

CITY OF MACKINAC ISLAND

AGENDA

PLANNING COMMISSION

Tuesday, September 10, 2024 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

II. Roll Call

III. Pledge of Allegiance

IV. Approval of Minutes

[a.](#) August 13, 2024

V. Adoption of Agenda

VI. Correspondence

VII. Staff Report

a. HDC Meeting Summary

b. DPW Update

VIII. Committee Reports

a. Master Plan Update

IX. Old Business

[a.](#) R324-008-047(H) Doud Mission House Relocation

[b.](#) HB24-026-046(H) Harbour View Inn Fire Escape

X. New Business

[a.](#) R424-077-0551 White Fence Replacement

[b.](#) C24-057-055(H) GHMI Merchants Building Reno

[c.](#) C24-055/56-056(H) Benser Mr. B's Murdicks Lot Combo Application

[d.](#) C24-055/56-056(H) Benser Mr. B's Murdicks Zoning App

[e.](#) R324-008-057(H) Benser New Home

[f.](#) HB24-013-058 Stonecliffe Properties New Kitchen

[g.](#) HB24-013/001-059 Stonecliffe Properties Lot Combination

XI. Public Comment

XII. Adjournment

MINUTES

PLANNING COMMISSION

Tuesday, August 13, 2024 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

The meeting was called to order at 4:00 PM.

II. Roll Call

PRESENT

Trish Martin

Jim Pettit 4:08 PM

Michael Straus

Anneke Myers

Ben Mosley 4:19 PM

Mary Dufina

Lee Finkel

Staff Erin Evashevski

III. Pledge of Allegiance

IV. Approval of Minutes

a. July 9, 2024

Motion to approve as written.

Motion made by Finkel, Seconded by Martin.

Voting Yea: Martin, Straus, Myers, Dufina, Finkel

V. Adoption of Agenda

Motion to approve as amended. Amendment was to add "Grand Hotel Lot Split Discussion" under New Business.

Motion made by Finkel, Seconded by Martin.

Voting Yea: Martin, Straus, Myers, Dufina, Finkel

VI. Correspondence

None

VII. Staff Report

a. HDC Meeting Summary

Pereny summarized the meeting.

b. REU Update

Burt presented an overview site plan of work being done. They are currently backfilling around the site and raising ground level a little bit for drainage. Burt then presented some photographs of work being done including hydraulic testing of tanks, and forms for a platform to be installed. One crack per tank was found that will be sealed. Burt pointed out the seals that could allow for future increased capacity. Within a month they will be done with the existing tanks and foundations and will start on the next two buildings. Burt stated they are still right on schedule. Burt stated he needed to leave but there are REU's for the projects on the agenda tonight.

VIII. Committee Reports

a. Master Plan Update

Myers stated there was an open house yesterday, August 12th. Adam young was there to run the open house. Myers stated about 25 people attended. The plan is still in draft form so they are still taking comments. Myers requested any comments to be mailed to her and she will get to Young. The Committee is meeting again September 9 at 4:00 PM. Barnwell requested a red line version. Myers will get him the comparison that Young prepared. Doud asked about the timeline for completion. After September 9 meeting then Evashevski will review and other municipalities must have the option to review for 45 days and then it can be adopted by Council.

IX. Old Business

a. MD23-026-085(H) Rose Gazebo Front Deck Amendment

Dombroski stated they want to add a deck like the deck on the Gull building. Motion to approve.

Motion made by Myers, Seconded by Finkel.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

b. MD23-011-072(H) Lenox Permit Extension Request

Dombroski stated that McGreevy was not able to attend the meeting. There are no changes they just didn't have time to start the job. Motion to approve.

Motion made by Finkel, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

c. R423-051-005 Harbour View Inn Housing Amendment

Sam Barnwell stated this is still pending a sewer line agreement. It will be stick built instead of modular. They will lower the building so no ramp will be needed or funky stairwells. They will still maintain the 10' landscape buffer. The roof line will be changed. Dombroski confirmed it meets all zoning requirements. When asked if the units will be used year round Barnwell stated it will be built to be used year round but the lower level will most likely be used seasonally. Myers asked about an ebike charging station on the last site plan. Barnwell stated they moved the bike rack to front and haven't decided if it will have power or not. Myers stated they required the charging station so Barnwell agreed to include that. Dufina confirmed that the whole front of the building will face 7th Street. The building will be sprinkled. Mosley asked about no dogs but Barnwell stated they are not requesting a special land use so that would not be a requirement. Motion to approve with a designated ebike charging station.

Motion made by Myers.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

X. New Business

a. Discussion on pavers and impervious lot coverage

Dombroski stated that when Sam Barnwell was doing paver landscaping on his residence a slip up in the ordinance was discovered. The ordinance used to read that when pavers were on sand it was not impervious. The area would only count toward lot coverage if the pavers were set on concrete. Dombroski thinks we should correct that in our ordinance. Section 2.46 defines impervious ground coverage. Dombroski stated that section 2.46 is in conflict with Section 2.42. Myers said you could send to ordinance committee. Barnwell stated his problem is an agenda item today due to the lot coverage for Harbour View fire escape. Myers pointed out that the current wording does say "cannot be permeated by water". Dombroski would like to see the wording clearer. Myers suggested sending to the ordinance committee with the recommendation that those kind of walkways and patios be treated as a pervious surface. Evashevski stated the size of the material may make a difference. Straus asked what a good size might be. Dombroski said maybe 4 square feet. Dufina suggested adding a requirement to Article 4, general conditions. Evashevski stated we want some language that Dombroski and Liposvksy should come up with in regards to size and spacing of material. Motion for Evashevski to work with Dombroski and Lipovsky to come up with a recommendation regarding larger natural pervious materials for the Ordinance Committee.

Motion made by Straus, Seconded by Pettit.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

b. HB24-026-046(H) Harbour View Inn Fire Escape

Barnwell stated the plan has changed so he is just looking for input today. They are no longer doing an elevator. The paver lot coverage is an issue and the additional A/C units. Straus stated the Planning Commission addresses noise of the units and placement. Barnwell stated the units are going in existing screened areas. Barnwell stated these newer units are more efficient and provide less noise than the previous units. Straus stated the paver lot coverage was discussed earlier and based on that discussion should not be an issue. Barnwell stated the A/C units are going from 1 to 1, to 4 to 1. There will be lighting underneath the stair tower. Motion to table.

