

CITY OF MACKINAC ISLAND

AGENDA

PLANNING COMMISSION

Tuesday, July 14, 2026 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

- I. **Call to Order**
- II. **Roll Call**
- III. **Pledge of Allegiance**
- IV. **Approval of Minutes**
 - a. [June 9, 2026](#)
- V. **Adoption of Agenda**
- VI. **Correspondence**
 - a. [Benjamin Variance Approval](#)
 - b. [Letter re Grand Hotel ZBA](#)
- VII. **Staff Report**
 - a. [HDC Meeting Summary](#)
 - b. [DPW Update](#)
- VIII. **Committee Reports**
- IX. **Old Business**
 - a. [R125-008-076 Pierson Permit Extension Request](#)
- X. **New Business**
 - a. [C26-013-025\(H\) Ryba Properties Deck on Flat Roof](#)
 - b. [R126-013-032 Neelis New Home in Woodbluff](#)
 - c. [R426-034-033 G Callewaert Fence](#)
 - d. [Downtown Density Discussion](#)
- XI. **Public Comment**
- XII. **Adjournment**

MINUTES

PLANNING COMMISSION

Tuesday, June 09, 2026 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

Chairman Straus called the meeting to order at 4:01 PM.

II. Roll Call

PRESENT

Trish Martin

Jim Pettit

Michael Straus

Mary Dufina

Lee Finkel

Chuck Pereny

Brian Bailey

Staff: Erin Evashevski, David Lipovsky (via Zoom)

III. Pledge of Allegiance

IV. Approval of Minutes

a. May 12, 2026

Motion to approve as amended. Add change of use statement under Doud discussion.

Motion made by Pettit, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Dufina, Finkel, Pereny, Bailey

V. Adoption of Agenda

Motion to approve as submitted.

Motion made by Martin, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Dufina, Finkel, Pereny, Bailey

Before the meeting began Straus wanted to acknowledge the two new Commission members, Brian Bailey and Chuck Pereny.

Motion by Straus, second by Martin to write a letter of appreciation to Anneke Myers for his time spent on the Planning Commission. All in favor. Motion carries.

VI. Correspondence

None.

VII. Staff Report

a. HDC Meeting Summary

Finkel summarized the June 9, 2026 HDC meeting.

Dufina asked if the HDC reviews signs. Evashevski stated they have, but not at residential locations.

b. DPW Update

Allen Burt was not present so there was no DPW update.

VIII. Committee Reports

None.

IX. Old Business

a. C25-053-110(H) Trayser New Cafe

Anderson submitted an updated diagram for egress. Anderson stated they are still working with the city and other business owners for the alleyway agreements. Lipovsky pointed out a door on the drawing for egress that complies with code and accommodates stretchers with Ems. Bailey asked how many seats are out on the deck. Anderson stated 24 upper seats and 52 lower seats. Lipovsky is comfortable with the egress shown, for the number of seats on the deck and it does meet code. Pettit asked if all neighbors are in agreement. Anderson stated there are verbal agreements but they are waiting on the final language to get the signed agreements. Straus asked about the exit signage. There will be signs with arrows identifying emergency exit routes. If the City would like prohibited storage signs they will do that as well. Evashevski clarified he is working with the private owners but the City has not heard anything yet. Anderson stated he was not aware of that but will reach out right away to the City. Anderson stated Seabiscuit does not require an easement because of the lot lines. Straus asked about a penalty for blocking emergency exits and have it stated on the sign. Lipovsky agreed. Anderson asked if the City will be providing those since it is a City ordinance. Evashevski stated it will depend, but the City is not likely to provide signs for an easement they grant. Evashevski stated we need to know the terms of the easement. It would be helpful to have it run through City Council. Bailey stated he has been down there when food is delivered to Seabiscuit and that certainly blocks the alley. Pettit asked if the propane tanks were moved for Mays. There are about 20 bikes stored back there. It appears to be people living in the employee housing. Pettit is guessing that somewhere along

the line the area may have been appointed the employee parking. Trayser stated that Callewaert stated he will not permit employee parking. Anderson stated the propane is next to the storage building. Pettit stated that is in the path of egress and Anderson stated that is why they are providing two means of egress. Pettit is not comfortable with this scenario. Lipovsky stated the egress is enough for the occupant load. Dufina asked where their bike parking will be. Anderson stated the street or the basement. Trayser stated currently employees park in the basement. Pettit asked where exactly the propane tanks are located on the drawings. Anderson stated they are not on the new drawing. Straus stated they need to be identified on the drawings. Bailey asked what the area is behind the Baxters shop. Anderson stated it is an unused theater. Bailey asked if that is a possible fire exit. Anderson stated they discussed that in the past and it is possible but wouldn't be a posted exit. Straus stated we need to see Propane on plans and get the agreements with neighbors and the city. Straus stated the Commission can table, approve with contingents, or deny. Motion to approve contingent on updated plans showing propane, have agreements from the neighbors and City. (all property owners on the alleyway), and proper signage pursuant to the easement agreement. Evashevski said the title company should verify whether 7331 Main Street has any property rights to the alley. Anderson does not see any part of 7331 Main that is on the alley.

Motion made by Pettit, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Dufina, Finkel, Pereny, Bailey

b. Downtown Density Discussion

Straus stated this was a long discussion last month. Lipovsky asked Evashevski to read the wording that was added. Evashevski did not have it handy so Lipovsky stated that if there is still usable square footage a building owner could have a minimum of 750 square feet with 3 boarding house occupants. This would allow 250 square feet per boarding house occupant. 1000 square feet would be 4 boardinghouse occupants. Evashevski clarified the current density for the two new members and the fact that a kitchen creates a dwelling unit. The new language is to encourage boardinghouse use in the commercial district. Lipovsky was not able to look at other communities, but he was able to walk through buildings in the downtown area. Straus asked if they looked at other buildings in other districts. Evashevski stated this discussion is just for commercial district downtown. They were discussing possible 750 or 1000 square feet. Dufina would like to get more information before making any decisions to avoid making any mistakes. Lipovsky offered to present something more visual to help the Commissioners understand better. Evashevski asked what their questions or concerns are. Evashevski clarified what she was talking about with the Benjamin building as an example. There was discussion on the square footage of the building or the lot, to determine the density. Evashevski stated maybe we want to look at changing usable square footage instead of lot size. Lipovsky is to look at the numbers with this. Pereny stated he would like to walk a building to make it more clear. Jurcak stated you can do it based on the square footage then egress would be part of that. Evashevski asked what the max permitted density for boardinghouse occupants on the Benjamin property is now, based on square footage of the lot. He believes 5. Evashevski thinks there will need to be alot

more due diligence on what this would look like and consult with our fire department. Straus asked the Commissioners to take a tour with Lipovsky. Evashevski will look into the usable space square footage, which Lipovsky prefers. Pereny will talk to Chief St Onge, and Lipovsky will present something in writing to make the numbers clearer. Straus asked that this discussion be put on the Agenda next month, at the end of the agenda.

X. New Business

a. HB26-001-027 Grand Hotel Tea Garden Stairs

Gene Hopkins stated they would like to reconstruct the historic tea garden stair. The history was researched and Hopkins pointed out on page 7 of his application, the rendering. They would like to reconstruct the 1908 plan of the stair and pavilion at the resting area of the stair. Straus asked how it connects to the Porte cochere. Hopkins stated due to financial over runs at this point the porte cochere is on hold. Straus would like a rendering with the new stair and the existing porte cochere. The rendering presented shows the proposed porte cochere. Hopkins stated they still intend to do the new design. Jurcak stated he would like the Commission to focus on the stair at this time. They are in a bit of a time crunch. The proposed design matches the 1908 design. There will be lighting on the stairs on the rise and the run. Hopkins stated they are still working on the lighting. They would like to see if they can put lights on the planters. Dufina asked what the hard scape is at the bottom. Hopkins stated they want to create an area where you can enjoy the garden. The material will be brick and stone. Bailey thinks it looks beautiful. There is a proposed new viewing area where the sewer line currently runs. There needs to be some structural work in the area. In doing this work a new patio area will be created. Motion to approve.

Motion made by Dufina, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Dufina, Finkel, Pereny, Bailey

XI. Public Comment

Gene Hopkins gave the annual update on the work at the Grand Hotel. Hopkins showed his screen with a video of work done this winter. The deck (5000' more to go), new framing of the floor under the deck, new subfloor, and paint restoration on the west side were all done this past winter. Phase 5 is porch decking, the east lobby upper facade, and restoration pedestal base at half columns on east end. This work will start November 1st. All columns are done at this time.

Straus informed two new members there is a group called MAP you will be members of. There are courses online or in person to learn about the planning review process.

Pettit stated his new neighbors on 4th Street are not a family. The neighbors are all frustrated in the Village. Zoning is not applied the same in all areas of the island. The rules are not applied fairly in the Village. In reality the rules are not enforced. Pettit asked Evashevski how it works with him on the Planning Commission and seeking legal representation to help enforce the rules. Evashevski stated she cannot give Pettit legal

advice. Evashevski stated the violations need to be reported to Lipovsky. Pettit stated Snapper Bazinau's place was purchased by Spata and it is being used as employee housing. The previous building inspector visited the home and was told they were house guests and the issue was dropped. Evashevski stated they need support to the violations reported. Anonymous reports will not hold up. Pettit brought up the rental registration form he proposed. Evashevski stated the rental ordinance does need to be addressed. Dufina understands what he is saying and it does happen alot in the village, but it does happen in other places in the city as well. Straus stated he thinks we need to give Lipovsky a chance and is a process that takes time. We also need to do it the correct way to protect everyone involved. We will continue to work on it and do the best job we can with the resources we have.

XII. Adjournment

Motion to adjourn at 5:53 PM.

Motion made by Martin, Seconded by Straus.

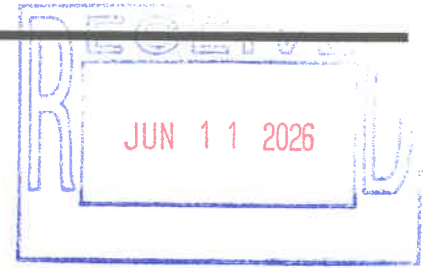
Voting Yea: Martin, Pettit, Straus, Dufina, Finkel, Pereny, Bailey

Michael Straus, Chairman

Katie Pereny, Secretary

Katie Pereny

From: City Clerk
Sent: Thursday, June 11, 2026 11:59 AM
To: Katie Pereny
Subject: Benjamin ZBA - June 10, 2026



Hi Katie,

At the June 10, 2026 Zoning Board of Appeals meeting, there was a motion made by Councilman St. Onge, and supported by Councilman Corrigan, to grant Mr. Benjamin's requested variance to allow three (3) dwelling units, rather than the currently allowable two (2) units, on the second floor of his building located at 7301 Main Street.

Please let me know if you need anything further regarding this matter.

Danielle Leach

City Clerk
City of Mackinac Island
P.O. Box 455
Mackinac Island, MI 49757
Phone: (906) 847 - 3702
Fax: (906) 847 - 6430

File No. C26-049-020(H)
Exhibit N
Date 6-11-26
Initials KP

Katie Pereny

From: City Clerk
Sent: Wednesday, June 24, 2026 2:48 PM
To: Katie Pereny
Cc: David Lipovsky
Subject: GHMI Resort Holdings ZBA

Hi Katie,

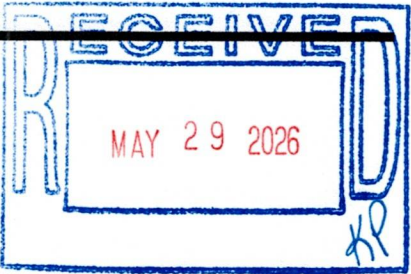
At their meeting on June 10, 2026, there was a motion made and supported by the Zoning Board of Appeals, to uphold the decision of the Planning Commission to deny the application for special land use boardinghouse, submitted by GHMI Resort Holdings, based on the finding that the Planning Commission's findings are supported by the Zoning Ordinance, as amended.

If you need anything further on this, please let me know.

Danielle Leach

City Clerk
City of Mackinac Island
P.O. Box 455
Mackinac Island, MI 49757
Phone: (906) 847 - 3702
Fax: (906) 847 - 6430

Katie Pereny



From: Leshon Pierson <leshonpierson47@gmail.com>
Sent: Friday, May 29, 2026 1:11 PM
To: Katie Pereny
Subject: Re: Zoning Permit

Yes Please
Sent from my iPhone

File No. B125-008-076
Exhibit K
Date 5-29-24

On May 29, 2026, at 11:46 AM, ~~Katie Pereny~~ Initials <kep@cityofmi.org> wrote: KP

Mr. Pierson, would you like to extend your Zoning application as well? That will expire September 11, 2026. Thank you.

