

# CITY OF MACKINAC ISLAND

## AGENDA

### PLANNING COMMISSION

Tuesday, October 10, 2023 at 3:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

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**I. Call to Order**

**II. Roll Call**

**III. Pledge of Allegiance**

**IV. Approval of Minutes**

[a.](#) September 12, 2023 Minutes

**V. Adoption of Agenda**

**VI. Correspondence**

**VII. Staff Report**

a. HDC Meeting Summary

b. REU Update

c. Master Plan Update

**VIII. Committee Reports**

**IX. Old Business**

[a.](#) MD23-011-067(H) McGreevy Fence

[b.](#) C23-053-070(H) Trayser Demolition

[c.](#) C17-055/56-027(H) Benser Mr. B's Basement Amendment

[d.](#) Hoban Hill Contingencies

[e.](#) R121-004-040 Erbel Propane Tank Amendment

[f.](#) R423-065-054 Bazinau Shed

**X. New Business**

[a.](#) MD23-026-085(H) Benser Porter Change of Use Rose Gazebo Building

[b.](#) R123-025-088 Jim Murray Fence

[c.](#) Grand Hotel Retaining Wall Discussion

- [d.](#) R423-011-089 MIHC Lot 11 Shed
- [e.](#) R423-012-090 MIHC Storage Shed Lot 12
- [f.](#) R423-015-091 MIHC Shed Lot 15
- [g.](#) R423-016-092 MIHC Shed Lot 16
- [h.](#) R323-007-082 Hoban Hill Demolition
- [i.](#) 2024 Meeting Dates for Approval
- [j.](#) Rosemary Lounsbury Lot Split/Combination

**XI. Public Comment**

**XII. Adjournment**

# CITY OF MACKINAC ISLAND

## MINUTES

### PLANNING COMMISSION MEETING

Tuesday, September 12, 2023 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

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#### I. Call to Order

The meeting was called to order at 4:00 PM

#### II. Roll Call

PRESENT

Trish Martin

Jim Pettit

Michael Straus

Anneke Myers

Ben Mosley

Mary Dufina

Lee Finkel

Staff: Dombroski, Evashevski

#### III. Pledge of Allegiance

#### IV. Approval of Minutes

- a. Approval of August 8 2023 Minutes

Motion to approve minutes as written.

Motion made by Mosley, Seconded by Finkel.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Finkel

#### V. Adoption of Agenda

Motion to approve the agenda as written.

Motion made by Dufina, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

## **VI. Correspondence**

None

## **VII. Staff Report**

### **a. HDC Meeting Summary**

Finkel summarized the September 12th HDC meeting.

### **b. REU Update**

Burt stated all outstanding projects have been accommodated with the exception of the Harbourview boardinghouse on 7th. The agreement with Grand Hotel is needed. The Board allowed 1 out of formula REU for the Ledtke residence on east bluff. The projects on the agenda today he believes they will all get their REU's.

## **VIII. Committee Reports**

Master Plan: Myers stated there was a workshop on August 31st. A survey is currently being conducted. A student survey is also being put together and Laura Eiseler stated she would disseminate to the school. They hope to have a Zoom meeting with Adam Young and the businesses. There will possibly be another workshop later in the fall.

## **IX. Old Business**

### **a. Updated Site Plan Review Checklist**

A draft to be consistent with new ordinance was submitted.

Motion to adopt.

Motion made by Myers, Seconded by Mosley.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

### **b. R323-007-051 Hoban Hill-Nephew New Building**

Contingencies from last month were submitted for approval. Murray and Porter addressed the Commission. They believe they addressed all of the contingencies. Myers asked about the map from Dickenson. The road is on Carriage Tours property. Myers confirmed they had permission from Carriage Tours to use the road. Murray will get the permission in writing. Dufina asked if the route is the traditional route up British Landing. Myers stated it should come up State Road. Spencer stated it is the same route as used for Barnview and will submit the correction for the file. Pettit asked if the existing barns will be demolished. Murray stated he submitted an application to the Building department and it will be on the October agenda. Myers questioned if the equipment for Belonga escort was

included. Spencer stated no. Myers asked in the future for that to be included. Myers asked where the material storage will be. Murray stated that for Building B, it will be on other Hoban Hill property. Dombroski asked about the trash building; he thought there was going to be separate buildings for each building. Porter stated they determined based on the amount of trash generated that the two buildings can share a trash storage area. Myers reminded Murray that the approval was contingent on a temporary trash plan for each building, until condominiumized. Evashevski stated that she agrees with Myers, that until condominiumized there needs to be a separate trash storage for each area. Pettit suggested to submit in writing that the trash for Building B will be stored in the basement until trash day, until the property is condominiumized. Dickenson representative reported their plan for debris. They would prefer to use garbage drays. All debris will be stored by unit D. Dickenson representative is to provide all information on a site plan and in writing. No fencing or barriers are anticipated to be needed. Myers stated the Building inspector will determine if a fence is needed. Motion to place on file.

Motion made by Martin, Seconded by Mosley.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

c. R323-007-052 Hoban Hill-Chippewa New Building

Trash is shown on site. Murray provided all of the information. Dickenson plans will be supplemented. Building D construction is still in planning, but they hope to do it at the same time. All of that will be submitted in writing. Murray stated the foundation will not be built unless they expect to set in May. Dufina suggested designating two staging areas in the event both B and D are built at the same time. Dufina asked when they expect this to become a condominium. Murray stated he will know more after Buildings A and C are reviewed. Motion to place on file and information is to be submitted in writing.

Motion made by Myers, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

d. R322-016-028 Benser Triplex Siding Amendment

The applicant would like to use the Everlast composite siding instead of the approved cedar. Straus asked if Neumann had weighed in on the change. Benser stated he had not. Motion to approve the change in siding to Everlast, with a favorable review from Neumann.

Motion made by Dufina, Seconded by Mosley.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

e. HB23-007-055 Inn at Stonecliffe Mercantile Building Contingencies & Propane Tank Amendment

Doyle stated the contingencies were submitted. Doyle stated when asked about board and batten siding, he had stated no, but Neumann stated board and batten was more appropriate for the period. Pettit asked that a hitching post be placed on the site. Motion to approve

Motion made by Finkel, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

f. HB21-001-061 Stonecliffe Rooftop Equipment Fence Amendment

Dombroski stated this is being mandated by the state mechanical inspector. The code requires that you are able to open the doors on the equipment. The original fence would not work. Motion to approve.

Motion made by Mosley, Seconded by Finkel.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

g. HB21-001-099 Stonecliffe Wellness Center Bilco Door Amendment

Doyle stated there was not access to the basement. The bilco door will be hidden by hydrangeas and lilacs. Motion to approve.

Motion made by Dufina, Seconded by Myers.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

h. HB21-001-099 Stonecliffe Cottage 1 Basement Door Amendment

Doyle stated this was a door to access the basement for storage. If a retaining wall is needed, that would need to come back to the Commission. Motion to approve.

Motion made by Myers, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

## X. New Business

a. R323-008-061 MICT New Boardinghouse

McGreevy stated they have been able to hook on to the Grand force main. The applicant would like to reposition the two buildings down in the area the septic was previously shown. The two buildings will have stairs pointing to the uphill so the grading will not have to change. These buildings will be connected to the city water as soon as REU's become available. The new questions were not yet online so he will submit the information. They will be staged the same way as the first two. This is planned for next fall. Myers asked the timing be placed in writing too. Myers asked if they would install an ebike charging station. McGreevy stated they will. Mosley confirmed that no pets will be allowed. McGreevy stated the buildings are modular

construction and they are looking at possible routes to get the units to the site. McGreevy confirmed that the building and fire escape will be sprinkled. Motion to approve contingent on written answers to zoning questions 14-16, an ebike charging station shown on the site plan and map for route.

Motion made by Mosley, Seconded by Myers.

Voting Yea: Martin, Straus, Myers, Mosley, Dufina, Finkel

Voting Abstaining: Pettit

b. MD23-011-067(H) McGreevy Fence

McGreevy stated that he agreed at HDC to change to wood with a little different design so he asked to please table until next month. When asked, he stated there is no gate. Motion to table

Motion made by Myers, Seconded by Mosley.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

c. C23-021-068(H) Bicycle Street Inn Door Change

Megan Hornbogen described the plan. There will be four new windows on the back, and a door on the north side of building that will lead right into the hotel. Staging will keep as much in the building as possible. Straus asked about signage. Polzin stated the signs will be submitted separately. Mosley confirmed with Dombroski that the change will be OK for egress. Straus asked if a traffic plan should be required. Myers agreed that they should see a traffic plan and luggage should be addressed. Jurcak stated the luggage and traffic will go through the new entrance. Straus asked for a diagram showing the traffic flow. Motion to approve based on a traffic pattern being submitted.

Motion made by Myers, Seconded by Mosley.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

d. R323-007-069 Hoban Hill Benser Building A

Benser, unit A, is 14 units with 12 studios and two 1 bedroom apartments. The staging area is the 75' between building A and the triplex. Benser believes this will be plenty of room for staging. Benser hopes to build next fall. Myers asked that the construction plan be submitted in writing. Murray addressed the question about condominiumizing. Murray wants to make sure the Commission is comfortable with the plan and then will begin the condominiumizing process. Density was confirmed. Murray stated they can come back with the staging plan. Mosley confirmed that they are requesting contingent approval today. Dombroski stated he is looking for the road surface in the ordinance because he thought it had to be hard surface, and the plans call for gravel. Dufina stated that Section 24.03 states the road requirement is "...a paved driving surface of asphalt or other approved material". This

will be addressed once the area is condominiumized. Motion to approve building A contingent on written and site plan designations for questions 14-16 in section 20.04.

Motion made by Myers, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

e. R323-007-071 Hoban Hill Building C Doud

Doud was asked about staging area. Doud stated they will be using the Carriage Tours property, and Hill House property owned by Callawaert. Doud will submit letters. The staging plan will be submitted along with the zoning questions 14--16 answered in writing. The Commission is OK with the trash plan and ebike charging station. Myers asked if they can be on the property line. Dombroski stated the trash buildings should be at least 5' off the property line since they are considered an accessory building. Myers stated Doud may want to consider moving the charging station inward some. Evashevski noted that nothing can be in the 10' landscape buffer. Doud addressed the demolition permit. This will be on the October Agenda. The screening fence on the north side is existing and will remain. Motion to approve contingent on written answers to questions 14-16 in Section 20 of the Ordinance, move bikes and trash out of the landscape buffer zone, permission from neighbors, and the staging area provided.

Motion made by Myers, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

f. C23-053-070(H) Trayser Demolition of Building

Straus stated it was tabled in the HDC. Trayser asked to table until October. Myers instructed Trayser to review the new section of the ordinance. Motion to table.

Motion made by Myers, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

g. MD23-011-072(H) MICT Lennox Front Porch Variance

McGreevy stated they would like to enclose the open part of the porch for office space. The existing enclosed space will remain. A new door will be installed to the front where it used to be. The new enclosed space will have heat. The porch encroaches in the setback so a variance is needed. The new section will be slightly different to show that it is different from the existing. Neumann did a favorable review. Dombroski explained the variance is because the edge will be at the lot line. Brad Chambers stated the building was there before the street existed. Dombroski stated he understood but the variance is for the new construction, not the existing. Motion to send to ZBA with a recommendation of approval because it is not changing the footprint and it is filling in the non-conformity.

Motion made by Myers, Seconded by Martin.

Voting Yea: Martin, Straus, Myers, Mosley, Dufina, Finkel

Voting Abstaining: Pettit

h. HB23-015-073 Inn at Stonecliffe Apple Orchard

Doyle shared his screen to show a site plan. They would like to convert the apple orchard to an agricultural space including apple trees, bee hives, and a community garden for herbs and vegetables. A fence needs to go around the orchard along the pathway with two 12' gates that open in to the orchard. Doyle stated they have the ability to be locked. A storage building is proposed in the corner. The fence is 6' tall and will match fence on adjacent property. The fence will not block access to Sunset Rock. Dombroski asked if there needs to be emergency access. There will be no electricity in the shed. Mosley is OK with the access. A large fire truck wouldn't be able to access anyways. Motion to approve.

Motion made by Dufina, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

i. HB23-017-074 Stonecliffe's Love Shack Change of Use

Doyle stated they would like to use as hotel use. A railing will be added on the porch, they will widen the entrance and trim trees for access, and gate off steps at the fence and build a hedge around it. The will not be changing the footprint. Straus stated he wanted to make sure the widening of the turn around does not impact the neighbors. Doyle stated it should be quick. The road is proposed to be mulch. Mosley stated if there is gravel under the mulch it would be adequate for the fire truck. Dufina asked for the length of the path to the house from the 16' road. Horn guessed about 35'. It will be one key, one bedroom. Motion to approve the change of use from residential to Hotel.

Motion made by Dufina, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

**XI. Public Comment**

Pettit expressed his displeasure on the look of the new cell pole in the village.

**XII. Adjournment**

Motion to adjourn at 6:22 PM

Motion made by Myers, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

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Michael Straus, Chair

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Katie Pereny, Secretary

CITY OF MACKINAC ISLAND  
PLANNING COMMISSION & BUILDING DEPARTMENT  
APPLICATION FOR ZONING ACTION

www.cityofmi.org    kep@cityofmi.org    906-847-6190    PO Box 455 Mackinac Island MI 49757



**APPLICANT:**  
Andrew & Stephanie McGreevy  
PO Box 225 Mackinac Is MI 49757

Please complete both sides of application.  
The Fee and fourteen (14) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Phone Number \_\_\_\_\_ Email Address \_\_\_\_\_

**Property Owner & Address (If Different From Applicant)**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- Is The Proposed Project Part of a Condominium Association? No
- Is The Proposed Project Within a Historic Preservation District? Yes
- Applicant's Interest in the Project (If not the Fee-Simple Owner): \_\_\_\_\_
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? No
- Is a Variance Required? No
- Are REU's Required? How Many? No / \_\_\_\_\_

**Type of Action Requested:**

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other \_\_\_\_\_
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

**Property Information:**

- A. Property Number (From Tax Statement): 051-575-011-11
- B. Legal Description of Property: Attached
- C. Address of Property: 7567 Market Street
- D. Zoning District: Market
- E. Site Plan Checklist Completed & Attached: Y
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Y
- G. Sketch Plan Attached: N
- H. Architectural Plan Attached: Y
- I. Association Documents Attached (Approval of project, etc.): NA
- J. FAA Approval Documents Attached: NA
- K. Photographs of Existing and Adjacent Structures Attached: Y

**Proposed Construction/Use:**

- A. Proposed Construction:
  - New Building
  - Alteration/Addition to Existing Building
  - Other, Specify Fence alteration

- B. Use of Existing and Proposed Structures and Land:
  - Existing Use (If Non-conforming, explain nature of use and non-conformity): Weekly Rental
  - Proposed Use: Weekly Rental

File No. MD23-011-067(H)  
Exhibit A  
Date 8-28-23  
Initials KP

- C. If Vacant:
  - Previous Use: \_\_\_\_\_
  - Proposed Use: \_\_\_\_\_
  - Length of Time Parcel Has Been Vacant: \_\_\_\_\_

OFFICE USE ONLY			
FILE NUMBER: <u>MD23-011-067(H)</u>	FEE: <u>\$150-</u>		
DATE: <u>8-28-23</u>	CHECK NO: <u>5014</u>	INITIALS: <u>KP</u>	Revised Oct 2018

STATE OF MICHIGAN )  
COUNTY OF MACKINAC ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the OWNER (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Andrew McGreevy  
Signature

Stephanie McGreevy  
SIGNATURES  
Signature

Andrew McGreevy  
Please Print Name

Stephanie McGreevy  
Please Print Name

Signed and sworn to before me on the 28 day of August, 2023.

K. RICKLEY, Notary Public  
Mackinac County, State of Michigan  
Acting in the County of Mackinac  
My Commission Expires: 10/21/2025

K. Rickley  
Notary Public  
Mackinac County, Michigan  
My commission expires: 10/21/2025

FOR OFFICE USE ONLY

Zoning Permit Issued: \_\_\_\_\_

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised October 2018

# City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

## Site Plan Review Checklist Please Submit With The Application for Zoning Action

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As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

---

### *Optional Preliminary Plan Review Informational Requirements (Section 20.03)*

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

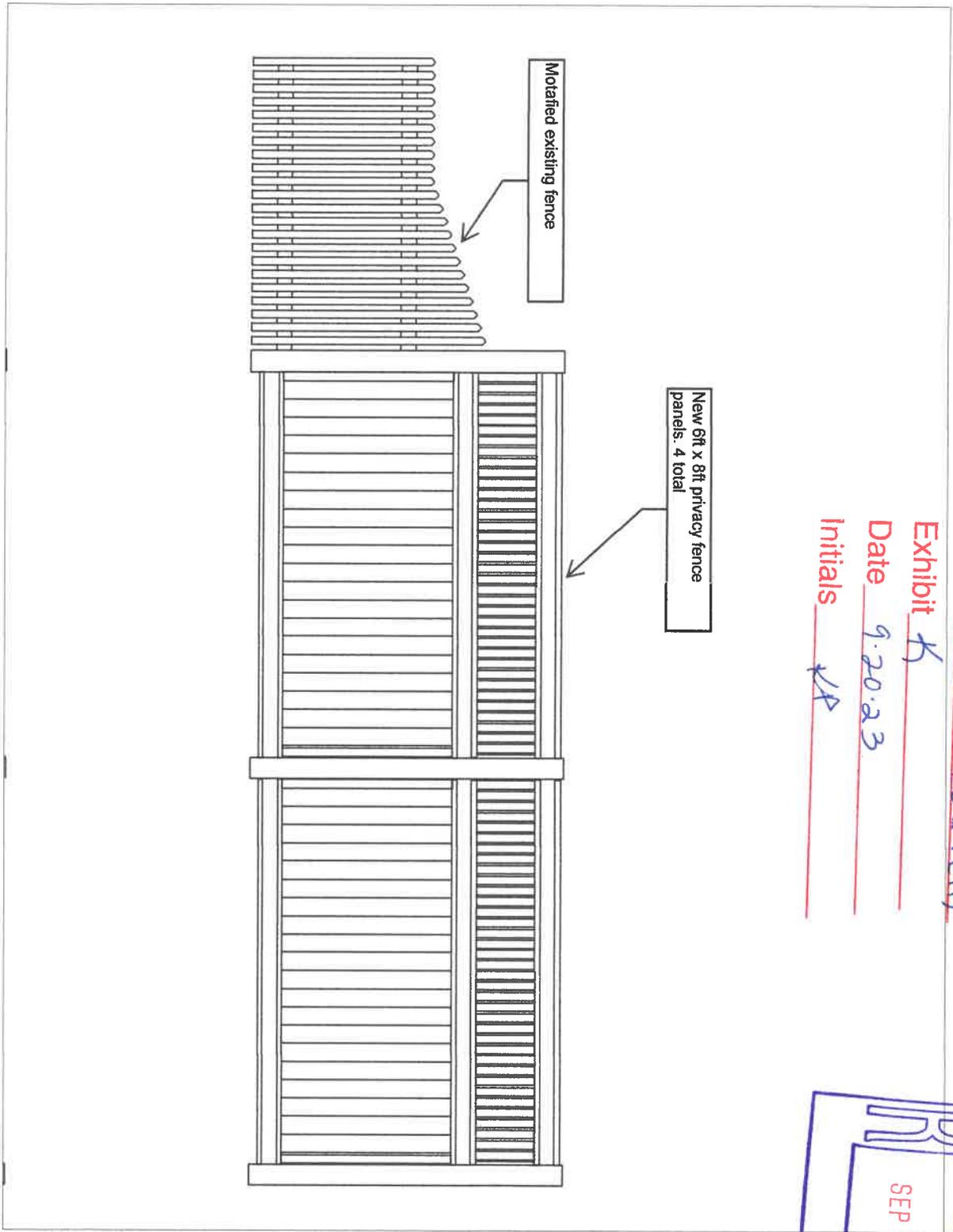
<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- |  |                                     |                                     |
|--|-------------------------------------|-------------------------------------|
| 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 22. Description of Existing and proposed on-site lighting (see also Section 4.27)  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

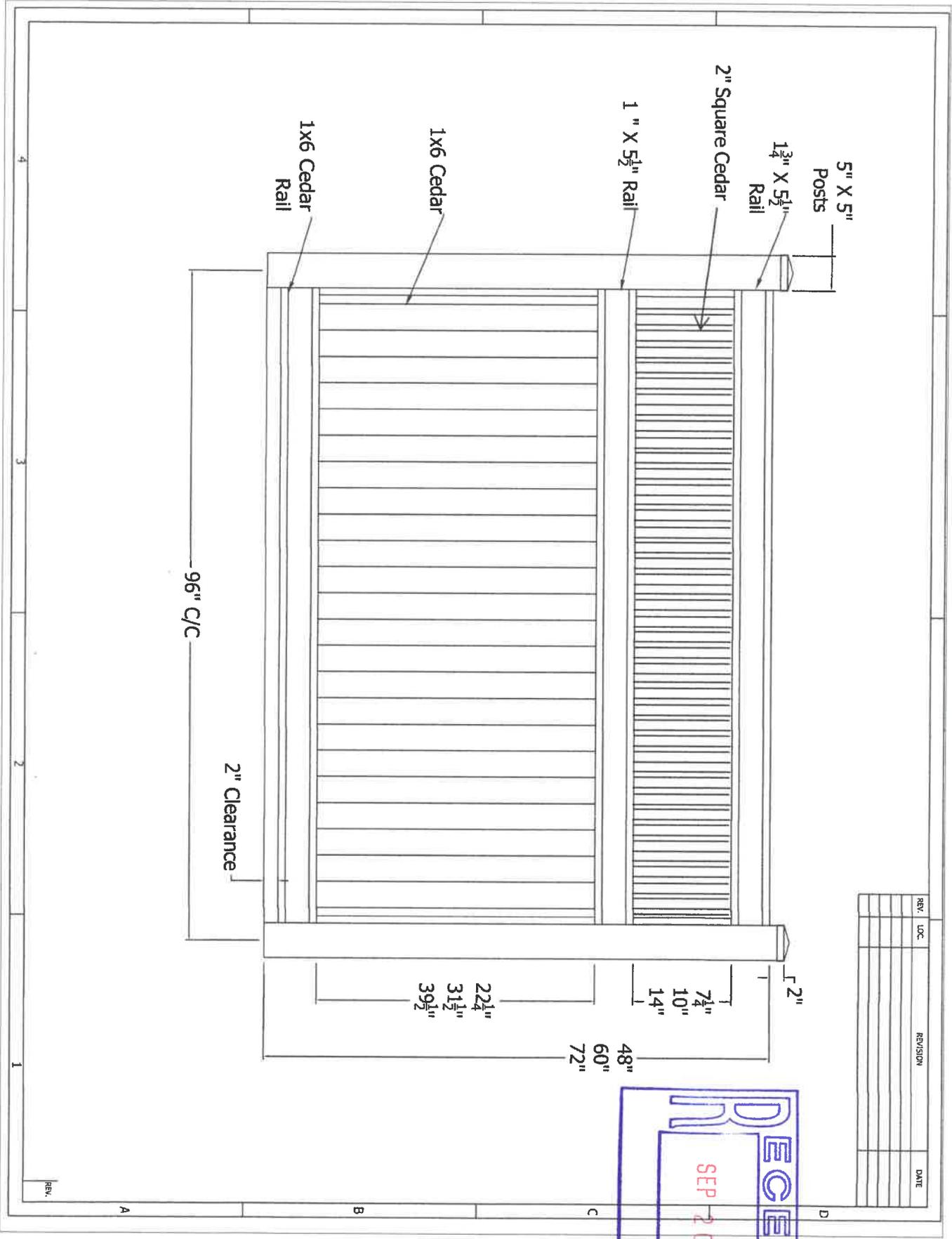
**Architectural Review  
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>



File No. MO23-011-067(A)  
Exhibit K  
Date 9.20.23  
Initials KA

RECEIVED  
SEP 20 2023  
KA



RECEIVED  
 SEP 20 2023

**Katie Pereny**

**From:** Andrew McGreevy <andymcgreevy@icloud.com>  
**Sent:** Wednesday, September 20, 2023 11:41 AM  
**To:** Katie Pereny  
**Subject:** Re: Fence  
**Attachments:** Cedar fence elevation.pdf; Cedar fence detail.pdf



Katie,

Attached drawings of our latest proposal for the privacy fence. We are changing to cedar with 2" vertical pickets in the upper panel. Also, will step up the existing picket fence to better match the height of the privacy fence. We would like this to be added to the October HD and PC meetings.

Thanks,  
Andy

On Sep 12, 2023, at 11:50 AM, Andrew McGreevy <andymcgreevy@icloud.com> wrote:

Thanks. This is going to be fun eh.

On Sep 12, 2023, at 10:06 AM, Katie Pereny <kep@cityofmi.org> wrote:

Here you go

*Katie Pereny*

City of Mackinac Island Building & Zoning Department

906-847-6190

[kep@cityofmi.org](mailto:kep@cityofmi.org)

File No. MD23-011-067(H)  
Exhibit J  
Date 9-20-23  
Initials KP

**From:** Andrew McGreevy <andymcgreevy@icloud.com>  
**Sent:** Tuesday, September 12, 2023 10:04 AM  
**To:** Katie Pereny <kep@cityofmi.org>  
**Subject:** Fence

File No. MD23-011-067(H)  
Exhibit L  
Date 9-26-23  
Initials KP

City of Mackinac Island  
7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757



**Site Plan Review Checklist**

**Please Submit With The Application for Zoning Action**

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

**Optional Preliminary Plan Review  
Informational Requirements (Section 20.03)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Proposed construction start date and estimated duration of construction.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
19. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units	<input type="checkbox"/>	<input checked="" type="checkbox"/>
22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25. Description of Existing and proposed on-site lighting (see also Section 4.27)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.2



**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input type="checkbox"/>

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**Architectural Review  
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input type="checkbox"/>



City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757



Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review  
Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

File No. C23.053.070(H)  
Exhibit M  
Date 9.26.23  
Initials KR

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel <i>Commercial</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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13. Proposed construction start date and estimated duration of construction.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>

*See attached*

*See attached*

Natural Features Not Provided or Applicable

- 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)  Provided
- 16. Topography of the site with at least two- to five-foot contour intervals  Not Provided or Applicable
- 17. Proposed alterations to topography or other natural features  Not Provided or Applicable
- 18. Earth-change plans, if any, as required by state law  Not Provided or Applicable

Physical Features

*see attached - a pdf file sent also*

Provided Not Provided or Applicable

- 19. Location of existing manmade features on the site and within 100 feet of the site  Provided
- 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site  Not Provided or Applicable
- 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units  Not Provided or Applicable
- 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features  Not Provided or Applicable
- 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)  Not Provided or Applicable
- 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)  Not Provided or Applicable
- 25. Description of Existing and proposed on-site lighting (see also Section 4.27)  Not Provided or Applicable

Utility Information

Provided Not Provided or Applicable

- 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand  Provided
- 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)  Not Provided or Applicable
- 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)  Not Provided or Applicable

*see attached pdf file*

*See attached*

29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.2



**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

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1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Architectural Review  
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Checklist item # 8**

**Zoning is Commercial (C)**



## Checklist item # 9

The proposed demolition involves bringing by barge type like the Beaver a flat barge, the type commonly used for freight, and semis, the demolition vehicles described and listed in the application that can demolish the building and clean up the area and place the debris into dump trucks, which are then hauled off the island by the same type barge.

Prior to this operation the site will be prepared by removing the decking by the edge of the seawall on the lake, and smoothing out the rock surface as the rocks extend all the way down, the rock surface will be smoother out by removing the retaining wall and smoothing out the stones, that are there, to create a smooth level surface along which the demolition vehicles can be moved, the dump trucks backed up just enough to allow the debris to be placed into the dump trucks by a demolition company which has done this and is experienced in this.

Prior to this operation the propane tanks which rest along the storage shed building in the northeast corner, will be removed – see item # 28 the diagram for location – and the electrical line to the shed also disconnected which runs underground. No panel box exists in the shed, it is just one electric line running from a panel box in the main building.

The dump trucks will have special covers placed over them once loaded to prevent debris from falling out. The barge will be then taken to the mainland and then driven to certified landfills all in accordance with safe disposal procedures and local and state wide laws.

None of the work will have any impact upon the property of our neighbors. The demolition is entirely within our property and the removal is entirely by water in front of our property, on the lake. No bottomlands are leased by any neighbor upon which the barge will rest above.

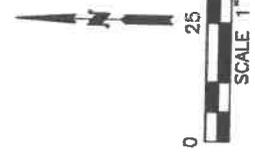
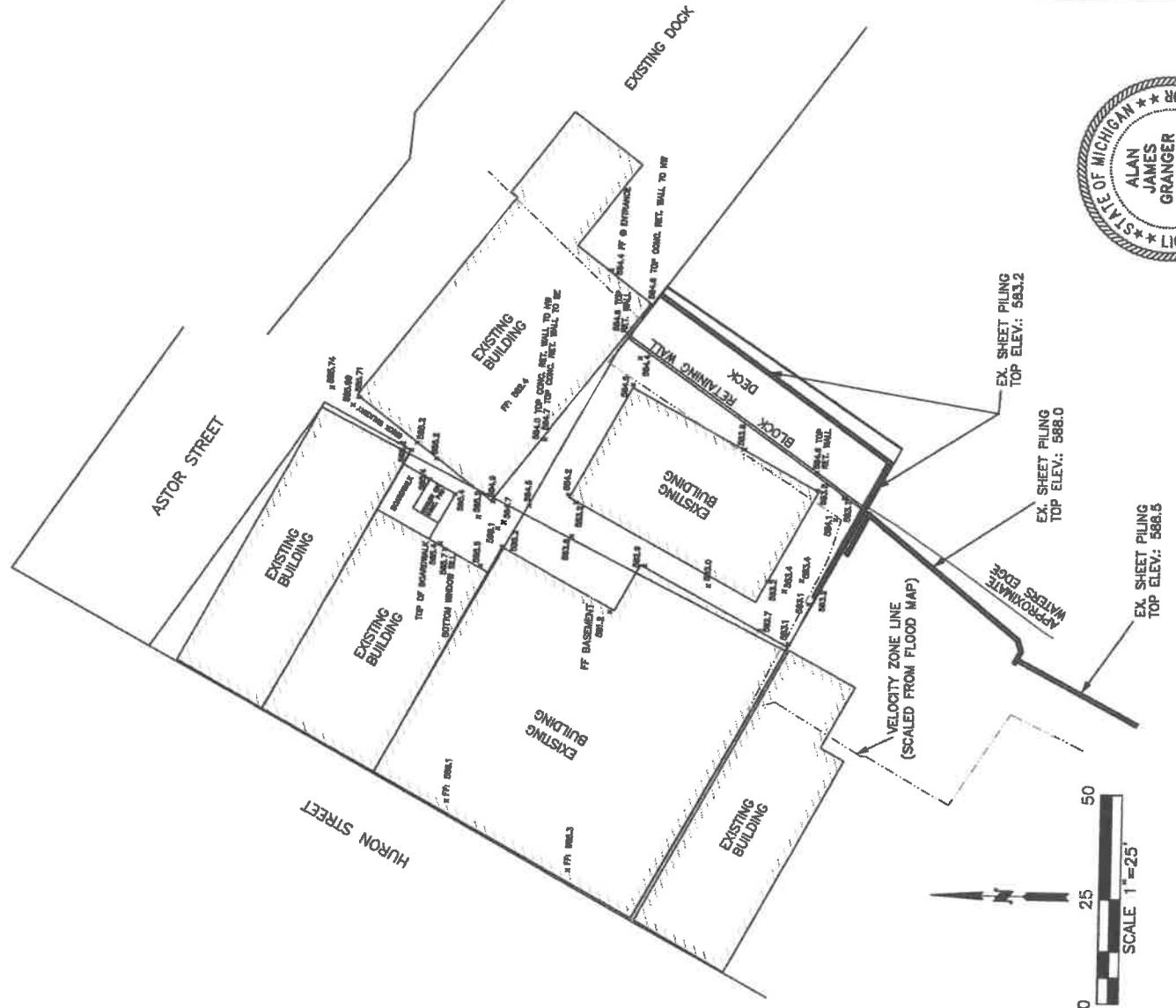
Additionally to demolition and removal of debris a soil boring machine on tractors operated by Trimedia Environmental & Engineering of Marquette and called a geoprobe, will be brought on the barge to do a soil boring to a depth of 20 feet as required by the seawall engineer and engineering firms engaged upon this project. The two engineering firms are Ground Engineering Consultants of Chicago, Robert Lukas, for the seawall barrier to remove our property from the velocity zone and flooding and Wiss Janney Eistner Associates of Detroit, Cheryl Early. The advisor to flood zone removal is Alpine Land Surveying a certified flood plain manager located in Highland Michigan, Karol Grove. Surveyors fill out the application to remove a property from flood zones the basic method is to bring a property above the flood level or determine through a survey that the property is already above flood level without a submitted plan. Surveyors provide the survey data and the expertise.

**Checklist item # 13**

**Proposed date is mid to late November with a maximum time of 2 to 3 weeks for demolition and removal of debris.**

Checklist Item # 19 - a pdf file provided for detail

LOT 133, ASSESSOR'S PLAT NO. 3,  
CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN



CLIENT: ANTHONY TRAYSER		TITLE: ELEVATION SURVEY	
DATE SEPT. 6, 2023	REVISIONS ORIGINAL ISSUE	 <p><b>GRANGER SURVEYING</b> 224 S. Main St., Charlevoix, MI 49721 info@grangersurveying.com 231-837-5789 • 800-725-0619</p>	
		SCALE: 1"=25'	PAGE: 1 OF 1
		DRAWN BY: AJG	
		JOB NO.: C1287-06	

## Checklist item # 23

The number of occupants has never exceeded 12, or actually even been at 12 occupants. We have sufficient biking for all residents along the neighboring property line defined by the ice house on the Coal Dock, with extra bike parking on the cement pad by our basement, and inside our basement, and we have never had a scarcity of parking spots for our occupants, or workers, even.

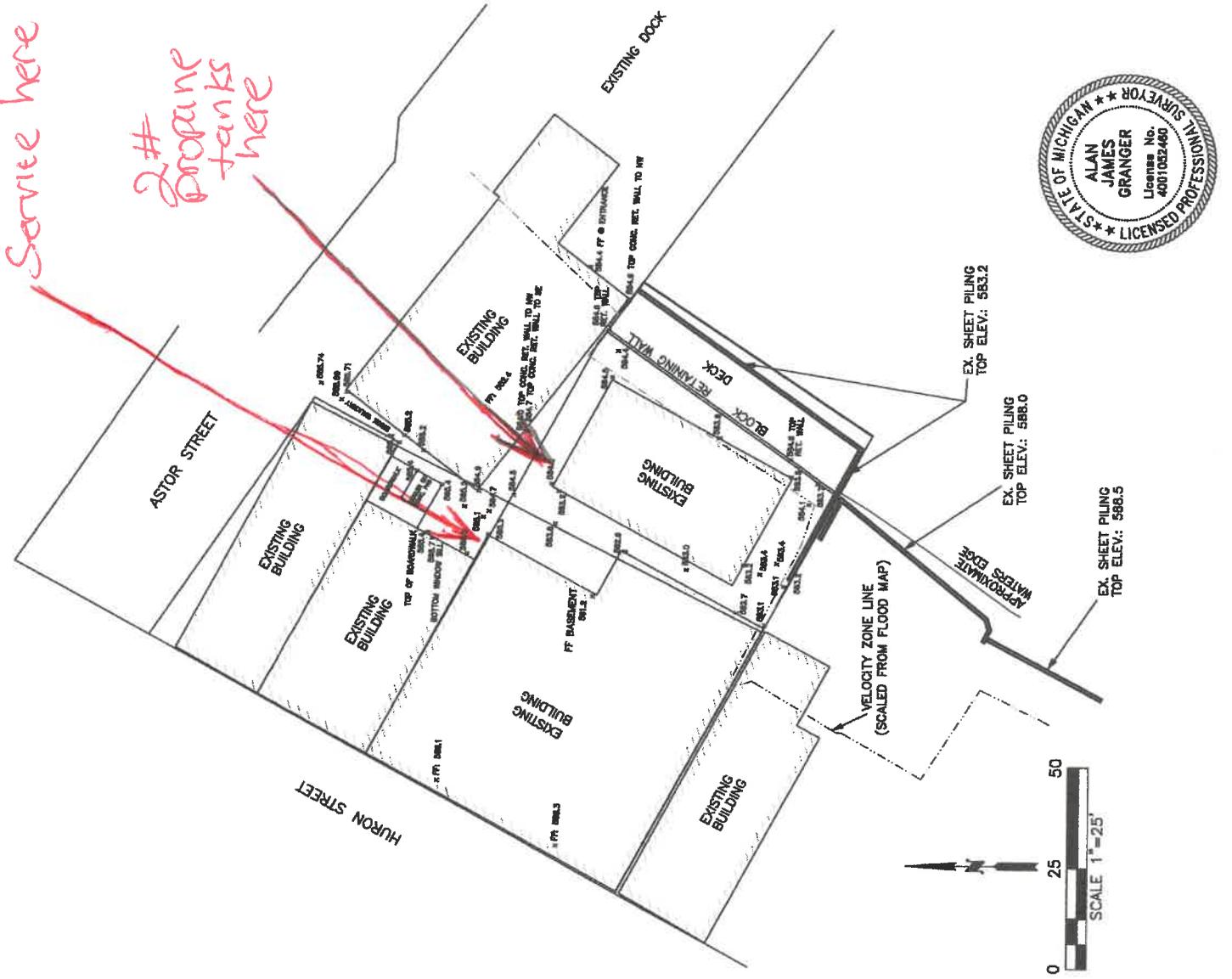
Store merchandise and candy shop supplies are brought to the building on Main Street through the front doors of our stores and not in the back by the proposed shed demolition.

