

CITY OF MACKINAC ISLAND

AGENDA

PLANNING COMMISSION

Tuesday, May 13, 2025 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

II. Roll Call

III. Pledge of Allegiance

IV. Approval of Minutes

[a.](#) April 8, 2025

V. Adoption of Agenda

VI. Correspondence

VII. Staff Report

a. HDC Meeting Summary

b. DPW Update

VIII. Committee Reports

IX. Old Business

[a.](#) David Lipovsky School Update

b. Sheplers Dock Traffic Flow

[c.](#) R423-051-005 Harbor View Housing Ramp Amendment

[d.](#) Stonecliffe Site Plan Amendments

X. New Business

[a.](#) Zoning Changes/Updates

[b.](#) R125-017-020 Bonzheim New Home

[c.](#) RS25-046-032(H) Gilmer Deck and Windows

[d.](#) CD25-016-018-033(H) Connel Covered Porch and Window

[e.](#) R325-021-035(H) Hribar New Fence

[f.](#) R325-000-036(H) East Harbor Condo Fence

[g.](#) C25-014-037(H) Sheplers Dock Traffic Flow Equipment

XI. Public Comment

XII. Adjournment

CITY OF MACKINAC ISLAND

Section IV, Itema.

MINUTES

PLANNING COMMISSION

Tuesday, April 08, 2025 at 1:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

The meeting was called to order at 1:05 PM.

II. Roll Call

PRESENT

Jim Pettit
Michael Straus
Anneke Myers
Mary Dufina
Lee Finkel

ABSENT

Trish Martin
Ben Mosley

Staff: Dennis Dombroski, David Lipovsky

III. Pledge of Allegiance

IV. Adoption of Agenda

Motion to approve the agenda as amended. The amendment was to change the word in agenda item X,a to hotel, not HB, add Trash under Staff Report and Jim Murray under Public Comment.

Motion made by Myers, Seconded by Finkel.

Voting Yea: Pettit, Straus, Myers, Dufina, Finkel

V. Approval of Minutes

a. March 11, 2025

Motion to approve the minutes as presented.

Motion made by Dufina, Seconded by Pettit.

Voting Yea: Pettit, Straus, Myers, Dufina, Finkel

VI. Correspondence

a. Letter re HB 4081 and Opposition Letter Sent

Straus read the letter aloud. Motion by Myers, second by Dufina to approve the pre-approval of sending the letter. All in favor. Motion carries. Dennis Cawthorne contacted Straus regarding the letter and Straus relayed some of the unique situations that Mackinac Island presents. Cawthorne was very receptive to Straus' comments and was going to report back to the Representative and ask if it would be possible to amend the bill to not include Mackinac Island. Dufina asked if we should reply asking to be excluded. Straus said options are to not comment, send another letter saying what we want, or a letter saying we oppose for everybody. Pettit stated he wasn't certain what the issue is all about. Straus gave Pettit an explanation of what the bill is trying to accomplish. After further discussion it was decided to send another letter to the Senate with the following changes: Mackinac is mostly platted but also significant unplatted lands that would be affected by bill. The commission decided to not reply to Representative Fairbane at this time as it looks like it is going to be handled by the Senate. Motion to send the letter with changes to Senator DaMoose.

Motion made by Myers, Seconded by Finkel.
Voting Yea: Pettit, Straus, Myers, Dufina, Finkel

VII. Staff Report

a. HDC Meeting Summary

Finkel summarized the April 8, 2025 HDC meeting.

b. DPW Update

Burt was not able to attend the meeting so there was no update.

Trash

Pettit stated he wanted to make sure the trash ordinance is included with the business licenses. Pettit believes the 4:00 pickup time may be changed. Pettit instructed them to go to the Streets Committee if there is a change. Pettit has an issue with all the trash sitting for hours across from the Mustang and blocks the sidewalk. Straus stated we need to make sure the letter is sent out this year and the pickup times in the letter are correct. Write letter to clerks office to include the letter with license. Pettit suggested that Allen Burt send out an informational letter on recycling.

VIII. Committee Reports

None

IX. Old Business

a. R124-007-076 Peavey Carriage House Amendment

Peavey described his carriage house project. The house has already been approved. Myers confirmed the setbacks are met. Straus asked what he planned on storing. Peavey stated bikes. Motion to approve the carriage house project.

Motion made by Myers, Seconded by Dufina.

Voting Yea: Pettit, Straus, Myers, Dufina, Finkel

b. C25-066-004(H) Mary's Bistro Retractable Awnings

The windows were approved in the March meeting. Based on questions from Dufina, Dombroski researched the original approval. The area was approved for dockside storage only. The applicant could have asked for other Uses, but did not. In Dombroski's opinion a change of use needs to be requested. It is an allowable use. Ryan Green does not see the change of use happening until fall so would like the awning to be reviewed and table the change of use. Dombroski stated the change of use should also include the outside bar area. Myers informed Green you just need to write a letter with the request to be included with this application. Straus would like to see something showing what the space is currently being used for. Green stated Pete Deckert is using the space for storage and he has an office upstairs along with a washer and dryer. The minutes from 1989 were clear that the space was to be used for storage. Myers confirmed it can be used for storage and the bar. Straus stated the awning look is up the the HDC. Motion to approve the awning and the change of use contingent on receipt of a letter from the applicant requesting the change of use to storage and bar/restaurant usage and updated shed style awning drawings. In addition the applicant must redo the application page to be signed by the owner

Motion made by Myers, Seconded by Pettit.

Voting Yea: Pettit, Straus, Myers, Dufina, Finkel

X. New Business

a. MD25-026-014 Benser/Porter Change of Use to HB

Roy Shryock stated the building went from commercial to residential. The initial intent was to use for housing but now they would like to change it to hotel use so they can get a return on the investment. The building is sprinkled. Dombroski stated they will ask for a few other things like emergency lighting. Dufina noted the change of use states HB, but the applicant is asking for hotel. That is to be changed on the Agenda. Motion to approve the change of use to hotel use.

Motion made by Dufina, Seconded by Myers.

Voting Yea: Pettit, Straus, Myers, Dufina, Finkel

b. MD25-041-017(H) Market Street Inn A/C Unit Upgrade

Straus stated the HDC has approved this. The units do not need screening as they are not in view. Steve Paquin stated he submitted the decibel ratings and the units are quieter than the existing. The existing units are failing. The new units will be on elevated platforms. There will be an additional unit on the east side which will take care of two more rooms. The line hide will be painted to match the siding. Motion to approve the A/C unit upgrade.

Motion made by Myers, Seconded by Dufina.
Voting Yea: Pettit, Straus, Myers, Dufina, Finkel

c. MD25-069-018(H) Doud Porch Lattice, Hatch, and Shed Demolition

Doud stated he has a May deadline for the removal of the shed and staircase as part of the lot split. Doud intends to ask City Council to keep the items there during construction. There will not be occupancy for at least two years. Doud is asking for approval of his application in the event City Council does not approve his request to keep the shed and stairs during construction. Dufina asked about the signature on the application. Dombroski confirmed that Pereny had asked Doud for the affidavit. Doud stated James Murray has an affidavit to allow other people to sign for him. Motion to table.

Motion made by Myers, Seconded by Dufina.
Voting Yea: Pettit, Straus, Myers, Dufina, Finkel

XI. Public Comment

James Murray stated he was here representing the Bonzheim's. Their home was approved in July 2021. However because the house was too expensive, they went to Dickenson Homes. They have changed to a smaller design. They believed they had approval for excavation in April of 2021, but that was not correct. They will be on the May 13, 2025 Agenda requesting approval. Straus stated the application on file is expired. They will need to submit a new application. The applicant would like to excavate and City Council wants approval from Planning Commission before approving any excavation. If the application is approved in May, they will still have a week to do excavation.

David Lipovsky gave an update on the school project as to what is currently being done. Lipovsky presented a preliminary floor plan and site plan for Phase 2. Phase 2 will face the school. The school is not required to comply with City Zoning, but Lipovsky stated he would like to update the Planning Commission. Pettit asked if a fire truck will fit back there. 16' is required and there is not that much room. Motion by Myers to place the plans on file, second by Dufina. All in favor. Motion carries.

The City has received a grant to update the zoning for housing. A Zoning review needs to be done. We need to look at density for better housing. The density sub-committee never had a chance to meet. We need to have help from Adam Young. We need to get information to Young so he can address the questions. In addition to the housing, we need to look at our other zoning issues. Pereny is to provide the running list to the Planning

Commission. Myers stated there is a deadline for the housing grant which is the end of the year so she stated it is important to focus on housing first. Straus believes it is important to look at other issues as well, at the same time. There was a discussion on rentals. Motion to have a meeting with Adam Young to be May 13, 2025 at 3:00 PM to talk about housing grant and zoning changes. City clerk to send grant application and information to Planning Commission to better understand the scope of the grant.


Motion made by Myers, Seconded by Dufina.
Voting Yea: Pettit, Straus, Myers, Dufina, Finkel

XII. Adjournment

Motion to adjourn at 2:49 PM.

Motion made by Pettit, Seconded by Finkel.
Voting Yea: Pettit, Straus, Myers, Dufina, Finkel

Michael Straus, Chair

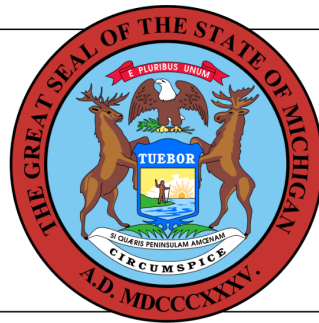

Katie Pereny, Secretary

DRAWING INDEX – BAYVIEW DUPLEX					
FOUNDATION PLAN	FIRST FLOOR PLAN	SECOND FLOOR PLAN	EXTERIOR ELEVATION	EXTERIOR ELEVATIONS	EXTERIOR ELEVATION
A–1	A–2	A–3	A–4	A–5	A–6
ELECTRICAL PLAN	ELECTRICAL PLAN	NOT USED	NOT USED	CROSS SECTION	MECHANICAL/ELECT./PLUMB. NOTES
A–7	A–8	A–9	A–10	A–11	A–12

The Plans contained herein comply with the 2015 MICHIGAN RESIDENTIAL CODE,
(Building, Electrical, Mechanical, Plumbing & Energy)

DESIGN CRITERIA
1. USE GROUP R–3
2. CONST. TYPE: 5B
3. AREA: 3,304 Sq.Ft.
4. DESIGN LOADS: a. FL. LIVE= 40 PSF.
b. FL. DEAD= 10 PSF.
5. SNOW LOAD: 70 PSF.
6. WIND LOAD: 115 MPH

PR2024BCC-003007

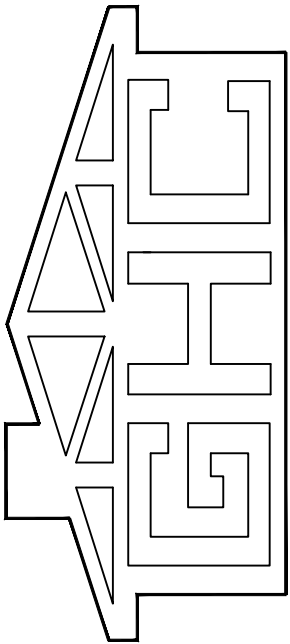


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DRN	06/20/24	JLR
REV		

GENERAL HOUSING
CORPORATION
OFFICE: 4650 E. WILDER RD. 48706 BAY CITY, MI 48706
PLANT: 4644 FRASER RD. BAY CITY, MI 48706



TITLE
BAYVIEW DUPLEX.
CRAWLSPACE
INDEX

MODEL
DUPLEX
SHEET
INDEX

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CONCRETE FOOTINGS						
Min. width and thickness for Concrete Footings for Light-Frame construction.						
SNOW LOAD	HOUSE TYPE	SOIL BEARING (psf)				
		1500	2000	2500	3000	3500
30	1-STORY...Crawlspace	13x6	12x6	12x6	12x6	12x6
	2-STORY...Crawlspace	19x6	14x6	12x6	12x6	12x6
40	1-STORY...Crawlspace	16x6	12x6	12x6	12x6	12x6
	2-STORY...Crawlspace	19x6	14x6	12x6	12x6	12x6
70	1-STORY...Crawlspace	18x6	13x6	12x6	12x6	12x6
	2-STORY...Crawlspace	21x6	16x6	13x6	12x6	12x6

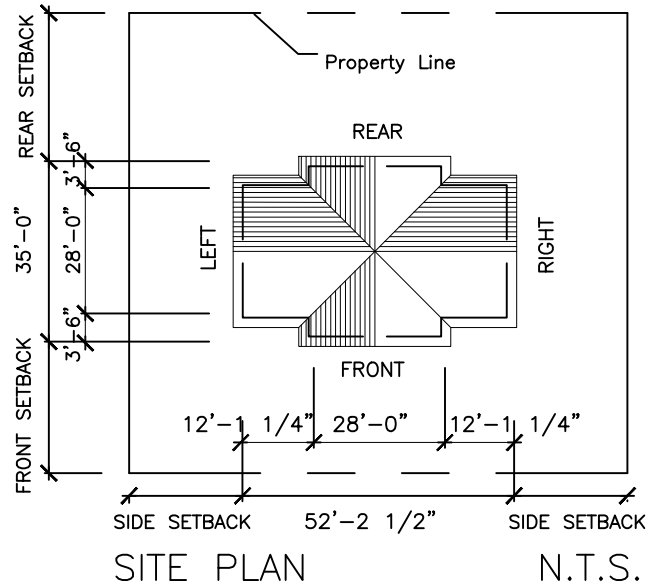
TABLE R403.1(1)

- CRAWLSPACE NOTES
1. Crawlspace ventilation required per Michigan Residential Code

2. Foundations are not provided by GENERAL HOUSING CORPORATION. Basic Overall Dimensions Only are Provided on this Plan. Foundation Design & Specifications Shall be based on Local Conditions, & Subject to Local Codes and are the Responsibility of OTHERS.

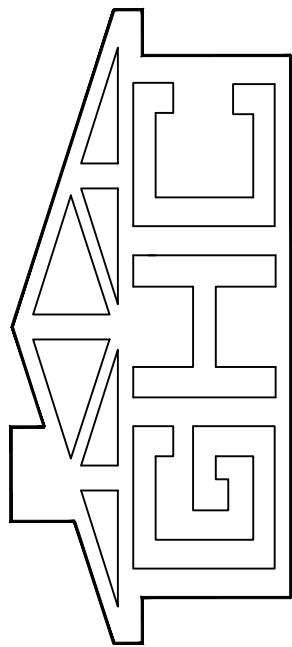
3. When Required, Sump Pump Shall be provided for Crawlspace Drainage. (by OTHERS)

4. Crawlspace access required per Michigan Residential Code



DRN 5-15-17 ksl
REV 07/10/24 JLR

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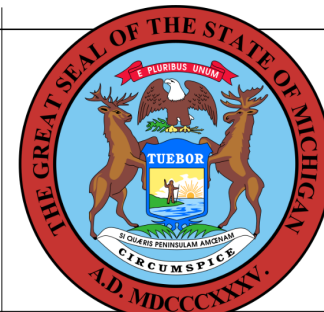


TITLE
DUPLEX
Crawlspace, 3-Bed, 2.5-Bath
FOUNDATION PLAN.....1/4"

MODEL
SHEET
A-1 of 12

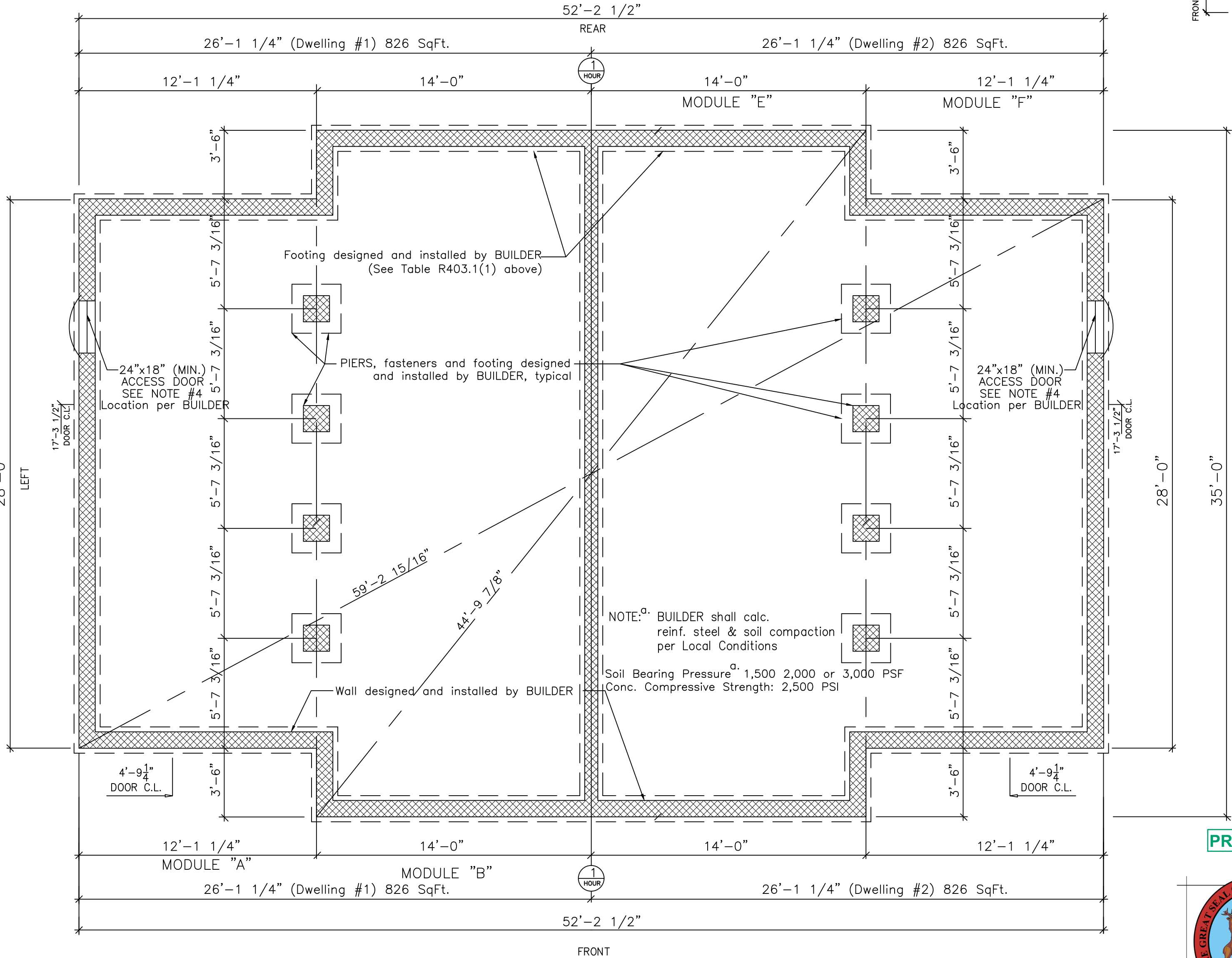
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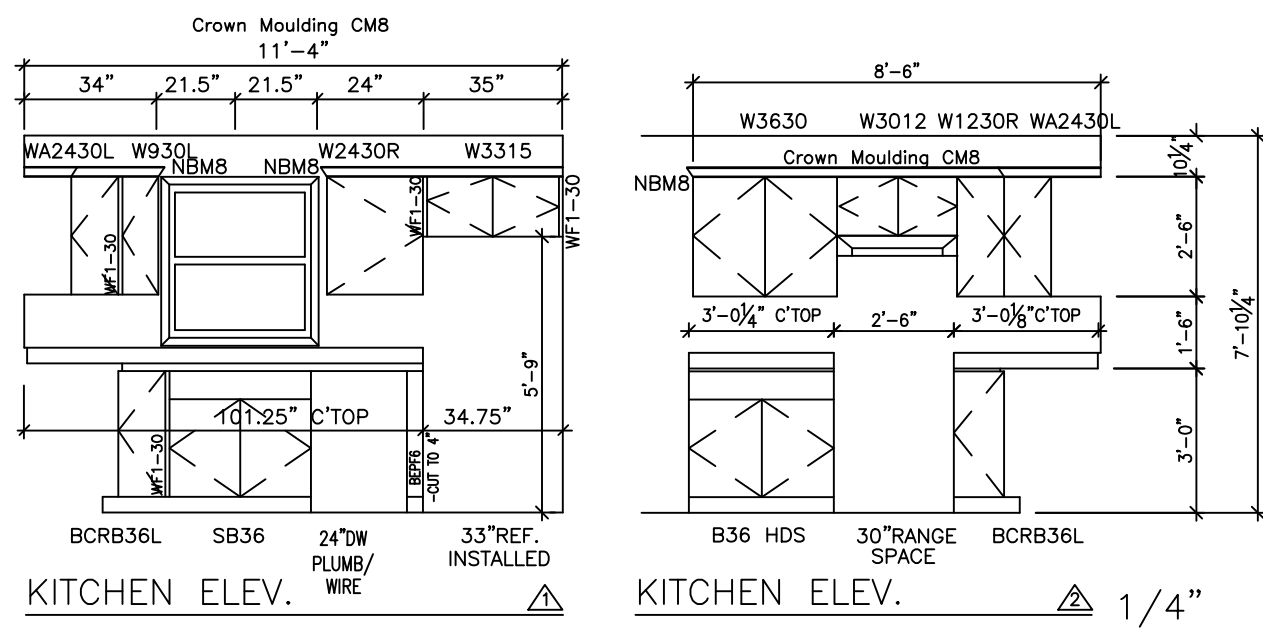


FOUNDATION PLAN

DUPLEX
1/4"

SCALE: 1/2" = 1'-0"

October 2, 2024 11:05 AM F:\FLOORPLANS\63XX-SERIES\6318\STATE SUBMITTAL\6318 PLAN SET.dwg

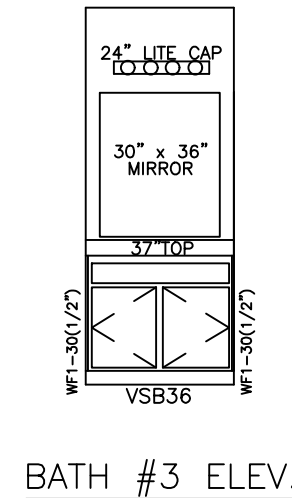
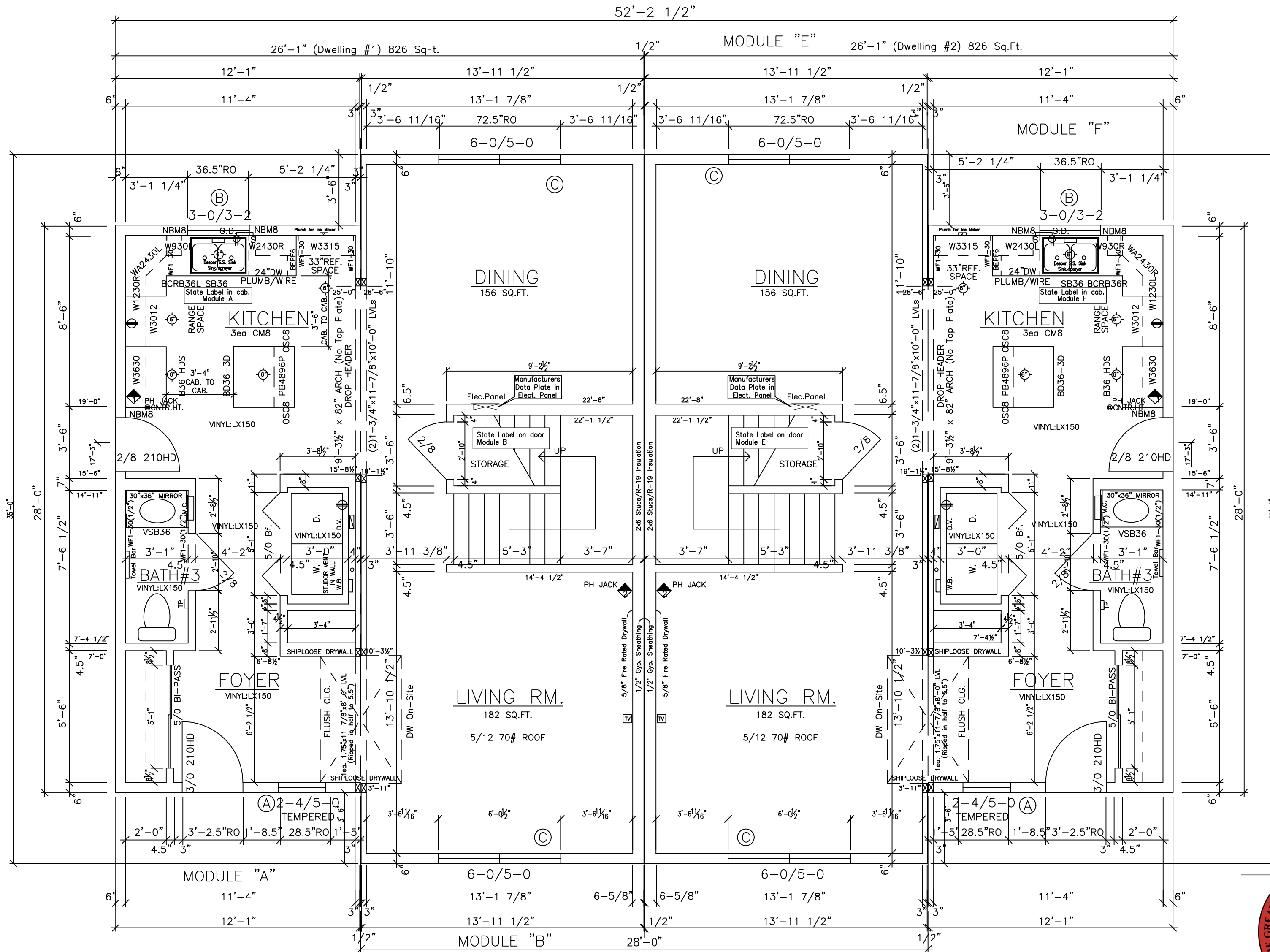
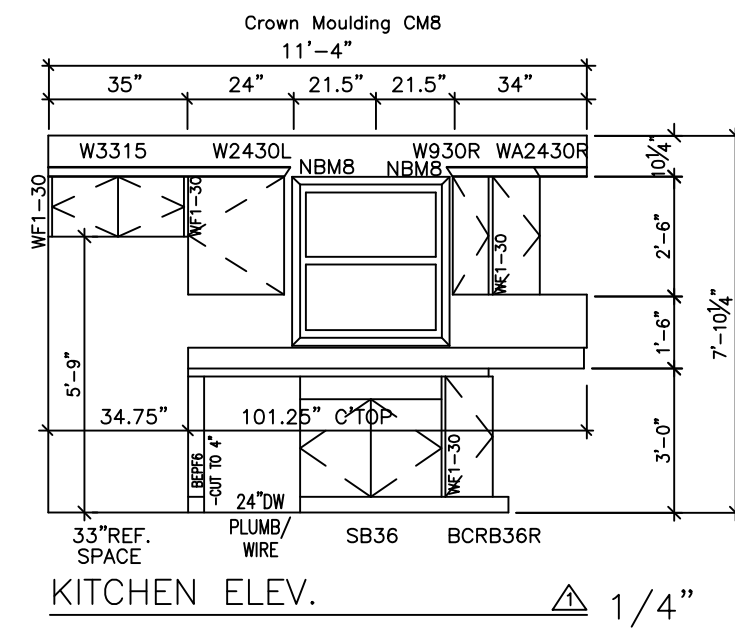
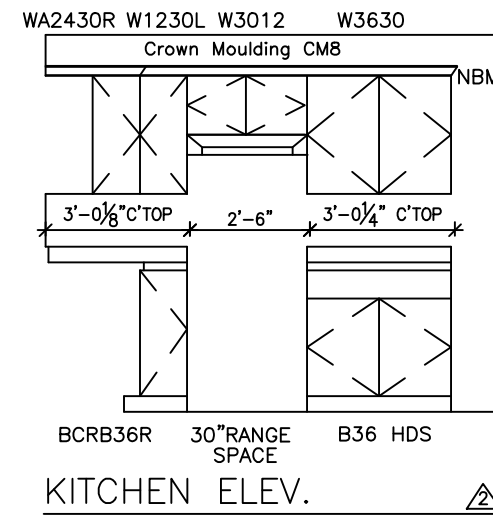


VINYL		ENCOMPASS		
(A)	2-4/5-0	SH	28.5"x60.5"	
(B)	3-0/3-2	SH	36.5"x38.5"	KITCHEN
(C)	6-0/5-0	SHx2	72.5"x60.5"	EGRESS

ADVANTAGE SPECS

(partial listing)

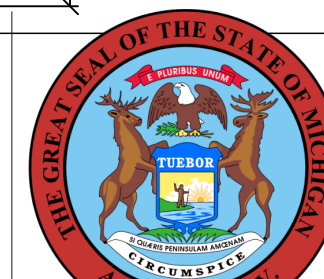
- 2x10 Fl. Framing @ 16"o.c.
- Stub all Plumbing
- 2x6 Ext. Walls @ 16"o.c. (R-19)
- DELTA Faucets
- PELLA Vinyl SH Windows
- No Kitchen Soffits
- Dexter Locksets



FIRE RATED SEPARATION BETWEEN UNITS:
VERTICAL SEPARATION BETWEEN UNITS
SHALL MEET OR EXCEED UL U305 1 HOUR
RATED WALL ASSEMBLY.

FIRE-RESISTANCE RATED WALL ASSEMBLY
SHALL EXTEND FROM THE FOUNDATION TO
THE UNDERSIDE OF THE ROOF SHEATHING.

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REV 07/10/24 JLR
07/17/24 RMN
7-19-24 JJS

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TITLE

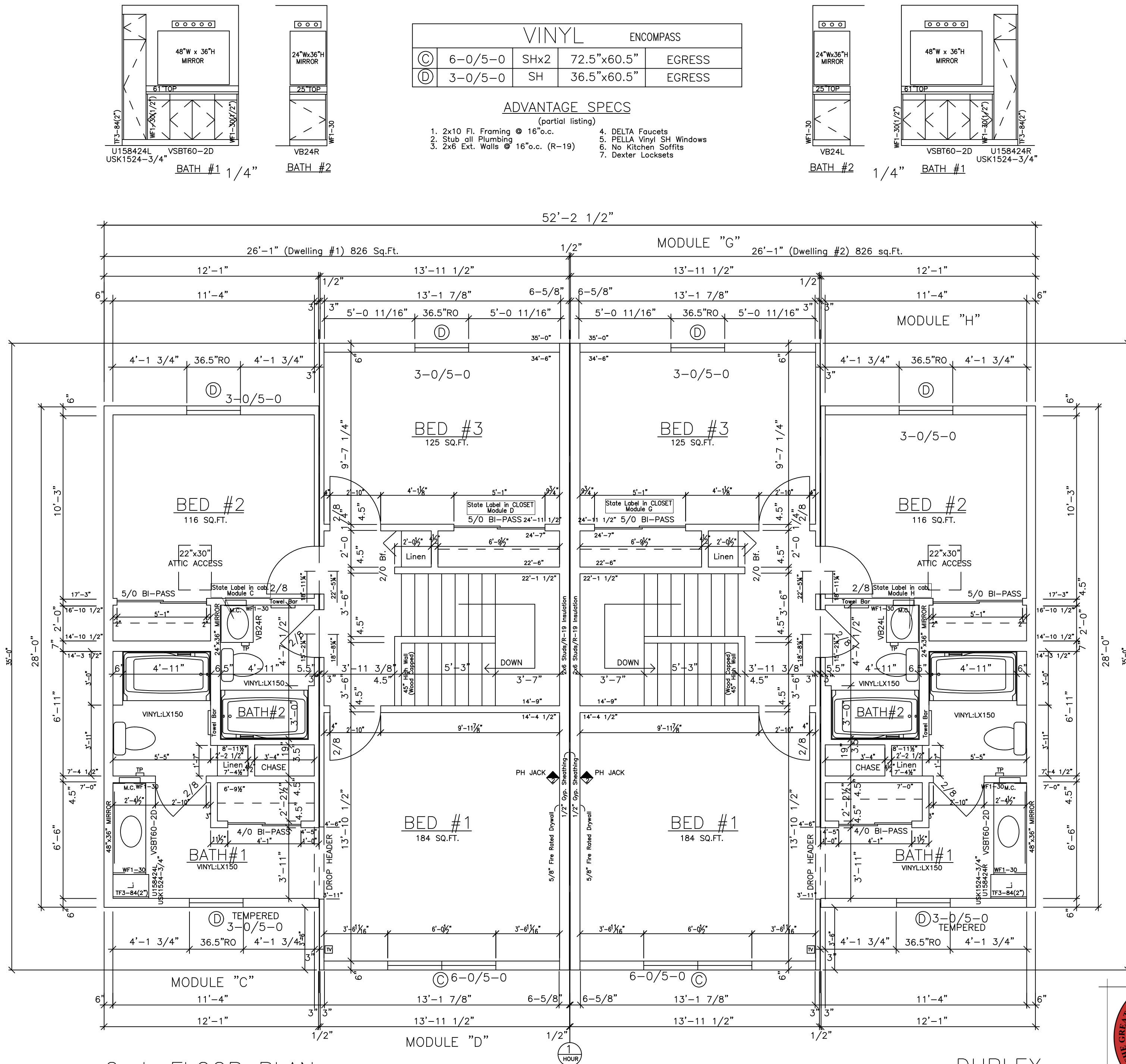
DUPLEX
Crawlspace, 3-Bed, 2.5-Bath
1st. FLOOR PLAN.....1/4"

MODEL

SHEET

A-2 of 12

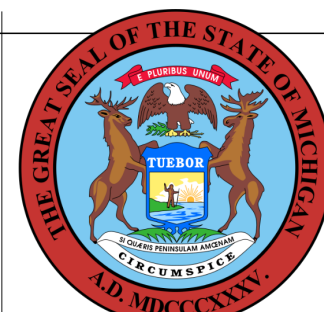
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2nd. FLOOR PLAN
826 Sq.Ft. (2nd Fl.) per Dwelling

DUPLX
SCALE: 1/4" = 1'-0"

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TITLE

DUPLX

Crawlspace, 3-Bed, 2.5-Bath
2nd. FLOOR PLAN.....1/4"

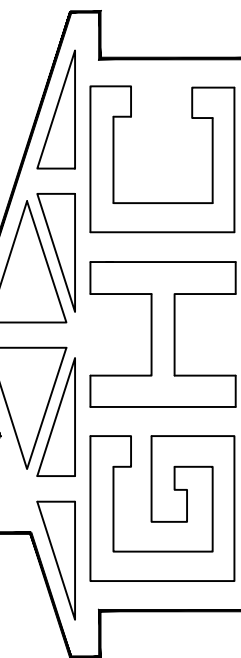
MODEL

SHEET

A-3 of 12

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DRN 4/18/17 RMN
REV 07/10/24 JLR

VINYL ENCOMPASS			
Ⓢ	6-0/5-0	SHx2	72.5"x60.5" EGRESS
Ⓣ	3-0/5-0	SH	36.5"x60.5" EGRESS

ADVANTAGE SPECS

(partial listing)

- 2x10 Fl. Framing @ 16"o.c.
- Stub all Plumbing
- 2x6 Ext. Walls @ 16"o.c. (R-19)
- DELTA Faucets
- PELLA Vinyl SH Windows
- No Kitchen Soffits
- Dexter Locksets

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RATED WALL ASSEMBLY.

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SHALL EXTEND FROM THE FOUNDATION TO
THE UNDERSIDE OF THE ROOF SHEATHING.

EXTERIOR ELEVATIONS ARE FOR ILLUSTRATION PURPOSES ONLY AND DO NOT REFLECT EXACT MEASUREMENTS OR ALIGNMENT.



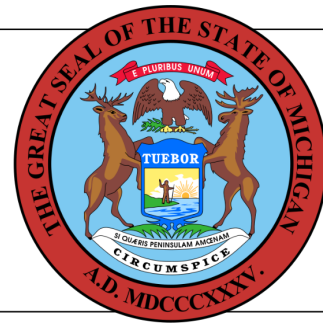
FRONT ELEVATION

DUPLEX

SCALE: 1/2" = 1'-0"

1/4"

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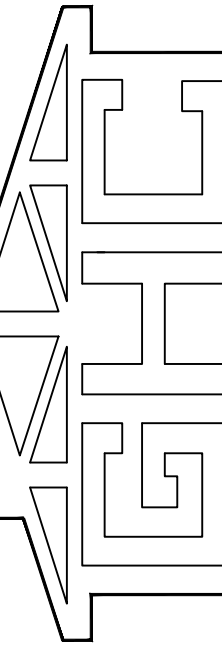
MODEL

TITLE

DUPLEX
Crawlspace, 3-Bed, 2.5-Bath
EXTERIOR ELEVATIONS.....1/4"

SHEET

A-4 of 12

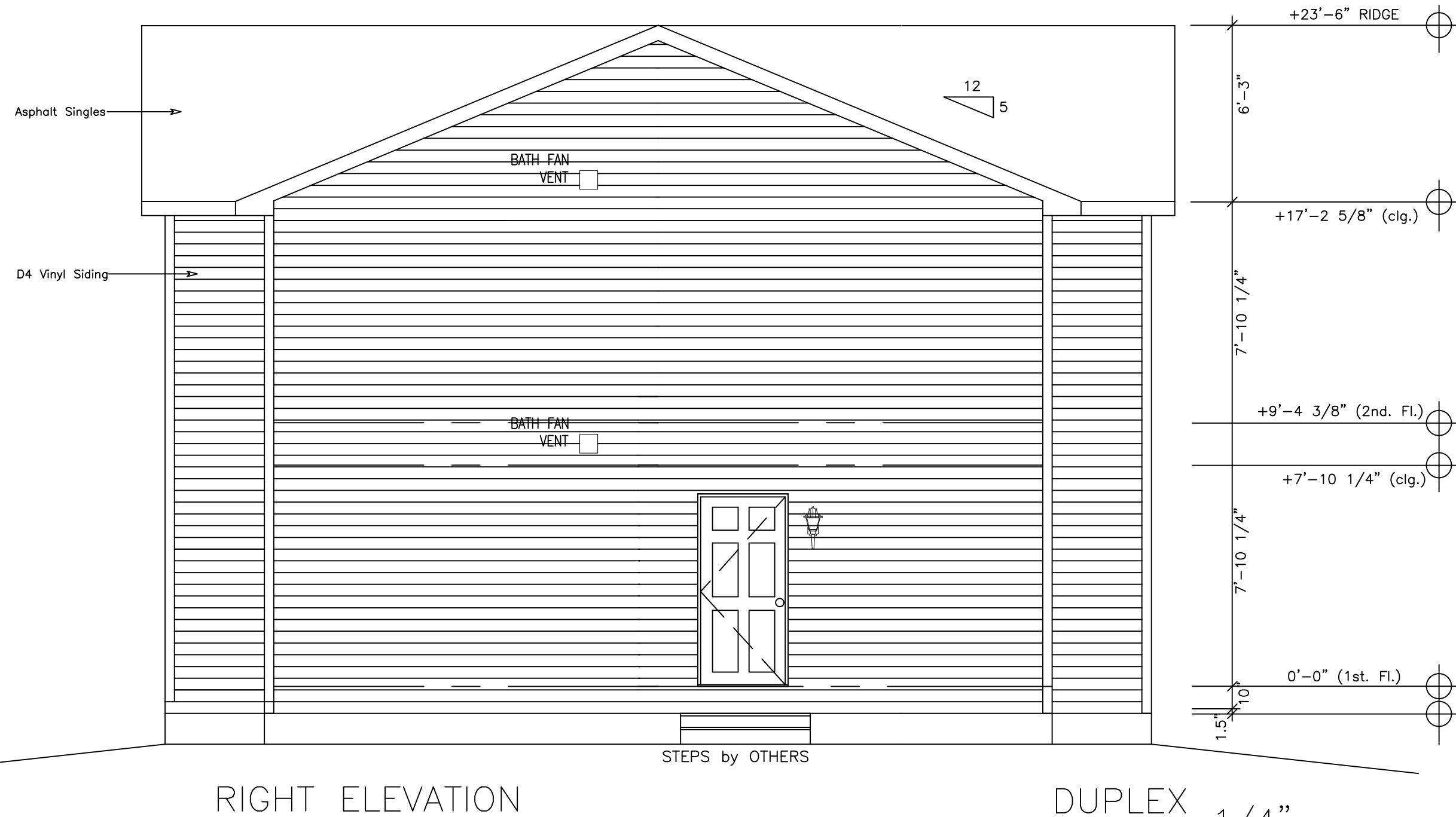
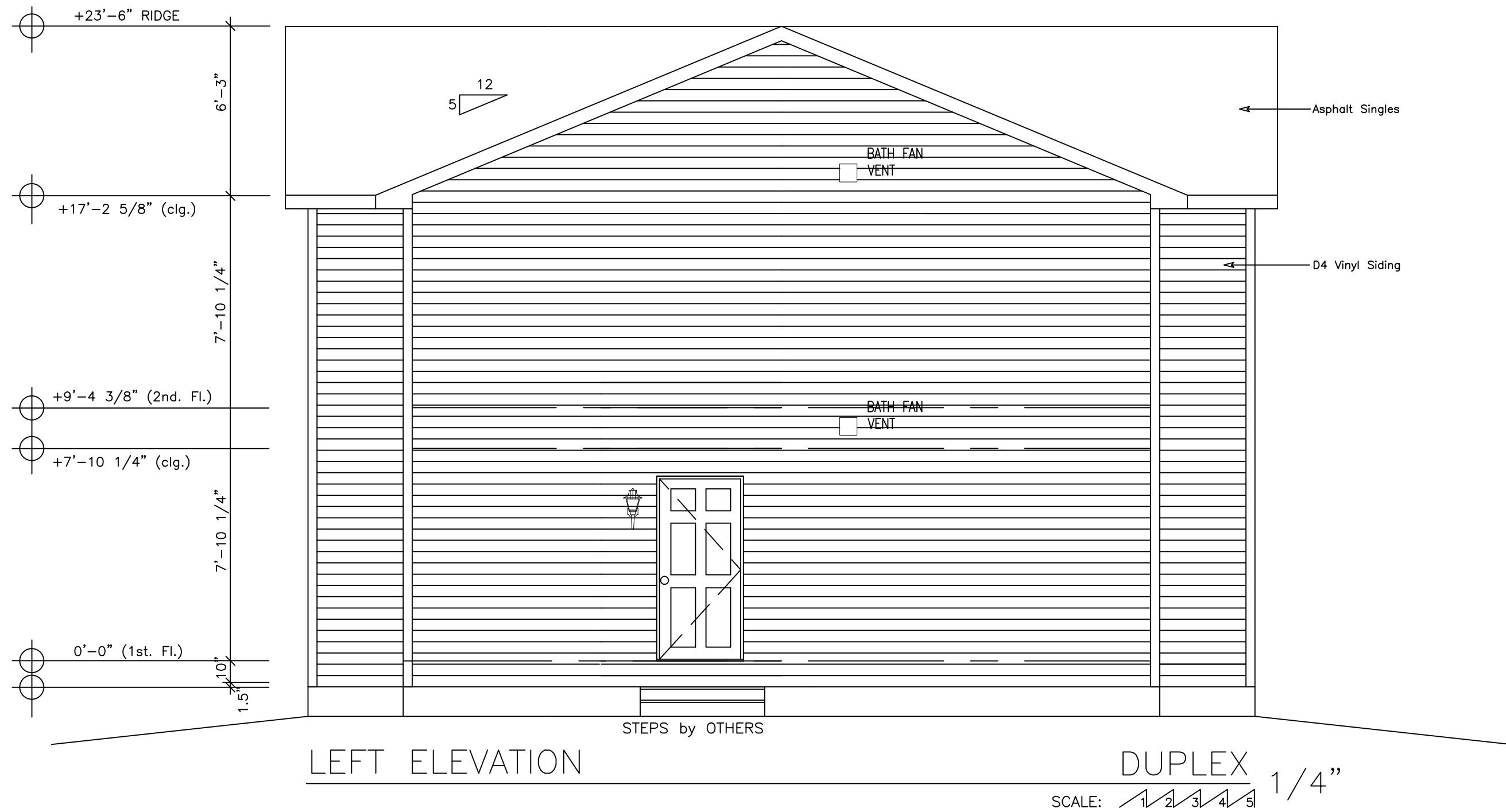


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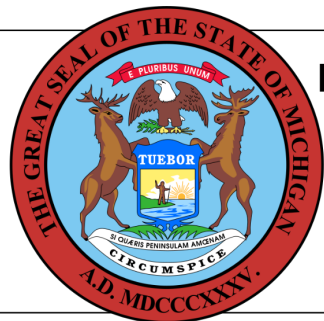
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MODEL

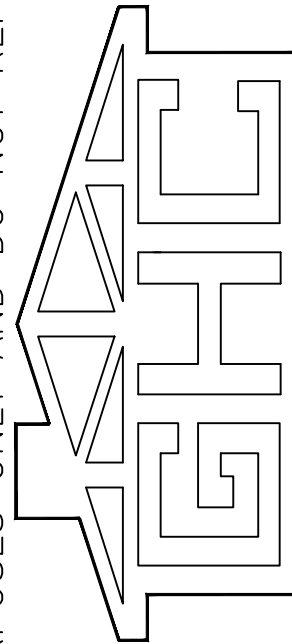
SHEET

A-5 of 12

TITLE

DUPLX

Crawlspace, 3-Bed, 2.5-Bath
EXTERIOR ELEVATIONS.....1/4"



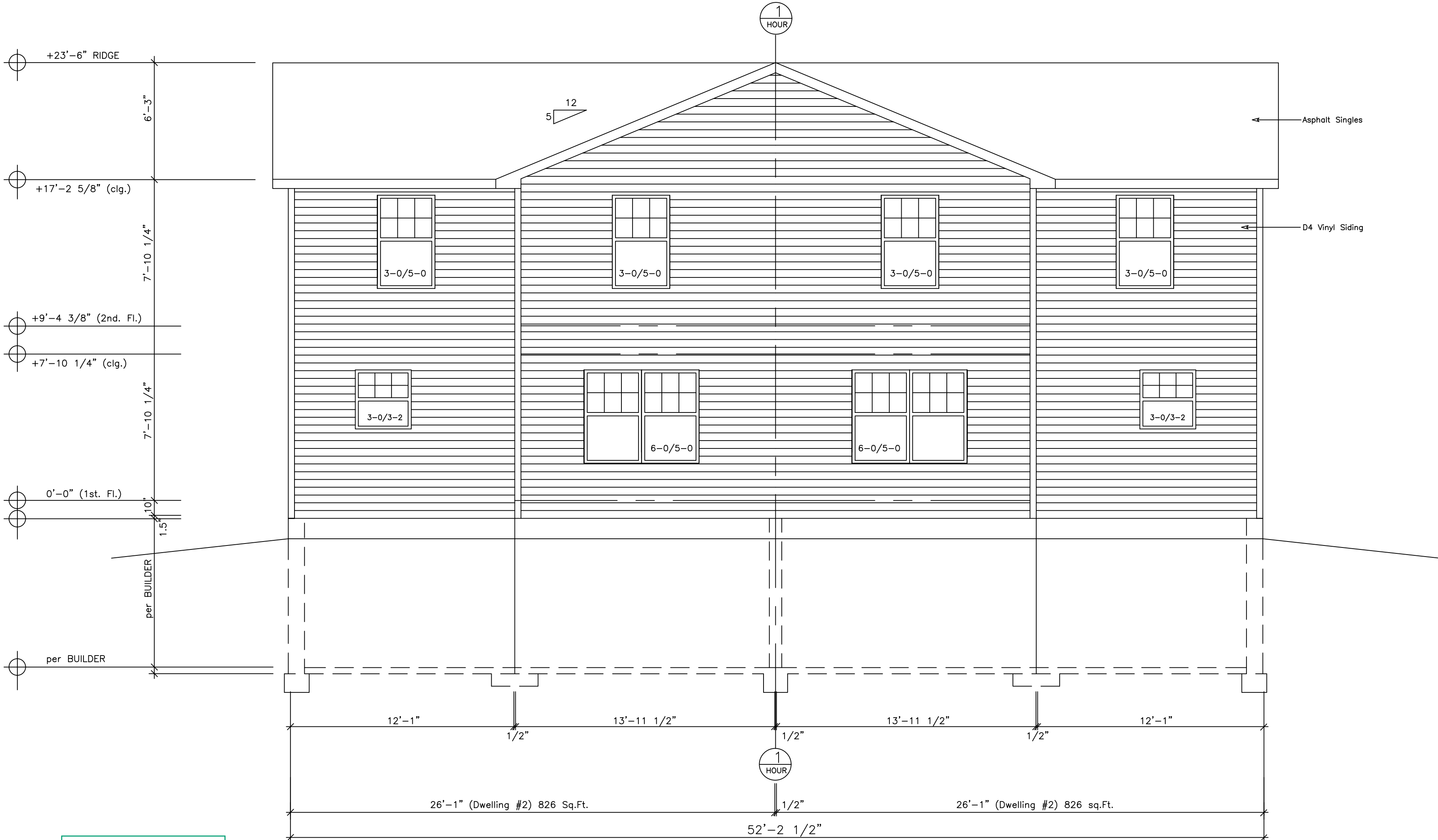
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REAR ELEVATION

DUPLEX

SCALE: 1/2" = 1'-0" 1/4"

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MODEL

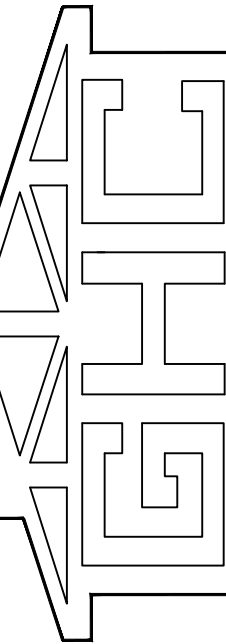
TITLE

DUPLEX

Crawlspace, 3-Bed, 2.5-Bath
EXTERIOR ELEVATIONS.....1/4"

SHEET

A-6 of 12



**GENERAL HOUSING
CORPORATION**

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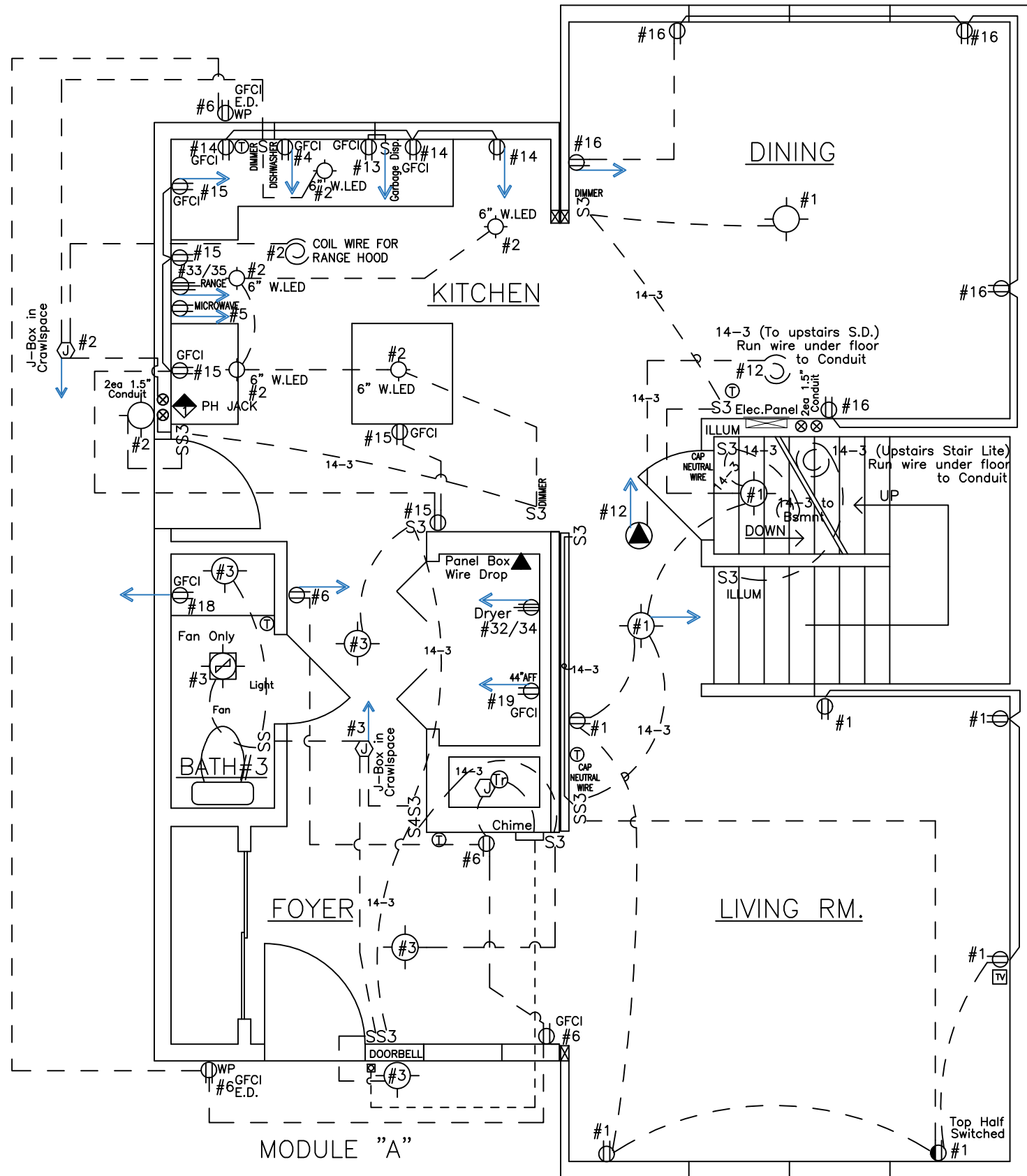
DRN 4-14-17 KSL
REV 07/10/24 JLR

ELECTRIC PANEL SCHEDULE
(40 SPACE – 200 AMP)

NO.	CIRCUIT	VOLT	AMP	WIRE (W/G)	WIRE (W/G)	AMP	VOLT	CIRCUIT	NO.
1	Living Room/Dining Lighting	120	15	14-2	14-2	15	120	Kitchen Lighting	2
3	Foyer/Hall/Bath#3	120	15	14-2	14-2	15	120	Dishwasher	4
5	Microwave	120	15	14-2	14-2	15	120	Hall/Exterior Recepts.	6
7	Bedroom #3	120	15	14-2	14-2	15	120	Upstairs Hall/Stairs	8
9	Bedroom #1	120	15	14-2	14-2	15	120	Bedroom #2	10
11	Bath#1/Bath#2	120	15	14-2	14-2	15	120	Smoke Detectors	12
13	Garbage Disp.	120	15	14-2	12-2	20	120	Kitchen Recepts.	14
15	Kitchen Recepts.	120	20	12-2	12-2	20	120	Dining Recepts.	16
17	Bath#1/Bath#2 Recepts.	120	20	12-2	12-2	20	120	Bath#3 Recept.	18
19	Laundry	120	20	12-2				Spare	20
21	Spare							Spare	22
23	Spare							Spare	24
25	Spare							Spare	26
27	Spare							Spare	28
29	Spare							Spare	30
31	Spare								32
33	Range	240	50	6-3	10-3	30	240	Dryer	34
35						35			36
37	Spare							Surge Protection Device	38
39	Spare							Spare	40

Emergency disconnect shall be installed on site by Licensed Electrician in accordance with NEC, Article 230.85 Rule 870

ON-SITE PHONE CONNECTION



1st. FLOOR PLAN

(Dwelling Unit #1)

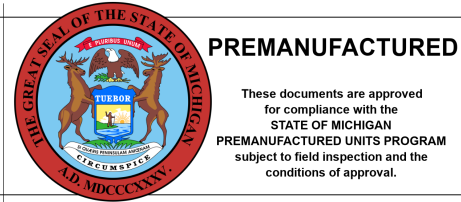
ELECTRICAL NOTES

1. Basement ELECTRICAL: GHC will stub all wires at the 1st. and 2nd. floors with enough wire coiled up to reach the panel box.
2. All basement wiring, switches, light fixtures, smoke detectors, etc. are by OTHERS on-site.

WIRES AT FLOOR ACCESS
MODULE "C"

14-2 WIRE: Circuit #10,11
12-2 WIRE: Circuit #17,#25/27
LEAVE 25' WIRE PER CIRCUIT

WIRES AT ATTIC ACCESS
14-3 WIRE: Circuit #12 (Smoke Detector)



PR2024BCC-003007

ELECTRICAL LOAD CALCULATION

DATE: 8/22/2024
Model: BAYVIEW DUPLEX
By: GHC

Watts or Volt-Amps

Air Conditioning (100%)

*Use the larger of the air-conditioning load or the electric space heating load.

N/A

Other Loads:

Watts or Volt-Amps

General Lighting - First Story	1	826	3	2478
General Lighting - Second Story	1	826	3	2478
Small Appliances	2	1500		3000
Laundry (1500 Watts)	1	1500		1500
Boiler	1	700		700
Dryer	1	5600		5600
Water Heater	1	4500		4500
Range	1	9300		9300
Dishwasher	1	1450		1450
Garbage Disposal	1	800		800
Surge Protection Device	1	0		0
Other: Baseboard Elec. Heat	0	250		0
Total:				31806

First 10KW of other Loads @ 100%

10,000

Remainder of other Loads @ 40%

8722.4

Total Calculated Load

18722.4

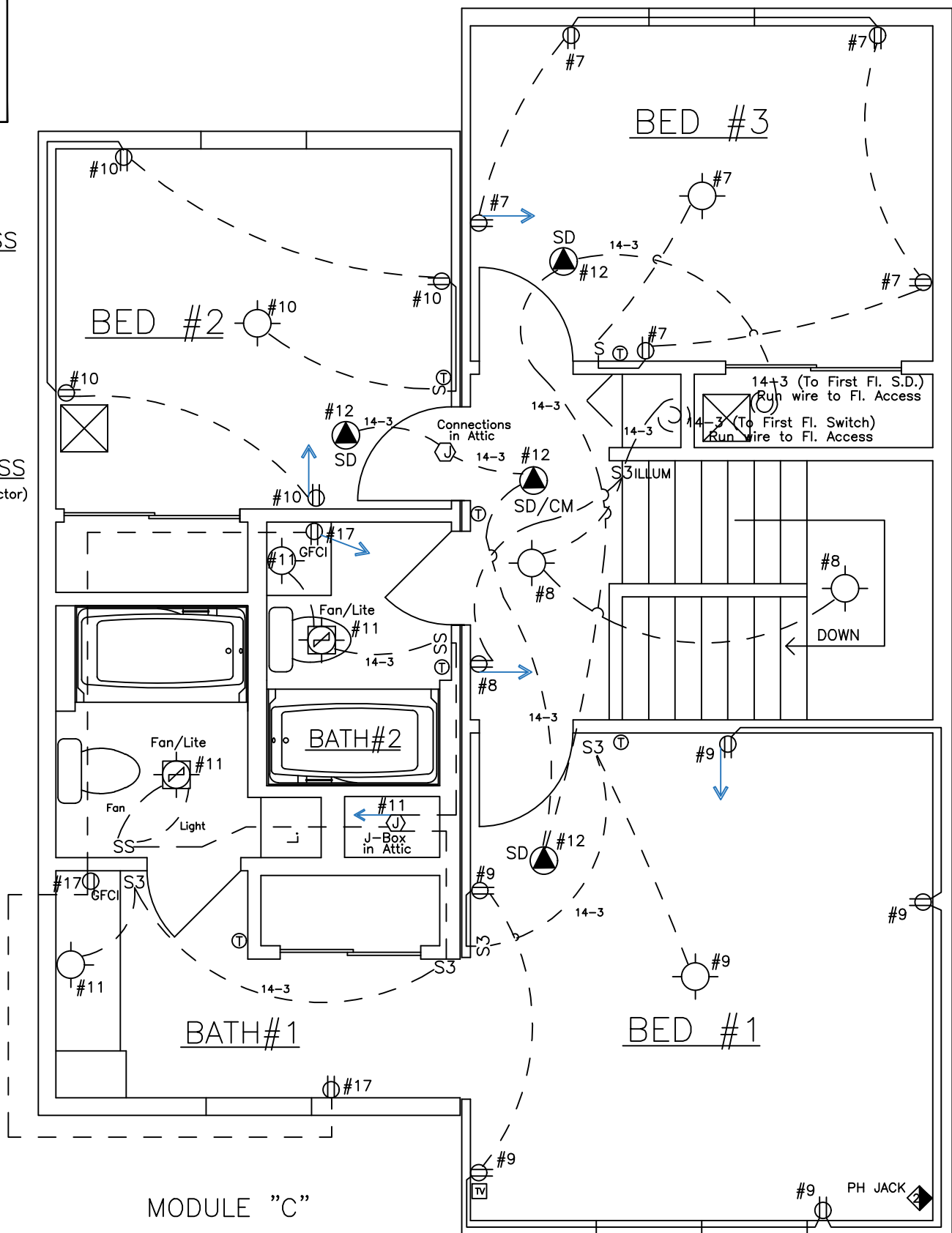
Service Size:(Total Calculated Load / 230)

81.4017

3/0 THWN Entrance Cable
#4 Copper Grounding Conductor
Note: 200 AMP Panel supplied by GHC

4650 E. WILDER RD. BAY CITY, MICHIGAN 48706 PHONE(989) 684-8078

ON-SITE PHONE CONNECTION



2nd. FLOOR PLAN

(Dwelling Unit #1)

DRN 4/11/17 RMN
REV 5/5/24 RMN
7/23/24 KRG

GENERAL HOUSING
CORPORATION
OFFICE: 4650 E. WILDER RD. 4644 FRASER RD.
BAY CITY, MI 48706 BAY CITY, MI 48706

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TITLE

DUPLEX

Crawlspace, 3-Bed, 2.5-Bath
1st & 2nd. FLOOR ELEC. PLAN.....