Katie Pereny
City of Mackinac Island
Building, Zoning, Planning and Historic District
906-847-6190

From: Leshon Pierson <leshonpierson47@gmail.com>
Sent: Friday, May 29, 2026 11:24 AM
To: Katie Pereny <kep@cityofmi.org>
Subject: Re: Zoning Permit

I would like to apply for and extension on the building permit for lot 8 manor I ironwood lane Mackinac island.
Sent from my iPhone

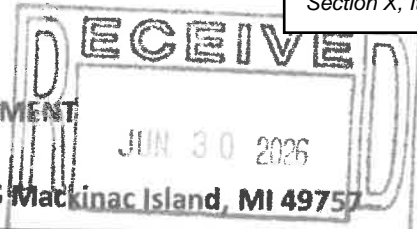
On May 28, 2026, at 1:02 PM, Katie Pereny <kep@cityofmi.org> wrote:

Mr. Pierson,

I am reaching out one more time to let you know that your Zoning permit will expire September 11, 2026. If you submit a request to extend the permit, prior to it expiring, you may do that and not have to reapply. (that deadline would be August 25th) If you do not intend to proceed with the project, can you just let me know so I can close this out? Thank you.

Katie Pereny
City of Mackinac Island
Building, Zoning, Planning and Historic District
906-847-6190

CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION



www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Peter Deckert
PO Box 268 Mackinac Isl.
810-543-1812
Phone Number Email Address

Please complete both sides of application.
The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

- Is The Proposed Project Part of a Condominium Association? No
- Is The Proposed Project Within a Historic Preservation District? yes
- Applicant's Interest in the Project (If not the Fee-Simple Owner): _____
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? No
- Is a Variance Required? No
- Are REU's Required? How Many? No

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other _____
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-550-066-00
- B. Legal Description of Property: ASSES PLAT NO 3 LOT 140
- C. Address of Property: 7463 MAIN ST
- D. Zoning District: C
- E. Site Plan Checklist Completed & Attached: File No. Cal-013-025(H)
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) _____ Exhibit G
- G. Sketch Plan Attached: _____
- H. Architectural Plan Attached: _____ Date 6.30.26
- I. Association Documents Attached (Approval of project, etc.): _____ Initials KP
- J. FAA Approval Documents Attached: _____
- K. Photographs of Existing and Adjacent Structures Attached: _____

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Other, Specify Deck
 - Alteration/Addition to Existing Building

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Apartment
Proposed Use:

C. If Vacant:

Previous Use:
Proposed Use:

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the OWNER (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Peter Decker
Signature

SIGNATURES _____
Signature

Peter Decker
Please Print Name

Please Print Name

Signed and sworn to before me on the 30th day of June, 2024.



Kathryn Pereny
Notary Public

Mackinac County, Michigan
My commission expires: 8.7.30

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: 026-013-025

FEE: \$400-

DATE: 6.30.24

CHECK NO: 6785

INITIALS: KP

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. David Lipovsky, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.
- 13. Proposed construction start date and estimated duration of construction.
- 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission

Natural Features

Provided Not Provided or Applicable

- 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)
- 16. Topography of the site with at least two- to five-foot contour intervals
- 17. Proposed alterations to topography or other natural features
- 18. Earth-change plans, if any, as required by state law

Physical Features

Provided Not Provided or Applicable

- 19. Location of existing manmade features on the site and within 100 feet of the site
- 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site
- 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a

dwelling schedule showing the unit type and number of each such units

- | | | |
|--|--------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Utility Information

	<u>Provided</u>	<u>Not Provided or Applicable</u>
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- | | | |
|--|--------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>



RYBA PROPERTIES LLC 05/02
P.O. BOX 516
MACKINAC ISLAND, MI 49757

FIRST NATL BANK OF ST. IGNACE
74-853/911

Section X, Itema.

6/28/2026

PAY TO THE ORDER OF City of Mackinac Island

\$ **400.00

Four Hundred and 00/100*****

DOLLARS



City of Mackinac Island
P.O. Box 455
Mackinac Island, MI 49757



Handwritten signature



fees

⑈006785⑈ ⑆091108539⑆ 31⑈0673⑈9⑈

City of Mackinac Island
7358 Market Street
PO Box 455
Mackinac Island, MI 49757

RECEIVED FROM Ryba Properties \$ 400
7463 Main St DOLLARS

PURPOSE OF PAYMENT FEE CHECK DEPOSIT Loan

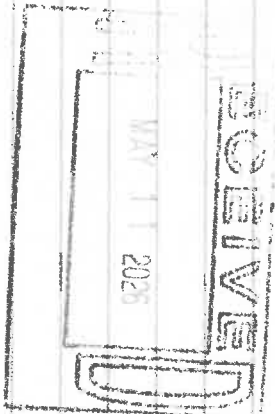
AMOUNT DUE		PAYMENT METHOD <input type="checkbox"/> CREDIT CARD <input checked="" type="checkbox"/> CHECK <input type="checkbox"/> MONEY ORDER <input type="checkbox"/> CASH	DATE <u>6-30-26</u>
THIS PAYMENT			RECEIVED BY <u>K Perera</u>
BALANCE DUE			No. <u>9630</u>

6785

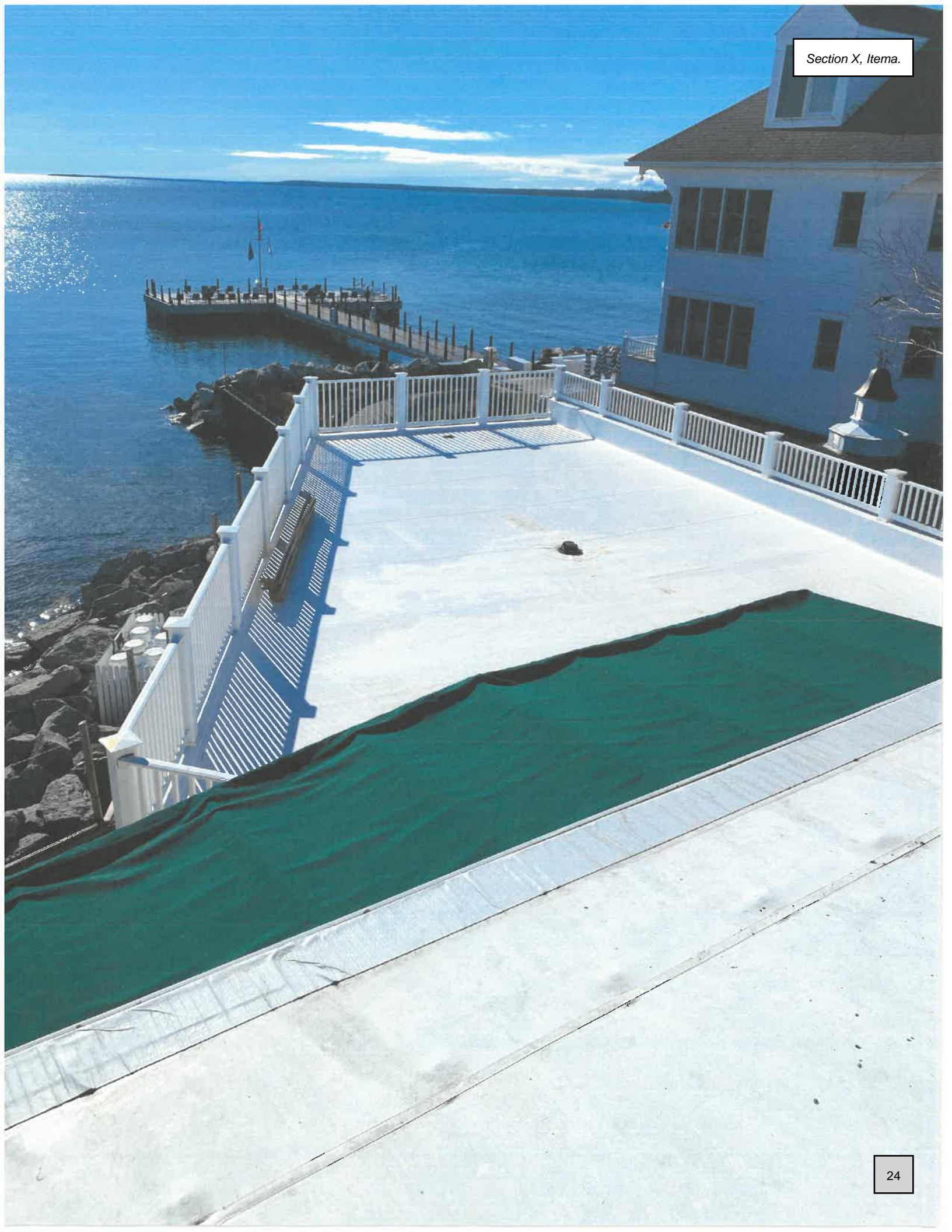
File No. C26-013-025(H)
Exhibit H
Date 6-30-26
Initials KP

Deck Area was re-roofed in the fall,

A wood and Aztek deck is being installed to protect the roofings from traffic.



