

CITY OF MACKINAC ISLAND

AGENDA

HISTORIC DISTRICT COMMISSION

Tuesday, September 10, 2024 at 1:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

II. Roll Call

III. Pledge of Allegiance

IV. Approval of Minutes

[a.](#) August 13, 2024

V. Adoption of Agenda

VI. Correspondence

[a.](#) Rentrop Statement July 31 2024

VII. Committee Reports

VIII. Staff Report

[a.](#) C24-045-049(H) Pancake House Walk In Cooler

[b.](#) R124-076-052(H) Musser Rot Repairs

[c.](#) HB24-016-053(H) Gagnon Roof Shingle Replacement

[d.](#) R124-053-054(H) McCarty Roof Shingle Replacement

IX. Old Business

[a.](#) Light Fixture Guideline Discussion

[b.](#) Demolition Application Discussion

[c.](#) HB24-026-046(H) Harbour View Inn Enclosed Fire Escape and Like for Like Repairs

[d.](#) R324-008-047(H) Doud Mission House Relocation

X. New Business

a. HDC Legal Counsel Discussion

b. SHPO Discussion

[c.](#) C24-057-055(H) GHMI Merchants of Mackinac Building Reno

[d.](#) C24-055/56-056(H) Benser Mr. B's & Murdicks

[e.](#) R324-008-057(H) Benser New Home

XI. Public Comment

XII. Adjournment

MINUTES

HISTORIC DISTRICT COMMISSION

Tuesday, August 13, 2024 at 1:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

The meeting was called to order at 1:00 PM.

II. Roll Call

PRESENT

Andrew Doud

Lee Finkel

Alan Sehoyan

Lorna Straus

Nancy Porter

Peter Olson

Shannon Schueller

Staff: Erin Evashevski, Richard Neumann

III. Pledge of Allegiance

IV. Approval of Minutes

a. July 9, 2024

Motion to approve as written.

Motion made by Finkel, Seconded by Olson.

Voting Yea: Doud, Finkel, Sehoyan, Straus, Porter, Olson, Schueller

V. Adoption of Agenda

Motion to approve as written.

Motion made by Doud, Seconded by Finkel.

Voting Yea: Doud, Finkel, Sehoyan, Straus, Porter, Olson, Schueller

VI. Correspondence

a. Rentrop May 31 2024 Statement

Motion to place on file.

Motion made by Straus, Seconded by Olson.

Voting Yea: Doud, Finkel, Sehoyan, Straus, Porter, Olson, Schueller

b. Rentrop Statement June 30 2024

Motion to place on file.

Motion made by Straus, Seconded by Olson.

Voting Yea: Doud, Finkel, Sehoyan, Straus, Porter, Olson, Schueller

c. Letter from Planning Commission re Light Fixtures

Sehoyan stated the Planning Commission is looking for a comment from HDC. Sehoyan suggested we ask MIFC to submit an application for the lights. Porter stated she isn't sure everyone is aware they need to submit an application for a fixture change. Neumann stated he was directed to work with Dombroski to come up with language for lighting but they did not have time last month. It was said that the fixture HDC would regulate and the light kelvin the Planning Commission would regulate. Straus stated the Planning Commission is just looking for a response from the HDC to the light issue. Motion by Sehoyan to table until Dombroski and Neumann discuss further. The motion died for lack of support. Dombroski suggested since so much is going on with the dock right now maybe not address right now and have them lump all the work being done with the fixtures. Schueller asked if this is for homes as well. It was confirmed it was. After further discussion there was a Motion to place the letter on file and HDC wait for guideline's to be developed by Dombroski and Neumann regarding light fixtures only in the commercial HD.

Motion made by Sehoyan, Seconded by Doud.

Voting Yea: Doud, Finkel, Sehoyan, Porter, Schueller

Voting Nay: Straus, Olson

Straus stated we have been drawing a line between commercial and residential and would like to draw attention it is not a firm line as the language suggests. One of the issues on agenda today is precisely that and the lumens and windows are not as clear as the distinction between commercial and residential.

VII. Committee Reports

None

VIII. Staff Report

a. CD24-039-043(H) Shea Gate Post and Stone Wall Repairs

Historic District Commission August 13, 2024

Dombroski stated these are like for like repairs to the gate post and foundation wall. Motion to approve the Staff Report.

Motion made by Doud, Seconded by Finkel.

Voting Yea: Doud, Finkel, Sehoyan, Straus, Porter, Olson, Schueller

b. MD24-073-044(H) Griffin Fence Repair

Dombroski stated this is a like for like repair for fence a fence in need of TLC. Motion to approve the Staff Report.

Motion made by Doud, Seconded by Finkel.

Voting Yea: Doud, Finkel, Sehoyan, Straus, Porter, Olson, Schueller

c. R324-008-045(H) Small Point B&B Porch Roof and Gutter Replacement

Dombroski stated the small porch roof and gutter need to be replaced, like for like. Motion to approve the Staff Report.

Motion made by Doud, Seconded by Finkel.

Voting Yea: Doud, Finkel, Sehoyan, Straus, Porter, Olson, Schueller

IX. Old Business

a. MD23-026-085(H) Rose Gazebo Front Deck Amendment

The applicant would like to build a deck on Rose Gazebo exactly like the deck on the Gull building. Motion to approve the amendment.

Motion made by Finkel, Seconded by Straus.

Voting Yea: Doud, Finkel, Sehoyan, Straus, Olson, Schueller

Voting Abstaining: Porter

b. MD23-011-072(H) Lenox Porch Permit Extension Request

Dombroski stated McGreevy was not able to make the meeting but is not asking for any changes. They need to extend the permit because they couldn't get to it this season. Motion to approve.

Motion made by Finkel, Seconded by Straus.

Voting Yea: Doud, Finkel, Sehoyan, Straus, Porter, Olson, Schueller

c. Demolition Application Discussion

Doud stated someone has to determine when something applies. There are some things in the last application that we didn't do and we were ok with. The application is extensive. Evashevski stated she has seen it but isn't sure what is being asked about it. Doud described the incomplete application on the red house. Doud is not sure who is on the front line of this. Doud believes a sub committee would have to review. Olson asked if he is looking for a redesign of the form, or the process of the form. Doud thinks there should be a legal, architectural and demolition committee. When Doud asked if tax returns can be requested, Evashevski stated that one of the reasons for demolition is financial hardship, so documentation must be produced to prove that hardship. Doud thought the Ira Green job was hardship but Fortino corrected him that it was approved based on the greater good. Doud questioned if this is still legal. Evashevski read the ordinance for financial hardship stating it is pretty strict. Motion to table until next meeting and have Evashevski look at and see what is required and up to date with SHPO requirements.

Porter stated someone must tell the applicant that their application is incomplete. Dombroski stated he thinks you must go to the meeting first and then the chair would appoint it to a committee. Neumann asked what about the idea of staff members, Dombroski, Neumann and Evashevski, reviewing it for completeness. Doud would agree with a blend of staff and committee but not just staff. Dombroski agrees.

Motion made by Sehoyan, Seconded by Olson.

Voting Yea: Finkel, Sehoyan, Straus, Porter, Olson, Schueller

Voting Nay: Doud

Doud would like to know who the SHPO contact is and who is the liaison. Finkel stated the vast majority of the applications he has excellent confidence in the staff. The couple times when the staff could recognize there are more complications to deal with he isn't sure if the sub committee would want to deal with it.

X. New Business

a. Approval of Appreciation Letter to Rentrop

Sehoyan read the draft letter aloud. Motion to approve.

Motion made by Olson, Seconded by Doud.

Voting Yea: Doud, Finkel, Sehoyan, Straus, Porter, Olson, Schueller

Straus requested that we add all names of commissioners at signature.

b. HB24-026-046(H) Harbour View Inn Enclosed Fire Escape and Like for Like Repairs

Sam Barnwell stated he, Dombroski and Neumann have been working on this. The elevator is coming out so the roof line needs to change. The roof line will come down to match the existing roof. This year they are doing life safety work at Lachance building. The existing stairwell is metal and exposed and enclosing makes for a safer egress. The fire escape is on

the front. The main building historic stairwell is narrow. They are looking at doing a wider stairwell with a central column of open air. They will also be sprinkling the building. They will be adding A/C in remaining portion and changing and updating mini splits in all buildings as well as adding a couple more units. Rot is being repaired and shingles, roof sills, porch, and hand rail are being repaired, all like for like. This will all be done this winter. Next winter they would like to do the landscape and 85 interior rooms. Barnwell would like to bring this application back next month and restart the 60 day clock. Barnwell is just looking for feedback now. Sehoyan stated this looks big and changing the roof line should help. Evashevski stated based on the ordinance the extension past the 60 days has to be in writing by both parties. Doud asked if we could do that next month. Evashevski stated yes. Neumann stated Barnwell and his architect should review Section C of the Design Guidelines based on Secretary Of Interior Standards regarding exterior additions. He feels the current plan does not meet these requirements because the addition is not subordinate to the existing building. The addition should be smaller and differentiated and compatible with the existing. Nuemann suggested maybe reducing the light and move the stair more towards east wall. In addition maybe 6 then 3 risers in the stair plan to achieve his suggestion. Neumann also suggested vertical board and batten may be a good way to distinguish it. Motion to table.

Motion made by Sehoyan, Seconded by Doud.

Voting Yea: Doud, Finkel, Sehoyan, Straus, Porter, Olson, Schueller

c. R324-008-047(H) Doud Benser Mission House Relocation and New Building

Doud stepped down from table.

Doud stated the existing house is currently under special land use with conditions. The house sits on two lots with one tax id number. The applicant would like to take the existing house and move 12' and and put a new house on existing foundation. Benser would like to build his personal home there. Neumann did not have a chance to review but stated conceptually it would meet the standards. Sehoyan asked Doud about his timing. Doud stated his goal is to start foundation in November, tear down the fence, and by December 15 have the foundation built. At that point slide house over and continue to build downstairs unit all winter. Once foundation is removed Benser would build his foundation. Dombroski stated Neil Hill confirmed they are two stand alone lots that happen to have same tax id. Dombroski believes this should be two projects; one for each lot. The "imaginary" lot line shown on plans is what they want the actual lot line to be. Doud said they are both owners. Evashevski asked for clarification on the lots being one tax id number but two lots. Evashevski thought they were doing a site condo. Doud stated they first thought they would have to do a lot split. But after meeting with Neil Hill he believes its already two lots with one tax id. Evashevski stated she will work with Dombroski to straighten it out. Doud stated they will be going for a lot split next month. Motion to table for additional information and Neumann review. Neumann stated he will have a review next month.

Motion made by Olson, Seconded by Finkel.

Voting Yea: Finkel, Straus, Porter, Olson, Schueller

Voting Abstaining: Doud, Sehoyan

d. MD24-036-048(H) Mackinac Island State Park Historical Marker

There is no representative present. Neumann sees no issue with it. Neumann stated it is the same as the other historical markers around town and meets the standards for review. Dombroski is ok with it. Motion to approve.

Motion made by Olson, Seconded by Straus.
Voting Yea: Doud, Finkel, Sehoyan, Straus, Porter, Olson, Schueller

XI. Public Comment

Fortino wanted to echo what Evashevski said about Roberts Rules. The City does not follow Roberts Rules but she sometimes refers to them when she makes comments. Finkel stated that it is recommended that the committees not adopt Roberts Rules. Evashevski corrected Finkel that the word is follow, not adopt. It is not a bad guideline if there is a question. Evashevski stated at a later meeting we may want to discuss how we handle discussions.

Porter would like to add to the September agenda getting our own legal council. Straus added that the HDC has state and federal law we need to be aware of. The city needs to consider that the whole island is an historic site. Having a separate attorney makes good sense.

XII. Adjournment

Meeting adjourned at 2:30

Alan Sehoyan, Chair

Katie Pereny, Secretary

Adkison, Need, Allen, & Rentrop, PLLC
39572 Woodward
Suite 222
Bloomfield Hills, MI 48304
248-540-7400, Fax 248-540-7401
Tax ID Number: 38-3224154

Section VI, Itema.

City of Mackinac Island
7358 Market Street
PO Box 455
Mackinac Island MI 49757

Attn: Danielle Leach

Page: 1
July 31, 2024
Account No: 3872M

	Balance
HDC General	\$3,240.00
HDC - City	\$0.00
	<u>\$3,240.00</u>

Adkison, Need, Allen, & Rentrop, PLLC
39572 Woodward
Suite 222
Bloomfield Hills, MI 48304
248-540-7400, Fax 248-540-7401
Tax ID Number: 38-3224154

Section VI, Itema.

City of Mackinac Island
7358 Market Street
PO Box 455
Mackinac Island MI 49757

Page: 1
July 31, 2024
Account No: 3872-0000M
Statement No: 138280

Attn: Danielle Leach

HDC General

		Previous Balance			\$6,010.26
			<u>Fees</u>		
			Rate	Hours	
07/01/2024	KT	Telephone call and conference with Gary Rentrop regarding the proposed strategy for handling the Azzar appeal, and further discussion regarding the potential for conflict of public officials exercising functions in different capacities. Email to City attorney to provide analysis on moving forward.	200.00	0.50	100.00
	GR	Office conference with Kate regarding her discussions with Erin on best approach in Azzar case, motion to dismiss or allow to proceed.		0.40	No Charge
	GR	Email to Kate to Erin regarding recommended approach.	200.00	0.20	40.00
07/08/2024	GR	Prepare for HDC meeting on July 8th; review material on Agenda; review motion. Reviewed General Directions for Application discussion on Agenda. Review Neumann letter on Gate House, Chamber porch and rejection of Beck outside lift.	200.00	2.00	400.00
07/09/2024	KT	Attended HDC regular meeting by Zoom to determine outcome of the Red House resolution.	200.00	1.20	240.00
	GR	Various text messages and telephone calls with Erin regarding meeting and transition.	200.00	0.80	160.00
07/17/2024	GR	Emails and telephone call with Katie regarding Notice to Proceed that should not be a separate document. Use resolution showing no resolution number.	200.00	0.50	100.00
07/29/2024	KT	Preparation of Motion to Dismiss Appeal. Conducted legal research to secure supporting case law. Began preparing Brief in Support of Motion, Facts and statement of jurisdiction, and created outline for arguments.	200.00	7.00	1,400.00
07/30/2024	KT	Receive, review and respond to email from Erin Evashevski instructing us to proceed with handling the Azzar appeal. Complete draft of Special Motion to dismiss appeal and brief in support.	200.00	4.00	800.00
		For Current Services Rendered		16.20	3,240.00
		Total Current Work			3,240.00

City of Mackinac Island

HDC General

Payments

07/29/2024	Payment Received, Check # 19496	-6,010.26
	Subtotal	<u>\$3,240.00</u>
	Total Due for this Matter	<u>\$3,240.00</u>

July 31, 2024

Account No: 3872-0002M

Statement No: 138280

City of Mackinac Island

HDC - City

	Previous Balance		\$2,460.00
		<u>Payments</u>	
07/29/2024	Payment Received, Check # 19496		-2,460.00
	Subtotal		<u>\$0.00</u>
	Total Balance Due		<u>\$3,240.00</u>

Credit card payments may be made online through the firm's website at www.anafirm.com. Please note that the firm accepts Visa, Mastercard, American Express and Discover.

GENERAL APPLICATION FOR WORK LOCATED WITHIN A HISTORIC DISTRICT

- ☒ Minor Work (Complete Section A and refer to General Directions)
☐ New Construction (Complete Section B and refer to General Directions and Item B)
☐ Demolition (Complete Section B and refer to General Directions and Item C)

Section VIII, Itema.

Application Deadline: Application and materials must be completed and submitted by 4:00 p.m. ten (10) business days before each Commission Meeting. Late applications will be placed on the agenda for the following month. Decision by the Commission will not necessarily occur at the meeting at which the application materials are first received.



A) MINOR WORK

PROPERTY LOCATION: 7245 Main St 051-550-045-00
 (Number) (Street) (Property Tax ID #)

PROPERTY OWNER

Name: Todd Callewaert Email Address: _____
 Address: 6946 Main St Mackinac Isl MI 49757
 (Street) (City) (State) (Zip)
 Telephone: 906 847 3347
 (Home) (Business) (Fax)

APPLICANT/CONTRACTOR

Name: Ryan Green Email Address: ryan.green@theislandhouse.com
 Address: 980 S State St St Ignace MI 49781
 (Street) (City) (State) (Zip)
 Telephone: 906 430 0968
 (Home) (Business) (Fax)

- ☒ Attach a brief description of the nature of the minor work proposed and the materials to be used.
☒ Attach one or more photograph(s) of the whole building including façade and any relevant elevations showing the area, item or feature proposed to be repaired or replaced. The Building Official or Historic District Commission may require additional information necessary to determine the work to be Minor Work.

If the Building Official determines that the proposed work is not Minor Work, the Building Official shall direct the applicant to complete an Application for New Work and/ or Application for Demolition or Moving work which will then be referred to the HDC.

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief; and that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531

Signature: _____ SIGNATURES: File No. C24-045-049(4)
 Signature: _____ Exhibit A
 Please Print Name: _____ Date: 8-7-24
 Initials: KP

NOTE: All photos, drawings and physical samples, etc., become the property of the HDC/City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

RETURN THIS FORM AND SUPPORTING MATERIALS TO:
 MACKINAC ISLAND BUILDING OFFICIAL
 7358 MARKET STREET, MACKINAC ISLAND, MI 49757
 PHONE: (906) 847-4035

File Number: C24-045-049(4) Date Received: 8-7-24 Fee: 25 + 250 = 275
 Received By: K Pereny Work Completed Date: _____

Historic District Application Checklist

- ☒ Brief Description of the nature of the work proposed and the materials to be used.* *replace like-for-like walk in cooler*
- ☒ Photographs - Clear photographs of entire project site, streetscape, water view (if applicable), surrounding context and all elevations of the existing structure(s). Property address should be identified on all photographs.*
- ☐ Site Survey/Plan (to scale) – with the following information: Lot dimensions, **existing & proposed** structures, **existing & proposed** setback and yard lines, fences, walls, easements, public rights of way, utilities, driveways, and other relevant information.
- ☐ Floor Plans & Elevations – Floor plans, building elevations and where relevant to the proposed work, sections, must include dimensions, material notes, window and door details, topography, foundation height, porch details and other relevant information as requested. For additions, the existing structure and proposed addition must be clearly shown.
- ☐ Include detail on drawings of all materials proposed to be used and their dimensional and property characteristics.
- ☐ Provide drawings, product literature, specifications, product photographs, or similar, for all new elements. Items include, but are not limited to, windows, doors, siding, trim, columns, railings, louvers, shutters, and roofing.
- ☐ Identify on drawings where any existing materials and architectural features will be removed or replaced.

*** Only the first two items are required for Like for Like projects.**

Note: All photos, drawings and physical samples, etc., become the property of the HDC/City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

Revised March 2017

Section VIII, Itema.



GENERAL APPLICATION FOR WORK LOCATED WITHIN A HISTORIC DISTRICT

- ☒ Minor Work (Complete Section A and refer to General Directions)
☐ New Construction (Complete Section B and refer to General Directions and Item B)
☐ Demolition (Complete Section B and refer to General Directions and Item C)

Application Deadline: Application and materials must be completed and submitted by 4:00 p.m. on (10) business days before each Commission Meeting. Late applications will be placed on the agenda for the following month. Decision by the Commission will not necessarily occur at the meeting at which the application materials are first received.

**A) MINOR WORK**

PROPERTY LOCATION: 7810 Main St 051-575-076-00
 (Number) (Street) (Property Tax ID #)

PROPERTY OWNER

Name: Musser Properties LLC **Email Address:** dmusser@grandhotel.com
Address: 2301 Highland Rd Ann Arbor MI 48104-1748
 (Street) (City) (State) (Zip)
Telephone:
 (Home) (Business) (Fax)

APPLICANT/CONTRACTOR

Name: Richard Chambers **Email Address:** rchambers@grandhotel.com
Address: 1891 Cadotte Ave Mackinac Island MI 49757
 (Street) (City) (State) (Zip)
Telephone: 906-748-0149
 (Home) (Business) (Fax)

- ☒ Attach a brief description of the nature of the minor work proposed and the materials to be used.
☒ Attach one or more photograph(s) of the whole building including façade and any relevant elevations showing the area, item or feature proposed to be repaired or replaced. The Building Official or Historic District Commission may require additional information necessary to determine the work to be Minor Work.

If the Building Official determines that the proposed work is not Minor Work, the Building Official shall direct the applicant to complete an Application for New Work and/ or Application for Demolition or Moving work which will then be referred to the HDC.

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief; and that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531

DocuSigned by:

Dan Musser

SIGNATURES

Signature

Signature

Dan Musser

Richard Chambers

Please Print Name

Please Print Name

File No. R124-076-052(H)

Exhibit A

Date 8-27-24

initials KP

NOTE: All photos, drawings and physical samples, etc., become the property of the City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

RETURN THIS FORM AND SUPPORTING MATERIALS TO:
MACKINAC ISLAND BUILDING OFFICIAL
7358 MARKET STREET, MACKINAC ISLAND, MI 49757
PHONE: (906) 847-4035

File Number: R124-076-052(H) Date Received: 8-27-24 Fee: \$25
 Received By: KPerery Work Completed Date:

Historic District Application Checklist

- ☒ Brief Description of the nature of the work proposed and the materials to be used.*
- ☒ Photographs - Clear photographs of entire project site, streetscape, water view (if applicable), surrounding context and all elevations of the existing structure(s). Property address should be identified on all photographs.*
- ☐ Site Survey/Plan (to scale) – with the following information: Lot dimensions, **existing & proposed** structures, **existing & proposed** setback and yard lines, fences, walls, easements, public rights of way, utilities, driveways, and other relevant information.
- ☐ Floor Plans & Elevations – Floor plans, building elevations and where relevant to the proposed work, sections, must include dimensions, material notes, window and door details, topography, foundation height, porch details and other relevant information as requested. For additions, the existing structure and proposed addition must be clearly shown.
- ☐ Include detail on drawings of all materials proposed to be used and their dimensional and property characteristics.
- ☐ Provide drawings, product literature, specifications, product photographs, or similar, for all new elements. Items include, but are not limited to, windows, doors, siding, trim, columns, railings, louvers, shutters, and roofing.
- ☐ Identify on drawings where any existing materials and architectural features will be removed or replaced.

*** Only the first two items are required for Like for Like projects.**

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Revised March 2017

Grand Hotel



Grand Hotel
P.O. Box 286
Mackinac Island, MI 49757

08/26/2024

File No. R124-076-052(H)
Exhibit B
Date 8.27.24
Initials KP

For Consideration,

The attached application is for minor work on the "McGreevy Cottage" building located at 7810 Main St, contributing to the West End Historic District of the City of Mackinac Island.
Parcel # 051-575-076-00

The minor work is to repair the existing porch decking, railings, spindles & columns. In addition, there are several window sills around the building that will be replaced. Please see the photos included of the damage and current condition of the building. The repairs and replacements will be "like for like" and will be repainted to match the existing color.

Best,

A handwritten signature in dark ink, appearing to be "Richard Chambers".

Richard Chambers

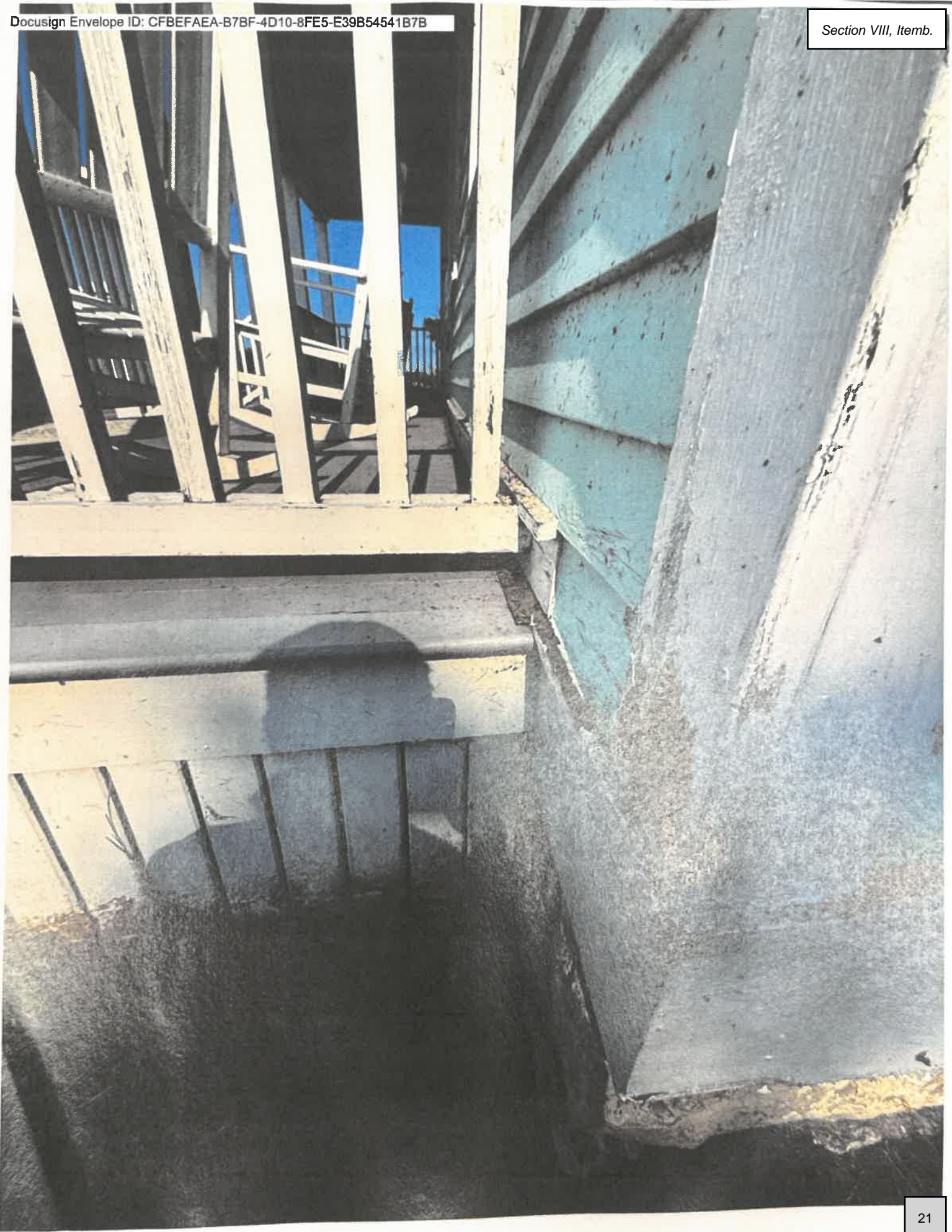
Director of Capital Projects

File No R124-076-052 (H)
Exhibit C
Date 8-27-24
Initials KP



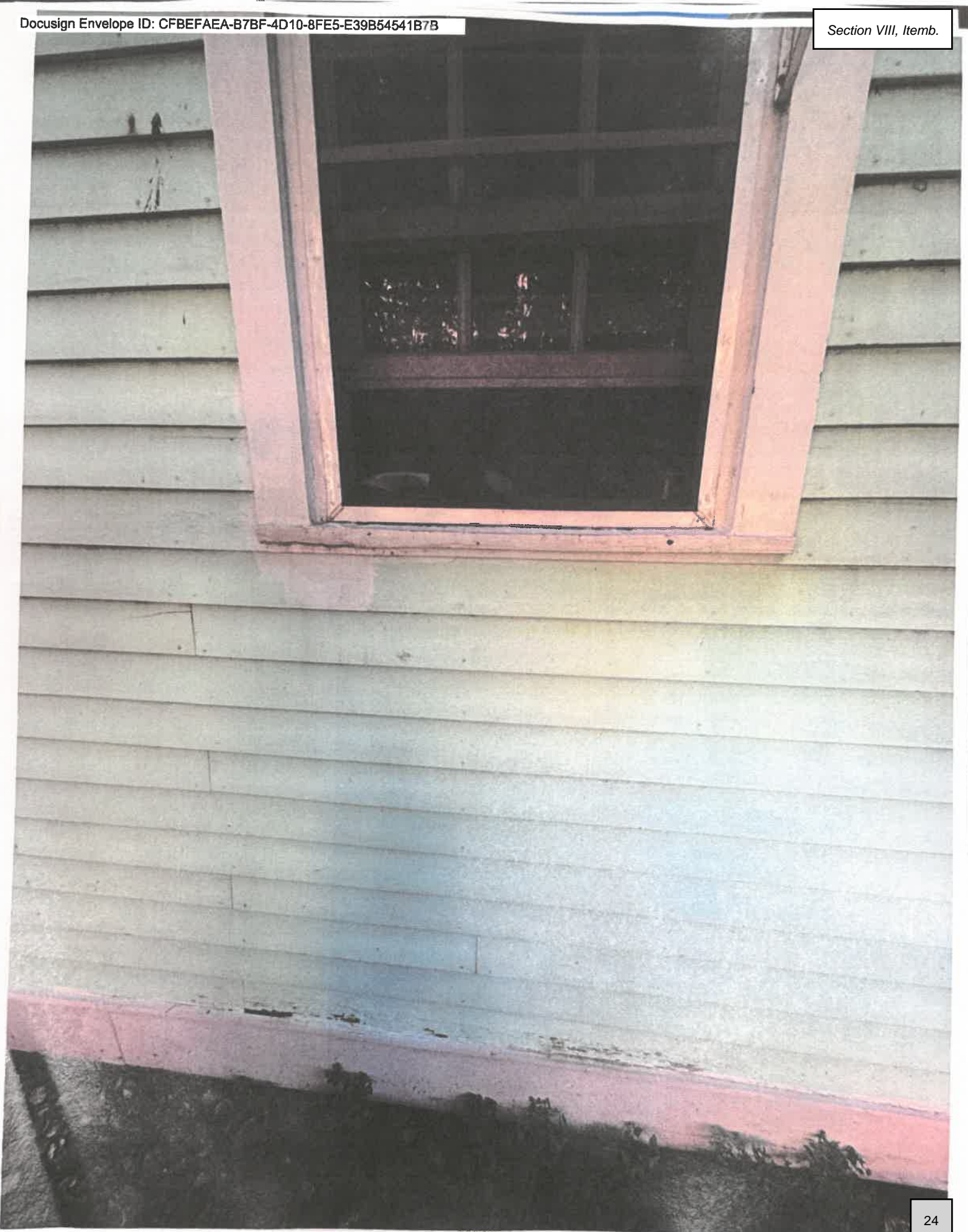
RECEIVED
[Signature]

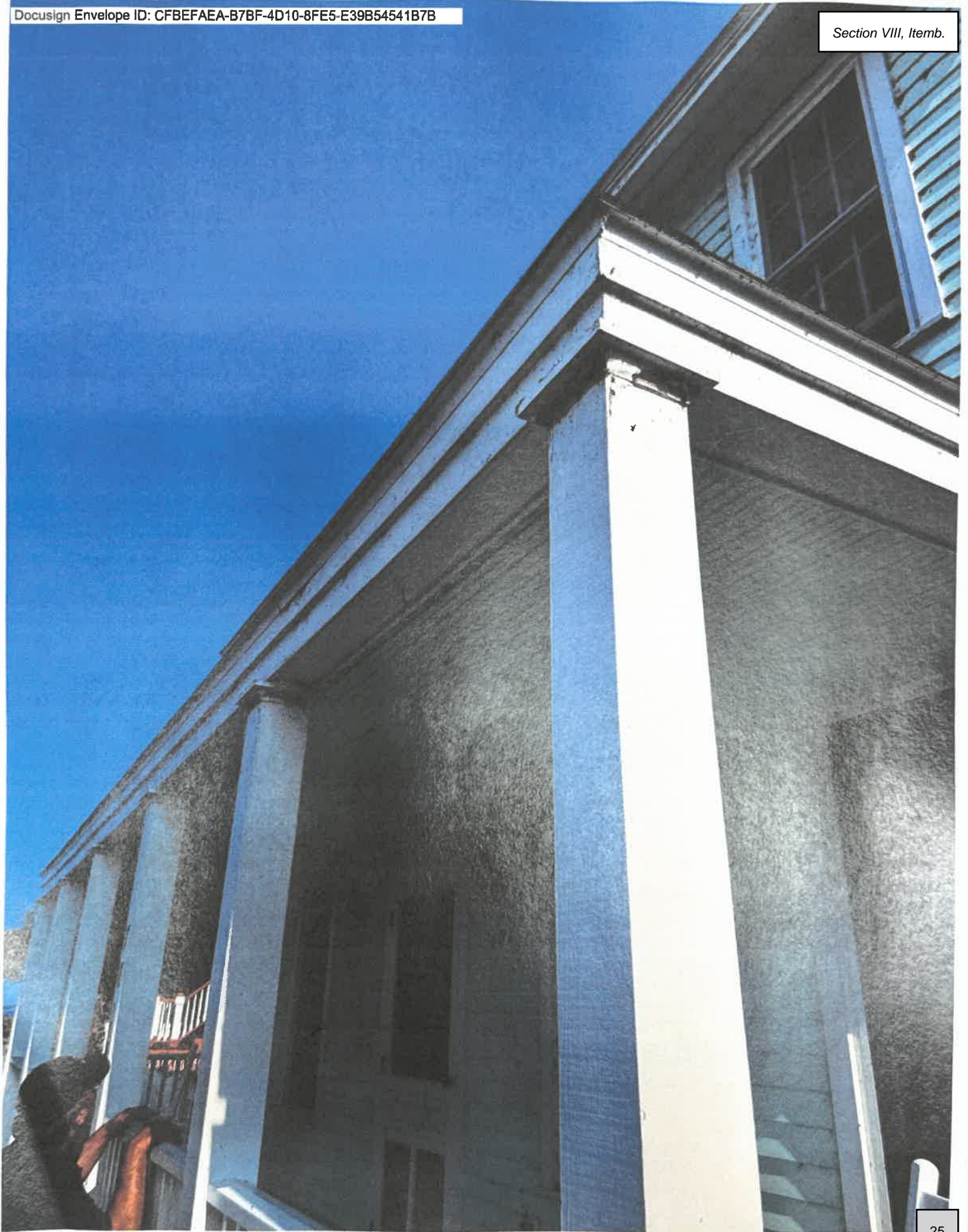












GENERAL APPLICATION FOR WORK LOCATED WITHIN A HISTORIC DISTRICT

Section VIII, Itemc.

- ☐ Minor Work (Complete Section A and refer to General Directions)
- ☐ New Construction (Complete Section B and refer to General Directions and Item B)
- ☐ Demolition (Complete Section B and refer to General Directions and Item C)

Application Deadline: Application and materials must be completed and submitted by 4:00 p.m. ten (10) business days before each Commission Meeting. Late applications will be placed on the agenda for the following month. Decision by the Commission will not necessarily occur at the meeting at which the application materials are first received.



A) MINOR WORK

PROPERTY LOCATION: 1337 FRENCH LANE 051-575-016-00
(Number) (Street) (Property Tax ID #)

PROPERTY OWNER

Name: GAGNON Email Address: SMOAGNON2@gmail.com

Address: 1337 FRENCH LANE MACINAC ISLAND MI 49757
(Street) (City) (State) (Zip)

Telephone: _____
(Home) (Business) (Fax)

APPLICANT/CONTRACTOR

Name: MACKINAC ISLAND BUILDING OFFICIAL Email Address: OFFICIAL@MACINACISLANDMI.COM

Address: 301 YALOWAT MI 49757
(Street) (City) (State) (Zip)

Telephone: _____
(Home) (Business) (Fax)

____ Attach a brief description of the nature of the minor work proposed and the materials to be used.

____ Attach one or more photograph(s) of the whole building including façade and any relevant elevations showing the area, item or feature proposed to be repaired or replaced. The Building Official or Historic District Commission may require additional information necessary to determine the work to be Minor Work.

If the Building Official determines that the proposed work is not Minor Work, the Building Official shall direct the applicant to complete an Application for New Work and/ or Application for Demolition or Moving work which will then be referred to the HDC.

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief; and that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531

Matt Myers SIGNATURES
Signature

Please Print Name

Signature

Please Print Name

File No. H24-016-053(H)

Exhibit A

Date 8.27.24

Initials

KP

NOTE: All photos, drawings and physical samples, etc., become the property of the HDC City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

RETURN THIS FORM AND SUPPORTING MATERIALS TO:

MACKINAC ISLAND BUILDING OFFICIAL

7358 MARKET STREET, MACKINAC ISLAND, MI 49757

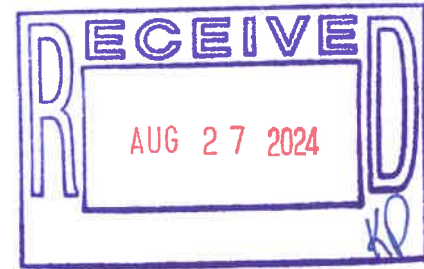
PHONE: (906) 847-4035

File Number: H24-016-053(H) Date Received: 8.27.24 Fee: 25-
Received By: KPerry Work Completed Date: _____



MACKINAC WOODWORKS

Matthew W. Myers
PO Box 156
Mackinac Island, MI • 49757
231-471-1323
Licensed and Insured



File No. HB24-016-053(H)

Exhibit B

Date 8.27.24

Initials KP

Job Location

Gagnon Residence
1337 French Lane

Job description

Remove and replace roof shingles with Certainteed Landmark Pro shingle.
Color will be a like for like color in Pewter

Please contact me with any questions, 231-381-6600

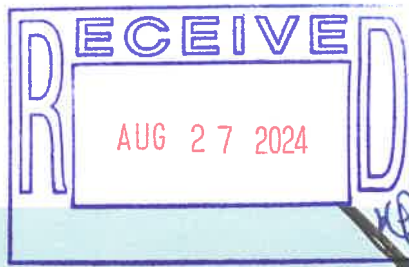
Regards,
Matt Myers
Mackinac Woodworks

File No. HB24-016-053(H)

Exhibit C

Date 8-27-24

Initials KP



Section VIII, Itemc.



of mind
...guaranteed

LIFETIME
Warranty

10
YEAR

StainFighting™
Algae-Resistance
Warranty

10
YEAR

130
MPH

See actual warranty for specific details and limitations.
Warranty of this roof. All warranties on this warranty are void if not properly installed. Please refer to the actual warranty for details. All warranties are void if not properly installed. Please refer to the actual warranty for details. All warranties are void if not properly installed. Please refer to the actual warranty for details.

CertainTeed
SAINT-GOBAIN

LANDMARK®
Designer Shingles

Made in USA

Shown in Weathered Wood

Georgetown Gray
Weathered Wood

Driftwood

Cottage Red
Resawn Shake

Colonial Slate
Pewter

Cobblestone Gray
Moire Black

Burnt Sienna
Hunter Green

Atlantic Blue
Heather Blend

File No. HB24-016-053(H)
Exhibit D
Date 8.27.24
Initials MP

RECEIVED
AUG 27 2024

Section VIII, Itemc.

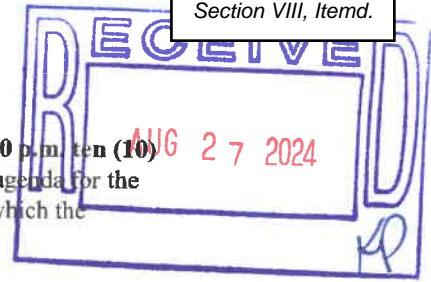


GENERAL APPLICATION FOR WORK LOCATED WITHIN A HISTORIC DISTRICT

- ☐ Minor Work (Complete Section A and refer to General Directions)
- ☐ New Construction (Complete Section B and refer to General Directions and Item B)
- ☐ Demolition (Complete Section B and refer to General Directions and Item C)

Section VIII, Itemd.

Application Deadline: Application and materials must be completed and submitted by 4:00 p.m. ten (10) business days before each Commission Meeting. Late applications will be placed on the agenda for the following month. Decision by the Commission will not necessarily occur at the meeting at which the application materials are first received.

**A) MINOR WORK**

PROPERTY LOCATION: 7745 MAHONEY AVE. 051.575.053.00
(Number) (Street) (Property Tax ID #)

PROPERTY OWNER

Name: McCarty Email Address: mbmccarty@msm.com
Address: 7745 MAHONEY M.I. MI 49757
(Street) (City) (State) (Zip)
Telephone: 865 692 3366
(Home) (Business) (Fax)

APPLICANT/CONTRACTOR

Name: Mackinac Woodworks Email Address: Mackinacwoodworks@yahoo.com
Address: BOX 156 M.I. MI 49757
(Street) (City) (State) (Zip)
Telephone: 231 881 6660
(Home) (Business) (Fax)

____ Attach a brief description of the nature of the minor work proposed and the materials to be used.
____ Attach one or more photograph(s) of the whole building including façade and any relevant elevations showing the area, item or feature proposed to be repaired or replaced. The Building Official or Historic District Commission may require additional information necessary to determine the work to be Minor Work.

If the Building Official determines that the proposed work is not Minor Work, the Building Official shall direct the applicant to complete an Application for New Work and/ or Application for Demolition or Moving work which will then be referred to the HDC.

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief; and that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531

Matt Myers SIGNATURES
Signature

Matt MYERS
Please Print Name

Signature

Please Print Name

File No. R124.053.054(H)Exhibit ADate 8.27.24Initials KP

NOTE: All photos, drawings and physical samples, etc., become the property of the HDC/City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

RETURN THIS FORM AND SUPPORTING MATERIALS TO:

MACKINAC ISLAND BUILDING OFFICIAL
7358 MARKET STREET, MACKINAC ISLAND, MI 49757
PHONE: (906) 847-4035

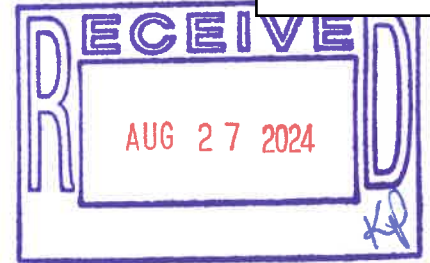
File Number: R124.053.054(H) Date Received: 8.27.24 Fee: 25 -
Received By: KPerry Work Completed Date: _____



MACKINAC
WOODWORKS

Matthew W. Myers
PO Box 156
Mackinac Island, MI • 49757

Licensed and Insured!



Job location

McCarty residence
7745 Mahoney Ave.

File No. R124-053-054(H)

Exhibit B

Date 8.27.24

Initials KP

Job description

Remove and replace roof shingles with Certainteed Landmark Pro shingles
Color is to be Colonial Slate, a like for like color

Please contact me with any questions. 231-881-6600

Regards,
Matt Myers
Mackinac Woodworks

File No. R124-053-054 (H)
Exhibit C
Date 8-27-24
Initials KQ

RECEIVED
AUG 27 2024
KQ

of mind
...guaranteed

LIFETIME
Warranty

10
YEAR

10
YEAR

130
MPH

See your warranty for specific details and limitations.
Excludes of labor only. See warranty on this shingle for more
details. When you buy, ask to see a full shingle. At certain
times you may be required to purchase a full shingle. At certain
times you may be required to purchase a full shingle. At certain
times you may be required to purchase a full shingle.

CertainTeed
SAINT-GOBAIN

LANDMARK®
Designer Shingles

**Made in USA**

Atlantic Blue
Heather Blend

Burnt Sienna
Hunter Green

Cobblestone Gray
Molte Black

Colonial Slate
Pewter

Cottage Red
Rosawn Shake

Driftwood
Silver Birch

Georgetown Gray
Weathered Wood

File No. RJ24-033-054(H)
Exhibit D
Date 8.27.24
Initials KP

RECEIVED
AUG 27 2024

Section VIII, Itemd.



6 September 2024 - DRAFT - Neumann and Dombroski

DESIGN GUIDELINES
For Work Within Historic Districts

G. DESIGN GUIDELINES FOR EXTERIOR LIGHTING

As for all the guidelines, the purpose is to recommend that changes and additions of lighting and light fixtures for use in the historic districts, both commercial and residential uses, be era-appropriate. And more broadly, these guidelines should be applied across the City, as all is part of the Mackinac Island National Historic Landmark.

Both the character of the light itself (color temperature), and the fixtures which produce the light, should be appropriate to the historic ambiance of the Districts.