We do however have building supplies brought down the alley way in front of the ice house which has always remained open to us, as well as propane tanks for May's Fudge which has two propane tanks right next to the Shed building which will be disconnected and removed prior to demolition.

Checklist Item #28

LOT 133, ASSESSOR'S PLAT NO. 3,  
CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN

Electric Service here  
2# Propane tanks here



CLIENT: ANTHONY TRAYSER		TITLE: ELEVATION SURVEY	
DATE SEPT. 6, 2023	REVISIONS ORIGINAL ISSUE	 <b>GRANGER SURVEYING</b> 254 S. Main St., Charlevoix, MI 49721 887-887-9768 • 800-768-9818	
		SCALE: 1"=25'	
		PAGE: 1 OF 1	
		DRAWN BY: AJG	
		JOB NO.: C1287-06	

Trading Post Storage Building Demolition Application

Item 29: Written Description of Stormwater Management System

Currently a 12" diameter city storm pipe is located in the basement of the main Trading Post building running north to south on the east side. The pipe exits the building on the south side and continues underground discharging into the lake at the existing seawall. The east portion of the Trading Post roof discharges into this storm drain via gutter and downspout. The west portion of the Trading Post roof also discharges through gutter and downspout separately to the lake. This roof drainage system will be maintained.

The remainder of the property to the south of the main Trading Post building currently surface drains toward the lake. This drainage pattern will also be maintained.



**To the Mackinac Island Planning Commission & Historic District Commissions:**

We would like to make a presentation for this next month of October to the Historic District Commission and the Planning Commission, an overview of the Expansion of the building housing the Trading Post, May's Fudge and Baxter's 'Somewhere in Time' Shops to create restaurant dining on the lake, expanding our trade to restaurants, geared toward both the daytime public for cuisine representing the culture and heritage of Mackinac Island but also at night to include fine dining upon the harbor, of the best cuisine Mackinac Island has to offer – representative of the deep historic French & Native American cultural treasure of food dishes which are unique to the Great Lakes and especially our region.

Presenting will be Devan Anderson of Quinn Evans, of Detroit, Ann Arbor, and Washington D.C., which specializes in historic renovations and architecture, has experience specifically with historic districts, preserving the cultural heritage of communities across Michigan and the Nation.

The talk is to invite comment from the commissioners and the community, and will be followed up with more presentations, to each commission in the coming months.

We welcome the public to attend if it can be brought to their attention, we hope the project will excite the community that the harbor is being brought in a big way to the center of downtown, and especially that the culture unique to us will be the central theme of the project, the bridging to life our culture traditions and cuisine and opening up the harbor to everyone.

Our building being expanded is a contributing historic structure built circa 1900 and housing the original Murdick's Famous Fudge which moved after selling to Harold May in the 1930s to Charlevoix. That business still exists and has expanded to Mackinaw City. This building also became the first store owned by our family, in 1948 the Trading Post was built by Anthony Trayser and his partner and was built by local carpenters of Native American ancestry who cut the bark off trees harvested on Bois Blanc Island in the winter when the sap ran low, so the bark would stay on, and lasted for over 50 years, the original bark. The totems on the face were hand carved by someone they knew from Cedarville. The wood was carried across the ice in winter by horses. The back of the building facing the lake was expanded first in 1969 with a seawall being built in 1968. The apartment Richard Trayser, Anthony C. Trayser's son moved into was built in the expansion approximately 25 feet into the harbor, the original structure facing the lake has been entirely modified, nothing remains of that original structure, all has been expanded and modified, the 2<sup>nd</sup> floor structurally modified to correct the buildings weaknesses in 1995.

We have commissioned the firm of Quincy Evans to conduct also a thorough historic review of the property using the historians they employ in Ann Arbor and in other parts of the nation, to do as thorough a history of the building as they can, and we hope to bring this historic story investigated by professional historians to add depth and color to our local community's story and will preserve and honor the past, including the deepest part of our island's and community's story, the Native American history along this beach.

File No. C23-053-070(H)  
Exhibit N  
Date 9-26-23  
Initials KA

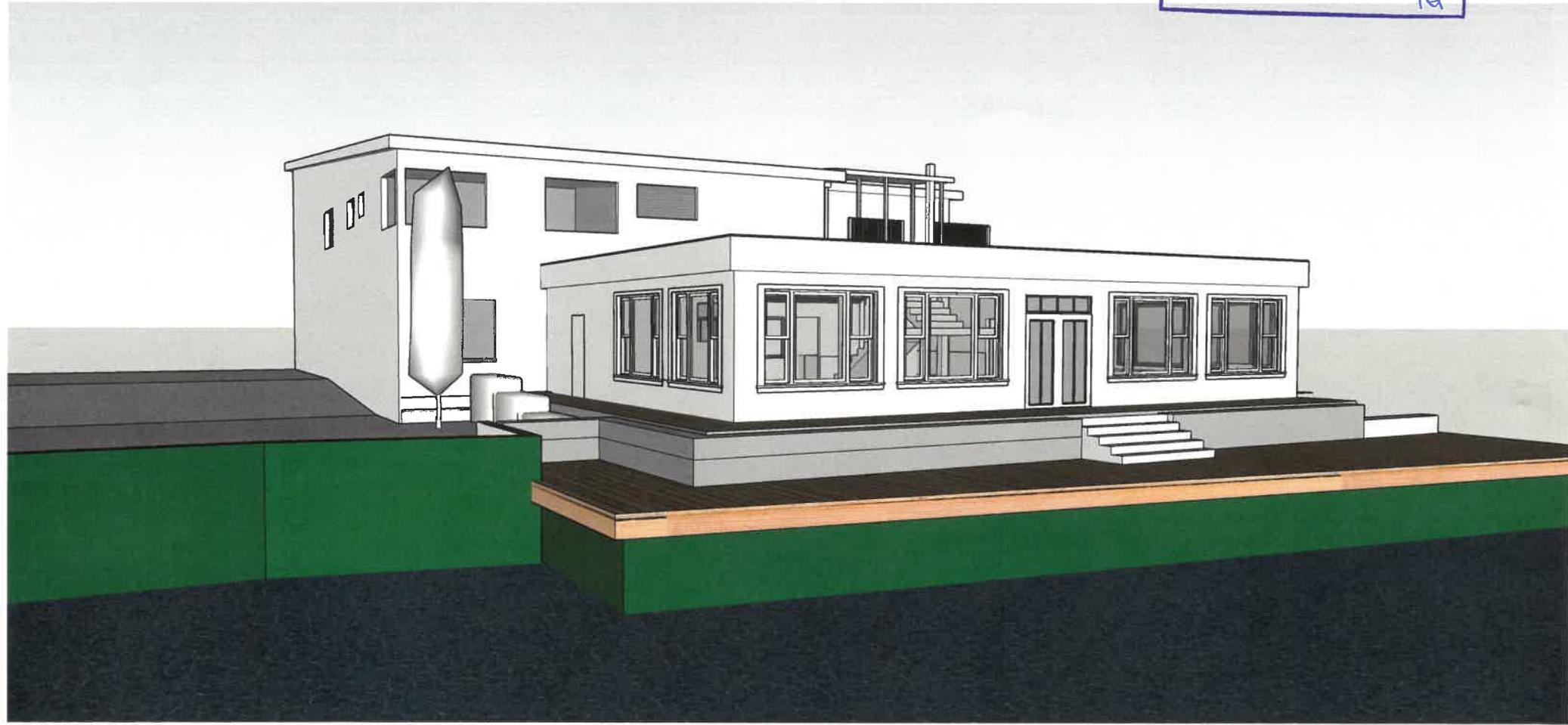
File No. C23-053-070(H)

Exhibit 0

Date 9-26-23

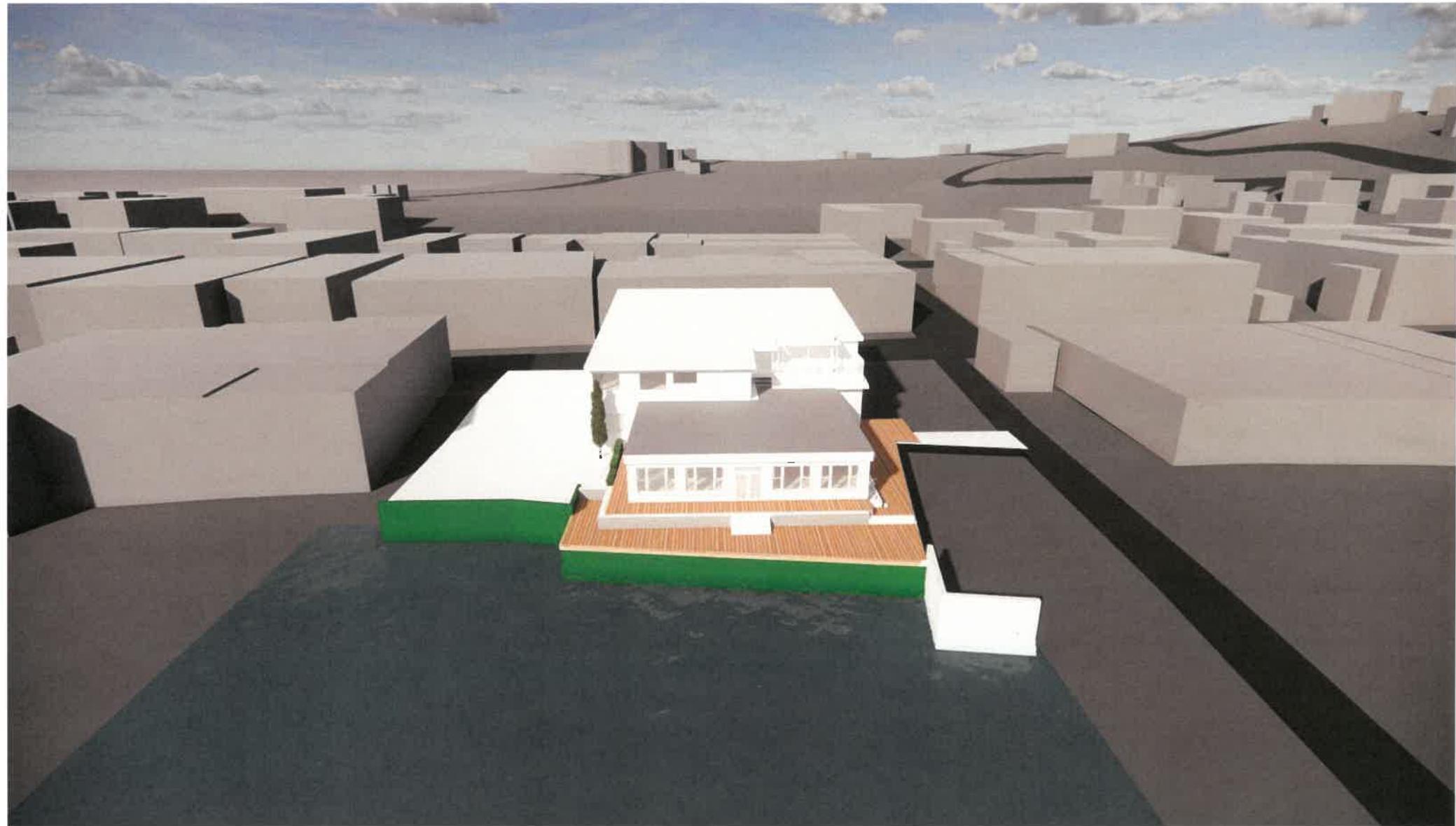
Initials KP

Section IX, Itemb.

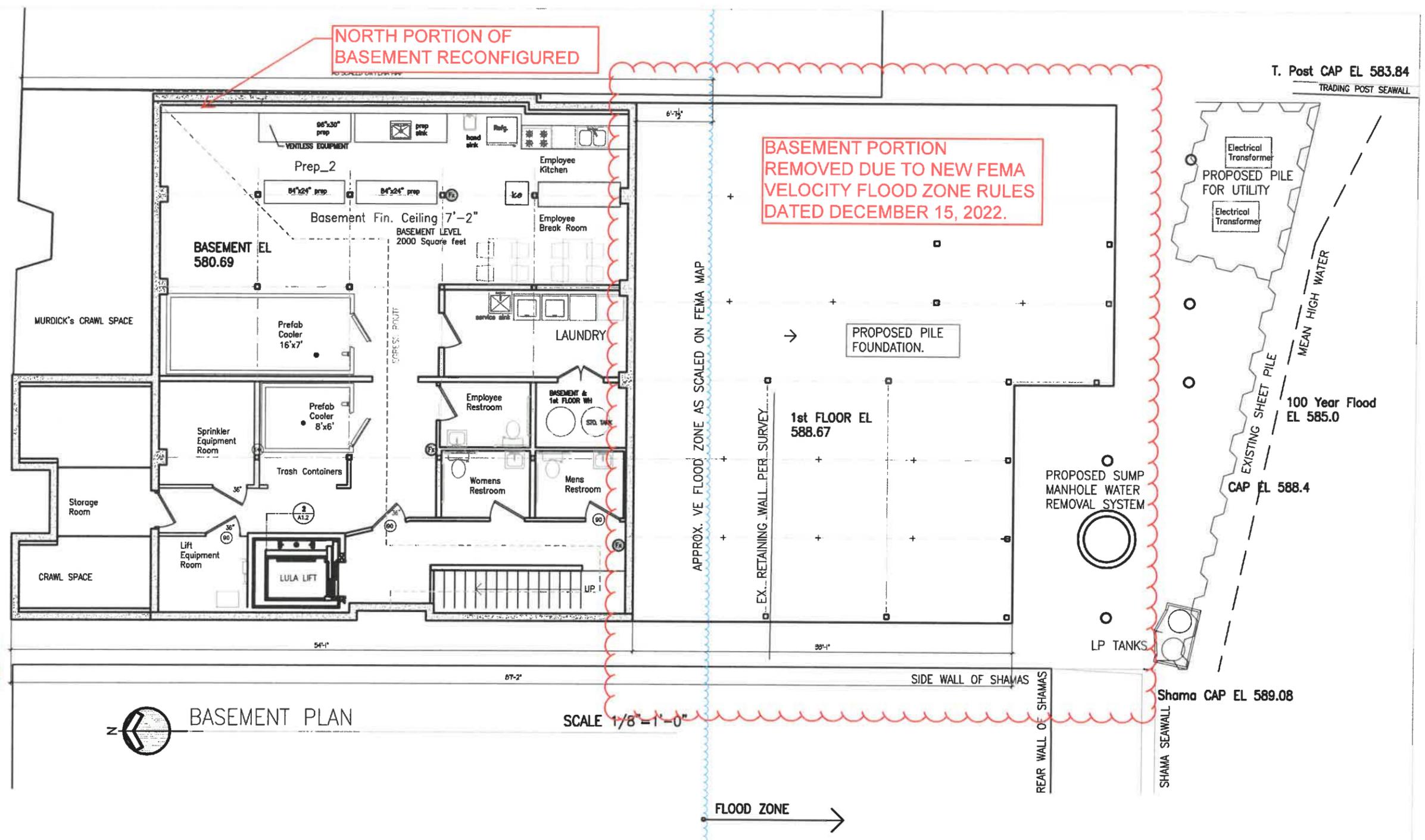








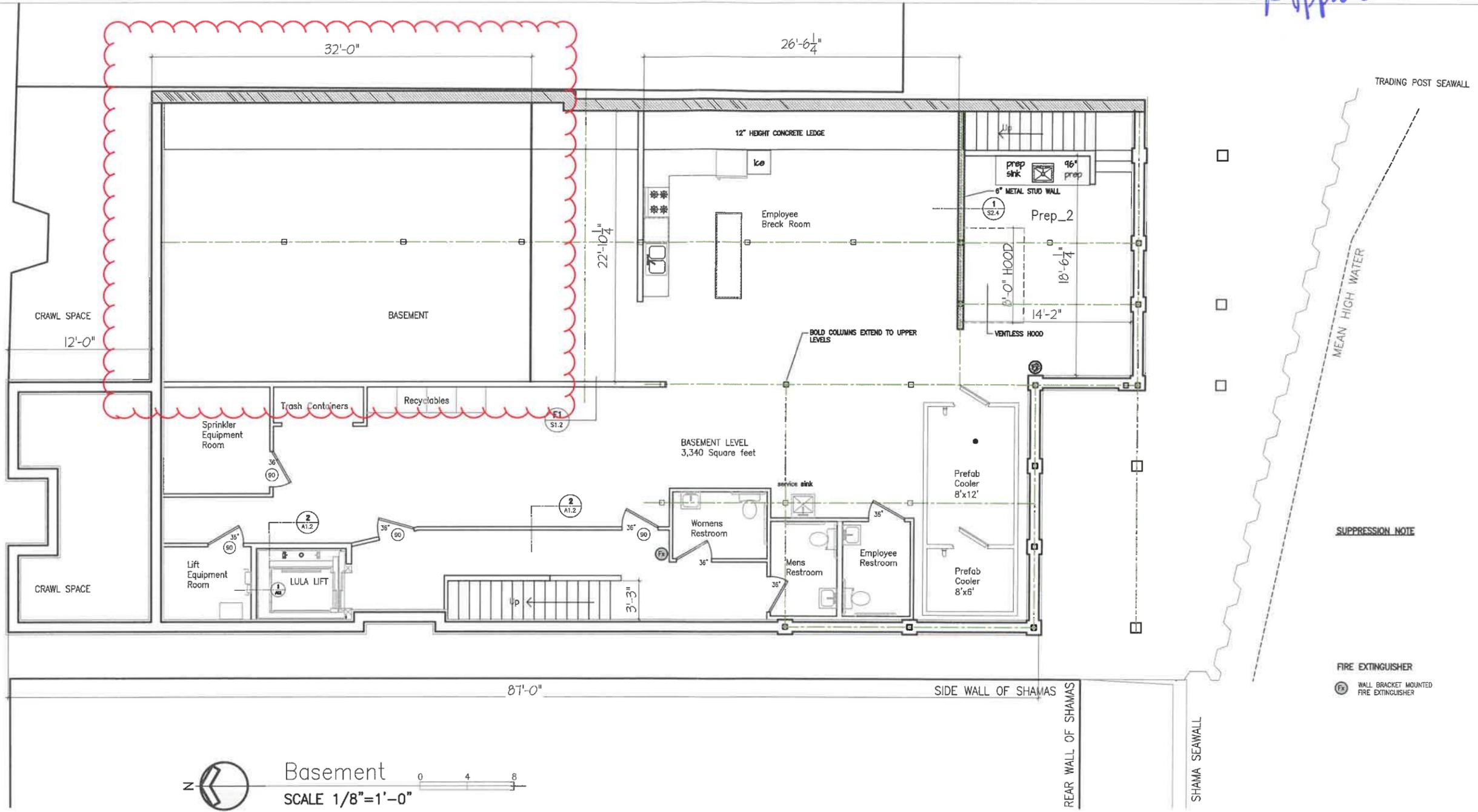




*Pat Machin, PE*

Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1523@live.com 989-370-3681	MURDICK's_Mr. B's RENOVATION_ADDITION	rev: Sept. 25, 2023 date: Sept. 23, 2022 project: 1725	sheet:
	7367 MAIN STREET MACKINAC ISLAND, MI	BASEMENT PLAN	A1.4 COPYRIGHT © 2017

Approved



Basement  
SCALE 1/8"=1'-0"

SUPPRESSION NOTE

FIRE EXTINGUISHER  
 WALL BRACKET MOUNTED FIRE EXTINGUISHER

Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1523@live.com      989-370-3681	MURDICK's_Mr. B's RENOVATION_ADDITION	date: May 22, 2020  sheet: project: 1725	A1.4 COPYRIGHT © 2017
	7367 MAIN STREET MACKINAC ISLAND, MI	BASEMENT PLAN	





September 26, 2023

Planning Commission  
City of Mackinac Island  
Building & Zoning Department  
7358 Market Street  
Mackinac Island, MI 49757

Re: Hoban Hill Property, LLC  
Mackinac Island, MI

Dear Planning Commission:

This correspondence is a supplement to my previous correspondence regarding our client, Hoban Hill Property, LLC ("Hoban Hill"). Specifically, this will address the Applications for Zoning Action as to the 4 units proposed on the Hoban Hill property, as well as the Application for Demolition as to Parcel 051-360-007-20 (Unit D). The projects are described as Units A, B, C and D.

As to all 4 units, NCD Investments, LLC (Nephew Unit B); Chippewa Properties, Inc. (Unit D); Benser (Unit A) and Doud (Unit C), in response to the Planning Commissions' questions regarding Section 20.04(c) (14)-(17), we offer Dickinson Homes supplemental plans attached:

- Excavation Plan
- Travel route
- Equipment list
- Crane plan

In addition, also attached for all 4 units is a consent form from the neighbor, Mackinac Island Carriage Tours, related to staging. If necessary for Unit C, we also offer the consent to staging from the owner of the Hill House property.

As to Doud Unit C, please see attached Revised Sheet A1.0 (revised 9/25/2023) from Richard Clements Architect, PLLC depicting a revised site plan with bikes and trash bins relocated to Unit C. In addition, the temporary trash in Units B and C will be located in the basement and placed on the street on each trash day.

We assume this satisfies all conditions to approval. We will attend the next meeting of the Planning Commission to confirm.

Very truly yours,

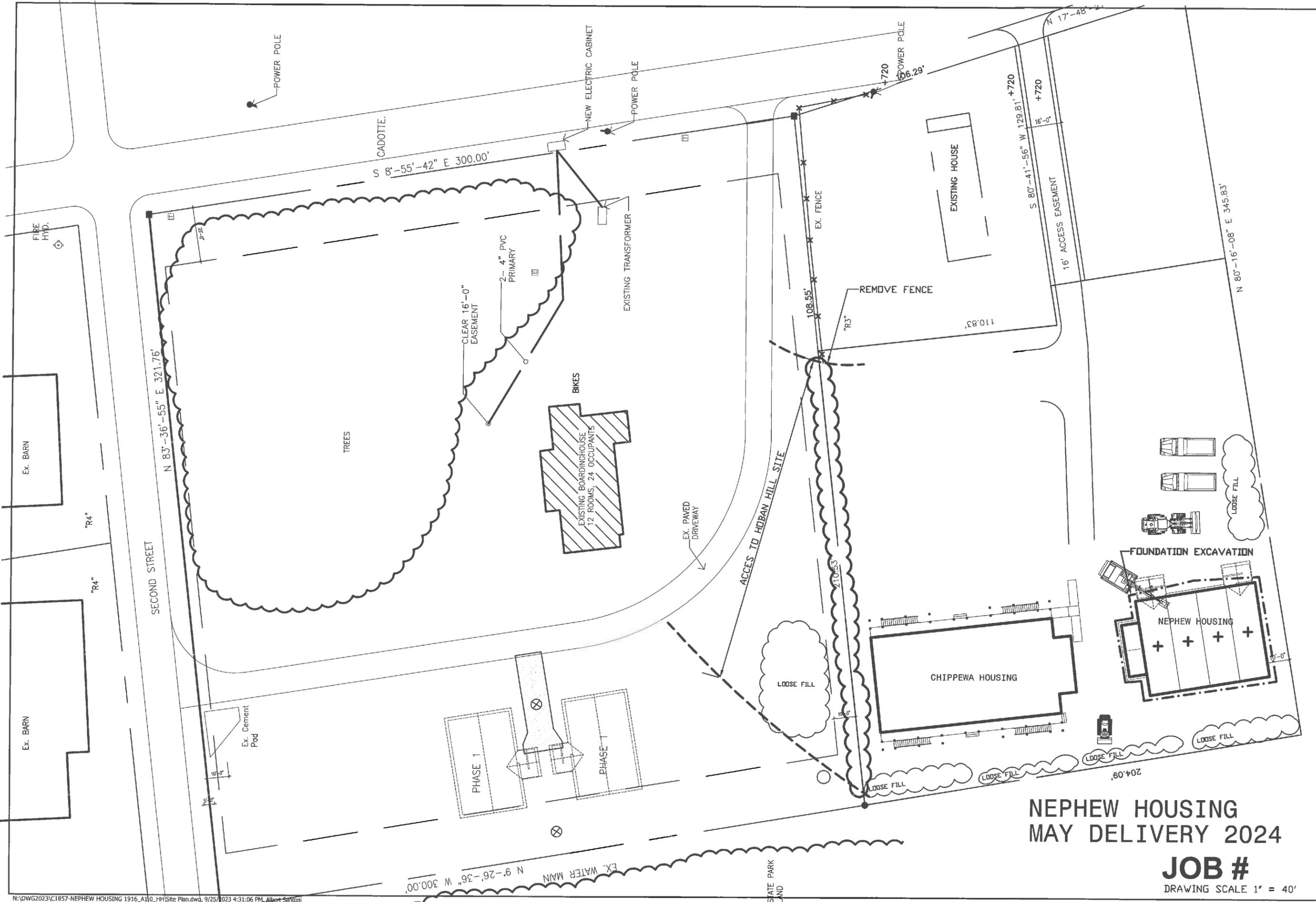
A handwritten signature in blue ink, appearing to read "James Murray".

James J. Murray  
Plunkett Cooney  
Direct Dial: 231-348-6413

JJM/tll

Enclosures

Open.27463.90836.31849623-1



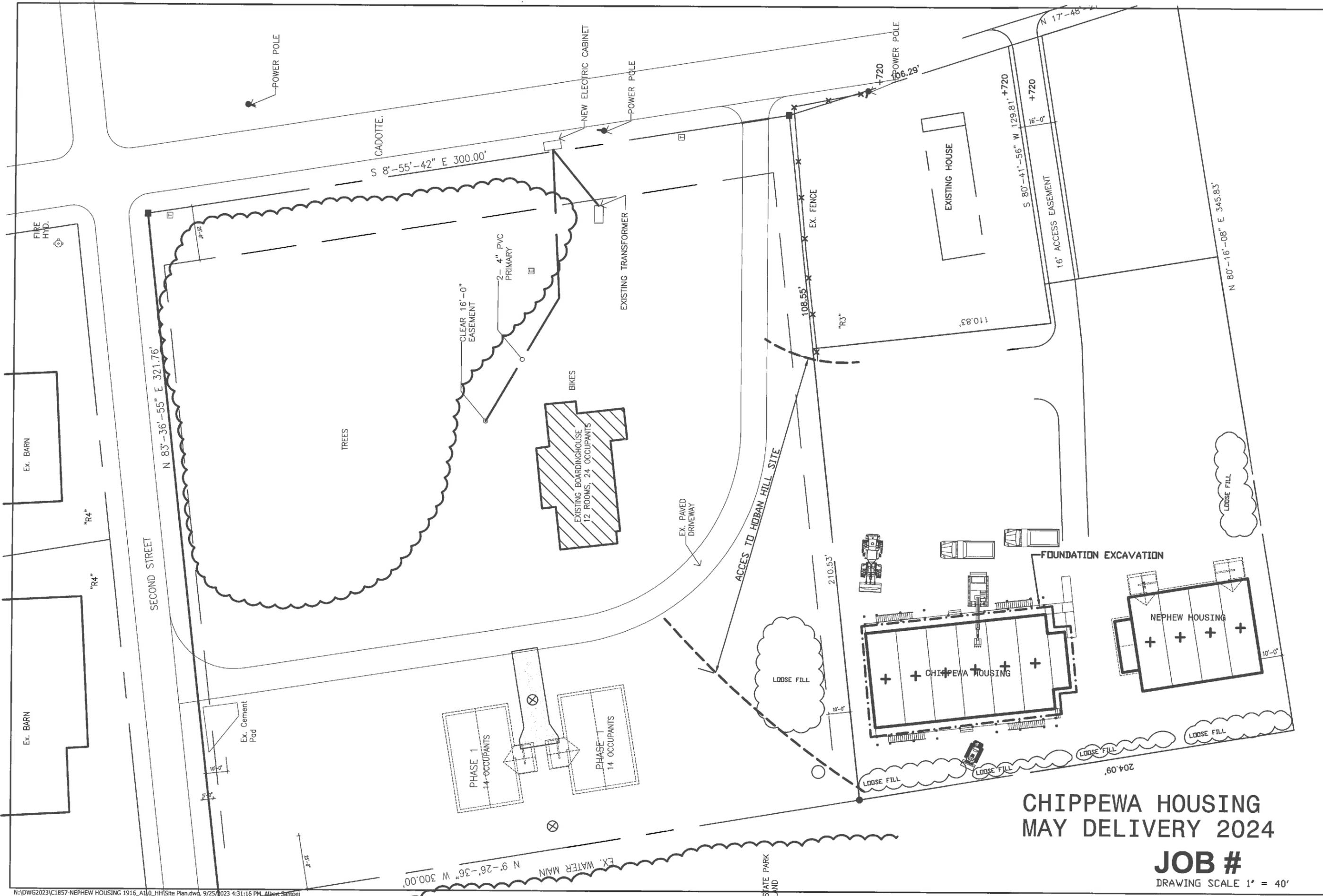
NEPHEW HOUSING  
MAY DELIVERY 2024

**JOB #**  
DRAWING SCALE 1' = 40'

WWW.DICKINSONHOMES.COM  
FAX: 906-774-5813

**Dickinson Homes**  
1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800

revision	.....
project	.....
contact person	.....
date	8-16-23
originator	AS
sht	49



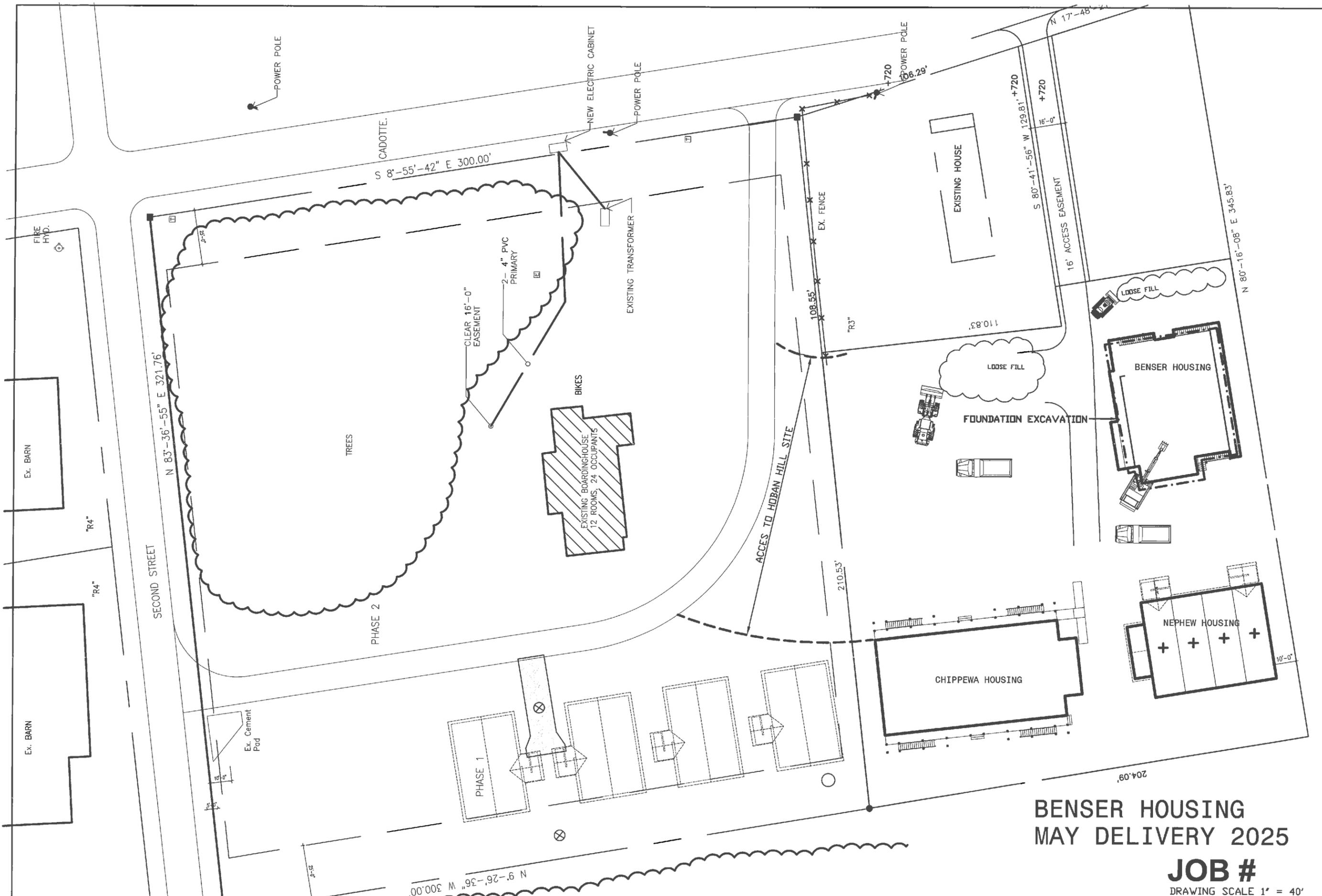
CHIPPEWA HOUSING  
MAY DELIVERY 2024

**JOB #**  
DRAWING SCALE 1' = 40'

**Dickinson Homes**  
1500 V. BREITUNG AVE. KINGSFORD, MI 906-774-5800  
WWW.DICKINSONHOMES.COM  
FAX: 906-774-5813

revision	.....
project	.....
contact person	.....
date	8-16-23
originator	AS
sht	50

N:\DWG2023\C1857-NEPHEW HOUSING 1916\_A3\0\_HH\Site Plan.dwg, 9/25/2023 4:31:16 PM, Albert Sartoni



**BENSER HOUSING  
MAY DELIVERY 2025**

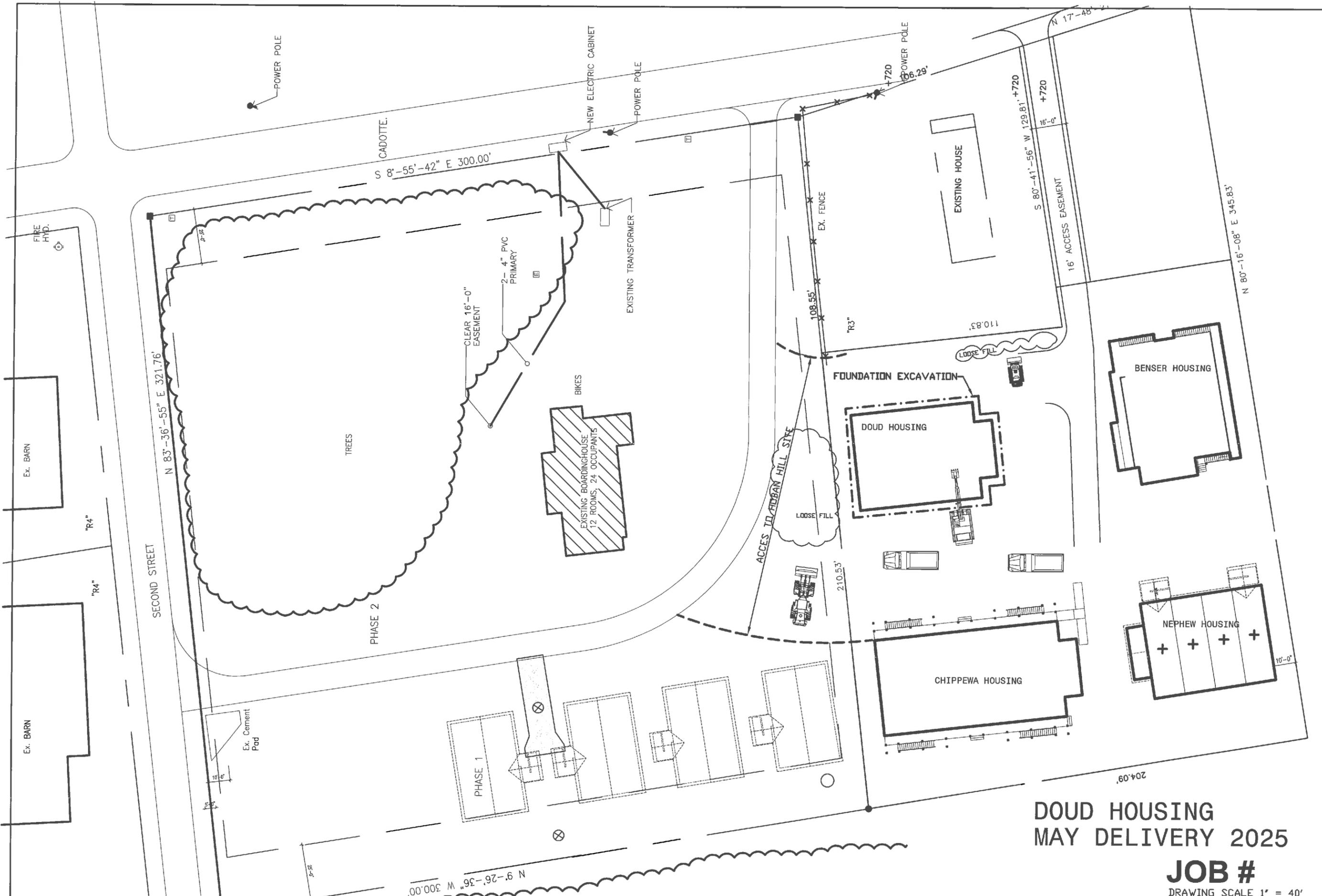
**JOB #**

DRAWING SCALE 1' = 40'

WWW.DICKINSONHOMES.COM  
FAX: 906-774-5813

**Dickinson Homes**  
1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800

revision	.....
proj title	BENSER HOUSING
contact person	CONSTRUCTION PLANNING PLAN
date	EXCAVATION AND LOOSE FILL PLAN
originator	AS
sht	51



**DOUD HOUSING**  
**MAY DELIVERY 2025**

**JOB #**

DRAWING SCALE 1" = 40'

www.DICKINSONHOMES.COM  
 1500 V. BREITUNG AVE. KINGSFORD, MI 906-774-5800  
 FAX: 906-774-5813

**Dickinson Homes**

revision	.....
project	.....
contact person	.....
date	8-16-23
originator	AS
sht	S1
	52

# Mackinac Island Travel Route

Section IX, Itemd.

