

# **CITY OF MACKINAC ISLAND**

## **AGENDA**

### **PLANNING COMMISSION**

**Tuesday, September 09, 2025 at 4:00 PM**

**City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan**

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**I. Call to Order**

**II. Roll Call**

**III. Pledge of Allegiance**

**IV. Approval of Minutes**

[a.](#) August 12, 2025

**V. Adoption of Agenda**

**VI. Correspondence**

**VII. Staff Report**

a. HDC Meeting Summary

b. DPW Update

**VIII. Committee Reports**

**IX. Old Business**

[a.](#) Zoning Changes/Updates

[b.](#) MD25-069-054(H) Doud Change of Use & Alteration Home to Hotel

[c.](#) C25-057-065(H) Mackinac Market Change of Use and Apartment Reno

**X. New Business**

[a.](#) R125-008-076 Pierson New Home Stonecliffe Manor 1

**XI. Public Comment**

**XII. Adjournment**

**MINUTES**

**PLANNING COMMISSION**

**Tuesday, August 12, 2025 at 4:00 PM**

**City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan**

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**I. Call to Order**

Chairman Straus called the meeting to order at 4:00 PM.

**II. Roll Call**

PRESENT

Trish Martin

Jim Pettit

Michael Straus

Anneke Myers

Mary Dufina

Lee Finkel

Staff: David Lipovsky, Erin Evashevski

**III. Pledge of Allegiance**

**IV. Adoption of Agenda**

Motion to approve as amended. Amendments were to remove item a, in Old Business, and add Hoban Hill Lighting Update to Staff Report.

Motion made by Myers, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

**V. Approval of Minutes**

a. July 8, 2025 Special Meeting

Motion to approve as written.

Motion made by Dufina, Seconded by Finkel.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

b. July 8, 2025 Regular Meeting

Motion to approve as written.

Motion made by Dufina, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

## **VI. Correspondence**

- a. Letter re: St. Ignace Township Master Plan

Straus read the letter aloud. Straus encouraged everyone to be part of this process.  
Motion to place on file.

Motion made by Myers, Seconded by Finkel.  
Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

## **VII. Staff Report**

- a. HDC Meeting Summary

Finkel summarized the August 12, 2025 meeting.

- b. DPW Update

Allen Burt shared some pictures of the construction progress. The buildings are beginning to be painted, equipment is being installed, railings placed in the tank, roofing systems being placed, demolition of the old sludge silo, and underground pipe work. Still on schedule to start up in December. Demolition will take place after start up.

- c. Hoban Hill Lighting

Lipovsky stated Hoban Hill lights have been taken care of. Doud stated egress lights are still on and there are no lights facing the street. The rest will be done this week. Pettit asked about the status of the whole project. Doud wasn't sure when Benser is starting. Myers asked Lipovsky to check on timing of the Zoning permit. [Benser permit is expired]

## **VIII. Committee Reports**

- a. Discussion of Special Meeting and Workshop with Adam Young

Motion to schedule new meeting September 9th at 3:00.

Motion made by Straus, Seconded by Martin.  
Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

Motion to schedule a public workshop on October 13th at 4:00

Motion made by Straus, Seconded by Myers.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

## IX. Old Business

### a. R425-098-051 Grand Hotel 4 Attached Dwelling Units Amendment

The applicant requested this application be withdrawn.

### b. R425-098-052 Grand Hotel 12 Dwelling Units

Evashevski stated after researching it was determined they will need a variance for density and get a special land use. Her opinion to the Planning Commission is that they can't grant a special land use until a variance is approved for density. So it should get the variance, and if approved come back for special land use approval. Straus asked about approval for the project as a whole, structure set back etc. Evashevski stated that is up to the applicant and the Planning Commission if they want to go through the process. Evashevski recommended they should do variance first. Then if approved do the rest. Pettit asked Evashevski if she looked in to the work force housing they offered last month similar to Stonecliffe. Evashevski stated Stonecliffe was different situation. Evashevski stated there are a number of ways to go about this. Myers stated it is hard for the Planning Commission to recommend something when they don't have all the details of restrictions. Jurcak stated they would offer 4 units but they would be the private landlord. Myers stated their preferences need to be recorded some way. Jurcak stated he and Evashevski talked about the City being the leasee and the City would sublease the units. The Grand would set the restrictions that must be met. No kids, no pets. Motion to send to ZBA with no recommendation due to the lack of complete information. Martin asked what the allowable density is. Evashevski stated 3 units. Burns stated boardinghouse is allowed as a special land use with occupancy of 30.

Motion made by Myers, Seconded by Finkel.

Voting Yea: Martin, Straus, Myers, Finkel

Voting Nay: Pettit, Dufina

### c. MD25-069-054(H) Doud Change of Use & Alteration Home to Hotel

Doud stated he is asking for approval. They have removed the corridor. The HDC approved with a contingency of approval of the porches. Straus stated a concern is the traffic. Taxis loading and unloading will cause potential issues. Could you load on the side? Doud stated he would like that but can't guarantee the taxi will do that. They will direct all drays to the side. Myers asked about the front stone wall opening width. Doud confirmed a bike and garden cart will fit but not sure if a luggage cart will. The other entrance with the ramp is the same as the front entrance. Myers is concerned that is not enough access for a hotel. Has he considered a wider opening to reduce traffic. Doud asked if there are any dimensions that need to be met? Doud stated he would gladly make the stone wall opening bigger to accommodate a luggage cart. Myers pointed out section 20.06,b "That there is a compatible relationship between the existing streets within the vicinity further defined as: adequate service drives, entrance and exit driveways and parking areas to ensure the safety and convenience of pedestrian, bicycle and horse traffic". Doud asked for guidance for the loading and unloading area. Myers stated the trash should not be



sitting curbside every day. Doud stated they are aware of the trash times and would set it out then. Pettit thinks a carve out on the side of the house would make the most sense. Doud stated he would be the only commercial account down that road so that would need to be discussed with Brad Chambers. Doud asked if steps going in to the property affect the setbacks? Lipovsky will have to check. Myers asked about dock porter service. Doud stated they would go in the front. Pettit asked about a small piece of the property on a drawing. Doud is not sure if it is city property. Myers asked about landscaping between the hotel and the neighbor. Doud stated they will be adding landscaping there. Myers stated we need to see a timeline and material storage and everything included in the new section of the checklist. Straus stated the application is for a change of use and alterations. The use is allowed. The building department has verified setbacks are met. Myers stated he needs to flush out the traffic on Cadotte, provide a landscaping plan for the area between the hotel and the neighbor, construction criteria on checklist, and look in to the encroachment on the right of way. Motion to table for the missing information and send the required information to the applicant.

Motion made by Myers, Seconded by Finkel.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

d. HB24-013-058 Stonecliffe Kitchen Awning Amendment

Patrick Conlon presented new drawings. Two dark green fabric awnings to blend in with the structures and minimize the visual impact. The awnings are needed to offer protection for employees from weather. The canopies will be seasonal. Motion to approve.

Motion made by Myers, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

## **X. New Business**

a. Ira Green Mackinac Mobility Traffic Flow Information

Green thanked everyone for inviting him here. Green stated they moved the operation inside a few weeks ago. Green described the new flow of traffic, which is all inside. Myers stated except the kiosk and the scooters. Green stated it is all on his property. The scooters in front are display, just like every shop downtown. Myers stated the major concerns were with the alley. Green believes they have done a good job taking care of that. Pettit stated he has cleaned it up quite a bit and has been accommodating with the traffic there. It seems well run. Motion to place on file. Dufina asked about the statement that says customer either walks or rides to the cross street. Dufina clarified they will not be riding out of the building. Green directs them whichever direction there is not a carriage. When they return they will enter from Hoban Street. Dufina asked how he knows they will come down Hoban. Green stated most customers just do. Green would like to see a cross walk added. Myers suggested he go to the Streets Committee for that.

Motion made by Martin, Seconded by Finkel.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

b. R125-010-059 Salvatore Sauna

Applicant stated they would like to install a sauna with a floating deck. This is being reviewed for setbacks. Lipovsky confirmed it meets setbacks. Dufina clarified the deck will be set on pavers. The deck is made of Trex. Motion to approve.

Motion made by Myers, Seconded by Finkel.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

c. C25-066-064(H) Mary's Bistro Pizza Oven

Straus stated they put the pizza oven out on back patio. It was in use briefly but was then shut down. The applicant is now seeking approval. Lipovsky stated they have received mechanical approval from the State. Myers asked if they need approval from Army Corp or EGLE. Lipovsky stated they were already using the area for cooking. This location is for the rest of the season. Motion to approve because the structure was existing and it was a cooking area and they stated it is temporary for the rest of the season, contingent on it passing all inspections from the other required entities.

Motion made by Myers, Seconded by Pettit.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

d. C25-057-065(H) Mackinac Market Change of Use and Apartment Reno

Barry Polzin would like to utilize the space that has been vacant for a long time. They would like to create two apartments and then use storage area for a boardinghouse. The bike parking will be on the first floor balcony. The second floor will be the common area for the boardinghouse. The 3rd floor will be a 2 bedroom apartment. The condensing unit will be on the 2nd floor balcony. Vents will be added for bathrooms. Martin asked if the apartments will be rented out? Jurcak stated it will be for team members only. Evashevski asked about the density. It is showing both boardinghouse and apartment density. Polzin did not see anything that says density is cumulative. Myers stated it is the same as the Doud May density. They maxed out both hotel and boardinghouse. Evashevski stated she wasn't aware of that. R4 specifically stated that mixed use density is an either or situation, but for this article nothing is stated. This stacking of density has not been seen before. Evashevski stated that Dombroski used a unity equation. Density was not stacked. Myers stated the stated density appears to be closer to the City's goals. Straus asked if Evashevski was comfortable with this. She stated she is just thrown because Dombroski and Lipovsky stated the unity equation is used. This means density is based on one or the other, use. Her hesitation is she is not sure the intent is to allow the stacking. Myers stated she is not sure why but she is happy with the outcome. Dombroski on Zoom stated that the density they are proposing is almost 170% density. He stated that if the zoning ordinance is silent, then it is not a permitted use. So the max density is 13.6 beds if boardinghouse, or 2.4 units if

apartment building . The Unity equation is a way to combine the ratios. The total of the two fractions should be 1 or less than 1. At 88 and 83% you are at 170%. In his mind there is no way it is not over density. Polzin pointed out that there is nothing in the ordinance about a unity equation. Dombroski stated you don't have to use the term unity equation. Dombroski has applied this to all projects during his tenure. Dombroski stated If the Planning Commission wants to allow this, the ordinance needs to be changed. Myers stated if we look at our Master Plan and our goal for more density downtown she would agree with what has been submitted. Evashevski stated the Planning Commission can do what they want with this but she would like more time to look in to this. Straus asked the applicant if a month would make a difference. Jurcak stated yes it would make a difference. The Ordinance is not clear and Straus would like to defer to the attorney. Evashevski stated we can look at the Ordinance right here and now on how stacking may affect other districts. Evashevski read aloud the ordinance for R3 and R4. R1 does not allow mixed use. Evashevski read aloud HB density. Polzin argued that stacking was addressed in two other areas and the fact that it was not addressed here would imply stacking is allowed. Dufina is struggling with this as well. It seems you are using one piece of property, twice. Straus stated his main concern is what ill affects will come from things we don't know about now. Straus would like 30 more days to review this. Myers wants to know specifically what would we look at for the next month. Evashevski wants to know if the Commission cares how things have been done in the past. Myers stated it does bother her, especially in the commercial district. Straus stated the 30 days would give Evashevski a chance to look at changing the ordinance and any possible side effects. Myers stated stacking probably shouldn't be allowed in HB. The Commercial and Market area should be looked at for stacking. Motion to table for Evashevski and Lipovsky to further research. Dufina asked Polzin to describe how he calculated the density. Myers stated in bike parking area what do you anticipate for bike charging stations. Polzin said it will not be allowed.

Motion made by Pettit, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

## **XI. Public Comment**

Pettit stated that in Harrisonville there are three families selling and leaving.

## **XII. Adjournment**

Motion to adjourn at 6:10 PM.

Motion made by Pettit, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

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Michael Straus, Chairman

Katie Pereny, Secretary



## Katie Pereny

**Subject:** Next Zoning Update topics to address  
**Start Date:** Monday, June 18, 2018  
**Due Date:** Wednesday, September 24, 2025

**Status:** Not Started  
**Percent Complete:** 0%

**Total Work:** 0 hours  
**Actual Work:** 0 hours

**Owner:** Katie Pereny

Setbacks and Density #s – committee has been formed to review

Invasive species & Alternative energy

Landscape buffers

4.01 Landscape buffers add MD – DONE

Terap seasonal weather enclosures/Definition (draft given to PC in Dec) – DONE

Right of way of doors in the HD – Remove from zoning architectural review and put in regular zoning. Reference Jan 8 2019 per minutes – DONE

Ways to provide fractional ownership info to owners – Evashevski to comment on

Possibly add “continuous” to 30 day rental period in ordinance – Evashevski to address

Unightly rear of buildings in commercial district. Mike says master plan address this issue so should be something in ordinance – DONE

Antennas – possible ordinance needed? – will be discussed in the Master Plan

add roof top items of a certain size to our to do list as I feel we need to consider some sort of regulation of these items in the future. This will be discussed at a later date and once we have worked with the city attorney and secured ordinance language there could be a fee associated with that application of possibly \$100.

Penalty for seasonal tents and enclosures in fee schedule. – go to Ordinance committee

Corner lot zoning update – will be discussed in Master Plan and DJD and Erin will discuss

Special Land Use conditions – will be addressed by master plan

Slicing doors on commercial structures – Ordinance and master plan topic

Impervious surfaces like flagstone and pavers adding to calculations. DJD says it should not brick pavers on natural sand used to be part of the section. Section 2.46 – send to ordinance committee

Lot combination process – send to ordinance committee to create approval process for all splits and combinations, including unplatted parcels

Remove gender reference of “him” and “he” from sections 22.09 and 22.10 – Ordinance Committee

Commercial accessory bldgs.. allow minimum size without a zoning permit. It is allowed in residential. (ex. Small storage closet at Woods for golf cart towels)

August 26, 2025  
 File No. MD25-069-054(#)  
 Exhibit 0  
 Date 8.26.25  
 Initials KP  
 Planning Commision



I am submitting the following in regards to the current project at The May House

### **Flush out the traffic issue on Cadotte Avenue**

We will be fully self sufficient in bike parking. Required amount of parking is probably more then double the amount needed according to parking at The Mackinac House which is two more rooms.

3-5 Garbage bags will go out daily. We will set garbage out in the afternoon only

Deliveries will vary between 10-15 cases, three days a week. Will be done in the morning with food deliveries

### **Provide Landscape plan for the area between the Hotel and the House.**

I have submitted a new site plan with a tree barrier between the properties

### **Provide the written construction criteria on the Site Plan Checklist**

All materials will be brought over by Arnold Freight and Delivered by the Mackinac Island Service Company.

Will be using a CAT 307 Excavator from Belonga Excavating. A CAT TL642C Telehandler from Smith Equipment

The Foundation will be built in October.

Walls will be placed in November

Trusses will be placed in December

Finish work will continue throughout winter

The intention is open for business next Spring

**Look in to the encroachment on the right of way.**

I am presenting this to the city next Wednesday

I will be available for any questions

Thank you for your time.

Andrew

File No. MD25-069-054(H)

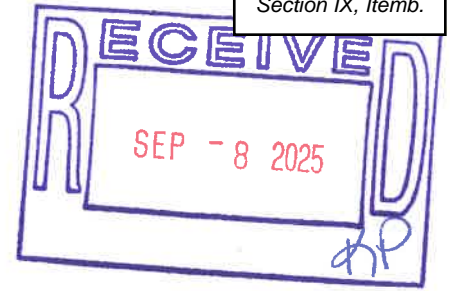
Exhibit P

Date 9-8-25

Initials KP

Andrew Doud  
7587 Market Street  
Mackinac Island, Michigan 49757

Section IX, Itemb.



To the Planning Commission and City Council:

This letter is in reply to the letter from the Planning Commission dated August 13, 2025. The Planning Commission requested I submit a response to four issues. On August 26, 2025, I responded and a copy is attached. Since that time I went to City Council and as such want to offer some additional comments:

**1. Flush out the traffic issue on Cadotte Avenue.**

Reply:

- (a) As I reside on this corner, I understand it is a very busy corner, but I am not aware of a "traffic issue" and I am not a "traffic" expert.
- (b) Neither the City nor its Planning Commission has ever conducted a traffic study for Cadotte Avenue.
- (c) The City has not posted any traffic signs for this corner (except for winter snowmobile signs, which are helpful).
- (d) There has never been a police officer directing traffic on this corner.
- (e) There has never been a bike or equine business owner directing traffic on this corner.
- (f) The City recently issued numerous bike and shuttle licenses, which would suggest there is not a traffic issue.
- (g) This property is self-contained and does not require parking on the street.
- (h) There is nothing in the City Code that obligates a property owner to "flush out traffic issues".
- (i) The proposed use is allowed in the Market Street District per the Zoning Ordinance.

**2. Provide a landscape plan for the area between the proposed hotel and the residential structure next door.**

Reply:

- (a) See attached

**3. Provide the written construction criteria on the Site Plan Checklist.**

Reply:

- (a) See attached construction staging plan. This plan supplements the August 26, 2025, submittal and also contains an approval letter from Mrs. May.

**4. Look into the encroachment on the right of way.**

Reply:

- (a) I not only "looked into" use of the City right-of-way on Market Street/Benjamin Hill but applied to City Council twice.
- (b) Attached is a taxi drop-off plan that City Council expressed an interest in.



In further reply, I would appreciate it if the Planning Commission would consider the following:

- (a) 10.2 Permitted Use. This request is an allowed use in this District.
- (b) There is no request nor need for a special land use.
- (c) There is no request nor need for a variance.
- (d) This request complies with Section 20.06(B) and 20.04(C)(7). There is a compatible relationship between the existing streets, and all bikes will be stored on site. The entrance widths are fully compatible for luggage and garden carts. It is more compatible than other hotels located on Market St./Cadotte. There is no objective criteria contained in the Ordinance to suggest otherwise.
- (e) Since my original application was submitted in June of 2025:
  - a. I have been to the Planning Commission in July
  - b. I attended two City Council meetings
  - c. I attended two meetings of the Historic District Commission, which approved this project unanimously with positive comments.

In conclusion, I believe that this application fully complies with the City Code. I would appreciate approval at the September meeting.

As always, thank you for your time.



## SCHEDULE OF ATTACHMENTS

1. Landscape Plan. Shows landscape plan for area between hotel and adjacent residence. Also shows electric bike charging station, bike racks, trash plan, lighting and stormwater plan.
2. August 26, 2025 reply letter.
3. Construction Staging Plan. Depicts staging area for all construction, fencing, and dray access.
4. Mrs. May approval letter.
5. Taxi Drop-Off Plan. Plan I submitted to City Council which received positive comments regarding the traffic issue.

# Section IX, Itemb.

## STORMWATER PLAN:

CRITERIA:  
 24 HOUR RAINFALL = 3.3"  
 (SOURCE: USDA)  
 RE: MDT M&S REPORT  
 = (0.28) = 0.017 /hour

INFILTRATION RATE OF SOL = 0.2"/hr.  
 (SOURCE: USDA) = 0.016/hour x 24 hrs.  
 67% = 0.25 / storm event

DESIGN STORM VOLUME = 4,043 s.f.  
 IMPERVIOUS x 0.28 = 1,132 cu. ft.

ABSORPTION AREA OF 10' STRIP AROUND  
 PERIMETER OF BUILDING + ACOL 20' REAR  
 (SW) YARD = 5,273 s.f.

STORMWATER ABSORPTION = 5,273 s.f. x  
 0.28 = 1,518 cu. ft.

STORM VOLUME minus ABSORPTION =  
 REQUIRED DETENTION  
 1,132 cu. ft. - 1,518 cu. ft. = 0 cu. ft. TO  
 BE DETAINED.  
 ABSORPTION AREA EXCEEDS STORM VOLUME.  
 NO STORM DETENTION REQUIRED.

## SITE NOTES:

- BRIDGE PARKING SPACE IS PROVIDED AT  
 E. SIDE OF 1 PIPE CISTERN 17'  
 (21 TOTAL W/ 2 TIE-INS CLIMBING  
 SPACE)
- TRASH TO BE HELD WITHIN THE  
 BASEMENT AND TRASH HOUSE & SET  
 CURBSIDE ON COLLECTION DAYS
- LIGHTING - NO AREA LIGHTING  
 PROPOSED. COACH LIGHTING PROVIDED  
 AT BUILDING ENTRANCES SHIELDED TO  
 CONTAIN LIGHT WITHIN THE SITE.
- SEE STORMWATER NOTES THIS SHEET.

## ZONING:

TAX ID: #051-575-068-01  
 LOT 16A PC7 PART OF LOT 15 BLOCK 5  
 ASSESSORS PLAT NUMBER 4  
 TOWNSHIP 40 N, RANGE 3-2N, SECTION 36

DISTRICT: MD MARKET  
 LOT 16A  
 LOT AREA: 12,632.4 s.f. = 0.29 acres  
 ALLOWABLE HT: 30', 2 STORY  
 ACTUAL HEIGHT: 30', 2 STORY  
 ALLOWABLE LOT COVERAGE: 12,632.4 s.f. x 35% =  
 4,421 s.f.

EX. HOUSE - FRONT - RAMP: +2049 s.f.  
 EXIST. WALKS - FENCE: +300 s.f.  
 EXIST. RETAIN. WALL: +160 s.f.  
 REMOVED ITEMS: -156 s.f.  
 PROPOSED ADDITION: +1490 s.f.  
 PRO. DECKS & WALK: +220 s.f.  
 TOTAL IMP.: 4033 s.f. = 32%

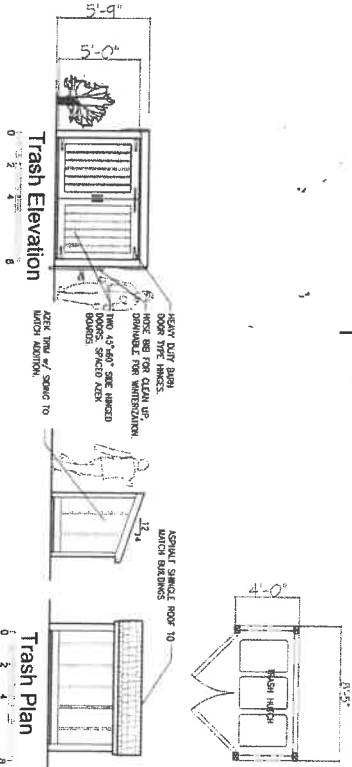
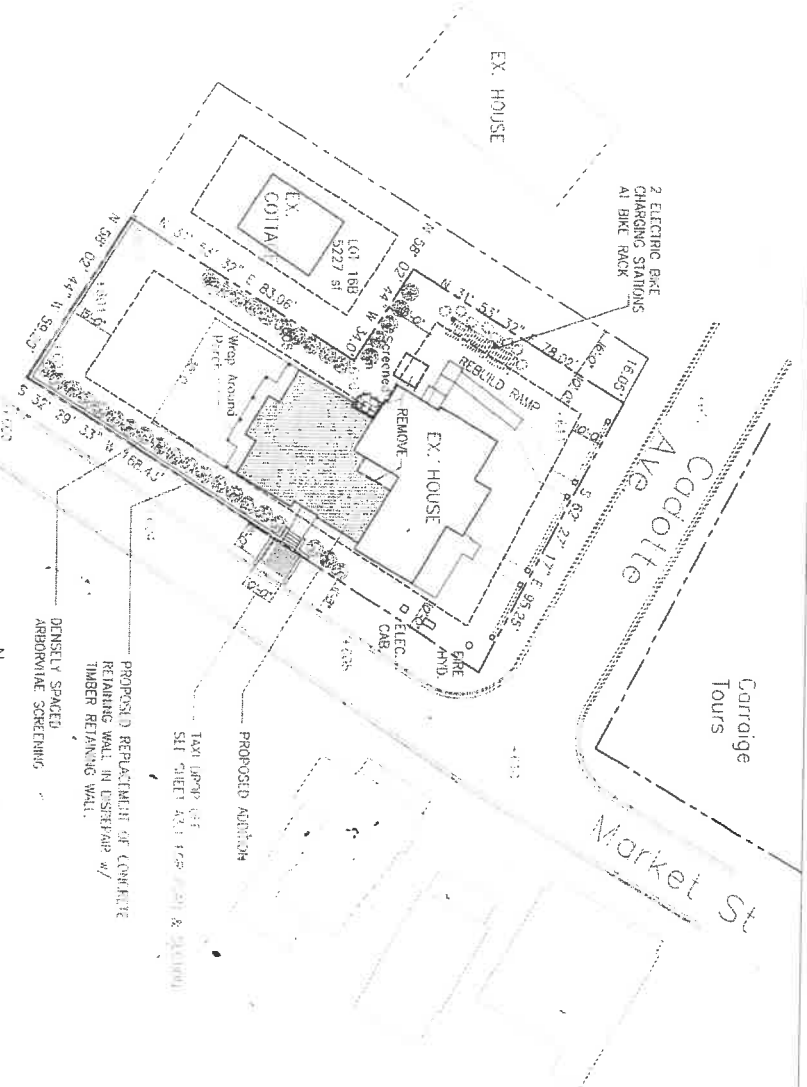
## DENSITY:

HOTEL OPERATOR  
 FAMILY RESIDENTIAL USE  
 7 UNITS PER ACRE 43,560 s.f. / 7 = 6,223 s.f.  
 7x 0.29 ACRES = 2 ALLOWED, 1 ACTUAL  
 12,632 s.f. - 6,223 = 6,409 s.f. SITE REMAINING

EMP. OFFICES: 4  
 NON FAMILY RESIDENTIAL USE  
 RECD. SITE AREA: 4,500 - 2,000 s.f. < 6,409 s.f.

HOTEL:  
 1 GUESTROOM PER 450 s.f. OF BUILDING AREA  
 DEVOTED TO HOTEL USE.  
 7911 sq. ft. / 450 = 17.5 ALLOWED  
 = 17 ACTUAL

HOTEL RELATED BUILDING AREAS:  
 = 17.5 ALLOWED  
 = 17 ACTUAL



**PROJECT DESCRIPTION:**  
 CONVERSION OF RESIDENCE TO  
 HOTEL USE w/ SOUTHEAST INFILL  
 AND ADDITION.

**Richard Clements Architect, PLLC**  
 1255 Westlawn  
 Orem, UT 84057  
 990.370.3661  
 MAY COTTAGE  
 ADDITION-RENOVATION  
 1385 CADOTTE  
 MACKINAC ISLAND, MI 49757

**FOR APPROVAL**  
 NOT FOR CONSTRUCTION  
 DATE: JULY 24, 2025  
 PROJECT: 2423  
 SHEET: A1.0  
 COPYRIGHT © 2025

August 26, 2025

Planning Commision

I am submitting the following in regards to the current project at The May House

**Flush out the traffic issue on Cadotte Avenue**

We will be fully self sufficient in bike parking. Required amount of parking is probably more then double the amount needed according to parking at The Mackinac House which is two more rooms.

3-5 Garbage bags will go out daily. We will set garbage out in the afternoon only

Deliveries will vary between 10-15 cases, three days a week. Will be done in the morning with food deliveries

**Provide Landscape plan for the area between the Hotel and the House.**

I have submitted a new site plan with a tree barrier between the properties

**Provide the written construction criteria on the Site Plan Checklist**

All materials will be brought over by Arnold Freight and Delivered by the Mackinac Island Service Company.

Will be using a CAT 307 Excavator from Belonga Excavating. A CAT TL642C Telehandler from Smith Equipment

The Foundation will be built in October.

Walls will be placed in November

Trusses will be placed in December

Finish work will continue throughout winter

The intention is open for business next Spring

**Look in to the encroachment on the right of way.**

I am presenting this to the city next Wednesday

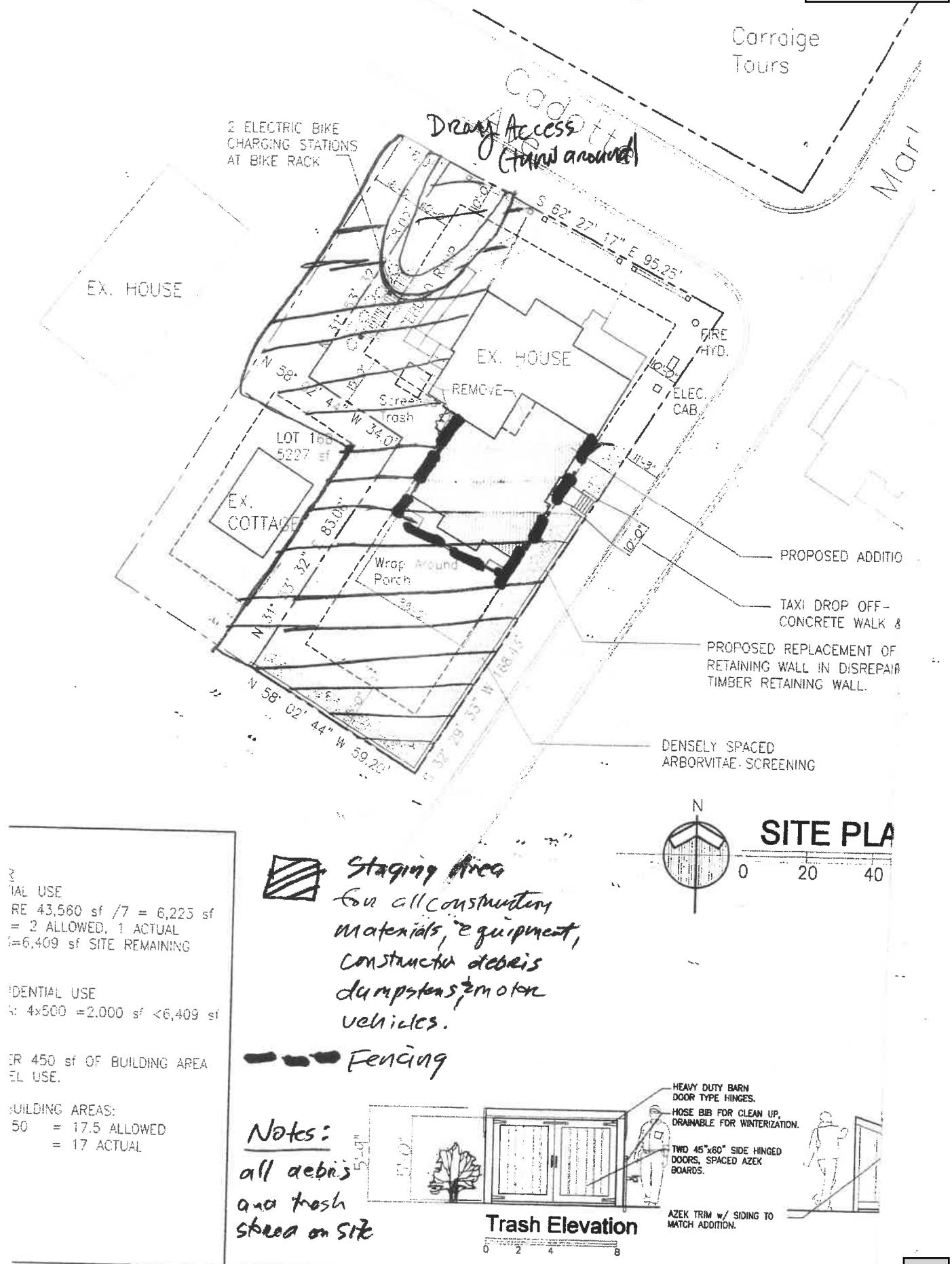
I will be available for any questions

Thank you for your time.

Andrew

# Construction Staging Plan

Section IX, Itemb.



3  
IAL USE  
RE 43,560 sf / 7 = 6,225 sf  
= 2 ALLOWED, 1 ACTUAL  
= 6,409 sf SITE REMAINING

IDENTIAL USE  
4: 4x500 = 2,000 sf < 6,409 sf

ER 450 sf OF BUILDING AREA  
EL USE.

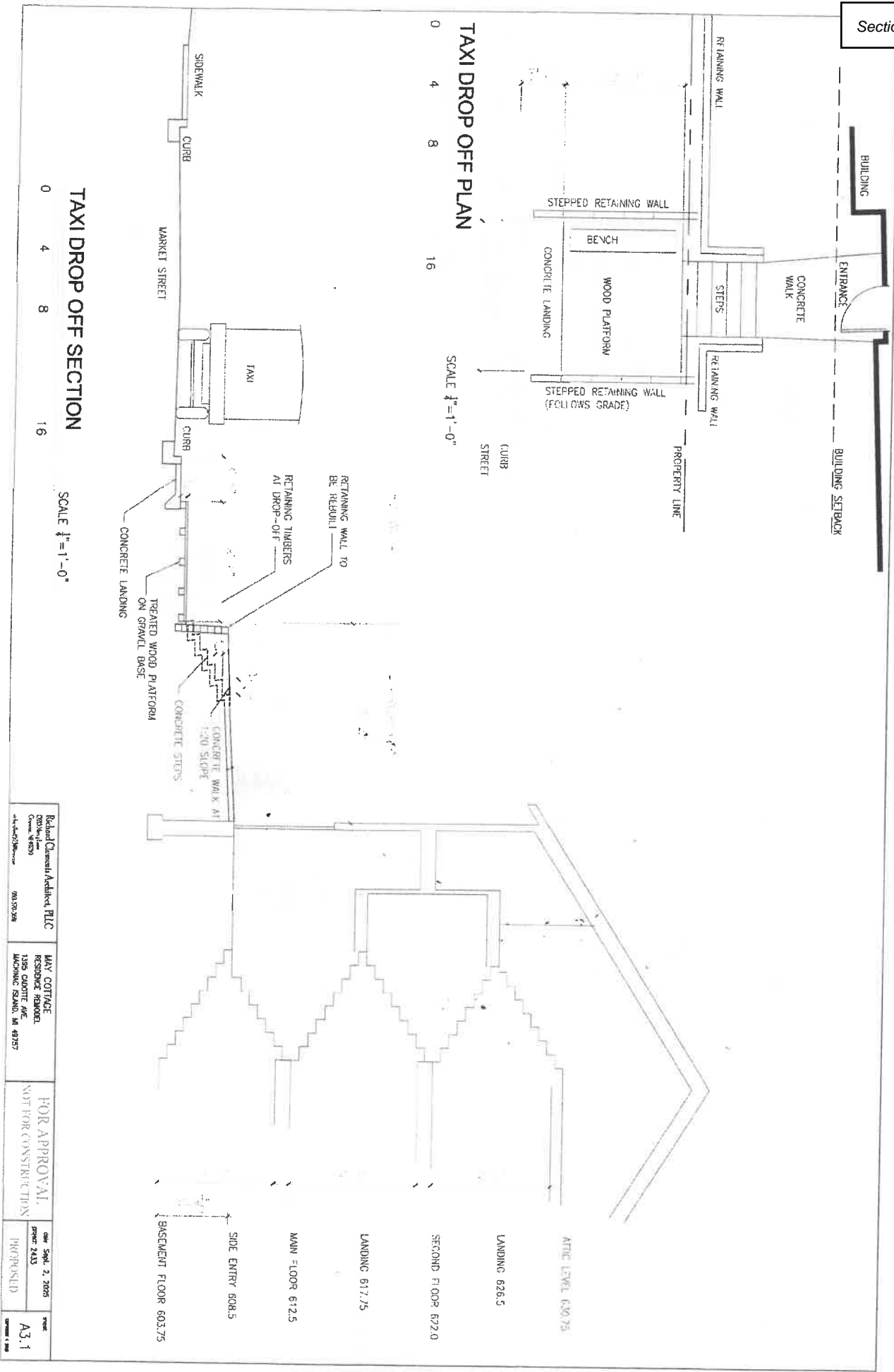
BUILDING AREAS:  
50 = 17.5 ALLOWED  
= 17 ACTUAL

September 5, 2025

I'm writing this letter to inform both Council and the Planning Commission that Andrew Doud is allowed to make full use of my yard during his project. This includes storage, staging and dray delivery.

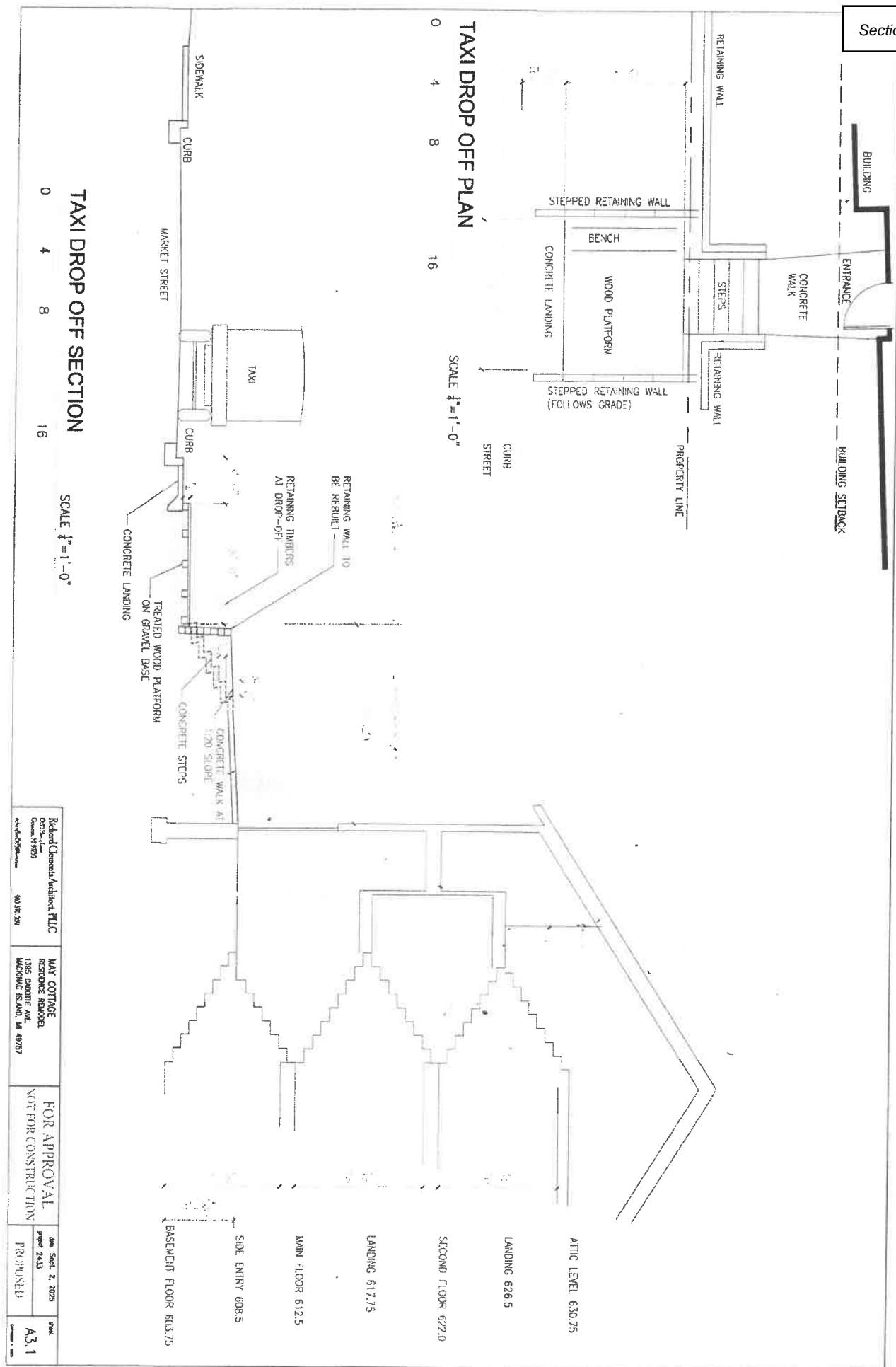
Andrew keeps me aware of the progress of his project on a regular basis.

*Cresencia E May*



Richard Clements Architect, PLLC 2000 N. 1st St. Suite 100 Lincoln, NE 68502 402.441.9999	MAY COTTAGE RESIDENCE REMODEL 1355 CLOUTIER AVE. LINCOLN, NE 68502	FOR APPROVAL NOT FOR CONSTRUCTION	SHEET 24.13 PROPOSED A3.1
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Richard Clement Architect, PLLC Clement 1950 903.251.349	MAY COTTAGE RESIDENCE REDUCED 1385 DODDING AVE. MADISON, ISLAND, WI 49757	FOR APPROVAL NOT FOR CONSTRUCTION	DATE: Sept. 2, 2025 PAGE: 24.13 PROJECT: PROPOSED	SCALE: A3.1
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STORMWATER PLAN:

DESIGN CRITERIA:

10 YEAR 24 HOUR RAINFALL = 3.3"  
(SOURCE: MDOT MS4 REPORT)  
= (0.28') = 0.011' /hour

INFILTRATION RATE OF SOIL = 0.2"/hr.  
(SOURCE: USDA) = 0.016'/hour x24 hrs. \*  
67% = 0.25' / storm event

DESIGN STORM VOLUME = 4,043 s.f.  
IMPERVIOUS x 0.28' = 1,132 cu. ft.

APSORPTION AREA OF 10' STRIP AROUND  
PERIMETER OF BUILDING + ADD'L. 20' REAR  
(SW) YARD = 5,273 s.f.

STORMWATER ABSORPTION = 5,273 s.f. x  
0.25' = 1,318 cu. ft.

STORM VOLUME minus ABSORPTION =  
REQUIRED DETENTION;  
1,132 cu. ft. - 1,318 cu. ft. = 0 cu. ft. TO  
BE DETAINED.

ABSORPTION AREA EXCEEDS STORM VOLUME.  
NO STORM DETENTION REQUIRED.

SITE NOTES:

1. BICYCLE PARKING RACK IS PROVIDED AT  
A RATE OF 1 PER GUESTROOM +7.  
(24 TOTAL, w/ 2 ELECTRIC CHARGING  
STATION)
2. TRASH TO BE HELD WITHIN THE  
BASEMENT AND TRASH HUTCH & SET  
CURBSIDE ON COLLECTION DAYS
3. LIGHTING - NO AREA LIGHTING  
PROPOSED. COACH LIGHTING PROVIDED  
AT BUILDING ENTRANCES SHEILD TO  
CONFINE LIGHT WITHIN THE SITE.
4. SEE STORMWATER NOTES THIS SHEET.

ZONING:

TAX I.D. #051-575-069-01

LOT 16A PC7 PART OF LOT 16 BLOCK 5  
ASSESSORS PLAT NUMBER 4  
TOWNSHIP 40 N, RANGE 3-2W. SECTION 36

DISTRICT: MD MARKET

LOT 16A  
LOT AREA: 12,632.4 sf = 0.29 acres

ALLOWABLE HT: 30', 2 $\frac{1}{2}$  STORY  
ACTUAL HEIGHT: 30', 2 $\frac{1}{2}$  STORY

ALLOWABLE LOT COVERAGE 12,632.4 sf x 35% =  
= 4,421 sf

EX. HOUSE-PORCH-RAMP: +2049 sf  
EXIST WALKS-FENCE: +300 sf  
EXIST. RETAIN. WALL: +160 sf  
REMOVED ITEMS: - 156 sf  
PROPOSED ADDITION: +1490 sf  
PRO. DECKS & WALK: + 200 sf  
TOTAL IMP.: 4043 sf = 32%

DENSITY:

HOTEL OPERATOR

FAMILY RESIDENTIAL USE

7 UNITS PER ACRE 43,560 sf / 7 = 6,223 sf  
7x 0.29 ACRES = 2 ALLOWED, 1 ACTUAL  
12,632 sf - 6,223 = 6,409 sf SITE REMAINING

EMPLOYEES: 4

NON FAMILY RESIDENTIAL USE

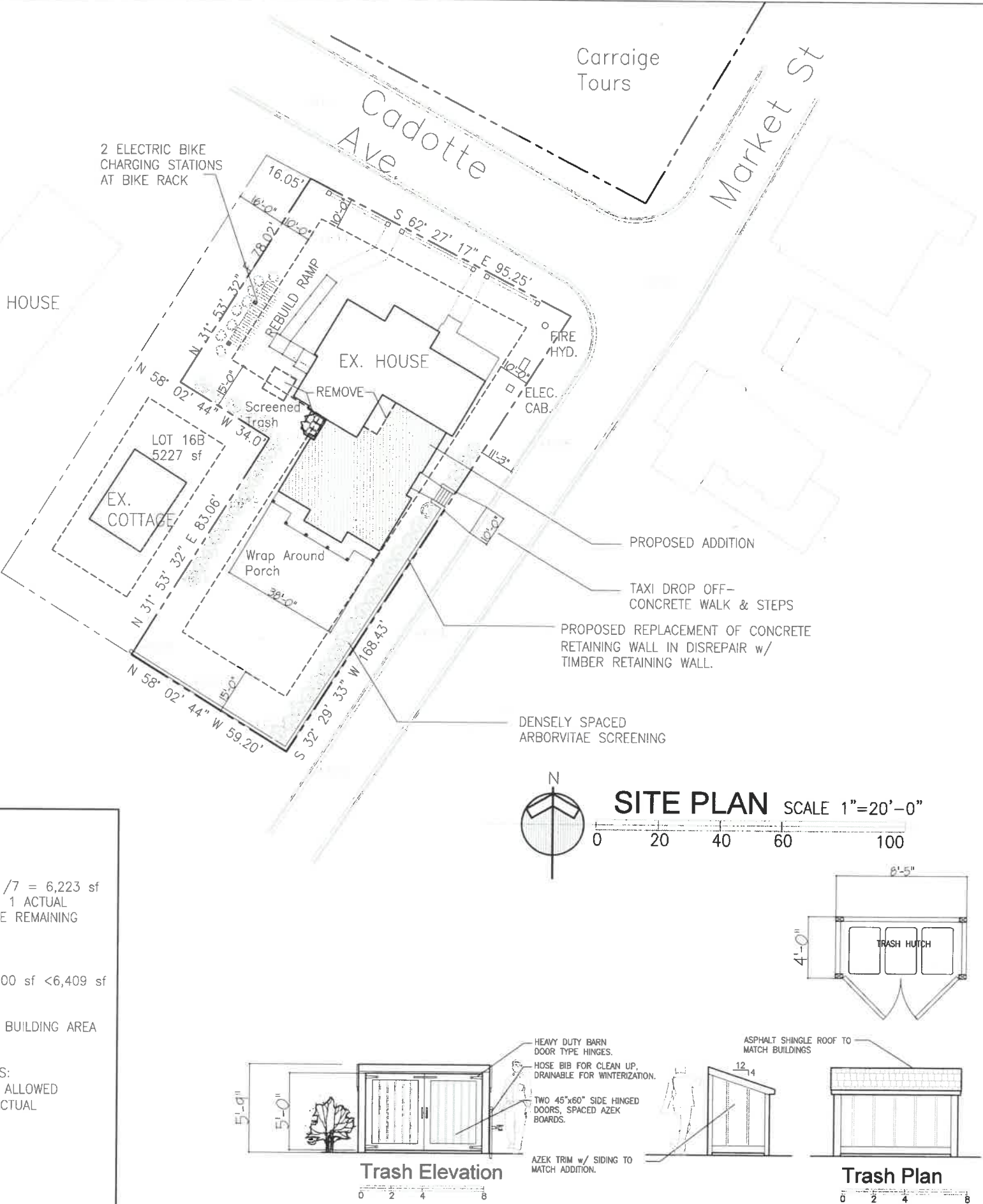
REQ'D. SITE AREA: 4x500 = 2,000 sf < 6,409 sf

HOTEL:

1 GUESTROOM PER 450 sf OF BUILDING AREA  
DEVOTED TO HOTEL USE.

HOTEL RELATED BUILDING AREAS:

7911 sq. ft. / 450 = 17.5 ALLOWED  
= 17 ACTUAL



PROJECT DESCRIPTION:  
CONVERSION OF RESIDENCE TO  
HOTEL USE w/ SOUTHEAST INFILL  
AND ADDITION.

Richard Clements Architect, PLLC

15215 Merry Lane  
Oshtemo, MI 49759

richardlee1523@live.com

989-370-3681

MAY COTTAGE  
ADDITION-RENOVATION

1395 CADOTTE  
MACKINAC ISLAND, MI 49757

FOR APPROVAL  
NOT FOR CONSTRUCTION

rev: 8.15.25

rev: 8.27.25

date: July 24, 2025

project: 2433

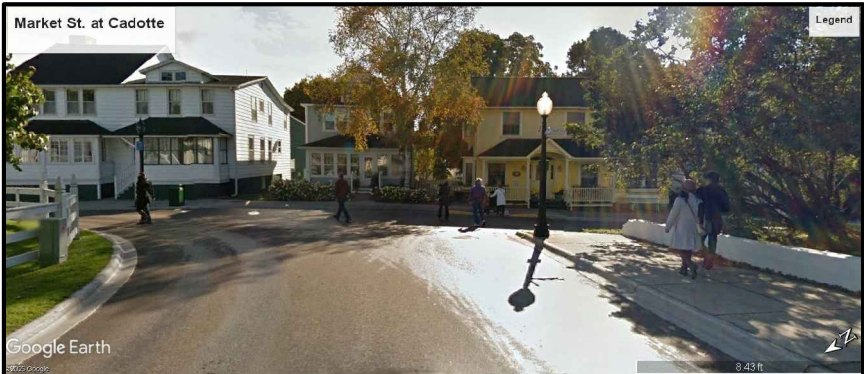
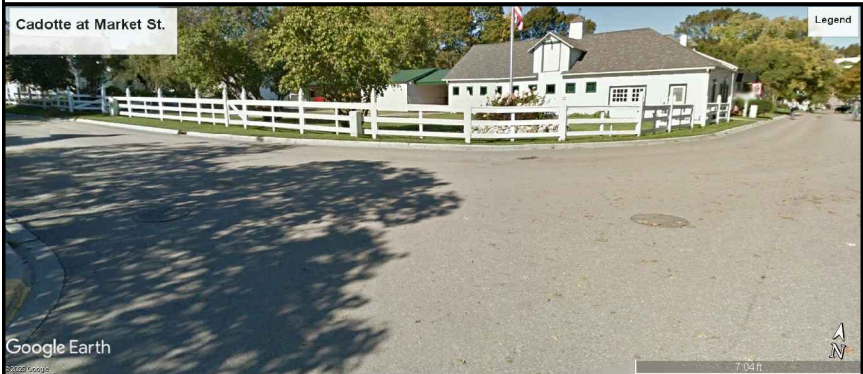
sheet:

A1.0

PROPOSED

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AREA PHOTOS FROM CADOTTE & MARKET STREETS



SOUTH ELEVATION FROM MARKET



EAST ELEVATION FROM CADOTTE



NORTH ELEVATION FROM CADOTTE



WEST ELEVATION FROM PROPERTY

Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1523@live.com 989-370-3681	
MAY COTTAGE ADDITION-RENOVATION	
1395 CADOTTE MACKINAC ISLAND, MI 49757	
rev:	for:
date: July 24, 2025	sheet:
project: 2433	A0.0
PHOTOS	COPYRIGHT © 2025



STORMWATER PLAN:

DESIGN CRITERIA:  
10 YEAR 24 HOUR RAINFALL = 3.3"  
(SOURCE: MDOT MS4 REPORT)  
= (0.28') = 0.011' /hour

INFILTRATION RATE OF SOIL = 0.2"/hr.  
(SOURCE: USDA) = 0.016'/hour x24 hrs. \*  
67% = 0.25' / storm event

DESIGN STORM VOLUME = 3,973 s.f.  
IMPERVIOUS x 0.28' = 1,112 cu. ft.

APSORPTION AREA OF 10' STRIP AROUND  
PERIMETER OF BUILDING + ADD'L. 20' REAR  
(SW) YARD = 5,273 s.f.

STORMWATER ABSORPTION = 5,273 s.f. x  
0.25' = 1,318 cu. ft.

STORM VOLUME minus ABSORPTION =  
REQUIRED DETENTION;  
1,112 cu. ft. - 1,318 cu. ft. = 0 cu. ft. TO  
BE DETAINED.

ABSORPTION AREA EXCEEDS STORM VOLUME.  
NO STORM DETENTION REQUIRED.

SITE NOTES:

1. BICYCLE PARKING RACK IS PROVIDED AT  
A RATE OF 1 PER GUESTROOM +7.  
(24 TOTAL, w/ 2 ELECTRIC CHARGING  
STATION)
2. TRASH TO BE HELD WITHIN THE  
BASEMENT AND TRASH HUTCH & SET  
CURBSIDE ON COLLECTION DAYS
3. LIGHTING - NO AREA LIGHTING  
PROPOSED. COACH LIGHTING PROVIDED  
AT BUILDING ENTRANCES SHEILDLED TO  
CONFINE LIGHT WITHIN THE SITE.
4. SEE STORMWATER NOTES THIS SHEET.

ZONING:

TAX I.D. #051-575-069-01

LOT 16A PC7 PART OF LOT 16 BLOCK 5  
ASSESSORS PLAT NUMBER 4  
TOWNSHIP 40 N, RANGE 3-2W. SECTION 36

DISTRICT: MD MARKET  
LOT 16A  
LOT AREA: 12,632.4 sf = 0.29 acres

ALLOWABLE HT: 30', 2½ STORY  
ACTUAL HEIGHT: 30', 2½ STORY

ALLOWABLE LOT COVERAGE 12,632.4 sfx35% =  
= 4,421 sf

EX. HOUSE-PORCH-RAMP: +2049 sf  
EXIST WALKS-FENCE: +300 sf  
EXIST. RETAIN. WALL: +160 sf  
REMOVED ITEMS: - 156 sf  
PROPOSED ADDITION: +1420 sf  
PRO. DECKS & WALK: ± 200 sf  
TOTAL IMP.: 3973 sf = 31.5%

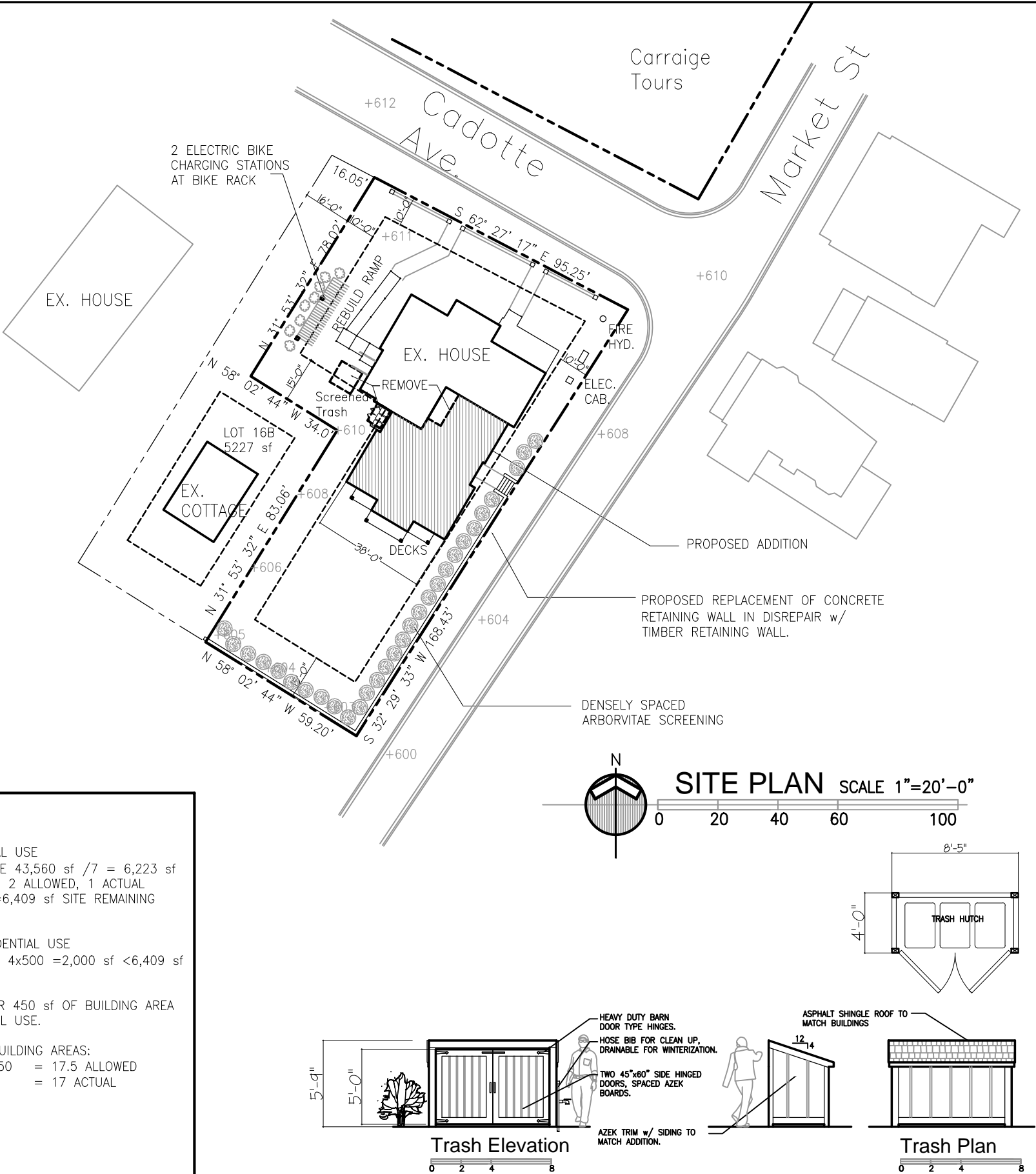
DENSITY:

HOTEL OPERATOR  
FAMILY RESIDENTIAL USE  
7 UNITS PER ACRE 43,560 sf /7 = 6,223 sf  
7x 0.29 ACRES = 2 ALLOWED, 1 ACTUAL  
12,632 sf-6,223=6,409 sf SITE REMAINING

EMPLOYEES: 4  
NON FAMILY RESIDENTIAL USE  
REQ'D. SITE AREA: 4x500 =2,000 sf <6,409 sf

HOTEL:  
1 GUESTROOM PER 450 sf OF BUILDING AREA  
DEVOTED TO HOTEL USE.

HOTEL RELATED BUILDING AREAS:  
7914 sq. ft. / 450 = 17.5 ALLOWED  
= 17 ACTUAL

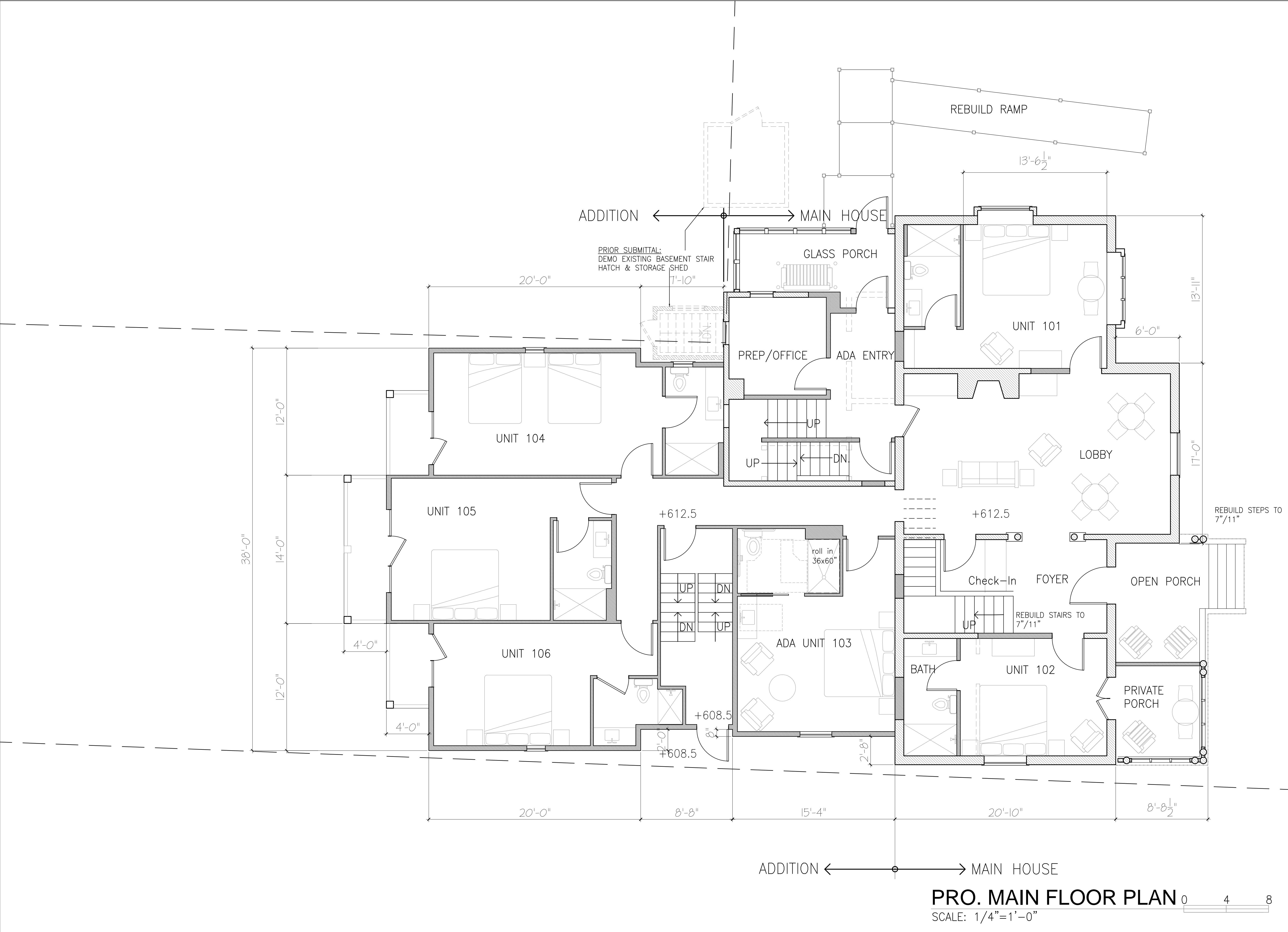


PROJECT DESCRIPTION:  
CONVERSION OF RESIDENCE TO  
HOTEL USE w/ SOUTHEAST INFILL  
ADDITION AND SOUTHERLY ANNEX.

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richardlee1523@live.com 989-370-3681

MAY COTTAGE  
ADDITION-RENOVATION  
1395 CADOTTE  
MACKINAC ISLAND, MI 49757

rev: for:  
date: July 24, 2025 sheet:  
project: 2433  
SITE PLAN A1.0  
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WALL LEGEND	
	EXISTING WALLS
	NEW WALLS
	REMOVED WALLS

1st FLOOR AREA	
EXISTING 1st FLOOR	= 1660 sq.ft.
PROPOSED ADDITION	= 1475 sq. ft.
TOTAL	= 3135 sq.ft.

