

CITY OF MACKINAC ISLAND

AGENDA

PLANNING COMMISSION

Tuesday, July 08, 2025 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

II. Roll Call

III. Pledge of Allegiance

IV. Approval of Minutes

[a.](#) June 10, 2025 Special Meeting

[b.](#) June 10, 2025 Regular Meeting

V. Adoption of Agenda

VI. Correspondence

[a.](#) Resignation Letter from Ben Mosley

VII. Staff Report

a. HDC Meeting Summary

b. DPW Update

VIII. Committee Reports

IX. Old Business

[a.](#) Stonecliffe Site Plan Amendments

[b.](#) R125-017-020 Bonzheim New Home

X. New Business

[a.](#) R425-085-048 Arbib Fence and Deck Alterations

[b.](#) R425-098-051 Grand Hotel 4 Attached Dwelling Units

[c.](#) R425-098-052 Grand Hotel 12 Dwelling Units

[d.](#) R425-078-053 Cloverland House Repairs

[e.](#) R425-049-055 DPW Home Repairs

[f.](#) MD25-069-054(H) Doud Change of Use & Alteration Home to Hotel

XI. Public Comment

XII. Adjournment

CITY OF MACKINAC ISLAND

MINUTES

PLANNING COMMISSION SPECIAL MEETING

Tuesday, June 10, 2025 at 3:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

Chairman Straus called the meeting to order at 3:04 PM.

II. Roll Call

PRESENT

Trish Martin

Jim Pettit

Michael Straus

Anneke Myers

Ben Mosley

Mary Dufina

Lee Finkel

Staff: David Lipovsky, Dennis Dombroski, Erin Evashevski

III. Adoption of Agenda

Motion to approve as presented.

Motion made by Myers, Seconded by Finkel.

Voting Yea: Pettit, Straus, Myers, Dufina, Finkel

IV. Old Business

a. MSHDA Grant Discussion

b. Zoning Ordinance Updates

Adam Young stated this discussion is regarding housing focused zoning amendments which pertain to the MSHDA grant. Young shared his screen. Young stated this is an initial draft of the housing zoning amendments. Young uses a Matrix to help with the organization of the amendments. Page 2 and 3 are the Use Matrix and he suggested adding it to the Ordinance book. Myers stated she did review the Matrix but didn't cross reference his work to make sure it was all correct. Pettit questioned the boardinghouse use not listed under Commercial. Young verified that was a mistake. After further examination of the Matrix it was determined that it is listed in the next category, "Apartment units and boardinghouses located in commercial structures". The boardinghouse must be in a commercial building, not

stand alone. This will be discussed further as they think stand alone would be desired. Myers asked if there are any ramifications to "cleaning up" that section of the ordinance. Evashevski stated who in the downtown district doesn't use their first floor for commercial use. Evashevski does not see cleaning it up as a problem. Pettit discussed the problem of single family residences being used as boardinghouses. We want to see "rental property" not based on employment. Pettit would like to craft an ordinance that is honest based on what we know as use. Myers stated we have a process to follow if building owners are honest about Use. Young noted Pettit's comments. Dombroski referred to mobile homes. He stated 4.07 is merged with 18. It does not stand alone. Roof pitch is a requirement that mobile homes do not meet. Dombroski isn't saying not to allow it, but it should be discussed. Pettit would like a letter sent out to all residential units declaring their use but Evashevski struggles with asking for this without a purpose. Young stated it is important to regulate Use from the perspective of Planning. We have to be careful on what we can regulate. Myers stated we need to incentivize workforce housing. When that discussion wrapped up, Young stated the amendments in the draft are in red. Young encouraged the commission to read through the draft and come up with any questions for next meeting. Straus recommended meeting july 8 at 3:00.

V. New Business

None

VI. Public Comment

None

VII. Adjournment

The meeting was adjourned at 3:56 PM.

Michael Straus, Chairman

Katie Pereny, Secretary

MINUTES

PLANNING COMMISSION

Tuesday, June 10, 2025 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

Chairman Straus called the meeting to order at 4:05 PM.

II. Roll Call

PRESENT

Trish Martin

Jim Pettit

Michael Straus

Anneke Myers

Ben Mosley

Mary Dufina

Lee Finkel

Staff: David Lipovsky, Dennis Dombroski, Erin Evashevski

III. Pledge of Allegiance

IV. Adoption of Agenda

Motion to approve as written.

Motion made by Mosley, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

V. Approval of Minutes

a. May 13, 2025 Special Meeting

Motion to approve as written.

Motion made by Finkel, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

b. May 13, 2025 Regular Meeting

Dufina asked about DPW section on page 6 and the reference to chlorine and UV light. Chlorine is not used anymore at the waste water plant and is being replaced by UV light. Motion to approve as written.

Motion made by Mosley, Seconded by Pettit.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

VI. Correspondence

None

VII. Staff Report

a. HDC Meeting Summary

Finkel summarized the HDC, June 10 meeting.

b. DPW Update

Burt shared his screen showing an aerial view of the entire work site. Still set for December start up.

VIII. Committee Reports

None

IX. Old Business

a. Stonecliffe Site Plan Amendments

Patrick Conlon stated they won't be selling anything out of the sheds. They will be an extension of the General Store. Not individual businesses, but an extension. Conlon stated he thought the Planning Commission stated they needed to think more about the shipping containers.

Dombroski stated there is a minimum size for commercial space of 400 square feet, within 4 walls. To Dombroski's knowledge the City has never considered the smaller boxes as appropriate. Dombroski suggested to the applicant to go to City Council for a variance before coming back to the Planning Commission. Myers agreed with Dombroski. Dufina stated they have had to prove and pay for the required 400 square feet and believes it should stand. Finkel pointed out you can use a hand held card reader anywhere. Evashevski stated there is merchandise and there are customers viewing the merchandise and does not think there is any question on Commercial use.

Motion to table the three commercial units and recommend the applicant go to City Council for review. Myers and Finkel rescinded the Motion.

Evashevski stated this should have been two separate applications since they are on two properties. Straus wants the new application to be the commercial buildings. After further discussion it was discovered it is 3 properties; commercial buildings, 4 sheds in the maintenance area, and two in Manor V.

Motion to separate the commercial buildings and the connex boxes in to two applications and send a note to City Council regarding the commercial buildings by the General Store.

Motion made by Straus, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

After further discussion regarding the connex boxes it was discovered that they are on two separate parcels. There are 4 in the maintenance area and 2 in Manor V. Motion to separate the connex boxes in to two applications. The applicant needs to submit a new application for the Manor V connex boxes. The maintenance boxes will be reviewed on the original application.

Motion made by Mosley and Myers

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

Maintenace sheds

Conlon stated they were brought up during construction. Not sure when they were brought up but thinks they have been there several years. Myers asked if permission given to leave them for storage? Conlon is not aware of what was permitted. Dombroski remembers they were never brought to Planning Commission. Vehicle permits were issued to bring onsite for temporary construction. The connex boxes were brought for temporary storage. The job that was supposed to be one year is still going on. They were never intended to be permanent and never shown on site plan until this application. Dombroski stated they are considered temporary construction tents. Myers pointed out the only temporary structures for construction are tents. so connex boxes by definition are not allowed. Motion by Myers, second by Pettit, to have them removed. They were intended to be temporary and there is no area in our ordinance that allows them. They were allowed by council as a motor vehicle permit. The sizes do not fit in our architectural ordinance. Planning Commission will work with Stonecliffe to remove during allowed vehicle time.

Motion made by Myers and Pettit.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

Conlon asked about other connex boxes on the island. Myers stated today we are discussing the Stonecliffe boxes. The fire department boxes are for training for fire department. The other boxes around the City will be looked in to.

Manor V connex

These were also brought over as temporary construction trailers. Motion to remove.

Motion made by Pettit and Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

b. R125-017-020 Bonzheim New Home

Motion to table at the request of the applicant.

Motion made by Pettit, Seconded by Mosley.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

c. Grand Hotel Facade Update - Gene Hopkins

Gene Hopkins provided an update to the facade work. Burns shared his screen. This is the annual update as required by the original approval. Hopkins showed the last 139 years of the hotel facade and summarized what they have done so far. The work includes east wing windows on the 300 level, eyebrow and some paint restoration. Phase 2 included the west wing central stair west eyebrow, windows on the 3rd floor and paint restoration of exterior wall. Hopkins state the paint restoration is an ongoing process. Weather has impacted the time. Column restoration is complete. The west end of the porch flooring is being done. Testing of the new wood deck, made of ash. The wood is baked and all of the water is removed which makes it three times harder. The wood is guaranteed not to expand or buckle. Jurcak stated the test has passed and they are moving forward with the whole deck. Phase 4 will include painting, continue with the porch and entry stairs, shingle repair in the lower lobby, and restore whole lower lobby entry. Looking forward to Phase 5 they will finish the porch and do the stairs down to tea garden.

X. New Business

a. RS25-046-045(H) Gilmer Variance for Shed

Burns stated the variance is for setbacks to accommodate a new storage shed that is attached to the house. There is a small area with no windows that will work for the shed. When the house was built the house was conforming but with the changes in the Ordinance it is now non-conforming. Motion to send to City Council with a recommendation to approve the storage shed addition.

Motion made by Myers, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

XI. Public Comment

XII. Adjournment

Motion to adjourn at 5:11 PM.

Motion made by Finkel, Seconded by Pettit.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

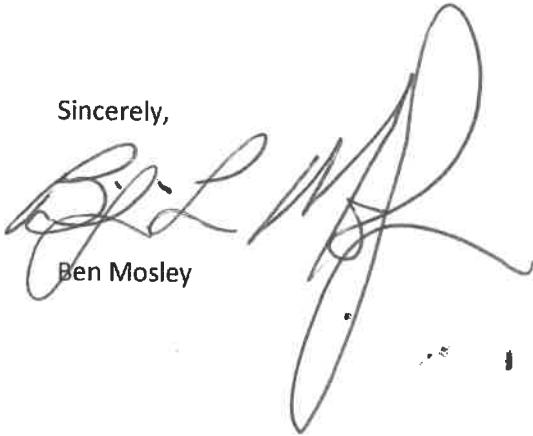
Ben Mosley
7638 fifth st.
Mackinac Island, MI 49757
7/1/25

Mackinac Island Planning Commission
Mackinac Island, MI

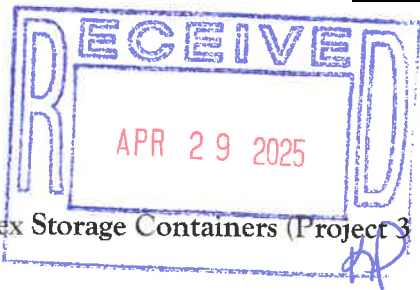
Dear Mackinac Island Planning Commission:

Please accept my notice of resignation. I would like to thank all the Commission Members for the help that I have received from each of you along the way. You have earned my respect and admiration for a job that has few rewards. I hope that you give my successor as many good memories as I have had during my tenure.

Sincerely,



Ben Mosley



Stonecliffe Properties LLC – Art Gallery Shed Additions & Connex Storage Containers (Project 3 Addendum)

Project Description:

This addendum includes the addition of ~98 SF sheds that will be used as art galleries outside of our General Store. They will showcase artwork and other local collectibles/products from artists that guests can admire and purchase. These are being strategically placed to blend in with their environment. These locations include:

- Adjacent to the bike pavilion (shown on plan).

Shed Description: 9'11 x 9'11 storage shed with LP Lap siding, wood double doors, and shingled roof. The sheds will complement the General Store and new kitchen and will be the same color.

This addendum also includes the addition of four 8' x 20' shipping containers already on site in the maintenance area.

Description of effect on adjoining lands:

There will be no effect on any adjoining lands, and the sheds will match the aesthetic of neighboring buildings.

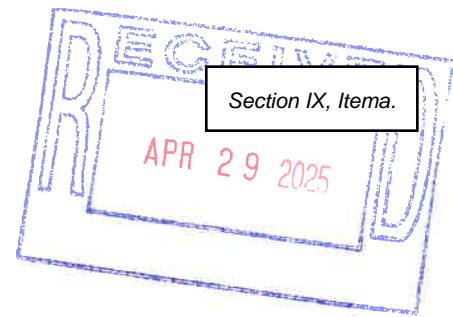
There will be no effect on any adjoining lands as the shipping containers would be painted forest green to blend in with the surroundings, and they are already screened from public view. Keeping these containers rather than building new storage buildings has the added benefit of minimizing disruption to the neighborhood that may come from other construction work.

Description of Operations:

These art gallery sheds provide an enclosed location for the display and sale of local artwork and collectibles. The General Manager and Facilities Director will ensure that these small sheds are properly utilized and properly maintained. The addition of these Gallery Shops will provide an additional outlet on the island for tourists and locals to view and purchase the inspiring work of community artists.

The shipping containers would be used to store critical supplies and equipment for resort operations and be used for event storage. This additional storage is necessary, beyond what was previously contemplated, due to the expansion of the resort and the supplies and equipment needed to support that expansion.

File No. 4B21-001-099
Exhibit V V V
Date 4-29-25
Initials KP



Stonecliffe Properties LLC – Storage Shed Additions (Project 7- Manor V Addendum

Project Description:

This addendum includes the addition of two connex storage containers on Manor V. These are strategically placed to blend in with their environment. These locations include:

- Adjacent to Manor V cottage (shown on plan).

Shed Description: 8' x 20' shipping container (Connex)

Description of effect on adjoining lands:

There will be no effect on any adjoining lands. By painting these, planting trees around them, and having them blend in with the landscaping, it will provide a better aesthetic for neighbors passing by than storing landscaping equipment outside or building other sheds like those in the neighboring area, that stand out from the architecture. Keeping these containers will also minimize disruption to the neighborhood as building a new shed would require continued construction, and housing landscaping equipment at Stonecliffe would require the equipment be moved on public roads to transition over to Manor V.

Description of Operations:

These shipping containers provide an enclosed location for storage of items required for the Resort's operations (landscaping equipment, tenant items). The General Manager and Facilities Director will ensure that these shipping containers are properly utilized and properly kept up.

File No. HB21-001-099
Exhibit YY
Date 4-29-25
Initials KP

FOUNDATION COTTAGES LOT LEGAL DESCRIPTION:

PRIVATE CLAIM NO.2 COM AT THE NE'LY COR OF PC 2 TH S 32 DEG 51'45"W 4020.8 FT ALG SE'LY LINE OF PC 2 TO THE POB TH N 40 DEG 40'50"W 130.0 FT TH N 14 DEG 18'18"E 257.95 FT M/L TO S'LY LINE OF STONECLIFFE CONDO V TH E'LY AND N'LY ALG CONDO BOUNDARY TO THE N LINE OF AN EASEMENT (282/163) TH E'LY ALG N LINE OF SAID EASEMENT TO THE E'LY LINE OF PC 2 WITH SAID POINT BEING S 32 DEG 51'45"W 3523.82 FT FROM THE NE'LY COR OF PC 2 TH S 32 DEG 51'45"W 200.0 FT M/L ALG SE'LY LINE OF PC 2 TO THE N LINE OF A PARCEL DESC IN 380 TH N 87 DEG 32'W 85.75 FT TH S 02 DEG 28'W TO SE'LY LINE OF PC 2 TH S 32 DEG 51'45"W ALG SE'LY LINE TO THE POB. PART OF PC 2.

SITE NOTES:

1. BICYCLE PARKING RACKS ARE PROVIDED AT THE COTTAGE AND AT THE SUMMERHOUSE AND AT THE BICYCLE PAVILION FOR THE MANSION. 1 BIKE SPACE PER BEDROOM.
2. SHRUBBERY SCREENED TRASH ADJACENT TO EACH COTTAGE. ALL TRASH FROM EACH STRUCTURE THEN GOES TO A CENTRAL TRASH COLLECTION POINT INTO A SHED WITHIN THE GATED UTILITY AREA.
3. LIGHTING - SEE INDIVIDUAL STRUCTURES FOR BUILDING LIGHTING, NO PATHWAY LIGHTING PROPOSED.
4. A.C. CONDENSERS - SEE INDIVIDUAL STRUCTURES FOR BUILDING COMPRESSORS DISGUISED W/ SHRUBBERY.
5. EACH STRUCTURE REQUIRING SANITARY SHALL INITIALLY BE ON ITS OWN HEALTH DEPT. APPROVED SEPTIC TANK AND FIELD AND ALSO BE PIPED TO A CENTRAL FUTURE PUMPING STATION LOCATION READY FOR FUTURE MUNICIPAL HOOK UP.
6. STORMWATER HARD SURFACES INCREASE FROM 7% PRE DEVELOPMENT TO 15.6% POST DEVELOPMENT AND SHALL CONTINUE TO DRAIN TO AND ABSORB INTO CURRENT GRASS AND VEGETATION, BASED ON LOW IMPERVIOUS TO PERVIOUS RATIO AND WIDE DISPERSION OF STRUCTURES, NO STORMWATER RETENTION IS ANTICIPATED NECESSARY.

LEGEND:

KEY: = (P) →

1. ADDITION OF A WELLNESS CENTER BUILDING WHICH INCLUDES AN EXERCISE ROOM WITH HIS & HERS LOCKERS AND BATHROOMS.
2. ADDITION OF A BICYCLE SHELTER.
3. ADDITION OF A FOUNDATION COTTAGE #1.
4. ADDITION OF A PATIO WITH 4'x4' FIRE PIT AREA.
5. CHANGE OUT REAR PAVES WALKWAYS & PATIOS WITH NEW COBBLESTONE PAVES.
6. ADD A SMALL WATER FEATURE FOUNTAIN TO THE EXISTING PATIO AREA OFF OF THE REAR COVERED LANAI.
7. ADDITION OF A SECONDARY COBBLESTONE PAVES ARRIVAL LOOP FOR HORSE AND CARRIAGE TRAFFIC.
8. REPLACE THE OLD PAVES DRIVE & WALKWAYS TO SUMMERHOUSE WITH NEW COBBLESTONE PAVES.
9. CUT BACK EXISTING POOL PATIO BY 12'. MOVE BACK PATIO DECK FENCE 12' WITH NEW ALUMINUM 4' HIGH BRONZE COLOR POOL FENCE.
10. OUTDOOR POOL AT WELLNESS CENTER & MISC. LANDSCAPE FEATURES.
11. PROPOSED MERCANTILE BUILDING W/ ADDITION.

STONECLIFFE LEGAL DESCRIPTION:

COMMENCING AT THE NORTHEAST CORNER OF PRIVATE CLAIM NO.3; THENCE ALONG THE SOUTHEASTERN LINE OF SAID PRIVATE CLAIM S 33°21'17" W 1188.02' TO A MONUMENT BY THE GATE OF STONECLIFFE; THENCE CONTINUING ON THE EASTERLY LINE OF SAID PRIVATE CLAIM BEING THE SOUTHEASTERN LINE OF A PARCEL DESCRIBED IN LIBER 412, PAGE 472 AND LIBER 412, PAGE 473 MACKINAC COUNTY RECORDS S 33°03'19" W 136.97' TO THE POINT OF BEGINNING; THENCE ALONG THE SOUTHEASTERN LINE OF PRIVATE CLAIM NO.3, S 33°03'19" W 874.97' THENCE N 57°15'00" W 150.00'; THENCE N 67°59'24" W 298.94'; THENCE S 78°32'09" W 164.57'; THENCE N 39°36'22" W 63.13' TO THE NORTHWESTERN LINE OF PRIVATE CLAIM NO.3; THENCE ALONG SAID PRIVATE CLAIM LINE N 32°55'00" E 113.87' TO THE WESTERN LINE OF CONDO NO.1, AS RECORDED IN LIBER 284, PAGE 602, MACKINAC COUNTY RECORDS; THENCE ALONG THE WEST LINE OF SAID CONDO NO.1, S 02°56'12" W 11.34' TO THE SOUTH LINE OF SAID CONDO NO.1; THENCE ALONG THE SOUTH LINE OF SAID CONDO NO.1, S 87°03'39" E 93.75' TO THE SOUTHEASTERN CORNER OF CONDO NO.1; THENCE ALONG THE EASTERLY LINE OF SAID CONDO NO.1, N 02°56'23" E 160.00' TO THE NORTHEASTERN CORNER OF SAID CONDO NO.1; THENCE ALONG THE NORTH LINE OF SAID CONDO NO.1, N 87°03'19" W 8.00' TO THE NORTHWESTERN LINE OF PRIVATE CLAIM NO.3; THENCE ALONG THE NORTHWESTERN LINE OF PRIVATE CLAIM NO.3, S 32°55'00" E 242.45' TO THE SOUTHWESTERN LINE OF A PARCEL DESCRIBED IN LIBER 260, PAGE 204 AND LIBER 260, PAGE 228, MACKINAC COUNTY RECORDS; THENCE ALONG SAID SOUTHWESTERN LINE S 57°05'38" E 80.00' TO THE SOUTHEASTERN CORNER OF SAID PARCEL; THENCE ALONG THE SOUTHEASTERN LINE OF SAID PARCEL N 32°55'00" E 60.01' TO THE NORTHEASTERN CORNER OF SAID PARCEL; THENCE S 57°05'38" E 73.24'; THENCE N 60°14'04" E 22.74'; THENCE N 22°15'51" E 53.51'; THENCE N 20°12'58" E 51.33'; THENCE N 29°47'45" E 60.40'; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 400.00', A DELTA OF 33°26'55", AN ARC LENGTH OF 233.62' AND A CHORD WHICH BEARS N 59°02'27" E 230.21'; THENCE S 83°08'17" E 46.39' TO THE NORTHERLY LINE OF A 20' WIDE PRIVATE EASEMENT RECORDED LIBER 454, PAGES 366-389, MACKINAC COUNTY RECORDS; THENCE S 57°35'45" E 191.19' ALONG THE NORTH LINE OF SAID EASEMENT; THENCE S 33°03'20" W 20.00' TO THE NORTHWESTERN CORNER OF A PARCEL DESCRIBED IN LIBER 412, PAGE 472, AND LIBER 412, PAGE 473, MACKINAC COUNTY RECORDS; THENCE ALONG THE NORTHWESTERN LINE OF SAID PARCEL S 33°03'19" W 152.25' TO THE SOUTHWESTERN CORNER OF SAID DESCRIBED PARCEL; THENCE ALONG THE SOUTHWESTERN LINE OF SAID PARCEL S 57°15'00" E 150.00' TO THE POINT OF BEGINNING. CONTAINING 10.32 ACRES, BEING SUBJECT TO ALL EASEMENTS OF RECORD, IF ANY, ALL BEING A PART OF PRIVATE CLAIM NO.3, T40N, R3W, CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN.

STONECLIFFE SITE PLAN NOTES:

1. PROPERTY ZONED HB HOTEL BOARDING-HOUSE.
2. MINIMUM LOT SIZE REQUIREMENTS: AREA SHALL NOT BE LESS THAN 7500 SQ. FT. W/ A MIN. WIDTH OF 60' AT THE BUILDING LINE.
3. ACTUAL **NEWLY COMBINED LOT SIZE** = 10.32 AC (449,538 S.F.).
4. MINIMUM SETBACK REQUIREMENTS: FRONT = 30 FEET, SIDE = 10 FEET, REAR = 30 FEET.
5. NO BUILDING SHALL EXCEED 40 FEET OR 31 STORIES IN HEIGHT.
6. ACTUAL LOT COVERAGE OF **NEWLY COMBINED PARCELS** IS 15.6% = 69,982 S.F. = ALL BUILDINGS, PATIOS, COBBLES, PATHS, WALKS, DRIVES. (AN INCREASE OF 940 S.F. FOR THIS PROJECT, WHICH INCLUDES 4 CONNEXES + 3 GALLERY SHOPS)
7. ALLOWABLE AND ACTUAL DENSITIES:
 - 6.1. THE MANSION - 16 EXISTING HOTEL ROOMS
 - 6.2. THE SUMMERHOUSE - 31 EXISTING HOTEL ROOMS
 - 6.3. THE FOUNDATION COTTAGE - SINGLE FAMILY UNIT OR 1 HOTEL GUEST ROOM
 - 6.4. 16+31+1 = 48 TOTAL GUESTROOMS INCLUDING THE COTTAGE.
8. AT LEAST 1 BICYCLE SPACE PER BEDROOM IS PROVIDED.

SITE PLAN

Richard Clements Architect, PLLC

15915 Merry Lane
Oshtemo, MI 49079

richardc@rcarchitect.com 561-370-3651

THE INN AT STONECLIFFE

8593 CUDAHY CIRCLE
MACKINAC ISLAND, MI

date: Apr. 22, 2025

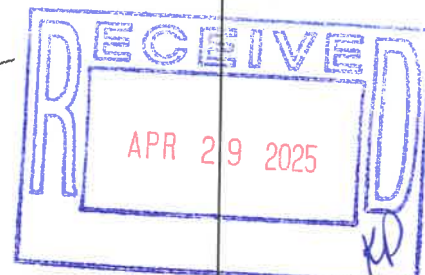
project: 2131

SITE PLAN

sheet:

A16.1

DATE: 2025

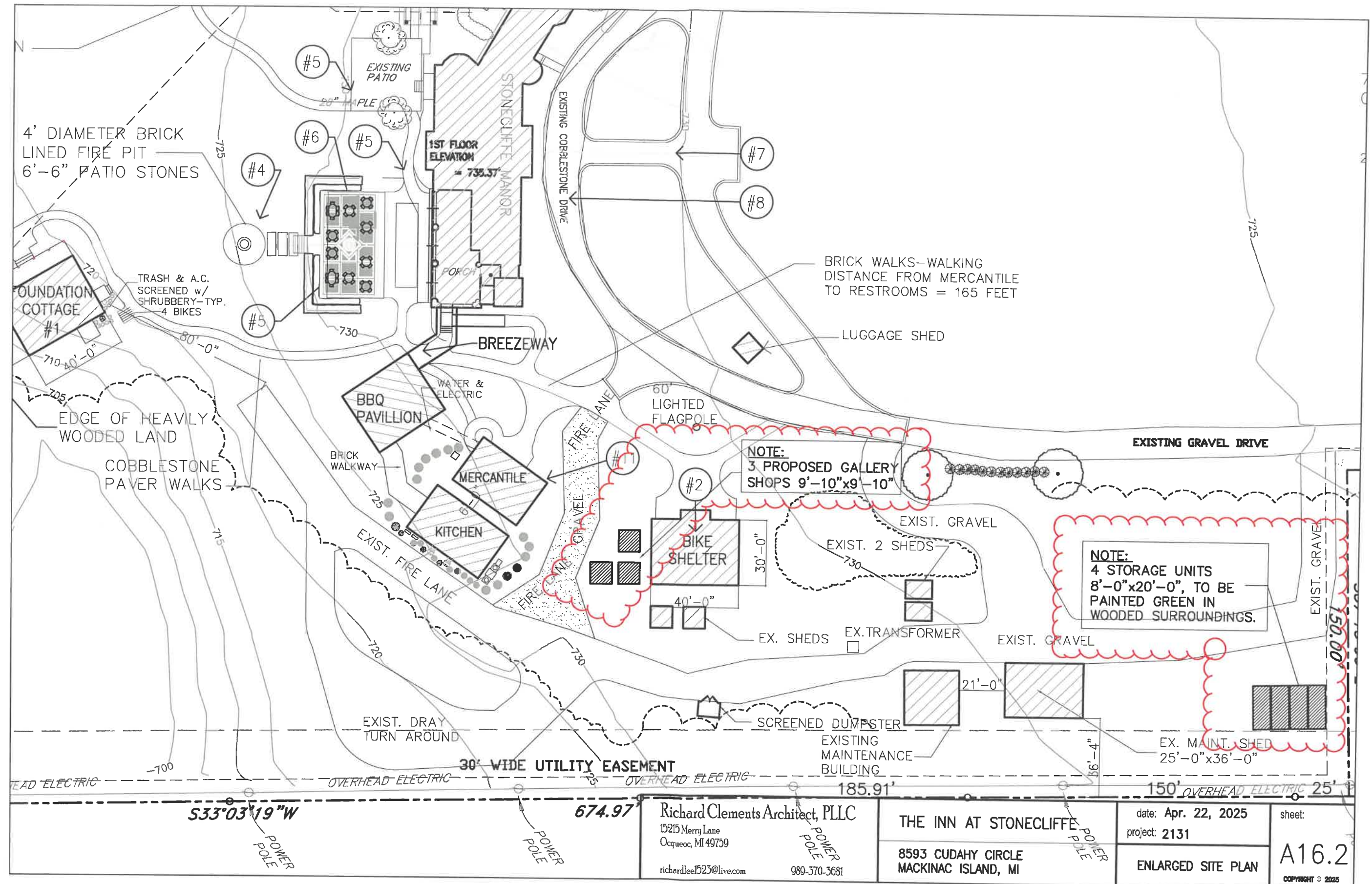


File No. HBal-001-099

Exhibit W W W

Date 4-29-25

Initials KR





SAMPLE ISLAND METAL BUILDINGS



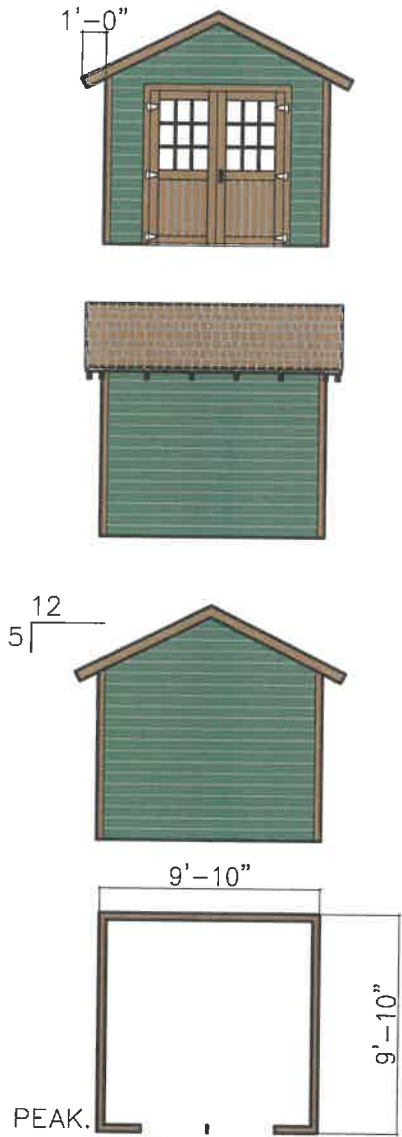
TYPICAL OF 3
GALLERY SHOPS

EXTERIOR SIMILAR TO MERCANTILE BUILDING.
BROWN ASPHALT DIMENSIONAL SHINGLES.

GREEN SMARTSIDE LAP SIDING
BROWN SMARTSIDE TRIMS

BROWN WOOD/CLAD DOORS W/ 60% GLASS
TRANSMITTANCE.

9'-10"x9'-10"x11'-0" HEIGHT FROM GRADE TO PEAK.



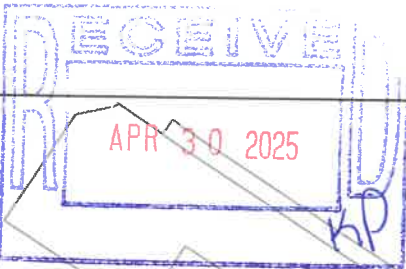
MAINTENANCE AREA
CONNEXES BEHIND
LANDSCAPE



MAINTENANCE AREA
CONNEXES

Richard Clements Architect, PLLC 15215 Merry Lane Oqueoc, MI 49759 richardlee1523@live.com 989-370-3681	THE INN AT STONECLIFFE	date: Apr. 22, 2025 project: 2131	sheet:
	8593 CUDAHY CIRCLE MACKINAC ISLAND, MI	PHOTOS	A16.3 COPYRIGHT © 2025

File No. HB21-001-099
Exhibit 222
Date 4.30.25
Initials KP



LOTS 1-9:
ZONED: HB HOTEL BOARDINGHOUSE
LOTS 1-10 REVERT INTO ONE PARCEL,
AREA = 100,970 s.f. = 2.3 ACRES
(AREA EXCLUDES ROAD & UTILITY EASEMENTS)
DENSITY CALCULATION:
ALLOWABLE:
20 DWELLINGS UNITS PER ACRE = 46
ACTUAL FAMILY RESIDENTIAL UNITS
DUPLEX #1: 2
DUPLEX #2: 2
DUPLEX #3: 2
COTTAGE: 1
TOTAL FAMILY RESIDENTIAL UNITS: 7
ALLOWABLE LOT COVERAGE = 40% x 100,970
s.f. = 40,388 s.f.
ACTUAL LOT COVERAGE:
BUILDINGS = 7,500 s.f.
PORCHES & WALKS = 788 s.f.
STORAGE UNITS = 320 s.f.
TOTAL IMPERVIOUS = 8,608 s.f. = 8.5%

- SITE NOTES:**
1. BICYCLE PARKING RACK IS PROVIDED AT A RATE OF 1 PER OCCUPANT.
 2. TRASH TO BE HELD WITHIN A LANDSCAPE SCREENED AREA AT REAR OF EACH BUILDING.
 3. LIGHTING - NO AREA LIGHTING PROPOSED. COACH LIGHTING PROVIDED AT BUILDING ENTRANCES: 15w LED SHIELDED TO CONFINE LIGHT WITHIN THE SITE.
 4. SEE STORMWATER NOTES THIS SHEET

STORMWATER PLAN:
DESIGN CRITERIA:
10 YEAR 24 HOUR RAINFALL = 3.3"
(SOURCE: MDOT MS4 REPORT)
= (0.28") = 0.011" /hour
INFILTRATION RATE OF SOIL = 0.2"/hr.
(SOURCE: USDA) = 0.016"/hour x24 hrs. + 67% = 0.25' / storm event
DESIGN STORM VOLUME = 6,360 s.f.
IMPERVIOUS x 0.28" = 745 cu. ft.
ABSORPTION AREA OF 10' STRIPS FRONT & REAR OF EACH BUILDING = 5,320 s.f.
STORMWATER ABSORPTION = 5,320 s.f. x 0.25' = 1,330 cu. ft.
STORMWATER ABSORPTION EXCEEDS STORMWATER VOLUME = NO STORMWATER RETENTION REQUIRED

In the COTTAGE
3 BEDROOM
2 1/2 BATH
KITCHEN
LAUNDRY
7' HIGH BASEMENT
In each DUPLEX Apt.
2 BEDROOMS
2 BATHS
KITCHEN
LAUNDRY
7' HIGH BASEMENT

NOTE:
ALL TREES AWAY FROM BUILDINGS DECKS AND SANITARY SHALL REMAIN

NOTE:
2 STORAGE UNITS TO BE PAINTED GREEN IN WOODED SURROUNDINGS.

NOTE:
ALL TREES AWAY FROM BUILDINGS DECKS AND SANITARY SHALL REMAIN

NOTE:
2 STORAGE UNITS TO BE PAINTED GREEN IN WOODED SURROUNDINGS.

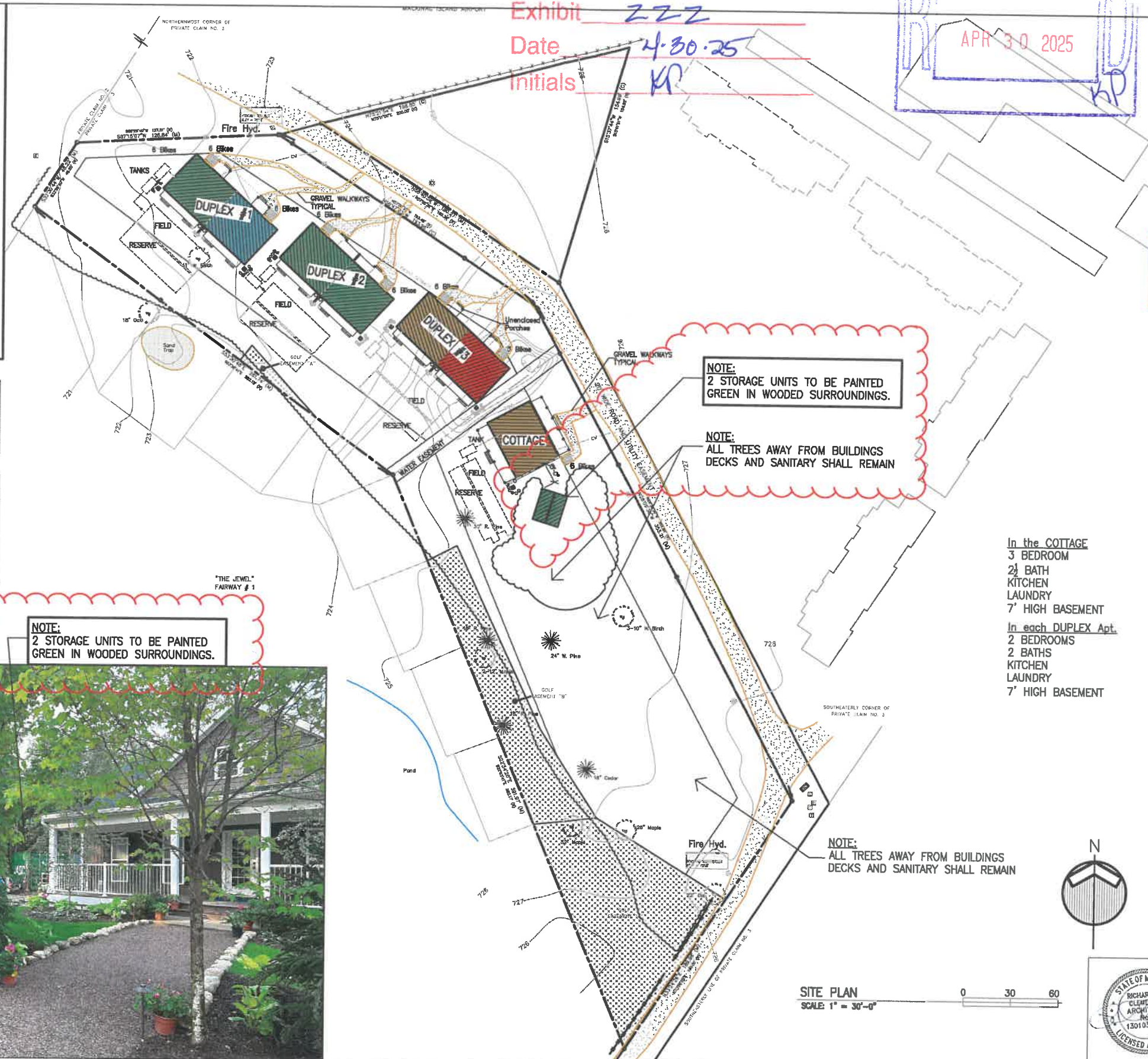
- LEGEND:**
- FOUND SURVEY IRON
 - FOUND CONCRETE MONUMENT
 - FOUND NAIL
 - ELECTRIC BOX
 - TELEPHONE BOX
 - ⊙ WATER VALVE
 - ⊙ LAMP
 - ⊙ UTILITY STUB
 - ⊙ FIRE HYDRANT
 - ⊙ MONITORING WELL
 - PROPERTY LINE
 - PLATTED LOT LINES
 - SETBACK LINE
 - SEWAGE EASEMENTS AS RECORDED IN LIBER 326, PAGE 333
 - GOLF EASEMENTS AS RECORDED IN LIBER 446, PAGE 196
 - FENCE
 - EDGE OF TREES
 - ⊙ TREE (AS DESCRIBED)
 - APPROXIMATE GRAVEL ROAD AS TRAVELED
 - WATER
 - SANITARY
 - ELECTRIC

SHEET INDEX

SHEET	DESCRIPTION
A7.0	FOREST DRIVE SITE PLAN
A7.10	DUPLEX #1 FOUNDATION PLAN
A7.11	DUPLEX #1 FOUNDATION SECTION

PROJECT UNDER THIS 4.21.2025 PERMIT:

1. TWO STORAGE UNITS.
2. ALL OTHER STRUCTURES SHOWN ON THIS SITE PLAN ARE FOR REFERENCE ONLY & ARE NOT INCLUDED UNDER THIS PERMIT.



SITE PLAN
SCALE: 1" = 30'-0"



Richard Clements Architect, PLLC
1920 Merry Lane
Okemos, MI 48870
richardc@rca.com 980-370-3681

STONECLIFFE PROPERTIES

FOREST DRIVE DUPLEX #1
MACKINAC ISLAND, MI 49757

date: April 22, 2025 sheet:
project: 2131
SITE PLAN **A7.0**
copyright: 2025



Stonecliffe Properties LLC – Art Gallery Shed Additions & Connex Storage Containers (Project 3 Addendum)

Project Description:

This addendum includes the addition of three ~98 SF sheds that will be used as an extension of our General Store that we have outgrown space in. These sheds will showcase artwork and other local collectibles/products from artists that guests can admire and purchase from inside of the General Store. These are being strategically placed to blend in with their environment, and artwork and other merchandise will not be hung or displayed on the outside of the sheds. These locations include:

- Adjacent to the bike pavilion (shown on plan).

Shed Description: 9'11 x 9'11 storage shed with LP Lap siding, wood double doors, and shingled roof. The sheds will have electricity run inside of them for lighting. The sheds will complement the General Store and new kitchen and will be the same color.

This addendum also includes the addition of four 8' x 20' shipping containers already on site in the maintenance area.

Description of effect on adjoining lands:

There will be no effect on any adjoining lands, and the sheds will match the aesthetic of neighboring buildings.

There will be no effect on any adjoining lands as the shipping containers would be painted forest green to blend in with the surroundings, and they are already screened from public view. Keeping these containers rather than building new storage buildings has the added benefit of minimizing disruption to the neighborhood that may come from other construction work.

Description of Operations:

These art gallery sheds provide an enclosed location for the display of local artwork and collectibles that can be purchased from inside of the General Store. The General Manager and Facilities Director will ensure that these small sheds are properly utilized and properly maintained. The addition of these Gallery Shops will provide an expansion of floor space for the General Store, and increase the space on the island for tourists and locals to view and purchase the inspiring work of community artists.

The shipping containers would be used to store critical supplies and equipment for resort operations and be used for event storage. This additional storage is necessary, beyond what was previously contemplated, due to the expansion of the resort and the supplies and equipment needed to support that expansion.

APR 11 2025

1

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

GC North, LLC
c/o Jim Murray, Member

231-838-6102

jamesmurrayesq@gmail.com

Phone Number

Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Bonzheim Revocable Trust, Scott and Kimberly Bonzheim, Trustees
7730 Parkcrest Circle Clarkston MI 48348

Is The Proposed Project Part of a Condominium Association?

Yes

Is The Proposed Project Within a Historic Preservation District?

No

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Owner

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

No

Is a Variance Required?

Yes

Are REU's Required? How Many?

No

n/a

Type of Action Requested:☒ Standard Zoning Permit☐ Special Land Use☐ Planned Unit Development☐ Other _____☐ Appeal of Planning Commission Decision☐ Ordinance Amendment/Rezoning☐ Ordinance Interpretation**Property Information:**File No. R125.017.020Exhibit ADate 4-24-25Initials KP

A. Property Number (From Tax Statement): 051-752-017-00

B. Legal Description of Property: Stonebrook Condo Unit No. 17C. Address of Property: 4311 Pine Cove LaneD. Zoning District: R-1E. Site Plan Checklist Completed & Attached: yesF. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) yesG. Sketch Plan Attached: yesH. Architectural Plan Attached: yesI. Association Documents Attached (Approval of project, etc.): on fileJ. FAA Approval Documents Attached: on fileK. Photographs of Existing and Adjacent Structures Attached: yes**Proposed Construction/Use:**

A. Proposed Construction:

☒ New Building☐ Alteration/Addition to Existing Building☐ Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

vacant

Proposed Use: single-family home

C. If Vacant:

Previous Use: vacant

Proposed Use: single- family home

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the general contractor (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Signature

SIGNATURES

Signature

Please Print Name

James Murray, Authorized Member of GC North, LLC

Please Print Name

Signed and sworn to before me on the 11 day of April, 2025.

K. RICKLEY, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 10/21/2025

Notary Public

Mackinac County, Michigan
My commission expires: 10/21/2025

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: R125-017-020

FEE: \$150-

DATE: 4-11-25

CHECK NO: 1501

INITIALS: KP

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review
Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.
13. Proposed construction start date and estimated duration of construction.
14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission

☒☐☒☐☒☐Natural FeaturesProvidedNot Provided
or Applicable

15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)
16. Topography of the site with at least two- to five-foot contour intervals
17. Proposed alterations to topography or other natural features
18. Earth-change plans, if any, as required by state law

☒☐☒☐☒☐☒☐Physical FeaturesProvidedNot Provided
or Applicable

19. Location of existing manmade features on the site and within 100 feet of the site
20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site
21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a

☒☐☒☐☐☒

dwelling schedule showing the unit type and number of each such units.

22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
25. Description of Existing and proposed on-site lighting (see also Section 4.27)

☒☐☒☐☒☐☒☐

Utility Information

Provided

Not Provided or Applicable

26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand
27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)
28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)
29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.

