

CITY OF MACKINAC ISLAND

AGENDA

PLANNING COMMISSION

Tuesday, August 12, 2025 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

II. Roll Call

III. Pledge of Allegiance

IV. Adoption of Agenda

V. Approval of Minutes

[a.](#) July 8, 2025 Special Meeting

[b.](#) July 8, 2025 Regular Meeting

VI. Correspondence

[a.](#) Letter re: St. Ignace Township Master Plan

VII. Staff Report

a. HDC Meeting Summary

b. REU Update

VIII. Committee Reports

[a.](#) Discussion of Special Meeting and Workshop with Adam Young

IX. Old Business

[a.](#) R425-098-051 Grand Hotel 4 Attached Dwelling Units Amendment

[b.](#) R425-098-052 Grand Hotel 12 Dwelling Units

[c.](#) MD25-069-054(H) Doud Change of Use & Alteration Home to Hotel

[d.](#) HB24-013-058 Stonecliffe Kitchen Awning Amendment

X. New Business

[a.](#) Ira Green Mackinac Mobility Traffic Flow Information

[b.](#) R125-010-059 Salvatore Sauna

[c.](#) C25-066-064(H) Mary's Bistro Pizza Oven

[d.](#) C25-057-065(H) Mackinac Market Change of Use and Apartment Reno

XI. Public Comment

XII. Adjournment

CITY OF MACKINAC ISLAND
MINUTES

PLANNING COMMISSION SPECIAL MEETING

Tuesday, July 08, 2025 at 3:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

Chairman Straus called the meeting to order at 3:00 PM.

II. Roll Call

PRESENT

Trish Martin
Jim Pettit
Michael Straus
Anneke Myers
Mary Dufina
Lee Finkel

ABSENT

Ben Mosley

Adam Young, Erin Evashevski, Dennis Dombroski, David Lipovsky

III. Pledge of Allegiance

IV. Adoption of Agenda

Motion to approve as written.

Motion made by Martin, Seconded by Dufina.
Voting Yea: Martin, Pettit, Straus, Dufina, Finkel

V. Committee Reports

None.

VI. Old Business

a. Housing Focused Zoning Amendments Discussion

Adam Young referred to his memo dated July 1. The 2nd draft of Ordinance amendments includes additional sections to review. Young addressed the schedule of engagement which includes a Public Hearing, open meetings, stakeholder meetings and interviews, and a community workshop. The stakeholder interviews

should be one on one phone interviews. Young would like the stakeholders to know about or be involved with housing. During interviews the focus will be on the Zoning Ordinance. Young stated he would like the folks perspective on the ordinance as it relates to housing. Young stated the list of stakeholders should include the Zoning admin/building inspector, city attorney, member of city housing committee-(Neal Liddicoat or Jim Pettit), a real estate professional-(Joe Stakoe), a builder/developer-(Sean O'Boyle and Andrew Doud), and Neil Hill Jr. Pettit pointed out that we don't have any year-rounders on the list. Pettit and Lipovsky are year-rounders. Other people the Commission thought would be good are Andy McGreevy, Mark Ware and David Jurcak. A backup person could be someone from the Callewaert corporation.

Community workshop. Young stated this could be a work session a couple of hours long where Young shares some recommendations and draft amendments to the general public. It was discussed having this in October on the evening of the 13th or 14th mid-day.

Young wanted to go over the Zoning Ordinance amendments: Myers asked about 4.12 relating to accessory buildings to residential uses. The height is not to exceed 14'. Myers asked if this applies to accessory dwelling units also. Myers thought maybe they need to consider a higher height for accessory dwelling units. Dombroski thinks accessory dwelling units should be considered as a separate topic. Lipovsky suggested placing a maximum square footage before it is considered a dwelling unit. Young stated on page 32 in packet it states which zoning areas accessory dwelling units are allowed. Young will look in to this. Evashevski stated where multiple dwelling units on one property maybe started out as an accessory dwelling unit. Keep this in mind when discussing them. Myers stated Young probably knows other communities with this and the ramifications.

Young walked through the proposed amendments. Article 2 is definitions to be added and deleted. Martin will look in the Code of Ordinances for reference to agriculture. chickens, horses, etc. It is not in the zoning ordinance so would technically not be allowed in any zone. Dombroski wondered how this would relate to GAMPS. Dombroski stated he wouldn't rush to remove the term agriculture. Dufina asked about human care facilities. Young stated they need to be addressed in our Ordinance in some way. Pettit asked about 2.32 and short-term rentals. The definition to hotel says anything that allows for a rental period less than 30 days is hotel usage. So it is not allowed in residential zones. This amendment makes it more clear. Evashevski wants more time to consider the proposed change. Young stated Article 4 changes are largely related to human care facilities. Article 5 takes a closer look at nonconforming uses, structures, and lots of record. Young stated this could use some improvements to ease restrictions on single family dwellings. The Zoning district articles have some small changes, but largely the chart with the changes are implemented in the zoning district. Article 19a has some tweaking in the intent statement and the expansion to propose a PUD development in more areas. Page 81, eligibility and standards for approval for PUD, has minimum square footage of 2 acres. Smaller areas could be considered.

Commissioners are to come back with questions on August 12 at 3:00.

VII. New Business

None

VIII. Public Comment

None.

IX. Adjournment

Motion to adjourn at 3:59 PM.

Motion made by Martin, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

Michael Straus, Chairman	Katie Pereny, Secretary
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CITY OF MACKINAC ISLAND

MINUTES

PLANNING COMMISSION

Tuesday, July 08, 2025 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

Chairman Straus called the meeting to order at 4:05 PM.

II. Roll Call

PRESENT

Trish Martin

Jim Pettit

Michael Straus

Anneke Myers

Mary Dufina

Lee Finkel

ABSENT

Ben Mosley

Staff: Dennis Dombroski, David Lipovsky, Erin Evashevski

III. Pledge of Allegiance

IV. Approval of Minutes

a. June 10, 2025 Special Meeting

Motion to approve as written.

Motion made by Dufina, Seconded by Finkel.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

b. June 10, 2025 Regular Meeting

Motion to approve as written.

Motion made by Dufina, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

V. Adoption of Agenda

Motion to approve as amended. The amendments are to swap Grand Hotel items b and c, and Pettit would like to talk about Hoban Hill project, under Old Business.

Motion made by Myers, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

VI. Correspondence

- a. Resignation Letter from Ben Mosley

Straus read the letter aloud. Motion to place on file.

Motion made by Martin, Seconded by Finkel.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

Motion by Myers, second by Finkel to send a letter of thanks to Mosley. All in favor. Motion carries.

VII. Staff Report

- a. HDC Meeting Summary

Finkel summarized the HDC meeting. Myers asked about the Mackinac Cycle door change. Myers wondered if he needs to submit to Planning Commission for the change? Straus agrees that he would like to see the flow chart. Myers pointed out that his additional bicycle licenses were probationary and a site plan was supposed to be submitted. Dufina would like another site plan. Evashevski is to advise the building department on how to proceed.

- b. DPW Update

Allen Burt had no pictures to present but stated that they are better than 90 percent done on the concrete. Work has mostly shifted to pipe and conduit installation. Burt stated they are still on schedule for December startup.

VIII. Committee Reports

None.

IX. Old Business

- a. Stonecliffe Site Plan Amendments

This item, for the retail sheds, was tabled last month. Nothing additional was submitted by applicant. Straus suggested denying based on the fact that they did not fulfill the request. Motion to deny based on the fact that it does not meet zoning

requirements, based on Section 4.25, it would require a variance, and the applicant did not submit separate applications as requested in the June 10th meeting.

Motion made by Myers, Seconded by Finkel.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

b. R125-017-020 Bonzheim New Home

Kim and Scott Bonzheim addressed the Commission. Lipovsky stated he would like an architectural review. Myers stated also our Ordinance requires a review over 3500 square feet. Dombroski clarified that footage includes the entire home, not just habitable space. Murray went through the list the Planning Commission asked for in June; accessory building height, scenic easement letter, state park approval of scenic easement, one module is too large and requires City Council approval, and MDOT approval. Myers stated the Commission wanted to understand the process from MDOT for the roads. State park approval for the route needs to be granted. Staging on the state park dock needs approval as well. Straus requested an updated timeline since the foundation will not be done in summer of 2025. Ryan Spencer stated he talked to Cory Gardner and his quote was "don't worry Ryan, when the time comes we will work with you, but it has to be at the time of the permit, not ahead of time". Myers stated that helps us understand the process with MDOT. Spencer stated that when setting the modules, traffic would probably be stopped at Stonecliffe Gate North. This will be a 2- or 3-day set. Dufina asked if Dickinson Homes will be providing the personnel to direct traffic. Spencer stated the timeline is the foundation this fall and deliver the mods in spring. They will then be finishing in the summer and fall and complete by fall of 2026. They intend to go to council to ask for zone 2 set timeframe. Murray stated he believes they have submitted everything and that Planning Commission may be going beyond what zoning requires. Straus stated everything the Planning Commission is asking for is within the Planning Commission purview. Myers stated we need to have a favorable architectural review, a state park letter regarding transit of mods, location of building material storage and staging, state approval for use of M-185, an updated timeline, a variance for the module size, and a statement from Planning Commission highlighting the section of being in zone 1 and that frost laws are concern. Straus stated the discussion regarding the frost law concern and not being able to work in the spring, is in the minutes. Evashevski stated in our ordinance it states start date and timing "will be least invasive to summer season". Evashevski stated we know a variance is needed, and the concern with it being set so close to the season, and zone 1 timeframes description is very clear. We must not lead applicant to believe this will all be allowed. The Planning Commission is just the first step. Spencer stated they will not be making the mods until approved by City Council. Spencer stated we know the frost laws probably won't work with them for a spring start and approval by City Council for mod length is not certain. Evashevski stated our approval triggers the production of the mods. So Evashevski wants to make sure we are letting the applicant know Planning Commission approval does not guarantee they can proceed with mod size and in their timeline. Straus stated we need to approve with contingencies or deny. Straus stated Planning Commission could also send a letter to City Council. Myers finds it troubling that we have talked to the developer and Dickinson continually about our

spring set concerns. The applicant is still sticking to that timeline and that is problematic. Dufina asked about the building department having signed and sealed drawings before the building permit is issued. Lipovsky wondered if they could set before the frost laws are on. Possibly schedule for a January set. Spencer stated he doesn't know but that is a possibility. Straus asked what timeline is submitted for review today? Do we want to review based on what is in the packet. Motion to approve with a set by April 30 or after November 1, pending frost laws not in affect, with contingencies of a favorable architectural review as required by zoning ordinance, a letter from the state regarding transit of mods on M-185 and approval of staging as depicted in the application, timeline submitted reviewed and resubmitted if not correct, a variance for length of one mod granted by City Council, and as per our Ordinance and concern of frost laws it be set by April 30 or after November 1st, as it lies in zone 1. Dufina confirmed that mods aren't made yet.

Motion made by Myers, Seconded by Finkel.

Voting Yea: Martin, Straus, Myers, Dufina, Finkel

Voting Nay: Pettit

Pettit stated that he has received complaints on the lights being too bright on Hoban Hill on the two buildings facing north towards carriage tour housing. The building department is to check plans to see if that was approved and Lipovsky is to check the lights. Ryan Spencer stated no lights were ever discussed. They knew they needed to light up the sidewalk. Straus informed Spencer the lighting needs to come to Planning Commission for approval.

X. New Business

a. R425-085-048 Arbib Fence and Deck Alterations

Motion to approve.

Motion made by Myers, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

b. R425-098-051 Grand Hotel 4 Attached Dwelling Units

Motion to table.

Motion made by Myers, Seconded by Finkel.

Voting Yea: Martin, Straus, Myers, Finkel

Voting Nay: Pettit, Dufina

c. R425-098-052 Grand Hotel 12 Dwelling Units

David Jurcak stated there are three options for this property. They are trying to build manager housing. They would be willing to give to the city 3-4 units, rent controlled, for workforce housing. They would be tenants of the Grand Hotel. The units are 550 sq ft each. This would be a Public private partnership opportunity. Grand does not want to keep buying houses in the Village to create housing. Jurcak stated it is part of

Master Plan to find other options for housing, and he feels this would benefit all. Pettit asked if they would hook on to sewer. Jurcak stated yes. Burt stated they would propose the line be designed to serve anyone within 200' of the line and would be owned by the City. There would be a 10 year pay back arrangement. The line would run the length of west side of 4th and part of the east side of 4th. Straus stated this is new and different and would like Evashevski to weigh in. Evashevski stated it doesn't meet setbacks so would need a variance or conditional rezoning. If conditionally rezoned to Commercial, only 9 units would be allowed. There would be alot involved but she thinks connecting the conditions proposed would be very conducive to conditional rezoning. The agreement would need to state who is eligible and who would make that determination. Jurcak stated there are currently 30 people that match the demographic of this proposed building. Evashevski stated she would have to look in to the issues or implications of entering into agreements that don't include fair housing. Burt also stated this would have to be approved by Fishbeck to make sure it would work. Myers asked about the difference between variance and conditional rezoning. Variances allow the City to place the conditions, whereas the conditional zoning conditions are set by the applicant. Myers asked what variance would be required. Tamara Burns stated the density. Evashevski would like to present pros and cons at the next meeting. The process is it goes to Council. ZBA would grant any variances and ultimately City Council approves. Straus asked when is it too late for them to make a decision. Martin pointed out a special land use is also required. Dufina stated we have been talking for a long time about how we can save Harrisonville. We already have alot of manager housing. Boardinghouse is an allowed use, as a special land use, but he would rather not do that. Evashevski stated if this is something, in some form, the Commission would be inclined to look in to, the Planning Commission could table and have Evashevski look in to it. A Special land use with a variance probably won't be approved because it goes against the ordinance. That is why Evashevski suggested a conditional rezoning if they are inclined to look into it further. Rezoning only allows for 9 units. Jurcak stated they wouldn't build it for 9. Its 12 or nothing. This would be an apartment like setting, not a dorm setting. Myers acknowledged that there is a big housing shortage and maybe Planning Commission should be creative. Myers is intrigued by the 3-4 units that would be available. Martin thinks it is interesting but without Evashevski looking in to it, doesn't know how it would work. Evashevski stated if the Planning Commission would like, she would look in to whether it is possible to allow both special land use where variance is required, conditional rezoning also requiring a variance, and whether or not the city would be able to contract with a private entity without our housing requirements being met. Motion to table for Evashevski to look in to. Dufina would like the Planning Commission to think why they created the R4 district. Dufina can't buy in to another big complex.

Motion made by Martin, Seconded by Myers.

Voting Yea: Martin, Pettit, Straus, Myers, Finkel

Voting Nay: Dufina

d. R425-078-053 Cloverland House Repairs

The applicant would like to replace the siding, rotted fascia and soffit, replace exterior doors, replace windows in the kitchen, bath and living area, and add a new deck. Motion to approve.

Motion made by Myers, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

e. R425-049-055 DPW Home Repairs

James Bazinau stated the window and doors need to be replaced due to rot. The bedroom window will be an egress window. The two decks will be replaced. Pettit asked Burt if this house could be added to the sewer line without tearing out the decks. Burt stated yes. Motion to approve.

Motion made by Myers, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

f. MD25-069-054(H) Doud Change of Use & Alteration Home to Hotel

The applicant requested this agenda item be tabled. Motion to table.

Motion made by Myers, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

XI. Public Comment

Martin asked if Dombroski was able to check on the a/c units at Lachance. He did speak to Barnwell but hasn't been able to go look.

Myers asked about Schunk property. The Use was changed to hotel when it was owned by the Grand. . Schunk should come back and change Use to residential.

Pettit commented about no pets allowed. During the Planning Commission process it was decided that pets were not an allowed. Landowners complain to Pettit that the Planning Commission does not enforce the family dwelling rule in the Village. If we enforce the existing ordinances, we might have a chance to be able to face our residents and say we are doing things right around here. Jurcak stated he agrees with Pettit. Jurcak stated we need to find places for people to live. Dombroski stated we don't know about the houses that are now employee housing. Dombroski stated that when the tri-plex was inspected for the C of O, it was denied due to multiple beds. Dombroski stated we do try. We can't do anything if we are not aware of the situation. Straus stated we need to encourage the people to write a letter or stop in and report. Pettit stated he will bring in a list and go from there.

XII. Adjournment

Motion to adjourn at 6:16 PM.

Motion made by Myers, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

Michael Straus, Chairman	Katie Pereny, Secretary
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25 July 2025

RE: Notice of Intent to Prepare St. Ignace Township Master Plan

To Whom It May Concern:

In accordance with the Michigan Planning Enabling Act (Public Act 33 of 2008, as amended), this letter serves as official notice that St. Ignace Township, Mackinac County, Michigan, is commencing preparation of its Township Master Plan.

The Master Plan will establish a guiding vision, goals, objectives, and implementation strategies addressing land use, housing, transportation, economic development, natural resources, and community facilities for St. Ignace Township.

We invite your agency or municipality to review and provide comments regarding the forthcoming draft plan, ensuring cooperative and complementary planning across jurisdictions. As required, a draft of the Master Plan will be made available to you upon completion, with a designated comment period clearly indicated.

We appreciate your cooperation and value your input during this important planning process. If you have immediate questions, please contact the undersigned directly.

Thank you.

Respectfully,

Creston Scheel

UpNorth Planning, Zoning, and Community Development

506 North Division Road, Petoskey, MI 49770

cszoning@gmail.com

Katie Pereny

From: Straus, Michael <straus@msu.edu>
Sent: Monday, July 28, 2025 9:03 PM
To: Adam Young
Cc: Anneke Myers; Katie Pereny
Subject: Re: Cancel the August 12 Special PC Meeting

Thanks Adam,

I don't see a problem with your recommendations below as long as we can stay on schedule.

Katie, can you make the changes listed below:

Cancel Aug 12 meeting at 3pm

Add to agenda under committees discussion of scheduling the Sept. meeting and Oct. workshop.

Then hopefully we can finalize recommendations in Nov and Dec

Safe travels

Michael

Sent from my iPhone

On Jul 28, 2025, at 7:03 PM, Young, Adam <AYOUNG@wadetrim.com> wrote:

Hi Mike and Anneke,

August 12th will be my first day back from a vacation, and I'm traveling back from Japan. I didn't realize that my flight isn't arriving until late on the 11th, so I think I need to be more realistic about being ready for a meeting on August 12th. I would request that we cancel the August 12th special meeting. Thanks for your understanding. That said, we can plan on a September special meeting. I presume that would be September 9th at 3pm.

During your regular PC meeting, you can let them know that the stakeholder interviews are in progress and should be completed before the September meeting.

We are still looking at a public workshop on either the evening of October 13th or during the day on October 14th. Either would work for me.

Adam

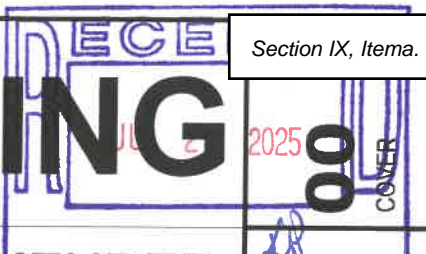
<image001.png>

Adam Young, AICP, Senior Project Manager
500 Griswold Street, Suite 2500, Detroit, MI 48226

7/29/2025 2:05:22 PM S:\Projects\Grand Hotel\2025 Manager Housing\Drawings\Sheet\4th and CADOTTE-A24_Local.rvt

GRAND HOTEL - MANAGER HOUSING

Section IX, Itema.



File No. B425.098.051
Exhibit F
Date 7.29.25
Initials KP

SUBMITTAL FOR PLANNING COMMISSION - AMENDED



AREA PLAN WITH TOPO
1" = 200'-0" SCALE



Sheet List

	PC	Rev
00	COVER	1
01	SURVEY	
02	SITE PLAN	
03	FIRST FLOOR PLAN	
04	SECOND FLOOR PLAN	
05	ENLARGED 1ST FLOOR - END	
06	ENLARGED 2ND FLOOR - END	
07	ENLARGED 1ST FLOOR - MID	
08	ENLARGED 2ND FLOOR - MID	
09	EXTERIOR ELEVATIONS	
10	EXTERIOR ELEVATIONS	
11	SITE PHOTOS	
12	SITE PHOTOS	

Legal Description

ASSESSOR'S PLAT OF HARRISONVILLE LOT 98 *OLD NUMBER 625 019 00*

Zoning

ZONING DISTRICT: R-4 HARRISONVILLE RESIDENTIAL
USE GROUP: SPECIAL LAND USE - MULTI-FAMILY RESIDENTIAL

Utilities/Services

POTENTIAL DEMAND FOR:
• WATER
• SEWER
• TRASH
UTILITY PLANS MEETING JURISDICTIONAL REQUIREMENTS WILL BE PROVIDED UPON APPROVAL OF PROJECT.

Historic District

NONE

Construction

PROPOSED CONSTRUCTION START DATE: NOV., 2025
ESTIMATED DURATION OF CONSTRUCTION: 6 MONTHS

ARCHITECT

HopkinsBurns Design Studio
113 S Fourth Ave.
Ann Arbor, Michigan 48103
(734)424-3344
www.hopkinsburns.com

OWNER: GHMI RESORT HOLDINGS LLC
KSL CAPITAL PARTNERS LLC

PROPERTY ADDRESS CADOTTE AVE.
MACKINAC ISLAND, MI 49757

PARCEL #: 051-630-098-00

Project Description

The project involves the construction of 3 attached dwelling units for use by managers at Grand Hotel. The building will feature three 2-story, 2-bedroom living quarters, each with front doors out to roofed open porches and concrete walks. Each unit will have a single enclosed exterior shed for bike parking and general storage, and an exterior private patio. There will be an accessory storage shed for maintenance equipment. The amendment involves reducing the structure from four to three units and rotating the building 90 degrees on the site. This project will not require a variance but is still seeking the Special Land Use approval.

Requirements

	ALLOWED	PROPOSED
DWELLING UNITS:	3	3
LOT SIZE:	REQ'D 10,000 SF	EXISTING 15,000 SF (0.344 AC.)
SETBACKS	REQ'D	PROPOSED
FRONT YARD	25'	25'
FRONT YARD (CORNER)	25'	25'
SIDE YARD	5'	23'-0"
REAR YARD	25'	41'-11"
HEIGHT	ALLOWED	PROPOSED
STORIES MIN.	1	2
STORIES MAX.	2.5	2
FEET MIN.	12'	28'-11"
FEET MAX.	35'	28'-11"
LOT COVERAGE	ALLOWED	PROPOSED
SQ. FT. (INCLUDING PORCHES AND DECKS)	6,000	5,360
PERCENTAGE	40%	35.7%
GROSS SQUARE FOOTAGE		PROPOSED
1ST FLOOR		3,070
2ND FLOOR		1,584
TOTAL		4,654

Grand Hotel
2025.07.29
SCALE: 1" = 200'-0"

MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION

HopkinsBurns
historic preservation & communities by design

ITEMS CORRESPONDING TO SCHEDULE B-II

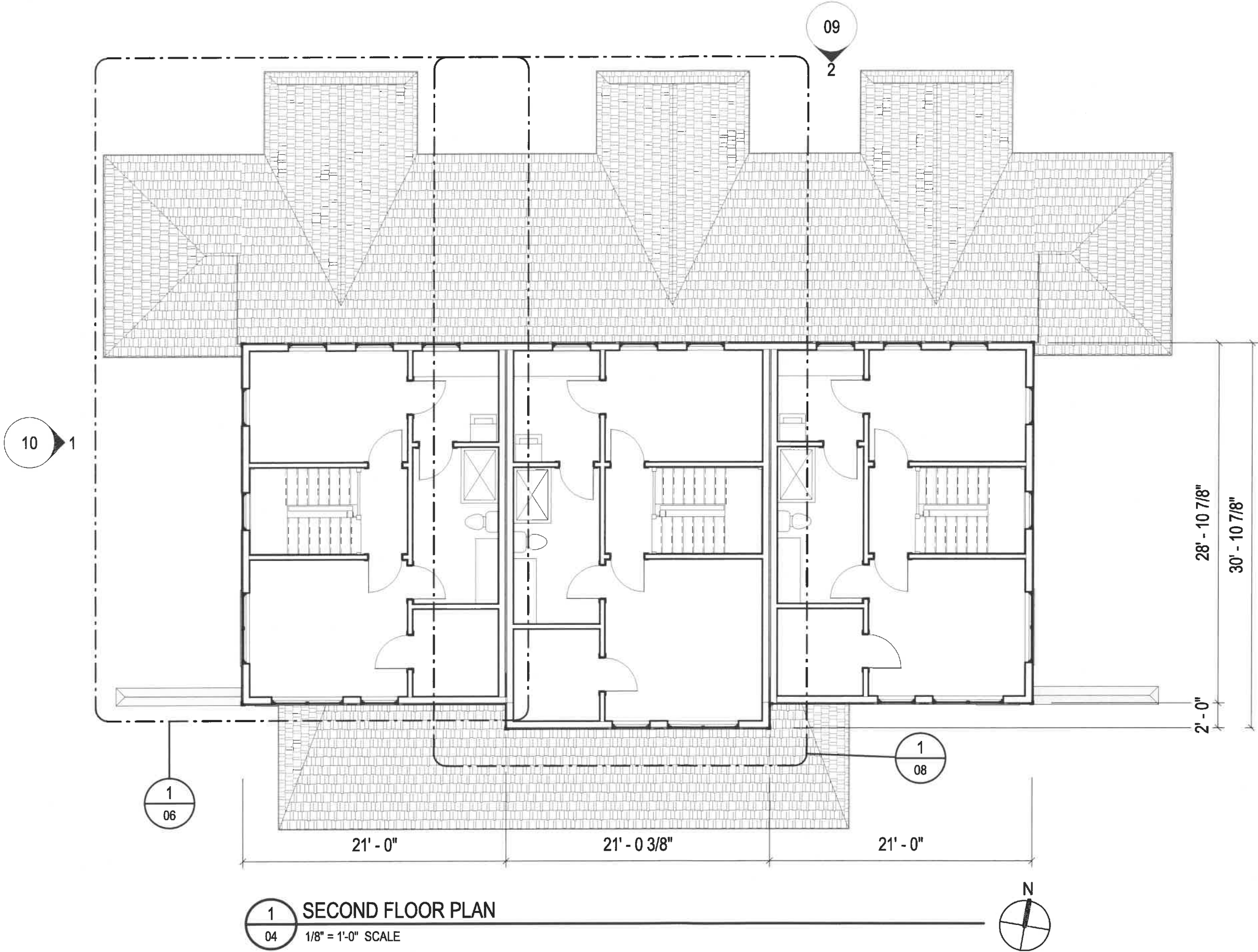
Oil, gas, mineral and other rights reserved by the State of Michigan and the terms hereof are not shown hereon.

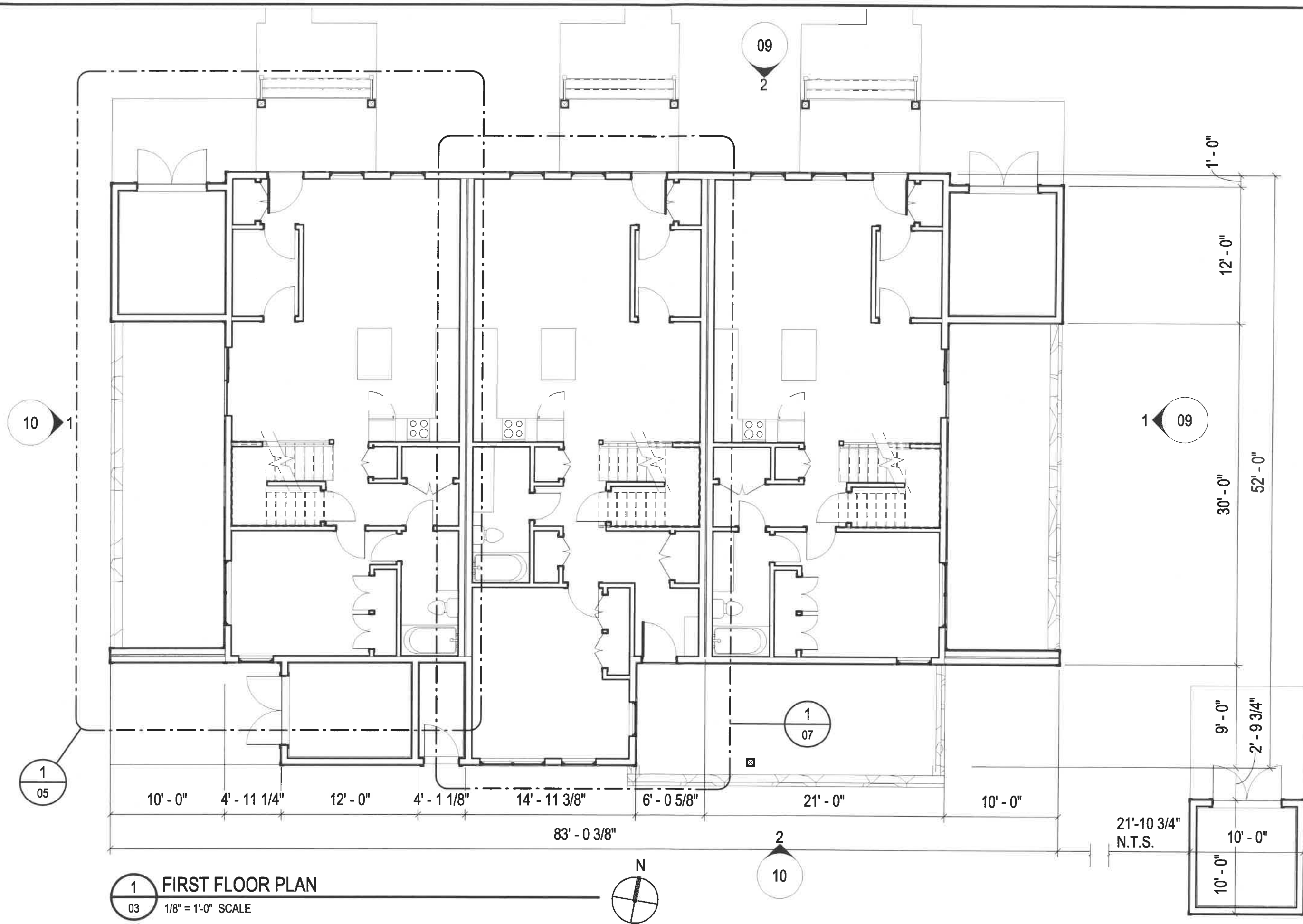
Item does not reference subject property and is not shown hereon.

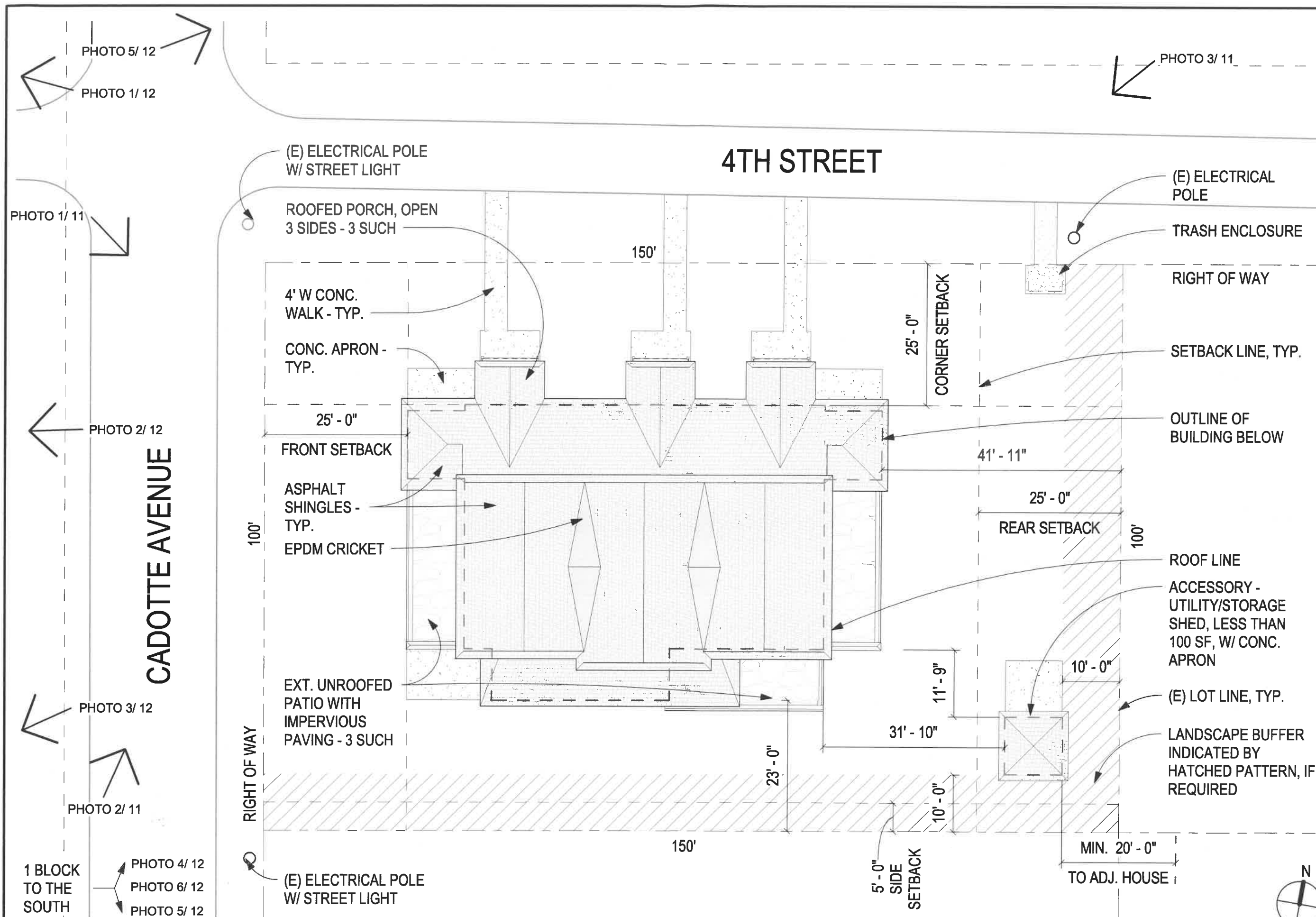
This exception does not constitute a statement as to the ownership of this interest or right. There may be leases, grants, mortgages or reservations of such interest that are not listed.

Item does not reference subject property and is not shown hereon.

Sched. B-2 Part B items 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 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Section IX, Itema.

