

CITY OF MACKINAC ISLAND

AGENDA

PLANNING COMMISSION

Tuesday, February 13, 2024 at 1:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

II. Roll Call

III. Pledge of Allegiance

IV. Approval of Minutes

[a.](#) January 9, 2024 Minutes

V. Adoption of Agenda

VI. Correspondence

VII. Staff Report

a. HDC Meeting Summary

b. REU Update

VIII. Committee Reports

a. Master Plan Update

IX. Old Business

[a.](#) R121-038-017 May Dock Permit Extension Request

[b.](#) HB23-002-024 Masco Cottage Reno Zoning Permit Extension Request

[c.](#) MD23-067-023(H) Corner Cottage Reno Permit Extension Request

[d.](#) C23-083-019(H) Gatehouse Reno Permit Extension Request

X. New Business

[a.](#) R324-011-003 Barnwell Fence Replacement

[b.](#) R124-025-006 Murray James New Dock

[c.](#) C24-019-007(H) Coal Dock Improvements

[d.](#) R123-080-093 Lounsbury Convert Existing Lot to Site Condo

XI. Public Comment

XII. Adjournment

MINUTES

PLANNING COMMISSION

Tuesday, January 09, 2024 at 1:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

The meeting was called to order at 1:01 PM.

II. Roll Call

PRESENT

Trish Martin

Jim Pettit

Anneke Myers

Ben Mosley

Mary Dufina

Lee Finkel

ABSENT

Michael Straus

Staff: Erin Evashevski

III. Pledge of Allegiance

IV. Approval of Minutes

a. December 12, 2023 Minutes

Motion to approve as written.

Motion made by Dufina, Seconded by Finkel.

Voting Yea: Martin, Pettit, Myers, Mosley, Dufina, Finkel

V. Adoption of Agenda

Motion to approve as written.

Motion made by Finkel, Seconded by Dufina.

Voting Yea: Martin, Pettit, Myers, Mosley, Dufina, Finkel

VI. Correspondence

None

VII. Staff Report

a. HDC Meeting Summary

Finkel summarized the January 9, 2024 HDC meeting.

b. DPW Update

Burt shared his screen to show construction at the job site for the new plant. They will be pouring concrete this week or next. State permits have all been obtained. Jason St Onge visited the site to make sure the gas storage is acceptable. Some changes were made at St Onge's request. The area is being monitored by several cameras for security.

VIII. Committee Reports

a. Master Plan Update

Myers stated there has not been a meeting due to the holidays. We are waiting on Young for some recommendations based on the surveys received. Pettit stated he does not like the Future Use map. 4th Street is currently commercial and the Future Use map shows it as residential. Pettit stated he purchased his property knowing 4th Street was zoned Commercial and he would like it to stay that way. Pettit asked about electricity for the island and being close to capacity. Myers stated she had heard that rumor as well. Myers suggested that the Planning Commission should reach out to Cloverland and see where we are capacity wise. Motion to have the Planning Commission write a letter to Cloverland addressing electricity capacity and future plans for the City. Pereny is to write the letter and Straus is to review before it is sent.

Motion made by Pettit, Seconded by Finkel.

Voting Yea: Martin, Pettit, Myers, Mosley, Dufina, Finkel

IX. Old Business

None

X. New Business

a. R423-012-108 Hoppenrath Porch & Stair Railings

Mosley asked if the rail height is high enough. It was confirmed that it meets residential requirements. Dufina corrected a couple of items on the application. Dufina also wanted to see the plan for materials and construction as required per the Site Plan Checklist. Pereny is to ask the applicant for this information. Motion to approve the permit contingent on receipt of the construction information.

Motion made by Dufina, Seconded by Martin.
Voting Yea: Martin, Pettit, Myers, Mosley, Dufina, Finkel

XI. Public Comment

Andrew McGreevy updated the Commission on the coal dock work. They will be submitting next month with a full set of plans. Inside work will be starting right away. McGreevy handed out a plan sheet. The old hardware addition on the front will not be part of this project; It will be next year. They will be adding a sliding door on the 2nd story and a side door will lead to the 2nd story. O'Boyle Construction will be doing the work.

David Jurcak gave an update on the retaining wall project. There were some issues with the soil at the base, so they must dig deeper. Some architectural fabric will be used for stabilization. Alot of the stones have arrived on the island. All of the aggregate is on site. They expect to finish late February. The road base will be aggregate until they can do the asphalt. The facade update includes scraping old paint and 3rd floor windows . It has been discovered that the pillars in the front don't have beams in them so they will be adding those. Bead board is being removed to fix leaks.

XII. Adjournment

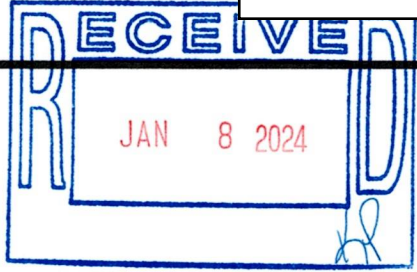
Motion to adjourn at 1:34 PM.

Motion made by Myers, Seconded by Dufina.
Voting Yea: Martin, Pettit, Myers, Mosley, Dufina, Finkel

Lee Finkel, Acting Chair

Katie Pereny, Secretary

Katie Pereny



From: nancyemay <nancyemay@earthlink.net>
Sent: Monday, January 8, 2024 1:27 PM
To: Katie Pereny
Subject: Dock renewal

To the City of Mackinac Island:

I am writing to request an extension on the permit to build a dock at 6917 Main Street, Mackinac Island. My current permit expires in March of 2024.

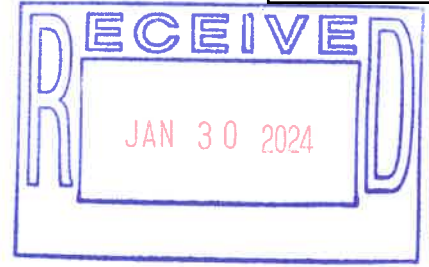
Thank you for your consideration.

Nancy May

HopkinsBurns

DESIGN STUDIO

historic preservation & design
communities by design



January 30, 2024

Mr. Dennis Dombroski
Zoning Administrator
City of Mackinac Island
P. O. Box 455
Mackinac Island, MI 49757

File No. HB23.002.024
Exhibit I
Date 1.30.24
Initials KP

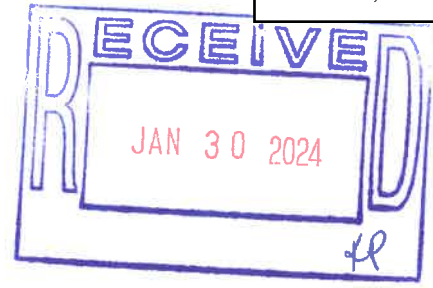
RE: Request for Extension
Zoning Permit for 1891 Cadotte Avenue (Masco Cottage)

Dear Dennis,

Zoning approval was granted by the Mackinac Island Planning Commission on May 9, 2023 for the renovation project at 1891 Cadotte Avenue (Masco Cottage) (Property Number 051-780-002-00), Mackinac Island. I am writing this letter on behalf of Michael McHale of Davidson Hospitality to request an extension of the Zoning Permit for one year.

Sincerely,

Tamara E. L. Burns, FAIA
Principal



January 30, 2024

Mr. Dennis Dombroski
Zoning Administrator
City of Mackinac Island
P. O. Box 455
Mackinac Island, MI 49757

File No. MD23-067-023(A)
Exhibit R
Date 1.30.24
Initials KP

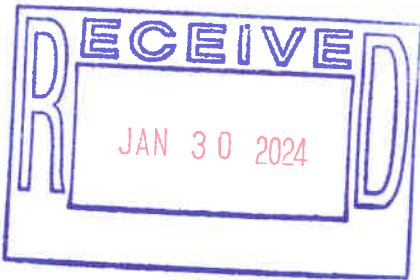
RE: Request for Extension
Zoning Permit for 7714 Main Street (Corner Cottage)

Dear Dennis,

Zoning approval was granted by the Mackinac Island Planning Commission on June 13, 2023 for the renovation project at 7714 Main Street (Corner Cottage) (Property Number 051-575-067-00), Mackinac Island. I am writing this letter on behalf of Michael McHale of Davidson Hospitality to request an extension of the Zoning Permit for one year.

Sincerely,

Tamara E. L. Burns, FAIA
Principal



January 30, 2024

Mr. Dennis Dombroski
Zoning Administrator
City of Mackinac Island
P. O. Box 455
Mackinac Island, MI 49757

File No. C23-083-019(H)
Exhibit S
Date 1-30-24
Initials KP

RE: Request for Extension
Zoning Permit for 1547 Cadotte Avenue (Gatehouse Restaurant)

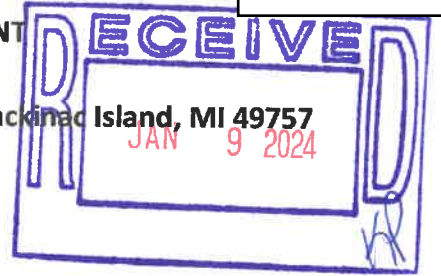
Dear Dennis,

Zoning approval was granted by the Mackinac Island Planning Commission on April 11, 2023 for the Gatehouse alterations project at 1547 Cadotte Avenue (Property Number 051-575-083-00), Mackinac Island. I am writing this letter on behalf of Michael McHale of Davidson Hospitality to request an extension of the Zoning Permit for one year.

Sincerely,

Tamara E. L. Burns, FAIA
Principal

CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION



906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Mary Jane Barnwell
1230 Mission St Mackinac Island
231 881 2343 islandbookstore@gmail.com
Phone Number Email Address

File No. R324. 011-003
Exhibit A
Date 1-9-24
Initials KP

Property Owner & Mailing Address (If Different From Applicant)

Is The Proposed Project Part of a Condominium Association? No
Is The Proposed Project Within a Historic Preservation District? No
Applicant's Interest in the Project (If not the Fee-Simple Owner): Owner
Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? No
Is a Variance Required? No
Are REU's Required? How Many? No /

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other Fence Installation Request
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-500-011-00
- B. Legal Description of Property: [Handwritten]
- C. Address of Property: 1230 Mission St Mackinac Island, MI 49757
- D. Zoning District: R-3
- E. Site Plan Checklist Completed & Attached:
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance)
- G. Sketch Plan Attached:
- H. Architectural Plan Attached:
- I. Association Documents Attached (Approval of project, etc.):
- J. FAA Approval Documents Attached:
- K. Photographs of Existing and Adjacent Structures Attached:

Proposed Construction/Use:

- A. Proposed Construction:
New Building Alteration/Addition to Existing Building
Other, Specify

- B. Use of Existing and Proposed Structures and Land:
Existing Use (If Non-conforming, explain nature of use and non-conformity):

R324. 011. 003 1-9-24 \$150- KP

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Mary Jane Barnwell
Signature

SIGNATURES _____
Signature

Mary Jane Barnwell
Please Print Name

Please Print Name

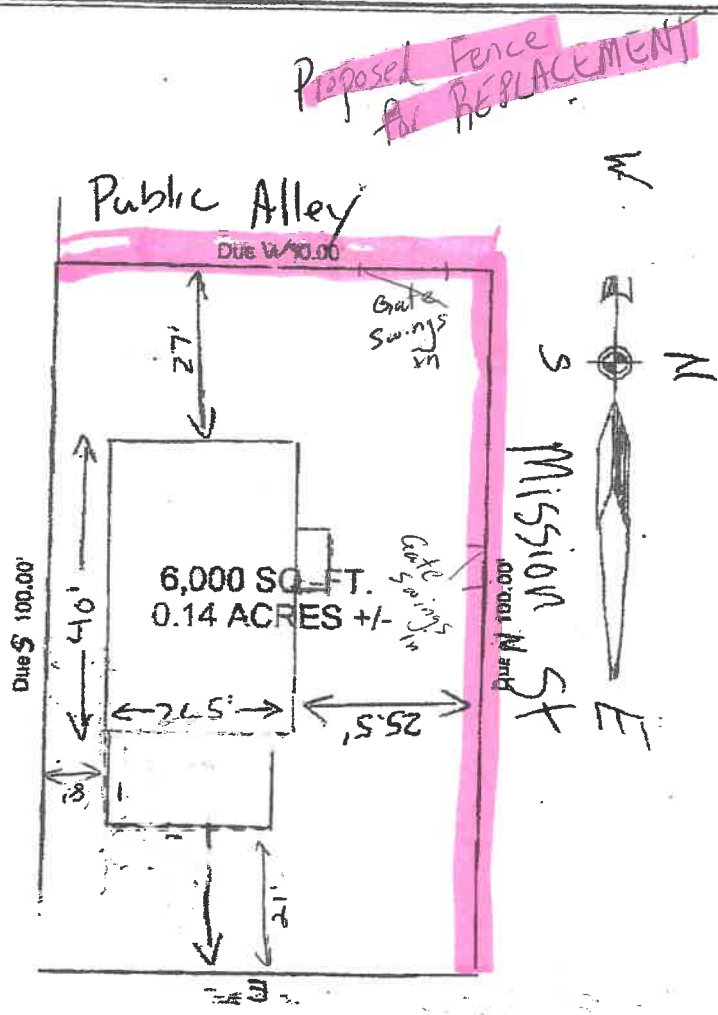
Signed and sworn to before me on the 2nd day of January, 2024.

K. RICKLEY, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 10/21/2025

K. Rickley
Notary Public
Mackinac County, Michigan
My commission expires: 10/21/2025

FLOORPLAN

Borrower: Mary Jane Barrwell	File No.: 053719
Property Address: 1230 Mission Street	Case No.: 500003
City: Mackinac Island	State: MI
Lender: National City Mortgage	Zip: 49757



SITE SKETCH

File No. R324-011-003

Exhibit B

Date 1-9-24

Initials KP

Subj. Appl. No.

Comments:

Subject Site
 Beginning at a point of the Tract described by Metes and Bounds as follows:
TRENC Due North, a distance of 100.00 Feet;
TRENC Due East, a distance of 60.00 Feet;
TRENC Due South, a distance of 100.00 Feet;
TRENC Due West, a distance of 60.00 Feet to point of beginning;
 Said tract containing 0.14 acres (6000.00 sqft.) of land, more or less.
 Perimeter = 220.00 Feet
 No significant error of closure.

Manchester

Section X, Itema.

EXTRUDED CLASSIC FENCE



White

Manchester Concave in White

3' tall

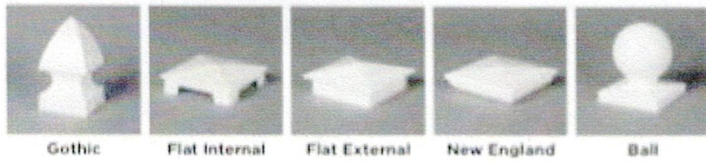
Manchester

Thru-picket "good neighbor" design is equally attractive on both sides. Thru-picket styles are 8' wide.

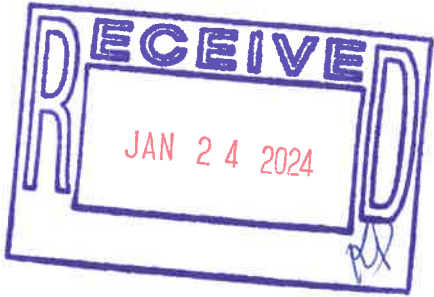
Heights: 3' ~~& 4'~~
Picket Style: 1-1/2" Square
Picket Spacing: 1-9/16"
Steel Reinforced Bottom Rail

Cap Styles (shown in White)

File No B324 011-003
Exhibit D
Date 1.30.24
Initials KP



James J. Murray
6859 Main Street
Mackinac Island, MI 49757
231-838-6102



January 23, 2024

City of Mackinac Island
Planning and Building Department
PO Box 455
Mackinac Island, MI 49757

RE: James Murray
6859 Main Street
Mackinac Island, MI 49757

File No. R124-025-004
Exhibit C
Date 1-24-24
Initials JM

Dear Planning and Building Department:

As the owner of the above-referenced property, I am seeking Planning Commission approval for construction of a dock. In support of the request, enclosed are the following documents:

1. Application for Zoning Action
2. Site Plan Review Checklist
3. Check payable to the City in the amount of \$150.00 for the application fee
4. Notice of Authorization from EGLE dated December 21, 2023, wherein the State of Michigan approved the construction of the proposed dock
5. Topographical survey with hand-written notes depicting set-back and location consistent with EGLE approval
6. Clean copy of topographical survey
7. Topographical survey including Lake Huron elevations and soundings

In support of the application, consistent with the requirements found in Section 20.04 and elsewhere in the City Code of Ordinances, I offer the following:

- There will be no adverse effect on adjoining lands.
- No freight hauling plan is applicable as all materials and construction will be performed by Breezeswept of Cedarville, Michigan, consistent with the plan approved by EGLE, complete contained on their barge.
- No motor vehicle permit is required, and all trash, debris and other construction materials will also be completely retained on the Breezeswept barge and removed by the Breezeswept barge.

- Construction is proposed for the spring or summer of 2024. The exact time is weather dependent as the barge travels from Cedarville, Michigan and needs favorable weather.
- Estimated duration of construction is 2 days.

If I failed to provide any necessary information or if you have questions, please furnish those to me prior to the hearing in order that I may supplement the application.

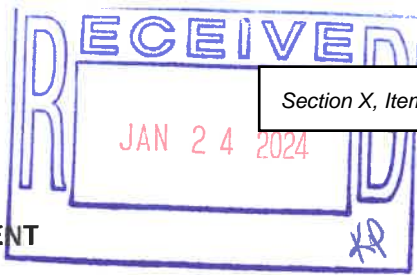
Very truly yours,



James J. Murray

JJM/ttl

Enclosures



Section X, Itemb.

CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

James Murray
6859 Main St. Mackinac Island
231-838-6102 "jmurray@plunkett-cooney.com"
Phone Number Email Address

Please complete both sides of application.
The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

same

- Is The Proposed Project Part of a Condominium Association? NO
- Is The Proposed Project Within a Historic Preservation District? NO
- Applicant's Interest in the Project (If not the Fee-Simple Owner): OWNER
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO
- Is a Variance Required? NO
- Are REU's Required? How Many? NO /

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other _____
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-525-025-10
- B. Legal Description of Property: on file and see attached.
- C. Address of Property: 6859 Main St.
- D. Zoning District: R-1
- E. Site Plan Checklist Completed & Attached: Yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes
- G. Sketch Plan Attached: Yes
- H. Architectural Plan Attached: N/A
- I. Association Documents Attached (Approval of project, etc.): N/A
- J. FAA Approval Documents Attached: N/A
- K. Photographs of Existing and Adjacent Structures Attached: on file with City

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Other, Specify Dock
- Alteration/Addition to Existing Building

File No. R124-025-006
Exhibit A
Date 1-24-24
Initials KP

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Residential

Proposed Use: Residential

C. If Vacant:

Previous Use: N/A

Proposed Use: _____

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Signature _____ SIGNATURES James Murray _____
Signature

Please Print Name James Murray _____
Please Print Name

Signed and sworn to before me on the 23rd day of January, 2024.

TREISHA L. LARSON
NOTARY PUBLIC, STATE OF MI
COUNTY OF CHEBOYGAN
MY COMMISSION EXPIRES Jun 13, 2025
ACTING IN COUNTY OF Emmet

Treisha L. Larson _____
Notary Public

Cheboygan County, Michigan, acting in Emmet
My commission expires: 6/13/2025 County Michigan

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: R124-025-006 FEE: \$150.00
DATE: 1.24.24 CHECK NO: 1300 INITIALS: KL Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.
- 13. Proposed construction start date and estimated duration of construction.
- 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission

Natural Features

Provided

Not Provided
or Applicable

- 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)
- 16. Topography of the site with at least two- to five-foot contour intervals
- 17. Proposed alterations to topography or other natural features
- 18. Earth-change plans, if any, as required by state law

Physical Features

Provided

Not Provided
or Applicable

- 19. Location of existing manmade features on the site and within 100 feet of the site
- 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site
- 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a

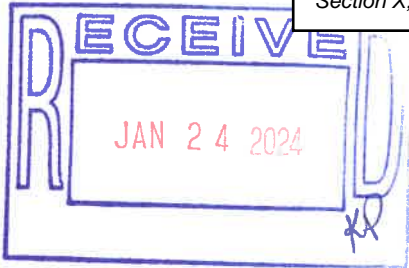
dwelling schedule showing the unit type and number of each such units		
22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features	<input checked="" type="checkbox"/>	<input type="checkbox"/>
23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
25. Description of Existing and proposed on-site lighting (see also Section 4.27)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input checked="" type="checkbox"/>	<input type="checkbox"/>
27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>



NOTICE OF AUTHORIZATION

Permit Number: WRP039894 v. 1
Site Name: 49-6859 Main St.-City of Mackinac Island

Date Issued: December 21, 2023
Expiration Date: December 21, 2028

The Michigan Department of Environment, Great Lakes, and Energy (EGLE), Water Resources Division, P.O. Box 30458, Lansing, Michigan 48909-7958, under provisions of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended; specifically:

- Part 31, Floodplain Regulatory Authority of the Water Resources Protection.
- Part 301, Inland Lakes and Streams.
- Part 303, Wetlands Protection.
- Part 315, Dam Safety.
- Part 323, Shorelands Protection and Management.
- Part 325, Great Lakes Submerged Lands.
- Part 353, Sand Dunes Protection and Management.

File No. RI24-025-006
 Exhibit B
 Date 1-24-24
 Initials KP

Authorized Activity:

Install a permanent 128-foot-long by 8-foot-wide, elevated, open pile dock constructed of wood.
 Authority granted by this permit does not waive any jurisdiction of the United States Army Corps of Engineers or the need for a federal permit.
 All work shall be completed in accordance with the attached plans and the terms and conditions of this permit.

