

CITY OF MACKINAC ISLAND

AGENDA

PLANNING COMMISSION MEETING

Tuesday, July 11, 2023 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

[a.](#) Zoom Information

II. Roll Call

III. Pledge of Allegiance

IV. Approval of Minutes

[a.](#) Minutes of the June 13, 2023 Regular Meeting

V. Adoption of Agenda

VI. Correspondence

VII. Staff Report

a. HDC Meeting Summary

b. REU Update

VIII. Committee Reports

a. Master Plan Update

IX. Old Business

X. New Business

[a.](#) Zoning Application Draft for Approval

[b.](#) R123-001-038 Wastewater Plant Improvements

[c.](#) HB23-015-043 Forest Way Townhomes Fence

[d.](#) HB23-072-044 1358 French Lane Change of Use - Lakeview Mackinac LLC

[e.](#) MD23-026-040(H) Benser - Shryock Residence Fence

[f.](#) HB23-037-046 Chippewa Hotel St Cloud Deck

[g.](#) R423-095-031 GHMI 7527 4th Street Renovations

[h.](#) HB23-002-046 Grand Hotel Security Gate

[i.](#) C23-021-047(H) GHMI Bicycle Street Inn New Entry Doors

XI. Public Comment

XII. Adjournment

July 11 2023 Zoom Info

Topic: Historic District Commission

Time: Jul 11, 2023 01:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/83046462941?pwd=ZjRrc3ZXczNaY1B5RkE0T0Jem1ndz09>

<https://tinyurl.com/2s38b4zn>

Meeting ID: 830 4646 2941

Passcode: 154453

One tap mobile

+13052241968,,83046462941#,,,,*154453# US

Topic: Planning Commission

Time: Jul 11, 2023 04:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/83594009349?pwd=WEJhaWJPZDZtUmt5eGtqYmVuOUprdz09>

<https://tinyurl.com/29mn7rje>

Meeting ID: 835 9400 9349

Passcode: 148726

One tap mobile

+13126266799,,83594009349#,,,,*148726# US (Chicago)

CITY OF MACKINAC ISLAND

MINUTES

PLANNING COMMISSION MEETING

Tuesday, June 13, 2023 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

Chairman Straus called the meeting to order at 4:08 PM

II. Roll Call

PRESENT

Mary Dufina

Lee Finkel

Trish Martin

Ben Mosley

Anneke Myers

Jim Pettit

Michael Straus

III. Pledge of Allegiance

IV. Approval of Minutes

a. Minutes of the Public Hearing May 9, 2023

Motion to approve as written made by Dufina, Seconded by Martin.

Voting Yea: Dufina, Finkel, Martin, Mosley, Myers, Pettit, Straus

b. Minutes of the Regular Meeting May 9, 2023

Motion to approve as written made by Finkel, Seconded by Dufina.

Voting Yea: Dufina, Finkel, Martin, Mosley, Myers, Pettit, Straus

V. Adoption of Agenda

Motion to approve as written made by Dufina, Seconded by Martin.

Voting Yea: Dufina, Finkel, Martin, Mosley, Myers, Pettit, Straus

VI. Correspondence

a. Municode Meeting Training

Brandy Jones showed the commission how to log in and access packet

b. Mission District Study Report for Comment

Straus summarized the report for comment. Martin noted that Bogan Lane on page 13 is misspelled and the year is incorrect. 1850 is correct year. Pettit asked for clarification on the red house and the moratorium. Straus updated Pettit on the status. Martin will bring Pereny some other changes.

Motion to accept the report and place on file made by Myers, Seconded by Martin.
Voting Yea: Dufina, Finkel, Martin, Mosley, Myers, Pettit, Straus

VII. Staff Report

Finkel summarized the June 13th HDC meeting.

VIII. Committee Reports

None

IX. Old Business

a. Harbour View 7th Street Housing

This application for special land use was previously approved. This application is for the building. Evashevski stated she spoke to Barnwell regarding the landscape buffer. The previous plan had the staircase encroaching in the buffer. The applicant has submitted an alternate plan. Under section g, it allows the Planning Commission to approve some fences in lieu of a landscape buffer, which may have been part of the confusion. Both Dombroski and Evashevski agreed that the updated plan satisfies the requirement. Dufina asked if things like trash receptacles could be placed in the landscape buffer. Dombroski stated that is not specified in the ordinance but feels it would be frowned upon. Dufina would like to clarify how the Commission handles the buffer. Barnwell stated he is more than happy to move the trash to the other corner. Barnwell cautioned that portable items like bbq's and bike racks are not under the purview of the planning commission.

Motion to approve made by Finkel, Seconded by Mosley.
Voting Yea: Dufina, Finkel, Martin, Mosley, Myers, Pettit, Straus

b. R321-004-048 Tulecki A/C Addendum

Dombroski stated that he talked with Ben Horn and let him know the new location of the a/c units would have to be brought before planning. Dombroski and the contractor had addressed the new location previously, and Dombroski thought the

applicant was going to bring in the new site plan, but that never happened until they were asked. When asked, Horn stated they were screened with arborvitaes. Dombroski confirmed the arborvitaes were in place. Horn presented an updated picture. Horn stated the contractor had not informed him and was surprised when Dombroski asked him about it. Straus stated his frustration is that the Commission spends a lot of timing reviewing plans and when something is changed without the Commissions knowledge it is frustrating. Ideally they do not want the a/c units facing the road. In this instance they are screened but the Commission doesn't have the option to weight in on the alternate location. Horn stated because of access for the tenants and and proximity to electrical panel, there is no other location for the units.

Motion to approve the site plan made by Myers, Seconded by Martin.
Voting Yea: Dufina, Finkel, Martin, Mosley, Myers, Pettit, Straus

c. HB22-017-032 Woods Restaurant Propane and Shed Amendment

Gene Hopkins stated the changes are two propane tanks and a golf storage shed. The tanks are proposed in the back trash area behind the restaurant. Due to the changes in the woods removing the golf registration desk, they would like to put in a 112 square foot pre-fab storage shed made of wood. This would be a small, free standing area for golf registration. It will be painted to match the restaurant. The doors swing out. The last two pages are the new legal description for the combined lots.

Motion to approve made by Dufina, Seconded by Finkel.
Voting Yea: Dufina, Finkel, Martin, Mosley, Myers, Pettit, Straus

Pettit asked if the 16' gate had been installed at the new accessory building by the Woods. Burns confirmed that it was.

d. MD23-067-023(H) Corner Cottage Site Plan Amendment

Tamara Burns stated the updated plan shows clarified language for the bedrooms stating renting to one entity as a suite with 5 bedrooms. The bedrooms will not be rented separately. The gate has been revised to swing in to the property. Finkel asked Evashevski to clarify how this avoids the nightly rental rule. Finkel was informed that this is an allowable use in the zone. Myers confirmed with Dombroski that the density language is OK. Also, she asked about fire egress requirements. Dombroski stated the rule only applies to bed and breakfasts. He thinks it would be a good idea to apply to buildings like this as well, but currently it is not.

Motion to approve the updated site plan made by Finkel, Seconded by Mosley.
Voting Yea: Dufina, Finkel, Martin, Mosley, Myers, Pettit, Straus

e. R123-006-022 Gromley New Home

The application was tabled in May for review by Neumann. The applicant updated the site plan to remove the bike shed and relocated the propane tanks where the bike shed was. It will be screened with shrubs. The applicant also provided pictures of materials and colors to be used after Neumann did his review.

Motion to approve made by Dufina, Seconded by Finkel.

Voting Yea: Dufina, Finkel, Martin, Mosley, Myers, Pettit, Straus

X. New Business

a. R423-023-029 McCarty Fence

Straus asked if this fence was proposed or existing. Dombroski stated he believes the fence is now built. Dufina asked for the height of the fence. Myers pointed out measurements on the last page. McCarty stated he planned for this fence last year. Dombroski noticed the fence materials on his property and informed McCarty he needed a Zoning permit. McCarty stated that the fence meets the required height dimensions of 3 or 4 feet, and is set in 1 foot from the property line. McCarty stated he did obtain HOA approval. The fence just separates he and his neighbors property. Straus stated an exact height is needed of the fence. The 90" referred to on the last page is the measurement from post to post. McCarty believes the fence is 36" high and is a three rail split rail fence. McCarty has not seen the fence so could not confirm the height but stated the contractor was to meet the cities requirements. Straus stated he wanted to be consistent with enforcing rules. If the fence has already been built, a fine should be assessed. McCarty stated if he needed to be fined he is OK with that. Myers confirmed that the fence is in the side yard. Dombroski is to visit the site and see if the fence has been built. If it has, a fine will be assessed.

Motion to approve as long as it is under 4' tall, that it is as described in the application, and if erected a Planning Commission fine will be assessed, made by Myers, Seconded by Pettit.

Voting Yea: Dufina, Finkel, Martin, Mosley, Myers, Pettit, Straus

Motion to send a letter to the Trillium Heights HOA informing them of the requirement to obtain a Zoning Permit for a fence, was made by Myers and seconded by Finkel. All in favor. Motion carries.

b. R123-014-036 Hammons New Home

Rilenge stated he is asking for approval contingent on HOA approval. Rilenge read the list of items the HOA is asking for and showed the three-page list of recommendations from a member of the HOA. Straus asked the Commissioners if

they wanted to approve with a contingency. Mosley stated he would rather table for HOA approval. Dufina asked for clarification on the elevations.

Motion to table for HOA approval made by Mosley, Seconded by Finkel.
Voting Yea: Dufina, Finkel, Martin, Mosley, Myers, Pettit, Straus

XI. Public Comment

Myers asked about updating the Zoning application to reflect the new number of required copies. It was decided that 5 copies now be submitted with an application. The revised application will be reviewed in the July meeting.

XII. Adjournment

With no further business the meeting was adjourned at 5:24 PM

Michael Straus, Chairman

Katie Pereny, Secretary

CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Phone Number _____ Email Address _____

Please complete both sides of application.
The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Is The Proposed Project Part of a Condominium Association?

Is The Proposed Project Within a Historic Preservation District?

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

Is a Variance Required?

Are REU's Required? How Many? _____

Type of Action Requested:

- ____ Standard Zoning Permit _____ Appeal of Planning Commission Decision
- ____ Special Land Use _____ Ordinance Amendment/Rezoning
- ____ Planned Unit Development _____ Ordinance Interpretation
- ____ Other _____

Property Information:

- A. Property Number (From Tax Statement): _____
- B. Legal Description of Property: _____
- C. Address of Property: _____
- D. Zoning District: _____
- E. Site Plan Checklist Completed & Attached: _____
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) _____
- G. Sketch Plan Attached: _____
- H. Architectural Plan Attached: _____
- I. Association Documents Attached (Approval of project, etc.): _____
- J. FAA Approval Documents Attached: _____
- K. Photographs of Existing and Adjacent Structures Attached: _____

Proposed Construction/Use:

- A. Proposed Construction: _____
____ New Building _____ Alteration/Addition to Existing Building
____ Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Proposed Use: _____

C. If Vacant:

Previous Use: _____

Proposed Use: _____

Length of Time Parcel Has Been Vacant: _____

OFFICE USE ONLY

FILE NUMBER: _____

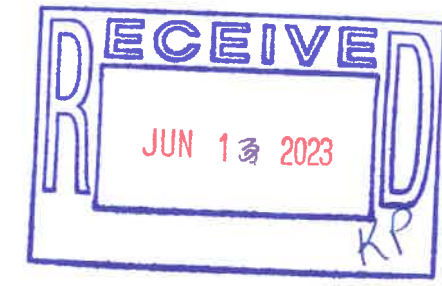
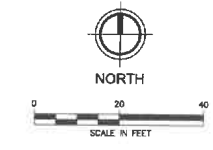
FEE: _____

DATE: _____ CHECK NO: _____

INITIALS: _____

Revised July 2023

Section X, Itema.



2900 Lucerne Drive SE
Grand Rapids, MI 49546
P: 616.977.1000
F: 616.977.1005

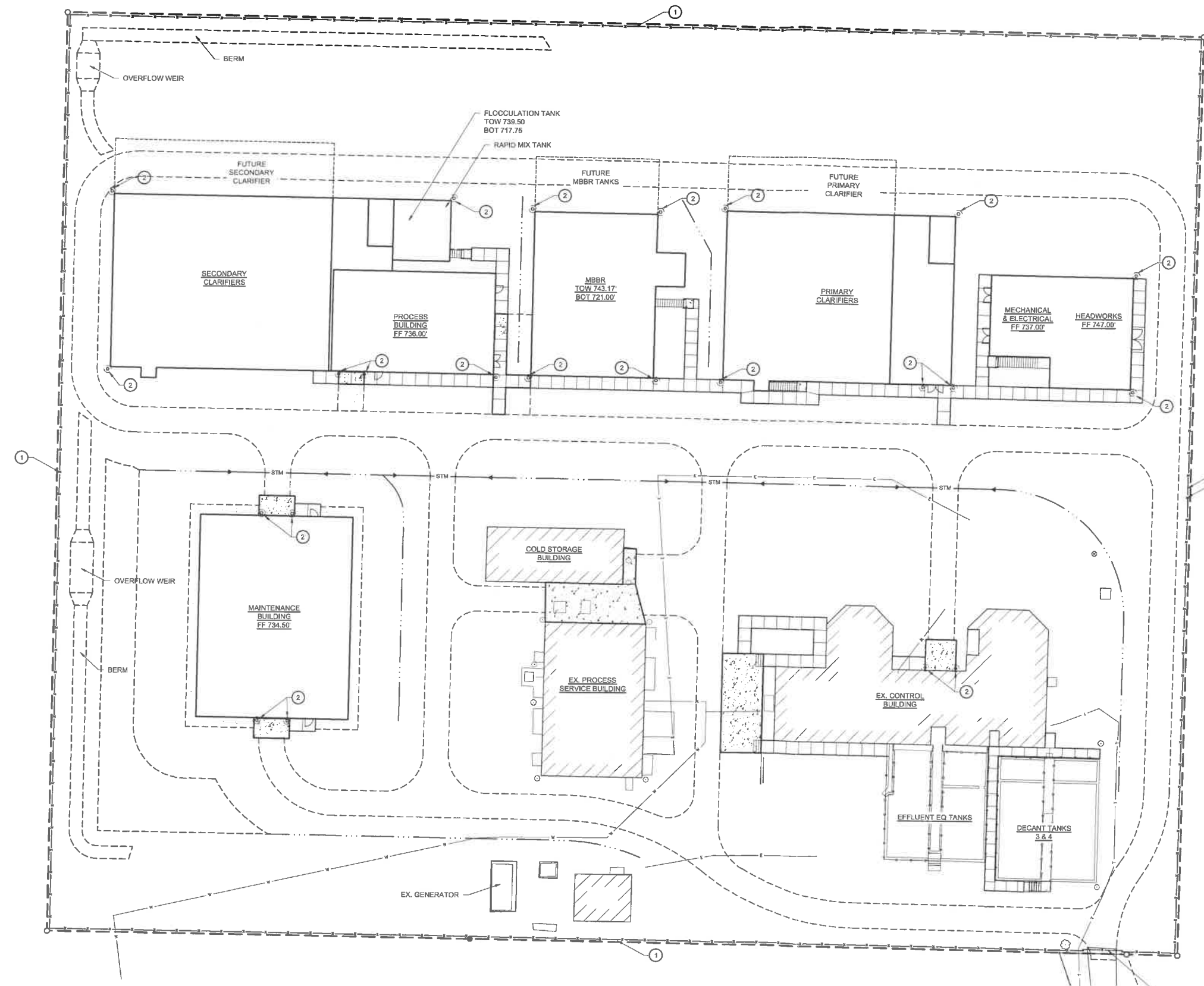
Issued for Bid: 05/02/23 DCH 1

REVISION:
CITY OF MACKINAC ISLAND
MACKINAC COUNTY, MICHIGAN
WWTP IMPROVEMENTS
PROPOSED SITE PLAN

DESIGN TEAM: PROJ MGR: DCH
DESIGNED BY: DCH
DRAWN BY: DCH
CHECK BY: DCH
DATE: MAY 2023
DRAWING INFORMATION: 847245_005-C-103
851023 nmc.ecd/inf

MAY 2023
F&V PROJECT NO.
847245

005-C-103



PROPOSED SITE PLAN

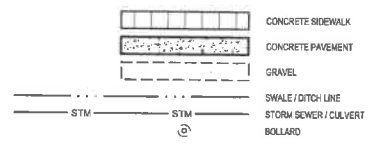
6' HIGH CHAIN LINK FENCE WITH 3 STRANDS OF BARBED WIRE. SEE DETAIL ON SHEET 005-C-502

File No. R123-001-038
Exhibit B
Date 6.13.23
Initials KP

NOTES:

- 1 PROVIDE "NO TRESPASSING" SIGN, MOUNTED TO FENCE.
- 2 PROVIDE PIPE BOLLARDS. SEE DETAIL ON SHEET 005-C-502. EXACT LOCATION TO BE DETERMINED IN THE FIELD.

PROPOSED LEGEND:



SLIDING GATE. SEE DETAIL ON SHEET 005-C-502

U:\Projects\847245-005-C-103\Drawings\Site\005-C-103.dwg - 5/27/2023 4:07 PM



CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

F&V Construction
2960 Lucerne, SE Grand Rapids, MI 49546
616.350.7801 mbratschi@fveng.com
Phone Number Email Address

Please complete both sides of application.
The Fee and fourteen (14) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

City of Mackinac Island
7358 Market Street, PO Box 455
Mackinac Island, MI 49757

- Is The Proposed Project Part of a Condominium Association? No
- Is The Proposed Project Within a Historic Preservation District? No
- Applicant's Interest in the Project (If not the Fee-Simple Owner): Design Builder
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? No
- Is a Variance Required? No
- Are REU's Required? How Many? No

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): N/A 051.475.001.00
- B. Legal Description of Property: See Attached
- C. Address of Property: 3134 Stonecliff Rd.
- D. Zoning District: R-1 Low Density Residential
- E. Site Plan Checklist Completed & Attached: Yes
- F. Site Plan Attached: (Comply with Section 20.04 of the Zoning Ordinance)
- G. Sketch Plan Attached:
- H. Architectural Plan Attached: Yes, Elevation Drawings for Buildings
- I. Association Documents Attached (Approval of project, etc.):
- J. FAA Approval Documents Attached: N/A
- K. Photographs of Existing and Adjacent Structures Attached: Included

Proposed Construction/Use:

- A. Proposed Construction: New Building Alteration/Addition to Existing Building
- Other, Specify

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):
Wastewater Plant
Proposed Use: Wastewater Plant
File No. R123-001-038
Exhibit A

C. If Vacant:

Previous Use: Forest
Proposed Use: Wastewater Plant
Length of Time Parcel Has Been Vacant: Unknown
Date 6.13.23
Initials KP

OFFICE USE ONLY

FILE NUMBER: R123-001-038 FEE: Waived

DATE: 6.13.23 CHECK NO: N/A INITIALS: KP

Revised Oct 2018

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Design Builder (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Signature _____ SIGNATURES Mark Bratschi _____
Signature Mark Bratschi _____
Please Print Name Mark Bratschi _____
Please Print Name

Signed and sworn to before me on the 15 day of June, 2023

BRENDA BUNKER, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 07/21/2025
Notary Public
County, Michigan
My commission expires: _____

Zoning Permit Issued: _____
FOR OFFICE USE ONLY
Inspection Record:
1. Inspection Date Inspector Comments
2.
3.
Occupancy Permit Issued _____
Revised October 2018

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

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- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

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The undersigned affirms that he/she or they is (are) the applicant and the Design Builder (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Signature _____ Mark Bratschi _____
SIGNATURES Mark Bratschi Signature

Please Print Name _____ Mark Bratschi _____
Please Print Name

Signed and sworn to before me on the _____ day of _____,

Notary Public

My commission expires: _____
County, Michigan

Zoning Permit Issued: _____
FOR OFFICE USE ONLY

Inspection Record:	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input checked="" type="checkbox"/>	<input type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- | | | |
|--|-------------------------------------|-------------------------------------|
| 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 22. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Utility Information

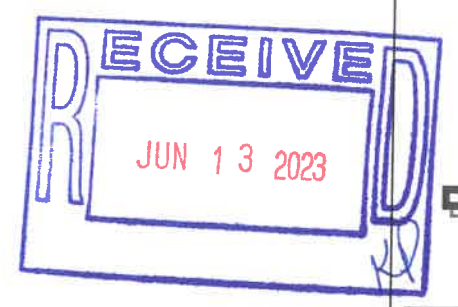
Not Provided
or
Applicable

Provided

- | | | |
|---|-------------------------------------|-------------------------------------|
| 23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input type="checkbox"/> |
| 24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Architectural Review
Informational Requirements (Section 18.05)**

- | <u>Item</u> | <u>Provided</u> | <u>Not Provided
or
Applicable</u> |
|---|-------------------------------------|---|
| 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Legal description of the property | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |



FLEISCHMANN
DESIGN, BUILD, OPERATE

Jacobs

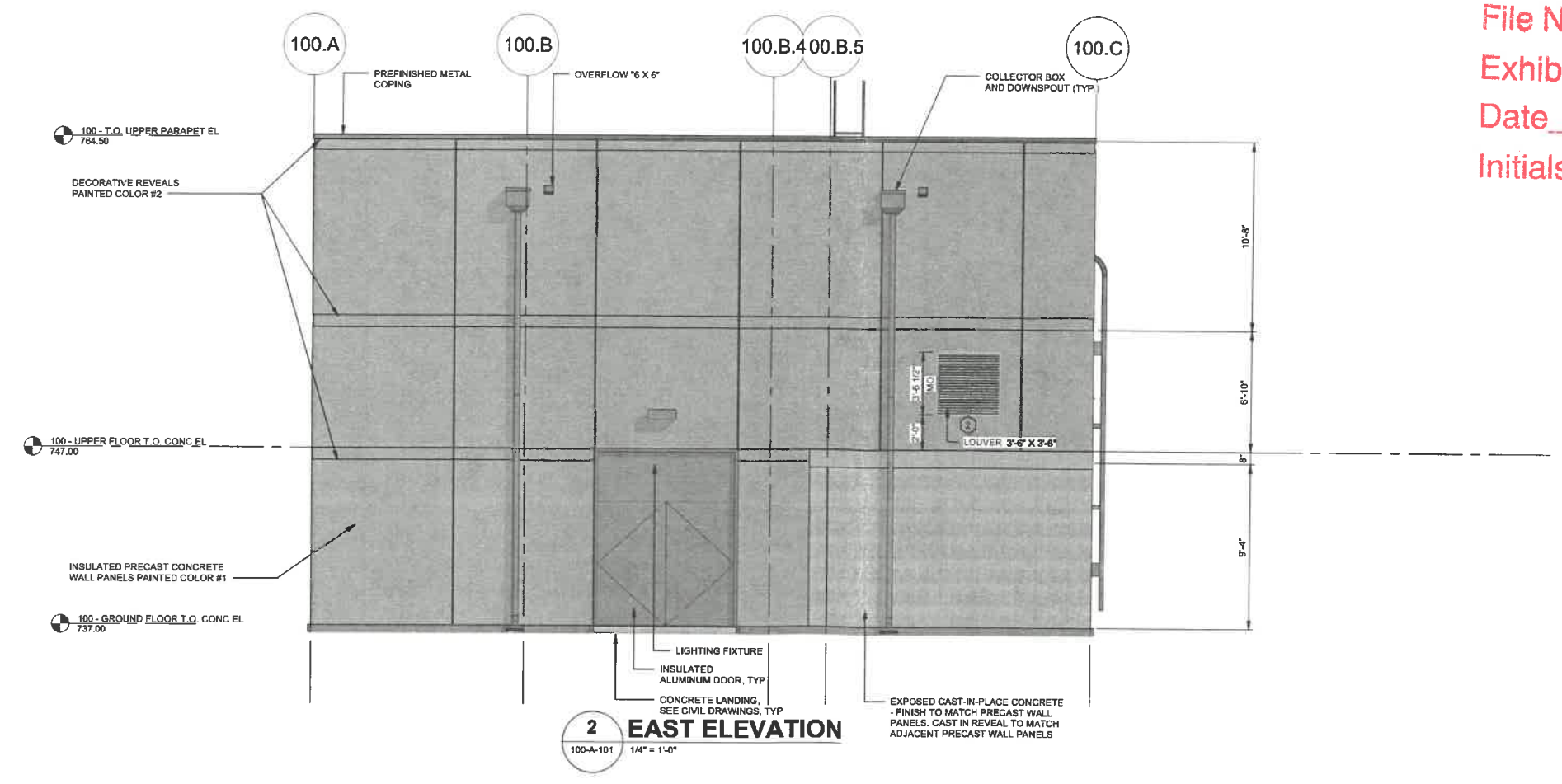
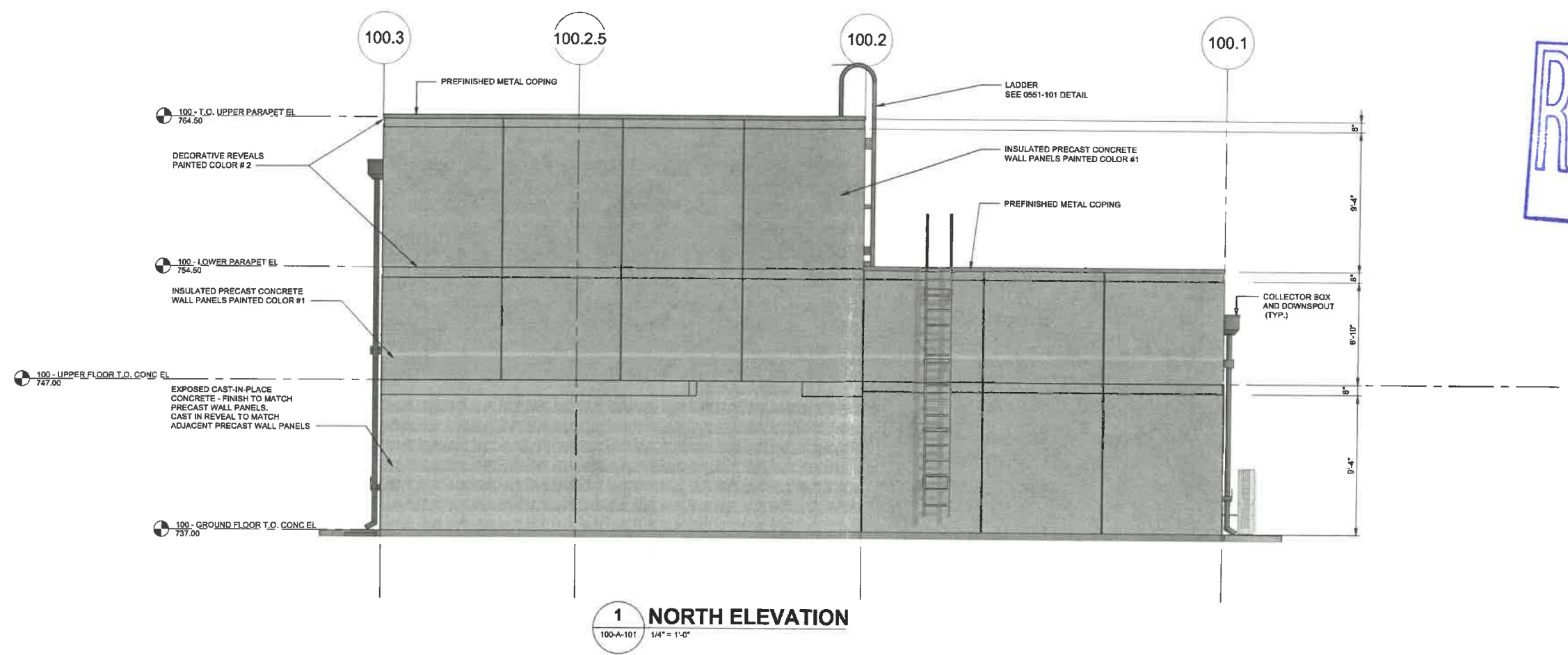
ISSUED FOR BIDS MAY 2023 DCH 1

REVISION:

CITY OF MACKINAC ISLAND
MACKINAC COUNTY, MICHIGAN
WWTP IMPROVEMENTS
HEADWORKS BUILDIG - ELEVATIONS

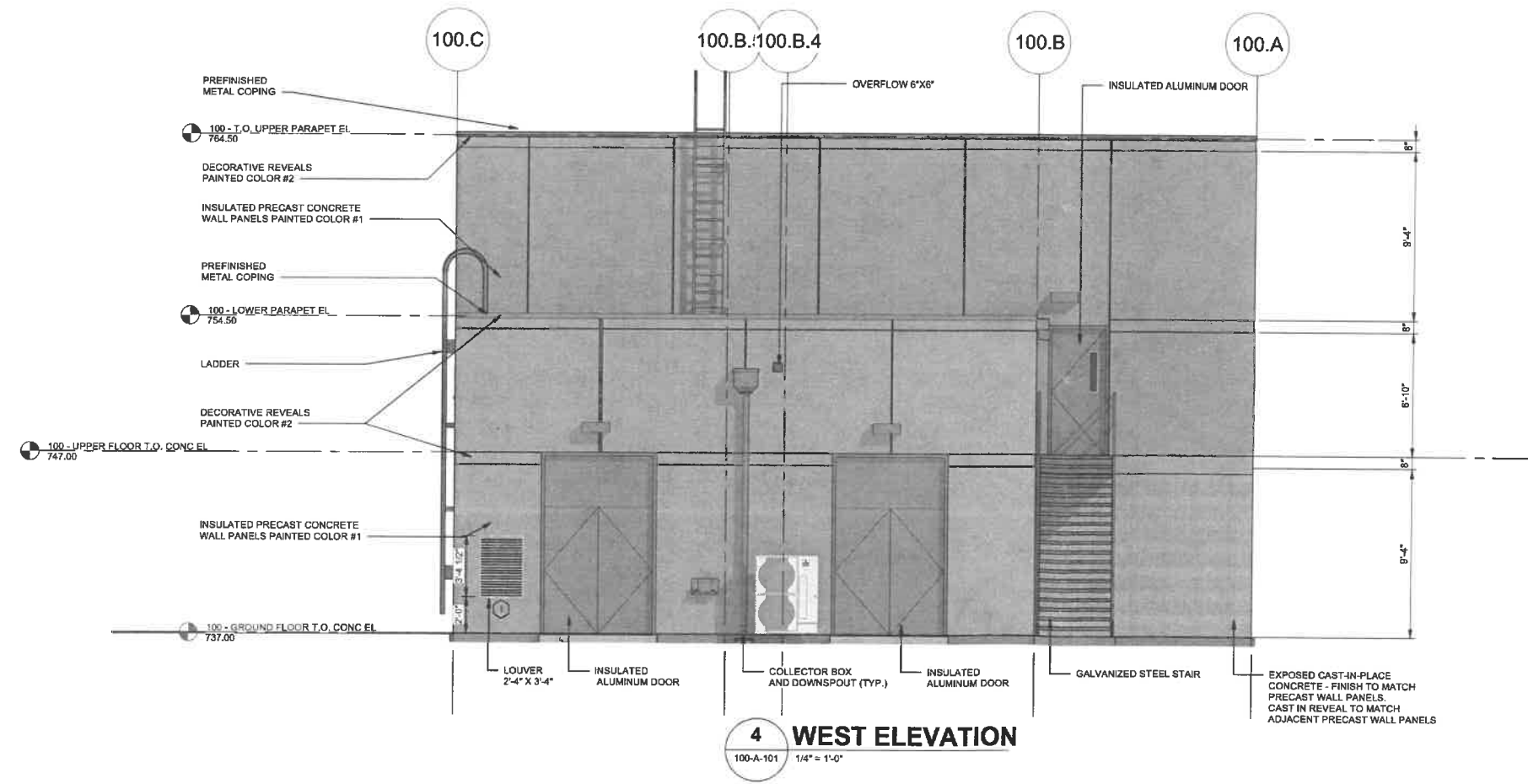
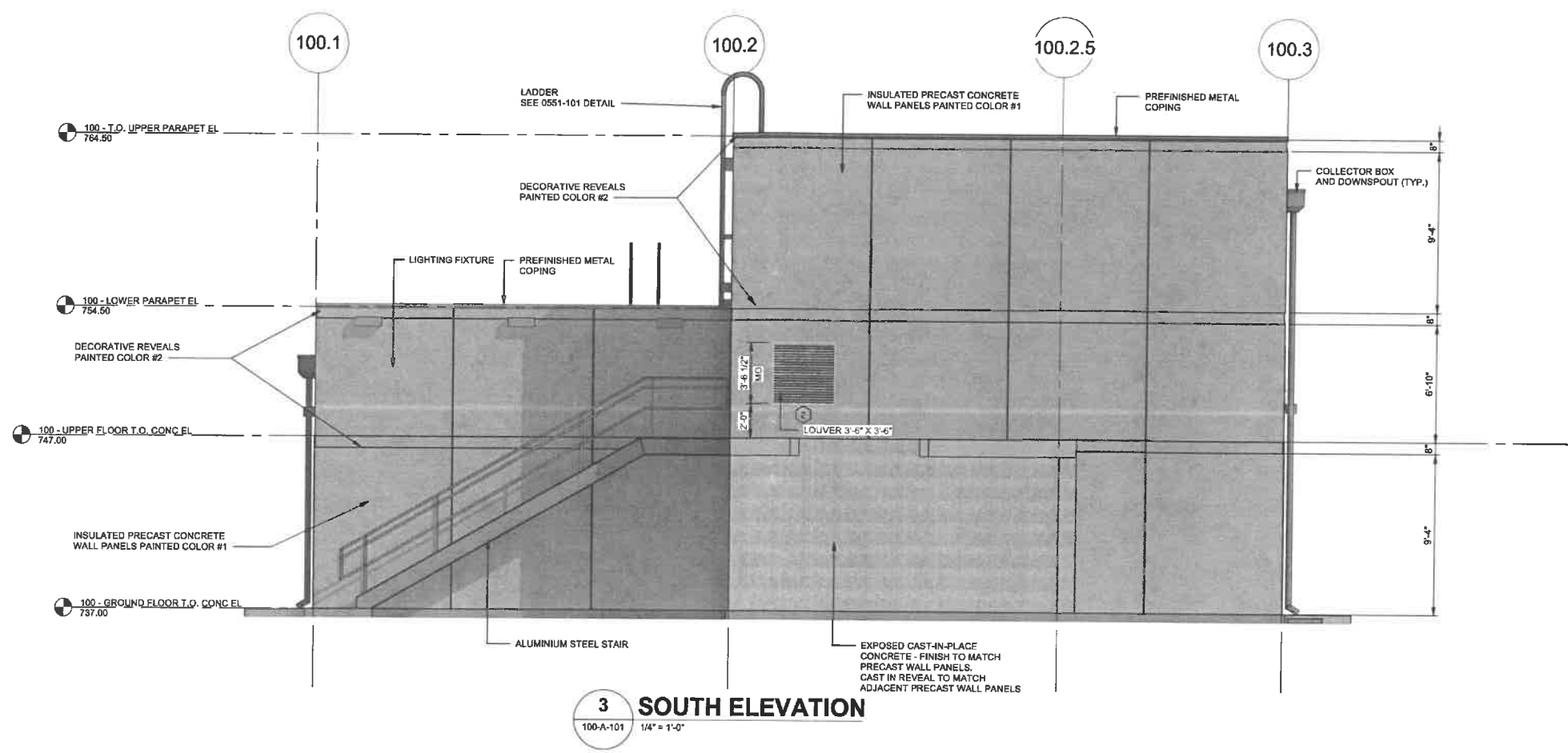
DESIGN YEAR: PROJ MGR: DCH
DESIGN BY: JAM
DRAWN BY: M.J.
CHECK BY:
DCH MAY 2023
DRAWING INFORMATION:
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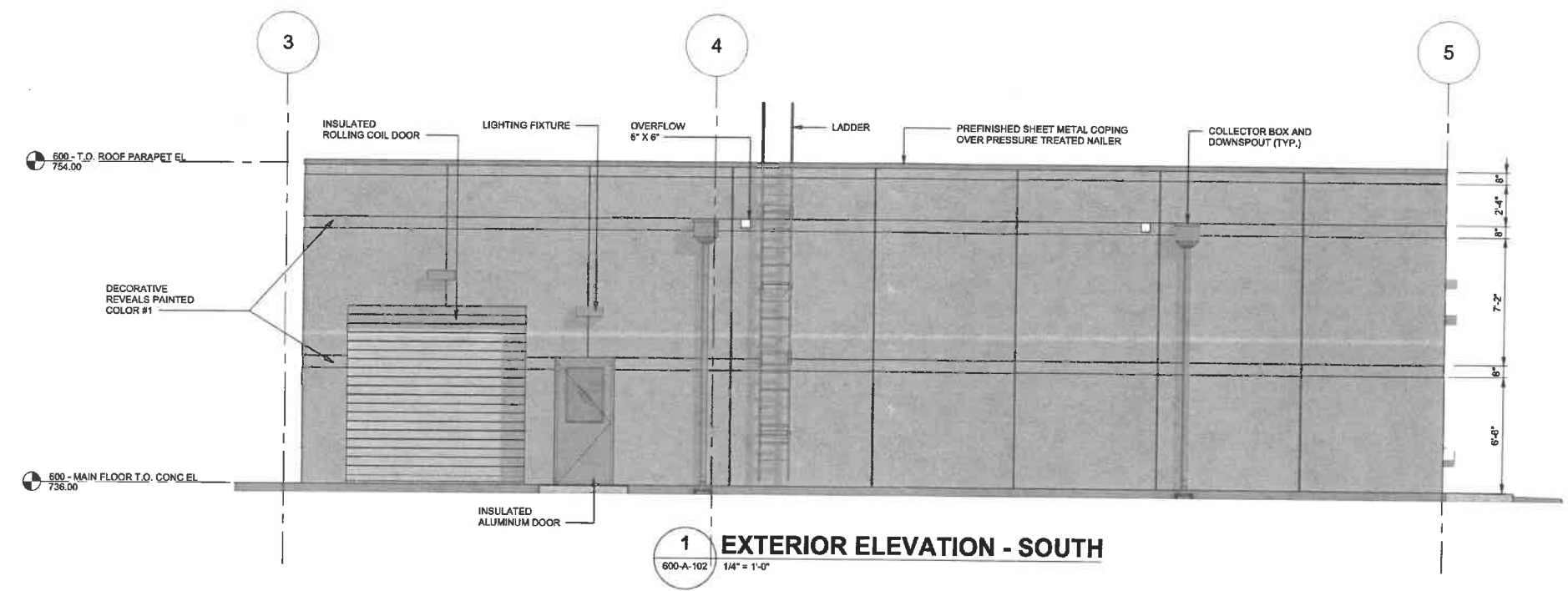
May 2023
PROJECT NO.
CBA22300



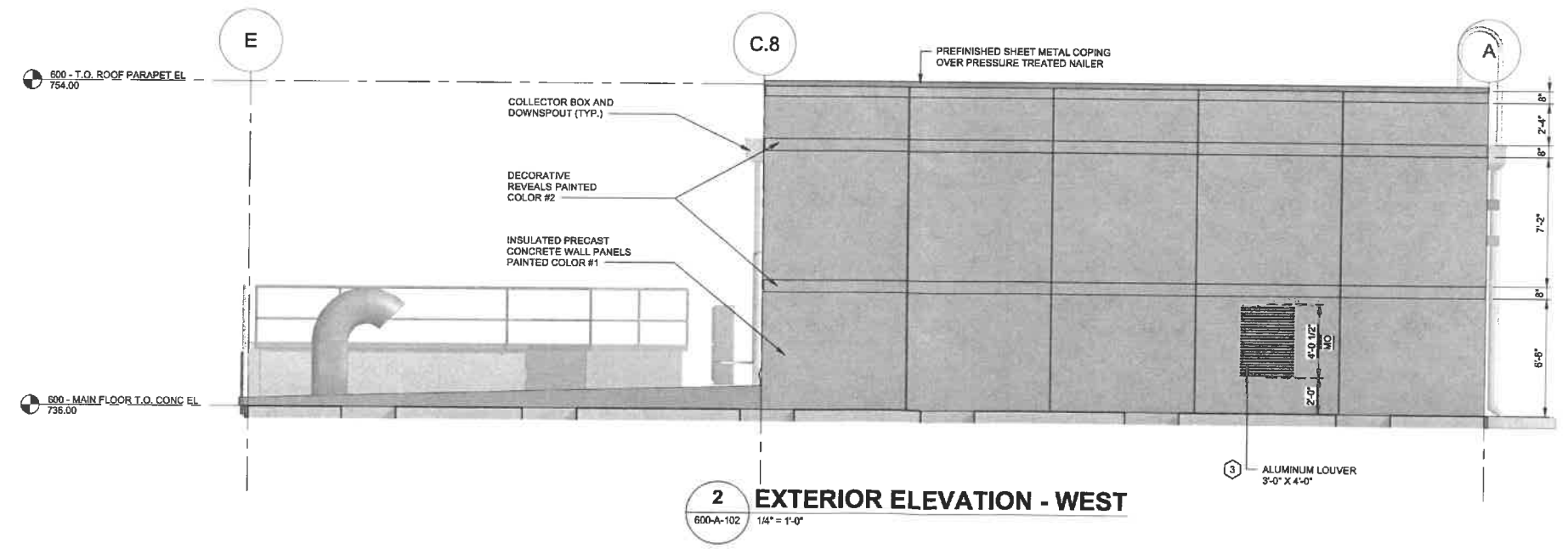
File No. R123.001.038
Exhibit C
Date 6.13.23
Initials KP

2 EAST ELEVATION
100-A-101 1/4\"/>





1 EXTERIOR ELEVATION - SOUTH
 600-A-102 1/4" = 1'-0"



2 EXTERIOR ELEVATION - WEST
 600-A-102 1/4" = 1'-0"



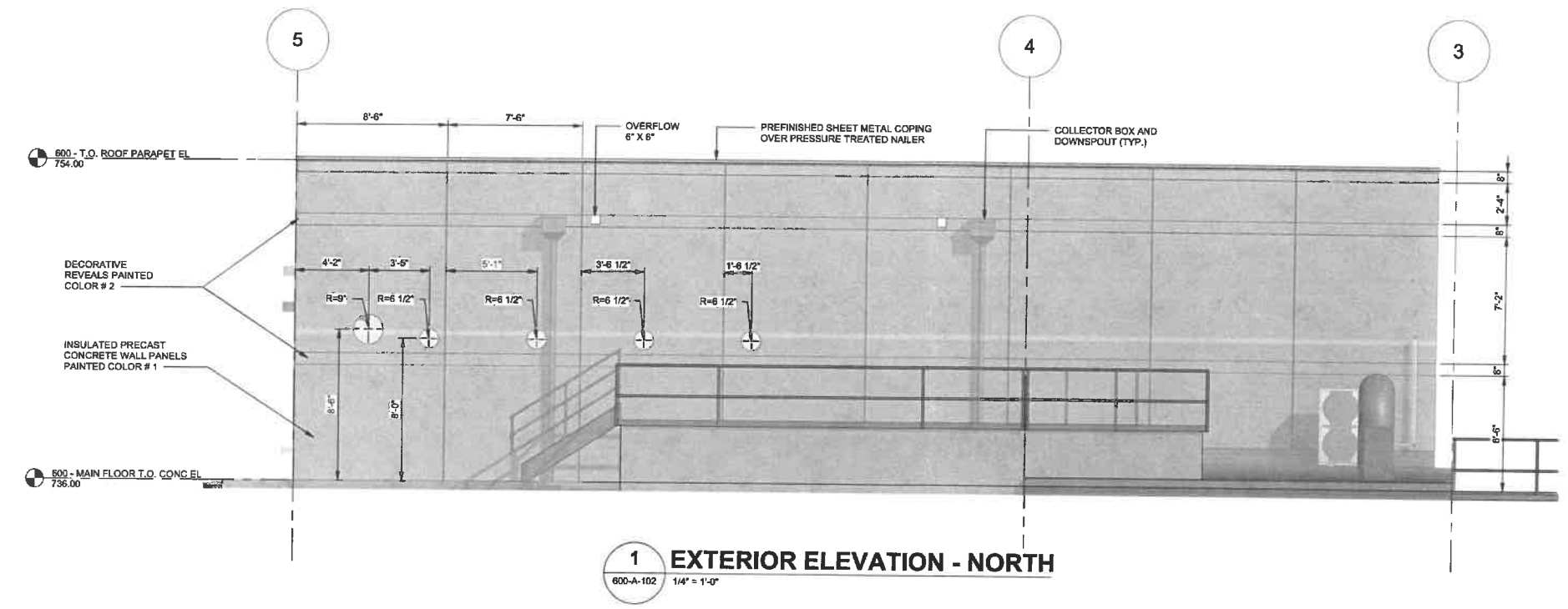
ISSUED FOR BIDS MAY 2023 DCH 1

REVISION:
CITY OF MACKINAC ISLAND
 MACKINAC COUNTY, MICHIGAN
WWTP IMPROVEMENTS
PROCESS BUILDING ELEVATIONS

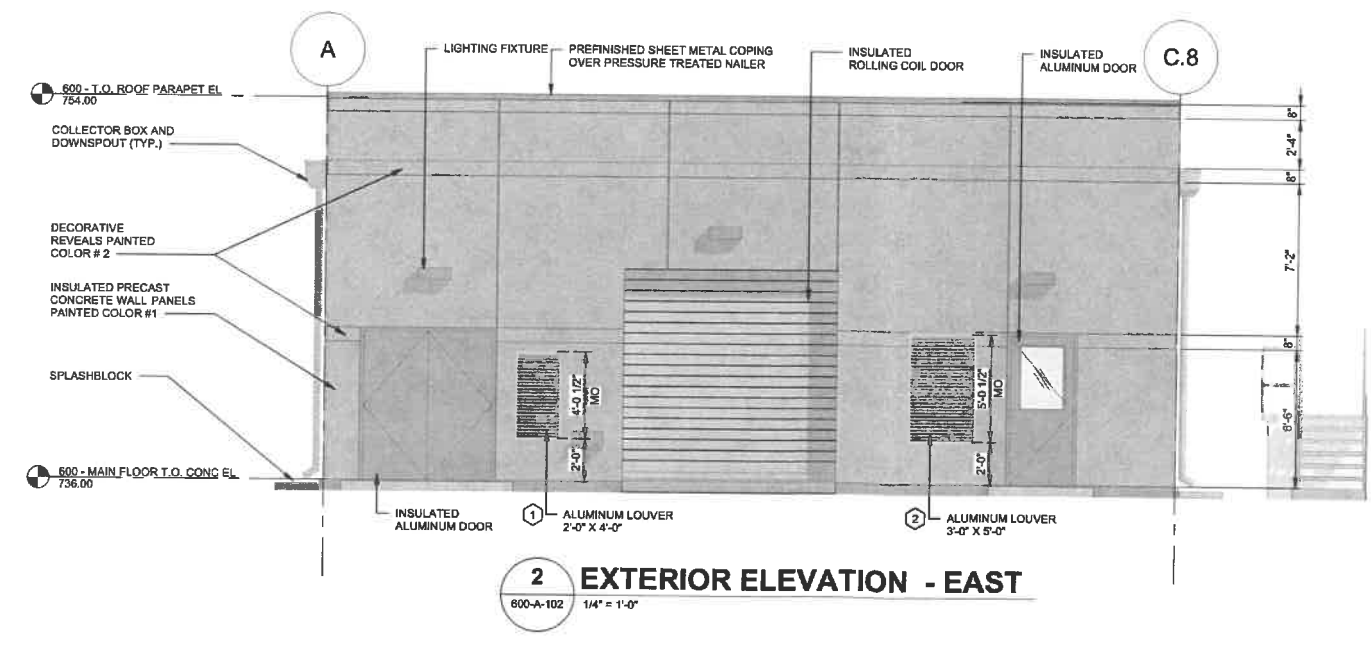
DESIGN TEAM: DCH
 PROJ MGR: DCH
 DESIGN BY: N.A.L.
 DRAWN BY: S.O.
 CHECK BY: DCH
 DATE: MAY 2023
 DRAWING INFORMATION: 06A22300-600-A-102

May 2023
 PROJECT NO.
06A22300

600-A-102



1 EXTERIOR ELEVATION - NORTH
 600-A-102 1/4" = 1'-0"

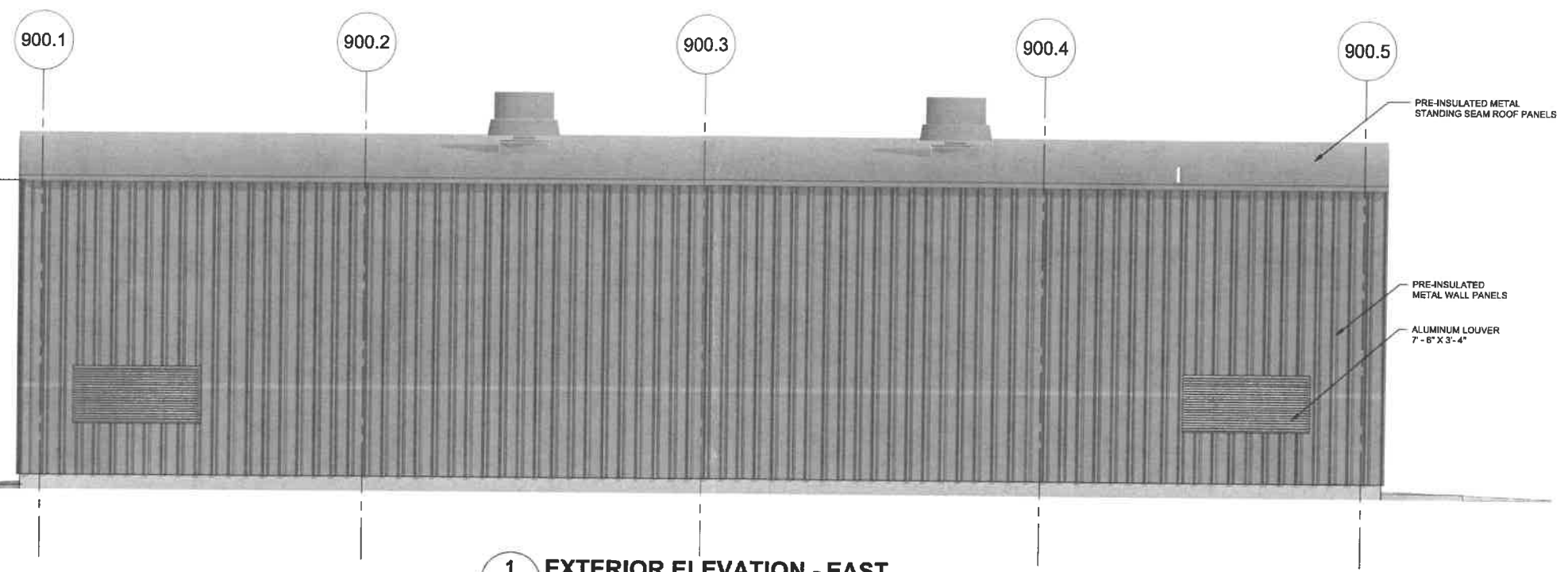


2 EXTERIOR ELEVATION - EAST
 600-A-102 1/4" = 1'-0"

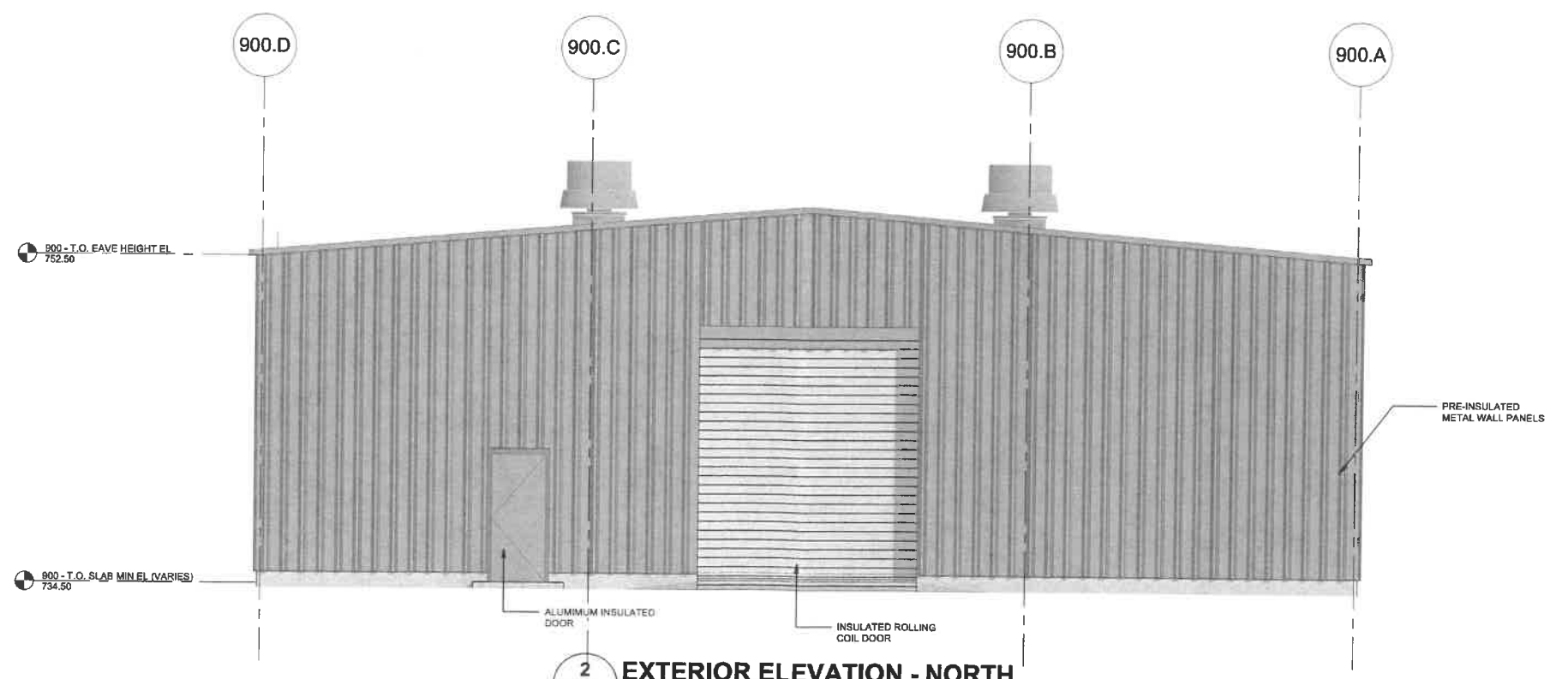
REVISION:
CITY OF MACKINAC ISLAND
MACKINAC COUNTY, MICHIGAN
WWTP IMPROVEMENTS
MAINTENANCE BUILDING - ELEVATIONS

DESIGN TEAM: PRJL MNGR: DCH
DESIGN BY: J.S.L.
DRAWN BY: G.S.O.
CHECK BY: DCH/MAY 2023
DRAWING INFORMATION: C6A22300-A-201