1. Styles. The appearance of light fixtures should be typical of and appropriate for the architectural styles found in the historic districts, those being:

Victorian / Queen Anne -
Arts and Crafts / Bungalow -
Colonial Revival -

2. Materials and Finishes. Light fixture construction materials and their finishes should reflect the typical and appropriate materials associated with their architectural style period.

Victorian / Queen Anne - Dark / black metal finishes.
Arts and Crafts / Bungalow - Weathered metals (sometimes hand-hammered) with art glass, often in amber or green colors.
Colonial Revival - Usually brass or silvered metal finishes, and with glass having etched patterns.

3. Light Quality. In natural light color temperature varies throughout the day, but in darkness people seem to prefer a warmer color temperature approximating incandescent light sources. This is in the 2,500 - 3,000 K color temperature range, and is most appropriate for the historic environments of the Island’s historic districts.



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

8 September 2024

PRESERVATION EDUCATION SEGMENT

EXTERIOR LIGHTING

The introduction of the carbon filament light bulb in 1879 started the move away from gas lighting. Thomas Edison came up with the first practical light bulb in 1881, and by 1890 the first incandescent light was developed. As electricity was very unreliable early on, the switch (get it?) to it from gas was not a single big leap to the new technology (as is often the case), but a slow evolution resulting in dual-fuel light fixtures - using both gas, with the glass shades oriented up, and electric, having the shades open down.

The use of outdoor lighting on private property became commonplace in the 1920's, so that entryways and yards of residences were illuminated as well as shop windows and sidewalks, using arc lamp bulbs and incandescent lamps.

Man-made light sources evolved from the use of clay oil lamps as early as 5,000 years ago. Metal lamps from the early iron age were apparently developed by the Celts. The choice of fuels varied widely based on availability, such as animal fat, fish oil, vegetable oils, and natural petroleum seepages. By the mid-19th Century sperm whale oil became the preferred choice for lamps.

The use of candles in history is misunderstood, as they were not commonplace, but were a luxury, made of tallow or beeswax.

The use of gas as a fuel source in lighting came about as a by-product of coal mining, which released gas. Burning coal released even more gas, and advances brought gas piped to light fixtures, first used in a Rhode Island textile mill in 1806. Gas could be created either at a central community source, or at home in rural locations. Matches were invented in 1829, and people could then "carry the fire" to light fixtures.

Sources:

"Lighting Technology: from darkness to opportunity", Robert L. Smith, PE, University of Illinois School of Architecture, Architectural Lighting, November 1986.

"A Brief History of Outdoor Lighting", Outdoor Lighting Manual for Vermont Municipalities, Chittenden County Regional Planning Commission, 1996.

Historic District Application Checklist

- ☐ Brief Description of the nature of the work proposed and the materials to be used.*
- ☐ Photographs - Clear photographs of entire project site, streetscape, water view (if applicable), surrounding context and all elevations of the existing structure(s). Property address should be identified on all photographs.*
- ☐ Site Survey/Plan (to scale) – with the following information: Lot dimensions, **existing & proposed** structures, **existing & proposed** setback and yard lines, fences, walls, easements, public rights of way, utilities, driveways, and other relevant information.
- ☐ Floor Plans & Elevations – Floor plans, building elevations and where relevant to the proposed work, sections, must include dimensions, material notes, window and door details, topography, foundation height, porch details and other relevant information as requested. For additions, the existing structure and proposed addition must be clearly shown.
- ☐ Include detail on drawings of all materials proposed to be used and their dimensional and property characteristics.
- ☐ Provide drawings, product literature, specifications, product photographs, or similar, for all new elements. Items include, but are not limited to, windows, doors, siding, trim, columns, railings, louvers, shutters, and roofing.
- ☐ Identify on drawings where any existing materials and architectural features will be removed or replaced.

*** Only the first two items are required for Like for Like projects.**

Note: All photos, drawings and physical samples, etc., become the property of the HDC/City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

Revised March 2017

GENERAL APPLICATION FOR WORK LOCATED WITHIN A HISTORIC DISTRICT

Section IX, Itemb.

- ☐ Minor Work (Complete Section A and refer to General Directions)
☐ New Construction (Complete Section B and refer to General Directions and Item B)
☐ Demolition (Complete Section B and refer to General Directions and Item C)

Application Deadline: Application and materials must be completed and **submitted by 4:00 p.m. ten (10) business days before each Commission Meeting.** Late applications will be placed on the agenda for the following month. Decision by the Commission will not necessarily occur at the meeting at which the application materials are first received.

A) MINOR WORK**PROPERTY LOCATION:**

(Number)

(Street)

(Property Tax ID #)

PROPERTY OWNER

Name: _____ Email Address: _____

Address: _____
(Street) (City) (State) (Zip)Telephone: _____
(Home) (Business) (Fax)**APPLICANT/CONTRACTOR**

Name: _____ Email Address: _____

Address: _____
(Street) (City) (State) (Zip)Telephone: _____
(Home) (Business) (Fax)

____ Attach a brief description of the nature of the minor work proposed and the materials to be used.

____ Attach one or more photograph(s) of the whole building including façade and any relevant elevations showing the area, item or feature proposed to be repaired or replaced. The Building Official or Historic District Commission may require additional information necessary to determine the work to be Minor Work.

If the Building Official determines that the proposed work is not Minor Work, the Building Official shall direct the applicant to complete an Application for New Work and/ or Application for Demolition or Moving work which will then be referred to the HDC.

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief; and that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531

SIGNATURES

Signature _____ Signature _____

Please Print Name _____

Please Print Name _____

NOTE: All photos, drawings and physical samples, etc., become the property of the HDC/City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

RETURN THIS FORM AND SUPPORTING MATERIALS TO:**MACKINAC ISLAND BUILDING OFFICIAL****7358 MARKET STREET, MACKINAC ISLAND, MI 49757****PHONE: (906) 847-4035**

File Number: _____ Date Received: _____ Fee: _____
Received By: _____ Work Completed Date: _____

B) NEW CONSTRUCTION & DEMOLITION OR MOVING OF STRUCTURES

Section IX, Itemb.

PROPERTY LOCATION: _____
(Number) (Street) (Property Tax ID #)

LEGAL DESCRIPTION OF PROPERTY: _____
(Attach supplement pages as needed)

ESTIMATED PROJECT COST: _____

APPLICANT/CONTRACTOR

(Applicant's interest in the project if not the fee-simple owner): _____

Name: _____ Email Address: _____

Address: _____
(Street) (City) (State) (Zip)

Telephone: _____
(Home) (Business) (Fax)

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief.

Signature: _____ Date _____

PROPERTY OWNER(S) AND ALL PARTIES WITH A CLAIM OF RIGHT IN PROPERTY¹ This includes mortgagees, easement holders, and lien holders. You may be asked to provide a title search of the property and if the estimated is in excess of \$250,000 you are required to do so. Attach additional pages listing the person(s) or entity(ies) with legal interest(s) in the property and the nature of the legal interest(s).

Name: _____ Email Address: _____

Address: _____
(Street) (City) (State) (Zip)

Telephone: _____
(Home) (Business) (Fax)

The undersigned certify(ies) and represent(s)

1. That he/she, it or they is (are) all of the fee title owner(s) of all of the property involved in the application; and
2. That he/she, it or they has (have) attached a list which identifies all parties with a legal interest in the property at issue other than the undersigned owner(s) and has (have) identified the nature of each legal interest; and
3. That the answers and statements herein attached and materials provided are in all respects true and correct to the best of his, her, its or their information, knowledge and belief. The undersigned hereby further certify(ies) and represent(s) that he/she, it or they has (have) read the foregoing and understand(s) the same.
4. That the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531.

SIGNATURES

Signature _____ Signature _____

Please Print Name _____ Please Print Name _____

Signed and sworn to before me on the _____ day of _____, 20____.

Notary Public _____
County, Michigan

My commission expires: _____

¹ The decision by the Historic District Commission may be in the form of Restrictions to which such Parties may be required to agree. (revised 04/17)

GENERAL DIRECTIONS FOR WORK WITHIN A HISTORIC DISTRICT

I. Determine the Classification of Work

An Application is required for all "Work" (construction, addition, alteration, repair, moving, excavation or demolition) involving a "Resource" (one or more historic or non-historic buildings, structures, sites, objects, features, or open spaces) located within a historic district or proposed historic district.

Please determine which classification of work you are proposing from the Categories below. The Building Official can assist you in this determination. Your proposed work may involve both Demolition and New Construction (for example, removal and replacement of a porch where the replacement is not "like for like"). If this is the case, please complete the General Application and the required Application Information for both Demolition and New Construction.

All applicants must include a completed form entitled "General Application for Work Located in a Historic District". **See the attached checklist to help compile a complete application package.**

A. MINOR WORK IN A HISTORIC DISTRICT (COMPLETE SECTION "A" ON THE GENERAL APPLICATION)

Applications that indicate the work will be minor work may be administratively approved on behalf of the Commission by the City's Building Official. Minor work is:

1. Exterior repair work with little or no change in the appearance using material(s) like the material(s) being replaced or repaired (known as "like for like").
2. Re-roofing using asphalt shingles of traditional color, that are either: 3 tab architectural, low profile, (Landmark CertainTeed or equivalent) or heavy duty architectural dimensional (or equivalent).

Where the City's Building Official is uncertain as to whether the work is minor, the Building Official shall refer the application to the Historic District Commission.

B. NEW CONSTRUCTION (SEE PAGE 2 FOR INSTRUCTIONS)

1. This is work that changes the footprint or volume of a building or structure; or creates a new building, addition or structure; or materially alters the appearance of the resource; or may not be consistent with the historic integrity of the property.
2. Applicant shall complete that application identified as New Construction and provide the requested material. (Section "B")

C. DEMOLITION OR MOVING OF STRUCTURE (SEE PAGE 3 FOR INSTRUCTIONS)

1. This is work which includes one or more of the following:
 - Removes materials
 - Reduces the footprint or volume of a building or structure
 - The moving or removing of a building or structure within the same site or off site.
2. Applicant shall complete that application identified as Demolition or Moving and provide the requested material. (Section "B")

II. Historic District Commission Procedure

- A. Note that your application will not be processed until all the required information and fee have been received by the submittal due date. (14 days prior to the scheduled meeting date)
- B. For all work in a Historic District which is not determined by the Building Official to be minor work, Applicant will need to obtain a determination by the Historic District Commission (the "HDC") that the work is minor or obtain the approval of the HDC with a Certificate of Appropriateness or Notice to Proceed before work can commence within a Historic District.

ITEM B**INSTRUCTIONS FOR THE APPLICATION FOR
NEW CONSTRUCTION WITHIN HISTORIC DISTRICT**

Regarding proposed new construction (which is any Work within a historic district or a proposed historic district which changes the footprint or volume of a building or structure; or creates a new building, addition or structure; or materially alters the appearance of a resource; or may not be consistent with the historic integrity of the property), the HDC in reviewing plans, shall follow the relevant requirements of the State's Local Historic Districts Act, the City's Historic District Ordinance and the HDC's Design Review Standards and Guidelines which include the United States Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings as set forth in 36 C.F.R. part 67 and consideration of the following:

- a) The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area.
- b) The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area.
- c) The general compatibility of the design, arrangement, texture and materials proposed to be used.
- d) Other factors, such as aesthetic value, that the commission finds relevant.
- e) Whether the applicant has certified in the application that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531.

Resource means one or more publicly or privately owned historic or non-historic buildings, structures, sites, objects, features, or open spaces located within a historic district. Open Space means undeveloped land, a naturally landscaped area, or a formal or man-made landscaped area that provides a connective link or a buffer between other resources.

APPLICATION REQUIREMENTS

Each application requires submittal of eleven (11) identical packets of documentation. Blueprint size or 11" x 17" paper is requested when scaled and/or dimensioned drawings are required. Applications must be on top with backup documentation attached to the back of each application. See the attached checklist to help compile a complete application package.

THESE ARE THE MINIMUM REQUIREMENTS. THE COMMISSION AND ITS STAFF RESERVES THE RIGHT TO ASK FOR ADDITIONAL INFORMATION AS AN INDIVIDUAL CASE REQUIRES.

ITEM C**REQUIRED APPLICATION INFORMATION FOR THE DEMOLITION OR MOVING OF RESOURCES WITHIN THE CITY OF MACKINAC ISLAND HISTORIC DISTRICTS****A. RESPONSIBILITY OF THE HISTORIC DISTRICT COMMISSION**

The City of Mackinac Island's Historic District Commission is the entity which reviews all applications for work within a historic district or proposed historic district. The demolition or moving of any historic resource constitutes an irreplaceable loss to a historic district or proposed historic district and to the City of Mackinac Island. The demolition or moving of even a non-contributing resource can have serious consequences for a historic district or proposed historic district.

B. APPLICATIONS FOR DEMOLITION OR MOVING OF RESOURCES

The following guidelines apply to *Applications for Demolition or Moving of Resources*. The guidelines do not apply to the moving, razing or destruction, whether entirely or in part, of a resource which has been destroyed by neglect and/or by fire when arson by the owner or owner's agent has been proven.

C. REQUIREMENTS OF APPLICANT

The Applicant who proposes to demolish or move a resource in a Historic District must submit eleven (11) identical packets of the completed application. An application shall include all of the following:

1. Signatures of the applicant and property owner.
2. Name and mailing address of the property owner.
3. Name and mailing address of the applicant.
4. Specific grounds under the provisions of the local Historic District Ordinance upon which the application for a demolition or moving permit is based.
5. Information sufficient to justify the grounds upon which the applicant has chosen to base the application.
6. Written evidence that alternatives to demolition or moving have been evaluated (including but not limited to rehabilitation, sale, adaptive reuse) and provide both architectural and financial data to support a conclusion the demolition or moving is the only feasible option. This evidence shall show that the property was offered for sale, the price asked, the period of time during which the property was offered for sale, and how the property was advertised for sale. The evidence shall show if there are actions or omissions of the owner that have impaired the ability to market the property.
7. Written evidence of any advice sought by the applicant from a professional(s) experienced in historic preservation work.
8. A description of all measures that will be taken to protect surrounding buildings and any other resources from the risk of adverse impact due to demolition or moving.
9. It is the applicant's burden to provide all the required information on the application and to show that the application complies with the ordinance. If the applicant does not meet the burden, the application shall be denied.

D. GROUNDS UPON WHICH AN APPLICATION MAY BE BASED

The Applicant must demonstrate that one or more of the following conditions prevail and that the proposed work is necessary to substantially improve or correct any of the following conditions set forth in bold type below:

1. **The resource constitutes a hazard to the safety of the public or to the structure's occupants.** Applicant shall provide:
 - a. Certified written report by a structural engineer licensed in Michigan as to the structural soundness of the building and its adaptability for rehabilitation. Any dangerous conditions should be identified.

- b. Detailed description of existing conditions, including environmental conditions of the building(s) and property.
- c. Detailed description of proposed changes.
- d. Site plan, to scale, showing the location of the resource proposed to be demolished in relationship to other resources on the property, and to the property lines.
- e. Site plan, to scale, and any other information which accurately describes the proposed use and appearance of the site after demolition or moving of the resource.
- f. Feasibility of alternative uses for the property that would allow retention of the structure.
- g. Floor plans with dimensions.
- h. Photographs of the property showing all elevations, close-ups of details, and relationship to adjacent and surrounding resources.

Applicant shall also provide architectural and historical data, as available:

- a. Date of construction of the resource.
- b. Architectural style of the resource.
- c. Historic photographs of the resource.
- d. Name of original owner / builder / developer.
- e. Building timeline (i.e., dates and location of additions, demolition and changes).
- f. Detailed description of building materials that are original to the resource.
- g. Historic information regarding the resource (i.e., notable residents, highly recognized landmark, important site, etc.).

Note: The City's representatives and consultants may require access and an opportunity to inspect the resource.

2. **The resource is a deterrent to a major improvement program that will be of substantial benefit to the community and the applicant proposing the work has obtained all necessary planning and zoning approvals, financing, and environmental clearances.**

Applicant shall provide:

- a. Written description of the nature of the proposed improvement and how it will benefit the broader community.
- b. Site plan, to scale, showing the site after the proposed work, including existing and new construction.
- c. Building schematic plans and elevations sufficient to illustrate the size, mass, materials and appearance of the proposed new construction in relation to remaining historic elements on the applicant's property and surrounding sites.
- d. Evidence of required planning and zoning approval for proposed work, financing and environmental clearances.
- e. Floor plans with dimensions.
- f. Photographs of the property showing all elevations, close-ups of details, and relationship to adjacent and surrounding resources.

Applicant shall also provide architectural and historical data, as available:

- a. Date of construction of the resource.
- b. Architectural style of the resource.
- c. Historic photographs of the resource.
- d. Name of original owner / builder / developer.
- e. Building timeline (i.e., dates and location of additions, demolition and changes).
- f. Detailed description of building materials that are original to the resource.
- g. Historic information regarding building (i.e., notable residents, highly recognized landmark, important site, etc.).

3. **Retaining the resource will cause undue financial hardship to the owner when a governmental action, an act of God, or other events beyond the owner's control created the hardship, and all feasible alternatives to eliminate the financial hardship, which may include offering the resource for sale at its fair market value or moving the resource to a vacant site within the historic district, have been attempted and exhausted by the owner.**

Applicant shall provide, in written form, information sufficient to establish it meets the elements of this condition, which shall include:

- a. Form of ownership of the property, including names and addresses of the owners. If owner is an organization, governmental entity or corporation, include name and telephone number of a contact person.
- b. Amount paid for the property, date of purchase, party from whom property was purchased, and any relationship between the parties.
- c. Remaining balance on any mortgage or other financing secured by the property.
- d. If property is income-producing, (1) annual gross income for the previous three years (2) itemized operating and maintenance expenses (3) depreciation deduction (4) annual cash flow before and after debt service.
- e. Assessed value and real estate tax on the property, according to the two most recent tax assessments
- f. Estimated fair market value of the property (1) in its current condition (2) after complying with HDC Standards and Guidelines (3) after the proposed demolition or moving. There shall be a detailed explanation of what the property conditions are, including the environmental condition of the property, and how those conditions impair the ability to market the property.
- g. Any real estate listing of the property for sale or rent in the past three years, including price asked, open houses held, prospects shown the property and offers received.
- h. Three bids each for the cost of the proposed demolition or moving compared with the cost of stabilizing or "mothballing" the resource.
- i. Long term and short term availability of funds, including income and financing, available to the owner that would allow retention of the resource.
- j. List of financial incentives for preserving the resource available to the applicant through federal, state, city or private programs.
- k. Floor plans with dimensions.
- l. Photographs of the property showing all elevations, close-ups of details, and relationship to adjacent and surrounding resources.

Applicant shall also provide architectural and historical data, as available:

- a. Date of construction of the resource.
- b. Architectural style of the resource.
- c. Historic photographs of the resource.
- d. Name of original owner / builder / developer.
- e. Building timeline (i.e., dates and location of additions, demolition and changes).
- f. Detailed description of building materials that are original to the resource.
- g. Historic information regarding the resource (i.e., notable residents, highly recognized landmark, important site, etc.).

4. **Retaining the resource is not in the interest of the majority of the community.**

Applicant shall provide:

- a. Written description of the nature of the resource and existing conditions.
- b. Written description of proposed changes.
- c. Written discussion of how the demolition or moving of the resource might benefit the community.

- d. Site plan, to scale, showing the location of the resource proposed to be demolished or moved in relationship to other resources on the property, and to the property lines.
- e. Site plan, to scale, and any other information which accurately describes the proposed use and appearance of the site after demolition or moving of the resource. The HDC may require the completion of a Application for New Construction.
- f. Feasibility of alternative uses for the property that would allow compliance with City of Mackinac Island Historic District Standards and Guidelines.
- g. Floor plans with dimensions.
- h. Photographs of the property showing all elevations, close-ups of details, and relationship to adjacent and surrounding resources.

E. Applicant's Proposed Use of the Property after the Proposed Demolition.

As a condition precedent to the issuance of a notice to proceed with the proposed demolition, Applicant shall provide plans for the intended use of the property after demolition and if new construction is intended, Applicant must complete that portion of the General Application and required Application Information for New Construction.

An application which does not include the required information and material is incomplete. If the application is incomplete, the applicant shall be notified after review of the application by the Commission that the application is incomplete and in what manner it is incomplete, in order to allow the applicant to submit such materials as will constitute a complete application. An applicant who does not submit the requested materials risks denial of the application. All documentation becomes part of the public record.

THESE ARE THE MINIMUM REQUIREMENTS. THE COMMISSION AND ITS STAFF RESERVES THE RIGHT TO ASK FOR ADDITIONAL INFORMATION AS AN INDIVIDUAL CASE REQUIRES.

NOTE: All photos, drawings and physical samples, etc., become the property of the HDC/City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

RETURN THE APPLICATION, SUPPORTING MATERIALS, AND FEE TO:

HISTORIC DISTRICT COMMISSION

c/o KATIE PERENY

BOX 455, 7358 MARKET ST.

MACKINAC ISLAND, MI 49757

PHONE: (906) 847-6190

EMAIL: kep@cityofmi.org

FACILITIES AND USES REQUIRING A FEDERAL
LICENSE, PERMIT, OR APPROVAL WITHIN THE CITY OF
MACKINAC ISLAND, MICHIGAN

NOTICE TO APPLICANTS WHOSE PROPOSED STRUCTURE AND/OR USE REQUIRES FEDERAL APPROVAL OR A FEDERAL LICENSE OR PERMIT

SECTIONS 106/ 110(f) AGREEMENT WITH THE CITY

All of Mackinac Island is a National Historic Landmark. Thus, before there can be any City of Mackinac Island ("City") review of any proposed application by an Applicant for a structure, equipment, or facility within the City whose construction or use would require a federal license, permit, or approval (a "Prospective Applicant"), which may include but is not limited to, a communications facility, wireless facility, wireless support structure, utility pole for wireless facility(ies), or related structures, or installation of a dock requiring U.S. Army Corps of Engineers approval, a Prospective Applicant must, pursuant to federal law, apply for and obtain approval under Sections 106 and 110(f) of the National Historic Preservation Act of 1966 (now codified at 54 U.S.C. Sections 306108 and 306107) ("Sections 106 and 110(f)").

AGREEMENT BETWEEN THE CITY AND THE APPLICANT

All Prospective Applicants are encouraged to meet with the City prior to any Sections 106/110(f) application and to arrive at an Agreement between the Applicant and the City regarding a proposed plan for the project which will not have an adverse effect upon this National Historic Landmark district or which minimizes the adverse effect to the maximum extent possible. Such an Agreement could allow the City to provide support for the Applicant's Section 106 application to be submitted to the State Historic Preservation Office ("SHPO") as well as satisfying the requirements for review and approval by the Historic District Commission and Planning Commission after such time as the Prospective Applicant has obtained Sections 106 and 110(f) approval. Prior to such time, an Application to the HDC or Planning Commission is considered to be incomplete and premature.

In addition to other entities which are required to be sent documents under the above federal statutory provisions and related regulations, the City is a required Consulting Party and all notices and other documents including all submissions to the SHPO, National Park Service, and Advisory Council under the Sections 106 and 110(f) review process shall also be simultaneously sent to:

Katie Pereny, Secretary, Building and Zoning Department,
Planning Commission, and Historic District Commission City of
Mackinac Island
7358 Market Street
PO Box 455
City of Mackinac Island, MI 49757

Dennis Dombroski, Building Inspector
City of Mackinac Island
7358 Market Street
PO Box 455
City of Mackinac Island, MI 49757

with a copy to:
Gary Rentrop, Esq.
Rentrop & Morrison, P.C.
39572 Woodward Ave.
Suite 222
Bloomfield Hills, MI 48304

Be further advised that obtaining review and approval under Sections 106 and 110(f) does not exempt the Prospective Applicant from compliance with all other applicable City Ordinances and applicable codes including, but not limited to, the building, fire, electrical, plumbing or mechanical codes adopted under the state construction code act, Public Act 230 of 1972.

Please provide the following information:

Date:

Prospective Applicant's Name:

Prospective Applicant's Company Name in full:

Prospective Applicant's Phone No.:

Prospective Applicant's Email Address:

Billing Address:

Location of and details of design of proposed structure, facilities, equipment, power supply, and wiring:

For communications service facilities, also provide:

- The owner of Proposed Support Structure/Pole:
- Wireless Provider's Name:
- Wireless Provider's Contact Person & Phone No.:

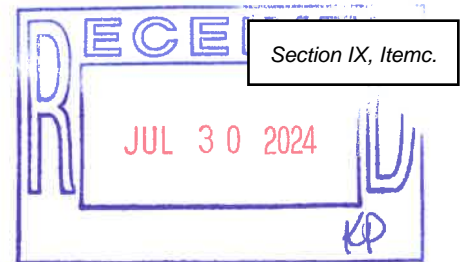
Dates and times when the Prospective Applicant is available to meet with City representatives to discuss reaching an Agreement regarding Sections 106/ 110(f) compliance:

Thank you for your cooperation.

Dennis Dombroski,

Building Inspector for the City of Mackinac Island

File No. HB24-026-046 (4)
Exhibit C
Date 7-30-24
Initials KP



Historic District Application Checklist

- ☒ Brief Description of the nature of the work proposed and the materials to be used.*
- ☒ Photographs - Clear photographs of entire project site, streetscape, water view (if applicable), surrounding context and all elevations of the existing structure(s). Property address should be identified on all photographs.*
- ☒ Site Survey/Plan (to scale) – with the following information: Lot dimensions, **existing & proposed** structures, **existing & proposed** setback and yard lines, fences, walls, easements, public rights of way, utilities, driveways, and other relevant information.
- ☒ Floor Plans & Elevations – Floor plans, building elevations and where relevant to the proposed work, sections, must include dimensions, material notes, window and door details, topography, foundation height, porch details and other relevant information as requested. For additions, the existing structure and proposed addition must be clearly shown.
- ☒ Include detail on drawings of all materials proposed to be used and their dimensional and property characteristics.
- ☒ Provide drawings, product literature, specifications, product photographs, or similar, for all new elements. Items include, but are not limited to, windows, doors, siding, trim, columns, railings, louvers, shutters, and roofing.
- ☒ Identify on drawings where any existing materials and architectural features will be removed or replaced.

*** Only the first two items are required for Like for Like projects.**

Note: All photos, drawings and physical samples, etc., become the property of the HDC/City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

GENERAL APPLICATION FOR WORK LOCATED WITHIN A HISTORIC DISTRICT

- ☐ Minor Work (Complete Section A and refer to General Directions)
☒ New Construction (Complete Section B and refer to General Directions and Item B)
☐ Demolition (Complete Section B and refer to General Directions and Item C)

Application Deadline: Application and materials must be completed and submitted by 4:00 p.m. ten (10) business days before each Commission Meeting. Late applications will be placed on the agenda for the following month. Decision by the Commission will not necessarily occur at the meeting at which the application materials are first received.

A) MINOR WORK**PROPERTY LOCATION:** See New Construction in Section B

(Number)

(Street)

(Property Tax ID #)

PROPERTY OWNER

Name: _____ Email Address: _____

Address: _____
(Street) (City) (State) (Zip)Telephone: _____
(Home) (Business) (Fax)**APPLICANT/CONTRACTOR**

Name: _____ Email Address: _____

Address: _____
(Street) (City) (State) (Zip)Telephone: _____
(Home) (Business) (Fax)

____ Attach a brief description of the nature of the minor work proposed and the materials to be used.

____ Attach one or more photograph(s) of the whole building including façade and any relevant elevations showing the area, item or feature proposed to be repaired or replaced. The Building Official or Historic District Commission may require additional information necessary to determine the work to be Minor Work.

If the Building Official determines that the proposed work is not Minor Work, the Building Official shall direct the applicant to complete an Application for New Work and/ or Application for Demolition or Moving work which will then be referred to the HDC.

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief; and that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531

SIGNATURES

Signature



Please Print Name

Signature

Please Print Name

NOTE: All photos, drawings and physical samples, etc., become the property of the HDC/City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

RETURN THIS FORM AND SUPPORTING MATERIALS TO:

MACKINAC ISLAND BUILDING OFFICIAL
7358 MARKET STREET, MACKINAC ISLAND, MI 49757
PHONE: (906) 847-4035

File Number: 4B24-026-046(A) Date Received: 7-30-24 Fee: 625 -
 Received By: K. Perry Work Completed Date: _____

B) NEW CONSTRUCTION & DEMOLITION OR MOVING OF STRUCTURES

PROPERTY LOCATION: 6860 Main Street 051-525-026-00
(Number) (Street) (Property Tax ID #)

LEGAL DESCRIPTION OF PROPERTY: See attached
(Attach supplement pages as needed)

ESTIMATED PROJECT COST: \$400,000

APPLICANT/CONTRACTOR
(Applicant's interest in the project if not the fee-simple owner): Agent

Name: Sam Barnwell Email Address: sam@hishotels.com

Address: 213 Sixth St Traverse City MI 49684
(Street) (City) (State) (Zip)

Telephone: 906-430-7310
(Home) (Business) (Fax)

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief.

Signature: Sam Barnwell Date 29 July 2024

PROPERTY OWNER(S) AND ALL PARTIES WITH A CLAIM OF RIGHT IN PROPERTY¹ This includes mortgagees, easement holders, and lien holders. You may be asked to provide a title search of the property and if the estimated is in excess of \$250,000 you are required to do so. Attach additional pages listing the person(s) or entity(ies) with legal interest(s) in the property and the nature of the legal interest(s).

Name: Jon Cotton Email Address: sam@hishotels.com

Address: PO Box 1207 Mackinac Island MI 49757
(Street) (City) (State) (Zip)

Telephone: 906-430-7310
(Home) (Business) (Fax)

The undersigned certify(ies) and represent(s)
1. That he/she, it or they is (are) all of the fee title owner(s) of all of the property involved in the application; and
2. That he/she, it or they has (have) attached a list which identifies all parties with a legal interest in the property at issue other than the undersigned owner(s) and has (have) identified the nature of each legal interest; and
3. That the answers and statements herein attached and materials provided are in all respects true and correct to the best of his, her, its or their information, knowledge and belief. The undersigned hereby further certify(ies) and represent(s) that he/she, it or they has (have) read the foregoing and understand(s) the same.
4. That the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531.

SIGNATURES
Signature Jon Cotton Signature _____

Please Print Name Please Print Name

Signed and sworn to before me on the 29 day of July, 2024.

SARA TENNIO
NOTARY PUBLIC, STATE OF MI
COUNTY OF OAKLAND
MY COMMISSION EXPIRES Jan 1, 2030
ACTING IN COUNTY OF Wayne

Sara Tennio
Notary Public
Oakland County, Michigan
My commission expires: January 1, 2030

¹ The decision by the Historic District Commission may be in the form of Restrictions to which such Parties may be required to agree. (revised 04/17)

File No. HB24-026-046(H)

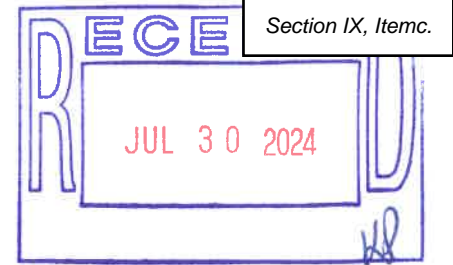
Exhibit A

Date 7.30.24

Initials KP

July 29, 2024

Mackinac Island Planning Commission



The Harbour View Inn is submitting the plan to add an enclosed fire escape at the rear of the old La Chance building at 6860 Main Street. This will replace the old metal open fire escape on the rear of the building (Photo 2, 3, 4) to provide a 4-season safe egress path at the request of the building department. This will require the removal of siding and doors at the rear of the building, the construction of the addition. The new addition will be done to match the remainder of the building as outlined in the plans. The scope of this seasons projects will also include fire suppression for this building, air conditioning updates (Photos 5, 6, 7, 9, 10, 11, 12, 13) for the campus of buildings as well as some rot repairs and roofing updates that is being submitted in concert with the Historic District Commission.

The brick paver walkways have not been finalized by the landscape architect. The existing and the future walkways will continue to be over a bed of natural sand. At this time the zoning ordinance still considers all brick pavers as impenetrable surface based on a known accidental change to the ordinance. This project would need a variance to the lot coverage based on the brick walkways or an update to return the ordinance to it historical form.

Most of the Site Plan Review Checklist items are included in the attached drawings. Below you will find narrative on the remaining items for your review.

This project will have no material effect on adjoining lands and occupants.

We plan to deliver freight for construction to the Main Street side of the building and to the back of the structure via Bogan Lane and Church Street. Material will be stored in the front yard as well as the flat areas in the rear of the buildings. We anticipate making a city council request for dumpsters and telehandler for construction and the typical vehicle request for the waterline installation and paving of Bogan Lane when the street cut is restored. We do not anticipate any fencing needs for safety but will work with the building and fire departments on any needs they see to provide a safe worksite for the public over the winter including markers that identify the dumpster(s) that are lit at night.

The proposed start dates are with the end of the season in 2024. We anticipate completion by April 15th 2025. Their will be additional phase 2 work in the winter of 2025/2026.

We do not anticipate this project to have any change to the exiting community services, water supply, solid waste, sanitary sewer or water drainage.

The demolition of the existing metal staircase on this project is minimal and we have not provided the items on the demolition check list. While digging the new foundation should we find any unknown historic or archeological remains we will immediately shop and make the required notification to the City.

We are looking to also replace items in a “like for like” fashion on the project. They include Rot on the windows at the Chateau building (Photo 1), roof shingle replacement on Chateau (Photo 1) and the bridgeway between guesthouse and carriage house buildings (Photo 14), rot on porches and hand railings, and rot on wood pillars (Photo 15,16,17,18).

Respectfully submitted

Sam Barnwell

29 July 2024

City of Mackinac Island Building Department,

Please accept this letter authorizing Sam Barnwell as my agent to speak on behalf of the properties owned by Harbour View Mackinac, LLC, CCHVI, LLC, and CCHVI Housing, LLC, to any department or board of the City of Mackinac Island.

Sincerely



Joe Cotton

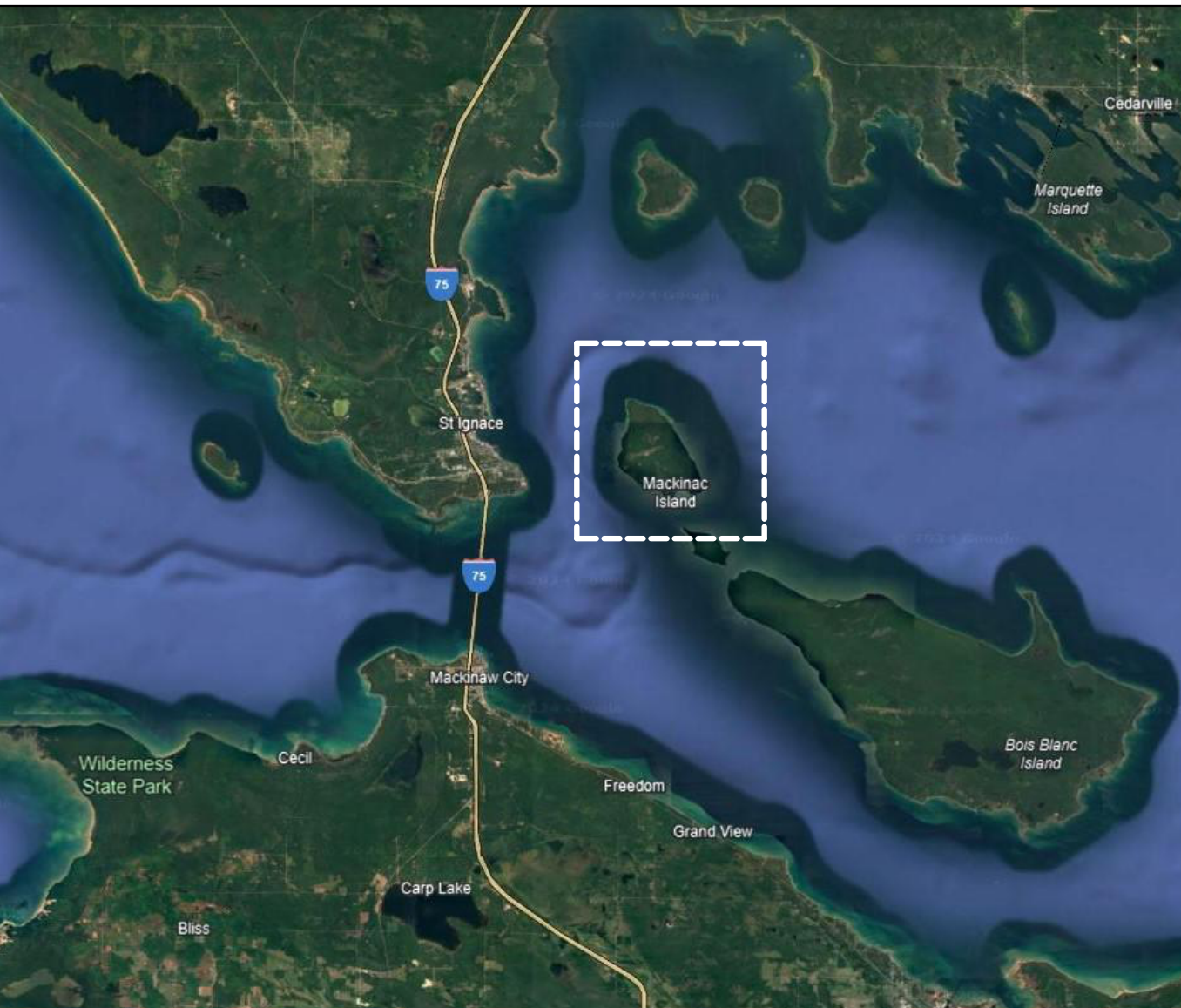
Manager – Harbour View Mackinac, LLC
Manager – CCHVI, LLC
Manager – CCHVI Housing, LLC

File No. HB24-026-046(H)
Exhibit E
Date 7.30.24
Initials KP

HARBOUR VIEW MACKINAC LLC

HARBOUR VIEW INN IMPROVEMENTS

6876 Main St, Mackinac Island, MI 49757



SITE LOCATION MAP



CAMPUS PLAN

SCHEDULE OF DRAWINGS

- GENERAL DRAWINGS
 - G-001 TITLE SHEET
 - ALTA Survey
- ARCHITECTURAL DRAWINGS
 - A-001 ARCHITECTURAL SITE PLAN
 - A-002 PHOTOGRAPHS
 - A-003 PHOTOGRAPHS
 - A-004 PHOTOGRAPHS
 - A-101 GROUND FLOOR PLAN
 - A-102 LEVEL TWO AND THREE FLOOR PLAN
 - A-103 LEVEL FOUR FLOOR PLAN
 - AR-101 ROOF PLAN
 - A-201 EXTERIOR BUILDING ELEVATIONS & ISOMETRICS
 - A-301 BUILDING SECTIONS

RELEASE

ENTITLEMENT

DATE OF ISSUE

06/28/24

ARCHITECT'S PROJECT NUMBER

22407800

LEGAT ARCHITECTS
Design with a Difference

HARBOUR VIEW
MACKINAC LLC

HARBOUR VIEW
INN
IMPROVEMENTS

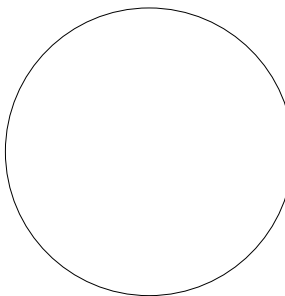
6876 Main St, Mackinac Island, MI 49757

ARCHITECT
Legat Architects, Inc.
2015 Spring Rd, Suite 175
Oak Brook, IL 60523
P: (630) 990-3535
www.legat.com

INTERIOR DESIGNER
Senger Design Group
523 South Cascade Ave, Suite B
Colorado Springs, CO 80903
P: (719) 522-1520
www.sengerdesigngroup.com

STRUCTURAL ENGINEER
Pierce Engineers
350 N LaSalle, Suite 1010
Chicago, IL 60654
P: (312) 761-5693
www.pierceengineers.com

CIVIL ENGINEER
OHM Advisors
34000 Plymouth Road
Livonia, MI 48150
P: 734-522-6711
www.ohm-advisors.com



SIGNATURE _____

DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE
1	ZONING	08/23/24

PROJECT NUMBER 22407800
DATE OF ISSUE 06/28/24
DRAWN BY Author
REVIEWED BY Checker

TITLE SHEET

G-001
ENTITLEMENT

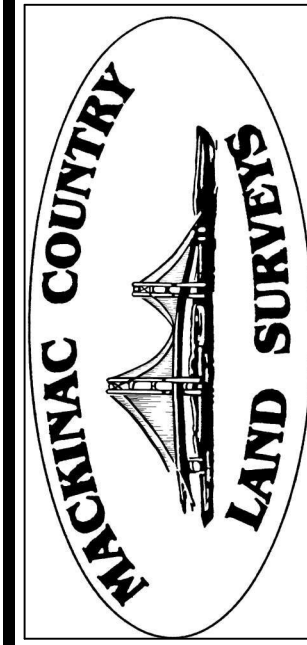
LEGAT ARCHITECTS



ALTA/NSPS Land Title Survey

Sheet 1 of 1
ALTA Survey

Mackinac Country Land Surveys
429 Ellsworth St. ~ St. Ignace, MI 49781
(906) 643-9418 www.MackinacSurveys.com



DATE: 1/31/2024 ~ Revised 3/06/2024

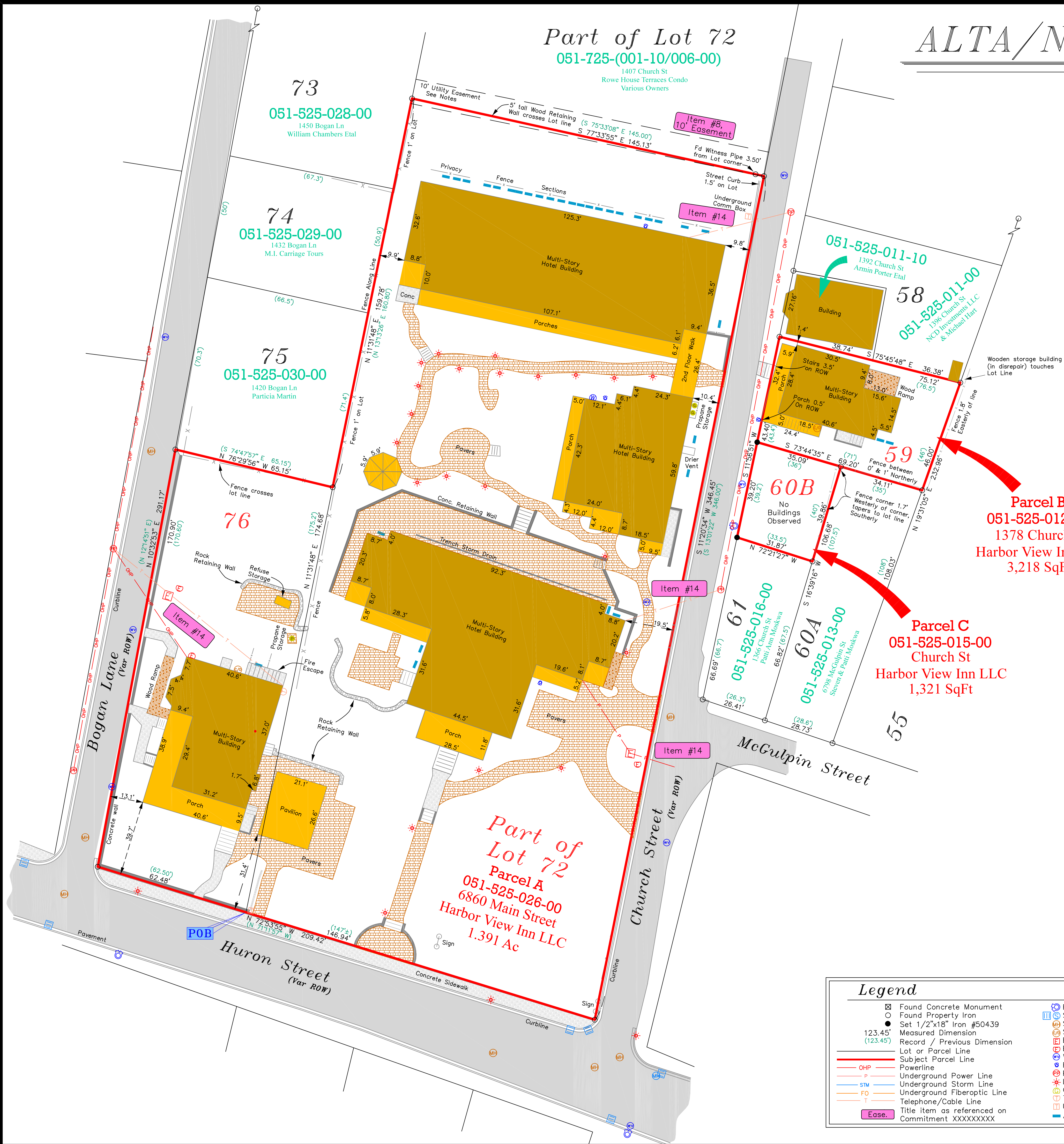
ORDER #: 23109-HVI-72/59-AP2-MI

DRAWN BY: Matthew B Bliss

Part of Lot 72

051-725-(001-10/006-00)

1407 Church St
Rowe House Terraces Condo
Various Owners



Certification:

To: Harbour View Mackinac LLC, CCHVI LLC, First National Bank of Michigan & Seaver Title Agency – ATA National Title Group, and Stewart Title Guaranty Company and Corporate Settlement Solutions:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1,2,3,4,7a,13,16, & 17 of Table A thereof. The fieldwork was completed on 1/31/2024 & the Date of Plat or Map is 1/31/2024

Record Legal Description:

Land situated in the City of Mackinac Island, County of Mackinac, State of Michigan, described as:

Parcel A:
Commencing at the corner being common to the Southwest corner of Lot 72 and the Southeast corner of Lot 76, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records as to the point of beginning; thence along the Southerly line of said Lot 76, N 71°11'57" W 62.50 feet to the Westerly line of said Lot 76; thence along said Westerly line, N 12°14'51" E 170.60 feet to the Northerly line of said Lot 76; thence along said Northerly line, S 74°47'57" E 65.15 feet to the Easterly line of Lot 76 and Westerly line of Lot 72; thence along said Westerly line of Lot 72, N 13°13'26" E 160.80 feet; thence S 75°33'08" E 145.00 feet to the Easterly line of said Lot 72; thence along said Easterly line, S 13°01'22" W 346.00 feet to the Southerly line of Lot 72; thence along said Southerly line of said Lot 72, 147 feet more or less to the point of beginning. All being Lot 76 and part of Lot 72, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records.