MODEL

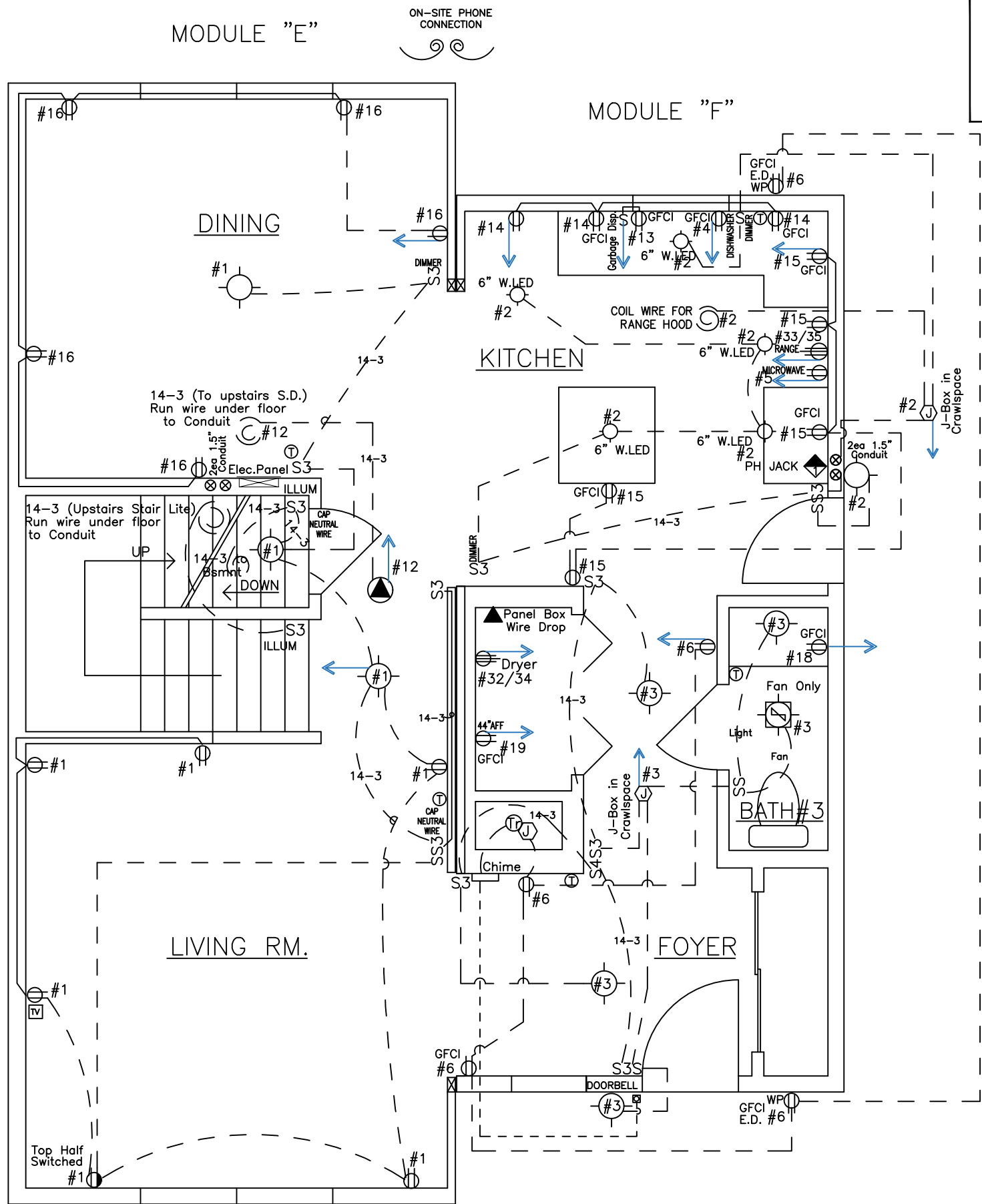
SHEET

A-7 of 12

October 2, 2024 H:\CUSTOM FPFLOORPLANS\63XX-SERIES\6318\STATE SUBMITTAL\6318 PLAN SET.dwg

ELECTRIC PANEL SCHEDULE (40 SPACE – 200 AMP)									
NO.	CIRCUIT	VOLT	AMP	WIRE (W/G)	WIRE (W/G)	AMP	VOLT	CIRCUIT	NO.
1	Living Room/Dining Lighting	120	15	14-2	14-2	15	120	Kitchen Lighting	2
3	Foyer/Hall/Bath#3	120	15	14-2	14-2	15	120	Dishwasher	4
5	Microwave	120	15	14-2	14-2	15	120	Hall/Exterior Recepts.	6
7	Bedroom #3	120	15	14-2	14-2	15	120	Upstairs Hall/Stairs	8
9	Bedroom #1	120	15	14-2	14-2	15	120	Bedroom #2	10
11	Bath#1/Bath#2	120	15	14-2	14-2	15	120	Smoke Detectors	12
13	Garbage Disp.	120	15	14-2	12-2	20	120	Kitchen Recepts.	14
15	Kitchen Recepts.	120	20	12-2	12-2	20	120	Dining Recepts.	16
17	Bath#1/Bath#2 Recepts.	120	20	12-2	12-2	20	120	Bath#3 Recept.	18
19	Laundry	120	20	12-2				Spare	20
21	Spare							Spare	22
23	Spare							Spare	24
25	Spare							Spare	26
27	Spare							Spare	28
29	Spare							Spare	30
31	Spare								32
33	Range	240	50	6-3	10-3	30	240	Dryer	34
35						35			36
37	Spare							Surge Protection Device	38
39	Spare							Spare	40

Emergency disconnect shall be installed on site by Licensed Electrician in accordance with NEC, Article 230.85 Rule 870



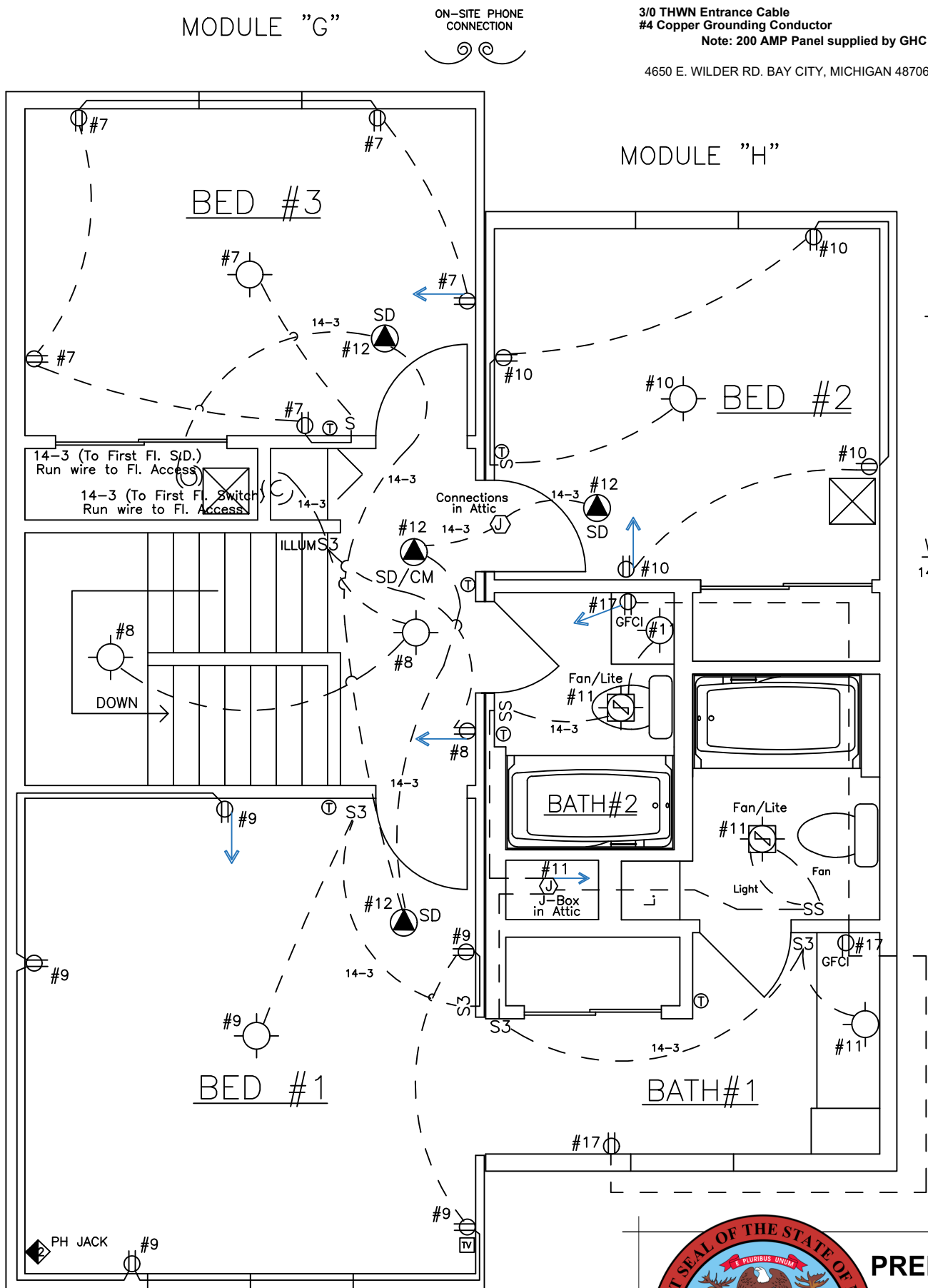
1st. FLOOR PLAN (Dwelling Unit #2)

ELECTRICAL NOTES

1. Basement ELECTRICAL: GHC will stub all wires at the 1st. and 2nd. floors with enough wire coiled up to reach the panel box.
2. All basement wiring, switches, light fixtures, smoke detectors, etc. are by OTHERS on-site.

WIRES AT FLOOR ACCESS

- MODULE "G"
- 14-2 WIRE: Circuit #7,8,9
 - 14-3 WIRE: Circuit #8 (Stair Light Switch)
 - 14-3 WIRE: Circuit #12 (Smoke Detector)
 - 12-2 WIRE: Circuit #28/30, #29/31
 - 1ea. T.V. & Phone Wire
 - LEAVE 50' WIRE PER CIRCUIT



2nd. FLOOR PLAN (Dwelling Unit #2)

ELECTRICAL LOAD CALCULATION

DATE: 8/22/2024
Model: BAYVIEW DUPLEX
By: GHC

Watts or Volt-Amps

N/A

Air Conditioning (100%)

*Use the larger of the air-conditioning load or the electric space heating load.

Other Loads:

Watts or Volt-Amps

General Lighting - First Story	1	826	3	2478
General Lighting - Second Story	1	826	3	2478
Small Appliances	2	1500		3000
Laundry (1500 Watts)	1	1500		1500
Boiler	1	700		700
Dryer	1	5600		5600
Water Heater	1	4500		4500
Range	1	9300		9300
Dishwasher	1	1450		1450
Garbage Disposal	1	800		800
Surge Protection Device	1	0		0
Other: Baseboard Elec. Heat	0	250		0

Total: 31806

First 10KW of other Loads @ 100% 10,000

Remainder of other Loads @ 40% 8722.4

Total Calculated Load 18722.4

Service Size: (Total Calculated Load / 230) 81.4017

3/0 THWN Entrance Cable
#4 Copper Grounding Conductor
Note: 200 AMP Panel supplied by GHC

4650 E. WILDER RD. BAY CITY, MICHIGAN 48706 PHONE(989) 684-8078

WIRES AT FLOOR ACCESS

- MODULE "H"
- 14-2 WIRE: Circuit #10,11
 - 12-2 WIRE: Circuit #17,25/27
 - LEAVE 25' WIRE PER CIRCUIT

WIRES AT ATTIC ACCESS

- 14-3 WIRE: Circuit #12 (Smoke Detector)



PREMANUFACTURED

These documents are approved for compliance with the STATE OF MICHIGAN PREMANUFACTURED UNITS PROGRAM subject to field inspection and the conditions of approval.

PR2024BCC-003007

DRN 4/11/17 RMN
REV 5/5/24 RMN
7/25/24 KRG

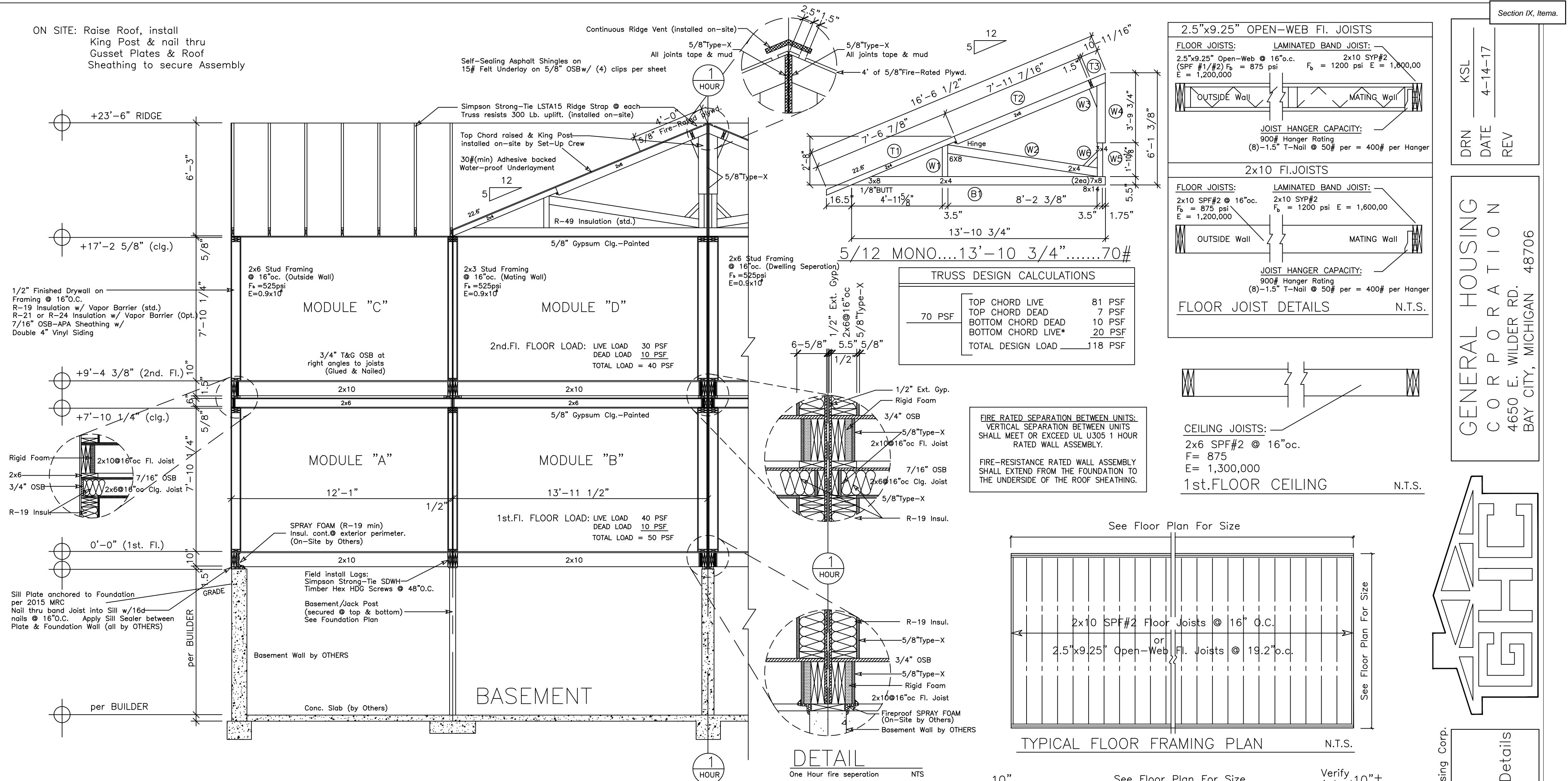
GENERAL HOUSING CORPORATION
OFFICE: 4650 E. WILDER RD. 4644 FRASER RD.
BAY CITY, MI 48706 BAY CITY, MI 48706

TITLE
DUPLEX

MODEL
Crawlspace, 3-Bed, 2.5-Bath
1st & 2nd. FLOOR ELEC. PLAN.....
SHEET
A-8 of 12

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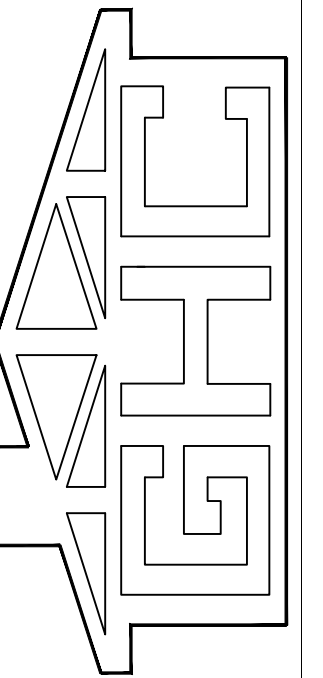
ON SITE: Raise Roof, install
King Post & nail thru
Gusset Plates & Roof
Sheathing to secure Assembly



Section IX, Itema.

DRN KSL
DATE 4-14-17
REV

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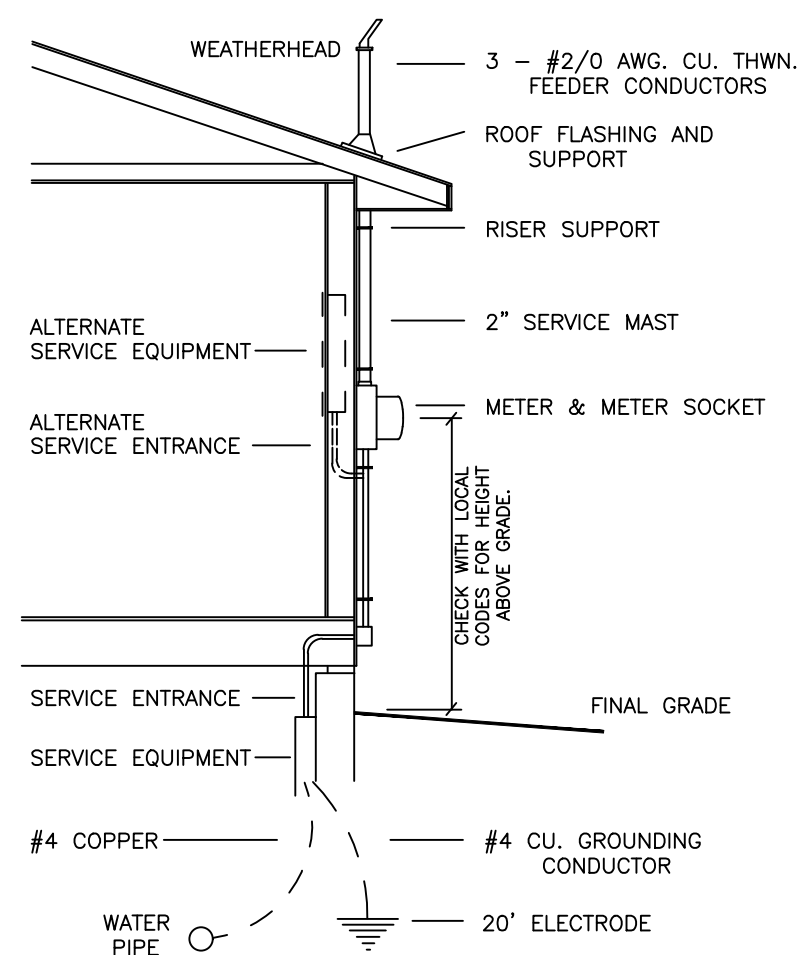
TITLE
TWO STORY.....DUPLEX
Typical Basement & Crawlspace Details
Cross Section & Floor Framing

MODEL

SHEET
A-11 of 12

ELECTRICAL NOTES (2015 MRC)

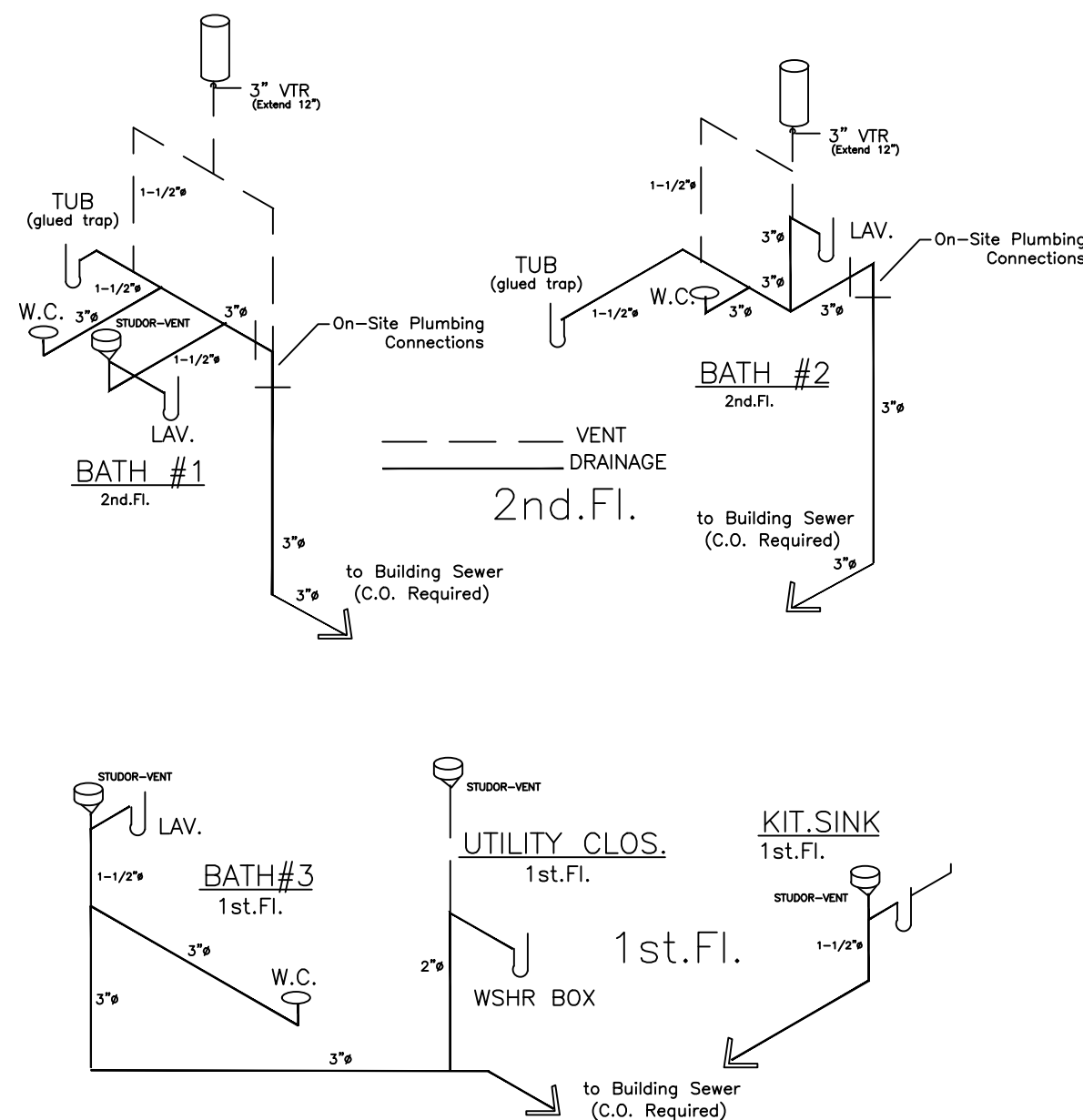
1. Labeled Service Panel has 200 AMP Main Breaker Disconnect.
2. Feeder Conductors Shown are for 200 AMP Service.
3. All Service Hook-Ups shall be performed by OTHERS.
4. An intersystem bonding termination at the Service Equipment shall be provided. (by Others)
5. A concrete-encased electrode, the foundation reinforcing steel shall be connected to the grounding electrode system. (by others)
6. Electrode shall be either: A. Iron or Steel Galv. Pipe (3/4"Ø min.) 8' in length, or B: Iron or Steel Rod (5/8"Ø min.) 8' in length.
7. Wiring is Non-Metallic Sheathed Copper – 90° Type NMB
8. A 3-Way Switch is provided at top of Stairs (by GHC) to operate with 3-Way at bottom of Stairs (installed by BLDR.)
9. ATTICS are not appropriate for Storage.
10. All Electrical Devices are (4) Listed
11. A Recept. is Req'd within 25' of ea. Heating, A/C, and (or) Refrig. Unit, If Located in a Crawlspace, or Below Grade Level, or in an unfinished Basement, the Recept. must be G.F.C.I. PROTECTED.
12. Receptacle outlets serving countertops in kitchen, dining, island, or peninsula areas shall be located so that no point is more than 24" from a receptacle and be installed above or within 12" of countertop.
13. Dwelling units require at least one receptacle in bathrooms, outdoors at grade level, laundry areas, basements, garages, and hallways of 10' or more. Recept. outlets in bathrooms shall be installed adjacent to each basin location.
14. All 125-Volt 15 and 20 Amp recepts. shall be listed Tamper-Resistant.
15. Ceiling fan supports boxes shall be Labeled and approved.
16. Boxes used @ lighting fixtures shall be designed for that purpose. Device boxes shall not be used for support of fixtures.
17. All recessed incandescent fixtures shall have thermal protection & be so identified, shall be properly installed, be of proper construction and provide adequate clearances. This includes Fan/Light combinations.
18. Fixtures in clothes closets shall have proper clearances from incandescent fixtures with open or partially enclosed lamps and pendent fixtures or lampholders shall not be permitted.
19. In addition to an AC primary power source, Smoke Detectors shall receive power from a battery backup in case of power loss.
20. Smoke detectors shall be provided in the immediate vicinity of ea. Bedroom within each bedroom, and in each story within a dwelling. (R-2,R-3)
21. Actuation of one Smoke Detector will actuate all of the Alarms.
22. Openings @ elec. penetrations shall be firestopped On-Site by OTHERS once inter-module connections have been made.
23. Any ATTIC or CRAWLSPACE Equipment installed by BUILDER shall have a switched lighting (G.F.C.I. Protected) outlet within the immediate vicinity of that Equipment.
24. Proper thermal overload protection shall be required for all motors. A disconnecting means shall be located in sight from the motor location and the driven machinery location and each motor shall be provided with an individual disconnecting means.
25. An Electrode encased by at least 2" of concrete, in direct contact with Earth, consisting of at least 20' of 1/2" Steel Rod or bare Copper (4AWG) conductor shall be considered as a grounding electrode.
26. Emergency disconnect shall be installed on site by Licensed Electrician in accordance with NEC, Article 230.85 Rule 870



SUGGESTED SERVICE CONNECTION
240 VOLT - SINGLE PHASE - 200 AMP - DWELLING SERVICE

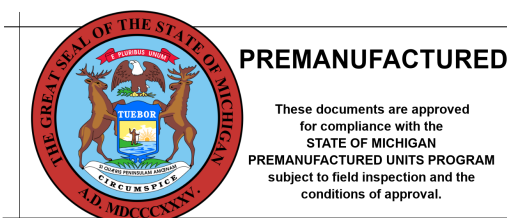
MECHANICAL NOTES (2015 MRC)

1. Bathroom Ventilation Rate = 50 cfm Kitchen Ventilation Rate = 100 cfm
2. Bathroom Exhaust Fans ducted to Outside via a Soffit Vent.
Exhaust openings shall not terminate within 3' of a vented section of Soffit.
3. The standard GHC Range Hood is Ductless. The Optional Vented Range Hood shall discharge to the outside thru a single-wall Duct with a backdraft damper.
4. Optional ELEC. Baseboards: (H-040): "Q-MARK" (std. density 250 WPF)
5. Factory-Built Chimneys, installed by GHC, carry the UL label and shall be installed according to the Manufacturer's specification.
6. Heat Loss is calculated @ -10°F (outside temp.) & +72°F (inside temp.), 15MPH Wind, & 8" Masonry Foundation (2 Blocks above Grade)
7. Factory built chimneys shall be protected from physical damage and supported to handle the load of the chimney. Floor and ceiling penetrations shall be firestopped in accordance with the building code.
8. Combustion-Air for Opt. Fireplace via a Vent stubbed thru the floor.
NOTE: Basement Houses must be ducted to Outside. (by BLDR.)
9. Underfloor spaces containing equip. requiring access shall be provide with an access opening large enough to allow removal of the largest equipment, but not less than 30"x30" in size. A 24"x36" opening is also approved.
10. GHC installs a pull wire in the wall cavity in order for onsite HVAC contractor to install a thermostat wire. A programmable thermostat is provided and installed onsite by Others.
11. Whole House Mechanical Ventilation Systems shall be designed in accordance with Sections M1507.3.1 through M1507.3.3.

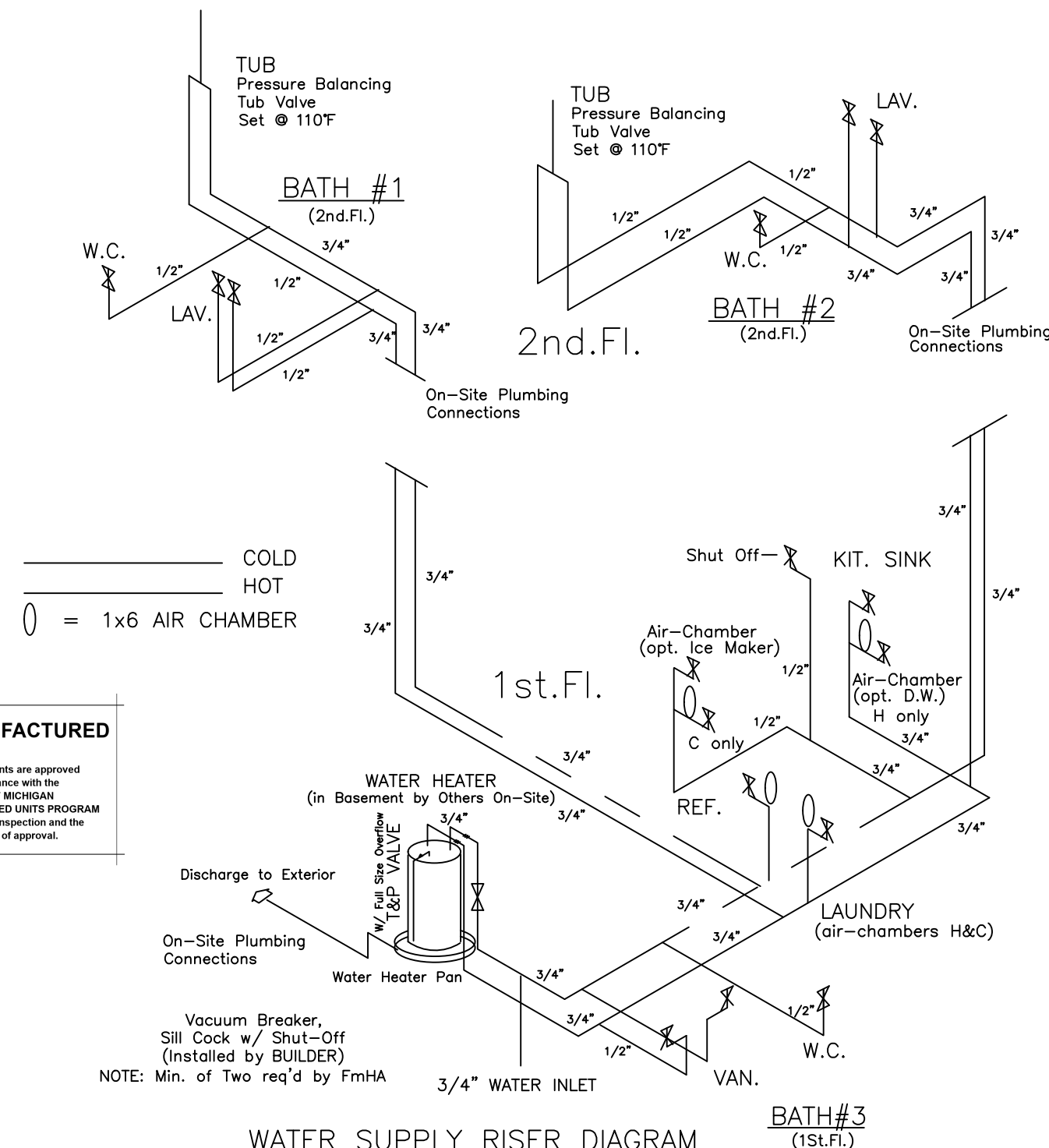


PLUMBING RISER DIAGRAM

TABLE P3105.1			
Trap	Drain	Slope	Distance from Trap
1-1/4"	1-1/2"	1/4"	5'
1-1/2"	1-1/2"	1/4"	6'
1-1/2"	2"	1/4"	8'
2"	2"	1/4"	8'
3"	3"	1/8"	12'



1. Water Supply pipes and risers are "VANEX PEX" cross-linked polyethylene tubing. Specifications: SDR9 Wall Thickness, ASTM F-876, 100 psi @ 180'.
2. WATER HEATER: Transition from Metallic Pipe to PEX shall be located a min. 12" developed length of Copper Pipe from the Water Heater.
3. Supports for Horiz. Pipe runs shall not exceed 32"oc. Supports for Vert. runs shall not exceed 48"oc.
4. PEX Piping installed adjacent to a source of excessive heat (Boiler Vent) shall have 6" min. clearance.
6. Air Chambers are 1"x6" in compliance w/ ASSE-1010
7. In concealed locations where piping is installed thru holes or notches in studs, joists, rafters or sim. members less than 1.5" from the nearest edge of the member, the pipe shall be protected by shield plates. Shield plates shall be a min. of 1/16"-thick-steel, shall cover the area of the pipe where the member is notched, and shall extend a min. of 2" above sole and below top plates.
8. The flow velocity of the water distribution system shall be controlled to reduce the possibility of water hammer. A water hammer arrestor shall be installed where quick closing valves are utilized (dishwasher & washer-box). Water hammer arrestors shall conform to ASSE 1010. Access shall be provided.
9. Service and hose bibb valves shall be identified. All other valves installed in locations that are not adjacent to the fixture or appliance identified, indicating the fixture/appliance served.
10. Individual Shwr. and tub/shwr. combo-valves shall be equipped with combination pressure-balance/thermostatic/mixing valve types with a high limit stop in accordance with ASSE 1016 or CSA B125. The high limit stop shall be set to limit water temp. to a max. of 120°F.
11. The hot water supplied to bathtubs and whirlpool bathtubs shall be limited to a max. temp. of 120°F by a water-temperature-limiting device that conforms to ASSE 1070.
12. WHIRLPOOL TUB: Access shall be provided to circulation pumps with a 12"x12" min. opening.
13. Drainage Pipe & Fittings smaller than 3" are Schedule 40 PVC Pipe (3" pipe is Schedule 30).
14. 1/2" wire pipe supports @ 48" O.C. max.
15. Horiz. to Vert. fittings are Sanitary Tees; all others are Long-Turn Fittings.
16. Pipe & fittings are NSF Listed.
17. WATER HEATERS: The discharge from the relief valve shall be piped full-size seperately to the outside of the building. In areas subject to freezing, the relief valve shall discharge thru air gap into an indirect waste receptor located within a heated space.
18. Where water heaters are installed in locations where leakage of the tanks or connections will cause damage, the water heater shall be installed in a pan.
19. The pan drain shall extend full-size and terminate over a suitably located indirect waste receptor or floor drain or extend to the exterior of the building and terminate not less than 6" or more than 24" above the adjacent ground surface.
20. The discharge from an automatic clothes washer shall be thru an air-break.
21. Standpipes shall be individually trapped. Standpipes shall extend 18"(min.) and 42" (max.) above the trap. Access shall be provided to standpipe traps & drains for rodding.
22. Each fixture trap shall have a vent located so that the slope and the developed length in the fixture drain from the trap weir to the vent fitting are per Table P3105.1
23. Fixtures with concealed Joints shall be cemented so as to form a solid connection. (Capes & Two-Story Plans)



WATER SUPPLY RISER DIAGRAM

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E BAYVIEW DUPLEX.....16024
Basement, 3-Bed, 2.5-Bath
Electrical, Mechanical & Plumbing Notes

MODEL

SHEET
 - 12 of 12



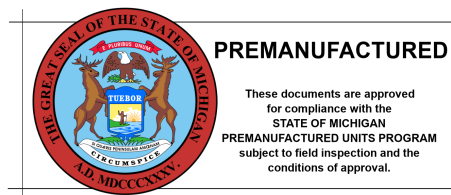
Generated by REScheck-Web Software Compliance Certificate

Section IX, Itema.

Project BAYVIEW DUPLEX

Energy Code: **2009 IECC**
Location: **Mackinac Island, Michigan**
Construction Type: **Single-family**
Project Type: **New Construction**
Conditioned Floor Area: **3,304 ft²**
Glazing Area: **10%**
Climate Zone: **7 (8350 HDD)**
Permit Date:
Permit Number:
All Electric: **false**
Is Renewable: **false**
Has Charger: **false**
Has Battery: **false**
Has Heat Pump: **false**

PR2024BCC-003007



Construction Site:

Owner/Agent:

Designer/Contractor:

Compliance: Passes using UA trade-off

Compliance: **1.0% Better Than Code** Maximum UA: **415** Your UA: **411**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	1,652	49.0	0.0	0.026	0.026	43	43
Wall: Wood Frame, 16" o.c.	3,132	19.0	0.0	0.060	0.057	165	156
Door: Solid Door (under 50% glazing)	78			0.140	0.350	11	27
Window: Vinyl Frame	309			0.330	0.350	102	108
Crawl Wall: Solid Concrete or Masonry Wall height: 4.0' Depth below grade: 3.0' Insulation depth: 3.0'	1,652	14.0	0.0	0.073	0.065	90	81

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2009 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title _____ Signature _____ Date _____

PR2024BCC-003007



PREMANUFACTURED

These documents are approved
for compliance with the
STATE OF MICHIGAN
PREMANUFACTURED UNITS PROGRAM
subject to field inspection and the
conditions of approval.

Truss Mfr. Contact: Send for

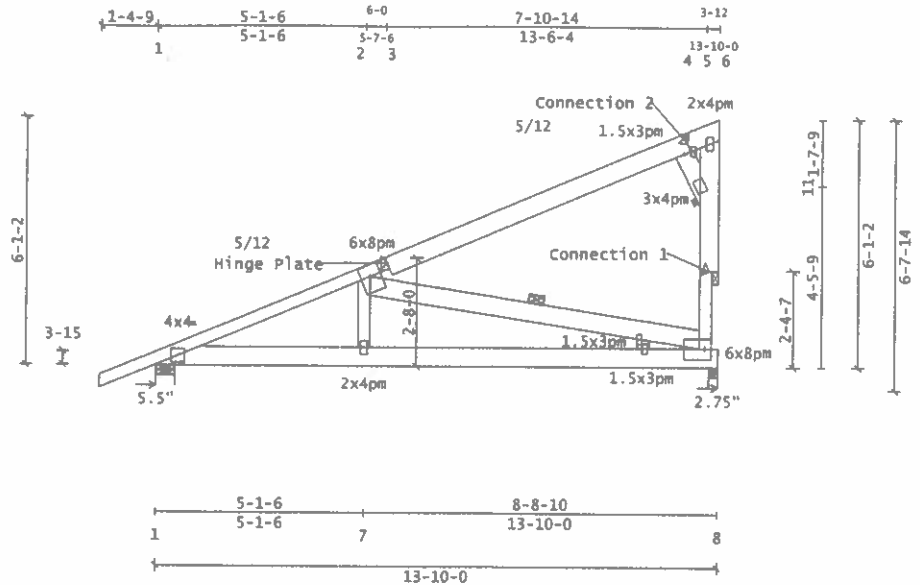
1. CONNECTION 1 AND CONNECTION 2 INDICATE REQUIRED FIELD CONNECTIONS. HINGE 1 INDICATES REQUIRED HINGE PLATE LOCATIONS. SEE SCHEDULE FOR FIELD CONNECTION, HINGE CONNECTION LOADS AND INSTALLATION REQUIREMENTS.
2. TIGHT FIT IS REQUIRED AT ALL MEMBERS AT THE JOINT.
3. ALL FIELD CONNECTIONS SHALL BE DESIGNED BY THE PROJECT ENGINEER AND CONFORM TO THE HOME MANUFACTURES INSTALLATION DETAILS.
4. WARNING: FAILURE TO PROVIDE PROPER FIELD CONNECTIONS MAY RESULT IN INADEQUATE STRUCTURAL PERFORMANCE.
5. CONTACT SIMPSON STRONG-TIE FOR CONNECTION OPTIONS.

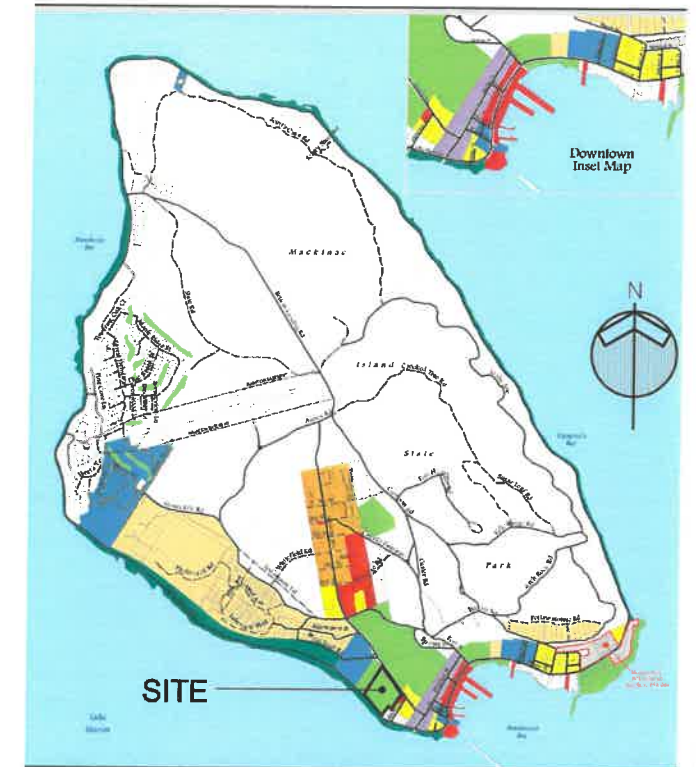
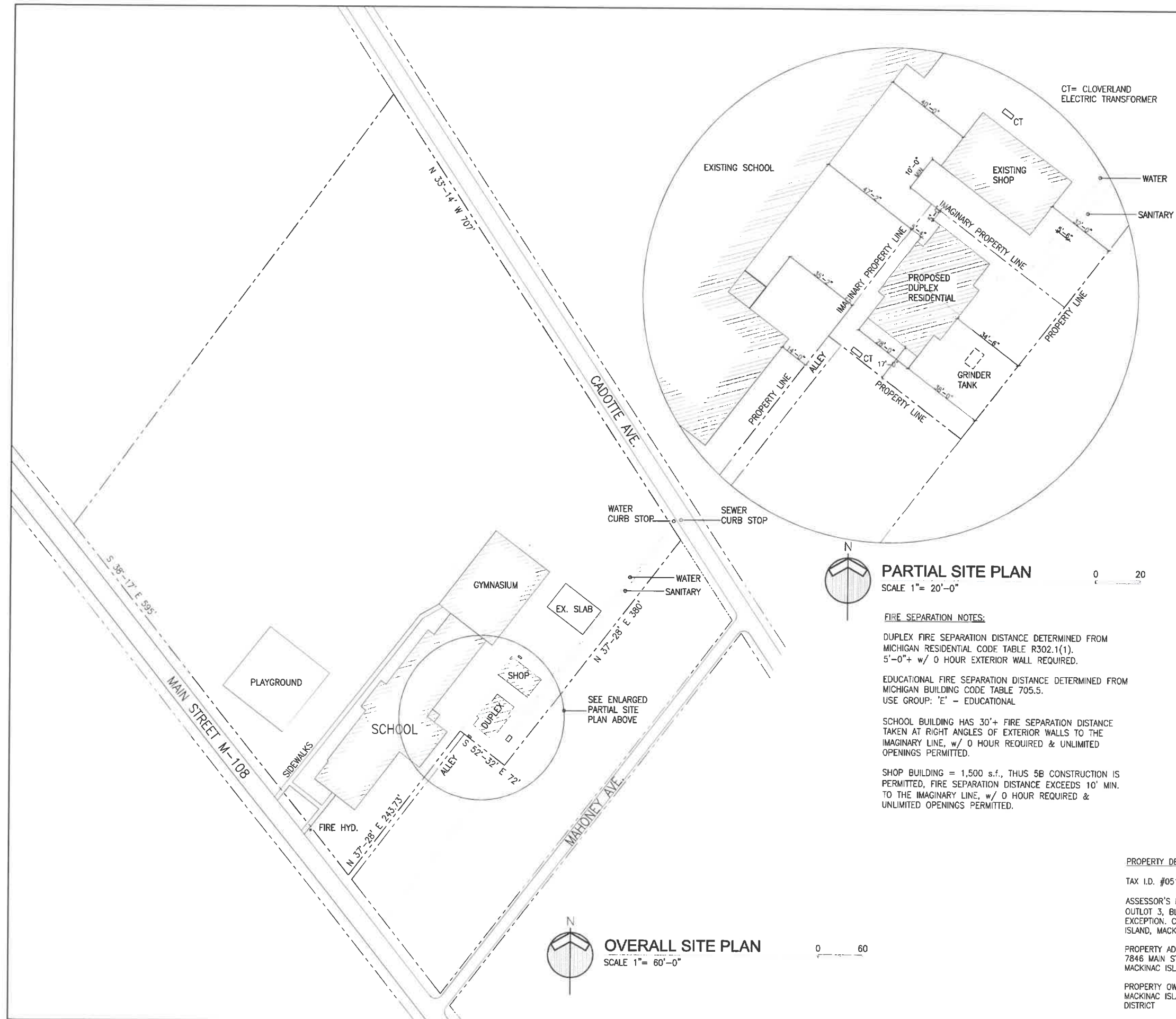
FIELD CONNECTION SCHEDULE AND DESIGN LOADS:			
TYPE	MAXIMUM LOAD (lbs)	AXIAL	SHEAR
CONNECTION 1	145T / 528C	01	
CONNECTION 2	205T / 233C	408	

HINGE CONNECTION SCHEDULE:			
TYPE	MAXIMUM LOAD (lbs)	AXIAL	SHEAR
HINGE 1	106T / 259C	408	

CONNECTION SCHEDULE NOTES:

- T-TENSION LOAD
- C-COMPRESSION LOAD
- ALL CONNECTIONS SHALL BE DESIGNED TO RESIST THE COMBINED AXIAL - SHEAR LOAD SPECIFIED ABOVE.
- HINGE PLATE PRODUCTS USED IN THIS DESIGN SHALL HAVE A TESTED/EVALUATED, ALLOWABLE CAPACITY THAT EXCEEDS THE DESIGN FORCES SPECIFIED IN THE HINGE CONNECTION SCHEDULE AND BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
- HINGE PLATE PRODUCTS USED IN THIS DESIGN SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, TEST REPORT AND/OR PRODUCT EVALUATION REPORT.
- HINGE CONNECTION JOINTS SHALL HAVE NO GAP AND PROVIDE A MINIMUM OF 2" WOOD TO WOOD CONTACT BETWEEN HINGED MEMBERS WHEN HINGED SECTION IS RAISED TO ITS FINAL POSITION.





Richard Clements Architect, PLLC
13225 Merry Lane
Oshtemo, MI 49759
richard@rcaarchitect.com 989-370-3681

MACKINAC ISLAND SCHOOL
DISTRICT - NEW DUPLEX
7846 MAIN STREET
MACKINAC ISLAND, MI 49757

revised:
date: Apr. 17, 2025
project: 2515

sheet:
A1.0
SITE PLAN
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DRAWING INDEX — BAYVIEW DUPLEX					
FOUNDATION PLAN	FIRST FLOOR PLAN	SECOND FLOOR PLAN	EXTERIOR ELEVATION	EXTERIOR ELEVATIONS	EXTERIOR ELEVATION
A-1	A-2	A-3	A-4	A-5	A-6
ELECTRICAL PLAN	ELECTRICAL PLAN	NOT USED	NOT USED	CROSS SECTION	MECHANICAL/ELECT./PLUMB. NOTES
A-7	A-8	A-9	A-10	A-11	A-12

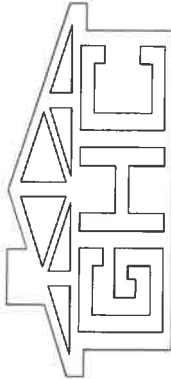
The Plans contained herein comply with the 2015 MICHIGAN RESIDENTIAL CODE,
(Building, Electrical, Mechanical, Plumbing & Energy)

DESIGN CRITERIA
1. USE GROUP R-3
2. CONST. TYPE: 5B
3. AREA: 3,304 Sq.Ft.
4. DESIGN LOADS: a. FL. LIVE= 40 PSF. b. FL. DEAD= 10 PSF.
5. SNOW LOAD: 70 PSF.
6. WIND LOAD: 115 MPH



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MODEL	TITLE
DUPLEX	BAYVIEW DUPLEX.
SHEET	CRAWLSPACE
INDEX	INDEX



GENERAL HOUSING CORPORATION
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PLANT: 4644 FRASER RD. 48706 BAY CITY, MI

DRN 06/20/24 JLR
REV

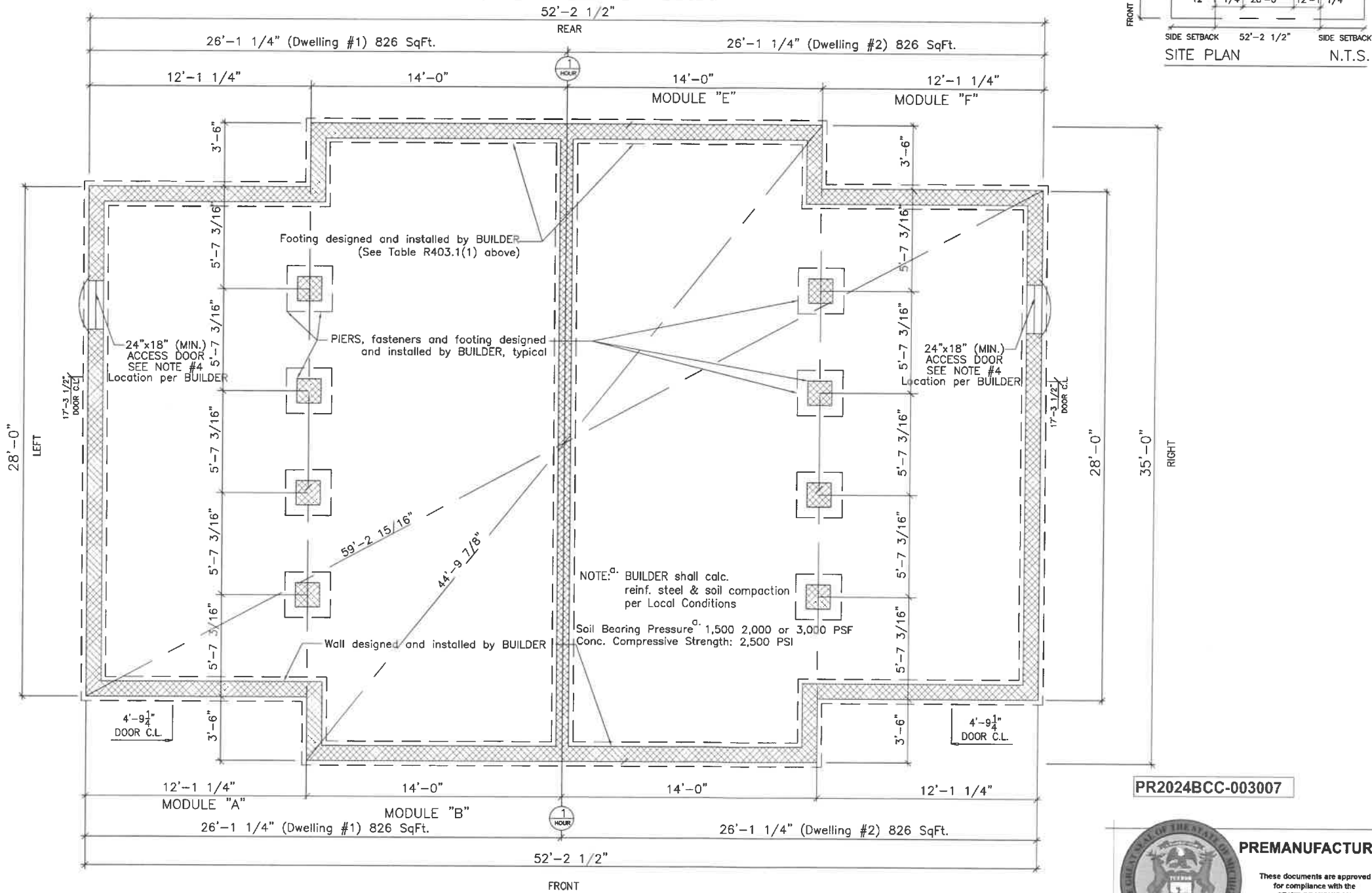
August 22, 2024 H:\CUSTOM FPF\FLOORPLANS\63XX-SERIES\6318\STATE SUBMITTAL\6318 PLAN SET.dwg

August 22, 2024 H:\CUSTOM FPF\FLOORPLANS\63XX-SERIES\6318\STATE SUBMITTAL\6318 PLAN SET.dwg

CONCRETE FOOTINGS						
Min. width and thickness for Concrete Footings for Light-Frame construction.						
SNOW LOAD	HOUSE TYPE	SOIL BEARING (psf)				
		1500	2000	2500	3000	4000
30	1-STORY...Crawlspace	13x6	12x6	12x6	12x6	12x6
	2-STORY...Crawlspace	19x6	14x6	12x6	12x6	12x6
40	1-STORY...Crawlspace	16x6	12x6	12x6	12x6	12x6
	2-STORY...Crawlspace	19x6	14x6	12x6	12x6	12x6
70	1-STORY...Crawlspace	18x6	13x6	12x6	12x6	12x6
	2-STORY...Crawlspace	21x6	16x6	13x6	12x6	12x6

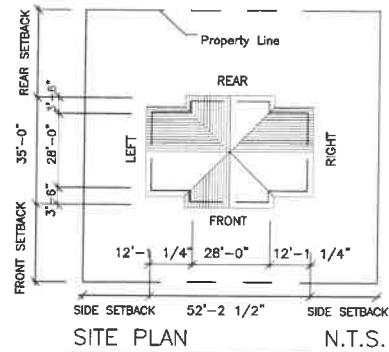
TABLE R403.1(1)

- CRAWLSPACE NOTES
- Crawlspace ventilation required per Michigan Residential Code
 - Foundations are not provided by GENERAL HOUSING CORPORATION. Basic Overall Dimensions Only are Provided on this Plan. Foundation Design & Specifications Shall be based on Local Conditions, & Subject to Local Codes and are the Responsibility of OTHERS.
 - When Required, Sump Pump Shall be provided for Crawlspace Drainage. (by OTHERS)
 - Crawlspace access required per Michigan Residential Code



FOUNDATION PLAN

DUPLEX
SCALE: 1/4" = 1'-0"



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MODEL

TITLE

DUPLEX
Crawlspace, 3-Bed, 2.5-Bath
FOUNDATION PLAN.....1/4"

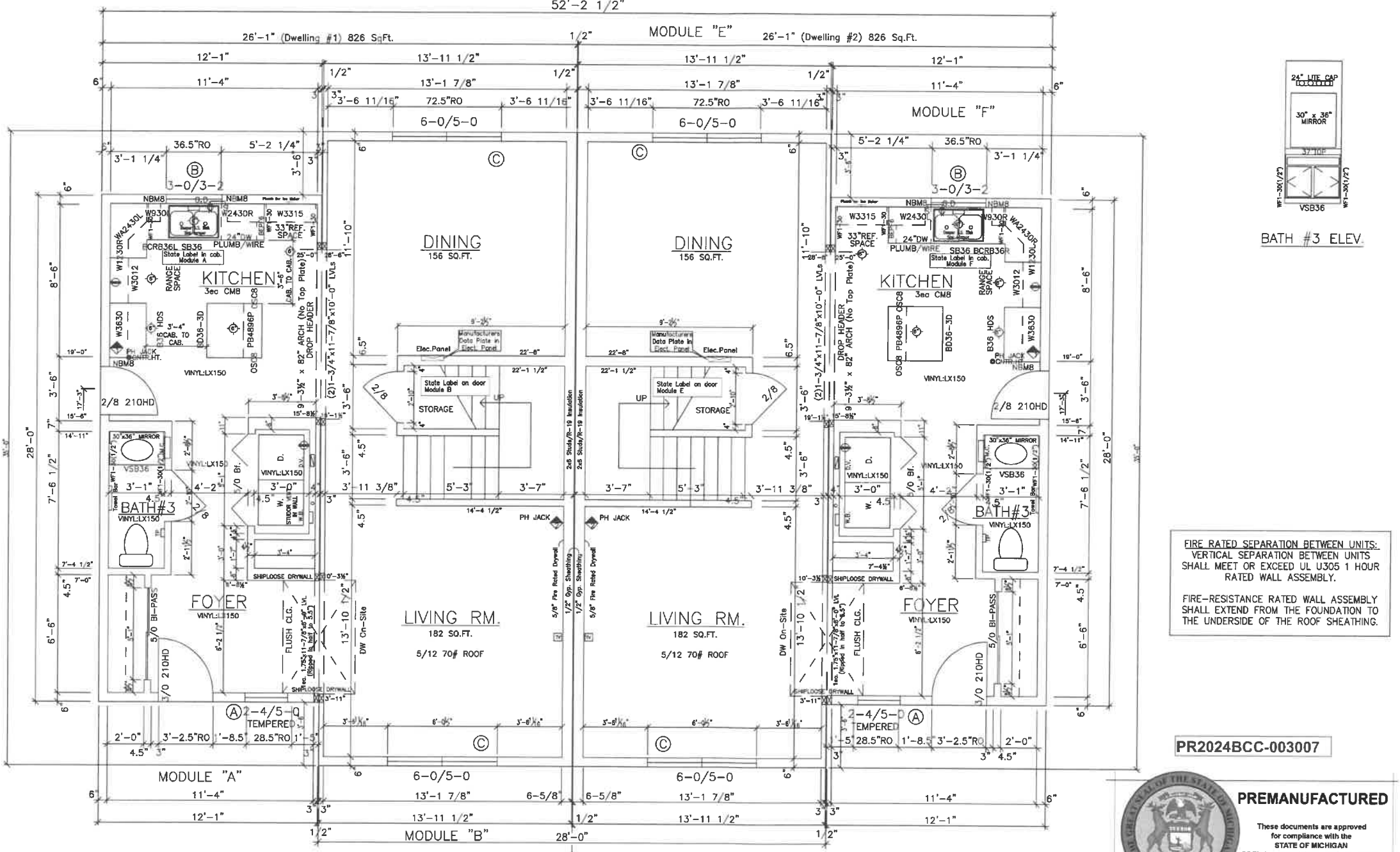
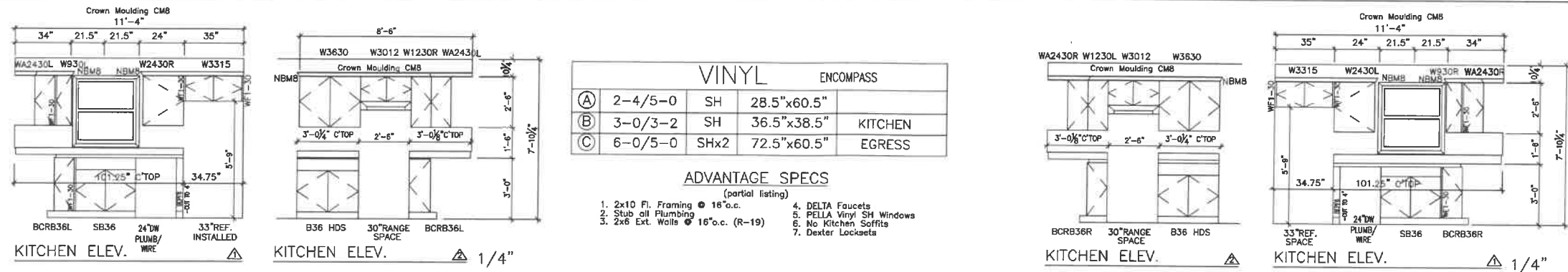
SHEET

A-1 of 12

GENERAL HOUSING CORPORATION

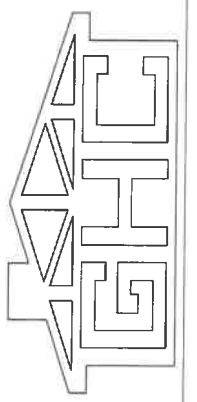
OFFICE: 4650 E. WILDER RD. 4844 FRASER RD.
BAY CITY, MI 48706 BAY CITY, MI 48706

DRN 5-15-17 ksl
REV 07/10/24 JLR



DRN 4/18/17 RMN
REV 07/10/24 JLR
07/17/24 RMN
7-19-24 JJS

GENERAL HOUSING CORPORATION
OFFICE: 4650 E. WILDER RD. 4844 FRASER RD.
BAY CITY, MI 48706



TITLE
DUPLX
Crawlspace, 3-Bed, 2.5-Bath
1st. FLOOR PLAN.....1/4"

MODEL

SHEET
A-2 of 12

FIRE RATED SEPARATION BETWEEN UNITS:
VERTICAL SEPARATION BETWEEN UNITS
SHALL MEET OR EXCEED UL U305 1 HOUR
RATED WALL ASSEMBLY.