HOUSE HABITABLE AREA	
1st FLOOR	= 3135 sq.ft.
2nd FLOOR	= 2613 sq.ft.
ATTIC FLOOR	= 1367 sq. ft.
LAUNDRY/STOR/BREAK	= 799 sq. ft.
TOTAL	= 7914 sq.ft.
ALLOWABLE HOTEL UNITS	
7914 sq. ft. / 450	= 17.5 ALLOWED
	= 17 ACTUAL




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richardlee123@live.com 989-370-3681

MAY COTTAGE  
RESIDENCE REMODEL  
1395 CADOTTE AVE.  
MACKINAC ISLAND, MI 49757

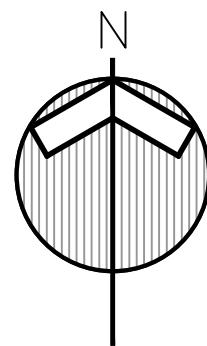
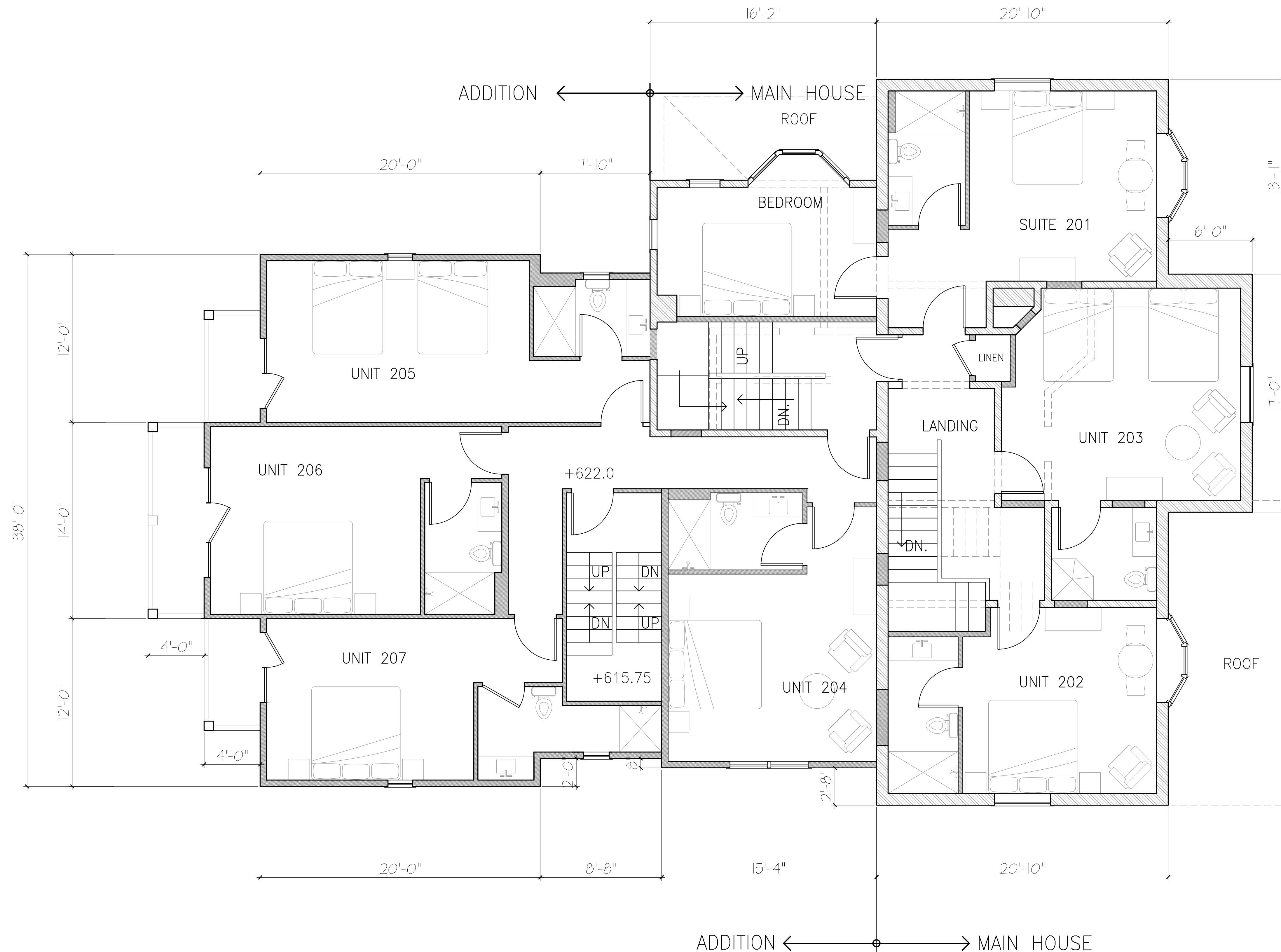
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**NOT FOR CONSTRUCTION**

date: July 24, 2025	sheet:
project: 2433	A1.1
<b>PROPOSED</b>	

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WALL LEGEND	
	EXISTING WALLS
	NEW WALLS
	REMOVED WALLS




HOUSE 2nd FLOOR	
EXISTING 2nd FLOOR	= 1501 sq.ft.
PROPOSED ADDITION	= 1475 sq. ft.
TOTAL	= 2976 sq.ft.



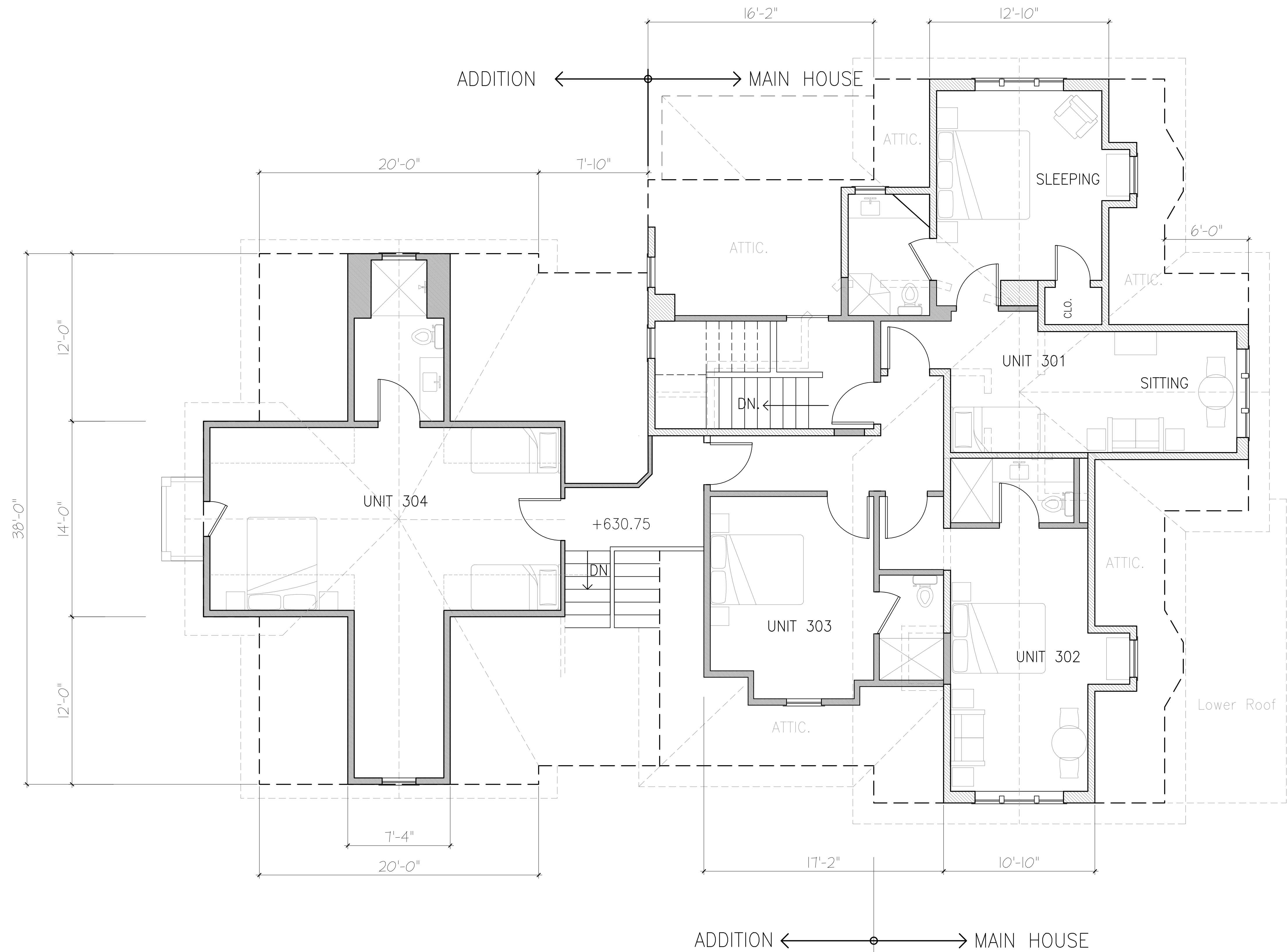
Richard Clements Architect, PLLC 15215 Merry Lane Oscoda, MI 49759 richardcled1523@live.com 989-370-3681	
MAY COTTAGE RESIDENCE REMODEL 1395 CADOTTE AVE. MACKINAC ISLAND, MI 49757	
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**PRO. 2nd FLOOR PLAN**  
SCALE: 1/4"=1'-0" 0 4 8



WALL LEGEND	
	EXISTING WALLS
	NEW WALLS
	REMOVED WALLS

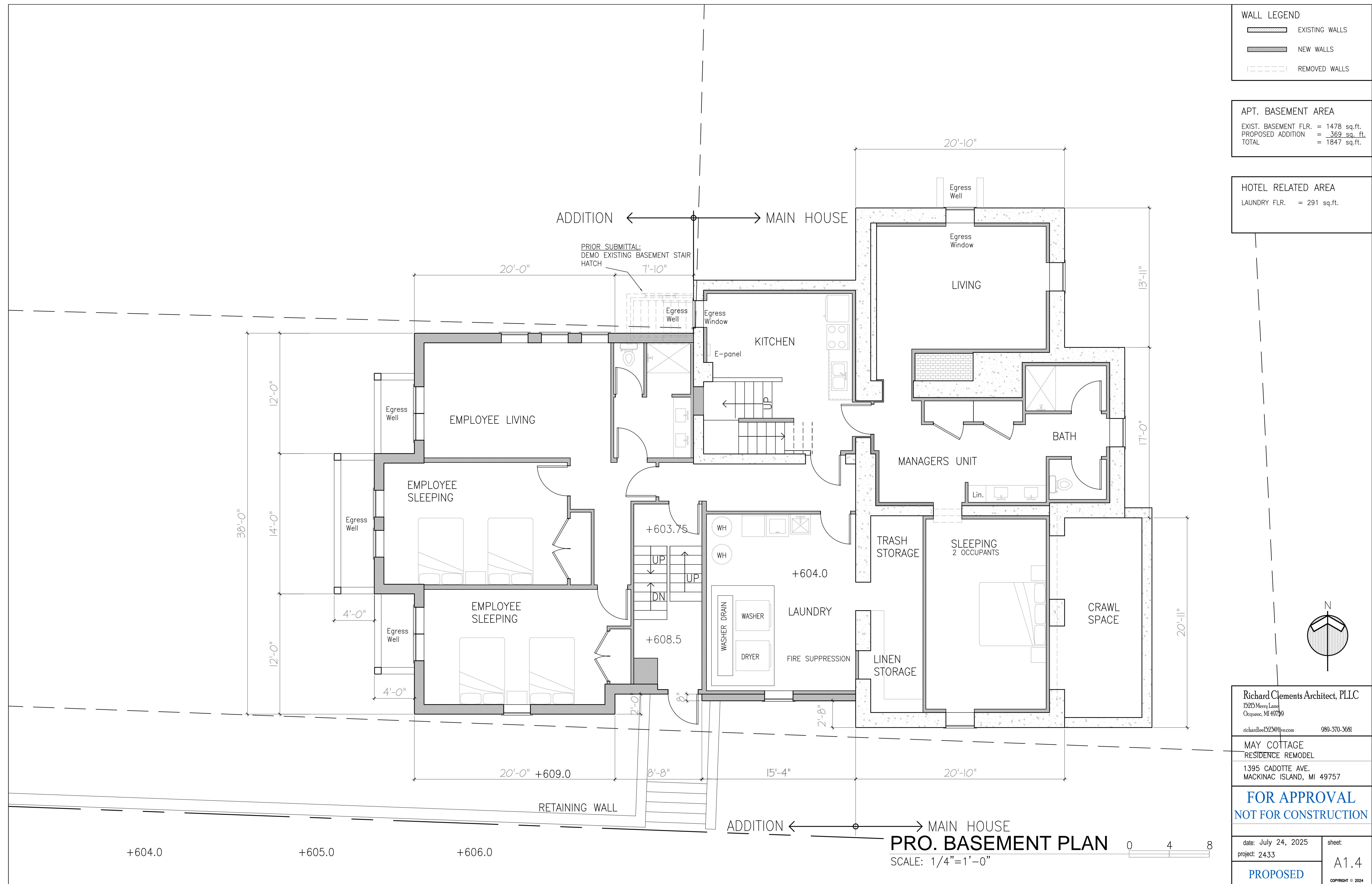
HOUSE ATTIC AREA	
EXISTING ATTIC FLOOR	= 933 sq.ft.
PROPOSED ADDITION	= 434 sq.ft.
TOTAL	= 1367 sq.ft.
ATTIC AREA INCLUDES HABITABLE AREA w/ A MIN. HEIGHT OF 5'-0" & OVER.	



**PRO. ATTIC FLOOR PLAN**  
SCALE: 1/4"=1'-0"

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<b>PROPOSED</b>	







ANNEX WEST ELEVATION

SCALE  $\frac{1}{4}$ "=1'-0"

0 4 8 16



MAIN HOUSE EAST ELEVATION

SCALE  $\frac{1}{4}$ "=1'-0"

0 4 8 16

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date: July 24, 2025 project: 2433	sheet: A2.1
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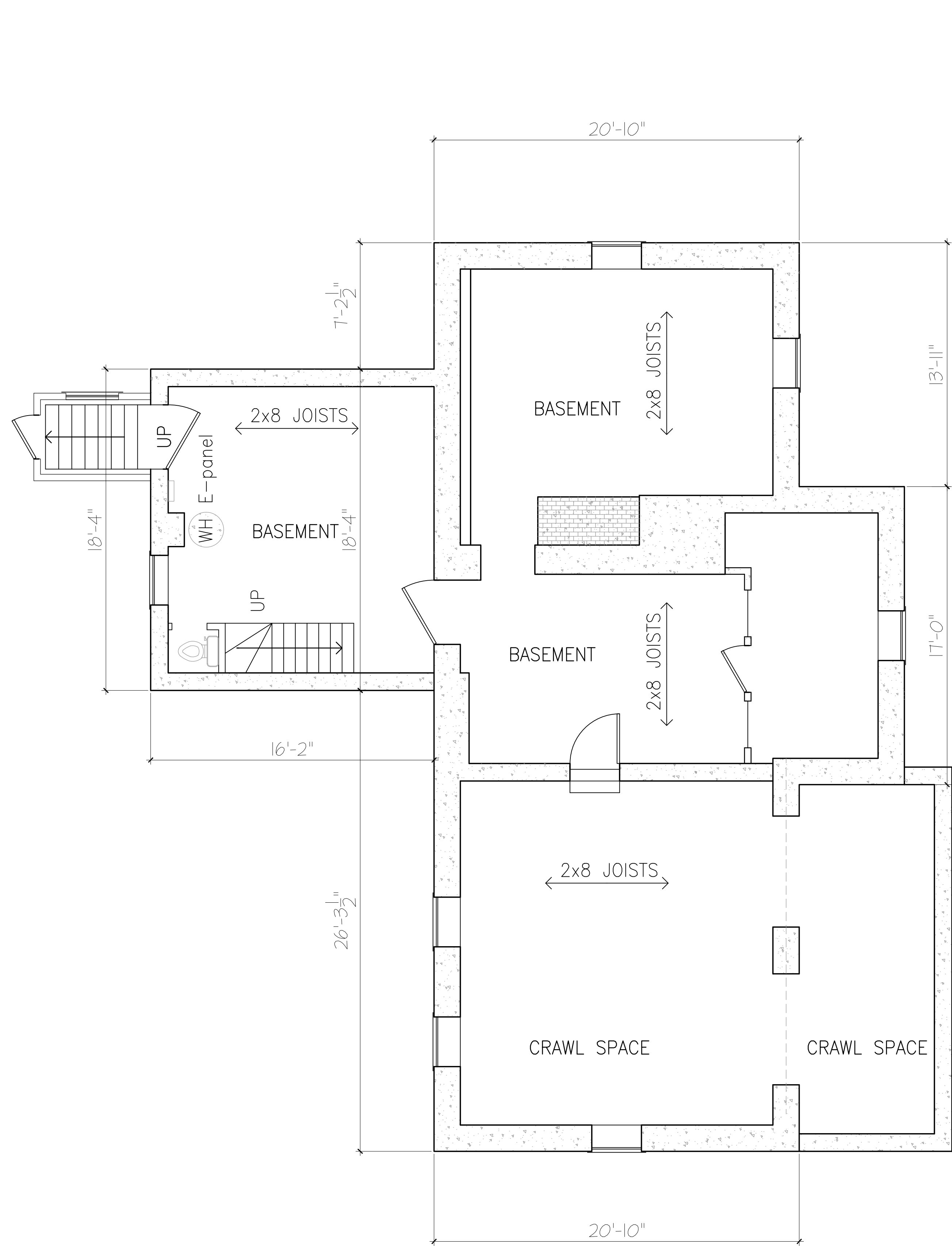




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MAY COTTAGE RESIDENCE REMODEL 1395 CADOTTE AVE. MACKINAC ISLAND, MI 49757	
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MAY COTTAGE RESIDENCE REMODEL 1395 CADOTTE AVE. MACKINAC ISLAND, MI 49757	
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date: July 24, 2025 project: 2433	sheet: A2.3
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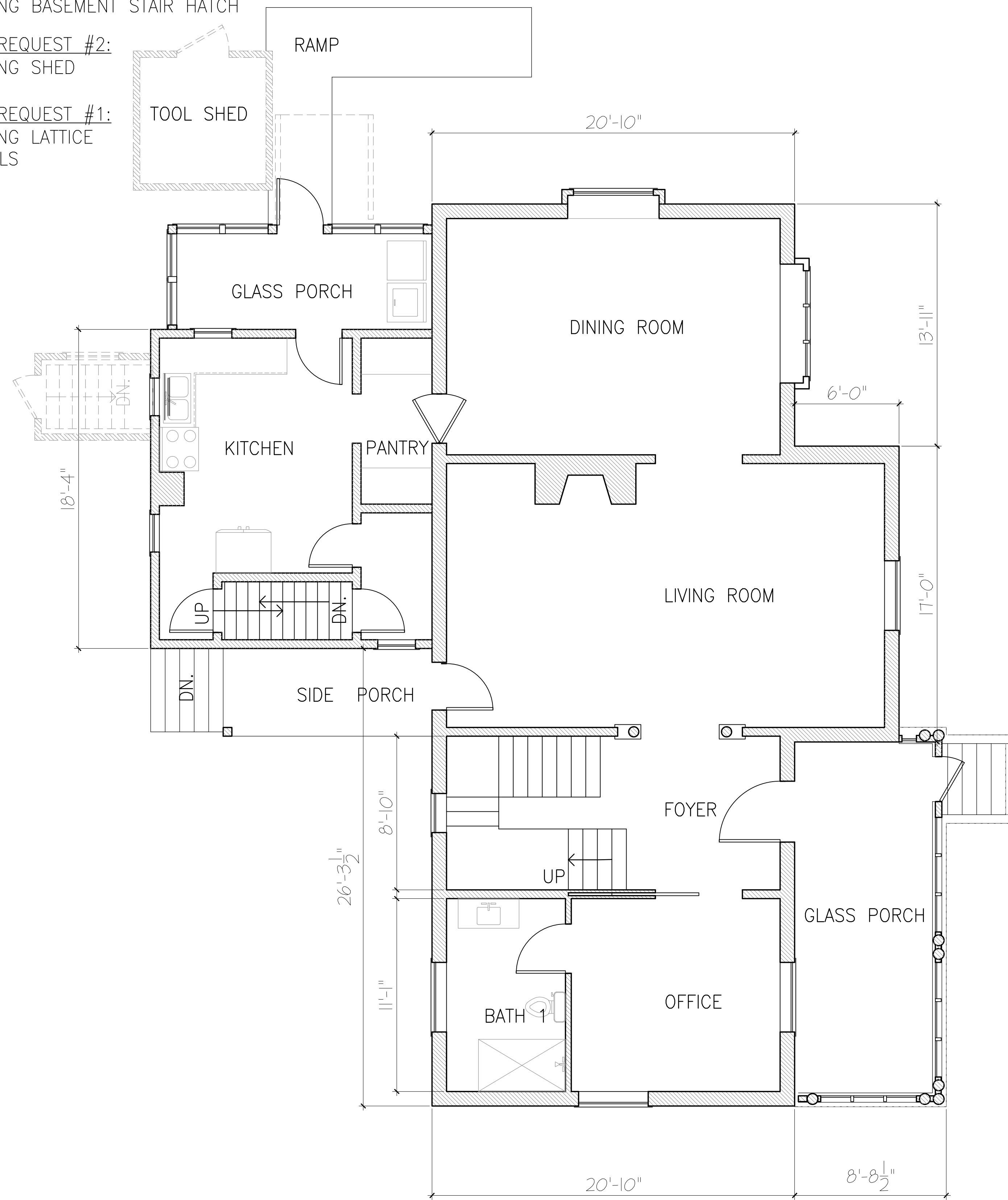
EX. BASEMENT PLAN

SCALE: 1/4"=1'-0"

PRIOR HDC REQUEST #3:  
DEMO EXISTING BASEMENT STAIR HATCH

PRIOR HDC REQUEST #2:  
DEMO EXISTING SHED

PRIOR HDC REQUEST #1:  
DEMO EXISTING LATTICE  
SCREEN WALLS



EX. MAIN FLOOR PLAN

SCALE: 1/4"=1'-0"

Richard Clements Architect, PLLC  
15215 Merry Lane  
Oshtemo, MI 49759  
richardclee1525@live.com 989-370-3681

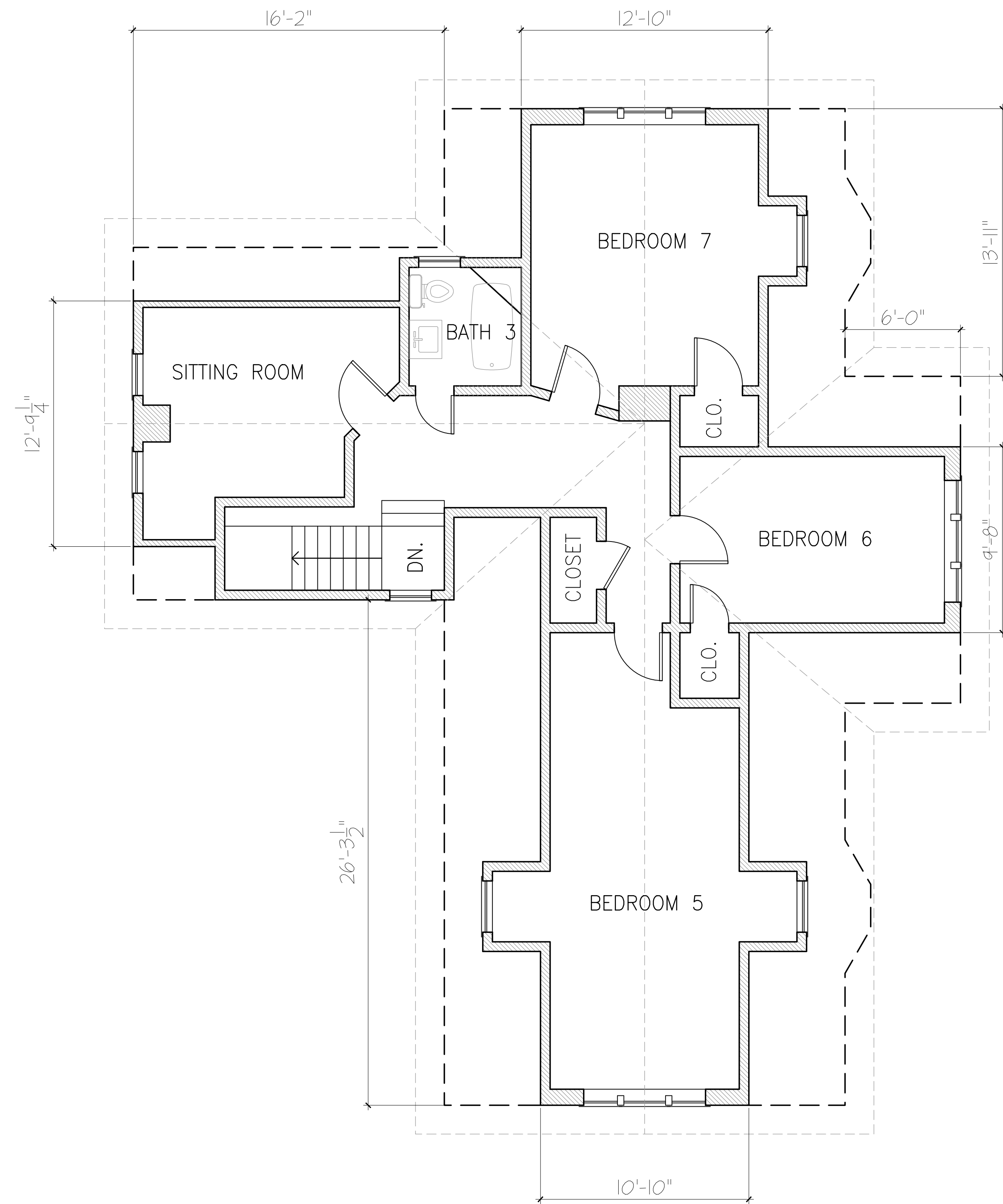
MAY COTTAGE  
RESIDENCE REMODEL  
1395 CADOTTE AVE.  
MACKINAC ISLAND, MI 49757

date: July 24, 2024  
project: 2433

EXISTING

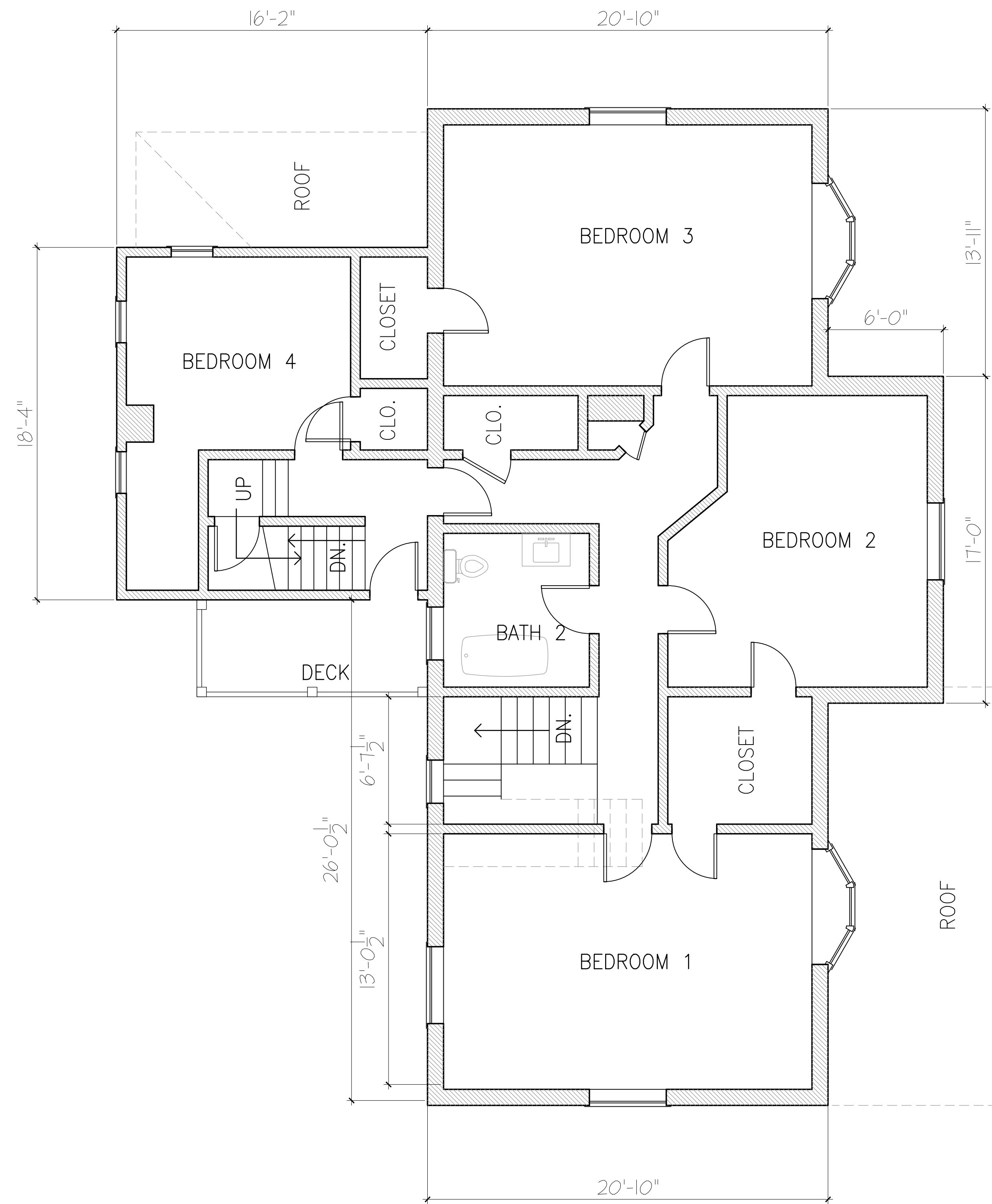
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X1.1  
COPYRIGHT © 2024





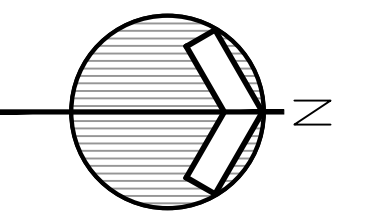
EX. ATTIC FLOOR PLAN

SCALE: 1/4"=1'-0"



EX. 2nd FLOOR PLAN

SCALE: 1/4"=1'-0"



Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759  richardclee1525@live.com      989-370-3681	MAY COTTAGE RESIDENCE REMODEL		date: July 24, 2024		sheet:  X1.2
			project: 2433		
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EX. EAST ELEVATION

SCALE  $\frac{1}{4}"=1'-0"$

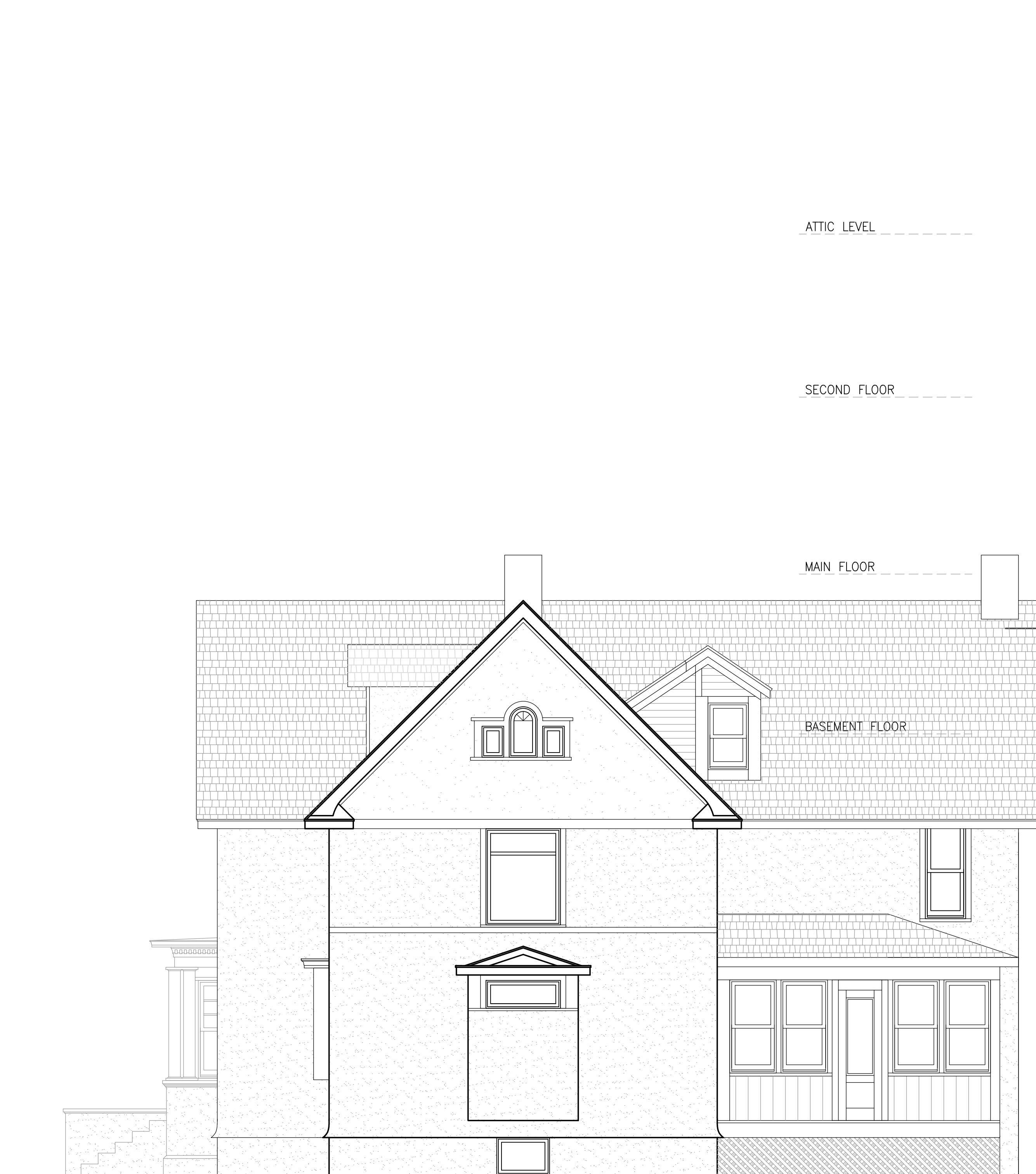
0 4 8 16

EX. WEST ELEVATION

SCALE  $\frac{1}{4}"=1'-0"$

0 4 8 16

Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759  richardclee1525@live.com      989-370-3681	MAY COTTAGE RESIDENCE REMODEL			date: July 24, 2025 project: 2433	sheet:
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(RAMP NOT SHOWN)

EX. NORTH ELEVATION

SCALE  $\frac{1}{4}$ "=1'-0"



EX. SOUTH ELEVATION

SCALE  $\frac{1}{4}$ "=1'-0"



Richard Clements Architect, PLLC 13215 Merry Lane Oshtemo, MI 49759  richardclee1525@live.com      989-370-3681	MAY COTTAGE RESIDENCE REMODEL			date: July 24, 2025 project: 2433	sheet:
	1395 CADOTTE AVE. MACKINAC ISLAND, MI 49757			EXISTING	X1.4  COPYRIGHT © 2025



File No. MD25-069-054(4)Exhibit FDate 6.24.25Initials KPCITY OF MACKINAC ISLAND  
PLANNING COMMISSION & BUILDING DEPARTMENT

## APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

## APPLICANT NAME &amp; CONTACT INFORMATION:

Andrew Douel231392 6456

Phone Number

Email Address

claudstep1000@yahoo.com

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

## Property Owner &amp; Mailing Address (If Different From Applicant)

7587 Market StreetMackinac Island, MI 49757

Is The Proposed Project Part of a Condominium Association?

No

Is The Proposed Project Within a Historic Preservation District?

Yes

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Owner

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

No

Is a Variance Required?

No

Are REU's Required? How Many?

No

## Type of Action Requested:

☒ Standard Zoning Permit☐ Special Land Use☐ Planned Unit Development☒ Other Change of Use☐ Appeal of Planning Commission Decision☐ Ordinance Amendment/Rezoning☐ Ordinance Interpretation

## Property Information:

A. Property Number (From Tax Statement): 051-575-069-01B. Legal Description of Property: AttachedC. Address of Property: 1395 CadotteD. Zoning District: MDE. Site Plan Checklist Completed & Attached: YesF. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) YesG. Sketch Plan Attached: YesH. Architectural Plan Attached: YesI. Association Documents Attached (Approval of project, etc.): YesJ. FAA Approval Documents Attached: NoK. Photographs of Existing and Adjacent Structures Attached: Yes

## Proposed Construction/Use:

A. Proposed Construction:

☐ New Building☒ Alteration/Addition to Existing Building☐ Other, Specify \_\_\_\_\_

B. Use of Existing and Proposed Structures and Land:  
Existing Use (If Non-conforming, explain nature of use and non-conformity):

Vacant House  
Proposed Use: 17 Room Hotel

C. If Vacant:

Previous Use: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

STATE OF MICHIGAN )  
COUNTY OF MACKINAC ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Anders Bank (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

A. Andrew Dand  
Signature

SIGNATURES \_\_\_\_\_  
Signature

S. Andrew Dand  
Please Print Name

\_\_\_\_\_  
Please Print Name

Signed and sworn to before me on the 23rd day of June, 2025.

Jill A. Chapman  
NOTARY PUBLIC - STATE OF MICHIGAN  
COUNTY OF Mackinac  
My Commission Expires May 24, 2031  
Acting in the County of Mackinac

Jill A. Chapman  
Notary Public  
Mackinac County, Michigan  
My commission expires: 5/24/31

FOR OFFICE USE ONLY

Zoning Permit Issued: \_\_\_\_\_

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: HD25-069-054(4) FEE: 400-  
DATE: 6-24-25 CHECK NO: 8276 INITIALS: KP Revised October 2023

City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review  
Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- |   |                          |                                     |
|---|--------------------------|-------------------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction.  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Natural FeaturesProvidedNot Provided  
or Applicable

- |   |                                     |                          |
|---|-------------------------------------|--------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals  | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features  | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law  | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Physical FeaturesProvidedNot Provided  
or Applicable

- |   |                                     |                                     |
|---|-------------------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |

dwelling schedule showing the unit type and number of each such units

- |  |                                     |                                     |
|--|-------------------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features                               | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)       | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27)  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |

Utility Information

<u>Provided</u>	<u>Not Provided or Applicable</u>
-----------------	---------------------------------------

- |  |                                     |                                     |
|--|-------------------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |

**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>



**Architectural Review**  
**Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>



## AREA PHOTOS FROM CADOTTE & MARKET STREETS



Richard Clements Architects, PLLC 1725 Spring Lane Oroville, IA 67059 cclawell@rca2.com		960.210.3061
<b>MAY COTTAGE</b> <b>ADDITION-RENOVATION</b> 1305 CAROTTE MACKINAC ISLAND, MI 49757		
REV.	ISC.	
Offer: June 23, 2023 project: 2433 PHOTOS	Sheet	A0.0 CONTINUED ON REVERSE

STORMWATER PLAN:

DESIGN CRITERIA:  
10 YEAR 24 HOUR RAINFALL = 3.3"  
(SOURCE: MDT M54 REPORT)  
= (0.25) / hour  
INFILTRATION RATE OF SOIL = 0.2"/hr.  
(SOURCE: USDA) = 0.016/hour x 24 hrs. =  
0.72 = 0.25' / storm event  
DESIGN STORM VOLUME = 4,335 s.f.  
IMPERVIOUS x 0.28 = 1,214 cu. ft.  
ABSORPTION AREA OF 10' STRIP AROUND  
PERIMETER OF BUILDING + REAR YARD =  
5,348 s.f.  
STORMWATER ABSORPTION = 5,368 s.f. x  
0.25' = 1,342 cu. ft.  
STORM VOLUME minus ABSORPTION =  
REQUIRED DETENTION:  
1,214 cu. ft. = 1,342 cu. ft. = 0 cu. ft. TO  
BE DETAINED.  
ABSORPTION AREA EXCEEDS STORM VOLUME.  
NO STORM DETENTION REQUIRED.

SITE NOTES:

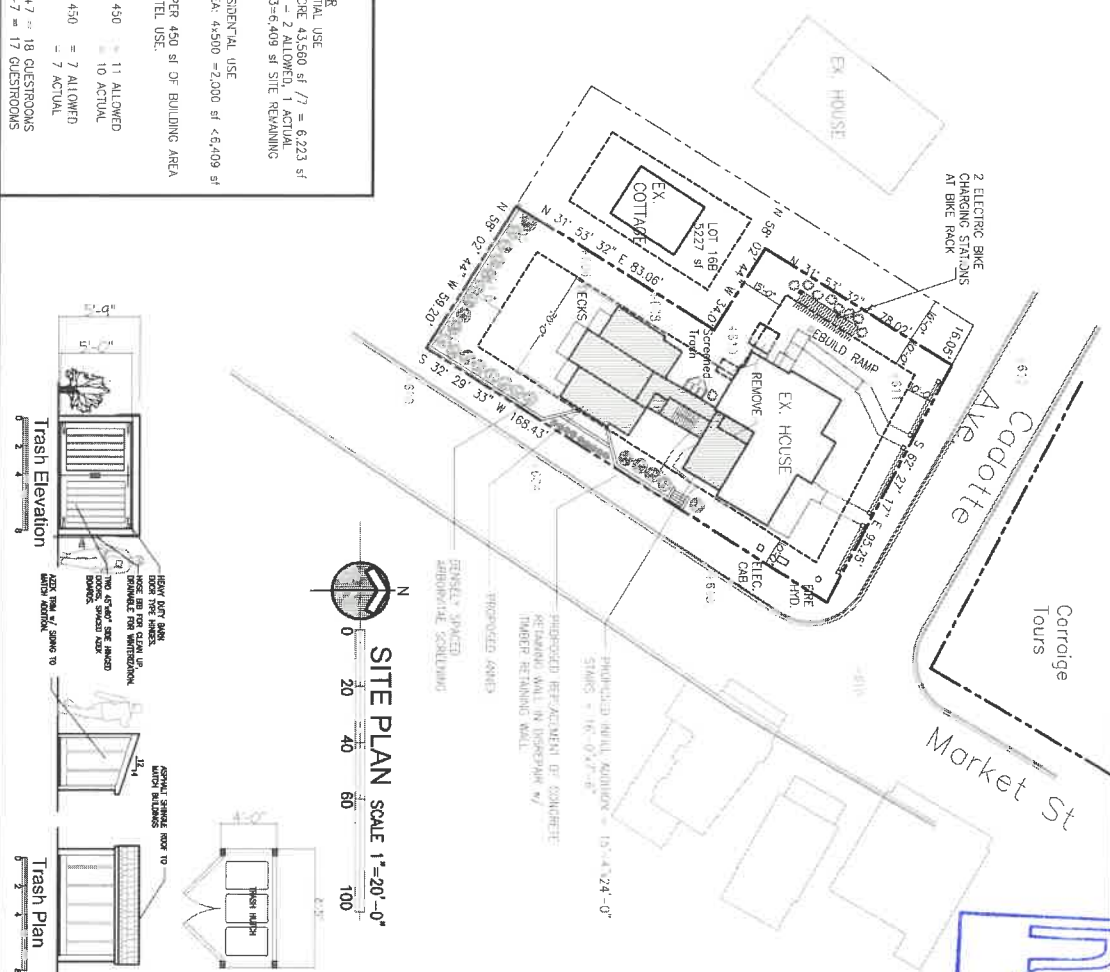
1. BICYCLE PARKING RACK IS PROVIDED AT  
A RATE OF 1 PER GUESTROOM + 7  
(24 TOTAL, w/ 2 ELECTRIC CHARGING  
STATIONS)
2. TRASH TO BE HELD WITHIN THE  
BASEMENT AND TRASH HUTCH & SET  
CURBSIDE ON COLLECTION DAYS
3. LIGHTING - NO AREA LIGHTING  
PROPOSED. COACH LIGHTING PROVIDED  
AT BUILDING ENTRANCES SHELTERED TO  
CONFERE LIGHT WITHIN THE SITE.
4. SEE STORMWATER NOTES THIS SHEET.

ZONING:

TAX ID: #051-575-068-01  
LOT 16A, P.C. PART OF LOT 16 BLOCK 5  
ASSESSORS' PLAN NUMBER 4  
TOWNSHIP 40 N. RANGE 3-2W, SECTION 36  
DISTRICT: MD MARKET  
LOT 16A  
LOT AREA: 12,632.4 s.f. = 0.29 acres  
ALLOWABLE HT.: 30', 2 1/2 STORY  
ACTUAL HEIGHT: 30', 2 1/2 STORY  
ALLOWABLE LOT COVERAGE: 12,632.4 s.f. x 55% =  
= 6,947 s.f.  
EX. HOUSE-FORCH-RAMP: +2049 s.f.  
EXIST. WALKS-FENCE: +300 s.f.  
EXIST. RETAIN. WALL: +180 s.f.  
PROPOSED DETENTION: 1,342 s.f.  
PRO. NEW WING & WALK: +1113 s.f.  
TOTAL IMP.: 4335 s.f. = 34.3%

DENSITY:

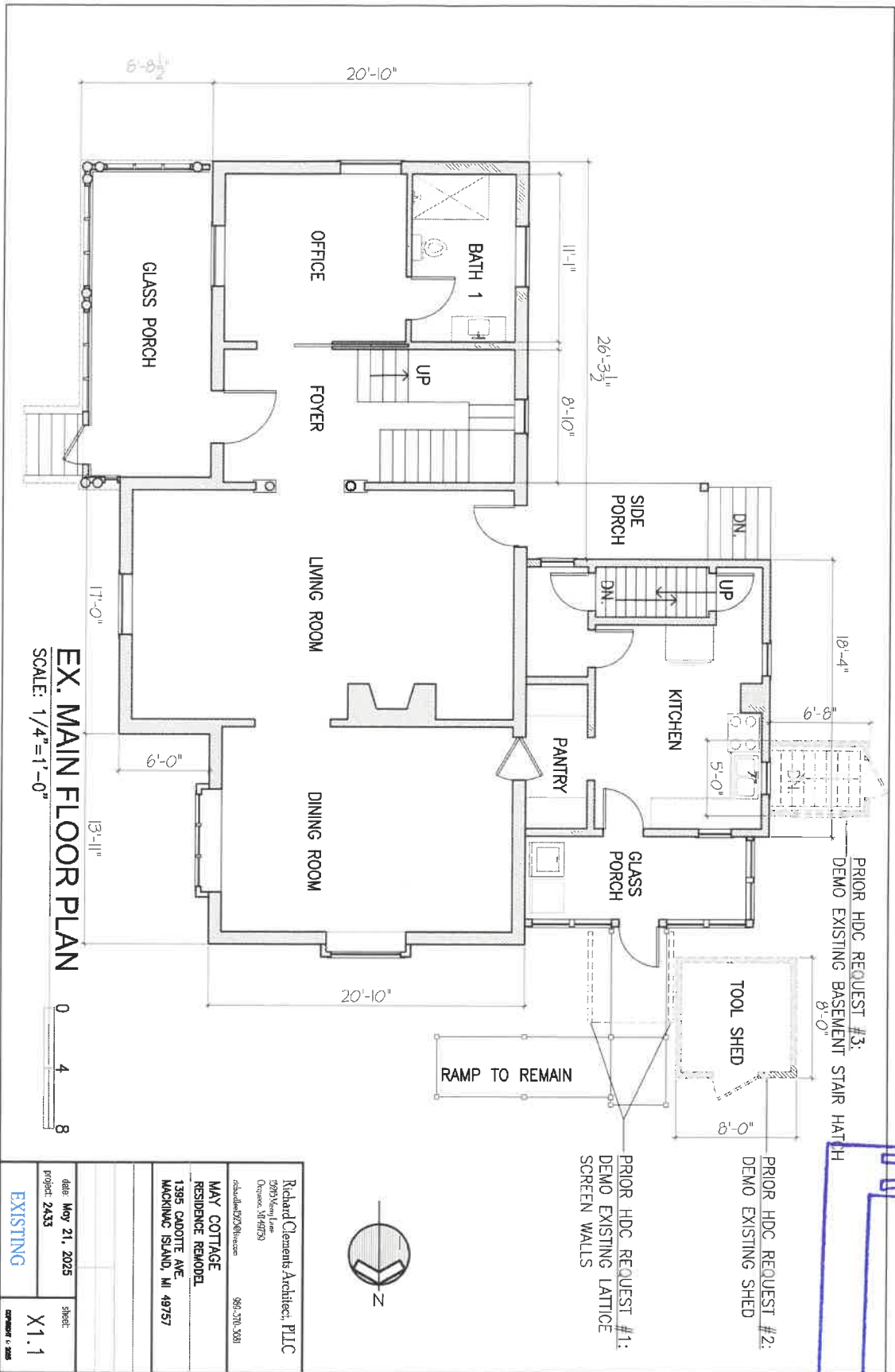
HOTEL OPERATOR  
FAMILY RESIDENTIAL USE  
7 UNITS PER ACRE 43,560 s.f. / 7 = 6,223 s.f.  
7x 0.29 ACRES = 2 ALLOWED, 1 ACTUAL  
12,632 s.f. = 6,223 = 6,409 s.f. SITE REMAINING  
RAMP, COTTAGE, 4  
FAMILY RESIDENTIAL USE  
RED D. SITE AREA 44,500 = 2,000 s.f. < 6,409 s.f.  
HOTEL:  
1 GUESTROOM PER 450 s.f. OF BUILDING AREA  
DEVELOPED TO HOTEL USE.  
MAIN HOUSE  
5191 sq. ft. / 450 = 11 ALLOWED  
ANNEX  
3293 sq. ft. / 450 = 7 ALLOWED  
ALLOWED = 11+7 = 18 GUESTROOMS  
ACTUAL = 10+17 = 17 GUESTROOMS



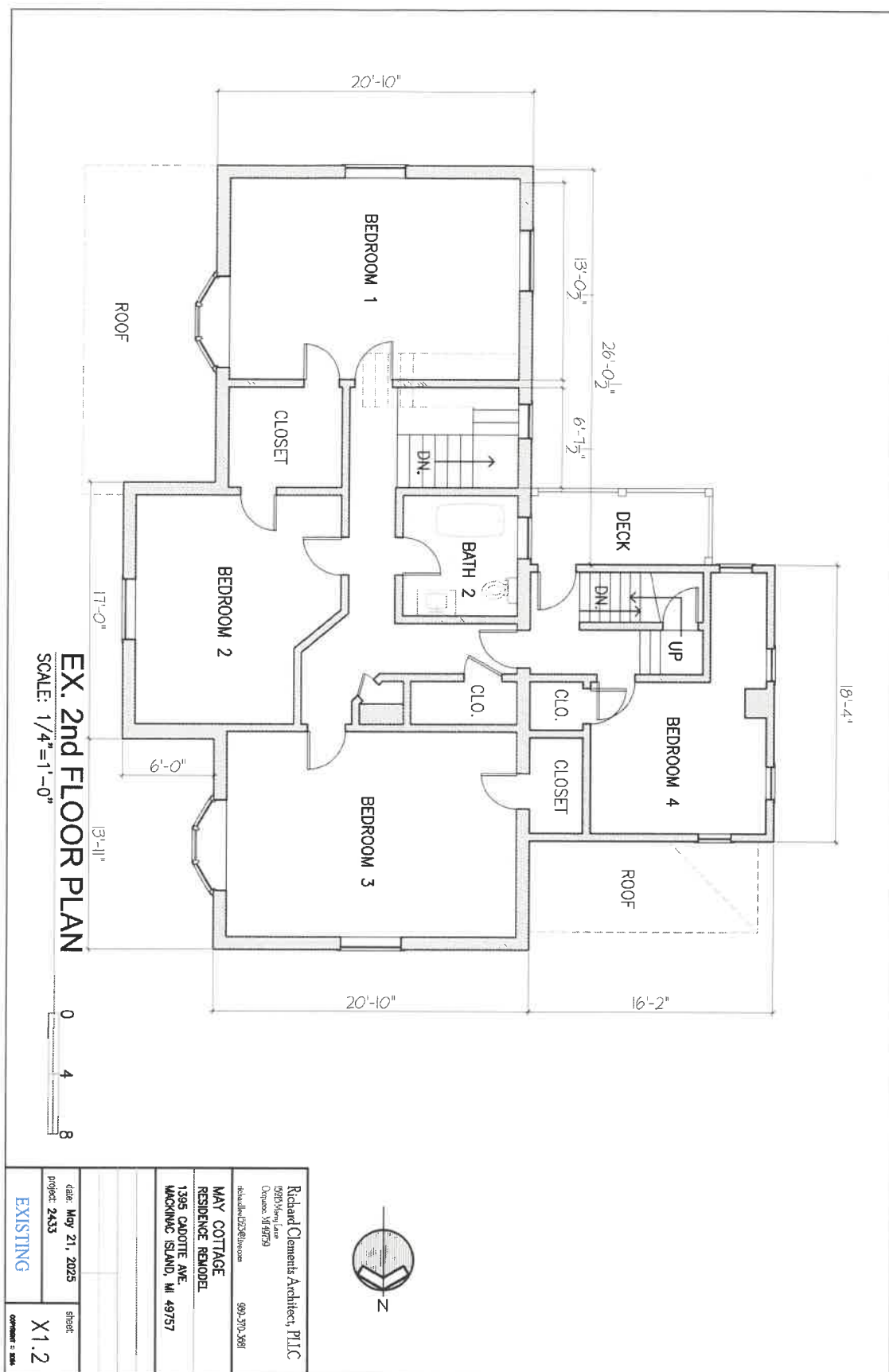
RECEIVED  
JUN 24 2025

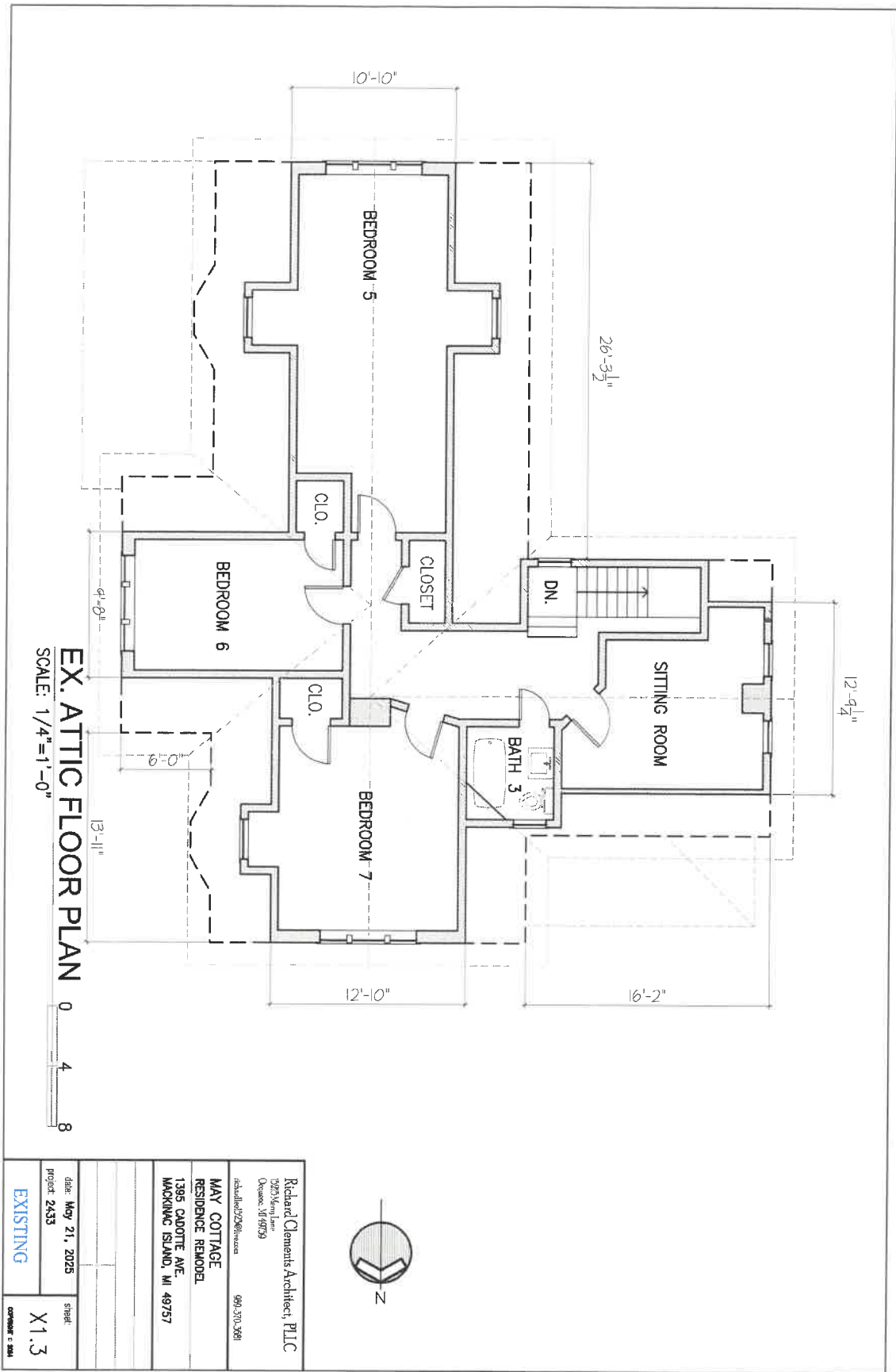
PROJECT DESCRIPTION:  
CONVERSION OF RESIDENCE TO  
HOTEL USE w/ SOUTHEAST INFL  
ADDITION AND SOUTHERLY ANNEX.