☐☒☒☐☒☐☒☐

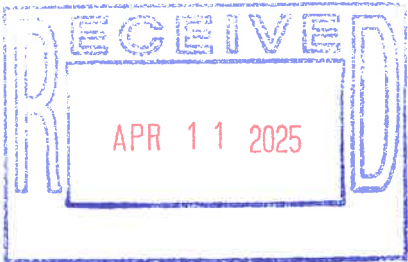
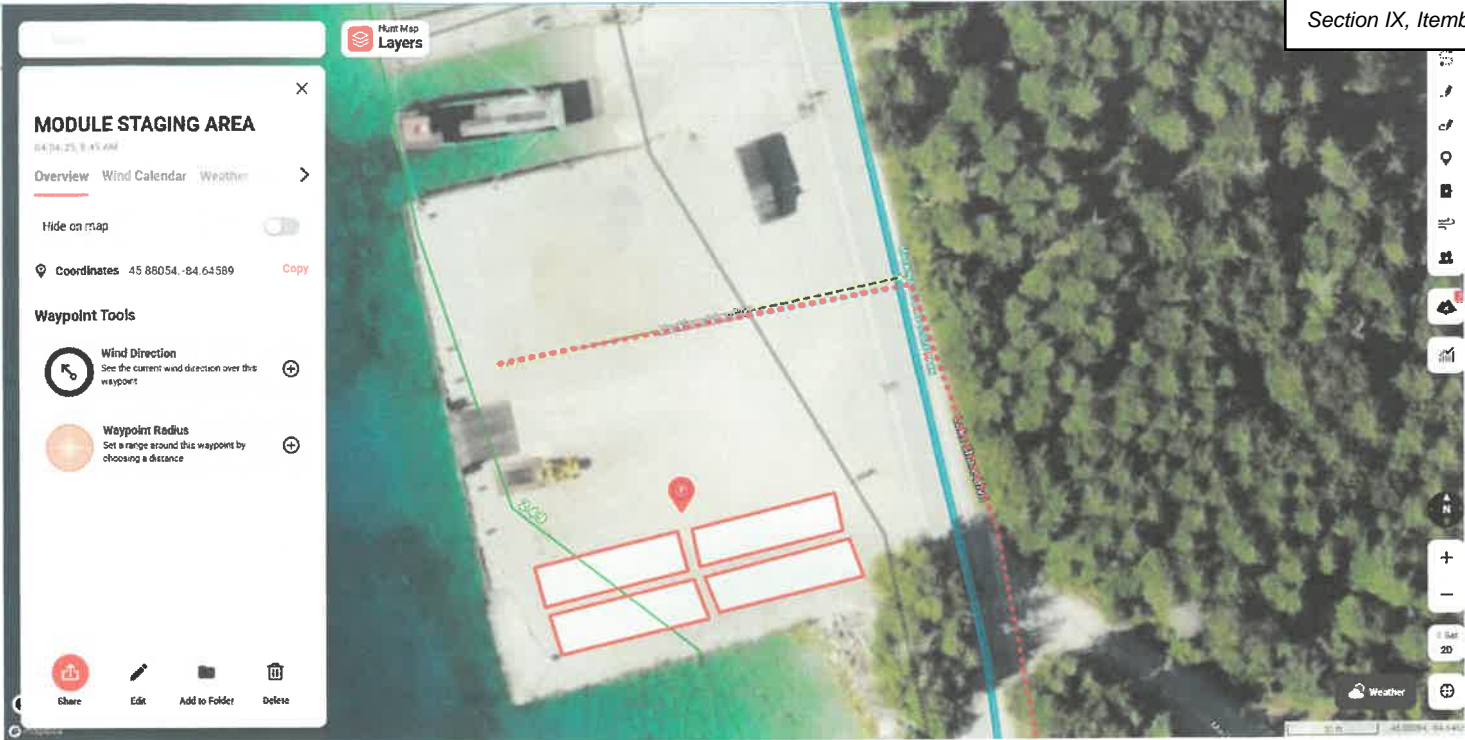
**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Section IX, Itemb.









**ARCHITECTURAL CONTROL COMMITTEE
STONE BROOK OWNERS' ASSOCIATION**

April 14, 2025

Scott & Kim Bonzheim
7730 Parkcrest Circle
Clarkston, MI 48348

Subject: ***Stone Brook Owners' Association
Architectural Control Committee
Preliminary Approval – Unit 17 House Plans***

File No.	B125-077020
Exhibit	U G
Date	4-24-25
Initials	KD

Dear Scott & Kim:

At a meeting on April 14, 2025, the Architectural Control Committee of the Stone Brook Owners' Association granted preliminary approval of the following submittals related to your proposed home at Stone Brook Unit 17:

- C1844 Bonzheim Pricing Plan Set 2-10-25,
- Site Plan_2025-2-21 (PDF),
- Site Model_2025-2-21, and
- Bonzheim Timeline – 11-27-24.

Attached you will find copies of those documents marked "Approved - Preliminary."

In conjunction with preliminary approval and in accordance with the Stone Brook Architectural Control Guidelines, the committee established the following conditions to be met prior to final approval of the plans:

- No polyurethane or polyvinyl chloride (PVC) materials shall be used for porch railings, trim, or ornamental detailing. This includes, but is not limited to, brand names such as Fypon and Azek.
- Painted wood siding and painted wood shingles are required for exterior walls. The proposed Diamond Kote siding does not conform to Stone Brook's guidelines.

In accordance with the provisions of the Stone Brook architectural control guidelines, final approval of the house plans will be considered by the committee upon receipt of the following items:

- Updated construction documents incorporating the conditions stated above;
- Dimensioned site plan, indicating where trees are to be removed;
- Landscape plan;
- Updated construction schedule,
- A sample board providing samples or other sufficiently detailed information describing major materials, finishes, and colors (i.e., base, siding, windows, trim, roof, chimney, accessories, lighting, etc.); and
- A written description of any deviations from the preliminary approval documents.

Scott & Kim Bonzheim

April 14, 2025

Page 2

The architectural control guidelines also require that all improvements to be made on Unit 17 must be accurately staked out on the site prior to final approval, including building corners, all major decks, terraces, and other improvements. Grading stakes indicating degree of cut and fill must also be present prior to final approval.

Please feel free to contact me if you have questions regarding this.

Sincerely,



Neal K. Liddicoat, Chairman
Architectural Control Committee

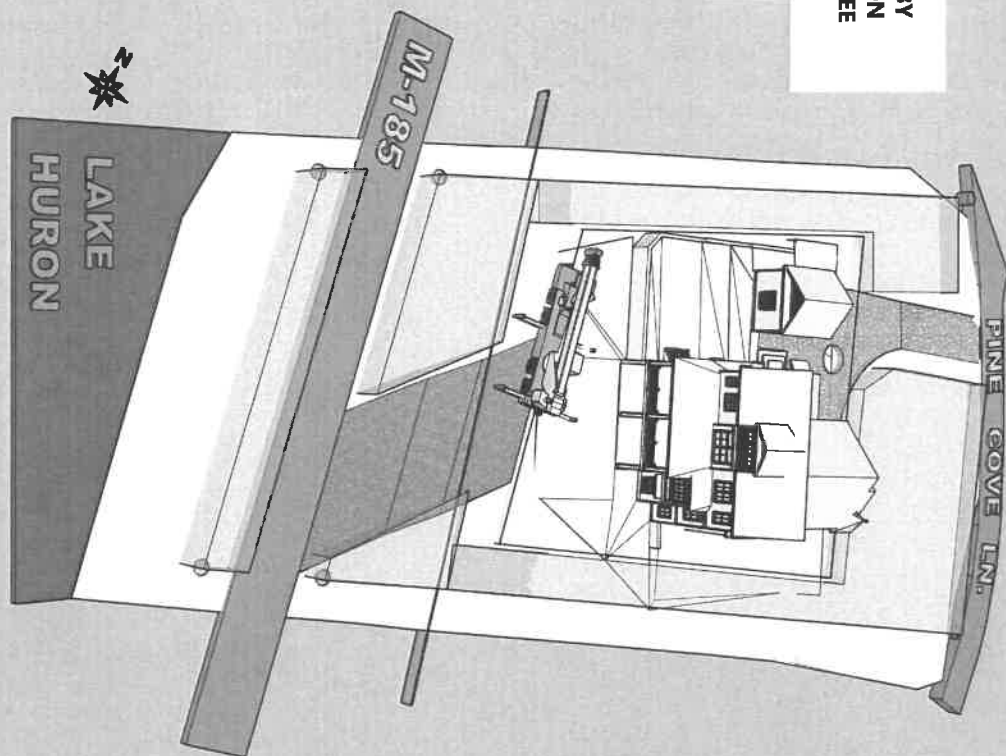
cc: Ms. Janet Randazzo
Mr. Joel Hancock
Mr. Tim Shea
Mr. Francesco Viola
Mr. Ryan Spencer, Dickinson Homes
Mr. James Murray, GC North, LLC
Ms. Katie Pereny, City of Mackinac Island Building & Zoning Department

Attachments

APPROVED - PRELIMINARY
PRELIMINARY APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 14, 2025

Wade T. Clinton

NOTE: THE COLORS SHOWN ARE
REPRESENTATIVE FOR EXACT COLOR
DETAIL SEE SPEC SHEETS



A.01

Site
Model

ISSUE
2/20/2025
DRAWN BY
M

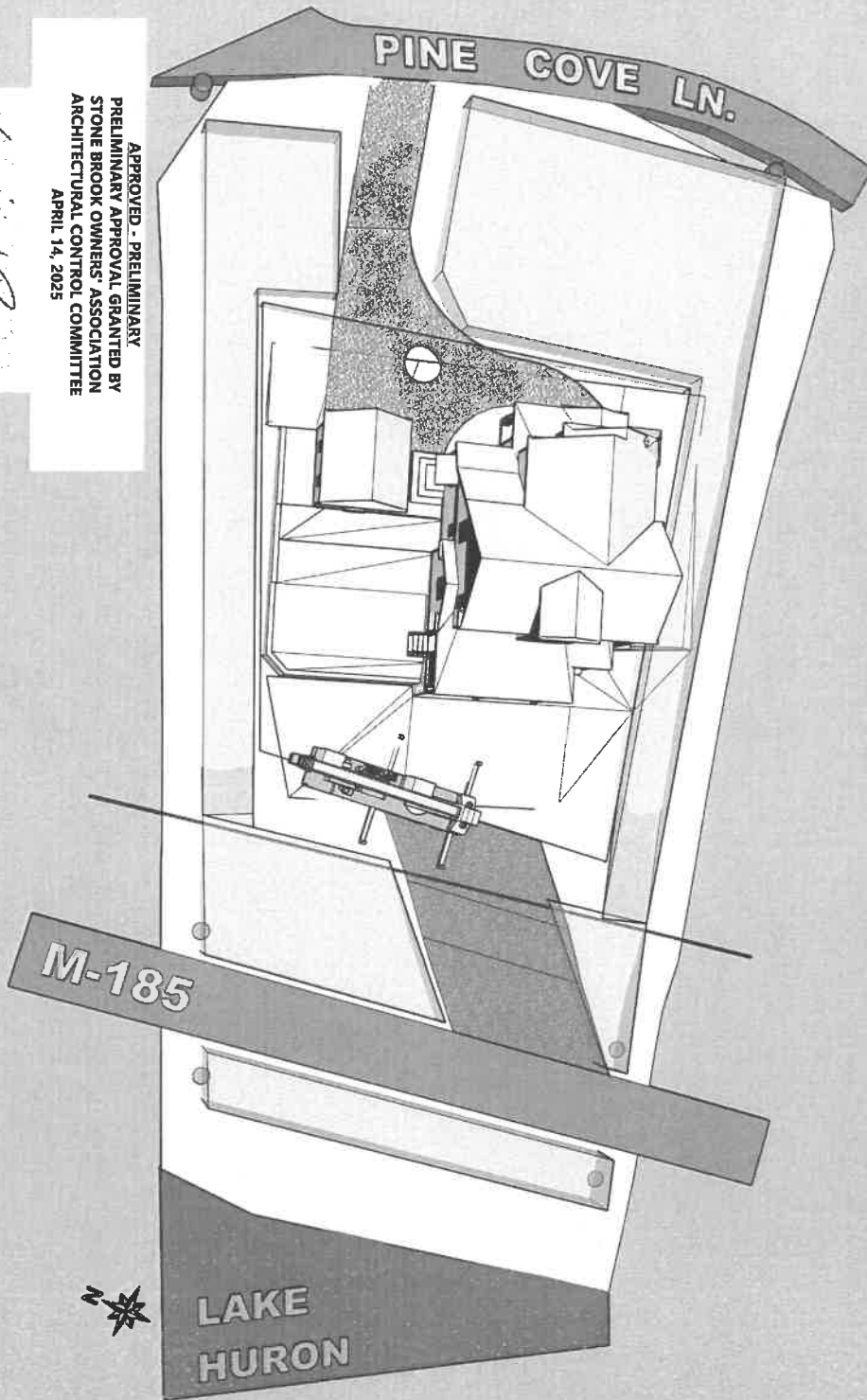
PROJECT
Bonzheim Residence
PROJECT NO.
C1844

Dickinson Homes

NOTE: THE COLORS SHOWN ARE REPRESENTATIVE. FOR EXACT COLOR DETAIL SEE SPEC SHEETS

Handwritten signature

APPROVED - PRELIMINARY
PRELIMINARY APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 14, 2025



A.07

Site
Model

ISSUE
2/20/2025

DRAWN BY
M

PROJECT
Bonzheim Residence

PROJECT NO.
C1844

Dickinson Homes

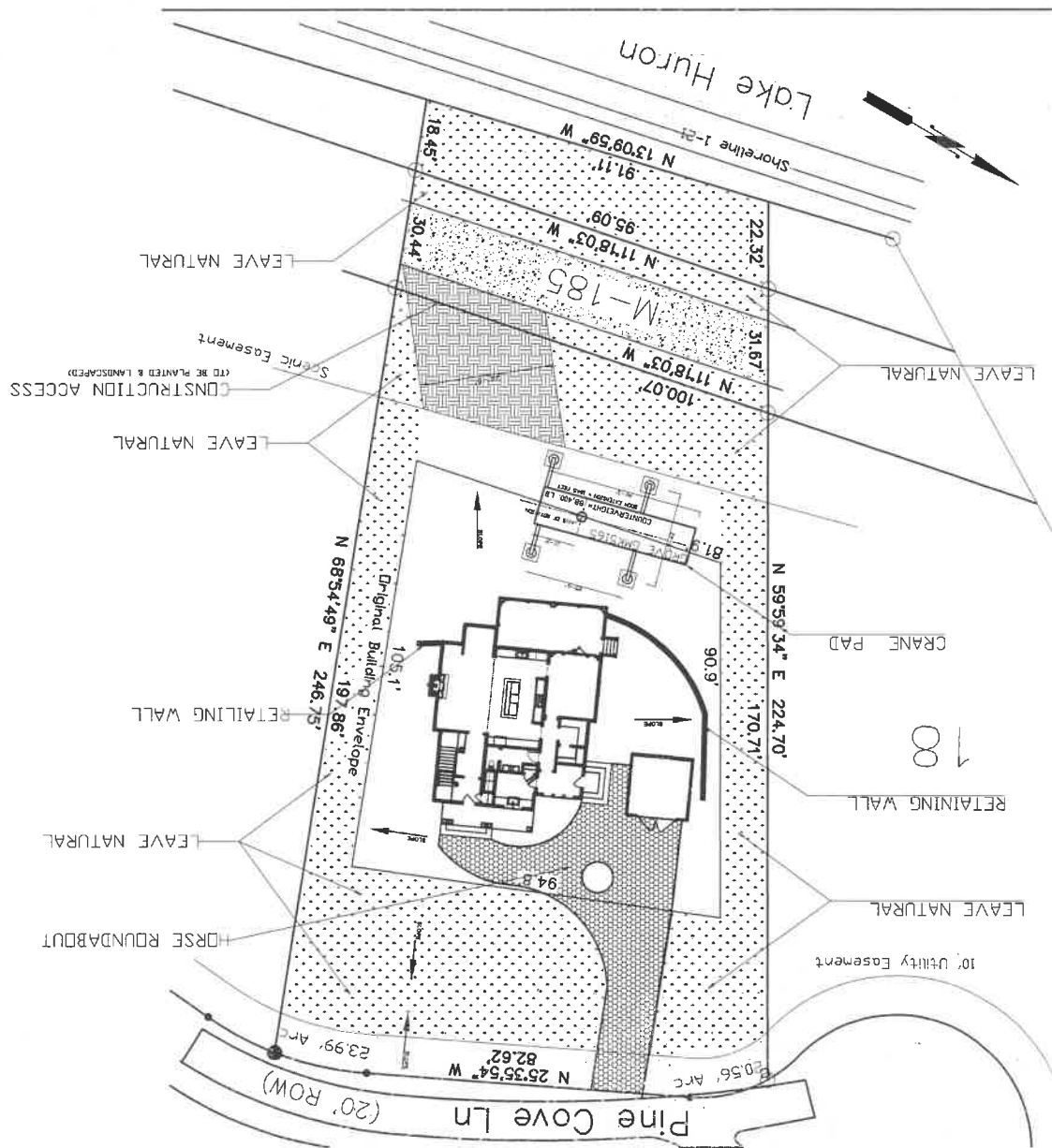
Read for Pricing February 3rd 2025

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APPROVED - PRELIMINARY

PRELIMINARY APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 14, 2025

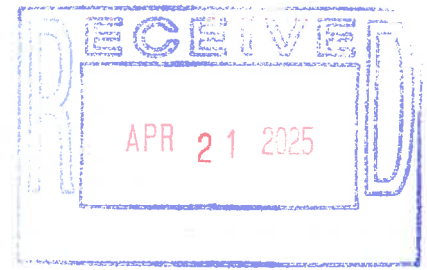
Vol. 5. *Albion*



APPROVED - PRELIMINARY
PRELIMINARY APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 14, 2025

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revision	proj title
1	
dr.	dl.
A	A
date	job no
A	A
shd no	A

**Surface Water Drainage Narrative Plan**

Project: Bonzhiem New Build

Location: Mackinac Island Michigan

Reference Document: Neil Hill Official Site Plan (Dated 4-7)

Prepared By: Project Management Team

Applicable Code: 2015 Michigan Residential Code (MRC), Section R401.3

Code Compliance:

Section R401.3 of the Michigan Residential Code requires that surface water must be directed away from the foundation walls. The ground should fall a minimum of 6 inches within the first 10 feet. If not feasible, approved alternatives such as swales or drains may be used. Discharge of runoff onto neighboring lots or public right-of-ways is prohibited without proper approval.

Site Description:

The structure is centrally located on the lot, with the driveway situated on the northeast side. North, South, East, and West yard spaces provide opportunities for drainage.

Drainage Strategy:

- **Grading:** Maintain a **minimum** slope of 6 inches over 10 feet away from all sides of the foundation using compacted soil.
- **Swales:** Shallow grassed swales on the north, east, and south sides of the structure route water away: - North swale (driveway side) flows south. - East swale runs east. - East swale collects from both North and South swale and discharges east towards the road.
- **Downspouts:** All roof downspouts will discharge a minimum of 5 feet away from the foundation and toward the swales.
- **Driveway:** Slight slope or trench drain may be added to direct flow into the south swale.
- **Discharge Point:** Final water discharge is directed to the southwestern corner of the lot.

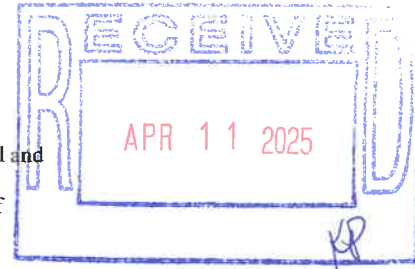
Optional Enhancements:

- French drains along South and West walls.
- Subsurface drain tile beneath swales.
- Catch basins and overflow containment.

Bonzheim Project Timeline

Section IX, Itemb.

1. **Pre-Summer 2025**
 - o **Excavation:** Complete foundation excavation and grading for the temporary driveway.
2. **Summer 2025**
 - o **Foundation Installation:** Winberg to install foundations.
3. **Fall 2025**
 - o **Retaining Wall & Backfill:** Belonga to install the natural rock retaining wall and perform minimal backfilling.
 - o **Weather Protection:** Ensure foundation is protected prior to the first frost of 2025.
4. **Spring 2026**
 - o **Module Delivery & Set:** Transport modular units from St. Ignace to Mackinac Island and complete the crane set over three days (Monday setup, Tuesday placing up to six modules, Wednesday placing the remaining three modules).
5. **Post-Delivery (Immediate)**
 - o **Site Finish Construction:** Focus first on finishing the exterior of the home, then proceed with interior work once the exterior is complete.
 - o **Fall 2026:** Complete final landscaping, hardscaping, and grading.
 - o **Move-In Ready:** November 2026.



1. Delivery and Staging

St. Ignace Ford Garage (Initial Staging)

- **Timeline:** One week (prior to Spring 2026 set)
- **Activity:** Deliver and stage all modules at St. Ignace Ford Garage to ensure readiness for island transport.

Transport to Mackinac Island (Secondary Staging)

- **Timeline:** One week (Spring 2026)
- **Activity:** Move modules from St. Ignace to Mackinac Island, staging at British Landing in coordination with the City and State Park.
- **Recommendation:** Schedule deliveries toward the end of each week to minimize on-site storage time.

2. Setting the Modules

Three-Day Set Schedule

1. **Day 1 (Monday):** Crane setup on the Bonzheims' property.
2. **Day 2 (Tuesday):** Placement of up to six modules.

File No. R125-017-020
Exhibit B
Date 4.24.25
Initials KP

- 3. **Day 3 (Wednesday):** Placement of the remaining three modules.

Crane Placement

- **Crane:** 185-ton all-terrain crane (Plutchack Crane).
- **Road Closures:** Minimal and only during actual lifts.

Temporary Driveway

- **Grading & Use:** Belonga Excavating to grade a temporary driveway (3D PDF reference).
- **Restoration:** Once modules are set, remove the temporary driveway, replant trees, and install a discreet bike path and steps.

3. Site Maintenance and Debris Management

Debris Containment

- **Containment:** All construction debris stored in a “2-footer” (designated bin or dumpster).
- **Oversight:** GC North to maintain site cleanliness and minimize disruption.

Equipment Required

- **Dickinson Homes:** Set truck and sling trailer
- **Transport Vehicles:** Three toters
- **Belonga Excavating:** Excavator, dump truck, skid steer
- **Crane:** 185-ton all-terrain crane (Plutchack Crane)

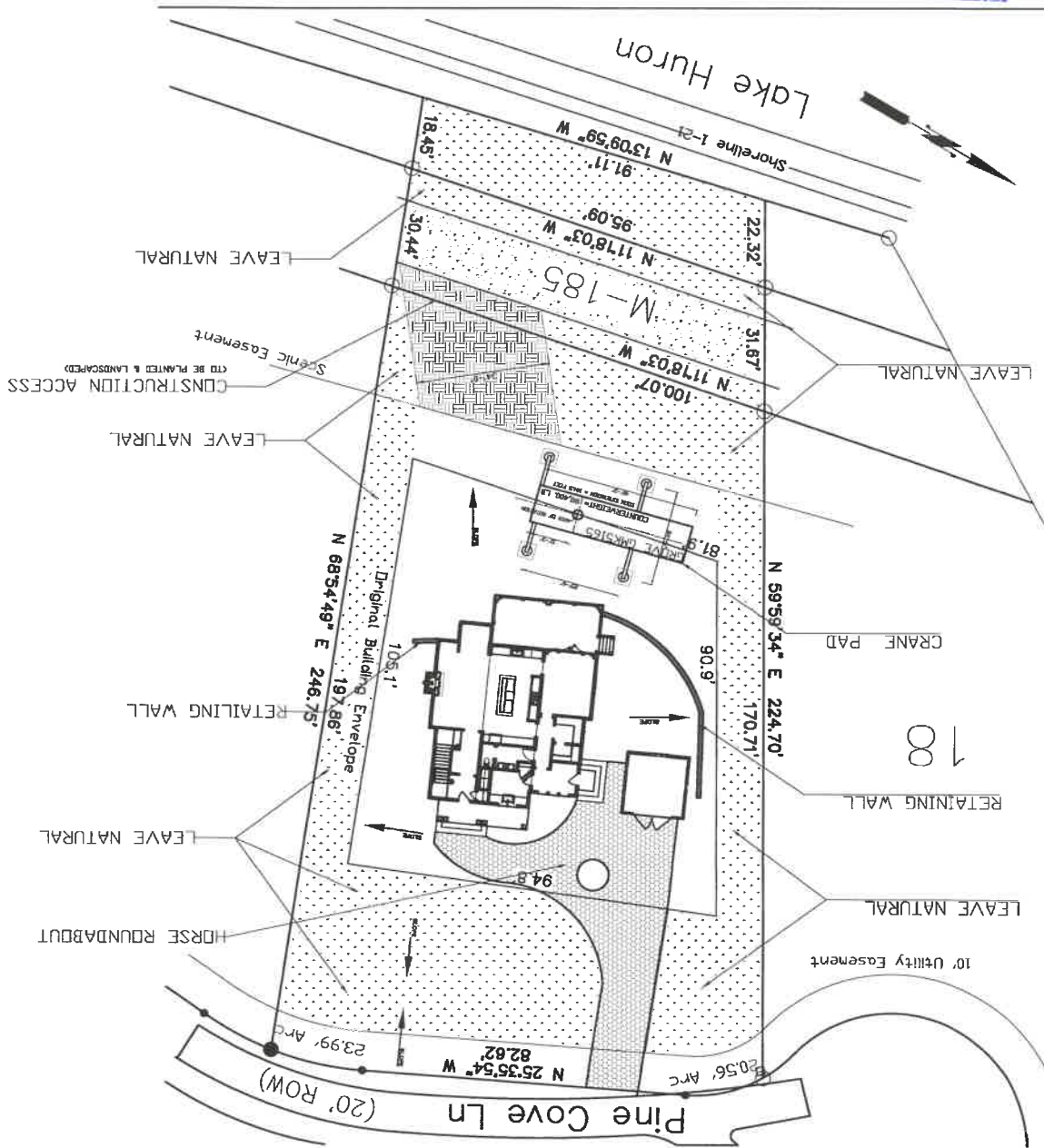
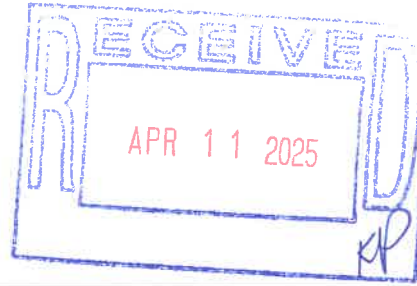
Retaining Walls

- **Scope:** Natural rock retaining walls installed by Belonga Excavating.
- **Timing:** Wall installation during Fall 2025, with boulders placed by excavator.

Conclusion

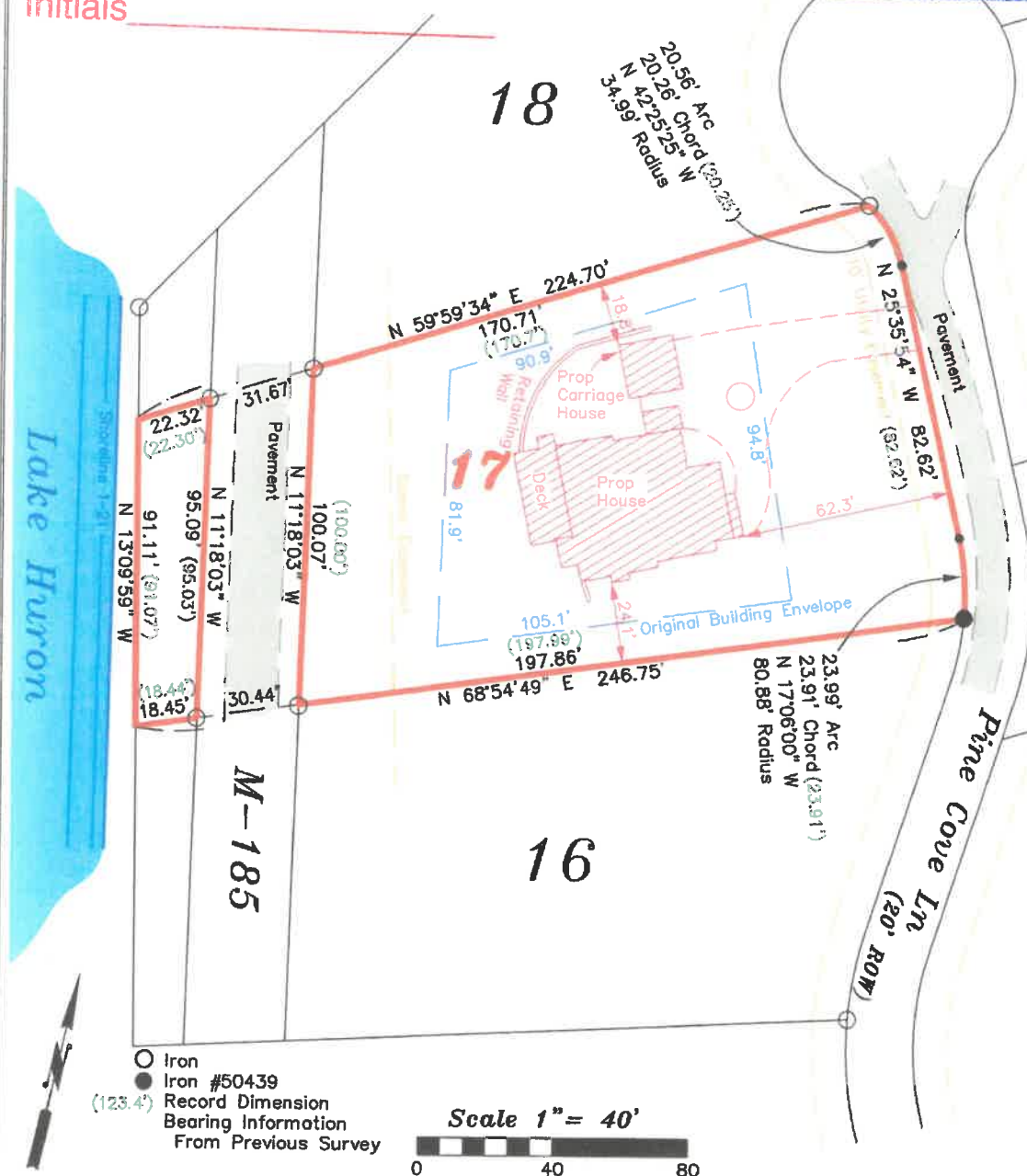
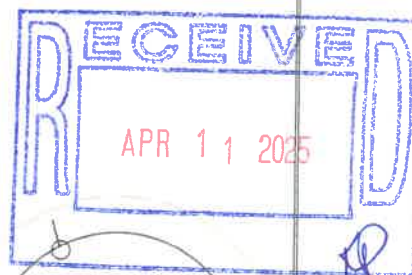
By adhering to this phased timeline—excavation before Summer 2025, foundations in Summer 2025, site protection and retaining wall in Fall 2025, module delivery and set in Spring 2026, and full exterior finishing followed by interior work—this plan keeps the project on track for a final move-in by November 2026. Restoration efforts and exterior landscaping will ensure the property is both functional and aesthetically pleasing.

No. R125-017-020
Unit C
Date 4-24-25
Initials KD



revision	A
proj title	
date	4/24/25
job no	A
site no	A

File No. _____
Exhibit _____
Date _____
Initials _____



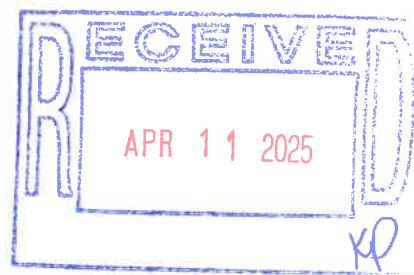
By: Neil W. Hill P.S.
Neil W. Hill P.S. #50439
Registered Land Surveyor
Date: February 21, 2025
Order No.: 21009-SB-17-SB-MI
© 2025 This map may NOT be reproduced w



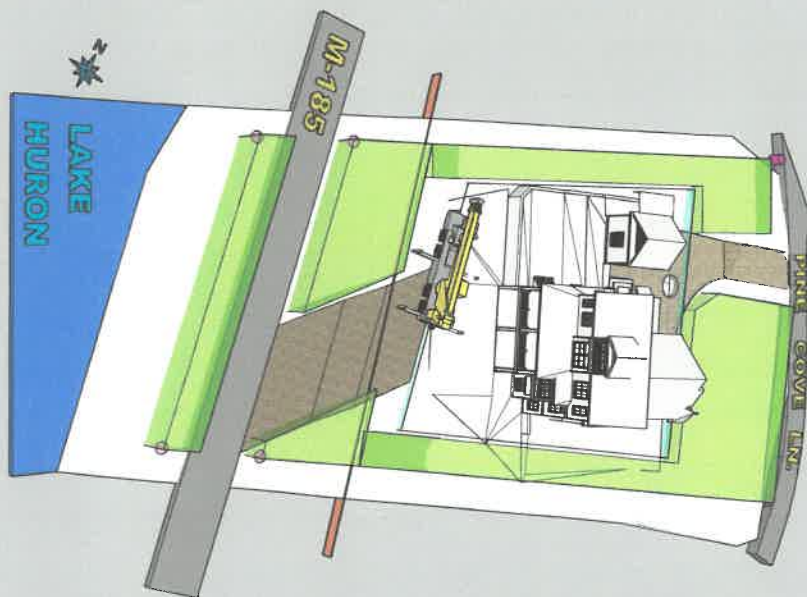
429 Ellsworth Street
St. Ignace, MI 49781
(906) 643-9418 Phone
mackinacsurveys.com



File No. R125-017-020
Exhibit D
Date 4-24-25
Initials KP



NOTE: THE COLORS SHOWN ARE
REPRESENTATIVE. FOR EXACT COLOR
DETAIL SEE SPEC SHEETS



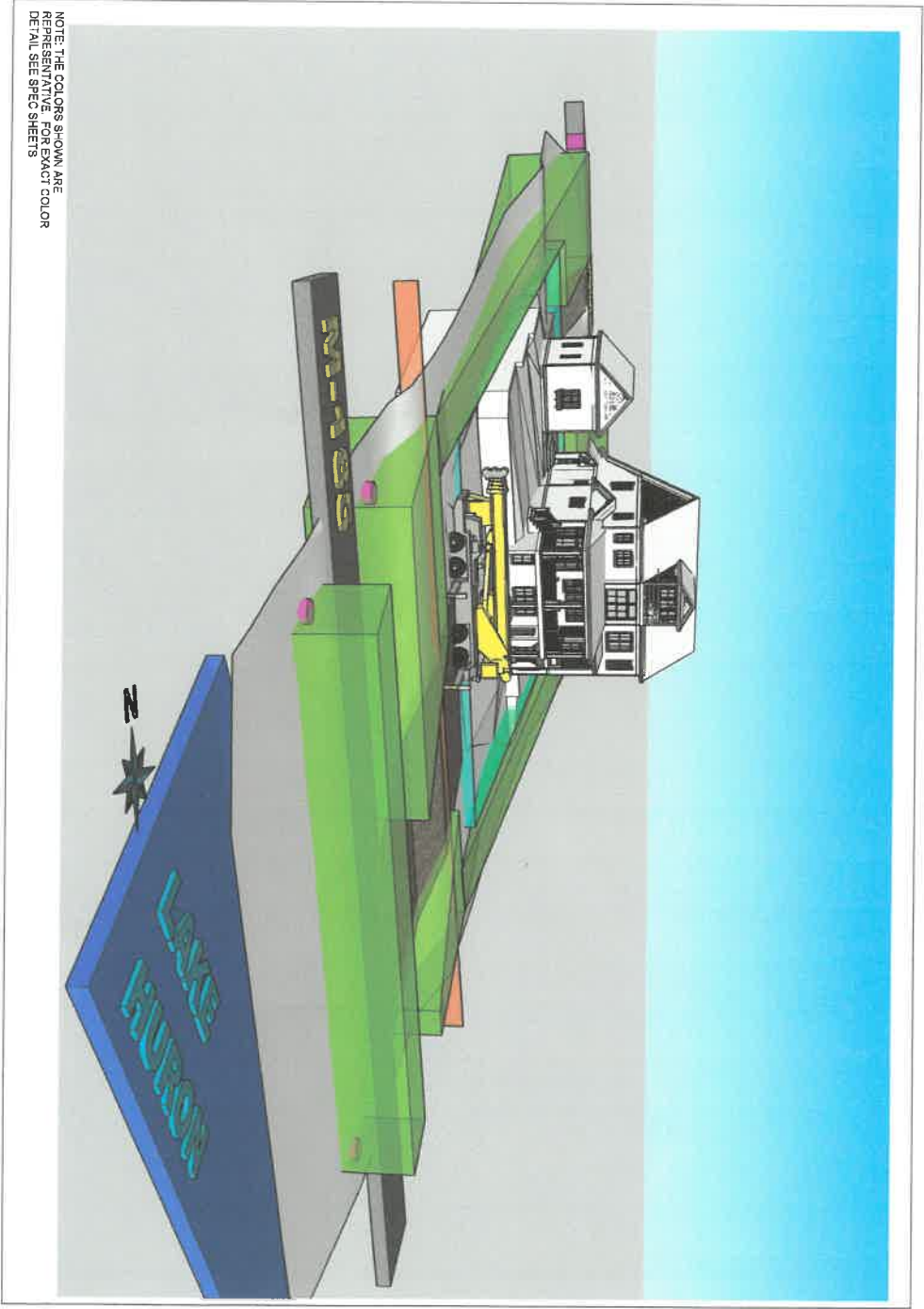
A.01

Site
Model

ISSUE
2/20/2025
DRAWN BY
M

PROJECT
Bonzheim Residence
PROJECT NO.
C1844

Dickinson Homes



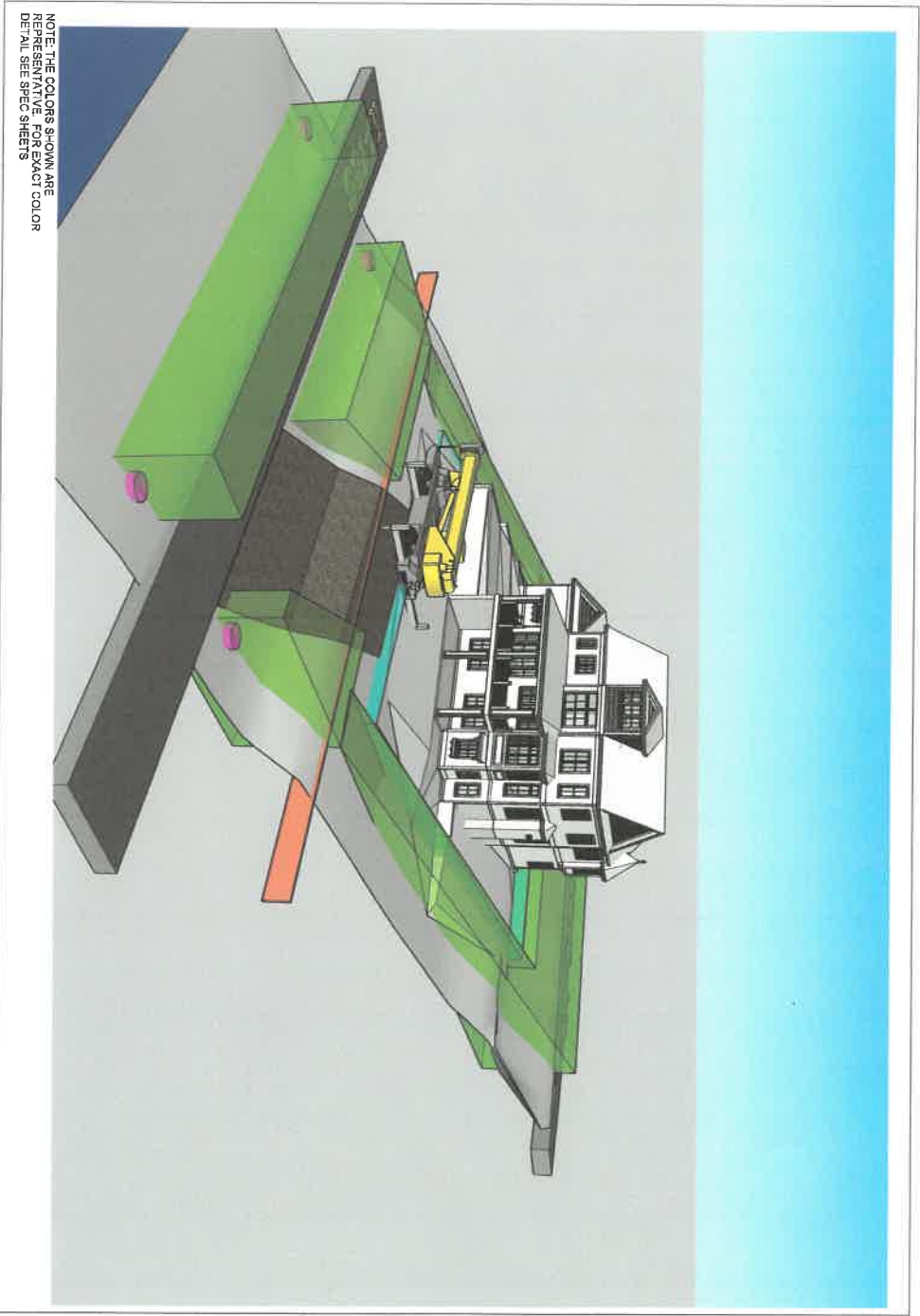
NOTE: THE COLORS SHOWN ARE
REPRESENTATIVE OF THE
DETAIL SEE SPEC SHEETS

A.02

Site
Model

ISSUE
2/20/2025
PROJECT
Bonzheim Residence
DRAWN BY
M
PROJECT NO.
C1844

Dickinson Homes



NOTE: THE COLORS SHOWN ARE
REPRESENTATIVE OF THE
DETAIL SEE SPEC SHEETS

A.03

Site
Model

ISSUE
2/20/2025

PROJECT
Bonzheim Residence

DRAWN BY
IM

PROJECT NO.
C1844

Dickinson Homes



NOTE: THE COLORS SHOWN ARE
REPRESENTATIVE, NOT EXACT COLOR
DETAIL SEE SPEC SHEETS

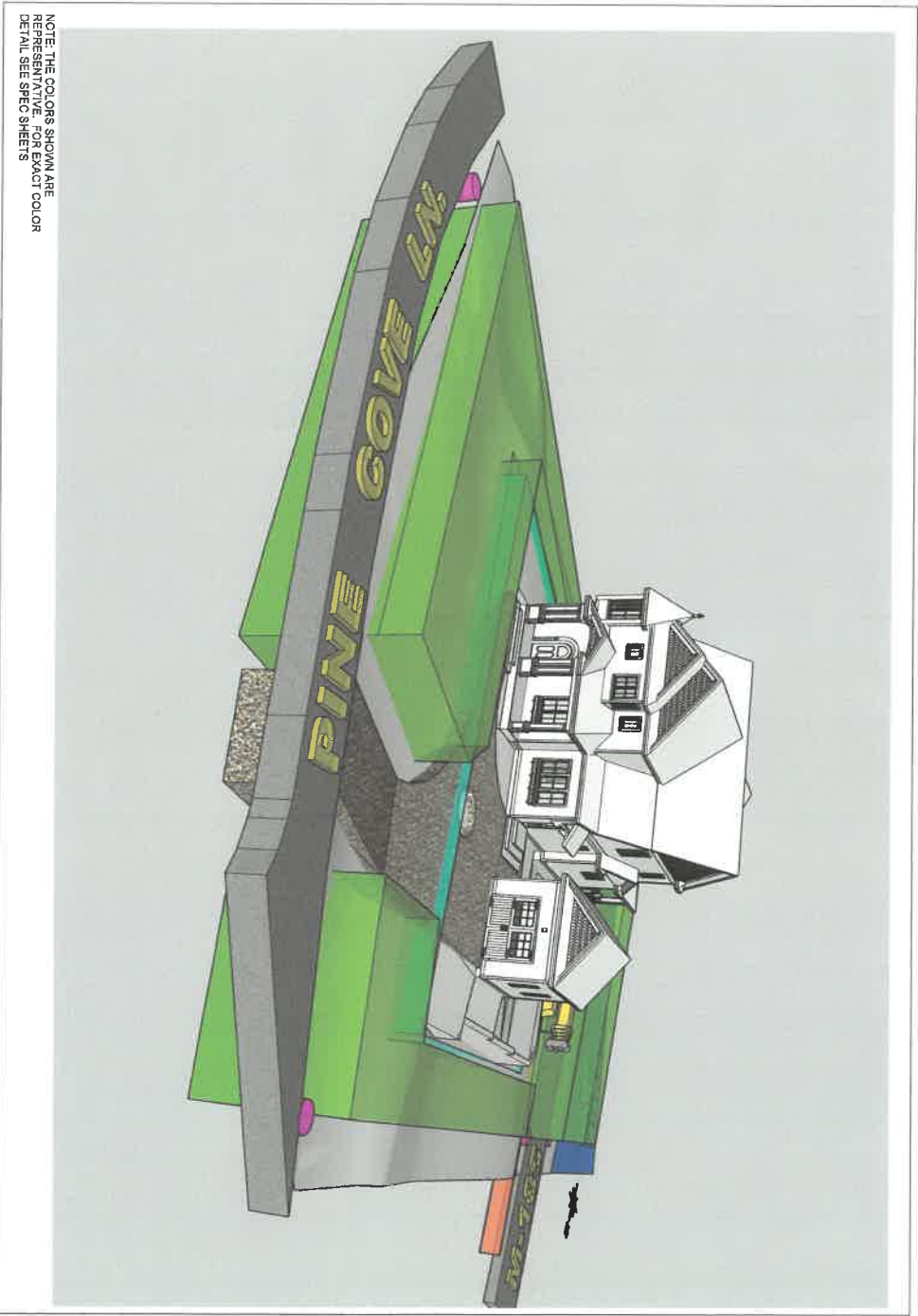
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Site
Model

ISSUE
2/20/2025
DRAWN BY
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PROJECT
Bonzheim Residence
PROJECT NO.
C1844