FIRE-RESISTANCE RATED WALL ASSEMBLY
SHALL EXTEND FROM THE FOUNDATION TO
THE UNDERSIDE OF THE ROOF SHEATHING.

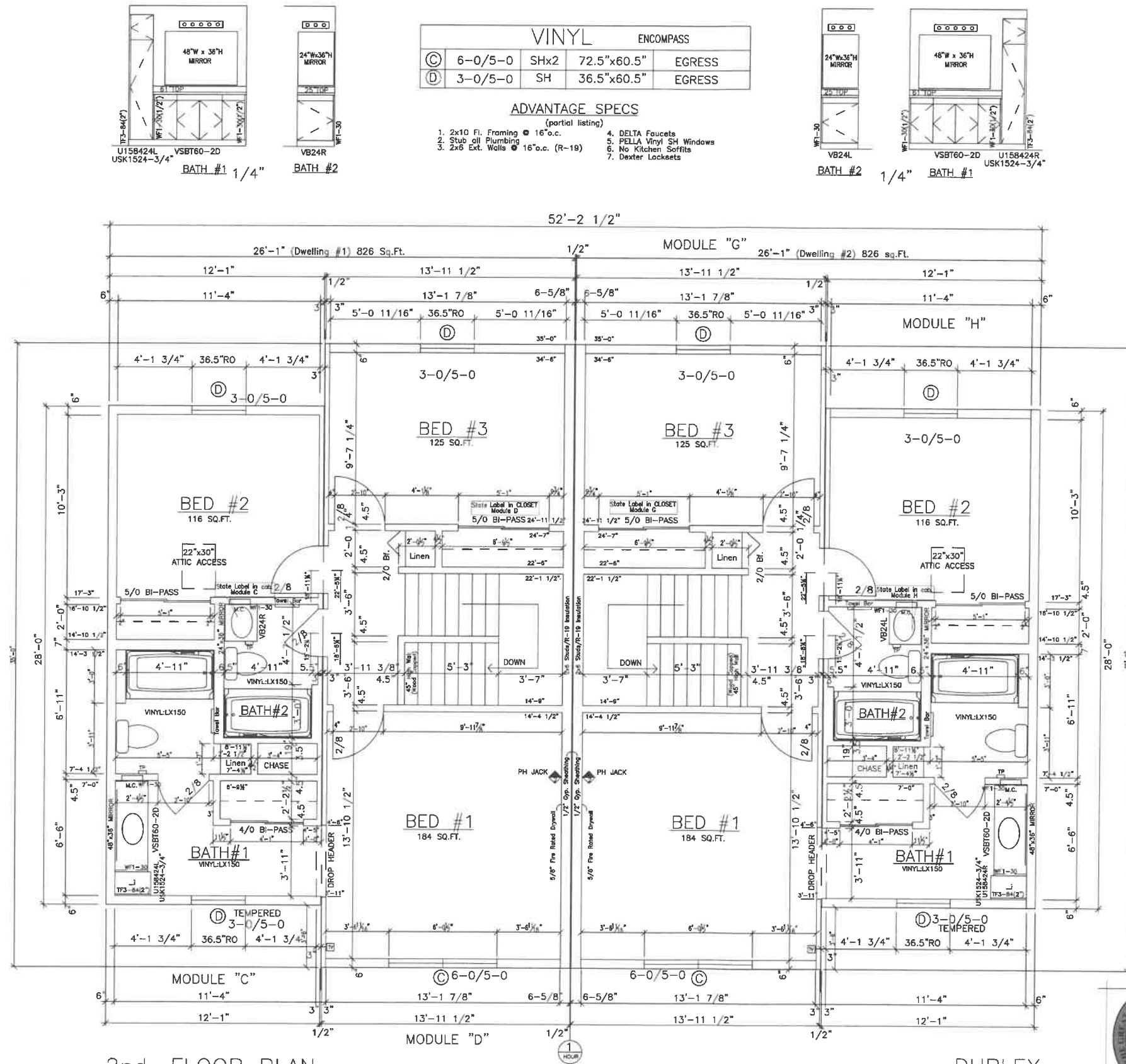
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FIRE RATED SEPARATION BETWEEN UNITS:
VERTICAL SEPARATION BETWEEN UNITS
SHALL MEET OR EXCEED UL U305 1 HOUR
RATED WALL ASSEMBLY.

FIRE-RESISTANCE RATED WALL ASSEMBLY
SHALL EXTEND FROM THE FOUNDATION TO
THE UNDERSIDE OF THE ROOF SHEATHING.

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MODEL

TITLE
DUPLX
Crawlspace, 3-Bed, 2.5-Bath
2nd. FLOOR PLAN.....1/4"

SHEET
A-3 of 12

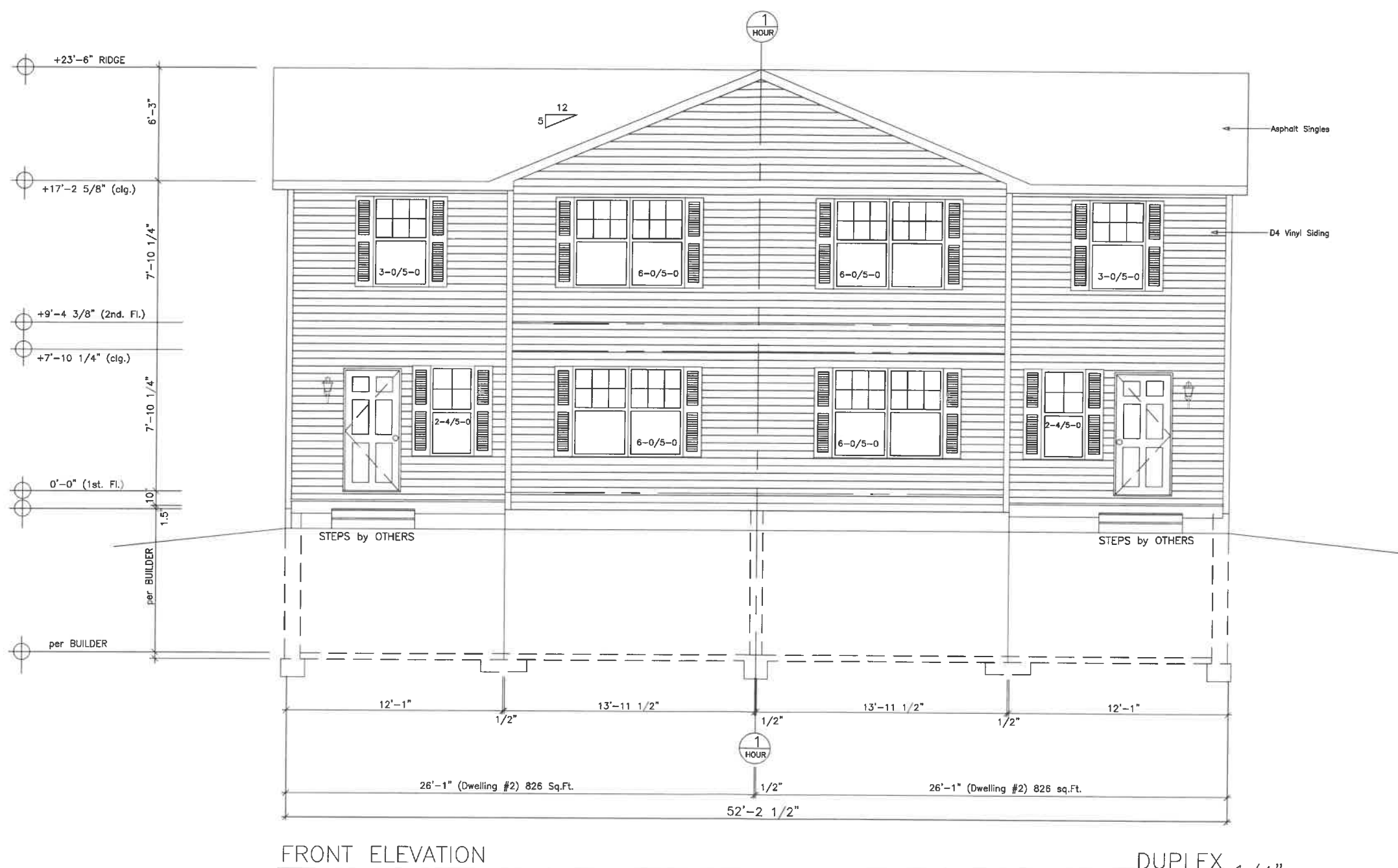
**GENERAL HOUSING
CORPORATION**

OFFICE: WILDER RD. 4644 FRASER RD.
BAY CITY, MI 48706

DRN 4/18/17 RMN
REV 07/10/24 JLR

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EXTERIOR ELEVATIONS ARE FOR ILLUSTRATION PURPOSES ONLY AND DO NOT REFLECT EXACT MEASUREMENTS OR ALIGNMENT.



DUPLEX
SCALE: 1/4"

PR2024BCC-003007



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MODEL

TITLE

DUPLEX
CrawlSpace, 3-Bed, 2.5-Bath
EXTERIOR ELEVATIONS.....1/4"

SHEET
A-4 of 12

GENERAL HOUSING
CORPORATION

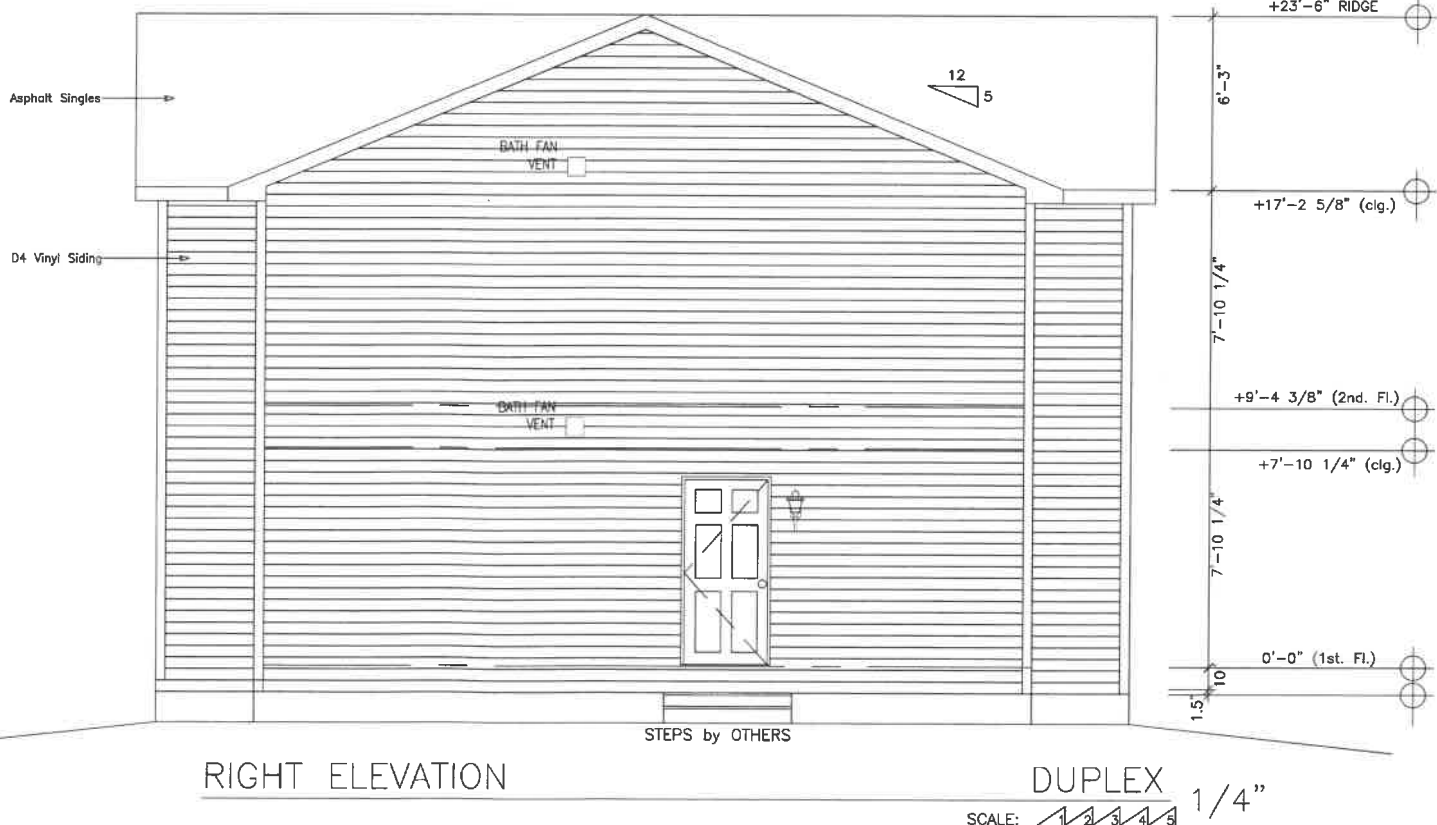
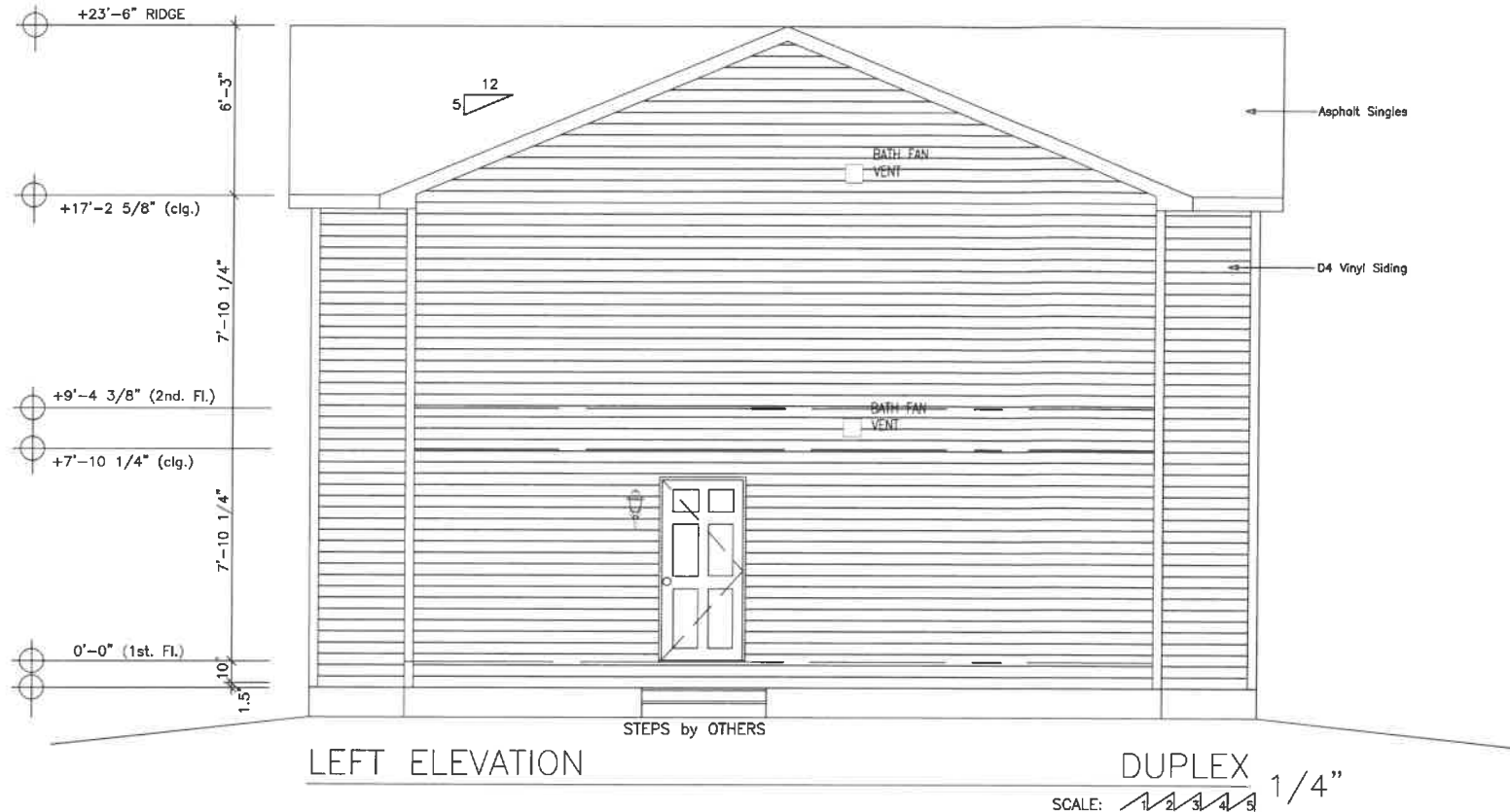
OFFICE: 4650 E. WILDER RD. 4844 FRASER RD.
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DRN 4-14-17 KSL
REV 07/10/24 JLR



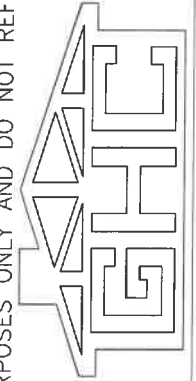
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MODEL	TITLE DUPLIX Crawlspace, 3-Bed, 2.5-Bath, EXTERIOR ELEVATIONS.....1/4"	DRN 4-14-17 KSL
		REV 07/10/24 JLR
SHEET A-5 of 12	GENERAL HOUSING CORPORATION OFFICE: 4650 E. WILDER RD. 4844 FRASER RD. BAY CITY, MI 48706 BAY CITY, MI 48706	

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REAR ELEVATION

DUPLEX
SCALE: 1/2" = 1'-0" 1/4"

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DRN 4-14-17 KSL
REV 07/10/24 JLR

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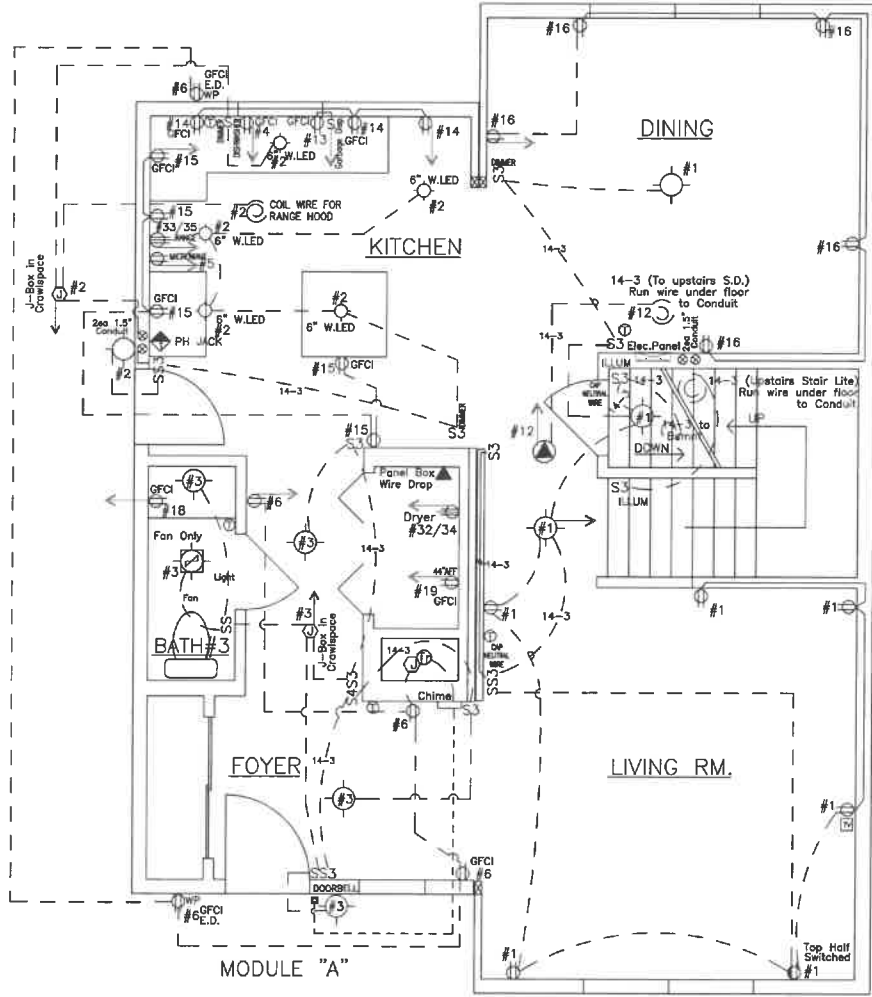


TITLE
DUPLEX
Crawlspace, 3-Bed, 2.5-Bath
EXTERIOR ELEVATIONS.....1/4"

MODEL
SHEET
A-6 of 12

ELECTRIC PANEL SCHEDULE (40 SPACE - 200 AMP)									
NO	CIRCUIT	VOLT	AMP	WIRE (W/G)	WIRE (W/G)	AMP	VOLT	CIRCUIT	NO
1	Living Room/Dining Lighting	120	15	14-2	14-2	15	120	Kitchen Lighting	2
3	Foyer/Hall/Bath#3	120	15	14-2	14-2	15	120	Dishwasher	4
5	Microwave	120	15	14-2	14-2	15	120	Hall/Exterior Recepts.	6
7	Bedroom #3	120	15	14-2	14-2	15	120	Upstairs Hall/Stairs	8
9	Bedroom #1	120	15	14-2	14-2	15	120	Bedroom #2	10
11	Bath#1/Bath#2	120	15	14-2	14-2	15	120	Smoke Detectors	12
13	Garbage Disp.	120	15	14-2	12-2	20	120	Kitchen Recepts.	14
15	Kitchen Recepts.	120	20	12-2	12-2	20	120	Dining Recepts.	16
17	Bath#1/Bath#2 Recepts.	120	20	12-2	12-2	20	120	Bath#3 Recept.	18
19	Laundry	120	20	12-2				Spare	20
21	Spare							Spare	22
23	Spare							Spare	24
25	Spare							Spare	26
27	Spare							Spare	28
29	Spare							Spare	30
31	Spare							Spare	32
33	Range	240	50	6-3	10-3	30	240	Dryer	34
35									36
37	Spare					35		Surge Protection Device	38
39	Spare							Spare	40

Emergency disconnect shall be installed on site by Licensed Electrician in accordance with NEC, Article 230.85 Rule 870



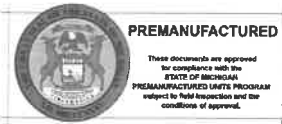
1st. FLOOR PLAN

(Dwelling Unit #1)

ELECTRICAL NOTES
1. Basement ELECTRICAL: GHC will stub all wires at the 1st. and 2nd. floors with enough wire coiled up to reach the panel box.
2. All basement wiring, switches, light fixtures, smoke detectors, etc. are by OTHERS on-site.

WIRES AT FLOOR ACCESS MODULE "C"
14-2 WIRE: Circuit #10,11
12-2 WIRE: Circuit #17,25/27
LEAVE 25' WIRE PER CIRCUIT

WIRES AT ATTIC ACCESS
14-3 WIRE: Circuit #12 (Smoke Detector)

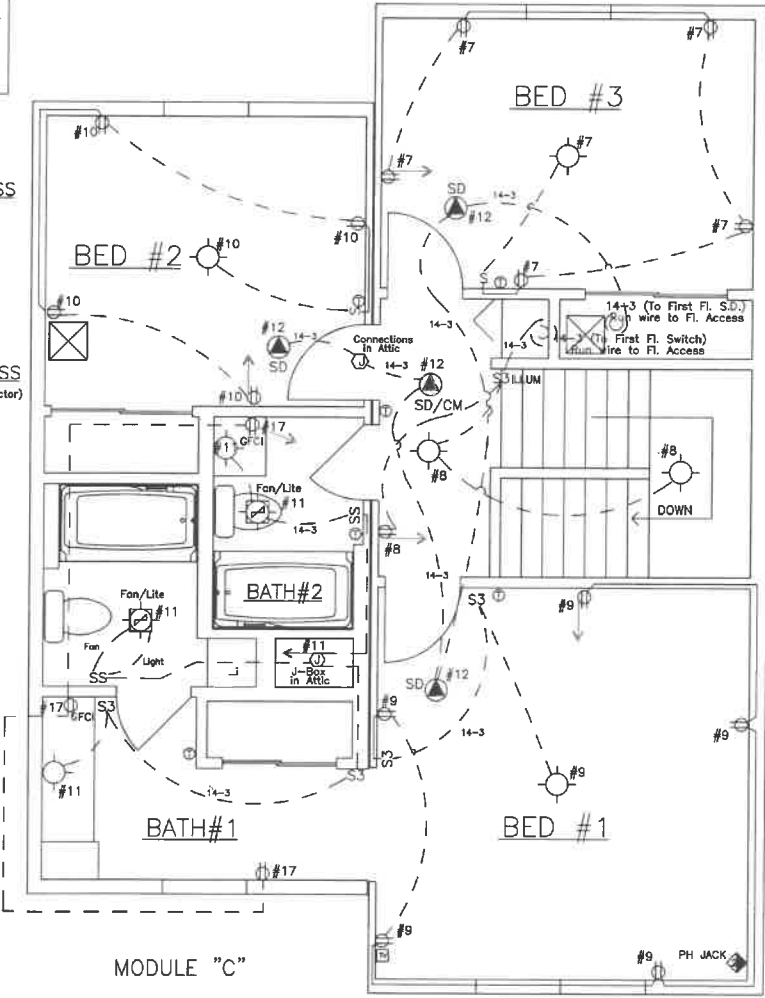


PR2024BCC-003007

ELECTRICAL LOAD CALCULATION

DATE:	8/22/2024
Model:	BAYVIEW DUPLEX
By:	GHC
Watts or Volt-Amps	
Air Conditioning (100%)	
Use the larger of the air-conditioning load or the electric space heating load.	
N/A	
Other Loads:	
Watts or Volt-Amps	
General Lighting - First Story	2478
General Lighting - Second Story	2478
Small Appliances	3000
Laundry (1500 Watts)	1500
Boiler	700
Dryer	5600
Water Heater	4500
Range	9300
Dishwasher	1450
Garbage Disposal	900
Surge Protection Device	0
Other: Baseboard Elec. Heat	250
Total:	31806
First 10KW of other Loads @ 100%	10,000
Remainder of other Loads @ 40%	8722.4
Total Calculated Load	18722.4
Service Size (Total Calculated Load / 230)	81.4017

30 THWN Entrance Cable
#4 Copper Grounding Conductor
Note: 200 AMP Panel supplied by GHC
4650 E. WILDER RD. BAY CITY, MICHIGAN 48706 PHONE:(989) 684-6078

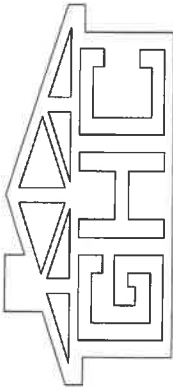


2nd. FLOOR PLAN

(Dwelling Unit #1)

DRN 4/11/17 RMN
REV 5/5/24 RMN
7/23/24 KRG

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BAY CITY, MI 48706 BAY CITY, MI 48706



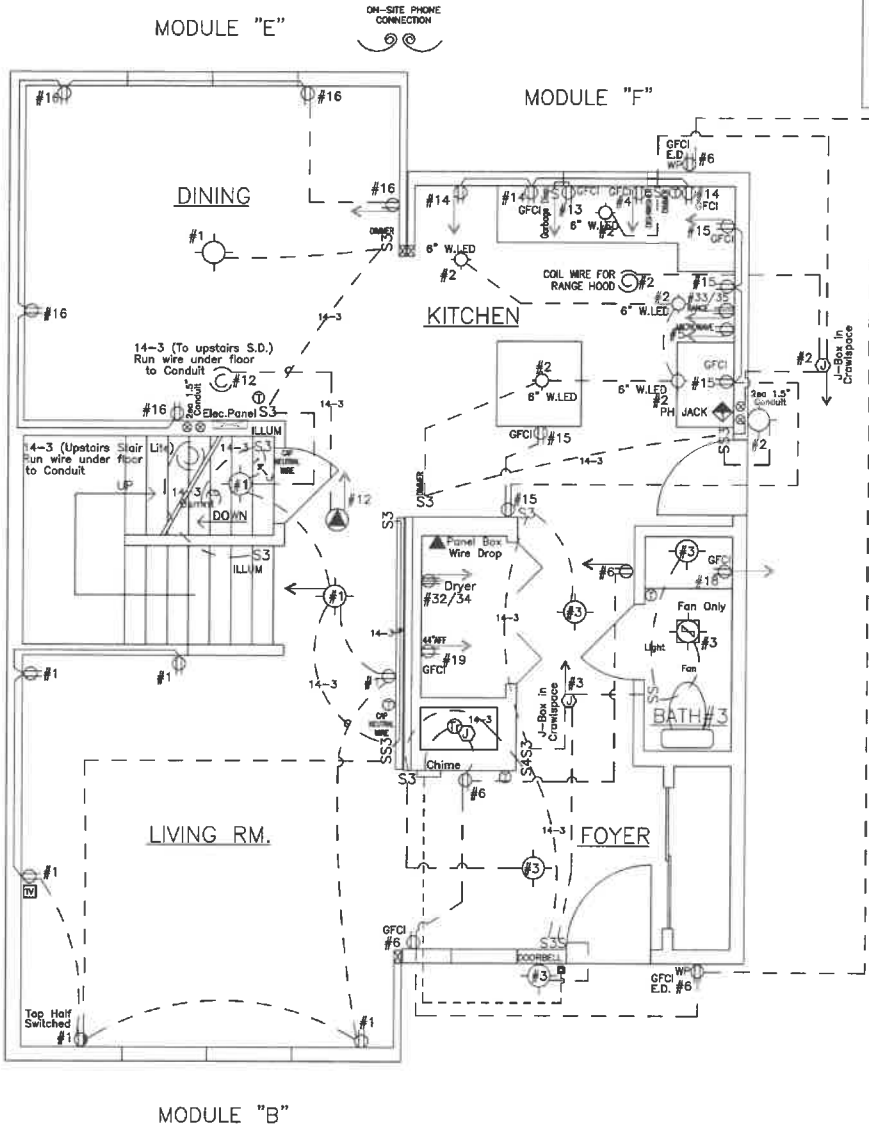
TITLE
DUPLX
Crawlspace, 3-Bed, 2.5-Bath
1st & 2nd. FLOOR ELEC. PLAN.....

MODEL
SHEET
A-7 of 12

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ELECTRIC PANEL SCHEDULE (40 SPACE - 200 AMP)									
NO	CIRCUIT	VOLT	AMP	WIRE (W/G)	WIRE (W/G)	AMP	VOLT	CIRCUIT	NO.
1	Living Room/Dining Lighting	120	15	14-2	14-2	15	120	Kitchen Lighting	2
3	Foyer/Hall/Bath#3	120	15	14-2	14-2	15	120	Dishwasher	4
5	Microwave	120	15	14-2	14-2	15	120	Hall/Exterior Recepts.	6
7	Bedroom #3	120	15	14-2	14-2	15	120	Upstairs Hall/Stairs	8
9	Bedroom #1	120	15	14-2	14-2	15	120	Bedroom #2	10
11	Bath#1/Bath#2	120	15	14-2	14-2	15	120	Smoke Detectors	12
13	Garbage Disp.	120	15	14-2	12-2	20	120	Kitchen Recepts.	14
15	Kitchen Recepts.	120	20	12-2	12-2	20	120	Dining Recepts.	16
17	Bath#1/Bath#2 Recepts.	120	20	12-2	12-2	20	120	Bath#3 Recept.	18
19	Laundry	120	20	12-2				Spare	20
21	Spare							Spare	22
23	Spare							Spare	24
25	Spare							Spare	26
27	Spare							Spare	28
29	Spare							Spare	30
31	Spare							Spare	32
33	Range	240	50	6-3			240	Dryer	34
35						35		Surge Protection Device	36
37	Spare								38
39	Spare							Spare	40

Emergency disconnect shall be installed on site by Licensed Electrician in accordance with NEC, Article 230.85 Rule 870

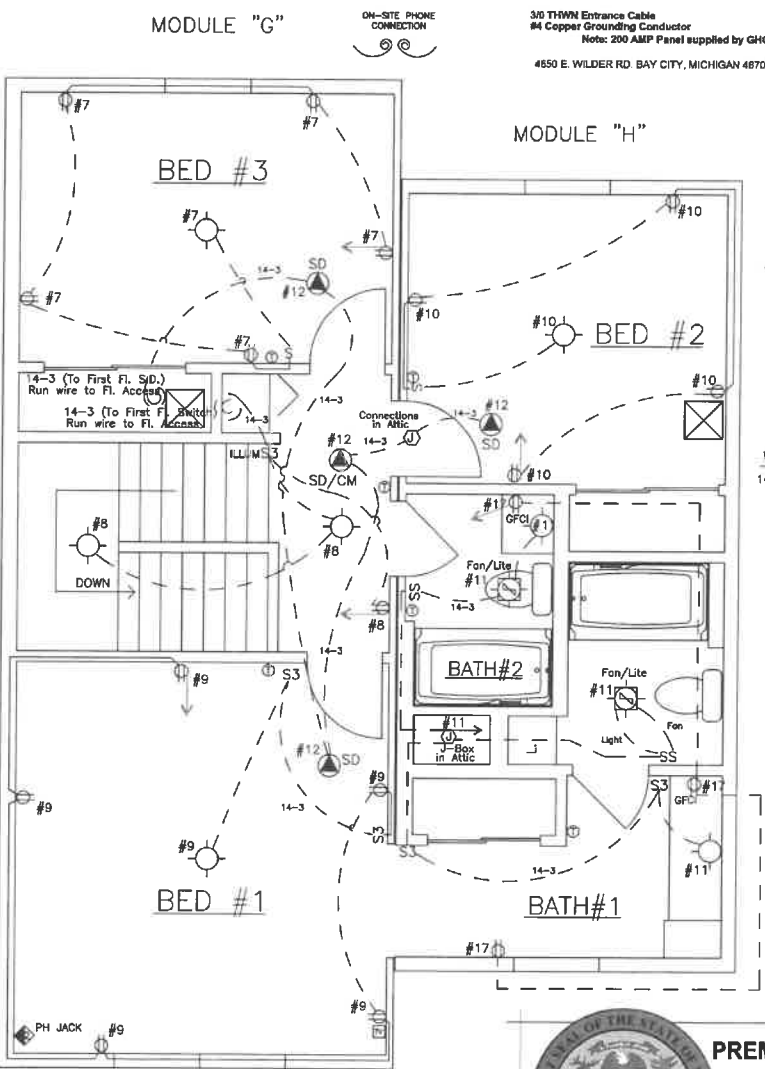


1st. FLOOR PLAN (Dwelling Unit #2)

- ELECTRICAL NOTES**
1. Basement ELECTRICAL: GHC will stub all wires at the 1st. and 2nd. floors with enough wire coiled up to reach the panel box.
 2. All basement wiring, switches, light fixtures, smoke detectors, etc. are by OTHERS on-site.

WIRES AT FLOOR ACCESS MODULE "G"

14-2 WIRE: Circuit #7,8,9
14-3 WIRE: Circuit #8 (Stair Light Switch)
14-3 WIRE: Circuit #12 (Smoke Detector)
12-2 WIRE: Circuit #28/30, #29/31
1ea. T.V. & Phone Wire
LEAVE 50' WIRE PER CIRCUIT



2nd. FLOOR PLAN (Dwelling Unit #2)

ELECTRICAL LOAD CALCULATION

DATE:	8/22/2024
Model:	RAYVIEW DUPLEX
By:	GHC
Watts or Volt-Amps	
Air Conditioning (100%)	
*Use the larger of the air-conditioning load or the electric space heating load.	
N/A	
Other Loads:	
Watts or Volt-Amps	
General Lighting - First Story	1 826 3 2478
General Lighting - Second Story	1 826 3 2478
Small Appliances	2 1500 3000
Laundry (1500 Watts)	1 1500 1500
Boiler	1 700 700
Dryer	1 5600 5600
Water Heater	1 4500 4500
Range	1 9300 9300
Dishwasher	1 1450 1450
Garbage Disposal	1 800 800
Surge Protection Device	1 0 0
Other: Baseboard Elec. Heat	0 280 280
Total:	31806
First 10KW of other Loads @ 100%:	10 000
Remainder of other Loads @ 40%:	8722.4
Total Calculated Load	18722.4
Service Size:(Total Calculated Load / 230)	81.4017

3/0 THWN Entrance Cable
#4 Copper Grounding Conductor
Note: 200 AMP Panel supplied by GHC
4650 E. WILDER RD. BAY CITY, MICHIGAN 48706 PHONE(888) 684-8078

WIRES AT FLOOR ACCESS MODULE "H"

14-2 WIRE: Circuit #10,11
12-2 WIRE: Circuit #17,25/27
LEAVE 25' WIRE PER CIRCUIT

WIRES AT ATTIC ACCESS

14-3 WIRE: Circuit #12 (Smoke Detector)

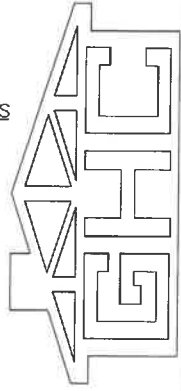


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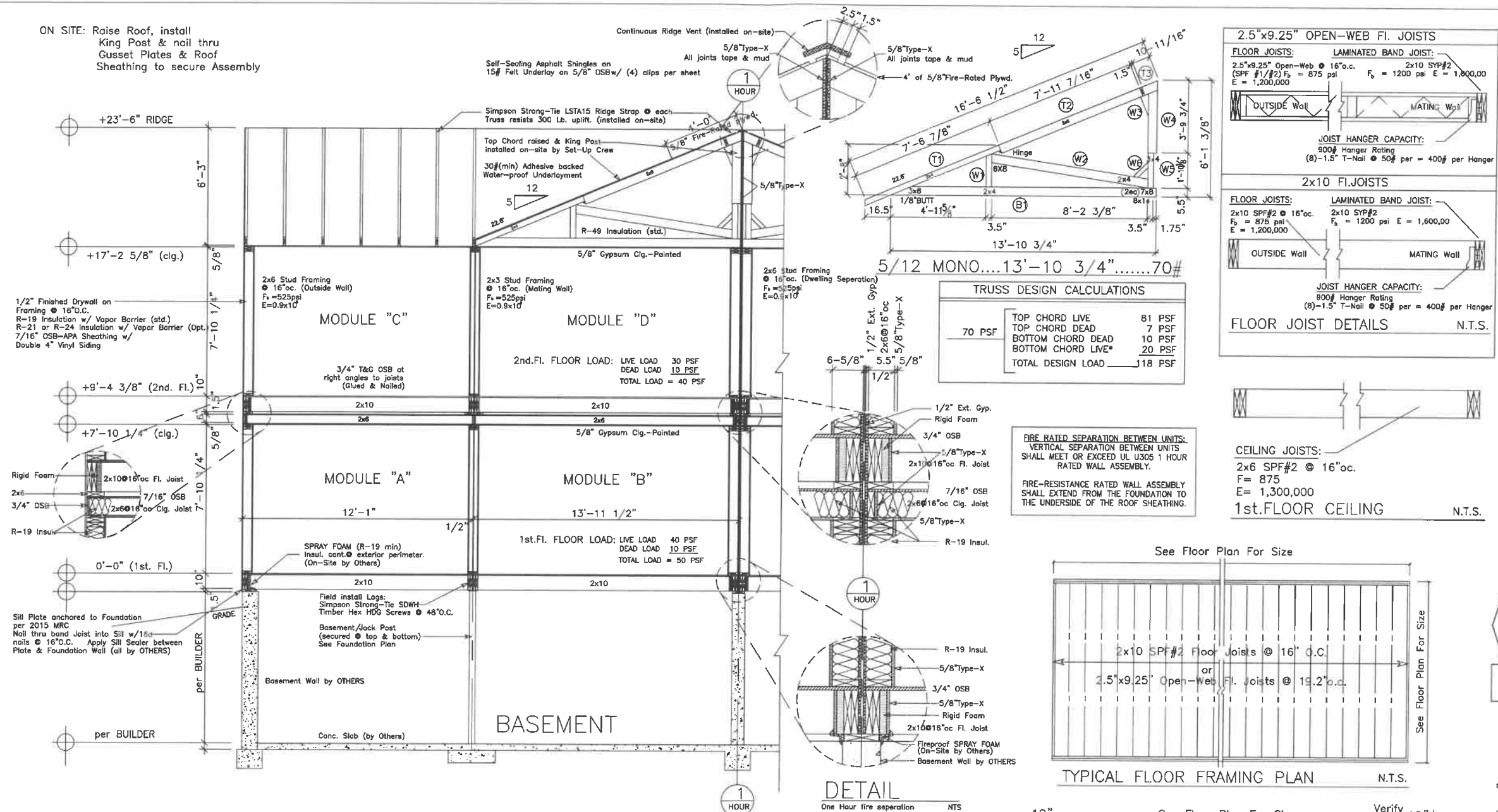


TITLE
DUPLX
Crawlspace, 3-Bed, 2.5-Bath
1st & 2nd. FLOOR ELEC. PLAN.....

MODEL
SHEET
A-8 of 12

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ON SITE: Raise Roof, install King Post & nail thru Gusset Plates & Roof Sheathing to secure Assembly



2-STORY DUPLEX Cross Section

SCALE: 1/4"

PR2024BCC-003007



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GENERAL NOTES (2015 Michigan Residential Code)

- Cont. Ridge Vent provides 18 Sq.in. of Net Free Vent Area PLF.
- Perforated Vinyl Soffit provides 6.07 Sq.in. plf (per Side) 6.07x1.5x2 = 18.21Sq.in. PLF
- ATTIC ACCESS: An opening not less than 22"x30" shall be provided to any Attic area having a clear height of over 30".
- FLAME SPREAD: All interior finishes meet Class III Flame Spread 76-200 as determined by ASTM E84.
- STAIRWAY HANDRAIL: Open Guardrails shall have balusters to prevent passage of a 4" diameter sphere.
- STAIRWAY HANDRAIL: Height shall be 34"-38" above tread nosing.
- On stairways with solid risers, a 1" nosing shall be provided.
- GUARDRAIL: Guardrails along open-sided floor areas, mezzanines and landings shall not be less than 36" in height. (R-3)
- The floor cut-out for the bathtub plumbing lines shall be firestopped.
- The DATA PLATE is located on the Elec. Panel Door.
- Temporary Approval Labels are located on the windows of Modules
- Silver APPROVAL LABELS are located:
"A" Module.....Kitchen Sink cabinet
"B" Module.....Basement door
"C" Module.....Bath #2 vanity cabinet
"D" Module.....Bed #3 Closet door
"E" Module.....Basement door
"F" Module.....Kitchen Sink cabinet
"G" Module.....Bed #3 Closet door
"H" Module.....Bath#2 Vanity cabinet

House Length	30'	32'	34'	36'
House Sq.Ft.	840	896	952	1008
RIDGE VENT CALCULATIONS (Sq.Ft.)				
Ventilation Req'd ¹	5.6	6.0	6.4	6.7
Ventilation Provided ²	6.5	6.4	6.8	7.2

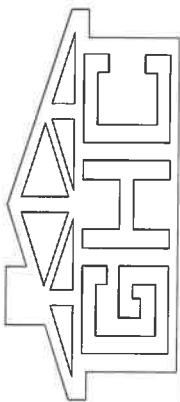
¹House Sq.Ft./150

²Cont. Ridge Vent provides 18 Sq.in. PLF.

²Perf. Soffit provides 6.07 Sq.in. PLF.

DRN KSL
DATE 4-14-17
REV

GENERAL HOUSING
CORPORATION
4650 E. WILDER RD.
BAY CITY, MICHIGAN 48706



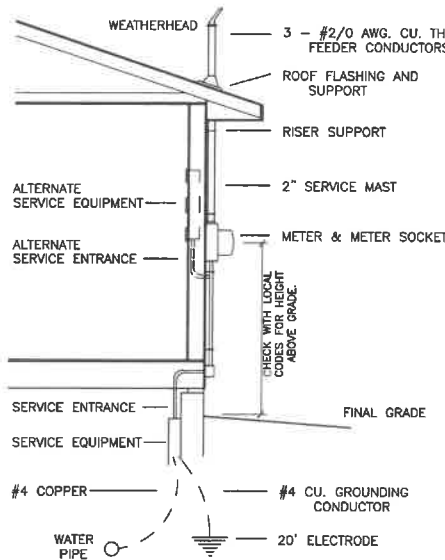
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TITLE
TWO STORY.....DUPLEX
Typical Basement & Crawlspace Details
Cross Section & Floor Framing

MODEL
SHEET
A-11 of 12

ELECTRICAL NOTES (2015 MRC)

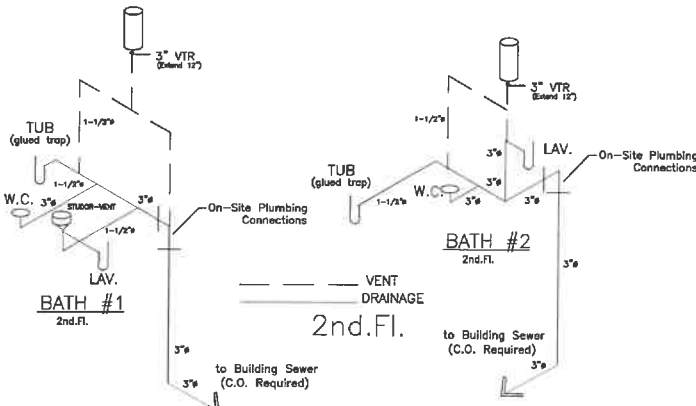
- Labeled Service Panel has 200 AMP Main Breaker Disconnect.
- Feeder Conductors Shown are for 200 AMP Service.
- All Service Hook-Ups shall be performed by OTHERS.
- An intersystem bonding termination at the Service Equipment shall be provided. (by Others)
- A concrete-encased electrode, the foundation reinforcing steel shall be connected to the grounding electrode system. (by others)
- Electrode shall be either: A. Iron or Steel Galv. Pipe (3/4" min.) 8' in length, or B. Iron or Steel Rod (5/8" min.) 8' in length.
- Wiring is Non-Metallic Sheathed Copper - 90° Type NMB
- A 3-Way Switch is provided at top of Stairs (by GHC)
- to operate with 3-Way at bottom of Stairs (installed by BLDR.)
- ATTICS are not appropriate for Storage.
- All Electrical Devices are (U) Listed
- A Recept. is Req'd within 25' of ea. Heating, A/C, and (or) Refrig. Unit. If Located in a Crawlspace, or Below Grade Level, or in an unfinished Basement, the Recept. must be G.F.C.I. PROTECTED.
- Receptacle outlets serving countertops in kitchen, dining, island, or peninsula areas shall be located so that no point is more than 24" from a receptacle and be installed above or within 12" of countertop.
- Dwelling units require at least one receptacle in bathrooms, outdoors at grade level, laundry areas, basements, garages, and hallways of 10' or more. Recept. outlets in bathrooms shall be installed adjacent to each basin location.
- All 125-Volt 15 and 20 Amp recepts. shall be listed Tamper-Resistant.
- Ceiling fan supports boxes shall be Labeled and approved.
- Boxes used @ lighting fixtures shall be designed for that purpose. Device boxes shall not be used for support of fixtures.
- All recessed incandescent fixtures shall have thermal protection & be so identified, shall be properly installed, be of proper construction and provide adequate clearances. This includes Fan/Light combinations.
- Fixtures in clothes closets shall have proper clearances from incandescent fixtures with open or partially enclosed lamps and pendent fixtures or lampholders shall not be permitted.
- In addition to an AC primary power source, Smoke Detectors shall receive power from a battery backup in case of power loss.
- Smoke detectors shall be provided in the immediate vicinity of ea. Bedrm. within each bedroom, and in each story within a dwelling. (R-2,R-3)
- Actuation of one Smoke Detector will actuate all of the Alarms.
- Openings @ elec. penetrations shall be firestopped On-Site by OTHERS once inter-module connections have been made.
- Any ATTIC or CRAWLSPACE Equipment installed by BUILDER shall have a switched lighting (G.F.C.I. Protected) outlet within the immediate vicinity of that Equipment.
- Proper thermal overload protection shall be required for all motors. A disconnecting means shall be located in sight from the motor location and the driven machinery location and each motor shall be provided with an individual disconnecting means.
- An Electrode encased by at least 2" of concrete, in direct contact with Earth, consisting of at least 20' of 1/2" Steel Rod or bare Copper (4AWG) conductor shall be considered as a grounding electrode.
- Emergency disconnect shall be installed on site by Licensed Electrician in accordance with NEC, Article 230.85 Rule 870



SUGGESTED SERVICE CONNECTION
240 VOLT - SINGLE PHASE - 200 AMP - DWELLING SERVICE

MECHANICAL NOTES (2015 MRC)

- Bathroom Ventilation Rate = 50 cfm Kitchen Ventilation Rate = 100 cfm
- Bathroom Exhaust Fans ducted to Outside via a Soffit Vent. Exhaust openings shall not terminate within 3' of a vented section of Soffit.
- The standard GHC Range Hood is Ductless. The Optional Vented Range Hood shall discharge to the outside thru a single-wall Duct with a backdraft damper.
- Optional ELEC. Baseboards: (H-040): "Q-MARK" (std. density 250 WPF)
- Factory-Built Chimneys, installed by GHC, carry the UL label and shall be installed according to the Manufacturer's specification.
- Heat Loss is calculated @ -10°F (outside temp.) & +72°F (inside temp.), 15MPH Wind, & 8" Masonry Foundation (2 Blocks above Grade)
- Factory built chimneys shall be protected from physical damage and supported to handle the load of the chimney. Floor and ceiling penetrations shall be firestopped in accordance with the building code.
- Combustion-Air for Opt. Fireplace via a Vent stubbed thru the floor. NOTE: Basement Houses must be ducted to Outside. (by BLDR.)
- Underfloor spaces containing equip. requiring access shall be provide with an access opening large enough to allow removal of the largest equipment, but not less than 30"x30" in size. A 24"x36" opening is also approved.
- GHC installs a pull wire in the wall cavity in order for onsite HVAC contractor to install a thermostat wire. A programmable thermostat is provided and installed onsite by Others.
- Whole House Mechanical Ventilation Systems shall be designed in accordance with Sections M1507.3.1 through M1507.3.3.



PLUMBING RISER DIAGRAM

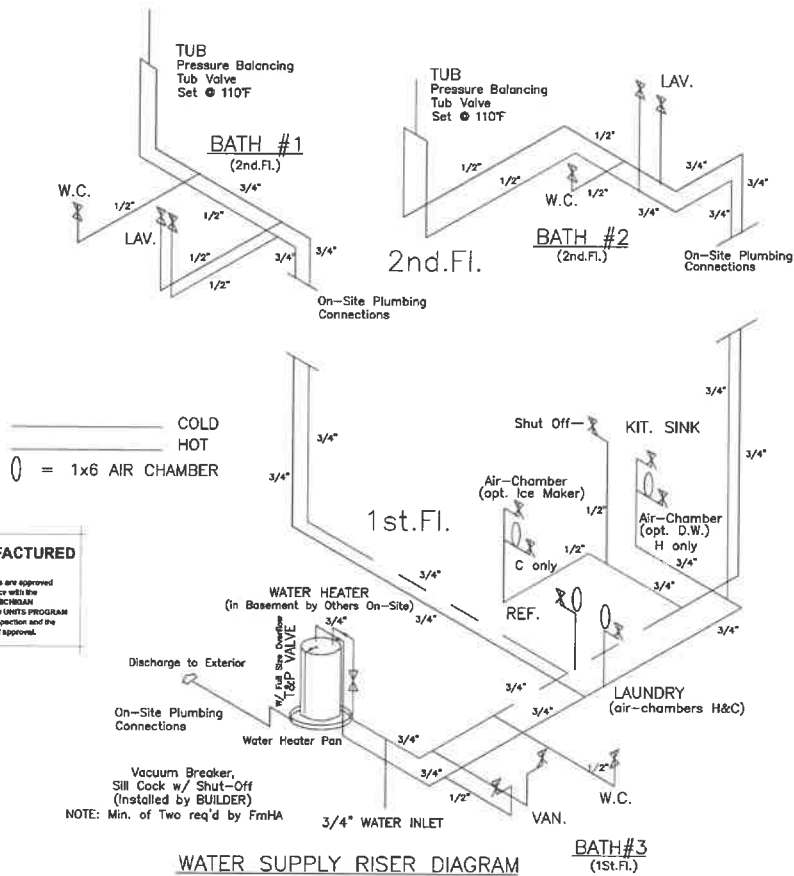
PR2024BCC-003007

TABLE P3105.1				
Trap	Drain	Slope	Distance from Trap	
1-1/4"	1-1/2"	1/4"	5'	
1-1/2"	1-1/2"	1/4"	6'	
1-1/2"	2"	1/4"	8'	
2"	2"	1/4"	8'	
3"	3"	1/8"	12'	



PLUMBING NOTES (2015 MRC)

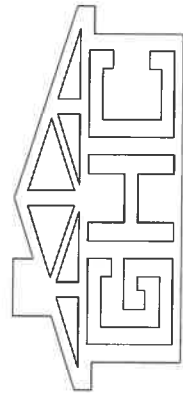
- Water Supply pipes and risers are "VANEX PEX" cross-linked polyethylene tubing. Specifications: SDR9 Wall Thickness, ASTM F-876, 100 psi @ 180°.
- WATER HEATER: Transition from Metallic Pipe to PEX shall be located a min. 12" developed length of Copper Pipe from the Water Heater.
- Supports for Horiz. Pipe runs shall not exceed 32"oc. Supports for Vert. runs shall not exceed 48"oc.
- PEX Piping installed adjacent to a source of excessive heat (Boiler Vent) shall have 6" min. clearance.
- Air Chambers are 1"x6" in compliance w/ ASSE-1010
- In concealed locations where piping is installed thru holes or notches in studs, joists, rafters or sim. members less than 1.5" from the nearest edge of the member, the pipe shall be protected by shield plates. Shield plates shall be a min. of 1/16"-thick-steel, shall cover the area of the pipe where the member is notched, and shall extend a min. of 2" above sole and below top plates.
- The flow velocity of the water distribution system shall be controlled to reduce the possibility of water hammer. A water hammer arrestor shall be installed where quick closing valves are utilized (dishwasher & washer-box). Water hammer arrestors shall conform to ASSE 1010. Access shall be provided.
- Service and hose bibb valves shall be identified. All other valves installed in locations that are not adjacent to the fixture or appliance identified, indicating the fixture/appliance served.
- Individual Shwr. and tub/shwr. combo-valves shall be equipped with combination pressure-balance/thermostatic/mixing valve types with a high limit stop in accordance with ASSE 1016 or CSA B125. The high limit stop shall be set to limit water temp. to a max. of 120°F.
- The hot water supplied to bathtubs and whirlpool bathtubs shall be limited to a max. temp. of 120°F by a water-temperature-limiting device that conforms to ASSE 1070.
- WHIRLPOOL TUB: Access shall be provided to circulation pumps with a 12"x12" min. opening.
- Drainage Pipe & Fittings smaller than 3" are Schedule 40 PVC Pipe (3" pipe is Schedule 30).
- 1/2" wire pipe supports @ 48" O.C. max.
- Horiz. to Vert. fittings are Sanitary Tees; all others are Long-Turn Fittings.
- Pipe & fittings are NSF Listed.
- WATER HEATERS: The discharge from the relief valve shall be piped full-size separately to the outside of the building. In areas subject to freezing, the relief valve shall discharge thru air gap into an indirect waste receptor located within a heated space.
- Where water heaters are installed in locations where leakage of the tanks or connections will cause damage, the water heater shall be installed in a pan.
- The pan drain shall extend full-size and terminate over a suitably located indirect waste receptor or floor drain or extend to the exterior of the building and terminate not less than 6" or more than 24" above the adjacent ground surface.
- The discharge from an automatic clothes washer shall be thru an air-break.
- Standpipes shall be individually trapped. Standpipes shall extend 18"(min.) and 42"(max.) above the trap. Access shall be provided to standpipe traps & drains for rodding.
- Each fixture trap shall have a vent located so that the slope and the developed length in the fixture drain from the trap weir to the vent fitting are per Table P3105.1
- Fixtures with concealed Joints shall be cemented so as to form a solid connection. (Capes & Two-Story Plans)



WATER SUPPLY RISER DIAGRAM

KSL
4-14-17
DRN
DATE
CHK
REV

GENERAL HOUSING
CORPORATION
4650 E. WILDER RD.
BAY CITY, MICHIGAN 48706



TITLE
BAYVIEW DUPLEX.....16024
Basement, 3-Bed, 2.5-Bath
Electrical, Mechanical & Plumbing Notes

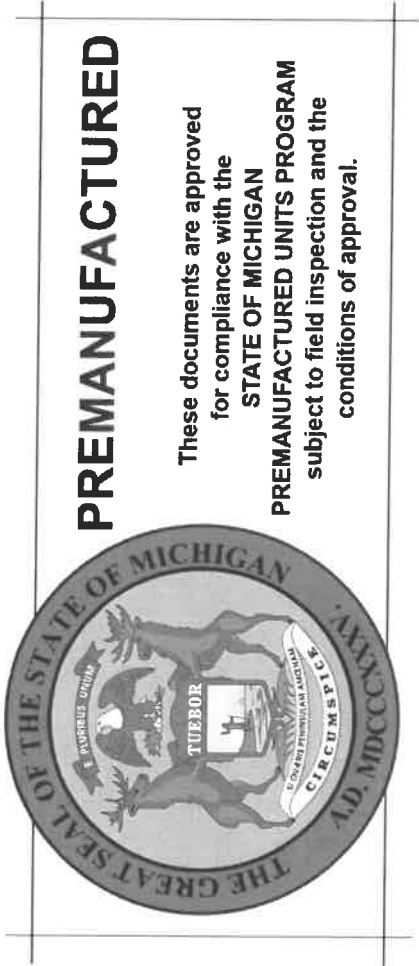
COPYRIGHT 2024 GENERAL HOUSING CORP.

MODEL
SHEET
A-12 of 12

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2009 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - TitleSignatureDate

PR2024BCC-003007



Project Title: BAYVIEW DUPLEX
Data filename:

Report date: 08/19/24
Page 2 of 2

Project Name: GH 2-6- General Housing Design Catalog 2 of 6

Customer: General Housing Corporation

Qty: 1

Truss: T-11

Truss Mfr. Contact: Send for

SID: 0000358585
TID: 73100
Date: 11 / 05 / 18
Page: 1 of 1

1. CONNECTION 1 AND CONNECTION 2 INDICATE REQUIRED FIELD CONNECTIONS. HINGE 1 INDICATES REQUIRED HINGE PLATE LOCATIONS. SEE SCHEDULE FOR FIELD CONNECTION, HINGE CONNECTION LOADS AND INSTALLATION REQUIREMENTS.
2. TIGHT FIT IS REQUIRED BETWEEN ALL MEMBERS AT THE JOINT.
3. ALL FIELD CONNECTIONS SHALL BE DESIGNED BY THE PROJECT ENGINEER AND CONFORM TO THE HOME MANUFACTURER'S INSTALLATION DETAILS.
4. WARNING: FAILURE TO PROVIDE PROPER FIELD CONNECTIONS MAY RESULT IN INADEQUATE STRUCTURAL PERFORMANCE.
5. CONTACT SIMPSON STRONG-TIE FOR CONNECTION OPTIONS.