Richard Clements Architect, PLLC	
7803 Kent Lane	
Owens, WI 53099	
Tel: 920.300.3000	
Fax: 920.300.3001	
Email: rcl@rclarchitect.com	
Website: www.rclarchitect.com	
1395 CADOTTE	
MACQUINN ISLAND, WI 49757	
DATE: June 23, 2025	BY: [Signature]
PROJECT: 2433	SHEET: A1.0
SITE PLAN	

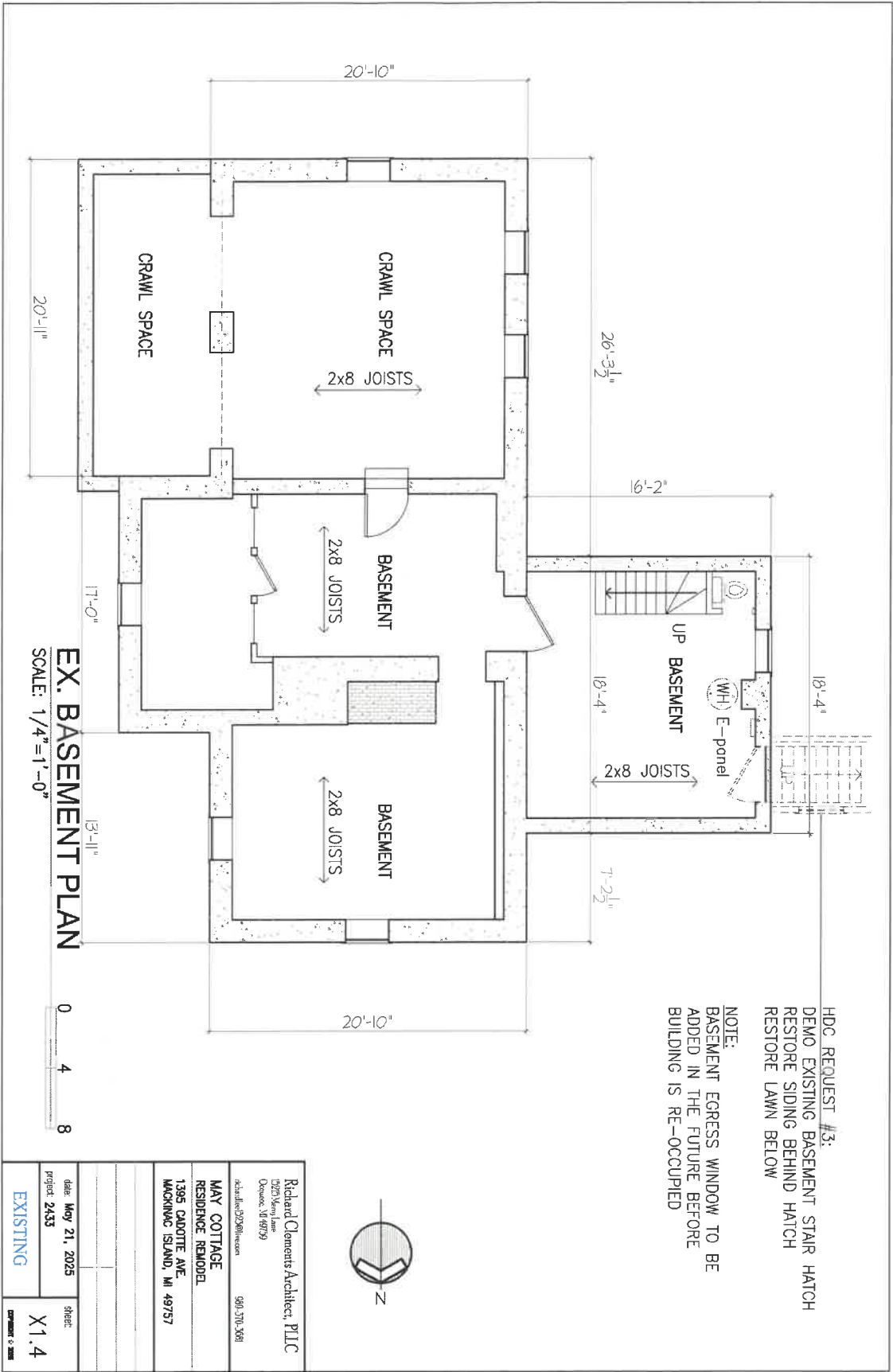


RECEIVED  
JUN 24 2025



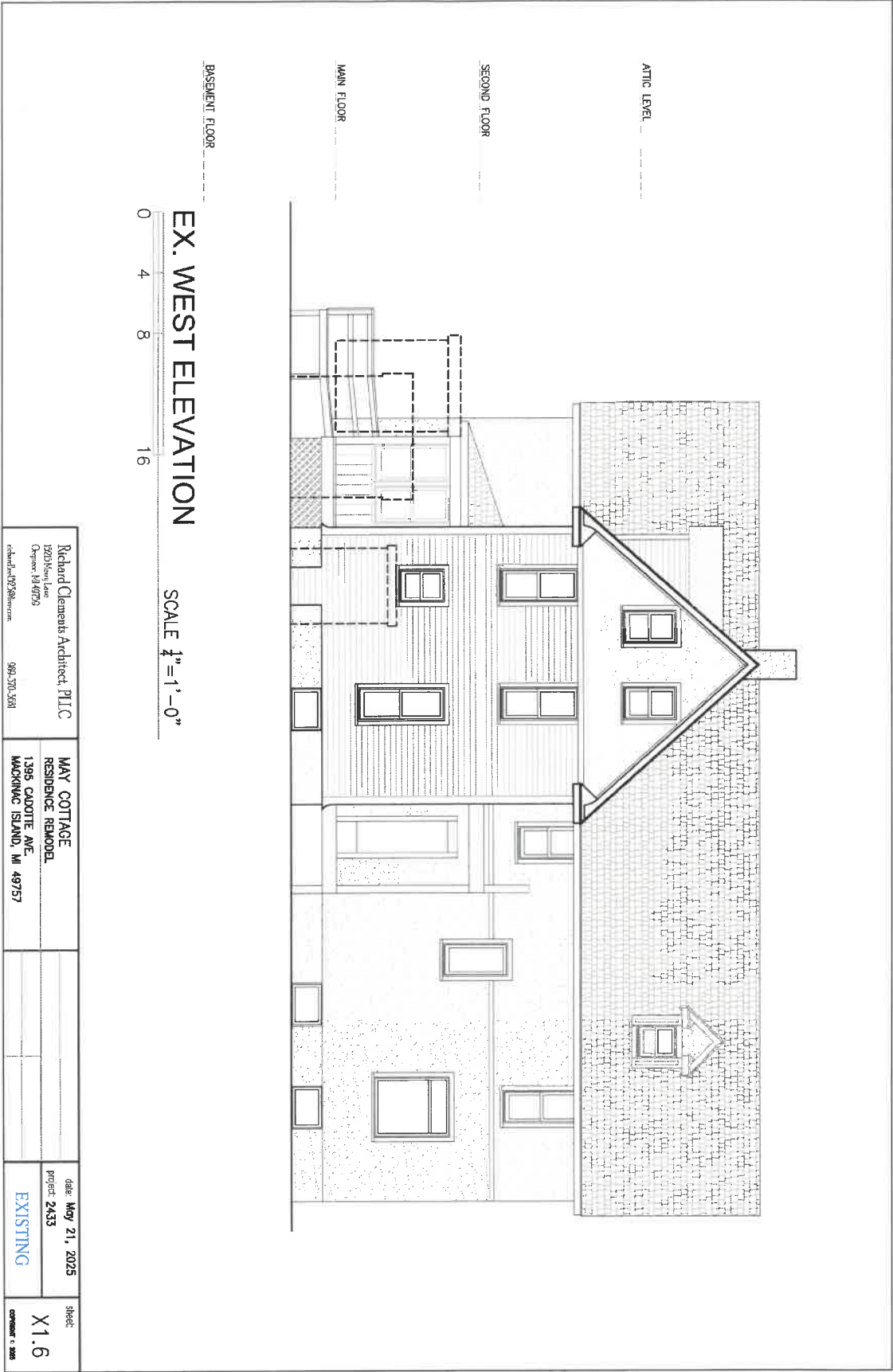


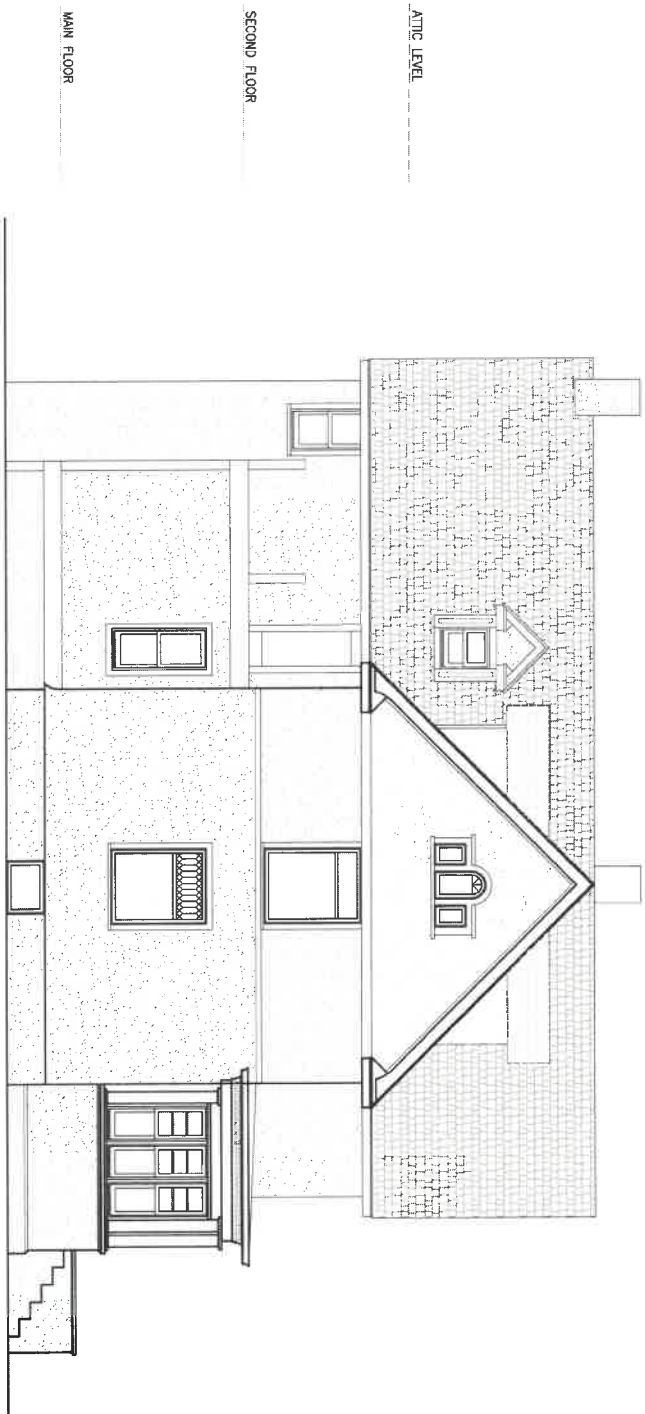








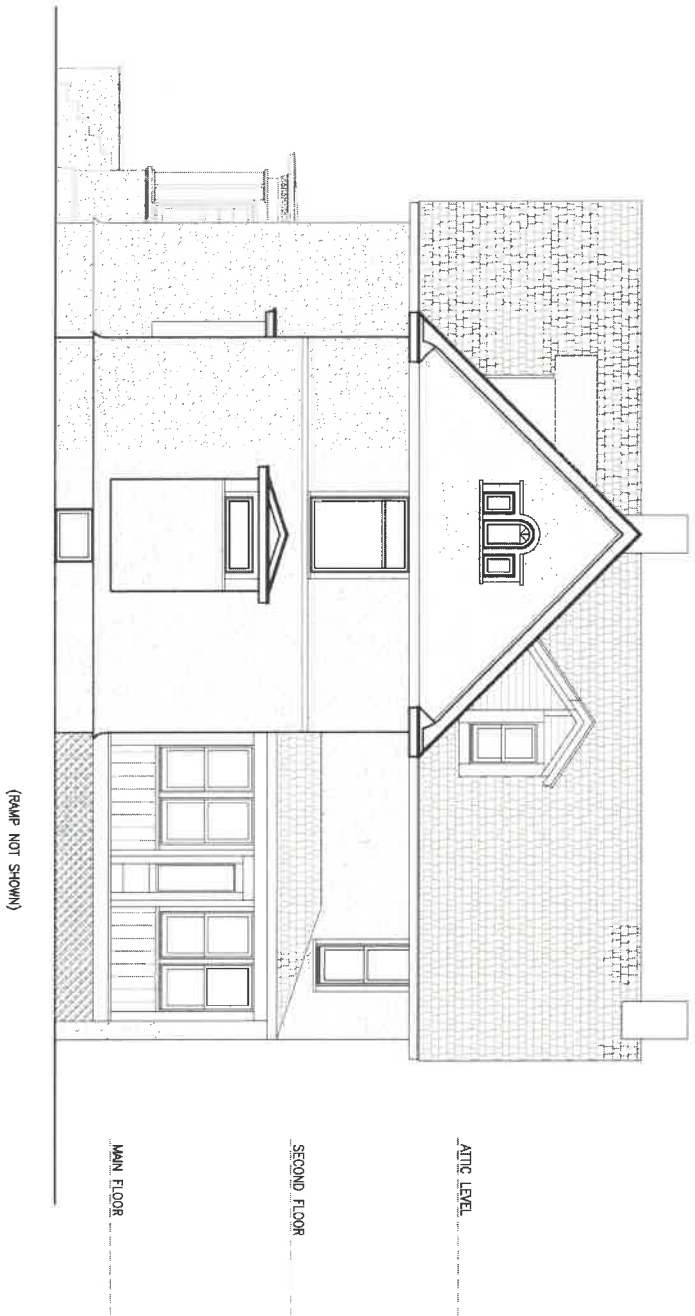




EX. SOUTH ELEVATION

SCALE  $\frac{1}{4}$ " = 1'-0"

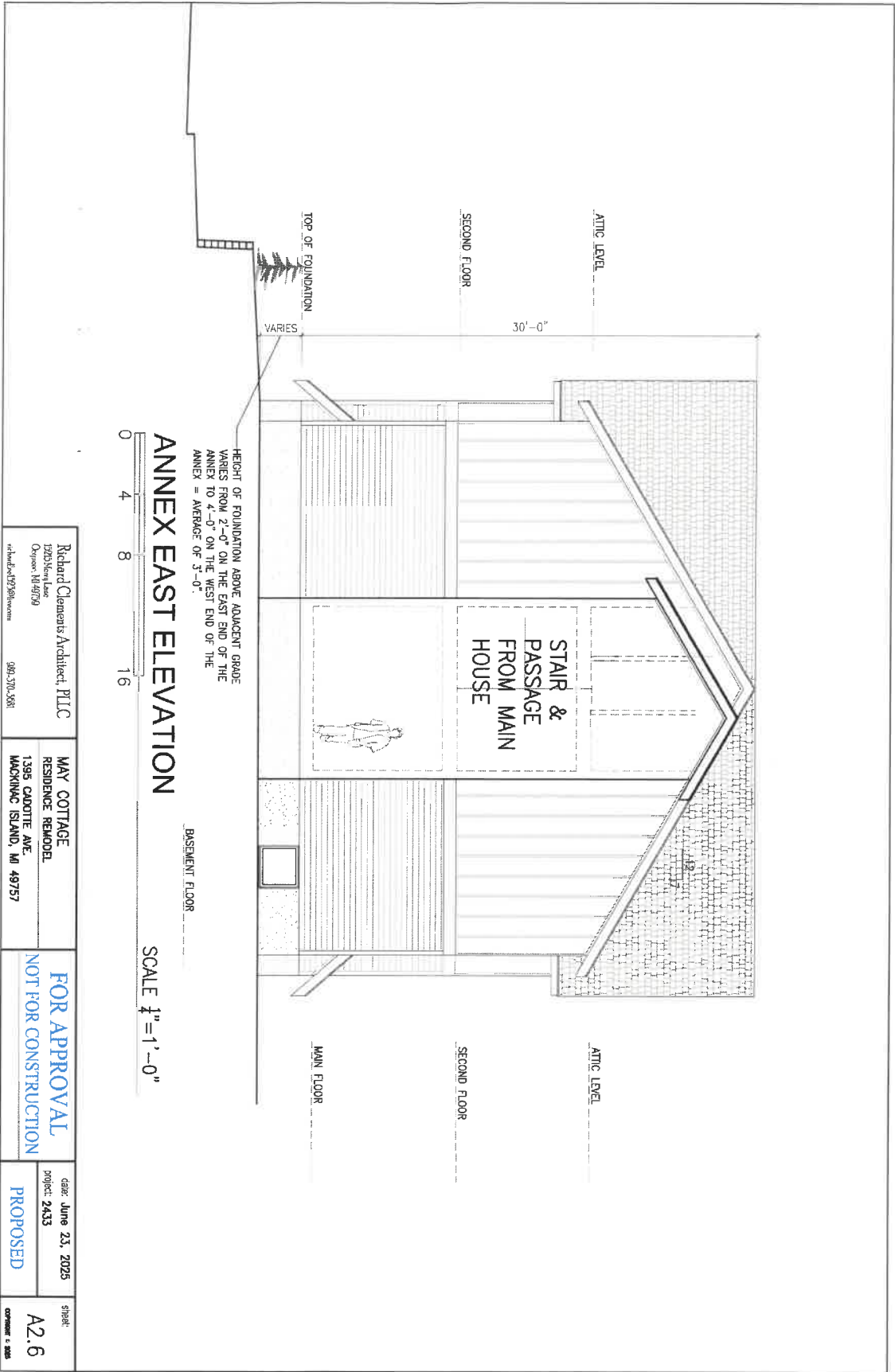
Richard Clements Architect, PLLC 1920 Kensington Lane Carpenter, MI 48756 richard@rca1920kensington.com 989.370.5881	MAY COTTAGE RESIDENCE REMODEL 1395 CADOTTE AVE. MACKINAC ISLAND, MI 49757	date: May 21, 2025 project: 2433	sheet: X1.7 COPYRIGHT © 2005
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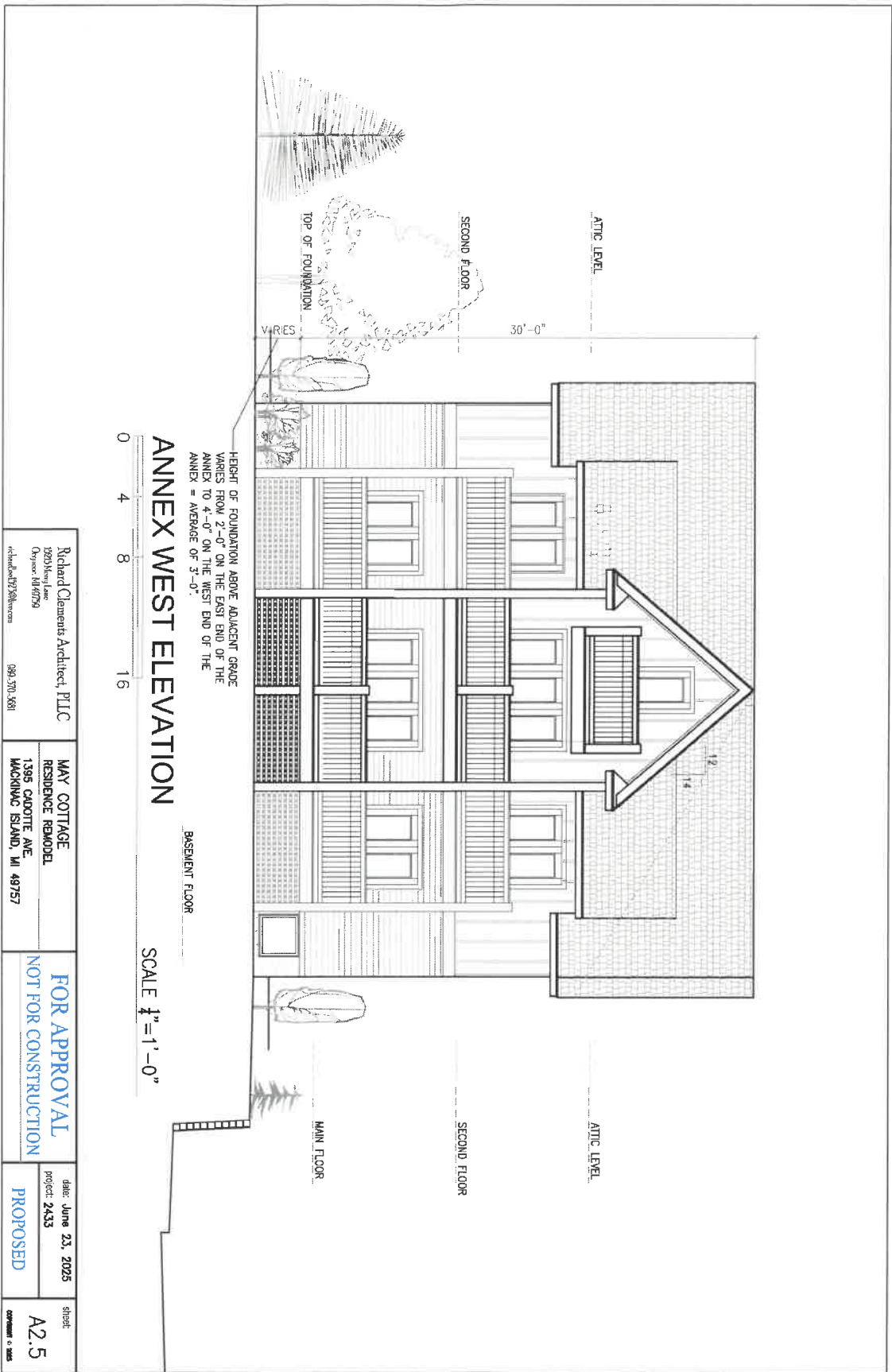
Richard Clements Architect, PLLC 1000 S. 1st Ave. Oshkosh, WI 54901 rcl@rclarchitect.com 920.370.3681		MAY COTTAGE RESIDENCE REMODEL 1395 CADOTTE AVE. MCKINNAH ISLAND, WI 49757		date: May 21, 2025 project: 2433		sheet: X1.8 CONCEPT & SITES	
				EXISTING			





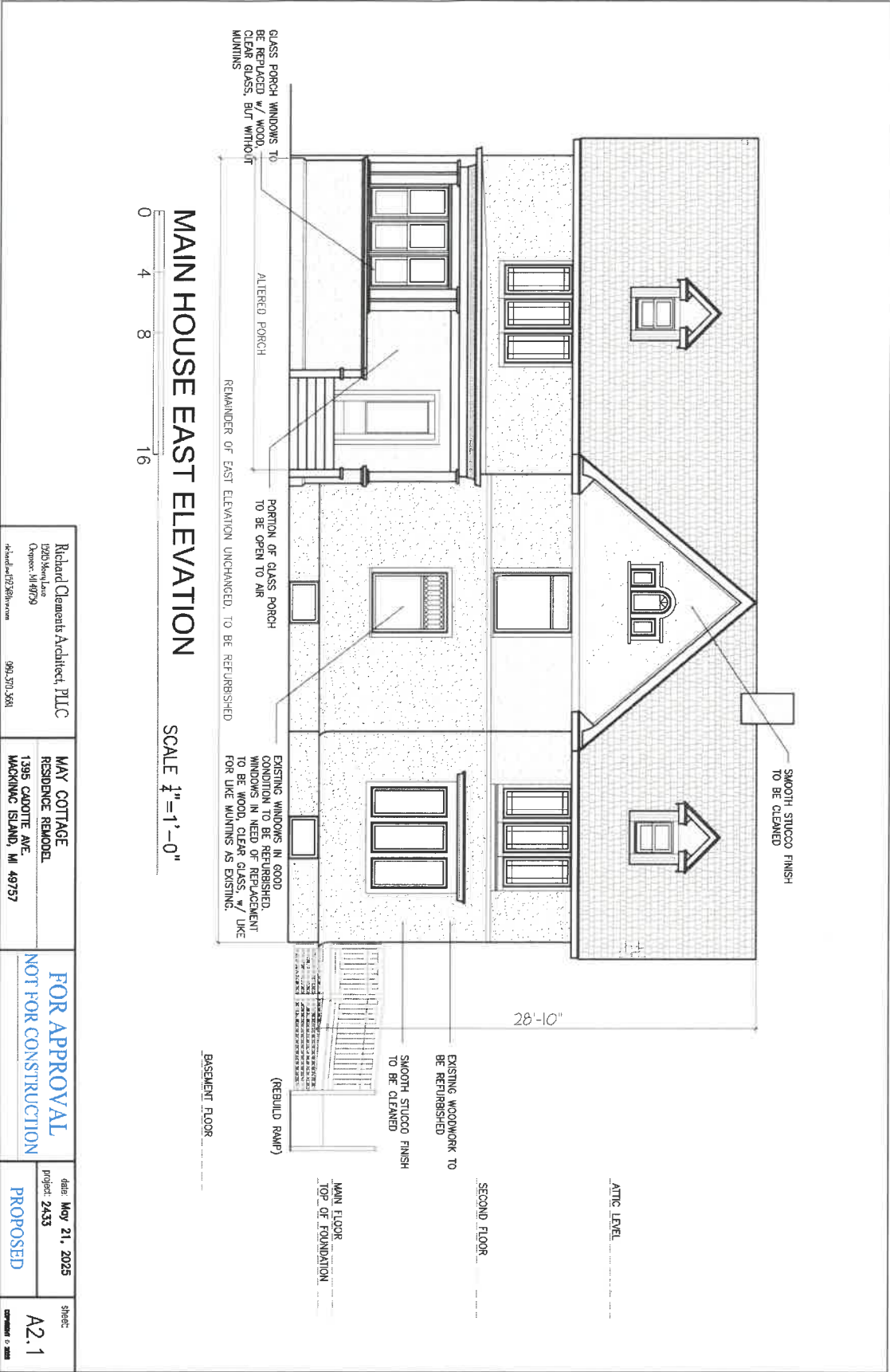


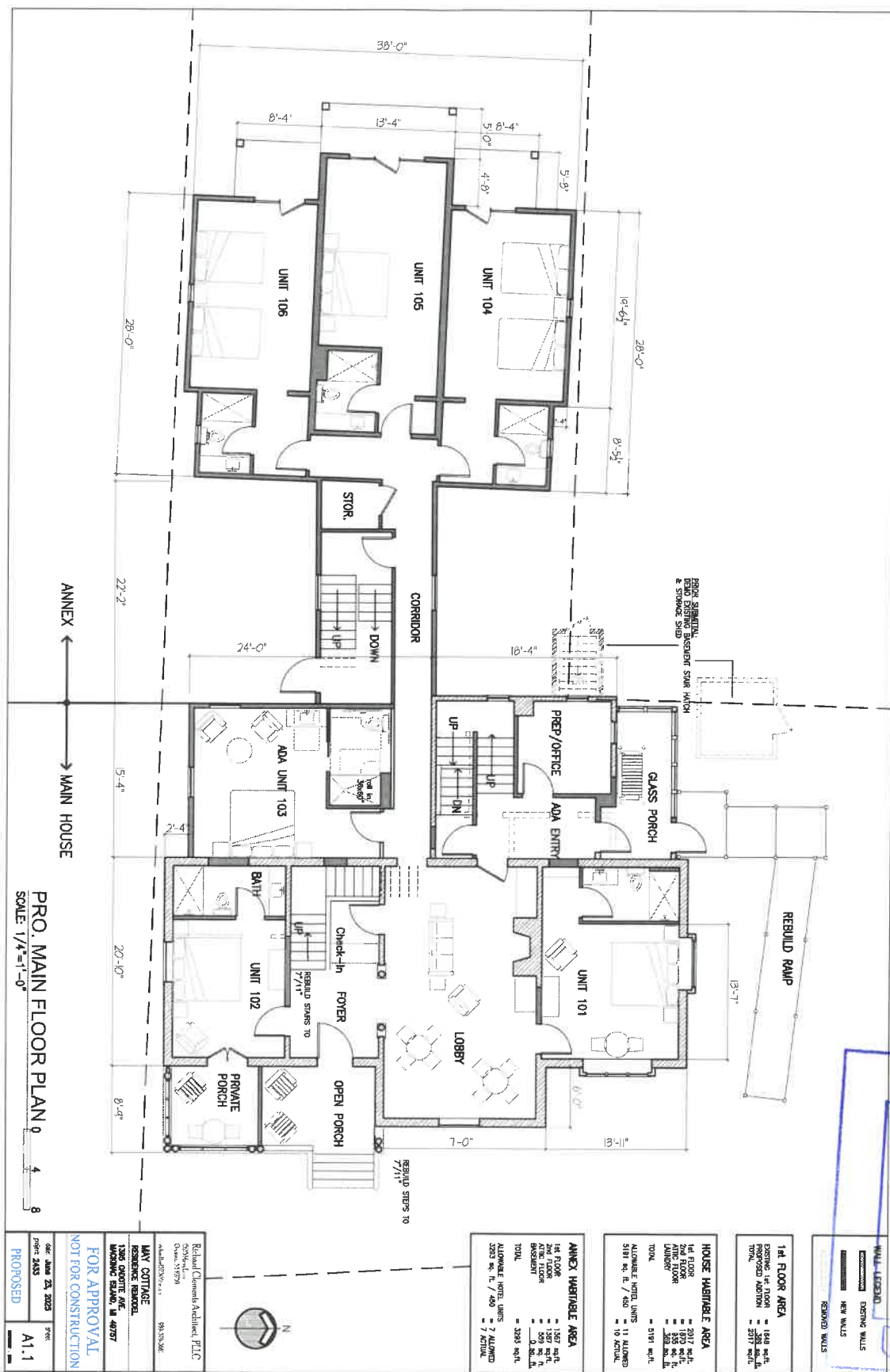


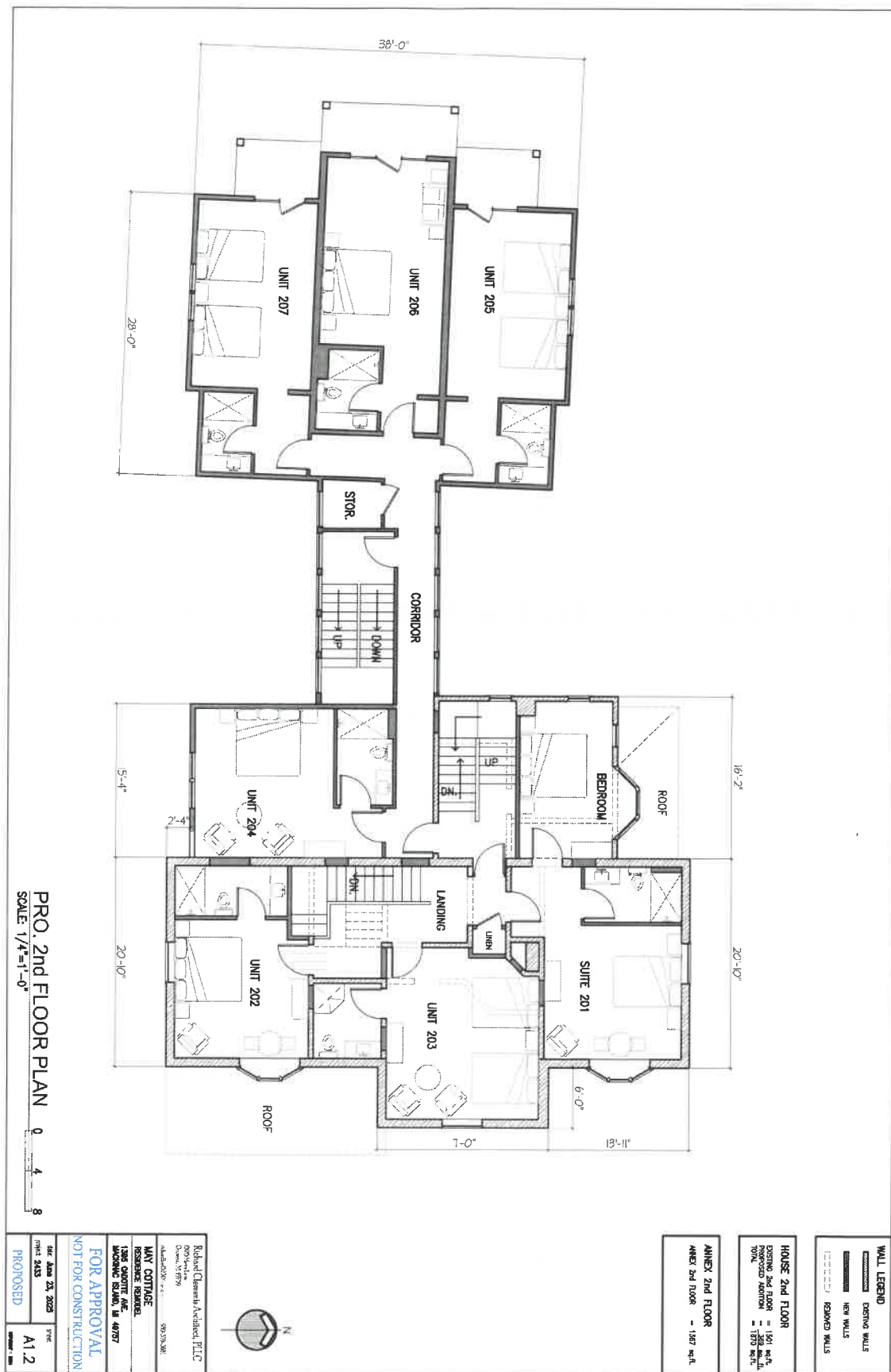


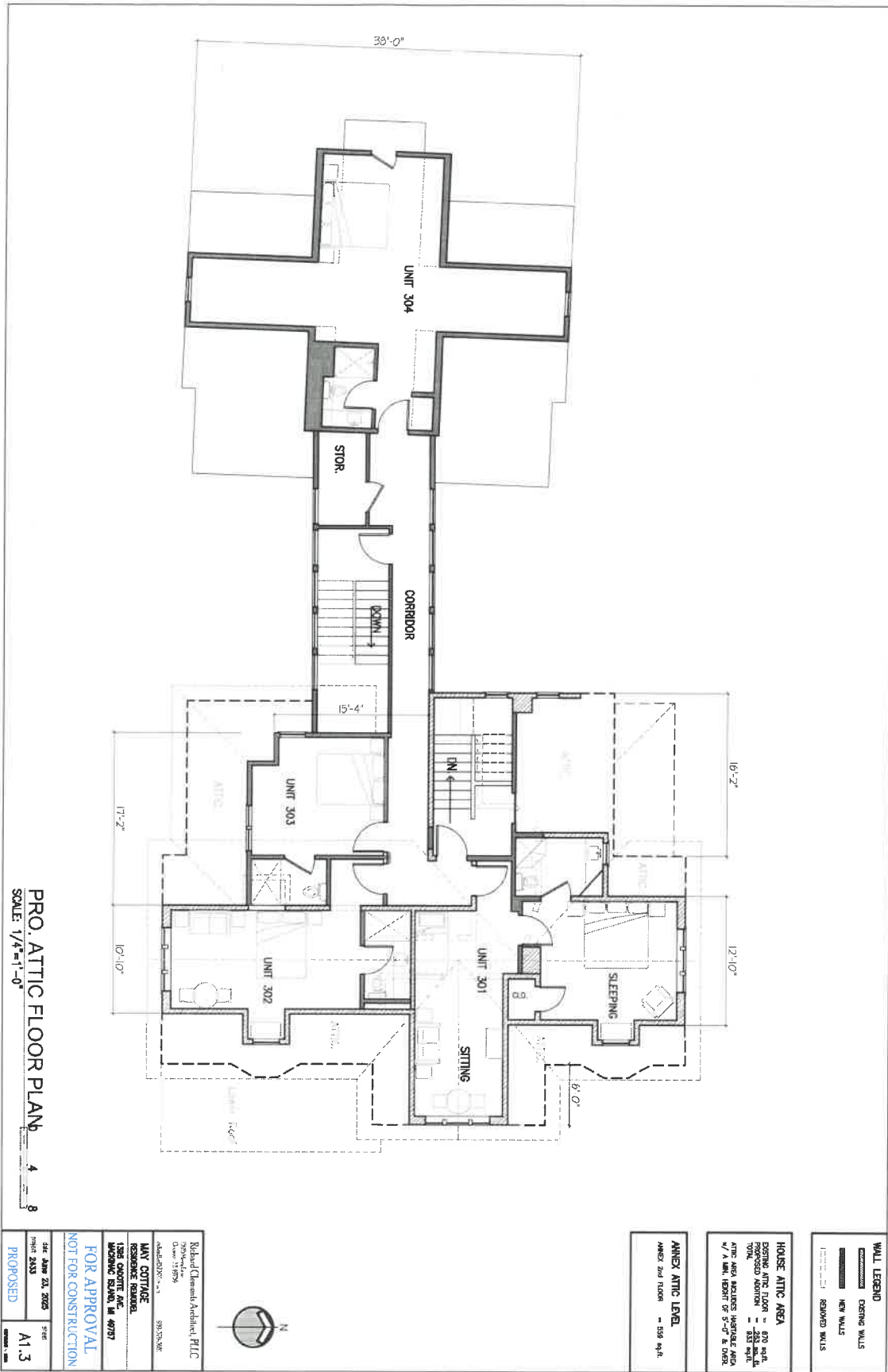


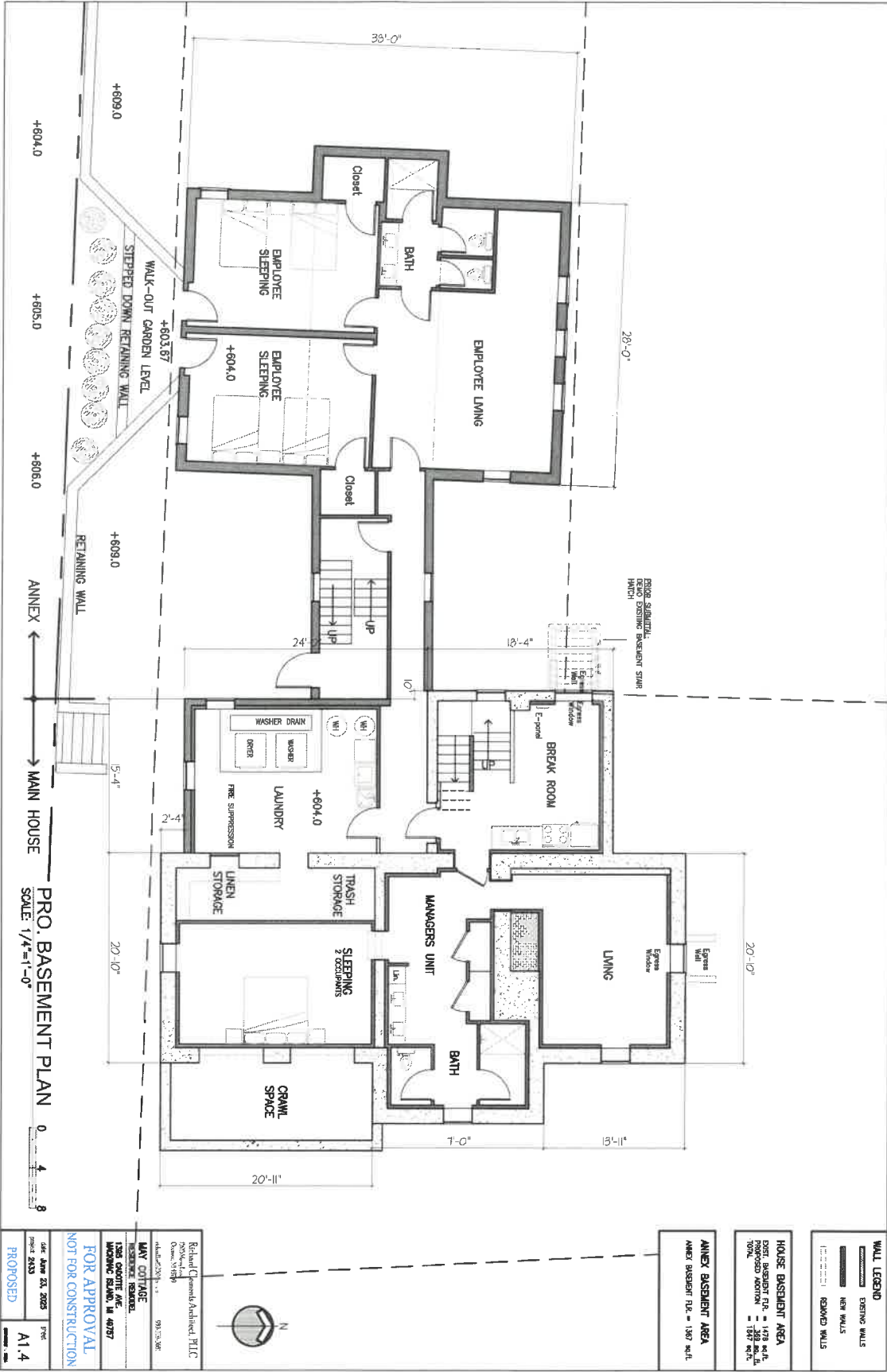


















**B. Use of Existing and Proposed Structures and Land:**

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Retail/Apartments

Proposed Use: Retail/Apartments/ and Boarding House

**C. If Vacant:**

Previous Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

STATE OF MICHIGAN            )  
COUNTY OF MACKINAC        ) ss.

**AFFIDAVIT**

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Architect (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.



[Signature]  
Signature

Richard Chambers  
Please Print Name

SIGNATURES [Signature]  
Signature

Barry J Polzin  
Please Print Name

Signed and sworn to before me on the 29<sup>th</sup> day of July, 2025.



Trista L France  
Notary Public  
Mackinac County, Michigan  
My commission expires: 3/14/2031

FOR OFFICE USE ONLY

Zoning Permit Issued: \_\_\_\_\_

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: C25-057-065(H) FEE: 400 -  
DATE: 7-29-25 CHECK NO: 109 INITIALS: KP Revised October 2023

City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review  
Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- |   |                                     |                          |
|---|-------------------------------------|--------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction.  | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Natural FeaturesProvidedNot Provided  
or Applicable

- |   |                          |                                     |
|---|--------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided  
or Applicable

- |   |                          |                                     |
|---|--------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features                               | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)       | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27)  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Utility Information

	Provided	Not Provided or Applicable
--	----------	-------------------------------

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)

Demolition	Provided	Not Provided or Applicable
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Architectural Review**  
**Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>



1. The plan shall be drawn to [a] scale of not greater than one inch equals 20 feet for a development of not more than three acres and a scale of not less than one inch equals 100 feet for a development in excess of three acres with north point and scale shown on the plan drawing. See sheet A1.0 for plans and north arrows.
2. The plan shall show an appropriate descriptive legend. North arrow, scale, date of preparation and the name and address of the individual or firm preparing the same. See attached plans
3. The property shall be identified by lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property. See attached Cover and A1.0
4. The topography of the site with at least two- to five-foot contour intervals and all natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features shall be shown. N/A.
5. Existing manmade features upon the site and within 100 feet of the same shall be identified. All features have been identified on Cover.
6. The location, proposed :finished floor and grade line elevations, size of proposed main and accessory buildings, the relationship of buildings to one another and to any existing structures on the site, the height of all buildings and square footage of floor space therein shall be disclosed. Site plans for multiple family residential development shall also include a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units. See attached plans
7. All proposed and existing streets, driveways, sidewalks and other bicycle or pedestrian circulation features upon and adjacent to the site shall be shown, together with the location, size and number of on-site parking areas, service lanes thereto, and parking and delivery or loading areas. See Cover
8. The location, use and size of open spaces together with landscaping, screening, fences, walls and proposed alterations of topography or other natural features shall be indicated. No changes proposed to any landscaping.
9. The proposed operations on the site shall be described, in writing, in sufficient detail to indicate the effect, if any, upon adjoining lands and occupants with any special features which are proposed to relieve any adverse effects to adjoining land and occupants. Any potential demands for future community services will be described, together with any special features which will assist in satisfying such demands. See A1.0 for project description, no changes in demands for services.
10. Any earth-change plans required by state law shall also be submitted with the application. N/A
11. On site lighting, surface water drainage for the site, proposed sanitary sewage disposal, water supply, solid waste storage and disposal, other utility services (i.e., propane tanks, electrical service, transformers), and utility easements shall be included in the plans. Water and sewer are existing, no propane, additional electrical will be required.

12. A general description and location of stormwater management system shall be shown on the grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features. **N/A no change**
13. Any feature of the proposed development that would directly or indirectly impact a public right-of-way, public utility, or adjoining property. **No changes to a public right-of-way, public utility or adjoining property.**
14. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan). **This is minor change to the façade any materials, equipment, construction debris, and any trash will be stored within the building and then hauled by Drey pickup to be scheduled with Mackinac Island Service company as necessary.**
15. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. **This is minor change to the façade any materials, equipment, construction debris, and any trash will be stored within the building and then hauled by Drey pickup to be scheduled with Mackinac Island Service company as necessary.**
16. Proposed construction start date and estimated duration of construction. **Proposed start date November 2025 completed by Mid-April 2026**
17. Such other information as may be determined to be necessary by the planning commission

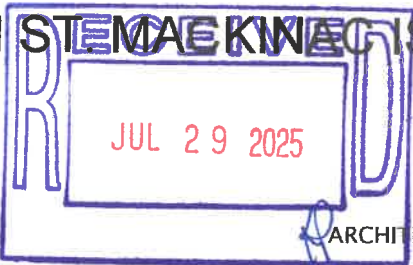
# MAIN STREET HOUSING

File No. C25-057-065(4) 7377 MAIN STREET, MACKINAC ISLAND, MICHIGAN

Exhibit C

Date 7.29.25

Initials KP



JULY 28, 2025

MACKINAC MARKET LLC  
251 LITTLE FALLS DRIVE  
WILMINGTON, DELAWARE 19808

ARCHITECT: BARRY J POLZIN ARCHITECTS INC.  
101 N LAKESHORE BLVD.  
MARQUETTE, MI 49855

## LEGAL DESCRIPTION

ASSESSORS PLAT NO.3 SW'LY 63.08 FT OF LOT 134 EXC SW'LY 31.08 FT AND BOTTOMLANDS DESCRIBED AS: COMM AT NW'LY COR OF LOT 132 TH S 20 DEG 12'17"E ALONG NW'LY LINE OF LOTS 132,133 AND 134, 181.42 FT TH S 70 DEG 27'E 75.62 FT TO POB TH CONT S 70 DEG 27'E 32 FT TH S 27 DEG 09'W ALONG SHORE 32.28 FT TH N 70 DEG 27'20"W 28 FT TH N 18 DEG 15'E 32 FT TO POB

## INDEX

- A1.0 COVER/LEGAL/SITE PLAN
- A1.1 PLANS
- A1.2 EXTERIOR ELEVATIONS
- A1.3 ROOF PLAN AND PHOTOS

NEW DOORS ARE WOOD FRAMED WITH CLEAR INSULATED GLASS. NEW TRIM IS WOOD(PAINTED)  
NEW WINDOWS ARE ALUMINUM CLAD WOOD WINDOW UNITS WITH CLEAR INSULATED GLASS. ALL NEW TRIM IS WOOD (PAINTED).

## ZONING: C COMMERCIAL

### PROJECT DESCRIPTION:

THIS PROJECT IS A MIXED USE COMMERCIAL BUILDING. TO UTILIZE A UNFINISHED 2ND FLOOR AND MODIFY AN EXISTING APARTMENTS IN THE BUILDING AT 7377 MAIN STREET. THE UNFINISHED 2ND FLOOR WILL BECOME BOARDING HOUSE BEDROOMS AND BATHS TO HOUSE 12 EMPLOYEES. THE EXISTING APARTMENTS WILL BE DIVIDED TO CREATE A ONE BEDROOM APARTMENT ON THE FIRST FLOOR, A BOARDING HOUSE COMMON AREA ON THE SECOND FLOOR AND A TWO BEDROOM APARTMENT ON THE THIRD FLOOR.

EXTERIOR WORK WILL BE LIMITED TO THE EAST(WATER SIDE), WINDOWS AND DOORS WILL BE RELOCATED AND 3 CONDENSING UNITS WILL BE PLACED ON THE SECOND FLOOR BALCONY. 6 NEW ROOF VENTS WILL BE ADDED BUT WILL REMAIN HIDDEN FROM THE STREET VIEW.

## BOARDING HOUSE AND APARTMENTS ( PROPOSED USE)

SITE AREA = 3,404 S.F./0.078 ACRES	ALLOWED	PROPOSED
BOARDING HOUSE	13.6 BEDS	12 BEDS
SITE AREA = 3,404 S.F./0.078 ACRES	2.4 UNITS	2 UNITS (6 BEDS)
TOTAL PROPOSED OCCUPANCY:		18



LIC # 1301029135

BARRY J. POLZIN  
ARCHITECTS

A1.0

1 of 4

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THE BIG STORE  
RETAIL

LILAC TREE HOTEL  
AND RETAIL

POPPINS

BAXTERS SHOES,  
MAY'S FUDGE  
TRADING POST

1,848 SqFt  
**550-055**  
MURDICKS FUDGE

VACANT  
**550-056**

2,435 SqFt  
**550-057**

DECKED OUT  
RETAIL  
**550-058**

**550-059**  
HORSE CORRAL MALL

SITE PLAN

SCALE 1"=20'

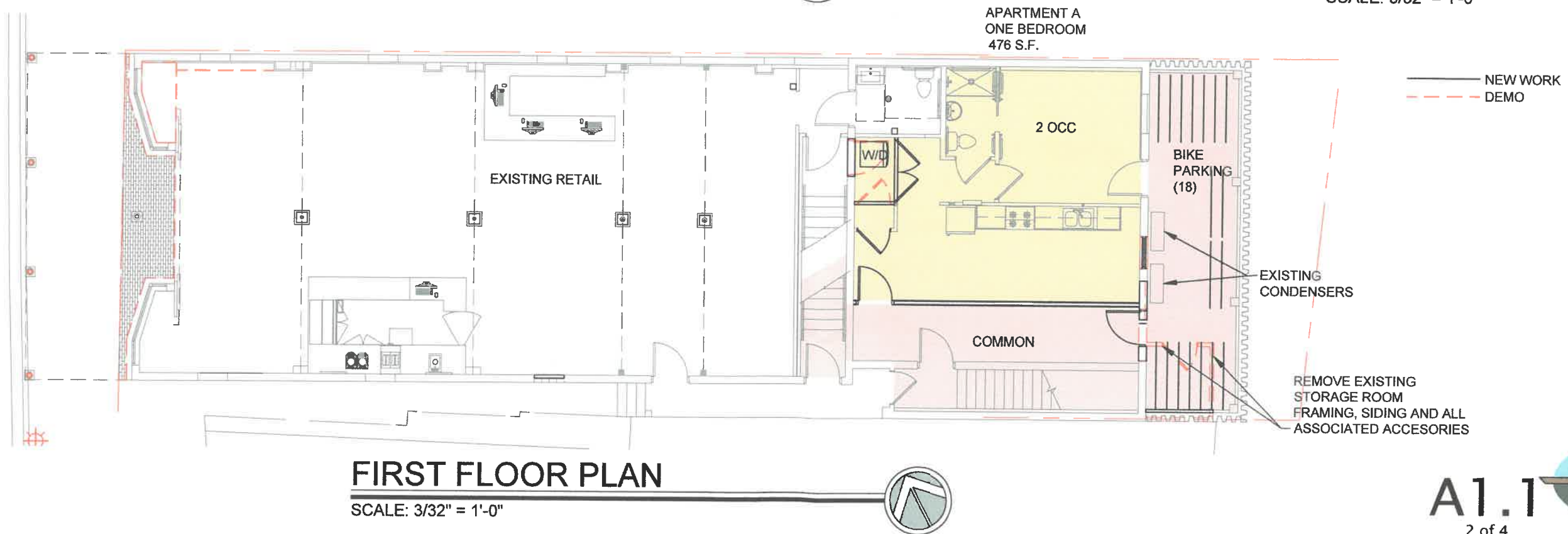
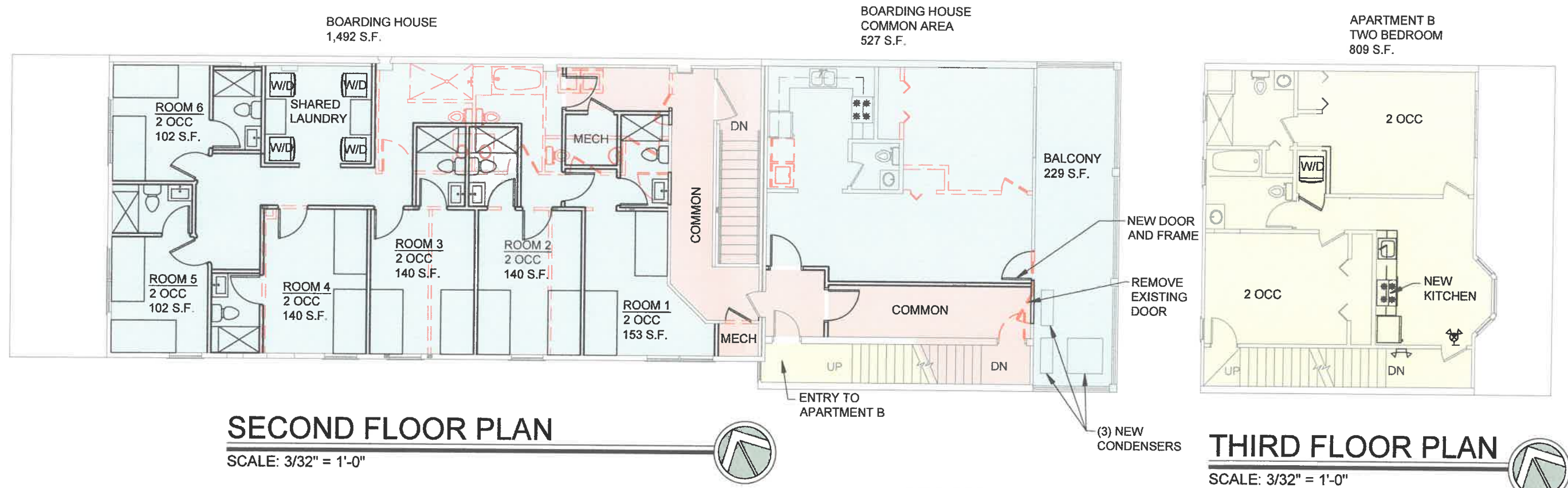


# MAIN STREET HOUSING

## 7377 MAIN ST. MACKINAC ISLAND, MICHIGAN

Section IX, Itemc.

JULY 28, 2025



**A1.1**  
2 of 4

**BARRY J. POLZIN**  
ARCHITECTS

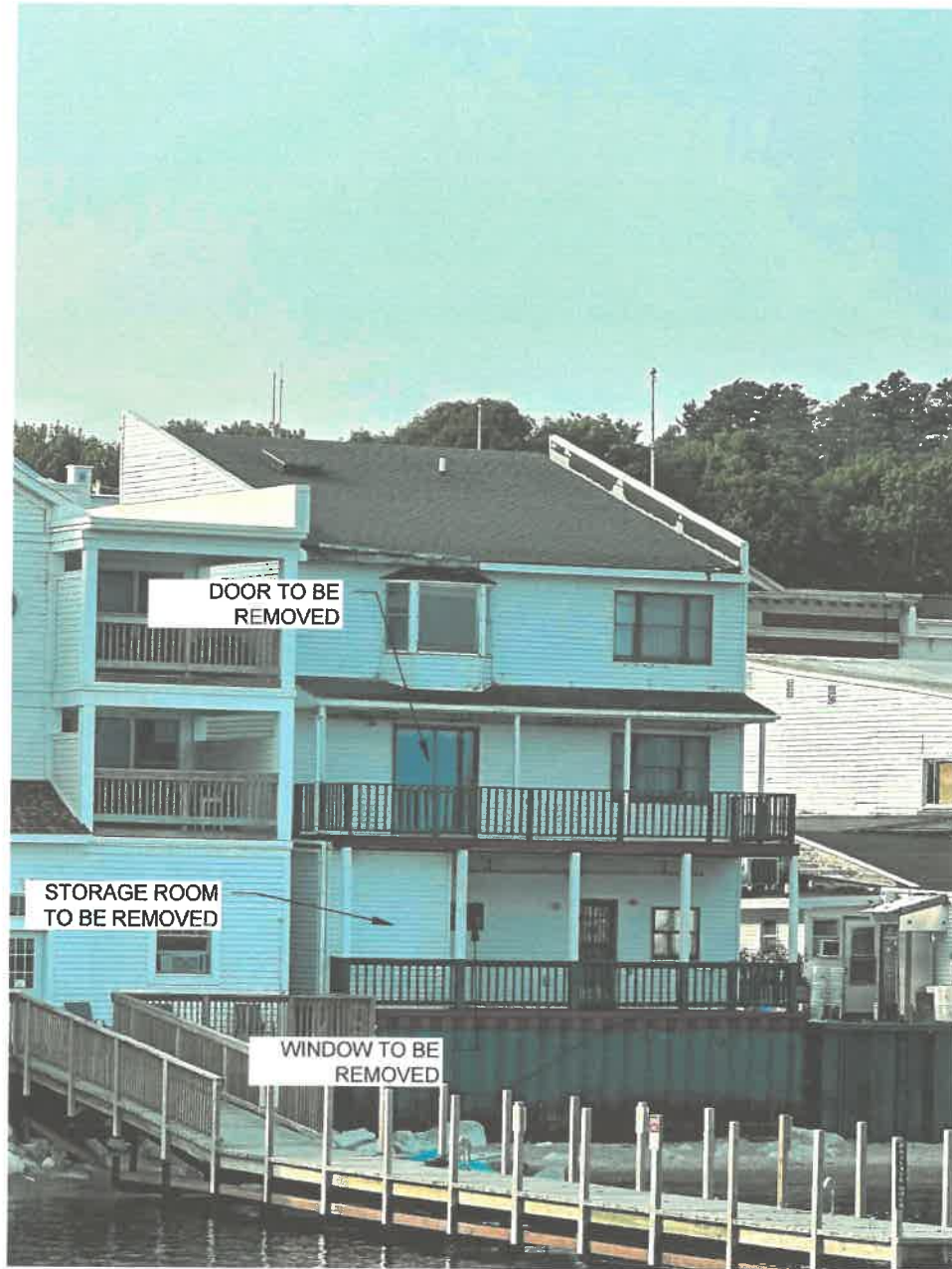
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# MAIN STREET HOUSING

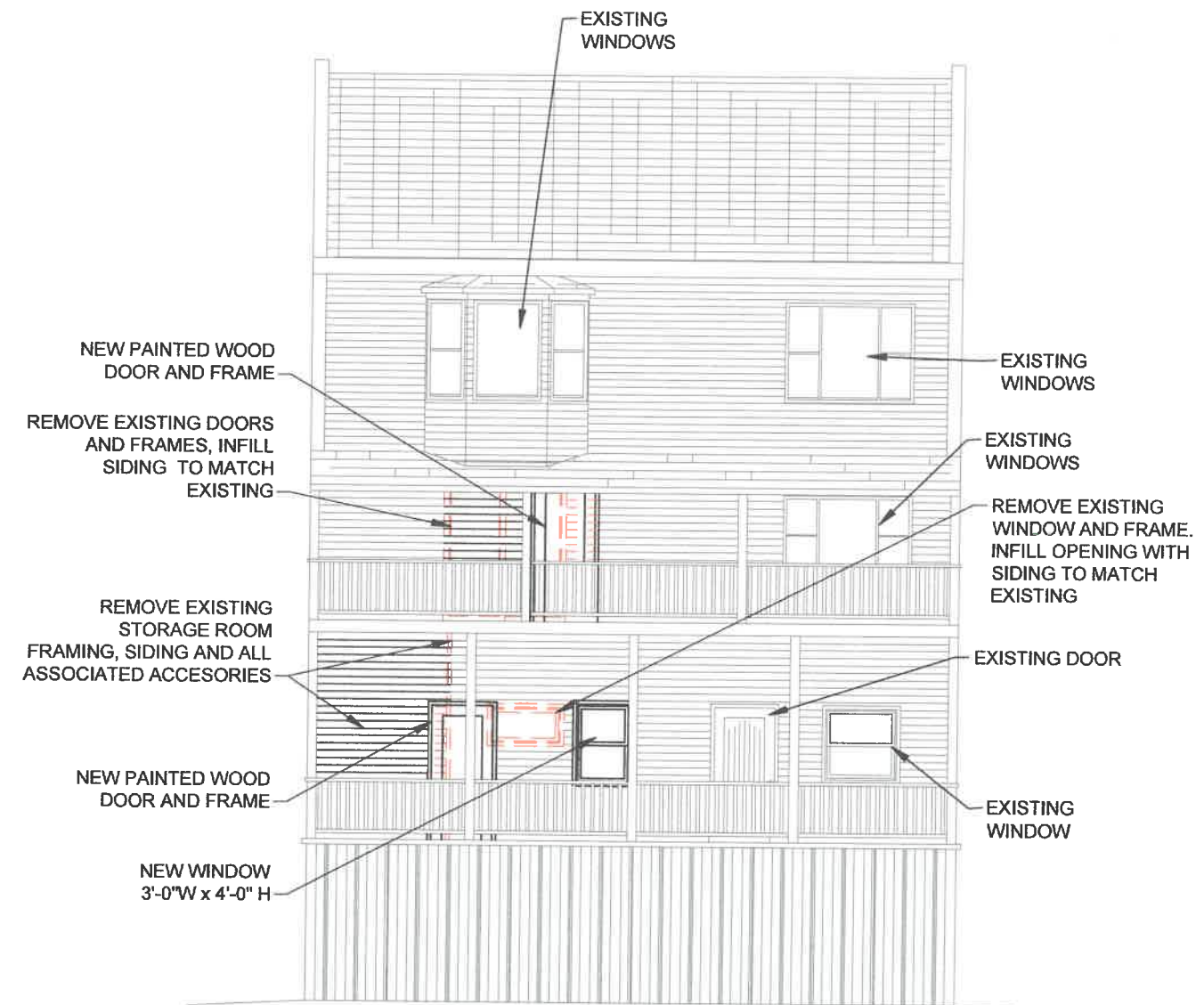
7377 MAIN ST. MACKINAC ISLAND, MICHIGAN

Section IX, Itemc.

JULY 28, 2025



**HARBOR SIDE**



**PROPOSED EAST EXTERIOR ELEVATION**

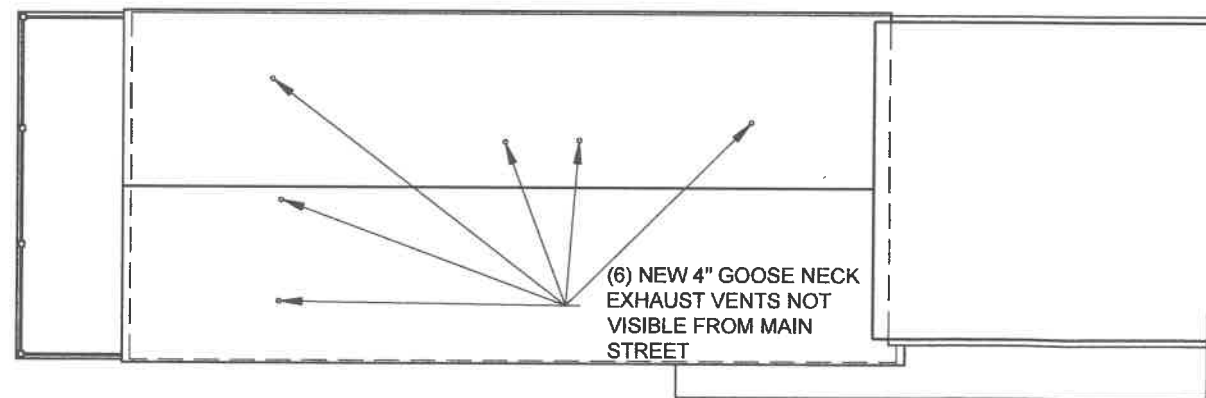


# MAIN STREET HOUSING

7377 MAIN ST. MACKINAC ISLAND, MICHIGAN

Section IX, Itemc.

JULY 28, 2025



## ROOF PLAN

SCALE: 1/16" = 1'-0"



A1.3  
4 of 4

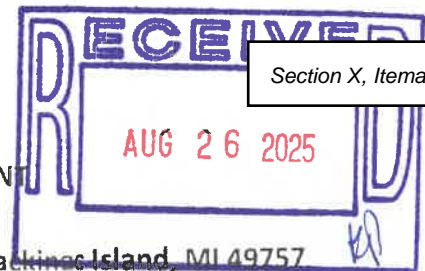
BARRY J. POLZIN  
ARCHITECTS

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CITY OF MACKINAC ISLAND  
PLANNING COMMISSION & BUILDING DEPARTMENT  
APPLICATION FOR ZONING ACTION



www.cityofmi.org    kep@cityofmi.org    906-847-6190    PO Box 455 Mackinac Island, MI 49757

**APPLICANT NAME & CONTACT INFORMATION:**

Leshon Pierson  
1016 S. Burdick, Kalamazoo, MI 49001  
289-779-1188    leshonpierson47@gmail.com  
Phone Number    Email Address

Please complete both sides of application.  
The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

**Property Owner & Mailing Address (If Different From Applicant)**

Same as above

Is The Proposed Project Part of a Condominium Association? No  
Is The Proposed Project Within a Historic Preservation District? Yes  
Applicant's Interest in the Project (If not the Fee-Simple Owner): Owner  
Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? Yes  
Is a Variance Required? No  
Are REU's Required? How Many? No /     

**Type of Action Requested:**

☒ Standard Zoning Permit    ☐ Appeal of Planning Commission Decision  
☐ Special Land Use    ☐ Ordinance Amendment/Rezoning  
☐ Planned Unit Development    ☐ Ordinance Interpretation  
☒ Other Building Permit

**Property Information:**

A. Property Number (From Tax Statement): 051-755-008-00  
B. Legal Description of Property: 95/01,02 370/281-286 302/426 313/580 UNIT NO. 8 STONECLIFFE MANOR CONDOMINIUM  
C. Address of Property: Ironwood Lane Unit 8, Stonecliffe Manor I, Mackinac Island, MI  
D. Zoning District: R-1  
E. Site Plan Checklist Completed & Attached: Yes  
F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes  
G. Sketch Plan Attached: No  
H. Architectural Plan Attached: Yes  
I. Association Documents Attached (Approval of project, etc.): Yes  
J. FAA Approval Documents Attached: Yes  
K. Photographs of Existing and Adjacent Structures Attached: Yes

**Proposed Construction/Use:**

A. Proposed Construction:  
☒ New Building    ☐ Alteration/Addition to Existing Building  
☐ Other, Specify                     

File No. R125.008 076

Exhibit A

Date 8.26.25

Initials KP

**B. Use of Existing and Proposed Structures and Land:**

Existing Use (If Non-conforming, explain nature of use and non-conformity):

N/A

Proposed Use: N/A

**C. If Vacant:**

Previous Use: N/A

Proposed Use: N/A

STATE OF MICHIGAN                    )  
COUNTY OF MACKINAC                ) ss.

**AFFIDAVIT**

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

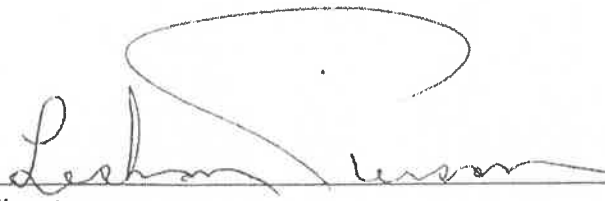
The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

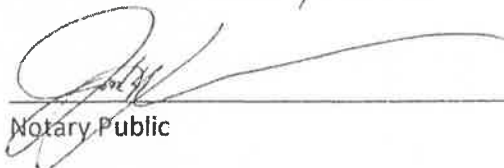
The undersigned affirms that he/she or they is (are) the applicant and the Owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.


 SIGNATURES \_\_\_\_\_  
 Signature \_\_\_\_\_ Signature \_\_\_\_\_

Leshon Pierson ✓  
 Please Print Name \_\_\_\_\_

Please Print Name \_\_\_\_\_

Signed and sworn to before me on the 20th day of August, 2025.

  
 Notary Public

JOSEPH EDWARD LUDY  
 Notary Public, State of Michigan  
 County of Van Buren  
 My Commission Expires 10/08/2025  
 Acting in the County of Van Buren

My commission expires: October 8, 2025  
 \_\_\_\_\_ County, Michigan

#### FOR OFFICE USE ONLY

Zoning Permit Issued: \_\_\_\_\_

#### Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised October 2023

#### OFFICE USE ONLY

FILE NUMBER: R125-008-076 FEE: \$150-

DATE: 8.26.25 CHECK NO: \_\_\_\_\_ INITIALS: KP Revised October 2023

# City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

## Site Plan Review Checklist

### Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

### Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- |   |                                     |                                     |
|---|-------------------------------------|-------------------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction.  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |

Natural FeaturesProvidedNot Provided  
or Applicable

- |   |                                     |                                     |
|---|-------------------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 16. Topography of the site with at least two- to five-foot contour intervals  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 17. Proposed alterations to topography or other natural features  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 18. Earth-change plans, if any, as required by state law  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided  
or Applicable

- |   |                                     |                                     |
|---|-------------------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- |  |                                     |                                     |
|--|-------------------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features                               | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)       | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27)  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

#### Utility Information

#### Provided

#### Not Provided or Applicable

- |  |                                     |                                     |
|--|-------------------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |



**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Architectural Review  
Informational Requirements (Section 18.05)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>



Mail Processing Center  
Federal Aviation Administration  
Southwest Regional Office  
Obstruction Evaluation Group  
10101 Hillwood Parkway  
Fort Worth, TX 76177

Aeronautical Study No.

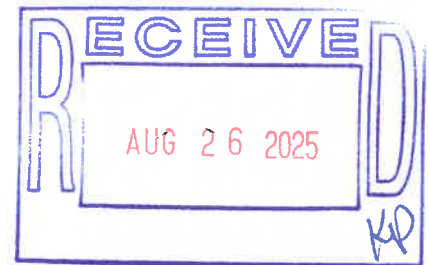
2024-AGL-15624

Section X, Itema.

Issued Date: 12/10/2024

Michael Nachazel  
Wade Trim  
4241 Old Us 27 S  
Suite 1  
Gaylord, MI 49734

File No. R125-008-076  
Exhibit B  
Date 8.26.25  
Initials KP



**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: House House  
Location: Mackinac Island, MI  
Latitude: 45-51-53.54N NAD 83  
Longitude: 84-38-40.89W  
Heights: 719 feet site elevation (SE)  
34 feet above ground level (AGL)  
753 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- ☐ At least 10 days prior to start of construction (7460-2, Part 1)  
☒ Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

**See attachment for additional condition(s) or information.**

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M Change 1.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 06/10/2026 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.

- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the Section X, Itema. 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (817) 222-4244, or [ashley.m.wilson@faa.gov](mailto:ashley.m.wilson@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2024-AGL-15624-OE.