## ROUTE FOR ALL HOBAN HILL BUILDINGS





Wings of Mackinac

Grand Hotel Stables

Carriage Rd

2nd St

Mackinac Island Carriage Tours barns

Carlotte Ave

Carlotte Ave

Huron Rd

Annex Rd

X Site

Staging and Building Area  
See Crane Plan/Staging Plan

## Equipment Needed for Hauling and setting:

2 Tractors For Hauling Mods

9 Trailers

1 Set Truck with Sling Trailer

1 Crane

1 Semi Truck with Counter Weight for Crane

2 Boom Lifts

1 Front End Loader

1 Police Escort

## Equipment Needed For Excavation (Belonga Excavating):

1 Excavator

1 Skid Steer

1 Dump Truck



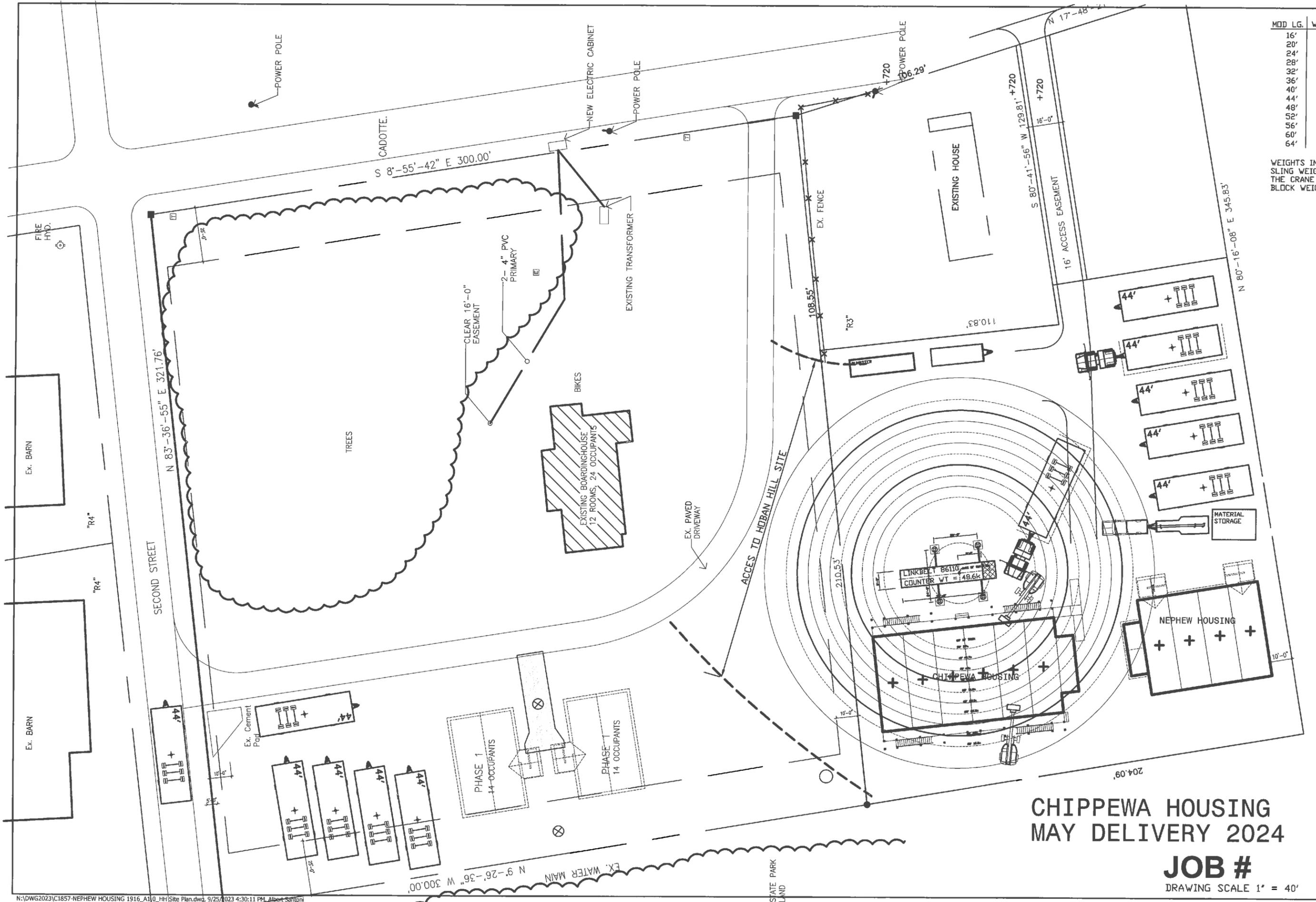
MOD LG.	WEIGHT
16'	11k
20'	13k
24'	15k
28'	17k
32'	19k
36'	21k
40'	23k
44'	25k
48'	27k
52'	29k
56'	31k
60'	33k
64'	35k

WEIGHTS INCLUDE, MODULE V, SLING WEIGHT OF 2000# AND THE CRANE WITH A HOOK BLOCK WEIGHT OF 1000#

WWW.DICKINSONHOMES.COM  
906-774-5813

**Dickinson Homes**  
1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800

revision	.....
proj title	CHIPPEWA HOUSING CONSTRUCTION PLANNING PLAN CRANE & STAGING PLAN
contact person	-
date	8-16-23
originator	AS
sht	S1
	57



**CHIPPEWA HOUSING  
MAY DELIVERY 2024**

**JOB #**

DRAWING SCALE 1" = 40'







September 25, 2023

City of Mackinac Island  
Planning Commission  
7358 Market Street  
Mackinac Island, MI 49757

RE: Applications for Hoban Hill Property, LLC (x4)

Dear Commission Members:

Mackinac Island Carriage Tours, Inc. (MICT) supports the project proposed by Hoban Hill Property, LLC ("Hoban Hill"). MICT is the owner of the property to the north (Parcel No. 051-630-008-00). We are aware of the staging plans proposed by Dickinson Homes which proposes that Hoban Hill stage construction on our property. Consistent with the Mackinac Island Zoning Ordinance, MICT hereby consents to the use of our property.

If you require further information or clarification, please do not hesitate to contact me directly.

Sincerely,

A handwritten signature in black ink, appearing to read "Brad Chambers".

Brad Chambers  
Treasurer



EST. 1852

**ISLAND HOUSE HOTEL**  
MACKINAC ISLAND

Section IX, Itemd.

www.theIslandHouse.com  
1.800.399.0403 | info@theIslandHouse.com

6966 Main Street  
Mackinac Island, Michigan 49757

September 25, 2023

City of Mackinac Island  
Planning Commission  
7358 Market Street  
Mackinac Island, MI 49757

RE: Applications for Hoban Hill Property, LLC (x4)

Dear Commission Members:

As the authorized member of Mackinac Hill House, LLC (MHH), I understand that our neighbor to the South and West of our Parcel No. 051-630-007-10, Hoban Hill Property, LLC ("Hoban Hill") has applied for construction on its property. Consistent with the Mackinac Island Zoning Ordinance, you may consider this consent of MHH to utilize our property in order to stage materials and equipment for the upcoming projects, per their applications to the City.

If you require further information or clarification, please do not hesitate to contact me directly.

Sincerely,

Todd Callewaert



**COMBINED ALLOWABLES:**

ZONING: R-3  
 OVERALL SITE AREA = 51,786 s.f. = 1.18 ACRES (ALL 5 LOTS)  
 MAXIMUM LOT COVERAGE = 40%  
 BUILDING AREA = 17,521 S.F.  
 TOTAL IMPERVIOUS LOT COVERAGE =  $\frac{17521}{51786} = 33.8\%$   
 ALLOWABLE DENSITY = 20 DWELLING UNITS PER ACRE  
 ALLOWABLE DENSITY = 1 OCCUPANT PER 500 s.f. SITE

**COMBINED LOT DENSITY:**

LOT 1: @20 DWELLING UNITS PER ACRE = 4 ALLOWED, 3 ACTUAL.  
 LOTS 2,3,4, & 5 COMBINED = 38,778 S.F. DIVIDED BY 500 S.F. = 77 OCCUPANTS ALLOWED, = 72 OCCUPANTS ACTUAL

**STORMWATER PLAN:**

DESIGN CRITERIA:  
 10 YEAR 24 HOUR RAINFALL = 3.3"  
 (SOURCE: MDOT MS4 REPORT)  
 = (0.28") = 0.011' /hour  
 INFILTRATION RATE OF SOIL = 0.2"/hr.  
 (SOURCE: USDA) = 0.016'/hour x24 hrs. \* 67% = 0.25' / storm event  
 DESIGN STORM VOLUME = 15,161 s.f. IMPERVIOUS x 0.28" = 4,246 cu. ft.  
 APSORPTION AREAS ADJACENT TO BUILDING = 27,155 s.f.  
 STORMWATER ABSORPTION = 27,155 s.f. x 0.25" = 6,788 cu. ft.  
 STORM ABSORPTION VOLUME EXCEEDS REQUIRED DETENTION;  
 6,788 cu. ft. > 4,246 cu. ft.  
 STORMWATER WILL BE ABSORBED IN THE LAWN AREAS AROUND THE STRUCTURES WITH NO RETENTION REQUIRED.

**BREAKDOWN OF EMPLOYEES:**

BUILDING A: 2 SINGLE BEDROOM = 2x2 = 4  
 12 SLEEPING ROOMS = 12x1 = 12 | 16  
 BUILDING B: 4 SINGLE BEDROOM = 4x2 = 8  
 8 SLEEPING ROOMS = 8x1 = 8 | 16  
 BUILDING C: 2 SINGLE BEDROOM = 2x2 = 4  
 12 SLEEPING ROOMS = 12x1 = 12 | 16  
 BUILDING D: 2 SINGLE BEDROOM = 2x2 = 4  
 20 SLEEPING ROOMS = 20x1 = 20 | 24  
 TOTAL OCCUPANTS: = 20 = 72

**INDIVIDUAL LOT SIZES:**

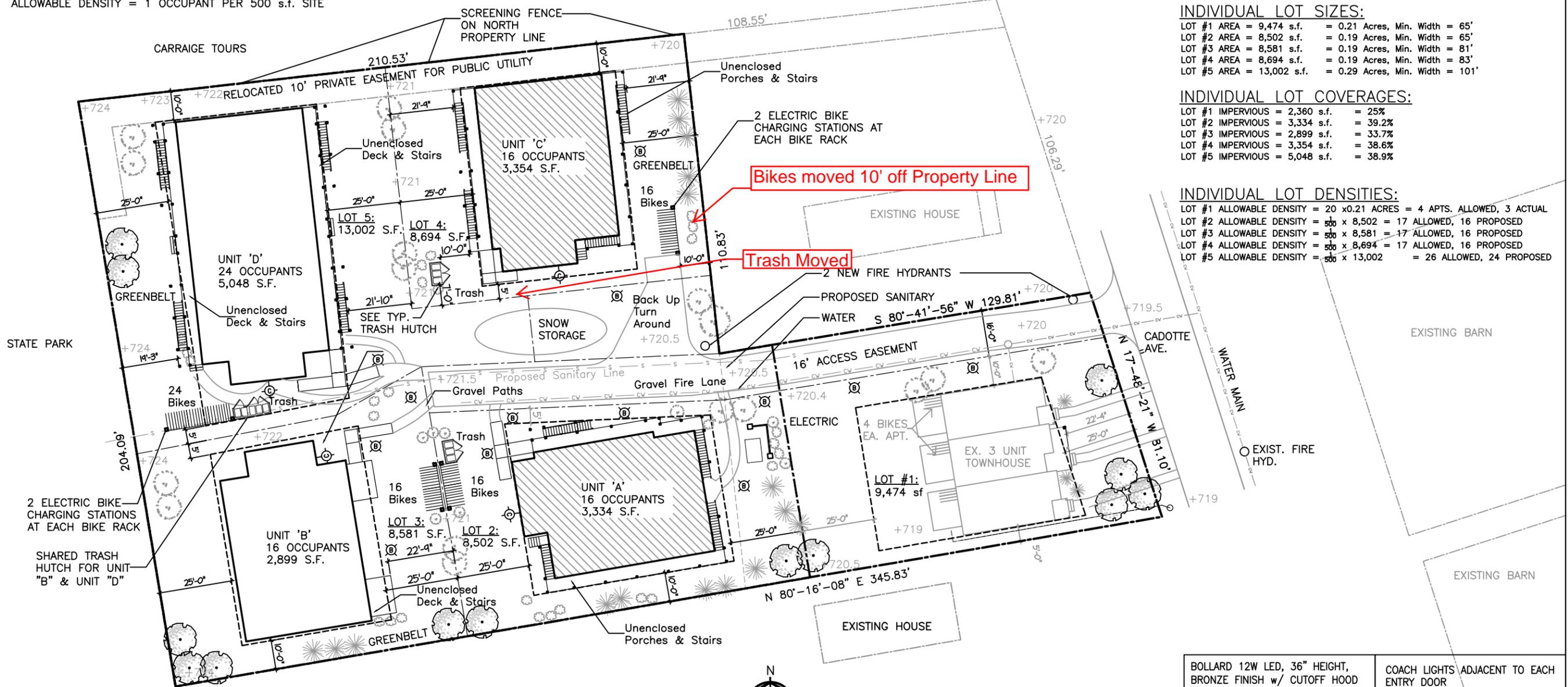
LOT #1 AREA = 9,474 s.f. = 0.21 Acres, Min. Width = 65'  
 LOT #2 AREA = 8,502 s.f. = 0.19 Acres, Min. Width = 65'  
 LOT #3 AREA = 8,581 s.f. = 0.19 Acres, Min. Width = 81'  
 LOT #4 AREA = 8,694 s.f. = 0.19 Acres, Min. Width = 83'  
 LOT #5 AREA = 13,002 s.f. = 0.29 Acres, Min. Width = 101'

**INDIVIDUAL LOT COVERAGES:**

LOT #1 IMPERVIOUS = 2,360 s.f. = 25%  
 LOT #2 IMPERVIOUS = 3,334 s.f. = 39.2%  
 LOT #3 IMPERVIOUS = 2,899 s.f. = 33.7%  
 LOT #4 IMPERVIOUS = 3,354 s.f. = 38.6%  
 LOT #5 IMPERVIOUS = 5,048 s.f. = 38.9%

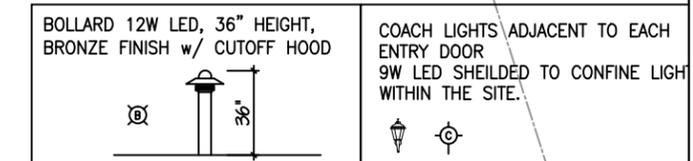
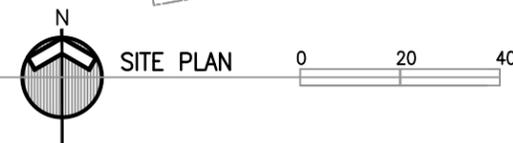
**INDIVIDUAL LOT DENSITIES:**

LOT #1 ALLOWABLE DENSITY = 20 x 0.21 ACRES = 4 APTS. ALLOWED, 3 ACTUAL  
 LOT #2 ALLOWABLE DENSITY =  $\frac{500}{8,502} \times 17$  ALLOWED, 16 PROPOSED  
 LOT #3 ALLOWABLE DENSITY =  $\frac{500}{8,581} \times 17$  ALLOWED, 16 PROPOSED  
 LOT #4 ALLOWABLE DENSITY =  $\frac{500}{8,694} \times 17$  ALLOWED, 16 PROPOSED  
 LOT #5 ALLOWABLE DENSITY =  $\frac{500}{13,002} \times 26$  ALLOWED, 24 PROPOSED



**LANDSCAPE NOTES**

- A. LANDSCAPE BUFFERS SHALL HAVE A MINIMUM WIDTH OF TEN FEET AND SHALL BE PLANTED WITH GRASS, GROUND COVER, SHRUBBERY, OR OTHER SUITABLE PLANT MATERIAL. THE LOCATION, PLACEMENT, SPACING AND TYPES OF PLANT MATERIALS WILL BE SUCH THAT AN EFFICIENT HORIZONTAL AND VERTICAL OBSCURING OR SCREENING EFFECT BETWEEN LAND USES WILL BE ACHIEVED.
- B. ALL PLANTS COMPRISING THE BUFFER WILL BE CONTINUOUSLY MAINTAINED IN A SOUND, HEALTHY, VIGOROUS GROWING CONDITION, FREE OF DISEASES, INSECT PESTS, REFUSE AND DEBRIS.
- C. MINIMUM SIZES OF TREES AND SHRUBS PLANTED AS A PART OF A LANDSCAPE BUFFER ARE AS FOLLOWS:  
 1. DECIDUOUS SHRUBS. MINIMUM TWO FEET IN HEIGHT.  
 2. DECIDUOUS TREES. MINIMUM TWO INCHES IN CALIPER (DIAMETER).  
 3. EVERGREEN SHRUBS. MINIMUM TWO FEET IN HEIGHT.  
 4. EVERGREEN TREES. MINIMUM FIVE FEET IN HEIGHT.



Richard Clements Architect, PLLC 15215 Merry Lane Ocoqueoc, MI 49759 richardlee1523@live.com 989-370-3681	<b>HOBAN HILL HOUSING</b> rev: 07.24.23 rev: 09.25.23 rev: 09.14.23 rev: 08.24.23 rev: 08.16.23		sheet: <b>A1.0</b> COPYRIGHT © 2023
	CADOTTE AVENUE MACKINAC ISLAND, MI rev: 01.16.23 rev: 12.29.22 date: 12.27.22 project: 1916		



File No. R121.004.070

Exhibit L

Date 9.28.23

Initials KP

9/26/23

to: planning commission

re: 7243 Spring Street Site plan for Carole Erbel

Please note that the propane tanks have been moved from the fence to the house foundation. No other changes have been made to prior plan.

Thank you,



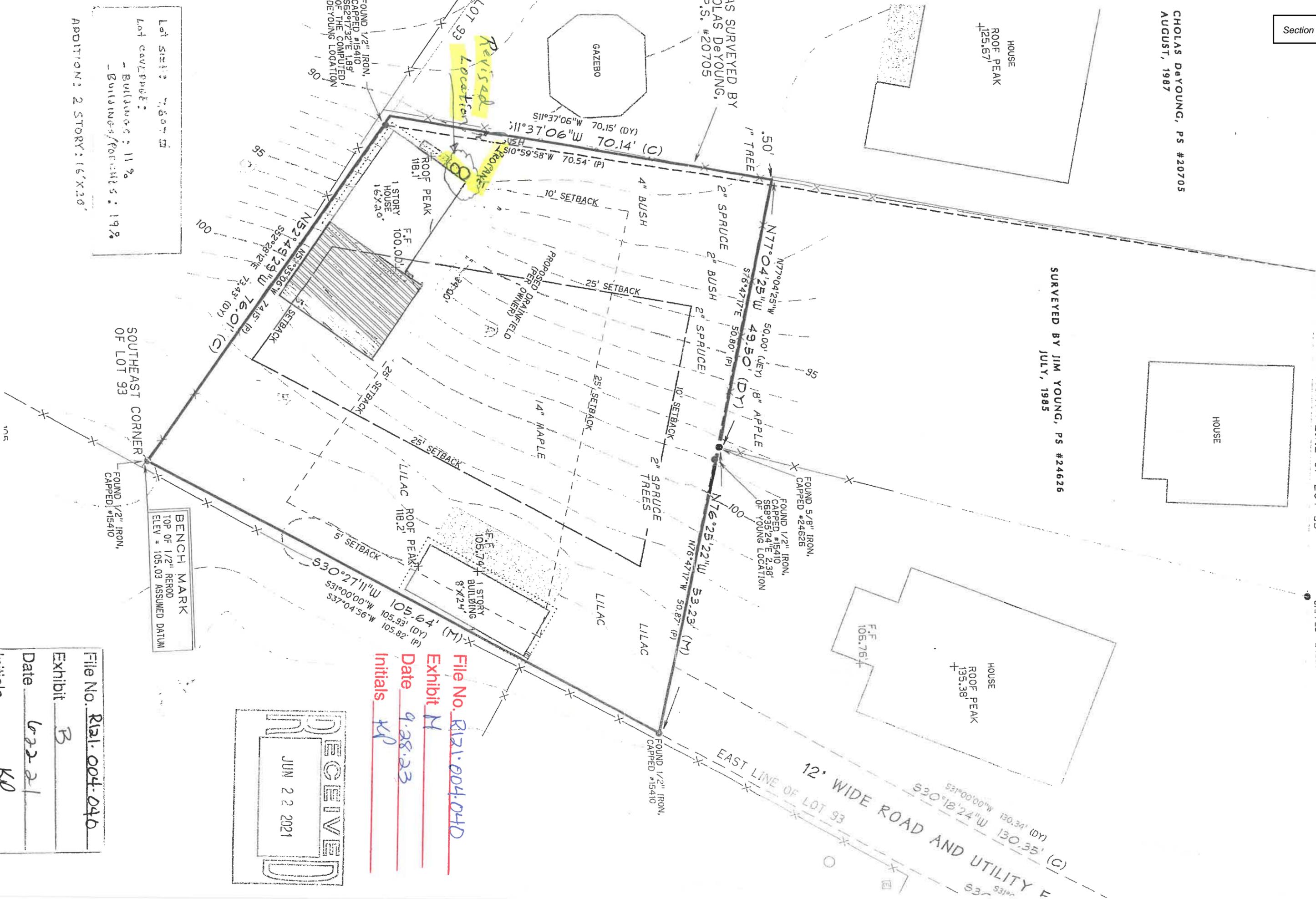
Frank Shumway

CHOLAS DAYOUNG, PS #20705  
AUGUST, 1987

SPRING ST.  
NORTH LINE OF LOT 93

FOUND 5/8" IRON,  
CAPPED #24626

SURVEYED BY JIM YOUNG, PS #24626  
JULY, 1985



Lot Size: 7,800 sq ft  
 Lot coverage:  
 - Buildings: 11%  
 - Buildings/porch: 19%  
 ADDITION: 2 STORY: 16'x20'

BENCH MARK  
 TOP OF 1/2" ROD  
 ELEV = 105.03 ASSUMED DATUM

File No. R121-004-04D  
 Exhibit N  
 Date 9.28.23  
 Initials KP

RECEIVED  
 JUN 22 2021

File No. R121-004-04D  
 Exhibit B  
 Date 6-22-21  
 Initials KP



CITY OF MACKINAC ISLAND  
 PLANNING COMMISSION & BUILDING DEPARTMENT  
 APPLICATION FOR ZONING ACTION



By: cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757  
 APPLICANT NAME & CONTACT INFORMATION:  
ALEX BAZINAU  
2908 CADOTTE AVE MACK, ISL.  
906.440.2056 A\_BAZINAU@HOTMAIL.COM

Please complete both sides of application.  
 The Fee and <sup>5</sup>fourteen (14) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)  
PO Box 1331

- Is The Proposed Project Part of a Condominium Association? NO
- Is The Proposed Project Within a Historic Preservation District? NO
- Applicant's Interest in the Project (If not the Fee-Simple Owner): Fee Simple Owner
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO
- Is a Variance Required? YES
- Are REU's Required? How Many? NO

**Type of Action Requested:**

- Standard Zoning Permit \_\_\_\_\_ Appeal of Planning Commission Decision
- Special Land Use \_\_\_\_\_ Ordinance Amendment/Rezoning
- Planned Unit Development \_\_\_\_\_ Ordinance Interpretation
- Other VARIANCE (SET BACK)

**Property Information:**

- A. Property Number (From Tax Statement): 49-051-630-065-00
- B. Legal Description of Property: LOT 65
- C. Address of Property: 2908 CADOTTE AVE.
- D. Zoning District: R4
- E. Site Plan Checklist Completed & Attached: \_\_\_\_\_
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) SEE ATTACHED SKETCH PLAN
- G. Sketch Plan Attached: YES SEE ATTACHED
- H. Architectural Plan Attached: N/A
- I. Association Documents Attached (Approval of project, etc.): N/A
- J. FAA Approval Documents Attached: PREVIOUSLY OBTAINED ON SECOND FLOOR ADDITION
- K. Photographs of Existing and Adjacent Structures Attached: SEE ATTACHED

**Proposed Construction/Use:**

- A. Proposed Construction: \_\_\_\_\_ Alteration/Addition to Existing Building
- New Building \_\_\_\_\_
- \_\_\_\_ Other, Specify \_\_\_\_\_

- B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):  
Residential

Proposed Use: SAME

File No. R423.065.054

Exhibit A

Previous Use: N/A  
 Date: 7.25.23

Proposed Use: N/A

Initials: KL

Length of Time Parcel Has Been Vacant: \_\_\_\_\_

Section IX, Itemf.

OFFICE USE ONLY

FILE NUMBER: R423.065.054 FEE: \$1500

DATE: 7.25.23 CHECK NO: \_\_\_\_\_ INITIALS: KL Revised Oct 2018

STATE OF MICHIGAN )  
COUNTY OF MACKINAC ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.



Signature

SIGNATURES

Signature

WALTER A BARNAU

Please Print Name

Please Print Name

Signed and sworn to before me on the 25 day of July, 2023.

K. RICKLEY, Notary Public  
Mackinac County, State of Michigan  
Acting in the County of Mackinac  
My Commission Expires: 10/21/2025



Notary Public

Mackinac County, Michigan  
My commission expires: 10/21/2025

Zoning Permit Issued: \_\_\_\_\_

FOR OFFICE USE ONLY

Inspection Record:

1.	Inspection	Date	Inspector	Comments
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

# City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

## Site Plan Review Checklist Please Submit With The Application for Zoning Action

---

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.city.ofmi.org](http://www.city.ofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

---

### Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units
- 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
- 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
- 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
- 22. Description of Existing and proposed on-site lighting (see also Section 4.27)

Utility Information

Not Provided or Applicable

Provided

- 23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand
- 24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)
- 25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)
- 26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)

**Architectural Review**  
**Informational Requirements (Section 18.05)**

Item Not Provided or Applicable

Provided

- 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership
- 2. Legal description of the property
- 3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)
- 4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.



## Gough Livery Carriages

P.O. Box 351  
Mackinac Island, Michigan 49757-0331  
906-847-1053

Section IX, Itemf.

[goughcarriages.com](http://goughcarriages.com)  
[goughcarriages@gmail.com](mailto:goughcarriages@gmail.com)

August/2/2023

To whom it may concern,

I am writing to you today in regards to the building on the property of Mr. Alex Bazinau.

I have adjoining property on the south side of Mr. Bazinau. He has been a respectful and friendly neighbor for as long as I can remember. I am sending this in support of him having building in question on his property. While the shed may considered nonconforming I fully believe it will not have any negative impact on our adjoining properties.

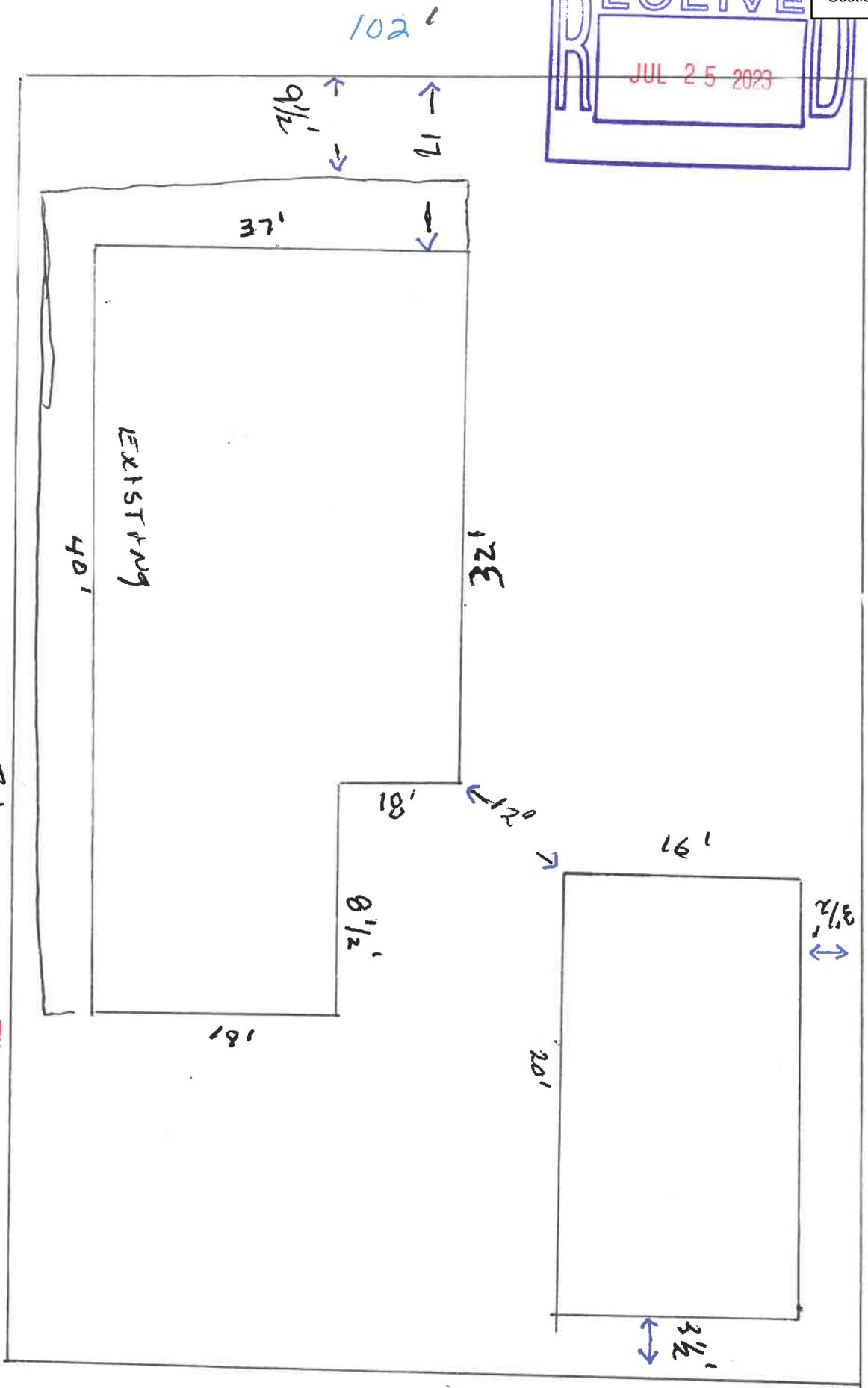
In conclusion, please let the records show I fully support Mr. Alex Bazinau in having this shed on his property regardless of the fact that it impedes on the setback laws.

Respectfully,

A handwritten signature in black ink that reads "Dale Gough". The signature is written in a cursive style with a large, sweeping flourish at the end.

Mr. Dale Gough

Section IX, Itemf.