Waterbody Affected: Lake Huron
Property Location: Mackinac County, Mackinac Island, T40N/R03W/Section 24
 Property Tax No. 051-525-025-10

Permittee:
 James Murray
 1000 Grand Ave.
 Petoskey, MI 49770-2596

Cassie Abrams
 Cassie Abrams
 Marquette District Office
 Water Resources Division
 906-869-0745

*This notice must be displayed at the site of work.
 Laminating this notice or utilizing sheet protectors is recommended.
 Please refer to the above permit number with any questions or concerns.*

EGLE
 WRP039894 v1.0
 Approved
 Issued On: 12/21/2023
 Expires On: 12/21/2028



MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES, AND ENERGY
WATER RESOURCES DIVISION
PERMIT

Issued To:

James Murray
1000 Grand Ave.
Petoskey, MI 49770-2596

Permit No: WRP039894 v.1
Submission No.: HPY-G3M0-KNEKM
Site Name: 49-6859 Main St.-City of Mackinac Island
Issued: December 21, 2023
Expires: December 21, 2028

This permit is being issued by the Michigan Department of Environment, Great Lakes, and Energy (EGLE), Water Resources Division, under the provisions of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA); specifically:

- Part 301, Inland Lakes and Streams
- Part 303, Wetlands Protection
- Part 315, Dam Safety
- Part 31, Water Resources Protection (Floodplain Regulatory Authority)
- Part 323, Shorelands Protection and Management
- Part 325, Great Lakes Submerged Lands
- Part 353, Sand Dunes Protection and Management

EGLE certifies that the activities authorized under this permit are in compliance with the State Coastal Zone Management Program and certifies without conditions under the Federal Clean Water Act, Section 401 that the discharge from the activities authorized under this permit will comply with Michigan's water quality requirements in Part 31, Water Resources Protection, of the NREPA and associated administrative rules, where applicable.

Permission is hereby granted, based on permittee assurance of adherence to State of Michigan requirements and permit conditions, to:

Authorized Activity:

Install a permanent 128-foot-long by 8-foot-wide, elevated, open pile dock constructed of wood.
Authority granted by this permit does not waive any jurisdiction of the United States Army Corps of Engineers or the need for a federal permit.
All work shall be completed in accordance with the attached plans and the terms and conditions of this permit.

Waterbody Affected: Lake Huron
Property Location: Mackinac County, Mackinac Island, T40N/R03W/Section 24
Property Tax No. 051-525-025-10

EGLE
WRP039894 v1.0
Approved
Issued On: 12/21/2023
Expires On: 12/21/2028

Authority granted by this permit is subject to the following limitations:

- A. Initiation of any work on the permitted project confirms the permittee's acceptance and agreement to comply with all terms and conditions of this permit.
- B. The permittee, in exercising the authority granted by this permit, shall not cause unlawful pollution as defined by Part 31 of the NREPA.
- C. This permit shall be kept at the site of the work and available for inspection at all times during the duration of the project or until its date of expiration.
- D. All work shall be completed in accordance with the approved plans and specifications submitted with the application and/or plans and specifications attached to this permit.
- E. No attempt shall be made by the permittee to forbid the full and free use by the public of public waters at or adjacent to the structure or work approved.
- F. It is made a requirement of this permit that the permittee give notice to public utilities in accordance with 2013 PA 174 (Act 174) and comply with each of the requirements of Act 174.
- G. This permit does not convey property rights in either real estate or material, nor does it authorize any injury to private property or invasion of public or private rights, nor does it waive the necessity of seeking federal assent, all local permits, or complying with other state statutes.
- H. This permit does not prejudice or limit the right of a riparian owner or other person to institute proceedings in any circuit court of this state when necessary to protect his rights.
- I. This permit shall not be assigned or transferred without the written approval of EGLE.
- J. Failure to comply with conditions of this permit may subject the permittee to revocation of permit and criminal and/or civil action as cited by the specific state act, federal act, and/or rule under which this permit is granted.
- K. All dredged or excavated materials shall be disposed of in an upland site (outside of floodplains, unless exempt under Part 31 of the NREPA, and wetlands).
- L. In issuing this permit, EGLE has relied on the information and data that the permittee has provided in connection with the submitted application for permit. If, subsequent to the issuance of a permit, such information and data prove to be false, incomplete, or inaccurate, EGLE may modify, revoke, or suspend the permit, in whole or in part, in accordance with the new information.
- M. The permittee shall indemnify and hold harmless the State of Michigan and its departments, agencies, officials, employees, agents, and representatives for any and all claims or causes of action arising from acts or omissions of the permittee, or employees, agents, or representative of the permittee, undertaken in connection with this permit. The permittee's obligation to indemnify the State of Michigan applies only if the state: (1) provides the permittee or its designated representative written notice of the claim or cause of action within 30 days after it is received by the state, and (2) consents to the permittee's participation in the proceeding on the claim or cause of action. It does not apply to contested case proceedings under the Administrative Procedures Act, 1969 PA 306, as amended, challenging the permit. This permit shall not be construed as an indemnity by the State of Michigan for the benefit of the permittee or any other person.
- N. Noncompliance with these terms and conditions and/or the initiation of other regulated activities not specifically authorized shall be cause for the modification, suspension, or revocation of this permit, in whole or in part. Further, EGLE may initiate criminal and/or civil proceedings as may be deemed necessary to correct project deficiencies, protect natural resource values, and secure compliance with statutes.
- O. If any change or deviation from the permitted activity becomes necessary, the permittee shall request, in writing, a revision of the permitted activity from EGLE. Such revision request shall include complete documentation supporting the modification and revised plans detailing the proposed modification. Proposed modifications must be approved, in writing, by EGLE prior to being implemented.
- P. This permit may be transferred to another person upon written approval of EGLE. The permittee must submit a written request to EGLE to transfer the permit to the new owner. The new owner must also submit a written request to EGLE to accept transfer. The new owner must agree, in writing, to accept all conditions of the permit. A single letter signed by both parties that includes all the above information may be provided to EGLE. EGLE will review the request and, if approved, will provide written notification to the new owner.
- Q. Prior to initiating permitted construction, the permittee is required to provide a copy of the permit to the contractor(s) for review. The property owner, contractor(s), and any agent involved in exercising the permit

EGLE
 WRP039894 v.1.0
 Approved
 Issued On:12/21/2023
 Expires On:12/21/2028

are held responsible to ensure that the project is constructed in accordance with all drawings and specifications. The contractor is required to provide a copy of the permit to all subcontractors doing work authorized by the permit.

- R. Construction must be undertaken and completed during the dry period of the wetland. If the area does not dry out, construction shall be done on equipment mats to prevent compaction of the soil.
- S. Authority granted by this permit does not waive permit requirements under Part 91, Soil Erosion and Sedimentation Control, of the NREPA, or the need to acquire applicable permits from the County Enforcing Agent (CEA).
- T. Authority granted by this permit does not waive permit requirements under the authority of Part 305, Natural Rivers, of the NREPA. A Natural Rivers Zoning Permit may be required for construction, land alteration, streambank stabilization, or vegetation removal along or near a natural river.
- U. The permittee is cautioned that grade changes resulting in increased runoff onto adjacent property is subject to civil damage litigation.
- V. Unless specifically stated in this permit, construction pads, haul roads, temporary structures, or other structural appurtenances to be placed in a wetland or on bottomland of the water body are not authorized and shall not be constructed unless authorized by a separate permit or permit revision granted in accordance with the applicable law.
- W. For projects with potential impacts to fish spawning or migration, no work shall occur within fish spawning or migration timelines (i.e., windows) unless otherwise approved in writing by the Michigan Department of Natural Resources, Fisheries Division.
- X. Work to be done under authority of this permit is further subject to the following special instructions and specifications:
 1. Authority granted by this permit does not waive permit or program requirements under Part 91 of the NREPA or the need to acquire applicable permits from the CEA. To locate the Soil Erosion Program Administrator for your county, visit <https://www.michigan.gov/egle/about/organization/water-resources/soil-erosion/sesc-overview> and select "Soil Erosion and Sedimentation Control Agencies".
 2. The authority to conduct the activity as authorized by this permit is granted solely under the provisions of the governing act as identified above. This permit does not convey, provide, or otherwise imply approval of any other governing act, ordinance, or regulation, nor does it waive the permittee's obligation to acquire any local, county, state, or federal approval or authorization necessary to conduct the activity.
 3. No fill, excess soil, or other material shall be placed in any wetland, floodplain, or surface water area not specifically authorized by this permit, its plans, and specifications.
 4. This permit does not authorize or sanction work that has been completed in violation of applicable federal, state, or local statutes.
 5. This permit authorizes construction of dock(s) or pier(s) for private, non-commercial use for individuals residing at 6859 Main St.
 6. Dock(s) or pier(s) shall be of open construction without fill, maintaining free water movement and circulation.
 7. The dock must be located such that boat dockage shall not interfere with riparian rights.
 8. Additional attachments to permitted structures, including but not limited to roofs, sidewalls, handrails, benches, decks, docks, piers, or extensions thereof, are **not** authorized by this permit.
 9. Dredging is not authorized by this permit. Filling is not authorized by this permit.
 10. **No work or dredging within the water authorized by this permit is allowed from October 15 to December 1 due to critical spawning, migration, and/or recreational use periods.**
 11. No work is authorized from October 15 to December 1 to protect spa
 12. The permit placard shall be kept posted at the work site in a prominent location at all times for the duration of the project or until permit expiration.

13. This permit is being issued for the maximum time allowed and no extensions of this permit will be granted. Initiation of the construction work authorized by this permit indicates the permittee's acceptance of this condition. The permit, when signed by EGLE, will be for a five-year period beginning on the date of issuance. If the project is not completed by the expiration date, a new permit must be sought.

Issued By: Cassie Abrams
Cassie Abrams
Marquette District Office
Water Resources Division
906-869-0745

THIS PERMIT MUST BE SIGNED BY THE PERMITTEE TO BE VALID.

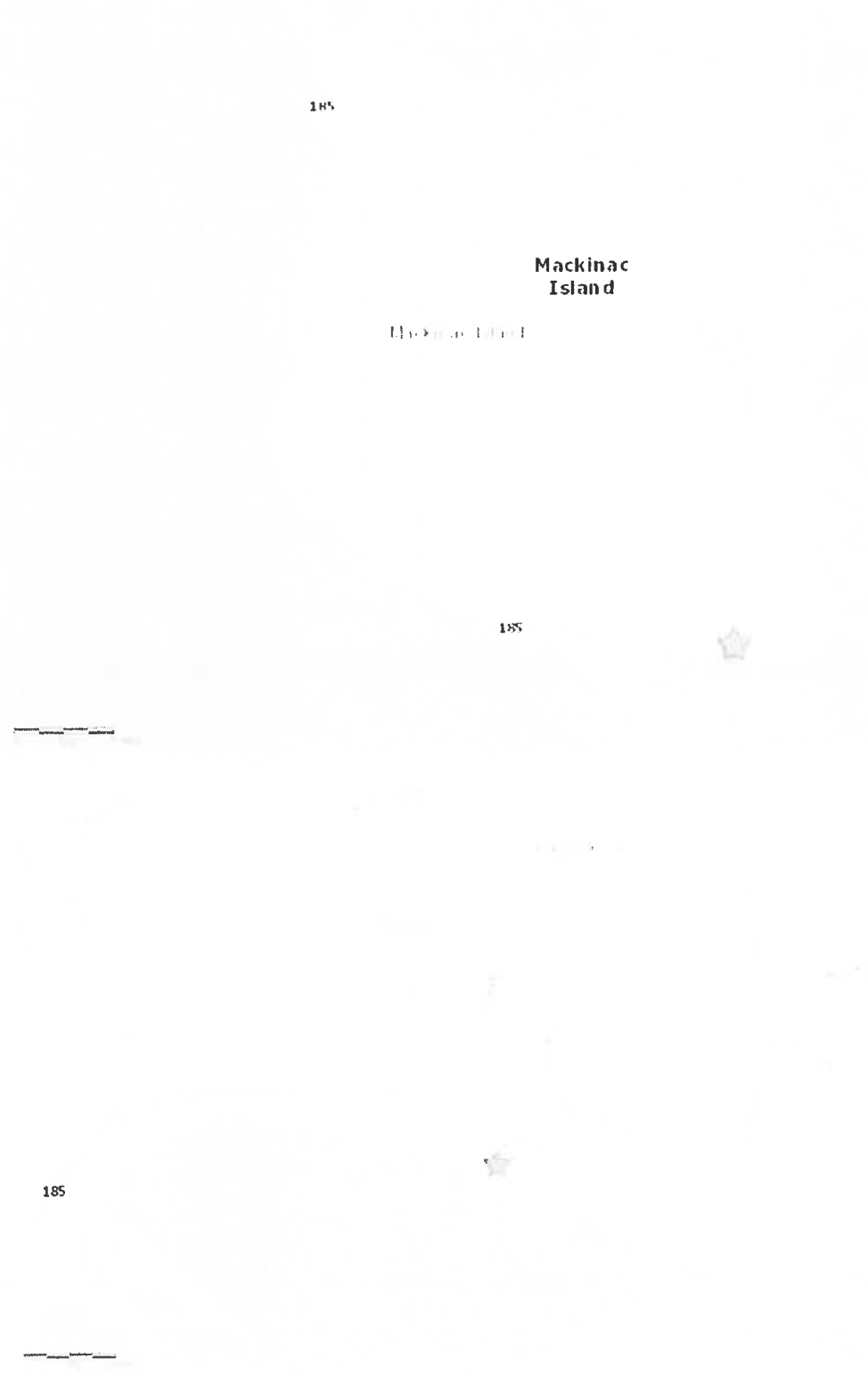
I hereby assure that I have read, am familiar with, and agree to adhere to the terms and conditions of this permit.

Permittee Signature

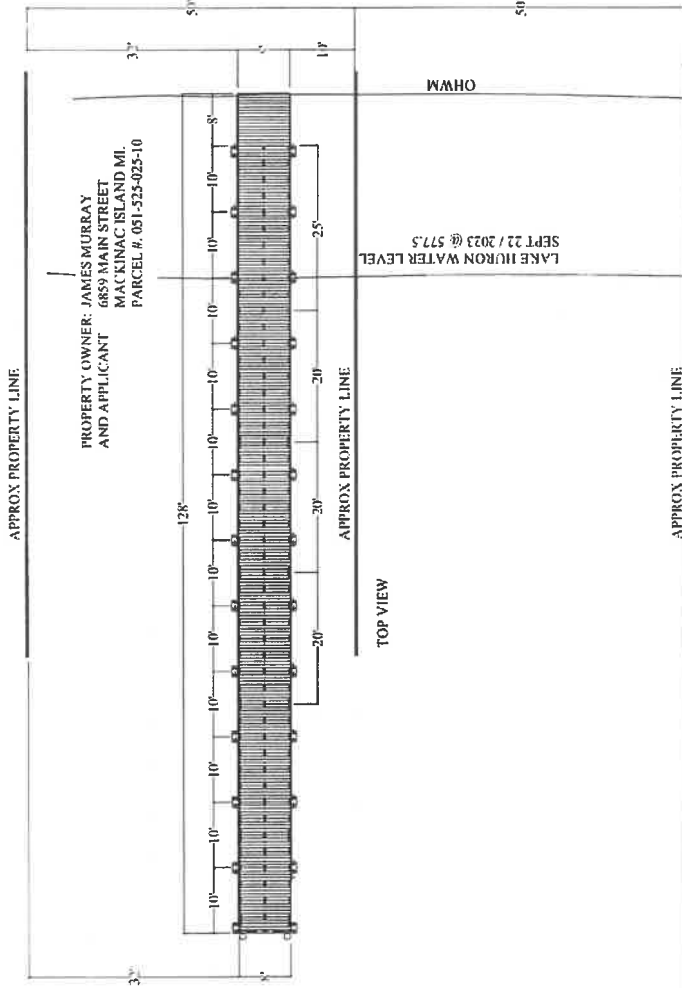
Date

cc: Mackinac Island Clerk
Mackinac County CEA
Jason Dunn, Breezeswept
Robert Robley, Agent
USACE Detroit

EGLE
WRP039894 v1.0
Approved
Issued On:12/21/2023
Expires On:12/21/2028



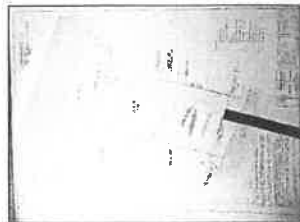
MACKINAC ISLAND



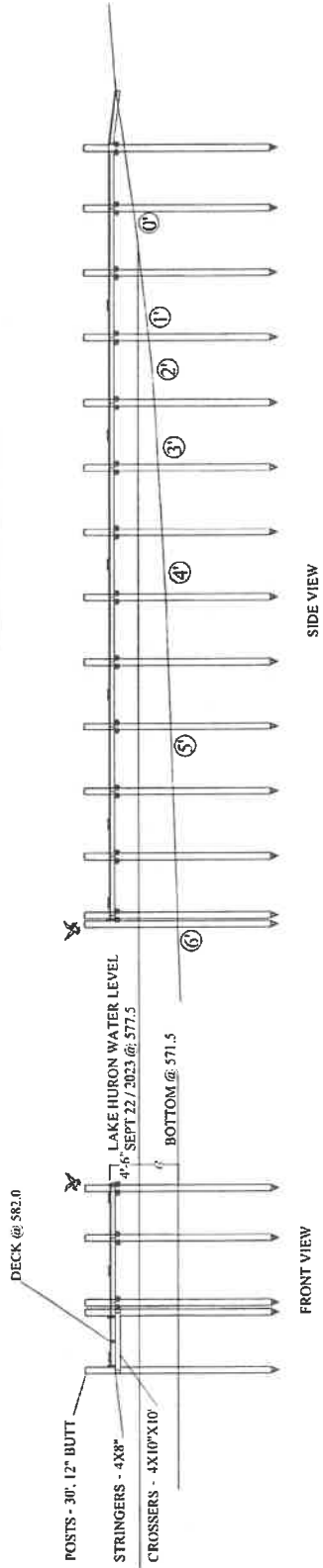
PROPOSED DOCK SITE



JAMES MURRAY PROPOSED OPEN PILE DOCK SITE



MACKINAC ISLAND STATE HARBOR
SCALE, 1" = 30'-0"



BREEZESWEPT DOCKS
361 S. MERIDIAN STREET
CEDARVILLE MICHIGAN 49719
PHONE: 906-484-3394
CONTACT PERSON: JASON DUNN

SCOPE OF WORK
THE INSTALLATION OF 12, 10'L X 8"W
TRESTLE DOCK SECTIONS TO FORM
ONE OPEN PILE SUPPORTED DOCK.

JAMES MURRAY
1000 GRAND AVE.
PETOSKEY MI. 49770-2596
CELL: 231-838-6102
jmuray@plunkettcooney.com

BY: JAMES MURRAY
AT: 6859 MAIN STREET
MACKINAC ISLAND MI. 49757
PARCEL #. 051-525-025-10
IN: MACKINAC ISLAND HARBOR
LAKE HURON

DATE: 10/17/23
SCALE 1"=30'-0"
REVISED 11/12/2023

Approved
Issues On: 12/21
Expires On: 12/21

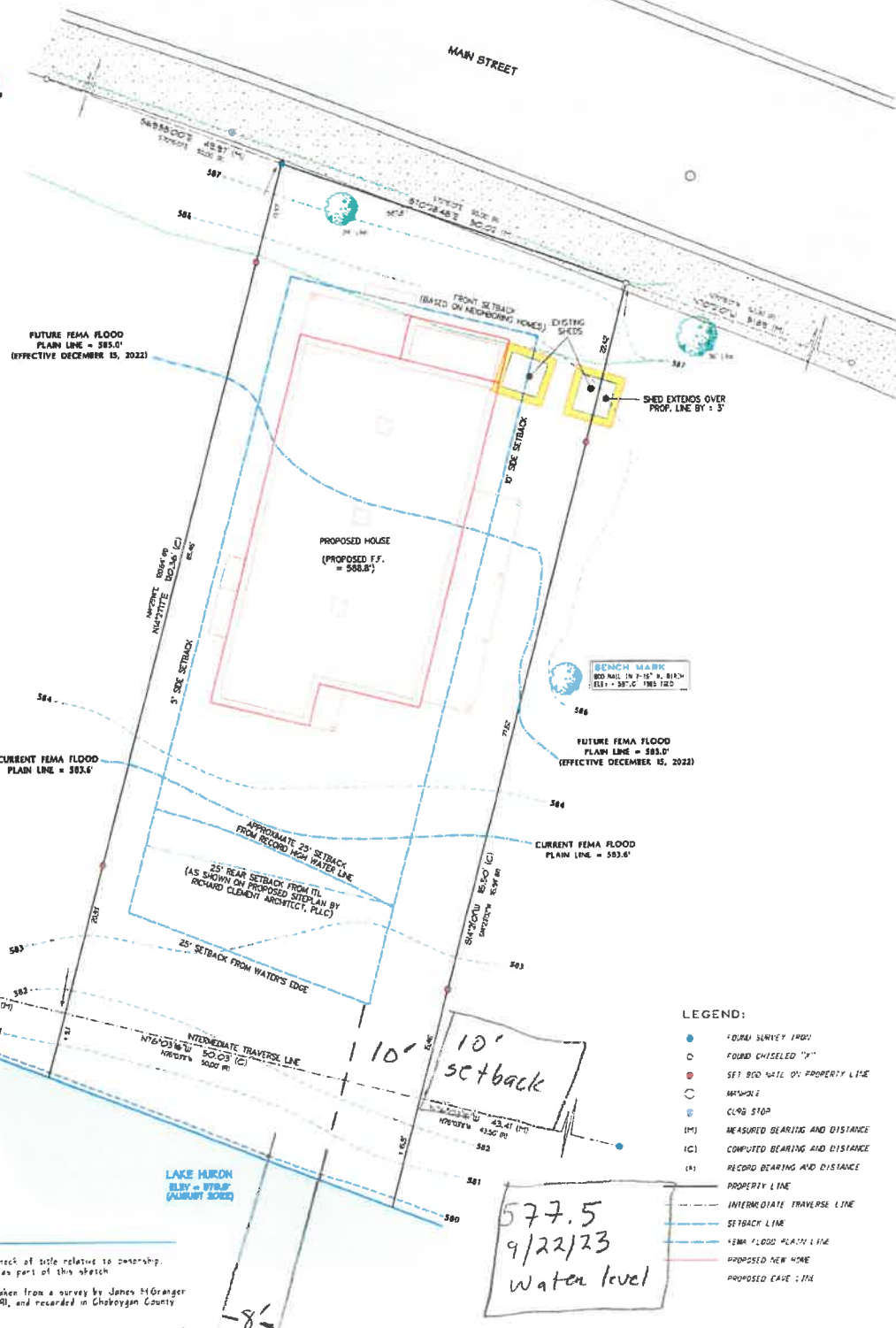
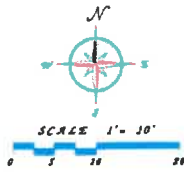
TOPOGRAPHIC SURVEY

PART OF LOT 71
ASSESSOR'S PLAT NO. 2

MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN

ZONING REQUIREMENTS VERIFY WITH MACKINAC ISLAND

ZONING DISTRICT - A-1
MINIMUM LOT WIDTH - 100.00 FT
MINIMUM LOT DEPTH - 100.00 FT
FRONT SETBACK - SEE UP IN LIST WITH ADJACENT HOMES.
SIDE SETBACKS
REAR SETBACK - 10
WEST SIDE - 0



- LEGEND:**
- FOUND SURVEY IRON
 - FOUND CHISELED "X"
 - SET 800' W/10' OF PROPERTY LINE
 - METWALL
 - CLOSE SIGN
 - (M) MEASURED BEARING AND DISTANCE
 - (C) COMPUTED BEARING AND DISTANCE
 - (A) RECORD BEARING AND DISTANCE
 - PROPERTY LINE
 - INTERMEDIATE TRAVERSE LINE
 - SETBACK LINE
 - FEMA FLOOD PLAIN LINE
 - PROPOSED NEW HOME
 - PROPOSED CASE # 176

NOTES:

The property description was furnished, and no check of title relative to ownership, gaps, overlaps or occupation has been performed as part of this sketch.