**Signature Control No: 638978932-641468952**

Ashley Wilson  
Specialist

( DNE )

Attachment(s)  
Additional Information  
Map(s)

A full list of acronyms and abbreviations is available at the FAA's public website at [https://oeaaa.faa.gov/oeaaa/downloads/external/content/FAA\\_Acronyms.pdf](https://oeaaa.faa.gov/oeaaa/downloads/external/content/FAA_Acronyms.pdf)

## Part 77 - Title 14 CFR Part 77, Safe, Efficient Use and Preservation of the Navigable Airspace

Our study has disclosed that the proposed structure located approximately 472 feet northwest of Runway End 08 at Mackinac Island Airport (MCD), Mackinac Island, MI.

At the proposed height, the structure will penetrate protected airport surfaces:

1. 77.17 (a)(3) A height within a terminal obstacle clearance area, including an initial approach segment, a departure area, and a circling approach area, which would result in the vertical distance between any point on the object and an established minimum instrument flight altitude within that area or segment to be less than the required obstacle clearance.

At 753 AMSL, 4D, MACKINAC ISLAND (MCD) MACKINAC ISLAND, MI. Obstacle penetrates RWY 26 40:1 departure surface 21 feet. Qualifies as low, close-in penetration with climb gradient termination altitude 200 feet or less above DER, requiring TAKEOFF MINIMUMS AND (OBSTACLE) DEPARTURE PROCEDURES, AMDT 2, TAKEOFF OBSTACLE NOTES: RWY 26, Building 131 feet from departure end of runway, 453 feet right of centerline, 34 AGL, 753 AMSL, NEH 732 AMSL (4D/2C).

\*Part 77 obstruction standards are used to screen the many proposals submitted in order to identify those which warrant further aeronautical study. This study is conducted in order to determine if the proposal would have a significant adverse effect on aeronautical operations and airspace. While part 77 obstruction standards may trigger formal aeronautical study, including public circularization, these obstruction standards do not constitute absolute or arbitrary criteria for identification of hazards to air navigation. Accordingly, the fact that a proposed structure exceeds certain obstruction standards of part 77 is in itself not sufficient grounds for issuance of a determination of hazard to air navigation.

## EFFECT ON AERONAUTICAL OPERATIONS

- a. The impact on arrival, departure, and en route procedures for aircraft operating under VFR: None.
- b. The impact on arrival, departure, and en route procedures for aircraft operating under IFR: None.

## AERONAUTICAL STUDY FOR POSSIBLE INSTRUMENT FLIGHT RULES (IFR) EFFECT DISCLOSED THE FOLLOWING:

- > The proposed structure would have no effect on any existing or proposed IFR arrival/departure routes, operations, or procedures.
- > The proposed structure would have no effect on any existing or proposed IFR en route routes, operations, or procedures.
- > The proposed structure would have no effect on any existing or proposed IFR minimum flight altitudes.

- > The proposed structure would have no effect on any existing or proposed VFR arrival or departure routes, operations or procedures.
  - > The proposed structure would not conflict with airspace required to conduct normal VFR traffic pattern operations at any known public use or military airports.
  - > The proposed structure would not penetrate those altitudes normally considered available to airmen for VFR en route flight.
- c. The impact on all planned public-use airports and aeronautical facilities: None.

The cumulative impact resulting from the proposed construction or alteration of a structure when combined with the impact of other existing or proposed structures: Cumulative impact was not a deciding factor for this determination.

#### CIRCULARIZATION AND NEGOTIATIONS

The proposal was not circularized to the public for comment, as current FAA policy exempts from circularization those proposals which penetrate the 40:1 departure surface and do not raise minima. The penetration to the departure surface in the ICA will require a note in the TAKE-OFF MINIMUM AND (OBSTACLE) DEPARTURE PROCEDURES AND DIVERSE VECTOR AREA (RADAR VECTORS).

The cumulative impact of the proposed structure is not considered significant. Study did not disclose any adverse effect on existing or proposed public-use or military airports or navigational facilities. Nor would the proposal affect the capacity of any known existing or planned public-use or military airport.

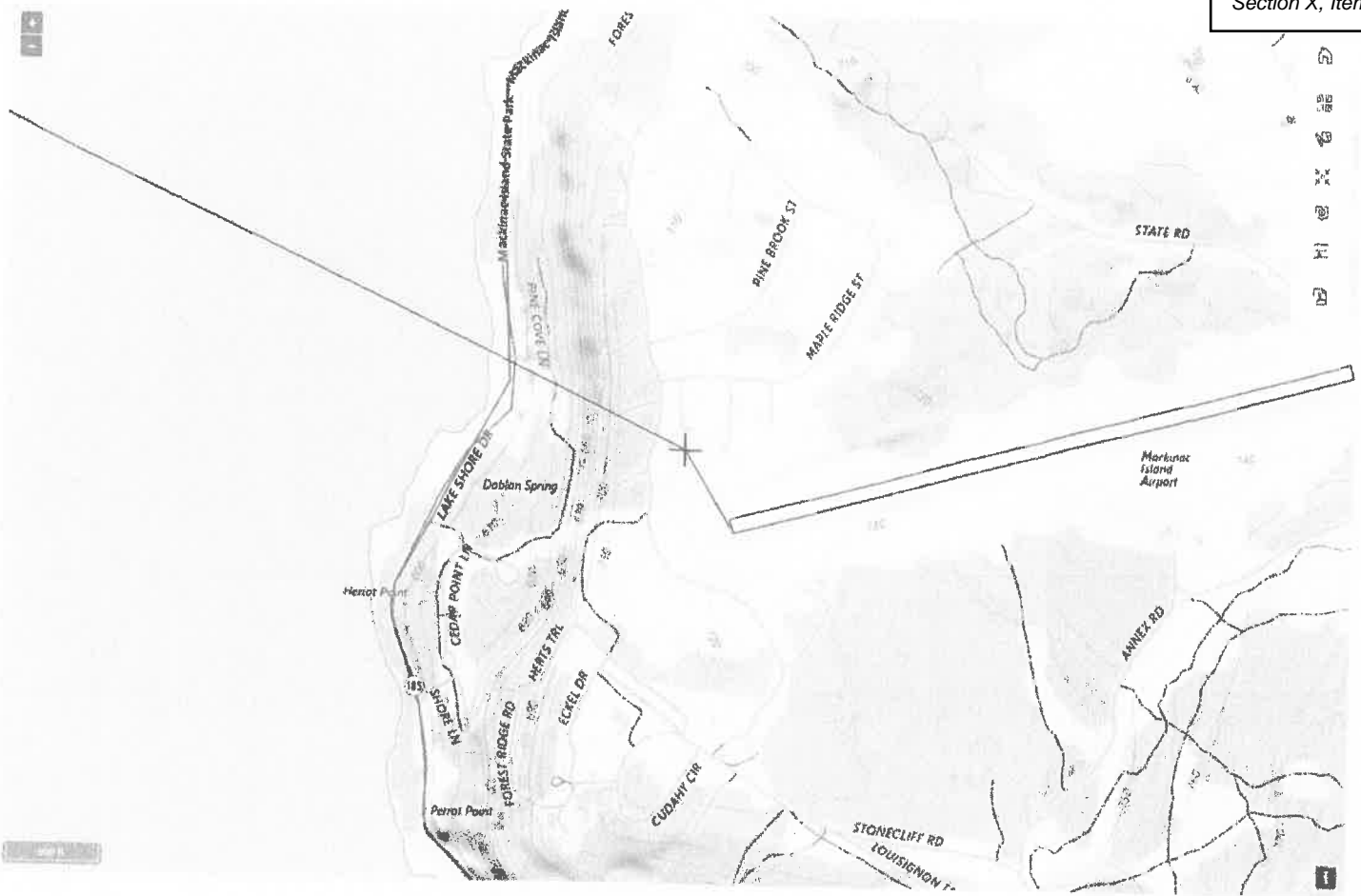
Therefore, it is determined that the proposed structure would not have a substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on any air navigation facility and would not be a hazard to air navigation.

Although the structure exceeds Part 77, 77.17 (a)(3), there would be no effects on any existing or proposed en route VFR operations. There are no physical or electromagnetic effects on the operation of air navigation and communications facilities. The study did not disclose any effects on any airspace and routes used by the military. It would impact MCD airport, but no other existing or planned public use of military airport would be impacted.

#### CONDITIONS

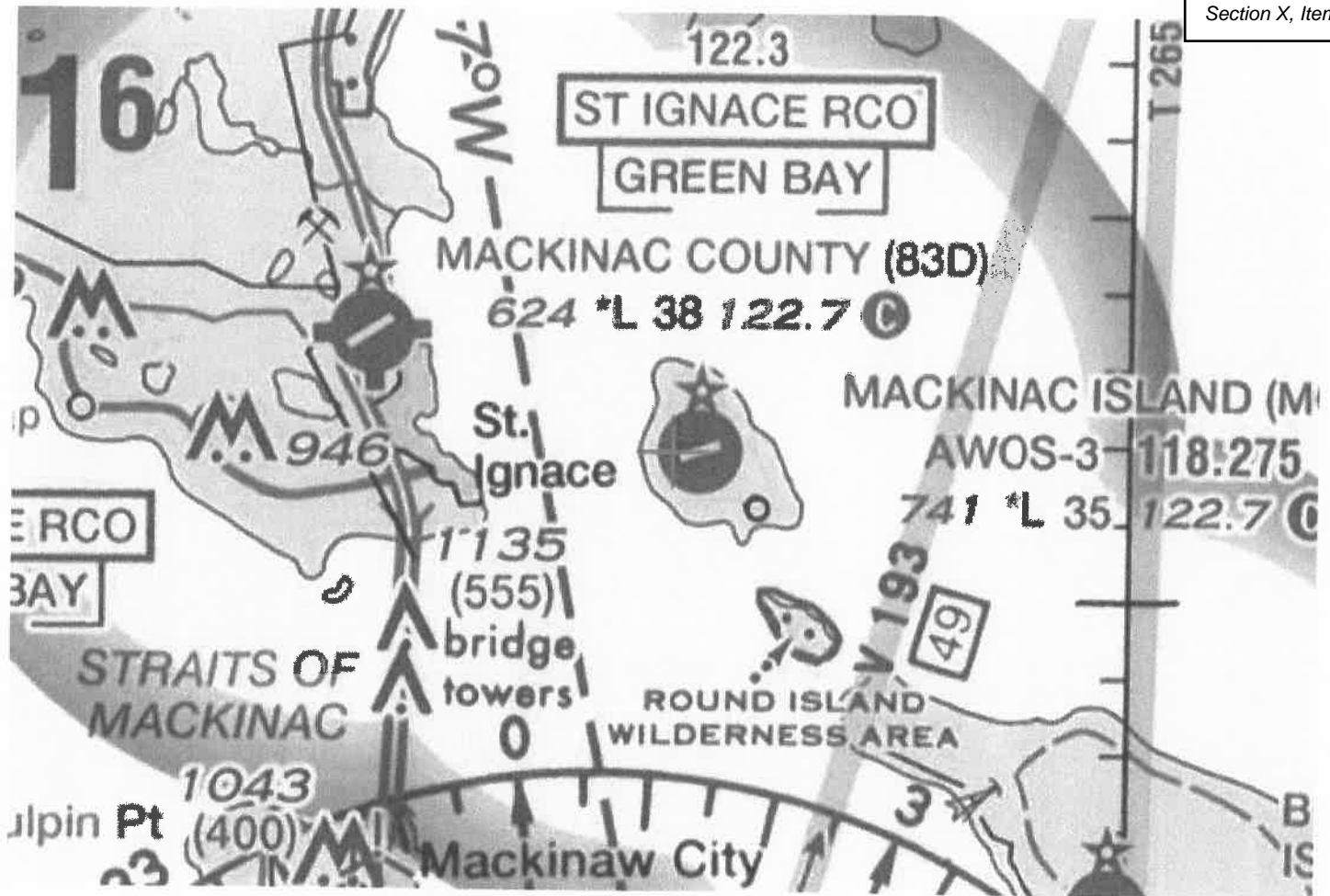
The incorporation of obstruction marking and lighting was considered but deemed not necessary to provide additional conspicuity for IFR and VFR pilots flying in this vicinity. The surrounding trees are taller than the structures in the area.

#### DETERMINATION - NO HAZARD TO AIR NAVIGATION

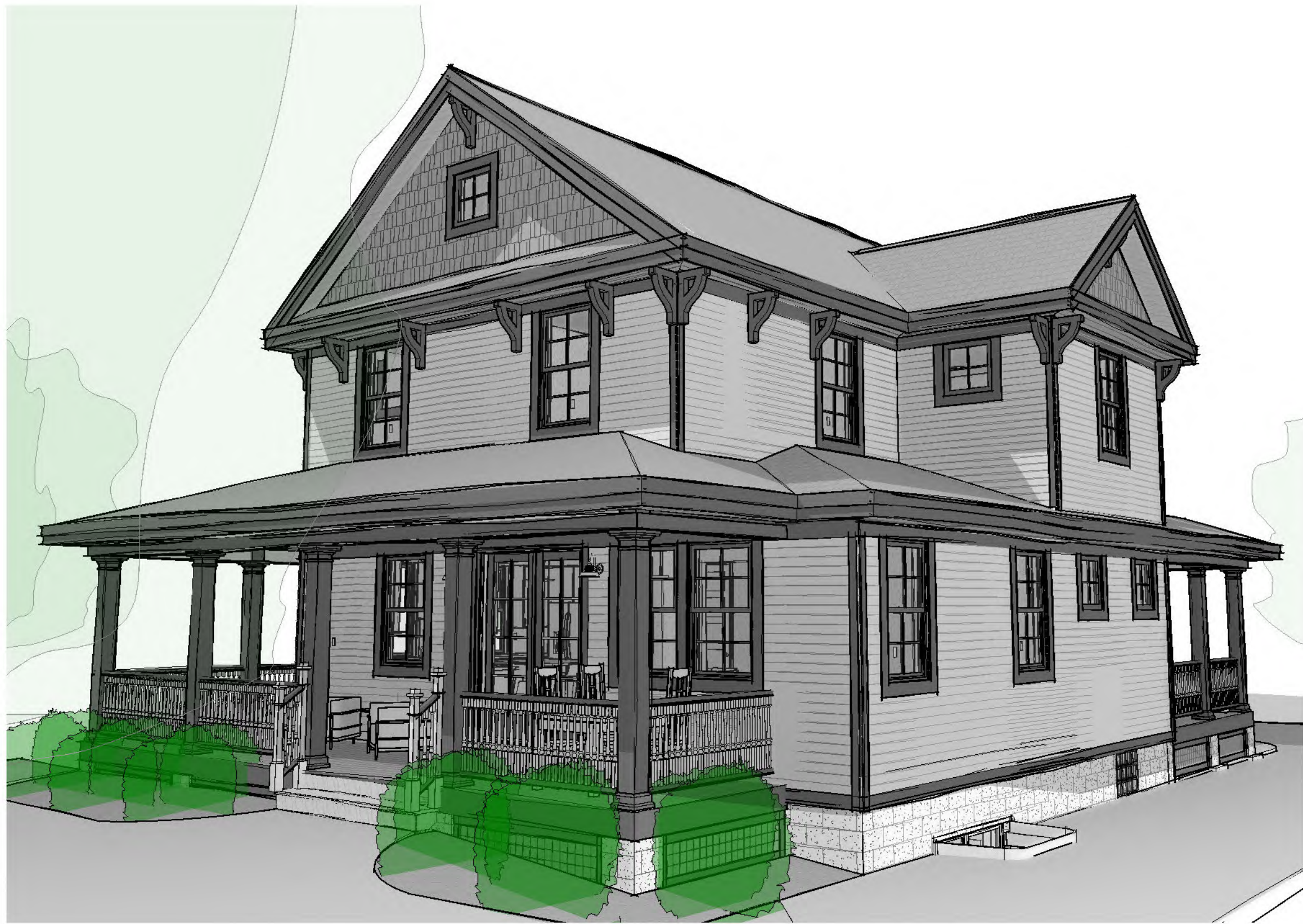












4 PERSPECTIVE



LOCATION MAP



VICINITY MAP

## PROJECT INFORMATION

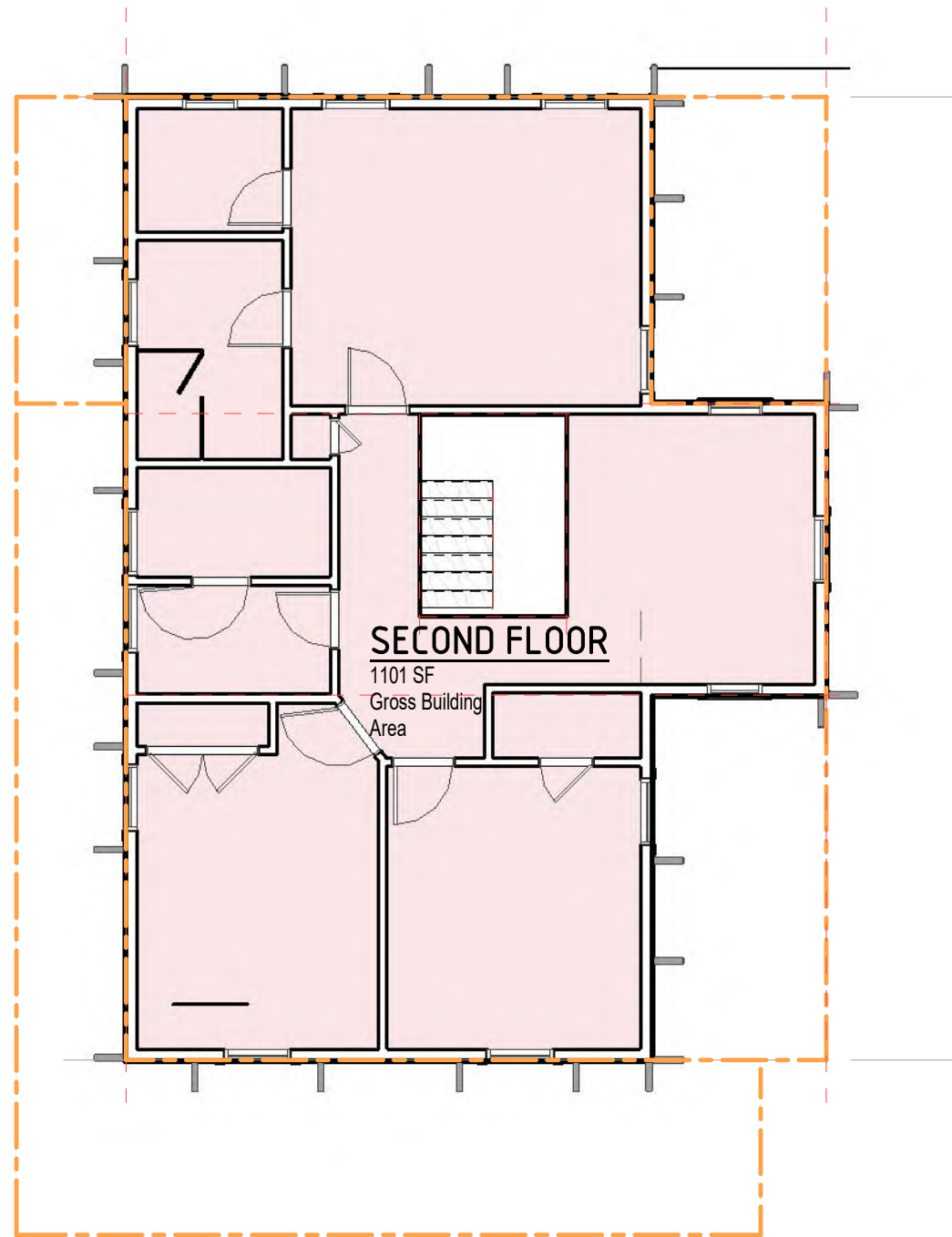
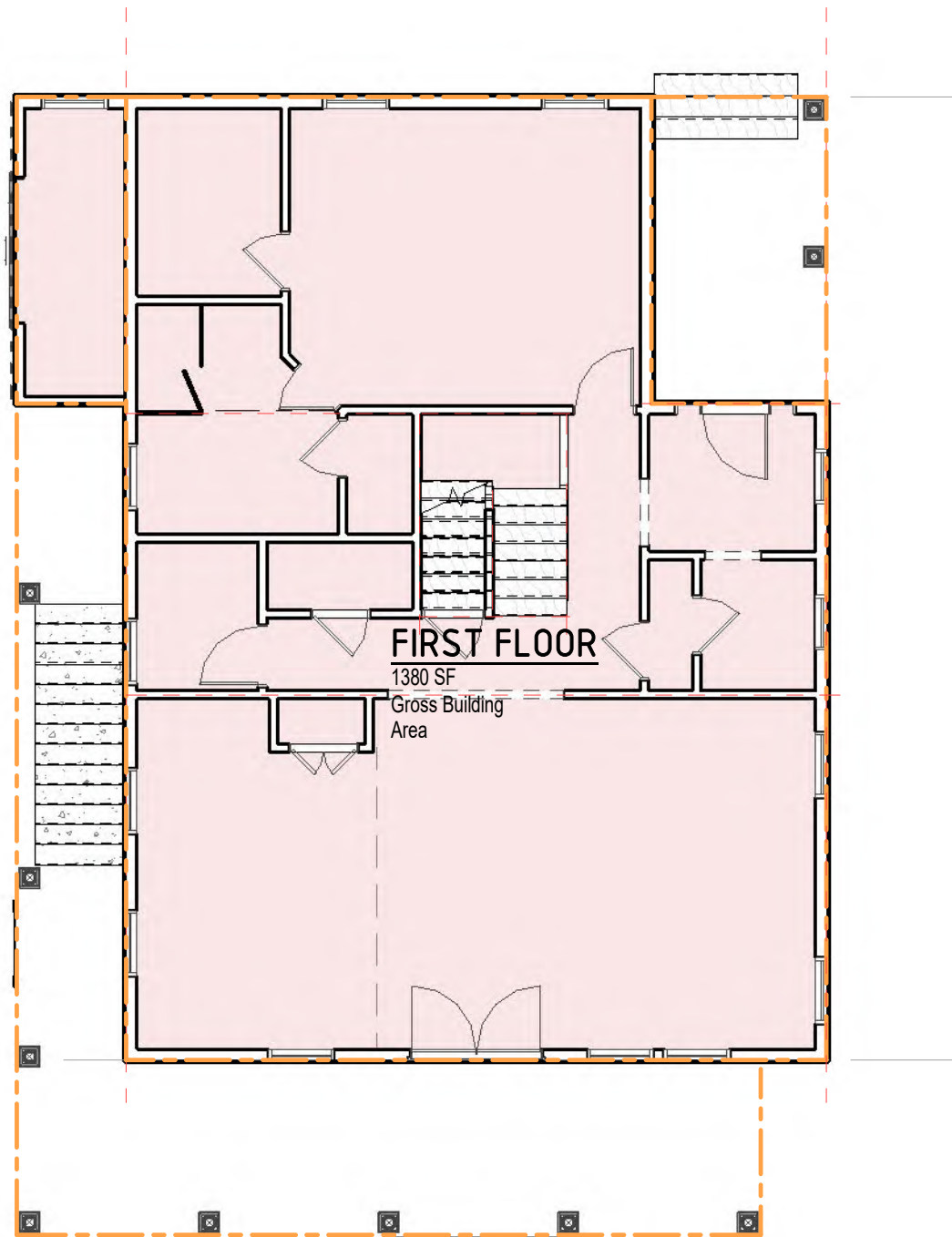
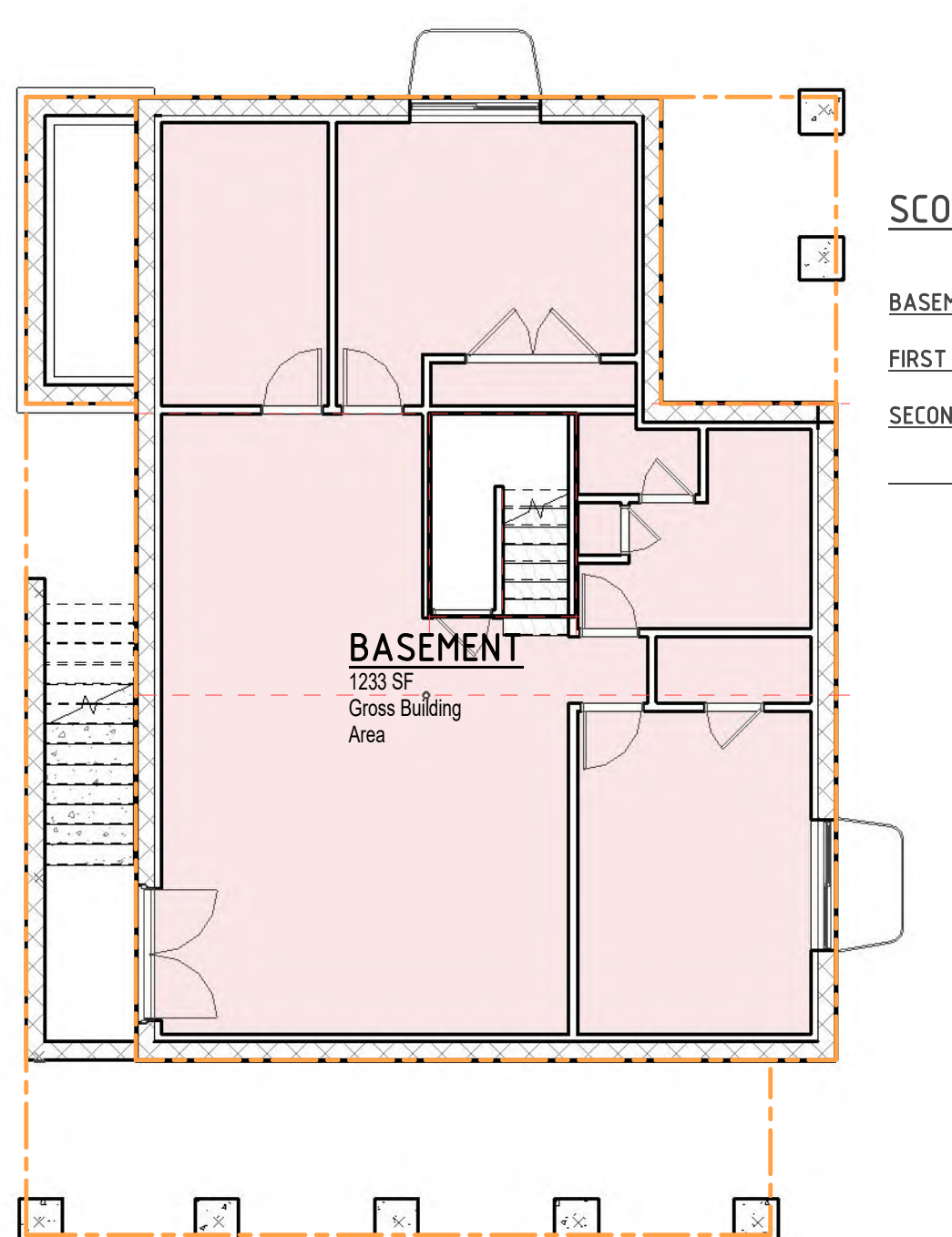
<b>CLIENT</b>	
NAME:	LESHON PIERSON
ADDRESS:	1016 S. BURDICK, KALAMAZOO, MI 49001
PHONE:	269.779.1189
EMAIL:	LESHONPIERSON47@GMAIL.COM
<b>ARCHITECT</b>	
NAME:	CHRIS BIGGERS, NCARB
COMPANY:	BIGGDESIGNS, LLC
ADDRESS:	2537 UNION LAKE ROAD, COMMERCE TWP, MI 48382
PHONE:	248.886.4460
EMAIL:	PM@BIGGDESIGNS.COM
<b>GENERAL CONTRACTOR</b>	
THE HOMEOWNER WILL BE ACTING IN LIEU OF A GENERAL CONTRACTOR (GC) FOR THIS PROJECT. ALL COORDINATION OF TRADES, SCHEDULING, PROCUREMENT, AND SITE SUPERVISION WILL BE MANAGED DIRECTLY BY THE HOMEOWNER IN ACCORDANCE WITH LOCAL CODES.	
<b>CONSULTANT (CIVIL)</b>	
NAME:	WADE TRIM
COMPANY:	4241 OLD US 27 S, SUITE 1, PO BOX 616 GAYLORD, MI 49734
ADDRESS:	989.732.3584
PHONE:	JCAMERSON@WADETRIM.COM
EMAIL:	
<b>SCOPE OF WORK</b>	
USE STATEMENT:	NEW 2-STORY VICTORIAN STYLE RESIDENCE
SITE:	
EXTERIOR:	(N)GRADING TO SLOPE AWAY FROM STRUCTURE
INTERIOR:	FACING MATERIALS PER ELEVATIONS
STRUCTURAL:	FIXTURES & FINISHES PER OWNER'S SELECTION
ELECTRICAL:	FOOTINGS, COLUMNS, BEAMS, HEADERS PER PLANS
MECHANICAL:	POWER & LIGHTING LOCATIONS PER PLANS
PLUMBING:	DESIGN/BUILD PER HVAC CONTRACTOR
	PLUMBING FIXTURE LOCATIONS PER PLANS

<b>CODE SUMMARY</b>	
BUILDING CODE:	2015 MICHIGAN RESIDENTIAL CODE
MECHANICAL CODE:	2021 MICHIGAN MECHANICAL CODE
PLUMBING CODE:	2021 MICHIGAN PLUMBING CODE
ELECTRICAL CODE:	2023 NATIONAL ELECTRICAL CODE
ENERGY CODE:	2015 MICHIGAN ENERGY CODE
FIRE CODE:	2015 INTERNATIONAL FIRE CODE
ZONING ORDINANCE:	CODE OF ORDINANCES CITY OF MACKINAC ISLAND, MI
BARRIER FREE:	NO
FIRE SUPPRESSION:	NO
FIRE ALARM:	AC/DC SMOKE DETECTORS
USE GROUP:	R-RESIDENTIAL
CONSTRUCTION TYPE:	V-B
BUILDING HEIGHT:	29' - 8"
BUILDING STORIES:	2

<b>HOA APPROVAL</b>	
THE OWNER SHALL PROVIDE THE FOLLOWING TO HOA FOR APPROVAL:	
ROOFING MATERIALS	
SIDING MATERIALS	
EXTERIOR DOOR SPECIFICATIONS	
EXTERIOR TRIM MATERIALS	
PORCH CEILINGS, RAILINGS, SKIRTING	
STONE SAMPLE	
PAINT COLORS	
WINDOW SHOP DRAWINGS	

## NOTES

- DO NOT SCALE PLANS
- THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH LOCAL CONSTRUCTION CODES IN AFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH SAME CODES. ISSUED AND APPROVED CODE MODIFICATIONS AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULING AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.
- COORDINATE ALL DRAWINGS, DETAILS, AND EQUIPMENT SPECS.
- ALL TRADES SHALL REVIEW AND HAVE ACCESS TO ENTIRE SET OF PLANS AND SPECS PRIOR TO BIDDING AND DURING CONSTRUCTION.
- SEPARATION OF SHEETS IS NOT PERMITTED.
- SUBMIT WEEKLY UPDATES TO OWNER/ARCHITECT INCLUDING SCHEDULE, PHOTOS, AND PROGRESS REPORT.
- FIELD VERIFY EXISTING CONDITIONS AND REPORT ANY INCONSISTENCIES TO ARCHITECT. G.C. SHALL SUBMIT ALL AS-BUILTS AND DEVIATIONS FROM THE PLANS TO OWNER & ARCHITECT.
- PROVIDE STORAGE FOR ALL EQUIPMENT AND MATERIALS IN ACCORDANCE TO MANUFACTURER'S SPECS FOR DURATION OF CONSTRUCTION.
- WORK SHALL NOT COMMENCE PRIOR TO RECEIPT OF ALL APPROVED PERMITS.
- THE PLANS AND DETAILS INCLUDED IN THIS PROJECT ARE FOR THE SOLE PURPOSE OF THIS PROJECT. THE USE OF THESE DETAILS ON ANOTHER PROJECT IS STRICTLY PROHIBITED UNLESS APPROVED BY ARCHITECT.
- COPYRIGHT 2024 BIGGDESIGNS, LLC
- REQUESTS FOR INFORMATION (RFI)**
- ALL RFIs SHALL BE SUBMITTED ELECTRONICALLY VIA EMAIL. TEXT/CALL RFIs WILL NOT BE ACCEPTED.
- SUBSTITUTIONS/ALTERNATES MUST BE PROVIDED TO ARCHITECT FOR APPROVAL PRIOR TO PURCHASE/INSTALL AND MAY REQUIRE A MIN. \$150.00 REVIEW FEE UNLESS OTHERWISE APPROVED IN CLIENT'S SERVICE AGREEMENT.
- DEFERRED SUBMITTALS**
- ALL PLANS LABELED AS DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR LOCAL AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION.

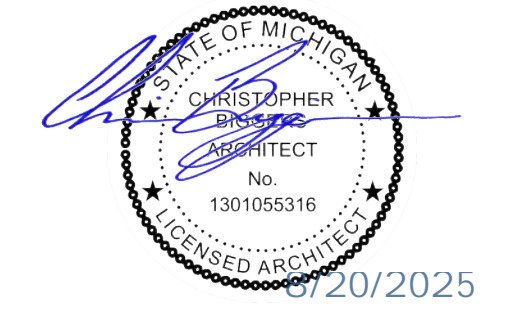
7 SECOND FLOOR AREA  
1/8" = 1'-0"6 FIRST FLOOR AREA  
1/8" = 1'-0"5 BASEMENT AREA  
1/8" = 1'-0"

## SCOPE OF WORK

BASEMENT AREA:	1,233 SF
FIRST FLOOR AREA:	1,380 SF
SECOND FLOOR AREA:	1,101 SF
TOTAL AREA:	3,714 SF

## SHEET INDEX

SHEET	NAME	DATE
1-GENERAL REQUIREMENTS		
T01	COVER SHEET	08.20.2025
T02	RESIDENTIAL NOTES	08.20.2025
T03	FREIGHT/HAULING PLAN	08.20.2025
PD-SUV	SURVEY	09.16.2024
C1	CIVIL SITE PLAN	DEFERRED
FAA	APPROVAL LETTER	12.10.2024
3.1-ARCHITECTURAL		
A00	ARCHITECTURAL SITE PLAN	08.20.2025
A01	BASEMENT & FIRST FLOOR PLANS	08.20.2025
A02	SECOND FLOOR & ROOF PLAN	08.20.2025
A03	CEILING PLANS	08.20.2025
A04	EXTERIOR ELEVATIONS	08.20.2025
A05	BUILDING SECTIONS	08.20.2025
A06	WALL SECTIONS	08.20.2025
A07	ISO-PERSPECTIVES & STAIR SECTIONS	08.20.2025
3.3-ELECTRICAL PLANS		
E00	ELECTRICAL SPECS	08.20.2025
E01	POWER & LIGHTING PLANS	08.20.2025
3.5-NRG		
IRNRG	ENERGY WORKSHEET	08.20.2025
5.0-CA-SHOP DWGS		
TRUSS	PRE-ENGINEERED TRUSS DWGS	DEFERRED
CASE	CASEWORK SHOP DWGS	DEFERRED
SIPS	SIPS SHOP DRAWINGS	DEFERRED
WIN	WINDOW SHOP DRAWINGS	DEFERRED
MAT	EXTERIOR MATERIALS SAMPLES	DEFERRED



## PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

## PERMITS

COVER SHEET  
08.20.2025

## REV

REV	NOTE	DATE
-----	------	------

T01



NOTES

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- DEFERRED SUBMITTALS
- ALL PLANS LABELED AS DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR LOCAL AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION.

MANUFACTURER'S INSTALLATION INSTRUCTIONS

SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION.

TRUSS DESIGN DRAWINGS

IN CONFORMANCE WITH R 802.10.1 SHALL BE PROVIDED FOR ANY PRE-ENGINEERED ROOF TRUSSES. THE DRAWINGS SHALL BE PREPARED BY A REGISTERED DESIGN PROFESSIONAL. DRAWINGS MUST INCLUDE LOADS USED IN THE DESIGN. TRUSS DESIGN DRAWINGS MUST BE SUBMITTED AT THE TIME OF APPLICATION OR PRIOR TO TRUSS INSTALLATION. FLOORS, TRUSSES, AND ENGINEERED LUMBER, FLOOR MEMBERS SHALL BE DESIGNED BY A REGISTERED DESIGN PROFESSIONAL AND DESIGN SPECIFICATIONS AND DRAWINGS MUST BE SUBMITTED FOR APPROVAL.

ENERGY CODE COMPLIANCE

G.C. SHALL COMPLY WITH 2015 MRC REQUIREMENTS OF CHAPTER 11.

INSULATION CONTRACTOR/INSTALLER SHALL PROVIDE CERTIFICATION OF ENERGY COMPLIANCE @ INSTALLATION.

WINDOW SPECIFICATIONS SHALL BE PROVIDED FOR COMPLIANCE.

ACCESS DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE TO BE WEATHER STRIPPED AND INSULATED TO MATCH SURROUNDING SURFACE THEY PENETRATE.

G.C. TO PROVIDE PERMANENT CERTIFICATE POSTED ON OR IN ELECTRICAL PANEL, INDICATING THE INSTALLED R-VALUES OF INSULATION, WINDOWS VALUES, HEATING AND COOLING EQUIPMENT TYPES AND EFFICIENCIES.

PRESUMPTIVE INSULATION RATINGS (MIN.)

CLIMATE ZONE:	7
WINDOWS:	U-0.32
ATTIC:	R-49
EXTERIOR WALL:	R-20 OR 13+5
CRAWL:	R-15

DESIGN CRITERIA

THE STRUCTURE MUST COMPLY WITH THE FOLLOWING:

GROUND SNOW LOAD:	60 PSF
(VERIFY WITH LOCAL AUTHORITY)	

RISK CATEGORY:	1
BASIC WIND SPEED:	90MPH
EXPOSURE CATEGORY:	B
ULTIMATE WIND SPEED:	115 MPH
(VERIFY WITH LOCAL AUTHORITY)	

SEISMIC DESIGN CATEGORY:	A
WEATHERING PROBABILITY FOR CONCRETE:	SEVERE
TERMITE INFESTATION PROBABILITY:	SLIGHT

REQUIRED LIVE LOADS: (MRC TABLE R301.5)

ALL ROOMS OTHER THAN SLEEPING ROOMS	40 PSF
BALCONIES AND DECKS	40 PSF
SLEEPING ROOMS	30 PSF
HABITABLE ATTICS	30 PSF
ATTICS WITH FIXED STAIRS	30 PSF
UNHABITABLE ATTICS - LIMITED STORAGE	20 PSF
UNHABITABLE ATTICS WITHOUT STORAGE	10 PSF

GUARDRAILS AND HANDRAILS:

200# CONCENTRATED LOAD
APPLIED AT ANY DIRECTION AT ANY POINT ALONG TOP OF GUARD/HANDRAIL
50# HORIZONTAL LOAD AT INFL COMPONENTS

PRESUMPTIVE SOIL BEARING

SANDY GRAVEL AND/OR GRAVEL 3000 PSF  
CONFIRM SOIL CONDITIONS/CAPACITIES W/SOILS ENGINEERS @ TIME OF EXCAVATION.  
EXTEND FOOTINGS DOWN TO SOIL BEARING AS DIRECTED BY SOILS ENGINEER.

WHOLE-HOUSE MECHANICAL SYSTEM

WHERE THE AIR INFILTRATION RATE IS 5 AIR CHANGES PER HOUR OR LESS WHEN TESTED, TEST WITH A BLOWER-DOOR. THE DWELLING UNIT SHALL BE PROVIDED WITH WHOLE-HOUSE MECHANICAL VENTILATION IN ACCORDANCE WITH M 1507.3.

FOAM PLASTIC

SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING, INCLUDING CRAWL SPACES, BY A THERMAL BARRIER OF NOT LESS THAN 1/2 IN. GYPSUM WALL BOARD, 2X32 INCH WOOD STRUCTURAL PANELS OR MATERIAL THAT PASSES THE NFPA 275 TESTING CRITERIA. THE THERMAL BARRIER IS NOT REQUIRED WHERE THE CONDITIONS OF R 316.5.4 ARE MET.

FIREBLOCKING

REQUIRED IN THE FOLLOWING LOCATIONS:

- CONCEALED SPACES OF STUD WALLS AND PARTITIONS - VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FT.
- CONNECTIONS BETWEEN HORIZONTAL & VERTICAL SPACES (SOFFITS, DROPPED CEILINGS, COVE CEILINGS, CABINET BULKHEADS, ETC.).
- CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
- CEILING AND FLOOR OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES CHIMNEYS.
- AT CHIMNEYS AND FIREPLACES (SEE R 1003.19).

SMOKE/CO2 DETECTORS

VERIFY VERIFICATION AND INSTALLATION OF SMOKE ALARMS:

- (1) SMOKE DETECTOR IN EACH SLEEPING ROOM
- (1) SMOKE DETECTOR OUTSIDE EACH SLEEPING ROOM
- (1) SMOKE DETECTOR EACH STORY OF THE HOUSE
- (1) CARBON MONOXIDE DETECTOR OUTSIDE OF EACH SLEEPING AREA
- CARBON MONOXIDE DETECTORS SHALL COMPLY WITH R315.2.1

BEARING NOTES:

ALL BEARING STUDS TO BE DOUGLAS FIR OR BETTER \*POINT LOADS\*.

ALL BEARING SHALL CONTINUE THROUGH THE FLOOR SYSTEM USING THE SAME AMOUNT OF STUDS CALLED OUT ON FLOORS ABOVE FOR SQUASH BLOCKING / QUANTITY TO MATCH NUMBER OF BEARING STUDS.

2x12 DOUBLE HEADER IN BASEMENT TO BE #2 DOUGLAS FIR OR BETTER.

ALL ROUGH OPENINGS OVER 5'-0" WIDTH REQUIRE DOUBLE CRIPPLER STUDS FOR BEARING.

TRIPLE CRIPPLER STUDS @ ALL GARAGE OVERHEAD DOOR HEADERS.

ROOF TRUSS SYSTEM ENGINEERING TO BE PROVIDED PER LOCAL CODES BY TRUSS MANUFACTURER.

PROVIDE RIGID INSULATION BETWEEN EXTERIOR WINDOW HEADER MEMBERS.

DAMP PROOFING

SHALL ADHERE TO R316.5

VISOQUEEN

SHALL ADHERE TO R316.5.4

FLOOR JOISTS

SPANS SHALL ADHERE TO R502.3.1.(1)

WATER RESISTIVE BARRIER

ONE LAYER OF TYPE 15 ASPHALT FELT, FREE FROM HOLES OR BREAKS, COMPLYING WITH ASTM D226 FOR TYPE 1 FELT OR OTHER APPROVED WATER-RESISTIVE BARRIER SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS.

VAPOR RETARDER

CLASS I OR VAPOR RETARDER SHALL BE PROVIDED ON THE INTERIOR SIDE OF FRAME WALLS. CLASS III OR NO VAPOR RETARDER SHALL BE PERMITTED ON THE INTERIOR SIDE OF BELOW GRADE WALL ASSEMBLIES. CLASS I OR RETARDER ARE PERMITTED ON THE INTERIOR SIDE WHEN NO AIR PERMEABLE INSULATION IS INSTALLED IN THE BELOW GRADE WALL ASSEMBLIES.

STUD SPACING

SPACING SHALL BE IN ACCORDANCE WITH TABLE R802.3 (5).  
NOTE: ALIGN WALL STUDS WITH FLOOR JOISTS WHEN POSSIBLE

TOP PLATE:

WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND INTERSECTIONS WITH BEARING PARTITIONS. END JOINTS IN TOP PLATES SHALL BE OFFSET AT LEAST 24 INCHES.

DRILLING AND NOTCHING WALL STUDS PERMITTED ONLY AS OUTLINED IN THIS SECTION.

GIRDERS AND HEADERS:

ALLOWABLE SPANS FOR GIRDER/HEADERS:

- T R802.7 (1) FOR EXTERIOR BEARING WALLS
- T R802.7 (2) FOR INTERIOR BEARING WALLS
- T R802.7 (3) FOR OPEN PORCHES

CUTTING, DRILLING AND NOTCHING OF STRUCTURAL MEMBERS MUST COMPLY WITH THE LIMITATIONS SPECIFIED IN THIS SECTION FOR SAWN LUMBER (R 802.7.1) OR ENGINEERED PRODUCTS (R 802.7.2). CANTILEVERED MEMBERS MUST MEET THE LIMITATIONS OF R 802.7.1.1.

ASPHALT SHINGLE UNDERLAYMENT

IS REQUIRED AND MUST BE APPLIED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS SECTION. MATERIALS AND ATTACHMENT MUST CONFORM TO SECTION R 905.1.1 TABLES R905.1.1 (1)-(3).

ICE SHIELDS

THAT CONSIST OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

36" MIN. UP FROM ALL EAVES

UP ALL VALLEYS

AT ALL SLOPES LESS THAN 4:12 PITCH.

SHALL COMPLY WITH R905.1.2

FLASHING

FOR ASPHALT SHINGLES IS REQUIRED AT BASES AND CAPS, VALLEYS, VERTICAL SIDEWALLS AND AGAINST A VERTICAL FRONT WALL. SOIL STACK AND VENT PIPE IN ACCORDANCE WITH THIS SECTION AND SECTIONS R 703.4 AND R 903.2.

APPROVED CORROSION-RESISTANT FLASHING IS REQUIRED TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF THE STRUCTURAL FRAMING. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS:

- EXTERIOR WINDOW AND DOOR OPENINGS
- AT THE INTERSECTION OF CHIMNEYS WITH FRAME OR STUCCO WALLS
- UNDER AND AT THE ENDS OF COPINGS AND SILLS
- CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM
- WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY
- AT WALL AND ROOF INTERSECTIONS
- AT BUILT-IN GUTTERS

ROOF DRIP EDGE:

A DRIP EDGE SHALL BE PROVIDED AT EAVES AND RAKE EDGES

ROOF SHEATHING

THICKNESS MUST COMPLY WITH TABLE R 803.1

ANCHORS

SHALL COMPLY WITH R803.1.8

WOOD SOLE PLATES AT ALL EXTERIOR WALLS ON MONOLITHIC SLABS. WOOD SOLE PLATES OF BRACED WALL PANELS AT BUILDING INTERIORS ON MONOLITHIC SLABS AND ALL WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH MINIMUM 1/2-INCH DIAMETER (12.7 MM) ANCHOR BOLTS SPACED A MAXIMUM OF 6 FEET (1829 MM) ON CENTER OR APPROVED ANCHORS OR ANCHOR STRAPS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2-INCH DIAMETER (12.7 MM) ANCHOR BOLTS. BOLTS SHALL EXTEND A MINIMUM OF 7 INCHES (178 MM) INTO CONCRETE OR GROUTED CELLS OF CONCRETE MASONRY UNITS. THE BOLTS SHALL BE LOCATED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE. A NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12 INCHES (305 MM) OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION. INTERIOR BEARING WALL SOLE PLATES ON MONOLITHIC SLAB FOUNDATION THAT ARE NOT PART OF A BRACED WALL PANEL SHALL BE POSITIVELY ANCHORED WITH APPROVED FASTENERS. SILL PLATES AND SOLE PLATES SHALL BE PROTECTED AGAINST DECAY AND TERMITES WHERE REQUIRED BY SECTIONS R317 AND R318.

BEARING

THE ENDS OF JOISTS, BEAMS OR GIRDERS SHALL HAVE NOT LESS THAN 1.5 INCHES BEARING ON WOOD

COLUMNS AND POSTS

MUST BE RESTRAINED FROM LATERAL DISPLACEMENT AT THE BOTTOM ENDS

LOAD TRANSFER

PROVIDE SOLID BLOCKING BELOW ALL POSTS DOWN TO FOOTING

NOTE: DOUBLE OR LADDER JOISTS BELOW PARALLEL WALLS

FINISH GRADE

CONFIRM ALL FINISH GRADE AND FIN. FLOOR ELEVATIONS WITH APPROVED SITE ENGINEERING.

STEPPED FOOTINGS

PROVIDE STEPPED FOOTINGS AND LEDGES AS REQUIRED. CONFIRM LOCATIONS WITH G.C.

SLABS

SLABS SHALL BE CONSTRUCTED WITH CONTROL JOINTS HAVING A DEPTH OF AT LEAST 1/4 SLAB THICKNESS AND JOINTS SPACES @ INTERVALS NOT TO EXCEED 30'-0" IN EACH DIRECTION AND SLABS NOT RECTANGULAR IN SHAPE SHALL HAVE CONTROL JOINTS ACROSS SLAB @ POINTS OF OFFSET, IF OFFSET OVER 10'-0".

GARAGE SLABS SHALL BE SLOPED TO ADHERE TO R309.1

BEAMS

ALL STRUCTURAL STEEL BEAMS SHALL HAVE 2X4 TOP PLATE. SECURE PLATE TO BEAM WITH (2) ROWS OF 10'-0" N-ANCHORS @ 48" O.C. STAGGER ROWS.

INSULATION

ALL EXPOSED INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR BARRIES OR BREATHER PAPERS INSTALLED WITHIN THE FLOOR-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES, AND ATTICS SHALL HAVE A FLAME-SPREAD RATING OF < 25 & SMOKE DENSITY < 450  
EXCEPTION: WHEN SUCH MATERIALS ARE INSTALLED IN CONCEALED SPACES, THE FLAME-SPREAD AND SMOKE DEVELOPMENT LIMITATIONS DO NOT APPLY TO THE FACINGS, PROVIDED THE FACINGS ARE INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR, OR WALL FINISH.

ATTIC ACCESS

SHALL ADHERE TO R807.1

EGRESS

OPENINGS SHALL ADHERE TO R310.1

LANDINGS SHALL COMPLY WITH R311.2

ROOF VENTILATION

SHALL COMPLY WITH R806.2

ROOF TIE DOWNS

SHALL ADHERE TO R802.11.1

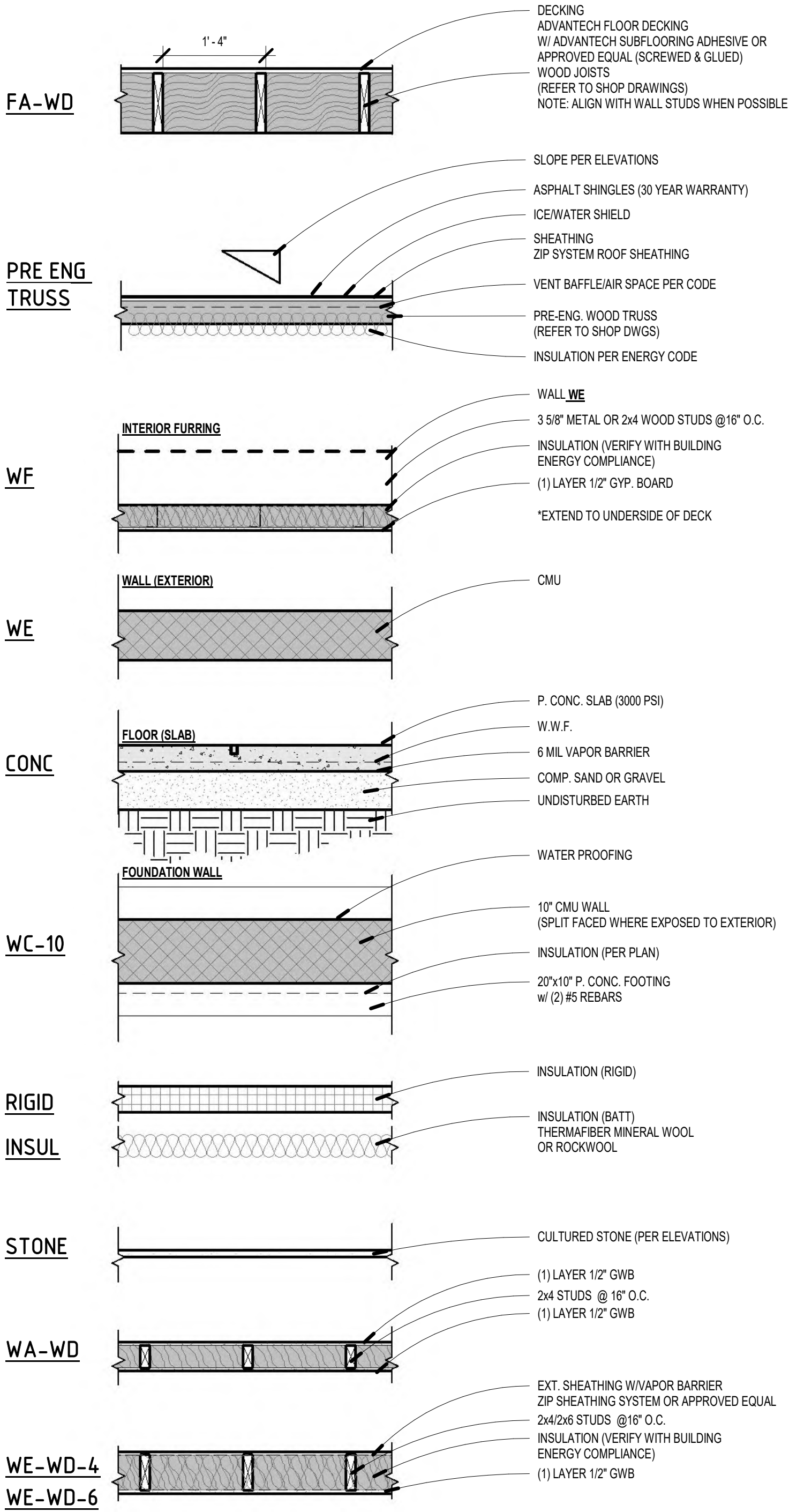
RATERS

SPECIES AND SPANS SHALL COMPLY w/R802.4 & R802.5

FOUNDATIONS

FOUNDATION WALLS, FOOTINGS, AND REINFORCEMENTS SHALL COMPLY w/2015 MRC CHAPTER 4 AS DETERMINED BY THE EXISTING SOIL PROPERTIES. PROVIDE ENGINEERED SOILS WHERE REQUIRED.

- THESE CONSTRUCTION DOCUMENTS WERE PREPARED WITH THE CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL.
- ALL ENGINEERS, G.C., SUB-CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLETE WITH THE SAME CODES ISSUED, APPROVED CODE MODIFICATIONS, AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULINGS.
- G.C. SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.
- APPROVED AND MOST RECENT SET OF PLANS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES.
- IT IS THE G.C.'S RESPONSIBILITY TO REVIEW AND DISTRIBUTE PLANS, SPECIFICATIONS, DETAILS, AND DEFERRED SUBMITTALS TO ALL TRADES AS REQUIRED.
- G.C. AND SUB-CONTRACTORS ARE RESPONSIBLE FOR ALL WORK REGARDLESS OF THE LOCATION OF THE INFORMATION ON THE DOCUMENTS.
- THE G.C. AND EACH SUBCONTRACTOR SHALL BE FULLY RESPONSIBLE FOR FIELD CHECKING ALL (E) CONDITIONS AND FOR FITTING THEIR WORK TO (E) AND (N) WORK. NOTICE MUST BE IMMEDIATELY GIVEN TO THE ARCHITECT WHERE THERE ARE INCONSISTENT OR CONFLICTING DIMENSIONS ON THE DRAWINGS AND FOR WHERE THERE IS CONFLICT IN THE WORK OF THE INDIVIDUAL TRADES AND/OR WHERE THERE IS CONFLICT BETWEEN THE WORK SHOWN ON THE DRAWINGS AND THE CONDITIONS FOUND IN THE FIELD. EACH CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR HIS WORK WHERE HE FAILS TO CHECK SUCH CONDITIONS AND/OR GIVE NOTICE TO THE ARCHITECT OF DISCREPANCIES THEREIN.
- THE G.C. IS RESPONSIBLE FOR HAVING THE SUBCONTRACTORS COORDINATE THEIR WORK WITH THE WORK OF THE OTHER TRADES INCLUDING WORK NOT IN THE CONTRACT.
- IN THE EVENT OF DISCREPANCIES BETWEEN ANY DRAWINGS AND/OR SPECIFICATIONS, THE MORE RESTRICTIVE CONDITIONS SHALL BE DEEMED THE CONTRACT REQUIREMENT UNLESS OTHERWISE STATED IN WRITING FROM THE OWNER.
- THE OWNER, G.C., EACH INDIVIDUAL SUBCONTRACTOR, AND MATERIAL MEN AGREE TO SAVE THE ARCHITECT HARMLESS AS A RESULT OF ANY INJURY OR DAMAGE THAT MAY OCCUR TO ANY INDIVIDUAL OR PROPERTY DURING CONSTRUCTION AS A RESULT OF OMISSIONS BY THE G.C. OWNER, CONTRACTORS, AND/OR MATERIAL MEN IN THE PERFORMANCE OF THEIR WORK. ALL ERECTION AND CONSTRUCTION PROCEDURES SHALL BE EXECUTED IN SUCH MANNER AS TO FULLY PROTECT THE STRUCTURE, TRADES WORKING ON THE PROJECT, AND THE SURROUNDING AREAS FROM HAZARDOUS CONDITIONS. ALL WORK WILL PROCEED FOLLOWING ALL LOCAL, STATE, FEDERAL SAFETY CODES, STATUTES, AND RECOGNIZED STANDARDS. ALL PROCEDURES OF CONSTRUCTION AND ERECTION WHICH ARE UNDERTAKEN WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT ARE THE SOLE RESPONSIBILITY OF THE OWNER, CONTRACTOR, SUBCONTRACTOR AND/OR MATERIAL MEN EXECUTING SAME AND ARE TO BE ACKNOWLEDGED AS BEING UNDERTAKEN WITHOUT THE ARCHITECT'S KNOWLEDGE OR CONSENT.
- IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROVIDE CERTIFICATES OF WORKMAN'S COMPENSATION AND PUBLIC LIABILITY INSURANCE NAMING BOTH THE OWNER AND THE ARCHITECT AS BENEFICIARIES UNDER SAID CERTIFICATES AND THAT FILING OF SAID CERTIFICATES SHALL BE A CONDITION PRECEDENT TO ACCEPTANCE OF ANY WORK PERFORMED ON THE PROJECT.
- ANY REQUEST FOR A CHANGE TO THIS DRAWING MUST BE APPROVED BY THE CLIENT PRIOR TO ANY WORK BEING COMPLETED. CHANGES WITHOUT PRIOR APPROVAL WILL BE DEEMED AS A DEFAULT AND WILL BE CORRECTED AT THE EXPENSE OF THE G.C. AND MAY DELAY PROJECT COMPLETION.
- ALL WORK SHALL BE COMPLETED OR COORDINATED BY THE G.C. UNLESS OTHERWISE NOTED.
- G.C. IS RESPONSIBLE FOR ALL PERMITS AND FEES. THE G.C. SHALL FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS, AND CERTIFICATES OF COMPLIANCE AS REQUIRED.
- THE G.C. SHALL PROVIDE TEMPORARY LIGHT, INTERNET, CLEAN UP SERVICE, AND REMOVE ALL TEMPORARY WORK PRIOR TO COMPLETION OF PROJECT. G.C. SHALL PROVIDE TEMPORARY BARRICADES/BARRIERS AS PER LANDLORD OR LOCAL REQUIREMENTS STANDARD OR LOCAL CODE REQUIREMENTS.
- THE G.C. SHALL KEEP A FULL SET OF UP-TO-DATE PLANS AVAILABLE AT THE JOB SITE AT ALL TIMES.
- THE G.C. IS RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- THE OWNER, ARCHITECT, OR ENGINEERS WILL NOT BE RESPONSIBLE FOR VERBAL INSTRUCTIONS.
- ALL SCRAP FROM LUMBER, CRATING, PAPER, AND SIMILAR TYPES OF TRASH ARE TO BE REMOVED FROM THE SITE ON A DAILY BASIS. TRASH IS NOT TO BE PERMITTED TO ACCUMULATE.
- ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT. CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS AS CALLED FOR.
- ALL MATERIALS, CONSTRUCTION, AND FINISHES TO BE FIRE RATED, FIREPROOFED, AND FIRE RETARDANT TO MEET LOCAL, STATE, AND APPLICABLE NATIONAL FIRE CODES. ALL MATERIALS TO BE (N) AND OF THE BEST QUALITY AVAILABLE AND SHALL BE ULFM RATED AS REQUIRED. NO COMBUSTIBLE MATERIALS ARE TO BE INSTALLED UNLESS PERMITTED BY CODE.
- G.C. SHALL VERIFY WITH THE CLIENT ALL FIXTURES BY OTHERS.
- THE G.C. SHALL KEEP ALL HANDBOOKS, PAPERWORK, AND KEY IN A MARKED ENVELOPE. ALL KEYS TO BE TAGGED WITH PROPER LOCATIONS. THIS ENVELOPE SHOULD BE TURNED OVER TO THE CLIENT WITH CERTIFICATE OF OCCUPANCY.
- IT SHALL BE THE RESPONSIBILITY OF THE G.C. TO MAKE A CAREFUL INSPECTION OVER THE CONSTRUCTION AS A WHOLE, ASSURING HIMSELF THAT THE WORK ON THAT PART OF THE PROJECT IS READY FOR FINAL ACCEPTANCE BEFORE CALLING UPON THE ARCHITECT AND OWNER TO MAKE A FINAL INSPECTION.
- G.C. SHALL RECORD AND PROVIDE A SET OF AS-BUILT DRAWINGS WHICH REFLECT ANY CHANGES, ADDITIONS, OR DELETIONS TO THE CLIENT, LANDLORD, AND/OR LOCAL AUTHORITY.
- PROVIDE GALVANIC PROTECTION BETWEEN DISSIMILAR MATERIALS, WHERE REQUIRED.
- PROVIDE WOOD TRIM OR CASING AT ALL EDGES OF PLASTER AND DRYWALL SURFACES WHERE IT TERMINATES OR MEETS ANY OTHER MATERIAL, UNLESS NOTED OTHERWISE.
- PROVIDE METAL CORNER BEADS AT ALL OUTSIDE CORNERS OF PLASTER AND DRYWALL SURFACES, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE WOOD BLOCKING BEHIND ALL TOILET ROOM ACCESSORIES, GRAB BARS HANDRAILS, WOOD TRIM AND WALL MOUNTED FIXTURES.
- INTERIOR CONCRETE SLABS SHALL BE POURED LEVEL (UNLESS OTHERWISE INDICATED) WITH AN 1/8" TOLERANCE ON A 10'-0" EDGE IN ANY GIVEN DIRECTION.
- PENETRATIONS THROUGH ANY SURFACE SHALL BE THOROUGHLY SEALED WITH APPROPRIATE SEALANT MATERIAL. UNLESS OTHERWISE NOTED, ALL EXTERIOR AND INTERIOR EXPOSED METAL, TRIM, TRELLAGE, RAILINGS, MOLDINGS, FRAMES, CASTINGS, ETC., SHALL BE PAINTED.
- SEAL ALL TILE JOINTS WITH PENETRATING SILICONE SEALANT IN TWO APPLICATIONS AFTER THE GROUT HAS BEEN ALLOWED TO FULLY CURE. SEAL SHALL JOINTS WITH FLUSH CLEAR SILICONE SEALANT ONLY.
- PREPARE FLOORS FOR SMOOTH FINISH INSTALLATION WITH TELEGRAPHING. BRIDGE CRACKS IN CONCRETE FLOORS WITH ELASTOMERIC MEMBRANE PRIMED AND FULLY ADHERED TO FLOOR-USE.
- BACKFILL SHALL NOT BE STARTED UNTIL (N)LY INSTALLED UNDERGROUND PIPING IS TESTED AND INSPECTED.
- BACKFILL SHALL BE INSTALLED IN ACCORDANCE WITH THE RELEVANT STANDARDS IN 6 INCH COMPACTED LIFTS. KEEP DUST AND NOISE TO AN ABSOLUTE MINIMUM AND PROTECT THE ADJACENT SPACES FROM WATER PENETRATION DURING CUTTING AND CLEANING OPERATIONS. CLEAN UP AFTER COMPLETED WORK AT THE END OF EACH DAY AND KEEP THE JOBSITE FREE AND CLEAR OF ANY DEBRIS. STORE MATERIALS CAREFULLY AND IF REQUIRED OBTAIN AND PAY FOR OFF-SITE STORAGE.
- DISPOSAL OF AND STOCKPILING OF EXCESS MATERIAL, WITHIN THE PLANNING AREA SHALL BE DONE IN SUCH A WAY THAT IT WILL NOT CREATE A NUISANCE TO THE ONGOING WORKS IN GENERAL AND THE NEIGHBORING SURROUNDINGS.
- ANY DAMAGE ON PUBLIC AREA AND/OR ON THE CLIENT'S PREMISES CAUSED BY THE ONGOING PROJECT WORKS SHALL BE RESTORED IN ITS ORIGINAL CONDITION, WITH NO ADDITIONAL COST IMPLICATION TO THE OWNERS.
- LOCATE UTILITIES BEFORE CUTTING OR DIGGING-KNOW WHERE THEY ARE AND MARK THEM UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE SCHEMATIC ONLY. IF THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND AVOID INTERFERENCE WITH (E) LINES.
- GYPSUM WALL BOARD AND CEILINGS: PROVIDE U.S. MANUFACTURED MATERIALS AND FINISH IN ACCORDANCE WITH THE GYPSUM BOARD ASSOCIATION'S GUIDELINES AND INSTRUCTIONS. FOLLOW FIRE RATED ASSEMBLY CONSTRUCTION AND MARK WALL RATINGS IN 4" RED LETTERS ABOVE CEILING EVERY 10'. USE VERTICAL EXPANSION TRACK AT THE DESK OR FRAMING MEMBERS. 1/2" THICKNESS MAY BE USED BEHIND FRP IF RATING IS NOT REQUIRED. USE GREENBOARD IN ALL WET AREAS. PROVIDE FIRE RATED SEALANTS WHERE REQUIRED AND FLASH WALL TO FLOOR ALONG DEMISING WALLS. USE FIRE TREATED WOOD AND PLYWOOD FOR BACKING WHERE WOOD IS NOT ALLOWED. INSTALL CEILINGS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION.
- METAL OR WOOD FRAMED WALLS: USE WOOD FRAMING ONLY WHERE ALLOWED AND METAL FRAMING WHERE THE BUILDING IS NOT ALLOWED TO HAVE COMBUSTIBLE MATERIALS. PROVIDE MATERIALS FROM A STEEL FRAMING INDUSTRY ASSOCIATION (SFI) MEMBER AND FOLLOW THE GUIDELINES AND INSTRUCTIONS SET FORTH BY SFI. 3 1/2" TRACK AND UTILITY STUD FRAMING 2X11.
- ALL WOOD EXPOSED TO THE WEATHER, IN CONTACT WITH THE GROUND OR ENTERING EXTERIOR MASONRY WALLS SHALL BE PRESERVATIVE TREATED (P.T.)
- ALL FASTENERS FOR PRESERVATIVE TREATED WOOD SHALL BE HOT-DIP GALVANIZED OR STAINLESS STEEL.
- ALL STRUCTURAL CONNECTORS & HANGERS SHALL BE HOT-DIP GALVANIZED STEEL.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. IF A DISCREPANCY IS DISCOVERED, COORDINATE WITH ARCHITECT TO RESOLVE THE ISSUE TO ACHIEVE THE INTENT OF THE DRAWINGS.
- COORDINATE WITH OWNER ALL ACTUAL FINISHES AND MATERIAL SAMPLES.
- ELECTRICAL SHALL BE DESIGN/BUILD PER LATEST NEC. COORDINATE FIXTURES, SPECIAL RECEPTACLES AND REQUIREMENTS WITH OWNER. LIGHTING SHALL BE PROVIDED BY OWNER INSTALLED BY CONTRACTOR.
- DATA SHALL BE DESIGN/BUILD. COORDINATE SPECIAL RECEPTACLES AND REQUIREMENTS WITH OWNER.
- VENTILATING VENTILATION AIR CONDITIONING SHALL BE DESIGN/BUILD PER LATEST CODES. COORDINATE SYSTEM TYPES AND PERFORMANCE SPECIFICATIONS WITH OWNER.
- PLUMBING SHALL BE DESIGN/BUILD PER LATEST CODES. COORDINATE SYSTEM TYPES AND PERFORMANCE TYPES WITH OWNER.
- ALL DIMENSIONS ARE TO FACE OF NEW STUDS (ROUGH FRAMING), FACE OF BRICK OR FACE OF SHEATHING, FACE OF EXISTING FINISHED WALLS TO REMAIN, CENTERLINE OF OPENINGS FOR DOORS AND WINDOWS UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS. USE STATED DIMENSIONS ONLY.
- ALL WINDOWS WITH SILLS 24" OR LESS A.F.F. AND 6'-0" OR MORE ABOVE EXTERIOR GRADE SHALL HAVE WINDOW OPENING DEVICES PER MRC 312.2
- SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF MRC 14.5 AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE UNIT. SMOKE ALARMS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRING AND BATTERY BACK-UP POWER.
- SINGLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING w/UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE W/ MRC 15 AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.



