided	Not Provided or Applicable
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review**  
**Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>







**CITY OF MACKINAC ISLAND  
PLANNING COMMISSION & BUILDING DEPARTMENT  
APPLICATION FOR ZONING ACTION**

www.cityofmi.org    kep@cityofmi.org    906-847-6190    PO Box 455 Mackinac Island, MI 49757

**APPLICANT NAME & CONTACT INFORMATION:**

Robert G. Benser  
PO BOX 481 MACKINAC IS.  
231-881-3343    rbenser@mie.com  
 Phone Number                      Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

**Property Owner & Mailing Address (If Different From Applicant)**

Is The Proposed Project Part of a Condominium Association? NO

Is The Proposed Project Within a Historic Preservation District? YES

Applicant's Interest in the Project (If not the Fee-Simple Owner): -

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO

Is a Variance Required? NO

Are REU's Required? How Many? NO                      1

**Type of Action Requested:**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Standard Zoning Permit | <input type="checkbox"/> Appeal of Planning Commission Decision |
| <input type="checkbox"/> Special Land Use                  | <input type="checkbox"/> Ordinance Amendment/Rezoning           |
| <input type="checkbox"/> Planned Unit Development          | <input type="checkbox"/> Ordinance Interpretation               |
| <input type="checkbox"/> Other _____                       |   |

**Property Information:**

051.550.055.00 + 051.550.056.00

- A. Property Number (From Tax Statement): SEE PRINTS
- B. Legal Description of Property: SEE PRINTS
- C. Address of Property: 7363 MAIN ST. MACKINAC IS. & 7367 Main
- D. Zoning District: COMMERCIAL
- E. Site Plan Checklist Completed & Attached: YES
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) SEE PRINTS
- G. Sketch Plan Attached: -
- H. Architectural Plan Attached: YES
- I. Association Documents Attached (Approval of project, etc.): N/A
- J. FAA Approval Documents Attached: N/A
- K. Photographs of Existing and Adjacent Structures Attached: SEE PLANS

**Proposed Construction/Use:**

- A. Proposed Construction:
- ☒ New Building                      ☐ Alteration/Addition to Existing Building
- ☐ Other, Specify \_\_\_\_\_

**File No.** C24. 055/56-056(H)

**Exhibit** B

**Date** 8.27.24

**Initials** KP

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

MURDECK'S FUDGE & VACANT MR. B's LOT  
Proposed Use: CONSTRUCT BASEMENT & PADINGS FOR EXPANDED  
MURDECK'S FUDGE & NEW MR B's.

C. If Vacant:

Previous Use: MR B's

Proposed Use: MR B's

STATE OF MICHIGAN )  
COUNTY OF MACKINAC ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the OWNER (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Robert G. Benser  
Signature

SIGNATURES \_\_\_\_\_  
Signature

Robert G. Benser  
Please Print Name

\_\_\_\_\_  
Please Print Name

Signed and sworn to before me on the 27 day of August, 2024.

K. RICKLEY, Notary Public  
Mackinac County, State of Michigan  
Acting in the County of Mackinac  
My Commission Expires: 10/21/2025

K. Rickley  
Notary Public  
Mackinac County, Michigan  
My commission expires: 10/21/2025

FOR OFFICE USE ONLY

Zoning Permit Issued: \_\_\_\_\_

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: C24-055/56-056(H) FEE: 400-  
DATE: 8-27-24 CHECK NO: 1019056 INITIALS: KD Revised October 2023

City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review  
Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- |   |                                     |                          |
|---|-------------------------------------|--------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction.  | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Natural FeaturesProvidedNot Provided  
or Applicable

- |   |                          |                                     |
|---|--------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided  
or Applicable

- |   |                                     |                                     |
|---|-------------------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features

☐
☒

23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)

☒
☐

24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)

☒
☐

25. Description of Existing and proposed on-site lighting (see also Section 4.27)

☐
☒

#### Utility Information

#### Provided

#### Not Provided or Applicable

26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand

☐
☒

27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)

☒
☐

28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)

☒
☐

29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.

☒
☐



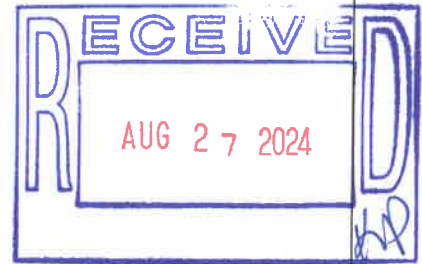
**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Architectural Review

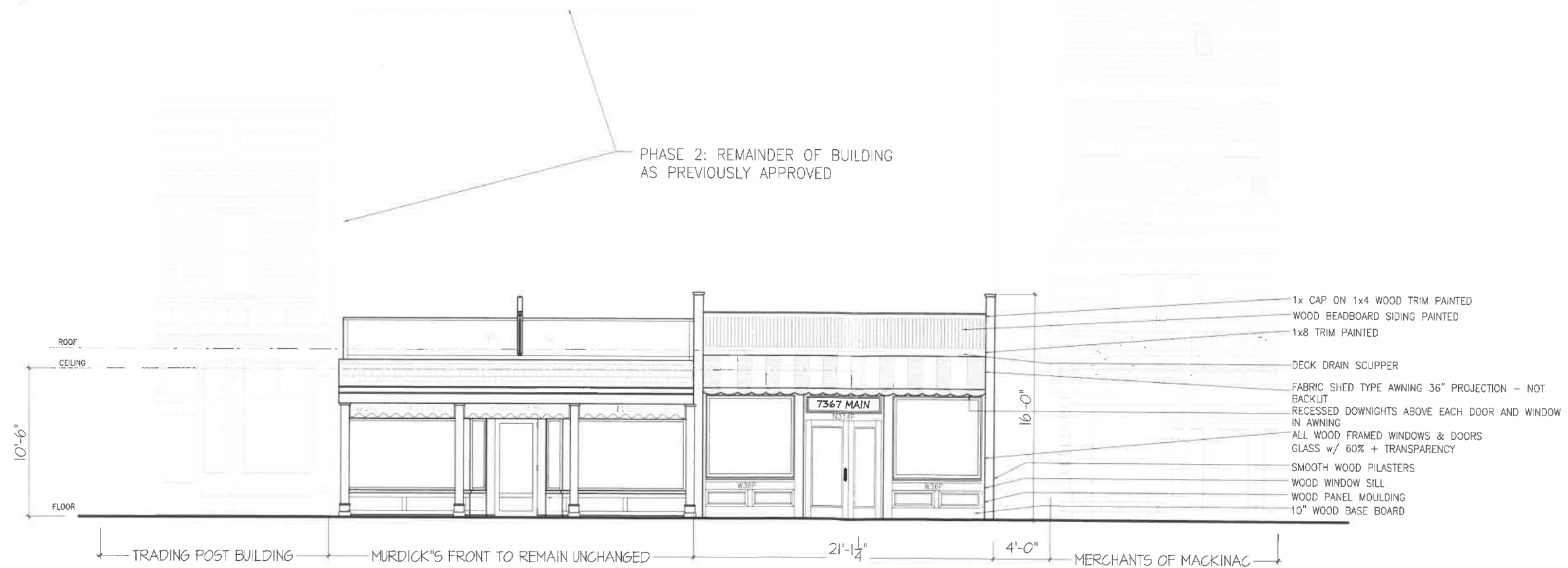
Informational Requirements (Section 18.05)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>



File No. C24-055/56-056(H)  
 Exhibit D  
 Date 8.27.24  
 Initials KP

40'-0" MAXIMUM NON EXCLUDED HEIGHT LIMIT



# PHASE 1 NORTH (HURON STREET) ELEVATION

SCALE: 1/4"=1'-0"

0 4 8

Richard Clements Architect, PLLC 1525 Merry Lane Oshtemo, MI 48869 richardc@rca2.com 989-370-3681	
MURDICK's_Mr. B's RENOVATION_ADDITION 7363 MAIN STREET MACKINAC ISLAND, MI	
previous zoning renewal: Sept. 25, 2023	
revised:	sheet:
date: Aug. 19, 2024	project: 1725
PHASE 1	A2.1



40'-0" MAXIMUM NON EXCLUDED HEIGHT LIMIT

ROOF SLOPES TO REAR 7" HEAVY DUTY OGEE GUTTER  
at 1/8" pft SLOPE WITH 4" DOWNSPOUTS EACH SIDE TO  
UNDERGROUND 6" PVC PIPES TO LAKE.



PHASE 1 SOUTH (HARBOR) ELEVATION  
SCALE: 1/4"=1'-0"

0 4 8

Richard Clements Architect, PLLC  
15215 Merry Lane  
Oshtemo, MI 49759  
richardlee15236@live.com 989-370-3681

MURDICK's\_Mr. B's  
RENOVATION\_ADDITION  
7363 MAIN STREET  
MACKINAC ISLAND, MI

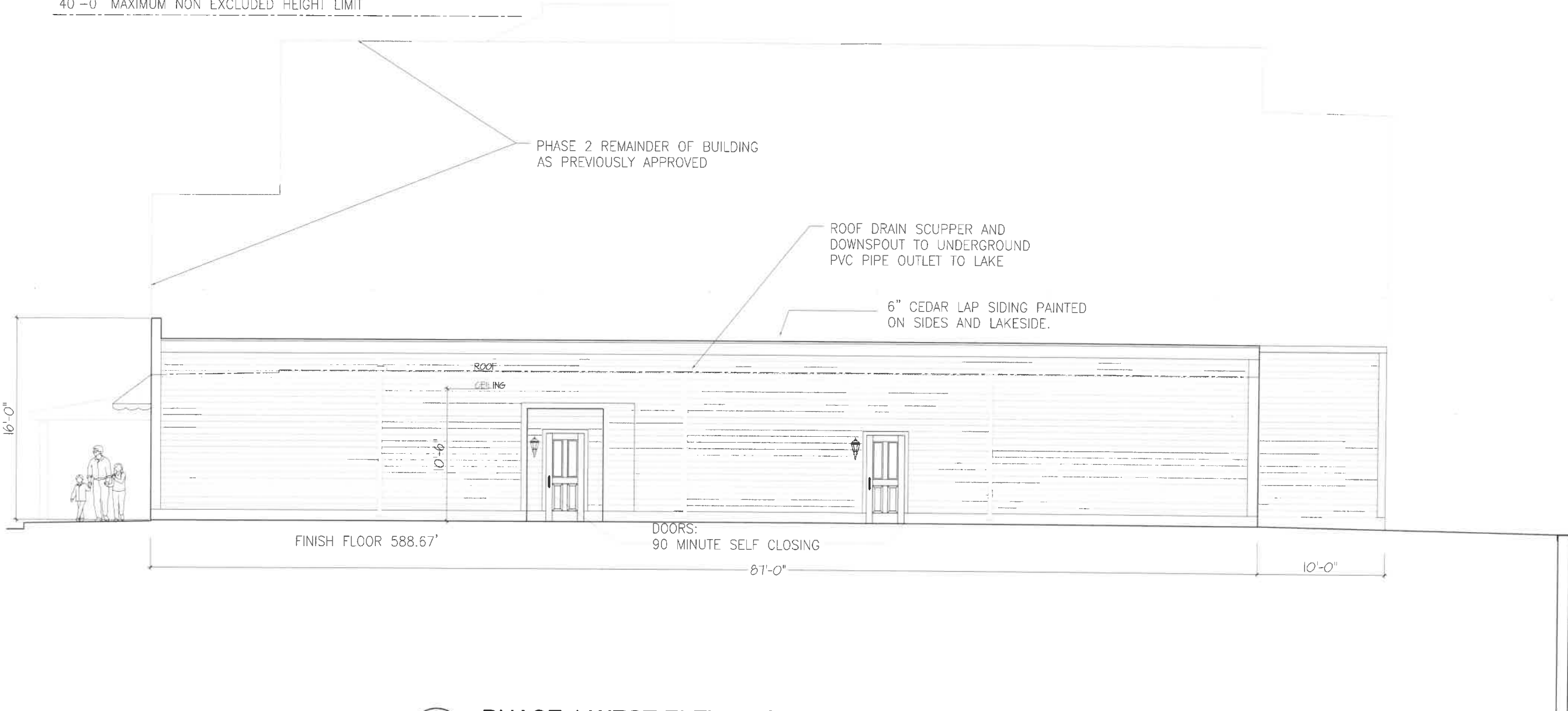
previous zoning renewal: Sept. 25, 2023

revised:  
date: Aug. 19, 2024  
project: 1725

sheet:  
A2.2  
SOUTH ELEVATION  
COPYRIGHT © 2024

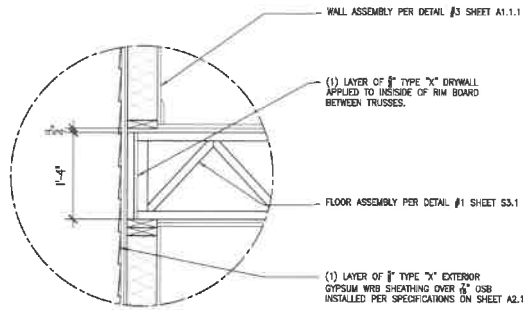
+6' EXCLUDED STRUCTURE HEIGHT LIMIT HEIGHT

40'-0" MAXIMUM NON EXCLUDED HEIGHT LIMIT

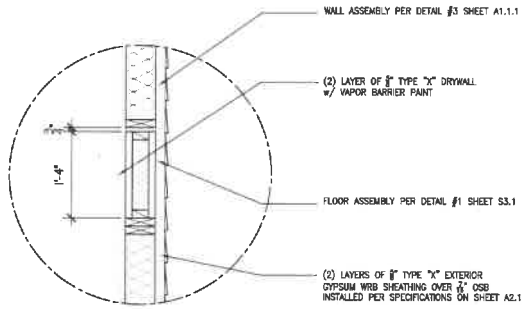


 **PHASE 1 WEST ELEVATION**  
SCALE: 1/4"=1'-0" 0 4 8

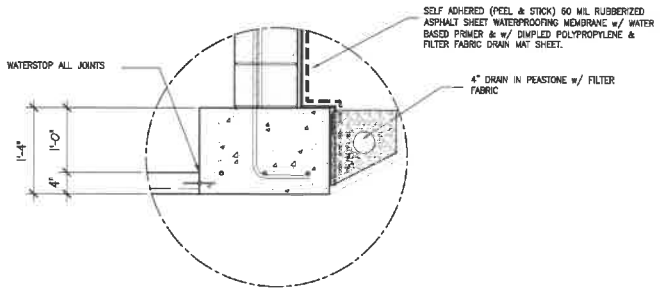
Richard Clements Architect, PLLC 15215 Morris Lane Oshtemo, MI 49759 richard@rca-llc.com 561-370-3681	
MURDICK's_Mr. B's RENOVATION_ADDITION 7363 MAIN STREET MACKINAC ISLAND, MI	
previous zoning renewal: Sept. 25, 2023	
revised:	
date: Aug. 19, 2024 project: 1725	sheet: <b>A2.3</b> WEST ELEVATION



1 2nd FLOOR DETAIL AT EAST FRONT HALF SCALE 3/8"=1'-0"