FIELD CONNECTION SCHEDULE AND DESIGN LOADS:

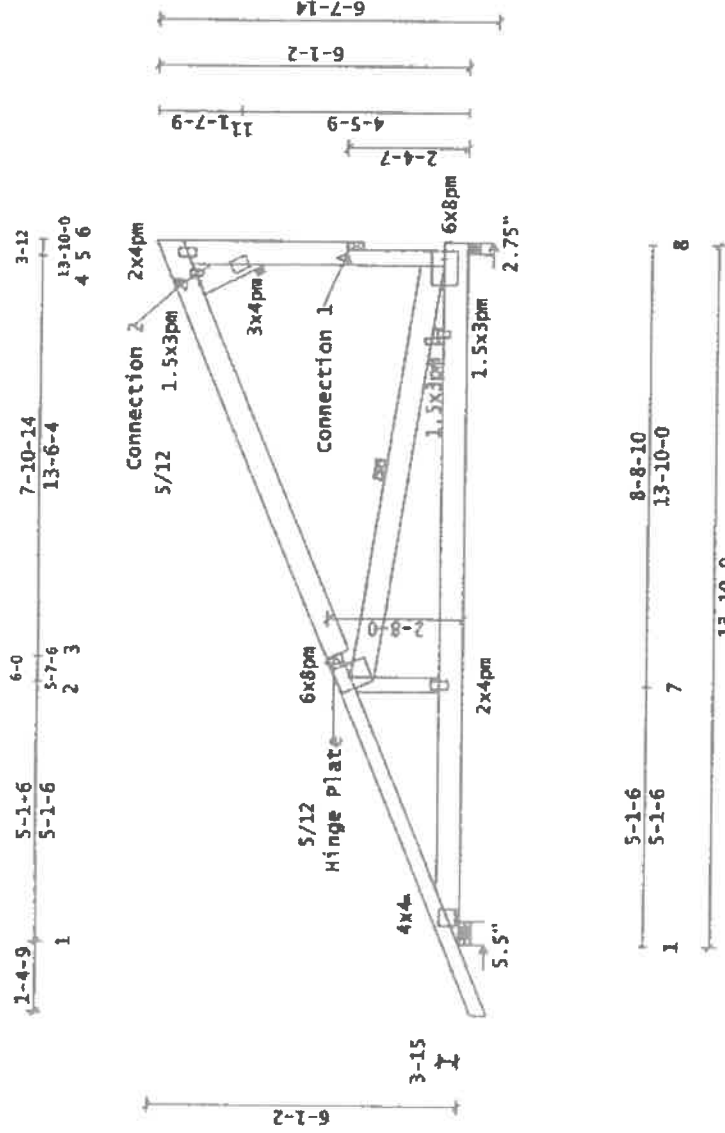
TYPE	MAXIMUM LOAD (lbs)
CONNECTION 1	AXIAL / SHEAR
CONNECTION 2	165T / 528C
	205T / 233C

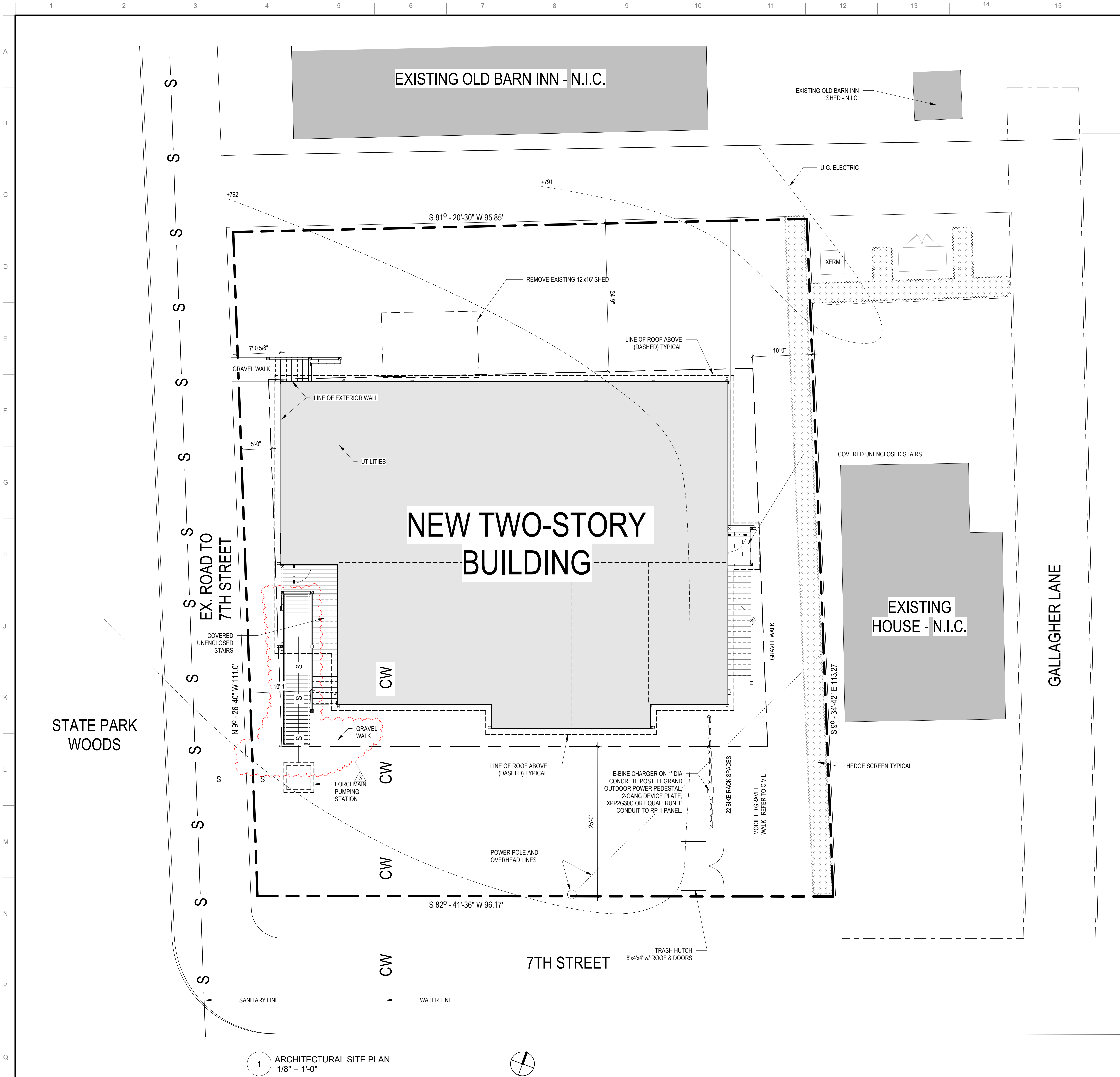
HINGE CONNECTION SCHEDULE:

TYPE	MAXIMUM LOAD (lbs)
HINGE 1	AXIAL / SHEAR
	136T / 259C

CONNECTION SCHEDULE NOTES:

- TENSION LOAD
- COMPRESSION LOAD
- ALL CONNECTIONS SHALL BE DESIGNED TO RESIST THE COMBINED AXIAL - SREAR LOAD SPECIFIED ABOVE.
- HINGE PLATE PRODUCTS USED IN THIS DESIGN SHALL HAVE A TESTED/EVALUATED ALLOWABLE CAPACITY THAT EXCEEDS THE DESIGN FORCES SPECIFIED IN THE HINGE CONNECTION SCHEDULE AND BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- HINGE PLATE PRODUCTS USED IN THIS DESIGN SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, TEST REPORT AND/OR PRODUCT EVALUATION REPORT.
- HINGE CONNECTION JOINTS SHALL HAVE NO GAP AND PROVIDE A MINIMUM OF 2" WOOD TO WOOD CONTACT BETWEEN HINGED MEMBERS WHEN HINGED SECTION IS RAISED TO ITS FINAL POSITION.





PROJECT DATA		
ITEM	ALLOWED	PROPOSED
ZONING:	R-4	NO CHANGE
SITE AREA:	10,761 SF, 0.247 ACRES	NO CHANGE
LOT COVERAGE:	40%, OR 4,304 SF	3,920 SF BUILDING 100 SF CONCRETE STOOPS 4,020 SF TOTAL COVERAGE
SPECIAL LAND USE		
RESTRICTION DENSITY:	20 OCCUPANTS	15 STUDIO OCCUPANTS 4 ONE BEDROOM OCCUPANTS 19 TOTAL OCCUPANTS

STORMWATER PLAN:
DESIGN CRITERIA:
10 YEAR 24 HOUR RAINFALL = 3.3"
(SOURCE: MDOT MS4 REPORT) = (0.28') = 0.011' / HOUR

INFILTRATION RATE OF SOIL = 0.2"/HR
(SOURCE: USDA) = 0.016"/HOUR X 24 HOURS * 67% = .25' / STORM EVENT

DESIGN STORM VOLUME = 4,020 SF
IMPERVIOUS X 0.28' = 1,125.6 CU. FT.

ABSORPTION AREA OF 26X96' FRONT AND REAR YARDS ADJACENT TO BUILDING = 4,992 SF

STORMWATER ABSORPTION = 4,992 S.F. X 0.25' = 1,248 CU. FT.

STORM VOLUME MINUS ABSORPTION = REQUIRED DETENTION: 1248 CU. FT. > 1,184 CU. FT.

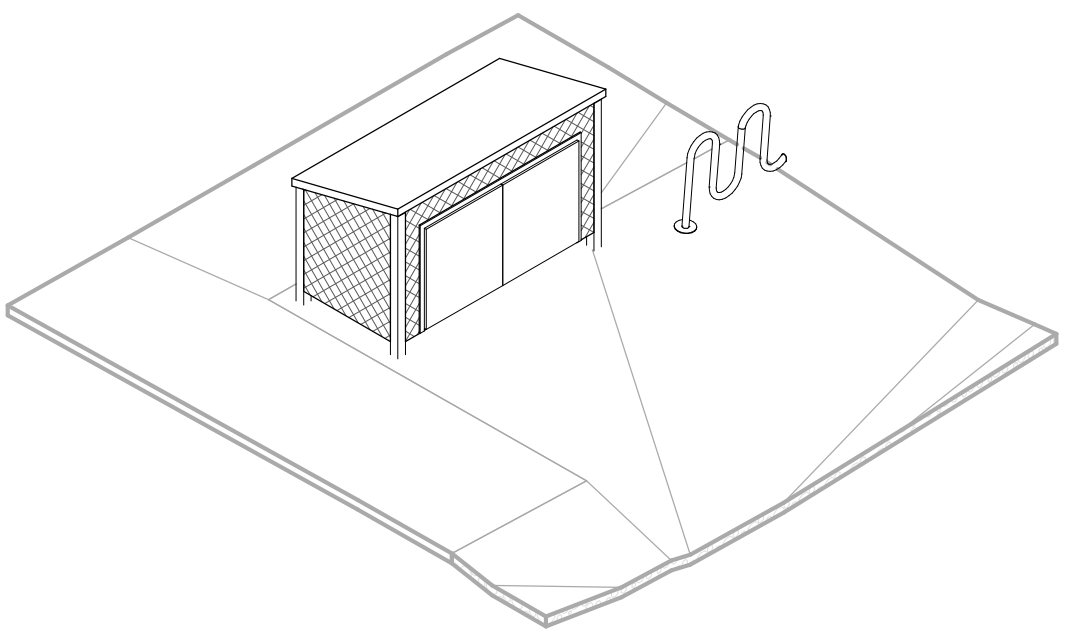
SITE IS ESSENTIALLY LEVEL. STORMWATER WILL BE ABSORBED IN THE LAWN AREAS AROUND THE STRUCTURE.

SITE NOTES:
BICYCLE PARKING IS PROVIDED FOR 22 BICYCLES

TRASH TO BE HELD WITHIN THE TRASH HUTCH ADJACENT TO THE STREET OR IN THE REAR CORNER OF THE SITE AND SET CURBSIDE ON COLLECTION DAYS.

LIGHTING - NO AREA LIGHTING PROPOSED. WALL SCONCE LIGHTING WILL BE PROVIDED AT EVERY EXTERIOR ENTRANCE DOOR.

- TRASH HUTCH CONSTRUCTION/MATERIALS:**
- 4x4 POSTS AT CORNERS
A. PAINTED
 - VINYL LATTICE AROUND PERIMETER
 - DOOR FRAME MADE OUT OF DIMENSIONAL LUMBER
A. PAINTED
 - DOORS MADE OUT OF LATTICE MATERIAL
A. GATE HINGES/HARDWARE
 - PLYWOOD ROOF
A. SHINGLED TO MATCH BUILDING



2 TRASH HUTCH ENLARGED ISOMETRIC

1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

LEGAT ARCHITECTS
Design with a Difference

**HARBOUR VIEW
MACKINAC, LLC**

**WORK FORCE
HOUSING**

7596 7th Street
Mackinac Island, MI, 49757

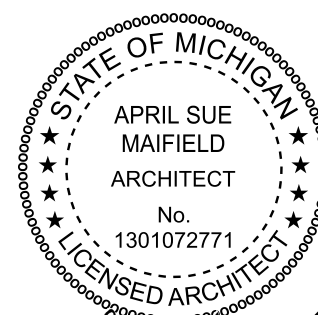
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300 W Adams St, Suite 420
Chicago, IL 60606
P: 312.357.1840
www.acgintl.com



SIGNATURE *April Sue Mafield*
DATE 9/9/2024

REVISIONS		
NO.	DESCRIPTION	DATE
1	PLANNING REVISION	06/28/24
3	CONSTRUCTION REVISION	4/24/25

PROJECT NUMBER 22407800
DATE OF ISSUE 09/09/2024
DRAWN BY Author
REVIEWED BY Checker

ARCHITECTURAL SITE
PLAN

A-001
PERMIT SET

LEGAT ARCHITECTS

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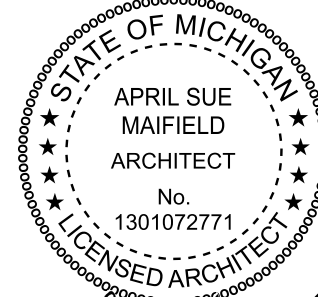
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SIGNATURE

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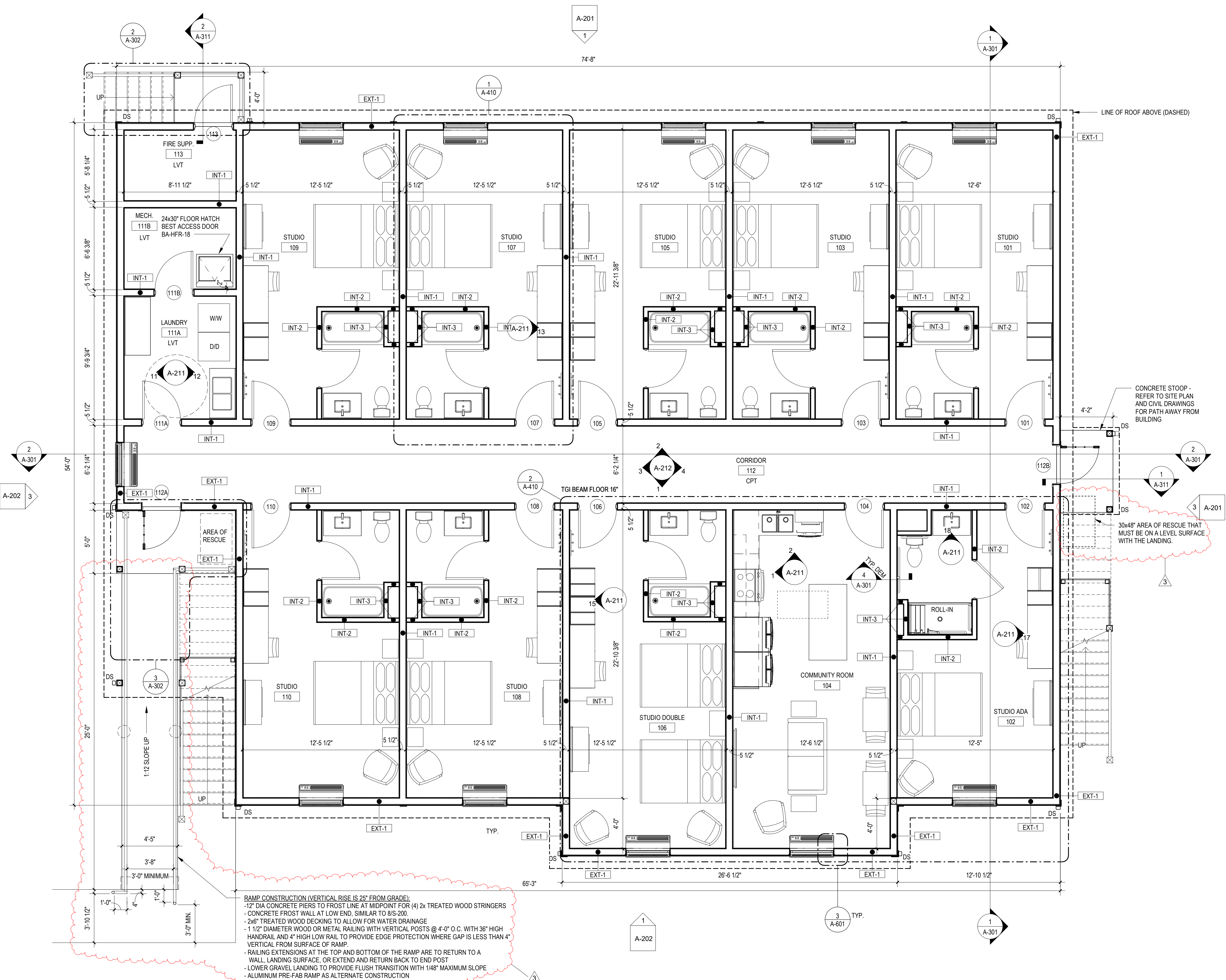
PROJECT NUMBER 22407800
DATE OF ISSUE 09/09/2024
DRAWN BY Author
REVIEWED BY Checker

FIRST FLOOR PLAN

A-101

PERMIT SET

FLOOR PLAN LEGEND			
	SIM 1 A101	CG CORNER G/Ref - REFER TO DETAIL	
	SIM 1 A101	FE FIRE EXTINGUISHER - WALL MOUNTED	
	S3FA	FEC RECESSED FIRE EXTINGUISHER AND CABINET	
	101	FEC-R FIRE RATED RECESSED FIRE EXTINGUISHER AND CABINET	
	ROOM NAME 101	FEC SEMI-RECESSED FIRE EXTINGUISHER AND CABINET	
	A101 Ref 1	FEC-B SEMI-RECESSED FIRE EXTINGUISHER AND CABINET AND BLANKET	
	A101 1 Ref	MB# MARKER BOARD	
	0	TB# TACK BOARD	
	A101 Ref 1		FLOOR DRAIN
			AREA NOT IN CONTRACT
			NEW WORK NOTE
ARCHITECTURAL PLAN NOTES <N##>			
NOTE	DESCRIPTION		



RAMP CONSTRUCTION (VERTICAL RISE IS 25' FROM GRADE):
- 12" DIA CONCRETE PIERS TO FROST LINE AT MIDPOINT FOR (4) 2x TREATED WOOD STRINGERS
- CONCRETE FROST WALL AT LOW END, SIMILAR TO 8/S-200.
- 2x6" TREATED WOOD DECKING TO ALLOW FOR WATER DRAINAGE
- 1 1/2" DIAMETER WOOD OR METAL RAILING WITH VERTICAL POSTS @ 4'-0" O.C. WITH 36" HIGH HANDRAIL AND 4" HIGH LOW RAIL TO PROVIDE EDGE PROTECTION WHERE GAP IS LESS THAN 4" VERTICAL FROM SURFACE OF RAMP.
- RAILING EXTENSIONS AT THE TOP AND BOTTOM OF THE RAMP ARE TO RETURN TO A WALL, LANDING SURFACE, OR EXTEND AND RETURN BACK TO END POST
- LOWER GRAVEL LANDING TO PROVIDE FLUSH TRANSITION WITH 1/48" MAXIMUM SLOPE
- ALUMINUM PRE-FAB RAMP AS ALTERNATE CONSTRUCTION

1 FIRST FLOOR PLAN
1/4" = 1'-0"

LEGAT ARCHITECTS
Design with a DifferenceHARBOUR VIEW
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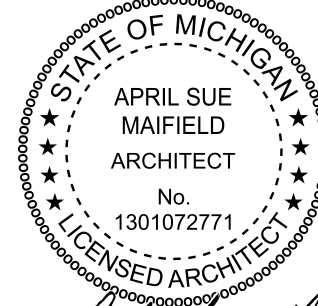
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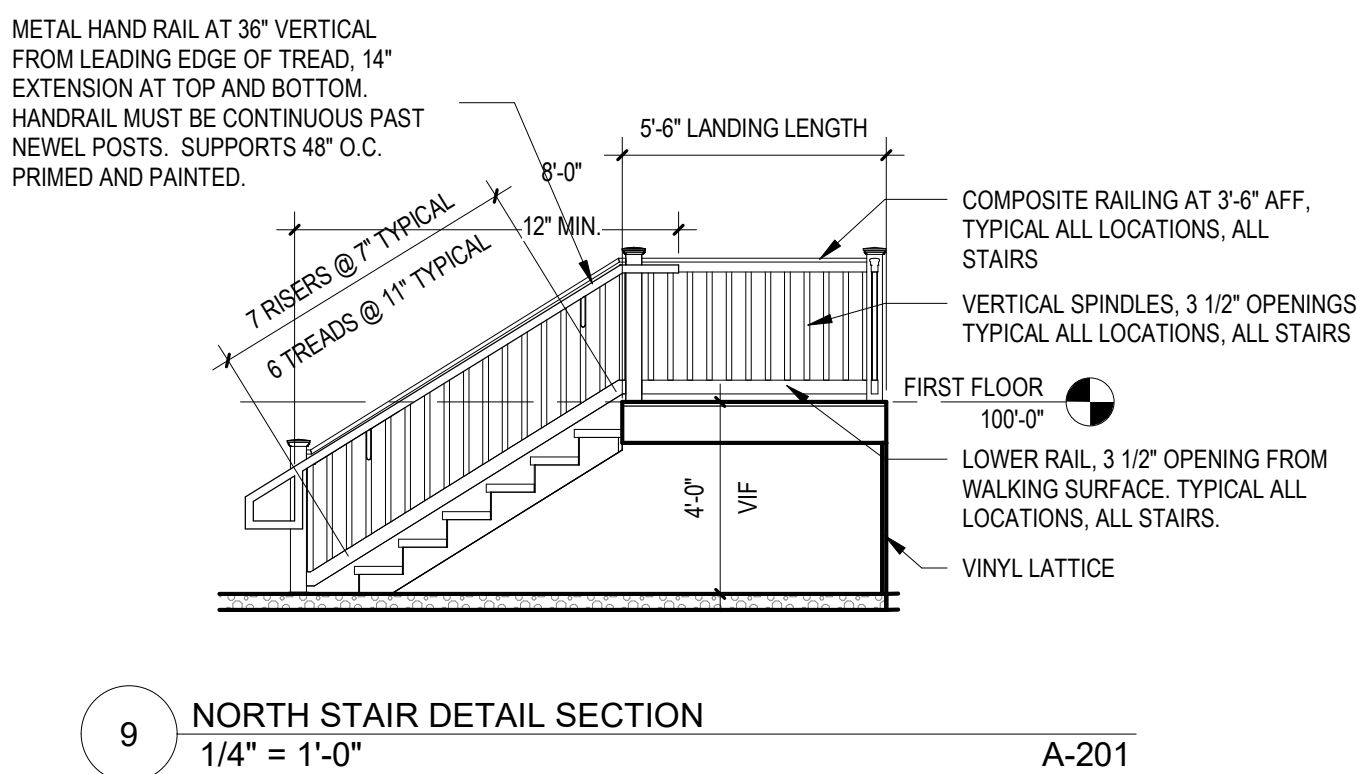
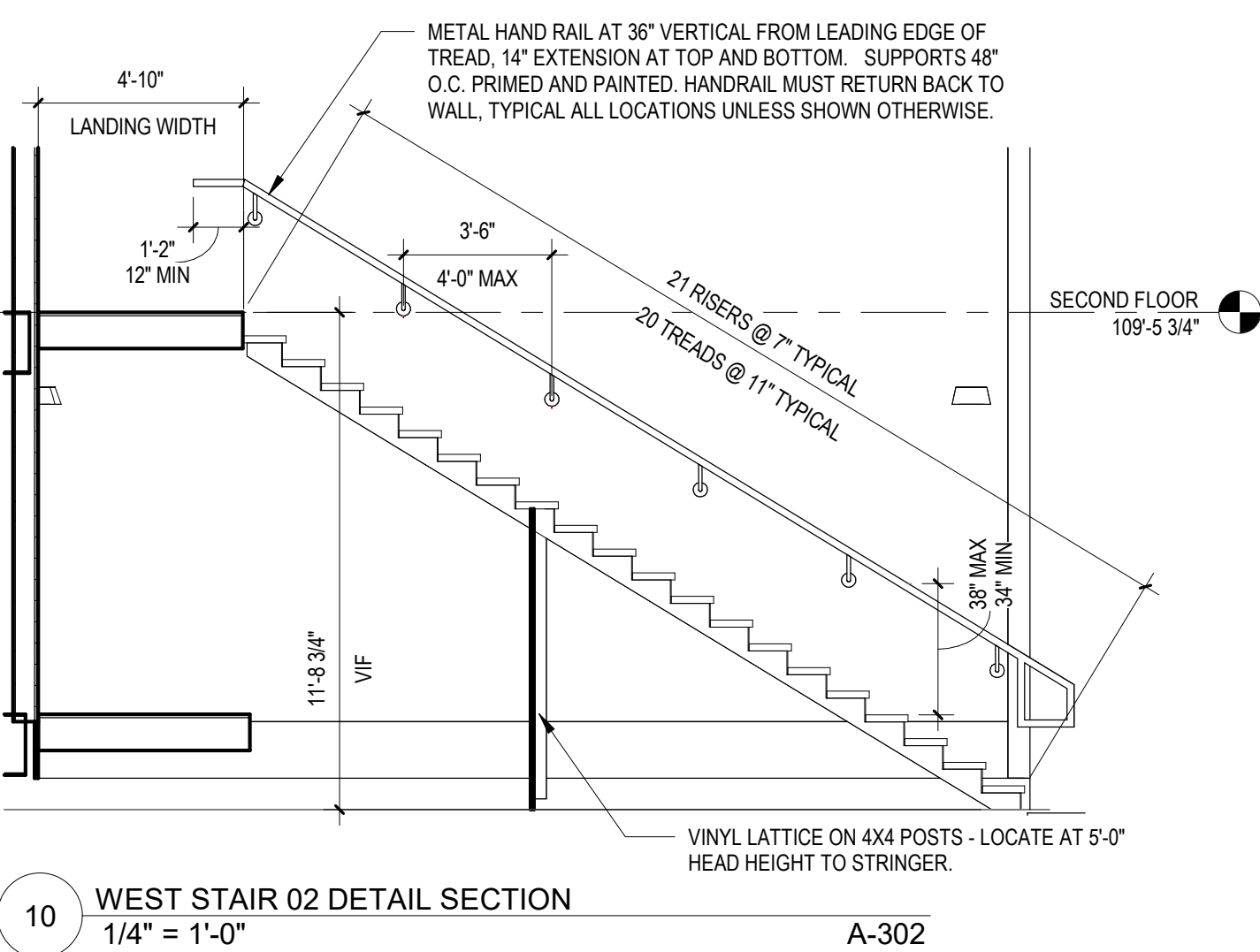
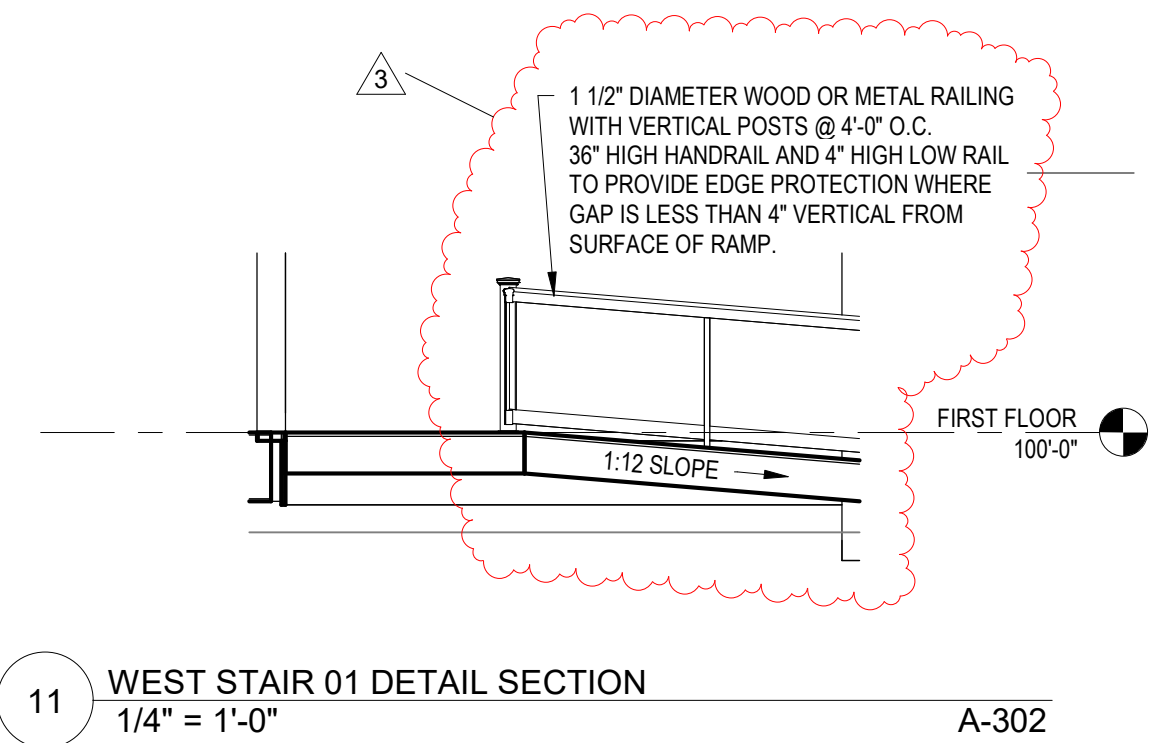
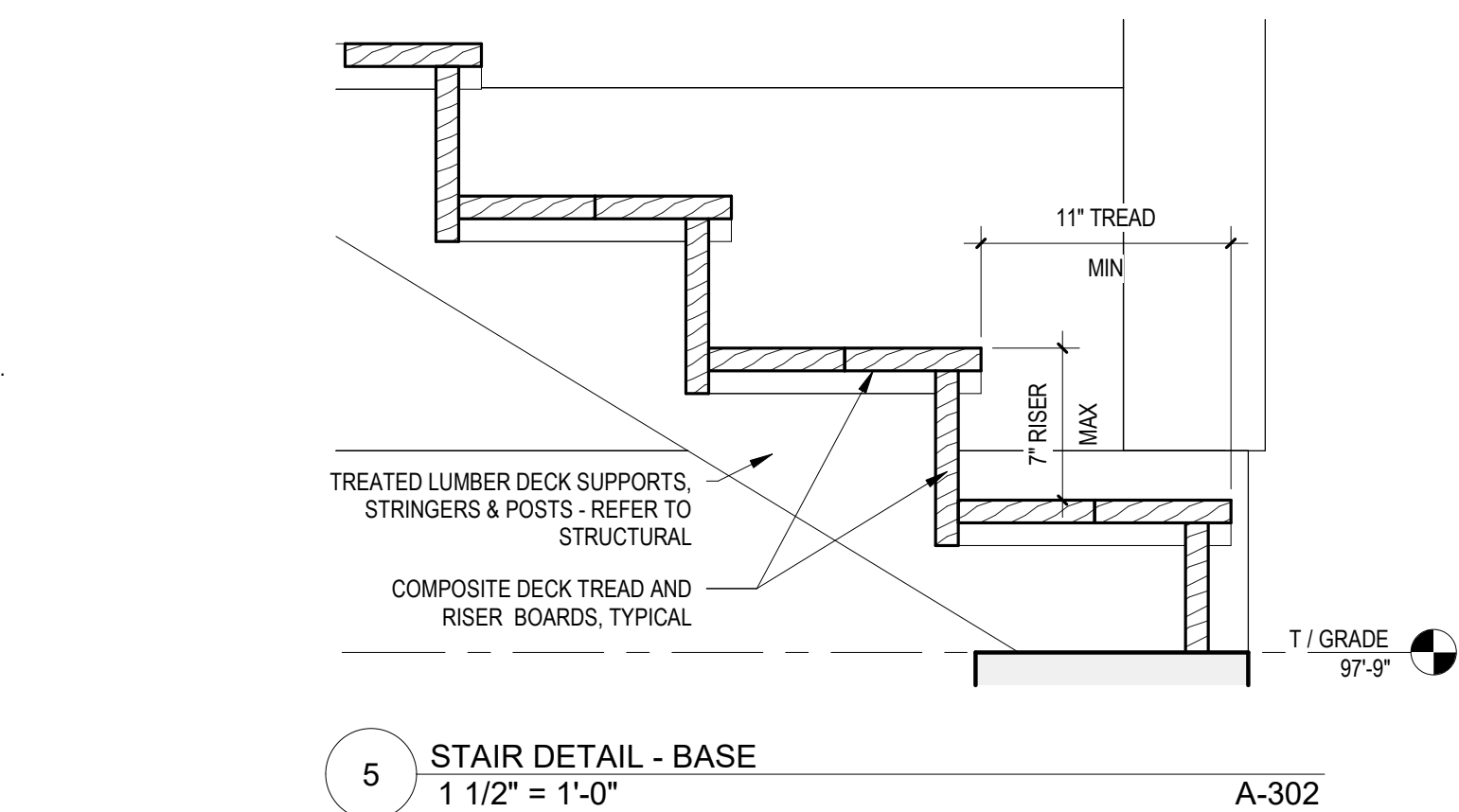
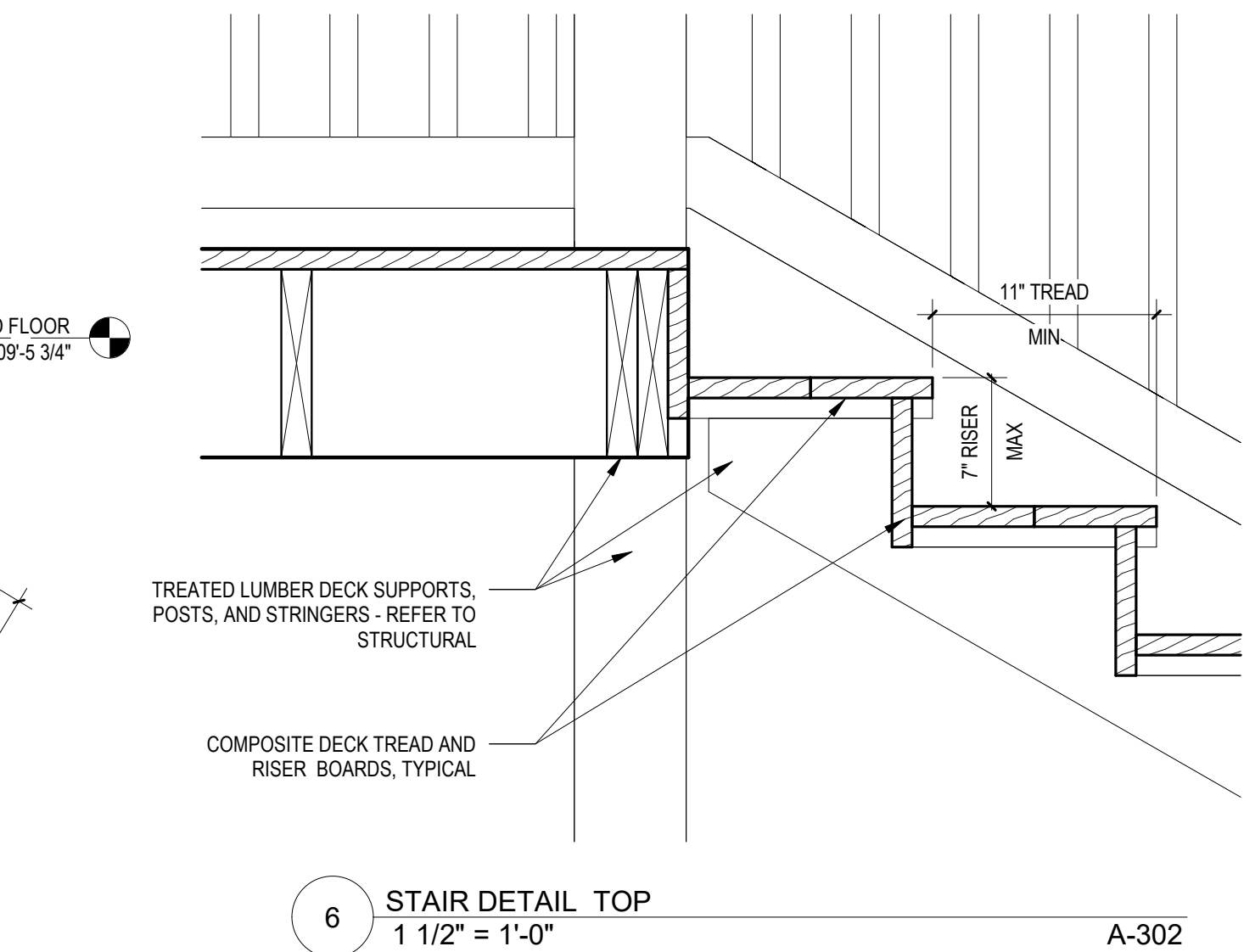
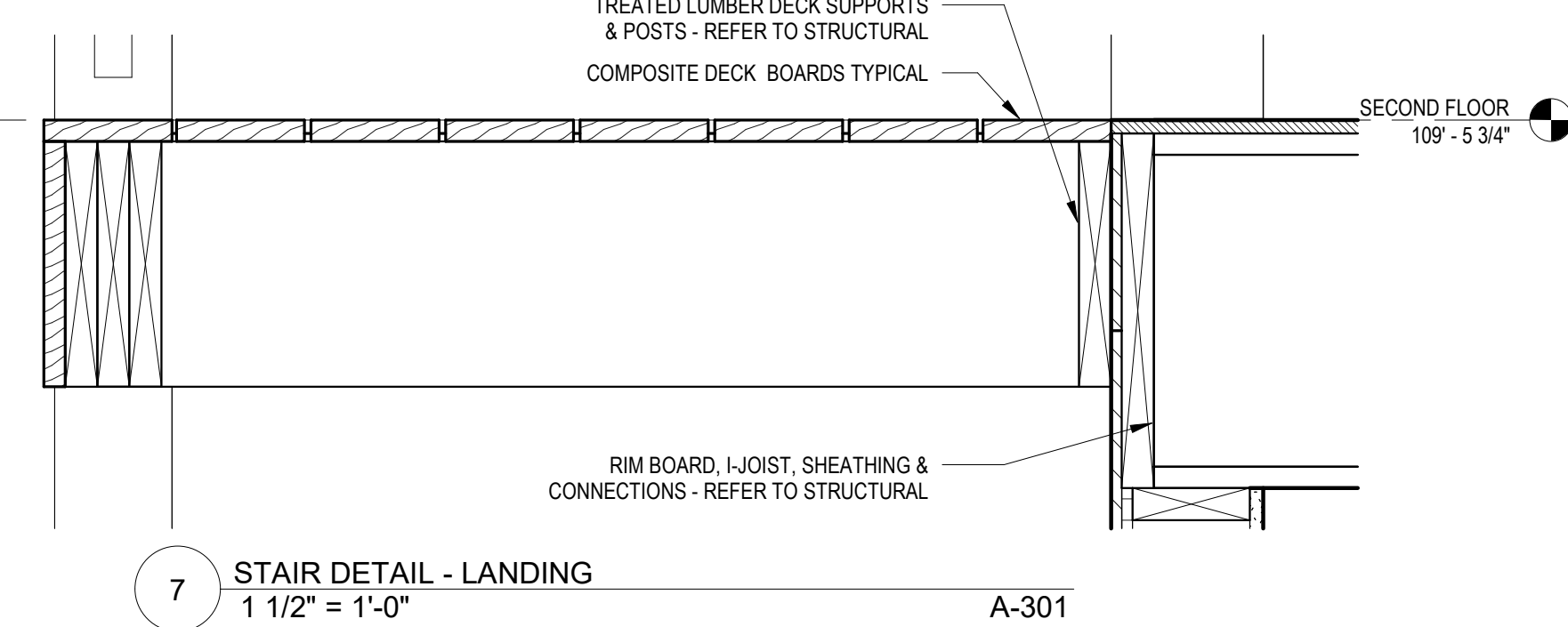
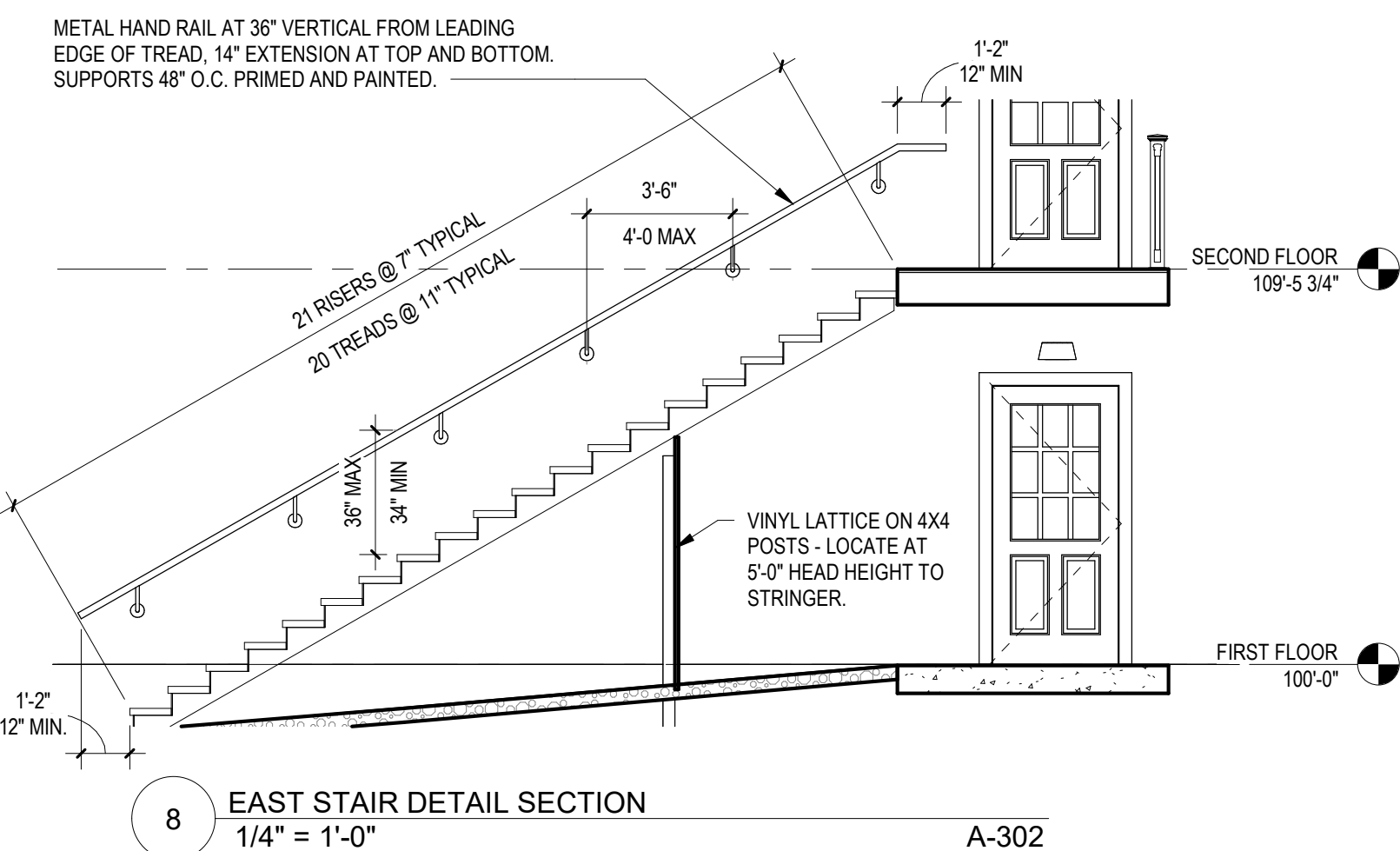
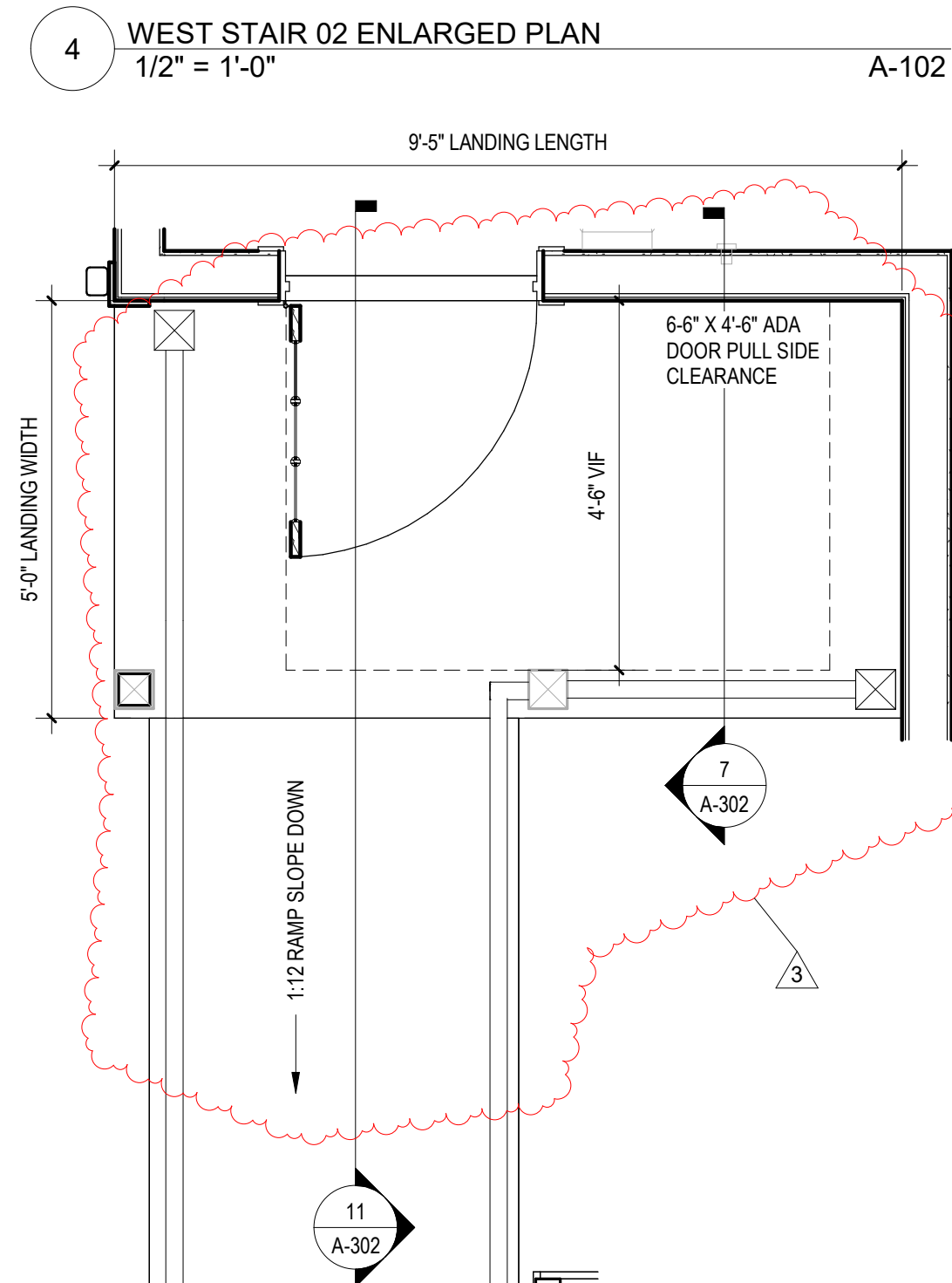
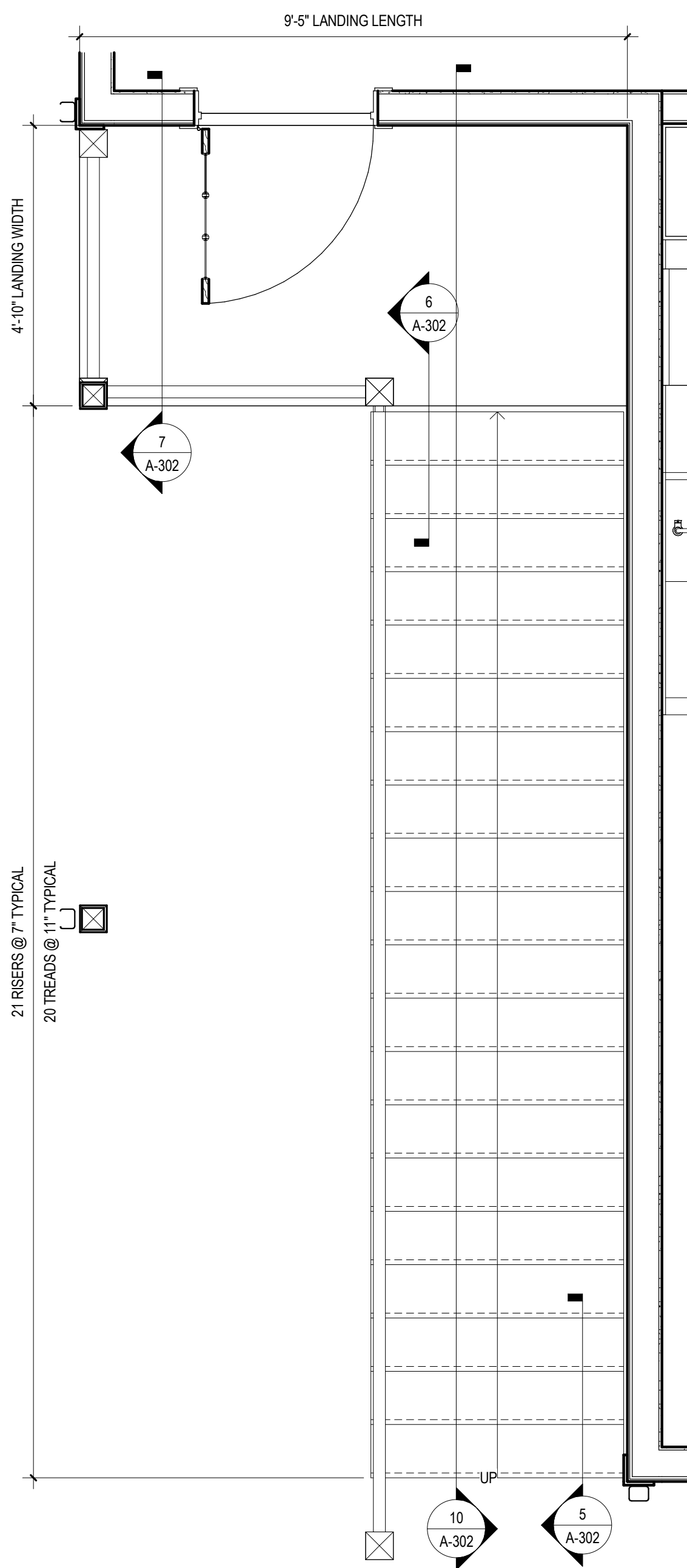
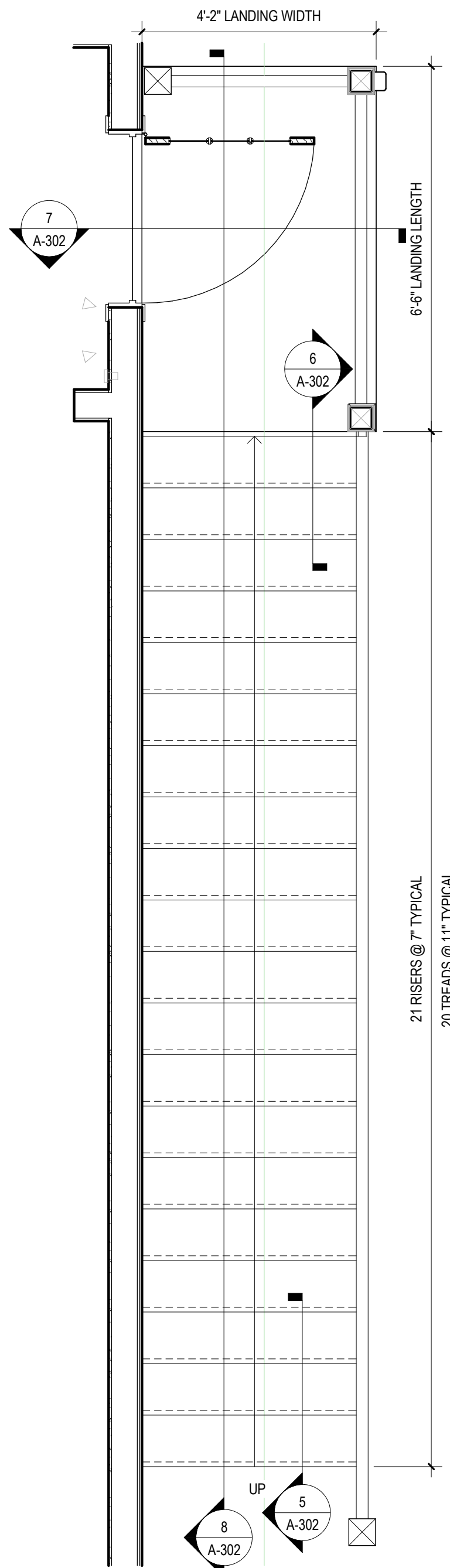
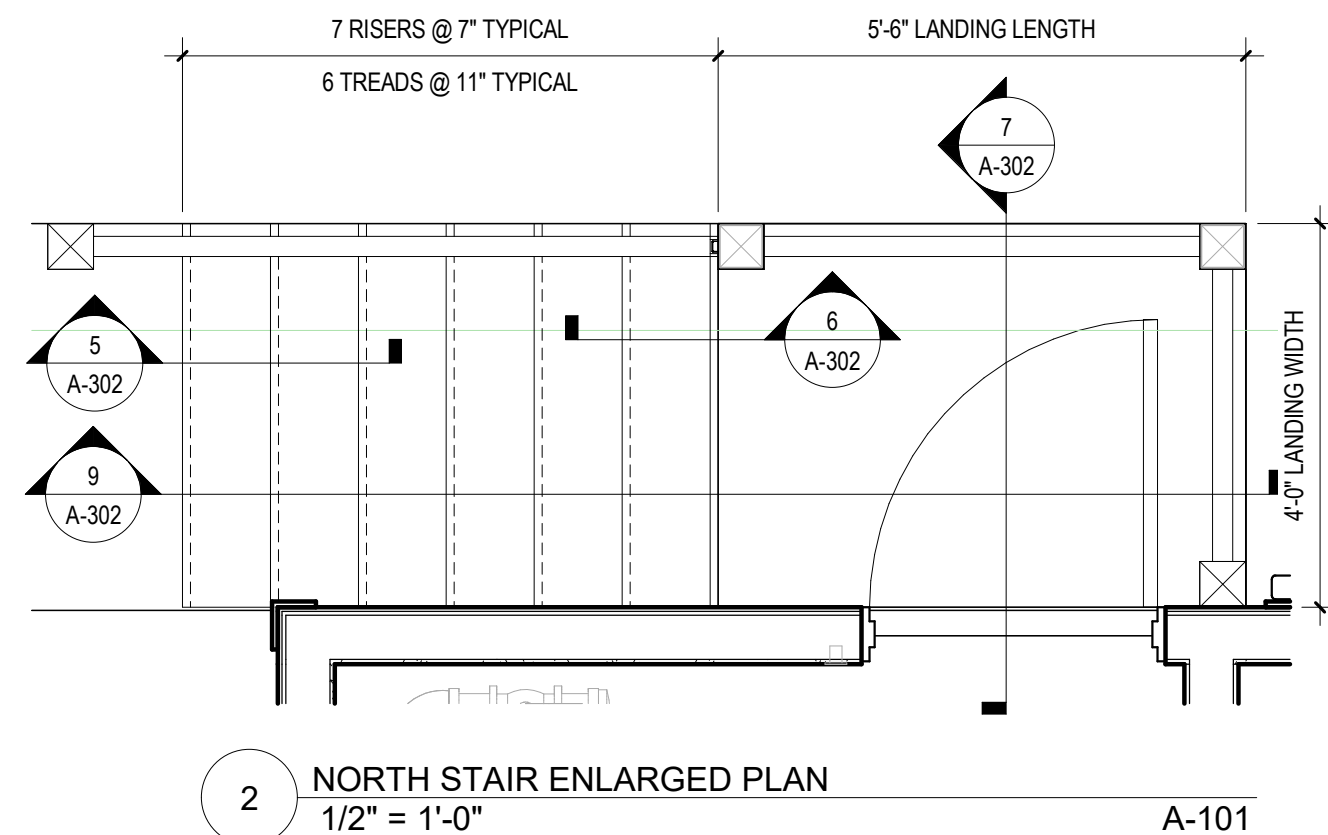
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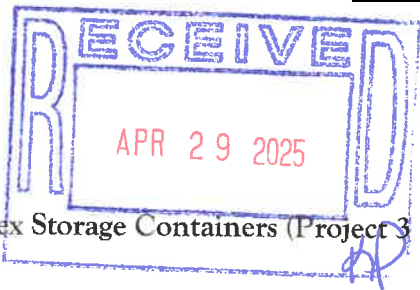
ME/P/E ENGINEER

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DATE 9/9/2024

REVISIONS		
NO.	DESCRIPTION	DATE
1	PLANNING REVISION	06/28/24
3	CONSTRUCTION REVISION	4/24/25

PROJECT NUMBER 22407800
DATE OF ISSUE 09/09/2024
DRAWN BY Author
REVIEWED BY CheckerSTAIR ENLARGEMENTS &
DETAILSA-302
PERMIT SET



Stonecliffe Properties LLC – Art Gallery Shed Additions & Connex Storage Containers (Project 3 Addendum)

Project Description:

This addendum includes the addition of ~98 SF sheds that will be used as art galleries outside of our General Store. They will showcase artwork and other local collectibles/products from artists that guests can admire and purchase. These are being strategically placed to blend in with their environment. These locations include:

- Adjacent to the bike pavilion (shown on plan).

Shed Description: 9'11 x 9'11 storage shed with LP Lap siding, wood double doors, and shingled roof. The sheds will complement the General Store and new kitchen and will be the same color.

This addendum also includes the addition of four 8' x 20' shipping containers already on site in the maintenance area.

Description of effect on adjoining lands:

There will be no effect on any adjoining lands, and the sheds will match the aesthetic of neighboring buildings.

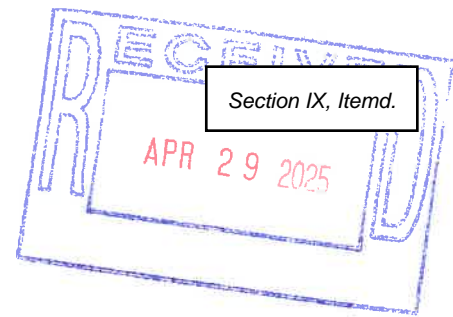
There will be no effect on any adjoining lands as the shipping containers would be painted forest green to blend in with the surroundings, and they are already screened from public view. Keeping these containers rather than building new storage buildings has the added benefit of minimizing disruption to the neighborhood that may come from other construction work.

Description of Operations:

These art gallery sheds provide an enclosed location for the display and sale of local artwork and collectibles. The General Manager and Facilities Director will ensure that these small sheds are properly utilized and properly maintained. The addition of these Gallery Shops will provide an additional outlet on the island for tourists and locals to view and purchase the inspiring work of community artists.

The shipping containers would be used to store critical supplies and equipment for resort operations and be used for event storage. This additional storage is necessary, beyond what was previously contemplated, due to the expansion of the resort and the supplies and equipment needed to support that expansion.

File No. 4B21-001-099
Exhibit V V V
Date 4-29-25
Initials KP



Stonecliffe Properties LLC – Storage Shed Additions (Project 7- Manor V Addendum

Project Description:

This addendum includes the addition of two connex storage containers on Manor V. These are strategically placed to blend in with their environment. These locations include:

- Adjacent to Manor V cottage (shown on plan).