RES. ABBREVIATIONS

(R)ASSEMBLY TYPES

RES. GENERAL NOTES

RESIDENTIAL NOTES

T02



NOTES

- DO NOT SCALE PLANS
  - THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH LOCAL CONSTRUCTION CODES IN AFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULING AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.
  - COORDINATE ALL DRAWINGS, DETAILS, AND EQUIPMENT SPECS.
  - ALL TRADES SHALL REVIEW AND HAVE ACCESS TO ENTIRE SET OF PLANS AND SPECS PRIOR TO BIDDING AND DURING CONSTRUCTION.
  - SEPARATION OF SHEETS IS NOT PERMITTED.
  - SUBMIT WEEKLY UPDATES TO OWNER/ARCHITECT INCLUDING SCHEDULE, PHOTOS, AND PROGRESS REPORT.
  - FIELD VERIFY EXISTING CONDITIONS AND REPORT ANY INCONSISTENCIES TO ARCHITECT. G.C. SHALL SUBMIT ALL AS-BUILTS AND DEVIATIONS FROM THE PLANS TO OWNER & ARCHITECT.
  - PROVIDE STORAGE FOR ALL EQUIPMENT AND MATERIALS IN ACCORDANCE TO MANUFACTURER'S SPECS FOR DURATION OF CONSTRUCTION.
  - WORK SHALL NOT COMMENCE PRIOR TO RECEIPT OF ALL APPROVED PERMITS.
  - THE PLANS AND DETAILS INCLUDED IN THIS PROJECT ARE FOR THE SOLE PURPOSE OF THIS PROJECT. THE USE OF THESE DETAILS ON ANOTHER PROJECT IS STRICTLY PROHIBITED UNLESS APPROVED BY ARCHITECT.
  - COPYRIGHT 2024 BIGGDESIGNS, LLC
- REQUESTS FOR INFORMATION (RFI)**
- ALL RFIS SHALL BE SUBMITTED ELECTRONICALLY VIA EMAIL. TEXT/CALL RFIS WILL NOT BE ACCEPTED.
  - SUBSTITUTIONS/ALTERNATES MUST BE PROVIDED TO ARCHITECT FOR APPROVAL PRIOR TO PURCHASE/INSTALL AND MAY REQUIRE A MIN. \$150.00 REVIEW FEE UNLESS OTHERWISE APPROVED IN CLIENT'S SERVICE AGREEMENT.
- DEFERRED SUBMITTALS**
- ALL PLANS LABELED AS DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR LOCAL AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION.



PROJECT

23187  
PIERSON SUMMER HOME

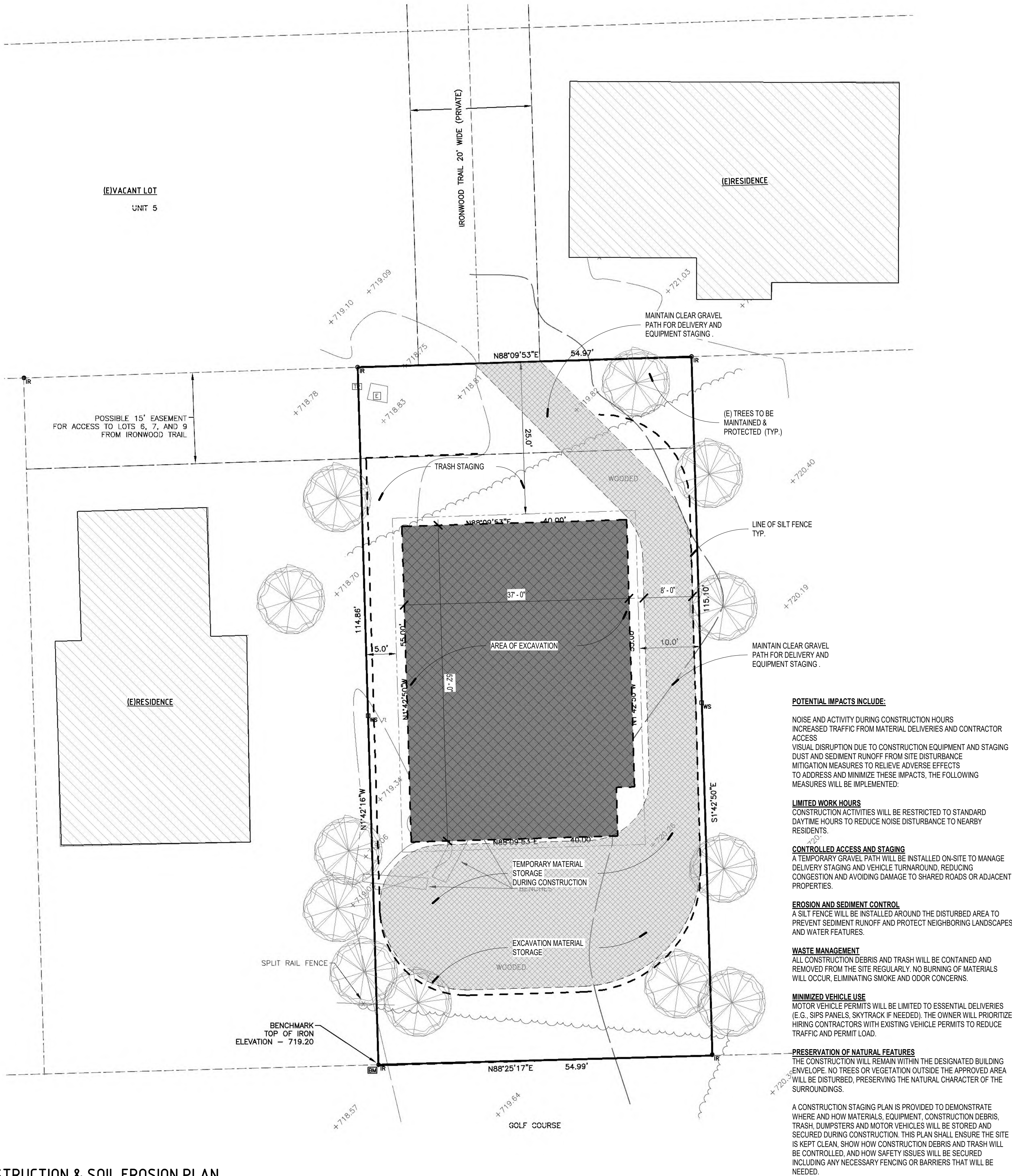
IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS  
FREIGHT/HAULING PLAN  
08.20.2025

REV

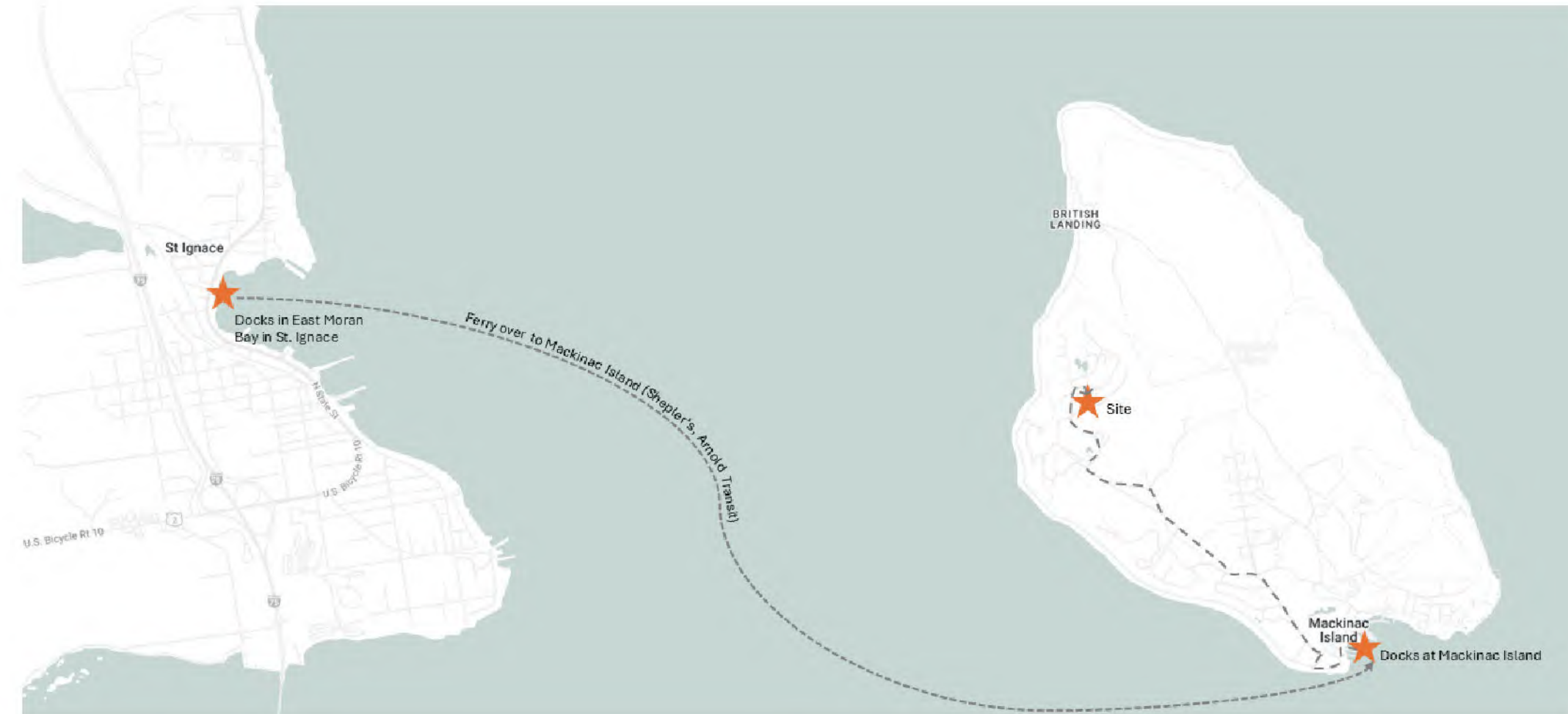
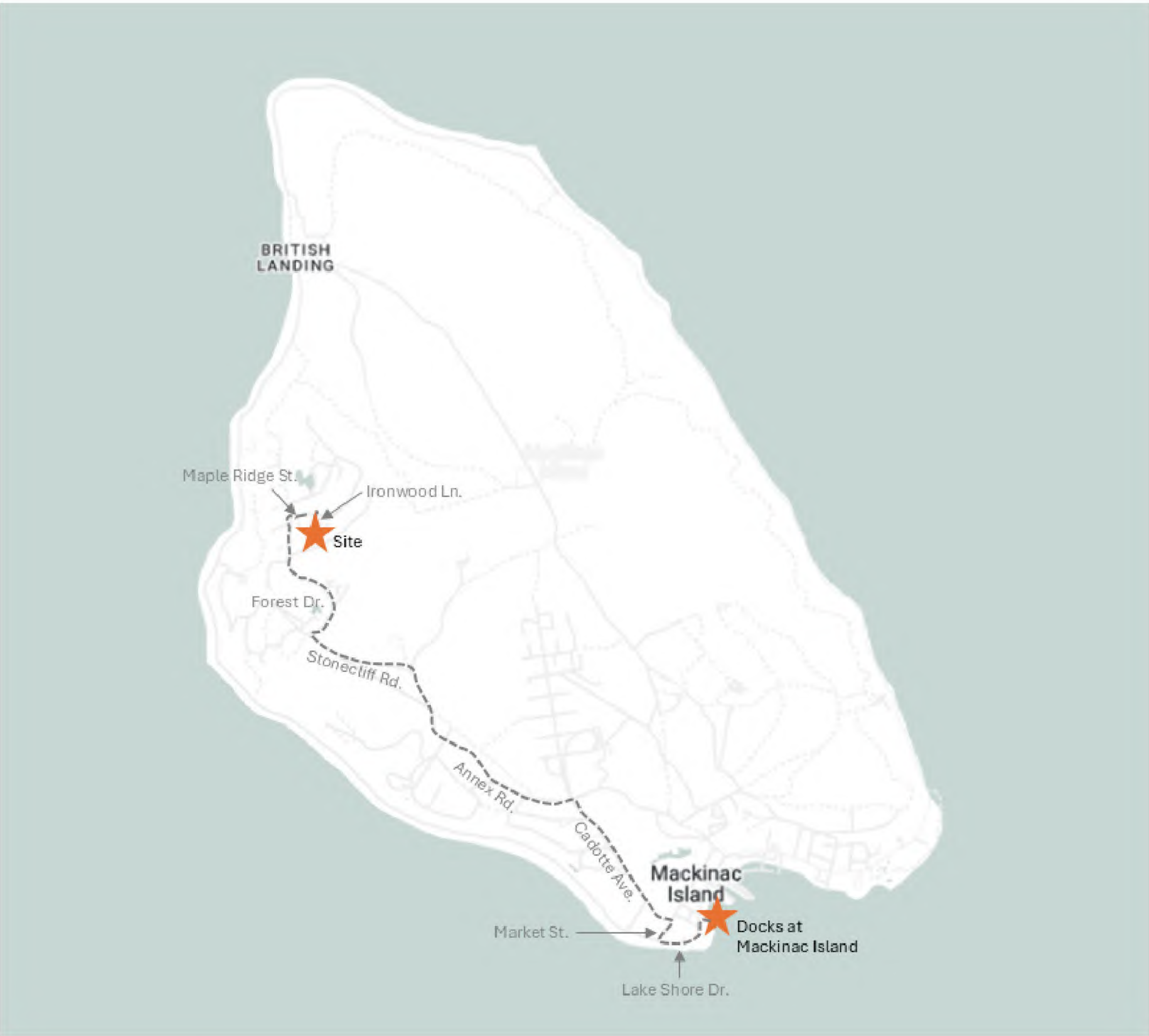
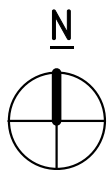
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T03



CONSTRUCTION & SOIL EROSION PLAN

1" = 10'-0"



DELIVERY ROUTES

12" = 1'-0"





LESHON PIERSON

TOPOGRAPHIC SURVEY OF UNIT 8  
STONECLIFFE MANOR CONDOMINIUM  
MACKINAW ISLAND, MACKINAW COUNTY, MICHIGAN

ISSUED FOR:      DATE:      BY:

JOB NO.  
GSU6836-01G

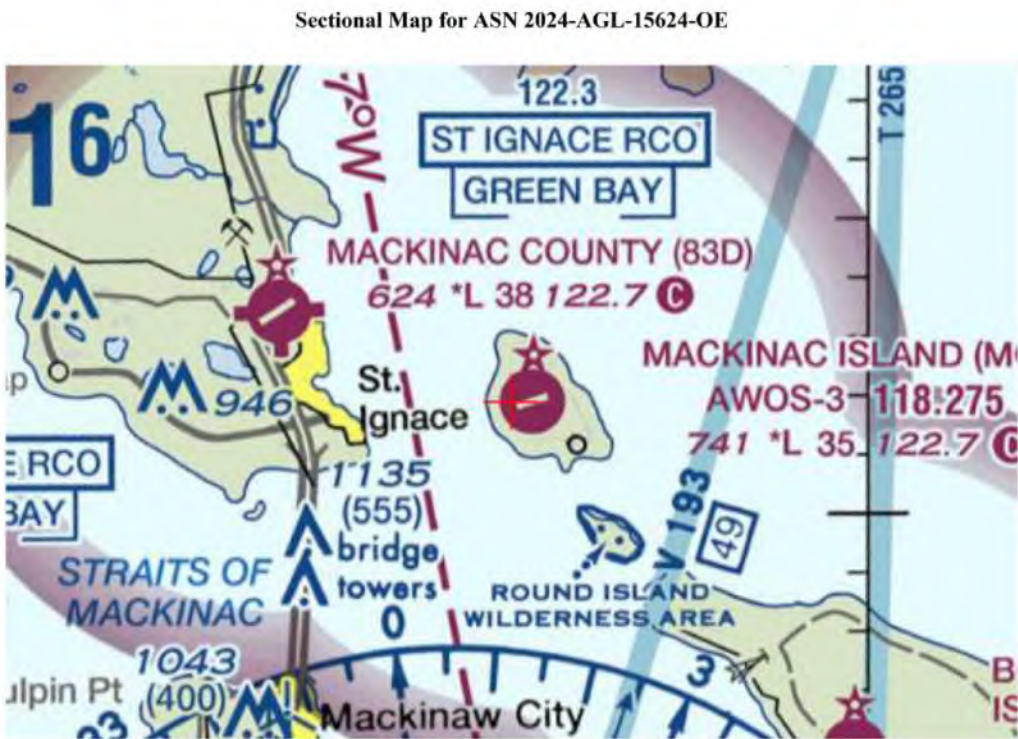
SHEET

1 OF 1

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Verified Map for ASN 2024-AGL-15624-OE



TOPO Map for ASN 2024-AGL-15624-OE



Additional information for ASN 2024-AGL-15624-OE

A full list of acronyms and abbreviations is available at the FAA's public website at [https://oeaaa.faa.gov/oeaaa/downloads/external/content/FAA\\_Acronyms.pdf](https://oeaaa.faa.gov/oeaaa/downloads/external/content/FAA_Acronyms.pdf)

Part 77 - Title 14 CFR Part 77, Safe, Efficient Use and Preservation of the Navigable Airspace

Our study has disclosed that the proposed structure located approximately 472 feet northwest of Runway End 08 at Mackinac Island Airport (MCD), Mackinac Island, MI.

At the proposed height, the structure will penetrate protected airport surfaces:

1. 77.17 (a)(3) A height within a terminal obstacle clearance area, including an initial approach segment, a departure area, and a circling approach area, which would result in the vertical distance between any point on the object and an established minimum instrument flight altitude within that area or segment to be less than the required obstacle clearance.

At 753 AMSL, 4D, MACKINAC ISLAND (MCD) MACKINAC ISLAND, MI. Obstacle penetrates RWY 26 40:1 departure surface 21 feet. Qualifies as low, close-in penetration with climb gradient termination altitude 200 feet or less above DER, requiring TAKEOFF MINIMUMS AND (OBSTACLE) DEPARTURE PROCEDURES, AMDT 2, TAKEOFF OBSTACLE NOTES: RWY 26, Building 131 feet from departure end of runway, 453 feet right of centerline, 34 AGL, 753 AMSL, NEH 732 AMSL (4D/2C).

\*Part 77 obstruction standards are used to screen the many proposals submitted in order to identify those which warrant further aeronautical study. This study is conducted in order to determine if the proposal would have a significant adverse effect on aeronautical operations and airspace. While part 77 obstruction standards may trigger formal aeronautical study, including public circularization, these obstruction standards do not constitute absolute or arbitrary criteria for identification of hazards to air navigation. Accordingly, the fact that a proposed structure exceeds certain obstruction standards of part 77 is in itself not sufficient grounds for issuance of a determination of hazard to air navigation.

EFFECT ON AERONAUTICAL OPERATIONS

- a. The impact on arrival, departure, and en route procedures for aircraft operating under VFR: None.
- b. The impact on arrival, departure, and en route procedures for aircraft operating under IFR: None.

AERONAUTICAL STUDY FOR POSSIBLE INSTRUMENT FLIGHT RULES (IFR) EFFECT DISCLOSED THE FOLLOWING:

- > The proposed structure would have no effect on any existing or proposed IFR arrival/departure routes, operations, or procedures.
- > The proposed structure would have no effect on any existing or proposed IFR en route routes, operations, or procedures.
- > The proposed structure would have no effect on any existing or proposed IFR minimum flight altitudes.

AERONAUTICAL STUDY FOR POSSIBLE VISUAL FLIGHT RULES (VFR) EFFECT DISCLOSED THE FOLLOWING:

- > The proposed structure would have no effect on any existing or proposed VFR arrival or departure routes, operations or procedures.
- > The proposed structure would not conflict with airspace required to conduct normal VFR traffic pattern operations at any known public use or military airports.
- > The proposed structure would not penetrate those altitudes normally considered available to airmen for VFR en route flight.

c. The impact on all planned public-use airports and aeronautical facilities: None.

The cumulative impact resulting from the proposed construction or alteration of a structure when combined with the impact of other existing or proposed structures: Cumulative impact was not a deciding factor for this determination.

CIRCULARIZATION AND NEGOTIATIONS

The proposal was not circularized to the public for comment, as current FAA policy exempts from circularization those proposals which penetrate the 40:1 departure surface and do not raise minima. The penetration to the departure surface in the ICA will require a note in the TAKE-OFF MINIMUM AND (OBSTACLE) DEPARTURE PROCEDURES AND DIVERSE VECTOR AREA (RADAR VECTORS).

The cumulative impact of the proposed structure is not considered significant. Study did not disclose any adverse effect on existing or proposed public-use or military airports or navigational facilities. Nor would the proposal affect the capacity of any known existing or planned public-use or military airport.

Therefore, it is determined that the proposed structure would not have a substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on any air navigation facility and would not be a hazard to air navigation.

Although the structure exceeds Part 77, 77.17 (a)(3), there would be no effects on any existing or proposed en route VFR operations. There are no physical or electromagnetic effects on the operation of air navigation and communications facilities. The study did not disclose any effects on any airspace and routes used by the military. It would impact MCD airport, but no other existing or planned public use of military airport would be impacted.

CONDITIONS

The incorporation of obstruction marking and lighting was considered but deemed not necessary to provide additional conspicuity for IFR and VFR pilots flying in this vicinity. The surrounding trees are taller than the structures in the area.

DETERMINATION - NO HAZARD TO AIR NAVIGATION



Mail Processing Center  
Federal Aviation Administration  
Southwest Regional Office  
Obstruction Evaluation Group  
10101 Hillwood Parkway  
Fort Worth, TX 76177

Aeronautical Study No.  
2024-AGL-15624-OE

Issued Date: 12/10/2024

Michael Nachazel  
Wade Trim  
4241 Old Us 27 S  
Suite 1  
Gaylord, MI 49734

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	House House
Location:	Mackinac Island, MI
Latitude:	45-51-53.54N NAD 83
Longitude:	84-38-40.89W
Heights:	719 feet site elevation (SE) 34 feet above ground level (AGL) 753 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- ☐ At least 10 days prior to start of construction (7460-2, Part 1)
- ☒ Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

**See attachment for additional condition(s) or information.**

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M Change 1.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 06/10/2026 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (817) 222-4244, or [ashley.m.wilson@faa.gov](mailto:ashley.m.wilson@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2024-AGL-15624-OE.

Signature Control No: 638978932-641468952

Ashley Wilson  
Specialist

( DNE )

Attachment(s)  
Additional Information  
Map(s)



• SCHEMATIC ONLY  
• NOT FOR CONSTRUCTION  
• COPYRIGHT 2024  
• BIGGDESIGNS, LLC

PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS

APPROVAL LETTER  
12.10.2024

REV

REV	NOTE	DATE
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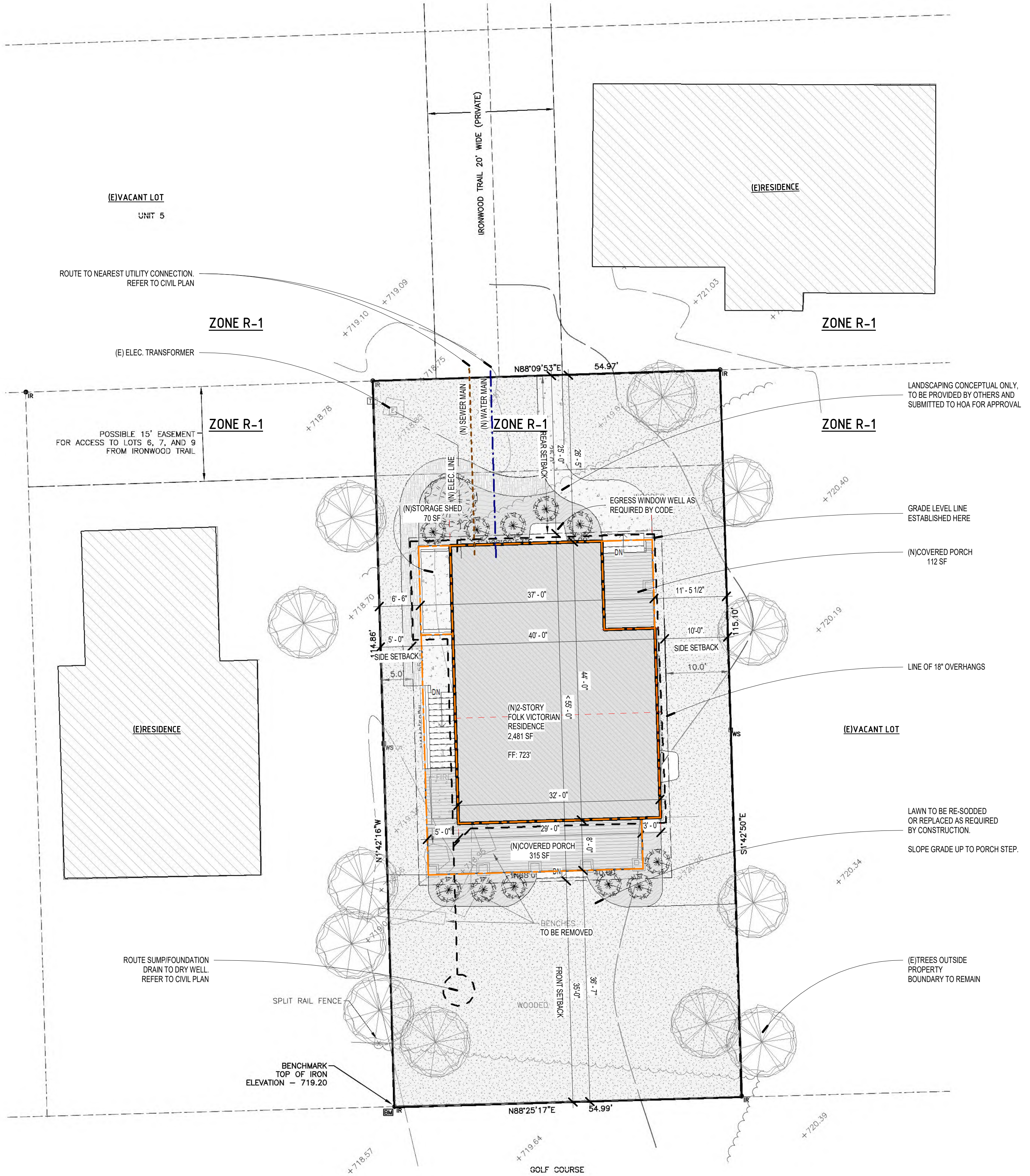
PROPERTY DESCRIPTION

PROJECT NARRATIVE: NEW 2-STORY VICTORIAN STYLE RESIDENCE

P.I.N.: 051-755-008-00  
LEGAL DESCRIPTION: 295/01.02 370/281-286 302/428 313/580 UNIT NO. 8 STONECLIFFE MANOR CONDOMINIUM  
ZONE: R-1  
SITE AREA: 0.145 AC

PROPOSED DEVELOPMENT OPERATIONS  
SINGLE FAMILY HOME FOR PRIVATE RESIDENCE

FREIGHT HAULING PLAN IS PROVIDED.



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- DEFERRED SUBMITTALS
- ALL PLANS LABELED AS DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR LOCAL AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION.



UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF FACILITIES ONLY, AS DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANY'S RECORDS. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. PRIOR TO CONSTRUCTION, ALL LOCATION AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES IN CONFLICT WITH THE CONSTRUCTION OF PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD. DURING CONSTRUCTION, CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR OVERHEAD AND/OR BURIED UTILITIES.

PROJECT

23187  
PIERSON SUMMER HOME

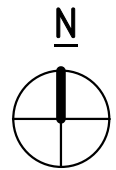
IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS  
ARCHITECTURAL SITE PLAN  
08.20.2025

REV

REV	NOTE	DATE
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A00



1 ARCHITECTURAL SITE PLAN

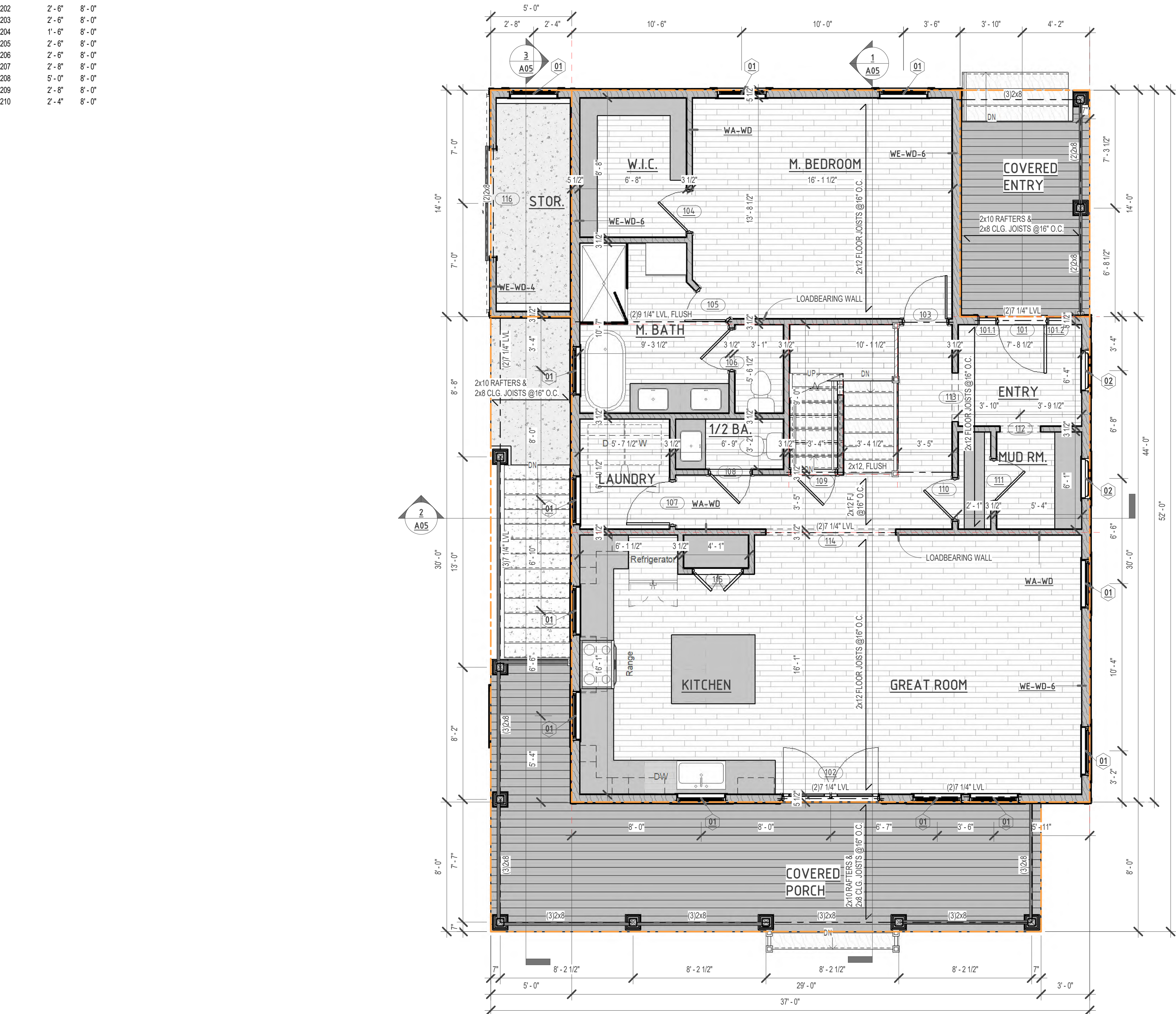
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THIS IS NOT A LEGAL SURVEY. NOR IS IT INTENDED TO BE OR REPLACE A LEGAL SURVEY.

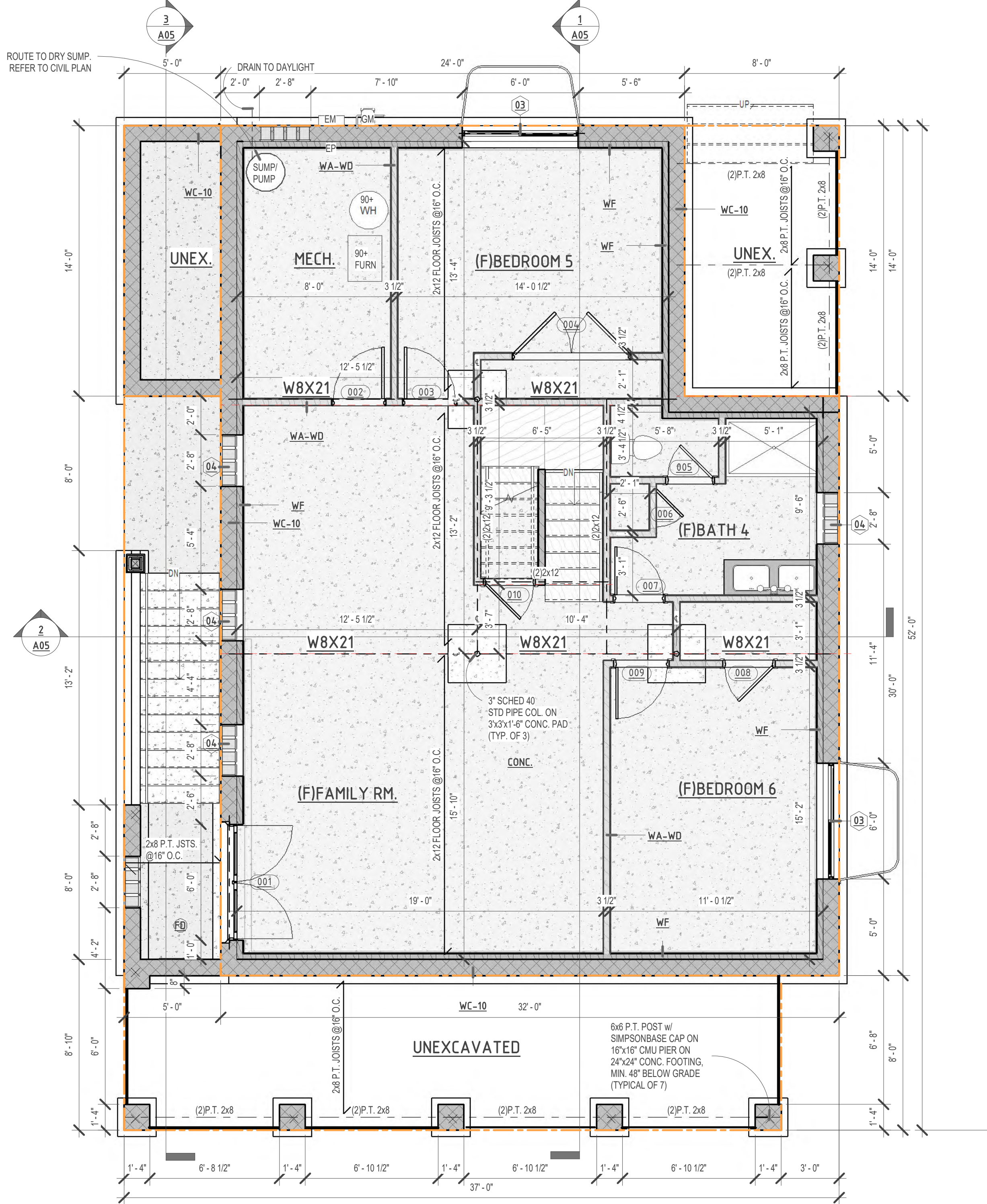


DOOR SCHEDULE

MARK	WIDTH	HT.	TYPE	NOTES
001	6'-0"	8'-0"	ENTRY	
002	2'-8"	8'-0"		
003	2'-8"	8'-0"		
004	6'-0"	8'-0"		
005	2'-4"	8'-0"		
006	2'-0"	6'-8"		
007	2'-6"	8'-0"		
008	2'-6"	8'-0"		
009	2'-8"	8'-0"		
010	2'-6"	8'-0"		
011	3'-0"	8'-0"	ENTRY	
011.1	1'-0"	8'-0"	SIDELITE	
011.2	1'-0"	8'-0"	SIDELITE	
012	6'-0"	8'-0"		
013	2'-8"	8'-0"		
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1 FIRST FLOOR  
1/4" = 1'-0"



2 BASEMENT  
1/4" = 1'-0"

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PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS  
BASEMENT & FIRST FLOOR  
PLANS  
08.20.2025

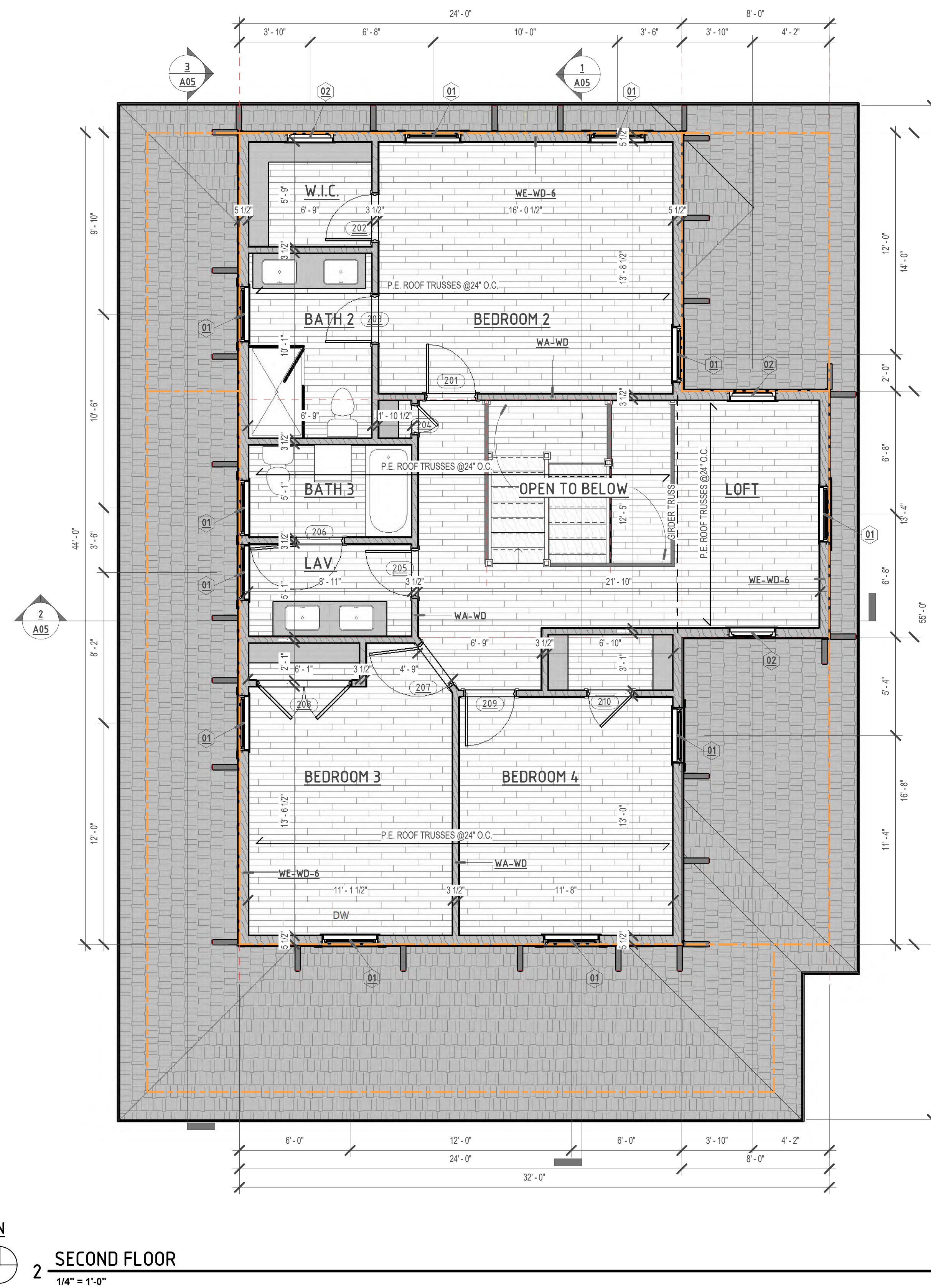
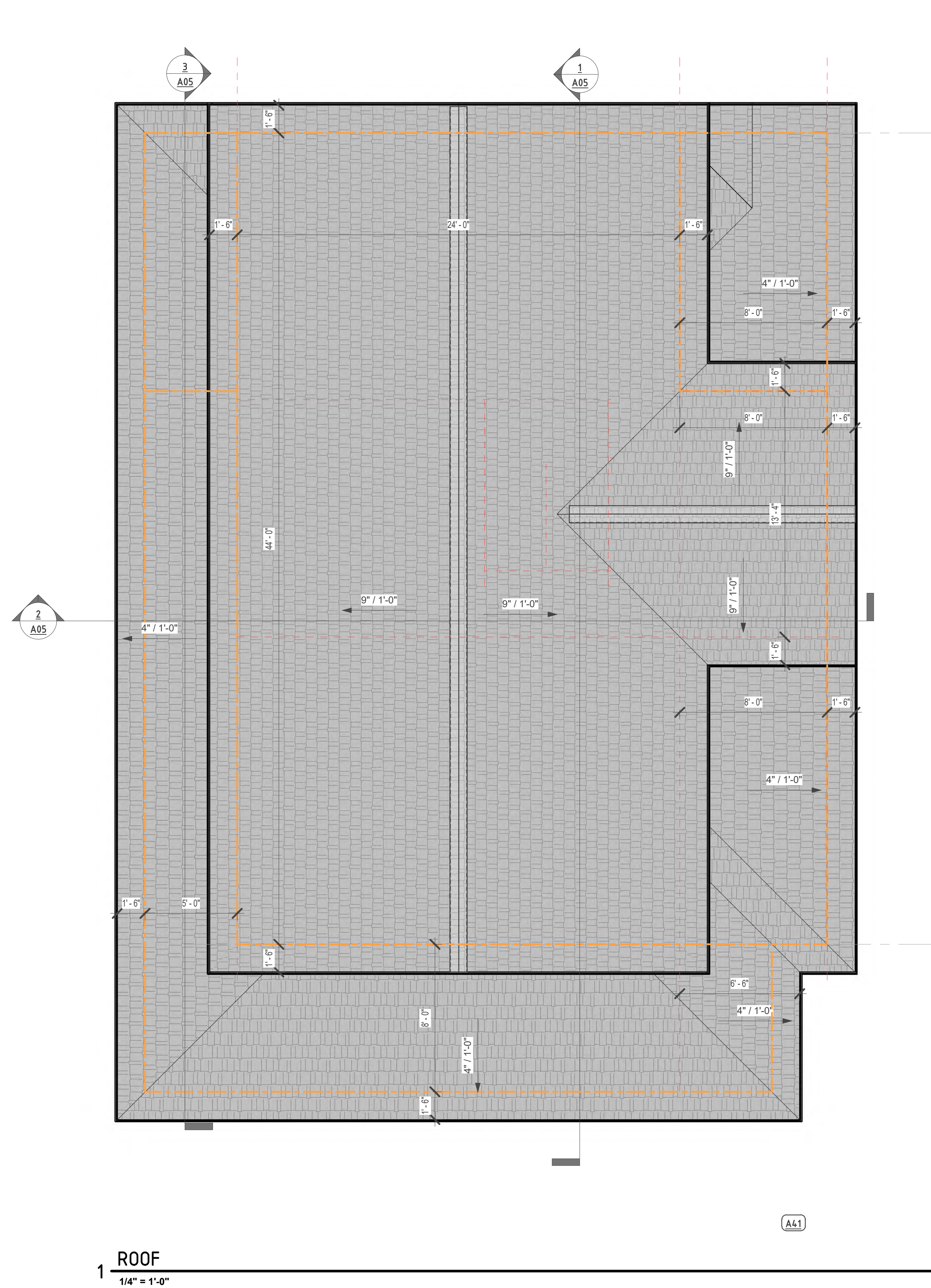
REV  
REV NOTE DATE

A01



## ROOF NOTES

TAG	NOTE CONTENT
A41	ROOF VENTILATION: AN AIRSPACE OF NOT LESS THAN 1 INCH SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/50 OF THE AREA OF THE SPACE VENTILATED. VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF CRAWL-SPACE AREA.



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## PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

## PERMITS

SECOND FLOOR & ROOF PLAN  
08.20.2025

## REV

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A02

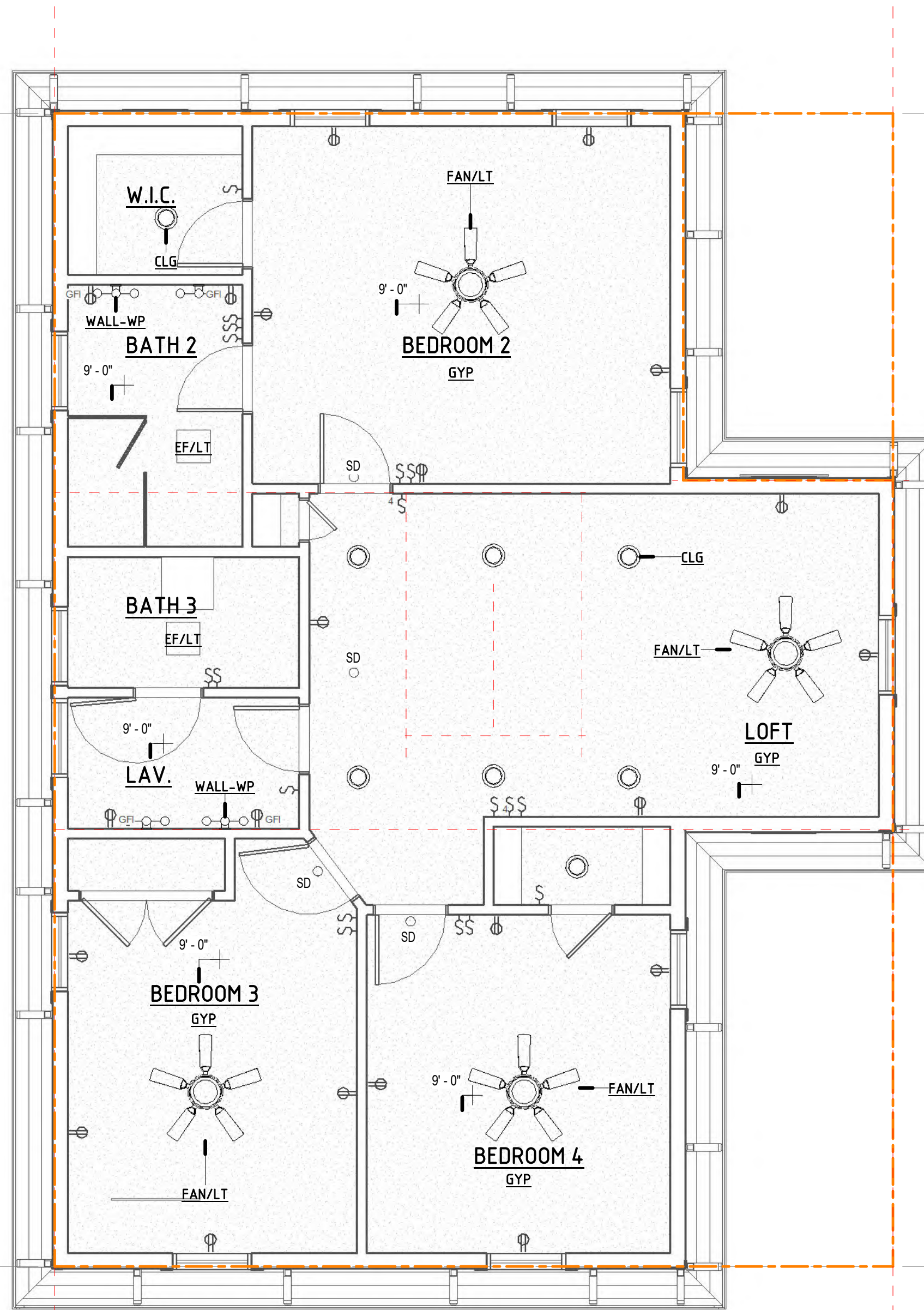


## CEILING NOTES

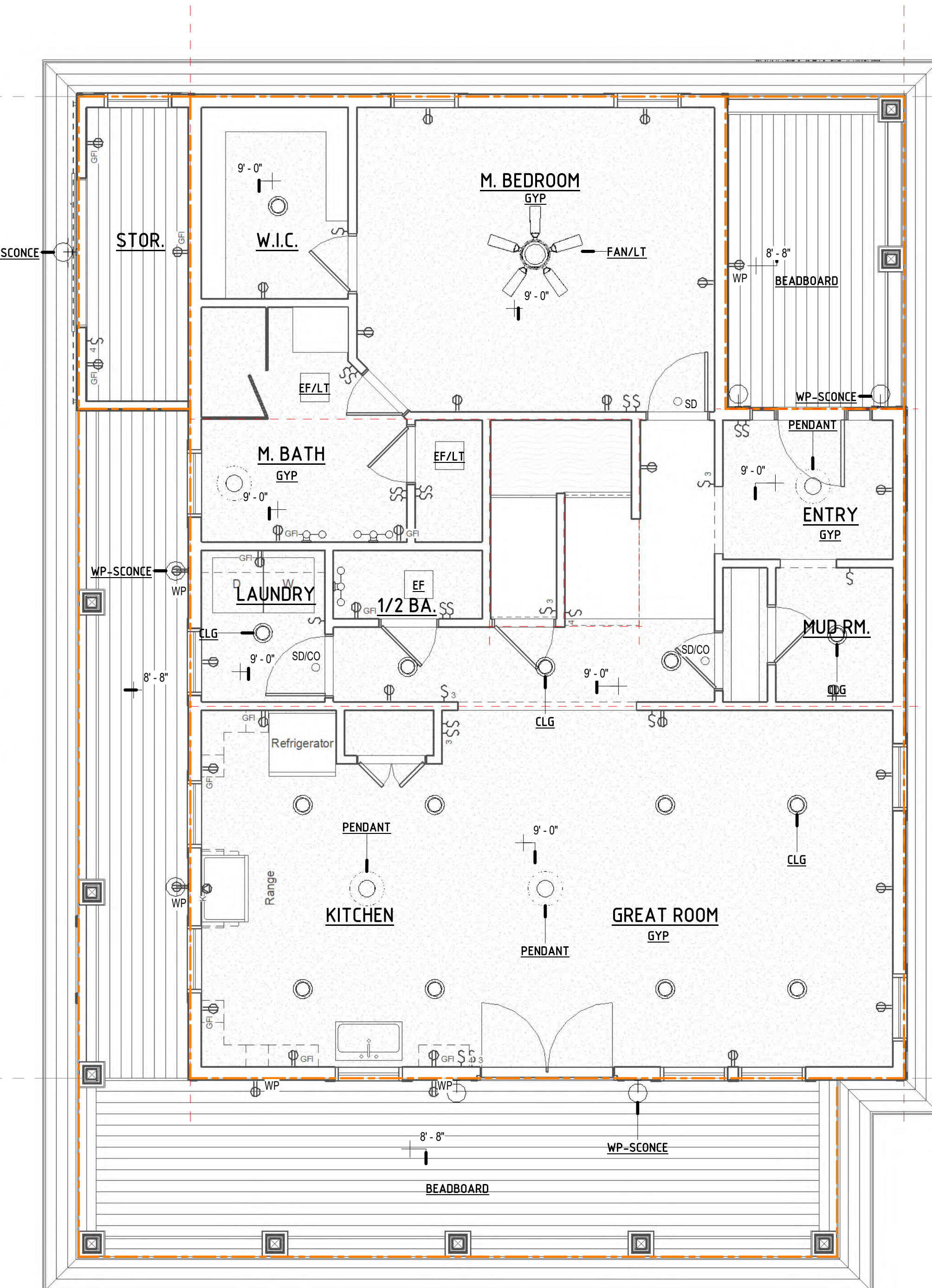
TAG	NOTE CONTENT
A21	LIGHT FIXTURES: SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE CODE REQUIREMENTS.
A22	CEILING HEIGHT: OCCUPIABLE SPACES, HABITABLE SPACES AND CORRIDORS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET 6 INCHES
A23	CEILING HEIGHT: BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE ROOMS AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET

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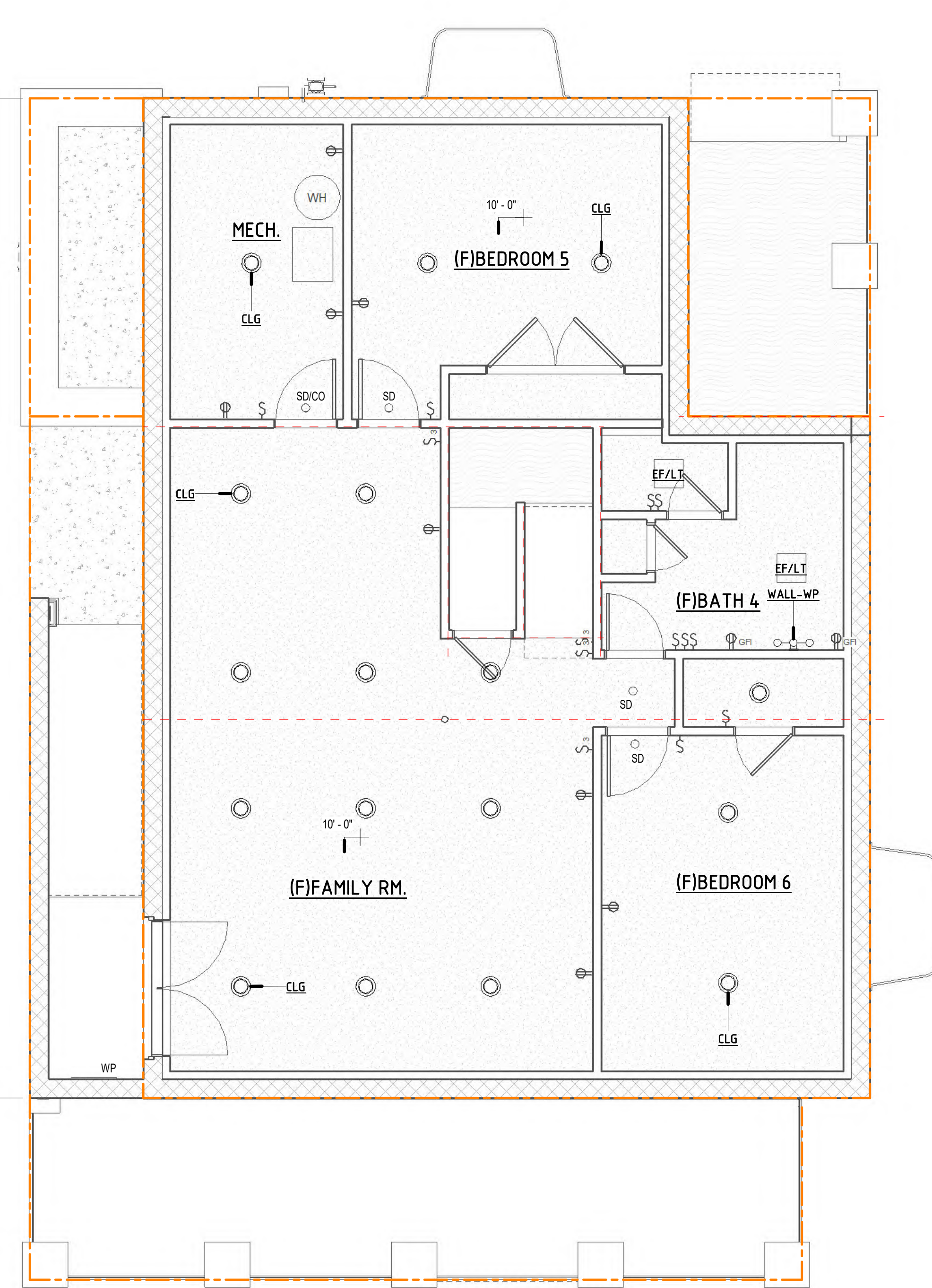
A21  
A22  
A23



2

REF. CEILING PLAN FIRST FLOOR

1/4" = 1'-0"



1

REF. CEILING PLAN BASEMENT

1/4" = 1'-0"

## PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

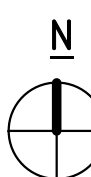
## PERMITS

CEILING PLANS  
08.20.2025

## REV

REV	NOTE	DATE

A03



3

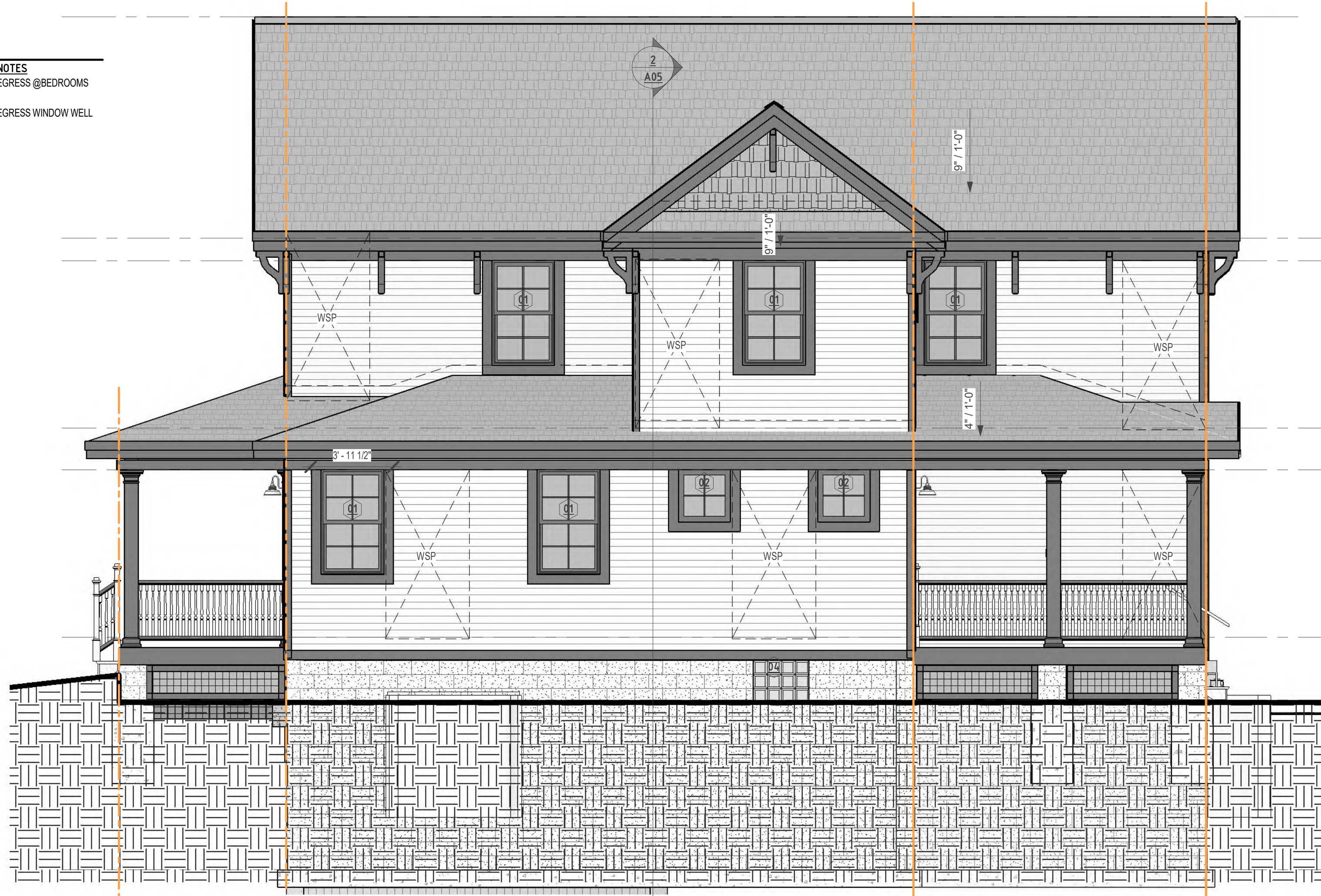
REF. CEILING PLAN SECOND FLOOR

1/4" = 1'-0"