75'

CADOTTE AVE. 75'

File No. R423.065.054

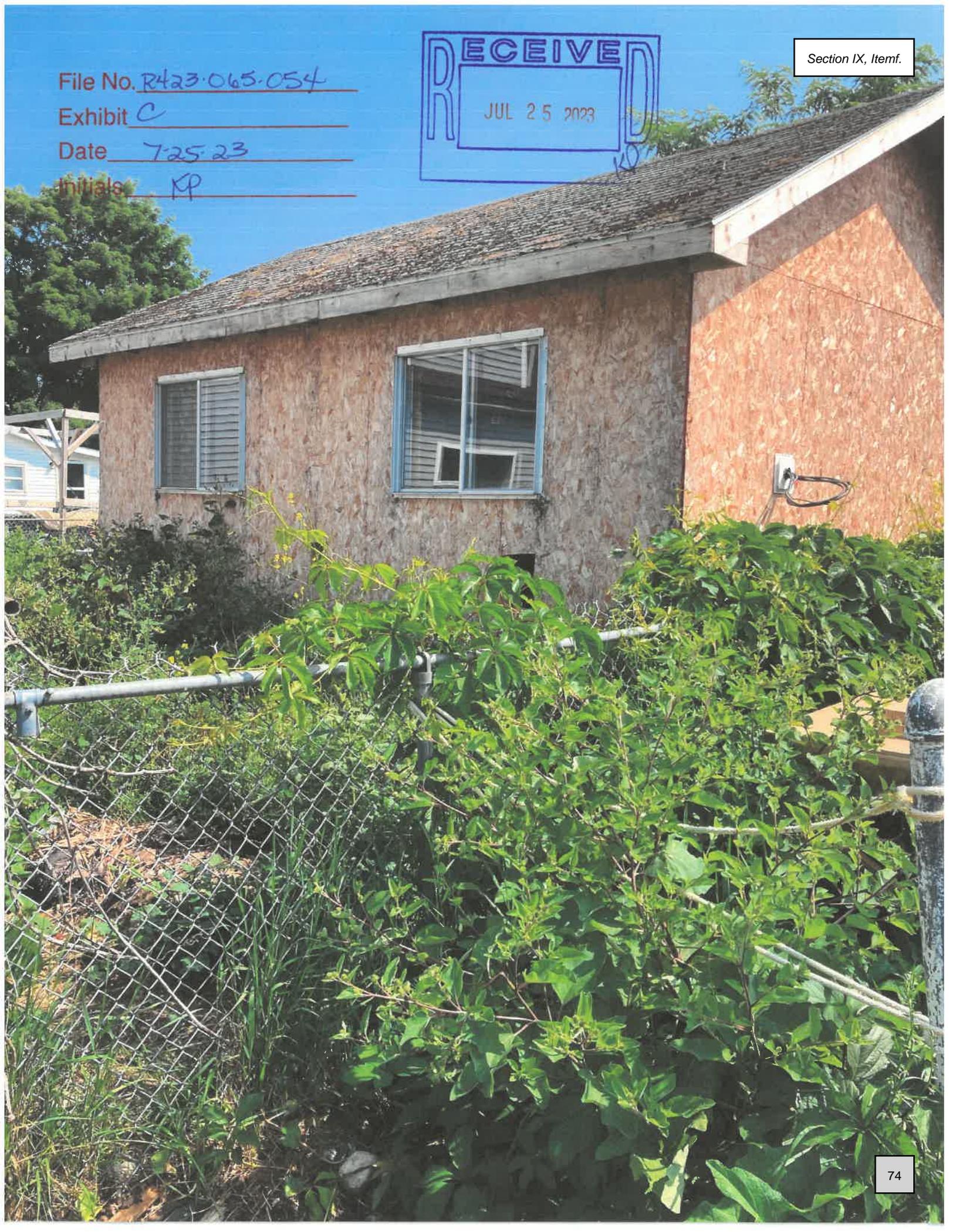
Exhibit B

Date 7.25.23

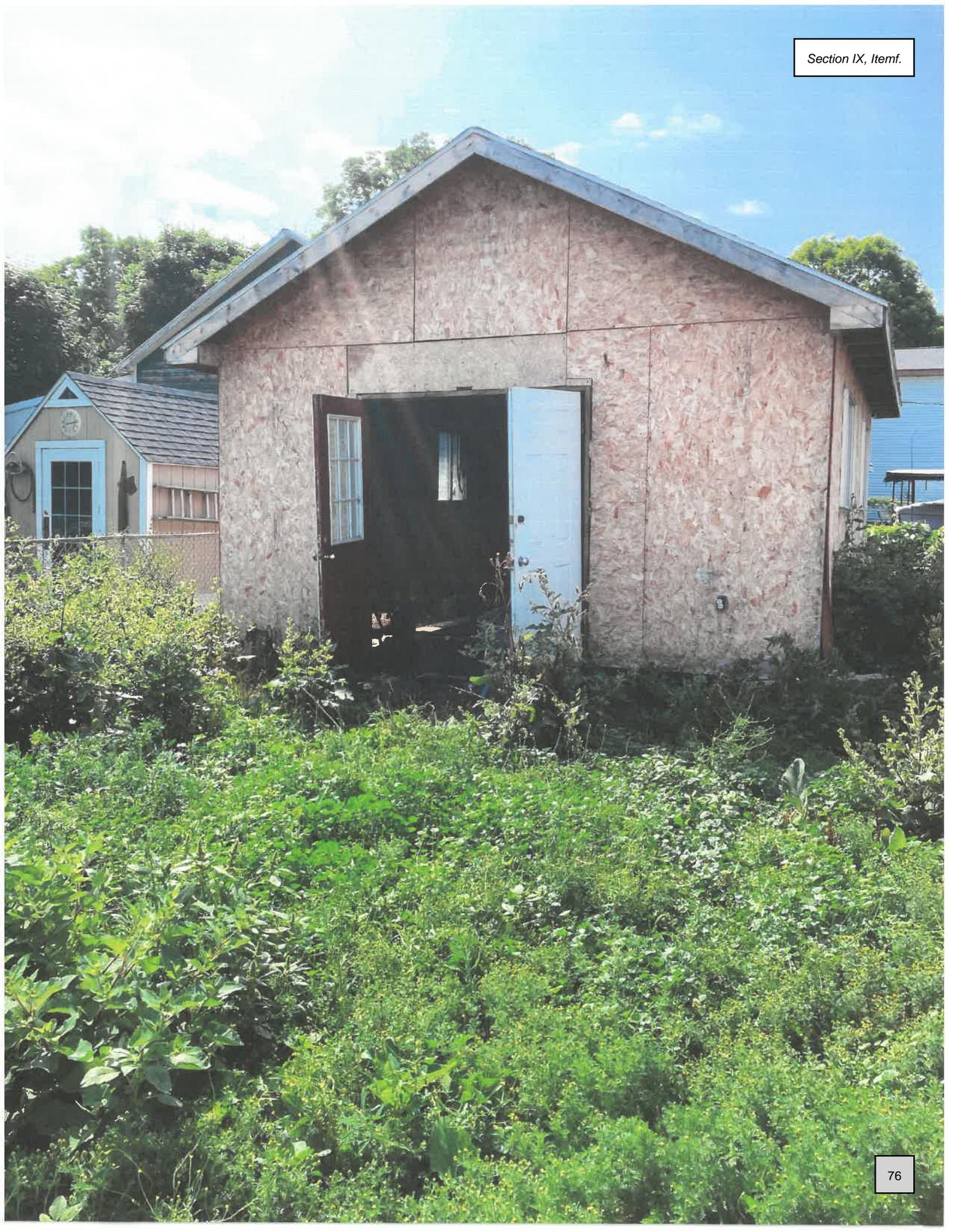
Initials KF

RECEIVED  
JUL 25 2023  
KJ

File No. R423-065-054  
Exhibit C  
Date 7-25-23  
Initials KP









CITY OF MACKINAC ISLAND  
 PLANNING COMMISSION & BUILDING DEPARTMENT  
 APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757  
 APPLICANT NAME & CONTACT INFORMATION:  
 Kay Shryock  
 P.O. Box 744  
 231-891-6860 Main St Mad 19710 Lic. com



Please complete both sides of application.  
 The Fee and five (5) copies of the application plans  
 and all required documents must be submitted to  
 the Zoning Administrator four (4) business days prior to  
 the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Bob Beiser/Abby Porter  
 P.O. Box 250 Mackinac Island, MI 49757

Is The Proposed Project Part of a Condominium Association? NO  
 Is The Proposed Project Within a Historic Preservation District? YES  
 Applicant's Interest in the Project (if not the Fee-Simple Owner): Head of Maintenance  
 Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO  
 Is a Variance Required? NO  
 Are REU's Required? How Many? NO

Type of Action Requested:

- Standard Zoning Permit
  - Special Land Use
  - Planned Unit Development
  - Other Change of Use
- Appeal of Planning Commission Decision \_\_\_\_\_  
 Ordinance Amendment/Rezoning \_\_\_\_\_  
 Ordinance Interpretation \_\_\_\_\_

Property Information:

- A. Property Number (From Tax Statement): 051.550.026.08
- B. Legal Description of Property: Provided
- C. Address of Property: 7411 Market Street
- D. Zoning District: MD
- E. Site Plan Checklist Completed & Attached: \_\_\_\_\_
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) YES
- G. Sketch Plan Attached: YES
- H. Architectural Plan Attached: \_\_\_\_\_
- I. Association Documents Attached (Approval of project, etc.): N/A
- J. FAA Approval Documents Attached: N/A
- K. Photographs of Existing and Adjacent Structures Attached: yes

Proposed Construction/Use:

- A. Proposed Construction:  Alteration/Addition to Existing Building
- New Building
- Other, Specify \_\_\_\_\_

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Proposed Use: Retail Apartment/Housing File No. MD23-026-085(A)  
Exhibit A

C. If Vacant:

Previous Use: Retail Date 9-20-23  
 Proposed Use: \_\_\_\_\_ Initials KP  
 Length of Time Parcel Has Been Vacant: \_\_\_\_\_

OFFICE USE ONLY	
FILE NUMBER: <u>MD23-026-085(A)</u>	FEE: <u>\$400</u>
DATE: <u>9-20-23</u>	CHECK NO: _____
INITIALS: _____	
Revised July 2023	

STATE OF MICHIGAN )  
COUNTY OF MACKINAC ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

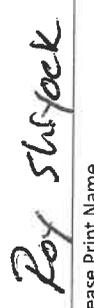
The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

**The undersigned affirms that he/she or they is (are) the applicant and the Contractor (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**

  
Signature

\_\_\_\_\_  
SIGNATURES

\_\_\_\_\_  
Signature

  
Please Print Name

\_\_\_\_\_  
Please Print Name

Signed and sworn to before me on the 20 day of September

**K. RICKLEY, Notary Public**  
Mackinac County, State of Michigan  
Acting in the County of Mackinac  
My Commission Expires: 10/21/2025  
  
Notary Public  
Mackinac County, Michigan  
My commission expires: 10/21/2025

Zoning Permit Issued: \_\_\_\_\_  
**FOR OFFICE USE ONLY**

Inspection Record:	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_ Revised July 2023

# City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

## Site Plan Review Checklist

### Please Submit With The Application for Zoning Action

---

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

---

### Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or <u>Applicable</u></u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. Proposed construction start date and estimated duration of construction.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Physical Features</u>		
19. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units	<input checked="" type="checkbox"/>	<input type="checkbox"/>
22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features	<input checked="" type="checkbox"/>	<input type="checkbox"/>
23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
25. Description of Existing and proposed on-site lighting (see also Section 4.27)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Utility Information</u>		
26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.2

**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Architectural Review  
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>



Mackinac Island Planning Commission,

I am asking for approval for the change of use of space located at 7411 Market Street (Rose Gazebo). The space is currently commercial and if approved we would change the use of the space to residential. At that point a full interior/exterior remodel would take place using approved like for like materials, windows and doors. We will also be asking for approval for a new front deck/porch for that property as well.

File No. MD23-026-085(A)

Exhibit B

Date 9.20.23

Initials RR

Thank you for your time!

Roy Shryock

7221 MAIN STREET, PO BOX 250, MACKINAC ISLAND, MI 49757  
800.241.3341 INFO@CHIPPEWAHOTEL.COM CHIPPEWAHOTEL.COM  
PINKPONYMACKINAC.COM

Please detach along perforation. Keep the bottom portion.



**Mackinac Island**

**2016 Summer**

Bill #: 00166

**MESSAGE TO TAXPAYER**

TAXES PAYABLE JULY 1 TO AND INCLUDING SEPT 10 WITHOUT PENALTY. AFTER SEPT 10, 1% PENALTY FOR SEPTEMBER DELINQUENT PLUS 1% PENALTY FIRST OF EACH MONTH THEREAFTER. MAKE CHECK PAYABLE TO: MACKINAC ISLAND CITY TREASURER. CHECK MUST CLEAR OR RECEIPT IS VOID. PHONE: (906) 847-6002. AFTER FEBRUARY 28, 2017 PAY MACKINAC COUNTY TREASURER, (906) 643-7318.

**PAYMENT INFORMATION**

This tax is due by: 09/10/2016

Pay by mail to: City of Mackinac Island  
Richard Linn, Treasurer  
PO BOX 187  
Mackinac Island MI 49757  
(906) 847-6002

OK  
\$1100

File No. MD23-026-085(H)

Exhibit E

Date 9-20-23

Initials XP

**PROPERTY INFORMATION**

Property Assessed To:  
MARKET STREET LLC  
711 E MITCHELL ST  
PETOSKEY, MI 49770

Prop #: 051-550-026-00 School: 49110  
Prop Addr: 7388 MAIN ST

**TAX DETAIL**

Taxable Value: 815,598  
State Equalized Value: 821,450 Class: 201  
Assessed Value: 821,450  
PRE/MBT %: 0 Mort Code:

Taxes are based upon Taxable Value.  
1 mill equals \$1.00 per \$1000 of Taxable Value.  
Amounts with no millage are either Special Assessments or other charges added to this bill.

**Legal Description:**

MI 93 251/669 299/343 746/305WD LOT 111 EXC BEG AT NWLY COR OF LOT 111 TH S 26 DEG 04'W 30 FT TH S 62 DEG 51'E 84 FT TH N 26 DEG 04'E 30.32 FT TH ALONG NELY LINE OF LOT 111 84 FT TO POB AND EXC BEG AT NE COR OF LOT 111 TH S 26 DEG 43'30" W ALONG E'LY LINE OF LOT 95.70 FT TH N 62 DEG 48'35"W 73.93 FT TH N 59 DEG 01'50"W 47.57 FT TH N 29 DEG 9'30"E 92.91 FT TH S 62 DEG 40'E 117.44 FT TO POB. ASSESSOR'S PLAT NO.3

\*BALANCE OF DESCRIPTION ON FILE\*

DESCRIPTION	MILLAGE	AMOUNT
STATE ED TAX	6.0000	4,893.58
COUNTY ALLOCATED	4.5000	3,670.19
CITY TAX	6.5767	5,363.94
EMS	0.3400	277.30
FIRE TRUCK DEBT	0.2705	220.61
ROAD IMPROVEMENT	0.4000	326.23
CAPITAL FUND	0.4000	326.23
DPW	1.1000	897.15

**OPERATING FISCAL YEARS**

The taxes on bill will be used for governmental operations for the following fiscal year(s):

County: JAN 1 - DEC 31  
Twp/Vil/City: APR 1 - MAR 31  
School: JUL 1 - JUN 30  
State: OCT 1 - SEP 30

Does NOT affect when the tax is due or its amount.

Total Tax	19.58720	15,975.23
Administration Fee		159.75
<b>TOTAL AMOUNT DUE</b>		<b>16,134.98</b>
PREV. PAYMENTS		
BALANCE DUE		16,134.98



File No. ND23026 08564  
Exhibit F  
Date 9.20.23  
Initials KP

RECEIVED  
SEP 20 2023  
KP





**Rose Gazebo**

Josh Carley

Wed 9/20/2023 10:14 AM

To: Roy Chip <maintman1971@live.com>







Josh Carley





September 25, 2023

Planning Commission  
City of Mackinac Island  
Building & Zoning Department  
7358 Market Street  
Mackinac Island, MI 49757

Re: James J. Murray  
6859 Main Street, Mackinac Island, MI

Dear Planning Commission:

Enclosed please find an Application for Zoning Ordinance related to a proposed fence and walkway/patio for our home located at 6859 Main Street, Mackinac Island, Michigan, along with a check in the amount of \$150.00 for the filing fee required.

As the Planning Commission (PC) will note, the fence is the same style as the one in front of the Dennany home and Chambers home. It will be made of wood. It makes sense to extend the fence east of our boundary to the lilac tree so as to not have a "gap". As such, I included a letter of consent from my brother who owns next door. The original application from Richard Clements has all the calculations and I believe the PC already approved the walk and patio, but I just wanted to be clear. The patio on the lake side will be natural stone or brick with no walls or change in elevations.

Given the recent changes to the ordinance I wanted to make sure I included a comment on the new sections:

**Zoning Application**

**Section 20.04(c)(14) - (17)**

14. *No freight hauling plan needed. Mackinac Service Company will handle all material delivery. No debris expected. No motor vehicle needed for fence. Brick delivery via dray. May need skid steer in Spring 2024 for patio.*

15. *No construction staging plan expected. Fence preconstructed and installed on site.*

**ATTORNEYS & COUNSELORS AT LAW**

16. *April 2024 for patio (prior to May 1, 2024). Fence installed Fall 2023 or Spring 2024.*

As always, if you have any questions, please do not hesitate to contact me.

Very truly yours,



James J. Murray  
Plunkett Cooney  
Direct Dial: 231-348-6413

JJM/tll

Enclosures

Open.P0079.P0079.31850452-1

CITY OF MACKINAC ISLAND  
PLANNING COMMISSION & BUILDING DEPARTMENT  
APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

James Murray  
6859 Main St  
Mackinac Island "jimmurraye"  
Phone Number 231-838-6102 Email Address planketteconroy.com

Please complete both sides of application.  
The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

- Is The Proposed Project Part of a Condominium Association? NO
- Is The Proposed Project Within a Historic Preservation District? NO
- Applicant's Interest in the Project (If not the Fee-Simple Owner): N/A
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO
- Is a Variance Required? NO
- Are REU's Required? How Many? NO /

Type of Action Requested:

- Standard Zoning Permit (fence and patio)      Appeal of Planning Commission Decision
- Special Land Use      Ordinance Amendment/Rezoning
- Planned Unit Development      Ordinance Interpretation
- Other

Property Information:

- A. Property Number (From Tax Statement): 051-525-025-10
- B. Legal Description of Property: (on file with City)
- C. Address of Property: 6859 Main St.
- D. Zoning District: R-1
- E. Site Plan Checklist Completed & Attached: Yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes
- G. Sketch Plan Attached: Yes
- H. Architectural Plan Attached: Yes
- I. Association Documents Attached (Approval of project, etc.): N/A
- J. FAA Approval Documents Attached: N/A
- K. Photographs of Existing and Adjacent Structures Attached: (on file with City)

Proposed Construction/Use:

- A. Proposed Construction:
  - New Building      Alteration/Addition to Existing Building
  - Other, Specify fence and walkway/patio per drawings
- B. Use of Existing and Proposed Structures and Land:
  - Existing Use (If Non-conforming, explain nature of use and non-conformity): Residential
  - Proposed Use:
- C. If Vacant:
  - Previous Use: N/A
  - Proposed Use:
  - Length of Time Parcel Has Been Vacant:

OFFICE USE ONLY			
FILE NUMBER: <u>    </u>	FEE: <u>    </u>		
DATE: <u>    </u>	CHECK NO: <u>    </u>		
INITIALS: <u>    </u>	Revised July 2023		

STATE OF MICHIGAN )  
COUNTY OF MACKINAC ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other Information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

\_\_\_\_\_  
Signature

SIGNATURES James Murray  
Signature

\_\_\_\_\_  
Please Print Name

James Murray  
Please Print Name

Signed and sworn to before me on the 25<sup>th</sup> day of September, 2023.

[Signature]  
Notary Public

TREBHA L. LARSON  
NOTARY PUBLIC, STATE OF MI  
COUNTY OF GHEBOYGAN  
MY COMMISSION EXPIRES JUN 13, 2025  
ACTING IN COUNTY OF Emmet

\_\_\_\_\_  
County, Michigan  
My commission expires: \_\_\_\_\_

FOR OFFICE USE ONLY

Zoning Permit Issued: \_\_\_\_\_

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised July 2023

### City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

### Site Plan Review Checklist Please Submit With The Application for Zoning Action

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As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

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#### Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. Proposed construction start date and estimated duration of construction.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Topography of the site with at least two- to five-foot contour intervals	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Proposed alterations to topography or other natural features	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18. Earth-change plans, if any, as required by state law	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
19. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units	<input checked="" type="checkbox"/>	<input type="checkbox"/>
22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features	<input checked="" type="checkbox"/>	<input type="checkbox"/>
23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
25. Description of Existing and proposed on-site lighting (see also Section 4.27)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input checked="" type="checkbox"/>	<input type="checkbox"/>
27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.2



**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review  
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**STORMWATER PLAN:**

**DESIGN CRITERIA:**  
 10 YEAR 24 HOUR RAINFALL = 3.3"  
 (SOURCE: MDOT USA REPORT)  
 = (0.28") = 0.011" /hour

**INFILTRATION RATE OF SOIL = 0.2"/hr.**  
 (SOURCE: USDA) = 0.016"/hour x 24 hrs. =  
 0.38" = 0.25" / storm event

**DESIGN STORM VOLUME = 2,075 cu. ft.**  
 IMPERVIOUS x 0.28" = 581 cu. ft.

**ABSORPTION AREA OF 7' STRIP AROUND PERIMETER OF BUILDING = 1,532 cu. ft.**  
 STORMWATER ABSORPTION = 1,532 cu. ft. x 0.25" = 383 cu. ft.

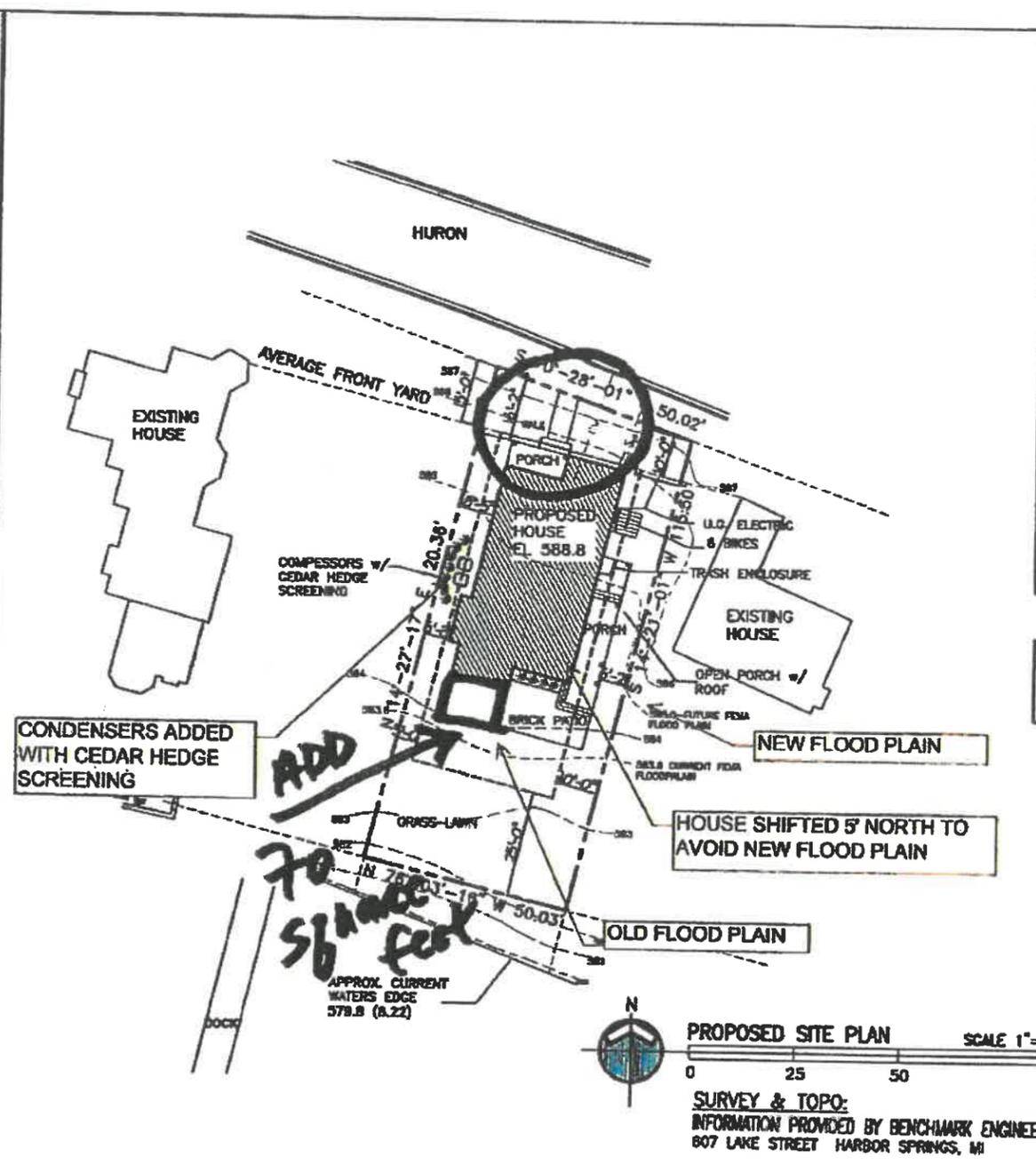
**STORM VOLUME minus ABSORPTION = REQUIRED DETENTION:**  
 581 cu. ft. - 383 cu. ft. = 198 cu. ft. SURPLUS.

**SITE SLOPES UNIFORMLY FROM STREET TO LAKE AT A NEAR CONSTANT 4% SLOPE. SURPLUS STORMWATER NOT ABSORBED INTO THE SURROUNDING 7' STRIP OF GRASS COVERED SOIL WILL DRAIN TOWARD THE LAKE AND BE ABSORBED IN THE (1,500 cu. ft. +/-) LAWN AREA DOWNSLOPE OF THE HOUSE.**

- SITE NOTES:**
1. BICYCLE PARKING RACK IS PROVIDED AT A RATE OF 1 PER BEDROOM + 2 VISITORS. (5 TOTAL)
  2. TRASH TO BE HELD WITHIN THE SIDE PORCH HUTCH ADJACENT TO THE EAST OF THE RESIDENCE AND SET CURBSIDE ON COLLECTION DAYS
  3. LIGHTING - NO AREA LIGHTING PROPOSED. COACH LIGHTING PROVIDED AT BUILDING ENTRANCES SHIELDED TO CONFINE LIGHT WITHIN THE SITE.
  4. SEE STORMWATER NOTES THIS SHEET

**LEGEND:**

- PROPERTY LINE
- SETBACK LINE
- S- SANITARY LINE
- W- WATER LINE
- U.G. ELECTRIC



**TAX #051-525-025-10**

**ASSESSOR'S PLAT NO.2 PART OF LOT 71 COMM AT THE WE COR OF LOT 71 TH N 70 DEG 15'01"W ALG S'LY R/W OF HURON ST 52.0 FT TO THE POB TH S 14 DEG 23'02"W 115.59 FT TH N 78 DEG 03'11"W 50.0 FT TH N 14 DEG 29'14"E 120.64 FT TO HURON ST. TH S 70 DEG 15'01"E ALG S'LY R/W OF HURON ST. 50.0 FT TO THE POB. PARCEL "B" TOWNSHIP 40 N, RANGE 3-2W, SECTION 36**

**ZONED R-1**  
 LOT AREA = 6,146 SF = 0.14 ACRES

**ALLOWED IMPERVIOUS = 35% = 2151 SF**

**ACTUAL IMPERVIOUS**

FLOOR	= 1,484 sf
PORCHES	= 331
PATIO	= 200 sf
WALK	= 60 sf
<b>TOTAL IMPERVIOUS</b>	<b>= 2,075 sf = 33.8%</b>

**ALLOWABLE HEIGHT = 35'-0" 2 1/2 STORY**  
**ACTUAL HEIGHT = 30'-0" 2 STORY**

**PROJECT DESCRIPTION:**  
 NEW SINGLE FAMILY RESIDENCE ON A VACANT LOT

**Richard Clements Architect, PLLC**  
 620 Main Street  
 Alpena, MI 49709  
 517-376-3388

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REV: OCT. 06, 2022

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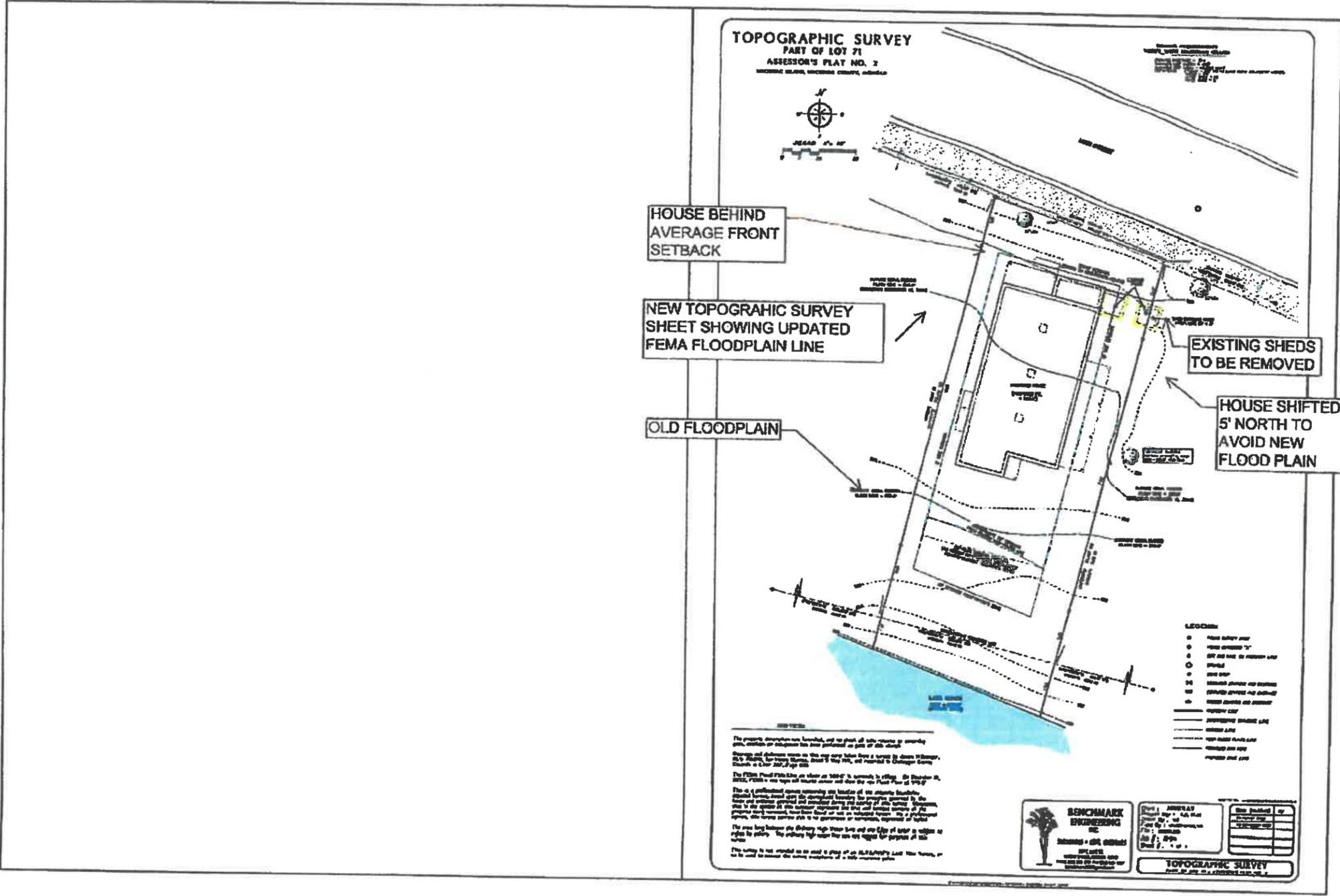
**JIM & TRISH MURRAY COTTAGE**  
 8850 MAIN STREET  
 MACKINAC ISLAND, MI

---

date: June 27, 2022 sheet:  
 project: 2142

---

**SITE PLAN** **A1.0**



Dickinson Homes  
MURRAY RESIDENCE

PROJECT MANAGER  
MARIO  
MM.DD.YY  
DRAWN BY  
MA5  
PROJECT NO.  
C1726-3275

North Street  
Elevation

A.04



Unilock Copthorn  
Brick pavers

60 sq. ft.  
50'

Lilac  
Tree 5'



James Murray <jamesmurrayesq@gmail.com>

### New Fence on Mackinac

Brian Murray <brianformsu@gmail.com>

Fri, Sep 22, 2023 at 3:18 PM

To: Jim Murray <Jmurray@plunkettcooney.com>, Jim Murray <jamesmurrayesq@gmail.com>

Hello Jim,

Hope all is well. I wanted you to know that I am ok with you extending new fence to Lilac tree. If you need my written consent when you file with the City for fence, feel free to pass along this email to the City that I approve.

I am planning on coming up in the next week. Let's get lunch.

Best,

Brian

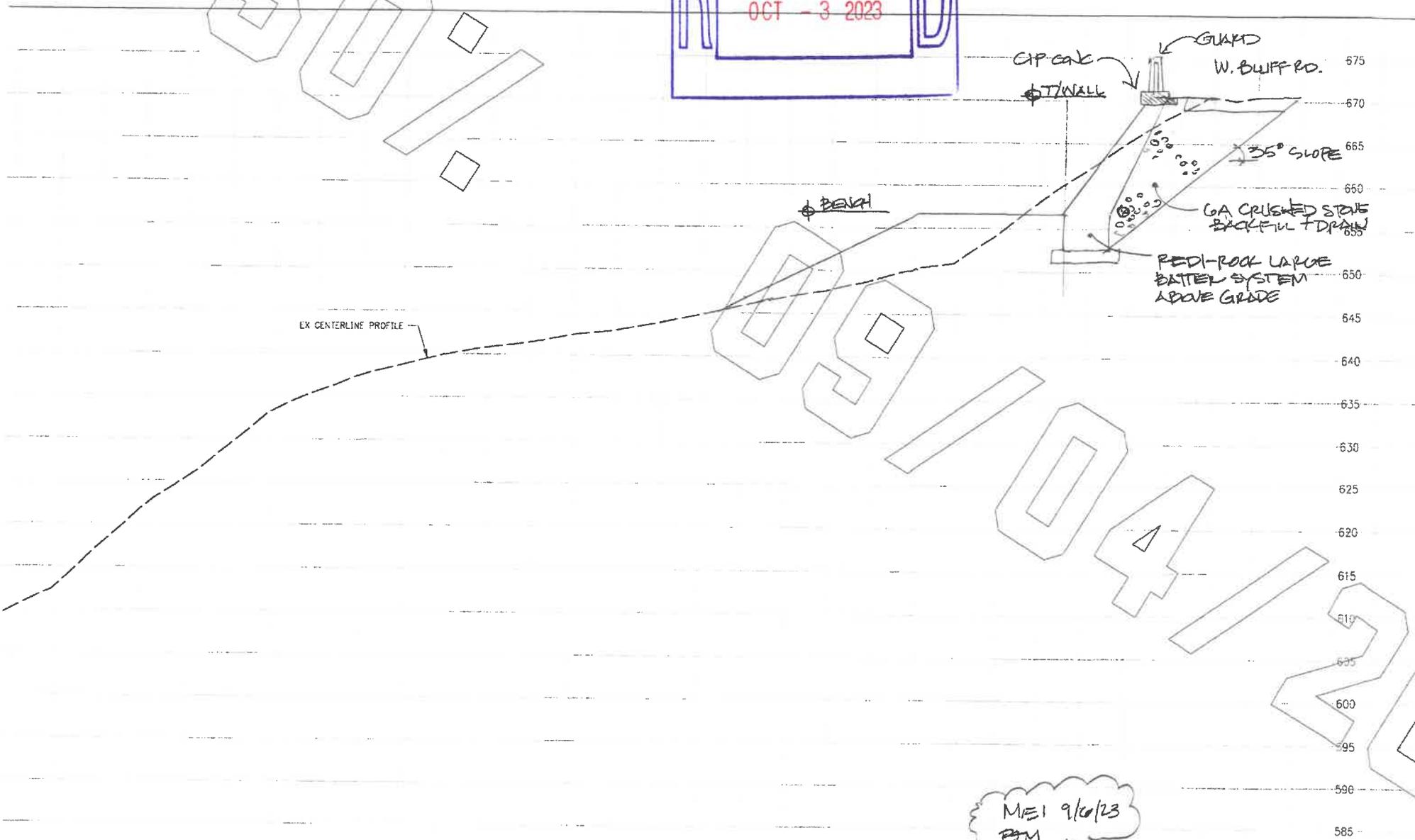






RECEIVED  
OCT - 3 2023

Section X, Itemc.