File No. Case 013-025611
Exhibit C
Date 5.11.26
Initials KP

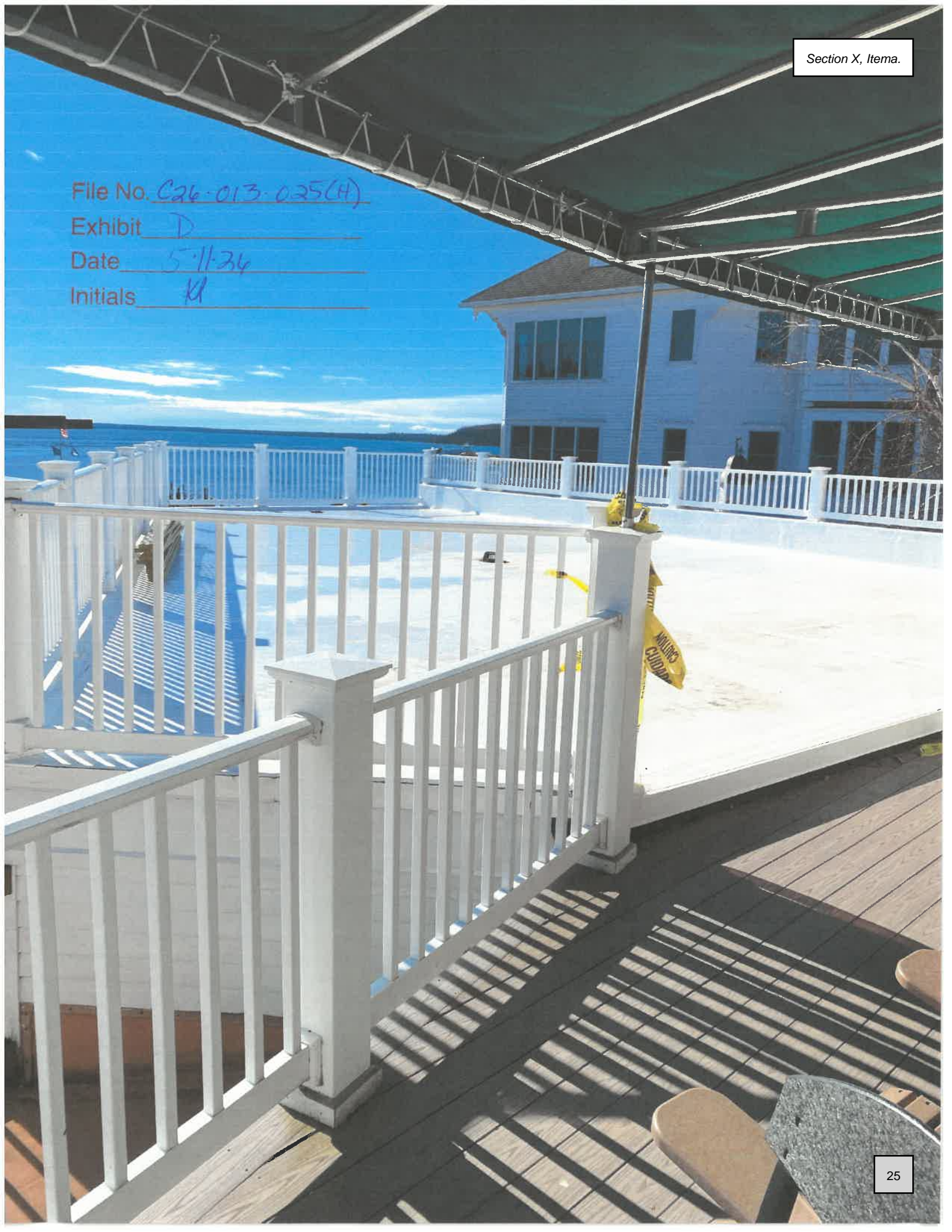


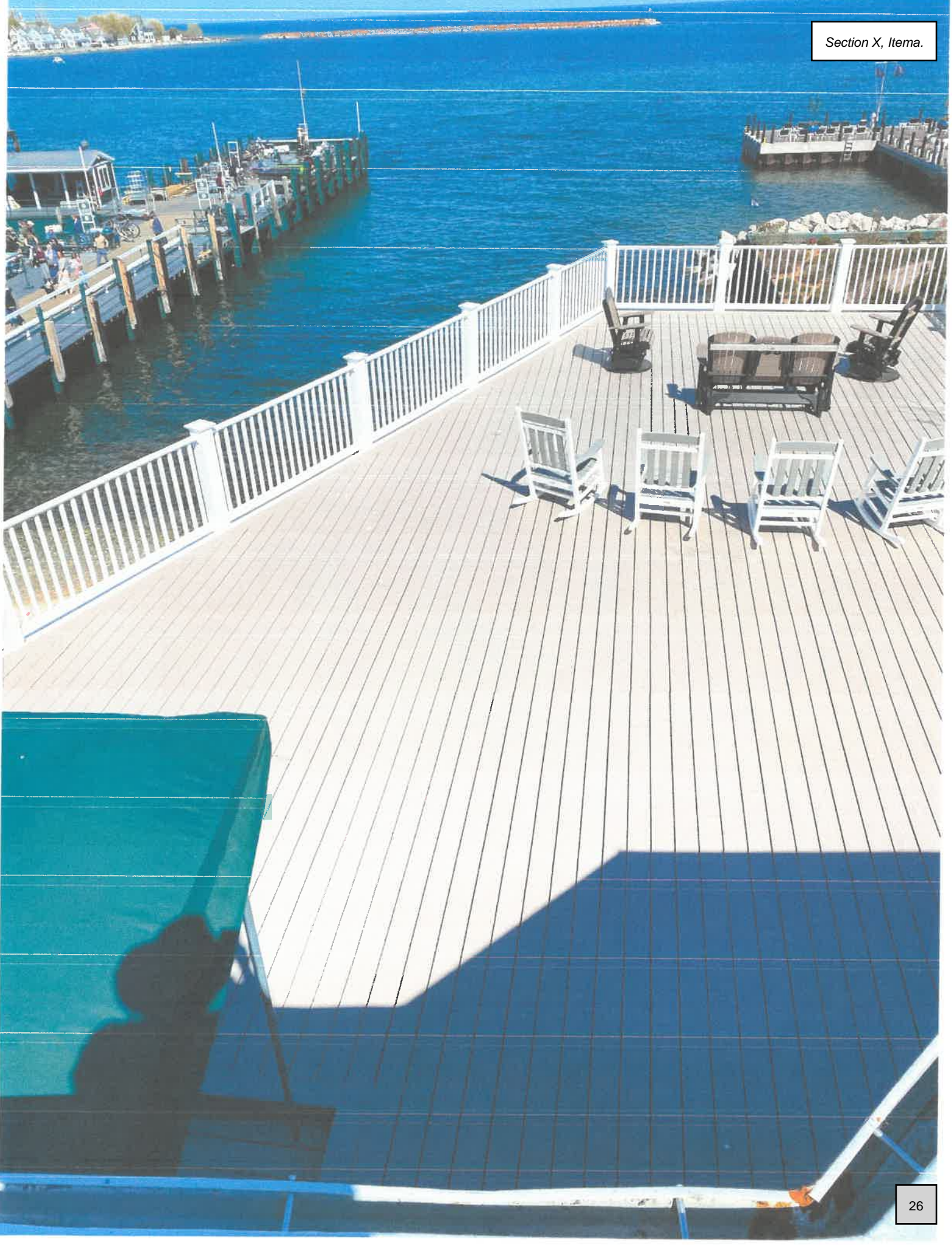
File No. C26-013-025(H)

Exhibit D

Date 5-11-26

Initials KI







Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

26 May 2026

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
P.O. Box 455
Mackinac Island, MI 49757

Re: **RYBA'S FUDGE ROOF DECK ADDITION**
Design Review

Dear Ms. Pereny:

I have reviewed the proposed roof deck on the Ryba's Fudge building in the Market and Main Historic District.

Should you have any questions, please contact me.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

- c. Peter Deckert, Applicant
David Lipovsky, City of Mackinac Island
Erin Evashevski, Evashevski Law Office



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

26 May 2026

DESIGN REVIEW

RYBA'S FUDGE ROOF DECK ADDITION

7463 Main Street

Market and Main Historic District
City of Mackinac Island, Michigan

INTRODUCTION

This design review is for a proposed second floor roof deck, at Ryba's Fudge, 7463 Main Street, in the Market and Main Historic District. The building is a Non-contributing structure in the historic district. The Applicant proposes to install a new deck on top of a recently replaced single-ply membrane roof which overlooks Haldimand Bay, and is accessible to foot traffic. The proposed decking material is cellular PVC, which would be installed on pressure-treated wood runners. A existing guard railing surrounds the roof area.

This design review is based on City Code Sec. 10-161 "Design Review Standards and Guidelines", of Article V. "Historic District", of the City of Mackinac Island Ordinance No. 443, adopted October 21, 2009. The review standards are those of the Department of the Interior entitled "The United States Secretary of the Interior's Standards for Rehabilitation" and "Guidelines for Rehabilitating Historic Buildings", as set forth in 36 CFR, part 67, as well as the factors set forth in City Code Sec. 10-161(b).

Materials submitted for Review consist of a written description and two photographs, dated 11 May 2026.

REVIEW

Of the Secretary of the Interior's Standards, and the Standards Under Sec. 10-161(b), the applicable Standards for review are the following:

Standard 9 - *"New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size and architectural features to protect the historic integrity of the property and its environment."*

Ryba's Fudge Roof Deck Design Review
26 May 2026
Page 2

The proposed new decking on top of recently installed single-ply membrane roofing would not destroy significant materials that characterize the property, and would be compatible with the architectural character of the building, and be appropriate to the property and the environment.

Standard 10 - *"New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."*

The proposed new deck could be removed in the future, preserving the essential form and integrity of the property.

Standards Under Code Sec. 10-161(b)

In reviewing applications, the Commission shall also consider all of the following:

(1) - *"The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area."*

The Ryba Building is not historic; the proposed roof deck would be appropriate to the building and to the historic value of the surrounding historic district.

(2) - *"The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area."*

The roof is flat, and is not visible from the street, although it is visible from the Iroquois Hotel next door, and maybe from a distance in views from higher elevations. Even if visible, the deck would have an appropriate relationship with the rest of the building and the surrounding area.

(3) - *"The general compatibility of the design, arrangement, texture and materials proposed to be used."*

A new roof deck would be compatible with the design, arrangement, and materials of the larger Ryba building.

(4) - *"Other factors, such as aesthetic value, that the Commission finds relevant."*

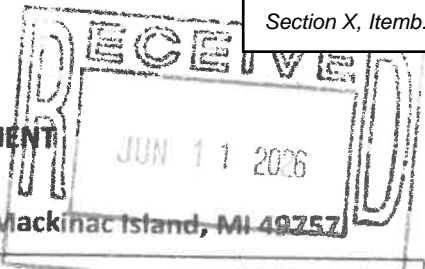
Being essentially invisible, the new deck would not detract from the building's aesthetic value.

CONCLUSION

The proposed new deck at the Ryba Fudge Store building at 7463 MainStreet would meet the Standards for review.

END OF REVIEW

CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION



www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Randy Yealis
16903 28 m. 1/2 Rd Albion MI 49224
512 937-1203 1
Phone Number Email Address

Please complete both sides of application.
The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

- Is The Proposed Project Part of a Condominium Association? NO
- Is The Proposed Project Within a Historic Preservation District? NO
- Applicant's Interest in the Project (If not the Fee-Simple Owner): OWNER
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO
- Is a Variance Required? NO
- Are REU's Required? How Many? NO

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other _____
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-775-013-00
- B. Legal Description of Property: _____
- C. Address of Property: Lot 13 Duffwood Ct.
- D. Zoning District: R1
- E. Site Plan Checklist Completed & Attached:
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance)
- G. Sketch Plan Attached: _____
- H. Architectural Plan Attached: yes
- I. Association Documents Attached (Approval of project, etc.): yes
- J. FAA Approval Documents Attached: To be done
- K. Photographs of Existing and Adjacent Structures Attached: _____

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Alteration/Addition to Existing Building
 - Other, Specify _____

File No. R126-013-033
Exhibit A
Date 6/11/06
Initials KP

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Proposed Use: _____

C. If Vacant:

Previous Use: VACANT LAND
Proposed Use: NEW HOME

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

[Signature]
Signature

Brandy Neelis
Please Print Name

SIGNATURES [Signature]
Signature

Brandy Neelis
Please Print Name

Signed and sworn to before me on the 11 day of June, 2026.



Kathryn Pereny
Notary Public

Mackinac County, Michigan
My commission expires: 8-7-30

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: R126-013-032

FEE: 9/50

DATE: 6-11-26

CHECK NO: 1175

INITIALS: KD

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. David Lipovsky, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.
- 13. Proposed construction start date and estimated duration of construction.
- 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission

Natural Features

Provided

Not Provided or Applicable

- 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)
- 16. Topography of the site with at least two- to five-foot contour intervals
- 17. Proposed alterations to topography or other natural features
- 18. Earth-change plans, if any, as required by state law

Physical Features

Provided

Not Provided or Applicable

- 19. Location of existing manmade features on the site and within 100 feet of the site
- 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site
- 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a

dwelling schedule showing the unit type and number of each such units

- | | | |
|--|--------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Utility Information

Provided

Not Provided or Applicable

- | | | |
|--|--------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

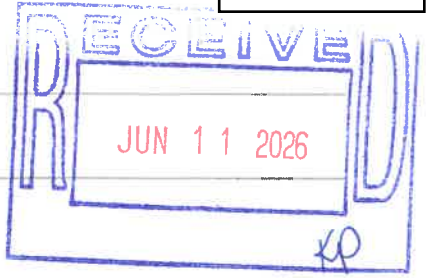
**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

 Outlook



Fw: Woodbluff Architectural Review Committee

From Brandy Neelis <brandys3sweetgirls@hotmail.com>
Date Wed 6/10/2026 10:13 AM
To Cailah McKey <cailah.mckey@theinnatstonecliffe.com>

File No. R126-013-032

Exhibit C

Date 6.11.26

Initials KP

Get Outlook for iOS

From: Bob French <springhouse812@gmail.com>
Sent: Sunday, March 15, 2026 7:37:11 AM
To: Brandy Neelis <brandys3sweetgirls@hotmail.com>
Cc: Tim Westin <westinhome2@gmail.com>; Michael Schulte <michaelschulte123@gmail.com>; Anna Keller <akeller74@yahoo.com>
Subject: Woodbluff Architectural Review Committee

As Chair of the Woodbluff Architectural Review Committee, I am pleased to inform you that the committee has approved the plans you submitted on March 5, 2026, for new construction of your home on Lot #13 in Woodbluff.

A copy of this email should be acceptable evidence of our approval for City officials, but if they request a more formal signed letter, I will be happy to provide it.

Welcome to the neighborhood!