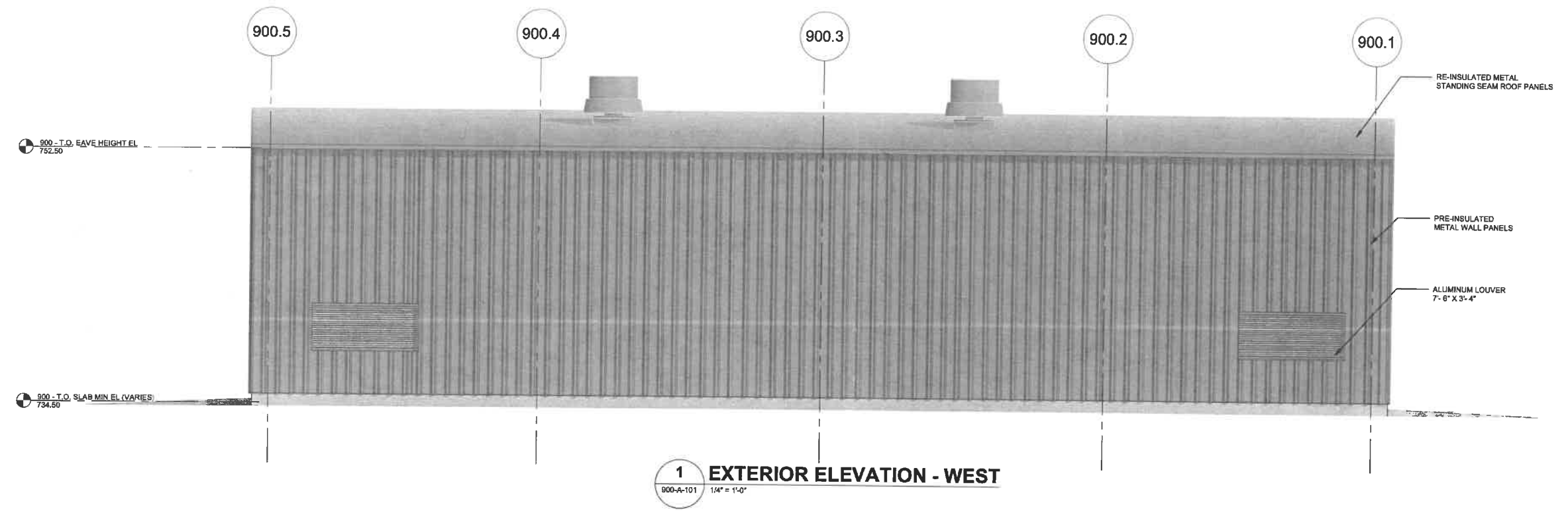
May 2023
PROJECT NO.
C6A22300



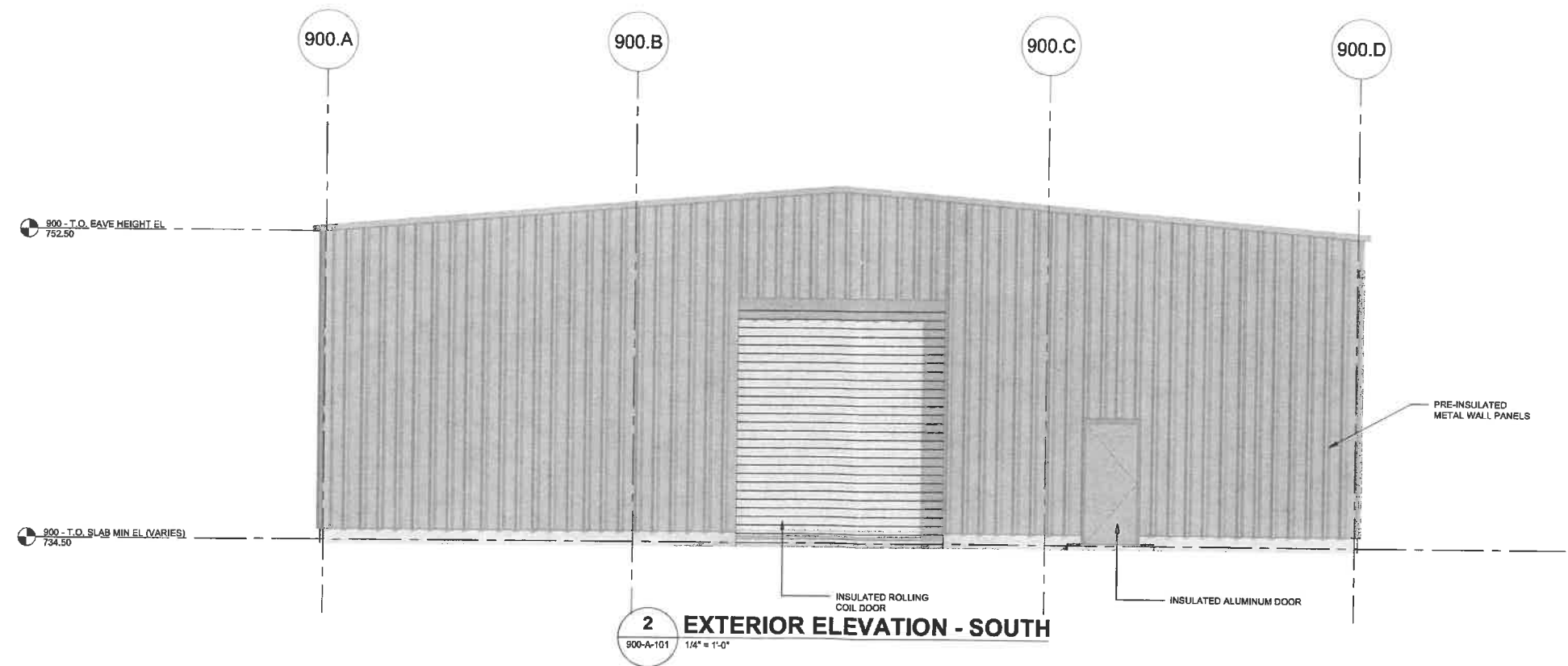
1 EXTERIOR ELEVATION - EAST
900-A-101 1/4" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
900-A-101 1/4" = 1'-0"



1 EXTERIOR ELEVATION - WEST
900-A-101 1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
900-A-101 1/4" = 1'-0"

RECEIVED

JUN 19 2023

REVISIONS			
NO.	DESCRIPTION	DATE	BY

LEGAL DESCRIPTION:
 PRIVATE CLAIM NO.3 COMMENCE AT THE NE CORNER OF P.C.3, THENCE S33°05'W 175' ALONG E'LY LINE OF P.C.3, THENCE N57°50'W 33', TO THE P.O.B., THENCE N57°05'30"W 281.90', THENCE N75°10'58"E 85.96', THENCE N15°41'45"E 154.92', THENCE N28°28'50"W 333.34', THENCE N33°06'05"E 371.21' TO P.O.B. 2.066 ACRES M/L PART OF P.C. NO.3.

GENERAL NOTES:
GENERAL DESCRIPTION:
 NEW RESIDENTIAL DEVELOPMENT COMPRISING OF TWO 6 UNIT TOWNHOUSES WITH AN ACCESSORY STORAGE BUILDING. MINIMAL RE-GRADING W/ SOME SITE DEMO WILL BE REQUIRED. NEW GRAVEL SERVICE DRIVES AND GRAVEL WALKWAYS TO ACCESS NEW TOWNHOUSES.

ZONING CLASSIFICATION: HB
EXISTING CONDITIONS:
 CONTRACTOR(S) TO VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMO/BUILD.

BIKE PARKING:
 24 TOTAL BIKE PARKING SPOTS PROVIDED.

BUILDING INFORMATION:
 ZONING CLASSIFICATION: HB

BUILDING 1&2 (IDENTICAL LAYOUTS)

BLDG #	SIZE	HEIGHT	FINISH FLOOR	FINISH GRADE
BLDG #3	3,338 SF	29'-8"	728.5'	726.0'
BLDG #4	3,338 SF	29'-8"	729.0'	726.5'

DENSITY SCHEDULE:
 DWELLING UNITS PER ACRE: 12/2.066=11.62

BUILDING 3:
 (5) 2 BEDROOMS
 (1) 3 BEDROOMS

BUILDING 4:
 (5) 2 BEDROOMS
 (1) 3 BEDROOMS

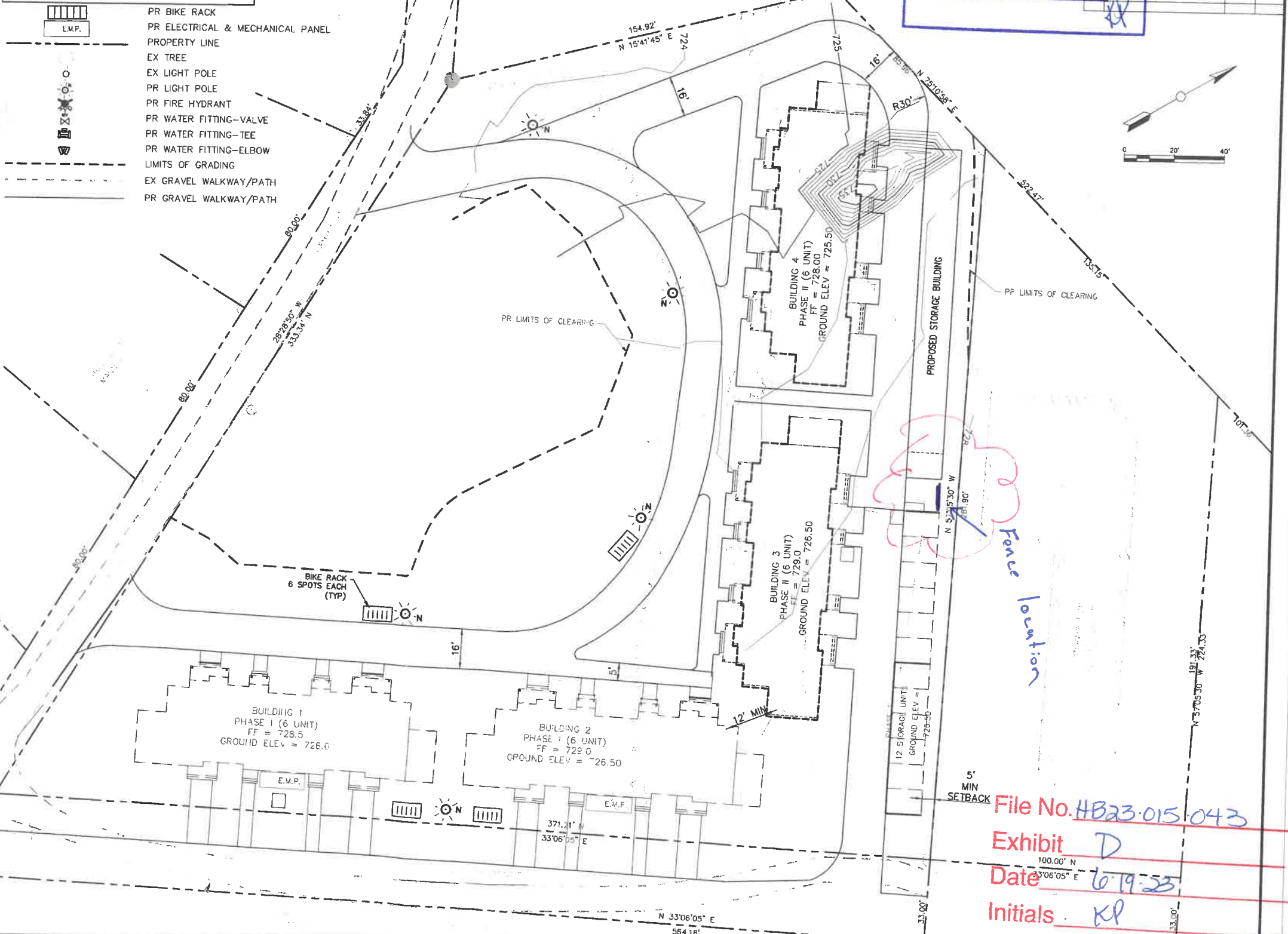
LIGHTING:
 TOWNHOUSES: THERE WILL BE EXTERIOR SURFACE MOUNTED LIGHTS NEXT TO EVERY ENTRY DOOR (FRONT & REAR) TO EACH UNIT.
 STORAGE UNIT: THERE WILL BE ONE LIGHT SURFACE MOUNTED ON THE GABLE END OF THE BUILDING FACING NEW TOWNHOUSES.

UTILITIES

CE	CLOVERLAND ELECTRIC CO-OP 2916 W M-28. DAFTER, MI 49724 906-635-6800
8	MACKINAC ISLAND DPW 7358 MARQUETTE STREET PO BOX 515 MACKINAC ISLAND, MI 49757 906-847-6130 ATTN: MICHAEL OLSON

LEGEND

SYMBOL	DESCRIPTION
	PR BIKE RACK
	PR ELECTRICAL & MECHANICAL PANEL
	PROPERTY LINE
	EX TREE
	EX LIGHT POLE
	PR FIRE HYDRANT
	PR WATER FITTING-VALVE
	PR WATER FITTING-TEE
	PR WATER FITTING-ELBOW
	LIMITS OF GRADING
	EX GRAVEL WALKWAY/PATH
	PR GRAVEL WALKWAY/PATH



File No. HB23-015-043
 Exhibit D
 Date 6-19-23
 Initials KP

DEVELOPER:
 CITY OF MACKINAC ISLAND
 7358 MARKET STREET
 MACKINAC ISLAND, MI 49757



R. S. SCOTT ASSOCIATES, INC.
 ENGINEERING • ARCHITECTURE • SURVEYING

396 NORTH STATE STREET
 ST. IGNACE, MI 49781
 (906)-643-9584

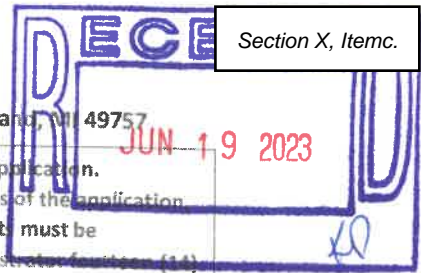
ASL ARCHITECTURE + DESIGN
 FOREST WAY TOWNHOUSES AT MACKINAC ISLAND
 720 EAST MICHIGAN AVENUE, SUITE 210
 LANSING, MI 48912

PLAN OF SITE

SP.	DATE	W.O. 49-638-1	SHEET NO.
BDG	3/30/21		C1
CHK			
SJP	3/30/21	ISSUE DATE 3/30/21	

OF 3

CITY OF MACKINAC ISLAND
 PLANNING COMMISSION & BUILDING DEPARTMENT
 APPLICATION FOR ZONING ACTION



www.cityofmi.org | kep@cityofmi.org | 906-847-6190 | PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

KMG Prestige - Emma Motz
PO # 1248, Mack Isl
906-748-0512
 Phone Number Email Address

Please complete both sides of application.
 The Fee and fourteen (14) copies of the application plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

City of Mackinac Island
po Box 455
Mackinac Island, MI 49757

- Is The Proposed Project Part of a Condominium Association? NO
- Is The Proposed Project Within a Historic Preservation District? NO
- Applicant's Interest in the Project (If not the Fee-Simple Owner): Manager
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? yes
- Is a Variance Required? NO
- Are REU's Required? How Many? NO

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other _____
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-675-015-80
- B. Legal Description of Property: Private claim 3
- C. Address of Property: ~~3832~~ Forest Drive, 3832+3840
- D. Zoning District: H B
- E. Site Plan Checklist Completed & Attached:
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance)
- G. Sketch Plan Attached: _____
- H. Architectural Plan Attached: N/A
- I. Association Documents Attached (Approval of project, etc.): N/A
- J. FAA Approval Documents Attached: N/A
- K. Photographs of Existing and Adjacent Structures Attached:

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Alteration/Addition to Existing Building
 - Other, Specify Fence
- B. Use of Existing and Proposed Structures and Land:
 - Existing Use (If Non-conforming, explain nature of use and non-conformity): Residential
 - Proposed Use: Same
 - File No. #B23-015-043
 - Exhibit B
- C. If Vacant: N/A
 - Previous Use: _____
 - Proposed Use: _____
 - Length of Time Parcel Has Been Vacant: _____
 - Date 6-19-23
 - Initials KP

OFFICE USE ONLY			
FILE NUMBER:	<u>H23-015-043</u>	FEE:	_____
DATE:	<u>6-19-23</u>	CHECK NO:	_____
		INITIALS:	<u>KP</u>

Revised Oct 2018

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Manager (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Emma Motz
Signature

SIGNATURES _____
Signature

Emma Motz
Please Print Name

Please Print Name

Signed and sworn to before me on the 19 day of June, 2023.

Danielle Leach
Notary Public
Danielle Leach
Mackinac County, Michigan
My commission expires: 10-23-2023

DANIELLE LEACH, Notary Public
Mackinac County, State of Michigan
My Commission Expires: 10-23-2023

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2018

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>

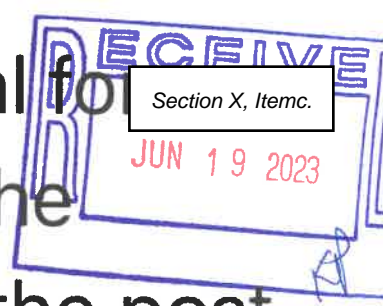
- | | | |
|--|-------------------------------------|-------------------------------------|
| 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 22. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Wondering if we could get approval for buying and installing the fence in the attached images. We already have the post we would use for the center of the fence and we would attach the end sides to each storage building. We would attach each side and the center with the fence hardware. The fence would just be on the backside closest to green shed. The total cost for this project would be just below \$250.



The reason we feel the need for this fence is because we have a lot of traffic cutting through our property from green shed and it adds a little more safety/security to the tenants in phase 2. Please call me or email with any questions to clarify.

File No. HB23-015-043
Exhibit B
Date 6-19-23
Initials KP

RECEIVED
JUN 19 2023



File No. HB23-015 043

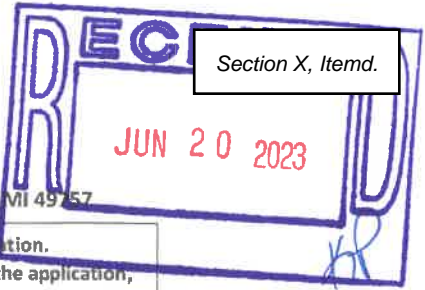
Exhibit C

Date 6-19-23

Initials KP



**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**



www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Lakeview Mackinac LLC
 PO Box 190 Mackinac Island, MI 49757
 906-430-7310 sam@hishotels.com
 Phone Number Email Address

Please complete both sides of application.
 The Fee and fourteen (14) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (if Different From Applicant)

Is The Proposed Project Part of a Condominium Association? No
 Is The Proposed Project Within a Historic Preservation District? Yes
 Applicant's Interest in the Project (If not the Fee-Simple Owner): Agent of Owner
 Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? No
 Is a Variance Required? No
 Are REU's Required? How Many? /

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other Allowed Change of Use
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-550-072-00
- B. Legal Description of Property: ASSESSOR'S PLAT NO. 3 HOUSE & LOT 145
- C. Address of Property: 1358 FRENCH LN
- D. Zoning District: HB
- E. Site Plan Checklist Completed & Attached: Yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance)
- G. Sketch Plan Attached: Yes
- H. Architectural Plan Attached: No
- I. Association Documents Attached (Approval of project, etc.): No
- J. FAA Approval Documents Attached: No
- K. Photographs of Existing and Adjacent Structures Attached: Yes

Proposed Construction/Use:

- A. Proposed Construction: No proposed construction
 New Building Alteration/Addition to Existing Building
 Other, Specify change of use
- B. Use of Existing and Proposed Structures and Land: No Proposed Structures
 Existing Use (If Non-conforming, explain nature of use and non-conformity):
History of boarding house and single family without recorded changes in use
 Proposed Use: Boarding House
File No. HB23-072-044
Exhibit A
- C. If Vacant: N/A
 Previous Use: N/A
 Proposed Use:
 Length of Time Parcel Has Been Vacant:
Date 6.20.23
Initials KP

OFFICE USE ONLY			
FILE NUMBER: <u>HB23-072-044</u>		FEE: <u>\$400-</u>	
DATE: <u>6.20.23</u>	CHECK NO: <u> </u>	INITIALS: <u>KP</u>	Revised Oct 2018

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.



The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Agent of Owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

 SIGNATURES _____
 Signature Signature
 _____
 Please Print Name Please Print Name

Signed and sworn to before me on the 20 day of June, 2023.

C. Campbell
Notary Public, Chippewa County, MI
My Commission Expires: February 24, 2029

 _____
Notary Public

Chippewa County, Michigan Acting Mackinac
My commission expires: 2-24-2029

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2018

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>

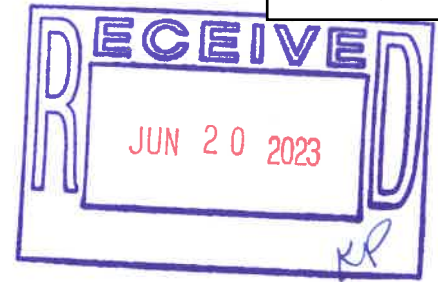
- | | | |
|--|-------------------------------------|-------------------------------------|
| 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 22. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Lakeview Mackinac LLC
1358 French Lane
051-550-072-00



Lot Area – 4603 sqft
Boarding House Density 1:300
Allowed Density – 15.3
Current Proposed Density – 8 or less in 1 dwelling

No proposed changes to outdoor entry sconces
Posted quiet hours of 10pm – 8am
Allowed use would have no adverse effects on adjoining lands or occupants
Existing fence and stone wall surround the property with no proposed changes
Mackinac County GIS map data is North Up orientation

Bike Parking inside fence at French Lane and Squire St – 10 spots
Trash on other side of squire street in Lakeview trash enclosure
No proposed changes to building or outbuildings (2 existing outbuildings on site)
Building to be sprinkled according to the Michigan building code in the winter of 2023/24



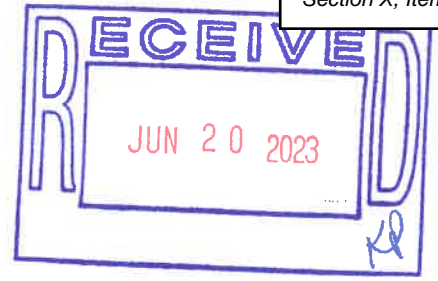
File No. HB23.072.044
Exhibit B
Date 6.20.23
Initials KP

File No. HB23-072-044

Exhibit C

Date 6-20-23

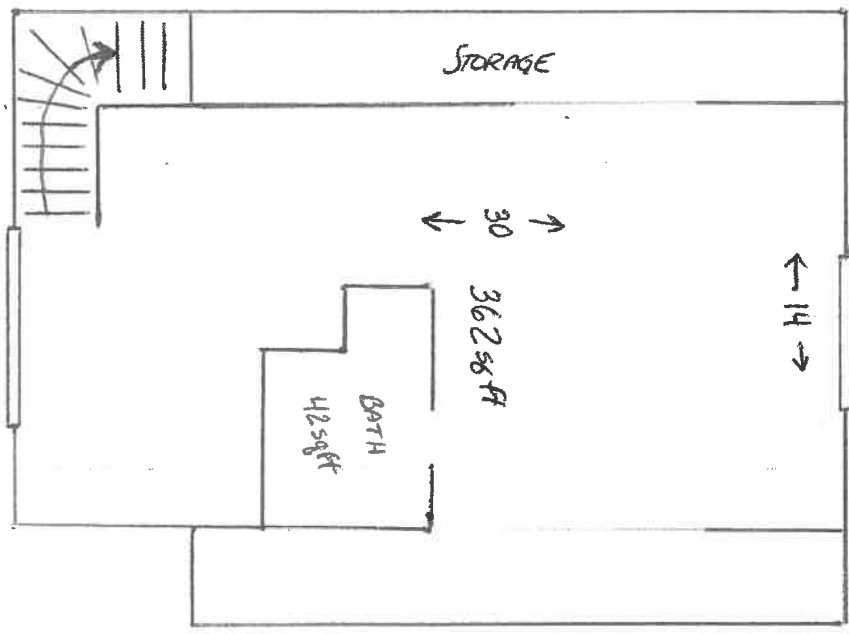
Initials KP



French Lane



1st Floor



420 sqft
(42 BATH)
(16 STAIRS)
362 sqft

2nd Floor

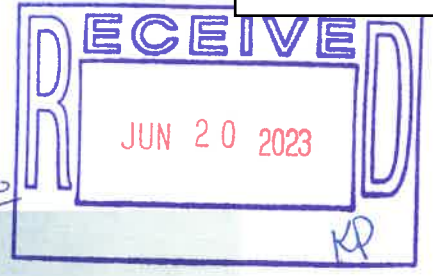
File No. HB23-072-044

Exhibit D

Date 6-20-23

Initials KP

Building Front on French Lane



Building Rear



**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

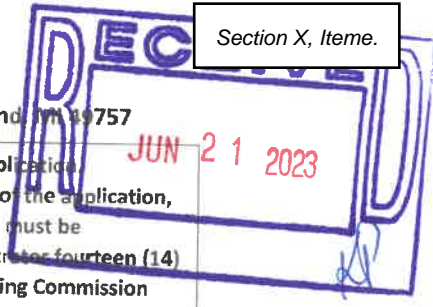
Section X, Iteme.

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Roy Shryack
7419 MARKET STREET
231-881-6860 main@md1971@live.com
Phone Number Email Address

Please complete both sides of application.
The Fee and fourteen (14) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.



Property Owner & Mailing Address (If Different From Applicant)

Chippewa Properties / Market Street LLC
7221 MAIN STREET
Mackinac Island, MI 49757

- Is The Proposed Project Part of a Condominium Association? NO
- Is The Proposed Project Within a Historic Preservation District? YES
- Applicant's Interest in the Project (If not the Fee-Simple Owner): RESIDENT
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO
- Is a Variance Required? _____
- Are REU's Required? How Many? NO / _____

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other _____
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 05155002600
- B. Legal Description of Property: LOT 111
- C. Address of Property: 7419 MARKET STREET
- D. Zoning District: MD
- E. Site Plan Checklist Completed & Attached:
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) _____
- G. Sketch Plan Attached: _____
- H. Architectural Plan Attached: yes
- I. Association Documents Attached (Approval of project, etc.): NA
- J. FAA Approval Documents Attached: NA
- K. Photographs of Existing and Adjacent Structures Attached: yes

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Alteration/Addition to Existing Building
 - Other, Specify _____
- B. Use of Existing and Proposed Structures and Land:
 - Existing Use (If Non-conforming, explain nature of use and non-conformity): Residential
 - Proposed Use: Residential
- C. If Vacant:
 - Previous Use: _____
 - Proposed Use: _____
 - Length of Time Parcel Has Been Vacant: _____

File No. MD23-026-040(4)
Exhibit F
Date 6-21-23
Initials KP

OFFICE USE ONLY			
FILE NUMBER: <u>MD23-026-040(4)</u>	FEE: <u>\$150-</u>	DATE: <u>6-21-23</u>	CHECK NO: <u>40922</u>
INITIALS: <u>KP</u>	Revised Oct 2018		

AFFIDAVIT

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Signature

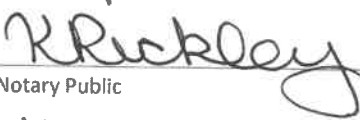
SIGNATURES _____
Signature

Roy Shryock
Please Print Name

Please Print Name

Signed and sworn to before me on the 21 day of June, 2023.

K. RICKLEY, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 10/21/2025


Notary Public
Mackinac County, Michigan
My commission expires: 10/21/2025

K. RICKLEY, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 10/21/2025

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2018

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

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2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
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3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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15. Earth-change plans, if any, as required by state law	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- | | | |
|--|-------------------------------------|-------------------------------------|
| 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 22. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Utility Information

- | | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|---|--------------------------|-------------------------------------|
| 23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Architectural Review
Informational Requirements (Section 18.05)**

- | <u>Item</u> | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|---|-------------------------------------|-----------------------------------|
| 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Legal description of the property | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
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| 4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

U. S. Postmark accepted as payment date. Check must clear or receipt is void. Treasurer is not responsible for payment on wrong description.

After February 28, 2023 pay Mackinac County Treasurer, (906) 643-7318.