Bearings and distances shown on this map were taken from a survey by James H. Granger RL5 #16041, for Henry Murray, dated 5 May 1891, and recorded in Chisago County Records in Liber 257, Page 636.

The FEMA Flood Plain Line as shown as 583.6 is currently in effect. On December 15, 2022, FEMA's new maps will become active and show the new Flood Plain at 585.0.

This is a professional opinion concerning the location of the property boundaries depicted hereon, based upon the appropriate boundary law principles governed by the facts and evidence gathered and evaluated during the course of this survey. Monuments, that in the opinion of this surveyor represent the true and correct corners of the property being surveyed, have been found or set as indicated hereon. As a professional opinion, this survey carries with it no guarantee or warranty, expressed or implied.

The area lying between the Ordinary High Water Line and the Edge of water is subjected to rights by others. The ordinary high water line was not mapped for purposes of this survey.

This survey is not intended to be used in place of an ALTA/NSPS Land Title Survey, or to be used to remove the survey exceptions of a title insurance policy.

BENCHMARK ENGINEERING INC.
SURVEYORS & CIVIL ENGINEERS

607 E. LAKE ST.
HURON SPINGS MICHIGAN 49740
PHONE (231) 526-2709 FAX (231) 526-7251
benchmark@bme.com

Client: **MURRAY**
Project Mgr.: R.L. DELKE
Drawn By: SLT
Field By: WALTER SPERLING
File: 522024_000
Job #: 22-074
Sheet #: 1 of 1

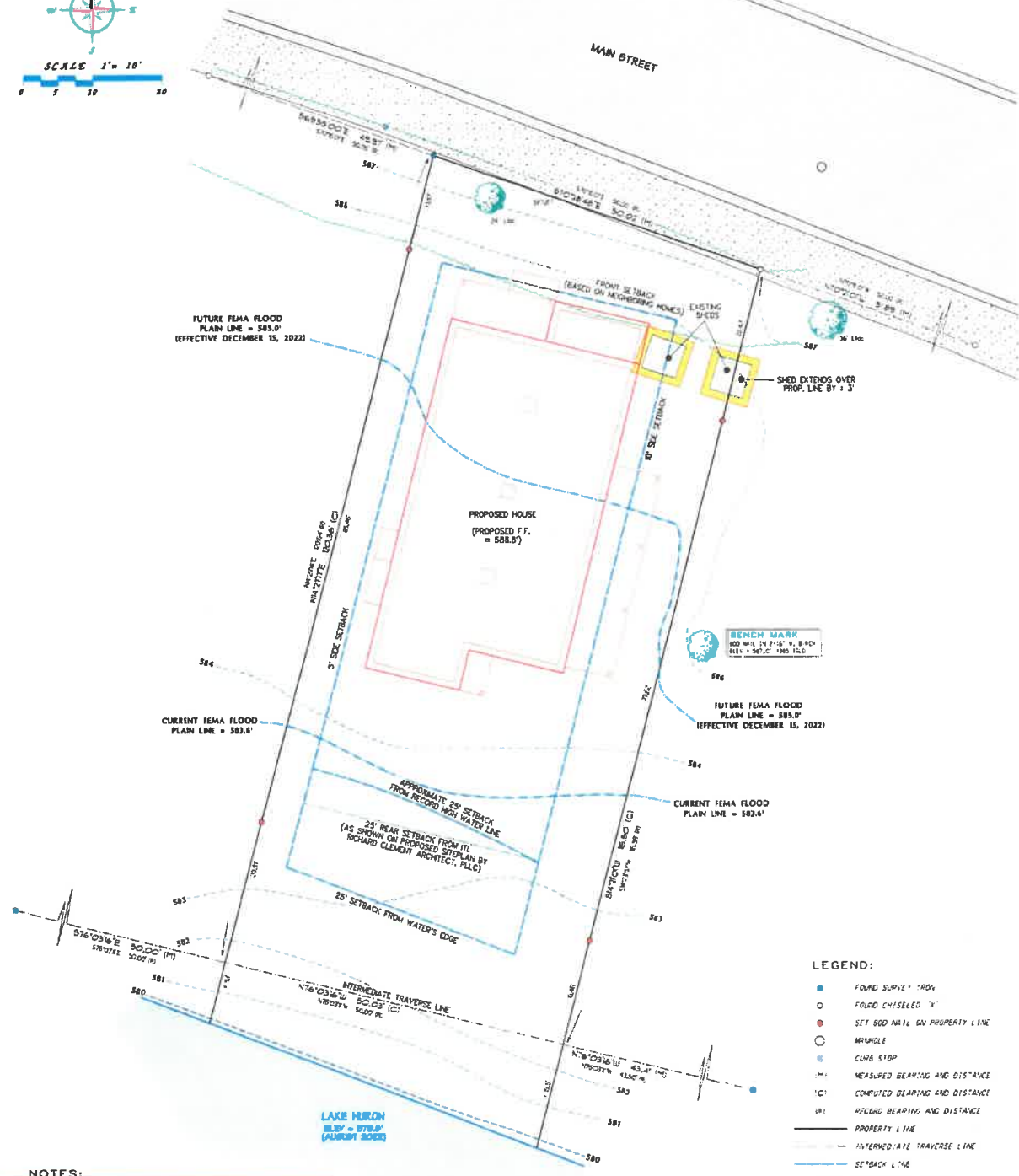
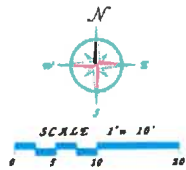
Date (revision)	by
26 AUGUST 2022	
19 SEPTEMBER 2022	

TOPOGRAPHIC SURVEY
PART OF LOT 71 - ASSESSOR'S PLAT NO. 2

TOPOGRAPHIC SURVEY

PART OF LOT 71
ASSESSOR'S PLAT NO. 2
MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN

**ZONING REQUIREMENTS
VERIFY WITH MACKINAC ISLAND**
ZONING DISTRICT: R-1
MINIMUM SET BACKS: 10' SIDE SETBACK
FRONT - 25' SIDE SETBACK
REAR - 25'
EAST SIDE - 10'
WEST SIDE - 5'



NOTES:

The property description was furnished, and a check of title relative to ownership gaps, overlaps or occupation has been performed as part of this sketch.

Measurements and distances shown on this map were taken from a survey by James H. Oranger, RL's #16041, for Henry Murray, dated 5 May 1991, and recorded in Cheboygan County Records in Liber 337, Page 636.

The FEMA Flood Plain Line as shown at 583.6 is currently in effect. On December 15, 2022, FEMA's new maps will become active and show the new Flood Plain at 583.0.

This is a professional opinion concerning the location of the property boundaries depicted herein, based upon the appropriate boundary law principles governed by the facts and evidence gathered and evaluated during the course of this survey. Monuments, Markers in the opinion of this surveyor represent the true and correct corners of the property being surveyed, have been found or set as indicated herein. As a professional opinion, this survey carries with it no guarantees or warranties, expressed or implied.

The area lying between the Ordinary High Water Line and the Edge of water is subject to rights by others. The ordinary high water line was not mapped for purposes of this survey.

This survey is not intended to be used in place of an ALTA/NSPS Land Title Survey or to be used to remove the survey exceptions of a title insurance policy.

BENCHMARK ENGINEERING INC.
SURVEYORS & CIVIL ENGINEERS
507 E. LAKE ST.
HARBOR SPRINGS, MICHIGAN 49745
PHONE (231) 335-1715 FAX (231) 335-7257
benchmark607@gmail.com

Client: **MURRAY**
Project Mgr.: R.L. DELKE
Drawn By: S.E.
Field By: WINTER SPERLING
File: 22274.DWG
Job #: 22-014
Sheet #: 01

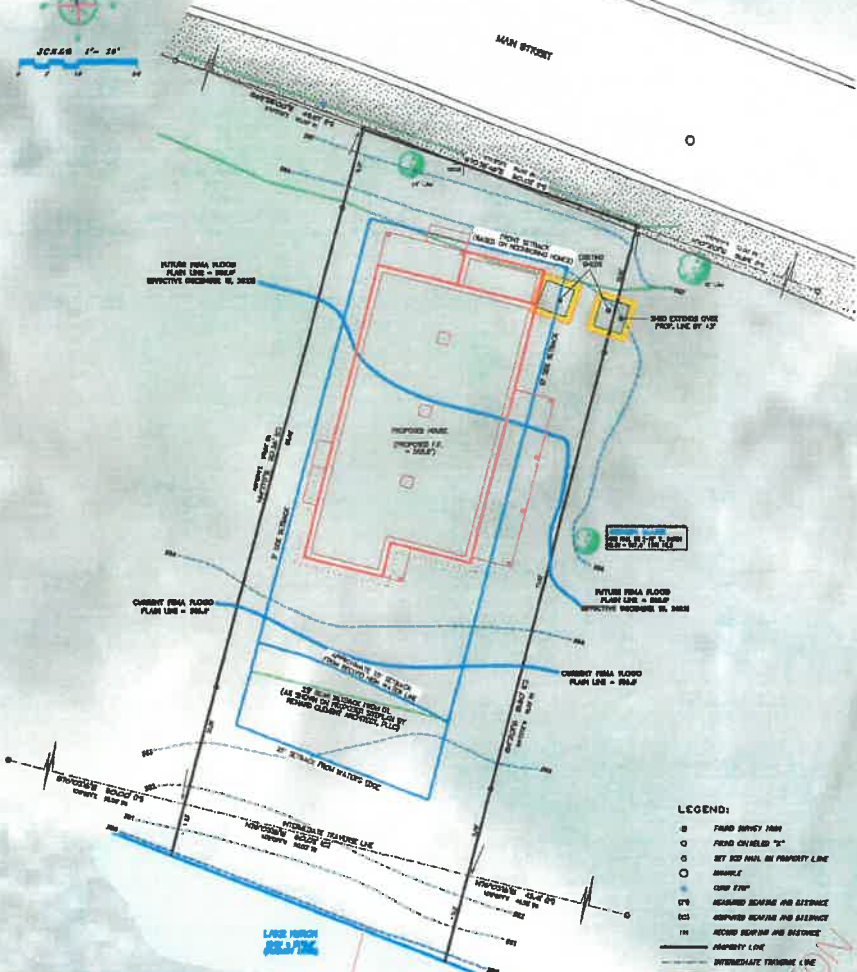
Date (revision)	by
26 AUGUST 2022	
19 SEPTEMBER 2022	

TOPOGRAPHIC SURVEY
PART OF LOT 71 - ASSESSOR'S PLAT NO. 2

TOPOGRAPHIC SURVEY

PART OF LOT 71
ASSESSOR'S PLAT NO. 3
MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN

ZONING REQUIREMENTS
V3807 WITH MACKINAC ISLAND
SUBJECT TO THE MICHIGAN ZONING ACT
AND THE MICHIGAN ZONING BOARD
ORDINANCE NO. 100-100-0001
LIVE WITH HEIGHTS
SEE 100-100-0001



- LEGEND:**
- FIELD SURVEY MARK
 - FIELD CHISEL "S"
 - SET 100' PIVOT ON PROPERTY LINE
 - BENCHMARK
 - CORNER
 - /○ REAR/FRONT AND DISTANCE
 - /○ REAR/FRONT AND DISTANCE
 - /○ REAR/FRONT AND DISTANCE
 - PROPERTY LINE
 - INTERMEDIATE THROUGHLANE LINE
 - DETRICK & PINE
 - FEMA FLOOD PLAIN LINE
 - PROPOSED 300' DRIVE
 - PROPOSED 300' DRIVE

NOTES:

The property description was furnished, and no check of title relative to encumbrances, mortgages or easements has been performed on part of this sketch.

Boundaries and distances shown on this map were taken from a survey by James H. DeWitt, E.L.S., dated May 1999, and recorded in Mackinac County Records in Liber 557, Page 156.

The FEMA Flood Plain Line as shown at 3000' is accurate as of 12/15/01. FEMA's next map will become public and show the new Flood Plain at 3000'.

This is a professional opinion concerning the location of the property boundaries reported herein, based upon the appropriate boundary law principles, as well as the facts and evidence gathered and recorded during the survey of this survey. However, that if the opinion of this surveyor represents the true and correct location of the property being surveyed, there have been found or not as indicated herein. As a professional opinion, this survey carries with it no guarantee or warranty, expressed or implied.

The area lying between the Oakley High Water Line and the Edge of water is subject to rights by others. The arbitrary high water line was not surveyed for purposes of this survey.

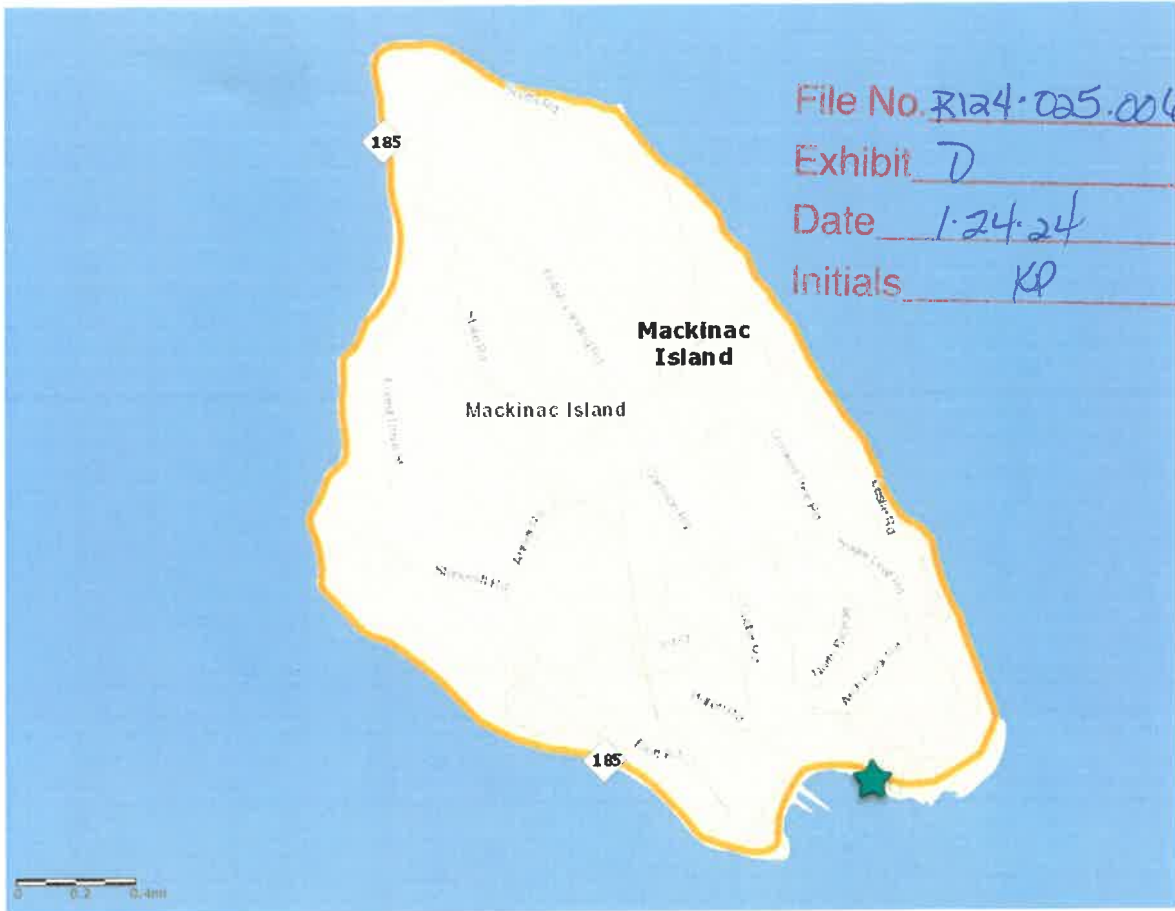
This survey is not intended to be used in place of an ALTA/NSPS Land Title Survey, or to be used to resolve the survey exceptions of a title insurance policy.

BENCHMARK ENGINEERING INC.
SHELVEFOUR & CIVIL ENGINEERS
200 E. LEE ST.
BIRMINGHAM, MICHIGAN 48401
PHONE: (248) 380-2200 FAX: (248) 380-2207
www.benchmarkeng.com

Client: **MURRAY**
Project: **Mr. J. L. Murray**
Drawn By: **AM**
Field By: **W. J. Murray, AM**
File #: **2022-0745**
Date: **02/22/2023**
Sheet: **1**

Date finished by	
20 FEBRUARY 2023	
11 FEBRUARY 2023	

TOPOGRAPHIC SURVEY
SCALE: AS SHOWN ON THE DRAWING



File No. R124-025-006
Exhibit D
Date 1-24-24
Initials KP





DATE: 10/17/23
SCALE 1"=30'-0"
REVISED 11/12/2023

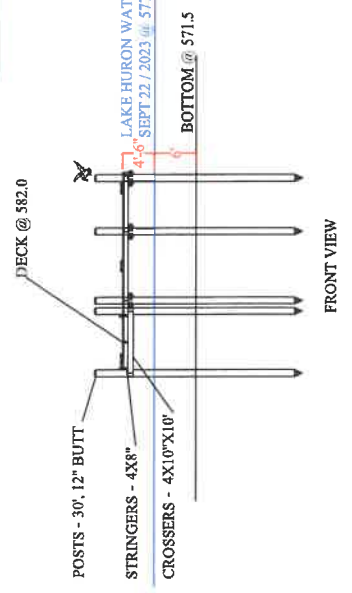
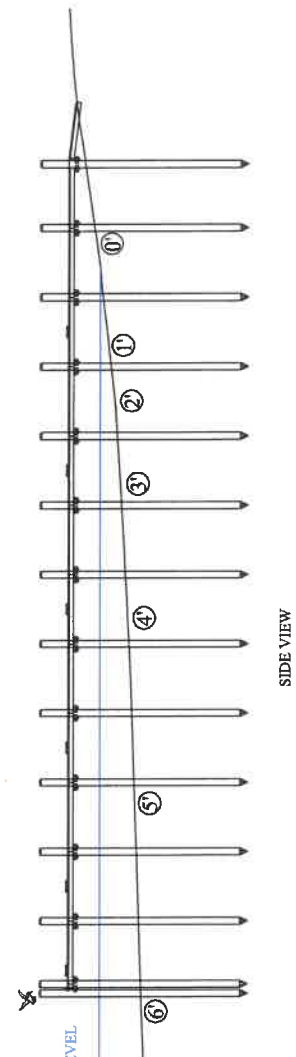
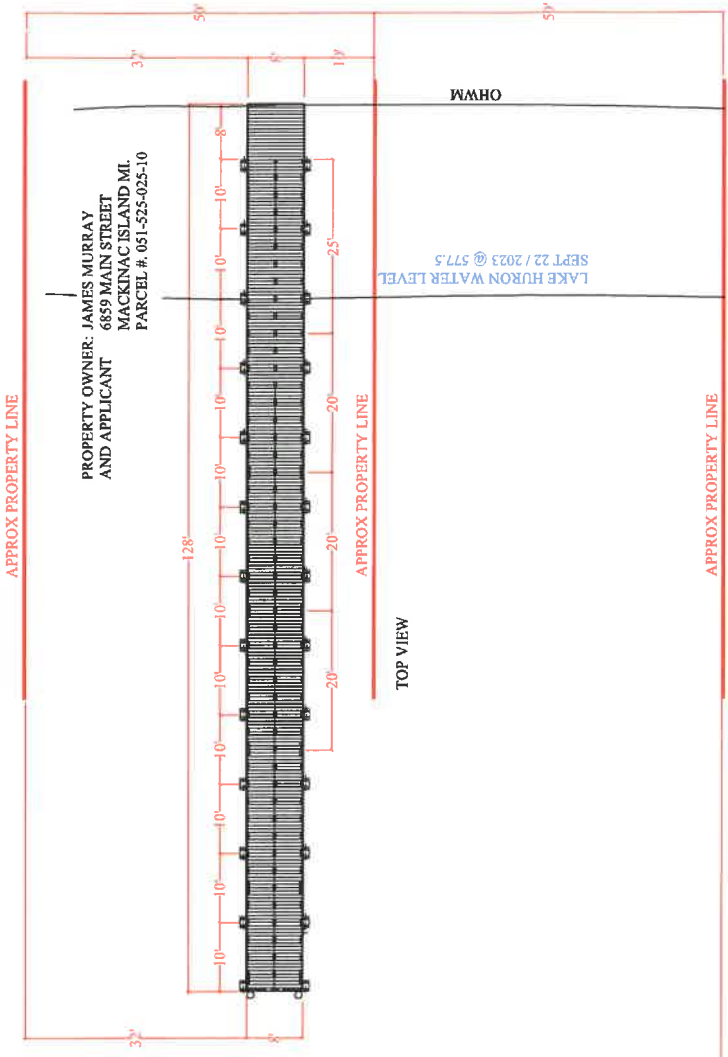
BREEZESWEPT DOCKS
361 S. MERIDIAN STREET
CEDARVILLE MICHIGAN 49719
PHONE: 906-484-3394
CONTACT PERSON: JASON DUNN

SCOPE of WORK
THE INSTALLATION OF 12, 10'L X 8'W
TRESTLE DOCK SECTIONS TO FORM
ONE OPEN PILE SUPPORTED DOCK.

