

CITY OF MACKINAC ISLAND

AGENDA

HISTORIC DISTRICT COMMISSION

Tuesday, December 10, 2024 at 1:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

II. Roll Call

III. Pledge of Allegiance

IV. Adoption of Agenda

V. Approval of Minutes

[a.](#) November 12, 2024

VI. Correspondence

[a.](#) Rentrop Statement

[b.](#) Lenox Porch Architectural Review

VII. Committee Reports

VIII. Staff Report

[a.](#) R124-005-082(H) Price Trim and Rail Replacement

[b.](#) C24-024-081(H) Main Street Inn Window Replacement

[c.](#) C24-032-083(H) POV Gallery Siding Replacement

IX. Old Business

[a.](#) Exterior Lighting - Dombroski

X. New Business

[a.](#) C24-032-084(H) POV Gallery Gutters

[b.](#) C24-012-088(H) MIFC Arnold Transit Main Dock Pier Repairs

XI. Public Comment

XII. Adjournment

MINUTES

HISTORIC DISTRICT COMMISSION

Tuesday, November 12, 2024 at 1:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

Alan Sehoyan called the meeting to order at 1:01 PM.

II. Roll Call

PRESENT

Lee Finkel

Alan Sehoyan

Nancy Porter

Peter Olson

Shannon Schueller

ABSENT

Andrew Doud

Lorna Straus

Staff: Erin Evashevski, Dennis Dombroski, David Lipovsky

III. Pledge of Allegiance

IV. Adoption of Agenda

Motion to approve as written.

Motion made by Finkel, Seconded by Schueller.

Voting Yea: Finkel, Sehoyan, Porter, Olson, Schueller

V. Approval of Minutes

a. October 8, 2024

Motion to approve.

Motion made by Porter, Seconded by Olson.

Voting Yea: Finkel, Sehoyan, Olson, Schueller

VI. Correspondence

None

VII. Committee Reports

a. Demolition Application Committee

Sehoyan stated there are two volunteers for the committee, Doud and Porter. Nobody else wanted to volunteer so Sehoyan asked Evashevski if the Committee dies. Evashevski said a two member committee is OK. Porter would like Doud to chair and she will discuss with Doud a meeting date.

VIII. Staff Report

Motion to approve the Staff report.

Motion made by Finkel, Seconded by Schueller.

Voting Yea: Finkel, Sehoyan, Porter, Olson, Schueller

a. C24-016-069(H) Kristof Dock Repair

Dombroski stated this didn't start as a repair but turned in to it. There is a pedestal for a plug and in order to get new conduit the electricians had to take out deck boards to install. Like for like replacement.

b. R124-065-072(H) Cusack Lattice Replacement

Dombroski stated the deteriorated lattice needed to be replaced.

c. MD24-076-077(H) GHMI Windsor Window Replacement

Dombroski stated they are replacing the windows. Finkel asked if they are double paned. Dombroski stated applicant didn't state what the new would be.

IX. Old Business

a. HB24-041-016 Jaquiss Amendment

Porter stepped down from the table.

Sehoyan stated he has spoken with Neumann. Neumann is not present at the meeting. A favorable review was done. Motion to approve

Motion made by Olson, Seconded by Finkel.

Voting Yea: Finkel, Sehoyan, Olson, Schueller

Voting Abstaining: Porter

Porter returned to the table.

b. MD23-011-072(H) Lenox Building Porch

Dombroski stated on the original plan the porch roof, wall to wall on front facade, always existed. The right side was enclosed and the left side went to the ground and was bike parking. The request was to fill in the left side to match the right side. A different size vertical boards were to be used. When they started opening the porch to start work they discovered that everything was rotted out. They could remove the main support beam a handful at a time. A stop work was ordered. Dombroski stated the porch roof is not much better. Richard Clements came up with a new plan. Proposing to rebuild the whole front and the whole front will be the same, since none of the old will still be there. Neumann did not have a chance to review the new design. Finkel asked if the front has ever been changed. Mayor Doud and Porter do not remember. McGreevy showed the table a picture of the original porch. McGreevy stated Richard Clement worked with Neumann to come up with the new drawing. Clement took out the bead board and put in what looks like a railing that will be under the windows. The other change is spacing on the windows to keep them uniform all the way across the front. The stairway going up to the main entry changed and is a little narrower. Finkel confirmed the front door will be set back. McGreevy stated it will stay the original front door. Sehoyan suggested approving contingent on Neumanns review. Due to health safety and welfare there was a Motion to approve contingent on favorable review from Neumann. Evashevski recommended not doing it this way. McGreevy suggested that the safety issue is the roof. Can we ok the roof repair and then start project after Neumann review. Motion died due to lack of support. Motion to allow the roof repair and approve the porch repair contingent on Neumann approval.

Motion made by Finkel, Seconded by Olson.

Voting Yea: Finkel, Sehoyan, Porter, Olson, Schueller

X. New Business

a. Steve Fox Introduction

Evashevski stated Mr. Fox is on Zoom. Steve Fox introduced himself. Mr. Fox stated he spoke with Evashevski about meeting the HDC. He sent an introduction of he and his firm for the Commission's review. Fox summarized his experience with MHPN and other facets of his work. He stated he does not have ongoing

representation of an HDC. Fox stated he knows Rentrop. Sehoyan asked Fox to touch on some of the points in the questions the Commission submitted. Billing: rate is \$350 an hour. As a firm they are \$225-\$350 an hour. There may be some flexibility based on what the HDC wants done. When asked, Fox stated work done by an assistant is typically not billed. Schueller asked about the billing. If we call and ask a question will it be referred to an assistant or would he handle. Fox stated generally he would bill the amount of time for that call and the work done to answer the question. If HDC is looking for someone to be on call to discuss statutes that could be discussed but is not normally how he would work. Fox stated his assistants do not do the research. Finkel asked about issues with phone companies and federal access issues. Are you comfortable dealing with these corporations? Fox answered that this is something his firm routinely does. Sehoyan asked if he will be able to attend monthly meetings. Fox stated he does not expect to have any issues attending via Zoom. Olson asked about a retainer and how he normally works. Which arrangement is more beneficial to you in learning about our situation here? Fox stated he can't answer off the top of his head. Fox thinks that most things that would arise, either method would work fine. If he needs to spend 3 hours to get up to speed with something he probably wouldn't bill for that. Sehoyan asked Evashevski if she had any questions. Evashevski stated that the question about Fox getting up to speed, she thinks there will need to be some time to contact Rentrop as a resource for a period of time. Fox had no questions for the Commission.

b. MD24-010-070(H) City of Mackinac Island Historical Sign Replacement

Neumann did a favorable review. Motion to approve.

Motion made by Finkel, Seconded by Olson.

Voting Yea: Finkel, Sehoyan, Porter, Olson, Schueller

c. C24-014-071(H) Sheplers Weather Curtain

Jason Wiley was on the Zoom for questions. Sehoyan asked for dates they intend to have it up. Wiley said that is up to the Commission. They are not intending to use in the summer season. They would like to use for bad weather. Dombroski stated when this first came up it was initially to facilitate having a place for the winter boat riders. The applicant found this was going to be a major expense so the applicant would like to be able to use in really bad weather in season and in the May/October windows. They do not intend to use on a regular basis. When not being used they are rolled up. Neumann has given a favorable review for a winter temporary enclosure. Finkel stated this falls in the winter enclosure category. Motion to approve for the winter curtain.

Motion made by Finkel, Seconded by Olson.

Voting Yea: Finkel, Sehoyan, Porter, Olson, Schueller

d. R124-001-004-078(H) Mackinac Place Condo Trim

Steve Rilenge stated the condos are two buildings with foam trim. Over time it is deteriorating. The lower trim has been replaced with Azek in the past. The applicant would like to replace the remaining rotted trim with Azek to match the bottom. The new trim will not be as heavy a wood grain look. It will look like the existing trim. Motion to approve with the note that he prefers Azek. Rilenge clarified what Like for Like is.

Motion made by Finkel, Seconded by Olson.

Voting Yea: Finkel, Sehoyan, Porter, Olson, Schueller

e. Exterior Lighting - Dombroski

Dombroski stated the issue came up with the look of Jim Murray house lighting. In light of a couple of projects coming up in the neighborhood, does the Commission want to discuss. Sehoyan stated the Planning Commission reviews the lumens and HDC, the fixtures. The question is if recessed lighting in a historic district is appropriate. Sehoyan does not think it is appropriate but would like Neumann to weigh in on it. Ryan Spencer stated this came up when discussing new lighting for red house. Spencer asked Neumann and Neumann stated there probably should be no exterior recessed lighting in a historic district. Spencer going forward is going to confer with Neumann before installing anything. Motion to Table until December so Neumann can discuss.

Motion made by Sehoyan, Seconded by Finkel.

Voting Yea: Finkel, Sehoyan, Porter, Olson, Schueller

f. Adoption of 2025 Meeting Dates

Motion to approve as presented and someone will cover the Feb and April meetings.

Motion made by Finkel, Seconded by Olson.

Voting Yea: Finkel, Sehoyan, Porter, Olson, Schueller

g. Closed Session to Discuss Pending Litigation

Motion to go in to closed session to discuss pending litigation.

Motion made by Finkel, Seconded by Olson.

Voting Yea: Finkel, Sehoyan, Porter, Olson, Schueller

Motion to come out of closed session.

Motion made by Sehoyan, Seconded by Finkel.

Voting Yea: Finkel, Sehoyan, Porter, Olson, Schueller

XI. Public Comment

Fortino stated she has accepted a new position and leaving the paper next week. This is her last meeting. Finkel made a Motion to send a letter of thanks to Hoffman and commend Fortino for her excellent and unbiased job that we have all become accustomed to.

Motion made by Finkel, Seconded by Olson.
Voting Yea: Finkel, Sehoyan, Porter, Olson, Schueller

XII. Adjournment

Motion to adjourn at 2:27 PM

Motion made by Finkel, Seconded by Sehoyan.
Voting Yea: Finkel, Sehoyan, Porter, Olson, Schueller

Alan Sehoyan, Chair

Katie Pereny, Secretary

Adkison, Need, Allen, & Rentrop, PLLC
39572 Woodward
Suite 222
Bloomfield Hills, MI 48304
248-540-7400, Fax 248-540-7401
Tax ID Number: 38-3224154

Section VI, Itema.

City of Mackinac Island
7358 Market Street
PO Box 455
Mackinac Island MI 49757

Attn: Danielle Leach

Page: 1
October 31, 2024
Account No: 3872M

	Balance
HDC General	<u>\$580.00</u>

Credit card payments may be made online through the firm's website at www.anafirm.com. Please note that the firm accepts Visa, Mastercard, American Express and Discover.

Adkison, Need, Allen, & Rentrop, PLLC
39572 Woodward
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City of Mackinac Island
7358 Market Street
PO Box 455
Mackinac Island MI 49757

Attn: Danielle Leach

HDC General

Page: 1
October 31, 2024
Account No: 3872-0000M
Statement No: 139470

Fees

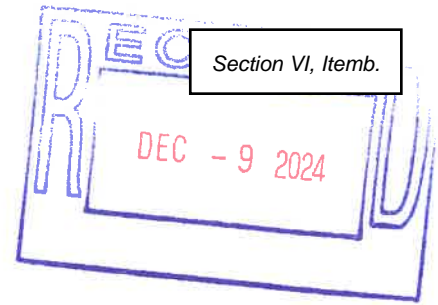
			Rate	Hours	
10/03/2024	GR	Telephone call with Erin regarding source of legal holdings on historic cases and interpretation of conflict of interest statement. Gather various index material to send to Erin.	200.00	1.20	240.00
10/04/2024	GR	Telephone conference regarding finding cases in index of SHPO decisions; review several emails with portions of index, check citations on SHPO website; email regarding same.	200.00	0.50	100.00
10/08/2024	GR	Telephone call with Erin regarding new red house plans and deviation from what was approved, process on how to handle and what legal counsel direction is. Email May opinion letter and Rick's review conditioned upon front facade being preserved as approved. Telephone call with Katie for copy of Resolution approving demo as conditioned upon front facade being preserved.	200.00	1.20	240.00
		For Current Services Rendered		2.90	580.00
		Total Current Work			580.00
		Subtotal			<u>\$580.00</u>
		Total Due for this Matter			<u>\$580.00</u>

Credit card payments may be made online through the firm's website at www.anafirm.com. Please note that the firm accepts Visa, Mastercard, American Express and Discover.



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931



5 December 2024

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
P.O. Box 455
Mackinac Island, MI 49757

File No. MD23.011.072(4)
Exhibit BB
Date 12.9.24
Initials KP

Re: **LENOX BUILDING PORCH ENCLOSURE**
Design Review

Dear Ms. Pereny:

I have reviewed the proposed window changes to the Lenox Building porch enclosure in the Market and Main Historic District.

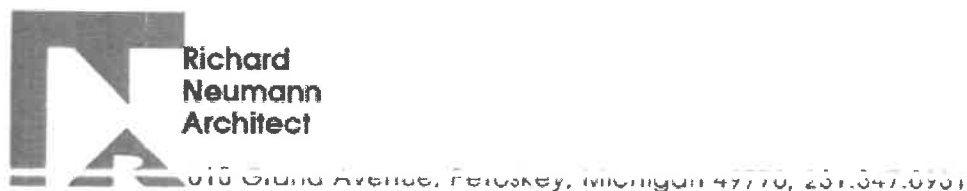
Should you have any questions, please contact me.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

- c. Richard Clements, Richard Clements Architect
Dennis Dombroski, City of Mackinac Island
David Lipovsky, City of Mackinac Island
Erin Evashevski, Evashevski Law Office



5 December 2024

DESIGN REVIEW

LENOX BUILDING PORCH ENCLOSURE

7396 Market Street

Market and Main Historic District
City of Mackinac Island, Michigan

INTRODUCTION

This design review is a follow-up to the porch renovation project approved at the November 2024 Historic District Commission meeting, for work on the front porch of the historic Lenox Hotel building, at 7396 Market Street, in the Market and Main Historic District. The building is a Contributing structure to the historic district. The Applicant now proposes to alter the window configuration on the right side of the entry, by reducing the number of windows from six to five, which increases their width, so that they will match those on the other side of the entry.

