

CITY OF MACKINAC ISLAND

AGENDA

PLANNING COMMISSION

Tuesday, August 13, 2024 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

II. Roll Call

III. Pledge of Allegiance

IV. Approval of Minutes

[a.](#) July 9, 2024

V. Adoption of Agenda

VI. Correspondence

VII. Staff Report

a. HDC Meeting Summary

b. REU Update

VIII. Committee Reports

a. Master Plan Update

IX. Old Business

[a.](#) MD23-026-085(H) Rose Gazebo Front Deck Amendment

[b.](#) MD23-011-072(H) Lenox Permit Extension Request

[c.](#) R423-051-005 Harbour View Inn Housing Amendment

X. New Business

a. Discussion on pavers and impervious lot coverage

[b.](#) HB24-026-046(H) Harbour View Inn Fire Escape

[c.](#) R324-008-047(H) Doud Benser Mission House Relocation and New Building

[d.](#) HB23-015-033 City of Mackinac Island Forest Way Duplex's

XI. Public Comment

XII. Adjournment

MINUTES

PLANNING COMMISSION

Tuesday, July 09, 2024 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

The meeting was called to order at 4:00 PM.

II. Roll Call

PRESENT

Trish Martin

Jim Pettit

Michael Straus

Anneke Myers

Ben Mosley

Mary Dufina

Lee Finkel

Staff: Erin Evashevski, Dennis Dombroski

III. Pledge of Allegiance

IV. Approval of Minutes

a. June 11, 2024

Motion to approve as written.

Motion made by Dufina, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

V. Adoption of Agenda

Motion to approve as presented.

Motion made by Martin, Seconded by Mosley.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

VI. Correspondence

None

VII. Staff Report

a. HDC Meeting Summary

Peter Olson, HDC member, summarized the July 9, 2024 HDC meeting.

b. REU Update

Burt stated nothing new on REU's. Burt presented pictures of the construction at the water plant. Burt explained that the forms made off island, are now onsite. The flooring has been done and they are now hanging new walls of rebar. There is testing for water leaks in the tanks.

VIII. Committee Reports

Evashevski gave an update on the GFAK special land use. Evashevski is working on the Statement of Findings and Conditions and had a question on bike parking and REU's. Evashevski reached out to Corey Omei to let him know that she was adding those two topics to the statement of findings.

a. Master Plan Update

Myers stated they are working through the chapters. The next meeting is rescheduled to July 22 at 4 pm.

IX. Old Business

a. MIFC Dock Lighting

Straus read the letter aloud from Jerry Fetty, MIFC. Dufina asked if there are new fixtures and Myers stated yes. Dufina asked if the HDC had anything to say about the fixtures and Finkel stated HDC did not. Dombroski would like Evashevski to check for conflicts in the two building and zoning ordinances. Evashevski stated if a fixture could potentially point into another building the zoning ordinance covers that. Evashevski thinks maybe brightness of lights should be reviewed and thinks the current ordinance gives the Commission the right to review. Evashevski agrees that fixtures should be reviewed by the HDC, not zoning. Myers has not heard any further complaints. Myers asked that the letter be included in the Master Plan packet for night sky language. Pereny is to send the letter to Master Plan Committee and Adam Young for reference for any future discussions. Dufina is wondering if planning

should look at chapter 10 that Fetty referred to in his letter. Dombroski stated section 18.04, architectural review, says whole section does not apply to structures in a historic district so the HDC needs to review. Myers thinks out of courtesy the HDC should respond to the zoning letter. Fortino stated she thinks that Neumann and Evashevski were going to look at lighting further. Motion to send another letter to HDC asking for a response to letter the Planning Commission sent them, as to what action they will be taking on fixtures.

Motion made by Myers, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

Motion by Dufina, second by Martin to place letter on file. All in favor. Motion carries.

b. R123-066-103(H) Callewaert Shed

Dombroski stated the shed is now 7' from both property lines. Myers noted there is no dimension to the house. Dombroski stated it is a long ways from the house, no where near 10' from house. Straus confirmed this meets the setback requirements. Dombroski stated the shed has already been moved to new setback. Motion to approve contingent on dimension from the house noted on site plan.

Motion made by Myers, Seconded by Finkel.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

c. Grand Hotel Facade Restoration Update Phase 3 - Gene Hopkins

Gene Hopkins shared his screen to provide an update on the facade work. Hopkins stated that when approved two years ago a yearly update on progress was required by zoning. Hopkins provided a Phase 2 update. Hopkins stated they are trying to bring back character defining features that have been lost over the years. The west eyebrow, east facade, 6 new columns were replaced because they were beyond repair, steel was added to columns that did not have steel, they restored the 300 level, and the enclosure on the east side was restored. Great progress has been made. Hopkins then summarized phase 3 as refinish west area, repair ceiling on west side, central stair, finish 18 more columns on east porch, lower lobby entrance around the doors, and lower lobby under porch minor repairs. Hopkins then stated the key thing is the porch deck. We are going to do a mock up on the east end and build in one or two prototypes to see how it will hold up in the winter. Then they will do the rest of porch in type they pick. Finkel asked if they have looked at the old deck from 1897. Hopkins stated there is original deck on the east that has not been exposed in the last 33 years. Hopkins stated that Jurcak is trying to get a "woodish" product. Dufina asked about columns that were not used. Were you able to do anything with them? Hopkins stated the hotel still has them and some of the samples

were cut up in to small pieces and gave each attendee a piece. They are also on display in the hotel. Jurcak stated they will be doing some other things with them.

d. C23-083-019(H) Gatehouse Amendment

Hopkins stated this is a modification of the original approved plan. They are leaving the chimney and doors. The awning will go on both sides of fireplace that will go over the doors. Everything else is the same. Some of the metal fencing will be replaced. The lights on the patio will be replaced. There will be some maintenance repairs on the siding. Hopkins stated that a new trash enclosure in the back is proposed. There is a water line that has not been marked yet and snow removal questions so they need to make sure in the right spot. Jurcak stated the trash area they would like to build in season, not wait until after season. Myers stated they can work with Dombroski on the placement. Jurcak stated they will also be speaking with the Service Company. Finkel confirmed no changes to back of Gatehouse. Motion to approve amendment with the addition of trash enclosure placement to work with Dombroski for placement to fit the DPW and Service Company's needs.

Motion made by Myers, Seconded by Mosley.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

X. New Business

None

XI. Public Comment

Dombroski introduced David Lipovsky, the new Building Inspector that will eventually be replacing Dombroski.

XII. Adjournment

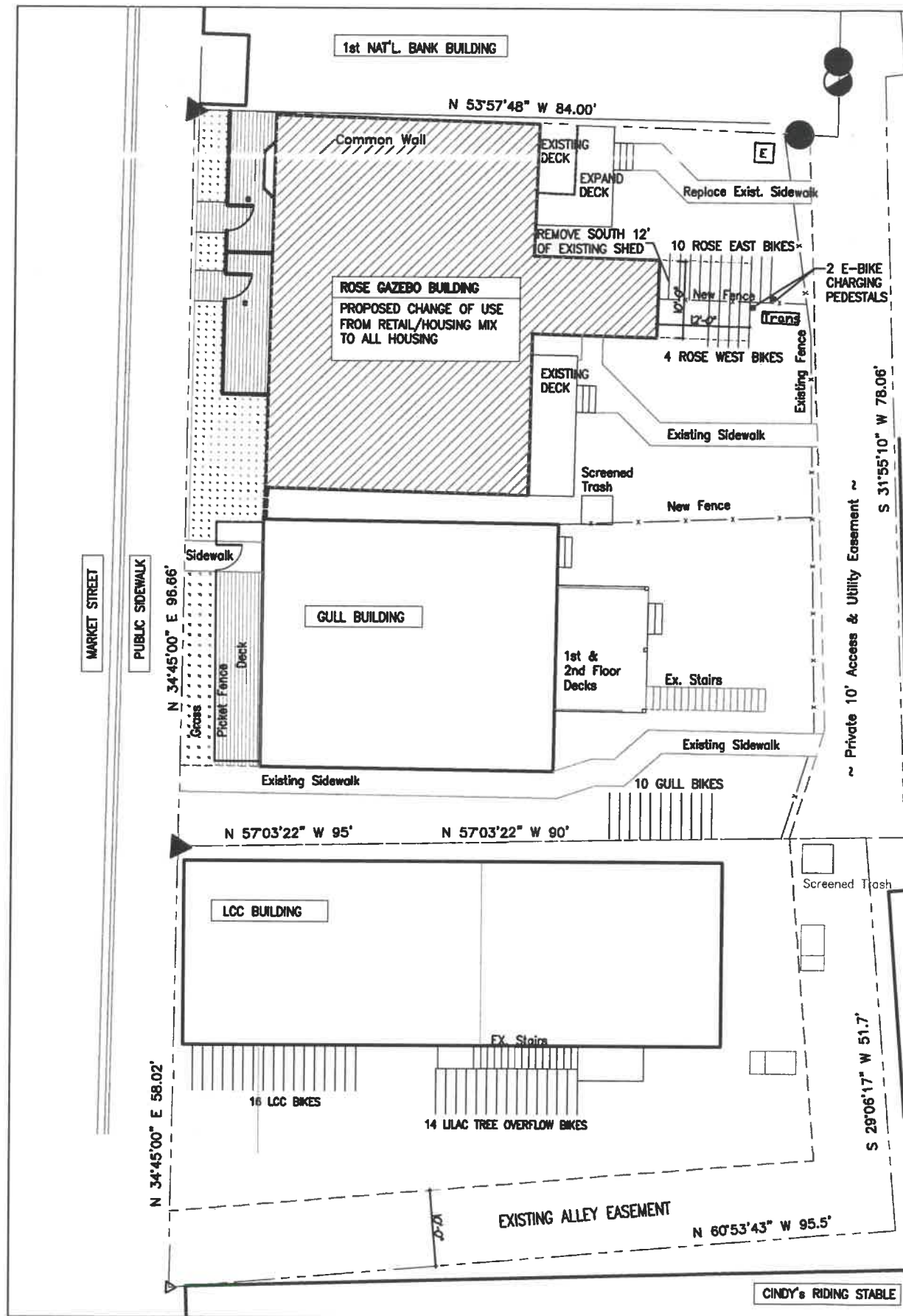
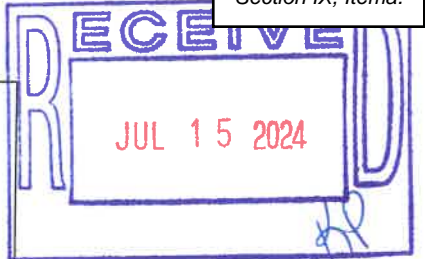
Motion to adjourn the meeting. The meeting was adjourned at 5:01 PM.

Motion made by Mosley, Seconded by Pettit.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

Michael Straus, Chair

Katie Pereny, Secretary



ZONING INFORMATION: DISTRICT: MD
SITE PLAN INFORMATION BASED ON A SURVEY BY NEIL E. HILL, P.S. #27447, ST. IGNACE, MICHIGAN.

CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN
PROPERTY # 051-550-026-00

LOT AREA: 8,945 SQUARE FEET (0.20 ACRES)
NO CHANGE TO HEIGHT.

LOT COVERAGE:
ROSE BUILDING STOR. AREA REMOVED = -120 Sq. Ft.
GULL FRONT DECK AREA REMOVED = -112 Sq. Ft.
ADDED REAR ROSE DECK AREA = +85 Sq. Ft.

ADDED FRONT ROSE DECK AREA = + 70 Sq. Ft.
REMOVED FRONT ROSE DECK AREA = - 70 Sq. Ft.

NET CHANGE TO LOT COVERAGE = 147 Sq. Ft. REDUCTION

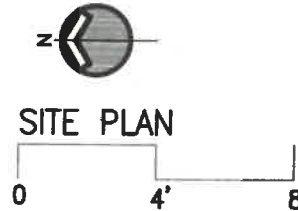
ALLOWABLE DENSITY = 1 OCCUPANT per 500 S.F. OF SITE AREA.
8,945 S.F. / 500 = 17 OCCUPANTS ALLOWED.

PROPOSED DENSITY:

- 2 OCCUPANTS AT 1st FLOOR GULL BUILDING
- 2 OCCUPANTS AT 2nd FLOOR GULL BUILDING
- 2 OCCUPANTS AT EXISTING UNIT IN ROSE BUILDING
- 2 OCCUPANTS AT PROPOSED UNIT IN ROSE BUILDING
- 8 OCCUPANTS TOTAL

PROJECT ADDENDUM:

REMOVE 10' EXISTING WOOD DECK WHICH IS ADJACENT TO THE PUBLIC SIDEWALK, REPLACE w/ 4' OF GRASS LAWN, REBUILD 6' OF EXISTING DECK w/ NEW 3"x6" TREATED DECKING. BUILD PICKET FENCE w/ 2 GATES FOR PRIVACY AT EDGE OF DECK.



File No. MD23-026-085(H)
Exhibit W
Date 7.16.24
Initials KP

THEATRE

- Found Property Iron
- △ Found Nail in Conc
- ▶ Set Nail in Conc
- Set Property Iron #27447

MAIN STREET CENTER

Richard Clements Architect, PLLC

15215 Merry Lane
Ocuqec, MI 49759

richardlee1523@live.com

989-370-3681

ROSE GAZEBO

7407 MARKET STREET
MACKINAC ISLAND, MI

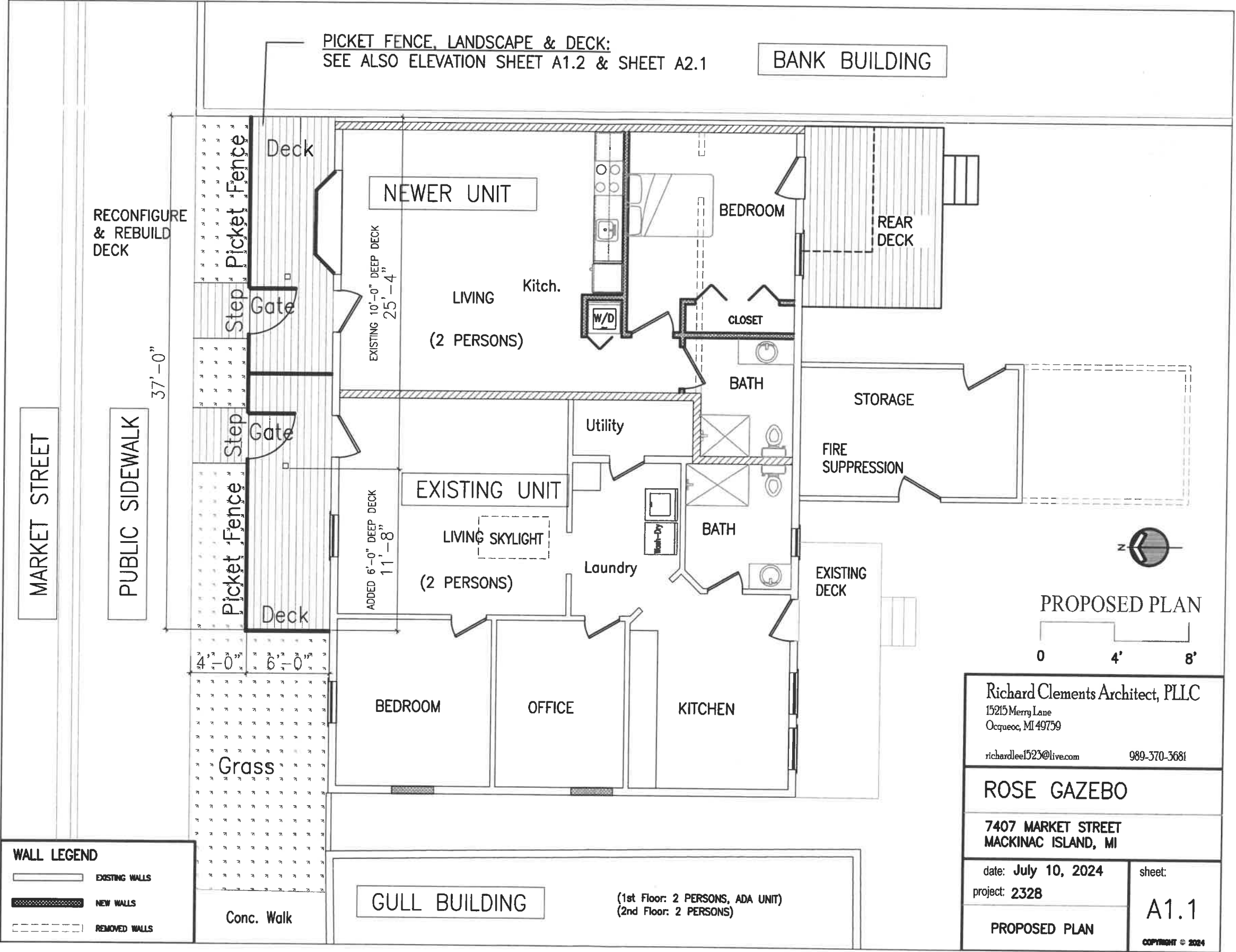
date: July 10, 2024
project: 2328

sheet:

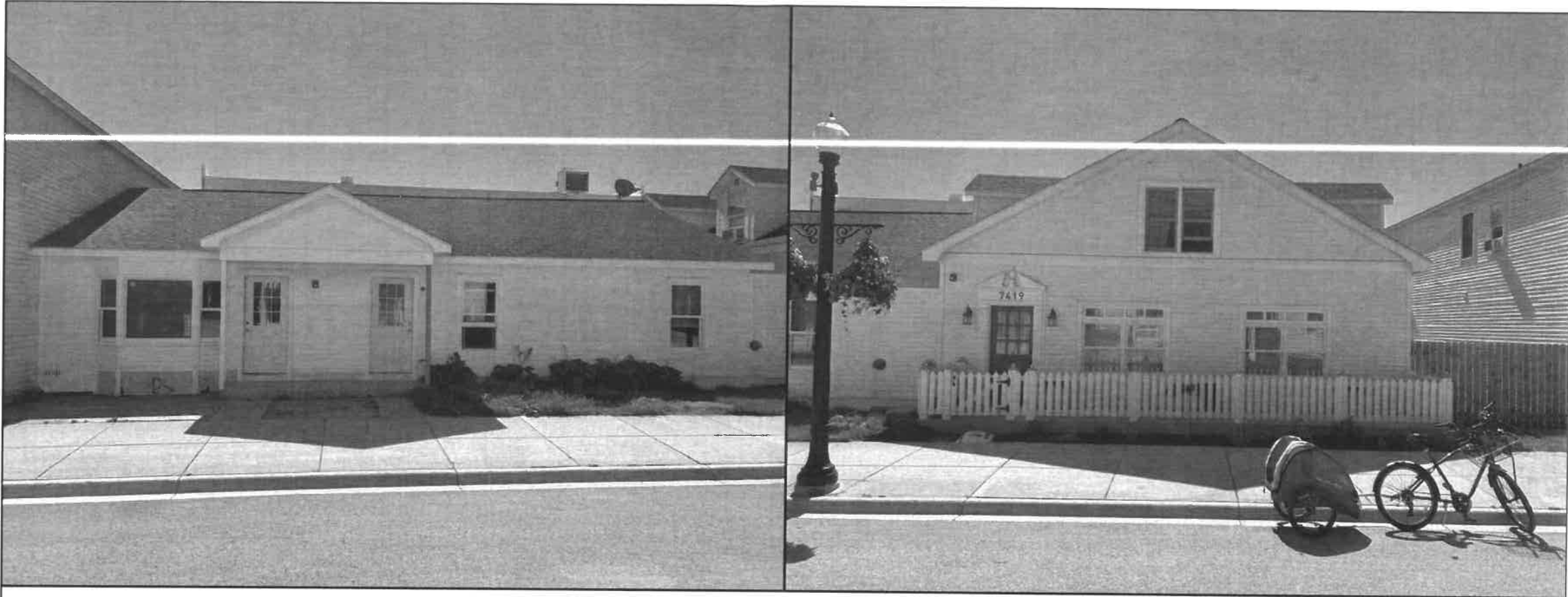
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SITE PLAN

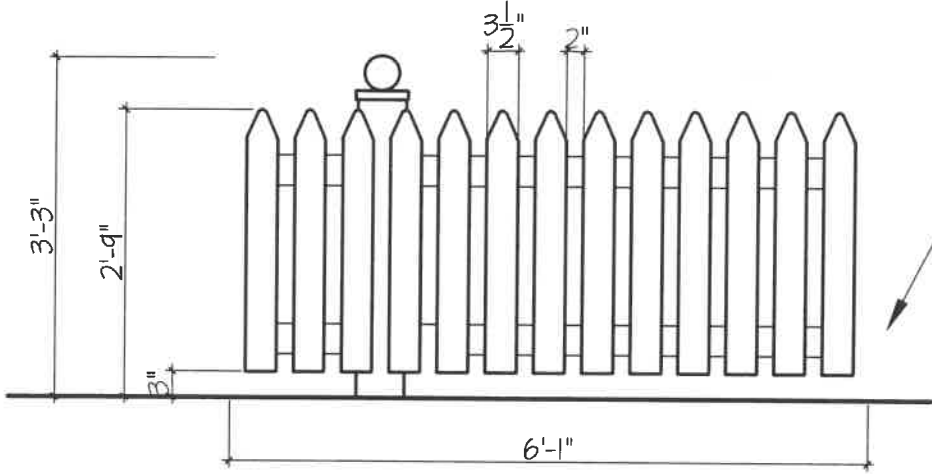






CURRENT STREET VIEW OF ROSE GAZEBO

CURRENT STREET VIEW OF GULL BUILDING



PICKET FENCE CONSTRUCTION:
1x4 CEDAR PICKETS w/ 2" SPACING PAINTED WHITE
4x6 CEDAR POSTS PAINTED WHITE

Pro. Picket Fence
SCALE" 1" = 1'-0"



Richard Clements Architect, PLLC 15215 Merry Lane Ocoee, MI 49759 richardlee1523@live.com 989-370-3681	ROSE GAZEBO	date: July 10, 2024 project: 2328	sheet: A2.1
	7407 MARKET STREET MACKINAC ISLAND, MI	PHOTOS	COPYRIGHT © 2024



Mackinac Island HDC,

I am seeking approval to build a new front deck at 7407/7411 Market Street. The deck is necessary to create a barrier between people traveling up and down Market Street and the people who will be calling these apartments home. The new deck will be built to look exactly like the new deck located next door at 7419 Market Street.

Thank you for your time!

Roy Shryock



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

26 July 2024

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
P.O. Box 455
Mackinac Island, MI 49757

Re: **ROSE GAZEBO FRONT PORCH**
Design Review

Dear Ms. Pereny:

I have reviewed the proposed additions at the former Rose Gazebo Building in the Market and Main Historic District.

Find attached the Design Review for the above referenced proposed project.

Should you have any questions, please contact me.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

- c. Richard Clements, Richard Clements Architect
Dennis Dombroski, City of Mackinac Island
Gary Rentrop, Rentrop & Morrison



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

26 July 2024

DESIGN REVIEW

ROSE GAZEBO FRONT PORCH

7407 and 7411 Market Street

Market and Main Historic District
Mackinac Island, Michigan

INTRODUCTION

The proposed project is renovation work on the former Rose Gazebo retail building, at 7407 and 7411 Market Street, in the Market and Main Historic District. The building is a Contributing structure in the district. Exterior and interior renovation work to convert the retail to residential use was previously approved. Now proposed is the addition of front decks and fencing to separate the private residential activity from the immediately adjacent busy public street activity. The deck and fencing would be just like the front deck and fencing next door at the old Gull Building, 7419 Market Street.

This design review is based on City Code Sec. 10-161 "Design Review Standards and Guidelines", of Article V. "Historic District", of the City of Mackinac Island Ordinance No. 443, adopted October 21, 2009. The review standards are those of the Department of the Interior entitled "The United States Secretary of the Interior's Standards for Rehabilitation" and "Guidelines for Rehabilitating Historic Buildings", as set forth in 36 CFR, part 67, as well as the factors set forth in City Code Sec. 10-161(b).

Materials submitted for Review include site plan, floor plans, elevations, and photographs of the existing building, dated 10 July 2024, by Richard Clements Architect.

REVIEW

The Standards for review are the following:

Standard 1 - *"A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment."*

The building use is changed, from commercial retail use to residential apartments.

Rose Gazebo Front Porch Design Review
26 July 2024
Page 2

Standard 2 - *"The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a building shall be avoided."*

The existing character of the property would be retained; actually the proposed porch and fencing would improve the building's front appearance. No historic materials or features would be removed, or spaces altered.

Standard 3 - *"Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historic development such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."*

The proposed porch and fencing additions would not create a false sense of historic development. And the changes would be appropriate.

Standard 4 - *"Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved."*

No previous changes that have achieved historic significance in their own right would be affected.

Standard 5 - *"Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved."*

Distinctive features, finishes, or craftsmanship that characterize the existing building would be maintained.

Standard 6 - *"Deteriorated historical features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence, or structures."*

This standard does not apply to the proposed project.

Standard 7 - *"Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible."*

This standard does not apply to the proposed project.

Standard 8 - *"Significant archaeological resources shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken."*

This standard does not apply to the proposed project.

Rose Gazebo Front Porch Design Review
 26 July 2024
 Page 3

Standard 9 - *"New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size and architectural features to protect the historic integrity of the property and its environment."*

The proposed exterior additions would not destroy historic materials that characterize the property. The new work would be differentiated from the character of the original building, and the changes would be appropriate. The proposed new work would be compatible with the architectural character of the building, and actually improve its appearance.

Standard 10 - *"New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."*

The proposed changes could be removed in the future without impairing the essential form and integrity of the property.

Standards Under Code Sec. 10-161(b)

In reviewing applications, the Commission shall also consider all of the following:

(1) - *The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area.*

The proposed porch and fence additions would not change the significance of the resource, and would improve its relationship to the Market Street neighborhood.

(2) - *"The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area."*

The proposed project additions would result in a more appropriate relationship to the larger resource, and to the district.

(3) - *"The general compatibility of the design, arrangement, texture and materials proposed to be used."*

The proposed additions would be compatible with the building, and enhance its character.

(4) - *"Other factors, such as aesthetic value, that the Commission finds relevant."*

The aesthetic value of the former Rose Gazebo building would be positively enhanced by the proposed exterior renovations.

Rose Gazebo Front Porch Design Review
26 July 2024
Page 4

CONCLUSION

Based on the findings above, the proposed exterior front porch and fence additions at the Rose Gazebo building at 7407 and 7411 Market Street would meet the Standards for review.

END OF REVIEW

Katie Pereny

From: Andy <andy@mict.com>
Sent: Monday, July 29, 2024 3:20 PM
To: Katie Pereny
Subject: Lenox Porch
Attachments: 1 Lenox Porch HD.pdf; 1 Lenox Porch PC.pdf



Katie,

I need to extend the Lenox Porch applications for a year. Can we get them added to the August meetings?

Thanks,

Andy McGreevy
Mackinac Island Carriage Tours
PO Box 400
Mackinac Island, MI. 49757

Cell 906-430-8175

July 29th, 2024

Mackinac Island Planning Commission,

The enclosed update represents a slight redesign of the 7th street employee housing building that received prior approval in the fall of 2023. Further investigation into the project it was decided that the best course of action was to change to a stick built on site design and not do modular units. With the 7th street entrance turn, limited space for building section delivery and a crane setup does not make this site preferred for a successful modular project. With this, the roofline was changed to eliminate some flat roof areas and the junction of the building with the foundation redesigned so that a ramp is no longer necessary. This improved the stairs so they can better fit within the allowed area (not impede into the landscape buffer) and both sides face towards 7th street where all the employee traffic will be coming from. With the change to the stairs the trash and bike racks were both moved to be located on 7th street in an area we feel they will be utilized by the residents. The rear of the building had an additional window added with adjustments to the interior layout. The update has additionally been sent to Neil Hill for the FAA permit.

Respectfully Submitted,

Sam Barnwell

HARBOUR VIEW MACKINAC, LLC

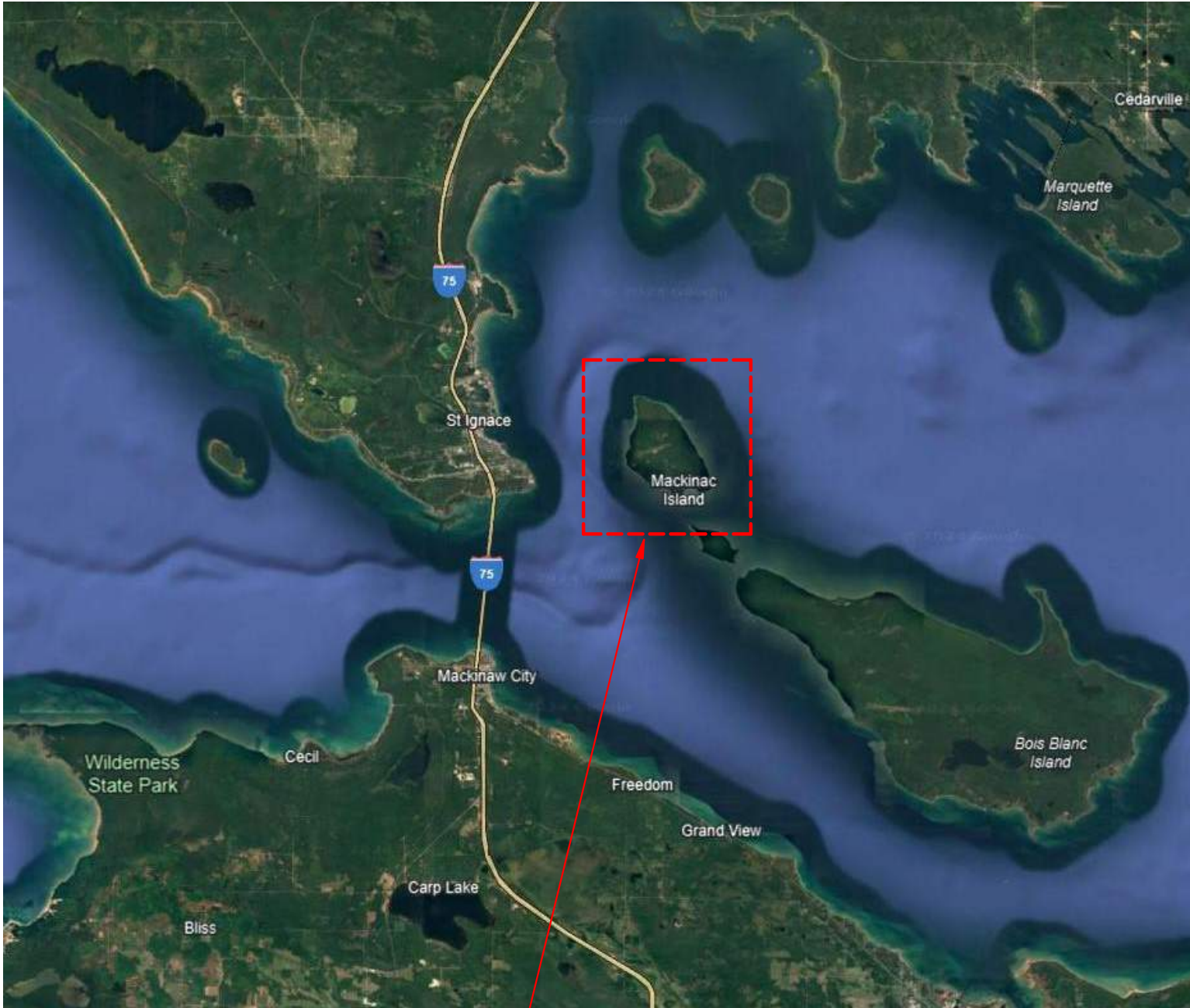
WORK FORCE HOUSING

7596 7th Street

Mackinac Island, MI, 49757

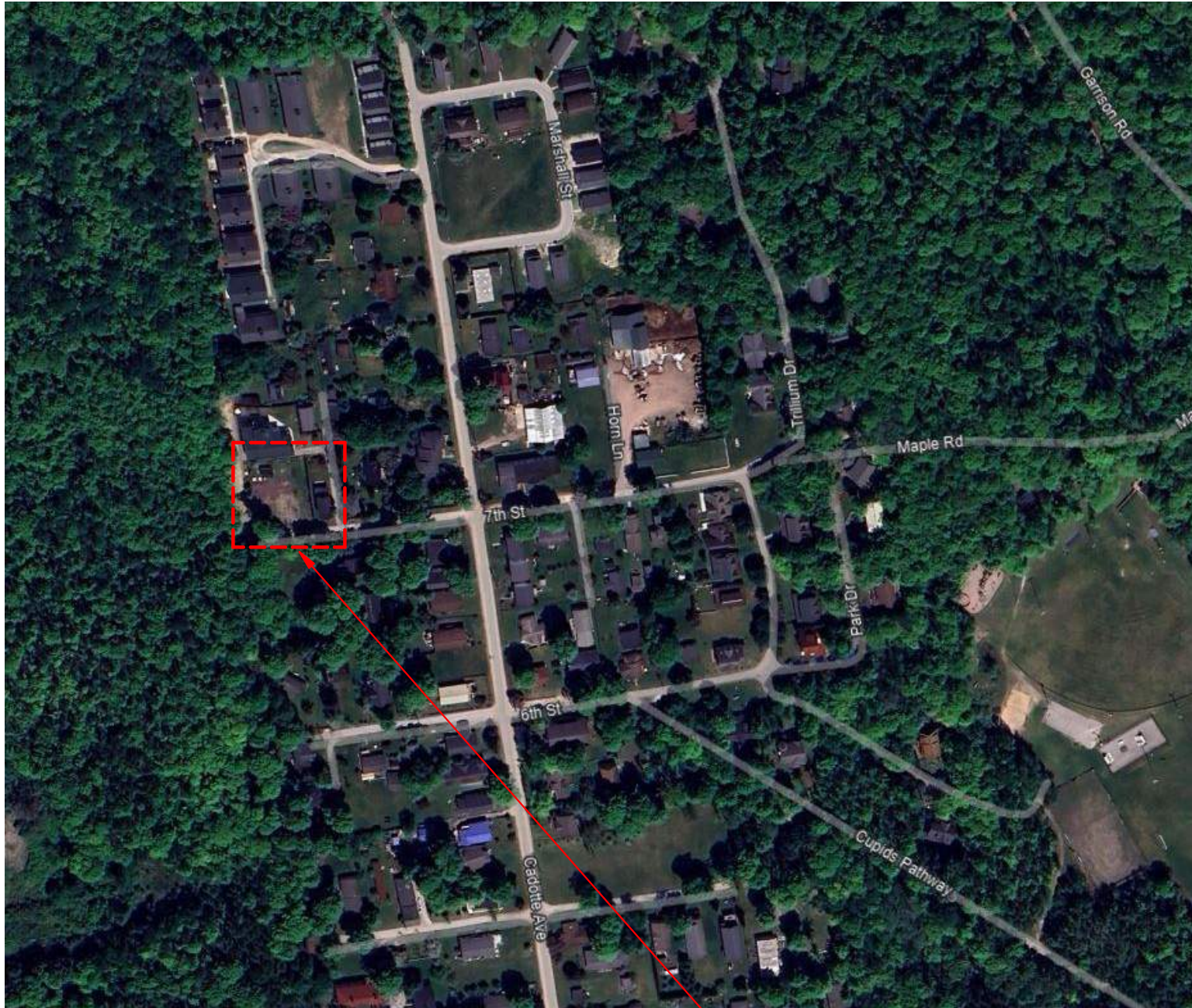


SITE LOCATION MAP



MACKINAC ISLAND, MICHIGAN

SITE AERIAL



7596 7TH STREET, MACKINAC ISLAND, MICHIGAN 49759

SCHEDULE OF DRAWINGS

- GENERAL DRAWINGS
G-001 TITLE SHEET
ALTA SURVEY
- ARCHITECTURAL DRAWINGS
A-001 ARCHITECTURAL SITE PLAN
A-002 ARCHITECTURAL SITE PLAN ENLARGEMENTS
A-101 FIRST FLOOR PLAN
A-102 SECOND FLOOR PLAN
AR-101 ROOF PLAN
A-201 EXTERIOR BUILDING ELEVATIONS
A-202 EXTERIOR BUILDING ELEVATIONS
A-301 BUILDING SECTIONS
A-302 STAIR ENLARGEMENTS & DETAILS
A-410 ENLARGED UNIT PLANS
A-411 ENLARGED UNIT PLANS
A-412 ENLARGED UNIT PLANS
A-901 PERSPECTIVE VIEWS