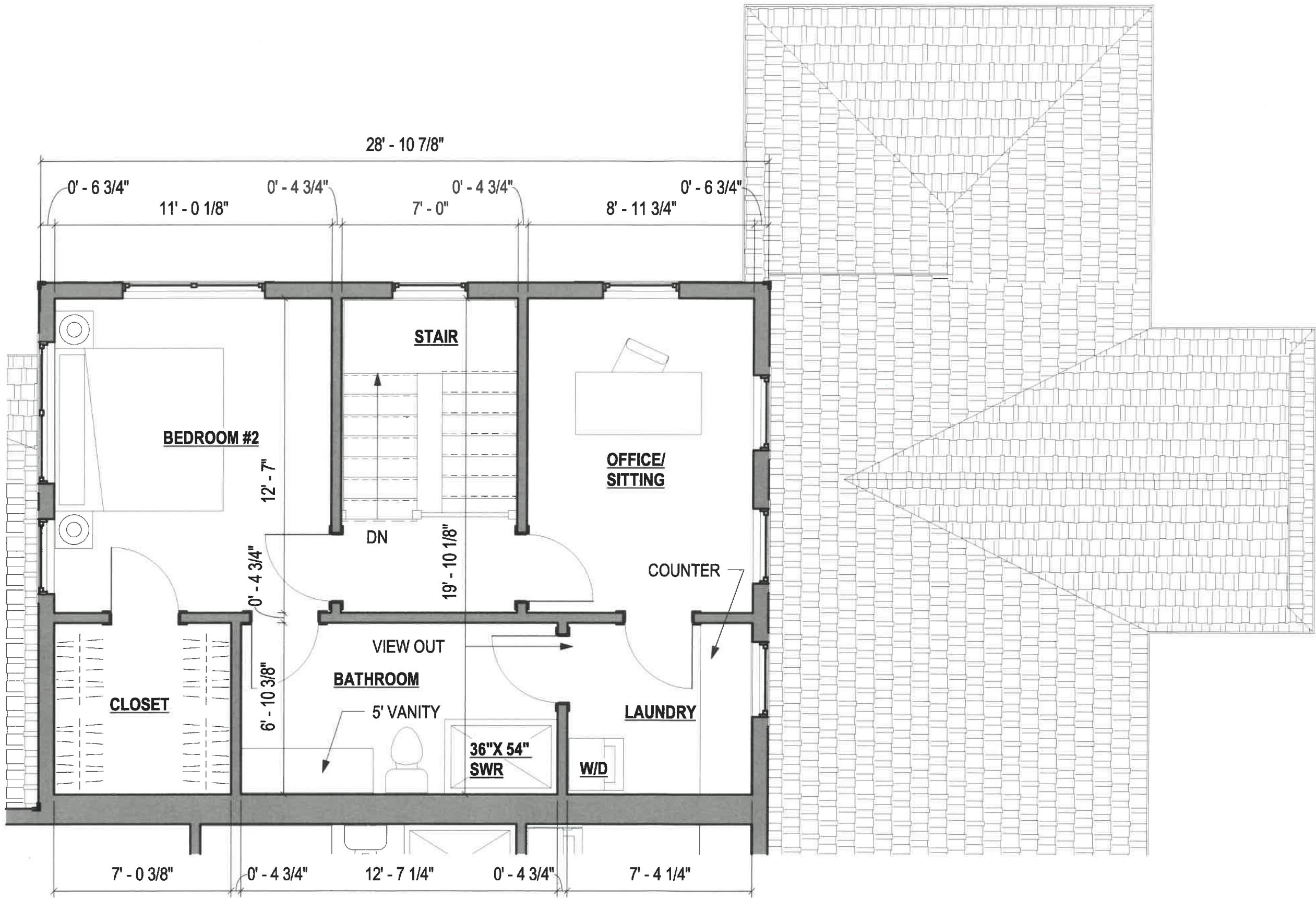
06
ENLARGED 2'
FLOOR - END

Grand Hotel®
2025.07.29
SCALE: 1/4" = 1'-0"

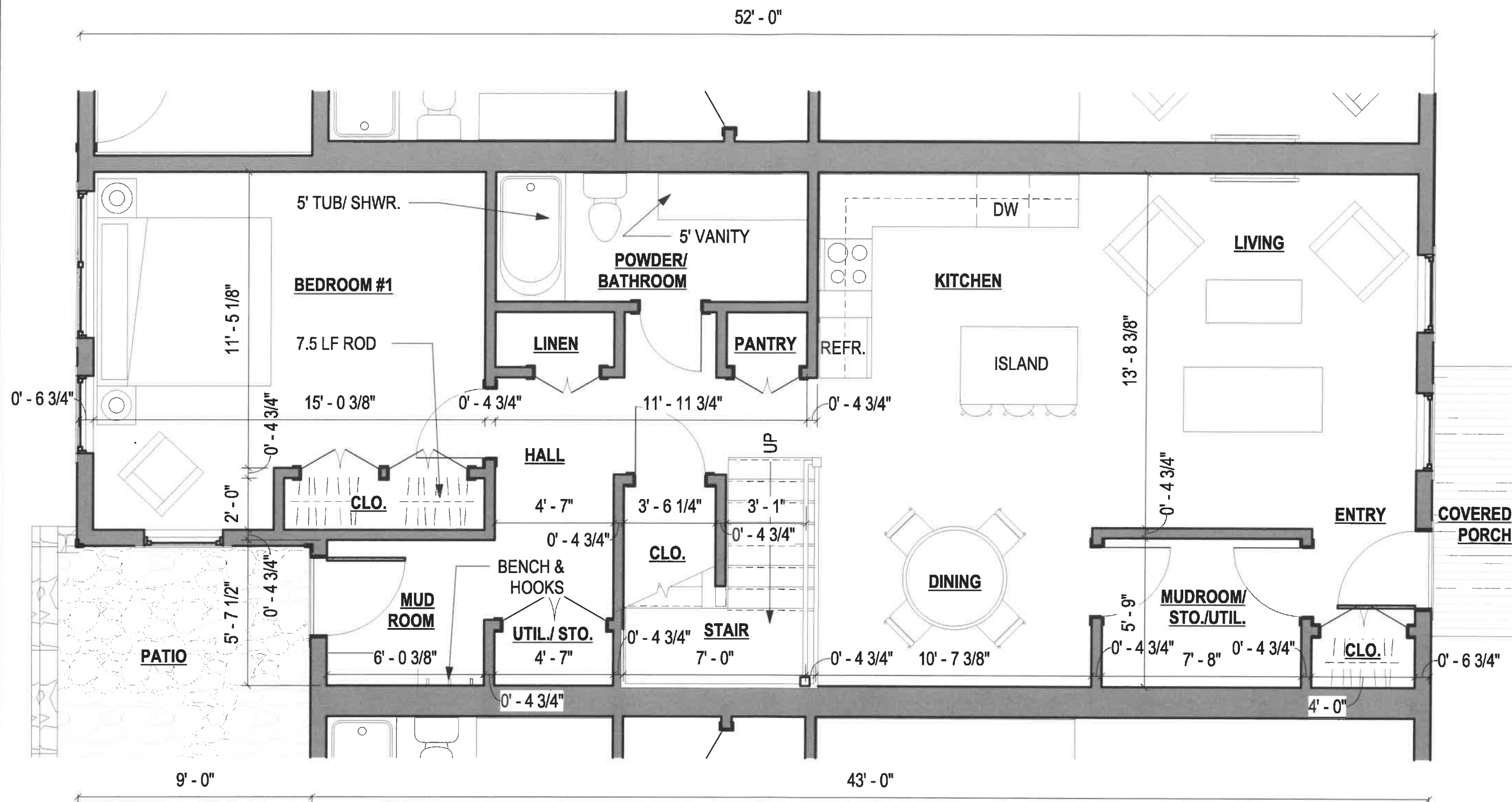
MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION

HopkinsBurns
historic preservation & communities by design

25



1 SECOND FLOOR - UNIT PLAN END
06 1/4" = 1'-0" SCALE



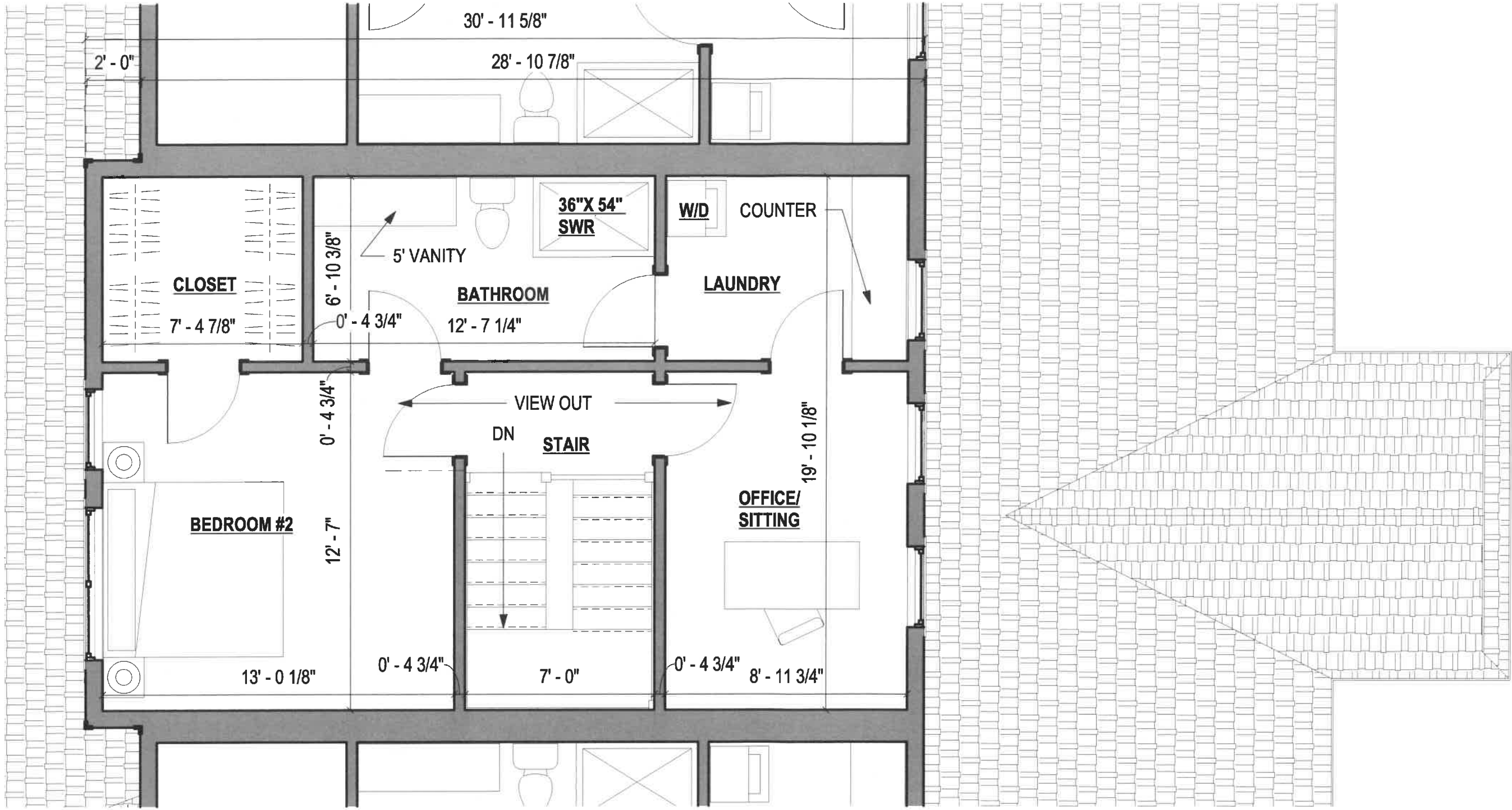
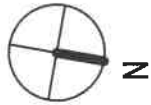
1 FIRST FLOOR - UNIT PLAN MID
07 1/4" = 1'-0" SCALE



1
08

SECOND FLOOR - UNIT PLAN MID

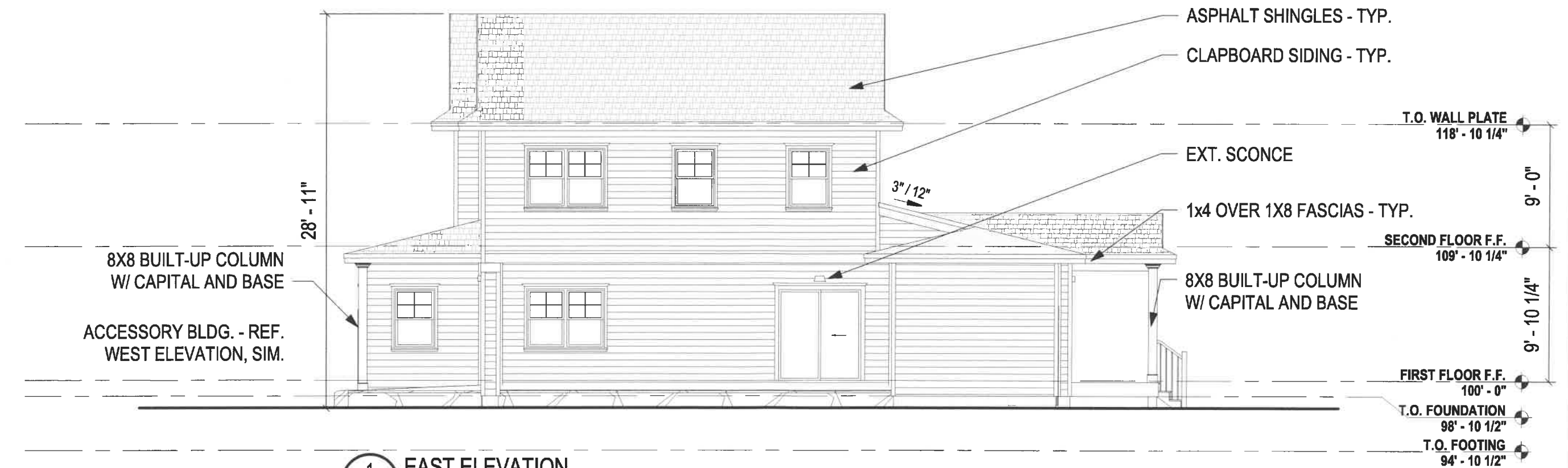
1/4" = 1'-0" SCALE



7/29/2025 2:05:25 PM S:\Projects\Grand Hotel\2025 Manager Housing\Drawings\Sheet\4th and CADOTTE-A24_Local.rvt



2 NORTH ELEVATION
09 1/8" = 1'-0" SCALE



1 EAST ELEVATION
09 1/8" = 1'-0" SCALE

7/29/2025 2:05:25 PM S:\Projects\Grand Hotel\2025 Manager Housing\Drawings\Sheet\4th and CADOTTE-A24_Local.rvt



2 SOUTH ELEVATION
10 1/8" = 1'-0" SCALE



1 WEST ELEVATION
10 1/8" = 1'-0" SCALE

Section IX, Itema.

10
EXTERIOR
ELEVATIONS

Grand Hotel®
2025.07.29
SCALE: 1/8" = 1'-0"

MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION

HopkinsBurns
D
historic preservation
communities by design

VACANT LOT



3 TOWARD SOUTH-WEST
11 NO SCALE

VACANT LOT



2 TOWARD NORTH-EAST
11 NO SCALE

VACANT LOT



1 TOWARD SOUTH-EAST
11 NO SCALE



6 CADOTTE - CONTEXT - NEARBY EAST
12 NO SCALE



5 CADOTTE - CONTEXT - NEARBY - SOUTH
12 NO SCALE



4 CADOTTE - CONTEXT - NEARBY
12 NO SCALE



3 CADOTTE - CONTEXT - SOUTH-WEST
12 NO SCALE



2 CADOTTE - CONTEXT - WEST
12 NO SCALE



1 CADOTTE - CONTEXT - NORTH-WEST
12 NO SCALE

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Tamara Burns
113 S. Fourth Ave, Ann Arbor, MI 48104
734-604-9312 tamara.burns@hopkinsburns.com
Phone Number Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

GHMI RESORT HOLDINGS LLC; KSL CAPITAL PARTNERS LLC
100 ST PAUL ST. STE 800, DENVER, CO 80206

Is The Proposed Project Part of a Condominium Association?	<u>NO</u>
Is The Proposed Project Within a Historic Preservation District?	<u>NO</u>
Applicant's Interest in the Project (If not the Fee-Simple Owner):	<u>ARCHITECT</u>
Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?	<u>NO</u>
Is a Variance Required?	<u>YES</u>
Are REU's Required? How Many?	<u>NO</u> / <u> </u>

Type of Action Requested:

<input checked="" type="checkbox"/> Standard Zoning Permit	<input type="checkbox"/> Appeal of Planning Commission Decision
<input checked="" type="checkbox"/> Special Land Use	<input type="checkbox"/> Ordinance Amendment/Rezoning
<input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Ordinance Interpretation
<input type="checkbox"/> Other _____	

Property Information:

A. Property Number (From Tax Statement): 051-630-098-00

B. Legal Description of Property: ASSESSOR'S PLAT OF HARRISONVILLE LOT 98 *OLD NUMBER 625 019 00*

C. Address of Property: CADOTTE AVE, MACKINAC ISLAND, MI 49757

D. Zoning District: R-4 HARRISONVILLE RESIDENTIAL

E. Site Plan Checklist Completed & Attached: YES

F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) YES

G. Sketch Plan Attached: YES

H. Architectural Plan Attached: YES

I. Association Documents Attached (Approval of project, etc.): N/A

J. FAA Approval Documents Attached: N/A

K. Photographs of Existing and Adjacent Structures Attached: YES

Proposed Construction/Use:

A. Proposed Construction:

<input checked="" type="checkbox"/> New Building	<input type="checkbox"/> Alteration/Addition to Existing Building
<input type="checkbox"/> Other, Specify _____	

File No. R425.098.051

Exhibit A

Date 6-24-25

Initials KP

B. Use of Existing and Proposed Structures and Land:
Existing Use (If Non-conforming, explain nature of use and non-conformity):

Proposed Use:

C. If Vacant:
Previous Use: Vacant Lot
Proposed Use: Multi-family Housing - 4 Units

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the ARCHITECT (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.


Signature


SIGNATURES _____
Signature

TAMARA E.L. BURNS, PRINCIPAL
Please Print Name

Please Print Name

Signed and sworn to before me on the 20th day of June, 2025.

LUIS ESCUDERO-FLORES
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF WASHTENAW
My Commission Expires 10/23/2026
Acting in the County of Washtenaw


Notary Public

Washtenaw County, Michigan
My commission expires: 10/23/2026

Washtenaw

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

Inspection	Date	Inspector	Comments
1.			
2.			
3.			

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: R425.098.051

FEE: \$2650 -

DATE: 6.24.25

CHECK NO: 6178

INITIALS: KL

Revised October 2023

NOTED BY THE DIRECTOR
RECEIVED BY THE DIRECTOR
OFFICE OF THE DIRECTOR
DEPARTMENT OF THE ARMY
WASHINGTON, D.C.

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review

Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | |
|---|-------------------------------------|-------------------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input type="checkbox"/> | <input type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|--------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|-------------------------------------|--------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- | | | |
|--|-------------------------------------|--------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

- | <u>Utility Information</u> | <u>See note regarding "Potential Demand" on cover sheet</u> | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|--|---|--------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Architectural Review

Informational Requirements (Section 18.05)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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GRAND HOTEL - MANAGER HOUSING

Section IX, Itema.

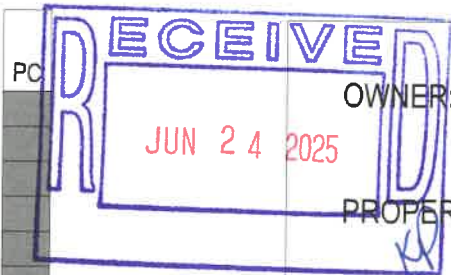
COVER

Grand Hotel
2025.06.24
SCALE: 1" = 200'-0"

MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION

HopkinsBurns
historic preservation
communities by design

SUBMITTAL FOR PLANNING COMMISSION



Sheet List

- 00 COVER
- 01 SURVEY
- 02 SITE PLAN
- 03 FIRST FLOOR PLAN
- 04 SECOND FLOOR PLAN
- 05 ENLARGED 1ST FLOOR
- 06 ENLARGED 2ND FLOOR
- 08 EXTERIOR ELEVATIONS
- 09 EXTERIOR ELEVATIONS
- 10 SITE PHOTOS
- 11 SITE PHOTOS

Legal Description

ASSESSOR'S PLAT OF HARRISONVILLE LOT 98 *OLD NUMBER 625 019 00*

Zoning

ZONING DISTRICT: R-4 HARRISONVILLE RESIDENTIAL
USE GROUP: SPECIAL LAND USE - MULTI-FAMILY RESIDENTIAL

Utilities/Services

- POTENTIAL DEMAND FOR:
- WATER
 - SEWER
 - TRASH

UTILITY PLANS MEETING JURISDICTIONAL REQUIREMENTS WILL BE PROVIDED UPON APPROVAL OF DENSITY OF PROJECT.

Historic District

NONE

Construction

PROPOSED CONSTRUCTION START DATE: NOV., 2025
ESTIMATED DURATION OF CONSTRUCTION: 6 MONTHS

ARCHITECT

HopkinsBurns Design Studio
113 S Fourth Ave.
Ann Arbor, Michigan 48103
(734)424-3344
www.hopkinsburns.com

OWNER:

GHMI RESORT HOLDINGS LLC
KSL CAPITAL PARTNERS LLC

PROPERTY ADDRESS

CADOTTE AVE.
MACKINAC ISLAND, MI 49757

PARCEL #:

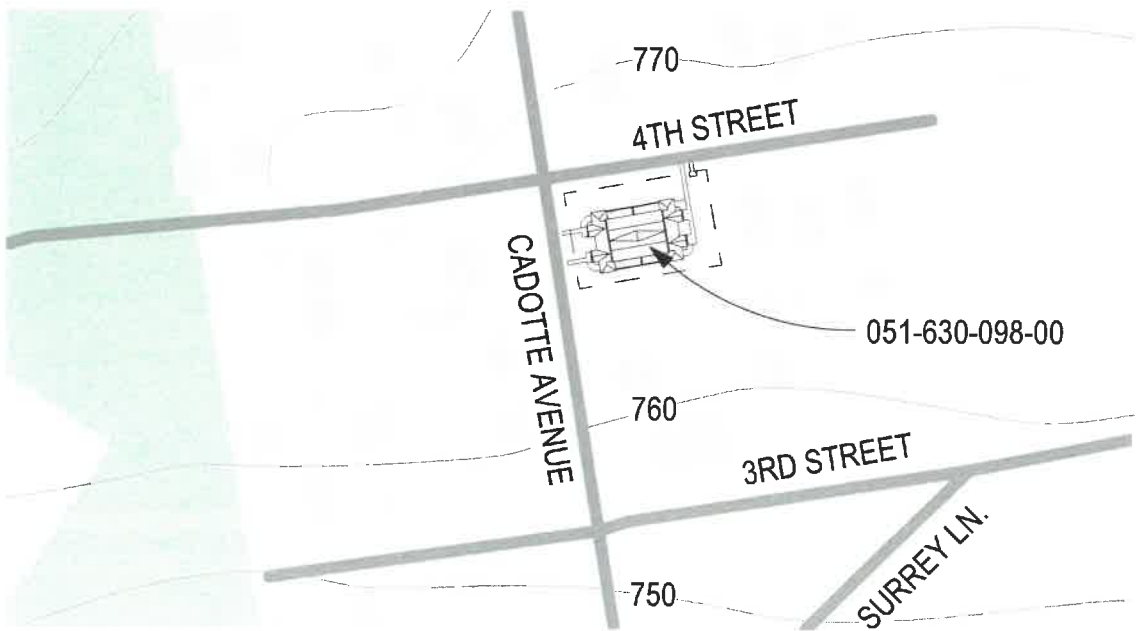
051-630-098-00

Project Description

The project involves the construction of 4 attached dwelling units for use by managers at Grand Hotel. We are seeking a variance for 4 units, 1 unit more than the 3 units allowed. The building will feature four 2-story, 2-bedroom living quarters, each with front doors out to shared balconies and concrete walks. Each unit will have an enclosed exterior shed for bike parking and general storage and an exterior private patio.

Requirements

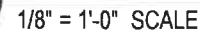
	ALLOWED	PROPOSED
DWELLING UNITS:	3	4
LOT SIZE:	REQ'D 10,000 SF	EXISTING 15,000 SF (0.344 AC.)
SETBACKS	REQ'D	PROPOSED
FRONT YARD	25'	25'
FRONT YARD (CORNER)	25'	25'
SIDE YARD	5'	12'-9"
REAR YARD	25'	39'
HEIGHT	ALLOWED	PROPOSED
STORIES MIN.	1	2
STORIES MAX.	2.5	2
FEET MIN.	12'	28'-10"
FEET MAX.	35'	28'-10"
LOT COVERAGE	ALLOWED	PROPOSED
SQ. FT. (INCLUDING PORCHES AND DECKS)	6,000	5,575
PERCENTAGE	40%	37.2%
GROSS SQUARE FOOTAGE		PROPOSED
1ST FLOOR		3,480
2ND FLOOR		2,080
TOTAL		5,560

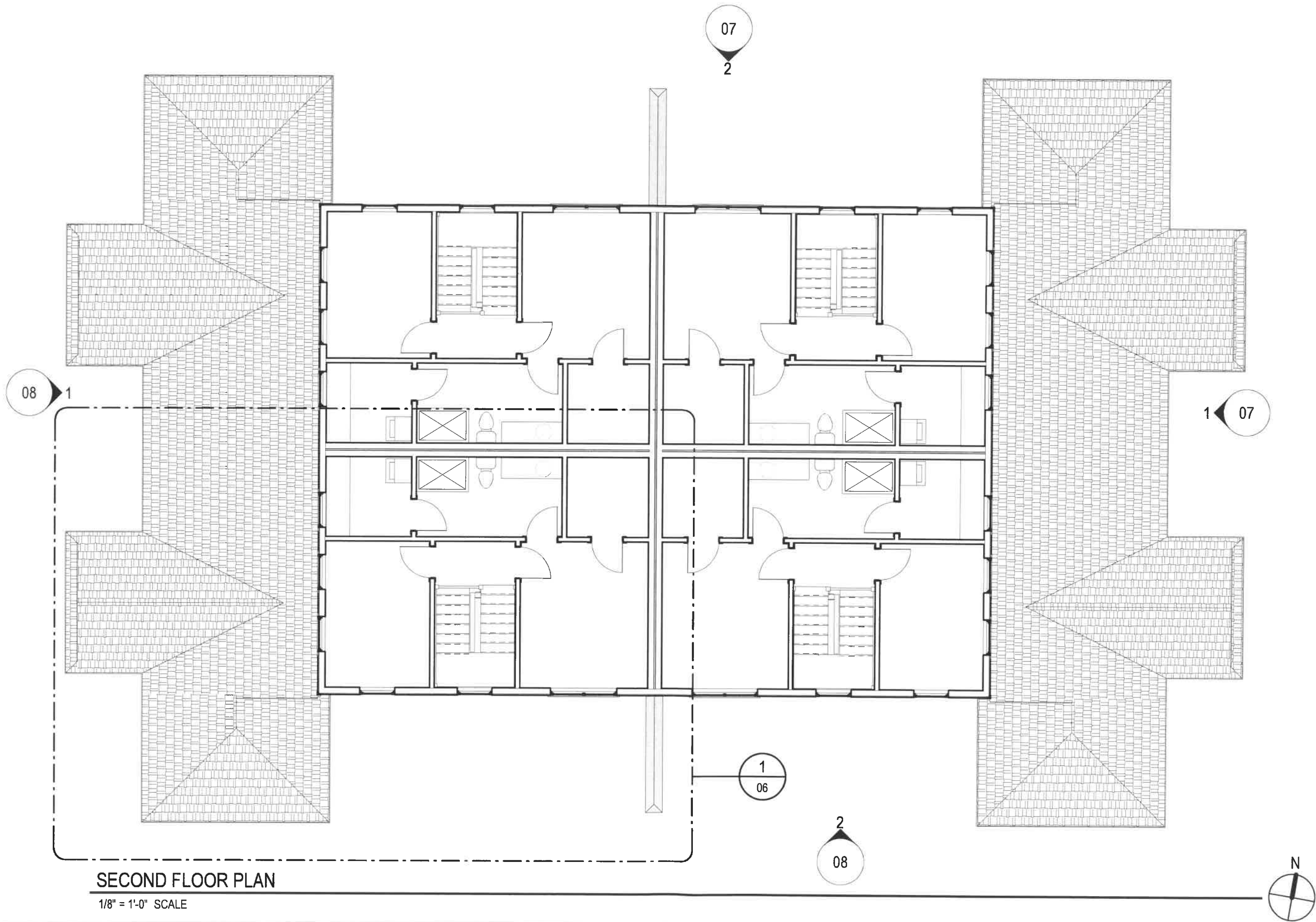


AREA PLAN WITH TOPO

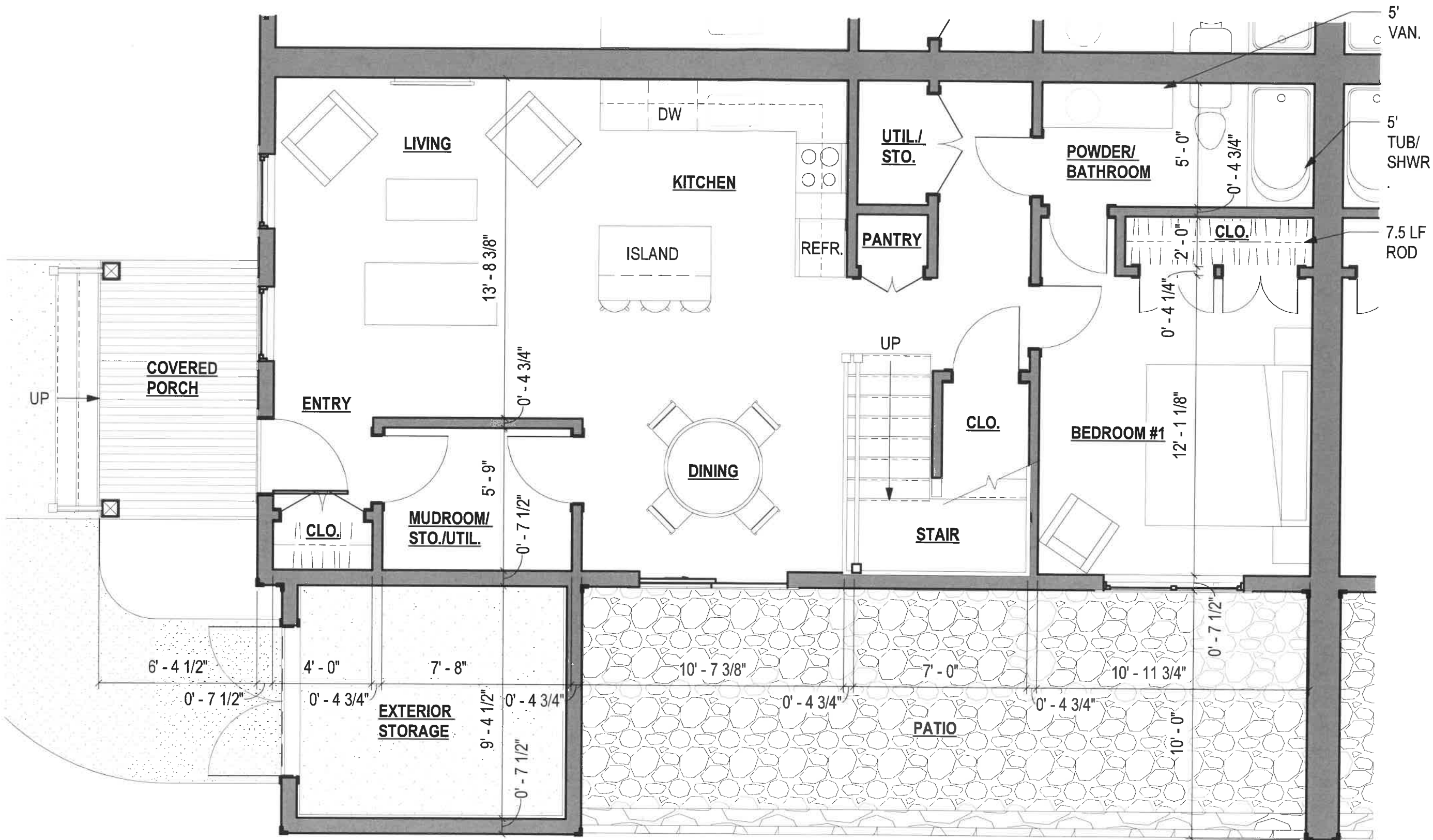
1" = 200'-0" SCALE



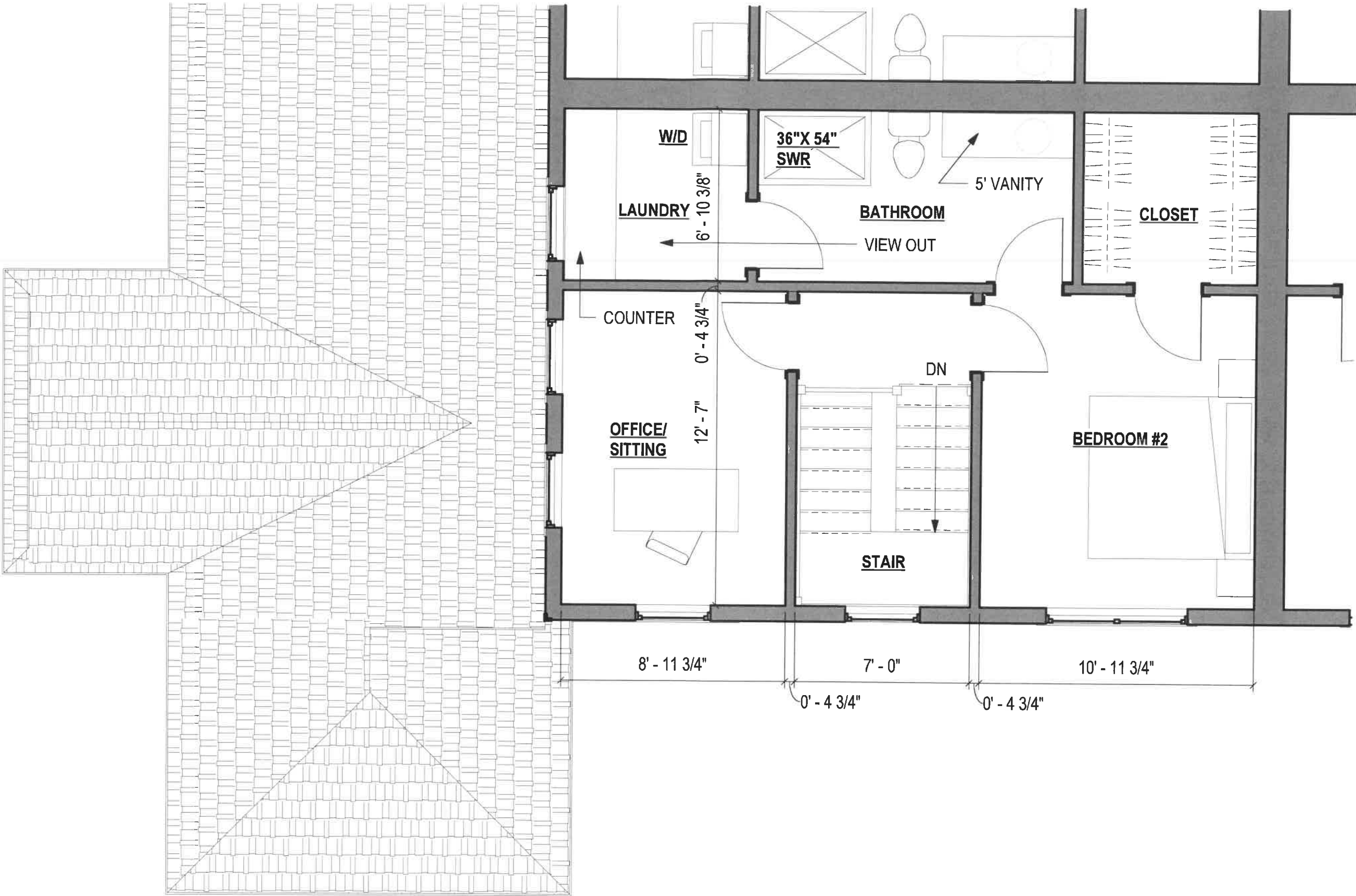




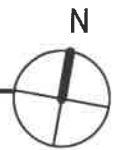
1 FIRST FLOOR - UNIT PLAN
05 1/4" = 1'-0" SCALE



Section IX, Itema.	
05	ENLARGED 1 FLOOR
<i>Grand Hotel</i>	2025.06.24
SCALE: 1/4" = 1'-0"	
MANAGER HOUSING 4TH ST. & CADOTTE AVE. PLANNING COMMISSION	
HopkinsBurns D historic preservation & communities by design	45



1 SECOND FLOOR - UNIT PLAN
06 1/4" = 1'-0" SCALE

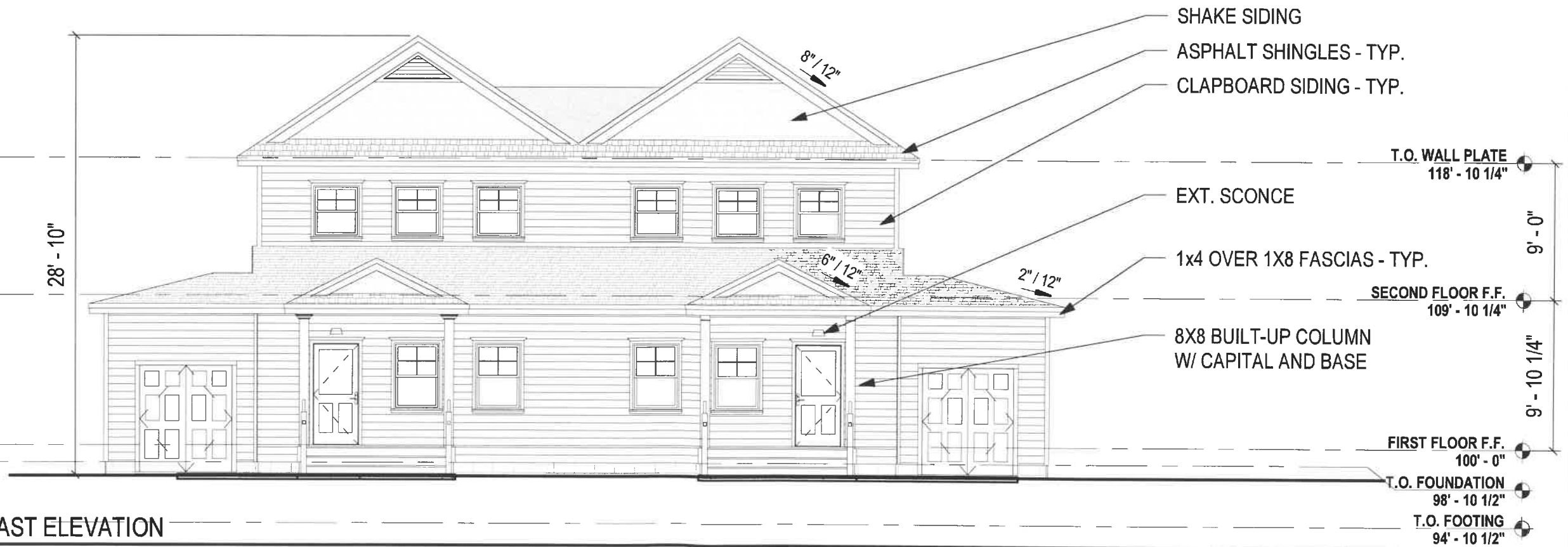


HopkinsBurns D historic preservation communities by design	MANAGER HOUSING 4TH ST. & CADOTTE AVE. PLANNING COMMISSION	Grand Hotel® SCALE: 1/4" = 1'-0" 2025.06.24	06 ENLARGED 2 FLOOR	Section IX, Itema.
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2 NORTH ELEVATION
07 1/8" = 1'-0" SCALE



1 EAST ELEVATION
07 1/8" = 1'-0" SCALE

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2 SOUTH ELEVATION
08 1/8" = 1'-0" SCALE



1 WEST ELEVATION
08 1/8" = 1'-0" SCALE

Section IX, Itema.