This design review is based on City Code Sec. 10-161 "Design Review Standards and Guidelines", of Article V. "Historic District", of the City of Mackinac Island Ordinance No. 443, adopted October 21, 2009. The review standards are those of the Department of the Interior entitled "The United States Secretary of the Interior's Standards for Rehabilitation" and "Guidelines for Rehabilitating Historic Buildings", as set forth in 36 CFR, part 67, as well as the factors set forth in City Code Sec. 10-161(b).

Materials submitted for Review consist of drawings of proposed floor plan and elevations, from Richard Clements Architect, dated 3 December 2024.

REVIEW

Of the Secretary of the Interior's Standards, and the Standards Under Sec. 10-161(b), the applicable Standards for review are the following:

Standard 9 - *"New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size and architectural features to protect the historic integrity of the property and its environment."*

The proposed window reconfiguration would not destroy materials that characterize the property, and would be compatible with the massing, size and architectural features of the

Lenox Building Porch Enclosure Design Review
5 December 2024
Page 2

property. The reconstructed enclosed porch windows would be cottage-type double-hung units and thus differentiated from the standard-type double-hung windows in the building proper.

Standards Under Code Sec. 10-161(b)

In reviewing applications, the Commission shall also consider all of the following:

(1) - *"The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area."*

The historic and architectural value of the building, and its relationship to the historic value of the surrounding historic district would be enhanced by the more consistent window treatment.

(2) - *"The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area."*

The proposed use of a slightly different window appearance on the porch versus the building would help portray that an open porch was later enclosed.

(3) - *"The general compatibility of the design, arrangement, texture and materials proposed to be used."*

The proposed project would be compatible with the design, arrangement, and materials of the historic building.

(4) - *"Other factors, such as aesthetic value, that the Commission finds relevant."*

The use of a single width window on both sides of the entry would be an improvement in the aesthetic value of the building.

CONCLUSION

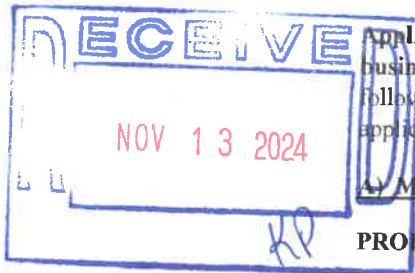
The proposed front porch window alterations on the Lenox Building would meet the Standards for review.

END OF REVIEW

GENERAL APPLICATION FOR WORK LOCATED WITHIN A HISTORIC DISTRICT

Section VIII, Itema.

- ☐ Minor Work (Complete Section A and refer to General Directions)
- ☐ New Construction (Complete Section B and refer to General Directions and Item B)
- ☐ Demolition (Complete Section B and refer to General Directions and Item C)



Application Deadline: Application and materials must be completed and **submitted by 4:00 p.m. ten (10) business days before each Commission Meeting.** Late applications will be placed on the agenda for the following month. Decision by the Commission will not necessarily occur at the meeting at which the application materials are first received.

A) MINOR WORK

PROPERTY LOCATION:

6687 MAIN STREET 051-730-005-0
(Number) (Street) (Property Tax ID #)

PROPERTY OWNER

Name: ANDREA PRICE Email Address: _____
Address: Box 385 MACKINAC ISLAND MI 49757
(Street) (City) (State) (Zip)
Telephone: (260) 307-3090
(Home) (Business) (Fax)

APPLICANT/CONTRACTOR

Name: CHAD RUDDLE Email Address: ruddlechad@yahoo.com
Address: 62 TRUCKEE ST ST. IGNACE MI 49781
(Street) (City) (State) (Zip)
Telephone: (906) 643-8597 (906) 430-5361
(Home) (Business) (Fax)

____ Attach a brief description of the nature of the minor work proposed and the materials to be used.
____ Attach one or more photograph(s) of the whole building including façade and any relevant elevations showing the area, item or feature proposed to be repaired or replaced. The Building Official or Historic District Commission may require additional information necessary to determine the work to be Minor Work.

If the Building Official determines that the proposed work is not Minor Work, the Building Official shall direct the applicant to complete an Application for New Work and/ or Application for Demolition or Moving work which will then be referred to the HDC.

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief; and that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531

Chad L. Ruddle
Signature
CHAD L. RUDDLE
Please Print Name

SIGNATURES

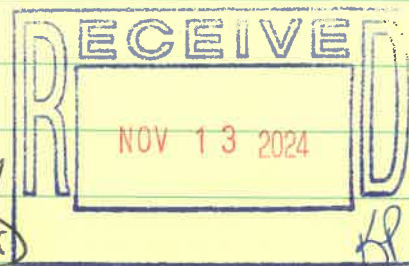
File No. R124-005-082(11)
Exhibit A
Signature _____
Date 11-19-24
Please Print Name KP
Initials

NOTE: All photos, drawings and physical samples, etc., become the property of the HDC/City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

RETURN THIS FORM AND SUPPORTING MATERIALS TO:
MACKINAC ISLAND BUILDING OFFICIAL
7358 MARKET STREET, MACKINAC ISLAND, MI 49757
PHONE: (906) 847-4035

File Number: R124-005-082(11) Date Received: 11-13-24 Fee: 25
Received By: KP Work Completed Date: _____

REPLACE ROTTED TRIM
ON POSTS. REPLACE ROTTED
BOTTOM RAIL ON HAND RAIL.



USE CEDAR TO REPLACE
ROT.

File No. R124.005.082(H)

Exhibit B

Date 11.19.24

Initials KP

RECEIVED
NOV 13 2024
KD

File No. R124-005-082(4)
Exhibit C
Date 11.19.24
Initials KP





GENERAL APPLICATION FOR WORK LOCATED WITHIN A HISTORIC DISTRICT

- ☒ Minor Work (Complete Section A and refer to General Directions)
☐ New Construction (Complete Section B and refer to General Directions and Item B)
☐ Demolition (Complete Section B and refer to General Directions and Item C)

Section VIII, Itemb.

Application Deadline: Application and materials must be completed and submitted by 4:00 p.m. ten (10) business days before each Commission Meeting. Late applications will be placed on the agenda for the following month. Decision by the Commission will not necessarily occur at the meeting at which the application materials are first received.

A) MINOR WORK

PROPERTY LOCATION: 7408 Main Street 051-550-024-00
 (Number) (Street) (Property Tax ID #)

PROPERTY OWNER Nancy Porter

Name: NCO Investments Email Address: nancy4650@outlook.com
 Address: PO Box 460 7408 Main Street Mackinac Is MI 49757
 (Street) (City) (State) (Zip)

Telephone: 231-881-4430
 (Home) (Business) (Fax)

APPLICANT/CONTRACTOR

Name: Steve Kidder Email Address: skidders@gmail.com
 Address: 110 Coast Guard Dr Cheboygan MI 49721
 (Street) (City) (State) (Zip)

Telephone: 231-420-1769
 (Home) (Business) (Fax)

- ☒ Attach a brief description of the nature of the minor work proposed and the materials to be used.
☒ Attach one or more photograph(s) of the whole building including façade and any relevant elevations showing the area, item or feature proposed to be repaired or replaced. The Building Official or Historic District Commission may require additional information necessary to determine the work to be Minor Work.

If the Building Official determines that the proposed work is not Minor Work, the Building Official shall direct the applicant to complete an Application for New Work and/ or Application for Demolition or Moving work which will then be referred to the HDC.

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief; and that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531

Signature Nancy Porter SIGNATURES File No. C24-024-081 (H)
 Please Print Name Nancy Porter Signature A
 Date 11-15-24
 Initials KP

NOTE: All photos, drawings and physical samples, etc., become the property of the HDC/City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

RETURN THIS FORM AND SUPPORTING MATERIALS TO:
 MACKINAC ISLAND BUILDING OFFICIAL
 7358 MARKET STREET, MACKINAC ISLAND, MI 49757
 PHONE: (906) 847-4035

File Number: C24-024-081 (H) Date Received: 11-14-24 Fee: 25 -
 Received By: K. Perry Work Completed Date: _____

Historic District Application Checklist

- ☒ Brief Description of the nature of the work proposed and the materials to be used.*
- ☒ Photographs - Clear photographs of entire project site, streetscape, water view (if applicable), surrounding context and all elevations of the existing structure(s). Property address should be identified on all photographs.*
- ☐ Site Survey/Plan (to scale) – with the following information: Lot dimensions, **existing & proposed** structures, **existing & proposed** setback and yard lines, fences, walls, easements, public rights of way, utilities, driveways, and other relevant information.
- ☐ Floor Plans & Elevations – Floor plans, building elevations and where relevant to the proposed work, sections, must include dimensions, material notes, window and door details, topography, foundation height, porch details and other relevant information as requested. For additions, the existing structure and proposed addition must be clearly shown.
- ☐ Include detail on drawings of all materials proposed to be used and their dimensional and property characteristics.
- ☐ Provide drawings, product literature, specifications, product photographs, or similar, for all new elements. Items include, but are not limited to, windows, doors, siding, trim, columns, railings, louvers, shutters, and roofing.
- ☐ Identify on drawings where any existing materials and architectural features will be removed or replaced.

*** Only the first two items are required for Like for Like projects.**

Note: All photos, drawings and physical samples, etc., become the property of the HDC/City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

Revised March 2017

Description of Work at 7408 Main Street

Window Replacement for the following windows:

All three windows in bay windows on third floor of the East side of the hotel

Two smaller windows next to the patio doors windows inn the two rooms in the middle of the third floor of the hotel

The windows are all the same size and material as the existing window.

File No. C24-024-081 (H)
Exhibit B
Date 11-15-24
Initials KD

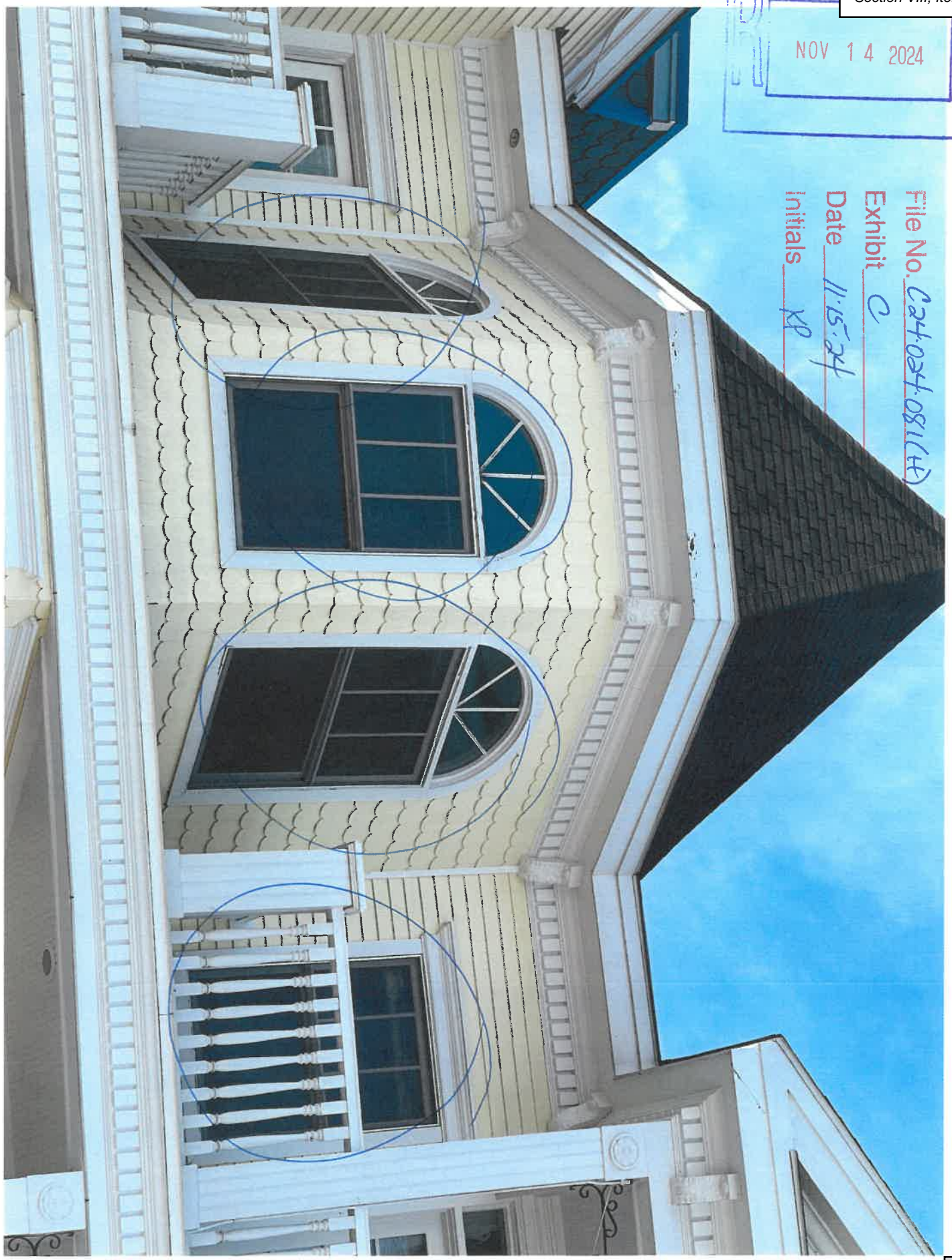
NOV 14 2024

File No. C24024-081(H)