EXIST CENTERLINE ELEVS (TYP)	PROP CENTERLINE ELEVS (TYP)
0.2	0.0
.23	.98
2.9	0.9
.92	1.86
7.6	1.5
.61	.50
2.0	2.4
.02	.38
5.4	2.9
.45	.94
3.4	3.8
1.39	1.82
3.4	4.9
1.36	.86
3.5	3.0
.54	1.96
7.4	5.9
.43	.95
3.7	7.8
1.74	1.85
0.0	3.0
1.98	1.99
0.9	0.3
1.86	1.27
1.5	1.3
.50	.28
2.4	4.6
.38	.65
2.9	3.5
.94	1.52
3.8	1.6
1.82	.79
4.9	3.2
.86	3.21
3.0	3.2
1.96	1.19
5.9	0.5
.95	1.49
7.8	0.5
1.85	1.46
3.0	
1.99	
0.3	
1.27	
1.3	
.28	
4.6	
.65	
3.5	
1.52	
1.6	
.79	
3.2	
3.21	
3.2	
1.19	
0.5	
1.49	
0.5	
1.46	

MEI 9/6/23  
PJM

SCALE: 1" = 20'

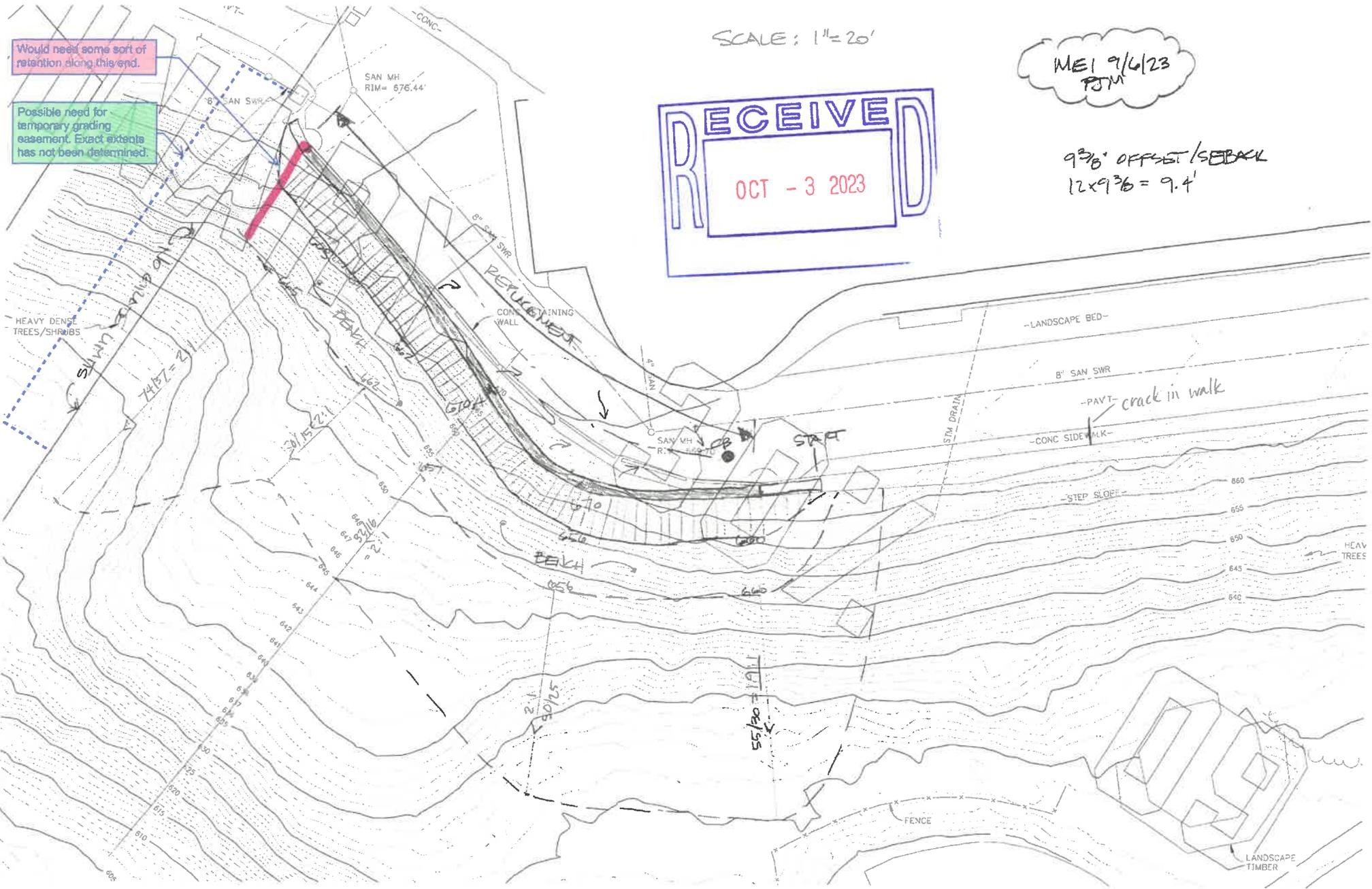
MEI 9/6/23  
RJM

RECEIVED  
OCT - 3 2023

9'36" OFFSET / SEBACK  
12 x 9'36" = 9.4'

Would need some sort of retention along this end.

Possible need for temporary grading easement. Exact extents has not been determined.

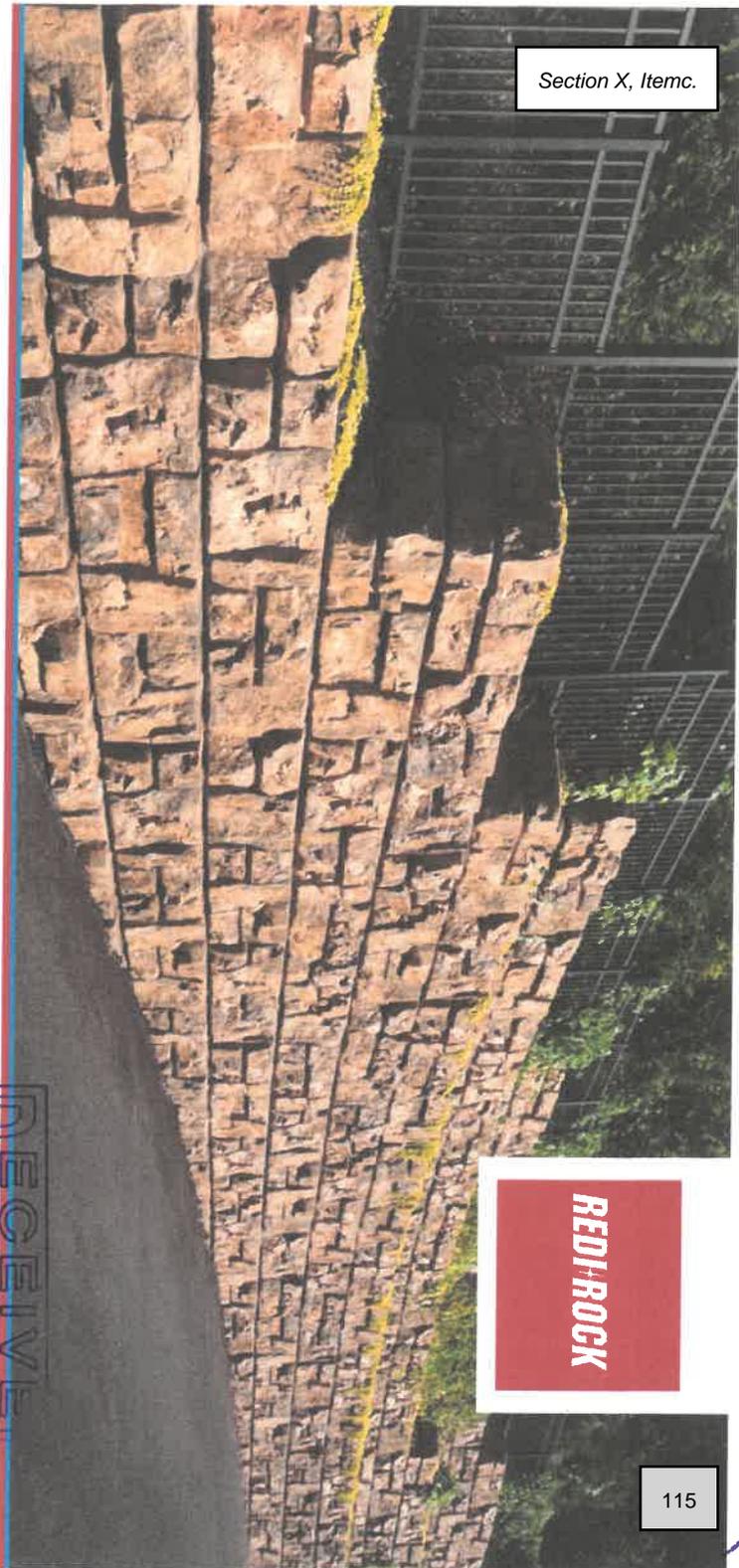


Google Maps Grand Hotel



Imagery ©2023 Maxar Technologies, Map data ©2023 50 ft

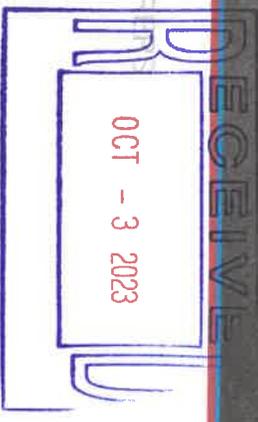




**REDI+ROCK**

REDI-ROCK® MOLD TEXTURE OPTIONS FOR MANUFACTURE

# LEDGESTONE



Redi-Rock Ledgestone. It just has a certain ring to it, doesn't it? This texture has been extremely popular since it launched in 2010. The random, stacked stone appearance has often been imitated, but none compare to the original!

### Ledgestone Block Benefits

- Trapezoidal shape allows convex and concave radii
- 5.5 inch (140 millimeter) deep texture
- Colors can be formulated based upon local region
- Ten individual face molds offer up to 115 square feet (10.5 square meters) of non-repeating patterns
- Wet-cast concrete gives a greater level of detail and durability



larger detail and other options ▶

Contact your Redi-Rock sales rep to order this texture today!

Section X, Itemc.

Full Face Molds

R002-A085-LD01



R002-A085-LD02



R002-A085-LD03



R002-A085-LD04



R002-A085-LD05



R002-A085-LD06



R002-A085-LD07



R002-A085-LD08



R002-A085-LD09



R002-A085-LD10



R002-A187-LD01 / LD02  
42.5 In Curved Face Mold



R002-A193-LD01  
Half Face Mold



Corner Face Molds

R003-A066-LD01

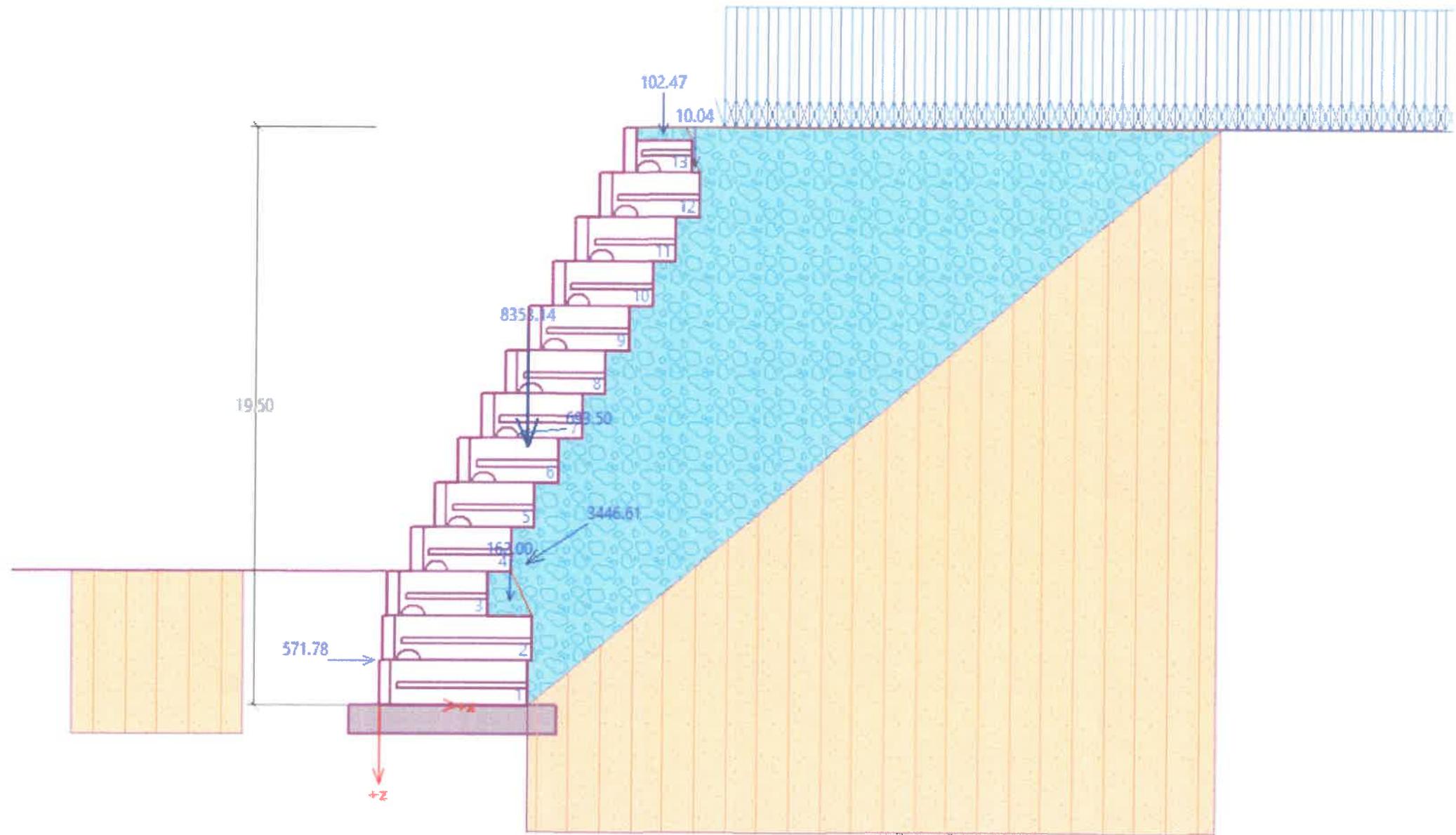


R003-A066-LD02



R003-A084-LD01  
Half Corner Mold







Richard Neumann Architect  
610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0922



29 September 2023

Katie Pereny, Secretary  
Planning Commission  
City of Mackinac Island  
Mackinac Island, MI 49757

Re: **WEST BLUFF ROAD STABILIZATION PROJECT**  
Architectural Review

Dear Ms. Pereny:

This letter is in response to a request from Davidson Hospitality Group to provide a review of a proposed emergency stabilization project to address erosion of the hillside below West Bluff Road near the southwest corner of The Grand Hotel. Long-term and recent more significant erosion of the hillside on hotel property below the road has raised concern as to the safety of this section of West Bluff Road.

Following more detailed engineering, The Grand Hotel proposes to shore up the road by installing an approximately 20 feet high by 150 feet long masonry retaining wall along a section of hillside below the road. The retaining wall would be constructed of precast concrete blocks using a system designed and fabricated by Redi-Rock International, of Charlevoix. It has the general appearance of random stacked stone similar to the natural limestone bedrock underlying and seen in the eroded bluffs found on the Island. This retaining wall system is comprised of ten different molded rock faces cast during fabrication, providing 115 square feet of non-repeating face pattern. The concrete comprising the rock-like block faces can be custom colored to match the native stone color, lending a more naturalistic appearance.

Used in this hillside location away from being associated with a building or structure, as is the white-painted stone wall of Fort Mackinac, the proposed new retaining wall of this more natural appearance would blend best to fit into the hillside. The proposed design includes a 15 feet wide level area at its base, along which it is proposed to place native plant materials that would screen portions of the new wall. This retaining wall appearance, rather than duplicate a more man-made painted white stone appearance, would be most appropriate at this location.

Should you have any questions, please let me know.

Sincerely,

West Bluff Road Stabilization Architectural Review  
29 September 2023  
Page 2

RICHARD NEUMANN ARCHITECT



Rick Neumann

- c. Michael McHale, Davidson Hospitality Group  
Dennis Dombroski, City of Mackinac Island  
Erin Evashevski, Evashevski Law Office





STATE OF MICHIGAN )  
COUNTY OF MACKINAC ) ss.  
AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

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- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the developer (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

*[Handwritten Signature]*  
Signature

SIGNATURES \_\_\_\_\_  
Signature

*[Handwritten Name]*  
Please Print Name

\_\_\_\_\_  
Please Print Name

Signed and sworn to before me on the 26 day of September, 2023.

**BRENDA BUNKER, Notary Public**  
Mackinac County, State of Michigan  
Acting in the County of Mackinac  
My Commission Expires: 07/21/2025

*[Handwritten Signature]*  
Notary Public

\_\_\_\_\_ County, Michigan  
My commission expires: \_\_\_\_\_

\_\_\_\_\_  
**FOR OFFICE USE ONLY**  
Zoning Permit Issued: \_\_\_\_\_

Inspection Record:	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised July 2023

# City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

## Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

### Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>

City of Madison  
2015-2016  
Annual Report

Plan  
The Plan

The City of Madison is committed to providing high-quality services to our residents and businesses. This report details our progress in various areas, including public safety, economic development, and environmental sustainability. We have achieved significant milestones and are looking forward to continued growth and innovation in the coming year.

Category	Value	Notes
Public Safety	123	Increased police presence in high-crime areas.
Economic Development	456	Attracted new businesses and jobs to downtown.
Environmental Sustainability	789	Implemented recycling program and green building standards.
Community Engagement	101	Hosted town hall meetings and public consultations.
Infrastructure	202	Completed major road repairs and transit improvements.

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.
  
- 13. Proposed construction start date and estimated duration of construction. **In the fall 2023**
  
- 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
19. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a	<input type="checkbox"/>	<input checked="" type="checkbox"/>

dwelling schedule showing the unit type and number of each such units

- |  |                                     |                                     |
|--|-------------------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features                               | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)       | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27)  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

Utility Information

- |  | <u>Provided</u>          | <u>Not Provided or Applicable</u>   |
|--|--------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.2) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Date	Description	Amount
1/1/2023	Initial deposit	1000.00
2/1/2023	Withdrawal	-200.00
3/1/2023	Interest	15.00
4/1/2023	Deposit	300.00
5/1/2023	Withdrawal	-100.00
6/1/2023	Interest	18.00
7/1/2023	Deposit	400.00
8/1/2023	Withdrawal	-150.00
9/1/2023	Interest	20.00
10/1/2023	Deposit	500.00
11/1/2023	Withdrawal	-250.00
12/1/2023	Interest	22.00
1/1/2024	Total	1000.00

**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review  
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

File No. R423-011-089

Exhibit B

Date 9-26-23

Initials KP

RECEIVED  
SEP 26 2023

Section X, Itemd.

LIBER 501 PAGE 395

PREPARED BY:  
PORTER'S SURVEY P.C.  
21529 M-68 HWY.  
P. O. BOX 159  
ONAWAY, MICHIGAN 49765  
PH. (888) 733-8813

DEVELOPER:  
MACKINAC ISLAND HOUSING CORPORATION  
P.O. BOX 16  
MACKINAC ISLAND, MI 49757

### MACKINAC ISLAND HOUSING CORPORATION CONDOMINIUM (A SITE CONDOMINIUM)

A PART OF LOT 60 OF ASSESSOR'S PLAT OF HARRISONVILLE,  
CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN.

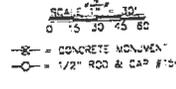
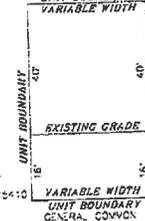


TYPICAL SECTIONS UNITS 1-26  
VERTICAL MEASUREMENTS ARE TO  
BE MADE FROM EXISTING GRADE  
(NO SLOPE)

LONGITUDINAL SECTION  
GENERAL COMMON  
UNIT BOUNDARY  
VARIABLE WIDTH

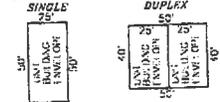


TRANSVERSE SECTION  
GENERAL COMMON  
UNIT BOUNDARY  
VARIABLE WIDTH



GENERAL COMMON AREA

BUILDING ENVELOPE TYPICALS



#### UNIT AREAS

UNIT	AREA	ACREAGE
1	5622.1 sq. ft.	0.13 acres
2	3890.6 sq. ft.	0.09 acres
3	3365.4 sq. ft.	0.08 acres
4	3365.2 sq. ft.	0.08 acres
5	4344.6 sq. ft.	0.10 acres
6	6573.5 sq. ft.	0.15 acres
7	4824.7 sq. ft.	0.11 acres
8	3444.0 sq. ft.	0.08 acres
9	3446.3 sq. ft.	0.08 acres
10	3449.0 sq. ft.	0.08 acres
11	3451.7 sq. ft.	0.08 acres
12	3179.7 sq. ft.	0.07 acres
13	5567.9 sq. ft.	0.13 acres
14	8794.6 sq. ft.	0.19 acres
15	4107.8 sq. ft.	0.09 acres
16	5921.5 sq. ft.	0.14 acres
17	3616.3 sq. ft.	0.08 acres
18	3081.2 sq. ft.	0.07 acres
19	3041.8 sq. ft.	0.07 acres
20	3313.7 sq. ft.	0.08 acres
21	2556.4 sq. ft.	0.06 acres
22	4154.0 sq. ft.	0.10 acres
23	3971.3 sq. ft.	0.09 acres
24	3083.9 sq. ft.	0.07 acres
25	3058.3 sq. ft.	0.07 acres
26	3650.3 sq. ft.	0.08 acres
TOTAL		2.46 ACRES

TOTAL PROJECT AREA = 3.01 ACRES  
GENERAL COMMON AREA = 0.55 ACRES  
LIMITED COMMON AREA = 0.00 ACRES  
TOTAL UNIT AREA = 2.46 ACRES



*Delmer E. Porter* 12/03/01  
DELMER E. PORTER P.S. # 15410 DATE

SITE PLAN  
(CONTINUED)

AS-BUILT 12/01/2001

SHEET 3 OF 4

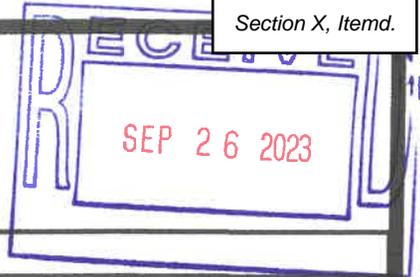
1

# SINGLE FAMILY HOMES MACKINAC ISLAND HOUSING CORP MARSHALL ST MACKINAC ISLAND, 49757

ISSUED: 9/26/2023

DESCRIPTION:  
NEW SINGLE FAMILY HOMES SITE PLAN LOCATIONS.

SCALE: NTS



### PLAN NOTES

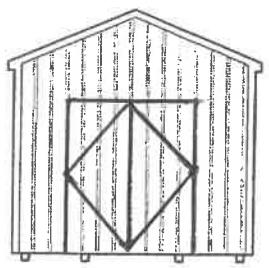
- ① EXISTING SINGLE FAMILY UNIT.
- ② EXISTING DUPLEX UNIT.
- ③ EXISTING SINGLE FAMILY UNIT AT UNIT #11.
- ④ EXISTING SINGLE FAMILY UNIT AT UNIT #12.
- ⑤ EXISTING / SINGLE FAMILY UNIT AT UNIT #15.
- ⑥ EXISTING / SINGLE FAMILY UNIT AT UNIT #16.
- ⑦ EXISTING ACCESSORY BUILDING.
- ⑧ PROPOSED NEW ACCESSORY BUILDING FOR NEW SINGLE FAMILY UNITS. BUILDING TO SERVE TWO SINGLE FAMILY UNITS.

### GENERAL NOTES

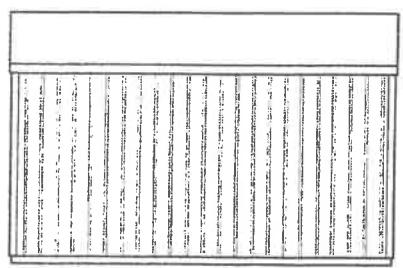
1. NEIGHBORHOOD IS EXITING AND HAS BEEN GRADED.
2. MINIMAL ALTERNATION TO EXISTING TOPOGRAPHY FOR GRADING AWAY FROM NEW SINGLE FAMILY UNITS.
3. NEW SINGLE FAMILY UNITS ELEVATIONS TO BE 1'-6" ABOVE EXTERIOR GRADE.
4. MAXIMUM HEIGHT OF SINGLE FAMILY UNITS AT 20' FROM FINISH FLOOR.



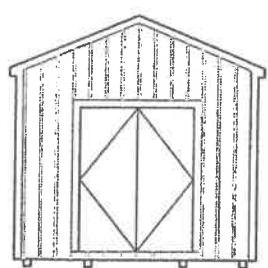
**RECEIVED**  
 SEP 26 2023  
 HO



REAR ELEVATION



SIDE ELEVATION



FRONT ELEVATION

**CODES**  
 MICHIGAN DEPARTMENT OF LICENSING and REGULATORY AFFAIRS, BUREAU OF CONSTRUCTION CODES, MICHIGAN BUILDING CODE (MBC) incorporating the 2015 EDITION of the INTERNATIONAL BUILDING CODE.

**USE OR OCCUPANCY**  
 OCCUPANCY U, UTILITY

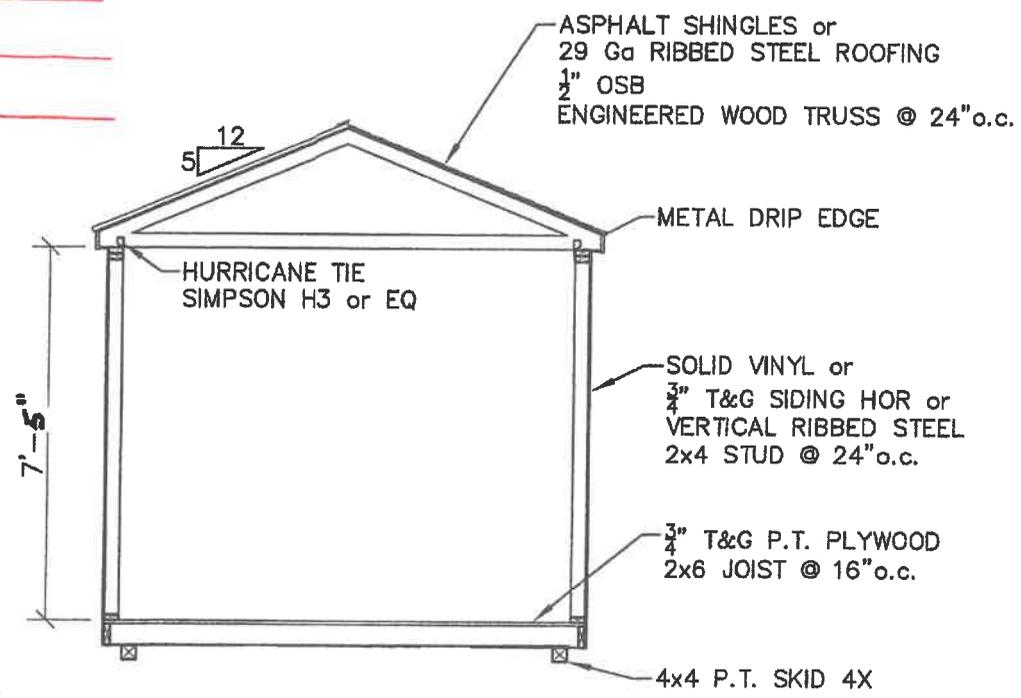
**ENGINEERING DATA**

<b>DESIGN LOADS:</b>	
<b>ROOF LOADS:</b>	
GROUND SNOW LOAD, P <sub>s</sub>	70 psf
SNOW EXPOSURE FACTOR, C <sub>e</sub>	1.0
SNOW LOAD IMPORTANCE, I	0.8
THERMAL FACTOR, C <sub>t</sub>	1.2
FLAT ROOF SNOW LOAD, R	70 psf
<b>BASIC WIND SPEED</b>	<b>115 mph</b>

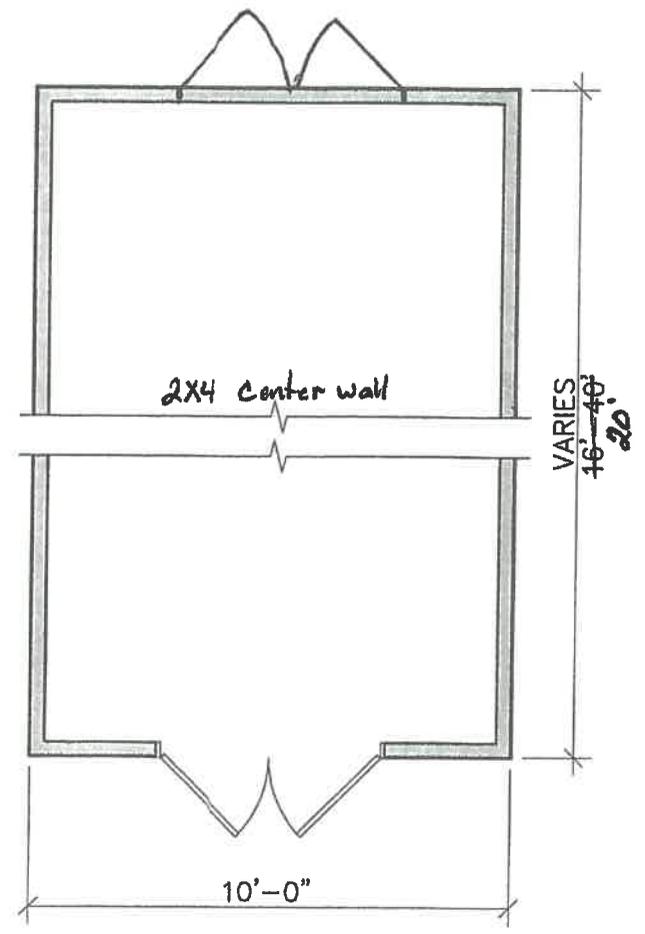
**pressell**  
 engineering  
 design  
 8995 W. Kelly Rd.  
 Lake City, MI 49851  
 231.839.3869

File No. R423.011-089  
 Exhibit C  
 Date 9.26.23  
 Initials XP

PREPARED FOR:  
 Cedar Creek Storage Barns, LLC  
 5306 N 37 Rd  
 Manton, MI 49663  
 231-824-3658



**SECTION**  
 SCALE: 1/4" = 1'-0"



**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

PRODUCT DESCRIPTION:  
**Gable Storage Building**  
 10' Wide Gable Roof

DATE:  
 09/10/22

PROJECT:  
 10' W  
 GABLE

10GT

LOADING

GROUND SNOW LOAD, Pg: 70 PSF  
 THERMAL FACTOR, Ct: 1.2  
 IMPORTANCE FACTOR, I: 0.8  
 BALANCED, TCLL: 47 PSF  
 UNBALANCED, TCLL: 37 PSF  
 TCDL: 10 PSF  
 BCDL: 5 PSF

REACTION

JNT	TYPE	BRG WIDTH	MAX REACTION	MAX UPLIFT
1	WALL	3½"	680 lbs	150 lbs
2	WALL	3½"	680 lbs	150 lbs

MEMBER FORCES

MEMBER	TYPE	MATERIAL	MAX FORCE
1-2, 3-2	TC	2x2 No. 2 SPF	1,760 lbs
1-3	BC	2x4 No. 2 SPF	1,630 lbs

SIDE PLATES

JOINT	PLATE	PLATE SIZE	Ga.
1,2,3	P1	3 x 5	20



PREPARED BY:  
  
 pressell  
 engineering  
 design  
 8995 W. Kelly Rd.  
 Lake City, MI 49661  
 231.839.3969

PREPARED FOR:  
 Cedar Creek Storage Barns  
 5306 N 37 Rd  
 Manton, MI 49663

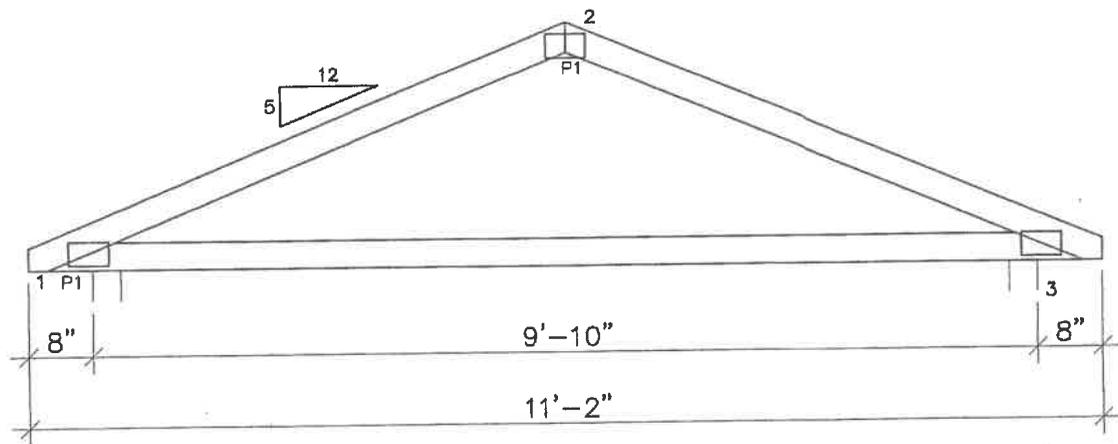
PRODUCT DESCRIPTION:  
 Gable Truss Span: 9'-8"  
 Metal Plate Connected

DATE:  
 04/18/20

Gt-9.8

LOAD SUMMARY

1. This truss has been designed for the effects of wind loads in accordance with ASCE7-10
2. This truss has been designed for the effects of balanced and unbalanced snow loads in accordance with ASCE7-10
3. TC bracing: sheathed or purlins @ 24"o.c.



TRUSS PLAN

SCALE: ½"=1'-0"

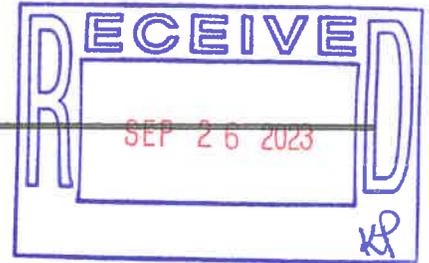


File No. R423-011-089

Exhibit D

Date 9.26.23

Initials KP



April 27, 2021

Cedar Creek Storage Barns  
5306 N 37 Rd  
Manton, MI 49633

Subject: Accessory storage shed frost protection and wind anchorage.

In accordance with the Michigan Building Code MBC 1809.5 exception 1b and the Michigan Residential Code MRC R403.1 exception 1; "Freestanding accessory structures with an area of 600 square feet or less, of light frame construction, with an eave height of 10 feet or less shall not be required" ... to have frost protection. As such all freestanding storage sheds meeting the maximum area of 600 sf and maximum eave height of 10' requirements may be placed on grade with no frost protection.

Wind anchorage for a storage shed constructed on treated wood runners supported on grade shall be provided as follows:

- sheds up of 20 feet in length: 4 earth anchors; 2 on each long side  
Locate a minimum of 12" and a maximum of 24" from each corner
- sheds up to 40 feet in length: 6 earth anchors, 3 on each long side  
Locate a minimum of 12" and a maximum of 24" from each corner and at the center

Earth anchors shall be one of the following:

- auger type with a minimum 30" shank length and single 4" flutes or
- duck bill type with a minimum 1,000 lbs pull out rating

Sheds shall be secured to each earth anchor with either of the following:

1. Anchor strap or cable pre-tensioned snug to limit motion.  
Each anchor strap shall be attached to a suitable bracket, or loop rated at a working load of 350 pounds, anchored through the exterior wall sheathing and into the floor framing rim joist with a minimum of 1- 1/2"Ø thru bolt or 2- 3/8"Ø lag screws.
2. 1-1/2"Ø HDG lag screw with oversized HDG washer.  
The single lag screw shall be anchored through the exterior wall sheathing and into the floor framing rim joist

If you have any questions concerning this information please call this office.

Sincerely,

Mark A. Pressell P.E.