08
EXTERIOR
ELEVATIONS

Grand Hotel®

2025.06.24

SCALE: 1/8" = 1'-0"

MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION

HopkinsBurns
D
historic preservation & communities by design

48

VACANT LOT



3
09 TOWARD SOUTH-WEST
NO SCALE

VACANT LOT



1
09 TOWARD SOUTH-EAST
NO SCALE

VACANT LOT



2
09 TOWARD NORTH-EAST
NO SCALE



6 CADOTTE - CONTEXT - NEARBY EAST
10 NO SCALE



5 CADOTTE - CONTEXT - NEARBY - SOUTH
10 NO SCALE



4 CADOTTE - CONTEXT - NEARBY
10 NO SCALE



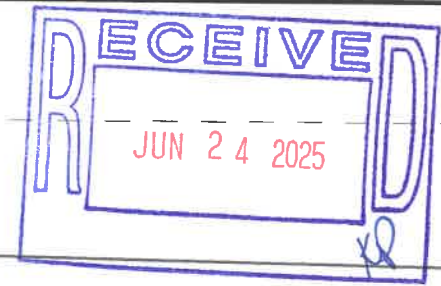
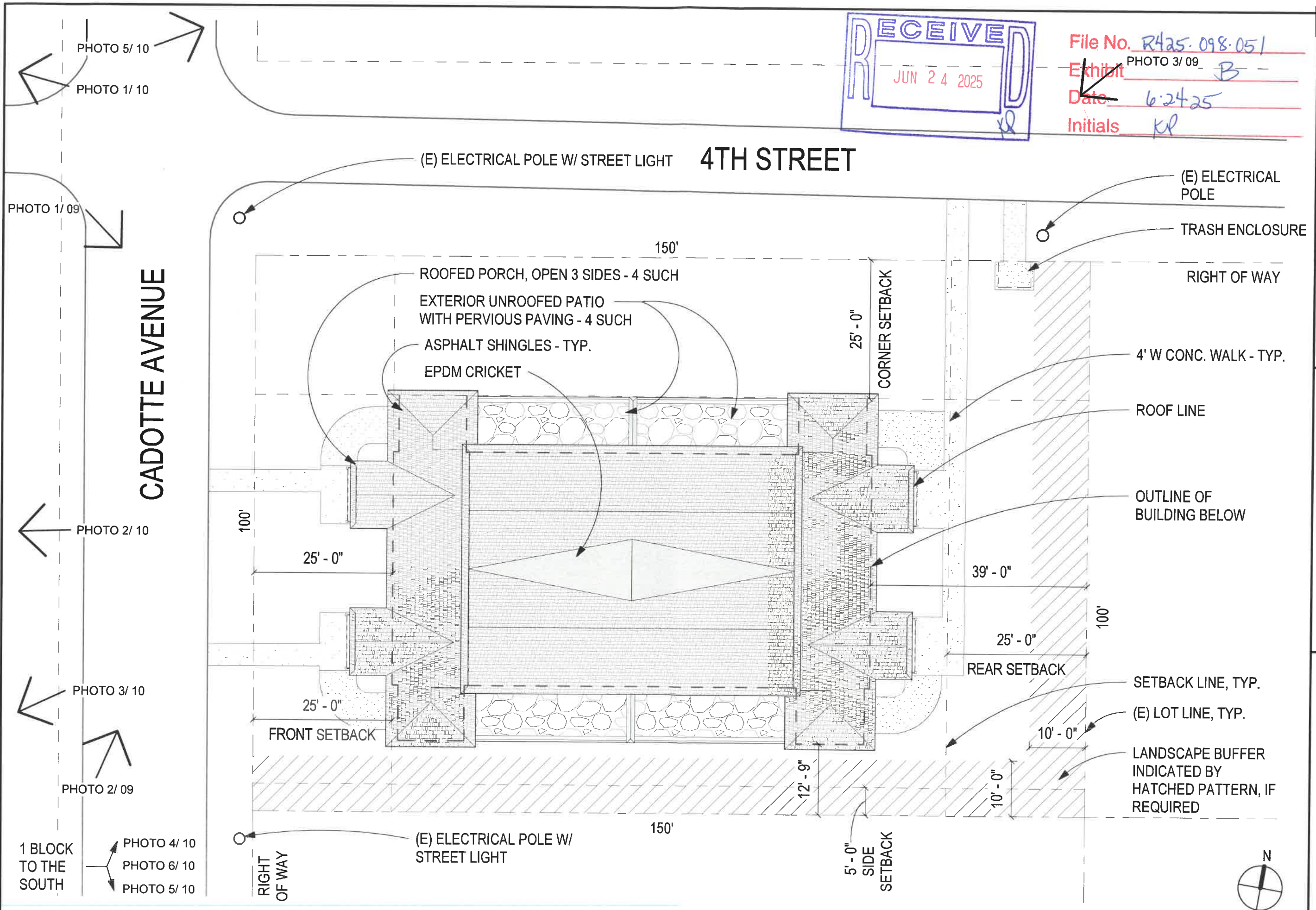
3 CADOTTE - CONTEXT - SOUTH-WEST
10 NO SCALE



2 CADOTTE - CONTEXT - WEST
10 NO SCALE



1 CADOTTE - CONTEXT - NORTH-WEST
10 NO SCALE



File No. R425-098-051
Exhibit PHOTO 3/09 B
Date 6-24-25
Initials KP

ITEMS CORRESPONDING TO SCHEDULE B-II

12. Oil, gas, mineral and geothermal interests reserved by the State of Michigan and the terms, covenants and provisions contained in instruments recorded in Liber 102, page 343 as to Parcel 1, B and 33.
- Item does not reference subject property and is not shown hereon.
- The exception does not constitute a statement as to the ownership of the interest or right. There may be leases, grants, interests or reservations of such interests that are not listed.
13. Covenants, conditions, restrictions and other provisions but omitting restrictions, if any, based on race, color, religion, sex, handicap, familial status or national origin as contained in instrument recorded in Liber 112, page 63 as to Parcel 33.
- Item does not reference subject property and is not shown hereon.
- Schedule B, Part II items 1, 11 and 14, 18 are not survey related.

LEGEND OF SYMBOLS & ABBREVIATIONS

FOUND SECTION CORNER	◆
FOUND 5/8" IRON	●
SET 5/8" IRON	●
POWER POLE	⊙
FLAG POLE	⊙
LIGHT POLE	⊙
ELECTRIC TRANSFORMER BOX	⊙
ELECTRIC MANHOLE	⊙
GAS METER	⊙
TELEPHONE PEDESTAL	⊙
ELECTRIC METER	⊙
WATER VALVE	⊙
FIRE HYDRANT	⊙
SANITARY MANHOLE	⊙
STORM CATCH BASIN (SQUARE)	⊙
STORM CATCH BASIN (ROUND)	⊙
STORM SEWER MANHOLE	⊙
MAIL BOX	⊙
OVERHEAD ELECTRIC	—E—E—
UNDERGROUND ELECTRIC	—UE—UE—
UNDERGROUND CABLE TV	—UCTV—
UNDERGROUND TELEPHONE	—UT—UT—
UNDERGROUND GAS	—G—G—
FENCE	—X—X—
BUILDING LINE	—
GRAVEL	—
CONCRETE	—



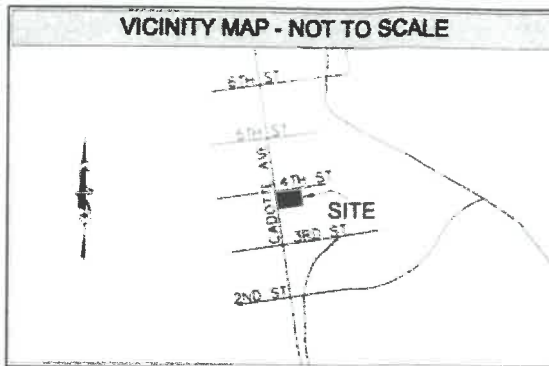
ZONING INFORMATION

The subject property is zoned "R-4" - Harrisonville Residential District of the City of Mackinac Island.

Front Setback: 25' minimum or in line with adjacent residences
Side Setback: 5' minimum on one side and 10' minimum on the other
Rear Setback: 25' minimum
Maximum Lot Coverage: No Requirement Noted
Minimum Lot Width: 15'
Minimum Lot Depth: No Requirement Noted
Minimum Lot Area: 10,000 sq. ft.
Maximum Building Height: No principal building shall be less than 12 feet in height, nor shall any building exceed 35 feet, or 2 1/2 stories, in height.
Maximum Floor Area Ratio: No Requirement Noted
Maximum Density: 10 dwelling units/acre
Parking Formula: Motor Vehicles not allowed.

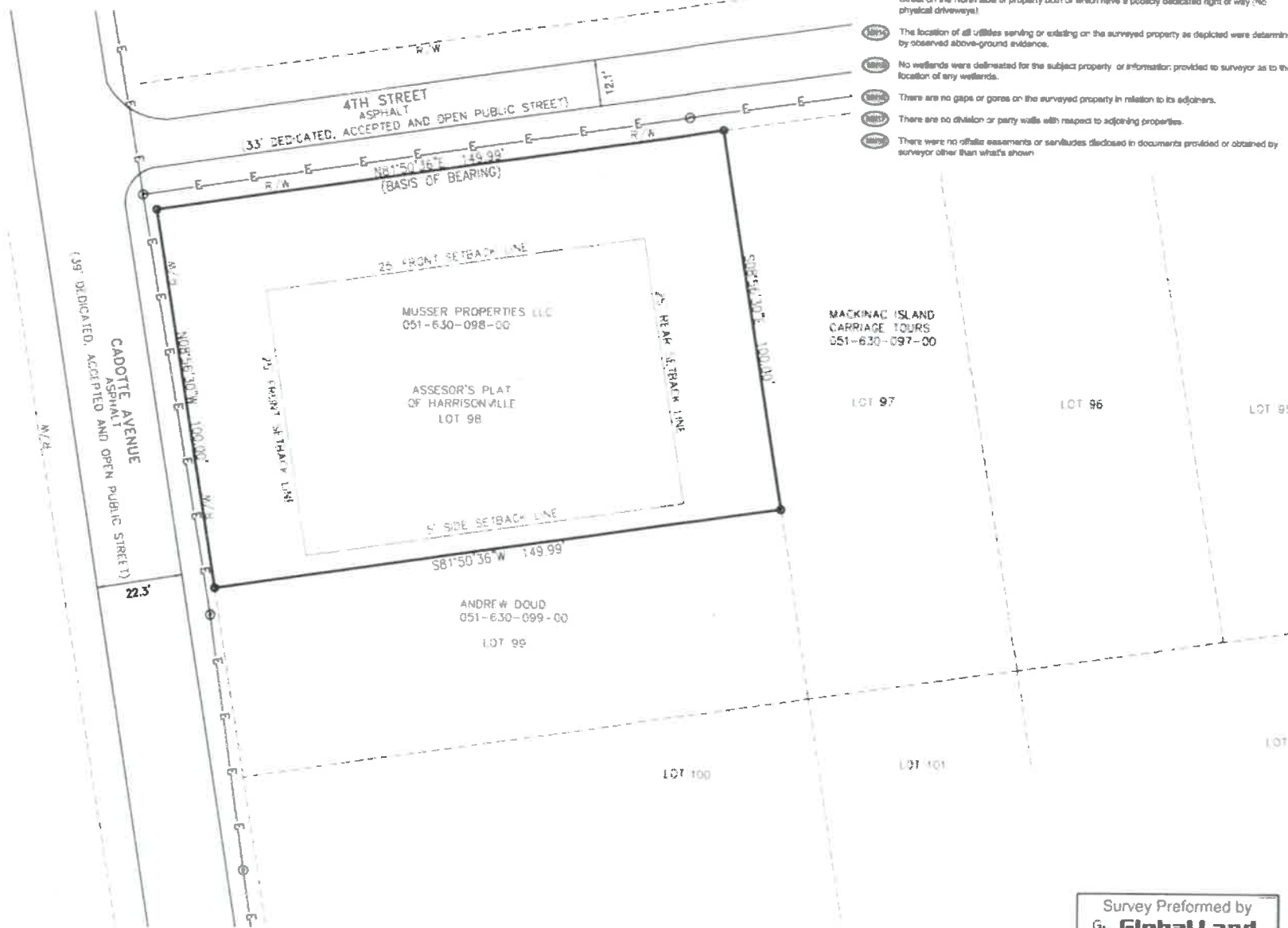
The zoning information shown above was provided by NVS Transaction Services - Zoning Division in the Zoning Information Project for (Parcel: 051-630-098-00) Cadotte Avenue, Report #201901336-028 having a date of effect of September 13, 2019 pursuant to item 8c of Table A.

VICINITY MAP - NOT TO SCALE



MISCELLANEOUS NOTES

- 1001 Some features shown on this plat may be shown out of scale for clarity.
- 1002 Dimensions on this plat are expressed in feet and decimal parts thereof unless otherwise noted. Bearings are referred to an assumed meridian and are used to denote angles only. Monuments were found at points where indicated.
- 1003 The basis of bearings is N 81°50'36" E being the northerly line of Lot 98, Assessor's Plat of Harrisonville, Liber 4 of Plats, Page 84, 85, 86, 87, 88 and 89.
- 1004 All of the various survey monuments shown on this plat as found and/or used are in good condition apparently undisturbed, unless otherwise noted.
- 1005 At the time of survey, there was no observable evidence of earth moving work, building construction or building additions.
- 1006 At the time of survey, there were no changes in street right of way lines or observable evidence of street or sidewalk repairs.
- 1007 At the time of survey, there was no observable evidence of substantial areas of refuse.
- 1008 At the time of survey, the site is not being used as a cemetery, grave site or burial ground.
- 1009 All field measurements matched record dimensions within the precision requirements of ALTA/NSPS specifications unless otherwise shown.
- 1010 Subject parcels contain 0.34 Acres (14,907.50 square feet), more or less.
- 1011 There were 0 regular parking spaces and 0 disabled parking spaces observed in the field. Total parking spaces of 0.
- 1012 Address for subject property is Vacant Cadotte Avenue, Mackinac Island, MI 49757 per documents provided.
- 1013 The subject property has direct access to Cadotte Avenue on the West side of property and 4th Street on the North side of property both of which have a publicly dedicated right of way. (No physical driveways).
- 1014 The location of all utilities serving or existing on the surveyed property as depicted were determined by observed above-ground evidence.
- 1015 No wetlands were delineated for the subject property or information provided to surveyor as to the location of any wetlands.
- 1016 There are no gaps or gorges on the surveyed property in relation to its adjacencies.
- 1017 There are no division or party walls with respect to adjoining properties.
- 1018 There were no official easements or servitudes disclosed in documents provided or obtained by surveyor other than what's shown.



FLOOD NOTE

FEMA has not completed a study to determine flood hazard for the selected location, therefore a flood map has not been published at this time. You can contact your community or the FEMA FIRM for more information about flood risk and flood insurance in your community.

PROJECT REVISION RECORD

DATE	DESCRIPTION	DATE	DESCRIPTION
08/22/2019	FIRST DRAFT	10/04/2019	NETWORK COMMENTS
09/18/2019	NETWORK COMMENTS	10/14/2019	NETWORK COMMENTS
09/27/2019	NETWORK COMMENTS	11/21/2019	NETWORK COMMENTS
FILED WORK, Draw	DRAFTED: CLS	CHECKED BY: JMS	FB & PG

SIGNIFICANT OBSERVATIONS

NONE OBSERVED AT TIME OF FIELD SURVEY

LEGAL

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THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE, SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION.

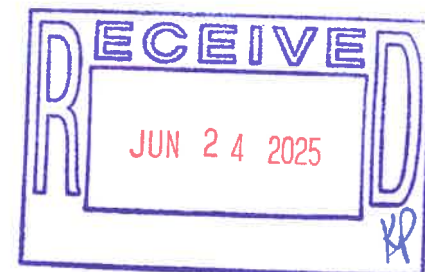
RECORD DESCRIPTION

Land in the City of Mackinac Island, Mackinac County, MI, described as follows:

PARCELS: 33.
Lot 5 and 6 Block 7 of HOBAN'S PLAT OF A PORTION OF PRIVATE CLAIM 110 now known as Lot 98 of ASSESSOR'S PLAT OF HARRISONVILLE according to the plat thereof as recorded in Liber 4 of Plats, pages 84, 85, 86, 87, 88 and 89, Mackinac County Records.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 855437, DATED AUGUST 08, 2019 8:00AM.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE ALSO THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 861545, DATED JULY 19, 2019 @ 8:00 AM AS TO MACKINAC COUNTY AND JULY 05, 2019 @ 8:00 AM AS TO INGHAM COUNTY.



File No. R425-098-051

Exhibit C

Date 6-24-25

Initials KP

ALTA/NSPS LAND TITLE SURVEY

The Grand Hotel
NVS Project No. 201903352-28

Vacant Cadotte Avenue, Mackinac Island, MI

based upon Title Commitment No. 855437
of First American Title Insurance Company
bearing an effective date of August 08, 2019 8:00AM

Surveyor's Certification

To: Wells Fargo Bank, National Association, as Administrative Agent, for the benefit of itself and the Lenders, and each of its successors and assigns; GHM RESORT HOLDINGS, LLC, a Delaware limited liability company; MUSSER REALTY CORPORATION, a Michigan corporation; GRAND HOTEL LLC, a Michigan limited liability company; GRAND HOTEL PROPERTIES, LLC, a Michigan limited liability company; MACKINAC HOLDING COMPANY, LLC, a Michigan limited liability company; MUSSER PROPERTIES, LLC, a Michigan limited liability company; KSL Capital Partners, LLC, Partners Cole LLP, First American Title Insurance Company and Bock & Clark Corporation, an NVS Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2018 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 13, 14, 16, 17, 18, 19 and 20 of Table A thereof. The fieldwork was completed on August 2, 2019.

JAY M. SCHWANDT, P.S., J.D.
REGISTRATION NO. 47974
IN THE STATE OF MICHIGAN
DATE OF FIELD SURVEY: AUGUST 2, 2019
DATE OF LAST REVISION: NOVEMBER 21, 2019
NETWORK PROJECT NO. 201903352-28 AAC



SHEET 1 OF 1

Bock & Clark Corporation
an NVS Company

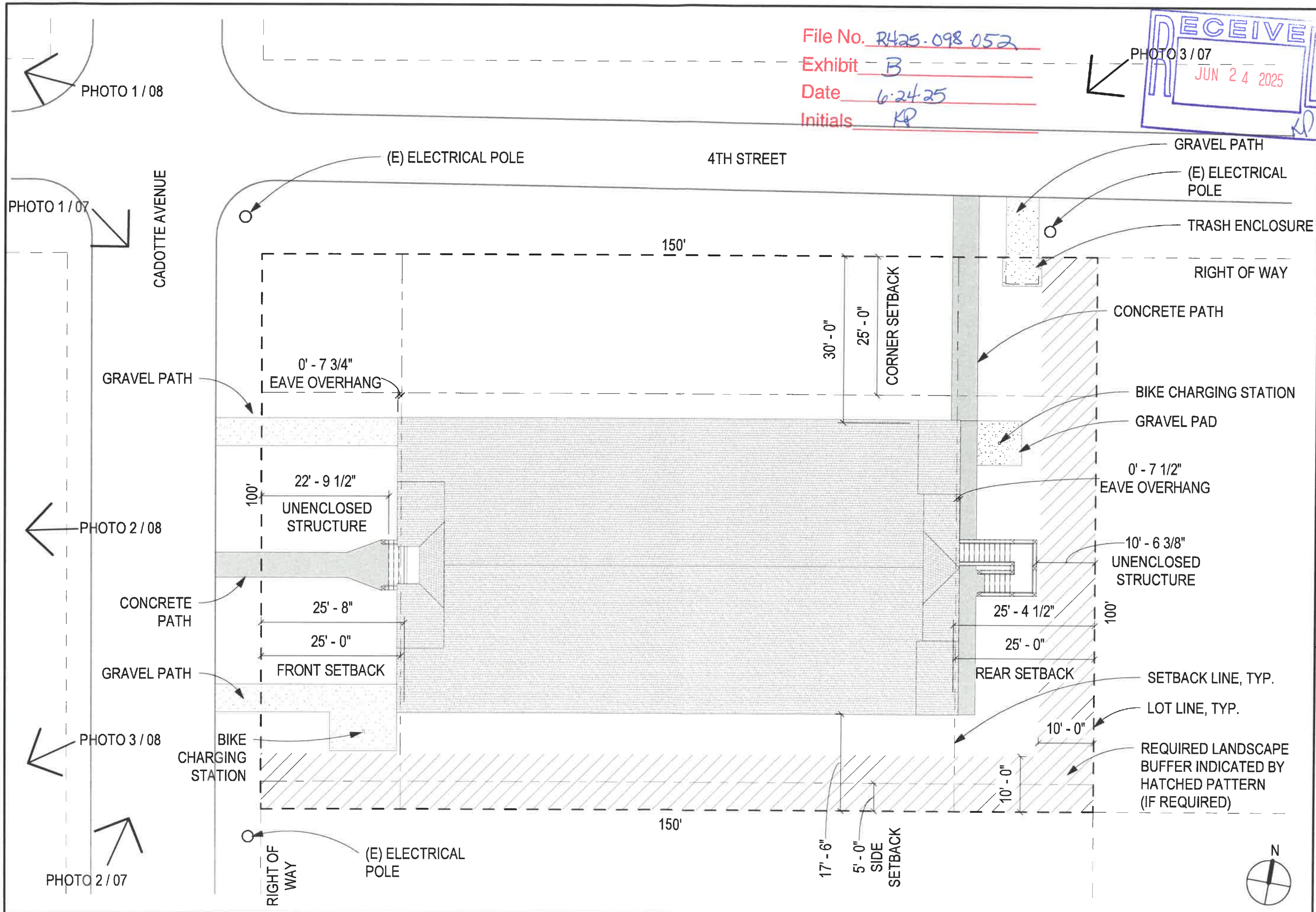
NV5

Transaction Services 1-800-SURVEYS (787-8397)

3550 W. Market Street, Suite 200, Akron, Ohio 44333

www.BockandClark.com maywehelpyou@bockandclark.com www.NV5

SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT



ITEMS CORRESPONDING TO SCHEDULE B-II

1. Oil, gas, mineral and aboriginal antiquities reserved by the State of Michigan and the terms, covenants and provisions contained in instrument recorded in Liber 102, page 343, as to Parcel 7, 9 and 33.

Item does not reference subject property and is not shown hereon.

This exception does not constitute a statement as to the ownership of this interest or right. There may be leases, grants, exceptions or reservations of such interests that are not listed.

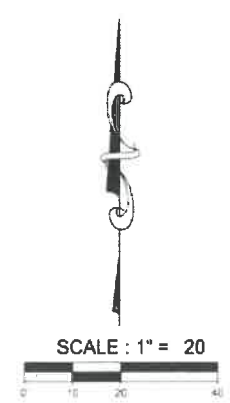
13. Covenants, conditions, restrictions and other provisions but omitting restrictions, if any, based on race, color, religion, sex, handicap, marital status or national origin as contained in instrument recorded in Liber 112, page 63, as to Parcel 33.

Item does not reference subject property and is not shown hereon.

Schedule B Part II Items 1, 11 and 14 - 18 are not survey related.

LEGEND OF SYMBOLS & ABBREVIATIONS

- FOUND SECTION CORNER
- FOUND 5/8" IRON
- SET 5/8" IRON
- POWER POLE
- FLAG POLE
- LIGHT POLE
- ELECTRIC TRANSFORMER BOX
- ELECTRIC MANHOLE
- GAS METER
- TELEPHONE PEDESTAL
- ELECTRIC METER
- WATER VALVE
- FIRE HYDRANT
- SANITARY MANHOLE
- STORM CATCH BASIN (SQUARE)
- STORM CATCH BASIN (ROUND)
- STORM SEWER MANHOLE
- MAIL BOX
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- UNDERGROUND CABLE TV
- UNDERGROUND TELEPHONE
- UNDERGROUND GAS
- FENCE
- BUILDING LINE
- GRAVEL
- CONCRETE



FLOOD NOTE

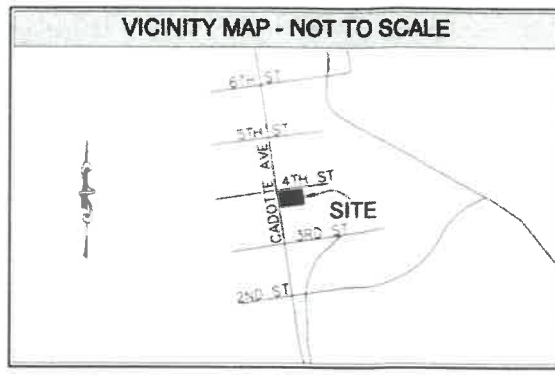
FEMA has not completed a study to determine flood hazard for the selected location; therefore, a flood map has not been published at this time. You can contact your community or the FEMA FMIX for more information about flood risk and flood insurance in your community.

ZONING INFORMATION

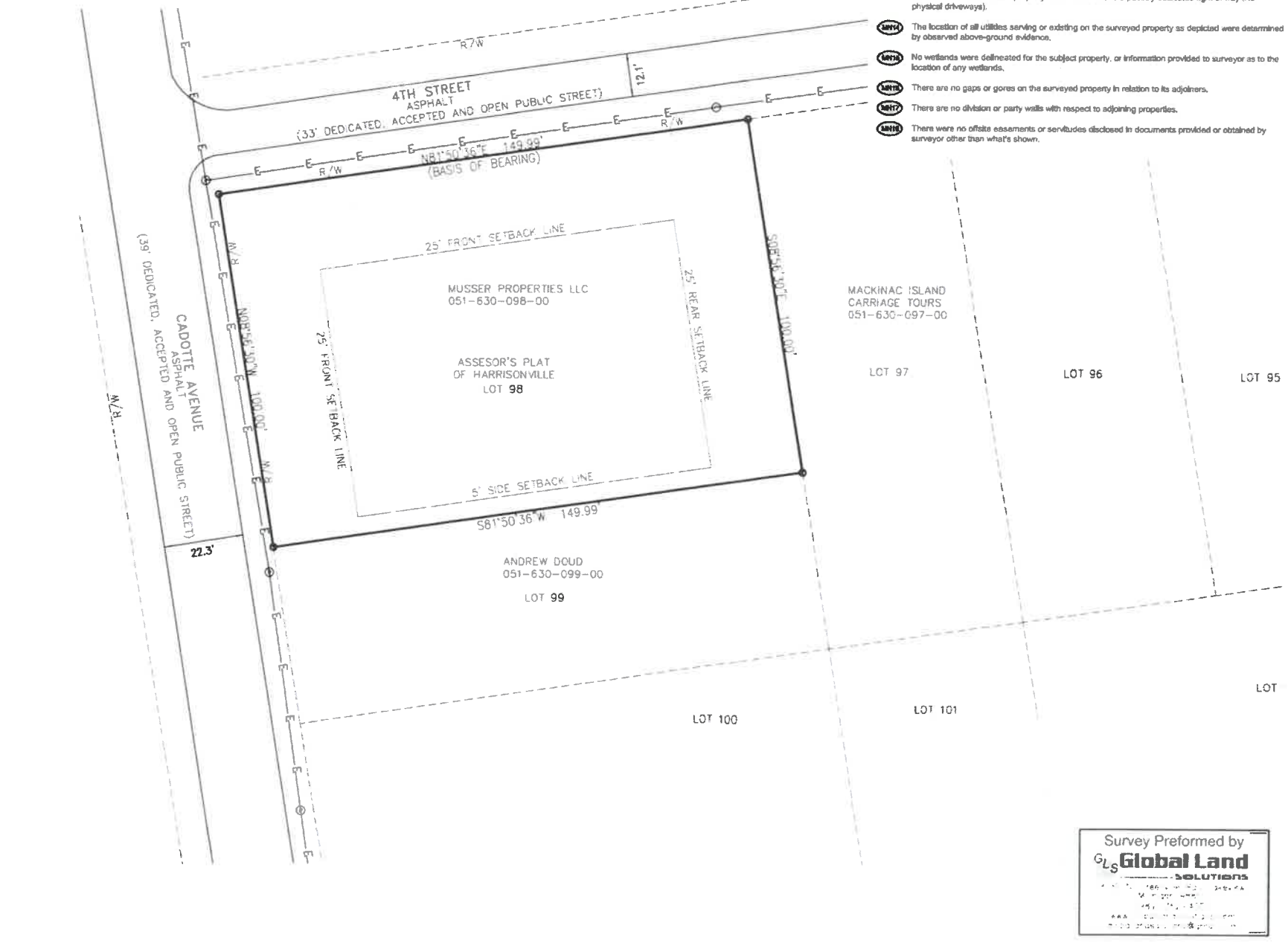
The subject property is zoned "R-4" - Harrisonville Residential District of the City of Mackinac Island.

Front Setback: 25' minimum or in line with adjacent residences.
Side Setback: 5' minimum on one side and 10' minimum on the other.
Rear Setback: 25' minimum.
Minimum Lot Coverage: No Requirement Noted.
Minimum Lot Width: 75'.
Minimum Lot Depth: No Requirement Noted.
Minimum Lot Area: 10,000 sq. ft.
Maximum Building Height: No principal building shall be less than 12 feet in height, nor shall any building exceed 35 feet, or 2 1/2 stories, in height.
Maximum Floor Area Ratio: No Requirement Noted.
Maximum Density: 10 dwelling units/acre.
Parking Formula: Motor Vehicles not allowed.

The zoning information shown above was provided by N/S Transaction Services - Zoning Division in the Zoning Information Project for (Parcel: 051-630-098-00) Cadotte, Report #7201901836-028 having a date of effect of September 13, 2019, pursuant to Item 6b of Table A.



- MISCELLANEOUS NOTES
1. Some features shown on this plat may be shown out of scale for clarity.
2. Dimensions on this plat are expressed in feet and decimal parts thereof unless otherwise noted. Bearings are referred to an assumed meridian and are used to denote angles only. Monuments were found at points where indicated.
3. The basis of bearings is N 61°50'36" E being the northerly line of Lot 96, Assessor's Plat of Harrisonville, Liber 4 of Plats, Page 84, 85, 86, 87, 88 and 89.
4. All of the various survey monuments shown on this plat as found and/or used are in good condition, apparently undisturbed, unless otherwise noted.
5. At the time of survey, there was no observable evidence of earth moving work, building construction, or building additions.
6. At the time of survey, there were no changes in street right of way lines or observable evidence of street or sidewalk repairs.
7. At the time of survey, there was no observable evidence of substantial areas of refuse.
8. At the time of survey, the site is not being used as a cemetery, grave site or burial ground.
9. All field measurements matched record dimensions within the precision requirements of ALTA/NSPS specifications unless otherwise shown.
10. Subject parcels contain 0.34 Acres (14,997.59 square feet), more or less.
11. There were 0 regular parking spaces and 0 disabled parking spaces observed in the field. Total parking spaces of 0.
12. Address for subject property is Vacant Cadotte Avenue, Mackinac Island, MI 49757, per documents provided.
13. The subject property has direct access to Cadotte Avenue on the West side of property and 4th Street on the North side of property both of which have a publicly dedicated right of way (No physical driveways).
14. The location of all utilities serving or existing on the surveyed property as depicted were determined by observed above-ground evidence.
15. No wetlands were delineated for the subject property, or information provided to surveyor as to the location of any wetlands.
16. There are no gaps or gores on the surveyed property in relation to its adjointers.
17. There are no division or party walls with respect to adjoining properties.
18. There were no offsite easements or servitudes disclosed in documents provided or obtained by surveyor other than what's shown.



Survey Performed by
Global Land SOLUTIONS

PROJECT REVISION RECORD			
DATE	DESCRIPTION	DATE	DESCRIPTION
08/22/2019	FIRST DRAFT	10/04/2019	NETWORK COMMENTS
09/16/2019	NETWORK COMMENTS	10/14/2019	NETWORK COMMENTS
09/27/2019	NETWORK COMMENTS	11/21/2019	NETWORK COMMENTS
FIELD WORK: Drew	DRAFTED: CLS	CHECKED BY: JMS	FB & PG

SIGNIFICANT OBSERVATIONS

NONE OBSERVED AT TIME OF FIELD SURVEY

LEGAL

THE USE OF THIS DOCUMENT'S FORMAT IS STRICTLY PROHIBITED AND CONTINGENT UPON THE WRITTEN CONSENT AND PERMISSION OF BOCK & CLARK CORPORATION, AN NVS COMPANY. © 2019 BOCK & CLARK CORPORATION, AN NVS COMPANY.

THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION.

RECORD DESCRIPTION

Land in the City of Mackinac Island, Mackinac County, MI described as follows:

PARCEL 33:
Lot 5 and 6, Block 7, of HOBAN'S PLAT OF A PORTION OF PRIVATE CLAIM 110, now known as Lot 96, 97, 98 and 99, of ASSessor's PLAT OF HARRISONVILLE, according to the plat thereof as recorded in Liber 4 of Plats, pages 84, 85, 86, 87, 88 and 89, Mackinac County Records.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 855437, DATED AUGUST 06, 2019 @ 8:00AM.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE ALSO THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 861545, DATED JULY 19, 2019 @ 8:00 AM, AS TO MACKINAC COUNTY, AND JULY 05, 2019 @ 9:00 AM, AS TO INGHAM COUNTY.

Section IX, Itemb.

RECEIVED
JUN 24 2025
kp

File No. R425.098.052
Exhibit C
Date 6-24-25
Initials kp

ALTA/NSPS LAND TITLE SURVEY

The Grand Hotel
NV5 Project No. 201903352-28

Vacant Cadotte Avenue, Mackinac Island, MI

based upon Title Commitment No. 855437
of First American Title Insurance Company
bearing an effective date of August 06, 2019 8:00AM

Surveyor's Certification

To: Wells Fargo Bank, National Association, as Administrative Agent, for the benefit of itself and the Lenders, and each of its successors and assigns; GHM RESORT HOLDINGS, LLC, a Delaware limited liability company; MUSSEY REALTY CORPORATION, a Michigan corporation; GRAND HOTEL LLC, a Michigan limited liability company; GRAND HOTEL PROPERTIES, LLC, a Michigan limited liability company; MACKINAC HOLDING COMPANY, LLC, a Michigan limited liability company; MUSSEY PROPERTIES, LLC, a Michigan limited liability company; KSL Capital Partners, LLC; Perkins Cole LLP; First American Title Insurance Company and Bock & Clark Corporation, an NVS Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(e), 13, 14, 16, 17, 18, 19 and 20 of Table A thereof. The fieldwork was completed on August 2, 2019.

JAY M. SCHWANDT, P.S., J.D.
REGISTRATION NO. 47974
IN THE STATE OF MICHIGAN
DATE OF FIELD SURVEY: AUGUST 2, 2019
DATE OF LAST REVISION: NOVEMBER 21, 2019
NETWORK PROJECT NO. 201903352-28 AAC

02-04-2020
DATE

JAY M. SCHWANDT
PROFESSIONAL SURVEYOR
No. 47974
LICENSED PROFESSIONAL SURVEYOR

SHEET 1 OF 1

Bock & Clark Corporation
an NV5 Company

NV5

Transaction Services 1-800-SURVEYS (787-8397)
3550 W. Market Street, Suite 200, Akron, Ohio 44333
www.BockandClark.com maywehelpyou@bockandclark.com www.NV5

SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT

6/20/2025 4:22:50 PM S:\Projects\Grand Hotel\2024 Manager Housing\Drawings\Sheet\4th and CADOTTE-A24_Local_12 units.rvt

GRAND HOTEL - MANAGER HOUSING

Section IX, Itemb.

COVER

Grand Hotel®

2025.06.24

SCALE: 1" = 200'-0"

MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION

HopkinsBurns
historic preservation
communities by design

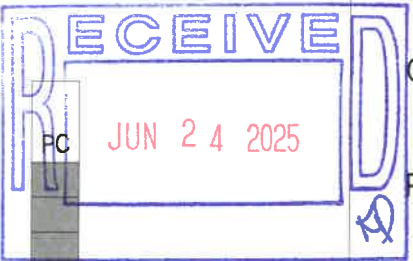
56

SUBMITTAL FOR PLANNING COMMISSION



Sheet List

- 00 COVER
- 01 SURVEY
- 02 SITE PLAN
- 03 FIRST FLOOR PLAN
- 04 SECOND FLOOR PLAN
- 05 EXTERIOR ELEVATIONS
- 06 EXTERIOR ELEVATIONS
- 07 SITE PHOTOS
- 08 SITE PHOTOS



OWNER: GHMI RESORT HOLDINGS LLC
KSL CAPITAL PARTNERS LLC

PROPERTY ADDRESS: CADOTTE AVE.
MACKINAC ISLAND, MI 49757

PARCEL #: 051-630-098-00

Project Description

The project involves the construction of 12 dwelling units, each with front doors out to shared balconies and concrete walks. The East end will have covered bike parking for all occupants and an electrical/mechanical room. Two charging stations will also be provided for electric bikes/scooters.

Legal Description

ASSESSOR'S PLAT OF HARRISONVILLE LOT 98 *OLD NUMBER 625 019 00*

Zoning

ZONING DISTRICT: R-4 HARRISONVILLE RESIDENTIAL
USE GROUP: SPECIAL LAND USE - MULTI-FAMILY RESIDENTIAL

Utilities/Services

POTENTIAL DEMAND FOR:

- WATER
- SEWER
- TRASH

UTILITY PLANS MEETING JURISDICTIONAL REQUIREMENTS WILL BE PROVIDED UPON APPROVAL OF DENSITY OF PROJECT.