Exhibit C

Date 11-15-24

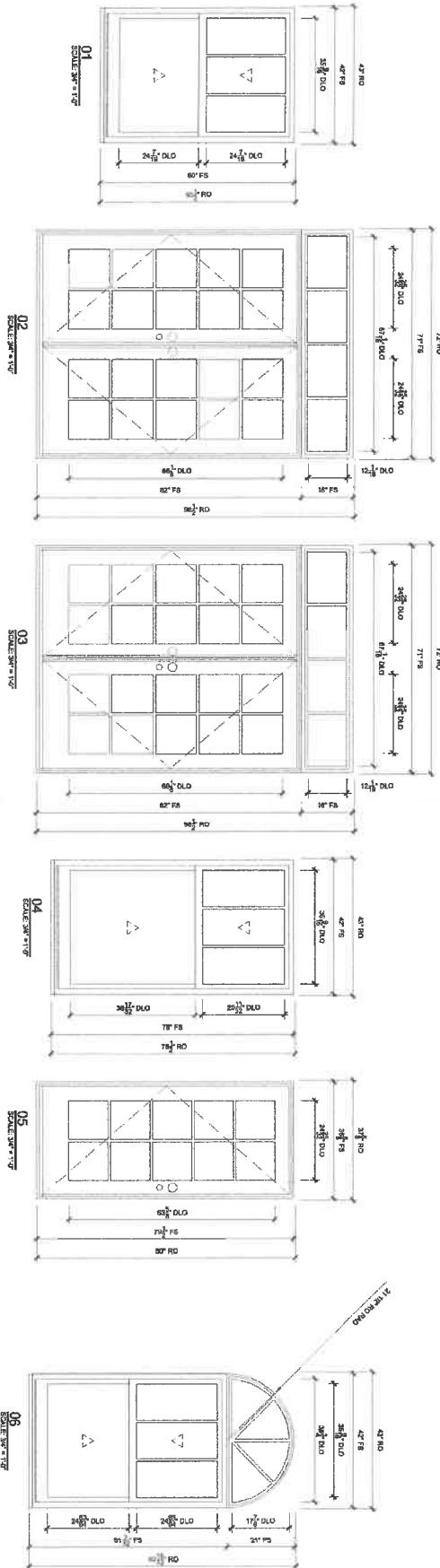
Initials KP



Section VIII, Itemb.







Item #	Item Name	Item Description	Item Material	Item Finish	Item Color	Item Size	Item Weight	Item Volume	Item Area	Item Perimeter	Item Notes
1	Double Door	Double Door	Wood	Painted	White	48" X 84"	120 lbs	1.2 cu ft	120 sq ft	120 ft	Double Door
2	Double Door	Double Door	Wood	Painted	White	48" X 84"	120 lbs	1.2 cu ft	120 sq ft	120 ft	Double Door
3	Double Door	Double Door	Wood	Painted	White	48" X 84"	120 lbs	1.2 cu ft	120 sq ft	120 ft	Double Door
4	Double Door	Double Door	Wood	Painted	White	48" X 84"	120 lbs	1.2 cu ft	120 sq ft	120 ft	Double Door
5	Double Door	Double Door	Wood	Painted	White	48" X 84"	120 lbs	1.2 cu ft	120 sq ft	120 ft	Double Door
6	Double Door	Double Door	Wood	Painted	White	48" X 84"	120 lbs	1.2 cu ft	120 sq ft	120 ft	Double Door



ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:
Before ordering the Marvin Windows and Door products featured within these shop drawings, a copy of these drawings accompanied by an approved signature of the purchaser must be returned to the Architectural Division at Marvin Windows & Doors, P.O. Box 100, Winona, Minnesota 55973. If the Marvin products included herein are ordered without reference to the approved shop drawings, Marvin Windows and Doors assumes no responsibility in guaranteeing product coordination with the drawings.

File No. 024-024-081(H)

Exhibit E

Date 11-19-24

Initials KP

PROJ: Main Street Inn / Ultimate
DIST/DEALER: PRESTON FEATHER BUILDING CENTER
DRAWN: ANDY HERMAN
QUOTE#: FSSUGCCO

PK VERSION: 0004.07.01

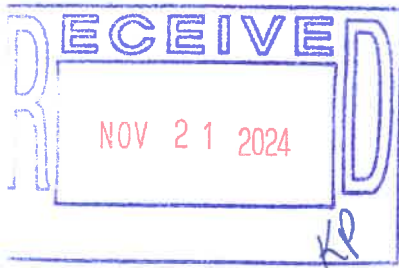
CREATED: 04/10/2024

REVISION:

GENERAL APPLICATION FOR WORK LOCATED WITHIN A HISTORIC DISTRICT

Section VIII, Itemc.

- ☒ Minor Work (Complete Section A and refer to General Directions)
- ☐ New Construction (Complete Section B and refer to General Directions and Item B)
- ☐ Demolition (Complete Section B and refer to General Directions and Item C)



Application Deadline: Application and materials must be completed and submitted by 4:00 p.m. ten (10) business days before each Commission Meeting. Late applications will be placed on the agenda for the following month. Decision by the Commission will not necessarily occur at the meeting at which the application materials are first received.

A) MINOR WORK

PROPERTY LOCATION: 1482 Astor 734 Main
(Number) (Street) 051.550.032.00
(Property Tax ID #)

PROPERTY OWNER

Name: Todd Callewaert Email Address: _____
Address: 7742 Main St Mackinac Island MI 49757
(Street) (City) (State) (Zip)
Telephone: 906 847 3347
(Home) (Business) (Fax)

APPLICANT/CONTRACTOR

Name: Ryan Green Email Address: _____
Address: 980 S State St St. Ignace MI 49781
(Street) (City) (State) (Zip)
Telephone: 906 430 0968
(Home) (Business) (Fax)

- ☒ Attach a brief description of the nature of the minor work proposed and the materials to be used.
- ☒ Attach one or more photograph(s) of the whole building including façade and any relevant elevations showing the area, item or feature proposed to be repaired or replaced. The Building Official or Historic District Commission may require additional information necessary to determine the work to be Minor Work.

If the Building Official determines that the proposed work is not Minor Work, the Building Official shall direct the applicant to complete an Application for New Work and/ or Application for Demolition or Moving work which will then be referred to the HDC.

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief; and that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531

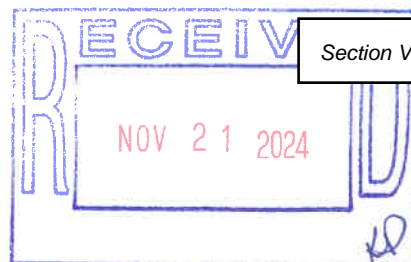
Signature: Ryan Green SIGNATURES: File No. 024.032.083(H)
Please Print Name: Ryan Green Signature: A
Date: 11.21.24
Please Print Name: KP
Initials: KP

NOTE: All photos, drawings and physical samples, etc., become the property of the HDC/City of Mackinac Island. These may be returned to the applicant upon request after they are no longer needed by the Commission/City.

RETURN THIS FORM AND SUPPORTING MATERIALS TO:
MACKINAC ISLAND BUILDING OFFICIAL
7358 MARKET STREET, MACKINAC ISLAND, MI 49757
PHONE: (906) 847-4035

File Number: 024.032.083(H) Date Received: 11.21.24 Fee: _____
Received By: KP Work Completed Date: _____

Dear great and powerful HDC,



The POV Gallery at 1482 Astor St has some substantial rot beginning to take hold. To prevent further damage, we would like to remove some siding and replace the rotten sheeting with treated sheeting along with adding metal coil stock and ice and water shield to help divert water away from the building, then replace the siding like for like. Thank you for your time and consideration.

Truly,

Ryan Green

File No. C24-032-083(4)
Exhibit B
Date 11.21.24
Initials KP



Section VIII, Itemc.



Katie Pereny

From: Dennis Dombroski
Sent: Tuesday, October 15, 2024 10:08 AM
To: Katie Pereny
Subject: FW: Exterior Lighting
Attachments: IMG_6074.JPEG; IMG_6078.JPEG; IMG_6085.JPEG; IMG_6095.JPEG

From: Richard Neumann <r.neumann.arch@sbcglobal.net>
Sent: Friday, October 11, 2024 2:20 PM
To: Ryan Spencer <ryan@dickinsonhomes.com>
Cc: Dennis Dombroski <djd@cityofmi.org>; David Lipovsky <dlipovsky@cityofmi.org>
Subject: Re: Exterior Lighting

Hi Ryan -

I think the outcome of the meeting, postponing until next month, was a good decision on the commission's part, as reviewing the completed design will be much less confusing for them.

As for exterior lighting (in general, not just this application), this is a topic the commission is just now discussing. My input to them will be: Yes, exterior lighting can be included, but should be done in a more traditional way than as done with Jim's house, ie. traditional fixtures near doors and on porches, but not set in soffits.

Rick Neumann
 Richard Neumann Architect
 610 Grand Avenue, Petoskey, MI 49770 / 231-347-0931 / r.neumann.arch@sbcglobal.net / richardneumannarchitect.com

On Wednesday, October 9, 2024, 11:47:33 AM EDT, Ryan Spencer <ryan@dickinsonhomes.com> wrote:

Hey Richard,

Thanks for all your help in the meeting yesterday, I was not prepared.

I am updating everything today and will get it to you ASAP.

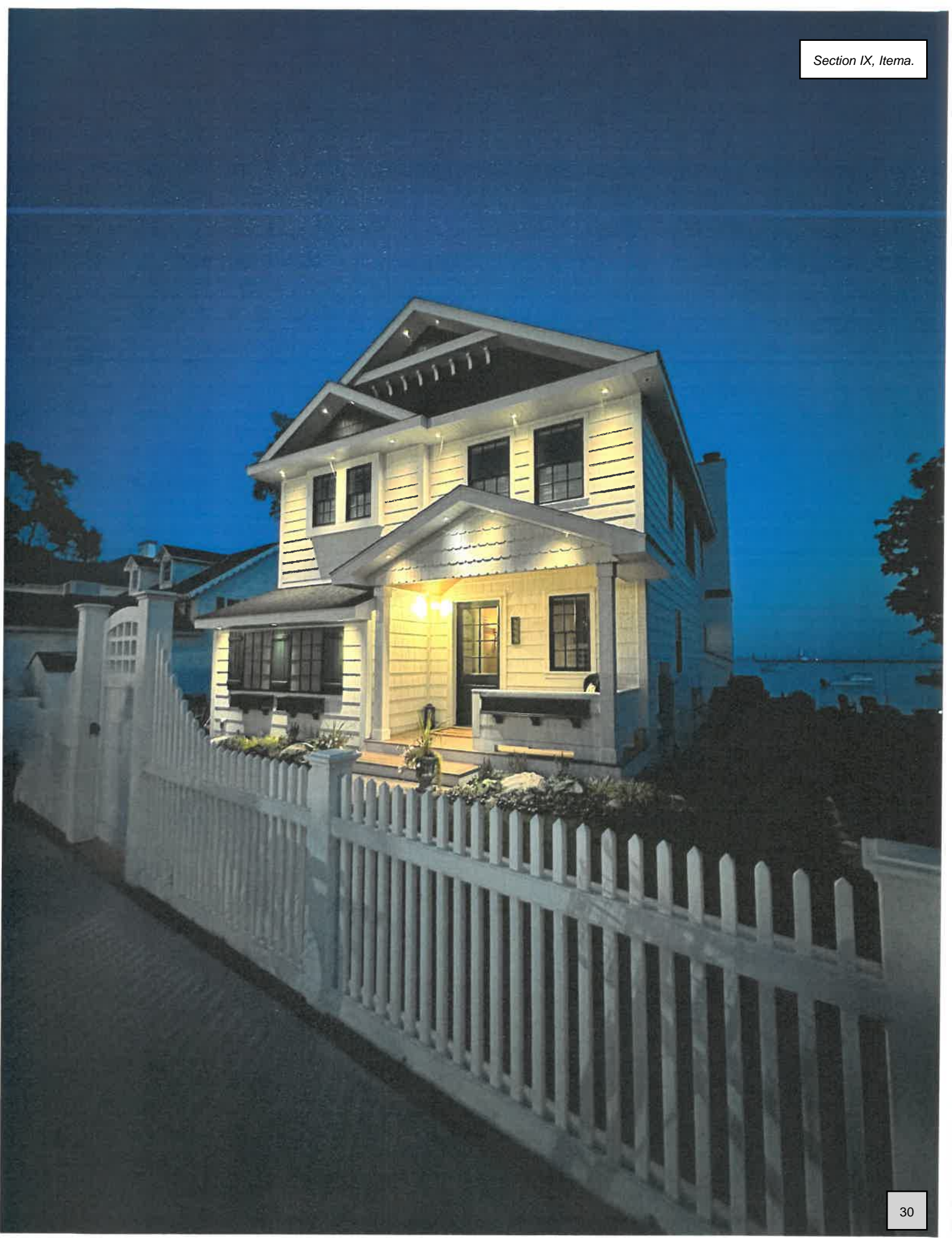
One question engineering had was are we going to be able to do exterior lighting like I did for Jim's house? I attached some photos.