Dickinson Homes



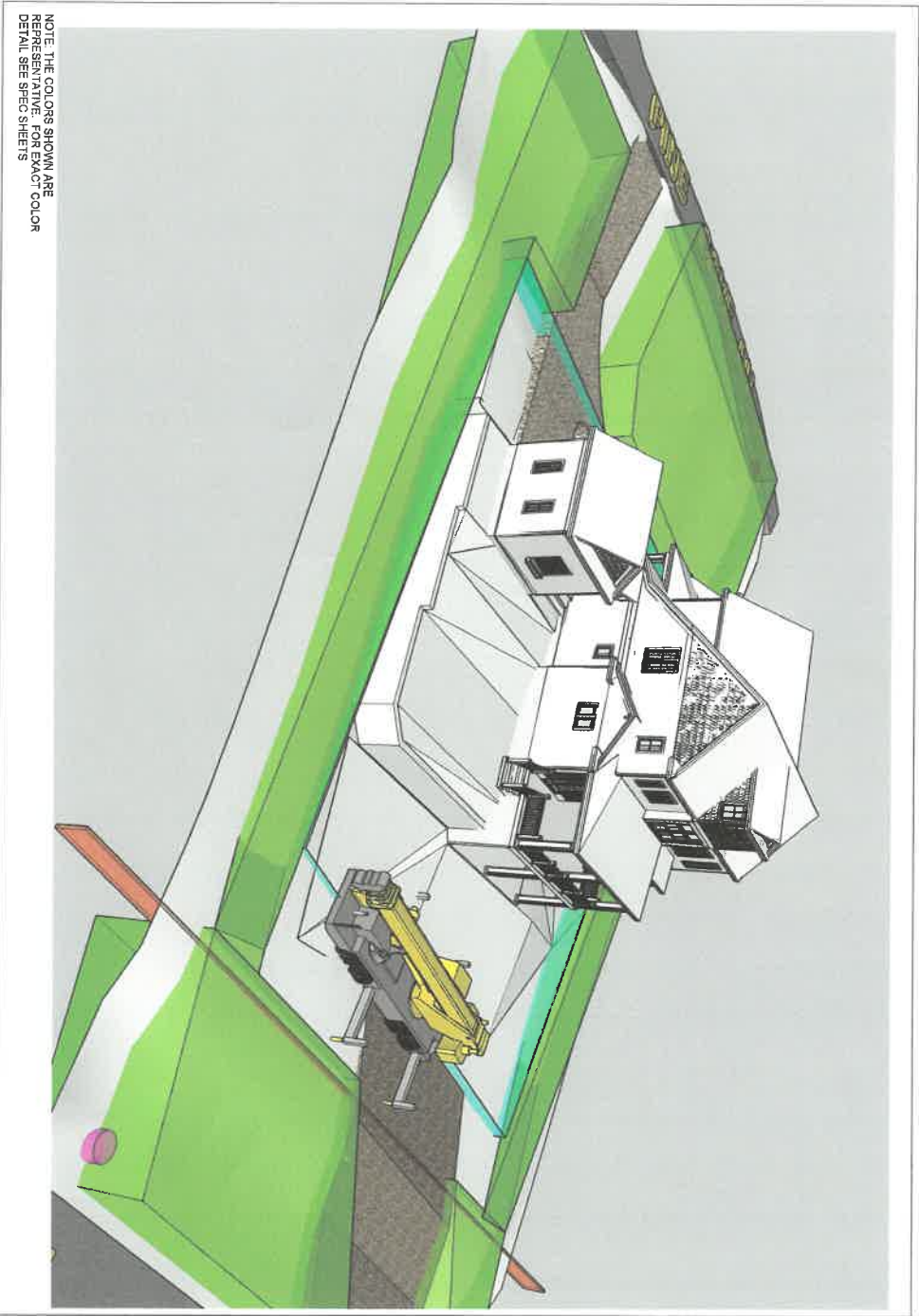
NOTE: THE COLORS SHOWN ARE
REPRESENTATIVE OF THE
DETAIL. SEE SPEC SHEETS

A.05

Site
Model

ISSUE
2/20/2025
PROJECT
Benzheim Residence
DRAWN BY
M
PROJECT NO.
C1844

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NOTE: THE COLORS SHOWN ARE
APPROXIMATE. FOR EXACT COLOR
DETAIL, SEE SPEC SHEETS

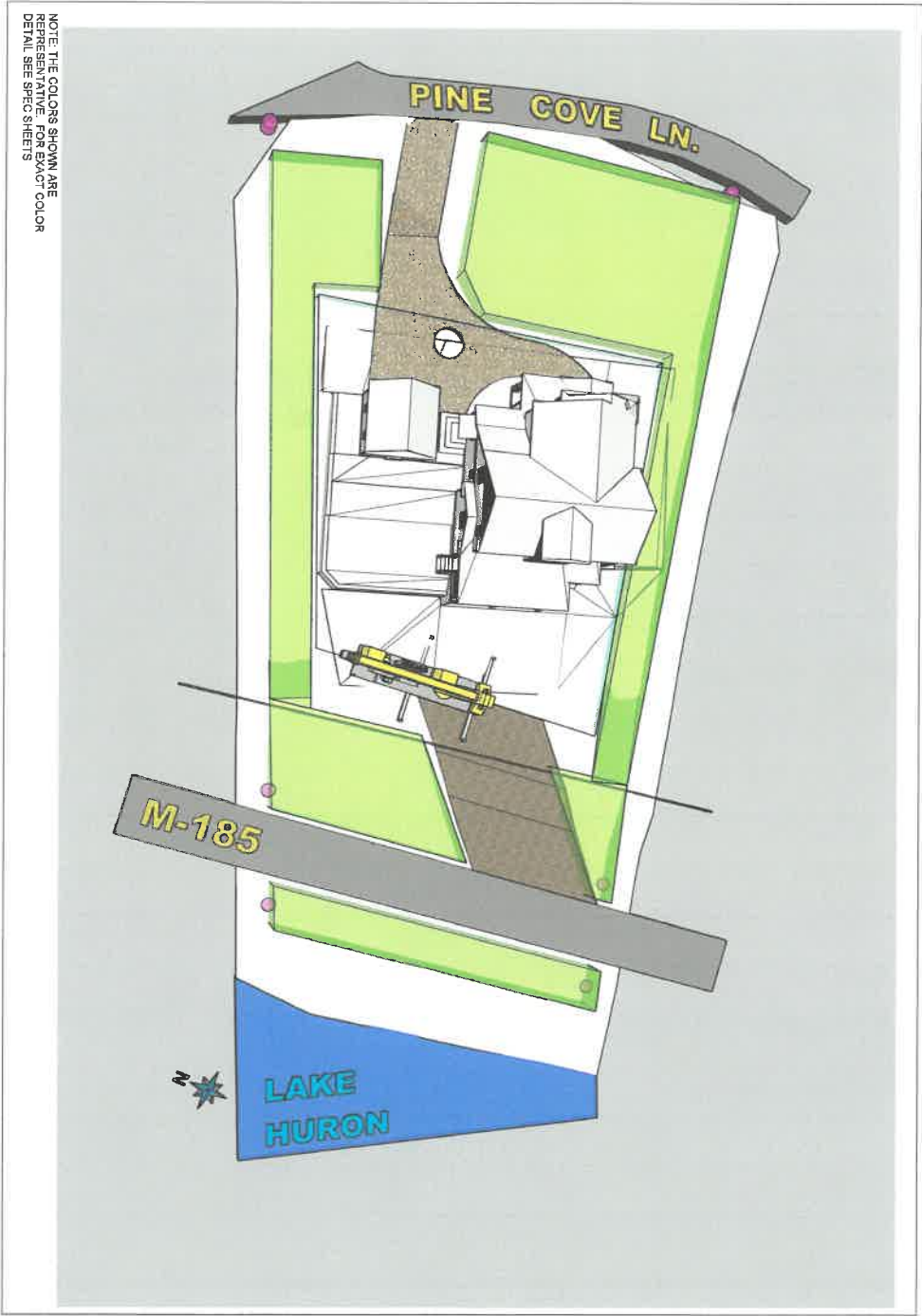
A.06

Site
Model

ISSUE
2/20/2025
DRAWN BY
M

PROJECT
Bonzheim Residence
PROJECT NO.
C1844

Dickinson Homes



A.07

Site
Model

ISSUE
2/20/2025
DRAWN BY
M

PROJECT
Bonzheim Residence
PROJECT NO.
C1844

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NOTE: THE COLORS SHOWN ARE
REPRESENTATIVE FOR EXACT COLOR
DETAIL SEE SPEC SHEETS

A.08

Site
Model

ISSUE
2/20/2025
DRAWN BY
M

PROJECT
Bonzheim Residence
PROJECT NO.
C1844

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FRONT ELEVATION

Neel K. Datta

APR 21 2025

JOB #C1844
DRAWING SCALE 3/16" = 1'-0"

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FAX: 906-774-5813

Wesley T. Bland



JOB #C1844
DRAWING SCALE 3/16" = 1'-0"

DRAWING SCALE 3/16" = 1'-0"

AS1	site no	on file from APS	date 2/17/22	contact person APS	BONZHEIM (SCOTT & KIM) RESIDENCE RYAN SPENCER
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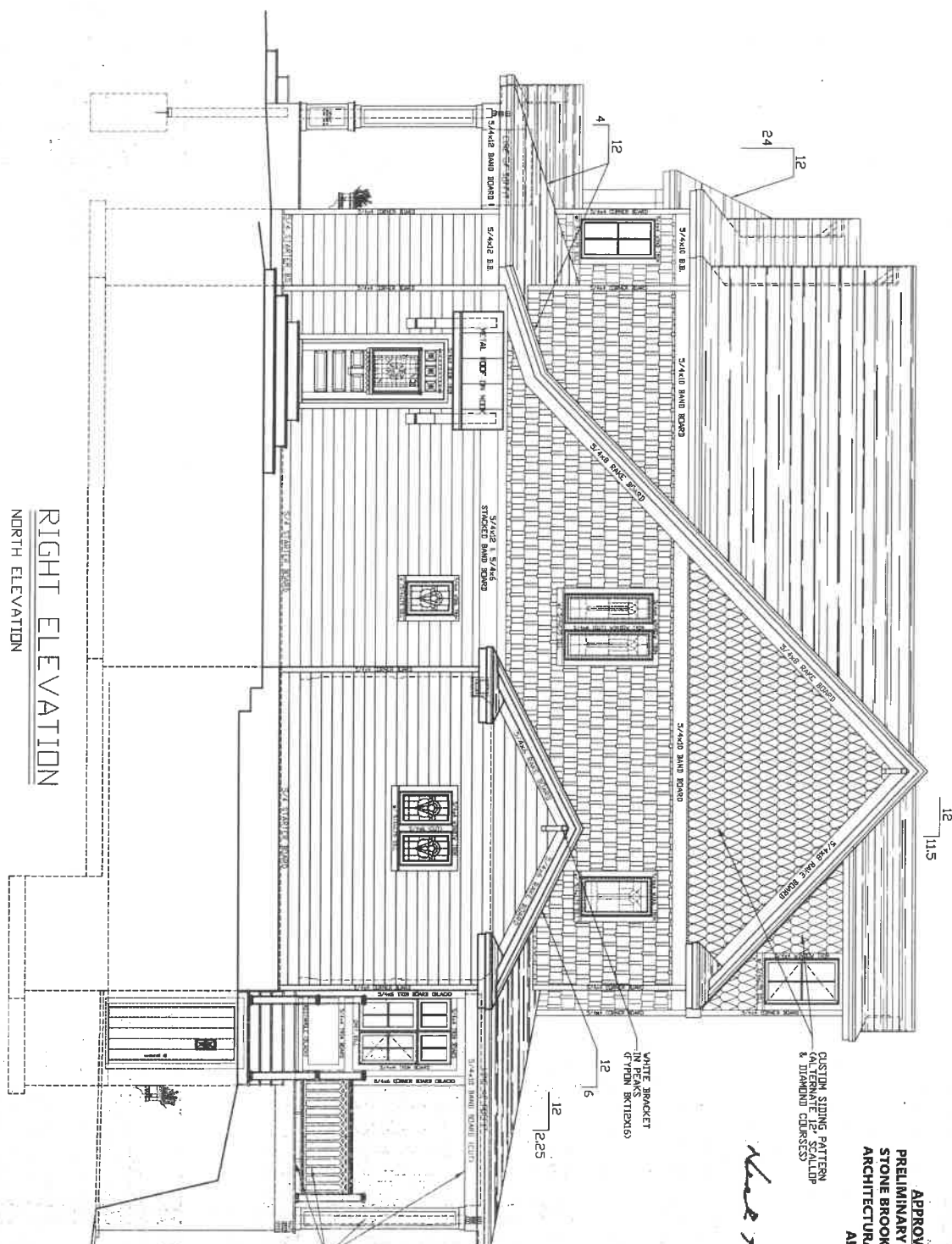
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WWW.DICKINSONHOMES.COM

FAX: 906-774-5813

Section IX, Item b.



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STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 14, 2025

Vol. 5: *History*

'TimberTech Decking w/ TOP & BOTTOM 'Pleiner Roll' w/ 'The Porch Company' 'Heritage' SLEEVES OVER 4x4 'Secure Mount' POSTS w/ 'Cathedral Picket' & 'Pickett' 1 1/2" PVC IN-FILL
1x4 BEAD BOARD SOFFIT w/ DROPPED PVC WRAPPED HOUSING
ENDURA-CRAFT COLUMN WRAP 12" SQUARE RECESSED PANEL
PRAIRIE CAPITAL & BASE

JOB #C1844
DRAWING SCALE 3/16" = 1'-0"

C:\DH\ DMG FILES\DMG025\C1844 BONZHEIM.dmg, 2/10/2025 2:30:32 PM, Peter Dombos

date	2/17/23	Contract Person	APR	BONZEIM (SCOTT & KIM) RESIDENCE RYAN SPENCER	revision	1/16/23	11-20-24	P
on file in	APS			CUSTOM	2/15/23	1-8-24	P	
site no	AS.2			FRONT EXTERIOR ELEVATION-NORTH	3-5-24	1-9-25	P	
					10-18-24	1-24-25	P	

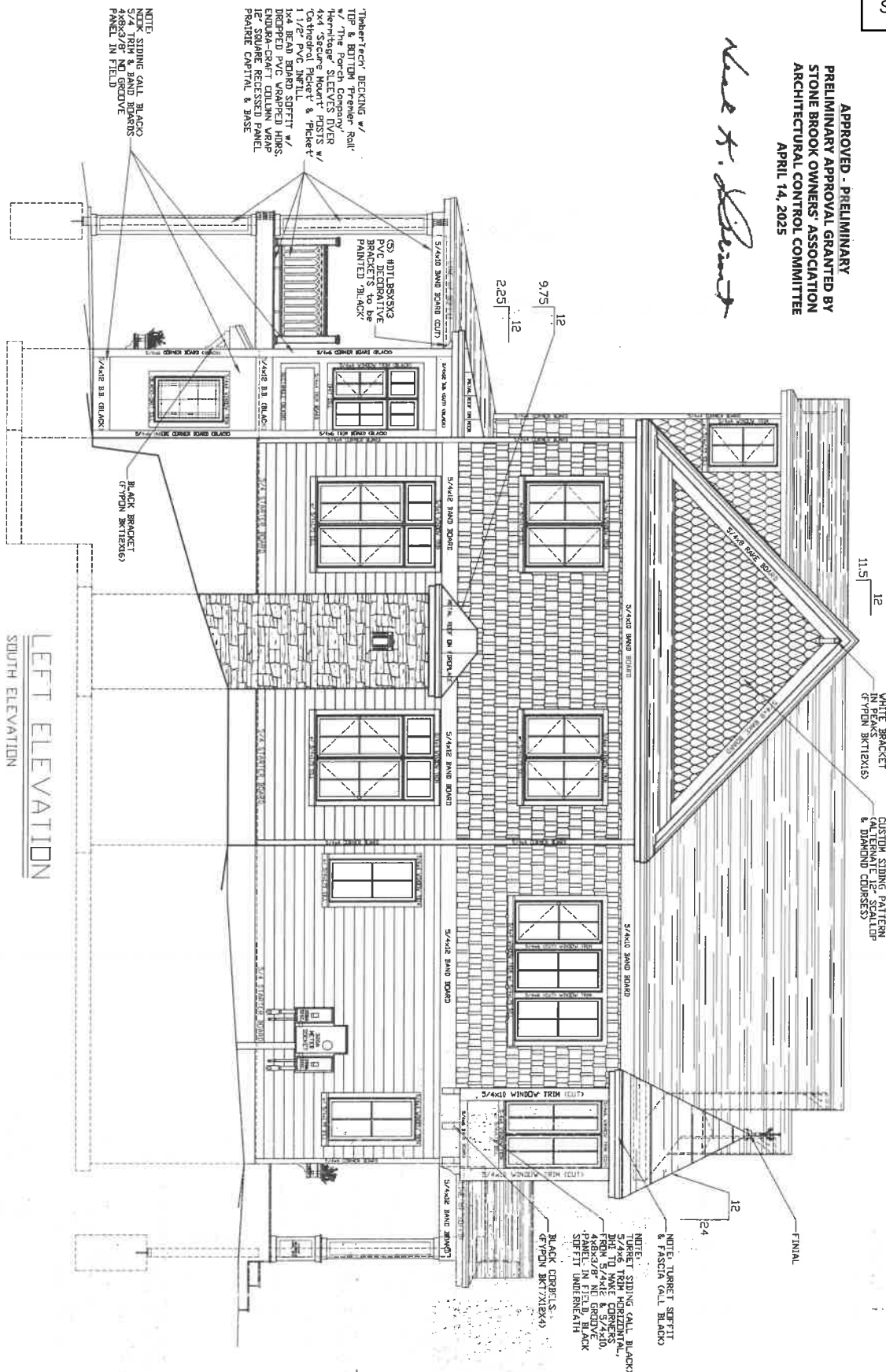
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ARCHITECTURAL CONTROL COMMITTEE
APRIL 14, 2025

Handwritten signature: Wade K. Spencer



LEFT ELEVATION
SOUTH ELEVATION

JOB #C1844

DRAWING SCALE 3/16" = 1'-0"

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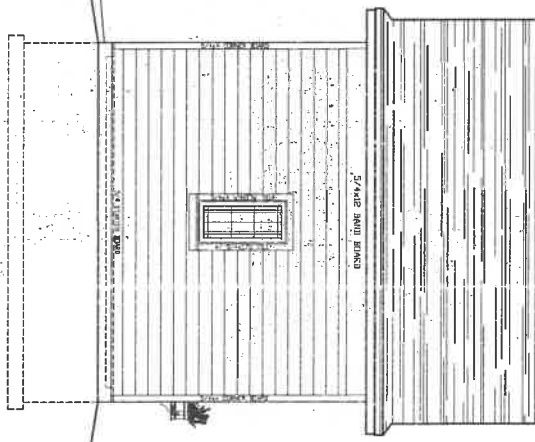
DATE	2/17/23	DESIGNED BY	BONZHEIM (SCOTT & KIM) RESIDENCE
DATE	2/17/23	DRAWN BY	RYAN SPENCER
DATE	2/17/23	CHECKED BY	CUSTOM
DATE	2/17/23	APPROVED BY	FRONT EXTERIOR ELEVATION-WEST

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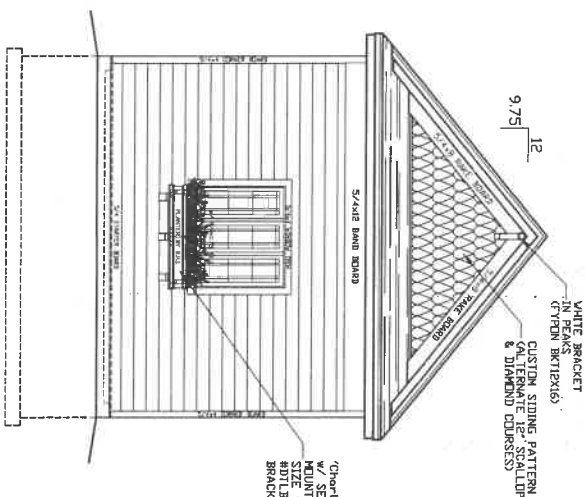
Wm. H. Dilling



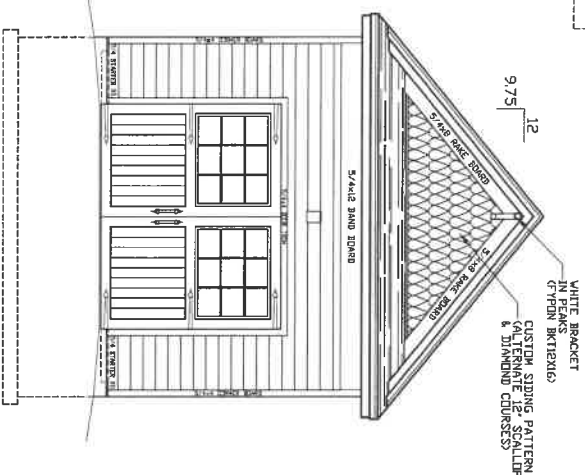
LEFT ELEVATION

RIGHT ELEVATION

NORTH ELEVATION



REAR ELEVATION
WEST ELEVATION



FRONT ELEVATION

EAST ELEVATION

'Charleston' 54" PVC WINDOW BOX
w/ SELF WATERING RESERVOIR KIT,
MOUNTING HARDWARE KIT & OPTIONAL
SIZE TO 10"x10" w. w/ (3) 'Typon'
#DILB5X3 PVC DECORATIVE
BRACKETS to be PAINTED 'BLACK'

C:\DH11 DWG FILES\DWG2025\C1864 BONZHEIM.dwg, 2/10/2025 3:02:01 PM, Peter Derboos

JOB #C1844
DRAWING SCALE 3/16" = 1'-0"

revision	1/16/23	APS	11-29-24	PD
	2/15/23	APS	11-29-24	PD
	2-21-24	PD	1-8-24	PD
	9-24-24	PD	1-9-23	PD
	10-24-24	PD	1-9-23	PD
	1-7-24	PD	1-9-23	PD
Project	BONZHEIM (SCOTT & KIM) RESIDENCE			
	RYAN SPENCER			
	CUSTOM			
	SORAGE BUILDING EXTERIOR ELEV.			
Contract	Person			
APS				
date	2/17/23			
originator	APS			
APS				
sheet no	A5.4			

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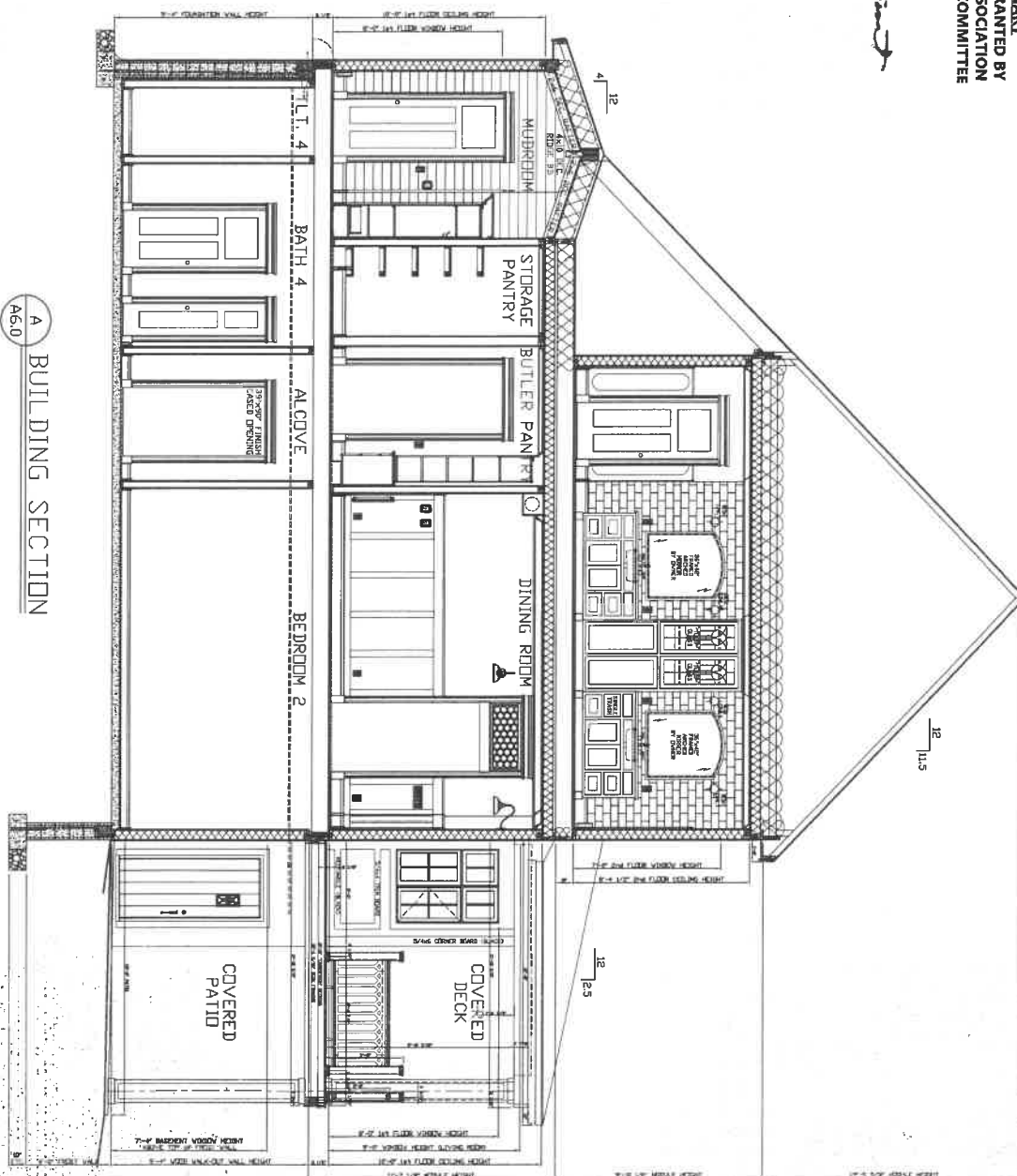
1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800

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ARCHITECTURAL CONTROL COMMITTEE
APRIL 14, 2025

Vol. 5. *Continued*



A
A6.0 BUILDING SECTION

JOB #C1844
DRAWING SCALE 3/16" = 1'-0"

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snr no	original time	date	conf fact per fact	BONZEIM (SCOTT & KIM) RESIDENCE RYAN SPENCER	proj Hitesh	revision	
APS	APS	2/17/23	APS	CUSTOM	1/26/23 APS	1-28-24 PD	
				BUILDING SECTION-MUDROOM & DINING	2/15/23 APS	1-28-24 PD	
					1-21-24 PD	1-8-24 PD	
					1-24-24 PD	1-9-24 PD	
					1-18-24 PD	1-24-24 PD	
					1-7-24 PD	2-10-24 PD	

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W. H. K.

DRAWING SCALE 3/16" = 1'-0"

revision	
1/16/23 APS	11-28-24 PD
2/15/23 APS	12-10-24 PD
8-21-24 PD	1-8-24 PD
9-6-24 PD	1-9-25 PD
10-18-24 PD	1-24-25 PD
11-7-24 PD	2-10-25 PD

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W. H. K. K. K.



JOB #C1844
DRAWING SCALE 3/4" = 1'-0"

A6.2	sh# no	originator APS	date 2/17/23	depth bottom APS	BONZEIM (SCOTT & KIM) RESIDENCE	proj title Hillier	revision	
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					CUSTOM		2/19/23 APS	12-10-24 PD
					DORMER SECTION 'ATTIC'		3-21-24 PD	1-8-24 PD
							9-6-24 PD	1-9-20 PD
							10-18-24 PD	10-20-24 PD
						11-7-24 PD		

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APR 21 2025
KP

File No. R125-017-020
Exhibit F
Date 4.24.25
Initials KP











**ARCHITECTURAL CONTROL COMMITTEE
STONE BROOK OWNERS' ASSOCIATION**

April 29, 2025

Scott & Kim Bonzheim
7730 Parkcrest Circle
Clarkston, MI 48348

Subject: **Stone Brook Owners' Association
Architectural Control Committee
Final Approval – Unit 17 House Plans**

REG NO. R125-017-020
Exhibit J
Date 4-30-25
Initials KP



Dear Scott & Kim:

On April 28, 2025, the Architectural Control Committee of the Stone Brook Owners' Association granted final approval of the attached revised plans for your proposed home at Stone Brook Unit 17. These plans reflect the following specific changes, as called for in connection with the project's preliminary approval, which was granted on April 14, 2025:

- Polyurethane and polyvinyl chloride (PVC) materials for corbels and brackets have been replaced with wood.
- The proposed Diamond Kote siding has been replaced with painted wood siding and painted wood shingles.

The committee approved a one-time exception from Stonebrook's architectural control guidelines to allow use of a Timber Tech porch railing using the "Cathedral Picket Panel."

Attached you will find copies of the revised documents marked "Approved - Final."

Please provide an updated construction schedule, as well as a landscape plan that generally describes your plans for future landscaping on the site.

Any deviations from the approved plans must be submitted to the Architectural Control Committee for further consideration.

Please feel free to contact me if you have questions regarding this.

Sincerely,

Neal K. Liddicoat, Chairman
Architectural Control Committee

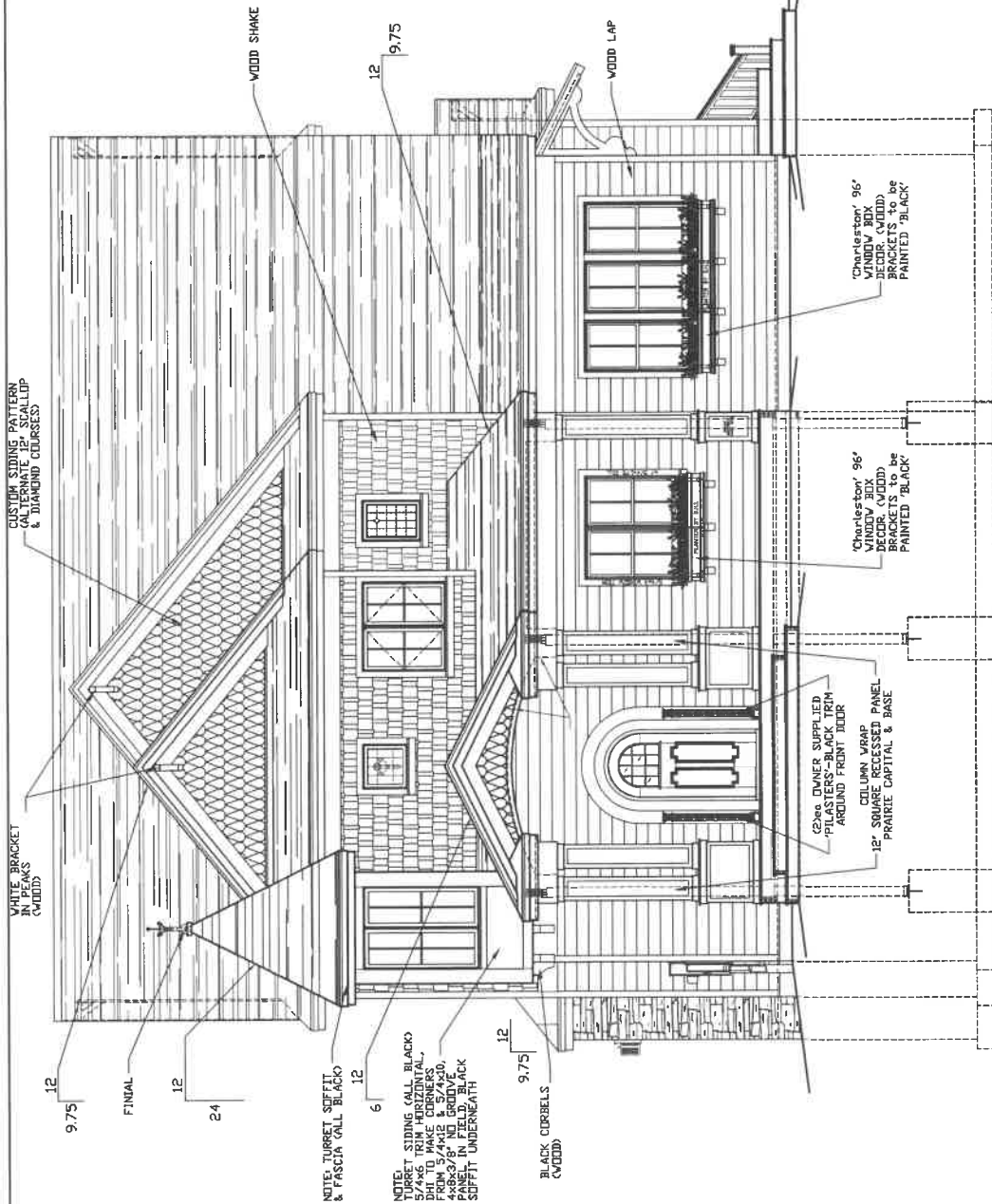
cc: Ms. Janet Randazzo
Mr. Joel Hancock
Mr. Tim Shea
Mr. Francesco Viola
Mr. Ryan Spencer, Dickinson Homes
Mr. James Murray, GC North, LLC
Ms. Katie Pereny, City of Mackinac Island Building & Zoning Department

Attachments

JOB #C1844
DRAWING SCALE 3/16" = 1'-0"

APPROVED - FINAL
FINAL APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 28, 2025

Walter H. Spencer



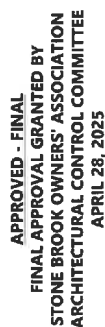
FRONT ELEVATION
EAST ELEVATION

FRONT ELEVATION
EAST ELEVATION

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FAX: 906-774-5813
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revision	date	description
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3	11/11/24	ISSUED FOR PERMIT
4	11/11/24	ISSUED FOR PERMIT
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100	11/11/24	ISSUED FOR PERMIT

REAR ELEVATION
WEST ELEVATION



Wm. H. Flint

N:\DWG\02\SIC1344 BONZHEIM for RYAN 4-28-25.dwg, 4/28/2025 1:21:18 PM, 0.187512, Back Ground

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FINAL APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 28, 2025

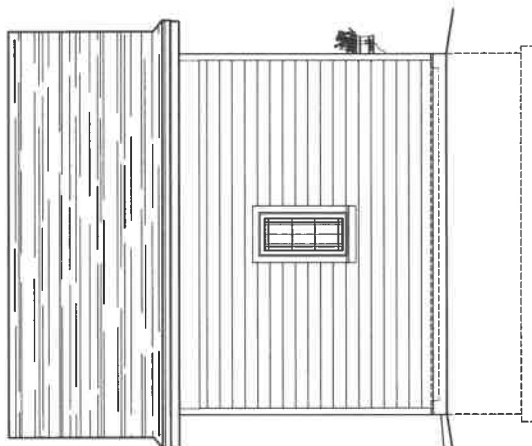
Wm. H. Hunt

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FINAL APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 28, 2025

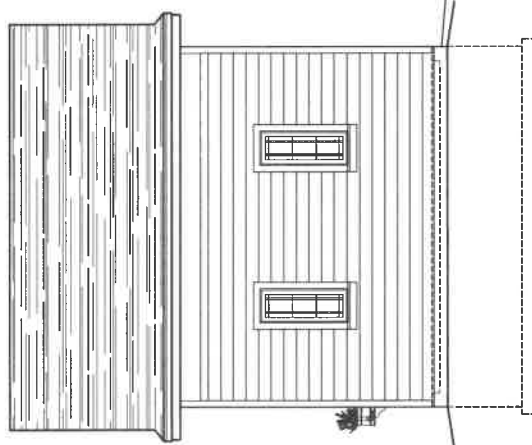
Wm. H. Lunt

Dickinson Homes
1500 W. BREITUNG AVE. KINGSTOWN, MI 48620
906-774-5800 FAX 906-774-5813
WWW.DICKINSONHOMES.COM

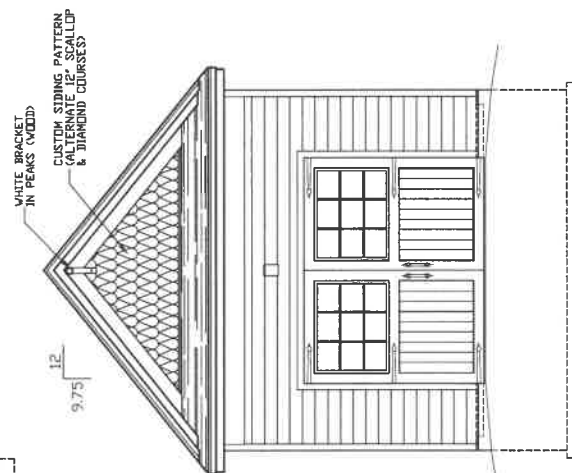
APS	BONZHEIM (SCOTT & KIM) RESIDENCE RYAN SPENCER CUSTOM SORAGE BUILDING EXTERIOR ELEVATION Title	11-08-24 PD 11-07-24 PD 11-06-24 PD 11-05-24 PD 11-04-24 PD 11-03-24 PD 11-02-24 PD 11-01-24 PD 10-31-24 PD 10-30-24 PD 10-29-24 PD 10-28-24 PD 10-27-24 PD 10-26-24 PD 10-25-24 PD 10-24-24 PD 10-23-24 PD 10-22-24 PD 10-21-24 PD 10-20-24 PD 10-19-24 PD 10-18-24 PD 10-17-24 PD 10-16-24 PD 10-15-24 PD 10-14-24 PD 10-13-24 PD 10-12-24 PD 10-11-24 PD 10-10-24 PD 10-09-24 PD 10-08-24 PD 10-07-24 PD 10-06-24 PD 10-05-24 PD 10-04-24 PD 10-03-24 PD 10-02-24 PD 10-01-24 PD 09-30-24 PD 09-29-24 PD 09-28-24 PD 09-27-24 PD 09-26-24 PD 09-25-24 PD 09-24-24 PD 09-23-24 PD 09-22-24 PD 09-21-24 PD 09-20-24 PD 09-19-24 PD 09-18-24 PD 09-17-24 PD 09-16-24 PD 09-15-24 PD 09-14-24 PD 09-13-24 PD 09-12-24 PD 09-11-24 PD 09-10-24 PD 09-09-24 PD 09-08-24 PD 09-07-24 PD 09-06-24 PD 09-05-24 PD 09-04-24 PD 09-03-24 PD 09-02-24 PD 09-01-24 PD 08-31-24 PD 08-30-24 PD 08-29-24 PD 08-28-24 PD 08-27-24 PD 08-26-24 PD 08-25-24 PD 08-24-24 PD 08-23-24 PD 08-22-24 PD 08-21-24 PD 08-20-24 PD 08-19-24 PD 08-18-24 PD 08-17-24 PD 08-16-24 PD 08-15-24 PD 08-14-24 PD 08-13-24 PD 08-12-24 PD 08-11-24 PD 08-10-24 PD 08-09-24 PD 08-08-24 PD 08-07-24 PD 08-06-24 PD 08-05-24 PD 08-04-24 PD 08-03-24 PD 08-02-24 PD 08-01-24 PD 07-31-24 PD 07-30-24 PD 07-29-24 PD 07-28-24 PD 07-27-24 PD 07-26-24 PD 07-25-24 PD 07-24-24 PD 07-23-24 PD 07-22-24 PD 07-21-24 PD 07-20-24 PD 07-19-24 PD 07-18-24 PD 07-17-24 PD 07-16-24 PD 07-15-24 PD 07-14-24 PD 07-13-24 PD 07-12-24 PD 07-11-24 PD 07-10-24 PD 07-09-24 PD 07-08-24 PD 07-07-24 PD 07-06-24 PD 07-05-24 PD 07-04-24 PD 07-03-24 PD 07-02-24 PD 07-01-24 PD 06-30-24 PD 06-29-24 PD 06-28-24 PD 06-27-24 PD 06-26-24 PD 06-25-24 PD 06-24-24 PD 06-23-24 PD 06-22-24 PD 06-21-24 PD 06-20-24 PD 06-19-24 PD 06-18-24 PD 06-17-24 PD 06-16-24 PD 06-15-24 PD 06-14-24 PD 06-13-24 PD 06-12-24 PD 06-11-24 PD 06-10-24 PD 06-09-24 PD 06-08-24 PD 06-07-24 PD 06-06-24 PD 06-05-24 PD 06-04-24 PD 06-03-24 PD 06-02-24 PD 06-01-24 PD 05-31-24 PD 05-30-24 PD 05-29-24 PD 05-28-24 PD 05-27-24 PD 05-26-24 PD 05-25-24 PD 05-24-24 PD 05-23-24 PD 05-22-24 PD 05-21-24 PD 05-20-24 PD 05-19-24 PD 05-18-24 PD 05-17-24 PD 05-16-24 PD 05-15-24 PD 05-14-24 PD 05-13-24 PD 05-12-24 PD 05-11-24 PD 05-10-24 PD 05-09-24 PD 05-08-24 PD 05-07-24 PD 05-06-24 PD 05-05-24 PD 05-04-24 PD 05-03-24 PD 05-02-24 PD 05-01-24 PD 04-30-24 PD 04-29-24 PD 04-28-24 PD 04-27-24 PD 04-26-24 PD 04-25-24 PD 04-24-24 PD 04-23-24 PD 04-22-24 PD 04-21-24 PD 04-20-24 PD 04-19-24 PD 04-18-24 PD 04-17-24 PD 04-16-24 PD 04-15-24 PD 04-14-24 PD 04-13-24 PD 04-12-24 PD 04-11-24 PD 04-10-24 PD 04-09-24 PD 04-08-24 PD 04-07-24 PD 04-06-24 PD 04-05-24 PD 04-04-24 PD 04-03-24 PD 04-02-24 PD 04-01-24 PD 03-31-24 PD 03-30-24 PD 03-29-24 PD 03-28-24 PD 03-27-24 PD 03-26-24 PD 03-25-24 PD 03-24-24 PD 03-23-24 PD 03-22-24 PD 03-21-24 PD 03-20-24 PD 03-19-24 PD 03-18-24 PD 03-17-24 PD 03-16-24 PD 03-15-24 PD 03-14-24 PD 03-13-24 PD 03-12-24 PD 03-11-24 PD 03-10-24 PD 03-09-24 PD 03-08-24 PD 03-07-24 PD 03-06-24 PD 03-05-24 PD 03-04-24 PD 03-03-24 PD 03-02-24 PD 03-01-24 PD 02-29-24 PD 02-28-24 PD 02-27-24 PD 02-26-24 PD 02-25-24 PD 02-24-24 PD 02-23-24 PD 02-22-24 PD 02-21-24 PD 02-20-24 PD 02-19-24 PD 02-18-24 PD 02-17-24 PD 02-16-24 PD 02-15-24 PD 02-14-24 PD 02-13-24 PD 02-12-24 PD 02-11-24 PD 02-10-24 PD 02-09-24 PD 02-08-24 PD 02-07-24 PD 02-06-24 PD 02-05-24 PD 02-04-24 PD 02-03-24 PD 02-02-24 PD 02-01-24 PD 01-31-24 PD 01-30-24 PD 01-29-24 PD 01-28-24 PD 01-27-24 PD
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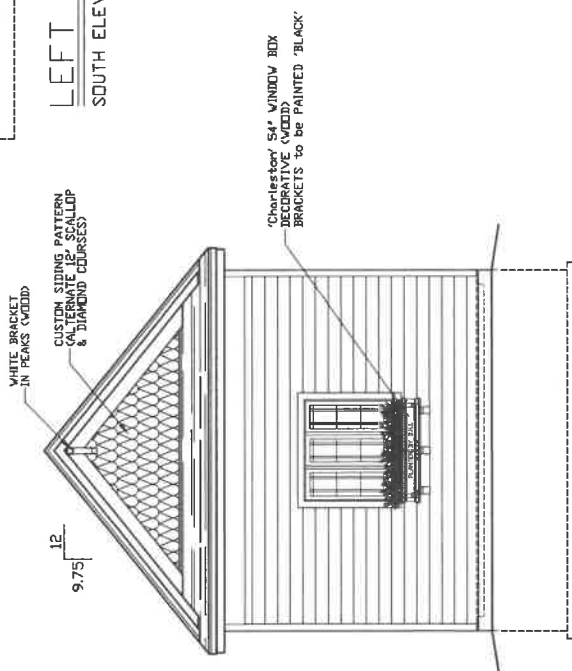
RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION
WEST ELEVATION

revision
2/15/23 APS
8-21-24 PD
9-6-24 PD
10-18-24 PD
11-7-24 PD
1-28-24 PD
12-10-24 PD
1-8-24 PD
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3-10-25 PD

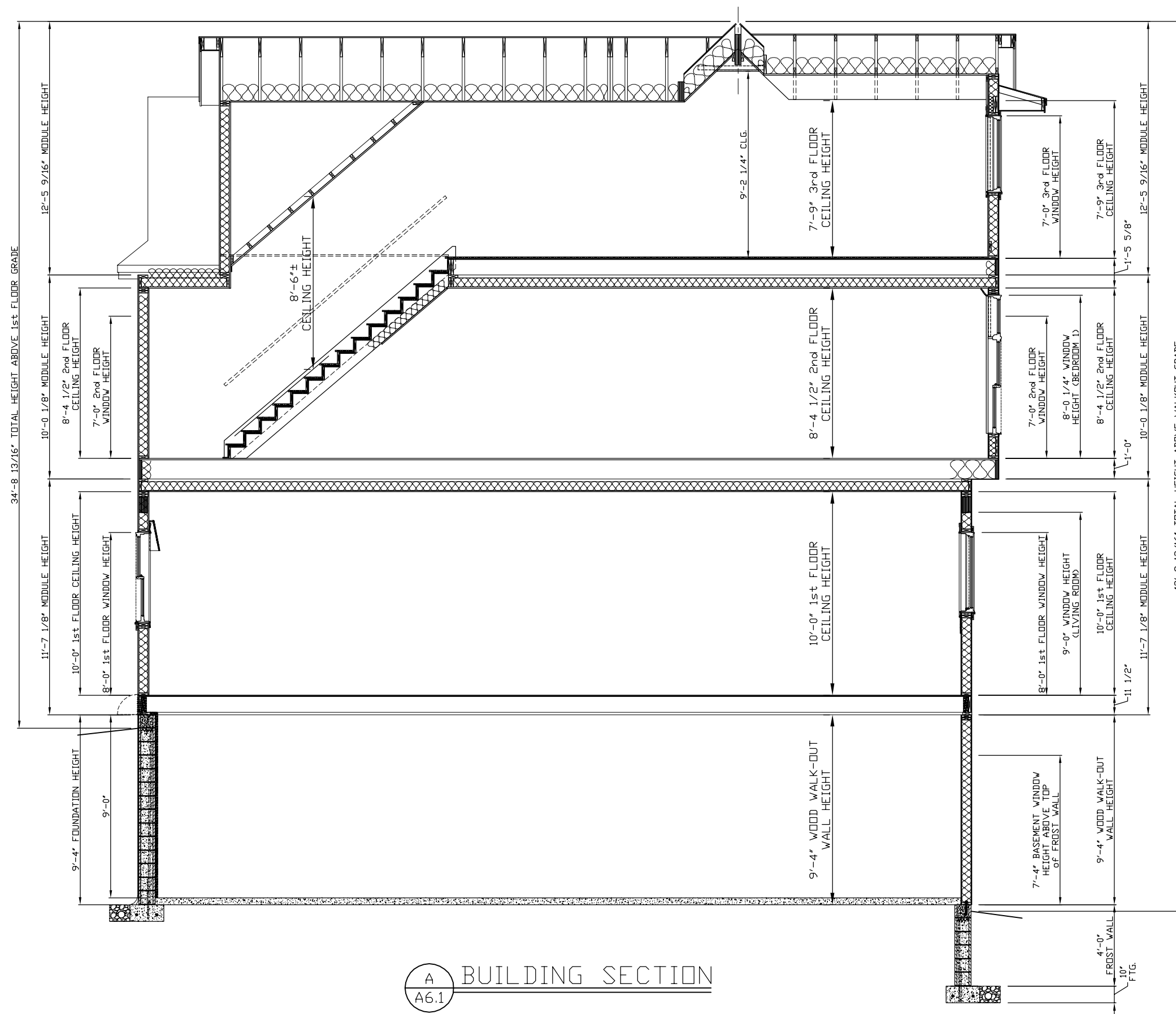
BONZHEIM (SCOTT & KIM) RESIDENCE RYAN SPENCER	PROJECT TITLE
CUSTOM	BUILDING SECTION-LAUNDRY & KITCHEN

contact
person
APS

date
2/17/23

originator
APS

sht
A6.