Unit 11 and Unit 12, front and back





**CITY OF MACKINAC ISLAND  
PLANNING COMMISSION & BUILDING DEPARTMENT  
APPLICATION FOR ZONING ACTION**



[www.cityofmi.org](http://www.cityofmi.org)    [kep@cityofmi.org](mailto:kep@cityofmi.org)    906-847-6190    PO Box 455 Mackinac Island, MI 49757

**APPLICANT NAME & CONTACT INFORMATION:**

Mackinac Island Housing Corp.  
PO Box 935, Mackinac Island, MI 49757  
906-847-3701    [smcgreevy@micf.org](mailto:smcgreevy@micf.org)

Please complete both sides of application.  
The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

- Is The Proposed Project Part of a Condominium Association? \_\_\_\_\_ YES \_\_\_\_\_
- Is The Proposed Project Within a Historic Preservation District? \_\_\_\_\_ NO \_\_\_\_\_
- Applicant's Interest in the Project (If not the Fee-Simple Owner): \_\_\_\_\_ Developer \_\_\_\_\_
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? \_\_\_\_\_ yes \_\_\_\_\_
- Is a Variance Required? \_\_\_\_\_ NO \_\_\_\_\_
- Are REU's Required? How Many? \_\_\_\_\_ NO \_\_\_\_\_ / \_\_\_\_\_

**Type of Action Requested:**

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other \_\_\_\_\_
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

**Property Information:**

- A. Property Number (From Tax Statement): \_\_\_\_\_ 051-445-012-00
- B. Legal Description of Property: \_\_\_\_\_ 501-338-396 Building on leased land, MIHC Corp., Unit 12
- C. Address of Property: \_\_\_\_\_ 7450 Marshall St., Mackinac Island, MI 49757
- D. Zoning District: \_\_\_\_\_ R-4 Harrisonville Residential
- E. Site Plan Checklist Completed & Attached: \_\_\_\_\_ Yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) \_\_\_\_\_ Yes
- G. Sketch Plan Attached: \_\_\_\_\_ NO
- H. Architectural Plan Attached: \_\_\_\_\_ Yes
- I. Association Documents Attached (Approval of project, etc.): \_\_\_\_\_
- J. FAA Approval Documents Attached: \_\_\_\_\_ Home was approved in 2021
- K. Photographs of Existing and Adjacent Structures Attached: \_\_\_\_\_ yes

**Proposed Construction/Use:**

- A. Proposed Construction:
  - New Building
  - Alteration/Addition to Existing Building
  - Other, Specify \_\_\_\_\_
- B. Use of Existing and Proposed Structures and Land:
  - Existing Use (If Non-conforming, explain nature of use and non-conformity): \_\_\_\_\_
  - Proposed Use: \_\_\_\_\_ Storage building.
- C. If Vacant:
  - Previous Use: \_\_\_\_\_
  - Proposed Use: \_\_\_\_\_
  - Length of Time Parcel Has Been Vacant: \_\_\_\_\_

File No. B423-012-090  
Exhibit A  
Date 9.26.23  
Initials KP

OFFICE USE ONLY			
FILE NUMBER: <u>R423-012-090</u>		FEE: <u>\$150-</u>	
DATE: <u>9.26.23</u>	CHECK NO. _____	INITIALS: <u>KP</u>	DATE: _____



STATE OF MICHIGAN )  
COUNTY OF MACKINAC ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the developer (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

[Signature]  
Signature

SIGNATURES \_\_\_\_\_  
Signature

Stephanie McGreevy  
Please Print Name

\_\_\_\_\_  
Please Print Name

Signed and sworn to before me on the 26 day of September, 2023.

BRENDA BUNKER, Notary Public  
Mackinac County, State of Michigan  
Acting in the County of Mackinac  
My Commission Expires: 07/21/2025

[Signature]  
\_\_\_\_\_  
Notary Public

County, Michigan

My commission expires: \_\_\_\_\_

FOR OFFICE USE ONLY

Zoning Permit Issued: \_\_\_\_\_

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised July 2023

# City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

## Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

### Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>

THE BOARD OF DIRECTORS

of the Corporation

RESOLUTIONS

ADOPTED AT A MEETING OF THE BOARD OF DIRECTORS HELD AT THE HEADQUARTERS OF THE CORPORATION ON [DATE]

Resolved, that the Board of Directors hereby approves the [description of the resolution]

Resolved, that the Board of Directors hereby approves the [description of the resolution]

Resolved, that the Board of Directors hereby approves the [description of the resolution]

Resolved, that the Board of Directors hereby approves the [description of the resolution]

ADOPTED AND PASSED AT A MEETING OF THE BOARD OF DIRECTORS HELD AT THE HEADQUARTERS OF THE CORPORATION ON [DATE]

NAME	SIGNATURE	TITLE
[Name]	[Signature]	[Title]
[Name]	[Signature]	[Title]
[Name]	[Signature]	[Title]

**Architectural Review  
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

dwelling schedule showing the unit type and number of each such units

- 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
- 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
- 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
- 25. Description of Existing and proposed on-site lighting (see also Section 4.27)

Utility Information

Provided

Not Provided or Applicable

- 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand
- 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)
- 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)
- 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.2)



- 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.
- 13. Proposed construction start date and estimated duration of construction. In the fall 2023
- 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission

Natural Features

Provided Not Provided or Applicable

- 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)
- 16. Topography of the site with at least two- to five-foot contour intervals
- 17. Proposed alterations to topography or other natural features
- 18. Earth-change plans, if any, as required by state law

Physical Features

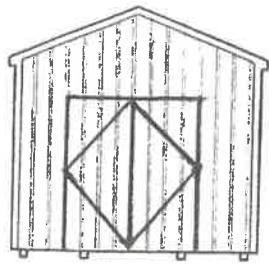
Provided Not Provided or Applicable

- 19. Location of existing manmade features on the site and within 100 feet of the site
- 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site
- 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a

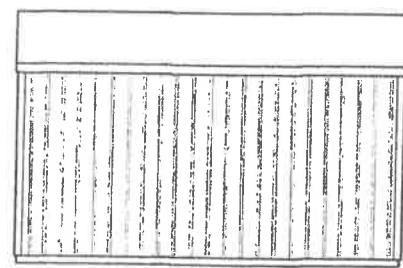
**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

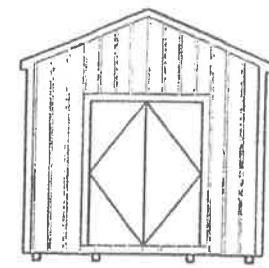
**RECEIVED**  
 SEP 26 2023  
 KP



REAR ELEVATION



SIDE ELEVATION



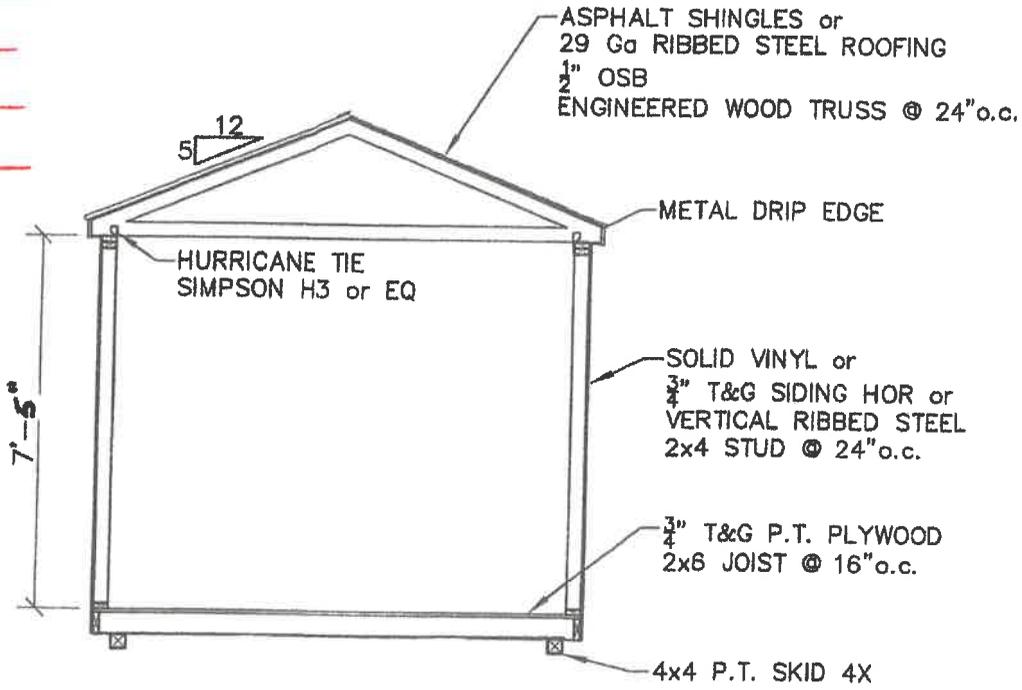
FRONT ELEVATION

**CODES**  
 MICHIGAN DEPARTMENT of LICENSING and REGULATORY AFFAIRS, BUREAU OF CONSTRUCTION CODES, MICHIGAN BUILDING CODE (MBC) incorporating the 2015 EDITION of the INTERNATIONAL BUILDING CODE.  
 USE OR OCCUPANCY  
 OCCUPANCY U, UTILITY  
**ENGINEERING DATA**

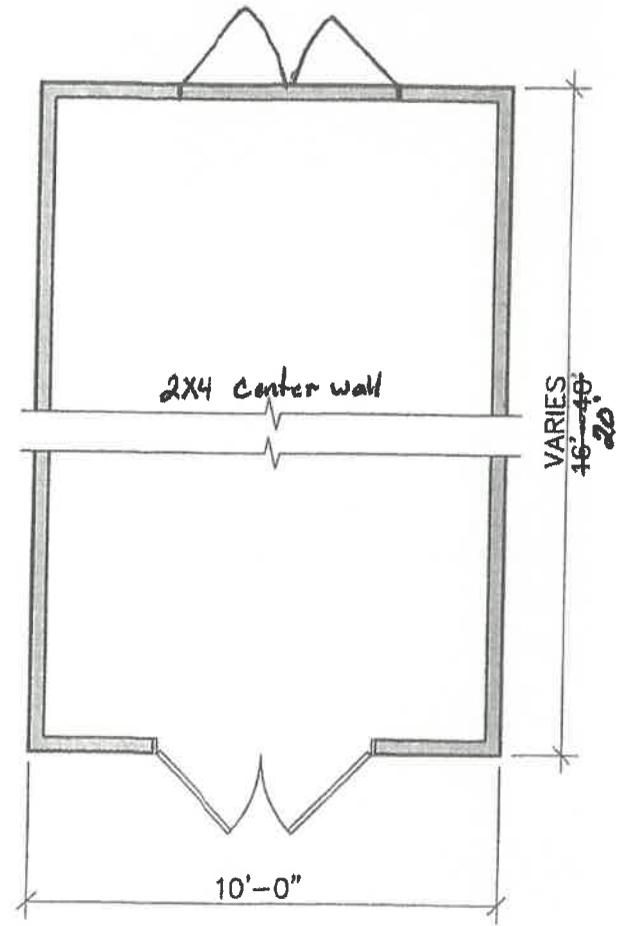
<b>DESIGN LOADS:</b>	
<b>ROOF LOADS:</b>	
GROUND SNOW LOAD, $P_g$	70 psf
SNOW EXPOSURE FACTOR, $C_e$	1.0
SNOW LOAD IMPORTANCE, $I$	0.8
THERMAL FACTOR, $C_t$	1.2
FLAT ROOF SNOW LOAD, $P_f$	70 psf
<b>BASIC WIND SPEED</b>	115 mph

**press**  
 engineer  
 design  
 8895 W. Kelly  
 Lake City, MI  
 231.839.3963

File No. R423-012-090  
 Exhibit C  
 Date 9-26-23  
 Initials KP



**SECTION**  
 SCALE:  $\frac{1}{4}$ "=1'-0"



**FLOOR PLAN**  
 SCALE:  $\frac{1}{4}$ "=1'-0"

PREPARED FOR  
 Cedar Creek Storage Bams, LLC  
 5306 N 37 Rd  
 Mantion, MI 49663

PRODUCT DESCRIPTION:  
**Gable Storage Building**  
 10' Wide Gable Roof

DATE: 09/10/23  
 PROJECT: 10' W GABLI

LOADING

GROUND SNOW LOAD,  $P_g$ : 70 PSF  
 THERMAL FACTOR,  $C_t$ : 1.2  
 IMPORTANCE FACTOR,  $I$ : 0.8  
 BALANCED, T<sub>CLL</sub>: 47 PSF  
 UNBALANCED, T<sub>CLL</sub>: 37 PSF  
 T<sub>CDL</sub>: 10 PSF  
 B<sub>CDL</sub>: 5 PSF

REACTION

JNT	TYPE	BRG WIDTH	MAX REACTION	MAX UPLIFT
1	WALL	3½"	680 lbs	150 lbs
2	WALL	3½"	680 lbs	150 lbs

MEMBER FORCES

MEMBER	TYPE	MATERIAL	MAX FORCE
1-2, 3-2	TC	2x2 No. 2 SPF	1,760 lbs
1-3	BC	2x4 No. 2 SPF	1,630 lbs

SIDE PLATES

JOINT	PLATE	PLATE SIZE	Ga.
1,2,3	P1	3 x 5	20

PREPARED BY:



pressell  
engineering  
design

8895 W. Kelly Rd.  
Lake City, MI 49651  
231.839.3889

Section X, Item.

PREPARED FOR:  
Cedar Creek Storage Barns  
5306 N 37 Rd  
Manton, MI 49663

PRODUCT DESCRIPTION:

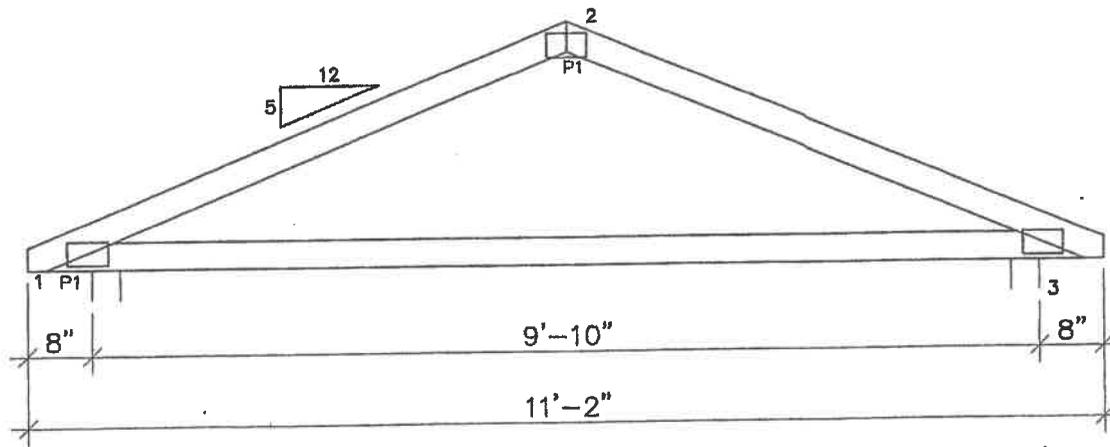
Gable Truss Span: 9'-8"  
Metal Plate Connected

DATE:  
04/18/20

Gt-9.8

LOAD SUMMARY

1. This truss has been designed for the effects of wind loads in accordance with ASCE7-10
2. This truss has been designed for the effects of balanced and unbalanced snow loads in accordance with ASCE7-10
3. TC bracing: sheathed or purlins @ 24" o.c.



TRUSS PLAN

SCALE: ½" = 1'-0"

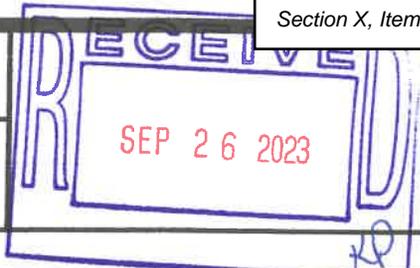
1

# SINGLE FAMILY HOMES MACKINAC ISLAND HOUSING CORP MARSHALL ST MACKINAC ISLAND, 49757

ISSUED: 9/26/2023

DESCRIPTION:  
NEW SINGLE FAMILY HOMES SITE PLAN LOCATIONS.

SCALE: NTS



### PLAN NOTES

- ① EXISTING SINGLE FAMILY UNIT.
- ② EXISTING DUPLEX UNIT.
- ③ ~~EXISTING~~ SINGLE FAMILY UNIT AT UNIT #11.
- ④ ~~EXISTING~~ SINGLE FAMILY UNIT AT UNIT #12.
- ⑤ ~~EXISTING~~ / SINGLE FAMILY UNIT AT UNIT #15.
- ⑥ ~~EXISTING~~ / SINGLE FAMILY UNIT AT UNIT #16.
- ⑦ EXISTING ACCESSORY BUILDING.
- ⑧ PROPOSED NEW ACCESSORY BUILDING FOR NEW SINGLE FAMILY UNITS. BUILDING TO SERVE TWO SINGLE FAMILY UNITS.

### GENERAL NOTES

1. NEIGHBORHOOD IS EXITING AND HAS BEEN GRADED.
2. MINIMAL ALTERNATION TO EXISTING TOPOGRAPHY FOR GRADING AWAY FROM NEW SINGLE FAMILY UNITS.
3. NEW SINGLE FAMILY UNITS ELEVATIONS TO BE 1'-6" ABOVE EXTERIOR GRADE.
4. MAXIMUM HEIGHT OF SINGLE FAMILY UNITS AT 20' FROM FINISH FLOOR.

File No. R423.012.090  
 Exhibit B  
 Date 9.26.23  
 Initials KP

LIBER 501 PAGE 395

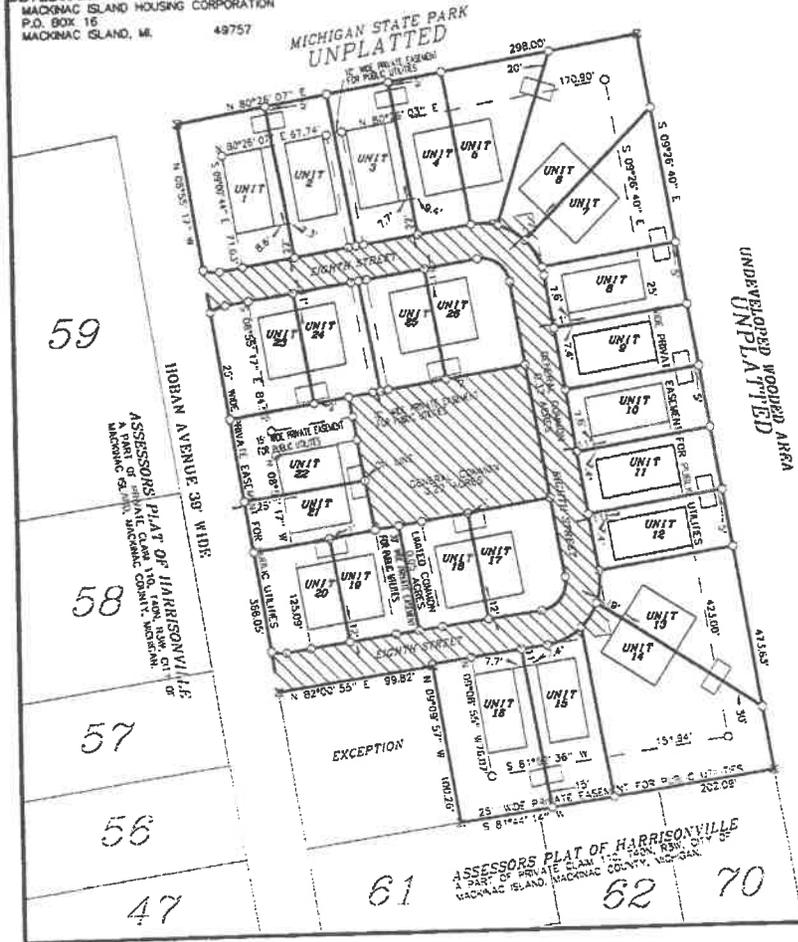
PREPARED BY:  
PORTER'S SURVEY P.C.  
21529 M-68 HWY.  
P. O. BOX 159  
ONAWAY, MICHIGAN 49765  
PH. (989) 733-8813

DEVELOPER:  
MACKINAC ISLAND HOUSING CORPORATION  
P.O. BOX 16  
MACKINAC ISLAND, MI. 49757

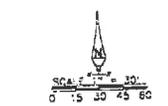
### MACKINAC ISLAND HOUSING CORPORATION CONDOMINIUM (A SITE CONDOMINIUM)

A PART OF LOT 60 OF ASSESSOR'S PLAT OF HARRISONVILLE,  
CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN.

TYPICAL SECTIONS UNITS 1-26  
VERTICAL MEASUREMENTS ARE TO  
BE MADE FROM EXISTING GRADE.  
(NO SCALE)

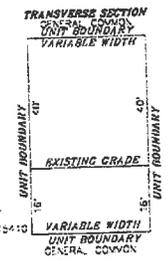
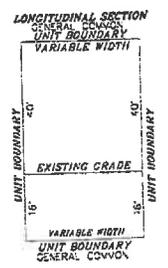
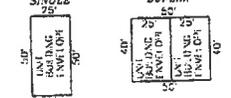


UNDEVELOPED WOODED AREA  
UNPLATTED



- = CONCRETE MON.-VEN.
- = 1/2" ROD & CAP #15410
- ▨ = GENERAL COMMON AREA

**BUILDING ENVELOPE TYPICALS**



UNIT AREAS		
UNIT	AREA	ACREAGE
1	5622.1 sq. ft.	0.13 acres
2	3890.6 sq. ft.	0.09 acres
3	3903.4 sq. ft.	0.09 acres
4	3365.2 sq. ft.	0.08 acres
5	4344.6 sq. ft.	0.10 acres
6	6573.5 sq. ft.	0.15 acres
7	4824.7 sq. ft.	0.11 acres
8	3444.0 sq. ft.	0.08 acres
9	3446.3 sq. ft.	0.08 acres
10	3449.0 sq. ft.	0.08 acres
11	3451.7 sq. ft.	0.08 acres
12	3179.7 sq. ft.	0.07 acres
13	5567.9 sq. ft.	0.13 acres
14	8794.6 sq. ft.	0.20 acres
15	4107.8 sq. ft.	0.09 acres
16	5921.5 sq. ft.	0.14 acres
17	3816.3 sq. ft.	0.08 acres
18	3081.2 sq. ft.	0.07 acres
19	3041.8 sq. ft.	0.07 acres
20	3313.7 sq. ft.	0.08 acres
21	2596.4 sq. ft.	0.06 acres
22	4154.0 sq. ft.	0.10 acres
23	3911.3 sq. ft.	0.09 acres
24	3083.9 sq. ft.	0.07 acres
25	3058.3 sq. ft.	0.07 acres
26	3650.3 sq. ft.	0.08 acres
TOTAL =		2.46 ACRES

TOTAL PROJECT AREA = 3.01 ACRES  
GENERAL COMMON AREA = 0.55 ACRES  
LIMITED COMMON AREA = 0.00 ACRES  
TOTAL UNIT AREA = 2.46 ACRES

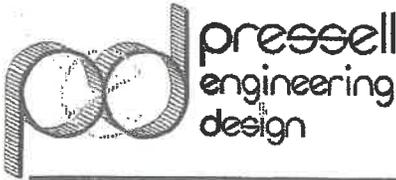


*Delmer E. Porter 12/03/01*  
DATE  
DELMER E. PORTER P.S. # 15410

**SITE PLAN  
(CONTINUED)**

AS-BUILT 12/01/2001

SHEET 3 OF 4



File No. R423.012.090



April 27, 2021

Exhibit D

Date 9.26.23

Cedar Creek Storage Barns  
5306 N 37 Rd  
Manton, MI 49633

Initials KP

Subject: Accessory storage shed frost protection and wind anchorage.

In accordance with the Michigan Building Code MBC 1809.5 exception 1b and the Michigan Residential Code MRC R403.1 exception 1; "Freestanding accessory structures with an area of 600 square feet or less, of light frame construction, with an eave height of 10 feet or less shall not be required" ... to have frost protection. As such all freestanding storage sheds meeting the maximum area of 600 sf and maximum eave height of 10' requirements may be placed on grade with no frost protection.

Wind anchorage for a storage shed constructed on treated wood runners supported on grade shall be provided as follows:

- sheds up of 20 feet in length: 4 earth anchors; 2 on each long side  
Locate a minimum of 12" and a maximum of 24" from each corner
- sheds up to 40 feet in length: 6 earth anchors, 3 on each long side  
Locate a minimum of 12" and a maximum of 24" from each corner and at the center

Earth anchors shall be one of the following:

- auger type with a minimum 30" shank length and single 4" flutes or
- duck bill type with a minimum 1,000 lbs pull out rating

Sheds shall be secured to each earth anchor with either of the following:

1. Anchor strap or cable pre-tensioned snug to limit motion.  
Each anchor strap shall be attached to a suitable bracket, or loop rated at a working load of 350 pounds, anchored through the exterior wall sheathing and into the floor framing rim joist with a minimum of 1- 1/2"Ø thru bolt or 2- 3/8"Ø lag screws.
2. 1-1/2"Ø HDG lag screw with oversized HDG washer.  
The single lag screw shall be anchored through the exterior wall sheathing and into the floor framing rim joist

If you have any questions concerning this information please call this office.

Sincerely,

Mark A. Pressell P.E.

Unit 11 and Unit 12, front and back







STATE OF MICHIGAN )  
COUNTY OF MACKINAC ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the developer\_ (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

*Stephnik McGreevy*  
Signature

SIGNATURES \_\_\_\_\_  
Signature

Stephnik McGreevy  
Please Print Name

\_\_\_\_\_  
Please Print Name

Signed and sworn to before me on the 26 day of September 2023

**BRENDA BUNKER, Notary Public**  
Mackinac County, State of Michigan

*[Signature]*  
Notary Public

Acting in the County of Mackinac  
My Commission Expires: 07/21/2025 County, Michigan  
My commission expires: \_\_\_\_\_

**FOR OFFICE USE ONLY**

Zoning Permit Issued: \_\_\_\_\_

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised July 2023

# City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

## Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

### Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Section X, Itemf.

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- |  |                                     |                                     |
|--|-------------------------------------|-------------------------------------|
| <p>12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.</p> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| <p>13. Proposed construction start date and estimated duration of construction. <b>In the fall 2023</b></p>  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| <p>14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission</p>   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

**Natural Features**

**Provided**

**Not Provided or Applicable**

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| <p>15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)</p> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <p>16. Topography of the site with at least two- to five-foot contour intervals</p>  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <p>17. Proposed alterations to topography or other natural features</p>  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <p>18. Earth-change plans, if any, as required by state law</p>  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Physical Features**

**Provided**

**Not Provided or Applicable**

- |  |                                     |                                     |
|--|-------------------------------------|-------------------------------------|
| <p>19. Location of existing manmade features on the site and within 100 feet of the site</p>   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| <p>20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site</p> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| <p>21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a</p>  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- |  |                                     |                                     |
|--|-------------------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features                               | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)       | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27)  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

Utility Information

Provided

Not Provided or Applicable

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.2) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Date	Description	Amount
12/31/2021	Balance	100.00
1/15/2022	Deposit	50.00
2/10/2022	Withdrawal	25.00
3/5/2022	Deposit	75.00
4/20/2022	Withdrawal	30.00
5/15/2022	Deposit	60.00
6/30/2022	Withdrawal	40.00
7/25/2022	Deposit	80.00
8/10/2022	Withdrawal	20.00
9/5/2022	Deposit	90.00
10/20/2022	Withdrawal	35.00
11/15/2022	Deposit	70.00
12/10/2022	Withdrawal	45.00
1/5/2023	Deposit	85.00
2/20/2023	Withdrawal	30.00
3/15/2023	Deposit	95.00
4/10/2023	Withdrawal	25.00

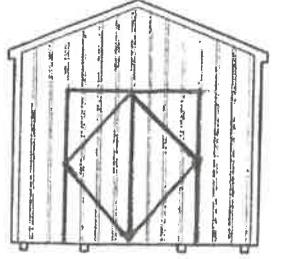
**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

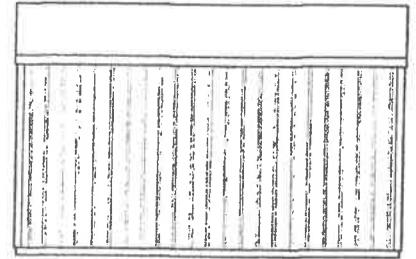
**Architectural Review  
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

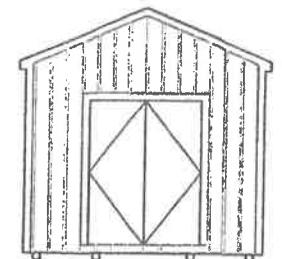
**RECEIVED**  
 SEP 26 2023  
 KP



REAR ELEVATION



SIDE ELEVATION



FRONT ELEVATION

**CODES**  
 MICHIGAN DEPARTMENT OF LICENSING and REGULATORY AFFAIRS, BUREAU OF CONSTRUCTION CODES, MICHIGAN BUILDING CODE (MBC) incorporating the 2015 EDITION of the INTERNATIONAL BUILDING CODE.

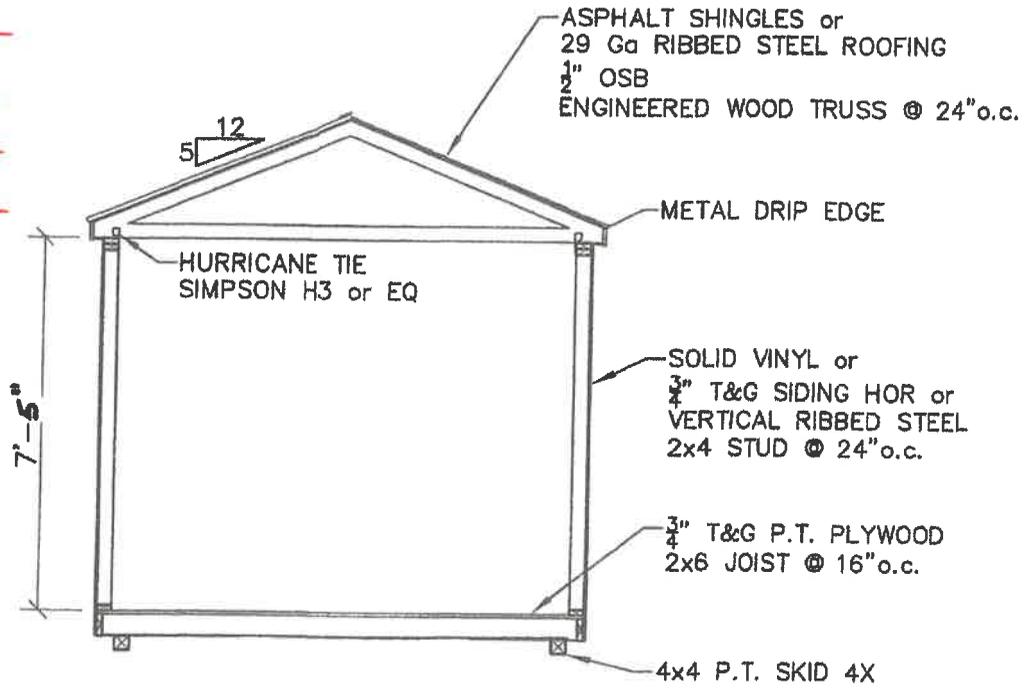
**USE OR OCCUPANCY**  
 OCCUPANCY U, UTILITY

**ENGINEERING DATA**

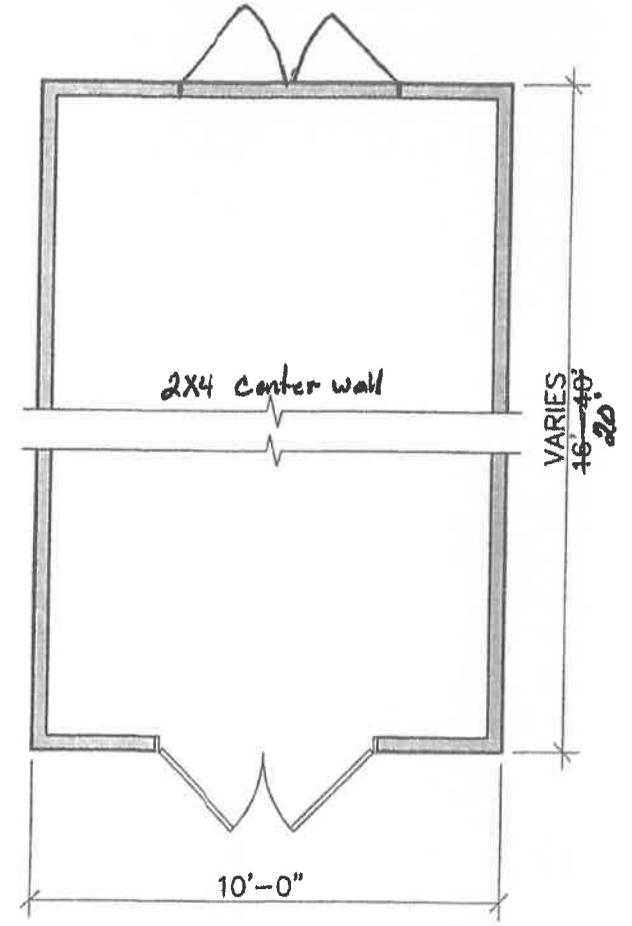
<b>DESIGN LOADS:</b>	
<b>ROOF LOADS:</b>	
GROUND SNOW LOAD, P	70 psf
SNOW EXPOSURE FACTOR, C <sub>e</sub>	1.0
SNOW LOAD IMPORTANCE, I	0.8
THERMAL FACTOR, C <sub>t</sub>	1.2
FLAT ROOF SNOW LOAD, R	70 psf
<b>BASIC WIND SPEED</b>	115 mph

press  
 engineer  
 design  
 8895 W. Kelly  
 Lake City, MI  
 231.639.3986

File No. R423-015-091  
 Exhibit C  
 Date 9.26.23  
 Initials KP



SECTION  
 SCALE: 1/4"=1'-0"



FLOOR PLAN  
 SCALE: 1/4"=1'-0"

PREPARED FOR:  
 Cedar Creek Storage Barns, LLC  
 5306 N 37 Rd  
 Manton, MI 49663

PRODUCT DESCRIPTION:  
 Gable Storage Building  
 10' Wide Gable Roof

DATE:  
 09/10/23

PROJECT:  
 10' W  
 GABLE

LOADING

GROUND SNOW LOAD,  $P_g$ : 70 PSF  
 THERMAL FACTOR,  $C_t$ : 1.2  
 IMPORTANCE FACTOR,  $I$ : 0.8  
 BALANCED,  $T_{CLL}$ : 47 PSF  
 UNBALANCED,  $T_{CLL}$ : 37 PSF  
 $T_{CDL}$ : 10 PSF  
 $B_{CDL}$ : 5 PSF

REACTION

JNT	TYPE	BRG WIDTH	MAX REACTION	MAX UPLIFT
1	WALL	3½"	680 lbs	150 lbs
2	WALL	3½"	680 lbs	150 lbs

MEMBER FORCES

MEMBER	TYPE	MATERIAL	MAX FORCE
1-2, 3-2	TC	2x2 No. 2 SPF	1,760 lbs
1-3	BC	2x4 No. 2 SPF	1,630 lbs

SIDE PLATES

JOINT	PLATE	PLATE SIZE	Ga.
1,2,3	P1	3 x 5	20

PREPARED BY:



pressell  
engineering  
design  
8995 W. Kelly Rd.  
Lake City, MI 49661  
231.839.3969

Section X, Itemf.

PREPARED FOR:

Cedar Creek Storage Barns  
 5306 N 37 Rd  
 Manton, MI 49663

PRODUCT DESCRIPTION:

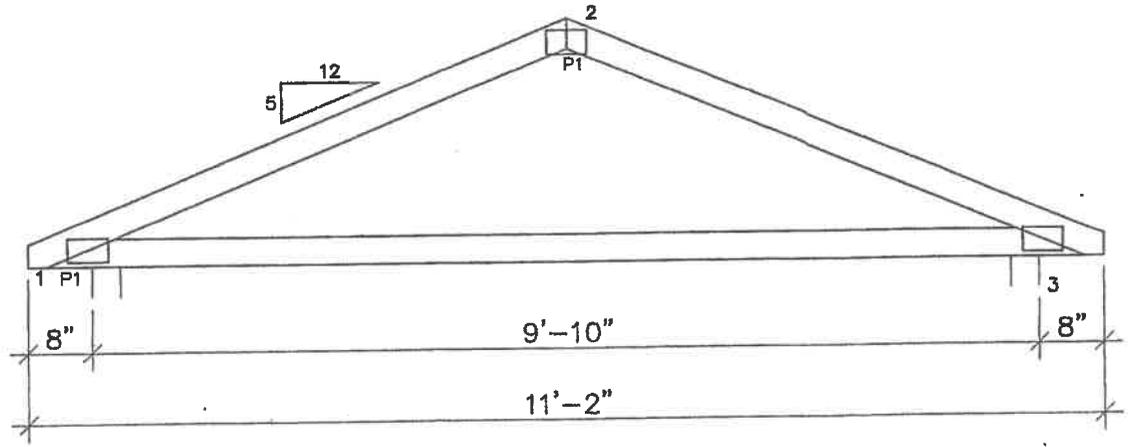
Gable Truss Span: 9'-8"  
 Metal Plate Connected

DATE:  
 04/18/20

Gt-9.8

LOAD SUMMARY

1. This truss has been designed for the effects of wind loads in accordance with ASCE7-10
2. This truss has been designed for the effects of balanced and unbalanced snow loads in accordance with ASCE7-10
3. TC bracing: sheathed or purlins @ 24" o.c.