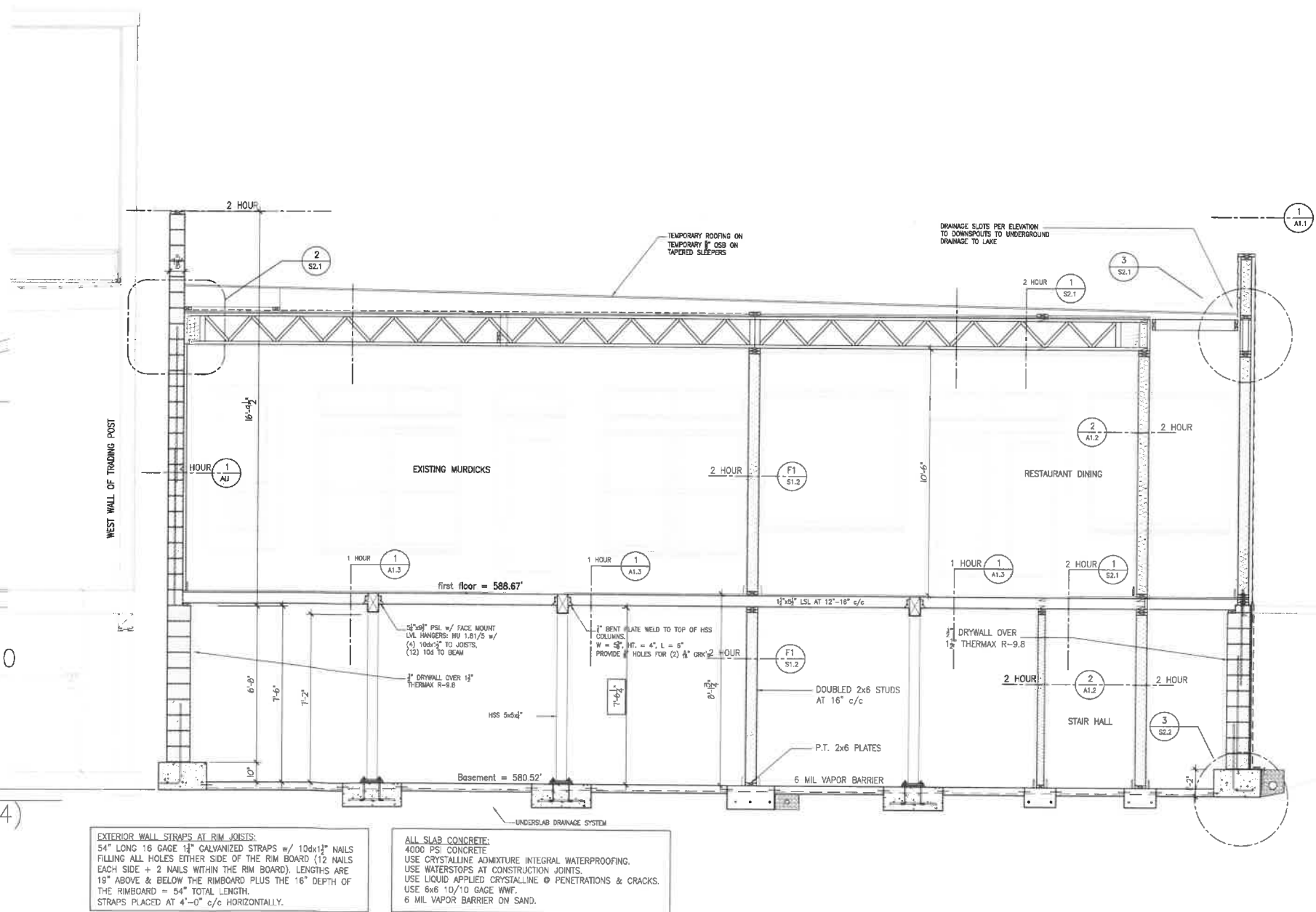
2 2nd FLOOR DETAIL AT WEST STAIR SCALE 3/8"=1'-0"



3 BASEMENT WALL DETAIL SCALE 3/8"=1'-0"

100 Year Flood EL 585.0

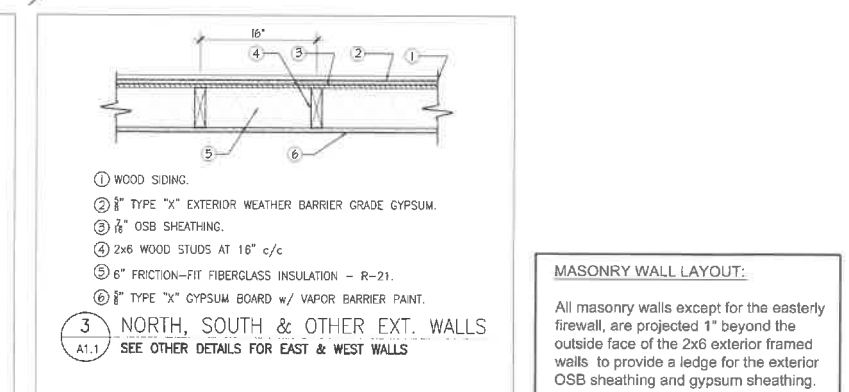
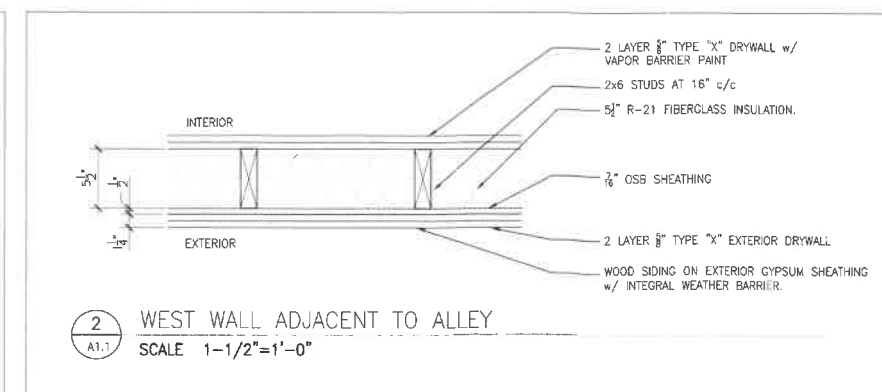
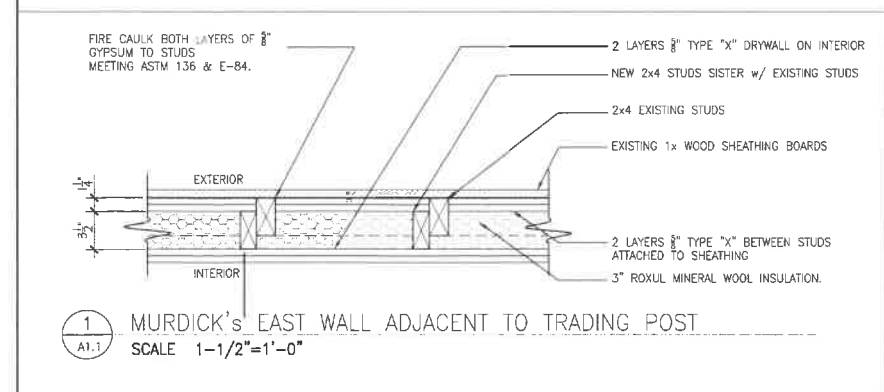
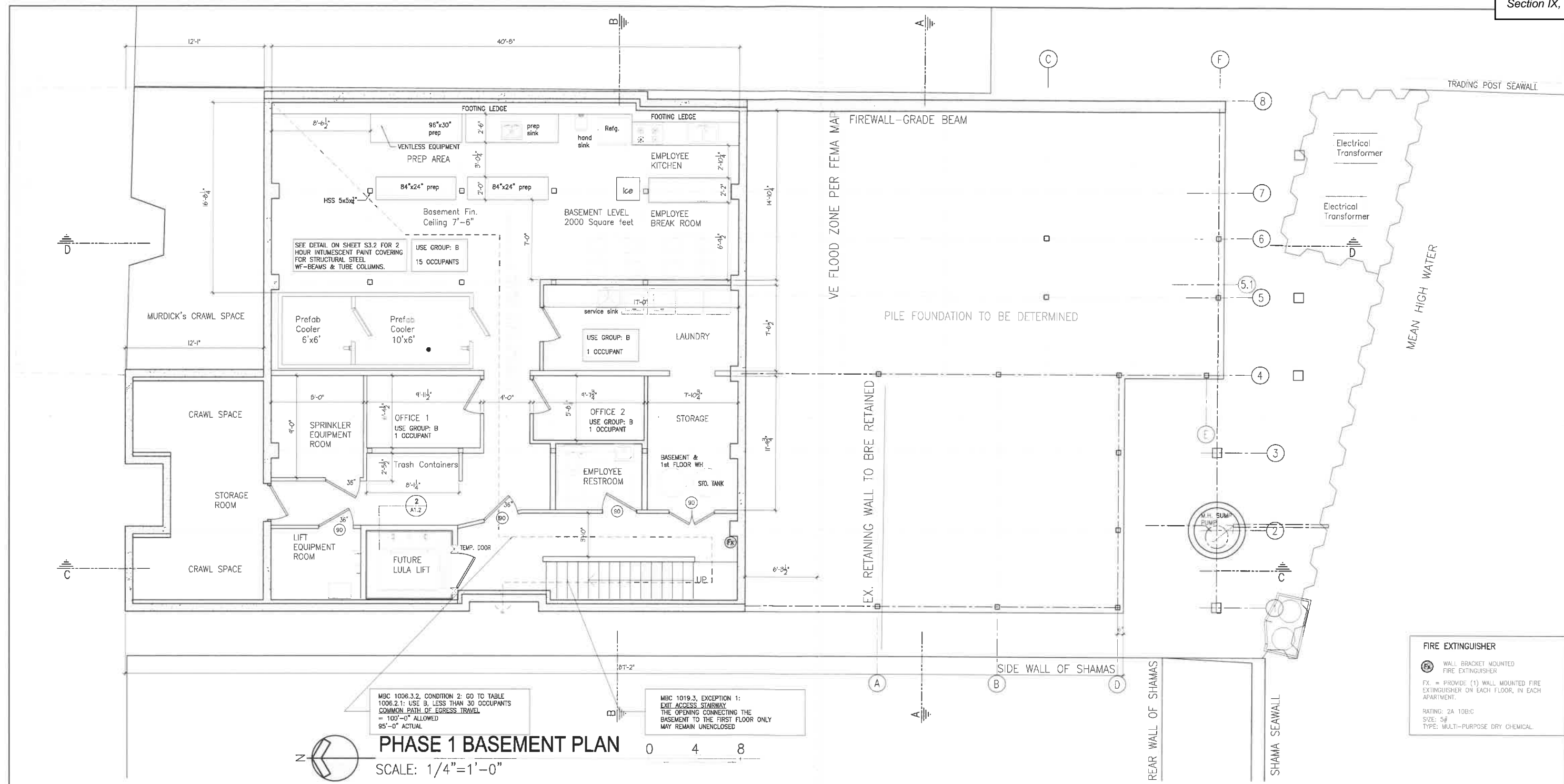
Current Water 579.7 (7.23.24)




EXTERIOR WALL STRAPS AT RIM JOISTS:  
54\"/>

ALL SLAB CONCRETE:  
4000 PSI CONCRETE  
USE CRYSTALLINE ADMIXTURE INTEGRAL WATERPROOFING.  
USE WATERSTOPS AT CONSTRUCTION JOINTS.  
USE LIQUID APPLIED CRYSTALLINE @ PENETRATIONS & CRACKS.  
USE 6x6 10/10 GAGE WWF.  
6 MIL VAPOR BARRIER ON SAND.

PHASE 1 SECTION B-B  
SCALE: 3/8"=1'-0"



**FIRE EXTINGUISHER**

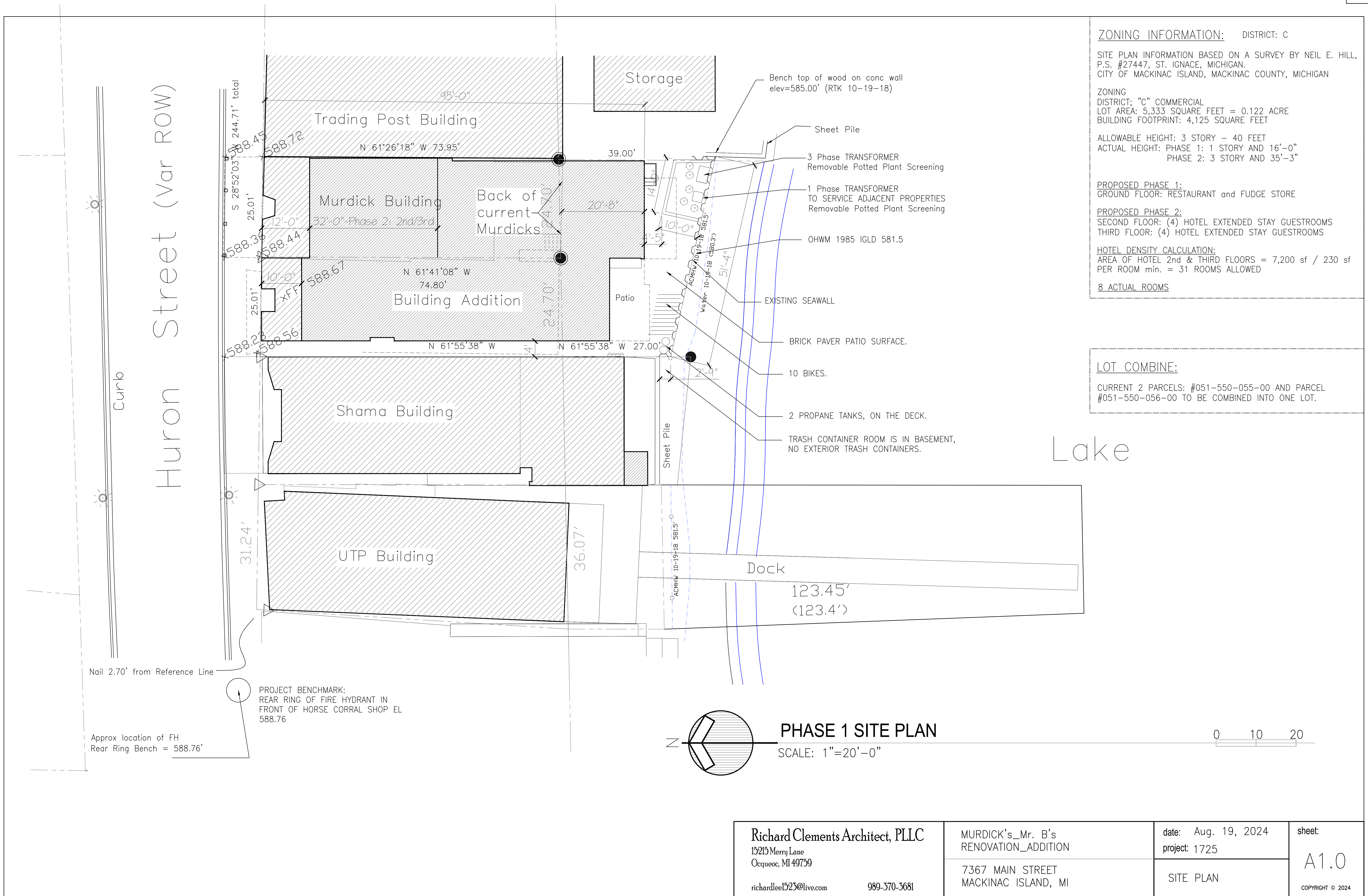
 WALL BRACKET MOUNTED  
FIRE EXTINGUISHER

FX. = PROVIDE (1) WALL MOUNTED FIRE  
EXTINGUISHER ON EACH FLOOR, IN EACH  
APARTMENT.

RATING: 2A 10B:C  
SIZE: 5#  
TYPE: MULTI-PURPOSE DRY CHEMICAL.

Richard Clements Architect, PLLC 15215 Merry Lane Oryssence, MI 48759 richardlee123@live.com 989-370-6881	
MURDICK's Mr. B's RENOVATION_ADDITION 7363 MAIN STREET MACKINAC ISLAND, MI	
previous zoning renewal: Sept. 25, 2023	
revised:	
date: Aug. 19, 2024 project: 1725	sheet: A1.4
BASEMENT PLAN	





ZONING INFORMATION: DISTRICT: C

SITE PLAN INFORMATION BASED ON A SURVEY BY NEIL E. HILL,  
P.S. #27447, ST. IGNACE, MICHIGAN.  
CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN

ZONING  
DISTRICT: "C" COMMERCIAL  
LOT AREA: 5,333 SQUARE FEET = 0.122 ACRE  
BUILDING FOOTPRINT: 4,125 SQUARE FEET

ALLOWABLE HEIGHT: 3 STORY - 40 FEET  
ACTUAL HEIGHT: PHASE 1: 1 STORY AND 16'-0"  
PHASE 2: 3 STORY AND 35'-3"

PROPOSED PHASE 1:  
GROUND FLOOR: RESTAURANT and FUDGE STORE

PROPOSED PHASE 2:  
SECOND FLOOR: (4) HOTEL EXTENDED STAY GUESTROOMS  
THIRD FLOOR: (4) HOTEL EXTENDED STAY GUESTROOMS

HOTEL DENSITY CALCULATION:  
AREA OF HOTEL 2nd & THIRD FLOORS = 7,200 sf / 230 sf  
PER ROOM min. = 31 ROOMS ALLOWED

8 ACTUAL ROOMS

LOT COMBINE:

CURRENT 2 PARCELS: #051-550-055-00 AND PARCEL  
#051-550-056-00 TO BE COMBINED INTO ONE LOT.