Historic District

NONE

Construction

PROPOSED CONSTRUCTION START DATE: NOV., 2025
ESTIMATED DURATION OF CONSTRUCTION: 6 MONTHS

ARCHITECT

HopkinsBurns Design Studio
113 S Fourth Ave.
Ann Arbor, Michigan 48103
(734)424-3344
www.hopkinsburns.com

Requirements

DWELLING UNITS:	ALLOWED	PROPOSED
	3	12
LOT SIZE:	REQ'D	EXISTING
	10,000 SF	15,000 SF (0.344 AC.)
SETBACKS	REQ'D	PROPOSED
	FRONT YARD	25' - 8"
	FRONT YARD (CORNER)	30'
	SIDE YARD	17' - 6"
	REAR YARD	25' - 4 1/2"
HEIGHT	ALLOWED	PROPOSED
	STORIES MIN.	2
	STORIES MAX.	2
	FEET MIN.	31' - 6 1/2"
	FEET MAX.	31' - 6 1/2"
LOT COVERAGE	ALLOWED	PROPOSED
	SQ. FT. (INCLUDING PORCHES AND DECKS)	5,929
	PERCENTAGE	39.5%
GROSS SQUARE FOOTAGE		PROPOSED
1ST FLOOR		3,970
2ND FLOOR		3,720
TOTAL		7,690



AREA PLAN
1" = 200'-0" SCALE

COVERED CONCRETE
WALKWAY AROUND BUILDING

6X6 WOOD COLUMNS

TYP. OF 6 APARTMENTS
ENTRY DOOR
(2) DOUBLE HUNG WINDOW

GRAVEL PATH

WOOD STAIR TO SECOND
FLOOR, TYP. OF 2

CONCRETE PATH

WOOD ENTRY STAIR

WOOD PORCH LANDING

WOOD STAIR TO PORCH
LANDING, TYP. OF 2

GRAVEL PAD AND PATH

BIKE CHARGING STATION

CONCRETE PATH

GRAVEL PAD

BIKE CHARGING
STATION

COVERED BIKE PARKING

ELECTRICAL/MECHANICAL ROOM

WOOD STAIR - EGRESS FROM
SECOND FLOOR

COVERED BIKE PARKING

FIRST FLOOR PLAN

3/32" = 1'-0" SCALE



Section IX, Itemb.

03
FIRST FLOOR
PLAN

Grand Hotel®

2025.06.24

SCALE: 3/32" = 1'-0"

MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION

HopkinsBurns
D
historic preservation &
communities by design

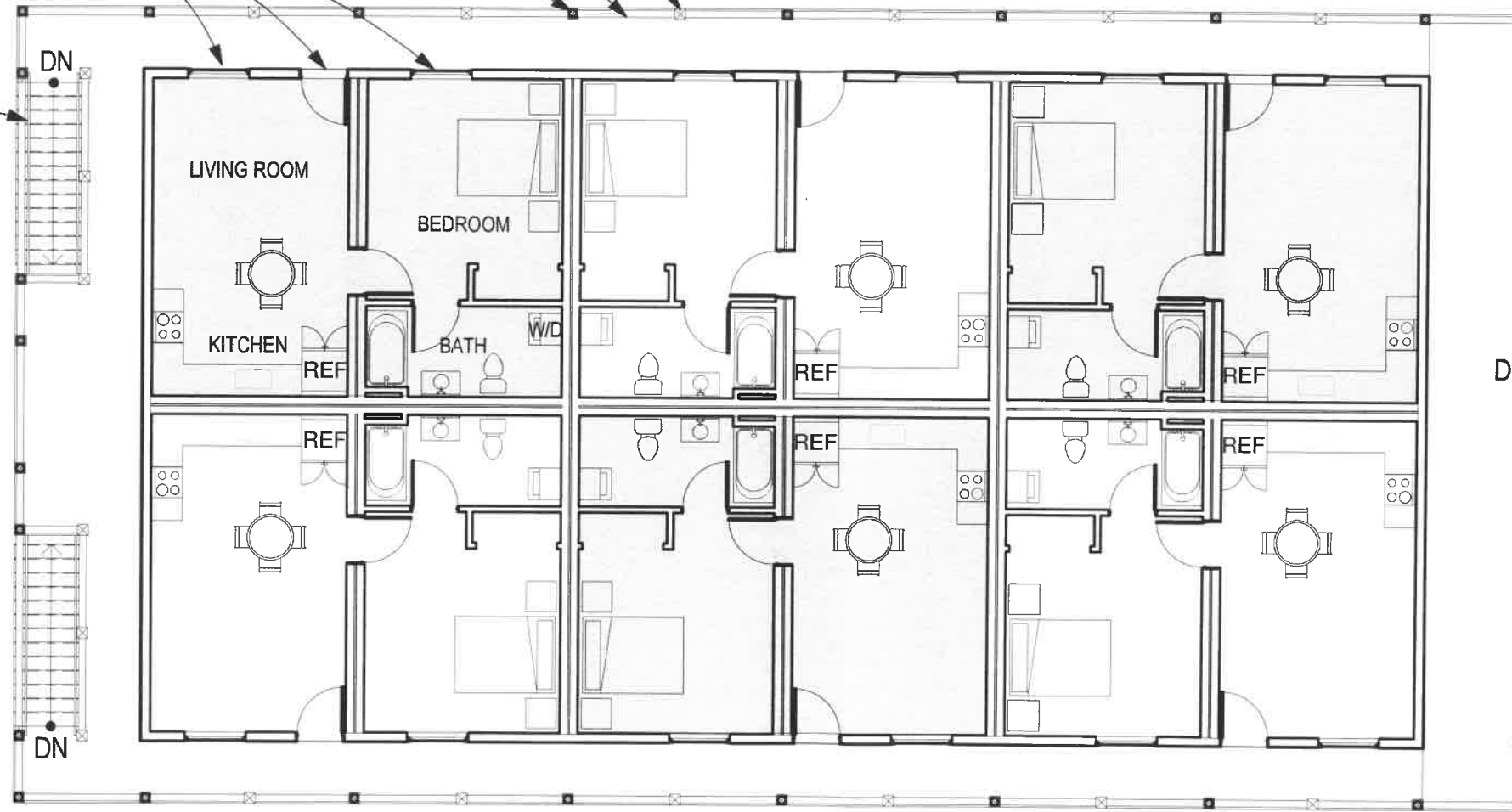
SECOND FLOOR PLAN

3/32" = 1'-0" SCALE

- 42" WOOD GUARDRAIL WITH 6X6 NEWEL POSTS
- COVERED BALCONY (WOOD DECKING)
- 6X6 WOOD COLUMNS
- TYP. OF 6 APARTMENTS
- ENTRY DOOR
- (2) DOUBLE HUNG WINDOWS

WOOD STAIR TO PORCH LANDING
TYP. OF 2

06 1



06 2

05 2

DN

WOOD STAIR TO CONCRETE WALK

05 1



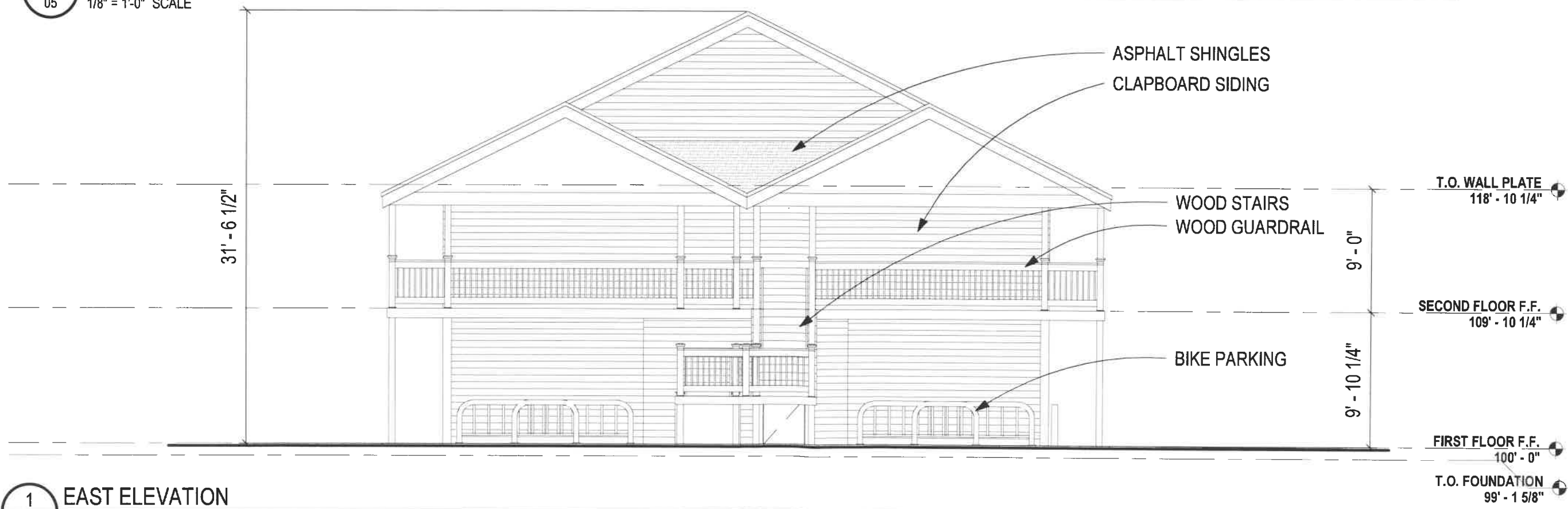
MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION

HopkinsBurns
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Section IX, Itemb.
04
SECOND FLOOR PLAN
Grand Hotel®
2025.06.24
SCALE: 3/32" = 1'-0"



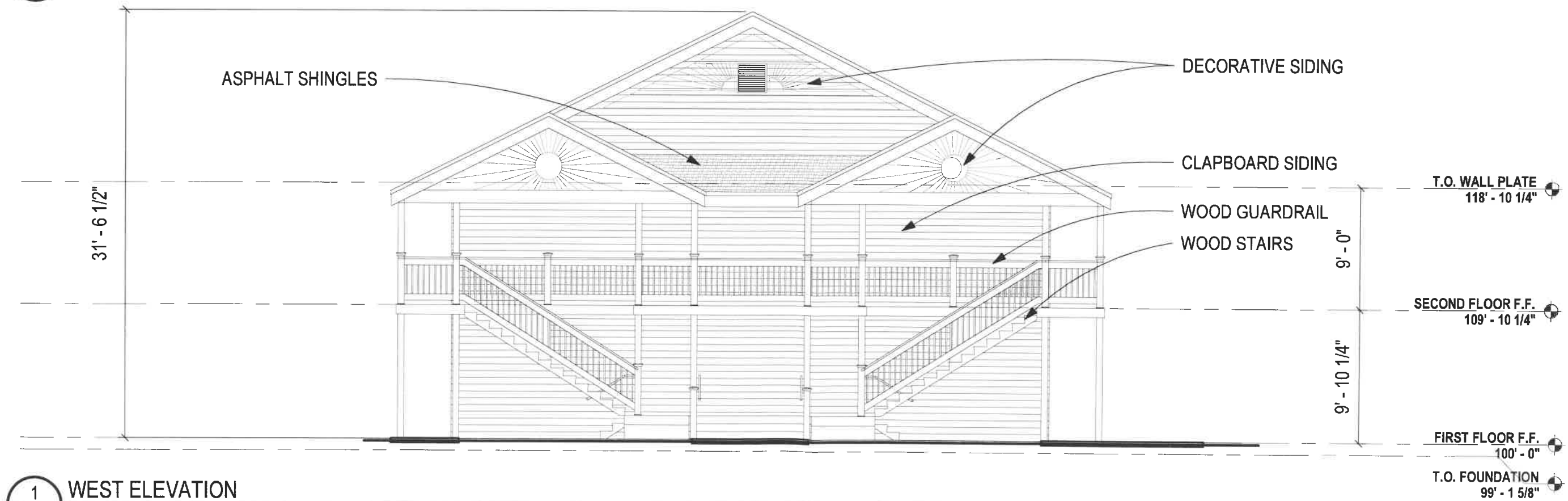
2 NORTH ELEVATION
05 1/8" = 1'-0" SCALE



1 EAST ELEVATION
05 1/8" = 1'-0" SCALE



2 SOUTH ELEVATION
1/8" = 1'-0" SCALE



1 WEST ELEVATION
1/8" = 1'-0" SCALE

Section IX, Itemb.

06
EXTERIOR
ELEVATIONS

Grand Hotel®

2025.06.24

SCALE: 1/8" = 1'-0"

MANAGER HOUSING
4TH ST. & CADOTTE AVE.
PLANNING COMMISSION

HopkinsBurns
historic preservation
communities by design



3
07
EXISTING VACANT LOT
TOWARD SOUTH-WEST
NO SCALE



1
07
EXISTING VACANT LOT
TOWARD SOUTH-EAST
NO SCALE



2
07
EXISTING VACANT LOT
TOWARD NORTH-EAST
NO SCALE



3 CADOTTE - CONTEXT - SOUTH-WEST
08 NO SCALE



2 CADOTTE - CONTEXT - WEST
08 NO SCALE



1 CADOTTE - CONTEXT - NORTH-WEST
08 NO SCALE



5 CADOTTE - CONTEXT - NEARBY
08 NO SCALE



4 CADOTTE - CONTEXT - NEARBY
08 NO SCALE

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Tamara Burns
113 S. Fourth Ave, Ann Arbor, MI 48104

734-604-9312 tamara.burns@hopkinsburns.com

Phone Number Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

GHMI RESORT HOLDINGS LLC; KSL CAPITAL PARTNERS LLC
100 ST PAUL ST. STE 800, DENVER, CO 80206

Is The Proposed Project Part of a Condominium Association?

NO

Is The Proposed Project Within a Historic Preservation District?

NO

Applicant's Interest in the Project (If not the Fee-Simple Owner):

ARCHITECT

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

NO

Is a Variance Required?

YES

Are REU's Required? How Many?

NO /

Type of Action Requested:

<input checked="" type="checkbox"/> Standard Zoning Permit	<input type="checkbox"/> Appeal of Planning Commission Decision
<input checked="" type="checkbox"/> Special Land Use	<input type="checkbox"/> Ordinance Amendment/Rezoning
<input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Ordinance Interpretation
<input type="checkbox"/> Other _____	

Property Information:

A. Property Number (From Tax Statement):	<u>051-630-098-00</u>
B. Legal Description of Property:	<u>ASSESSOR'S PLAT OF HARRISONVILLE LOT 98 *OLD NUMBER 625 019 00*</u>
C. Address of Property:	<u>CADOTTE AVE, MACKINAC ISLAND, MI 49757</u>
D. Zoning District:	<u>R-4 HARRISONVILLE RESIDENTIAL</u>
E. Site Plan Checklist Completed & Attached:	<u>YES</u>
F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance)	<u>YES</u>
G. Sketch Plan Attached:	<u>YES</u>
H. Architectural Plan Attached:	<u>YES</u>
I. Association Documents Attached (Approval of project, etc.):	<u>N/A</u>
J. FAA Approval Documents Attached:	<u>N/A</u>
K. Photographs of Existing and Adjacent Structures Attached:	<u>YES</u>

File No. R125-098-052

Exhibit A

Date 6.24.25

Initials KP

Proposed Construction/Use:

A. Proposed Construction:

<input checked="" type="checkbox"/> New Building	<input type="checkbox"/> Alteration/Addition to Existing Building
<input type="checkbox"/> Other, Specify _____	

B. Use of Existing and Proposed Structures and Land:
Existing Use (If Non-conforming, explain nature of use and non-conformity):

Proposed Use:

C. If Vacant:
Previous Use: Vacant Lot
Proposed Use: Multi-family Housing - 12 Units

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.
The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

- The Applicant further agrees to furnish evidence of the following before a permit will be granted:
- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
 - B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
 - C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the ARCHITECT (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

[Signature]
Signature

SIGNATURES _____
Signature

TAMARA E.L. BURNS, PRINCIPAL
Please Print Name

Please Print Name

Signed and sworn to before me on the 20th day of June, 2025.

LUIS ESCUDERO-FLORES
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF WASHTENAW
My Commission Expires 10/23/2026
Acting in the County of Washtenaw

[Signature]
Notary Public

Washtenaw

Washtenaw County, Michigan
My commission expires: 10/23/2026

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

Inspection	Date	Inspector	Comments
1.			
2.			
3.			

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: R425.098.052 FEE: 2650 -

DATE: 6.24.25 CHECK NO: 6179 INITIALS: KD

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review

Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | |
|---|-------------------------------------|-------------------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input type="checkbox"/> | <input type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|--------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|-------------------------------------|--------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

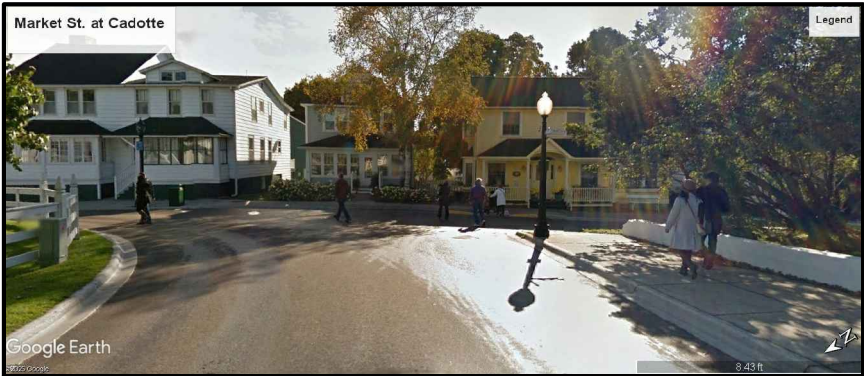
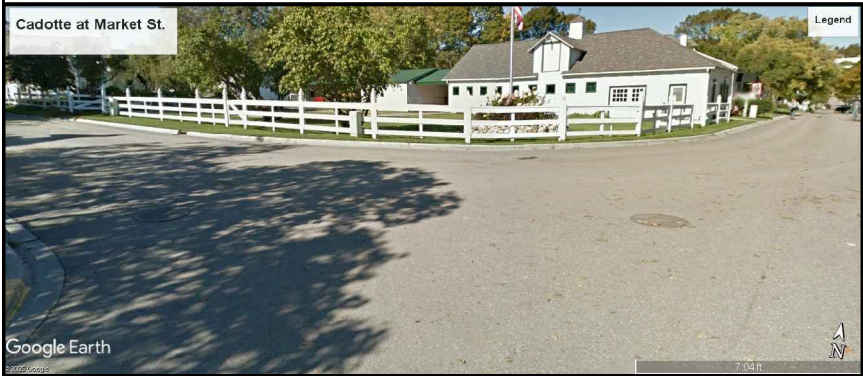
22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features	<input checked="" type="checkbox"/>	<input type="checkbox"/>
23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
25. Description of Existing and proposed on-site lighting (see also Section 4.27)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<u>Utility Information</u>	See note regarding "Potential Demand" on cover sheet	
	<u>Provided</u>	<u>Not Provided or Applicable</u>
26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Architectural Review
Informational Requirements (Section 18.05)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>



AREA PHOTOS FROM CADOTTE & MARKET STREETS



SOUTH ELEVATION FROM MARKET



EAST ELEVATION FROM CADOTTE



NORTH ELEVATION FROM CADOTTE



WEST ELEVATION FROM PROPERTY

Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1523@live.com 989-370-3681	
MAY COTTAGE ADDITION-RENOVATION	
1395 CADOTTE MACKINAC ISLAND, MI 49757	
rev:	for:
date: July 24, 2025	sheet:
project: 2433	A0.0
PHOTOS	COPYRIGHT © 2025

STORMWATER PLAN:

DESIGN CRITERIA:
10 YEAR 24 HOUR RAINFALL = 3.3"
(SOURCE: MDOT MS4 REPORT)
= (0.28') = 0.011' /hour

INFILTRATION RATE OF SOIL = 0.2"/hr.
(SOURCE: USDA) = 0.016'/hour x24 hrs. *
67% = 0.25' / storm event

DESIGN STORM VOLUME = 3,973 s.f.
IMPERVIOUS x 0.28' = 1,112 cu. ft.

APSORPTION AREA OF 10' STRIP AROUND
PERIMETER OF BUILDING + ADD'L. 20' REAR
(SW) YARD = 5,273 s.f.

STORMWATER ABSORPTION = 5,273 s.f. x
0.25' = 1,318 cu. ft.

STORM VOLUME minus ABSORPTION =
REQUIRED DETENTION;
1,112 cu. ft. - 1,318 cu. ft. = 0 cu. ft. TO
BE DETAINED.

ABSORPTION AREA EXCEEDS STORM VOLUME.
NO STORM DETENTION REQUIRED.

SITE NOTES:

1. BICYCLE PARKING RACK IS PROVIDED AT
A RATE OF 1 PER GUESTROOM +7.
(24 TOTAL, w/ 2 ELECTRIC CHARGING
STATION)
2. TRASH TO BE HELD WITHIN THE
BASEMENT AND TRASH HUTCH & SET
CURBSIDE ON COLLECTION DAYS
3. LIGHTING - NO AREA LIGHTING
PROPOSED. COACH LIGHTING PROVIDED
AT BUILDING ENTRANCES SHEILDLED TO
CONFINE LIGHT WITHIN THE SITE.
4. SEE STORMWATER NOTES THIS SHEET.

ZONING:

TAX I.D. #051-575-069-01

LOT 16A PC7 PART OF LOT 16 BLOCK 5
ASSESSORS PLAT NUMBER 4
TOWNSHIP 40 N, RANGE 3-2W. SECTION 36

DISTRICT: MD MARKET
LOT 16A
LOT AREA: 12,632.4 sf = 0.29 acres

ALLOWABLE HT: 30', 2½ STORY
ACTUAL HEIGHT: 30', 2½ STORY

ALLOWABLE LOT COVERAGE 12,632.4 sfx35% =
= 4,421 sf

EX. HOUSE-PORCH-RAMP: +2049 sf
EXIST WALKS-FENCE: +300 sf
EXIST. RETAIN. WALL: +160 sf
REMOVED ITEMS: - 156 sf
PROPOSED ADDITION: +1420 sf
PRO. DECKS & WALK: ± 200 sf
TOTAL IMP.: 3973 sf = 31.5%

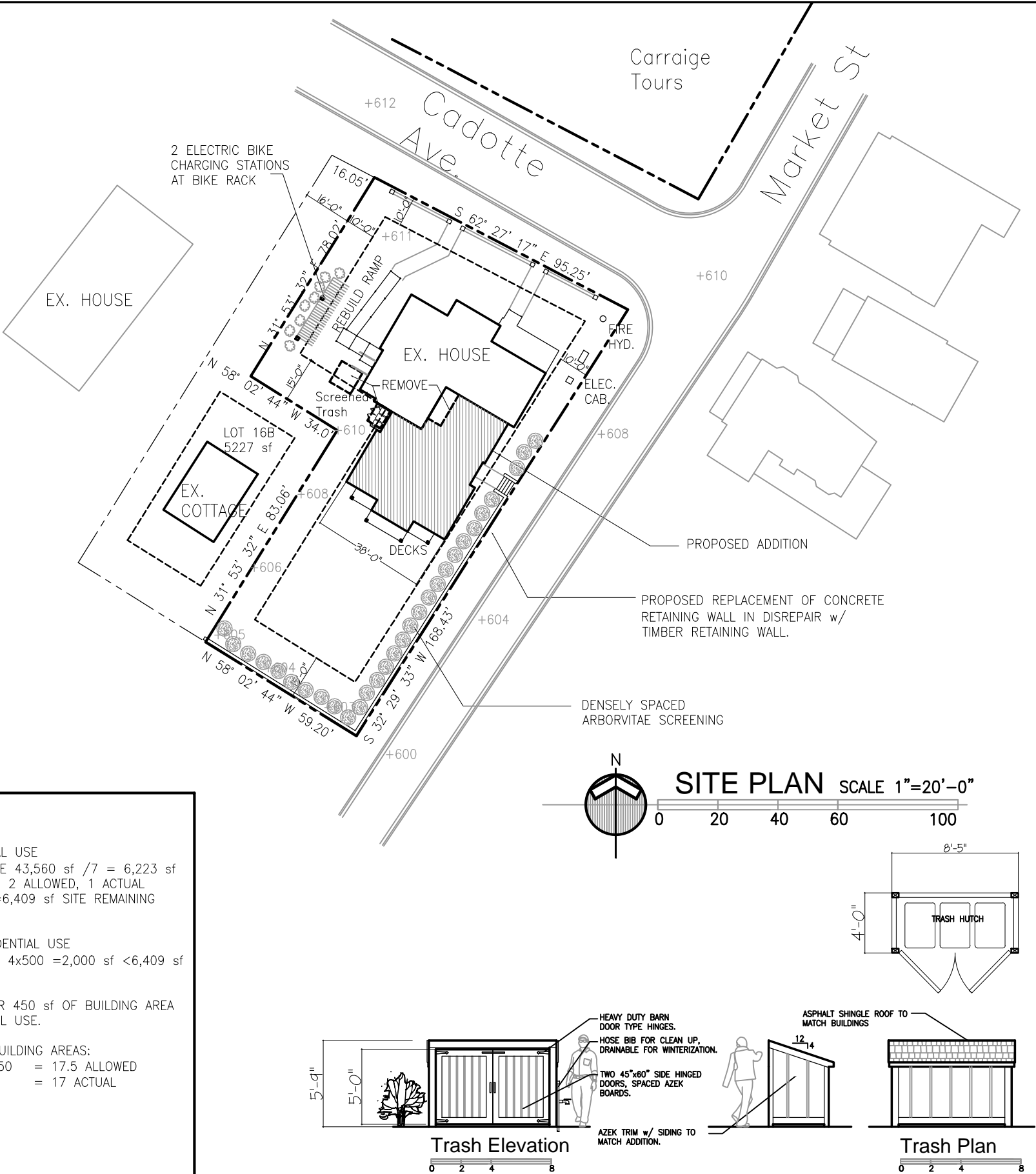
DENSITY:

HOTEL OPERATOR
FAMILY RESIDENTIAL USE
7 UNITS PER ACRE 43,560 sf /7 = 6,223 sf
7x 0.29 ACRES = 2 ALLOWED, 1 ACTUAL
12,632 sf-6,223=6,409 sf SITE REMAINING

EMPLOYEES: 4
NON FAMILY RESIDENTIAL USE
REQ'D. SITE AREA: 4x500 =2,000 sf <6,409 sf

HOTEL:
1 GUESTROOM PER 450 sf OF BUILDING AREA
DEVOTED TO HOTEL USE.

HOTEL RELATED BUILDING AREAS:
7914 sq. ft. / 450 = 17.5 ALLOWED
= 17 ACTUAL

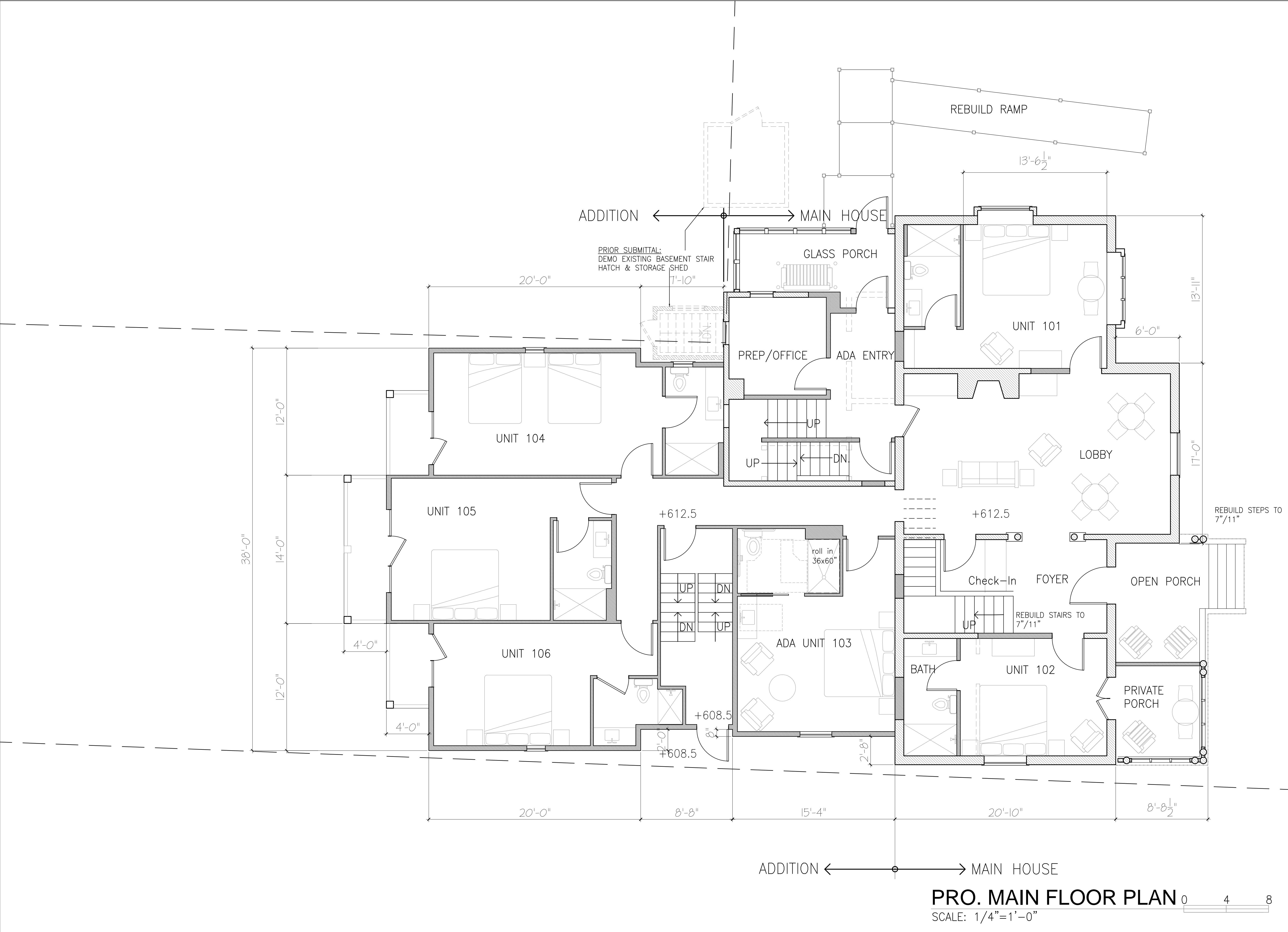


PROJECT DESCRIPTION:
CONVERSION OF RESIDENCE TO
HOTEL USE w/ SOUTHEAST INFILL
ADDITION AND SOUTHERLY ANNEX.

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Ocequeoc, MI 49759
richardlee1523@live.com 989-370-3681

MAY COTTAGE
ADDITION-RENOVATION
1395 CADOTTE
MACKINAC ISLAND, MI 49757

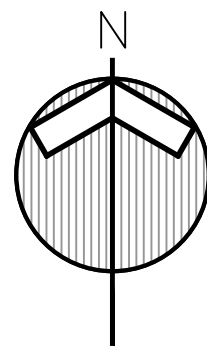
rev: for:
date: July 24, 2025 sheet:
project: 2433
SITE PLAN A1.0
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WALL LEGEND	
	EXISTING WALLS
	NEW WALLS
	REMOVED WALLS

1st FLOOR AREA	
EXISTING 1st FLOOR	= 1660 sq.ft.
PROPOSED ADDITION	= 1475 sq. ft.
TOTAL	= 3135 sq.ft.

HOUSE HABITABLE AREA	
1st FLOOR	= 3135 sq.ft.
2nd FLOOR	= 2613 sq.ft.
ATTIC FLOOR	= 1367 sq. ft.
LAUNDRY/STOR/BREAK	= 799 sq. ft.
TOTAL	= 7914 sq.ft.
ALLOWABLE HOTEL UNITS	
7914 sq. ft. / 450	= 17.5 ALLOWED
	= 17 ACTUAL



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MAY COTTAGE
RESIDENCE REMODEL
1395 CADOTTE AVE.
MACKINAC ISLAND, MI 49757

FOR APPROVAL
NOT FOR CONSTRUCTION




date: July 24, 2025	sheet:
project: 2433	A1.1
PROPOSED	
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ADDITION ← → MAIN HOUSE

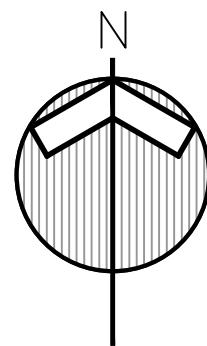
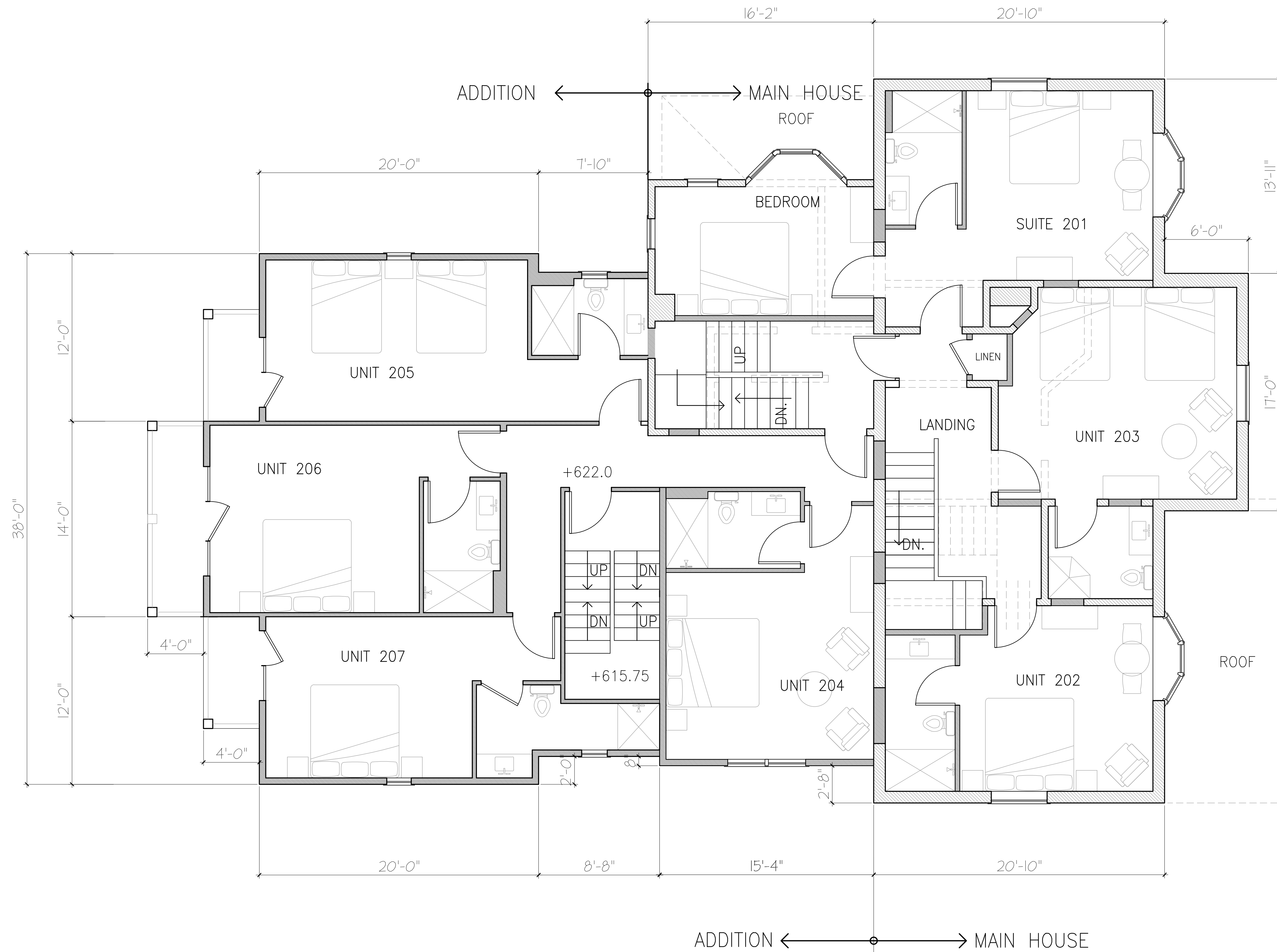
PRO. MAIN FLOOR PLAN

SCALE: 1/4"=1'-0"

0 4 8

WALL LEGEND	
	EXISTING WALLS
	NEW WALLS
	REMOVED WALLS




HOUSE 2nd FLOOR	
EXISTING 2nd FLOOR	= 1501 sq.ft.
PROPOSED ADDITION	= 1475 sq. ft.
TOTAL	= 2976 sq.ft.