Parcel B:
Lot 59, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records.

Parcel C:
Lot 60B, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records.

Parcel D:
Not included in this survey

Special Title Exceptions:

Per Schedule B Part II of ATA National Title Group, LLC, Registry ID: No. 1033513, Office File Number 49-23899197-SCM, Revision No. 1, dated December 15, 2023 at 8:00AM:

- Items 1-7 are not graphically plottable on survey.
Item 8 10 foot wide utility easement recorded in Liber 272, Page 412, (Parcels A & D) – plotted along the North line of Parcel A.
NOTE: Due to the uncertainty of the North line of Assessor's Plat No. 2, and Lot 72, this easement must be field verified.
Item 9 ROW Easement in favor of Cloverland Electric Corporation, recorded in Liber 876, Page 571 (Parcel A)
Blanket easement, limited to 8 feet each side of an underground electric line, and/or 15 feet each side of an overhead electric line.
- Known electric utilities plotted on map, NOTE: others may be present.
Item 10 Blanket easement, limited to 8 feet each side of an underground electric line, and/or 15 feet each side of an overhead electric line.
- Known electric utilities plotted on map, NOTE: others may be present.
Items 11-13 are not graphically plottable on survey.
Item 14 Various utilities shown on Porter's Survey P.C. Job No. 73-16, dated August 1, 2016 (Parcel A)
a. Overhead Telephone and Cable TV lines over Lot 76 without reference to an easement – Shown on map
b. Overhead Power Line over Lot 76 without reference to an easement – Appears to be moved, shown on map.
c. Underground Telephone and Power Lines over Lot 72 without reference to an easement – Shown on map
d. Cable TV Lines over Lot 72 without reference to an easement – Shown on map
NOTE: Underground utilities shown via previous survey, and are not located as part of this survey.
Items 15 & 18 are not graphically plottable on survey.
Items 16 & 17 Parcel not included in this survey. (Parcel D)

Notes:

- No regular vehicular access to parcel. Normal access is limited to pedestrian, bicycle & horse carriage.
- According to the FIRM 26097C1001C on www.FEMA.gov these parcels reside in Community No. 260764, with the entirety of the parcels in Zone X, via graphic plotting.
- All utilities are located via visual inspection, and previous survey map. No utility marking was performed for this project.
- There was no evidence of recent earth moving work, building construction, or building additions observed.
- The surveyor is unaware of any proposed changes in street right of way lines and there is no evidence of recent street or sidewalk work on subject parcels.

Legend

- | | |
|---|-------------------------------|
| Found Concrete Monument | Fire Hydrant |
| Found Property Iron | Storm Catch Basin |
| Set 1/2"x18" Iron #50439 | Sanitary Man Hole |
| Measured Dimension | Sanitary Clean Out |
| Record / Previous Dimension | Electric Transformer |
| Lot or Parcel Line | Electric Power Meter |
| Subject Parcel Line | Water Valve |
| Powerline | Fire Department Hookup |
| Underground Power Line | Power Pole |
| Underground Storm Line | Light & Pole |
| Underground Fiber optic Line | Gas Meter |
| Telephone/Cable Line | Telephone Box |
| Title item as referenced on Commitment XXXXXXXX | Underground Telephone Box |
| | Air Conditioning/Heating Unit |



Bearing from GPS
Michigan, State Plane
North Zone
Scale: 1" = 20'
0 20 40

Neil W. Hill P.S.
Professional Surveyor #50439

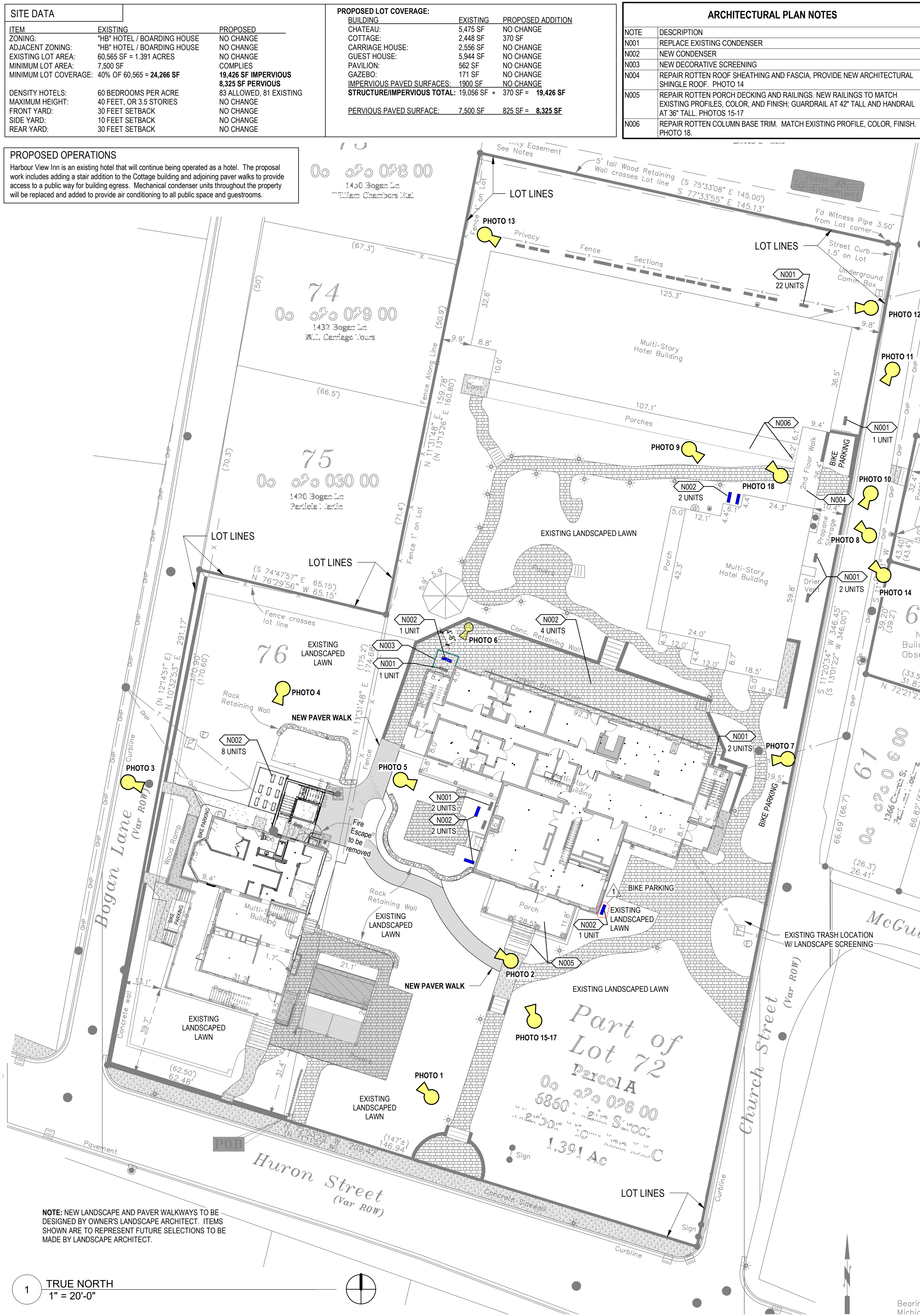




PHOTO 1 RENDERING



PHOTO 1



LEGAT ARCHITECTS
Design with a Difference

**HARBOUR VIEW
MACKINAC LLC**

**HARBOUR VIEW
INN
IMPROVEMENTS**

6876 Main St, Mackinac Island, MI 49757

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P: (719) 522-1520
www.sengerdesigngroup.com

STRUCTURAL ENGINEER
Pierce Engineers
350 N LaSalle, Suite 1010
Chicago, IL 60654
P: (312) 761-5693
www.pierceengineers.com

CIVIL ENGINEER
OHM Advisors
34000 Plymouth Road
Livonia, MI 48150
P: 734-522-6711
www.ohm-advisors.com

SIGNATURE		
DATE		
REVISIONS		
NO.	DESCRIPTION	DATE
1	ZONING	08/23/24

PROJECT NUMBER: 22407800
DATE OF ISSUE: 06/28/24
DRAWN BY: Author
REVIEWED BY: Checker

**ARCHITECTURAL SITE
PLAN**

A-001
ENTITLEMENT

A

B

C

D

E

F

G

H

J

K

L

M

N

P

Q



PHOTO 4 RENDERING



PHOTO 3 RENDERING



PHOTO 2 RENDERING



PHOTO 4

- OPTION 2 SCOPE:**
1. REMOVE, CLEAN, REPAIR, PAINT, AND RE-INSTALL EXISTING FIRE ESCAPE.
 2. REPLACE 2ND, 3RD, 4TH FLOOR EXTERIOR DOORS AT FIRE ESCAPE. TYPE AND COLOR TO MATCH EXISTING CONDITION.
 3. REPAIR TRIM AND SIDING ON NORTH FACADE AS NECESSARY. TYPE AND COLOR TO MATCH EXISTING CONDITIONS.
 4. REMOVE EXISTING MECHANICAL EQUIPMENT, CREATE NEW NEW OPENING AT GROUND FLOOR, AND INSTALL PATHWAY AS SHOWN ON A-001 AND A-101.



PHOTO 3



PHOTO 2

LEGAT ARCHITECTS
Design with a Difference

**HARBOUR VIEW
MACKINAC LLC**

**HARBOUR VIEW
INN
IMPROVEMENTS**

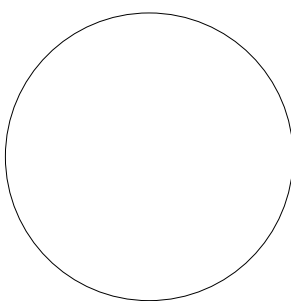
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STRUCTURAL ENGINEER
Pierce Engineers
350 N LaSalle, Suite 1010
Chicago, IL 60654
P: (312) 761-5693
www.pierceengineers.com

CIVIL ENGINEER
OHM Advisors
34000 Plymouth Road
Livonia, MI 48150
P: 734-522-6711
www.ohm-advisors.com



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DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE
1	ZONING	08/23/24

PROJECT NUMBER 22407800
DATE OF ISSUE 06/28/24
DRAWN BY Author
REVIEWED BY Checker

PHOTOGRAPHS

A-002
ENTITLEMENT

F

G

H

J

K

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Q	



Q




PHOTO 9 

PHOTO 6 

PHOTO 8

PHOTO 5 

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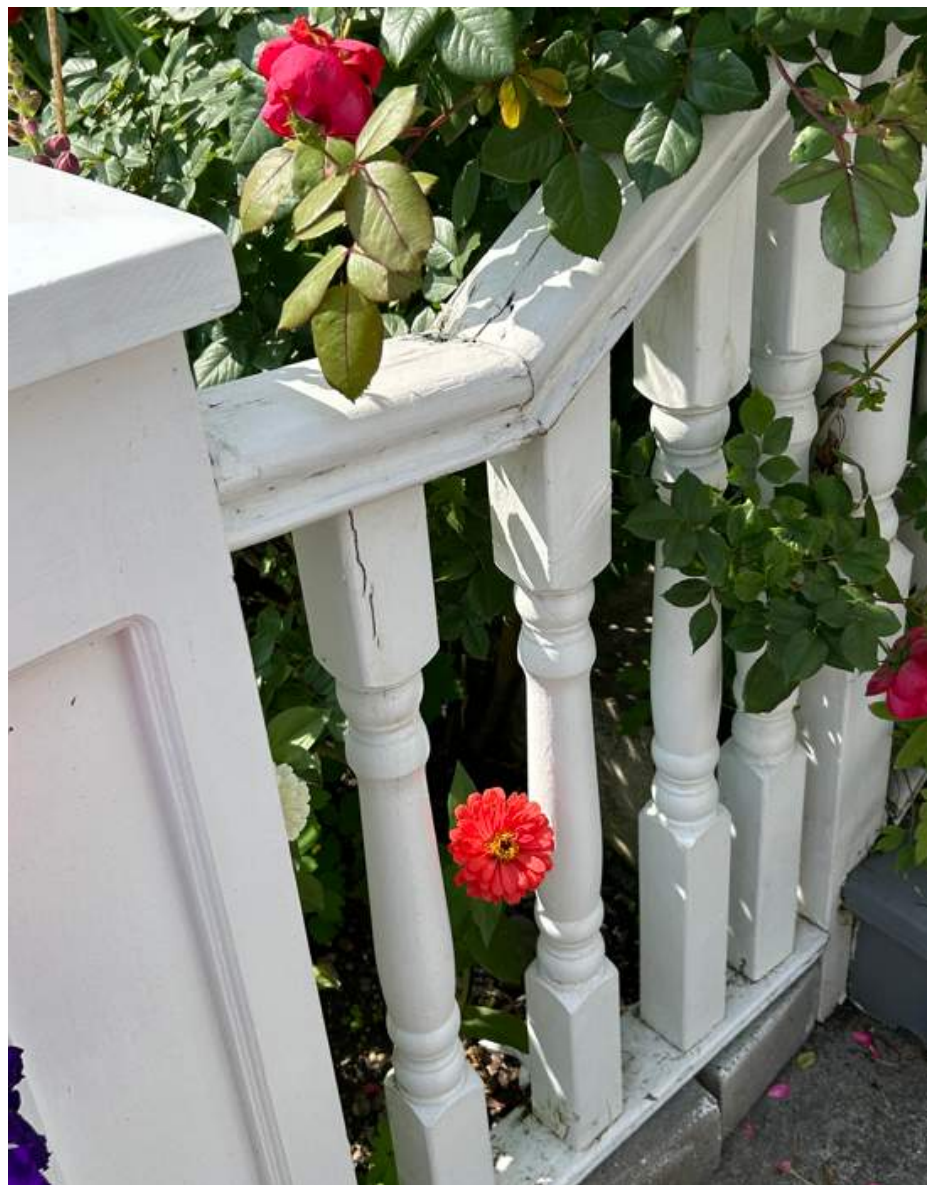


PHOTO 16



PHOTO 15



PHOTO 18



PHOTO 17



PHOTO 14

LEGAT ARCHITECTS
Design with a Difference

HARBOUR VIEW
MACKINAC LLC

HARBOUR VIEW INN IMPROVEMENTS


6876 Main St, Mackinac Island, MI 49757

ARCHITECT
Legat Architects, Inc.
2015 Spring Rd, Suite 175
Oak Brook, IL 60523
P: (630) 990-3535
www.legat.com

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PHOTOGRAPHS

A-004
ENTITLEMENT

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GROUND FLOOR PLAN

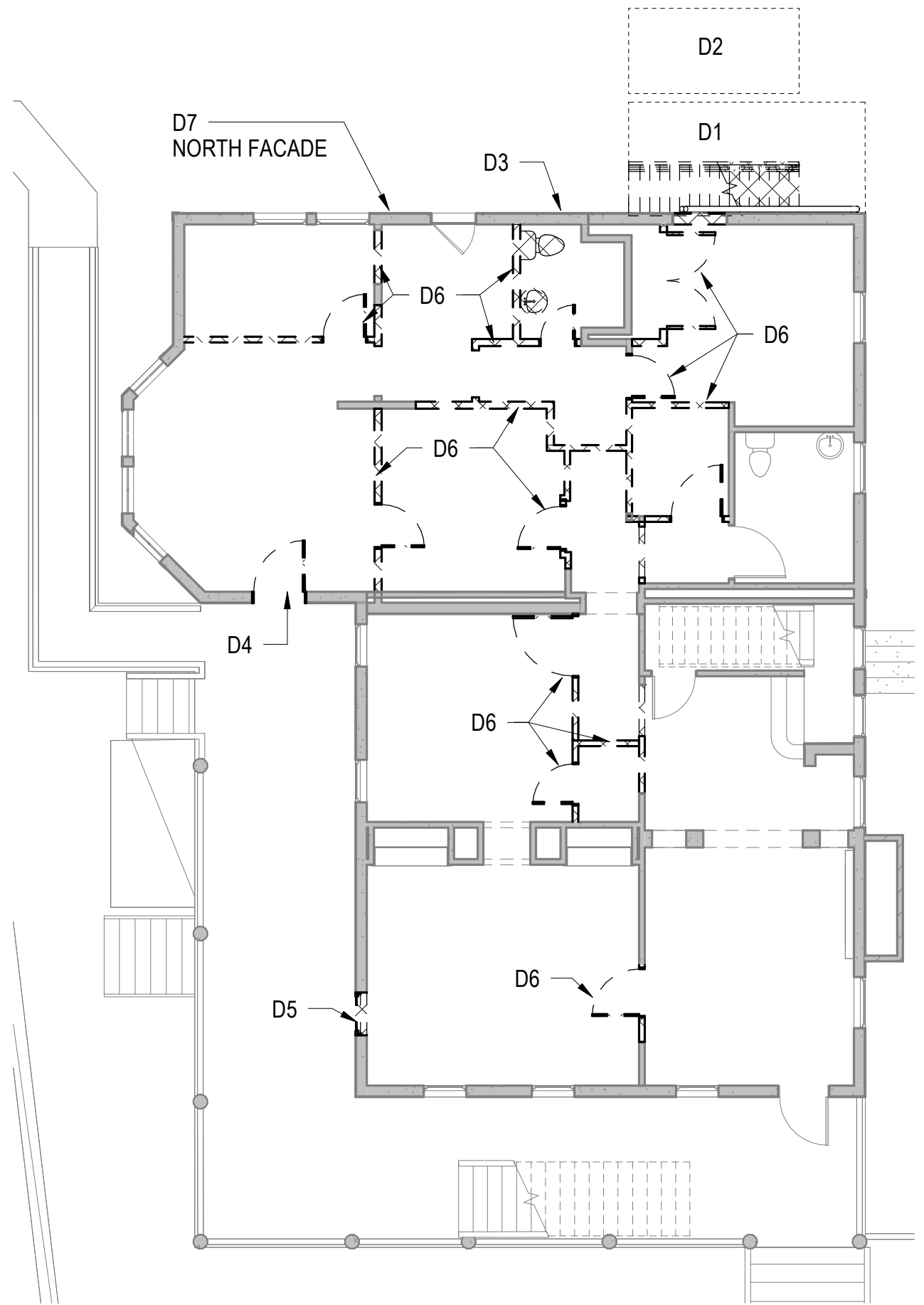
A-101
ENTITLEMENT

FLOOR PLAN LEGEND			
	1 A101	SIM	DETAIL SECTION TAG
	1 A101	SIM	BUILDING & WALL SECTION TAG
	S3FA		WALL TYPE - REFER TO A-611 FOR WALL TYPES
	101		DOOR NUMBER - REFER TO A-601 FOR DOOR AND FRAME SCHEDULE
	101		ROOM NAME
	101		ROOM NUMBER
	A101	Ref 1	INTERIOR ELEVATION TAG
	A101	1	EXTERIOR ELEVATION TAG
	0		COLUMN TAG AND COLUMN CENTERLINE
	A101	Ref 1	STOREFRONT, CURTAIN WALL AND WINDOW ELEVATION
	CG		CORNER GRef - REFER TO DETAIL
	FE		FIRE EXTINGUISHER - WALL MOUNTED
	FEC		RECESSED FIRE EXTINGUISHER AND CABINET
	FEC-R		FIRE RATED RECESSED FIRE EXTINGUISHER AND CABINET
	FEC		SEMI-RECESSED FIRE EXTINGUISHER AND CABINET
	FEC-B		SEMI-RECESSED FIRE EXTINGUISHER AND CABINET AND BLANKET
	MB#		MARKER BOARD
	TB#		TACK BOARD
	FD		FLOOR DRAIN
			AREA NOT IN CONTRACT
	N###		NEW WORK NOTE

ARCHITECTURAL PLAN NOTES N###	
NOTE	DESCRIPTION
N001	REPLACE EXISTING CONDENSER
N002	NEW CONDENSER
N003	NEW DECORATIVE SCREENING
N004	REPAIR ROTTEN ROOF SHEATHING AND FASCIA, PROVIDE NEW ARCHITECTURAL SHINGLE ROOF. PHOTO 14
N005	REPAIR ROTTEN PORCH DECKING AND RAILINGS. NEW RAILINGS TO MATCH EXISTING PROFILES, COLOR, AND FINISH. GUARDRAIL AT 42" TALL AND HANDRAIL AT 36" TALL. PHOTOS 15-17
N006	REPAIR ROTTEN COLUMN BASE TRIM. MATCH EXISTING PROFILE, COLOR, FINISH. PHOTO 18

DEMOLITION SCOPE OF WORK:

- D1. REMOVE EXTERIOR FIRE ESCAPE ON NORTH SIDE
D2. REMOVE MECHANICAL UNIT AND SCREENING
D3. REMOVE BATHROOM WINDOW
D4. REMOVE DOOR AND REPLACE WITH EXISTING WINDOW
D5. REMOVE WINDOW, SALVAGE FOR REINSTALLATION. PREP OPENING FOR NEW DOOR.
D6. REMOVE INTERIOR WALLS AND DOORS
D7. REMOVE SIDING AND PREP FOR NEW SIDING TO MATCH EXISTING
D8. REMOVE SHINGLES ON EXISTING ROOF AND PREP FOR NEW ARCHITECTURAL SHINGLES

2 GROUND FLOOR DEMOLITION PLAN
1/8" = 1'-0"

A-201

1 GROUND FLOOR PLAN
3/16" = 1'-0"

A-201

NEW CONDENSER UNITS W/
FENCE AND LANDSCAPE
SCREENINGADDITION STORMWATER SYSTEM:
- SHINGLE ROOF WITH GUTTERS AND DOWNSPOUTS
- GRADE TO SLOPE AWAY FROM STAIR ADDITION PERIMETER

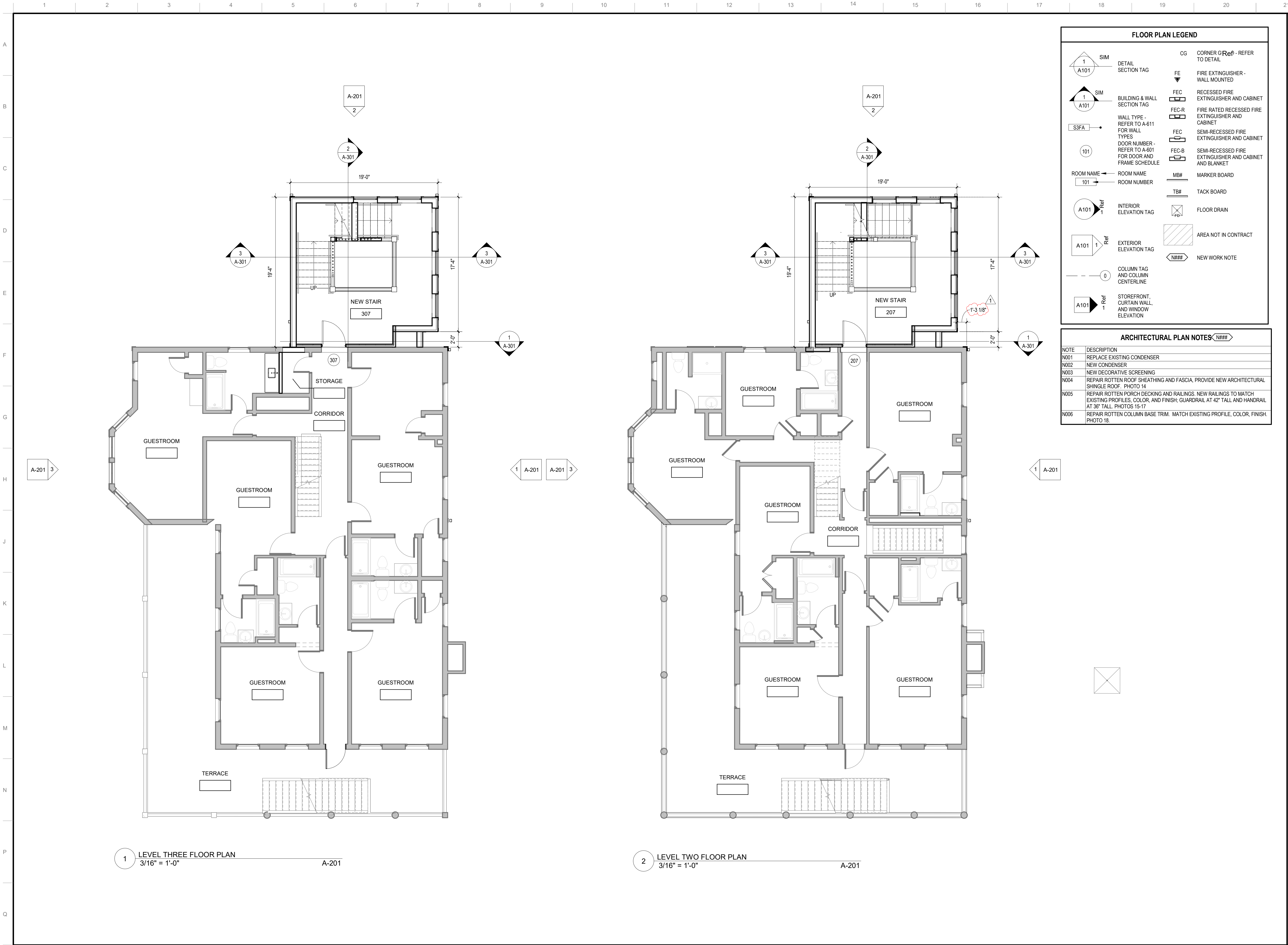
EXISTING LAWN

NEW PAVER WALK

EXISTING PATIO
AND LANDSCAPE
AREAOVERHANG
ABOVE W/
RECESSED
LIGHTING

NEW PAVER WALK

LIGHTING NOTE:
1. EXISTING COTTAGE FACADE LIGHTING TO REMAIN
2. NEW STAIR EXTERIOR LIGHTING TO BE EXTERIOR RECESSED 4" CAN LIGHTINGEXISTING
PAVILION



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Design with a Difference

**HARBOUR VIEW
MACKINAC LLC**

**HARBOUR VIEW
INN
IMPROVEMENTS**

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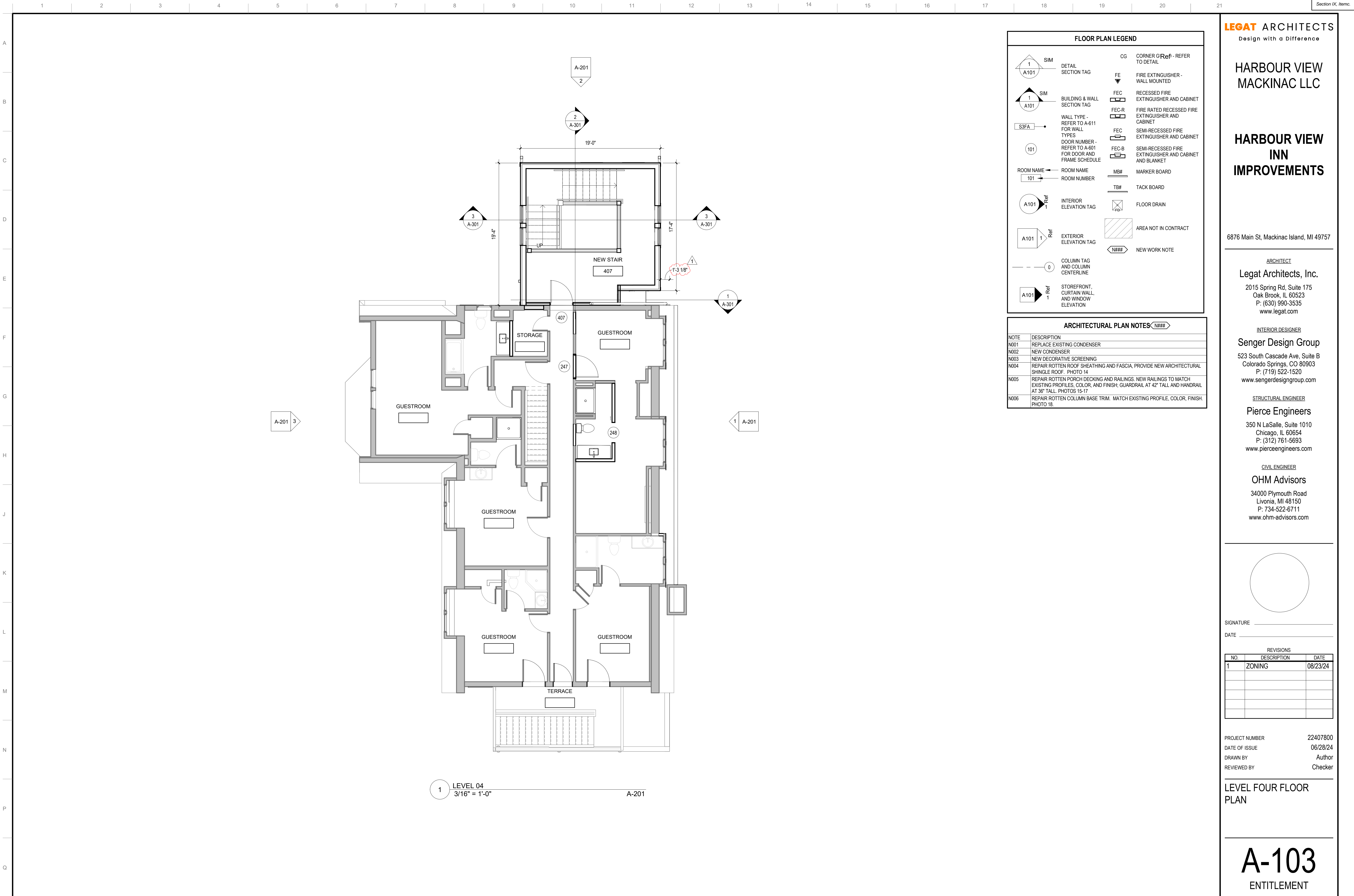
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DATE OF ISSUE 06/28/24
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**LEVEL TWO AND THREE
FLOOR PLAN**

A-102
ENTITLEMENT



LEGAT ARCHITECTS
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HARBOUR VIEW
MACKINAC LLC

HARBOUR VIEW
INN
IMPROVEMENTS

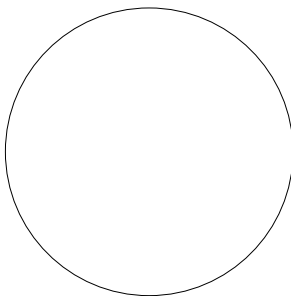
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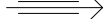
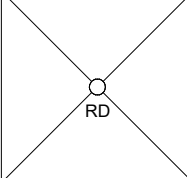
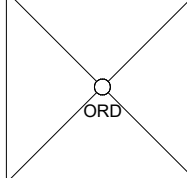




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LEVEL FOUR FLOOR
PLAN

A-103
ENTITLEMENT



ROOF PLAN LEGEND

	AREA OF SLOPED STRUCTURE
	AREA OF 1/4" PER FOOT TAPERED INSULATION
	AREA OF 1/2" PER FOOT TAPERED INSULATION
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	TOTAL HEIGHT OF INSULATION IN INCHES NOT INCLUDING COVER BOARD
	METAL COPING AND JOINT - REFER TO DETAILS 5/A-521 (HORIZONTAL) AND 5/A-521 (VERTICAL)
	VENT PIPE ROOF PENETRATION
DSN	DOWNSPOUT NOZZLE
DS	DOWNSPOUT
	EXPANSION JOINT ASSEMBLY

Design with a Difference

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MACKINAC LLC

HARBOUR VIEW INN IMPROVEMENTS

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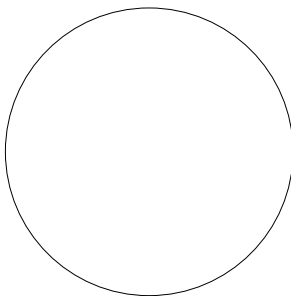
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ROOF PLAN

AR-101

ENTITLEMENT

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MACKINAC LLC

HARBOUR VIEW
INN
IMPROVEMENTS

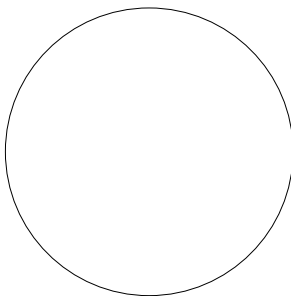
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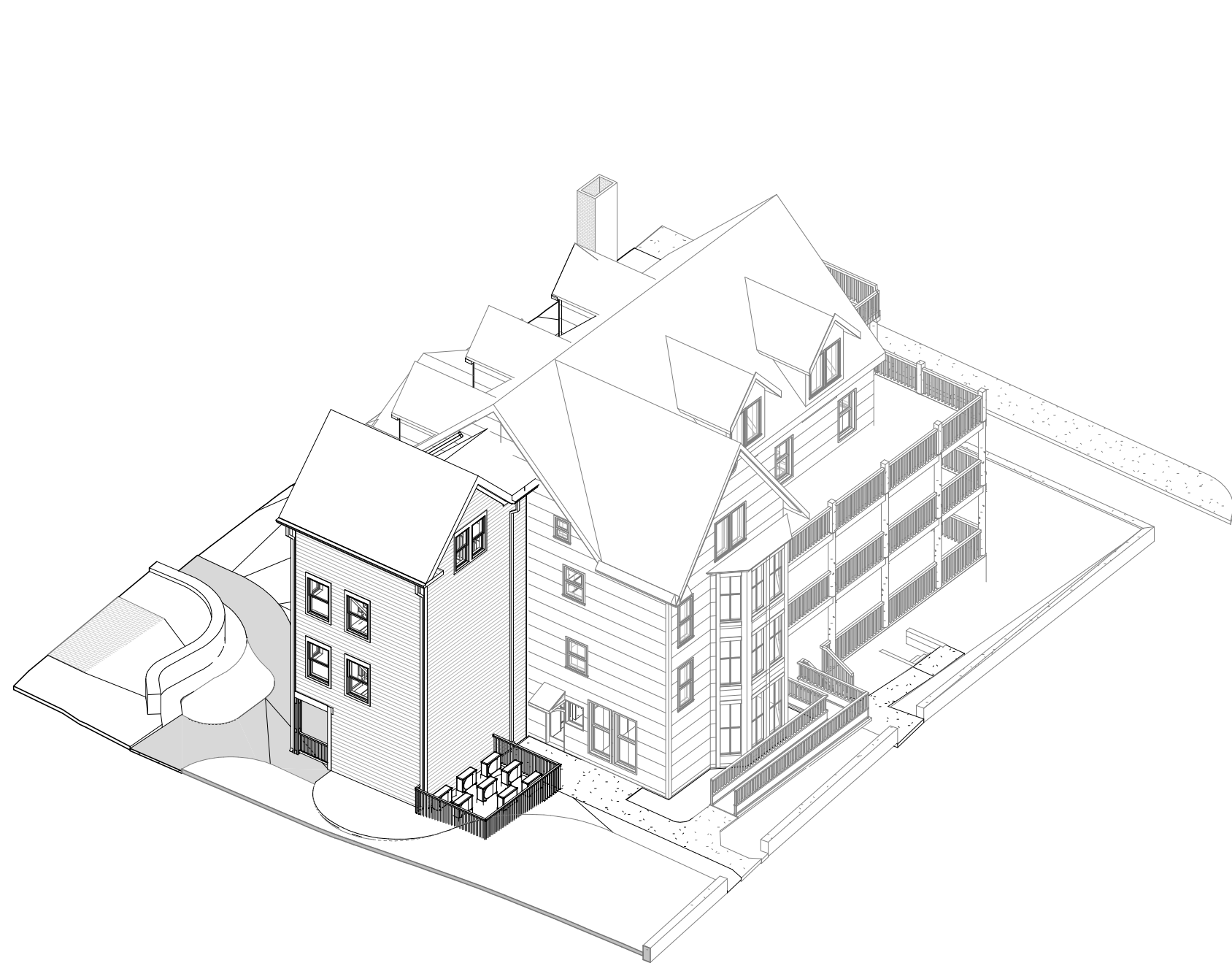
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DATE _____

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PROJECT NUMBER 22407800
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EXTERIOR BUILDING
ELEVATIONS &
ISOMETRICS