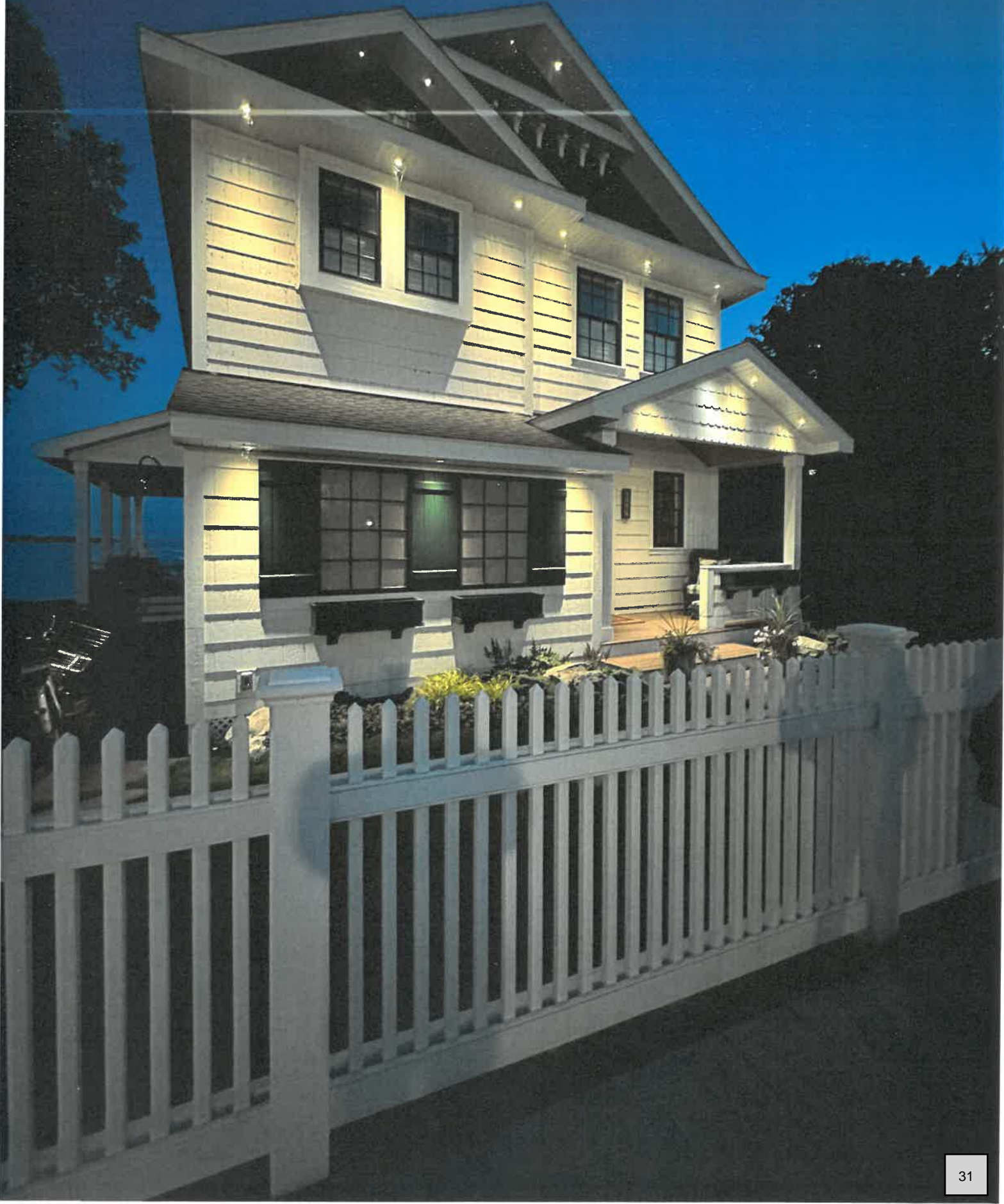
Best,

Ryan Spencer
Project Manager - Dealer Network Manager

DICKINSON HOMES
404 North Stephenson US/2
Iron Mountain, MI 49802
Cell: 9062820904
Office: 9067742186
Direct Line: 9067799403

[DHI Website](#)
[DHI Instagram](#)









GENERAL APPLICATION FOR WORK LOCATED WITHIN A HISTORIC DISTRICT

Section X, Itema.

- ☐ Minor Work (Complete Section A and refer to General Directions)
- ☐ New Construction (Complete Section B and refer to General Directions and Item B)
- ☐ Demolition (Complete Section B and refer to General Directions and Item C)

Application Deadline: Application and materials must be completed and submitted by 4:00 p.m. ten (10) business days before each Commission Meeting. Late applications will be placed on the agenda for the following month. Decision by the Commission will not necessarily occur at the meeting at which the application materials are first received.

A) MINOR WORK

PROPERTY LOCATION:

1482 Astor St
(Number) (Street)

051.550.032.00
(Property Tax ID #)

PROPERTY OWNER

Name: Todd Callewaert

Email Address:

Address: 7742 Main St Mackinac Island MI 49757
(Street) (City) (State) (Zip)

Telephone: 906 847 3347
(Home) (Business) (Fax)

APPLICANT/CONTRACTOR

Name: Ryan Green

Email Address: ryan.green@theislandhouse.com

Address: 980 S State St St. Ignace MI 49781
(Street) (City) (State) (Zip)

Telephone: 906 430 0968
(Home) (Business) (Fax)

- ☒ Attach a brief description of the nature of the minor work proposed and the materials to be used.
- ☒ Attach one or more photograph(s) of the whole building including façade and any relevant elevations showing the area, item or feature proposed to be repaired or replaced. The Building Official or Historic District Commission may require additional information necessary to determine the work to be Minor Work.

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I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief; and that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531



SIGNATURES

Signature

Ryan Green

Please Print Name

File No. C24.032.084(H)

Exhibit A

Date 11.21.24

Please Print Name

Initials KP

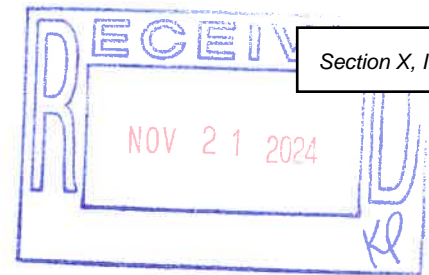
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RETURN THIS FORM AND SUPPORTING MATERIALS TO:
MACKINAC ISLAND BUILDING OFFICIAL
7358 MARKET STREET, MACKINAC ISLAND, MI 49757
PHONE: (906) 847-4035

File Number: C24.032.084(H) Date Received: 11.21.24 Fee:

Received By: K Peremy Work Completed Date:

Dear Principal, Dombrowski



As per our meetings, I would like to add a gutter to the side of the POV Gallery, 1482 Astor St. Our hope is that it will help divert the rain runoff from running under the building but not create slick spots in the shoulder seasons. Thank you for your time.

Your humble penalty fee cash cow

Ryan Green

File No. C24.032.084(H)
Exhibit B
Date 11-21-24
Initials KP

File No. C24-032-084(11)
Exhibit C
Date 11-21-24
Initials KP



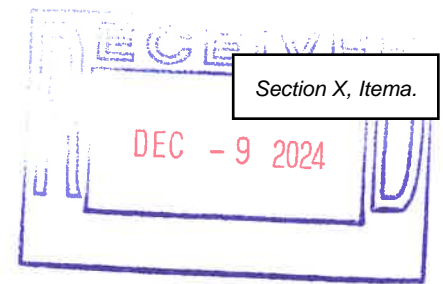
Section X, Item.





Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931



Section X, Item.

DEC - 9 2024

6 December 2024

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
P.O. Box 455
Mackinac Island, MI 49757

File No. C24.032.084(H)

Exhibit E

Date 12.9.24

Initials KP

Re: **POINTE OF VIEW GALLERY GUTTER ADDITION**
Design Review

Dear Ms. Pereny:

I have reviewed the proposed gutter and downspout addition to the Pointe of View Gallery in the Market and Main Historic District.

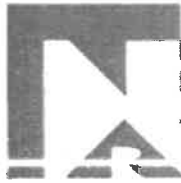
Should you have any questions, please contact me.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

- c. Ryan Green, Applicant / Contractor
Dennis Dombroski, City of Mackinac Island
David Lipovsky, City of Mackinac Island
Erin Evashevski, Evashevski Law Office



**Richard
Neumann
Architect**

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0701

6 December 2024

DESIGN REVIEW

POINTE OF VIEW GALLERY GUTTER ADDITION 1482 Astor Street

Market and Main Historic District
City of Mackinac Island, Michigan

INTRODUCTION

This design review is for the proposed addition of a gutter on the Pointe of View Gallery, at 1484 Astor Street, in the Market and Main Historic District. The building is a Non-contributing structure in the historic district. The Applicant proposes to install an aluminum gutter along the eave on the northwest side of the building, to address a water problem underneath.

This design review is based on City Code Sec. 10-161 "Design Review Standards and Guidelines", of Article V. "Historic District", of the City of Mackinac Island Ordinance No. 443, adopted October 21, 2009. The review standards are those of the Department of the Interior entitled "The United States Secretary of the Interior's Standards for Rehabilitation" and "Guidelines for Rehabilitating Historic Buildings", as set forth in 36 CFR, part 67, as well as the factors set forth in City Code Sec. 10-161(b).

Materials submitted for Review consist of two photographs showing the side of the building, dated 21 November 2024.

REVIEW

Of the Secretary of the Interior's Standards, and the Standards Under Sec. 10-161(b), the applicable Standards for review are the following:

Standard 9 - *"New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size and architectural features to protect the historic integrity of the property and its environment."*

The addition of a gutter and downspout along the northwest / alley side of the building would not destroy historic materials, and would be differentiated from the old(er) existing structure. Such a gutter and downspout would be compatible with the massing, size, architectural features of the Gallery building.

Pointe of View Gallery Gutter Design Review
6 December 2024
Page 2

Standards Under Code Sec. 15-151(b)

In reviewing applications, the Commission shall also consider all of the following:

(1) - *"The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area."*

The architectural value of the building, and its relationship to the historic value of the surrounding historic district would not be negatively affected by the gutter addition.

(2) - *"The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area."*

The proposed gutter and downspout would be an appropriate feature to be added.

(3) - *"The general compatibility of the design, arrangement, texture and materials proposed to be used."*

The proposed gutter and downspout would be compatible with the design, arrangement, and materials of the Gallery building.

(4) - *"Other factors, such as aesthetic value, that the Commission finds relevant."*

The aesthetic value of the building would not be negatively affected by the gutter addition.

CONCLUSION

The proposed gutter and downspout addition on the Pointe of View Gallery would meet the Standards for review.

END OF REVIEW

B) NEW CONSTRUCTION & DEMOLITION OR MOVING OF STRUCTURES

PROPERTY LOCATION: 7271 Main Street

051-440-012-00

(Number) (Street)

(Property Tax ID #)

LEGAL DESCRIPTION OF PROPERTY: Attached

(Attach supplement pages as needed)

ESTIMATED PROJECT COST: \$5,000,000

APPLICANT/CONTRACTOR

(Applicant's interest in the project if not the fee-simple owner):

Name: Mackinac Island Ferry Company dba
Arnold Transit Co.

Email Address: veronica@arnoldfreight.com

Address: 587 North State Street St. Ignace MI 49781
(Street) (City) (State) (Zip)

Telephone: 906-430-0095 900-638-9892
(Home) (Business) (Fax)

I certify that the information provided in this Application and the documents submitted with this Application are true to the best of my information, knowledge and belief.

Signature: _____ Date: _____

PROPERTY OWNER(S) AND ALL PARTIES WITH A CLAIM OF RIGHT IN PROPERTY¹ This includes mortgagees, easement holders, and lien holders. You may be asked to provide a title search of the property and if the estimated is in excess of \$250,000 you are required to do so. Attach additional pages listing the person(s) or entity(ies) with legal interest(s) in the property and the nature of the legal interest(s).

Name: Mackinac Island Ferry Company
dba Arnold Transit Co.

Email Address: veronica@arnoldfreight.com

Address: 587 North State Street St. Ignace MI 49781
(Street) (City) (State) (Zip)

Telephone: 906-430-0095 900-638-9892
(Home) (Business) (Fax)

The undersigned certify(ies) and represent(s)

1. That he/she, it or they is (are) all of the fee title owner(s) of all of the property involved in the application; and
2. That he/she, it or they has (have) attached a list which identifies all parties with a legal interest in the property at issue other than the undersigned owner(s) and has (have) identified the nature of each legal interest; and
3. That the answers and statements herein attached and materials provided are in all respects true and correct to the best of his, her, its or their information, knowledge and belief. The undersigned hereby further certify(ies) and represent(s) that he/she, it or they has (have) read the foregoing and understand(s) the same.
4. That the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MLC 125.1501 to 125.1531.

Signature: V. Dobrowolski

SIGNATURES

Signature

Veronica Dobrowolski, President

Please Print Name

Please Print Name

Signed and sworn to before me on the 20th day of November, 2024

JESSICA L. HARRIGAN
Notary Public, State of Michigan
Acting in Mackinac County

My Commission Expires: 03/08/2029

Jessica L. Harrigan
Notary Public Jessica L. Harrigan
Mackinac County, Michigan

My commission expires: 03/08/2029

¹ The decision by the Historic District Commission may be in the form of Restrictions to which such Parties may be required to agree.