Sent from my iPad



A LIMITED LIABILITY COMPANY

250 ROBINSON ROAD
JACKSON, MI 48205
P: 517-783-0710
F: 517-783-0711

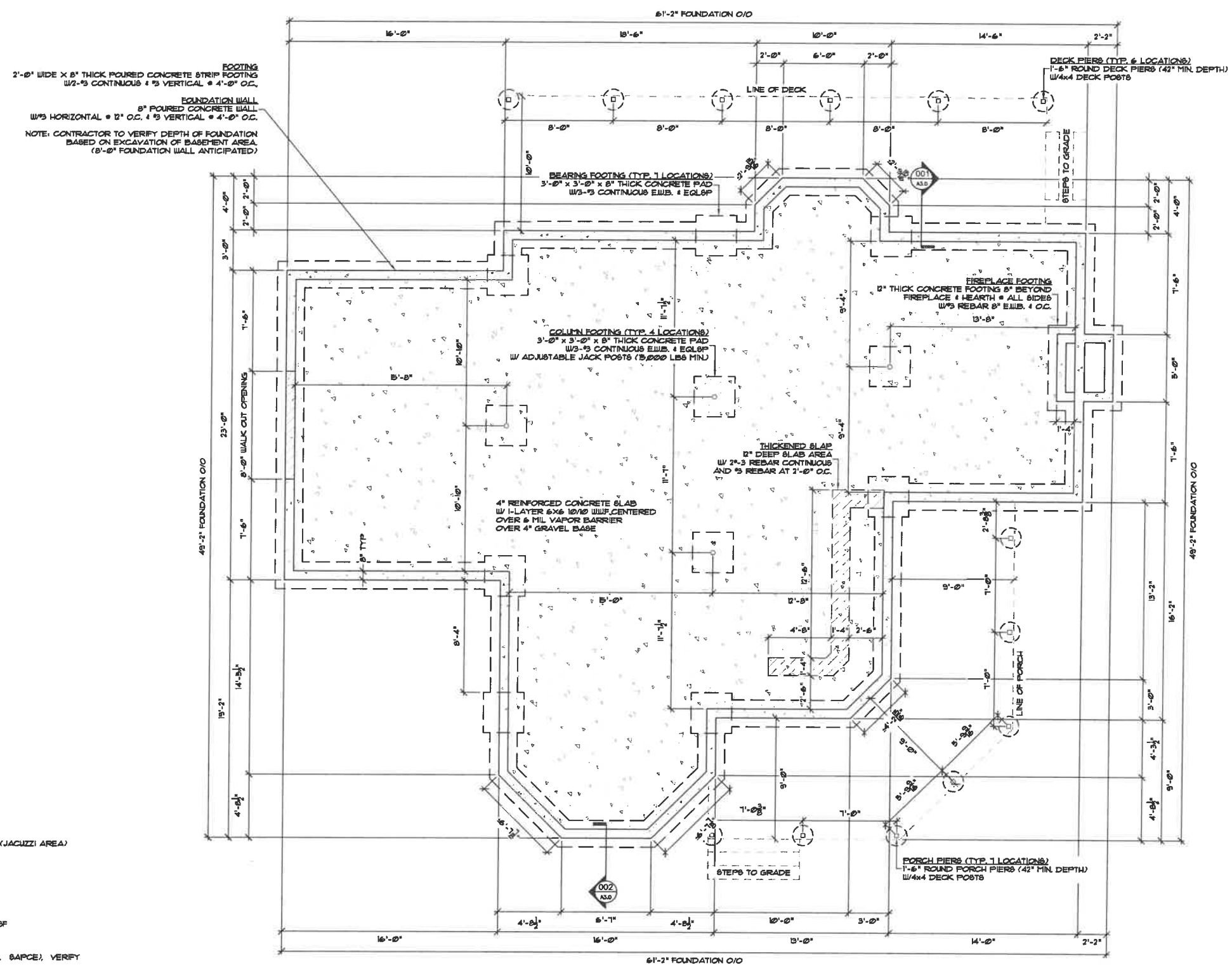
THESE DRAWINGS AND CONCEPTS CONTAINED HERE ARE THE EXCLUSIVE PROPERTY OF AE DESIGN SOLUTIONS AND ARE NOT TO BE DUPLICATED WITHOUT WRITTEN PERMISSION OF AE DESIGN SOLUTIONS.

FOUNDATION PLAN
NEELIS RESIDENCE
LOT 13 - DRIFTWOOD CT
MACKINAC ISLAND, MICHIGAN 49757

NO.	REVISION	DATE

SCALE: 1/4" = 1'-0"
DATE: 02/01/2026
DESIGN BY: BPS
DRAWN BY: BPS
PROJECT: 2024-00392
DRAWING: 2024-00392_ARCH-001
SHEET

S1.0
OF
1.0



FOOTING
2'-0" WIDE X 8" THICK POURED CONCRETE STRIP FOOTING
W/2-#3 CONTINUOUS # 1/2 VERTICAL @ 4'-0" O.C.

FOUNDATION WALL
8" POURED CONCRETE WALL
W/3 HORIZONTAL @ 12" O.C. & 3 VERTICAL @ 4'-0" O.C.

NOTE: CONTRACTOR TO VERIFY DEPTH OF FOUNDATION BASED ON EXCAVATION OF BASEMENT AREA (8'-0" FOUNDATION WALL ANTICIPATED)

ASSUMED DESIGN LOADS:
LIVE LOAD • FLOOR : 40 PSF
LIVE LOAD • FLOOR : 60 PSF (JACUZZI AREA)
DEAD LOAD • FLOOR : 10 PSF
LIVE/SNOW LOAD • ROOF : 60 PSF
DEAD LOAD • ROOF : 10 PSF
LIVE LOAD • DECK : 60 PSF
DEAD LOAD • DECK : 10 PSF
SOIL BEARING PRESSURE : 2,500 PSF

NOTES:
PROVIDE 18"x24" ACCESS (IF CRAWL SPACE), VERIFY LOCATION WITH OWNER.
PROVIDE 1 SQ. FT. OF FOUNDATION VENTING FOR EACH 80 SQ. FT. OF CRAWL SPACE AREA. USE 16"x8" VENTS WITH WELDED WIRE MESH.
USE METAL FASTENER AT ALL POST TO FOOTING CONNECTIONS.
ALL NAILING TO BE IN COMPLIANCE W/ MSC R6-02.3(1).
WALL BRACING REQUIREMENTS SHALL BE REVIEWED BY LOCAL PROFESSIONAL TO COMPLY WITH MSC R6-02.10. CONTRACTOR TO REFER TO WALL BRACING DESIGN FOR ADDITIONAL HOLD-DOWN AND NAILING REQUIREMENTS.

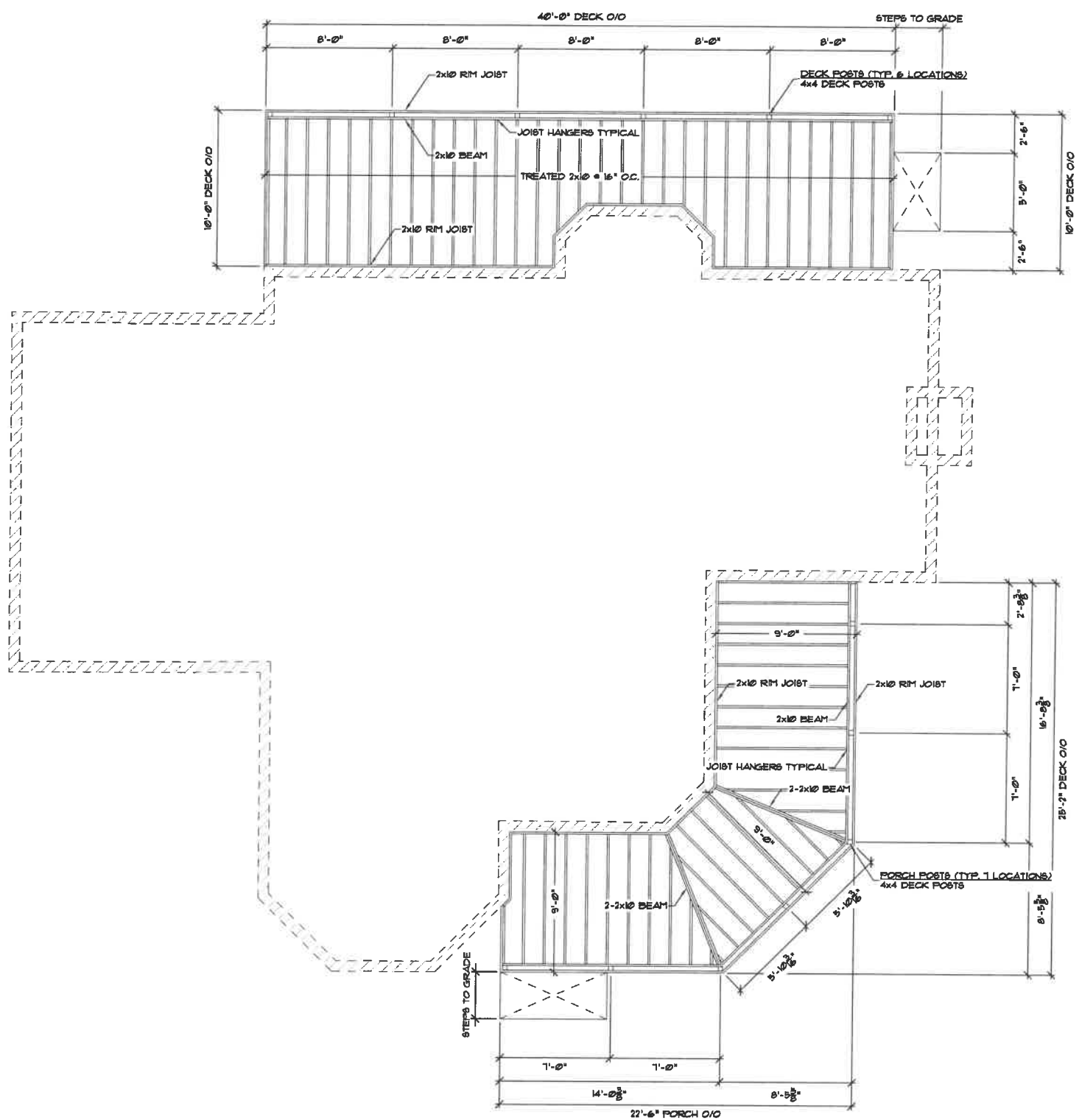
FOUNDATION PLAN
1,860 SQ.FT. SCALE: 1/4" = 1'-0"



A LIMITED LIABILITY COMPANY

250 ROBINSON ROAD
JACKSON, MI 49208
P: 517-788-0710
F: 517-788-0711

THESE DRAWINGS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF AE DESIGN SOLUTIONS AND ARE NOT TO BE DUPLICATED WITHOUT WRITTEN PERMISSION OF AE DESIGN SOLUTIONS.



FLOOR FRAMING PLAN
PORCH & DECK
SCALE: 1/4" = 1'-0"

FLOOR FRAMING PLAN
PORCH & DECK
NEELIS RESIDENCE
LOT 13 - DRIFTWOOD CT
MACKINAC ISLAND, MICHIGAN 49757

NO.	REVISION	DATE
	ISSUED FOR CONSTRUCTION	

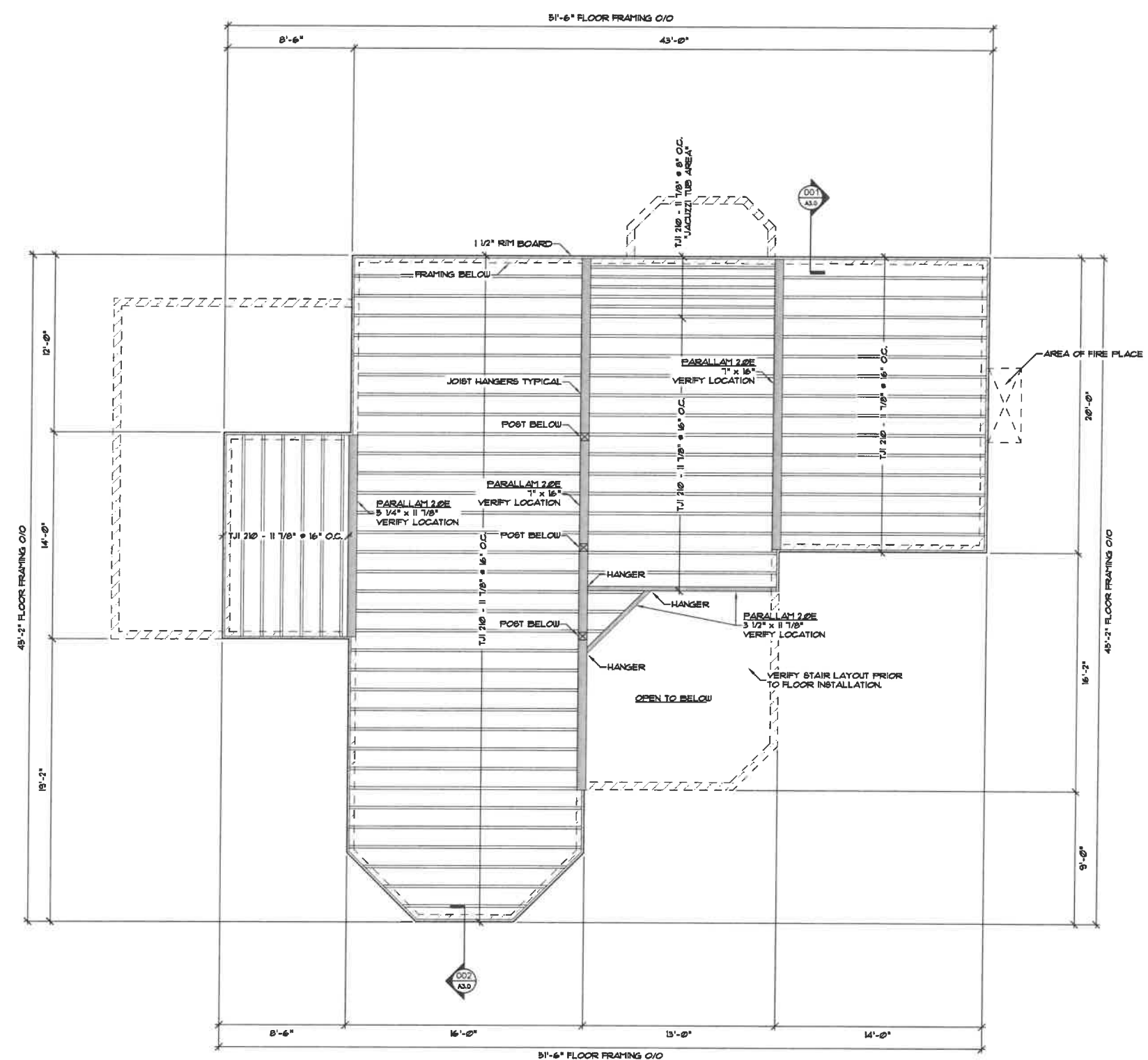
SCALE: 1/4" = 1'-0"
DATE: 02/01/2026
DESIGN BY: BPS
DRAWN BY: BPS
PROJECT: 2024-00392
DRAWING: 2024-00392_ARCH-001



A LIMITED LIABILITY COMPANY

250 ROBINSON ROAD
JACKSON, MI 49203
P: 517-783-0710
F: 517-783-0711

THESE DRAWINGS AND CONCEPTS CONTAINED HERE ARE THE EXCLUSIVE PROPERTY OF AE DESIGN SOLUTIONS AND ARE NOT TO BE DUPLICATED WITHOUT WRITTEN PERMISSION OF AE DESIGN SOLUTIONS.