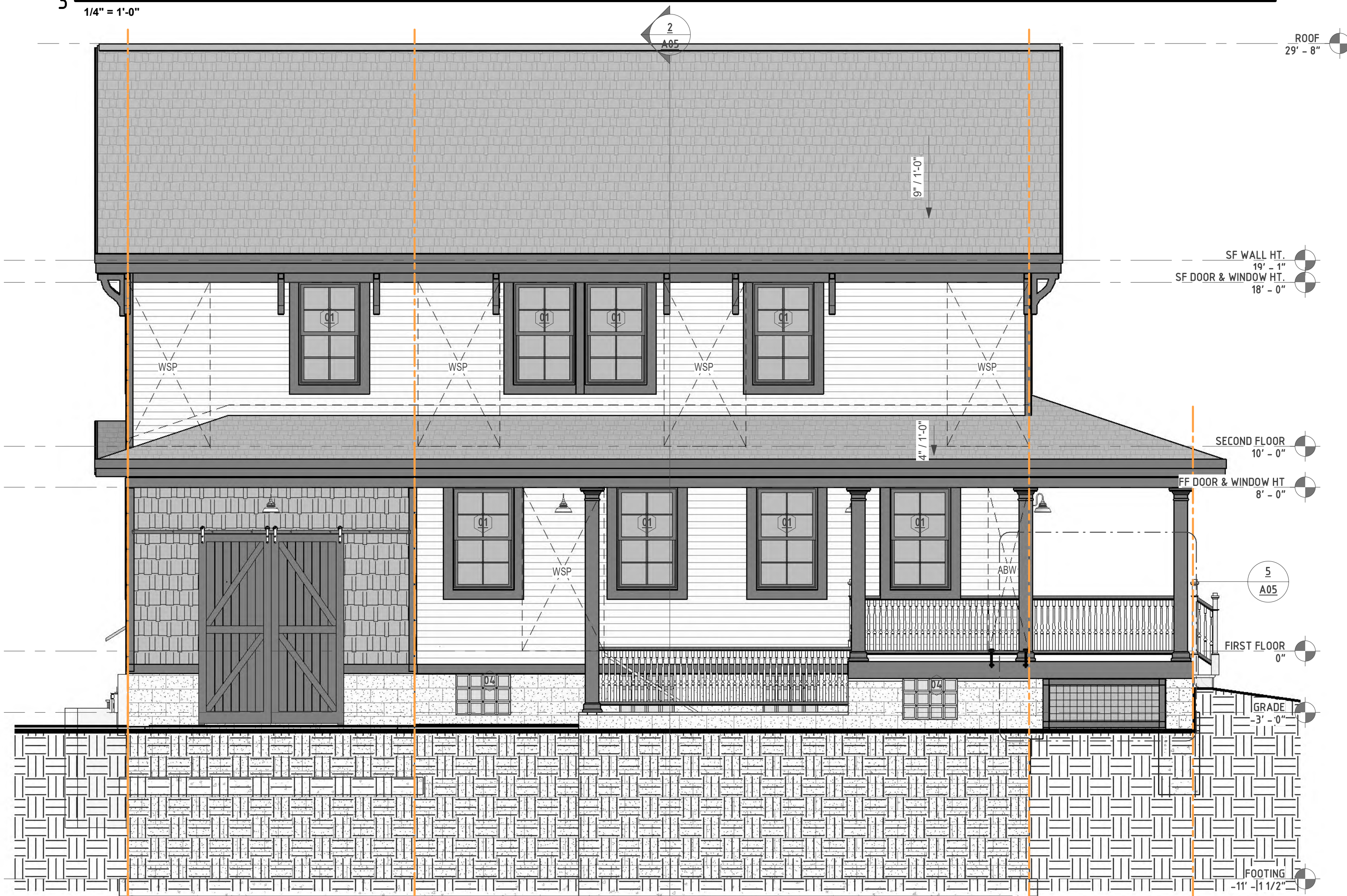
## WINDOW SCHEDULE

MARK	COUNT	WIDTH	HEIGHT	TYPE	NOTES
01	23	3'-0"	5'-0"	DOUBLE HUNG	EGRESS @BEDROOMS
02	7	2'-6"	2'-6"	CASEMENT	
03	2	6'-0"	5'-0"	DOUBLE HUNG-DOUBLE	EGRESS WINDOW WELL
04	68	8"	8"	GLASS BLOCK	



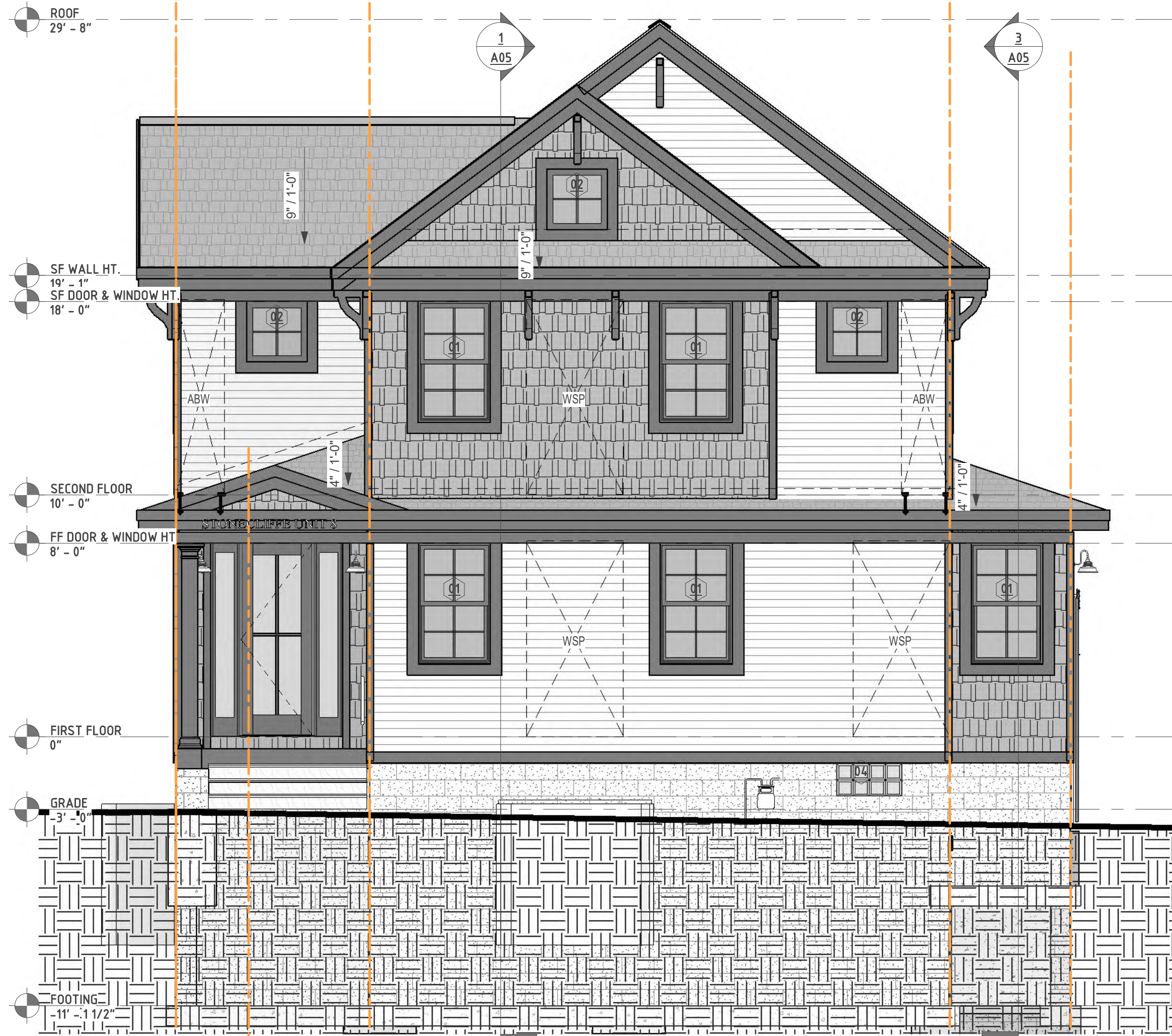
3 EAST ELEVATION

1/4" = 1'-0"



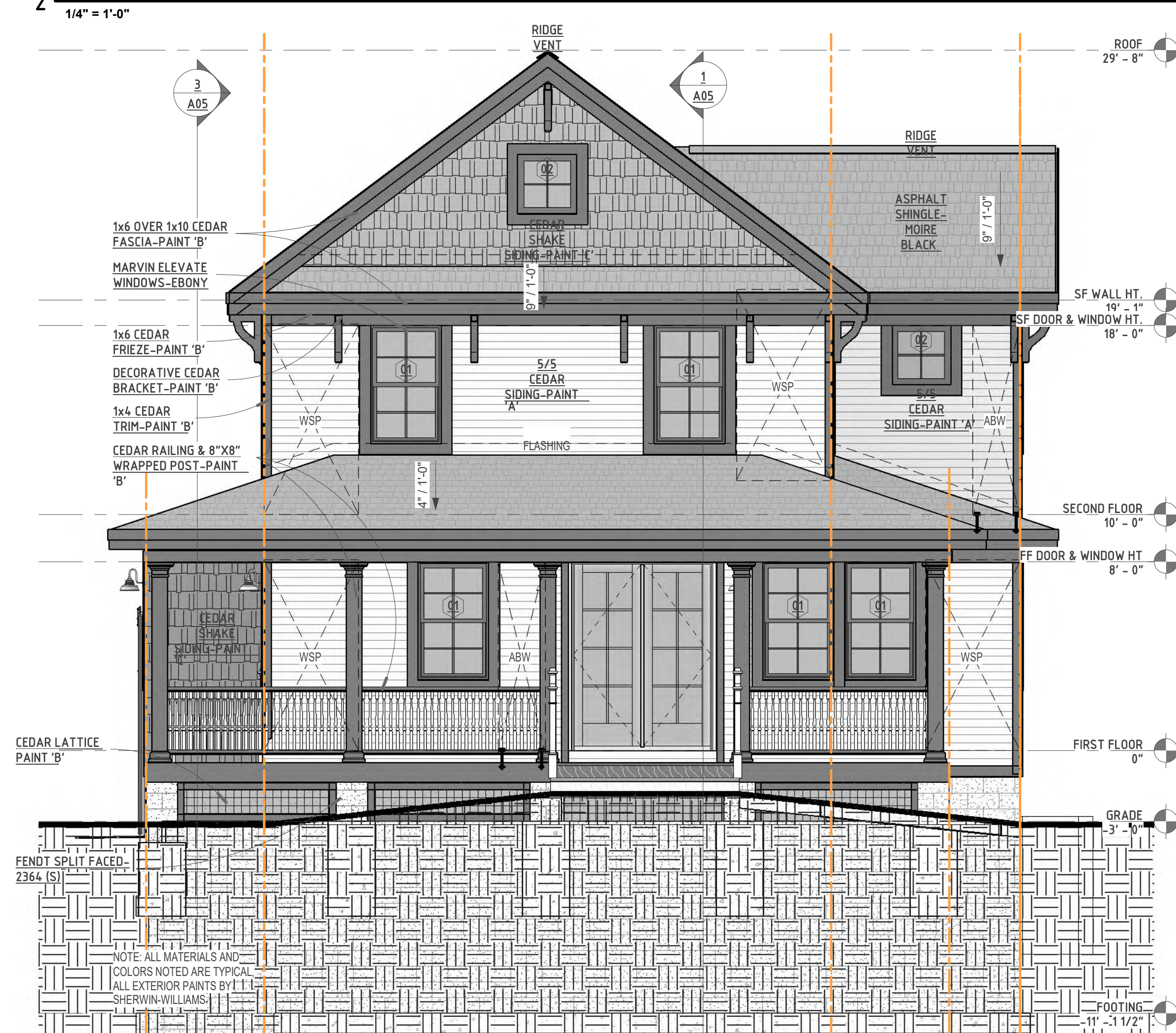
4 WEST ELEVATION

1/4" = 1'-0"



2 NORTH ELEVATION

1/4" = 1'-0"



1 SOUTH ELEVATION

1/4" = 1'-0"

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## PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS  
EXTERIOR ELEVATIONS  
08.20.2025

## REV

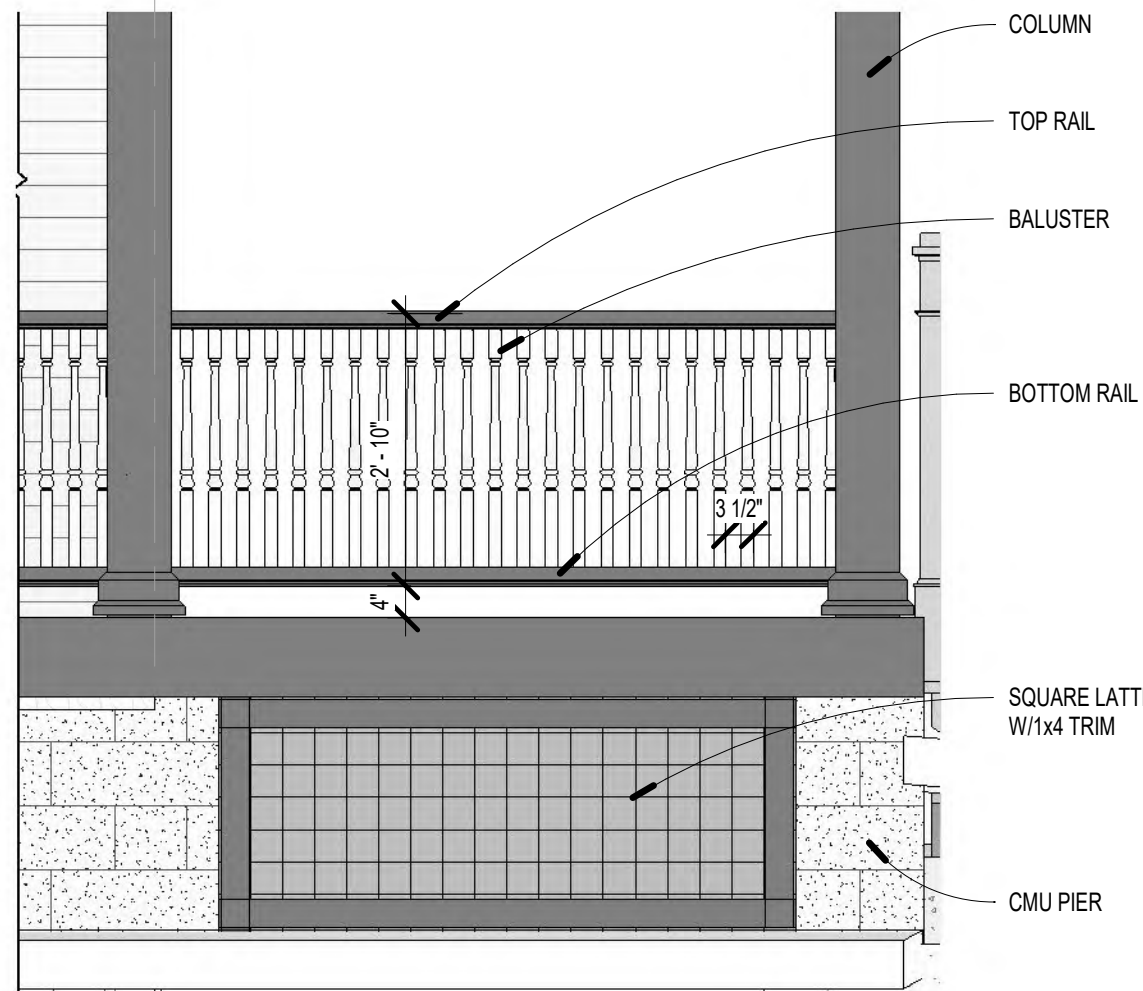
REV	NOTE	DATE
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A04

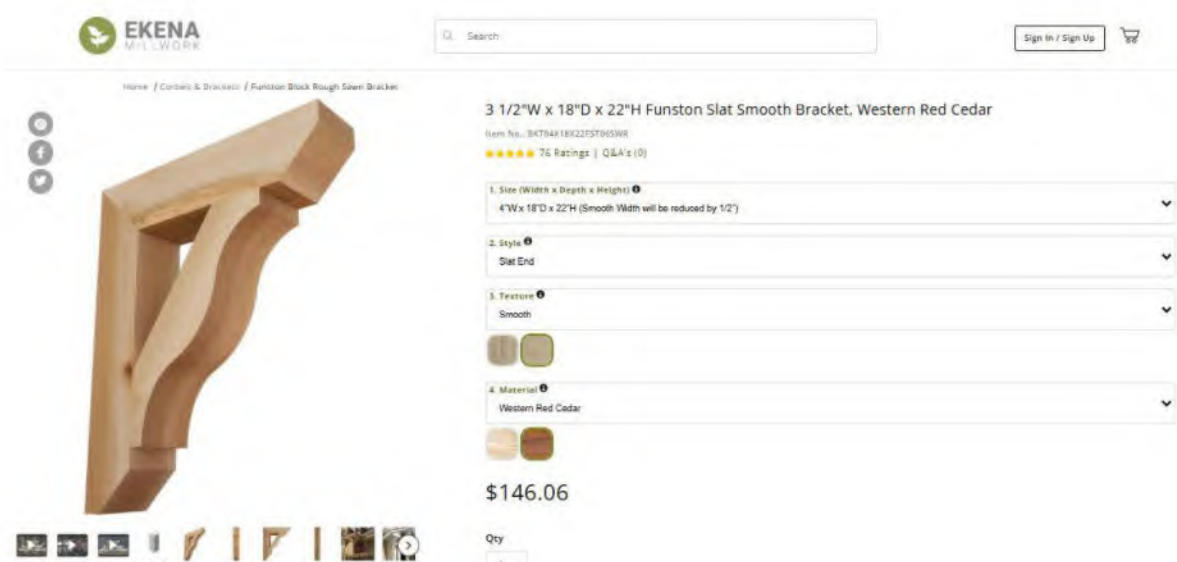


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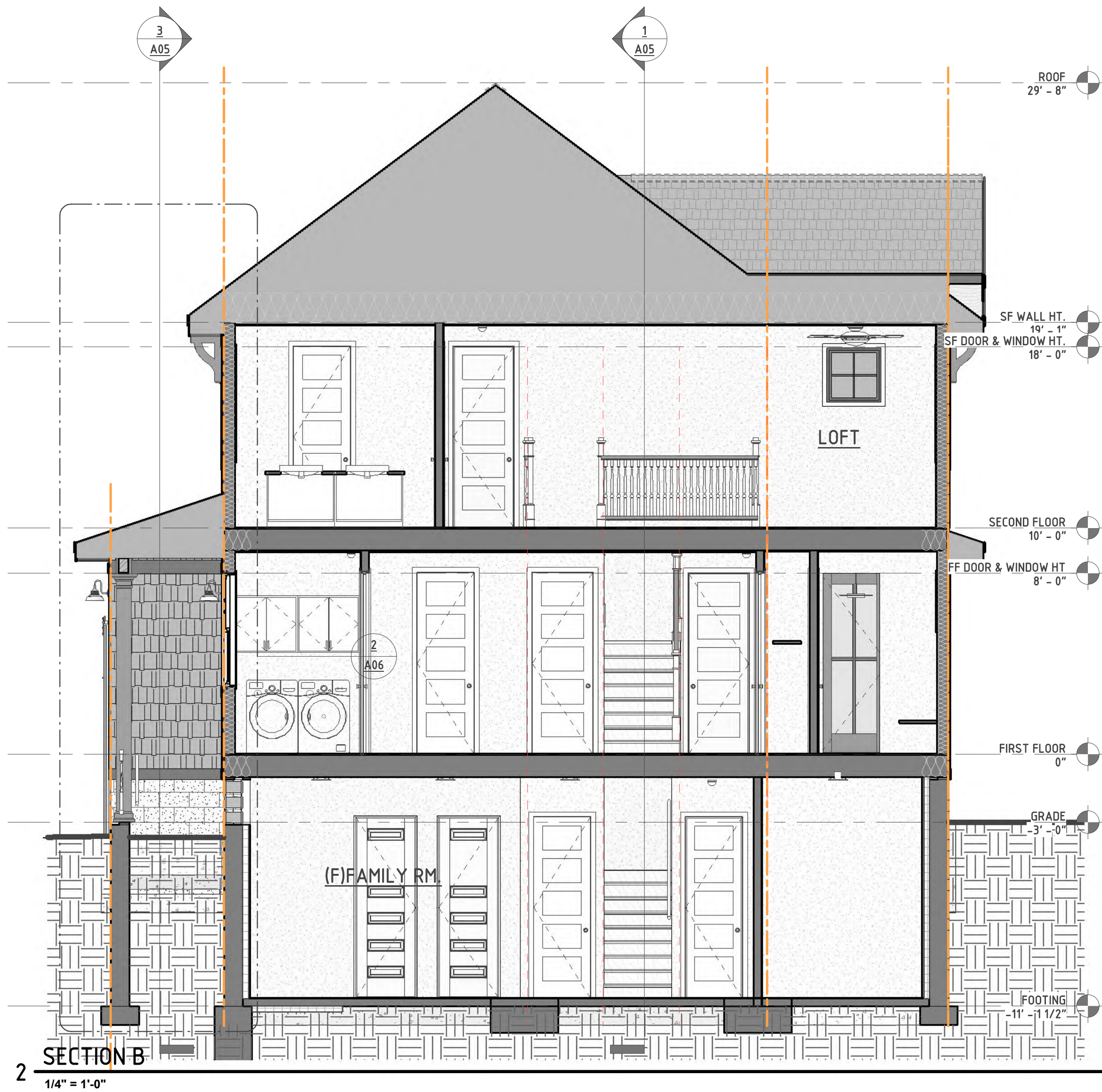
5 RAILING AND PORCH SCREEN ELEVATION (TYP.)  
1/2" = 1'-0"



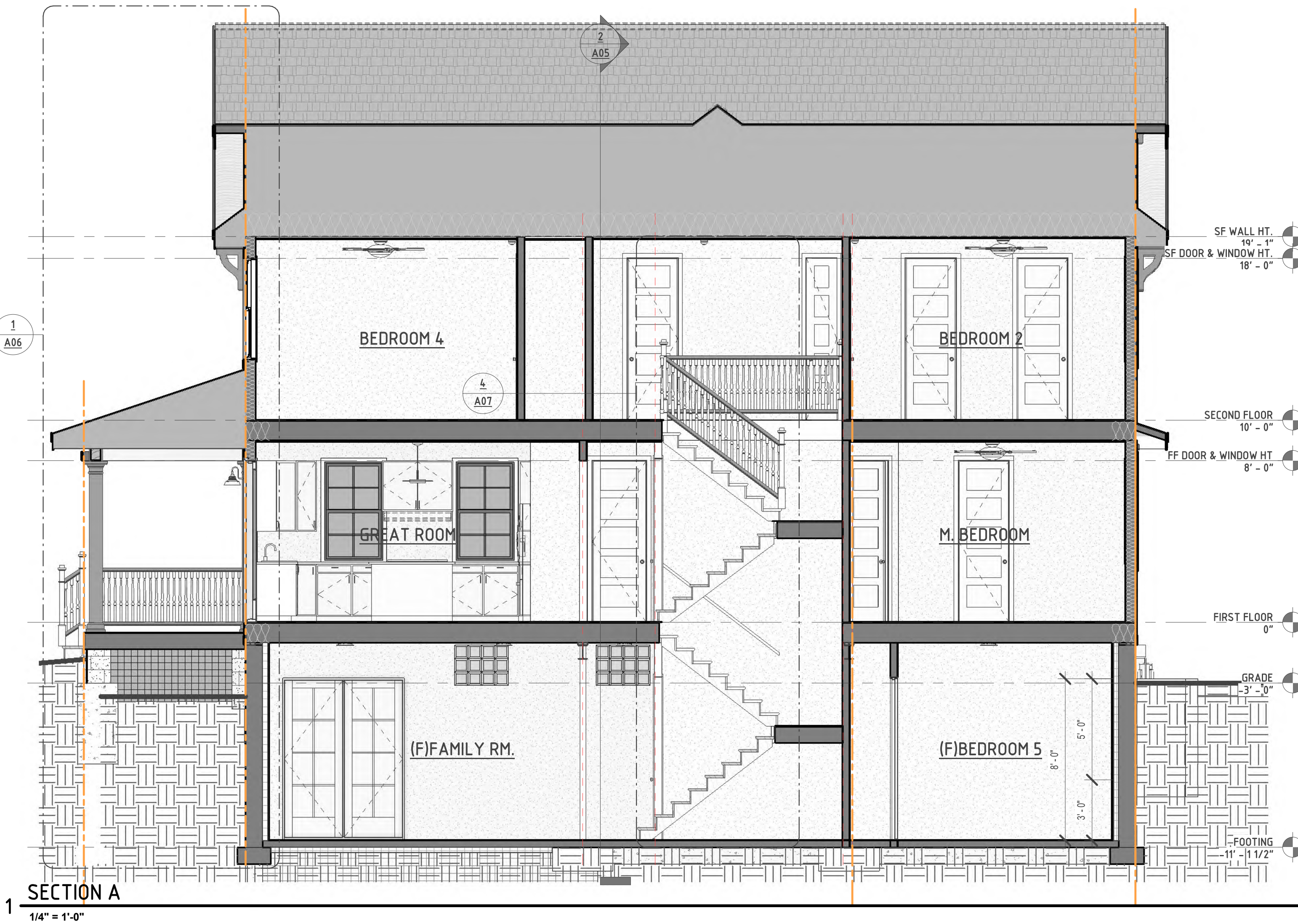
4 BRACKET DETAIL  
3" = 1'-0"



3 SECTION C  
1/4" = 1'-0"



2 SECTION B  
1/4" = 1'-0"



1 SECTION A  
1/4" = 1'-0"



PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS  
BUILDING SECTIONS  
08.20.2025

REV

REV	NOTE	DATE
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A05



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23187  
 PIERSON SUMMER HOME

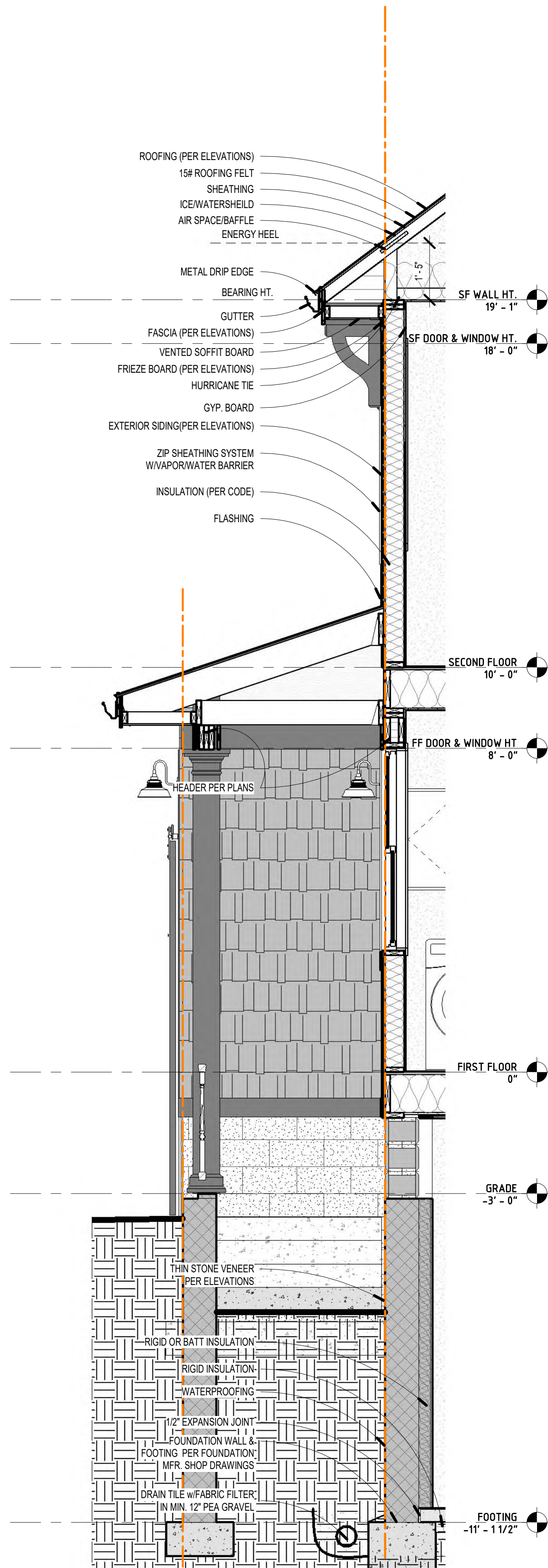
IRONWOOD LANE UNIT 8,  
 STONECLIFFE MANOR I  
 MACKINAC ISLAND, MI

PERMITS  
 WALL SECTIONS  
 08.20.2025

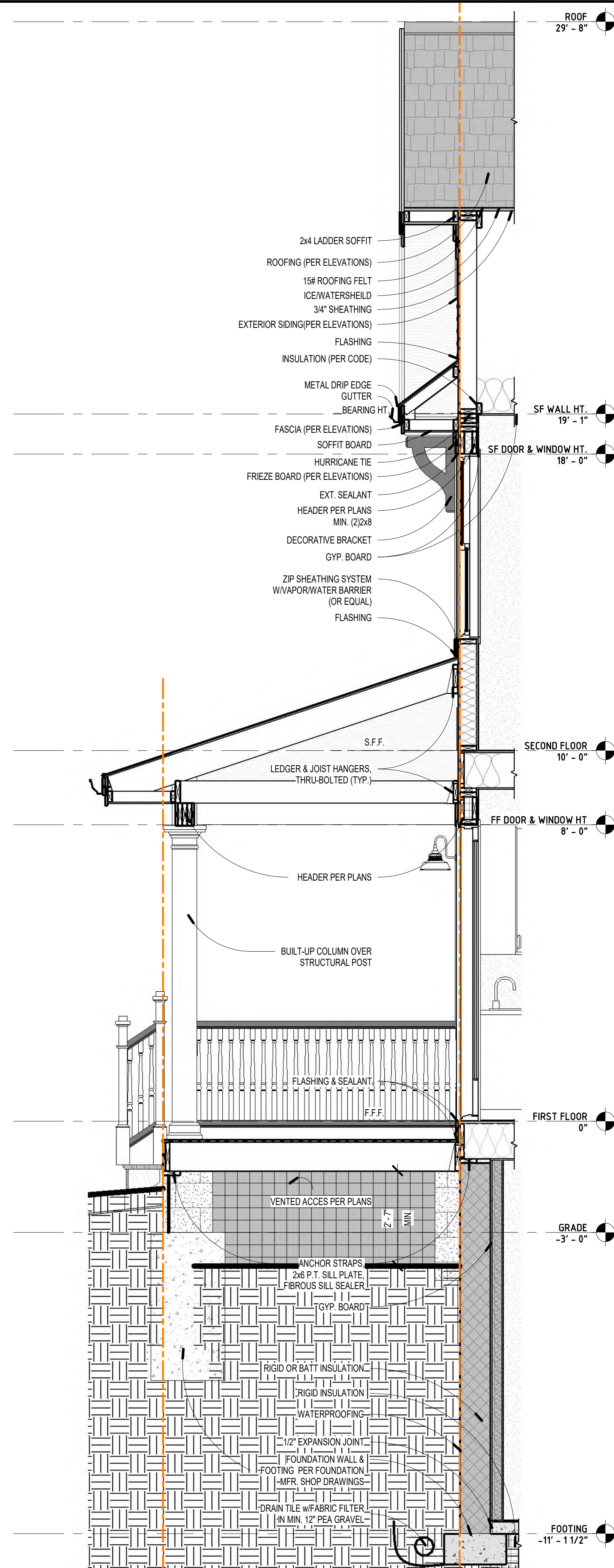
## REV

REV	NOTE	DATE

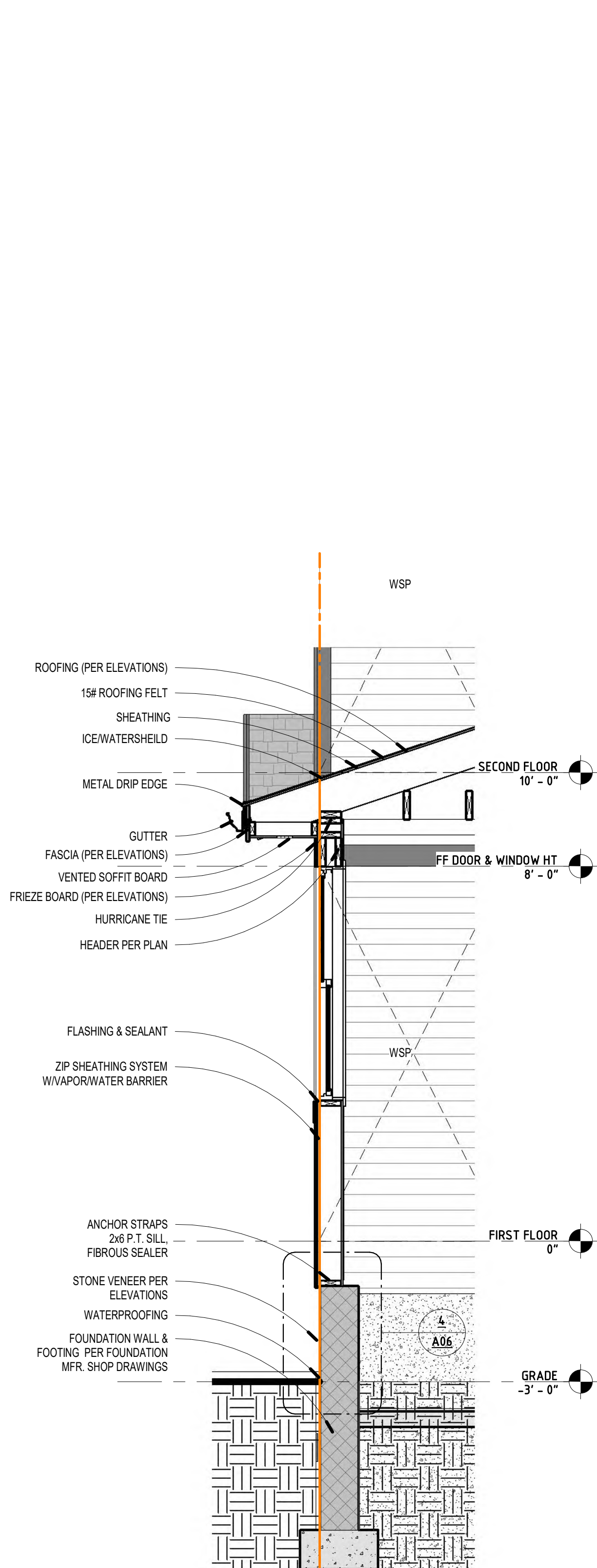
A06



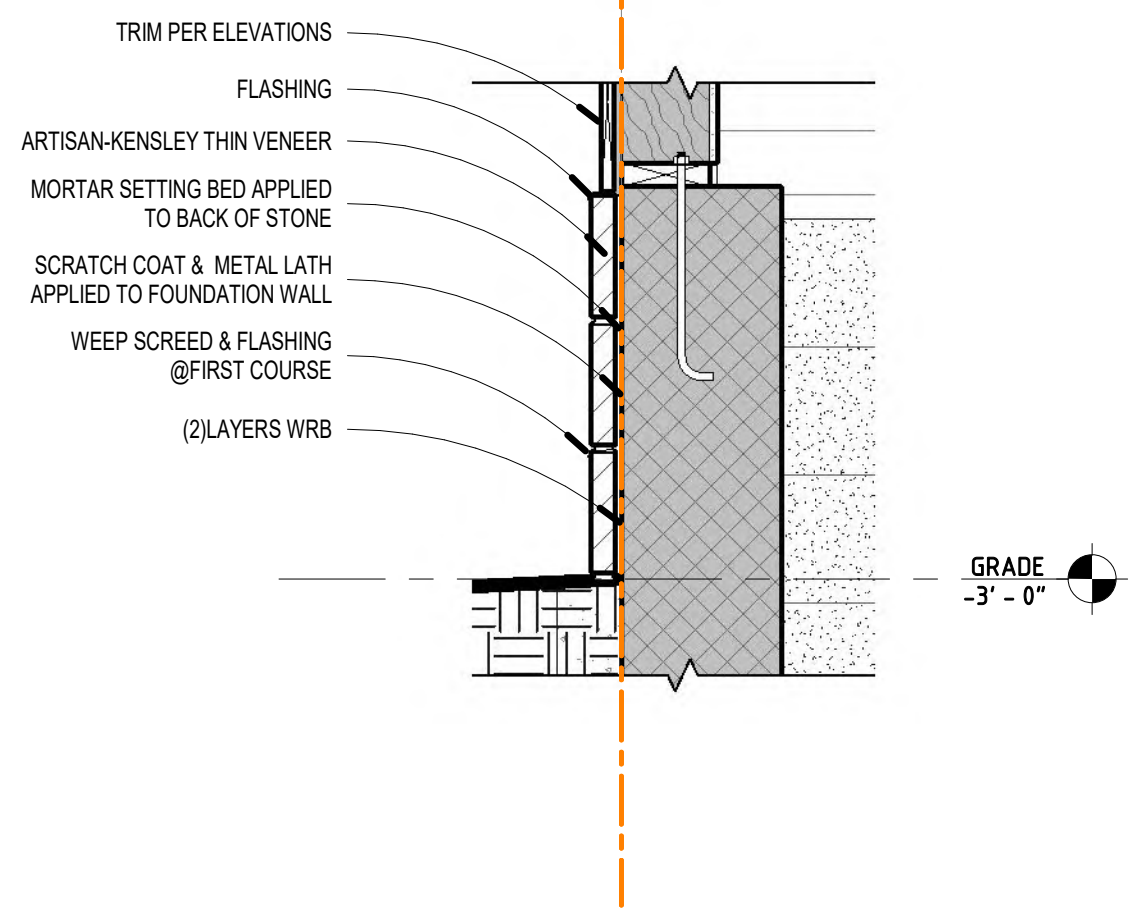
2 WALL SECTION B  
 1/2" = 1'-0"



1 WALL SECTION A  
 1/2" = 1'-0"



3 WALL SECTION C  
 1/2" = 1'-0"



4 STONE VENEER DETAIL  
 1" = 1'-0"



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PROJECT

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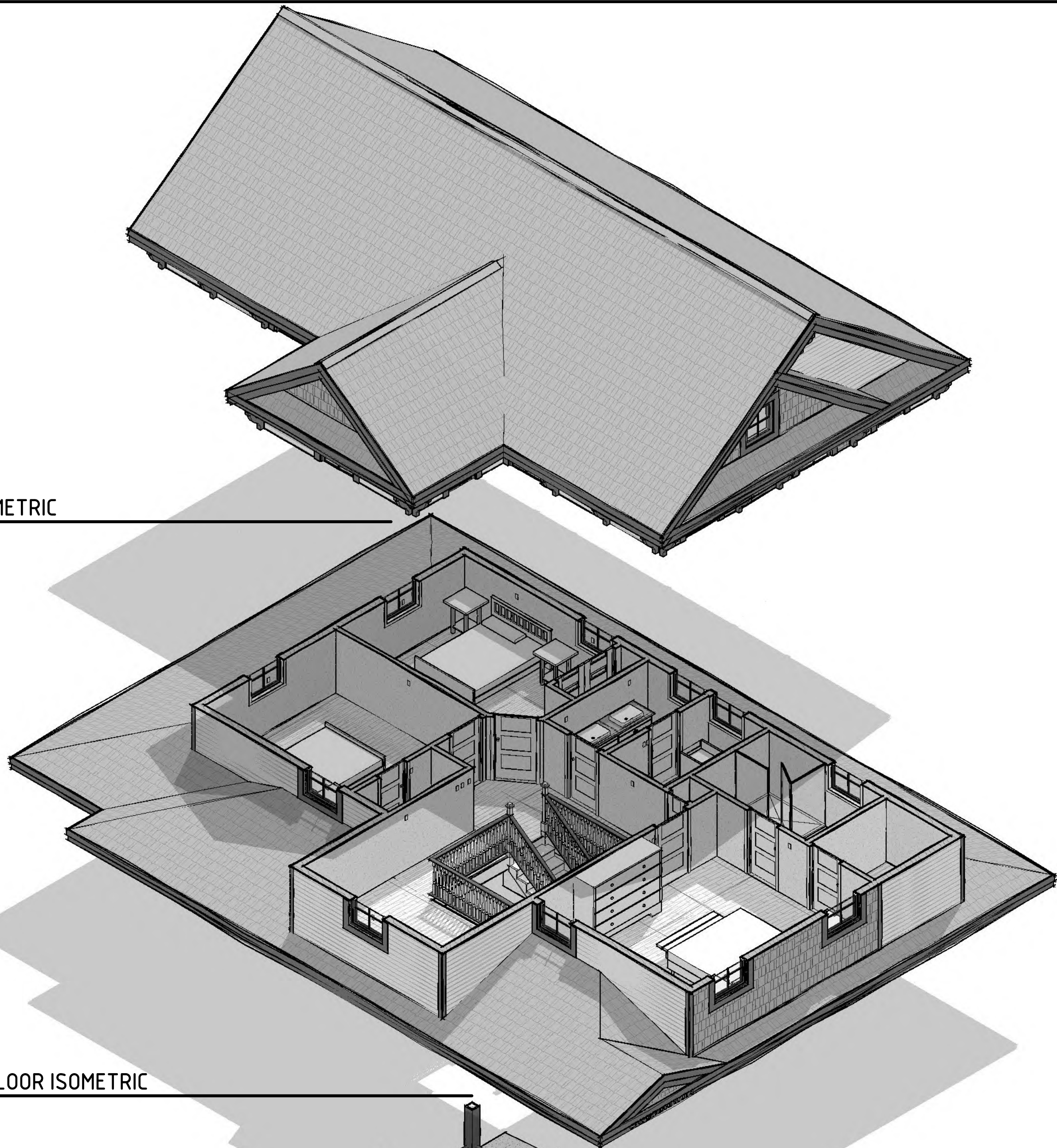
IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS  
ISO-PERSPECTIVES & STAIR  
SECTIONS  
08.20.2025

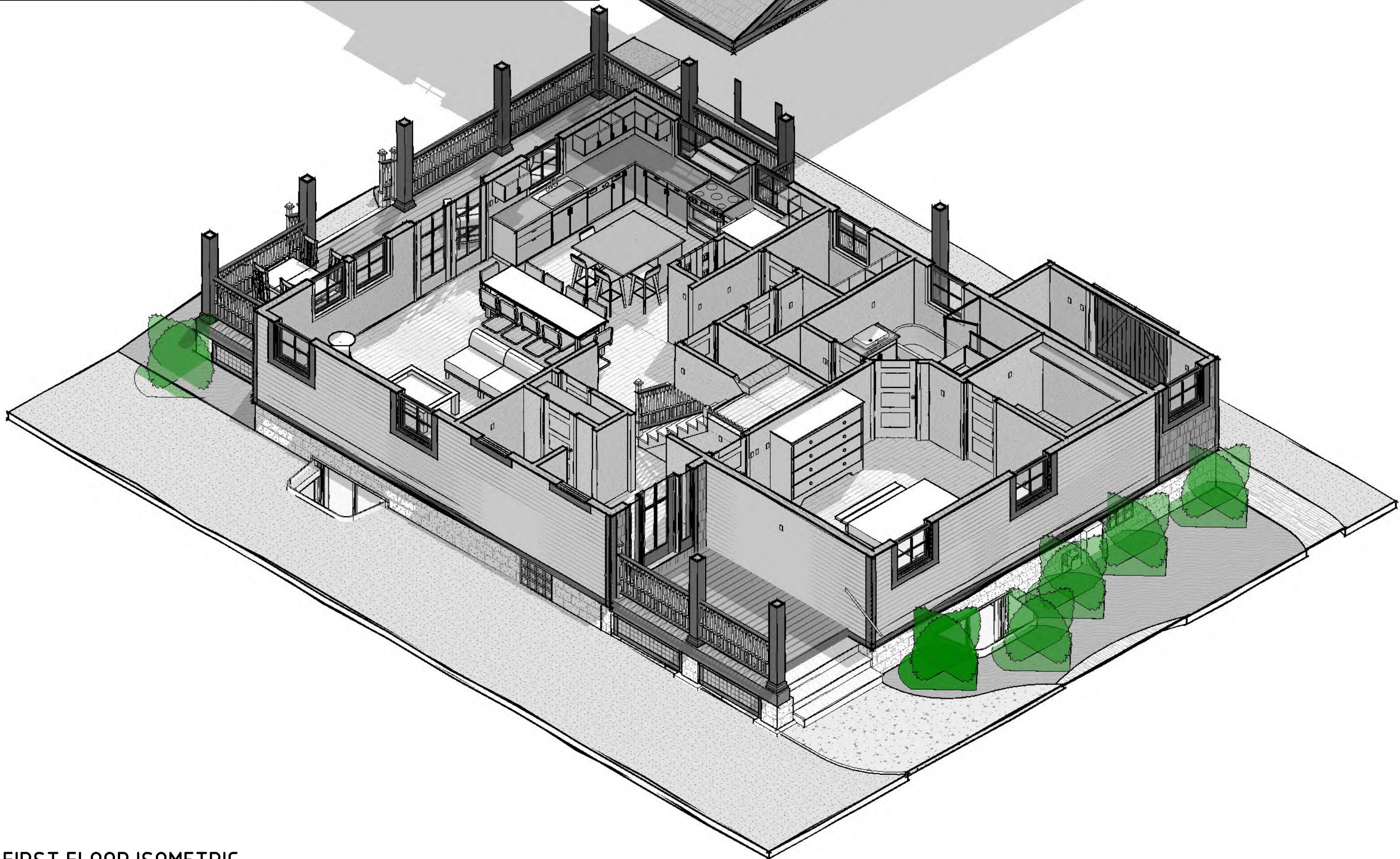
REV

REV	NOTE	DATE
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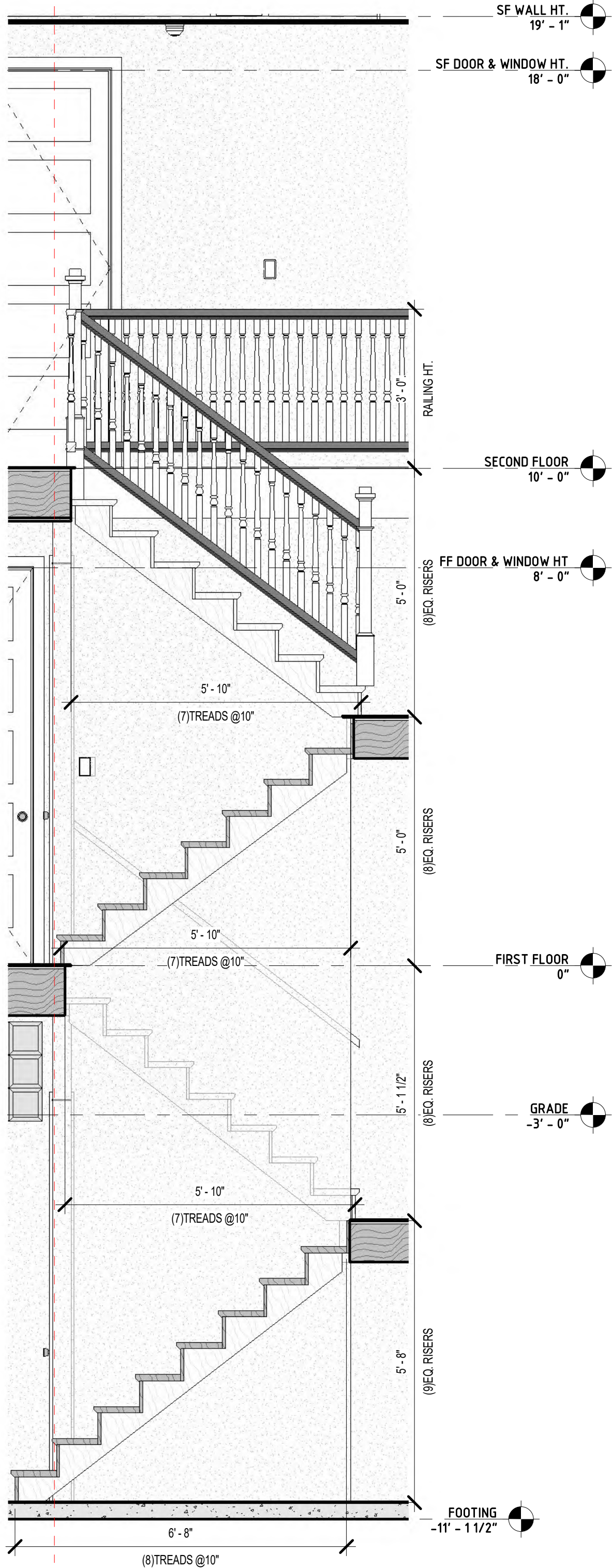
3 ROOF ISOMETRIC



2 SECOND FLOOR ISOMETRIC

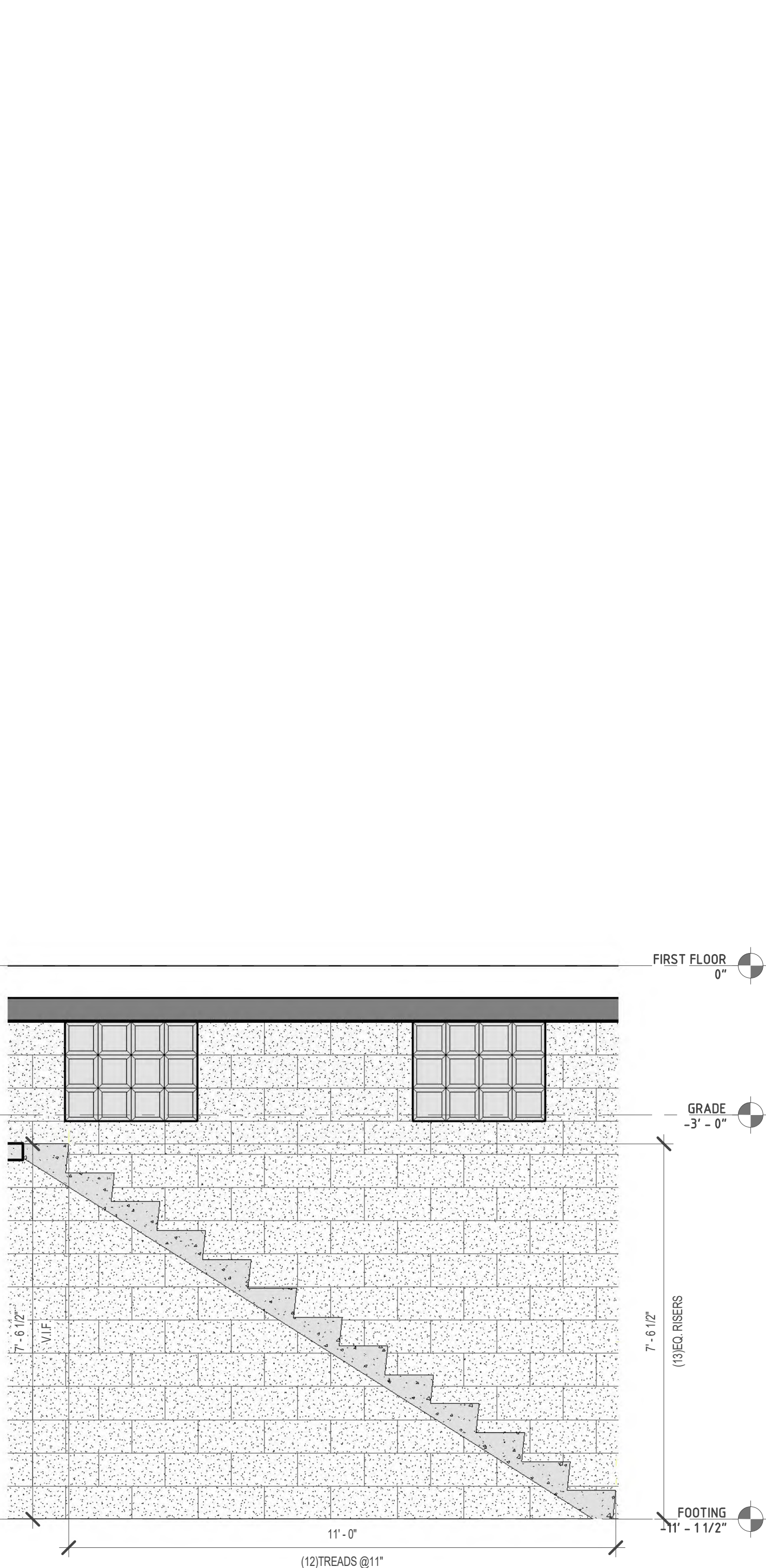


1 FIRST FLOOR ISOMETRIC



4 STAIR SECTION 1

1/2" = 1'-0"



5 STAIR SECTION 2

1/2" = 1'-0"



## ELECTRICAL LEGEND

## LIGHTING

NAME	FLOOR PLAN VIEW	ELEVATION VIEW	NAME	FLOOR PLAN VIEW	ELEVATION VIEW
2X4 RECESSED FIXTURE			DISCONNECT SWITCH		
2X2 RECESSED FIXTURE			SINGLE PHASE STARTER		
1X4 RECESSED FIXTURE			LIGHT FIXTURE TYPE		
STRIP/ INDUSTRIAL FIXTURE			ABOVE FINISH FLOOR		
LINEAR WALL MTD FIXTURE			WEATHER PROOF		
LINEAR LED FIXTURE			NIGHT LIGHT (WIRE AHEAD OF CONTROL DEVICES)		
WALL MTD SCONCE FIXTURE					
WALL MTD FIXTURE					
PENDANT FIXTURE					
CEILING FAN					
RECESSED CAN/ SURFACE MTD FIXTURE					
DOUBLE FACE CEILING MTD EXIT SIGN					
SINGLE FACE CEILING MTD EXIT SIGN					
EMERGENCY LIGHT (REFER TO PHOTOMETRIC PLAN)					
SINGLE FACE WALL MTD EXIT SIGN					
EXIT SIGN EGRESS DIRECTION ARROWS					
REMOTE EGRESS HEAD					
TRACK HEAD					
SITE POLE MTD FIXTURE					
SITE GROUND MTD FIXTURE					
WALL SWITCH					
3-WAY SWITCH					
4-WAY SWITCH					
DIMMER					
SWITCH (OCCUPANT SENSOR)					
SWITCH (DAYLIGHT SENSOR)					

## NOTES

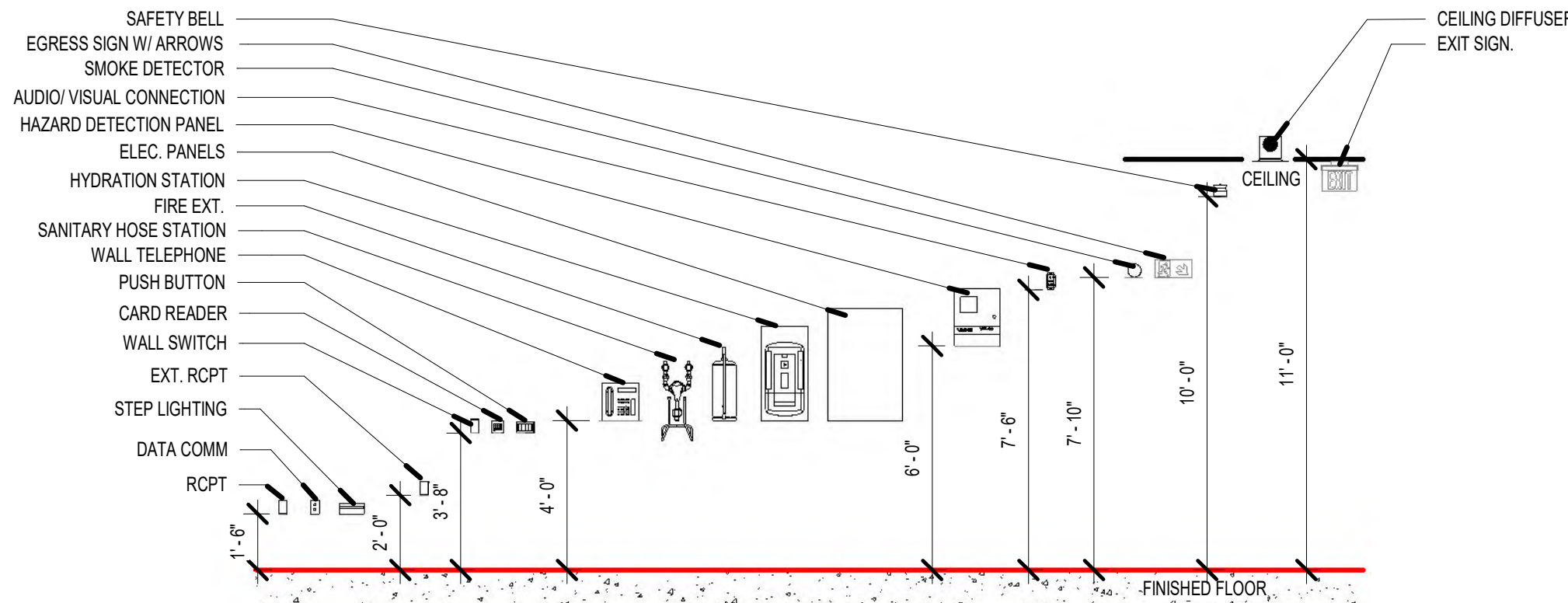
- SOUND SYSTEM SPEAKERS SUPPLIED BY CUSTOMER/TENANTS AND WIRE PULLED BY HIS SOUND CONTRACTOR TO BREAKER ROOM AREA. OBTAIN SPEAKER BOXES FROM TENANTS SOUND SYSTEM SUPPLIER. PROVIDE CONDUIT STUBS INTO NEAREST ACCESSIBLE CEILING WITH PULL STRING.
- MOTION SENSOR TO WATT-STOPPER #PN-100 WALL BOX MOUNTED.
- REFER TO REFLECTED CEILING PLAN FOR FIXTURE SCHEDULE & KEY
- NOT ALL SYMBOLS SHOWN ARE NECESSARILY USED IN THIS PROJECT.
- SYMBOLS THAT HAVE A DARK LINE WEIGHT REPRESENT NEW (N) SYMBOLS THAT HAVE A LIGHT LINE WEIGHT REPRESENT EXISTING (E) SYMBOLS THAT ARE DASHED REPRESENT ITEMS FOR DEMOLITION
- EMERGENCY FIXTURES ARE INDICATED BY PARTIAL SHADING AS SHOWN BELOW

## ABBREVIATIONS

A OR AMP	AMPERE
AC	ABOVE COUNTER
AFF	ABOVE FINISHED FLOOR
ATS	AUTOMATIC TRANSFER SWITCH
BMS	BUILDING MANAGEMENT SYSTEM
C	CIRCUIT
CB	CIRCUIT BREAKER
COMM	COMMUNICATIONS
CONC	CONCRETE
DA	DIAMETER
DISC	DISCONNECT
DWG	DRAWING
EC	ELECTRICAL CONTRACTOR
EM	EMERGENCY
EPO	EMERGENCY POWER OFF
EQUIP	EQUIPMENT
EWC	ELECTRIC WATER COOLER
F	FURNITURE
FA	FIRE ALARM
FAAP	FIRE ALARM ANNUNCIATION PANEL
FACP	FIRE ALARM CONTROL PANEL
FIXT	FIXTURE
FLA	FULL LOAD AMPACITY
G	GROUND (WHEN USED ON CIRCUIT HOMERUN SYMBOL)
GFI	GROUND FAULT INTERRUPTER
GROUND	GROUND
GC	GENERAL CONTRACTOR
HID	HIGH INTENSITY DISCHARGE
HP	HORSE POWER
IG	ISOLATED GROUND
JB	JUNCTION BOX
KA	KILOAMPERE
KV	KILOVOLT
KVA	KILOVOLT-AMPERE
KW	KILOWATT
LCP	LIGHTING CONTROL PANEL
LTS	LIGHTS
MAX	MAXIMUM
MCA	MINIMUM CIRCUIT AMPACITY
MCC	MOTOR CONTROL CENTER
MIN	MINIMUM
MOCP	MAXIMUM OVERCURRENT PROTECTION
MC	MECHANICAL CONTRACTOR
MTD	MOUNTED
N	NEUTRAL
NC	NORMALLY CLOSED
NIC	NOT IN CONTRACT
NL	NIGHT LIGHT
NO	NORMALLY OPEN
OCP	OVERCURRENT PROTECTION
PA	PUBLIC ADDRESS
PC	PHOTOCELL
PDU	POWER DISTRIBUTION UNIT
PA	PUBLIC ADDRESS
PC	PHOTOCELL
PDU	POWER DISTRIBUTION UNIT
PEND	PENDANT
PH	PHASE
PNL	PANEL
PRI	PRIMARY
RCPT/RECEPT	RECEPTACLE
RLA	RUNNING LOAD AMPACITY
RM	ROOM
SEC	SECONDARY
SHT	SHEET
SURF	SURFACE
SW	SWITCH
SWBD	SWITCHBOARD
TSTAT	THERMOSTAT
TEL	TELEPHONE
TFA	TO FLOOR ABOVE
TFB	TO FLOOR BELOW
TYP	TYPICAL
UL	UNDERWRITERS LABORATORIES
UNO	UNLESS NOTED OTHERWISE
UPS	UNINTERRUPTIBLE POWER SUPPLY
V	VOLT
VFD	VARIABLE FREQUENCY DRIVE
W/	WITH
W/O	WITHOUT
W	WATT
WP	WEATHERPROOF
XFMR	TRANSFORMER

## ELECTRICAL GENERAL SPECIFICATIONS

- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL AUTHORITIES HAVING JURISDICTION.
- SECURE AND PAY FOR ALL PERMITS AND FEES.
- SWITCHBOARDS, PANELBOARDS, AND MOTOR CONTROL CENTERS SHALL BE FIELD MARKED TO WARN QUALIFIED PERSONS OF POTENTIAL ARC FLASH HAZARDS. PROVIDE APPROPRIATE WARNING SIGNS PER NEC 110.16.
- LISTED OR LABELED EQUIPMENT SHALL BE INSTALLED AND USED IN ACCORDANCE WITH ANY INSTRUCTIONS INCLUDED IN THE LISTING OR LABELING PER NEC 110.3(B). ELECTRICAL CONTRACTOR SHALL VERIFY ALL INSTALLATION REQUIREMENTS.
- ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY THAT ALL OVERCURRENT PROTECTIVE DEVICE INTERRUPT RATINGS EXCEED AVAILABLE FAULT CURRENTS PER NEC 110.9.
- ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY THAT ALL ELECTRICAL EQUIPMENT SHORT CIRCUIT RATINGS EXCEED AVAILABLE SHORT CIRCUIT CURRENT.
- ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY THAT WORKING AND DEDICATED EQUIPMENT SPACE REQUIREMENTS FOR ALL ELECTRICAL EQUIPMENT ARE MET PER NEC 110.26.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES FOR INSTALLATION OF ALL EQUIPMENT. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
- ALL WIRING SHALL BE COPPER No.12 MINIMUM SIZE, TYPE THHN/THWN INSULATION. FOR ALL BRANCH CIRCUITS OVER 100 FEET LONG, CONDUCTOR SIZE SHALL BE No. 10 AWG MINIMUM SIZE.
- ALL WIRING RUN WITHIN RETURN AIR PLENUMS SHALL BE U.L. LISTED FOR SUCH USE. REFER TO MECHANICAL DWGS.
- ALL WIRING SHALL BE INSTALLED IN METALLIC CONDUIT SYSTEM (I.E. EMT, INTERMEDIATE, RIGID) UNLESS NOTED OTHERWISE ON THE DRAWING. ALL CONDUIT USED IN WET OR DAMP AREAS SHALL BE WATER TIGHT. PROVIDE FLEXIBLE METAL CONDUIT FOR CONNECTION TO ALL MOTORS. PROVIDE A SEPARATE EQUIPMENT GROUNDING CONDUCTOR WITH ALL FLEXIBLE METAL CONDUIT CONCEALED WHERE POSSIBLE. WHERE EXISTING DOES NOT PERMIT CONCEALED, RUN EXPOSED. ALL CONDUIT RUN EXPOSED SHALL BE RUN SQUARE TO THE BUILDING AND PAINTED TO MATCH SURFACE MOUNTED ON.
- ALL CONDUITS SHALL CONTAIN A GREEN COLORED EQUIPMENT GROUNDING CONDUCTOR TO PROVIDE ELECTRICAL CONTINUITY TO ALL BOXES, DEVICES, FIXTURES, AND NON-CURRENT-CARRYING METAL PARTS OF EQUIPMENT.
- ALL BRANCH CIRCUITS SHALL BE 20A, 1P, C.B., (2#12GND, 34°C UNLESS NOTED OTHERWISE. 12°C IS PERMITTED FOR SWITCH LEGS AND VERTICAL CONDUIT RUNS IN MASONRY WALLS TO A SINGLE DEVICE.
- MAXIMUM LOAD FOR A 20 AMP BRANCH CIRCUIT SHALL BE 15 AMPS OR 1800 VOLT-AMPS AT 120 VAC.
- ALL BRANCH CIRCUITS ARE ASSUMED TO HAVE THREE OR LESS CURRENT CARRYING CONDUCTORS IN A RACEWAY OR CABLE. WHERE THE NUMBER OR CURRENT CARRYING CONDUCTORS IN A RACEWAY OR CABLE EXCEEDS THREE, THE ELECTRICAL CONTRACTOR SHALL APPLY ADJUSTMENT FACTORS PER NEC TABLE 310.15 (B)(2)(a).
- THE MAXIMUM VOLTAGE DROP ALLOWED FOR BRANCH CIRCUITS SHALL BE 3%. THE MAXIMUM VOLTAGE DROP FOR FEEDERS AND BRANCH CIRCUITS COMBINED SHALL BE 5%.
- ALL RECEPTACLES SHALL BE 20AMP, 125V, SPECIFICATION GRADE, GROUNDING TYPE, IVORY COLOR WITH STAINLESS STEEL COVER PLATES. ORIENT RECEPTACLE SO GROUNDING PIN IS ON BOTTOM, PROVIDE WEATHERPROOF AND GFI RECEPTACLES WHERE SHOWN.
- ALL LIGHT SWITCHES SHALL BE SILENT TYPE, SPECIFICATION GRADE, 20 AMP, 27TV IVORY COLOR WITH STAINLESS STEEL COVER PLATES. PROVIDE THREE WAY, FOUR WAY, AND DIMMER SWITCHES WHERE SHOWN.
- PROVIDED TEFLON BRUSHING ON ALL CONDUIT STUBS THROUGH WALLS AND ABOVE CEILINGS.
- SEAL AROUND CONDUITS/SLEEVE PENETRATIONS THRU FIRE RATED WALLS, FLOORS, AND CEILINGS WITH U.L. LISTED FIRE RESISTANT SEALANT.
- PROVIDE WHITE ON BLACK LAMINATED PLASTIC LABEL PLATES FOR ALL ELECTRICAL PANELS WITH THE FOLLOWING INFORMATION: PANEL DESIGNATION, VOLTAGE, PHASE, WIRE, AMPERAGE, FEEDER SIZE (BREAKER AND WIRE), FEEDER LOCATION. FOR ALL SURFACE MOUNTED PANELS, LOCATE LABEL ON OUTSIDE OF COVER. FOR ALL FLUSH/RECESSED PANELS, LOCATE LABEL ON INSIDE OF COVER.
- PROVIDE WHITE ON BLACK LAMINATED PLASTIC LABEL PLATES FOR ALL FEEDERS WITH THE FOLLOWING INFORMATION: FEEDER DESCRIPTION, BREAKER SIZE, TRIP SIZE, WIRE SIZE.
- PROVIDE UPDATED TYPED PANEL INDEXES ON ALL ELECTRICAL PANELS.
- PROVIDE SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
- PROVIDE ELECTRICAL DEMOLITION AS REQUIRED. FIELD VERIFY EXTENT OF ELECTRICAL DEMOLITION.
- WHERE CONDUIT RUNS ARE ABOVE EXISTING SUSPENDED CEILINGS, CEILING PADS AND GRID SHALL BE LEFT IN LIKE NEW CONDITION.
- ELECTRICAL CONTRACTOR SHALL REPLACE ALL EXISTING BURNT OUT LAMPS, DEFECTIVE BALLASTS, AND BROKE LENSES ON ALL FIXTURES THAT ARE TO REMAIN OR BE REUSED IN PROJECT AREA. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY REQUIREMENTS.