(revised 04/17)

GENERAL APPLICATION FOR WORK LOCATED WITHIN A HISTORIC DISTRICT

- ☐ Minor Work (Complete Section A and refer to General Directions)
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PROPERTY LOCATION:

(Number) (Street) (Property Tax ID #)

PROPERTY OWNER

Name: Email Address:

Address: (Street) (City) (State) (Zip)

Telephone: (Home) (Business) (Fax)

APPLICANT/CONTRACTOR

Name: Email Address:

Address: (Street) (City) (State) (Zip)

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SIGNATURES

Signature Signature

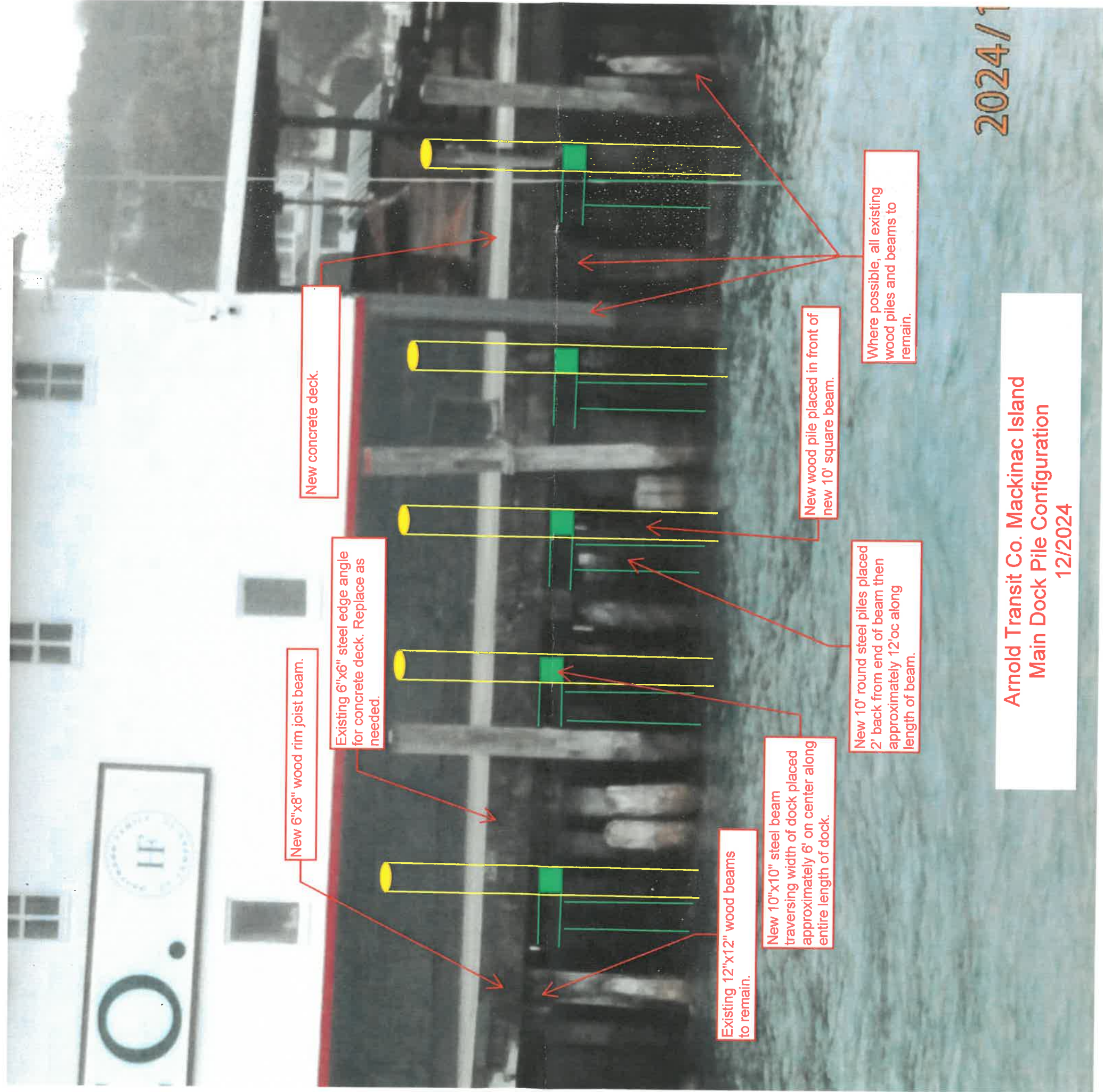
Please Print Name Please Print Name

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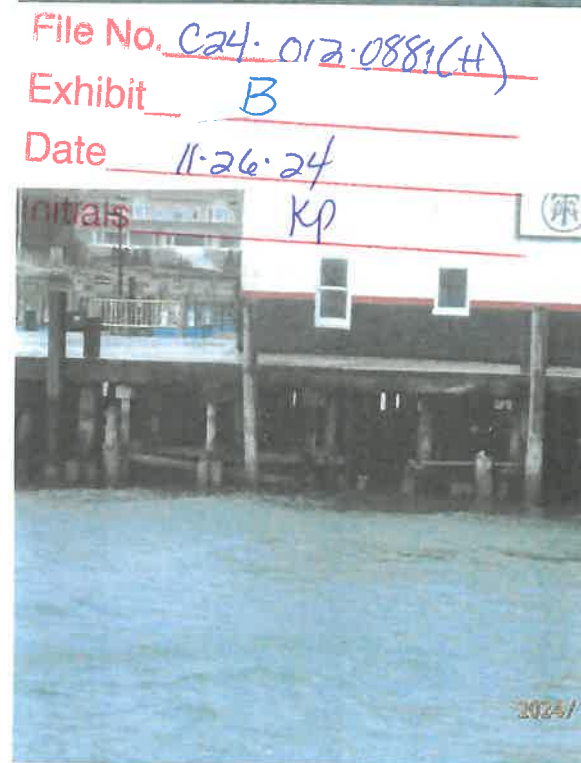
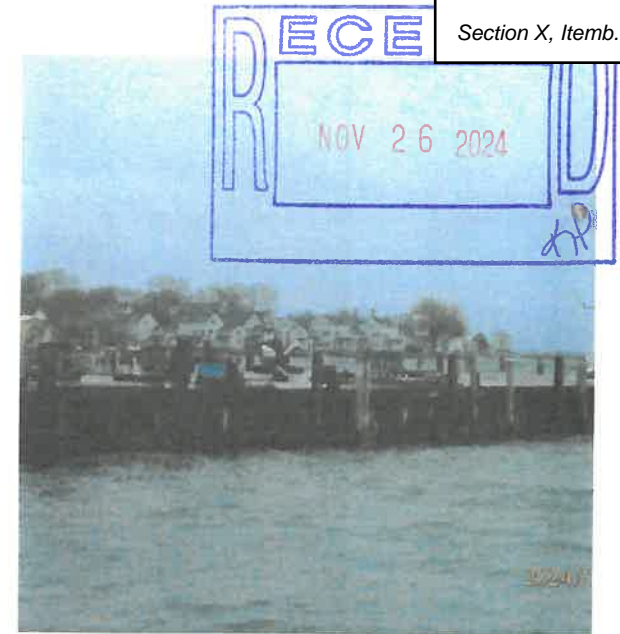
MACKINAC ISLAND BUILDING OFFICIAL
7358 MARKET STREET, MACKINAC ISLAND, MI 49757
PHONE: (906) 847-4035

File Number: C24-012-088A Date Received: 11-26-24 Fee: \$600-
Received By: K Perera Work Completed Date:



Arnold Transit Co. Mackinac Island
Main Dock Pile Configuration
12/2024

RECEIVED
NOV 26 2024



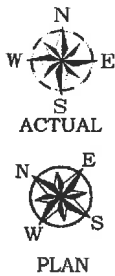
File No. C24-012-0881(H)
Exhibit B
Date 11-26-24
Initials KP

COVER SHEET - FOUNDATION PILE RESTORATION & REPAIRS



SITE VIEW

File No. C24-012-088 (4)
Exhibit D
Date 11-26-24
Initials KP



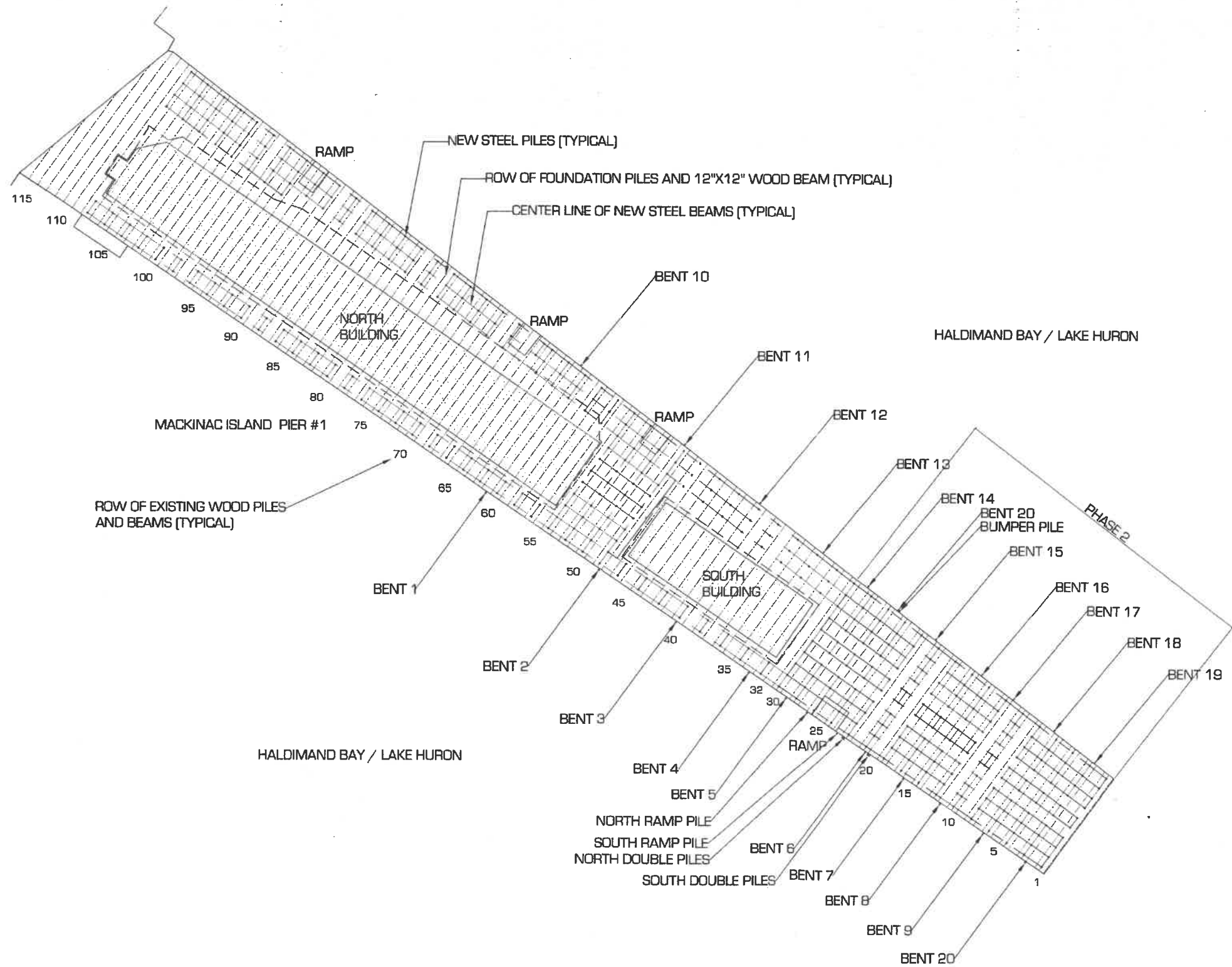
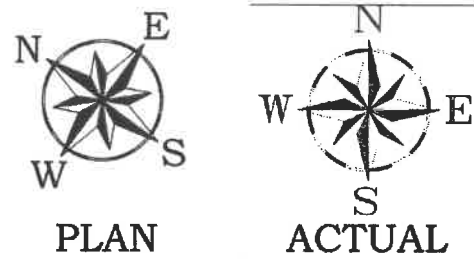
SITE LOCATION

TABLE OF CONTENTS

PAGE	PAGE TITLE
F1	COVER
F2	OVERALL SITE LAYOUT
F3	NEW PILE & BEAM LAYOUT FOR PHASE 2
F4	ELEVATION VIEW AND CROSS SECTION FOR PHASE 2 AND SPECIFICATIONS
F5	NEW PILE & STEEL BEAM DETAILS
F6	NEW PILE & STEEL BEAM DETAILS
F7	SOIL INFORMATION
F8	SOIL INFORMATION



RELEASE DATES		
11-12-24	PERMIT & CONSTRUCTION	
SOILS & STRUCTURES		
6480 Grand Haven Road Muskegon, Michigan 49441 (800) 933-3959 Fax (231) 798-1383		
CLIENT:		
		
Arnold Freight 303 Ferry Lane St. Ignace, Michigan 49781 906-643-8288		
PROJECT:		
MACKINAC ISLAND PIER #1 PHASE 2 PIER REPAIRS CITY OF MACKINAC ISLAND MACKINAC COUNTY MICHIGAN		
Drawn by: D. HOHMEYER, P.E.	Date: 5-28-24	
Checked by: D. HOHMEYER, P.E.	Date: 5-28-24	
Project No.	Sheet No.	Sequence No.
2024-0070	PH2-F1	1 of 8

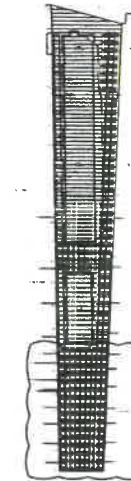
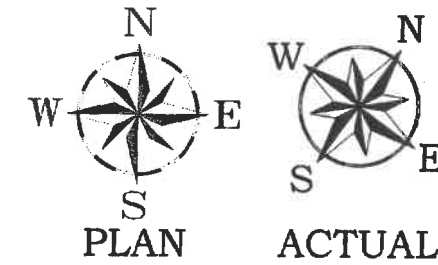
David D. Hohmeyer, P.E.
Michigan Professional Engineer
November 18, 2024



OVERALL SITE LAYOUT

David J. Hohmeyer, P.E.
Michigan License No. 32823
November 2024

RELEASE DATES	
11-23-24	PERMIT & CONSTRUCTION
 SOILS & STRUCTURES	
6480 Grand Haven Road Muskegon, Michigan 49441 (800) 933-3959 Fax (231) 798-1383	
CLIENT:	
	