PROPERTY INFORMATION



Property Assessed To:
MARKET STREET LLC
PO BOX 475
GAYLORD, MI 49734

Prop #: 051-550-026-00

School: 49110

Prop Addr: 7388 MAIN ST

Legal Description:

MI 93 251/669 299/343 746/305WD LOT 111 EXC BEG AT NWLY COR OF LOT 111 TH S 26 DEG 04'W 30 FT TH S 62 DEG 51'E 84 FT TH N 26 DEG 04'E 30.32 FT TH ALONG NE'LY LINE OF LOT 111 84 FT TO POB AND EXC BEG AT NE COR OF LOT 111 TH S 26 DEG 43'30" W ALONG E'LY LINE OF LOT 95.70 FT TH N 62 DEG 48'35"W 73.93 FT TH N 59 DEG 01'50"W 47.57 FT TH N 29 DEG 9'30"E 92.91 FT TH S 62 DEG 40'E 117.44 FT TO POB. ASSESSORS PLAT NO.3

File No. MD23.026.040(4)

Exhibit G

Date 6.21.23

Initials RF

RECEIVED

JUN 14 2023

- Found Property Iron
- Found Nail in Conc
- Set Nail in Conc
- Set Property Iron #27447

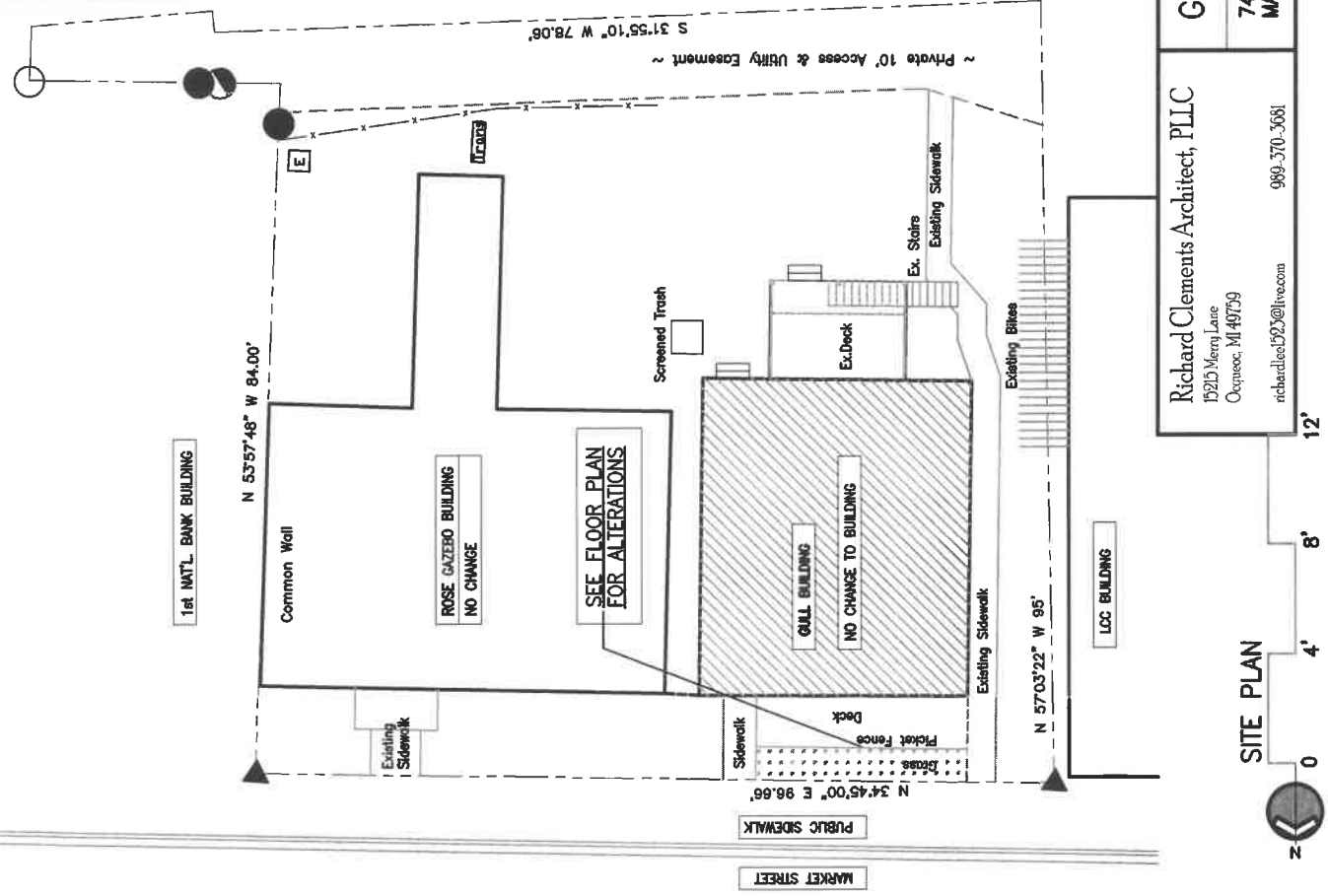
File No. MD23-026-040(H)

Exhibit C.

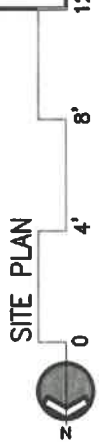
Date 6-16-23

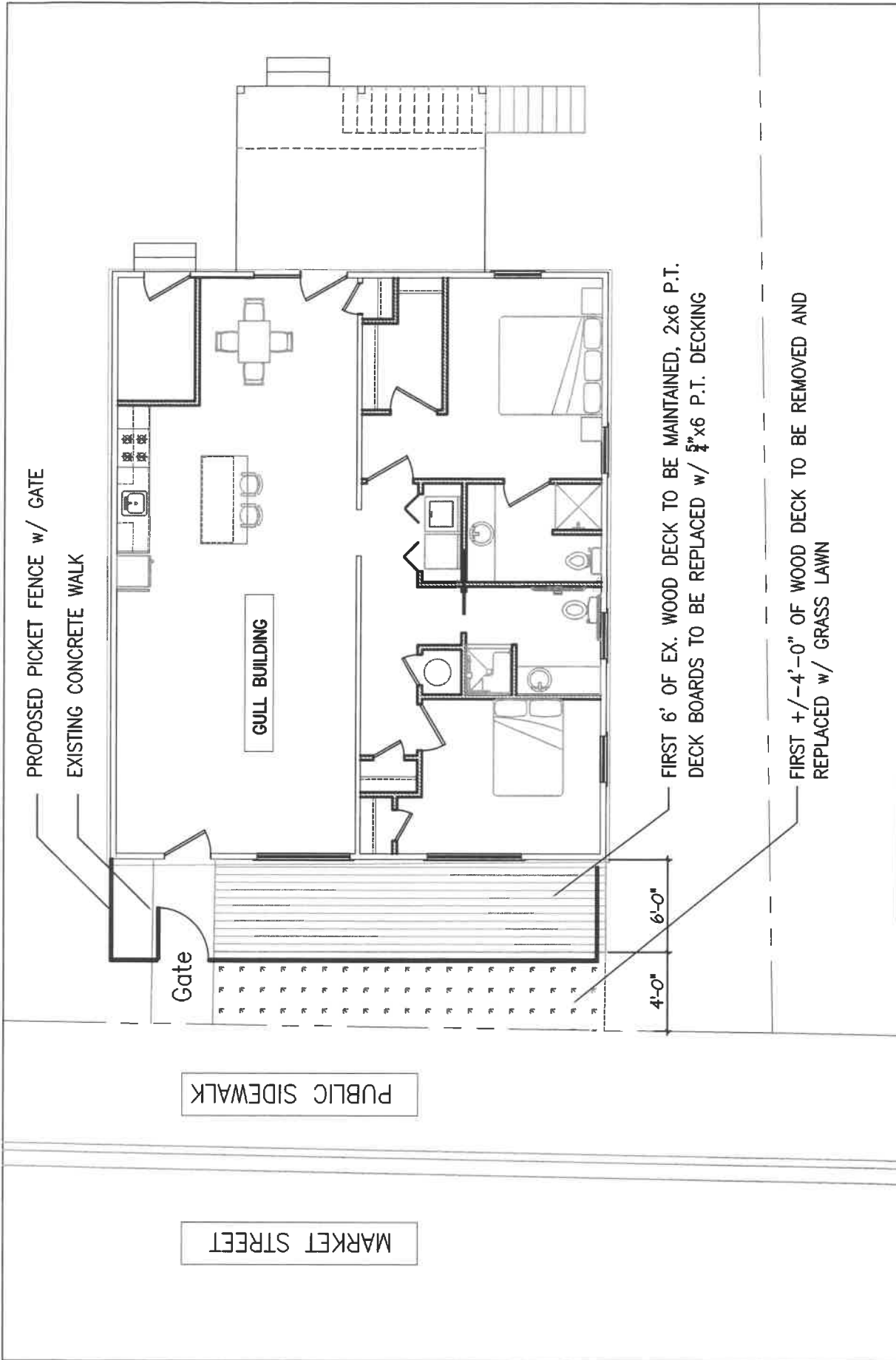
Initials KP

ZONING INFORMATION: DISTRICT: MD
 SITE PLAN INFORMATION BASED ON A SURVEY BY NEIL E. HILL, P.S. #27447,
 ST. IGNACE, MICHIGAN.
 CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN
 LOT AREA: 8,945 SQUARE FEET (0.20 ACRES)
 NO CHANGE TO USE, DENSITY, OR HEIGHT.
 LOT COVERAGE REDUCED BY 100 SQ. FT.
 PROJECT: REMOVE 4 FEET OF EXISTING WOOD DECK WHICH IS ADJACENT TO THE PUBLIC SIDEWALK,
 REPLACE W/ GRASS LAWN, BUILD PICKET FENCE w/ GATE FOR PRIVACY AT EDGE OF DECK.
 REPLACE EXISTING DECK BOARDS w/ NEW 2"x6" TREATED DECKING



GULL BUILDING	date: May 18, 2023	sheet:
7419 MARKET STREET MACKINAC ISLAND, MI	project: 1925-B	A1.0
Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardcleo15215@live.com 989-370-3681	SITE PLAN	copyright © 2023

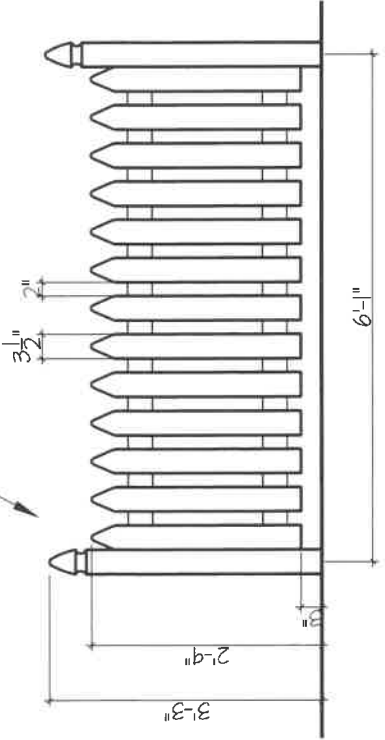




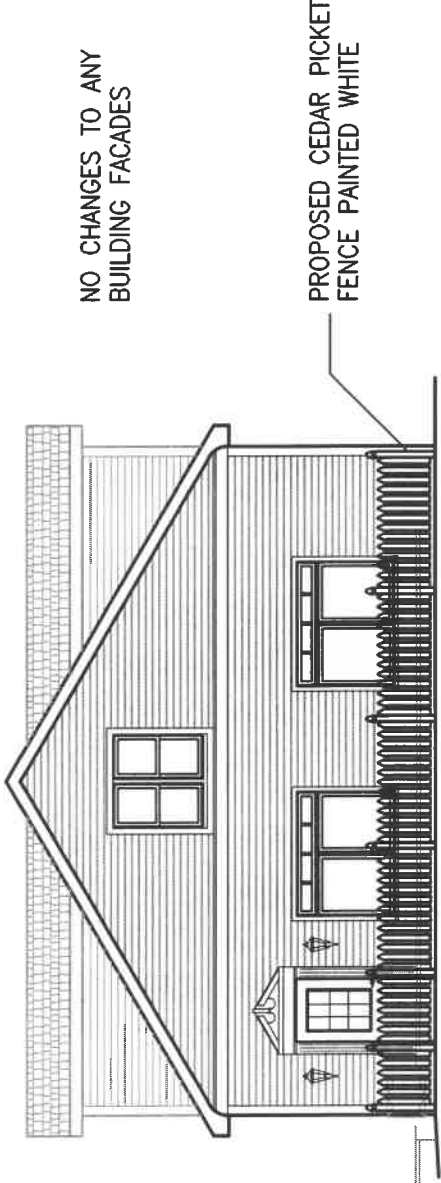
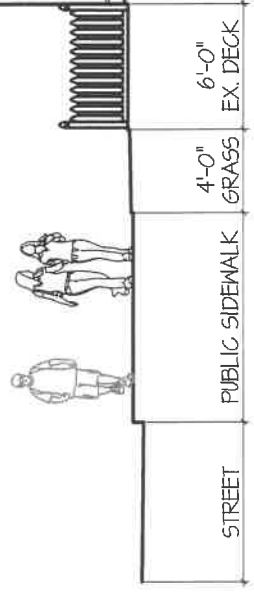
Richard Clements Architect, PLLC 19215 Merry Lane Oshtemo, MI 49759 richardcl@rcaive.com 989-370-3681	GULL BUILDING 7419 MARKET STREET MACKINAC ISLAND, MI	date: May 18, 2023 project: 1925-2	sheet: A1.1 copyright © 2023
	FLOOR PLAN		



PICKET FENCE CONSTRUCTION:
 1x4 CEDAR PICKETS w/ 2" SPACING PAINTED WHITE
 4x4 CEDAR POSTS PAINTED WHITE



Pro. Picket Fence
 SCALE" 1" = 1'-0"

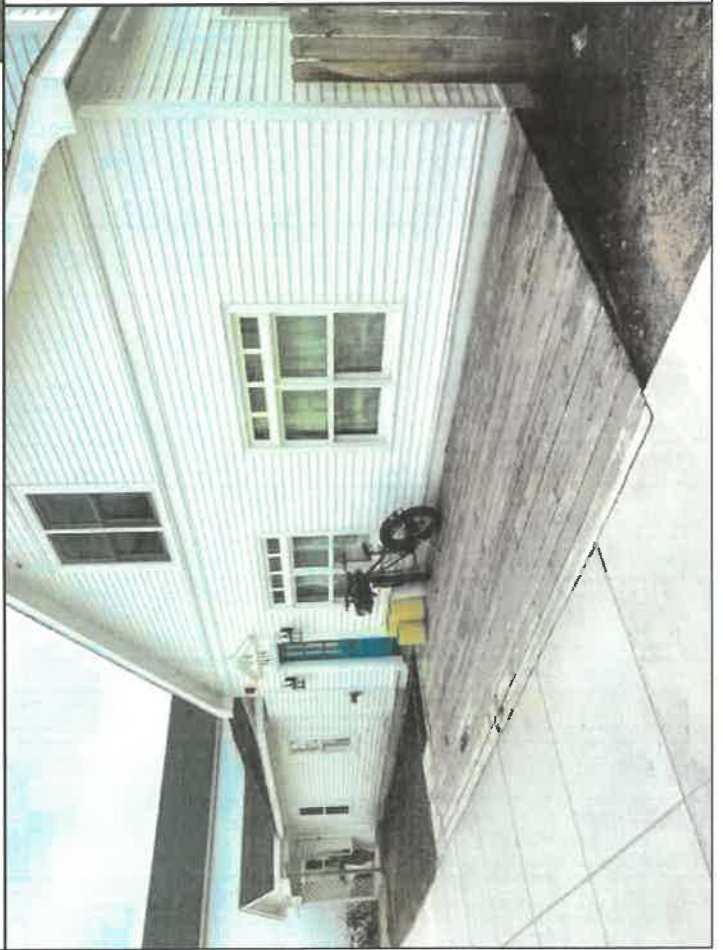


NORTH STREET ELEVATION
 0 4' 8' 12'

Richard Clements Architect, PLLC 15215 Merril Lane Oshtemo, MI 49759 richardlee@rcaave.com 989-370-3681	GULL BUILDING 7419 MARKET STREET MACKINAC ISLAND, MI	date: May 18, 2023 project: 1925-2	sheet: A1.2 <small>copyright © 2023</small>
	ELEVATIONS		



LOOKING SOUTHEAST



LOOKING SOUTHWEST

NO CHANGES TO ANY BUILDING FACADES

Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee52@live.com 989-370-3661		GULL BUILDING		sheet: A1.3 copyright © 2012	
7419 MARKET STREET MACKINAC ISLAND, MI		date: May 18, 2023 project: 1925-2		EXISTING PHOTOS	

RECEIVED
JUN 14 2023
KP

File No. M.023-026-040(H)
Exhibit D
Date 6-16-23
Initials KP





28 June 2023

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
Mackinac Island, MI 49757

File No. MD23-026-040(4)
Exhibit I
Date 7.5.23
Initials RN

Re: **GULL BUILDING DECK & FENCE**
Design Review

Dear Ms. Pereny:

The Applicant proposes to replace the existing deck and add a fence in front of the Gull Building, their residence, at 7419 Market Street, in the Market and Main Historic District. The Gull Building is a Contributing resource in the historic district. This design review is based on site plan, floor plan, and elevation drawings and photos dated 18 May 2023, by Richard Clements Architect, and submitted by Roy and Hannah Shryock.

The existing wood deck, now about 10 feet in depth and extending to the public sidewalk, would be replaced with new decking, but would be reduced in depth to 6 feet, with the remaining 4 feet of space along the sidewalk being planted with lawn. Additionally, an approximately 3 feet tall wood picket fence with a gate would be added around the deck and extending across the full front of the building.

The Standards for review which pertain to this application are: Standard 2 - The historic character of the property would be maintained, and certainly even improved; Standard 9 - Related new construction would not destroy historic materials that characterize the property; and Standard 10 - Adjacent or related new construction could be removed in the future without impairing the essential form and integrity of the property. Also considering Standards under Sec. 10-161(b), the architectural value and significance of the resource and its relationship to the surrounding district, as well as the resource's aesthetic value, would be maintained. I conclude the proposed Gull Building new deck and fence would meet the Standards for review.

Sincerely,

RICHARD NEUMANN ARCHITECT
Rick Neumann
Rick Neumann

- c. Roy Shryock, Chippewa Hotel
Dennis Dombroski, City of Mackinac Island
Gary Rentrop, Rentrop & Morrison

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

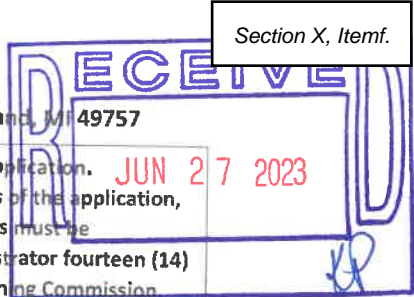
Section X, Itemf.

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

ST Cloud Properties
6918 Main Street
231-881-6860 Main@Main1971@Live.com
Phone Number Email Address

Please complete both sides of application. **JUN 27 2023**
The Fee and fourteen (14) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.



Property Owner & Mailing Address (If Different From Applicant)

Bob Beusel / Nancy Patel
7221 Main Street P.O. Box 250

- Is The Proposed Project Part of a Condominium Association? NO
- Is The Proposed Project Within a Historic Preservation District? NO
- Applicant's Interest in the Project (If not the Fee-Simple Owner): _____
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO
- Is a Variance Required? NO
- Are REU's Required? How Many? 0

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other _____
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-525-037-00
- B. Legal Description of Property: LOT 82
- C. Address of Property: 6918 Main Street
- D. Zoning District: HB
- E. Site Plan Checklist Completed & Attached: _____
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) PHOTOS/DRAWING
- G. Sketch Plan Attached: _____
- H. Architectural Plan Attached: YES
- I. Association Documents Attached (Approval of project, etc.): N/A
- J. FAA Approval Documents Attached: N/A
- K. Photographs of Existing and Adjacent Structures Attached: YES

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Other, Specify NEW DECK
 - Alteration/Addition to Existing Building

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Boardinghouse
Proposed Use: Same

File No HB23-037-046

Exhibit A

C. If Vacant:

Previous Use: _____

Proposed Use: _____

Length of Time Parcel Has Been Vacant: _____

Date 6-27-23

Initials KP

OFFICE USE ONLY			
FILE NUMBER:	<u>HB23-037-046</u>	FEE:	<u>5400 -</u>
DATE:	<u>6-27-23</u>	CHECK NO:	<u>40959</u>
		INITIALS:	<u>KP</u>

Revised Oct 2018

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Contractor (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**


Signature

SIGNATURES _____
Signature

Roy Shryock
Please Print Name

Please Print Name

Signed and sworn to before me on the 27 day of June, 2023

BRENDA BUNKER, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 07/21/2025


Notary Public

County, Michigan
My commission expires: _____

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input checked="" type="checkbox"/>	<input type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units
- 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
- 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
- 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
- 22. Description of Existing and proposed on-site lighting (see also Section 4.27)

<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Section X, Itemf.

JUN 27 2023

RECEIVED

PROJECT:
ADD A 14' x 16' WOLMANIZED GROUND LEVEL DECK ADJACENT TO THE WEST SIDE OF THE EXISTING ST. CLOUD BUILDING MAIN ENTRANCE STEPS

SURVEYOR:
NEIL E. HILL
ST. IGNACE, MI

PROPERTY DETAILS:
TAX I.D. #051-525-037-00
ASSESSOR'S PLAT NO. 2, LOT 82
CITY OF MACKINAC ISLAND,
MACKINAC COUNTY, MI

ZONING INFORMATION

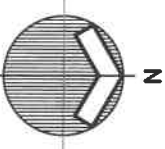
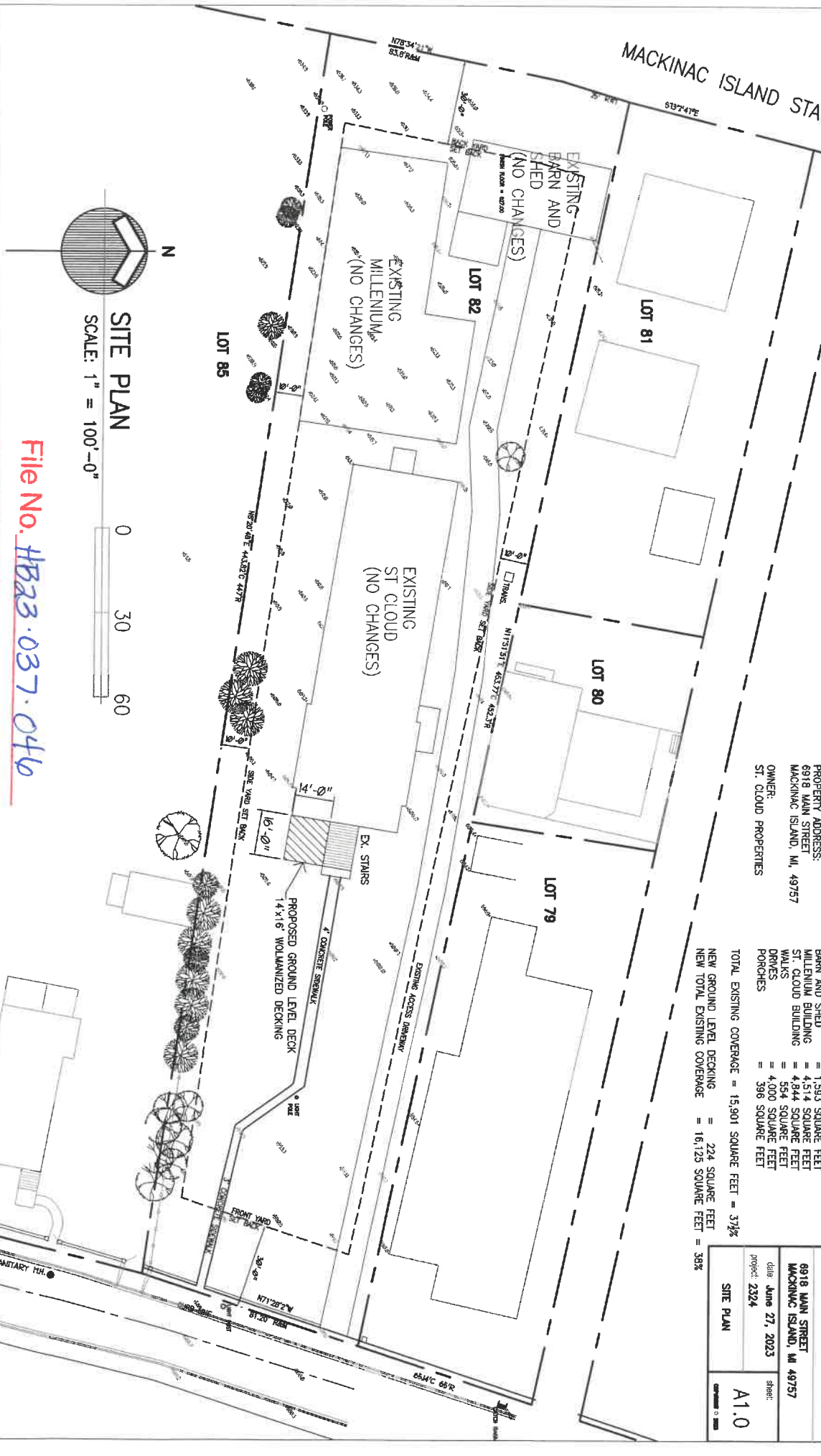
ZONING DISTRICT: HB
SITE AREA = 42,454.5 SQUARE FEET = 0.975 ACRES
ALLOWABLE DENSITY = NO CHANGE

ALLOWABLE LOT COVERAGE = 40% = 16,982 SQUARE FEET

BARN AND SHED = 1,593 SQUARE FEET
MILLENIUM BUILDING = 4,514 SQUARE FEET
ST. CLOUD BUILDING = 4,844 SQUARE FEET
WALKS = 554 SQUARE FEET
DRIVES = 4,000 SQUARE FEET
PORCHES = 396 SQUARE FEET

TOTAL EXISTING COVERAGE = 15,901 SQUARE FEET = 37%
NEW GROUND LEVEL DECKING = 224 SQUARE FEET
NEW TOTAL EXISTING COVERAGE = 16,125 SQUARE FEET = 38%

Richard Clements Architect, PLLC 1570 Mackinac Island Osgood, MI 49759 rhclements@rca.com 989.370.3081	
ST. CLOUD 6918 MAIN STREET MACKINAC ISLAND, MI 49757	date: June 27, 2023 project: 2324
SHEET: A1.0	OF 10 SHEETS



SITE PLAN

SCALE: 1" = 100'-0"



File No. HB23-037-046

Exhibit C

Date 6-27-23

Initials NH



Mackinac Island Planning Commission,

We would like your approval on a new BBQ/smokers deck that we would like to build at ground level in front of St Cloud's porch. The new deck will be 14'x16' in size and will be made out of treated lumber.

Thank you for your time!