A BUILDING SECTION
A6.1

JOB #C1844
DRAWING SCALE 3/16" = 1'-0"

Bonzheim Planning Commision

Ryan Spencer <ryan@dickinsonhomes.com>

Tue 05/27/2025 15:49

To: Katie Pereny <kep@cityofmi.org>;

Cc: James Murray <jamesmurrayesq@gmail.com>; Kimberly Bonzheim <kimberlyabonz@gmail.com>; SCOTT BONZHEIM <bonzski4@comcast.net>; Loni LePage <loni@dickinsonhomes.com>;

3 attachments (2 MB)

C1844 BONZHEIM PLAN SET 5-27-25.pdf; Michigan Residentail SQFT Code.docx; MDOT Load Rules.docx;

Hi Katie,

Attached are the updated Bonzheim project plans for review and inclusion in the upcoming Planning Commission meeting materials.

You'll see the following updates have been made:

- The primary residence square footage has been confirmed and documented in accordance with Michigan's 3,500 sq. ft. threshold for requiring an architect or engineer seal, per the Michigan Residential Code and Occupational Code guidelines.
- The height of the accessory structure has been revised to under 14 feet, as requested by Dennis, and is now fully compliant with local accessory building standards.
- I've also attached a copy of the applicable Michigan building code section regarding the 3,500 sq. ft. rule for your records.
- Additionally, I've included reference material on MDOT rules regarding modular transport, width/height restrictions, and the oversize load permit process.

This is simply to ensure that everything is on the record ahead of the meeting and to avoid any misunderstandings about transport authority, particularly to reinforce that MDOT governs highway transport regulations and that their ruling cannot be superseded locally.

Please let me know if anything further is needed before the meeting.

Best regards,

Ryan Spencer

Project Manager - Dealer Network Manager

DICKINSON HOMES

1500 W. Breitung Ave

Kingsford, MI 49802

Cell: 9062820904

File No. R125-D17-020
 Exhibit L
 Date 5.27.25
 Initials KP

David Lipovsky

Wed 06/04/2025 09:27

To: Katie Pereny <kep@cityofmi.org>;

From: Neal Liddicoat <nliddicoat@yahoo.com>

Sent: Wednesday, May 14, 2025 10:31 AM

To: Dennis Dombroski <djd@cityofmi.org>; David Lipovsky <dlipovsky@cityofmi.org>

Cc: Anneke Myers <annekemymers@yahoo.com>; STONEBROOK HOA <stonebrookhoa@live.com>

Subject: Fw: Bonzheim

Dennis & Dave -

Here's the e-mail I received from Ryan Spencer about the Bonzeim home details. About one-quarter of the way down you'll see the square footages he provided. To summarize:

First Floor - 1,616 sq. ft.

Second Floor - 1,362 sq. ft.

Third Floor - 529 sq. ft.

Basement - 1,616 sq. ft.

TOTAL - 5,123 sq. ft.

Note that on the plan set I received, the basement is labeled "Foundation Plan" on Sheets A4.0 and A4.1. That level includes two bedrooms, an office, a family room, a wine room, a bathroom, and a bar, as well as the mechanical room. On the other hand, a sizable chunk of the third floor is storage, which probably doesn't count toward the "habitable" total, but that entire floor is only 529 sq. ft. so the reduction isn't that great.

I hope this is helpful.

Neal Liddicoat
(906) 630-0860

----- Forwarded Message -----

From: Ryan Spencer <ryan@dickinsonhomes.com>

To: Neal Liddicoat <nliddicoat@yahoo.com>

Cc: James Murray <jamesmurrayesq@gmail.com>

Sent: Monday, February 24, 2025 at 02:42:18 PM EST

Subject: Re: Bonzheim

Hey Neal,

I did not see your attachment.

I have some answers for you below in RED.

Ryan Spencer

Project Manager - Dealer Network Manager

DICKINSON HOMES

1500 W. Breitung Ave

Kingsford, MI 49802

Cell: 9062820904

On Mon, Feb 24, 2025 at 12:29 PM Neal Liddicoat <nliddicoat@yahoo.com> wrote:

Thanks, Ryan.

Based on that, I'll try to set up an Architectural Control Committee meeting for Monday or Tuesday, March 4 or 5. I'll suggest 11:00 AM, 1:00 PM, or 3:00 PM (Eastern time) on those days and see what happens. It can be tricky getting all five members nailed down, but I'll see what I can do. **I will leave my schedule open all day.**

As I mentioned earlier, in order to take the project to the Planning Commission, it will need Final Approval from our committee. What you've submitted meets the Preliminary Approval requirements (although I have a few questions below), but Final Approval requires submission of a sample board "showing samples of major materials, finishes, and colors (i.e., base, siding, windows, trim, roof, chimney, accessories, lighting, etc.)." In some of these cases, photos or catalog pages are adequate (e.g., lighting, windows, and the stone on the chimney). We'll have to work out how best to get necessary physical samples for review. **Absolutely, we can get samples sent to Jim's house. A lot of the products we are using are actually on Jim's house or similar to his. A tour for the Committee might be in order?**

Also, the footprint of the house and carriage house need to be staked out on the site.

Yes, a little troublesome to do with the snow, grade, and trees. Can I ask why this is necessary so soon? I typically do not do this with my off island builds until the lot is cleared so we can have a better showing of where the home will be on the site. It is currently so heavily wooded most stringlines will be curved numerous ways due to trees and grade. Just curious?
Here are my questions:

I've attached a copy of the site plan with an area outlined in red. Is that the area where tree removal is desired?

Please send to me.

What material is the siding of the house and the carriage house? (Wood is required.)

DiamondKote LP Smartside, it is a Wood Product. It is truly the best product on the market right now for siding, it is also Dickinson Homes preferred siding. It is a near no maintenance product

https://issuu.com/wausausupplycompany/docs/dkcatalog?fr=xKAE9_zU1NQ

What material is the roof?https://www.certainteed.com/products/residential-roofing-products/grand-manor?marketingColor=Black_Pearl

What material is the driveway?

This is to be determined, I assume a native island gravel driveway. Possibly pavers in the future.

What color(s) are the house and carriage house? (I see some of the trim colors on the elevations -- some white, some black, but nothing about the main body of the structures.)

The main portions of the house are all white, the "turrets" we will call them on the front and back of the house will be black. The carriage house is also White. There will be few Black Accents such as the flower boxes as well.

What color is the roof?**Black Pearl from the link above.**

What is the square footage of each level of the house and the total for the house?

First Floor - 1616 SQFT - Second Floor 1362 - Third Floor - 529 - Basement 1616

It looks like the house has a propane fireplace. Where will the propane tank be located?

We will be switching this to Electric. If we end up switching back to propane the tank will be in a "shed" attached to the chimney similar to Jim's in the attached photo.

On the rear/west elevation, I see a window with overhang in the right half of the basement level. What material will cover that overhang (specifically, is it proposed to be metal, like some of the other overhangs)?

Yes, here is a list of metal areas, the metal roof will be a black seamless roof from fabral.

West Elevation window overhang

fireplace roof

north entrance overhang

west "turret" roof

knowing these things will help expedite our review.

A couple of other quick notes:

Three elements of the design that might be topics of conversation for the committee are the "Fypon" polyurethane trim pieces, various PVC trim pieces, and the metal roof sections. Here's what our guidelines say about materials:

Native stone and rock for building bases and fireplaces is encouraged. Painted wood siding and painted wood shingles are required for exterior walls. Fabricated wood railings, window frames, braces and brackets, and all ornamental detailing should be painted to further capture the charm and maintain the continuity of the project. Everything will be painted. Fypon has created a paintable product to color match, they have also come up with wood grained patterns as well. We can switch to Azek which is an even more premium product and paintable as

well. [https://azekexteriors.com/about-us/why-azek?](https://azekexteriors.com/about-us/why-azek?utm_source=google&utm_medium=cpc&utm_campaign={campaignname}&utm_term=pvc%20trim&utm_content=730958043313&gad_source=1&gclid=CjwKC_AiAzvC9BhADEiwAEhtlN-c7-G-QOrTNqnsEqMTP2oCgxsAHKWoz_tKMipXhGDgahuA1uToc9BoCpmIQAvD_BwE)

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The Deck rails we currently have are also Azek PVC <https://porchstore.com/railings/>

As you can tell for 55 years Dickinson Homes has been a huge advocate of no maintenance and long lasting durability as well as warranty. It is just our nature as a standard to specify the best products for quality, looks, and longevity. We are open to discussions on everything. This is our first Stonebrook project since the early 2000's

Note the emphasis on wood. We also recognize that new materials will come along: As new building products are developed that simplify or enhance the construction or maintenance of homes, Stonebrook's Architectural Control Committee will consider their appropriateness.

Understood, due to the waterproof properties and maintenance properties of PVC Trim pieces, decorative pieces etc, we really prefer to use PVC in certain areas, they tend to work better with the siding system as well. We have these same corbels on Jim's house as well.

That's why the TimberTech decking is okay.

I'll let you know about a meeting time as soon as I can.

Thanks.

Neal

On Monday, February 24, 2025 at 12:07:51 PM EST, Ryan Spencer <ryan@dickinsonhomes.com> wrote:

Hey Neal,

I am unavailable 2/27-3/2 - 3/6-3/13

I am also on Central Time.

Let me know what works for you guys and I will try to accommodate.

Ryan Spencer

Project Manager - Dealer Network Manager

DICKINSON HOMES

1500 W. Breitung Ave

Kingsford, MI 49802

Cell: 9062820904

On Mon, Feb 24, 2025 at 9:42 AM Neal Liddicoat <nliddicoat@yahoo.com> wrote:

Okay, I'll start working on scheduling an Architectural Control Committee meeting, either Friday this week or (more likely) early-to-midweek next week. Jim & Ryan, are there times when you would be unable to join a Zoom meeting in that general time period? (I only have a free Zoom account, so I'm limited to 40-minute meetings. If one of you has a Zoom account without that limitation, it might be helpful.)

Also, I will start to coordinate with John Makranyi regarding tree removal.

I've done an initial review of the material Ryan sent last Friday, but will spend more time with it today. After that, I expect that I'll have some questions prior to a meeting.

Note that Planning Commission approval will be subject to Final (not just Preliminary) Approval by Stonebrook. Key items that are needed are staking of the footprint of the structures and provision of sample materials (paint colors, siding, roofing, trim, etc.). The pertinent requirements are spelled out in our architectural control guidelines.

Neal

On Sunday, February 23, 2025 at 03:40:48 PM EST, James Murray <jamesmurrayesq@gmail.com> wrote:

Both.

We will file applications with the City soon. The key is that we are planning for a Fall 2025 setting of the house.

Maybe we should schedule a call when Ryan Spencer and I can both participate with you and your committees.

Jim

On Fri, Feb 21, 2025 at 3:19 PM Neal Liddicoat <nliddicoat@yahoo.com> wrote:

Section IX, Itemb.

Ryan & Jim -

At this time, are you only seeking tree removal approval through our Scenic Resource Committee, or are you hoping for Preliminary Approval through the Architectural Control Committee (or both)?

Thanks.

Neal

On Friday, February 21, 2025 at 02:28:52 PM EST, Ryan Spencer <ryan@dickinsonhomes.com> wrote:

 [SITE MODEL_2025-2-21.pdf](#)

Hey Neal,

Please see the attached files.

- The first attachment is a **2D site plan** showing how everything will be laid out on the site.
- The second attachment is a **general 3D model** illustrating our vision for the site. We considered everything, including grading, a temporary driveway for the crane and modules, the main driveway from Pine Cove Lane, and preserving as many green areas as possible.
- The third attachment is the final plans that we now have for estimating
- The fourth attachment is a preliminary timeline.

We'll do our best to retain as many trees as reasonably possible, as that's a common priority for our clients. However, we'll need to remove any trees that pose a risk of falling during construction, along with smaller shrubs that won't contribute much long-term. As you know, the Bonzheims have a lot of cedar trees, and their shallow root systems always make me a bit cautious.

The **temporary construction driveway** will be replanted and reduced in size, leaving just enough space for steps up to the house and a small bike platform below—similar to the neighbors' setup.

Let me know if you have any questions.

Thanks,

Ryan Spencer

Project Manager - Dealer Network Manager

DICKINSON HOMES

[1500 W. Breitung Ave](#)

[Kingsford, MI 49802](#)

Cell: 9062820904

On Sat, Feb 15, 2025 at 3:29 PM Neal Liddicoat <nliddicoat@yahoo.com> wrote:

Jim-

I've attached three documents for your use.

Section IX, Itemb.

The first is the current set of architectural control guidelines, which sets out the design standards and process for approval of new or modified homes (or other structures) in Stonebrook. You'll see that it's a two-stage process, with somewhat more rigorous, detailed requirements in the second "final approval" stage. The Bonzheims have previously been through this process, so are somewhat familiar with it.

The other two documents describe the Scenic Reserve Easement that was created when Stonebrook was developed back in the mid-1990s. The first document is the easement itself, dated May 27, 1995, and the second is the First Amendment to the Stonebrook Master Deed (July 14, 1995), incorporating the easement.

As a lawyer, you're not going to like this but, for practical reasons, we don't always follow the scenic reserve requirements precisely. (As an engineer, I'm not always crazy about this either, but I've learned to live with it.) Some of the rules were fine when the developer was still calling the shots (e.g., meeting and notice requirements), but they're not always practical now. Generally, we try to be reasonable (and even helpful) while still protecting the interests of the association.

I should also note that there are a couple of relatively influential Islanders who travel past Stonebrook regularly who I know keep an eye on our trees (believe it or not).

While I'm chairman of the Scenic Resource Committee, which considers tree cutting requests, my next-door neighbor (and the Bonzheims future next-door neighbor), John Makranyi is also a member of the committee, so I'll need to get him involved. I've cc'd him to this email.

I understand Larry's eagerness to get started, but we need some information before we can approve that. Ideally, we would have fully-approved house plans, as I've previously mentioned, to limit the chances that a bunch of trees are removed and then the project never occurs. Next best would be to have plans with "preliminary approval." At a minimum, we need to know where the footprint of the house will lie. Given that this is a modular home, it would also be helpful to know the plan for lifting the units onto the site. For example, will the crane sit on the lot and lift the modules from M-185? If so, what trees must be removed to accommodate that? (I assume the State Park will need to approve using M-185 in that fashion, but I don't know for sure.)

My inclination is to treat the tree removal question in two pieces -- (1) the trees within and near the building footprint, including crane-related trees (i.e., those outside the Scenic Reserve Easement, but still within the purview of the Scenic Resource Committee), and (2) the trees within the Scenic Reserve Easement (between M-185 and the brow of the bluff along the west side of the lot).

Do you have an idea when house plans will be submitted for consideration by our Architectural Control Committee? (You'll perhaps be surprised (and maybe even dismayed) to learn that I'm the chairman of that committee, as well.) I can assure you that the ACC does an excellent job of reviewing and acting upon plans expeditiously.

Can you at least provide a site plan showing where the building will sit?

I think it might be helpful for us to talk again. I'm generally at my desk between 10:00 AM and 4:00 PM during the week. Please feel free to call at your convenience.

Thanks.

Neal Liddicoat
(906) 630-0860

On Saturday, February 15, 2025 at 11:46:06 AM EST, James Murray <jamesmurrayesq@gmail.com> wrote:

Neil,

You and I traded some text messages about the Bonzheim's project at Stonebrook. I am working with the Bonzheim's as is Ryan Spencer. Specifically, Larry Rickely would like to get going as soon as possible.

Per your text, please send whatever documents we will need to review in order to get their project approved and moving forward.

From what I reviewed I am not finding a requirement that approved house plans be issued as a precondition to cutting trees.

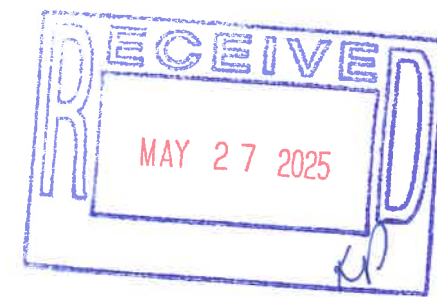
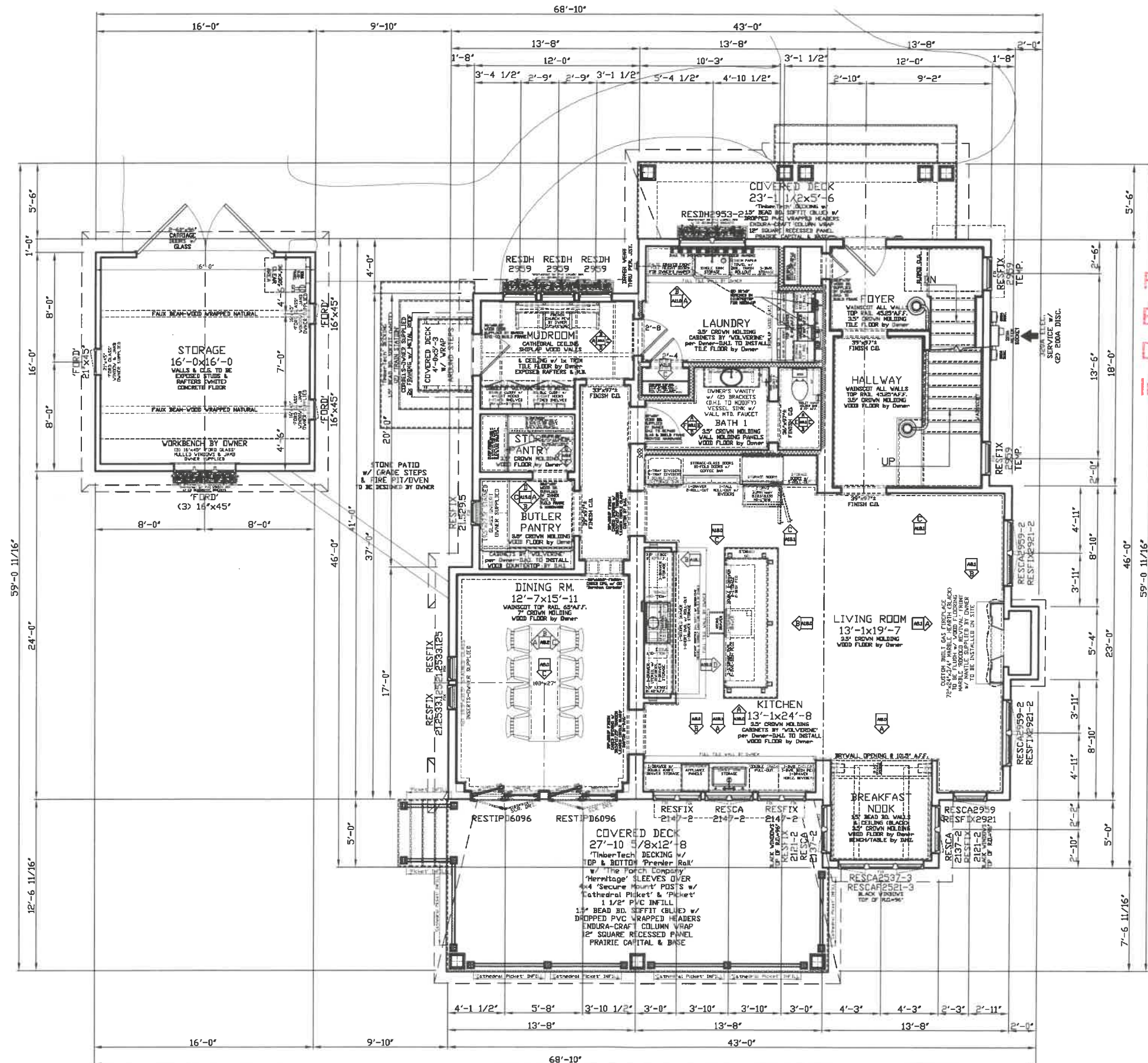
What works best for you and your committee so we can keep the project moving on a timely basis. We are anticipating setting the home in the Fall of 2025.

Thanks.

Jim



Virus-free. www.avast.com



File No. R125.017.020
Exhibit K
Date 5.27.25
Initials KP

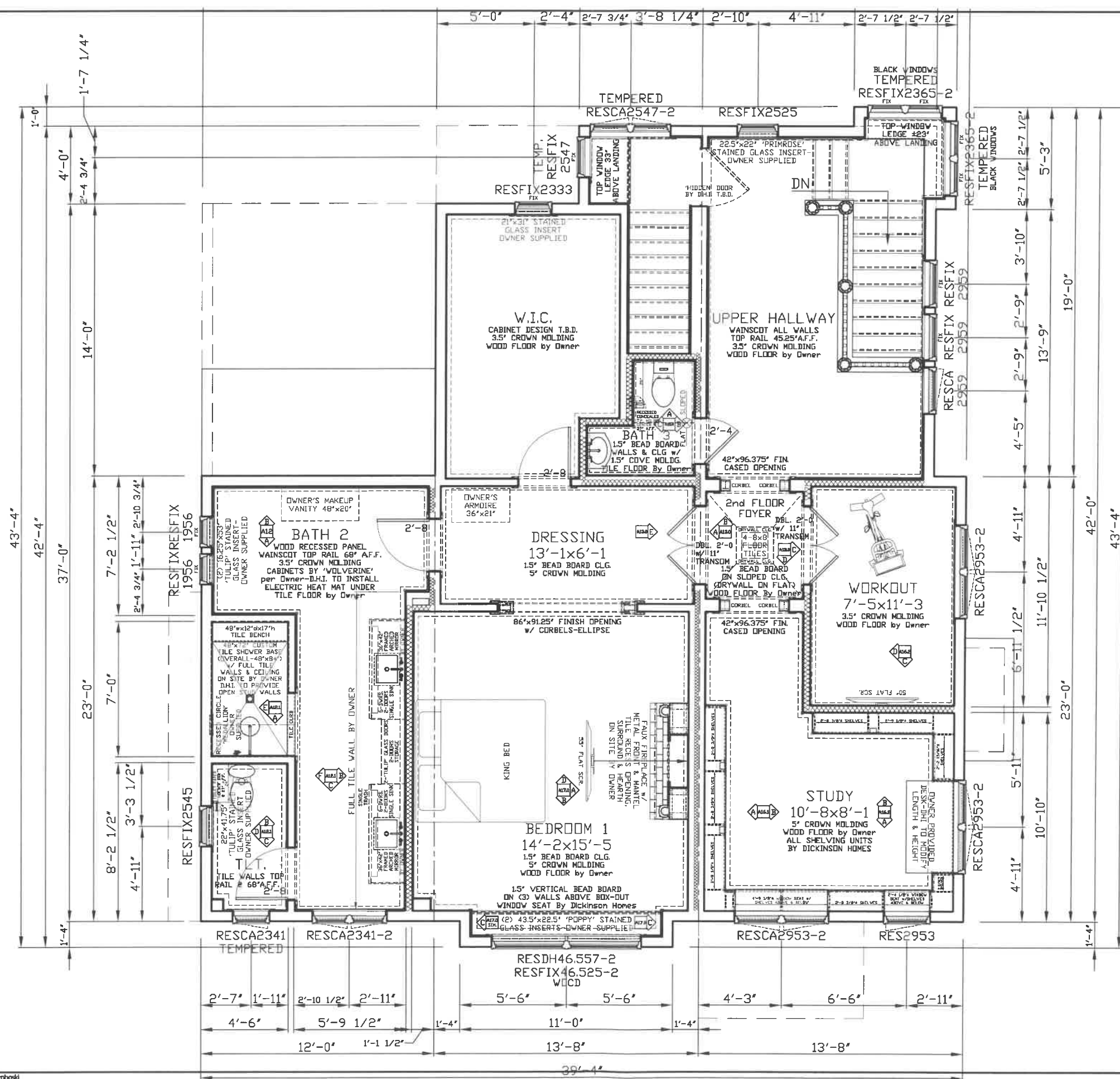
1st FLOOR = 1,605 S.F.
2nd FLOOR = 1,361 S.F.
3rd FLOOR = 349 S.F.
TOTAL = 3,315 S.F.

JOB #C1844
DRAWING SCALE 1/8" = 1'-0"

Dickinson Homes
1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800

WWW.DICKINSONHOMES.COM
FAX: 906-774-5813

revision	proj	title
1-8-24 PD	BONZHEIM (SCOTT & KIM) RESIDENCE	1st FLOOR PLAN
1-9-24 PD		
8-2-24 PD	RYAN SPENCER	
10-18-24 PD		
11-7-24 PD		
11-20-24 PD		
12-10-24 PD		
12-20-24 PD		
1-2-25 PD		
1-9-25 PD		
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2-10-25 PD		
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date	2/17/23	
originator	APS	
shd no	A1.0	



Dickinson Homes

Revision
3-21-24 PD
-6-24 PD
0-18-24 PD
1-7-24 PD
1-26-24 PD
2-10-24 PD
1-8-24 PD
1-9-25 PD
1-24-25 PD
2-10-25 PD
3-10-25 PD
5-27-25 PD

PROJECT TITLE	DATE
BONZHEIM (SCOTT & KIM) RESIDENCE RYAN SPENCER	11/1/2011
CUSTOM 2nd FLOOR PLAN-ENLARGED	11/1/2011

contact
person
APS

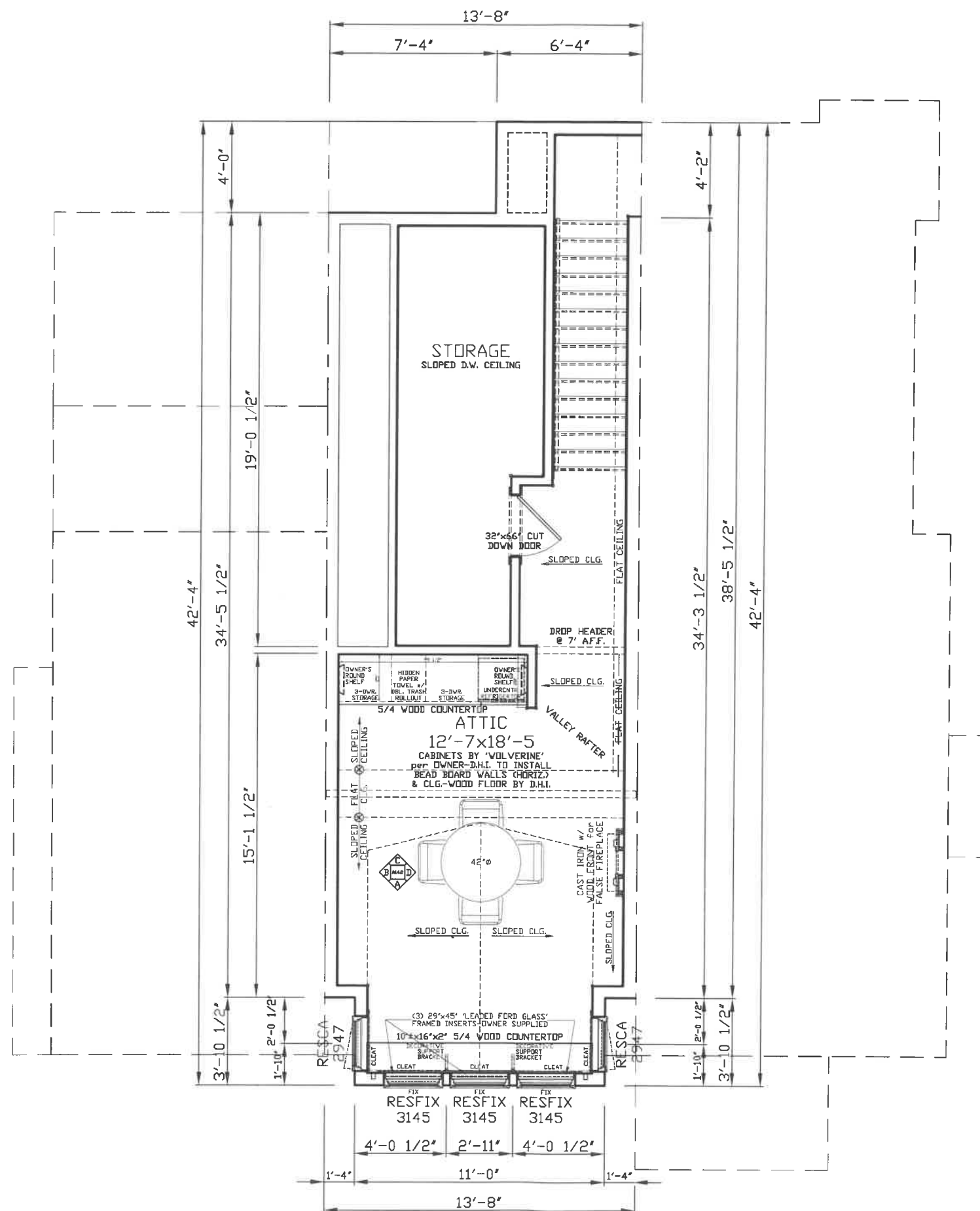
date
2/17/23

originator
APS

sht no
A2.1

82

JOB #C1844
DRAWING SCALE 3/16" = 1'-0"



JOB #C1844
DRAWING SCALE 3/16" = 1'-0"

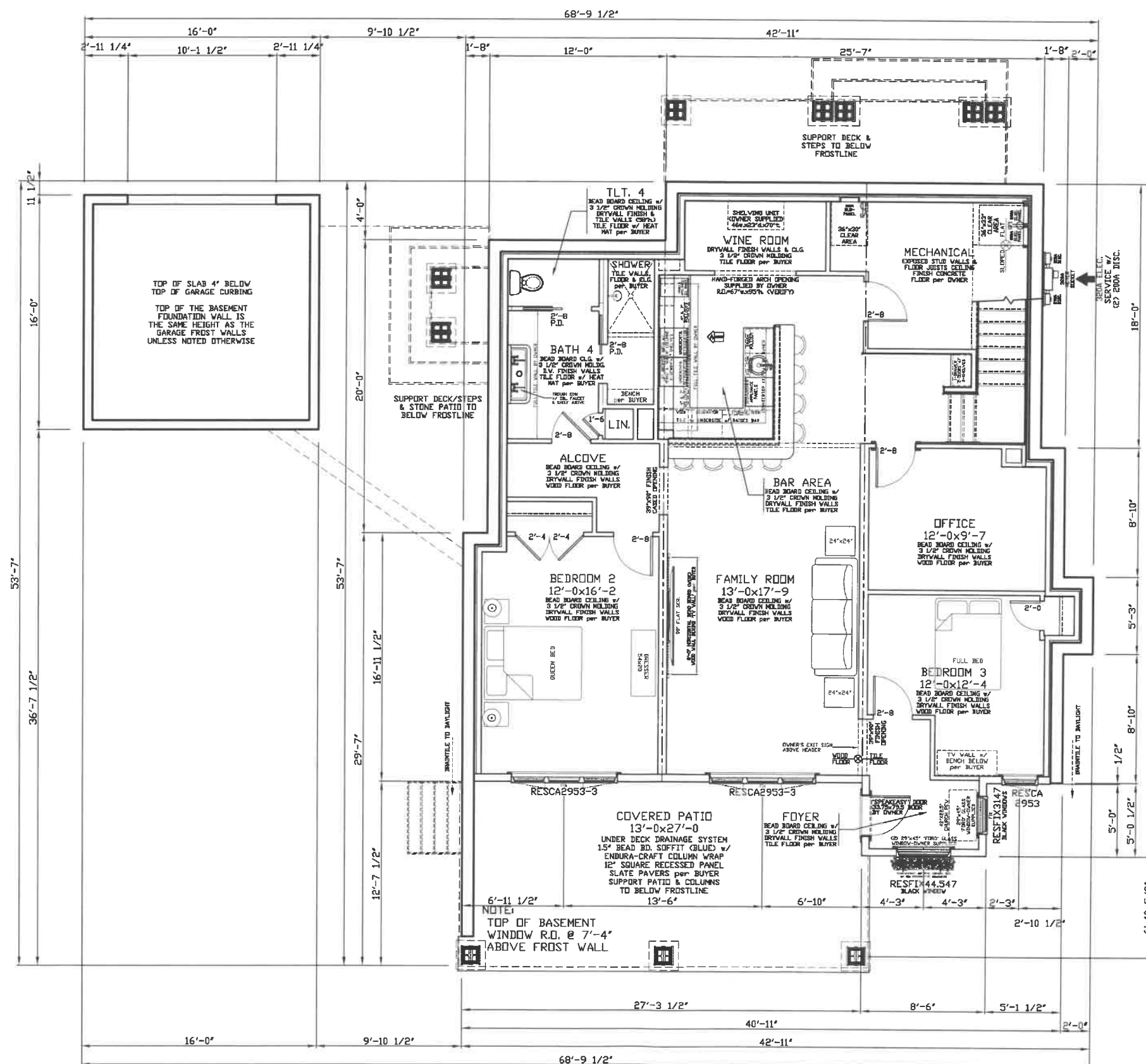
revision
8-21-24 PD
9-6-24 PD
10-18-24 PD
11-7-24 PD
11-28-24 PD
1-8-24 PD
1-9-25 PD
1-24-25 PD
2-10-25 PD
3-10-25 PD

PROJECT TITLE	DATE	STATUS
BONZHEIM (SCOTT & KIM) RESIDENCE RYAN SPENCER	10/1/01	Completed
CUSTOM 3rd FLOOR PLAN-ENLARGED	10/1/01	Completed

contact person	APS
date	2/17/23
originator	APS
sht no	A3.1

Dickinson Homes

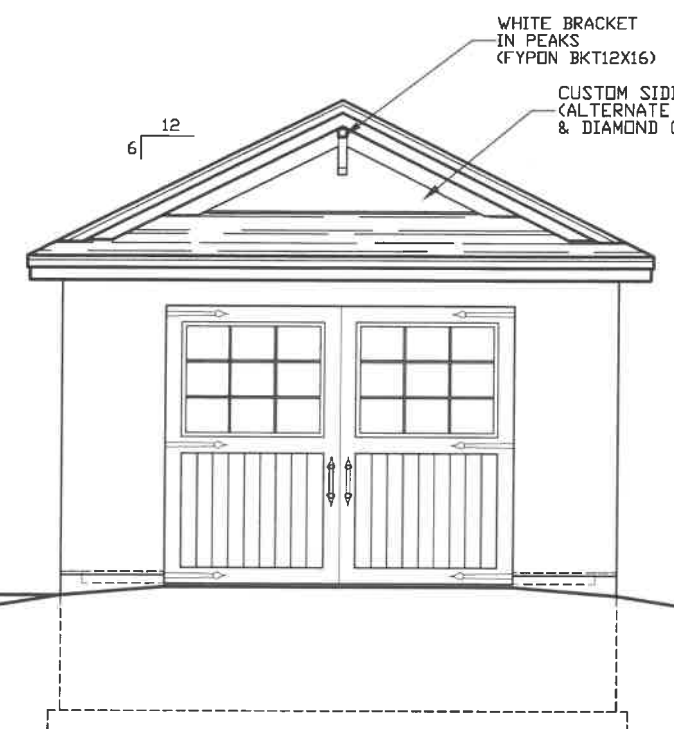
FAX: 906-774-5813
WWW.DICKINSONHOMES.COM



JOB #C1844
DRAWING SCALE 1/8" = 1'-0"



FRONT ELEVATION
EAST ELEVATION



FRONT ELEVATION

EAST ELEVATION

WWW.DICKINSONHOMES.COM
FAX: 906-774-5813

Dickinson Homes
1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800

revision	
8-21-24 PD	1-8-24 PD
9-6-24 PD	1-9-25 PD
10-18-24 PD	1-24-25 PD
11-7-24 PD	2-10-25 PD
11-28-24 PD	3-10-25 PD
12-10-24 PD	5-27-25 PD

proj title
BONZHEIM (SCOTT & KIM) RESIDENCE RYAN SPENCER
CUSTOM FRONT EXTERIOR ELEVATION-EAST

contact
person
APS

date
2/17/23

originator
APS

sht no
A5.0

85

JOB #C1844
DRAWING SCALE 3/16" = 1'-0"





WWW.DICKINSONHOMES.COM
FAX: 906-774-5813

Dickinson Homes
1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800

revision
8-21-24 PD
9-6-24 PD
10-18-24 PD
11-7-24 PD
11-28-24 PD
12-10-24 PD
1-8-24 PD
1-9-25 PD
1-24-25 PD
2-10-25 PD
3-10-25 PD
5-27-25 PD

proj title
BONZHEIM (SCOTT & KIM) RESIDENCE RYAN SPENCER
CUSTOM FRONT EXTERIOR ELEVATION-NORTH

contact
person
APS

date
2/17/23

originator
APS

sht no
A5.2

JOB #C1844
DRAWING SCALE 3/16" = 1'-0"



LEFT ELEVATION

SOUTH ELEVATION

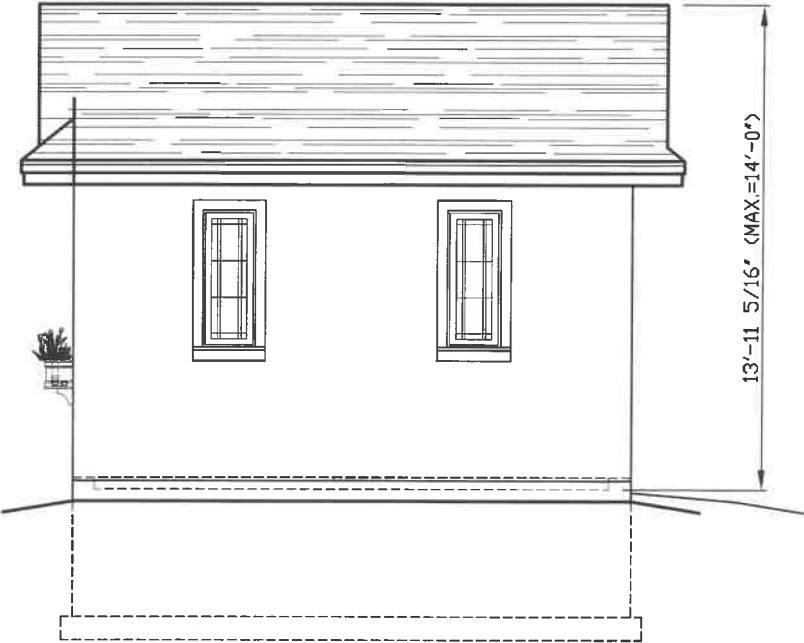
JOB #C1844
DRAWING SCALE 3/16" = 1'-0"

Dickinson Homes
1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800

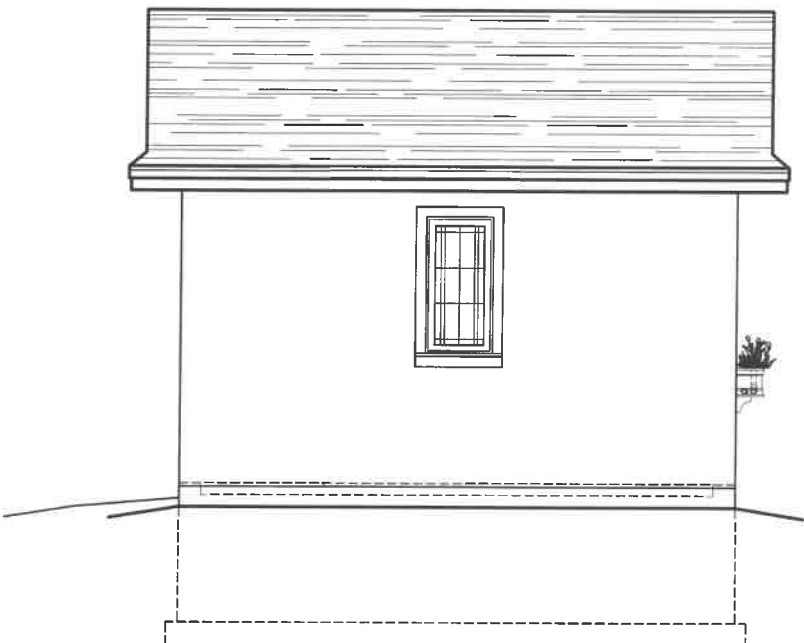
revision	1-8-24 PD	1-9-24 PD	1-9-25 PD	1-24-25 PD	2-10-25 PD	3-10-25 PD	5-27-25 PD
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9-6-24 PD							
10-18-24 PD							
11-7-24 PD							
11-28-24 PD							
12-10-24 PD							

BONZHEIM (SCOTT & KIM) RESIDENCE RYAN SPENCER	CUSTOM FRONT EXTERIOR ELEVATION-SOUTH
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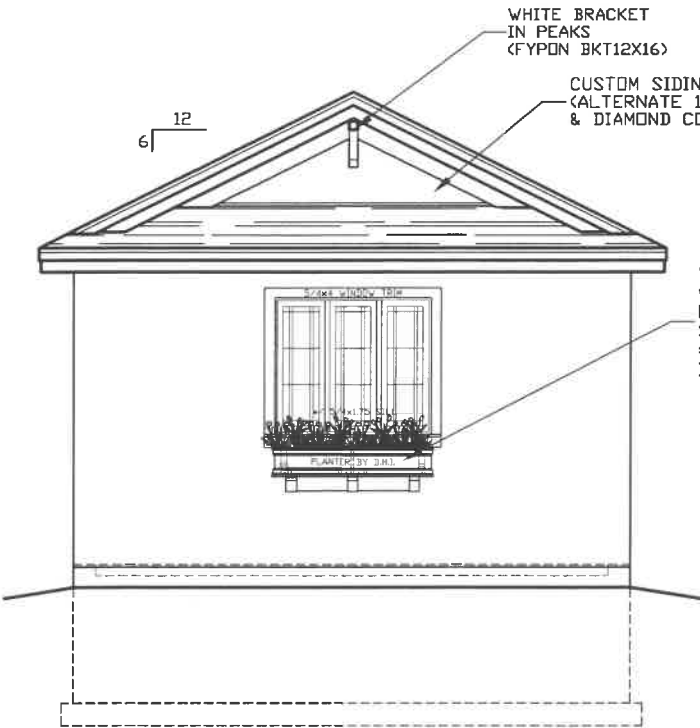
contact
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date
2/17/23
originator
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sht no
A5.3



LEFT ELEVATION
SOUTH ELEVATION

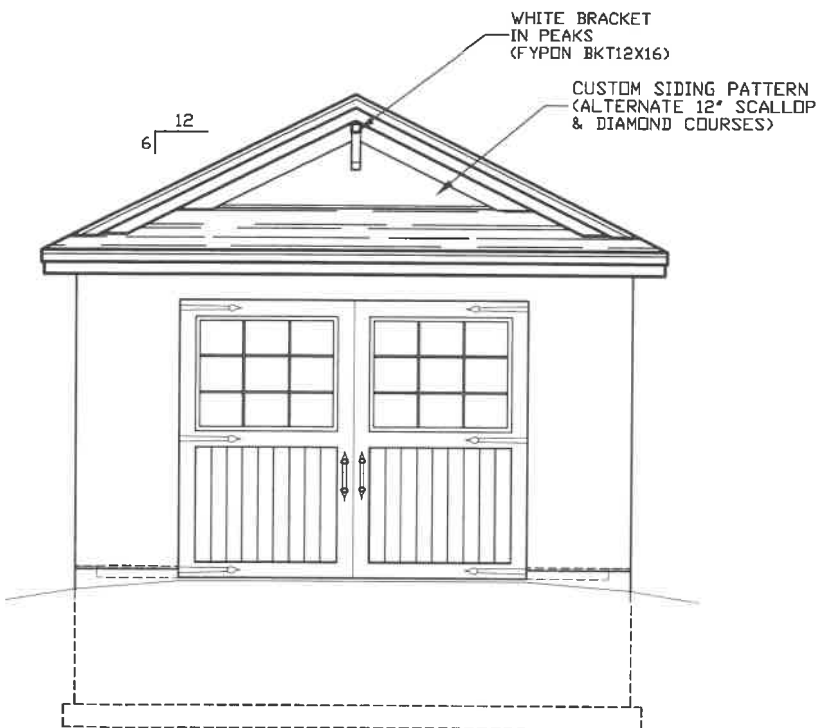


RIGHT ELEVATION
NORTH ELEVATION



REAR ELEVATION
WEST ELEVATION

'Charleston' 54" PVC WINDOW BOX
w/ SELF WATERING RESERVOIR KIT,
MOUNTING HARDWARE KIT & OPTIONAL
SIZE to 10"x10"w. w/ (3) 'Fypon'
#DTLB5X5X3 PVC DECORATIVE
BRACKETS to be PAINTED 'BLACK'