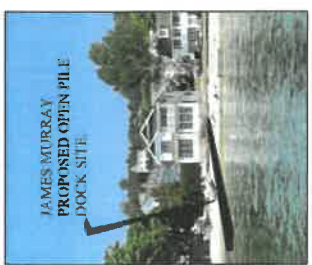
JAMES MURRAY
1000 GRAND AVE.
PETOSKEY MI. 49770-2596
CELL: 231-838-6102
jmurray@plunkettcooney.com

JAMES MURRAY
AT: 6859 MAIN STREET
MACKINAC ISLAND MI. 49757
PARCEL #. 051-525-025-10
IN: MACKINAC ISLAND HARBOR
LAKE HURON

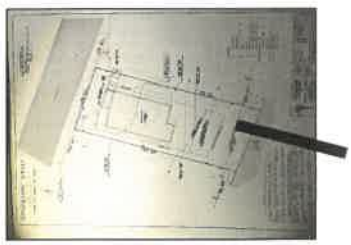
MACKINAC ISLAND



PROPOSED DOCK SITE



JAMES MURRAY PROPOSED OPEN PILE DOCK SITE



MACKINAC ISLAND STATE HARBOR
SCALE, 1" = 30'-0"

Digital EGLE/USACE Joint Permit Application (JPA) for Inland Lakes and Streams, Great Lakes, Wetlands, Floodplains, Dams, Environmental Areas, High Risk Erosion Areas and Critical Dune Areas

version 1.40

(Submission #: HPY-G3M0-KNEKM, version 2)

Details

Submission ID HPY-G3M0-KNEKM

Submission Reason New

Form Input

Instructions

[To download a copy or print these instructions, please click this link \(recommended\).](#)

The EGLE/USACE "Joint Permit Application" (JPA)

READ THOROUGHLY BEFORE STARTING THE FORM

It is recommended to download a pdf of this page at www.michigan.gov/jointpermit for reference while filling out the form. Please also refer to this website for additional information regarding this form, including a glossary and other helpful resources on information required to be submitted in this form.

This is the Joint Permit Application (JPA) for construction activities where the land meets the water. This application covers permit requirements derived from state and federal rules and regulations for activities involving:

Wetlands
Floodplains
Marinas
Dams
Inland Lakes and Streams
Great Lakes Bottomlands
Critical Dunes
High Risk Erosion Areas

This application prevents duplication of state and federal forms for these activities and provides concurrent review under all pertinent state and federal laws. In the case of U.S. Army Corps of Engineers (USACE) jurisdiction, the Michigan Department of Environment, Great Lakes, and Energy will also send a copy of this Joint Permit Application to the USACE for simultaneous processing. The Michigan Department of Environment, Great Lakes, and Energy will provide coordination between state and federal agencies during the application review.

This application form is set up with the following sections to be completed by the applicant (note that it is recommended to gather all this information prior to starting this form):

Contact Information:

Applicant, Property Owner(s), Consultant(s), and any other Authorized Representative(s)

Authorizations are required from the property owner for:

- when the applicant is not the owner,
- when there is a consultant/representative for the applicant,
- when spoils disposal locations are not on site,

- when other permissions are necessary based on project specifics and are identified by the form.

Project Location Information:

Address, coordinates, and directions to the site, etc.

Background Information:

Existing site conditions, other related permits, existing easements/encumbrances, other related application numbers (pre-application meetings, Wetland Identification Program, etc.)

Permit Application Category and Public Notice Information:

This section asks what permit application category you believe fits your project. While this is not required to submit the application, knowing this will also help you submit the right permit application fee and avoid a correction request and processing delays.

The choices of permit application categories to select in the form are:

General Permit, \$50 fee (<https://www.michigan.gov/egle/-/media/ProjectWebsites/egle/Documents/Programs/WRD/Wetlands/General-Permit-Categories.pdf?rev=e7fc28cb17e14c7b821b7595f6aa585d&hash=490A504F4063BC141104F8DDDCAF70AE>)

Minor Project, \$100 fee (<https://www.michigan.gov/egle/-/media/ProjectWebsites/egle/Documents/Programs/WRD/Wetlands/Minor-Project-Categories.pdf?rev=c0e17657e1484b20afe47010a67a6999&hash=3C83AAE98832042FA83E28328C7C9842>)

Public Notice Individual Permit, range from \$500-\$4,000 depending on type of activity. For High Risk Erosion Areas and Critical Dune Areas fees for Public Notice individual permit applications can range from \$50-\$4000. Additional fees may be applied for some special project requirements such as hydraulic analysis, dam projects, and a special exception application in a critical dune area. See Fee Schedule on website for more information.

Unsure, select this and the permit reviewer will make the determination on permit type after the application is submitted based on the project details. However, some fee is required to be submitted with the application. If an additional fee is required, the Michigan Department of Environment, Great Lakes, and Energy will send a correction request that will show the remaining amount required. The application will not be considered complete without the proper fee.

Adjacent Landowner contact information for Public Notice projects is required by law. This includes any parcels touching the project parcel and parcels across the street.

Project Description:

Information on the Proposed Use and Purpose of the project (who and what the project is intended for and why is it needed). This includes a written summary of the project as well as a list of project uses and types to select from as follows:

Project Use Selections:

- Private
- Commercial
- Public/Gov/Tribal
- Federal/State funded
- Non-Profit
- Other

Project Type Selections:

- Agriculture
- Airport
- Development- Condo/ Subdivision/Residential
- Development-Commercial/ Industrial
- Drain-County
- Drain-Private
- Drawdown
- Lake, Drawdown
- Wetland Forestry
- Landfill
- Marina/Mooring Facility
- Marine Railway
- Mining-Mineral,
- Mining-Sand and Gravel
- Private Residence
- Restoration-Wetland
- Restoration-Stream
- Transportation
- Septic System Surveying or Scientific Measuring Device
- Utility-Electrical, Fiber optic
- Utility-Oil and gas pipelines
- Utility-Sewer/water line

Other

Construction Details including sequencing, timeframes, SESC measures, etc.

Alternatives Analysis detailing all options considered and why this is the least impactful feasible and prudent proposal. The depth of this analysis is typically commensurate with the size and purpose of the project and at minimum should include variables such as alternate locations (including other properties), configurations and sizes (layout and design), and methods (construction technologies), and other constraints (local regulations, resource issues). Discussion should also include why the do nothing alternative is not feasible or prudent.

Project Compensation:

Narrative of how proposed impacts will be compensated (mitigated or other minimization measures), including amount, location, and method; or why mitigation should not be required. This can be traditional mitigation and/or other techniques used to minimize overall loss of functions.

Resource and Activity Type. This section is intended to determine what additional sections of the application are generated (as seen on the left side of the screen) for further information gathering. This includes questions regarding what Resource feature is involved (e.g., wetland, stream, floodplain, pond, dam, critical dune, etc.) and if there are identified Special Activities (i.e., activities requiring a specific series of questions to be answered). Be sure to choose all that apply to your project. If your activity is not listed, choose None of the Above and move on to the next question. More specific activity questions will appear later based on the resource section answers.

Resource Information and Impacts Sections (Multiple Sections). These are a series of sections that will appear on the left side of the screen based on your answers to the Resource and Activity Types section. You will input further information on the existing resources to be impacted (e.g., wetland type, permanent or temporary impact, water elevation data, drainage area, etc.) and all proposed Project Activities with their Dimensions (e.g., length, width, depth, square footage). For example, when Wetland is selected as a resource that your project will involve, a Wetland Project Information and Impacts section will appear on the left side of the screen that includes questions specific to gathering information about the wetland.

For projects including Floodplains, Marinas, Dams, Critical Dunes, or High Risk Erosion Areas individual sections will appear on the left side of the screen that include different sets of specialized questions as required by those programs. These sections do not share a specific format. Help tips will guide you in filling out these sections.

For projects including wetlands, ponds, inland lakes, streams, or the Great Lakes resources, individual sections will appear on the left side of the screen that are similar in format to each other. Each of these resource sections asks initial general information and then has additional questions regarding the Types of Activities proposed for each resource. The outline for these resource activity impacts questions is Activity Type, Dimensions Table, and Special Questions.

There are four overall Types of Activities groups for wetlands, ponds, inland lakes, streams or the Great Lakes:

- Fill Activities
- Dredge Activities
- Structure Activities
- Other Activities

Under each of these Types of Activity questions, specific activity lists will be shown that are typical for that type (fill, dredge, structure, other) and resource (wetland, lake, stream, etc). Follow these steps to accurately fill out the Activity Type Questions:

1. Start with the Fill question and choose any activities on the list that is included in your project. If your activity is not shown, then select None of the Above and move to the next question.
2. When you select an activity listed under Fill, Dredge, Structure, or Other, a dimensions table will appear under that question. This table is where you enter EACH activity OF THE TYPE YOU SELECTED and associated dimensions. Be sure that all the activities you selected are also listed in the table with the dimensions. Multiple activities covering the same footprint may be combined on one line in the table (for example, riprap on slopes of driveway fill can be entered on the same impact dimensions line and does not necessarily need to be broken out).
3. Continue to answer the Activity Type questions (Fill, Dredge, Structure, Other) until all have been answered with either a specific Activity listed under that Type or None of the Above. If you did not find your activity in any list then select Other, Other and provide a description of your activity in the space that appears. Please be as descriptive as possible.

Proposed mitigation questions may appear within specific resource types sections based on your answers. Enter any proposed mitigation in the appropriate section (wetland, stream, etc.) and if no mitigation is proposed you must provide commentary with an explanation as to why it is not required. Mitigation plans according to the mitigation checklist (link) are required for a complete application. When mitigation is proposed be sure to also select mitigation in the Permit Application Type section under the second question.

In the above sections, uploads will be prompted as required by the answers to questions. These should be uploaded in these location (ex, mitigation plans should be uploaded in the mitigation section). Please do not wait to upload one large document

with all plans combined at the end. Note that each individual upload is limited to 10M.

Upload of Proposed Site Plans.

Any plans or explanatory narratives not requested in previous sections should be uploaded in this section. Construction Plans including overhead view, cross sections, and profiles showing each impact either to-scale or with dimensions are required and typically would be uploaded here. Plan labels should correspond with labels entered in the form for each activity selected. The application will not be complete without the proper site plans. If drawings are not received with all required dimensions and resources identified, then the Michigan Department of Environment, Great Lakes, and Energy will send a correction request and your application processing will be delayed. However, please limit drawings, plans, and narratives submitted to the items necessary for permit review. For example, entire bid package documents and CAD drawings are often not helpful for permit review and may cause delays from wading through extraneous information. Plans, profiles and cross sections specific to the resource impacts are the most helpful.

Review:

This section allows you to see the entire form with the answers you entered. Please review for accuracy prior to hitting the submit button. A print option is provided on this screen (print to PDF is recommended). Once the application is submitted you may not make changes to it until the application has been assigned to a staff person.

Certify & Submit:

This is the final section of the application form. The **Submit Form** button selection certifies that all information in the application is true and accurate and that you have the authority to apply for the permit as indicated. This application will become part of public record.

We recommend that you have the above information ready prior to starting this application. You will be able to save in-progress applications and come back later, but all required uploads and questions are necessary before the system will allow submittal of the application. Some sections of this application form load faster than others depending on the complexity of the questions. Thanks for your patience while you work through the application. For assistance with this form visit: <https://www.michigan.gov/jointpermit>

[Click here for additional information on maps, drawings, and other attachments](#)

Contact Information

Applicant Information (Usually the property owner)

First Name	Last Name	
JAMES	MURRAY	
Organization Name		
HOME OWNER		
Phone Type	Number	Extension
Mobile	231-838-6102	
Email		
jmurray@plunkettcooney.com		
Address		
JAMES MURRAY		
1000 GRAND AVE		
PETOSKEY, MI 49770-2596		

Is the Property Owner different from the Applicant?

No

Has the applicant hired an agent or cooperating agency (agency or firm assisting applicant) to complete the application process?

Yes

Agent Contact

First Name **Last Name**
JASON DUNN

Organization Name
NONE PROVIDED

Phone Type **Number** **Extension**
Business 19064843394

Email
BREEZESWEP1@ME.COM

Address
JASON DUNN
361 MERIDIAN STREET
CEDARVILLE, MI 49719

Upload Attachment for Authorization from Agent

Authorization to Act as Agent (6).pdf - 10/18/2023 05:05 PM

Comment
NONE PROVIDED

Are there additional property owners or other contacts you would like to add to the application?

Yes

Additional Contact Information (1 of 1)

Contact Role(s)

NONE PROVIDED

Contact Information

Prefix
NONE PROVIDED

First Name **Last Name**
JASON DUNN

Title
NONE PROVIDED

Organization Name
NONE PROVIDED

Phone Type **Number** **Extension**
Business 9064843394

Email
BREEZESWEP1@ME.COM

Address
JASON DUNN
361 MERIDIAN STREET
CEDARVILLE, MI 49719

Project Location

EGLE Site Reference Number (Pre-Populated)

-3401623813553670617

Project Location

45.85004682196466,-84.61201840394226

Project Location Address

JAMES MURRAY
6859 MAIN STREET
MACKINAC ISLAND, MI 49757

County
Mackinac

Is there a Property Tax ID Number(s) for the project area?

Yes

Please enter the Tax ID Number(s) for the project location

051-525-025-10

Is there Subdivision/Plat and Lot Number(s)?

Yes

Subdivision/Plat and Lot Number(s)

ASSOESSOR'S PLAT NO.2 PART OF LOT 71

Is this project within Indian Lands?

No

Local Unit of Government (LUG)

Mackinac Island

Directions to Project Site

TO MACKINAC ISLAND. EITHER PLANE, SNOWMOBILE OR FERRY REQUIRED. FROM THE MAIN DOCK ON MACKINAC ISLAND TRAVEL EAST ON MAIN STREET PASSING THE PUBLIC HARBOR. JUST PAST THAT FIND 6859 MAIN STREET.

Background Information

Has the Michigan Department of Environment, Great Lakes, and Energy (EGLE) and/or United States Army Corps of Engineers (USACE) conducted a pre-application meeting/inspection for this project?

No

Has the EGLE completed a Wetland Identification Program (WIP) assessment for this site?

No

Environmental Areas are coastal wetlands on the shorelines of the Great Lakes. Enter this number only if a designated Environmental Area is in the proposed project area. Environmental Areas are designated locations along the Great Lakes shoreline. If you don't know whether there is an environmental area within the project area, leave blank. Additional information on Environmental Areas can be found by clicking the following link:

[Click Here for Link](#)

Environmental Area Number (if known):

NONE PROVIDED

Has the United States Army Corps of Engineers (USACE) completed either an approved or preliminary jurisdictional determination for this site?

No

Were any regulated activities previously completed on this site under an EGLE and/or USACE permit?

No

Have any activities commenced on this project?

No

Is this an after-the-fact application?

No

Are you aware of any unresolved violations of environmental law or litigation involving the property?

No

Is there a conservation easement or other easement, deed restriction, lease, or other encumbrance upon the property?

No

Are there any other federal, interstate, state, or local agency authorizations associated with this project?

No

Permit Application Category and Public Notice Information

Project Category Selection:

The Permit Application Category you apply under is dependent on the type and scope of activities you are undertaking and the resources affected. There is a three-tier permitting process to aid in expediting permits for regulated activities that occur on wetlands, inland lakes and streams, and the Great Lakes (Parts 301, 303, and 325): General Permit, Minor Project, and Individual Permit.

Additionally, Minor Project categories exist for floodplains under the authority of Part 31.

General Permit and Minor Project categories generally meet specific Best Management Practices criteria that have been shown to minimize impacts to resources if followed correctly. If you select a General Permit or Minor Project Category you must select the specific category(ies) that your project fits under. Any project that does not fit a General or Minor Category are Individual Permit projects. All projects in Critical Dunes, High Risk Erosion Areas, or Dam Safety projects will be Individual Permit Projects.

Indicate the type of permit being applied for.

Individual Permit for all other projects

This type of permit application requires that you include contact information for the adjacent landowners to this project. If you are only entering in a small number of bordering parcel owners contact information, please select "Enter list of recipients". If there is a rather large number of affected property owners such as a project that significantly affects lake levels, please upload a spreadsheet of the property owners. Please include names and mailing addresses.

Enter list of recipients.

This project may require public noticing. Please list the adjacent landowners to the project, along with any of the others that may apply:

Table with 6 columns: Contact Type, Contact Person, Mailing Address, City, State, Zip Code. Rows include Robert Benser and Brian Murray.

Link to General Permit Categories with Descriptions

Link to Minor Permit Categories with Descriptions

Link to Minor Project Category descriptions for Floodplain Only projects (See R323.1316)

Project Description

Project Use: (select all that apply - Private, Commercial, Public/Government/Tribal, Receiving Federal/State Transportation Funds, Non-profit, or Other)

Private

Project Type (select all that apply):

Private Residence

Please enter your answers in the text box for the next four questions. If you have a long description, please use the document upload at the end of the section. Please make every effort to enter your information directly into the application text boxes. If the answer is in an attachment, please identify that in the text box below.

Project Summary (Purpose and Use): Provide a summary of all proposed activities including the intended use and reason for the proposed project.

INSTALL ONE PRIVATE RESIDENTIAL OPEN PILE DOCK AS SHOWN IN DETAIL PLAN ATTACHED TO THIS FORM.

USE: PRIVATE RESIDENTIAL DOCKAGE

PLEASE NOTE: THE (L) HAS BEEN ELIMINATED.

THE DOCK IS HELD TO ONE SIDE OF THE PROPERTY, 10' OFF THE PROPERTY LINE, TO ALLOW ADEQUATE MANEUVERING SPACE ON THE WESTERLY SIDE OF THE DOCK AND PROPERTY.

DRAFT OF SAILBOAT, 4.5'

CORRECTION REQUEST (APPROVED)
Purpose
What is the purpose of the "L" at the end of the dock? What depths are required for the applicants boat draft? Why was the center of the property not chosen as the location for the dock?
Created on 10/25/2023 1:49 PM by **Cassie Abrams**

Project Construction Sequence, Methods, and Equipment: Describe how the proposed project timing, methods, and equipment will minimize disturbance from the project construction, including but not limited to soil erosion and sedimentation control measures.

DRIVE WOOD PILINGS AT APPROXIMATELY 10' INTERVALS, INSTALL CROSSERS, ADD STRINGERS AND DECK OVER.

WOOD CONSTRUCTION.

CORRECTION REQUEST (APPROVED)
Materials
Will the entire dock be constructed of wood? Including crossers and stringers?
Created on 10/25/2023 1:55 PM by **Cassie Abrams**

1 COMMENT
ROBERT ROBLEY (robertcrobley@gmail.com) (11/21/2023 4:36 PM)
YES

Project Alternatives: Describe all options considered as alternatives to the proposed project, and describe how impacts to state and federal regulated waters will be avoided and minimized. This may include other locations, materials, etc.

NONE CONSIDERED AT THIS TIME. ACCORDING TO EGLE THIS IS THE LEAST IMPACTFUL DOCK AVAILABLE.

SEASONAL DOCKS DO NOT HOLD A HEAVY DISPLACEMENT BOAT IN MAC ISLAND HARBOR.

PLEASE NOTE: THE DOCK IS NOW STRAIGHT WITH NO (L). SEE ATTACHED REVISED DRAWING.

DOCK OFF SET TO PROVIDE ADEQUATE MANEUVERING SPACE IN FRONT OF OWNER APPLICANTS HOME.

ISLAND LIFE REQUIRES A WIDE DOCK TO HAUL PROVISIONS DOWN THE DOCK ON CARTS.

CORRECTION REQUEST (APPROVED)
Specific Alternatives Considered
Was a seasonal dock considered? Why or why not? Was a single linear pier considered with no "L" at the end? Why or why not? Was placing the dock in the middle of the property considered? Why or why not? What widths were considered for the dock and why was 8' decided? Was dredging considered to reduce dock length? Why or why not?
Created on 10/25/2023 1:52 PM by **Cassie Abrams**

Project Compensation: Describe how the proposed impacts to state and federal regulated waters will be compensated, OR explain why compensatory mitigation should not be required for the proposed impacts. Include amount, location, and method of compensation (i.e., bank, on-site, preservation, etc.)

NONE

Upload any additional information as needed to provide information applicable to your project regarding project purpose sequence, methods, alternatives, or compensation.

MURRAY PERMIT DRAWING FINAL.pdf - 10/18/2023 05:35 PM

Comment
NONE PROVIDED

Resource and Activity Type

Important! Answer all questions completely. Properly identifying your project in this section generates the proper application sections. Incomplete applications will require corrections before they can be fully processed.

SELECT THE ACTIVITIES from the list below that are proposed in your project (check ALL that apply). If you don't see your project type listed, select "Other Project Type". These activities listed require additional information to be gathered later in the application.

Dock/Pier/Mooring

The Proposed Project will involve the following resources (check ALL that apply).

Great Lake

Major Project Fee Calculation Questions

Is filling of 10,000 cubic yards or more proposed (cumulatively) within wetlands, streams, lakes, or Great Lakes?

No

Is dredging of 10,000 cubic yards (cumulatively) or more proposed within streams, lakes, or Great Lakes? (wetlands not included)

No

Is new dredging or adjacent upland excavation in suspected contamination areas proposed by this application?

No

Is a subdivision, condominium, or new golf course proposed?

No

Great Lake Project Information (1 of 1)

Please Read

This section is for entering information regarding the impacts to a Great Lake only. Do not input information that pertains to other resources (inland lakes, streams, floodplains, etc.).

Projects located on the Great Lakes, including Lake St. Clair, may be required to secure leases or conveyances from the state of Michigan to place structures on the bottomlands. If a conveyance is necessary, an application must be submitted before the Joint Permit Application can be determined complete. For more information on Great Lakes bottomlands conveyances visit <https://www.michigan.gov/egle/about/Organization/Water-Resources/shipwrecks/great-lakes-bottomland-conveyances>

[Link to Great Lakes Bottomland Conveyances Information](#)

Enter the recent observed Great Lake water elevation at the project location. This information can be found on the USACE website link below or a relative elevation can be converted from a reference point or benchmark.

[Click here for link](#)

Great Lake Water elevation reference* (show elevation on plans with description):

converted from still water elevation

Great Lakes observed water elevation (feet)

577.5

Great Lake Average water depth at activity location in a normal year: (feet)

6

Date of observation (M/D/Y)

09/22/2023

Great Lakes Information Upload

- [IMG-5786.jpg - 10/18/2023 05:38 PM](#)
- [IMG-5792.jpg - 10/18/2023 05:38 PM](#)
- [IMG-5795.jpg - 10/18/2023 05:39 PM](#)
- [MURRAY PILE DOCK REVISED \(1\).pdf - 11/21/2023 04:21 PM](#)

Comment
NONE PROVIDED

Describe any measures used to retain sediment:
OPEN PILE DOCK. SEDIMENT RETAINMENT NOT REQUIRED.