Motion made by Martin, Seconded by Mosley.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

c. R324-008-047(H) Doud Benser Mission House Relocation and New Building

Evashevski wanted to review the statement of conditions on the property. This property is subject to a special land use that allows for 5 bedrooms max, among other things. Doud stated the conditions will be forfeited. Doud and Benser are asking to eliminate housing use and make it single family R3. Doud presented an opinion from Neil Hill and a letter showing neighbors were not opposed. Straus asked how we do this. Because the special land use is recorded we will have some kind of rescinding document Evashevski will draw up that cancels out special land use and then record with the deed so there is no confusion. Doud showed the plat map showing the property that has one tax ID and two lot numbers that are joined for tax purposes. Doud stated based on lot size they could fit 3 or 4 condos. Ideally they would like to split the lot. The lots are stand alone lots that are joined. Evashevski thinks some kind of split will need to happen because of the single tax id. It looks like the plan fits all the criteria but isn't sure how it needs to be done; council or equalization. She does not anticipate any issues. Myers pointed out that Equalization wants some kind of Resolution by Council. Evashevski will ask Stakoe and Equalization. Doud read Hill's letter aloud. Myers thinks the first step is removing special land use. Evashevski stated it can be done first or in conjunction with the approval. Doud agreed doing at the time of approval would be best. Evashevski stated she can have it ready for the next meeting. Martin clarified that the existing house would be moved to south lot and new one on north lot. Doud's building would be a duplex. Pettit asked if land use is changed, why doesn't he have to go through the same process. Evashevski stated because the use he wants to go back to is an allowed use in the district. Doud asked if anyone was opposed to going back to allowed use. Dufina clarified that there really is no lot split because they are already two lots. They just need to figure out the tax id. Dufina stated the written information from site plan checklist is missing such as material staging and construction plan. Myers asked about south elevation on page D1.2, is the foundation exposed? Dombroski said it is up to Planning Commission if it is allowed. Section 4.20 states the foundation height limitations that Doud can refer to. Motion to table

Motion made by Mosley, Seconded by Finkel.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

d. HB23-015-033 City of Mackinac Island Forest Way Duplex's

A new site plan with measurements was presented at the table. Dombroski reminded everyone this is a city project and we are exempt from our own ordinances, but we have

never really done that. Sean O'Boyle is the contractor. O'Boyle presented the site control plan which is chain link fence and removable gates. The fence will be removed when the project is done. Mosley stated he is leery of boxing out fire trucks and ambulance. He would like to shrink it down to open up most of the driveway. Finkel stated he has heard several comments about the road becoming too narrow with the new landscaping and airport fence. O'Boyle said there will be two 12' gates but this is all proposed. O'Boyle is willing to meet with Ben up at the site and figure it out. Mosley and O'Boyle are to coordinate a meeting week after next. Myers stated the trees are important to keep and O'Boyle stated they will be keeping most of it. Dombroski stated he had a discussion with O'Boyle about the fire truck access. Once the buildings are framed they can pull the fence away which would be around December. The gates will be on the roads and the north end of building 4. Straus asked if the bike parking will have ebike charging. O'Boyle stated not at this time. Straus stated if we are asking everyone else, we should too. Dombroski is to look in to adding this. Dombroski had a zoom call today with the team and a house panel will be added to one side of the utility buildings for the outside lighting of the buildings. Some kind of house meter will be added to create a pump house for the house water system. Dufina clarified what the gravel walkways are. Motion to approve contingent on water supply, fence location and ebike charging issues being taken care of.

Motion made by Myers, Seconded by Pettit.
Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

e. GHMI – Grand Hotel Lot Split Discussion

David Jurcak presented a site plan of Corner Cottage. Jurcak stated he is just looking for guidance. They are thinking of selling Corner Cottage. the person that lives in back unit asked that they could subdivide the lot. There is enough space for setbacks. Lot size and building size meet current requirements. It would meet the requirements if needed to be rebuilt. Jurcak is to send to Evashevski and the commissioners so they can review this month and have comments for next month. Pereny to email to commission members. Dombroski stated they have talked about this but this is the first time he has seen the site plan.

XI. Public Comment

None

XII. Adjournment

Motion to adjourn at 5:37 PM.
Motion made by Myers, Seconded by Pettit.
Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

Michael Straus, Chair

Katie Pereny, Secretary

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Andrew Doud
PO Box 1426, Mackinac Is, MI 49757

Phone Number

Email Address

Property Owner & Mailing Address (If Different From Applicant)

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Is The Proposed Project Part of a Condominium Association?

Is The Proposed Project Within a Historic Preservation District?

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

Is a Variance Required?

Are REU's Required? How Many?

NOYesnonoNO**Type of Action Requested:**☒ Standard Zoning Permit☐ Special Land Use☐ Planned Unit Development☐ Other _____☐ Appeal of Planning Commission Decision☐ Ordinance Amendment/Rezoning☐ Ordinance InterpretationFile No R324 008-047(t)Exhibit BDate 8.27.24Initials KD**Property Information:**A. Property Number (From Tax Statement): 051-500-008-00B. Legal Description of Property: Lot 16, Plat 1C. Address of Property: 1274 Mission StD. Zoning District: R3E. Site Plan Checklist Completed & Attached: YesF. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) YesG. Sketch Plan Attached: YesH. Architectural Plan Attached: YesI. Association Documents Attached (Approval of project, etc.): NOJ. FAA Approval Documents Attached: NAK. Photographs of Existing and Adjacent Structures Attached: Yes**Proposed Construction/Use:**

A. Proposed Construction:

____ New Building ____ Alteration/Addition to Existing Building
x Other, Specify Move Building

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

2 Single Family Units
 Proposed Use: _____

C. If Vacant:

Previous Use: _____
 Proposed Use: _____

STATE OF MICHIGAN)
 COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**

Signature _____ SIGNATURES S. Andrew Donald
Signature _____
Please Print Name _____ Please Print Name S. Andrew Donald

Signed and sworn to before me on the 27 day of AUGUST, 2024.



Kathryn Pereny
Notary Public _____
_____ County, Michigan
My commission expires: _____

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

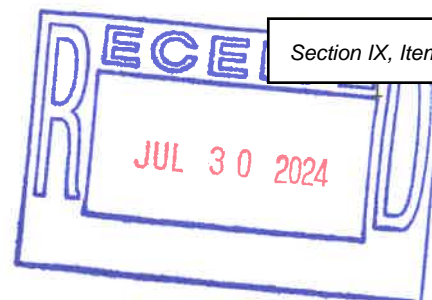
FILE NUMBER: _____ FEE: _____

DATE: _____ CHECK NO: _____ INITIALS: _____

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

File No. R324-008-047(H)Exhibit BDate 7-30-24Initials EP**Site Plan Review Checklist****Please Submit With The Application for Zoning Action** Phase I

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review
Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.



13. Proposed construction start date and estimated duration of construction.



14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission



Natural Features

Provided

Not Provided or Applicable

15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)



16. Topography of the site with at least two- to five-foot contour intervals



17. Proposed alterations to topography or other natural features



18. Earth-change plans, if any, as required by state law



Physical Features

Provided

Not Provided or Applicable

19. Location of existing manmade features on the site and within 100 feet of the site



20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site



21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a



dwelling schedule showing the unit type and number of each such units

- | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <p><i>- Coach lighting by all doors on both buildings</i></p> | | |
| <u>Utility Information</u> | <u>Provided</u> | <u>Not Provided or Applicable</u> |
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

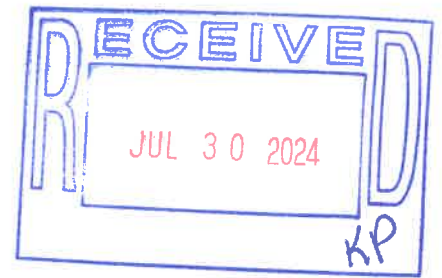
Architectural Review
Informational Requirements (Section 18.05)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

File No. R324 008.047(H)Exhibit CDate 8.14.24Initials KP**Description of Work**

1274 Mission Street

Mackinac Island, MI 49757

**Proposed work:**

To complete work in two phases:

Phase one: Move existing, two-story house to the front of the parcel, and create two separate condominiums, one on the ground floor and one on the upper floor.