Roy Shryock

File No. HB23-037-046
Exhibit B
Date 6-27-23
Initials KP



File No. HB22-037046

Exhibit D

Date 6-27-23

Initials KQ









THE WANDRIE HOUSE

INTERIOR STAIR REPAIR

7527 4TH STREET, MACKINAC ISLAND, MI 49757

SCOPE OF WORK:

REMOVE AND REPLACE THE INTERIOR STAIRCASE SPANNING FROM THE FIRST FLOOR TO THE SECOND FLOOR AND CONSTRUCT A NEW INTERIOR STAIRCASE SPANNING FROM THE FIRST FLOOR TO THE SECOND FLOOR. OTHER ITEMS INCLUDE, BUT NOT LIMITED TO:

- WINDOW REPLACEMENT AT NEW STAIR
- WINDOW AND CLOSET RELOCATION AT SECOND FLOOR BEDROOM
- CLOSET ADDITION AT SECOND FLOOR BEDROOM

PROPERTY DATA:

PARCEL #: 051-630-095-00
 LOT SIZE: *0.38 ACRES
 PROPERTY CLASS: 401
 CLASS NAME: RESIDENTIAL 401
 HEIGHT: 23'-4"

EXCLUSIONS:

N.A

BUILDING DATA:

FIRST FLOOR: *959 SF
 SECOND FLOOR: *729 SF
 TOTAL AREA: *1,688 SF
 BUILDING FOOTPRINT: *959 SF
 LOT COVERAGE: *5.79% (16,550 SF)
 OCCUPANCY: R-3
 CONSTRUCTION TYPE: V-B

* INFORMATION OBTAINED BY COUNTY GIS MAPS AND HAS NOT BEEN VERIFIED FOR ACCURACY

APPLICABLE CODES:

2015 MICHIGAN BUILDING CODE
 2015 MICHIGAN RESIDENTIAL CODE

STRUCTURAL DESIGN CRITERIA

SEE SHEET SXX

PROJECT TEAM

OWNER

GHMI RESORT HOLDINGS LLC
 100 ST PAUL STREET, SUITE 800
 DENVER, CO 80206

DESIGNER

CHILDRESS ENGINEERING SERVICES
 CONTACT: RENE CAVAZOS
 1500 N. GREENVILLE AVE.
 SUITE 1000
 RICHARDSON, TX 75081
 TEL: (214) 451-6630
 EMAIL: rcavazos@cesglobal.com

CONTRACTOR

COTTON GLOBAL DISASTER SOLUTIONS
 CONTACT: ROLAND BERMUDEZ
 5443 KATY HOCKLEY CUTOFF
 KATY, TEXAS 77943
 TEL: (877) 511-2962
 EMAIL: roland.bermudes@cottonteam.com

STRUCTURAL ENGINEER

CHILDRESS ENGINEERING SERVICES
 CONTACT: TONY CHILDRESS, PE, SE
 1500 N. GREENVILLE AVE.
 SUITE 1000
 RICHARDSON, TX 75081
 TEL: (214) 451-6630
 EMAIL: tchildress@cesglobal.com

SITE MAP



SHEET LIST	
Sheet Number	Sheet Name
General	
G0-00	Title Sheet
G0-01	General Notes
G0-02	General Specifications
Architectural	
A1-01	Site Plan
A2-01	Demo Floor Plans & Repair Floor Plans
A3-01	Exterior Elevations
A4-01	Building Sections
A6-00	Construction Assemblies and Details
Structural	
S1.1	Framing Plan

File No. R423-095-031
 Exhibit D
 Date 6-27-23
 Initials KP

CHILDRESS ENGINEERING SERVICES
 1500 N GREENVILLE, Suite 1000
 Richardson, TX 75081
 www.cesglobal.com
 Office: 214-451-6630
 Fax: 214-451-6630
 Inspections: 214-451-6630

THE WANDRIE HOUSE
 INTERIOR STAIR REPAIR
 Title Sheet
 7527 4TH STREET, MACKINAC, MI 49757

DATE	
REVISIONS	
PROJECT MGR:	SDA
DRAWN BY:	RC
CHECKED BY:	
SCALE:	

SHEET NUMBER:
G0-00

GENERAL NOTES

GENERAL NOTES

- THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, THE CONDITIONS OF THE CONTRACT (GENERAL, SUPPLEMENTARY AND OTHER CONDITIONS), THE DRAWINGS, THE SPECIFICATIONS, ALL ADDENDA ISSUED PRIOR TO AND ALL MODIFICATIONS ISSUED AFTER EXECUTION OF THE AGREEMENT. THESE FORM THE CONTRACT AND ALL ARE AS FULLY A PART OF THE CONTRACT AS IF ATTACHED TO THE AGREEMENT.
- ALL CONSTRUCTION AND PROCEDURES SHALL CONFORM TO ALL APPLICABLE CODES AS OUTLINED ON TITLE SHEET.
- DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR REQUIRED INFORMATION. IF ERRONEOUS OR CONFLICTING INFORMATION IS DISCOVERED, CONTACT ARCHITECT FOR CLARIFICATION.
- IF DISCREPANCIES OCCUR BETWEEN THE SPECIFICATIONS AND THE DRAWINGS, NOTIFY THE ARCHITECT FOR RESOLUTION.
- IF DISCREPANCIES OCCUR BETWEEN DRAWINGS, THE LARGER SCALE DRAWING SHALL GOVERN. NOTIFY ARCHITECT OF DISCREPANCY.
- IF DISCREPANCIES IN ARCHITECTURAL ELEMENTS (PARTITIONING, DOOR LOCATION, DOOR SWING, ...ETC.) OCCUR BETWEEN ARCHITECTURAL FLOOR PLANS AND THE ENGINEERING PLANS, THE ARCHITECTURAL FLOOR PLANS SHALL GOVERN. NOTIFY ARCHITECT.
- COORDINATE ALL WORK WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL SPECIFICATIONS, DRAWINGS, AND CONTRACTORS. ANY DAMAGES AND/OR REPAIR TO ANY EXISTING MECHANICAL, PLUMBING, OR ELECTRICAL SYSTEM WILL REQUIRE NOTIFICATION TO ARCHITECT, OWNER, AND BUILDING INSPECTOR.
- ALL DIMENSIONS ON ARCHITECTURAL DRAWINGS LOCATING STRUCTURAL ELEMENTS ARE TO CENTERLINE OF COLUMNS AND BEAMS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS LOCATING EXTERNAL WALL SYSTEMS ARE TO EXTERNAL FINISH FACE OR TO INTERNAL FINISH FACE UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS LOCATING INTERNAL GYPSUM BOARD PARTITIONING ARE TO FINISH FACE OF GYPSUM BOARD OR TO FACE OF METAL/WOOD STUDS WHERE GYPSUM BOARD DOES NOT OCCUR ON PARTITIONING ELEMENT UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS LOCATING DOORS IN INTERNAL GYPSUM BOARD PARTITIONING ARE TO EDGE OF DOOR, UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS LOCATING ALL OPENINGS IN EXTERNAL MASONRY WALL SYSTEM, ARE TO EDGE OF MASONRY OPENING UNLESS NOTED OTHERWISE.
- THE PLAN READER IS REQUIRED TO FAMILIARIZE HIMSELF/HERSELF WITH ALL THE SYMBOLS, TERMS AND CONVENTIONS FOR CROSS-REFERENCING INFORMATION (DEFINED OR DESCRIBED ON THE TITLE SHEET) THROUGHOUT THE PRODUCTION SET.
- ALL PARTIES TO THE CONTRACT ARE REQUIRED TO READ THE ENTIRE PRODUCTION SET. IT IS THE ARCHITECT'S INTENTION THAT ALL PARTIES BE PROVIDED WITH COMPLETE PRODUCTION SET (INCLUDING THE SPECIFICATIONS), ANY PARTY WITH AN INCOMPLETE PRODUCTION SET IS REQUIRED TO NOTIFY THE ARCHITECT FOR CORRECTION OF THIS OVERSIGHT. REFER TO THE STRUCTURAL DRAWINGS FOR ADDITIONAL RELATED NOTES, DETAILS, DIMENSIONS, SUPPORT AND GENERAL LOAD PATH ASSUMPTIONS, ETC.
- DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DRAWN. WHERE SPECIFIC DIMENSIONS OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE SUBMITTING THE BID OR PROCEEDING WITH THE WORK.
- WHERE DRAWINGS INDICATE "VF" OR "VERIFY," THE CONTRACTOR SHALL VERIFY AND DOCUMENT THE EXISTING CONDITION. IF THE CONDITION DOES NOT MEET REQUIREMENTS, CONTRACTOR SHALL PROVIDE SPECIFIED REMEDY AND/OR CONTACT ARCHITECT FOR REPAIR DESIGN.
- CONTRACTOR TO VERIFY LEVELNESS AND PLUMBNESS OF WALLS AND SHALL MAKE ADJUSTMENT TO ACHIEVE PLANE WALLS PRIOR TO APPLYING SHEATHING AND OTHER FINISHES.
- DURING CONSTRUCTION, CONTRACTOR TO IDENTIFY AND FOLLOW BEST PRACTICES FOR ENVIRONMENTAL PROTECTION OF SURROUNDING PROPERTY. CONTRACTOR TO PREVENT DEBRIS FROM LEAVING THE CONSTRUCTION AREA. CONTRACTOR TO PROVIDE FILTERS AND/OR METHODS FOR PREVENTING CONSTRUCTION DEBRIS AND ODORS FROM ENTERING MECHANICAL SYSTEMS AND AIR INTAKES. CONTRACTOR TO PREVENT CONSTRUCTION DEBRIS FROM ENTERING THE SITE DRAINAGE SYSTEM.
- CONSTRUCTION QUALITY AND PERFORMANCE SHALL COMPLY WITH THESE DRAWINGS, SPECIFICATION, AND MATERIAL/PRODUCT MANUFACTURER INSTRUCTION GUIDELINES. WHERE NOT OTHERWISE SPECIFIED, CONSTRUCTION SHALL AT A MINIMUM MEET OR EXCEED THE CURRENT EDITION OF THE RESIDENTIAL CONSTRUCTION PERFORMANCE GUIDELINES PUBLISHED BY NATIONAL ASSOCIATION OF HOME BUILDERS.

EXTERIOR WALL SYSTEM

- THE BUILDING ENVELOPE, INCLUDING THE RAINSCREEN WALL SYSTEM, IS INTENDED TO BE WATERTIGHT. THE RAINSCREEN IS A PRESSURE EQUALIZED PRIMARY BARRIER WHICH PREVENTS INTRUSION OF 98% OF WATER. THE WEATHER RESISTIVE BARRIER, INCLUDING FLASHINGS AND SEALANTS, IS A SECONDARY BARRIER WHICH SHALL RESIST 100% OF WATER AND AIR INFILTRATION TO THE BUILDING. COORDINATE INSTALLATION OF ALL MATERIALS WITH SUBCONTRACTORS TO PRESERVE WATERTIGHT INTEGRITY OF OVERALL BUILDING ENVELOPE.
- REVIEW ALL SUBSTRATE CONDITIONS PRIOR TO INSTALLATION OR ERECTION OF WORK. CONFIRM THAT ALL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED AND SUBSTRATE IS ACCEPTABLE BEFORE PROCEEDING.
- WHERE DRAWINGS OR DETAILS ARE NOTED WITH THE PHRASE, "PER STRUCTURAL," THE CONTRACTOR SHALL REFER TO STRUCTURAL DRAWINGS FOR DESIGN. SIMILARLY, IF DRAWINGS OR DETAILS ARE NOTED WITH THE PHRASE, "PER ELECTRICAL," "PER MECHANICAL," OR "PER CONSULTANT," AND THE SPECIFIED DRAWINGS ARE NOT INCLUDED IN THE PERMIT SET, THE CONTRACTOR SHALL NOTIFY ARCHITECT AND HAVE THOSE DRAWINGS PREPARED BY AN ENGINEER OR DESIGN/BUILD CONTRACTOR IN ACCORDANCE WITH STATE CODES, LAWS, AND REGULATIONS. DOCUMENTS SHALL BE SUBMITTED TO ARCHITECT, OWNER, AND LOCAL CODE AUTHORITY FOR APPROVAL PRIOR TO CONSTRUCTION.
- ALL ANCHORAGE DETAILS ARE TO BE COORDINATED WITH THE WALL, THE STRUCTURAL FRAMING, AND OTHER RELATED BUILDING COMPONENTS, INCLUDING INTERIOR FINISHES, BUILDING MAINTENANCE, BIRD CONTROL, MECHANICAL AND ELECTRICAL APPURTENANCES, ETC., WHICH ARE INCORPORATED IN OR THROUGH THE EXTERIOR ENCLOSURE.
- ANCHOR CONDITIONS SHOWN IN ARCHITECTURAL DRAWINGS REPRESENT DESIGN INTENT ONLY. REFER TO STRUCTURAL DRAWINGS AND CALCULATIONS FOR ACTUAL ANCHOR CONDITIONS. ALL ANCHORS THAT PENETRATE THE W.R.B. SHALL BE WATERPROOFED ACCORDING TO THE ARCHITECTURAL DRAWINGS. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF DISCREPANCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEVELOPMENT OF SHOP DRAWINGS TO FACILITATE THE FABRICATION, ERECTION, AND INSTALLATION OF THE WORK IN ACCORDANCE WITH THE DESIGN INTENT SHOWN, SPECIFICATIONS, AND THE CONSTRUCTION CONTRACT. SHOP DRAWINGS SHALL BE PROVIDED TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION AND INSTALLATION.
- MOCKUPS OF THE EXTERIOR WALL SYSTEM ARE REQUIRED. THE MOCKUPS SHALL BE INSTALLED ON THE BUILDING, (OR EQUIVALENT WALL ASSEMBLY) IN ORDER TO DEMONSTRATE INSTALLATION METHODS, SEQUENCING, AND QUALITY. MOCKUP INSTALLATION MAY BE USED TO DEMONSTRATE ALTERNATE METHODS, CONSTRUCTABILITY ISSUES, AND FINALIZE COORDINATED DIMENSIONS. MOCKUP SHALL BE SUITABLE FOR WATER INTRUSION AND MATERIAL PERFORMANCE TESTING BY OWNER DESIRED. IT IS INTENDED THAT THE ARCHITECT AND OWNER REVIEW THESE MOCK-UPS PRIOR TO SHOP DRAWING APPROVAL AND SYSTEM FABRICATION. CONTRACTOR SHALL PLAN, STAFF, AND SCHEDULE MOCKUPS AT BEGINNING OF PROJECT WITH SUFFICIENT TIME FOR REVIEW AND APPROVAL.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE EXTERIOR WALL SYSTEMS NOTES, THE DRAWINGS, AND/OR THE TECHNICAL SPECIFICATIONS, CONTACT THE ARCHITECT IN WRITING FOR RESOLUTION OF THE DISCREPANCY BEFORE SUBMITTING THE BID OR PROCEEDING WITH THE WORK.
- ALL JOINTS AND PENETRATIONS IN THE BUILDING ENVELOPE WEATHER RESISTIVE BARRIER, INCLUDING SCAFFOLD TIES, SHALL BE SEALED WATERTIGHT IN A MANNER APPROVED BY THE ARCHITECT.
- ALL FASTENERS, ANCHORS, CONNECTION DEVICES, ETC. SHALL BE CONCEALED UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- THE ENTIRE EXTERIOR WALL SYSTEM SHALL HAVE TWO CONTINUOUS, DISTINCT AND SEPARATE "LINES OF DEFENSE" AGAINST AIR AND WATER INFILTRATION. PROVIDE A WEEP SYSTEM TO DRAIN THE CAVITY CREATED BY THE TWO SEPARATE LINES OF DEFENSE AT THE BOTTOM OF EACH HORIZONTAL TRANSITION IN THE EXTERIOR WALL.
- THE EXTERIOR WALL SYSTEMS SHALL ACCOMMODATE ALL BUILDING MOVEMENTS INCLUDING THERMAL EXPANSION AND CONTRACTION, VERTICAL DEFLECTION, AND SIMILAR MOVEMENTS.
- PROVIDE FASTENERS SELECTED TO PREVENT GALVANIC ACTION WITH THE COMPONENTS FASTENED. EXPOSED FASTENERS TO INCLUDE NEOPRENE WASHERS. EXPOSED RIVETS TO INCLUDE NEOPRENE INSERTS.
- ALL DISSIMILAR MATERIALS SHALL BE SEPARATED WITH A HEAVY COATING OF NON-METALLIC EPOXY PAINT OR OTHER SUITABLE PERMANENT SEPARATION AS REQUIRED TO PREVENT GALVANIC ACTION.
- ALL MATERIAL, WHICH MAY CAUSE STAINING, DISCOLORATION, DEGRADATION OR OTHER DETRIMENTAL EFFECTS WHEN IN CONTACT WITH OTHER MATERIALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER AND ADJACENT CONSTRUCTION.
- THE COLOR, CHARACTER, AND FINISH OF THE EXTERIOR WALL MATERIALS SHALL MATCH THE ARCHITECT'S SAMPLES AND/OR BE APPROVED BY ARCHITECT AND OWNER.
- ALL FLASHINGS AND WEATHER RESISTIVE BARRIERS SHALL BE LAPPED "SHINGLE STYLE" TO DRAIN WATER AND MAINTAIN A WATERTIGHT WALL ASSEMBLY.
- AS PART OF CLOSEOUT DOCUMENTS, CONTRACTOR TO PROVIDE REQUIRED ROUTINE MAINTENANCE MEASURES INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, AND CLEANING SYSTEM. (ALSO REQ'D BY CALGREEN 4.410.1)

INTERIOR FINISH

- TERMINATE ALL GYPSUM BOARD EDGES ABUTTING DISSIMILAR MATERIALS WITH METAL CASING, BACKER ROD, AND SEALANT.
- GYPSUM CORNERS SHALL BE REINFORCED WITH A METAL CASING BEAD.
- CONTINUOUS ACOUSTICAL SEALANT MUST BE PROVIDED AT PERIMETER OF PARTITIONS SCHEDULED TO RECEIVE ACOUSTICAL INSULATION, SEE PARTITION SCHEDULE AND DETAILS.

ABBREVIATIONS AND SYMBOLS

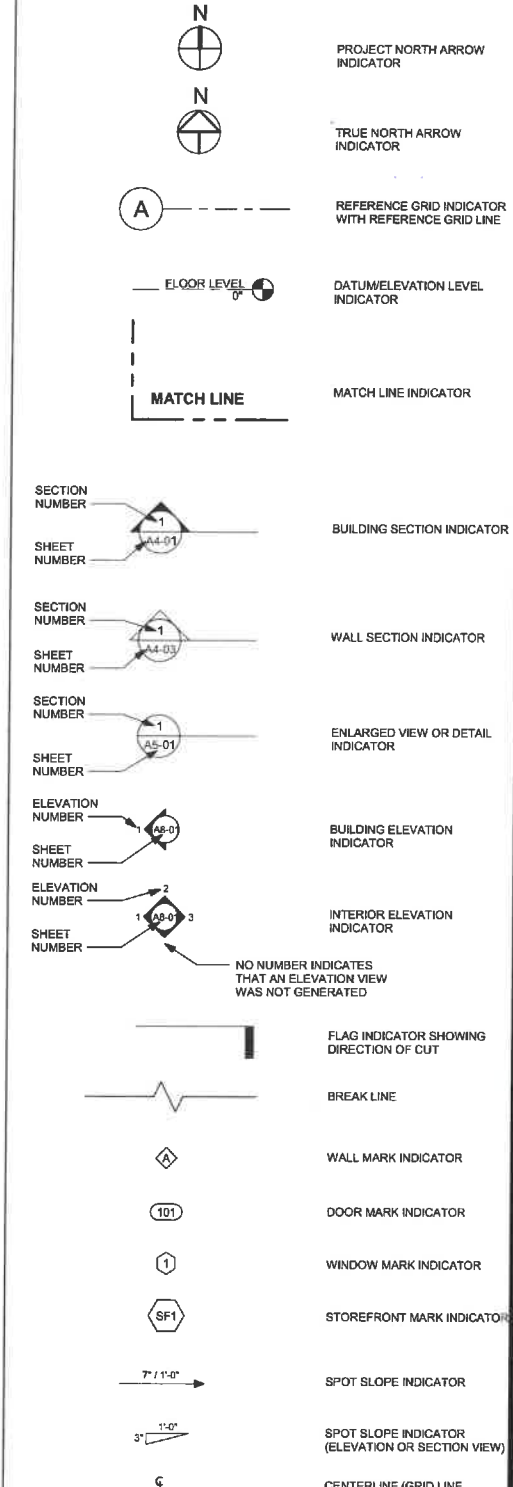
ABBREVIATIONS:

AFF	ABOVE FINISHED FLOOR	LBL	LABEL
ALUM	ALUMINUM	LB	LAG BOLT
AB	ANCHOR BOLT	LT	LIGHT
AC	ASPHALTIC CONCRETE	LW	LIGHTWEIGHT
ACM	ASBESTOS CONTAINING MATERIAL		
BSMT	BASEMENT	MB	MACHINE BOLT
BRG	BEARING	MH	MANHOLE
BN	BENCH MARK	MFR	MANUFACTURER
BLK	BLOCK	MTL	METAL
BLKG	BLOCKIG	MIN	MINIMUM
BD	BOARD	MULL	MULLION
BLDG	BUILDING		
BUR	BUILT UP ROOFING		
CO2	CARBON DIOXIDE	NRC	NOISE REDUCTION COEFFICIENT
CI	CAST IRON	NOM	NOMINAL
CIP	CAST IN PLACE	NTS	NOT IN CONTRACT
CLR	CLEAR(ANCE)		NOT TO SCALE
CO	CLEAN OUT		
CW	COLD WATER	OC	ON CENTER
COL	COLUMN	OD	OUTSIDE DIAMETER
CONC	CONCRETE	OH	OVERALL OVERHEAD
CMU	CONCRETE MASONRY UNIT		
COND	CONDENSATION	PC	PORTLAND CEMENT
CONST	CONSTRUCTION	PNT	PAINT(ED)
CONT	CONTINUOUS/ CONTINUE	PAIR	PAIR
CJ	CONTROL JOINT	PANL	PANEL
CF	COUNTER FLASHING	PTN	PARTITION
CU FT	CUBIC FOOT	PVMT	PAVEMENT
CU YD	CUBIC YARD	PWD	PLYWOOD
		PT	POINT OR PRESSURE TREATED
DTL	DETAIL	PVC	POLYVINYL CHLORIDE
DIAG	DIAGONAL	PV	POST INDICATOR VALVE
DIA	DIAMETER	PBS	POUNDS
DR	DOOR	PL	PROPERTY LINE OR PLATE
DF	DRINKING FOUNTAIN		
DN	DOWN	RAD	RADIUS
DS	DOWNSPOUT	REF	REFERENCE
		REIN	REINFORCE(ED), (ING)
EA	EACH	RA	RETURN AIR
EW	EACH WAY	REV	REVISION(S), REVISED
ELEC	ELECTRICAL	R	RIGHT-OF-WAY
ELEV	ELEVATION	RIS	RISER
EMER	EMERGENCY	RD	ROOF DRAIN
EQ	EQUAL	RDL	ROOF DRAIN LEADER
EXH	EXHAUST	RM	ROOM
EB	EXPANSION BOLT	RO	ROUGH OPENING
EJ	EXPANSION JOINT	RS	RESAWN
		SHT	SHEET
		SLM	SIMILAR
FOC	FACE OF CONCRETE	SL BLK	SLUMP BLOCK
FOM	FACE OF MASONRY	SC	SOLID CORE
FOS	FACE OF STUD	SCW	SOLID CORE WOOD
FT	FEET	SITC	SOUND TRANS. COEFFICIENT
FIN	FINISHED	SPEC	SPECIFICATION(S)
FLOOR	FLOOR LINE	STD	STANDARD
FFE	FURNITURE, FIXTURES, & EQUIPMENT	STL	STEEL
FD	FLOOR DRAIN	SD	STORM DRAIN
FTG	FOOTING	STRL	STRUCTURAL
FDN	FOUNDATION	SW	SWITCH
		SYM	SYMMETRY
G	GRID CENTERLINE	TEL	TELEPHONE
GA	GAGE, GAUGE	THK	THICKNESS
GAL	GALLON	THR	THRESHOLD
GPM	GALLON PER MINUTE	T & G	TONGUE AND GROOVE
GALV	GALVANIZED	T & B	TOP & BOTTOM
GI	GALVANIZED IRON	TOC	TOP OF CURB
GP	GALVANIZED PIPE	TOS	TOP OF SHEATHING
GL	GLASS, GLAZING	TOW	TOP OF WALL
GYP BD	GYPSUM BOARD	T	TREAT
		TYP	TYPICAL
HDW	HARDWARE	UL	UNDERWRITERS LABORATORY
HVAC	HEATING/VENTILATING	UNF	UNLESS OTHERWISE NOTED
HD	HEAVY DUTY	VERT	VERIFY IN FIELD
HT	HEIGHT		VERTICAL
HM	HOLLOW METAL	WH	WATER HEATER
HYD	HYDRANT	WP	WATERPROOFING
		WRB	WEATHER RESISTIVE BARRIER
ID	INSIDE DIAMETER	WWF	WELDED WIRE FABRIC
INSUL	INSULATION	W	WIDE
INV ELEV	INVERT ELEVATION	W/O	WITHOUT
		WI	WITH

SYMBOLS USED AS ABBREVIATIONS:

&	AND
L OR \angle	ANGLE
CL	CENTERLINE
d	PENNY
±	PLUS OR MINUS
@	AT
Ø	DIAMETER
°	DEGREES
#	NUMBER

SYMBOLS LEGEND



CHILDRESS ENGINEERING SERVICE
 1500 N GREENVILLE, Suite 1000
 Richardson, TX 75081
 www.ceglobal.com
 Office: 214-451-6666
 Fax: 214-451-6666
 Inspections: 214-451-6666

THE WANDRIE HOUSE
 INTERIOR STAIR REPAIR

General Notes

7527 4TH STREET, MACKINAC, MI 49757

DATE	
REVISIONS	
PROJECT MGR:	
DRAWN BY:	XXX
CHECKED BY:	XXX
DATE:	06/23/2022
SCALE:	1/2" = 1'-0"

SHEET NUMBER:
G0-01

PROJECT SPECIFICATIONS

DIVISION 01 - GENERAL REQUIREMENTS

SUMMARY OF WORK
Construction of new single family residence as indicated in drawings and specifications. The work includes all materials and labor necessary for a complete and quality craftsman-like construction of the project and includes the following:

- General:
1. Existing Conditions: Existing property has been professionally investigated and documented, including but not limited to topographic survey, geologic investigation, soils investigation, and biological resources.
2. Hazardous Materials: It is not anticipated that the project site contains hazardous materials.
3. Field Engineering: Contractor to provide field engineering services; establish grades, lines and levels by use of recognized engineering survey practices.
4. Owner Furnished Contractor Installed (OFCI) Items: Contractor shall inspect, receive, unload, store, install and finish.
5. Cutting and Patching: Cut and fit components as required, patch disturbed areas to match adjacent materials and finishes.
6. All construction and procedures shall conform to all federal, state, and local applicable codes including those outlined on the title sheet.
7. All construction and procedures shall conform to, or exceed, the locally established contractor's standard of care and industry published standards.
8. Do not scale drawings. If dimension discrepancies occur between plans and/or existing conditions, contact architect immediately to resolve conflict prior to continuation of work. Contractor to verify all dimensions in field and notify architect in writing of any conflicts.
9. Stairs: provide a minimum of 6'-8" head clearance, 7.75" max. riser, 10" min. tread with 3'-0" min. width for residential stair construction. Provide guardrails not less than 3'-8" with a maximum 4" continuous handrail required at least on one side of stair. All enclosed floor and roof openings, open and glazed sides of stairways, landings and ramps, balconies or porches which are located more than 30 inches above the adjacent floor or grade, shall be protected by a guardrail not less than 42" in height with a maximum of 4" between balusters, per 2016 State Building Code, Sec. R312.
11. All operable window sills shall be greater than 24" above finish floor unless located less than 6 feet above exterior grade or provided with fall protection / opening control per 2016 State Building Code, Sec. R312.2.
12. Egress Windows: Basements, habitable attics and each sleeping room shall have at least one egress window. Openings provided for egress shall have a minimum net clear opening of 5.7 sq.ft. and sill of opening shall be no greater than 42" above finish floor, per 2016 State Building Code, Sec. R310.

PROJECT SCHEDULE

- General:
1. Schedule of Values: Contractor to prepare schedule of values including a breakdown of all costs by division, trade, area, or phase. Contractor shall add 10% contingency to final bid, whereby changes to design and construction will be deducted from this contingency. No change orders will be accepted in excess of this contingency. Remaining contingency shall be returned to owner at end of project. Any change which materially changes the design or scope of the project shall be contracted separately and may be competitively bid to be performed by a separate contractor at the owner's discretion.
2. Construction schedule: Time is of the essence for completion of the project. The Owner prefers the quickest construction completion possible. Contractor shall prepare a schedule for review and approval by architect and owner. Schedule shall be formatted per industry standards, preferably CPM (Critical Path Method). At a minimum, the schedule should include activities for mobilization, shop drawing review, submittal reviews, mockups, long lead-time procurement requirements, trade milestones, and substantial completion dates. Contractor shall allow ample schedule time, min. 10 days, for each submittal and shop drawing review by Architect and/or consultants. The schedule, along with the schedule of values, shall be the basis for submitting and evaluating construction progress payment requests. Contractor shall maintain schedule and issue updated detailed completion schedules to project team on a weekly basis. Failure of the Construction Schedule to include any element of work, or any discrepancy in the schedule, will not relieve the Contractor from its responsibility for accomplishing all work required by the Contract, and will not constitute grounds for delay.
3. Project Documentation & correspondence: Contractor shall document construction progress on a weekly basis and provide to project team in a shared location.
4. Pre-Construction Conference: Contractor shall arrange for a Pre-Construction Conference to be held with all major subcontractors, owner, and architect approximately 2 weeks prior to construction. Conference agenda to include: contract agreements, insurance certificates, list of subcontractors, list of major construction products lead times, construction schedule, schedule of values, site access, temporary facilities, security, daily housekeeping, and procedures for submittals, substitutions, payments, RFIs, Change Orders, and Contract Closeout.
5. Project Progress Meetings: Contractor shall arrange and coordinate weekly project meetings. Purpose is to discuss schedule, progress, coordination, submittals, quality control, and high-priority problems. Project teams shall be prepared to review 3-week look ahead schedule of work and procurement.

SUBMITTALS

- 1. No portion of the Work requiring submittal shall be commenced until the submittal has been reviewed by the Architect and appropriate consultants. All submittal correspondence shall be between General Contractor and Architect, using PDF format whenever possible.
2. Action Submittals: Written and graphic information and physical samples that require Architect's responsive action.
3. Informational Submittals: Written and graphic information and physical samples that do not require Architect's responsive action. Informational submittals are still subject to rejection and shall allow for ample review time. Contractor shall review and approve submittals prior to submitting to Architect, and inform Architect in writing at time of submission of any proposed deviation from Contract Documents. Submittal by Contractor represents that field measurements, field construction criteria, materials, catalog numbers and similar data have been determined and verified by Contractor. Any deviations from the Contract shall be substantiated by Contractor to demonstrate equal or better quality along with cost savings and/or time savings.
6. Review of submittals by Architect shall be for design concept only and shall not be construed as approving departures from Contract Documents.
7. Construction Progress Schedule: Contractor's detailed project completion schedule shall be submitted to architect at interval noted in "Project Management" of this Specification.
8. Schedule of Values: AIA Form G703 or approved format.
9. Shop Drawings: Submit one digital and reproducible drawing package; provide for custom products and products not fully identified by product data.
10. Product Data: submit number required by Contractor plus two for Architect; indicate item to be used where data for more than one product or option is included; provide for each stock manufactured item.
11. Samples: Provide three samples for each type of exposed finish, color, and texture: minimum size 6", maximum size 24" unless otherwise specified.
12. Colors: All colors, textures, and finishes shall be submitted to architect and owner for approval. In place application of color options is preferred.
13. Mock-Ups: Construct on site as required and requested by Architect or Owner. At a minimum, 1 Mockup shall be prepared to demonstrate building envelope weatherproofing and exterior finish. Additional mockups may be prepared to demonstrate unique waterproofing conditions in the building envelope as well as interior finishes.
14. Manufacturer's Certificates: Provide two.