RELEASE

ENTITLEMENT

DATE OF ISSUE

06/28/2024

ARCHITECT'S PROJECT NUMBER

22407800

LEGAT ARCHITECTS
Design with a Difference

HARBOUR VIEW
MACKINAC, LLC

WORK FORCE
HOUSING

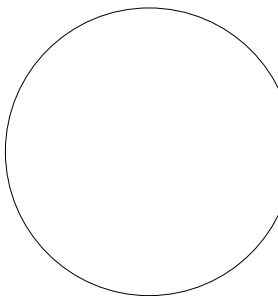
7596 7th Street
Mackinac Island, MI, 49757

ARCHITECT
Legat Architects, Inc.
2015 Spring Rd, Suite 175
Oak Brook, IL 60523
P: (630) 990-3535
www.legat.com

INTERIOR DESIGNER
Senger Design Group
523 South Cascade Ave, Suite B
Colorado Springs, CO 80903
P: (719) 522-1520
www.sengerdesigngroup.com

STRUCTURAL ENGINEER
Pierce Engineers
350 N LaSalle, Suite 1010
Chicago, IL 60654
P: (312) 761-5693
www.pierceengineers.com

CIVIL ENGINEER
OHM Advisors
34000 Plymouth Road
Livonia, MI 48150
P: 734-522-6711
www.ohm-advisors.com



SIGNATURE

DATE

REVISIONS		
NO.	DESCRIPTION	DATE
1	PLANNING REVISION	06/28/24

PROJECT NUMBER 22407800
DATE OF ISSUE 06/28/2024
DRAWN BY Author
REVIEWED BY Checker

TITLE SHEET

G-001
ENTITLEMENT

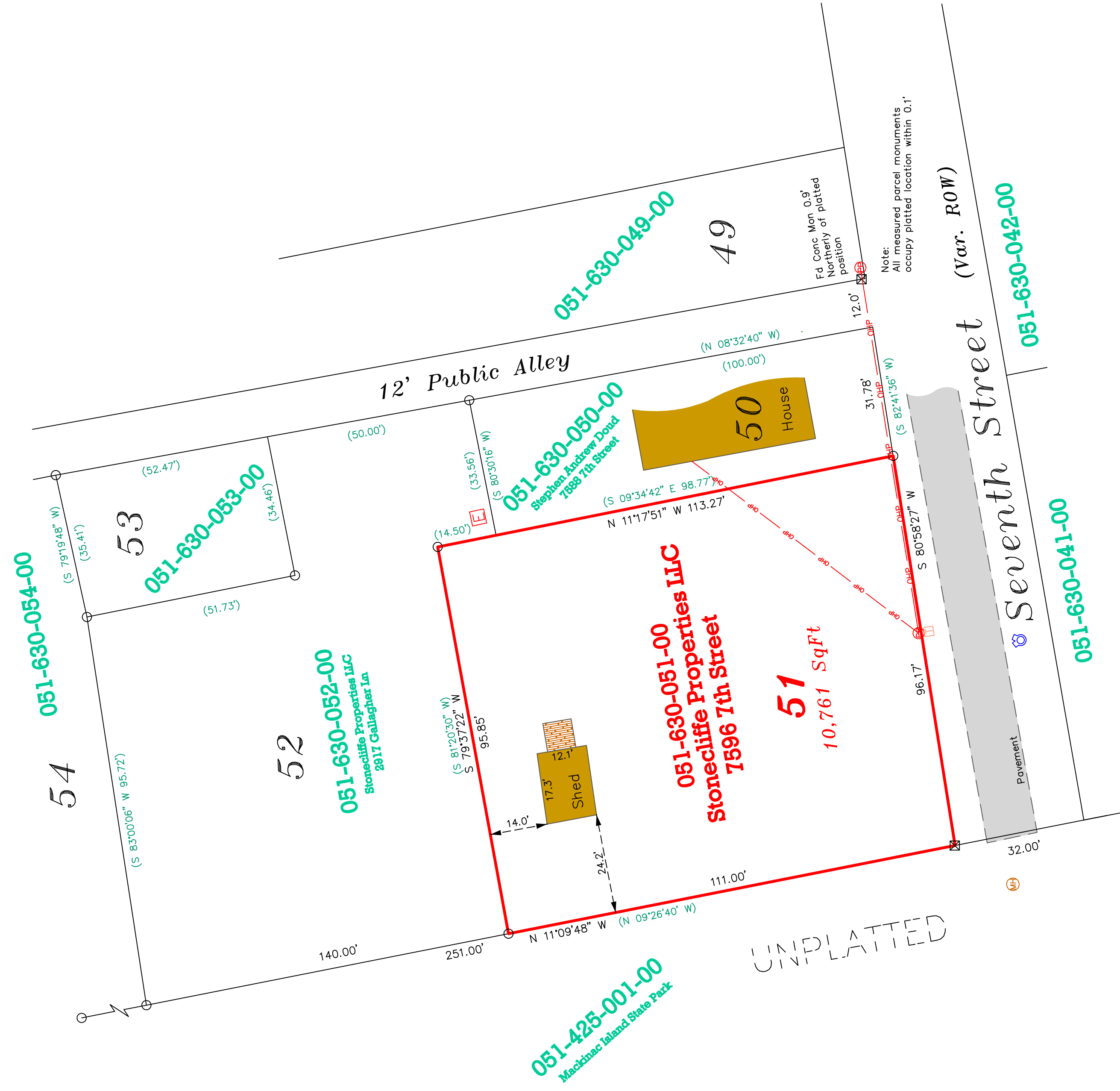
LEGAT ARCHITECTS



PIERCE ENGINEERS
CONSULTING STRUCTURAL ENGINEERS



ALTA/NPS Land Title Survey



Certification:

To: Harbour View Mackinac, LLC, CCHVI, LLC, First National Bank of Michigan & Seaver Title Agency – ATA National Title Group,
Stewart Title Guaranty Company and Corporate Settlement Solutions;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1,2,3,4,7,a,13,16, & 17 of Table A thereof.

Record Legal Description:

Land situated in the City of Mackinac Island, County of Mackinac, State of Michigan, described as:

Lot 51, Assessor's Plat of Harrisonville, as recorded in Liber 4, Pages 84 through 89, inclusive, of Plats, Mackinac County Records.

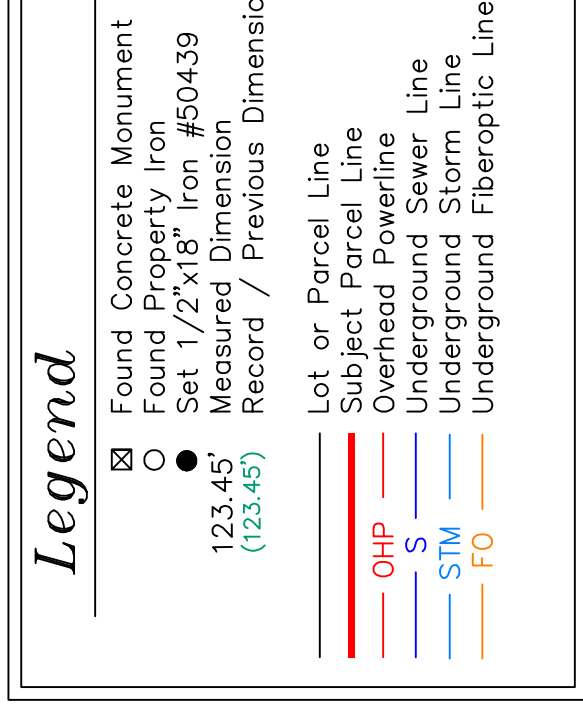
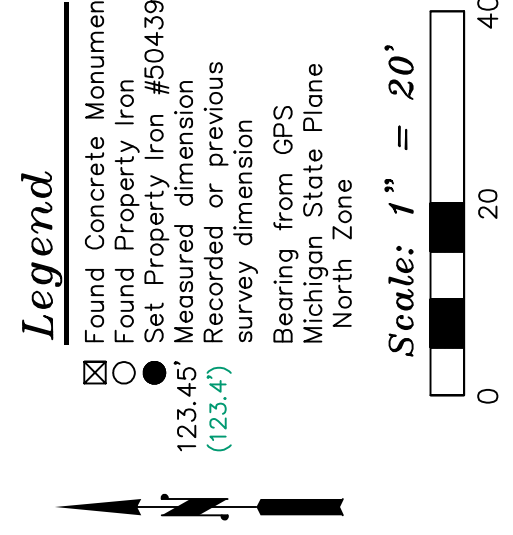
Special Title Exceptions:

Per Schedule B Part II of ATA National Title Group, LLC, Registry ID: No. 1033513, Office File Number 49-23899131-SCM, dated December 11, 2023 at 8:00AM:

Items 1-13 are not graphically plottable on survey.

Notes:

- No regular vehicular access to parcel. Normal access is limited to pedestrian, bicycle & horse carriage.
- According to the FIRM 26097C0982C on www.FEMA.gov this parcel resides in Community No. 260764, with the entirety of the parcel in Zone X, via graphic plotting.
- All utilities are located via visual inspection. No utility marking was performed for this project.
- There was no evidence of recent earth moving work, building construction, or building additions observed.
- The surveyor is unaware of any proposed changes in street right of way lines and there is no evidence of recent street or sidewalk work on subject parcels.

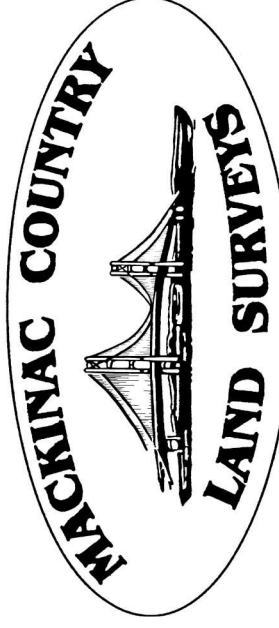


Neil W. Hill P.S.
Professional Surveyor #50439

DATE: 1/31/2024 Rev 3/03/2024

ORDER #: 23110-HVM-51-APH-MI

DRAWN BY: Neil W Hill PS

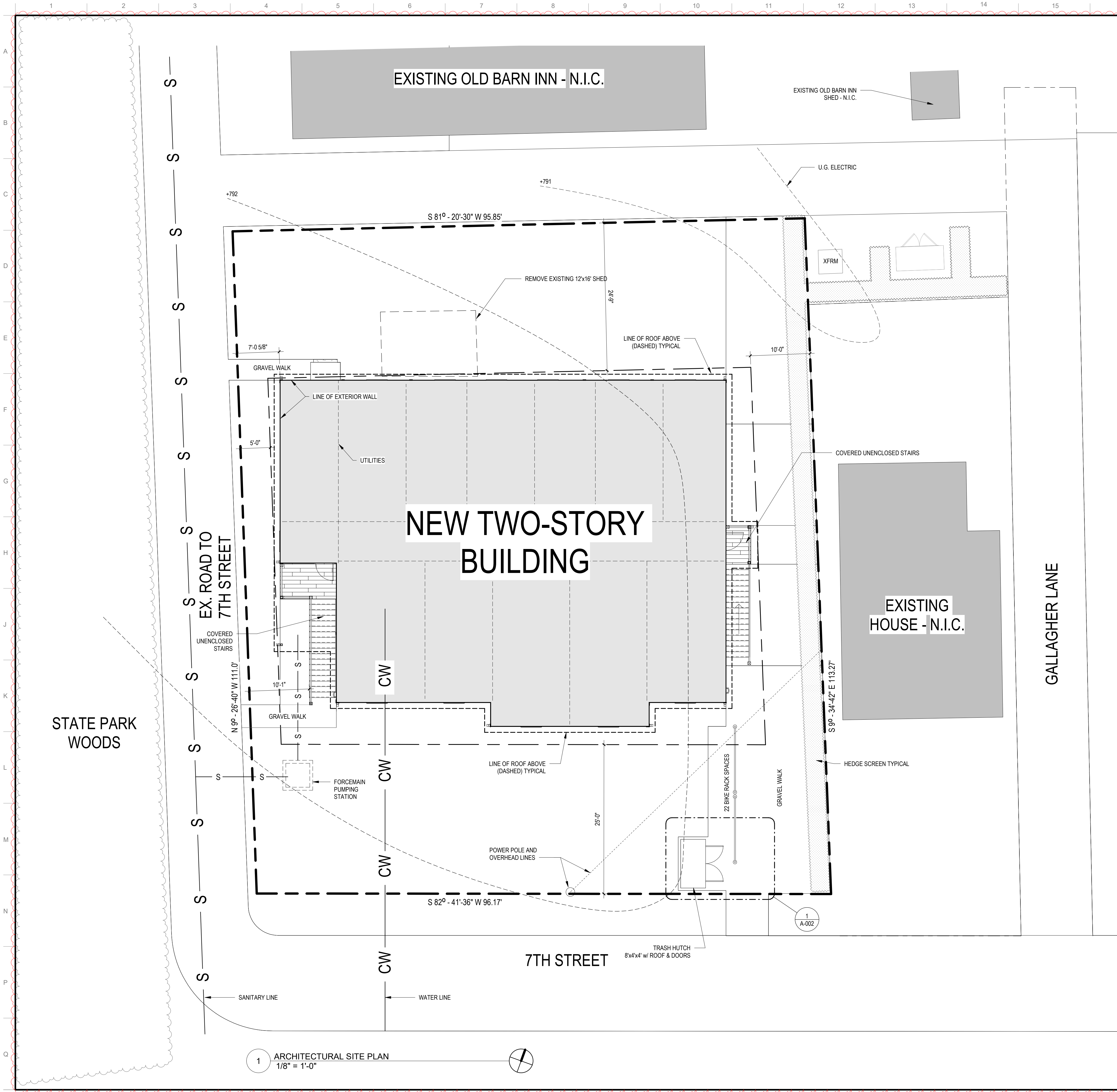


Mackinac Country Land Surveys

429 Ellsworth St. ~ St. Ignace, MI 49781

(906) 643-9418 www.MackinacSurveys.com

Sheet 1 of 1
ALTA Survey



PROJECT DATA

ITEM	ALLOWED	PROPOSED
ZONING:	R-4	NO CHANGE
SITE AREA:	10,761 SF, 0.247 ACRES	NO CHANGE
LOT COVERAGE:	40%, OR 4,304 SF	3,920 SF BUILDING 100 SF CONCRETE STOOPS 4,020 SF TOTAL COVERAGE

SPECIAL LAND USE RESTRICTION DENSITY: 20 OCCUPANTS

15 STUDIO OCCUPANTS
4 ONE BEDROOM OCCUPANTS
19 TOTAL OCCUPANTS

STORMWATER PLAN:
DESIGN CRITERIA:
10 YEAR 24 HOUR RAINFALL = 3.3"
(SOURCE: MDOT MS4 REPORT) = (0.28") = 0.011" / HOUR

INFILTRATION RATE OF SOIL = 0.2"/HR
(SOURCE: USDA) = 0.016"/HOUR X 24 HOURS * 67% = .25' / STORM EVENT

DESIGN STORM VOLUME = 4,020 SF
IMPERVIOUS X 0.28" = 1,125.6 CU. FT.

ABSORPTION AREA OF 26X96' FRONT AND REAR YARDS ADJACENT TO BUILDING = 4,992 SF

STORMWATER ABSORPTION = 4,992 S.F. X 0.25" = 1,248 CU. FT.

STORM VOLUME MINUS ABSORPTION = REQUIRED DETENTION: 1248 CU. FT. > 1,184 CU. FT.

SITE IS ESSENTIALLY LEVEL. STORMWATER WILL BE ABSORBED IN THE LAWN AREAS AROUND THE STRUCTURE.

SITE NOTES:
BICYCLE PARKING IS PROVIDED FOR 22 BICYCLES

TRASH TO BE HELD WITHIN THE TRASH HUTCH ADJACENT TO THE STREET OR IN THE REAR CORNER OF THE SITE AND SET CURBSIDE ON COLLECTION DAYS.

LIGHTING - NO AREA LIGHTING PROPOSED. WALL SCONCE LIGHTING WILL BE PROVIDED AT EVERY EXTERIOR ENTRANCE DOOR.

LEGAT ARCHITECTS
Design with a Difference

HARBOUR VIEW
MACKINAC, LLC

WORK FORCE
HOUSING

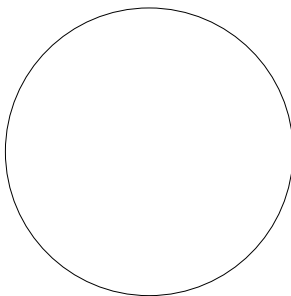
7596 7th Street
Mackinac Island, MI, 49757

ARCHITECT
Legat Architects, Inc.
2015 Spring Rd, Suite 175
Oak Brook, IL 60523
P: (630) 990-3535
www.legat.com

INTERIOR DESIGNER
Senger Design Group
523 South Cascade Ave, Suite B
Colorado Springs, CO 80903
P: (719) 522-1520
www.sengerdesigngroup.com

STRUCTURAL ENGINEER
Pierce Engineers
350 N LaSalle, Suite 1010
Chicago, IL 60654
P: (312) 761-5693
www.pierceengineers.com

CIVIL ENGINEER
OHM Advisors
34000 Plymouth Road
Livonia, MI 48150
P: 734-522-6711
www.ohm-advisors.com



SIGNATURE _____

DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE
1	PLANNING REVISION	06/28/24

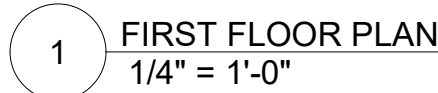
PROJECT NUMBER 22407800
DATE OF ISSUE 06/28/2024
DRAWN BY Author
REVIEWED BY Checker

ARCHITECTURAL SITE
PLAN

1

A-001
ENTITLEMENT

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PROJECT NUMBER	2240780
DATE OF ISSUE	06/28/2024
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A-101
ENTITLEMENT



HARBOR VIEW
MACKINAC, LLC

WORK FORCE HOUSING

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SIGNATURE _____

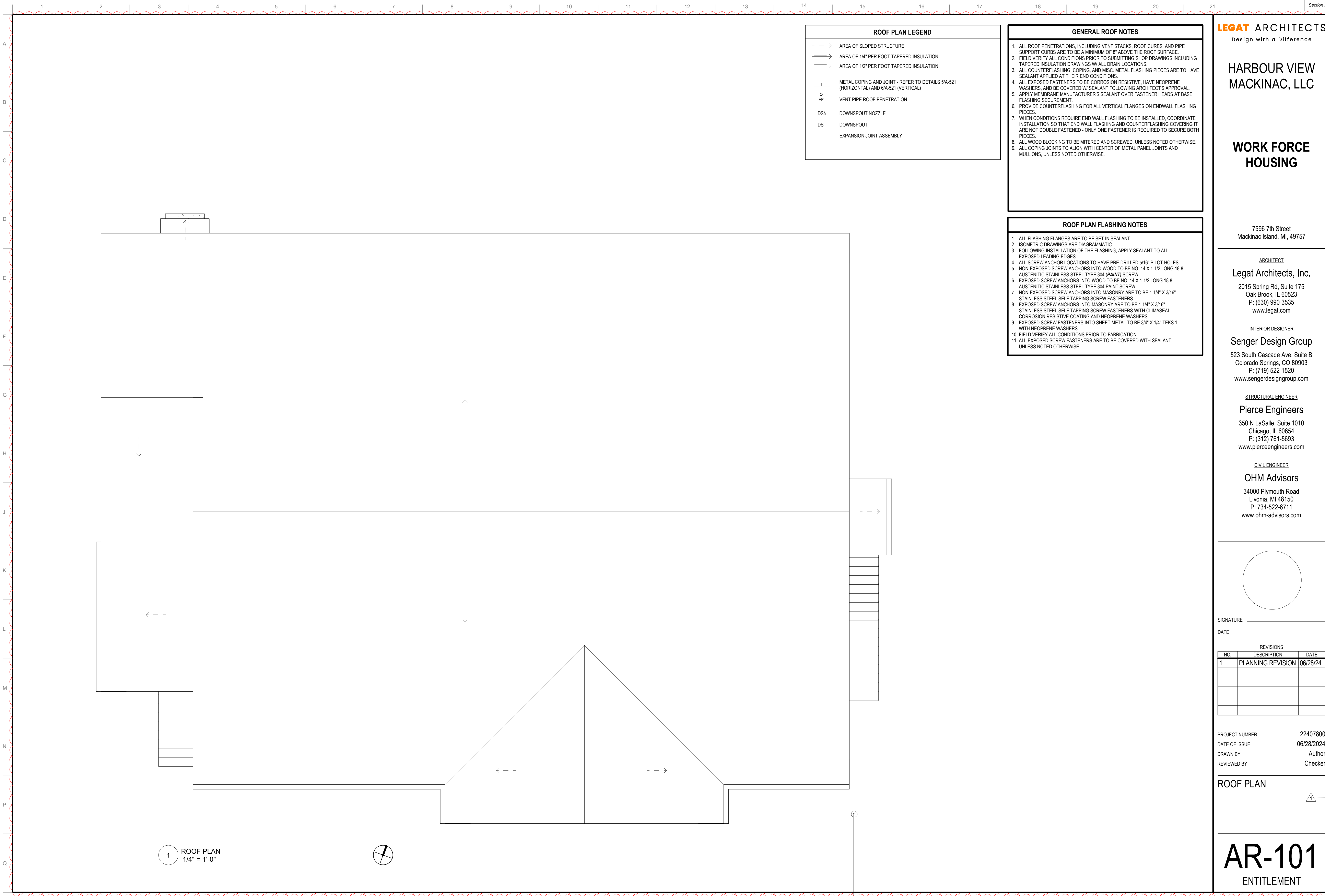
DATE _____

PROJECT NUMBER	22407800
DATE OF ISSUE	06/28/2024
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SECOND FLOOR PLAN

1 _____

A-102
ENTITLEMENT



LEGAT ARCHITECTS
Design with a Difference

**HARBOUR VIEW
MACKINAC, LLC**

WORK FORCE HOUSING

7596 7th Street
Mackinac Island, MI, 49757

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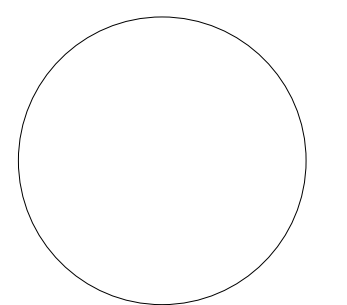
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SIGNATURE

DATE

REVISIONS		
NO.	DESCRIPTION	DATE
1	PLANNING REVISION	06/28/24

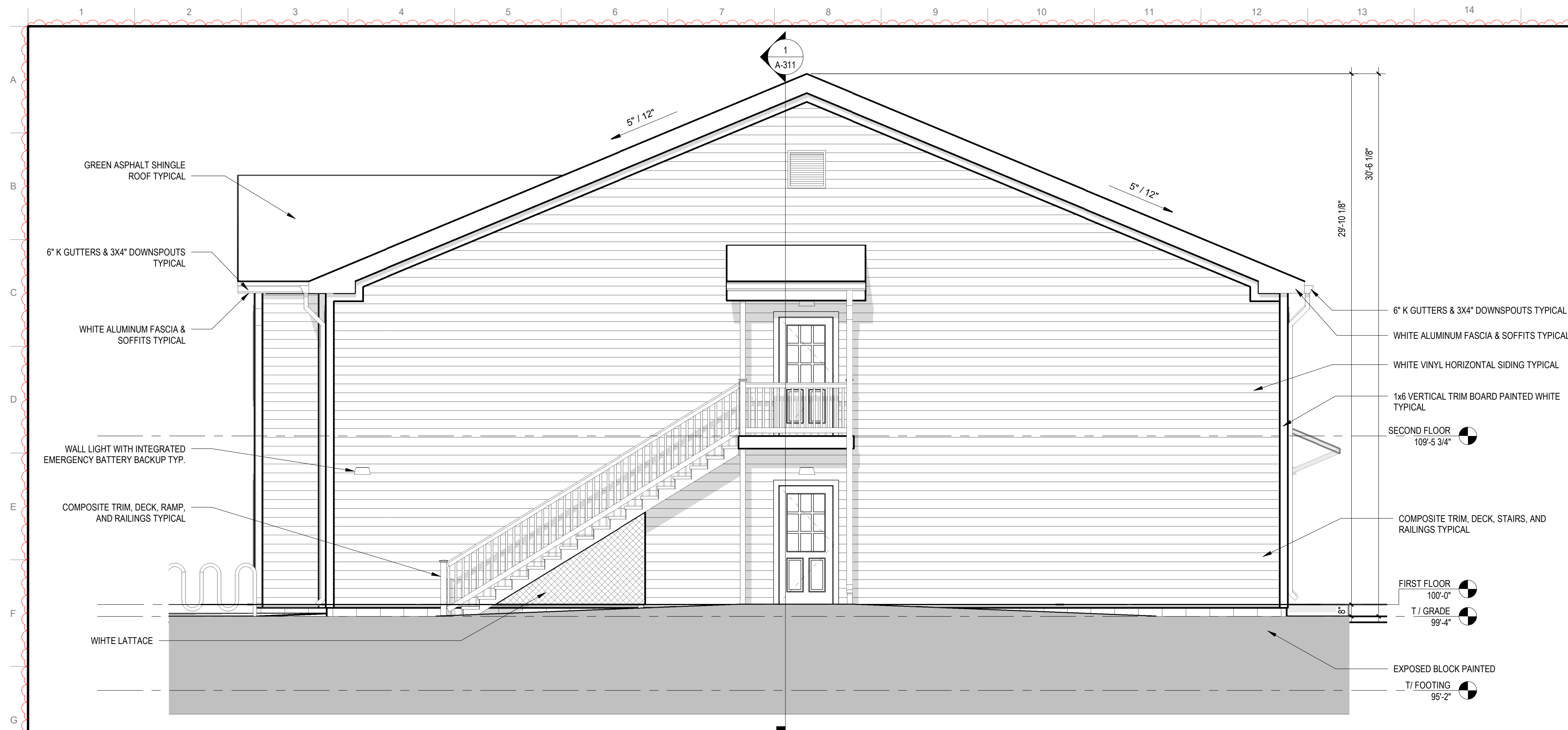
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DATE OF ISSUE 06/28/2024
DRAWN BY Author
REVIEWED BY Checker

**EXTERIOR BUILDING
ELEVATIONS**

1

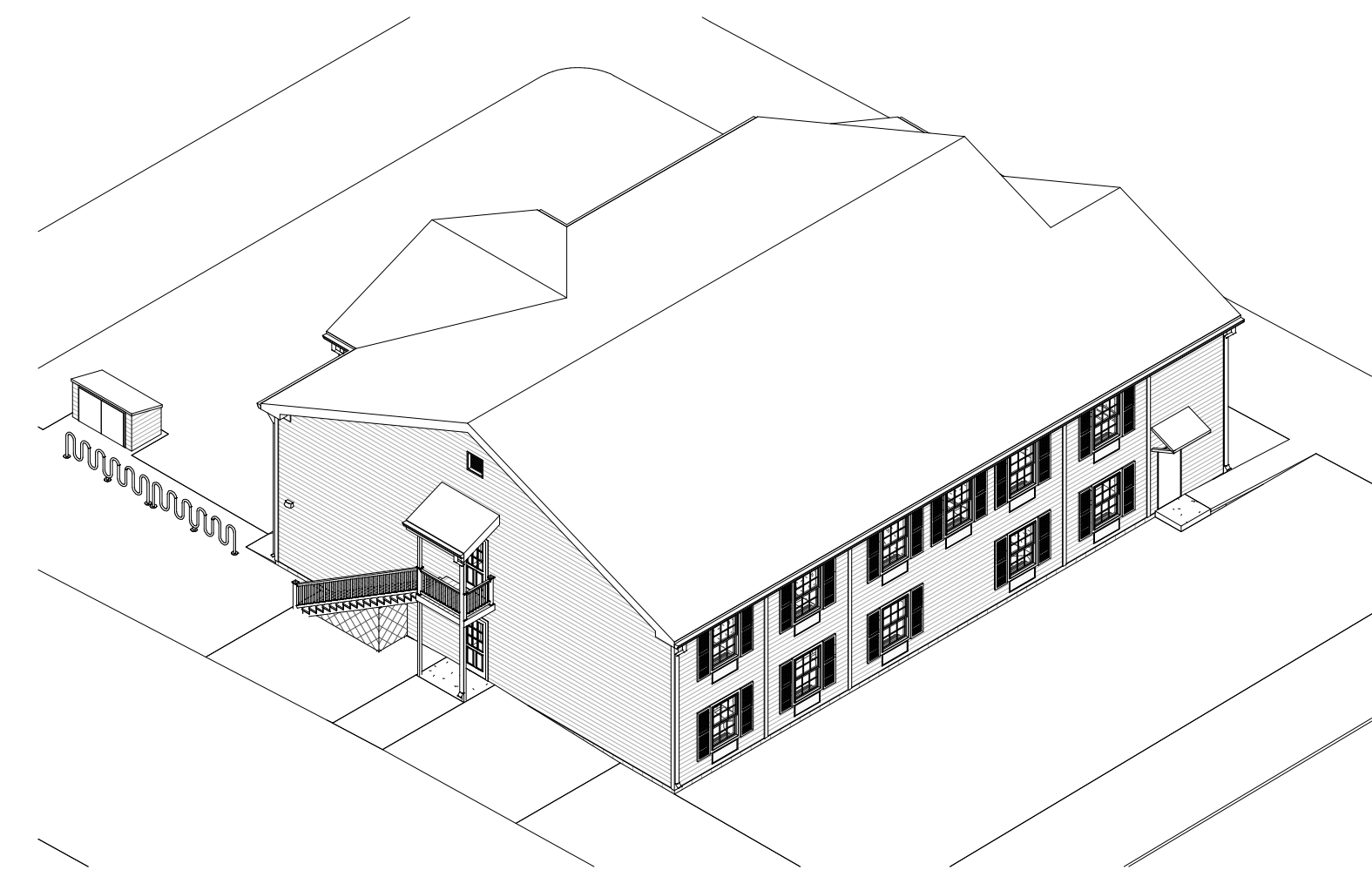
A-201

Entitlement



3 BUILDING ELEVATION - EAST
1/4" = 1'-0"

A-101



2 BUILDING ISOMETRIC 01



1 BUILDING ELEVATION - NORTH
1/4" = 1'-0"

A-101

LEGAT ARCHITECTS
Design with a Difference

**HARBOUR VIEW
MACKINAC, LLC**

**WORK FORCE
HOUSING**

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STRUCTURAL ENGINEER

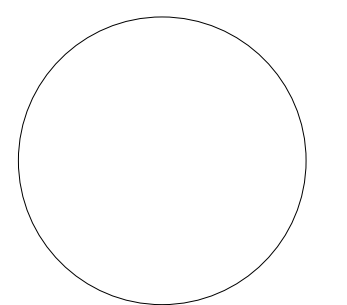
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DATE _____

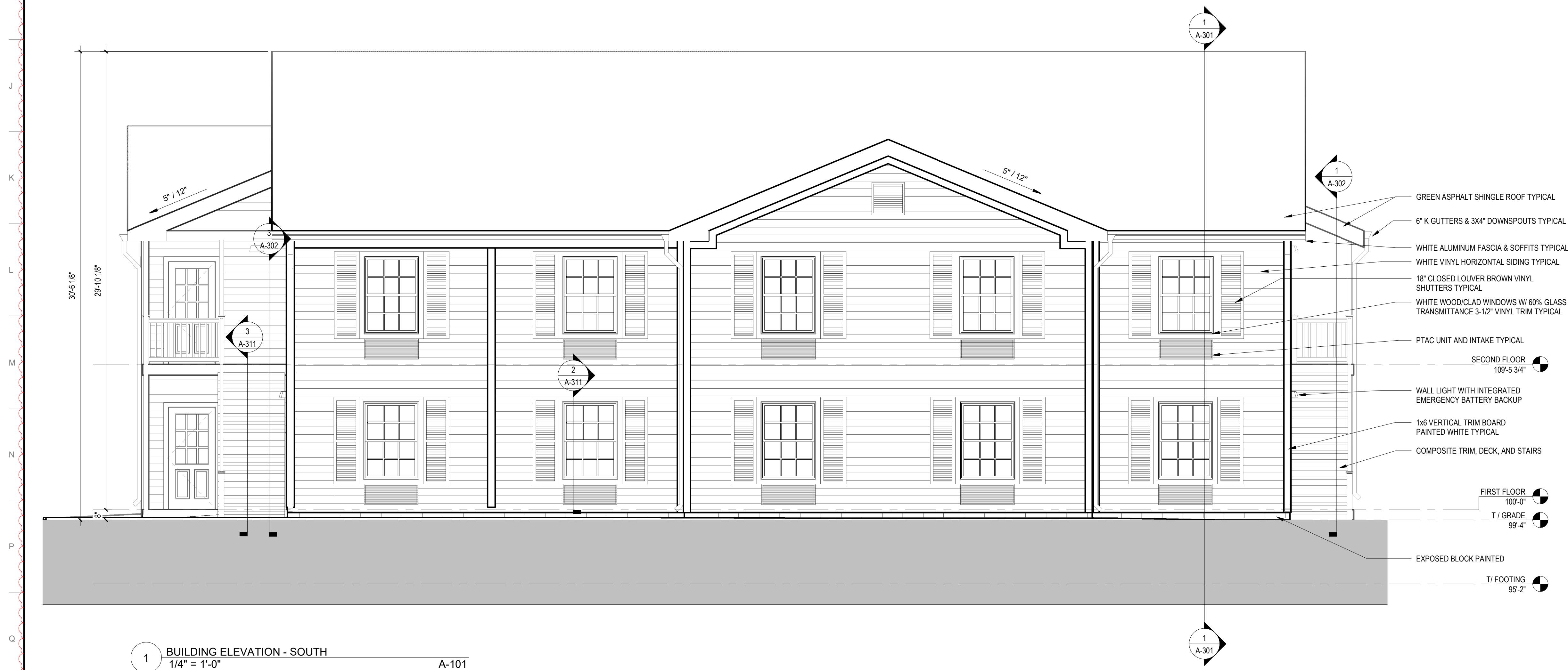
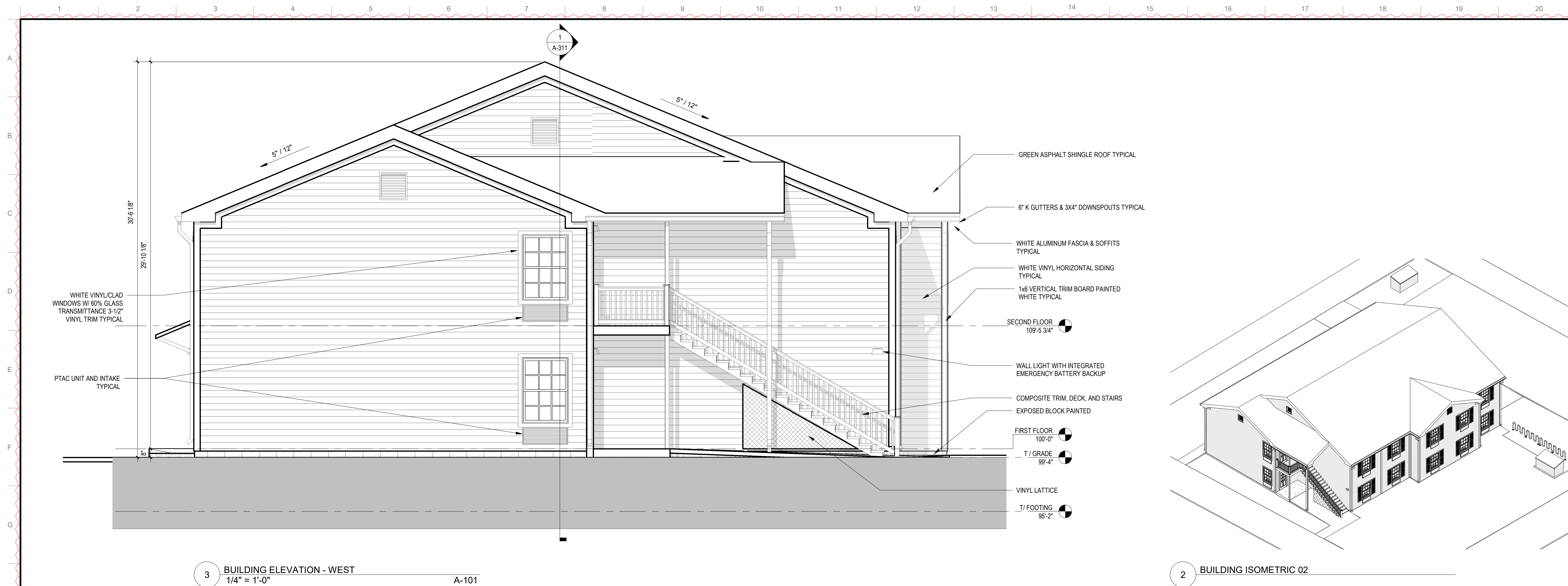
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NO.	DESCRIPTION	DATE
1	PLANNING REVISION	06/28/24