Phase two: Build new condominium home on the back part of the parcel.

Refer to attached site plan dated July 29, 2024, for more detail

Property is zoned R-3 (*Hight Density Residential*) and is a non-contributing property located within the Mission Historic District.

Proposed development is a site condominium, the existing structure will be converted into two-single family condominiums, and the new structure will be a single-family condominium.

There are two existing REUs which will continue to be applied to the existing structure in "phase one" One new REU will be necessary for the new construction in "phase two"

Construction start dates:

Phase one; November 1, 2024, building of new foundation by Chad Belongia and Erin Winberg, December 1, 2024 move existing house by Nick Mangini . Construction completion target date May !12025.

Phase two; Foundation construction to begin December 1, 2024, with construction of the house commencing upon foundation completion by Ray Halberg.

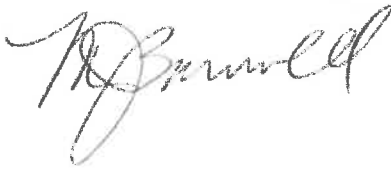
Demolition of the existing basement to be performed by Chad Belongia, and construction debris will contained on property and handled by Mackinac Island Service Company.

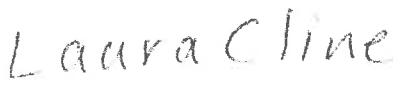
File No. R324.008.0470Exhibit HDate 8.14.24Initials KP

August 12, 2024

Bob Benser and myself are presenting a project at 1274 Mission Street. An element we would like to request a change from the special land use back to standard R-3. The special land use allows for use of the property as employee housing. We would like to eliminate the housing use, while requesting only single family dwellings within the R-3 parameters. I apologize for not presenting this in our packet. The following neighbors are in support of this change:

Mark Ware
Mission Point Resort

Mary Jane Barnwell 
1230 Mission St

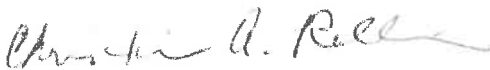
Jana Cline 
1229 Mission St

David Jurcak
Grand Hotel

Holly Nitzsche


HNS

Christine A. Rollicks
1235 Mission St.



Katie Pereny

From: Dennis Dombroski
Sent: Wednesday, August 14, 2024 9:10 AM
To: Katie Pereny
Subject: FW: Mission Street Property

From: Stephen Doud <doudsmarket@gmail.com>
Sent: Tuesday, August 13, 2024 10:29 AM
To: Dennis Dombroski <djd@cityofmi.org>
Subject: Fwd: Mission Street Property

File No. R324008.047(H)
Exhibit G
Date 8.14.24
Initials KP

----- Forwarded message -----

From: Neil Hill P.S. <neil@mackinacsurveys.com>
Date: Tue, Aug 13, 2024 at 9:44 AM
Subject: Mission Street Property
To: Stephen Doud <doudsmarket@gmail.com>

Andrew,
Regarding your Mission Street project.
That property is currently under tax parcel #051-500-008-00
The property description is Lots 13 & 16 of Assessor's Plat No1, City of Mackinac Island.

You asked about splitting the property - both lots are currently under one tax number, likely because the house slightly crosses the common property line between the two. Your plan that you outlined to me is to construct a new foundation on Lot 16, and slide the existing house over onto the new foundation. Then demolish the existing foundation, and construct a second struction solely on Lot 13.

As long as your plan to slide the existing house onto the new foundation meets current zoning regulations, you can then deed Lot 13 & Lot 16 to separate entities. The lots already exist as 2 separate properties, only joined under 1 tax parcel. You do not have to petition City council for a split because the lots already exist as separate parcels, just currently under one ownership. You only need to go through council if you want to divide one of the lots in a different configuration from what is platted (like we recently did with Margaret) - which your current plan does not do.

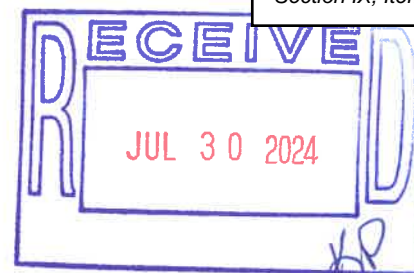
Let me know if you need additional information.

Neil Hill PS

Mackinac Country Land Surveys
429 Ellsworth St
St. Ignace, MI 49781

Phone 906-643-9418 Office-Voice Line

info@mackinacsurveys.com

File No. R324008-047(H)Exhibit CDate 7.30.24Initials KP**Description of Work**1274 Mission Street
Mackinac Island, MI 49757

Proposed work:

To complete work in two phases:

Phase one: Move existing, two-story house to the front of the parcel, and create two separate condominiums, one on the ground floor and one on the upper floor.

Phase two: Build new condominium home on the back part of the parcel.

Refer to attached site plan dated July 29, 2024, for more detail

Property is zoned R-3 (*Hight Density Residential*) and is a non-contributing property located within the Mission Historic District.

Proposed development is a site condominium, the existing structure will be converted into two-single family condominiums, and the new structure will be a single-family condominium.

There are two existing REUs which will continue to be applied to the existing structure in "phase one" One new REU will be necessary for the new construction in "phase two"

Construction start dates:

Phase one; November 1, 2024, building of new foundation by Chad Belongia and Erin Winberg, December 1, 2024 move existing house by Nick Mangini . Construction completion target date May 12025.

Phase two; Foundation construction to begin December 1, 2024, with construction of the house commencing upon foundation completion by Ray Halberg.

Demolition of the existing basement to be performed by Chad Belongia, and construction debris will be contained on property and handled by Mackinac Island Service Company.

Section 7.02 - Permitted uses R-3.

Multiple-family, two-family and single-family residential dwellings and accessory buildings/uses thereto, and churches or places of worship are permitted in this district.

Section 7.03 - Special land uses.

The following uses are permitted by special land use approval of the planning commission, provided that they are in compliance with the standards that follow and the procedures and standards in article 19.

A. Institutional, provided:

1. That a landscape buffer is provided along all property boundaries, which abut residential uses, in accordance with the requirements of section 4.09.
2. That off-street bicycle parking be provided in accordance with the requirements of section 4.16.
3. That the institutional use and/or structure complies with all other district regulations.

B. Boardinghouse, provided:

1. That a landscape buffer is provided along all property boundaries, which abut residential uses, in accordance with the requirements of section 4.09.
2. That off-street bicycle parking be provided in accordance with the requirements of section 4.16.
3. That the boardinghouse use and/or structure complies with all other district regulations.

Section 7.04 - Area, bulk, height, lot coverage, and density requirements.

- A. Lot size. The lot size for this district shall not be less than 5,000 square feet, nor less than 50 feet wide at the building line.
- B. Buildings, and structures shall be setback from property lines as follows:
 1. Front yard. Twenty-five feet minimum or in line with adjacent residences.*
 2. Side yard. Minimum five feet on one side and ten feet on the other.
 3. Rear yard. Twenty-five feet minimum.
 4. On the secondary streets of McGulpin, Church, Bourisaw, French Lane, Mahoney and

Mission, setbacks are:

- a. Side yard. Five feet minimum.
- b. Rear yard. Fifteen feet minimum.