Will a turbidity curtain be used during the proposed project?
No

If there are multiple Great Lakes associated with the project impacts, or different Ordinary High Water Mark (OHWM) elevation data, provide the information in duplicate Great Lakes project information tabs by clicking on DUPLICATE or ADD NEW below. This adds a new section where you will enter the information about additional project impacts.

Inland Lakes, Great Lakes and Stream Impacts (1 of 1)

PLEASE READ

This section will collect information regarding Inland Lakes, Great Lakes, and Streams impacts and activities only. The initial questions are related to which waterbody the impacts pertain to. When there are multiple waterbodies (e.g., some impacts are on an inland lake and some impacts are on a stream), fill out a DUPLICATE tab for each waterbody impacted. For each waterbody, questions will be asked regarding the proposed activities. Proposed Activities questions are grouped into Fill, Dredge, Structures, Other and are only for the impacts related to these groups. Click the link below for more information on the Inland Lakes and Streams Protection Program.

[Link to Information on Inland Lakes and Streams Permitting](#)

The following impact description applies to: (select only one at a time, duplicate this entire section if there are impacts to multiple waterbody types):

Great Lake

Acres of Inland lake/Great Lake affected by your project below the Ordinary High Water Mark:

Category	Acres
Permanent	0
Temporary	0
	Sum: 0

The following questions gather information on the specific Types of Activities your project includes that will impact INLAND LAKES, STREAMS, AND GREAT LAKES. There are four overall Types of Activities: Fill, Dredge, Structure, and Other. Under each of the Activity Type questions, specific activity lists will be shown. If the activity is not shown in the list given, select None of the Above and move to the next question. When you select an activity under Fill, Dredge, Structure, or Other, a table will appear under that type. Only enter the dimensions of the activity that are within INLAND LAKES, STREAMS, or GREAT LAKES. Multiple activities covering the same footprint may be combined on one line in the table. Continue to answer the Activity Type questions (Fill, Dredge, Structure, Other) until all have been answered with either a specific Activity listed under that Type or None of the Above. If you did not find your activity in any list then select Other, Other and provide a description of your activity.

Select from the following list all Fill Activities (select all that apply to this waterbody impacted):

No fill

Activities Involving Dredging or Excavation: Select from the following list for Excavation/Dredge Activities (select all that apply to this waterbody impacted):

No Dredging/Excavation Proposed

If your project includes STRUCTURES then select all of the proposed activities in the following list. If your activity is not shown, then select None of the Above and move to the next question. Only enter an impacted area in one of the impact tables (do not duplicate impact entries):

Dock (except Crib Dock)

Projects involving Structures constructed below the Ordinary High Water Mark:

Activity	Length (feet)	Width (feet)	Depth (feet)	Area (square feet)	Volume (cubic feet)	Volume (cubic yards)	Corrected value for complex impact AREAS (square feet)
OPEN PILE DOCK	128	8	1	1024	1024	38	NONE PROVIDED
				Sum: 1024	Sum: 1024	Sum: 38	Sum: NaN

If your project includes Other Activities not listed in this section, then select from the proposed activities in the following list. If your activity has not been listed in this Section, then select Other and enter a description of your activity. Only enter an impacted area in one of the impact tables (do not duplicate impact entries). If you selected a Fill, Excavation/Dredging, or Structure activity above in this section, but do not have an activity listed as Other, then select None of the Above for this question.

None of the above

Does the proposed project include mitigation?

none

If there are multiple waterbodies associated with the project impacts, or different Ordinary High Water Mark (OHWM) elevation data on the waterbody, provide the information in duplicate stream project information tabs by clicking on DUPLICATE or ADD NEW below. This adds a new section where you will enter the information about additional project impacts.

Dock/Pier/Mooring Project

Are new commercial docks or wharves of 300 feet or more (cumulatively) in length proposed?

No

Please provide the dimensions of similar adjacent structures.

Structure	Length (feet)	Width (feet)
OPEN PILE DOCK	100	8

Distance from the proposed project to the adjacent property lines.

Left (feet)	Right (feet)
10	32

Is the structure within the applicant's riparian interest area?

Yes

CORRECTION REQUEST (APPROVED)
Riparian Area

No letter from the brother was attached to this application. Dockage should be located in the center of the property and within the property owners riparian area unless there is a specific reason. If the neighboring property ever changes hands, the new owners may be opposed to the dock alignment. Please revise plans or provide specific reasoning as to why this dock construction cannot be contained within the owners riparian area.
 Created on 10/25/2023 2:04 PM by **Cassie Abrams**

2 COMMENTS
ROBERT ROBLEY (robertcrobley@gmail.com) (11/21/2023 4:43 PM)
 THEREFORE NO LETTER OF PERMISSION REQUIRED.

ROBERT ROBLEY (robertcrobley@gmail.com) (11/21/2023 4:42 PM)
 THE (L) HAS BEEN REMOVED KEEPING THE DOCK ON THE OWNER APPLICANTS RIPARIAN RIGHT OF WAY. SEE NEW DRAWING.

Show parcel property lines on the site plan and include distances from property lines to the dock (link standard plans). [Inland Lake And Stream Permitting](#)

Attach a copy of the property legal description, mortgage survey, or a property boundary survey report.

MG-5796.PNG - 10/18/2023 05:57 PM
MG-5797.PNG - 10/18/2023 05:57 PM
Comment
NONE PROVIDED

Upload of Proposed Site Plans

REQUIRED Application, maps, and drawings:

- *Overall Project Site Plan
- *Cross-Sectional Drawings

For Part 315 Dam Safety applications attach detailed signed and sealed engineering plans for a Part 315 dam repair, dam alteration, dam abandonment, or dam removal.

[Examples site plan and cross-sectional drawings](#)

[For additional information on maps, drawings, and other attachments visit michigan.gov/jointpermit](#)

Required on all Site Plan uploads. Please identify that all of the following items are included on your plans that you upload with this application.

Site Plan Features	Existing and Proposed Plan Set
Scale, Compass North, and Property Lines	Yes
Fill and Excavation areas with associated amounts in cubic yards	Yes
Any rivers, lakes, or ponds and associated Ordinary High Water Mark (OHWM)	Yes
Exterior dimensions of Structures, Fill and Excavation areas associated with the proposed project	Yes
Dimensions to other Structures and Lot Lines associated with the project	Yes
Topographic Contour Lines from licensed surveyor or engineer when applicable	N/A

Upload Site Plans and Cross Section Drawings for your Proposed Project

MURRAY PILE DOCK REVISED.pdf - 11/21/2023 04:19 PM
Comment
NONE PROVIDED

Additional Required and Supplementary Documents

MG-5786.jpg - 10/18/2023 05:42 PM
Comment
NONE PROVIDED

Fees

The application fee identified in this section is a calculation based on answers to the questions in this application. This calculation is an estimate of the total fee and will be reviewed by the application processor to determine if any additional fees are required for a complete application.

Individual Permit Fee:
+ \$500.00

Total Fee Amount:
\$500.00

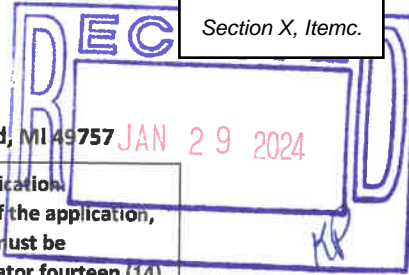
Is the applicant or landowner a State of Michigan Agency?
No

Revisions

Revision	Revision Date	Revision By
Revision 1	10/18/2023 4:58 PM	ROBERT ROBLEY
Revision 2	11/21/2023 4:18 PM	ROBERT ROBLEY

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

Section X, Itemc.



www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT:
 Mackinac Island Transportation Authority
 Box 930 Mackinac Island MI 49757
 906-847-4035 kep@mackinactransit.org
 Phone Number Email Address

Please complete both sides of application.
 The Fee and fourteen (14) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Address (If Different From Applicant)
 City of Mackinac Island
 Box 455 49757

- Is The Proposed Project Part of a Condominium Association? no
- Is The Proposed Project Within a Historic Preservation District? yes
- Applicant's Interest in the Project (If not the Fee-Simple Owner): Leassee
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? no
- Is a Variance Required? no
- Are REU's Required? How Many? no / _____

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other _____
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-440-019-00
- B. Legal Description of Property: ATTACHED
- C. Address of Property: 7325 Main St.
- D. Zoning District: Commercial
- E. Site Plan Checklist Completed & Attached: yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) yes
- G. Sketch Plan Attached: no
- H. Architectural Plan Attached: yes
- I. Association Documents Attached (Approval of project, etc.): na
- J. FAA Approval Documents Attached: na
- K. Photographs of Existing and Adjacent Structures Attached: yes

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Alteration/Addition to Existing Building
 - Other, Specify _____
- B. Use of Existing and Proposed Structures and Land:
 - Existing Use (If Non-conforming, explain nature of use and non-conformity):
Freight/Hardware
 - Proposed Use: Freight/Hardware /Storage **File No. C24-019-007(H)**
 - Exhibit B**
- C. If Vacant:
 - Previous Use: _____
 - Proposed Use: _____
 - Length of Time Parcel Has Been Vacant: _____
 - Date 1-29-24**
 - Initials KP**

OFFICE USE ONLY			
FILE NUMBER: <u>C24-019-007(H)</u>	FEE: _____		
DATE: <u>1-29-24</u>	CHECK NO: _____	INITIALS: <u>KP</u>	Revised Oct 2018

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the _____ (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**

Signature

SIGNATURES _____
Signature

Please Print Name

Please Print Name

Signed and sworn to before me on the _____ day of _____.

Notary Public

_____ County, Michigan

My commission expires: _____

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2018

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

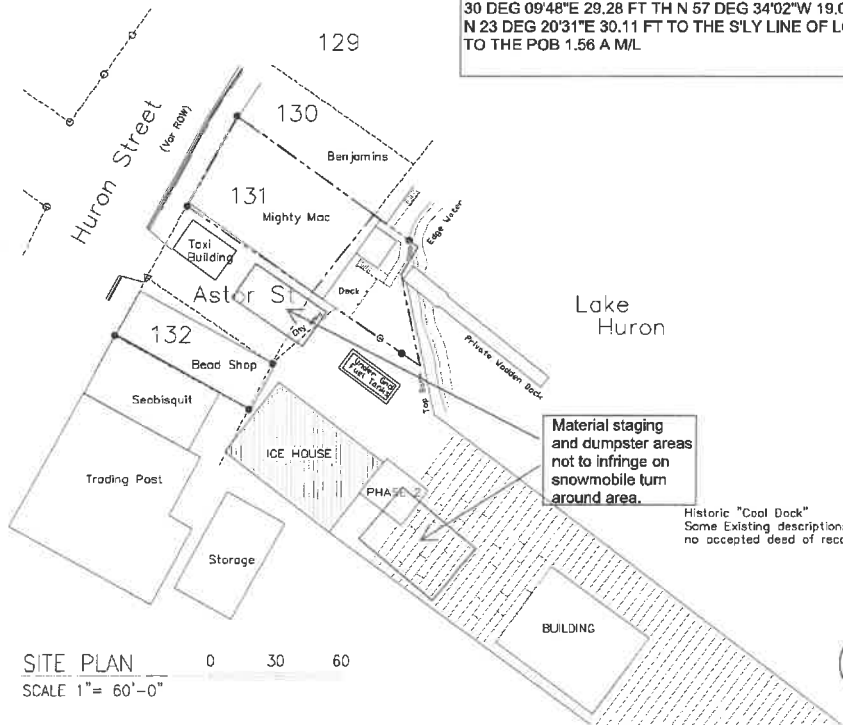
<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

All building material hauled by Arnold Freight to site. Might need 1 or 2 dumpster vehicle permits. Plan on mainly using 2 footers for construction debris.

LEASE BUILDING ON LEASED LAND COAL DOCK ADJ TO PART OF LOT 133 ALL OF LOT 132 & ASTOR ST EXT ASSESSORS PLAT NO 3 DESC AS COMM AT THE N COR OF LOT 132 TH S 61 DEG 00'00"E 70.00 FT ALG THE S'LY ROW LINE OF ASTOR ST TO THE E COR OF LOT 132 & THE POB TH N 42 DEG 53'57"E 38.65 FT ALG THE SE ROW LINE OF ASTOR ST TH S 61 DEG 00'00"E 69.84 FT ALG ASTOR ST EXT TH N 30 DEG 26'33"E 15.50 FT TH S 58 DEG 12'11"E 475 FT TH S 32 DEG 55'19"W 125.50 FT TH N 59 DEG 05'03"W 477.19 FT TH N 30 DEG 09'48"E 29.28 FT TH N 57 DEG 34'02"W 19.00 FT TH N 66 DEG 39'32"W 45.00 FT TH N 23 DEG 20'31"E 30.11 FT TO THE S'LY LINE OF LOT 132 TH N 23 DEG 20'31"E 23.60 FT TO THE POB 1.56 A ML



DISTRICT: C COMMERCIAL
 SITE AREA:
 UPPLANS: = 3,410 SF.
 BOTTOMLANDS: = 1,486 SF.
 BLDG. AREA:
 EXISTING: 3,518 SF.
 PROPOSED: 192 SF.
 TOTAL: 3,710 SF.

○ Fd Iron
 △ Fd NGR
 ⊗ Set Iron #Z7447
 ⊗ Set Spike w/cop
 123.47
 Plotted Dimension
 Bearings based on the SC
 ROW Merkel Street, Lots
 105-114

SITE PLAN
 SCALE 1" = 60'-0"



NO.	DESCRIPTION
AS.0	EXISTING FLOOR PLAN
AS.1	1 ST FLOOR PLAN
AS.2	2 ND FLOOR PLAN
AS.3	SECTION NOTES
AS.7	EXISTING
AS.8	NEW EXISTING
AS.17	FIRST FLOOR FINISH PLAN
AS.18	SECOND FLOOR FINISH PLAN
AS.1	SECTION AS
AS.2	SECTION AB

BUILDING CODE INFORMATION	
CODE:	2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
USE GROUP:	M MERCHANTILE, S-1 STORAGE
CONSTRUCTION TYPE:	3B
FLOOR AREA:	
MINIMUM FLOOR AREA:	1,000 SF OF GROUND LEVEL FLOOR - 100% OF FLOOR LEVEL FLOORING - 100% OF MEZANINE 2 OF HEIGHT - 100% OF
FLOOR AREA:	ALLOWABLE = 1 STORY w/ 100% ACTUAL = 1 STORY w/ MEZANINE
CEILING HEIGHT:	9'6" w/ 0' 0" = 11'
STORY HEIGHT:	10'0" w/ 0' 0" = 11'
2 ND FLOOR:	2400 sq. ft. = 8

BUILDING STRUCTURE PERMITS SCHEDULE		TYPE SR
PERMITS REQUIRED BY THIS SET		
STRUCTURE	NO	
MECHANICAL	NO	
ELECTRICAL	NO	
PLUMBING	NO	
HEATING	NO	
AIR CONDITIONING	NO	
WALLS	NO	
ROOFING	NO	
PAINTING	NO	
GLAZING	NO	
REPAIRS	NO	

Ryan J. Johnston P.E.
 Structural Engineer
 Johnston Engineering, PLLC
 5512 Harbor Road
 Harbor Springs, MI 49743
 231.326.0030 Fax: 231.326.0031
 rjohnst@johnstonengr.com

Richard Clemons Architect, PLLC
 3074 W. 1st
 11, 12, 13, 14, 15
 Harbor Springs, MI 49743
 231.326.0030 Fax: 231.326.0031
 rclemons@richardclemons.com

COAL DOCK REHABILITATION
 MICHIGAN ISLAND RECREATION AUTHORITY
 7325 ASTOR
 MACKINAC ISLAND, MI



" PERMIT SET"
 FOR CONSTRUCTION
 6th Jan. 22, 2024 1:00 PM
 SHEET 2240
 SITE PLAN
 A0.0

- | | | | |
|--|-------------------------------------|--|-------------------------------------|
| <p>12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.</p> | <input checked="" type="checkbox"/> | | <input type="checkbox"/> |
| <p>13. Proposed construction start date and estimated duration of construction. Start Feb 2024 End June 2024</p> | <input checked="" type="checkbox"/> | | <input type="checkbox"/> |
| <p>14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission</p> | <input type="checkbox"/> | | <input checked="" type="checkbox"/> |

Natural Features

Provided

Not Provided or Applicable

- | | | | |
|--|--------------------------|--|-------------------------------------|
| <p>15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)</p> | <input type="checkbox"/> | | <input checked="" type="checkbox"/> |
| <p>16. Topography of the site with at least two- to five-foot contour intervals</p> | <input type="checkbox"/> | | <input checked="" type="checkbox"/> |
| <p>17. Proposed alterations to topography or other natural features</p> | <input type="checkbox"/> | | <input checked="" type="checkbox"/> |
| <p>18. Earth-change plans, if any, as required by state law</p> | <input type="checkbox"/> | | <input checked="" type="checkbox"/> |

Physical Features

Provided

Not Provided or Applicable

- | | | | |
|--|-------------------------------------|--|-------------------------------------|
| <p>19. Location of existing manmade features on the site and within 100 feet of the site</p> | <input checked="" type="checkbox"/> | | <input type="checkbox"/> |
| <p>20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site</p> | <input type="checkbox"/> | | <input checked="" type="checkbox"/> |
| <p>21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a</p> | <input type="checkbox"/> | | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- | | | |
|--|-------------------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Utility Information

<u>Provided</u>	<u>Not Provided or Applicable</u>
-----------------	-----------------------------------

- | | | |
|--|--------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

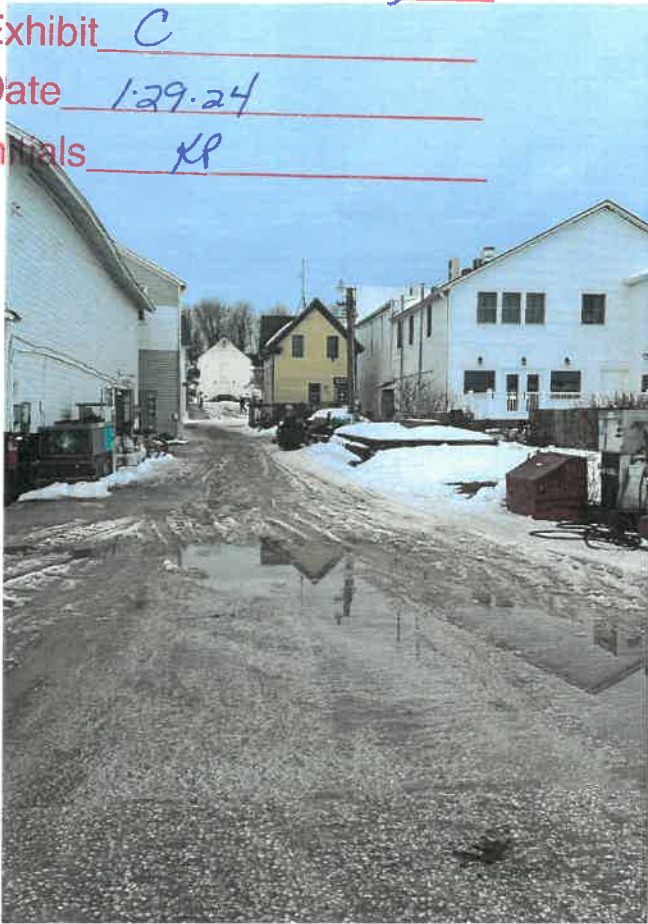
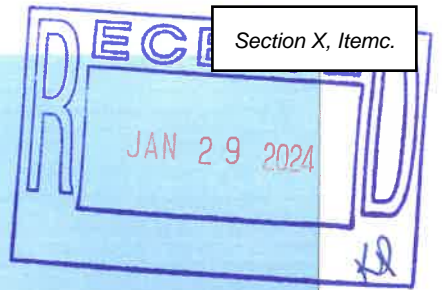
File No. C24-019-007(H)

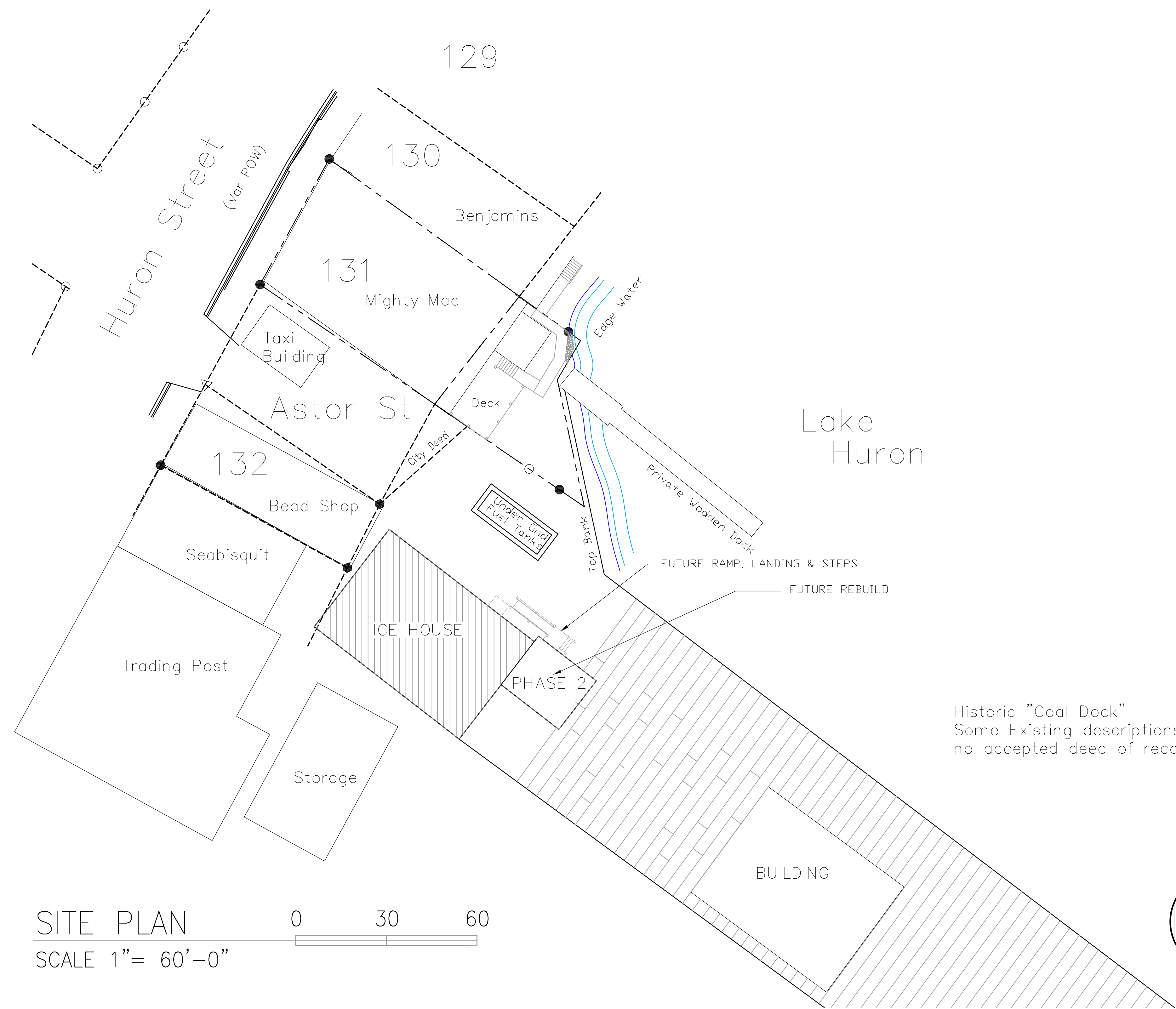
Exhibit C

Date 1-29-24

Initials KP

Section X, Itemc.