FRONT ELEVATION
EAST ELEVATION

JOB #C1844
DRAWING SCALE 3/16" = 1'-0"

WWW.DICKINSONHOMES.COM
906-774-5813

Dickinson Homes
1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800

revision	date
1-8-24 PD	1-8-24 PD
2-5-24 PD	2-5-24 PD
3-12-24 PD	3-12-24 PD
4-18-24 PD	4-18-24 PD
5-10-24 PD	5-10-24 PD
6-10-24 PD	6-10-24 PD
7-10-24 PD	7-10-24 PD
8-10-24 PD	8-10-24 PD
9-10-24 PD	9-10-24 PD
10-10-24 PD	10-10-24 PD
11-10-24 PD	11-10-24 PD
12-10-24 PD	12-10-24 PD

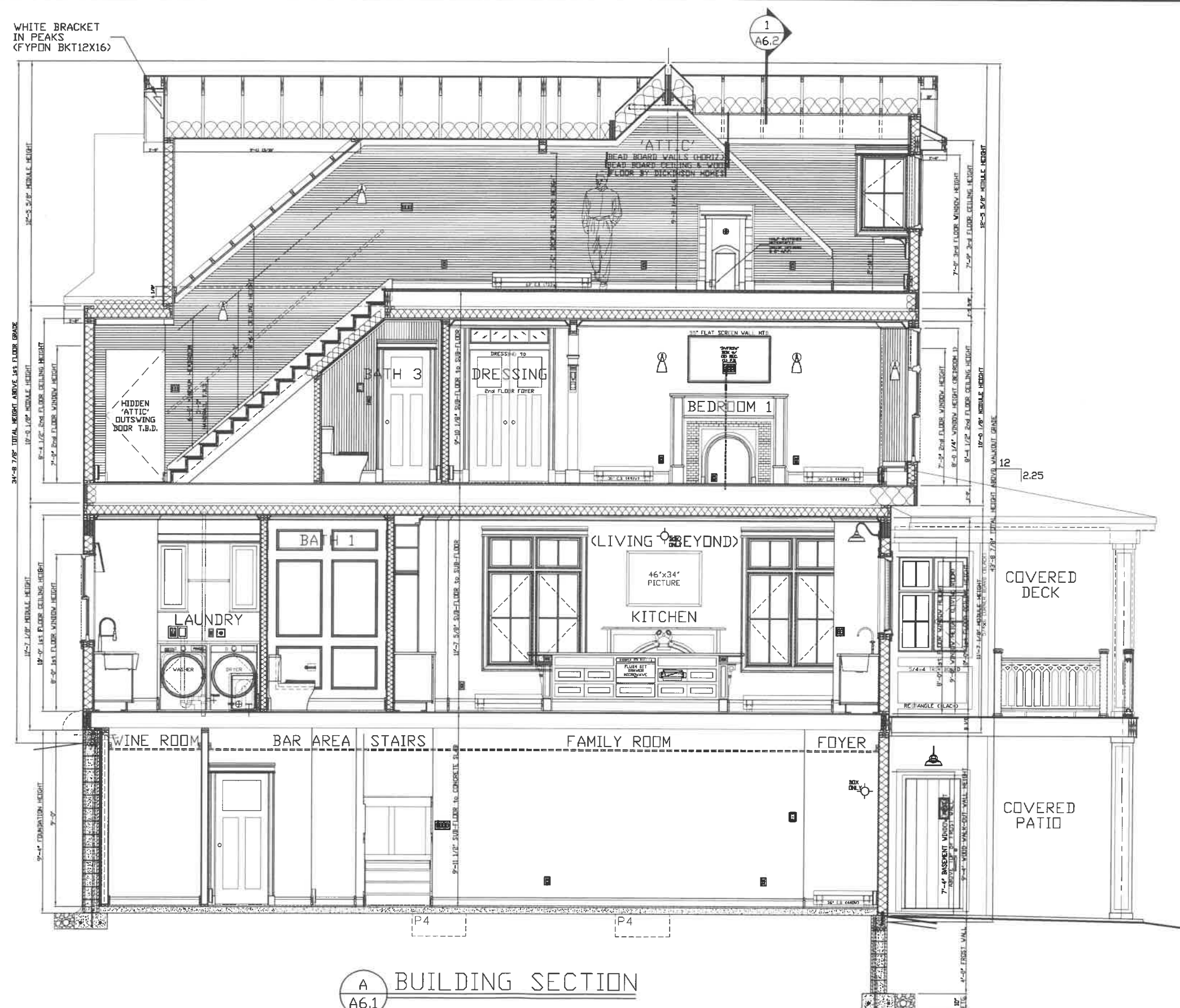
proj	title
BONZHEIM (SCOTT & KIM) RESIDENCE	CUSTOM SORAGE BUILDING EXTERIOR ELEVATION
RYAN SPENCER	

contact
person
APS

date
2/17/23

originator
APS

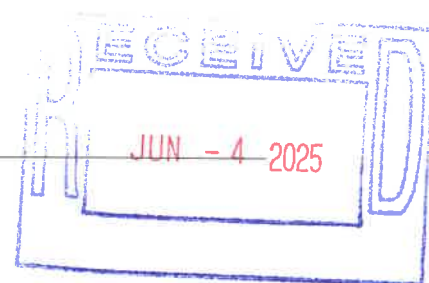
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A BUILDING SECTION

JOB #C1844
DRAWING SCALE 3/16" = 1'-0"

**SCENIC RESOURCE COMMITTEE
STONE BROOK OWNERS' ASSOCIATION**



June 4, 2025

Scott & Kim Bonzheim
7730 Parkcrest Circle
Clarkston, MI 48348

File No. R125-017-020

Exhibit N

Date 6.4.25

Initials KP

Subject: **Unit 17 Tree Removal**

Dear Scott & Kim:

The Scenic Resource Committee of the Stone Brook Owners' Association has reviewed your request for tree removal in connection with your proposed home at Stone Brook Unit 17, as illustrated on the attached site plan from Dickinson Homes. We understand that the proposed tree removal is necessary to facilitate the process of setting building modules on the site. As proposed, the modules would be lifted from trailers temporarily parked on M-185 by a crane located on the site, outside the Scenic Reserve Easement area.

It is the committee's understanding that upon completion of the home, the cleared area would be used to create a bike parking area similar to that at the adjacent Unit 16. Further, the area would be landscaped in an effort to mitigate the loss of trees.

As staked at the site, the tree removal area is approximately 38-feet wide at the edge of M-185. In general, we would prefer that the proposed tree removal be minimized and that the opening at the road edge be as narrow as possible. We would suggest that a width in the range of 24 – 28 feet would be more suitable, and should be sufficient to accommodate the house modules, which we understand are limited to 14-feet wide on Mackinac Island.

Overall, however, it is the committee's judgement that removal of the trees is consistent with previous actions within the easement area and, further, is acceptable under the terms of the "First Amendment to Stone Brook Condominium Master Deed," recorded August 14, 1995. Therefore, the request is approved.

Any deviations from the approved tree removal must be submitted to the Scenic Resource Committee for further consideration.

Finally, I would add that I recently met with Myron Johnson, Mackinac Island State Park Manager, at the site to familiarize him with the proposal. I anticipate that the State Park will respond separately.

Please feel free to contact me if you have questions regarding this.

Sincerely,

Neal K. Liddicoat, Chairman
Scenic Resource Committee

cc: Mr. John Makranyi
Mr. Ryan Spencer, Dickinson Homes
Mr. James Murray, GC North, LLC
Ms. Katie Pereny, City of Mackinac Island Building & Zoning Department

Attachment

Dickinson Homes
1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800

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DANIEL LOEPP
Chairman

RICHARD A. MANOOGIAN
Vice Chairman

ELIZABETH DRISCOLL BOYD
MARLEE BROWN
LORI FROHOFF
HENDRIK G. MEIJER
PHILLIP PIERCE

STEVEN C. BRISSON
Director



Section IX, Itemb.

Box 873
MACKINAW CITY, MI 49701
(231) 436-4100

Box 370
MACKINAC ISLAND, MI 49757
(906) 847-3328

WWW.MACKINACPARKS.COM

GRETCHEN WHITMER, *Governor*

MACKINAC ISLAND STATE PARK COMMISSION

June 16, 2025

Scott and Kim Bonzheim
7730 Parkcrest Circle
Clarkston, MI 48348

Dear Scott and Kim,

This letter is in response to a meeting on June 10 with Jim Murray and Ryan Spencer of GC North, LLC regarding the Scenic Reserve Easement agreement between the Stone Brook Owners' Association (nee Stone Brook Partnership) and the Mackinac Island State Park Commission. They presented a request for cutting of trees on your property (Lot 17) to allow for the transportation of modular house components from M-185 to the lot. It is understood that GC North is assisting you in this matter.

The agreement calls for an "Initial Inventory" of trees greater than 3" in diameter at breast height. This inventory serves as the starting point for enforcing the cutting restrictions in the easement. The inventory was completed by Manthei, Inc. in 1996. Landowners are allowed to cut up to 15% of the initial inventory for the purpose of improving their view. Any cutting greater than 15% requires written approval of the Scenic Resource Committee which consists of two members of the Association and one member appointed by the Park Commission. The committee has not met for several years, but I was presented with a letter from the Stone Brook Owners' Association noting that they had reviewed the request and granted approval.

Following our meeting, Ryan Spencer provided a photograph identifying the trees and the diameter of each. The trees were also marked. Only five trees with a total diameter of 169" need to be cut.

The request is unusual in that it is for construction work and not to improve the view. However, the small number of trees to be removed and their diameter is still close to the allowable total. Permission to remove the five trees is hereby granted. Per our discussion it is understood that a minimum of five substantial trees of

species found within the easement will be planted within the affected area of the lot at the conclusion of the project.

This approval is for cutting of trees in the easement only. The schedule for tree removal and installation of the modular units from M-185 must be negotiated separately through the Park Commision and the City of Mackinac Island.

Please contact me if you have any questions. Thank you.

Sincerely,



Steven Brisson, Director
brissons@michigan.gov

cc: Neal K. Liddicoat, Stone Brook Owners' Association
James Murray
Katie Pereny, City of Mackinac Island
Ryan Spencer, GC North, LLC

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Cathy Arbib
Box 276 Mackinac Island
231-675-3245 thesilvermine@yahoo.com
Phone Number Email Address

Please complete both sides of application.
The Fee and five (5) copies of the application, plans
and all required documents must be submitted to
the Zoning Administrator fourteen (14) days prior to
the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Is The Proposed Project Part of a Condominium Association? NO
Is The Proposed Project Within a Historic Preservation District? NO
Applicant's Interest in the Project (If not the Fee-Simple Owner):
Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? YES
Is a Variance Required? NO
Are REU's Required? How Many? NO /

Type of Action Requested:

☒ Standard Zoning Permit ☐ Appeal of Planning Commission Decision
☐ Special Land Use ☐ Ordinance Amendment/Rezoning
☐ Planned Unit Development ☐ Ordinance Interpretation
☐ Other _____

Property Information:

A. Property Number (From Tax Statement): 49-051-630-085-00
B. Legal Description of Property: Assessor's Plat of Harrisonville Lot 85 + S 10 ft of Lot 84
C. Address of Property: 2700 Cadotte Ave
D. Zoning District: R-3
E. Site Plan Checklist Completed & Attached: YES File No. R425-085-048
F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) YES Exhibit A
G. Sketch Plan Attached: YES Date 6-20-25
H. Architectural Plan Attached: N/A Initials KP
I. Association Documents Attached (Approval of project, etc.): N/A
J. FAA Approval Documents Attached: N/A
K. Photographs of Existing and Adjacent Structures Attached: YES

Proposed Construction/Use:

A. Proposed Construction:
☐ New Building
☐ Other, Specify _____
☒ Alteration/Addition to Existing Building
Small addition to existing deck
eyebrow roof to cover part of deck
add privacy panels to existing fence

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

single family homeProposed Use: same**C. If Vacant:**N/A

Previous Use: _____

Proposed Use: _____

STATE OF MICHIGAN)

COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**

Cathy Arbib
Signature

SIGNATURES _____
Signature

Cathy Arbib
Please Print Name

Please Print Name

Signed and sworn to before me on the 17th day of June, 2025.



Kathryn Pereny
Notary Public

Mackinac County, Michigan
My commission expires: 8-7-30

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: R425-085-048

FEE: \$150 -

DATE: 6-20-25

CHECK NO: 7176

INITIALS: KP

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review
Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan <i>applicant prepared</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

materials will be delivered by dray, any debris will be stored on property until 2 footer available (will be removed ASAP) if 2 footer available immediately all debris will go directly into 2 footer

12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. ☒ ☐
13. Proposed construction start date and estimated duration of construction. *August 4, 2025 - September 1, 2025* ☒ ☐
14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission ☐ ☒

Natural FeaturesProvidedNot Provided
or Applicable

15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) ☐ ☒
16. Topography of the site with at least two- to five-foot contour intervals ☐ ☒
17. Proposed alterations to topography or other natural features ☐ ☒
18. Earth-change plans, if any, as required by state law ☐ ☒

Physical FeaturesProvidedNot Provided
or Applicable

19. Location of existing manmade features on the site and within 100 feet of the site ☐ ☒
20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site ☒ ☐
21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a ☐ ☒

dwelling schedule showing the unit type and number of each such units

22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features



23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)



24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)



25. Description of Existing and proposed on-site lighting (see also Section 4.27)



Utility Information

Provided

Not Provided or Applicable

26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand



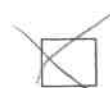
27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)



28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)



29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.



**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Architectural Review

Informational Requirements (Section 18.05)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Cathy Arbib
2700 Cadotte Ave
231-675-3245

1 square = 3 feet

Total lot size

$150 \times 60 = 9,000$
sq. feet

Total lot coverage
w/deck addition

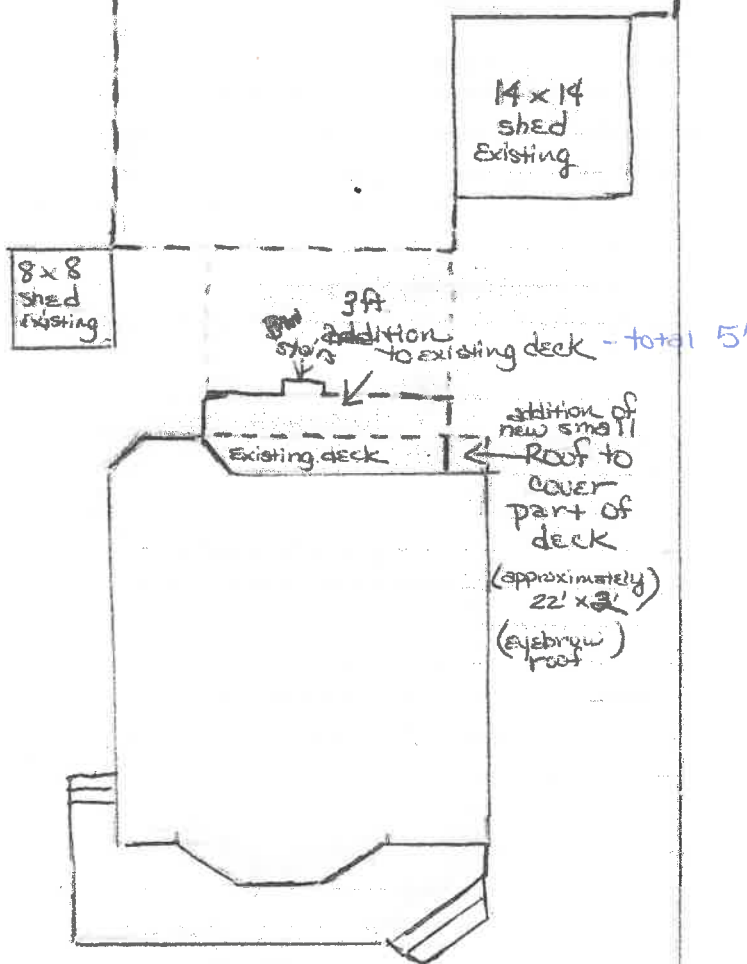
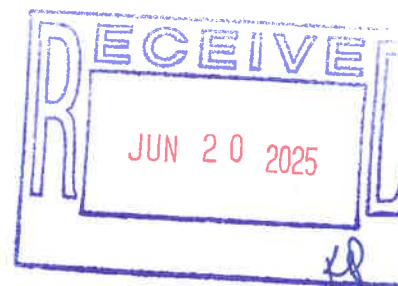
1,437.5 ft

16%

6/11/2025



↑ add
privacy
panels
to
existing
fence
→
south; east sides



File No. B425-085-048

Exhibit B

Date 6.20.25

Initials KP

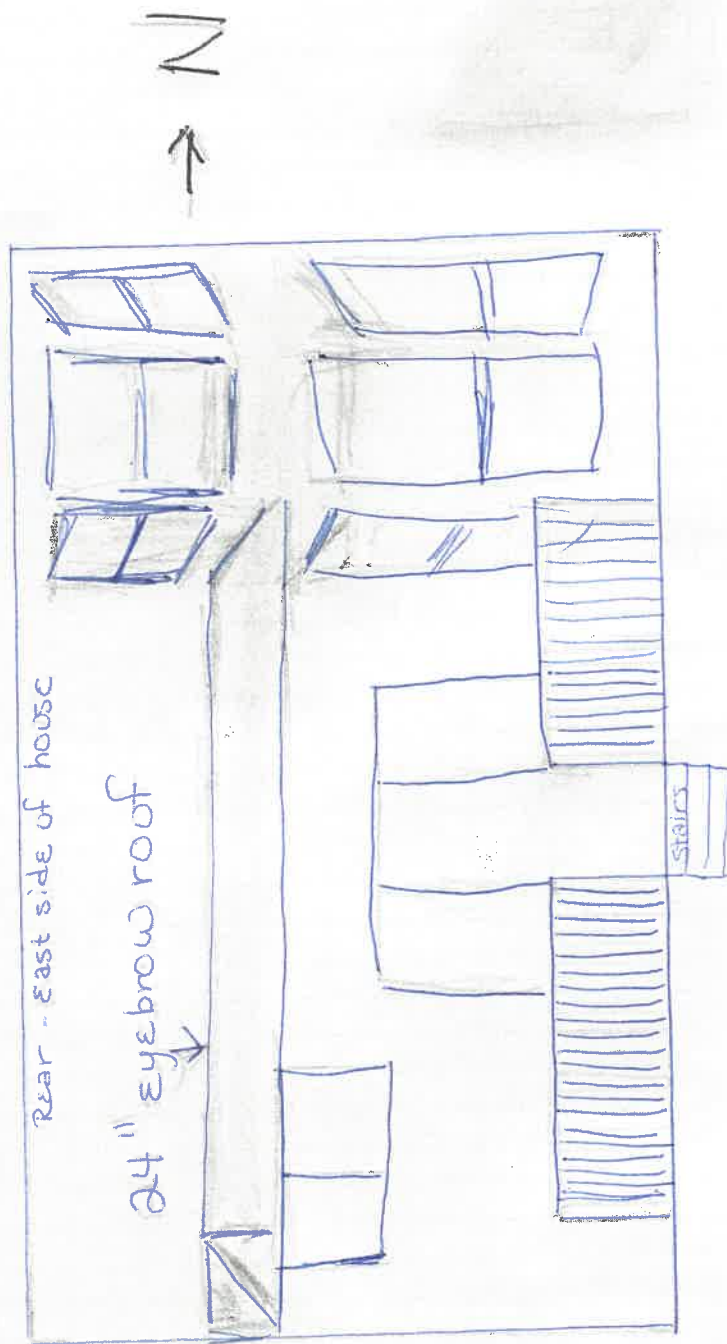
Cadotte Avenue

Cathy Arbib
2700 Cadotte Ave

6/11/05

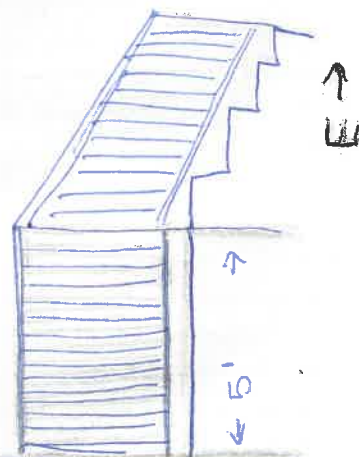
~~Design~~

sketch of railings, eyebrow roof

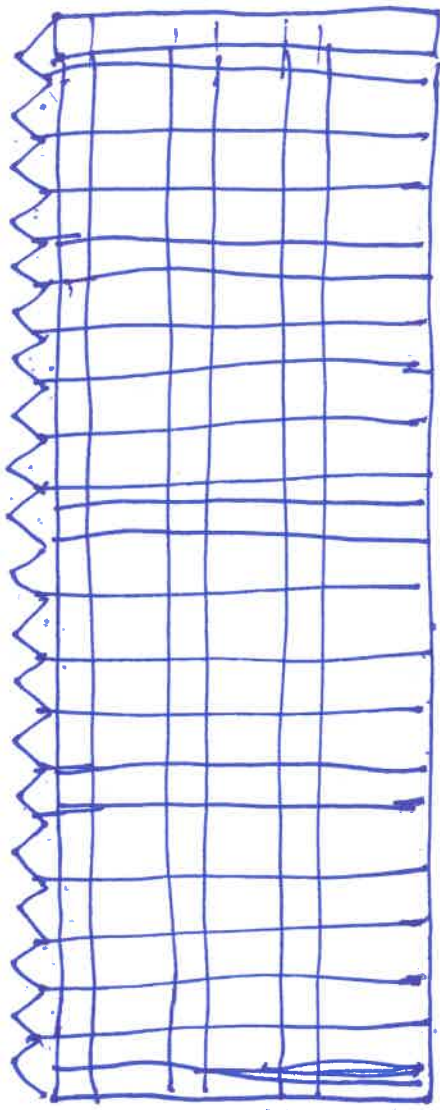


roof line to
match height
of front
porch
roof

Spindles + Railings to match
front porch



South
Side of
House



Wood privacy fence panels to be attached to existing fence (inside) on east & south sides of fence

File No. R425-085-048
Exhibit C
Date 6-20-25
Initials KP

RECEIVED
JUN 20 2025

File No. R425-085-048

Exhibit D

Date 6-20-25

Initials KP

→ N







← N

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

www.cityofmi.orgkep@cityofmi.org

906-847-6190

PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Tamara Burns

113 S. Fourth Ave, Ann Arbor, MI 48104

734-604-9312

tamara.burns@hopkinsburns.com

Phone Number

Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

GHMI RESORT HOLDINGS LLC; KSL CAPITAL PARTNERS LLC

100 ST PAUL ST. STE 800, DENVER, CO 80206

Is The Proposed Project Part of a Condominium Association?

NO

Is The Proposed Project Within a Historic Preservation District?

NO

Applicant's Interest in the Project (If not the Fee-Simple Owner):

ARCHITECT

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

NO

Is a Variance Required?

YES

Are REU's Required? How Many?

NO

Type of Action Requested:☒ Standard Zoning Permit☐ Appeal of Planning Commission Decision☒ Special Land Use☐ Ordinance Amendment/Rezoning☐ Planned Unit Development☐ Ordinance Interpretation☐ Other _____**Property Information:**

A. Property Number (From Tax Statement): 051-630-098-00

B. Legal Description of Property: ASSESSOR'S PLAT OF HARRISONVILLE LOT 98 *OLD NUMBER 625 019 00*

C. Address of Property: CADOTTE AVE, MACKINAC ISLAND, MI 49757

D. Zoning District: R-4 HARRISONVILLE RESIDENTIAL

E. Site Plan Checklist Completed & Attached: YES

F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) YES

G. Sketch Plan Attached: YES

H. Architectural Plan Attached: YES

I. Association Documents Attached (Approval of project, etc.): N/A

J. FAA Approval Documents Attached: N/A

K. Photographs of Existing and Adjacent Structures Attached: YES

Proposed Construction/Use:

A. Proposed Construction:

☒ New Building☐ Alteration/Addition to Existing Building☐ Other, Specify _____

File No. R425.098.051

Exhibit A

Date 6-24-25

Initials KP

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Proposed Use:

C. If Vacant:

Previous Use: Vacant Lot

Proposed Use: Multi-family Housing - 4 Units

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the ARCHITECT (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**

Signature 

SIGNATURES _____
Signature _____

TAMARA E.L. BURNS, PRINCIPAL
Please Print Name

Please Print Name

Signed and sworn to before me on the 20th day of June, 2025.

LUIS ESCUDERO-FLORES
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF WASHTENAW
My Commission Expires 10/23/2026
Acting in the County of Washtenaw


Notary Public

Washtenaw County, Michigan
My commission expires: 10/23/2026

Washitaw

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

Inspection	Date	Inspector	Comments
1.			
2.			
3.			

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: R425.098.051

FEE: \$2650 -

DATE: 6.24.25

CHECK NO: 6178

INITIALS: KL

Revised October 2023

NOTICE OF THE
CITY OF WASHINGTON
OFFICE OF THE
CITY CLERK

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review

Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | |
|---|-------------------------------------|-------------------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input type="checkbox"/> | <input type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|--------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|-------------------------------------|--------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features	<input checked="" type="checkbox"/>	<input type="checkbox"/>
23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
25. Description of Existing and proposed on-site lighting (see also Section 4.27)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<u>Utility Information</u>	See note regarding "Potential Demand" on cover sheet	
	<u>Provided</u>	<u>Not Provided or Applicable</u>
26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Architectural Review
Informational Requirements (Section 18.05)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

6/20/2025 5:16:00 PM S:\Projects\Grand Hotel\2024 Manager Housing\Drawings\Sheet\4th and CADOTTE-A24_Local.rvt

GRAND HOTEL - MANAGER HOUSING

Section X, Itemb.

COVER

2025.06.24

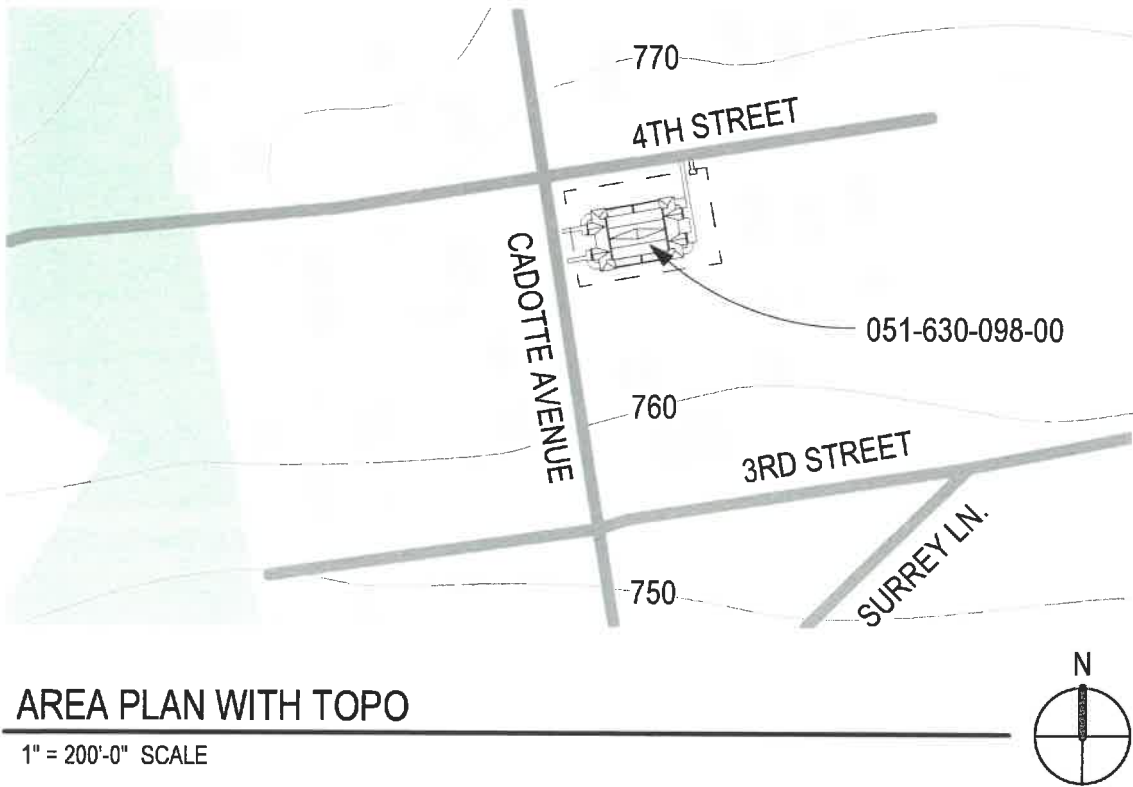
1" = 200'-0"

MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION

HopkinsBurns
historic preservation
communities by design

124

SUBMITTAL FOR PLANNING COMMISSION



Sheet List

- 00 COVER
- 01 SURVEY
- 02 SITE PLAN
- 03 FIRST FLOOR PLAN
- 04 SECOND FLOOR PLAN
- 05 ENLARGED 1ST FLOOR
- 06 ENLARGED 2ND FLOOR
- 08 EXTERIOR ELEVATIONS
- 09 EXTERIOR ELEVATIONS
- 10 SITE PHOTOS
- 11 SITE PHOTOS

Legal Description

ASSESSOR'S PLAT OF HARRISONVILLE LOT 98 *OLD NUMBER 625 019 00*

Zoning

ZONING DISTRICT: R-4 HARRISONVILLE RESIDENTIAL
USE GROUP: SPECIAL LAND USE - MULTI-FAMILY RESIDENTIAL

Utilities/Services

POTENTIAL DEMAND FOR:

- WATER
- SEWER
- TRASH

UTILITY PLANS MEETING JURISDICTIONAL REQUIREMENTS WILL BE PROVIDED UPON APPROVAL OF DENSITY OF PROJECT.

Historic District

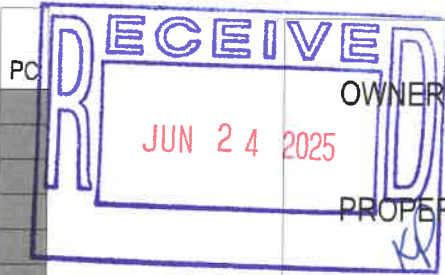
NONE

Construction

PROPOSED CONSTRUCTION START DATE: NOV., 2025
ESTIMATED DURATION OF CONSTRUCTION: 6 MONTHS

ARCHITECT

HopkinsBurns Design Studio
113 S Fourth Ave.
Ann Arbor, Michigan 48103
(734)424-3344
www.hopkinsburns.com



File No. R425-098-051
Exhibit D
Date 6-24-25
Initials KP

OWNER:

GHMI RESORT HOLDINGS LLC
KSL CAPITAL PARTNERS LLC

PROPERTY ADDRESS

CADOTTE AVE.
MACKINAC ISLAND, MI 49757

PARCEL #:

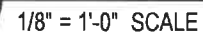
051-630-098-00

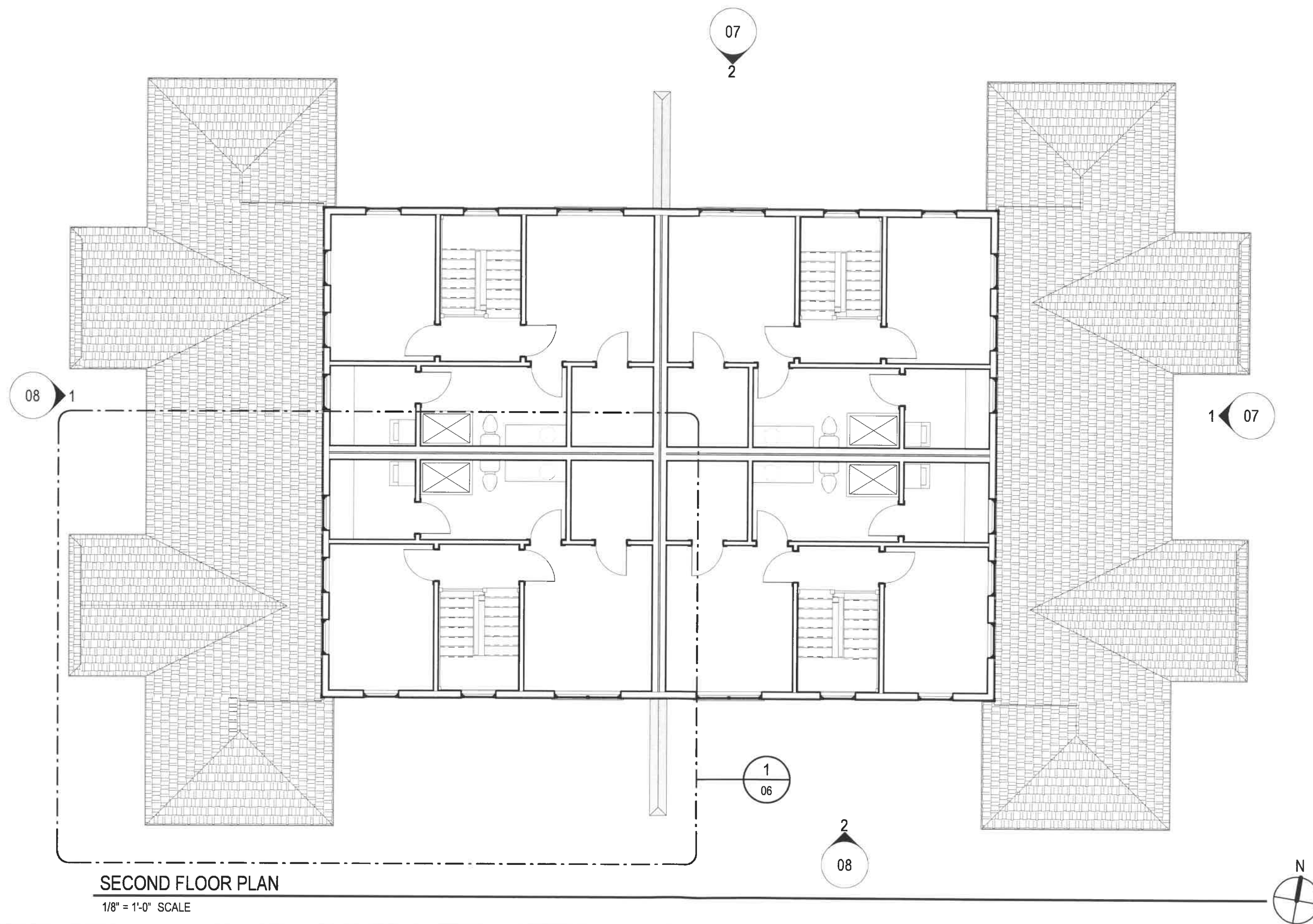
Project Description

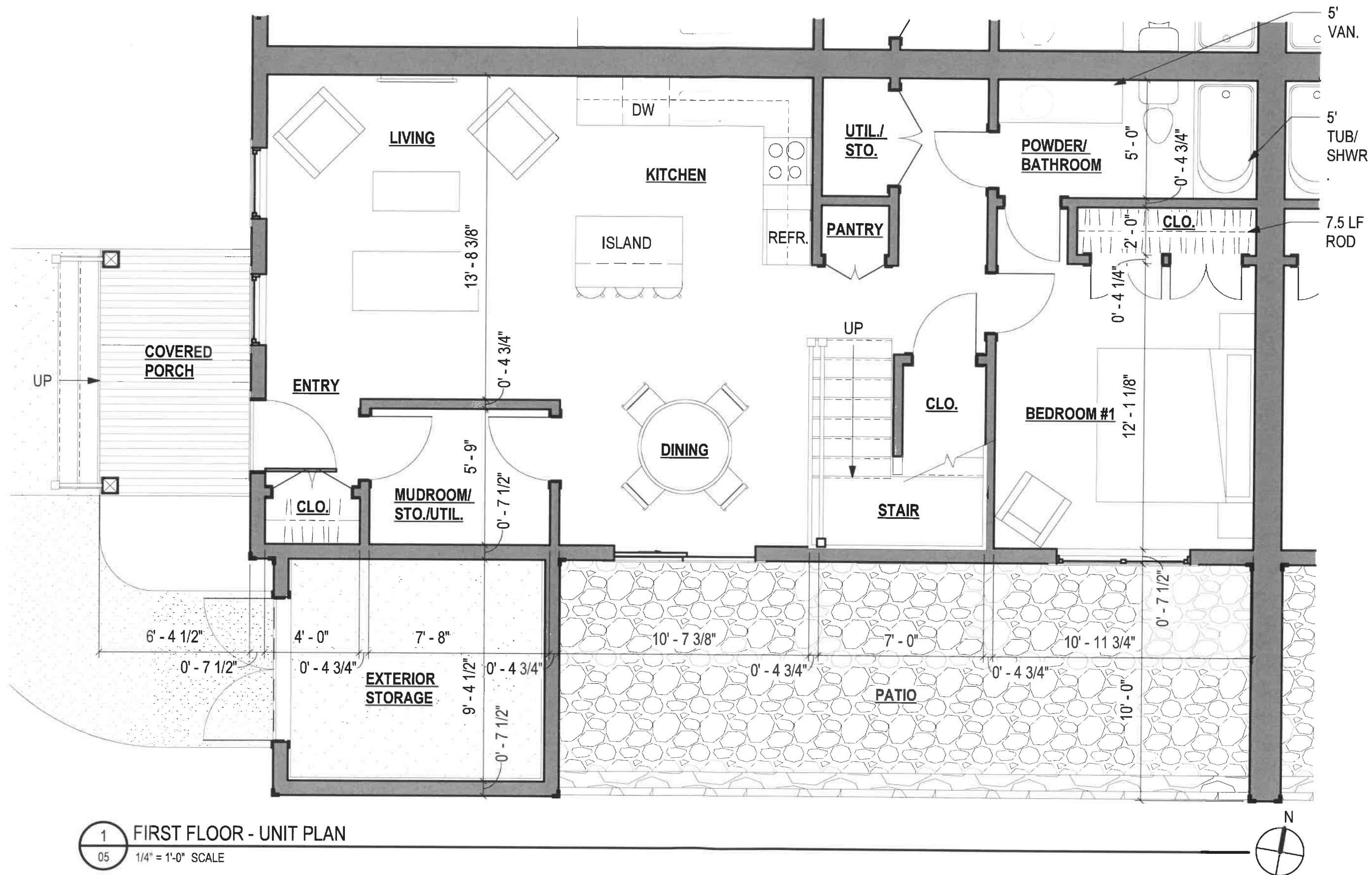
The project involves the construction of 4 attached dwelling units for use by managers at Grand Hotel. We are seeking a variance for 4 units, 1 unit more than the 3 units allowed. The building will feature four 2-story, 2-bedroom living quarters, each with front doors out to shared balconies and concrete walks. Each unit will have an enclosed exterior shed for bike parking and general storage and an exterior private patio.

Requirements

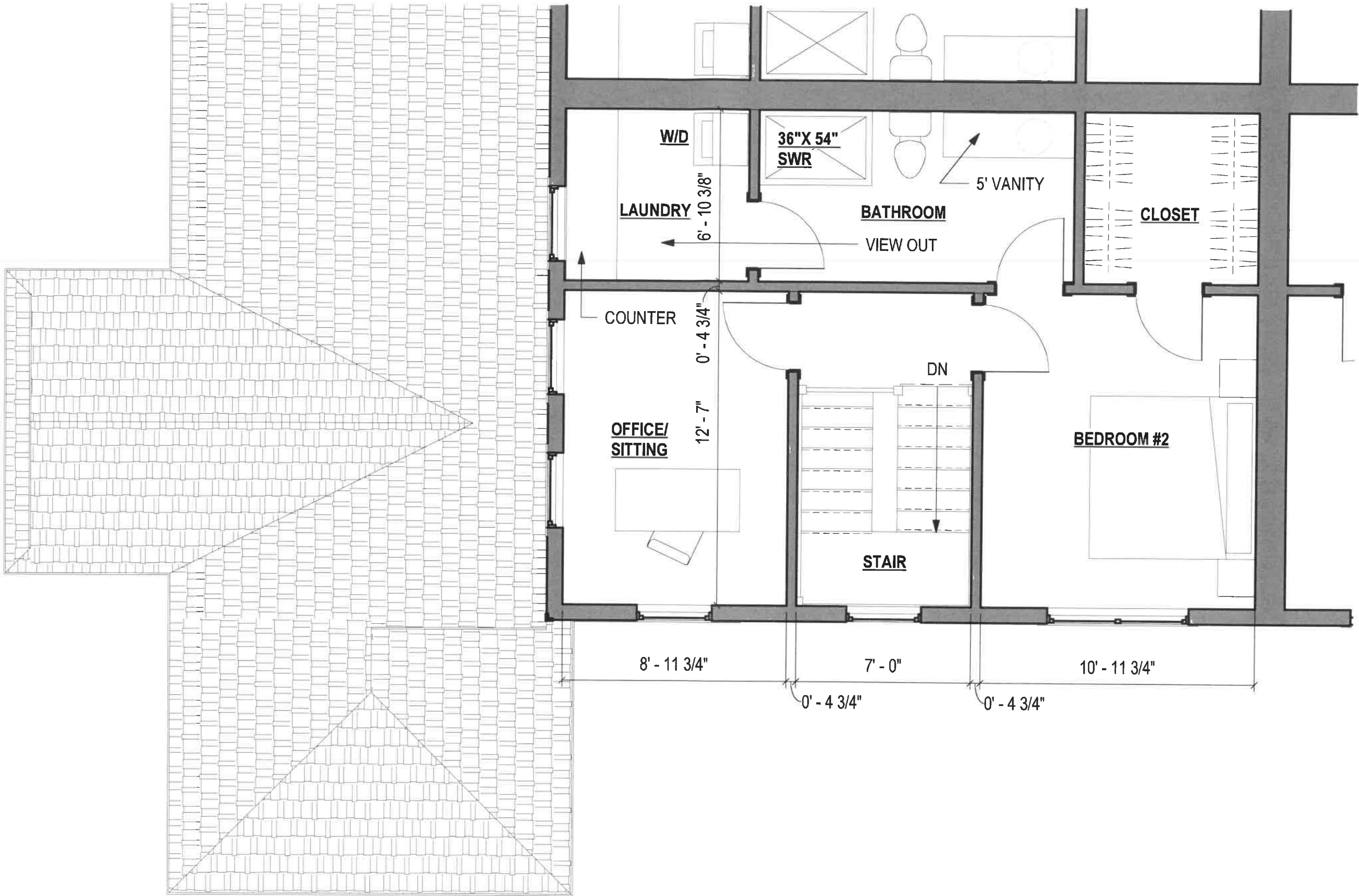
	ALLOWED	PROPOSED
DWELLING UNITS:	3	4
LOT SIZE:	REQ'D 10,000 SF	EXISTING 15,000 SF (0.344 AC.)
SETBACKS	REQ'D	PROPOSED
FRONT YARD	25'	25'
FRONT YARD (CORNER)	25'	25'
SIDE YARD	5'	12'-9"
REAR YARD	25'	39'
HEIGHT	ALLOWED	PROPOSED
STORIES MIN.	1	2
STORIES MAX.	2.5	2
FEET MIN.	12'	28'-10"
FEET MAX.	35'	28'-10"
LOT COVERAGE	ALLOWED	PROPOSED
SQ. FT. (INCLUDING PORCHES AND DECKS)	6,000	5,575
PERCENTAGE	40%	37.2%
GROSS SQUARE FOOTAGE		PROPOSED
1ST FLOOR		3,480
2ND FLOOR		2,080
TOTAL		5,560







1 SECOND FLOOR - UNIT PLAN
06 1/4" = 1'-0" SCALE

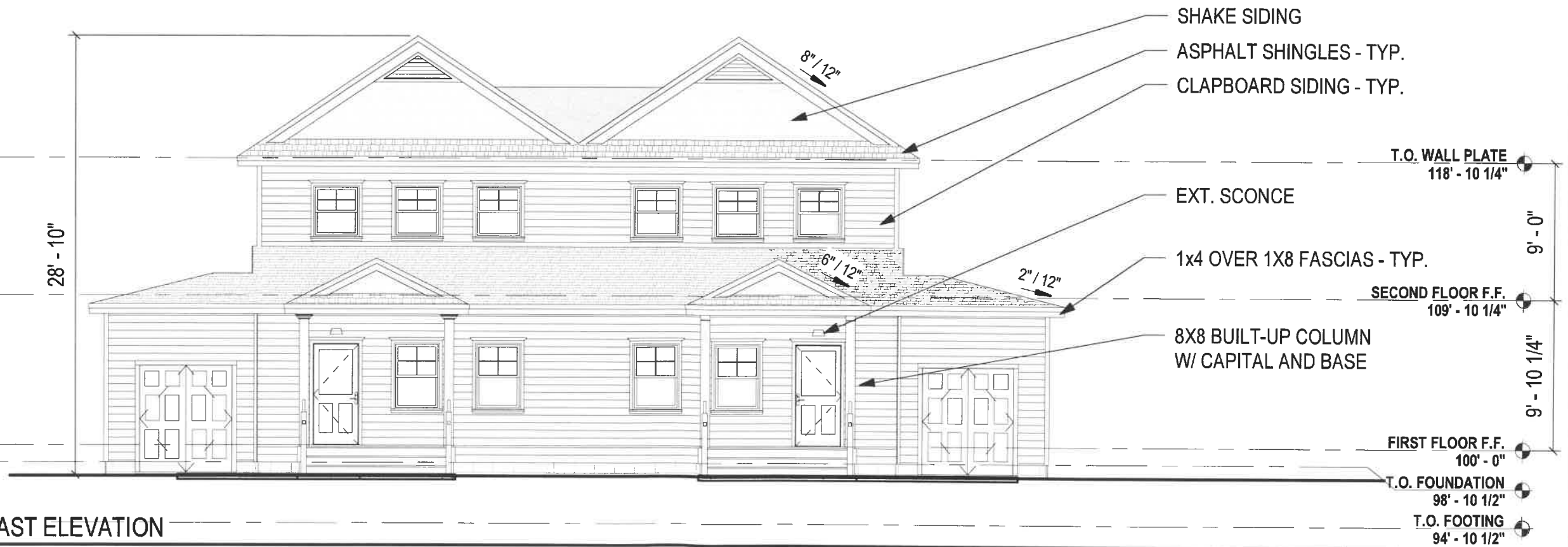


HopkinsBurns D historic preservation communities by design	MANAGER HOUSING 4TH ST. & CADOTTE AVE. PLANNING COMMISSION	Grand Hotel® SCALE: 1/4" = 1'-0" 2025.06.24	06 ENLARGED 2 FLOOR	Section X, Itemb.
				128

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2 NORTH ELEVATION
07 1/8" = 1'-0" SCALE



1 EAST ELEVATION
07 1/8" = 1'-0" SCALE

Section X, Itemb.