* "In line" determined by zoning administrator averaging existing setbacks of all structures within 150 feet of proposed structure on the same side of the street, within the same zoning district.

- C. No principal building shall be less than 12 feet in height, nor shall any building exceed 35 feet, or 2½ stories, in height.
- D. The maximum lot coverage by impervious surfaces shall be 40 percent.
- E. The maximum permitted density for family residential use shall be 20 dwelling units per acre. For use as a boardinghouse, the maximum allowable density shall be one occupant per 500 square feet of lot area within which the building is placed. An occupant is a person who occupies a bed or sleeping area within the building for one or more overnight periods. In the event the building contains both family residential use and boardinghouse use (nonfamily residential use), the one occupant per 500 square feet of lot area density limitation shall apply to the entire building.



NORTH & WEST HOUSE ▲
▼ SOUTH & WEST HOUSE



Wendell looking East ▲
▼ ON WENDALL LOOKING SOUTHEAST



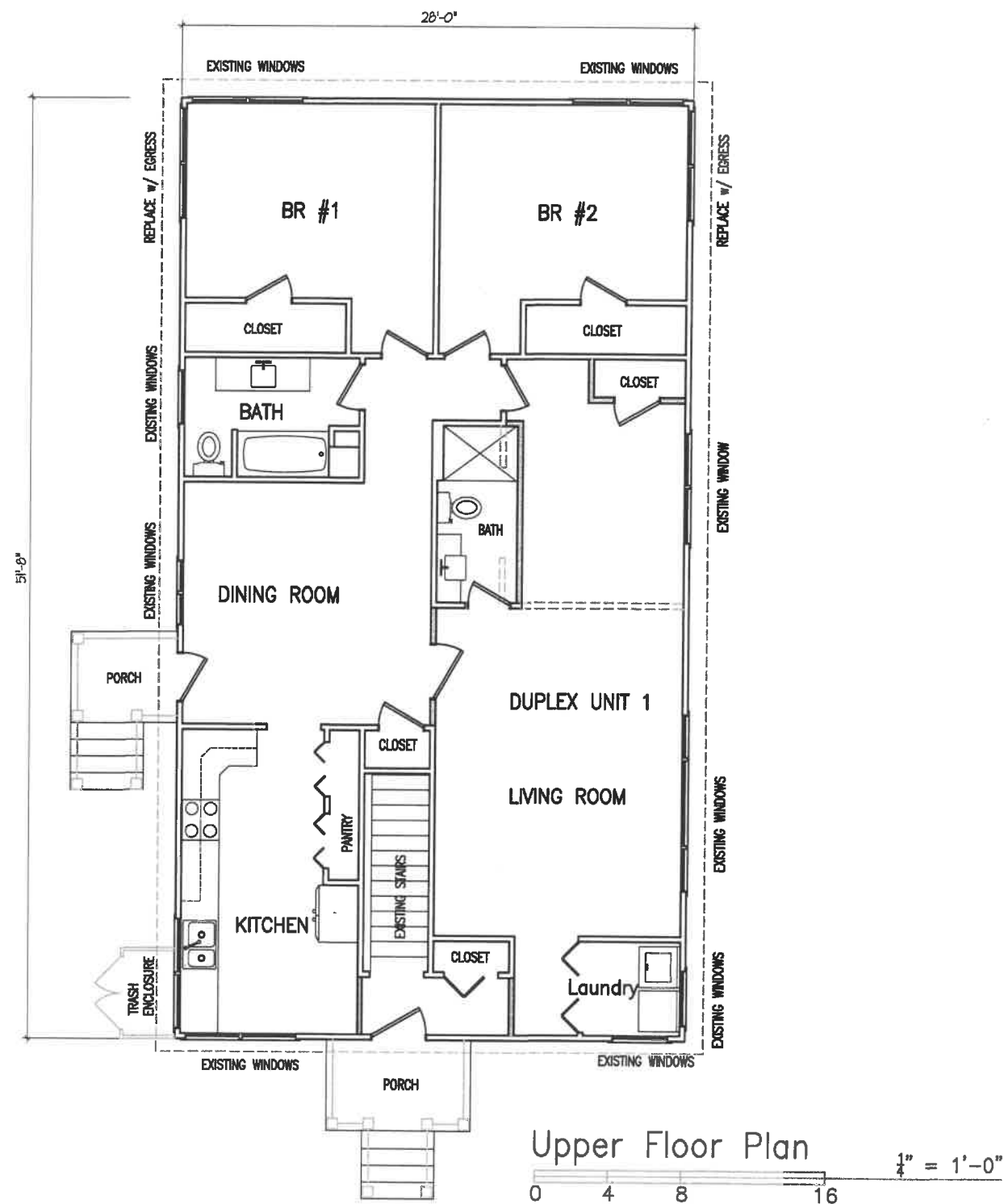
Wendell looking S ▲
▼ ON WENDALL LOOKING WEST