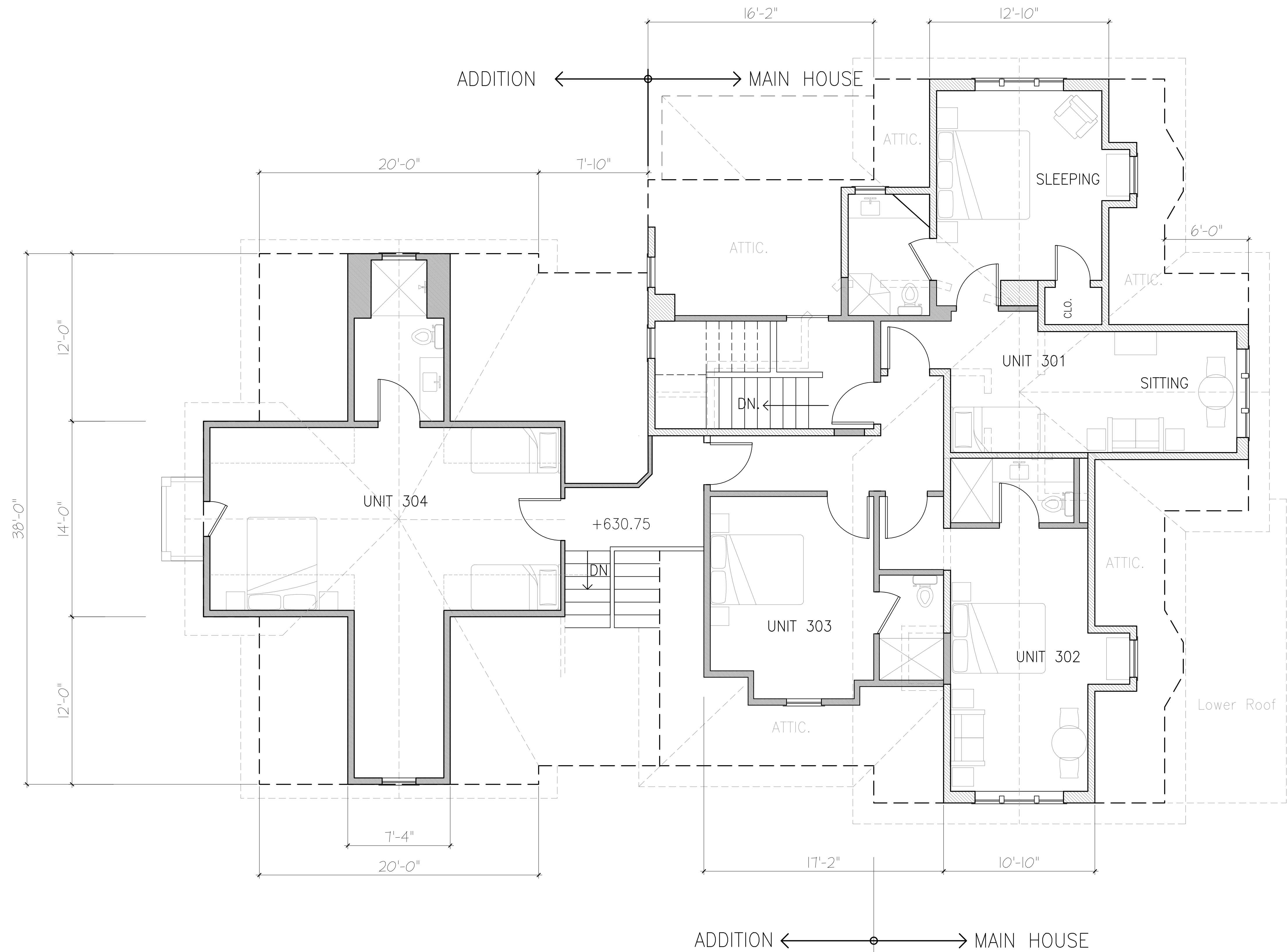
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date: July 24, 2025 project: 2433	sheet: A1.2 COPYRIGHT © 2024
PROPOSED	

PRO. 2nd FLOOR PLAN
SCALE: 1/4"=1'-0"



WALL LEGEND	
	EXISTING WALLS
	NEW WALLS
	REMOVED WALLS

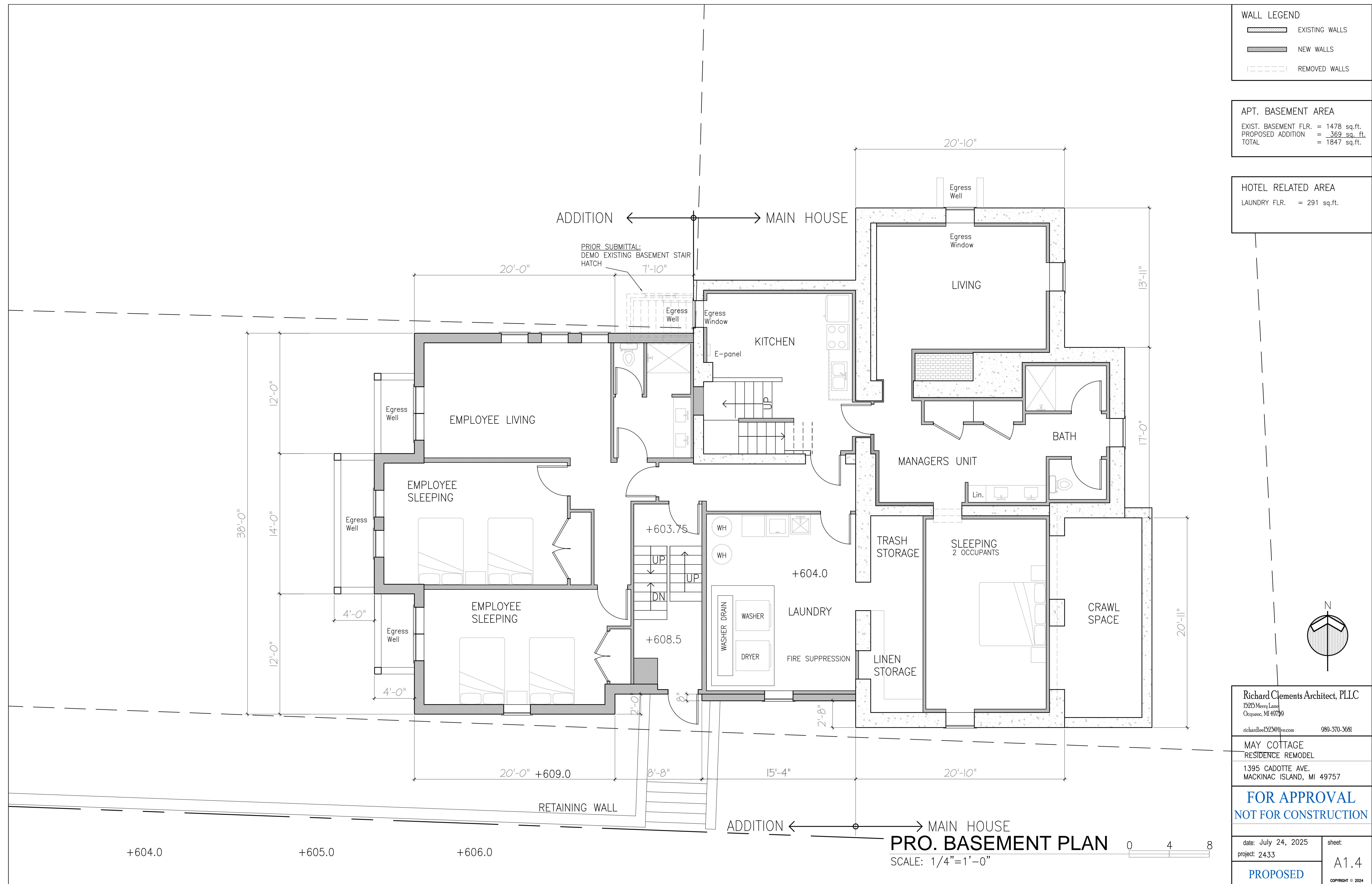
HOUSE ATTIC AREA	
EXISTING ATTIC FLOOR	= 933 sq.ft.
PROPOSED ADDITION	= 434 sq.ft.
TOTAL	= 1367 sq.ft.
ATTIC AREA INCLUDES HABITABLE AREA w/ A MIN. HEIGHT OF 5'-0" & OVER.	



PRO. ATTIC FLOOR PLAN
SCALE: 1/4"=1'-0"



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PROPOSED	





ANNEX WEST ELEVATION

SCALE $\frac{1}{4}$ "=1'-0"

0 4 8 16



MAIN HOUSE EAST ELEVATION

SCALE $\frac{1}{4}$ "=1'-0"

0 4 8 16

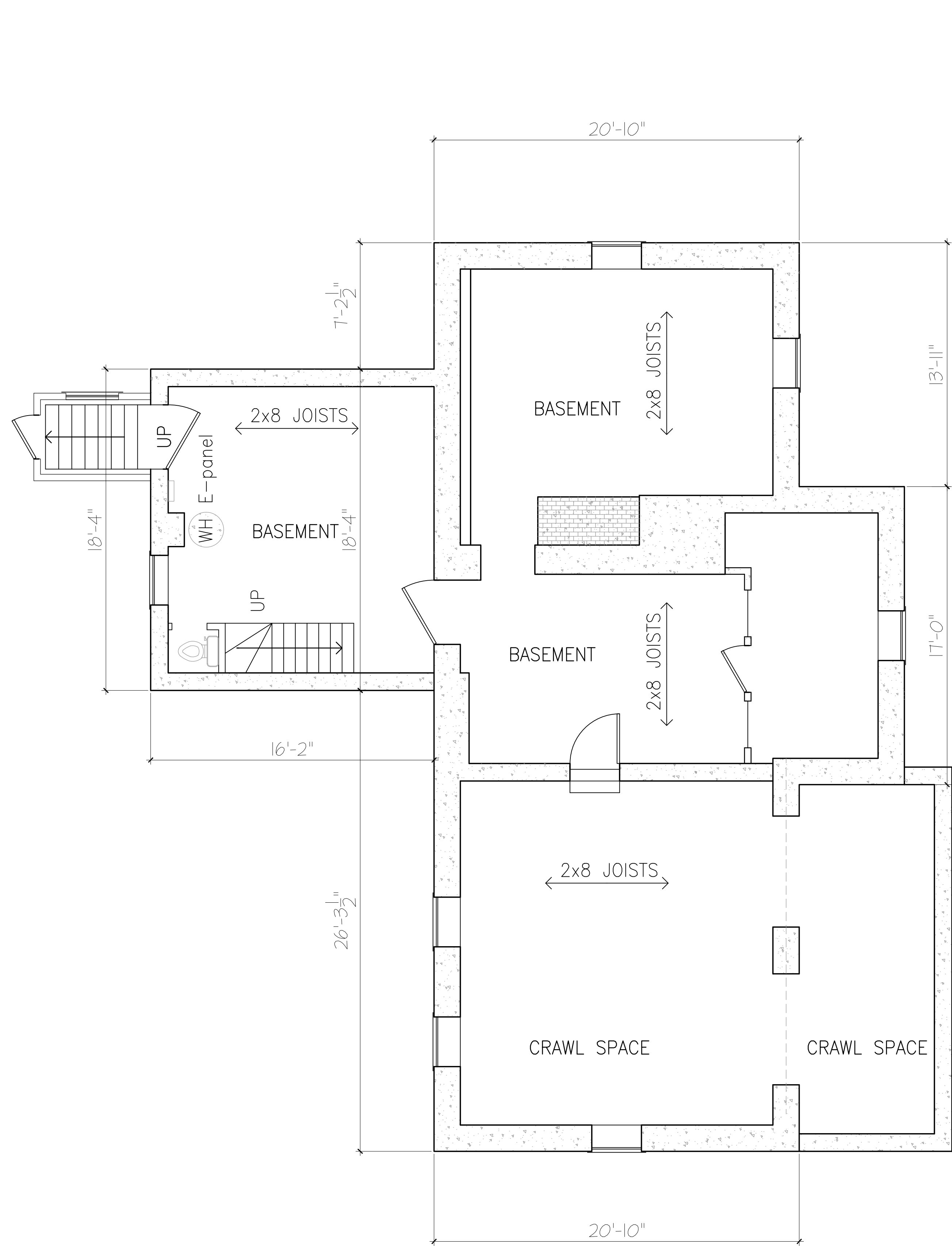
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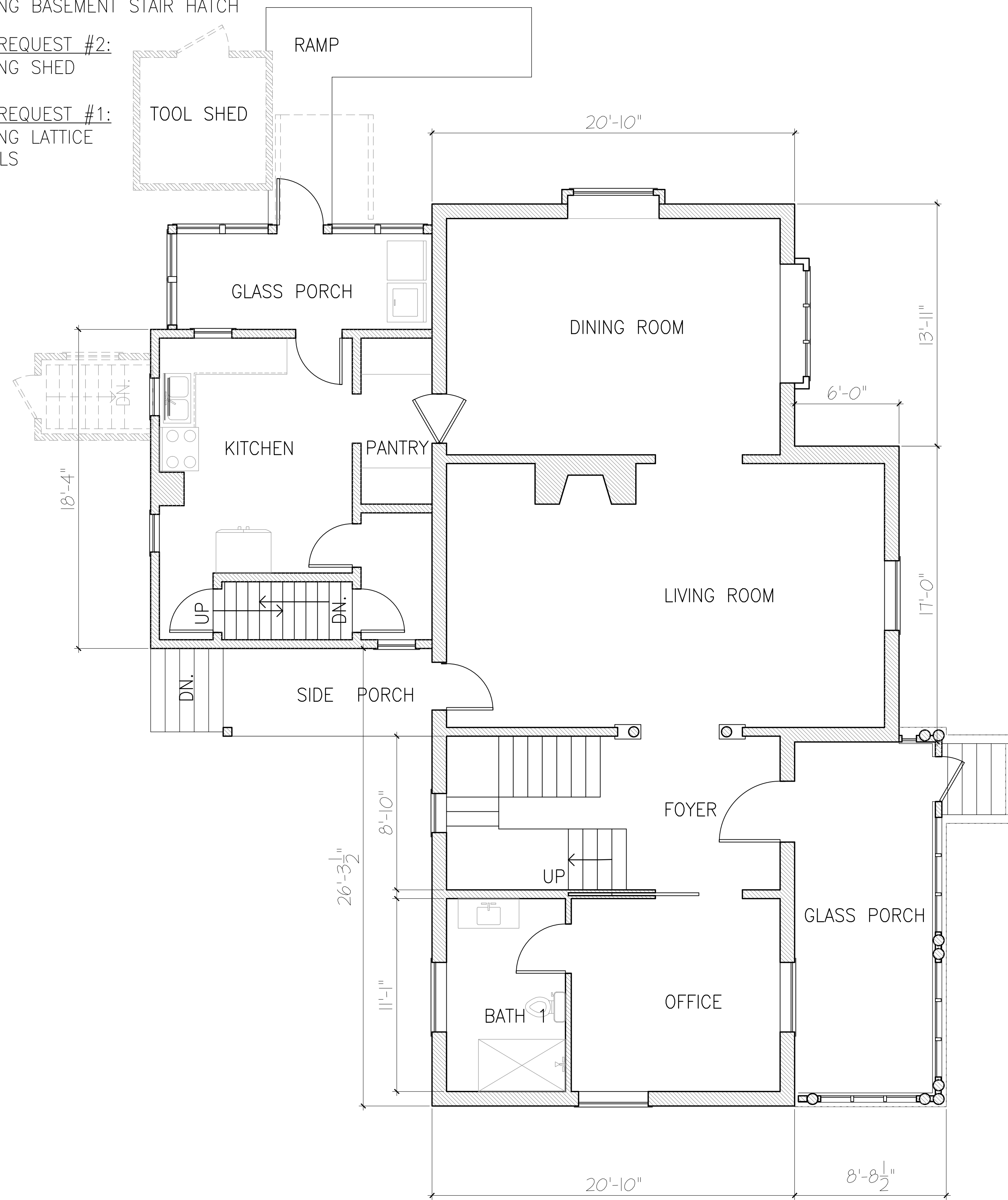


EX. BASEMENT PLAN
SCALE: 1/4"=1'-0"

PRIOR HDC REQUEST #3:
DEMO EXISTING BASEMENT STAIR HATCH

PRIOR HDC REQUEST #2:
DEMO EXISTING SHED

PRIOR HDC REQUEST #1:
DEMO EXISTING LATTICE
SCREEN WALLS



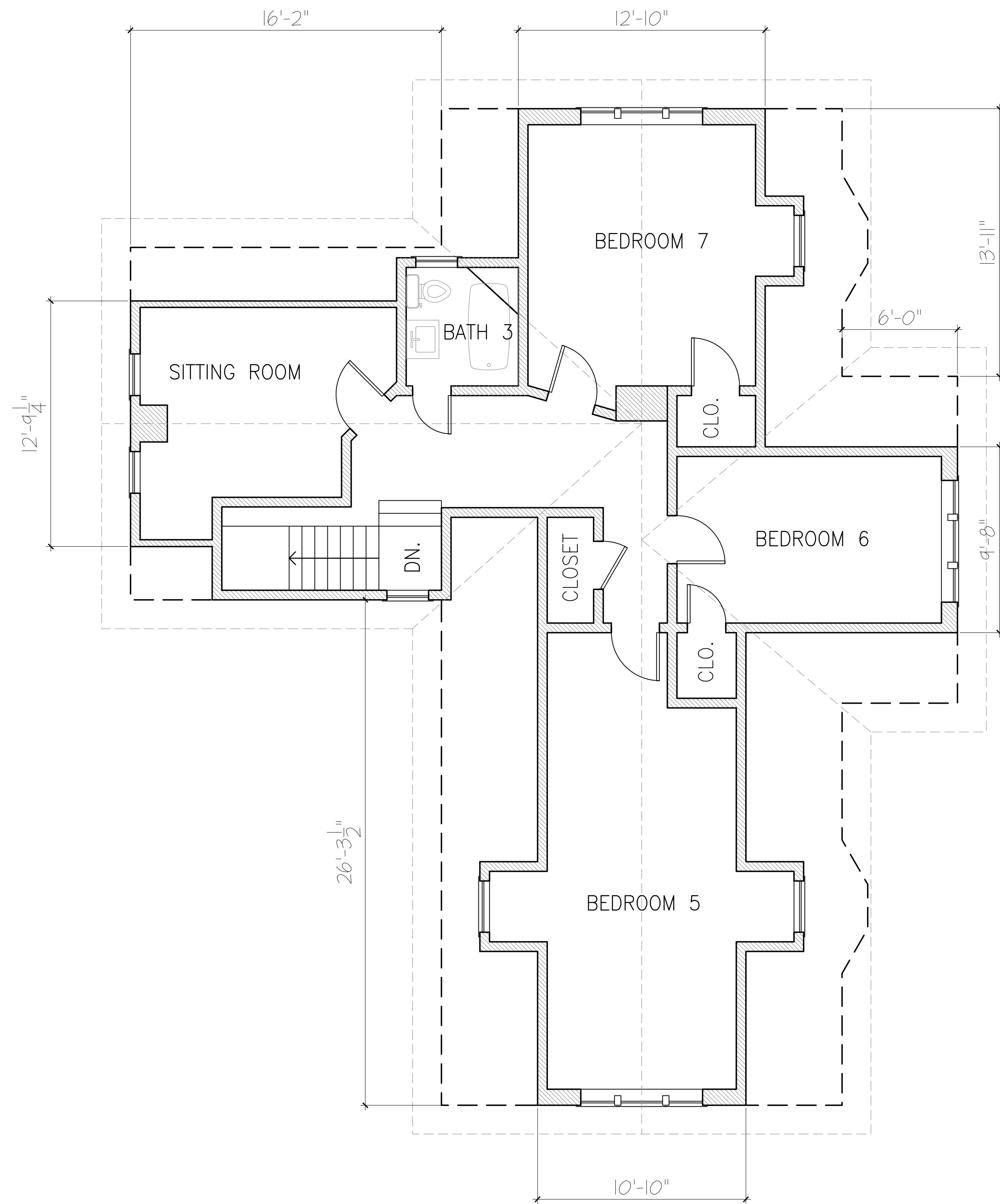
EX. MAIN FLOOR PLAN
SCALE: 1/4"=1'-0"

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MAY COTTAGE
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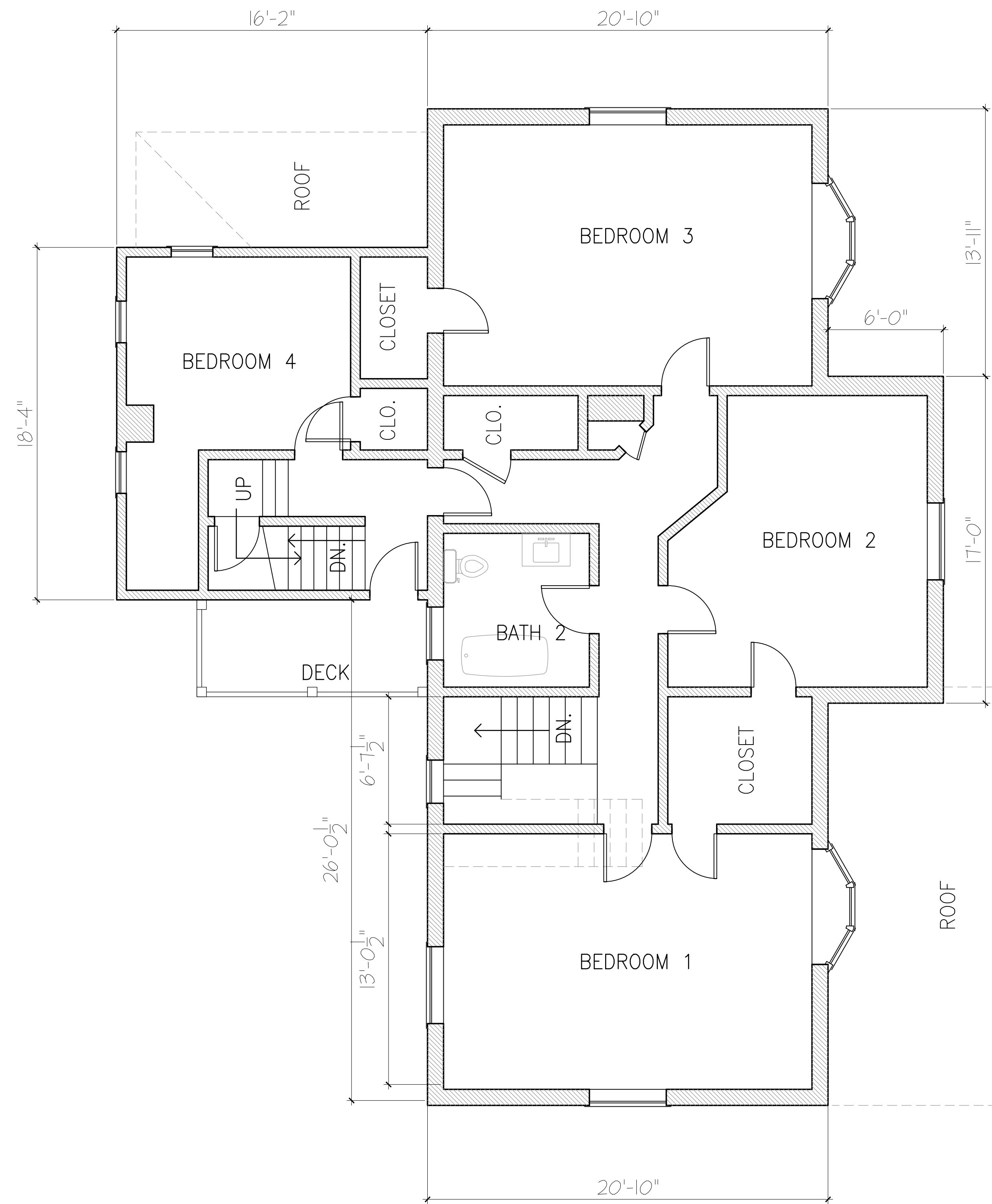
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project: 2433
EXISTING

sheet:
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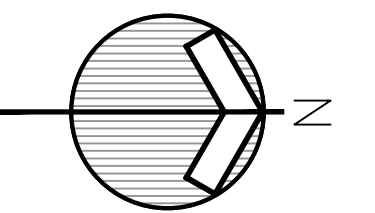
EX. ATTIC FLOOR PLAN

SCALE: 1/4"=1'-0"



EX. 2nd FLOOR PLAN

SCALE: 1/4"=1'-0"



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project: 2433

EXISTING

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ATTIC LEVEL

SECOND FLOOR

MAIN FLOOR



BASEMENT FLOOR

ATTIC LEVEL

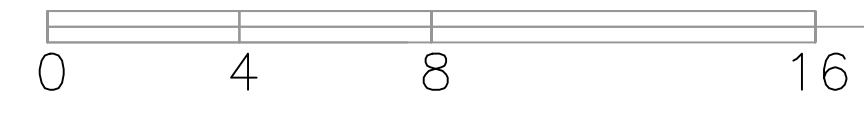
SECOND FLOOR

MAIN FLOOR
TOP OF FOUNDATION

BASEMENT FLOOR

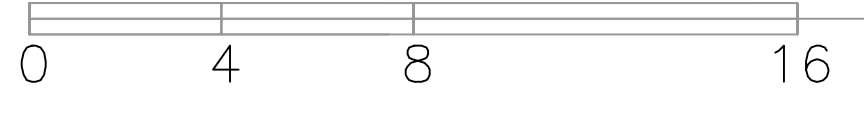
EX. WEST ELEVATION

SCALE 1/4"=1'-0"



EX. EAST ELEVATION

SCALE 1/4"=1'-0"



Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardclee1525@live.com 989-370-3681	MAY COTTAGE RESIDENCE REMODEL			date: July 24, 2025 project: 2433	sheet:
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				project: 2433	X1.4
	1395 CADOTTE AVE. MACKINAC ISLAND, MI 49757			EXISTING	

File No. MD25-069-054(4)Exhibit FDate 6-24-25Initials KP

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:Andrew Douel

231392 6456 claudstep1000@yahoo.com
Phone Number Email Address

Property Owner & Mailing Address (If Different From Applicant)

7587 Market Street
Mackinac Island, MI 49757

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Is The Proposed Project Part of a Condominium Association?

No

Is The Proposed Project Within a Historic Preservation District?

Yes

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Owner

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

No

Is a Variance Required?

No

Are REU's Required? How Many?

No /**Type of Action Requested:**☒ Standard Zoning Permit☐ Special Land Use☐ Planned Unit Development☒ Other Change of Use☐ Appeal of Planning Commission Decision☐ Ordinance Amendment/Rezoning☐ Ordinance Interpretation**Property Information:**A. Property Number (From Tax Statement): 051-575-069-01B. Legal Description of Property: AttachedC. Address of Property: 1395 CadotteD. Zoning District: MDE. Site Plan Checklist Completed & Attached: YesF. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) YesG. Sketch Plan Attached: YesH. Architectural Plan Attached: YesI. Association Documents Attached (Approval of project, etc.): YesJ. FAA Approval Documents Attached: NoK. Photographs of Existing and Adjacent Structures Attached: Yes**Proposed Construction/Use:**

A. Proposed Construction:

☐ New Building☐ Other, Specify _____☒ Alteration/Addition to Existing Building

B. Use of Existing and Proposed Structures and Land:
Existing Use (If Non-conforming, explain nature of use and non-conformity):

Vacant House
Proposed Use: 17 Room Hotel

C. If Vacant:
Previous Use: _____
Proposed Use: _____

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.
The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Anders Bank (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

A. Andrew Dand
Signature

SIGNATURES _____
Signature

S. Andrew Dand
Please Print Name

Please Print Name

Signed and sworn to before me on the 23rd day of June, 2025.

Jill A. Chapman
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF Mackinac
My Commission Expires May 24, 2031
Acting in the County of Mackinac

Jill A. Chapman
Notary Public
Mackinac County, Michigan
My commission expires: 5/24/31

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: HD25-069-054(4) FEE: 400-
DATE: 6-24-25 CHECK NO: 8276 INITIALS: KP Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review

Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | |
|---|--------------------------|-------------------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|-------------------------------------|--------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|-------------------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- | | | |
|--|-------------------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Utility Information

<u>Provided</u>	<u>Not Provided or Applicable</u>
-----------------	---------------------------------------

- | | | |
|--|-------------------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Architectural Review
Informational Requirements (Section 18.05)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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AREA PHOTOS FROM CADOTTE & MARKET STREETS



SOUTH ELEVATION FROM MARKET



EAST ELEVATION FROM CADOTTE

NORTH ELEVATION FROM CADOTTE

WEST ELEVATION FROM PROPERTY

Richard Clements Architect, PLLC 7025 South Lake Orem, UT 84058 rclements@rca20.com 960.300.3081	
MAY COTTAGE ADDITION-RENOVATION 1385 CADOTTE MCKINAC ISLAND, MI 49757	
date: June 23, 2023	sheet: A0.0
project: 2433	PHOTOS

STORMWATER PLAN:

DESIGN CRITERIA:
10 YEAR 24 HOUR RAINFALL = 3.3"
(SOURCE: MDT M54 REPORT)
= (0.25) / hour

INFILTRATION RATE OF SOIL = 0.2"/hr.
(SOURCE: USDA) = 0.016/hour x 24 hrs. =
0.384" / storm event

DESIGN STORM VOLUME = 4,335 s.f.
IMPERVIOUS x 0.28 = 1,214 cu. ft.

ASPHALT AREA OF 10' STRIP AROUND
PERIMETER OF BUILDING + REAR YARD =
5,348 s.f.

STORMWATER ABSORPTION = 5,368 s.f. x
0.25" = 1,342 cu. ft.

STORM VOLUME MINUS ABSORPTION =
REQUIRED DETENTION:
1,214 cu. ft. = 1,342 cu. ft. = 0 cu. ft. TO
BE DETAINED.
ABSORPTION AREA EXCEEDS STORM VOLUME.
NO STORM DETENTION REQUIRED.

SITE NOTES:

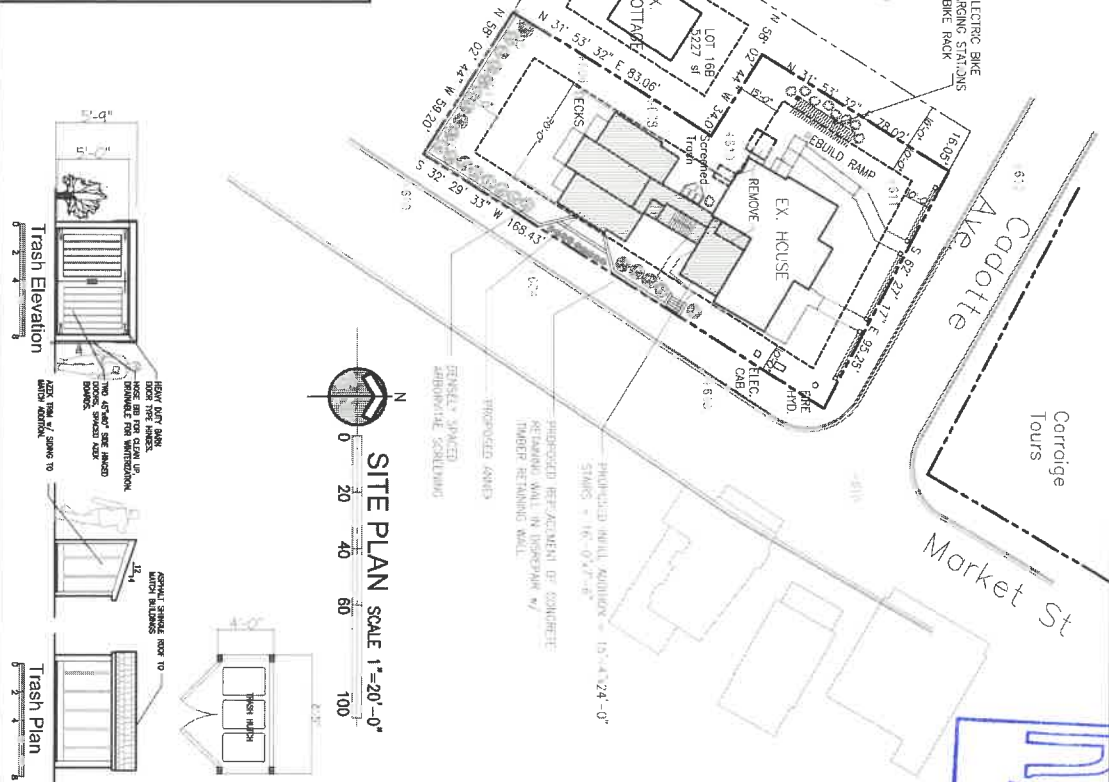
1. BICYCLE PARKING RACK IS PROVIDED AT
A RATE OF 1 PER GUESTROOM + 7
(24 TOTAL, w/ 2 ELECTRIC CHARGING
STATIONS)
2. TRASH TO BE HELD WITHIN THE
BASEMENT AND TRASH HUTCH & SET
CURBSIDE ON COLLECTION DAYS
3. LIGHTING - NO AREA LIGHTING
PROPOSED. COACH LIGHTING PROVIDED
AT BUILDING ENTRANCES SHELTERED TO
CONFERE LIGHT WITHIN THE SITE.
4. SEE STORMWATER NOTES THIS SHEET.

ZONING:

TAX ID: #051-575-068-01
LOT 16A, P.C. PART OF LOT 16 BLOCK 5
ASSESSORS' PLAN NUMBER 4
TOWNSHIP 40 N. RANGE 3-2W, SECTION 36
DISTRICT: MD MARKET
LOT 16A
LOT AREA: 12,632.4 s.f. = 0.29 acres
ALLOWABLE HT.: 30' 2/3 STORY
ACTUAL HEIGHT: 30' 2/3 STORY
ALLOWABLE LOT COVERAGE: 12,632.4 s.f. x 55% =
= 6,947.7 s.f.
EX. HOUSE-FORCH-RAMP: +2049 s.f.
EXIST. WALKS-FENCE: +300 s.f.
EXIST. RETAIL WALL: +180 s.f.
PROPOSED DETENTION: 1,342 s.f.
PRO. NEW WING & WALK: +1513 s.f.
TOTAL IMP.: 4335 s.f. = 34.3%

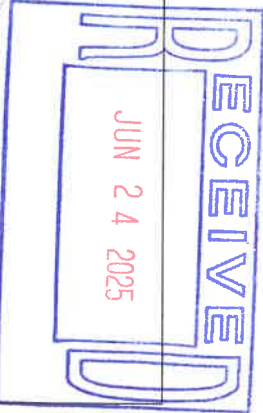
DENSITY:

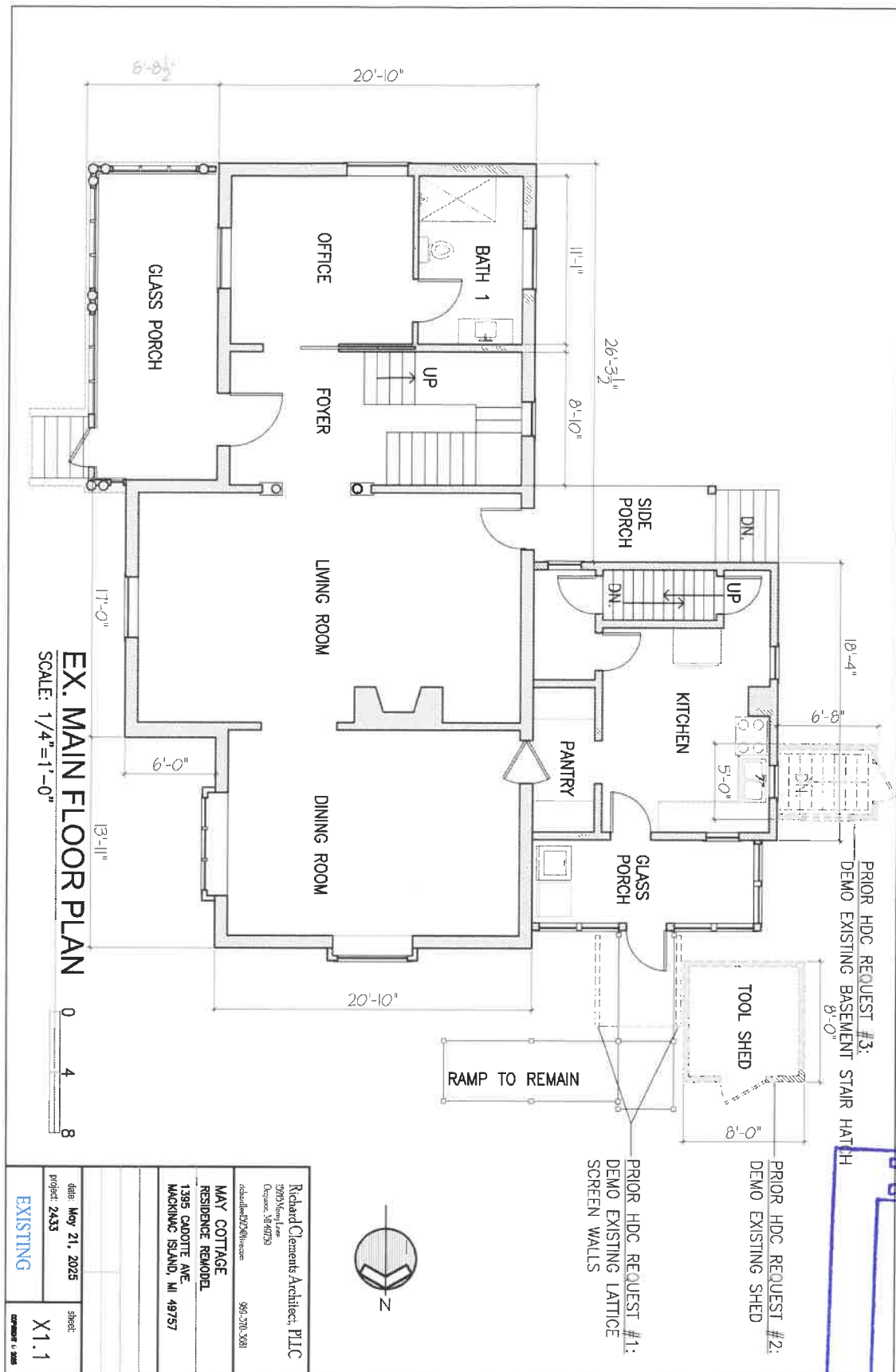
HOTEL OPERATOR
FAMILY RESIDENTIAL USE
7 UNITS PER ACRE 43,560 s.f. / 7 = 6,223 s.f.
7x 0.29 ACRES = 2 ALLOWED, 1 ACTUAL
12,632 s.f. = 6,223 = 6,409 s.f. SITE REMAINING
RAMP, COTTAGE, 4
FAMILY RESIDENTIAL USE
RED'D SITE AREA: 44,500 = 2,000 s.f. < 6,409 s.f.
HOTEL:
1 GUESTROOM PER 450 s.f. OF BUILDING AREA
DEVELOPED TO HOTEL USE.
MAIN HOUSE
5191 sq. ft. / 450 = 11 ALLOWED
ANNEX
3293 sq. ft. / 450 = 7 ALLOWED
ALLOWED = 11+7 = 18 GUESTROOMS
ACTUAL = 10+17 = 17 GUESTROOMS