PHASE 1 SITE PLAN

SCALE: 1"=20'-0"

0 10 20

Richard Clements Architect, PLLC

15215 Merry Lane  
Oscoda, MI 49759

richardlee1525@live.com

989-370-3681

MURDICK's\_Mr. B's  
RENOVATION\_ADDITION

7367 MAIN STREET  
MACKINAC ISLAND, MI

date: Aug. 19, 2024

project: 1725

SITE PLAN

sheet:

A1.0

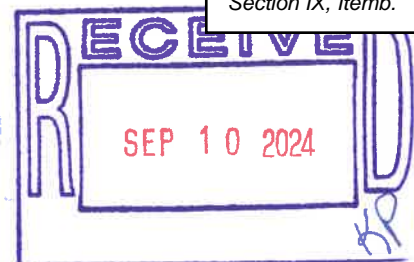
COPYRIGHT © 2024





Richard  
Neumann  
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931



7 September 2024

Katie Pereny, Secretary  
Historic District Commission  
City of Mackinac Island  
Mackinac Island, MI 49757

File No. C24-055/56-056(H)

Exhibit H

Date 9.10.24

Initials KP

Re: **MISTER B's & MURDICK'S FUDGE RENOVATION & ADDITIONS CHANGE**  
Design Review

Dear Ms. Pereny:

This design review follow-up is for proposed design changes dated 19 August 2024 for the old Mister B's building site and the Murdick's Fudge building, respectively at 7367 and 7363 Main Street, in the Market and Main Historic District. The Murdick's Fudge building is a Contributing structure in the district.

Numerous revisions to the original approved project have been made over the course of 2019 - 2022, this current request being mostly a phasing change. Rather than construct the entire two-building project at one time, it is now proposed to construct the foundation / basement and the first floor as phase one, later followed by phase two consisting of the second and third floors. Phase one would also include building foundation pilings and lakeshore sheet pilings.

The proposed phase one scope of work reflects what has previously been approved by the HDC, with one minor change. This exception is on the harbor end of the Murdick's Fudge building where a blank portion of first floor wall to the left of the center door is now proposed to be a pair of windows matching those to the right of the door.

The proposed project phasing and the windows change would meet the Standards for review.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

- c. Bob Benser, Applicant  
Rich Clements, Richard Clements Architect  
Dennis Dombroski, City of Mackinac Island  
David Lipovsky, City of Mackinac Island



No R124-007-076

Sub A

Date 10.24.24

Init us KP

CITY OF MACKINAC ISLAND

PLANNING COMMISSION & BUILDING DEPARTMENT

APPLICATION FOR ZONING ACTION

www.cityofmi.org

kep@cityofmi.org

906-847-6190

PO Box 455 Mackinac Island, MI 49757 KP

APPLICANT NAME & CONTACT INFORMATION:

JOHNNY G. PEAVEY

136 BELL ST ST IGNACE MI

281-387-8000

MASTERJC.PEAVEY@GMAIL

Phone Number

Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

SAME

Is The Proposed Project Part of a Condominium Association?

YES

Is The Proposed Project Within a Historic Preservation District?

NO

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

YES

Is a Variance Required?

NO

Are REU's Required? How Many?

YES 1

Type of Action Requested:

☒ Standard Zoning Permit

☐ Special Land Use

☐ Planned Unit Development

☐ Other \_\_\_\_\_

☐ Appeal of Planning Commission Decision

☐ Ordinance Amendment/Rezoning

☐ Ordinance Interpretation

Property Information:

A. Property Number (From Tax Statement): 051-772-007-00

B. Legal Description of Property: LOT 7 CEDAR POINT LANE FOREST BLUFF

C. Address of Property: LOT 7 CEDAR POINT LANE 3718 Cedar Pt Ln. CONDOMINIUM

D. Zoning District: R1

E. Site Plan Checklist Completed & Attached: YES

F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) \_\_\_\_\_

G. Sketch Plan Attached: \_\_\_\_\_

H. Architectural Plan Attached: YES

I. Association Documents Attached (Approval of project, etc.): YES

J. FAA Approval Documents Attached: NO

K. Photographs of Existing and Adjacent Structures Attached: NO

Proposed Construction/Use:

A. Proposed Construction:

☒ New Building

☐ Alteration/Addition to Existing Building

☐ Other, Specify \_\_\_\_\_

B. Use of Existing and Proposed Structures and Land:  
Existing Use (If Non-conforming, explain nature of use and non-conformity):

Proposed Use: \_\_\_\_\_

C. If Vacant:

Previous Use: VACANT LOT

Proposed Use: BUILD A SINGLE FAMILY HOME

STATE OF MICHIGAN            )  
COUNTY OF MACKINAC        ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the OWNER (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**

Signature Johnny G. Peavey

JOHNNY G. PEAVEY  
Please Print Name

SIGNATURES \_\_\_\_\_  
Signature

\_\_\_\_\_  
Please Print Name

Signed and sworn to before me on the 24<sup>th</sup> day of October, 2024.



Kathryn Pereny  
Notary Public  
Mackinac County County, Michigan  
My commission expires: 8.7.30

FOR OFFICE USE ONLY

Zoning Permit Issued: \_\_\_\_\_

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: R124.007.076 FEE: \$150-  
DATE: 10.24.24 CHECK NO: 1657 INITIALS: KP  
Revised October 2023

City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

**Site Plan Review Checklist**  
**Please Submit With The Application for Zoning Action**

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

**Optional Preliminary Plan Review**  
**Informational Requirements (Section 20.03)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan WADE TRIM 4241 OLD US 27 SOUTH SUITE 1 GAYLORD MI	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation 10/28	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

CARRIAGE TOURS

12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.



2 YARD DUMPSTER  
CARRIAGE TOWNS.

13. Proposed construction start date and estimated duration of construction.



14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission



#### Natural Features

#### Provided

#### Not Provided or Applicable

15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)
16. Topography of the site with at least two- to five-foot contour intervals
17. Proposed alterations to topography or other natural features
18. Earth-change plans, if any, as required by state law



#### Physical Features

#### Provided

#### Not Provided or Applicable

19. Location of existing manmade features on the site and within 100 feet of the site
20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site
21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a





dwelling schedule showing the unit type and number of each such units

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features                               | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)       | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input type="checkbox"/>            |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27)  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

#### Utility Information

#### Provided

#### Not Provided or Applicable

- |  |                                     |                                     |
|--|-------------------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

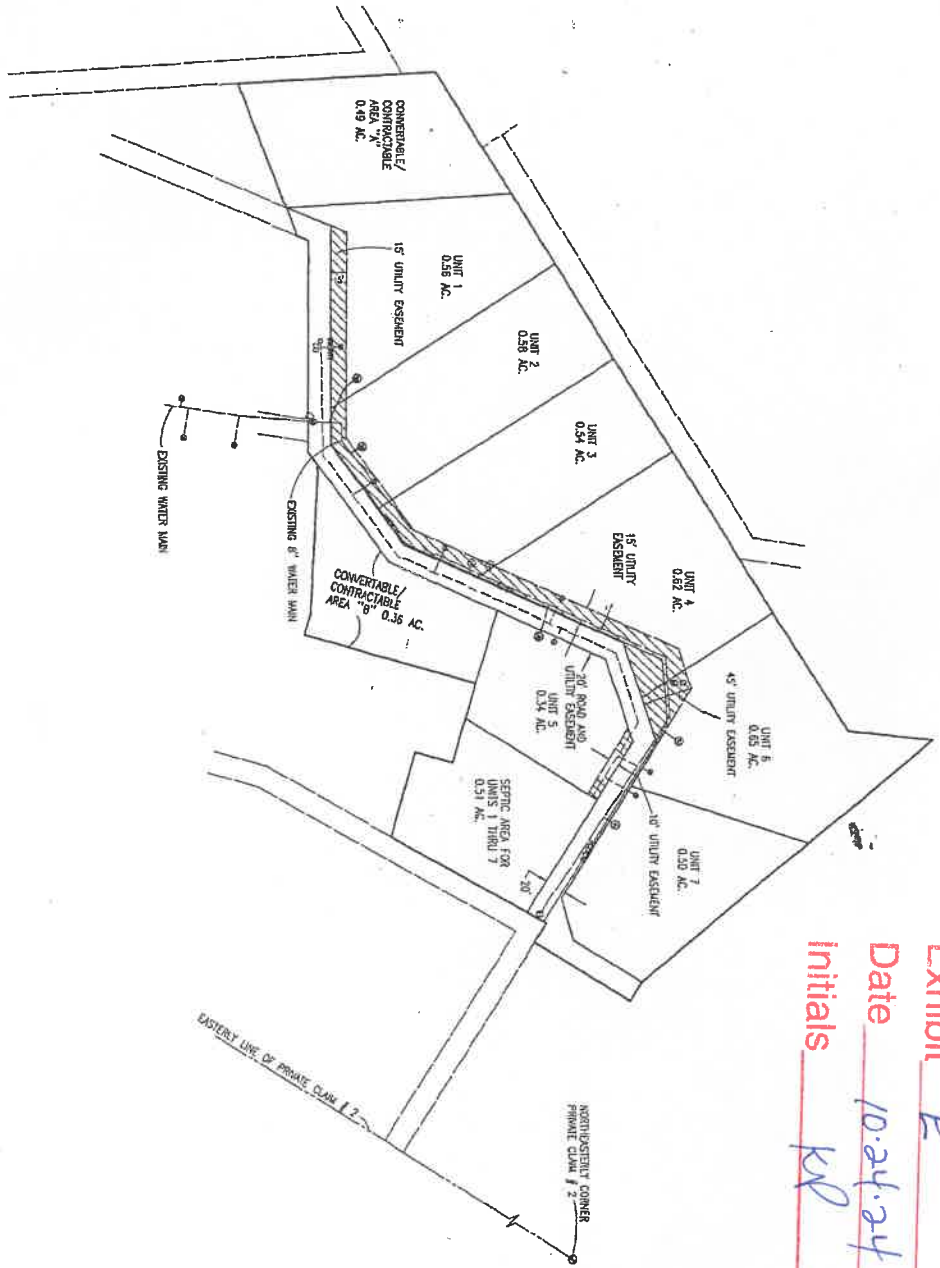
**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

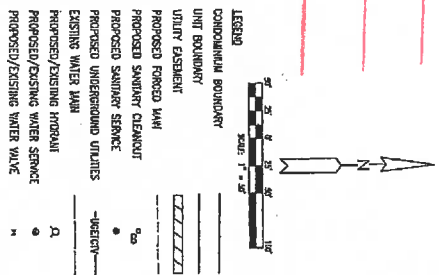
Architectural Review  
Informational Requirements (Section 18.05)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

ALL UTILITIES SHOWN ARE BASED ON PLANS PREPARED BY WIDE-TRIM, INC., MUST BE  
 ALL UTILITIES MUST BE PAID.



File No. RA24-0070710  
 Exhibit E  
 Date 10.24.24  
 Initials KP



SUSAN LUNDGREN

Wide-Trim  
 1711 N. 10th Ave., Suite 100  
 Phoenix, AZ 85016  
 Tel: 602.998.1111  
 Fax: 602.998.1112  
 Website: www.wide-trim.com

UTILITY PLAN



FOREST BLUFF  
 "A" SITE CONDOMINIUM  
 REPEAT NO. 2

THIS SHEET PREPARED BY:  
 WIDE-TRIM, INC.

JOHN G. GIBSON  
 PROFESSIONAL SURVEYOR  
 REGISTRATION NO. 16583

AS NOTED  
 4 OF 4  
 RPT-100-0118





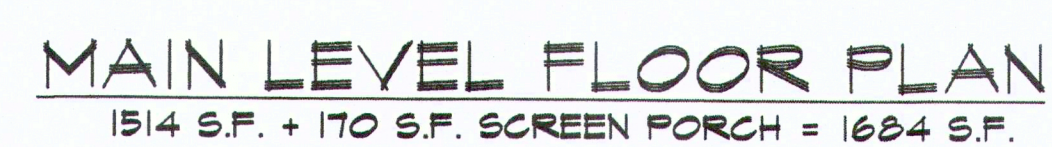
DAY

2 of 3

revised:

WEB SITE [WWW.DESIGNDEBATING.COM](http://WWW.DESIGNDEBATING.COM)





RESIDENCE FOR:

Sheet:  
1 OF 3

**Abstract**

JOHN PEAVEY

**DESIGN  
DEPOT** INC.

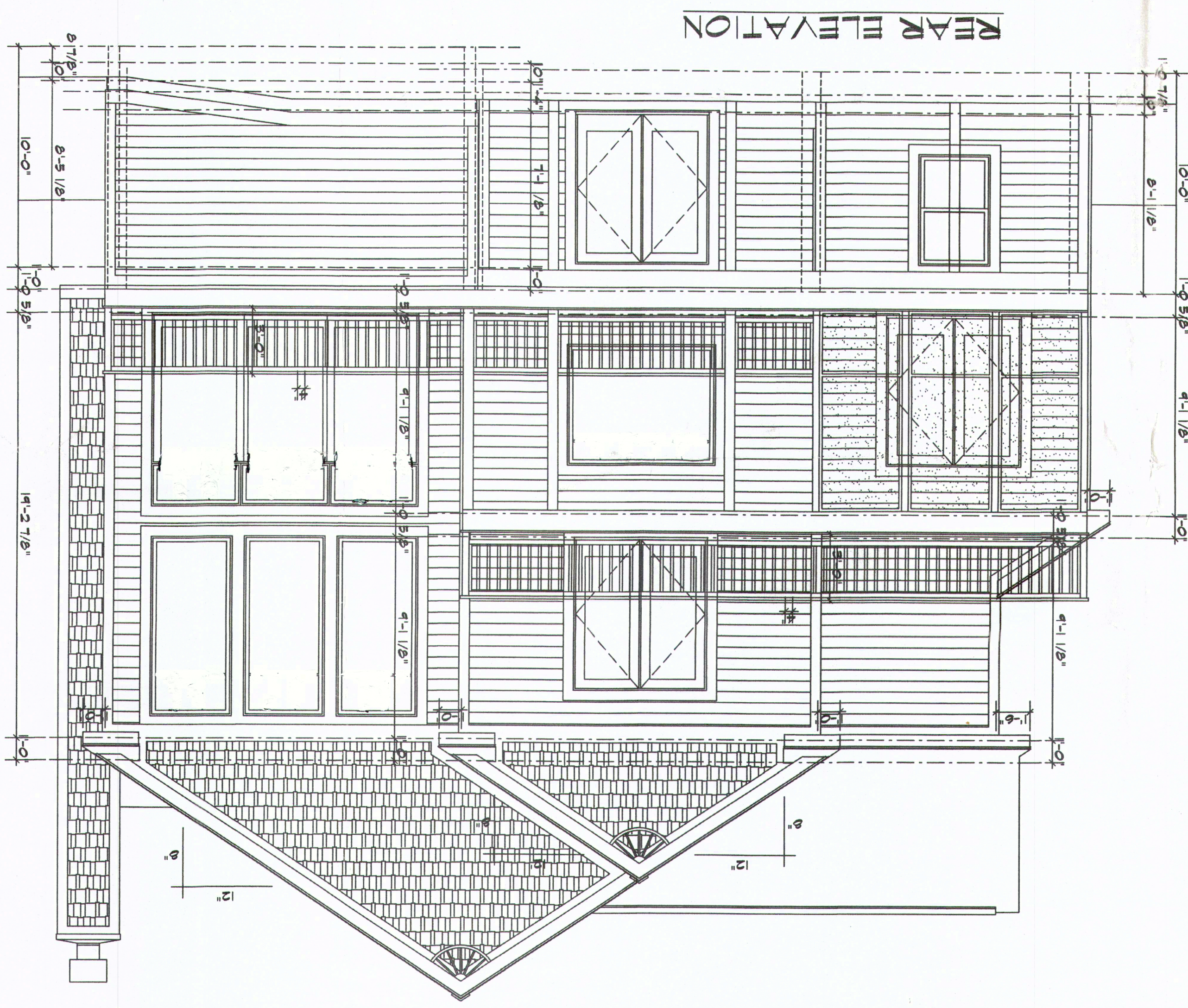
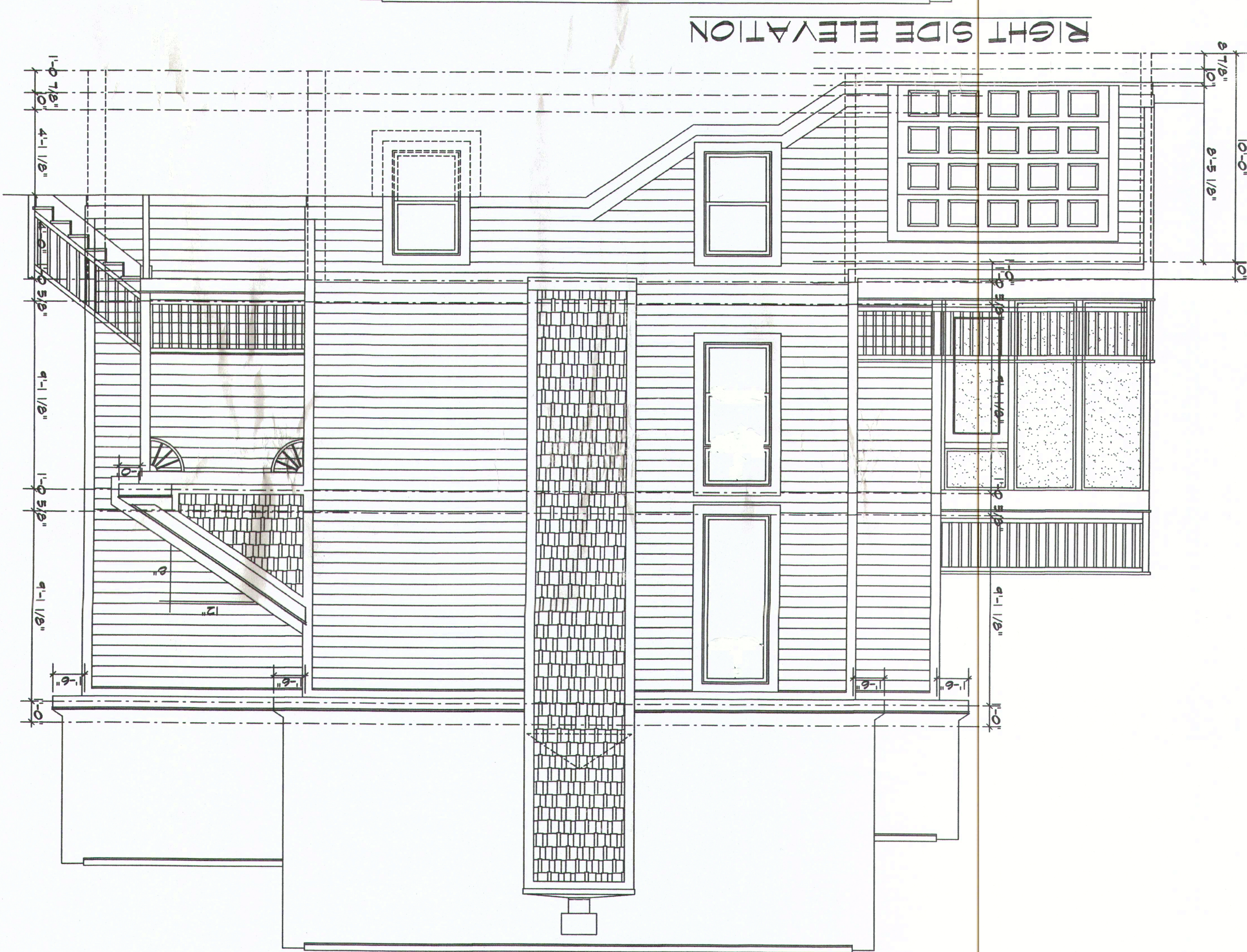
3225 LOGAN VALLEY RD.  
TRAVERSE CITY, MI. 49684  
PH: (235) 946-7004