FLOOR FRAMING PLAN
SECOND FLOOR
SCALE: 1/4" = 1'-0"

FLOOR FRAMING PLAN
SECOND FLOOR
NEELIS RESIDENCE
LOT 13 - DRIFTWOOD CT
MACKINAC ISLAND, MICHIGAN 49757

TITLE	PROJECT	NO.	REVISION	DATE
			ISSUED FOR CONSTRUCTION	03/05/24

SCALE: 1/4" = 1'-0"
DATE: 02/01/2026
DESIGN BY: BPS
DRAWN BY: BPS
PROJECT: 2024-00392
DRAWING: 2024-00392_ARCH-001
SHEET

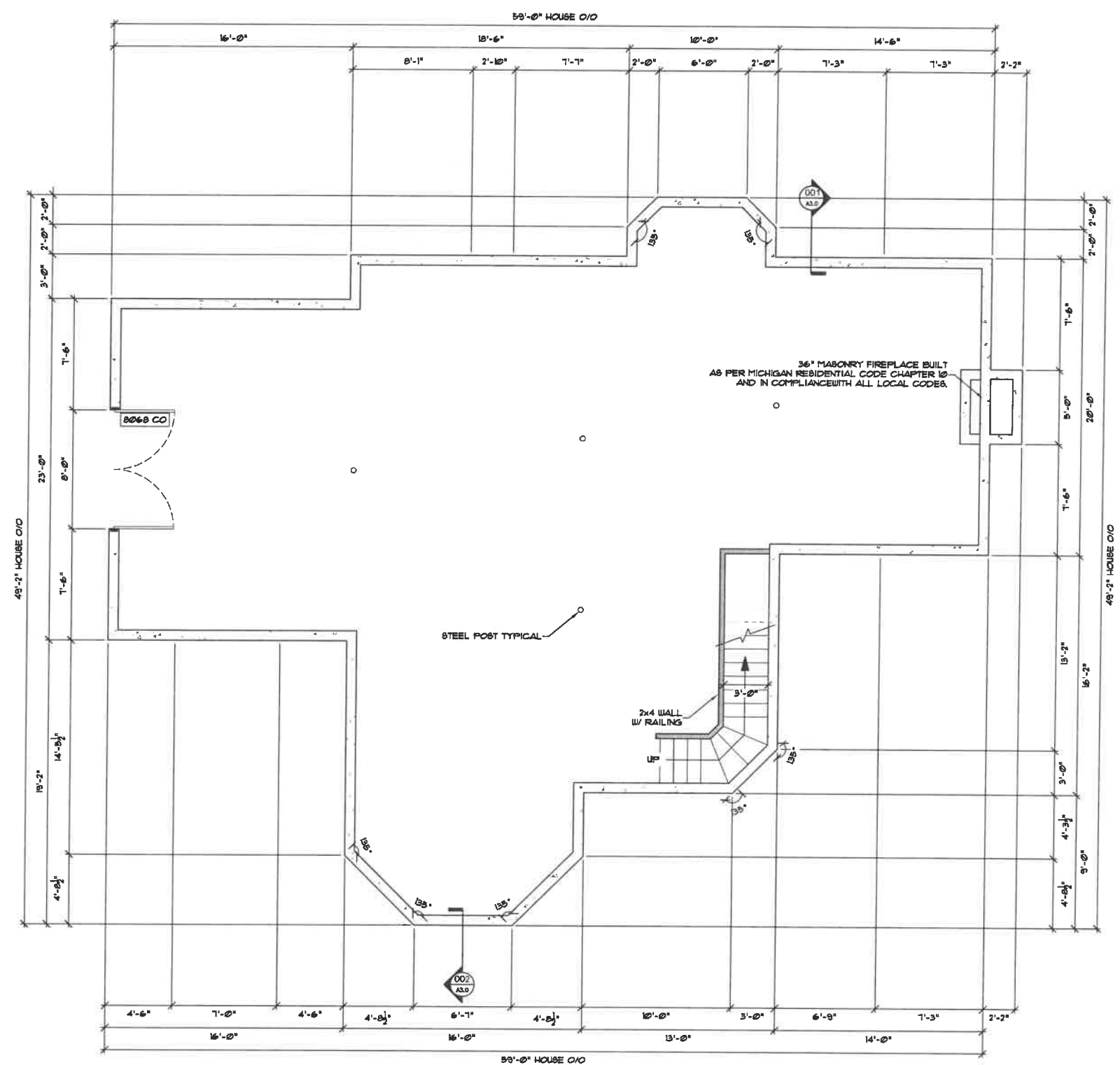
S2.2
OF
2.2



A LIMITED LIABILITY COMPANY
 250 ROBINSON ROAD
 JACKSON, MI 49203
 P: 517-783-0710
 F: 517-783-0711

THESE DRAWINGS AND CONCEPTS CONTAINED HERE ARE THE EXCLUSIVE PROPERTY OF AE DESIGN SOLUTIONS AND ARE NOT TO BE DUPLICATED WITHOUT WRITTEN PERMISSION OF AE DESIGN SOLUTIONS.

- LEGEND**
- READING DOOR & WINDOW SIZES**
 SIZES ARE LISTED AS FEET/INCHES.
 -3068 DOOR IS 3'-0" WIDE x 8'-8" TALL
 -5040 WINDOW IS 5'-0" WIDE x 4'-0" TALL
- STANDARD ABBREVIATIONS:**
- DOORS**
- SC SOLID CORE
 - FR DR FRENCH DOOR
 - PKT DR POCKET DOOR
 - FR PAIR
 - BP BI-FOLD
 - BP BI-PASS
- WINDOWS**
- FX FIXED
 - CBMT CABINET
 - SH SINGLE HUNG
 - XO HORIZONTAL SLIDER (TWO PANEL)
 - XOX HORIZONTAL SLIDER (THREE PANEL)
- FLOOR PLAN**
- CO CABED OPENING
 - DBL DOUBLE
 - DN DOWN
 - DW DISHWASHER
 - GD GARBAGE DISPOSAL
 - REF REFRIGERATOR
 - MW MICROWAVE
 - WH WATER HEATER
 - FAL FORCED AIR UNIT
 - AF ABOVE FINISH FLOOR
 - SP SHELF AND POLE
 - VTO VENT TO OUTSIDE



NOTES:

EXTERIOR WALL HEADERS TO BE 3-2x10 W/ 1/2" PLYWOOD SPACERS BETWEEN G4N, UNLESS NOTED OTHERWISE.

INTERIOR BEARING WALL HEADERS TO BE 2-2x8 W/ 1/2" PLYWOOD SPACER BETWEEN G4N, UNLESS NOTED OTHERWISE.

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COORDINATE PREWIRE FOR TV, STEREO, TELEPHONE AND SECURITY SYSTEM WITH OWNER.

MECHANICAL SYSTEM TO BE DESIGNED BY MECHANICAL CONTRACTOR TO MEET OWNER'S NEEDS AND COMPLY WITH LOCAL CODES.

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

TYPICAL ANGLE IS 45° UNLESS NOTED OTHERWISE.

ALL NAILING TO BE IN COMPLIANCE W/ MBC TABLE R602.3(1)

MANUFACTURE TO VERIFY STRUCTURAL MEMBERS CAPACITY TO SUPPORT LOADS AS REQUIRED BY SITE CONDITIONS AND LOCATION PRIOR TO CONSTRUCTION.

WALL BRACING REQUIREMENTS SHALL BE REVIEWED BY LOCAL PROFESSIONAL TO COMPLY WITH MBC R602.10. CONTRACTOR TO REFER TO WALL BRACING DESIGN FOR ADDITIONAL HOLD-DOWN AND NAILING REQUIREMENTS.

BASEMENT FLOOR PLAN
 1,860 SQ.FT. SCALE: 1/4" = 1'-0"

BASEMENT FLOOR PLAN
 NEELIS RESIDENCE
 LOT 13 - DRIFTWOOD CT
 MACKINAC ISLAND, MICHIGAN 49757

TITLE	PROJECT	NO.	REVISION	DATE

SCALE: 1/4" = 1'-0"

DATE: 02/01/2026

DESIGN BY: BPS

DRAWN BY: BPS

PROJECT: 2024-00392

DRAWING: 2024-00392_ARCH-001

SHEET

A1.0
 OF
1.2



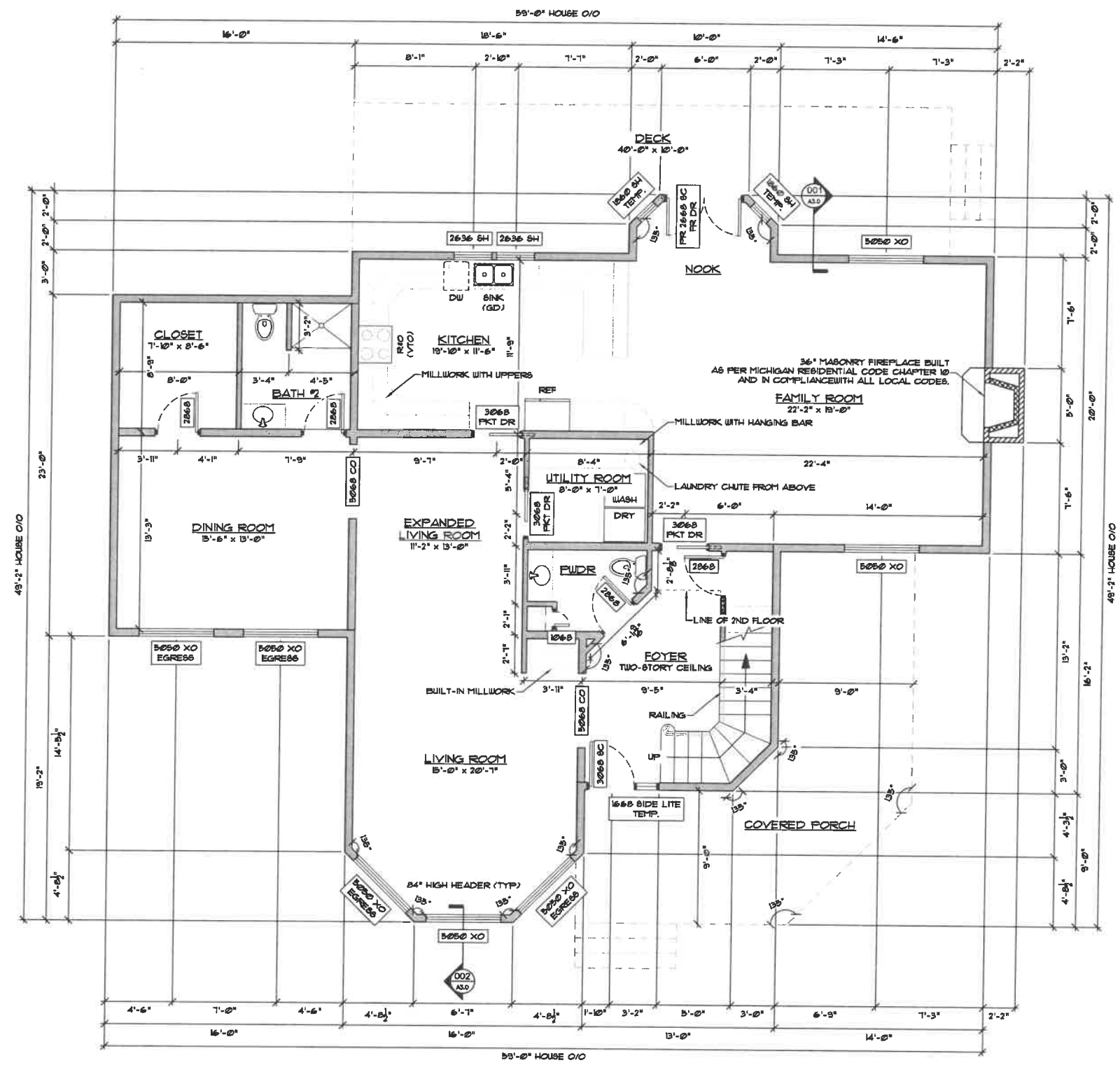
A LIMITED LIABILITY COMPANY

250 ROBINSON ROAD
JACKSON, MI 49203
P: 517-783-0710
F: 517-783-0711

THESE DRAWINGS AND CONCEPTS CONTAINED HERE ARE THE EXCLUSIVE PROPERTY OF AE DESIGN SOLUTIONS AND ARE NOT TO BE DUPLICATED WITHOUT WRITTEN PERMISSION OF AE DESIGN SOLUTIONS.