07
EXTERIOR
ELEVATIONS

Grand Hotel®
2025.06.24
SCALE: 1/8" = 1'-0"

MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION

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communities by design

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2 SOUTH ELEVATION
08 1/8" = 1'-0" SCALE



1 WEST ELEVATION
08 1/8" = 1'-0" SCALE

Section X, Itemb.

08
EXTERIOR
ELEVATIONS

Grand Hotel®
2025.06.24
SCALE: 1/8" = 1'-0"

MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION

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historic preservation & communities by design

130

VACANT LOT



3 TOWARD SOUTH-WEST
09 NO SCALE

VACANT LOT



1 TOWARD SOUTH-EAST
09 NO SCALE

VACANT LOT



2 TOWARD NORTH-EAST
09 NO SCALE



6 CADOTTE - CONTEXT - NEARBY EAST
10 NO SCALE



5 CADOTTE - CONTEXT - NEARBY - SOUTH
10 NO SCALE



4 CADOTTE - CONTEXT - NEARBY
10 NO SCALE



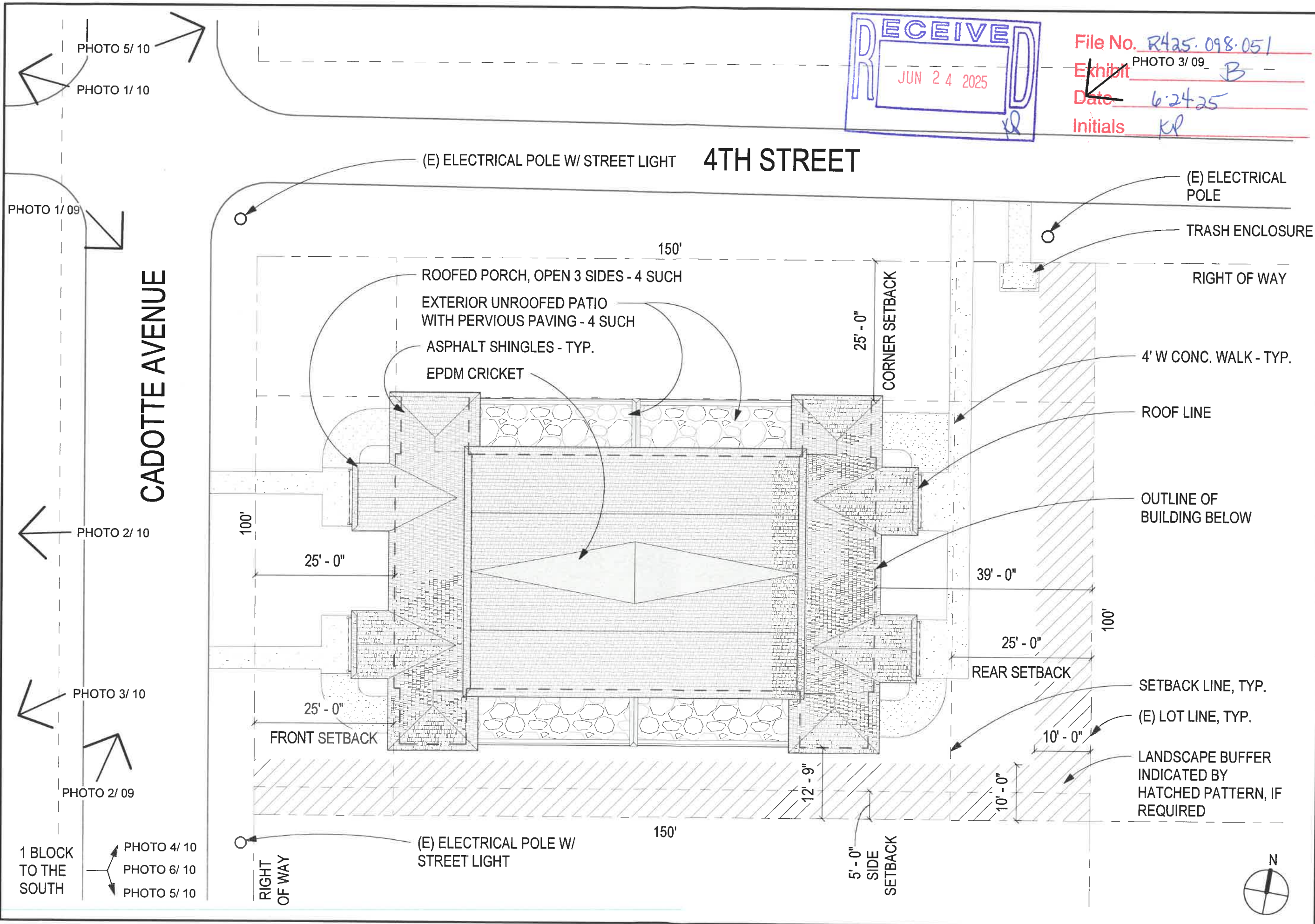
3 CADOTTE - CONTEXT - SOUTH-WEST
10 NO SCALE



2 CADOTTE - CONTEXT - WEST
10 NO SCALE



1 CADOTTE - CONTEXT - NORTH-WEST
10 NO SCALE



ITEMS CORRESPONDING TO SCHEDULE B-II

12. Oil, gas, mineral and agricultural interests reserved by the State of Michigan and the terms, covenants and provisions contained in instruments recorded in Liber 122, page 343, as to Parcel 1, B and 33.
- Item does not reference subject property and is not shown hereon.
- The exception does not constitute a statement as to the ownership of this interest or right. There may be leases, grants, reservations or other interests that are not listed.
13. Covenants, conditions, restrictions and other provisions but omitting restrictions, if any, based on race, color, religion, sex, handicap, familial status or national origin as contained in instrument recorded in Liber 112, page 63, as to Parcel 33.
- Item does not reference subject property and is not shown hereon.
- Schedule B, Part II items 1, 11 and 14, 18 are not survey related.

LEGEND OF SYMBOLS & ABBREVIATIONS

FOUND SECTION CORNER	◆
FOUND 5/8" IRON	●
SET 5/8" IRON	●
POWER POLE	⊙
FLAG POLE	⊙
LIGHT POLE	⊙
ELECTRIC TRANSFORMER BOX	⊙
ELECTRIC MANHOLE	⊙
GAS METER	⊙
TELEPHONE PEDESTAL	⊙
ELECTRIC METER	⊙
WATER VALVE	⊙
FIRE HYDRANT	⊙
SANITARY MANHOLE	⊙
STORM CATCH BASIN (SQUARE)	⊙
STORM CATCH BASIN (ROUND)	⊙
STORM SEWER MANHOLE	⊙
MAIL BOX	⊙
OVERHEAD ELECTRIC	—E—E—
UNDERGROUND ELECTRIC	—UE—UE—
UNDERGROUND CABLE TV	—UCTV—
UNDERGROUND TELEPHONE	—UT—UT—
UNDERGROUND GAS	—G—G—
FENCE	—X—X—
BUILDING LINE	—
GRAVEL	—
CONCRETE	—



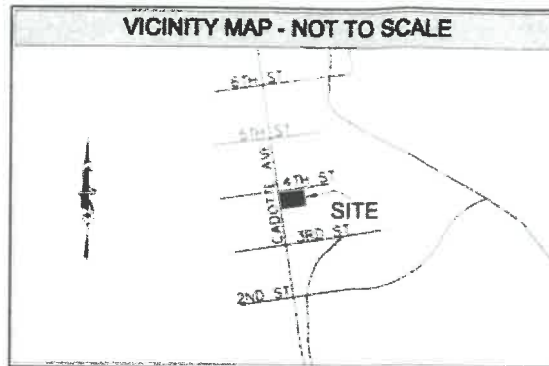
ZONING INFORMATION

The subject property is zoned "R-4" - Harrisonville Residential District of the City of Mackinac Island.

Front Setback: 25' minimum or in line with adjacent residences
Side Setback: 5' minimum on one side and 10' minimum on the other
Rear Setback: 25' minimum
Maximum Lot Coverage: No Requirement Noted
Minimum Lot Width: 15'
Minimum Lot Depth: No Requirement Noted
Minimum Lot Area: 10,000 sq. ft.
Maximum Building Height: No principal building shall be less than 12 feet in height, nor shall any building exceed 35 feet, or 2 1/2 stories, in height.
Maximum Floor Area Ratio: No Requirement Noted
Maximum Density: 10 dwelling units/acre
Parking Formula: Motor Vehicles not allowed.

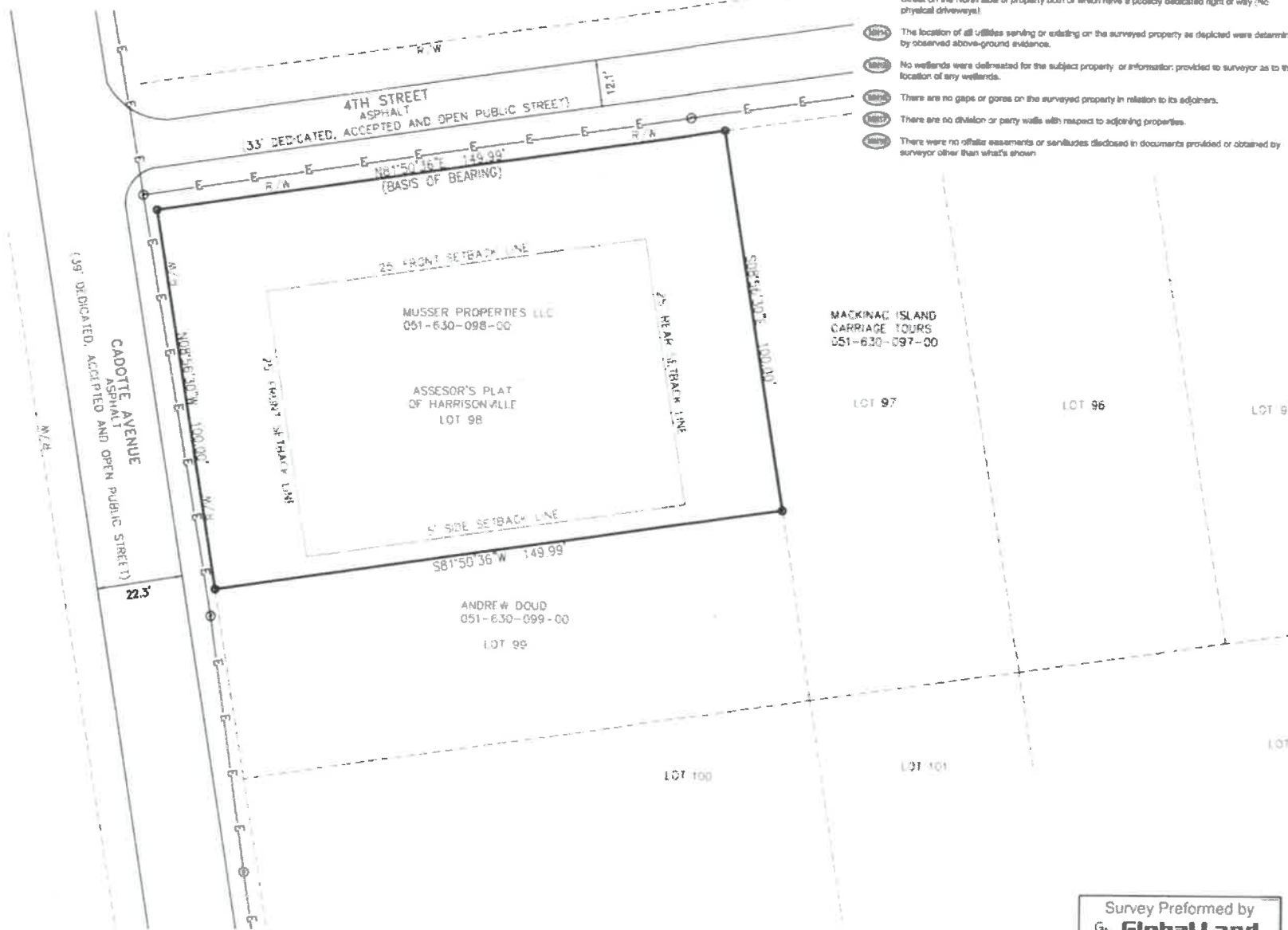
The zoning information shown above was provided by NVS Transaction Services - Zoning Division in the Zoning Information Project for (Parcel: 051-630-098-00) Cadotte Avenue, Report #201901336-028 having a date of effect of September 13, 2019 pursuant to Item 8c of Table A.

VICINITY MAP - NOT TO SCALE



MISCELLANEOUS NOTES

- 1001 Some features shown on this plat may be shown out of scale for clarity.
- 1002 Dimensions on this plat are expressed in feet and decimal parts thereof unless otherwise noted. Bearings are referred to an assumed meridian and are used to denote angles only. Monuments were found at points where indicated.
- 1003 The basis of bearings is N 81°50'36" E being the northerly line of Lot 98, Assessor's Plat of Harrisonville, Liber 4 of Plats, Page 84, 85, 86, 87, 88 and 89.
- 1004 All of the various survey monuments shown on this plat as found and/or used are in good condition apparently undisturbed, unless otherwise noted.
- 1005 At the time of survey, there was no observable evidence of earth moving work, building construction or building additions.
- 1006 At the time of survey, there were no changes in street right of way lines or observable evidence of street or sidewalk repairs.
- 1007 At the time of survey, there was no observable evidence of substantial areas of refuse.
- 1008 At the time of survey, the site is not being used as a cemetery, grave site or burial ground.
- 1009 All field measurements matched record dimensions within the precision requirements of ALTA/NSPS specifications unless otherwise shown.
- 1010 Subject parcels contain 0.34 Acres (14,907.50 square feet), more or less.
- 1011 There were 0 regular parking spaces and 0 disabled parking spaces observed in the field. Total parking spaces of 0.
- 1012 Address for subject property is Vacant Cadotte Avenue, Mackinac Island, MI 49757 per documents provided.
- 1013 The subject property has direct access to Cadotte Avenue on the West side of property and 4th Street on the North side of property both of which have a publicly dedicated right of way. (No physical driveways).
- 1014 The location of all utilities serving or existing on the surveyed property as depicted were determined by observed above-ground evidence.
- 1015 No wetlands were delineated for the subject property or information provided to surveyor as to the location of any wetlands.
- 1016 There are no gaps or gorges on the surveyed property in relation to its adjacencies.
- 1017 There are no division or party walls with respect to adjoining properties.
- 1018 There were no official easements or servitudes disclosed in documents provided or obtained by surveyor other than what's shown.



FLOOD NOTE

FEMA has not completed a study to determine flood hazard for the selected location, therefore a flood note has not been published at this time. You can contact your community or the FEMA FIRM for more information about flood risk and flood insurance in your community.

PROJECT REVISION RECORD

DATE	DESCRIPTION	DATE	DESCRIPTION
08/22/2019	FIRST DRAFT	10/04/2019	NETWORK COMMENTS
09/18/2019	NETWORK COMMENTS	10/14/2019	NETWORK COMMENTS
09/27/2019	NETWORK COMMENTS	11/21/2019	NETWORK COMMENTS
FILED WORK, Draw	DRAFTED: CLS	CHECKED BY: JMS	FB & PG

SIGNIFICANT OBSERVATIONS

NONE OBSERVED AT TIME OF FIELD SURVEY

LEGAL

THE USE OF THIS DOCUMENT'S FORMAT IS STRICTLY PROHIBITED AND CONTINGENT UPON THE WRITTEN CONSENT AND PERMISSION OF BOCK & CLARK CORPORATION, AN NVS COMPANY. © 2018 BOCK & CLARK CORPORATION, AN NVS COMPANY.

THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE, SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION.

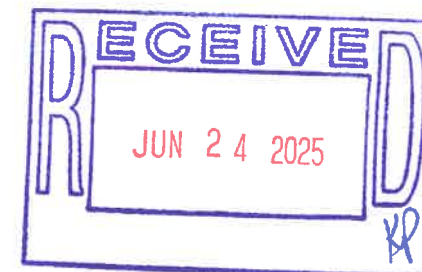
RECORD DESCRIPTION

Section X, Itemb.

Land in the City of Mackinac Island, Mackinac County, MI, described as follows:
PARCELS: 33,
Lot 5 and 6 Block 7 of HOBAN'S PLAT OF A PORTION OF PRIVATE CLAIM 110, now known as Lot 98 of ASSESSOR'S PLAT OF HARRISONVILLE, according to the plat thereof as recorded in Liber 4 of Plats, pages 84, 85, 86, 87, 88 and 89, Mackinac County Records.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 855437, DATED AUGUST 06, 2019 8:00AM.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE ALSO THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 861545, DATED JULY 19, 2019 @ 8:00 AM AS TO MACKINAC COUNTY AND JULY 05, 2019 @ 8:00 AM AS TO INGHAM COUNTY.



File No. R425-098-051

Exhibit C

Date 6-24-25

Initials KP

ALTA/NSPS LAND TITLE SURVEY

The Grand Hotel
NVS Project No. 201903352-28

Vacant Cadotte Avenue, Mackinac Island, MI

based upon Title Commitment No. 855437
of First American Title Insurance Company
bearing an effective date of August 06, 2019 8:00AM

Surveyor's Certification

To: Wells Fargo Bank, National Association, as Administrative Agent, for the benefit of itself and the Lenders, and each of its successors and assigns; GHM RESORT HOLDINGS, LLC, a Delaware limited liability company; MUSSEY REALTY CORPORATION, a Michigan corporation; GRAND HOTEL LLC, a Michigan limited liability company; GRAND HOTEL PROPERTIES, LLC, a Michigan limited liability company; MACKINAC HOLDING COMPANY, LLC, a Michigan limited liability company; MUSSEY PROPERTIES, LLC, a Michigan limited liability company; KSL Capital Partners, LLC, Partners Cole LLP, First American Title Insurance Company and Bock & Clark Corporation, an NVS Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2018 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 13, 14, 16, 17, 18, 19 and 20 of Table A thereof. The fieldwork was completed on August 2, 2019.

JAY M. SCHWANDT, P.S., J.D.
REGISTRATION NO. 47974
IN THE STATE OF MICHIGAN
DATE OF FIELD SURVEY: AUGUST 2, 2019
DATE OF LAST REVISION: NOVEMBER 21, 2019
NETWORK PROJECT NO. 201903352-28 AAC



SHEET 1 OF 1

Bock & Clark Corporation
an NVS Company

NVS

Transaction Services 1-800-SURVEYS (787-8397)

3550 W. Market Street, Suite 200, Akron, Ohio 44333

www.BockandClark.com maywehelpyou@bockandclark.com www.NVS

SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT

File No. R425-098-052
Exhibit B
Date 6-24-25
Initials KP

PHOTO 3 / 07
JUN 24 2025

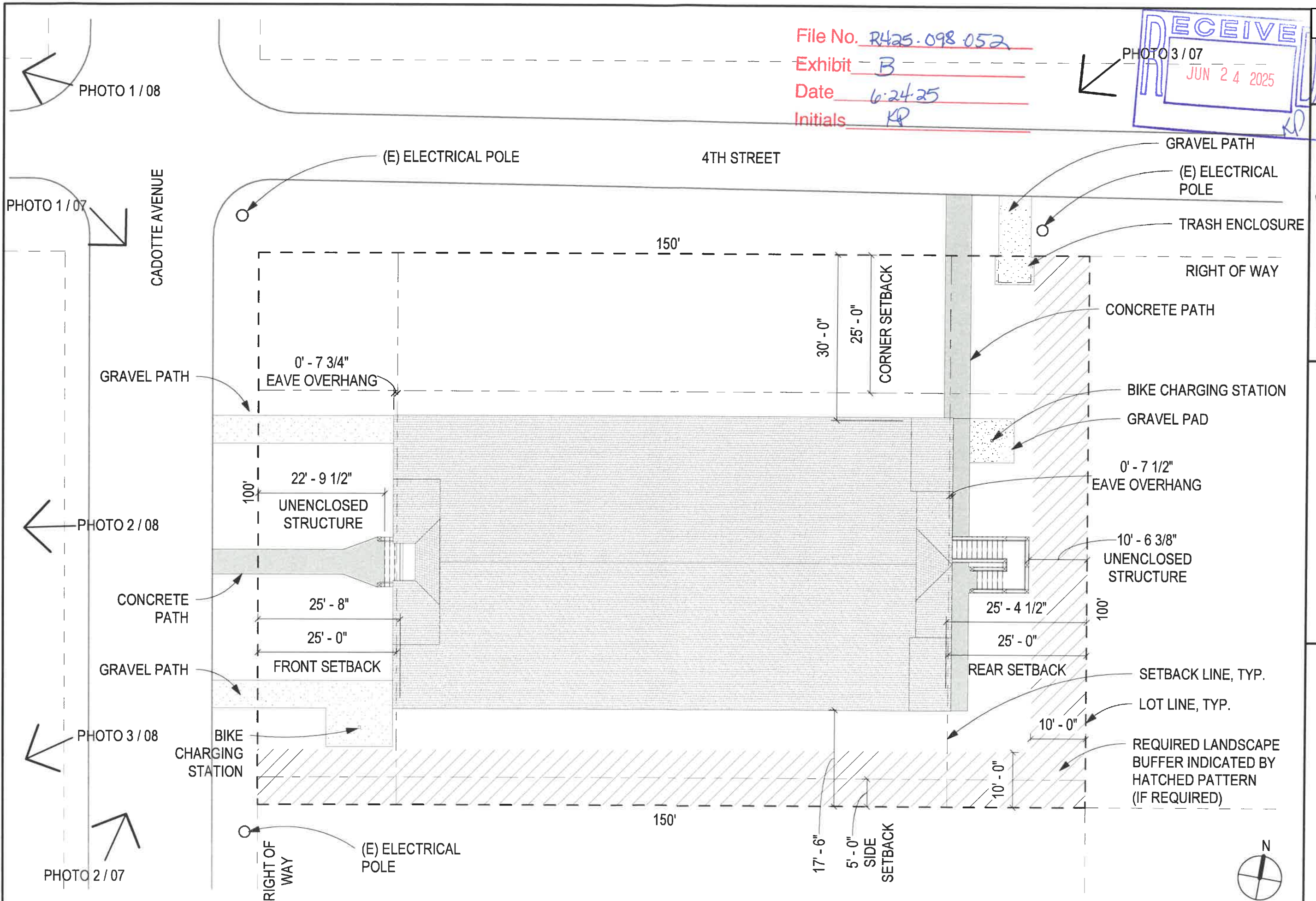
02
SITE PLAN

Grand Hotel®
SCALE: 1/16" = 1'-0" 2025.06.24

**MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION**

HopkinsBurns
D
historic preservation & communities by design

36

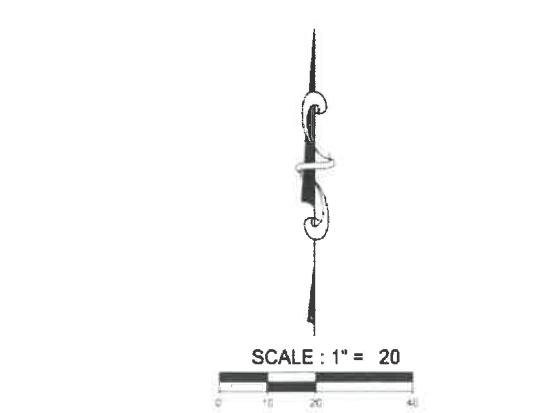


ITEMS CORRESPONDING TO SCHEDULE B-II

1. Oil, gas, mineral and aboriginal antiquities reserved by the State of Michigan and the terms, covenants and provisions contained in instrument recorded in Liber 102, page 343, as to Parcel 7, 9 and 33.
- Item does not reference subject property and is not shown hereon.
- This exception does not constitute a statement as to the ownership of this interest or right. There may be leases, grants, exceptions or reservations of such interests that are not listed.
13. Covenants, conditions, restrictions and other provisions but omitting restrictions, if any, based on race, color, religion, sex, handicap, marital status or national origin as contained in instrument recorded in Liber 112, page 63, as to Parcel 33.
- Item does not reference subject property and is not shown hereon.
- Schedule B Part II Items 1, 11 and 14 - 18 are not survey related.

LEGEND OF SYMBOLS & ABBREVIATIONS

- FOUND SECTION CORNER
- FOUND 5/8" IRON
- SET 5/8" IRON
- POWER POLE
- FLAG POLE
- LIGHT POLE
- ELECTRIC TRANSFORMER BOX
- ELECTRIC MANHOLE
- GAS METER
- TELEPHONE PEDESTAL
- ELECTRIC METER
- WATER VALVE
- FIRE HYDRANT
- SANITARY MANHOLE
- STORM CATCH BASIN (SQUARE)
- STORM CATCH BASIN (ROUND)
- STORM SEWER MANHOLE
- MAIL BOX
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- UNDERGROUND CABLE TV
- UNDERGROUND TELEPHONE
- UNDERGROUND GAS
- FENCE
- BUILDING LINE
- GRAVEL
- CONCRETE



FLOOD NOTE

FEMA has not completed a study to determine flood hazard for the selected location; therefore, a flood map has not been published at this time. You can contact your community or the FEMA FMIX for more information about flood risk and flood insurance in your community.

PROJECT REVISION RECORD

DATE	DESCRIPTION	DATE	DESCRIPTION
08/22/2019	FIRST DRAFT	10/04/2019	NETWORK COMMENTS
09/16/2019	NETWORK COMMENTS	10/14/2019	NETWORK COMMENTS
09/27/2019	NETWORK COMMENTS	11/21/2019	NETWORK COMMENTS
FIELD WORK: Drew	DRAFTED: CLS	CHECKED BY: JMS	FB & PG

SIGNIFICANT OBSERVATIONS

NONE OBSERVED AT TIME OF FIELD SURVEY

LEGAL

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THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION.

ZONING INFORMATION

The subject property is zoned "R-4" - Harrisonville Residential District of the City of Mackinac Island.

Front Setback: 25' minimum or in line with adjacent residences.
Side Setback: 5' minimum on one side and 10' minimum on the other.
Rear Setback: 25' minimum.
Minimum Lot Coverage: No Requirement Noted.
Minimum Lot Width: 75'.
Minimum Lot Depth: No Requirement Noted.
Minimum Lot Area: 10,000 sq. ft.
Maximum Building Height: No principal building shall be less than 12 feet in height, nor shall any building exceed 35 feet, or 2 1/2 stories, in height.
Maximum Floor Area Ratio: No Requirement Noted.
Maximum Density: 10 dwelling units/acre.
Parking Formula: Motor Vehicles not allowed.

The zoning information shown above was provided by NVS Transaction Services - Zoning Division in the Zoning Information Project for (Parcel: 051-630-098-00) Cadotte, Report #7201901836-028 having a date of effect of September 13, 2019, pursuant to Item 6b of Table A.

VICINITY MAP - NOT TO SCALE



MISCELLANEOUS NOTES

1. Some features shown on this plat may be shown out of scale for clarity.
2. Dimensions on this plat are expressed in feet and decimal parts thereof unless otherwise noted. Bearings are referred to an assumed meridian and are used to denote angles only. Monuments were found at points where indicated.
3. The basis of bearings is N 61°50'36" E being the northerly line of Lot 98, Assessor's Plat of Harrisonville, Liber 4 of Plats, Page 84, 85, 86, 87, 88 and 89.
4. All of the various survey monuments shown on this plat as found and/or used are in good condition, apparently undisturbed, unless otherwise noted.
5. At the time of survey, there was no observable evidence of earth moving work, building construction, or building additions.
6. At the time of survey, there were no changes in street right of way lines or observable evidence of street or sidewalk repairs.
7. At the time of survey, there was no observable evidence of substantial areas of refuse.
8. At the time of survey, the site is not being used as a cemetery, grave site or burial ground.
9. All field measurements matched record dimensions within the precision requirements of ALTA/NSPS specifications unless otherwise shown.
10. Subject parcels contain 0.34 Acres (14,997.59 square feet), more or less.
11. There were 0 regular parking spaces and 0 disabled parking spaces observed in the field. Total parking spaces of 0.
12. Address for subject property is Vacant Cadotte Avenue, Mackinac Island, MI 49757, per documents provided.
13. The subject property has direct access to Cadotte Avenue on the West side of property and 4th Street on the North side of property both of which have a publicly dedicated right of way (No physical driveways).
14. The location of all utilities serving or existing on the surveyed property as depicted were determined by observed above-ground evidence.
15. No wetlands were delineated for the subject property, or information provided to surveyor as to the location of any wetlands.
16. There are no gaps or gores on the surveyed property in relation to its adjointers.
17. There are no division or party walls with respect to adjoining properties.
18. There were no offsite easements or servitudes disclosed in documents provided or obtained by surveyor other than what's shown.

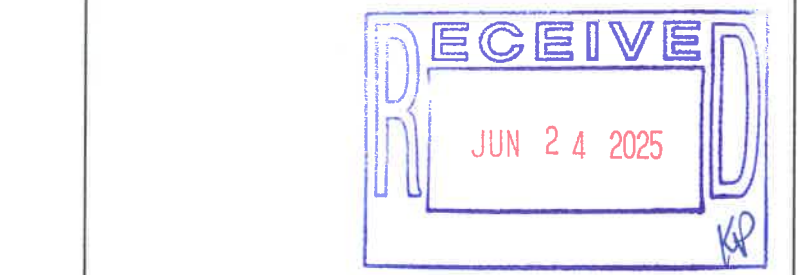
RECORD DESCRIPTION

Land in the City of Mackinac Island, Mackinac County, MI described as follows:

PARCEL 33:
Lot 5 and 6, Block 7, of HOBAN'S PLAT OF A PORTION OF PRIVATE CLAIM 110, now known as Lot 98, 37 ASSESSOR'S PLAT OF HARRISONVILLE, according to the plat thereof as recorded in Liber 4 of Plats, pages 84, 85, 86, 87, 88 and 89, Mackinac County Records.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 855437, DATED AUGUST 06, 2019 @ 8:00AM.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE ALSO THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 861545, DATED JULY 19, 2019 @ 8:00 AM, AS TO MACKINAC COUNTY, AND JULY 05, 2019 @ 9:00 AM, AS TO INGHAM COUNTY.



File No. R425-098-052

Exhibit C

Date 6-24-25

Initials KP

ALTA/NSPS LAND TITLE SURVEY

The Grand Hotel
NV5 Project No. 201903352-28

Vacant Cadotte Avenue, Mackinac Island, MI

based upon Title Commitment No. 855437
of First American Title Insurance Company
bearing an effective date of August 06, 2019 @ 8:00AM

Surveyor's Certification

To: Wells Fargo Bank, National Association, as Administrative Agent, for the benefit of itself and the Lenders, and each of its successors and assigns; GHM RESORT HOLDINGS, LLC, a Delaware limited liability company; MUSSEY REALTY CORPORATION, a Michigan corporation; GRAND HOTEL LLC, a Michigan limited liability company; GRAND HOTEL PROPERTIES, LLC, a Michigan limited liability company; MACKINAC HOLDING COMPANY, LLC, a Michigan limited liability company; MUSSEY PROPERTIES, LLC, a Michigan limited liability company; KSL Capital Partners, LLC; Perkins Cole LLP; First American Title Insurance Company and Bock & Clark Corporation, an NVS Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(e), 13, 14, 16, 17, 18, 19 and 20 of Table A thereof. The fieldwork was completed on August 2, 2019.

JAY M. SCHWANDT, P.S., J.D.
REGISTRATION NO. 47974
IN THE STATE OF MICHIGAN
DATE OF FIELD SURVEY: AUGUST 2, 2019
DATE OF LAST REVISION: NOVEMBER 21, 2019
NETWORK PROJECT NO. 201903352-28 AAC

02-04-2020
DATE

JAY M. SCHWANDT
PROFESSIONAL SURVEYOR
No. 47974

STATE OF MICHIGAN
LICENSED PROFESSIONAL SURVEYOR

SHEET 1 OF 1

Bock & Clark Corporation
an NVS Company

NVS

Transaction Services 1-800-SURVEYS (787-8397)
3550 W. Market Street, Suite 200, Akron, Ohio 44333
www.BockandClark.com maywehelpyou@bockandclark.com www.NVS.com

SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT

6/20/2025 4:22:50 PM S:\Projects\Grand Hotel\2024 Manager Housing\Drawings\Sheet\4th and CADOTTE-A24_Local_12 units.rvt

GRAND HOTEL - MANAGER HOUSING

Section X, Itemc.

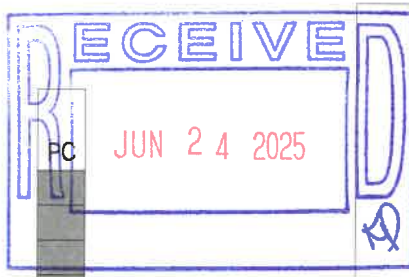
00 COVER

SUBMITTAL FOR PLANNING COMMISSION



Sheet List

- 00 COVER
- 01 SURVEY
- 02 SITE PLAN
- 03 FIRST FLOOR PLAN
- 04 SECOND FLOOR PLAN
- 05 EXTERIOR ELEVATIONS
- 06 EXTERIOR ELEVATIONS
- 07 SITE PHOTOS
- 08 SITE PHOTOS



OWNER: GHMI RESORT HOLDINGS LLC
KSL CAPITAL PARTNERS LLC

PROPERTY ADDRESS: CADOTTE AVE.
MACKINAC ISLAND, MI 49757

PARCEL #: 051-630-098-00

Project Description

The project involves the construction of 12 dwelling units, each with front doors out to shared balconies and concrete walks. The East end will have covered bike parking for all occupants and an electrical/mechanical room. Two charging stations will also be provided for electric bikes/scooters.

Legal Description

ASSESSOR'S PLAT OF HARRISONVILLE LOT 98 *OLD NUMBER 625 019 00*

Zoning

ZONING DISTRICT: R-4 HARRISONVILLE RESIDENTIAL
USE GROUP: SPECIAL LAND USE - MULTI-FAMILY RESIDENTIAL

Utilities/Services

POTENTIAL DEMAND FOR:

- WATER
- SEWER
- TRASH

UTILITY PLANS MEETING JURISDICTIONAL REQUIREMENTS WILL BE PROVIDED UPON APPROVAL OF DENSITY OF PROJECT.

Historic District

NONE

Construction

PROPOSED CONSTRUCTION START DATE: NOV., 2025
ESTIMATED DURATION OF CONSTRUCTION: 6 MONTHS

ARCHITECT

HopkinsBurns Design Studio
113 S Fourth Ave.
Ann Arbor, Michigan 48103
(734)424-3344
www.hopkinsburns.com

Requirements

	ALLOWED	PROPOSED
DWELLING UNITS:	3	12
LOT SIZE:	REQ'D 10,000 SF	EXISTING 15,000 SF (0.344 AC.)
SETBACKS	REQ'D	PROPOSED
FRONT YARD	25'	25' - 8"
FRONT YARD (CORNER)	25'	30'
SIDE YARD	5'	17' - 6"
REAR YARD	25'	25' - 4 1/2"
HEIGHT	ALLOWED	PROPOSED
STORIES MIN.	1	2
STORIES MAX.	2.5	2
FEET MIN.	12'	31' - 6 1/2"
FEET MAX.	35'	31' - 6 1/2"
LOT COVERAGE	ALLOWED	PROPOSED
SQ. FT. (INCLUDING PORCHES AND DECKS)	6,000	5,929
PERCENTAGE	40%	39.5%
GROSS SQUARE FOOTAGE		PROPOSED
1ST FLOOR		3,970
2ND FLOOR		3,720
TOTAL		7,690



AREA PLAN
1" = 200'-0" SCALE

Grand Hotel®

2025.06.24
SCALE: 1" = 200'-0"

MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION

HopkinsBurns
historic preservation
communities by design

COVERED CONCRETE
WALKWAY AROUND BUILDING

6X6 WOOD COLUMNS

TYP. OF 6 APARTMENTS
ENTRY DOOR
(2) DOUBLE HUNG WINDOW

GRAVEL PATH

WOOD STAIR TO SECOND
FLOOR, TYP. OF 2

CONCRETE PATH

WOOD ENTRY STAIR

WOOD PORCH LANDING

WOOD STAIR TO PORCH
LANDING, TYP. OF 2

GRAVEL PAD AND PATH

BIKE CHARGING STATION

CONCRETE PATH

GRAVEL PAD

BIKE CHARGING
STATION

COVERED BIKE PARKING

ELECTRICAL/MECHANICAL ROOM

WOOD STAIR - EGRESS FROM
SECOND FLOOR

COVERED BIKE PARKING

FIRST FLOOR PLAN

3/32" = 1'-0" SCALE



Section X, Itemc.

03
FIRST FLOOR
PLAN

Grand Hotel®

2025.06.24

SCALE: 3/32" = 1'-0"

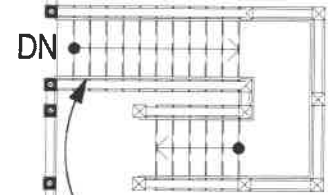
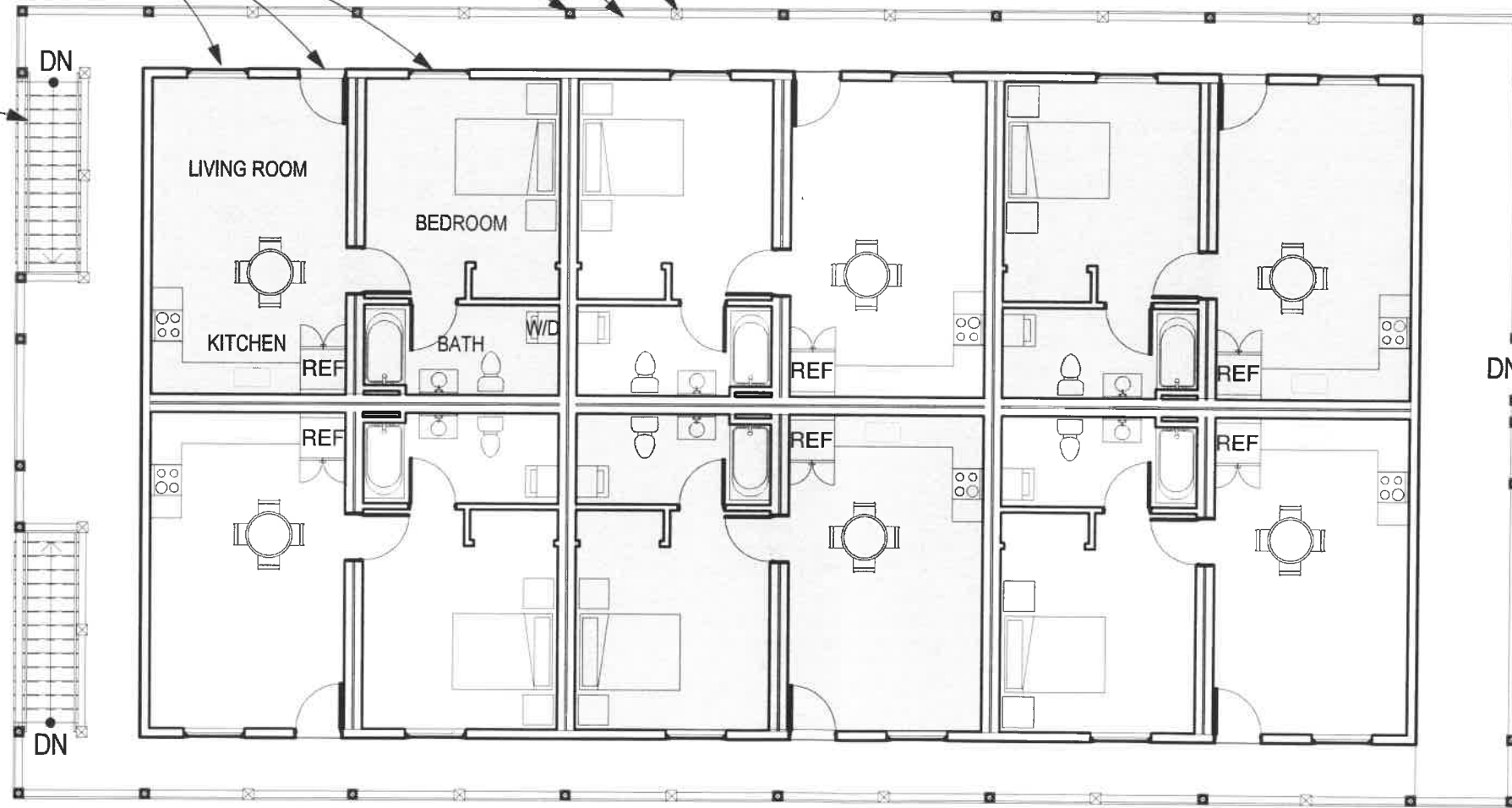
MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION

HopkinsBurns
historic preservation & communities by design

- 42" WOOD GUARDRAIL WITH 6X6 NEWEL POSTS
- COVERED BALCONY (WOOD DECKING)
- 6X6 WOOD COLUMNS
- TYP. OF 6 APARTMENTS
- ENTRY DOOR
- (2) DOUBLE HUNG WINDOWS

WOOD STAIR TO PORCH LANDING
TYP. OF 2

06 1



WOOD STAIR TO CONCRETE WALK

05 1

SECOND FLOOR PLAN

3/32" = 1'-0" SCALE



Section X, Itemc.