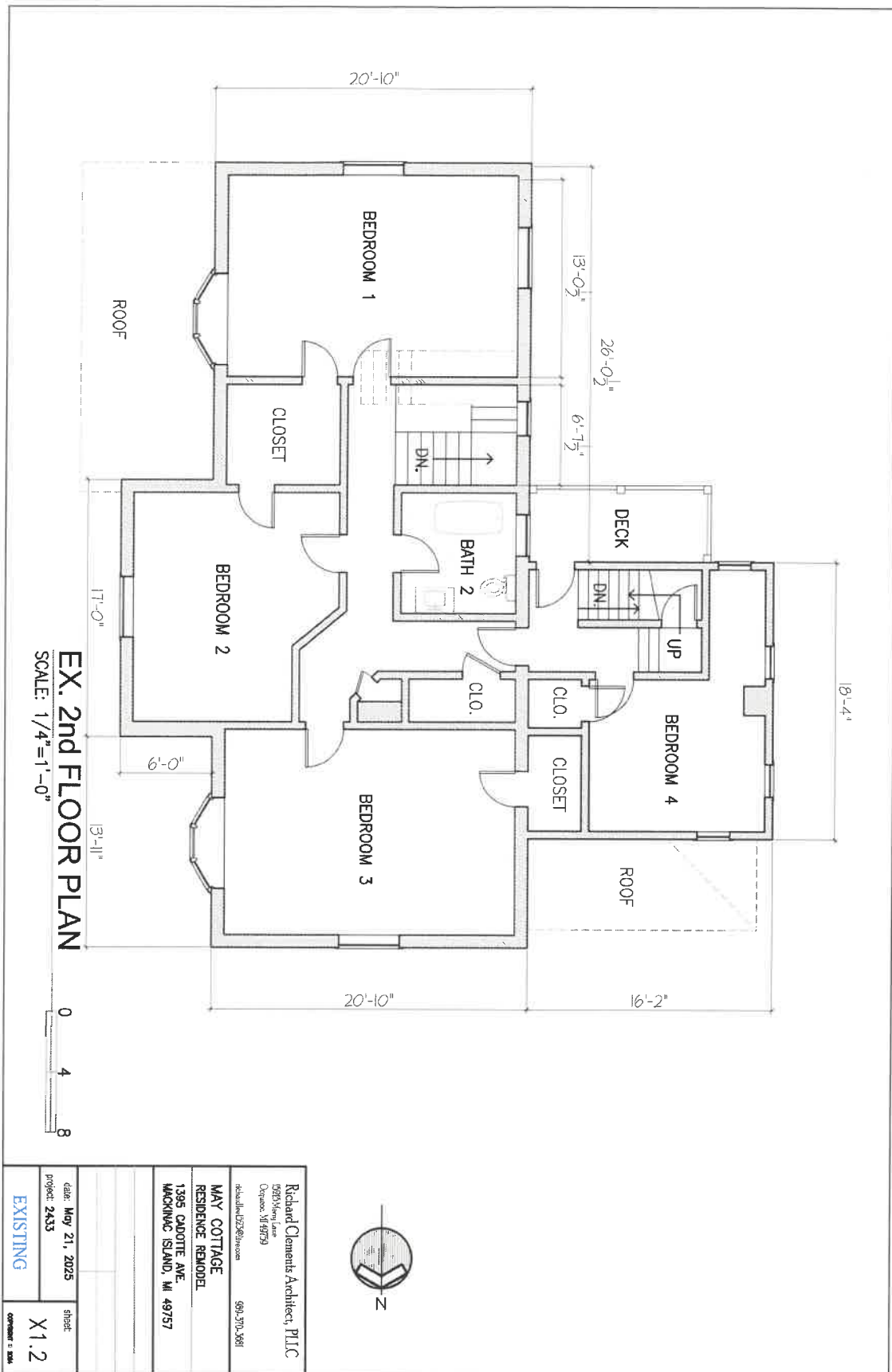
Richard Clements Architect, PLLC	
7803 Kent Lane	
Overseas, WI 47799	
richard@rca2000.com	
950.300.3060	
MAY COTTAGE	
ADDITION-RENOVATION	
1395 CADOTTE	
MACQUING ISLAND, WI 49757	
ref:	ec:
date: June 23, 2025	sheet:
project: 2433	
SITE PLAN	
A1.0	

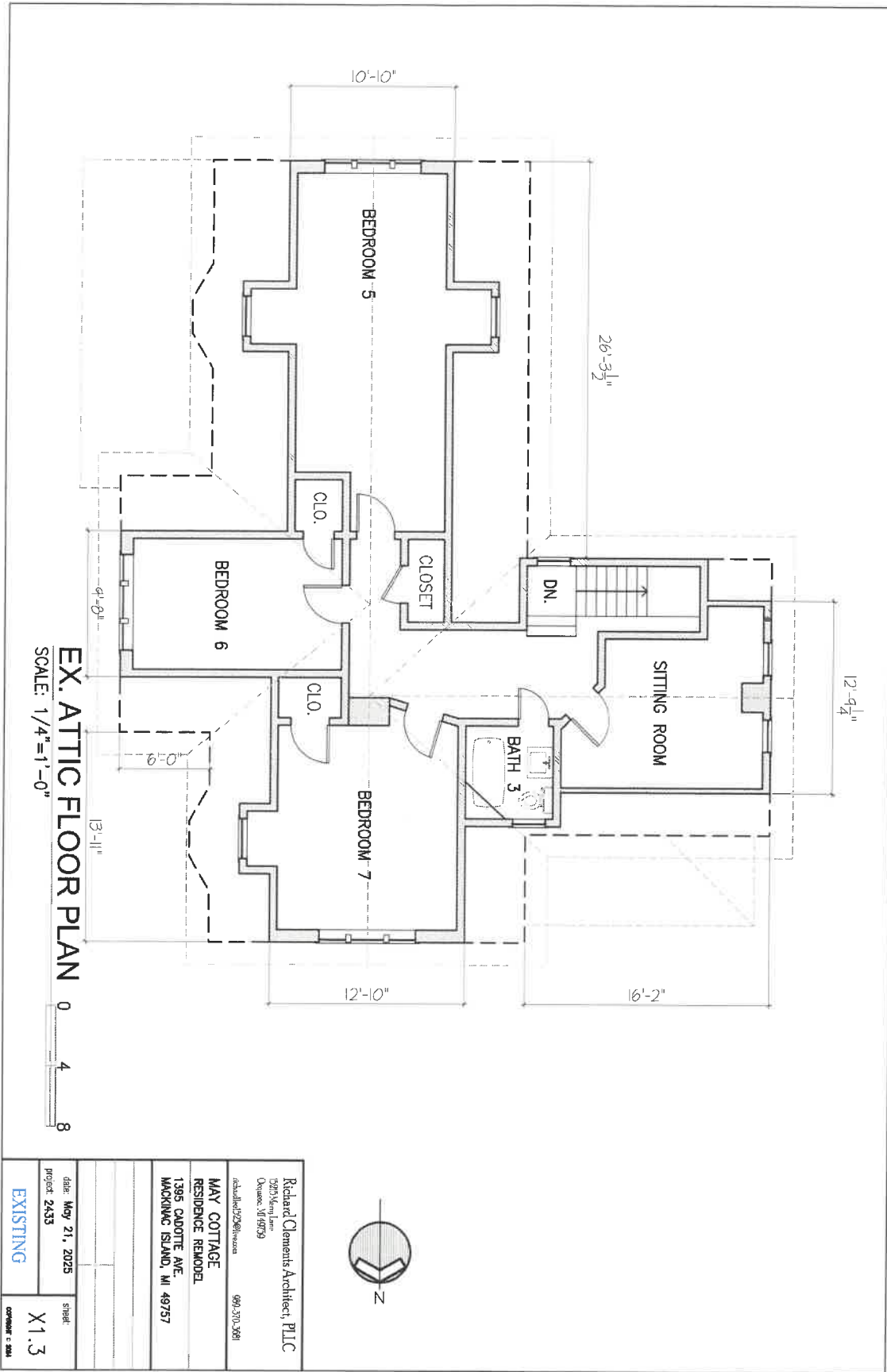
PROJECT DESCRIPTION:
CONVERSION OF RESIDENCE TO
HOTEL USE w/ SOUTHEAST INFL
ADDITION AND SOUTHERLY ANNEX.

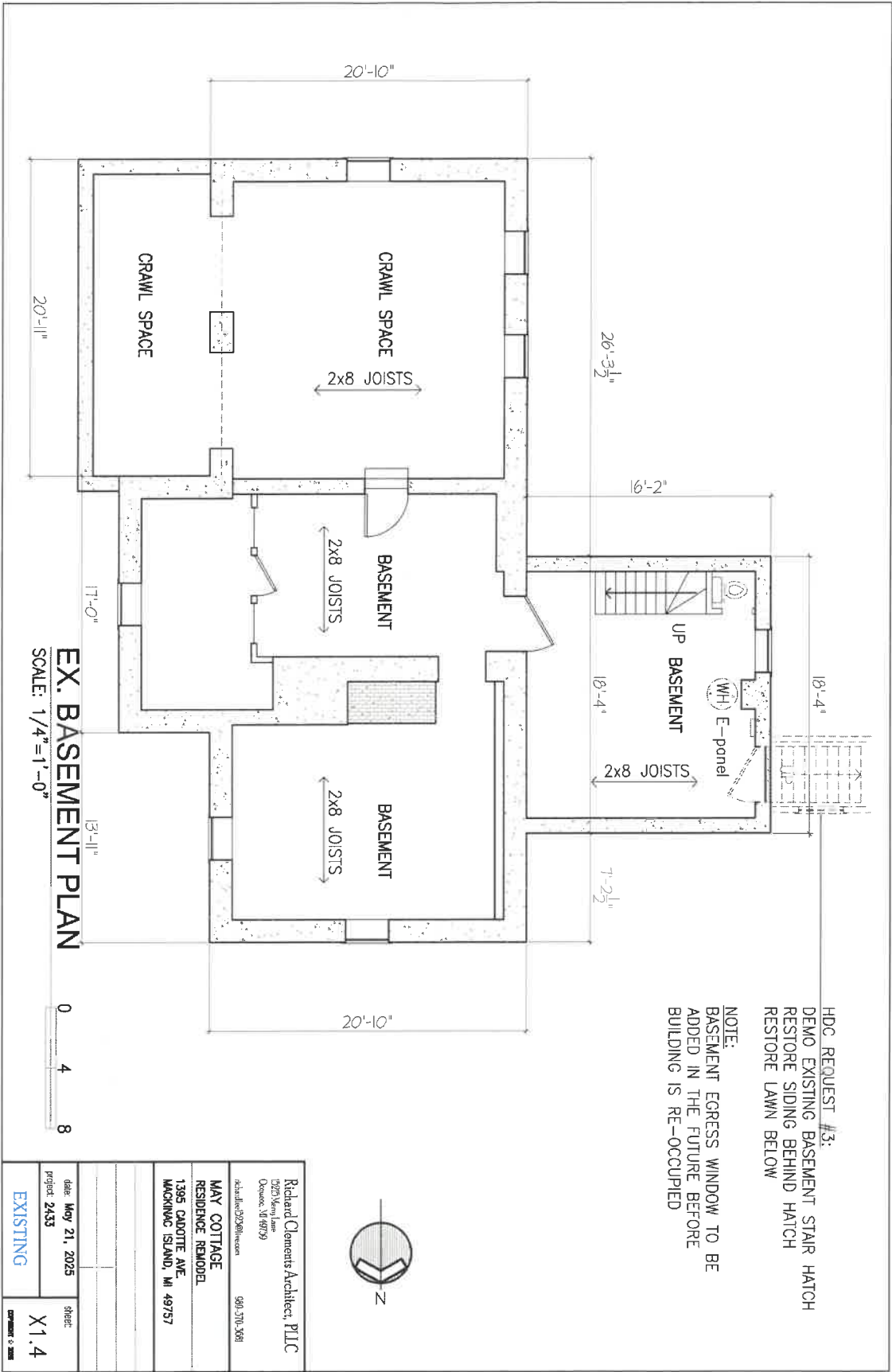




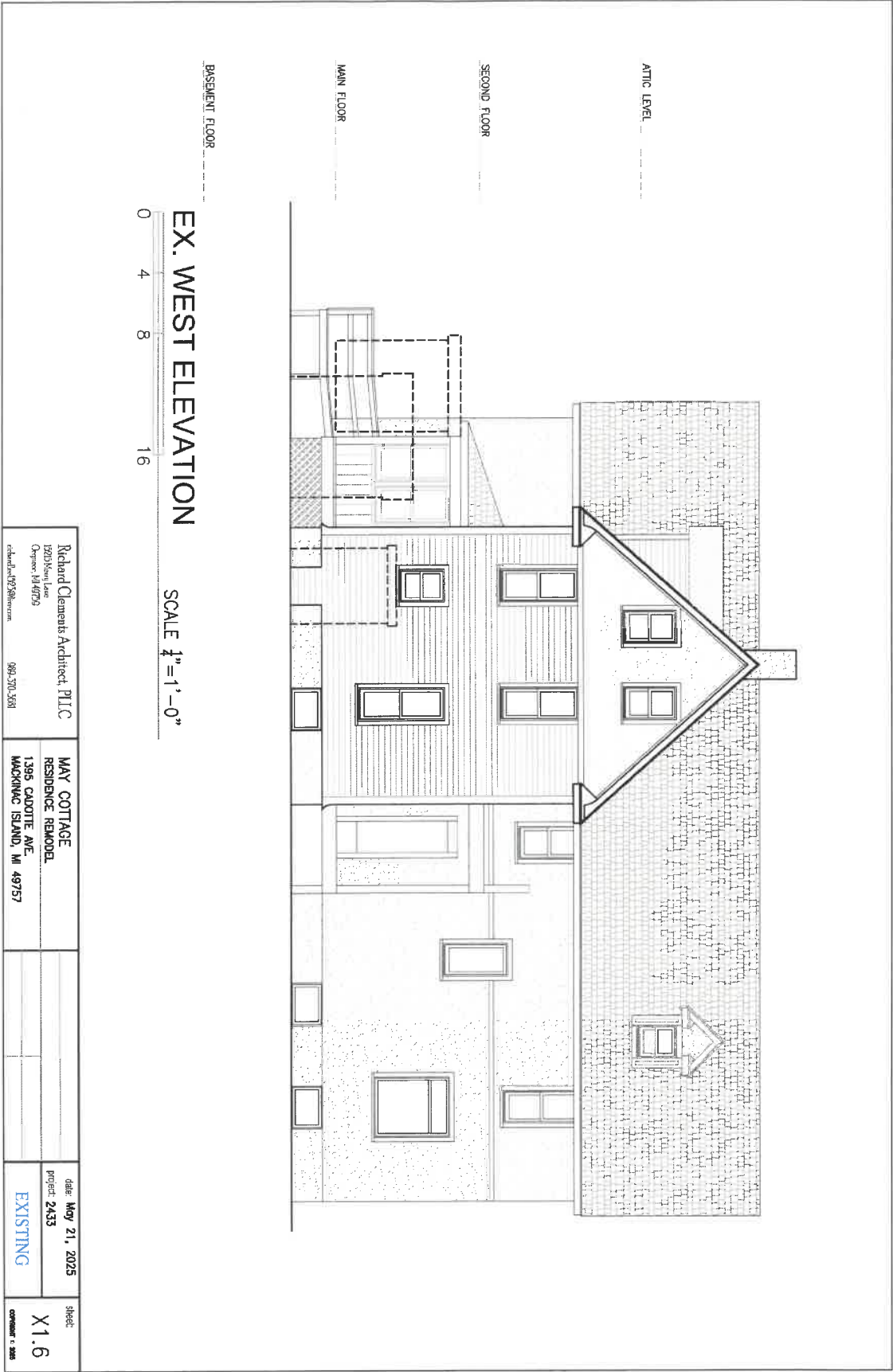
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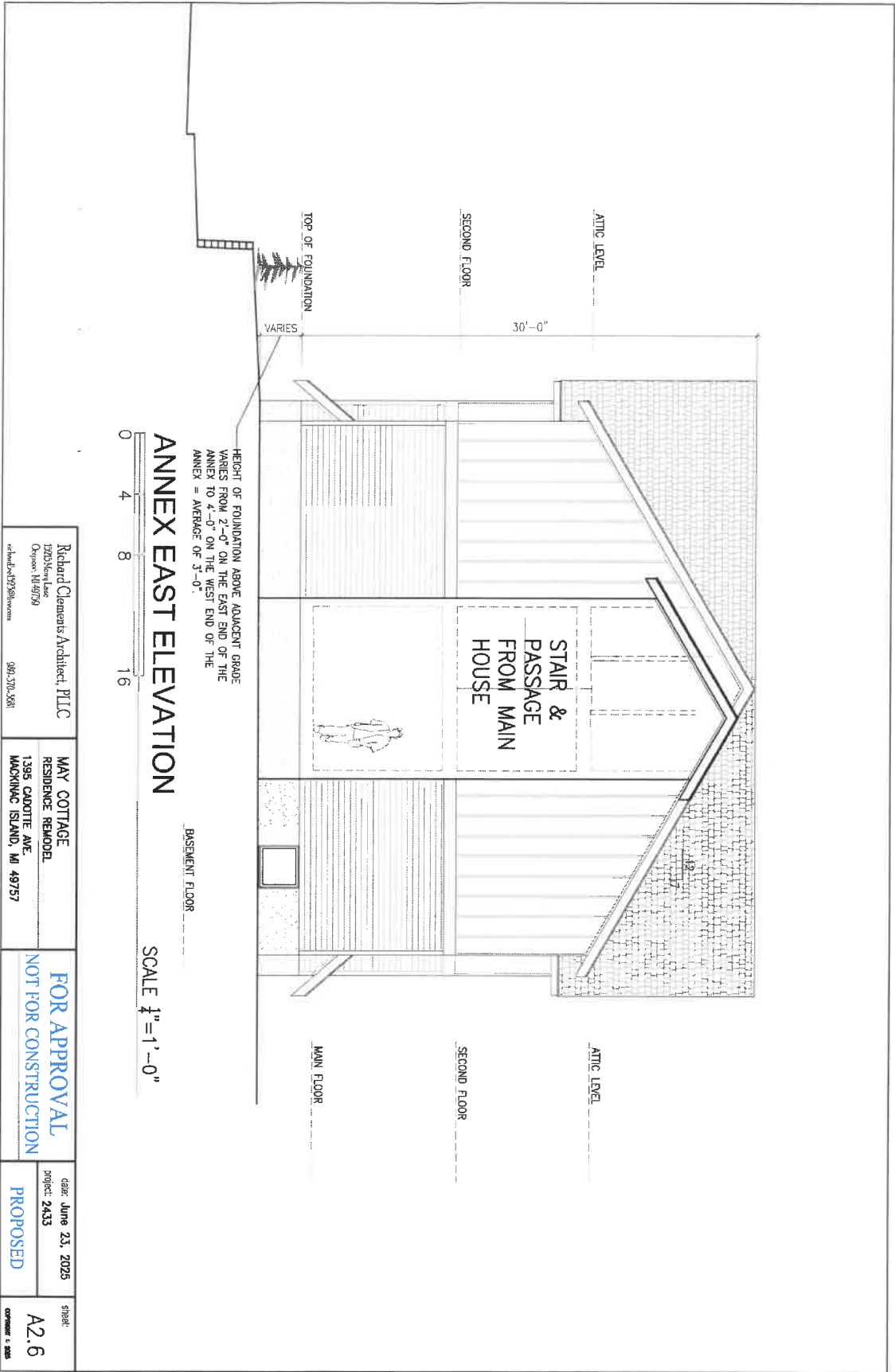


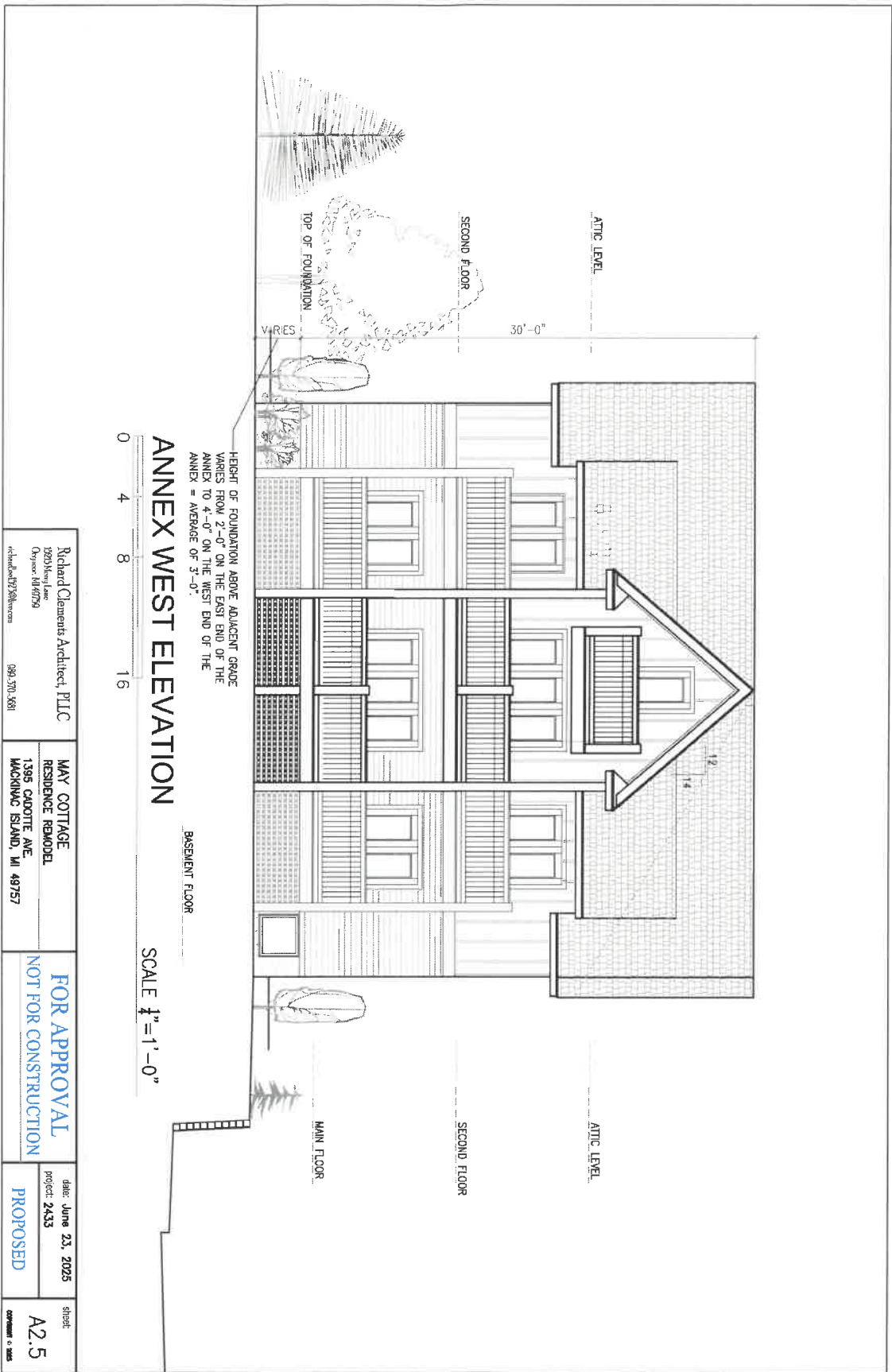




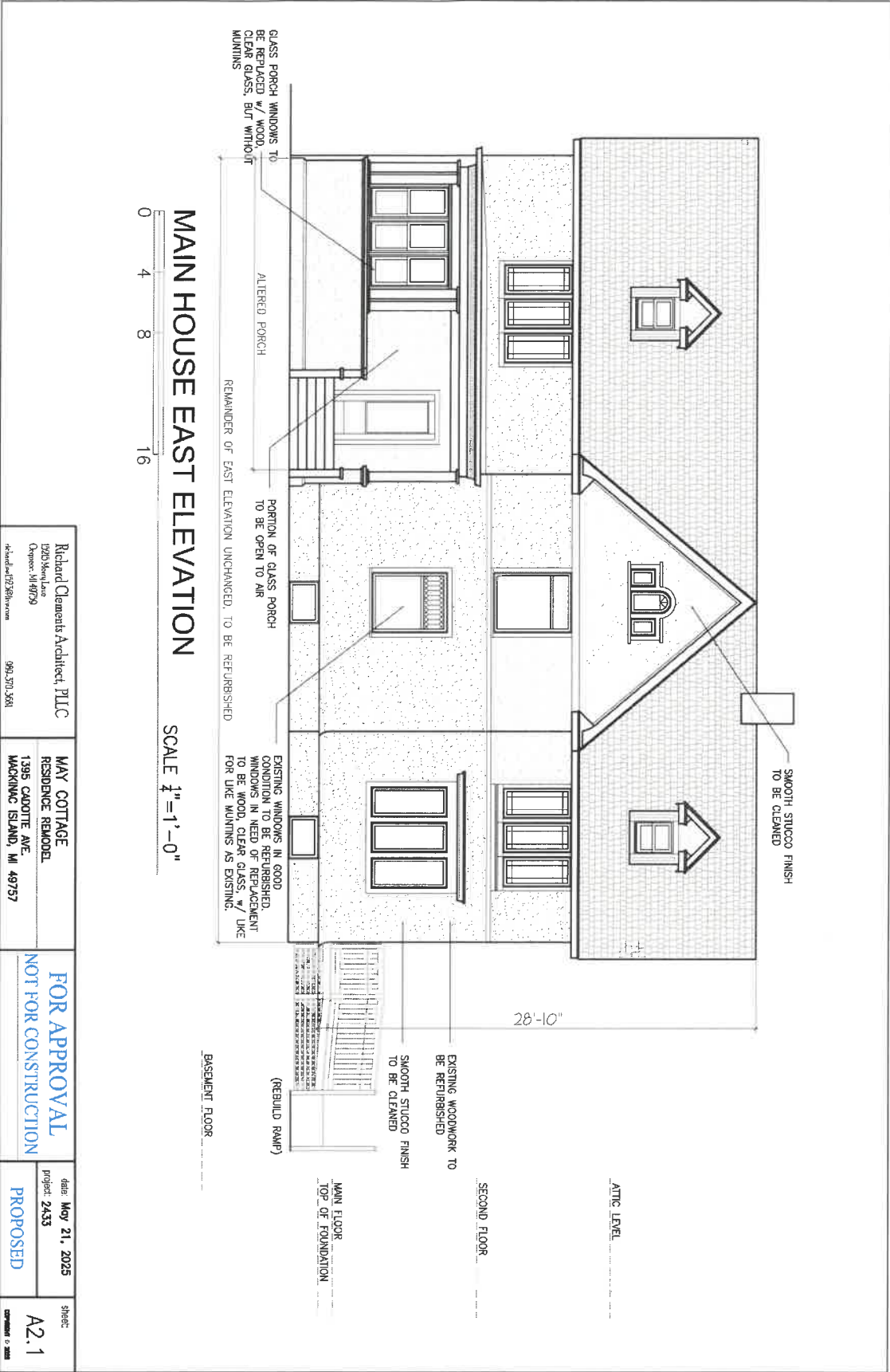




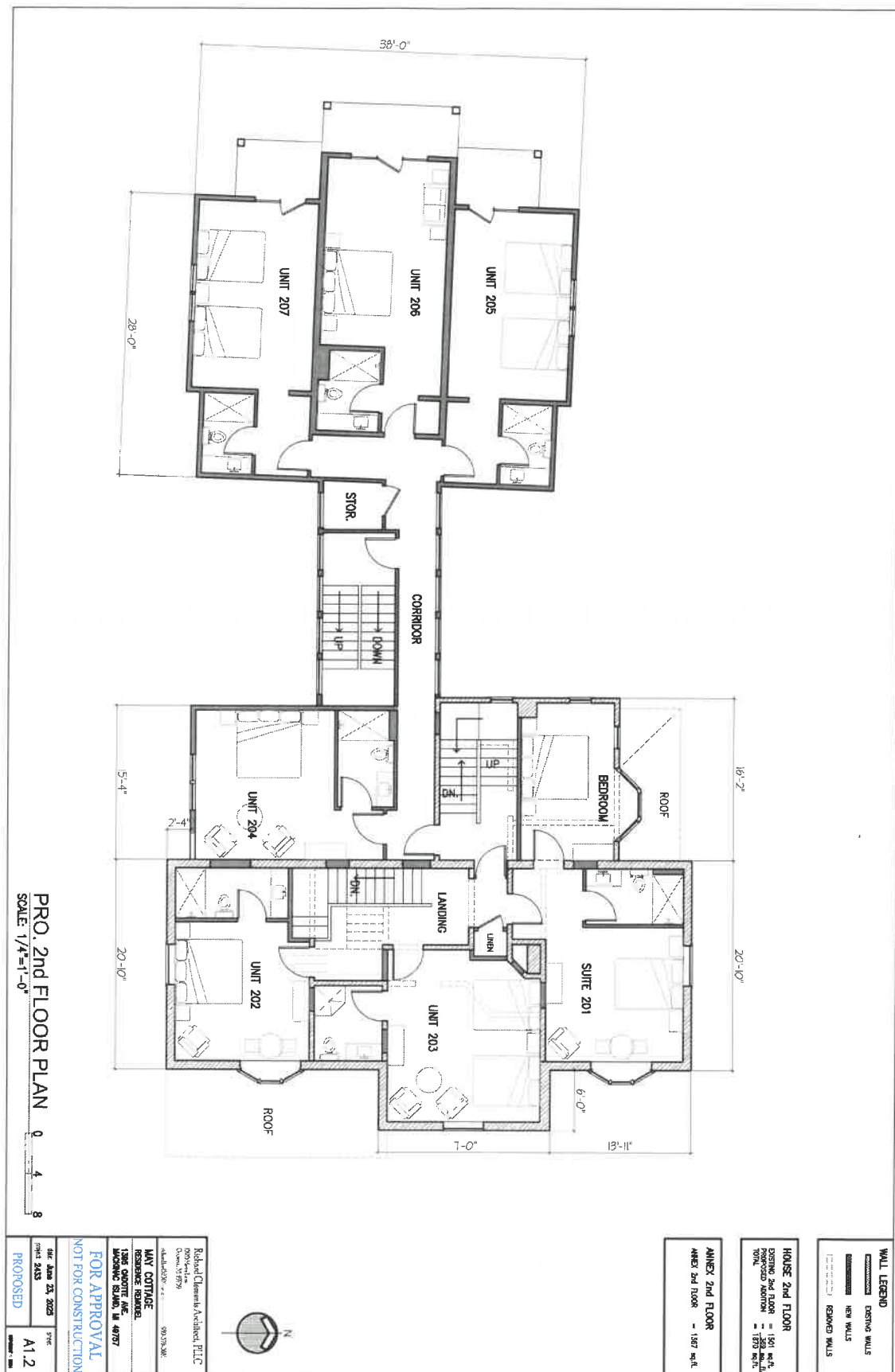


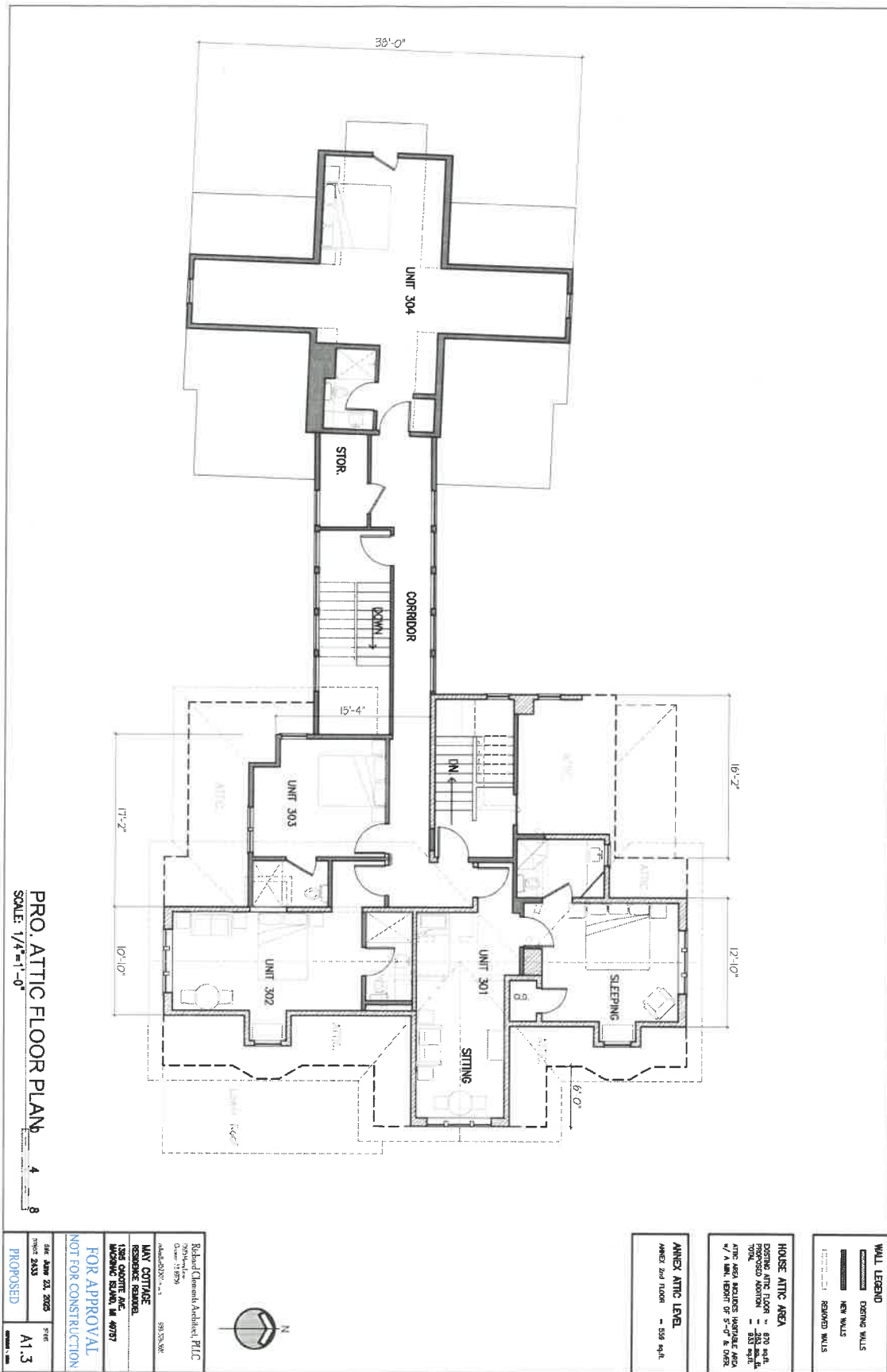


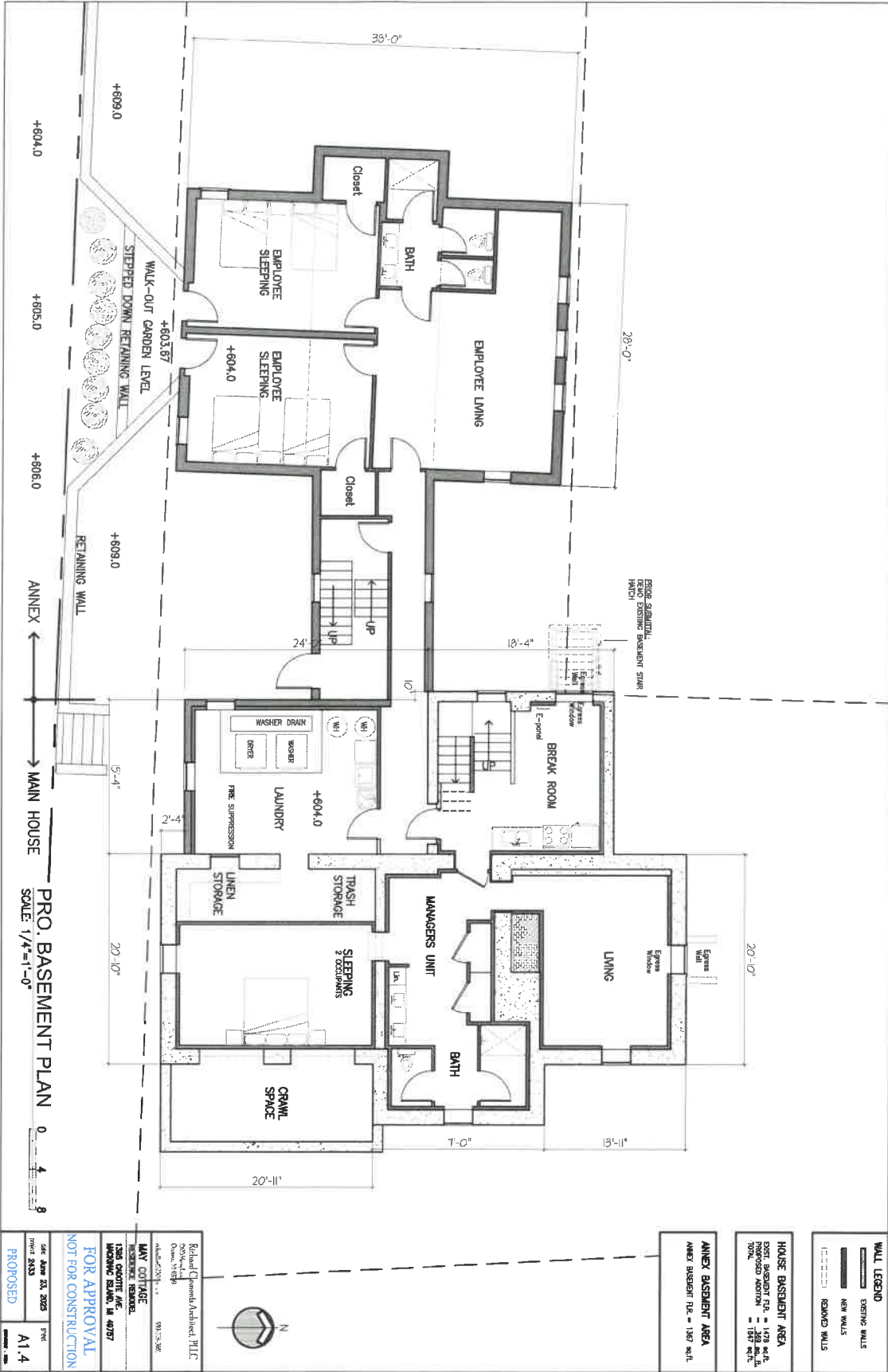




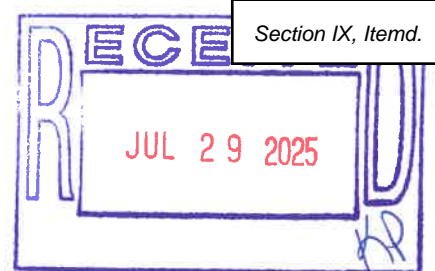








File No. HB24-013-058
Exhibit N
Date 7-29-25
Initials KP



Stonecliffe Properties LLC – Covered Walkway Awnings Proposal (Project Addendum)

Project Description:

This addendum proposes the installation of two fabric awnings to provide covered walkways between the newly constructed kitchen, the General Store, and the Barbecue Pavilion. The awnings will feature scalloped edges and a dark green color selected to blend in with existing structures and surrounding landscape, minimizing visual impact. They are non-permanent, removable structures that allow for evaluation of site operations before committing to any permanent build. A small, discreet server staging area, fully screened by landscaping, is also included.