FIRST FLOOR PLAN
NEELIS RESIDENCE
LOT 13 - DRIFTWOOD CT
MACKINAC ISLAND, MICHIGAN 49757

- LEGEND**
- READING DOOR & WINDOW SIZES**
SIZES ARE LISTED AS FEET/INCHES.
-3068 DOOR IS 3'-0" WIDE x 6'-8" TALL
-5050 WINDOW IS 5'-0" WIDE x 4'-0" TALL
- STANDARD ABBREVIATIONS:**
- DOORS**
BC SOLID CORE
FR DR FRENCH DOOR
PKT DR POCKET DOOR
FR PAIR
BF BI-FOLD
BI-PASS
- WINDOWS**
FX FIXED
CBHT CASEMENT
SH SINGLE HUNG
XO HORIZONTAL SLIDER (TWO PANEL)
XOX HORIZONTAL SLIDER (THREE PANEL)
- FLOOR PLAN**
CO CASED OPENING
DBL DOUBLE
DN DOWN
DU DISHWASHER
GD GARBAGE DISPOSAL
REF REFRIGERATOR
MU MICROWAVE
WH WATER HEATER
FAU FORCED AIR UNIT ABOVE FINISH FLOOR
APF ABOVE FINISH FLOOR
SHP SHELF AND POLE
VTO VENT TO OUTSIDE



FIRST FLOOR
1,860 SQ.FT. SCALE: 1/4" = 1'-0"

- NOTES:**
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TITLE		PROJECT	
NO.	REVISION	ISSUE/DATE	CONSTRUCTION

SCALE: 1/4" = 1'-0"

DATE: 02/01/2026

DESIGN BY: BPS

DRAWN BY: BPS

PROJECT: 2024-00392

DRAWING: 2024-00392_ARCH-001

SHEET

A1.1
OF
1.2

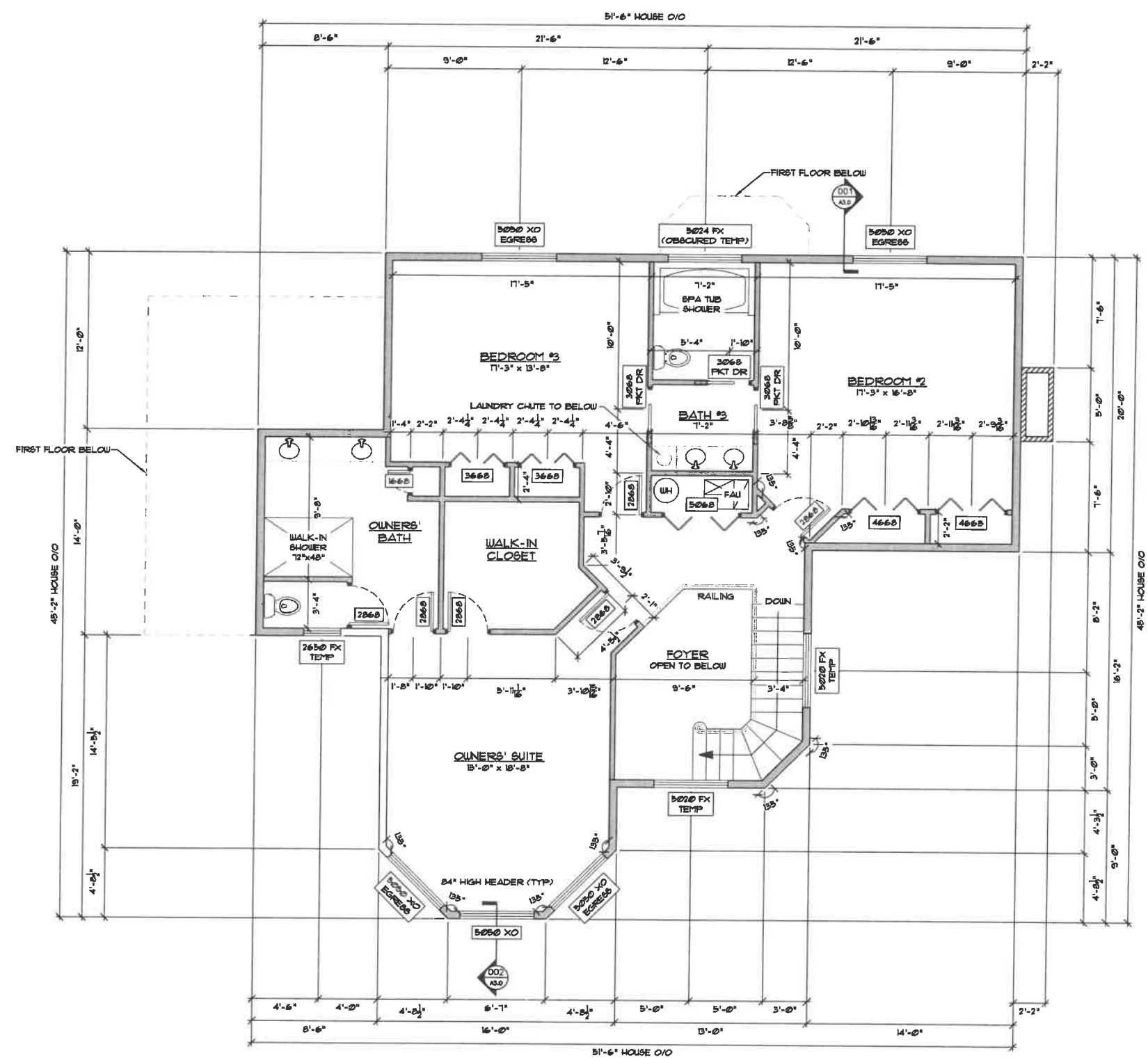


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- LEGEND**
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 - FAU FORCED AIR UNIT
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SECOND FLOOR
1,576 SQ.FT. SCALE: 1/4" = 1'-0"

- NOTES:**
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SECOND FLOOR PLAN
NEELIS RESIDENCE
LOT 13 - DRIFTWOOD CT
MACKINAC ISLAND, MICHIGAN 49757

TITLE		PROJECT	
NO.	REVISION	DATE	ISSUED FOR CONSTRUCTION

SCALE: 1/4" = 1'-0"

DATE: 02/01/2026

DESIGN BY: BPS

DRAWN BY: BPS

PROJECT: 2024-00382

DRAWING: 2024-00392_ARCH-001

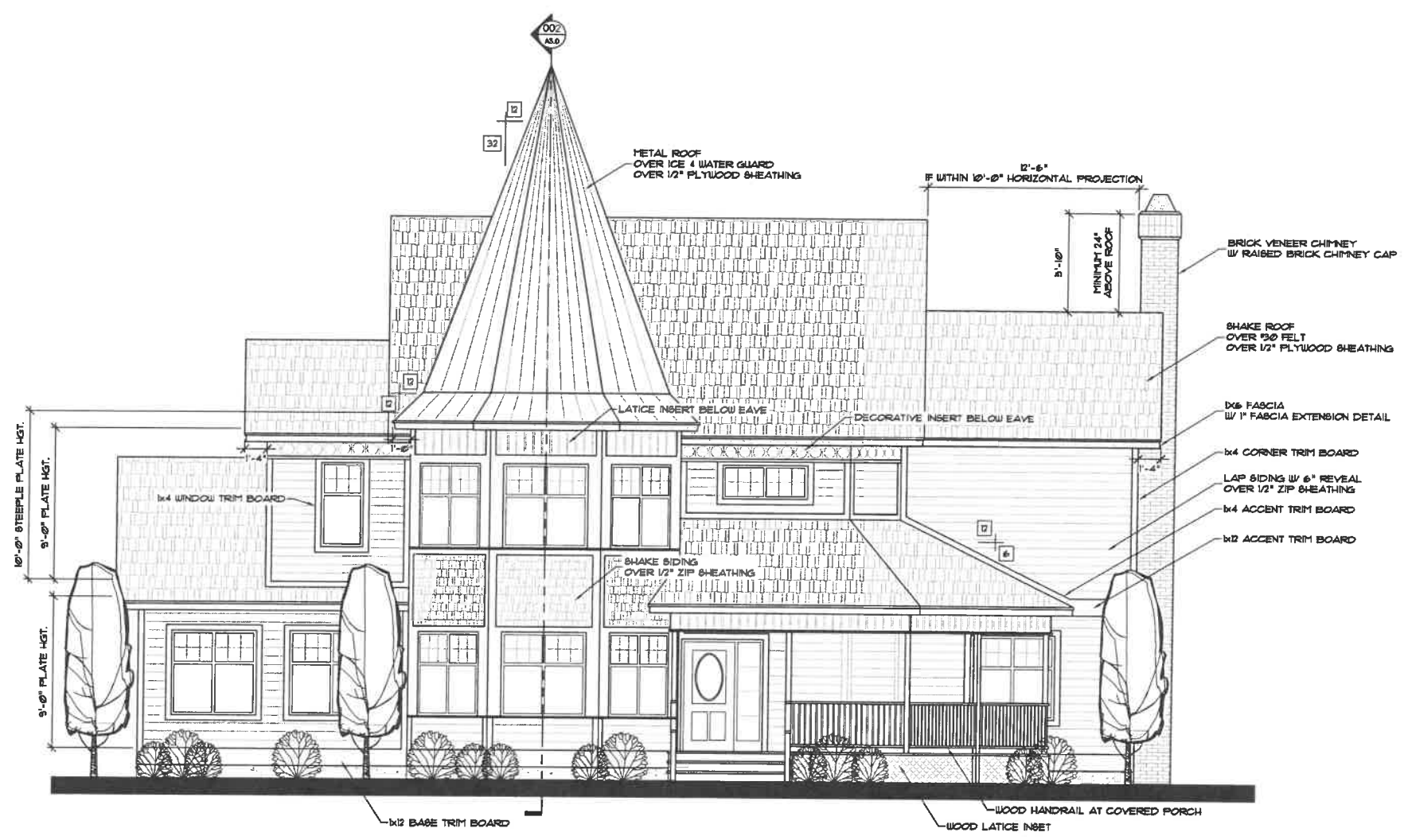
SHEET



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FRONT ELEVATION
SCALE: 1/4" = 1'-0"