DISTRICT: c COMMERCIAL

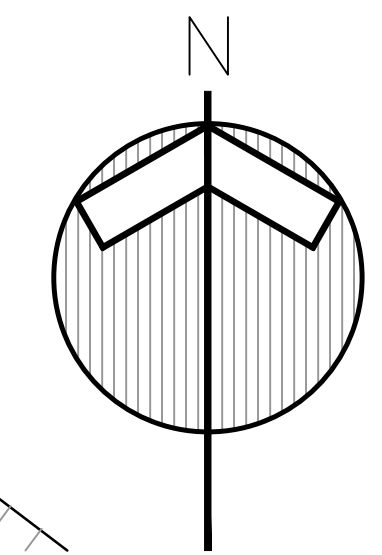
SITE AREA:
 UPLANDS: = 3,410 S.F.
 BOTTOMLANDS: = 1,686 S.F.

BLDG. AREA:
 EXISTING: 3,518 S.F.
 PROPOSED: 192 S.F.
 TOTAL: 3,710 S.F.

- Fd Iron
 - △ Fd Nail
 - Set Iron #27447
 - Set Spike w/cap
 - (123.4') Platted Dimension
- Bearings based on the SE ROW Market Street, Lots 105-114

Historic "Coal Dock"
 Some Existing descriptions, however
 no accepted deed of record.

SITE PLAN
 SCALE 1" = 60'-0"



SHEET INDEX	
SHEET	DESCRIPTION
A0.0	SITE PLAN
A1.0	EXISTING FLOOR PLAN
A1.1	1st FLOOR PLAN
A1.2	2nd FLOOR PLAN
A1.3	GENERAL NOTES
A2.1	SE ELEVATIONS
A2.2	NW ELEVATIONS
A3.1	FIRST FLOOR FRAMING & FOUNDATION PLAN
A3.2	SECOND FLOOR FRAMING PLAN
A4.1	SECTION AA
A4.2	SECTION BB

BUILDING CODE INFORMATION	
CODE:	2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
USE GROUP:	M MERCANTILE, S-1 STORAGE
CONSTRUCTION TYPE:	5B
BUILDING AREA:	GROUND LEVEL TOTAL = 2,954 sf GROUND LEVEL 1970's = 500 sf GROUND LEVEL HISTORIC = 2,454 sf MEZZANINE 1/2 OF HISTORIC = 800 sf
BUILDING HT.:	ALLOWABLE = 1 STORY w/ MEZZ. ACTUAL = 1 STORY w/ MEZZANINE
OCCUPANTS:	MERCANTILE: 984 s.f. @ 1/100 = 17 STORAGE #1: 755 s.f. @ 300 = 3 2nd FLOOR: 2400 s.f. @ 300 = 8

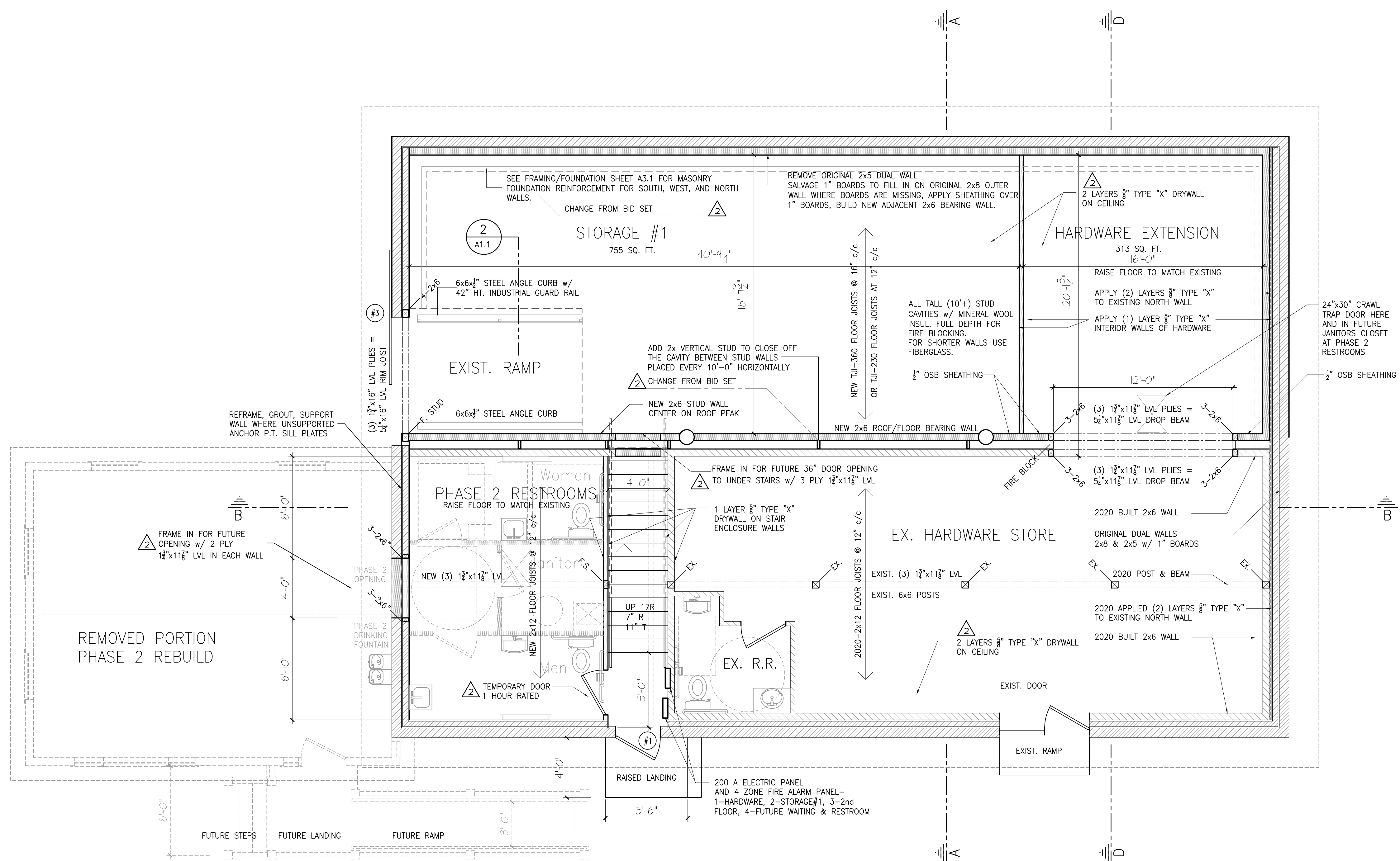
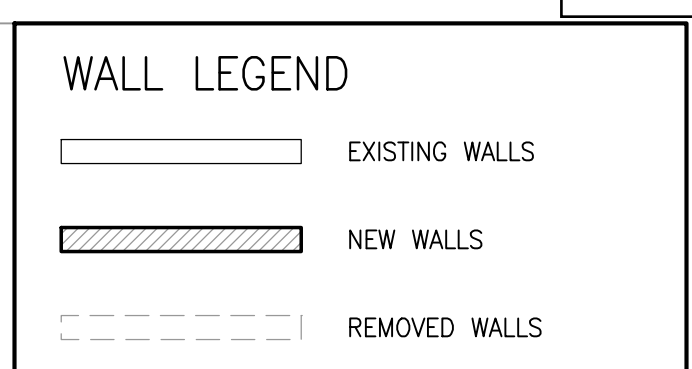
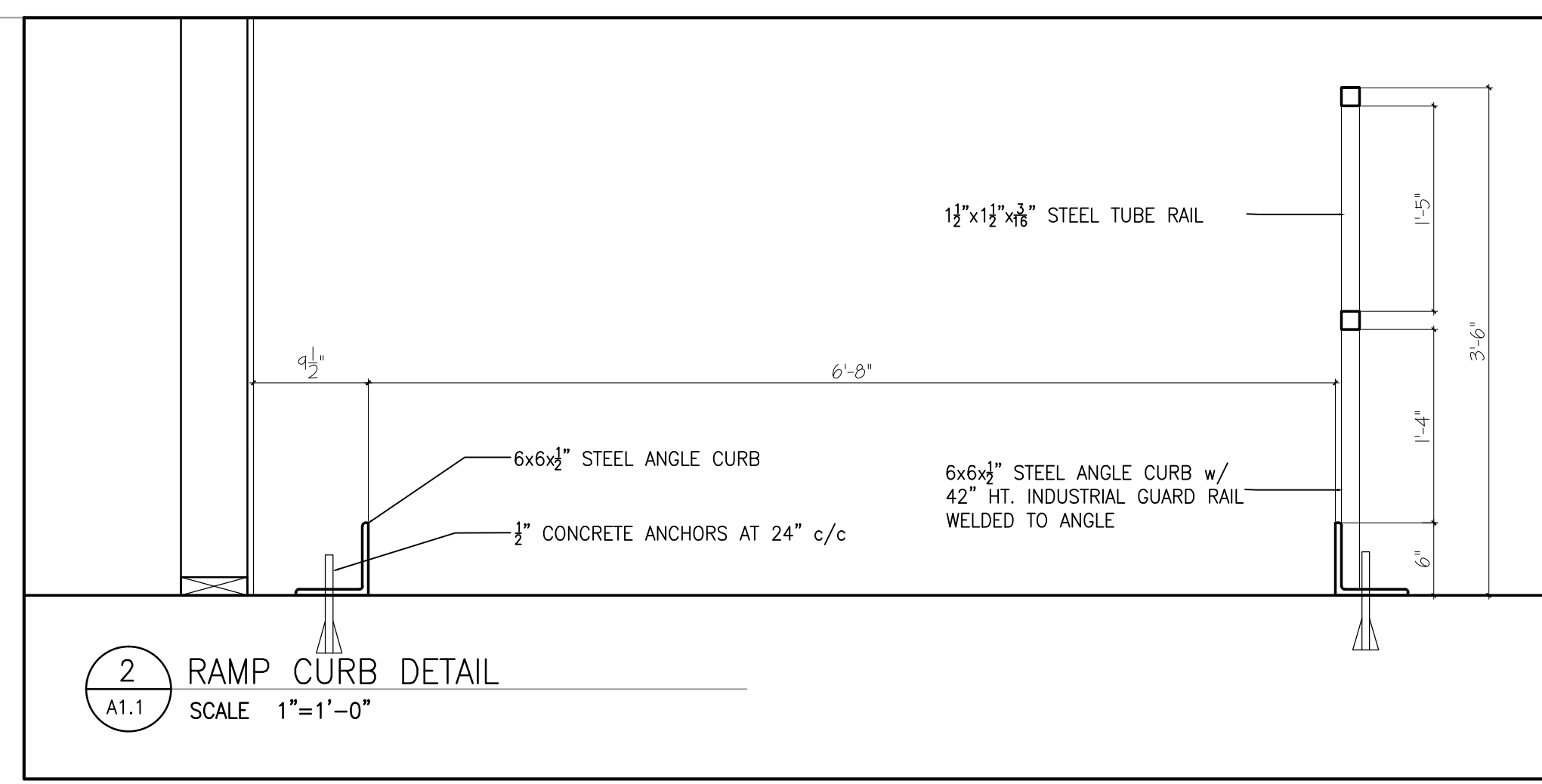
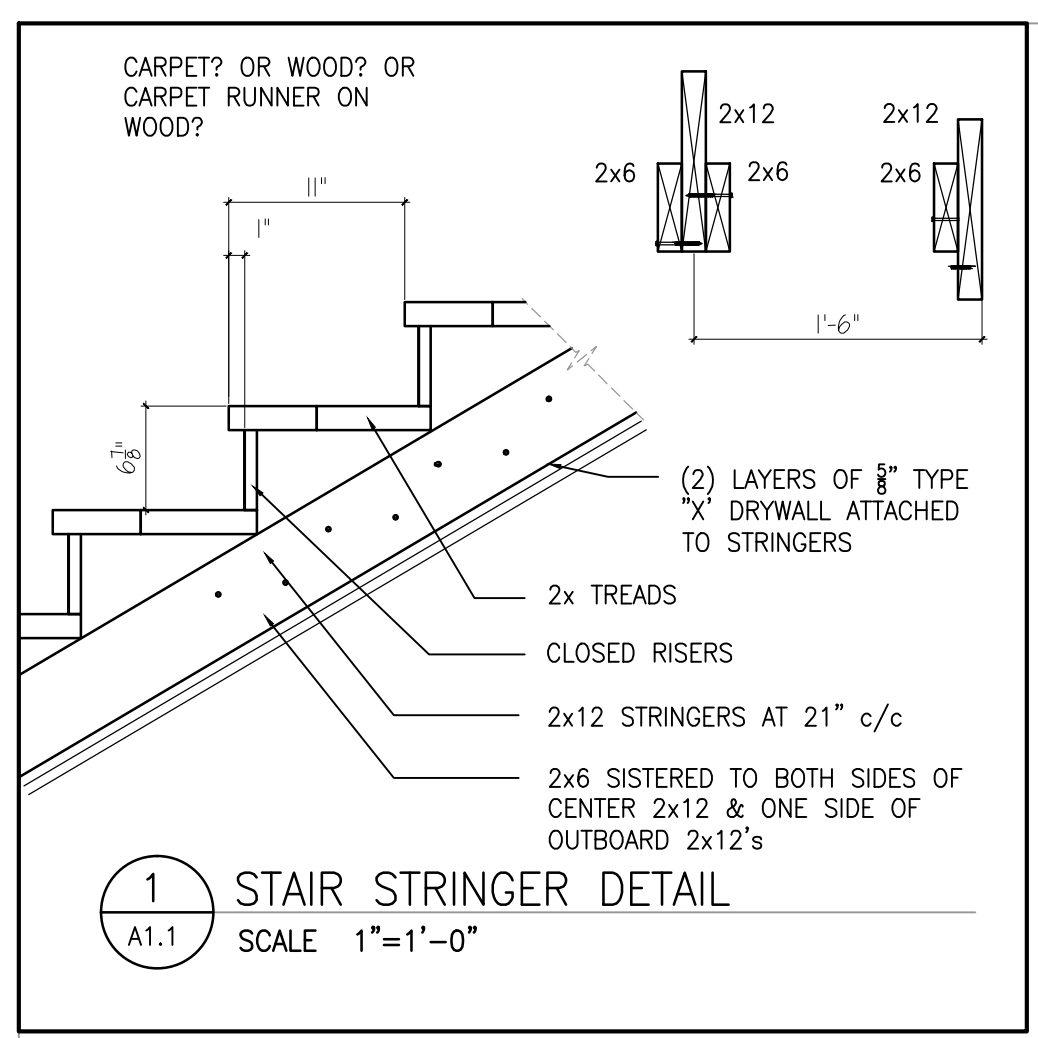
BUILDING STRUCTURAL FIRE RESISTANCE SCHEDULE:	
PER MBC TABLES 601 AND 602	TYPE 5B:
EXTERIOR WALLS:	NOTE #1
INTERIOR NON-LOADBEARING PARTITIONS:	0 HOUR
INTERIOR LOAD BEARING WALLS, COLUMNS:	0 HOUR
STRUCTURAL SUPPORTING MEMBERS:	0 HOUR
FLOOR CONSTRUCTION:	0 HOUR
ROOF CONSTRUCTION:	0 HOUR
SHAFT CONSTRUCTION:	N.A.
NOTE 1: SECTION 602, WHERE FIRE SEPARATION EXCEEDS 10'-0" THE FIRE RESISTANCE RATING IS 0. NORTH WALL BEING FIRE RATED FROM THE INSIDE.	

Ryan J. Johnston, P.E.
 Structural Engineer
 Johnston Engineering, PLLC
 6817 Hedrick Road
 Harbor Springs, MI 49740
 231.242.0609 Ph 231.838.8912 Cell
 Website: johnstonengineeringllc.com

Richard Clements Architect, PLLC
 19215 Merry Lane
 Okemos, MI 49759
 richardc@live.com 989-370-3681

COAL DOCK REHABILITATION
 MACKINAC IS. TRANSPORTATION AUTHORITY
 7325 ASTOR
 MACKINAC ISLAND, MI

date: Feb. 07, 2024	sheet:
project: 2249	A0.0
SITE PLAN	
COPYRIGHT © 2024	



DESIGN LOADS

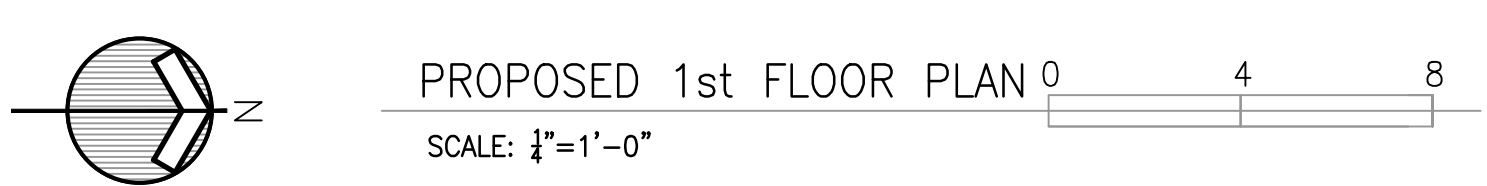
ROOF LOADS	
GROUND SNOW LOAD	70 PSF
SNOW DENSITY	23.1 PCF
ROOF TYPE	GABLE
ROOF SLOPE	6:12
IMPORTANCE CATEGORY	II
EXPOSURE CATEGORY	"D" FULLY EXP.
THERMAL CONDITION	UNHEATED
ROOF SURFACE	NON SLIPPERY
SNOW LOAD	
TC DEAD LOAD	47 PSF
BC LIVE LOAD	7 PSF
BC DEAD LOAD	0 PSF
BC LIVE LOAD	8 PSF
TYPICAL TOTAL LOAD	62 PSF
WIND SPEED	
DESIGN TO MEET MINIMUM STANDARDS FOR ANSI / ASCE EXPOSURE "D"	115 MPH
FIRST FLOOR LOAD	
DEAD LOAD	100 PSF
CEILING LOAD	15 PSF
TYPICAL TOTAL LOAD	118 PSF
SECOND FLOOR LOAD	
DEAD LOAD	60 PSF **
CEILING LOAD	15 PSF
TYPICAL TOTAL LOAD	90 PSF

**2000# CONCENTRATED LOAD AT ANY POINT

Ryan J. Johnston, P.E.
 Structural Engineer
 Johnston Engineering, PLLC
 6817 Hedrick Road
 Harbor Springs, MI 49740
 231.242.0609 Ph 231.838.8912 Cell
 Website: johnstonengineeringllc.com

Richard Clements Architect, PLLC
 15215 Merry Lane
 Okemos, MI 48864
 richard@rcad1923@live.com 989-370-3681

COAL DOCK REHABILITATION
 MACKINAC IS. TRANSPORTATION AUTHORITY
 7325 ASTOR
 MACKINAC ISLAND, MI



date: Feb. 07, 2024	sheet:
project: 2249	A1.1
PROPOSED 1st FLOOR	COPYRIGHT © 2024

FINISH SCHEDULE						
ROOM #	LOCATION	FLOOR	BASE	WALL	CEILING	NOTES:
1	STORAGE #1	BARE CONCRETE	NONE	BARE OSB	PRIMED DRYWALL	
2	STAIRS	WOOD TREADS	BARE 1x4	PRIMED DRYWALL	PRIMED DRYWALL	
3	UPPER LEVEL	NO SAND PLYWOOD	BARE 1x4	PRIMED DRYWALL	PRIMED DRYWALL	
EXIST. EXTERIOR WALLS EXIST. WOOD PLANKS TO REMAIN ADDED EXTERIOR WALLS DRYWALL TAPED & PRIMED CENTER WALL BARE OSB.						
NOTE #1: ALL FINISHES TO CONFORM TO THE CLASSIFICATION, FLAME SPREAD, AND SMOKE DEVELOPED RATINGS NOTED IN THE INTERIOR FINISH RATINGS NOTE BLOCK ELSEWHERE ON THIS SHEET						

INTERIOR FINISH RATINGS

INTERIOR WALL AND CEILING FINISH REQUIREMENTS:

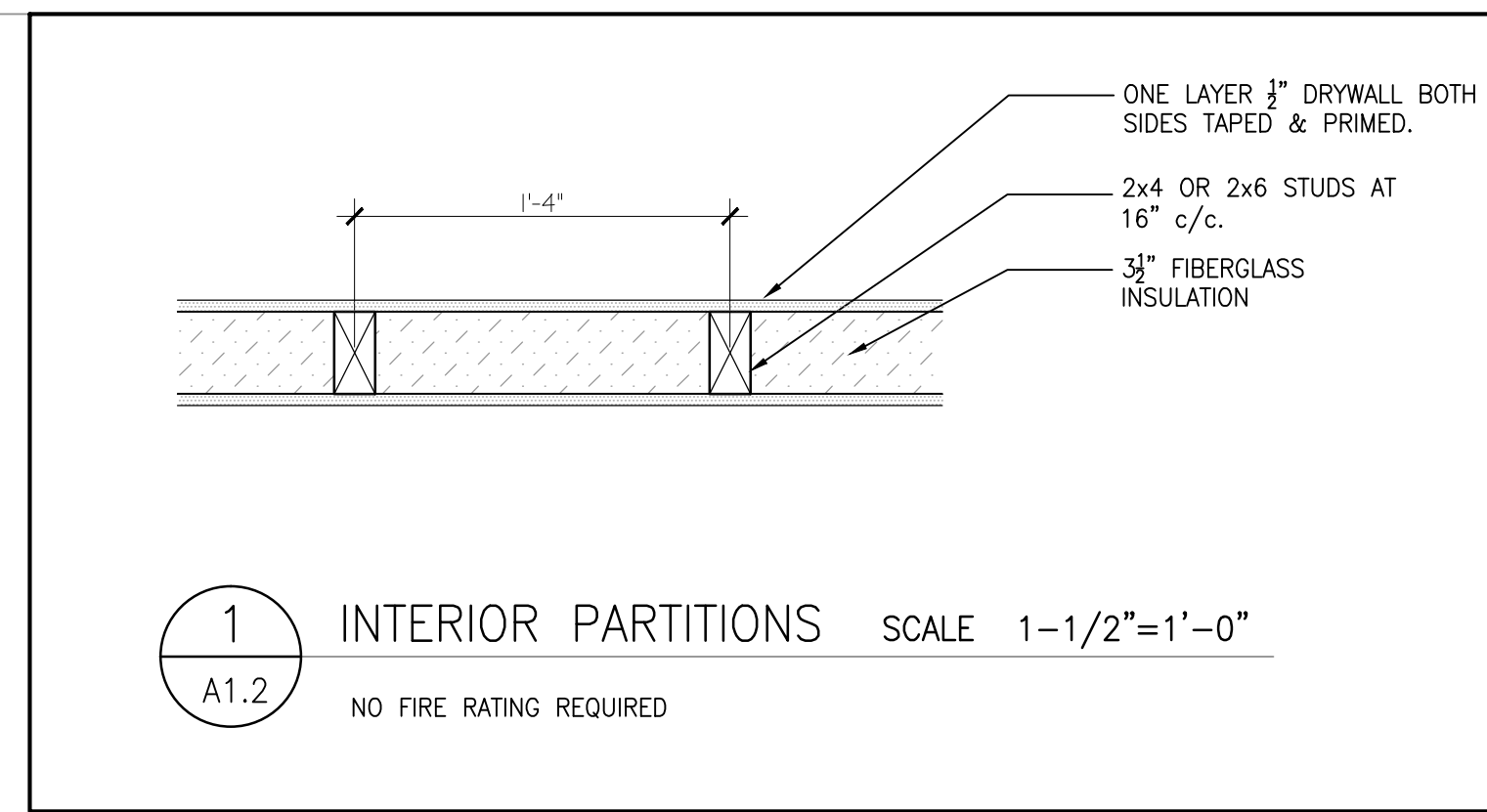
ROOMS: CLASS C FINISHES
FLAME SPREAD INDEX: 26-200
SMOKE DEVELOPED INDEX: 0-450

CORRIDOR: CLASS C FINISHES
FLAME SPREAD INDEX: 76-200
SMOKE DEVELOPED INDEX: 0-450

STAIRWAY: CLASS C FINISHES
FLAME SPREAD INDEX: 26-200
SMOKE DEVELOPED INDEX: 0-450

INTERIOR FLOOR FINISH REQUIREMENTS:

FLOORS: DOC FF-1 or ASTM D2859



WALL LEGEND

	EXISTING WALLS
	NEW WALLS
	REMOVED WALLS

DOOR #	LOCATION	SIZE	TYPE	HARDWARE	FIRE RATING
#1	FIRST FLOOR STAIR ENTRY	36"x80"	INS. METAL	SET #1	NONE
#2	LOFT DOOR-CUSTOM BUILD	72"x80"	WOOD	SET #2	NONE
#3	STORAGE #1 SLIDING	EXISTING	WOOD	SET #3	NONE
#4	WORKSHOP #2	36"x80"	INS. METAL	SET #4	NONE
#5	WORKSHOP #3	36"x80"	INS. METAL	SET #4	NONE
#6	WORKSHOP #4	36"x80"	INS. METAL	SET #4	NONE
#7	WORKSHOP #5	36"x80"	INS. METAL	SET #4	NONE
#8	WORKSHOP #6	36"x80"	INS. METAL	SET #4	NONE
#9	WORKSHOP #7	36"x80"	INS. METAL	SET #4	NONE

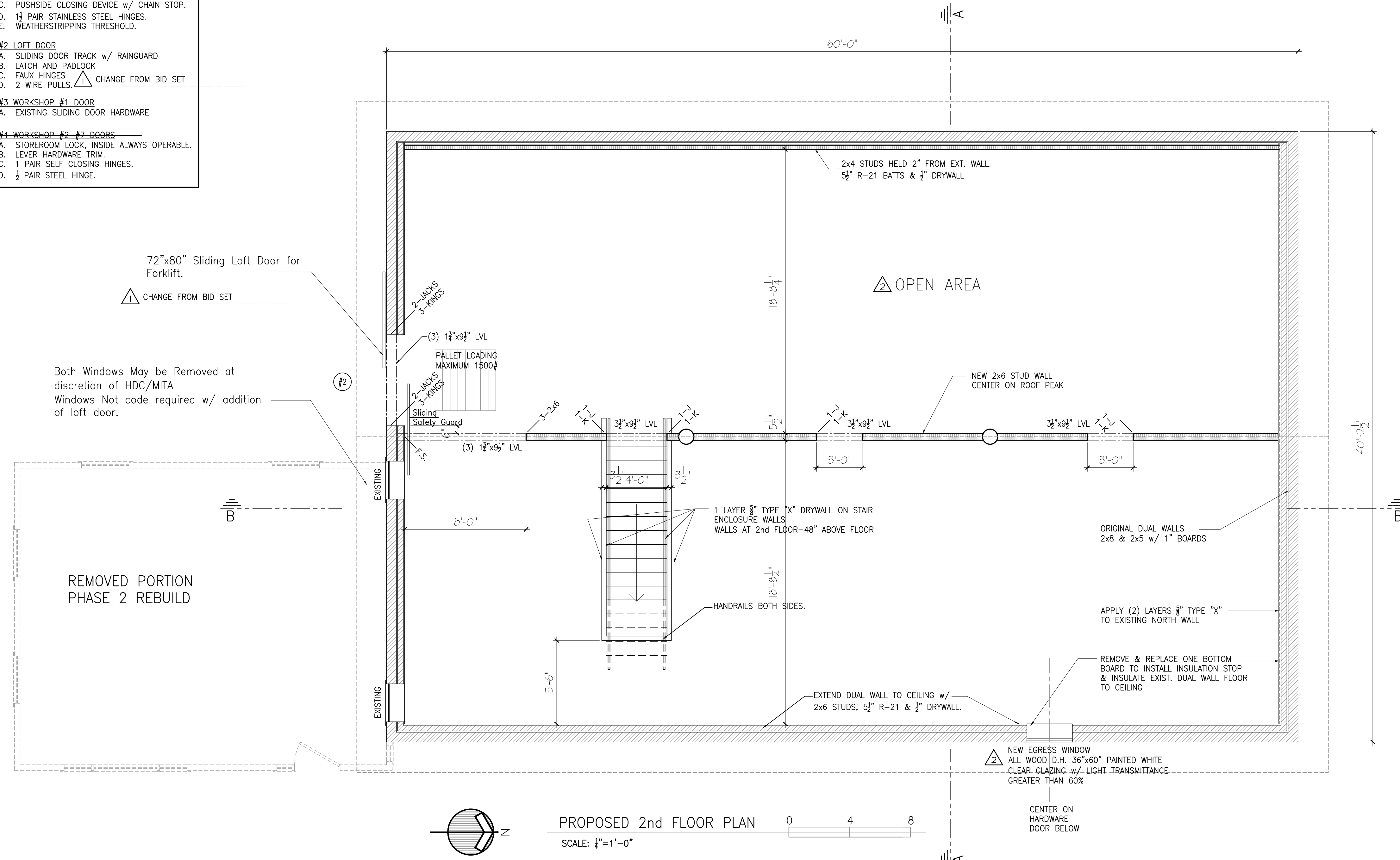
HARDWARE SCHEDULE

#1 STAIR ENTRY/EXIT DOOR
A. STOREROOM LOCK, INSIDE ALWAYS OPERABLE.
B. LEVER HARDWARE TRIM.
C. PUSHSIDE CLOSING DEVICE w/ CHAIN STOP.
D. 1/2 PAIR STAINLESS STEEL HINGES.
E. WEATHERSTRIPPING THRESHOLD.

#2 LOFT DOOR
A. SLIDING DOOR TRACK w/ RAINGUARD
B. LATCH AND PADLOCK
C. FAUX HINGES
D. 2 WIRE PULLS. Δ CHANGE FROM BID SET

#3 WORKSHOP #1 DOOR
A. EXISTING SLIDING DOOR HARDWARE

#4 WORKSHOP #2-#7 DOORS
A. STOREROOM LOCK, INSIDE ALWAYS OPERABLE.
B. LEVER HARDWARE TRIM.
C. 1 PAIR SELF CLOSING HINGES.
D. 1/2 PAIR STEEL HINGE.

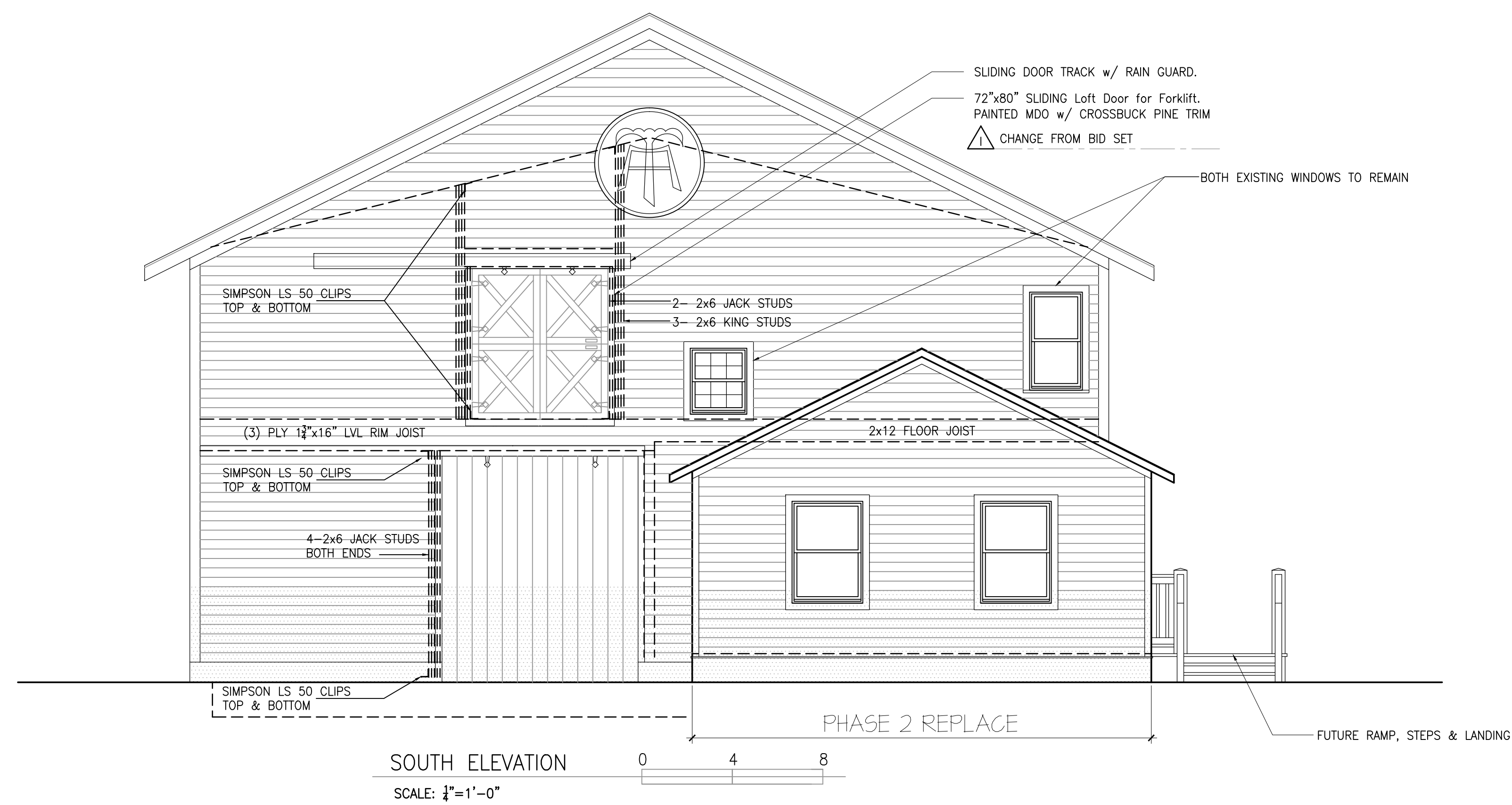
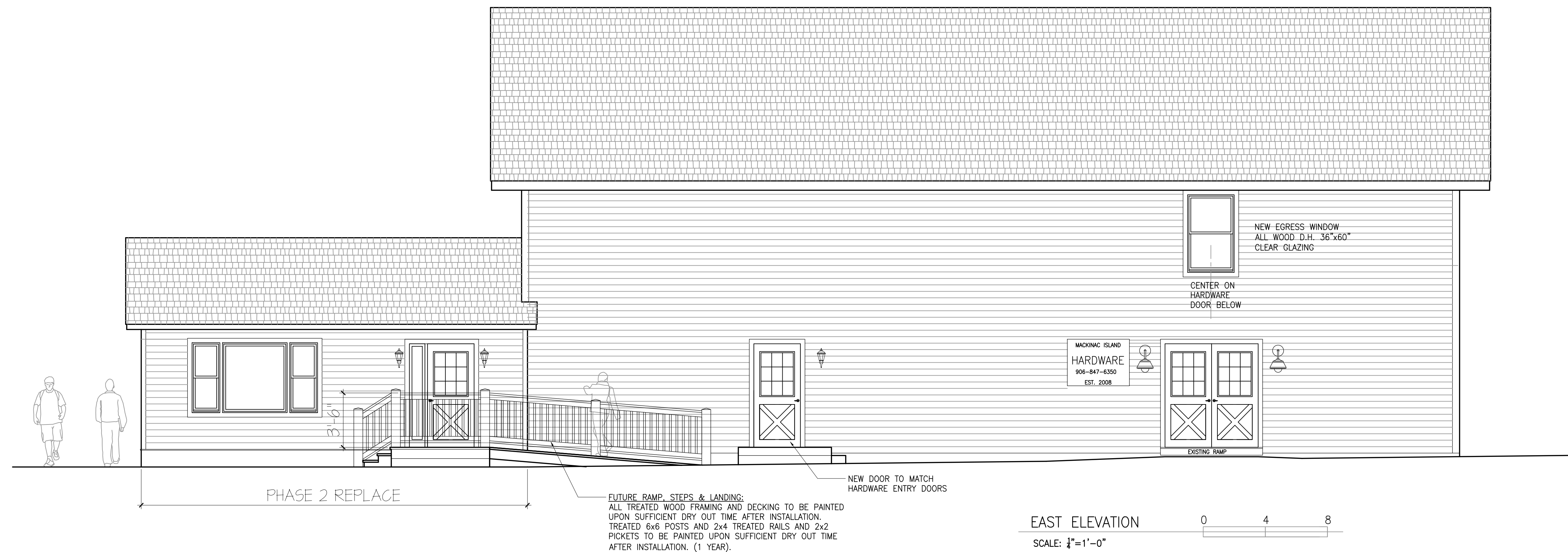


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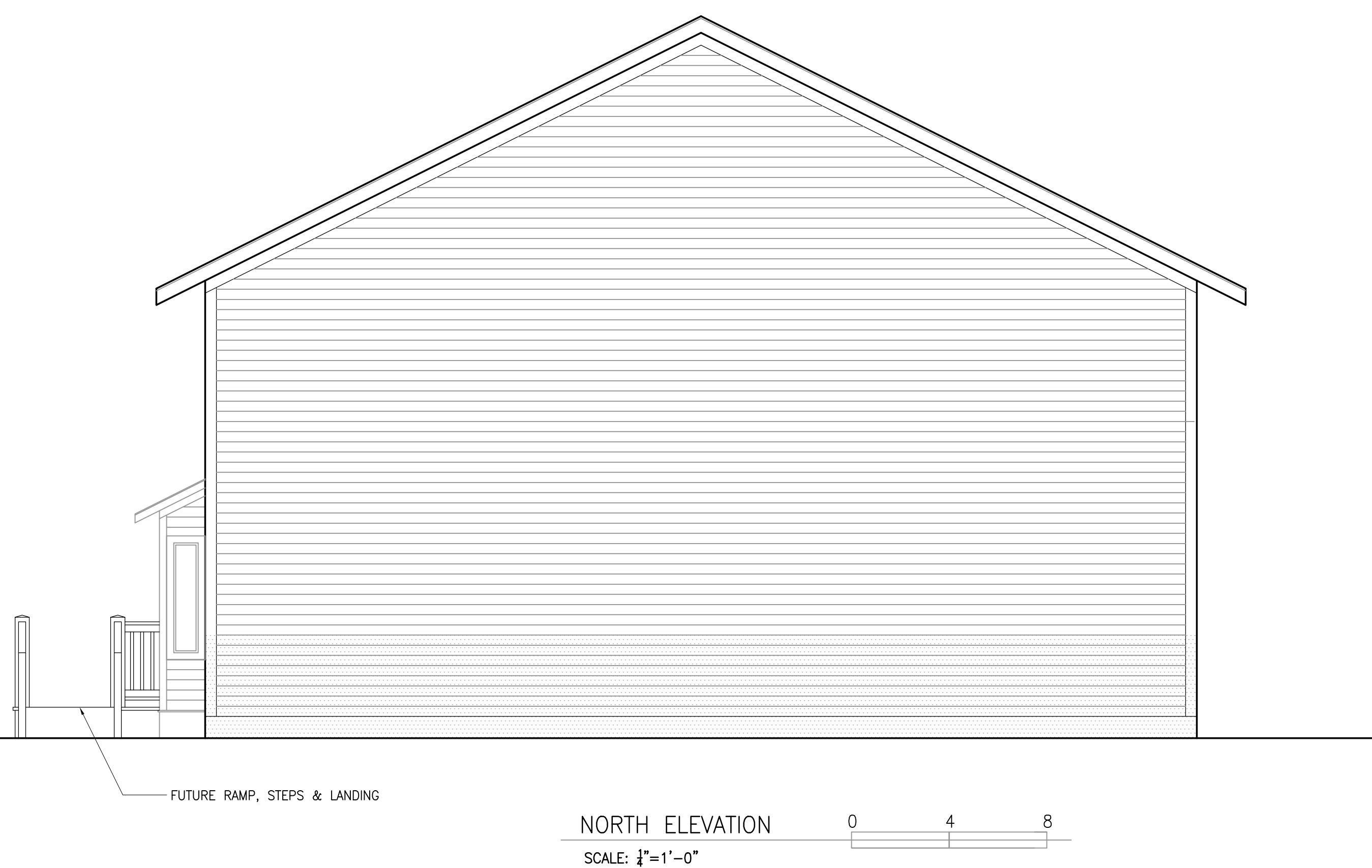
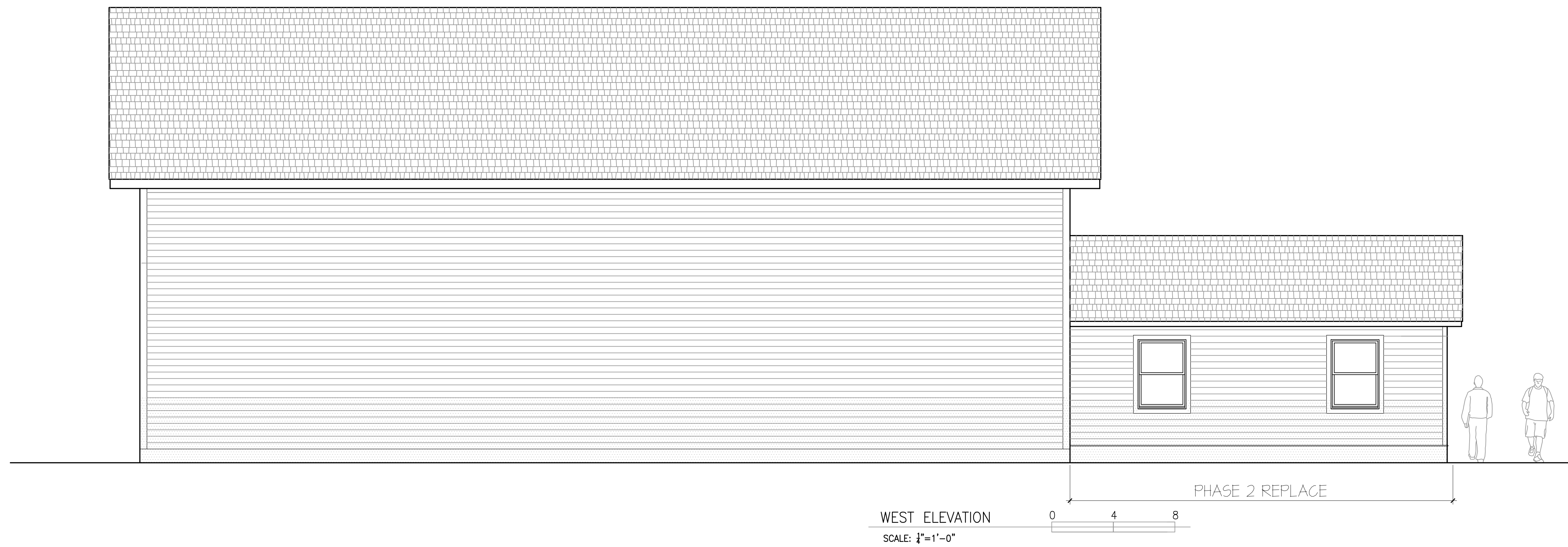
Richard Clements Architect, PLLC
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COAL DOCK REHABILITATION
MACKINAC IS. TRANSPORTATION AUTHORITY
7325 ASTOR
MACKINAC ISLAND, MI

date: Feb. 07, 2024 sheet
project: 2249
PROPOSED 2nd FLOOR A1.2
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<p>Richard Clements Architect, PLLC 15215 Merry Lane Okemos, MI 49799 richardlee1923@live.com 989-370-3681</p>	
<p>COAL DOCK REHABILITATION MACKINAC IS. TRANSPORTATION AUTHORITY</p>	
<p>7325 ASTOR MACKINAC ISLAND, MI</p>	
<p>date: Feb. 07, 2024 project: 2249</p>	<p>sheet: A2.1 COPYRIGHT © 2024</p>
<p>ELEVATIONS</p>	



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COAL DOCK REHABILITATION
 MACKINAC IS. TRANSPORTATION AUTHORITY
 7325 ASTOR
 MACKINAC ISLAND, MI

date: Feb. 01, 2024 sheet
 project: 2249

ELEVATIONS **A2.2**
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B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Existing Buildings ARE non-conforming due to Setbacks

Proposed Use:

Any Future change would require setback compliance

C. If Vacant:

Previous Use: _____

Proposed Use: _____

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Surveyor (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Neil W. Hill P.S.
Signature

SIGNATURES _____
Signature

for

Neil W. Hill P.S.
Please Print Name

Rosemary Lounsbury
Please Print Name

Signed and sworn to before me on the 31 day of January, 2024.