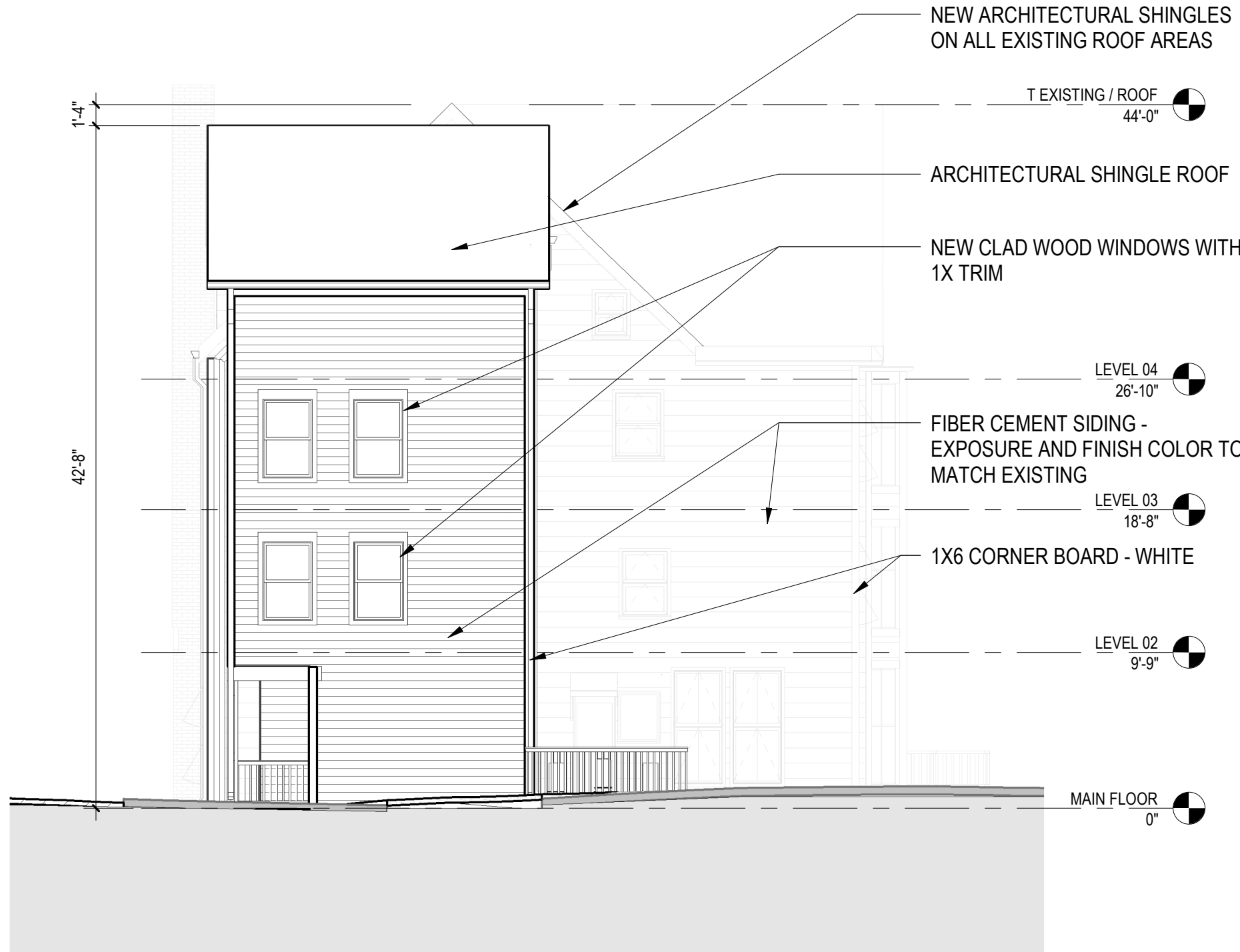
A-201
ENTITLEMENT



5 ISOMETRIC 02



4 ISOMETRIC 01



2 COTTAGE - STAIR ADDITION SOUTH ELEVATION
1/8" = 1'-0" A-011



3 COTTAGE - STAIR ADDITION EAST ELEVATION
1/8" = 1'-0" A-011



1 COTTAGE - STAIR ADDITION WEST ELEVATION
1/8" = 1'-0" A-011

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MACKINAC LLC

HARBOUR VIEW
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IMPROVEMENTS

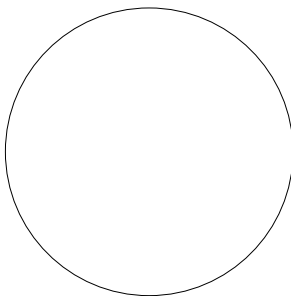
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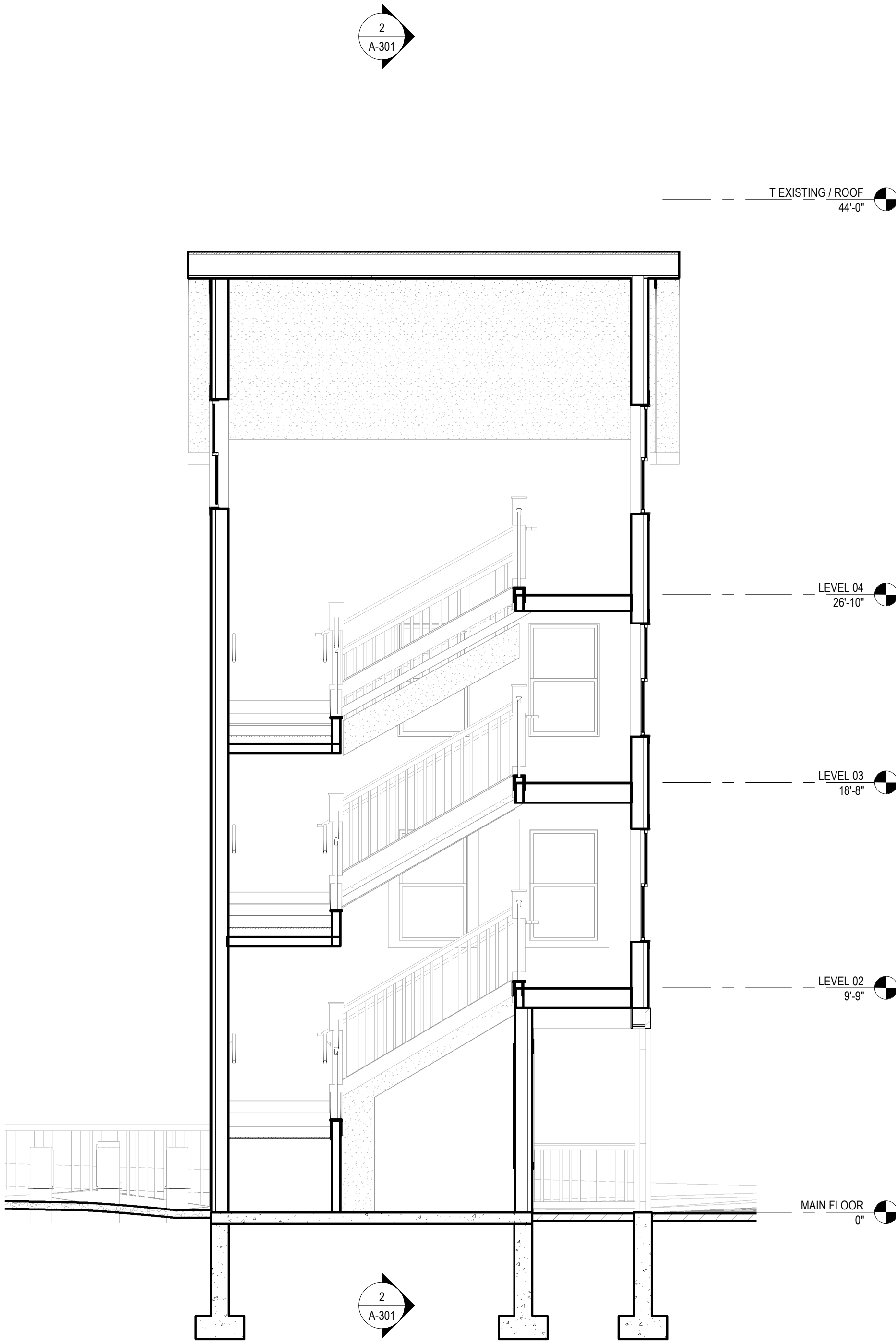
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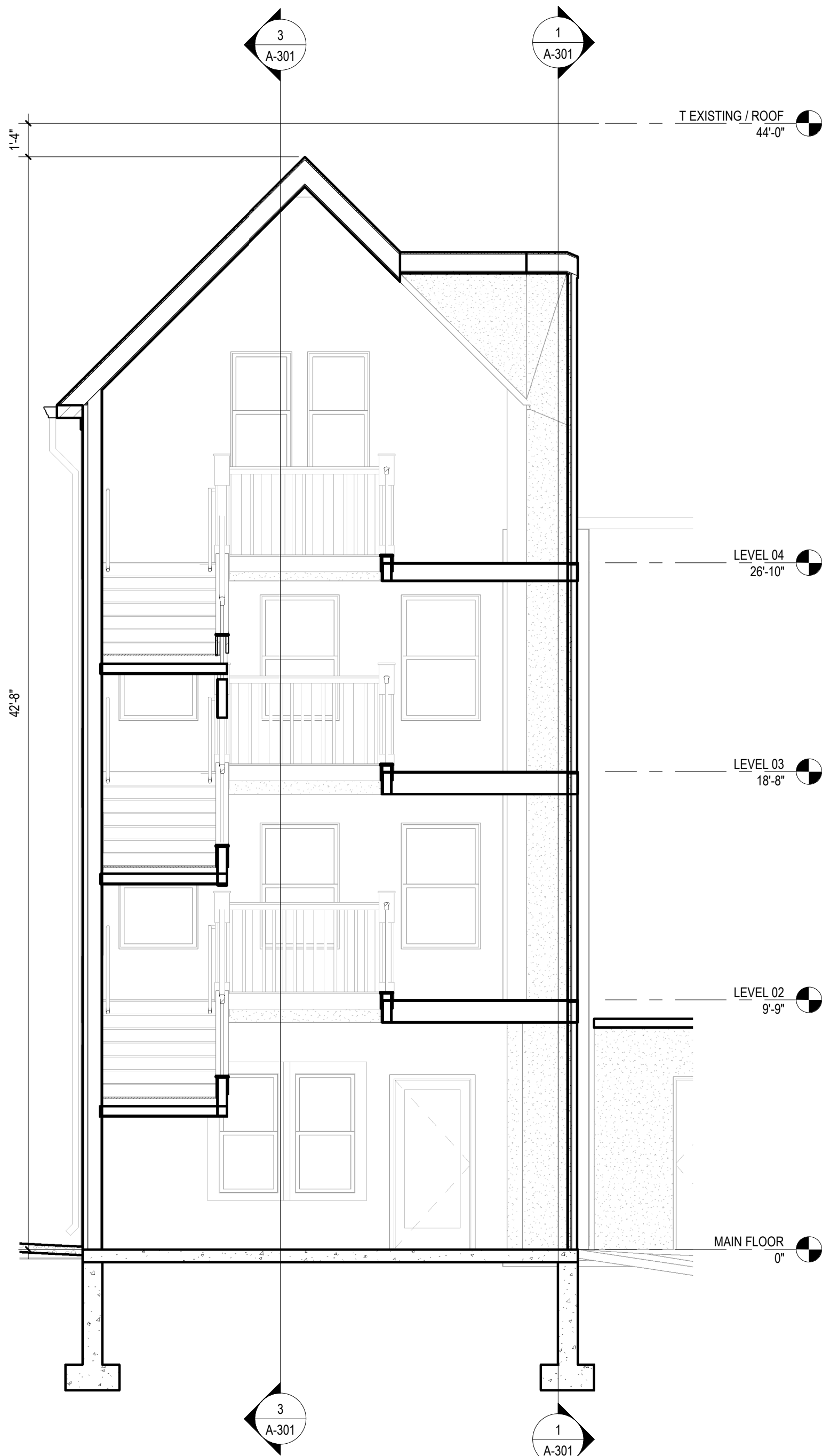
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BUILDING SECTIONS

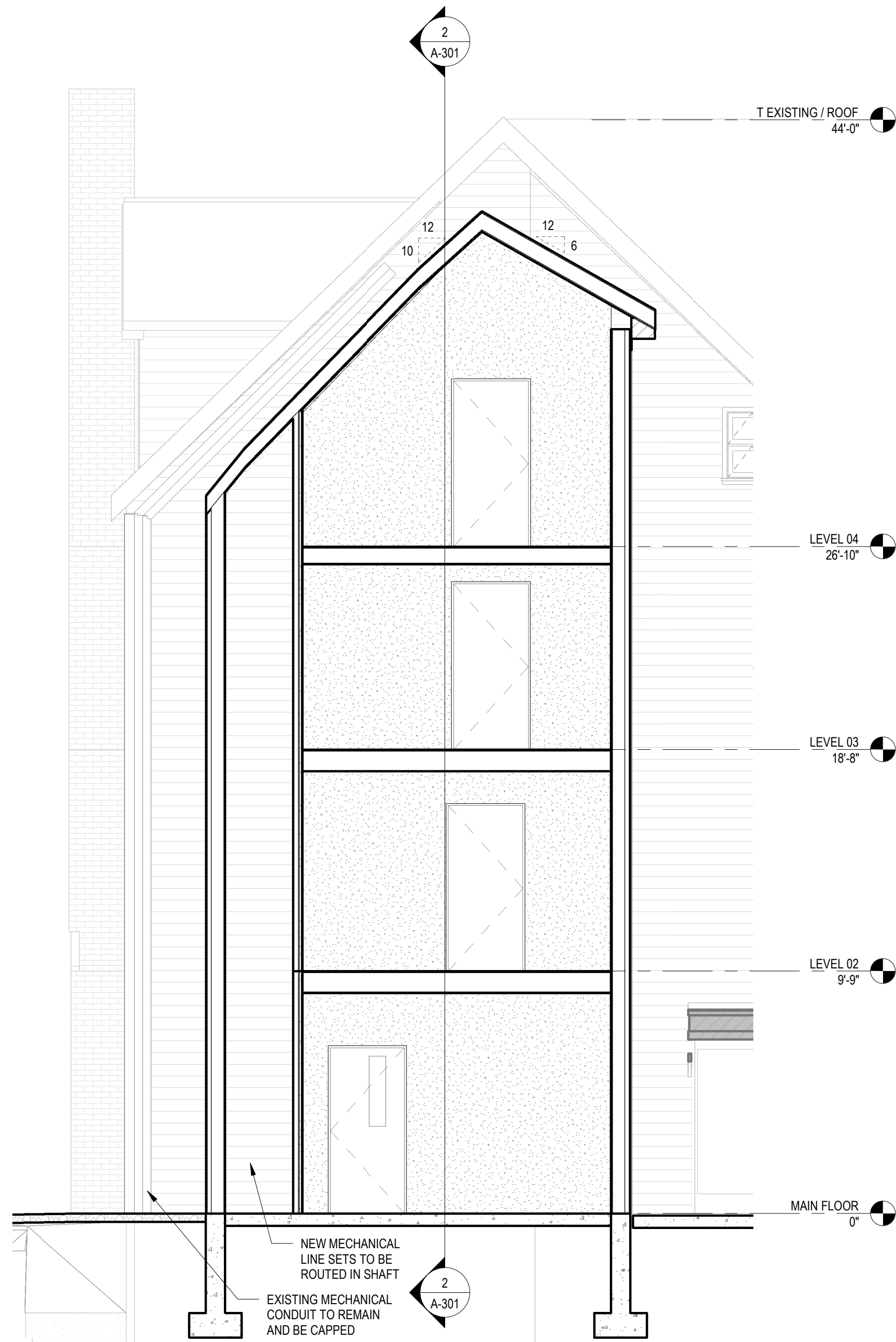
A-301
ENTITLEMENT



3 W/E SECTION THRU OPENING
1/4" = 1'-0"



2 N/S Section
1/4" = 1'-0"

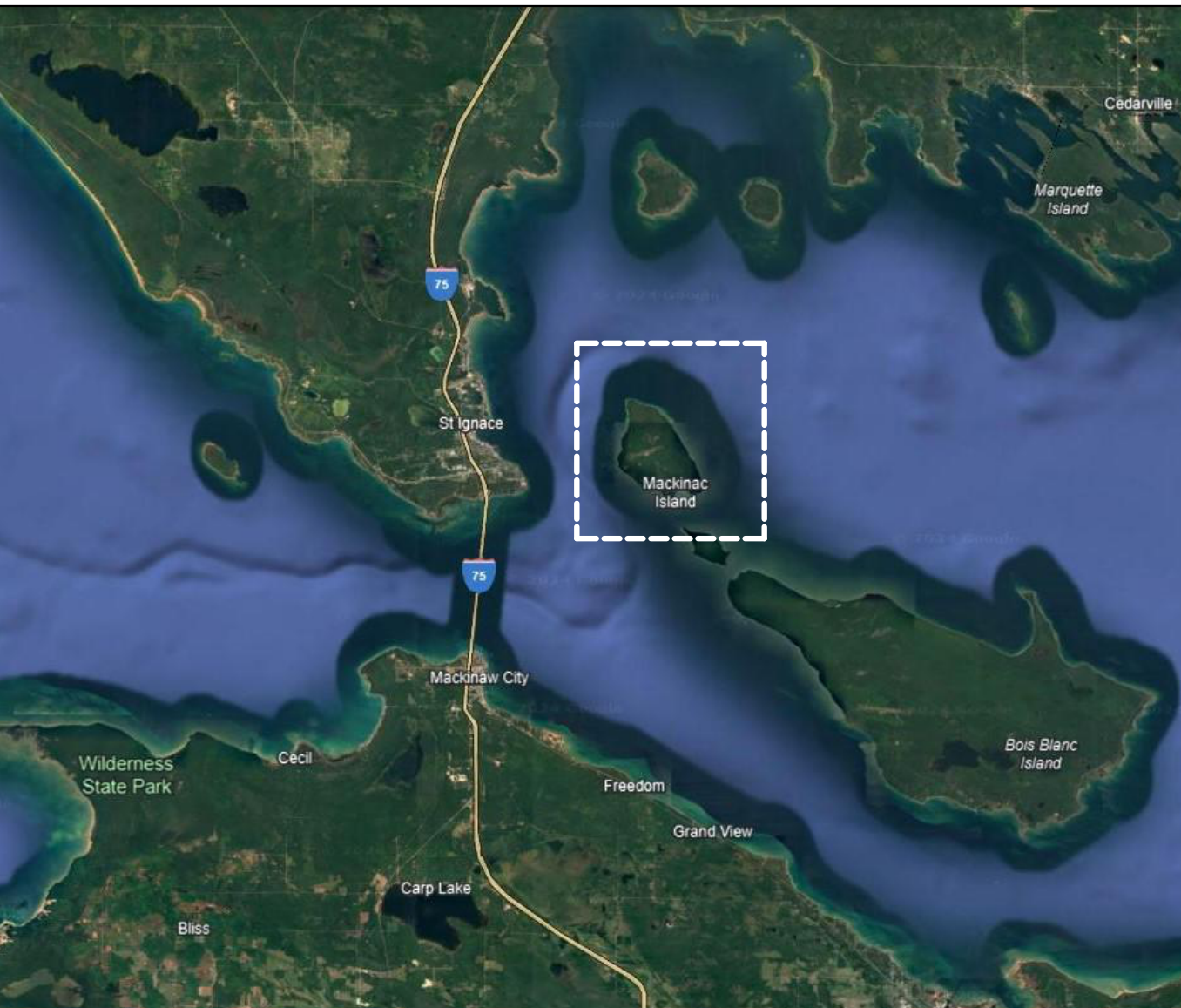


1 W/E SECTION
1/4" = 1'-0"

HARBOUR VIEW MACKINAC LLC

HARBOUR VIEW INN IMPROVEMENTS

6876 Main St, Mackinac Island, MI 49757



SITE LOCATION MAP



CAMPUS PLAN

SCHEDULE OF DRAWINGS

- GENERAL DRAWINGS
G-001 TITLE SHEET
ALTA Survey
- ARCHITECTURAL DRAWINGS
A-001 ARCHITECTURAL SITE PLAN
A-002 PHOTOGRAPHS
A-003 PHOTOGRAPHS
A-004 PHOTOGRAPHS
A-101 GROUND FLOOR PLAN
A-102 LEVEL TWO AND THREE FLOOR PLAN
A-103 LEVEL FOUR FLOOR PLAN
AR-101 ROOF PLAN
A-201 EXTERIOR BUILDING ELEVATIONS & ISOMETRICS
A-301 BUILDING SECTIONS

RELEASE

ENTITLEMENT

DATE OF ISSUE

06/28/24

ARCHITECT'S PROJECT NUMBER

22407800

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MACKINAC LLC

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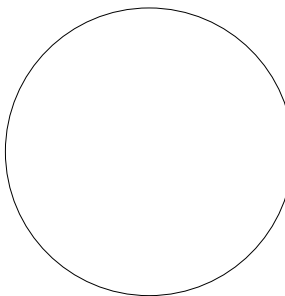
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TITLE SHEET

G-001
ENTITLEMENT

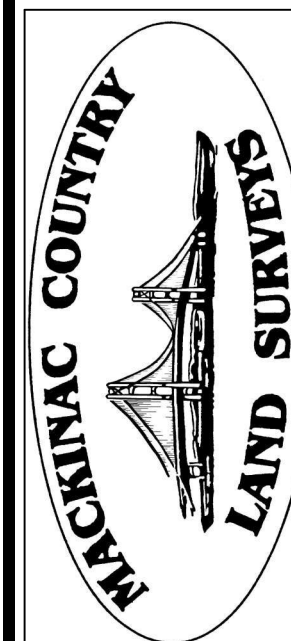
LEGAT ARCHITECTS



PE PIERCE ENGINEERS
CONSULTING STRUCTURAL ENGINEERS



ALTA/NSPS Land Title Survey

Sheet 1 of 1
ALTA SurveyMackinac Country Land Surveys
429 Ellsworth St. ~ St. Ignace, MI 49781
(906) 643-9418 www.MackinacSurveys.com

DATE: 1/31/2024 ~ Revised 3/06/2024

ORDER #: 23109-HVI-72/59-AP2-MI

DRAWN BY: Matthew B Bliss

Part of Lot 72

051-725-(001-10/006-00)

1407 Church St
Rowe House Terraces Condo
Various Owners73
051-525-028-00
1450 Bogan Ln
William Chambers Etal74
051-525-029-00
1432 Bogan Ln
M.I. Carriage Tours75
051-525-030-00
1420 Bogan Ln
Patricia Martin

76

Part of
Lot 72
Parcel A
051-525-026-00
6860 Main Street
Harbor View Inn LLC
1.391 AcItem #8,
10' Easement

Item #14

Item #14

Legend

- Found Concrete Monument
- Found Property Iron
- Set 1/2"x18" Iron #50439
- Measured Dimension
- Record / Previous Dimension
- Lot or Parcel Line
- Subject Parcel Line
- OHP
- Underground Power Line
- STW
- Underground Storm Line
- FO
- Underground Fiber Optic Line
- T
- Telephone/Cable Line
- Title item as referenced on Commitment XXXXXXXX

- Fire Hydrant
- Storm Catch Basin
- Sanitary Man Hole
- Sanitary Clean Out
- Electric Transformer
- Electric Power Meter
- Water Valve
- Fire Department Hookup
- Power Pole
- Light & Pole
- Gas Meter
- Telephone Box
- Underground Telephone Box
- Air Conditioning/Heating Unit

Bearing from GPS
Michigan State Plane
North Zone
Scale: 1" = 20'Neil W. Hill P.S.
Professional Surveyor #50439

Certification:

To: Harbour View Mackinac LLC, CCHVI LLC, First National Bank of Michigan & Seaver Title Agency – ATA National Title Group, and Stewart Title Guaranty Company and Corporate Settlement Solutions:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1,2,3,4,7a,13,16, & 17 of Table A thereof. The fieldwork was completed on 1/31/2024 & the Date of Plat or Map is 1/31/2024

Record Legal Description:

Land situated in the City of Mackinac Island, County of Mackinac, State of Michigan, described as:

Parcel A:

Commencing at the corner being common to the Southwest corner of Lot 72 and the Southeast corner of Lot 76, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records as to the point of beginning; thence along the Southerly line of said Lot 76, N 71°11'57" W 62.50 feet to the Westerly line of said Lot 76; thence along said Westerly line, N 12°14'51" E 170.60 feet to the Northerly line of said Lot 76; thence along said Northerly line, S 74°47'57" E 65.15 feet to the Easterly line of Lot 76 and Westerly line of Lot 72; thence along said Westerly line of Lot 72, N 13°13'26" E 160.80 feet; thence S 75°33'08" E 145.00 feet to the Easterly line of said Lot 72; thence along said Easterly line, S 13°01'22" W 346.00 feet to the Southerly line of Lot 72; thence along said Southerly line of said Lot 72, 147 feet more or less to the point of beginning. All being Lot 76 and part of Lot 72, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records.

Parcel B:

Lot 59, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records.

Parcel C:

Lot 60B, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records.

Parcel D:

Not included in this survey

Parcel B
051-525-012-00
1378 Church St
Harbor View Inn LLC
3,218 SqFtParcel C
051-525-015-00
Church St
Harbor View Inn LLC
1,321 SqFt

Special Title Exceptions:

Per Schedule B Part II of ATA National Title Group, LLC, Registry ID: No. 1033513, Office File Number 49-23899197-SCM, Revision No. 1, dated December 15, 2023 at 8:00AM:

- Items 1-7 are not graphically plottable on survey.
- Item 8 10 foot wide utility easement recorded in Liber 272, Page 412, (Parcels A & D) – plotted along the North line of Parcel A. NOTE: Due to the uncertainty of the North line of Assessor's Plat No. 2, and Lot 72, this easement must be field verified.
- Item 9 ROW Easement in favor of Cloverland Electric Corporation, recorded in Liber 876, Page 571 (Parcel A) Blanket easement, limited to 8 feet each side of an underground electric line, and/or 15 feet each side of an overhead electric line. - Known electric utilities plotted on map, NOTE: others may be present.
- Item 10 ROW Easement in favor of Cloverland Electric Corporation, recorded in Liber 955, Page 313 (Parcels B & C) Blanket easement, limited to 8 feet each side of an underground electric line, and/or 15 feet each side of an overhead electric line. - Known electric utilities plotted on map, NOTE: others may be present.
- Items 11-13 are not graphically plottable on survey.
- Item 14 Various utilities shown on Porter's Survey P.C. Job No. 73-16, dated August 1, 2016 (Parcel A)
a. Overhead Telephone and Cable TV lines over Lot 76 without reference to an easement – Shown on map
b. Overhead Power Line over Lot 76 without reference to an easement – Appears to be moved, shown on map.
c. Underground Telephone and Power Lines over Lot 72 without reference to an easement – Shown on map
d. Cable TV Lines over Lot 72 without reference to an easement – Shown on map
NOTE: Underground utilities shown via previous survey, and are not located as part of this survey.
- Items 15 & 18 are not graphically plottable on survey.
- Items 16 & 17 Parcel not included in this survey. (Parcel D)

Notes:

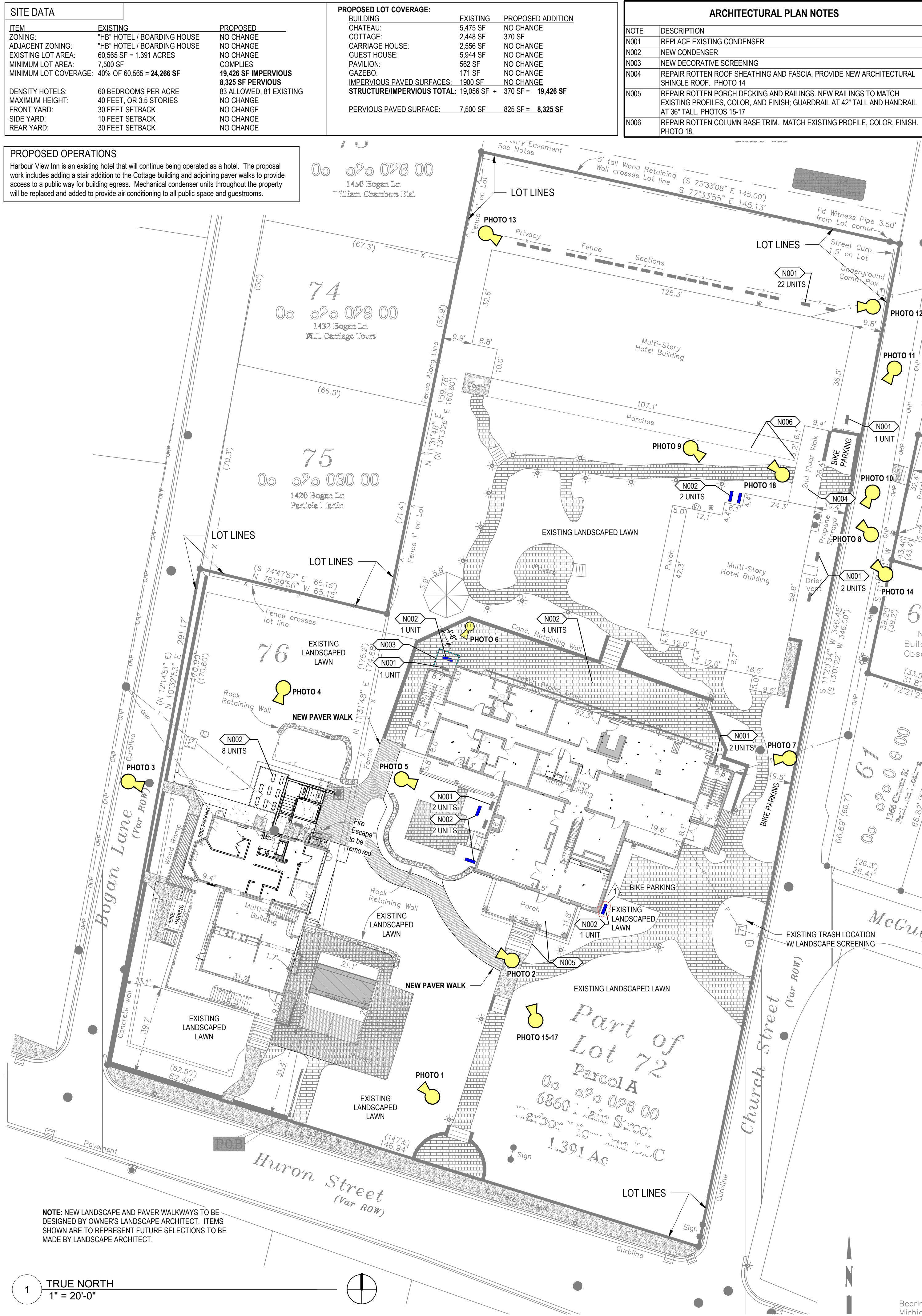
- No regular vehicular access to parcel. Normal access is limited to pedestrian, bicycle & horse carriage.
- According to the FIRM 26097C1001C on www.FEMA.gov these parcels reside in Community No. 260764, with the entirety of the parcels in Zone X, via graphic plotting.
- All utilities are located via visual inspection, and previous survey map. No utility marking was performed for this project.
- There was no evidence of recent earth moving work, building construction, or building additions observed.
- The surveyor is unaware of any proposed changes in street right of way lines and there is no evidence of recent street or sidewalk work on subject parcels.



PHOTO 1 RENDERING



PHOTO 1



LEGAT ARCHITECTS
Design with a Difference

**HARBOUR VIEW
MACKINAC LLC**

**HARBOUR VIEW
INN
IMPROVEMENTS**

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www.ohm-advisors.com

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1	ZONING	08/23/24

PROJECT NUMBER: 22407800
DATE OF ISSUE: 06/28/24
DRAWN BY: Author
REVIEWED BY: Checker

**ARCHITECTURAL SITE
PLAN**

A-001
ENTITLEMENT

A

B

C

D

E

F

G

H

J

K

L

M

N

P

Q



PHOTO 4 RENDERING



PHOTO 3 RENDERING



PHOTO 2 RENDERING



PHOTO 4

- OPTION 2 SCOPE:
1. REMOVE, CLEAN, REPAIR, PAINT, AND RE-INSTALL EXISTING FIRE ESCAPE.
 2. REPLACE 2ND, 3RD, 4TH FLOOR EXTERIOR DOORS AT FIRE ESCAPE. TYPE AND COLOR TO MATCH EXISTING CONDITION.
 3. REPAIR TRIM AND SIDING ON NORTH FACADE AS NECESSARY. TYPE AND COLOR TO MATCH EXISTING CONDITIONS.
 4. REMOVE EXISTING MECHANICAL EQUIPMENT, CREATE NEW NEW OPENING AT GROUND FLOOR, AND INSTALL PATHWAY AS SHOWN ON A-001 AND A-101.



PHOTO 3



PHOTO 2

LEGAT ARCHITECTS
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HARBOUR VIEW
MACKINAC LLC

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IMPROVEMENTS

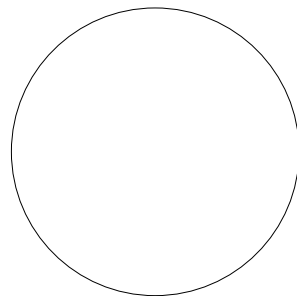
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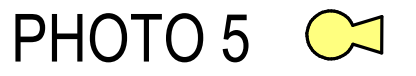
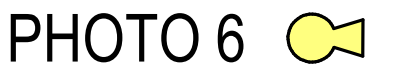
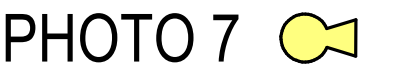
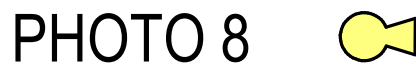
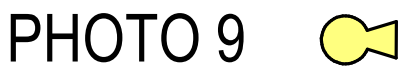
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DATE OF ISSUE 06/28/24
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REVIEWED BY Checker

PHOTOGRAPHS

A-002
ENTITLEMENT



HARBOUR VIEW
MACKINAC LLC

HARBOUR VIEW INN IMPROVEMENTS

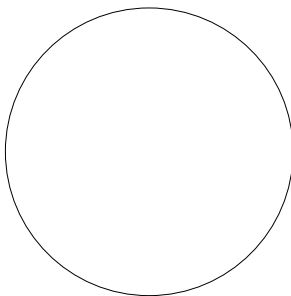
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PHOTOGRAPHS

A-003
ENTITLEMENT

PHOTO 15



PHOTO 14



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A-004
ENTITLEMENT

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MACKINAC LLCHARBOUR VIEW
INN
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GROUND FLOOR PLAN

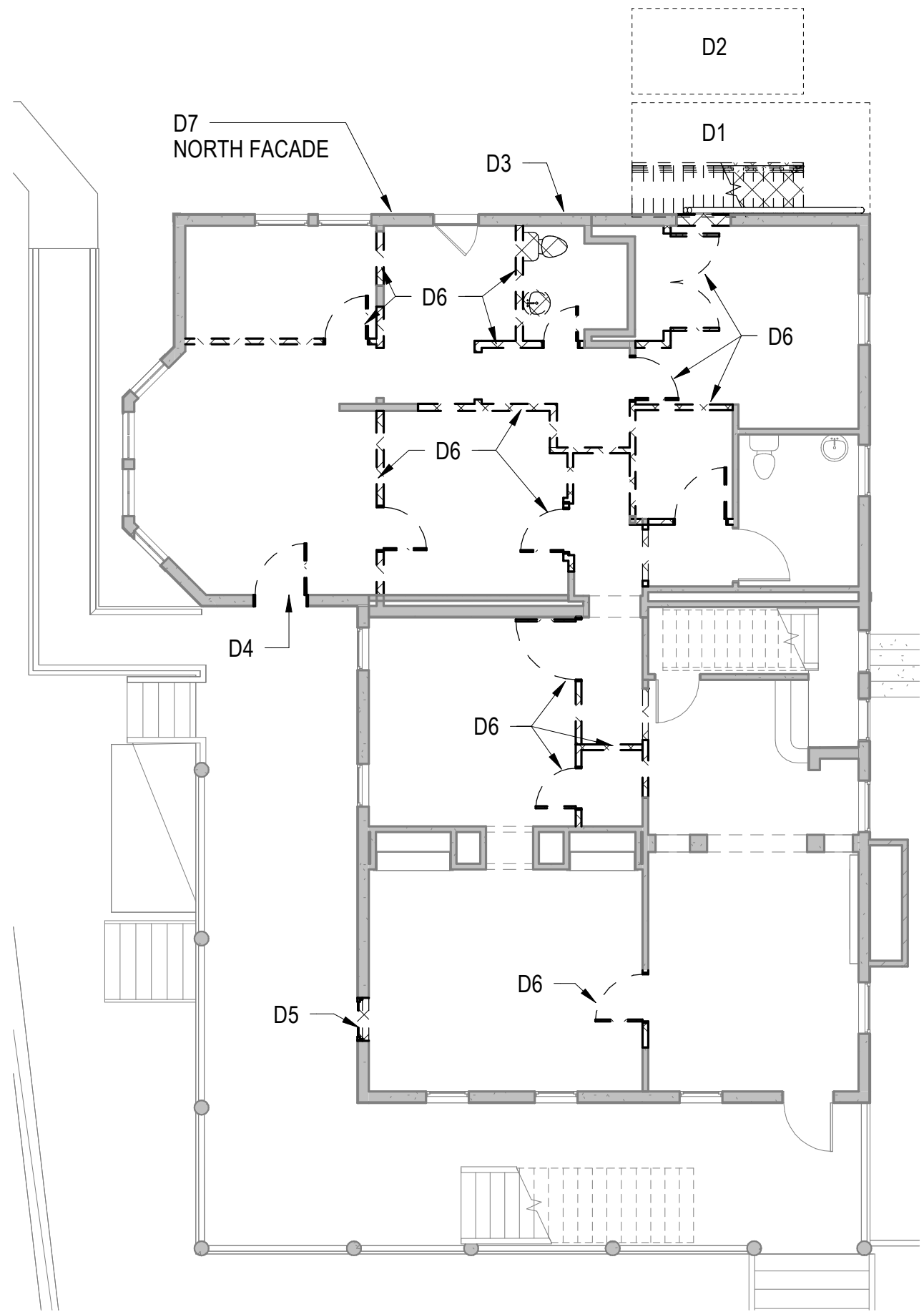
A-101
ENTITLEMENT

FLOOR PLAN LEGEND			
	1 A101	SIM	DETAIL SECTION TAG
	1 A101	SIM	BUILDING & WALL SECTION TAG
	S3FA		WALL TYPE - REFER TO A-611 FOR WALL TYPES
	101		DOOR NUMBER - REFER TO A-601 FOR DOOR AND FRAME SCHEDULE
	101		ROOM NAME
	101		ROOM NUMBER
	A101	Ref 1	INTERIOR ELEVATION TAG
	A101	1	EXTERIOR ELEVATION TAG
	0		COLUMN TAG AND COLUMN CENTERLINE
	A101	Ref 1	STOREFRONT, CURTAIN WALL AND WINDOW ELEVATION
	CG		CORNER GRef - REFER TO DETAIL
	FE		FIRE EXTINGUISHER - WALL MOUNTED
	FEC		RECESSED FIRE EXTINGUISHER AND CABINET
	FEC-R		FIRE RATED RECESSED FIRE EXTINGUISHER AND CABINET
	FEC		SEMI-RECESSED FIRE EXTINGUISHER AND CABINET
	FEC-B		SEMI-RECESSED FIRE EXTINGUISHER AND CABINET AND BLANKET
	MB#		MARKER BOARD
	TB#		TACK BOARD
	FD		FLOOR DRAIN
			AREA NOT IN CONTRACT
	N###		NEW WORK NOTE

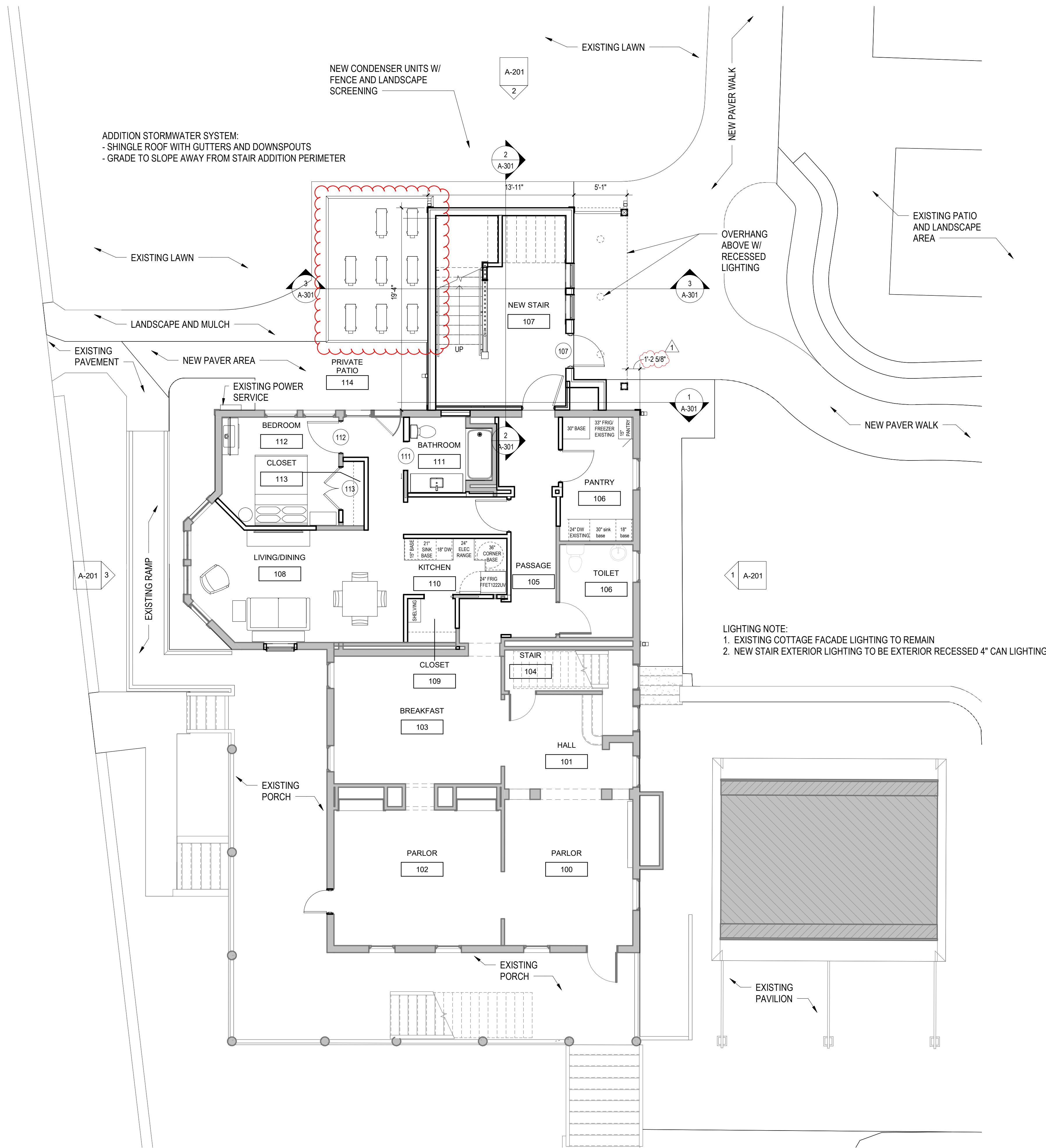
ARCHITECTURAL PLAN NOTES N###	
NOTE	DESCRIPTION
N001	REPLACE EXISTING CONDENSER
N002	NEW CONDENSER
N003	NEW DECORATIVE SCREENING
N004	REPAIR ROTTEN ROOF SHEATHING AND FASCIA, PROVIDE NEW ARCHITECTURAL SHINGLE ROOF. PHOTO 14
N005	REPAIR ROTTEN PORCH DECKING AND RAILINGS. NEW RAILINGS TO MATCH EXISTING PROFILES, COLOR, AND FINISH. GUARDRAIL AT 42" TALL AND HANDRAIL AT 36" TALL. PHOTOS 15-17
N006	REPAIR ROTTEN COLUMN BASE TRIM. MATCH EXISTING PROFILE, COLOR, FINISH. PHOTO 18

DEMOLITION SCOPE OF WORK:

- D1. REMOVE EXTERIOR FIRE ESCAPE ON NORTH SIDE
D2. REMOVE MECHANICAL UNIT AND SCREENING
D3. REMOVE BATHROOM WINDOW
D4. REMOVE DOOR AND REPLACE WITH EXISTING WINDOW
D5. REMOVE WINDOW, SALVAGE FOR REINSTALLATION. PREP OPENING FOR NEW DOOR.
D6. REMOVE INTERIOR WALLS AND DOORS
D7. REMOVE SIDING AND PREP FOR NEW SIDING TO MATCH EXISTING
D8. REMOVE SHINGLES ON EXISTING ROOF AND PREP FOR NEW ARCHITECTURAL SHINGLES

2 GROUND FLOOR DEMOLITION PLAN
1/8" = 1'-0"

A-201

1 GROUND FLOOR PLAN
3/16" = 1'-0"

A-201

LEGAT ARCHITECTS
Design with a Difference

**HARBOUR VIEW
MACKINAC LLC**

**HARBOUR VIEW
INN
IMPROVEMENTS**

6876 Main St, Mackinac Island, MI 49757

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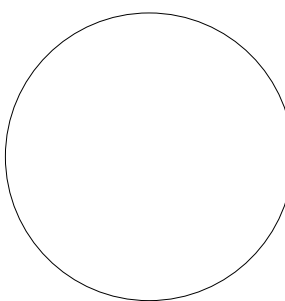
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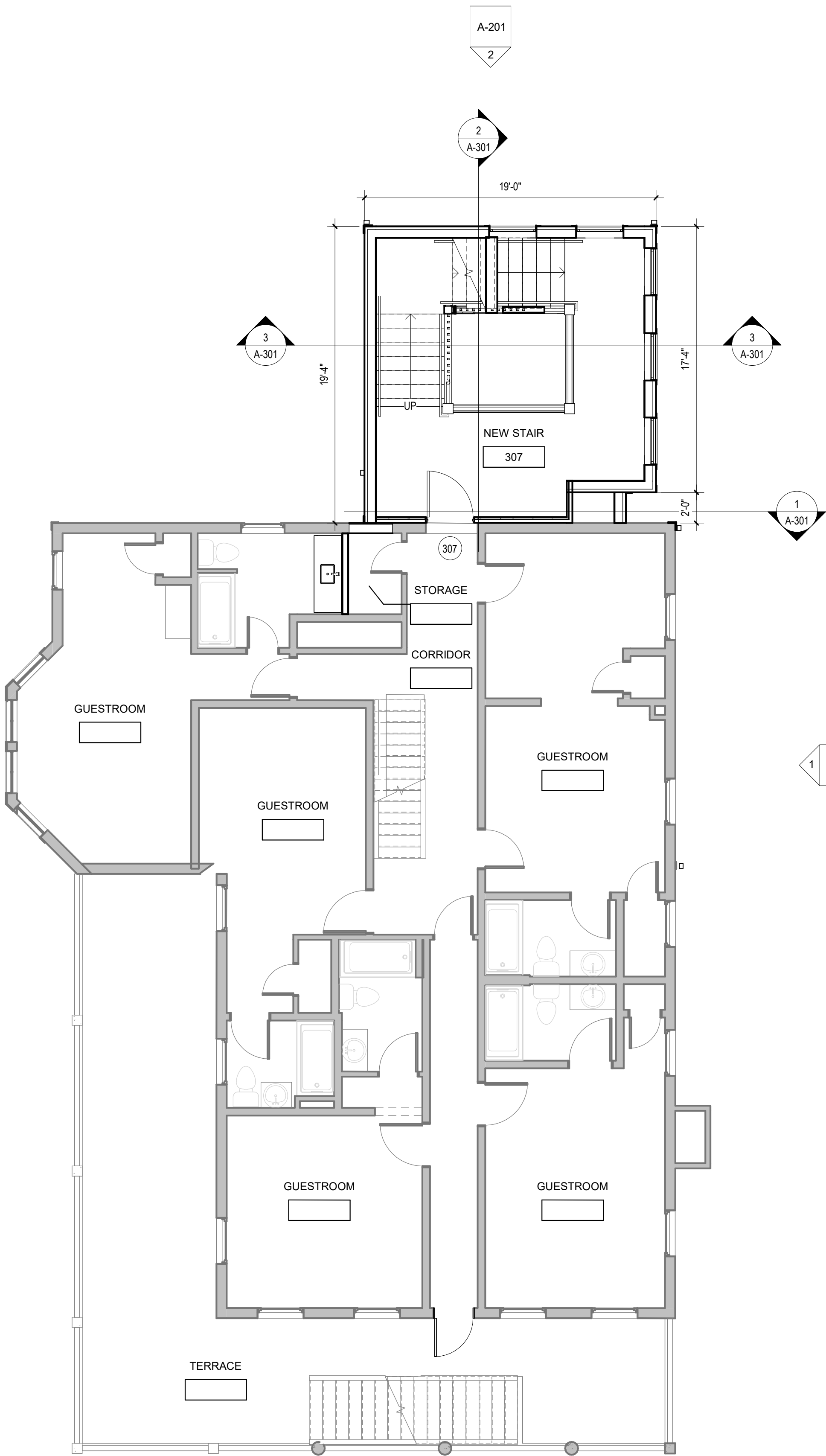
PROJECT NUMBER 22407800
DATE OF ISSUE 06/28/24
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**LEVEL TWO AND THREE
FLOOR PLAN**