Arnold Freight 303 Ferry Lane St. Ignace, Michigan 49781 906-643-8288	
PROJECT:	
MACKINAC ISLAND PIER #1 PHASE 2 PIER REPAIRS CITY OF MACKINAC ISLAND MACKINAC COUNTY MICHIGAN	
Drawn by: D. HOHMEYER, P.E.	Date: 5-28-24
Checked by: D. HOHMEYER, P.E.	Date: 5-28-24
Project No. 2023-0657	Sheet No. PH2-F2
Sequence No. 2 of 8	



KEY

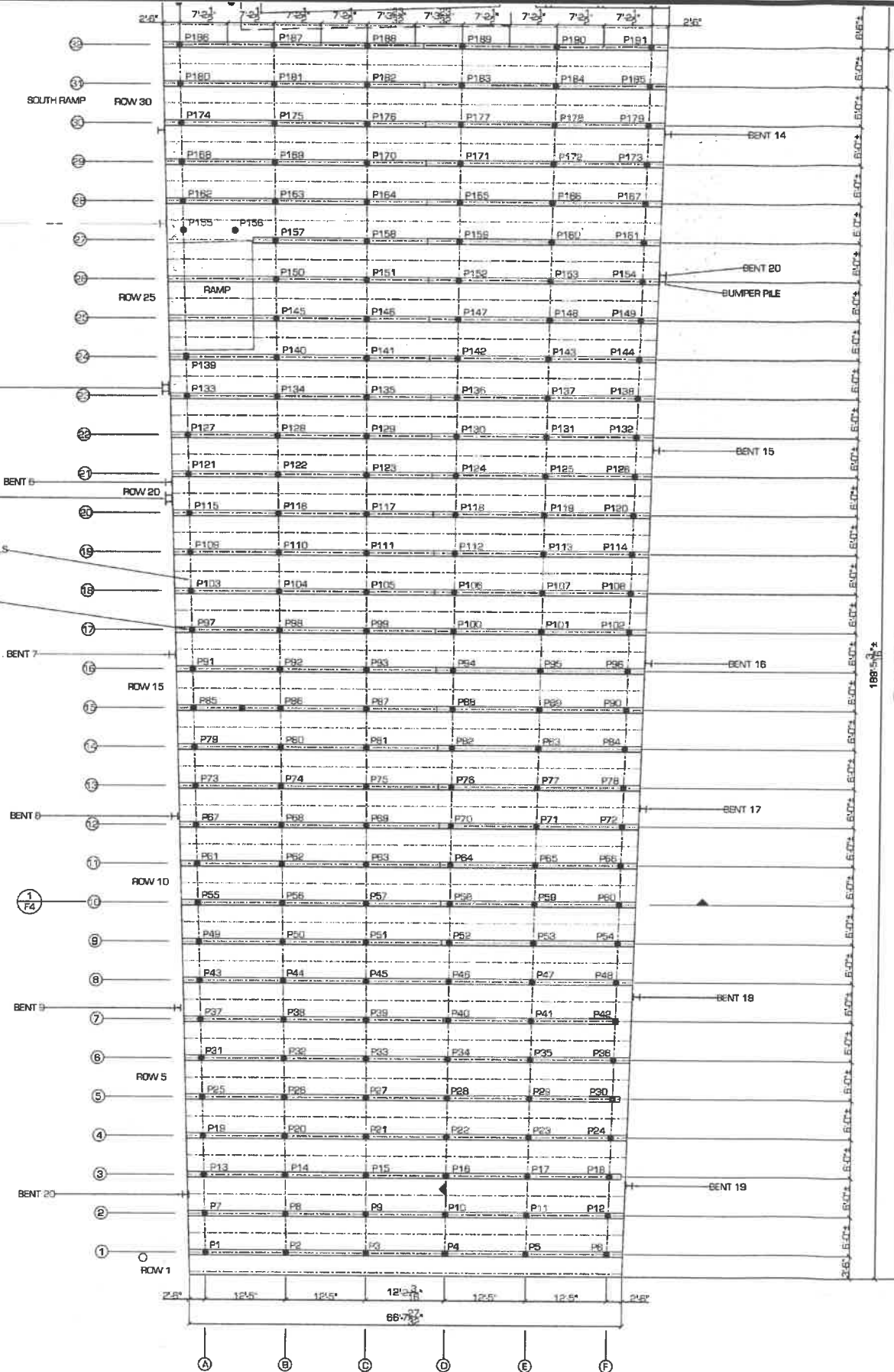
STEEL PIPE PILES - 10.75"Ø WITH 0.5 INCH WALLS
INSTALLED TO AN ULTIMATE CAPACITY OF 35 TONS
(70.0 KIPS) LENGTH TO BE DETERMINED IN FIELD
BASED TEST BORINGS PERFORMED BETWEEN
NOVEMBER 18, 2024 AND NOVEMBER 22, 2024
THE PILE LENGTH IS ANTICIPATED TO RANGE FROM
120.0 TO 150.0 FEET.

NORTH RAMP PILE

NORTH DOUBLE PILES

SOUTH DOUBLE PILES

STEEL 10X10" HHS WITH 0.5 INCH WALLS
OR HP10X57 OR W10X49 (TYPICAL)

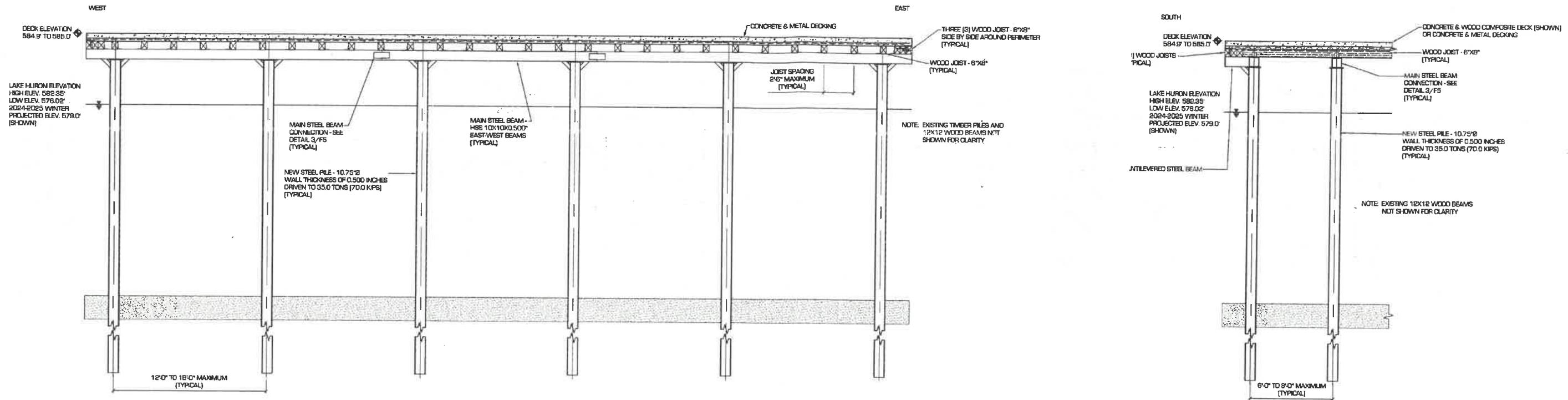


PHASE 2 - NEW PILE AND BEAM LAYOUT

David D. Hohmeyer, P.E.
Michigan License No. 32829
November 2024



RELEASE DATES	
11-2-24	PERMIT / REVIEW
SOILS & STRUCTURES	
6480 Grand Haven Road Muskegon, Michigan 49441 (800) 933-3959 Fax (231) 798-1383	
CLIENT:	
 Arnold Freight 303 Ferry Lane St. Ignace, Michigan 49781 906-643-8288	
PROJECT:	
MACKINAC ISLAND PIER #1 PHASE 2 PIER REPAIRS CITY OF MACKINAC ISLAND MACKINAC COUNTY MICHIGAN	
Drawn by: D. HOHMEYER, P.E.	Date: 5-28-24
Checked by: D. HOHMEYER, P.E.	Date: 5-28-24
Project No. 2023-0657	Sheet No. PH2-F3
Sequence No. 3 of 8	



1 PHASE 2 - CROSS SECTION THROUGH PIER AREA
F4 SCALE 1/4" = 1'-0"

2 PHASE 2 - CROSS SECTION THROUGH THE SOUTH END OF THE PIER
F4 SCALE 1/4" = 1'-0"

GENERAL NOTES

- ALL APPLICABLE LOCAL, STATE AND FEDERAL RULES, REGULATIONS, ORDINANCES AND CODES SHALL APPLY THROUGHOUT THE PROJECT.
- THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH 2015 MICHIGAN BUILDING CODE.
- SOIL INFORMATION USED FOR THE FOUNDATION DESIGN OBTAINED FROM THE REPORT OF SOIL INVESTIGATION BY:
FIRM: SOILS & STRUCTURES, INC.
PHONE: (231) 798-4127
PROJECT NUMBER: 2023-0657
REPORT DATE: TEST BORING TO BE PERFORMED ON NOVEMBER 18, 2018
- THE FOLLOWING LOADS HAVE BEEN USED FOR DESIGN PURPOSES:

A. BUILDING DESIGN CATEGORY

III

B. SNOW LOADS

GROUND SNOW LOAD (P_g)	50 psf
SNOW EXPOSURE FACTOR (C_e)	1.0
SNOW LOAD IMPORTANCE FACTOR (I_s)	1.1
THERMAL FACTOR (C_t)	1.1
SLOPE ROOF FACTOR (C_d)	1.0
FLAT ROOF SNOW LOAD (P_f)	34 psf
SLOPED ROOF SNOW LOAD (P_s)	34 psf
UNBALANCED SNOW LOAD (P_u)	51 psf

C. WIND LOADS

BASIC WIND SPEED (V)	90 mph
WIND IMPORTANCE FACTOR (I_w)	1.15
WIND EXPOSURE CATEGORY	B
INTERNAL PRESSURE COEFFICIENT (GCF)	±0.18
COMPONENTS & CLADDING PRESSURE	
WINDWARD (ZONE 1)	10 psf
LEEWARD (ZONE 1)	-25 psf
WINDWARD (ZONE 2)	10 psf
LEEWARD (ZONE 2)	-27 psf
WINDWARD (ZONE 3)	10 psf
LEEWARD (ZONE 3)	-46 psf
WINDWARD (ZONE 4)	20 psf
LEEWARD (ZONE 4)	-22 psf
WINDWARD (ZONE 5)	20 psf
LEEWARD (ZONE 5)	-25 psf
MAINTENANCE WIND PRESSURE	21 psf

D. SEISMIC LOAD

SEISMIC IMPORTANCE FACTOR (I_h)	1.00
MAPPED SPECTRAL RESPONSE COEFFICIENTS	
SHORT PERIOD (S_s)	0.048g
1 SECOND PERIOD (S_1)	0.025g
SPECTRAL RESPONSE COEFFICIENTS	
SHORT PERIOD (S_{s1})	0.051g
1 SECOND PERIOD (S_{d1})	0.004g
RESPONSE MODIFICATION COEFFICIENT (R)	3
SEISMIC RESPONSE COEFFICIENT (C_s)	0.002
SEISMIC DESIGN CATEGORY	C
TOTAL DESIGN BASE SHEAR (V)	88.0 kips
BASIC SEISMIC FORCE RESISTING SYSTEM	
LATERAL PILE CAPACITY ANALYSIS PROCEDURE	
MINIMUM LATERAL FORCE	

E. LIVE LOAD

FIRE TRUCK / H2O	36 kip axle load
HORSE & DRAY	16 kip wheel load
COMMON / ASSEMBLY AREAS	1000 pound point load
COMMON / ASSEMBLY CORRIDORS	100 psf
STAIRS	100 psf
STORAGE	200 psf

- VERIFY ALL APPLICABLE DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO FABRICATION.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR TO COORDINATE WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL FOR ALL OPENINGS AND PENETRATIONS. NO OPENINGS SHALL PENETRATE STRUCTURAL ELEMENTS WITHOUT THE ENGINEER OF RECORD'S APPROVAL.
- ALL SPECIAL INSPECTIONS AND STRUCTURAL TESTS SHALL BE PERFORMED IN ACCORDANCE WITH CHAPTER 17 OF THE 2015 MICHIGAN BUILDING CODE.
- IF THERE ARE ANY CONFLICTS BETWEEN THE SPECIFICATIONS AND DESIGN DRAWINGS PLEASE NOTIFY THE ENGINEER.
- THE CONTRACTORS SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADEQUATE TEMPORARY BRACING IF REQUIRED. THIS REQUIREMENT SHALL ALSO INCLUDE ANY SUPERIMPOSED CONSTRUCTION LOADS.
- ALL INDICATED STRUCTURAL ELEVATIONS ARE BASED ON THE DECK LEVEL WHICH IS MATCH APPROXIMATELY THE EXISTING DECK ELEVATION.
- CONTRACTOR PROPOSED ALTERNATES TO THE CONTRACT DRAWINGS AND SPECIFICATIONS WILL BE CONSIDERED IF THEY RESULT IN SUBSTANTIAL SAVINGS TO THE OWNER WITHOUT ADVERSELY IMPACTING THE INTEGRITY AND FUNCTION OF THE STRUCTURE. ANY REQUEST FOR SUBSTITUTION SHALL BE ACCOMPANIED BY WRITTEN DOCUMENTATION OF THE SAVINGS INCLUDING ALL BACKUP DATA AND SEALED ENGINEERING CALCULATIONS NECESSARY TO EVALUATE THE MERITS OF THE PROPOSED ALTERNATE. ADDITIONAL ENGINEERING AND ARCHITECTURAL REVIEW COSTS MAY IMPACT THE VIABILITY OF ANY PROPOSED ALTERNATE.
- FRAMING CONDITIONS NOT SPECIFICALLY DETAILED OR INDICATED SHALL BE FRAMED SIMILAR TO USING MATERIAL OR CONDITION.