Kathryn Pereny
Notary Public



Mackinac County, Michigan
My commission expires: _____

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: _____

FEE: 150.00

DATE: _____ CHECK NO: _____ INITIALS: _____

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/> <i>NONE</i>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/> <i>N/A</i>	<input checked="" type="checkbox"/>

- 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.
- 13. Proposed construction start date and estimated duration of construction.
- 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission

Natural Features

Provided

Not Provided or Applicable

- 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)
- 16. Topography of the site with at least two- to five-foot contour intervals
- 17. Proposed alterations to topography or other natural features
- 18. Earth-change plans, if any, as required by state law

Physical Features

Provided

Not Provided or Applicable

- 19. Location of existing manmade features on the site and within 100 feet of the site
- 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site
- 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a

dwelling schedule showing the unit type and number of each such units

22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features

23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)

24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)

25. Description of Existing and proposed on-site lighting (see also Section 4.27)

Utility Information

Provided

Not Provided or Applicable

26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand

27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)

28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)

29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

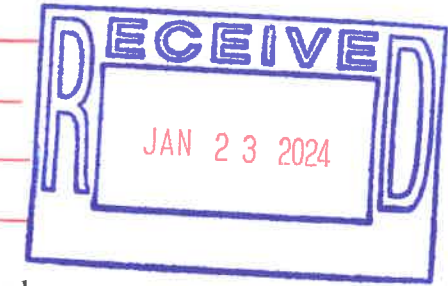
Mahoney Place Condominium

File No. R123-080-093

Exhibit J

Date 1-29-24

Initials KP



Section X, Itemd.
Sheet 1 of 4
Cover Page

A Site Condominium
Exhibit B to the Master Deed

Description

Lot 5, Block 7, Assessor's Plat No. 4, City of Mackinac Island, Mackinac County, Michigan, According to the recorded Plat thereof;

In Addition:

Commencing at the Northeast corner of Lot 5, Block 7, Assessors Plat #4, City of Mackinac Island, Mackinac County, Michigan; Thence N 52°15'49" W 119.54 feet, (119' rec.) to the Northwest corner of Lot 5, and the Point of Beginning; Thence S 38°41'55" W 45.07 feet, along the Western boundary of Lot 5; thence N 51°18'05" W 3.30 feet; thence N 37°48'30" E 45.01 feet, 1' Northwesterly of an existing building wall; thence S 52°15'49" E 4.00 feet, along an extension of the North line of Lot 5, to the Point of Beginning;

Subject to an Electrical Utility Easement:

Beginning at the Southern corner of Lot 5, Block 7, Assessors Plat #4, City of Mackinac Island, Mackinac County, Michigan; Thence N 51°47'06" W 16.00 feet, along the line between Lots 4 and 5; thence N 37°36'50" E 5.00 feet, parallel to the Eastern line of Lot 5; thence S 51°47'06" E 16.00 feet, parallel to the line between Lots 4 and 5; thence S 37°36'50" W 5.00 feet, along the Eastern line of Lot 5, to the Point of Beginning.

Subject to any Easements, Restrictions, or Reservations of Record.

Condominium Subdivision Plans shall be numbered consecutively when recorded in the Register of Deeds. This Condominium Plan shall be designated: Mackinac County Condominium Subdivision Plan No. _____

These 4 consecutive pages are to be known as Exhibit B to the Master Deed of the Mahoney Place Condominium, originally recorded in Liber _____ Pages _____ Mackinac County Records.

Surveyor's Certificate

I, Neil W. Hill, Registered Land Surveyor of the State of Michigan, hereby certify,

That the subdivision plan known as Mackinac County Condominium Subdivision Plan No. ____ shown on the accompanying drawings, represents a survey on the ground made under my direction, that there are no existing encroachments upon the lands and property herein described.

That the required monuments and iron markers have been located in the ground as required by rules promulgated under section 142 of Act 59 of the Public Acts of 1978.

That the accuracy of this survey is within the limits required by the rules promulgated under section 142 of Act No. 59 of the Public Acts of 1978.

That the bearings, as shown are noted on the survey plan as required under section 142 of Act No. 59 of the Public Acts of 1978.

Developer:

Rosemary Lounsbury,
P.O. Box 387,
Mackinac Island,
Michigan, 49757

Vicinity Map



Prepared By:

Mackinac Country Land Surveys
Neil W. Hill P.S.
429 Ellsworth St
St. Ignace, MI 49781

Sheet Index

- 1.----Cover Sheet
- 2.----Survey Plan
- 3.----Existing Site & Utility Plan
- 4.----Future Site & Utility Plan

Mackinac Country Land Surveys
429 Ellsworth St. ~ St. Ignace, MI 49781
(906) 643-9418 www.MackinacSurveys.com

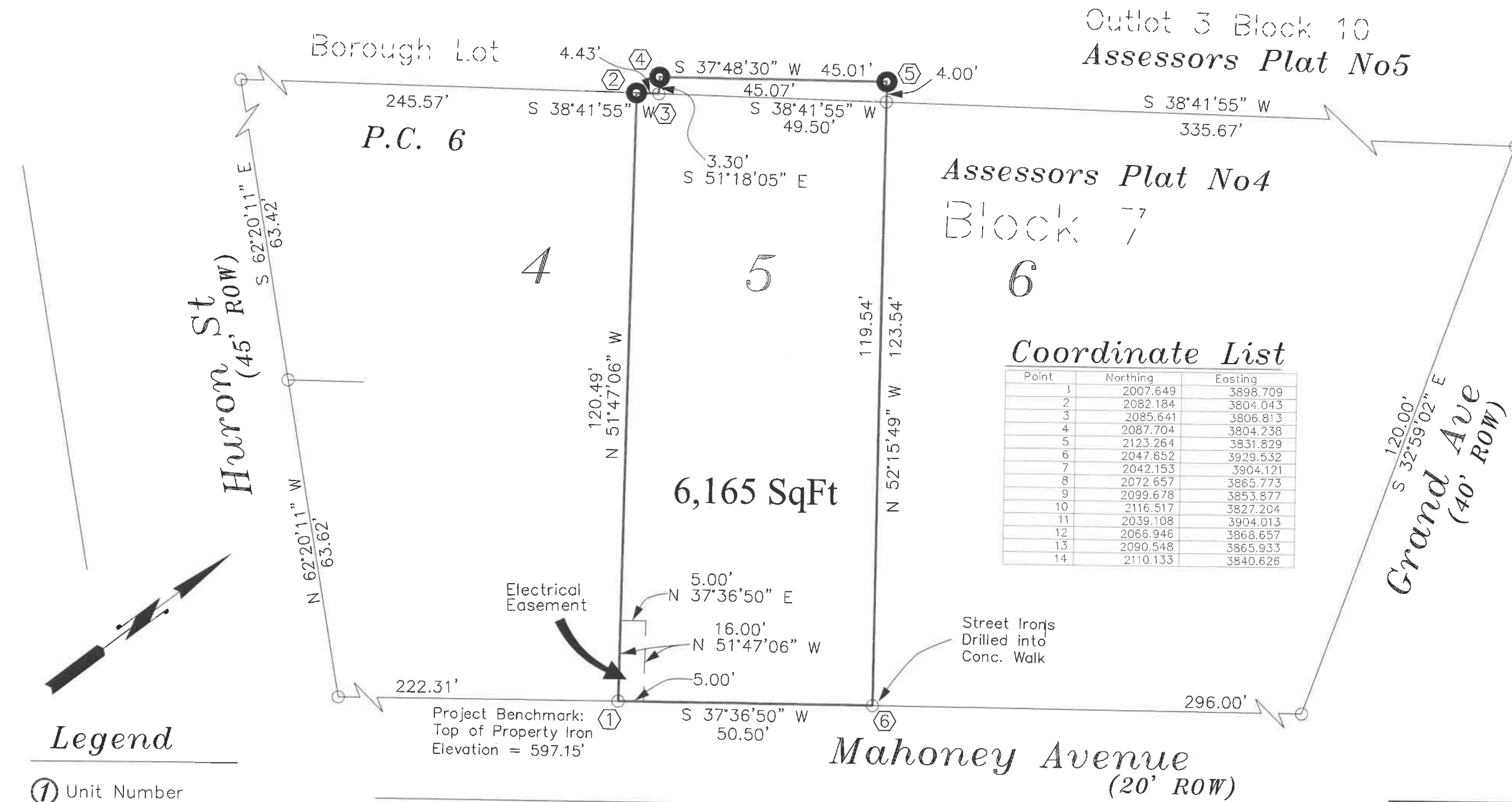


DATE: January 19, 2024
ORDER #: 23073-MC-5-BLK7-AP4-MI
DRAWN BY: Matthew B. Bliss

Neil W. Hill P.S.
Professional Surveyor #50439

Mahoney Place Condominium

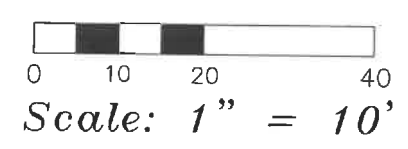
Section X, Itemd.
Sheet 2 of 4
Survey Plan



Coordinate List

Point	Northing	Easting
1	2007.649	3898.709
2	2082.184	3804.043
3	2085.641	3806.813
4	2087.704	3804.238
5	2123.264	3831.829
6	2047.652	3929.532
7	2042.153	3904.121
8	2072.657	3865.773
9	2099.678	3853.877
10	2116.517	3827.204
11	2039.108	3904.013
12	2066.946	3868.657
13	2090.548	3865.933
14	2110.133	3840.626

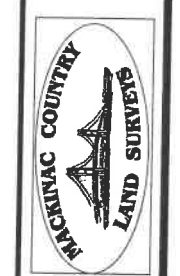
- Legend**
- ① Unit Number
 - ⬡ Coordinate Point
 - Found Iron
 - Set Iron #50439
 - ⊙ Set Concrete Monument
 - ⊠ Found Concrete Monument



Bearings, Elevations, & Coordinates based upon the Recorded 139NS-138 Condominium.

Neil W. Hill P.S.
Professional Surveyor #50439

Mackinac Country Land Surveys
 429 Ellsworth St. ~ St. Ignace, MI 49781
 (906) 643-9418 www.MackinacSurveys.com



DATE: January 19, 2024
 ORDER #: 23073-MC-5-BLK7-AP4-MI
 DRAWN BY: Matthew B. Bliss

Mahoney Place Condominium

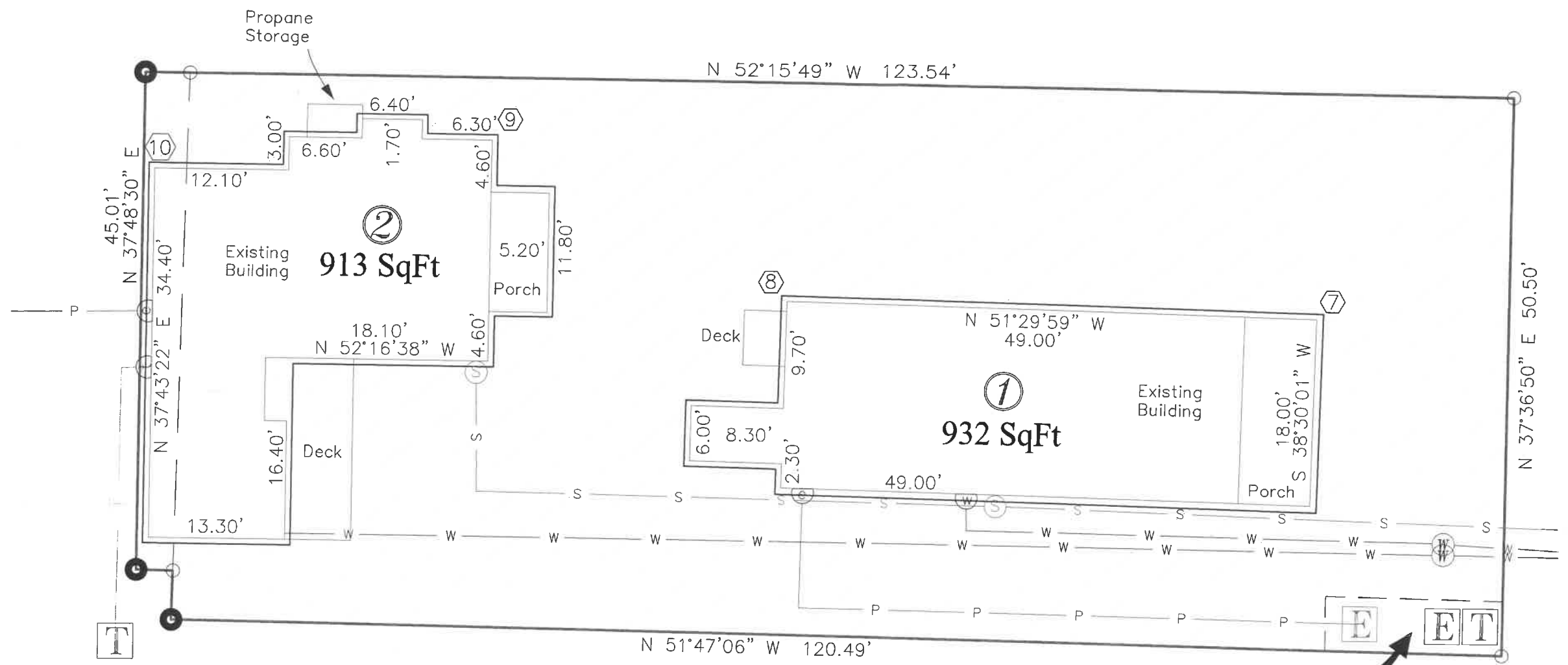
Existing Building Envelopes

Sheet 3 of 4
Existing Site, Section
& Utility Plan

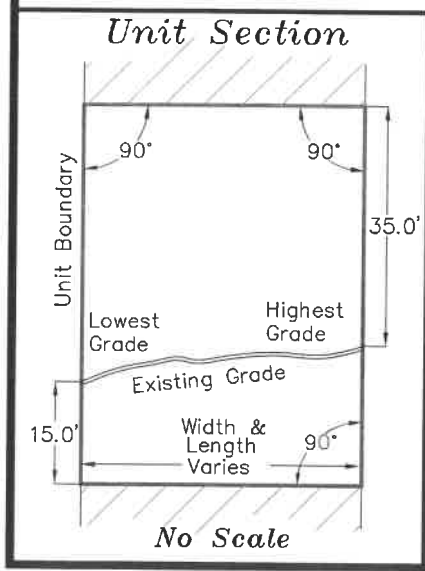
Mackinac Country Land Surveys
429 Ellsworth St. ~ St. Ignace, MI 49781
(906) 643-9418 www.MackinacSurveys.com



DATE: January 19, 2024
ORDER #: 23073-MC-5-BLK7-AP4-MI
DRAWN BY: Matthew B. Bliss



Note:
All Existing Building
Envelope Angles Are
90 Degrees



Legend

- | | | | | | |
|-------|-------------------|---|-------------------|---|-------------------------|
| ① | Unit Number | ① | Coordinate Point | □ | Unit Areas |
| — P — | Udg Power Line | Ⓜ | Water Valve | ▨ | General Common Elements |
| — W — | Udg Water Line | Ⓜ | Electrical Meter | | |
| — S — | Udg Sewer Line | Ⓜ | Water Meter | | |
| — T — | Udg Telephone | Ⓜ | Sanitary Cleanout | | |
| Ⓜ | Sanitary Cleanout | Ⓜ | Telephone | | |
| Ⓜ | Power Pole | | | | |
| Ⓜ | Electric Trans | | | | |
| Ⓜ | Fire Hydrant | | | | |
| Ⓜ | Telephone Box | | | | |



Scale: 1" = 5'

Neil W. Hill P.S.
Professional Surveyor #50439

Mahoney Place Condominium

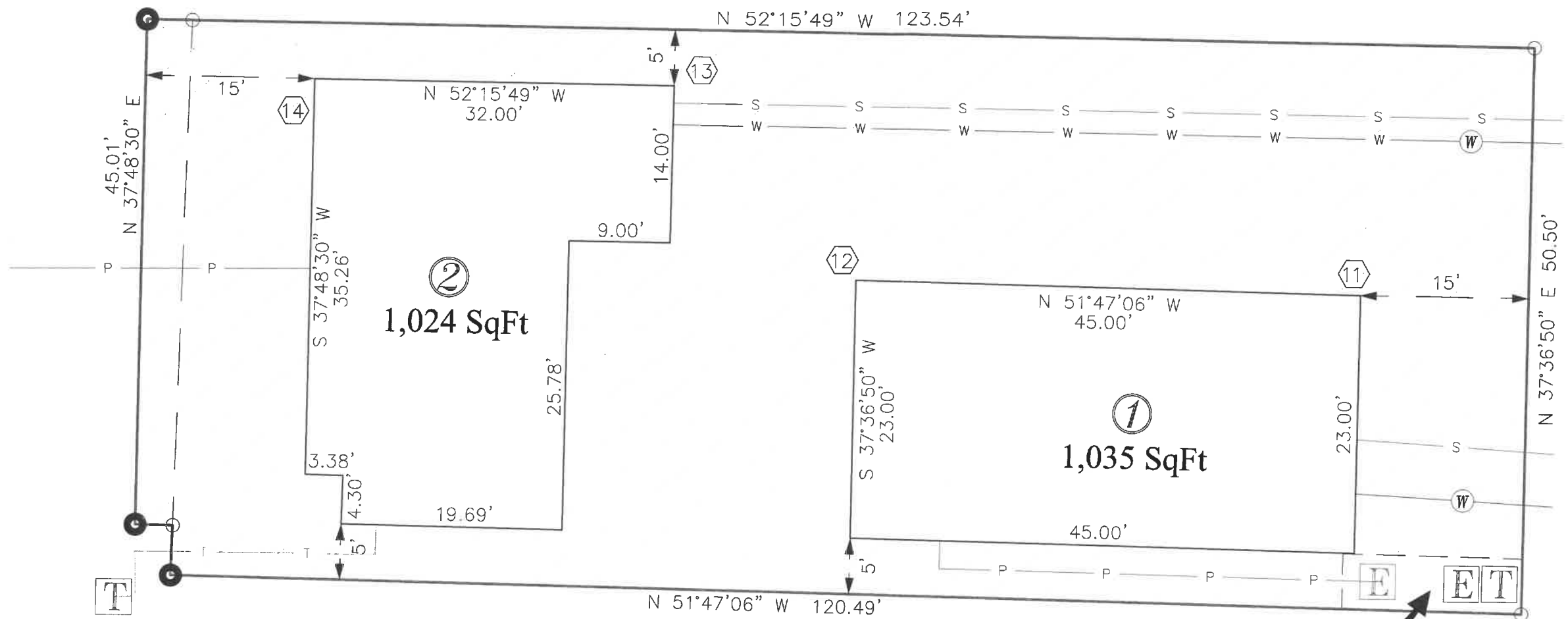
Future Building Envelopes

Sheet 4 of 4
Future Site, Section
& Utility Plan

Mackinac Country Land Surveys
429 Ellsworth St. ~ St. Ignace, MI 49781
(906) 643-9418 www.MackinacSurveys.com



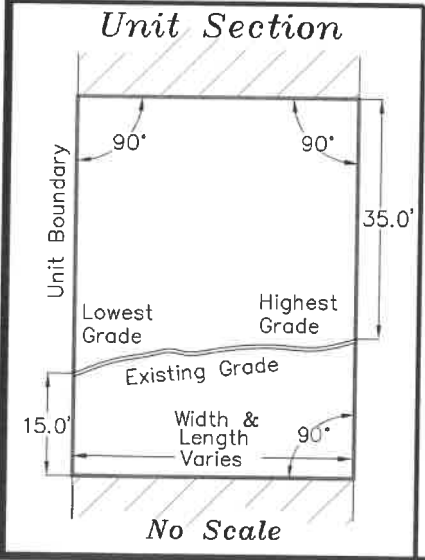
DATE: January 19, 2024
ORDER #: 23073-MC-5-BLK7-AP4-MI
DRAWN BY: Matthew B. Bliss



Mahoney Avenue
(20' ROW)

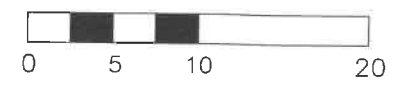
Note:
Any combination of future building envelopes with existing building envelopes does not violate building setback or separation guidelines.

Electrical Easement



Legend

- | | | | | | |
|----------|-------------------|----------|-------------------|--|-------------------------|
| ① | Unit Number | ① | Coordinate Point | | Unit Areas |
| | Udg Power Line | | Water Valve | | General Common Elements |
| | Udg Water Line | | Electrical Meter | | |
| | Udg Sewer Line | | Water Meter | | |
| | Udg Telephone | | Sanitary Cleanout | | |
| | Sanitary Cleanout | | Telephone | | |
| | Power Pole | | | | |
| | Electric Trans | | | | |
| | Fire Hydrant | | | | |
| | Telephone Box | | | | |



Scale: 1" = 5'

Neil W. Hill P.S.
Professional Surveyor #50439