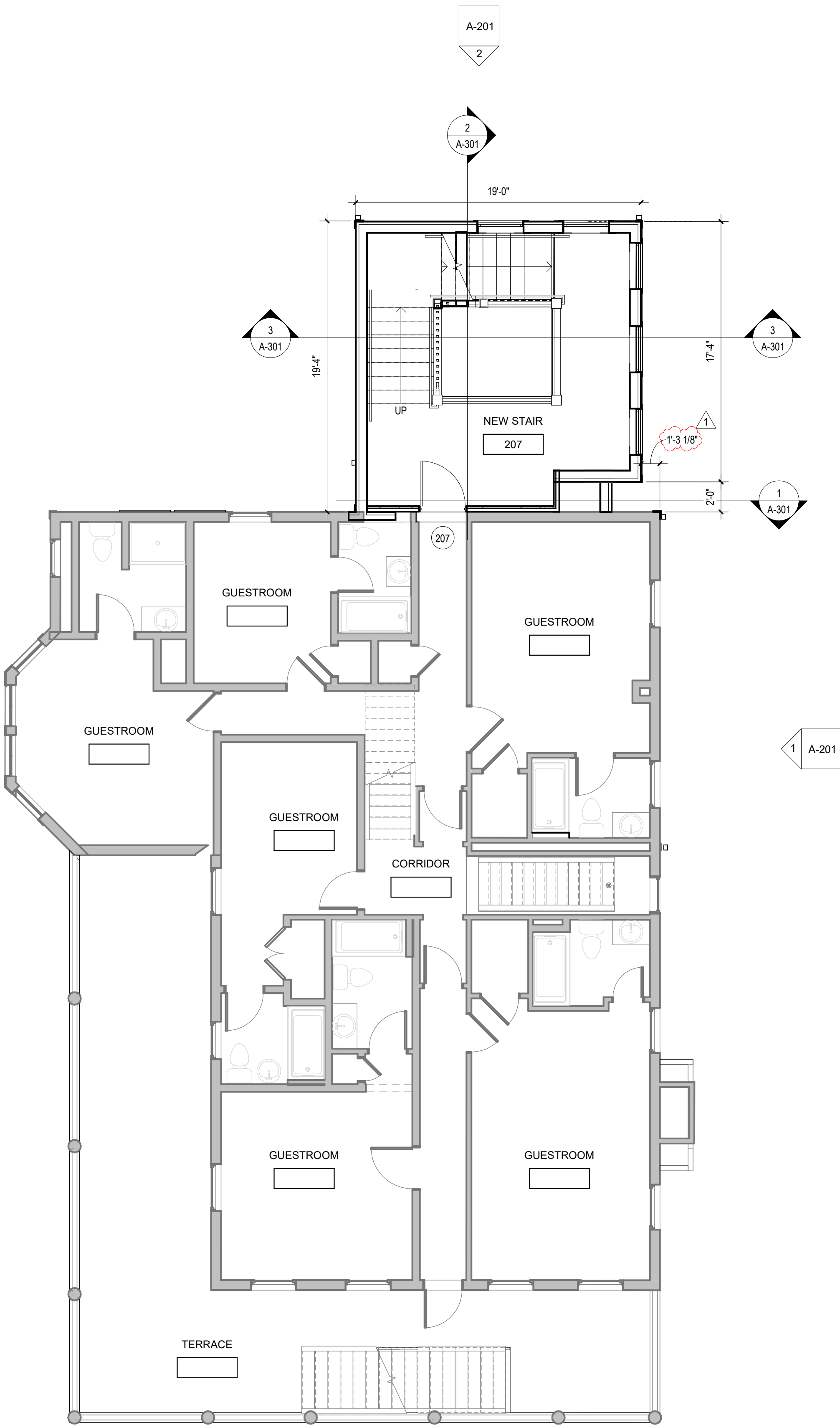
A-102
ENTITLEMENT

FLOOR PLAN LEGEND			
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	DETAIL SECTION TAG	FE	FIRE EXTINGUISHER - WALL MOUNTED
	BUILDING & WALL SECTION TAG	FEC	RECESSED FIRE EXTINGUISHER AND CABINET
	WALL TYPE - REFER TO A-611 FOR WALL TYPES	FEC-R	FIRE RATED RECESSED FIRE EXTINGUISHER AND CABINET
	DOOR NUMBER - REFER TO A-601 FOR DOOR AND FRAME SCHEDULE	FEC	SEMI-RECESSED FIRE EXTINGUISHER AND CABINET
	ROOM NAME - REFER TO A-601 FOR DOOR AND FRAME SCHEDULE	FEC-B	SEMI-RECESSED FIRE EXTINGUISHER AND CABINET AND BLANKET
	ROOM NUMBER	MB#	MARKER BOARD
	INTERIOR ELEVATION TAG	TB#	TACK BOARD
	EXTERIOR ELEVATION TAG	FD	FLOOR DRAIN
	COLUMN TAG AND COLUMN CENTERLINE		AREA NOT IN CONTRACT
	STOREFRONT, CURTAIN WALL, AND WINDOW ELEVATION		NEW WORK NOTE

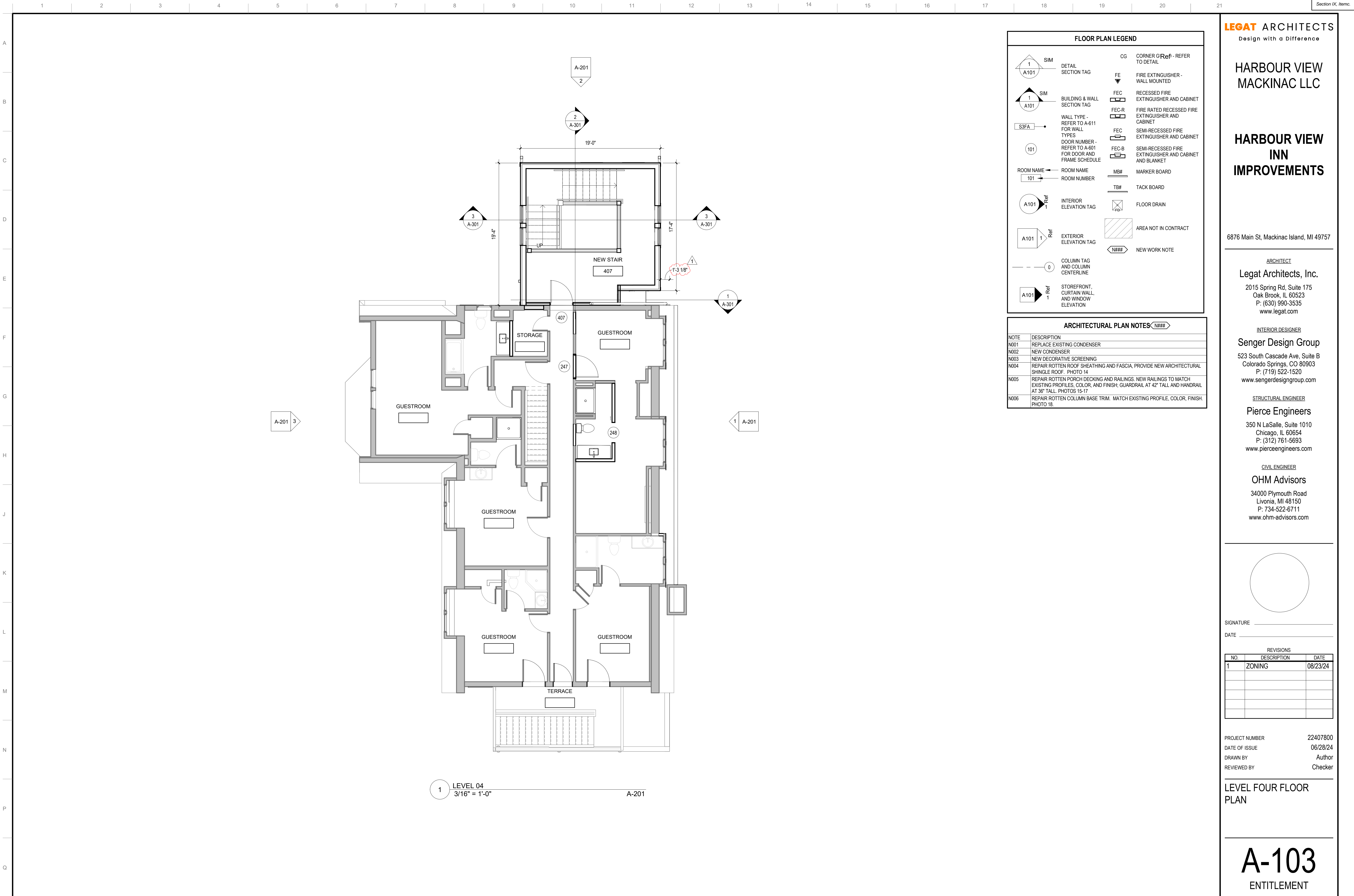
ARCHITECTURAL PLAN NOTES N###	
NOTE	DESCRIPTION
N001	REPLACE EXISTING CONDENSER
N002	NEW CONDENSER
N003	NEW DECORATIVE SCREENING
N004	REPAIR ROTTEN ROOF SHEATHING AND FASCIA, PROVIDE NEW ARCHITECTURAL SHINGLE ROOF. PHOTO 14
N005	REPAIR ROTTEN PORCH DECKING AND RAILINGS. NEW RAILINGS TO MATCH EXISTING PROFILES, COLOR, AND FINISH. GUARDRAIL AT 42" TALL AND HANDRAIL AT 36" TALL. PHOTOS 15-17
N006	REPAIR ROTTEN COLUMN BASE TRIM. MATCH EXISTING PROFILE, COLOR, FINISH. PHOTO 18.



1 LEVEL THREE FLOOR PLAN
3/16" = 1'-0"



2 LEVEL TWO FLOOR PLAN
3/16" = 1'-0"



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MACKINAC LLC

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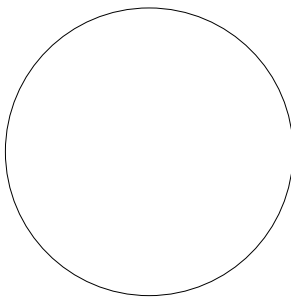
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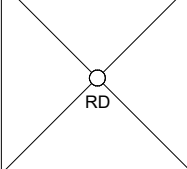
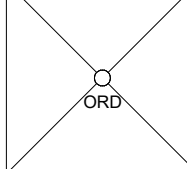




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LEVEL FOUR FLOOR
PLAN

A-103
ENTITLEMENT



ROOF PLAN LEGEND

	AREA OF SLOPED STRUCTURE
	AREA OF 1/4" PER FOOT TAPERED INSULATION
	AREA OF 1/2" PER FOOT TAPERED INSULATION
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	TOTAL HEIGHT OF INSULATION IN INCHES NOT INCLUDING COVER BOARD
	METAL COPING AND JOINT - REFER TO DETAILS 5/A-521 (HORIZONTAL) AND 5/A-521 (VERTICAL)
	VENT PIPE ROOF PENETRATION
DSN	DOWNSPOUT NOZZLE
DS	DOWNSPOUT
	EXPANSION JOINT ASSEMBLY

Design with a Difference

HARBOUR VIEW
MACKINAC LLC

HARBOUR VIEW INN IMPROVEMENTS

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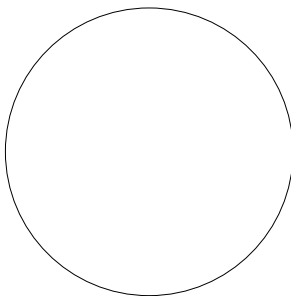
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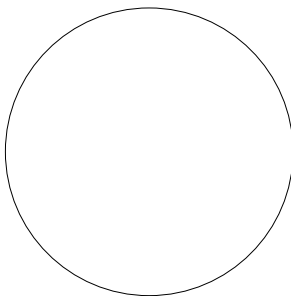
REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER	22407800
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REVIEWED BY	Checker

ROOF PLAN

AR-101

ENTITLEMENT



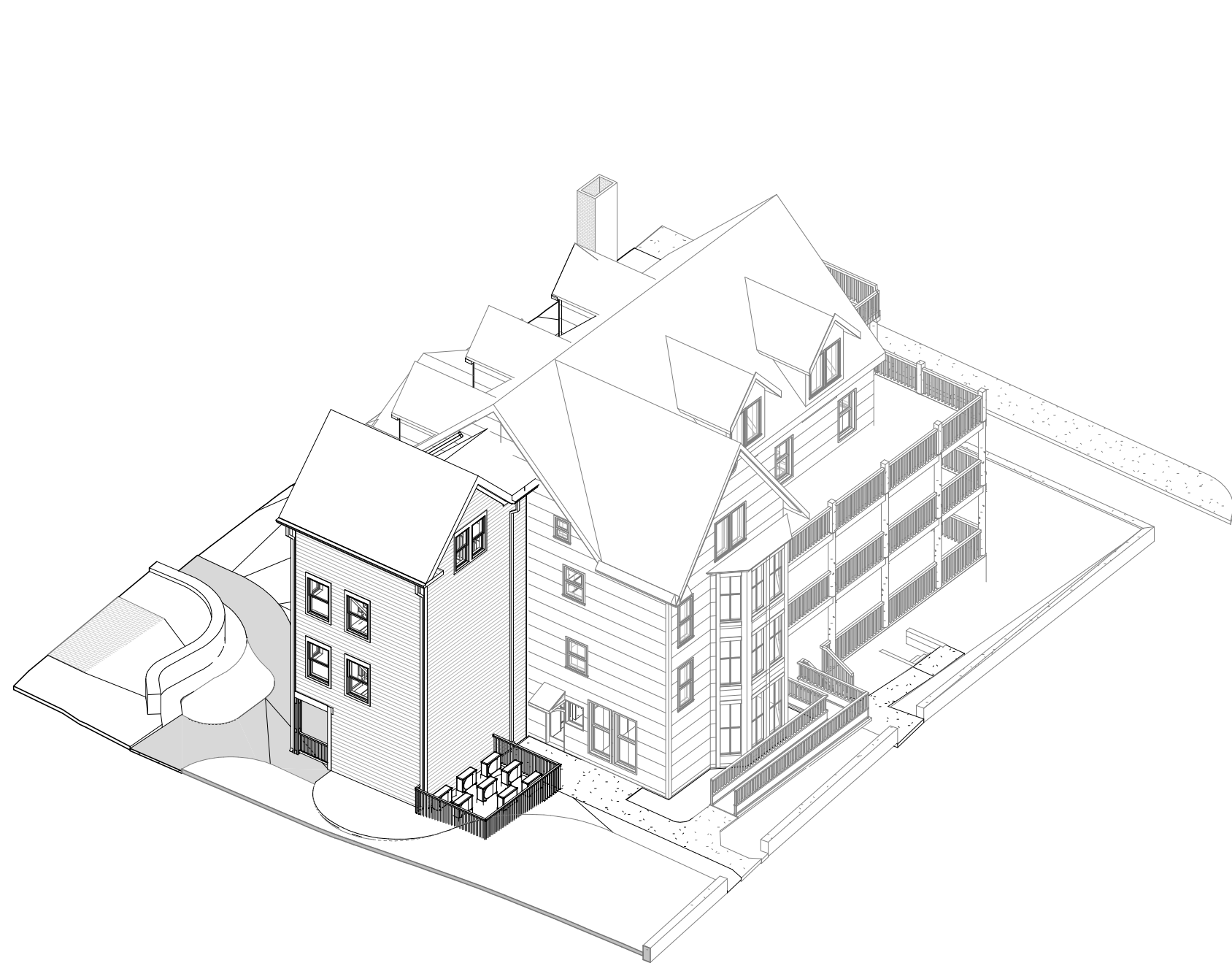
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EXTERIOR BUILDING
ELEVATIONS &
ISOMETRICS

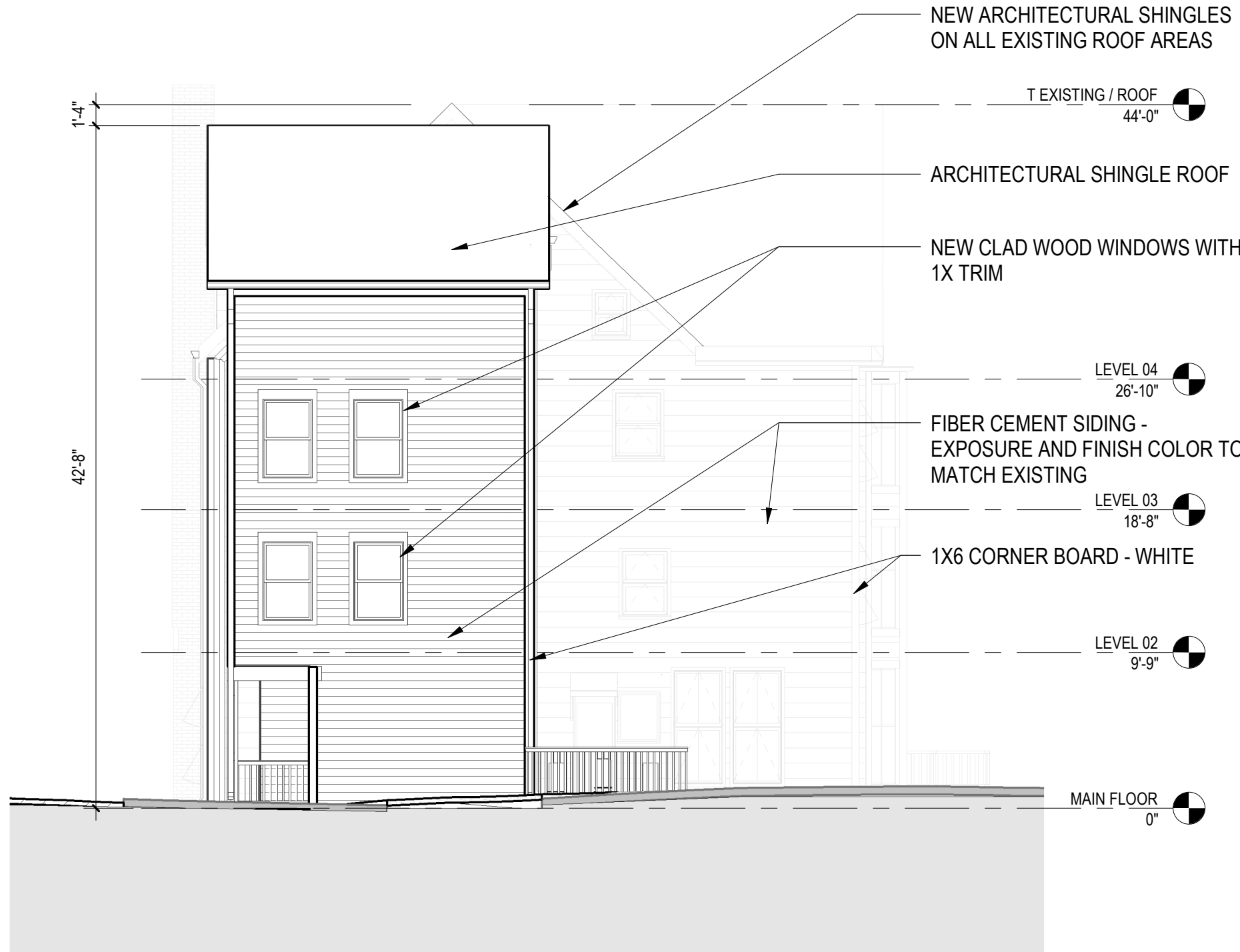
A-201
ENTITLEMENT



5 ISOMETRIC 02



4 ISOMETRIC 01



2 COTTAGE - STAIR ADDITION SOUTH ELEVATION
1/8" = 1'-0" A-011



3 COTTAGE - STAIR ADDITION EAST ELEVATION
1/8" = 1'-0" A-011



1 COTTAGE - STAIR ADDITION WEST ELEVATION
1/8" = 1'-0" A-011

LEGAT ARCHITECTS
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**HARBOUR VIEW
MACKINAC LLC**

**HARBOUR VIEW
INN
IMPROVEMENTS**

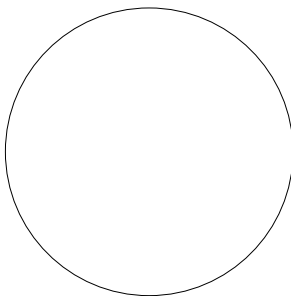
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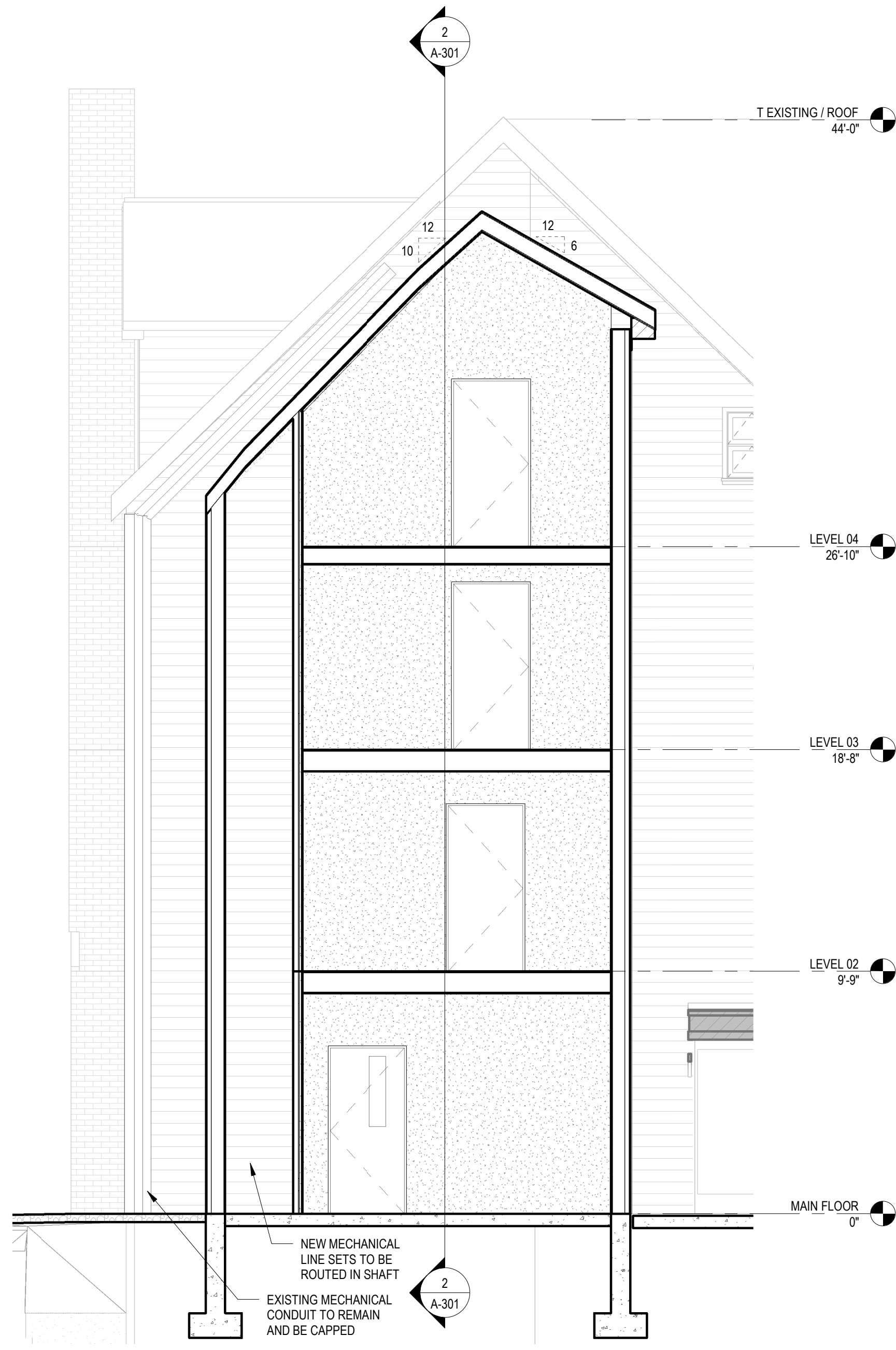
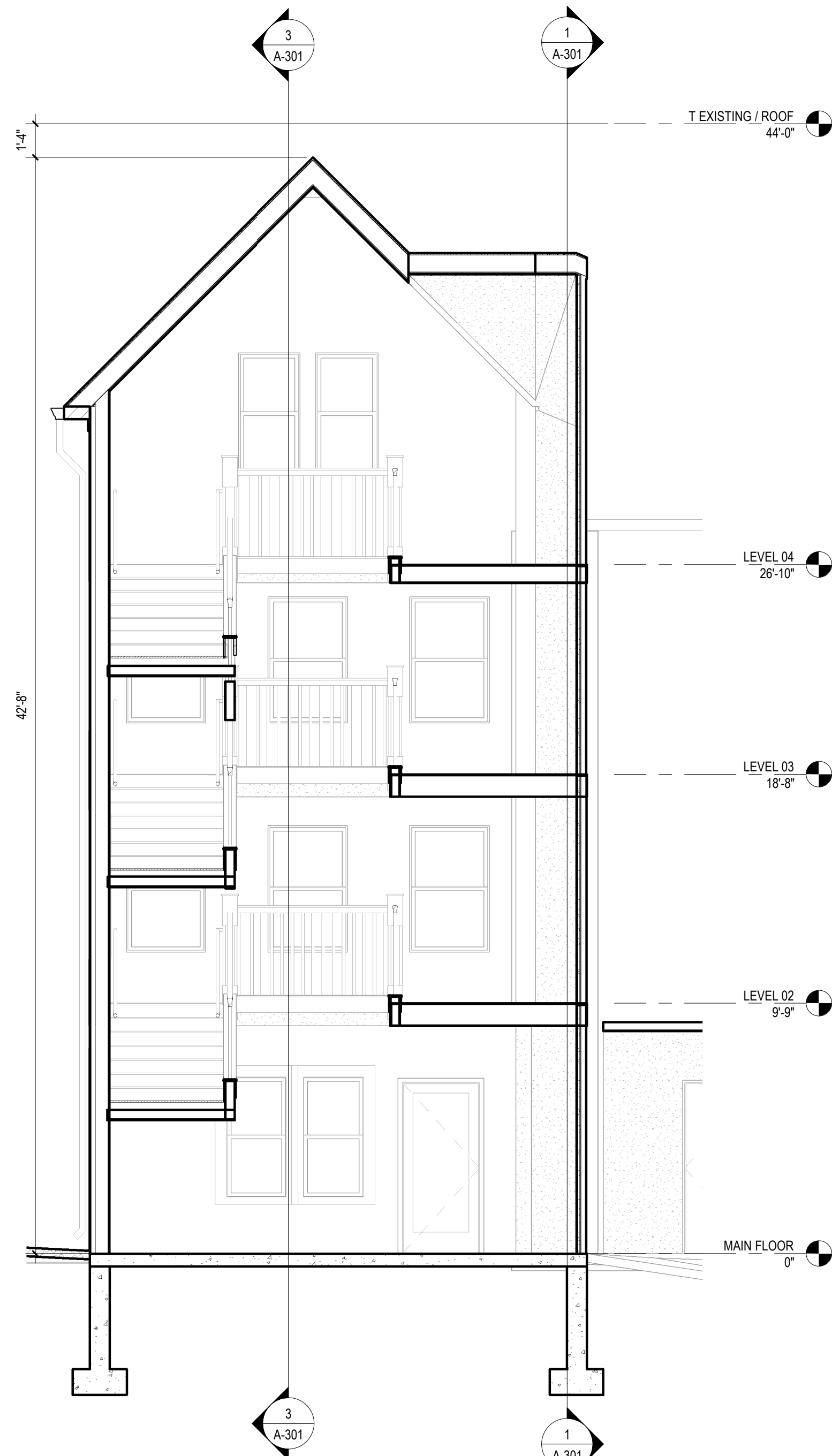
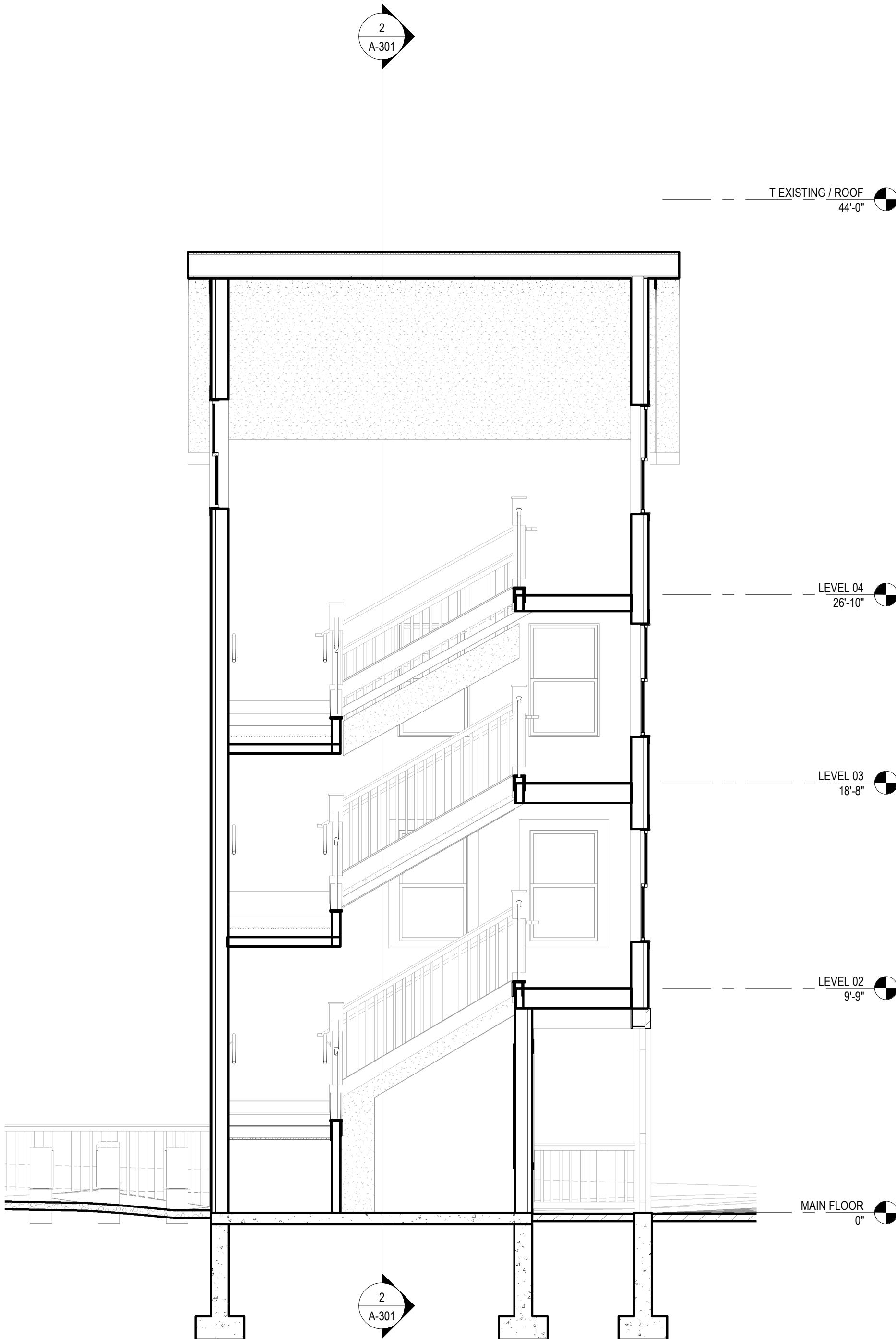
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NO.	DESCRIPTION	DATE

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DRAWN BY Author
REVIEWED BY Checker

BUILDING SECTIONS

A-301
ENTITLEMENT





Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

6 September 2024

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
P.O. Box 455
Mackinac Island, MI 49757

Re: **HARBOUR INN STAIR ADDITION**
Design Review

Dear Ms. Pereny:

I have reviewed the proposed stair addition and site work at the Harbour View Inn in the East End Mission Historic District.

Find attached the Design Review for the above referenced proposed project.

Should you have any questions, please contact me.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

- c. Sam Barnwell, Harbour View Mackinac, LLC
April Maifield, Legat Architects
Dennis Dombroski, City of Mackinac Island



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

6 September 2024

DESIGN REVIEW

HARBOUR INN STAIR ADDITION

Market Street

East End Mission Historic District
Mackinac Island, Michigan

INTRODUCTION

The proposed project is the construction of a new exterior stair at the rear of the Harbour View Inn, at 6876 Main Street, in the East End Mission Historic District. The work would also include installation of multiple ground-mounted condensing units west of the new stair (to be screened by fencing and landscaping), construction of new paver walks to the east and west sides of the new stair, and renovation of portions of the ground floor interior.

This design review is based on City Code Sec. 10-161 "Design Review Standards and Guidelines", of Article V. "Historic District", of the City of Mackinac Island Ordinance No. 443, adopted October 21, 2009. The review standards are those of the Department of the Interior entitled "The United States Secretary of the Interior's Standards for Rehabilitation" and "Guidelines for Rehabilitating Historic Buildings", as set forth in 36 CFR, part 67, as well as the factors set forth in City Code Sec. 10-161(b).

Materials submitted for Review consist of plan and elevations drawings of proposed work, photos of existing conditions with corresponding photo simulations, and axonometric views of the stair addition, completed by Legat Architects, dated 28 August 2024.

REVIEW

The Standards for review are the following:

Standard 1 - *"A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment."*

The property would continue to be used for its historic purpose as a hotel / inn.

Harbour View Inn Stair Addition Design Review
 6 September 2024
 Page 2

Standard 2 - *"The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a building shall be avoided."*

The historic character to the Harbour View Inn would be retained and preserved. Some inconsequential removal of old siding and trim at the rear would take place, but would not be a significant alteration of the historic materials or features that characterize the building.

Standard 3 - *"Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historic development such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."*

The proposed stair addition would reflect present need / use and thus would not create a false sense of historic development. And it would not be an addition of a conjectural feature as it makes no attempt to appear historic.

Standard 4 - *"Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved."*

No earlier changes having acquired historic significance in their own right would be affected.

Standard 5 - *"Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved."*

Distinctive features (such as chimney, dormers, siding and trim), finishes (paint), and examples of craftsmanship (front stairs and railings) that characterize the property would be preserved.

Standard 6 - *"Deteriorated historical features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence, or structures."*

Some exterior materials deterioration would be addressed by in kind replacement that would match the design and other aesthetic characteristics of the existing.

Standard 7 - *"Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible."*

This standard would not apply to the proposed project.

Standard 8 - *"Significant archaeological resources shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken."*

Harbour View Inn Stair Addition Design Review
 6 September 2024
 Page 3

This standard likely would not come into play for the proposed project, but some attention should be given during the excavation stage to be on alert for any possible exposure of archaeological remains, as this area of the Island has long been inhabited.

Standard 9 - *"New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size and architectural features to protect the historic integrity of the property and its environment."*

The proposed stair addition would very minimally destroy historic materials that characterize the property, but at the rear. The addition would be differentiated from the old by its smaller footprint and mass, and by some difference in siding treatment (texture and / or color).

Standard 10 - *"New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."*

The proposed stair addition would be separate enough to be removed in the future without affecting the essential form and integrity of the historic property.

Standards Under Code Sec. 10-161(b)

In reviewing applications, the Commission shall also consider all of the following:

(1) - *"The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area."*

The important historic and architectural value and significance of the Harbour View Inn as a district resource would be maintained.

(2) - *"The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area."*

The relationship of the proposed stair addition to the larger architectural resource would be an appropriate one, with the addition complementing the existing historic building.

(3) - *"The general compatibility of the design, arrangement, texture and materials proposed to be used."*

The proposed stair addition and site alterations would be compatible with the design, arrangement, and materials of the historic Harbour View Inn.

(4) - *"Other factors, such as aesthetic value, that the Commission finds relevant."*

Harbour View Inn Stair Addition Design Review
6 September 2024
Page 4

The aesthetic value of the new stair in relation to the old building would be complementary.

CONCLUSION

The proposed Harbour View Inn stair addition and site work would meet the Mackinac Island Historic District Commission Standards for review.

END OF REVIEW

GENERAL APPLICATION FOR WORK LOCATED WITHIN A HISTORIC DISTRICT

Section IX, Itemd.

- ☐ Minor Work (Complete Section A and refer to General Directions)
- ☐ New Construction (Complete Section B and refer to General Directions and Item B)
- ☐ Demolition (Complete Section B and refer to General Directions and Item C)

AUG 27 2024

Application Deadline: Application and materials must be completed and submitted by 4:00 p.m. ten (10) business days before each Commission Meeting. Late applications will be placed on the agenda for the following month. Decision by the Commission will not necessarily occur at the meeting at which the application materials are first received.

A) MINOR WORK

PROPERTY LOCATION: 1274 Mission Street 051-500-00800
(Number) (Street) (Property Tax ID #)

PROPERTY OWNER

Name: Andrew Douel Email Address: douelstep2000@yahoo.com
Address: 7357 Market St Mackinac Is MI 49757
(Street) (City) (State) (Zip)
Telephone: 231 392-6456
(Home) (Business) (Fax)

APPLICANT/CONTRACTOR

Name: Ray Halberg Email Address: rhalberg@hotmail.com
Address: 227 S. Airport Road St. Ignace MI 49781
(Street) (City) (State) (Zip)
Telephone: _____
(Home) (Business) (Fax)

☐ Attach a brief description of the nature of the minor work proposed and the materials to be used.
☒ Attach one or more photograph(s) of the whole building including façade and any relevant elevations showing the area, item or feature proposed to be repaired or replaced. The Building Official or Historic District Commission may require additional information necessary to determine the work to be Minor Work.

If the Building Official determines that the proposed work is not Minor Work, the Building Official shall direct the applicant to complete an Application for New Work and/ or Application for Demolition or Moving work which will then be referred to the HDC.

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief; and that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531

File No. 2324008.047(4)

Exhibit A

Date 8.27.24
Please Print Name

Initials KD

SIGNATURES S. Andrew Douel
Signature
S. Andrew Douel
Please Print Name

NOTE: All photos, drawings and physical samples, etc., become the property of the HDC City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

RETURN THIS FORM AND SUPPORTING MATERIALS TO:
MACKINAC ISLAND BUILDING OFFICIAL
7358 MARKET STREET, MACKINAC ISLAND, MI 49757
PHONE: (906) 847-4035

File Number: _____ Date Received: _____ Fee: _____
Received By: _____ Work Completed Date: _____

B) NEW CONSTRUCTION & DEMOLITION OR MOVING OF STRUCTURES

Section IX, Itemd.

PROPERTY LOCATION: 1274 Mission St 051-500-00800
(Number) (Street) (Property Tax ID #)LEGAL DESCRIPTION OF PROPERTY: Lot 16, Plat 1
(Attach supplement pages as needed)ESTIMATED PROJECT COST: 250,000**APPLICANT/CONTRACTOR**

(Applicant's interest in the project if not the fee-simple owner): _____

Name: Roy Halberg Email Address: rhalberg@hotmail.comAddress: 227 S. Airport Rd St. Ignace 49781
(Street) (City) (State) (Zip)Telephone: _____
(Home) (Business) (Fax)

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief.

Signature: A. Andrew Douc Date 8-27-24**PROPERTY OWNER(S) AND ALL PARTIES WITH A CLAIM OF RIGHT IN PROPERTY¹** This includes mortgagees, easement holders, and lien holders. You may be asked to provide a title search of the property and if the estimated is in excess of \$250,000 you are required to do so. Attach additional pages listing the person(s) or entity(ies) with legal interest(s) in the property and the nature of the legal interest(s).Name: Andrew Douc Email Address: doucstep2000@yahoo.comAddress: 7357 Market Mackinac Is MI 49757
(Street) (City) (State) (Zip)Telephone: 231 392 6456
(Home) (Business) (Fax)

The undersigned certify(ies) and represent(s)

1. That he/she, it or they is (are) all of the fee title owner(s) of all of the property involved in the application; and
2. That he/she, it or they has (have) attached a list which identifies all parties with a legal interest in the property at issue other than the undersigned owner(s) and has (have) identified the nature of each legal interest; and
3. That the answers and statements herein attached and materials provided are in all respects true and correct to the best of his, her, its or their information, knowledge and belief. The undersigned hereby further certify(ies) and represent(s) that he/she, it or they has (have) read the foregoing and understand(s) the same.
4. That the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531.

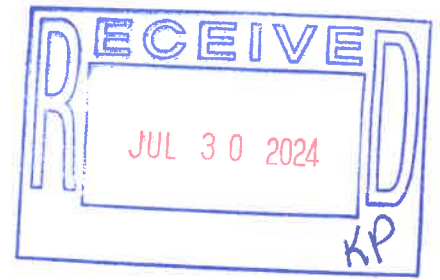
Signature: A. Andrew Douc SIGNATURES _____
SignaturePlease Print Name: Stephen Andrew Douc Please Print Name _____Signed and sworn to before me on the 27 day of AUG, 2024Signature: Kathryn Pereny
Notary Public _____ County, Michigan
My commission expires: _____

¹ The decision by the Historic District Commission may be in the form of Restrictions to which such Parties may be required to agree. (revised 04/17)

File No. R324 008.047(H)Exhibit CDate 8.14.24Initials KP**Description of Work**

1274 Mission Street

Mackinac Island, MI 49757



Proposed work:

To complete work in two phases:

Phase one: Move existing, two-story house to the front of the parcel, and create two separate condominiums, one on the ground floor and one on the upper floor.

Phase two: Build new condominium home on the back part of the parcel.

Refer to attached site plan dated July 29, 2024, for more detail

Property is zoned R-3 (*Hight Density Residential*) and is a non-contributing property located within the Mission Historic District.

Proposed development is a site condominium, the existing structure will be converted into two-single family condominiums, and the new structure will be a single-family condominium.

There are two existing REUs which will continue to be applied to the existing structure in "phase one" One new REU will be necessary for the new construction in "phase two"

Construction start dates:

Phase one; November 1, 2024, building of new foundation by Chad Belongia and Erin Winberg, December 1, 2024 move existing house by Nick Mangini . Construction completion target date May 12025.

Phase two; Foundation construction to begin December 1, 2024, with construction of the house commencing upon foundation completion by Ray Halberg.

Demolition of the existing basement to be performed by Chad Belongia, and construction debris will contained on property and handled by Mackinac Island Service Company.

File No. R324.008.047

Section IX, Itemd.

Exhibit H


Date 8.14.24

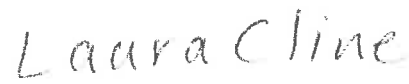
Initials KP

August 12, 2024

Bob Benser and myself are presenting a project at 1274 Mission Street. An element we would like to request a change from the special land use back to standard R-3. The special land use allows for use of the property as employee housing. We would like to eliminate the housing use, while requesting only single family dwellings within the R-3 parameters. I apologize for not presenting this in our packet. The following neighbors are in support of this change:

Mark Ware
Mission Point Resort

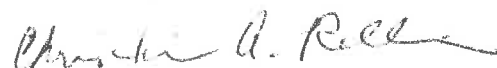
Mary Jane Barnwell 
1230 Mission St

Jana Cline 
1229 Mission St

David Jurak
Grand Hotel

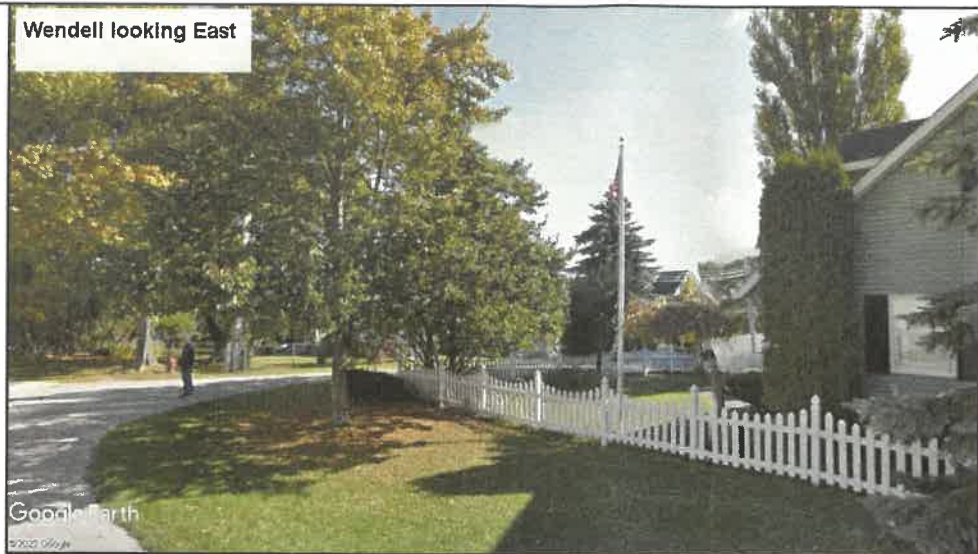
Holly Nitzsche 
HNS

Christine A. Rollicks
1235 Mission St.