QUALITY CONTROL

- General:
1. Maintain quality control over suppliers, manufacturers, products, services, site conditions and workmanship.
2. Manufacturer's Field Services: Provide manufacturer or supplier qualified personnel for on-site observations as required.
3. Owner Furnished Contractor Installed (OFCI) Items: Contractor shall inspect, receive, unload, store, install and finish.
4. Testing required will be paid for by Owner except retesting will be charged to the Contractor where required by failure to meet original tests.
5. RFI (Requests for Information) shall only be submitted to Architect from General Contractor. The Contractor shall assign a unique consecutive number to each RFI request. Depending on complexity, Contractor shall allow for up to 10 days for review by Architect. Architect's response will establish interpretation for design intent, an alternate resolution, or a request for additional information to resolve the conflict.

PROJECT REQUIREMENTS / SUBSTITUTIONS

- General:
1. Basis of Design and Named Products: A specific manufacturer's product is included to establish the specific qualities related to type, function, dimension, performance, physical properties, appearance, and other characteristics. Product will be used by Architect for evaluating acceptable material submittals or comparable product(s) proposed for substitution by the Contractor.
2. Storage and Protection: Store and protect products and finishes from damage from construction operations, comply with manufacturers recommendations.
3. Products: Provide products indicated or approved; requests for substitutions of other products will be considered if submitted in writing.
4. Products List: Submit to Architect within 35 calendar days after obtaining building permit listing major products proposed for installation with name of manufacturer, trade name, and model.
5. Requests of Substitutions: Contractor shall investigate proposed substitutions and determine if equivalent to products specified. Submittals shall include cost or time benefits for substitutions; failure to indicate cost or time benefit is justification for rejection.
6. Approvals: Architect shall be judge of acceptability and reserves right to reject proposed substitution based in insufficient information; use only substitutions approved in writing.

CONSTRUCTION FACILITIES

- General:
1. Contractor shall have limited use of the premises for execution of the Work within limits at the discretion of the owner.
2. Contractor shall designate a Superintendent acceptable to Owner and Architect, who shall be present or available on-call within 30 minutes during all working hours to act on behalf of the Contractor.
3. Temporary Services: Use (E) Electrical meter and provide temporary lighting, heat and ventilation, water, sanitary facilities, waste removal, enclosures, and barriers as required by authorities and as required to complete Project.
4. Construction Aids: Dewater site, maintain noise, dust and pollution control, and fire protection.
5. Enclosures: Provide temporary weather-light closures for exterior openings to maintain acceptable working conditions, for protection of materials, temporary heating, and to prevent unauthorized entry.
6. Barriers: Provide as required to prevent unauthorized entry, to protect adjacent properties, and as required by governing authorities.
7. Construction Fence: Provide minimum 6'-0" high chain link fence with fabric privacy screen along the street property line.
7. Cleaning: Provide periodic cleaning during progress of Work, including daily housekeeping.
8. Project Identification: Provide 32 square foot sign listing title of Project, Owner, Architect, professional consultants and Contractor; exterior plywood construction painted by professional sign painter.
9. Field Offices and Storage: Provide field offices, on-site and off-site storage as required for construction plus a space for Project meetings with table and chairs for minimum of 8 persons.
10. Removal: Remove temporary construction facilities prior to substantial completion. Clean and repair damage caused by construction facilities.

MATERIAL AND EQUIPMENT

- General:
1. Materials and equipment shall be new and of type intended for usage indicated. Like components shall be by one manufacturer and component parts shall be interchangeable.
2. Workmanship: comply with industry standards except when more stringent tolerances are required. Perform work by persons qualified to produce workmanship of specified quality.
3. Anchors: Secure products in place with positive anchorage devices designed and sized to withstand stresses, vibration and racking, including seismic loads.
4. Manufactured Items: Transport, handle, store, protect and install manufactured items in strict accordance with manufacturer's recommendations.
5. If hazardous materials, burial sites, or historic artifacts are encountered during site work, immediately notify owner. Do not disturb material.

CONTRACT CLOSEOUT

- General:
1. Substantial Completion: Provide documentation stating Work has been substantially completed. Where Owner requires use of space prior to final completion, provide list of items to be completed. Architect will review list of any items to be completed and supplement list with items considered to be incomplete or unacceptable.
2. Final Cleaning: At completion of Work or prior to Owner move-in, employ skilled personnel for final cleaning, including glass, glossy surfaces, floors, finishes, and site.
3. Project Record Documents: Maintain complete and up-to-date record documents; keep separate from field documents; Provide Owner with separate set of reproducible For-Record As-Built Drawings.
4. Data: Submit Project Record documents, material and finish data, operation and instruction manuals, warranties and bonds at completion.
5. Systems Demonstration: Instruct Owner in operation, adjustment and maintenance of equipment and systems, using operation and maintenance data as basis of instruction.

WARRANTIES

- General:
1. Warranties: Provide warranties as indicated, signed by Contractor and manufacturer; form as approved by Owner prior to execution.
a. Warranties: Provide warranties as indicated, signed by Contractor and manufacturer; form as approved by Owner prior to execution.
b. Warranties shall be in addition to and not a limitation of other rights Owner may have against Contractor under Contract Documents and as prescribed by law, regardless of wording or warranty.
2. Limitations: Warranties need not cover failures from unusual or abnormal phenomena of the elements, Owner's misuses, maltreatment or improper maintenance work, or vandalism after Substantial Completion.

DIVISION 07 - THERMAL AND MOISTURE PROTECTION

SHEET MEMBRANE FLASHINGS
General:
1. Provide sheet membrane flashings, including primers, sealants and accessories.
a. Location: Window and door openings, roof edges, roof and wall penetrations.
2. All joints and penetrations in the building envelope shall be caulked and sealed.

Products:
1. Sheet Membrane: W.R. Grace / Grace Ultra, High temperature rated.
2. Sheet Membrane: ProtecTo Wrap, high temperature rated.
3. Sheet Membrane: Intorwrap Titanium High Temperature rated.

WEATHER RESISTIVE BARRIER
General:
1. Provide compatible water and air barrier at exterior walls and flashings.
2. Weather Barrier shall be as specified in the wall sections. No substitutions shall be made for weather barrier materials or components in the wall section as redundancy and air gaps may be integral to the design.
3. All joints and penetrations in the building envelope shall be caulked and sealed.

Products:
1. Building Paper: Minimum two layers Grade D, 60 minute paper, USC Standard 17-1.
A. Building paper shall only be used where noted in drawings. Building paper is not a substitute for a weather resistive air barrier.
2. Weather resistive air barriers
a. Field: GE Momentive Elamax 2600
b. Sheet: Delta Vent SA
c. Sheet: Delta Vent S Plus
d. Sheet: VaproShield WrapShield SA
e. Sheet: Henry's Blueskin VP100

Joints sealants:
a. General: Sealants shall be compatible with flashings and weather barrier, as recommended by the Architect and Manufacturer.
b. Products:
- GE SCS2000
- Dow 795
- Dow 758
c. Execution: Sealants shall be provided with backer rod and installed per manufacturer sealant guidelines to achieve proper adhesion, bite, elasticity, and joint profile.
4. Rainscreen wall drainage mat:
a. Benjamin Obdyke Home Slicker
b. Keene Drivall Rainscreen
c. VaproShield 7mm WrapShield RS
5. Weeping drainage fabric
3/32" thick Non-woven geotextile fabric, GC1 400 Series 4 oz. Landscape / Filter Fabric Contractor's Choice, or equal.

INSULATION

- 1. Provide thermal batt insulation at walls, floors and attic.
2. Provide perimeter insulation at openings and penetrations.
B. Products:
1. Thermal Batt Insulation: Foil faced with vapor barrier; Owens Corning / FS-25.
a. See dimensions and R Values on Energy Calculations and Wall / Floor / Roof assembly sections.
2. Interior Walls: unfaced
Accessories: Provide tape or penetration anchors: Eckel / Sico-Klip
3. Mineral Wool: Roxul Comfort Batt, ComfortBoard 80
a. See dimensions and R Values on Energy Calculations and Wall / Floor / Roof assembly sections.
b. Interior Walls: unfaced acoustical; Roxul Safe n' Sound
4. Accessories:
a. Inlaping pins for exterior insulations.

FLASHING AND SHEET METAL

- General:
1. Provide flashing and sheet metal including sealants, fasteners and accessories.
2. Provide 2 year warranty.
B. Products:
1. Galvanized metal flashing: ASTM A526 with minimum G90 galvanized coating; minimum 24 gage.
2. Metal to Metal Sealant: Butyl type. For copper applications use copper compatible sealant.
3. Copper: ASTM B 370; temper H00 (cold-rolled) except where temper 060 is required for forming. 16 oz. per s.f. (0.55-mm), U.O.N.

EXECUTION

- 1. Comply with requirements of SMACNA Architectural Sheet Metal Manual, current edition.
2. For copper flashings, comply with installation methods stipulated in the "Copper in Architecture" handbook published by Copper Development Association Inc.
3. Prevent galvanic action by separating dissimilar materials.
4. Vertical faces with bottom edge shall always be formed outward 1/4" and hemmed to form drip edge.

DIVISION 08 - OPENINGS

- 1. Safety glazing shall be provided in the following locations and permanently labeled per State Building Code, Sec. R308:
a. Glazing in doors
b. Windows within 60" of tubs, showers, pools, or spas unless the window sill is greater than 60" above finish floor.
c. Windows within 24" of eor of doors;
d. Windows within 18" of floor and greater than 9' of without a protective handrail bar.
e. Glazing in guardrails and at stairways, including glazing within 60" of the stair bottom landing, unless the window sill is greater than 36" above finish floor.
f. All glass shower, tub, pools, and spa enclosures shall be fully tempered.
2. All exterior doors and windows shall be fully weather stripped; manufactured units shall meet ANSI and Energy Code Standards for air infiltration.
3. Basis of Design for Windows: Marvin Integrity Ultra.
4. Interior Doors: Solid Core 1-3/8", painted.

CHILDRESS ENGINEERING SERVICE
1500 N GREENVILLE, Suite 1000
Richardson, TX 75081
www.ceglobal.com
Office: 214-451-6666
Fax: 214-451-6666
Inspections: 214-451-6666

THE WANDRIE HOUSE
INTERIOR STAIR REPAIR
General Specifications
7527 4TH STREET, MACKINAC, MI 49757

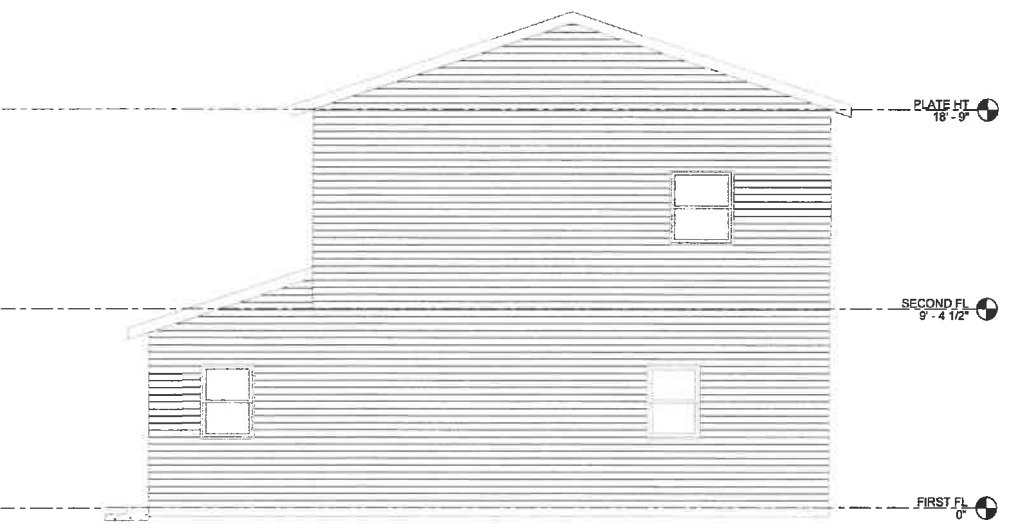
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REVISIONS:
PROJECT MGR:
DRAWN BY: XXX
CHECKED BY: XXX
DATE: 06/23/2022
SCALE:
SHEET NUMBER:
G0-02
67

THE WANDRIE HOUSE
INTERIOR STAIR REPAIR
Exterior Elevations
7527 4TH STREET, MACKINAC, MI 49757

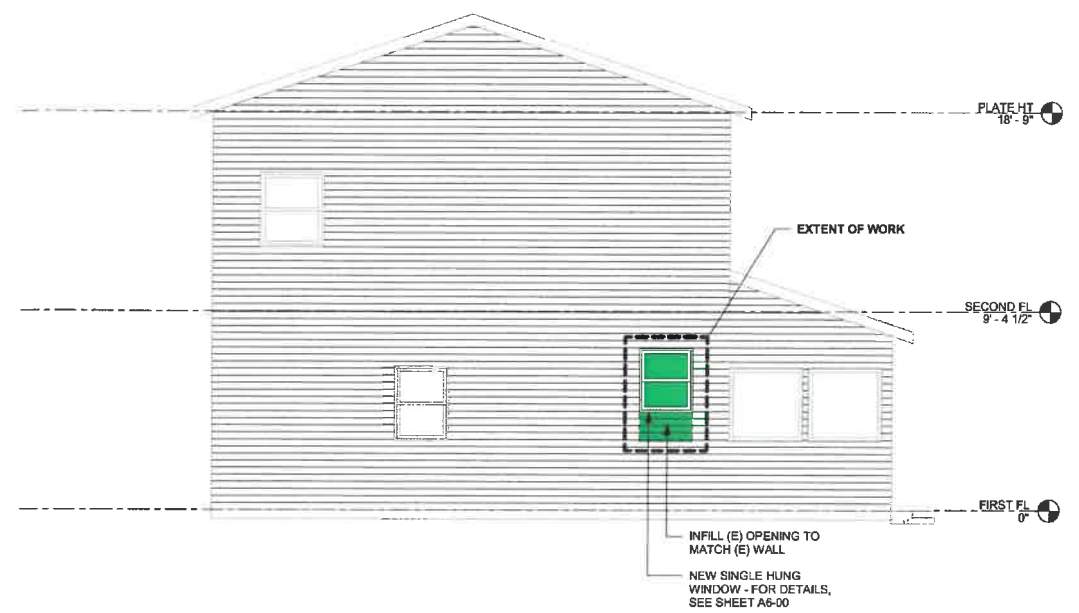
REVISIONS	DATE

PROJECT MGR: _____
DRAWN BY: XXX
CHECKED BY: XXX
DATE: 06/23/2021
SCALE: 1/4" = 1'-0"

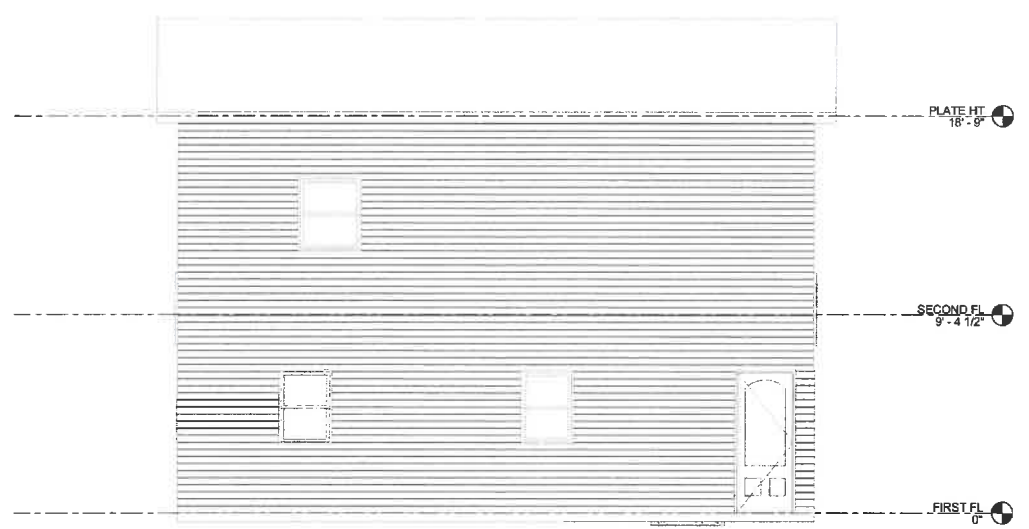
SHEET NUMBER:
A3-01



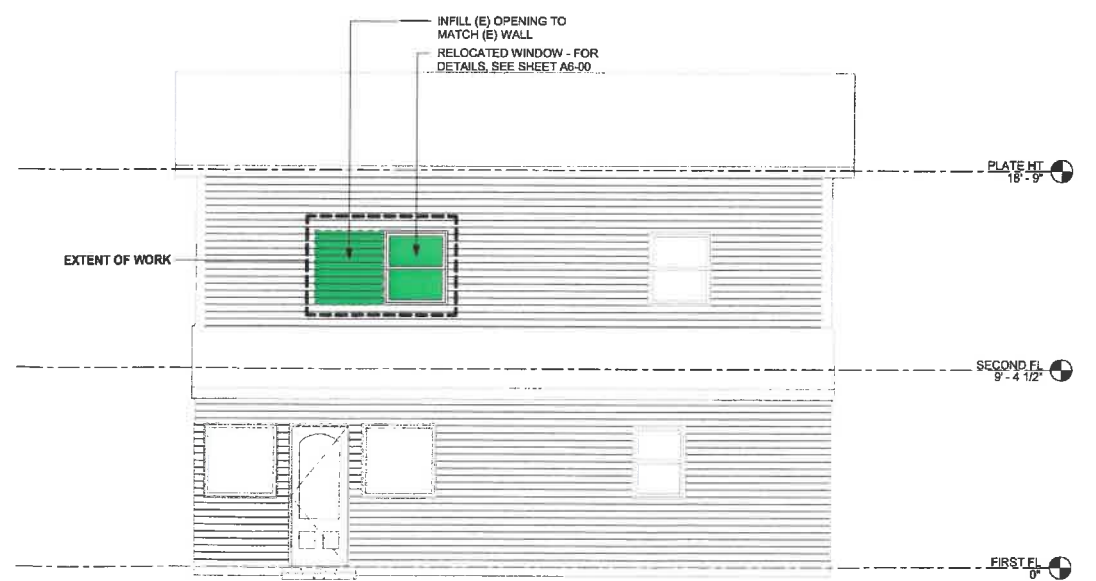
4 WEST ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"

WINDOW NOTES:

BASIS OF DESIGN
NEW / RETRO-FIT: NEW
FRAME MATERIAL: ALUMINUM CLAD WOOD OR FIBERGLASS COMPOSITE
EXTERIOR COLOR: BY OWNER
INTERIOR COLOR: BY OWNER
*** SAMPLES TO BE PROVIDED OF ALL COLORS FOR OWNER APPROVAL PRIOR TO PRODUCTION.

GLAZING: DUAL PANE, LOW-E CLEAR, ARGON FILL, UV RESISTANT
SEE ENERGY CALCULATIONS

DIVIDED LITES: SD, WITH BLACK SPACER BARS

SCREENS: TYPICAL, REMOVABLE / RETRACTABLE.

TEMPERED: PROVIDE OPTION FOR OWNER SELECTION.

ACOUSTIC: WHERE NOTED
MINIMUM STC 30

PRODUCT REQUIREMENTS:

- SHOP DRAWINGS TO BE PROVIDED FOR ARCHITECT AND OWNER APPROVAL PRIOR TO PRODUCTION. CONTRACTOR TO ALLOW FOR REVIEW TIME AND PRODUCTION LEAD TIME.
- MANUFACTURED FENESTRATION PRODUCTS AND EXTERIOR DOORS SHALL INCLUDE NRFC LABEL ON ALL FENESTRATION PRODUCTS, UNLESS THEY ARE SITE BUILT.
- MANUFACTURED FENESTRATION PRODUCTS SHALL HAVE A TEMPORARY LABEL LISTING CERTIFIED U-FACTOR, SHGC, AND VT. LABEL SHALL NOT BE REMOVED BEFORE INSPECTION BY THE ENFORCEMENT AGENCY. ALL WINDOWS SHALL BE INSTALLED WEATHER TIGHT MEETING THE WIND LOADING INDICATED ON STRUCTURAL DRAWINGS.
- ALIGN TOP OF WINDOW TRIMS WITH TOP OF DOOR TRIMS, TYPICAL.
- GLASS ON EXTERIOR DOORS TO MATCH GLASS PROVIDED BY WINDOW MANUFACTURER. CONTRACTOR TO PROVIDE GLAZING COMPARISON AS A SUBMITTAL PACKAGE FOR ARCHITECT AND OWNER REVIEW.

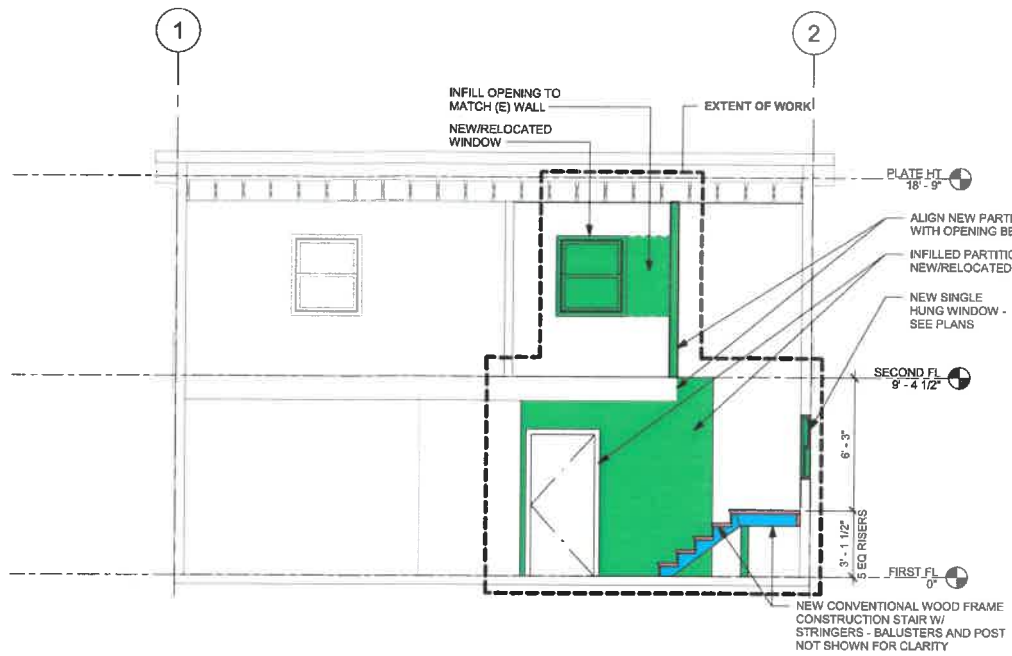
WINDOW FALL PROTECTION
WINDOWS SHALL BE PROVIDED WITH FALL PROTECTION WHERE THE SILL OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE EXTERIOR FINISH GRADE (OR OTHER SURFACE), AND THE SILL IS ALSO LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM. CONTRACTOR SHALL PROVIDE 4 INCH OPENING RESTRICTOR, GUARDRAIL, OR WINDOW OPENING CONTROL DEVICE IN COMPLIANCE WITH ASTM F2090. (R312.2)

EMERGENCY ESCAPE & RESCUE OPENINGS
BASEMENTS, HABITABLE ATTICS, & EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING (R310.1) THESE OPENINGS ARE IDENTIFIED ON THE FLOOR PLAN. THESE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R310.1)

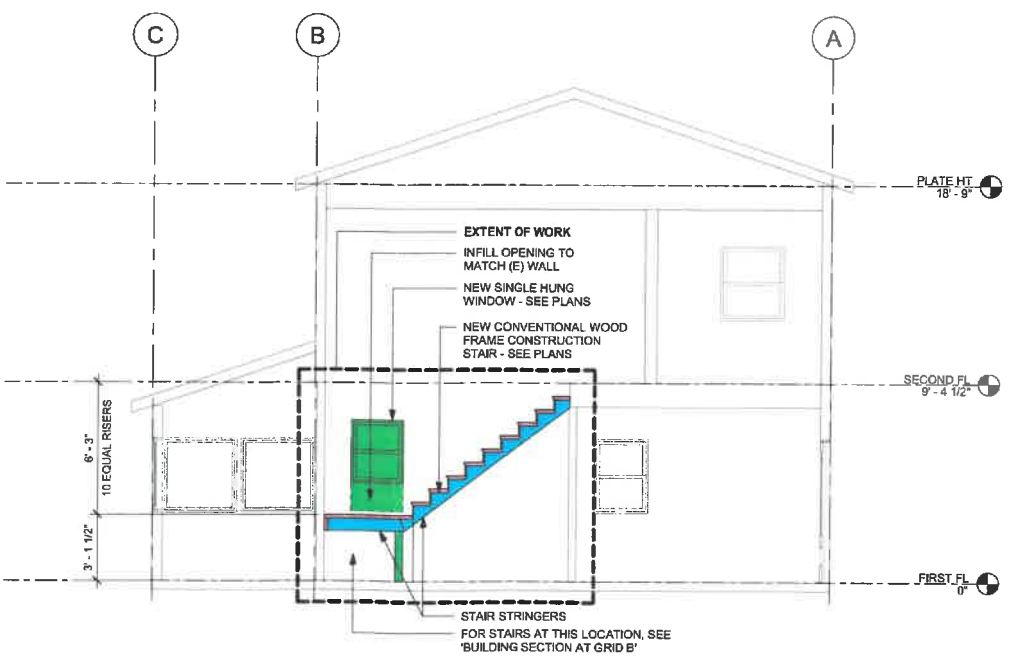
THE SILL HEIGHT CLEAR OPENING SHALL NOT BE GREATER THAN 44 INCHES ABOVE THE FLOOR (R310.2.2)
MIN. OPENING AREA: THESE OPENINGS SHALL HAVE MIN. NET CLEAR OPENING OF 5.7 SF EXCEPT THAT GRADE FLOOR OPENINGS SHALL HAVE A NET CLEAR OPENING OF 5.0 SF (R310.2.1)
MIN. OPENING HEIGHT: THESE OPENINGS SHALL HAVE MIN. NET CLEAR OPENING HEIGHT OF 24 INCHES (R310.2.1)
MIN. OPENING WIDTH: THESE OPENINGS SHALL HAVE MIN. NET CLEAR OPENING WIDTH OF 20 INCHES (R310.2.1)
OPERATIONAL CONSTRAINTS: THESE OPENINGS SHALL BE MAINTAINED FREE OF ANY OBSTRUCTIONS OTHER THAN THOSE ALLOWED BY THE CODE AND SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE (R310.1.1)
BAR, GRILLES, COVERS & SCREENS OR SIMILAR DEVICES ARE PERMITTED TO BE PLACED OVER THESE OPENINGS, PROVIDED THE MINIMUM NET CLEAR OPENING SIZE COMPLES W/ SEC. R310.1.1 THROUGH R310.2.3, AND SUCH DEVICES SHALL BE RELEASABLE OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL OR SPECIAL KNOWLEDGE (R310.4)

GLAZING NOTES

- ALL GLAZING SHALL COMPLY WITH CODE SECTION R308.
- SAFETY GLAZING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS AND PERMANENTLY LABELED PER STATE BUILDING CODE, SEC. R308:
 - GLAZING IN DOORS
 - WINDOWS WITHIN 60" OF TUBS, SHOWERS, POOLS, OR SPAS UNLESS THE WINDOW SILL IS 60" OR GREATER ABOVE FINISH FLOOR.
 - WINDOWS WITHIN 24" ARC OF DOORS;
 - WINDOWS WITHIN 18" OF FLOOR AND GREATER THAN 9 SF WITHOUT A PROTECTIVE HANDRAIL BAR.
 - GLAZING IN GUARDRAILS AND AT STAIRWAYS, INCLUDING GLAZING WITHIN 60" OF THE STAIR BOTTOM LANDING, UNLESS THE WINDOW SILL IS GREATER THAN 36" ABOVE FINISH FLOOR.
 - ALL GLASS SHOWER, TUB, POOLS, AND SPA ENCLOSURES SHALL BE FULLY TEMPERED.
- GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY W/ CODE SEC. R308.3 AND R308.4
- GLAZED PANELS REQUIRING SAFETY GLAZING SHALL BE IDENTIFIED WITH THE WORD "TEMPERED" OR "TEMP."
- ALL GLAZING SHALL BE DUAL PANE INSULATED GLASS U.N.O.
- WINDOW CALLOUTS ARE AS FOLLOWS:
SL = SLIDER
DH = DOUBLE HUNG
SH = SINGLE HUNG
F OR FX = FXED
CA = CASEMENT
AW = AWNING
HO = HOPPER