Description of Effect on Adjoining Lands:

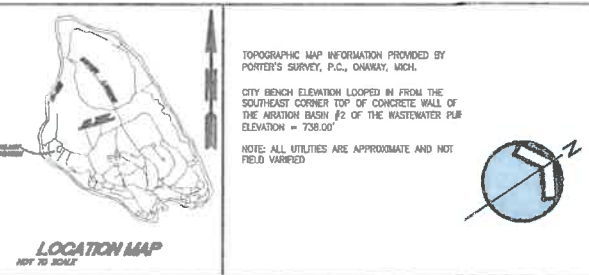
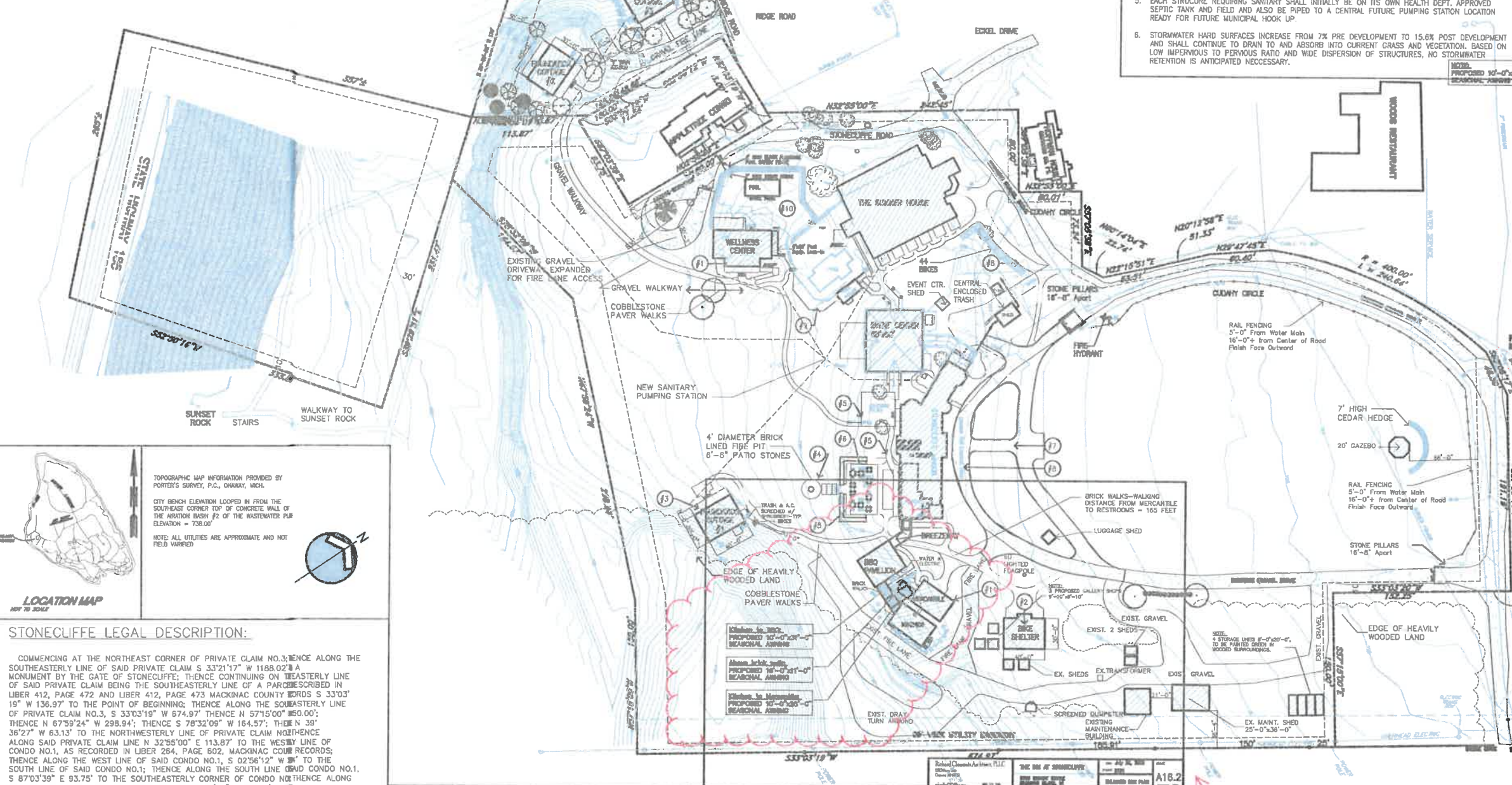
There will be no negative effect on adjoining lands. The awnings are designed to blend into the environment and preserve open space. No excavation or structural expansion will occur. Landscaping screens the staging area from guest view, and the awnings' temporary nature limits long-term visual impact.

Description of Operations:

The awnings will provide safe, weather-protected routes for staff moving food and supplies between the kitchen, General Store, and Barbecue Pavilion. This improves service and protects both personnel and product during inclement weather. The General Manager and Facilities Director will oversee seasonal use and maintenance.

FOUNDATION COTTAGES LOT LEGAL DESCRIPTION:

PRIVATE CLAIM NO.2 COM AT THE NELY COR OF PC 2 TH S 32 DEG 1'45"W 4020.8 FT ALG SE'LY LINE OF PC 2 TO THE POB TH N 40 DEG 40'50"W 130.0 FT TH N 14 DEG 18'18"E 257.95 FT M/L TO S'LY LINE OF STONECLIFFE CONDO VI THELY AND N'LY ALG CONDO BOUNDARY TO THE N LINE OF AN EASEMENT (282/163) TH B ALG N LINE OF SAID EASEMENT TO THE E'LY LINE OF PC 2 WITH SAID POINT BEING 132 DEG 51'45"W 3523.82 FT FROM THE NELY COR OF PC 2 TH S 32 DEG 51' 45"W 4020.0 FT M/L ALG SE'LY LINE OF PC 2 TO THE N LINE OF A PARCEL DESC IN 289 TH 107 DEG 32'W 85.75 FT TH S 02 DEG 28'W TO SE'LY LINE OF PC 2 TH S 32 DEG 51'45" ALG SE'LY LINE TO THE POB. PART OF PC 2.



STONECLIFFE LEGAL DESCRIPTION:

COMMENCING AT THE NORTHEAST CORNER OF PRIVATE CLAIM NO.3; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID PRIVATE CLAIM S 33°21'17" W 1188.02' TO A MONUMENT BY THE GATE OF STONECLIFFE; THENCE CONTINUING ON THE EASTERLY LINE OF SAID PRIVATE CLAIM BEING THE SOUTHEASTERLY LINE OF A PARCEL DESCRIBED IN LIBER 412, PAGE 472 AND LIBER 412, PAGE 473 MACKINAC COUNTY RECORDS S 33°03'19" W 136.97' TO THE POINT OF BEGINNING; THENCE ALONG THE SOUTHEASTERLY LINE OF PRIVATE CLAIM NO.3, S 33°03'19" W 674.97' THENCE N 57°15'00" W 860.00'; THENCE N 67°59'24" W 298.84'; THENCE S 78°32'09" W 164.57'; THENCE N 39°36'27" W 63.13' TO THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO.1; THENCE ALONG SAID PRIVATE CLAIM LINE N 32°55'00" E 113.87' TO THE WESTERLY LINE OF CONDO NO.1, AS RECORDED IN LIBER 284, PAGE 602, MACKINAC COUNTY RECORDS; THENCE ALONG THE WEST LINE OF SAID CONDO NO.1, S 02°56'12" W 8" TO THE SOUTH LINE OF SAID CONDO NO.1; THENCE ALONG THE SOUTH LINE OF SAID CONDO NO.1, S 87°03'39" E 93.75' TO THE SOUTHEASTERLY CORNER OF CONDO NO.1; THENCE ALONG THE EASTERLY LINE OF SAID CONDO NO.1, N 02°56'23" E 160.00' TO THE NORTHEAST CORNER OF SAID CONDO NO.1; THENCE ALONG THE NORTHERLY LINE OF SAID CONDO NO.1, N 87°03'19" W 8.00' TO THE NORTHWESTERLY LINE OF SAID PRIVATE CLAIM NO.3; THENCE ALONG THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO.3 S 32°55'00" E 242.45' TO THE SOUTHWESTERLY LINE OF A PARCEL DESCRIBED IN LIBER 260, PAGE 204 AND LIBER 260, PAGE 229, MACKINAC COUNTY RECORDS; THENCE ALONG SAID SOUTHWESTERLY LINE S 57°05'38" E 80.00' TO THE SOUTHEASTERLY CORNER OF SAID PARCEL; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID PARCEL S 57°05'38" E 60.01' TO THE NORTHEAST CORNER OF SAID PARCEL; THENCE S 98°38' E 73.24'; THENCE N 60°14'04" E 22.74'; THENCE N 22°15'51" E 53.51'; THENCE N 20°12'58" E 51.33'; THENCE N 29°47'45" E 60.40'; THENCE ALONG CURVE TO THE RIGHT HAVING A RADIUS OF 400.00', A DELTA OF 33°26'55", ARC LENGTH OF 233.52' AND A CHORD WHICH BEARS N 59°02'27" E 230.21'; THENCE S 83°08'17" E 46.39' TO THE NORTHERLY LINE OF A 20' WIDE PRIVATE EASEMENT RECORDED IN LIBER 454, PAGES 366-369, MACKINAC COUNTY RECORDS; THENCE S 57°34' E 191.19' ALONG THE NORTH LINE OF SAID EASEMENT; THENCE S 33°03'20" W 20.00' TO THE NORTHWESTERLY CORNER OF A PARCEL DESCRIBED IN LIBER 412, PAGE 472 AND LIBER 412, PAGE 473, MACKINAC COUNTY RECORDS; THENCE ALONG THE NORTHERLY LINE OF SAID PARCEL S 33°03'19" W 152.25' TO THE SOUTHWESTERLY CORNER OF SAID DESCRIBED PARCEL; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL S 57°15'00" E 150.00' TO THE POINT OF BEGINNING, CONTAINING 10.32 ACRES, BEING SUBJECT TO EASEMENTS OF RECORD, IF ANY, ALL BEING A PART OF PRIVATE CLAIM NO.3, T40N, 3E CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN.

STONECLIFFE SITE PLAN NOTES:

1. PROPERTY ZONED MB HOTEL BOARDINGHOUSE.
2. MINIMUM LOT SIZE REQUIREMENTS: AREA SHALL NOT BE LESS THAN 7500 SQ. FT. w/ A MIN. WIDTH OF 60' AT THE BUILDING LINE.
3. ACTUAL NEWLY COMBINED LOT SIZE = 10.32 AC (449,539 S.F.).
4. MINIMUM SETBACK REQUIREMENTS: FRONT = 30 FEET, SIDE = 10 FEET, REAR = 30 FEET.
5. NO BUILDING SHALL EXCEED 40 FEET OR 34 STORIES IN HEIGHT.
6. MAXIMUM LOT COVERAGE IS 40%.
7. ACTUAL LOT COVERAGE OF NEWLY COMBINED PARCELS IS 15.7% = 70,347 S.F. = ALL BUILDINGS, PATIOS, COBBLES, PATHS, WALKS, DRIVES. (AN INCREASE OF 365 S.F. FOR THIS PROJECT, WHICH INCLUDES THE 3 TEMPORARY AWNINGS OVER BRICK WALKS ALTERED IN INSTALLATION FROM PREVIOUS PLAN).
8. HOTEL UNITS:
 - 6.1. THE MANSION - 16 EXISTING HOTEL ROOMS
 - 6.2. THE SUMMERHOUSE - 31 EXISTING HOTEL ROOMS
 - 6.3. THE FOUNDATION COTTAGE - SINGLE FAMILY UNIT OR 1 HOTEL GUEST ROOM
 - 6.4. 16+31+1 = 48 TOTAL GUESTROOMS INCLUDING THE COTTAGE.
9. ALLOWABLE AND ACTUAL DENSITIES:
 - HOTELS: ALLOWABLE = 60 BEDROOMS PER ACRE = 60 x 8.64 ACRES = 518 ALLOWED.
 - HOTEL USE = 47-50 ACTUAL = 10% OF SITE UTILIZED AS HOTEL USE. THUS 90% OF SITE AVAILABLE FOR RESIDENTIAL USE.
 - DWELLING UNITS ALLOWED = 20 DWELLING UNITS PER ACRE x (8.64 ACRES x 90%) = 155 ALLOWED, 1 PROPOSED.
10. AT LEAST 1 BICYCLE SPACE PER BEDROOM IS PROVIDED.

SITE NOTES:

1. BICYCLE PARKING RACKS ARE PROVIDED AT THE COTTAGE AND AT THE SUMMERHOUSE AND AT THE BICYCLE PAVILION FOR THE MANSION. 1 BIKE SPACE PER BEDROOM.
2. SHRUBBERY SCREENED TRASH ADJACENT TO EACH COTTAGE. ALL TRASH FROM EACH STRUCTURE THEN GOES TO A CENTRAL TRASH COLLECTION POINT INTO A SHED WITHIN THE GATED UTILITY AREA.
3. LIGHTING - SEE INDIVIDUAL STRUCTURES FOR BUILDING LIGHTING, NO PATHWAY LIGHTING PROPOSED.
4. A.C. CONDENSERS - SEE INDIVIDUAL STRUCTURES FOR BUILDING COMPRESSORS DISGUISED w/ SHRUBBERY.
5. EACH STRUCTURE REQUIRING SANITARY SHALL INITIALLY BE ON ITS OWN HEALTH DEPT. APPROVED SEPTIC TANK AND FIELD AND ALSO BE PIPED TO A CENTRAL FUTURE PUMPING STATION LOCATION READY FOR FUTURE MUNICIPAL HOOK UP.
6. STORMWATER HARD SURFACES INCREASE FROM 7% PRE DEVELOPMENT TO 15.6% POST DEVELOPMENT AND SHALL CONTINUE TO DRAIN TO AND ABSORB INTO CURRENT GRASS AND VEGETATION. BASED ON LOW IMPERVIOUS TO PERVIOUS RATIO AND WIDE DISPERSION OF STRUCTURES, NO STORMWATER RETENTION IS ANTICIPATED NECESSARY.

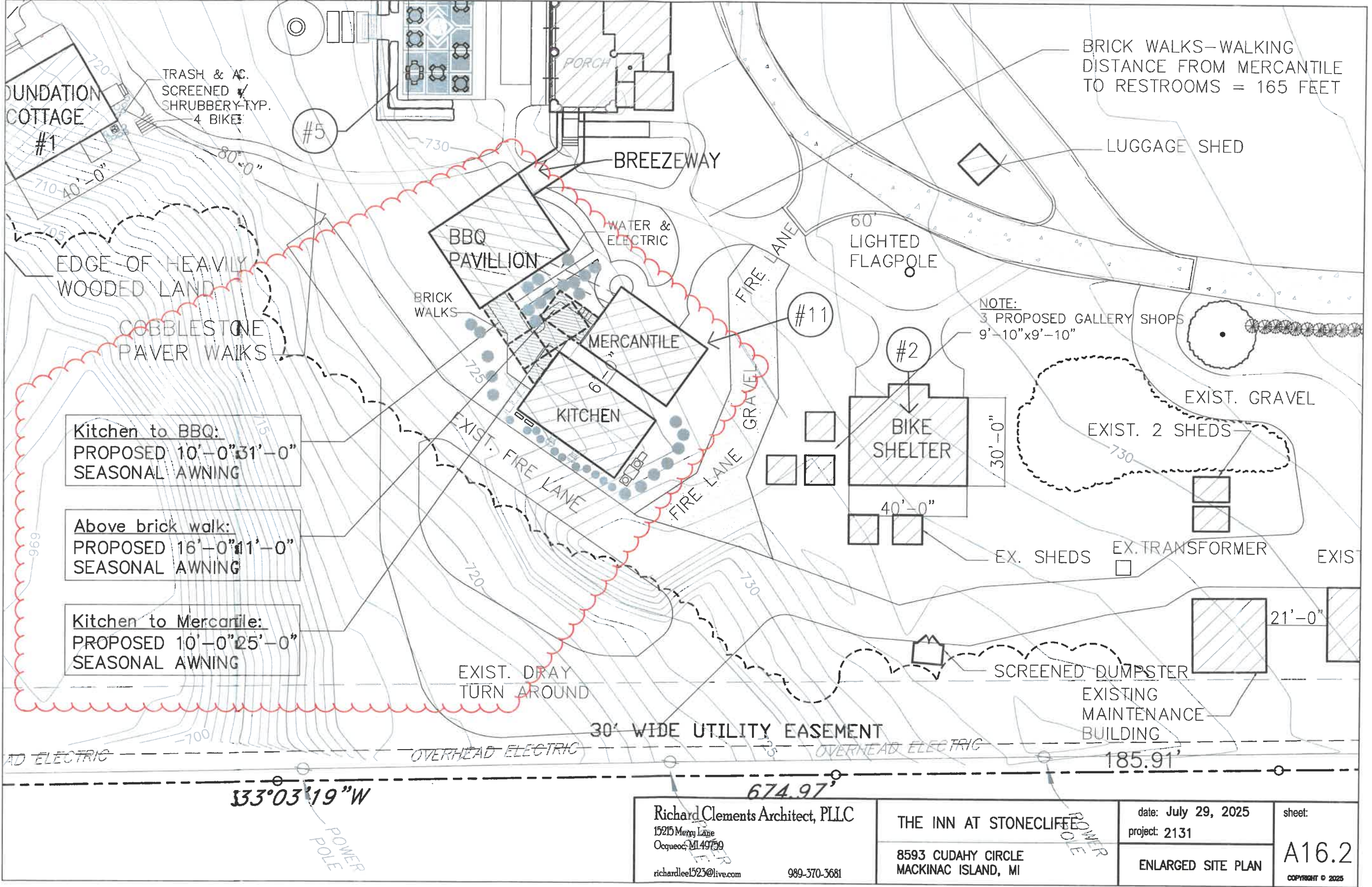
LEGEND:

- KEY: =
1. ADDITION OF A WELLNESS CENTER BUILDING WHICH INCLUDES AN EXERCISE ROOM WITH HIS & HERS LOCKERS AND BATHS.
 2. ADDITION OF A BICYCLE SHELTER.
 3. ADDITION OF A FOUNDATION COTTAGE #1.
 4. ADDITION OF A PATIO WITH 4'x4' FIRE PIT AREA.
 5. CHANGE OUT REAR PAVER WALKWAYS & PATIOS WITH NEW COBBLESTONE PAVERS.
 6. ADD A SMALL WATER FEATURE FOUNTAIN TO THE EXISTING PATIO AREA OFF OF THE REAR COVERED EXPA.
 7. ADDITION OF A SECONDARY COBBLESTONE PAVER ARRIVAL LOOP FOR HORSE AND CARRIAGE TRAFFIC.
 8. REPLACE THE OLD PAVER DRIVE & WALKWAYS TO SUMMERHOUSE WITH NEW COBBLESTONE PAVERS.
 9. CUT BACK EXISTING POOL PATIO BY 12'. MOVE BACK PATIO DECK FENCE 12' WITH NEW ALUMINUM 4' HIGH BRONZE COLOR POOL FENCE.
 10. OUTDOOR POOL AT WELLNESS CENTER & MISC. LANDSCAPE FEATURES.
 11. PROPOSED MERCANTILE BUILDING w/ ADDITION.

SITE PLAN

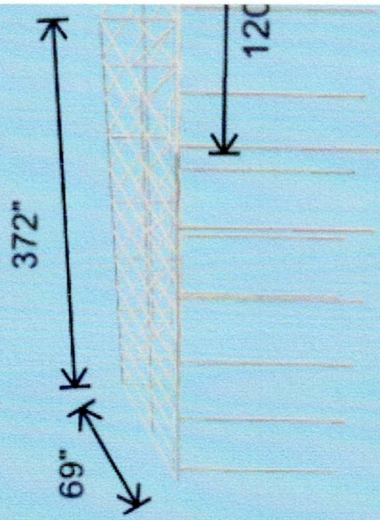
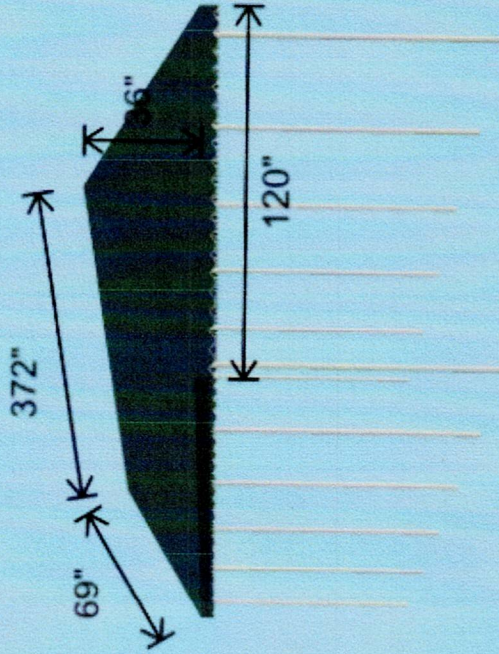
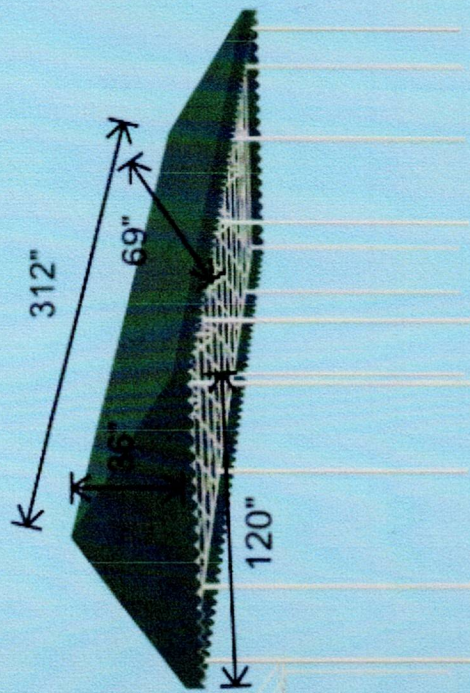
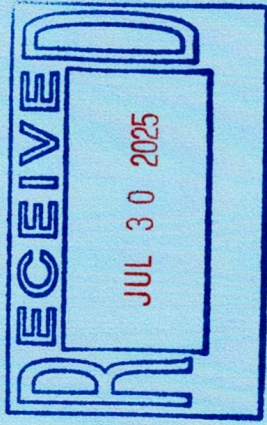
SEE ENLARGED PLAN

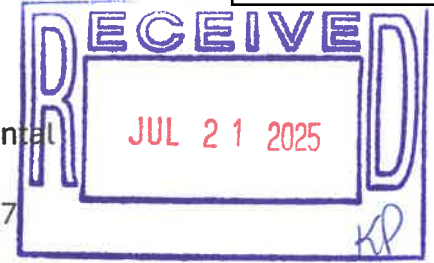
Richard Clements Architect, PLLC 1920 Merry Lane Oshtemo, MI 49879 richardcl@1920merry.com 989.370.3681	THE INN AT STONECLIFFE 8593 CUDAHY CIRCLE MACKINAC ISLAND, MI	date: July 29, 2025 project: 2131 SHEET: SITE PLAN	sheet A16.1 SHEET 1 OF 1
--	---	--	--------------------------------



Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1523@live.com 989-370-3681	THE INN AT STONECLIFFE		date: July 29, 2025 project: 2131	sheet:
	8593 CUDAHY CIRCLE MACKINAC ISLAND, MI		ENLARGED SITE PLAN	A16.2 COPYRIGHT © 2025

File No. 4824-013-058
 Exhibit P
 Date 7-30-25
 Initials KD



File No. H225-092-05647

Mackinac Island Mobility and Bicycle Rental

Exhibit G

1369 Hoban Street

Date 7-21-25

Mackinac Island, Michigan 49757

Initials KP

Mackinac Island Planning Commission,

Mackinac Island Mobility is located on the corner of Hoban and Cross Street (across from the Pontiac Lodge). To consolidate our operation we will be moving our setup and equipment return area inside our 1,600sf Lake View storage area. This area is currently accessed from two exterior 3ft. doors (photos attached) that will be replaced this fall with two 6ft. doors approved by the HDC last Month.

Additionally, due to the rainwater pouring off the non-guttered Lake View roof in that location, the HDC approved adding two 8 ft. awnings over the 6ft doors.

The Process

Customers will sign up as before and proceed south along our proposed pedestrian walkway on Cross Street to enter the Set-Up Area and have their equipment adjusted and prepared for their ride (all taking place indoors). Once fitted, they will walk their bikes out to Cross Street where they will mount and ride to a clear exit. Once our 6ft. doors are installed, they may either walk or ride their bikes onto Cross Street to a clear exit.

Upon their return, they will enter Cross Street from Hoban Street and ride south to the return area where they will dismount and pay for their bicycle ride.

Additionally, to assist carriage and taxi drivers in recognizing the Cross Street side walk we propose to provide and pay for the painting of crosswalk markings on Cross Street at Hoban. (see drawing).

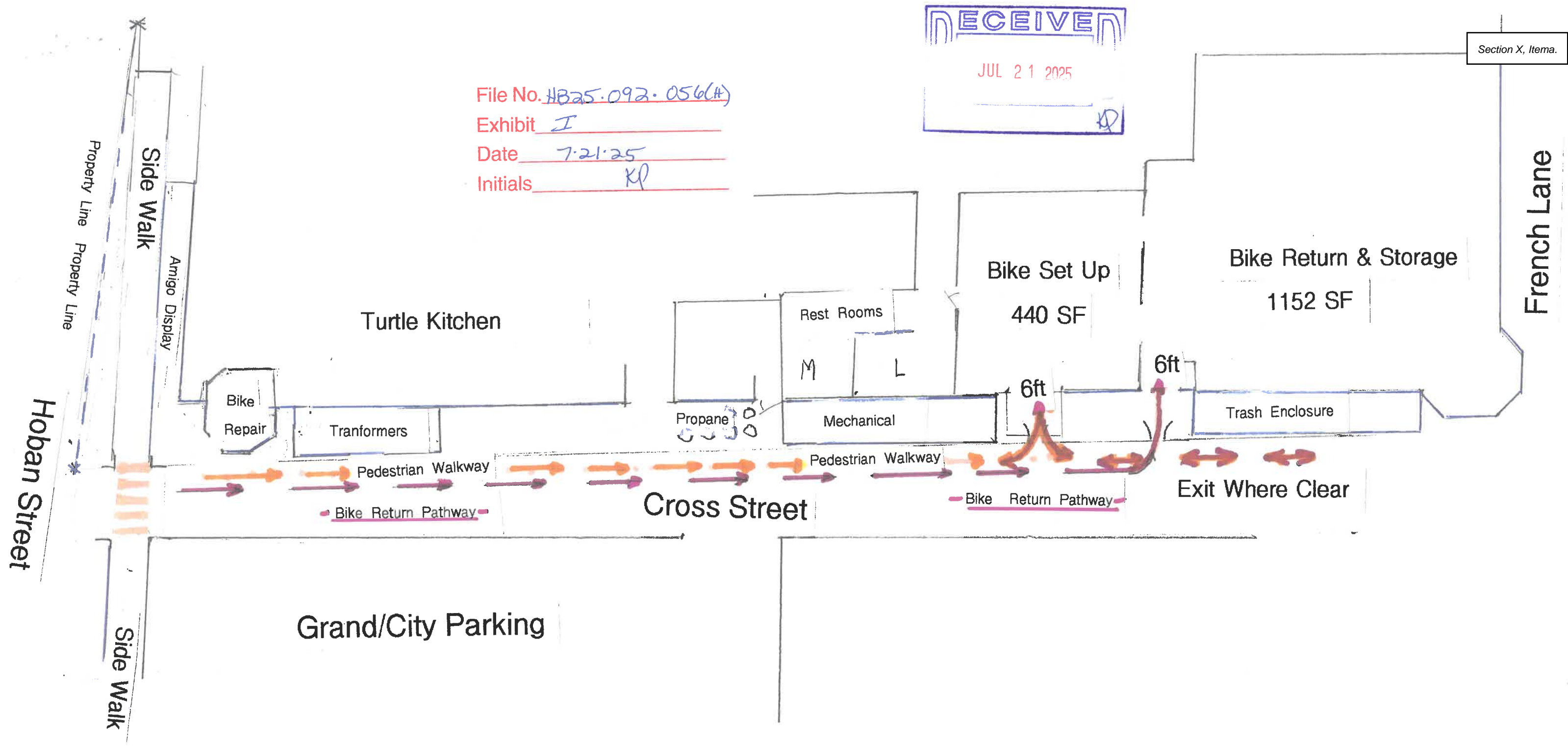
Thank you,

Ira Green

Mackinac Island Mobility

RECEIVED
JUL 21 2025

File No. HB25-092-056(A)
Exhibit I
Date 7.21.25
Initials KP



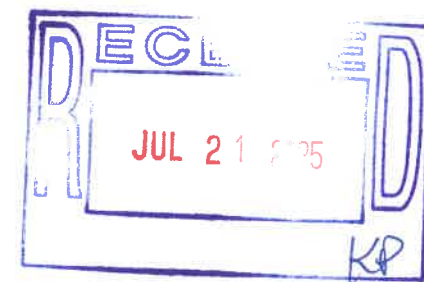


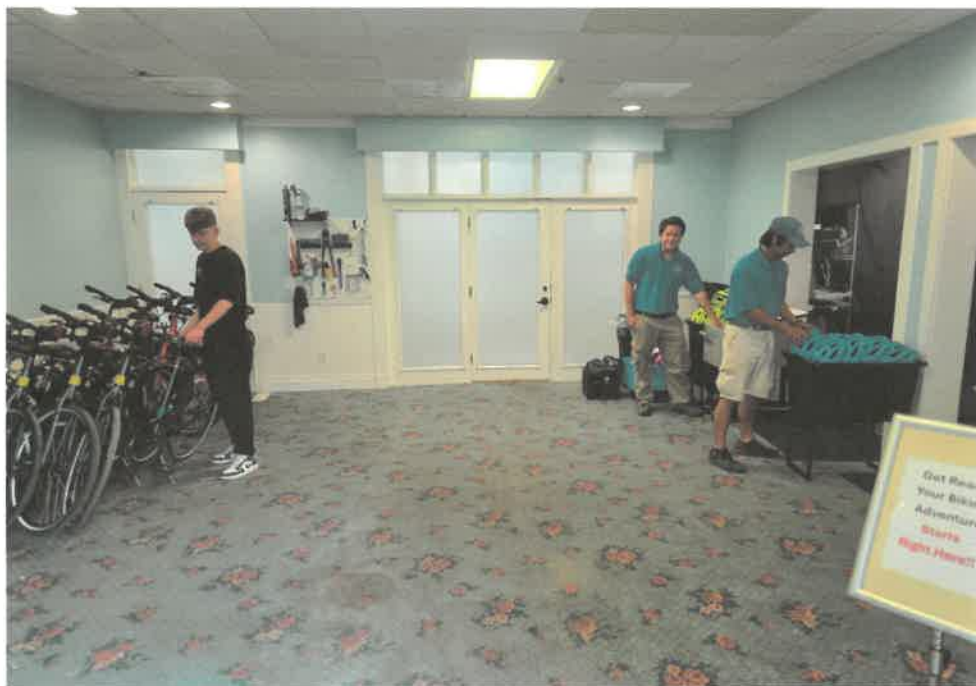
File No. HB25-092-056(4)

Exhibit H

Date 7.21.25

Initials KP







File No: R125-010-059

Exhibit A

Date 7.14.25

Initials KP

www.cityofmi.org

kep@cityofmi.org

906-847-6190

PO Box 455 Mackinac Island, MI 49757

CITY OF MACKINAC ISLAND

PLANNING COMMISSION & BUILDING DEPARTMENT

APPLICATION FOR ZONING ACTION

APPLICANT NAME & CONTACT INFORMATION:

Richard Thorne 906-280-6861

Phone Number

Email Address

Darthorne@msu.com

Property Owner & Mailing Address (If Different From Applicant)

3668 Ridge Rd
Mackinac Island MI 49757

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Is The Proposed Project Part of a Condominium Association?

Is The Proposed Project Within a Historic Preservation District?

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

Is a Variance Required?

Are REU's Required? How Many?

yes
N/A

yes
no
no

Type of Action Requested:

☒ Standard Zoning Permit

☐ Special Land Use

☐ Planned Unit Development

☐ Other _____

☐ Appeal of Planning Commission Decision

☐ Ordinance Amendment/Rezoning

☐ Ordinance Interpretation

Property Information:

A. Property Number (From Tax Statement): 051-770-010-00

B. Legal Description of Property: _____

C. Address of Property: 3668 Ridge Rd Mackinac Island MI 49757

D. Zoning District: R1

E. Site Plan Checklist Completed & Attached: ☒

F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) ☒

G. Sketch Plan Attached: ☒

H. Architectural Plan Attached: ☐

I. Association Documents Attached (Approval of project, etc.): ☐

J. FAA Approval Documents Attached: ☐

K. Photographs of Existing and Adjacent Structures Attached: ☐

Proposed Construction/Use:

A. Proposed Construction:

☐ New Building

☒ Other, Specify SPAWN

☐ Alteration/Addition to Existing Building

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Proposed Use: Recreational**C. If Vacant:**

Previous Use: _____

Proposed Use: _____

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the ~~Contractor~~ (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**



Signature

SIGNATURES

Signature



Please Print Name

Please Print Name

Signed and sworn to before me on the 14th day of July, 2025.




Notary Public

Mackinac County, Michigan
My commission expires: 8-7-30

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLYFILE NUMBER: R125-010-059FEE: \$150-DATE: 7-14-25CHECK NO: 1174INITIALS: KP

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review
Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Legal description of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Present zoning classification of the subject parcel	<input type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | |
|---|--------------------------|-------------------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|--------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|--------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- | | | |
|--|--------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Utility Information

- | | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|--|--------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

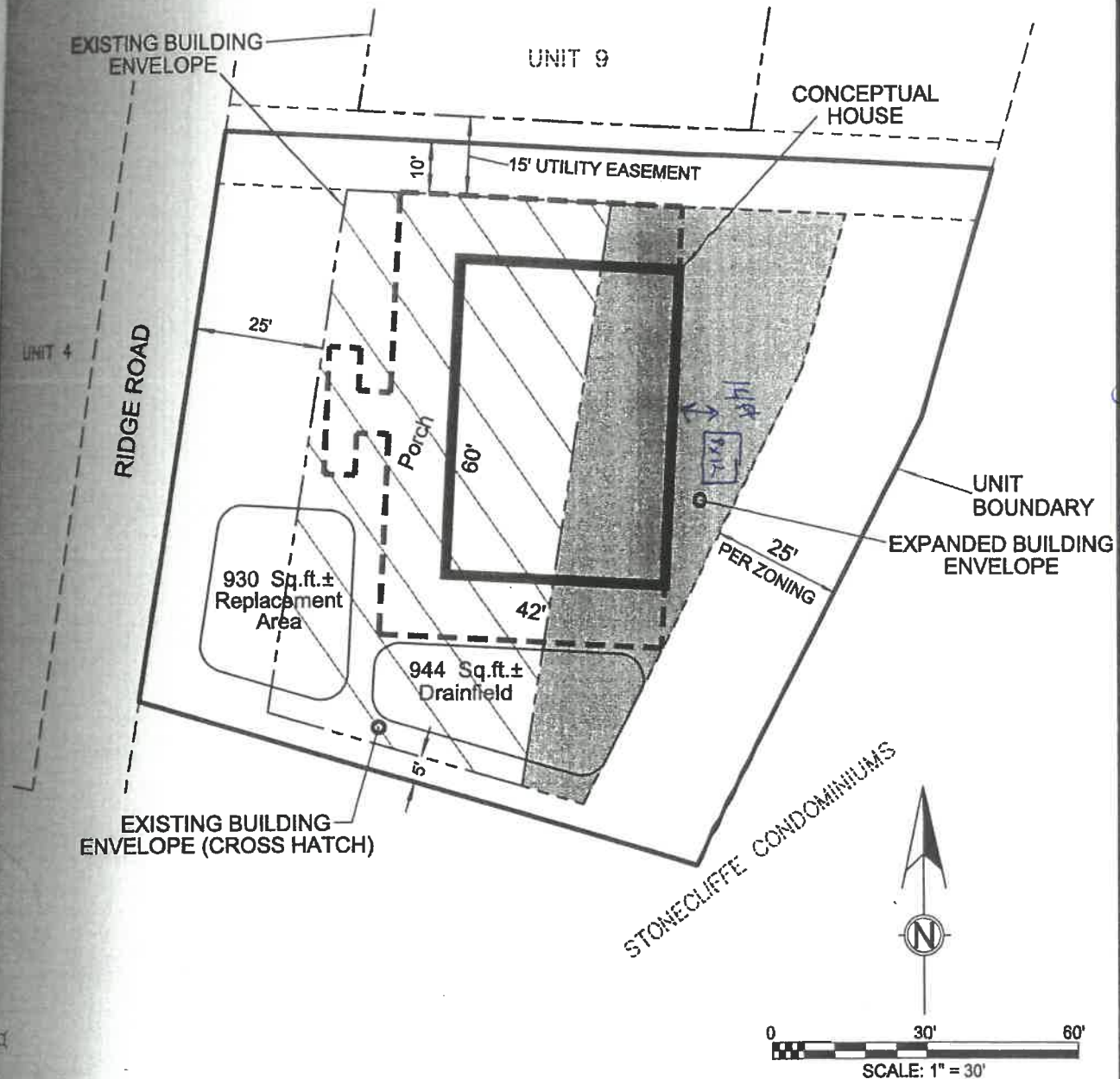
Architectural Review
Informational Requirements (Section 18.05)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

File No. B25-010-059Exhibit BDate 7-14-25Initials KD**SURVEY EXHIBIT**

UNIT 10, FOREST RIDGE CONDOMINIUM REPLAT No. 1
 PRIVATE CLAIM No. 2, T40N, R3W, CITY of MACKINAW ISLAND,
 MACKINAW COUNTY, MICHIGAN

JUL 14 2025



8x12 Floating Deck / with Barrel Stairs

FOR:

LOU SALVATORE

JUNE 27, 2016

PC 2, T40N, R3W
 FB:

DRAWN: BKF
 CHECK: BKF

PROJECT NO.
 15-040S



FULLFORD SURVEYING & MAPPING, P.C.