FRONT ELEVATION

NEELIS RESIDENCE
LOT 13 - DRIFTWOOD CT
MACKINAC ISLAND, MICHIGAN 49757

NO.	REVISION	DATE
	ISSUED FOR CONSTRUCTION	03/05/24

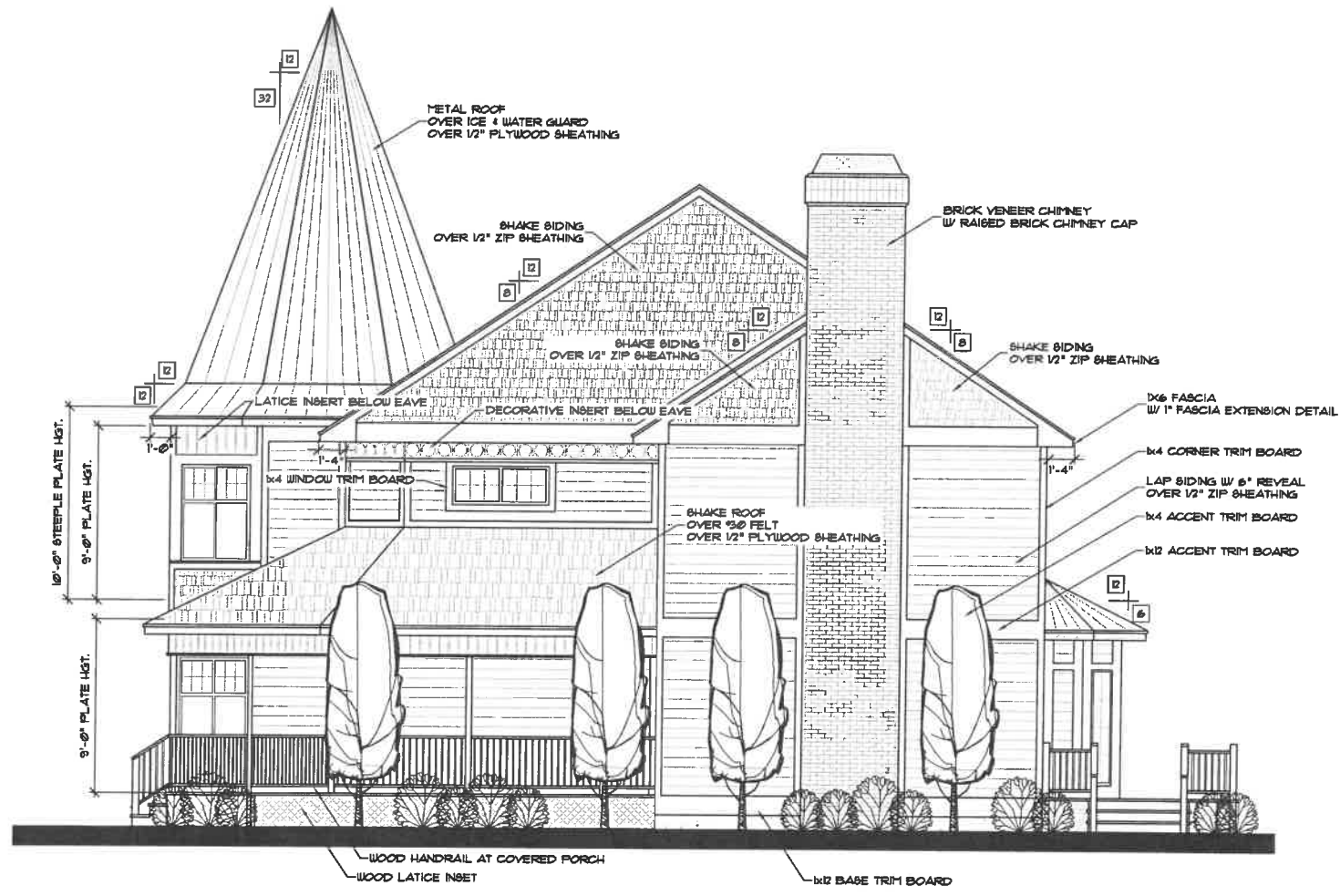
SCALE: 1/4" = 1'-0"
DATE: 02/01/2026
DESIGN BY: BPS
DRAWN BY: BPS
PROJECT: 2024-00392
DRAWING: 2024-00392_ARCH-001
SHEET



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RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

TITLE		PROJECT	
RIGHT ELEVATION		NEELIS RESIDENCE LOT 13 - DRIFTWOOD CT MACKINAC ISLAND, MICHIGAN 49757	
NO.	ISSUED FOR CONSTRUCTION	NO.	DATE
	REVISION		

SCALE: 1/4" = 1'-0"
 DATE: 02/01/2026
 DESIGN BY: BPS
 DRAWN BY: BPS
 PROJECT: 2024-00392
 DRAWING: 2024-00392_ARCH-001

SHEET
A2.1
 OF
2.3



A LIMITED LIABILITY COMPANY

250 ROBINSON ROAD
 JACKSON, MI 49203
 P: 517-783-0710
 F: 517-783-0711

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REAR ELEVATION
 SCALE: 1/4" = 1'-0"

TITLE		PROJECT	
REAR ELEVATION		NEELIS RESIDENCE LOT 13 - DRIFTWOOD CT MACKINAC ISLAND, MICHIGAN 49757	
NO.	REVISION	DATE	DATE

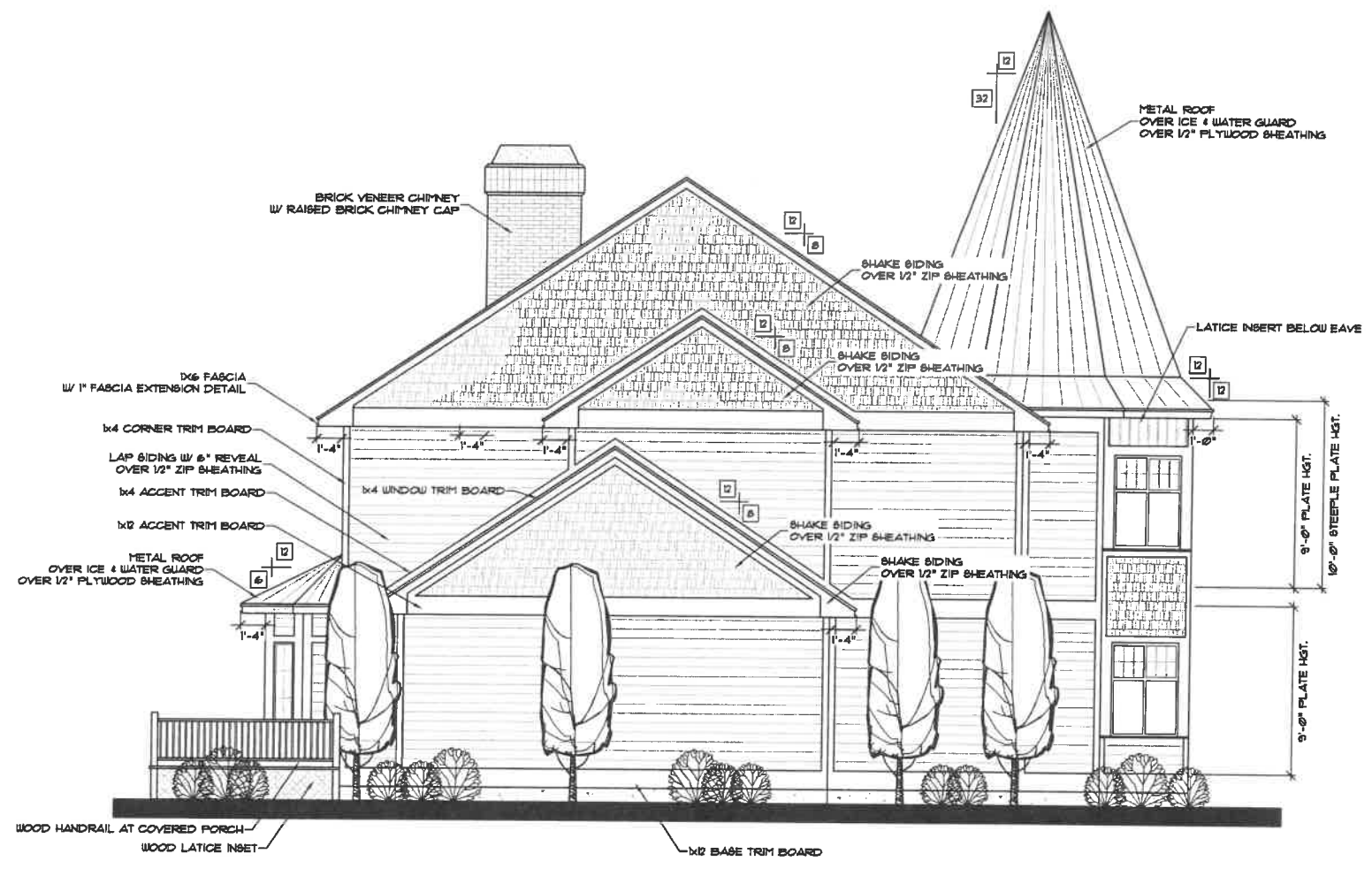
SCALE: 1/4" = 1'-0"
 DATE: 02/01/2026
 DESIGN BY: BPS
 DRAWN BY: BPS
 PROJECT: 2024-00392
 DRAWING: 2024-00392_ARCH-001



A LIMITED LIABILITY COMPANY

250 ROBINSON ROAD
JACKSON, MI 49203
P: 517-783-0710
F: 517-783-0711

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LEFT ELEVATION
SCALE: 1/4" = 1'-0"

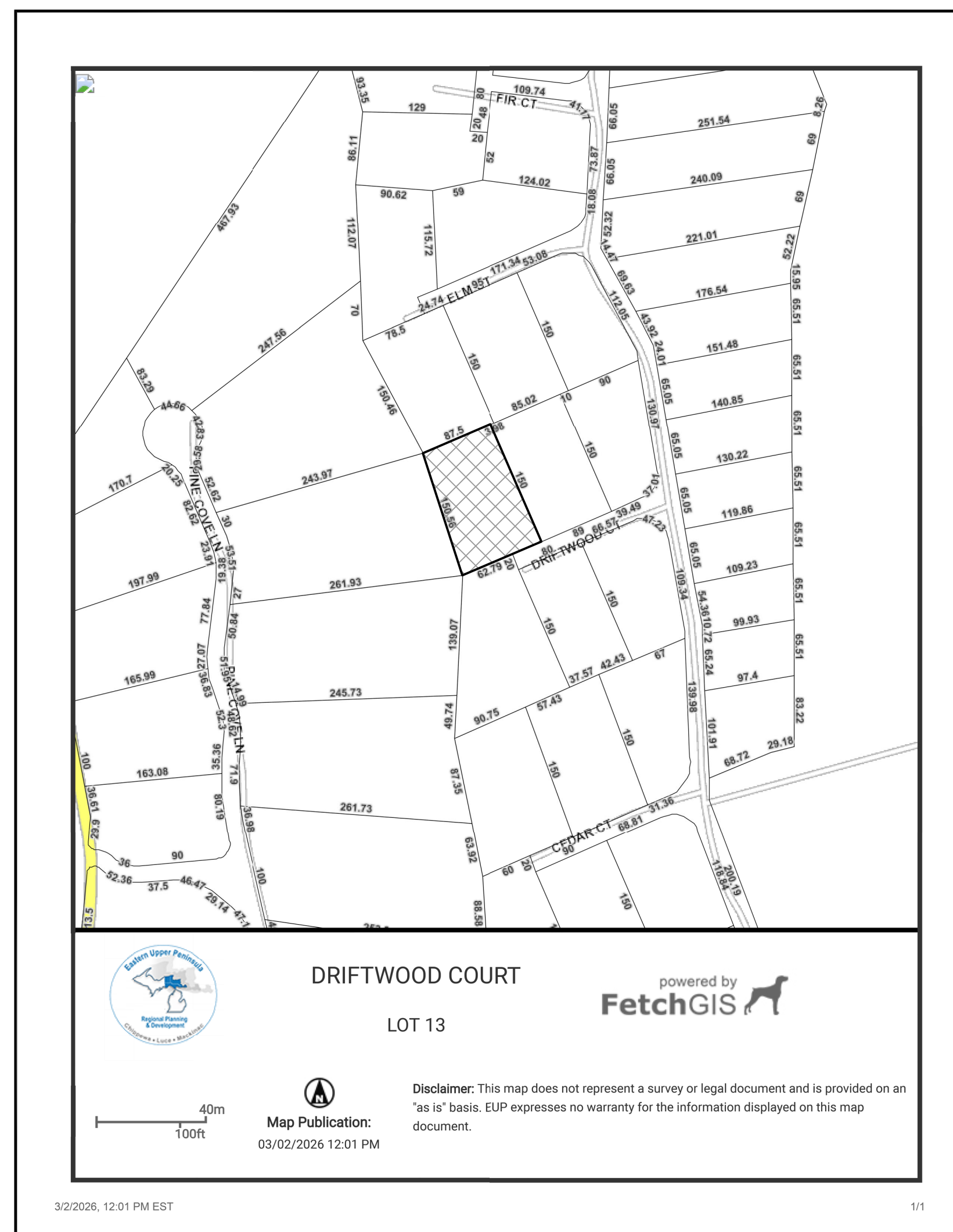
LEFT ELEVATION	
NEELIS RESIDENCE	
LOT 13 - DRIFTWOOD CT	
MACKINAC ISLAND, MICHIGAN 49757	
TITLE	PROJECT
NO.	NO.
ISSUED FOR CONSTRUCTION	REVISION
DATE	DATE