2 BUILDING SECTION AT GRID B
1/4" = 1'-0"



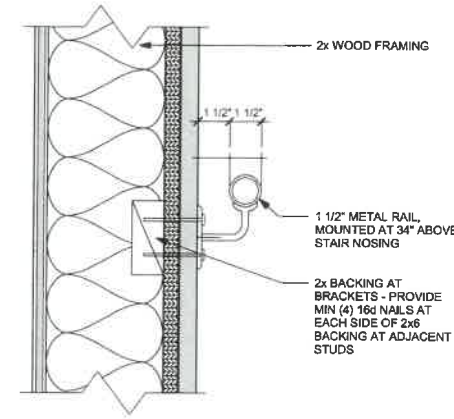
1 BUILDING SECTION AT GRID 2
1/4" = 1'-0"

DATE	REVISIONS

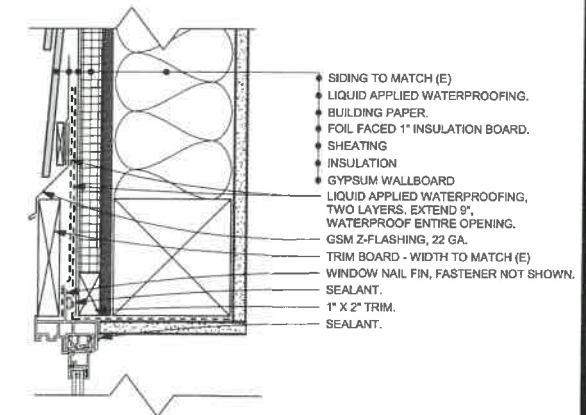
PROJECT MGR: _____
DRAWN BY: XXXX
CHECKED BY: XXXX
DATE: 06/23/2023
SCALE: 1/4" = 1'-0"

THE WANDRIE HOUSE
INTERIOR STAIR REPAIR

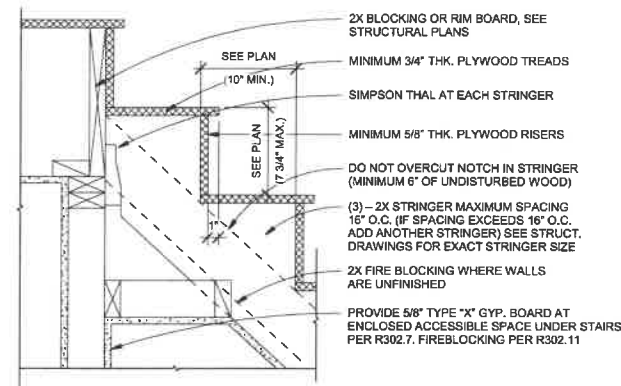
Construction Assemblies and Details
7527 4TH STREET N, MACKINAC, MI 49757



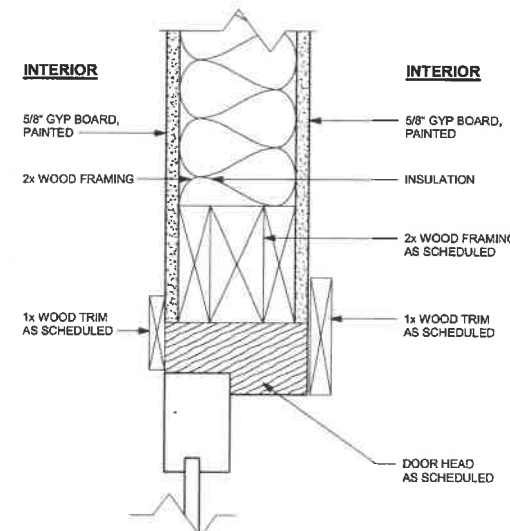
6 TYPICAL HANDRAIL SECTION AT WALL
3" = 1'-0"



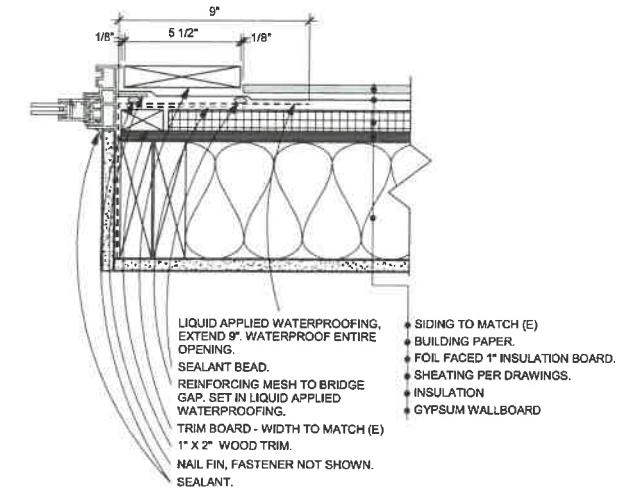
3 WINDOW HEAD
3" = 1'-0"



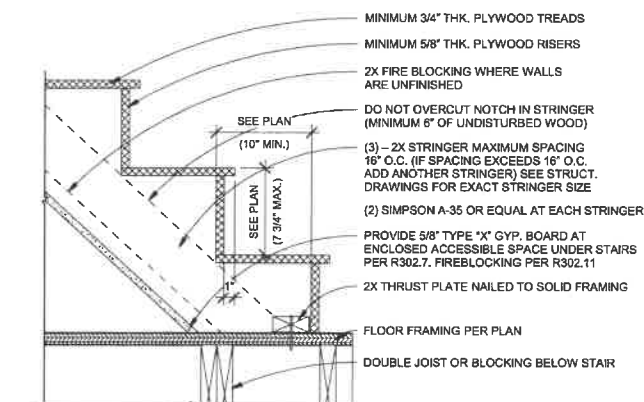
8 STAIR - TOP OF STRINGER CONNECTION
1 1/2" = 1'-0"



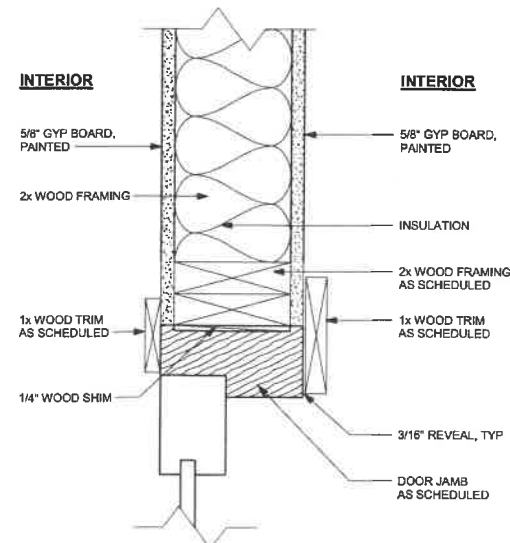
5 DOOR HEAD INTERIOR
3" = 1'-0"



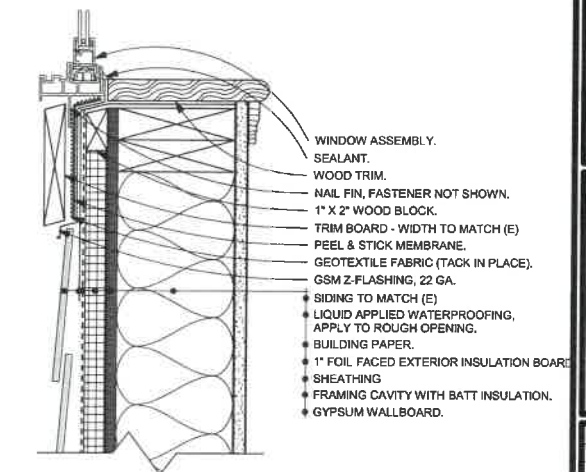
2 WINDOW JAMB
3" = 1'-0"



7 STAIR - WOOD FLOOR TO STRINGER CONNECTION
1 1/2" = 1'-0"



4 DOOR JAMB INTERIOR
3" = 1'-0"

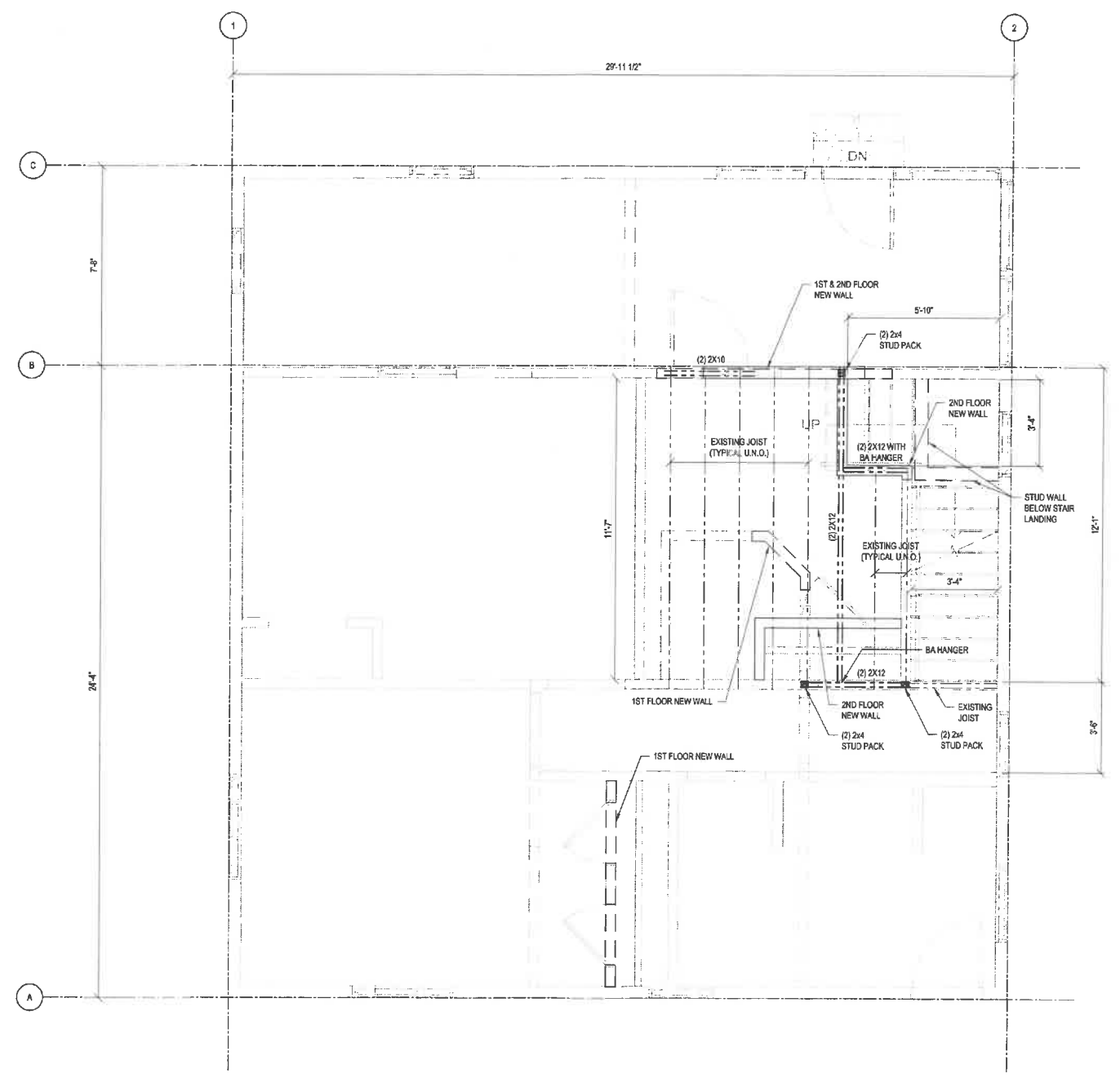


1 WINDOW SILL
3" = 1'-0"

REVISIONS	DATE

PROJECT MGR: _____
DRAWN BY: XXX
CHECKED BY: XXX
DATE: 06/23/2022
SCALE: As indicated

SHEET NUMBER
A6-00



1 2ND FLOOR FRAMING PLAN
 SCALE: 3/8"=1'-0"

- PLAN NOTES:**
1. VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PRIOR TO CONSTRUCTION.
 2. ALL NEW WALLS TO BE 2X4 @ 16" O.C. UNO.
 3. ALL NEW WALLS SHALL BE SHEATHED WITH 5/8" TYPE X GYPSUM WITH A MIN. OF ONE LAYER, EACH SIDE (EDGE FASTEN AT 7" O.C.).
 4. ALL HEADERS UP TO 6" C'LONS ARE TO BE (2) 2X10.
 5. SOLE PLATE TO JOIST OR BLOCKING SHALL BE NAILED WITH 16d @ 16" O.C.
 6. ALL THE WOOD STUD OR BEAM SHALL BE SOUTHERN YELLOW PINE #2 TYP. UNO.

- DESIGN CRITERIA NOTES**
1. THE STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE PROVISIONS OF THE 2015 MICHIGAN BUILDING CODE AND 2015 MICHIGAN RESIDENTIAL CODE.
 2. DESIGN LOADS ARE LISTED BELOW.
- LIVE LOADS:
 RESIDENTIAL DWELLINGS: 40 PSF

- LEGENDS:**
- 1ST FLOOR EXISTING WALL
 - 2ND FLOOR EXISTING WALL
 - 1ST FLOOR NEW WALL
 - 2ND FLOOR NEW WALL

WANDRIE HOUSE
 INTERIOR STAIR REPAIR
 FRAMING PLAN

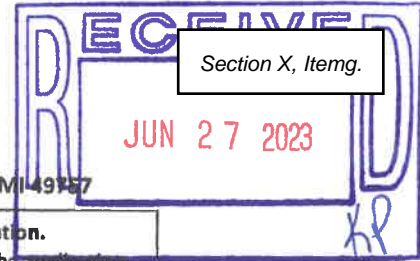
PROJECT ADDRESS: 7527 4TH STREET, MACKINAC ISLAND, MI 49757

DATE	REVISIONS

PROJECT MANAGER:	KL
DRAWN BY:	FME
CHECKED BY:	KL
DATE:	06-23-2023
SCALE:	AS NOTED

SHEET NUMBER:
S1.1

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**



Section X, Itemg.

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Shane Carey
5443 Katy Hockley Cult-Off Road, Katy, TX 77493
(941) 400-2102 Shane.Carey@CottonTeam.com
 Phone Number Email Address

Please complete both sides of application.
 The Fee and fourteen (14) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Richard Chambers GMMI Resort Holdings
PO Box 286
Mackinac Island, MI 49757

- Is The Proposed Project Part of a Condominium Association? No
- Is The Proposed Project Within a Historic Preservation District? No
- Applicant's Interest in the Project (If not the Fee-Simple Owner): General Contractor
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? No
- Is a Variance Required? No
- Are REU's Required? How Many? No 1

Type of Action Requested:

- Standard Zoning Permit Appeal of Planning Commission Decision
- Special Land Use Ordinance Amendment/Rezoning
- Planned Unit Development Ordinance Interpretation
- Other _____

Property Information:

- A. Property Number (From Tax Statement): 05163009500
- B. Legal Description of Property: LOT 95 Harrisonville
- C. Address of Property: 7527 4th Street
- D. Zoning District: R-4
- E. Site Plan Checklist Completed & Attached: Yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes
- G. Sketch Plan Attached: No
- H. Architectural Plan Attached: Yes
- I. Association Documents Attached (Approval of project, etc.): No
- J. FAA Approval Documents Attached: No
- K. Photographs of Existing and Adjacent Structures Attached: No

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Alteration/Addition to Existing Building
 - Other, Specify _____

- B. Use of Existing and Proposed Structures and Land:
 - Existing Use (If Non-conforming, explain nature of use and non-conformity): _____

Proposed Use: _____ File No. R423.095.031
 _____ Exhibit E
 C. If Vacant:
 Previous Use: _____ Date 6.27.23
 Proposed Use: _____
 Length of Time Parcel Has Been Vacant: _____ Initials KP

OFFICE USE ONLY			
FILE NUMBER: <u>R423.095.031</u>		FEE: <u>5400-</u>	
DATE: <u>6.27.23</u>	CHECK NO: _____	INITIALS: <u>KP</u>	Revised Oct 2018

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

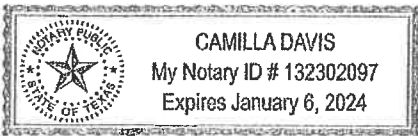
The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Contractor (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

[Signature] SIGNATURES
Signature Signature

Shane Carey
Please Print Name Please Print Name

Signed and sworn to before me on the 27 day of June, 2023.



[Signature]
Notary Public

County, Michigan
My commission expires: 01/06/2024

FOR OFFICE USE ONLY
Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | |
|--|--------------------------|-------------------------------------|
| 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.2.1) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 22. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>



File No. R423-095031
Exhibit B
Date 5-12-23
Initials KP











**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

Section X, Itemh.

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:
Richard Chambers

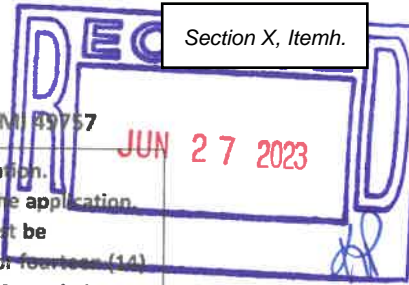
Grand Hotel 286 Grand Ave Mackinac Island MI 49757
906-748-0149 rchambers@grandhotel.com

Phone Number Email Address

Property Owner & Mailing Address (If Different From Applicant)
GHMI Resort Holdings LLC

100 St Paul Street STE 800
Denver, CO 80206

Please complete both sides of application. The Fee and fourteen (14) copies of the application plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.



- Is The Proposed Project Part of a Condominium Association? N
- Is The Proposed Project Within a Historic Preservation District? N
- Applicant's Interest in the Project (If not the Fee-Simple Owner): Project Manager
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? N
- Is a Variance Required? N
- Are REU's Required? How Many? N

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other Replace existing gate
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-780-002-00
- B. Legal Description of Property: Grand Hotel Site Condominium Unit No 2
- C. Address of Property: 1891 Cadotte Ave, Mackinac Island, MI 49757
- D. Zoning District: HB
- E. Site Plan Checklist Completed & Attached: yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) No
- G. Sketch Plan Attached: Yes
- H. Architectural Plan Attached: Yes
- I. Association Documents Attached (Approval of project, etc.): NA
- J. FAA Approval Documents Attached: NA
- K. Photographs of Existing and Adjacent Structures Attached: No

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Alteration/Addition to Existing Building
 - Other, Specify _____
- B. Use of Existing and Proposed Structures and Land:
 - Existing Use (If Non-conforming, explain nature of use and non-conformity): Security Gate
 - Proposed Use: Replace damaged security gate
- C. If Vacant:
 - Previous Use: _____
 - Proposed Use: _____
 - Length of Time Parcel Has Been Vacant: _____

File No. HB23.002.046
Exhibit A
Date 6-27-23
Initials KP

OFFICE USE ONLY			
FILE NUMBER: <u>HB23.002.046</u>	FEE: <u>\$400 -</u>		
DATE: <u>6-27-23</u>	CHECK NO: <u>167</u>	INITIALS: <u>KP</u>	Revised Oct 2018

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Dir. of Capital Projects (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.



Signature

SIGNATURES _____
Signature

Richard Chambers
Please Print Name

Please Print Name

Signed and sworn to before me on the 27 day of June, 2023.


Notary Public Danielle Leach
Mackinac County, Michigan
My commission expires: 10-23-2023

DANIELLE LEACH, Notary Public
Mackinac County, State of Michigan
My Commission Expires: 10-23-2023

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

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Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

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2. Name and address of the individual or firm preparing the site plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Present zoning classification of the subject parcel	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | |
|--|--------------------------|-------------------------------------|
| 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 22. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | <u>Utility Information</u> | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|---|--------------------------|-------------------------------------|
| 23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Architectural Review
Informational Requirements (Section 18.05)**

- | <u>Item</u> | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|---|-------------------------------------|-------------------------------------|
| 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Legal description of the property | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Section X, Itemh.

SPRING MOUNTING PADS MUST BE FLUSH WITH JAMBS. FIELD CHECK AND VERIFY ALL DETAILS DIMENSIONS, JAMBS, HEADERS, JAMB EXTENSIONS AND PADS (AS SHOWN) BY OTHER THAN RAYNOR. PRINTED. WE DO HOWEVER RESERVE THE RIGHT TO MAKE PRODUCT CHANGES IN SPECIFICATIONS AND AVAILABILITY WITHOUT NOTICE.

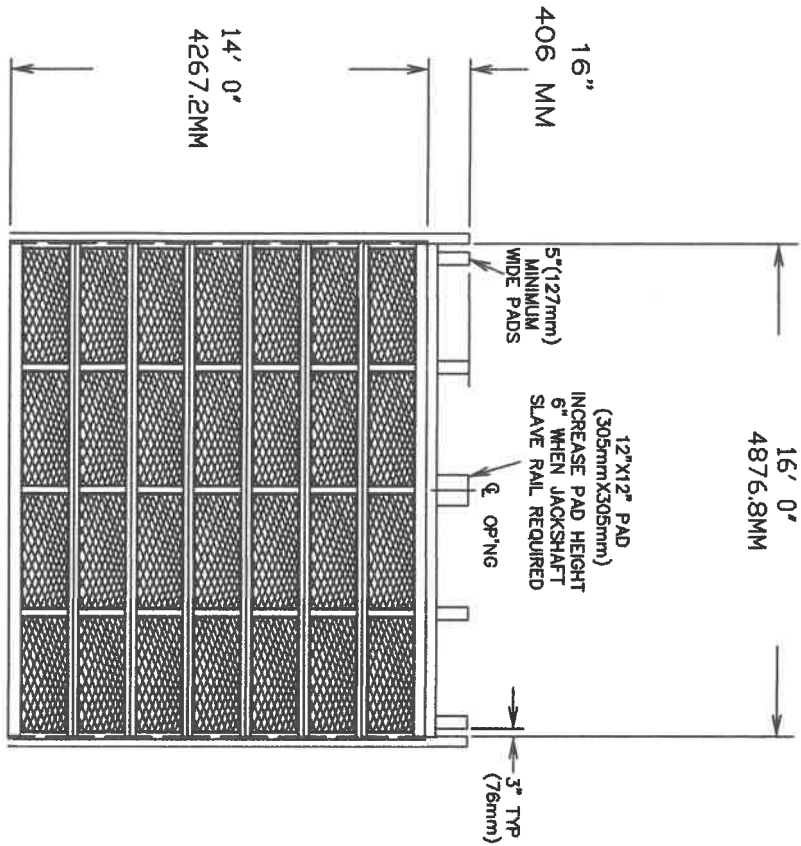
DRAWING(S) MUST BE APPROVED AND RETURNED TO DOOR DISTRIBUTOR AND FORWARDED TO RAYNOR GARAGE DOORS BEFORE ORDER WILL BE ENTERED INTO PRODUCTION. SHOP DRAWING FAX NUMBER 800/323-7896.

ORDER NUMBER	QTY	OPENING WIDTH	OPENING HEIGHT	ACTUAL WIDTH	ACTUAL HEIGHT	MODEL	JAMB W/S	MOUNTING ANGLE	BRKT	LOCK
1	1	16' 0"	14' 0"	16' 2"	14' 0 3/4"	AV200	X			X OML
		4876.8MM	4267.2MM	4927.6 MM	4286.25MM					

JOB NAME: THE GRAND HOTEL
 DISTRIBUTOR: GARAGE DOOR SERVICES, INC
 CONTRACTOR:
 ARCHITECT:
 CHECKED BY: WIKKI GIPSON
 DATE: 6/21/2023

LOCATION:
 DOOR TAG

SHEET 1 OF 2
 DRAWING NUMBER 2285622 B
 PROPOSAL DRAWING



- Doors shall be commercial sectional AlumView series as manufactured by Raynor Garage Doors.
- Sections - shall be 2 inches (51mm) thick, 8063-T8 aluminum stiles and rails joined together with screws. Aluminum panels .050 inch (1.3mm) thick or glazing (when specified) filling spaces between stiles and rails. Intermediate rails height to be 5 13/16 inches (87mm), end stiles minimum 3 3/8 inches (86mm) wide, center stiles 3 5/8 inches (82mm) wide, top rail height minimum 3 1/4 inches (83mm) and bottom rail height 5 1/4 inches (133mm). Aluminum frame and filler panels to have a clear anodize finish (unless noted). Bottom of door to have a flexible U-shape vinyl seal retained in an aluminum roll
- Locking - Omitted.
- Track - shall be 2 inches (50.8mm), hot-dipped galvanized steel per ASTM A653, fully adjustable for adequate seating of door to jamb. Horizontal track to be reinforced with a continuous painted steel angle.

Between-Jamb Bracket Mounting - sections mounted between door jambs, seal against exterior perimeter seal installed along vertical and top horizontal edges of jambs. Brackets to be galvanized steel.
 Hardware - hinges and brackets shall be galvanized steel.
 Counterbalance - to be torsion springs consisting of heavy-duty oil-tempered wire on a continuous ball-bearing cross-header shaft. Provided with aircraft-type, galvanized steel lifting cables with minimum factor of 5.

- Pusher spring bumpers required.
- Spring shaft type - to be Solid O-keyed-shaft.

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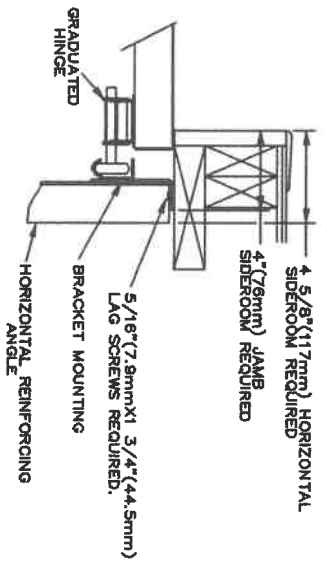
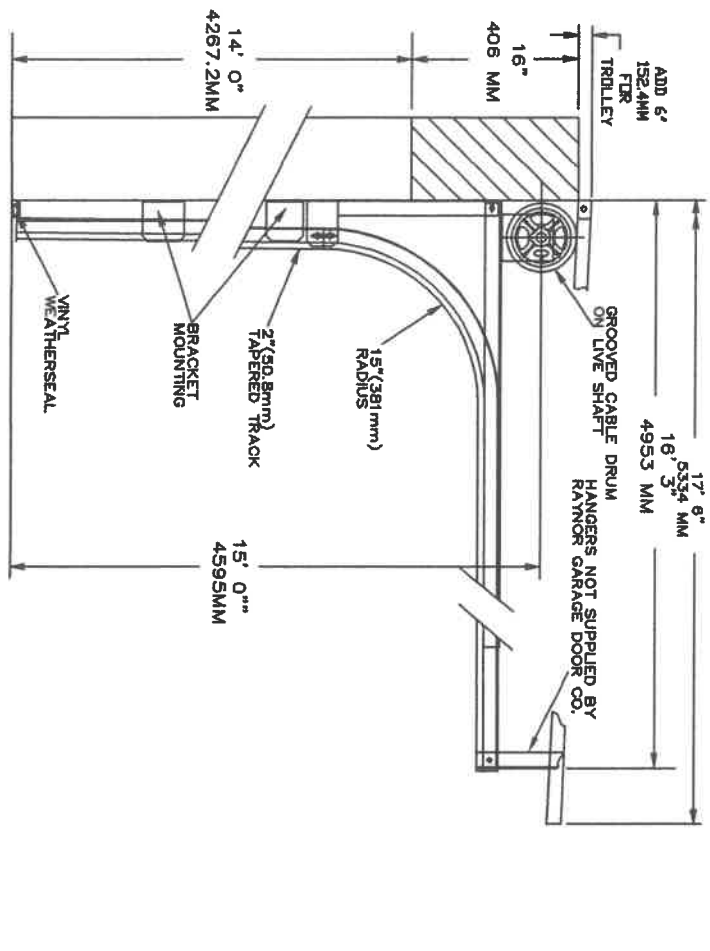
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1	1	16' 0"	14' 0"	16' 2"	14' 0 3/4"	AV200	X			OML
		4876.8MM	4267.2MM	4927.6 MM	4286.25MM					

JOB NAME: THE GRAND HOTEL
 DISTRIBUTOR: GARAGE DOOR SERVICES, INC
 CONTRACTOR:
 ARCHITECT:
 CHECKED BY:
 DATE: 6/21/2023

LOCATION:
 SHEET 2 OF 2
 DRAWING NUMBER 2285622 B
 PROPOSAL DRAWING

DOOR TAG	
RAYNOR	PROPOSAL DRAWING



- 1) If Operator is mounted less than 8' 0" above finished floor, UL requires a guard or cover. Contact factory "CSJ" - 221
- 2) Controlhoist - Standard model "CSJ" - 221
 Jack-shaft Trolley type electric operator, solid state logic with (1) three button control station. Transmission to be belt-drive with roller chain/sprocket reduction.
 H.P.: 1/2 Voltage: 230 Phase: SINGLE
- 3) Warning, Raynor Garage Doors does not recommend or warrant the use of a jack-shaft operator on doors with 30 inches or less of headroom.
- 4) Optional electro-magnetic brake required.
- 5) Reversing Device - Monitored Photo-Electric Eyes, thru beam type with a range of 45 feet (NEMA 4) required.
- 6) Operator Modification - Operator to be dust-tight (NEMA 12)
- 7) Max Receiver Security + 2.0 with solid state controls
- 8) Max 3 Btn Security + 2.0 transmitter with solid state controls.