TRUSS PLAN

SCALE: ½" = 1'-0"

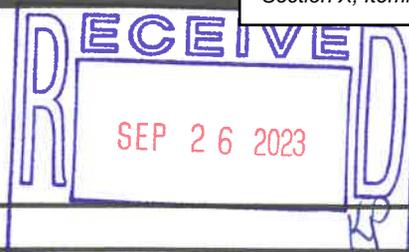
1

# SINGLE FAMILY HOMES MACKINAC ISLAND HOUSING CORP MARSHALL ST MACKINAC ISLAND, 49757

ISSUED: 9/26/2023

DESCRIPTION:  
NEW SINGLE FAMILY HOMES SITE PLAN LOCATIONS.

SCALE: NTS



### PLAN NOTES

- ① EXISTING SINGLE FAMILY UNIT.
- ② EXISTING DUPLEX UNIT.
- ③ ~~EXISTING~~ SINGLE FAMILY UNIT AT UNIT #11.
- ④ ~~EXISTING~~ SINGLE FAMILY UNIT AT UNIT #12.
- ⑤ ~~EXISTING~~ / SINGLE FAMILY UNIT AT UNIT #15.
- ⑥ ~~EXISTING~~ / SINGLE FAMILY UNIT AT UNIT #16.
- ⑦ EXISTING ACCESSORY BUILDING.
- ⑧ PROPOSED NEW ACCESSORY BUILDING FOR NEW SINGLE FAMILY UNITS. BUILDING TO SERVE TWO SINGLE FAMILY UNITS.

### GENERAL NOTES

1. NEIGHBORHOOD IS EXITING AND HAS BEEN GRADED.
2. MINIMAL ALTERNATION TO EXISTING TOPOGRAPHY FOR GRADING AWAY FROM NEW SINGLE FAMILY UNITS.
3. NEW SINGLE FAMILY UNITS ELEVATIONS TO BE 1'-6" ABOVE EXTERIOR GRADE.
4. MAXIMUM HEIGHT OF SINGLE FAMILY UNITS AT 20' FROM FINISH FLOOR.

File No. R423-015-091  
 Exhibit B  
 Date 9-26-23  
 Initials RP

LIBER 501 PAGE 395

PREPARED BY:  
PORTER'S SURVEY P.C.  
21529 M-68 HWY.  
P. O. BOX 159  
ONAWAY, MICHIGAN 49755  
PH. (800) 733-8813

DEVELOPER:  
MACKINAC ISLAND HOUSING CORPORATION  
P.O. BOX 16  
MACKINAC ISLAND, MI. 49757

### MACKINAC ISLAND HOUSING CORPORATION CONDOMINIUM (A SITE CONDOMINIUM)

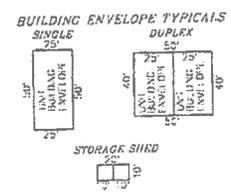
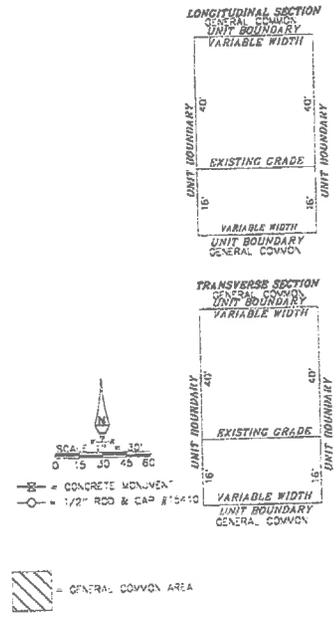
A PART OF LOT 80 OF ASSESSOR'S PLAT OF HARRISONVILLE,  
CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN.

TYPICAL SECTIONS UNITS 1-26  
VERTICAL MEASUREMENTS ARE TO  
BE MADE FROM EXISTING GRADE.  
(NO SCALE)



UNIT AREAS		
UNIT	AREA	ACREAGE
1	5822.1 sq. ft.	(0.13 acres)
2	3890.6 sq. ft.	(0.09 acres)
3	3903.4 sq. ft.	(0.09 acres)
4	3365.2 sq. ft.	(0.08 acres)
5	4344.8 sq. ft.	(0.10 acres)
6	6573.5 sq. ft.	(0.15 acres)
7	4824.7 sq. ft.	(0.11 acres)
8	3444.0 sq. ft.	(0.08 acres)
9	3446.3 sq. ft.	(0.08 acres)
10	3449.0 sq. ft.	(0.08 acres)
11	3451.7 sq. ft.	(0.08 acres)
12	3179.7 sq. ft.	(0.07 acres)
13	5567.9 sq. ft.	(0.13 acres)
14	8794.6 sq. ft.	(0.20 acres)
15	4107.8 sq. ft.	(0.09 acres)
16	5921.9 sq. ft.	(0.14 acres)
17	3616.3 sq. ft.	(0.08 acres)
18	3081.2 sq. ft.	(0.07 acres)
19	3041.8 sq. ft.	(0.07 acres)
20	3313.7 sq. ft.	(0.08 acres)
21	2556.4 sq. ft.	(0.06 acres)
22	4154.0 sq. ft.	(0.10 acres)
23	3911.3 sq. ft.	(0.09 acres)
24	3083.9 sq. ft.	(0.07 acres)
25	3058.3 sq. ft.	(0.07 acres)
26	3650.3 sq. ft.	(0.08 acres)
TOTAL		246 ACRES

TOTAL PROJECT AREA = 3.01 ACRES  
GENERAL COMMON AREA = 0.55 ACRES  
LIMITED COMMON AREA = 0.00 ACRES  
TOTAL UNIT AREA = 2.46 ACRES

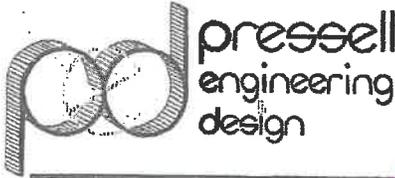


*Delmer E. Porter 12/03/01*  
DATE

**SITE PLAN  
(CONTINUED)**

AS-BUILT 12/01/2001

SHEET 3 OF 4



File No. 8423-015-091  
Exhibit →  
Date 9-26-23  
Initials MP



April 27, 2021

Cedar Creek Storage Barns  
5306 N 37 Rd  
Manton, MI 49633

Subject: Accessory storage shed frost protection and wind anchorage.

In accordance with the Michigan Building Code MBC 1809.5 exception 1b and the Michigan Residential Code MRC R403.1 exception 1; "Freestanding accessory structures with an area of 600 square feet or less, of light frame construction, with an eave height of 10 feet or less shall not be required" ... to have frost protection. As such all freestanding storage sheds meeting the maximum area of 600 sf and maximum eave height of 10' requirements may be placed on grade with no frost protection.

Wind anchorage for a storage shed constructed on treated wood runners supported on grade shall be provided as follows:

- sheds up of 20 feet in length: 4 earth anchors; 2 on each long side  
Locate a minimum of 12" and a maximum of 24" from each corner
- sheds up to 40 feet in length: 6 earth anchors, 3 on each long side  
Locate a minimum of 12" and a maximum of 24" from each corner and at the center

Earth anchors shall be one of the following:

- auger type with a minimum 30" shank length and single 4" flutes or
- duck bill type with a minimum 1,000 lbs pull out rating

Sheds shall be secured to each earth anchor with either of the following:

1. Anchor strap or cable pre-tensioned snug to limit motion.  
Each anchor strap shall be attached to a suitable bracket, or loop rated at a working load of 350 pounds, anchored through the exterior wall sheathing and into the floor framing rim joist with a minimum of 1- 1/2"Ø thru bolt or 2- 3/8"Ø lag screws.
2. 1-1/2"Ø HDG lag screw with oversized HDG washer.  
The single lag screw shall be anchored through the exterior wall sheathing and into the floor framing rim joist

If you have any questions concerning this information please call this office.

Sincerely,

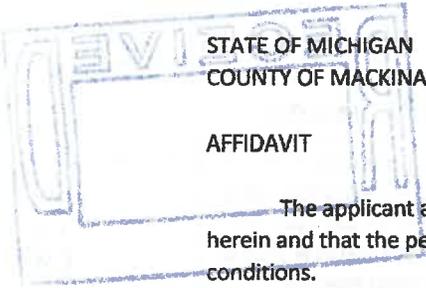
Mark A. Pressell P.E.

Unit 15 and Unit 16









STATE OF MICHIGAN )  
COUNTY OF MACKINAC ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the developer (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

[Signature]  
Signature

SIGNATURES \_\_\_\_\_  
Signature

Stephanie Mc Greevy  
Please Print Name

\_\_\_\_\_  
Please Print Name

Signed and sworn to before me on the 26 day of September 2023

BRENDA BUNKER, Notary Public  
Mackinac County, State of Michigan  
Acting in the County of Mackinac

[Signature]  
Notary Public

My Commission Expires: 07/21/2025 \_\_\_\_\_ County, Michigan  
My commission expires: \_\_\_\_\_

FOR OFFICE USE ONLY

Zoning Permit Issued: \_\_\_\_\_

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised July 2023

# City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

## Site Plan Review Checklist Please Submit With The Application for Zoning Action

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As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

---

### Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Section X, Itemg.

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.
- 13. Proposed construction start date and estimated duration of construction. **In the fall 2023**
- 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission

Natural Features

Provided

Not Provided or Applicable

- 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)
- 16. Topography of the site with at least two- to five-foot contour intervals
- 17. Proposed alterations to topography or other natural features
- 18. Earth-change plans, if any, as required by state law

Physical Features

Provided

Not Provided or Applicable

- 19. Location of existing manmade features on the site and within 100 feet of the site
- 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage, of floor space), and the relationship of buildings to one another and to any existing structures on the site
- 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a

dwelling schedule showing the unit type and number of each such units

- |  |                                     |                                     |
|--|-------------------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features                               | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)       | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27)  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

Utility Information

Provided

Not Provided  
or Applicable

- |   |                          |                                     |
|---|--------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.2 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |



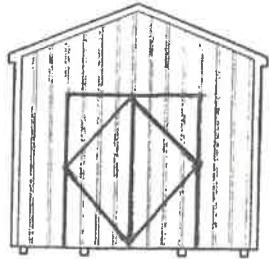
**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

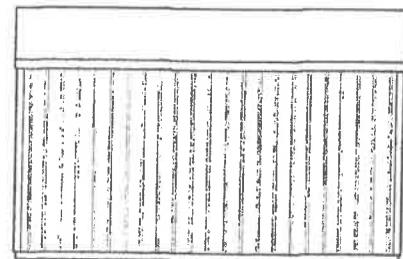
**Architectural Review  
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

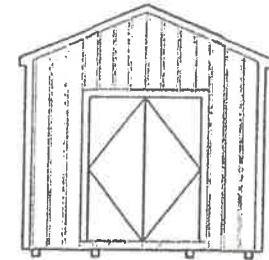
**RECEIVED**  
 SEP 26 2023  
 KP



REAR ELEVATION



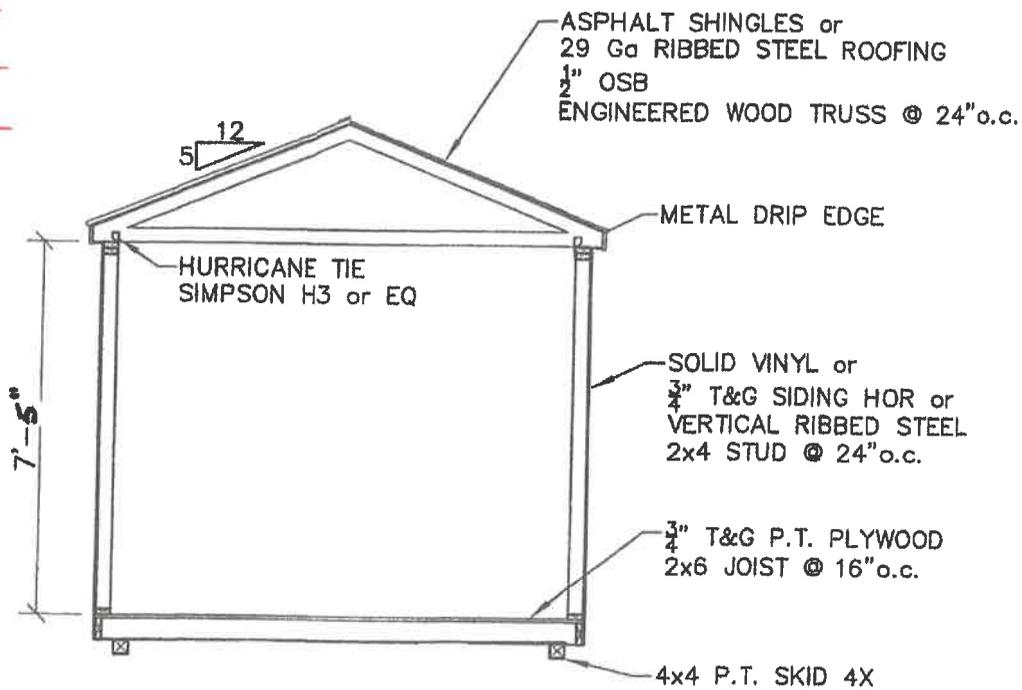
SIDE ELEVATION



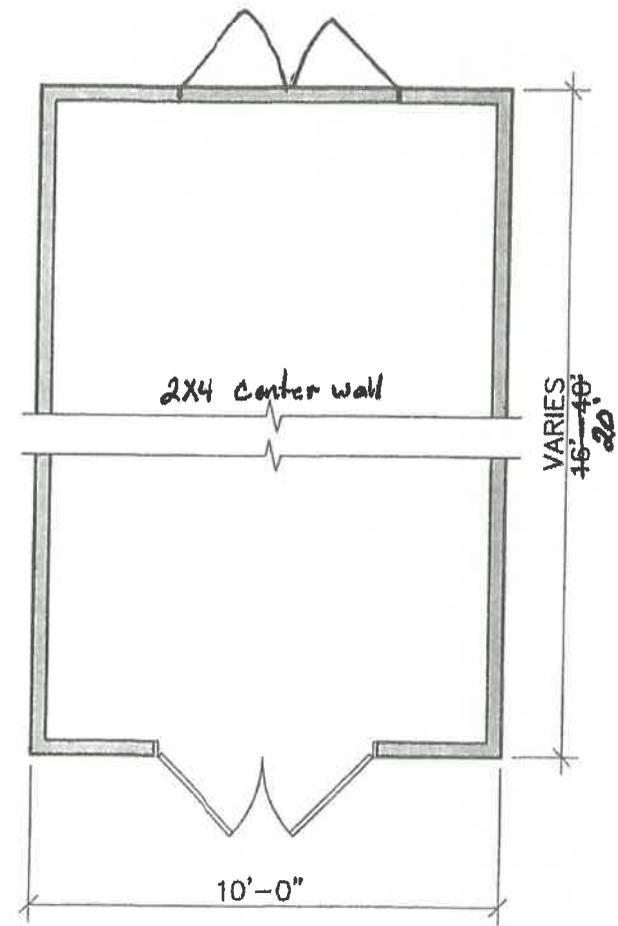
FRONT ELEVATION

<b>CODES</b>	
MICHIGAN DEPARTMENT of LICENSING and REGULATORY AFFAIRS, BUREAU OF CONSTRUCTION CODES, MICHIGAN BUILDING CODE (MBC) Incorporating the 2015 EDITION of the INTERNATIONAL BUILDING CODE.	
USE OR OCCUPANCY	
OCCUPANCY U, UTILITY	
<b>ENGINEERING DATA</b>	
<b>DESIGN LOADS:</b>	
ROOF LOADS:	
GROUND SNOW LOAD, $R_s$	70 psf
SNOW EXPOSURE FACTOR, $C_e$	1.0
SNOW LOAD IMPORTANCE, $I_s$	0.8
THERMAL FACTOR, $C_t$	1.2
FLAT ROOF SNOW LOAD, $R_f$	70 psf
BASIC WIND SPEED	115 mph

File No. R423-016-092  
 Exhibit C  
 Date 9-26-23  
 Initials KP



**SECTION**  
 SCALE: 1/4" = 1'-0"



**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**press**  
 engineer  
 design  
 8895 W. Kelly  
 Lake City, MI  
 231.839.3965

PREPARED FOR:  
 Cedar Creek Storage Bams, LLC  
 5306 N 37 Rd  
 Manton, MI 49663

PRODUCT DESCRIPTION:  
**Gable Storage Building**  
 10' Wide Gable Roof

DATE: 09/10/23  
 PROJECT: 10' W GABLI

**LOADING**

GROUND SNOW LOAD, Pg: 70 PSF  
 THERMAL FACTOR, Ct: 1.2  
 IMPORTANCE FACTOR, I: 0.8  
 BALANCED, TCLL: 47 PSF  
 UNBALANCED, TCLL: 37 PSF  
 TCDL: 10 PSF  
 BCDL: 5 PSF

**REACTION**

JNT	TYPE	BRG WIDTH	MAX REACTION	MAX UPLIFT
1	WALL	3½"	680 lbs	150 lbs
2	WALL	3½"	680 lbs	150 lbs

**MEMBER FORCES**

MEMBER	TYPE	MATERIAL	MAX FORCE
1-2, 3-2	TC	2x2 No. 2 SPF	1,760 lbs
1-3	BC	2x4 No. 2 SPF	1,630 lbs

**SIDE PLATES**

JOINT	PLATE	PLATE SIZE	Ga.
1,2,3	P1	3 x 5	20

PREPARED BY:



**pressell**  
 engineering  
 design

8995 W. Kelly Rd.  
 Lake City, MI 49651  
 231.839.3969

Section X, Itemg.

PREPARED FOR:

Cedar Creek Storage Bams  
 5306 N 37 Rd  
 Manton, MI 49663

PRODUCT DESCRIPTION:

Gable Truss Span: 9'-8"  
 Metal Plate Connected

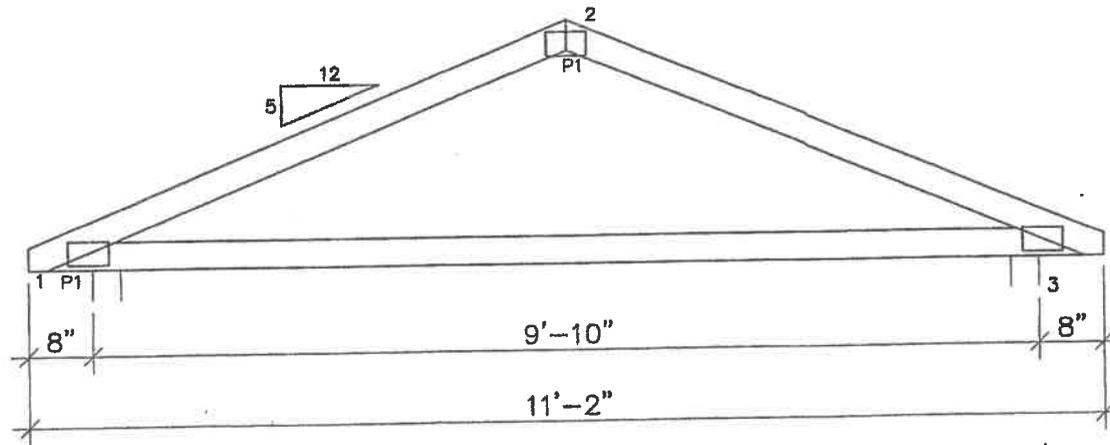
DATE:

04/18/20

Gt-9.8

**LOAD SUMMARY**

1. This truss has been designed for the effects of wind loads in accordance with ASCE7-10
2. This truss has been designed for the effects of balanced and unbalanced snow loads in accordance with ASCE7-10
3. TC bracing: sheathed or purlins @ 24"o.c.



**TRUSS PLAN**

SCALE: ½" = 1'-0"

1

# SINGLE FAMILY HOMES MACKINAC ISLAND HOUSING CORP MARSHALL ST MACKINAC ISLAND, 49757

ISSUED: 9/26/2023

DESCRIPTION:  
NEW SINGLE FAMILY HOMES SITE PLAN LOCATIONS.

SCALE: NTS



### PLAN NOTES

- ① EXISTING SINGLE FAMILY UNIT.
- ② EXISTING DUPLEX UNIT.
- ③ ~~EXISTING~~ SINGLE FAMILY UNIT AT UNIT #11.
- ④ ~~EXISTING~~ SINGLE FAMILY UNIT AT UNIT #12.
- ⑤ ~~EXISTING~~ / SINGLE FAMILY UNIT AT UNIT #15.
- ⑥ ~~EXISTING~~ / SINGLE FAMILY UNIT AT UNIT #16.
- ⑦ EXISTING ACCESSORY BUILDING.
- ⑧ PROPOSED NEW ACCESSORY BUILDING FOR NEW SINGLE FAMILY UNITS. BUILDING TO SERVE TWO SINGLE FAMILY UNITS.

### GENERAL NOTES

1. NEIGHBORHOOD IS EXITING AND HAS BEEN GRADED.
2. MINIMAL ALTERNATION TO EXISTING TOPOGRAPHY FOR GRADING AWAY FROM NEW SINGLE FAMILY UNITS.
3. NEW SINGLE FAMILY UNITS ELEVATIONS TO BE 1'-6" ABOVE EXTERIOR GRADE.
4. MAXIMUM HEIGHT OF SINGLE FAMILY UNITS AT 20' FROM FINISH FLOOR.

File No. R423-016-092  
 Exhibit B  
 Date 9-26-23  
 Initials RP



LIBER 501 PAGE 395

PREPARED BY:  
PORTER'S SURVEY P.C.  
21529 M-68 HWY.  
P. O. BOX 159  
ONAWAY, MICHIGAN 49765  
PH. (989) 733-8813

DEVELOPER:  
MACKINAC ISLAND HOUSING CORPORATION  
P.O. BOX 16  
MACKINAC ISLAND, MI 49757

### MACKINAC ISLAND HOUSING CORPORATION CONDOMINIUM (A SITE CONDOMINIUM)

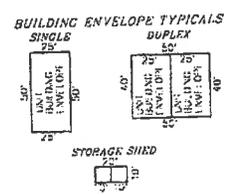
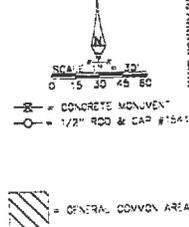
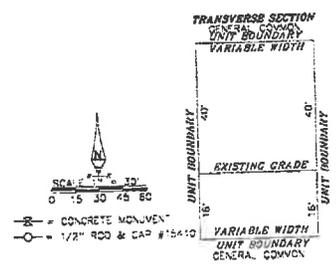
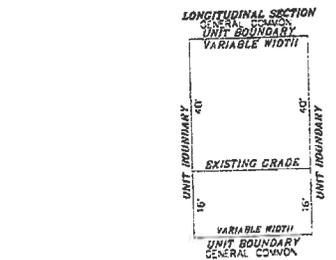
A PART OF LOT 80 OF ASSESSOR'S PLAT OF HARRISONVILLE,  
CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN.

TYPICAL SECTIONS UNITS 1-25  
VERTICAL MEASUREMENTS ARE TO  
BE MADE FROM EXISTING GRADE  
(NO SCALE)



UNIT AREAS		
UNIT	AREA	ACREAGE
1	5622.1 sq. ft.	0.13 acres
2	3890.6 sq. ft.	0.09 acres
3	3903.4 sq. ft.	0.09 acres
4	3365.2 sq. ft.	0.08 acres
5	4344.8 sq. ft.	0.10 acres
6	6575.5 sq. ft.	0.15 acres
7	4824.7 sq. ft.	0.11 acres
8	3444.0 sq. ft.	0.08 acres
9	3446.3 sq. ft.	0.08 acres
10	3449.0 sq. ft.	0.08 acres
11	3451.7 sq. ft.	0.08 acres
12	3179.7 sq. ft.	0.07 acres
13	5587.9 sq. ft.	0.13 acres
14	8794.6 sq. ft.	0.20 acres
15	4107.8 sq. ft.	0.09 acres
16	5921.9 sq. ft.	0.14 acres
17	3816.3 sq. ft.	0.09 acres
18	3081.2 sq. ft.	0.07 acres
19	3041.8 sq. ft.	0.07 acres
20	3313.7 sq. ft.	0.08 acres
21	2596.4 sq. ft.	0.06 acres
22	4154.0 sq. ft.	0.10 acres
23	3911.3 sq. ft.	0.09 acres
24	3083.9 sq. ft.	0.07 acres
25	3058.3 sq. ft.	0.07 acres
26	3650.3 sq. ft.	0.08 acres
TOTAL =		246 ACRES

TOTAL PROJECT AREA = 3.01 ACRES  
GENERAL COMMON AREA = 0.55 ACRES  
LIMITED COMMON AREA = 0.00 ACRES  
TOTAL UNIT AREA = 2.46 ACRES

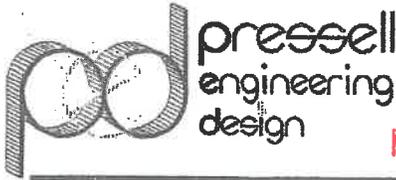


*Delmer E. Porter 12/03/01*  
DELMER E. PORTER P.S. # 15410 DATE

### SITE PLAN (CONTINUED)

AS-BUILT 12/01/2001

SHEET 3 OF 4



File No. R423-016-092  
Exhibit D  
Date 9-26-23  
Initials KP



April 27, 2021

Cedar Creek Storage Barns  
5306 N 37 Rd  
Manton, MI 49633

Subject: Accessory storage shed frost protection and wind anchorage.

In accordance with the Michigan Building Code MBC 1809.5 exception 1b and the Michigan Residential Code MRC R403.1 exception 1; "Freestanding accessory structures with an area of 600 square feet or less, of light frame construction, with an eave height of 10 feet or less shall not be required" ... to have frost protection. As such all freestanding storage sheds meeting the maximum area of 600 sf and maximum eave height of 10' requirements may be placed on grade with no frost protection.

Wind anchorage for a storage shed constructed on treated wood runners supported on grade shall be provided as follows:

- sheds up of 20 feet in length: 4 earth anchors; 2 on each long side  
Locate a minimum of 12" and a maximum of 24" from each corner
- sheds up to 40 feet in length: 6 earth anchors, 3 on each long side  
Locate a minimum of 12" and a maximum of 24" from each corner and at the center

Earth anchors shall be one of the following:

- auger type with a minimum 30" shank length and single 4" flutes or
- duck bill type with a minimum 1,000 lbs pull out rating

Sheds shall be secured to each earth anchor with either of the following:

1. Anchor strap or cable pre-tensioned snug to limit motion.  
Each anchor strap shall be attached to a suitable bracket, or loop rated at a working load of 350 pounds, anchored through the exterior wall sheathing and into the floor framing rim joist with a minimum of 1- 1/2"Ø thru bolt or 2- 3/8"Ø lag screws.
2. 1-1/2"Ø HDG lag screw with oversized HDG washer.  
The single lag screw shall be anchored through the exterior wall sheathing and into the floor framing rim joist

If you have any questions concerning this information please call this office.

Sincerely,

Mark A. Pressell P.E.

Unit 15 and Unit 16





CITY OF MACKINAC ISLAND  
PLANNING COMMISSION & BUILDING DEPARTMENT  
APPLICATION FOR ZONING ACTION



www.cityofmi.org    kep@cityofmi.org    906-847-6190    PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Hoban Hill Property, LLC  
406 Bay Street, Ste. 300, Petoskey, MI 49770  
231-348-6413    jmuray@plunkettcooney.com  
Phone Number    Email Address

Please complete both sides of application.  
The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

- Is The Proposed Project Part of a Condominium Association? Not currently
- Is The Proposed Project Within a Historic Preservation District? No
- Applicant's Interest in the Project (If not the Fee-Simple Owner): Owner
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? No
- Is a Variance Required? No
- Are REU's Required? How Many? No /

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other Deconstruction
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): (See attached Nell Hill survey and description of 3 structures to be deconstructed)
- B. Legal Description of Property: \_\_\_\_\_
- C. Address of Property: \_\_\_\_\_
- D. Zoning District: \_\_\_\_\_
- E. Site Plan Checklist Completed & Attached: \_\_\_\_\_
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) \_\_\_\_\_
- G. Sketch Plan Attached: \_\_\_\_\_
- H. Architectural Plan Attached: \_\_\_\_\_
- I. Association Documents Attached (Approval of project, etc.): \_\_\_\_\_
- J. FAA Approval Documents Attached: \_\_\_\_\_
- K. Photographs of Existing and Adjacent Structures Attached: \_\_\_\_\_

Proposed Construction/Use:

- A. Proposed Construction:
  - New Building
  - Alteration/Addition to Existing Building
  - Other, Specify Deconstruction
- B. Use of Existing and Proposed Structures and Land:
  - Existing Use (If Non-conforming, explain nature of use and non-conformity): File No. B323.007.082
  - Proposed Use: Exhibit A
- C. If Vacant:
  - Previous Use: \_\_\_\_\_
  - Proposed Use: Date 9.19.23
  - Length of Time Parcel Has Been Vacant: initials KP

OFFICE USE ONLY			
FILE NUMBER: <u>B323.007.082</u>	FEE: <u>\$400 -</u>		
DATE: <u>9.12.23</u>	CHECK NO: <u>1263</u>	INITIALS: <u>KP</u>	Revised July 2023

STATE OF MICHIGAN )  
COUNTY OF MACKINAC ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Attorney \_\_\_\_\_ (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

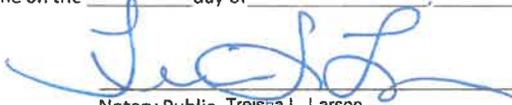
\_\_\_\_\_  
Signature

SIGNATURES   
Signature

\_\_\_\_\_  
Please Print Name

James J. Murray  
Please Print Name

Signed and sworn to before me on the 12<sup>th</sup> day of September 2023.

  
\_\_\_\_\_  
Notary Public, Treisha L. Larson  
Cheboygan County, Michigan, Acting in  
Emmet County, Michigan  
My commission expires: 06/13/2025

**FOR OFFICE USE ONLY**

Zoning Permit Issued: \_\_\_\_\_

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

Revised July 2023

City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review  
Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input checked="" type="checkbox"/>	<input type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- |  |                                     |                          |
|--|-------------------------------------|--------------------------|
| 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 22. Description of Existing and proposed on-site lighting (see also Section 4.27)  | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

- | <u>Utility Information</u>  | <u>Provided</u>                     | <u>Not Provided or Applicable</u> |
|---|-------------------------------------|-----------------------------------|
| 23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand   | <input checked="" type="checkbox"/> | <input type="checkbox"/>          |
| 24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)  | <input checked="" type="checkbox"/> | <input type="checkbox"/>          |
| 25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)  | <input checked="" type="checkbox"/> | <input type="checkbox"/>          |
| 26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26) | <input checked="" type="checkbox"/> | <input type="checkbox"/>          |

**Architectural Review  
Informational Requirements (Section 18.05)**

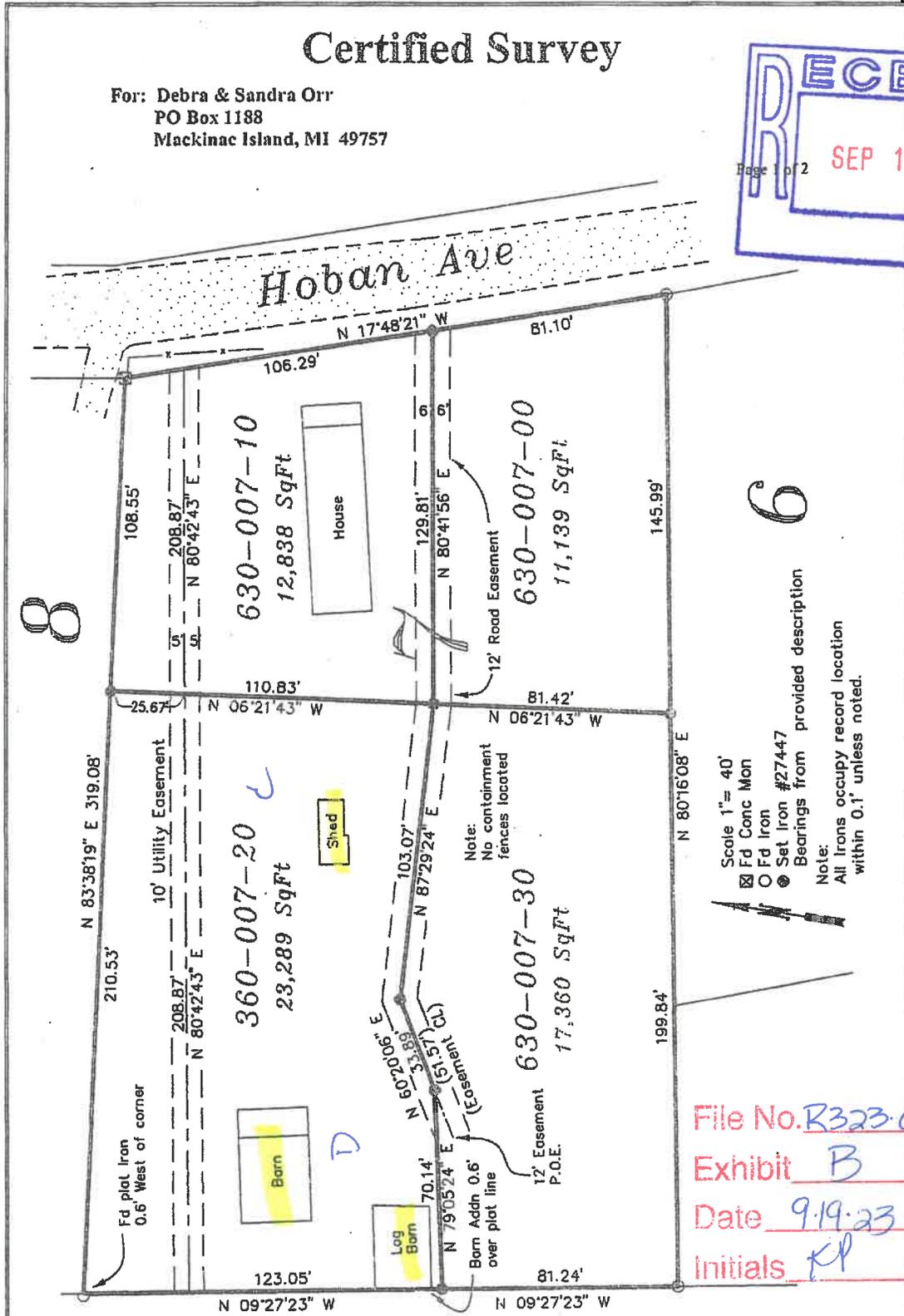
- | <u>Item</u>   | <u>Provided</u>                     | <u>Not Provided or Applicable</u> |
|---|-------------------------------------|-----------------------------------|
| 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership  | <input checked="" type="checkbox"/> | <input type="checkbox"/>          |
| 2. Legal description of the property  | <input checked="" type="checkbox"/> | <input type="checkbox"/>          |
| 3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06) | <input checked="" type="checkbox"/> | <input type="checkbox"/>          |
| 4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.   | <input checked="" type="checkbox"/> | <input type="checkbox"/>          |

**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

# Certified Survey

For: Debra & Sandra Orr  
PO Box 1188  
Mackinac Island, MI 49757



C. 2259 Cadotte  
D 2261 Cadotte

6

Scale 1" = 40'

- Fd Conc Mon
- Fd Iron
- Set Iron #27447

Bearings from provided description

Note:  
All Irons occupy record location within 0.1' unless noted.