JOHN R. KITTLE

WEB SITE: [WWW.DESIGNDEPOT.COM](http://WWW.DESIGNDEPOT.COM)

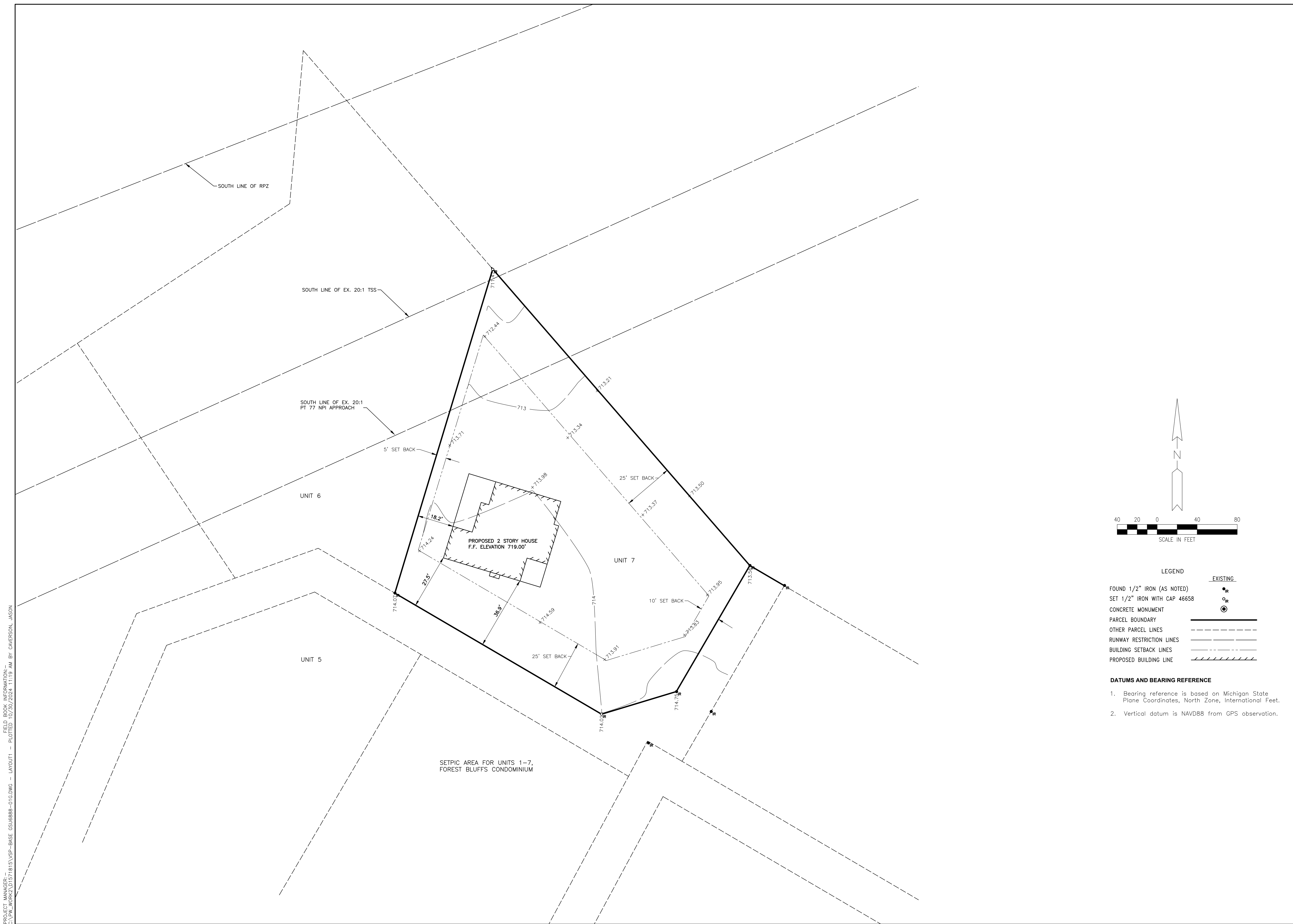
of the copyright law. Drawings produced by Design Depot, Inc. are copyrighted material and have been approved by the Copyright Clearance Center, Inc. for use in the construction of a second structure. Reproduced drawings must be purchased separately for each building for construction permits. To construct a second structure, you must obtain a separate set of drawings from Design Depot, Inc. and pay the appropriate fee. Design Depot, Inc. assumes no responsibility for any damages, reproduction, copying, or errors in the design or prints. It is recommended that you consult a local Architect, certified designer or structural engineer.





**DESIGN  
DEPOT INC.**  
3025 LOGAN VALLEY RD  
TRAVERSE CITY, MI 49684  
PH: (231) 946-7004  
**JOHN R. KITTE**  
WEB SITE: [WWW.DESIGNDEPOTINC.COM](http://WWW.DESIGNDEPOTINC.COM)



[illegible]

**WADE  
TRIM**

4311 CHURCH ST., Suite 1  
PO Box 618  
Gallatin, MT 59724  
USA  
Tel: 406.339.2222  
www.wadetrim.com

JOHNNY PEAVEY  
SURVEY AND SITE PLAN  
UNIT 7, FOREST BLUFF CONDOMINIUM  
PART OF PC NO. 2, MACKINAW ISLAND

ISSUED FOR:	DATE:	BY:

JOB NO.  
GSU6888-01G

SHEET  
1 OF 1

RECEIVED  
NOV 20 2024  
VSP  
KR

Done

JOHNNY  
PEAVEY

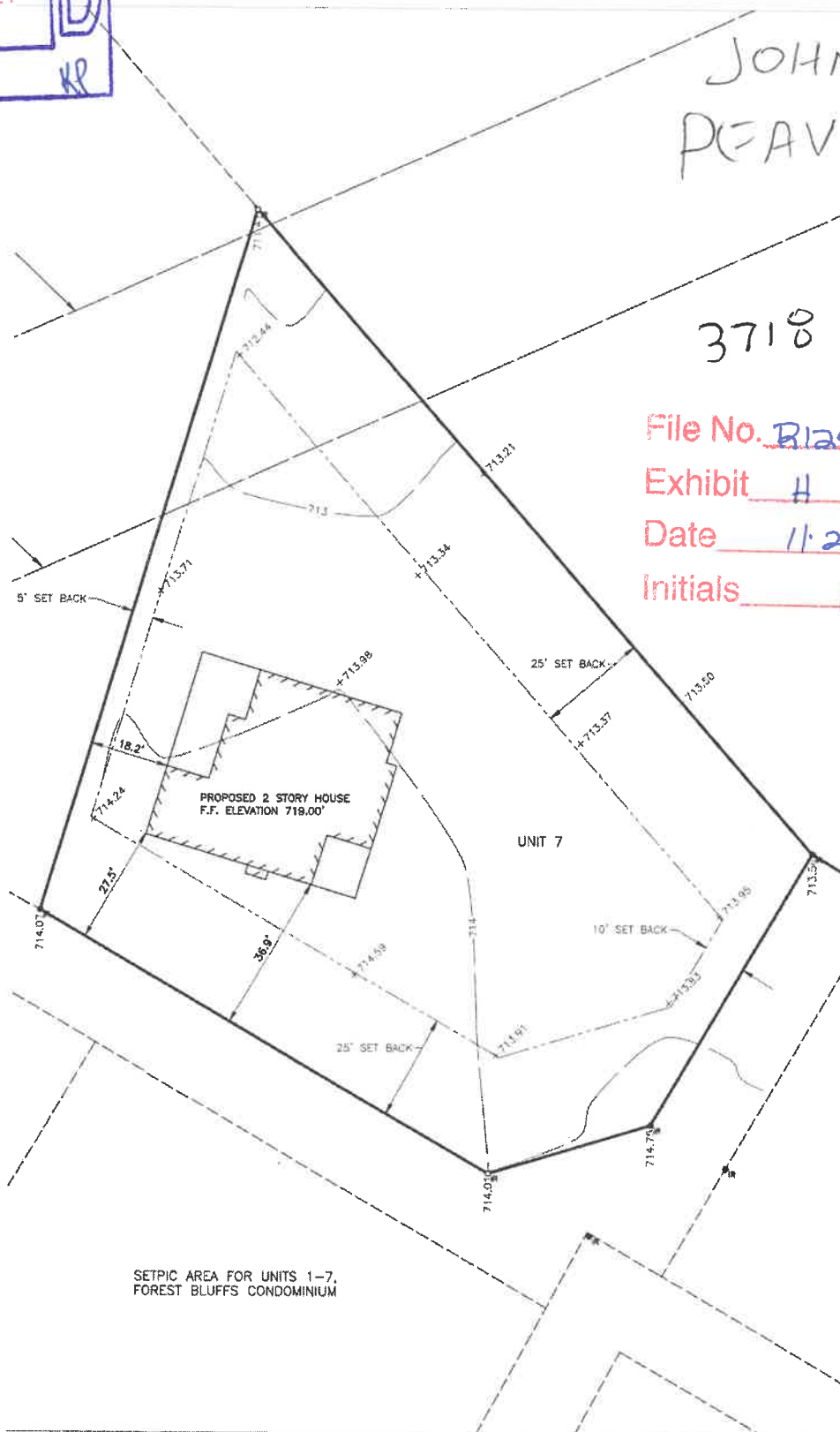
3718 CEDAR POINT  
LANE

File No. B124.007.076

Exhibit 4

Date 11.20.24

Initials KF



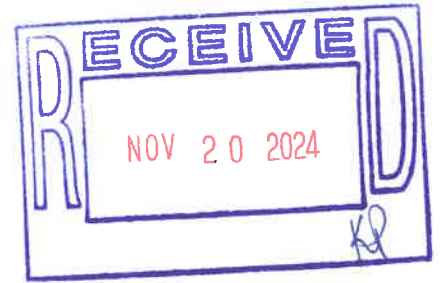


7

plans from Peavy



construction.



Larry Rellinger

Begin forwarded message:

**From:** Rick Scharich  
<[rick@rlsdevelopers.com](mailto:rick@rlsdevelopers.com)>

**Subject:** Re: plans from Peavy

**Date:** September 13, 2024 at 12:17:30 PM  
EDT

**To:** Larry Rellinger <[larry@rellinger.com](mailto:larry@rellinger.com)>

File No. R124-007-076Exhibit IDate 11.20.24Initials KP

Larry, these plans for lot 7 look very good to me.  
No issues I can think of.

Best Regards,

Rick L. Scharich

Phone: (616) 262-1851Email: [rick@rlsdevelopers.com](mailto:rick@rlsdevelopers.com)

This email is intended for named recipient(s) only.  
If you are not the intended recipient, you may not,  
in whole or in part, disclose, copy, distribute,  
review, or use this email and/or attachment  
associated with it.







Wade Trim, Inc.  
4241 Old US 27 S, Suite 1 • PO Box 618 • Gaylord, MI 49734  
989.732.3584 • www.wadetrim.com

November 20, 2024

Johnny Peavey  
136 Bell Street  
St. Ignace MI, 49781

Re: FAA Submittal

Mr. Peavey

This letter is to inform you that Wade Trim submitted the required form 7460-1 on November 6, 2024 for your proposed construction on Unit 7, Forest Bluff Replat No. 2 Site Condominium located on Mackinac Island.

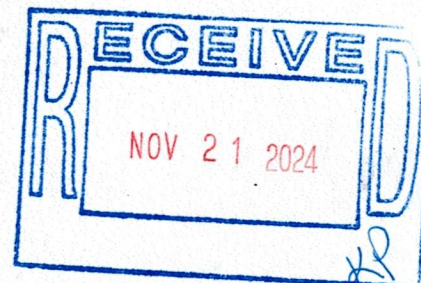
Attached is a copy of the Aeronautical Study Number assigned to your project.

Please let me know if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jason Caverson', written over a horizontal line.