FAB NOTES:
 ALL SECTIONS TO HAVE EXPANDED ALUMINUM METAL



From **Garage Door Service** Section X, Itemh.
 2550 Preston Drive
 Traverse City MI 49684
 (231) 947-5151
<http://garagedoorservicesinc.com>

Quote No. 2013459
 Type Installation
 Prepared By Kyle H
 Created On 02/02/2023
 Valid Until 03/03/2023

Quote For Grand Hotel
 Back Receiving Area
 286 GRAND AVE.
 MACKINAC ISLAND MI
 49757

Description of Work

Furnish and install Raynor Aspen AV200 Series garage doors.

Door Features: 2" Thick, Aluminum Door with solid panel on Top and Bottom with Expanded Metal Intermediate Sections

Door Style:

Size: 16'2" x 14'

Color: CLEAR ANODIZED

Design/Stamping/Model: ALL SECTIONS WITH EXPANDED METAL AND STRUTS

Windows: NONE

Radius: 15"

Weather Guard: WHITE

Furnish and install Raynor ControlHoist Standard operator.

Features: Continuous Duty, Overload Protected, LCD Screen for Easy Programming, Timer-to-Close Option, Open/Close/Stop Control Station, Exterior Radio Control Terminal, Photo Safety Eyes

Options:

Weatherproofing: NEMA12 DUST TIGHT

Motor: 1/2 hp 230 VOLT

Set up: SLAVE TROLLY, OPERATOR MOUNTED ON RIGHT

Services to be completed

Parts, labor, and fees

	Quantity
Remove & Dispose of Commercial Door and Operator	1
Raynor Aspen 200 Series Door	1

Parts, labor, and fees

Quantity

Residential Door back hang kit with Punch and Hardware	2
Labor	1
Raynor Control Hoist Standard Commercial Operator	1
Labor to install Operator with Slave Trolley	1
Scissor Lift	1
Zone Charge	1
All Electrical and Framing Done by Others	1
CUSTOMER IS RESPONSABLE FOR HOUSING for 2 nights for 4 guys	1
**CUSTOMER IS RESPONSABLE FOR SAFE TRANSPORT OF 2021 DODGE RAM 3500 WITH ENCLOSED TRAILER WITH SCISSOR LIFT (TRUCK 25' TRAILER 19') AND PULLING PERMITS SO WE CAN DRIVE WORK TRUCK AND TRAILER TO JOB SITE	1
Note: This item(s) has been custom ordered for you. As such, there are no returns/exchanges/refunds available once this quote is signed.	1
Please submit Deposit of \$15,000.00. Remaining Balance will be due when job is complete	1

Terms and Conditions

Quotes are based on completing the work in one trip, unless otherwise noted. Additional charges may be assessed if we are unable to complete work due to condition/cleanliness of garage or service access road.

The following work is to be done by others: jams, spring pads, and all wiring to motors and control stations, unless stated above.

These items are being custom ordered for you. As such, there are no returns/exchanges/refunds available once this quote is signed.

If furnish only: Purchaser agrees that doors cannot be ordered and shall remain in Seller's possession until paid in full.

In the event Purchaser breaches or defaults under the terms of this Agreement, the Purchaser shall be responsible for the costs of collection, including attorney fees.

Payments are due as follows: A 50% non-refundable deposit is required with signed proposal. Balance due on installation.

There shall be 3.5% service charge per month for all payments due and owing after 30 days.

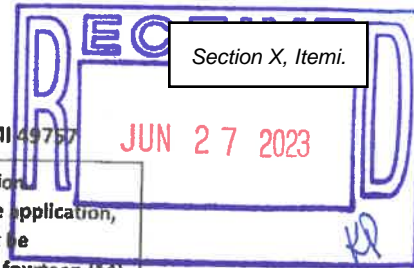
By my signature below, I authorize work to begin and agree to pay the Grand Total according to the terms and conditions of this agreement.

Name: _____ Date: _____

Signature: _____



**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**



www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:
Barry J Polzin

906-226-8861 bpolzin@bjparchitects.com
Phone Number Email Address

Please complete both sides of application. The Fee and fourteen (14) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (if Different From Applicant)
BSI RESORT HOLDINGS LLC
100 Saint Paul Street, Suite 800
Denver, CO 80206

- Is The Proposed Project Part of a Condominium Association? No
- Is The Proposed Project Within a Historic Preservation District? Yes
- Applicant's Interest in the Project (If not the Fee-Simple Owner): Architect
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? No
- Is a Variance Required? No
- Are REU's Required? How Many? None

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other _____
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-550-021-00
- B. Legal Description of Property: See A0.0
- C. Address of Property: 7416 Main St.
- D. Zoning District: C Commercial
- E. Site Plan Checklist Completed & Attached: Yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes
- G. Sketch Plan Attached: Yes
- H. Architectural Plan Attached: Yes
- I. Association Documents Attached (Approval of project, etc.): N/A
- J. FAA Approval Documents Attached: N/A
- K. Photographs of Existing and Adjacent Structures Attached: Yes

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Alteration/Addition to Existing Building
 - Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):
Commercial: Hotel, Food & beverage, retail
Proposed Use: No change in use.

File No. C23-021-047(H)
Exhibit B
Date 6-27-23
Initials KP

C. If Vacant:

Previous Use: N/A
Proposed Use: _____
Length of Time Parcel Has Been Vacant: _____

OFFICE USE ONLY			
FILE NUMBER: <u>C23-021-047(H)</u>	FEE: <u>\$400</u>		
DATE: <u>6-27-23</u>	CHECK NO: <u>10155</u>	INITIALS: <u>KP</u>	Revised Oct 2018

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

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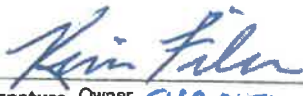

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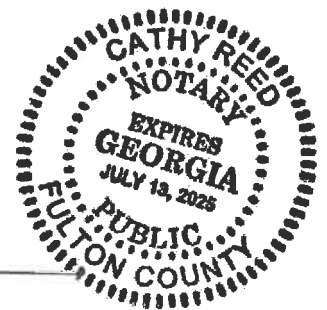
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 Signature Owner SVP DESIGN + CONSTRUCTION SIGNATURES 
 Signature Signature
KEVIN FLIER BARRY J. POLZIN
 Please Print Name Please Print Name

Signed and sworn to before me on the 27th day of June, 2023


 Notary Public
Fulton County, Michigan Georgia
 My commission expires: July 13, 2025



FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

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3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units
- 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
- 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
- 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
- 22. Description of Existing and proposed on-site lighting (see also Section 4.27)

Utility Information

- | | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|---|--------------------------|-------------------------------------|
| 23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Architectural Review
Informational Requirements (Section 18.05)**

- | <u>Item</u> | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|---|-------------------------------------|-----------------------------------|
| 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Legal description of the property | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

BICYCLE STREET INN

Section X, Item.

MACKINAC ISLAND, MICHIGAN

JUNE 26, 2023



OWNER: BSI RESORT HOLDINGS LLC
100 SAINT PAUL STREET, SUITE 800
DENVER, CO 80206
ARCHITECT: BARRY J POLZIN ARCHITECTS INC.
101 N LAKESHORE BLVD.
MARQUETTE, MI 49855

ZONING: C COMMERCIAL

PROJECT DESCRIPTION:

THE EXISTING BICYCLE STREET INN WILL REMAIN ON THE SECOND AND THIRD LEVEL. CHECK IN WILL BE MOVED TO THE SECOND FLOOR. A NEW HOTEL ENTRANCE FROM THE STREET WILL BE CREATED.

THE FIRST FLOOR WILL BE CONVERTED BACK TO ITS ORIGINAL USE AS AN OPEN MARKET/FOOD HALL AND RETAIL SPACES. EXTERIOR WILL REMAIN THE SAME EXCEPT REWORKING THE NORTH ENTRY TO BECOME THE NEW HOTEL ENTRANCE.

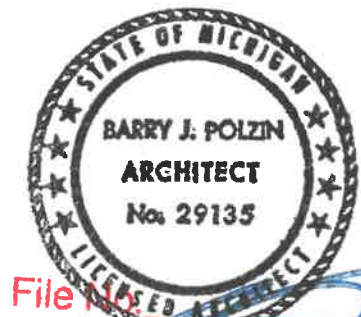
FOUR WINDOWS ARE PROPOSED TO BE ADDED IN THE BACK TO BRING IN NATURAL LIGHT TO THE REAR OF THE BUILDING.

STOREFRONT WINDOWS ARE ALUMINUM FRAME WITH WOOD TRIM (PAINTED)

WINDOW UNITS ARE ALUMINUM CLAD WOOD WINDOW UNITS WITH CLEAR INSULATING GLASS. ALL WINDOW TRIM IS WOOD (PAINTED).

INDEX

- A1.0 MAIN ST ELEVATION AND PLAN
- A1.1 WEST ELEVATION AND PLAN
- A1.2 RENDERINGS
- C1.0 SITE PLAN/LEGAL



File # 23-021-047(H)
Exhibit C
Date 6-27-23
Initials KL



MAIN STREET ELEVATION

SCALE: 1/8" = 1'-0"

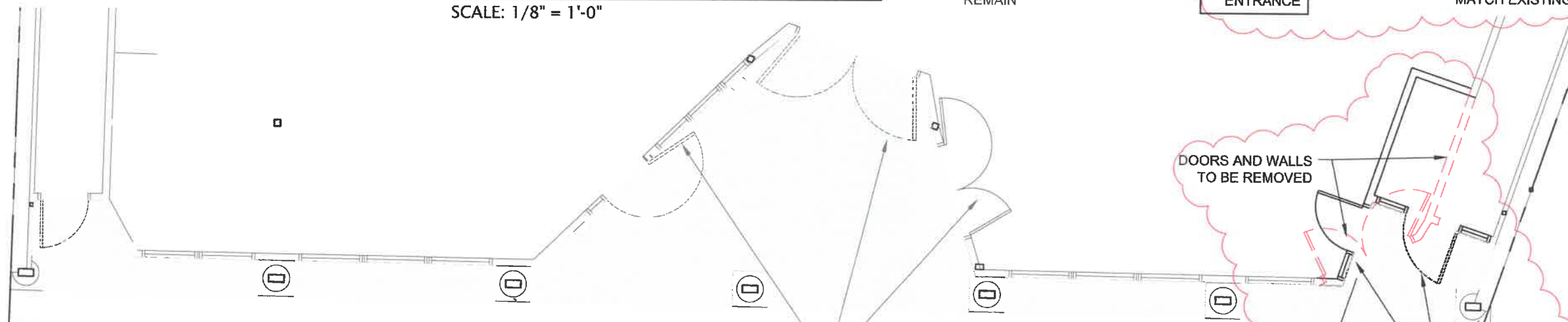
EXISTING TRANSOM WINDOWS TO REMAIN

SHORTEN EXISTING AWNING
NEW AWNING FOR BSI

EXISTING DOORS AND TRIM TO REMAIN

NEW HOTEL ENTRANCE

NEW DOORS AND WINDOWS TO MATCH EXISTING



DOORS AND WALLS TO BE REMOVED

EXISTING DOORS AND TRIM TO REMAIN

NEW DOORS AND WINDOWS TO MATCH EXISTING

EXISTING SIDEWALK

EXISTING STREET LIGHT

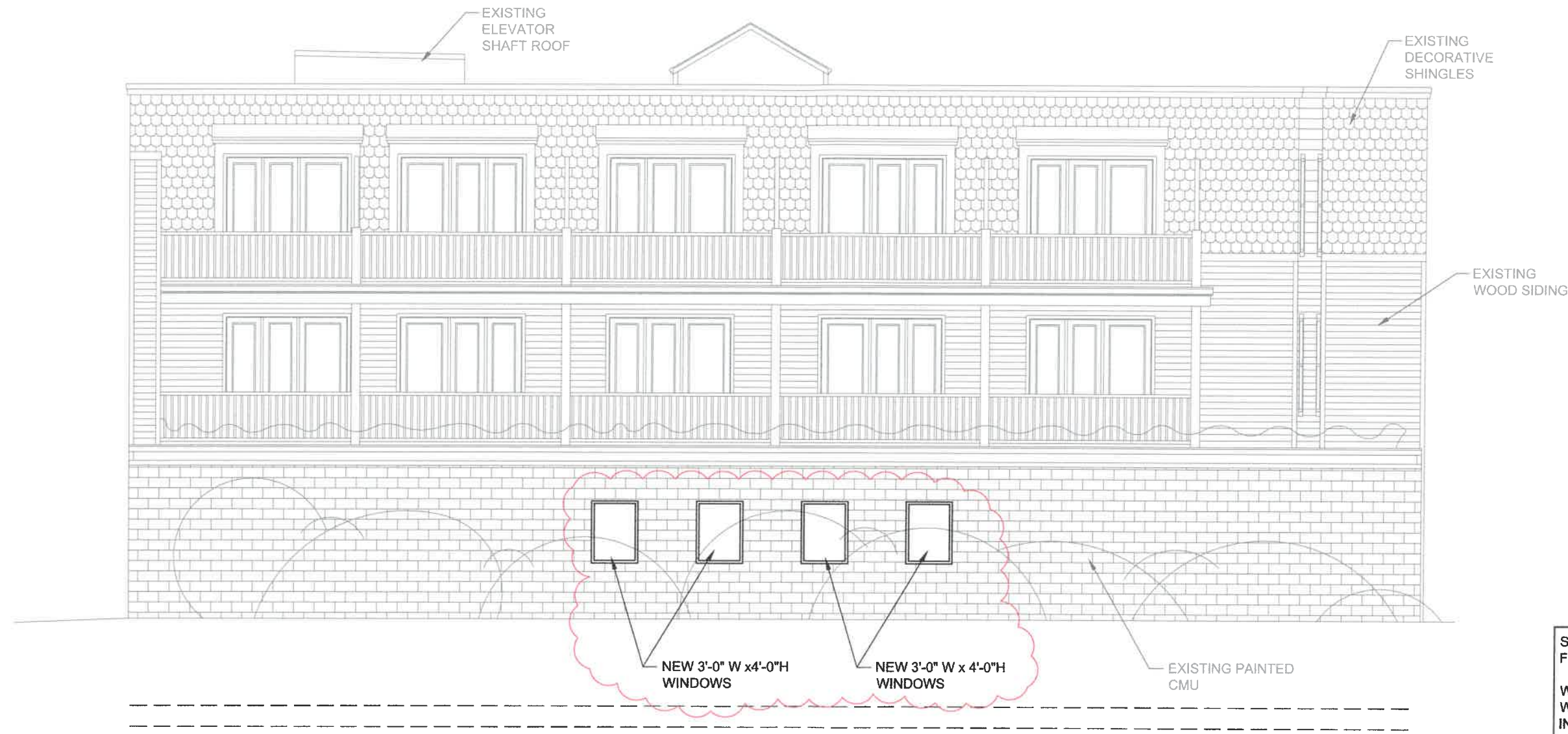
PARTIAL FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

A1.0
1 of 4

BARRY J. POLZIN

ARCHITECT

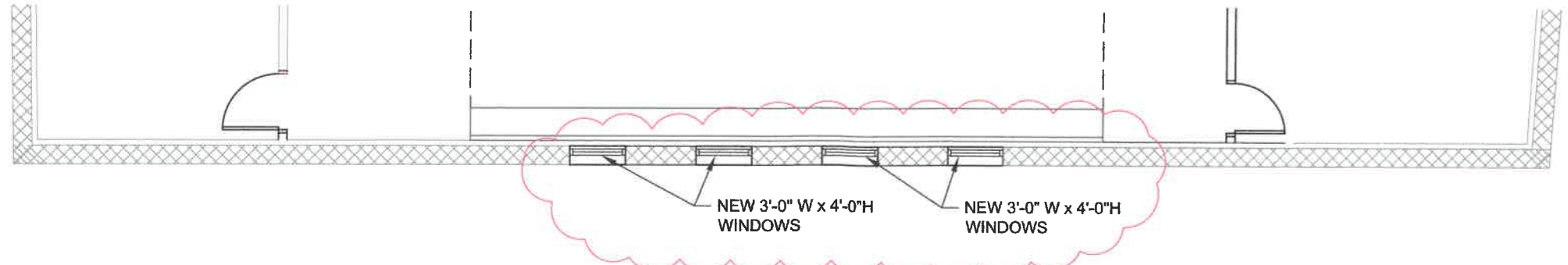


STOREFRONT WINDOWS ARE ALUMINUM FRAME WITH WOOD TRIM (PAINTED)

WINDOW UNITS ARE ALUMINUM CLAD WOOD WINDOW UNITS WITH CLEAR INSULATING GLASS. ALL WINDOW TRIM IS WOOD (PAINTED).

WEST ELEVATION

SCALE: 1/8" = 1'-0"



PARTIAL FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

A1.1
2 of 4



RENDERING

NEW DOORS AND
WINDOWS TO
MATCH EXISTING

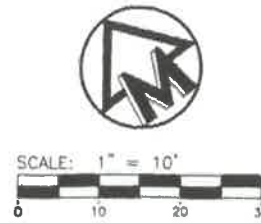
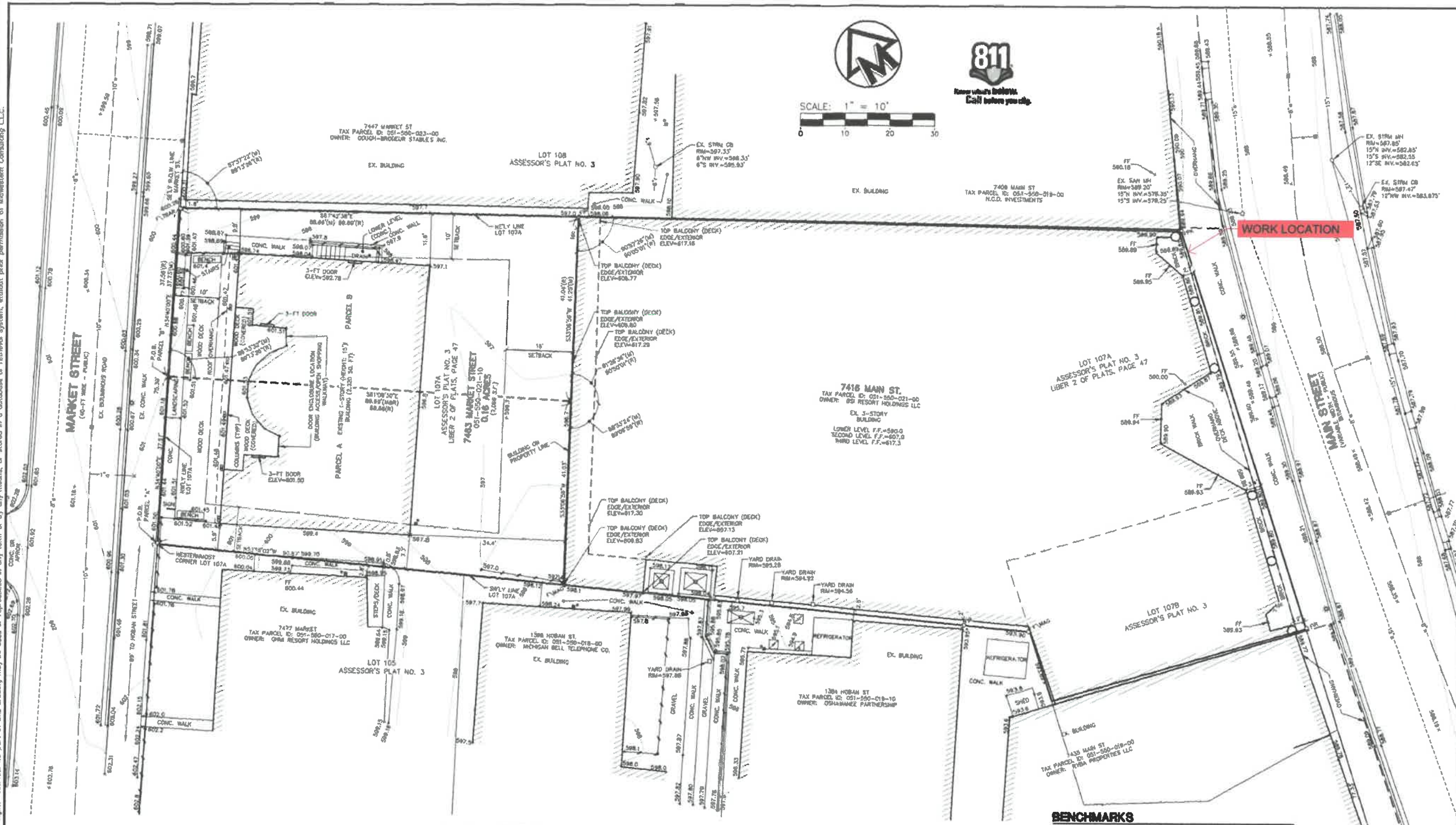
BICYCLE STREET INN

Section X, Item.

MACKINAC ISLAND, MICHIGAN

JUNE 26, 2023

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7416 MAIN ST.
TAX PARCEL ID: 051-550-021-00
OWNER: 89 RESORT HOLDINGS LLC
EX. 3-STORY BUILDING
LOWER LEVEL F.F.=590.0
SECOND LEVEL F.F.=607.0
THIRD LEVEL F.F.=617.3

WORK LOCATION

LOT 107A
ASSESSOR'S PLAT NO. 3
LIBER 2 OF PLATS, PAGE 47

MIDWESTERN
CONSULTING
12141 19th Ave. S.W. #100, Maplewood, MN 55121
Land Development • Land Survey • Real Estate • Municipal Services
Workers' Compensation • Transportation • Land Services



CLIENT
DAMSON HOSPITALITY
One Riverview Drive, Suite 1060
Atlanta, GA 30346
Attn: Tamara Burns (tparkings@burna.com)
Design Studio | 770-494-3544

7463 MARKET ST. / 7416 MAIN ST.
TOPOGRAPHIC SURVEY OF PARCELS OF LAND
LOCATED IN THE CITY OF MACKINAC ISLAND
MACKINAC COUNTY, MICHIGAN

1

LEGAL DESCRIPTION

Parcel A:
Beginning at the Westermost corner of Lot 107A, ASSESSOR'S PLAT NO. 3, according to the recorded Plat thereof as recorded in Liber 2 of Plats, Page 47, Mackinac County Records, thence Northwesterly along the Northwesterly line of said Lot 37.57 feet to an iron stake, thence at an angle of 89°13'26" to the right from the last described course 89.89 feet to an iron stake, thence at an angle of 89°00'56" to the right from the last described course 41.03 feet to an iron stake on the Southwesterly line of said Lot, thence Northwesterly along the Southwesterly line of said Lot 80.87 feet to the Point of Beginning, being a part of said Lot 107A, ASSESSOR'S PLAT NO. 3, according to the recorded Plat thereof as recorded in Liber 2 of Plats, Page 47, Mackinac County Records.

Parcel B:
Commencing at the Westermost corner of Lot 107A, ASSESSOR'S PLAT NO. 3, according to the recorded Plat thereof as recorded in Liber 2 of Plats, Page 47, Mackinac County Records, thence Northwesterly along the Northwesterly line of said Lot 37.57 feet to an iron stake, thence at an angle of 89°13'26" to the right from the last described course 89.89 feet to an iron stake, thence at an angle of 89°00'56" to the right from the last described course 41.03 feet to an iron stake on the Southwesterly line of said Lot, thence Northwesterly along the Southwesterly line of said Lot 80.87 feet to the Point of Beginning, being a part of said Lot 107A, ASSESSOR'S PLAT NO. 3, according to the recorded Plat thereof as recorded in Liber 2 of Plats, Page 47, Mackinac County Records.

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

BENCHMARKS

BENCHMARK #1:
TOP ARROW ON HYDRANT, IN WEST RIGHT-OF-WAY OF MARKET ST., AT THE INTERSECTION OF HOBAN ST., ±100' S. OF 7463 MARKET ST.
ELEVATION=607.07' (NAVD88)

BENCHMARK #2:
TOP ARROW ON HYDRANT, IN EASTERLY RIGHT-OF-WAY OF MAIN ST., AT THE INTERSECTION OF HOBAN ST., ±100' S. OF 7416 MAIN ST.
ELEVATION=599.65' (NAVD88)

LEGEND

	EXIST. LIGHT POLE		FENCE
	EXIST. WATER MAIN		ELEC. TRANSFORMER
	EXIST. HYDRANT		EXIST. AC UNIT
	EXIST. GATE VALVE IN BOX		EXIST. SIGN
	EXIST. FIRE DEPARTMENT CONNECTION		EXIST. POST
	EXIST. STORM SEWER		TELEPHONE RISER
	EXIST. CATCH BASIN OR INLET		ELECTRIC METER
	EXIST. BEEHIVE INLET		FOUND IRON PIPE
	EXIST. SANITARY SEWER		FOUND IRON ROD
	EXIST. CLEANOUT		FOUND P.C.

DATE: 6/29/2022	REV. DATE	NO. OF SHEETS	NO. OF SHEETS
22153		1	1
22153		1	1
22153		1	1
22153		1	1

C1.0

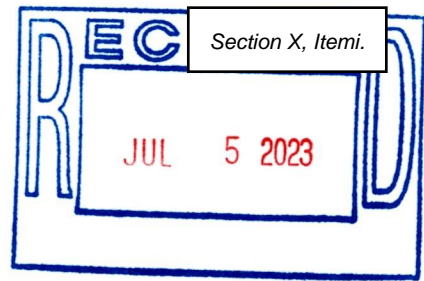
4 OF 4

BARRY J. POLZIN
ARCHITECT



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931



29 June 2023

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
Mackinac Island, MI 49757

File No. C23-021-047(A)

Exhibit F

Date 7.5.23

Initials KP

Re: **BICYCLE STREET INN NEW HOTEL ENTRY**
Market and Main Historic District
Design Review

Dear Ms. Pereny:

I have reviewed the renovations proposed to relocate the hotel check-in and entry at the Bicycle Street Inn, 7416 Main Street in the Market and Main Historic District. As a non-historic building, the Inn is a Non-contributing structure in the district.

The proposed work would alter the door configuration at the north corner of the building along the public sidewalk. A pair of existing doors set on an angle would be removed and replaced by a single door serving the first floor retail space, and a second single door serving an enlarged hotel stair entry (the hotel check-in is being relocated to the second floor). The existing retail awning would be shortened, and a new hotel awning would be placed above the enlarged hotel door. New doors, windows, and awnings would match existing similar features. In a separate location on the first floor, four new windows would be added in the existing concrete block rear building wall to let light into the adjoining retail space.

The Standards for review which are applicable to this request are: Standard 9 - Exterior alterations would not destroy materials that characterize the building, and would be compatible with the architectural features of the existing resource. Under Sec. 10-161(b), the architectural character of the property and its relationship to the surrounding district would be maintained. The proposed changes would be compatible in appearance, and would be appropriate to the historic district. As such, I believe the proposed changes would meet the Standards for review.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

- c. Barry Polzin, Barry J. Polzin Architects
Dennis Dombroski, City of Mackinac Island
Gary Rentrop, Rentrop & Morrison