NORTH & WEST HOUSE ▲
▼ SOUTH & WEST HOUSE



Wendell looking East ▲
▼ ON WENDALL LOOKING SOUTHEAST



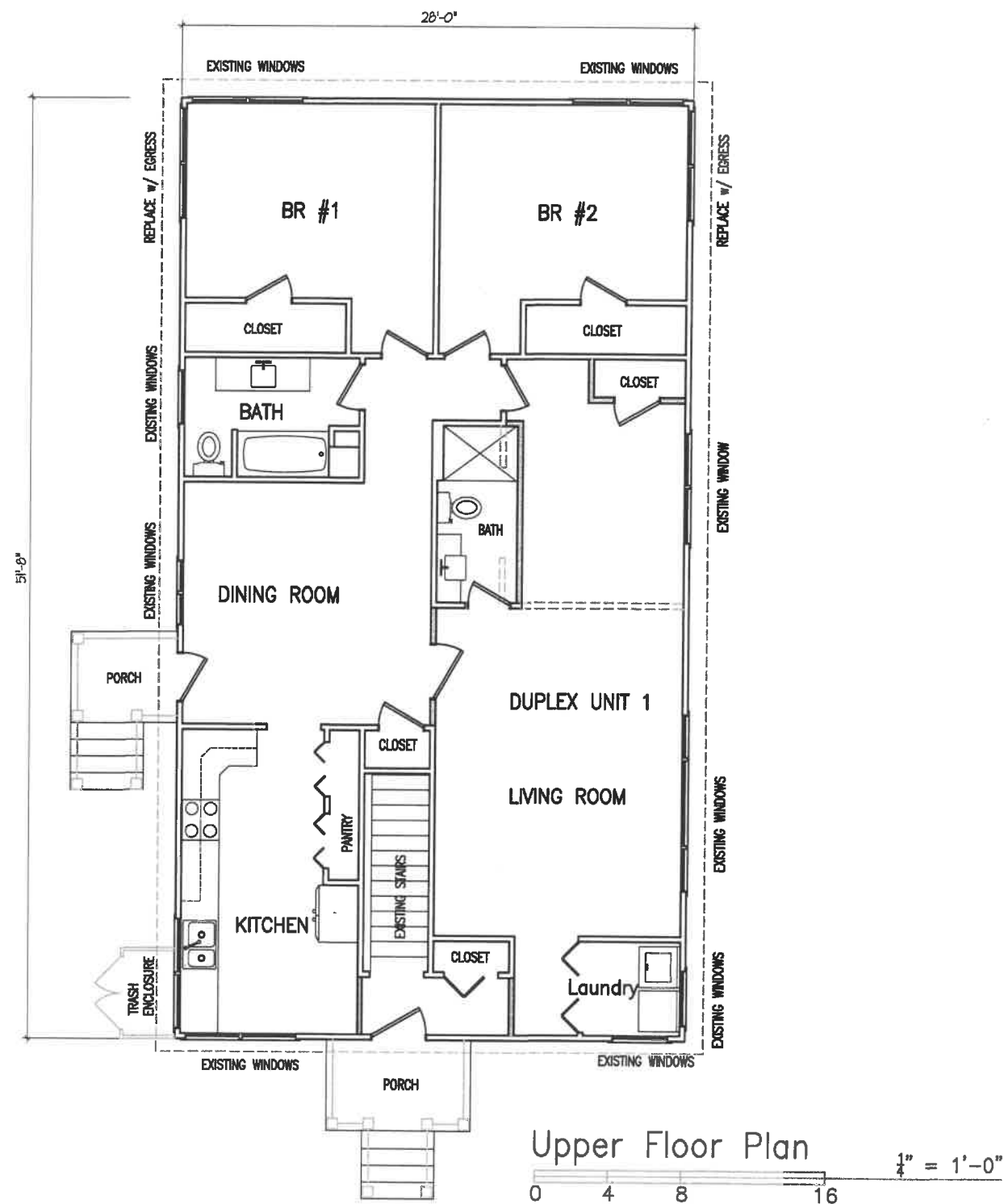
ON WENDALL LOOKING SOUTH ▲
▼ ON WENDALL LOOKING WEST



File No. R324-008-047(11)
Exhibit D
Date 8.27.24
Initials KP

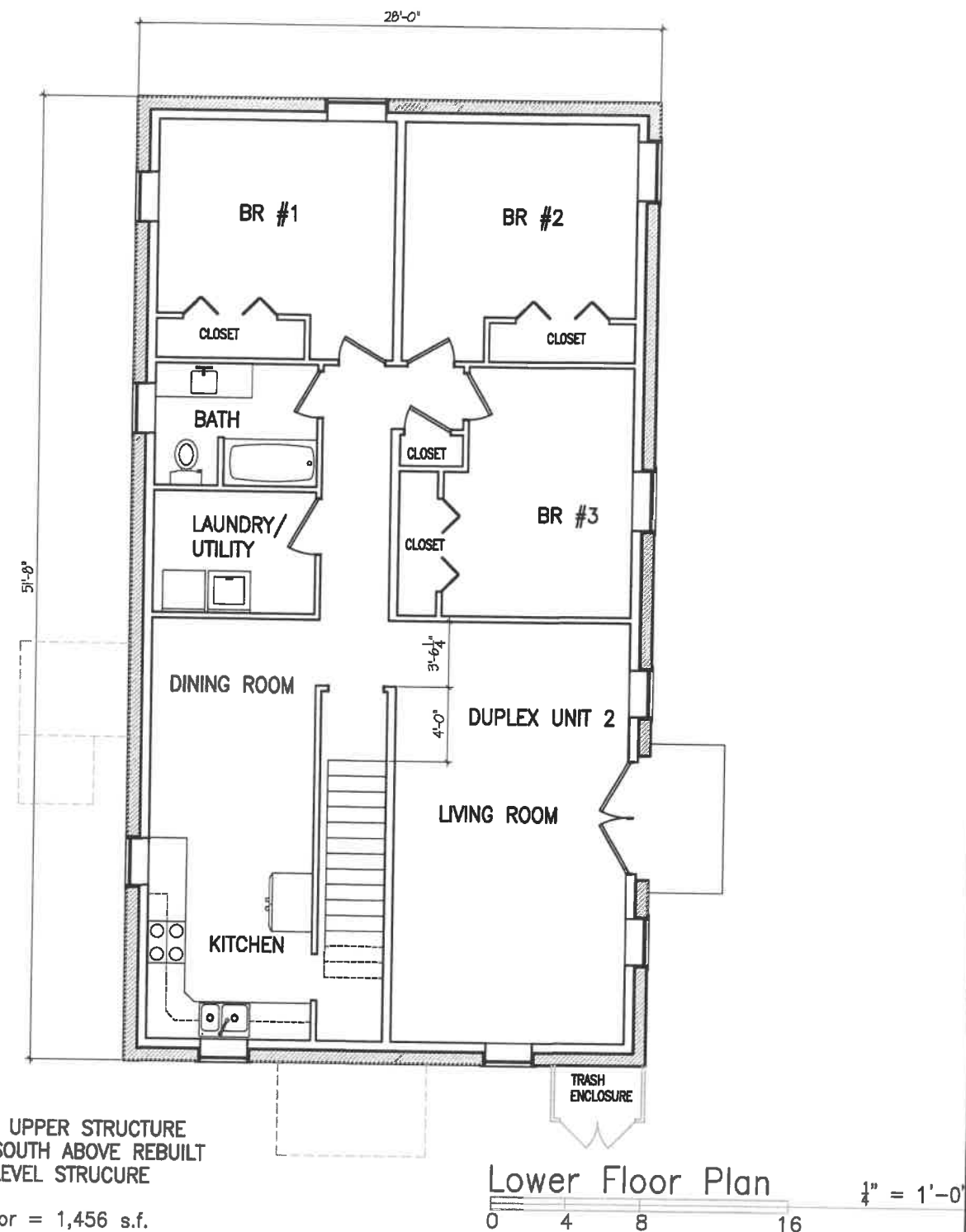
RECEIVED
AUG 27 2024

Richard Clements Architect, PLLC 1925 Merry Lane Oshtemo, MI 49729 richard@rca1925.com 980-370-3688	
DOUD - BENSER RELOCATED DUPLEX, NEW RESIDENCE 1274 MISSION ST. MACKINAC ISLAND, MI 49757	
date: July 29, 2024 project: 2204 - 2205	sheet: X0.0 AREA PHOTOS



EXISTING UPPER STRUCTURE
MOVED SOUTH ABOVE REBUILT
LOWER LEVEL STRUCURE

Each Floor = 1,456 s.f.

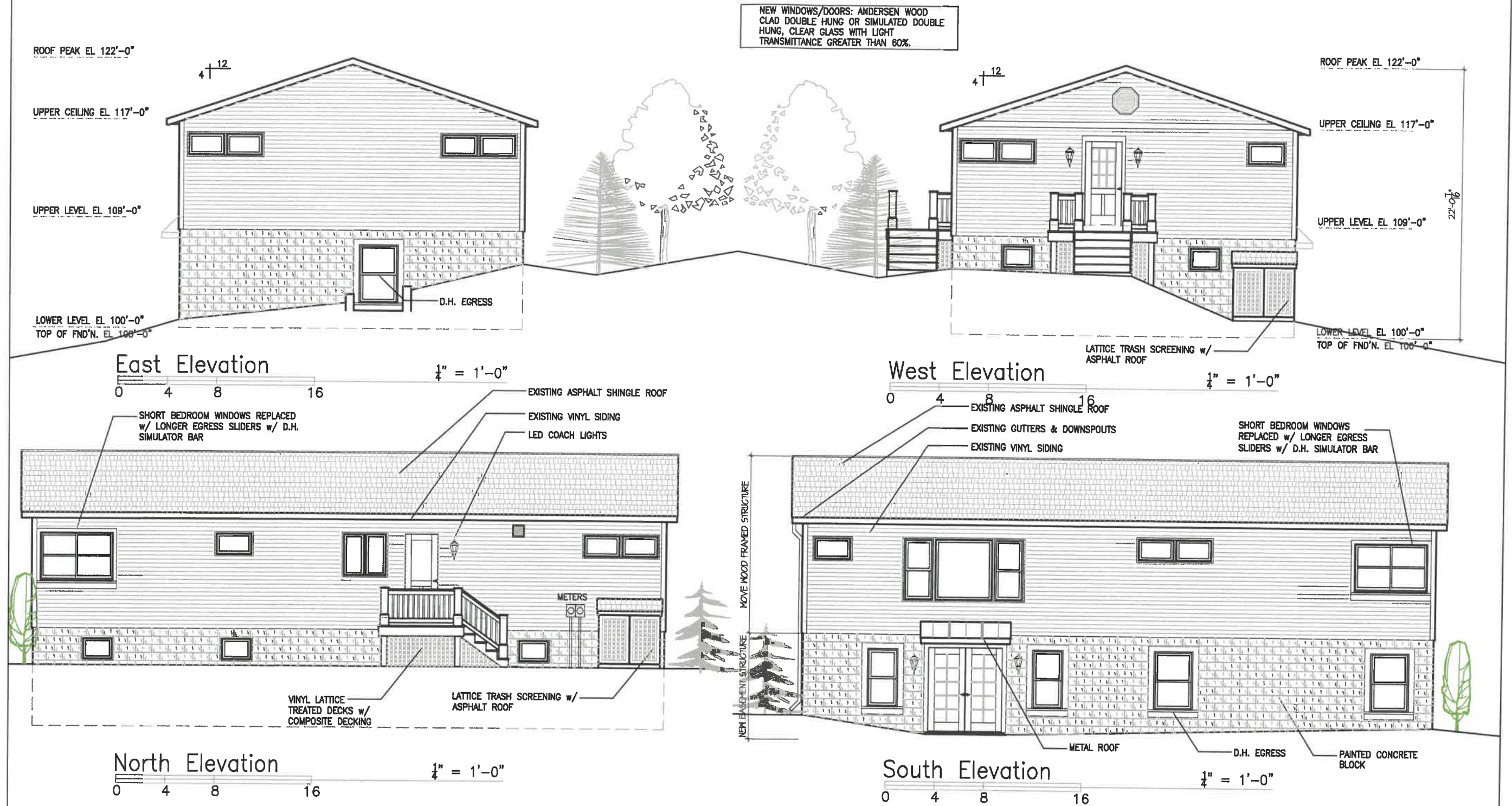


Richard Clements Architect, PLLC
15215 Merry Lane
Oshtemo, MI 49759
richardlee1523@live.com 989-370-3681

ANDREW DOUD
RELOCATED BUILDING
1274 MISSION ST.
MACKINAC ISLAND, MI 49757

date: 7.29.24
project: 2204

sheet:
D1.1
COPYRIGHT © 2024



Richard Clements Architect, PLLC 15215 Merry Lane Ocoee, MI 49759 richardlee1523@live.com 989-370-3681	ANDREW DOUD RELOCATED BUILDING 1274 MISSION ST. MACKINAC ISLAND, MI 49757	date: 7.29.24 project: 2204	sheet: D1.2 COPYRIGHT © 2024

EXISTING SITE

EXISTING INFO:

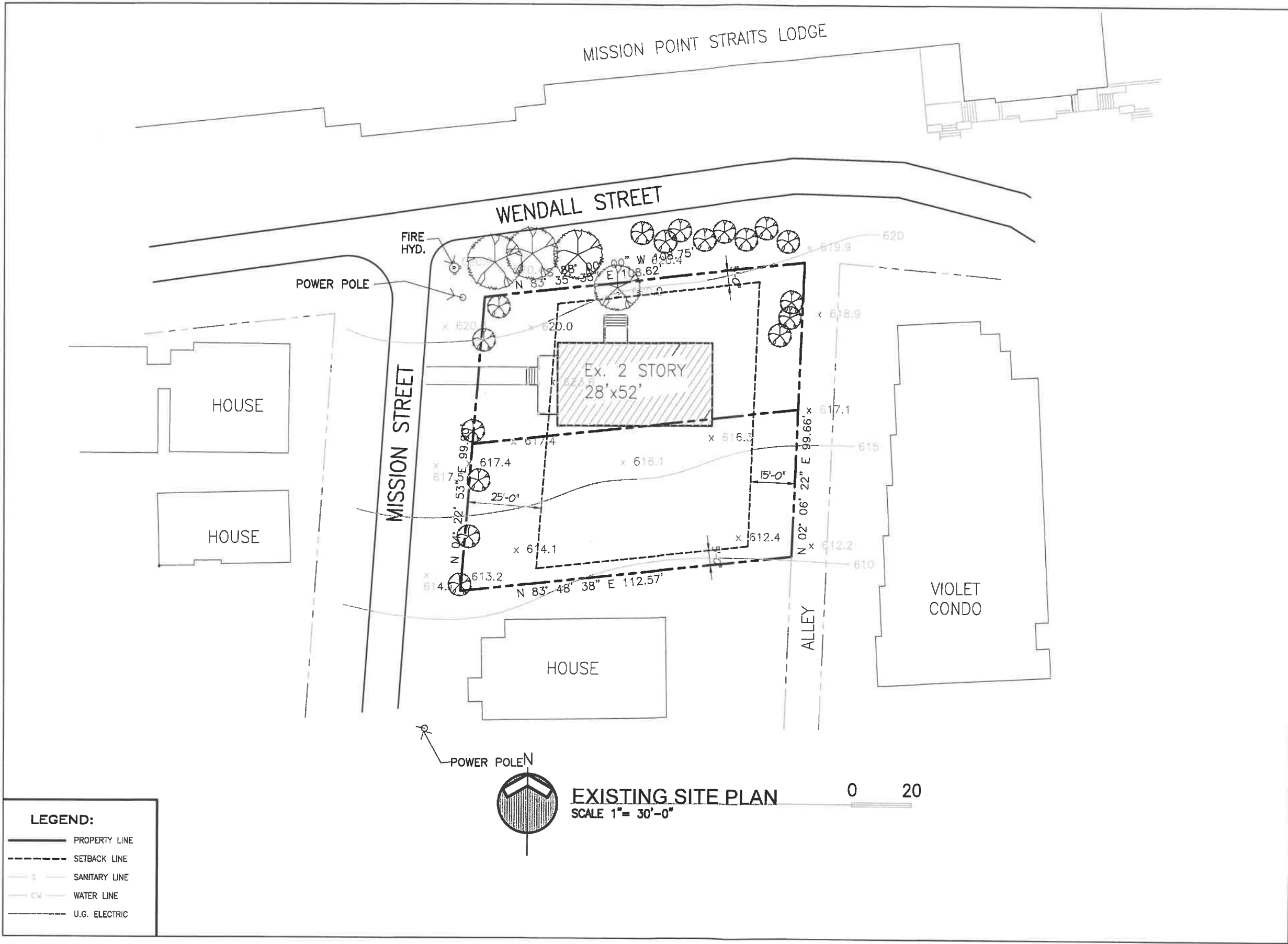
TAX #051-500-008-00
ASSESSOR'S PLAT #13

ZONED R-3
LOT AREA = 10,881 SF = 0.249 ACRES

ACTUAL IMPERVIOUS
HOUSE = 1,456 SF
WALKS/DECKS = 324 SF
TOTAL IMPERVIOUS = 1780 = 16.4%

MAX UNITS = 4 (@ 20/ ACRE)
ACTUAL HEIGHT = 25'-0" 2 STORY

SETBACKS: SECTION 7.04, PARAGRAPH B.4:
ON THE SECONDARY STREETS OF
AND MISSION. SIDE YARDS = 5'-0" AND
REAR YARD = 15'-0"



Richard Clements Architect, PLLC
15265 Merry Lane
Oshtemo, MI 49779
richard@rca15265.com 689-370-3681

DOUD - BENSER
RELOCATED DUPLEX, NEW RESIDENCE

1274 MISSION ST.
MACKINAC ISLAND, MI 49757

date: July 28, 2024 sheet:
project: 2204 - 2205

EXISTING SITE PLAN X1.0

EXISTING STE

EXISTING INFO:

TAX #051-500-008-00
ASSESSOR'S PLAT #13

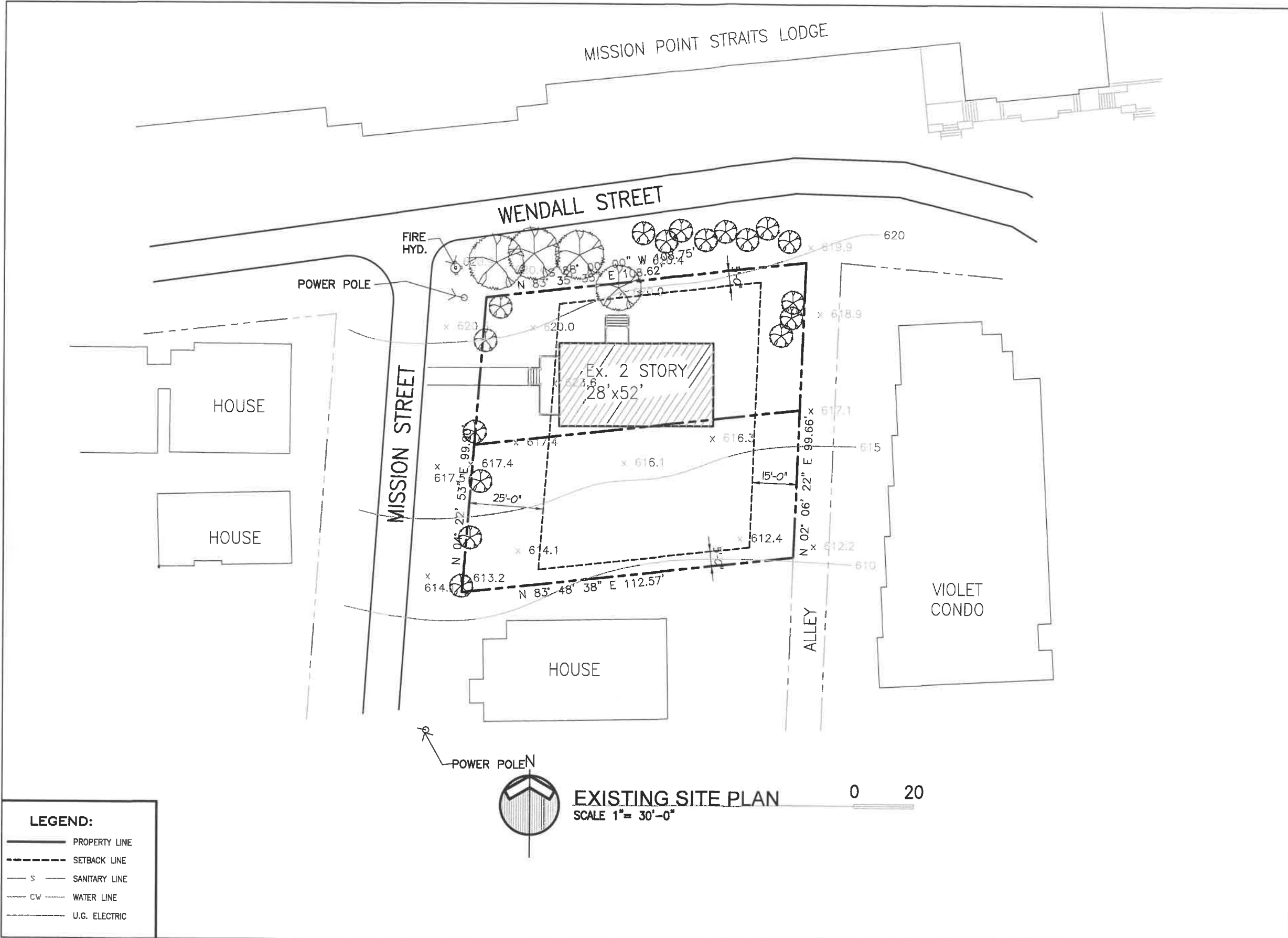
ZONED R-3
LOT AREA = 10,881 SF = 0.248 ACRES

ACTUAL IMPERVIOUS
HOUSE = 1,496 SF
WALKS/DECKS = 324 SF
TOTAL IMPERVIOUS = 1780 = 16.4%

MAX UNITS = 4 (20/ ACRE)

ACTUAL HEIGHT = 25'-0" 2 STORY

SETBACKS: SECTION 7.04, PARAGRAPH 8.4:
ON THE SECONDARY STREETS OF
AND MISSION, SIDE YARDS = 5'-0" AND
REAR YARD = 15'-0"



Richard Clements Architect, PLLC
1925 Merry Lane
Oshtemo, MI 49729
richardc@rca.com 980.370.3081

DOUD - BENSER
RELOCATED DUPLEX, NEW RESIDENCE

1274 MISSION ST.
MACKINAC ISLAND, MI 49757

date: July 29, 2024
project: 2204 - 2205

sheet: X1.0

EXISTING SITE PLAN

PHASE 1
DOUD BUILDING

DOUD PROJECT DESCRIPTION:
MOVE EXISTING BUILDING SOUTH ONTO A BUILDING TO BE A DUPLEX WITH ONE RESIDENCE ON EACH LEVEL

DOUD INFO:
TAX #051-500-008-00
ASSESSOR'S PLAT #1
ZONED R-3
LOT AREA = 5,490 SF = 0.126 ACRES
ALLOWED IMPERVIOUS = 40% = 2,196 SF
ACTUAL IMPERVIOUS
HOUSE = 1,456 SF
WALKS/DECKS = 300 SF
TOTAL IMPERVIOUS = 1756 = 32.0%
MAX UNITS = 2 (20/ ACRE)
ACTUAL UNIT = 2
MAX. HEIGHT = 35'-0" 2 STORY
ACTUAL HEIGHT = 25'-0" 2 STORY

DOUD STORMWATER PLAN:
DESIGN CRITERIA:
10 YEAR 24 HOUR RAINFALL = 3.3"
(SOURCE: MDOT MS4 REPORT)
= (0.28") = 0.011" /hour
INFILTRATION RATE OF SOIL = 0.2"/hr.
(SOURCE: USDA) = 0.016"/hour x24 hrs. *
67% = 0.25' / storm event
DESIGN STORM VOLUME = 1,756 s.f.
IMPERVIOUS x 0.28" = 492 cu. ft.
ABSORPTION AREA OF 6' STRIP AROUND PERIMETER OF BUILDING = 1,104 s.f.
STORMWATER ABSORPTION = 1,104 s.f. x 0.25' = 276 cu. ft.
STORM VOLUME minus ABSORPTION = REQUIRED DETENTION;
492 cu. ft. - 276 cu. ft. = 216 cu. ft. TO BE DETAINED.
DETENTION INTERCEPTION BASIN 12" DEEP AT SOUTH SIDE OF BUILDING = 365 s.f. x 1 x 3/4" = 243 cu. ft. > 216

LEGEND:
——— PROPERTY LINE
- - - - - SETBACK LINE
— S — SANITARY LINE
— CW — WATER LINE
- - - - - U.G. ELECTRIC (UGE)

PHASE 2
BENSER BUILDING

BENSER PROJECT DESCRIPTION:
NEW SINGLE FAMILY RESIDENCE

BENSER INFO:
TAX #051-500-008-00
ASSESSOR'S PLAT #13
ZONED R-3
LOT AREA = 5,391 SF = 0.124 ACRES
ALLOWED IMPERVIOUS = 40% = 2,155 SF
ACTUAL IMPERVIOUS
HOUSE/PORCH = 1,848 SF
WALKS/PATIO = 234 SF
TOTAL IMPERVIOUS = 2,082 = 39%
MAX UNITS = 2 (20/ ACRE)
PROPOSED UNITS = 1
MAX. HEIGHT = 35'-0" 2 STORY
ACTUAL HEIGHT = 34'-2" 2 STORY

BENSER STORMWATER PLAN:
DESIGN CRITERIA:
10 YEAR 24 HOUR RAINFALL = 3.3"
(SOURCE: MDOT MS4 REPORT)
= (0.28") = 0.011" /hour
INFILTRATION RATE OF SOIL = 0.2"/hr.
(SOURCE: USDA) = 0.016"/hour x24 hrs. *
67% = 0.25' / storm event
DESIGN STORM VOLUME = 2,052 s.f.
IMPERVIOUS x 0.28" = 575 cu. ft.
ABSORPTION AREA OF 7' STRIP AROUND PERIMETER OF BUILDING = 980 s.f.
STORMWATER ABSORPTION = 980 s.f. x 0.25' = 245 cu. ft.
STORM VOLUME minus ABSORPTION = REQUIRED DETENTION;
575 cu. ft. - 245 cu. ft. = 330 cu. ft. TO BE DETAINED.
DETENTION INTERCEPTION BASIN 14" DEEP AT SOUTH SIDE OF BUILDING = 450 s.f. x 1.25 x 3/4" = 350 cu. ft. > 330

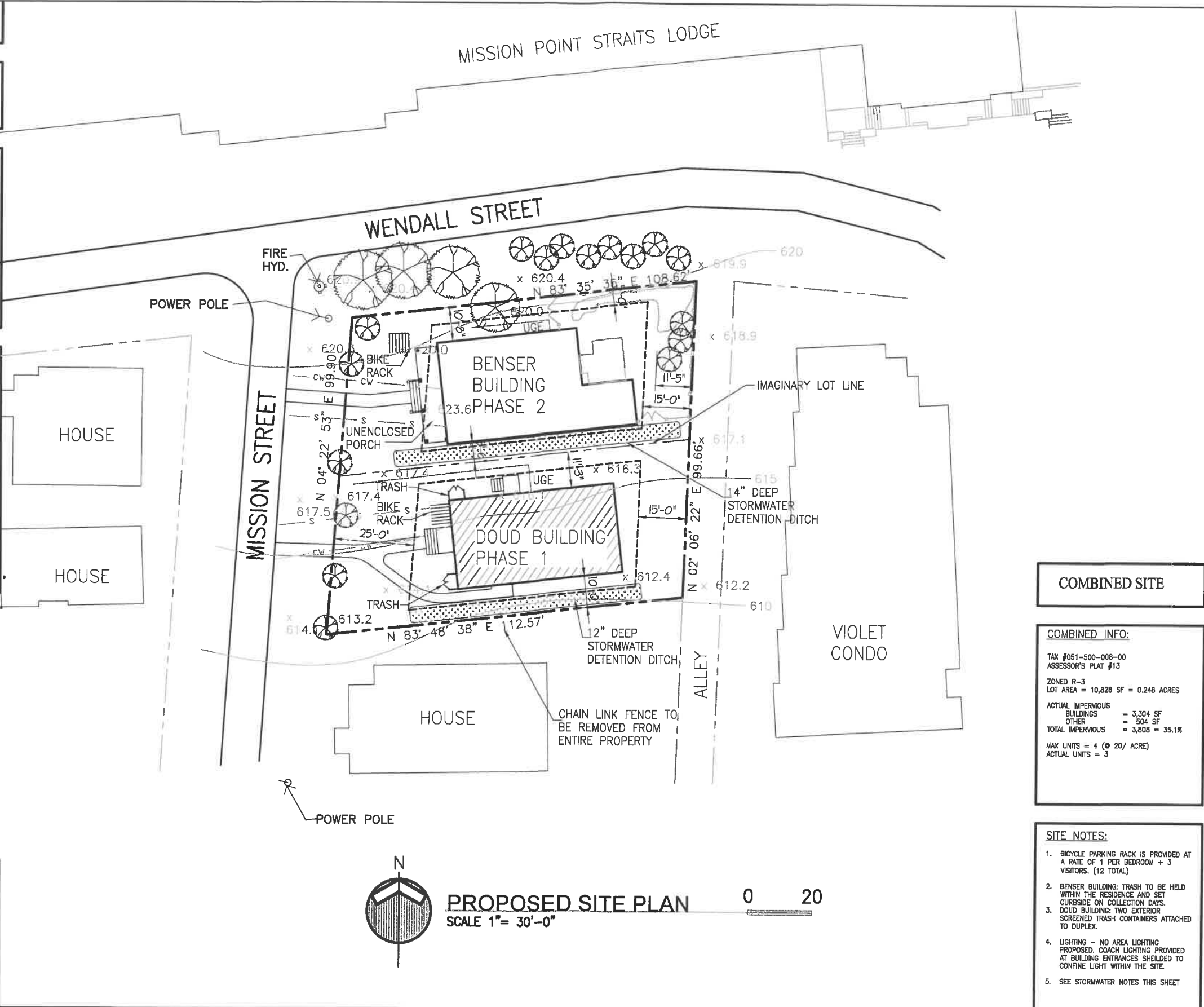
COMBINED SITE

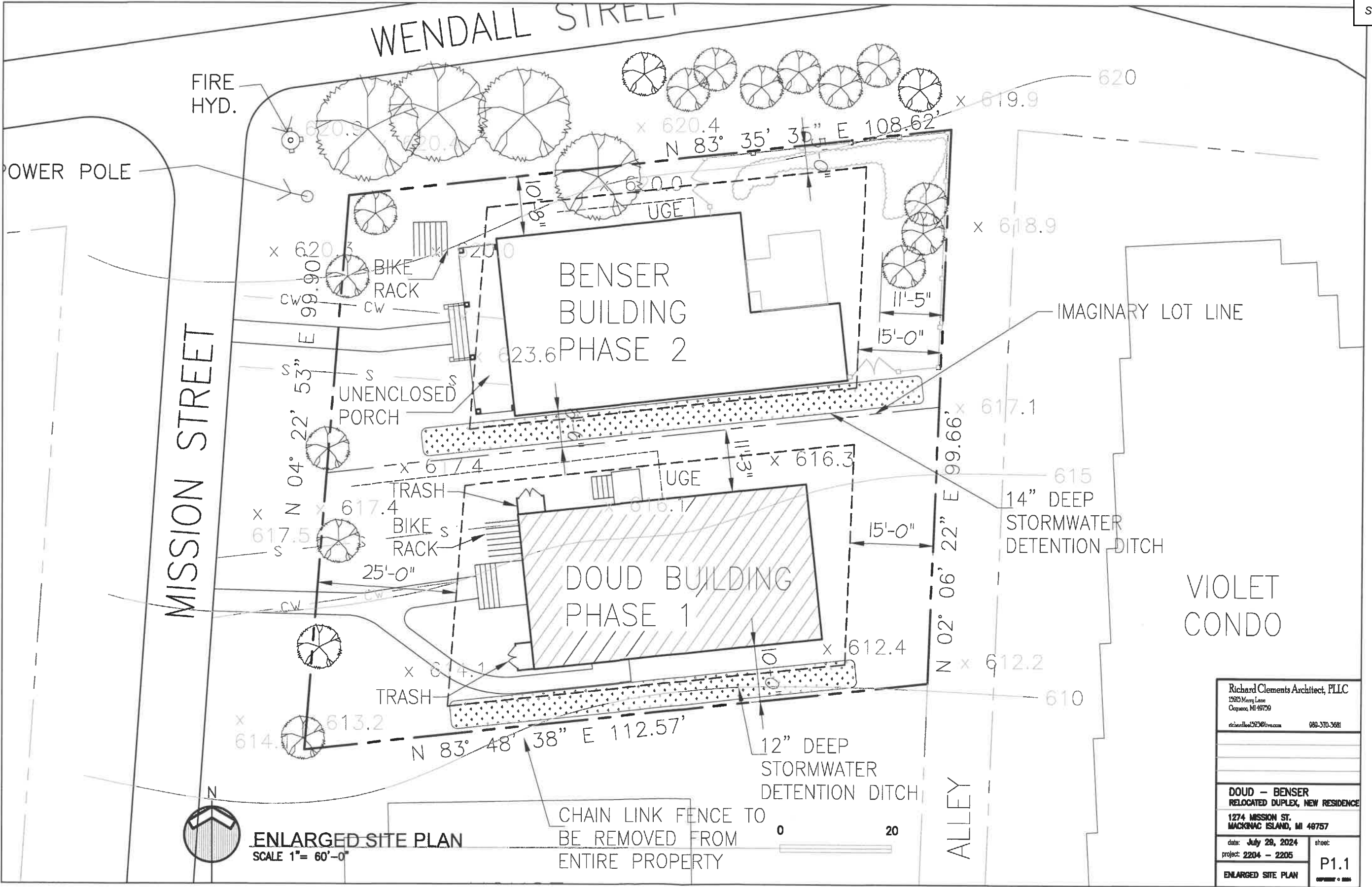
COMBINED INFO:
TAX #051-500-008-00
ASSESSOR'S PLAT #13
ZONED R-3
LOT AREA = 10,828 SF = 0.248 ACRES
ACTUAL IMPERVIOUS
BUILDINGS = 3,304 SF
OTHER = 504 SF
TOTAL IMPERVIOUS = 3,808 = 35.1%
MAX UNITS = 4 (20/ ACRE)
ACTUAL UNITS = 3

SITE NOTES:
1. BICYCLE PARKING RACK IS PROVIDED AT A RATE OF 1 PER BEDROOM + 3 VISITORS. (12 TOTAL)
2. BENSER BUILDING: TRASH TO BE HELD WITHIN THE RESIDENCE AND SET CURBSIDE ON COLLECTION DAYS.
3. DOUD BUILDING: TWO EXTERIOR SCREENED TRASH CONTAINERS ATTACHED TO DUPLEX.
4. LIGHTING - NO AREA LIGHTING PROPOSED. COACH LIGHTING PROVIDED AT BUILDING ENTRANCES SHIELDED TO CONFINE LIGHT WITHIN THE SITE.
5. SEE STORMWATER NOTES THIS SHEET

Richard Clements Architect, PLLC
1525 Merry Lane
Oshtemo, MI 48729
richardcl@1525merry.com 669-370-3661

**DOUD - BENSER
RELOCATED DUPLEX, NEW RESIDENCE**
1274 MISSION ST.
MACKINAC ISLAND, MI 49757
date: July 28, 2024 sheet:
project: 2204 - 2205
P1.0
PROPOSED SITE PLAN







Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

7 September 2024

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
P.O. Box 455
Mackinac Island, MI 49757

Re: **DOUD DUPLEX**
Design Review

Dear Ms. Pereny:

I have reviewed the proposed Doud Duplex upper floor relocation on new lower floor construction in the East End Mission Historic District.

Find attached the Design Review for the above referenced proposed project.

Should you have any questions, please contact me.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

- c. Andrew Doud, Applicant
Richard Clements, Richard Clements Architect
Dennis Dombroski, City of Mackinac Island
David Lipovsky, City of Mackinac Island



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

7 September 2024

DESIGN REVIEW

DOUD DUPLEX

1274 Mission Street

East End Mission Historic District
Mackinac Island, Michigan

INTRODUCTION

The proposed project is moving and renovation of the duplex residence within the same lot, at 1274 Mission Street, in the East End Mission Historic District. The building is a Non-contributing structure in the district. Proposed work would relocate the upper floor of the existing Ranch style house, south on the property, on top of a new lower floor built partially into the sloping site.

This design review is based on City Code Sec. 10-161 "Design Review Standards and Guidelines", of Article V. "Historic District", of the City of Mackinac Island Ordinance No. 443, adopted October 21, 2009. The review standards are those of the Department of the Interior entitled "The United States Secretary of the Interior's Standards for Rehabilitation" and "Guidelines for Rehabilitating Historic Buildings", as set forth in 36 CFR, part 67, as well as the factors set forth in City Code Sec. 10-161(b).

Materials submitted for Review consist of photographs of existing conditions and drawings of proposed work of the project, dated 29 July 2024, by Richard Clements Architect.

REVIEW

Of the Secretary of the Interior's Standards, and the Standards Under Sec. 10-161(b), the applicable Standards for review are the following:

Standard 3 - *"Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historic development such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."*

The proposed scope of work would reflect the architectural character of the building, as a physical record of its time, place and use.

Standard 8 - *"Significant archaeological resources shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken."*

Doud Duplex Design Review
7 September 2024
Page 2

Although not likely, as the site has been previously disturbed, it is possible archaeological resources could be encountered, as locations fronting Haldimand Bay have long been habitation sites. During project excavation heightened awareness should be exercised.

Standard 9 - *"New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size and architectural features to protect the historic integrity of the property and its environment."*

The proposed work would not destroy historic materials that characterize the property. The proposed new work would be differentiated from nearby historic properties, and would be compatible with the existing house being relocated.

Standards Under Code Sec. 10-161(b)

In reviewing applications, the Commission shall also consider all of the following:

(2) - *"The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area."*

The proposed new lower level construction would be appropriate to the existing house, and the relocated building would be compatible with the surrounding area.

(3) - *"The general compatibility of the design, arrangement, texture and materials proposed to be used."*

The proposed relocated building and the new lower level would be compatible with each other in terms of design, arrangement, texture and materials.

CONCLUSION

The proposed relocation of the upper floor and construction of a new lower floor on property at 1274 Mission Street would meet the Standards for review.

END OF REVIEW

GENERAL APPLICATION FOR WORK LOCATED WITHIN A HISTORIC DISTRICT

- ☒ Minor Work (Complete Section A and refer to General Directions)
☐ New Construction (Complete Section B and refer to General Directions and Item B)
☐ Demolition (Complete Section B and refer to General Directions and Item C)

Application Deadline: Application and materials must be completed and submitted by 4:00 p.m. ten (10) business days before each Commission Meeting. Late applications will be placed on the agenda for the following month. Decision by the Commission will not necessarily occur at the meeting at which the application materials are first received.

A) MINOR WORK

PROPERTY LOCATION: 7377 Main St. 052-550-057-00
 (Number) (Street) (Property Tax ID #)

PROPERTY OWNER

Name: Trayser Properties LLC **Email Address:** _____
Address: PO Box 1276 Mackinac Island MI 49757
 (Street) (City) (State) (Zip)
Telephone: _____
 (Home) (Business) (Fax)

APPLICANT/CONTRACTOR

Name: Barry J Polzin Architects **Email Address:** bpolzin@bjparchitects.com
Address: 101 N Lakeshore Blvd. Marquette MI 49855
 (Street) (City) (State) (Zip)
Telephone: 906-226-8661
 (Home) (Business) (Fax)

- ☒ Attach a brief description of the nature of the minor work proposed and the materials to be used. See attached drawings
☒ Attach one or more photograph(s) of the whole building including façade and any relevant elevations showing the area, item or feature proposed to be repaired or replaced. The Building Official or Historic District Commission may require additional information necessary to determine the work to be Minor Work.

If the Building Official determines that the proposed work is not Minor Work, the Building Official shall direct the applicant to complete an Application for New Work and/ or Application for Demolition or Moving work which will then be referred to the HDC.

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief; and that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531

SIGNATURES
 Signature David Jurcak Signature Barry J Polzin
 Please Print Name Please Print Name

NOTE: All photos, drawings and physical samples, etc., become the property of the HDC/City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

RETURN THIS FORM AND SUPPORTING MATERIALS TO:
MACKINAC ISLAND BUILDING OFFICIAL
7358 MARKET STREET, MACKINAC ISLAND, MI 49757
PHONE: (906) 847-4035

File Number: C24-057-0551A Date Received: 8-27-24 Fee: 600 -
 Received By: K Pereny Work Completed Date: _____

MACKINAC MARKET

7377 MAIN ST. MACKINAC ISLAND, MICHIGAN

AUGUST 26, 2024

GHMI RESORT HOLDINGS LLC
100 SAINT PAUL STREET, SUITE 800
DENVER, CO 80206

ARCHITECT: BARRY J POLZIN ARCHITECTS INC.
101 N LAKESHORE BLVD.
MARQUETTE, MI 49855

ZONING: C COMMERCIAL

PROJECT DESCRIPTION:

THE FIRST FLOOR WILL REMAIN AS RETAIL SPACE, AN ICE CREAM COUNTER WILL BE ADDED. THE ENTRY TO THE BUILDING WILL REMAIN UNCHANGED, EXISTING DOORS TO REMAIN. NEW BRICK PAVERS WILL BE ADDED TO REPLACE THE PAINTED CONCRETE. THE SIDEWALK CANOPY COLUMNS WILL BE REPLACED WITH NEW COMPOSITE COLUMNS. THE RAILING ABOVE WILL BE REPLACED WITH A NEW COMPOSITE CHIPPENDALE PATTERN RAILING.