Jason Caverson  
Wade Trim - Professional Surveyor



File No. R124.007.076  
Exhibit K  
Date 11.21.24  
Initials KP



CITY OF MACKINAC ISLAND  
PLANNING COMMISSION & BUILDING DEPARTMENT  
APPLICATION FOR ZONING ACTION

[www.cityofmi.org](http://www.cityofmi.org) [kep@cityofmi.org](mailto:kep@cityofmi.org) 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

James West

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

906-298-0149 Two By Four Construction  
Phone Number Email Address yahoo.com

Property Owner & Mailing Address (If Different From Applicant)

Robert Brockman 4001 19th Ave NW Apt 811  
Rochester MN 55901-0591

Is The Proposed Project Part of a Condominium Association? NO

Is The Proposed Project Within a Historic Preservation District? NO

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? YES NA

Is a Variance Required? NO

Are REU's Required? How Many? NO 1

Type of Action Requested:

☒ Standard Zoning Permit

☐ Special Land Use

☐ Planned Unit Development

☐ Other \_\_\_\_\_

☐ Appeal of Planning Commission Decision

☐ Ordinance Amendment/Rezoning

☐ Ordinance Interpretation

Property Information:

A. Property Number (From Tax Statement): 051-775-010-00

B. Legal Description of Property: LOT 10 Woodbluff Subdivision

C. Address of Property: 4387 Forest Drive Way

D. Zoning District: R1

E. Site Plan Checklist Completed & Attached: ☒

F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) ☒

G. Sketch Plan Attached: ☒

H. Architectural Plan Attached: ☐

I. Association Documents Attached (Approval of project, etc.): ☒

J. FAA Approval Documents Attached: ☐

K. Photographs of Existing and Adjacent Structures Attached: ☒

File No. R124-010-087

Exhibit A

Date 11-25-24

Initials KD

Proposed Construction/Use:

A. Proposed Construction:

☐ New Building

☒ Other, Specify ReBuild Existing Building

☐ Alteration/Addition to Existing Building



## B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Proposed Use: \_\_\_\_\_

## C. If Vacant:

Previous Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

STATE OF MICHIGAN            )  
COUNTY OF MACKINAC        ) ss.

## AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Contractor (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**

James West  
Signature

SIGNATURES \_\_\_\_\_  
Signature

James West  
Please Print Name

\_\_\_\_\_  
Please Print Name

Signed and sworn to before me on the 25 day of November, 2024.



Kathryn Pereny  
Notary Public

\_\_\_\_\_  
County, Michigan  
My commission expires: \_\_\_\_\_

#### FOR OFFICE USE ONLY

Zoning Permit Issued: \_\_\_\_\_

#### Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised October 2023

#### OFFICE USE ONLY

FILE NUMBER: R124.010.087

FEE: \$150 -

DATE: 11.25.24

CHECK NO: 6001

INITIALS: KP

Revised October 2023

# City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

## Site Plan Review Checklist

### Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

### Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

*coming via dray  
2 footer for debris  
Material being stored inside*

Revised October 2023

- |   |                                     |                                     |
|---|-------------------------------------|-------------------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 13. Proposed construction start date and estimated duration of construction. <i>Take @ a month</i>  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

Natural FeaturesProvidedNot Provided  
or Applicable

- |   |                          |                                     |
|---|--------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided  
or Applicable

- |   |                                     |                                     |
|---|-------------------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features                               | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)       | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27)  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

#### Utility Information

- |  | <u>Provided</u>          | <u>Not Provided<br/>or Applicable</u> |
|--|--------------------------|---------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand  | <input type="checkbox"/> | <input checked="" type="checkbox"/>   |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)   | <input type="checkbox"/> | <input checked="" type="checkbox"/>   |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)   | <input type="checkbox"/> | <input checked="" type="checkbox"/>   |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/>   |

**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

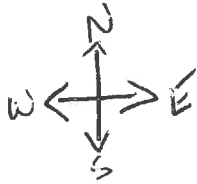


**Architectural Review  
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

1287

Forest Drive way



2' Fender

Conservatory  
14'-6" x 17'-6"

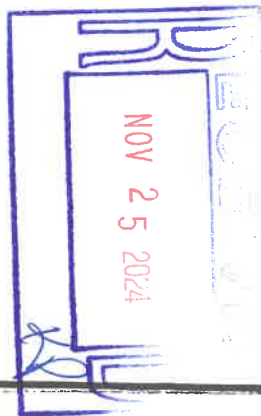
21'

Front  
Porch

Main House

Rear  
Entrance

18'



File No. R124.010.687

Exhibit B

Date 11.25.24

Initials KD

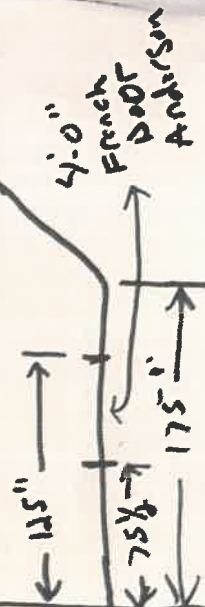
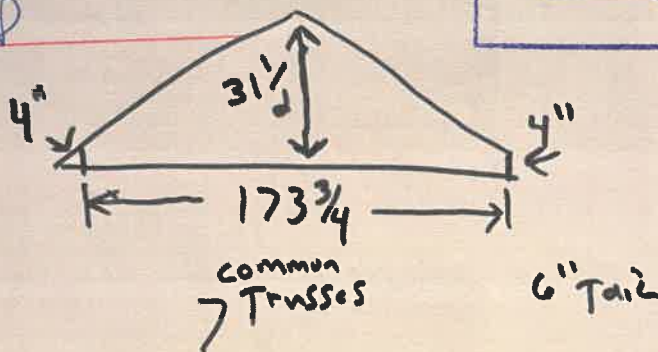
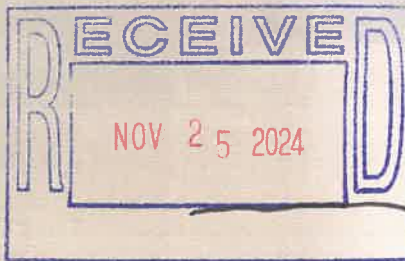
Shed

File No. RI24-010-087

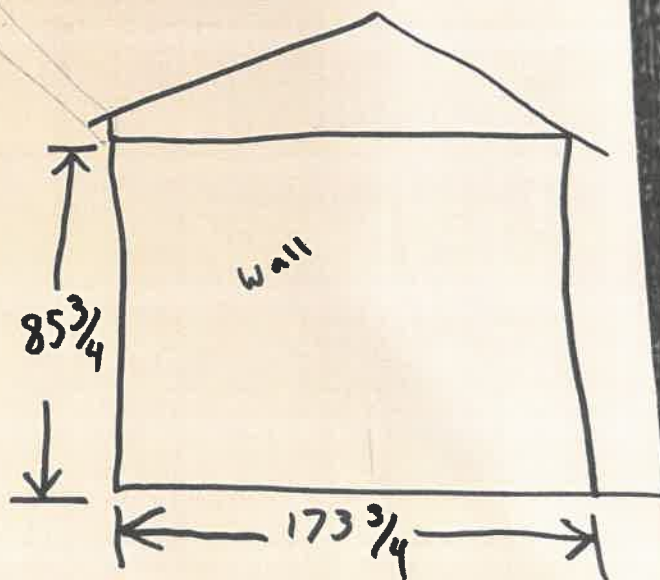
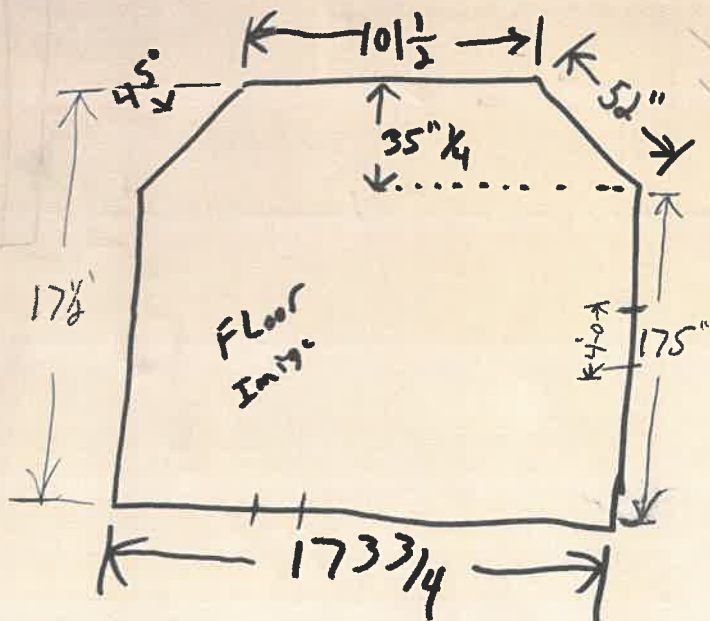
Exhibit D

Date 11-25-24

Initials KP



Existing house





File No. R124 010-087

Exhibit C

Date 11-25-24

Initials KP

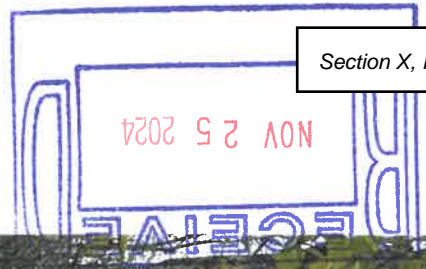
RECEIVED  
NOV 25 2024  
KP

Section X, Item.





NOV 25 2024











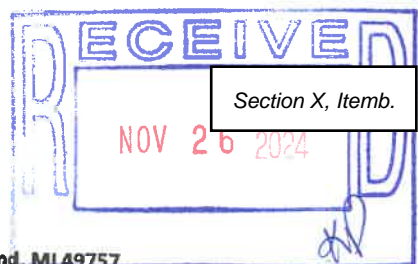












Section X, Itemb.

CITY OF MACKINAC ISLAND  
PLANNING COMMISSION & BUILDING DEPARTMENT  
APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT: Mackinac Island Ferry Company dba Arnold  
Transit Company (Veronica Dobrowolski)

587 North State St. St. Ignace, MI 49781

906-430-0095

veronica@arnoldfreight.com

Phone Number

Email Address

Please complete both sides of application.  
The Fee and fourteen (14) copies of the application,  
plans and all required documents must be  
submitted to the Zoning Administrator fourteen (14)  
days prior to the scheduled Planning Commission  
Meeting.

Property Owner & Address (If Different From Applicant)

Is The Proposed Project Part of a Condominium Association? n  
Is The Proposed Project Within a Historic Preservation District? y  
Applicant's Interest In the Project (If not the Fee-Simple Owner):  
Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? n  
Is a Variance Required? n  
Are REU's Required? How Many? n

**Type of Action Requested:**

n Standard Zoning Permit  
     Special Land Use  
     Planned Unit Development  
     Other  
     Appeal of Planning Commission Decision  
     Ordinance Amendment/Rezoning  
     Ordinance Interpretation

**Property Information:**

A. Property Number (From Tax Statement): 051-440-019-00  
B. Legal Description of Property: Attached  
C. Address of Property: 7271 Main Street  
D. Zoning District: HD  
E. Site Plan Checklist Completed & Attached: y  
F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) y  
G. Sketch Plan Attached: y  
H. Architectural Plan Attached: y  
I. Association Documents Attached (Approval of project, etc.):  
J. FAA Approval Documents Attached: na  
K. Photographs of Existing and Adjacent Structures Attached: y

**Proposed Construction/Use:**

A. Proposed Construction:  
     New Building x Alteration/Addition to Existing Building  
     Other, Specify

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):  
Commercial Dock

Proposed Use: Commercial Dock

C. If Vacant:

Previous Use:

Proposed Use:

Length of Time Parcel Has Been Vacant:

File No. 24-012-088(H)

Exhibit F

Date 11-26-24

Initials KP

OFFICE USE ONLY

FILE NUMBER: 24-012-088(H)

FEE: \$400 -

DATE: 11-26-24

CHECK NO:

INITIALS: KP

Revised Oct 2018

STATE OF MICHIGAN )  
COUNTY OF MACKINAC ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the \_\_\_\_\_ (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

V. Dobrowolski  
Signature

SIGNATURES

Signature

Veronica Dobrowolski, President

Please Print Name

Please Print Name

Signed and sworn to before me on the 26<sup>th</sup> day of November, 2024.

Jessica L. Harrigan  
Notary Public Jessica L. Harrigan

Mackinac County, Michigan  
My commission expires: 03/08/2029

JESSICA L. HARRIGAN  
Notary Public, State of Michigan  
Acting in Mackinac County  
My Commission Expires: 03/08/2029

FOR OFFICE USE ONLY

Zoning Permit Issued: \_\_\_\_\_

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				
Occupancy Permit Issued _____				

Revised October 2018

## City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

### Site Plan Review Checklist

#### Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

#### Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>



**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>



- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 22. Description of Existing and proposed on-site lighting (see also Section 4.27)  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | <u>Utility Information</u>  | <u>Provided</u>          | <u>Not Provided<br/>or Applicable</u> |
|---|--------------------------|---------------------------------------|
| 23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand   | <input type="checkbox"/> | <input checked="" type="checkbox"/>   |
| 24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)  | <input type="checkbox"/> | <input checked="" type="checkbox"/>   |
| 25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)  | <input type="checkbox"/> | <input checked="" type="checkbox"/>   |
| 26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/>   |

**Architectural Review  
Informational Requirements (Section 18.05)**

- | <u>Item</u>   | <u>Provided</u>                     | <u>Not Provided<br/>or Applicable</u> |
|---|-------------------------------------|---------------------------------------|
| 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership  | <input checked="" type="checkbox"/> | <input type="checkbox"/>              |
| 2. Legal description of the property  | <input checked="" type="checkbox"/> | <input type="checkbox"/>              |
| 3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06) | <input checked="" type="checkbox"/> | <input type="checkbox"/>              |
| 4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.   | <input checked="" type="checkbox"/> | <input type="checkbox"/>              |

City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review

Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land 75,000 sq/ft	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- |   |                                     |                                     |
|---|-------------------------------------|-------------------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 13. Proposed construction start date and estimated duration of construction.  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

Natural FeaturesProvidedNot Provided  
or Applicable

- |   |                                     |                                     |
|---|-------------------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 16. Topography of the site with at least two- to five-foot contour intervals  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided  
or Applicable

- |   |                                     |                                     |
|---|-------------------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27)  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <u>Utility Information</u>   | <u>Provided</u>          | <u>Not Provided or Applicable</u>   |
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

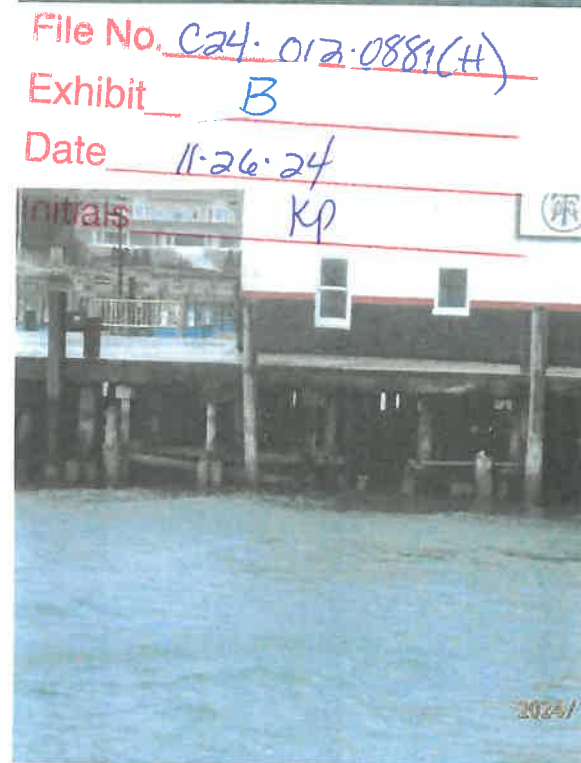
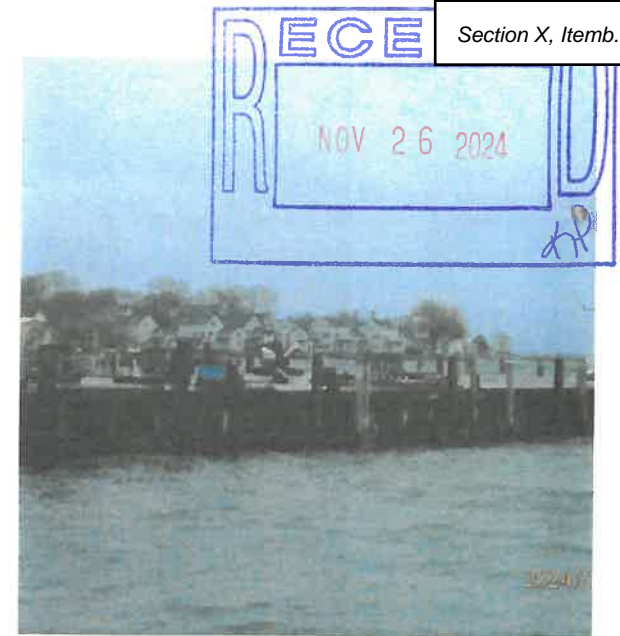
<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