## ELECTRICAL HEIGHTS

1/4" = 1'-0"

## NOTES

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- DEFERRED SUBMITTALS
- ALL PLANS LABELED AS DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR LOCAL AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION.



## PROJECT

23187  
PIERSON SUMMER HOMEIRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MIPERMITS  
ELECTRICAL SPECS  
08.20.2025

## REV

REV	NOTE	DATE
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## E00

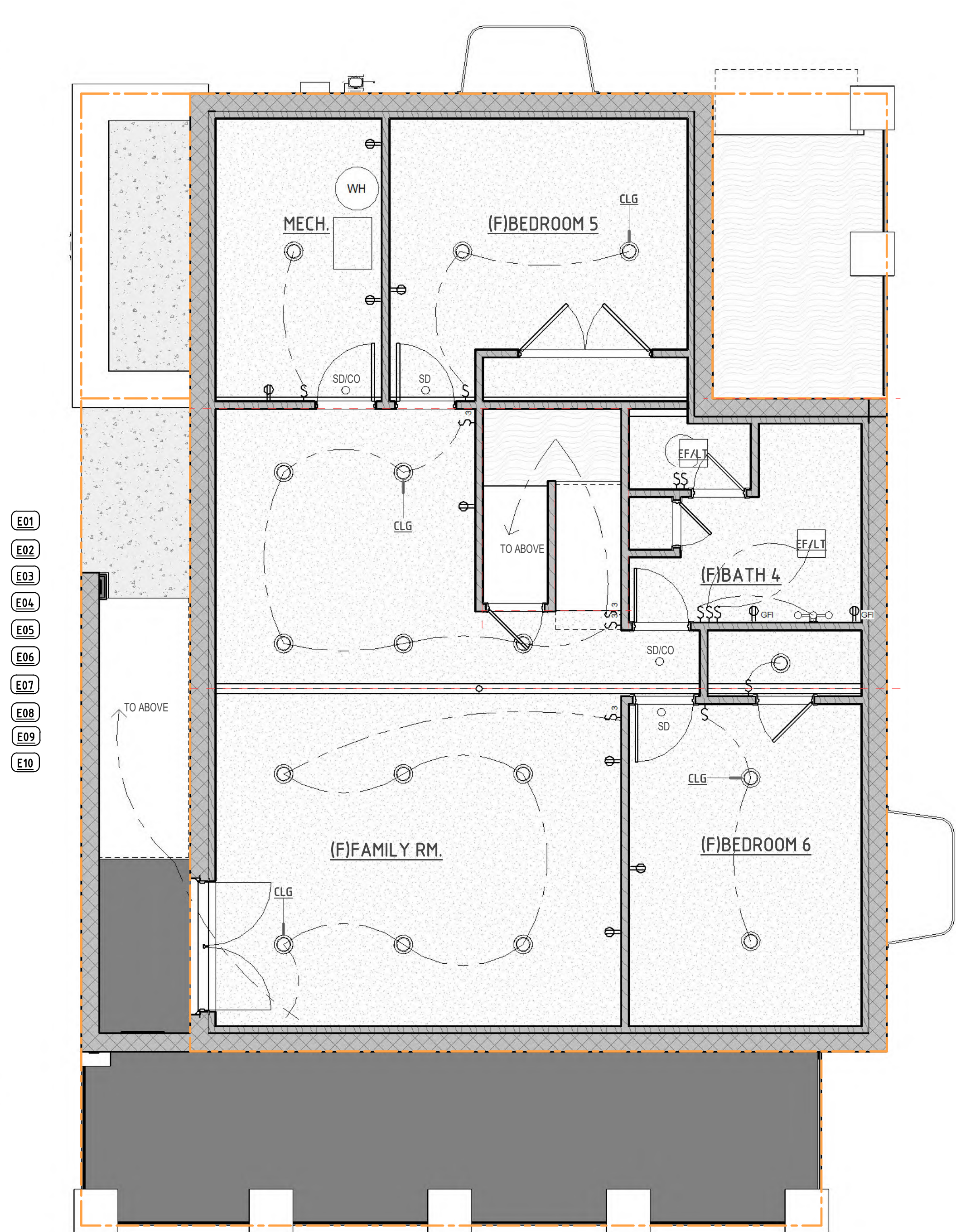
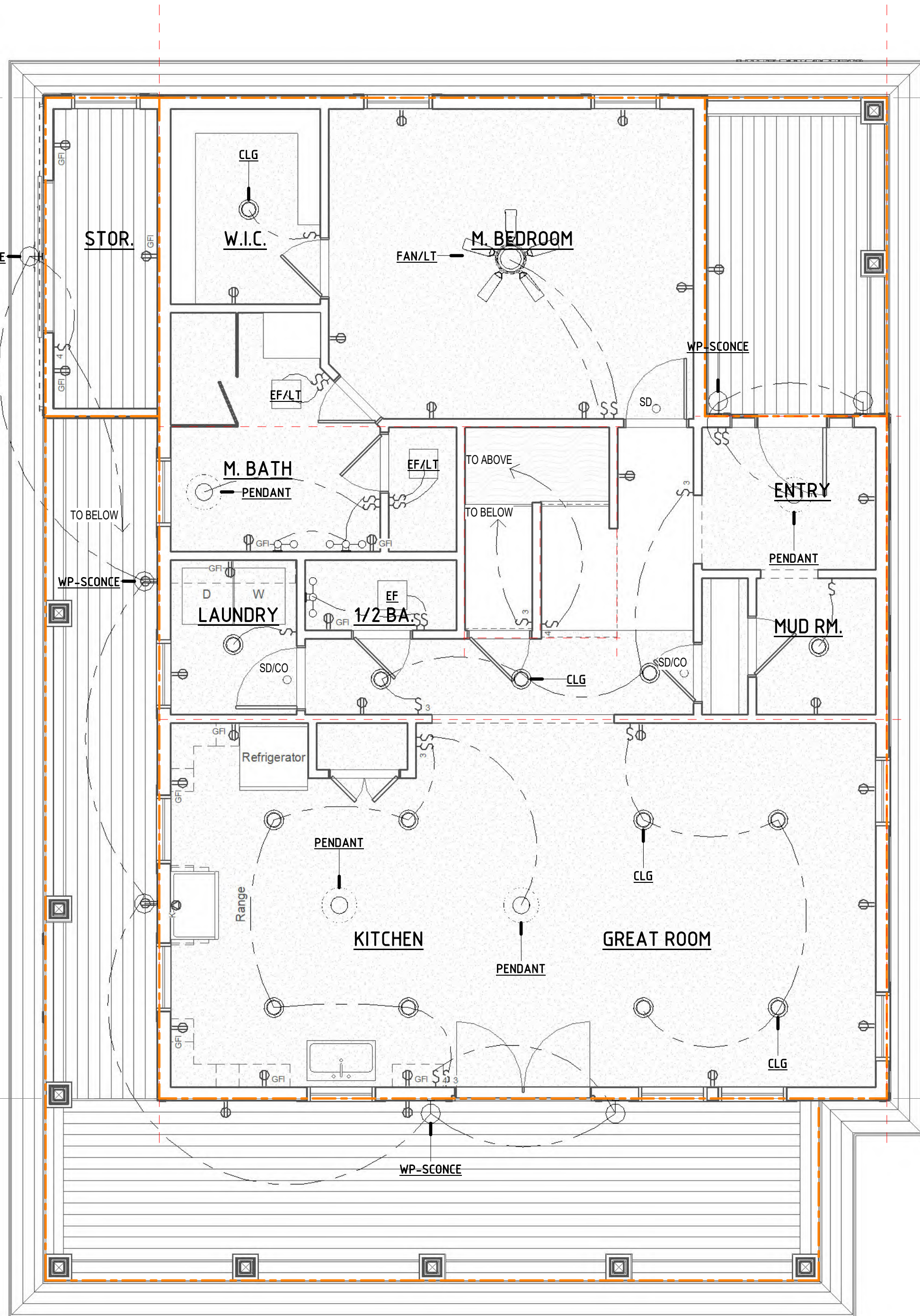
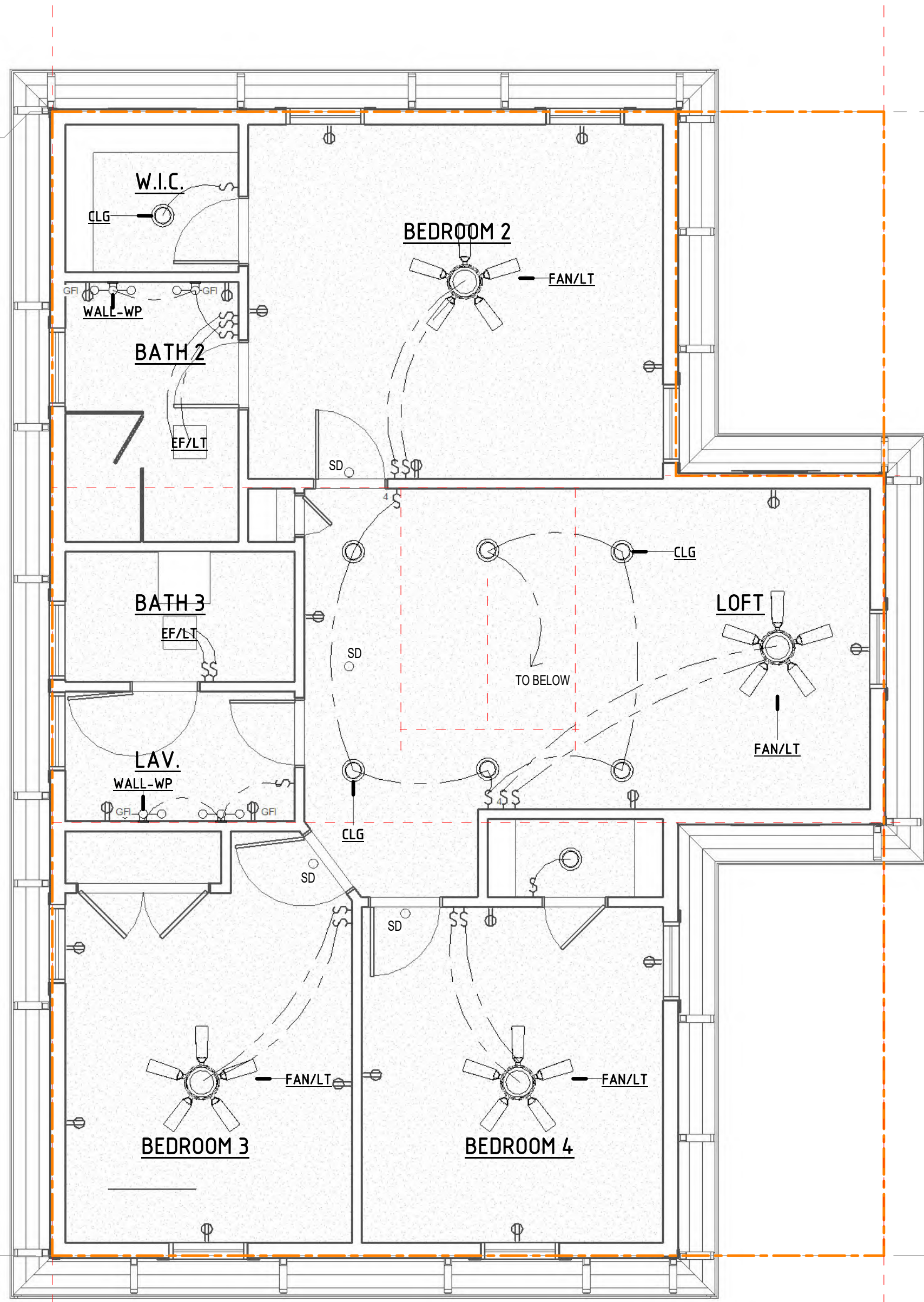


## ELECTRICAL NOTES

TAG	NOTE CONTENT
E01	TRANSFORMER: VERIFY (E)LOCATION & SIZE IN FIELD
E02	ELECTRICAL METER: VERIFY (E)LOCATION & SIZE IN FIELD
E03	ELECTRICAL PANELS: VERIFY (E)LOCATION & SIZE IN FIELD REFER TO PANEL SCHEDULE. ELECTRICIAN MAY RE-ARRANGE PANEL AS REQUIRED IN THE FIELD. E.C. SHALL SUBMIT A FINAL PANEL SCHEDULE SHOWING ACTUAL PANEL AS INSTALLED.
E04	FEDER CONDUITS: VERIFY (E)LOCATION & SIZE IN FIELD
E05	GROUNDING: ALL GROUNDING SHALL BE PER CURRENT NEC
E06	A/C: E.C. SHALL FIELD MARK ALL SERVICE EQUIPMENT WITH THE MAX. AVAILABLE FAULT CURRENT AND THE DATE. THE FAULT CURRENT CALCULATION WAS PERFORMED. FIELD MARKING SHALL COMPLY WITH NEC 110.24
E07	COORDINATION: E.C. TO FIELD LOCATE AND SIZE CONDUITS AND WIRING ACCORDING TO FIELD CONDITIONS. E.C. SHALL CO-ORDINATE WITH OTHER TRADES AND ADJUST PLANS ACCORDINGLY. REFER TO REFLECTED CEILING PLAN FOR FIXTURE SCHEDULE & KEY
E08	FIXTURE TYPE: UPPER CASE LETTER NEXT TO LIGHT FIXTURE DENOTES FIXTURE TYPE AND LOWER CASE LETTER DENOTES SWITCHING SCHEME
E09	RECEPTACLES(KITCHEN): ALL 120V, SINGLE PHASE, 15 AND 20-AMP RECEPTACLES INSTALLED IN THE KITCHEN AREA SHALL HAVE GROUND-FAULT INTERRUPTION. (NEC ART. 210.8(B))
E10	EQUIPMENT: E.C. TO VERIFY ALL ELECTRICAL WITH EQUIPMENT PLANS AND CORPORATE PROVIDED SPECIFICATIONS.

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## PROJECT

23187  
PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

PERMITS  
POWER & LIGHTING PLANS  
08.20.2025

## REV

REV	NOTE	DATE
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E01



## NOTES

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## 2009 IECC Energy Efficiency Certificate

Insulation Rating	R-Value	
Above-Grade Wall	20.00	
Below-Grade Wall	19.00	
Floor	0.00	
Ceiling / Roof	49.00	
Ductwork (unconditioned spaces): _____		
Glass & Door Rating	U-Factor	SHGC
Window	0.32	
Door	0.32	
Heating & Cooling Equipment	Efficiency	
Heating System:	_____	_____
Cooling System:	_____	_____
Water Heater:	_____	_____
Name: _____ Date: _____		
Comments		

Section # & Req. ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2 [F11] <sup>1</sup>	Ceiling insulation R-value. Where > R-30 is required, R-30 can be used if insulation is not compressed at eaves. R-30 may be used for 500 ft² or 20% (whichever is less) where sufficient space is not available.	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.1, 303.2 [F12] <sup>1</sup>	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft².			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.3 [F13] <sup>1</sup>	Attic access hatch and door insulation ≥R-value of the adjacent assembly.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.2, 402.4.2.1 [F117] <sup>1</sup>	Building envelope tightness verified by blower door test result of <7 ACH at 50 Pa. This requirement may instead be met via visual inspection, in which case verification may need to occur during Insulation Inspection.	ACH 50 = ____	ACH 50 = ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2.2 [F14] <sup>1</sup>	Post construction duct tightness test result of ≤8 cfm to outdoors, or ≤12 cfm across systems. Or, rough-in test result of ≤6 cfm across systems or ≤4 cfm without air handler. Rough-in test verification may need to occur during Framing Inspection.	____ cfm	____ cfm	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.1 [F19] <sup>2</sup>	Programmable thermostats installed on forced air furnaces.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.2 [F110] <sup>2</sup>	Heat pump thermostat installed on heat pumps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4 [F111] <sup>2</sup>	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1 [F16] <sup>1</sup>	50% of lamps in permanent fixtures are high efficacy lamps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
401.3 [F17] <sup>2</sup>	Compliance certificate posted.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
303.3 [F118] <sup>3</sup>	Manufacturer manuals for mechanical and water heating equipment have been provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)

Project Title: 23187-PIERSON SUMMER HOME  
Data filename: Report date: 11/20/24  
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Section # & Req. ID	Foundation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 [FO4] <sup>1</sup>	Conditioned basement wall insulation R-value. Where interior insulation is used, verification may need to occur during Insulation Inspection. Not required in warm-humid locations in Climate Zone 3.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [F05] <sup>1</sup>	Conditioned basement wall insulation installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.7 [F06] <sup>1</sup>	Conditioned basement wall insulation depth of burial or distance from top of wall.	____ ft	____ ft	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2.1 [FO11] <sup>2</sup>	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.8 [FO12] <sup>2</sup>	Snow- and ice-melting system controls installed.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)

Project Title: 23187-PIERSON SUMMER HOME  
Data filename: Report date: 11/20/24  
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## REScheck Software Version : REScheck-Web Inspection Checklist

Energy Code: 2009 IECC

Requirements: 0.0% were addressed directly in the REScheck software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req. ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.2 [PR1] <sup>1</sup>	Construction drawings and documentation demonstrate energy code compliance for the building envelope.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
103.2, 403.7 [PR3] <sup>1</sup>	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the commercial code.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.6 [PR2] <sup>2</sup>	Heating and cooling equipment is sized per ACCA Manual S based on loads per ACCA Manual J or other approved methods.	Heating: Btu/hr _____ Cooling: Btu/hr _____	Heating: Btu/hr _____ Cooling: Btu/hr _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)

Project Title: 23187-PIERSON SUMMER HOME  
Data filename: Report date: 11/20/24  
Page 3 of 7

Section # & Req. ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] <sup>2</sup>	All installed insulation is labeled or the installed R-values provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1, 402.2.4, 402.2.5 [IN3] <sup>1</sup>	Wall insulation R-value. If this is a mass wall with at least ½ of the wall insulation on the wall exterior, the exterior insulation requirement applies.	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [IN4] <sup>1</sup>	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)

Project Title: 23187-PIERSON SUMMER HOME  
Data filename: Report date: 11/20/24  
Page 6 of 7

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Basement Wall- Insulated Concrete Forms Orientation: Unspecified Wall height: 10.0' Depth below grade: 8.0' Insulation depth: 10.0'	1,642		19.0	0.044	0.050	72	82

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2009 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title Signature Date

Section # & Req. ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.1, 402.3.3, 402.5 [FR2] <sup>1</sup>	Glazing U-factor (area-weighted average).	U-____	U-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 [FR4] <sup>1</sup>	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.4 [FR20] <sup>1</sup>	Fenestration that is not site built is listed and labeled as meeting AAMA/WDMA/CSA 101/I.5.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.5 [FR16] <sup>2</sup>	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2.1 [FR12] <sup>1</sup>	Supply ducts in attics are insulated to ≥R-6. All other ducts in unconditioned spaces or outside the building envelope are insulated to ≥R-6.	R-____ R-____	R-____ R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2.2 [FR13] <sup>1</sup>	All joints and seams of air ducts, air handlers, filter boxes, and building cavities used as return ducts are sealed.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2.3 [FR15] <sup>1</sup>	Building cavities are not used for supply ducts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3 [FR17] <sup>2</sup>	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4 [FR18] <sup>2</sup>	Circulating service hot water pipes are insulated to R-2.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5 [FR19] <sup>2</sup>	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)

Project Title: 23187-PIERSON SUMMER HOME  
Data filename: Report date: 11/20/24  
Page 5 of 7

## Generated by REScheck-Web Software Compliance Certificate

Project 23187-PIERSON SUMMER HOME

Energy Code: 2009 IECC  
Location: Mackinac Island, Michigan  
Construction Type: Single-family  
Project Type: New Construction  
Project SubType: None  
Orientation: Bldg. faces 180 deg. from North  
Conditioned Floor Area: 2,312 ft2  
Glazing Area: 17%  
Climate Zone: 7 (8350 HDD)  
Permit Date:  
Permit Number:  
All Electric: false  
Is Renewable: false  
Has Charger: false  
Has Battery: false  
Has Heat Pump: false

Construction Site: IRONWOOD LANE, UNIT 8  
MACKINAC ISLAND, MI 49757

Owner/Agent:

Designer/Contractor: CHRISTOPHER BIGGERS  
BIGGDESIGNS, LLC  
131 E. COMMERCE ST.  
MILFORD, MI 48381  
248.886.4460  
DESIGN@BIGGDESIGNS.COM

Compliance: Passes using UA trade-off

Compliance: 6.8% Better Than Code Maximum UA: 413 Your UA: 385

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

## Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Raised or Energy Truss	1,163	0.0	49.0	0.020	0.026	23	30
Wall: Wood Frame, 16" o.c. Orientation: Unspecified	2,834	20.0	0.0	0.059	0.057	139	135
Door: Glass Door (over 50% glazing) Orientation: Unspecified	96			0.320	0.350	31	34
Window: Wood Frame Orientation: Unspecified	376			0.320	0.350	120	132

Project Title: 23187-PIERSON SUMMER HOME  
Data filename: Report date: 11/20/24  
Page 1 of 7

## PROJECT

### 23187 PIERSON SUMMER HOME

IRONWOOD LANE UNIT 8,  
STONECLIFFE MANOR I  
MACKINAC ISLAND, MI

## PERMITS

ENERGY WORKSHEET  
08.20.2025

## REV

REV	NOTE	DATE
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(R)NRG



**Sunset Forest Association**  
 PO Box 1941, Mackinac Island, Michigan 49757  
*Preserving the Unique Character of Mackinac Island*

Page 1 of 5

September 13, 2024

To: Leshon Pierson - SCMI, Lot 8  
 1016 South Burdick  
 Kalamazoo, MI 49001  
 Cell: 269-779-1168  
 Email: leshonpierson47@gmail.com

Regarding: Preliminary Proposal - New House Plan, SCMI, Lot 8 - Leshon Pierson

Dear Mr. Pierson,

It was a pleasure meeting you and your family at the recent Sunset Forest Association (SFA) annual meeting held on August 31 at the Grand Hotel's Woods Restaurant on Mackinac Island. After the end of the meeting, you discussed your proposal to build a new "stick built" home in Stonecliffe Manor (I) Association development (SCMI) on Lot 8 - with the intent of starting construction within a 2025-year time frame. A hard print copy of your preliminary house design plans (3-Sheets) were provided at that time. In addition, a pdf version of those same plans were emailed a few days later.

This "Preliminary Proposal" was forward to SFA Architectural Review Committee (SFA ARC) representatives. It was noted to the committee that these plans were incomplete and are not "Final". And, that the proposal was submitted by the property owner for initial SFA ARC comment. Thus, it should be understood that this letter response shared by the SFA ARC with the property owner does not constitute an official review or final approval/disapproval.

For your information, the SFA ARC is comprised of one representative from each of the individual Stonecliffe Manor Associations – thus, a committee of four representatives. It is the responsibility of the SFA ARC to act on behalf of each of the four individual Stonecliffe Manor Associations (I, II, III and IV) with regards to the review process for any project proposal – and, to provided due diligence and recommendation of approval/disapproval to the management of that particular association involved. Also, upon any future final review of a proposed project, each individual Stonecliffe Manor Association has the overriding authority to reverse any approval/disapproval recommendation offered by SFA ARC. In addition to SFA ARC recommendation of approval and SCMI Association approval, the Grand Hotel's ownership and management has an additional overriding vote for final approval for any new home project within the Stonecliffe Manors.

It has been noted by the SFA ARC that your preliminary proposal design drawings were completed by Bigg Design, LLC. This is the same architectural firm that designed a previously built home within the Stonecliffe Manor IV Association (SCMIV) development on Lot 23.

Upon SFA ARC initial review of the preliminary proposal along with additional discussion with members of SCMI Association's management, the following is stated:

- The proposed preliminary home design is not of any particular Victorian Period. It leans more towards a Turn-of-the-Century "Cottage Design".
  - Note: Any final proposal of such preliminary design would not be approved by SCMI Association management. It would not be harmonious in design with existing homes within that association. In addition, it would not comply with that Association's required intent for final build-out of only Victorian period designed houses.
- Besides a disapproval as stated above, the proposed preliminary design does not meet the "buildable footprint" setback requirements of Lot 8 as stated in SCMI's Master Deed and Bylaws & Restrictions.
  - Note: Any final proposal of such preliminary design would not be approved due to this issue. Further description of this issue is stated within this document.

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Page 2 of 5

Please note the following additional observations and comments based upon the preliminary design drawings submitted:

**TOPOGRAPHIC SURVEY DRAWING** (Sheet 1 of 1)

- Lot 8 is located at the end of Ironwood Lane which is a 20-Foot wide easement. The opposite end faces the Grand Hotel's golf course Fairway #17, parallel to the airport runway.
  - Note: There is an additional 15-Foot easement perpendicular to the end of Ironwood Lane providing access to Lots 7, 8 and 9. This easement is located within the property lines of Lots 7, 8 and 9.
- The overall size of Lot 8 is approximately 55-Foot Wide by 115-Foot Deep.
  - Note: There is a discrepancy to the lot deep per the Master Deed's original survey plat. The plat shows both 105-Foot and 115-Foot depths. The plat map may be in error as to which depth dimension is correct. A clarification must be determined before any final SFA ARC review can be made. This issue will need to be resolved with the surveyor.
- The "buildable footprint" for Lot 8 is 40-foot Wide by 55-Foot Deep. Its setbacks are as follows:
  - End of Ironwood Lane setback: 25-Foot (Rear Elevation)
  - Golf course setback: 35-Foot (Front Elevation) (Note: To be confirmed. If determined to be 105-Foot lot depth, setback would be 25-Foot).
  - Adjacent Lot 7 setback: 5-Foot
  - Adjacent Lot 9 setback: 10 Feet
- The Topographic Survey Drawing indicates two sets of boundary lines for Lot 8. Per the drawing legend, the dark outline represents the "boundary line" and the segmented outline represents "other unit lines". The two different outlines seem to be offset front & rear of the lot.
  - Note: A clarification must be determined as to what the survey drawing is defining before any final SFA ARC review can be made. This issue will need to be resolved with the surveyor.

**ARCHITECTURAL SITE PLAN DRAWING** (Sheet SD-01)

- The Architectural Site Plan drawing indicates two sets of boundary lines for Lot 8. Per the drawing legend, the dark outline represents the "boundary line" and the segmented outline represents "other unit lines". The two different outlines seem to be offset front & rear and both sides of the lot. Note that these are different offsets than shown in the Topographical Survey Drawing.
  - Note: A clarification must be determined as to what the survey drawing is defining before any final SFA ARC review can be made. This issue will need to be resolved with the surveyor.
- Per the preliminary design proposal, the following design elements fall outside the defined "buildable footprint" of Lot 8:
  - North elevation - porch steps to covered porch entry.
  - West elevation - porch steps to covered side porch. Also, opened swing-out hinged storage room doors.
  - South elevation - extended open air porch section of partially covered porch with free standing fireplace and lounging area.
  - East elevation - below ground level exterior access staircase to proposed basement entry.
  - Roof soffit / overhangs.
  - Note: All design elements of the any proposed new home must be within the "buildable footprint" of Lot 8. The preliminary proposed plan would not be approved as a result of this requirement.



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**ARCHITECTURAL SITE PLAN DRAWING (cont'd)**

- Per the preliminary design proposal, the proposed plot plan indicates the house to be located towards the rear setback of the buildable setback facing the end of Ironwood Lane.
  - Note: Lot 8 front elevation faces the golf course fairway and its rear elevation faces the end of Ironwood Lane. SFA ARC would provide final direction on the final setbacks required within the “buildable footprint” for any proposed house plan.

**1ST & 2ND FLOOR PLAN DRAWINGS (Sheet SD-01)**

- Square footage of the proposed house plan is as follows:
  - First floor – Per drawing: 1,238 sq. ft. (Calculated: 1,296 sq. ft. ??) (Storage room excluded)
  - Second floor – Per drawing: 935 sq. ft. (Calculated: 1,056 sq. ft. ??)
  - Total – Per drawing: 2,173 sq. ft. (Calculated: 2,352 sq. ft. ??)
  - Note: Storage room – 112 sq. ft.
  - SCMI minimum square footage requirements for a two story design within SCMI: 1,200 sq. ft. minimum (with 900 sq. ft. ground floor minimum).
  - Note: “Per Drawing” square footage as stated by the architect, the SFA ARC assumes that calculation to be based upon “Livable” square footage.
- 1<sup>st</sup> floor drawing shows an extended uncovered porch section:
  - Design feature falls outside the “buildable footprint” of Lot 8.
  - Design includes an outside free standing two sided fireplace detached from the main house structure.
  - Note: All design elements of a new home plan must be within the “buildable footprint” of the Lot 8. This preliminary proposed plan would not be approved as a result of this requirement.
  - Note: With regards to a free standing fireplace, this design feature would not be approved.
- Preliminary design drawings indicate the use of crank-out casement windows throughout.
  - Per City of Mackinac Island building ordinance, 70% of all windows for single family residential homes must be either single-hung or double-hung type. Also, if casement windows are to be use in the remaining 30%, they must be the faux type that looks like single-hung or double-hung type from the exterior.
  - Note: This preliminary proposed plan would not be approved per this requirement.
- Preliminary design drawings did not include a detailed foundation/basement drawing.
  - Note: A detailed foundation/basement drawing must be included in any final design package.
  - Note: City of Mackinac Island building ordinances has specific requirements regarding exposed above grade foundation finish detail.
  - Note: SCMI requires any expose foundation block above ground level to be of “cut block” type appearance.

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**ELEVATION DRAWINGS** (Sheet SD-02)

- Preliminary design drawings indicate metal roofs for both 1<sup>st</sup> floor porches and upper second story level.
  - Note: All roofs in SCMI must be black premium grade architectural asphalt shingles to be approved by SFA ARC. The preliminary proposed plan would not be approved per this requirement.
- Preliminary design drawings do not call out roof pitches.
  - Note: Will need to determine if roof pitches meet minimum requirements in any final proposal submitted.
  - Note: The preliminary proposed plan would not be approved if roof pitches do not meet minimum requirements of 8/12 pitch.
- East elevation indicates a full depth basement design with below ground level exterior access staircase and door wall entry. This design feature falls outside the “buildable footprint” of Lot 8.
  - Note: All design elements of the proposed new home must be within the “buildable footprint”.
  - Note: The preliminary proposed plan would not be approved per this requirement.
- Elevation drawings indicate the absence of porch railings, through-out.
  - Note: SCMI requires 3-block above ground level exposed foundation. Porch railings would be required.
  - Note: City of Mackinac Island building ordinances has specific porch railing requirements based upon porch deck surface to ground level heights.
  - Note: The preliminary proposed plan would not be approved per this requirement.

**ADDITIONAL COMMENTS AND OBSERVATIONS**

The following requirements must be included with any final proposal package:

- Complete Bill of Materials (BOM’s) must be included defining all exterior elements, such as:
  - Lap and shingle siding
  - Specific trim boards throughout.
  - Porch detail - decking, ceiling, pillars, skirting, railing & spindles, other decorative trim & detail.
  - Other decorative detail.
  - Foundation cladding.
  - Exterior windows.
  - Exterior doors.
  - BOM’s should include dimensional sizing, material type and location & application callouts on drawings.
  - Final design proposal package must include manufacturer cut-sheets and other supporting detail documentation.
- Final proposal drawings must include all interior & exterior dimensions, interior room sizes, ceiling heights, window types and sizes, exterior door sizes, exposed lap siding dimension, all trim detail dimensions, etc.
- Final proposal design drawings must include soffit/overhangs width dimensions and design detail.
- Property owner must submit proposed exterior paint colors prior to painting and obtain final SFA ARC approval.

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**OTHER FUTURE PROJECT REQUIREMENTS**

- The following requirements must be submitted by the property owner to be considered by SFA ARC in the final review of any future proposed project:
  - Proposed logistics & staging plan for all construction materials, tools and equipment throughout the entire project build process.
  - Proposed logistics & staging plan of all excavation materials throughout the entire project build process.
  - Proposed logistics & staging plan of all exterior utilities work (electrical, water & sewer, cable, telephone, etc.) throughout the entire project build process. Location of all utility connections must be defined in any future final proposal submitted – i.e. transformers, meters, telephone & cable boxes, sewer grinder tank, etc.
  - Proposed detailed construction project plans with projected milestone start & finish dates – i.e. lot clearing, excavation, foundation, exterior build, interior build and final completion date for occupancy permit.
    - Note: All new home build projects must be started and fully completed within a reasonable time period. Typical period is 8 to 12-months. SFA ARC will not approve long duration periods of ongoing piecemeal construction and progress.
    - Note: Mackinac Island has a limited season of ongoing construction allowed. Those limitations are additional imposed by Mother Nature, City Ordinance and Grand Hotel Ownership & Management.
  - All materials, tools & equipment and work must not infringe upon, block access to or cause damage of other adjacent properties whether developed or undeveloped.
  - Note: Per SCMI Master Deed and Bylaws & Restrictions, the property owner is responsible for all property damage cause by any construction project which includes damages to adjacent properties, roads, easements, utilities, etc. All related damage and restoration costs are the sole responsibility of the property owner. Any such damage may cause the delay of final occupancy approval by both SCMI and the City of Mackinac Island. Also, SCMI Association has the right to impose a required construction bond, at any time, to insure payment for any related damage and restoration costs and to insure final completion of any halted or abandoned project.
  - Note: Upon final approval of any new home proposal, all Stonecliffe Manors require an additional one-time fee of \$1,500 which is deposited directly into the SFA general road maintenance fund.

Sunset Forest Architectural Review Committee

John Hubel – SCMI ARC Representative

Dick Riel – SCMI ARC Representative & ARC Committee Chairperson

Jim Reitman – SCMI ARC Representative

Joann Sullivan – SCMI ARC Representative

**Sunset Forest Association**  
 PO Box 1941, Mackinac Island, Michigan 49757  
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Page 1 of 2

October 25, 2024

To: Leshon Pierson - SCMI, Lot 8  
 1016 South Burdick  
 Kalamazoo, MI 49001  
 Cell: 269-779-1168  
 Email: leshonpierson47@gmail.com

Regarding: Revised House Plan Proposal, SCMI, Lot 8 - Leshon Pierson

Dear Mr. Pierson,

The SFA Architectural Review Committee (SFA ARC) has reviewed your revised preliminary home proposal plans (drawings dated 9/30/2024) received on 10/4/2024. The Committee greatly appreciates both your efforts and those of your architectural firm's (Bigg Design, LLC) in addressing the issues as stated in our previous review letter, dated 9/13/2024.

The Committee is now requesting that the proposal package be completed and forward for final review. In addition to the drawings submitted to date, the package should include:

- All final drawing notations, overall dimension, etc.
- Detailed foundation drawing.
- Complete Bill of Material (BOM) of all exterior trim elements – i.e. material types, sizes, locations, etc. The Committee looks to see if ample and consistent trim detail is applied to all exterior elevations. Besides lap & shingle siding callouts & supporting documentation, trim work includes: window & door trim, corner trim, washboard & belt trim, fascia, frieze board, soffits, rake boards, drip edge, running trim, soffit corbels & brackets, appliques, box beam trim, boxing, gable units, etc. Include catalogs, brochures, manufacturer's specifications, etc.
- Complete Bill of Material (BOM) of all exterior windows. Windows must be of premium wood design and construction with exterior cladding. Any window mullions shall not be between the window pane type. Include catalogs, brochures, manufacturer's specifications, etc.
- Complete Bill of Material (BOM) of all exterior doors. Doors must be of premium wood, wood-textured fiberglass or wood-textured steel design & construction. Include catalogs, brochures, manufacturer's specifications, etc.
- Complete Bill of Material (BOM) of all covered porch elements – i.e. ceiling design & material, decking, arches, decorative posts, post drops, dentil moldings, balusters, spindles, skirting design, railings and newel posts, etc. Include catalogs, brochures, manufacturer's specifications, etc. Include an additional drawing sheet specific to and detailing all porch design elements. Detailed porch design elements are critical in the overall aesthetics of Victorian architecture.
- Roofing: Include catalogs, brochures, manufacturer's specifications, etc.
- Exterior paint colors: Final exterior paint colors may be submitted at a later date for approval before new home completion.
- Certified surveyor documentation with regards to related airport airspace building height restrictions. Mackinac Island's Building Department will also require such documentation.

In addition to the documentation requests as stated above:

- Remove neighboring fire pit & bench elements and related notations from drawings.
- Remove paver patio and related notations from drawings. Any proposed landscaping elements shall be addressed in the future as a separate approval process.
- Provide the name and contact information of the licensed surveyor contracted for the proposal plot plan.



**Sunset Forest Association**  
PO Box 1941, Mackinac Island, Michigan 49757  
*Preserving the Unique Character of Mackinac Island*

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As stated in previous correspondence, the SFA ARC is comprised of one representative from each of the individual Stonecliffe Manor Associations – thus, a committee of four representatives. It is the responsibility of the SFA ARC to act on behalf of each of the four individual Stonecliffe Manor Associations (I, II, III and IV) with regards to the review process for any project proposal – and, to provide due diligence and recommendation of approval/disapproval to the management of that particular association involved. Also, upon any future final review of a proposed project, each individual Stonecliffe Manor Association has the overriding authority to reverse any approval/disapproval recommendation offered by SFA ARC. In addition to SFA ARC recommendation of approval and SCMI Association approval, the Grand Hotel's ownership and management has an additional overriding vote for final approval for any new home project within the Stonecliffe Manors.

Sunset Forest Architectural Review Committee

John Hubel – SCMI ARC Representative  
Dick Riel – SCMI ARC Representative & ARC Committee Chairperson  
Jim Reitman – SCMI ARC Representative  
Joann Sullivan – SCMI ARC Representative

**LeShon Pierson**  
1016 South Burdick  
Kalamazoo, MI 49001  
Cell: 269-779-1168  
Email: leshonpierson47@gmail.com

**Date:** July 27, 2025

**To:** Sunset Forest Architectural Review Committee  
PO Box 1941  
Mackinac Island, Michigan 49757

**Subject:** Final Submission of Required Materials – Request for Final Approval

Dear Sunset Forest Architectural Review Committee,

Thank you for your detailed feedback and continued guidance throughout the review process. I appreciate the time and attention given by the SFA ARC in reviewing my revised preliminary home proposal plans and providing a clear list of required items for final consideration.

I am writing to confirm that all requested documentation and materials, as outlined in your October 25, 2024 correspondence, have now been completed and submitted for your review.

These include:

- Final architectural drawings with full notations and dimensions
- Detailed foundation drawings
- Complete Bill of Materials for exterior trim, windows, doors, porch elements, and roofing
- Supporting manufacturer catalogs and product specifications
- Certified surveyor documentation regarding airport airspace building height restrictions
- Removal of neighboring fire pit, bench elements, and paver patio from the drawings
- Surveyor contact information for the plot plan

With these final elements submitted, I respectfully request that the Committee proceed with final review and issue a formal approval so I may begin the building process. As previously mentioned, it is critical for my project to commence before the second week of October in order to complete the dry-in stage before the island closes and winter weather sets in.

Please let me know if any additional documentation or clarification is needed to facilitate this final approval. I sincerely thank the Committee for its continued support and collaboration in helping preserve the unique character of Mackinac Island while allowing responsible and timely development.

Warm regards,

*LeShon Pierson*

**Leshon Pierson**  
SCMI, Lot 8



**Katie Pereny**

**From:** Leshon Pierson <leshonpierson47@gmail.com>  
**Sent:** Wednesday, August 27, 2025 4:15 PM  
**To:** Katie Pereny  
**Subject:** Fwd: Stonecliffe Manor / Mackinac Island

Welcome letter from kind neighbor!!!  
 Sent from my iPhone

Begin forwarded message:

**From:** Leshon Pierson <leshonpierson47@gmail.com>  
**Date:** August 22, 2025 at 9:24:41 PM EDT  
**To:** Tonya Pierson <tonyawilliam@aol.com>  
**Subject:** Fwd: Stonecliffe Manor / Mackinac Island

Sent from my iPhone

Begin forwarded message:

**From:** Jeffrey Dupre <dupre@mich.com>  
**Date:** August 22, 2025 at 3:44:54 PM EDT  
**To:** Leshon Pierson <leshonpierson47@gmail.com>  
**Subject:** Stonecliffe Manor / Mackinac Island

Dear Mr Pierson,

I'm following up about your lot and the plans you have to build next door to me in Manor One lot #8. First off, I want you to know I have absolutely nothing against you, what is a glaring red flag is that your big beautiful house will be 5 feet from my property. Its simply too close and neither of us will be happy, I assure you.

The trend with houses in the Manors is to own surrounding wooded lots in order to create privacy. If you build on your lot #8, there won't be much privacy. You're situated between my house and Jason St Onge behind you.

( BTW, our neighbor Jason St Onge is the Island fire chief and keeps his small fire truck on Ironwood lane, the access road to your lot. He is also on City Council and planning commission who issues building permits, reviews your contractors, combs through your blueprints, and approve your construction strategy, water, sewer electric hookups, etc. The building department is so backed up, I would guess that soon as you are approved with architecture review in the Manors, based on other home builds in our area, you are 12-18 months away from getting your permits to start. )

However, I believe I have a solution that works for both of us. I spoke to the owners of lot #9, directly to the right / east of your lot. It's owned by 2 families who have no intentions of building anytime soon. I sent them your elevations, and they realized that it would create a density/ privacy problem and would decrease their property value.

Your house would be 5' from my property line, 10' from theirs and 20' in front of Mr St Onge.

Section X, Itema.

I asked these lot #9 owners if they would consider an offer of \$100,000 for their lot, which I believe they would accept if I pushed it along. So, I would buy your lot #8 for \$100,000 that you would use to buy lot #9, all in one transaction. Lot #9 is a better lot. It has 70' of frontage on the golf course instead of your 55', it has more view of the water, has your own driveway/ walkway along the east side and will have vacant lots on both sides of you for privacy. This location is much better for your house, more private, on a larger piece of property, and empty lots on both sides of you and I. It's an excellent solution for both of us.

I had an appraiser note the recent sale prices in Manor One - see attach. \$100k is by far the most ever paid for a lot in any of the manors. Or, if you get too discouraged and decide not to build at all, you could just take the \$100k from me and make a \$40k profit on your lot #8.

If you want to do this and upgrade your lot, I could make arrangements with Alpine Title Co. to do the transfer. We would not need any realtors involved so no commissions, just some very minor closing costs.

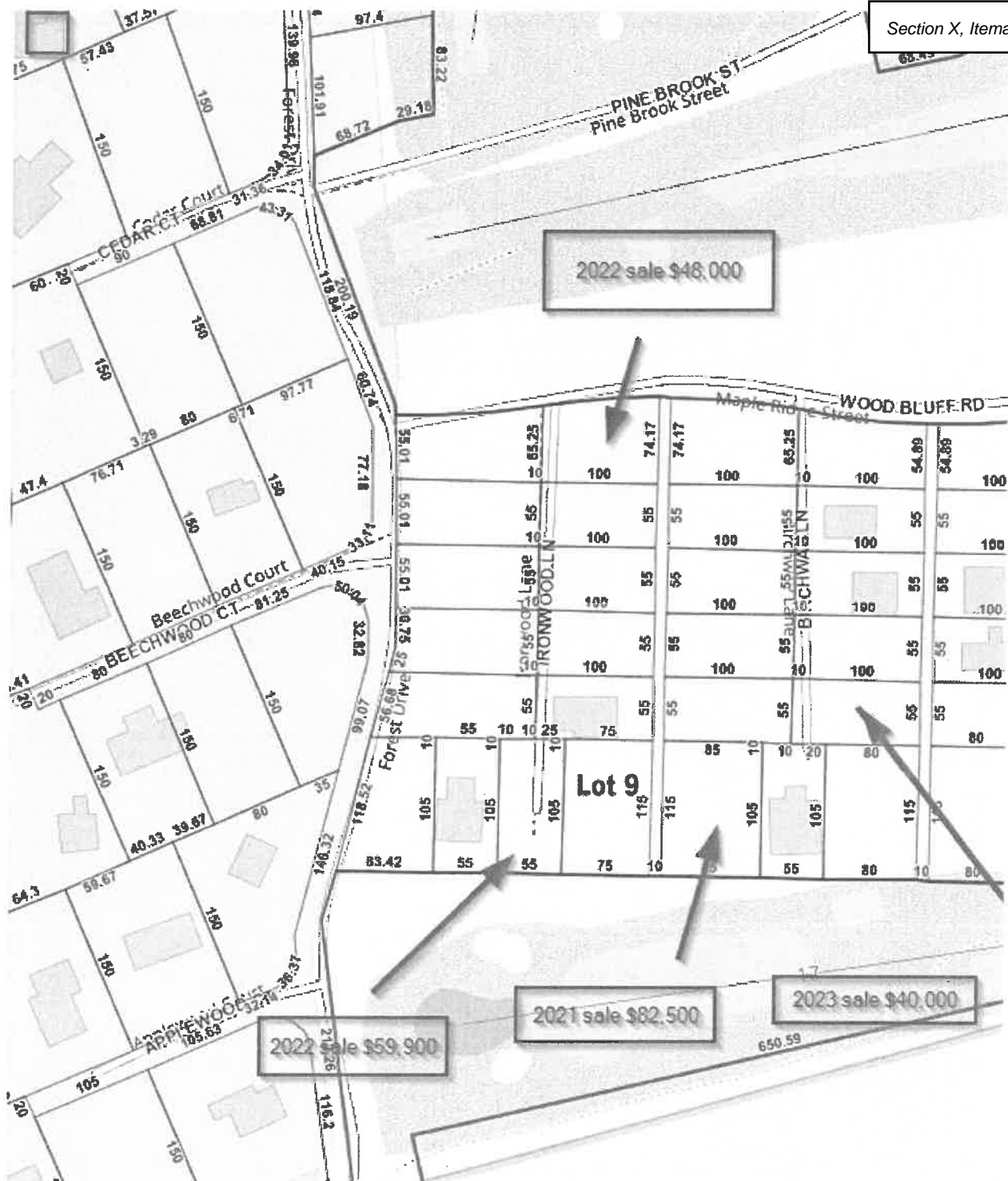
I don't want to discourage you from building, I'm just trying to create a better outcome for both of us.

Let me know what you think. Call or email anytime.

**Jeffrey Dupre**  
**Island Publications**

305-587-0085  
dupre@mich.com





**23187: LOT 8- PIERSON RESIDENCE**

Ironwood Lane Unit 8, Stonecliffe Manor I, Mackinac Island, MI 49757

**ATTN:**

Name Sunset Forest Association  
 Address PO Box 925, Mackinac Island, MI 49757  
 Email sunsetforest@sbcglobal.net  
 Phone 231-977-0286

**RE: House Plan Proposal Feedback, SCMI, Lot 8- Leshon Pierson**

The Plans have been revised in response to plan review letter dated 8/6/2025.

Attached plans are clouded with revision date 8/19/2025.

**Dear Sunset Forest Association, Architectural Review Committee,**

Thank you for reviewing the house plan proposal, SCMI, Lot 8 for Leshon Pierson. Below you will find responses to points mentioned in plan review letter dated August 6, 2025, regarding the following:

- Mailed sample of material provided:
  - The solid, non-engineered cedar sample is planned to be used for exterior trim and siding.
- The asphalt roof shingles proposed are the Landmark Pro, which is a family of the Landmark Series. The proposed color is called Cinder Black. A roof shingle product sample will be sent for final review.
- The Marvin Elevate Collection of windows are constructed with a "Ultrex pultruded fiberglass exterior finish" and is "applied through a patented process to provide a superior, consistent finish." The mullions are removeable from inside mounted wood.
- The proposed design has 29 windows in total. Of this, 23 windows, or 80%, are double hung.
- We have revised the plans to propose a cedar wood decking.
- The 4" x 4" block of cedar wood is a sample trim element for all soffit corbels and any solid trim work.
- Proposal package provided:
  - A new full-size hardcopy of current plans are provided in this submittal.
  - Documentation for all exterior doors can be found in this submittal
  - The documentation provided also includes exterior entry door elevations and swings
  - The plans include in-swing double French doors
- Exterior siding and shingles elements:
  - We propose to use solid cedar lap siding on the exterior of the home, and confirm it will have a clear grade with a 5" reveal
  - We understand that decorative shingles must be solid, non-engineered wood as well
  - Updated drawings reflect the above requirements and will be sent for review
  - Brochures and specification sheets for all correct exterior wood siding and shingle products are included
- Exterior board elements:
  - Trim boards are non-engineered, solid cedar with a smooth milled finish
  - All trim board types and sizes included in the proposed design are included
  - Brochures and specification sheets for all correct exterior wood trim are included
- Roof overhang and soffit elements:
  - Drawings provided confirm the 18" dimensions for plot plan setbacks and overall house exterior overhangs.
  - Drawings provided reflect soffit mounted corbels.
- Foundation drawing:
  - The owner has decided to go with a split-face CMU and footer foundation construction.
  - Vehicle permits will be obtained when needed, otherwise ferries, horse-drawn wagons, and contractor-approved vehicles will be used. Refer to the maps below showing a possible route materials will take to the site.



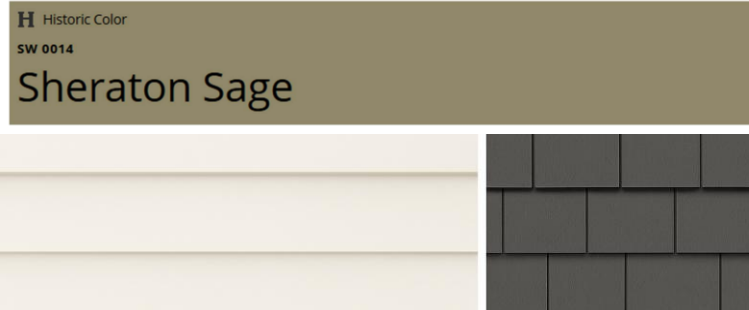


## 23187: LOT 8- PIERSON RESIDENCE

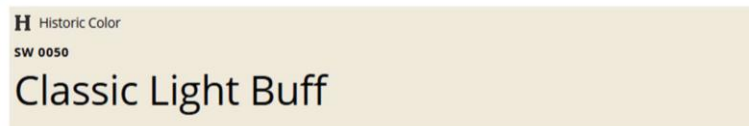
Section X, Itema.

Ironwood Lane Unit 8, Stonecliffe Manor I, Mackinac Island, MI 49757

- Exposed above grade basement foundation walls:
  - The owner has decided to use split-face CMU for wall sections above grade.
- Porch design:
  - Porch design drawings have been revised to include concrete block masonry pillars.
  - A drawing with a detailed final porch design is provided, and consists of cedar decking, decorative rails, and pier and lattice below deck
- Exterior paint color selection:
  - The paint color selections for exterior siding and trim are noted in the drawings in this submittal
  - Refer to the mood board image provided below on the exterior of the home depicting these selections
  - PAINT A: SIDING**



- PAINT B: TRIMS, BRACKETS, FASCIAS**



- PAINT C: WINDOW, DOOR, ACCESSORIY TRIMS (LATTICE) AS NEEDED**



- DOORS/WINDOW FRAMES (EXTERIOR): EBONY**

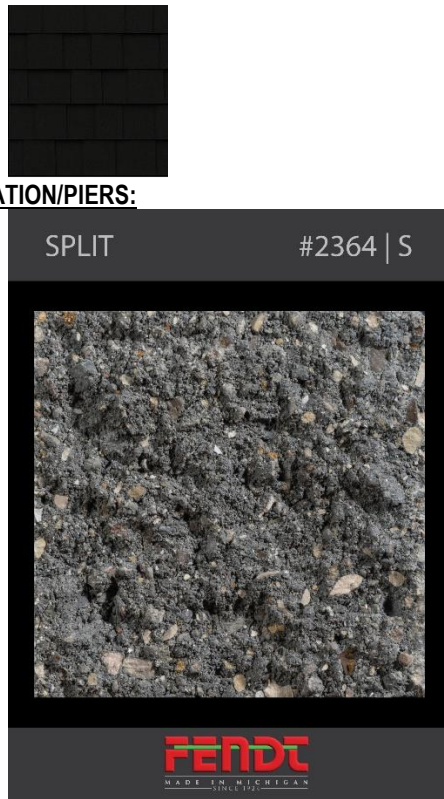


- ROOF: BLACK**



Ironwood Lane Unit 8, Stonecliffe Manor I, Mackinac Island, MI 49757

○ **FOUNDATION/PIERS:**



- Owner acting as General Contractor
  - The property owner intends to utilize his right to act as the builder for the construction of the home and the project will be completed in full compliance with the Michigan Residential Building Code and all applicable local codes and regulations.
  - While the owner will oversee the overall construction process, he has decide to hire a licensed SIPs (Structural Insulated Panels) contractor that will be engaged specifically for the rough framing and roofing phases of the building. The contractor is experienced in SIPs system installation and will follow all relevant code requirements and manufacturer specifications.
  - All other aspects of the project- including site preparation, foundation work, interior construction, and coordination with local building inspectors- will be managed directly by the owner, with qualified subcontractors brought in as needed.
  - The owner is committed to maintaining a clean and orderly job site, minimizing disruption to neighboring properties, and ensuring full adherence to HOA guidelines throughout the duration of the project.
  - Regular inspections by the local building department and architects will be provided.
- SIP panel construction method
  - The Owner has chosen SIPs construction do the pre-fabrication quality and ability to erect structure withing a short time frame time. The Island has limited delivery windows and possibly weather delays that make the panel construction ideal. Although the owner does not experience in building the project, he is hiring a special contractor to facilitate the installation of SIPs.
  - In the event of logistical delivery options, the owner is prepared to use stick framing as a back up method.

We have revised the plans accordingly and building permit applications have been submitted to building Department.

We look forward to your approval of this project and any revisions to the exterior after approval will be provided to your for approval.

Please contact us regarding any comments or questions.

BIGGdesigns, LLC

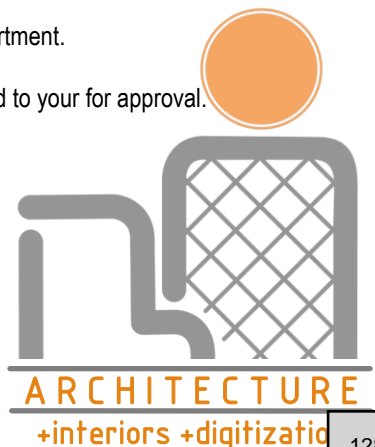
By: \_\_\_\_\_

Chris Biggers, NCARB, Principal Architect



[www.BIGGarchitecture.com](http://www.BIGGarchitecture.com)

BIGGdesigns, LLC ■ 2537 Union Lake Road, Commerce Twp, MI 48382 ■ 248-886-4460





## **RE: FREIGHT HAULING PLAN**

### **1. Transportation Constraints**

Mackinac Island prohibits personal motor vehicles. Freight is moved via ferries, horse-drawn wagons, and contractor-approved service vehicles. Vehicle permits are strictly regulated and must be requested through the city.

### **2. Inbound Materials & Equipment**

#### **SIPs Panels**

Panels will be prefabricated in sections no wider than 8'-0" for ease of transport and handling. Delivered via freight ferry and moved to the site using horse-drawn wagons or permitted contractor vehicles. Vehicle permits will be requested specifically for SIPs panel delivery and unloading.

#### **Roof Trusses**

Trusses will be limited in length and field-assembled on-site to avoid oversized freight and reduce the need for large transport vehicles.

#### **CMU & Concrete**

CMU blocks and bagged concrete will be delivered in weight- and size-limited loads to allow transport without motor vehicles. Portable mixers will be used for on-site concrete mixing.

### **3. On-Site Logistics**

#### **Temporary Gravel Path**

A temporary gravel path will be maintained on-site to facilitate delivery staging, turnaround for wagons or permitted vehicles, and safe and stable access for equipment.

#### **Erosion Control**

A silt fence will be installed and maintained throughout construction to prevent sediment runoff and protect the surrounding environment.

### **4. Outbound Debris & Trash**

#### **Construction Debris**

Sorted and loaded into bins for removal. Hauled to the dock via horse-drawn wagons or permitted vehicles. Shipped off-island via ferry for proper disposal.

#### **Trash**

Bagged and removed regularly. Hauled off-island with construction debris or via standard waste services.

#### **Burning Prohibited**

No materials will be burned on-site during construction. All waste will be properly contained and removed in accordance with island regulations.

### **Vehicle Permits**

Limited vehicle permits will be requested for SIPs panel delivery and Skytrack transport (if required). The owner will seek to hire island-based contractors who already possess vehicle permits to minimize permit requests and streamline logistics.

### **Coordination & Permits**

Coordinate with Mackinac Island City Office, Arnold Freight Company, and local contractors. Submit permit applications for any temporary vehicle use.

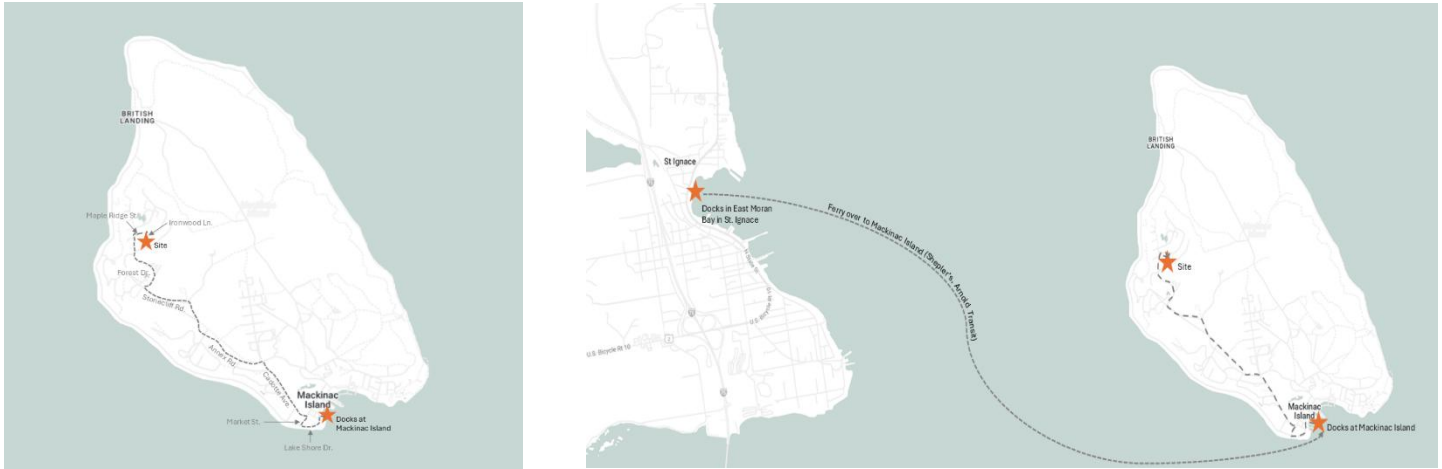


## 23187: LOT 8- PIERSON RESIDENCE

Section X, Itema.