STRUCTURAL NOTES

CONCRETE

- ALL CONCRETE HAS BEEN DESIGNED AND SHALL BE BUILT IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
- ALL CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI.
- THE USE OF CHLORIDE ACCELERATORS IN ANY CONCRETE MIX DESIGN IS NOT PERMITTED.
- CONCRETE EXPOSED TO FREEZE THAW CYCLES OR DEICING CHEMICALS SHALL BE AIR ENTRAINMENT WITH AIR CONTENT PER ACI TABLE 4.2.1.
- ALL REINFORCING STEEL BARS TO BE ASTM A615 GRADE 60 DEFORMED AND ALL DEFORMED WELDED WIRE FABRIC TO BE ASTM A185. ALL REINFORCING TO BE PLACED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318 AND CRSI SPECIFICATIONS.
- CONCRETE COVER FOR REINFORCING (UNLESS NOTED OTHERWISE):
 - CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH = 3"
 - EXPOSED TO EARTH OR WEATHER:
 - #5 THRU #18 BARS = 2"
 - #5 BARS AND 5/8" WIRE AND SMALLER = 1-1/2"
 - NOT EXPOSED TO EARTH OR WEATHER:
 - SLABS, WALLS AND JOISTS:
 - #8 AND LARGER BARS = 1-1/2"
 - #6 AND #7 BARS = 1"
 - #5 AND SMALLER BARS = 3/4"
 - BEAMS, GIRDERS AND COLUMNS:
 - PRINCIPAL REINFORCEMENT, TIES, STIRRUPS AND SPIRALS = 1-1/2"

- MINIMUM CLEAR SPACE BETWEEN PARALLEL BARS IN A LAYER INCLUDING SPICE BARS, SHALL NOT BE LESS THAN:
 - FOR COLUMNS & PEDESTALS:
 - THE DIAMETER OF THE BAR TIMES 1.5
 - 1-1/2"
 - 1.33 TIMES THE MAXIMUM AGGREGATE SIZE.
 - FOR ALL OTHER BARS:
 - THE DIAMETER OF THE BAR
 - 1"
 - 1.33 TIMES THE MAXIMUM AGGREGATE SIZE.
- ALL NEW CONCRETE SHALL BE CURED IMMEDIATELY AFTER FINISHING OF REMOVING FORMWORK. CURING SHALL BE EITHER A MOIST CURE METHOD OR THE USE OF A CURING COMPOUND.
- PROVIDE CORNER BARS THAT MATCH CONTINUOUS REINFORCEMENT SIZE AND QUANTITY AT ALL INTERSECTIONS AND CORNERS OF FOOTINGS AND WALLS.
- THE WELDING OF REINFORCING STEEL BARS IS NOT PERMITTED, INCLUDING BUT NOT LIMITED TO TACK WELDS, BUTT WELDS, GROOVE WELDS, ETC.

STEEL

- ALL STEEL HAS BEEN DESIGNED AND SHALL BE BUILT IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC STEEL CONSTRUCTION MANUAL.
- ALL STEEL TO BE AS FOLLOWS UNLESS NOTED OTHERWISE:

A. W SHAPES	ASTM A362 GRADE 50
B. PLATE AND BAR	ASTM A36
C. HSS TUBES	ASTM A500 GRADE B
D. MISC. STEEL	ASTM A36
E. STRUCTURAL BOLTS	ASTM A325N
F. PIPE	ASTM A53 GRADE B
G. HEADED STUD AND HORS	ASTM A108 TYPE B 6S KSI
- ALL WELDING TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF AWS D1.1. ALL WELD ELECTRODES TO BE E7018 LOW HYDROGEN.
- STEEL DECKING SHALL BE GALVANIZED SHALL BE IN ACCORDANCE WITH ASTM A123. BOLTS AND NUTS TO BE GALVANIZED SHALL BE IN ACCORDANCE WITH ASTM A153.
- ANY DAMAGE TO GALVANIZING SHALL BE TOUCHED UP WITH VOIGHT AND SCHWETZER LZ09 ZINC PASTE OR AN APPROVED EQUAL.

WOOD

- ALL WOOD MEMBER DESIGN SHALL CONFORM WITH THE LATEST EDITIONS OF AITC TIMBER CONSTRUCTION MANUAL, NDS, AND TPI.
- ALL DIMENSIONAL LUMBER IS TO BE SPRUCE PINE-FIR #2 GRADE OR BETTER, EXCEPT WALL STUDS ARE PERMITTED TO BE SPRUCE PINE-FIR STUD GRADE OR BETTER.
- CONNECTIONS FOR WOOD MEMBERS SHALL CONFORM TO 2008 MISC TABLE 2304.9.1 AS A MINIMUM UNLESS OTHERWISE DETAILED.
- NAILS SIZES SPECIFIED ON THE PLANS, DETAILS AND TO BE USED IN SIMPSON STRONG-TIE CONNECTORS SHALL BE COMMON NAILS THAT CONFORM TO ASTM F1697.
- ALL DIMENSIONAL LUMBER HEADERS WITH PLYWOOD SPACERS SHALL BE GLUED AND NAILED TOGETHER. THE PLYWOOD SPACERS SHALL BE A FULL DEPTH SPACER.
- HOLES AND NOTCHES DRILLED OR CUT INTO WOOD FRAMING MEMBERS SHALL NOT EXCEED THE REQUIREMENTS OF THE 2008 MISC. REFERENCE SECTIONS 2308.9.10, 2308.9.11 AND 2308.10.4.2.

REBAR WELDING NOTES:

- ALL WELDING TO BE DONE BY AN AWS CERTIFIED WELDER IN ACCORDANCE W/ THE LATEST EDITION OF AWS D1.4.
- REINFORCING STEEL THAT IS TO BE WELDED SHALL BE ASTM A706 GRADE 60.
- ALL ELECTRODES SHALL BE E7018, LOW HYDROGEN.
- REBAR SHALL NOT BE WELDED WITHOUT SOILS & STRUCTURES APPROVAL OTHER THAN IN THE INDICATED DETAILS.
- ALL REINFORCING STEEL THAT IS WELDED MUST BE INSPECTED BY AN INDEPENDENT INSPECTOR FOR CONFORMANCE TO THE PLANS, BUILDING CODE AND AWS D1.4.

ADDITIONAL NOTES:

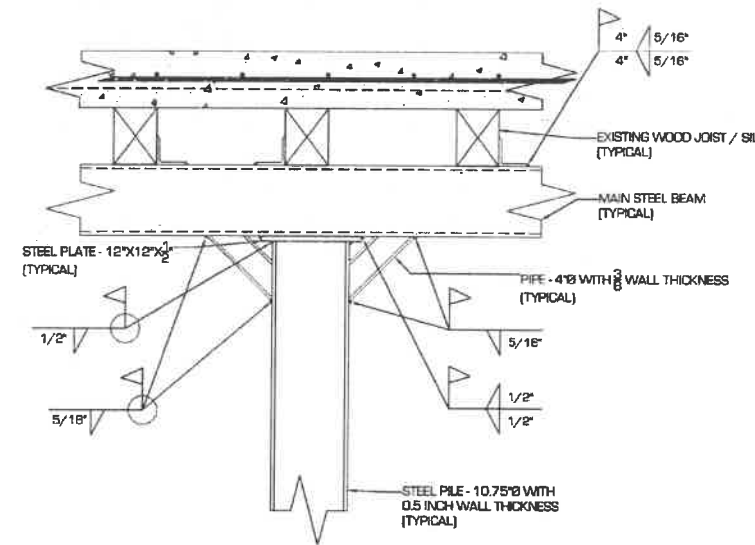
- EXISTING WELD SURFACES SHALL BE CLEAN AND FREE OF ANY PAINT, GALVANIZING, RUST, ETC. PRIOR TO FIELD WELDING.
- VERIFY ALL APPLICABLE EXISTING DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO FABRICATION AND CONSTRUCTION.
- IF EXISTING CONDITIONS DIFFER FROM WHAT IS SHOWN SOILS AND STRUCTURES SHALL BE NOTIFIED IMMEDIATELY SO THAT THE DESIGN MAY BE PROPERLY MODIFIED.
- ALL SPECIAL INSPECTIONS AND STRUCTURAL TESTS SHALL BE PERFORMED IN ACCORDANCE WITH CHAPTER 17 OF THE 2008 MICHIGAN BUILDING CODE. THE FOLLOWING ITEMS ARE A MINIMUM TO BE INSPECTED:
 - BAR SIZE, GRADE, SPACING, LOCATIONS AND CLEARANCE
 - BAR IS FREE OF EXCESSIVE RUST, DIRT, OIL, DAMAGE, ETC.
 - LAP LENGTHS AND LOCATIONS
 - BAR IS PROPERLY SUPPORTED
 - FORM DIMENSIONS
 - SAMPLE AND TEST ALL CONCRETE IN ACCORDANCE WITH ASTM C31, C39, C14 AND C231
- ALL CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI. CONCRETE MIX SHALL BE SILICA FUME BASED AND HAVE A MAXIMUM WATER TO CEMENT RATIO OF 0.40. COARSE AGGREGATE SHALL BE CRUSHED LIMESTONE.
- ALL REINFORCING STEEL TO BE ASTM A615 GRADE 60 AND PLACED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318 AND CRSI SPECIFICATIONS. REINFORCING STEEL SHALL BE EPOXY COATED IN ACCORDANCE WITH ASTM A775 OR ASTM A934.

PILE NOTES:

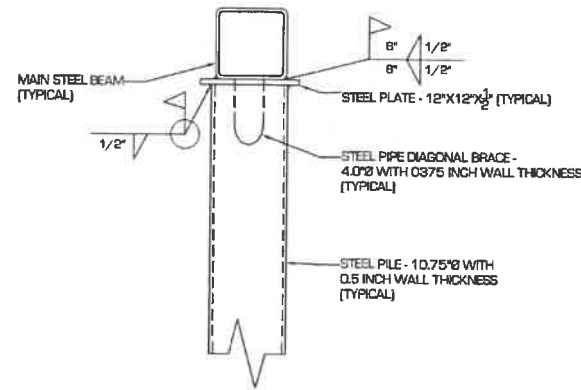
- ALL PILES SHALL BE 10.75" DIAMETER WITH A WALL THICKNESS 0.500 INCHES. THE PILES SHALL BE DRIVEN OPEN ENDED. THE PILES MAY BE INSTALLED WITH A VIBRATORY HAMMER UNTIL SUBSTANTIAL RESISTANCE IS ENCOUNTERED. AN IMPACT HAMMER SHALL BE USED TO DRIVE THE PILES TO BEARING. PILE DRIVING SHALL BE INSTALLED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT WHICH WILL BE PROVIDED UPON COMPLETION OF THE TEST BORINGS SCHEDULED FOR THE WEEK OF NOVEMBER 18TH. THE PILES SHALL BE DRIVEN TO AN ULTIMATE CAPACITY 35 TONS (70.0 KIPS).
- THE PILES MAY BE LEFT UNFILLED.
- PILE STEEL SHALL BE GRADE 50.
- PILE TIP ELEVATION TO BE DETERMINED IN THE FIELD BASED ON DRIVING RESISTANCE. PILE CUTOFF ELEVATION TO BE DETERMINED FROM DECK ELEVATION AND DETAILS.
- PILES THAT ARE INSTALLED WITHIN 2' OF THE INDICATED LOCATION ON THE PLANS ARE ACCEPTABLE. PILES THAT ARE LOCATED FURTHER THAN 3' FROM THE SPECIFIED LOCATION SHALL BE REPORTED TO SOILS AND STRUCTURES TO DETERMINE IF ADDITIONAL PILES OR MODIFICATIONS TO THE FRAME ARE REQUIRED.
- PILE LOAD TEST MAY BE OMITTED PROVIDED FULL TIME PILE INSPECTION IS PERFORMED.