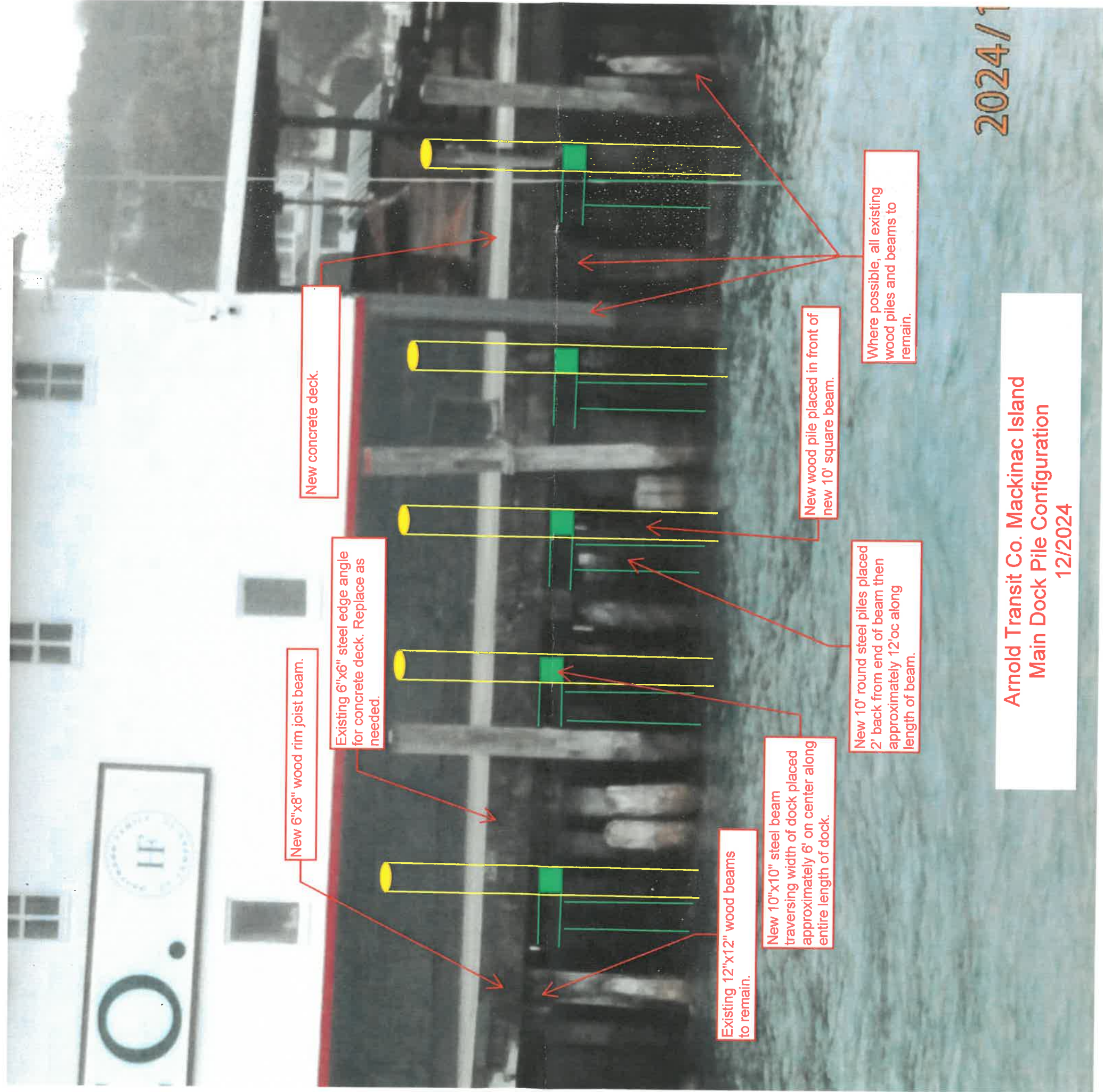


Architectural Review

Informational Requirements (Section 18.05)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>





Arnold Transit Co. Mackinac Island  
Main Dock Pile Configuration  
12/2024

RECEIVED  
NOV 26 2024



# COVER SHEET - FOUNDATION PILE RESTORATION & REPAIRS



SITE VIEW

File No. C24-012-088 (4)  
Exhibit D  
Date 11-26-24  
Initials KP



SITE LOCATION

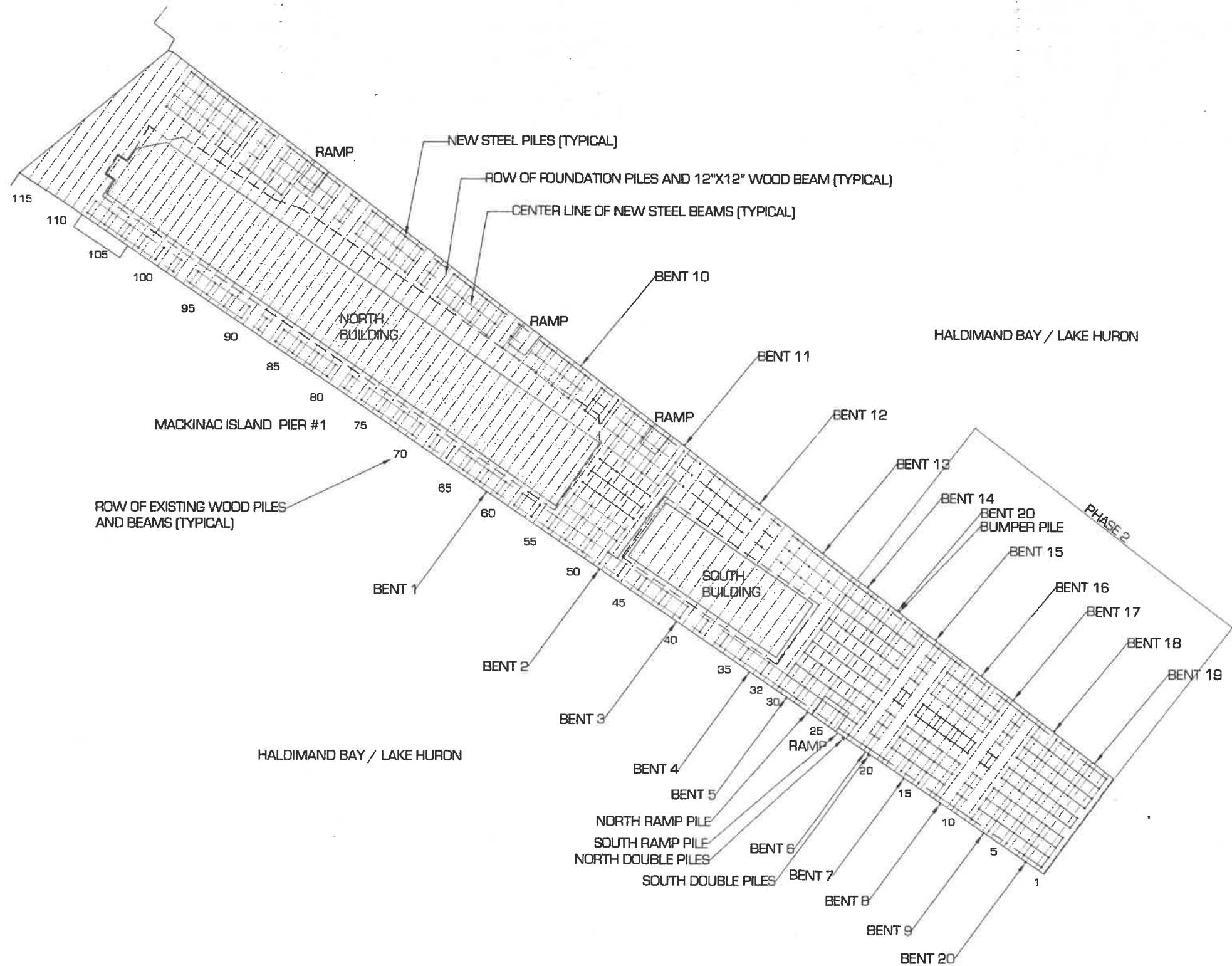
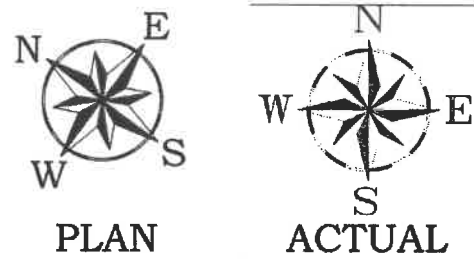


## TABLE OF CONTENTS

PAGE	PAGE TITLE
F1	COVER
F2	OVERALL SITE LAYOUT
F3	NEW PILE & BEAM LAYOUT FOR PHASE 2
F4	ELEVATION VIEW AND CROSS SECTION FOR PHASE 2 AND SPECIFICATIONS
F5	NEW PILE & STEEL BEAM DETAILS
F6	NEW PILE & STEEL BEAM DETAILS
F7	SOIL INFORMATION
F8	SOIL INFORMATION

RELEASE DATES		
11-12-24	PERMIT & CONSTRUCTION	
SOILS & STRUCTURES		
6480 Grand Haven Road Muskegon, Michigan 49441 (800) 933-3959 Fax (231) 798-1383		
CLIENT:		
AF		
Arnold Freight 303 Ferry Lane St. Ignace, Michigan 49781 906-643-8288		
PROJECT:		
MACKINAC ISLAND PIER #1 PHASE 2 PIER REPAIRS CITY OF MACKINAC ISLAND MACKINAC COUNTY MICHIGAN		
Drawn by: D. HOHMEYER, P.E.	Date: 5-28-24	
Checked by: D. HOHMEYER, P.E.	Date: 5-28-24	
Project No.	Sheet No.	Sequence No.
2024-0070	PH2-F1	1 of 8

David D. Hohmeyer, P.E.  
Michigan Professional Engineer  
November 18, 2024

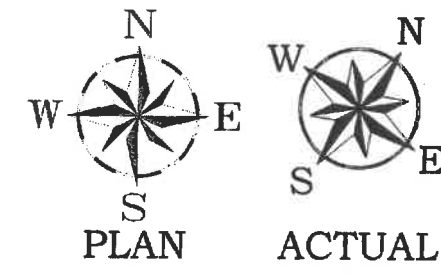


OVERALL SITE LAYOUT

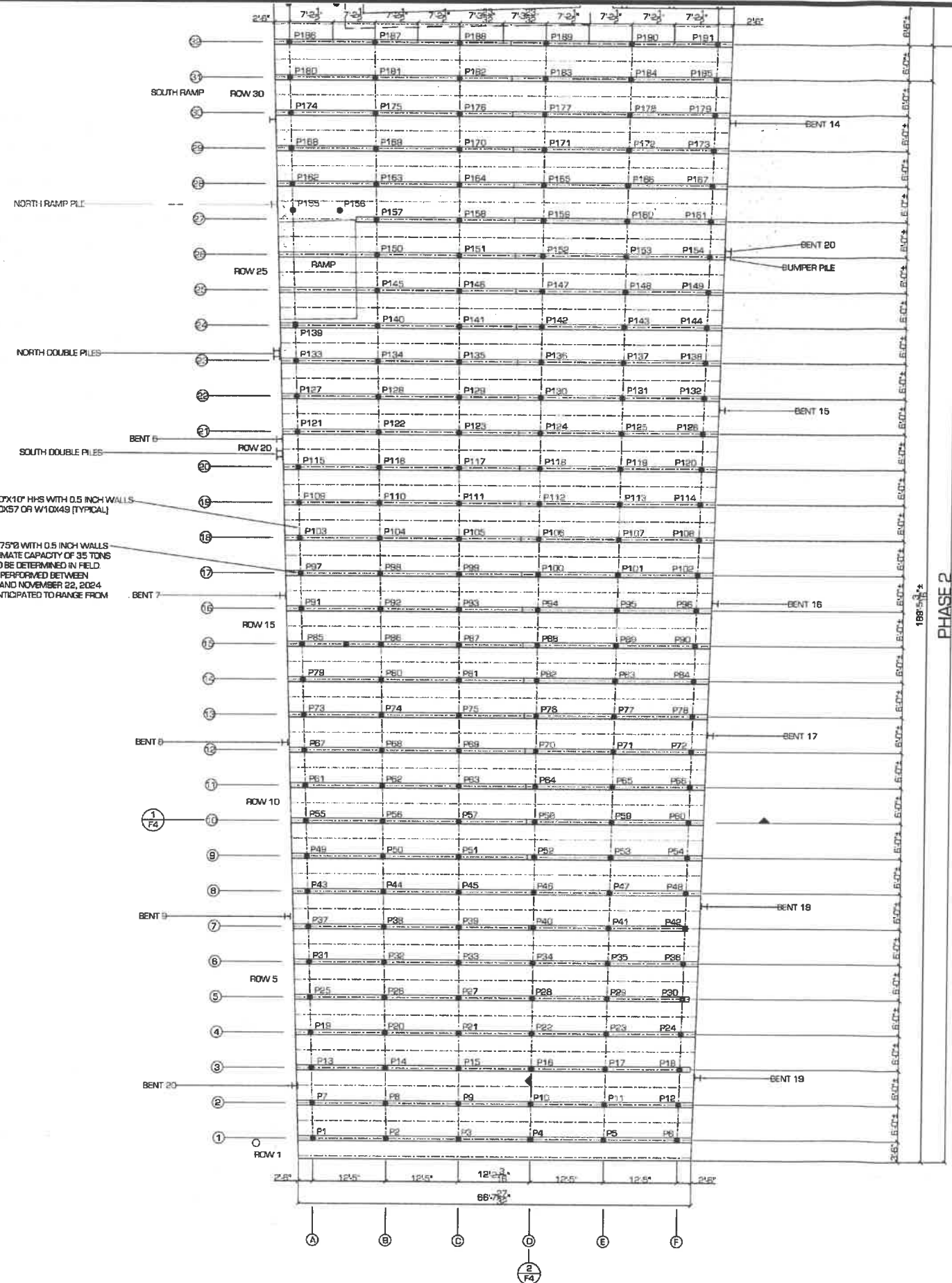
David J. Hohmeyer, P.E.  
Michigan License No. 32823  
November 2024

RELEASE DATES	
11-23-24	PERMIT & CONSTRUCTION
 SOILS & STRUCTURES	
6480 Grand Haven Road Muskegon, Michigan 49441 (800) 933-3959 Fax (231) 798-1383	
CLIENT:	
	
Arnold Freight 303 Ferry Lane St. Ignace, Michigan 49781 906-643-8288	
PROJECT:	
MACKINAC ISLAND PIER #1 PHASE 2 PIER REPAIRS CITY OF MACKINAC ISLAND MACKINAC COUNTY MICHIGAN	
Drawn by: D. HOHMEYER, P.E.	Date: 5-28-24
Checked by: D. HOHMEYER, P.E.	Date: 5-28-24
Project No. 2023-0657	Sheet No. PH2-F2
Sequence No. 2 of 8	





KEY



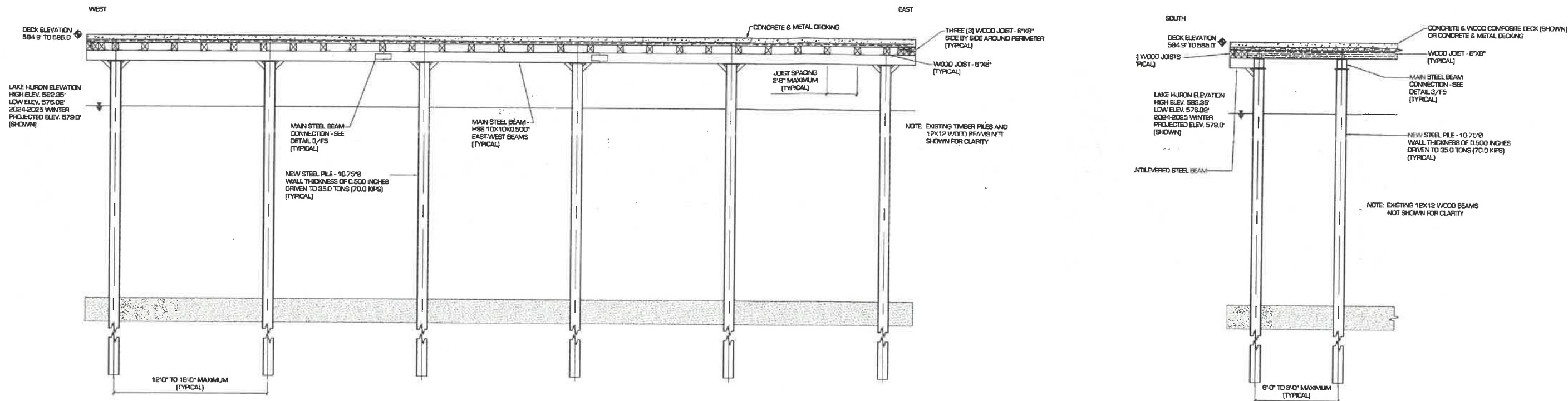
STEEL PIPE PILES - 10.75'Ø WITH 0.5 INCH WALLS  
INSTALLED TO AN ULTIMATE CAPACITY OF 35 TONS  
(70.0 KIPS) LENGTH TO BE DETERMINED IN FIELD  
BASED TEST BORINGS PERFORMED BETWEEN  
NOVEMBER 18, 2024 AND NOVEMBER 22, 2024  
THE PILE LENGTH IS ANTICIPATED TO RANGE FROM  
120.0 TO 150.0 FEET.