File No. R323-007-082

Exhibit B

Date 9-19-23

Initials KL

I certify that this map correctly represents a survey made under my supervision of the land described. The relative error of closure being better than 1 part in 5000; and that the encroachments affecting said land, if any, are located as shown hereon.

By: Neil E. Hill P.S.C.  
Neil E. Hill P.S. #27447  
Registered Land Surveyor

Date: August 20, 2014 (Rev. 12-10-18)  
Order No.: 14-046-Orr-7-APH-MI



429 Ellsworth Street  
St. Ignace, MI 49781  
(906) 643-9418 Phone  
(906) 643-6327 Fax  
info@mackinacsurveys.com



© 2014 This Map May NOT be reproduced without written consent of surveyor

# Certified Survey

For: Debra & Sandra Orr  
PO Box 1188  
Mackinac Island, MI 49757



Page 2 of 2

Provided Descriptions:

051-630-007-00

Beginning at the Southeast corner of Lot 7, Assessor's Plat of Harrisonville, Mackinac Island, Michigan;

Thence N 17-48-21 W 81.10 feet, along the East line of Lot 7;  
thence S 80-41-56-W 129.81 feet;  
thence S 06-21-43 E 81.42 feet, to the South line of Lot 7;  
thence N 80-16-08 E 145.99 feet, to the Point of Beginning.

Subject to any Easements, Restrictions or Reservations of Record.

051-630-007-10

Commencing at the Southeast corner of Lot 7, Assessor's Plat of Harrisonville, Mackinac Island, Michigan;

Thence N 17-48-21 W 81.10 feet, to the Point of Beginning;  
Thence N 17-48-21 W 106.29 feet, along the East line of Lot 7  
thence S 83-38-19 W 108.55 feet, along the North line of Lot 7  
thence S 06-21-43 E 110.83 feet  
thence N 80-41-56 E 129.81 feet, to the Point of Beginning;

Subject to any Easements, Restrictions or Reservations of Record.

051-630-007-20

Beginning at the Northwest corner of Lot 7, Assessor's Plat of Harrisonville, Mackinac Island, Michigan;

Thence N 83-38-19 E 210.53 feet, along the North line of Lot 7;  
thence S 06-21-43 E 110.83 feet;  
thence S 87-29-24 W 103.07 feet;  
thence S 60-20-06 W 33.89 feet;  
thence S 79-05-24 W 70.14 feet, to the West line of Lot 7;  
thence N 09-27-23 W 123.05 feet, along the West line of Lot 7, to the Point of Beginning.

Subject to any Easements, Restrictions or Reservations of Record.

051-630-007-30

Beginning at the Southwest corner of Lot 7, Assessor's Plat of Harrisonville, Mackinac Island, Michigan;

Thence N 09-27-23 W 81.24 feet, along the West line of Lot 7;  
thence N 79-05-24 E 70.14 feet;  
thence N 60-20-06 E 33.89 feet;  
thence N 87-29-24 E 103.07 feet;  
thence S 06-21-43 E 81.42 feet, to the South line of Lot 7;  
thence S 80-16-08 W 199.84 feet, along the South line of Lot 7, to the Point of Beginning.

Subject to any Easements, Restrictions or Reservations of Record.

Note: Easement descriptions not listed.  
(Revision to correct bearing typo)

I certify that this map correctly represents a survey made under my supervision of the land described. The relative error of closure being better than 1 part in 5000; and that the encroachments affecting said land, if any, are located as shown hereon.

By: *Neil E. Hill P.S.*  
Neil E. Hill P.S. #27447  
Registered Land Surveyor



429 Ellsworth Street  
St. Ignace, MI 49781  
(906) 643-9418 Phone  
(906) 643-6327 Fax  
info@mackinacsurveys.com



Date: August 20, 2014 (Rev. 12-10-18)  
Order No.: 14-046-Orr-7-APH-MI

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EXHIBIT A --LEGAL DESCRIPTION OF THE PROPERTY

**051-630-007-00**

Beginning at the Southeast corner of Lot 7, Assessor's Plat of Harrisonville, Mackinac Island, Michigan;

Thence N 17-48-21 W 81.10 feet, along the East line of Lot 7;  
thence S 80-41-56-W 129.81 feet;  
thence S 06-21-43 E 81.42 feet, to the South line of Lot 7;  
thence N 80-16-08 E 145.99 feet, to the Point of Beginning.

Subject to any Easements, Restrictions or Reservations of Record.

**051-630-007-20**

Beginning at the Northwest corner of Lot 7, Assessor's Plat of Harrisonville, Mackinac Island, Michigan;

Thence N 83-38-19 E 210.53 feet, along the North line of Lot 7;  
thence S 06-21-43 E 110.83 feet;  
thence S 87-29-24 W 103.07 feet;  
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thence N 09-27-23 W 123.05 feet, along the West line of Lot 7, to the Point of Beginning.

Subject to any Easements, Restrictions or Reservations of Record.

**051-630-007-30**

Beginning at the Southwest corner of Lot 7, Assessor's Plat of Harrisonville, Mackinac Island, Michigan;

Thence N 09-27-23 W 81.24 feet, along the West line of Lot 7;  
thence N 79-05-24 E 70.14 feet;  
thence N 60-20-06 E 33.89 feet;  
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thence S 06-21-43 E 81.42 feet, to the South line of Lot 7;  
thence S 80-16-08 W 199.84 feet, along the South line of Lot 7, to the Point of Beginning.

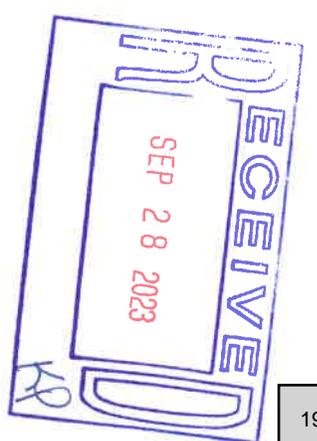
Subject to any Easements, Restrictions or Reservations of Record.

Section X, Itemh.

### Checklist items for Demolition Application

From: Larson, Treisha (tlarson@plunkettcooney.com)  
 To: doudstep2000@yahoo.com  
 Cc: jimurray@plunkettcooney.com  
 Date: Thursday, September 28, 2023 at 12:46 PM EDT

File No. R323-007-08a  
 Exhibit F  
 Date 9-28-23  
 Initials KP



**Site Plan Informational (Demolition)**  
**Requirements (Section 20.04, D)**

1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.

**Response: Provided**

2. Copy of asbestos survey if required by EGLE or other state department.

**Response: Not provided or applicable.**

3. Results of a pest inspection and, if necessary, a pest management plan.

**Response: Not provided or applicable.**

4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.

**Response: Buildings will be replaced by new buildings, see site plans provided.**

5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.

Section X, Itemh.

**Response:** Starting October 12, 2023, the barn will be taken barn apart and materials retained and used to build another structure off island. The work is expected to be completed no later October 20, 2023.

6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.

**Response:** It is fully acknowledged that if any unknown historic or archeological remains are discovered, all work will immediately stop.



**Treisha Larson** Legal Assistant to  
James Murray and Matthew Cross

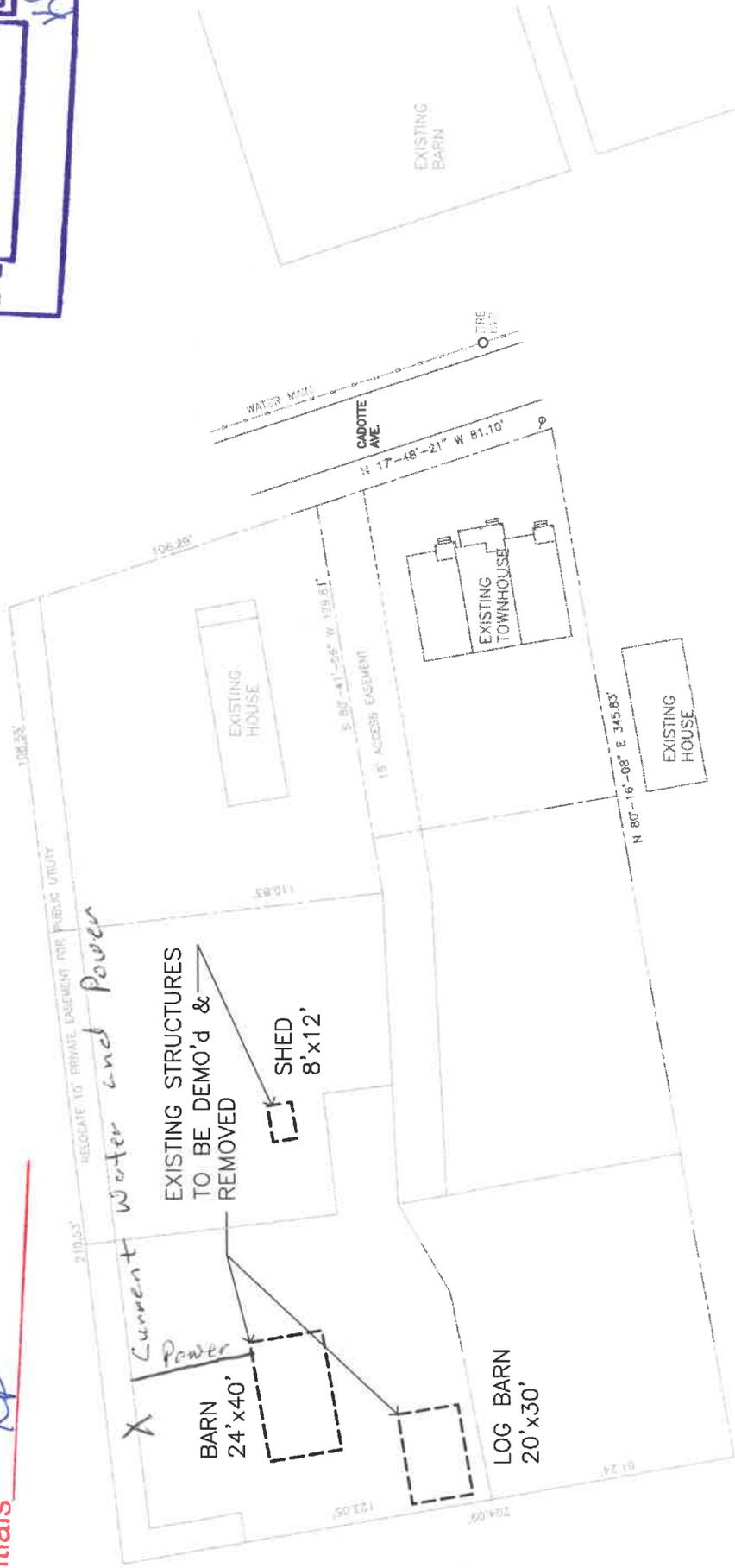
Plunkett Cooney  
Attorneys & Counselors at Law  
T 231.348.6426

[office](#) | [vcard](#) | [web](#)



File No. R323.007.082  
 Exhibit D  
 Date 9.28.23  
 Initials KP

**RECEIVED**  
 SEP 28 2023



<b>Richard Clements Architect, PLLC</b> 15215 Merril Lane Okemos, MI 49759 richardcl@live.com 989-370-3681	<b>HOBAN HILL HOUSING</b>		sheet: <b>X0.0</b> <small>copyright © 2023</small>
	<b>CADOTTE AVENUE</b> <b>MACKINAC ISLAND, MI</b>		date: <b>9.12.23</b> project: <b>1916</b>

Section X, Itemh.





Below is a schedule of meetings for the Mackinac Island **Planning Commission** for the year 2023. All meetings will be held on the second (2<sup>nd</sup>) Tuesday at 4:00 p.m., at the above listed address, **unless otherwise noticed**.

<u>Meeting Date</u>	<u>Submittal Deadline</u>
January 9, 1:00 p.m.	December 26
February 13, 1:00 p.m.	January 30
March 12, 1:00 p.m.	February 27
April 9, 1:00 p.m.	March 26
May 14, 4:00 p.m.	April 30
June 11, 4:00 p.m.	May 28
July 9, 4:00 p.m.	June 25
August 13, 4:00 p.m.	July 30
September 10, 4:00 p.m.	August 27
October 8, 3:00 p.m.	September 24
November 12, 3:00 p.m.	October 29
December 10, 3:00 p.m.	November 26

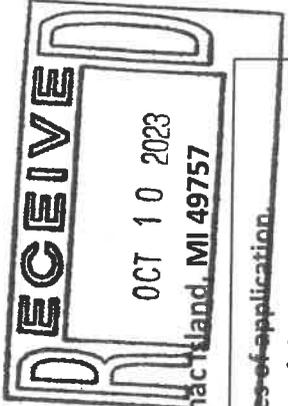
All applications, site plans, architectural reviews, plan revisions and any other required documents must be submitted to the undersigned ten (10) business days prior to the meeting for proper review. Anything received after the ten (10) day requirement will automatically be placed on the agenda for the next regular meeting.

Katie Pereny  
Secretary, Planning Commission  
Posted this day of , 2023



CITY OF MACKINAC ISLAND  
 PLANNING COMMISSION & BUILDING DEPARTMENT  
 APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757



Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

APPLICANT NAME & CONTACT INFORMATION:

Rosemary Lounsbury Mackinac Is  
P.O. Box 589  
506 218 068 Rosemary Lounsbury  
 Phone Number Email Address  
John

Property Owner & Mailing Address (If Different From Applicant)

- Is The Proposed Project Part of a Condominium Association? no
- Is The Proposed Project Within a Historic Preservation District? yes
- Applicant's Interest in the Project (If not the Fee-Simple Owner): no
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? no
- Is a Variance Required? no
- Are REU's Required? How Many? no

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other Lot Split / Condominium

- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051 575 080 00
- B. Legal Description of Property: Lot 5 Block 7 Assessors Plat 4
- C. Address of Property: 7736 Mahoney Ave
- D. Zoning District: \_\_\_\_\_
- E. Site Plan Checklist Completed & Attached: \_\_\_\_\_
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) \_\_\_\_\_
- G. Sketch Plan Attached: \_\_\_\_\_
- H. Architectural Plan Attached: \_\_\_\_\_
- I. Association Documents Attached (Approval of project, etc.): \_\_\_\_\_
- J. FAA Approval Documents Attached: \_\_\_\_\_
- K. Photographs of Existing and Adjacent Structures Attached: \_\_\_\_\_

Proposed Construction/Use:

- A. Proposed Construction: \_\_\_\_\_  
 New Building  
 Other, Specify \_\_\_\_\_  
 \_\_\_\_\_ Alteration/Addition to Existing Building

- B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity): Residential

Proposed Use: Residential

- C. If Vacant: \_\_\_\_\_

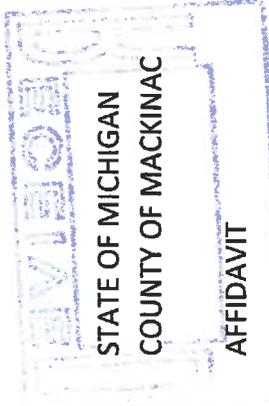
Previous Use: NA

Proposed Use: \_\_\_\_\_  
 Length of Time Parcel Has Been Vacant: \_\_\_\_\_

OFFICE USE ONLY

FILE NUMBER: \_\_\_\_\_ FEE: \_\_\_\_\_

DATE: \_\_\_\_\_ CHECK NO: \_\_\_\_\_ INITIALS: \_\_\_\_\_ Revised July 2023



STATE OF MICHIGAN )  
COUNTY OF MACKINAC ) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

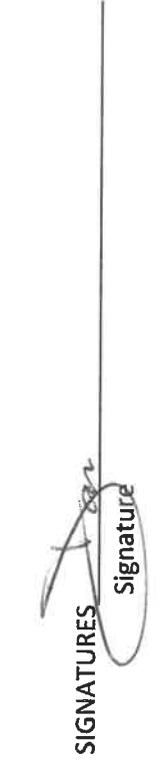
- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**

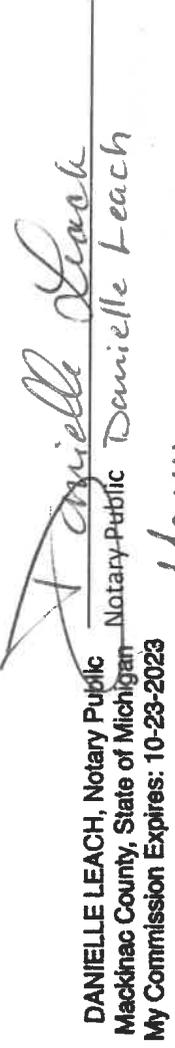
  
Signature

Rosemary Lounsbury  
Please Print Name

  
SIGNATURES  
Signature

Danielle Leach  
Please Print Name

Signed and sworn to before me on the 10 day of October, 2023.

  
DANIELLE LEACH, Notary Public  
Mackinac County, State of Michigan  
My Commission Expires: 10-23-2023

Mackinac County, Michigan  
My commission expires: 10-23-2023

Zoning Permit Issued: \_\_\_\_\_  
**FOR OFFICE USE ONLY**

Inspection Record:	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued \_\_\_\_\_

# City of Mackinac Island

7358 Market Street  
P.O. Box 455  
Mackinac Island, MI 49757

## Site Plan Review Checklist

### Please Submit With The Application for Zoning Action

---

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

**NOTE:** The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at [www.cityofmi.org](http://www.cityofmi.org).

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For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

---

### Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Site Plan Informational  
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input type="checkbox"/>
12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.	<input type="checkbox"/>	<input type="checkbox"/>
13. Proposed construction start date and estimated duration of construction.	<input type="checkbox"/>	<input type="checkbox"/>
14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input type="checkbox"/>
16. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input type="checkbox"/>
17. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input type="checkbox"/>
18. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
19. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input type="checkbox"/>
20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input type="checkbox"/>
21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units	<input type="checkbox"/>	<input type="checkbox"/>
22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features	<input type="checkbox"/>	<input type="checkbox"/>
23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)	<input type="checkbox"/>	<input type="checkbox"/>
24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)	<input type="checkbox"/>	<input type="checkbox"/>
25. Description of Existing and proposed on-site lighting (see also Section 4.27)	<input type="checkbox"/>	<input type="checkbox"/>

<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input type="checkbox"/>
27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input type="checkbox"/>
28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input type="checkbox"/>	<input type="checkbox"/>

29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.2



**Site Plan Informational (Demolition)  
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input type="checkbox"/>

**Architectural Review  
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input type="checkbox"/>

**REQUEST for LOT SPLIT**

Made pursuant to Section 58-32 (Division of Platted Lot),  
Of Article II (Subdivision) of the City of Mackinac Island  
Code of Ordinances

1. The Applicant, Mackinac Island School District, is the owner of a parcel of land in the City of Mackinac Island, Mackinac County, Michigan, commonly known as 7846 Main Street and is described as Out Lot 3, Block 10, Assessor's Plat #5 (EXC BEG AT THE SW COR OF LOT 2 BLOCK 7 ASSR'S PLAT NO. 4, TH N 52 DEG 32'00"W 79.00 FT ALG HURON ST, TH N 37 DEG 28'00"E 250.00 FT, TH S 52 DEG 32'00"E 79.00 FT, TH S 37 DEG 28'00"W 250.00 FT ALG LINE BET ASSR'S PLATS 4 AND 5 TO POB) (Tax Parcel No. 051-600-004-00). This parcel shall be referred to in this Request as "the School District Parcel."

2. A parcel of land immediately to the Southeast and adjacent to the School District Parcel is owned by Rosemary Lounsbury, is commonly known as 7736 and 7740 Mahoney Avenue and is described as Lot 5, Block 7, Assessor's Plat #4 (Tax Parcel No. 051-575-080-00). This parcel shall be referred to in this Request as "the Lounsbury Parcel."

3. The Applicant is requesting that a small portion of the School District Parcel be split from the School District Parcel so that it may be added to the Lounsbury Parcel. This 164 Square foot portion, which shall be referred to in this Request as "the Split Portion" is described as follows:

Commencing at the Northeast corner of Lot 5, Block 7, Assessor's Plat #4, City of Mackinac Island, Mackinac County, Michigan; thence N 52°15'49" W 119.54 feet, (119' rec.) to the Northwest corner of Lot 5, and the Point of Beginning of this description; thence S 38°41'55" W 45.07 feet along the Western boundary of said Lot 5; thence N 51°18'05" W 3.30 feet; thence N 37°48'30" E 45.01 feet, one foot Northwesterly of an existing building wall; thence S 52°15'49" E 4.00 feet along an extension of the Northern line of Lot 5 to the Point of Beginning; containing 164 Sq Ft in Out Lot 3, Block 10, Assessor's Plat #5, City of Mackinac Island, Mackinac County, Michigan.

4. The purpose of this Request is to resolve an existing encroachment of Rosemary Lounsbury's residence approximately 2.6 feet onto the School District Parcel. Subject to certain conditions, the School District has approved the conveyance of the Split Portion to Rosemary Lounsbury. This lot split will not result in the change of any existing uses; the Applicant is not aware of any negative impact as a result of this lot split.

5. A survey sketch of the Split Portion is attached.

6. If this lot split were to be granted, allowing the Split Portion to be conveyed to Rosemary Lounsbury, the legal description of the resulting School District Parcel would then be as follows:

Out Lot 3, Block 10, Assessor's Plat #5 (EXC BEG AT THE SW COR OF LOT 2 BLOCK 7 ASSR'S PLAT NO. 4, TH N 52 DEG 32'00"W 79.00 FT ALG HURON ST, TH N 37 DEG 28'00"E 250.00 FT, TH S 52 DEG 32'00"E 79.00 FT, TH S 37 DEG 28'00"W 250.00 FT ALG LINE BET ASSR'S PLATS 4 AND 5 TO POB; and excluding Commencing at the Northeast corner of Lot 5, Block 7, Assessor's Plat #4, City of Mackinac Island, Mackinac County, Michigan; thence N 52°15'49" W 119.54 feet, (119' rec.) to the Northwest corner of Lot 5, and the Point of Beginning of this description; thence S 38°41'55" W 45.07 feet along the Western boundary of said Lot 5; thence N

51°18'05" W 3.30 feet; thence N 37°48'30" E 45.01 feet, one foot Northwesterly of an existing building wall; thence S 52°15'49" E 4.00 feet along an extension of the Northern line of Lot 5 to the Point of Beginning).

The legal description of the resulting Lounsbury Parcel would then be as follows:

Lot 5, Block 7, Assessor's Plat #4; ALSO Commencing at the Northeast corner of Lot 5, Block 7, Assessor's Plat #4, thence N 52°15'49" W 119.54 feet, (119' rec.) to the Northwest corner of Lot 5, and the Point of Beginning of this description; thence S 38°41'55" W 45.07 feet along the Western boundary of said Lot 5; thence N 51°18'05" W 3.30 feet; thence N 37°48'30" E 45.01 feet, one foot Northwesterly of an existing building wall; thence S 52°15'49" E 4.00 feet along an extension of the Northern line of Lot 5 to the Point of Beginning; containing 164 Sq Ft in Out Lot 3, Block 10, Assessor's Plat #5, City of Mackinac Island, Mackinac County, Michigan.

Mackinac Island School District,  
As Joint Applicant

By: \_\_\_\_\_  
Jason St. Onge, Its President

Date:

The above Joint Request is approved:

City of Mackinac Island

By: \_\_\_\_\_

Name:  
Title:

Date:

**PETITION FOR LOT RECOMBINATION  
OF PART OF OUTLOT 3, ASSESSOR’S PLAT #5  
AND LOT 5 OF BLOCK 7, ASSESSOR’S PLAT #4**

The undersigned Applicants petition the City Council of the City of Mackinac Island to recombine certain platted lots, pursuant to MCL 560.259 and MCL 560.263, which lots are solely owned by: Mackinac Island School District, 7846 Main Street, Mackinac Island, Michigan, 49757, and Rosemary Lounsbury, P.O. Box 387, Mackinac Island, Michigan, 49757 (the “Property Owners”).

**A. The lots owned by the Property Owners are referred to as the “Existing Parcels” and legally described and depicted on the Certified Survey attached hereto as Exhibit “A” (collectively, the “Lots”) and as follows:**

Mackinac Island School District Parcel (Part of Outlot 3) – Part of Tax Parcel ID: 051-600-004-00

Rosemary Lounsbury Parcel (Lot 5 of Block 7) – Tax Parcel ID: 051-575-080-00

**B. The Lots after the completion of the recombination are referred to as the “Revised Parcels” and are legally described as follows:**

Mackinac Island School District Parcel: Out Lot 3, Block 10, Assessor’s Plat #5 (EXC BEG AT THE SW COR OF LOT 2 BLOCK 7 ASSR'S PLAT NO. 4, TH N 52 DEG 32'00"W 79.00 FT ALG HURON ST, TH N 37 DEG 28'00"E 250.00 FT, TH S 52 DEG 32'00"E 79.00 FT, TH S 37 DEG 28'00"W 250.00 FT ALG LINE BET ASSR'S PLATS 4 AND 5 TO POB; and excluding Commencing at the Northeast corner of Lot 5, Block 7, Assessor's Plat #4, City of Mackinac Island, Mackinac County, Michigan; thence N 52°15'49" W 119.54 feet, (119' rec.) to the Northwest corner of Lot 5, and the Point of Beginning of this description; thence S 38°41'55" W 45.07 feet along the Western boundary of said Lot 5; thence N 51°18'05" W 3.30 feet; thence N 37°48'30" E 45.01 feet, one foot Northwesterly of an existing building wall; thence S 52°15'49" E 4.00 feet along an extension of the Northern line of Lot 5 to the Point of Beginning).

Lounsbury Parcel:

Lot 5, Block 7, Assessor’s Plat #4; ALSO Commencing at the Northeast corner of Lot 5, Block 7, Assessor's Plat #4, thence N 52°15'49" W 119.54 feet, (119' rec.) to the Northwest corner of Lot 5, and the Point of Beginning of this description; thence S 38°41'55" W 45.07 feet along the Western boundary of said Lot 5; thence N 51°18'05" W 3.30 feet; thence N 37°48'30" E 45.01 feet, one foot Northwesterly of an existing building wall; thence S 52°15'49" E 4.00 feet along an extension of the Northern line of Lot 5 to the Point of Beginning; containing 164 Sq Ft in Out Lot 3, Block 10, Assessor's Plat #5, City of Mackinac Island, Mackinac County, Michigan.

**C. The Lots are in the following zone under the City Zoning Ordinance:**

Mackinac Island School District Parcel: ROS Recreation/Open Space

Lounsbury Parcel: R3 High Density Residential

**D. What is the purpose of the request to recombine the Lots?**

To resolve an existing encroachment of the Lounsbury residence approximately 2.6 feet on to the School District Parcel.

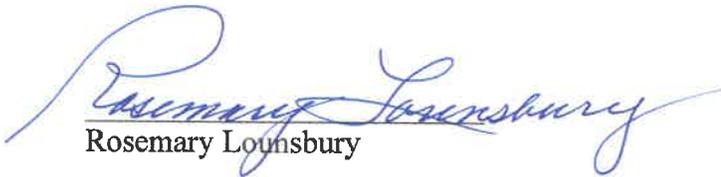
**E. The undersigned represent that the Lots are not encumbered by a mortgage.**

Dated this \_\_\_\_ day of \_\_\_\_\_, 2023

**Applicants:**

**Mackinac Island School District**

By: \_\_\_\_\_  
Jason St. Onge, Its President

  
Rosemary Lounsbury

# LAND DIVISION APPLICATION

Section X, Itemj.

**Mail to:**  
Mackinac County Equalization Department  
100 Marley street, Room 115  
St. Ignace, MI 49781  
(906)643-7310  
(906)643-8123 fax

**Fee Schedule:**  
\$100.00 Per requested division  
Payable To: Mackinac County Equalization Dept.

**Taxing Jurisdiction:** City of Mackinac Island      **Parcel Identification number:** 49-051-600-004-00

You must answer all questions and include all attachments and fees or application will be returned to you.

**APPLICANT:** Name: Mackinac Island School District

Address: 7846 Main Street  
City, State, Zip: Mackinac Island, MI 49757  
Contact phone no. : (906) 847-3376

application will be returned to  
this address after processing unless  
alternate address is provided

**Location of parent parcel/tract to be split:**

Address: 7846 Main Street

**Legal Description of Parent Parcel/Tract:** Out Lot 3, Block 10, Assessor's Plat #5 (EXC BEG AT THE SW COR OF LOT 2 BLOCK 7 ASSR'S PLAT NO. 4, TH N 52 DEG 32'00"W 79.00 FT ALG HURON ST, TH N 37 DEG 28'00"E 250.00 FT, TH S 52 DEG 32'00"E 79.00 FT, TH S 37 DEG 28'00"W 250.00 FT ALG LINE BET ASSR'S PLATS 4 AND 5 TO POB)

**Property Owner (if different from applicant):** same

**Division(s) Proposed:**

- A. Number of new parcels to be created: none, the parcel being split off of the Parent Parcel will be recombined with the existing Lounsbury parcel to the Southeast.
- B. Intended Use: Residential
- C. Is proposed division accessible by an existing public road? Yes, access will be through the existing Lounsbury parcel which is located on Mahoney Avenue.

**Write or attach a legal description for each proposed division and its access road/easement.**(identify each proposed division parcel, (i.e. Parcel "A" described as:, Parcel "B" described as:, access to parcel A described as: etc.) See attached sketch and legal descriptions. Access is not based on a recorded or described easement.

**Are any division rights being conveyed to the proposed new parcel(s)?** NO

If so, list the parcel which is receiving division rights and how many it will receive. (Ex: Parcel A will receive 2 additional division rights). Note: any division rights given to newly created parcels will be deducted from the maximum allowable divisions the parent parcel/tract had prior to application.

Parcel _____	Division Rights given: _____	Parcel _____	Division Rights Given _____
Parcel _____	Division Rights given: _____	Parcel _____	Division Rights Given _____

**A. Development site limits:** (check each which represents a condition which exists or may exist on the parent parcel and describe affected area on drawing or site map listed in item AB@ below)

- Any part of the parcel is in a DNR / DEQ designated critical sand dune area
- The parcel is riparian or littoral
- Any part of the parcel effected by a Lake Michigan high risk erosion setback
- Any part of the parcel includes a wetland
- Any part of the parcel includes a beach
- Any part of the parcel is within a flood plain
- Any part of the parcel slopes more than 20 percent

**B. Attach a scale drawing or site map showing the following:** Parent parcel or tract boundaries (as of 03/31/1997)

- Boundaries of previous divisions made after 03/31/1997: (none)
- Each proposed division, with dimensions: See attached
- Access and utility easement to each division if necessary: n/a
- Any existing buildings or improvements on parent parcel or tract: see attached
- Any area subject to possible limitations listed in A above: none

**C. Indication of permit from County Road Commission or MDOT for each proposed new road, easement, or shared driveway:** n/a

**AFFIDAVIT AND PERMISSION** for municipal, county and state officials to enter the property for inspections: I agree the statements made are true, and if found not to be true, any approval will be void. Further, I agree to comply with the conditions and regulations provided with this parent parcel division. Further, I give permission for officials of the municipality, county or State of Michigan to enter the property where this parcel division is proposed for purposes of inspection. Finally, I understand this is only a parcel division which conveys certain rights under the applicable local ordinance and the State of Michigan Land Division Act (formally PA 288 of 1967 as amended PA 591 of 1996) and does not include any representation or conveyance of certain rights in any other statute, building code, zoning ordinance, deed restriction or other property rights.

**FINALLY**, even if this division is approved, I understand zoning, local ordinances and State Acts change from time to time, and if changed, the divisions made here must comply with the new requirements (apply for division approval again) unless deeds, land contracts, leases or surveys representing the approved divisions are recorded with the Register of Deeds or the division is built upon before the changes to laws are made.

**Property Owner's Signature** \_\_\_\_\_ **Date** \_\_\_\_\_

**REVIEWERS ACTION**

\_\_\_\_\_ **Approved - Conditions if any: Subject to local zoning**

\_\_\_\_\_ **Denied - Reasons:**

**Reviewers Signature and date** \_\_\_\_\_

**RESOLUTION NO. 2023 - \_\_\_\_\_**

At a regular meeting of the **City Council of the City of Mackinac Island**, held the \_\_\_\_ day of \_\_\_\_\_, 2023 at \_\_\_\_\_ a.m./p.m., the following resolution was offered by Council person \_\_\_\_\_ and seconded by Council person \_\_\_\_\_.

The Mackinac Island School District requests the City Council consider that certain Request For Lot Split of a portion of Out Lot 3, Block 10, Assessor’s Plat #5 dated \_\_\_\_\_, 2023, and attached hereto as Exhibit “A”;

The Mackinac Island Scoll District and Rosemary Lounsbury also request the City Council consider that certain Petition for Lot Recombination of said portion of Out Lot 3 with the Lounsbury Parcel Lot 5, Block 7, Assessor’s Plat #4 dated \_\_\_\_\_, 2023 and attached hereto as Exhibit “B”. Said Petition depicts the lots before and after the recombination.

BE IT RESOLVED, that pursuant to Section 263 of the Subdivision Control Act (Act 288 of 1967) as amended, the foregoing lots, currently known as said Out Lot 3 (Tax Parcel ID: 051-600-004-00) and said Lot 5 (Tax Parcel ID: 051-575-080-00), may be recombined and said new lots being set forth below:

**Resulting Mackinac Island School District Parcel:**

Out Lot 3, Block 10, Assessor’s Plat #5 (EXC BEG AT THE SW COR OF LOT 2 BLOCK 7 ASSR'S PLAT NO. 4, TH N 52 DEG 32'00"W 79.00 FT ALG HURON ST, TH N 37 DEG 28'00"E 250.00 FT, TH S 52 DEG 32'00"E 79.00 FT, TH S 37 DEG 28'00"W 250.00 FT ALG LINE BET ASSR'S PLATS 4 AND 5 TO POB; and excluding Commencing at the Northeast comer of Lot 5, Block 7, Assessor's Plat #4, City of Mackinac Island, Mackinac County, Michigan; thence N 52°15'49" W 119.54 feet, (119' rec.) to the Northwest comer of Lot 5, and the Point of Beginning of this description; thence S 38°41'55" W 45.07 feet along the Western boundary of said Lot 5; thence N 51°18'05" W 3.30 feet; thence N 37°48'30" E 45.01 feet, one foot Northwesterly of an existing building wall; thence S 52°15'49" E 4.00 feet along an extension of the Northern line of Lot 5 to the Point of Beginning).

**Resulting Rosemary Lounsbury Parcel:**

Lot 5, Block 7, Assessor’s Plat #4; ALSO Commencing at the Northeast comer of Lot 5, Block 7, Assessor's Plat #4, thence N 52°15'49" W 119.54 feet, (119' rec.) to the Northwest comer of Lot 5, and the Point of Beginning of this description; thence S 38°41'55" W 45.07 feet along the Western boundary of said Lot 5; thence N 51°18'05" W 3.30 feet; thence N 37°48'30" E 45.01 feet, one foot Northwesterly of an existing building wall; thence S 52°15'49" E 4.00 feet along an extension of the Northern line of Lot 5 to the Point of Beginning; containing 164 Sq Ft in Out Lot 3, Block 10, Assessor's Plat #5, City of Mackinac Island, Mackinac County, Michigan.

Those voting “Yes”:

\_\_\_\_\_  
\_\_\_\_\_

Those voting "No":

\_\_\_\_\_  
\_\_\_\_\_

Those abstaining:

\_\_\_\_\_  
\_\_\_\_\_

The Resolution was declared adopted / denied.

CITY OF MACKINAC ISLAND  
CITY COUNCIL

\_\_\_\_\_  
, City Clerk

I, \_\_\_\_\_, the duly qualified and acting Clerk of the City of Mackinac Island, do hereby certify that the foregoing is a true and complete copy of a resolution adopted by the City Council of the City of Mackinac Island at a meeting held on \_\_\_\_\_, 2023, the original of which is on file in my office. Public notice of said meeting was given pursuant to and in compliance with Act No. 267, Public Acts of Michigan, 1976, as amended.

IN WITNESS WHEREOF, I have affixed my official signature this \_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
, City Clerk