Drawn by: D. HOHMEYER, P.E.
Checked by: D. HOHMEYER, P.E.
November 18, 2024
Professional Engineer
Michigan License No. 32823

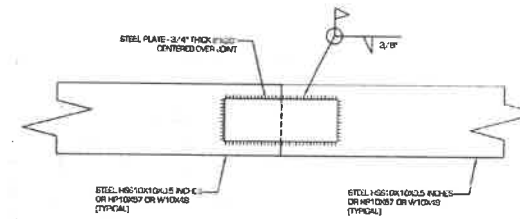
RELEASE DATES	
11-23-24	CONSTRUCTION & PERMIT
SOILS & STRUCTURES	
6480 Grand Haven Road Muskegon, Michigan 49441 (800) 933-3959 Fax (231) 798-1383	
CLIENT:	
 Arnold Freight 303 Ferry Lane St. Ignace, Michigan 49781 906-643-8288	
PROJECT:	
MACKINAC ISLAND PIER #1 PHASE 2 PIER REPAIRS CITY OF MACKINAC ISLAND MACKINAC COUNTY MICHIGAN	
Drawn by: D. HOHMEYER, P.E.	Date: 5-28-24
Checked by: D. HOHMEYER, P.E.	Date: 5-28-24
Project No.	Sheet No.
2023-0657	PH2-F4
Sequence No.	4 of 8



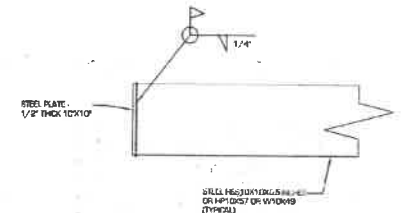
1 STEEL PILE TO STEEL BEAM CONNECTION
FS SCALE 1" = 1'-0"



2 STEEL PILE TO STEEL BEAM CONNECTION
FS SCALE 1" = 1'-0"



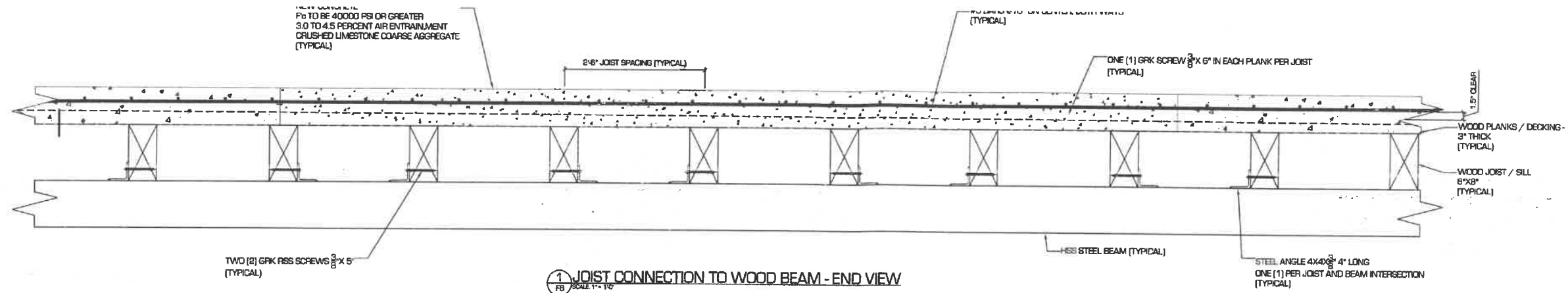
3 STEEL BEAM TO STEEL BEAM CONNECTION
FS SCALE 1" = 1'-0"



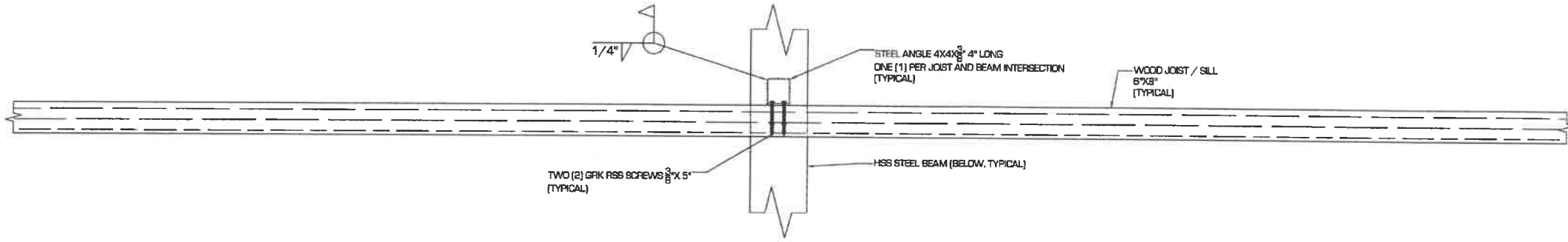
4 END OF STEEL BEAM DETAIL
FS SCALE 1" = 1'-0"

RELEASE DATES	
11-12-24	CONSTRUCTION & PERMIT
SOILS & STRUCTURES 6480 Grand Haven Road Muskegon, Michigan 49441 (800) 933-3959 Fax (231) 798-1383	
CLIENT: Arnold Freight 303 Ferry Lane St. Ignace, Michigan 49781 906-643-8288	
PROJECT: MACKINAC ISLAND PIER #1 PHASE 2 PIER REPAIRS CITY OF MACKINAC ISLAND MACKINAC COUNTY MICHIGAN	
Drawn by: D. HOHMEYER, P.E. Checked by: D. HOHMEYER, P.E.	Date: 5-28-24 Date: 5-28-24
Project No. 2023-0657	Sheet No. PH2-F5 Sequence No. 5 of 8

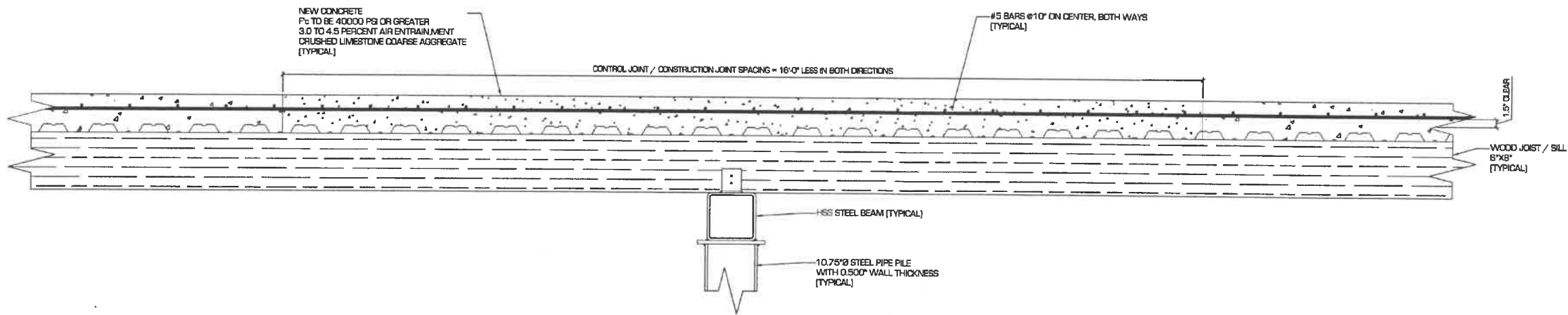
David D. Hohmeyer, P.E.
 Michigan License No. 32823
 November 2024



1 JOIST CONNECTION TO WOOD BEAM - END VIEW
SCALE 1" = 1'-0"




2 JOIST CONNECTION TO WOOD BEAM - TOP VIEW
SCALE 1" = 1'-0"



3 JOIST CONNECTION TO STEEL BEAM - SIDE VIEW
SCALE 1" = 1'-0"

Drawn by: D. HOHMEYER, P.E.
Michigan License No. 32829
November 2024



RELEASE DATES	
11-23-24	CONSTRUCTION & PERMIT
SOILS & STRUCTURES	
6480 Grand Haven Road Muskegon, Michigan 49441 (800) 933-3959 Fax (231) 798-1383	
CLIENT:	
	
Arnold Freight 303 Ferry Lane St. Ignace, Michigan 49781 906-643-8288	
PROJECT:	
MACKINAC ISLAND PIER #1 PHASE 2 PIER REPAIRS CITY OF MACKINAC ISLAND MACKINAC COUNTY MICHIGAN	
Drawn by: D. HOHMEYER, P.E.	Date: 5-28-24
Checked by: D. HOHMEYER, P.E.	Date: 5-28-24
Project No.	Sheet No.
2023-0657	PH2-F6
	Sequence No.
	6 of 8



Arnold Transit Co. Mackinac Island
Main Dock Pile Configuration
12/2024

RECEIVED
NOV 26 2024

2024/1



Richard
Neumann
Architect

618 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

7 December 2024

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
P.O. Box 455
Mackinac Island, MI 49757

Re: **MAIN DOCK PILINGS REPLACEMENT**
Design Review

Dear Ms. Pereny:

I have reviewed the proposed major structural rebuilding of the Main Dock in the Market and Main Historic District.

Find attached the Design Review for the above referenced proposed project.

Should you have any questions, please contact me.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

- c. Dennis Dombroski, City of Mackinac Island
David Lipovsky, City of Mackinac Island
Erin Evashevski, Evashevski Law Office



Richard
Neumann
Architect

670 Grand Avenue, Berkeley, Michigan 49710-2301 547-0191

7 December 2024

DESIGN REVIEW

MAIN DOCK PILINGS REPLACEMENT

7271 Main Street

Market and Main Historic District
Mackinac Island, Michigan

INTRODUCTION

The proposed project is the Phase 2 major renovation of the Arnold Ferry Main Dock, at 7271 Main Street, in the Market and Main Historic District. The Arnold Ferry Main Dock is a Contributing structure in the district. Extensive new work, completed in two phases, to place new pilings and shore up and stabilize the dock would include installation of 32 rows, or bents, of steel pilings and beams underneath, new wood floor joists, and steel decking with concrete surfacing at the harbor end of the structure. No work is proposed for the two terminal buildings.

This design review is based on City Code Sec. 10-161 "Design Review Standards and Guidelines", of Article V. "Historic District", of the City of Mackinac Island Ordinance No. 443, adopted October 21, 2009. The review standards are those of the Department of the Interior entitled "The United States Secretary of the Interior's Standards for Rehabilitation" and "Guidelines for Rehabilitating Historic Buildings", as set forth in 36 CFR, part 67, as well as the factors set forth in City Code Sec. 10-161(b).

Materials submitted for Review consist of photographs of existing conditions, drawings consisting of site and floor plans and details, by Soils & Structures, dated 12 November 2024.

REVIEW

The Standards for review are the following:

Standard 1 - *"A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment."*

The Main Dock would continue in use as the community's original ferry transport structure. However, short of undertaking the proposed project the Dock would succumb to functional obsolescence because of its increasingly inadequate structural integrity.

Main Dock Pilings Replacement Design Review
7 December 2024
Page 2

Standard 2 - *"The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a building shall be avoided."*

As preservation of the dock is a continual periodic undertaking to repair and replace deteriorated pilings, it is the process of maintenance and the retention of the structure as an operating facility, that is the historic value, not necessarily maintenance of the actual original fabric. Existing wood pilings would be left in place, and a new wood piling would be installed at the outside end of each new structural bent (or row) of piles. As such, the historic character of the dock would be retained and preserved.

Standard 3 - *"Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historic development such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."*

The proposed enhancement of the dock's structural capacity is for the purpose of meeting new needs created by the use of larger cruise ships now desiring to use the harbor facility. As it has in the past, the dock must adapt to changing needs to continue to be Mackinac Island's primary connection to the mainland. Such changes would not create a false sense of historic development, or be the addition of conjectural elements, but rather the present day record of its time, place and use.

Standard 4 - *"Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved."*

Various past changes to the dock structure and its buildings which have acquired historic significance in their own right would be preserved.

Standard 5 - *"Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved."*

The distinctive features of the Main Dock, consisting of the two terminal buildings and the dock structure itself, would be preserved.

Standard 6 - *"Deteriorated historical features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence, or structures."*

Deteriorated historical features consist of the many weathered and structurally inadequate wood pilings. These include those which are now deteriorated, and those which were previously repaired by "tabling", a structurally inadequate treatment providing little lateral support. Most of these wood pilings are no longer structurally adequate to provide the vertical and horizontal load-carrying capacity now required to be serviceable in the current maritime visitor economy.

Main Dock Pilings Replacement Design Review
7 December 2024
Page 3

As such, the severity of deterioration and unserviceability requires replacement rather than repair.

While new pilings are proposed to be steel their visual presence would be screened / hidden to some extent by leaving the old wood pilings in place, and by setting new wood pilings at the ends of each bent, or row, of new steel pilings.

Standard 7 - *“Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.”*

This standard is not applicable.

Standard 8 - *“Significant archaeological resources shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.”*

While archaeological resources might exist in the bottomlands under and near the Main Dock, disturbance of these has happened many times over the centuries, as piling placement has occurred. So while the likelihood of encountering archaeological resources are slim, scrutiny and care should be taken during the project's duration.

Standard 9 - *“New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size and architectural features to protect the historic integrity of the property and its environment.”*

The addition of new steel pilings and beams would negatively affect the historic wood pilings that characterize the dock's appearance. But the new would be added along side the old, maintaining some continuity of character. And certainly the new work would be differentiated from the old, being a completely different material.

Standard 10 - *“New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.”*

In theory, the new steel pilings could be removed in the future, but it would be extremely unlikely. Long term, retention of the existing wood pilings is problematic since as they will continue to deteriorate, and will eventually fail and succumb to the elements, slowly disappearing from the scene. So the essential form and integrity of the original wood dock would be impaired - by the initial installation of modern steel pilings, and by the subsequent disappearance of the historic wood pilings over time.

Main Dock Pilings Replacement Design Review
7 December 2024
Page 4

Standards Under Code Sec. 10 161(b)

In reviewing applications, the Commission shall also consider all of the following:

(1) - *"The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area."*

The historic and architectural value and significance of the Main Dock as a historic resource on Mackinac Island cannot be overstated - ferry travel to and from the Island is a quintessential rite of passage for islanders and visitors alike. It is an essential presence to the Island experience. And so preservation of the dock and its buildings should be a very high priority. While the proposed work departs from historic repair techniques, it would usher in the next era in the Dock's continuing service to the community.

(2) - *"The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area."*

The relationship of wood pilings and beams, to the larger dock structure is important. Placing new wood pilings at locations around the perimeter of the dock would maintain a semblance of continuity in its evolution as a structure. and help preserve its character. to portray the historic ambiance of the maritime experience.

(3) - *"The general compatibility of the design, arrangement, texture and materials proposed to be used."*

New steel pilings and beams underneath would preserve the Dock's function, and new wood pilings around the perimeter would preserve the Dock's historic appearance, making the proposed project a compatible undertaking.

(4) - *"Other factors, such as aesthetic value, that the Commission finds relevant."*

The aesthetic value of the Dock as a historic resource would be maintained.

CONCLUSION

The proposed placement of new steel and wood pilings, steel beams, wood joists, steel decking, and concrete paving at the harbor end one-third of the Main Dock would largely meet the Standards for review. While new steel pilings would be visible, new wood pilings around the perimeter of the work area would somewhat screen them, to create an appropriate historic appearance.

END OF REVIEW