04
SECOND FLOOR
PLAN

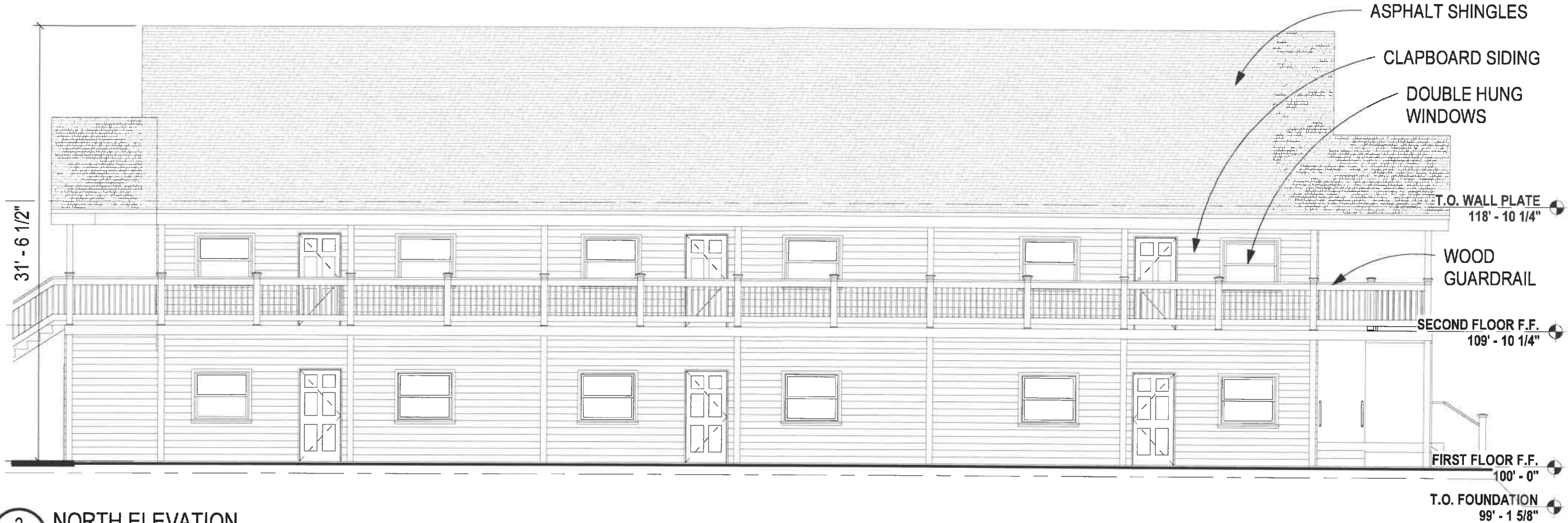
Grand Hotel®

2025.06.24

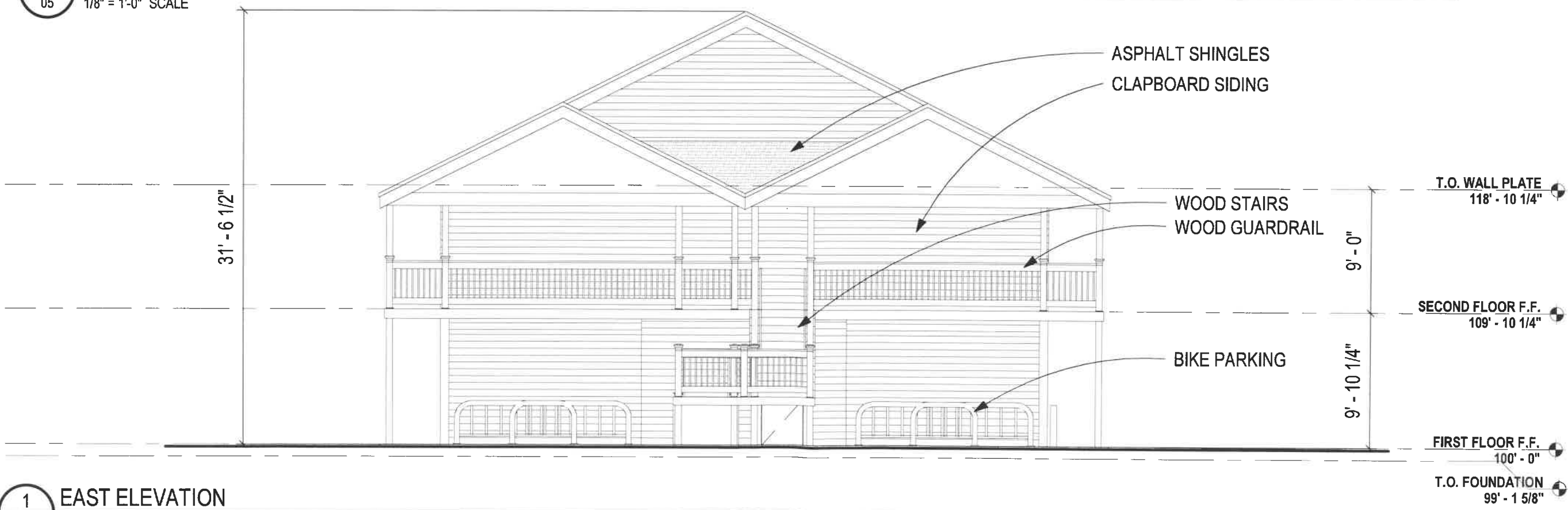
SCALE: 3/32" = 1'-0"

MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION

HopkinsBurns
historic preservation & communities by design



2 NORTH ELEVATION
05 1/8" = 1'-0" SCALE

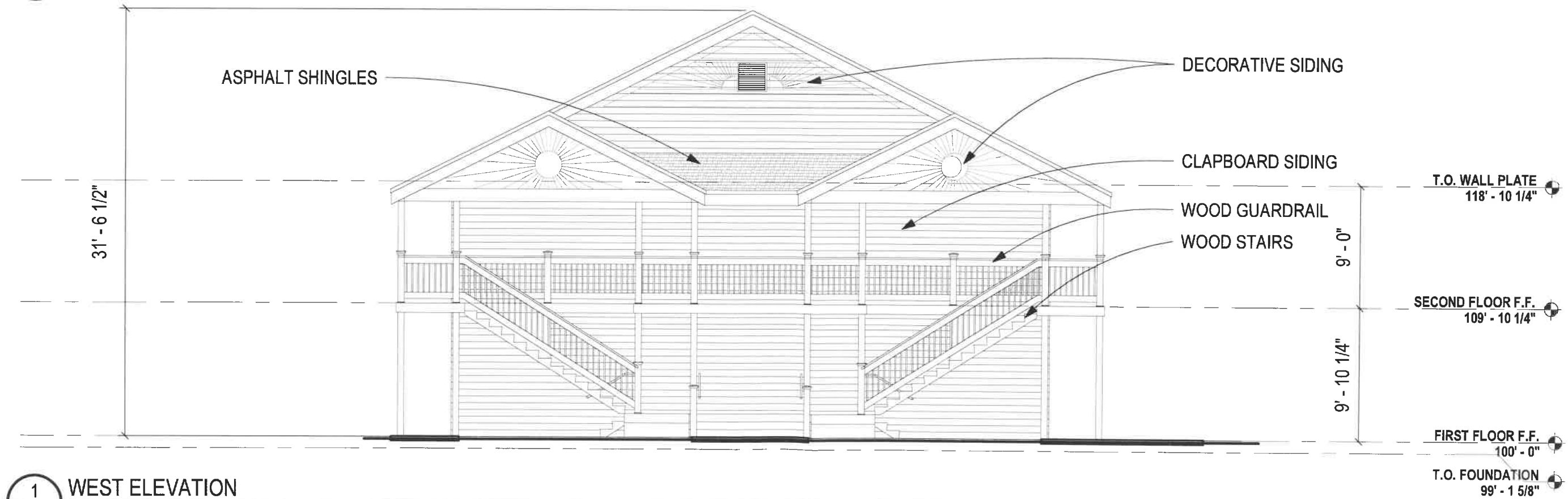


1 EAST ELEVATION
05 1/8" = 1'-0" SCALE

2 SOUTH ELEVATION
06 1/8" = 1'-0" SCALE



1 WEST ELEVATION
06 1/8" = 1'-0" SCALE



Section X, Itemc.

06
EXTERIOR
ELEVATIONS

Grand Hotel®

2025.06.24

SCALE: 1/8" = 1'-0"

MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION

HopkinsBurns
historic preservation
communities by design



3
07
EXISTING VACANT LOT
TOWARD SOUTH-WEST
NO SCALE



1
07
EXISTING VACANT LOT
TOWARD SOUTH-EAST
NO SCALE



2
07
EXISTING VACANT LOT
TOWARD NORTH-EAST
NO SCALE



5 CADOTTE - CONTEXT - NEARBY
08 NO SCALE



4 CADOTTE - CONTEXT - NEARBY
08 NO SCALE



3 CADOTTE - CONTEXT - SOUTH-WEST
08 NO SCALE



2 CADOTTE - CONTEXT - WEST
08 NO SCALE



1 CADOTTE - CONTEXT - NORTH-WEST
08 NO SCALE

Grand Hotel[®]
SCALE: NO
2025.06.24

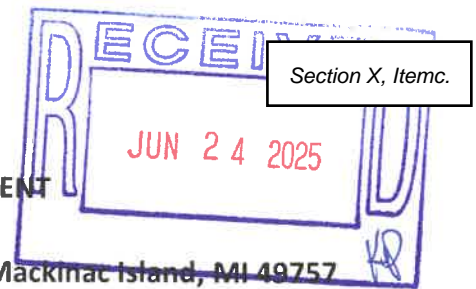
MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION

HopkinsBurns
historic preservation & communities by design

08
SITE PHOTO

71 - 109 157

CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION



www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Tamara Burns
113 S. Fourth Ave, Ann Arbor, MI 48104
734-604-9312 tamara.burns@hopkinsburns.com
Phone Number Email Address

Please complete both sides of application.
The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

GHMI RESORT HOLDINGS LLC; KSL CAPITAL PARTNERS LLC
100 ST PAUL ST. STE 800, DENVER, CO 80206

Is The Proposed Project Part of a Condominium Association? NO
Is The Proposed Project Within a Historic Preservation District? NO
Applicant's Interest in the Project (If not the Fee-Simple Owner): ARCHITECT
Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO
Is a Variance Required? YES
Are REU's Required? How Many? NO /

Type of Action Requested:

☒ Standard Zoning Permit ☐ Appeal of Planning Commission Decision
☒ Special Land Use ☐ Ordinance Amendment/Rezoning
☐ Planned Unit Development ☐ Ordinance Interpretation
☐ Other _____

Property Information:

A. Property Number (From Tax Statement): 051-630-098-00
B. Legal Description of Property: ASSESSOR'S PLAT OF HARRISONVILLE LOT 98 *OLD NUMBER 625 019 00*
C. Address of Property: CADOTTE AVE, MACKINAC ISLAND, MI 49757
D. Zoning District: R-4 HARRISONVILLE RESIDENTIAL File No. R125-098-052
E. Site Plan Checklist Completed & Attached: YES Exhibit A
F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) YES Date 6.24.25
G. Sketch Plan Attached: YES Initials KP
H. Architectural Plan Attached: YES
I. Association Documents Attached (Approval of project, etc.): N/A
J. FAA Approval Documents Attached: N/A
K. Photographs of Existing and Adjacent Structures Attached: YES

Proposed Construction/Use:

A. Proposed Construction:
☒ New Building ☐ Alteration/Addition to Existing Building
☐ Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Proposed Use:

C. If Vacant:

Previous Use: Vacant Lot

Proposed Use: Multi-family Housing - 12 Units

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the ARCHITECT (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**

[Signature]
Signature

SIGNATURES

Signature

TAMARA E.L. BURNS, PRINCIPAL
Please Print Name

Please Print Name

Signed and sworn to before me on the 20th day of June, 2025.

LUIS ESCUDERO-FLORES
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF WASHTENAW
My Commission Expires 10/23/2026
Acting in the County of Washtenaw

Notary Public

Washtenaw County, Michigan
My commission expires: 10/23/2026

Washtenaw

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

Inspection	Date	Inspector	Comments
1.			
2.			
3.			

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: R425.098.052FEE: 2650 -DATE: 6.24.25CHECK NO: 6179INITIALS: KD

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review **Informational Requirements (Section 20.03)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | |
|---|-------------------------------------|-------------------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input type="checkbox"/> | <input type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|--------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|-------------------------------------|--------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features	<input checked="" type="checkbox"/>	<input type="checkbox"/>
23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
25. Description of Existing and proposed on-site lighting (see also Section 4.27)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<u>Utility Information</u>	See note regarding "Potential Demand" on cover sheet	
	<u>Provided</u>	<u>Not Provided or Applicable</u>
26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

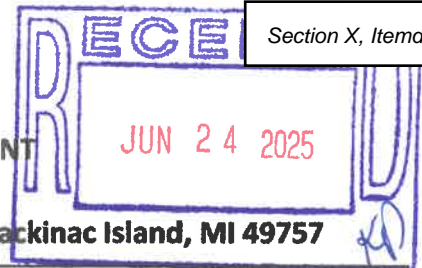
**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Architectural Review
Informational Requirements (Section 18.05)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**



www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Band C Contractors Services LLC
2785 Davenport St
906-430-1100 bcmackinac@gmail.com
 Phone Number Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

7534 6th St.
Cloverland
2916 W H-28, Dafer, MI 49724

Is The Proposed Project Part of a Condominium Association? NO

Is The Proposed Project Within a Historic Preservation District? NO

Applicant's Interest in the Project (If not the Fee-Simple Owner): Contractor

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO

Is a Variance Required? NO

Are REU's Required? How Many? NO /

Type of Action Requested:

☒ Standard Zoning Permit ☐ Appeal of Planning Commission Decision
☐ Special Land Use ☐ Ordinance Amendment/Rezoning
☐ Planned Unit Development ☐ Ordinance Interpretation
☐ Other _____

Property Information:

A. Property Number (From Tax Statement): 49-051-630-078-00
 B. Legal Description of Property: Lot 78 Plat of Harrisonville
 C. Address of Property: 7534 6th St. Mackinac Island, MI 49757
 D. Zoning District: _____
 E. Site Plan Checklist Completed & Attached: yes
 F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) yes
 G. Sketch Plan Attached: yes
 H. Architectural Plan Attached: _____
 I. Association Documents Attached (Approval of project, etc.): Exhibit A
 J. FAA Approval Documents Attached: N/A
 K. Photographs of Existing and Adjacent Structures Attached: _____

File No. B425-078-053

Date 6-24-25

Initials KP

Proposed Construction/Use:

A. Proposed Construction:
☐ New Building ☒ Alteration/Addition to Existing Building
☐ Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Single Family UseProposed Use: Single Family Use

C. If Vacant:

Previous Use: _____

Proposed Use: _____

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Contractor (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**

James Bazinav
Signature

SIGNATURES

Signature

James Bazinav
Please Print Name

Please Print Name

Signed and sworn to before me on the 24th day of June, 2025.



Trista L France
Notary Public

Mackinac County, Michigan
My commission expires: 3/14/2031

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: R425-078-053FEE: \$150DATE: 6-24-25

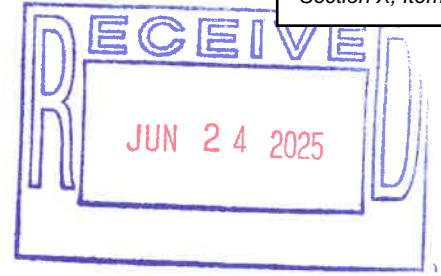
CHECK NO: _____

INITIALS: KP

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757



Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.
13. Proposed construction start date and estimated duration of construction.
14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission

<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>

Natural Features

Provided Not Provided
or Applicable

15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)
16. Topography of the site with at least two- to five-foot contour intervals
17. Proposed alterations to topography or other natural features
18. Earth-change plans, if any, as required by state law

<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>

Physical Features

Provided Not Provided
or Applicable

19. Location of existing manmade features on the site and within 100 feet of the site
20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site
21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a

<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A
<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A

dwelling schedule showing the unit type and number of each such units

- | | | |
|--|-------------------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Utility Information

Provided

Not Provided
or Applicable

- | | | |
|--|--------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

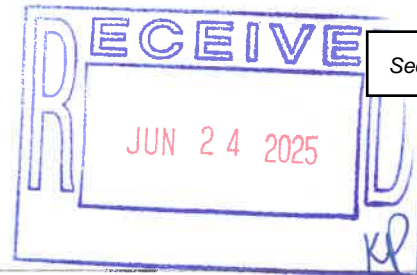
File No. R425.078.053

Exhibit D

Date 6.24.25

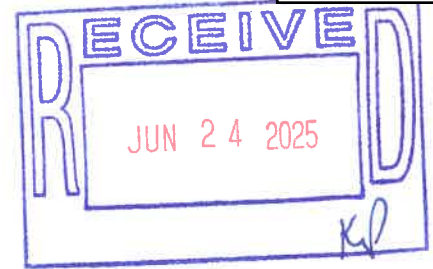
Initials KP

Site Plan Logistics



Section X, Itemd.

- ① No alterations will be made to the topography of the site.
- ② All utilities will remain unaltered
- ③ All debris will be contained within a 2 footer mixed debris wagon
- ④ All materials will be delivered via the docks via Mackinac Island Service Co.
- ⑤ No vehicle permits will be necessary
- ⑥ Tools will be stored in home when not in use
- ⑦ There will be no impact on surrounding properties or roadways.
- ⑧ Work will be performed only between 8³⁰ am + 6pm
- ⑨ There will be no R.E.U.'s changes to the project

File No. R425-078-053Exhibit FDate: 6-24-25Initials KP

James Bazinau is allowed to apply for permits from the City of Mackinac Island on
Cloverland Electric Cooperative's behalf concerning work being performed at 7534 6th St,
Mackinac Island MI 49757.

This permission will only be good for the year of 2025.

Cloverland Electric Cooperative Representative

Name: Peter Postula Jr

Title: Division Manager

Signature: [Handwritten Signature]

Date: 6-17-25

Andrew Will

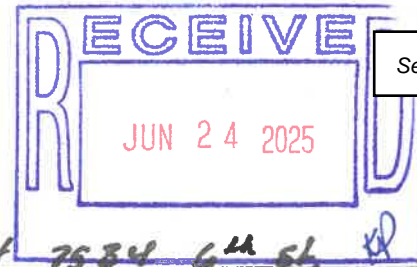
Andrew Will
Notary Public, Mackinac County, MI
My Commission Expires December 9, 2027

File No. R425.078.053

Exhibit C

Date 6.24.25

Initials KP



Section X, Itemd.

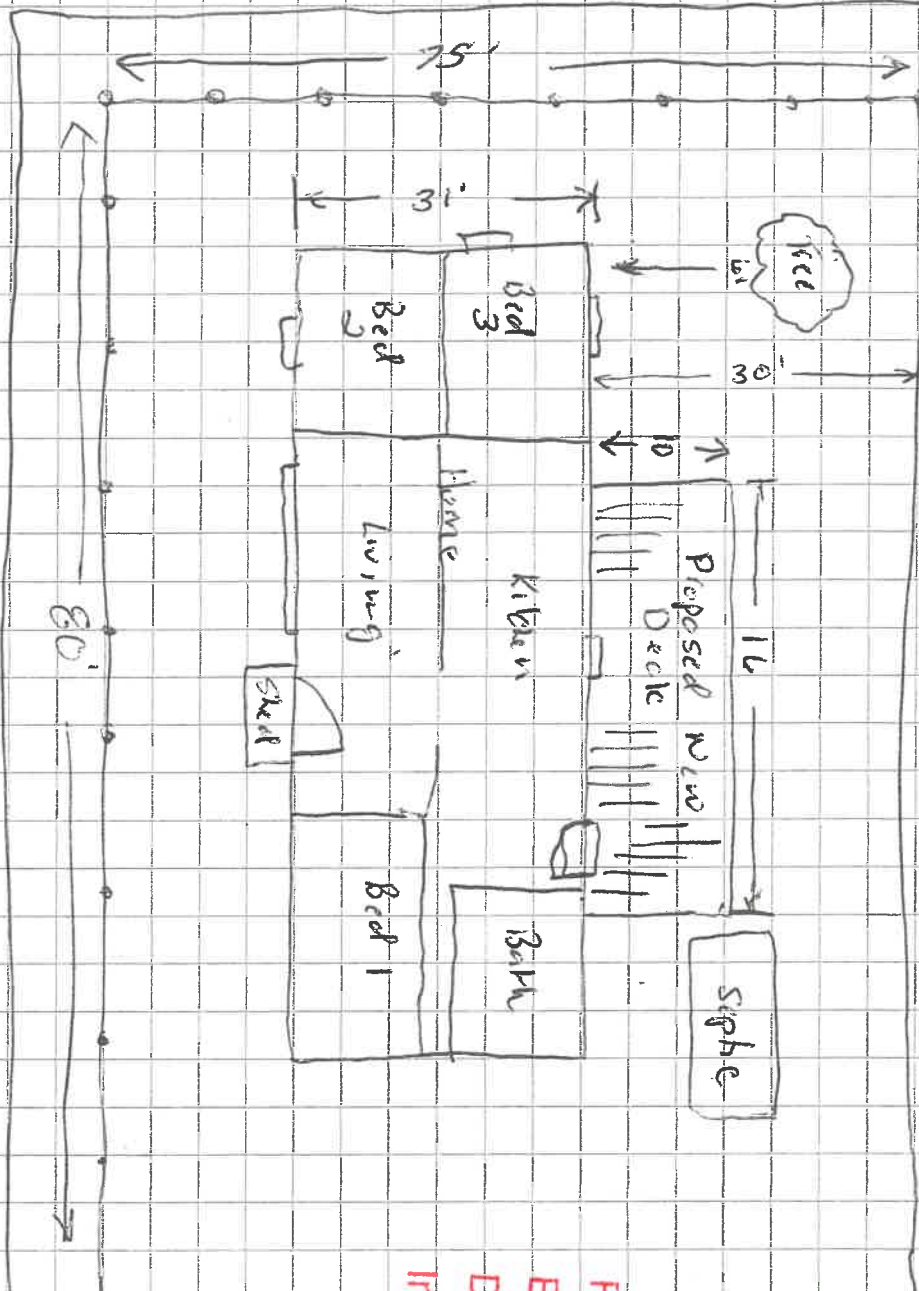
Scope of work to be performed at 7584 6th St. KP
Cleveland Housing Siding + windows
Work will begin 2nd week of August and end
in mid-Sept.

- ① Removal of old T-111 exterior plywood siding.
To be replaced with double 4" vinyl siding.
- ② Replace all rotted wooden fascia + soffit. To
be completed using like-for-like materials
- ③ Replace existing exterior doors with doors
that will match both material and size of
existing doors.
- ④ Replace windows in Kitchen, bath and
living area with windows of same size but
will be constructed of Fibrex material allowing
for low maintenance. No headers are expected
to change for these three windows.
- ⑤ Add new deck to the north (rear) side of the house.
Size of the deck is proposed to be 10'x16'

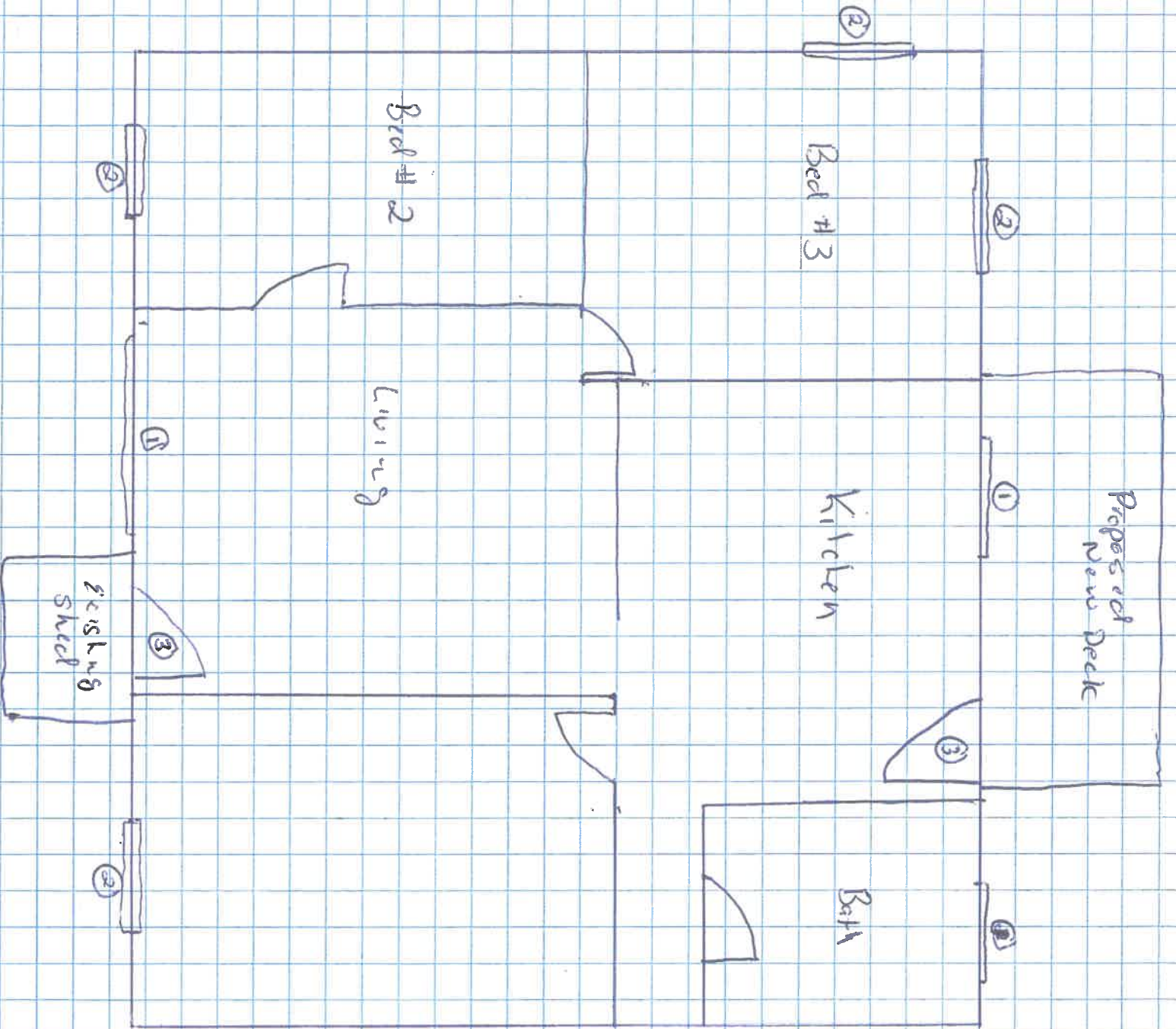
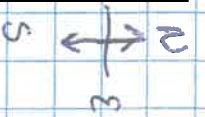
- ⑥ Replace a total of 4 windows that will be changed in size to conform to egress codes. These windows are located in Bed #1 (1ea), Bed #2 (1ea), and Bed #3 (2ea.). These windows will require the header to be 39" in width. These headers will be constructed of 2 - 2x10x39 spt with $\frac{1}{2}$ " plywood sandwiched between. They will be nailed and glued per code.
- ⑦ Replace exterior trim around windows and doors with like for like natural wood materials.
- ⑧ Paint any exposed wood to match new siding. New siding will mimic existing colors.

Coccolatte Ave

6th St.



File No. R425.078-053
 Exhibit B
 Date 6-24-25
 Initials KJ



① Windows to be replaced w/ no size/style changes

② Windows to be replaced w new egress windows

③ Existing entry doors to be replaced w no changes in size style or material

SOLD BY:

Straits Building Center Saint Ignace
452 N State St
Saint Ignace, MI 49781-1427
Fax: 906-643-9878

SOLD TO:



CREATED DATE

10/7/2024

LATEST UPDATE

5/20/2025

OWNER

Wally Bazinau

Abbreviated Quote Report - Customer Pricing

QUOTE NAME
Cloverland 6th

PROJECT NAME
Unassigned Project

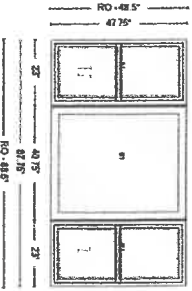
QUOTE NUMBER
6541452

CUSTOMER PO#

TRADE ID

ORDER NOTES:

DELIVERY NOTES:



Item Qty

Operation

Location

Unit Price

Ext. Price

100 1 Fixed/Active - Fixed - Fixed/Active

None Assigned

~~\$4,000.00~~ ~~\$4,000.00~~

RO Size: 88 1/2" x 48 1/2"

Unit Size: 87 3/4" x 47 3/4"

Mull: Factory Mullied, Nonreinforced Join - Factory Assembled Vertical Priority Ribbon Mull, 1/2" Fiberglass Non Reinforced Material

100SHS 1' 11"X3' 11 3/4" - 100REC 3' 4 3/4"X3' 11 3/4" - 100SHS 1' 11"X3' 11 3/4", Unit, Unit 1, 3: 100 Series Single-Hung, Unit 2: 100 Series Picture/Transom-SH, Equal Sash, 1 3/8" Setback, Sandtone Exterior Frame, Sandtone Exterior Sash/Panel, w/White Interior Frame, w/White Interior Sash/Panel, Unit 1, 3: Fixed/Active, Unit 2: Fixed, Dual Pane Low-E Standard Argon Fill Stainless Glass / Grille Spacer, Auto Lock, Andersen 100 Series, 1 Sash Locks White, Sandtone, Half Screen, Fiberglass

Unit # U-Factor SHGC ENERGY STAR Clear Opening/Unit # Width Height Area (Sq. Ft)

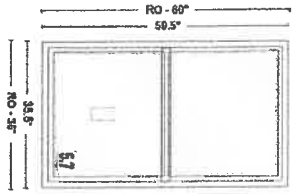
A1	0.3	0.31	NO	A1	19.5000	20.1640	2.73050
B1	0.28	0.33		C1	19.5000	20.1640	2.73050
C1	0.3	0.31					

File No. R425-078-053

Exhibit E

Date 6-24-25

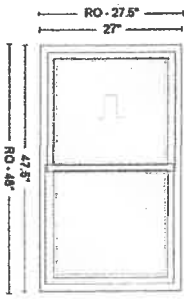
Initials WP



Item	Qty	Operation	Location	Unit Price	Ext. Price
200	4	Fixed/Active	None Assigned		
RO Size: 36" x 60"					
Unit Size: 35 1/2" x 59 1/2"					

100SHS3050, Unit, 100 Series Single-Hung, Equal Sash, 1 3/8" Setback, Sandtone Exterior Frame, Sandtone Exterior Sash/Panel, w/White Interior Frame, w/White Interior Sash/Panel, Fixed/Active, Dual Pane Low-E Standard Argon Fill Stainless Glass / Grille Spacer, Auto Lock, Andersen 100 Series, 1 Sash Locks White, Sandtone, Half Screen, Fiberglass

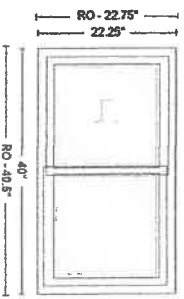
Unit #	U-Factor	SHGC	ENERGY STAR Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	
A1	0.3	0.31	NO	A1	32.0000	26.0625	5.79000



Item	Qty	Operation	Location	Unit Price	Ext. Price
300	1	Active/Stationary (XO)	None Assigned		
RO Size: 48" x 27 1/2"					
Unit Size: 47 1/2" x 27"					

100GXO 3' 1 1/2"X2' 3", Unit, 100 Series Gliding XO/OX, 1 3/8" Setback, Sandtone Exterior Frame, Sandtone Exterior Sash/Panel, w/White Interior Frame, w/White Interior Sash/Panel, Active/Stationary (XO), Dual Pane Low-E Standard Argon Fill Stainless Glass / Grille Spacer, Auto Lock, Andersen 100 Series, 1 Sash Locks White, Sandtone, Full Screen, Fiberglass

Unit #	U-Factor	SHGC	ENERGY STAR Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	
A1	0.3	0.31	NO	A1	20.0390	23.5000	3.27030



Item	Qty	Operation	Location	Unit Price	Ext. Price
400	1	Active/Stationary (XO)	None Assigned		
RO Size: 40 1/2" x 22 3/4"					
Unit Size: 40" x 22 1/4"					

100GXO 3' 4"X1' 10 1/4", Unit, 100 Series Gliding XO/OX, 1 3/8" Setback, Sandtone Exterior Frame, Sandtone Exterior Sash/Panel, w/White Interior Frame, w/White Interior Sash/Panel, Active/Stationary (XO), Dual Pane Low-E Standard Argon Fill Stainless Glass / Grille Spacer, Auto Lock, Andersen 100 Series, 1 Sash Locks White, Sandtone, Full Screen, Fiberglass

Unit #	U-Factor	SHGC	ENERGY STAR Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	
A1	0.3	0.31	NO	A1	16.2890	18.7500	2.12100

File No. R425.078.053

Exhibit K

Date 7-8-25

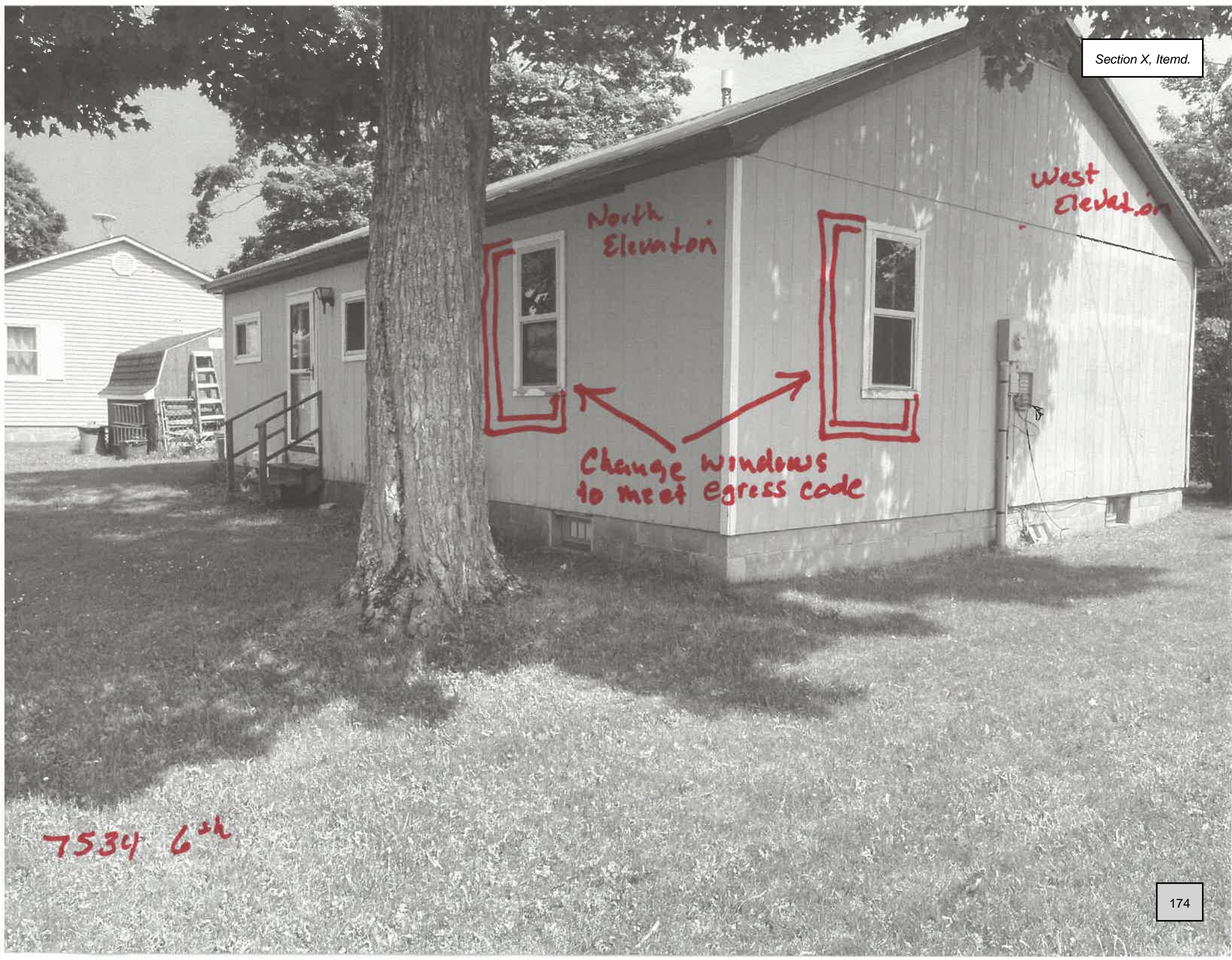
Initials KP

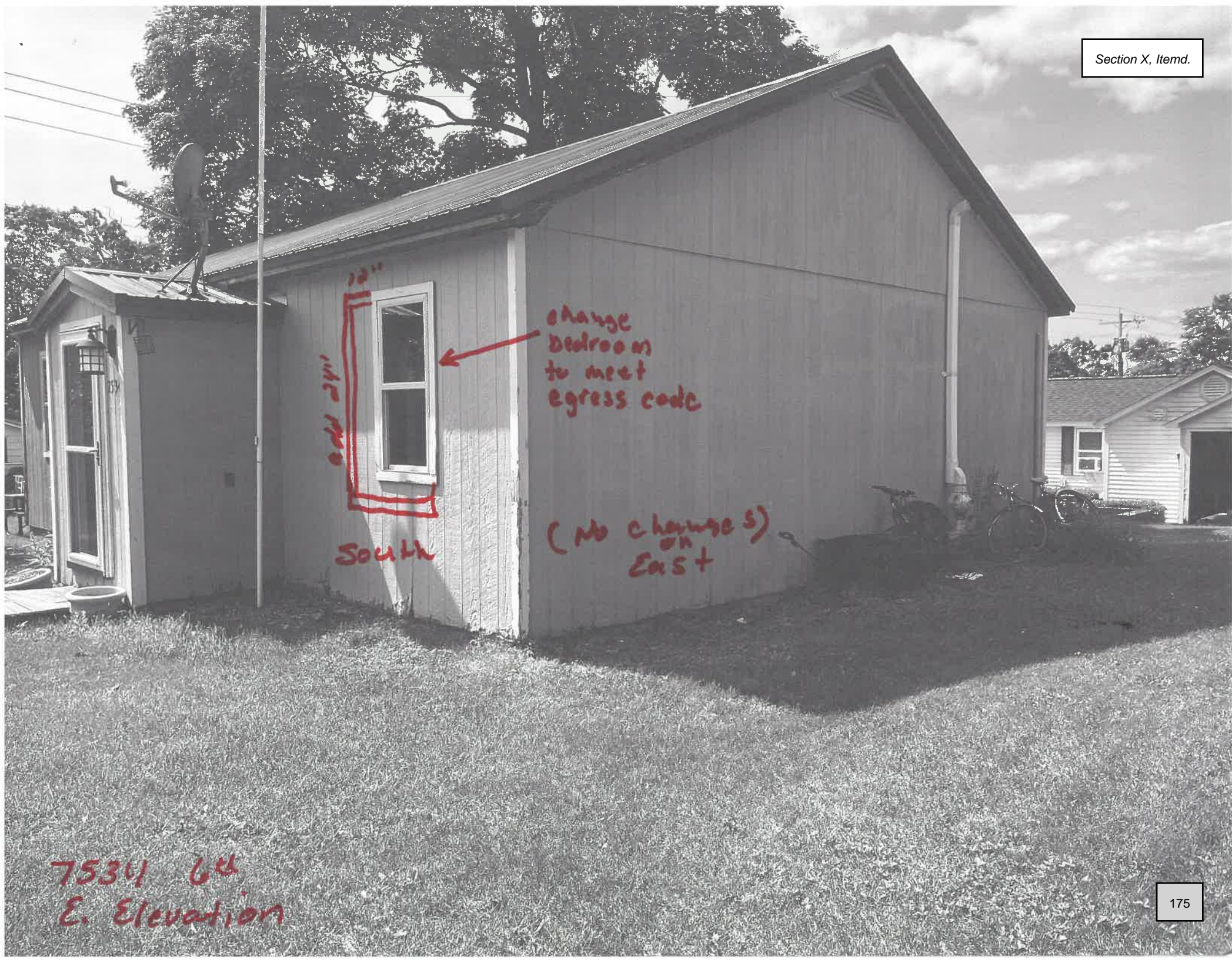


replace existing
door and window
(like for like)

change Two (1+2)
bedroom windows
to meet egress code

7534 6+2
S. Elevation





7534 6th
E. Elevation



Change window
to meet egress code

7534 6th
West. Elevation

7534 6th
N. Elevation

Section X, Itemd.



7534 6th
N. Elevation

Section X, Itemd.

change exist windows
and door (like-for-like)

change
window
to meet
egress code

add 24"
12"



File No. R425-049-055

Exhibit A

Date 6-24-25

Initials KP

CITY OF MACKINAC ISLAND

PLANNING COMMISSION & BUILDING DEPARTMENT

APPLICATION FOR ZONING ACTION

www.cityofmi.org

kep@cityofmi.org

906-847-6190

PO Box 455 Mackinac Island, MI 49757 KP

APPLICANT NAME & CONTACT INFORMATION:

B and C Contractor Services, LLC James
bazinau

+19064301100

bcmackinac@gmail.com

Phone Number

Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

City of Mackinac Island DPW, Box 515

Is The Proposed Project Part of a Condominium Association?

No

Is The Proposed Project Within a Historic Preservation District?

No

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Owner

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

No

Is a Variance Required?

Are REU's Required? How Many?

No /

Type of Action Requested:

X Standard Zoning Permit

 Special Land Use

 Planned Unit Development

 Other

 Appeal of Planning Commission Decision

 Ordinance Amendment/Rezoning

 Ordinance Interpretation

Property Information:

A. Property Number (From Tax Statement): 051-630-049-00

B. Legal Description of Property: ASSESSOR'S PLAT OF HARRISONVILLE LOT 49

C. Address of Property: 2930 Gallagher Lane -"The Little House"

D. Zoning District: Harrisonville

E. Site Plan Checklist Completed & Attached:

F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance)

G. Sketch Plan Attached: Yes

H. Architectural Plan Attached:

I. Association Documents Attached (Approval of project, etc.):

J. FAA Approval Documents Attached:

K. Photographs of Existing and Adjacent Structures Attached:

Proposed Construction/Use:

A. Proposed Construction:

 New Building

X Alteration/Addition to Existing Building

 Other, Specify

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Single family

Proposed Use: Single Family

C. If Vacant:

Previous Use: _____

Proposed Use: _____

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the ^{Contractor} James Babin (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**

James Bazinau
Signature

SIGNATURES

Allen Burt
Signature

James Bazinau

Please Print Name

Allen Burt

Please Print Name

Signed and sworn to before me on the 18th day of June, 2025.



Kathryn Pereny
Notary Public

Mackinac County, Michigan
My commission expires: 8.7.30

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: R425.049.055FEE: waivedDATE: 6.24.25CHECK NO: N/AINITIALS: KD

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review
Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- | | | |
|---|-------------------------------------|--------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|--------------------------|---|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> n/a |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input type="checkbox"/> | <input checked="" type="checkbox"/> n/a |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> n/a |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> n/a |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|--------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features

☐

n/a

23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)

☐

n/a

24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)

☐

n/a

25. Description of Existing and proposed on-site lighting (see also Section 4.27)

☐

n/a

Utility Information

Provided

Not Provided
or Applicable

26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand

☐

n/a

27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)

☐

n/a

28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)

☐

n/a

29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.

☐

n/a

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Architectural Review

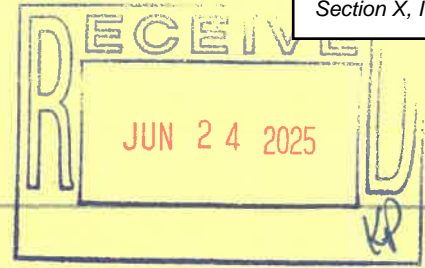
Informational Requirements (Section 18.05)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Site Logistics

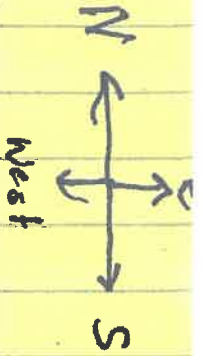
File No R425-049-055
Exhibit B
Date 6-24-25
Initials KL

Section X, Item.

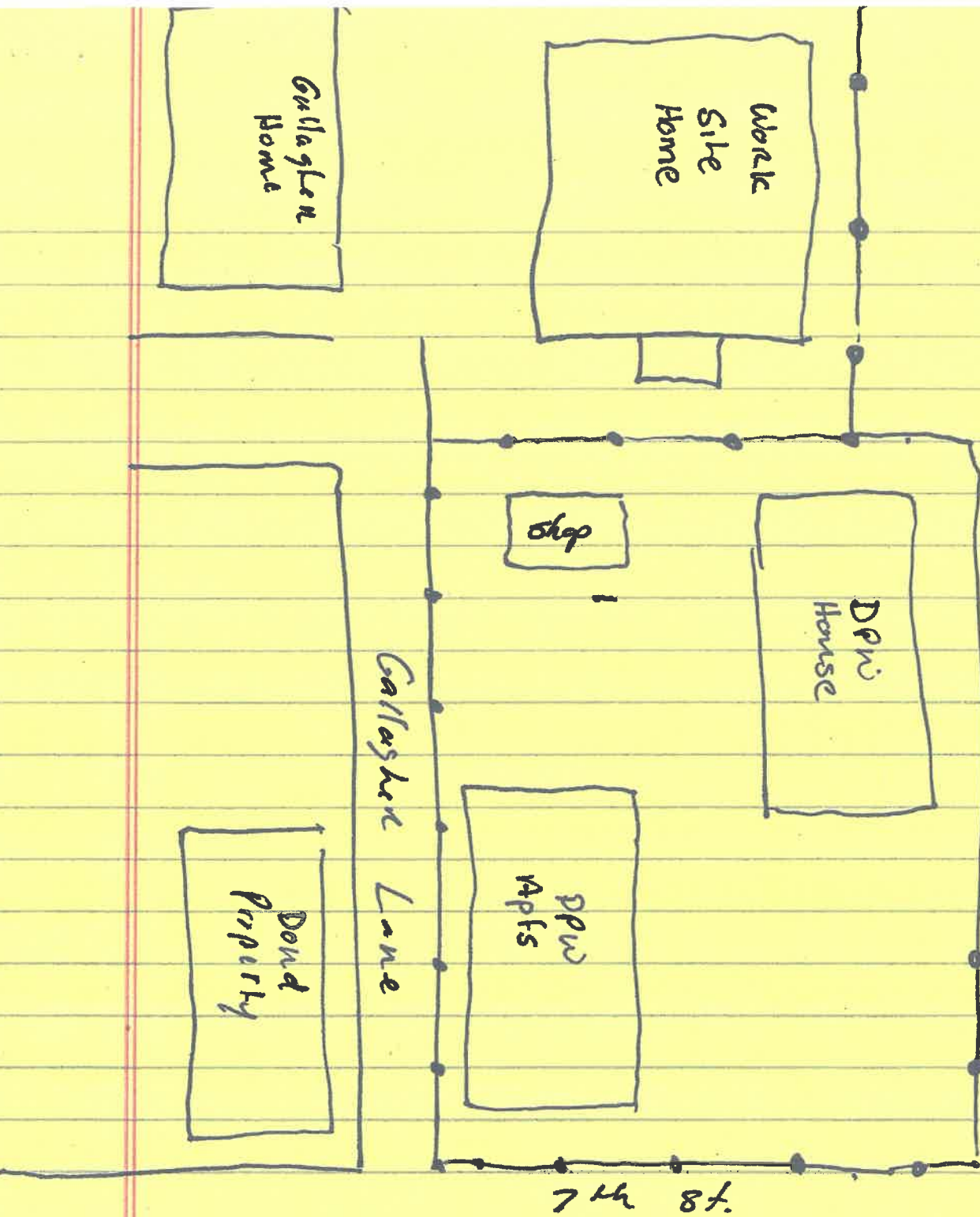


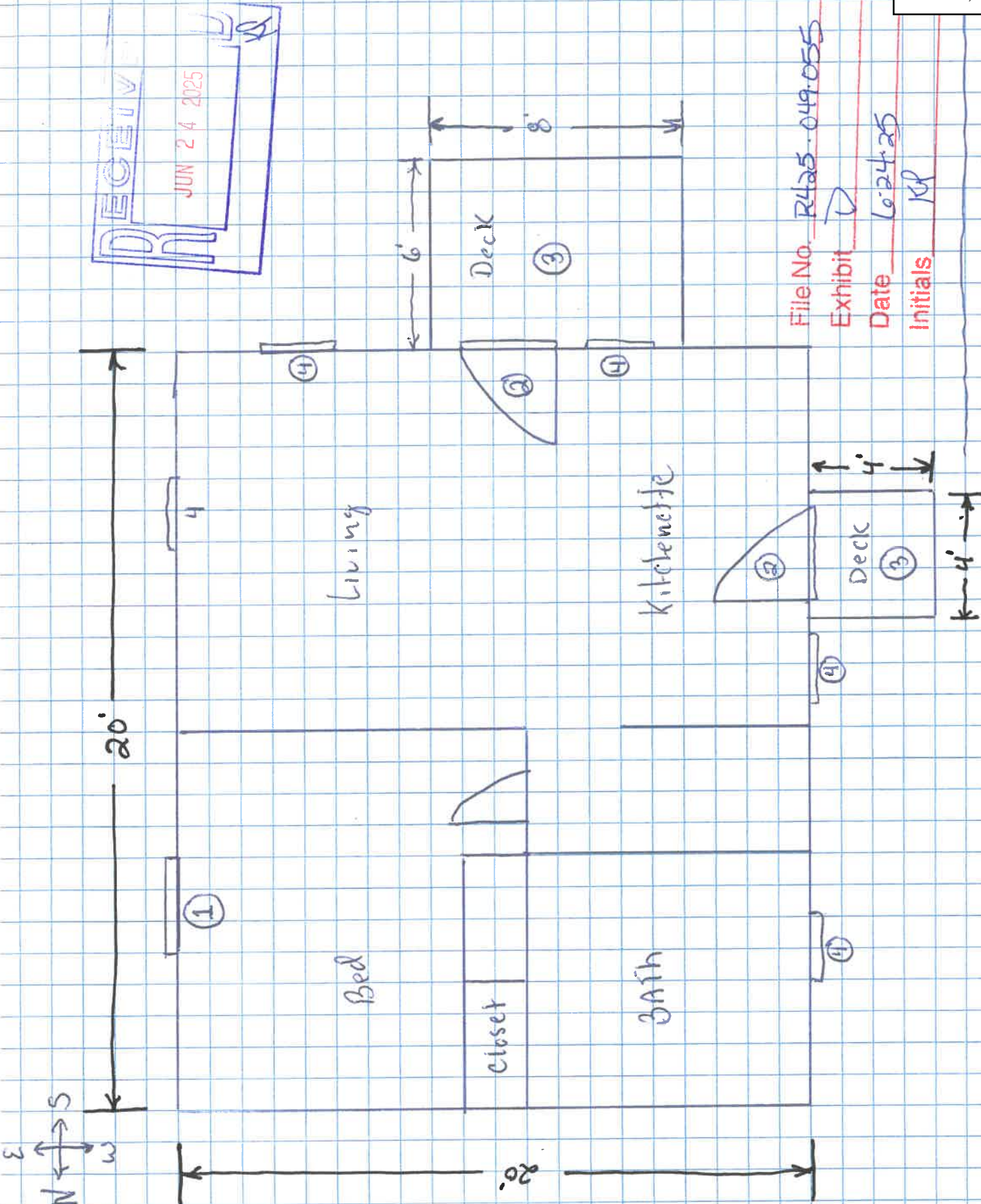
- A. Home is woodframed with cedar painted lap siding. No changes will be made to exterior of building, with the exception of changing rough opening size for 1 window in the bedroom. This window will be changed to meet egress code.
- B. A mixed debris 2 footen will be used to contain waste lumber, old windows and doors.
- C. All materials will be dragged to the site, via M.I. Service Co. No vehicle permits will be needed.
- D. Tools will be stored inside the structure when not being used.
- E. No utilities will be moved or altered in any way.