File No. R324.008.047(11)
Exhibit D
Date 8.27.24
Initials KP

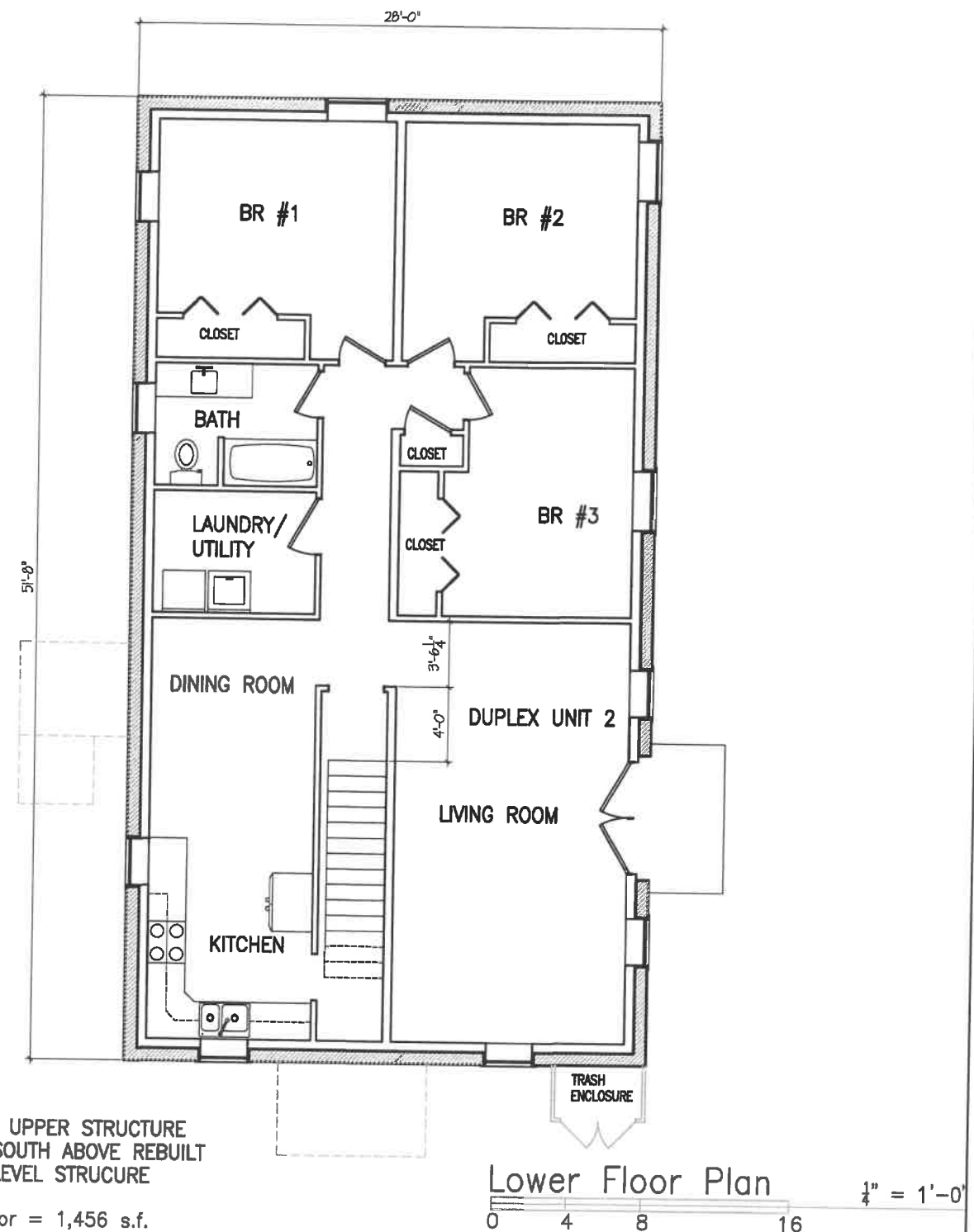
RECEIVED
AUG 27 2024

Richard Clements Architect, PLLC 1925 Merry Lane Oshtemo, MI 49729 richardcl@1925merry.com 980-370-3688	
DOUD - BENSER RELOCATED DUPLEX, NEW RESIDENCE 1274 MISSION ST. MACKINAC ISLAND, MI 49757	
date: July 29, 2024 project: 2204 - 2205	sheet: X0.0 AREA PHOTOS



EXISTING UPPER STRUCTURE
MOVED SOUTH ABOVE REBUILT
LOWER LEVEL STRUCURE

Each Floor = 1,456 s.f.