STEEL 10X10" HHS WITH 0.5 INCH WALLS  
OR HP10X57 OR W10X49 (TYPICAL)

PHASE 2 - NEW PILE AND BEAM LAYOUT

David D. Hohmeyer, P.E.  
Michigan License No. 32829  
November 2024

RELEASE DATES	
11-2-24	PERMIT / REVIEW
SOILS & STRUCTURES	
6480 Grand Haven Road Muskegon, Michigan 49441 (800) 933-3959 Fax (231) 798-1383	
CLIENT:	
 Arnold Freight 303 Ferry Lane St. Ignace, Michigan 49781 906-643-8288	
PROJECT:	
MACKINAC ISLAND PIER #1 PHASE 2 PIER REPAIRS CITY OF MACKINAC ISLAND MACKINAC COUNTY MICHIGAN	
Drawn by: D. HOHMEYER, P.E.	Date: 5-28-24
Checked by: D. HOHMEYER, P.E.	Date: 5-28-24
Project No. 2023-0657	Sheet No. PH2-F3
Sequence No. 3 of 8	



1 PHASE 2 - CROSS SECTION THROUGH PIER AREA  
F4 SCALE 1/4" = 1'-0"

2 PHASE 2 - CROSS SECTION THROUGH THE SOUTH END OF THE PIER  
F4 SCALE 1/4" = 1'-0"

#### GENERAL NOTES

- ALL APPLICABLE LOCAL, STATE AND FEDERAL RULES, REGULATIONS, ORDINANCES AND CODES SHALL APPLY THROUGHOUT THE PROJECT.
- THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH 2015 MICHIGAN BUILDING CODE.
- SOIL INFORMATION USED FOR THE FOUNDATION DESIGN OBTAINED FROM THE REPORT OF SOIL INVESTIGATION BY:  
FIRM: SOILS & STRUCTURES, INC.  
PHONE: (231) 798-4127  
PROJECT NUMBER: 2023-0657  
REPORT DATE: TEST BORING TO BE PERFORMED ON NOVEMBER 18, 2018
- THE FOLLOWING LOADS HAVE BEEN USED FOR DESIGN PURPOSES:

##### A. BUILDING DESIGN CATEGORY

III

##### B. SNOW LOADS

GROUND SNOW LOAD ( $P_g$ )	50 psf
SNOW EXPOSURE FACTOR ( $C_e$ )	1.0
SNOW LOAD IMPORTANCE FACTOR ( $I_s$ )	1.1
THERMAL FACTOR ( $C_t$ )	1.1
SLOPE ROOF FACTOR ( $C_d$ )	1.0
FLAT ROOF SNOW LOAD ( $P_f$ )	34 psf
SLOPED ROOF SNOW LOAD ( $P_s$ )	34 psf
UNBALANCED SNOW LOAD ( $P_u$ )	51 psf

##### C. WIND LOADS

BASIC WIND SPEED ( $V$ )	90 mph
WIND IMPORTANCE FACTOR ( $I_w$ )	1.15
WIND EXPOSURE CATEGORY	B
INTERNAL PRESSURE COEFFICIENT ( $GCF$ )	±0.18
COMPONENTS & CLADDING PRESSURE	
WINDWARD (ZONE 1)	10 psf
LEEWARD (ZONE 1)	-25 psf
WINDWARD (ZONE 2)	10 psf
LEEWARD (ZONE 2)	-27 psf
WINDWARD (ZONE 3)	10 psf
LEEWARD (ZONE 3)	-46 psf
WINDWARD (ZONE 4)	20 psf
LEEWARD (ZONE 4)	-22 psf
WINDWARD (ZONE 5)	20 psf
LEEWARD (ZONE 5)	-25 psf
MINIMUM WIND PRESSURE	21 psf

##### D. SEISMIC LOAD

SEISMIC IMPORTANCE FACTOR ( $I_h$ )	1.00
MAPPED SPECTRAL RESPONSE COEFFICIENTS	
SHORT PERIOD ( $S_s$ )	0.048g
1 SECOND PERIOD ( $S_1$ )	0.025g
SPECTRAL RESPONSE COEFFICIENTS	
SHORT PERIOD ( $S_{s1}$ )	0.051g
1 SECOND PERIOD ( $S_{d1}$ )	0.004g
RESPONSE MODIFICATION COEFFICIENT ( $R$ )	3
SEISMIC RESPONSE COEFFICIENT ( $C_s$ )	0.002
SEISMIC DESIGN CATEGORY	C
TOTAL DESIGN BASE SHEAR ( $V$ )	88.0 kips
BASIC SEISMIC FORCE RESISTING SYSTEM	
LATERAL PILE CAPACITY	
ANALYSIS PROCEDURE	
MINIMUM LATERAL FORCE	

##### E. LIVE LOAD

FIRE TRUCK / H2O	36 kip axle load
HORSE & DRAY	16 kip wheel load
COMMON / ASSEMBLY AREAS	1000 pound point load
COMMON / ASSEMBLY CORRIDORS	100 psf
STAIRS	100 psf
STORAGE	200 psf

- VERIFY ALL APPLICABLE DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO FABRICATION.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR TO COORDINATE WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL FOR ALL OPENINGS AND PENETRATIONS. NO OPENINGS SHALL PENETRATE STRUCTURAL ELEMENTS WITHOUT THE ENGINEER OF RECORD'S APPROVAL.
- ALL SPECIAL INSPECTIONS AND STRUCTURAL TESTS SHALL BE PERFORMED IN ACCORDANCE WITH CHAPTER 17 OF THE 2015 MICHIGAN BUILDING CODE.
- IF THERE ARE ANY CONFLICTS BETWEEN THE SPECIFICATIONS AND DESIGN DRAWINGS PLEASE NOTIFY THE ENGINEER.
- THE CONTRACTORS SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADEQUATE TEMPORARY BRACING IF REQUIRED. THIS REQUIREMENT SHALL ALSO INCLUDE ANY SUPERIMPOSED CONSTRUCTION LOADS.
- ALL INDICATED STRUCTURAL ELEVATIONS ARE BASED ON THE DECK LEVEL WHICH IS MATCH APPROXIMATELY THE EXISTING DECK ELEVATION.
- CONTRACTOR PROPOSED ALTERNATES TO THE CONTRACT DRAWINGS AND SPECIFICATIONS WILL BE CONSIDERED IF THEY RESULT IN SUBSTANTIAL SAVINGS TO THE OWNER WITHOUT ADVERSELY IMPACTING THE INTEGRITY AND FUNCTION OF THE STRUCTURE. ANY REQUEST FOR SUBSTITUTION SHALL BE ACCOMPANIED BY WRITTEN DOCUMENTATION OF THE SAVINGS INCLUDING ALL BACKUP DATA AND SEALED ENGINEERING CALCULATIONS NECESSARY TO EVALUATE THE MERITS OF THE PROPOSED ALTERNATE. ADDITIONAL ENGINEERING AND ARCHITECTURAL REVIEW COSTS MAY IMPACT THE VIABILITY OF ANY PROPOSED ALTERNATE.
- FRAMING CONDITIONS NOT SPECIFICALLY DETAIL OR INDICATED SHALL BE FRAMED SIMILAR TO USING MATERIAL OR CONDITION.

#### STRUCTURAL NOTES

##### CONCRETE

- ALL CONCRETE HAS BEEN DESIGNED AND SHALL BE BUILT IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
- ALL CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI.
- THE USE OF CHLORIDE ACCELERATORS IN ANY CONCRETE MIX DESIGN IS NOT PERMITTED.
- CONCRETE EXPOSED TO FREEZE THAW CYCLES OR DEICING CHEMICALS SHALL BE AIR ENTRAINMENT WITH AIR CONTENT PER ACI TABLE 4.2.1.
- ALL REINFORCING STEEL BARS TO BE ASTM A615 GRADE 60 DEFORMED AND ALL DEFORMED WELDED WIRE FABRIC TO BE ASTM A185. ALL REINFORCING TO BE PLACED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318 AND CRSI SPECIFICATIONS.
- CONCRETE COVER FOR REINFORCING (UNLESS NOTED OTHERWISE):
  - CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH = 3"
  - EXPOSED TO EARTH OR WEATHER:
    - #5 THRU #18 BARS = 2"
    - #5 BARS AND 5/8" WIRE AND SMALLER = 1-1/2"
  - NOT EXPOSED TO EARTH OR WEATHER:
    - SLABS, WALLS AND JOISTS:
      - #8 AND LARGER BARS = 1-1/2"
      - #5 AND #7 BARS = 1"
      - #5 AND SMALLER BARS = 3/4"
    - BEAMS, GIRDERS AND COLUMNS:
      - PRINCIPAL REINFORCEMENT, TIES, STIRRUPS AND SPIRALS = 1-1/2"

- MINIMUM CLEAR SPACE BETWEEN PARALLEL BARS IN A LAYER INCLUDING SPICE BARS, SHALL NOT BE LESS THAN:
  - FOR COLUMNS & PEDESTALS:
    - THE DIAMETER OF THE BAR TIMES 1.5
    - 1-1/2"
    - 1.33 TIMES THE MAXIMUM AGGREGATE SIZE.
  - FOR ALL OTHER BARS:
    - THE DIAMETER OF THE BAR
    - 1"
    - 1.33 TIMES THE MAXIMUM AGGREGATE SIZE.
- ALL NEW CONCRETE SHALL BE CURED IMMEDIATELY AFTER FINISHING OF REMOVING FORMWORK. CURING SHALL BE EITHER A MOIST CURE METHOD OR THE USE OF A CURING COMPOUND.
- PROVIDE CORNER BARS THAT MATCH CONTINUOUS REINFORCEMENT SIZE AND QUANTITY AT ALL INTERSECTIONS AND CORNERS OF FOOTINGS AND WALLS.
- THE WELDING OF REINFORCING STEEL BARS IS NOT PERMITTED, INCLUDING BUT NOT LIMITED TO TACK WELDS, BUTT WELDS, GROOVE WELDS, ETC.

#### STEEL

- ALL STEEL HAS BEEN DESIGNED AND SHALL BE BUILT IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC STEEL CONSTRUCTION MANUAL.
- ALL STEEL TO BE AS FOLLOWS UNLESS NOTED OTHERWISE:
 

A. W SHAPES	ASTM A362 GRADE 50
B. PLATE AND BAR	ASTM A36
C. HSS TUBES	ASTM A500 GRADE B
D. MISC. STEEL	ASTM A36
E. STRUCTURAL BOLTS	ASTM A325N
F. PIPE	ASTM A53 GRADE B
G. HEADED STUD AND HORS	ASTM A108 TYPE B 6S KSI
- ALL WELDING TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF AWS D1.1. ALL WELD ELECTRODES TO BE E7018 LOW HYDROGEN.
- STEEL DECKING SHALL BE GALVANIZED SHALL BE IN ACCORDANCE WITH ASTM A123. BOLTS AND NUTS TO BE GALVANIZED SHALL BE IN ACCORDANCE WITH ASTM A153.
- ANY DAMAGE TO GALVANIZING SHALL BE TOUCHED UP WITH VOIGHT AND SCHWETZER LZ09 ZINC PASTE OR AN APPROVED EQUAL.

#### WOOD

- ALL WOOD MEMBER DESIGN SHALL CONFORM WITH THE LATEST EDITIONS OF AITC TIMBER CONSTRUCTION MANUAL, NDS, AND TPI.
- ALL DIMENSIONAL LUMBER IS TO BE SPRUCE PINE-FIR #2 GRADE OR BETTER, EXCEPT WALL STUDS ARE PERMITTED TO BE SPRUCE PINE-FIR STUD GRADE OR BETTER.
- CONNECTIONS FOR WOOD MEMBERS SHALL CONFORM TO 2008 MISC TABLE 2304.9.1 AS A MINIMUM UNLESS OTHERWISE DETAILED.
- NAILS SIZES SPECIFIED ON THE PLANS, DETAILS AND TO BE USED IN SIMPSON STRONG-TIE CONNECTORS SHALL BE COMMON NAILS THAT CONFORM TO ASTM F1687.
- ALL DIMENSIONAL LUMBER HEADERS WITH PLYWOOD SPACERS SHALL BE GLUED AND NAILED TOGETHER. THE PLYWOOD SPACERS SHALL BE A FULL DEPTH SPACER.
- HOLES AND NOTCHES DRILLED OR CUT INTO WOOD FRAMING MEMBERS SHALL NOT EXCEED THE REQUIREMENTS OF THE 2008 MISC. REFERENCE SECTIONS 2308.9.10, 2308.9.11 AND 2308.10.4.2.

#### REBAR WELDING NOTES:

- ALL WELDING TO BE DONE BY AN AWS CERTIFIED WELDER IN ACCORDANCE W/ THE LATEST EDITION OF AWS D1.4.
- REINFORCING STEEL THAT IS TO BE WELDED SHALL BE ASTM A706 GRADE 60.
- ALL ELECTRODES SHALL BE E7018, LOW HYDROGEN.
- REBAR SHALL NOT BE WELDED WITHOUT SOILS & STRUCTURES APPROVAL OTHER THAN IN THE INDICATED DETAILS.
- ALL REINFORCING STEEL THAT IS WELDED MUST BE INSPECTED BY AN INDEPENDENT INSPECTOR FOR CONFORMANCE TO THE PLANS, BUILDING CODE AND AWS D1.4.

#### ADDITIONAL NOTES:

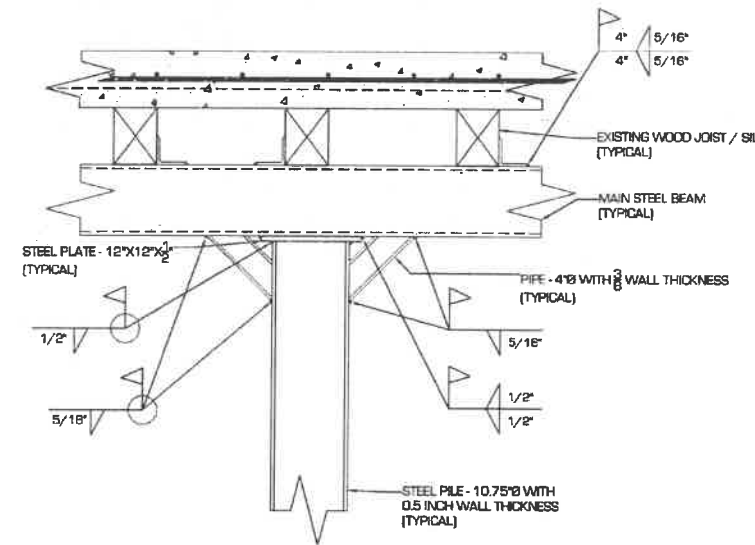
- EXISTING WELD SURFACES SHALL BE CLEAN AND FREE OF ANY PAINT, GALVANIZING, RUST, ECT. PRIOR TO FIELD WELDING.
- VERIFY ALL APPLICABLE EXISTING DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO FABRICATION AND CONSTRUCTION.
- IF EXISTING CONDITIONS DIFFER FROM WHAT IS SHOWN SOILS AND STRUCTURES SHALL BE NOTIFIED IMMEDIATELY SO THAT THE DESIGN MAY BE PROPERLY MODIFIED.
- ALL SPECIAL INSPECTIONS AND STRUCTURAL TESTS SHALL BE PERFORMED IN ACCORDANCE WITH CHAPTER 17 OF THE 2008 MICHIGAN BUILDING CODE. THE FOLLOWING ITEMS ARE A MINIMUM TO BE INSPECTED:
  - BAR SIZE, GRADE, SPACING, LOCATIONS AND CLEARANCE
  - BAR IS FREE OF EXCESSIVE RUST, DIRT, OIL, DAMAGE, ECT.
  - LAP LENGTHS AND LOCATIONS
  - BAR IS PROPERLY SUPPORTED
  - FORM DIMENSIONS
  - SAMPLE AND TEST ALL CONCRETE IN ACCORDANCE WITH ASTM C31, C39, C14 AND C231
- ALL CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI. CONCRETE MIX SHALL BE SILICA FUME BASED AND HAVE A MAXIMUM WATER TO CEMENT RATIO OF 0.40. COARSE AGGREGATE SHALL BE CRUSHED LIMESTONE.
- ALL REINFORCING STEEL TO BE ASTM A615 GRADE 60 AND PLACED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318 AND CRSI SPECIFICATIONS. REINFORCING STEEL SHALL BE EPOXY COATED IN ACCORDANCE WITH ASTM A775 OR ASTM A934.