PROJECT NUMBER 22407800
DATE OF ISSUE 06/28/2024
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**EXTERIOR BUILDING
ELEVATIONS**

A-202

Entitlement



LEGAT ARCHITECTS
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MACKINAC, LLC

WORK FORCE
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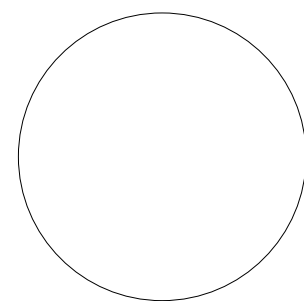
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DATE _____

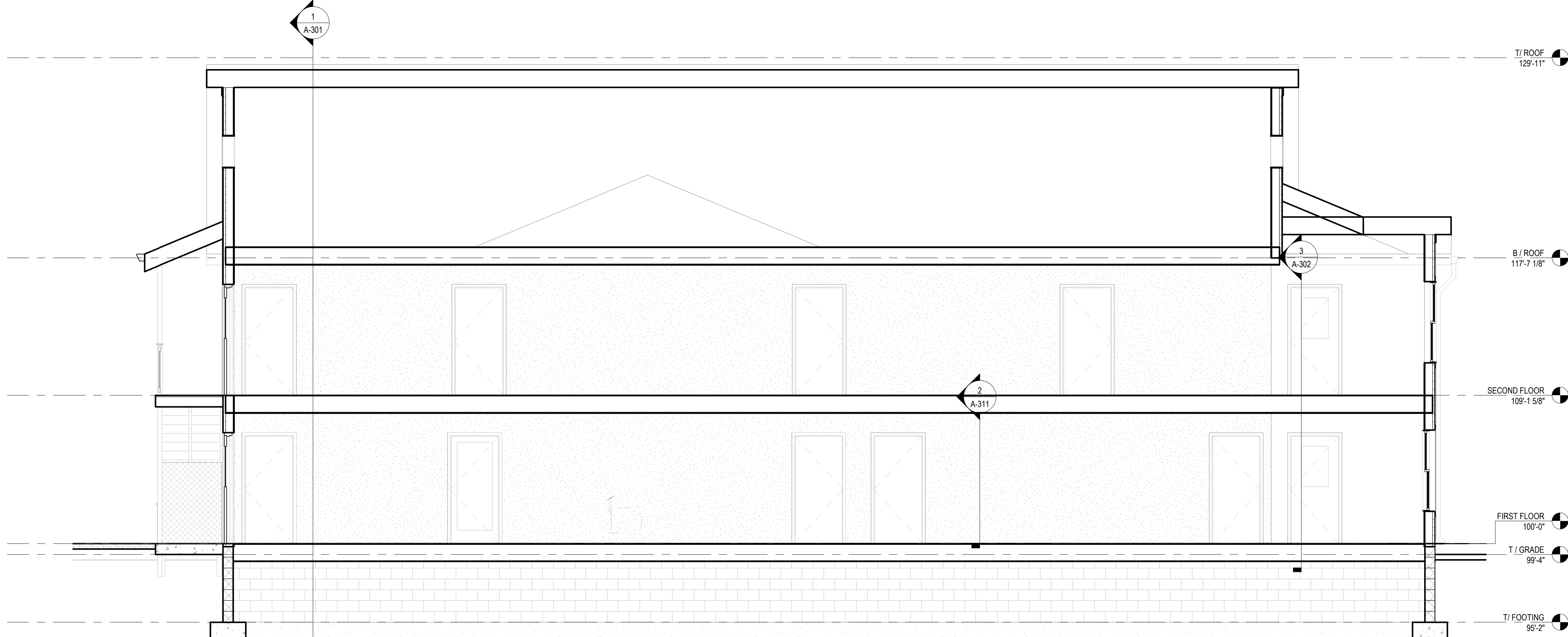
REVISIONS		
NO.	DESCRIPTION	DATE
1	PLANNING REVISION	06/28/24

PROJECT NUMBER 22407800
DATE OF ISSUE 06/28/2024
DRAWN BY Author
REVIEWED BY Checker

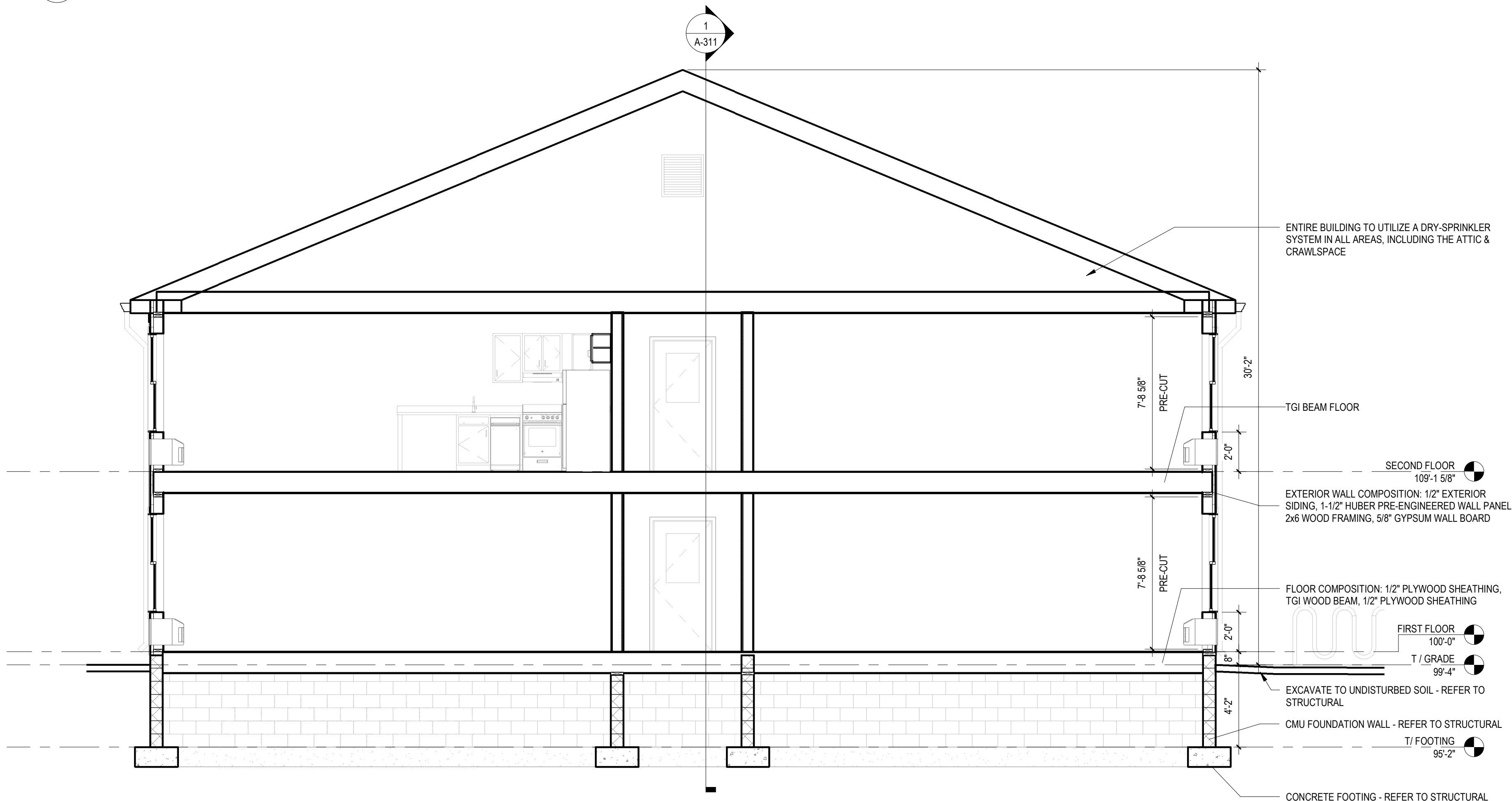
BUILDING SECTIONS

1

A-301
ENTITLEMENT



2 BUILDING LONGITUDINAL SECTION
1/4" = 1'-0" A-101



1 BUILDING TRANSVERSE SECTION
1/4" = 1'-0" A-101

LEGAT ARCHITECTS
Design with a Difference

HARBOUR VIEW
MACKINAC, LLC

WORK FORCE
HOUSING

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STRUCTURAL ENGINEER

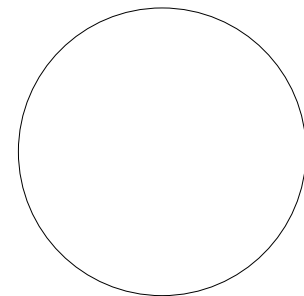
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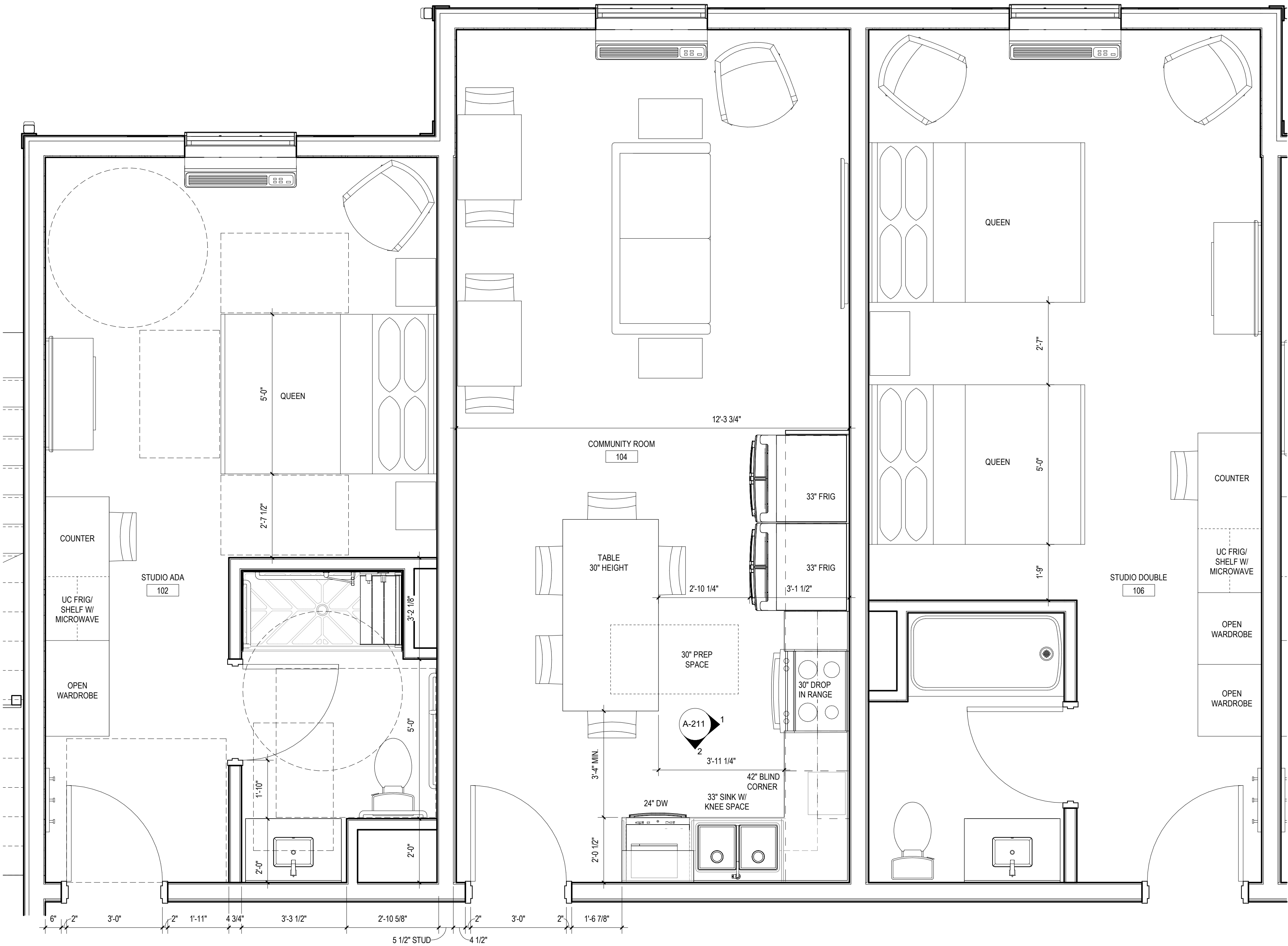
DATE

REVISIONS		
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1	PLANNING REVISION	06/28/24

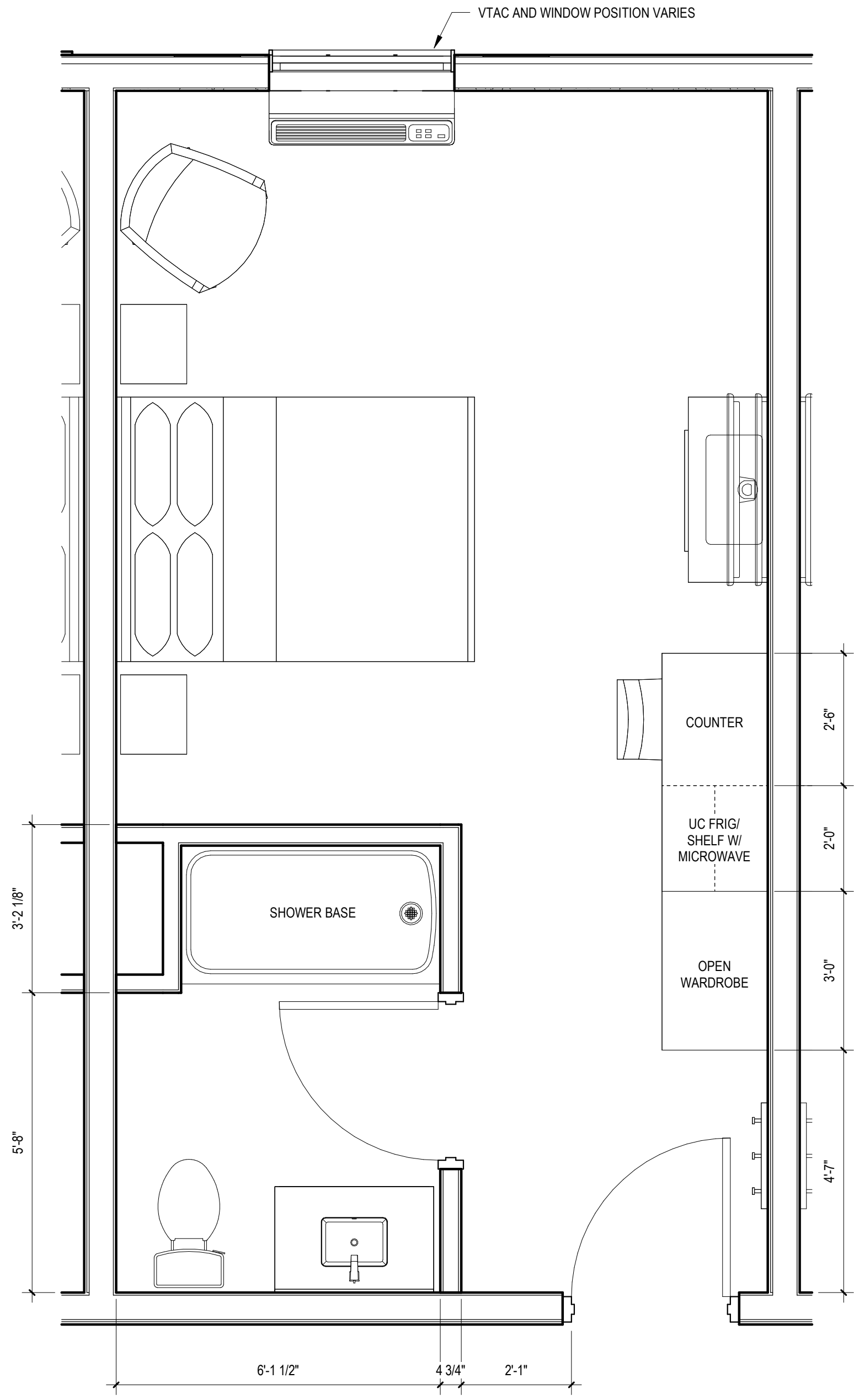
PROJECT NUMBER 22407800
DATE OF ISSUE 06/28/2024
DRAWN BY Author
REVIEWED BY Checker

ENLARGED UNIT PLANS

A-410
ENTITLEMENT



2 STUDIO DOUBLE, COMMUNITY ROOM, AND STUDIO ADA
1/2" = 1'-0" A-101



1 STUDIO UNIT PLAN
1/2" = 1'-0" A-101



123456789101112131415161718192021

A

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LEGAT ARCHITECTS

Design with a Difference

HARBOUR VIEW

MACKINAC, LLC

WORK FORCE

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PROJECT NUMBER

22407800

DATE OF ISSUE

06/28/2024

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Author

REVIEWED BY

Checker

PERSPECTIVE VIEWS

A-901

ENTITLEMENT

31

File No. HB24-026-046(H)

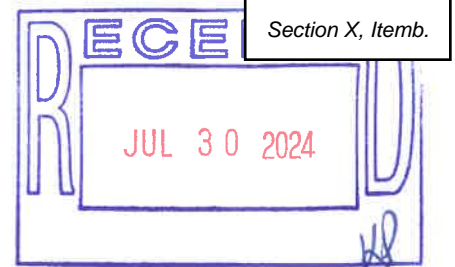
Exhibit A

Date 7.30.24

Initials KP

July 29, 2024

Mackinac Island Planning Commission



The Harbour View Inn is submitting the plan to add an enclosed fire escape at the rear of the old La Chance building at 6860 Main Street. This will replace the old metal open fire escape on the rear of the building (Photo 2, 3, 4) to provide a 4-season safe egress path at the request of the building department. This will require the removal of siding and doors at the rear of the building, the construction of the addition. The new addition will be done to match the remainder of the building as outlined in the plans. The scope of this seasons projects will also include fire suppression for this building, air conditioning updates (Photos 5, 6, 7, 9, 10, 11, 12, 13) for the campus of buildings as well as some rot repairs and roofing updates that is being submitted in concert with the Historic District Commission.

The brick paver walkways have not been finalized by the landscape architect. The existing and the future walkways will continue to be over a bed of natural sand. At this time the zoning ordinance still considers all brick pavers as impenetrable surface based on a known accidental change to the ordinance. This project would need a variance to the lot coverage based on the brick walkways or an update to return the ordinance to it historical form.

Most of the Site Plan Review Checklist items are included in the attached drawings. Below you will find narrative on the remaining items for your review.

This project will have no material effect on adjoining lands and occupants.

We plan to deliver freight for construction to the Main Street side of the building and to the back of the structure via Bogan Lane and Church Street. Material will be stored in the front yard as well as the flat areas in the rear of the buildings. We anticipate making a city council request for dumpsters and telehandler for construction and the typical vehicle request for the waterline installation and paving of Bogan Lane when the street cut is restored. We do not anticipate any fencing needs for safety but will work with the building and fire departments on any needs they see to provide a safe worksite for the public over the winter including markers that identify the dumpster(s) that are lit at night.

The proposed start dates are with the end of the season in 2024. We anticipate completion by April 15th 2025. Their will be additional phase 2 work in the winter of 2025/2026.

We do not anticipate this project to have any change to the exiting community services, water supply, solid waste, sanitary sewer or water drainage.

The demolition of the existing metal staircase on this project is minimal and we have not provided the items on the demolition check list. While digging the new foundation should we find any unknown historic or archeological remains we will immediately shop and make the required notification to the City.

We are looking to also replace items in a “like for like” fashion on the project. They include Rot on the windows at the Chateau building (Photo 1), roof shingle replacement on Chateau (Photo 1) and the bridgeway between guesthouse and carriage house buildings (Photo 14), rot on porches and hand railings, and rot on wood pillars (Photo 15,16,17,18).

Respectfully submitted

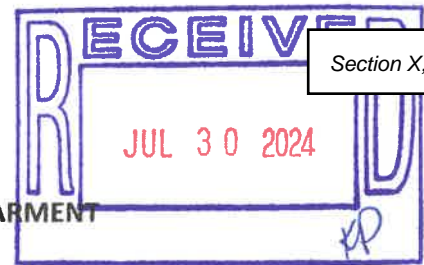
Sam Barnwell

Case No. H24-026 046 (H)
Exhibit B
Date 7.30.24
Plans KP

CITY OF MACKINAC ISLAND

PLANNING COMMISSION & BUILDING DEPARTMENT

APPLICATION FOR ZONING ACTION



www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Jon Cotton – Manager CCHVI, LLC
906-430-7310 sam@hishotels.com
Phone Number Email Address

Please complete both sides of application.
The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

CCHVI, LLC
PO Box 1207
Mackinac Island, MI 49757

Is The Proposed Project Part of a Condominium Association? NO
Is The Proposed Project Within a Historic Preservation District? YES
Applicant's Interest in the Project (If not the Fee-Simple Owner): Owner
Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO
Is a Variance Required? TBD
Are REU's Required? How Many? NO

Type of Action Requested:

X Standard Zoning Permit _____ Appeal of Planning Commission Decision
_____ Special Land Use _____ Ordinance Amendment/Rezoning
_____ Planned Unit Development _____ Ordinance Interpretation
_____ Other _____

Property Information:

- A. Property Number (From Tax Statement): 051-525-026-00
B. Legal Description of Property: ASSESSORS PLAT NO. 2 BEG AT SW COR OF LOT 72 TH N 10 DEG 35' 34"E 335.2 FT ALONG W LINE TH S 85 DEG 11'00"E 145.0 FT TO E LINE OF LOT 72 TH S 10 DEG 23'30"W 346.0 FT ALONG E LINE TO S LINE OF LOT 72 TH W'LY ALONG S LINE 147 FT M/L TO THE POB ALSO BEG AT THE SE COR OF LOT 76 TH N 71 DEG 11'57"W 62.5 FT ALONG S LINE TO W LINE TH N 12 DEG 14'51"E 170.9 FT ALONG W LINE TO N LINE OF LOT 76 TH S 74 DEG 47'57"E 65.15 FT ALONG N LINE TO E LINE TH S 13 DEG 13'34"W 174.7 FT TO THE POB. ALL OF LOT 76 AND PART OF LOT 72.
C. Address of Property: 6860 MAIN ST
D. Zoning District: HB
E. Site Plan Checklist Completed & Attached: Yes
F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes
G. Sketch Plan Attached: Yes
H. Architectural Plan Attached: Yes
I. Association Documents Attached (Approval of project, etc.): NA
J. FAA Approval Documents Attached: NA
K. Photographs of Existing and Adjacent Structures Attached: Yes

36

Signature 

Jon Cotton

Please Print Name

SIGNATURES

Signature

Please Print Name

SARA TERRIO
NOTARY PUBLIC, STATE OF MI
COUNTY OF OAKLAND
MY COMMISSION EXPIRES Jan 1, 2030
ACTING IN COUNTY OF : MI

Jana Lerio
Notary Public
Oakland County, Michigan
My commission expires: January 1, 2030

Revised October 2023

FILE NUMBER: H324 026-046 (41) FEE: \$400-

DATE: 7.30.24 CHECK NO: _____ INITIALS: KD Revised _____

37

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- | | | |
|---|-------------------------------------|--------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|-------------------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|---|-------------------------------------|--------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- | | | |
|--|-------------------------------------|--------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Utility Information

Provided

Not Provided
or Applicable

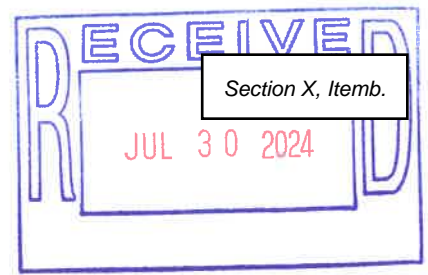
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|--|-------------------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Architectural Review
Informational Requirements (Section 18.05)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>



Harbour View Planning Commission Application Attachment:

Parcel Number: 051-525-026-00

Legal Description from Tax roll: ASSESSORS PLAT NO. 2 BEG AT SW COR OF LOT 72 TH N 10 DEG 35' 34"E 335.2 FT ALONG W LINE TH S 85 DEG 11'00"E 145.0 FT TO E LINE OF LOT 72 TH S 10 DEG 23'30"W 346.0 FT ALONG E LINE TO S LINE OF LOT 72 TH W'LY ALONG S LINE 147 FT M/L TO THE POB ALSO BEG AT THE SE COR OF LOT 76 TH N 71 DEG 11'57"W 62.5 FT ALONG S LINE TO W LINE TH N 12 DEG 14'51"E 170.9 FT ALONG W LINE TO N LINE OF LOT 76 TH S 74 DEG 47'57"E 65.15 FT ALONG N LINE TO E LINE TH S 13 DEG 13'34"W 174.7 FT TO THE POB. ALL OF LOT 76 AND PART OF LOT 72.

Further legal description can be found on the included ALTA survey as part of the drawing packet.

29 July 2024

City of Mackinac Island Building Department,

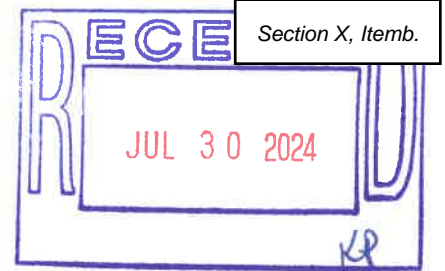
Please accept this letter authorizing Sam Barnwell as my agent to speak on behalf of the properties owned by Harbour View Mackinac, LLC, CCHVI, LLC, and CCHVI Housing, LLC, to any department or board of the City of Mackinac Island.

Sincerely



Jon Cotton

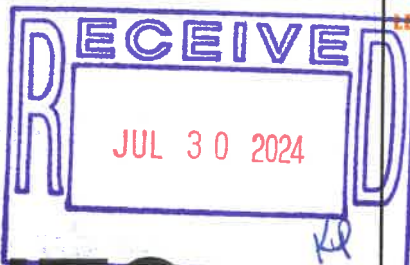
Manager – Harbour View Mackinac, LLC
Manager – CCHVI, LLC
Manager - CCHVI Housing, LLC



File No. HB24-026-046(H)
Exhibit E
Date 7.30.24
Initials KP

HARBOUR VIEW MACKINAC LLC

HARBOUR VIEW INN IMPROVEMENTS



LEGAT ARCHITECTS
Design with a Difference
**HARBOUR VIEW
MACKINAC LLC**
**HARBOUR VIEW
INN
IMPROVEMENTS**

6876 Main St, Mackinac Island, MI 49757

File No. H024-026-046(H)
Exhibit D
Date 7.30.24
Initials KP



SCHEDULE OF DRAWINGS

- GENERAL DRAWINGS
 - G-001 TITLE SHEET
 - ALTA Survey
- ARCHITECTURAL DRAWINGS
 - A-001 ARCHITECTURAL SITE PLAN
 - A-002 PHOTOGRAPHS
 - A-003 PHOTOGRAPHS
 - A-004 PHOTOGRAPHS
 - A-101 GROUND FLOOR PLAN
 - A-102 LEVEL TWO AND THREE FLOOR PLAN
 - A-103 LEVEL FOUR FLOOR PLAN
 - AR-101 ROOF PLAN
 - A-201 EXTERIOR BUILDING ELEVATIONS & ISOMETRICS
 - A-301 BUILDING SECTIONS



SITE LOCATION MAP



CAMPUS PLAN

RELEASE

ENTITLEMENT

DATE OF ISSUE

06/28/24

ARCHITECT'S PROJECT NUMBER

22407800

LEGAT ARCHITECTS



PIERCE ENGINEERS
CONSULTING STRUCTURAL ENGINEERS



G-001
ENTITLEMENT

SIGNATURE _____
DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE
1		

PROJECT NUMBER 22407800
DATE OF ISSUE 06/28/24
DRAWN BY Author
REVIEWED BY Checker

TITLE SHEET

ALTA/NSPS Land Title Survey

Sheet 1 of 1
ALTA Survey

Mackinac Country Land Surveys
429 Ellsworth St. ~ St. Ignace, MI 49781
(906) 643-9418 www.MackinacSurveys.com



DATE: 1/31/2024 ~ Revised 3/06/2024
ORDER #: 23109-HVI-72/59-AP2-MI
DRAWN BY: Matthew B. Bliss

Part of Lot 72
051-725-(001-10/006-00)
1407 Church St
Rowe House Terraces Condo
Various Owners

73
051-525-028-00
1450 Bogan Ln
William Chambers Etal

74
051-525-029-00
1432 Bogan Ln
M.I. Carriage Tours

75
051-525-030-00
1420 Bogan Ln
Patricia Martin

051-525-011-10
1392 Church St
Armin Porter Etal

051-525-011-00
1392 Church St
MCT Investments LLC
& Michael Hart

Parcel B
051-525-012-00
1378 Church St
Harbor View Inn LLC
3,218 SqFt

Parcel C
051-525-015-00
Church St
Harbor View Inn LLC
1,321 SqFt

Part of Lot 72
Parcel A
051-525-026-00
6860 Main Street
Harbor View Inn LLC
1.391 Ac

Certification:

To: Harbour View Mackinac LLC, CCHVI LLC, First National Bank of Michigan & Seaver Title Agency - ATA National Title Group, and Stewart Title Guaranty Company and Corporate Settlement Solutions:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7a, 13, 16, & 17 of Table A thereof. The fieldwork was completed on 1/31/2024 & the Date of Plat or Map is 1/31/2024.

Record Legal Description:

Land situated in the City of Mackinac Island, County of Mackinac, State of Michigan, described as:

Parcel A:
Commencing at the corner being common to the Southwest corner of Lot 72 and the Southeast corner of Lot 76, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records as to the point of beginning; thence along the Southerly line of said Lot 76, N 71°11'57" W 62.50 feet to the Westerly line of said Lot 76; thence along said Southerly line, N 12°14'51" E 170.60 feet to the Northerly line of said Lot 76; thence along said Northerly line, S 74°47'57" E 65.15 feet to the Easterly line of Lot 76 and Westerly line of Lot 72; thence along said Westerly line of Lot 72, N 13°13'26" E 160.80 feet; thence S 75°33'08" E 145.00 feet to the Easterly line of said Lot 72; thence along said Easterly line, S 13°01'22" W 346.00 feet to the Southerly line of Lot 72; thence along said Southerly line of said Lot 72, 147 feet more or less to the point of beginning. All being Lot 76 and part of Lot 72, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records.

Parcel B:
Lot 59, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records.

Parcel C:
Lot 60B, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records.

Parcel D:
Not included in this survey

Special Title Exceptions:

Per Schedule B Part II of ATA National Title Group, LLC, Registry ID: No. 1033513, Office File Number 49-23899197-SCM, Revision No. 1, dated December 15, 2023 at 8:00AM:

- Items 1-7 are not graphically plottable on survey.
- Item 8 10 foot wide utility easement recorded in Liber 272, Page 412, (Parcels A & D) - plotted along the North line of Parcel A.
- Item 9 ROW Easement in favor of Cloverland Electric Corporation, recorded in Liber 876, Page 571 (Parcel A). Blanket easement, limited to 8 feet each side of an underground electric line, and/or 15 feet each side of an overhead electric line. - Known electric utilities plotted on map, NOTE: others may be present.
- Item 10 ROW Easement in favor of Cloverland Electric Corporation, recorded in Liber 955, Page 313 (Parcels B & C). Blanket easement, limited to 8 feet each side of an underground electric line, and/or 15 feet each side of an overhead electric line. - Known electric utilities plotted on map, NOTE: others may be present.
- Items 11-13 are not graphically plottable on survey.
- Item 14 Various utilities shown on Porter's Survey P.C., Job No. 73-16, dated August 1, 2016 (Parcel A).
a. Overhead Telephone and Cable TV lines over Lot 76 without reference to an easement - Shown on map
b. Overhead Power Line over Lot 76 without reference to an easement - Appears to be moved, shown on map.
c. Underground Telephone and Power Lines over Lot 72 without reference to an easement - Shown on map
d. Cable TV Lines over Lot 72 without reference to an easement - Shown on map
NOTE: Underground utilities shown via previous survey, and are not located as part of this survey.
- Items 15 & 18 are not graphically plottable on survey.
- Items 16 & 17 Parcel not included in this survey. (Parcel D)

Notes:

- No regular vehicular access to parcel. Normal access is limited to pedestrian, bicycle & horse carriage.
- According to the FIRM 26097C1001C on www.FEMA.gov these parcels reside in Community No. 260764, with the entirety of the parcels in Zone X, via graphic plotting.
- All utilities are located via visual inspection, and previous survey map. No utility marking was performed for this project.
- There was no evidence of recent earth moving work, building construction, or building additions observed.
- The surveyor is unaware of any proposed changes in street right of way lines and there is no evidence of recent street or sidewalk work on subject parcels.