TWO NEW CONDENSERS WILL BE ADDED AND CONCEALED BEHIND THE RAILING ON THE BACK (WATER SIDE OF THE BUILDING)

File No. C24-057-055(H)
Exhibit C
Date 8-27-24
Initials KP



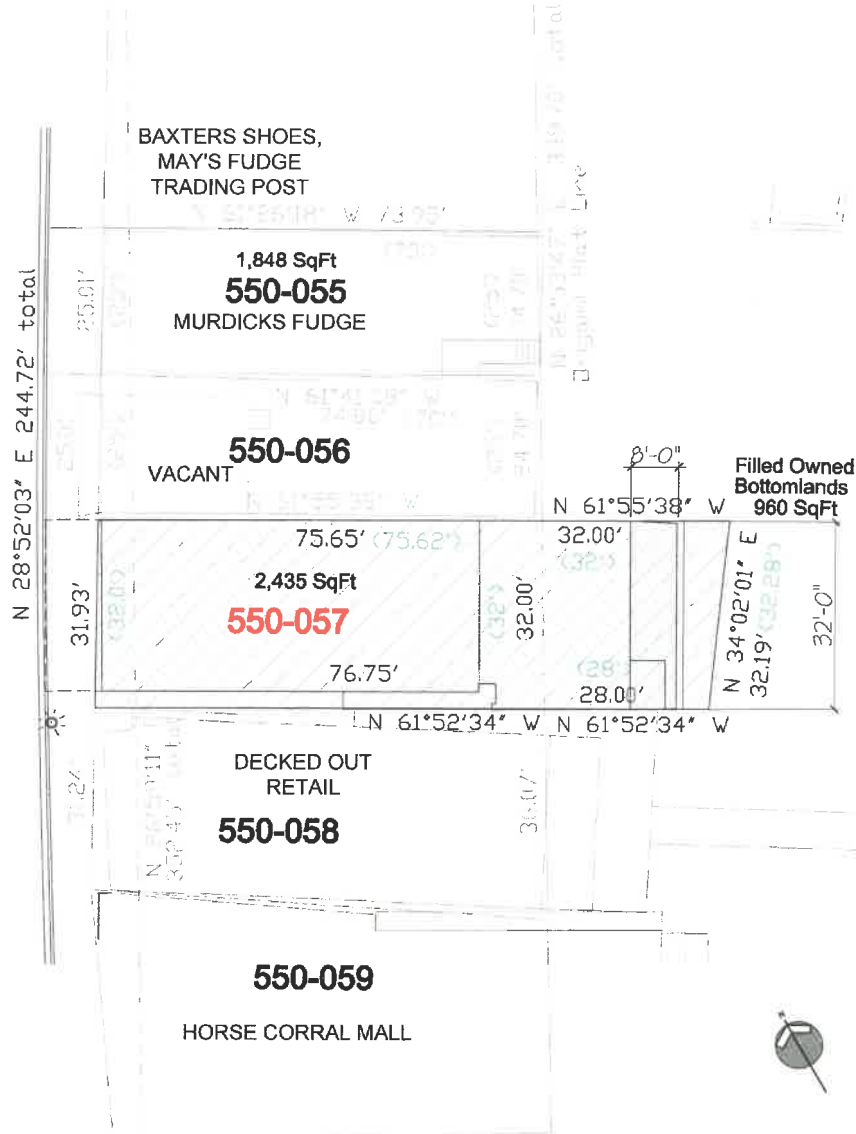
LEGAL DESCRIPTION

ASSESSORS PLAT NO.3 SWLY 63.08 FT OF LOT 134 EXC SWLY 31.08 FT AND BOTTOMLANDS DESCRIBED AS: COMM AT NWLY COR OF LOT 132 TH S 20 DEG 12'17"E ALONG NWLY LINE OF LOTS 132,133 AND 134, 181.42 FT TH S 70 DEG 27'E 75.62 FT TO POB TH CONT S 70 DEG 27'E 32 FT TH S 27 DEG 09'W ALONG SHORE 32.28 FT TH N 70 DEG 27'20"W 28 FT TH N 18 DEG 15'E 32 FT TO POB

INDEX

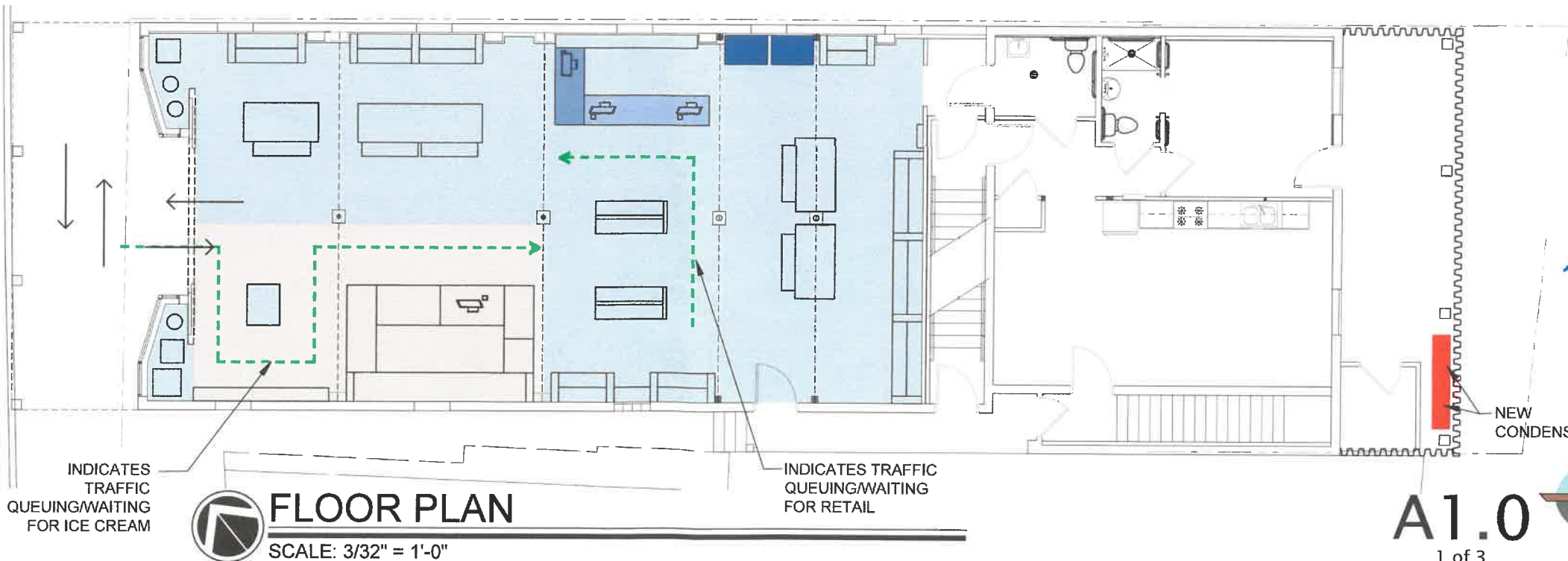
- A1.0 COVER/LEGAL/SITE PLAN
- A1.1 ELEVATIONS
- A1.2 ELEVATIONS AND DETAILS

WINDOWS AND DOORS ARE ALL EXISTING AND WILL REMAIN



SITE PLAN

SCALE: 1"=20'



INDICATES TRAFFIC QUEUING/WAITING FOR ICE CREAM

INDICATES TRAFFIC QUEUING/WAITING FOR RETAIL



FLOOR PLAN

SCALE: 3/32" = 1'-0"



LIC # 1301029135

NEW CONDENSERS

A1.0

1 of 3

BARRY J. POLZIN
ARCHITECTS

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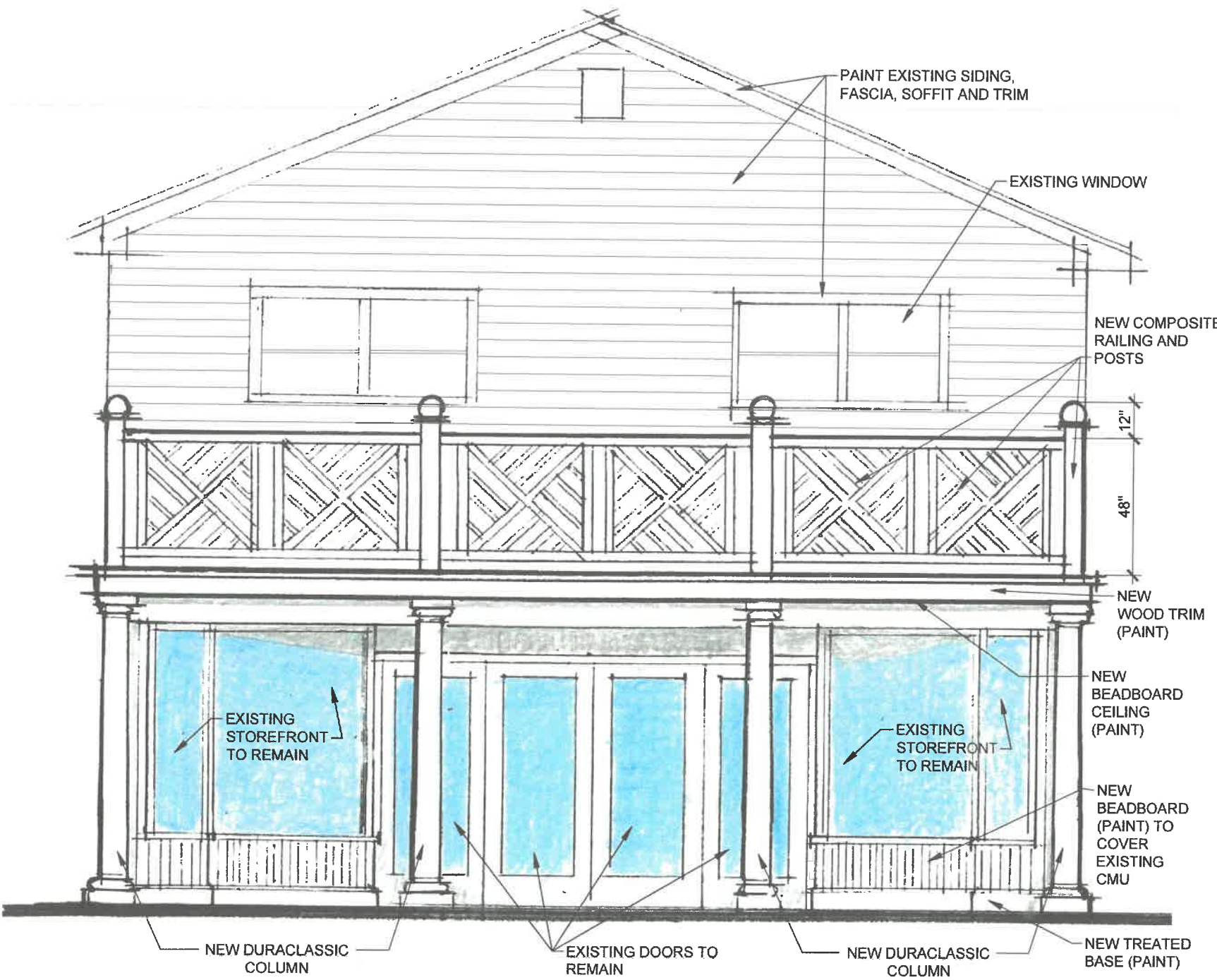
MACKINAC MARKET

7377 MAIN ST. MACKINAC ISLAND, MICHIGAN

AUGUST 26, 2024



MAIN STREET -EXISTING



MAIN STREET EXTERIOR ELEVATION-PROPOSED

SCALE: 1/4" = 1'-0"

A1.1

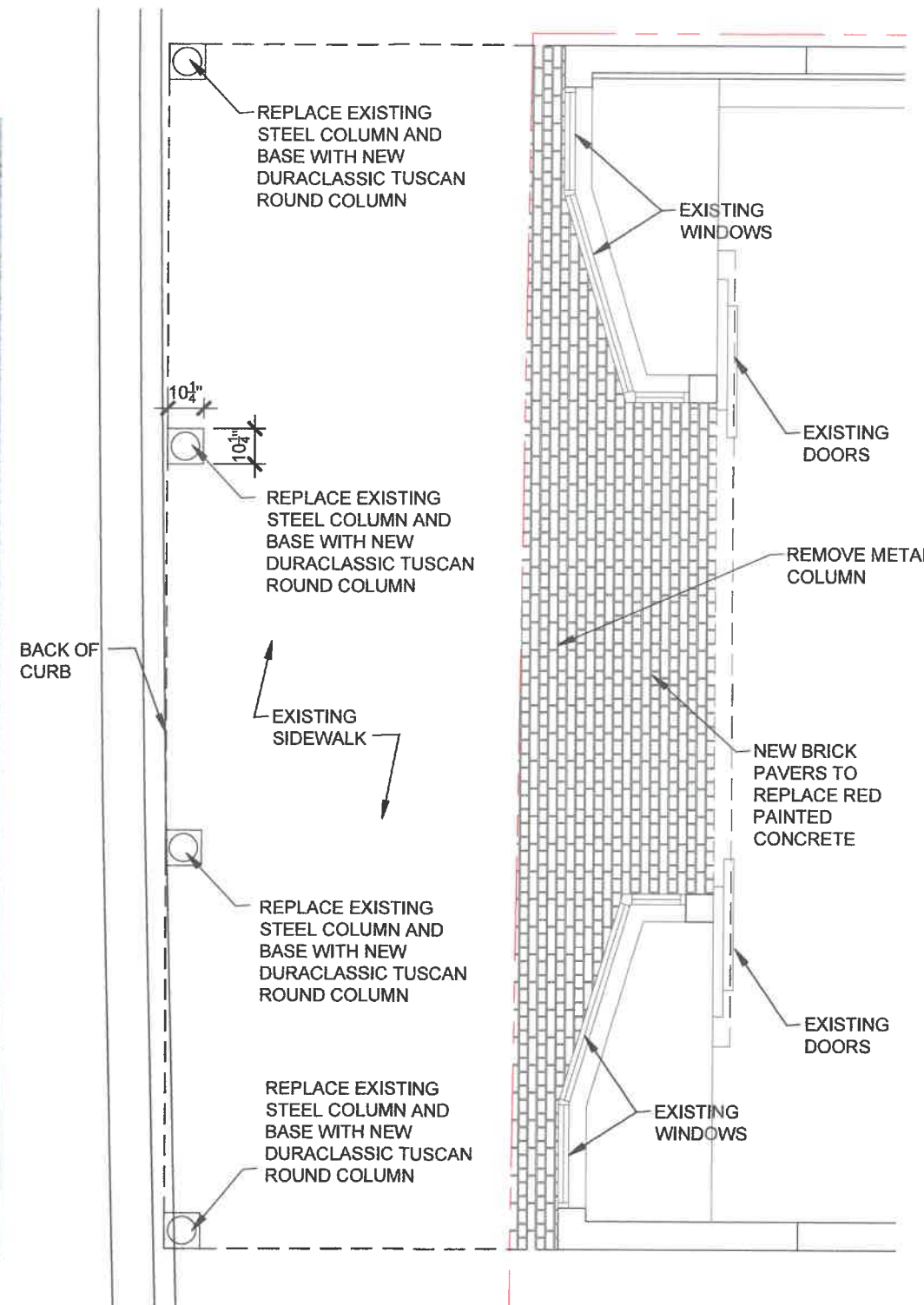
2 of 3

BARRY J. POLZIN
ARCHITECTS

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ALL RIGHTS RESERVED.

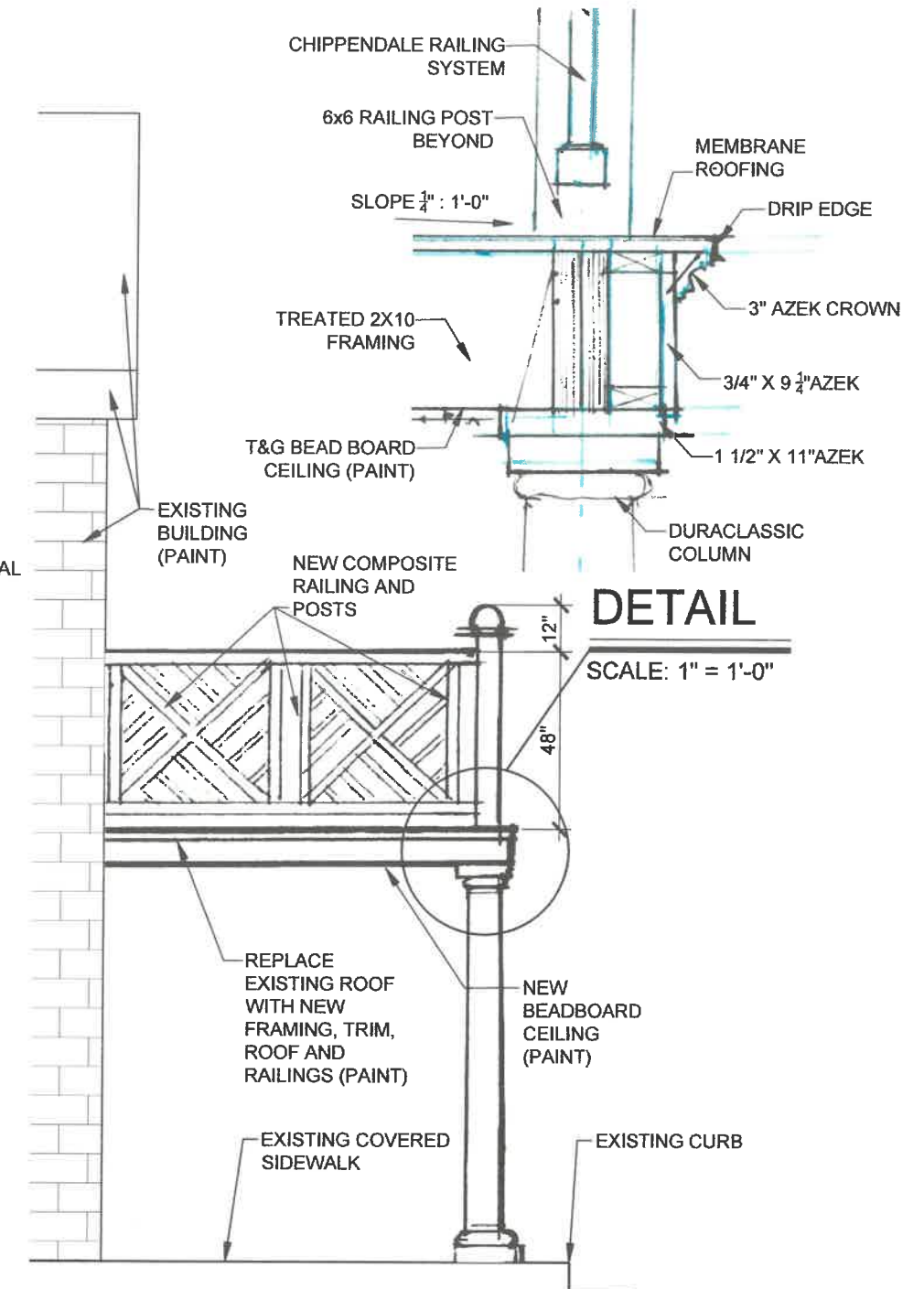


HARBOR SIDE



ENLARGED FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED SIDE(S)
EXTERIOR ELEVATION

A1.2

3 of 3

BARRY J. POLZIN
ARCHITECTS

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ALL RIGHTS RESERVED.



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

7 September 2024

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
P.O. Box 455
Mackinac Island, MI 49757

Re: **GHMI MERCHANT STOREFRONT RENOVATION**
Design Review

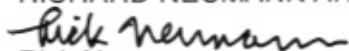
Dear Ms. Pereny:

I have reviewed the GHMI Merchant proposed storefront renovation in the Market and Main Historic District.

Should you have any questions, please contact me.

Sincerely,

RICHARD NEUMANN ARCHITECT


Rick Neumann

- c. Barry Polzin, Barry J. Polzin Architects
Dennis Dombroski, City of Mackinac Island
David Lipovsky, City of Mackinac Island



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

7 September 2024

DESIGN REVIEW

GHMI MERCHANT STOREFRONT RENOVATION

7377 Main Street

Market and Main Historic District
Mackinac Island, Michigan

INTRODUCTION

The proposed project is renovation of the covered front entry to the GHMI Merchant retail store at 7377 Main Street, in the Market and Main Historic District. The building is a Contributing structure in the district. Proposed work would replace the four existing columns supporting the porch roof, rebuild the eave around the roof, and replace the railings on the roof. New beaded wood paneling would be added to the bulkhead areas under the display windows. Also, existing concrete paving in the recessed entry would be replaced with new brick pavers.

This design review is based on City Code Sec. 10-161 "Design Review Standards and Guidelines", of Article V. "Historic District", of the City of Mackinac Island Ordinance No. 443, adopted October 21, 2009. The review standards are those of the Department of the Interior entitled "The United States Secretary of the Interior's Standards for Rehabilitation" and "Guidelines for Rehabilitating Historic Buildings", as set forth in 36 CFR, part 67, as well as the factors set forth in City Code Sec. 10-161(b).

Materials submitted for Review consist of photographs of existing conditions and drawings of proposed work of the project, dated 26 August 2024, by Barry J. Polzin Architects.

REVIEW

Of the Secretary of the Interior's Standards, and the Standards Under Sec. 10-161(b), the applicable Standards for review are the following:

Standard 2 - *"The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a building shall be avoided."*

The existing columns, steel pipe columns with square wood wraps (two of which have been removed) are very plain, as is the larger storefront. The proposed use of larger diameter round columns with classic Doric capitals and bases would be an alteration of historic features, and out of step with the existing simple architectural character of the building. Also, as proposed,

GHMI Merchant Front Entry Design Review
 7 September 2024
 Page 2

the beam spanning the columns would be eliminated, and the columns would extend up to the underside of the roof. This would be a departure from an architectural element that is typical (the columns supporting a beam), and which is characteristic of the type - also an alteration of historic features.

In terms of historic materials, although not mandated in historic districts, the use of wood, as required by the Zoning Ordinance, Article 18.06, C, 1. Siding, for surfaces accessible to the public, or exposed to public view, would be more appropriate than composite columns.

Standard 3 - *"Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historic development such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."*

The proposed classical Doric order columns would create a false sense of historic development, and be a conjectural feature very unlikely for such a simple building.

And while the proposed second floor balcony railing would be a grand elaboration on the existing code non-compliant design, it does reflect the spirit of the existing "X" design, and with some simplification, and use of square posts with square tops, would likely be appropriate.

Standards Under Code Sec. 10-161(b)

In reviewing applications, the Commission shall also consider all of the following:

(1) - *"The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area."*

Although the GHMI building is anything but high style, its simplicity is characteristic of much of older Mackinac Island downtown, and should be preserved as representative of such to maintain the historic and architectural value of the building, and its relationship to the historic value of the surrounding historic district.

(2) - *"The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area."*

The use of classical columns would be out of synch with this Contributing resource and the historic district.

(3) - *"The general compatibility of the design, arrangement, texture and materials proposed to be used."*

The proposed project would alter the simple design, arrangement, and materials of the front covered entry, and be incompatible with the historic building.

GHMI Merchant Front Entry Design Review
7 September 2024
Page 3

(4) - *"Other factors, such as aesthetic value, that the Commission finds relevant."*

While gussying up the front would fit in with many neighboring buildings, such would be a departure from the plain and simple aesthetic value of this particular building.

CONCLUSION

As such, the most significant changes proposed for renovation of the GHMI Merchant storefront (column replacement and beam deletion) would not meet the Standards for review.

END OF REVIEW

Katie Pereny

From: Richard Neumann <r.neumann.arch@sbcglobal.net>
Sent: Monday, September 9, 2024 5:23 PM
To: Megan Hornbogen
Cc: Barry Polzin
Subject: Re: GHMI Merchant Storefront DR

Hi Megan and Barry -

The revision to square columns, and basically repairing and painting the existing configuration, looks like the appropriate course of action for this building.

I am copying this email to Katie Pereny so she can hopefully print copies for HDC members to review at tomorrow's meeting. I will endorse this revised design at the meeting, and likely write a follow-up review to formalize the review.

Thanks for responding so quickly to our telephone discussion; I appreciate it.

Rick Neumann
Richard Neumann Architect
610 Grand Avenue, Petoskey, MI 49770 / 231-347-0931 / r.neumann.arch@sbcglobal.net / richardneumannarchitect.com

On Monday, September 9, 2024, 03:54:53 PM EDT, Megan Hornbogen <mhornbogen@bjparchitects.com> wrote:

Rick,

Please see our attached revised drawings.

Thanks,

Megan Hornbogen, AIA, NCARB

BARRY J POLZIN ARCHITECTS, INC

101 N. Lakeshore Blvd.

Marquette, MI 49855

O 906-226-8661

C 906-360-8522

mhornbogen@bjparchitects.com

B) NEW CONSTRUCTION & DEMOLITION OR MOVING OF STRUCTURES

Section X, Itemd.

PROPERTY LOCATION:

7363 MAIN ST MURDERK'S / MK 155
(Number) (Street) (Property Tax ID #)

LEGAL DESCRIPTION OF PROPERTY:

SEE PLANS
(Attach supplement pages as needed)

ESTIMATED PROJECT COST:

\$ 1,750,000

APPLICANT/CONTRACTOR

(Applicant's interest in the project if not the fee-simple owner):

Name:

Robert G. Benser

Email Address:

bbenser@me.com

Address:

PO. Box 481

MACKENAC IS.

MI

49757

Telephone:

(Home)

231-881-3343

(Business)

(Fax)

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief.

Signature:

Robert G. Benser

Date

8/27/24

PROPERTY OWNER(S) AND ALL PARTIES WITH A CLAIM OF RIGHT IN PROPERTY¹ This includes mortgagees, easement holders, and lien holders. You may be asked to provide a title search of the property and if the estimated is in excess of \$250,000 you are required to do so. Attach additional pages listing the person(s) or entity(ies) with legal interest(s) in the property and the nature of the legal interest(s).

Name:

Robert G. Benser

Email Address:

bbenser@me.com

Address:

7363 MAIN ST

MACKENAC ISLAND

MI

49757

Telephone:

(Home)

231-881-3343

(Business)

(Fax)

The undersigned certify(ies) and represent(s)

1. That he/she, it or they is (are) all of the fee title owner(s) of all of the property involved in the application; and
2. That he/she, it or they has (have) attached a list which identifies all parties with a legal interest in the property at issue other than the undersigned owner(s) and has (have) identified the nature of each legal interest; and
3. That the answers and statements herein attached and materials provided are in all respects true and correct to the best of his, her, its or their information, knowledge and belief. The undersigned hereby further certify(ies) and represent(s) that he/she, it or they has (have) read the foregoing and understand(s) the same.
4. That the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MCL 125.1501 to 125.1531.

Signature

Robert G. Benser

SIGNATURES

Signature

Please Print Name

Please Print Name

Signed and sworn to before me on the 27 day of August, 2024.

K. RICKLEY, Notary Public

Mackinac County, State of Michigan

Acting in the County of Mackinac

My Commission Expires: 10/21/2025

Notary Public

Mackinac County, Michigan

My commission expires: 10/21/2025

File No. C24-055/56-056(H)

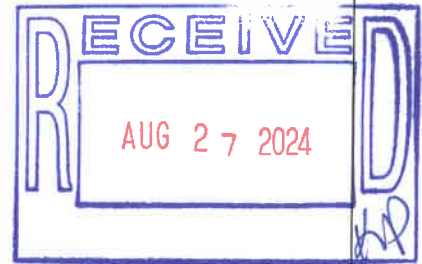
Exhibit C

Date 8.27.24

Initials KB

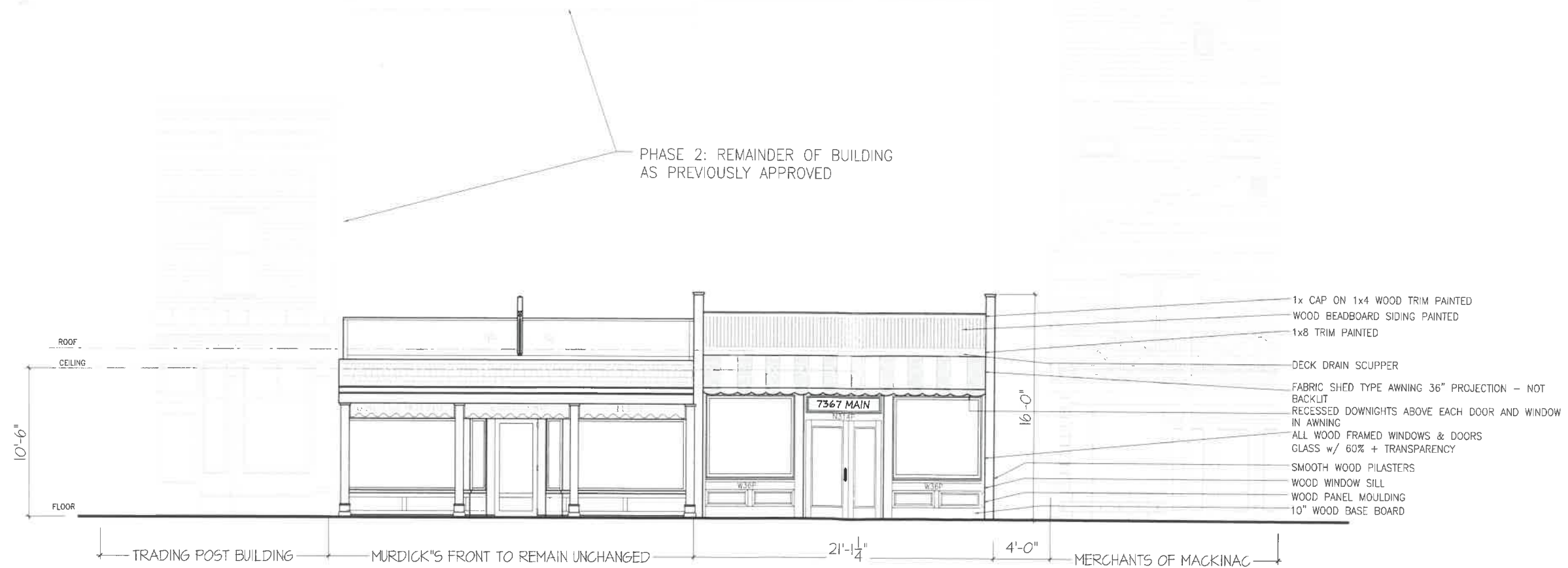
¹ The decision by the Historic District Commission may be in the form of Restrictions to which such Parties may be required to agree. (revised 04/17)





File No. C24-055/56-056(H)
Exhibit D
Date 8.27.24
Initials KP

40'-0" MAXIMUM NON EXCLUDED HEIGHT LIMIT



PHASE 1 NORTH (HURON STREET) ELEVATION

SCALE: 1/4"=1'-0"

0 4 8

Richard Clements Architect, PLLC
1920 Merry Lane
Oscoda, MI 49759

richardc@rca25.com 989-370-3681

MURDICK's Mr. B's
RENOVATION_ADDITION

7363 MAIN STREET
MACKINAC ISLAND, MI

previous zoning renewal Sept. 25, 2023

revised:

date: Aug. 19, 2024

project: 1725

PHASE 1

sheet:

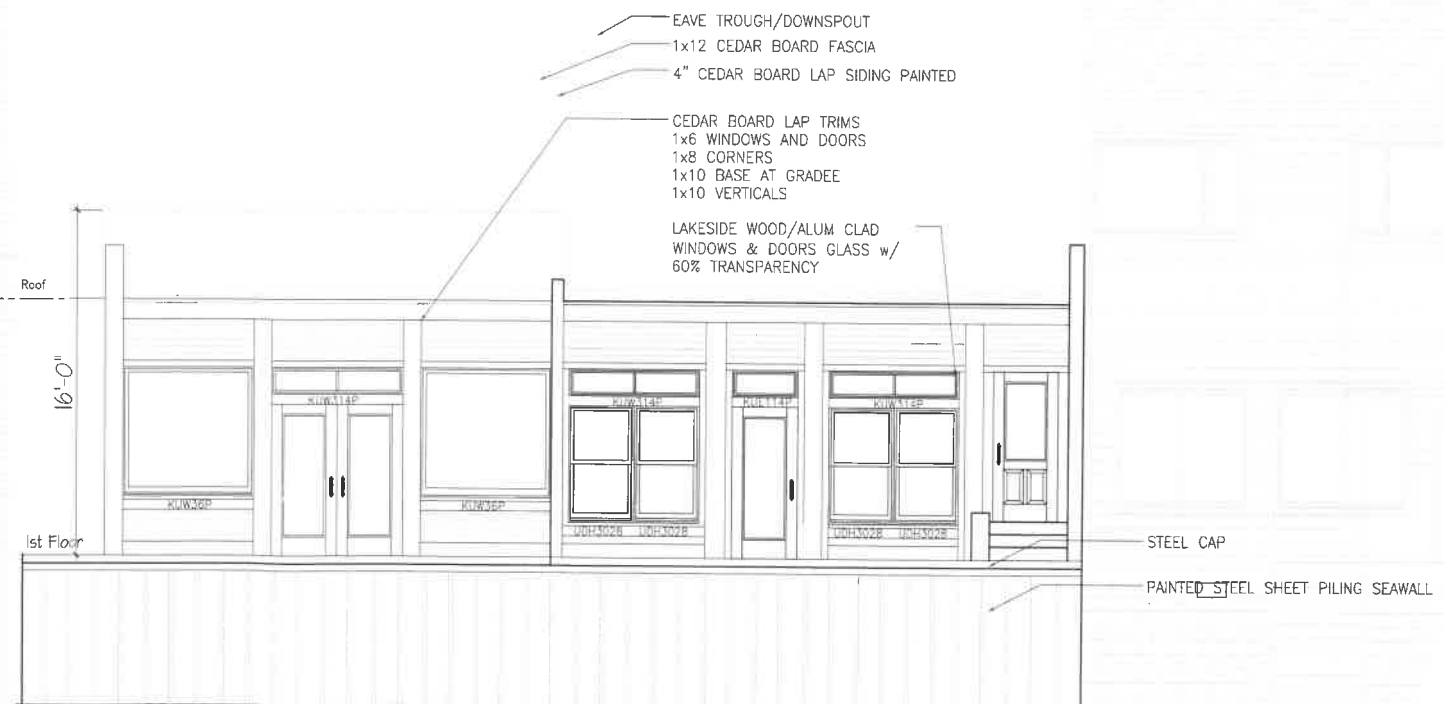
A2.1

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40'-0" MAXIMUM NON EXCLUDED HEIGHT LIMIT

ROOF SLOPES TO REAR 7" HEAVY DUTY OGEE GUTTER
at $\frac{1}{8}$ " p/f SLOPE WITH 4" DOWNSPOUTS EACH SIDE TO
UNDERGROUND 6" PVC PIPES TO LAKE.



PHASE 1 SOUTH (HARBOR) ELEVATION

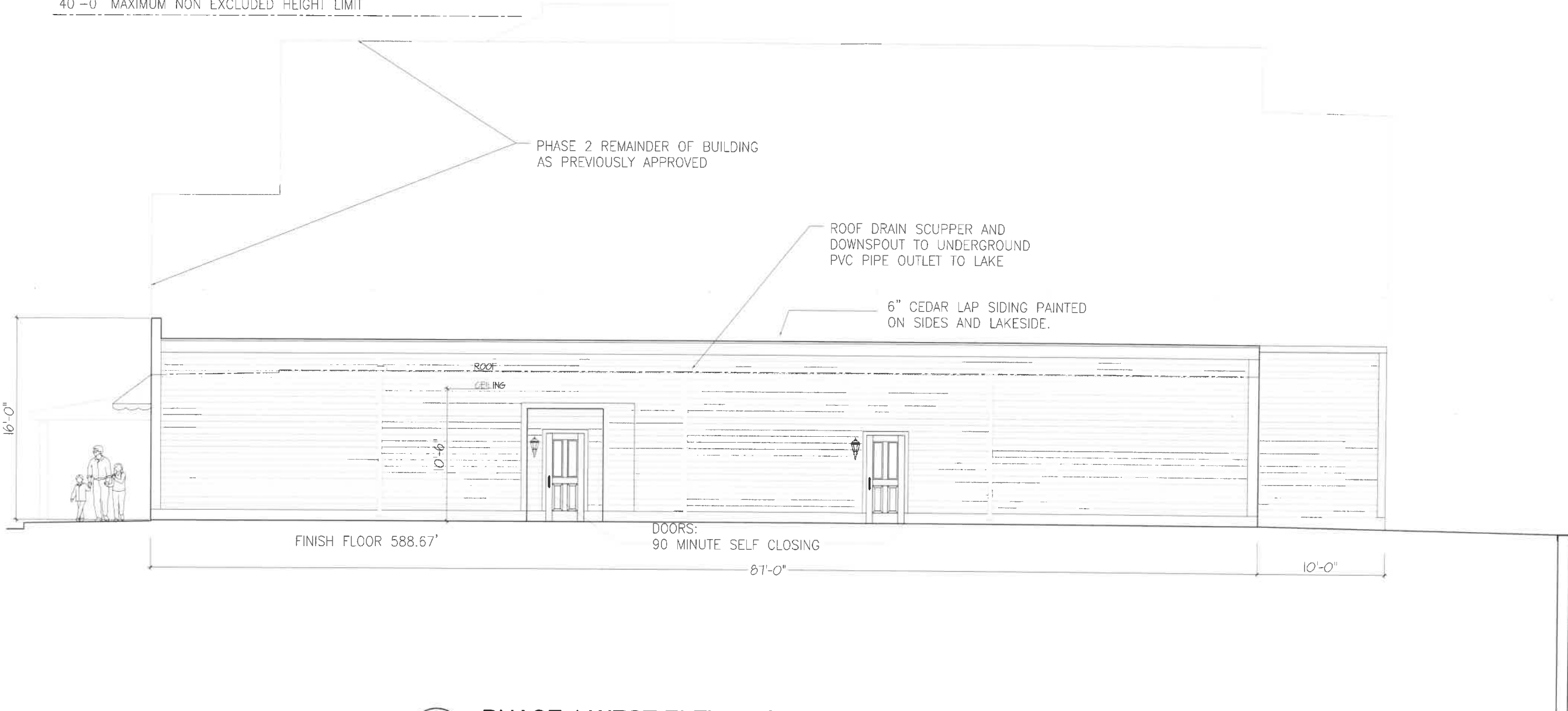
SCALE: 1/4"=1'-0"

0 4 8

Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee15236@live.com 989-370-3681	
MURDICK's_Mr. B's RENOVATION_ADDITION	
7363 MAIN STREET MACKINAC ISLAND, MI	
previous zoning renewal: Sept. 25, 2023	
revised:	
date: Aug. 19, 2024 project: 1725	sheet: A2.2
SOUTH ELEVATION	

+6' EXCLUDED STRUCTURE HEIGHT LIMIT HEIGHT

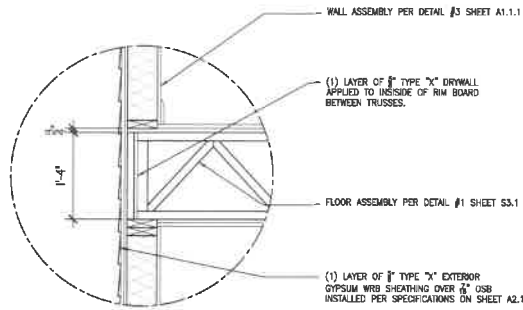
40'-0" MAXIMUM NON EXCLUDED HEIGHT LIMIT



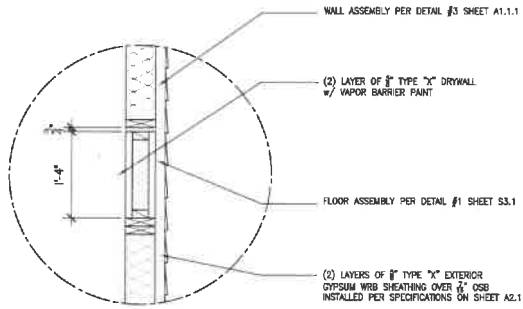
 **PHASE 1 WEST ELEVATION**
SCALE: 1/4"=1'-0"

0 4 8

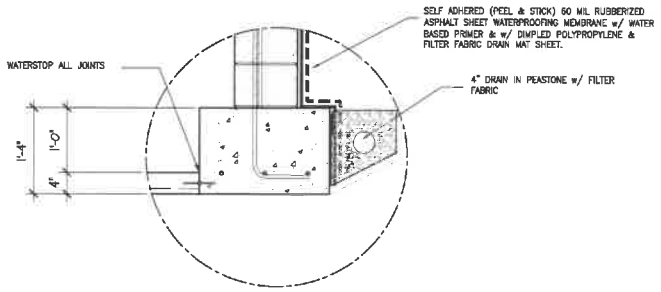
Richard Clements Architect, PLLC 15215 Morris Lane Oshtemo, MI 49759 richard@rcaarchitect.com 561-370-3681	
MURDICK's_Mr. B's RENOVATION_ADDITION 7363 MAIN STREET MACKINAC ISLAND, MI	
previous zoning renewal: Sept. 25, 2023	
revised:	
date: Aug. 19, 2024 project: 1725	sheet: A2.3 WEST ELEVATION



1 2nd FLOOR DETAIL AT EAST FRONT HALF SCALE 3/4\"=1'-0"



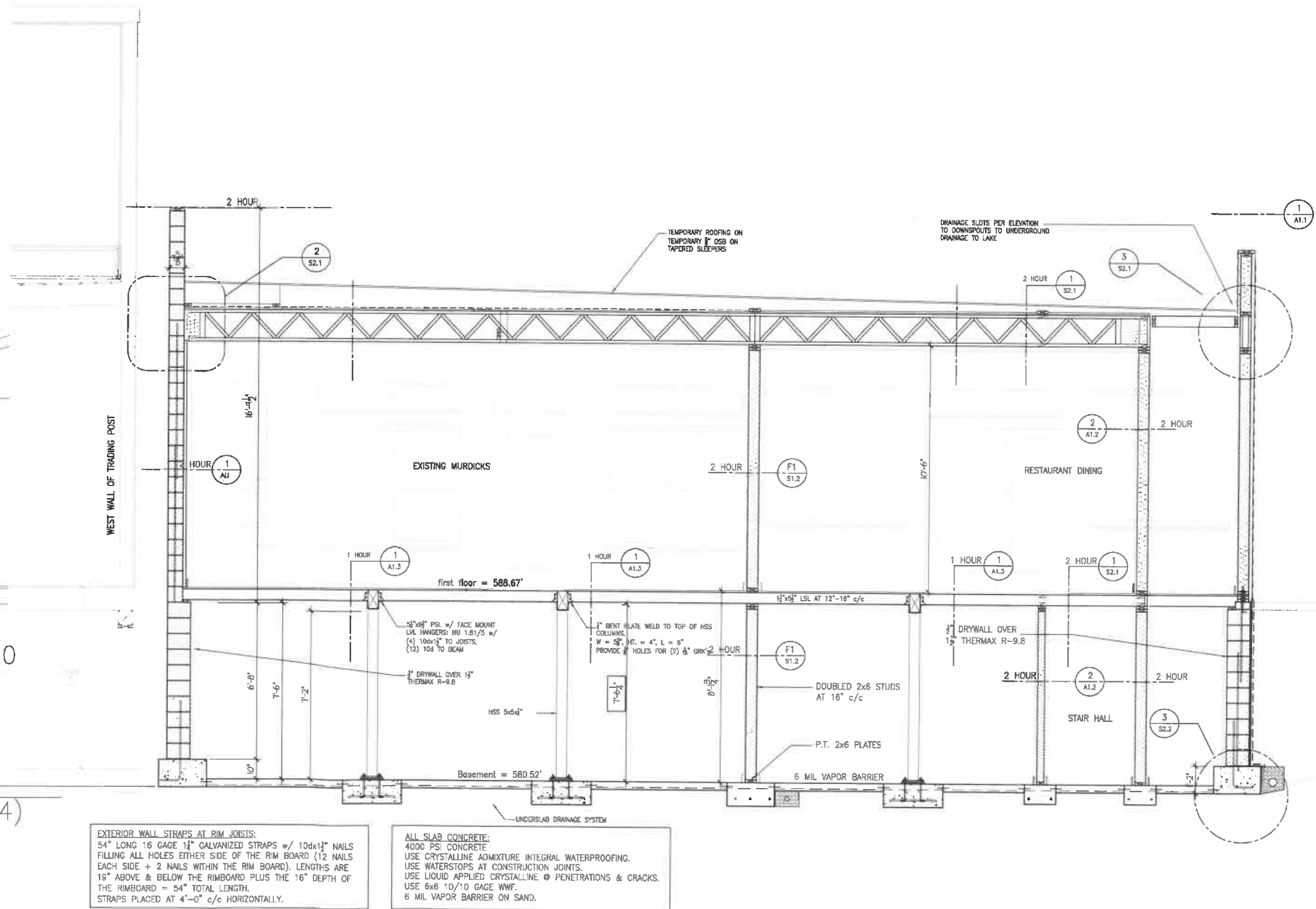
2 2nd FLOOR DETAIL AT WEST STAIR SCALE 3/4\"=1'-0"



3 BASEMENT WALL DETAIL SCALE 3/4\"=1'-0"

100 Year Flood EL 585.0

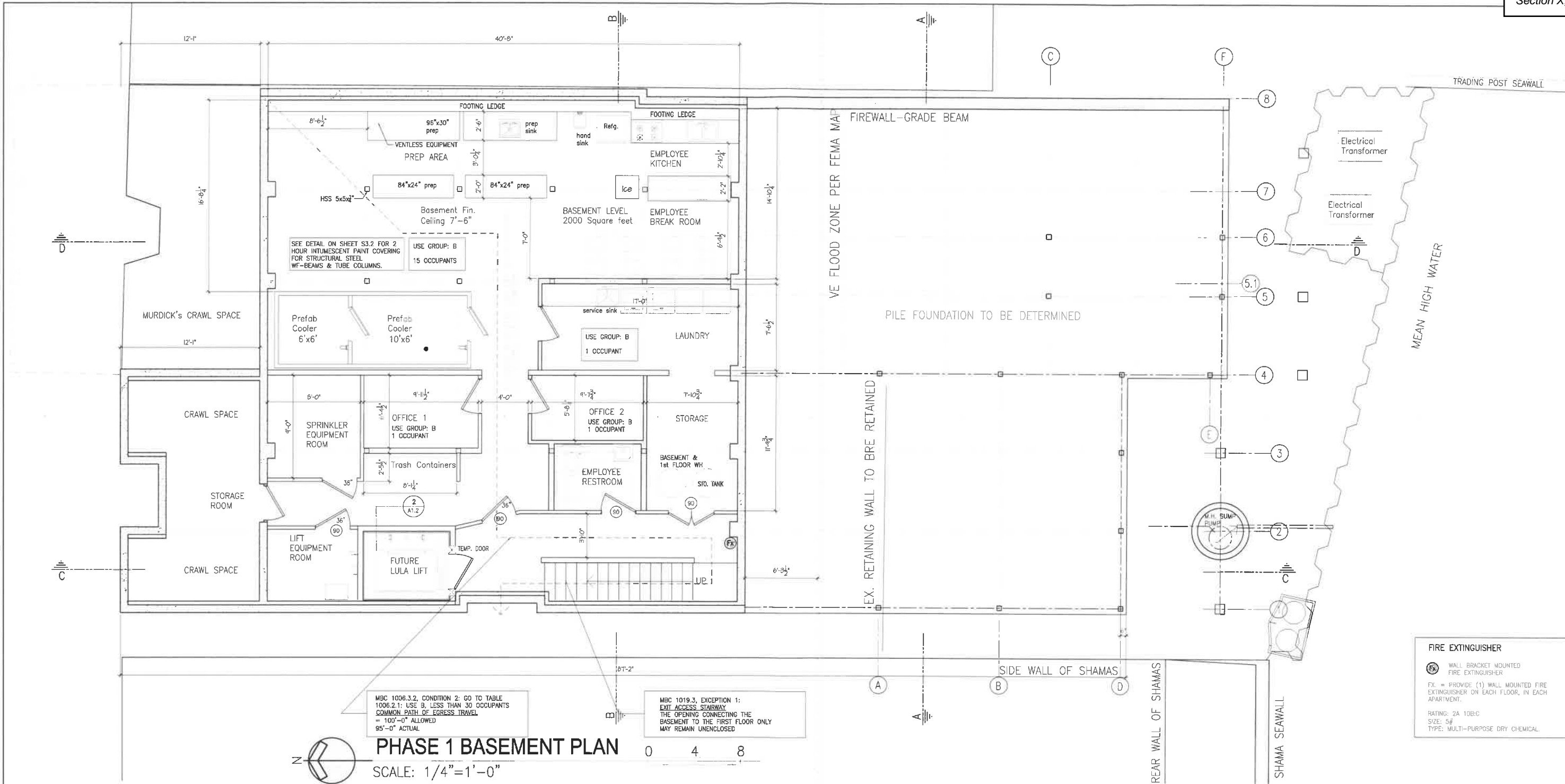
Current Water 579.7 (7.23.24)



EXTERIOR WALL STRAPS AT RIM JOISTS:
54\"/>

ALL SLAB CONCRETE:
4000 PSI CONCRETE
USE CRYSTALLINE ADMIXTURE INTEGRAL WATERPROOFING.
USE WATERSTOPS AT CONSTRUCTION JOINTS.
USE LIQUID APPLIED CRYSTALLINE @ PENETRATIONS & CRACKS.
USE 6x6 10/10 GAGE WWF.
6 MIL VAPOR BARRIER ON SAND.