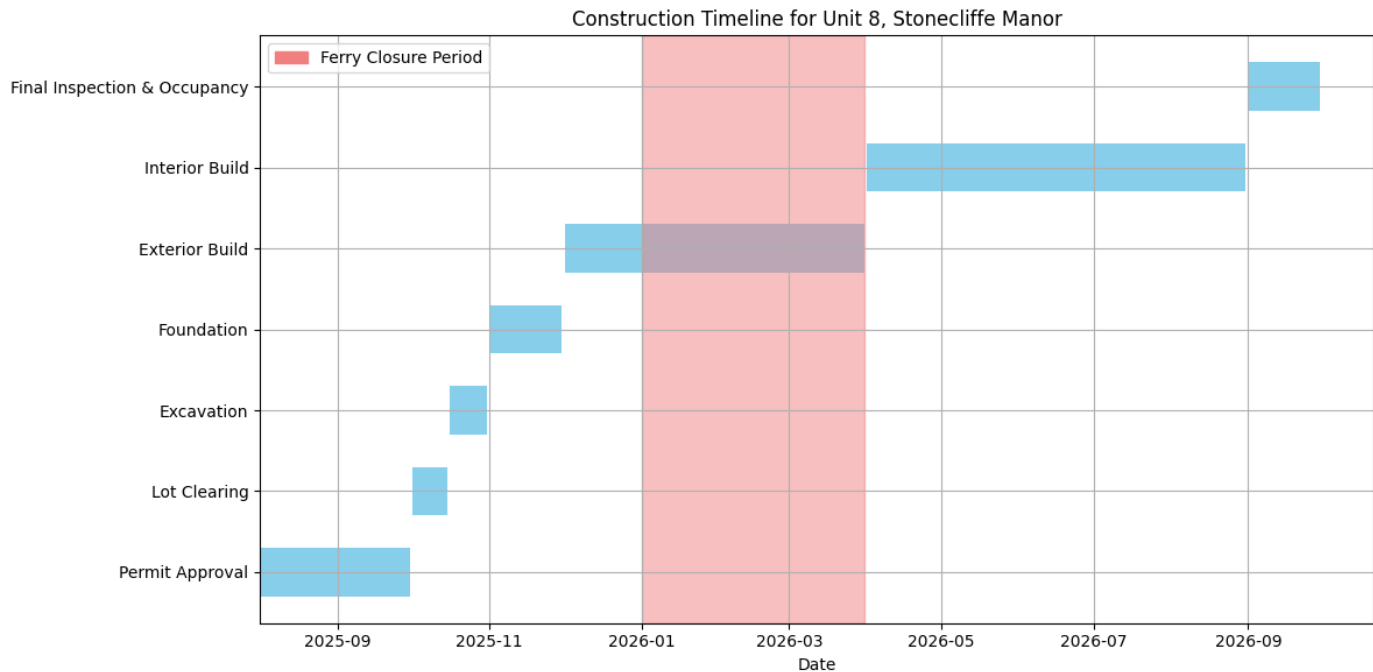
Ironwood Lane Unit 8, Stonecliffe Manor I, Mackinac Island, MI 49757

### RE: FREIGHT HAULING PLAN



### RE: CONSTRUCTION TIMELINE

Proposed Timeline Showing Expected Start & Finish of Construction Phases



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**23187: LOT 8- PIERSON RESIDENCE**

Ironwood Lane Unit 8, Stonecliffe Manor I, Mackinac Island, MI 49757

**RE: COLOR RENDITION**

Rendering is for Color and Material representation only. Refer to Plans for Final details. Updated Color rendering will be provided with final paint color selection


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**Sunset Forest Association**  
 PO Box 925, Mackinac Island, Michigan 49757  
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August 6, 2025

To: Leshon Pierson - SCMI, Lot 8  
 1016 South Burdick  
 Kalamazoo, MI 49001  
 Cell: 269-779-1168  
 Email: leshonpierson47@gmail.com

Regarding: House Plan Proposal, SCMI, Lot 8 - Leshon Pierson

Dear Mr. Pierson,

With reference to your new house project proposal, Sunset Forest Association Architectural Review Committee (SFA ARC) has recently received the following materials from you:

- Mailed package consisting of:
  - Proposed exterior siding / trim board / porch decking related material samples & brochures.
  - Proposed window manufacture catalogs and supporting drawing document.
  - Proposed asphalt shingle manufacturer and brochures.
- Email (07/11/2025) with attached latest pdf copy of architectural drawing package. (3<sup>rd</sup> preliminary release, drawings dated 03/05/2025).
- Email (07/27/2025) stating final approval request.

Upon review of the recent materials sent, the Committee still views the package as incomplete and in preliminary form. It presently does not constitute a completed proposal package for SFA ARC final review.

Upon preliminary review of the mailed sample material provided:

- The mailed package includes brochures and samples of **SmartSide** trim & siding products. SFA ARC does not approve **SmartSide** products. In general, there is no allowance for engineered or composite material exterior wood trim & siding products (lap board, shingles, trim board, etc.). Exterior siding and trim must be non-engineered solid wood material – cedar, redwood. Committee requests brochures and specification sheets on all correct exterior wood trim board & siding products for final review.
- The mailed package includes brochures for both **Landmark Series** and **Landmark Pro** asphalt roof shingles. There is no reference to the particular product series or color being considered for your proposed house plan. Asphalt roof shingles must be premium grade architectural dimensional shingle. Shingle color to be within the black family palette. In addition to the brochures provided, Committee requests roof shingle product selected for final review.
- The mailed package includes brochures for **Marvin Elevate Collection** windows. As stated in prior correspondence:
  - Windows shall be of premium wood design and construction with aluminum/fiberglass/composite material exterior cladding allowed. Window mullions shall be removable inside mounted wood type. Permanent in between windowpane type mullions are not allowed.
  - Per City of Mackinac Island building ordinance, 70% of all windows for single-family residential homes must be either single-hung or double hung type. In addition, if casement windows are to be use in the remaining 30%, they must be the faux type resembling single-hung or double-hung type from the exterior.
  - The Marvin Elevate Collection windows sizes and types selected (including color: ebony exterior & white interior) are approved, as submitted.



## Sunset Forest Association

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- The mailed package includes a sample **Azek TimberTech Advanced PVC** (Color: slate gray) proposed for porch decking. SFA ARC allows composite material decking boards (only) such as Azek or Trex products. However, cedar wood decking is preferred. The use of composite material board products are not allowed for any other exterior trim board or porch elements.
- The mailed package includes a sample 4x4” block of cedar wood. SFA ARC understands that soffit mounted corbels are to be made from a milled version of this size block. Committee requests design drawing of proposed corbel element for final review.
- The mailed package includes a sample 1x4” piece of rough sawn cedar wood. Committee requests the purpose of this trim element for final review.

Upon preliminary review of the proposal package provided:

- In reference to the pdf drawings sent by email, the Committee requests a larger hardcopy “to scale” drawing package. The present pdf version is difficult to read, both in printed form and on an enhanced computer screen.
- Proposal package did not include documentation for all exterior doors. Provide manufacturer, model, product brochures, specifications, etc. Committee requests such documentation for final review.
  - Exterior entry doors:
    - North elevation, in-swing door (3’W) with two sidelights (1’W).
    - South elevation, in-swing double doors (6’W).
    - West elevation, storage room double sliding doors (6’8”W).
    - West elevation, basement in-swing double doors (6’W).
  - Regarding in-swing double doors, must be “French Door” style verses full glass “Doorwall” style.
- Regarding exterior siding and shingles elements:
  - Exterior lap siding and decorative shingles must be non-engineered solid wood material – cedar, redwood.
  - Cedar lap style siding shall be Clear grades, like Clear Heart and A Grade, which offer a premium appearance with minimal imperfections.
  - Cedar lap style siding shall have 5” reveal.
  - Committee requests updated drawings to reflect these requirements.
  - Committee requests brochures and specification sheets on all correct exterior wood siding & shingle products for final review.
- Regarding exterior trim board elements:
  - Must be non-engineered solid wood material – cedar, redwood. Smooth milled finished verses rough sawn finish preferred.
  - Present drawings do not reflect all required trim board requirements.
  - Trim board types and sizes to be included in the proposal design shall be as follows:
    - Window Surrounds trim board – 1” x 6” (vertical & horizontal window trim)
    - Door Surrounds trim board – 1” x 6” (vertical & horizontal door trim)
    - Fascia trim board – 1” x 6” (horizontal roof/soffit trim – gutter mount)
    - Frieze trim board – 1” x 6” (horizontal soffit/top of wall trim)
    - Rake trim board – 1” x 6” (incline roof/soffit/gable trim)
    - Outer Corner trim board -1” x 4” (vertical wall trim)
    - Inner Corner trim board – 1” x 4” (vertical wall trim)
    - Lower Band (wash) trim board – 1” x 6” (horizontal base of wall/foundation trim)
    - Additional decorative trim boards – porch ceiling/wall, trimmed out porch beams & posts, porch skirting, etc.
  - Committee requests drawing update reflecting these required elements for final review.

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- Committee requests brochures and specification sheets on all correct exterior wood trim products for final review.
- Regarding roof overhang and soffit elements:
  - Plot plan setbacks and overall house exterior dimensions reflect 18” overhangs. Committee requests drawing update confirming that dimension for final review.
  - Drawing reflects soffit mounted corbels. Committee requests final design drawing of proposed corbel element for final review.
- Regarding foundation drawing:
  - Drawing shows proposed foundation / basement walls are to be pre-casted concrete type panels set on a gravel base verses typical concrete block masonry wall set on reinforced concrete masonry footers.
  - Committee has concerns of such foundation type construction within the area, especially with the full depth finished basement proposed. Lot excavated materials and foundation base (sand, gravel rock, limestone) may not accommodate such foundation wall and gravel base type construction. In addition, Committee has concerns of potential future underpinning of such wall sections sitting on a compacted gravel base – verses typical concrete block masonry wall sitting on a reinforced concrete masonry footer. Excavated soil types may vary from lot to lot.
  - Drawing shows a drain tile located around exterior perimeter of wall foundation. Tile drains into a sump pump well located in the basement mechanical room. Again, Committee has concerns of potential future underpinning of such wall sections sitting on a compacted gravel base – verses typical concrete masonry block wall sitting on a reinforced concrete masonry footer.
  - Drawings do not show where the sump pump well is to drain. French drain type? Location?
  - Committee has concerns regarding the transport and erection of heavy pre-casted wall sections within the neighborhood, especially with the dead-end street location of the lot. Neighborhood roads, intersections, neighboring lots and actual lot location and size may not accommodate large transport and erection equipment required.
  - The Committee requires detailed explanation of the proposed construction method. This includes manufacturer, installation contractor, specifications, panel design drawings of the building technique – and specifically, licensed engineered stamped & submitted drawing package showing the detailed panel design layout of your proposed project.
  - Based upon the above stated, the Committee has reservations going forward on any final review or approval process until these specific requirements are submitted for review.
  - Committee recommends typical concrete block and footer foundation construction.
- Regarding exposed above grade basement foundation walls:
  - Drawings indicate a stone veneer applied to “above grade” exposed areas of the exterior foundation walls. Specifically, Artisan-Kensley thin veneer by Echelon.
  - Committee requests brochures and specification sheets of proposed veneer for final review.
  - Note: With typical concrete block masonry foundations, walls sections with above grade visual exposure can use split-face concrete blocks. Such use does not require additional decorative veneer. Both SFA ARC and the City of Mackinac Island approve split-face concrete block.
- Regarding porch design:
  - Drawings do not provide any detail of the final porch design. Committee requests detailed information on all porch design & finish elements for final review – i.e. porch ceilings, balusters, newel posts, railings, spindles, steps, decking, decorative posts, post drops, dentil moldings, skirting design, fretwork, etc. Committee requests brochures and specification sheets of all porch design elements. Specific design drawing detail should be included for final review.
  - Drawings propose porch foundation support to be pre-casted concrete type panels set on a gravel footer base verses typical concrete block masonry support pillar set on reinforced concrete masonry footer. In addition, porch foundation panels to have louvered ventilation panels.



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- Committee will not approve such porch construction. Committee requires porch construction supported by concrete block masonry pillars set on reinforced concrete masonry footers. Porch design to include decorative wood trim skirting.
- Committee requests that design drawings reflect this type of porch foundation design for final review.
- Committee requests brochures and specification sheets of all porch skirting design elements. Specific drawing design detail should be included for final review.

With regards to exterior paint color selection:

- Prior to new home completion, final exterior paint colors are to be submitted to Committee for review.

In addition to this preliminary proposal review, SFA ARC discussed a previous telephone conversation held in early May, 2025 between yourself, a proposed contractor and committee member - Jim Reitman. Key points of that conversation included:

- You intend to act as the “General Contractor” for the proposed project. And, that you:
  - Would coordinate all planning, logistics and the services of various hired construction trades subcontractors.
  - In addition, it was stated that you are not a licensed general contractor, nor have previous experienced or involvement in any house project build on Mackinac Island.
  - Per State of Michigan law, a new built residential home greater than 3000 square feet in finished construction requires the contracted services of a licensed general contractor. SFA ARC’s preference is one that is familiar with Mackinac Island construction, restrictions and logistics.
  - The general contractor must be licensed, bonded and insured. Licensed by the State of Michigan and the City of Mackinac Island.
  - In addition, all subcontractors must be licensed and insured. Licensed by the State of Michigan and the City of Mackinac Island.
  - Based upon the above stated, the Committee has reservations going forward on any final review or approval process until both general contractor and subcontractor requirements are assured.
- You intend to employ the services of an off island contractor to provide the exterior shell & roof of the house along with trim out all exterior elements. And, that contractor:
  - Has no previous construction experience on Mackinac Island.
  - Specializes in Structural Insulated Panel (SIP) exterior wall construction.
  - You stated in previous conversations that your proposed construction method would be traditional stick built. Now SIP construction is proposed.
  - The preliminary drawings submitted do not indicate SIP construction method.
  - The Committee has discussed SIP construction with other building authorities who recommend against such construction method.
  - The Committee requires detailed explanation of the proposed construction method. This includes manufacturer, installation contractor, specifications, complete panel design drawings of the building technique – and specifically, licensed engineered stamped & submitted SIP drawing package showing the actual detailed SIP design layout of your proposed project.
  - Based upon the above stated, the Committee has reservations going forward on any final review or approval process until these specific requirements are submitted for review.
  - The Committee recommends typical stick built construction.

## Sunset Forest Association

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In addition, a final project proposal package must include:

- Certified surveyor documentation relating to airport-airspace building height restrictions. City of Mackinac Island will also require such documentation.
- Name and contact information of the licensed surveyor(s) contracted for both the submitted building plot plan and required airport-airspace related documentation.
- Names and contact information of proposed general contractor and subcontractors.
- Proposed timeline for the entire project with projected milestone start & finish dates – i.e. lot clearing, excavation, foundation, exterior build, interior build and expected completion date for occupancy permit.
- Proposed logistics & staging plan for all construction materials, tools and equipment throughout the entire project build process.
- Proposed logistics & staging plan of all excavation materials throughout the entire project build process.
- Proposed logistics & staging plan of all exterior utilities work (electrical, water & sewer, cable, telephone, etc.) throughout the entire project build process. Location of all utility connections must be defined in any final proposal submitted – i.e. transformers, meters, telephone & cable boxes, sewer grinder tank, etc.
- Note: All new home build projects completed within a reasonable time-period. Typical construction period of 8 to 12-months. SFA ARC will not approve long duration periods of ongoing piecemeal construction and progress.
- All materials, tools & equipment and work must not infringe upon, block access to or cause damage of other adjacent properties whether developed or undeveloped.
- Note: Per SCMI Master Deed and Bylaws & Restrictions, the property owner is responsible for all property damage cause by any construction project, which includes damages to adjacent properties, roads, easements, utilities, etc. All related damage and restoration costs are the sole responsibility of the property owner. Any such damage may cause the delay of final occupancy approval by both SCMI and the City of Mackinac Island.
- Note: SCMI Association has the right to impose an additional construction bond, at any time, to insure payment for any related damage and restoration costs – and, to insure completion of a halted or abandoned project.
- Note: Upon final approval of any new home proposal, SCMI requires an additional one-time non-refundable fee of \$1,500.00. Funds are deposited directly into SFA's general road maintenance fund.

As stated in previous correspondence, the SFA ARC is comprised of one representative from each of the individual Stonecliffe Manor Associations – thus, a committee of four representatives. It is the responsibility of the SFA ARC to act on behalf of each of the four individual Stonecliffe Manor Associations (I, II, III and IV) in the review process of any project proposal – and, to provide due diligence and recommendation of approval/disapproval to the management of the particular association involved. Upon review of SFA ARC's advisory, each individual Stonecliffe Manor Association has the authority to reverse such approval/disapproval recommendation. In addition to SFA ARC recommendation and SCMI Association voted approval, the Grand Hotel's management has an additional vote for final approval of any new home project within the Stonecliffe Manors.

The Committee collectively agrees that the proposed preliminary house plan submitted is of attractive design. Unfortunately, upon review of the project design material and supporting information presented so far - including other outstanding issues discussed in this document, the Committee feels the proposal package is still incomplete for final review purposes.

Sunset Forest Architectural Review Committee

John Hubel – SCMI ARC Representative

Dick Riel – SCMI ARC Representative & ARC Committee Chairperson

Jim Reitman – SCMI ARC Representative

Joann Sullivan – SCMI ARC Representative





Mail Processing Center  
Federal Aviation Administration  
Southwest Regional Office  
Obstruction Evaluation Group  
10101 Hillwood Parkway  
Fort Worth, TX 76177

Aeronautical Study  
2024-AGL-1562

Section X, Itema.

Issued Date: 12/10/2024

Michael Nachazel  
Wade Trim  
4241 Old Us 27 S  
Suite 1  
Gaylord, MI 49734

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	House House
Location:	Mackinac Island, MI
Latitude:	45-51-53.54N NAD 83
Longitude:	84-38-40.89W
Heights:	719 feet site elevation (SE) 34 feet above ground level (AGL) 753 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- ☐ At least 10 days prior to start of construction (7460-2, Part 1)  
☒ Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

**See attachment for additional condition(s) or information.**

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M Change 1.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 06/10/2026 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.

- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

Section X, Itema.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (817) 222-4244, or [ashley.m.wilson@faa.gov](mailto:ashley.m.wilson@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2024-AGL-15624-OE.

**Signature Control No: 638978932-641468952**

( DNE )

Ashley Wilson  
Specialist

Attachment(s)  
Additional Information  
Map(s)



A full list of acronyms and abbreviations is available at the FAA's public website at [https://oeaaa.faa.gov/oeaaa/downloads/external/content/FAA\\_Acronyms.pdf](https://oeaaa.faa.gov/oeaaa/downloads/external/content/FAA_Acronyms.pdf)

## Part 77 - Title 14 CFR Part 77, Safe, Efficient Use and Preservation of the Navigable Airspace

Our study has disclosed that the proposed structure located approximately 472 feet northwest of Runway End 08 at Mackinac Island Airport (MCD), Mackinac Island, MI.

At the proposed height, the structure will penetrate protected airport surfaces:

1. 77.17 (a)(3) A height within a terminal obstacle clearance area, including an initial approach segment, a departure area, and a circling approach area, which would result in the vertical distance between any point on the object and an established minimum instrument flight altitude within that area or segment to be less than the required obstacle clearance.

At 753 AMSL, 4D, MACKINAC ISLAND (MCD) MACKINAC ISLAND, MI. Obstacle penetrates RWY 26 40:1 departure surface 21 feet. Qualifies as low, close-in penetration with climb gradient termination altitude 200 feet or less above DER, requiring TAKEOFF MINIMUMS AND (OBSTACLE) DEPARTURE PROCEDURES, AMDT 2, TAKEOFF OBSTACLE NOTES: RWY 26, Building 131 feet from departure end of runway, 453 feet right of centerline, 34 AGL, 753 AMSL, NEH 732 AMSL (4D/2C).

\*Part 77 obstruction standards are used to screen the many proposals submitted in order to identify those which warrant further aeronautical study. This study is conducted in order to determine if the proposal would have a significant adverse effect on aeronautical operations and airspace. While part 77 obstruction standards may trigger formal aeronautical study, including public circularization, these obstruction standards do not constitute absolute or arbitrary criteria for identification of hazards to air navigation. Accordingly, the fact that a proposed structure exceeds certain obstruction standards of part 77 is in itself not sufficient grounds for issuance of a determination of hazard to air navigation.

## EFFECT ON AERONAUTICAL OPERATIONS

- a. The impact on arrival, departure, and en route procedures for aircraft operating under VFR: None.
- b. The impact on arrival, departure, and en route procedures for aircraft operating under IFR: None.

## AERONAUTICAL STUDY FOR POSSIBLE INSTRUMENT FLIGHT RULES (IFR) EFFECT DISCLOSED THE FOLLOWING:

- > The proposed structure would have no effect on any existing or proposed IFR arrival/departure routes, operations, or procedures.
- > The proposed structure would have no effect on any existing or proposed IFR en route routes, operations, or procedures.
- > The proposed structure would have no effect on any existing or proposed IFR minimum flight altitudes.

- > The proposed structure would have no effect on any existing or proposed VFR arrival or departure routes, operations or procedures.
- > The proposed structure would not conflict with airspace required to conduct normal VFR traffic pattern operations at any known public use or military airports.
- > The proposed structure would not penetrate those altitudes normally considered available to airmen for VFR en route flight.

c. The impact on all planned public-use airports and aeronautical facilities: None.

The cumulative impact resulting from the proposed construction or alteration of a structure when combined with the impact of other existing or proposed structures: Cumulative impact was not a deciding factor for this determination.

#### CIRCULARIZATION AND NEGOTIATIONS

The proposal was not circularized to the public for comment, as current FAA policy exempts from circularization those proposals which penetrate the 40:1 departure surface and do not raise minima. The penetration to the departure surface in the ICA will require a note in the TAKE-OFF MINIMUM AND (OBSTACLE) DEPARTURE PROCEDURES AND DIVERSE VECTOR AREA (RADAR VECTORS).

The cumulative impact of the proposed structure is not considered significant. Study did not disclose any adverse effect on existing or proposed public-use or military airports or navigational facilities. Nor would the proposal affect the capacity of any known existing or planned public-use or military airport.

Therefore, it is determined that the proposed structure would not have a substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on any air navigation facility and would not be a hazard to air navigation.

Although the structure exceeds Part 77, 77.17 (a)(3), there would be no effects on any existing or proposed en route VFR operations. There are no physical or electromagnetic effects on the operation of air navigation and communications facilities. The study did not disclose any effects on any airspace and routes used by the military. It would impact MCD airport, but no other existing or planned public use of military airport would be impacted.

#### CONDITIONS

The incorporation of obstruction marking and lighting was considered but deemed not necessary to provide additional conspicuity for IFR and VFR pilots flying in this vicinity. The surrounding trees are taller than the structures in the area.

#### DETERMINATION - NO HAZARD TO AIR NAVIGATION

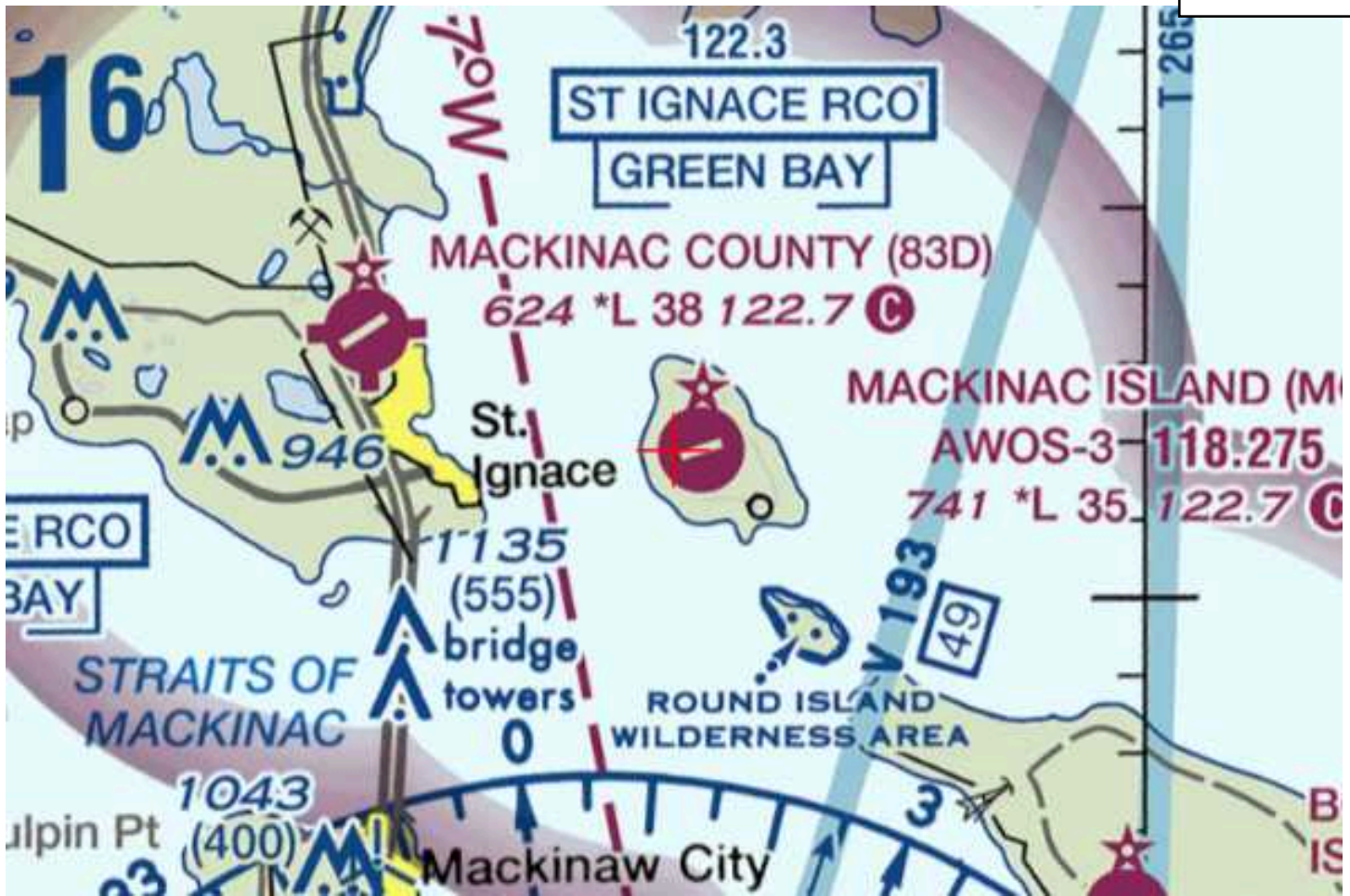


Section X, Itema.









## Preston Feather - Harbor Springs

Address: 8600 Moeller Drive  
Harbor Springs, MI 49740  
Harbor Springs, MI 49740  
Phone: 231-348-2990

Website: [www.prestonfeather.com](http://www.prestonfeather.com)  
Email: [aherman@prestonfeather.com](mailto:aherman@prestonfeather.com)

### Customer Information

Name:	Leshon Pierson
Address:	
Phone 1:	
Phone 2:	
Fax:	
Contact:	

Job Name: Pierson

### Specifications

U.D. = 74-3/16" x 81-5/8"; R.O. = 74-15/16" x 82"
O.M. of Exterior Trim = 74-3/16" x 81-5/8"



Section X, Item.

Page 1 of 3

Quote Number: 8773 Date: 7/16/2025

Sales Person: Andy Herman



Image is viewed from Exterior!

Lead Time: Stock (Call to verify)

Comment: 001 - Family Room

Item Description	Qty	Price	Extended
6' 0" x 6' 8" S2200 3/4 Lite 1 Panel Smooth-Star - Flush Glazed Fiberglass Double Door w/White Aluminum Astragal w/Clear Glass - Right Hand Inswing (Tru-Guard Composite Edge)	1	1,818.39	\$1,818.39
2-3/4" Backset - Double Bore (2-1/8" Dia. Bore w/Standard 5-1/2" Spacing) w/Mortised Edge Latch Preps w/Deadbolt Small Prep 1" x 2-1/4" Strike Prep	1	10.77	\$10.77
Set of T/T Ball-Bearing - Black Nickel Hinges	1	30.77	\$30.77
Black Aluminum Clad Frame w/Primed Dura-Frame Interior - 8-3/16" Jamb w/Slim Line Exterior Trim (Applied)	1	875.35	\$875.35
Bronze Compression Weatherstrip	1	0.00	\$0.00
Tru-Defense Adjustable - Bronze w/Dark Cap Sill	1	75.38	\$75.38
PREFINISH: Paint Door Panels Interior & Exterior FRONTLINE BLACK (TRADE MATCHED TO FRONTLINE CLADDING COLOR)	1	650.74	\$650.74
<b>Item Total</b>			<b>\$3,461.40</b>

Distributed by:



Version #: 7.80-O  
Version Date: 6/23/2025



## Preston Feather - Harbor Springs

Address: 8600 Moeller Drive  
Harbor Springs, MI 49740  
Harbor Springs, MI 49740  
Phone: 231-348-2990

Website: www.prestonfeather.com  
Email: aherman@prestonfeather.com

### Customer Information

<b>Name:</b>	Leshon Pierson
<b>Address:</b>	
<b>Phone 1:</b>	
<b>Phone 2:</b>	
<b>Fax:</b>	
<b>Contact:</b>	

**Job Name:** Pierson

### Specifications

U.D. = 68-1/2" x 81-5/8"; R.O. = 69-1/4" x 82"

O.M. of Exterior Trim = 68-1/2" x 81-5/8"



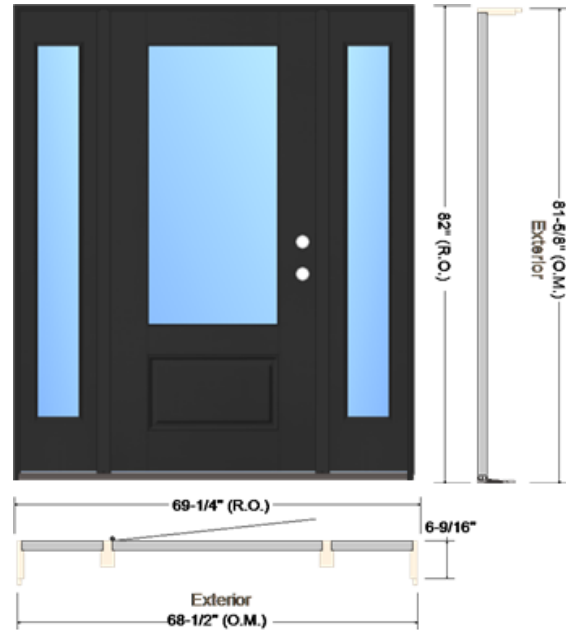
Section X, Item.

Page 2 of 3

**Quote Number:** 8773

**Date:** 7/16/2025

**Sales Person:** Andy Herman



*Image is viewed from Exterior!*

Lead Time: Stock (Call to verify)

**Comment:** 101 - Entry

Item Description	Qty	Price	Extended
3' 0" x 6' 8" S2200 3/4 Lite 1 Panel Smooth-Star - Flush Glazed Fiberglass Door w/Clear Glass - Left Hand Inswing (Tru-Guard Composite Edge)	1	859.20	\$859.20
2-3/4" Backset - Double Bore (2-1/8" Dia. Bore w/Standard 5-1/2" Spacing) w/Mortised Edge Latch Preps w/Deadbolt Small Prep 1" x 2-1/4" Strike Prep	1	10.77	\$10.77
Set of T/T Ball-Bearing - Black Nickel Hinges	1	15.38	\$15.38
Set Double Sidelites 14" Wide S2000SL Full Lite w/Clear Glass	1	1,218.41	\$1,218.41
Black Aluminum Clad Frame w/Primed Dura-Frame Interior (Continuous Head/Sill w/Wide Mull Posts) - 6-9/16" Jamb w/Slim Line Exterior Trim (Applied)	1	1,115.34	\$1,115.34
Bronze Compression Weatherstrip	1	0.00	\$0.00
Tru-Defense Adjustable - Bronze w/Dark Cap Sill (Continuous)	1	73.07	\$73.07
PREFINISH: Paint Door & Sidelite Panels Interior & Exterior FRONTLINE BLACK (TRADE MATCHED TO FRONTLINE CLADDING COLOR)	1	710.74	\$710.74
Tru-Loc (installed)	1	0.00	\$0.00
<b>Item Total</b>			<b>\$4,002.91</b>

Distributed by:



Version #: 7.80-O

Version Date: 6/23/2025

## Preston Feather - Harbor Springs

Address: 8600 Moeller Drive  
Harbor Springs, MI 49740  
Harbor Springs, MI 49740  
Phone: 231-348-2990

Website: www.prestonfeather.com  
Email: aherman@prestonfeather.com

### Customer Information

<b>Name:</b>	Leshon Pierson
<b>Address:</b>	
<b>Phone 1:</b>	
<b>Phone 2:</b>	
<b>Fax:</b>	
<b>Contact:</b>	

**Job Name:** Pierson

### Specifications

U.D. = 74-3/16" x 81-5/8"; R.O. = 74-15/16" x 82"

O.M. of Exterior Trim = 74-3/16" x 81-5/8"



Section X, Item.

Page 3 of 3

**Quote Number:** 8773

**Date:** 7/16/2025

**Sales Person:** Andy Herman



Image is viewed from Exterior!

Lead Time: Stock (Call to verify)

**Comment:** 102 - Great Room

Item Description	Qty	Price	Extended
6' 0" x 6' 8" S2200 3/4 Lite 1 Panel Smooth-Star - Flush Glazed Fiberglass Double Door w/White Aluminum Astragal w/Clear Glass - Left Hand Inswing (Tru-Guard Composite Edge)	1	1,818.39	\$1,818.39
2-3/4" Backset - Double Bore (2-1/8" Dia. Bore w/Standard 5-1/2" Spacing) w/Mortised Edge Latch Preps w/Deadbolt Small Prep 1" x 2-1/4" Strike Prep	1	10.77	\$10.77
Set of T/T Ball-Bearing - Black Nickel Hinges	1	30.77	\$30.77
Black Aluminum Clad Frame w/Primed Dura-Frame Interior - 6-9/16" Jamb w/Slim Line Exterior Trim (Applied)	1	549.21	\$549.21
Bronze Compression Weatherstrip	1	0.00	\$0.00
Tru-Defense Adjustable - Bronze w/Dark Cap Sill	1	75.38	\$75.38
PREFINISH: Paint Door Panels Interior & Exterior FRONTLINE BLACK (TRADE MATCHED TO FRONTLINE CLADDING COLOR)	1	650.74	\$650.74
Tru-Loc (installed)	1	10.77	\$10.77
<b>Item Total</b>			<b>\$3,146.03</b>

**Order Sub Total:** \$10,610.34

**Tax:** \$636.62

**Order Total:** \$11,246.96

Distributed by:



Version #: 7.80-O

Version Date: 6/23/2025



# Landmark<sup>®</sup> PRO

The Expert's Choice

Section X, Itema.

**certainteed**  
SAINT-GOBAIN



Landmark PRO, shown in  
Max Def Driftwood

  
SAINT-GOBAIN

# Introducing More Value



Landmark® PRO is designed specifically for the professional roofing contractor that takes pride in providing more to their customer.

## Landmark PRO improves upon the reliable CertainTeed Landmark shingle.

We started by adding more weathering asphalt to the industry's toughest fiberglass mat to provide more protection. Then we incorporated our Maximum Definition color blend technology to give the product more vibrancy on the roof. Included is the proven performance of our **NailTrak®** feature, enabling faster installation.

Landmark PRO offers the industry's strongest warranty. Protecting your reputation and safeguarding homeowners from manufacturing and aesthetic defects.

### LANDMARK PRO STANDARD WARRANTY

- Lifetime Limited Warranty
- 10-years of SureStart™ protection
- 15-year 110 MPH wind warranty (Upgrade to 130 MPH available. CertainTeed starter and CertainTeed hip and ridge required.)
- 30-year **StreakFighter®** algae resistance warranty

Add it all up and what you get is the opportunity to offer a lot of additional value for the money... and today that means more than ever.

## Landmark® PRO



### Landmark PRO specifications:

- Premium Max Def color palette
- **NailTrak®** for faster installation
- Lifetime limited warranty
- 30-year **StreakFighter®** algae resistance
- 10-year SureStart protection includes:
  - Materials, labor, tear off and disposal cost
- 15-year 110 MPH wind warranty with upgrade to 130 MPH available
- **UL 2218 Class 3 Impact Rated**



## Landmark®



### Landmark specifications:

- Traditional color palette
- **NailTrak®** for faster installation
- Lifetime limited warranty
- 25-year **StreakFighter®** algae resistance
- 10-year SureStart protection includes:
  - Materials and labor costs
- 15-year 110 MPH wind warranty with upgrade to 130 MPH available
- **UL 2218 Class 3 Impact Rated**





LANDMARK® PRO COLOR PALETTE



Silver Birch



Max Def Mojave Tan



Max Def Resawn Shake



Max Def Cobblestone Gray



Max Def Colonial Slate



Max Def Weathered Wood



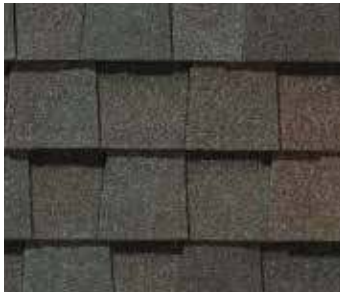
Max Def Georgetown Gray



Max Def Driftwood



Max Def Pewter



Max Def Heather Blend



Max Def Shenandoah



Max Def Burnt Sienna



Max Def Espresso



Max Def Moiré Black



Max Def Charcoal Black



Max Def Coastal Blue



Max Def Red Oak



Max Def Evergreen



Scan code for more information

Max Def Colors

Look deeper. With Max Def, a new dimension is added to shingles with a richer mixture of surface granules. You get a brighter, more vibrant, more dramatic appearance and depth of color. And the natural beauty of your roof shines through.

NOTE: Due to limitations of printing reproduction, CertainTeed can not guarantee the identical match of the actual product color to the graphic representations throughout this publication.

# StreakFighter®

## Algae Resistance

The ultimate in stain protection.

Those streaks you see on other roofs in your neighborhood? That's algae, and it's a common eyesore on roofing throughout North America. CertainTeed's **StreakFighter** technology uses the power of science to repel algae before it can take hold and spread.

**StreakFighter's** granular blend includes naturally algae-resistant copper, helping your roof maintain its curb appeal and look beautiful for years to come.

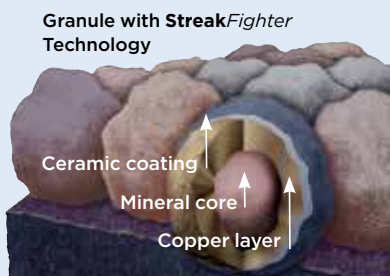


Diagram for illustrative purposes only.

# NailTrak®

## Fast, Accurate, Visible

The new and improved **NailTrak** nailing line, a feature on CertainTeed designer shingles.

Now **NailTrak** is brighter than ever before, with high-visibility lines that stand out whether it's daybreak or dusk.

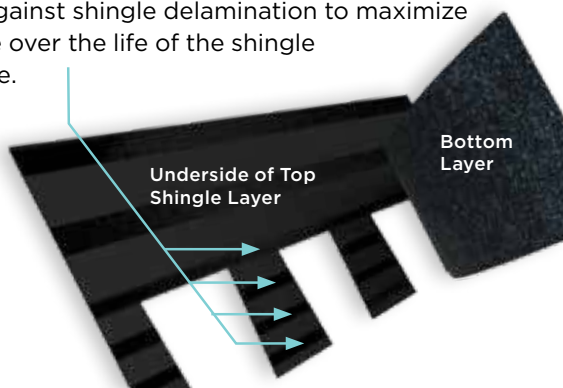
**NailTrak** removes the guesswork with three separately defined lines, creating a large area to guide your nailing and a smaller area for extreme steep-slope applications.



# QuadraBond®

## Advanced Layering

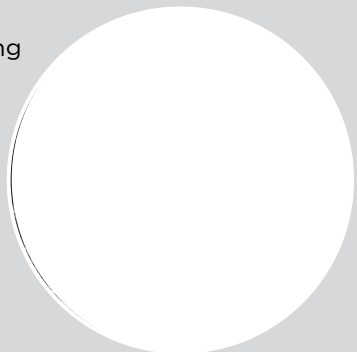
CertainTeed's specially formulated adhesive adheres shingle layers at four points, more than any other manufacturer. This superior bond provides greater protection against shingle delamination to maximize performance over the life of the shingle in any climate.



# CertaSeal®

## Uplift Protection

**CertaSeal®** is a fast-activating modified asphalt sealant with a 20-year record of proven performance. Designed to seal shingles together upon installation, it protects roofs from wind uplift and shingle blow-off so that homes stay safe and dry. It's also engineered to remain flexible after installation, unlike harder sealants that can dry out and crack over time.



## Integrity Roof System™

Insist upon the Integrity Roof System™ and get the ultimate in roof performance.

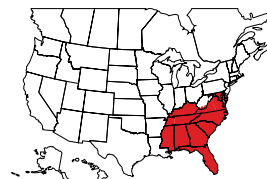
learn more at:

[certainteed.com/roofing](http://certainteed.com/roofing)



Read our blog

Landmark® PRO available in areas shown



### CertainTeed

Ceilings • Gypsum • Insulation • Roofing • Siding • Trim  
20 Moores Road, Malvern, PA 19355 | 800-233-8990 | [certainteed.com](http://certainteed.com)

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## Unit Features

Elevate Double Hung: ELDH

Elevate Double Hung Picture: ELDH P

~~Elevate Double Hung Transom: ELDH TR~~

~~Elevate Double Hung IZ3: ELDH IZ3~~

~~Elevate Double Hung Picture IZ3: ELDH P IZ3~~

For applicable certification and code information, refer to the Introduction and Product Performance chapter.

### Frame and Sash:

- The frame and sash exteriors are made of Ultrex® and meets all the requirements of AAMA 624-10.
- Exterior colors: ~~Stone White, Pebble Gray, Bronze, Cashmere, Gunmetal, or~~ Ebony. Frame and sash color may be selected independently.
- The interior is non finger-jointed pine, kiln dried to a moisture content of 6-12% at time of fabrication. Water-repellent, preservative treated.
- Interior wood is available as Pine bare wood or factory-applied white, clear, and designer black interior finish. Frame and sash color may be selected independently.

#### Frame:

- Composite frame thickness is 1 9/16", (40). Frame width is 4 9/16", (116). Flat bottom sill with 13 degree bevel. Non finger-jointed pine interior frame liner is applied to all units. Ultrex is .075" (2) thick.

#### Sash:

- Composite sash thickness is 1 17/32" (39). Ultrex is .070" (2) thick.

### Jamb Extension:

- Extension Thickness: 9/16" (14)
- Multiple depths available from 1/8" (3), 1/4"(6), and depths varying between 1/2"(13) and 4"(102) at 1/16" (2) increments
- Maximum jamb depth is 8 9/16". (217)
- 6 13/16" (173) or 6 13/16" (173) jamb extension - factory-applied
- All other jamb depth options are available shipped loose.
- Material: Bare Pine
- Option: factory applied white, designer black and clear lacquer interior finish

### Hardware:

- The balance system is a coil spring block and tackle system, with nylon cord and zinc locking shoe.
- Both sash tilt into the room for cleaning or removal for painting without removing the screen.
- High-pressure zinc die cast check rail lock and keeper.
- Lock employs a cam-lock mechanism.
  - Color: Almond Frost, White, or Matte Black. Optional Bright Brass, Oil Rubbed Bronze, and Satin Nickel.
- Each sash employs spring loaded tilt latches to allow for easy tilting or sash.
- On IZ3 units CN32 widths and wider, two locks are mounted.
- Optional factory applied Window Opening Control Device is available on all sizes. A system consisting of an acetal lever housed in an acetal shell on each stile of the top sash. This device works in accordance to ASTM F2090-10 standard specification for window fall prevention devices with emergency escape.
  - Color: White, Beige, and Black.

### Installation:

- Factory applied folding nailing fin and drip cap system
  - Optional installation brackets for masonry available
  - Optional through jamb installation method with brackets
  - Factory supplied field mulling kits are available for standard assemblies, or 30° and 45° Bay assemblies.
- Recommended method for IZ3 glazed units is installation clips and nailing fin.

## Unit Features Continued

### Glazing:

- Dual-pane units are manufactured with an 11/16" (17) IG with Low E1, E2, E3, or E3/ERS coatings including argon gas or air fill. Clear (uncoated) glass available with air fill only.
  - Tripane not available.
- Tempered glass and/or obscure glass, and California Fire glass (annealed exterior and tempered interior glazing configuration) are available as an option.
- The glazing seal is a silicone bedding on both interior and exterior surfaces utilized in a sandwich style sash.
- STC/OITC values are available for standard 3.1 mm glass thickness.
  - Optional 3.1/4.7 STC/OITC Upgrade glass is available. See the Product Performance chapter for STC and OITC ratings.
- Decorative glass options include glue chip, rain, reed, narrow reed, frost, and tinted (bronze, gray, or green). Decorative glass is not available with Low E1, Low E3/ERS or STC/OITC Upgrade options.

### ~~IZ3 Glazing:~~

- ~~• Optional IZ3 available on selected sizes.~~
  - ~~◦ IZ3 for winds up to 140 miles per hour.~~
- ~~• Glass is laminated insulated Low E2 or E3 Argon, consisting of annealed or tempered glass exterior and laminated glass interior.~~
- ~~• The laminated glass is comprised of two pieces of glass with either a SGP or PVB laminate layer between.~~
  - ~~◦ Interior and exterior glazing compound is silicone, in a sandwich style glazing system.~~

### Weather Strip:

- All units are dual weather stripped.
- All weather strip is beige, black, or white in color.
- Jamb weather strip is a robust foam weather strip that is inserted into a rigid vinyl jamb carrier and used to seal sash to jambs. An additional jamb weather strip is inserted into Ultrex/wood and seals bottom sash to jamb.
- Parting stop is vinyl with a flexible leaf to seal between the header and the upper sash.
- Check rail weather strip is a hollow bulb weather strip attached to bottom of sash.
- Flat foam gasket is used between the jamb and sill.
- Picture and transom units is a hollow bulb weather strip that is inserted into rigid vinyl jamb carrier and head jamb carrier to seal sash. Operator units have a hollow-bulb bottom rail weather strip that seals against the sill.

### Screen:

- Full screen is standard. Half-screen option is available.
- Screen Frame: Aluminum Screen Frame. Option: None
  - Color to match exterior frame color
- Marvin BrightView™, Options: None.
- Spring loaded pins for installation.
- A screen cross bar will be added when Frame OM (height) is equal to or greater than 47 1/2" (1207).

### Interior Jamb Cap:

- Units with Designer Black or White interior finishes are assembled with Interior Jamb Caps and use Jamb Liners with kerfs on the jambs and head jamb.
- Interior Jamb Caps are color matched to the interior finish.



## Unit Features Continued

### Interior / Exterior Simulated Divided Lites (SDL):

- Interior bar: 7/8" (22) wide bars
  - Pine bare wood with optional white, clear, or designer black interior finish
- Exterior bar: 7/8" (22) wide bars Ultrex, finish to match exterior
  - Patterns available: Rectangle, Cottage style cut, 9 lite Prairie cut or 6 lite Prairie for top sash, bottom sash, or both.
- ELDHP Only: Simulated check rail option: 2 11/32" (60).
  - Patterns available: simulated rail in standard center or customer specified location with 7/8" (22) patterns above, below or both in patterns of rectangular equal lite or prairie lite cut.
- SDL is unavailable with rain, reed, and narrow reed decorative glass patterns. Glue chip pattern requires tempered glass. Available for tinted glass without spacer bars only.

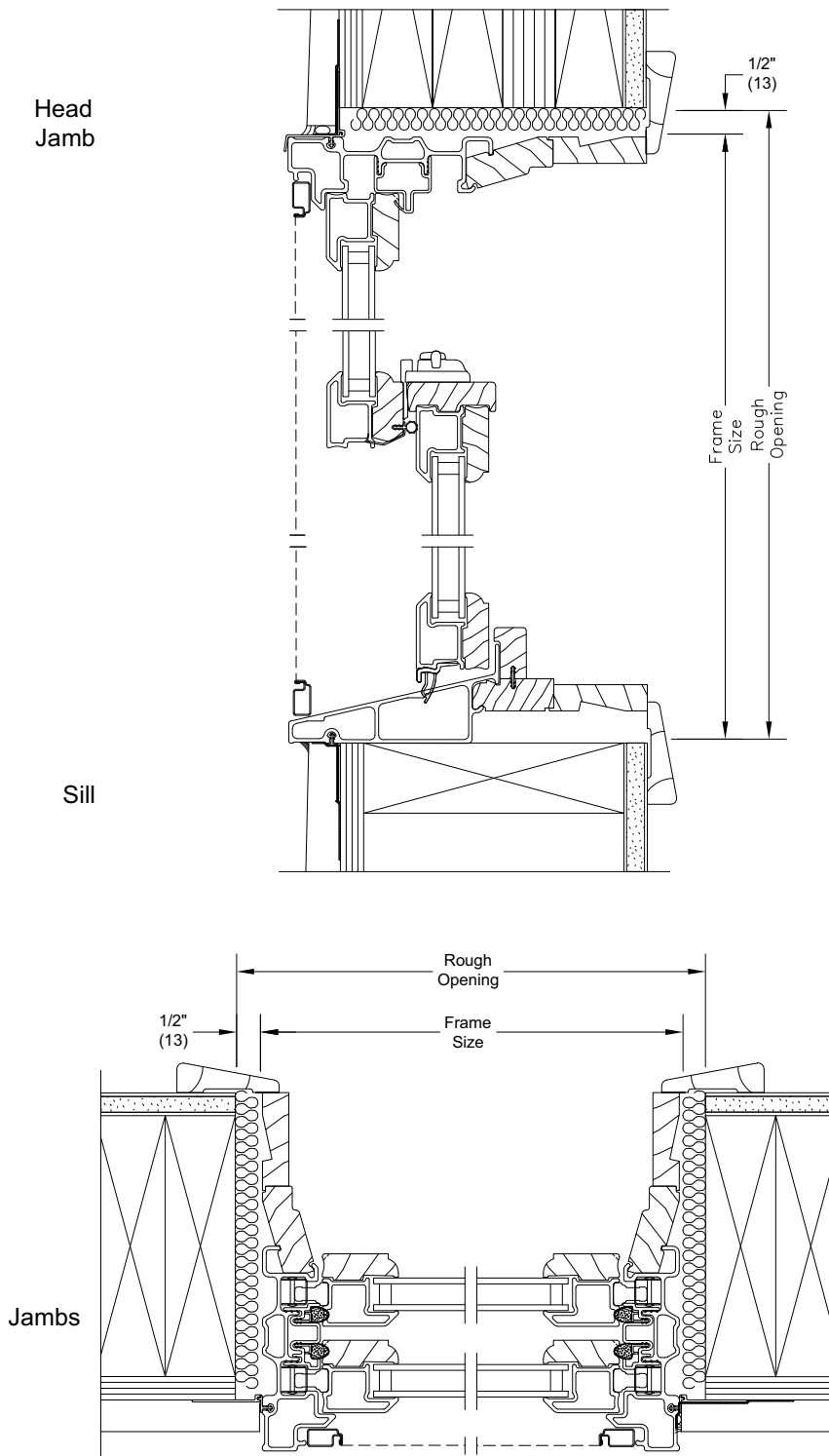
### ~~Grilles Between The Glass (GBG):~~

- ~~• 23/32" (18) contoured aluminum bar placed between two panes of glass~~
- ~~• Pattern: Standard rectangular pattern, 6 or 9 lite Prairie cut, or Cottage style cut~~
  - ~~◦ Exterior colors: Stone White, Pebble Gray, Bronze, Cashmere, Gunmetal, or Ebony~~
  - ~~◦ Interior Colors: White, Bronze or Black~~
- ~~• GBGs are not available on IZ3 units or tinted glass.~~

*NOTE: Direct Glaze Round Top with GBG or SDL will only align with the default lite cut of the unit it is intended to be mulled with.  
NFRC values are now located on [www.marvin.com](http://www.marvin.com).*

## Section Details: Installation Suggestion - Wood Siding With 2x6 Frame Construction

Scale: 1 1/2" = 1' 0"



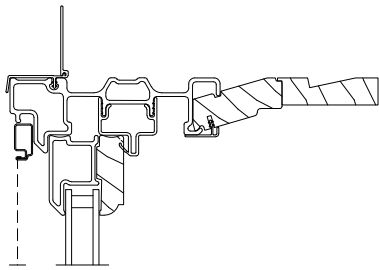
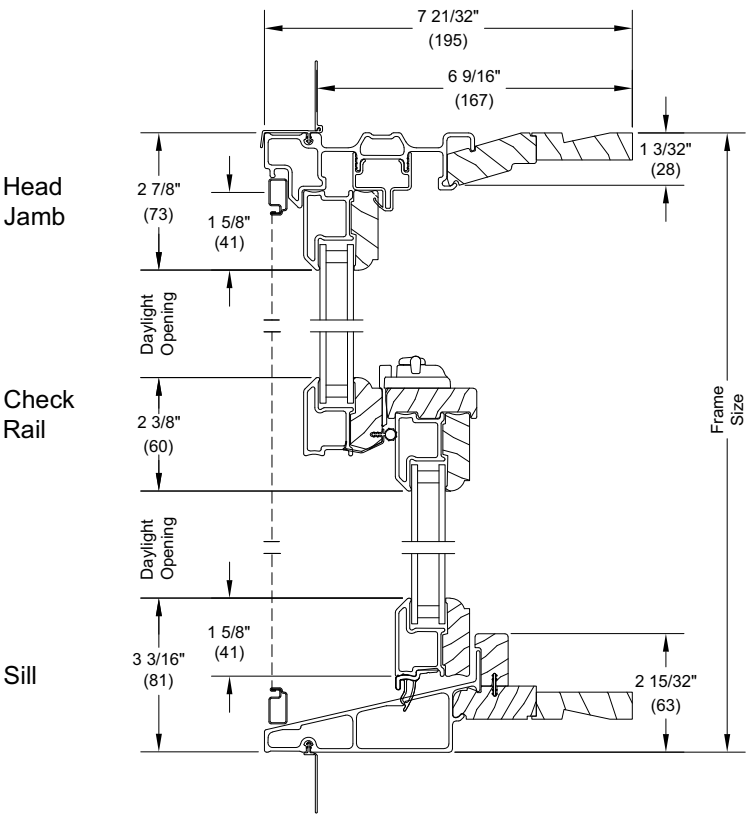
## NOTES:

- The above wall sections represent typical wall conditions, these details are not intended as installation instructions. Please refer to the installation instructions provided with the purchased units.
- Picture unit installation similar. Picture units may require both nailing fin and installation brackets.
- Double Hung unit shown with jamb extension.

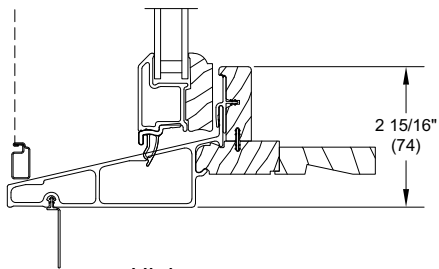


Section Details: Operating - Double Hung (6 9/16" Jambs)

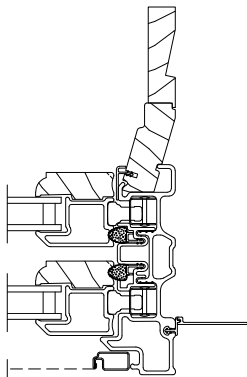
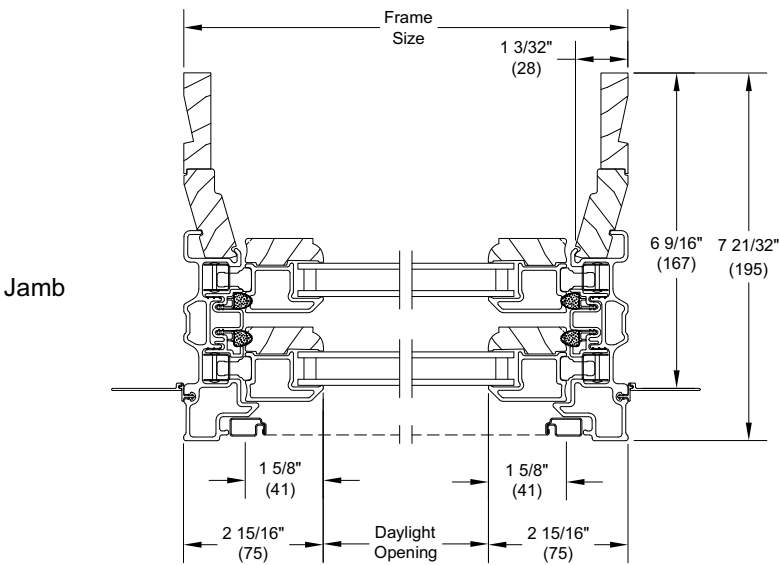
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Head Jamb  
Interior Painted  
Units Only



High  
Performance  
Sill

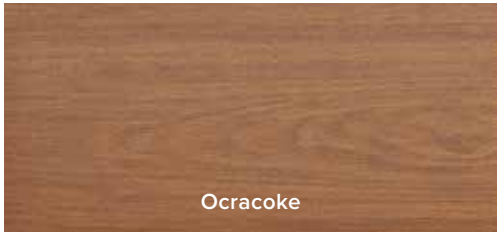


Jamb  
Interior Painted  
Units Only

TrexSignature®

Setting a new standard for style

\$\$\$\$\$ 50 YEARS  ★★★★★

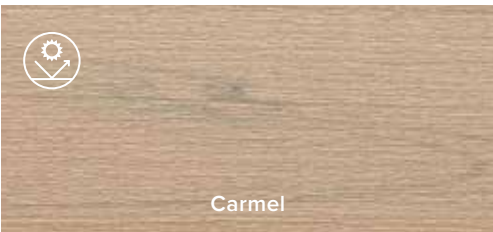
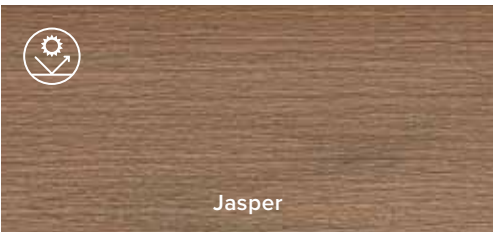


TrexTranscend®

LINEAGE®

Our coolest decking yet

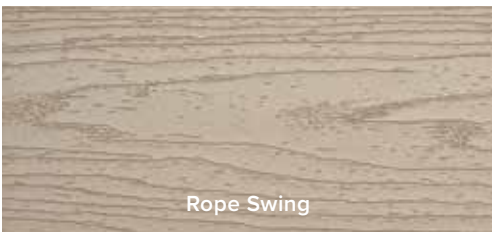
\$\$\$\$\$ 50 YEARS  ★★★★★



TrexTranscend®

Elevated aesthetics from the original high-performance decking

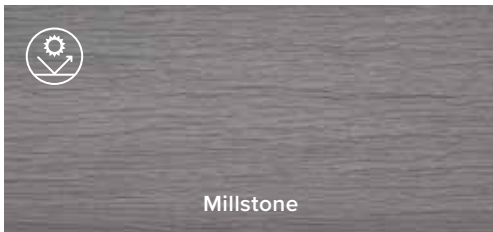
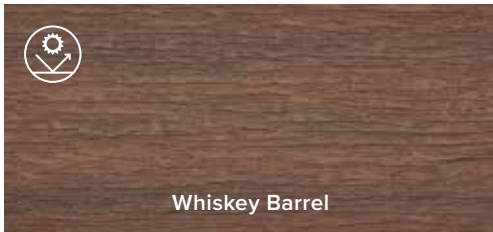
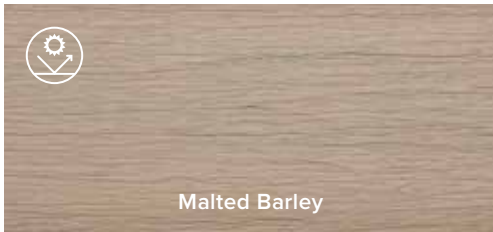
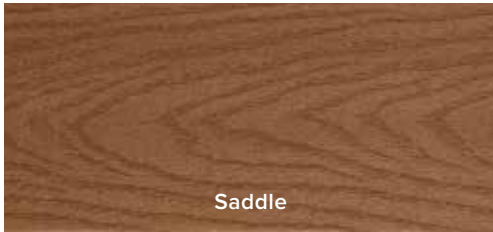
\$\$\$\$\$ 50 YEARS  ★★★★★



TrexSelect®

Nature inspired with minimal maintenance

\$\$\$ 35 YEARS  ★★★

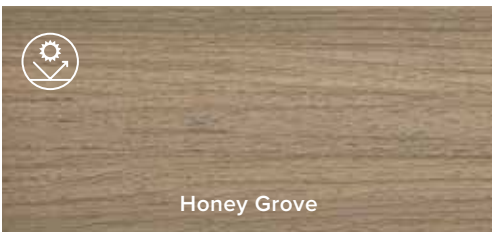
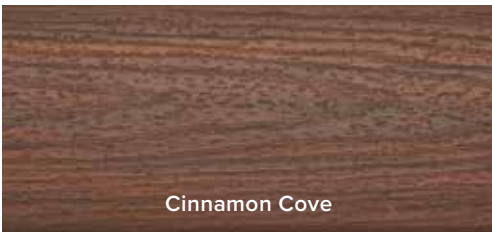
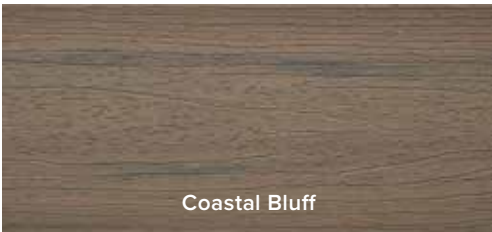


TrexEnhance®

NATURALS

Beauty on a budget

\$ 25 YEARS  ★

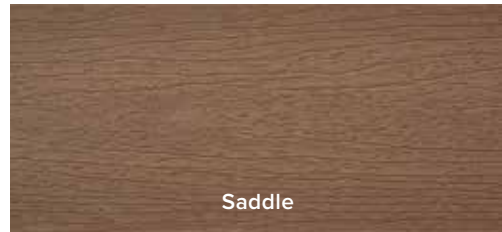
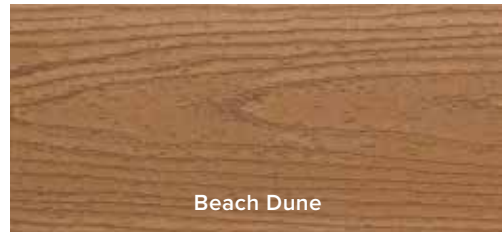
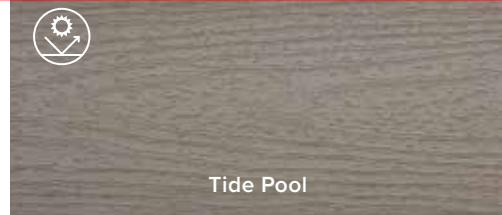


TrexEnhance®

BASICS

A trade up from wood

\$ 25 YEARS  ★



Make the Trex decision that's right for you™

PRICE

\$ - \$\$\$\$\$\$

LIMITED RESIDENTIAL WARRANTY COVERAGE



DECKING SCRATCH RESISTANCE

★ - ★★★★★

HEAT MITIGATING



\*Trex decking with heat-mitigating technology can still get hot to the touch when direct sunlight and high temperatures converge for extended periods of time. We therefore recommend shoes, socks, and pet booties, so that you and yours can enjoy living on your deck as much as we've enjoyed innovating it.

Section X, Itema.

BOARD PROFILES

-  Solid
-  Scalloped

-  Square edge
-  Grooved edge

Use with Trex Hideaway® Hidden Fastening System for a clean, screw-free appearance.