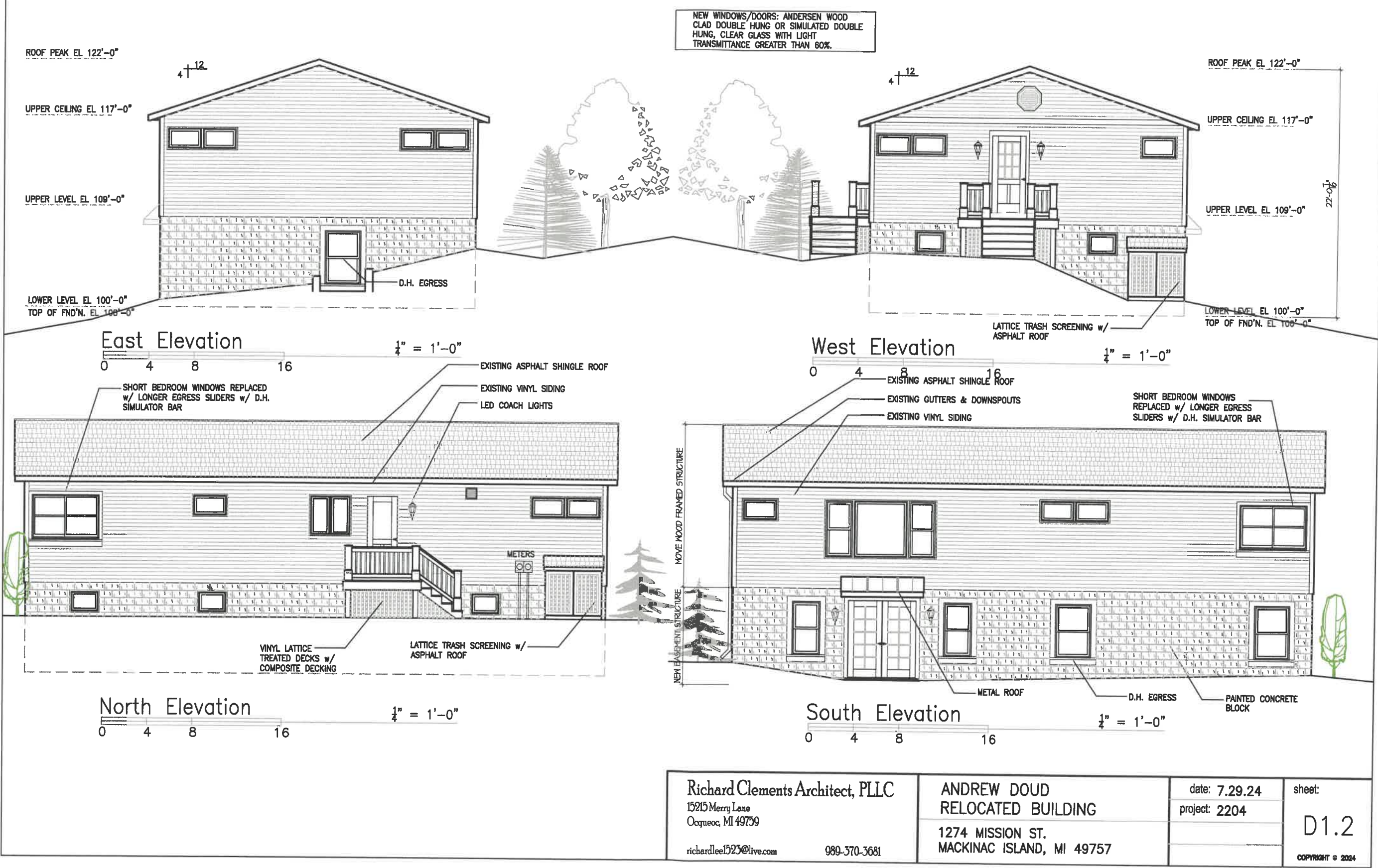


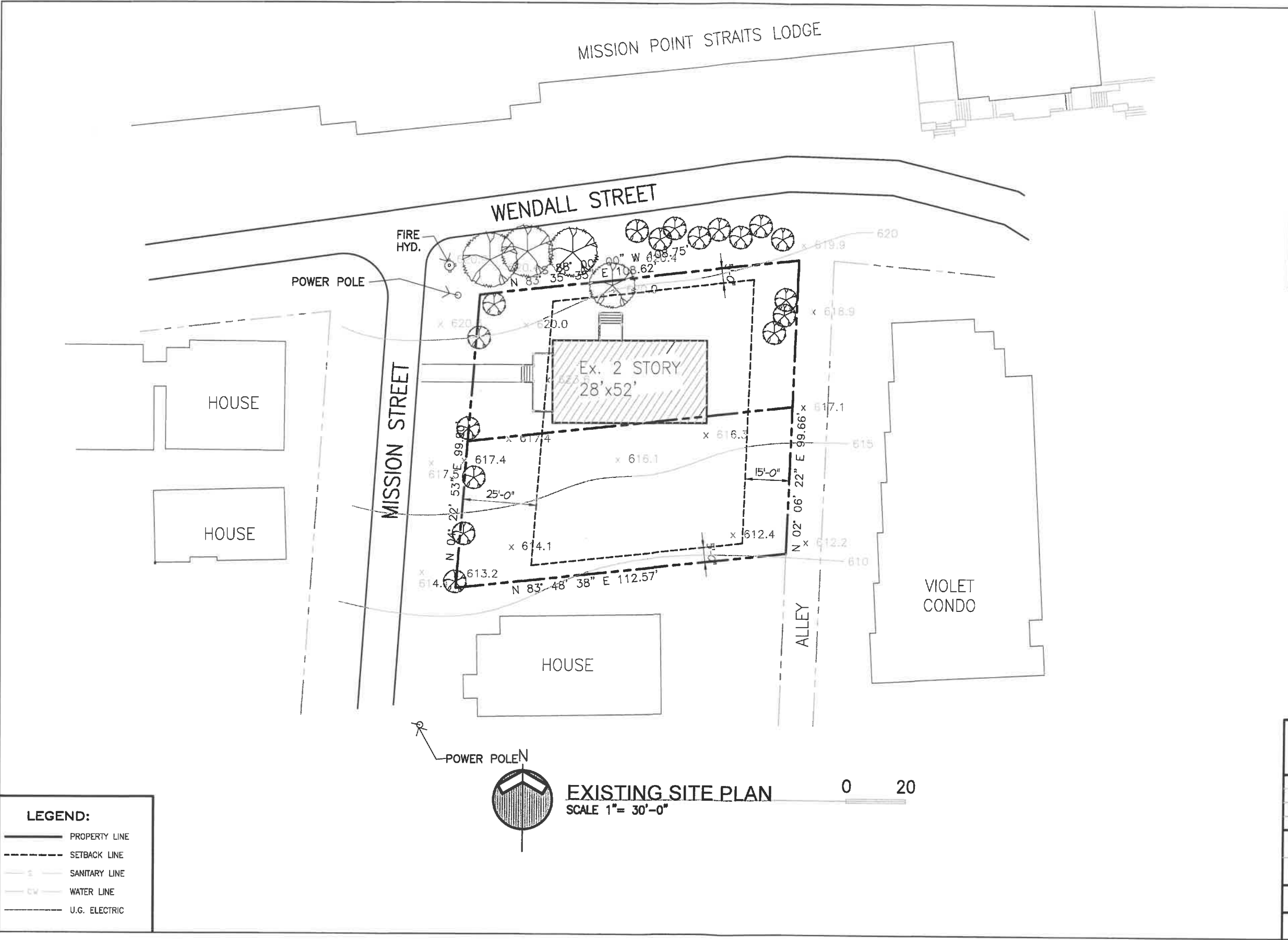
Richard Clements Architect, PLLC
15215 Merry Lane
Oshtemo, MI 49759
richardlee1523@live.com 989-370-3681

ANDREW DOUD
RELOCATED BUILDING
1274 MISSION ST.
MACKINAC ISLAND, MI 49757

date: 7.29.24
project: 2204

sheet:
D1.1
COPYRIGHT © 2024





EXISTING SITE	
EXISTING INFO:	
TAX #051-500-008-00	
ASSESSOR'S PLAT #13	
ZONED R-3	
LOT AREA = 10,881 SF = 0.249 ACRES	
ACTUAL IMPERVIOUS	
HOUSE	= 1,456 SF
WALKS/DECKS	= 324 SF
TOTAL IMPERVIOUS	= 1780 = 16.4%
MAX UNITS = 4 (@ 20/ ACRE)	
ACTUAL HEIGHT = 25'-0" 2 STORY	
SETBACKS: SECTION 7.04, PARAGRAPH B.4:	
ON THE SECONDARY STREETS OF	
AND MISSION. SIDE YARDS = 5'-0" AND	
REAR YARD = 15'-0"	

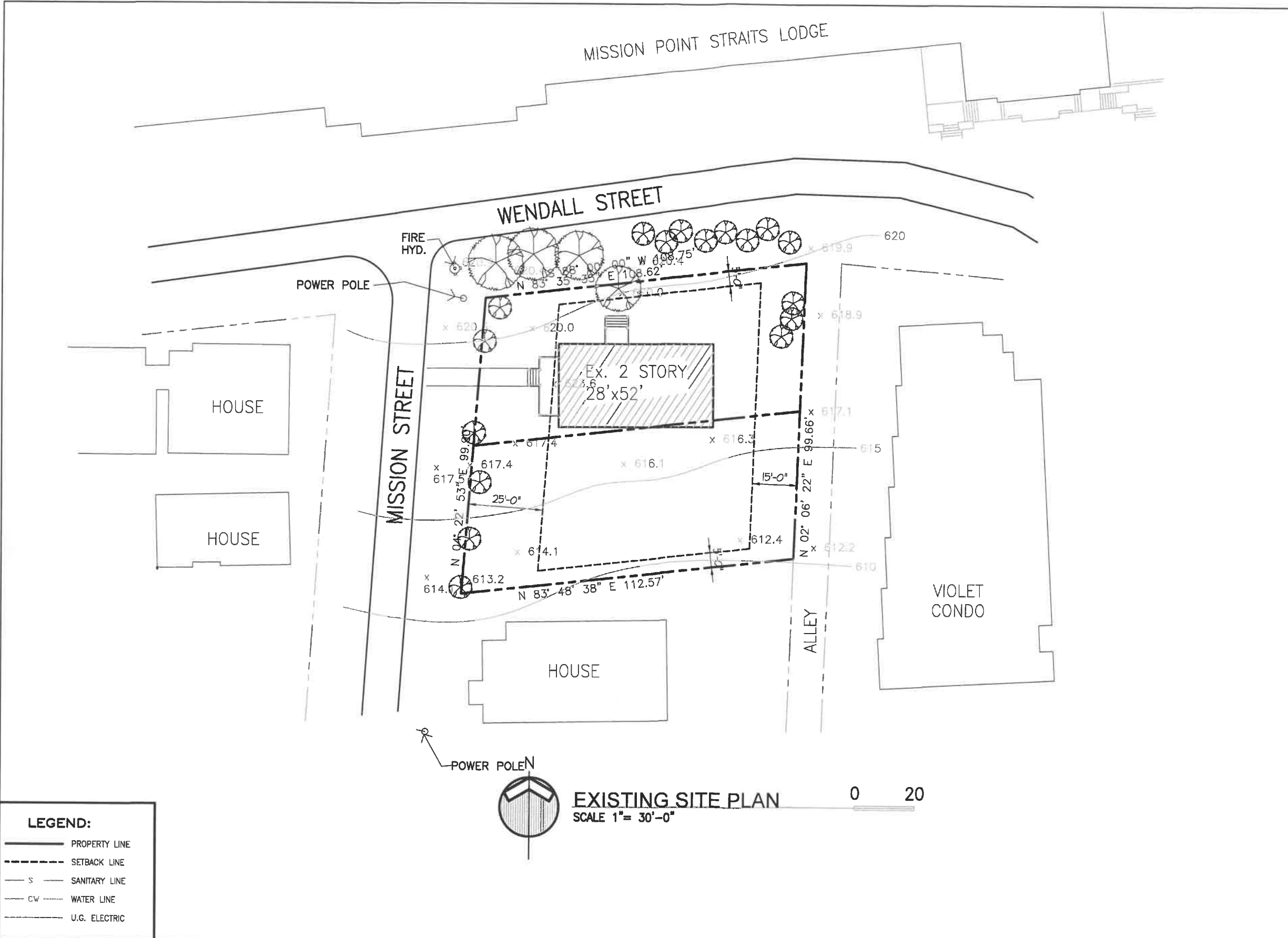
Richard Clements Architect, PLLC	
1526 Merry Lane	
Oshtemo, MI 49779	
richardc@rca.com 689-370-3681	
DOUD - BENSER	
RELOCATED DUPLEX, NEW RESIDENCE	
1274 MISSION ST.	
MACKINAC ISLAND, MI 49757	
date: July 29, 2024	sheet:
project: 2204 - 2205	X1.0
EXISTING SITE PLAN	