PHASE 1 SECTION B-B
SCALE: 3/8\"=1'-0"



FIRE EXTINGUISHER

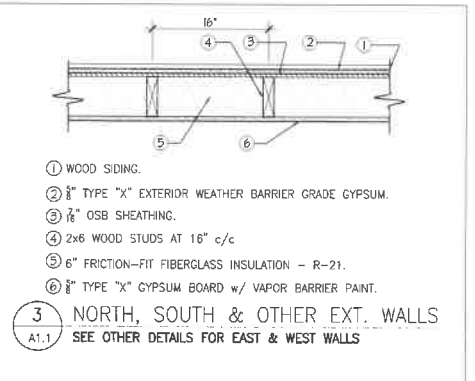
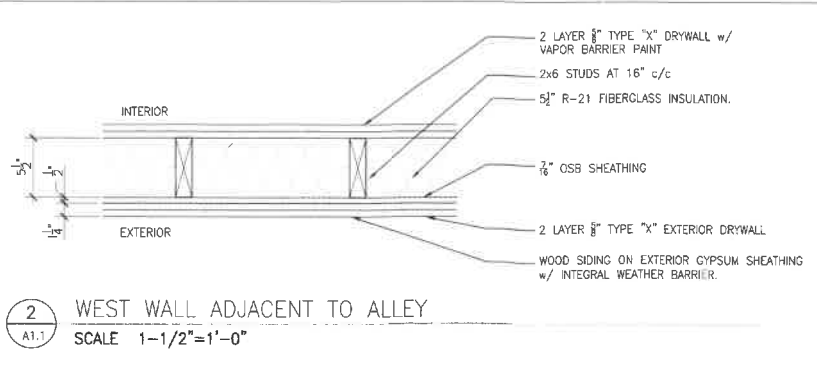
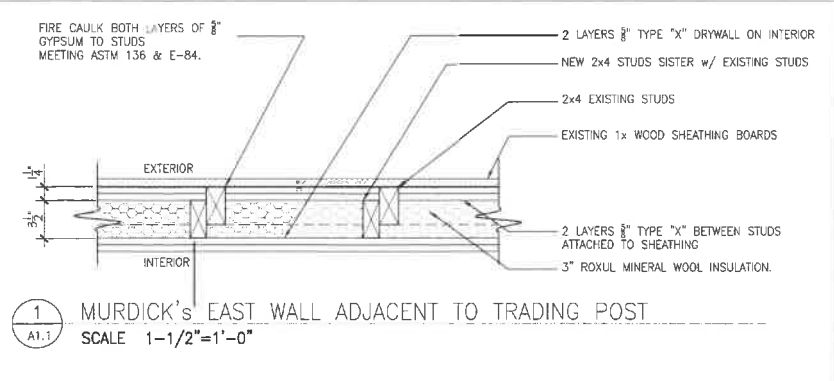
WALL BRACKET MOUNTED FIRE EXTINGUISHER

FX = PROVIDE (1) WALL MOUNTED FIRE EXTINGUISHER ON EACH FLOOR, IN EACH APARTMENT.

RATING: 2A 10B:C

SIZE: 5#

TYPE: MULTI-PURPOSE DRY CHEMICAL



MASONRY WALL LAYOUT:

All masonry walls except for the easterly firewall, are projected 1" beyond the outside face of the 2x6 exterior framed walls to provide a ledge for the exterior OSB sheathing and gypsum sheathing.

Richard Clements Architect, PLLC
15215 Henry Lane
Oshtemo, MI 49759
richard@rcarchitect.com 989-370-3681

MURDICK's Mr. B's
RENOVATION_ADDITION

7363 MAIN STREET
MACKINAC ISLAND, MI

previous zoning renewal: Sept. 25, 2023

revised:

date: Aug. 19, 2024
project: 1725

BASEMENT PLAN

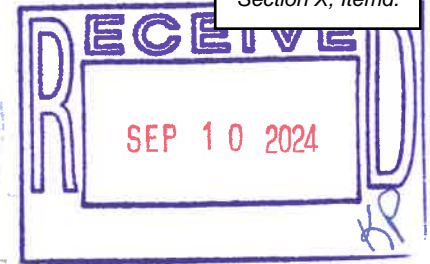
sheet:
A1.4

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Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931



7 September 2024

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
Mackinac Island, MI 49757

File No. C24-055/56-056(H)

Exhibit H

Date 9.10.24

Initials KP

Re: **MISTER B's & MURDICK'S FUDGE RENOVATION & ADDITIONS CHANGE**
Design Review

Dear Ms. Pereny:

This design review follow-up is for proposed design changes dated 19 August 2024 for the old Mister B's building site and the Murdick's Fudge building, respectively at 7367 and 7363 Main Street, in the Market and Main Historic District. The Murdick's Fudge building is a Contributing structure in the district.

Numerous revisions to the original approved project have been made over the course of 2019 - 2022, this current request being mostly a phasing change. Rather than construct the entire two-building project at one time, it is now proposed to construct the foundation / basement and the first floor as phase one, later followed by phase two consisting of the second and third floors. Phase one would also include building foundation pilings and lakeshore sheet pilings.

The proposed phase one scope of work reflects what has previously been approved by the HDC, with one minor change. This exception is on the harbor end of the Murdick's Fudge building where a blank portion of first floor wall to the left of the center door is now proposed to be a pair of windows matching those to the right of the door.

The proposed project phasing and the windows change would meet the Standards for review.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

Rick Neumann

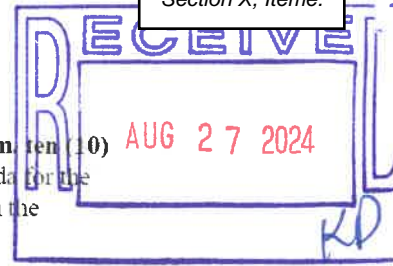
- c. Bob Benser, Applicant
Rich Clements, Richard Clements Architect
Dennis Dombroski, City of Mackinac Island
David Lipovsky, City of Mackinac Island

GENERAL APPLICATION FOR WORK LOCATED WITHIN A HISTORIC DISTRICT

Section X, Iteme.

- ☐ Minor Work (Complete Section A and refer to General Directions)
- ☐ New Construction (Complete Section B and refer to General Directions and Item B)
- ☐ Demolition (Complete Section B and refer to General Directions and Item C)

Application Deadline: Application and materials must be completed and submitted by 4:00 p.m. ten (10) business days before each Commission Meeting. Late applications will be placed on the agenda for the following month. Decision by the Commission will not necessarily occur at the meeting at which the application materials are first received.



A) MINOR WORK

PROPERTY LOCATION: 1274 Mission St 051-500-008-00
(Number) (Street) (Property Tax ID #)

PROPERTY OWNER

Name: Robert Benzer Email Address: bbenzer@me.com
Address: 7234 Main Apt 3 Mackinac Is MI 49757
(Street) (City) (State) (Zip)
Telephone: _____
(Home) (Business) (Fax)

APPLICANT/CONTRACTOR

Name: Roy Halberg Email Address: shalberg@hotmail.com
Address: 227 S. Airport St Isaac MI 49751
(Street) (City) (State) (Zip)
Telephone: (906) 430-0301
(Home) (Business) (Fax)

☐ Attach a brief description of the nature of the minor work proposed and the materials to be used.
☒ Attach one or more photograph(s) of the whole building including façade and any relevant elevations showing the area, item or feature proposed to be repaired or replaced. The Building Official or Historic District Commission may require additional information necessary to determine the work to be Minor Work.

If the Building Official determines that the proposed work is not Minor Work, the Building Official shall direct the applicant to complete an Application for New Work and/ or Application for Demolition or Moving work which will then be referred to the HDC.

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief; and that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRosier-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531

Signature: Robert A. Benzer SIGNATURES: File No. R324-008-057(H)
Signature: Robert G. Benzer Signature: Exhibit B
Please Print Name: _____ Please Print Name: 8.27.24

NOTE: All photos, drawings and physical samples, etc., become the property of the HDC City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

RETURN THIS FORM AND SUPPORTING MATERIALS TO:
MACKINAC ISLAND BUILDING OFFICIAL
7358 MARKET STREET, MACKINAC ISLAND, MI 49757
PHONE: (906) 847-4035

File Number: R324-008-057(H) Date Received: 8.27.24 Fee: 750-
Received By: KPereny Work Completed Date: _____

B) NEW CONSTRUCTION & DEMOLITION OR MOVING OF STRUCTURES

Section X, Iteme.

PROPERTY LOCATION: 1274 Mission St 051-500-008-00
 (Number) (Street) (Property Tax ID #)

LEGAL DESCRIPTION OF PROPERTY: Lot 13, Plat 1
 (Attach supplement pages as needed)

ESTIMATED PROJECT COST: 900,000

APPLICANT/CONTRACTOR

(Applicant's interest in the project if not the fee-simple owner): _____

Name: Ray Halberg Email Address: rhalberg@hotmail.com

Address: 227 S. Airport Road St Ignace MI 49781
 (Street) (City) (State) (Zip)

Telephone: 906 430 0301
 (Home) (Business) (Fax)

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief.

Signature: _____ Date: _____

PROPERTY OWNER(S) AND ALL PARTIES WITH A CLAIM OF RIGHT IN PROPERTY¹ This includes mortgagees, easement holders, and lien holders. You may be asked to provide a title search of the property and if the estimated is in excess of \$250,000 you are required to do so. Attach additional pages listing the person(s) or entity(ies) with legal interest(s) in the property and the nature of the legal interest(s).

Name: Robert Benser Email Address: bbenser@me.com

Address: 7234 Main Apt 3 Mackinac Is MI 49757
 (Street) (City) (State) (Zip)

Telephone: 231 841 3343
 (Home) (Business) (Fax)

The undersigned certify(ies) and represent(s)

1. That he/she, it or they is (are) all of the fee title owner(s) of all of the property involved in the application; and
2. That he/she, it or they has (have) attached a list which identifies all parties with a legal interest in the property at issue other than the undersigned owner(s) and has (have) identified the nature of each legal interest; and
3. That the answers and statements herein attached and materials provided are in all respects true and correct to the best of his, her, its or their information, knowledge and belief. The undersigned hereby certify(ies) and represent(s) that he/she, it or they has (have) read the foregoing and understand(s) the same.
4. That the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531.

Robert A Benser SIGNATURES _____
 Signature _____ Signature _____

Robert G. Benser
 Please Print Name _____ Please Print Name _____

Signed and sworn to before me on the 27 day of Aug, 2024.

Kathryn Pereny
 Notary Public _____

County, Michigan

My commission expires: _____



¹ The decision by the Historic District Commission may be in the form of Restrictions to which such Parties may be required to agree. (revised 04/17)



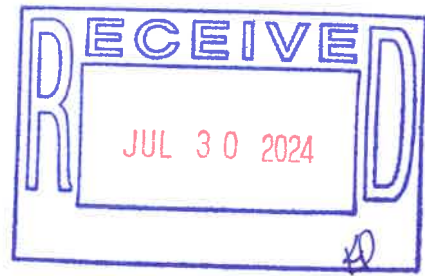
NORTH & WEST HOUSE ▲
▼ SOUTH & WEST HOUSE



Wendell looking East ▲
▼ ON WENDALL LOOKING SOUTHEAST

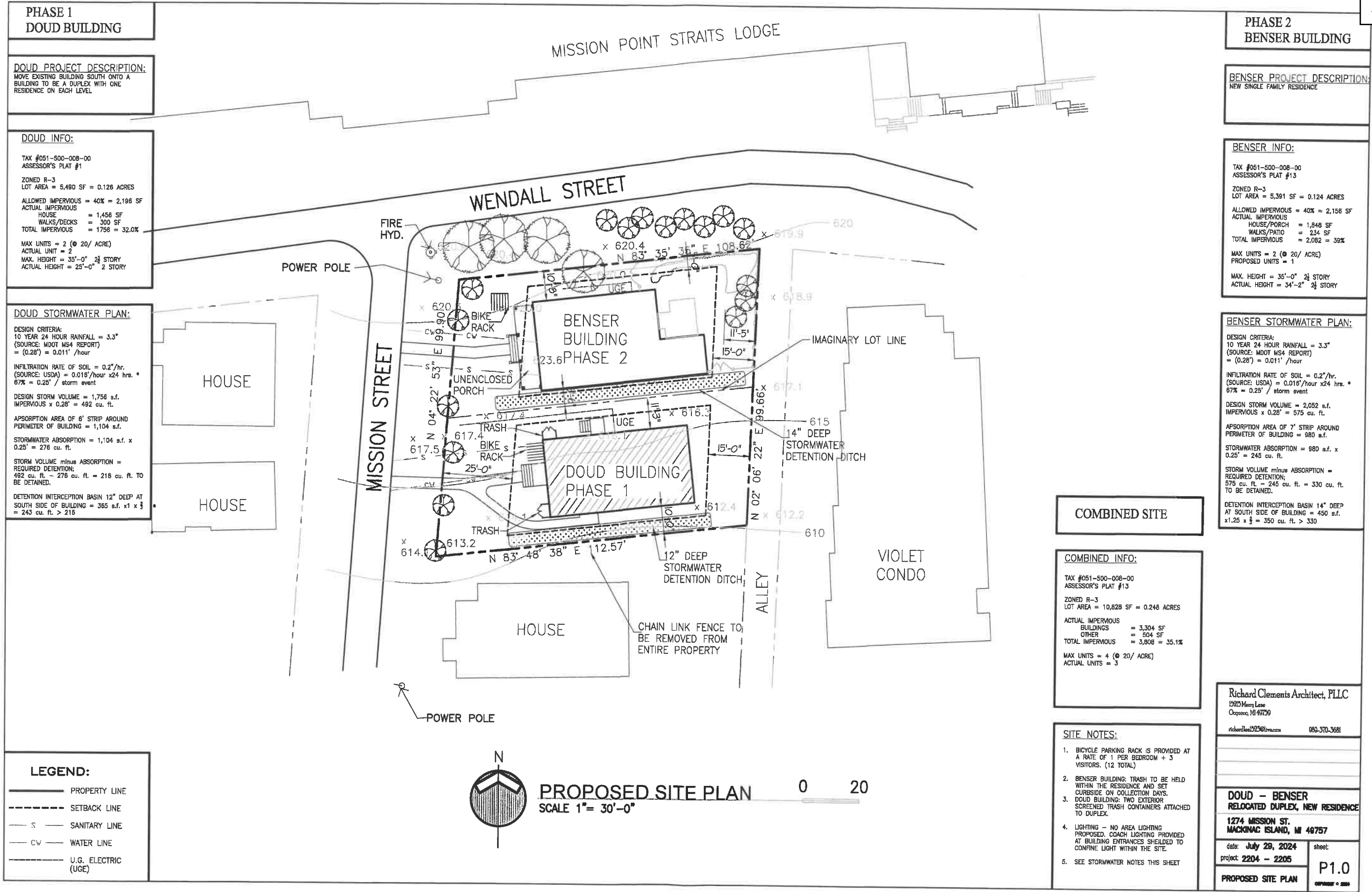


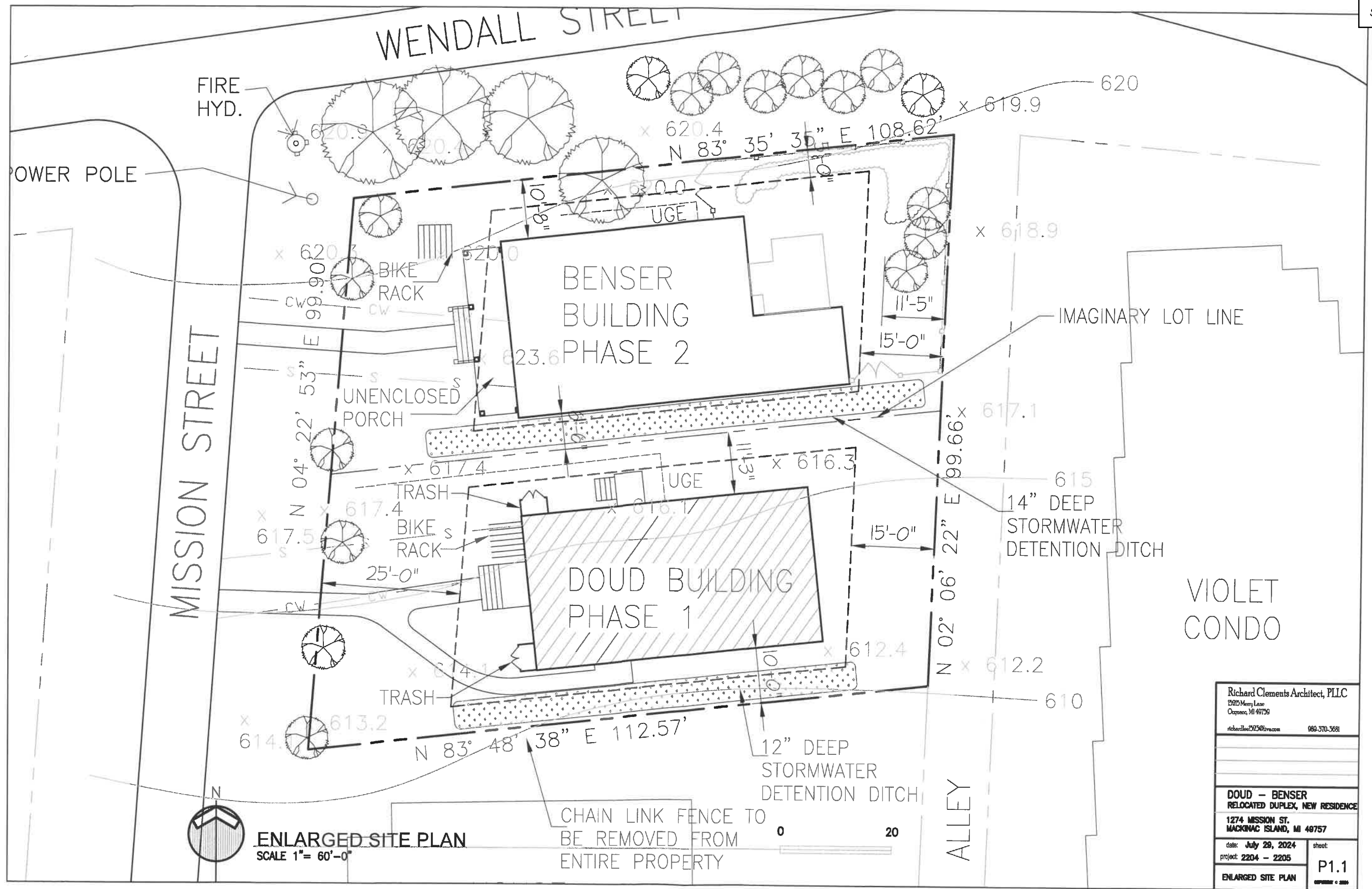
Wendell looking S ▲
▼ ON WENDALL LOOKING WEST

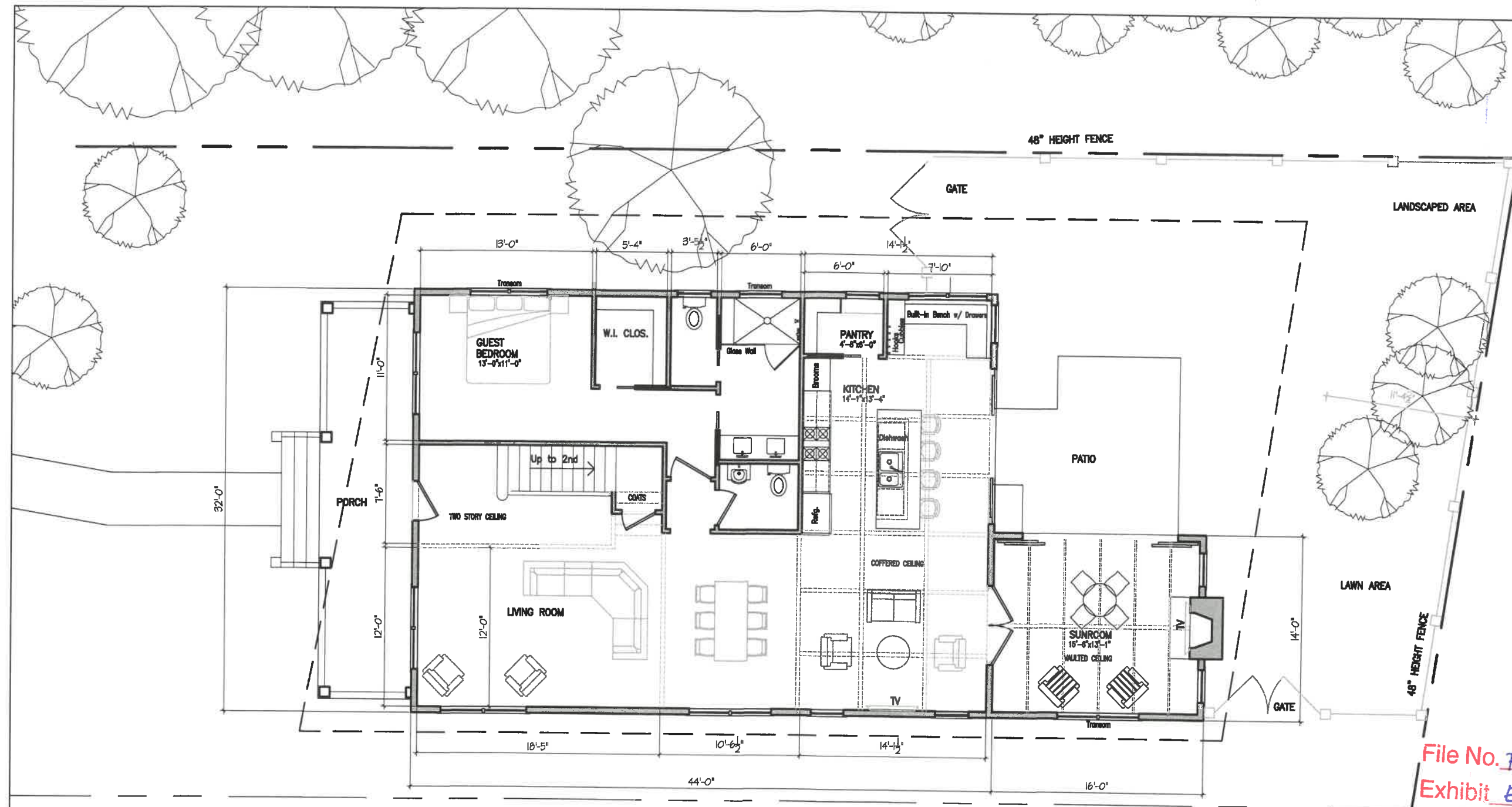
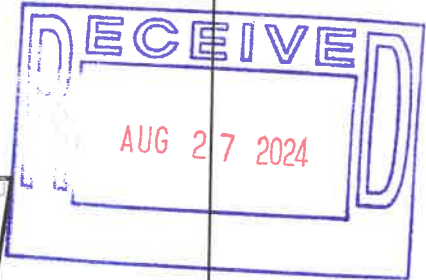


File No. R324-008-057(A)
Exhibit D
Date 7-30-24
Initials KP

Richard Clements Architect, PLLC 1920 Merry Lane Oshtemo, MI 49759 richardcl@92561vira.com 989-370-5681	
DOUD - BENSER RELOCATED DUPLEX, NEW RESIDENCE 1274 MISSION ST. MACKINAC ISLAND, MI 49757	
date: <u>July 26, 2024</u> project: <u>2204 - 2205</u>	sheet: X0.0 drawing © 2024







Main Floor Plan
1/4" = 1'-0"
1632 Square Feet

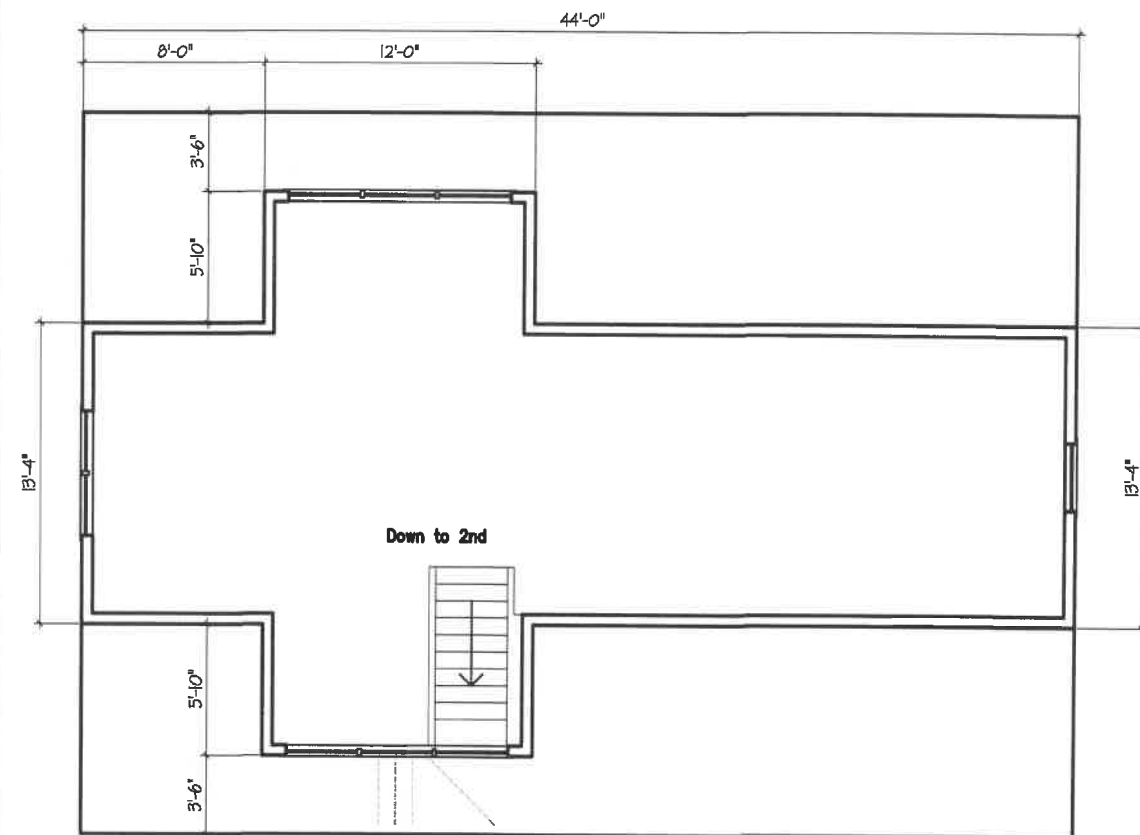
File No. R324 008.057(4)
Exhibit E
Date 8.27.24
Initials KP

Richard Clements Architect, PLLC
15215 Merry Lane
Oshtemo, MI 49759
richardlee1523@live.com 989-370-3681

ROBERT BENSER
NEW RESIDENCE
1274 MISSION ST.
MACKINAC ISLAND, MI 49757

date: 7.29.24
project: 2205

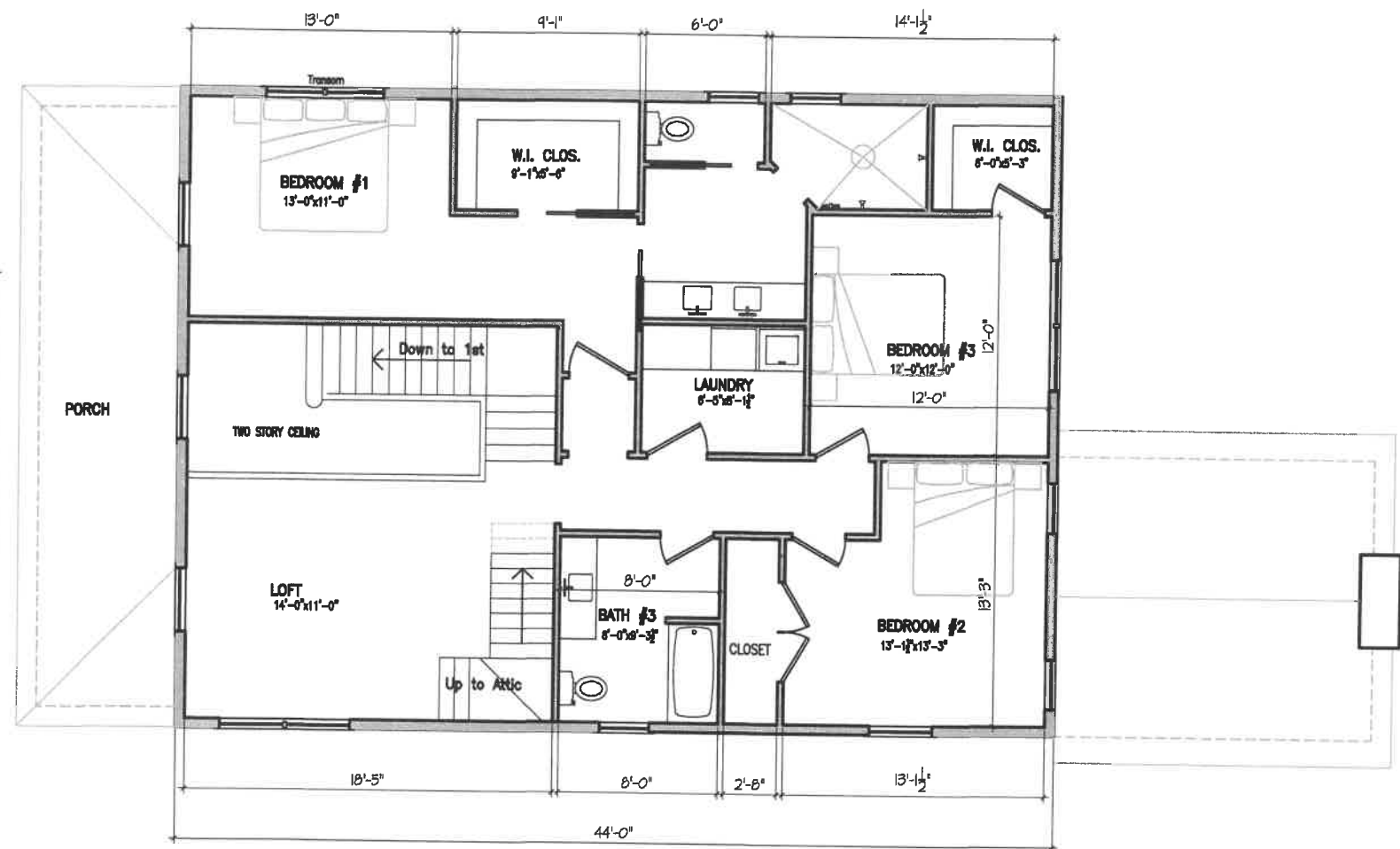
sheet:
B1.1
COPYRIGHT © 2024



Attic Level

0 4 8 16 $1'' = 1'-0''$

702 Square Feet

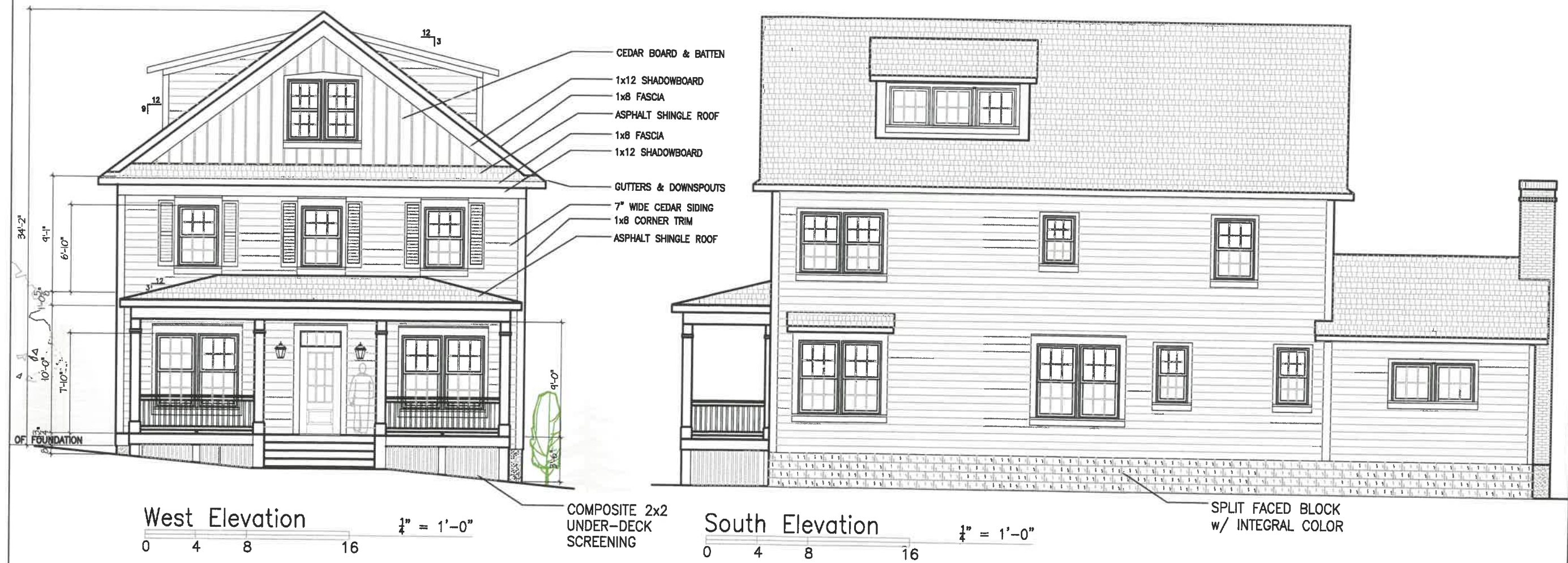


2nd Floor Plan $\frac{1}{4}" = 1'-0"$

0 4 8 16

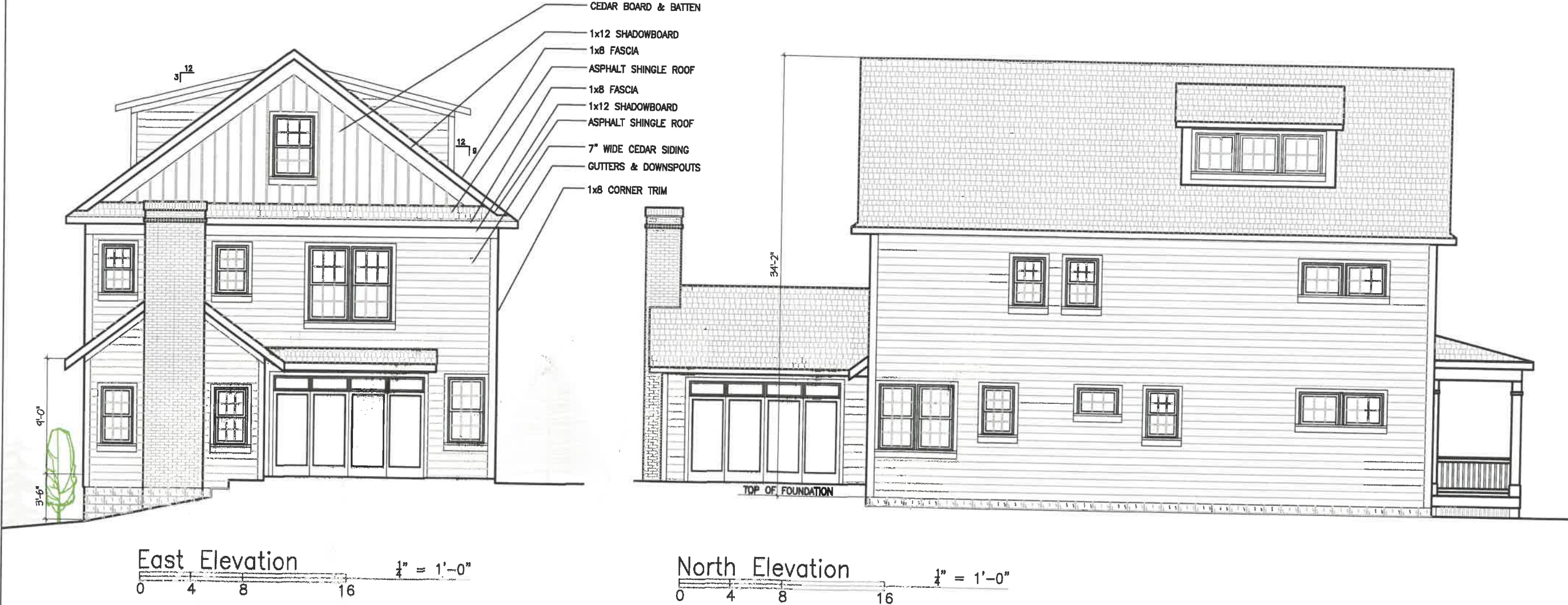
1408 Square Feet

Richard Clements Architect, PLLC 15215 Merry Lane Oscqueoc, MI 49759 richardlee1523@live.com	ROBERT BENSER NEW RESIDENCE		sheet: B1.2
	1274 MISSION ST. MACKINAC ISLAND, MI 49757	date: 7.29.24 project: 2205	COPYRIGHT © 2024



NEW WINDOWS/DOORS: ANDERSEN WOOD CLAD DOUBLE HUNG OR SIMULATED DOUBLE HUNG, CLEAR GLASS WITH LIGHT TRANSMITTANCE GREATER THAN 60%.

Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1525@live.com 989-370-3681	ROBERT BENSER NEW RESIDENCE 1274 MISSION ST. MACKINAC ISLAND, MI 49757	date: 7.29.24	sheet: B1.3 COPYRIGHT © 2024
		project: 2205	



NEW WINDOWS/DOORS: ANDERSEN WOOD
CLAD DOUBLE HUNG OR SIMULATED DOUBLE
HUNG, CLEAR GLASS WITH LIGHT
TRANSMITTANCE GREATER THAN 60%.

Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1523@live.com 989-370-3681	ROBERT BENSER NEW RESIDENCE 1274 MISSION ST. MACKINAC ISLAND, MI 49757	date: 7.29.24	sheet: B1.4 COPYRIGHT © 2024
		project: 2205	



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

7 September 2024

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
P.O. Box 455
Mackinac Island, MI 49757

Re: **BENSER RESIDENCE**
Design Review

Dear Ms. Pereny:

I have reviewed the proposed new Benser Residence in the East End Mission Historic District.

Find attached the Design Review for the above referenced proposed project.

Should you have any questions, please contact me.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

- c. Robert Benser, Applicant
Richard Clements, Richard Clements Architect
Dennis Dombroski, City of Mackinac Island
David Lipovsky, City of Mackinac Island



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

7 September 2024

DESIGN REVIEW

BENSER RESIDENCE

1274 Mission Street

East End Mission Historic District
Mackinac Island, Michigan

INTRODUCTION

The proposed project is the construction of a new 2-1/2 story house, at 1274 Mission Street, in the East End Mission Historic District. Proposed work would be located on the north portion of the vacated lot following relocation of an existing two story house, south on the property.

This design review is based on City Code Sec. 10-161 "Design Review Standards and Guidelines", of Article V. "Historic District", of the City of Mackinac Island Ordinance No. 443, adopted October 21, 2009. The review standards are those of the Department of the Interior entitled "The United States Secretary of the Interior's Standards for Rehabilitation" and "Guidelines for Rehabilitating Historic Buildings", as set forth in 36 CFR, part 67, as well as the factors set forth in City Code Sec. 10-161(b).

Materials submitted for Review consist of photographs of existing conditions and drawings of proposed work of the project, dated 29 July 2024, by Richard Clements Architect.

REVIEW

Of the Secretary of the Interior's Standards, and the Standards Under Sec. 10-161(b), the applicable Standards for review are the following:

Standard 1 - *"A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment."*

The new house would continue the historic use of the property as residential.

Standard 8 - *"Significant archaeological resources shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken."*

Benser Residence Design Review
7 September 2024
Page 2

Although not likely, as the site has been previously disturbed, it is possible archaeological resources could be encountered, as locations fronting Haldimand Bay have long been habitation sites. During project excavation heightened awareness should be exercised.

Standard 9 - *"New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size and architectural features to protect the historic integrity of the property and its environment."*

The proposed new construction would not destroy historic materials as the site would be vacant. This new work would be differentiated from nearby historic properties, and would be compatible with the massing, size and architectural features of the surrounding environment.

Standards Under Code Sec. 10-161(b)

In reviewing applications, the Commission shall also consider all of the following:

(2) - *"The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area."*

The proposed new residence would be appropriate to the surrounding area.

(3) - *"The general compatibility of the design, arrangement, texture and materials proposed to be used."*

The proposed house would be compatible in terms of design, arrangement, texture and materials.

CONCLUSION

The proposed construction of a new residence on the north portion of property at 1274 Mission Street would meet the Standards for review.

END OF REVIEW