Shed Description: 8' x 20' shipping container (Connex)

Description of effect on adjoining lands:

There will be no effect on any adjoining lands. By painting these, planting trees around them, and having them blend in with the landscaping, it will provide a better aesthetic for neighbors passing by than storing landscaping equipment outside or building other sheds like those in the neighboring area, that stand out from the architecture. Keeping these containers will also minimize disruption to the neighborhood as building a new shed would require continued construction, and housing landscaping equipment at Stonecliffe would require the equipment be moved on public roads to transition over to Manor V.

Description of Operations:

These shipping containers provide an enclosed location for storage of items required for the Resort's operations (landscaping equipment, tenant items). The General Manager and Facilities Director will ensure that these shipping containers are properly utilized and properly kept up.

File No. HB21-001-099
Exhibit YY
Date 4-29-25
Initials KP

FOUNDATION COTTAGES LOT LEGAL DESCRIPTION:

PRIVATE CLAIM NO.2 COM AT THE NE'LY COR OF PC 2 TH S 32 DEG 51'45"W 4020.8 FT ALG SE'LY LINE OF PC 2 TO THE POB TH N 40 DEG 40'50"W 1300.0 FT TH N 14 DEG 18'18"E 257.95 FT M/L TO S'LY LINE OF STONECLIFFE CONDO V TH E'LY AND N'LY ALG CONDO BOUNDARY TO THE N LINE OF AN EASEMENT (282/163) TH E'LY ALG N LINE OF SAID EASEMENT TO THE E'LY LINE OF PC 2 WITH SAID POINT BEING S 32 DEG 51'45"W 3523.82 FT FROM THE NE'LY COR OF PC 2 TH S 32 DEG 51'45"W 200.0 FT M/L ALG SE'LY LINE OF PC 2 TO THE N LINE OF A PARCEL DESC IN 380 TH N 87 DEG 32'W 85.75 FT TH S 02 DEG 28'W TO SE'LY LINE OF PC 2 TH S 32 DEG 51'45"W ALG SE'LY LINE TO THE POB. PART OF PC 2.

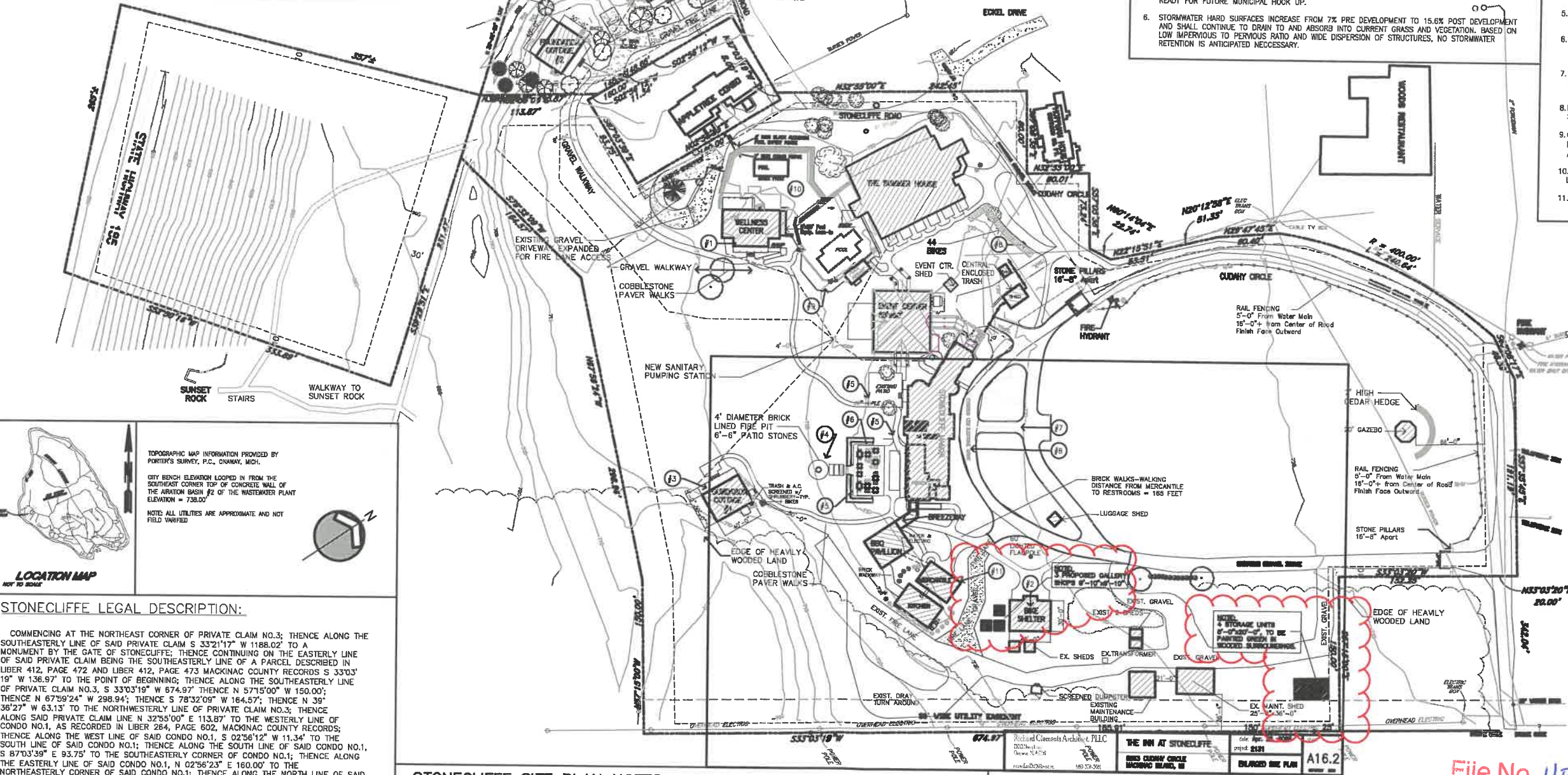
SITE NOTES:

1. BICYCLE PARKING RACKS ARE PROVIDED AT THE COTTAGE AND AT THE SUMMERHOUSE AND AT THE BICYCLE PAVILION FOR THE MANSION. 1 BIKE SPACE PER BEDROOM.
2. SHRUBBERY SCREENED TRASH ADJACENT TO EACH COTTAGE. ALL TRASH FROM EACH STRUCTURE THEN GOES TO A CENTRAL TRASH COLLECTION POINT INTO A SHED WITHIN THE GATED UTILITY AREA.
3. LIGHTING - SEE INDIVIDUAL STRUCTURES FOR BUILDING LIGHTING, NO PATHWAY LIGHTING PROPOSED.
4. A.C. CONDENSERS - SEE INDIVIDUAL STRUCTURES FOR BUILDING COMPRESSORS DISGUISED W/ SHRUBBERY.
5. EACH STRUCTURE REQUIRING SANITARY SHALL INITIALLY BE ON ITS OWN HEALTH DEPT. APPROVED SEPTIC TANK AND FIELD AND ALSO BE PIPED TO A CENTRAL FUTURE PUMPING STATION LOCATION READY FOR FUTURE MUNICIPAL HOOK UP.
6. STORMWATER HARD SURFACES INCREASE FROM 7% PRE DEVELOPMENT TO 15.6% POST DEVELOPMENT AND SHALL CONTINUE TO DRAIN TO AND ABSORB INTO CURRENT GRASS AND VEGETATION, BASED ON LOW IMPERVIOUS TO PERVIOUS RATIO AND WIDE DISPERSION OF STRUCTURES, NO STORMWATER RETENTION IS ANTICIPATED NECESSARY.

LEGEND:

KEY: = (P) →

1. ADDITION OF A WELLNESS CENTER BUILDING WHICH INCLUDES AN EXERCISE ROOM WITH HIS & HERS LOCKERS AND BATHROOMS.
2. ADDITION OF A BICYCLE SHELTER.
3. ADDITION OF A FOUNDATION COTTAGE #1.
4. ADDITION OF A PATIO WITH 4'x4' FIRE PIT AREA.
5. CHANGE OUT REAR PAVES WALKWAYS & PATIOS WITH NEW COBBLESTONE PAVES.
6. ADD A SMALL WATER FEATURE FOUNTAIN TO THE EXISTING PATIO AREA OFF OF THE REAR COVERED LANAI.
7. ADDITION OF A SECONDARY COBBLESTONE PAVES ARRIVAL LOOP FOR HORSE AND CARRIAGE TRAFFIC.
8. REPLACE THE OLD PAVES DRIVE & WALKWAYS TO SUMMERHOUSE WITH NEW COBBLESTONE PAVES.
9. CUT BACK EXISTING POOL PATIO BY 12'. MOVE BACK PATIO DECK FENCE 12' WITH NEW ALUMINUM 4" HIGH BRONZE COLOR POOL FENCE.
10. OUTDOOR POOL AT WELLNESS CENTER & MISC. LANDSCAPE FEATURES.
11. PROPOSED MERCANTILE BUILDING W/ ADDITION.



STONECLIFFE LEGAL DESCRIPTION:

COMMENCING AT THE NORTHEAST CORNER OF PRIVATE CLAIM NO.3; THENCE ALONG THE SOUTHEASTERN LINE OF SAID PRIVATE CLAIM S 33°21'17" W 1188.02' TO A MONUMENT BY THE GATE OF STONECLIFFE; THENCE CONTINUING ON THE EASTERLY LINE OF SAID PRIVATE CLAIM BEING THE SOUTHEASTERN LINE OF A PARCEL DESCRIBED IN LIBER 412, PAGE 472 AND LIBER 412, PAGE 473 MACKINAC COUNTY RECORDS S 33°03'19" W 136.97' TO THE POINT OF BEGINNING; THENCE ALONG THE SOUTHEASTERN LINE OF PRIVATE CLAIM NO.3, S 33°03'19" W 874.97' THENCE N 57°15'00" W 150.00'; THENCE N 67°59'24" W 298.94'; THENCE S 78°32'09" W 164.57'; THENCE N 39°36'22" W 63.13' TO THE NORTHWESTERN LINE OF PRIVATE CLAIM NO.3; THENCE ALONG SAID PRIVATE CLAIM LINE N 32°55'00" E 113.87' TO THE WESTERN LINE OF CONDO NO.1, AS RECORDED IN LIBER 284, PAGE 602, MACKINAC COUNTY RECORDS; THENCE ALONG THE WEST LINE OF SAID CONDO NO.1, S 02°56'12" W 11.34' TO THE SOUTH LINE OF SAID CONDO NO.1; THENCE ALONG THE SOUTH LINE OF SAID CONDO NO.1, S 87°03'39" E 93.75' TO THE SOUTHEASTERN CORNER OF CONDO NO.1; THENCE ALONG THE EASTERLY LINE OF SAID CONDO NO.1, N 02°56'23" E 160.00' TO THE NORTHEASTERN CORNER OF SAID CONDO NO.1; THENCE ALONG THE NORTH LINE OF SAID CONDO NO.1, N 87°03'19" W 8.00' TO THE NORTHWESTERN LINE OF PRIVATE CLAIM NO.3; THENCE ALONG THE NORTHWESTERN LINE OF PRIVATE CLAIM NO.3, S 32°55'00" E 242.45' TO THE SOUTHWESTERN LINE OF A PARCEL DESCRIBED IN LIBER 260, PAGE 204 AND LIBER 260, PAGE 228, MACKINAC COUNTY RECORDS; THENCE ALONG SAID SOUTHWESTERN LINE S 57°05'38" E 80.00' TO THE SOUTHEASTERN CORNER OF SAID PARCEL; THENCE ALONG THE SOUTHEASTERN LINE OF SAID PARCEL N 32°55'00" E 60.01' TO THE NORTHEASTERN CORNER OF SAID PARCEL; THENCE S 57°05'38" E 73.24'; THENCE N 60°14'04" E 22.74'; THENCE N 22°15'51" E 53.51'; THENCE N 20°12'58" E 51.33'; THENCE N 29°47'45" E 60.40'; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 400.00', A DELTA OF 33°26'55", AN ARC LENGTH OF 233.62' AND A CHORD WHICH BEARS N 59°02'27" E 230.21'; THENCE S 83°08'17" E 46.39' TO THE NORTHERLY LINE OF A 20' WIDE PRIVATE EASEMENT RECORDED LIBER 454, PAGES 366-389, MACKINAC COUNTY RECORDS; THENCE S 57°35'45" E 191.19' ALONG THE NORTH LINE OF SAID EASEMENT; THENCE S 33°03'20" W 20.00' TO THE NORTHWESTERN CORNER OF A PARCEL DESCRIBED IN LIBER 412, PAGE 472, AND LIBER 412, PAGE 473, MACKINAC COUNTY RECORDS; THENCE ALONG THE NORTHWESTERN LINE OF SAID PARCEL S 33°03'19" W 152.25' TO THE SOUTHWESTERN CORNER OF SAID DESCRIBED PARCEL; THENCE ALONG THE SOUTHWESTERN LINE OF SAID PARCEL S 57°15'00" E 150.00' TO THE POINT OF BEGINNING, CONTAINING 10.32 ACRES, BEING SUBJECT TO ALL EASEMENTS OF RECORD, IF ANY, ALL BEING A PART OF PRIVATE CLAIM NO.3, T40N, R3W, CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN.

STONECLIFFE SITE PLAN NOTES:

1. PROPERTY ZONED HB HOTEL BOARDING-HOUSE.
2. MINIMUM LOT SIZE REQUIREMENTS: AREA SHALL NOT BE LESS THAN 7500 SQ. FT. W/ A MIN. WIDTH OF 60' AT THE BUILDING LINE.
3. ACTUAL **NEWLY COMBINED LOT SIZE** = 10.32 AC (449,539 S.F.).
4. MINIMUM SETBACK REQUIREMENTS: FRONT = 30 FEET, SIDE = 10 FEET, REAR = 30 FEET.
5. NO BUILDING SHALL EXCEED 40 FEET OR 31 STORIES IN HEIGHT.
6. ACTUAL LOT COVERAGE OF **NEWLY COMBINED PARCELS** IS 15.6% = 69,982 S.F. = ALL BUILDINGS, PATIOS, COBBLES, PATHS, WALKS, DRIVES. **(AN INCREASE OF 940 S.F. FOR THIS PROJECT, WHICH INCLUDES 4 CONNEXES + 3 GALLERY SHOPS)**
7. ALLOWABLE AND ACTUAL DENSITIES:
 - 6.1. THE MANSION - 16 EXISTING HOTEL ROOMS
 - 6.2. THE SUMMERHOUSE - 31 EXISTING HOTEL ROOMS
 - 6.3. THE FOUNDATION COTTAGE - SINGLE FAMILY UNIT OR 1 HOTEL GUEST ROOM
 - 6.4. 16+31+1 = 48 TOTAL GUESTROOMS INCLUDING THE COTTAGE.
8. AT LEAST 1 BICYCLE SPACE PER BEDROOM IS PROVIDED.

SITE PLAN

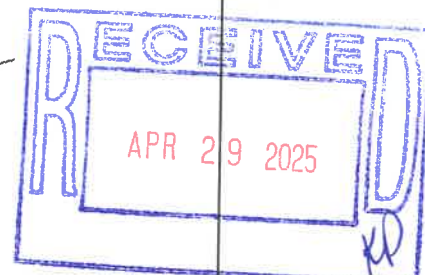
Richard Clements Architect, PLLC
15915 Merry Lane
Oshtemo, MI 49079

THE INN AT STONECLIFFE
8593 CUDAHY CIRCLE
MACKINAC ISLAND, MI

date: **Apr. 22, 2025**
project: **2131**

SITE PLAN

A16.1



File No. HBal-001-099
Exhibit WWW
Date 4-29-25
Initials KR



SAMPLE ISLAND METAL BUILDINGS



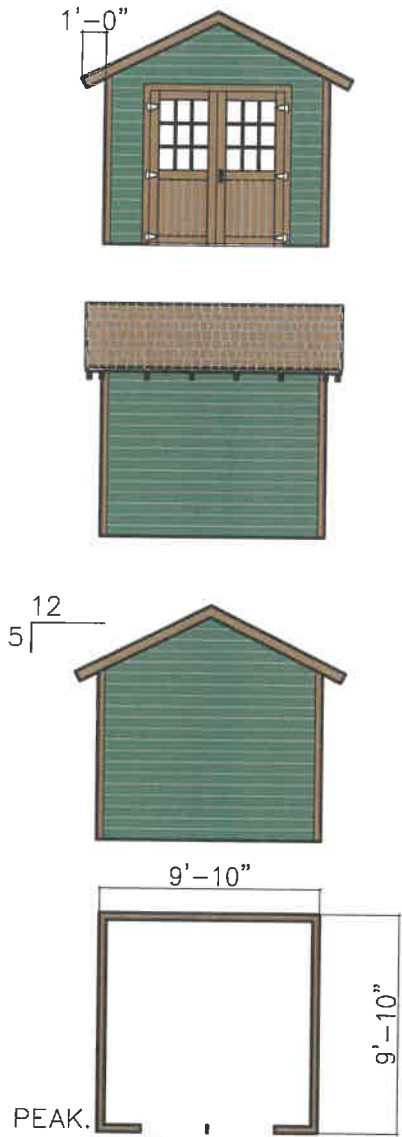
TYPICAL OF 3
GALLERY SHOPS

EXTERIOR SIMILAR TO MERCANTILE BUILDING.
BROWN ASPHALT DIMENSIONAL SHINGLES.

GREEN SMARTSIDE LAP SIDING
BROWN SMARTSIDE TRIMS

BROWN WOOD/CLAD DOORS W/ 60% GLASS
TRANSMITTANCE.

9'-10"x9'-10"x11'-0" HEIGHT FROM GRADE TO PEAK.

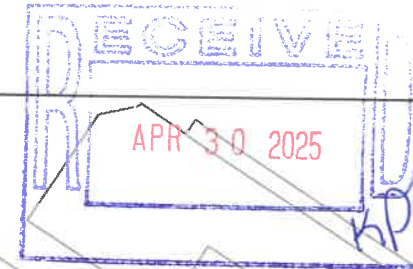


MAINTENANCE AREA
CONNEXES BEHIND
LANDSCAPE



MAINTENANCE AREA
CONNEXES

Richard Clements Architect, PLLC 15215 Merry Lane Oqueoc, MI 49759 richardlee1523@live.com 989-370-3681	THE INN AT STONECLIFFE	date: Apr. 22, 2025 project: 2131	sheet: A16.3 COPYRIGHT © 2025
	8593 CUDAHY CIRCLE MACKINAC ISLAND, MI	PHOTOS	

File No. HB21-001-099Exhibit 222Date 4.30.25Initials KP

LOTS 1-9:
ZONED: HB HOTEL BOARDINGHOUSE
LOTS 1-10 REVERT INTO ONE PARCEL,
AREA = 100,970 s.f. = 2.3 ACRES
(AREA EXCLUDES ROAD & UTILITY EASEMENTS)

DENSITY CALCULATION:
ALLOWABLE:
20 DWELLINGS UNITS PER ACRE = 46

ACTUAL FAMILY RESIDENTIAL UNITS
DUPLEX #1: 2
DUPLEX #2: 2
DUPLEX #3: 2
COTTAGE: 1
TOTAL FAMILY RESIDENTIAL UNITS: 7

ALLOWABLE LOT COVERAGE = 40% x 100,970
s.f. = 40,388 s.f.

ACTUAL LOT COVERAGE:
BUILDINGS = 7,500 s.f.
PORCHES & WALKS = 788 s.f.
STORAGE UNITS = 320 s.f.
TOTAL IMPERVIOUS = 8,608 s.f. = 8.5%

SITE NOTES:

1. BICYCLE PARKING RACK IS PROVIDED AT A RATE OF 1 PER OCCUPANT.
2. TRASH TO BE HELD WITHIN A LANDSCAPE SCREENED AREA AT REAR OF EACH BUILDING.
3. LIGHTING - NO AREA LIGHTING PROPOSED. COACH LIGHTING PROVIDED AT BUILDING ENTRANCES: 15w LED SHIELDED TO CONFINE LIGHT WITHIN THE SITE.
4. SEE STORMWATER NOTES THIS SHEET

STORMWATER PLAN:

DESIGN CRITERIA:
10 YEAR 24 HOUR RAINFALL = 3.3"
(SOURCE: MDOT MS4 REPORT)
= (0.28") = 0.011" /hour

INFILTRATION RATE OF SOIL = 0.2"/hr.
(SOURCE: USDA) = 0.016"/hour x24
hrs. + 67% = 0.25" / storm event

DESIGN STORM VOLUME = 6,360 s.f.
IMPERVIOUS x 0.28" = 745 cu. ft.

APSORPTION AREA OF 10' STRIPS
FRONT & REAR OF EACH BUILDING =
5,320 s.f.

STORMWATER ABSORPTION = 5,320 s.f.
x 0.25" = 1,330 cu. ft.

STORMWATER ABSORPTION EXCEEDS
STORMWATER VOLUME = NO
STORMWATER RETENTION REQUIRED

In the COTTAGE
3 BEDROOM
2 1/2 BATH
KITCHEN
LAUNDRY
7' HIGH BASEMENT
In each DUPLEX Apt.
2 BEDROOMS
2 BATHS
KITCHEN
LAUNDRY
7' HIGH BASEMENT

NOTE:
ALL TREES AWAY FROM BUILDINGS
DECKS AND SANITARY SHALL REMAIN

NOTE:
2 STORAGE UNITS TO BE PAINTED
GREEN IN WOODED SURROUNDINGS.

NOTE:
ALL TREES AWAY FROM BUILDINGS
DECKS AND SANITARY SHALL REMAIN

NOTE:
2 STORAGE UNITS TO BE PAINTED
GREEN IN WOODED SURROUNDINGS.

LEGEND:

●	FOUND SURVEY IRON
■	FOUND CONCRETE MONUMENT
●	FOUND NAG NAIL
□	ELECTRIC BOX
□	TELEPHONE BOX
⊙	WATER VALVE
⊙	LAMP
⊙	UTILITY STUB
⊙	FIRE HYDRANT
⊙	MONITORING WELL
---	PROPERTY LINE
---	PLATTED LOT LINES
---	SETBACK LINE
---	SEWAGE EASEMENTS AS RECORDED IN LIBER 326, PAGE 333
---	GOLF EASEMENTS AS RECORDED IN LIBER 446, PAGE 196
---	FENCE
---	EDGE OF TREES
⊙	TREE (AS DESCRIBED)
---	APPROXIMATE GRAVEL ROAD AS TRAVELED
---	WATER
---	SANITARY
---	ELECTRIC

SHEET INDEX

SHEET	DESCRIPTION
A7.0	FOREST DRIVE SITE PLAN
A7.10	DUPLEX #1 FOUNDATION PLAN
A7.11	DUPLEX #1 FOUNDATION SECTION

PROJECT UNDER THIS 4.21.2025 PERMIT:

1. TWO STORAGE UNITS.
2. ALL OTHER STRUCTURES SHOWN ON THIS SITE PLAN ARE FOR REFERENCE ONLY & ARE NOT INCLUDED UNDER THIS PERMIT.



SITE PLAN
SCALE: 1" = 30'-0"

0 30 60



Richard Clements Architect, PLLC
1920 Merry Lane
Okemos, MI 48870
richardcl@me.com 980-370-3681

STONECLIFFE PROPERTIES

FOREST DRIVE DUPLEX #1
MACKINAC ISLAND, MI 48757

date: April 22, 2025
project: 2131

SITE PLAN

sheet:
A7.0

DATE: 2025

Katie Pereny

Subject: Next Zoning Update topics to address
Start Date: Monday, June 18, 2018
Due Date: Wednesday, September 24, 2025

Status: Not Started
Percent Complete: 0%

Total Work: 0 hours
Actual Work: 0 hours

Owner: Katie Pereny

Setbacks and Density #s – committee has been formed to review

Invasive species & Alternative energy

Landscape buffers

4.01 Landscape buffers add MD – DONE

Terap seasonal weather enclosures/Definition (draft given to PC in Dec) – DONE

Right of way of doors in the HD – Remove from zoning architectural review and put in regular zoning. Reference Jan 8 2019 per minutes – DONE

Ways to provide fractional ownership info to owners – Evashevski to comment on

Possibly add “continuous” to 30 day rental period in ordinance – Evashevski to address

Unightly rear of buildings in commercial district. Mike says master plan address this issue so should be something in ordinance – DONE

Antennas – possible ordinance needed? – will be discussed in the Master Plan

add roof top items of a certain size to our to do list as I feel we need to consider some sort of regulation of these items in the future. This will be discussed at a later date and once we have worked with the city attorney and secured ordinance language there could be a fee associated with that application of possibly \$100.

Penalty for seasonal tents and enclosures in fee schedule. – go to Ordinance committee

Corner lot zoning update – will be discussed in Master Plan and DJD and Erin will discuss

Special Land Use conditions – will be addressed by master plan

Slicing doors on commercial structures – Ordinance and master plan topic

Impervious surfaces like flagstone and pavers adding to calculations. DJD says it should not brick pavers on natural sand used to be part of the section. Section 2.46 – send to ordinance committee

Lot combination process – send to ordinance committee to create approval process for all splits and combinations, including unplatted parcels

Remove gender reference of “him” and “he” from sections 22.09 and 22.10 – Ordinance Committee

Commercial accessory bldgs.. allow minimum size without a zoning permit. It is allowed in residential. (ex. Small storage closet at Woods for golf cart towels)

APR 11 2025

1

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

GC North, LLC
c/o Jim Murray, Member

231-838-6102

jamesmurrayesq@gmail.com

Phone Number

Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Bonzheim Revocable Trust, Scott and Kimberly Bonzheim, Trustees
7730 Parkcrest Circle Clarkston MI 48348

Is The Proposed Project Part of a Condominium Association?

Yes

Is The Proposed Project Within a Historic Preservation District?

No

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Owner

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

No

Is a Variance Required?

Yes

Are REU's Required? How Many?

No

n/a

Type of Action Requested:☒ Standard Zoning Permit☐ Special Land Use☐ Planned Unit Development☐ Other _____☐ Appeal of Planning Commission Decision☐ Ordinance Amendment/Rezoning☐ Ordinance Interpretation**Property Information:**File No. R125.017.020Exhibit ADate 4-24-25Initials KP

A. Property Number (From Tax Statement): 051-752-017-00

B. Legal Description of Property: Stonebrook Condo Unit No. 17C. Address of Property: 4311 Pine Cove LaneD. Zoning District: R-1E. Site Plan Checklist Completed & Attached: yesF. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) yesG. Sketch Plan Attached: yesH. Architectural Plan Attached: yesI. Association Documents Attached (Approval of project, etc.): on fileJ. FAA Approval Documents Attached: on fileK. Photographs of Existing and Adjacent Structures Attached: yes**Proposed Construction/Use:**

A. Proposed Construction:

☒ New Building☐ Alteration/Addition to Existing Building☐ Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

vacant

Proposed Use: single-family home

C. If Vacant:

Previous Use: vacantProposed Use: single- family home

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the general contractor (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Signature

SIGNATURES

Signature

Please Print Name

James Murray, Authorized Member of GC North, LLC

Please Print Name

Signed and sworn to before me on the 11 day of April, 2025.

K. RICKLEY, Notary Public
 Mackinac County, State of Michigan
 Acting in the County of Mackinac
 My Commission Expires: 10/21/2025

Notary Public

Mackinac County, Michigan
 My commission expires: 10/21/2025

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: R125-017-020FEE: \$150-DATE: 4-11-25CHECK NO: 1501INITIALS: KP

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.
13. Proposed construction start date and estimated duration of construction.
14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission

☒☐☒☐☒☐Natural FeaturesProvidedNot Provided
or Applicable

15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)
16. Topography of the site with at least two- to five-foot contour intervals
17. Proposed alterations to topography or other natural features
18. Earth-change plans, if any, as required by state law

☒☐☒☐☒☐☒☐Physical FeaturesProvidedNot Provided
or Applicable

19. Location of existing manmade features on the site and within 100 feet of the site
20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site
21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a

☒☐☒☐☐☒

dwelling schedule showing the unit type and number of each such units.

22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
25. Description of Existing and proposed on-site lighting (see also Section 4.27)

☒☐☒☐☒☐☒☐

Utility Information

Provided

Not Provided or Applicable

26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand
27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)
28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)
29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.

☐☒☒☐☒☐☒☐

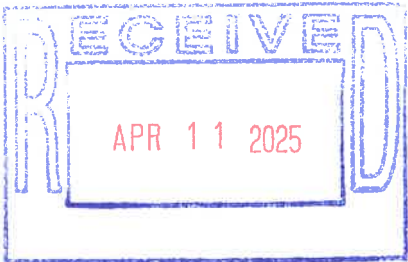
**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Section X, Itemb.



Section X, Itemb.



Section X, Itemb.





**ARCHITECTURAL CONTROL COMMITTEE
STONE BROOK OWNERS' ASSOCIATION**

April 14, 2025

Scott & Kim Bonzheim
7730 Parkcrest Circle
Clarkston, MI 48348

Subject: ***Stone Brook Owners' Association
Architectural Control Committee
Preliminary Approval – Unit 17 House Plans***

File No	B125-077020
Exhibit	U G
Date	4-24-25
Initials	KD

Dear Scott & Kim:

At a meeting on April 14, 2025, the Architectural Control Committee of the Stone Brook Owners' Association granted preliminary approval of the following submittals related to your proposed home at Stone Brook Unit 17:

- C1844 Bonzheim Pricing Plan Set 2-10-25,
- Site Plan_2025-2-21 (PDF),
- Site Model_2025-2-21, and
- Bonzheim Timeline – 11-27-24.

Attached you will find copies of those documents marked "Approved - Preliminary."

In conjunction with preliminary approval and in accordance with the Stone Brook Architectural Control Guidelines, the committee established the following conditions to be met prior to final approval of the plans:

- No polyurethane or polyvinyl chloride (PVC) materials shall be used for porch railings, trim, or ornamental detailing. This includes, but is not limited to, brand names such as Fypon and Azek.
- Painted wood siding and painted wood shingles are required for exterior walls. The proposed Diamond Kote siding does not conform to Stone Brook's guidelines.

In accordance with the provisions of the Stone Brook architectural control guidelines, final approval of the house plans will be considered by the committee upon receipt of the following items:

- Updated construction documents incorporating the conditions stated above;
- Dimensioned site plan, indicating where trees are to be removed;
- Landscape plan;
- Updated construction schedule,
- A sample board providing samples or other sufficiently detailed information describing major materials, finishes, and colors (i.e., base, siding, windows, trim, roof, chimney, accessories, lighting, etc.); and
- A written description of any deviations from the preliminary approval documents.

Scott & Kim Bonzheim

April 14, 2025

Page 2

The architectural control guidelines also require that all improvements to be made on Unit 17 must be accurately staked out on the site prior to final approval, including building corners, all major decks, terraces, and other improvements. Grading stakes indicating degree of cut and fill must also be present prior to final approval.

Please feel free to contact me if you have questions regarding this.

Sincerely,



Neal K. Liddicoat, Chairman
Architectural Control Committee

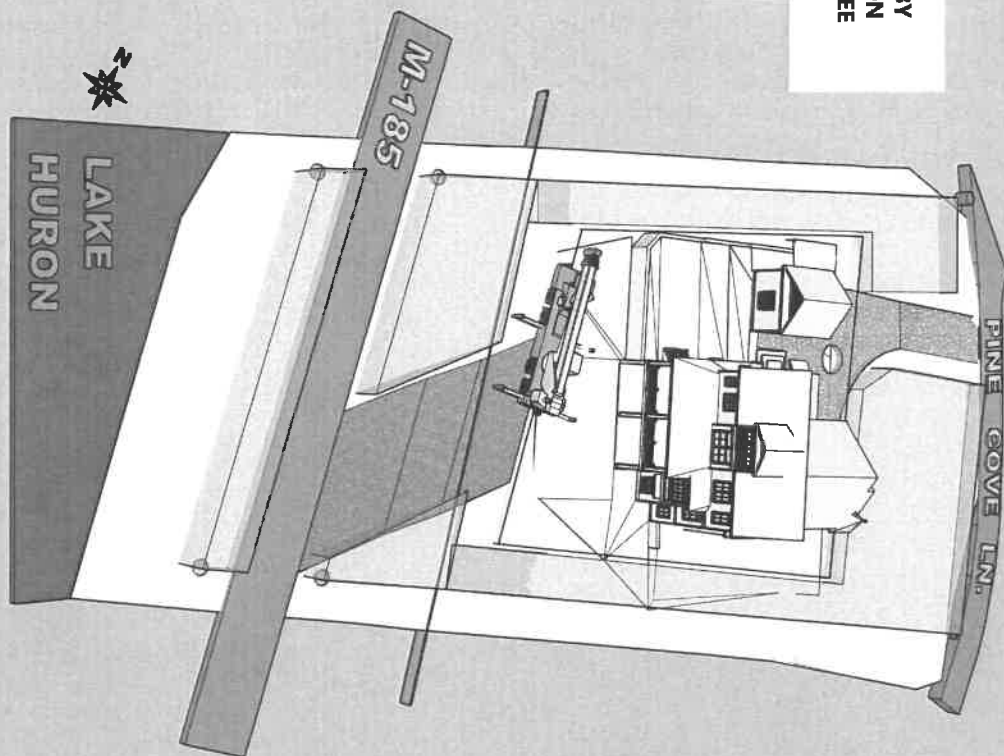
cc: Ms. Janet Randazzo
Mr. Joel Hancock
Mr. Tim Shea
Mr. Francesco Viola
Mr. Ryan Spencer, Dickinson Homes
Mr. James Murray, GC North, LLC
Ms. Katie Pereny, City of Mackinac Island Building & Zoning Department

Attachments

NOTE: THE COLORS SHOWN ARE
REPRESENTATIVE FOR EXACT COLOR
DETAIL SEE SPEC SHEETS

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PRELIMINARY APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 14, 2025

Kate T. Clinton



A.01

Site
Model

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2/20/2025
DRAWN BY
M

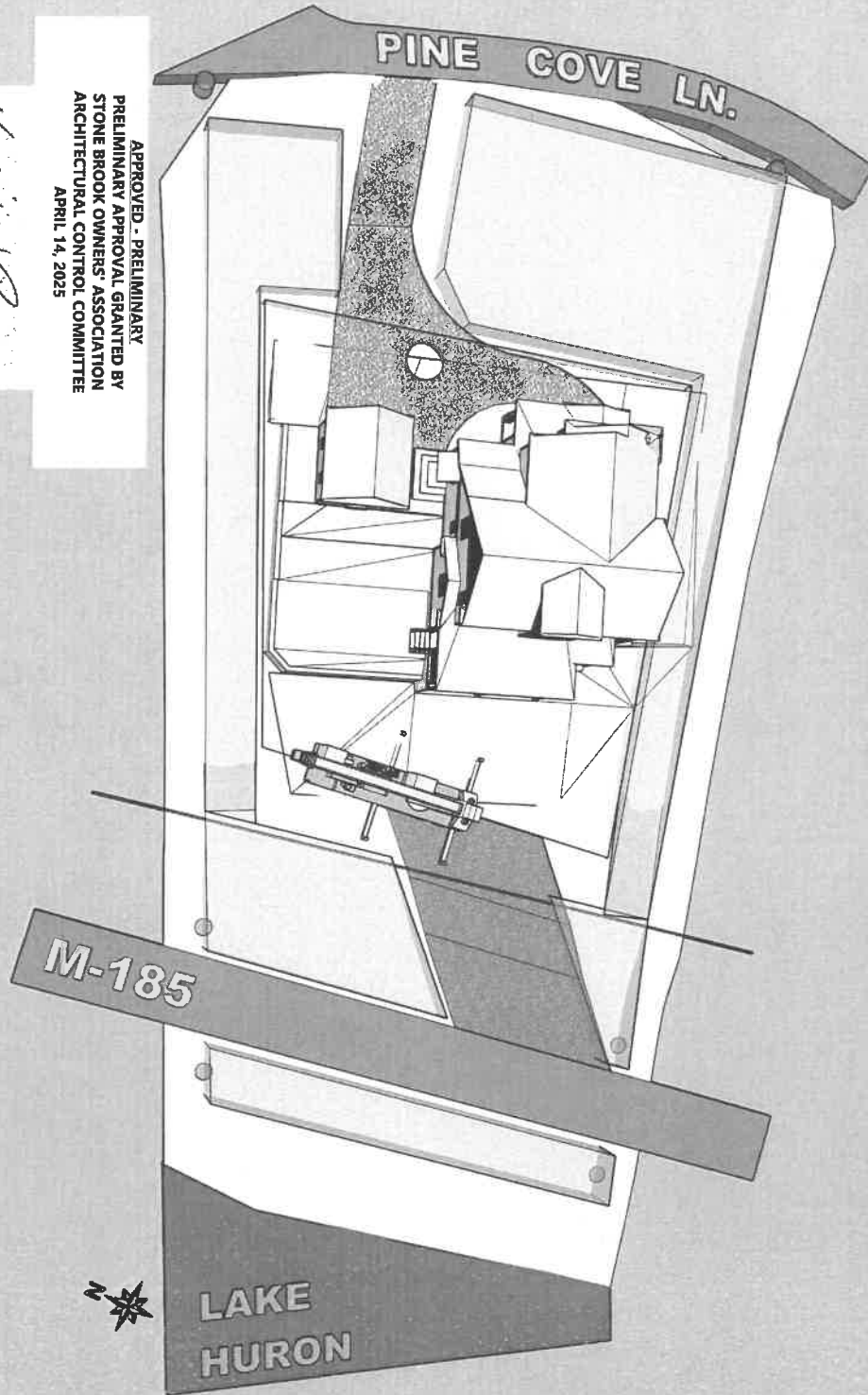
PROJECT
Bonzheim Residence
PROJECT NO.
C1844

Dickinson Homes

NOTE: THE COLORS SHOWN ARE REPRESENTATIVE. FOR EXACT COLOR DETAIL SEE SPEC SHEETS

Wade K. Dineen

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PRELIMINARY APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 14, 2025



A.07

Site
Model

ISSUE
2/20/2025
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M

PROJECT
Bonzheim Residence
PROJECT NO.
C1844

Dickinson Homes

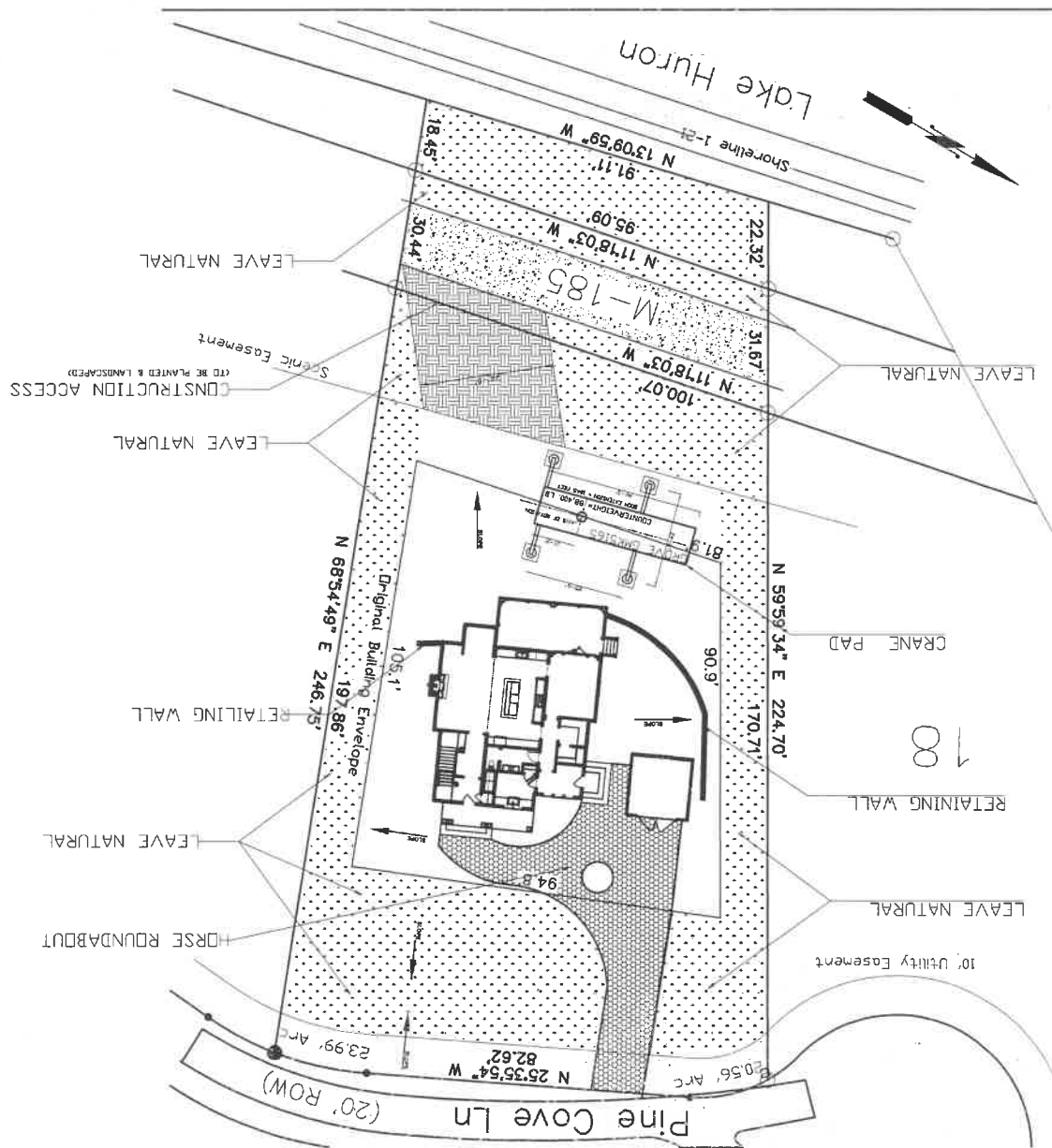
Read for Pricing February 3rd 2025

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APPROVED - PRELIMINARY

**PRELIMINARY APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 14, 2025**

Wm. H. Kinsant

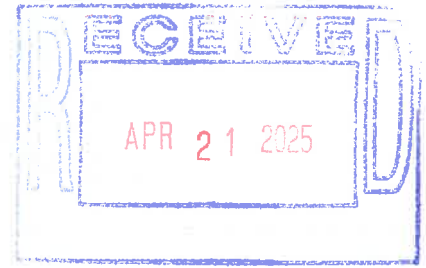


APPROVED - PRELIMINARY
PRELIMINARY APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 14, 2025

Handwritten signature

revision	4
proj title	
dr.	A
DL	A
date	A
job no	A
int no	A

Dickinson Homes
1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800

**Surface Water Drainage Narrative Plan**

Project: Bonzhiem New Build

Location: Mackinac Island Michigan

Reference Document: Neil Hill Official Site Plan (Dated 4-7)

Prepared By: Project Management Team

Applicable Code: 2015 Michigan Residential Code (MRC), Section R401.3

Code Compliance:

Section R401.3 of the Michigan Residential Code requires that surface water must be directed away from the foundation walls. The ground should fall a minimum of 6 inches within the first 10 feet. If not feasible, approved alternatives such as swales or drains may be used. Discharge of runoff onto neighboring lots or public right-of-ways is prohibited without proper approval.

Site Description:

The structure is centrally located on the lot, with the driveway situated on the northeast side. North, South, East, and West yard spaces provide opportunities for drainage.

Drainage Strategy:

- **Grading:** Maintain a **minimum** slope of 6 inches over 10 feet away from all sides of the foundation using compacted soil.
- **Swales:** Shallow grassed swales on the north, east, and south sides of the structure route water away: - North swale (driveway side) flows south. - East swale runs east. - East swale collects from both North and South swale and discharges east towards the road.
- **Downspouts:** All roof downspouts will discharge a minimum of 5 feet away from the foundation and toward the swales.
- **Driveway:** Slight slope or trench drain may be added to direct flow into the south swale.
- **Discharge Point:** Final water discharge is directed to the southwestern corner of the lot.

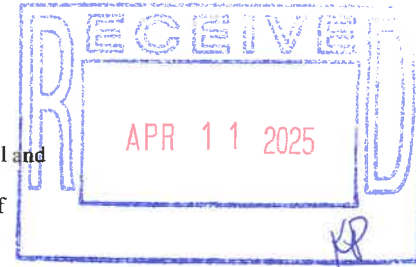
Optional Enhancements:

- French drains along South and West walls.
- Subsurface drain tile beneath swales.
- Catch basins and overflow containment.

Bonzheim Project Timeline

Section X, Itemb.

1. **Pre-Summer 2025**
 - o **Excavation:** Complete foundation excavation and grading for the temporary driveway.
2. **Summer 2025**
 - o **Foundation Installation:** Winberg to install foundations.
3. **Fall 2025**
 - o **Retaining Wall & Backfill:** Belonga to install the natural rock retaining wall and perform minimal backfilling.
 - o **Weather Protection:** Ensure foundation is protected prior to the first frost of 2025.
4. **Spring 2026**
 - o **Module Delivery & Set:** Transport modular units from St. Ignace to Mackinac Island and complete the crane set over three days (Monday setup, Tuesday placing up to six modules, Wednesday placing the remaining three modules).
5. **Post-Delivery (Immediate)**
 - o **Site Finish Construction:** Focus first on finishing the exterior of the home, then proceed with interior work once the exterior is complete.
 - o **Fall 2026:** Complete final landscaping, hardscaping, and grading.
 - o **Move-In Ready:** November 2026.



1. Delivery and Staging

St. Ignace Ford Garage (Initial Staging)

- **Timeline:** One week (prior to Spring 2026 set)
- **Activity:** Deliver and stage all modules at St. Ignace Ford Garage to ensure readiness for island transport.

Transport to Mackinac Island (Secondary Staging)

- **Timeline:** One week (Spring 2026)
- **Activity:** Move modules from St. Ignace to Mackinac Island, staging at British Landing in coordination with the City and State Park.
- **Recommendation:** Schedule deliveries toward the end of each week to minimize on-site storage time.

2. Setting the Modules

Three-Day Set Schedule

1. **Day 1 (Monday):** Crane setup on the Bonzheims' property.
2. **Day 2 (Tuesday):** Placement of up to six modules.

File No. R125-017-020
Exhibit B
Date 4.24.25
Initials KP

3. **Day 3 (Wednesday):** Placement of the remaining three modules.

Crane Placement

- **Crane:** 185-ton all-terrain crane (Plutchack Crane).
- **Road Closures:** Minimal and only during actual lifts.

Temporary Driveway

- **Grading & Use:** Belonga Excavating to grade a temporary driveway (3D PDF reference).
- **Restoration:** Once modules are set, remove the temporary driveway, replant trees, and install a discreet bike path and steps.

3. Site Maintenance and Debris Management

Debris Containment

- **Containment:** All construction debris stored in a “2-footer” (designated bin or dumpster).
- **Oversight:** GC North to maintain site cleanliness and minimize disruption.

Equipment Required

- **Dickinson Homes:** Set truck and sling trailer
- **Transport Vehicles:** Three toters
- **Belonga Excavating:** Excavator, dump truck, skid steer
- **Crane:** 185-ton all-terrain crane (Plutchack Crane)

Retaining Walls

- **Scope:** Natural rock retaining walls installed by Belonga Excavating.
- **Timing:** Wall installation during Fall 2025, with boulders placed by excavator.

Conclusion

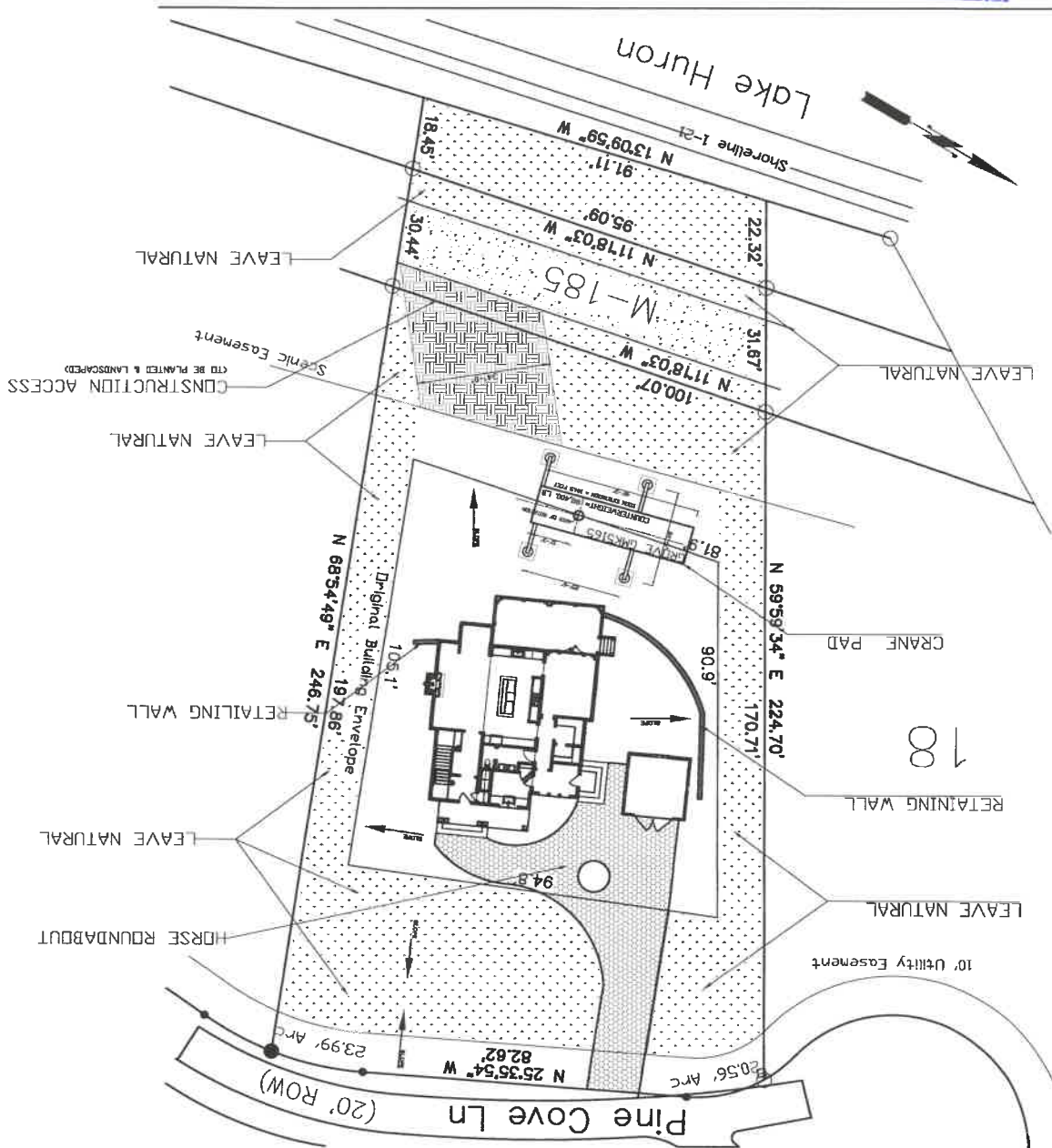
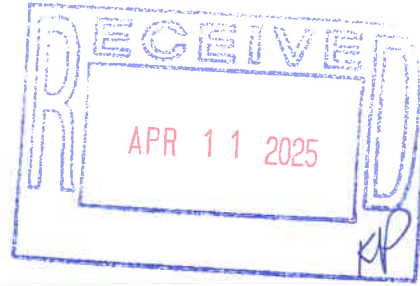
By adhering to this phased timeline—excavation before Summer 2025, foundations in Summer 2025, site protection and retaining wall in Fall 2025, module delivery and set in Spring 2026, and full exterior finishing followed by interior work—this plan keeps the project on track for a final move-in by November 2026. Restoration efforts and exterior landscaping will ensure the property is both functional and aesthetically pleasing.

No. R125-017-020

Unit C

Date 4-24-25

Initials KD



revision	A
proj title	
date	A
job no	A
site no	A

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1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800

Site Plan

Stone Brook Unit 17

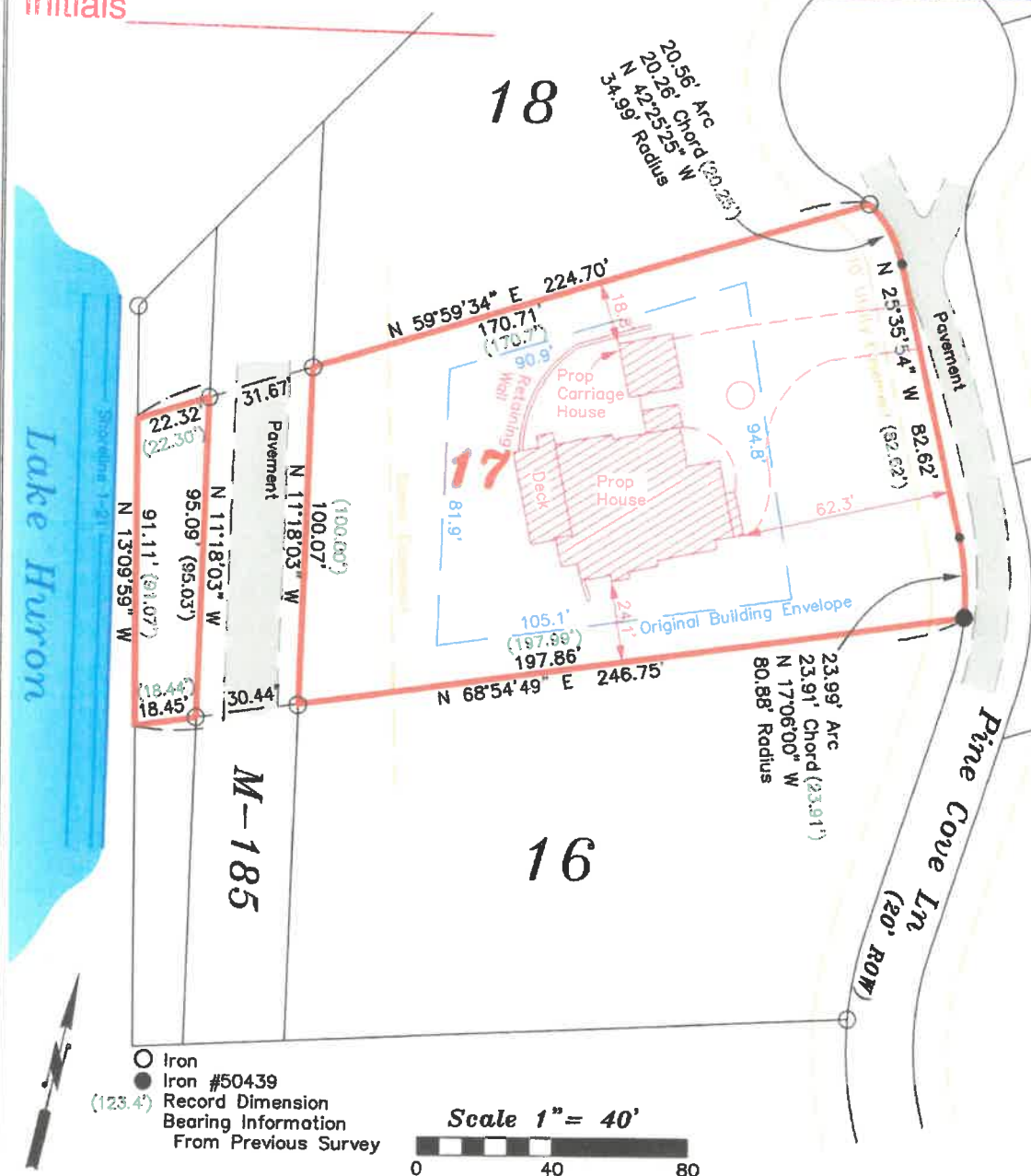
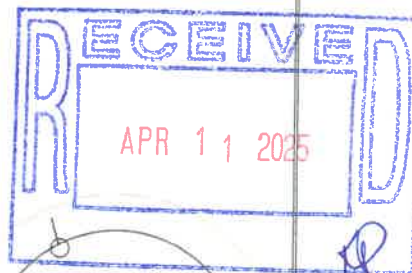
Client: Scott Bonzheim

File No. _____

Exhibit _____

Date _____

Initials _____

By: Neil W. Hill P.S.Neil W. Hill P.S. #50439
Registered Land Surveyor

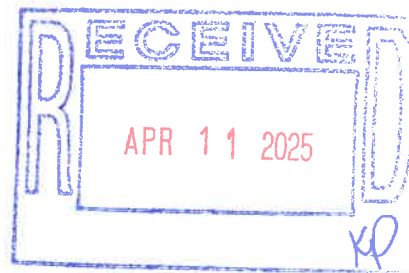
Date: February 21, 2025

Order No.: 21009-SB-17-SB-MI

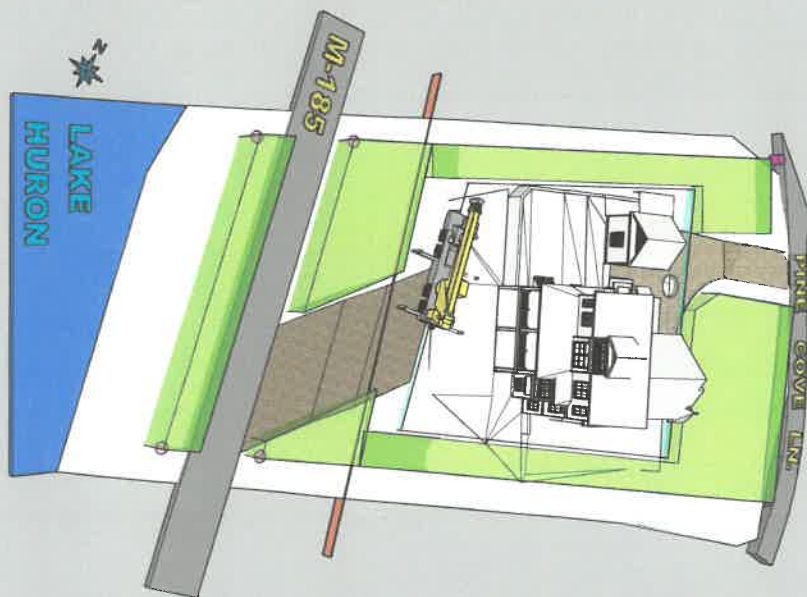
© 2025 This map may NOT be reproduced without written consent of surveyor

429 Ellsworth Street
St. Ignace, MI 49781
(906) 643-9418 Phone
info@mackinacsurveys.com

File No. R125-017-020
Exhibit D
Date 4-24-25
Initials KP



NOTE: THE COLORS SHOWN ARE REPRESENTATIVE. FOR EXACT COLOR DETAIL SEE SPEC SHEETS



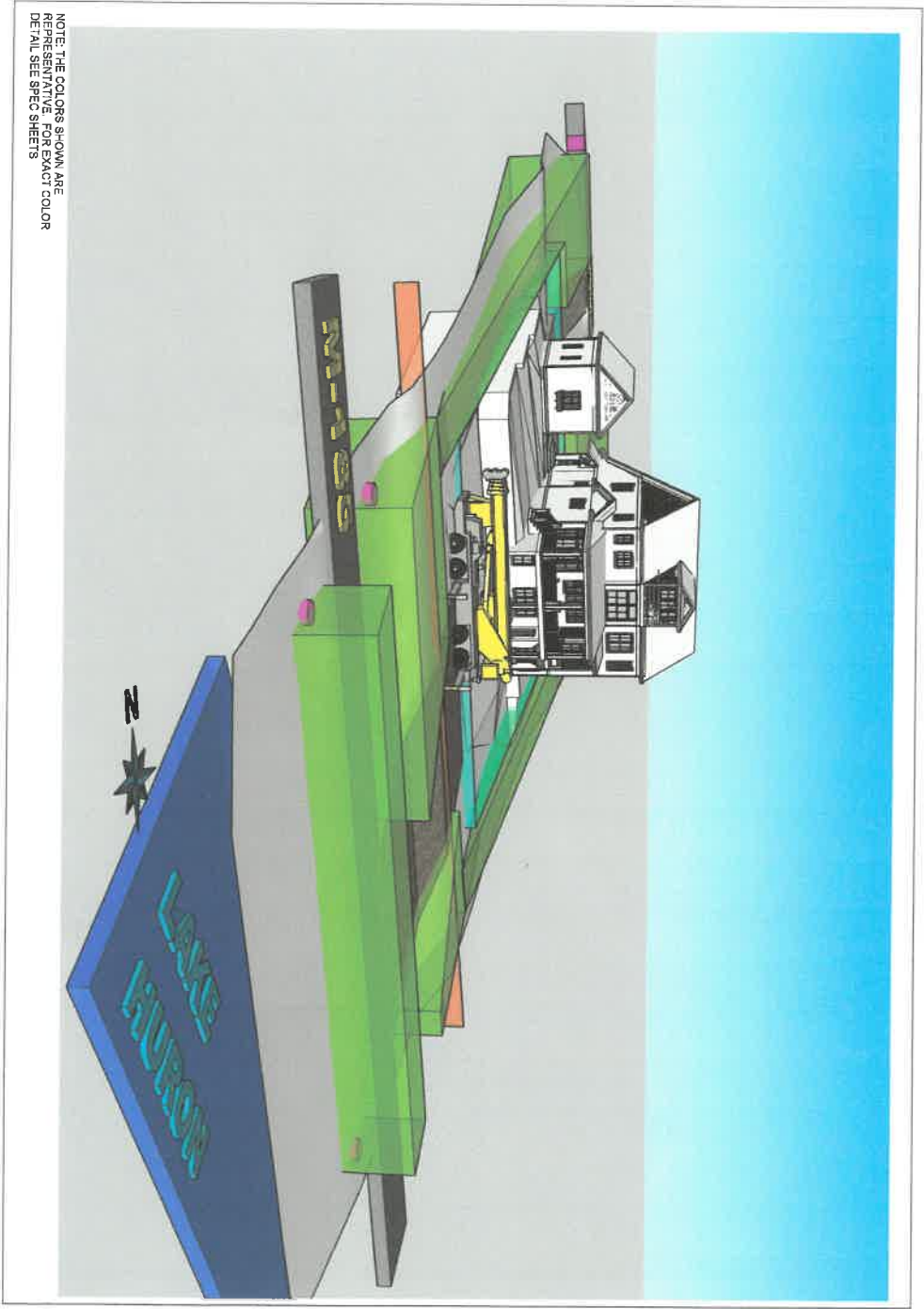
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Bonzheim Residence
PROJECT NO.
C1844