#### PILE NOTES:

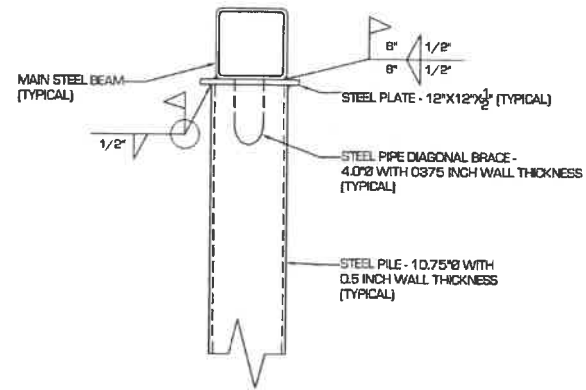
- ALL PILES SHALL BE 10.75" DIAMETER WITH A WALL THICKNESS 0.500 INCHES. THE PILES SHALL BE DRIVEN OPEN ENDED. THE PILES MAY BE INSTALLED WITH A VIBRATORY HAMMER UNTIL SUBSTANTIAL RESISTANCE IS ENCOUNTERED. AN IMPACT HAMMER SHALL BE USED TO DRIVE THE PILES TO BEARING. PILE DRIVING SHALL BE INSTALLED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT WHICH WILL BE PROVIDED UPON COMPLETION OF THE TEST BORINGS SCHEDULED FOR THE WEEK OF NOVEMBER 18TH. THE PILES SHALL BE DRIVEN TO AN ULTIMATE CAPACITY 35 TONS (70.0 KIPS).
- THE PILES MAY BE LEFT UNFILLED.
- PILE STEEL SHALL BE GRADE 50.
- PILE TIP ELEVATION TO BE DETERMINED IN THE FIELD BASED ON DRIVING RESISTANCE. PILE CUTOFF ELEVATION TO BE DETERMINED FROM DECK ELEVATION AND DETAILS.
- PILES THAT ARE INSTALLED WITHIN 2' OF THE INDICATED LOCATION ON THE PLANS ARE ACCEPTABLE. PILES THAT ARE LOCATED FURTHER THAN 3' FROM THE SPECIFIED LOCATION SHALL BE REPORTED TO SOILS AND STRUCTURES TO DETERMINE IF ADDITIONAL PILES OR MODIFICATIONS TO THE FRAME ARE REQUIRED.
- PILE LOAD TEST MAY BE OMITTED PROVIDED FULL TIME PILE INSPECTION IS PERFORMED.

Drawn by: D. HOHMEYER, P.E.  
Checked by: D. HOHMEYER, P.E.  
November 18, 2024  
Professional Engineer  
Michigan License No. 32823

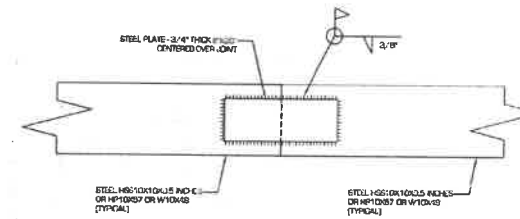
RELEASE DATES	
11-23-24	CONSTRUCTION & PERMIT
SOILS & STRUCTURES	
6480 Grand Haven Road Muskegon, Michigan 49441 (800) 933-3959 Fax (231) 798-1383	
CLIENT:	
 Arnold Freight 303 Ferry Lane St. Ignace, Michigan 49781 906-643-8288	
PROJECT:	
<b>MACKINAC ISLAND PIER #1</b> <b>PHASE 2 PIER REPAIRS</b> <b>CITY OF MACKINAC ISLAND</b> <b>MACKINAC COUNTY</b> <b>MICHIGAN</b>	
Drawn by: D. HOHMEYER, P.E.	Date: 5-28-24
Checked by: D. HOHMEYER, P.E.	Date: 5-28-24
Project No.	Sheet No.
2023-0657	PH2-F4
Sequence No.	4 of 8



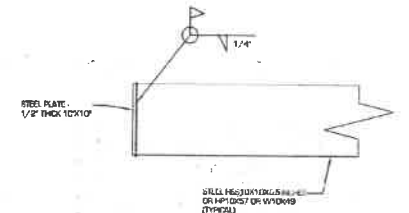
1 STEEL PILE TO STEEL BEAM CONNECTION  
FS SCALE 1" = 1'-0"




2 STEEL PILE TO STEEL BEAM CONNECTION  
FS SCALE 1" = 1'-0"



3 STEEL BEAM TO STEEL BEAM CONNECTION  
FS SCALE 1" = 1'-0"

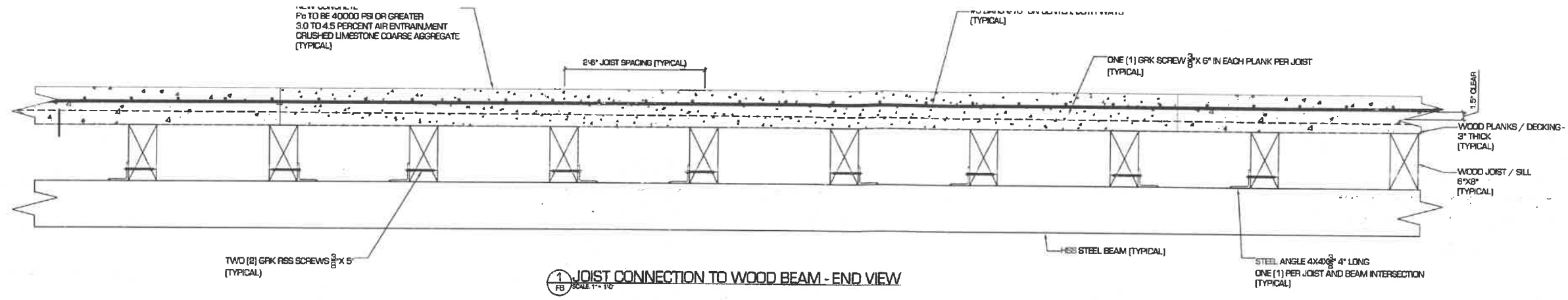


4 END OF STEEL BEAM DETAIL  
FS SCALE 1" = 1'-0"

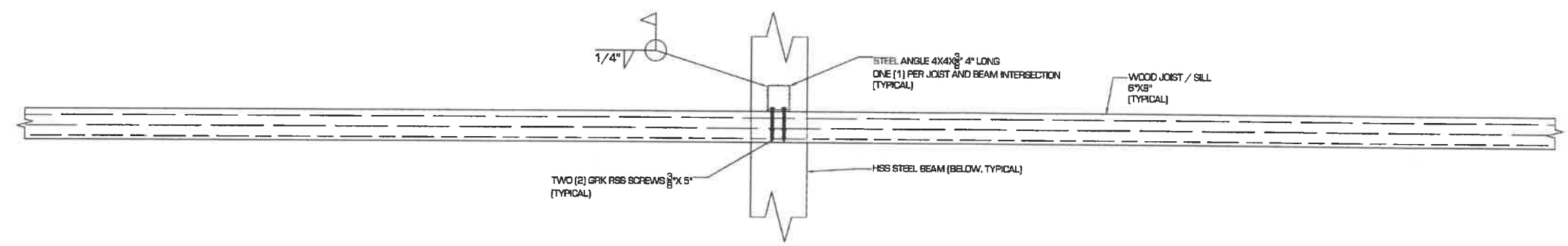
RELEASE DATES	
11-12-24	CONSTRUCTION & PERMIT
SOILS & STRUCTURES	
6480 Grand Haven Road Muskegon, Michigan 49441 (800) 933-3959 Fax (231) 798-1383	
CLIENT:	
 Arnold Freight 303 Ferry Lane St. Ignace, Michigan 49781 906-643-8288	
PROJECT:	
MACKINAC ISLAND PIER #1 PHASE 2 PIER REPAIRS CITY OF MACKINAC ISLAND MACKINAC COUNTY MICHIGAN	
Drawn by: D. HOHMEYER, P.E.	Date: 5-28-24
Checked by: D. HOHMEYER, P.E.	Date: 5-28-24
Project No. 2023-0657	Sheet No. PH2-F5
Sequence No. 5 of 8	

David D. Hohmeyer, P.E.  
 Michigan Professional Engineer  
 License No. 32823  
 November 2024

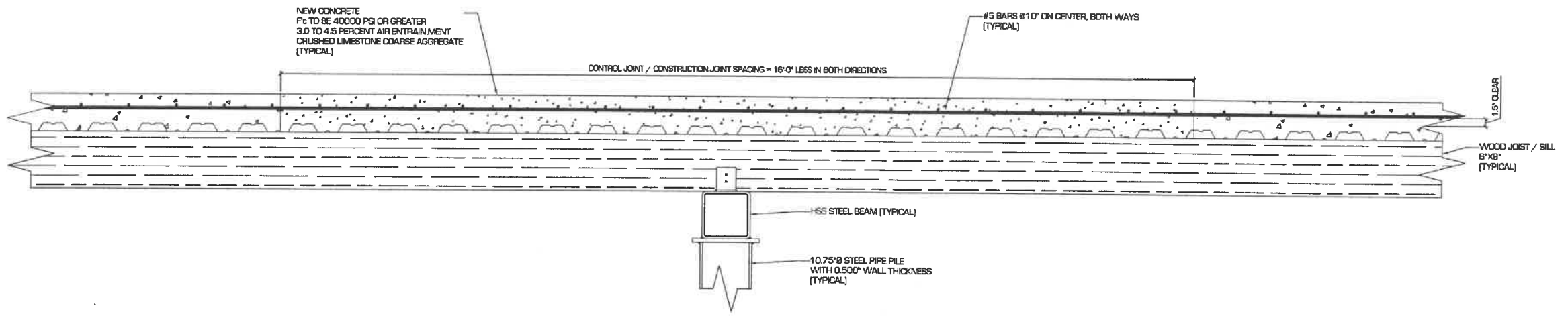




1 JOIST CONNECTION TO WOOD BEAM - END VIEW  
SCALE 1" = 1'-0"



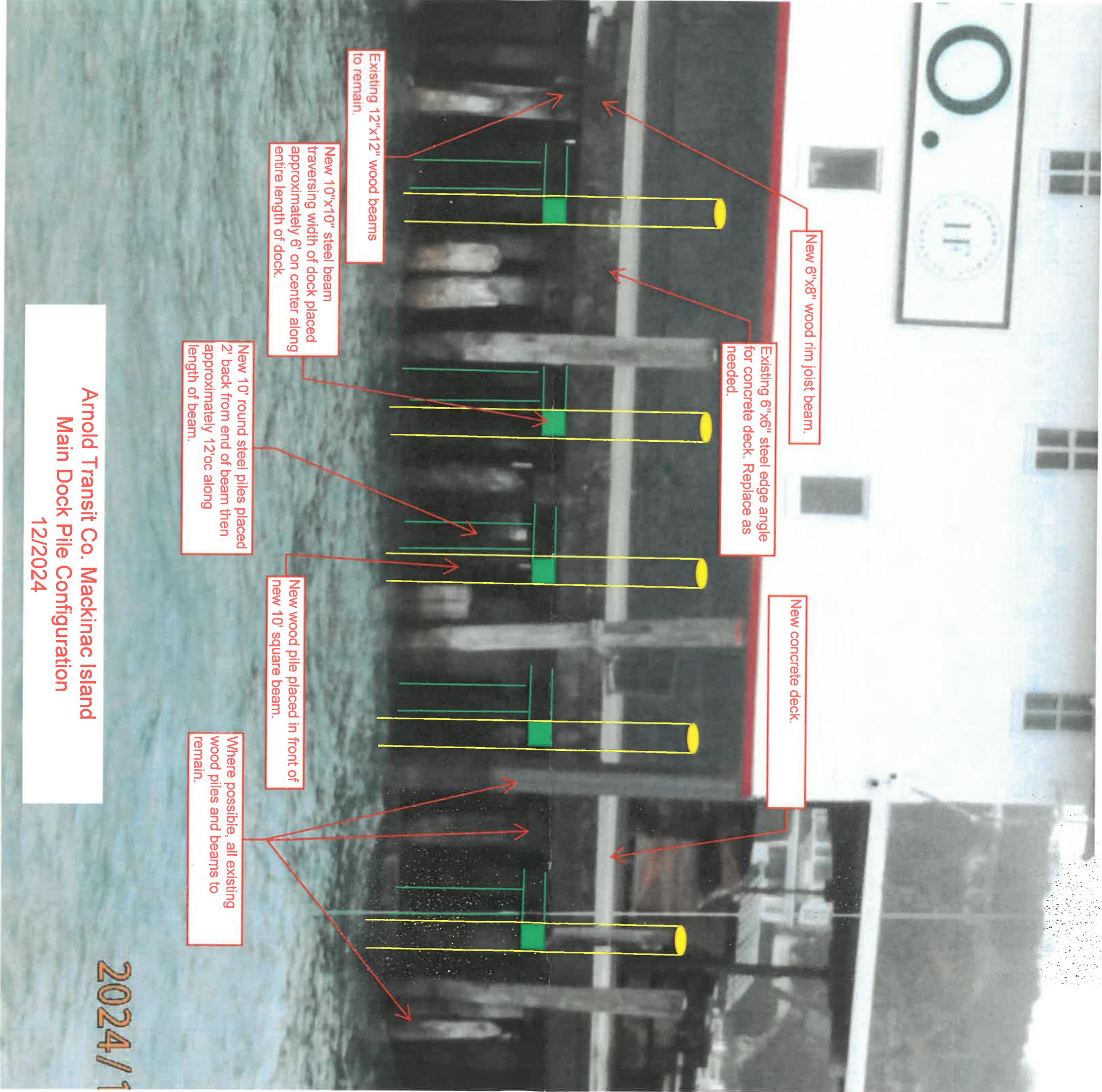
2 JOIST CONNECTION TO WOOD BEAM - TOP VIEW  
SCALE 1" = 1'-0"



3 JOIST CONNECTION TO STEEL BEAM - SIDE VIEW  
SCALE 1" = 1'-0"

Drawn by: D. HOHMEYER, P.E.  
Michigan License No. 32829  
November 2024

RELEASE DATES	
11-23-24	CONSTRUCTION & PERMIT
SOILS & STRUCTURES	
6480 Grand Haven Road Muskegon, Michigan 49441 (800) 933-3959 Fax (231) 798-1383	
CLIENT:	
 Arnold Freight 303 Ferry Lane St. Ignace, Michigan 49781 906-643-8288	
PROJECT:	
MACKINAC ISLAND PIER #1 PHASE 2 PIER REPAIRS CITY OF MACKINAC ISLAND MACKINAC COUNTY MICHIGAN	
Drawn by: D. HOHMEYER, P.E.	Date: 5-28-24
Checked by: D. HOHMEYER, P.E.	Date: 5-28-24
Project No.	Sheet No.
2023-0657	PH2-F6
	6 of 8



Arnold Transit Co. Mackinac Island  
Main Dock Pile Configuration  
12/2024

RECEIVED  
NOV 26 2024