Legend

- | | |
|---|-------------------------------|
| Found Concrete Monument | Fire Hydrant |
| Found Property Iron | Storm Catch Basin |
| Set 1/2"x18" Iron #50439 | Sanitary Man Hole |
| Measured Dimension | Sanitary Clean Out |
| Record / Previous Dimension | Electric Transformer |
| Lot or Parcel Line | Electric Power Meter |
| Subject Parcel Line | Water Valve |
| Powerline | Fire Department Hookup |
| Underground Power Line | Power Pole |
| Underground Storm Line | Light & Pole |
| Underground Fiberoptic Line | Gas Meter |
| Telephone/Cable Line | Telephone Box |
| Title item as referenced on Commitment XXXXXXXX | Underground Telephone Box |
| | Air Conditioning/Heating Unit |

Bearing from GPS
Michigan State Plane
North Zone
Scale: 1" = 20'
0 20 40

Neil W. Hill P.S.
Professional Surveyor #50439



LEGAT ARCHITECTS
Design with a Difference

HARBOUR VIEW
MACKINAC LLC

HARBOUR VIEW
INN
IMPROVEMENTS

6876 Main St, Mackinac Island, MI 49757

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SIGNATURE _____		
DATE _____		
REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER 22407800
DATE OF ISSUE 06/28/24
DRAWN BY Author
REVIEWED BY Checker

ARCHITECTURAL SITE
PLAN

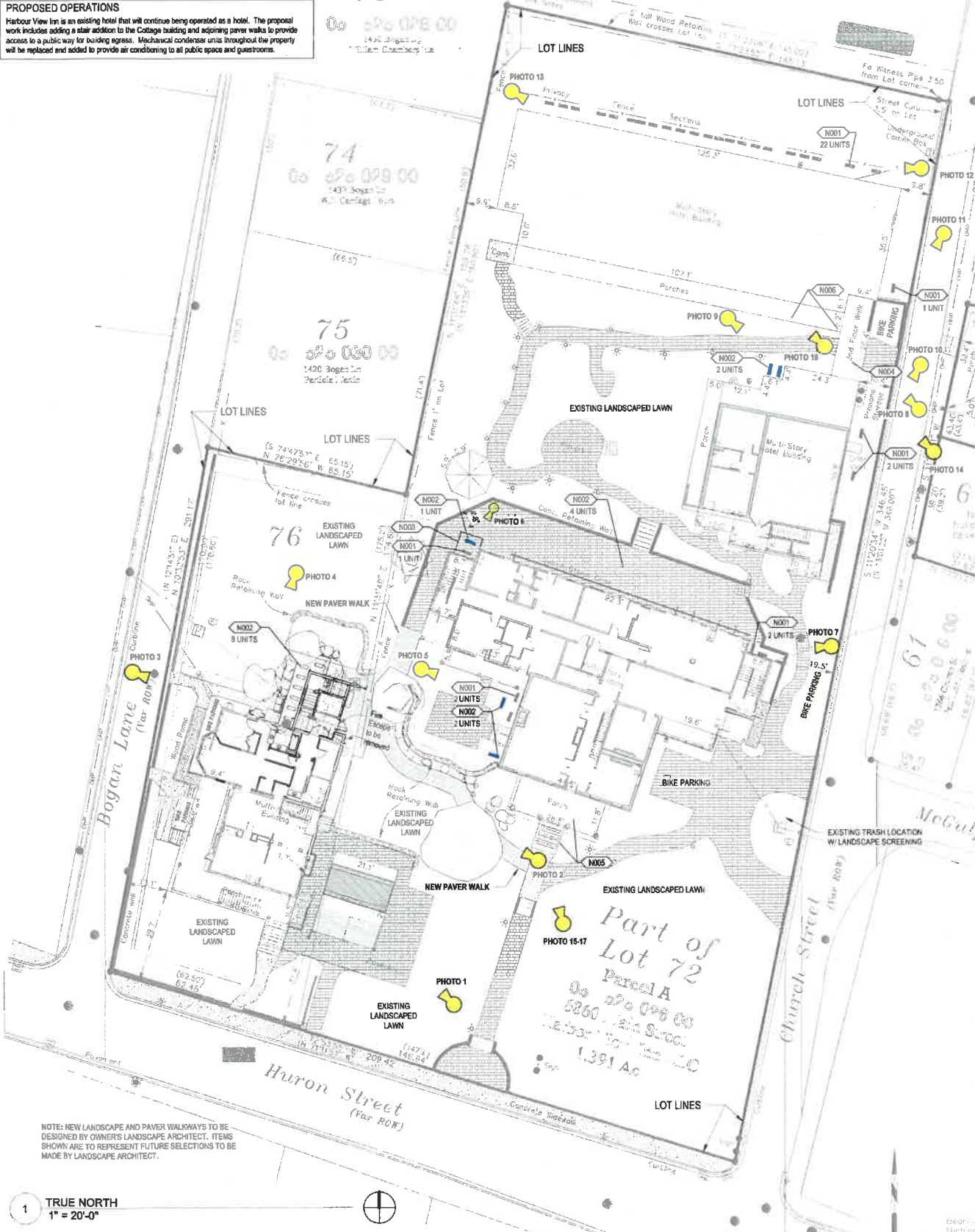
A-001
ENTITLEMENT

SITE DATA		
ITEM	EXISTING	PROPOSED
ZONING:	"H" HOTEL / BOARDING HOUSE	NO CHANGE
ADJACENT ZONING:	"H" HOTEL / BOARDING HOUSE	NO CHANGE
EXISTING LOT AREA:	60,565 SF = 1.391 ACRES	NO CHANGE
MINIMUM LOT AREA:	7,500 SF	NO CHANGE
MINIMUM LOT COVERAGE:	40% OF 60,565 = 24,226 SF	19,426 SF IMPERVIOUS 8,323 SF PERVIOUS
DENSITY HOTELS:	66 BEDROOMS PER ACRE	83 ALLOWED, 81 EXISTING
MAXIMUM HEIGHT:	40 FEET, OR 3.5 STORES	NO CHANGE
FRONT YARD:	30 FEET SETBACK	NO CHANGE
SIDE YARD:	NO CHANGE	NO CHANGE
REAR YARD:	30 FEET SETBACK	NO CHANGE

PROPOSED OPERATIONS
Harbour View Inn is an existing hotel that will continue being operated as a hotel. The proposal work includes adding a stair addition to the Cottage building and adjoining paver walks to provide access to a public way for building egress. Mechanical condenser units throughout the property will be replaced and added to provide air conditioning to all public space and guestrooms.

PROPOSED LOT COVERAGE:		
BUILDING	EXISTING	PROPOSED ADDITION
CHALET:	5,475 SF	NO CHANGE
COTTAGE:	2,448 SF	370 SF
CARRIAGE HOUSE:	2,556 SF	NO CHANGE
GUEST HOUSE:	5,944 SF	NO CHANGE
PAVILION:	562 SF	NO CHANGE
GAZEBO:	171 SF	NO CHANGE
IMPERVIOUS PAVED SURFACES:	19,056 SF	NO CHANGE
STRUCTURE/IMPERVIOUS TOTAL:	19,056 SF + 370 SF =	19,426 SF
PERVIOUS PAVED SURFACE:	7,500 SF	823 SF = 8,323 SF

ARCHITECTURAL PLAN NOTES	
NOTE	DESCRIPTION
N001	REPLACE EXISTING CONDENSER
N002	NEW CONDENSER
N003	NEW DECORATIVE SCREENING
N004	REPAIR ROTTEN ROOF SHEATHING AND FASCIA. PROVIDE NEW ARCHITECTURAL SHINGLE ROOF. PHOTO 14
N005	REPAIR ROTTEN PORCH DECKING AND RAILINGS. NEW RAILINGS TO MATCH EXISTING PROFILES, COLOR, AND FINISH. GUARDRAIL AT 42" TALL AND HANDRAIL AT 36" TALL. PHOTOS 15-17
N006	REPAIR ROTTEN COLUMN BASE TRIM. MATCH EXISTING PROFILE, COLOR, FINISH. PHOTO 16



NOTE: NEW LANDSCAPE AND PAVEMENT WALKWAYS TO BE DESIGNED BY OWNER'S LANDSCAPE ARCHITECT. ITEMS SHOWN ARE TO REPRESENT FUTURE SELECTIONS TO BE MADE BY LANDSCAPE ARCHITECT.



PHOTO 1 RENDERING



PHOTO 1

LEGAT ARCHITECTS
Design with a Difference

**HARBOUR VIEW
MACKINAC LLC**

**HARBOUR VIEW
INN
IMPROVEMENTS**

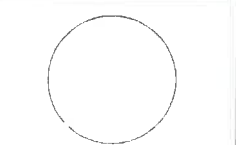
6876 Main St, Mackinac Island, MI 49757

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www.legat.com

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www.sengerdesigngroup.com

STRUCTURAL ENGINEER
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www.pierceengineers.com

CIVIL ENGINEER
OHM Advisors
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Livonia, MI 48150
P: 734-522-6711
www.ohm-advisors.com



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REVIEWED BY Checker

PHOTOGRAPHS

A-002
ENTITLEMENT



PHOTO 4 RENDERING



PHOTO 3 RENDERING



PHOTO 2 RENDERING



PHOTO 4 🐟



PHOTO 3 🐟

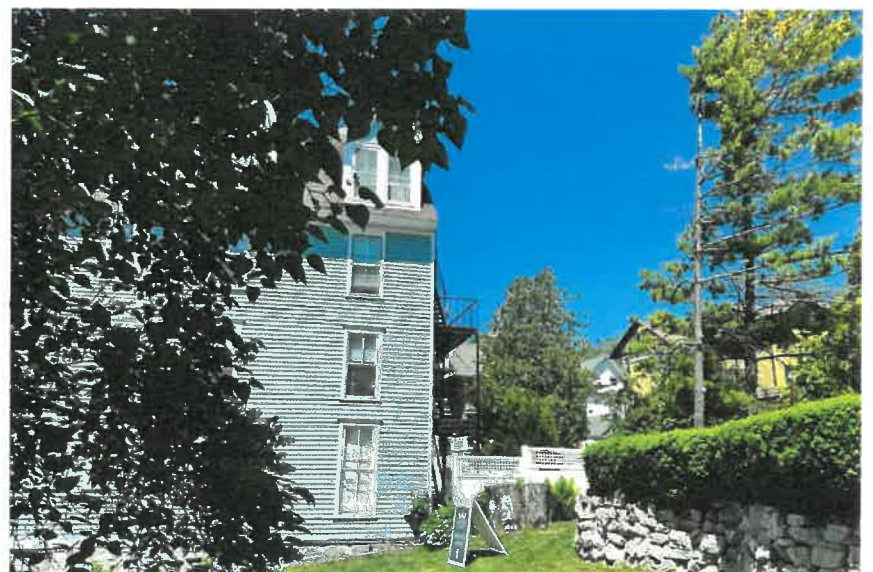


PHOTO 2 🐟



PHOTO 13



PHOTO 12



PHOTO 11



PHOTO 10



PHOTO 9



PHOTO 8



PHOTO 7



PHOTO 6



PHOTO 5

LEGAT ARCHITECTS
Design with a Difference

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MACKINAC LLC**

**HARBOUR VIEW
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PHOTOGRAPHS

A-003
ENTITLEMENT

LEGAT ARCHITECTS
Design with a Difference

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MACKINAC LLC**

**HARBOUR VIEW
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IMPROVEMENTS**

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STRUCTURAL ENGINEER

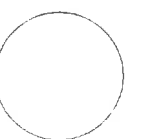
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PHOTOGRAPHS

A-004
ENTITLEMENT



PHOTO 18



PHOTO 17



PHOTO 16



PHOTO 15



PHOTO 14

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MACKINAC LLC

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SIGNATURE

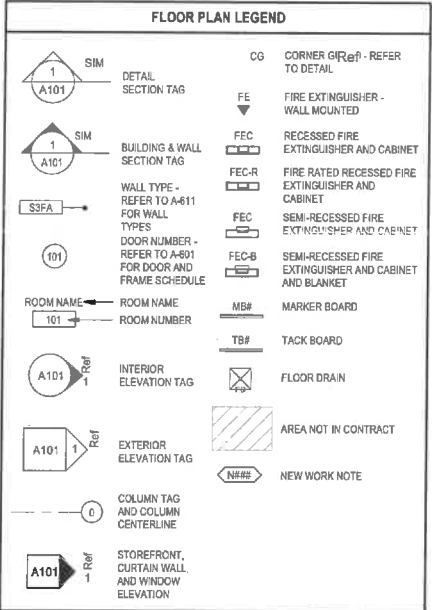
DATE

REVISIONS		
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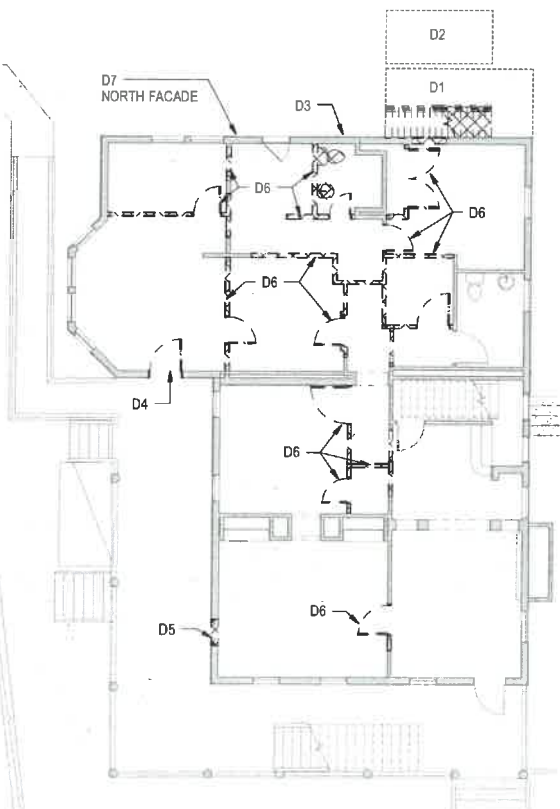
GROUND FLOOR PLAN

A-101
ENTITLEMENT



DEMOLITION SCOPE OF WORK:

- D1. REMOVE EXTERIOR FIRE ESCAPE ON NORTH SIDE
- D2. REMOVE MECHANICAL UNIT AND SCREENING
- D3. REMOVE BATHROOM WINDOW
- D4. REMOVE DOOR AND REPLACE WITH EXISTING WINDOW
- D5. REMOVE WINDOW, SALVAGE FOR REINSTALLATION, PREP OPENING FOR NEW DOOR.
- D6. REMOVE INTERIOR WALLS AND DOORS
- D7. REMOVE SIDING AND PREP FOR NEW SIDING TO MATCH EXISTING
- D8. REMOVE SHINGLES ON EXISTING ROOF AND PREP FOR NEW ARCHITECTURAL SHINGLES

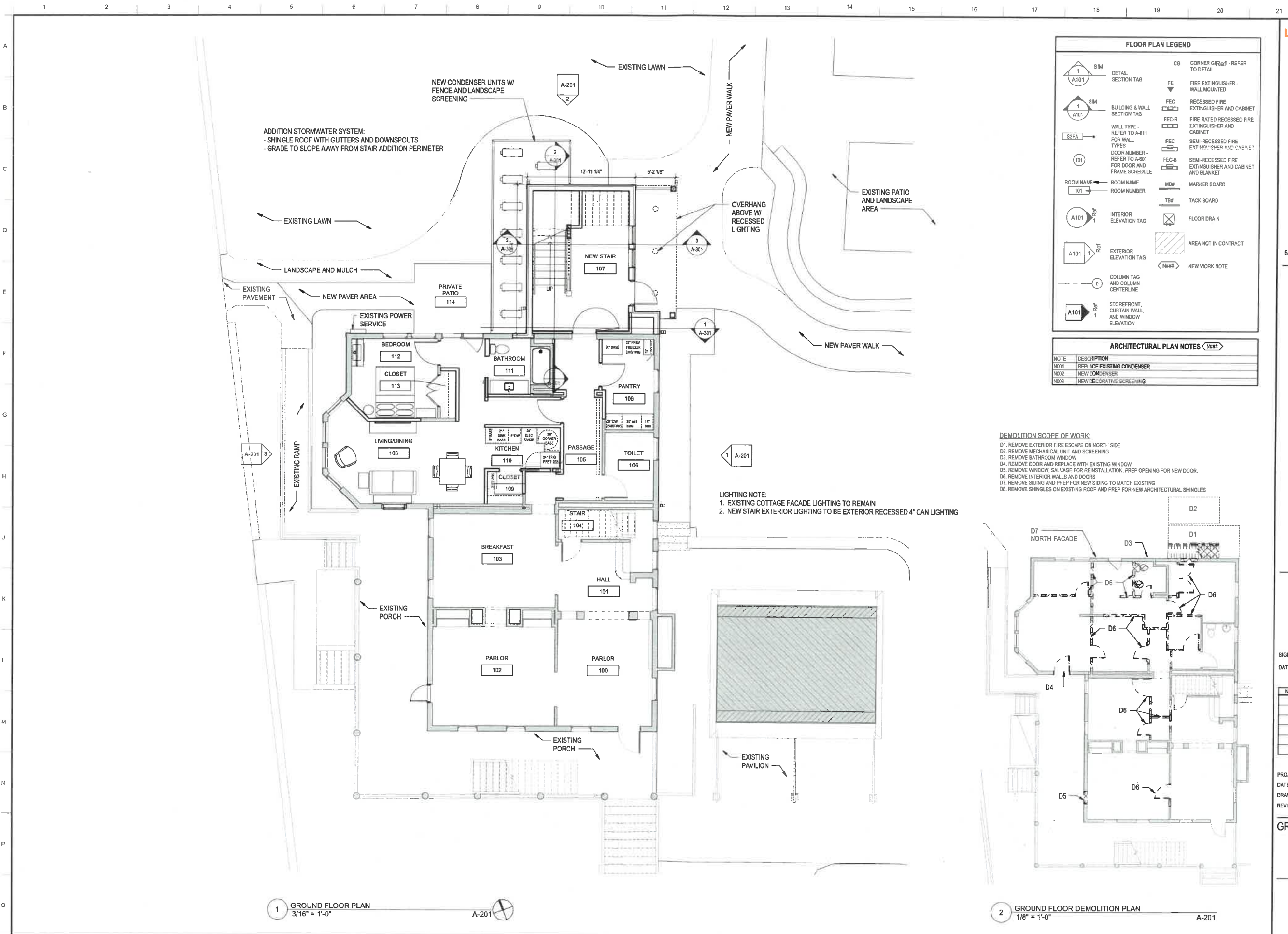


2 GROUND FLOOR DEMOLITION PLAN
1/8" = 1'-0"

A-201

1 GROUND FLOOR PLAN
3/16" = 1'-0"

A-201



LEGAT ARCHITECTS
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MACKINAC LLC**

**HARBOUR VIEW
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SIGNATURE

DATE

REVISIONS		
NO.	DESCRIPTION	DATE

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DRAWN BY Author
REVIEWED BY Checker

**LEVEL TWO AND THREE
FLOOR PLAN**

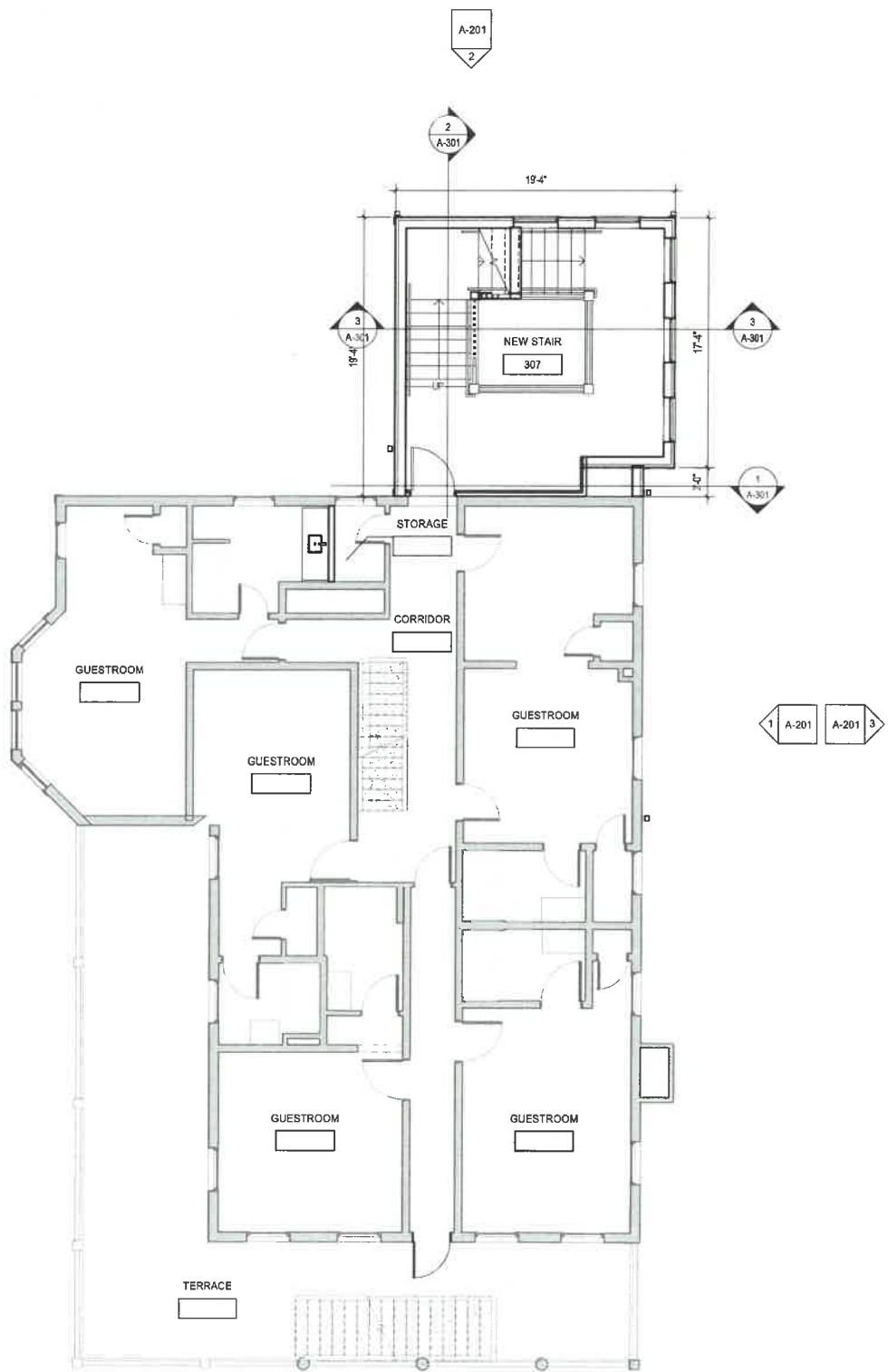
A-102
ENTITLEMENT

FLOOR PLAN LEGEND

	DETAIL SECTION TAG	CG	CORNER G/Ref - REFER TO DETAIL
	BUILDING & WALL SECTION TAG	FE	FIRE EXTINGUISHER - WALL MOUNTED
	WALL TYPE - REFER TO A-611 FOR WALL TYPES	FEC	RECESSED FIRE EXTINGUISHER AND CABINET
	DOOR NUMBER - REFER TO A-601 FOR DOOR AND FRAME SCHEDULE	FEC-R	FIRE RATED RECESSED FIRE EXTINGUISHER AND CABINET
	ROOM NAME	FEC	SEMI-RECESSED FIRE EXTINGUISHER AND CABINET
	ROOM NUMBER	FEC-B	SEMI-RECESSED FIRE EXTINGUISHER AND CABINET AND BLANKET
	INTERIOR ELEVATION TAG	MB#	MARKER BOARD
	EXTERIOR ELEVATION TAG	TB#	TACK BOARD
	COLUMN TAG AND COLUMN CENTERLINE		FLOOR DRAIN
	STOREFRONT, CURTAIN WALL, AND WINDOW ELEVATION		AREA NOT IN CONTRACT
			NEW WORK NOTE

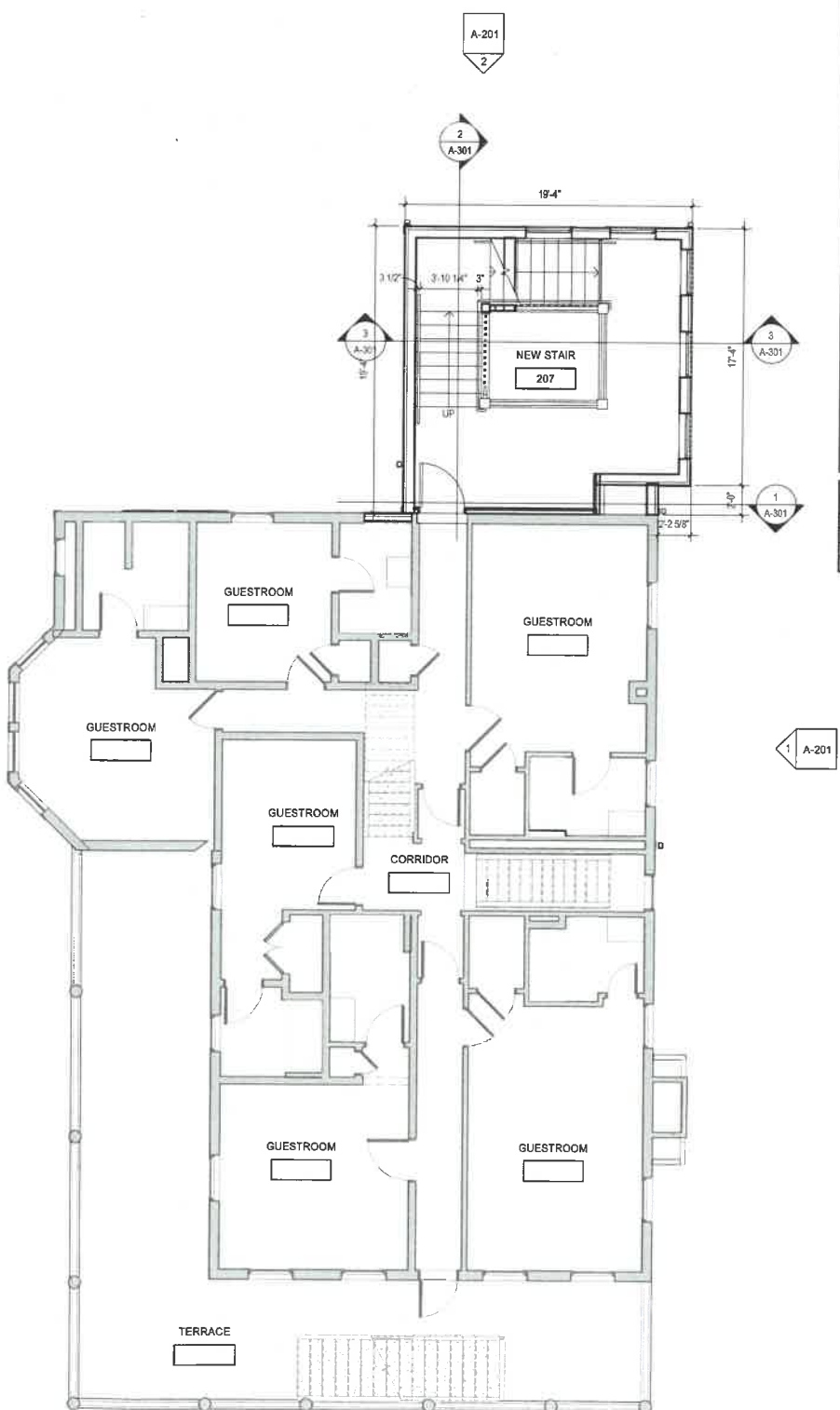
ARCHITECTURAL PLAN NOTES

NOTE	DESCRIPTION
ND01	REPLACE EXISTING CONDENSER
ND02	NEW CONDENSER
ND03	NEW DECORATIVE SCREENING



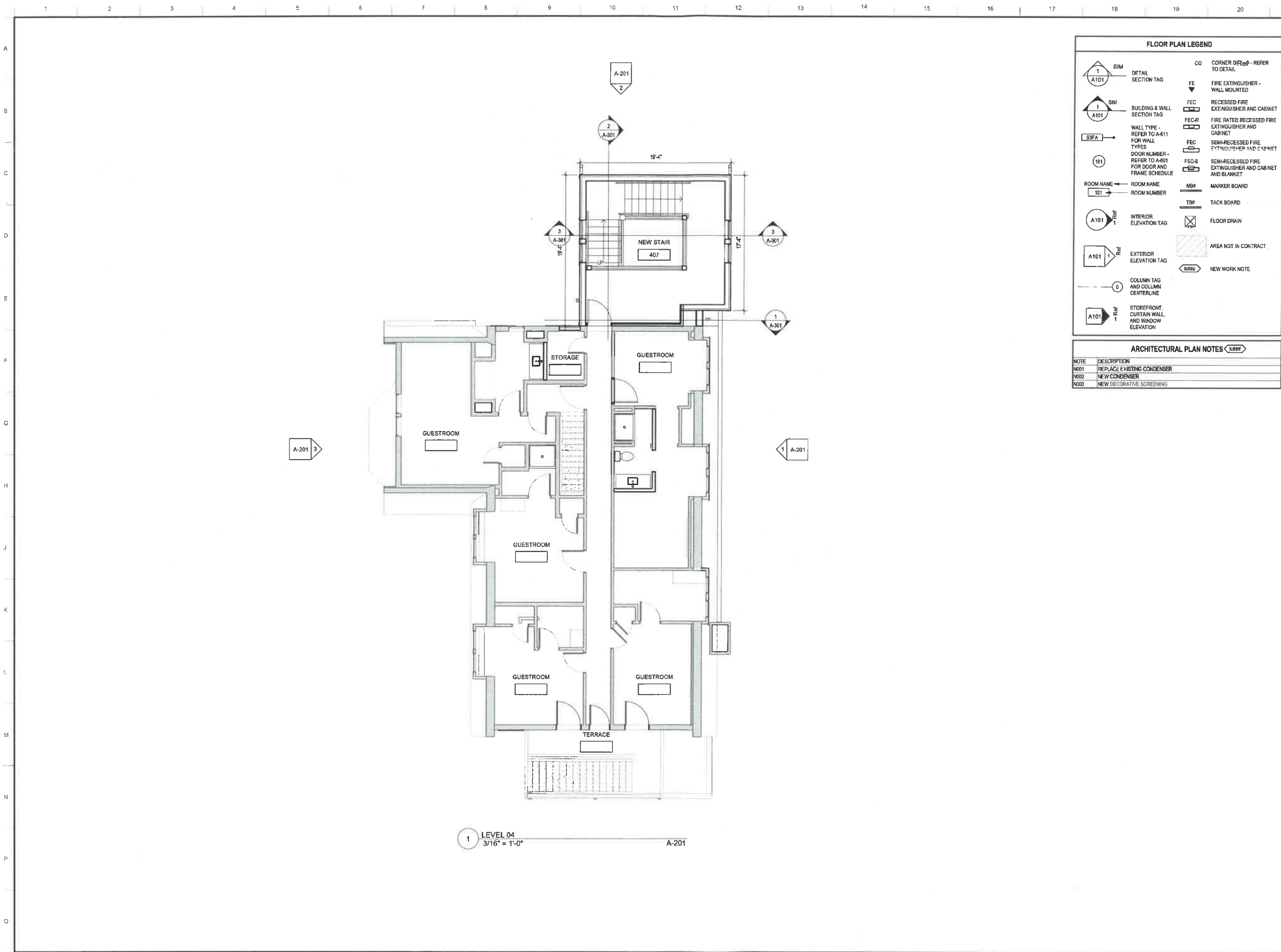
1 LEVEL THREE FLOOR PLAN
3/16" = 1'-0"

A-201



2 LEVEL TWO FLOOR PLAN
3/16" = 1'-0"

A-201



LEGAT ARCHITECTS
Design with a Difference

HARBOUR VIEW
MACKINAC LLC

HARBOUR VIEW
INN
IMPROVEMENTS

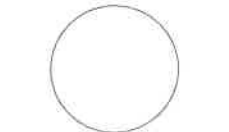
6876 Main St, Mackinac Island, MI 49757

ARCHITECT
Legat Architects, Inc.
2015 Spring Rd, Suite 175
Oak Brook, IL 60523
P: (630) 990-3535
www.legat.com

INTERIOR DESIGNER
Senger Design Group
523 South Cascade Ave, Suite B
Colorado Springs, CO 80903
P: (719) 522-1520
www.sengerdesigngroup.com

STRUCTURAL ENGINEER
Pierce Engineers
350 N LaSalle, Suite 1010
Chicago, IL 60654
P: (312) 761-5693
www.pierceengineers.com

CIVIL ENGINEER
OHM Advisors
34000 Plymouth Road
Livonia, MI 48150
P: 734-522-6711
www.ohm-advisors.com



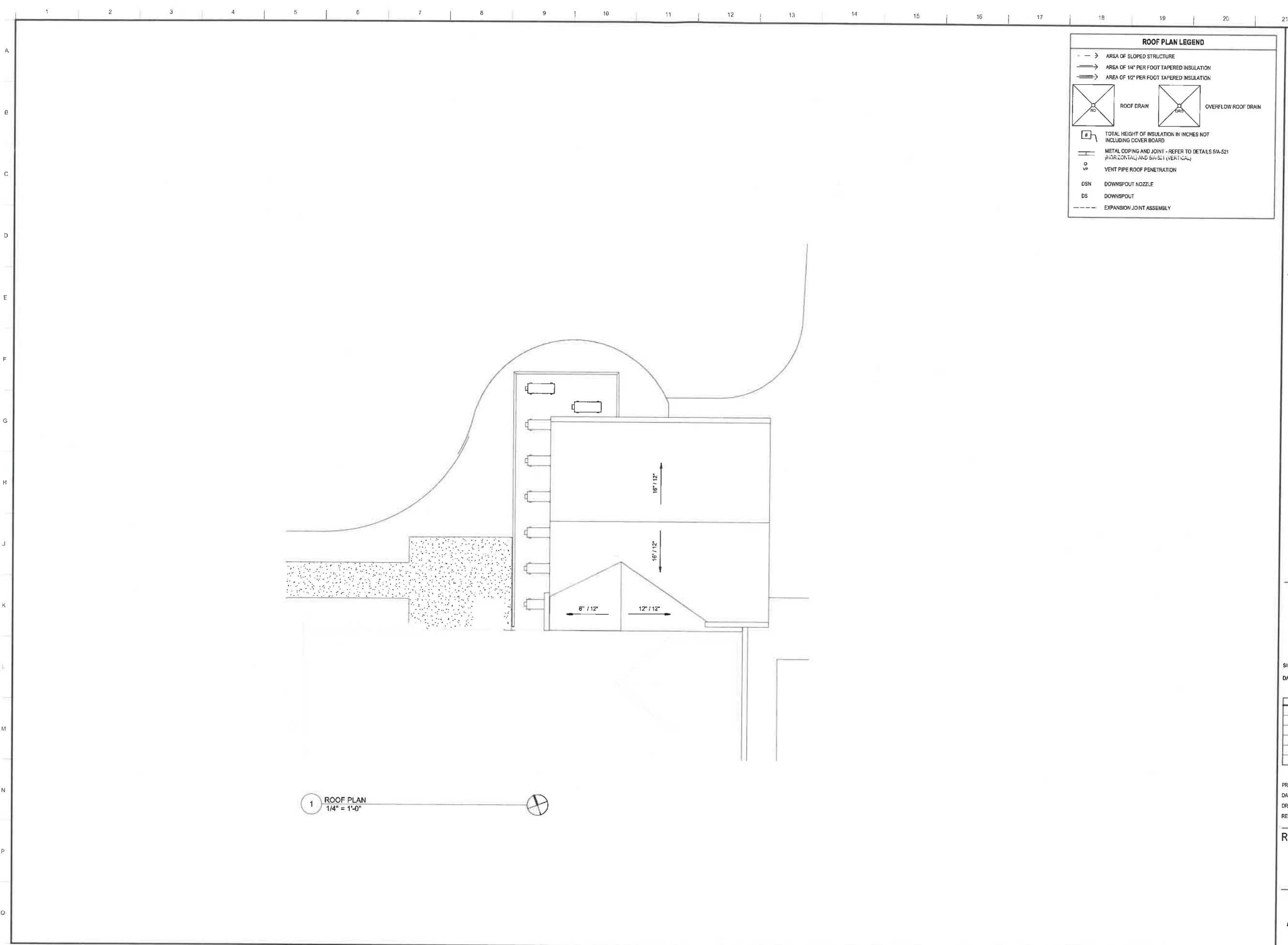
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DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER 22407800
DATE OF ISSUE 06/28/24
DRAWN BY Author
REVIEWED BY Checker