Dickinson Homes



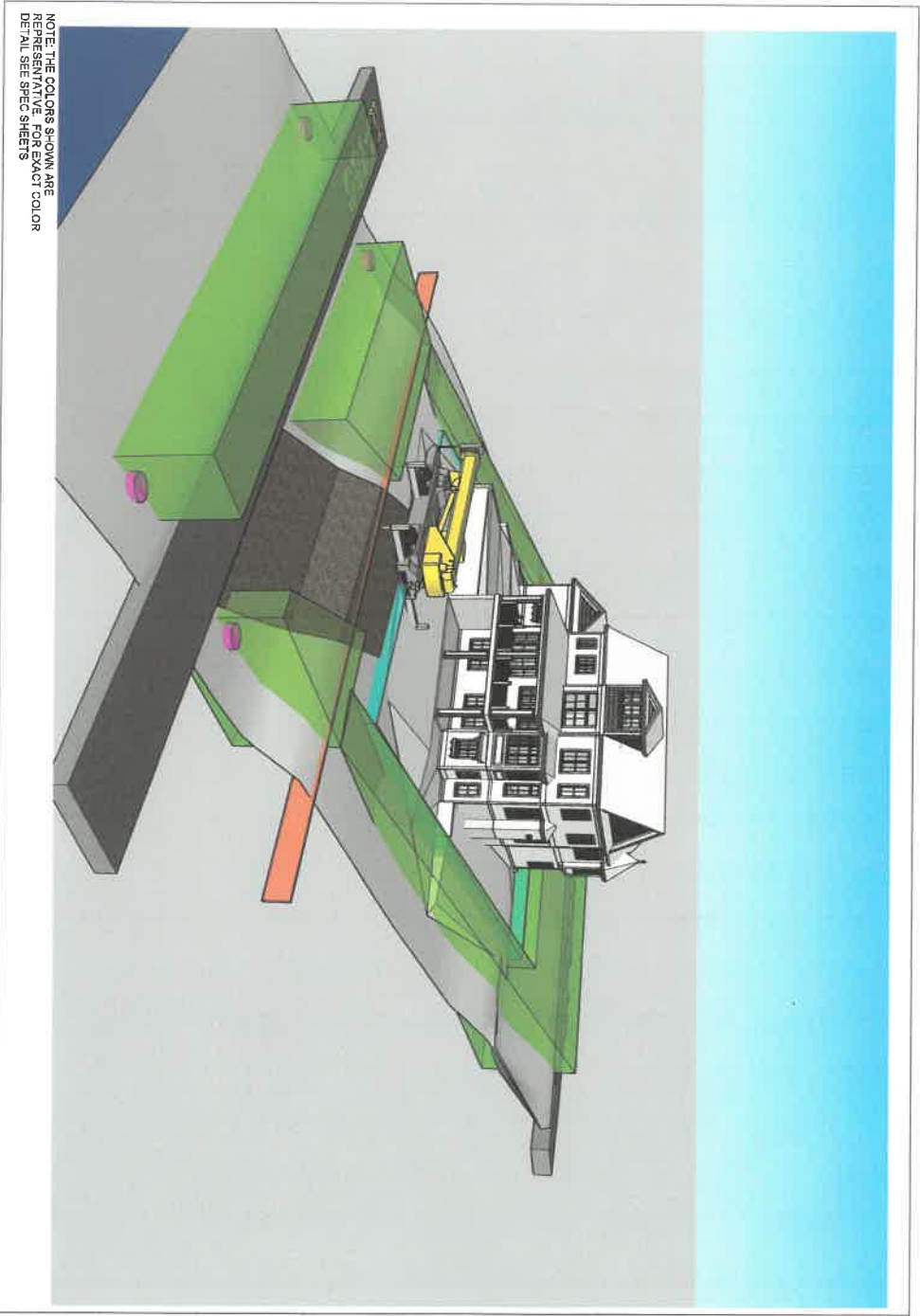
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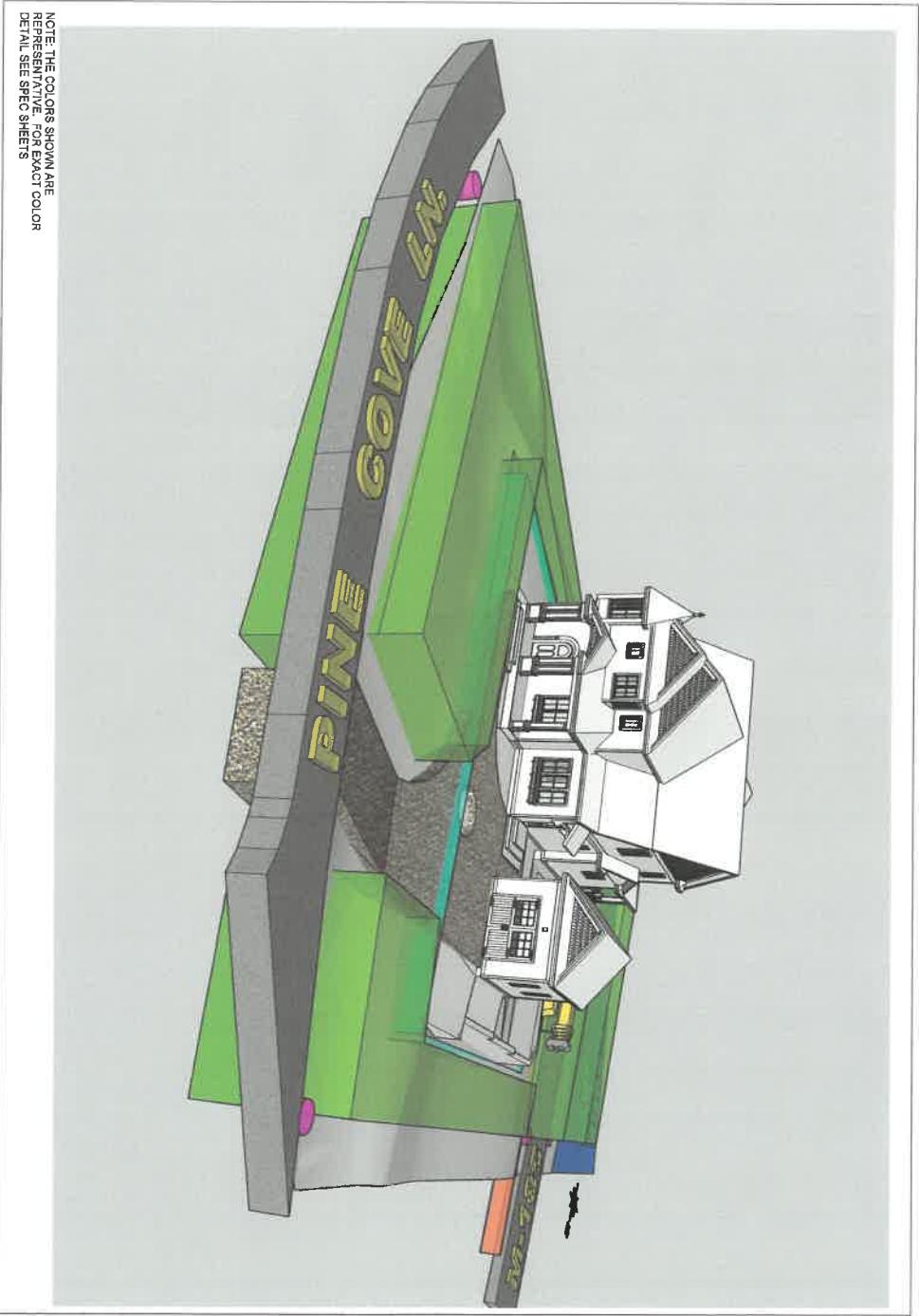
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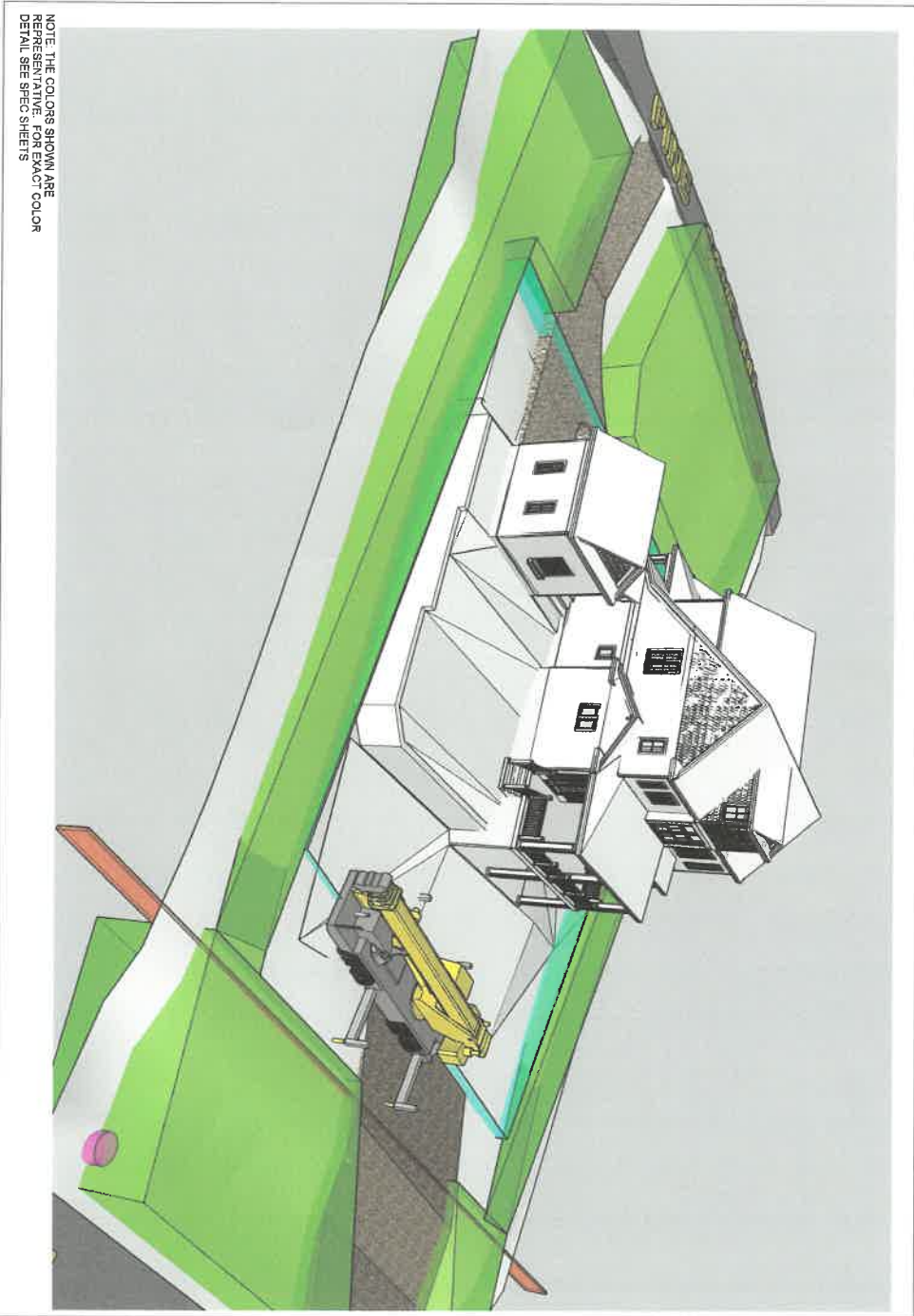
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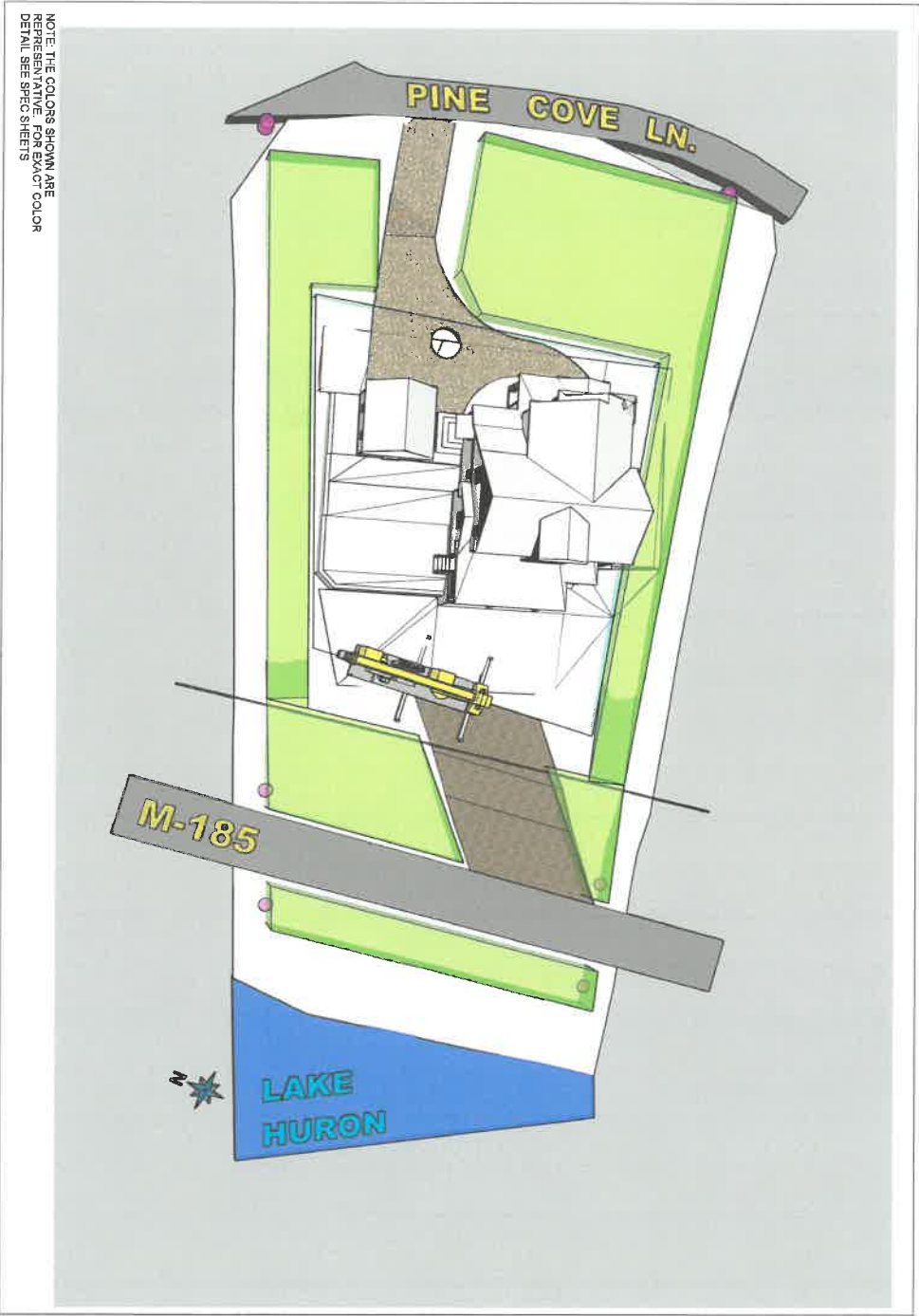
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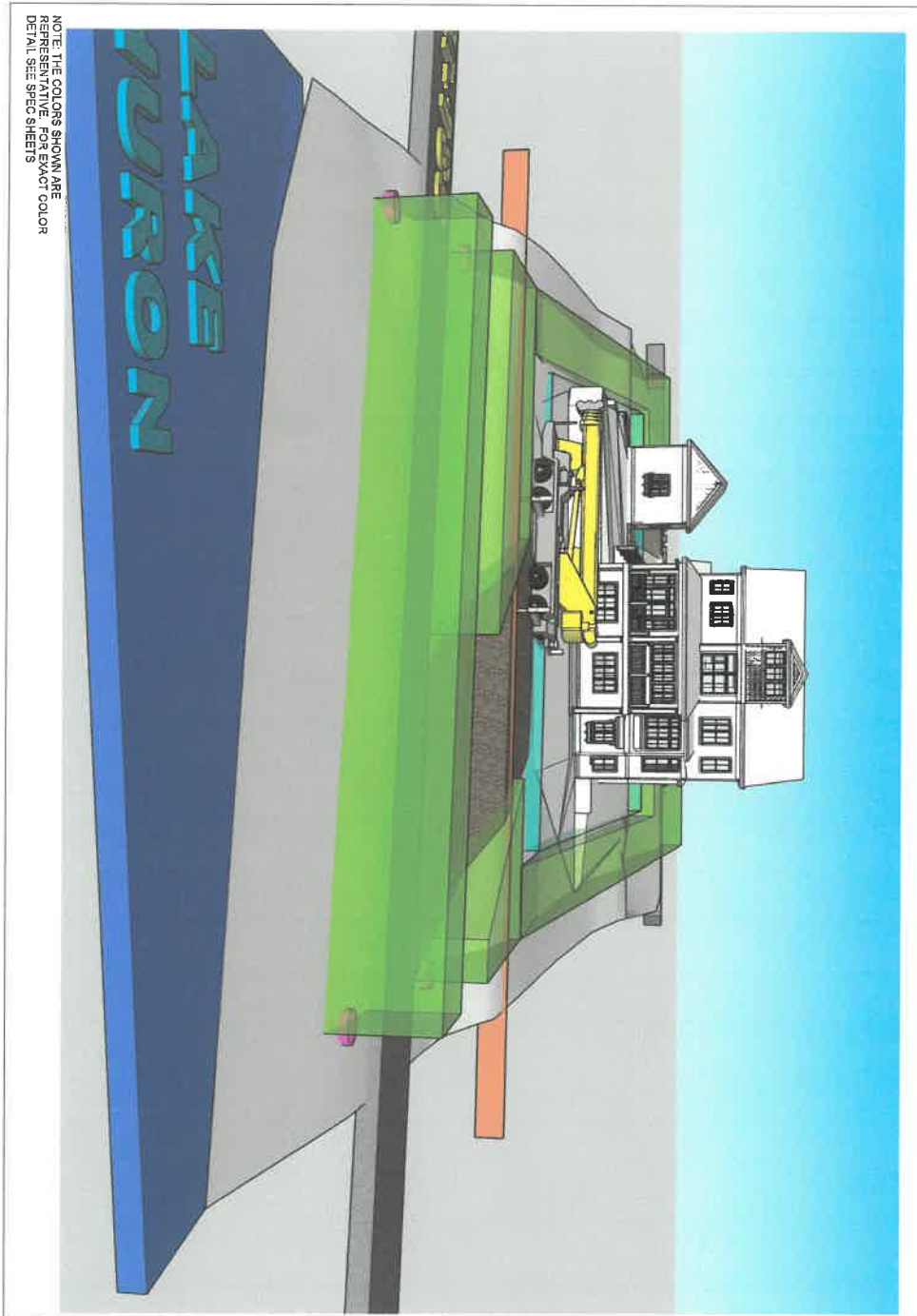


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Site
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PROJECT
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PROJECT NO.
C1844

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NOTE: THE COLORS SHOWN ARE
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DETAIL SEE SPEC SHEETS

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Site
Model

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2/20/2025
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PROJECT
Bonzheim Residence
PROJECT NO.
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ARCHITECTURAL CONTROL COMMITTEE
APRIL 14, 2025

RECEIVED
APR 21 2025

FRONT ELEVATION

EAST ELEVATION

File No. R135-017-020
Exhibit E

JOB #C1844
DRAWING SCALE 3/16" = 1'-0"

project title	BONZHEIM (SCOTT & KIM) RESIDENCE RYAN SPENCER
contact person APS	CUSTOM FRONT EXTERIOR ELEVATION-EAST
date APS	2/17/22
original location APS	
sheet no APS	A5.0

Dickinson Homes

WWW.DICKINSONHOMES.COM
FAX: 906-774-5813

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JOB #C1844
DRAWING SCALE 3/16" = 1'-0"

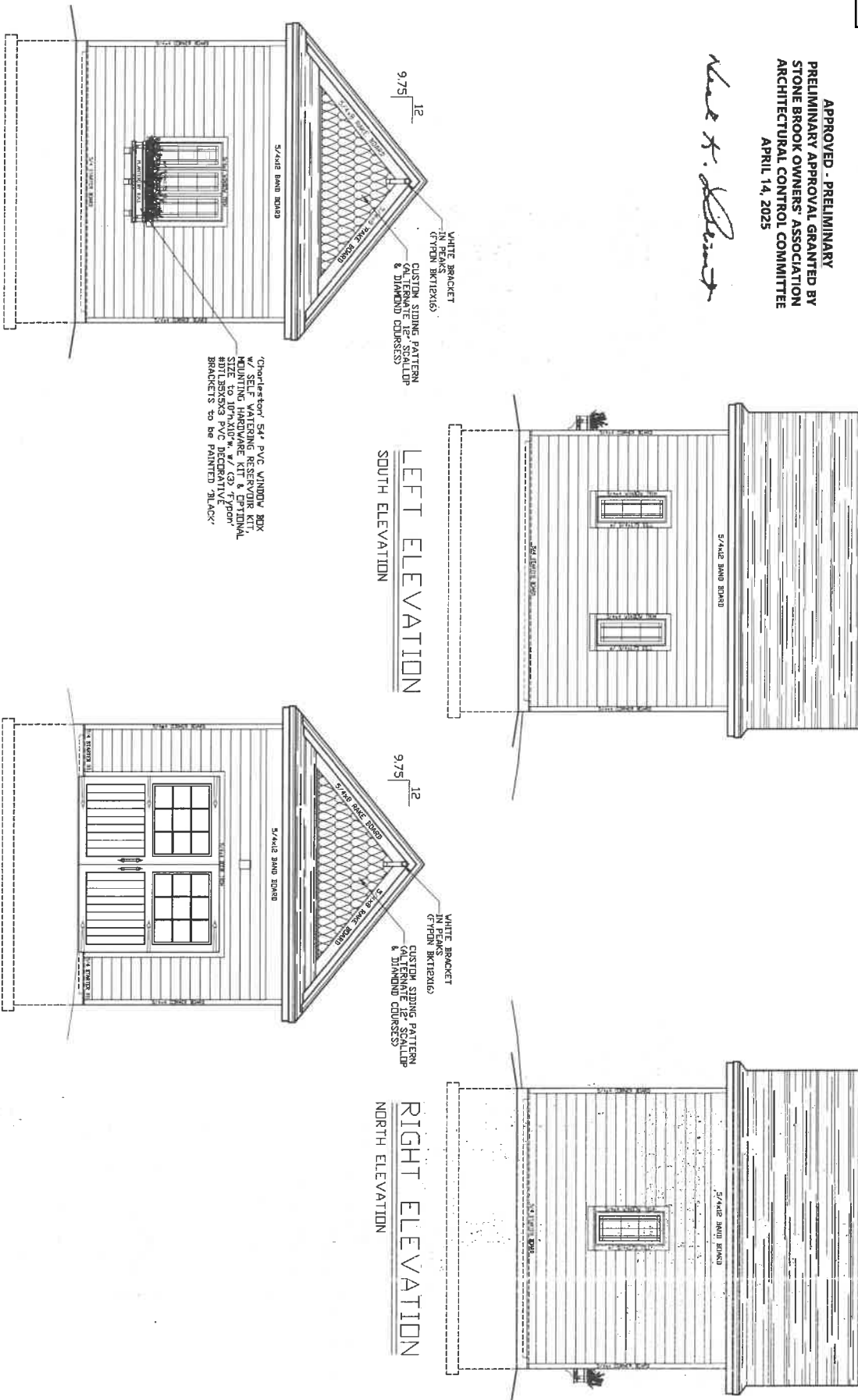
Vol 5: *History*

Wm. T. Sullivan



JOB #C1844
DRAWING SCALE 3/16" = 1'-0"

Wm. H. Smith



REAR ELEVATION

WEST ELEVATION

FRONT ELEVATION

JOB #C1844
DRAWING SCALE 3/16" = 1'-0"

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1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800

WWW.DICKINSONHOMES.COM

FAX: 906-774-5813



Wm. H. Davis

DRAWING SCALE 3/16" = 1'-0"

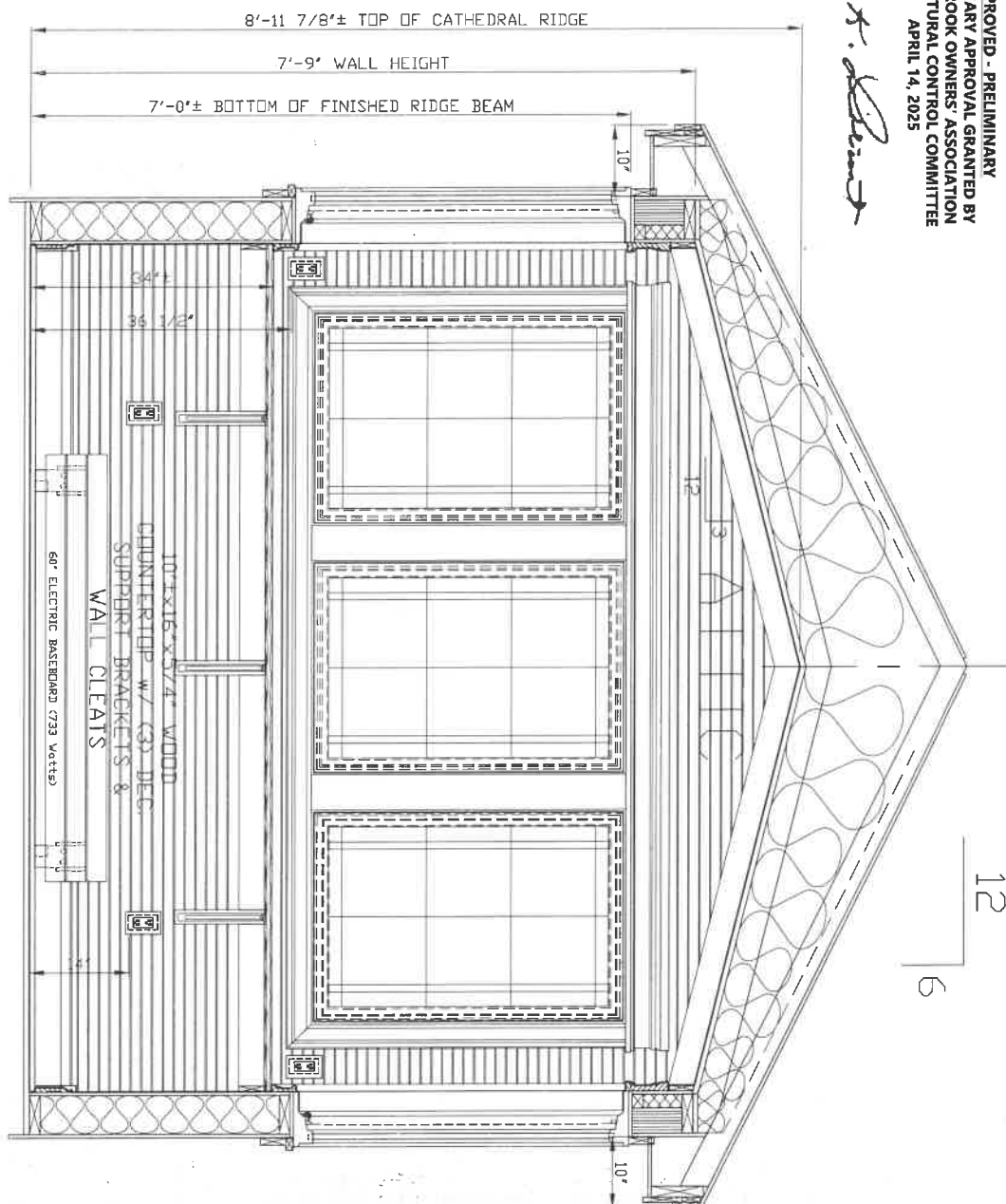
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1/16/23 APS	11-28-24 PD
2/15/23 APS	12-10-24 PD
8-21-24 PD	1-8-24 PD
9-6-24 PD	1-9-25 PD
10-18-24 PD	1-24-25 PD
11-7-24 PD	2-10-25 PD

1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800

WWW.DICKINSONHOMES.COM
FAX: 906-774-5813

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PRELIMINARY APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 14, 2025**

Wm. H. Kilian



BUILDING SECTION

A6.2

JOB #C1844

DRAWING SCALE 3/4" = 1'-0"

A6.2	sh# no	originator	date	dept	signature	APS	BONZEIM (SCOTT & KIM) RESIDENCE RYAN SPENCER	proj title	revision			
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									2/19/83	APS	12-10-84	PD
									3-21-84	PD	1-8-84	PD
									9-6-84	PD	1-9-80	PD
									10-18-84	PD	10-28-84	PD
									11-7-84	PD	1-10-80	PD

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WWW.DICKINSONHOMES.COM

FAX: 906-774-5813



File No. R125-017-020
Exhibit F
Date 4.24.25
Initials KP











**ARCHITECTURAL CONTROL COMMITTEE
STONE BROOK OWNERS' ASSOCIATION**

April 29, 2025

Scott & Kim Bonzheim
7730 Parkcrest Circle
Clarkston, MI 48348

Subject: **Stone Brook Owners' Association
Architectural Control Committee
Final Approval – Unit 17 House Plans**

REG NO. R125-017-020
Exhibit J
Date 4-30-25
Initials KP



Dear Scott & Kim:

On April 28, 2025, the Architectural Control Committee of the Stone Brook Owners' Association granted final approval of the attached revised plans for your proposed home at Stone Brook Unit 17. These plans reflect the following specific changes, as called for in connection with the project's preliminary approval, which was granted on April 14, 2025:

- Polyurethane and polyvinyl chloride (PVC) materials for corbels and brackets have been replaced with wood.
- The proposed Diamond Kote siding has been replaced with painted wood siding and painted wood shingles.

The committee approved a one-time exception from Stonebrook's architectural control guidelines to allow use of a Timber Tech porch railing using the "Cathedral Picket Panel."

Attached you will find copies of the revised documents marked "Approved - Final."

Please provide an updated construction schedule, as well as a landscape plan that generally describes your plans for future landscaping on the site.

Any deviations from the approved plans must be submitted to the Architectural Control Committee for further consideration.

Please feel free to contact me if you have questions regarding this.

Sincerely,

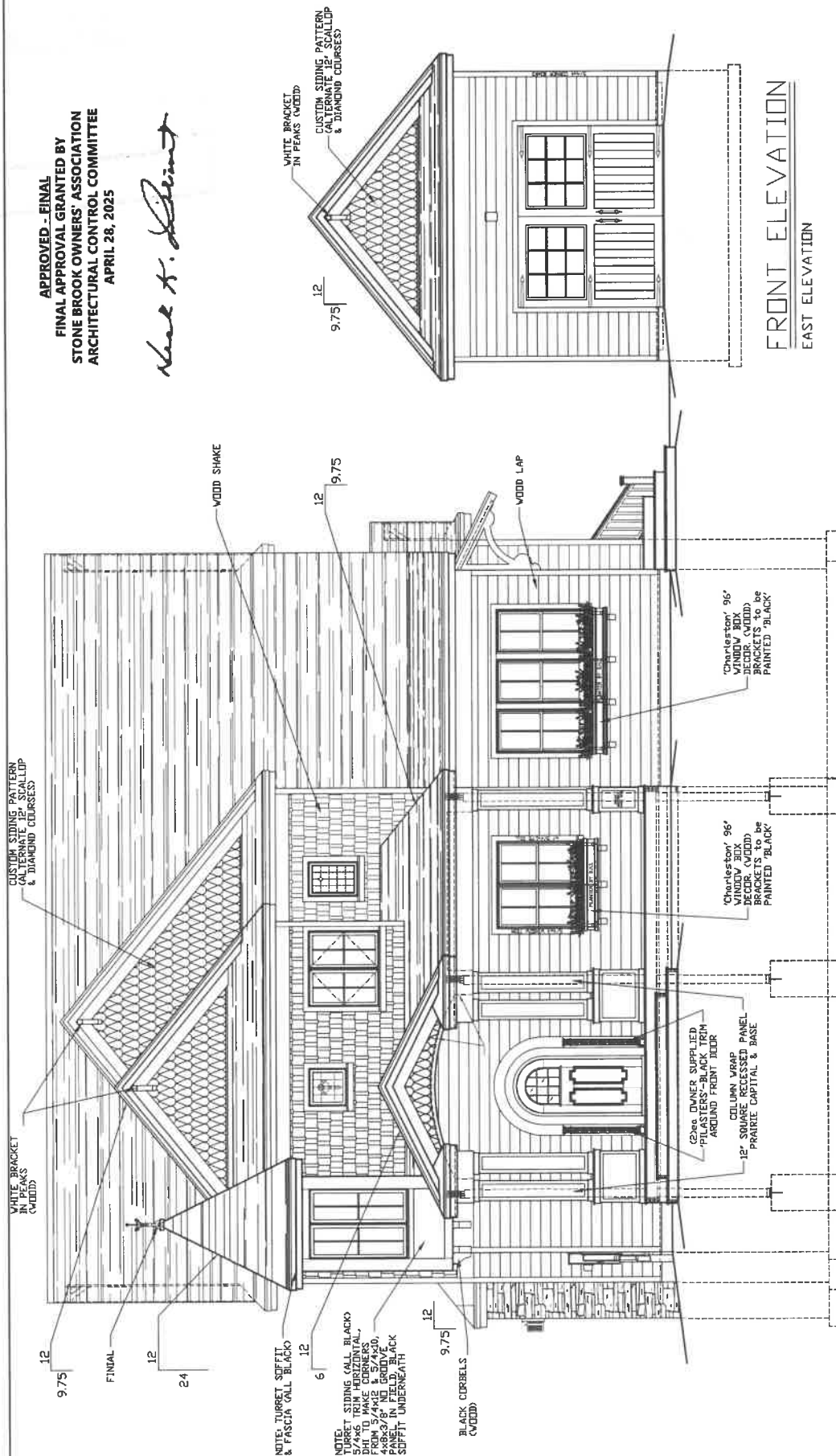
Neal K. Liddicoat, Chairman
Architectural Control Committee

cc: Ms. Janet Randazzo
Mr. Joel Hancock
Mr. Tim Shea
Mr. Francesco Viola
Mr. Ryan Spencer, Dickinson Homes
Mr. James Murray, GC North, LLC
Ms. Katie Pereny, City of Mackinac Island Building & Zoning Department

Attachments

APPROVED - FINAL
FINAL APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 28, 2025

Wm. H. Priest



FRONT ELEVATION

JOB #C1844
DRAWING SCALE 3/16" = 1'-0"

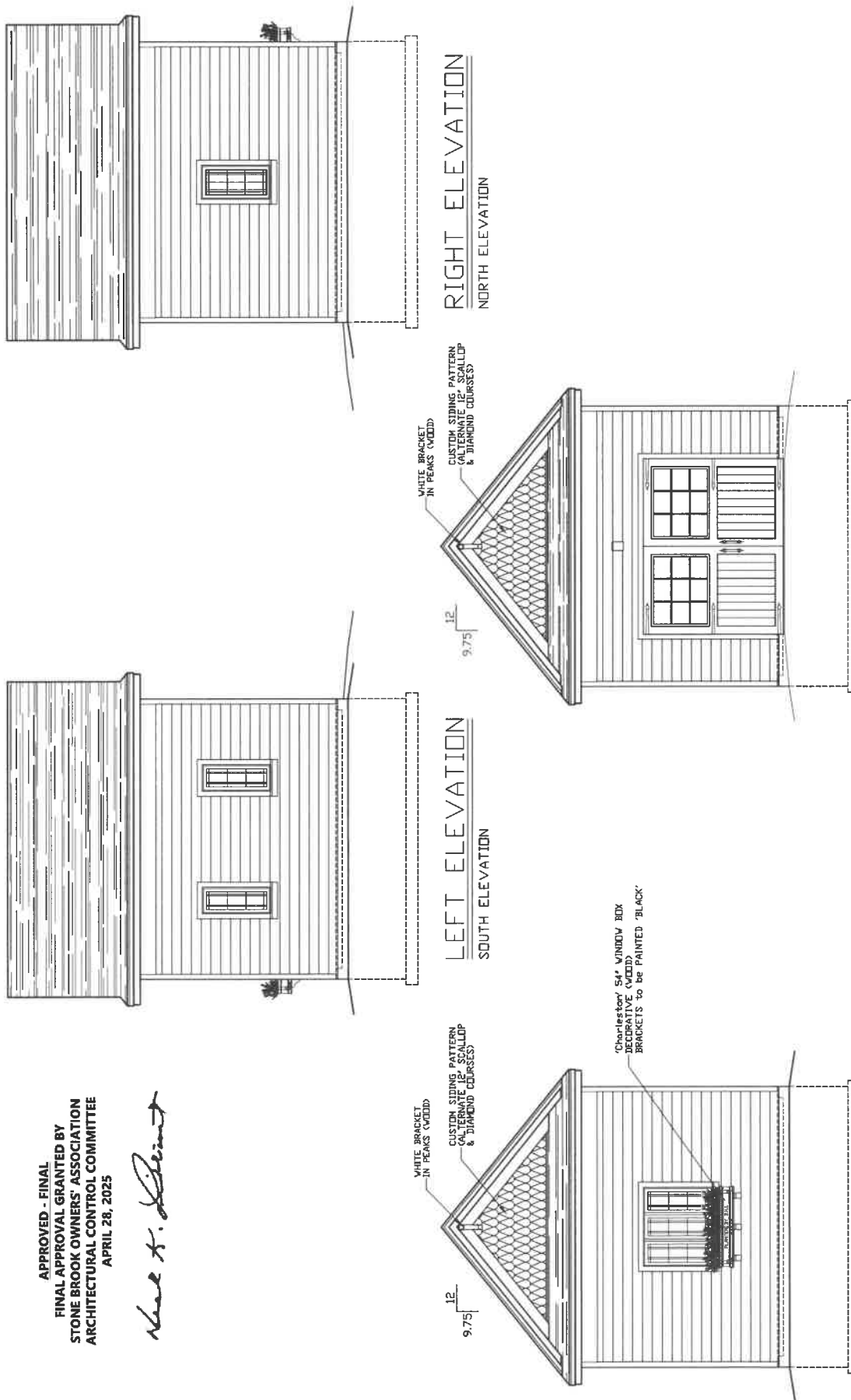
LEFT ELEVATION

APPROVED - FINAL
FINAL APPROVAL GRANTED BY
STONE BROOK OWNERS' ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE
APRIL 28, 2025

Wm. H. Priest

Dickinson Homes
1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800
FAX: 906-774-5813
WWW.DICKINSONHOMES.COM

date	contact	revision
12-10-24 PD	APR	8/15/23 RPS
12-10-24 PD	RYAN SPENCER	8-21-24 PD
1-6-24 PD	BENZHEIM (SCOTT & KIM) RESIDENCE	1-6-24 PD
1-9-24 PD		9-6-24 PD
10-18-24 PD	CUSTOM	10-18-24 PD
11-7-24 PD	SURAGE BUILDING EXTERIOR ELEVATION	11-28-24 PD



revision	date
2/15/23 APS	12-10-24 PD
8-21-24 PD	1-8-24 PD
10-18-24 PD	1-24-25 PD
11-7-24 PD	2-10-25 PD
11-28-24 PD	3-10-25 PD

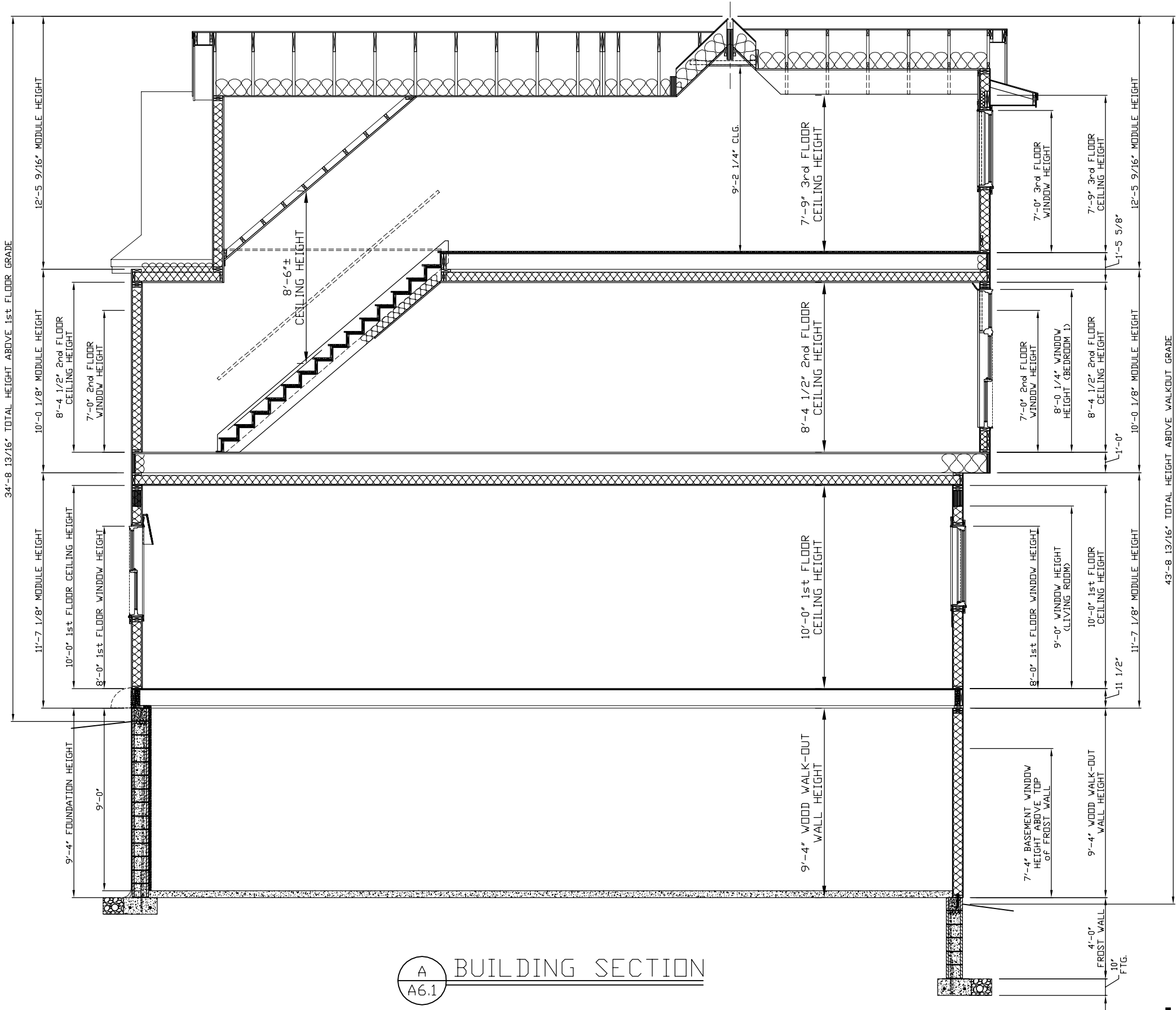
BONZHEIM (SCOTT & KIM) RESIDENCE	project
RYAN SPENCER	owner
CUSTOM BUILDING SECTION-LAUNDRY & KITCHEN	title

contact person	APS
----------------	-----

date	2/17/23
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originator	APS
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sht	A6
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JOB #C1844
DRAWING SCALE 3/16" = 1'-0"

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Tamara Burns, HopkinsBurns Design Studio
113 S 4th Ave, Ann Arbor, MI 48104

734.604.9312

tamara.burns@hopkinsburns.com

Phone Number

Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Gilmer Cottage LLC
320 Hummingbird Ln, Kerrville, TX 78028

Is The Proposed Project Part of a Condominium Association?

No

Is The Proposed Project Within a Historic Preservation District?

Yes

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Architect

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

No

Is a Variance Required?


No

Are REU's Required? How Many?

NO / **Type of Action Requested:**☒ Standard Zoning Permit☐ Special Land Use☐ Planned Unit Development☐ Other ☐ Appeal of Planning Commission Decision☐ Ordinance Amendment/Rezoning☐ Ordinance Interpretation**Property Information:**A. Property Number (From Tax Statement): 051-575-046-00B. Legal Description of Property: Lot 7 Block 4 Assessor's Plat No 4C. Address of Property: 7575 Main Street, Mackinac Island, MI 49757D. Zoning District: Shoreline ResidentialE. Site Plan Checklist Completed & Attached: YesF. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) YesG. Sketch Plan Attached: YesH. Architectural Plan Attached: YesI. Association Documents Attached (Approval of project, etc.): N/AJ. FAA Approval Documents Attached: N/AK. Photographs of Existing and Adjacent Structures Attached: YesFile No. RS25-046-032(4)Exhibit ADate 4-28-25Initials KP**Proposed Construction/Use:**

A. Proposed Construction:

☐ New Building☐ Alteration/Addition to Existing BuildingYes Other, Specify Deck Enlargement, Window Replacement


Signature

SIGNATURES _____
Signature

TAMARA E.L. BURNS
Please Print Name

Please Print Name

Signed and sworn to before me on the 25th day of April, 2025.

LUIS ESCUDERO-FLORES
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF WASHTENAW
My Commission Expires 10/23/2026
Acting in the County of Washtenaw


Notary Public

Washtenaw County, Michigan
My commission expires: 10/23/2026

Washtenaw

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: RS25-046-032(H) FEE: \$150 -
DATE: 4-28-25 CHECK NO: 6128 INITIALS: KP

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | |
|---|-------------------------------------|--------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|-------------------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

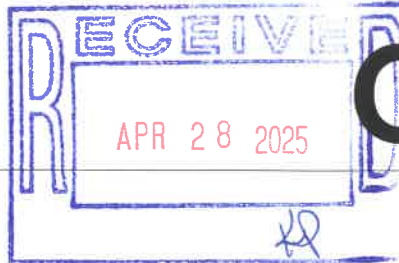
Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|-------------------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

4/25/2025 6:00:51 PM S:\Projects\Gilmer Residence\Drawings\Sheet\Gilmer Residence Kitchen-Laundry-A24_Local.rvt



GILMER RESIDENCE

SUBMITTAL FOR PLANNING COMMISSION & HISTORIC DISTRICT COMMISSION

Sheet List

GENERAL	
0	COVER
1	SURVEY
2	SITE PLAN
3	EXISTNG PLAN
4	PROPOSED PLAN
5	NORTH ELEVATION
6	SOUTH ELEVATION
7	EAST ELEVATION
8	WEST ELEVATION
9	PHOTOGRAPHS

PC/HDC

Legal Description

LOT 7 BLOCK 4 ASSESSOR'S PLAT NO 4

Zoning

ZONING DISTRICT: SHORELINE RESIDENTIAL

Historic District

WEST END

Construction

PROPOSED CONSTRUCTION START DATE : NOVEMBER 01, 2025
ESTIMATED DURATION OF CONSTRUCTION : 6 MONTHS

AREA OF WORK.
EXISTING RESIDENCE.
SEE SITE PLAN.
PARCEL: 051-575-046-00

ARCHITECT

HopkinsBurns Design Studio
113 S Fourth Ave.
Ann Arbor, Michigan 48103
(734)424-3344
www.hopkinsburns.com

OWNER: GILMER COTTAGE LLC
PROPERTY ADDRESS 7575 MAIN STREET
MACKINAC ISLAND, MICHIGAN 49757
PARCEL #: 051-575-046-00

Project Description

This project entails alterations to a non-contributing residential structure located in the West End historic district. The property will continue to serve as a single-family residence. Interior modifications include updates to the kitchen and laundry room. Exterior improvements include the expansion of the west deck with new exterior access stairs and relocation of the existing transformer. All windows are proposed to be replaced with like-for-like units with the following two exceptions:

- Modification of the kitchen window/door to accommodate the kitchen updates.
- Removal of Muntins of most of the windows (see elevations).

File No RS25-0460
Exhibit C
Date 4-28-25
Initials KP

Requirements

	REQ'D	EXISTING	
MIN. LOT SIZE:	10,000 SF	12,500 SF	
SETBACKS			
FRONT YARD	40'	19' - 11"	NO CHANGE
SIDE YARD	20'	11' - 3"	NO CHANGE
SIDE YARD	20'	6' - 1"	NO CHANGE
REAR YARD	60'	VARIES	NO CHANGE
		APPROX. 0' TO 10' - 0"	
HEIGHT			
STORIES MIN.	1	2	NO CHANGE
STORIES MAX.	1.5	2	NO CHANGE
FEET MIN.	12'	32'	NO CHANGE
FEET MAX.	20'	32'	NO CHANGE
LOT COVERAGE			
SQ. FT. (INCLUDING PORCHES AND DECKS)	3,750 SF	3,550 SF	3,574 SF
PERCENTAGE	30%	28.4%	28.5%

Section X, Itemc.

COVER

2025.04.29

SCALE: As Noted

GILMER

GILMER RESIDENCE
RENOVATION

PC/HDC

HopkinsBurns

historic preservation & communities by design

ZONING REQUIREMENTS
VERIFY WITH MACKINAC ISLAND

ZONING DISTRICT - RS
MINIMUM LOT WIDTH - 100'
MINIMUM LOT AREA - 10,000 SQFT
SETBACKS: WATERFRONT - 60' FROM WATERS EDGE
STREET - 40'
SIDE - 20'

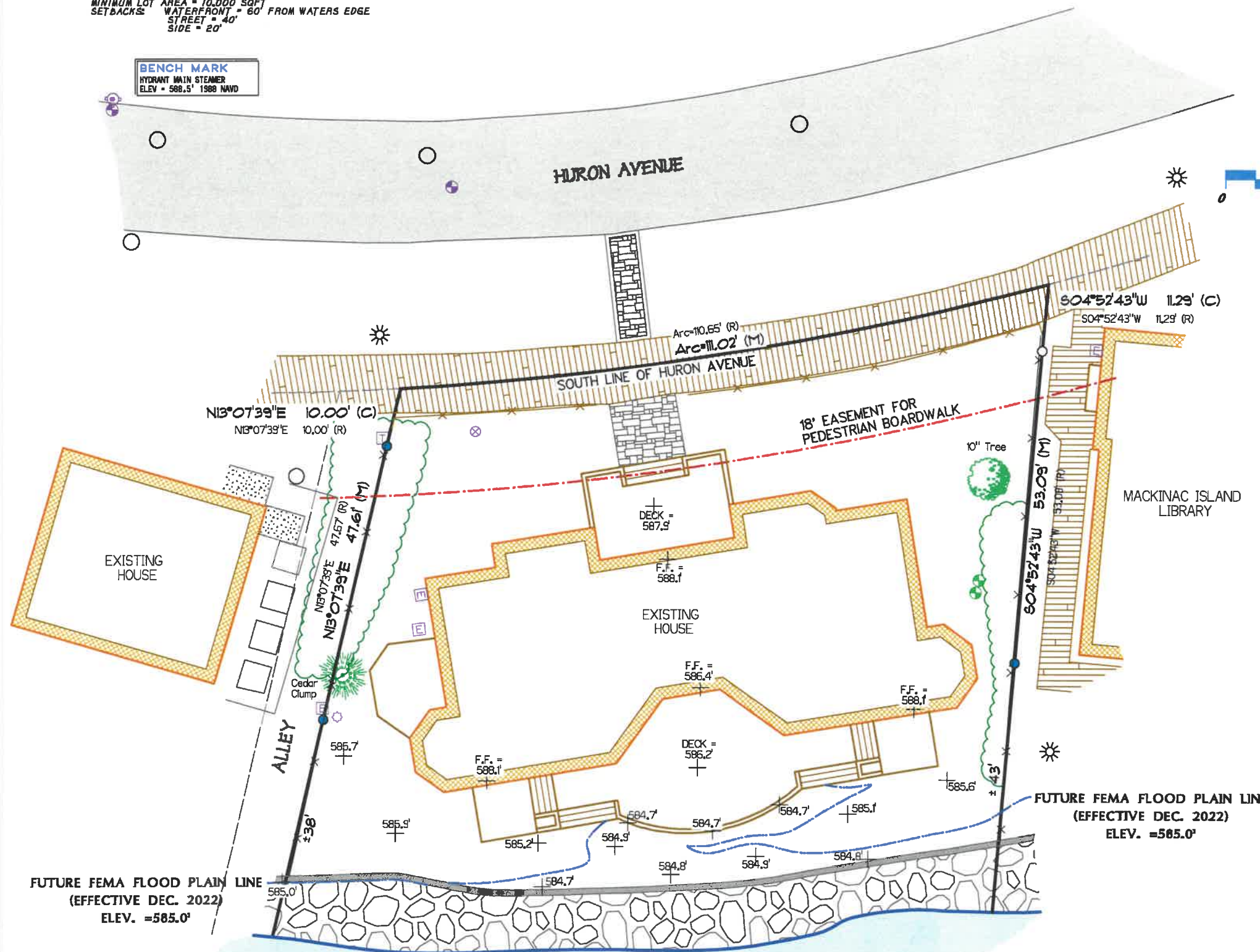
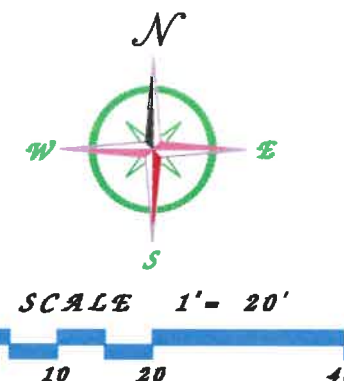
BENCH MARK
HYDRANT MAIN STEAMER
ELEV. = 588.5' 1988 NAVD

BOUNDARY SURV

Section X, Itemc.

LOT 7, ASSESSOR'S PLAT NO. 4

CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN



LEGEND:

- | | | | |
|-------|--------------------------------|-------|-----------------------------------|
| ● | FOUND SURVEY IRON | (M) | MEASURED BEARING AND DISTANCE |
| ○ | SET 5/8" REBAR, CAPPED = 33983 | (C) | COMPUTED BEARING AND DISTANCE |
| □ | ELECTRIC BOX / METER | (R) | RECORD BEARING AND DISTANCE |
| □ | TELEPHONE BOX | — | PROPERTY LINE |
| ☼ | LAMP | - - - | EASEMENT AS NOTED |
| ○ | BIRDHOUSE | — | FEMA FLOOD PLAIN LINE (DEC. 2022) |
| ⊙ | WATER CURBSTOP | — | PLATTED LOT LINE |
| ○ | MANHOLE | — | CEDAR HEDGE |
| ⊙ | IRRIGATION VALVE | ▨ | PAVED SURFACE |
| ⊙ | WATER VALVE | ▨ | WOODEN BOARDWALK |
| ⊙ | FIRE HYDRANT | ▨ | CONCRETE SURFACE |
| 588.5 | SPOT ELEVATION | ▨ | PAVER STONES |
| — x — | WOODEN FENCE | ▨ | LARGE STONES |
| — x — | CHAIN LINK FENCE | | |

NOTES:

The property description was furnished, and no check of title relative to ownership, gaps, overlaps or occupation has been performed as part of this sketch.

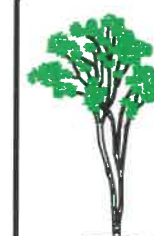
Bearings and distances shown on this map were taken from a Sketch of Survey, by James E. Young, PS 24626, for City of Mackinac Island, dated 24 April 1984.

This is a professional opinion concerning the location of the property boundaries depicted hereon, based upon the appropriate boundary law principles governed by the facts and evidence gathered and evaluated during the course of this survey. Monuments, that in the opinion of this surveyor represent the true and correct corners of the property being surveyed, have been found or set as indicated hereon. As a professional opinion, this survey carries with it no guarantees or warranties, expressed or implied.

The area lying between the Ordinary High Water Line and the Edge of water is subject to rights by others. The ordinary high water line was not mapped for purposes of this survey.

This survey is not intended to be used in place of an ALTA/NSPS Land Title Survey, or to be used to remove the survey exceptions of a title insurance policy.

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**BENCHMARK
ENGINEERING
INC.**

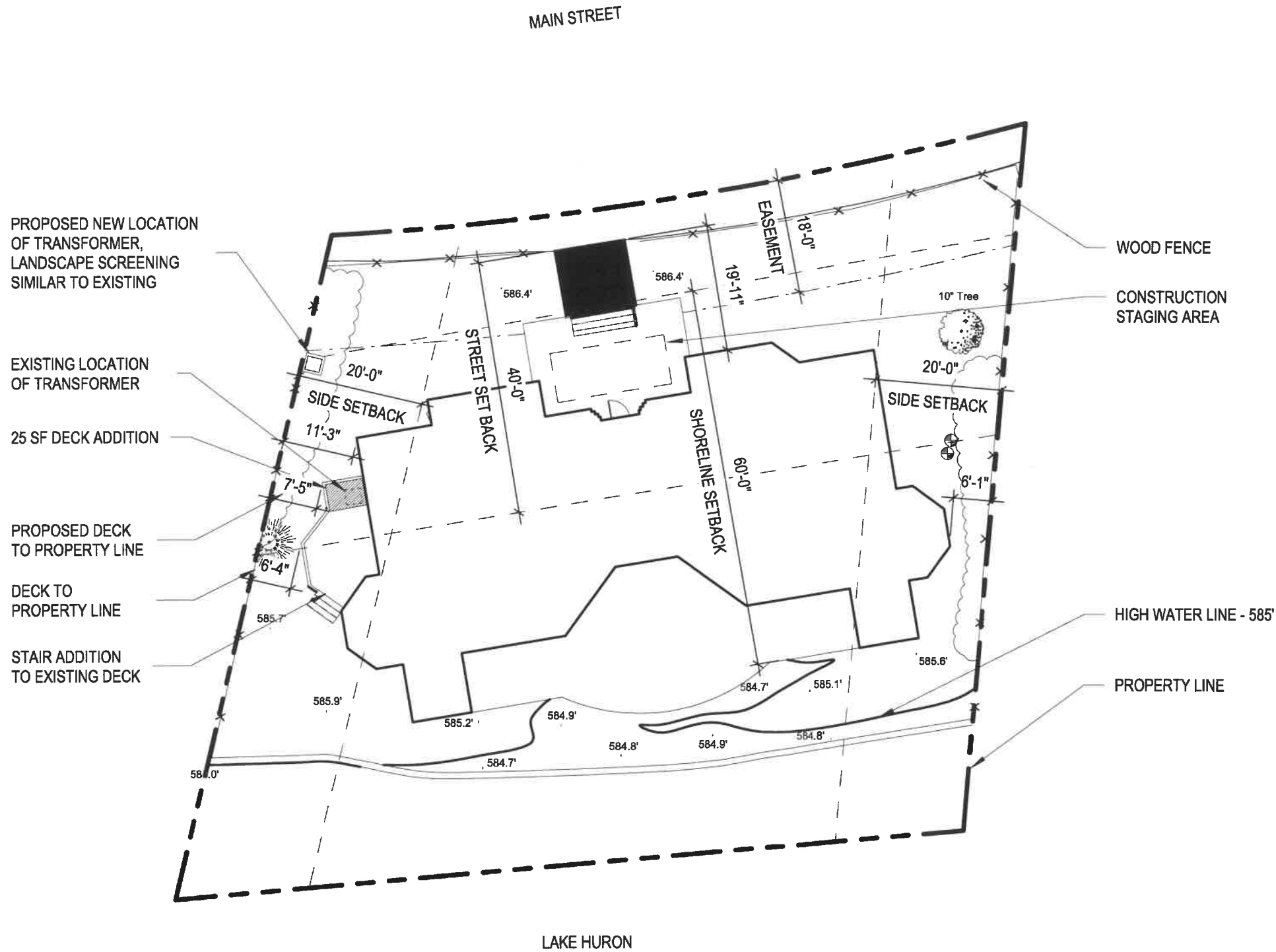
SURVEYORS • CIVIL ENGINEERS

607 E. LAKE ST.
HARBOR SPRINGS, MICHIGAN 49740
PHONE (231) 526-2119 FAX (231) 526-7257
benchmark607@gmail.com

Client : FISHER • GILMER
Project Mgr : R.E. OELKE
Drawn By : SLE
Field By : WINTER • GEARY
File : S22368.GXD
Job # : 22-368
Sheet # : 1 OF 1

Date: (revisions)	by
26 September 2022	

BOUNDARY SURVEY
LOT 7, ASSESSOR'S PLAT NO. 4



SITE PLAN
1" = 20'-0" SCALE

REMOVE WALLS,
KITCHEN CABINETS,
COUNTERTOP AND
DOOR

REMOVE EXTERIOR
FRENCH DOOR AND
SIDELIGHTS

REMOVE PORTION OF
DECK PRIVACY WALL

REMOVE WALL NICHE
REMOVE CLOSETS AND
DOORS

FIRST FLOOR - SELECTIVE DEMOLITION

1/8" = 1'-0" SCALE



Section X, Itemc.