PO BOX 969
 5097 S. STRAITS HIGHWAY, SUITE A
 INDIAN RIVER, MI 49749
 PHONE: 231-238-9199 FAX: 231-238-9195

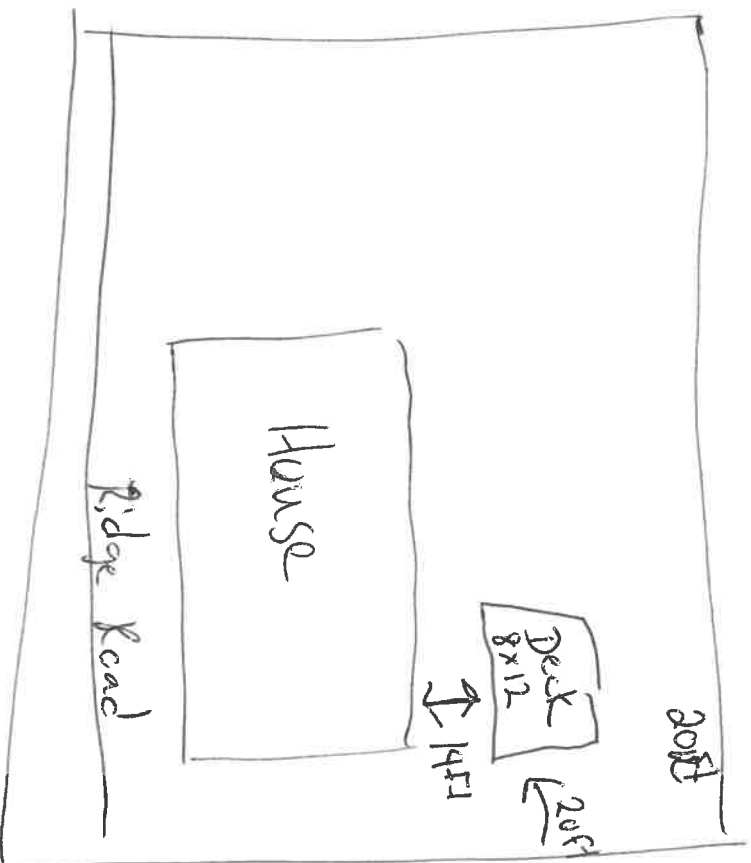
1d Floating Deck 8'x12"
Barrel Spouts on Deck

Deck will Be 14ft of Back ~~area~~ Porch
Deck will sit on pavers.



Law Spivak
3668 Ridge Rd

File No. R135.010.059
Exhibit C
Date 7.14.25
Initials KP



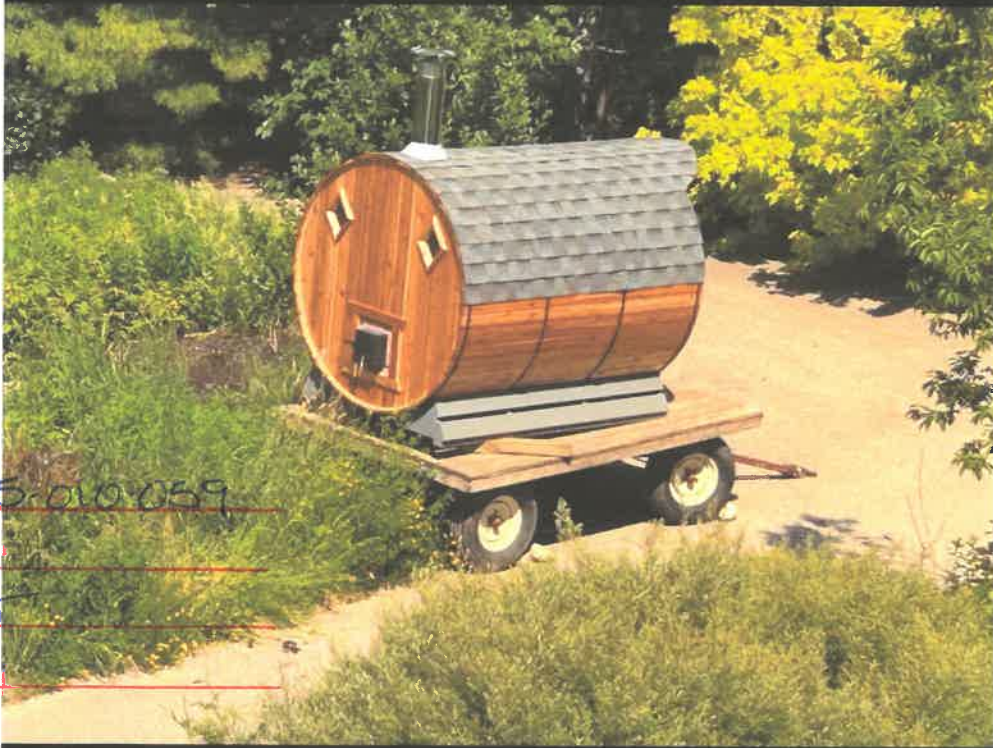
JUL 14 2025

File No. K125-010059

Exhibit F

Date 7-14-25

Initials KP



Katie Pereny

From: Katie Pereny <butrwings@hotmail.com>
Sent: Wednesday, July 16, 2025 1:21 PM
To: Katie Pereny
Subject: Fwd: Forest Ridge Condo HOA -- Approval for Backyard Sauna



Begin forwarded message:

From: Lou Salvatore <lousalvatore1@gmail.com>
Date: July 16, 2025 at 1:15:30 PM EDT
To: Katie Pereny <butrwings@hotmail.com>
Subject: Fwd: Forest Ridge Condo HOA -- Approval for Backyard Sauna

File No. B125-010-059
 Exhibit G
 Date 7.16.25
 Initials KP

Tim's approval.

Begin forwarded message:

From: Yahoo <tplutchak@yahoo.com>
Subject: Re: Forest Ridge Condo HOA -- Approval for Backyard Sauna
Date: July 15, 2025 at 6:15:55 PM EDT
To: Padilla Gerry <gpadilla@padillalegal.com>
Cc: Salvatore Lou <lousalvatore1@gmail.com>

Hello Lou,

I approve of your sauna project.

Tim Plutchak, Unit 1 Forest Ridge Condominium Assn.

Have a great day.
 Let me know if this will work for you.

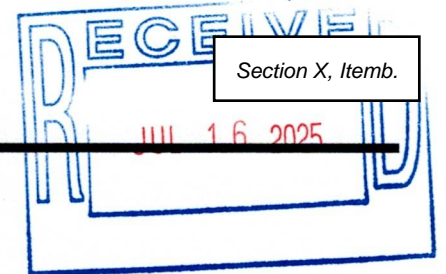
Tim

On Jul 15, 2025, at 12:13 PM, Gerry Padilla <gpadilla@padillalegal.com> wrote:

Hi there,

I approve of your sauna project.

Gerry Padilla. Unit 3 Forest Ridge Condominium Assn
 Sent from my iPhone



Katie Pereny

From: Katie Pereny <butrwings@hotmail.com>
Sent: Wednesday, July 16, 2025 1:55 PM
To: Katie Pereny
Subject: Fwd: Richard (Dave) Thone -- Lou Salvatore Home (Sauna Permit Request)

File No. R125.010.059
Exhibit H
Date 7.16.25
Initials KP

Begin forwarded message:

From: Lou Salvatore <lousalvatore1@gmail.com>
Date: July 16, 2025 at 1:23:36 PM EDT
To: Katie Pereny <butrwings@hotmail.com>
Subject: Richard (Dave) Thone -- Lou Salvatore Home (Sauna Permit Request)

To: The City of Mackinac Island

Please allow Mr. Richard Thone to speak on my behalf regarding zoning/permitting of my proposal to have a sauna in my private backyard (where the sauna is not visible to other Island residents). I have chosen Mr Thone to work on this project as he has done considerable construction work on the Island (and for me), understands the logistics, knows the city employees and is very capable. If there is any other city requirements we need to fulfill, pls advise us. Many thanks.

Lou Salvatore

File No C25.066.064(4)

Exhibit E

Date 7-22-25 CITY OF MACKINAC ISLAND

Initials KP PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION

www.cityofmi.org

kep@cityofmi.org

906-847-6190

PO Box 455 Mackinac Island,

MI 49757

**APPLICANT NAME & CONTACT
INFORMATION:**

Please complete both sides of application.
The Fee and five (5) copies of the application, plans
and all required documents must be submitted to
the Zoning Administrator fourteen (14) days prior to
the scheduled Planning Commission Meeting.

Ryan Green

906 430 0968

Phone Number

ryan.green@theislandhouse.com

Email Address

Property Owner & Mailing Address (If Different From Applicant)

Todd Callenbert 7742 Main St Mackinac Island MI

Is The Proposed Project Part of a Condominium Association?

NO

Is The Proposed Project Within a Historic Preservation District?

yes

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Project Manager

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

Is a Variance Required?

NO

Are REU's Required? How Many?

NO

Type of Action Requested:

☒ Standard Zoning Permit
Decision

☐ Special Land Use

☐ Planned Unit Development

☐ Other _____

☐ Appeal of Planning Commission

☐ Ordinance Amendment/Rezoning

☐ Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): _____
- B. Legal Description of Property: Plat No 3 Lot 140
- C. Address of Property: 7463 Main St
- D. Zoning District: _____
- E. Site Plan Checklist Completed & Attached: _____
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) _____
- G. Sketch Plan Attached: _____
- H. Architectural Plan Attached: _____
- I. Association Documents Attached (Approval of project, etc.): _____
- J. FAA Approval Documents Attached: _____
- K. Photographs of Existing and Adjacent Structures Attached: _____

Proposed Construction/Use:

- A. Proposed Construction:
☐ New Building ☒ Alteration/Addition to Existing Building
☐ Other, Specify _____
- B. Use of Existing and Proposed Structures and Land:
 Existing Use (If Non-conforming, explain nature of use and non-conformity):

Proposed
Use: Pizza oven station

C. If Vacant:
Previous

Use: _____

Proposed

Use: _____

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the contractor (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a**

notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

[Signature]

SIGNATURES

Signature

Signature

Ryan Green

Please Print Name

Please Print Name

Signed and sworn to before me on the 22 day of July, 2025.



Kathryn Pereny

Notary Public

County, Michigan
My commission expires: _____

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

OFFICE USE ONLY

FILE NUMBER: _____ FEE: _____

DATE: _____ CHECK NO: _____ INITIALS: _____ Revised October 2023

October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist
Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review
Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Present zoning classification of the subject parcel	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris,	<input type="checkbox"/>	<input checked="" type="checkbox"/>

trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.

13. Proposed construction start date and estimated duration of construction.

☐
☒

14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission

☐
☒

Natural Features

Provided

Not Provided or Applicable

15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)

☐
☒

16. Topography of the site with at least two- to five-foot contour intervals

☐
☒

17. Proposed alterations to topography or other natural features

☐
☒

18. Earth-change plans, if any, as required by state law

☐
☒

Physical Features

Provided

Not Provided or Applicable

19. Location of existing manmade features on the site and within 100 feet of the site

☐
☒

20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site

☐
☒

21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units

☐
☒

22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
25. Description of Existing and proposed on-site lighting (see also Section 4.27)

☐☒☐☒☐☒☐☒Utility InformationProvidedNot Provided
or Applicable

26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand
27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)
28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)
29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.

☐☒☐☒☐☒☐☒

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Architectural Review

Informational Requirements (Section 18.05)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Dave,

Section X, Itemc.

We have moved the Pizza Oven outdoor for this season alone. UPAE are working towards drawings for approval from the state to move the oven back inside for the 26 season. With that being said, everything that is existing where the oven sits now, was there prior to us moving the oven. I look forward to working with you to resolving this situation, and seeing that the existing structure meets all required specifications.

File No. C25.066.064(H)

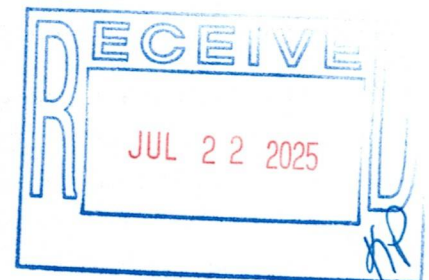
Exhibit B

Date 7-23-25

Initials KP



7/21/25





Section X, Itemc.



Section X, Itemc.

File No. C25-066-064(H)Exhibit FDate 7-22-25Initials KL

File No. 025-057-065 (4)

Exhibit A

Date 7-29-25

Initials KP

Section X, Itemd.

JUL 29 2025

CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION

www.cityofmi.org

kep@cityofmi.org

906-847-6190

PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Barry J Polzin Architects

101 N Lakeshore Blvd. Marquette, MI 49855

906-226-8661 bpolzin@bjparchitects.com

Phone Number

Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Mackinac Market, LLC

251 Little Falls Drive, Wilmington, Delaware 19808

Is The Proposed Project Part of a Condominium Association? No

Is The Proposed Project Within a Historic Preservation District? No

Applicant's Interest in the Project (If not the Fee-Simple Owner): Architect

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? No

Is a Variance Required? No

Are REU's Required? How Many? TBD

Type of Action Requested:

X Standard Zoning Permit

 Special Land Use

 Planned Unit Development

X Other Change of Use

 Appeal of Planning Commission Decision

 Ordinance Amendment/Rezoning

 Ordinance Interpretation

Property Information:

A. Property Number (From Tax Statement): 051-550-057-00

B. Legal Description of Property: See A1.0

C. Address of Property: 7377 Main St. Mackinac Island, MI

D. Zoning District: C Commercial

E. Site Plan Checklist Completed & Attached: Yes

F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes

G. Sketch Plan Attached: Yes

H. Architectural Plan Attached: Yes

I. Association Documents Attached (Approval of project, etc.): N/A

J. FAA Approval Documents Attached: N/A

K. Photographs of Existing and Adjacent Structures Attached: Yes

Proposed Construction/Use:

A. Proposed Construction:

 New Building

X Alteration/Addition to Existing Building

 Other, Specify

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Retail/ApartmentsProposed Use: Retail/Apartments/ and Boarding House**C. If Vacant:**

Previous Use: _____

Proposed Use: _____

STATE OF MICHIGAN)
 COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

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- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Architect (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.


Signature

Richard Chambers

Please Print Name

SIGNATURES


Signature

Barry J Polzin

Please Print Name

Signed and sworn to before me on the 29th day of July, 2025.



Trista L France

Notary Public

Mackinac County, Michigan

My commission expires: 3/14/2031

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: C25-057-065(H)

FEE: 400 -

DATE: 7-29-25

CHECK NO: 109

INITIALS: KP

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review
Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- | | | |
|---|-------------------------------------|--------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|--------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|--------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- | | | |
|--|--------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Utility Information

Provided

Not Provided or Applicable

- | | | |
|--|--------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Architectural Review
Informational Requirements (Section 18.05)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

1. The plan shall be drawn to [a] scale of not greater than one inch equals 20 feet for a development of not more than three acres and a scale of not less than one inch equals 100 feet for a development in excess of three acres with north point and scale shown on the plan drawing. See sheet A1.0 for plans and north arrows.
2. The plan shall show an appropriate descriptive legend. North arrow, scale, date of preparation and the name and address of the individual or firm preparing the same. See attached plans
3. The property shall be identified by lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property. See attached Cover and A1.0
4. The topography of the site with at least two- to five-foot contour intervals and all natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features shall be shown. N/A.
5. Existing manmade features upon the site and within 100 feet of the same shall be identified. All features have been identified on Cover.
6. The location, proposed :finished floor and grade line elevations, size of proposed main and accessory buildings, the relationship of buildings to one another and to any existing structures on the site, the height of all buildings and square footage of floor space therein shall be disclosed. Site plans for multiple family residential development shall also include a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units. See attached plans
7. All proposed and existing streets, driveways, sidewalks and other bicycle or pedestrian circulation features upon and adjacent to the site shall be shown, together with the location, size and number of on-site parking areas, service lanes thereto, and parking and delivery or loading areas. See Cover
8. The location, use and size of open spaces together with landscaping, screening, fences, walls and proposed alterations of topography or other natural features shall be indicated. No changes proposed to any landscaping.
9. The proposed operations on the site shall be described, in writing, in sufficient detail to indicate the effect, if any, upon adjoining lands and occupants with any special features which are proposed to relieve any adverse effects to adjoining land and occupants. Any potential demands for future community services will be described, together with any special features which will assist in satisfying such demands. See A1.0 for project description, no changes in demands for services.
10. Any earth-change plans required by state law shall also be submitted with the application. N/A
11. On site lighting, surface water drainage for the site, proposed sanitary sewage disposal, water supply, solid waste storage and disposal, other utility services (i.e., propane tanks, electrical service, transformers), and utility easements shall be included in the plans. Water and sewer are existing, no propane, additional electrical will be required.

12. A general description and location of stormwater management system shall be shown on the grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features. **N/A no change**
13. Any feature of the proposed development that would directly or indirectly impact a public right-of-way, public utility, or adjoining property. **No changes to a public right-of-way, public utility or adjoining property.**
14. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan). **This is minor change to the façade any materials, equipment, construction debris, and any trash will be stored within the building and then hauled by Drey pickup to be scheduled with Mackinac Island Service company as necessary.**
15. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. **This is minor change to the façade any materials, equipment, construction debris, and any trash will be stored within the building and then hauled by Drey pickup to be scheduled with Mackinac Island Service company as necessary.**
16. Proposed construction start date and estimated duration of construction. **Proposed start date November 2025 completed by Mid-April 2026**
17. Such other information as may be determined to be necessary by the planning commission

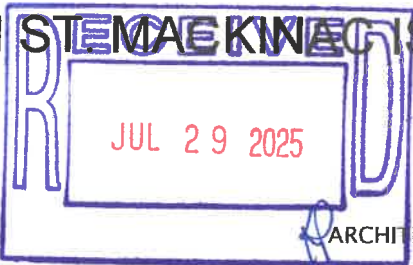
MAIN STREET HOUSING

File No. C25-057-065(4) 7377 MAIN STREET, MACKINAC ISLAND, MICHIGAN

Exhibit C

Date 7.29.25

Initials KP



JULY 28, 2025

MACKINAC MARKET LLC
251 LITTLE FALLS DRIVE
WILMINGTON, DELAWARE 19808

ARCHITECT: BARRY J POLZIN ARCHITECTS INC.
101 N LAKESHORE BLVD.
MARQUETTE, MI 49855

LEGAL DESCRIPTION

ASSESSORS PLAT NO.3 SW'LY 63.08 FT OF LOT 134 EXC SW'LY 31.08 FT AND BOTTOMLANDS DESCRIBED AS: COMM AT NW'LY COR OF LOT 132 TH S 20 DEG 12'17"E ALONG NW'LY LINE OF LOTS 132,133 AND 134, 181.42 FT TH S 70 DEG 27'E 75.62 FT TO POB TH CONT S 70 DEG 27'E 32 FT TH S 27 DEG 09'W ALONG SHORE 32.28 FT TH N 70 DEG 27'20"W 28 FT TH N 18 DEG 15'E 32 FT TO POB

INDEX

- A1.0 COVER/LEGAL/SITE PLAN
- A1.1 PLANS
- A1.2 EXTERIOR ELEVATIONS
- A1.3 ROOF PLAN AND PHOTOS

NEW DOORS ARE WOOD FRAMED WITH CLEAR INSULATED GLASS. NEW TRIM IS WOOD(PAINTED)
NEW WINDOWS ARE ALUMINUM CLAD WOOD WINDOW UNITS WITH CLEAR INSULATED GLASS. ALL NEW TRIM IS WOOD (PAINTED).

ZONING: C COMMERCIAL

PROJECT DESCRIPTION:

THIS PROJECT IS A MIXED USE COMMERCIAL BUILDING. TO UTILIZE A UNFINISHED 2ND FLOOR AND MODIFY AN EXISTING APARTMENTS IN THE BUILDING AT 7377 MAIN STREET. THE UNFINISHED 2ND FLOOR WILL BECOME BOARDING HOUSE BEDROOMS AND BATHS TO HOUSE 12 EMPLOYEES. THE EXISTING APARTMENTS WILL BE DIVIDED TO CREATE A ONE BEDROOM APARTMENT ON THE FIRST FLOOR, A BOARDING HOUSE COMMON AREA ON THE SECOND FLOOR AND A TWO BEDROOM APARTMENT ON THE THIRD FLOOR.

EXTERIOR WORK WILL BE LIMITED TO THE EAST(WATER SIDE), WINDOWS AND DOORS WILL BE RELOCATED AND 3 CONDENSING UNITS WILL BE PLACED ON THE SECOND FLOOR BALCONY. 6 NEW ROOF VENTS WILL BE ADDED BUT WILL REMAIN HIDDEN FROM THE STREET VIEW.

BOARDING HOUSE AND APARTMENTS (PROPOSED USE)

SITE AREA = 3,404 S.F./0.078 ACRES	ALLOWED	PROPOSED
BOARDING HOUSE	13.6 BEDS	12 BEDS
SITE AREA = 3,404 S.F./0.078 ACRES	2.4 UNITS	2 UNITS (6 BEDS)
TOTAL PROPOSED OCCUPANCY:		18



LIC # 1301029135

BARRY J. POLZIN
ARCHITECTS

A1.0

1 of 4

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THE BIG STORE
RETAIL

LILAC TREE HOTEL
AND RETAIL

POPPINS

BAXTERS SHOES,
MAY'S FUDGE
TRADING POST

1,848 SqFt
550-055
MURDICKS FUDGE

VACANT
550-056

2,435 SqFt
550-057

DECKED OUT
RETAIL
550-058

550-059
HORSE CORRAL MALL

SITE PLAN

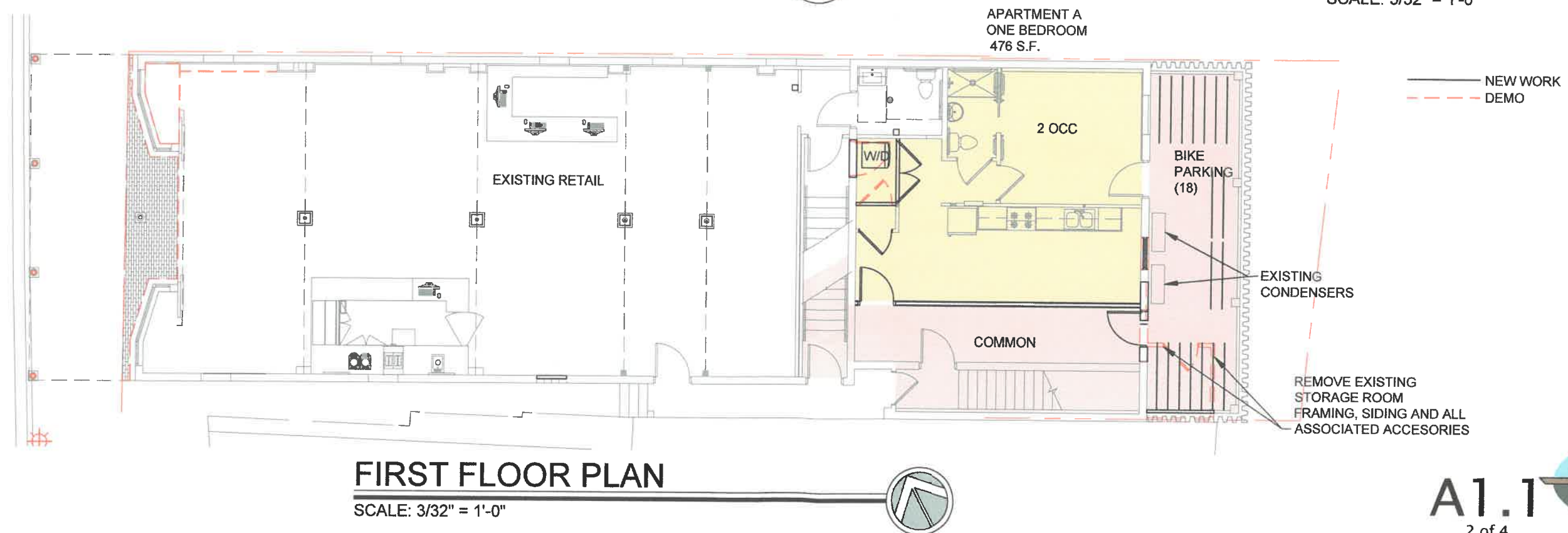
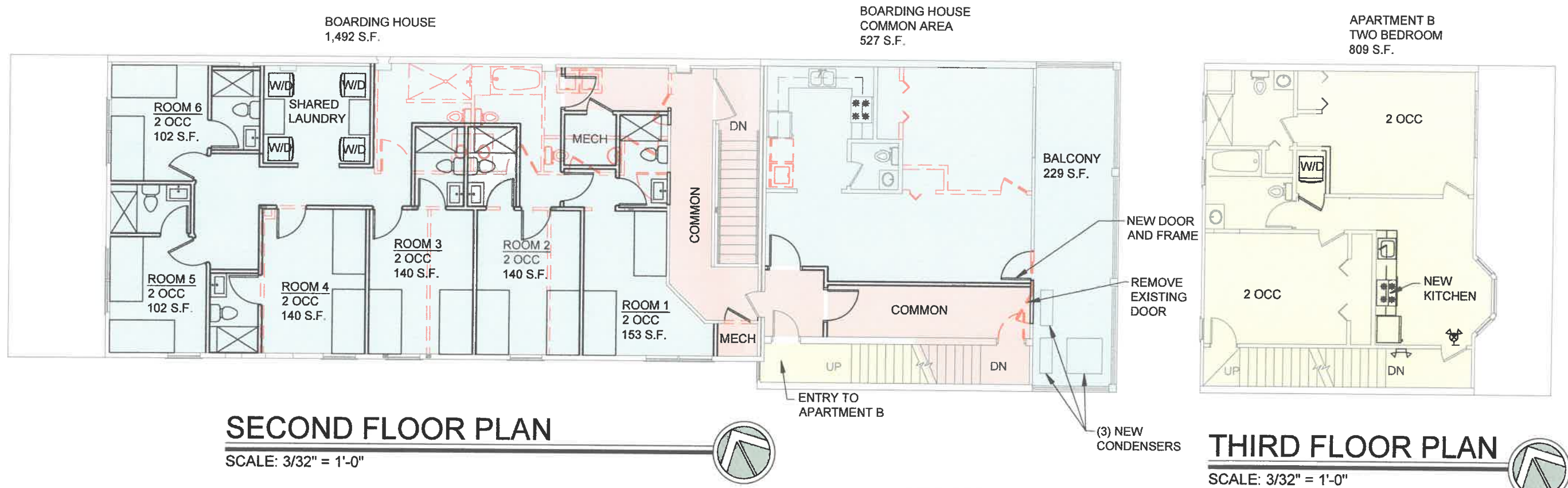
SCALE 1"=20'

MAIN STREET HOUSING

7377 MAIN ST. MACKINAC ISLAND, MICHIGAN

Section X, Itemd.

JULY 28, 2025



A1.1
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BARRY J. POLZIN
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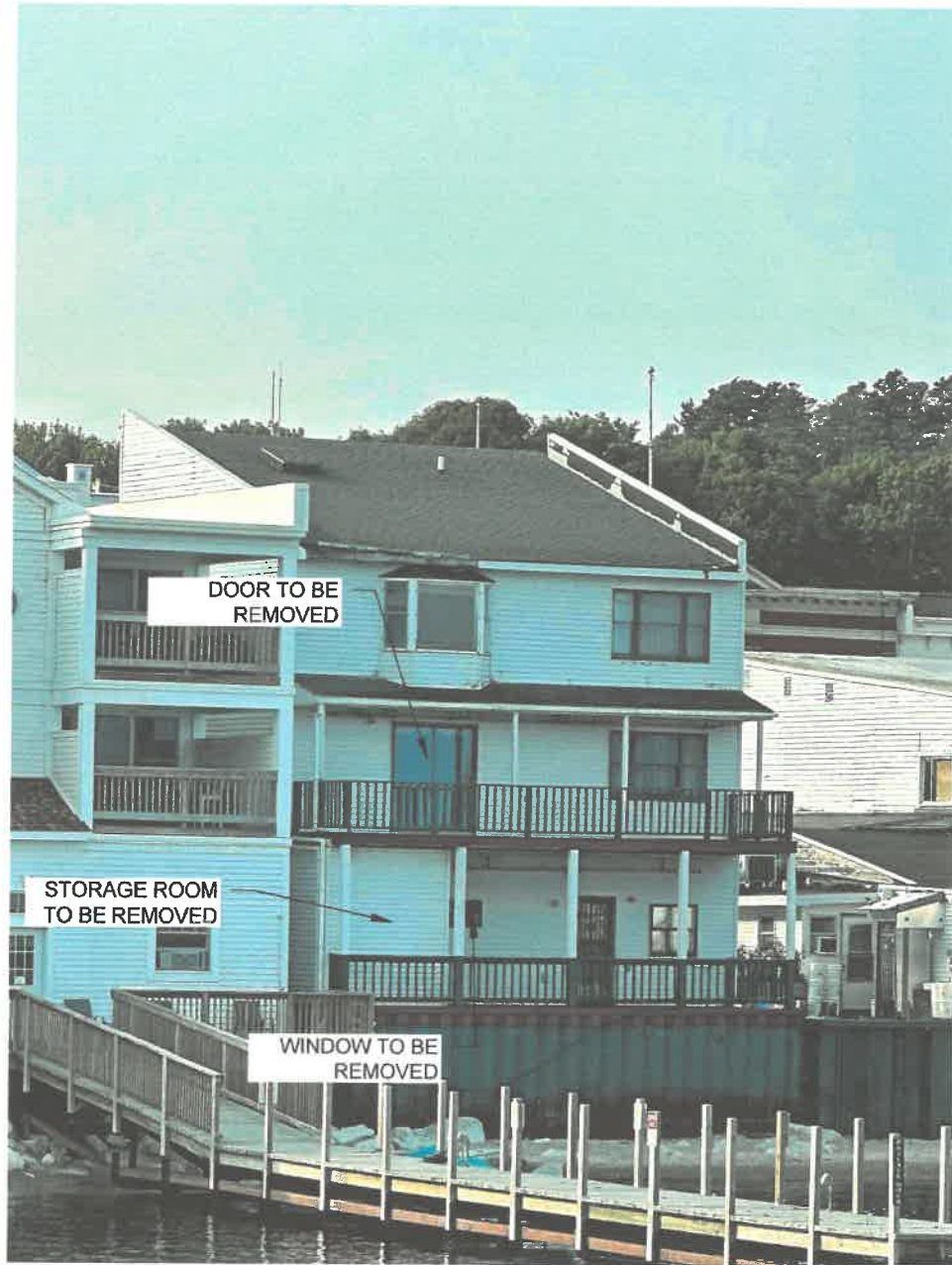
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MAIN STREET HOUSING

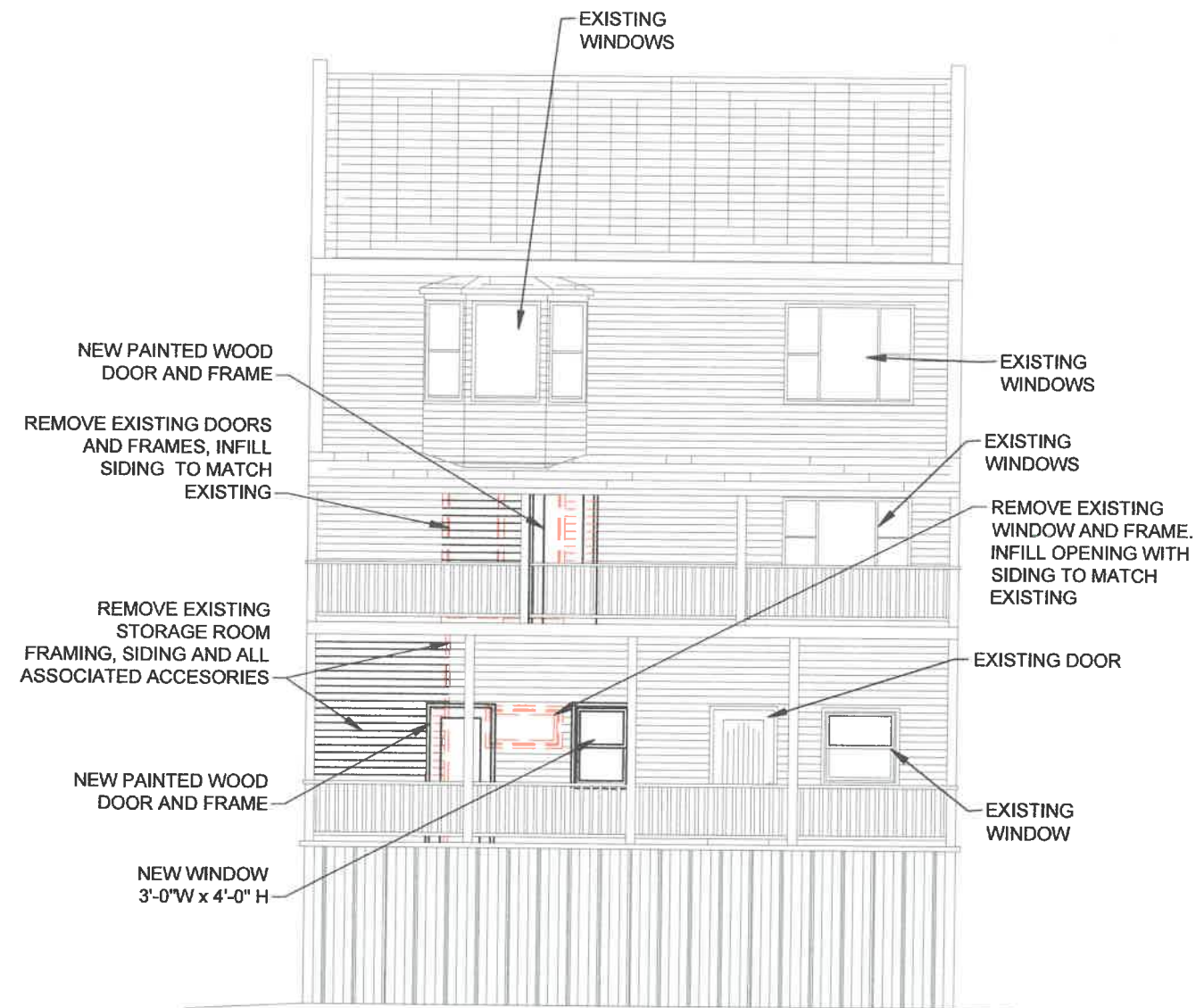
7377 MAIN ST. MACKINAC ISLAND, MICHIGAN

JULY 28, 2025

Section X, Itemd.



HARBOR SIDE



**PROPOSED EAST
EXTERIOR ELEVATION**

A1.2
3 of 4

**BARRY J. POLZIN
ARCHITECTS**

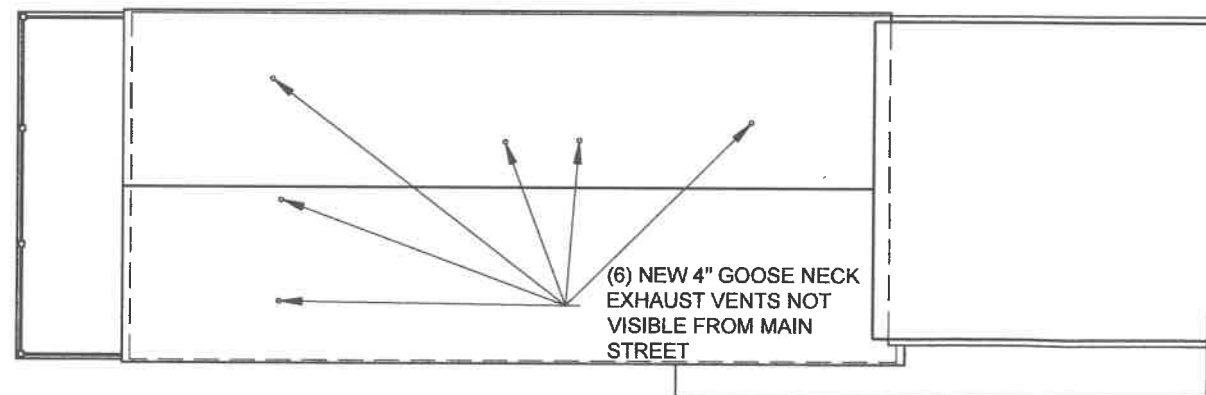
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MAIN STREET HOUSING

7377 MAIN ST. MACKINAC ISLAND, MICHIGAN

JULY 28, 2025

Section X, Itemd.



ROOF PLAN

SCALE: 1/16" = 1'-0"



A1.3

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