LEVEL FOUR FLOOR
PLAN

A-103
ENTITLEMENT



ROOF PLAN LEGEND

- AREA OF SLOPED STRUCTURE
- AREA OF 14" PER FOOT TAPERED INSULATION
- AREA OF 12" PER FOOT TAPERED INSULATION
- ROOF DRAIN
- OVERFLOW ROOF DRAIN
- TOTAL HEIGHT OF INSULATION IN INCHES NOT INCLUDING COVER BOARD
- METAL COPING AND JOINT - REFER TO DETAILS S/A-S21 (HORIZONTAL) AND S/A-S21 (VERTICAL)
- VENT PIPE ROOF PENETRATION
- DSN DOWNSPOUT NOZZLE
- DS DOWNSPOUT
- EXPANSION JOINT ASSEMBLY

LEGAT ARCHITECTS
Design with a Difference

**HARBOUR VIEW
MACKINAC LLC**

**HARBOUR VIEW
INN
IMPROVEMENTS**

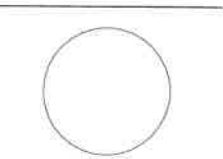
6876 Main St, Mackinac Island, MI 49757

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Livonia, MI 48150
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SIGNATURE _____
DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER 22407800
DATE OF ISSUE 06/28/24
DRAWN BY Author
REVIEWED BY Checker

ROOF PLAN

AR-101
ENTITLEMENT

LEGAT ARCHITECTS
Design with a Difference

**HARBOUR VIEW
MACKINAC LLC**

**HARBOUR VIEW
INN
IMPROVEMENTS**

6676 Main St, Mackinac Island, MI 49757

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www.legat.com

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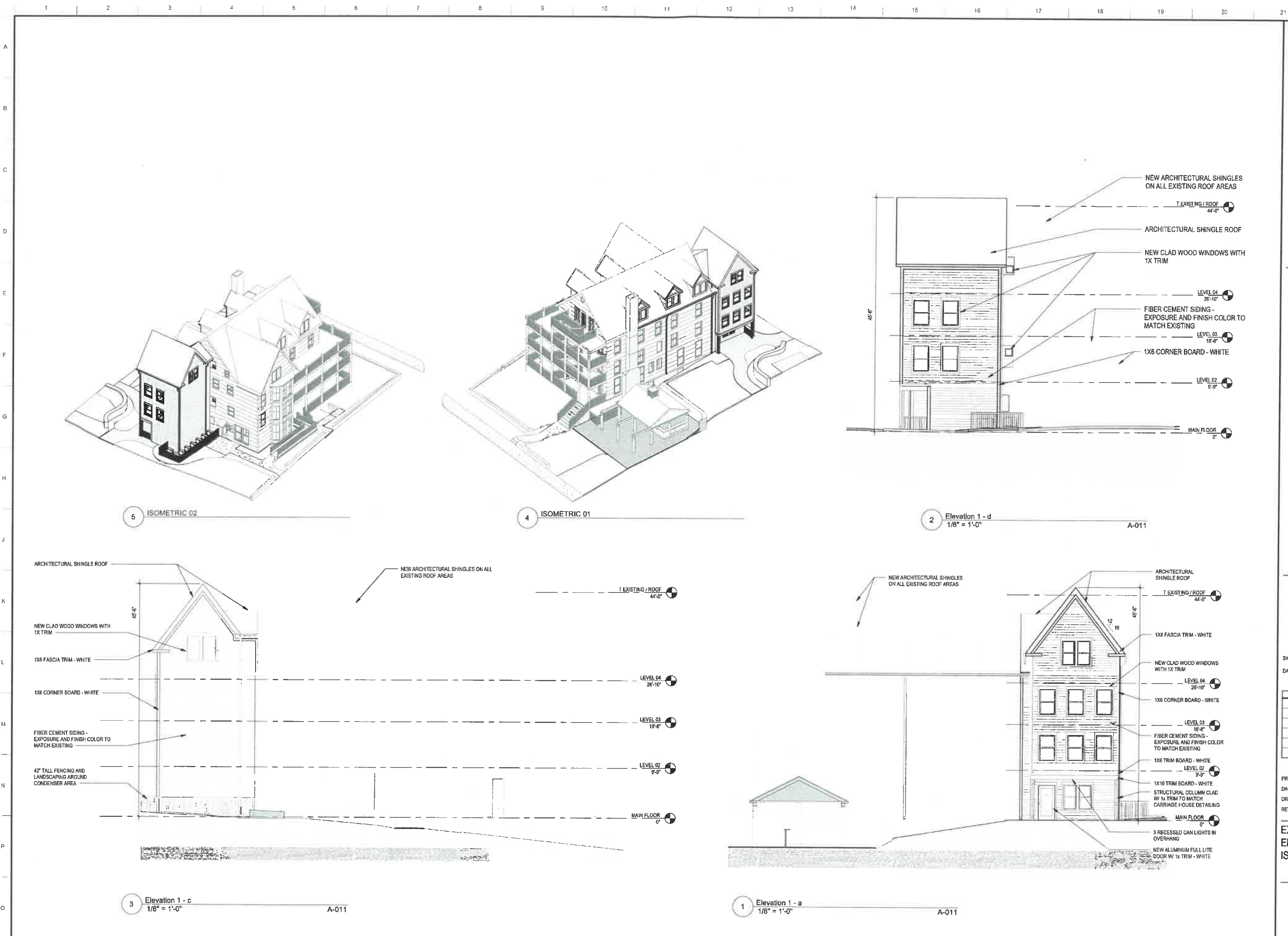
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DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER 22407800
DATE OF ISSUE 06/28/24
DRAWN BY Author
REVIEWED BY Checker

**EXTERIOR BUILDING
ELEVATIONS &
ISOMETRICS**

A-201
ENTITLEMENT



LEGAT ARCHITECTS
Design with a Difference

**HARBOUR VIEW
MACKINAC LLC**

**HARBOUR VIEW
INN
IMPROVEMENTS**

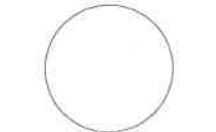
6876 Main St, Mackinac Island, MI 49757

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2015 Spring Rd, Suite 175
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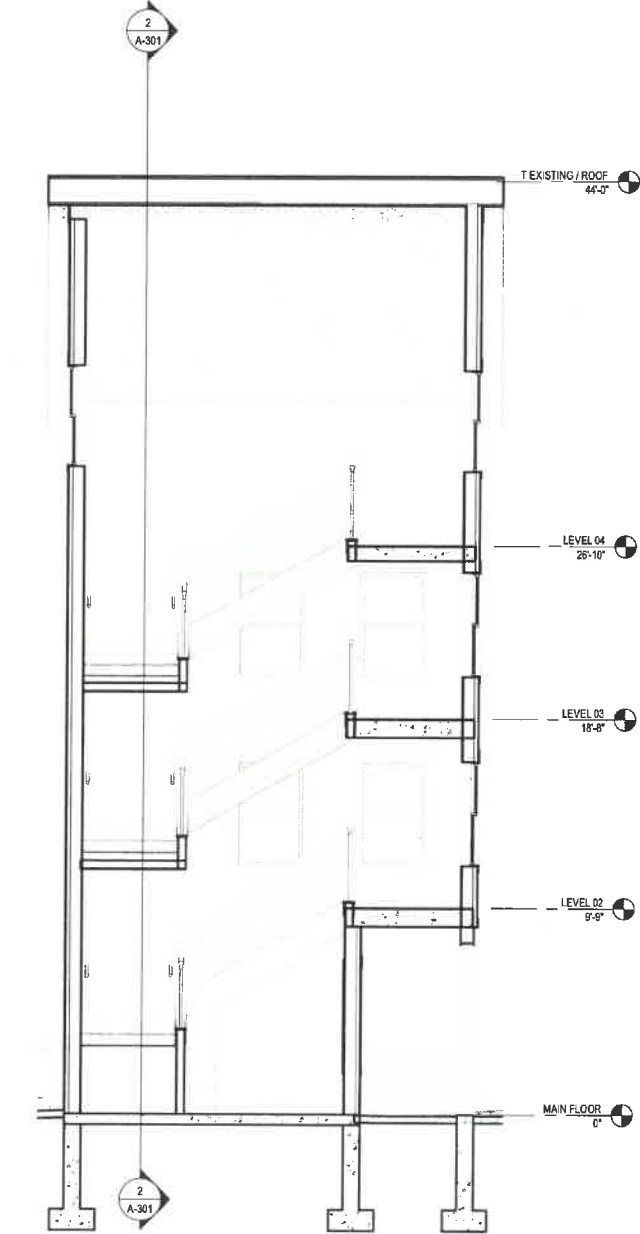
SIGNATURE _____
DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE

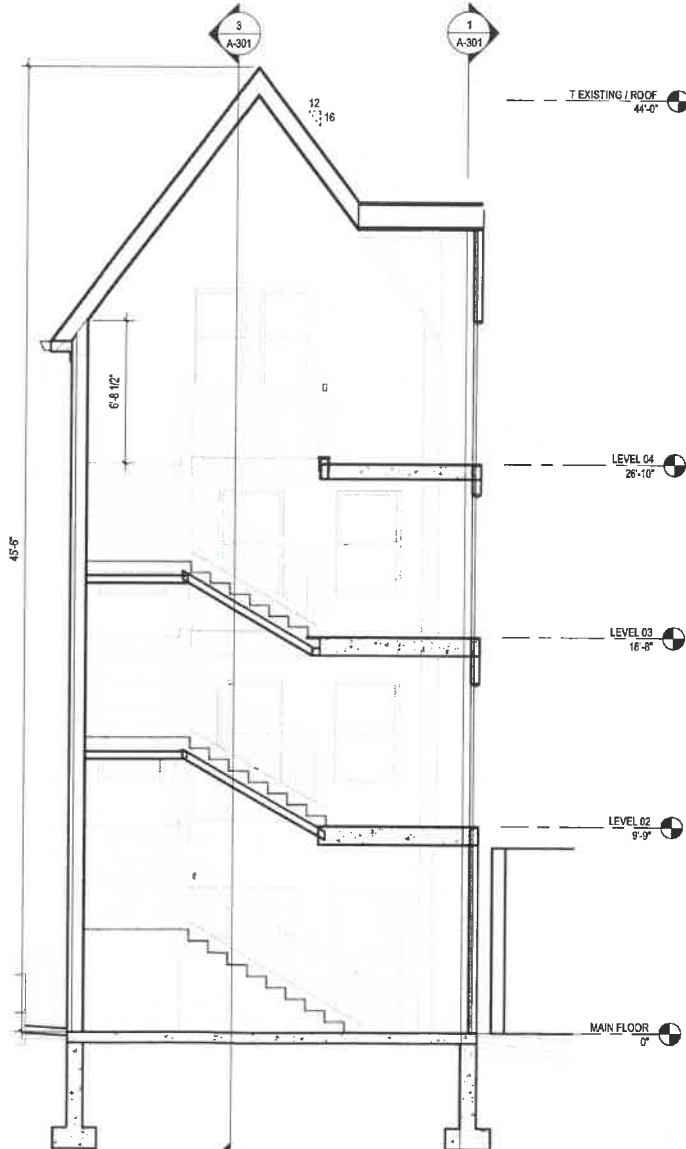
PROJECT NUMBER 22407800
DATE OF ISSUE 06/28/24
DRAWN BY Author
REVIEWED BY Checker

BUILDING SECTIONS

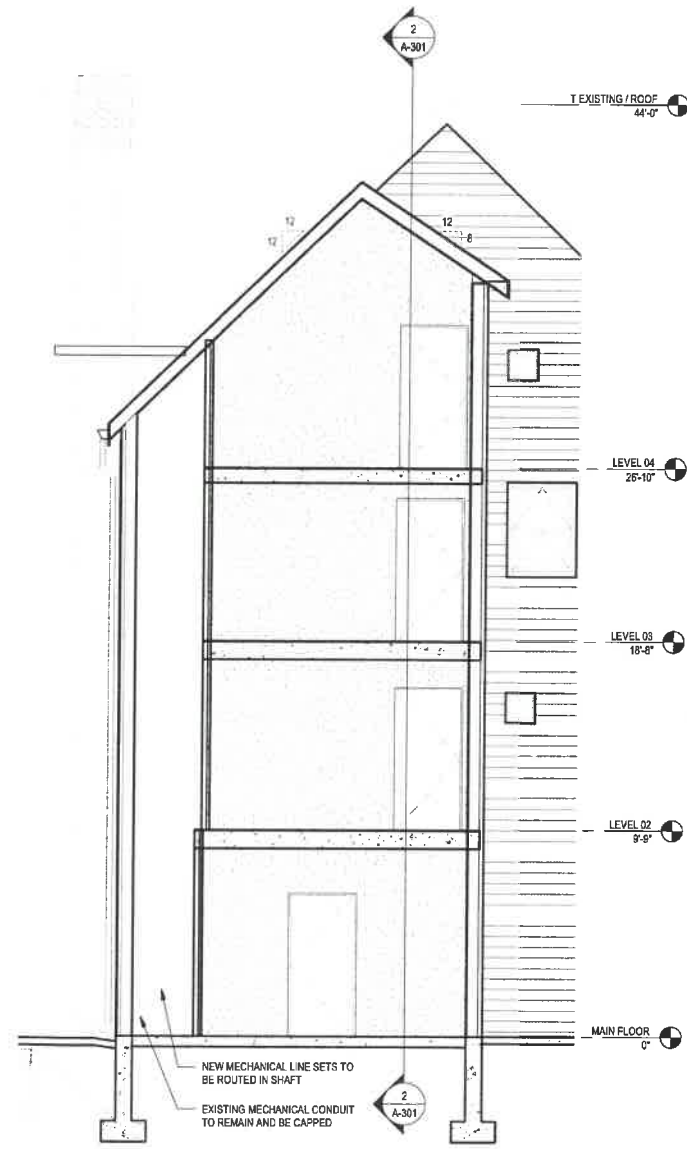
A-301
ENTITLEMENT



3 W/E SECTION THRU OPENING
1/4" = 1'-0" A-101



2 N/S Section
1/4" = 1'-0" A-101



1 W/E SECTION
1/4" = 1'-0" A-101

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Single Family
 Proposed Use: Existing house to become 2 condos. New building to be
single family.

C. If Vacant:

Previous Use: N/A

Proposed Use: _____

STATE OF MICHIGAN)
 COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the OWNER (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

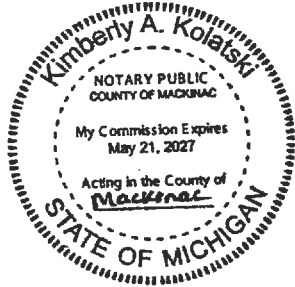
Signature

SIGNATURES

Signature

Please Print Name

Please Print Name

Signed and sworn to before me on the 31st day of July, 2024.

Notary Public

Mackinac County, Michigan
 My commission expires: 5/21/27

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: _____

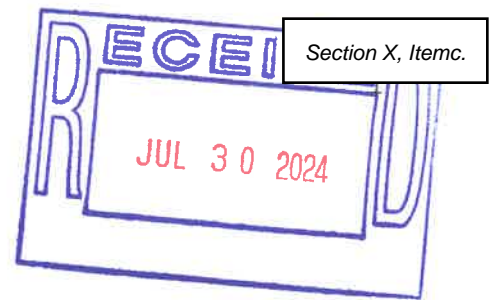
FEE: _____

DATE: _____

CHECK NO: _____

INITIALS: _____

Revised October 2023



City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

File No. R324-008.047(H)

Exhibit B

Date 7.30.24

Initials RP

Site Plan Review Checklist

Please Submit With The Application for Zoning Action Phase I

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

**Optional Preliminary Plan Review
Informational Requirements (Section 20.03)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.



13. Proposed construction start date and estimated duration of construction.



14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission



Natural Features

Provided

Not Provided or Applicable

15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)



16. Topography of the site with at least two- to five-foot contour intervals



17. Proposed alterations to topography or other natural features



18. Earth-change plans, if any, as required by state law



Physical Features

Provided

Not Provided or Applicable

19. Location of existing manmade features on the site and within 100 feet of the site



20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site



21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a



dwelling schedule showing the unit type and number of each such units

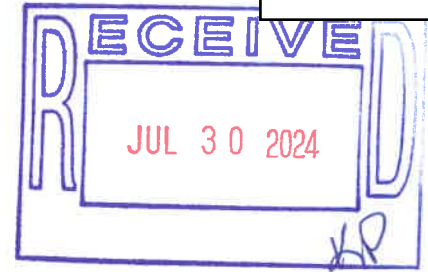
- | | | |
|--|-------------------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <p><i>- Coach lighting by all doors on both buildings</i></p> | | |
| <u>Utility Information</u> | <u>Provided</u> | <u>Not Provided or Applicable</u> |
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Architectural Review
Informational Requirements (Section 18.05)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

File No. R324008-047(H)Exhibit CDate 7.30.24Initials KP**Description of Work**1274 Mission Street
Mackinac Island, MI 49757

Proposed work:

To complete work in two phases:

Phase one: Move existing, two-story house to the front of the parcel, and create two separate condominiums, one on the ground floor and one on the upper floor.

Phase two: Build new condominium home on the back part of the parcel.

Refer to attached site plan dated July 29, 2024, for more detail

Property is zoned R-3 (*Hight Density Residential*) and is a non-contributing property located within the Mission Historic District.

Proposed development is a site condominium, the existing structure will be converted into two-single family condominiums, and the new structure will be a single-family condominium.

There are two existing REUs which will continue to be applied to the existing structure in "phase one" One new REU will be necessary for the new construction in "phase two"

Construction start dates:

Phase one; November 1, 2024, building of new foundation by Chad Belongia and Erin Winberg, December 1, 2024 move existing house by Nick Mangini . Construction completion target date May 12025.

Phase two; Foundation construction to begin December 1, 2024, with construction of the house commencing upon foundation completion by Ray Halberg.

Demolition of the existing basement to be performed by Chad Belongia, and construction debris will contained on property and handled by Mackinac Island Service Company.

Section 7.02 - Permitted uses R-3.

Multiple-family, two-family and single-family residential dwellings and accessory buildings/uses thereto, and churches or places of worship are permitted in this district.

Section 7.03 - Special land uses.

The following uses are permitted by special land use approval of the planning commission, provided that they are in compliance with the standards that follow and the procedures and standards in article 19.

A. Institutional, provided:

1. That a landscape buffer is provided along all property boundaries, which abut residential uses, in accordance with the requirements of section 4.09.
2. That off-street bicycle parking be provided in accordance with the requirements of section 4.16.
3. That the institutional use and/or structure complies with all other district regulations.

B. Boardinghouse, provided:

1. That a landscape buffer is provided along all property boundaries, which abut residential uses, in accordance with the requirements of section 4.09.
2. That off-street bicycle parking be provided in accordance with the requirements of section 4.16.
3. That the boardinghouse use and/or structure complies with all other district regulations.

Section 7.04 - Area, bulk, height, lot coverage, and density requirements.

- A. Lot size. The lot size for this district shall not be less than 5,000 square feet, nor less than 50 feet wide at the building line.
- B. Buildings, and structures shall be setback from property lines as follows:
 1. Front yard. Twenty-five feet minimum or in line with adjacent residences.*
 2. Side yard. Minimum five feet on one side and ten feet on the other.
 3. Rear yard. Twenty-five feet minimum.
 4. On the secondary streets of McGulpin, Church, Bourisaw, French Lane, Mahoney and

Mission, setbacks are:

- a. Side yard. Five feet minimum.
- b. Rear yard. Fifteen feet minimum.

* "In line" determined by zoning administrator averaging existing setbacks of all structures within 150 feet of proposed structure on the same side of the street, within the same zoning district.

- C. No principal building shall be less than 12 feet in height, nor shall any building exceed 35 feet, or 2½ stories, in height.
- D. The maximum lot coverage by impervious surfaces shall be 40 percent.
- E. The maximum permitted density for family residential use shall be 20 dwelling units per acre. For use as a boardinghouse, the maximum allowable density shall be one occupant per 500 square feet of lot area within which the building is placed. An occupant is a person who occupies a bed or sleeping area within the building for one or more overnight periods. In the event the building contains both family residential use and boardinghouse use (nonfamily residential use), the one occupant per 500 square feet of lot area density limitation shall apply to the entire building.



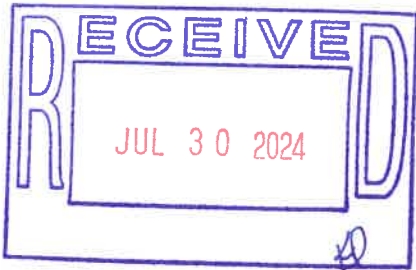
NORTH & WEST HOUSE ▲
▼ SOUTH & WEST HOUSE



ON WENDALL LOOKING EAST ▲
▼ ON WENDALL LOOKING SOUTHEAST



ON WENDALL LOOKING SOUTH ▲
▼ ON WENDALL LOOKING WEST



File No. R324-008-047(H)
Exhibit D
Date 7-30-24
Initials KP

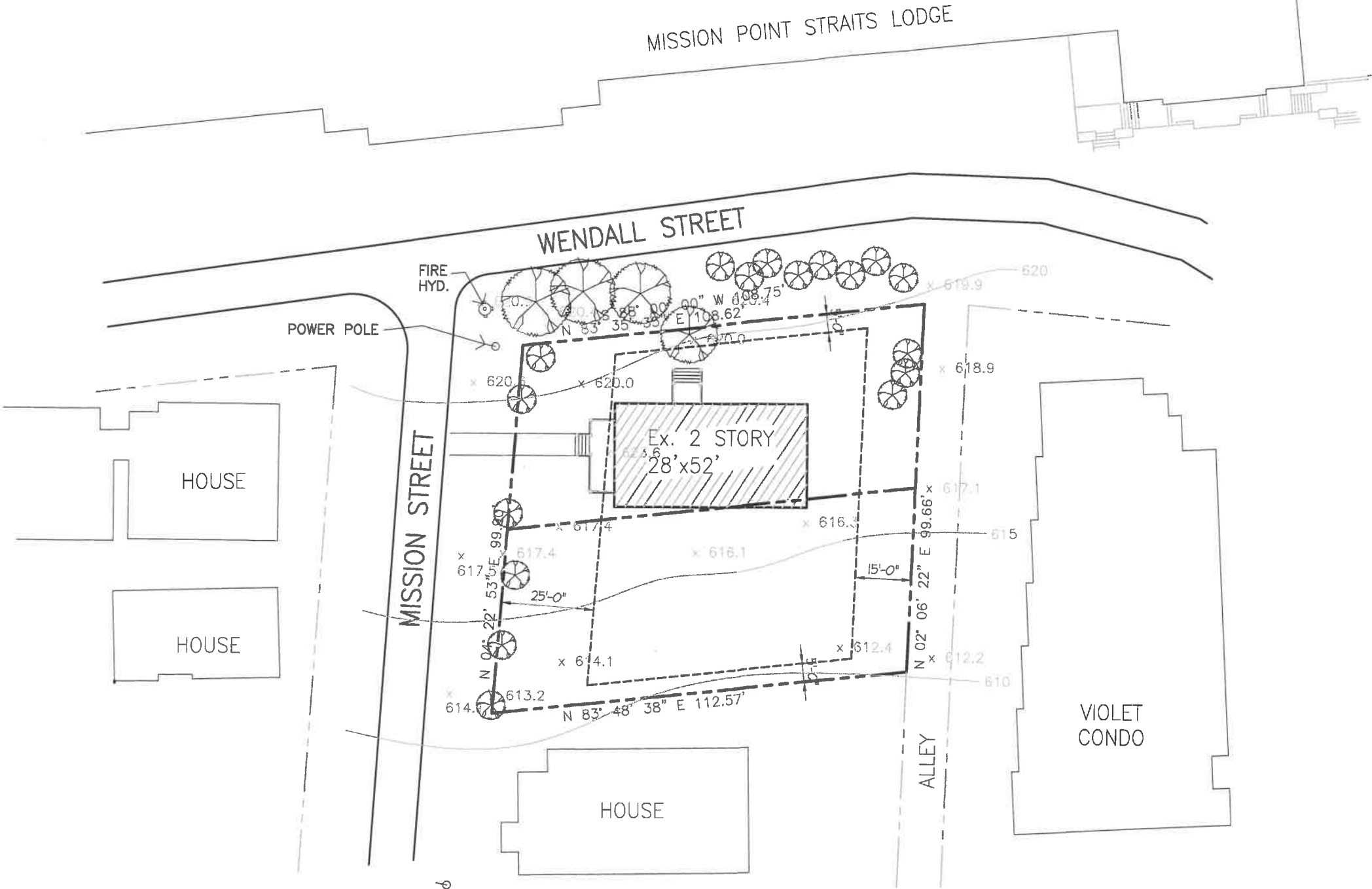
Richard Clements Architect, PLLC 15815 Merry Lane Oshtemo, MI 49759 richard@rca-llc.com 562-370-3681	
DOUD - BENSER RELOCATED DUPLEX, NEW RESIDENCE 1274 MISSION ST. MACKINAC ISLAND, MI 49757	
date: <u>July 26, 2024</u>	sheet:
project: <u>2204 - 2205</u>	X0.0 COPYRIGHT © 2024
AREA PHOTOS	

EXISTING STE

EXISTING INFO:

TAX #051-500-008-00
ASSESSOR'S PLAT #13
ZONED R-3
LOT AREA = 10,881 SF = 0.249 ACRES
ACTUAL IMPERVIOUS
HOUSE = 1,456 SF
WALKS/DECKS = 324 SF
TOTAL IMPERVIOUS = 1780 = 16.4%
MAX UNITS = 4 (20/ ACRE)
ACTUAL HEIGHT = 25'-0" 2 STORY

SETBACKS: SECTION 7.04, PARAGRAPH B.4:
ON THE SECONDARY STREETS OF
AND MISSION, SIDE YARDS = 5'-0" AND
REAR YARD = 15'-0"



LEGEND:

- PROPERTY LINE
- - - SETBACK LINE
- S- SANITARY LINE
- C-W- WATER LINE
- - - U.G. ELECTRIC

POWER POLE

POWER POLE

EXISTING SITE PLAN

SCALE 1"= 30'-0"

0 20

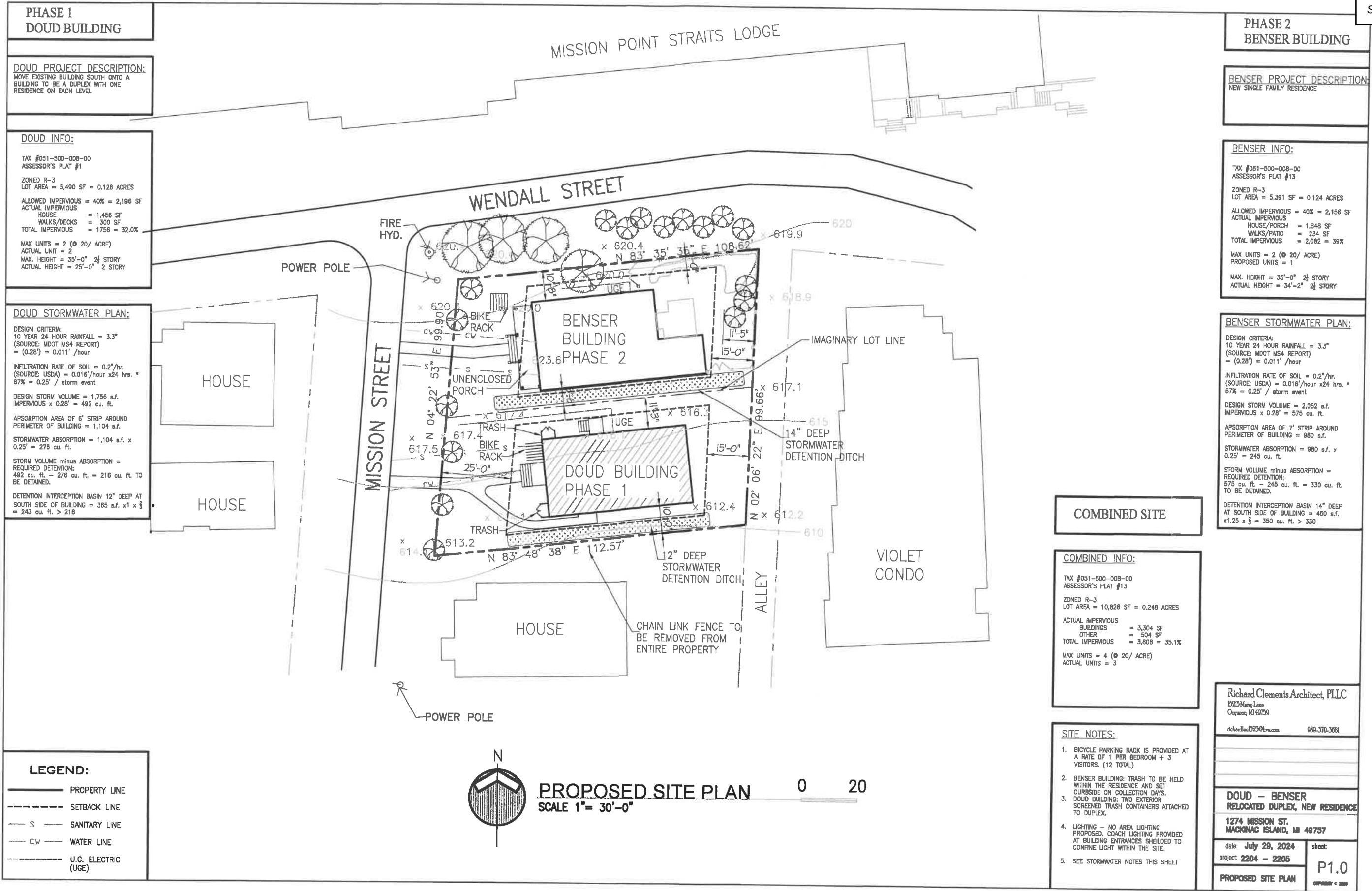
Richard Clements Architect, PLLC
1925 Merry Lane
Oscoda, MI 49759
richard@rca1925.com 869-370-3681