EXISTING STE

EXISTING INFO:

TAX #051-500-008-00
ASSESSOR'S PLAT #13
ZONED R-3
LOT AREA = 10,881 SF = 0.248 ACRES
ACTUAL IMPERVIOUS
HOUSE = 1,496 SF
WALKS/DECKS = 324 SF
TOTAL IMPERVIOUS = 1780 = 16.4%
MAX UNITS = 4 (20/ ACRE)
ACTUAL HEIGHT = 25'-0" 2 STORY

SETBACKS: SECTION 7.04, PARAGRAPH 8.4:
ON THE SECONDARY STREETS OF
AND MISSION, SIDE YARDS = 5'-0" AND
REAR YARD = 15'-0"



Richard Clements Architect, PLLC
1925 Merry Lane
Oconomowoc, WI 53066
richardc@rca.com 920.370.3081

DOUD - BENSER
RELOCATED DUPLEX, NEW RESIDENCE
1274 MISSION ST.
MACKINAC ISLAND, MI 49757

date: July 29, 2024
project: 2204 - 2205

EXISTING SITE PLAN

sheet:
X1.0
COPYRIGHT © 2024

PHASE 1
DOUD BUILDING

DOUD PROJECT DESCRIPTION:
MOVE EXISTING BUILDING SOUTH ONTO A BUILDING TO BE A DUPLEX WITH ONE RESIDENCE ON EACH LEVEL

DOUD INFO:
TAX #051-500-008-00
ASSESSOR'S PLAT #1
ZONED R-3
LOT AREA = 5,490 SF = 0.126 ACRES
ALLOWED IMPERVIOUS = 40% = 2,196 SF
ACTUAL IMPERVIOUS
HOUSE = 1,456 SF
WALKS/DECKS = 300 SF
TOTAL IMPERVIOUS = 1756 = 32.0%
MAX UNITS = 2 (20/ ACRE)
ACTUAL UNIT = 2
MAX. HEIGHT = 35'-0" 2 STORY
ACTUAL HEIGHT = 25'-0" 2 STORY

DOUD STORMWATER PLAN:
DESIGN CRITERIA:
10 YEAR 24 HOUR RAINFALL = 3.3"
(SOURCE: MDOT MS4 REPORT)
= (0.28") = 0.011" /hour
INFILTRATION RATE OF SOIL = 0.2"/hr.
(SOURCE: USDA) = 0.016"/hour x24 hrs. *
67% = 0.25' / storm event
DESIGN STORM VOLUME = 1,756 s.f.
IMPERVIOUS x 0.28" = 492 cu. ft.
ABSORPTION AREA OF 6" STRIP AROUND PERIMETER OF BUILDING = 1,104 s.f.
STORMWATER ABSORPTION = 1,104 s.f. x 0.25' = 276 cu. ft.
STORM VOLUME minus ABSORPTION = REQUIRED DETENTION;
492 cu. ft. - 276 cu. ft. = 216 cu. ft. TO BE DETAINED.
DETENTION INTERCEPTION BASIN 12" DEEP AT SOUTH SIDE OF BUILDING = 365 s.f. x 1 x 3' = 243 cu. ft. > 216

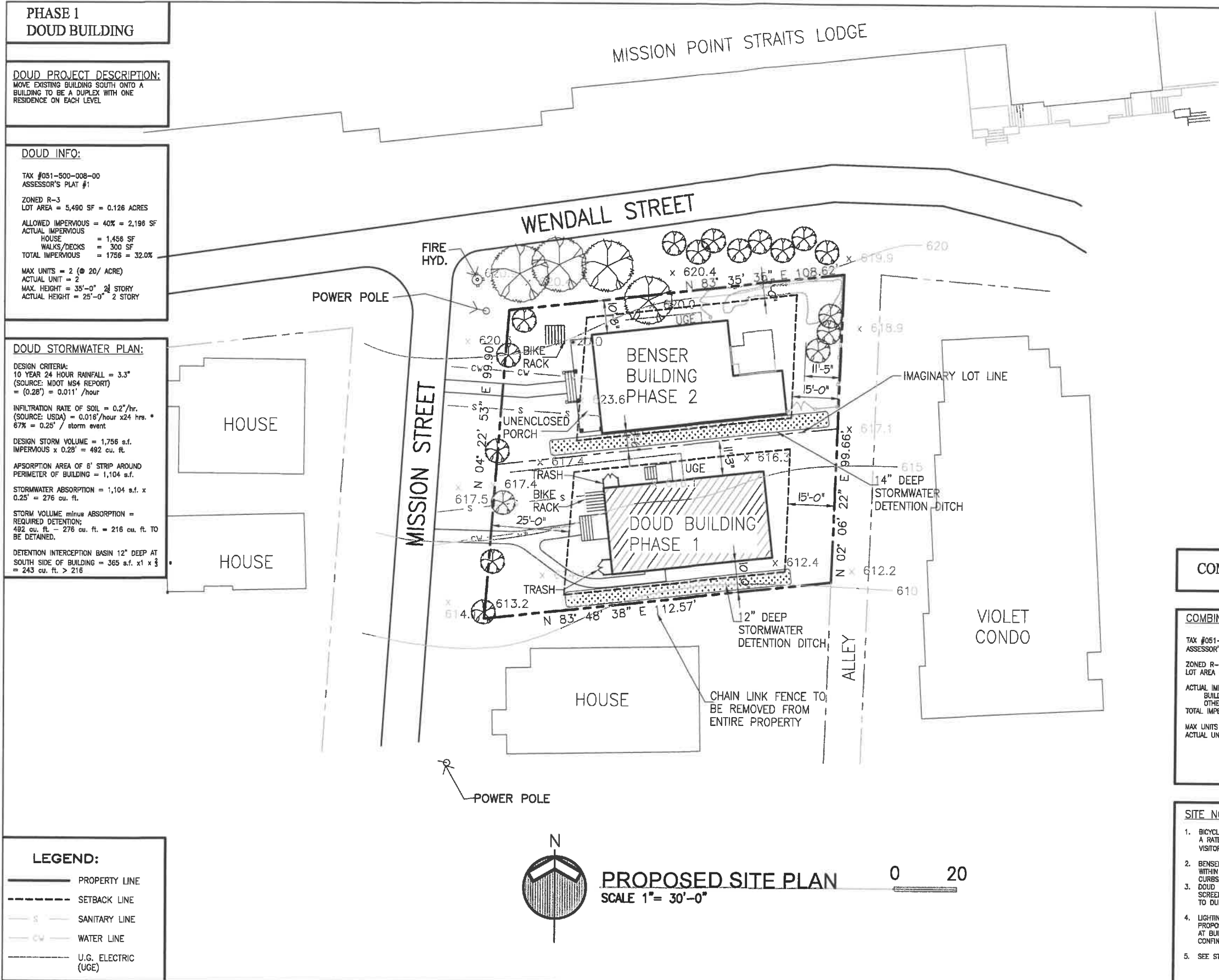
LEGEND:
— PROPERTY LINE
- - - SETBACK LINE
S SANITARY LINE
CW WATER LINE
--- U.G. ELECTRIC (UGE)