There will be no alteration to Topography. It will be a basic like-for-like replacement of doors windows trim and existing decks. All materials will match materials that are replaced.



File No. R425.049.055
Exhibit C
Date 6.24.25
Initials KP



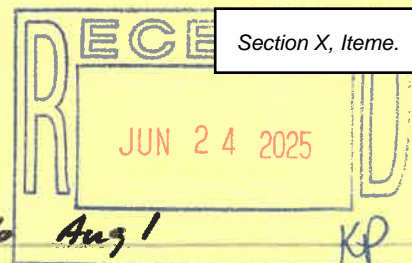


File No. R425.049.055

Exhibit E

Date 6-24-25

Initials KP



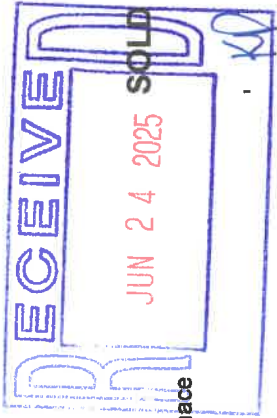
Work to be performed Mid-July to Aug 1

1. Change bedroom window to meet egress codes. Will increase header width by 14 inches. And increase the height by 24".
2. Replace existing doors with steel entry doors to match existing sizes. (2ea)
3. Replace existing decks to match existing size 6x8 12" inches from grade
4. Replace all remaining windows to match existing sizes and styles.
5. Replace all exterior trim and siding that have evidence of rot. Materials will match existing materials.
6. New header for egress window will consist of 2- 2x10x36 spt with 1/2" plywood sandwiched between. To be nailed and glued.



SOLD BY:

Straits Building Center Saint Ignace
452 N State St
Saint Ignace, MI 49781-1427
Fax: 906-643-9878



CREATED DATE	1/7/2025
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LATEST UPDATE	5/20/2025
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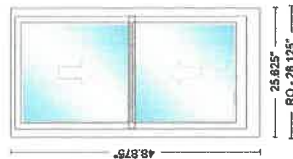
OWNER	Wally Bazinau
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Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
DPW ALLEY HOUSE	DPW ALLEY HOUSE	6919289		

ORDER NOTES:

DELIVERY NOTES:



Item	Qty	Operation	Location	Unit Price	Ext. Price
100	3	AA	None Assigned		

RO Size: 26 1/8" x 48 7/8"

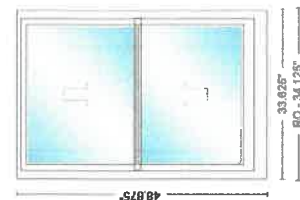
Unit Size: 25 5/8" x 48 7/8"

TW20310, Unit, 400 Series Double-Hung, Equal Sash, Installation Flange, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White (Factory Applied), WhiteJamb Liner, White, Full Screen, Aluminum

Insect Screen 1: 400 Series Double-Hung, TW20310 Full Screen Aluminum White PN:1610113

Unit #	U-Factor	SHGC	ENERGY STAR Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.31	NO	A1	21.8750	20.2500
						3.09000

File No. R425.049.055
Exhibit F
Date 6.24.25
Initials KP



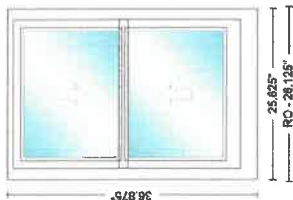
Item	Qty	Operation	Location	Unit Price	Ext. Price
200	1	AA	None Assigned		
RO Size: 34 1/8" x 48 7/8"					
Unit Size: 33 5/8" x 48 7/8"					

TW28310, Unit, 400 Series Double-Hung, Equal Sash, Installation Flange, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White (Factory Applied), WhiteJamb Liner, White, Full Screen, Aluminum

Insect Screen 1: 400 Series Double-Hung, TW28310 Full Screen Aluminum White PN:1610130

Unit #	U-Factor	SHGC	ENERGY STAR Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.31	NO	29.8750	20.2500	4.22000

Item	Qty	Operation	Location	Unit Price	Ext. Price
300	1	AA	None Assigned		
RO Size: 26 1/8" x 36 7/8"					
Unit Size: 25 5/8" x 36 7/8"					



TW20210, Unit, 400 Series Double-Hung, Equal Sash, Installation Flange, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White (Factory Applied), WhiteJamb Liner, White, Full Screen, Aluminum

Insect Screen 1: 400 Series Double-Hung, TW20210 Full Screen Aluminum White PN:1610111

Unit #	U-Factor	SHGC	ENERGY STAR Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.31	NO	21.8750	13.7500	2.10000



Item	Qty	Operation	Location	Unit Price	Ext. Price
400	1	AA	None Assigned		

RO Size: 36 1/8" x 60 7/8"

Unit Size: 35 5/8" x 60 7/8"

TW210410, Unit, 400 Series Double-Hung, Equal Sash, Installation Flange, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White (Factory Applied), WhiteJamb Liner, White, Full Screen, Aluminum

Insect Screen 1: 400 Series Double-Hung, TW210410 Full Screen Aluminum White PN:1610189

Unit #	U-Factor	SHGC	ENERGY STAR Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.31	NO	31.8750	25.7500	5.72000

SUB-TOTAL:	
FREIGHT:	\$0.00
LABOR:	\$0.00
TAX:	\$0.00
TOTAL:	

CUSTOMER SIGNATURE _____ DATE _____

* All graphics as viewed from the exterior. ** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.

Thank you for choosing Andersen Windows & Doors



Change existing
doors + windows
(like for like)

2930 Gallaghen
W. Elevation

Replace existing
deck (like for like)

North
(No changes)

Replace exist.
doors + windows
(like for like)

West

2930 Gallagher
N + W Elevator

2930 Gallagher
E. Elevation

Section X, Item.

chase
(like for like) →

12
11 1/2
total 23 1/2

2930 Gallagher
E. Elevation

change existing
bedroom window
to meet egress code

change
existing
window
(like for like)

add 24"

12"

2930 Gallagher
S. Elevation

Replace exist. doors
& windows
(like for like)

Replace
this existing deck
(like for like)



Replace Existing
deck
(like on like)

2930 Gallagher,
South Elevation

File No. MD25-069-054(4)Exhibit FDate 6.24.25Initials KPCITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT

APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Andrew Douel231392 6456 claudstep1000@yahoo.com
Phone Number Email Address

Please complete both sides of application.
The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

7587 Market Street
Mackinac Island, MI 49757

Is The Proposed Project Part of a Condominium Association?

No

Is The Proposed Project Within a Historic Preservation District?

Yes

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Owner

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

No

Is a Variance Required?

No

Are REU's Required? How Many?

No

Type of Action Requested:

☒ Standard Zoning Permit☐ Special Land Use☐ Planned Unit Development☒ Other Change of Use☐ Appeal of Planning Commission Decision☐ Ordinance Amendment/Rezoning☐ Ordinance Interpretation

Property Information:

A. Property Number (From Tax Statement): 051-575-069-01B. Legal Description of Property: AttachedC. Address of Property: 1395 CadotteD. Zoning District: MDE. Site Plan Checklist Completed & Attached: YesF. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) YesG. Sketch Plan Attached: YesH. Architectural Plan Attached: YesI. Association Documents Attached (Approval of project, etc.): YesJ. FAA Approval Documents Attached: NoK. Photographs of Existing and Adjacent Structures Attached: Yes

Proposed Construction/Use:

A. Proposed Construction:

☐ New Building☐ Other, Specify _____☒ Alteration/Addition to Existing Building

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Vacant HouseProposed Use: 17 Room Hotel

C. If Vacant:

Previous Use: _____

Proposed Use: _____

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Anders Bank (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

A. Andrew Dand
Signature

SIGNATURES _____
Signature

S. Andrew Dand
Please Print Name

Please Print Name

Signed and sworn to before me on the 23rd day of June, 2025.

Jill A. Chapman
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF Mackinac
My Commission Expires May 24, 2031
Acting in the County of Mackinac

Jill A. Chapman
Notary Public
Mackinac County, Michigan
My commission expires: 5/24/31

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: HD25-069-054(4)

FEE: 400-

DATE: 6-24-25

CHECK NO: 8276

INITIALS: KP

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | |
|---|--------------------------|-------------------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|-------------------------------------|--------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|-------------------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- | | | |
|--|-------------------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Utility Information

Provided

Not Provided
or Applicable

- | | | |
|--|-------------------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

RECEIVED
JUN 24 2025



AREA PHOTOS FROM CADOTTE & MARKET STREETS



SOUTH ELEVATION FROM MARKET



EAST ELEVATION FROM CADOTTE

NORTH ELEVATION FROM CADOTTE

WEST ELEVATION FROM PROPERTY

Richard Clements Architect, PLLC	
7025 Southland	
Oconomowoc, WI 53069	
cell: 608.722.9100	960.300.3081
MAY COTTAGE	
ADDITION-RENOVATION	
1385 CADOTTE	
MACONIC ISLAND, MI 49757	
REV:	REV:
date: June 23, 2023	sheet:
project: 2433	A0.0
PHOTOS	

STORMWATER PLAN:

DESIGN CRITERIA:
10 YEAR 24 HOUR RAINFALL = 3.3"
(SOURCE: MDT M54 REPORT)
= (0.25) / hour
INFILTRATION RATE OF SOIL = 0.2"/hr.
(SOURCE: USDA) = 0.016/hour x 24 hrs. =
0.384" / storm event
DESIGN STORM VOLUME = 4,335 s.f.
IMPERVIOUS x 0.28 = 1,214 cu. ft.
ABSORPTION AREA OF 10' STRIP AROUND
PERIMETER OF BUILDING + REAR YARD =
5,348 s.f.
STORMWATER ABSORPTION = 5,368 s.f. x
0.25' = 1,342 cu. ft.
STORM VOLUME minus ABSORPTION =
REQUIRED DETENTION:
1,214 cu. ft. = 1,342 cu. ft. = 0 cu. ft. TO
BE DETAINED.
ABSORPTION AREA EXCEEDS STORM VOLUME.
NO STORM DETENTION REQUIRED.

SITE NOTES:

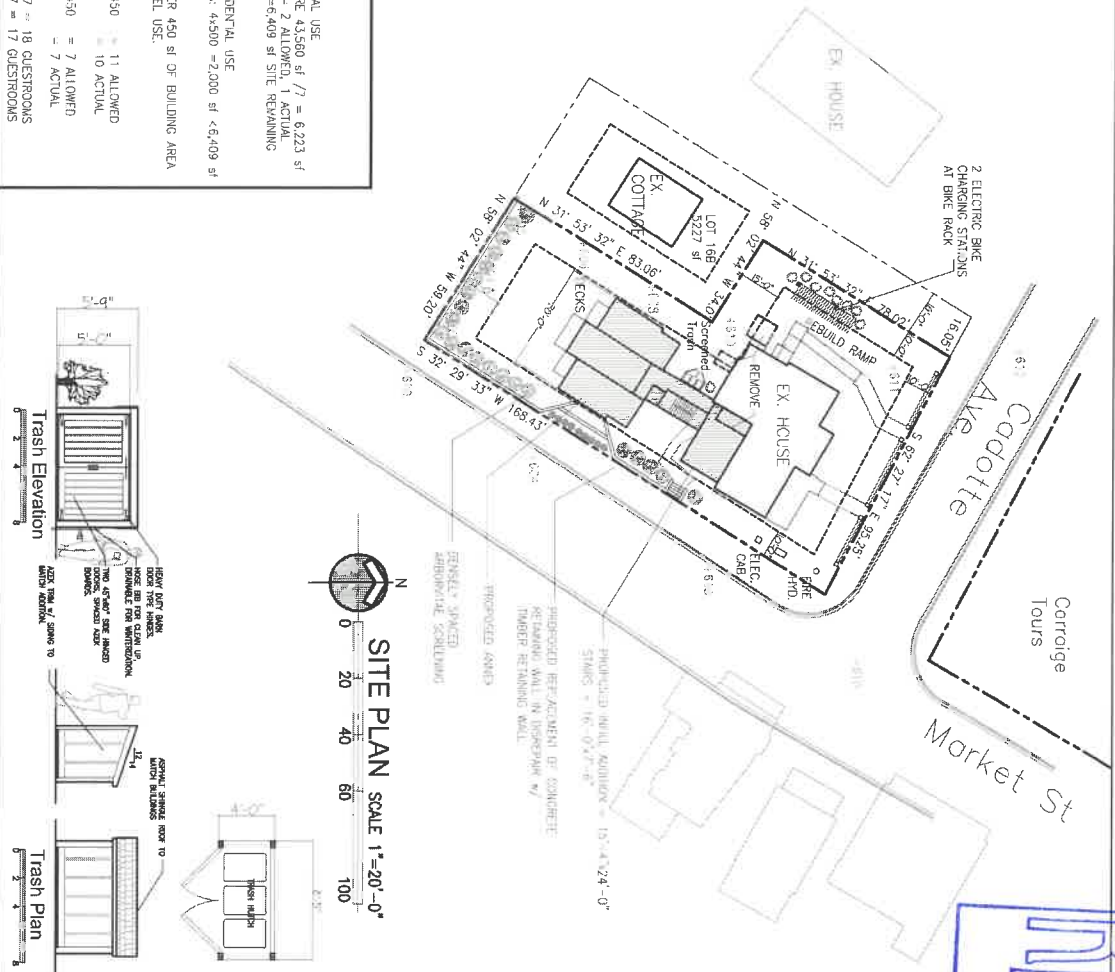
1. BICYCLE PARKING RACK IS PROVIDED AT
A RATE OF 1 PER GUESTROOM + 7
(24 TOTAL, w/ 2 ELECTRIC CHARGING
STATIONS)
2. TRASH TO BE HELD WITHIN THE
BASEMENT AND TRASH HUTCH & SET
CURBSIDE ON COLLECTION DAYS
3. LIGHTING - NO AREA LIGHTING
PROPOSED. COACH LIGHTING PROVIDED
AT BUILDING ENTRANCES SHELTERED TO
CONFERE LIGHT WITHIN THE SITE.
4. SEE STORMWATER NOTES THIS SHEET.

ZONING:

TAX ID: #051-575-068-01
LOT 16A, P.C. PART OF LOT 16 BLOCK 5
ASSESSORS' PLAN NUMBER 4
TOWNSHIP 40 N. RANGE 3-2W, SECTION 36
DISTRICT: MD MARKET
LOT 16A
LOT AREA: 12,632.4 s.f. = 0.29 acres
ALLOWABLE HT.: 30', 2 1/2 STORY
ACTUAL HEIGHT: 30', 2 1/2 STORY
ALLOWABLE LOT COVERAGE: 12,632.4 s.f. x 55% =
= 6,947.7 s.f.
EX. HOUSE-FORCH-RAMP: +2049 s.f.
EXIST. WALKS-FENCE: +300 s.f.
EXIST. RETAIN. WALL: +180 s.f.
PROPOSED DETENTION: 1,342 s.f.
PRO. NEW WING & WALK: +1113 s.f.
TOTAL IMP.: 4335 s.f. = 34.3%

DENSITY:

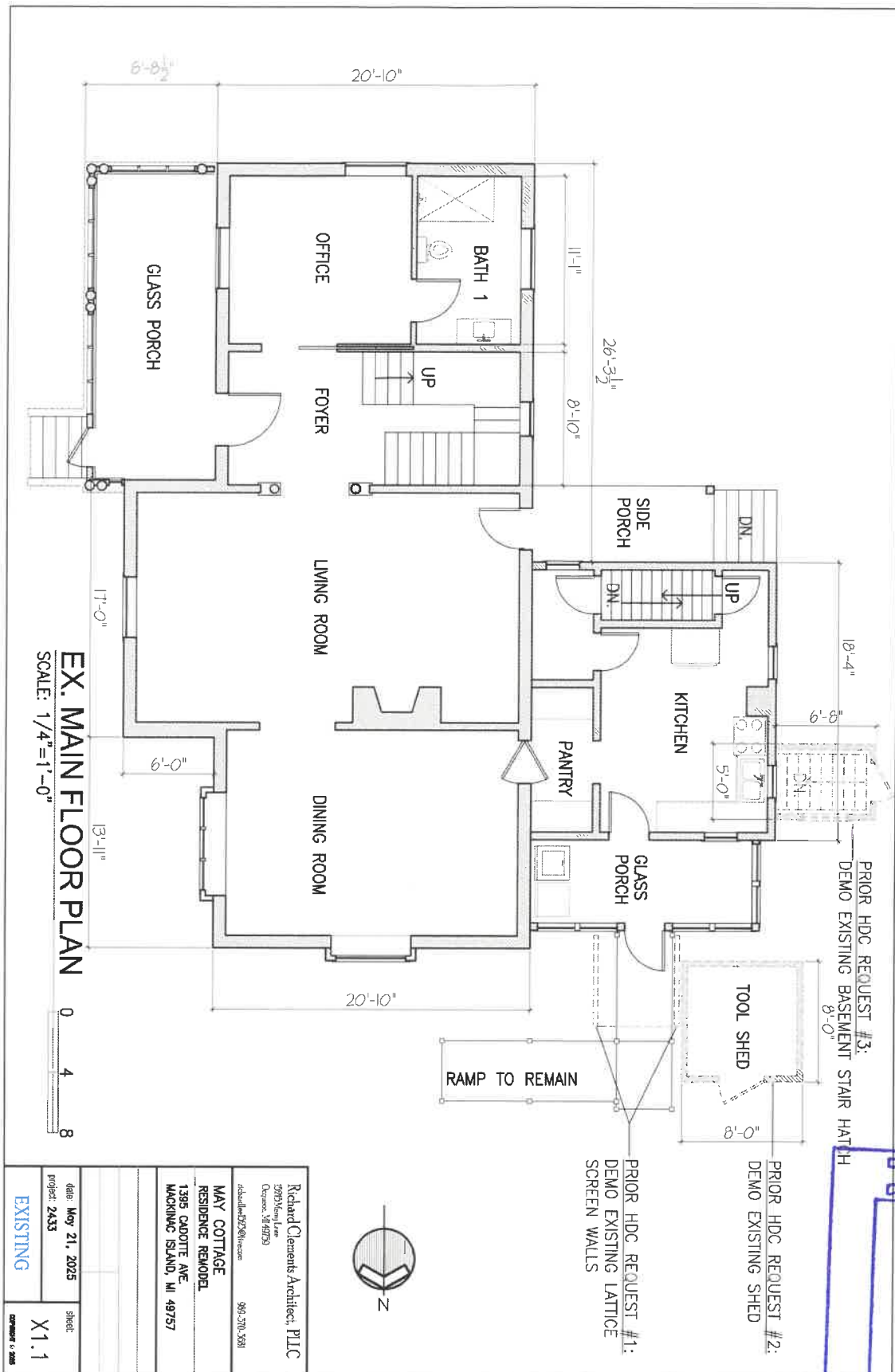
HOTEL OPERATOR
FAMILY RESIDENTIAL USE
7 UNITS PER ACRE 43,560 s.f. / 7 = 6,223 s.f.
7x 0.29 ACRES = 2 ALLOWED, 1 ACTUAL
12,632 s.f. = 6,223 = 6,409 s.f. SITE REMAINING
RAMP, COTTAGE, 4
FAMILY RESIDENTIAL USE
RED D. SITE AREA: 44,500 = 2,000 s.f. < 6,409 s.f.
HOTEL:
1 GUESTROOM PER 450 s.f. OF BUILDING AREA
DEVELOPED TO HOTEL USE.
MAIN HOUSE
5191 sq. ft. / 450 = 11 ALLOWED
ANNEX
3293 sq. ft. / 450 = 7 ALLOWED
ALLOWED = 11+7 = 18 GUESTROOMS
ACTUAL = 10+17 = 17 GUESTROOMS



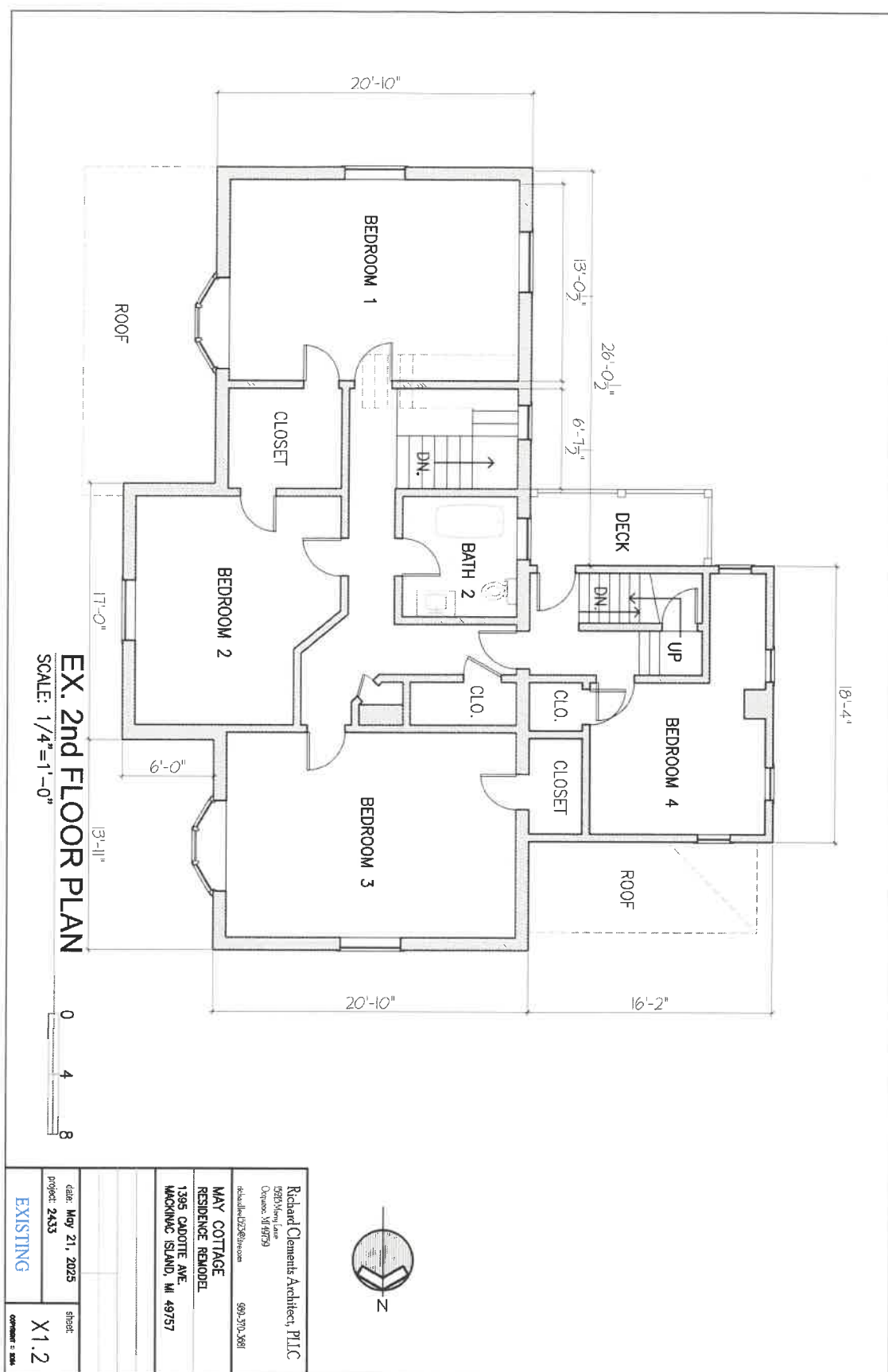
RECEIVED
JUN 24 2025

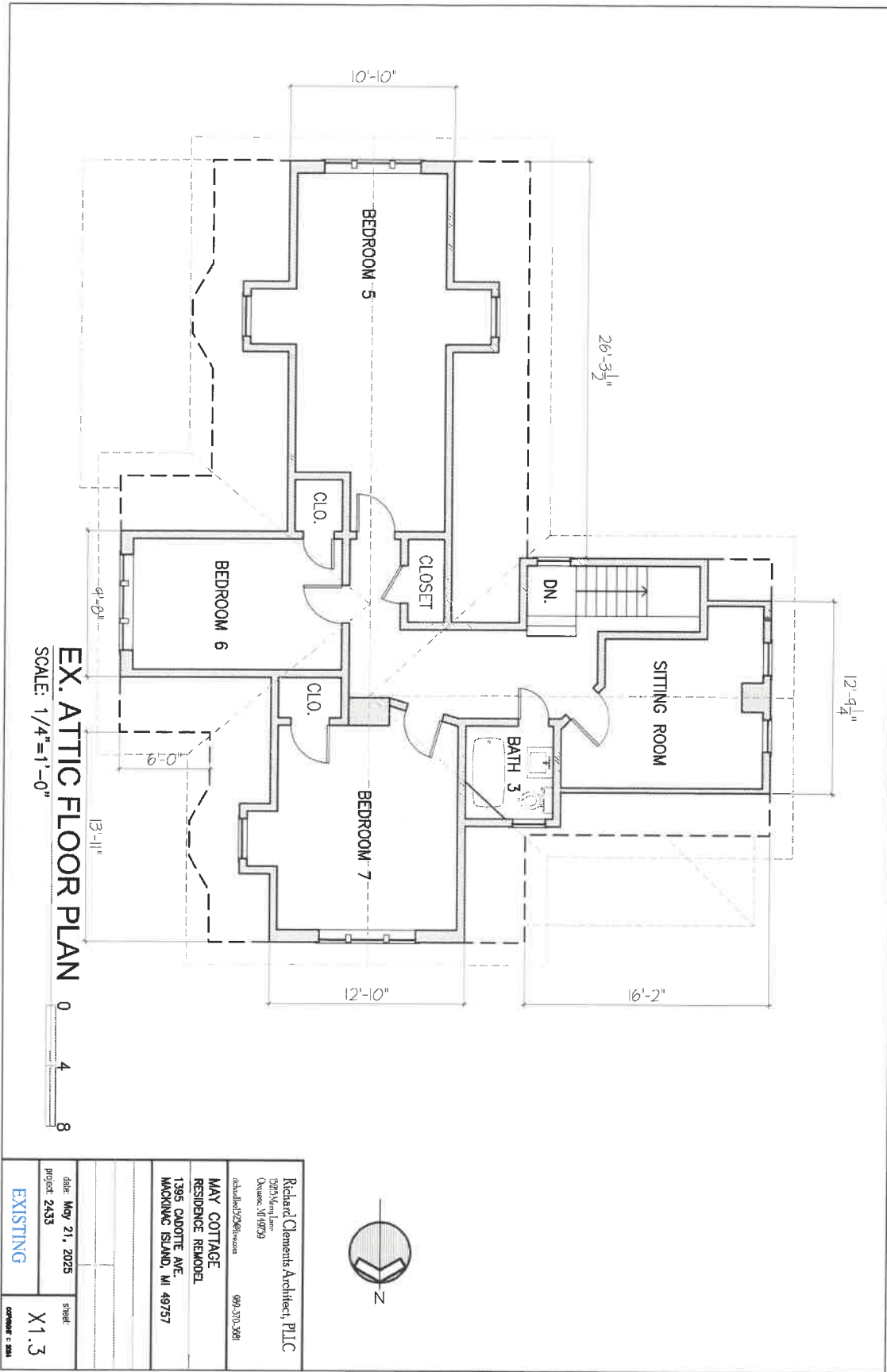
PROJECT DESCRIPTION:
CONVERSION OF RESIDENCE TO
HOTEL USE w/ SOUTHEAST INFL
ADDITION AND SOUTHERLY ANNEX.

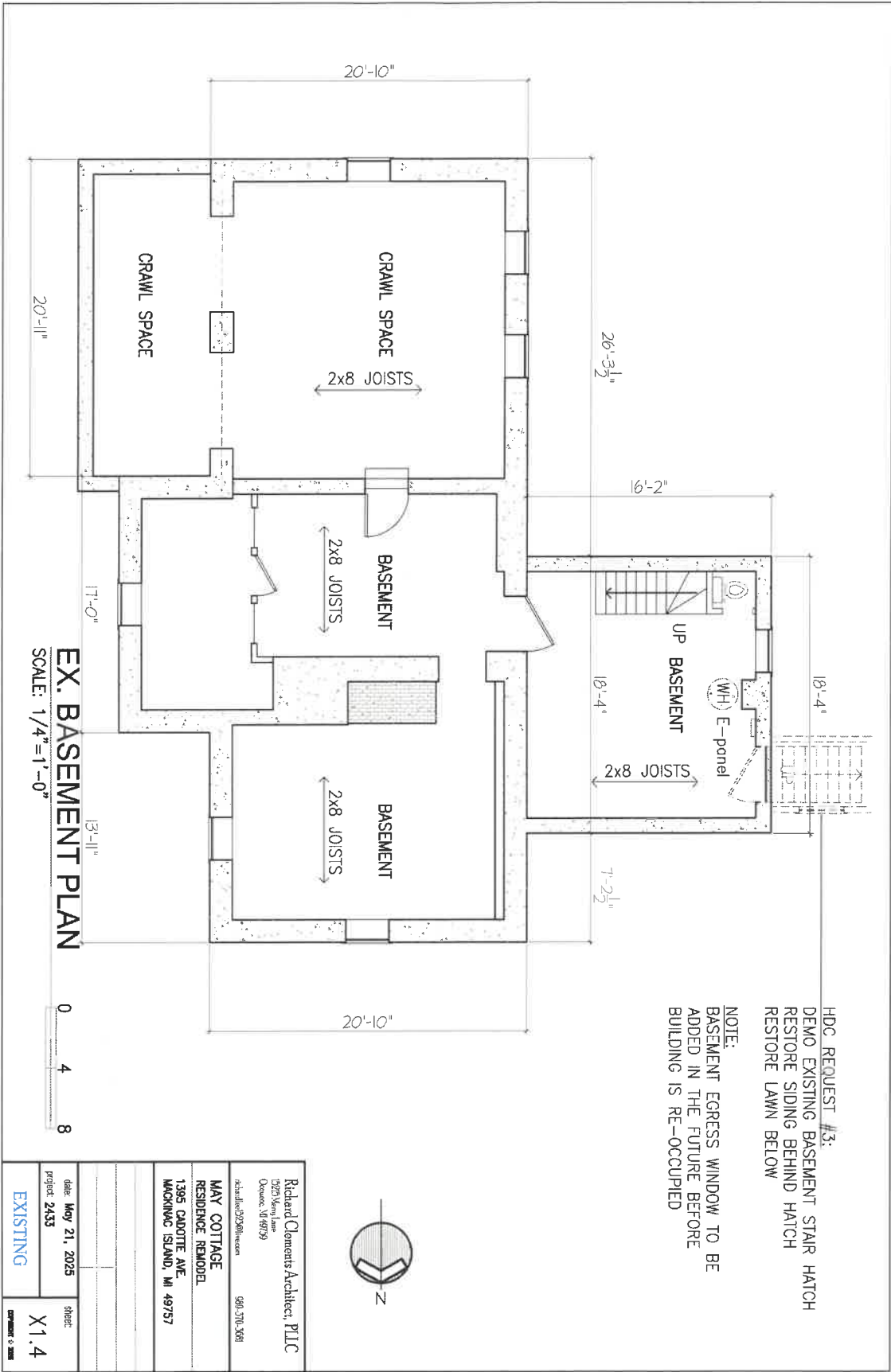
Richard Clements Architect, PLLC
7803 Grand Lane
Overland Park, MO 66204
Tel: 913.241.1111
Fax: 913.241.1112
www.rca-llc.com
1395 CADOTTE
MCKINNAW ISLAND, MI 49757
DATE: June 23, 2025
PROJECT: 2433
SHEET: A1.0
DRAWN BY: [Signature]
CHECKED BY: [Signature]



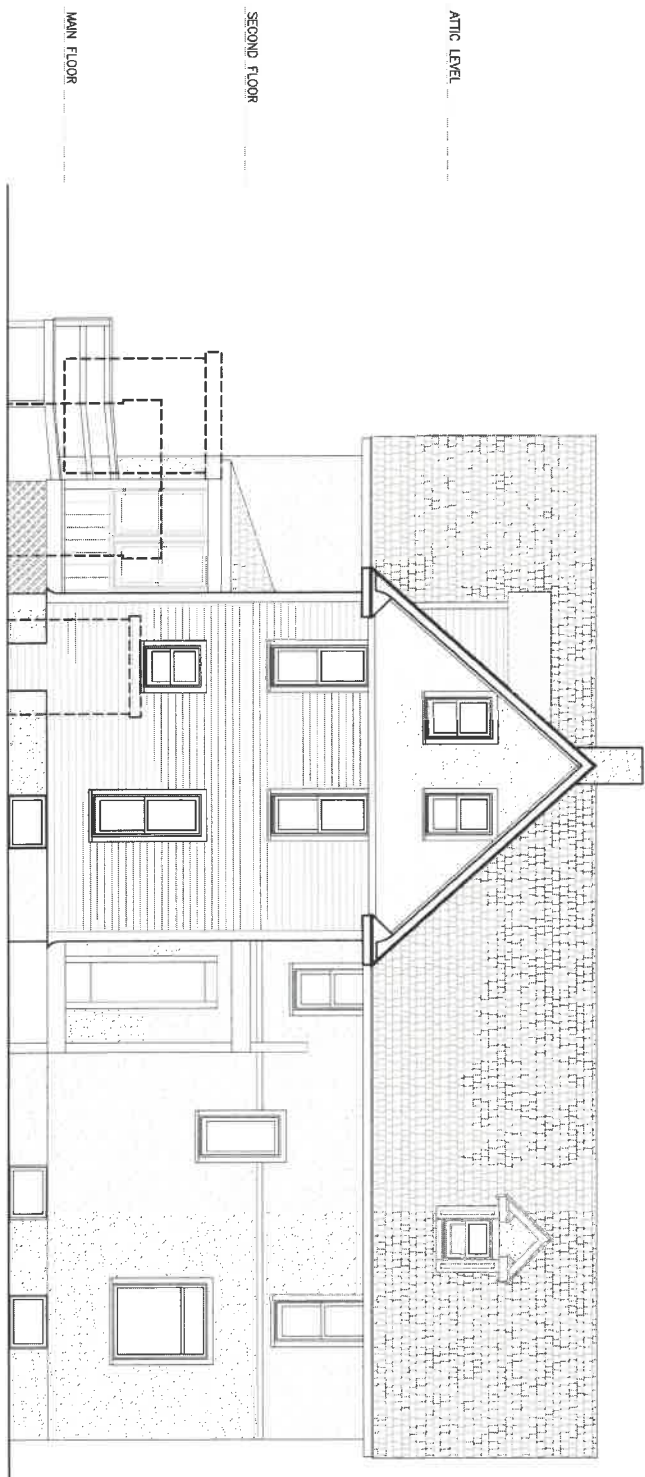
RECEIVED
 JUN 24 2025









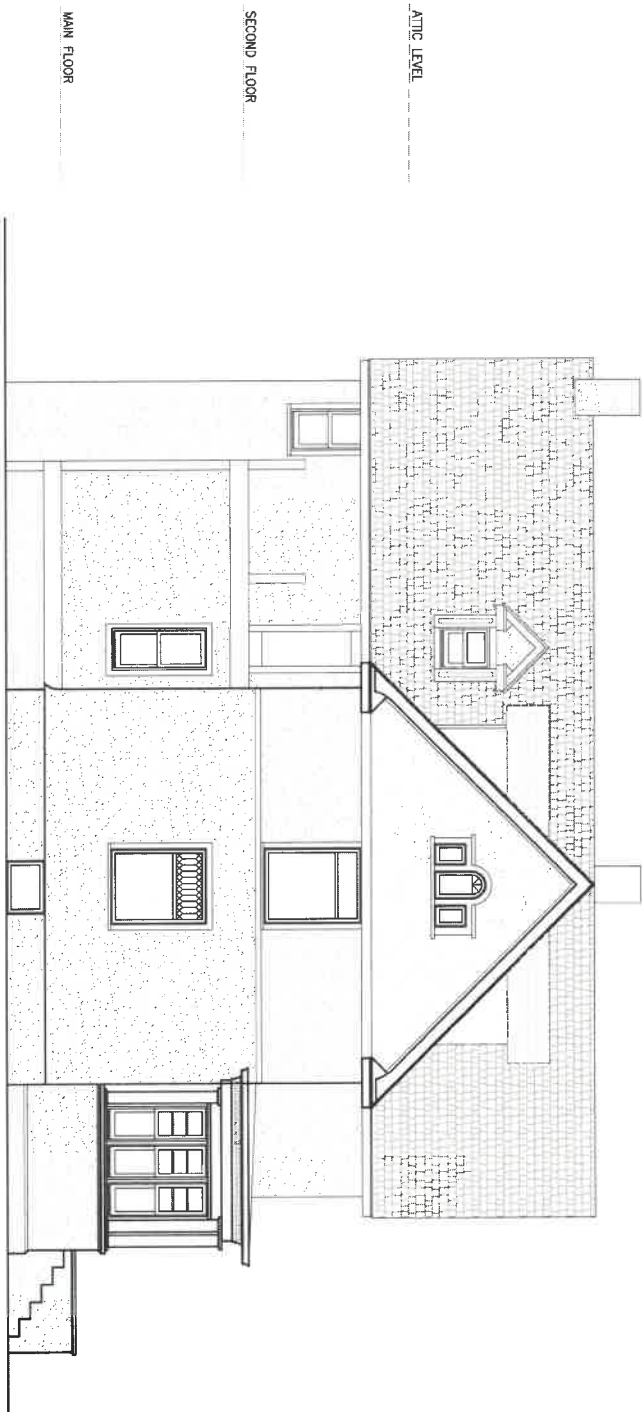


EX. WEST ELEVATION

SCALE $\frac{1}{4}" = 1'-0"$

0 4 8 16

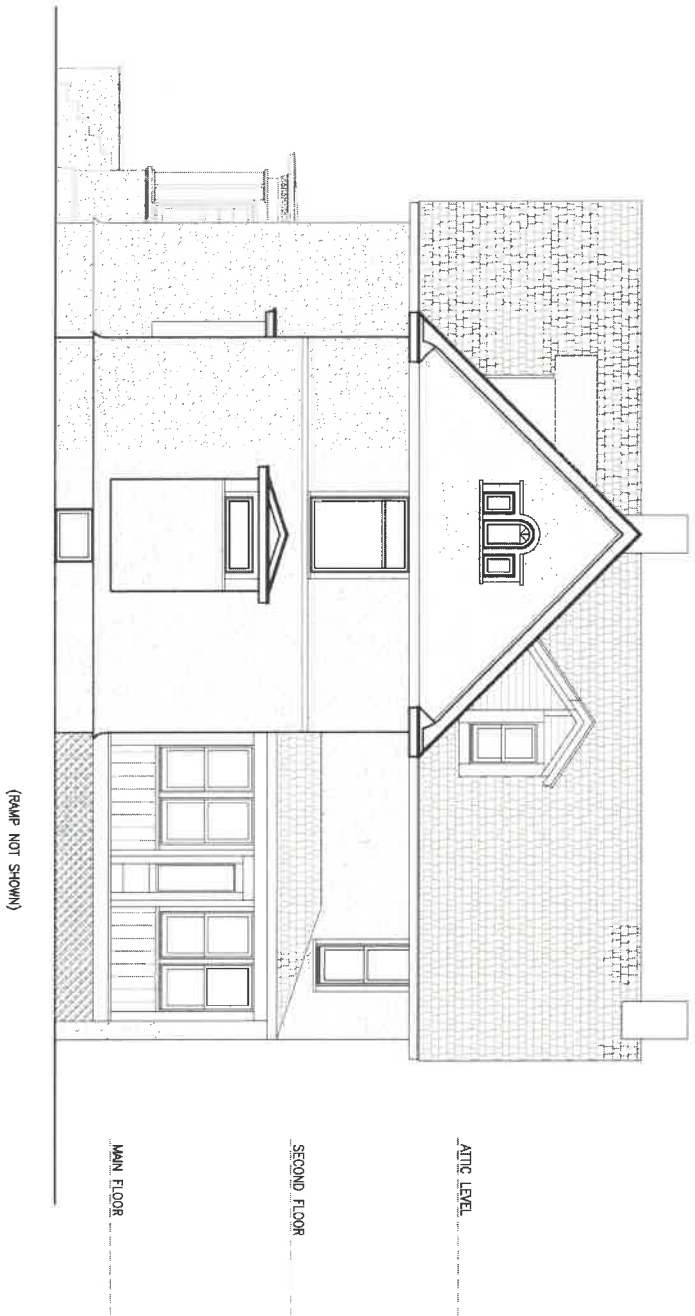
Richard Clements Architect, PLLC 12201 Mount Lane Chapin, MI 48729 richard@rca73.com		MAY COTTAGE RESIDENCE REMODEL 1395 CADOTTE AVE. MACKINAC ISLAND, MI 49757		date: May 21, 2025 project: 2433		sheet: X1.6 CONCEPT © 2015
986.370.5681				EXISTING		



EX. SOUTH ELEVATION

SCALE $\frac{1}{4}" = 1' - 0"$

Richard Clements Architect, PLLC 1970 Kensington Lane Cary, NC 27513 919.487.8600		MAY COTTAGE RESIDENCE REMODEL 1395 CADOTTE AVE. MACKINAC ISLAND, MI 49757		date: May 21, 2025 project: 2433	sheet: X1.7 COPYRIGHT © 2005
				EXISTING	



Richard Clements Architect, PLLC 1000 S. 1st Ave. Oshkosh, WI 54901 rcl@rclarchitects.com 920.370.3681		MAY COTTAGE RESIDENCE REMODEL 1395 CADOTTE AVE. MACKINAC ISLAND, MI 49757		date: May 21, 2025 project: 2433		sheet: X1.8	
				EXISTING		CONTRACT & S&B	



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JUN 24 2025

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RESIDENCE REMODEL
1305 DOODLE AVE.
MARIETTA, GA 30067
404.487.7777

FOR APPROVAL
NOT FOR CONSTRUCTION

DATE: June 23, 2025
PROJECT: 2433

PROPOSED

A2.2