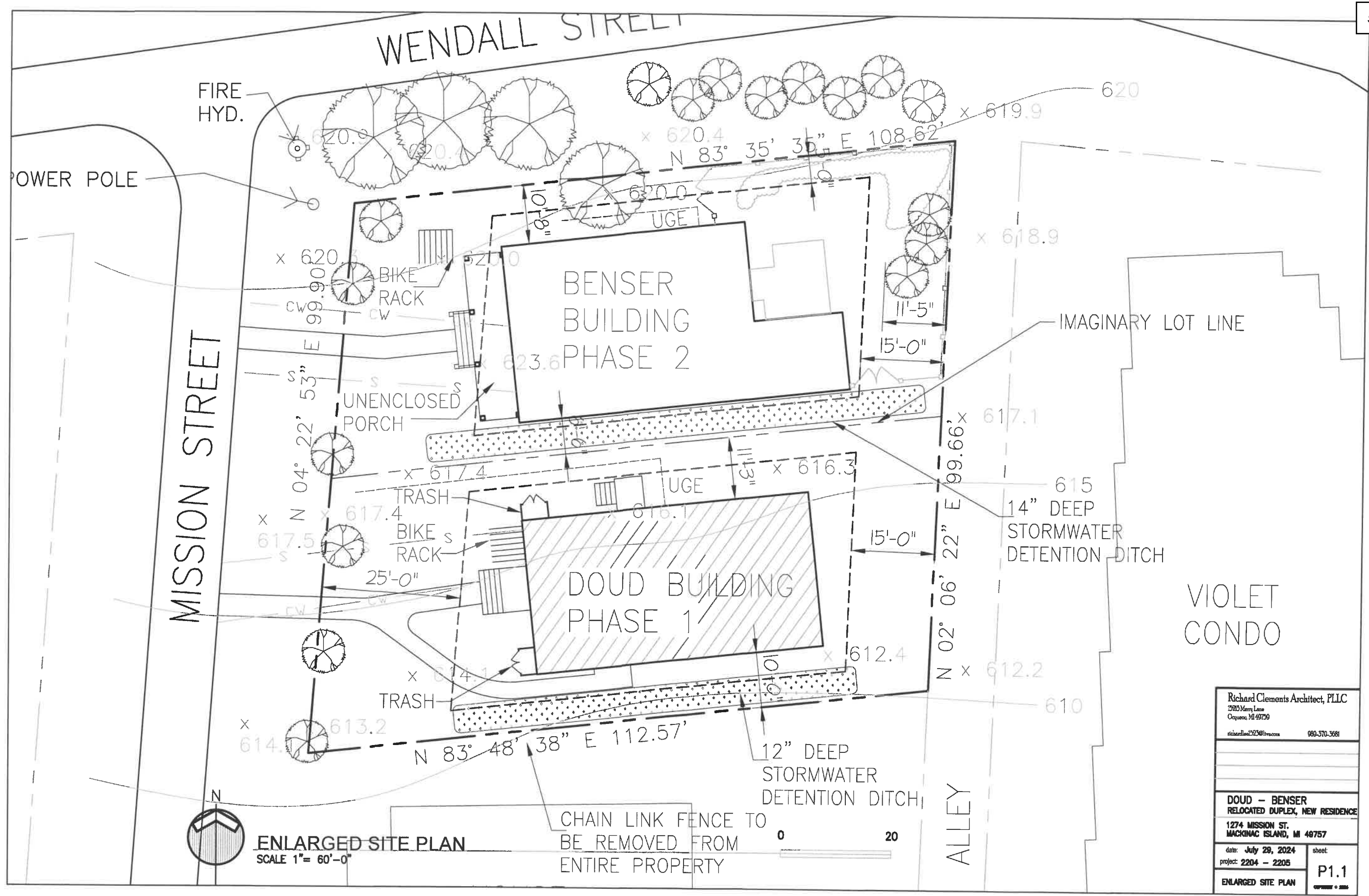
DOUD — BENSER
RELOCATED DUPLEX, NEW RESIDENCE

1274 MISSION ST.
MACKINAC ISLAND, MI 49757

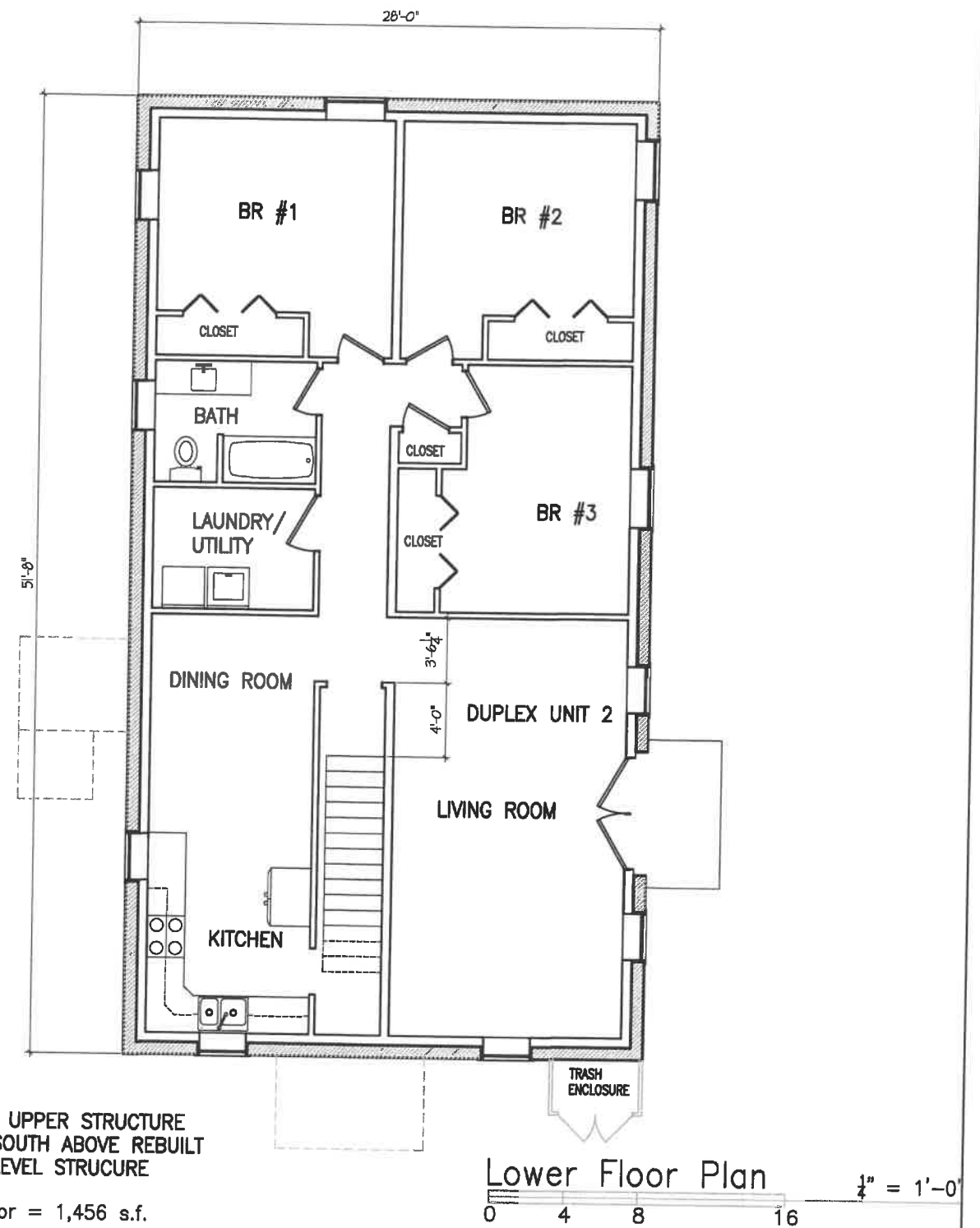
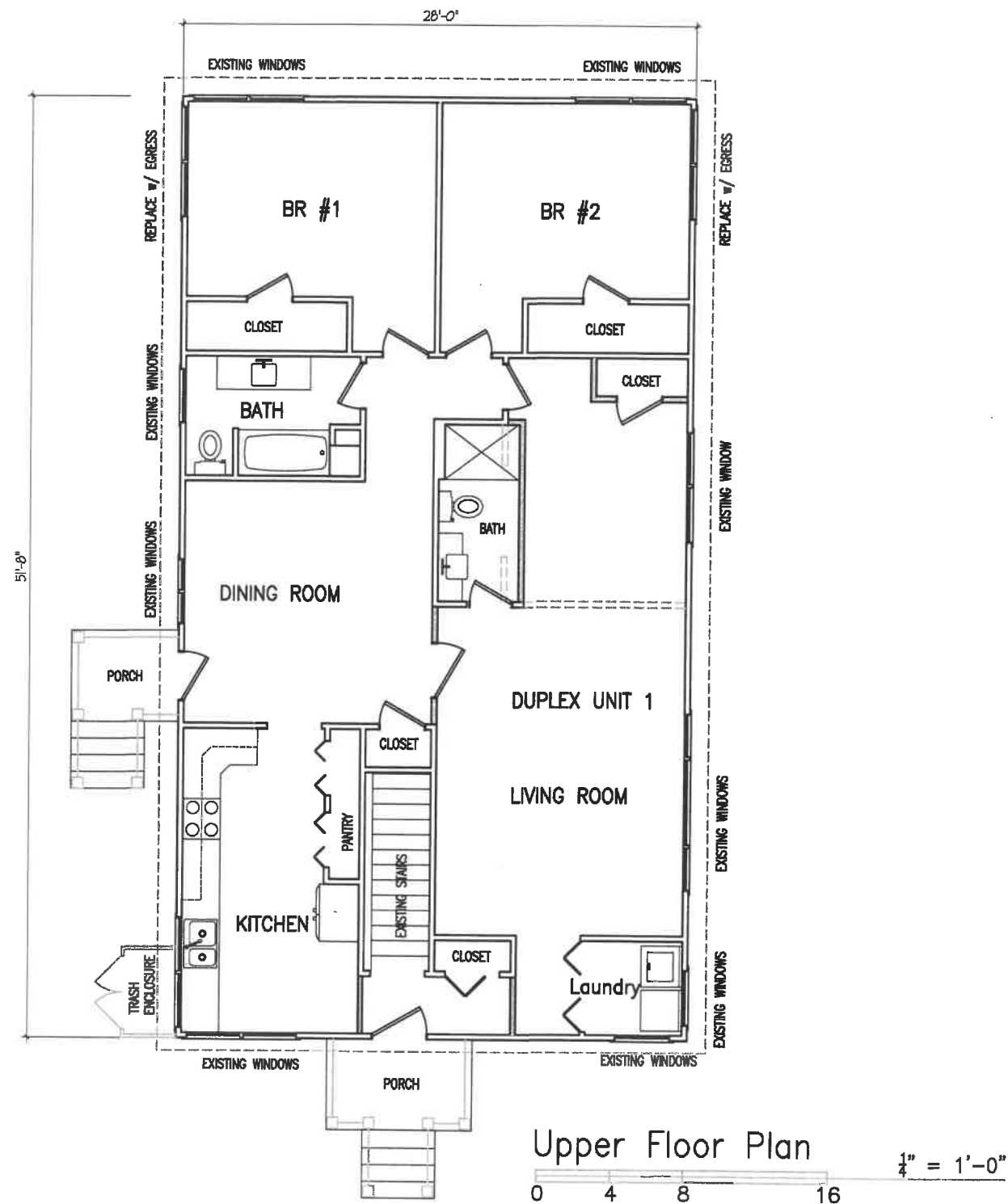
date: July 28, 2024 sheet:
project: 2204 — 2205

EXISTING SITE PLAN X1.0



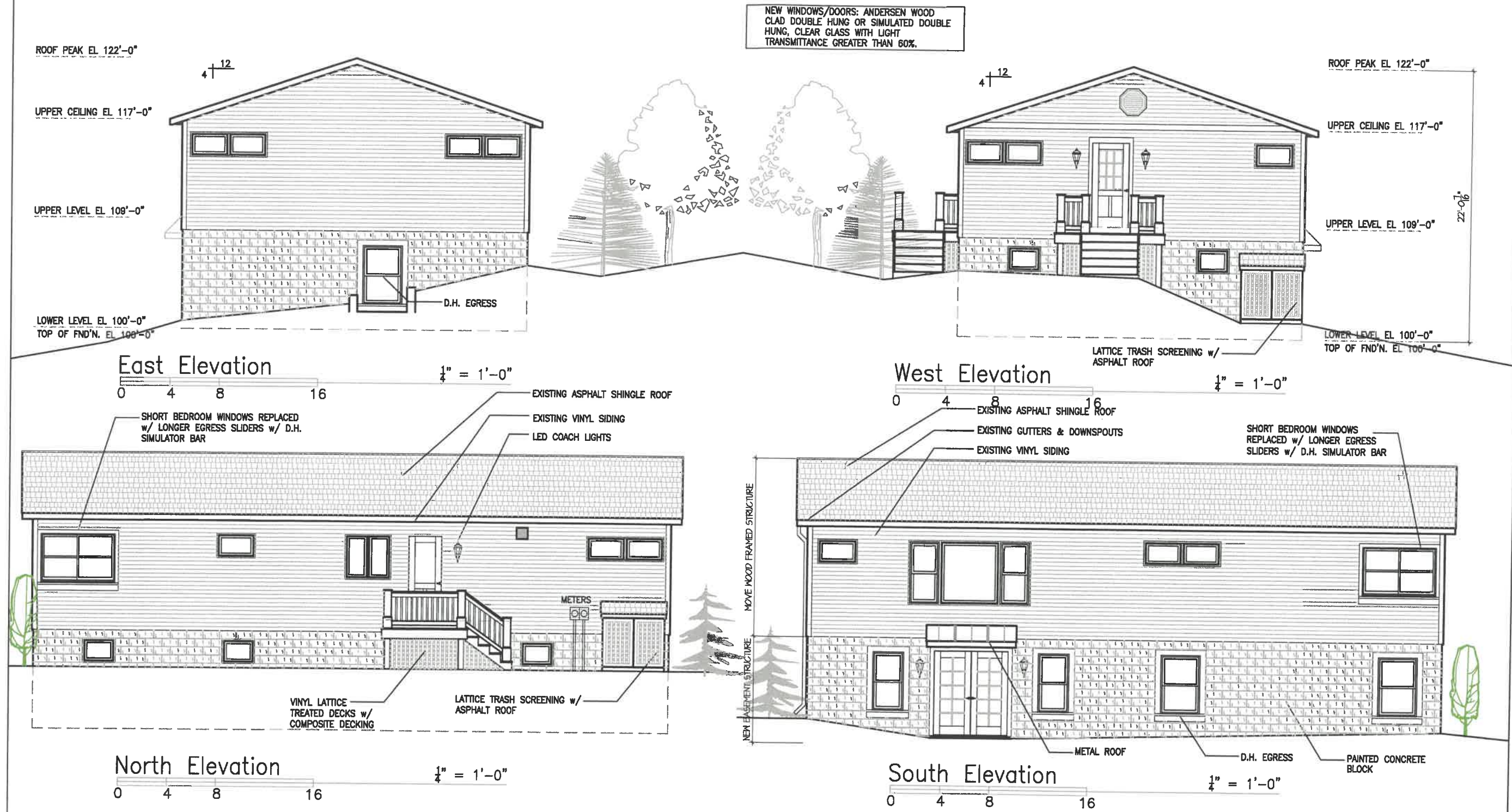


Richard Clements Architect, PLLC 1905 Mary Lane Oshtemo, MI 49729 richardcl@rca.com 989-370-3681	
DOUD - BENSER RELOCATED DUPLEX, NEW RESIDENCE 1274 MISSION ST. MACKINAC ISLAND, MI 49757	
date: July 28, 2024 project: 2204 - 2205	sheet: P1.1 ENLARGED SITE PLAN

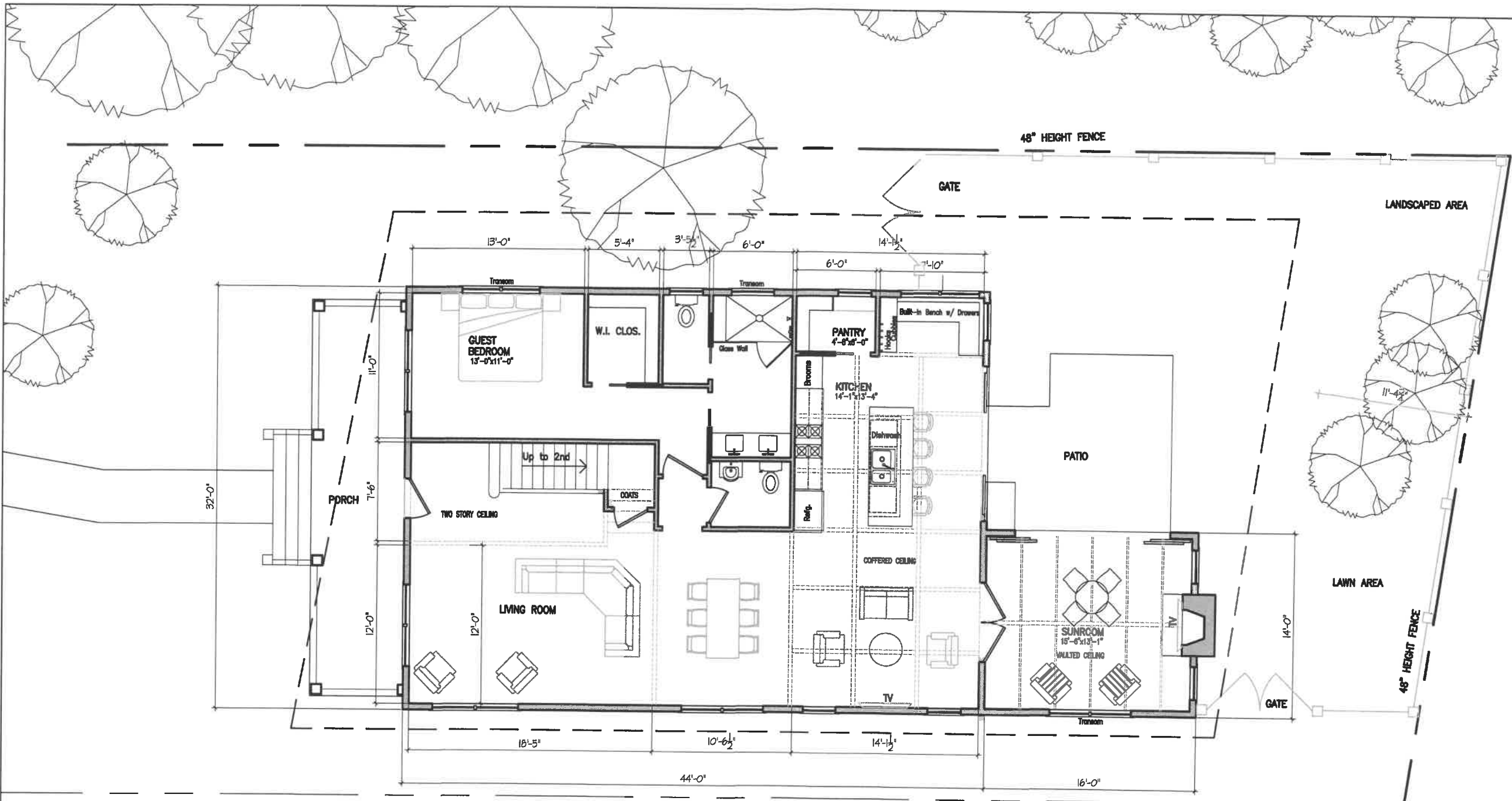


EXISTING UPPER STRUCTURE
MOVED SOUTH ABOVE REBUILT
LOWER LEVEL STRUCTURE
Each Floor = 1,456 s.f.

Richard Clements Architect, PLLC 15215 Merry Lane Osgood, MI 49759 richardlee1523@live.com 989-370-3681	ANDREW DOUD RELOCATED BUILDING 1274 MISSION ST. MACKINAC ISLAND, MI 49757	date: 7.29.24	sheet: D1.1 COPYRIGHT © 2024
		project: 2204	

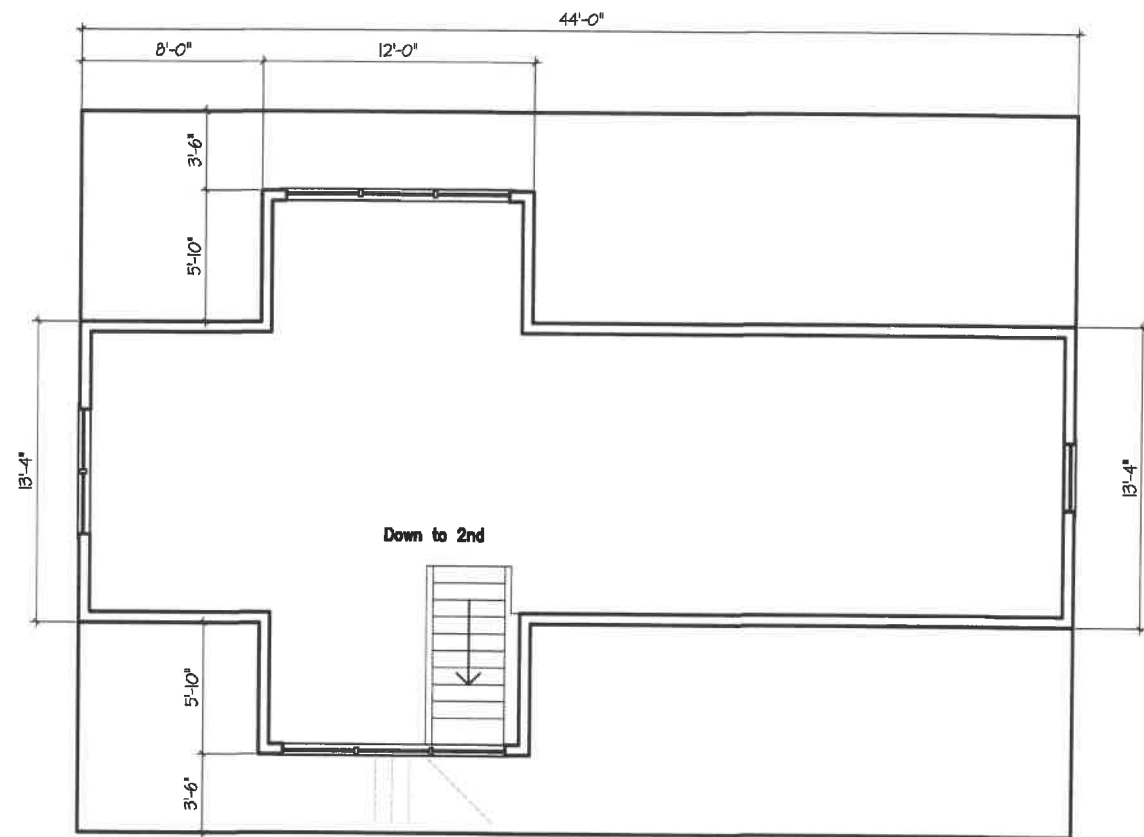


Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1525@live.com	ANDREW DOUD RELOCATED BUILDING 1274 MISSION ST. MACKINAC ISLAND, MI 49757	date: 7.29.24	sheet:
		project: 2204	D1.2 COPYRIGHT © 2024

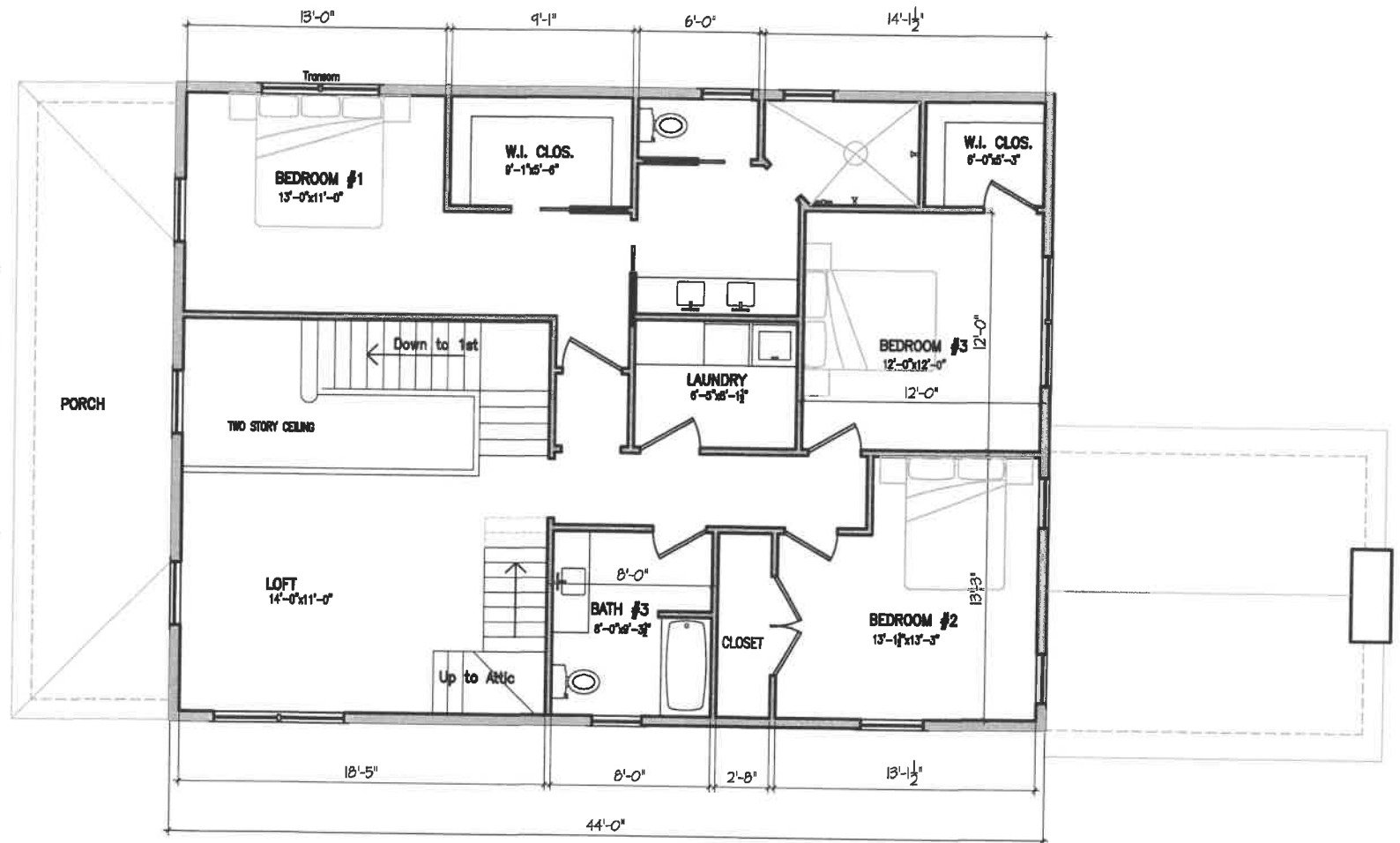


Main Floor Plan
1632 Square Feet
1" = 1'-0"

Richard Clements Architect, PLLC 15215 Merry Lane Oqueoc, MI 49759 richardlee1523@live.com 989-370-3681	ROBERT BENSER NEW RESIDENCE 1274 MISSION ST. MACKINAC ISLAND, MI 49757	sheet:	B1.1 COPYRIGHT © 2024
		date: 7.29.24 project: 2205	



Attic Level
0 4 8 16
702 Square Feet
1/4" = 1'-0"



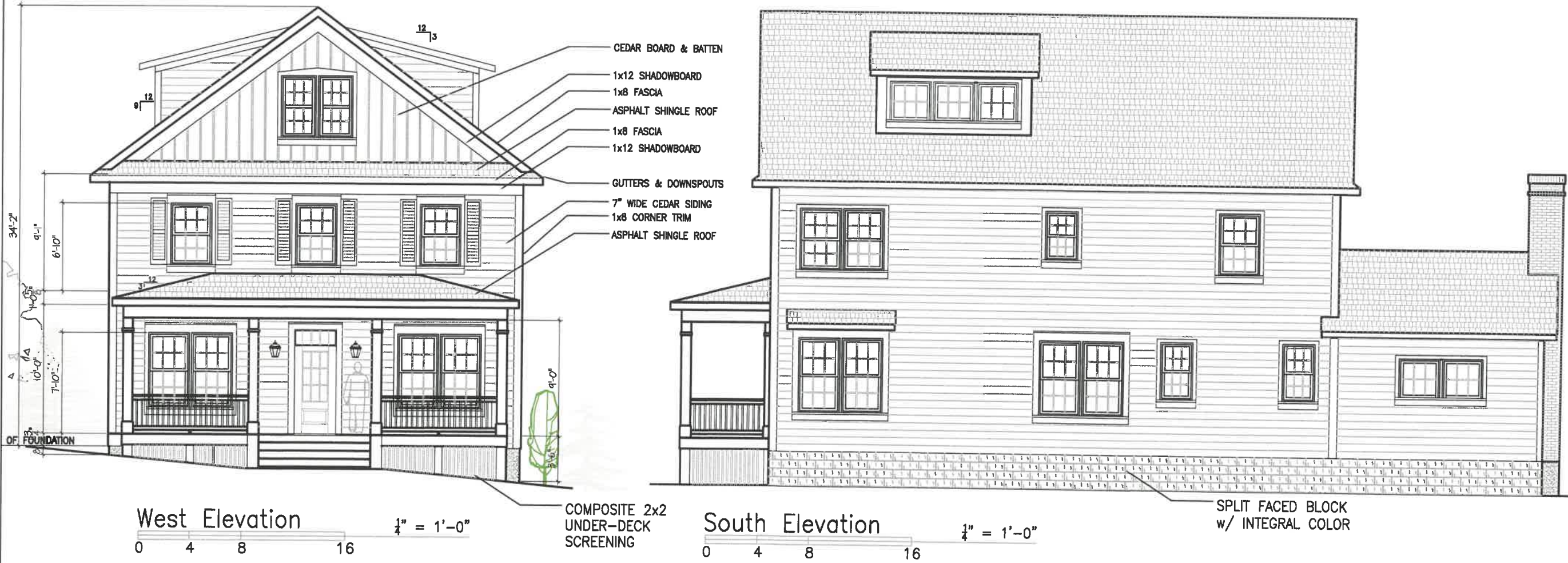
2nd Floor Plan
0 4 8 16
1408 Square Feet
1/4" = 1'-0"

Richard Clements Architect, PLLC
15215 Merry Lane
Ocqueoc, MI 49759
richardlee1523@live.com 989-370-3681

ROBERT BENSER
NEW RESIDENCE
1274 MISSION ST.
MACKINAC ISLAND, MI 49757

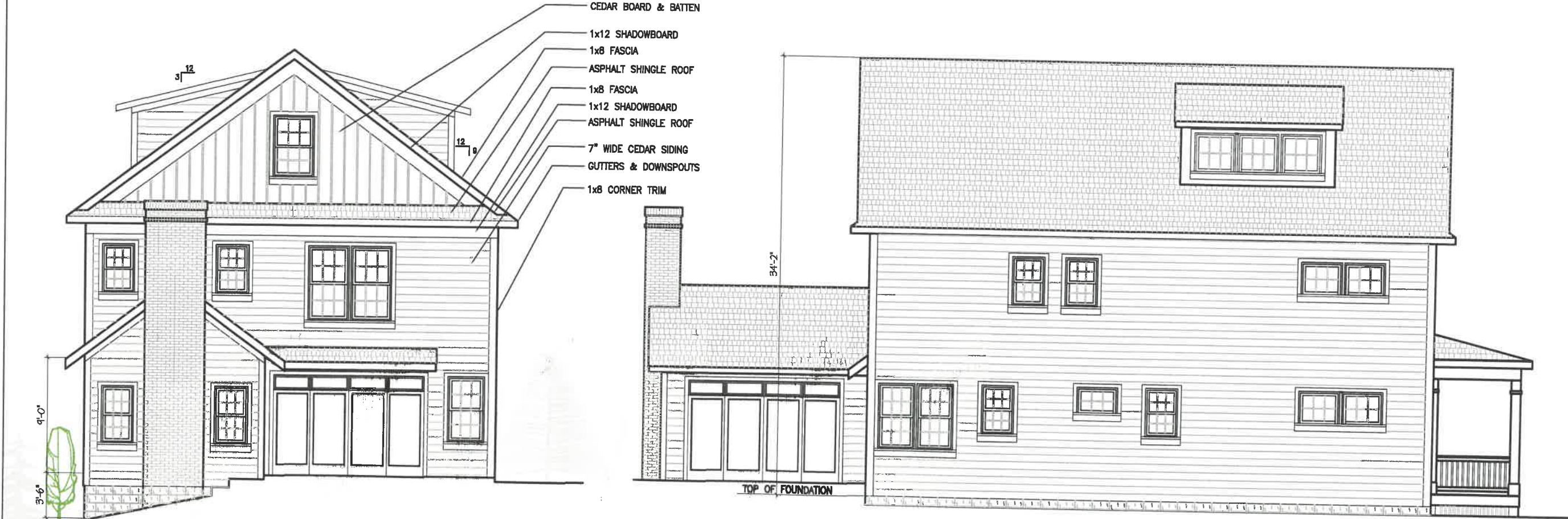
date: 7.29.24
project: 2205

sheet:
B1.2
COPYRIGHT © 2024



NEW WINDOWS/DOORS: ANDERSEN WOOD CLAD DOUBLE HUNG OR SIMULATED DOUBLE HUNG, CLEAR GLASS WITH LIGHT TRANSMITTANCE GREATER THAN 60%.

Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1523@live.com 989-370-3681	ROBERT BENSER NEW RESIDENCE 1274 MISSION ST. MACKINAC ISLAND, MI 49757	date: 7.29.24	sheet: B1.3 COPYRIGHT © 2024
		project: 2205	



East Elevation
0 4 8 16
1/4" = 1'-0"

North Elevation
0 4 8 16
1/4" = 1'-0"

NEW WINDOWS/DOORS: ANDERSEN WOOD
CLAD DOUBLE HUNG OR SIMULATED DOUBLE
HUNG, CLEAR GLASS WITH LIGHT
TRANSMITTANCE GREATER THAN 60%.

Richard Clements Architect, PLLC 15215 Merry Lane Ocoee, MI 49759 richardlee1523@live.com 989-370-3681	ROBERT BENSER NEW RESIDENCE 1274 MISSION ST. MACKINAC ISLAND, MI 49757	date: 7.29.24	sheet: B1.4 COPYRIGHT © 2024
		project: 2205	

STATEMENT OF CONCLUSIONS AND AGREEMENT OF CONDITIONS

This Statement of Conclusions and Agreement of Conditions is by and between **Anthony C. Brodeur and James Conley** (Owner), and the **City of Mackinac Island, Planning Commission**, a Michigan municipal corporation (City).

RECITATIONS

Owner holds fee title of the property located at 1274 Mission Street, Mackinac Island, Michigan 49757 (the Property).

Owner made application for a Special Land Use to change the use of the Property from single-family residence to Boardinghouse use, and voluntarily proposed conditions on said use.

A hearing was held on the application on or about June 8, 2021, after proper notice was posted and sent.

STATEMENT OF CONCLUSIONS

The City states that, through the Owner's application, answers to questions asked, and conditions proposed, the following conclusions have been made:

1. That the establishment, maintenance and operation of the special land use will not be detrimental to or endanger the public health, safety or general welfare.
2. That the special land use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor will it substantially diminish and impair property values within its neighborhood.
3. That the establishment of the special land use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
4. That adequate utilities, access roads, drainage and necessary facilities are being provided.
5. That adequate measures are in place to provide ingress or egress so designed to minimize congestion in the public streets.

6. That the special land use conforms to the applicable regulations of the R-3 High Density Residential district.
7. That the special land use conforms to all relevant criteria for review under Article 20.06.
8. That all provisions of Section 7.04 are met.

STATEMENT OF CONDITIONS

The Owner acknowledges and agrees that this Special Land Use is granted only on the following conditions:

1. There shall be no more than eight (8) occupants on the property at any given time.
2. No pets shall reside on or stay at the property.
3. The property shall contain no more than five (5) bedrooms.
4. That the occupants of the property shall be "key employees" of the owner, who are year-round, non-transient professionals.
5. Off-street bicycle parking for no less than eight (8) bicycles shall be provided on the property and shall meet all appropriate zoning rules.
6. All building codes shall be met prior to occupancy, including but not limited to bringing the windows in the existing bedrooms up to code.
7. The Owner shall purchase the required number of REUs as set by the Department of Public Works.
8. Any amendments to the use or the conditions stated herein shall require a new application, public hearing and decisions by the Planning Commission.
9. That all statements made on Owner's application (attached hereto as Exhibit A) are true and accurate and shall be additional conditions to the special land use.

**City of Mackinac Island, Planning
Commission, By:**



Michael Straus, Its Chairperson

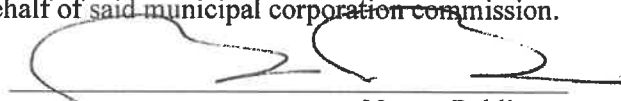
STATE OF MICHIGAN)

:SS

County of Mackinac)

On August 4, 2021, before me, a Notary Public, in and for said County,
personally appeared Michael Straus, Chairperson of the City of Mackinac Island Planning Commission,
me known to be the same person described in and who executed the within instrument, who
acknowledged the same to be his free act and deed on behalf of said municipal corporation commission.

BRENDA BUNKER, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 07/21/2025



_____, Notary Public
Mackinac County, Michigan
My Comm. Expires: _____
Acting in Mackinac County, Michigan

OWNER:

Anthony C. Brodeur

James Conley

STATE OF MICHIGAN)

:SS

County of Mackinac)

On _____, 2021, before me, a Notary Public, in and for said County,
personally appeared Anthony C. Brodeur and James Conley, me known to be the same persons described
in and who executed the within instrument, who severally acknowledged the same to be their free act and
deed.

_____, Notary Public
Mackinac County, Michigan
My Comm. Expires: _____
Acting in Mackinac County, Michigan

DRAFTED BY:
Erin K. Evashevski
Attorney at Law
838 North State Street
St. Ignace, MI 49781

OWNER:

Anthony C Brodeur
Anthony C. Brodeur

STATE OF MICHIGAN)
 :SS
County of Mackinac)

On August 3, 2021, before me, a Notary Public, in and for said County,
personally appeared Anthony C. Brodeur me known to be the same person described in and who executed
the within instrument, who acknowledged the same to be his free act and deed.

K. RICKLEY, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 10/21/2025

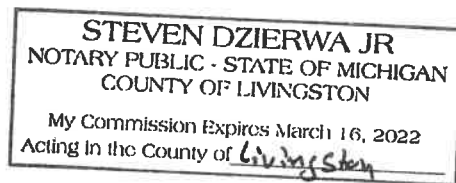
K. Rickley
K. Rickley, Notary Public
Mackinac County, Michigan
My Comm. Expires: 10/21/2025
Acting in Mackinac County, Michigan

OWNER:

James Conley
 James Conley Conley

STATE OF MICHIGAN)
 :SS
 County of Livingston)

On Aug 2nd, 2021, before me, a Notary Public, in and for said County,
 personally appeared James Conley, me known to be the same person described in and who executed the
 within instrument, who acknowledged the same to be his free act and deed.



Steven Dzierwa Jr, Notary Public
Livingston County, Michigan
 My Comm. Expires: 03/16/2022
 Acting in Livingston County, Michigan

DRAFTED BY:
 Erin K. Evashevski
 Attorney at Law
 838 North State Street
 St. Ignace, MI 49781

File No. HB23-015.033

Exhibit F

Date 7.30.24

Initials KP

CITY OF MACKINAC ISLAND

PLANNING COMMISSION & BUILDING DEPARTMENT

APPLICATION FOR ZONING ACTION

www.cityofmi.org

kep@cityofmi.org

906-847-6190

PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

City of Mackinac Island

PO Box 455, Mack Isl, MI 49757

906-847-3702

Phone Number

Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Is The Proposed Project Part of a Condominium Association?

NO

Is The Proposed Project Within a Historic Preservation District?

NO

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

yes

Is a Variance Required?