3
EXISTING PL

GILMER

GILMER RESIDENCE
RENOVATION

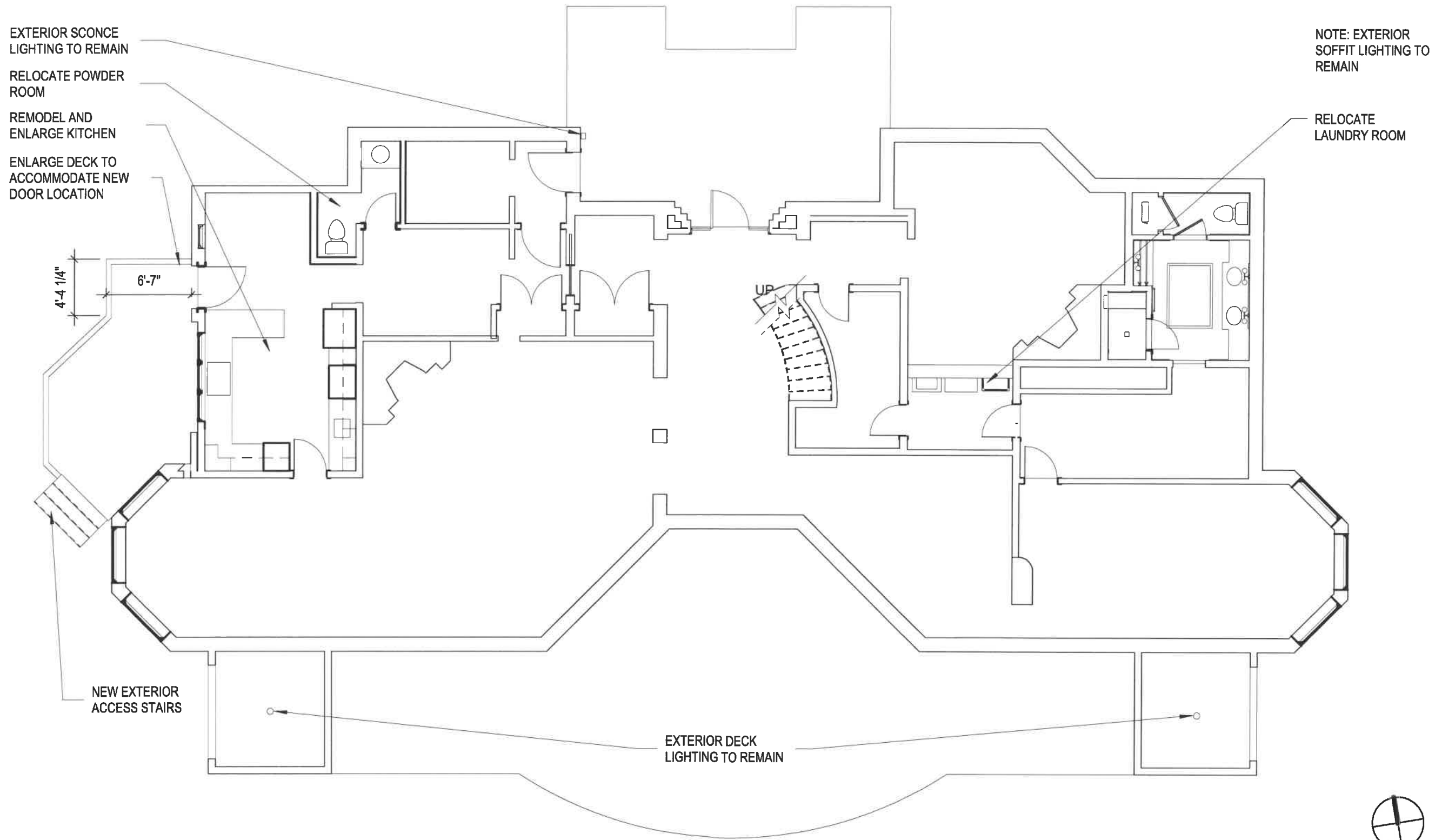
PC/HDC

2025.04.29

SCALE: 1/8" = 1'-0"

HopkinsBurns
D

historic preservation
community by design



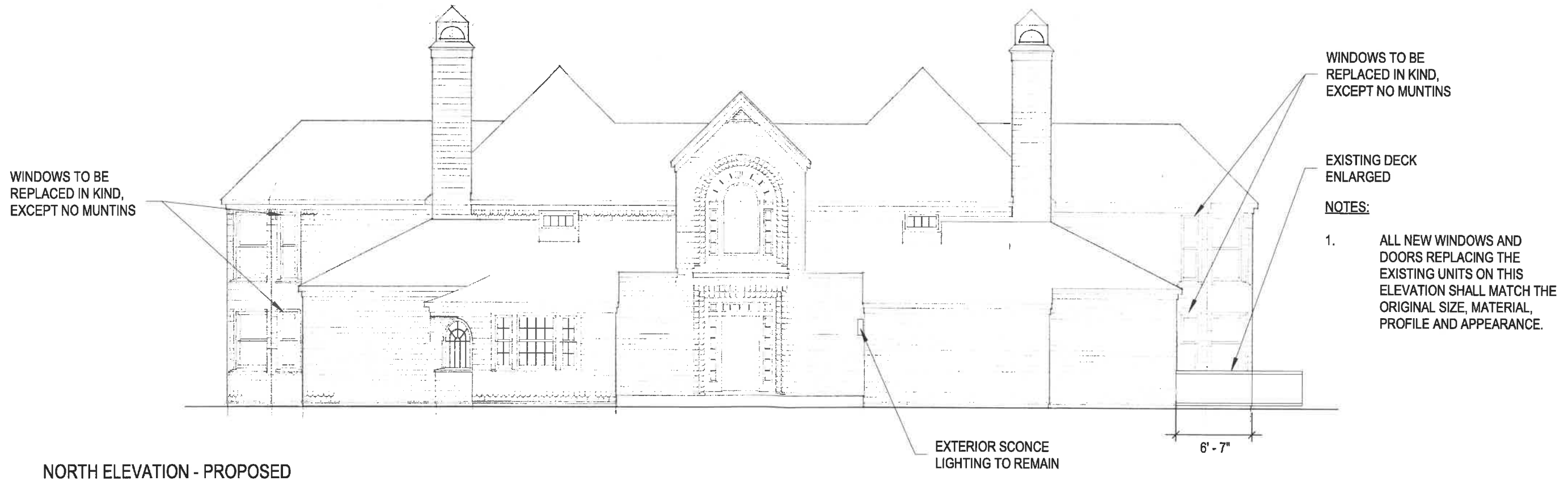
FIRST FLOOR - PROPOSED

1/8" = 1'-0" SCALE

Section X, Itemc.	
4 PROPOSED	
GILMER	2025.04.29
GILMER RESIDENCE RENOVATION	SCALE: 1/8" = 1'-0"
PC/HDC	
HopkinsBurns D historic preservation & communities by design	



NORTH ELEVATION - PHOTOGRAPHS



NORTH ELEVATION - PROPOSED



SOUTH ELEVATION - PHOTOGRAPHS



INSWING FRENCH DOORS

NOTES:

1. ALL NEW WINDOWS AND DOORS REPLACING THE EXISTING UNITS ON THIS ELEVATION SHALL MATCH THE ORIGINAL SIZE, MATERIAL, AND PROFILE.
2. ALL NEW WINDOWS AND DOORS ON THIS ELEVATION TO BE REPLACED WITHOUT MUNTINS UNLESS OTHERWISE NOTED.

SOUTH ELEVATION - PROPOSED



EAST ELEVATION - PHOTOGRAPHS



EAST ELEVATION - PROPOSED

WINDOWS TO RETAIN
EXISTING MUNTIN PATTERN

NOTES:

1. ALL NEW WINDOWS AND DOORS REPLACING THE EXISTING UNITS ON THIS ELEVATION SHALL MATCH THE ORIGINAL SIZE, MATERIAL, AND PROFILE.
2. ALL NEW WINDOWS AND DOORS ON THIS ELEVATION TO BE REPLACED WITHOUT MUNTINS UNLESS OTHERWISE NOTED.



WEST ELEVATION - PHOTOGRAPHS



WEST ELEVATION - PROPOSED

EXISTING KITCHEN FRENCH
DOORS TO BE REPLACED
WITH WINDOWS

STAIRS ADDED TO DECK

EXISTING DOOR OPENING TO
BE INFILLED AND LEFT
RECESSED, FINISHED WITH
MATCHING SHINGLES.



SECTION AT DECK

NOTES:

1. ALL NEW WINDOWS AND DOORS REPLACING THE EXISTING UNITS ON THIS ELEVATION SHALL MATCH THE ORIGINAL SIZE, MATERIAL, AND PROFILE.
2. ALL NEW WINDOWS AND DOORS ON THIS ELEVATION TO BE REPLACED WITHOUT MUNTINS UNLESS OTHERWISE NOTED.

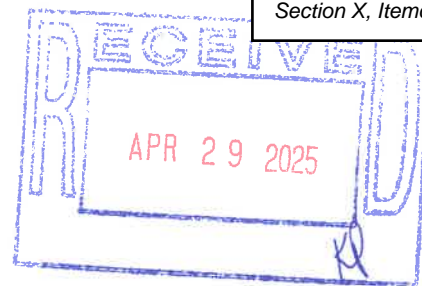


STREET CONTEXT VIEWS



VIEWS OF HOUSE

Mr. Dennis Dombroski
Building Inspector
City of Mackinac Island
Post Office Bo 455
Mackinac Island, Michigan 49757



Dear Dennis,

This letter is to authorize Tamara Burns or Gene Hopkins to submit, on our behalf, to the City of Mackinac Island, for building permits, site plan approval, zoning board of appeals, historic district commission approval or any other type of permits and/or approvals in regards to building projects here on Mackinac Island. They have our authorization to be an authorized signature for such permits and applications.

Most Sincerely,

Gary Gilmer
Gilmer Cottage, LLC
320 Hummingbird Ln
Kerrville, TX 78028

File No. RS25.046.032(4)

Exhibit E

Date 4.30.25

Initials GP

File No. CD25-016-018-033(4)Exhibit DDate 4-28-25Initials KP

Mr. Dennis Dombroski
Building Inspector
City of Mackinac Island
Post Office Bo 455
Mackinac Island, Michigan 49757

Dear Dennis,

This letter is to authorize Tamara Burns or Gene Hopkins to submit, on our behalf, to the City of Mackinac Island, for building permits, site plan approval, zoning board of appeals, historic district commission approval or any other type of permits and/or approvals in regards to building projects here on Mackinac Island. They have our authorization to be an authorized signature for such permits and applications.

Most Sincerely,

Jill Connell
Jill Cooper Trust
30 Preston Place
Grosse Pointe arms, MI 48236

List of Drawings

- 1 COVER
- 2 SITE PLAN
- 3 PHOTOS
- 4 PHOTOS
- 5 PLANS
- 6 ELEVATIONS
- 7 ELEVATIONS
- 8 WOODWORK DETAILS
- 9 3D VIEWS

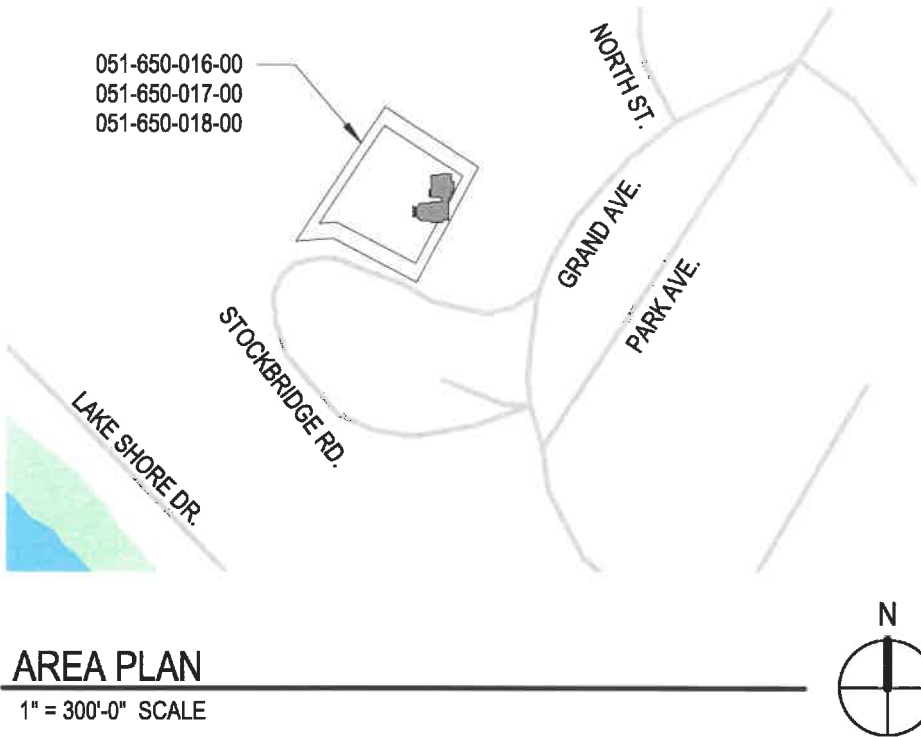


Historic District
HUBBARD'S ANNEX

Zoning

ZONING DESCRIPTION:
ZONING DISTRICT: COTTAGE
USE GROUP: R3 - SINGLE FAMILY RESIDENTIAL
CONSTRUCTION TYPE: 5B - UNPROTECTED

DWELLING UNIT:	<u>ALLOWED</u> 1	<u>PROPOSED</u> 1	
LOT SIZE:	<u>REQ'D</u> 1 ACRE	<u>EXISTING</u> .91 ACRE	
SETBACKS	<u>REQ'D</u>	<u>EXISTING</u>	<u>PROPOSED</u>
FRONT YARD	25'	88'	NO CHANGE
SIDE YARD	15'	2.5'	NO CHANGE
SIDE YARD AT ADDITION	15'	127.5'	119'
REAR YARD	25'	32'	NO CHANGE
HEIGHT	<u>ALLOWED</u>	<u>EXISTING</u>	<u>PROPOSED</u>
STORIES MIN.	2	2	NO CHANGE
STORIES MAX.	3	2	NO CHANGE
FEET MIN.	24'	24'	NO CHANGE
FEET MAX.	40'	24'	NO CHANGE
LOT COVERAGE	<u>ALLOWED</u>	<u>EXISTING</u>	<u>PROPOSED</u>
SQ. FT. (INCLUDING PORCHES AND DECKS)	13,068	2,437	2,793
PERCENTAGE	30%	5.6%	6.4%
GROSS SQUARE FOOTAGE		<u>EXISTING</u>	<u>NEW</u>
1ST FLOOR		1,660	NO CHANGE
2ND FLOOR		1,290	NO CHANGE
TOTAL		2,950	NO CHANGE



CASKEY COTTAGE

MACKINAC ISLAND, MICHIGAN
APRIL 29, 2025

RECEIVED
APR 28 2025

OWNER: COOPER JILL TRUST
PROPERTY ADDRESS 8476 STOCKBRIDGE ROAD
MACKINAC ISLAND, MICHIGAN 49757
PARCEL #: 051-650-016-00
051-650-017-00
051-650-018-00

Statement of Historic Significance

This historic structure is listed as a contributing structure in the Mackinac Island National Historic Nomination. Utmost care, sensitivity and respect shall be shown to the building at all times. Carefully respect existing conditions and treat existing materials as irreplaceable. Do not remove, alter or disfigure any original materials, elements or finishes unless indicated on the drawings, or specifications, or directed by the Architect.

Project Description

This project entails modifications to a contributing residential structure located in the Hubbard's Annex Historic District. Improvements include the addition of a covered porch to the front of the existing cottage, along with the addition of a window to a second floor bathroom.

Legal Description

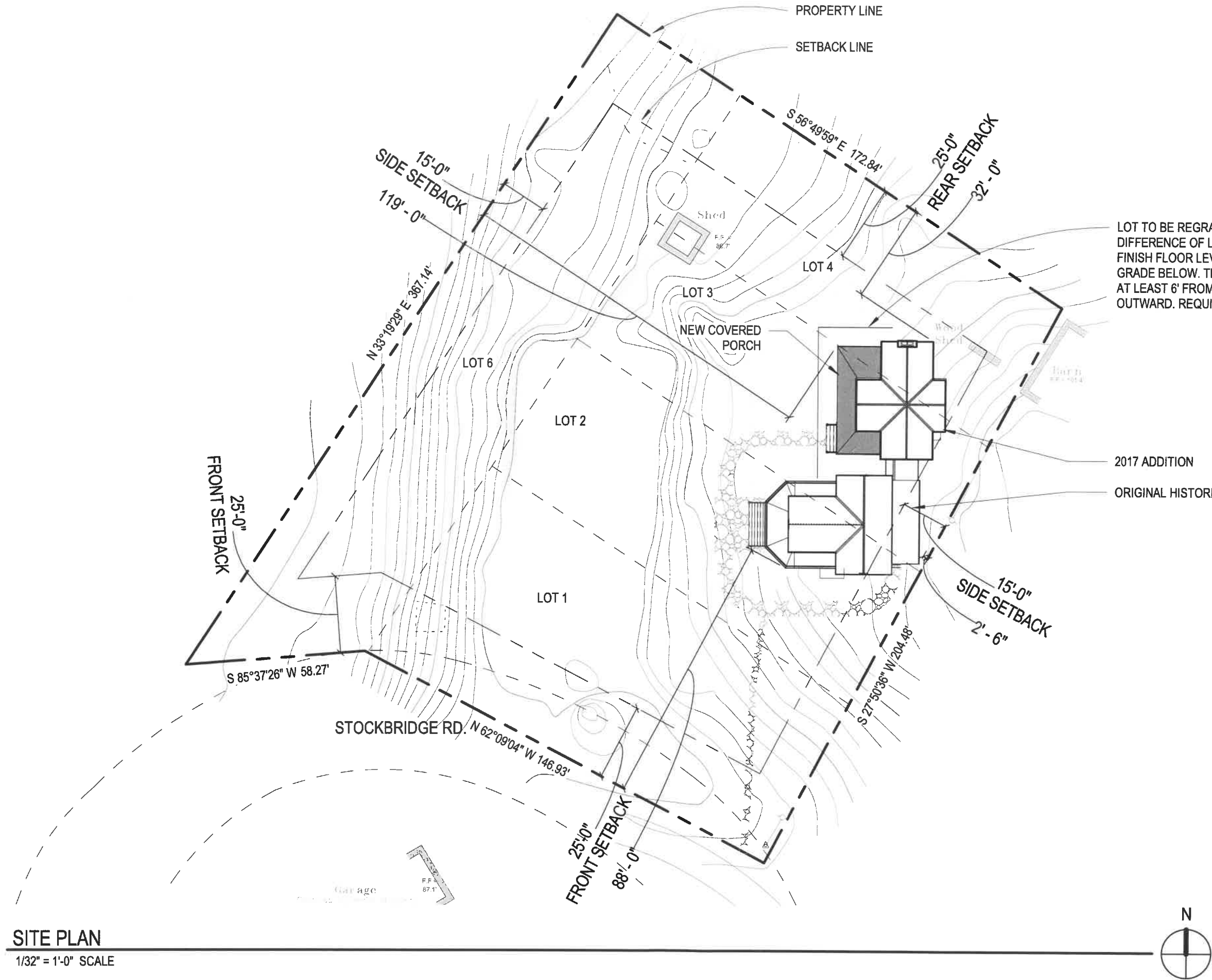
Westerly 1/2 of Lots 1, 2, 3, and 4, Block 5, Hubbards Annex to National Park of Mackinaw Island Michigan, & Lot 6 "The Maples" a subdivision in part of Block 5 of Hubbards Annex and other undedicated lands between Block 5 and the West Line of Private Claim No. 4, City of Mackinac Island, Mackinac County, Michigan to be more particularly described as surveyed by Neil A. Holshoe PS No. 56482 in June of 2015 as follows:
Commencing at the Northeast Corner of Private Claim No. 331 at the intersection with Private Claim No. 4; thence along the line between Private Claim No. 4 and No. 331 S32° 47'18"W 339.92 feet; thence continuing along said Line S33°19'29"W 553.03 feet to a 1/2" Iron Rod with 2" Brass Cap at the Northwest Corner of Lot 6, The Maples, also being the Point of Beginning; thence along the North Line of Lot 6 The Maples and Lot 4 Block 5 of Hubbards Annex to the National Park as monumented S56°49'59"E 172.84 feet; thence along the East Line of the West 1/2 of Lots 1,2,3, and 4, Block 5 as monumented S27° 50'36"W 204.48 feet; thence along the South Line of Lot 1 Block 5 as monumented N62° 09'04"W 146.93 feet; thence along the Southerly Line of Lot 6 the Maples as monumented S85°37'26"W 58.27 feet to the Southwest corner of Lot 6 at the intersection with the Line between Private Claim No. 4 and 331; thence along the West Line of Lot 6 the Maples and the Line between Private Claim No. 4 and 331 as monumented N33°19'29"E 252.73 feet to the Point of Beginning containing acres more or less and being subject to any easements, exceptions, restrictions, or reservations of record.

ARCHITECT HopkinsBurns Design Studio
113 S. Fourth Ave.
Ann Arbor, MI 48104
(734)424-3344
www.hopkinsburns.com
File No. CD25-016-018-033(4)
Exhibit C
Date 4-28-25
Initials KP

CASKEY COTTAGE
COVER
April 29, 2025
SCALE: As Noted

City of Mackinac Island
Historic District Application +
Planning Commission

HopkinsBurns
D
historic preservation & community design



SITE PLAN

1/32" = 1'-0" SCALE

2 SITE PLAN

CASKEY COTTAGE

April 29, 2025

SCALE: 1/32" = 1'-0"

City of Mackinac Island
Historic District Application +
Planning Commission

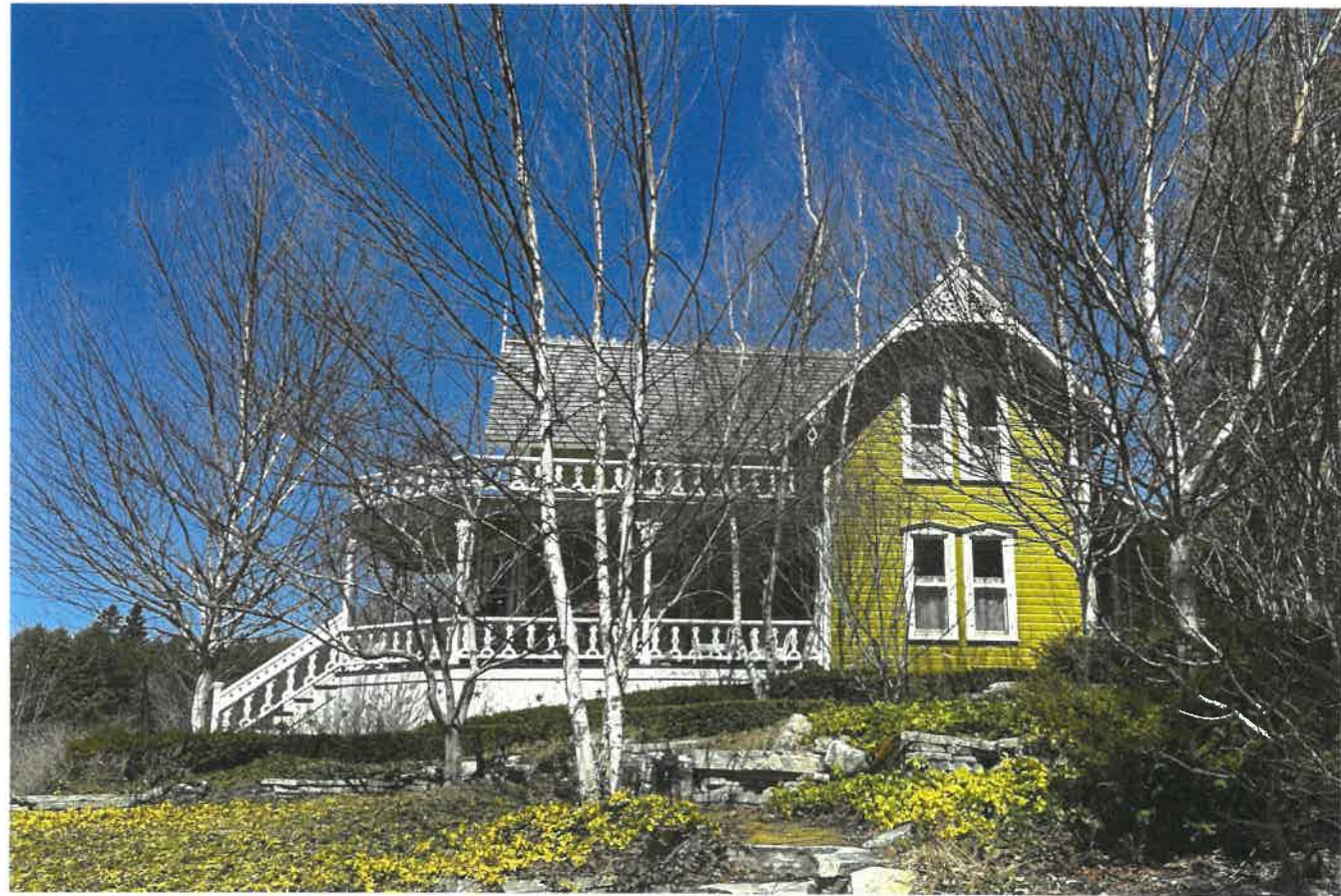
HopkinsBurns
historic preservation & communities by design



CASKEY COTTAGE FROM NORTH



CASKEY COTTAGE FROM WEST



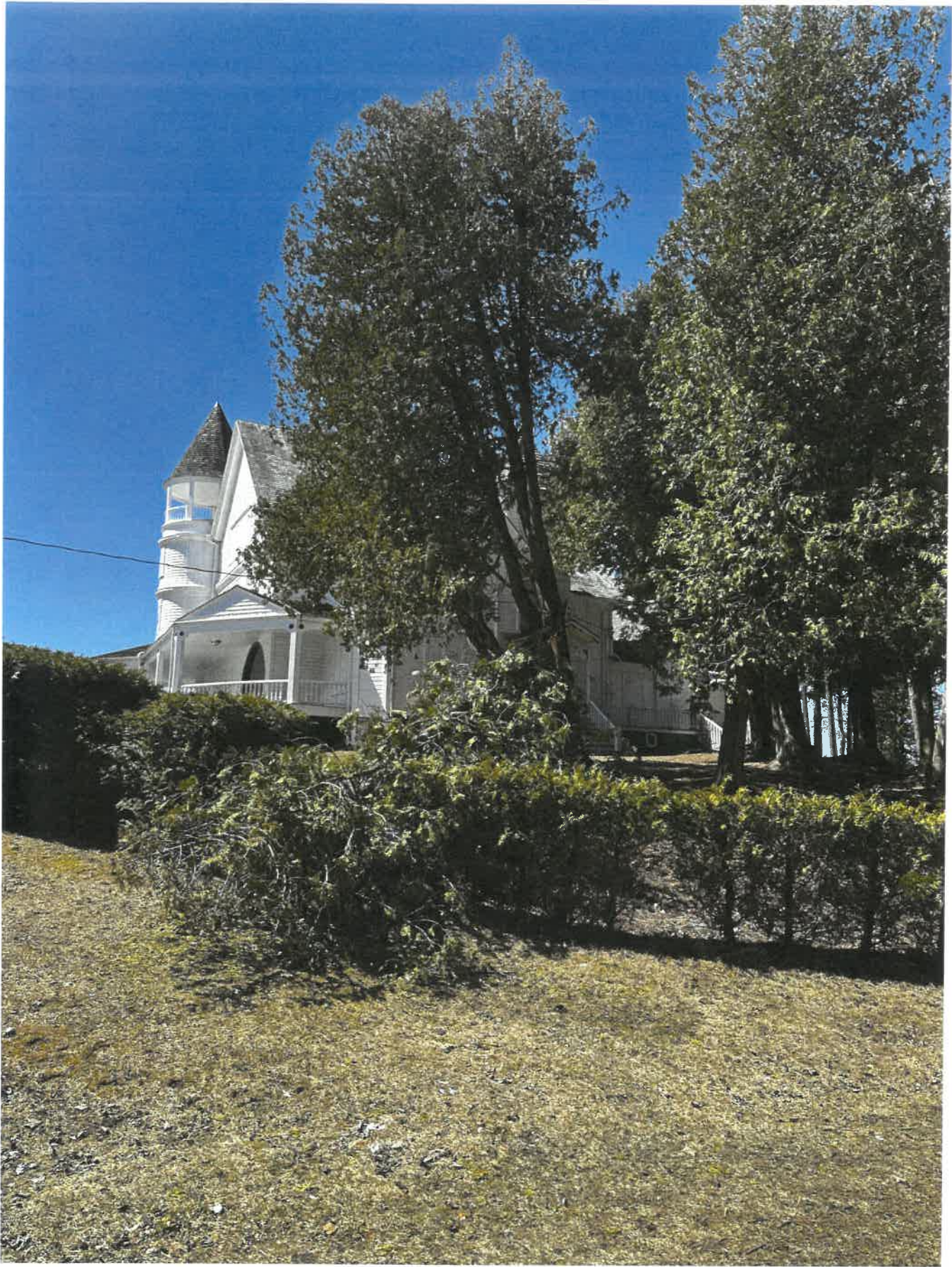
CASKEY COTTAGE FROM SOUTH



AREA OF WORK FROM WEST



ORIGINAL COTTAGE FROM NORTH

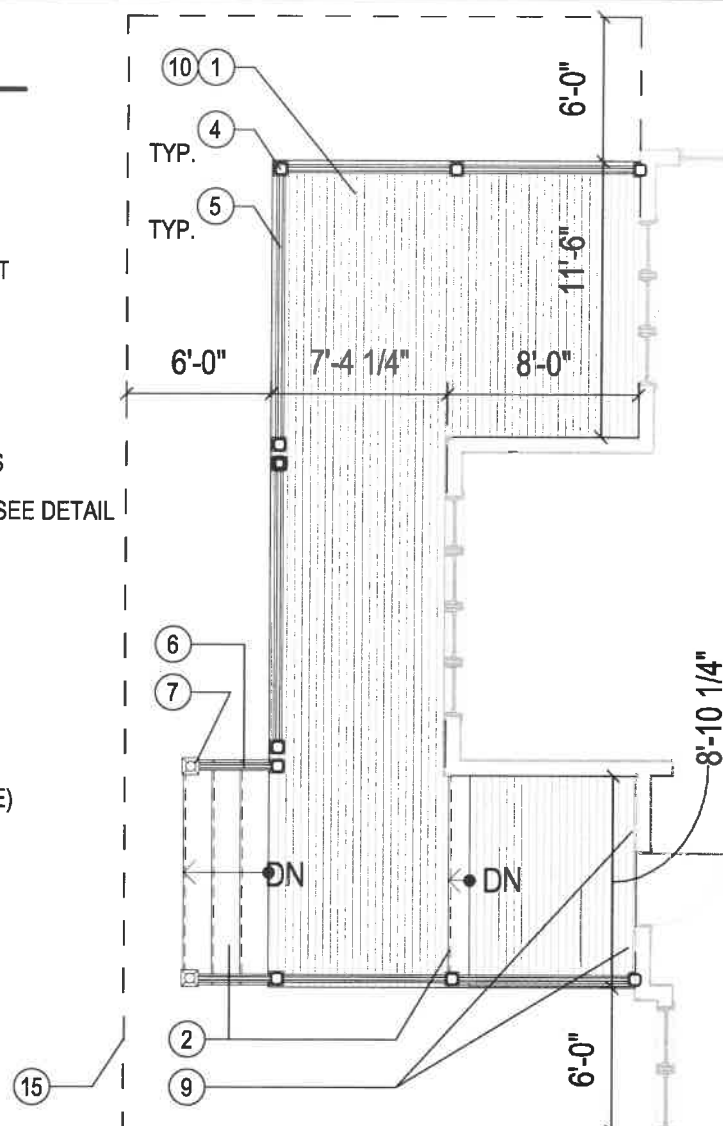


NEIGHBORING COTTAGE TO THE EAST

KEYNOTES

PLANNING

- ① 1X4 T&G WOOD DECKING
- ② WOOD STEPS
- ③ VERTICAL WOOD BOARD PORCH SKIRT
- ④ 6X6 WOOD COLUMNS, SEE DETAILS
- ⑤ 30" WOOD RAILING, SEE DETAILS
- ⑥ 30" WOOD RAILING W/ 34" HAND RAIL
- ⑦ 6X6 WOOD NEWEL POST, SEE DETAILS
- ⑧ 10" DECORATIVE WOOD SPANDRELS, SEE DETAIL
- ⑨ EXISTING SCONCES TO REMAIN
- ⑩ WOOD BEADBOARD CEILING (ABOVE)
- ⑪ METAL TERNE ROOF
- ⑫ METAL GUTTER TO MATCH EXISTING
- ⑬ MARVIN WOOD CASEMENT WINDOW
- ⑭ REPLACE GABLE DECORATION (ABOVE)
- ⑮ REGRADE AREA, SEE SITE PLAN



FIRST FLOOR PLAN

1/8" = 1'-0" SCALE

SECOND FLOOR PLAN

1/8" = 1'-0" SCALE

2 MULLED UNITS
TO MATCH EXISTING WINDOWS
IN MANUFACTURER, MATERIAL,
PROFILE AND APPEARANCE.

34' - 7"

15'-5 1/4"

1 1/2" / 12"

2" / 12"

1 1/2" / 12"

Section X, Itemd.

5 PLANS

CASKEY COTTAGE

April 29, 2025

SCALE: As indicated

City of Mackinac Island
Historic District Application +
Planning Commission

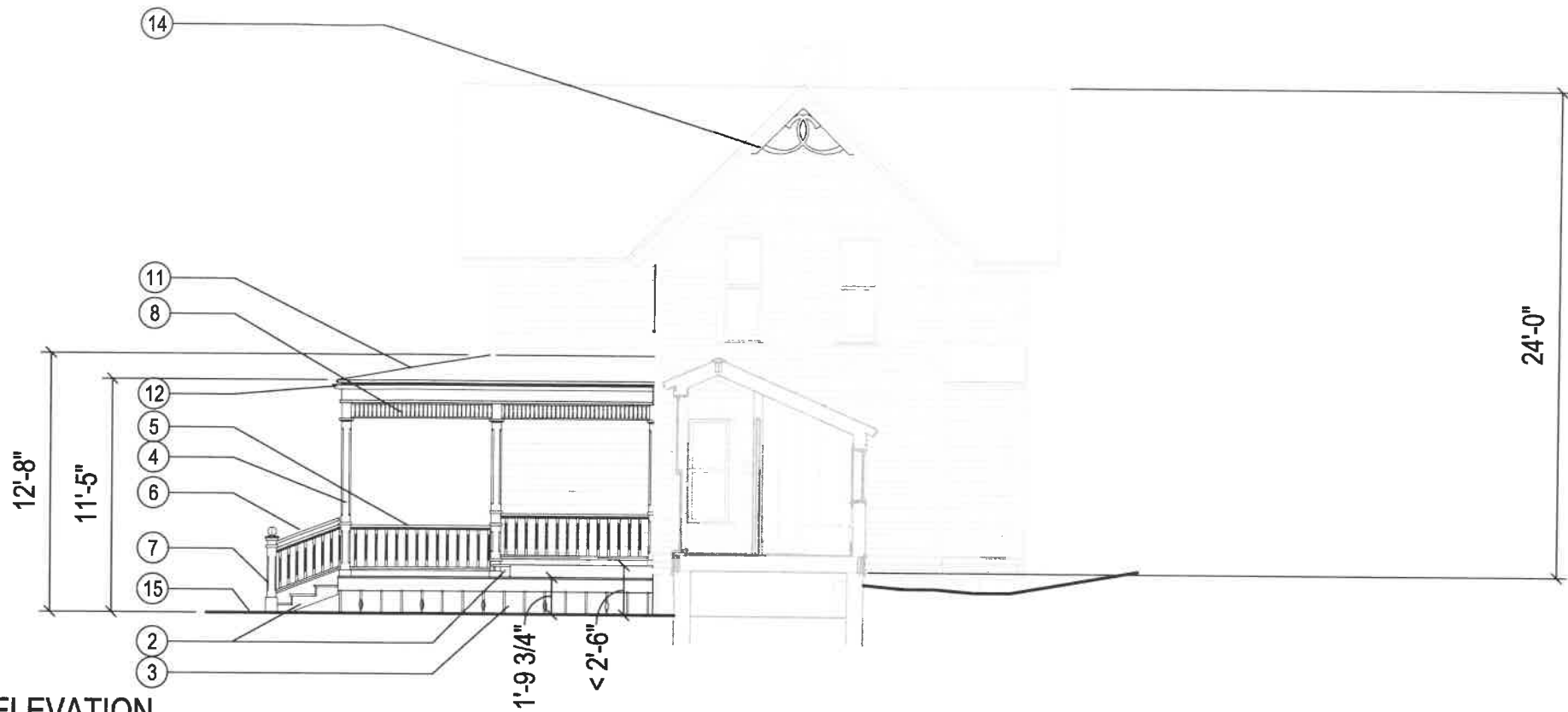
HopkinsBurns

historic preservation
communities by design

KEYNOTES

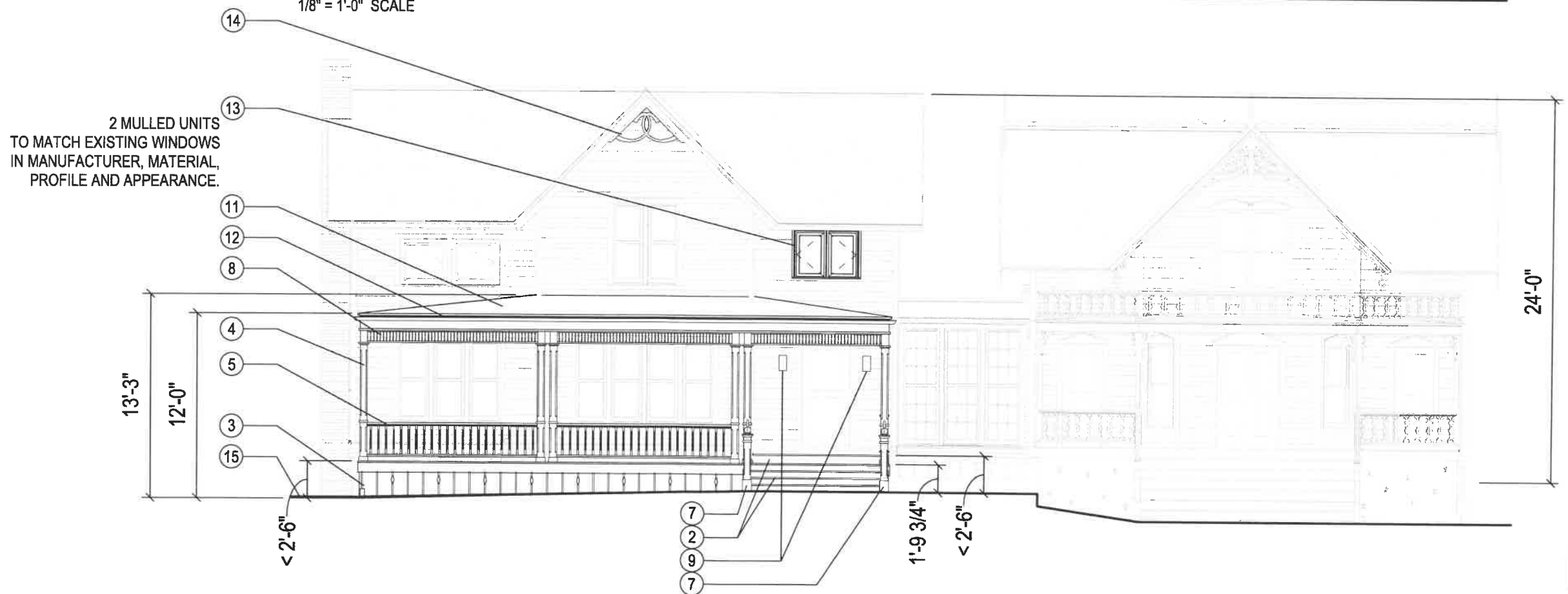
PLANNING

- ① 1X4 T&G WOOD DECKING
- ② WOOD STEPS
- ③ VERTICAL WOOD BOARD PORCH SKIRT
- ④ 6X6 WOOD COLUMNS, SEE DETAILS
- ⑤ 30" WOOD RAILING, SEE DETAILS
- ⑥ 30" WOOD RAILING W/ 34" HAND RAIL
- ⑦ 6X6 WOOD NEWEL POST, SEE DETAILS
- ⑧ 10" DECORATIVE WOOD SPANDRELS, SEE DETAIL
- ⑨ EXISTING SCONCES TO REMAIN
- ⑩ WOOD BEADBOARD CEILING (ABOVE)
- ⑪ METAL TERNE ROOF
- ⑫ METAL GUTTER TO MATCH EXISTING
- ⑬ MARVIN WOOD CASEMENT WINDOW
- ⑭ REPLACE GABLE DECORATION (ABOVE)
- ⑮ REGRADE AREA, SEE SITE PLAN



SOUTH ELEVATION

1/8" = 1'-0" SCALE



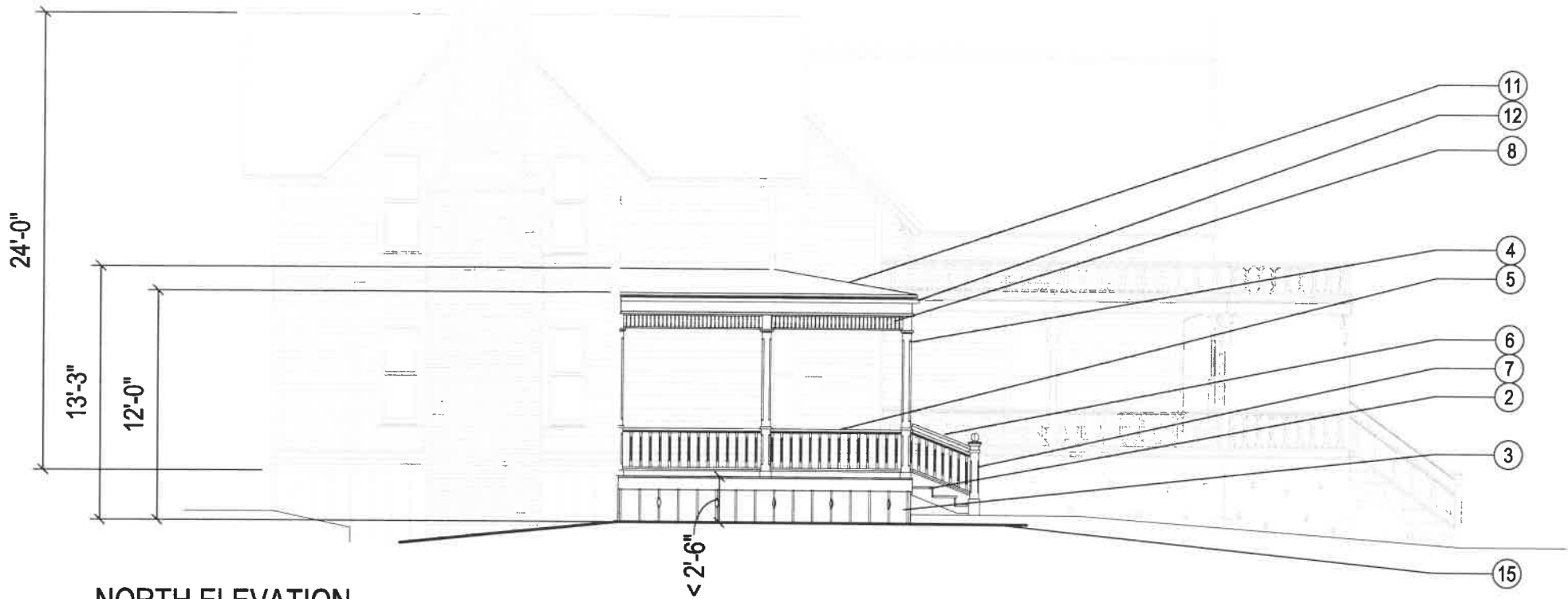
WEST ELEVATION

1/8" = 1'-0" SCALE

KEYNOTES

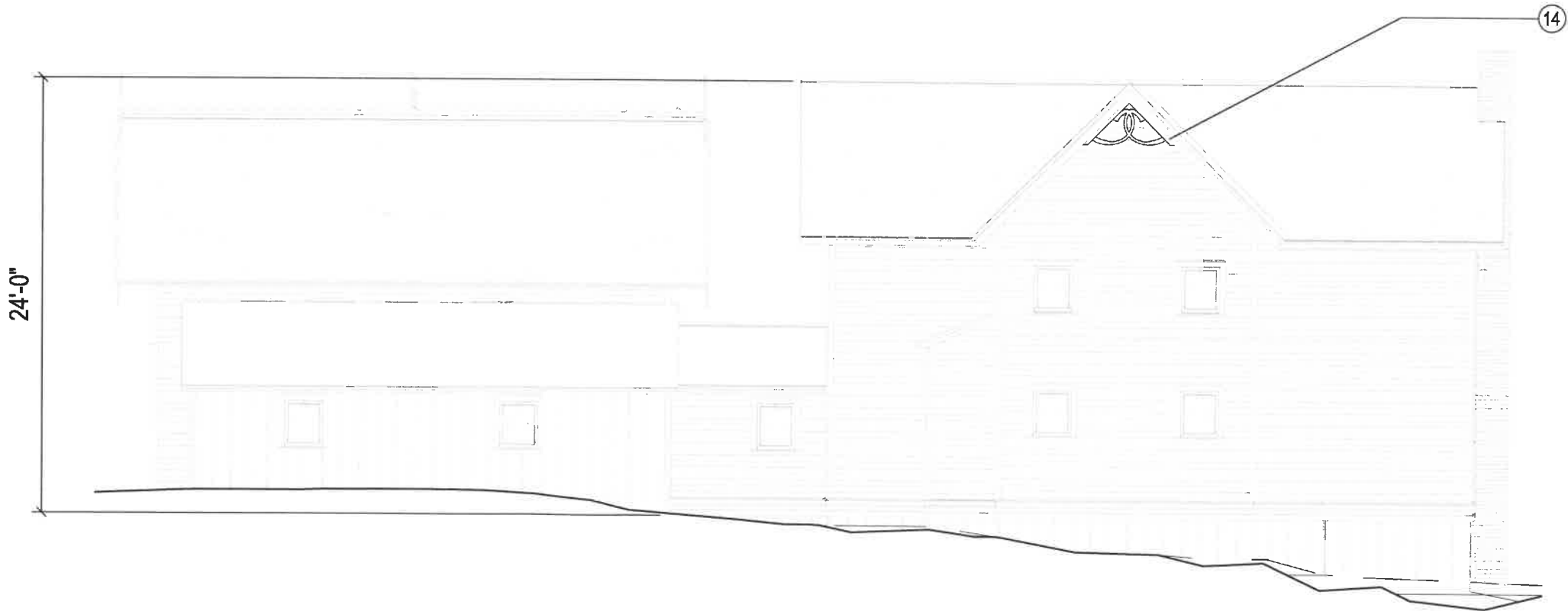
PLANNING

- ① 1X4 T&G WOOD DECKING
- ② WOOD STEPS
- ③ VERTICAL WOOD BOARD PORCH SKIRT
- ④ 6X6 WOOD COLUMNS, SEE DETAILS
- ⑤ 30" WOOD RAILING, SEE DETAILS
- ⑥ 30" WOOD RAILING W/ 34" HAND RAIL
- ⑦ 6X6 WOOD NEWEL POST, SEE DETAILS
- ⑧ 10" DECORATIVE WOOD SPANDRELS, SEE DETAIL
- ⑨ EXISTING SCONCES TO REMAIN
- ⑩ WOOD BEADBOARD CEILING (ABOVE)
- ⑪ METAL TERNE ROOF
- ⑫ METAL GUTTER TO MATCH EXISTING
- ⑬ MARVIN WOOD CASEMENT WINDOW
- ⑭ REPLACE GABLE DECORATION (ABOVE)
- ⑮ REGRADE AREA, SEE SITE PLAN



NORTH ELEVATION

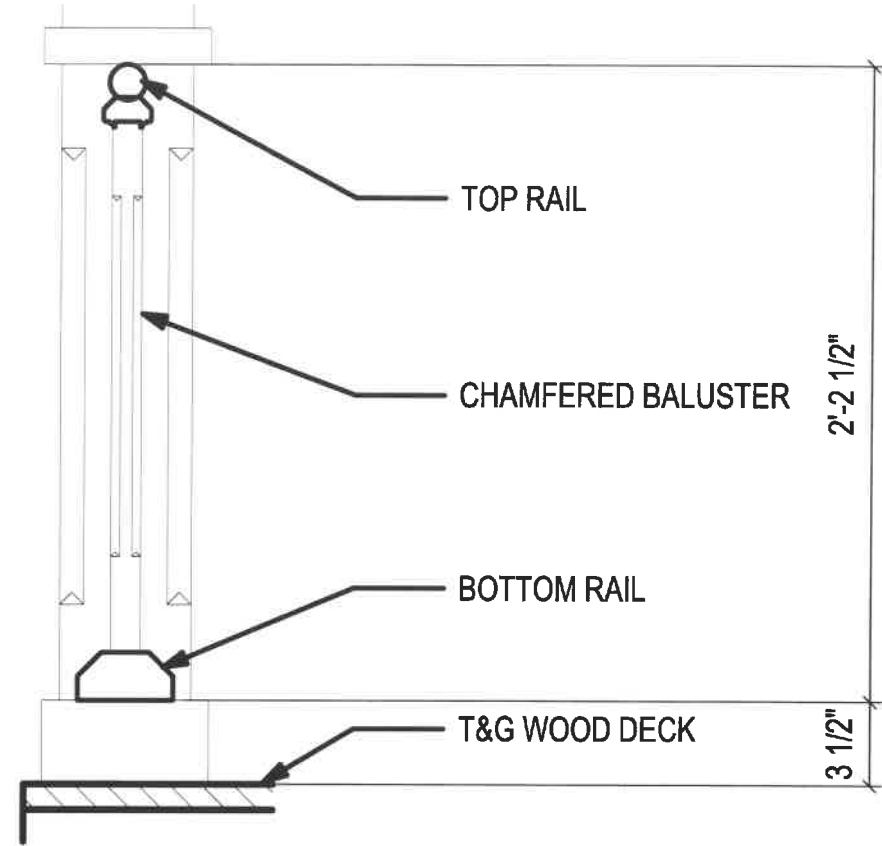
1/8" = 1'-0" SCALE



EAST ELEVATION

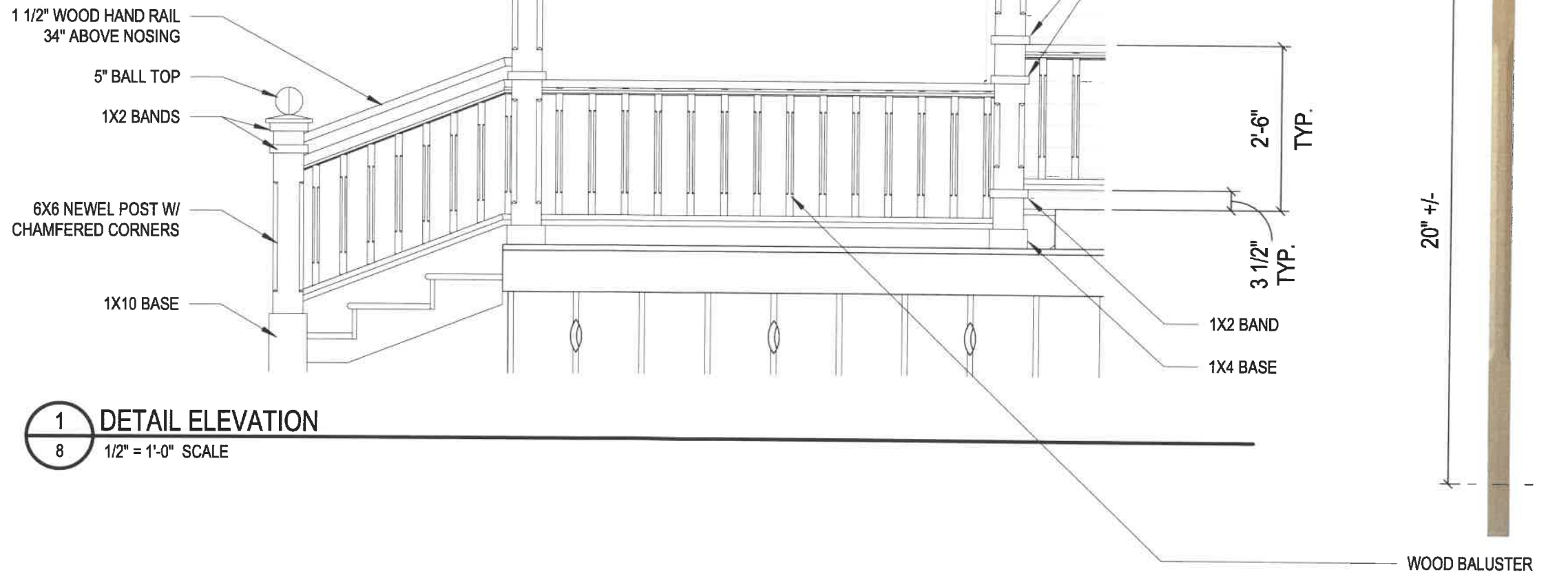
1/8" = 1'-0" SCALE

2 RAILING SECTION
8 1 1/2" = 1'-0" SCALE



1 1/2" WOOD HAND RAIL
34" ABOVE NOSING
5" BALL TOP
1X2 BANDS
6X6 NEWEL POST W/
CHAMFERED CORNERS
1X10 BASE

1 DETAIL ELEVATION
8 1/2" = 1'-0" SCALE



DECORATIVE WOOD SPANDREL

1 1/2" X 2" CAP BAND

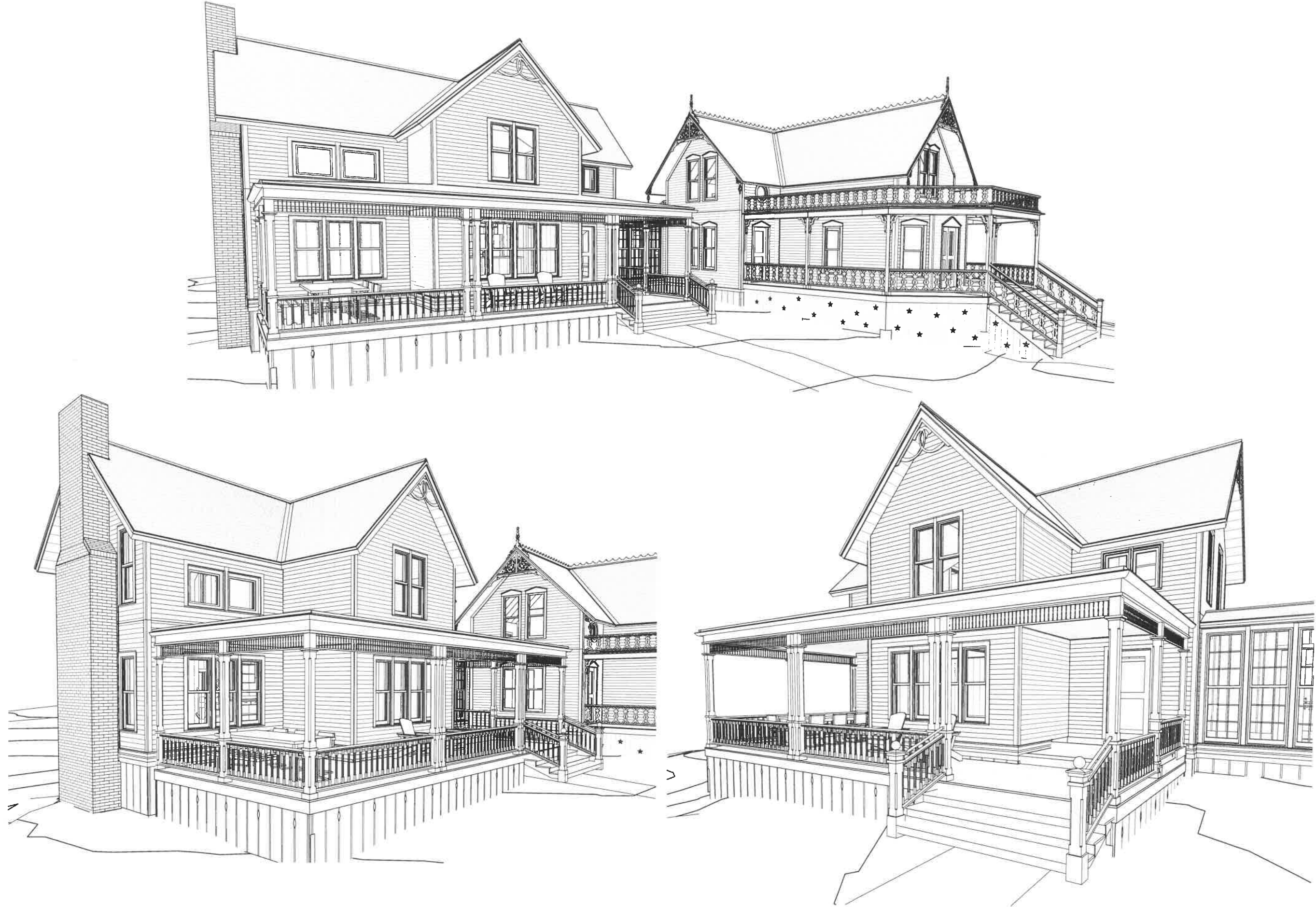
6X6 COLUMN W/ CHAMFERED
CORNERS

1X2 BANDS (UPPER
BAND ONLY AT RISER)

1X2 BAND

1X4 BASE

WOOD BALUSTER



**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:**TAMARA BURNS****113 S. FOURTH AVE, ANN ARBOR, MI 48104**

(734) 804-9312

TAMARA.BURNS@HOPKINSBURNS.COM

Phone Number

Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)**COOPER JILL TRUST****30 PRESTON PL. GROSSE POINTE FARMS, MI 48236**

Is The Proposed Project Part of a Condominium Association?

NO

Is The Proposed Project Within a Historic Preservation District?

YES

Applicant's Interest in the Project (If not the Fee-Simple Owner):

ARCHITECT

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

NO

Is a Variance Required?

NO

Are REU's Required? How Many?

NO

Type of Action Requested:☒ Standard Zoning Permit☐ Appeal of Planning Commission Decision☐ Special Land Use☐ Ordinance Amendment/Rezoning☐ Planned Unit Development☐ Ordinance Interpretation☐ Other _____**Property Information:**

A. Property Number (From Tax Statement): 051-650-016-00, 051-650-017-00, 051-650-018-00

B. Legal Description of Property: SEE ATTACHED DRAWINGS

C. Address of Property: 8476 STOCKBRIDGE ST

File No. CD25-016-018-033(4)

D. Zoning District: CD - COTTAGE

Exhibit A

E. Site Plan Checklist Completed & Attached: YES

F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) YES

Date 4.28.25

G. Sketch Plan Attached: YES

Initials KP

H. Architectural Plan Attached: YES

I. Association Documents Attached (Approval of project, etc.): NOT APPLICABLE

J. FAA Approval Documents Attached: NOT REQUIRED

K. Photographs of Existing and Adjacent Structures Attached: YES

Proposed Construction/Use:

A. Proposed Construction:

☐ New Building☒ Alteration/Addition to Existing Building☐ Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

RESIDENTIAL: HISTORIC PORTION OF STRUCTURE IN SETBACK

Proposed Use: RESIDENTIAL

C. If Vacant:

Previous Use: N/A

Proposed Use: N/A

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.