SCALE: 1/4" = 1'-0"
DATE: 02/01/2026
DESIGN BY: BPS
DRAWN BY: BPS
PROJECT: 2024-00392
DRAWING: 2024-00392_ARCH-001
SHEET

A2.3
OF
2.3

NEELIS RESIDENCE

MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN

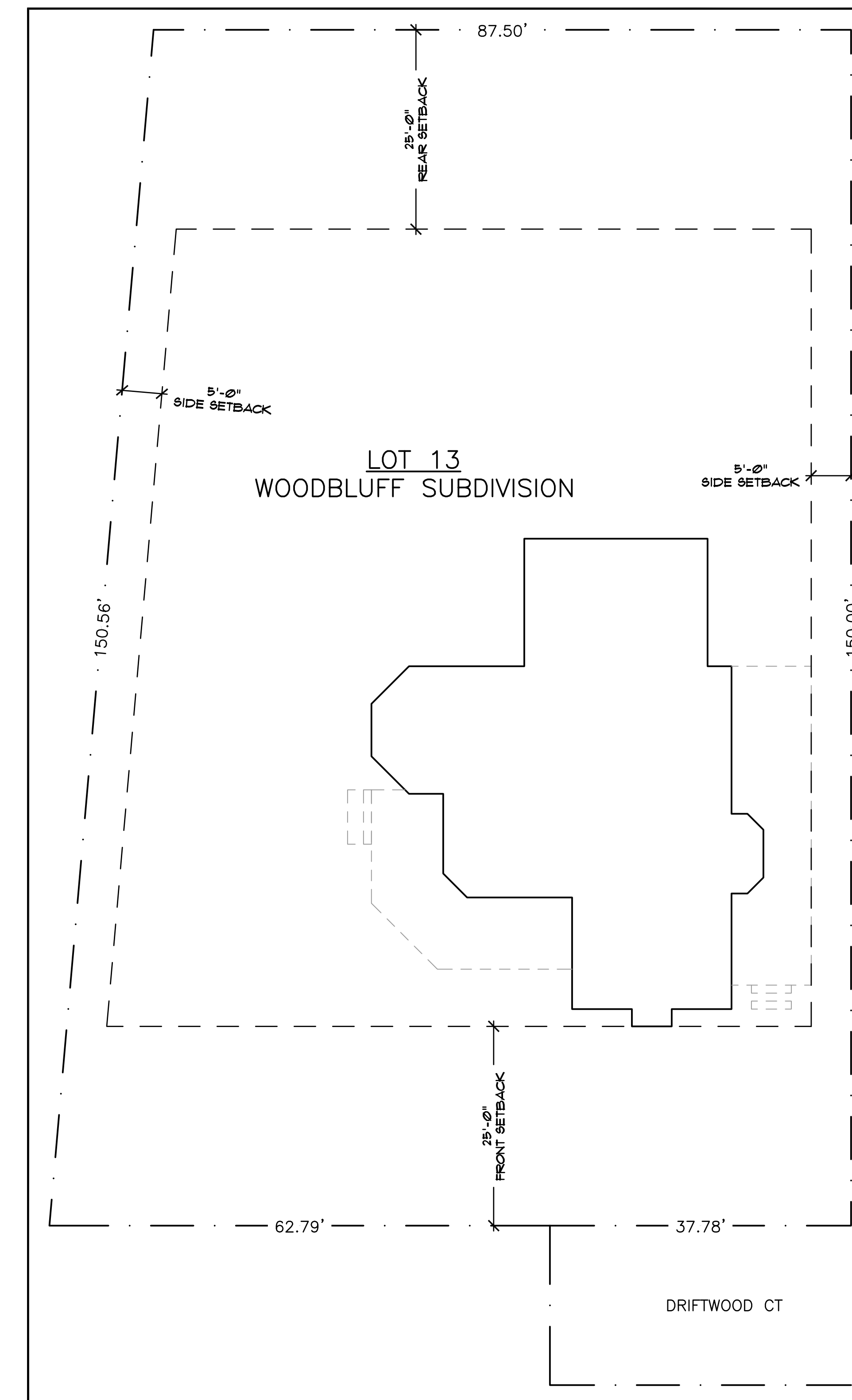


LOCATION MAP
NOT TO SCALE

REVISIONS:		ADDENDUMS:	
NUMBER	REVISED DATE	LETTER	ISSUED DATE
001	03/11/2026		
002	06/15/2026		

DRAWING SHEET INDEX:

SHEET	DESCRIPTION	BID	CONS.	REVISED
T1.0	TITLE SHEET		030526	061526
S1.0	FOUNDATION PLAN		030526	
S2.0	FLOOR FRAMING PLAN - FIRST FLOOR		030526	
S2.1	FLOOR FRAMING PLAN - PORCH & DECK		030526	
S2.2	FLOOR FRAMING PLAN - SECOND FLOOR		030526	
S3.0	ROOF FRAMING PLAN		030526	
A1.0	BASEMENT FLOOR PLAN		030526	
A1.1	FIRST FLOOR PLAN		030526	
A1.2	SECOND FLOOR PLAN		030526	
A2.0	FRONT ELEVATION		030526	
A2.1	RIGHT ELEVATION		030526	
A2.2	REAR ELEVATION		030526	
A2.3	LEFT ELEVATION		030526	
A3.0	WALL SECTIONS		030526	



SITE MAP
SCALE: 3/32" = 1'-0"
"THIS IS NOT A SURVEY"

TITLE SHEET	
PROJECT:	
NEELIS RESIDENCE	
LOT 13 - DRIFTWOOD CT	
MACKINAC ISLAND, MICHIGAN 49757	
TITLE	DATE
NO.	REVISION
001	REVISED PER OWNER
002	REVISED PER OWNER
003	ISSUED FOR CONSTRUCTION

SCALE:	NO SCALE
DATE:	02/01/2026
DESIGN BY:	BPS
DRAWN BY:	BPS
PROJECT:	2024-00392
DRAWING:	2024-00392_ARCH-001
SHEET	

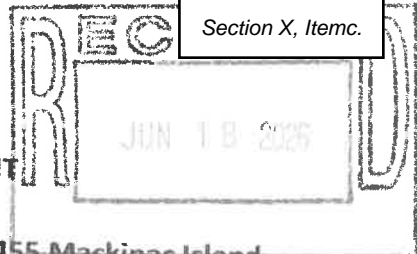
T1.0
OF
1.0

File No. B426034-033

Exhibit A

Date 6/18/24

Initials KQ



CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island,
MI 49757

APPLICANT NAME & CONTACT
INFORMATION:

Please complete both sides of application.
The Fee and five (5) copies of the application, plans
and all required documents must be submitted to
the Zoning Administrator fourteen (14) days prior to
the scheduled Planning Commission Meeting.

GREGG CALLEWAERT
2771 Park Ave

312.593.5515

Phone Number Email Address

Property Owner & Mailing Address (If Different From Applicant)

GREGG CALLEWAERT
P.O. Box 552
Mackinac Island, MI

Is The Proposed Project Part of a Condominium Association?

NO

Is The Proposed Project Within a Historic Preservation District?

NO

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

NO

33 3/8 x 32 1/4

Is a Variance Required?

NO

Are REU's Required? How Many?

1

KGK 9/6/2

Type of Action Requested:

- Standard Zoning Permit Decision
- Appeal of Planning Commission
- Special Land Use
- Ordinance Amendment/Rezoning
- Planned Unit Development
- Ordinance Interpretation
- Other _____

Property Information:

A. Property Number (From Tax Statement): 051-740-034-00

B. Legal Description of Property: Trillium CONDOS #34

C. Address of Property: 2771 PARK AVE.

D. Zoning District: R4

E. Site Plan Checklist Completed & Attached:

F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) _____

G. Sketch Plan Attached: _____

H. Architectural Plan Attached: _____

I. Association Documents Attached (Approval of project, etc.): _____

J. FAA Approval Documents Attached: _____

K. Photographs of Existing and Adjacent Structures Attached: _____

Proposed Construction/Use:

A. Proposed Construction:
 New Building Alteration/Addition to Existing Building
 Other, Specify RESIDENTIAL fence

B. Use of Existing and Proposed Structures and Land:
Existing Use (If Non-conforming, explain nature of use and non-conformity):

Proposed Use: I wish to fence the side and back of my home.

C. If Vacant:
Previous

Use: _____

Proposed

Use: _____

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a**

notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

* Gregg Callwaert SIGNATURES [Signature]
Signature Signature

* GREGG Callwaert Ryan Green
Please Print Name Please Print Name

Signed and sworn to before me on the 18 day of June, 2020.



Kathryn Pereny
Notary Public
Mackinac County, Michigan
My commission expires: 8-7-30

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

OFFICE USE ONLY

FILE NUMBER: R426-034-033 FEE: *150 -

DATE: 6-18-26 CHECK NO: 4137 INITIALS: KD Revised October 2023

October 2023

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. David Lipovsky, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris,	<input type="checkbox"/>	<input checked="" type="checkbox"/>

trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.

13. Proposed construction start date and estimated duration of construction.

14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission

Natural Features

Provided

Not Provided or Applicable

15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)

16. Topography of the site with at least two- to five-foot contour intervals

17. Proposed alterations to topography or other natural features

18. Earth-change plans, if any, as required by state law

Physical Features

Provided

Not Provided or Applicable

19. Location of existing manmade features on the site and within 100 feet of the site

20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site

21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units

- 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
- 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
- 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
- 25. Description of Existing and proposed on-site lighting (see also Section 4.27)

Utility Information

Provided

Not Provided or Applicable

- 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand
- 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)
- 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)
- 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

Demolition

Provided

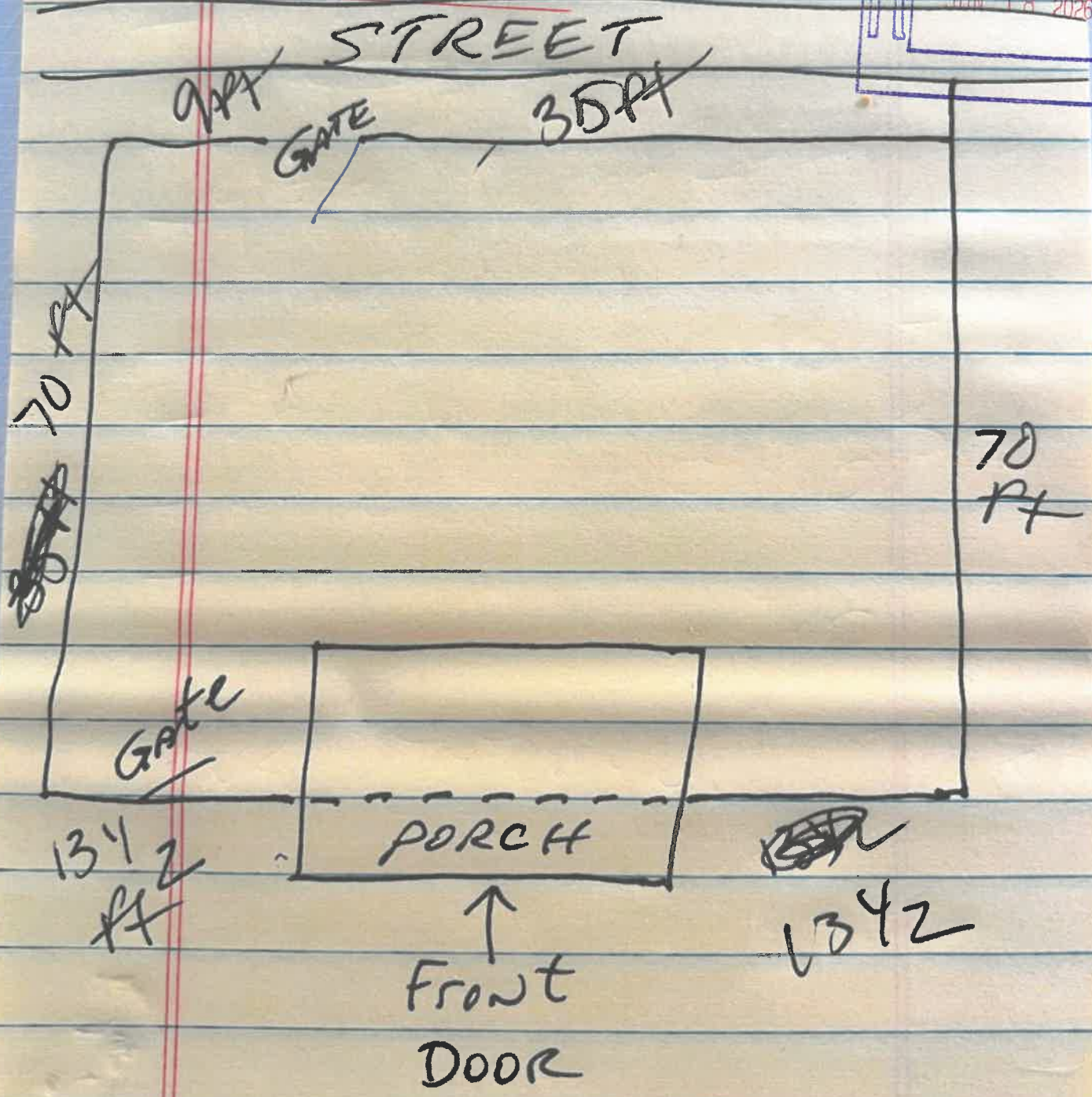
Not Provided
or Applicable

1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.
2. Copy of asbestos survey if required by EGLE or other state department.
3. Results of a pest inspection and, if necessary, a pest management plan.
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

File No. B426.034.033
 Exhibit D
 Date 6.18.26
 Initials KP



white picket to match neighbors

RECEIVED
JUN 18 2026

File No. R426.034.033
Exhibit B
Date 6.18.26
Initials KP