NO

Are REU's Required? How Many?

yes

2

Type of Action Requested:

☒ Standard Zoning Permit

☐ Special Land Use

☐ Planned Unit Development

☐ Other _____

☐ Appeal of Planning Commission Decision

☐ Ordinance Amendment/Rezoning

☐ Ordinance Interpretation

Property Information:

A. Property Number (From Tax Statement): 051-675-015-80

B. Legal Description of Property: attached

C. Address of Property: TBD Forest Drive

D. Zoning District: HB

E. Site Plan Checklist Completed & Attached: ☒

F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) ☒

G. Sketch Plan Attached: N/A

H. Architectural Plan Attached: ☒

I. Association Documents Attached (Approval of project, etc.): N/A

J. FAA Approval Documents Attached: _____

K. Photographs of Existing and Adjacent Structures Attached: _____

Proposed Construction/Use:

A. Proposed Construction:

☒ New Building

☐ Alteration/Addition to Existing Building

☐ Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Vacant
Proposed Use: Duplex

C. If Vacant:

Previous Use: Vacant
Proposed Use: duplex

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**

Trista L France
Signature

SIGNATURES _____
Signature

Trista L France
Please Print Name

Please Print Name

Signed and sworn to before me on the 30 day of July, 2024.



Kathryn Pereny
Notary Public

Mackinac County, Michigan
My commission expires: 8.7.30

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: H23.015.033 FEE: waived

DATE: 7.30.24 CHECK NO: N/A INITIALS: KP Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review
Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input type="checkbox"/>

- | | | |
|---|--------------------------|-------------------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input type="checkbox"/> | <input type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | <u>Natural Features</u> | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|---|-------------------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | <u>Physical Features</u> | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|---|-------------------------------------|-----------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input type="checkbox"/> | <input type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- | | | |
|--|-------------------------------------|--------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Utility Information

<u>Provided</u>	<u>Not Provided or Applicable</u>
-----------------	---------------------------------------

- | | | |
|--|-------------------------------------|--------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input type="checkbox"/> |

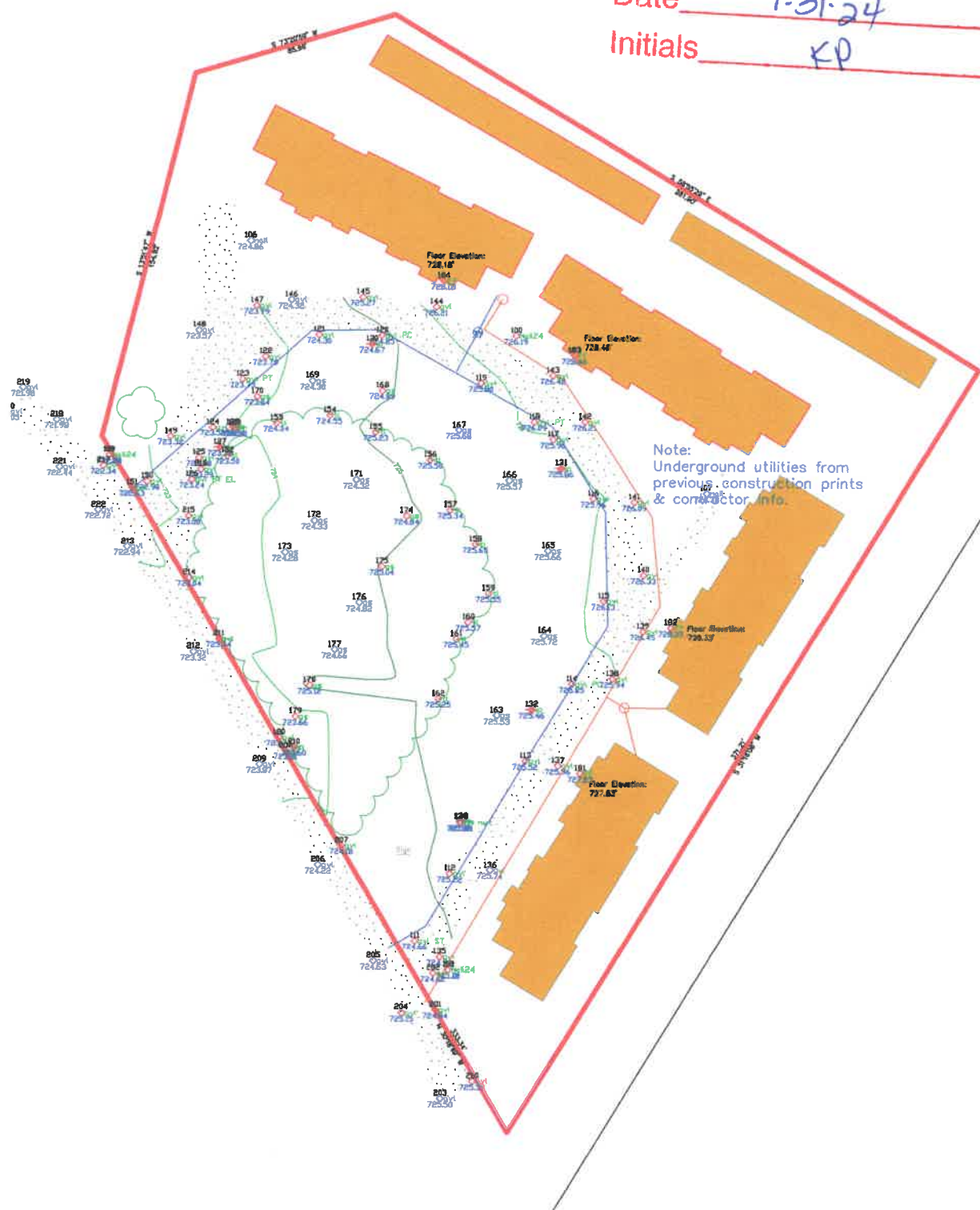
**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input type="checkbox"/>

File No. #B23-015.033
Exhibit H
Date 7-31-24
Initials KP



PRE 2022: 0%

PRE 2023: 0%

Section X, Itemd.

Prev Year Info	MBOR Assessed	Final SEV	Final Taxable
2022	\$992,850	\$992,850	\$992,850
2021	\$747,450	\$747,450	\$747,450

Land InformationFile No. AB23015.033

Acreage: 0

Exhibit D

Zoning:

Date 7-30-24Initials KP**Tax Description**

PRIVATE CLAIM NO.3 COMM AT THE NE COR OF P.C.3 TH S 33 DEG 20'W 175.0 FT ALONG E'LY LINE OF P.C.3 TO THE POB TH N 56 DEG 52'40"W 314.59 FT TO SE'LY LINE OF STATE PARK LAND 95 FT M/L TO NE'LY COR OF STONECLIFFE MANOR V CONDOMINIUM TH S 15 DEG 41'51"W 154.91 FT ALONG N'LY LINE OF CONDOMINIUM TH S 28 DEG 28'50"E 370.86 FT ALONG N'LY LINE OF CONDOMINIUM TO THE E'LY LINE OF P.C.3 TH N 33 DEG 20'E ALONG E'LY LINE TO POB 2.12 ACRES M/L PART OF P.C. NO.3

Sales Information

Sale Date: 01-05-2022

Sale Price: 0

Instrument: OTH

Grantor: CITY OF MACKINAC ISLAND

Grantee:

Terms of Sale: 21-NOT USED/OTHER

Liber/Page: 927/372

Sale Date: 10-07-2019

Sale Price: 0

Instrument: OTH

Grantor: CITY OF MACKINAC ISLAND

Grantee:

Terms of Sale: 21-NOT USED/OTHER

Liber/Page: 875/164

Sale Date: 04-04-2018

Sale Price: 405000

Instrument: WD

Grantor: TURTLE ISLAND PARTNERS LLC

Grantee: CITY OF MACKINAC ISLAND

Terms of Sale: 13-GOVERNMENT

Liber/Page: 848/506

Sale Date: 02-26-2018



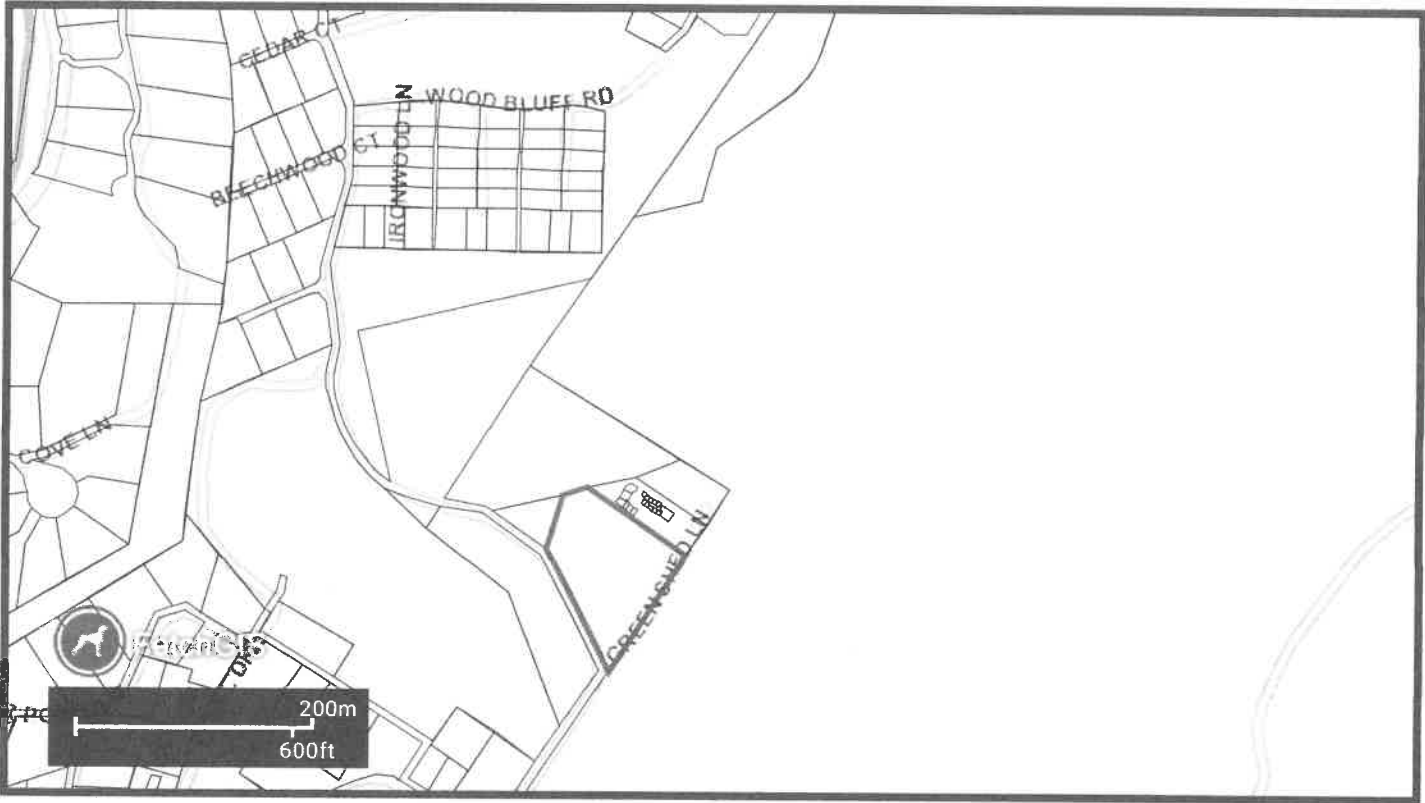
Eastern UP GIS

Parcel Report: 051-675-015-80

Section X, Itemd.

7/31/2024

10:41:29 AM



Property Address

3816 FOREST DR 101-106
MACKINAC ISLAND, MI, 49757

Owner Address

CITY OF MACKINAC ISLAND	Unit:	051
—	Unit Name:	CITY OF MACKINAC ISLAND
102 SOUTH MAIN ST		
MOUNT PLEASANT, MI 48858		

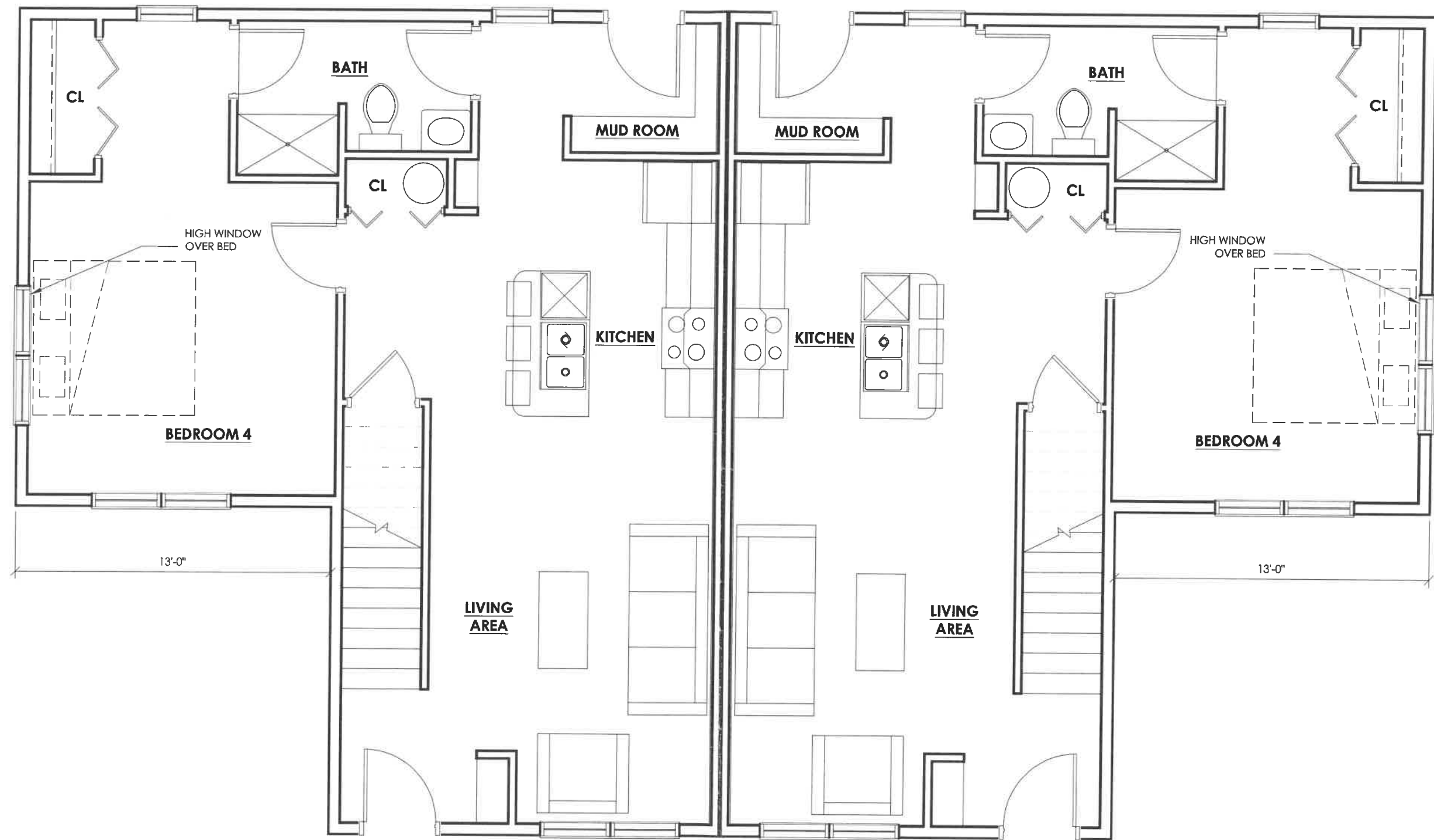
General Information for 2023 Tax Year

Parcel Number:	051-675-015-80	Assessed Value:	\$1,254,550
Property Class:	201	Taxable Value:	\$1,251,942
Class Name:	Commercial 201	State Equalized Value:	\$1,254,550
School Dist Code:	49110		
School Dist Name:	District 49110		

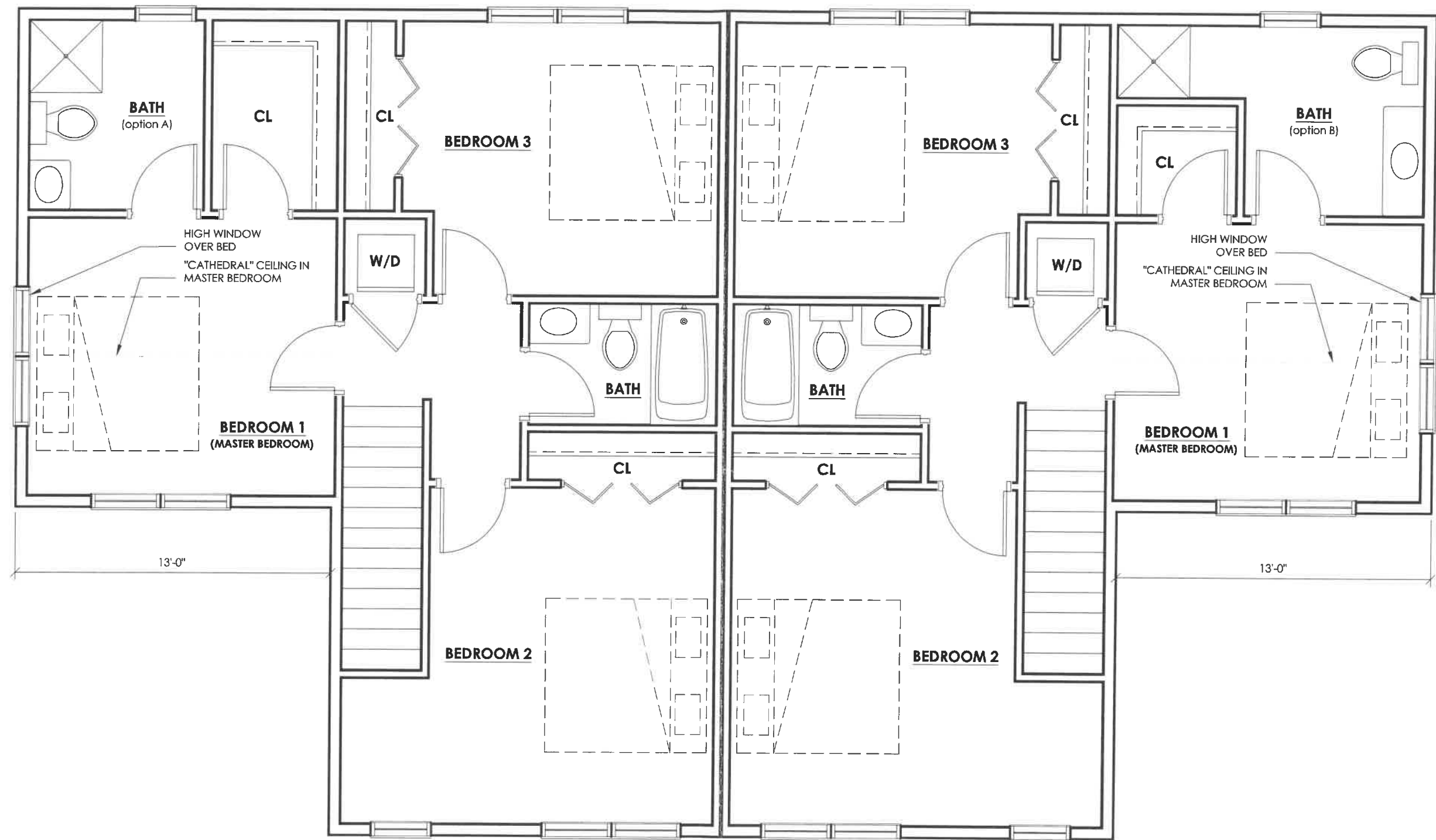
File No. HB23-015-033
Exhibit B
Date 5-18-23
Initials KP



Elevation Option 2.3



FIRST FLOOR
FOREST WAY DUPLEX
PLAN OPTION 3
01/25/2023



SECOND FLOOR
FOREST WAY DUPLEX
PLAN OPTION 3
01/25/2023

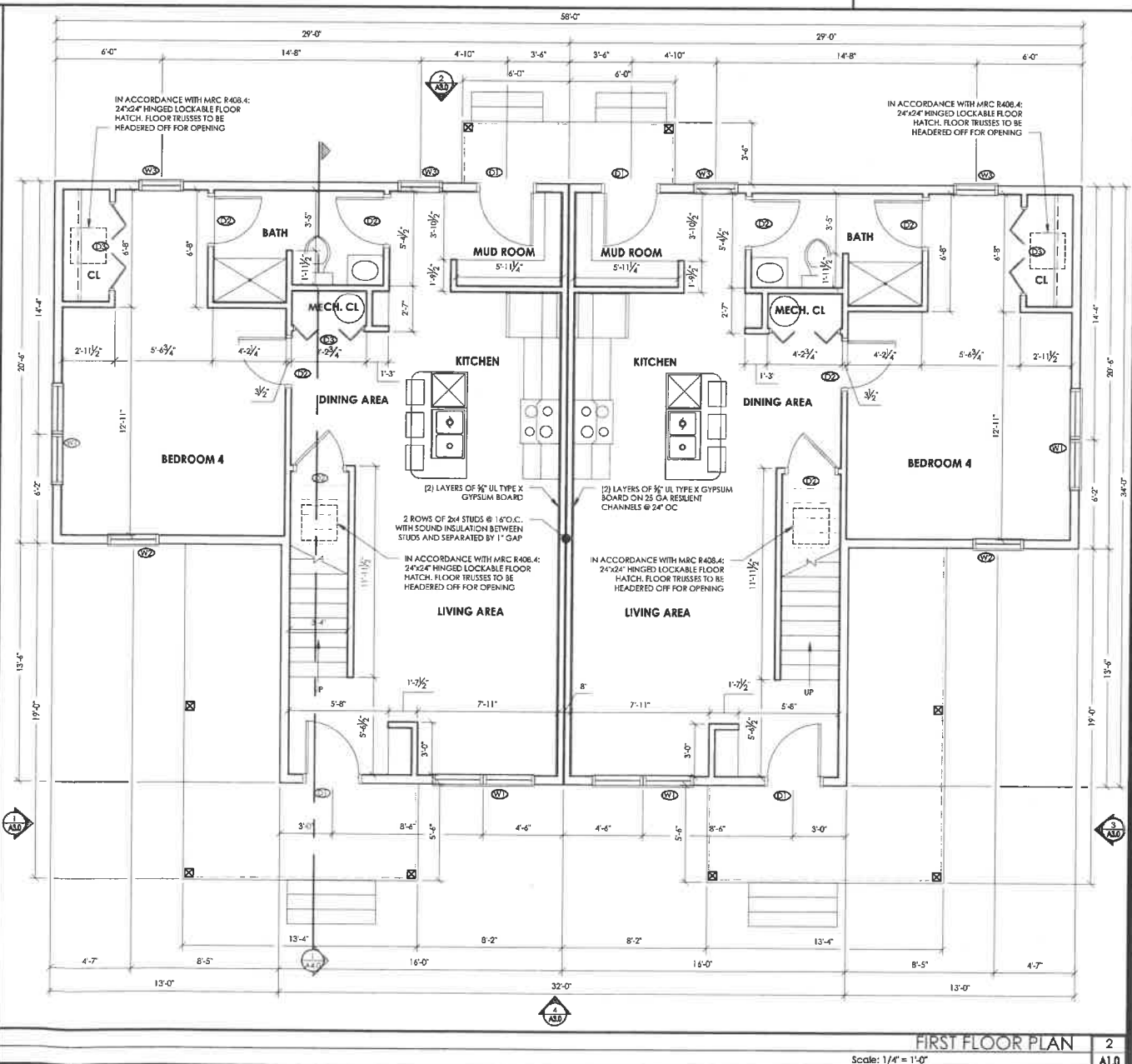
DOOR TYPES

Diagram illustrating four door types with dimensions:

- (17) Solid door, 3'-0" wide, 6'-5" high.
- (18) Solid door, 2'-8" wide, 6'-5" high.
- (19) Door with a diamond pattern, 5'-0" wide (2'-6" + 2'-6"), 6'-5" high.
- (20) Door with a diamond pattern, 4'-0" wide (2'-0" + 2'-0"), 6'-5" high.

A horizontal line indicates the FINISH FLOOR level.

- | PLAN NOTES | |
|------------|---|
| 1. | ALL COUNTERTOPS TO BE MECHANICALLY FASTENED |
| 2. | RISE FOR THE SPRINKLERS TO BE LOCKED. |



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DESIGN DEVEL. 10.04.2023

A1.0 PLANS

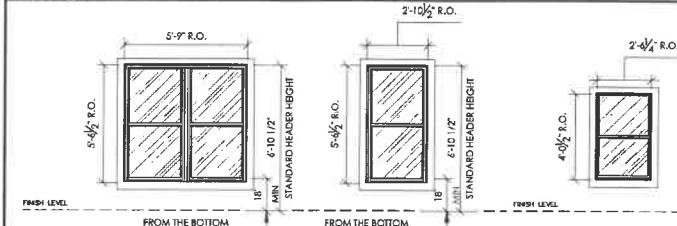
MACKINAC ISLAND
FOREST WAY DUPLEX
FOREST DRIVE WAY
MACKINAC ISLAND, MICHIGAN

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DESIGN/REVIEW 10.04.2023

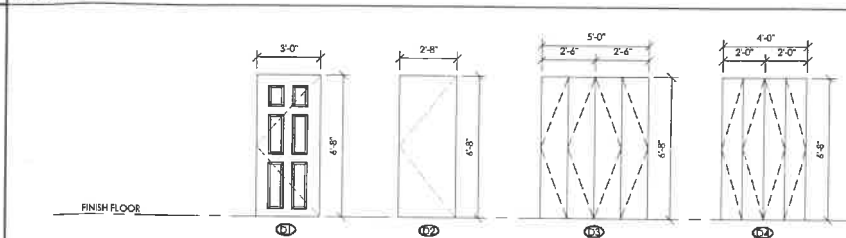
A2.0
PLANS

WINDOW SCHEDULE



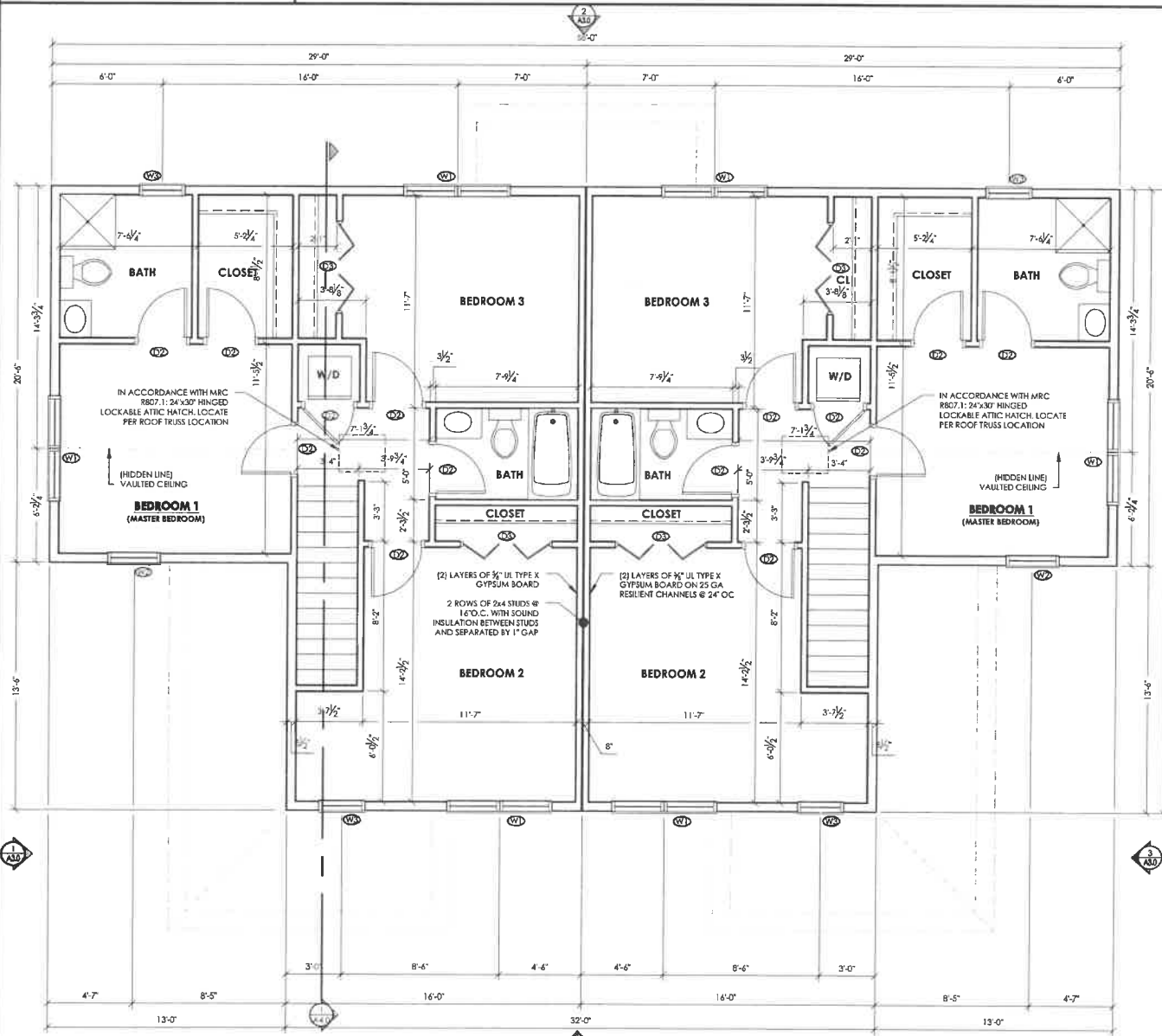
WINDOW NO.	W1	W2	W3
LOCATION	EXTERNAL	EXTERNAL	EXTERNAL
SIZE	AS DIMENSIONED	AS DIMENSIONED	AS DIMENSIONED
TYPE	OPERABLE (SINGLE HUNG WITH SCREEN)	OPERABLE (SINGLE HUNG WITH SCREEN)	OPERABLE (SINGLE HUNG WITH SCREEN)
MATERIAL	VINYL/GLASS	VINYL/GLASS	VINYL/GLASS
FINISH	PRE FINISHED	PRE FINISHED	PRE FINISHED
REMARKS	NO LOCKS - 2800 V1 SERIES	WITH WOOD LOCK - 2800 V1 SERIES	WITH WOOD LOCK

DOOR TYPES



PLAN NOTES

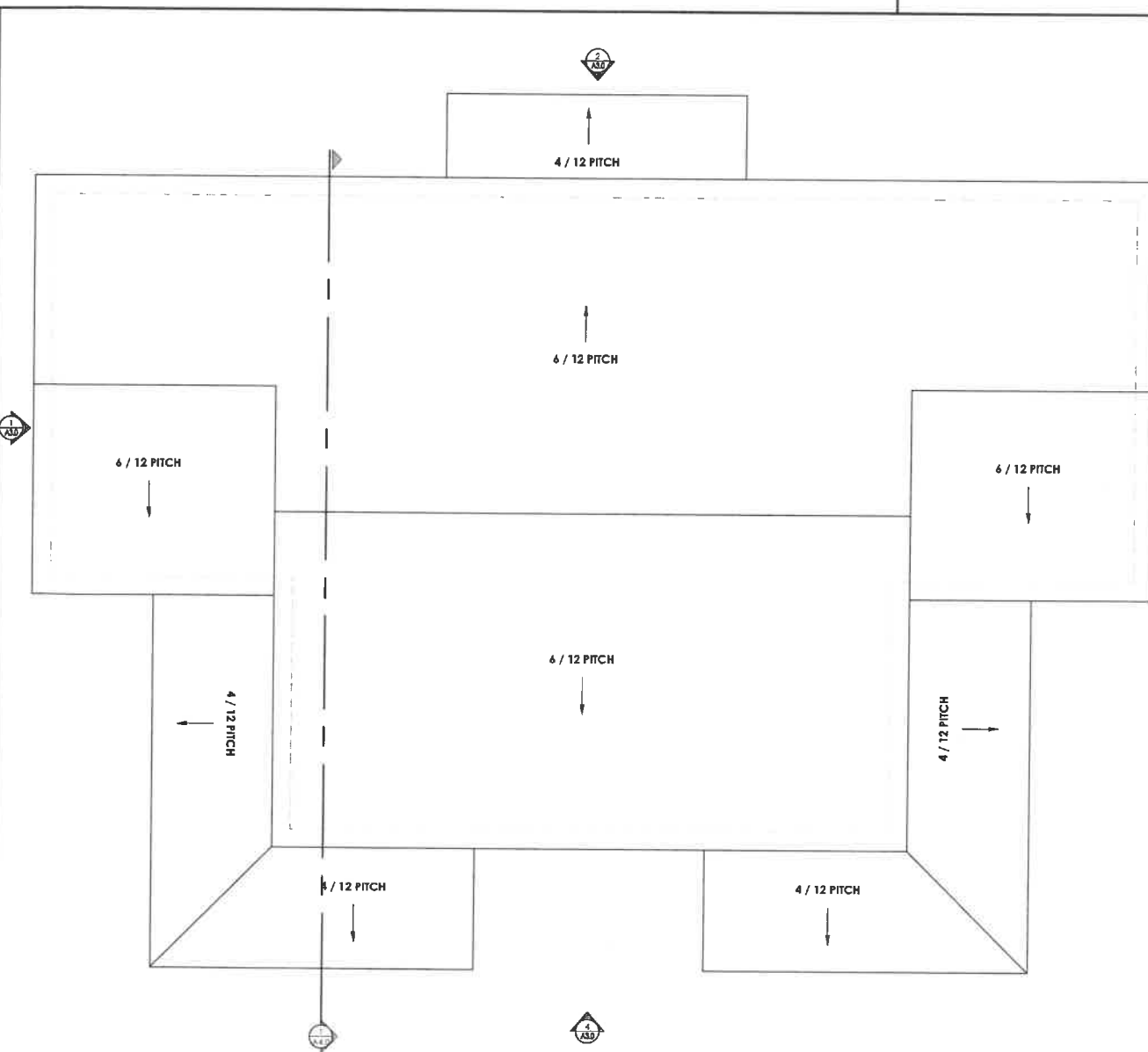
1. ALL COUNTERS TO BE MECHANICALLY FASTENED
2. RISER FOR THE SPRINKLERS TO BE LOCKED.



SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

A2.0



ROOF PLAN

Scale: 1/4" = 1'-0"

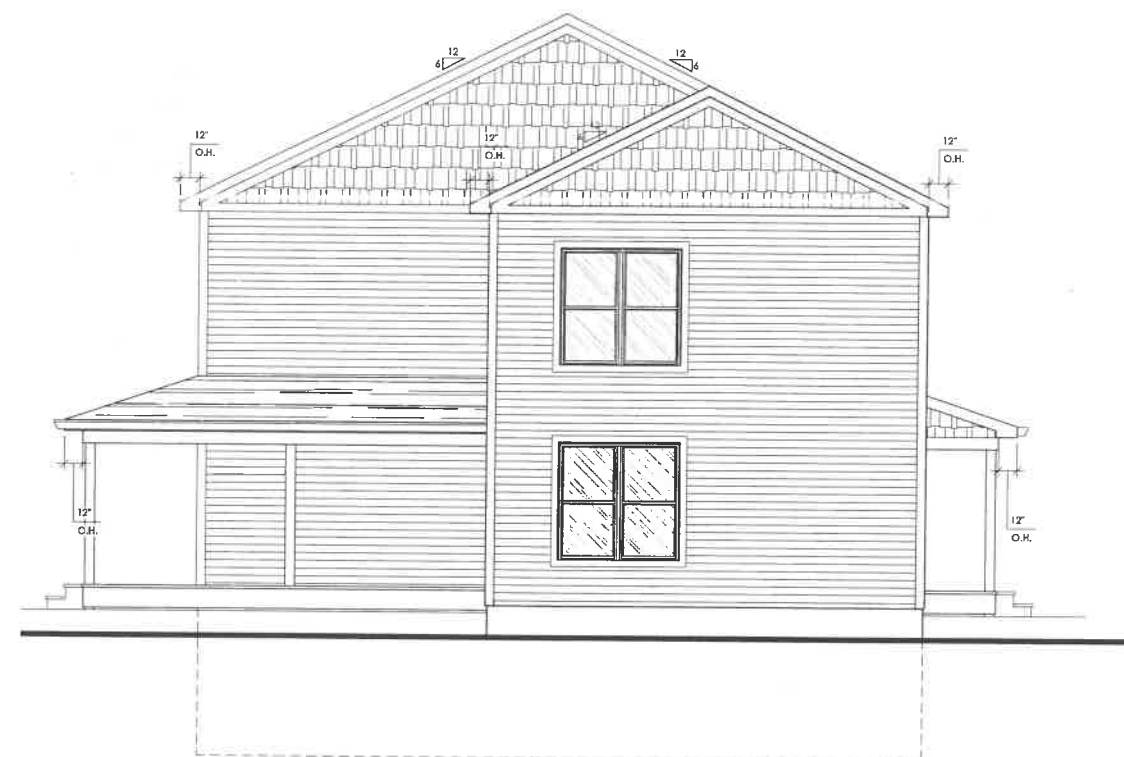
A2.0



FRONT ELEVATION

Scale: 1/4" = 1'-0"

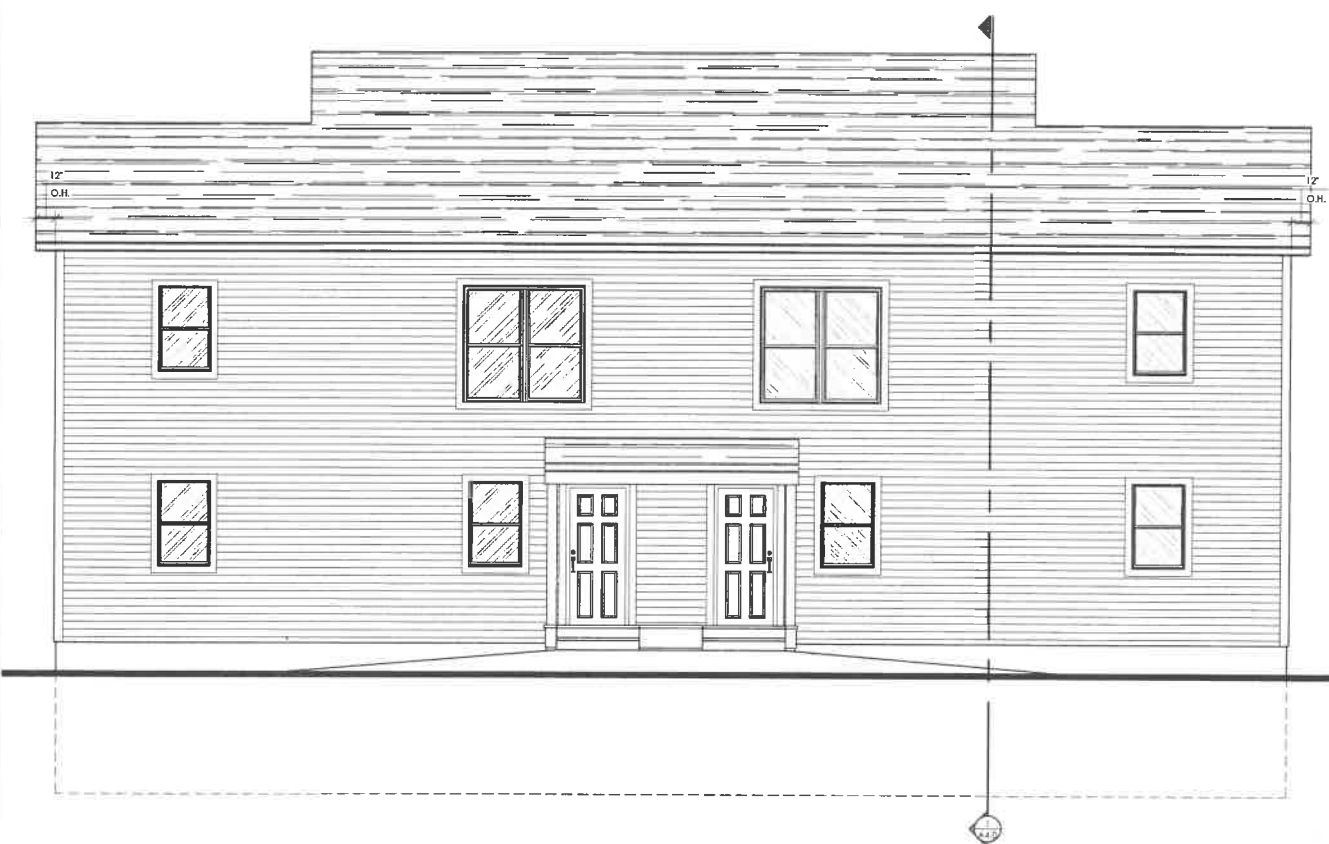
4	A3.1
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SIDE ELEVATION 2

Scale: $1/4" = 1'$

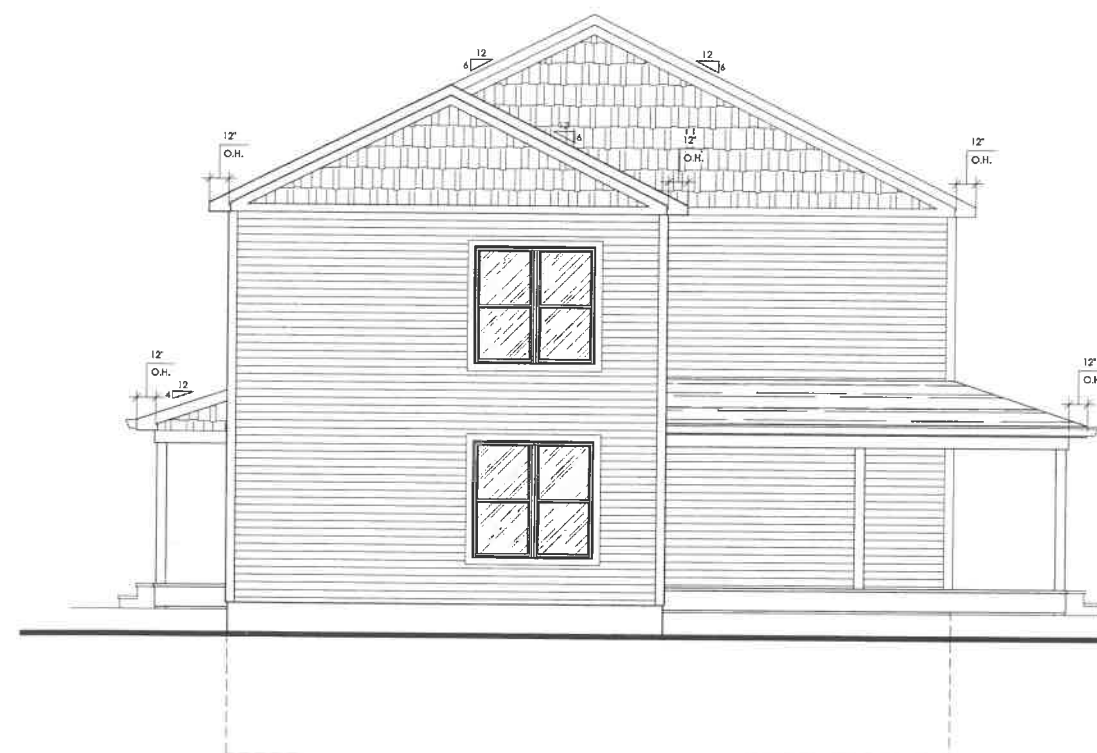
3
43



REAR ELEVATION

Scale: 1/4" = 1'-0"

2
A3.0



SIDE ELEVATION T

Scale: $1/4" = 1'-4"$

1	
A3	

**MACKINAC ISLAND
FOREST WAY DUPLEX
FOREST DRIVE WAY
MACKINAC ISLAND, MICHIGAN**

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A3.0

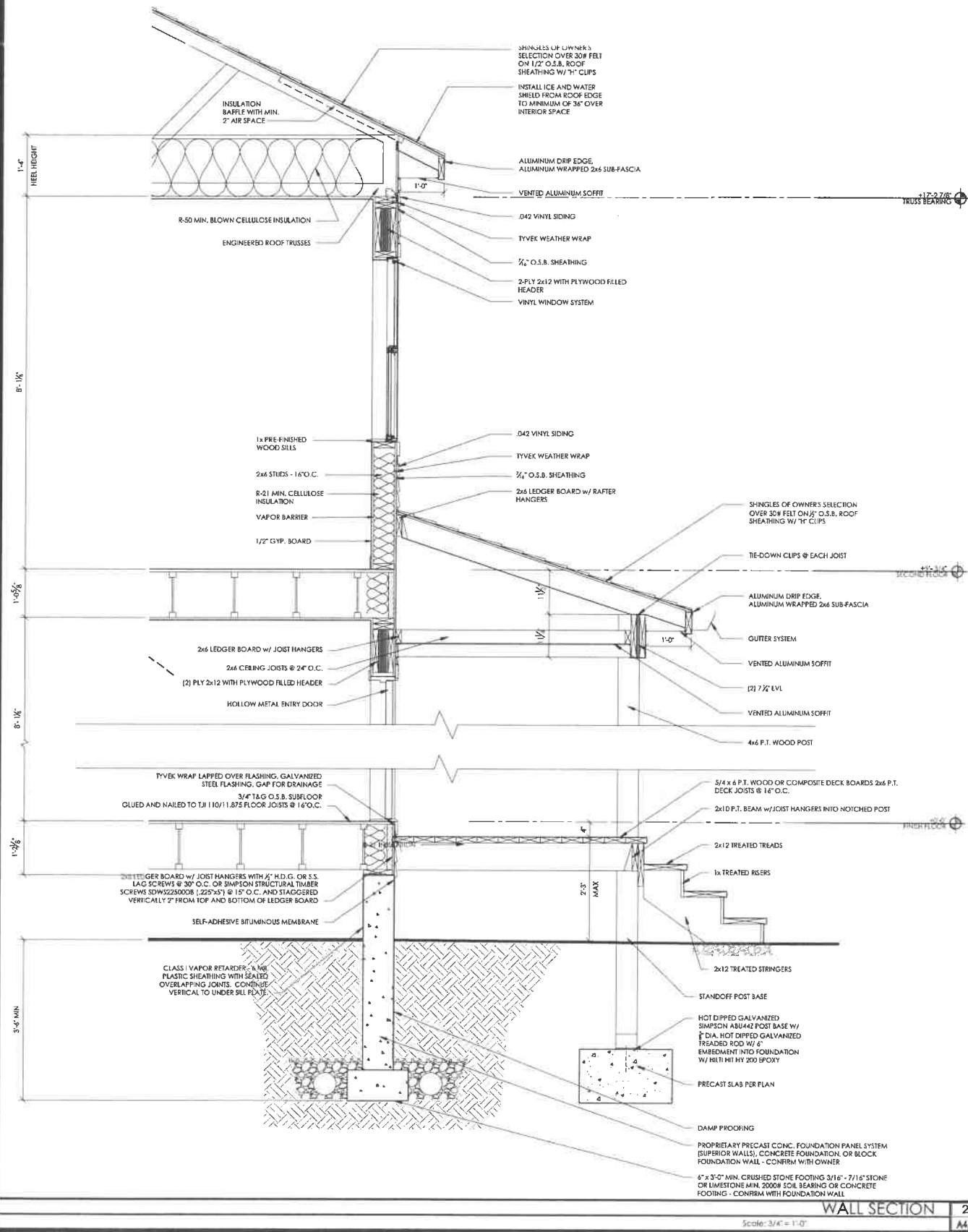
ELEVATIONS

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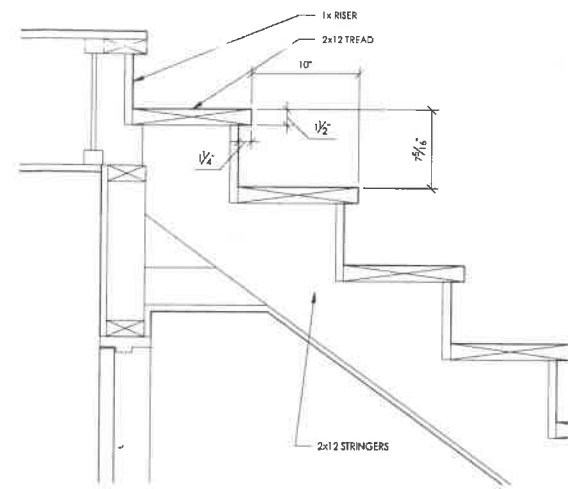
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A4.0

SECTIONS



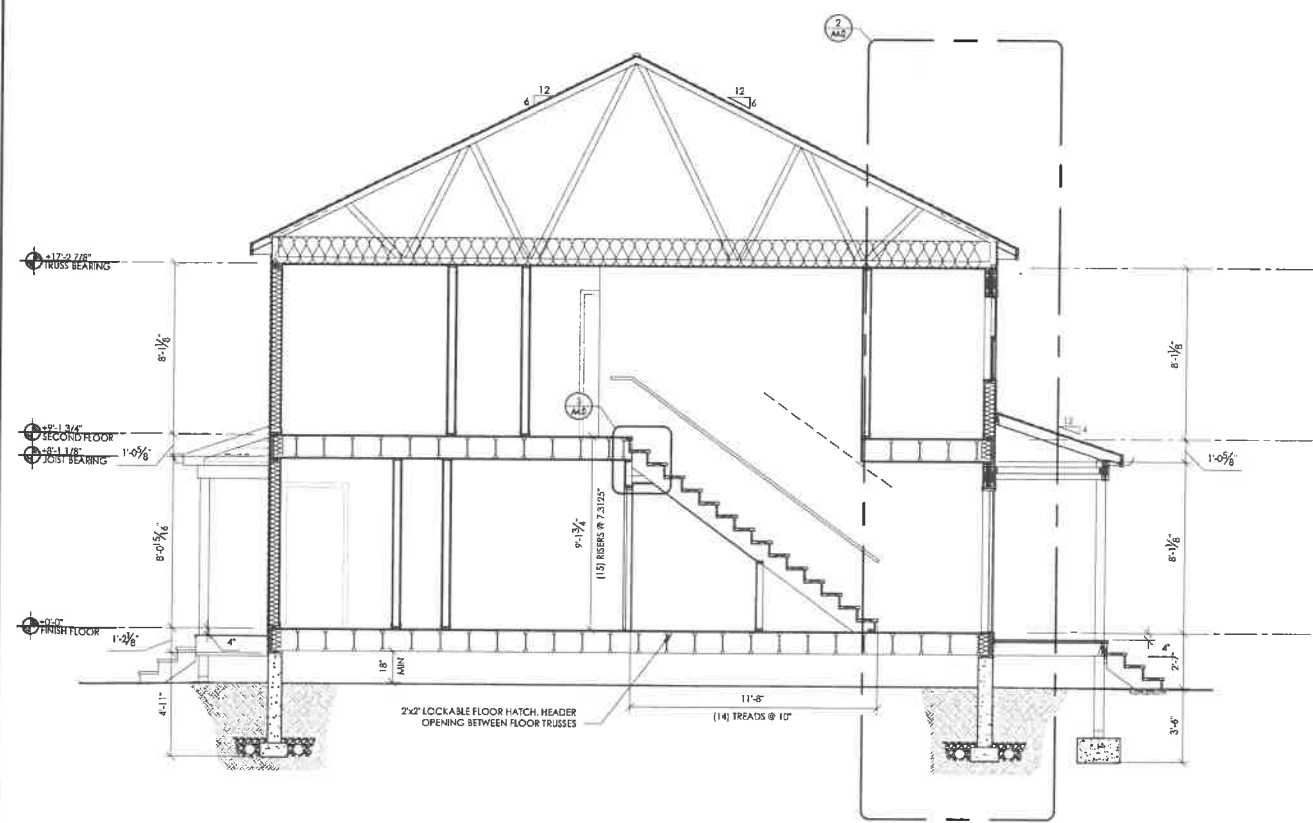
WALL SECTION



INTERIOR STAIR DETAIL

Scale: 1-1/2" = 1'-0"

3	
A4	



BUILDING SECTION

Scale: 1/4" = 1'-0"

440

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720 E. MICHIGAN AVE - SUITE 210
LANSING, MI 48212
TEL: 517.484.0828
WWW.ASL-ARCHITECTS.COM
BRAD@ASL-ARCHITECTS.COM

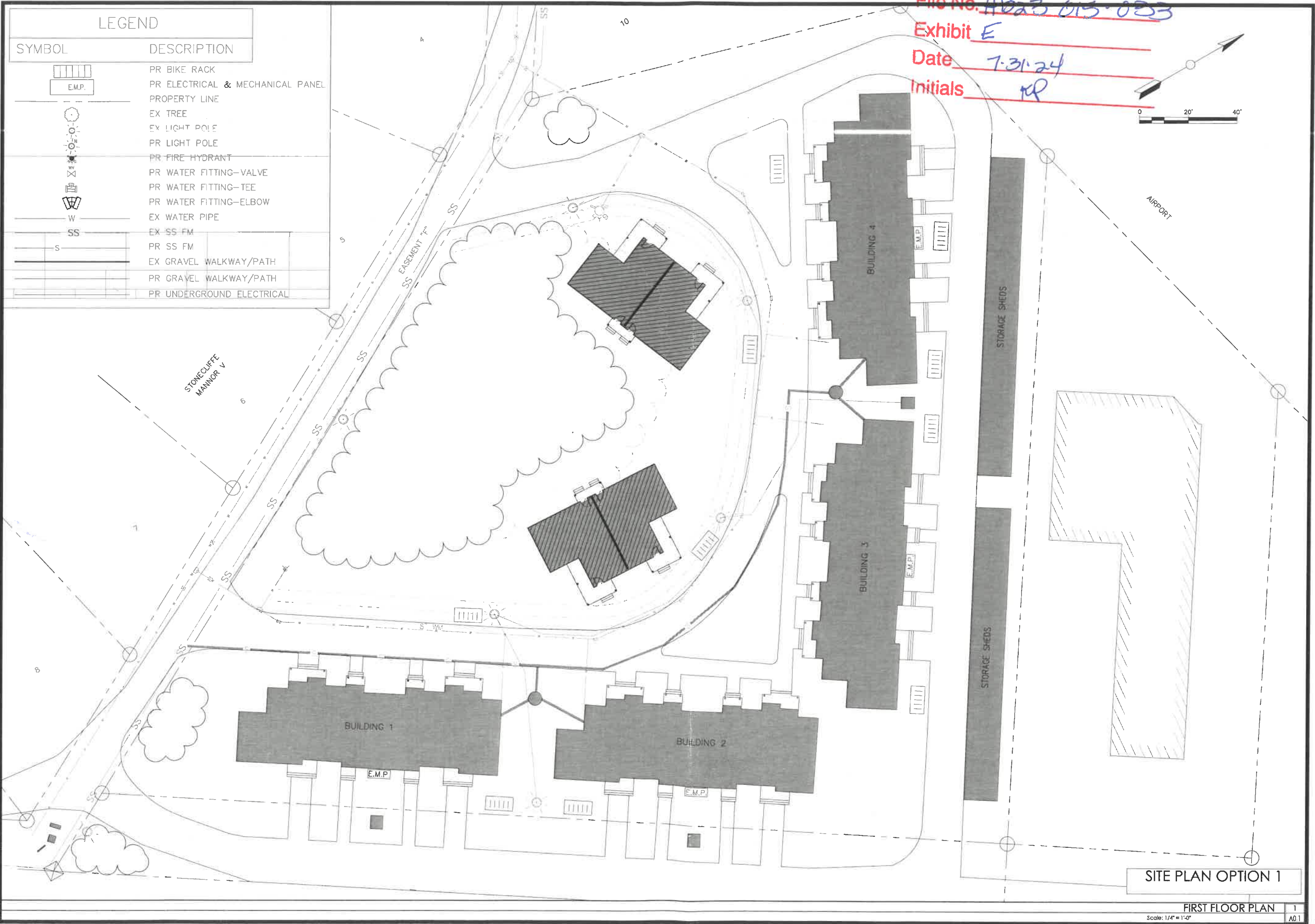
MACKINAC ISLAND
FOREST WAY DUPLEX
FOREST DRIVE WAY
MACKINAC ISLAND, MICHIGAN

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DESIGN DEVEL. 10.04.2023
FOR BID 01.04.2024

SITE PLAN

A0.1



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LANDSCAPE NOTES:

1. EVERGREEN TREES
 - 1.1. JUNIPERUS VIRGINIANA (EASTERN RED CEDAR)
 - 1.2. THUJA OCCIDENTALIS (EASTERN WHITE CEDAR)
 - 1.3. PINUS STROBUS (WHITE PINE)
2. DECIDUOUS TREES
 - 2.1. POPULUS TREMULOIDES (QUAKING ASPEN)
 - 2.2. BETULA Papyrifera (WHITE BIRCH)
 - 2.3. QUERCUS RUBRA (RED OAK)
 - 2.4. FAGUS GRANIFOLIA (AMERICAN BEECH)
3. EVERGREEN SHRUBS
 - 3.1. PINUS M. 'M. 121' PINE
 - 3.2. TAXUS X MEDIA 'DENIFORMIS' (DENSE YEW)
4. LARGE DECIDUOUS SHRUBS
 - 4.1. SYRINGA RETICULATA (LILAC)
 - 4.2. HYDRANGEA QUERCIFOLIA (OAK LEAF HYDRANGEA)
 - 4.3. RHUS TYPHINA (STAGHORN SUMAC)
 - 4.4. PHYSOCARPUS OPULIFOLIUS (NINEBARK)
5. SMALL DECIDUOUS SHRUBS
 - 5.1. SYRINGA RETICULATA 'MISS KIM' (MISS KIM LILAC)
 - 5.2. SPIRAEA JAPONICA (SPIREA)
 - 5.3. RHUS AROMATICA (FRAGRANT SUMAC)
6. PERENNIALS
 - 6.1. ROBGERSIA PINNATA (ROBGERSIA)
 - 6.2. ECHINACEA PURPUREA (PURPLE CONE FLOWER)
 - 6.3. EPIMEDIUM GRANDIFLORUM (BARREN WORT)
 - 6.4. YUCCA FILEMENTOSA (YUCCA)
 - 6.5. SCHIZACHYRIUM SCOPARIUM (LITTLE BLUE STEM)
 - 6.6. ASILEGIA CANADENSIS (COLUMBINE)
 - 6.7. ASCLEPIAS SPECIOSA (SHOWY MILKWEED)
 - 6.8. LUPINUS PERENNIS (LUPINE)
 - 6.9. POLYGATUM BIFLORUM (SOLOMON'S SEAL)
 - 6.10. SPOROBOLUS HETEROLEPHS (PRAIRIE DROP SEED)

File No. HB23-015-033

Exhibit G

Date 7-31-24

Initials KP



LAP + CREATIVE

OAKLAND CENTER
505 CENTER STREET
SUITE ONE
LANSING, MI 48206 P: (313) 465-5500
F: (313) 465-5501
info@lapc.net

REVISIONS	INITIALS	DATE	COMMENTS
1			
2			
3			
4			
5			
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7			
8			
9			
10			

#####

CONCEPT PLANTING PLAN

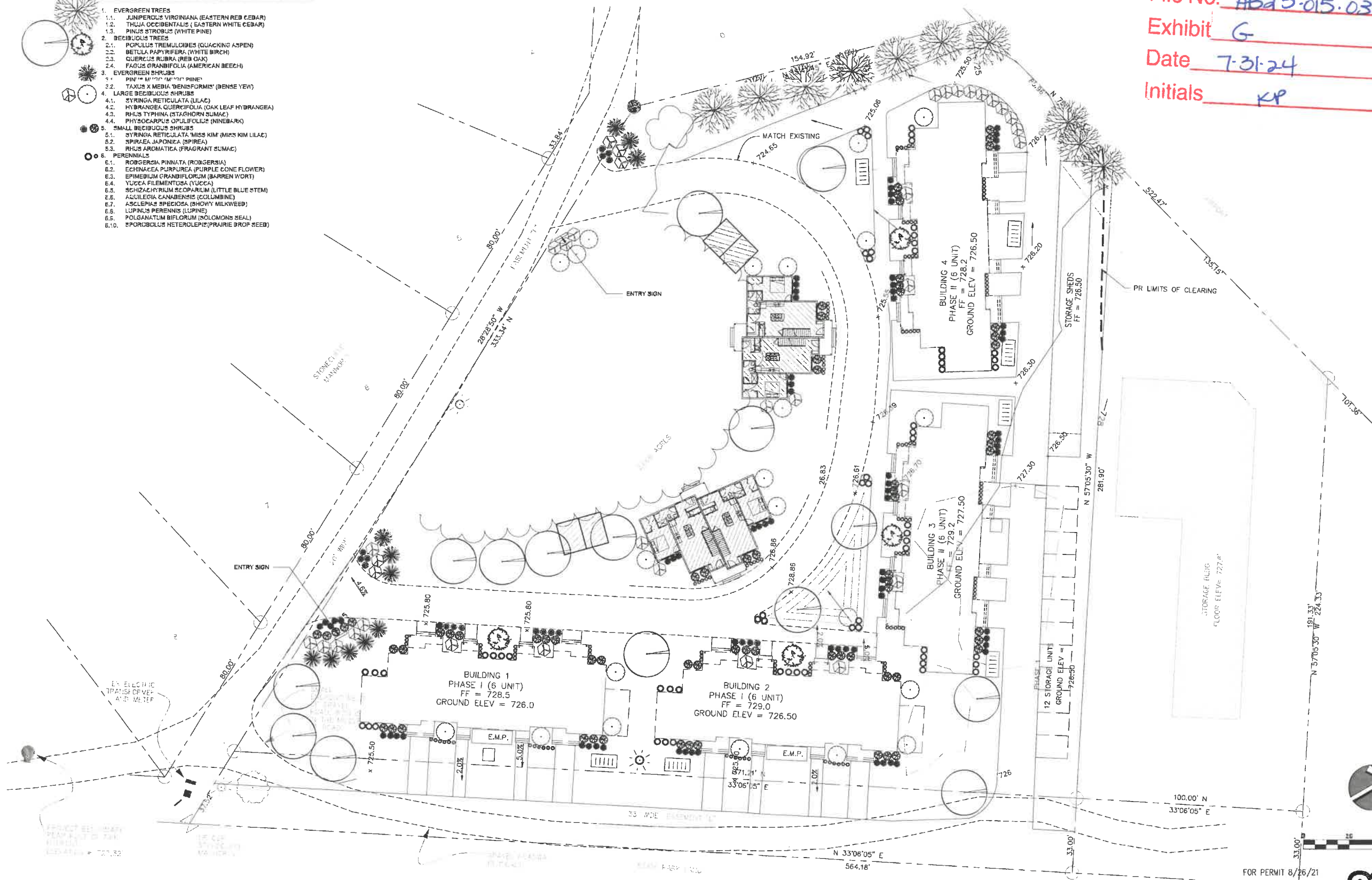
DATE: ###
DESIGNED BY: ###
CHECKED BY: ###
DRAWN BY: ###
PROJECT NO: 2022
SCALE: 1" = 20'
VERT. 1" = 20'

HEET
##



Know what's below.
Call before you dig.

FOR PERMIT 8/26/21



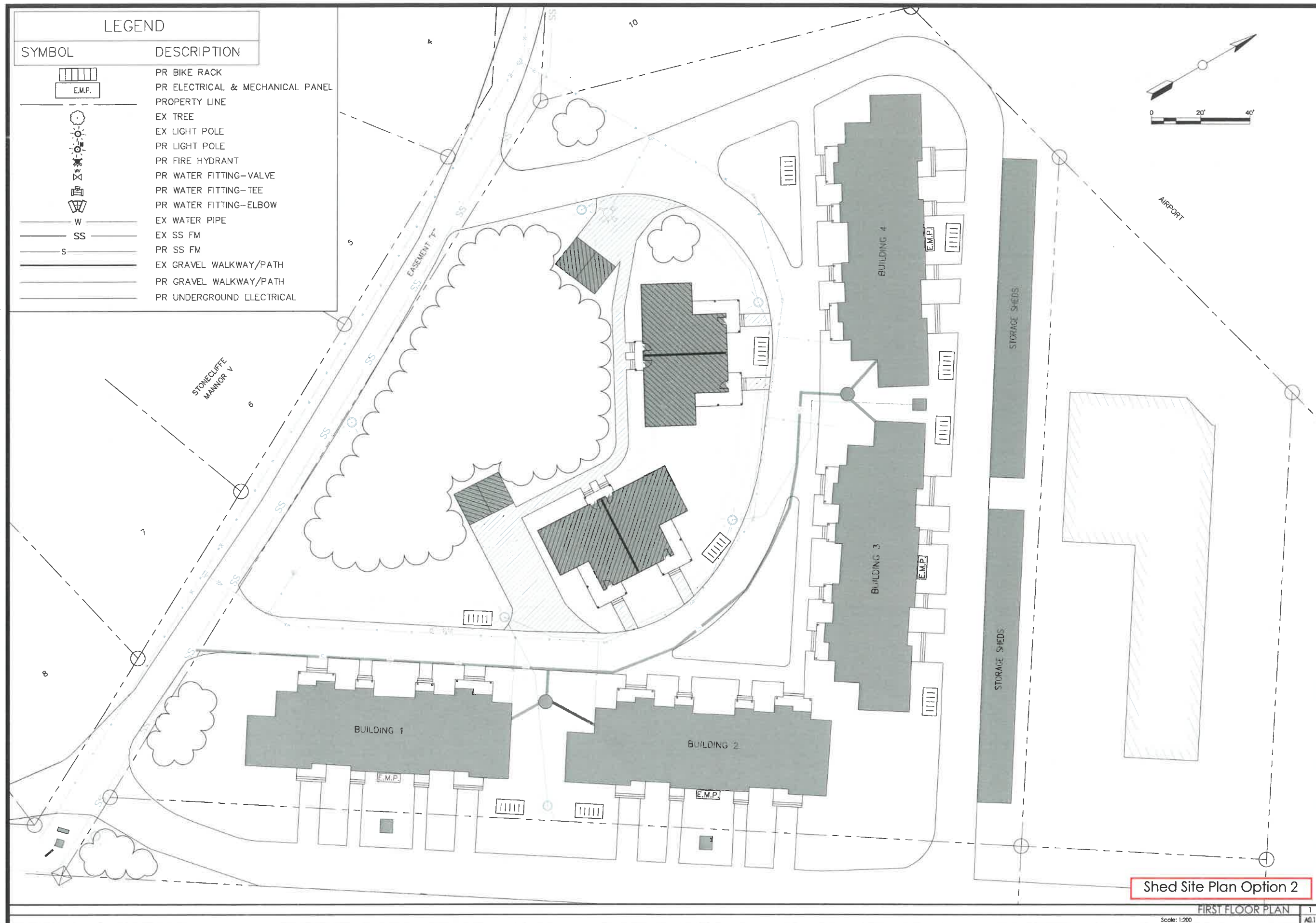
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FOREST DRIVE WAY
MACKINAC ISLAND, MICHIGAN**

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A0.1

SITE PLAN

108



SITE PLAN

A0.1

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FOREST DRIVE WAY
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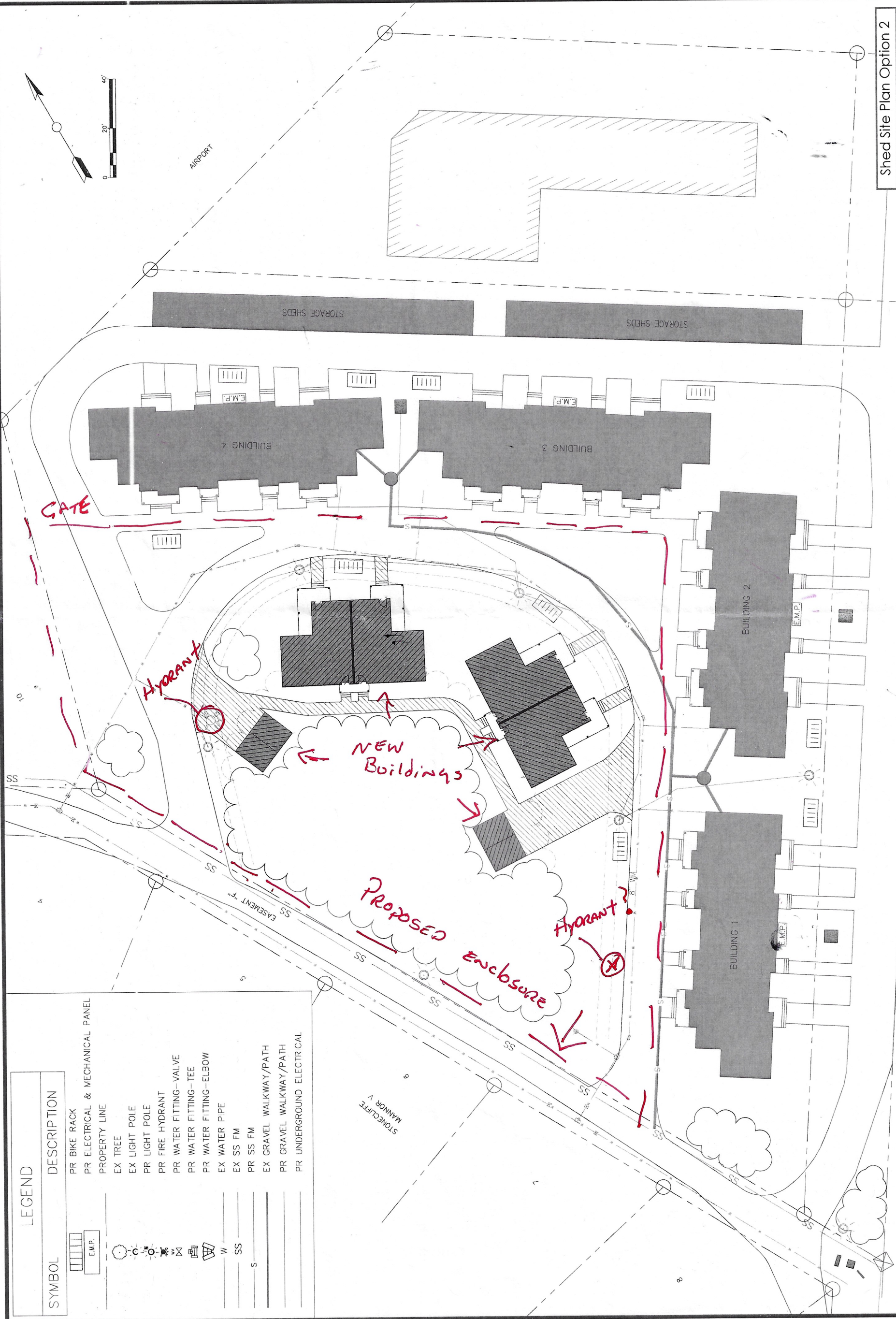
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TEL: 313.963.8888
WWW.ASI-ARCHITECTS.COM
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Shed Site Plan Option 2

FIRST FLOOR PLAN

Scale: 1"=20'

A0.1



LEGEND

SYMBOL DESCRIPTION

	PR BIKE RACK
	PR ELECTRICAL & MECHANICAL PANEL
	PROPERTY LINE
	EX TREE
	EX LIGHT POLE
	PR LIGHT POLE
	PR FIRE HYDRANT
	PR WATER FITTING-VALVE
	PR WATER FITTING-TEE
	PR WATER FITTING-ELBOW
	EX WATER PIPE
	EX SS FM
	PR SS FM
	EX GRAVEL WALKWAY/PATH
	PR GRAVEL WALKWAY/PATH
	PR UNDERGROUND ELECTRICAL