The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the ARCHITECT (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**


 Signature


SIGNATURES _____
 Signature

TAMARA E.L. BURNS
 Please Print Name

 Please Print Name

Signed and sworn to before me on the 25th day of April, 2025.

LUIS ESCUDERO-FLORES
 NOTARY PUBLIC - STATE OF MICHIGAN
 COUNTY OF WASHTENAW
 My Commission Expires 10/23/2026
 Acting in the County of Washtenaw


 Notary Public

Washtenaw County, Michigan
 My commission expires: 10/23/2026

Washtenaw

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: CD25-016-018-033 (H) FEE: \$150 -

DATE: 4-28-25 CHECK NO: 6129 INITIALS: KD Revised October 2023

THE UNIVERSITY OF CHICAGO
LIBRARY
540 EAST 58TH STREET
CHICAGO, ILL. 60637
TEL: 773-936-5000

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | |
|---|-------------------------------------|-------------------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|-------------------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|-------------------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features	<input checked="" type="checkbox"/>	<input type="checkbox"/>
23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
25. Description of Existing and proposed on-site lighting (see also Section 4.27)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Architectural Review

Informational Requirements (Section 18.05)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

James Reitman, Northern Waters Construction
W1999 Dukes Rd. Moran, MI 49760

906-298-2822 northernwatersconstruction@outlook.com
Phone Number Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

David and Denise Hribar
PO Box 259 Sault Ste Marie, MI 49783

Is The Proposed Project Part of a Condominium Association?

No

Is The Proposed Project Within a Historic Preservation District?

Yes

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Contractor

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

No

Is a Variance Required?

No

Are REU's Required? How Many?

No

Type of Action Requested:

☒ Standard Zoning Permit ☐ Appeal of Planning Commission Decision
☐ Special Land Use ☐ Ordinance Amendment/Rezoning
☐ Planned Unit Development ☐ Ordinance Interpretation
☐ Other _____

Property Information:

A. Property Number (From Tax Statement): 051-500-021
B. Legal Description of Property: Lot 36 Assessor's Plat No. 1
C. Address of Property: 6634 Main Street, Mackinac Island, MI 49757
D. Zoning District: R-3
E. Site Plan Checklist Completed & Attached: Yes
F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes
G. Sketch Plan Attached: N/A
H. Architectural Plan Attached: N/A
I. Association Documents Attached (Approval of project, etc.): N/A
J. FAA Approval Documents Attached: N/A
K. Photographs of Existing and Adjacent Structures Attached: Yes

File No. R325.021.035(H)

Exhibit E

Date 4-29-25

Initials KP

Proposed Construction/Use:

A. Proposed Construction:
☐ New Building ☒ Alteration/Addition to Existing Building
☐ Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

N/A

Proposed Use: N/A

C. If Vacant:

Previous Use: N/A

Proposed Use: N/A

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the CONTRACTOR (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

James A. Reitman
Signature

SIGNATURES _____
Signature

JAMES A. REITMAN
Please Print Name

Please Print Name

Signed and sworn to before me on the 28th day of April, 2025.

LANA KAY ST. ONGE, Notary Public
Mackinac County, State of Michigan
My Commission Expires: 08-14-2027

Lana K. St. Onge
Notary Public
Mackinac County, Michigan
My commission expires: 8-14-2027

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: R325.021.035(4)

FEE: \$150-

DATE: 4.29.25

CHECK NO: 1110

INITIALS: KP

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review

Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- | | | |
|---|-------------------------------------|--------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|--------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|-------------------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- | | | |
|--|-------------------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <u>Utility Information</u> | <u>Provided</u> | <u>Not Provided or Applicable</u> |
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Architectural Review

Informational Requirements (Section 18.05)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Site Plan Review Checklist

Information Requirements

1. James Reitman, Northern Waters Construction, W1999 Dukes Rd. Moran, MI 49760
2. Lot 36 Assessor's Plat No. 1
3. Attachment A, "Site plans"

General Information

1. James Reitman, Northern Waters Construction, W1999 Dukes Rd. Moran, MI 49760
2. James Reitman, Northern Waters Construction, W1999 Dukes Rd. Moran, MI 49760
3. N/A
4. See Attachment A, "Site plans"
5. Lot 36 Assessor's Plat No. 1
6. N/A
7. N/A
8. R-3
9. Attachment B, "Description of work to be performed"
10. N/A
11. Attachment C, "Hauling, freight, trash disposal, staging"
12. Attachment C, "Hauling, freight, trash disposal, staging"
13. Begin 6/1/2025 – End date 7/15/2025
14. Attachment D, "Affidavits"

Natural Features

15. N/A
16. N/A
17. N/A
18. N/A

Physical Features

- 19. Attachment E, "Existing manmade features"
- 20. N/A
- 21. N/A
- 22. Attachment F, "Existing streets, sidewalks and other circulation features"
- 23. N/A
- 24. N/A
- 25. N/A

Utility Information

- 26. N/A
- 27. N/A
- 28. Attachment G, "Location of utility services"
- 29. N/A

Demolition

- 1. N/A
- 2. N/A
- 3. N/A
- 4. N/A
- 5. N/A
- 6. Attachment H, "Archeological and Historical acknowledgement"

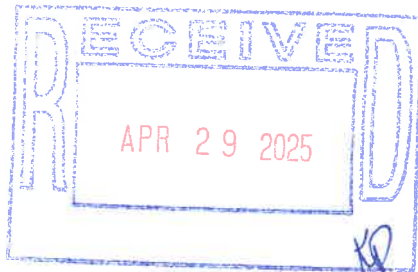
Architectural Review

- 1. N/A
- 2. N/A
- 3. N/A
- 4. N/A

Attachment C, Freight, hauling, trash disposal and staging plan

Section X, Item.

- All materials and equipment will be shipped to Mackinac Island utilizing Arnold Freight Company boat service
- All materials and equipment will be transported to the jobsite utilizing Mackinac Island Carriage Tours dray service
- All materials and equipment will be stored on the jobsite until project completion
- Storage location will be at the back of the property, off street, and in as inconspicuous of a location as reasonably possible
- All materials and equipment will be organized neatly and covered with visqueen plastic until project completion
- Trash disposal will be executed in a timely manner utilizing Mackinac Island Carriage Tours "2-footer" trash wagons



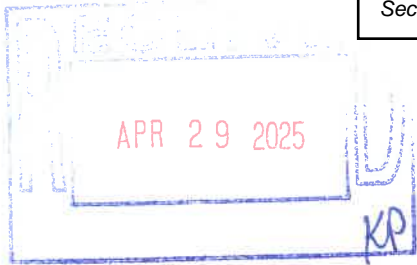
File No. _____
Exhibit _____
Date _____
Initials _____

Attachment A: Site Plans

Section X, Iteme.

Fence location is labeled in RED line

Gates are labeled in GREEN arrows



File No. R325-021-035(H)
Exhibit F
Date 4.29.25
Initials KP

Attachment B, Description of work to be performed

Section X, Item.

Client Information

Dave & Denise Hribar

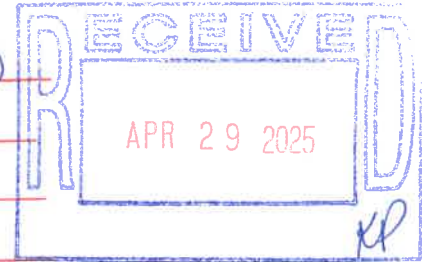
6634 Main St. Mackinac Island, MI 49757

File No. B325-021-035(H)

Exhibit G

Date 4.29.25

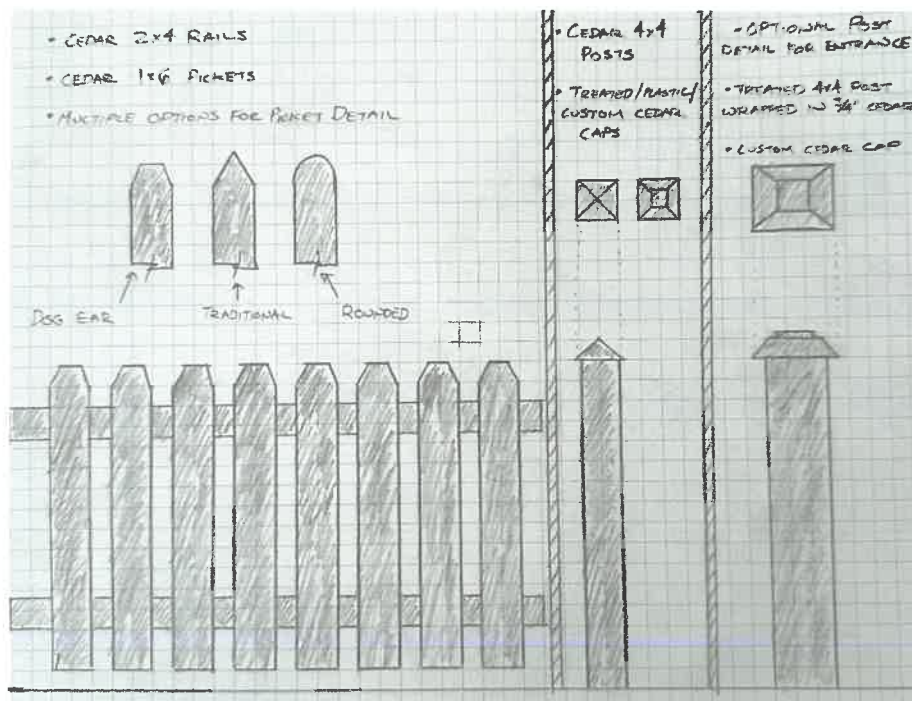
Initials KP



Scope of Work

Exterior Picket Fence, approximately 110 ft – Main Street frontage and Ferry Lane frontage

- Demo and dispose of existing picket fence
- Manufacture new fence components – pickets, rails, posts
 - Pickets, rails and posts – cedar products
 - Dog-Ear style picket top
 - Post caps – factory made treated pine, flat-top
 - Pickets – 5.5 in width, 4 ft tall, 2 in spacing between pickets
- Install new fence in same location as old fence, utilizing same post holes
- Create a wider front entrance to accommodate for carts – approximately 4 ft width
- Entrance posts -boxed out with cedar trim, custom cedar caps
- Manufacture and install new front gate – single in-swing
- Manufacture and install new back gate – double in-swing
- Paint entire fence 2 coats with high-quality exterior latex paint – Benjamin Moore – color, white

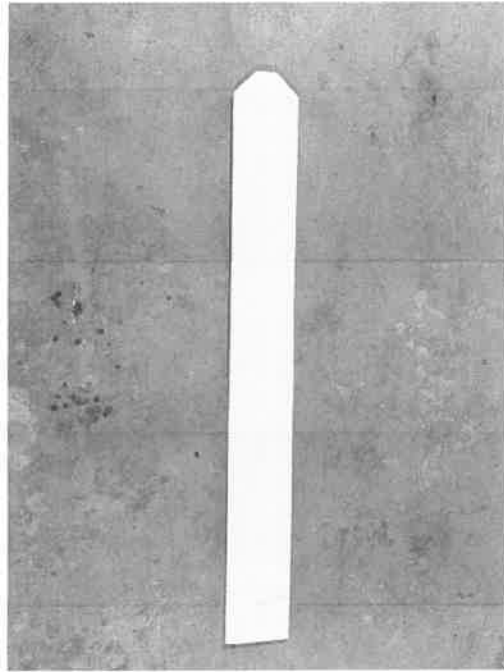


Attachment B, Description of work to be performed

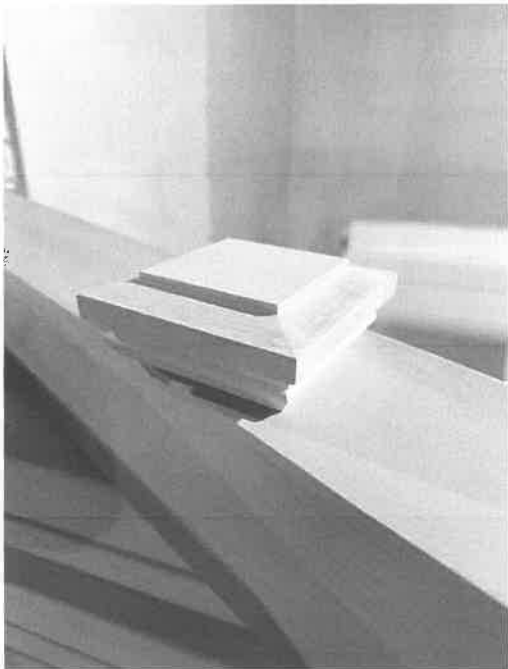
Section X, Item.



Cedar, post cap for gates



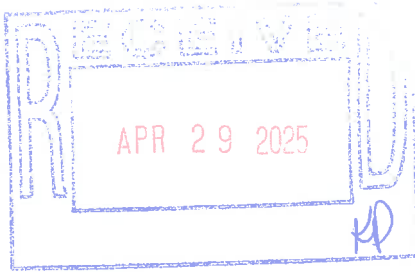
Cedar, dog ear picket



Treated post cap for posts



Cedar, wrapped gate posts

**AFFIDAVIT**

STATE OF MICHIGAN
COUNTY OF MACKINAC

I, Dan R. Prevo, being of lawful age and sound mind, do hereby declare and affirm under penalty of perjury:

1. I am a resident and the legal owner of Unit 1 of the property located at 6624 Main St., Mackinac Island, MI, 49757. I am the President of the East Harbor Residents Association.
2. This affidavit is made to grant permission to my neighbor, David Hribar, residing at 6634 Main St., and their contractor, James Reitman of Northern Waters Construction, to access my property for the purpose of erecting a fence along the property line between our respective properties.
3. I hereby grant permission to David Hribar and their contractor to enter my property at 6624 Main St. for the limited purpose of performing work related to the construction, installation, or maintenance of a fence. This includes bringing necessary equipment, tools, and materials onto my property as reasonably required to complete the fence project.
4. This permission is effective from 05/01/2025 and shall remain in effect until completion of the fence project, unless otherwise revoked by me in writing.
5. All work shall be conducted in a professional manner, respecting my property and minimizing any damage or disruption. David Hribar and their contractor agree to restore any portion of my property affected by their work to its original condition, to the extent reasonably possible, upon completion of the project.
6. By granting this permission, I am not waiving any legal rights regarding the ownership of my property, the location of the property line, or any other property-related matters.
7. I make this affidavit voluntarily, without coercion or duress, and I understand the implications of granting this permission.

File No. R325.021.035(H)
 Exhibit H
 Date 4.29.25
 Initials KP

Signature: 

Dan R. Prevo

Date: April 14, 2025

NOTARY ACKNOWLEDGMENT

STATE OF Michigan
COUNTY OF Grand Traverse

On this 14th day of April, 2025, before me, a Notary Public in and for said County and State, personally appeared Dan R. Prevo, known to me (or satisfactorily proven) to be the person whose name is subscribed to the foregoing instrument, and acknowledged that they executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Notary Public: My Commission Expires: 06/22/2029

Seal:

KERRY L. MCFARLANE
Notary Public - State of Michigan
County of Leelanau
My commission Expires 6/22/2029
Acting in the County of Grand Traverse

AFFIDAVIT

STATE OF MICHIGAN
COUNTY OF MACKINAC

I, David Hribar, being of lawful age and sound mind, do hereby declare and affirm under penalty of perjury:

1. I am a resident, and the legal owner of the property located at 6634 Main St., Mackinac Island, MI, 49757.

2. This affidavit is made to grant permission to my neighbor, Dan R. Prevo, residing at 6624 Main St., and their contractor, James Reitman of Northern Waters Construction, to access my property for the purpose of erecting a fence along the property line between our respective properties.

3. I hereby grant permission to Dan R. Prevo and their contractor to enter my property at 6634 Main St. for the limited purpose of performing work related to the construction, installation, or maintenance of a fence. This includes bringing necessary equipment, tools, and materials onto my property as reasonably required to complete the fence project.

4. This permission is effective from 05/01/2025 and shall remain in effect until completion of the fence project, unless otherwise revoked by me in writing.

5. All work shall be conducted in a professional manner, respecting my property and minimizing any damage or disruption. Dan R. Prevo and their contractor agree to restore any portion of my property affected by their work to its original condition, to the extent reasonably possible, upon completion of the project.

6. By granting this permission, I am not waiving any legal rights regarding the ownership of my property, the location of the property line, or any other property-related matters.

7. I make this affidavit voluntarily, without coercion or duress, and I understand the implications of granting this permission.

Signature: David Hribar
David Hribar

Date: 4/17/25

NOTARY ACKNOWLEDGMENT

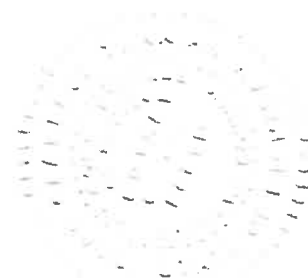
STATE OF Michigan
COUNTY OF MacKinnac

On this 22nd day of April, 2025, before me, a Notary Public in and for said County and State, personally appeared David Hribar, known to me (or satisfactorily proven) to be the person whose name is subscribed to the foregoing instrument, and acknowledged that they executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Notary Public: Isaac Clarence Terrian
My Commission Expires: 08/07/2030
Seal:

ISAAC CLARENCE TERRIAN
Notary Public, State of Michigan
County of Chippewa
My Commission Expires 08-07-2030
Acting in the County of Chippewa



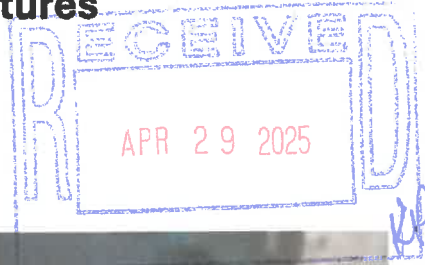


Attachment E: Existing manmade features

Section X, Item.

Red line represents existing fence

Yellow box represents existing storage building



File No. B325-021-035(+)

Exhibit I

Date 4.29.25

Initials KP

Attachment F: Existing streets, sidewalks, and other circulation features

Section X, Item.

Green lines represent existing streets, sidewalks and other circulation features. There are no proposed circulation features being added to properties for this project.

Orange line represents existing sidewalk on property, there will be no changes to sidewalk.



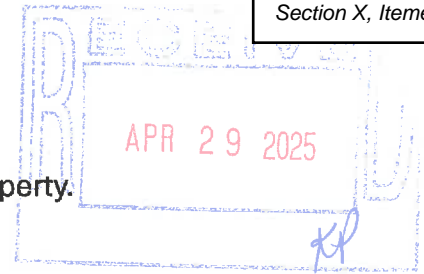
File No. R325. 021. 035(4)
Exhibit J
Date 4.29.25
Initials KP

Attachment G, Location of utility services

Section X, Item.

Yellow box - electrical box located on East Harbor Association's property.

Orange boxes - electric meters



File No. R325.021.035(4)
Exhibit K
Date 4.29.25
Initials kf


Attachment H, Archeological and historical acknowledgement

APR 29 2025

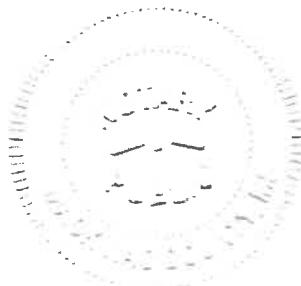
I, James Reitman, acknowledge that if any unknown historic or archeological remains are discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop. The discovery will be made by myself to the City as well as any other required offices. The city will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort if the site is eligible for listing in the National Register of Historic Places.


James A. Reitman

04/28/2025
Date

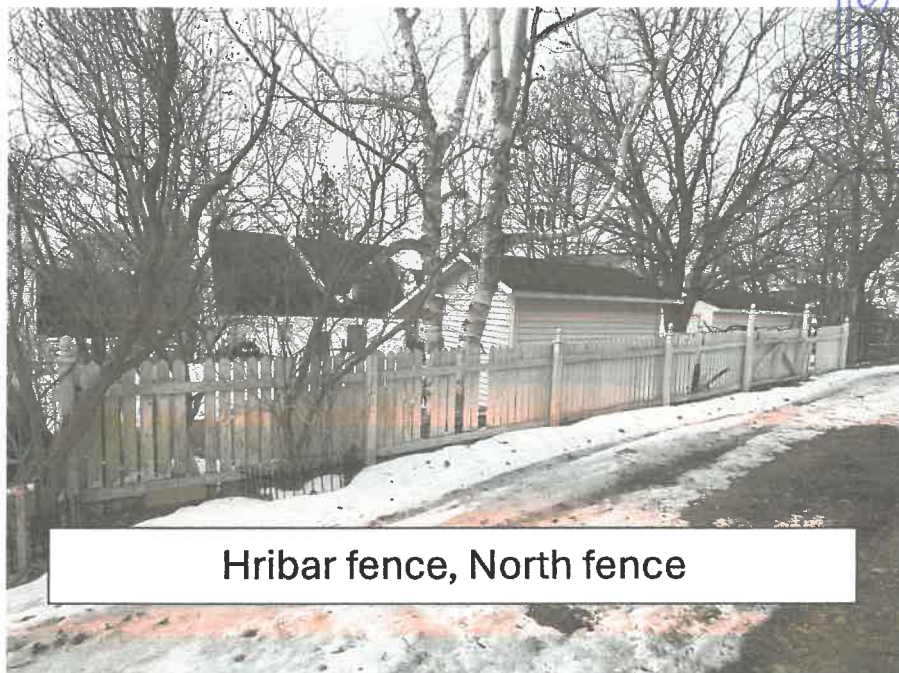

LANA KAY ST. ONGE, Notary Public
Mackinac County, State of Michigan
My Commission Expires: 08-14-2027

File No. R325.021.035(H)
Exhibit L
Date 4.29.25
Initials KP

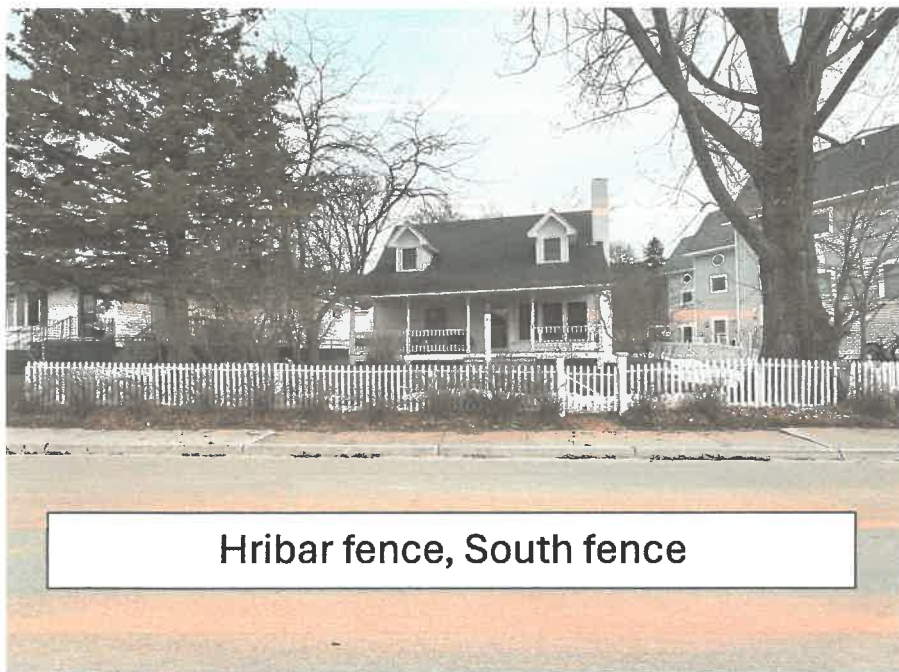


Photos of fence to be replaced

Section X, Item.



Hribar fence, North fence



Hribar fence, South fence

File No. B325-021-035(4)
Exhibit C
Date 4.29.25
Initials KP

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

James Reitman, Northern Waters Construction
W1999 Dukes Rd. Moran, MI 49760

906-298-2822 northernwatersconstruction@outlook.com
Phone Number Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

East Harbor Condo Association, Dan R Prevo, President of East Harbor Condo Association
374 Autumn Ridge Traverse City, MI 49686

Is The Proposed Project Part of a Condominium Association? _____

Yes _____

Is The Proposed Project Within a Historic Preservation District? _____

Yes _____

Applicant's Interest in the Project (If not the Fee-Simple Owner): _____

Contractor _____

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? _____

No _____

Is a Variance Required? _____

No _____

Are REU's Required? How Many? _____

No _____

Type of Action Requested:

xxxx Standard Zoning Permit _____

_____ Appeal of Planning Commission Decision

_____ Special Land Use _____

_____ Ordinance Amendment/Rezoning

_____ Planned Unit Development _____

_____ Ordinance Interpretation

_____ Other _____

Property Information:

A. Property Number (From Tax Statement): 051-720-000-00 _____

B. Legal Description of Property: East Harbor Condo Common Elements _____

C. Address of Property: 6624 Main Street, Mackinac Island, MI 49757 _____

D. Zoning District: R-3 _____

E. Site Plan Checklist Completed & Attached: Yes _____

F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes _____

G. Sketch Plan Attached: N/A _____

H. Architectural Plan Attached: N/A _____

I. Association Documents Attached (Approval of project, etc.): Yes _____

J. FAA Approval Documents Attached: N/A _____

K. Photographs of Existing and Adjacent Structures Attached: Yes _____

Proposed Construction/Use:

A. Proposed Construction: _____

_____ New Building

xxxx Alteration/Addition to Existing Building

_____ Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

N/A

Proposed Use: N/A

C. If Vacant:

Previous Use: N/A

Proposed Use: N/A

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the CONTRACTOR (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.


Signature

SIGNATURES _____
Signature

JAMES A. REITMAN
Please Print Name

Please Print Name

Signed and sworn to before me on the 28th day of April, 2025.

LANA KAY ST. ONGE, Notary Public
Mackinac County, State of Michigan
My Commission Expires: 08-14-2027


Notary Public

Mackinac County, Michigan
My commission expires: 8-14-2027

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: _____

FEE: _____

DATE: _____

CHECK NO: _____ INITIALS: _____

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- | | | |
|---|-------------------------------------|--------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|--------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|-------------------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- | | | |
|--|-------------------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Utility Information

Provided

Not Provided or Applicable

- | | | |
|--|-------------------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Site Plan Review Checklist

Information Requirements

1. James Reitman, Northern Waters Construction, W1999 Dukes Rd. Moran, MI 49760
2. East Harbor Condo Common Elements
3. Attachment A, "Site plans"

General Information

1. James Reitman, Northern Waters Construction, W1999 Dukes Rd. Moran, MI 49760
2. James Reitman, Northern Waters Construction, W1999 Dukes Rd. Moran, MI 49760
3. N/A
4. See Attachment A, "Site Plans"
5. East Harbor Condo Common Elements
6. N/A
7. N/A
8. Present zoning classification: R-3
9. Attachment B, "Description of work to be performed"
10. N/A
11. Attachment C, "Hauling, freight, trash disposal, staging"
12. Attachment C, "Hauling, freight, trash disposal, staging"
13. Begin 6/1/2025 – End date 7/15/2025
14. Attachment D, "Affidavits"

Natural Features

15. N/A
16. N/A
17. N/A
18. N/A

Physical Features

- 19. Attachment E, "Existing manmade features"
- 20. N/A
- 21. N/A
- 22. Attachment F, "Existing streets, sidewalks and other circulation features"
- 23. N/A
- 24. N/A
- 25. N/A

Utility Information

- 26. N/A
- 27. N/A
- 28. Attachment G, "Location of utility services"
- 29. N/A

Demolition

- 1. N/A
- 2. N/A
- 3. N/A
- 4. N/A
- 5. N/A
- 6. Attachment H, "Archeological and Historical acknowledgement"

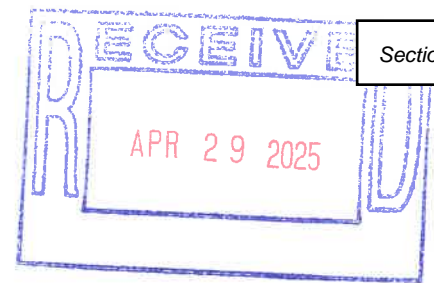
Architectural Review

- 1. N/A
- 2. N/A
- 3. N/A
- 4. N/A

Attachment A: Site Plans

Fence location is labeled in **RED** line

Gates are labeled in **GREEN** arrows



Section X, Itemf.



New fence will be in the same location as old fence, utilizing the same post holes

Attachment B, Description of work to be performed

Client Information

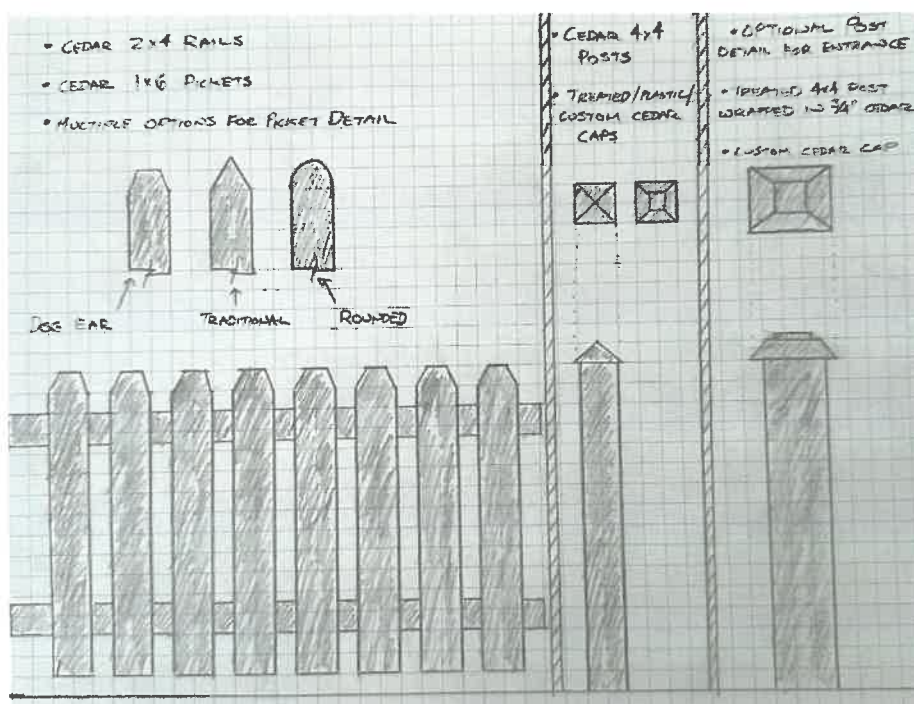
East Harbor Condo Association

6624 Main St. Mackinac Island, MI 49757

Scope of Work

Exterior Picket Fence, approximately 190 ft – Main St. frontage and west property line from Main St. to Ferry Ln

- Demo and dispose of existing picket fence
- Manufacture new fence components – pickets, rails, posts
 - o Pickets, rails, and posts – cedar products
 - o Dog-Ear style picket top
 - o Post caps – factory made treated pine, flat-top
 - o Pickets – 5.5 in width, 4 ft tall. 2 in spacing between pickets
- Install new fence in same location as old fence, utilizing same post holes
- Create a wider walkway entrance to accommodate for carts – approximately 4 ft width
- Entrance posts -boxed out with cedar trim, custom cedar flat-top caps
- Paint entire fence 2 coats with high-quality exterior latex paint – Benjamin Moore - color, white

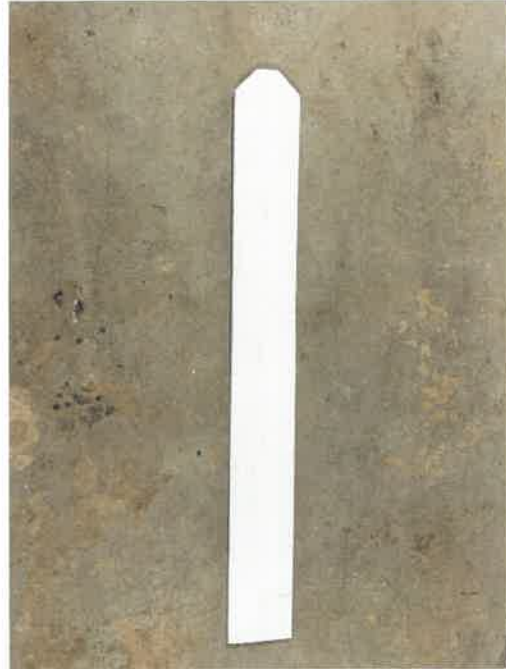


Attachment B, Description of work to be performed

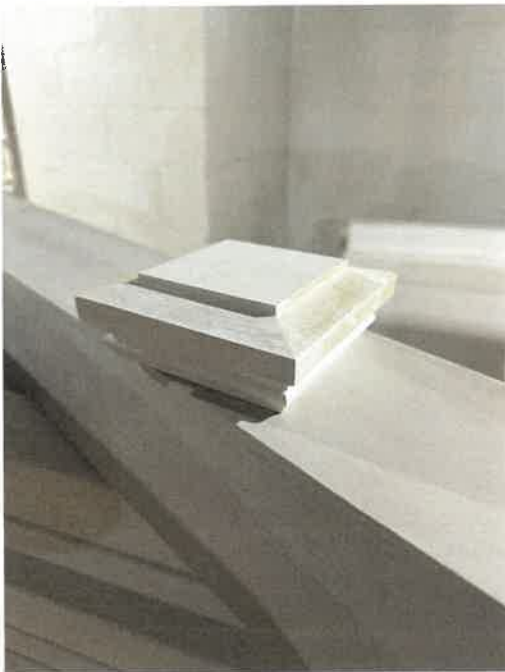
Section X, Itemf.



Cedar, post cap for gates



Cedar, dog ear picket



Treated post cap for posts

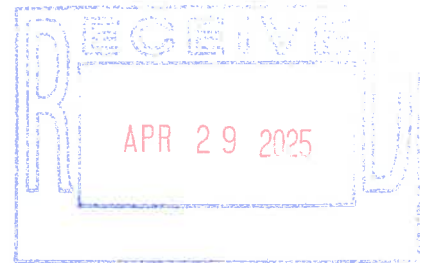


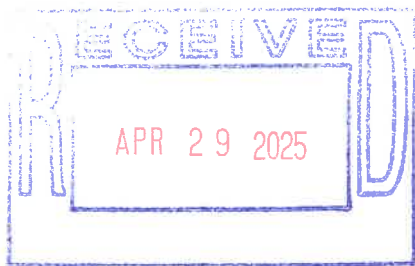
Cedar, wrapped gate posts

Attachment C, Freight, hauling, trash disposal and staging plan

Section X, Itemf.

- All materials and equipment will be shipped to Mackinac Island utilizing Arnold Freight Company boat service
- All materials and equipment will be transported to the jobsite utilizing Mackinac Island Carriage Tours dray service
- All materials and equipment will be stored on the jobsite until project completion
- Storage location will be at the back of the property, off street, and in as inconspicuous of a location as reasonably possible
- All materials and equipment will be organized neatly and covered with visqueen plastic until project completion
- Trash disposal will be executed in a timely manner utilizing Mackinac Island Carriage Tours “2-footer” trash wagons



**AFFIDAVIT**

STATE OF MICHIGAN
COUNTY OF MACKINAC

I, Dan R. Prevo, being of lawful age and sound mind, do hereby declare and affirm under penalty of perjury:

1. I am a resident and the legal owner of Unit 1 of the property located at 6624 Main St., Mackinac Island, MI, 49757. I am the President of the East Harbor Residents Association.
2. This affidavit is made to grant permission to my neighbor, David Hribar, residing at 6634 Main St., and their contractor, James Reitman of Northern Waters Construction, to access my property for the purpose of erecting a fence along the property line between our respective properties.
3. I hereby grant permission to David Hribar and their contractor to enter my property at 6624 Main St. for the limited purpose of performing work related to the construction, installation, or maintenance of a fence. This includes bringing necessary equipment, tools, and materials onto my property as reasonably required to complete the fence project.
4. This permission is effective from 05/01/2025 and shall remain in effect until completion of the fence project, unless otherwise revoked by me in writing.
5. All work shall be conducted in a professional manner, respecting my property and minimizing any damage or disruption. David Hribar and their contractor agree to restore any portion of my property affected by their work to its original condition, to the extent reasonably possible, upon completion of the project.
6. By granting this permission, I am not waiving any legal rights regarding the ownership of my property, the location of the property line, or any other property-related matters.
7. I make this affidavit voluntarily, without coercion or duress, and I understand the implications of granting this permission.

Signature: 

Dan R. Prevo

Date: Apr 14, 2025

NOTARY ACKNOWLEDGMENT

STATE OF Michigan
COUNTY OF Grand Traverse

On this 14th day of April, 2025, before me, a Notary Public in and for said County and State, personally appeared Dan R. Prevo, known to me (or satisfactorily proven) to be the person whose name is subscribed to the foregoing instrument, and acknowledged that they executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Notary Public: My Commission Expires: 06/22/2029

Seal:

KERRY L. MCFARLANE
Notary Public - State of Michigan
County of Leelanau
My commission Expires 6/22/2029
Acting in the County of Grand Traverse

AFFIDAVIT

STATE OF MICHIGAN
COUNTY OF MACKINAC

I, David Hribar, being of lawful age and sound mind, do hereby declare and affirm under penalty of perjury:

1. I am a resident, and the legal owner of the property located at 6634 Main St., Mackinac Island, MI, 49757.
2. This affidavit is made to grant permission to my neighbor, Dan R. Prevo, residing at 6624 Main St., and their contractor, James Reitman of Northern Waters Construction, to access my property for the purpose of erecting a fence along the property line between our respective properties.
3. I hereby grant permission to Dan R. Prevo and their contractor to enter my property at 6634 Main St. for the limited purpose of performing work related to the construction, installation, or maintenance of a fence. This includes bringing necessary equipment, tools, and materials onto my property as reasonably required to complete the fence project.
4. This permission is effective from 05/01/2025 and shall remain in effect until completion of the fence project, unless otherwise revoked by me in writing.
5. All work shall be conducted in a professional manner, respecting my property and minimizing any damage or disruption. Dan R. Prevo and their contractor agree to restore any portion of my property affected by their work to its original condition, to the extent reasonably possible, upon completion of the project.
6. By granting this permission, I am not waiving any legal rights regarding the ownership of my property, the location of the property line, or any other property-related matters.
7. I make this affidavit voluntarily, without coercion or duress, and I understand the implications of granting this permission.

Signature: David Hribar
David Hribar

Date: 4/17/25

NOTARY ACKNOWLEDGMENT

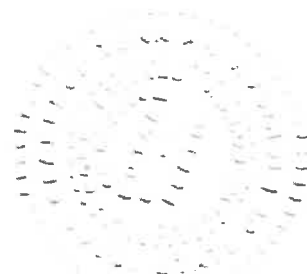
STATE OF Michigan
COUNTY OF MacKinac

On this 22nd day of April, 2025, before me, a Notary Public in and for said County and State, personally appeared David Hribar, known to me (or satisfactorily proven) to be the person whose name is subscribed to the foregoing instrument, and acknowledged that they executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Notary Public: Isaac Clarence Terrian
My Commission Expires: 08/07/2030
Seal:

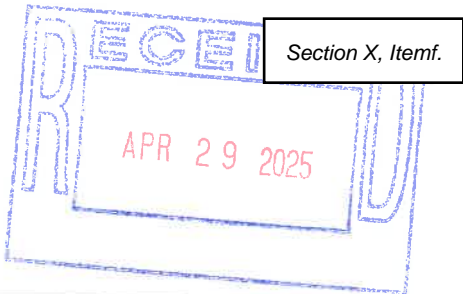
ISAAC CLARENCE TERRIAN
Notary Public, State of Michigan
County of Chippewa
My Commission Expires 08-07-2030
Acting in the County of Chippewa





Attachment E: Existing manmade features

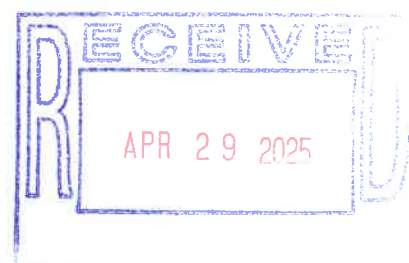
Red line represents existing fence



Attachment F: Existing streets, sidewalks, and other circulation features

Green lines represent existing streets, sidewalks and other circulation features. There are no proposed circulation features being added to properties for this project.

Orange line represents existing sidewalk on property, there will be no changes to sidewalk.

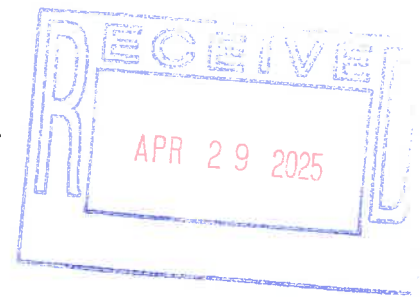


Attachment G, Location of utility services

Section X, Itemf.

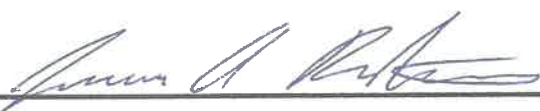
Yellow box - electrical box located on East Harbor Association's property.

Orange boxes - electric meters




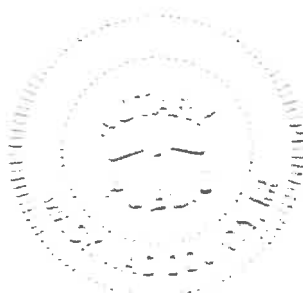
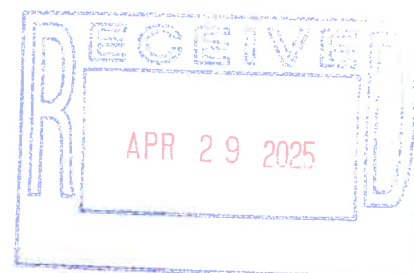
Attachment H, Archeological and historical acknowledgement

I, James Reitman, acknowledge that if any unknown historic or archeological remains are discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop. The discovery will be made by myself to the City as well as any other required offices. The city will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort if the site is eligible for listing in the National Register of Historic Places.


James A. Reitman

04/28/2025
Date


LANA KAY ST. ONGE, Notary Public
Mackinac County, State of Michigan
My Commission Expires: 08-14-2027




Fw: Fence Project Preferences
From Dan Prevo <dan_prevo@hotmail.com>

Date Sun 2/2/2025 3:02 PM

To James Reitman <northernwatersconstruction@outlook.com>

Subject: Fence Project Approval

Hi Jim,

I'm happy to inform you that we have received approval to move forward with the fence project. However, I realized that I made an error regarding the orientation of the fence; we would like the good side to face outward.

Could you please let me know if this these changes affects the final price? I believe it should be similar to what you originally quoted. If you can confirm this, I will send the deposit check on its way.

Thank you,
Dan

From: Dan Prevo <dan_prevo@hotmail.com>

Sent: Saturday, February 1, 2025 11:18:14 AM

To: Dan Prevo <dan_prevo@hotmail.com>

Subject: Fence Project Preferences

Good morning,

I have tabulated your preferences for the new fence design. I have included the votes for each detail.

Picket design. Dog Ear. 2\3

Flat Top Cap. 2/3

Box out entrance only post and widen the entrance one foot. 3/3

The new fence will good face good side out as is it is currently. 2/3

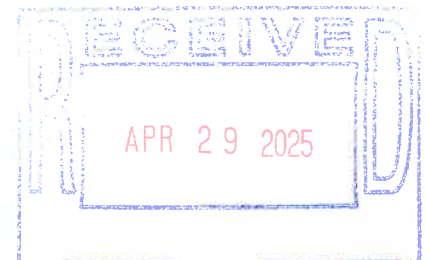
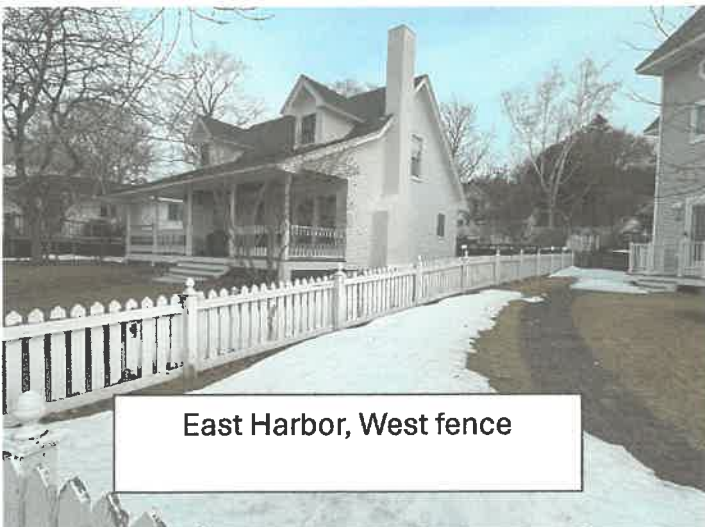
If you agree on these details let me know so I can provide these details to Jim for final pricing.

 Get [Outlook for iOS](#)

Association
Approval
Email

Photos of fence to be replaced

Section X, Itemf.



**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

JASON WILEY & CHRIS SHEPLER

231-436-5023

Phone Number

jason@sheplersferry.com

Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

CHRIS SHEPLER

556 E. CENTRAL AVE.

MACKINAW CITY, MI 49701

Is The Proposed Project Part of a Condominium Association?

No

Is The Proposed Project Within a Historic Preservation District?

YES

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Director of Operations

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

No

Is a Variance Required?

No

Are REU's Required? How Many?

No / -

Type of Action Requested:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Standard Zoning Permit | <input type="checkbox"/> Appeal of Planning Commission Decision |
| <input type="checkbox"/> Special Land Use | <input type="checkbox"/> Ordinance Amendment/Rezoning |
| <input type="checkbox"/> Planned Unit Development | <input type="checkbox"/> Ordinance Interpretation |
| <input checked="" type="checkbox"/> Other <u>Installation of safety and crowd control equipment.</u> | |

Property Information:

- | | | |
|--|-----------------------|--------------------------------|
| A. Property Number (From Tax Statement): | <u>051-440-014-00</u> | |
| B. Legal Description of Property: | <u>See attachment</u> | |
| C. Address of Property: | <u>7431 Main St.</u> | File No. <u>025-014-037(H)</u> |
| D. Zoning District: | <u>Commercial</u> | Exhibit <u>A</u> |
| E. Site Plan Checklist Completed & Attached: | <u>Yes</u> | Date <u>4-29-25</u> |
| F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) | <u>Yes</u> | Initials <u>KP</u> |
| G. Sketch Plan Attached: | <u>N/A</u> | |
| H. Architectural Plan Attached: | <u>N/A</u> | |
| I. Association Documents Attached (Approval of project, etc.): | <u>N/A</u> | |
| J. FAA Approval Documents Attached: | <u>N/A</u> | |
| K. Photographs of Existing and Adjacent Structures Attached: | <u>See Attachment</u> | |

Proposed Construction/Use:

- A. Proposed Construction:
- | | |
|--|---|
| <input type="checkbox"/> New Building | <input type="checkbox"/> Alteration/Addition to Existing Building |
| <input checked="" type="checkbox"/> Other, Specify <u>safety & crowd control equipment</u> | |

- B. Use of Existing and Proposed Structures and Land:
Existing Use (If Non-conforming, explain nature of use and non-conformity):

Proposed Use: _____

- C. If Vacant:
Previous Use: _____
Proposed Use: _____

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Director of Operations (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**


Signature 

SIGNATURES _____
Signature _____

JASON WILEY
Please Print Name

Please Print Name

Signed and sworn to before me on the 29th day of April, 2025.

 Caelyn Dankert
Notary Public

Emmet County, Michigan
My commission expires: 09-21-2028

Caelyn Dankert, Notary Public
State of Michigan
County of Emmet
My Commission Expires 9/21/2028
Acting in the County of Emmet

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

Inspection	Date	Inspector	Comments
1.			
2.			
3.			

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: C25-014-037(A) FEE: \$400-
DATE: 4.29.25 CHECK NO: 5363 INITIALS: KP

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review
Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Legal description of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Present zoning classification of the subject parcel	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | |
|---|--------------------------|-------------------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|--------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|--------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- | | | |
|--|--------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Utility Information

Provided

Not Provided or Applicable

- | | | |
|--|--------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Architectural Review

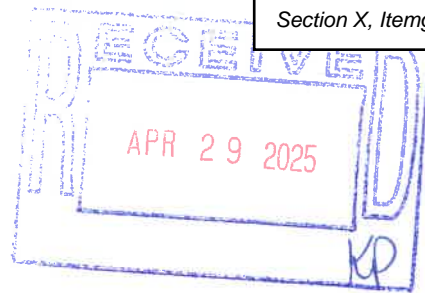
Informational Requirements (Section 18.05)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Legal Description:

LEASED FROM D.N.R. FORMER NO. 840-014-00 BUILDING ON LEASED LAND (SHEPHERD DOCK) DESC AS COMM AT THE NW COR OF LOT 138 ASSESSOR'S PLAT NO 3 TH S 76 DEG 15'00"E 51.00 FT TO TH POB TH S 76 DEG 37'00"E 83.00 FT TH N 73 DEG 23'00"E 68.84 FT TH S 76 DEG 37'00"E 331.15 FT TH S 13 DEG 11'00"W 78.00 FT TH N 76 DEG 49'00"W 470.00 FT TH N 08 DEG 14'40"E 45.10 FT TO THE POB

Section X, Itemg.



File No. C25-014037(H)
Exhibit B
Date 4-29-25
Initials KP

GENERAL SHEET NOTES

1. CONTRACTOR RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING DOCK LAYOUT PRIOR TO CONSTRUCTION

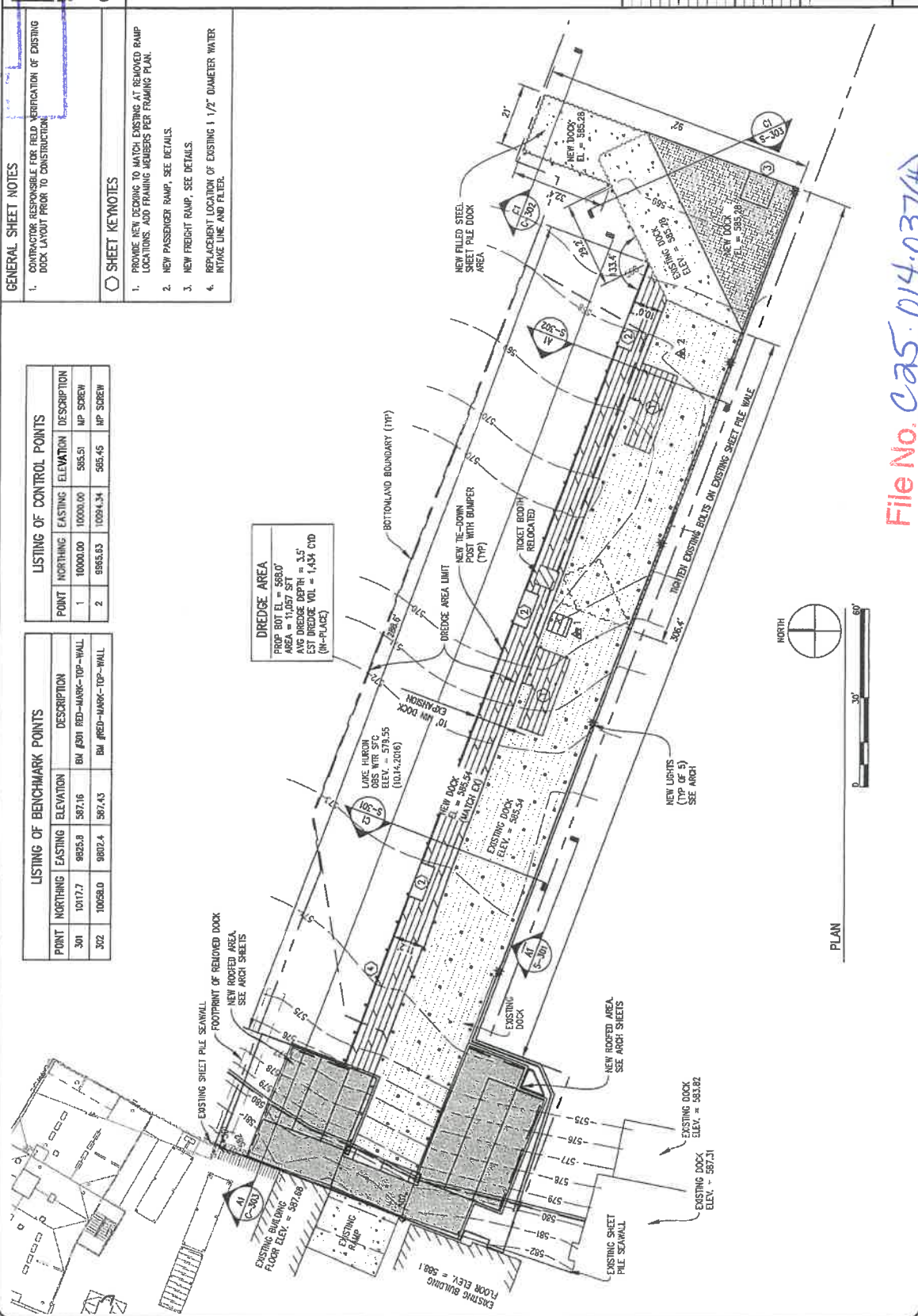
○ SHEET KEYNOTES

POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
301	10117.7	9925.8	587.16	BM #301 RED-MARK- TOP-WALL
302	10058.0	9802.4	587.43	BM #RED-MARK- TOP-WALL

SHEET KEYNOTES

1. PROVIDE NEW DECORING TO MATCH EXISTING AT REMOVED RAMP LOCATIONS. ADD FRAMING MEMBERS PER FRAMING PLAN.
2. NEW PASSENGER RAMP, SEE DETAILS.
3. NEW FREIGHT RAMP, SEE DETAILS.
4. REPLACEMENT LOCATION OF EXISTING 1 1/2" DIAMETER WATER INTAKE LINE AND FILTER.

DREDGE AREA
PROP BOT EL = 568.0'
AREA = 11,057 SFT
AVG DREDGE DEPTH = 3.5'
EST DREDGE VOL = 1,434 CYD
(IN-PLACE)



DOCK EXPANSION
MACKINAC ISLAND, MICHIGAN
PREPARED FOR: SHEPLER'S MACKINAC ISLAND FERRY

PRELIM	DATE	OTHER REMARK
FORM	TIME	PROJECT SET
WORK	DATE	PROJECT FOR
PROJECT NO		ESTIMATOR
DATE FILE		STANDARD SITE
MANAGER		ART
DISCLOSED BY		JAC
DELETED BY		DND
CHANGED BY		JEN

STATE DEPT
 © NORTHWEST FISHING GROUP, LLC 1997

SITE
PLAN

C-101

File No. C25.014.037(4)

Exhibit 2

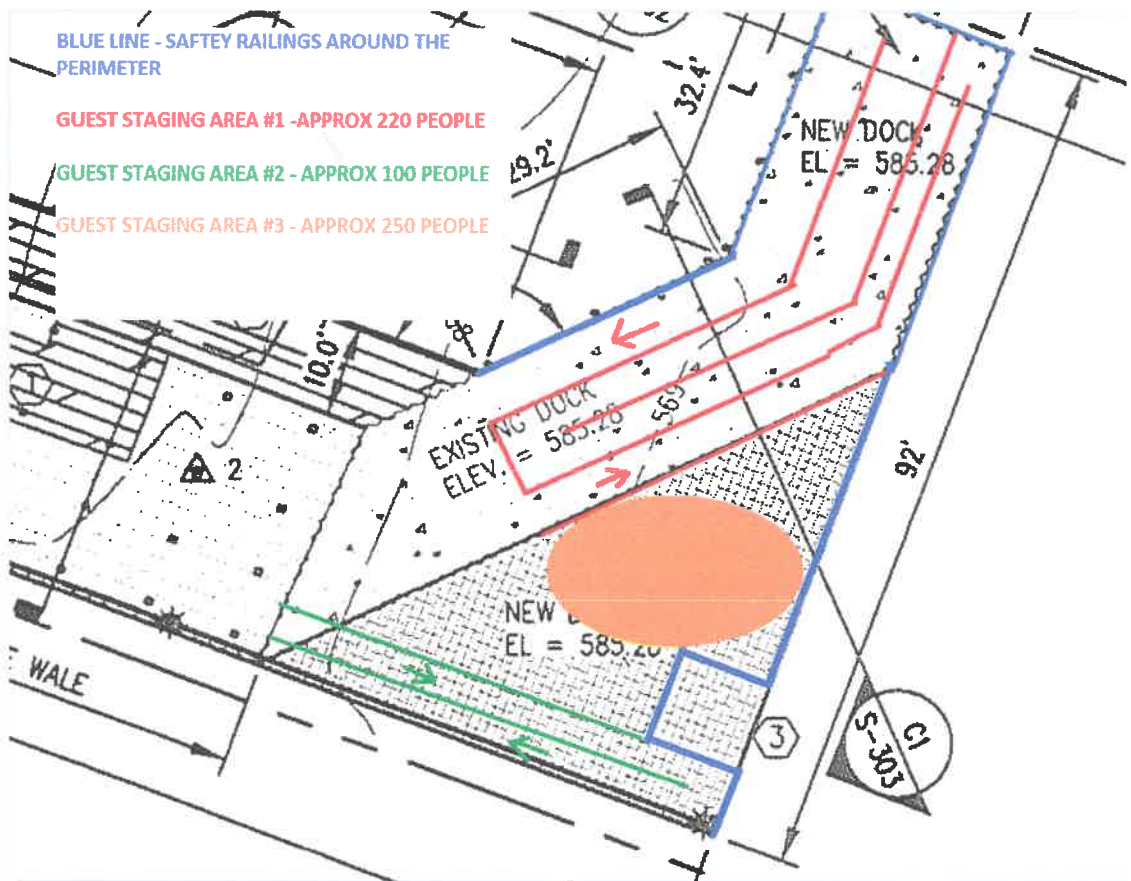
Date 4.29.25

initials KP

Additional safety railings and line stations with chains will match the currently installed safety railings, line stations and chains. See pictures below: (material description on following pages)



Below is a concept layout of the new staging areas to accommodate approximately 570 people



File No. C25.04.037
Exhibit D
Date 4.29.25
Initials KP

Sault Machine Works/Bunker Mfg.

1501 W. 12th St.
Sault Ste. Marie, MI 49783

QUOTATION

Quote Number: 3406

Quote Date: Apr 29, 2025

Page: 1

Voice: 906-632-3829

Fax: 906-379-9159

File No. C25-014-037(4)Exhibit EDate 4-29-25Initials KP**Quoted To:**

Michelle Borowicz
Shepler's Marine

Customer ID	Good Thru	Payment Terms	Sales Rep
Shepler's	5/29/25	Net 30	BUNKER, MIKE

Quantity	Item Unit	Item	Description	Unit Price	Amount
1.00		<i>Railings</i>	ANODIZED ALUMINUM GUARDRAILS, 42IN HIGH, 1-1/2IN PIPE POSTS, TOP RAIL, AND BOTTOM RAIL, 3/4IN SPINDLES ON 4-1/2IN CENTERS. QUANTITIES AS FOLLOWS: 14EA. 10FT 4-3/4IN OVERALL LENGTH. 3EA. 8FT 4-3/4IN OVERALL LENGTH. 1EA. 6FT 4-3/4IN OVERALL LENGTH. APPROXIMATE LEAD TIME: 6-10 WEEKS. LUMP SUM	18,798.00	18,798.00

Subtotal	18,798.00
Sales Tax	1,127.88
TOTAL	19,925.88



SBA WOSB
Woman Owned Small Business



Section X, Itemg.

Quote
prepared for:

Sheplers Freight & Ferry
Jason Wiley
601 N. State St.
St. Ignace, MI 49781
United States
jason@sheplersferry.com
231-436-5023

NUMBER	Q521214D99
DATE	12/21/2022
EXPIRES	N/A

Thank you for your recent inquiry. We are pleased to submit the following quotation.

Description	List price	Our Price	Qty	Total
ALTERNATIVE POST OPTION- Recommended for additional added protection Code: ST640R-SS Product Name: LOOP POST - REMOVABLE BASE SINGLE LINE - 4 LOOP TOP SATIN STAINLESS STEEL 304 STAINLESS STEEL INCLUDING CLEAR COAT ON POST FOR ADDED PROTECTION				
		\$ 204.00	25	7,802.25
Code: 421SC Product Name: SOCKET & CAP - SATIN CHROME				
		\$ 61.11	25	1,527.75
Code: 852SS-CUS Product Name: 3/16" WELDED CHAIN - BY THE FT- POL. SS FINISH *				
280FT OF CONTINUOUS CHAIN		\$ 15.40	280	4,312.00
Code: SEC-SS Product Name: CHAIN SNAP ENDS WITH QUICK LINK - STAINLESS STEEL				
		\$ 16.36	50	818.00
				\$ -
				\$ -
				Subtotal \$ 14,260.00
				Shipping \$ 954.92
				Total \$ 15,214.92

Lead time 3-4 weeks.

*Station
1/3
Chain lines*