PHASE 2
BENSER BUILDING

BENSER PROJECT DESCRIPTION:
NEW SINGLE FAMILY RESIDENCE

BENSER INFO:
TAX #051-500-008-00
ASSESSOR'S PLAT #13
ZONED R-3
LOT AREA = 5,391 SF = 0.124 ACRES
ALLOWED IMPERVIOUS = 40% = 2,155 SF
ACTUAL IMPERVIOUS
HOUSE/PORCH = 1,848 SF
WALKS/PATIO = 234 SF
TOTAL IMPERVIOUS = 2,082 = 39%
MAX UNITS = 2 (20/ ACRE)
PROPOSED UNITS = 1
MAX. HEIGHT = 35'-0" 2 STORY
ACTUAL HEIGHT = 34'-2" 2 STORY

BENSER STORMWATER PLAN:
DESIGN CRITERIA:
10 YEAR 24 HOUR RAINFALL = 3.3"
(SOURCE: MDOT MS4 REPORT)
= (0.28") = 0.011" /hour
INFILTRATION RATE OF SOIL = 0.2"/hr.
(SOURCE: USDA) = 0.016"/hour x24 hrs. *
67% = 0.25' / storm event
DESIGN STORM VOLUME = 2,052 s.f.
IMPERVIOUS x 0.28" = 575 cu. ft.
ABSORPTION AREA OF 7" STRIP AROUND PERIMETER OF BUILDING = 980 s.f.
STORMWATER ABSORPTION = 980 s.f. x 0.25' = 245 cu. ft.
STORM VOLUME minus ABSORPTION = REQUIRED DETENTION;
575 cu. ft. - 245 cu. ft. = 330 cu. ft. TO BE DETAINED.
DETENTION INTERCEPTION BASIN 14" DEEP AT SOUTH SIDE OF BUILDING = 450 s.f. x 1.25 x 3' = 330 cu. ft. > 330

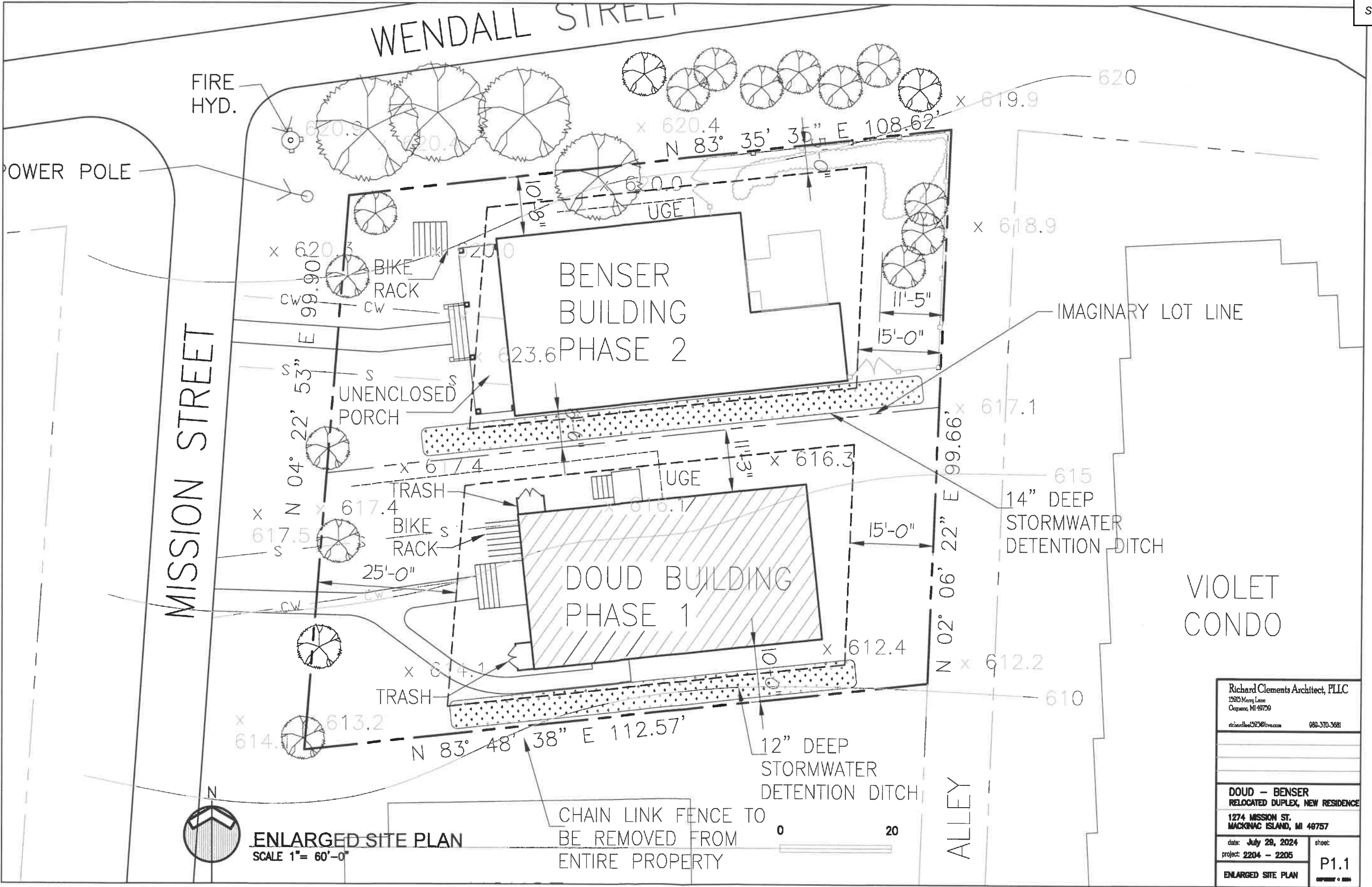


COMBINED SITE

COMBINED INFO:
TAX #051-500-008-00
ASSESSOR'S PLAT #13
ZONED R-3
LOT AREA = 10,828 SF = 0.248 ACRES
ACTUAL IMPERVIOUS
BUILDINGS = 3,304 SF
OTHER = 504 SF
TOTAL IMPERVIOUS = 3,808 = 35.1%
MAX UNITS = 4 (20/ ACRE)
ACTUAL UNITS = 3

SITE NOTES:
1. BICYCLE PARKING RACK IS PROVIDED AT A RATE OF 1 PER BEDROOM + 3 VISITORS. (12 TOTAL)
2. BENSER BUILDING: TRASH TO BE HELD WITHIN THE RESIDENCE AND SET CURBSIDE ON COLLECTION DAYS.
3. DOUD BUILDING: TWO EXTERIOR SCREENED TRASH CONTAINERS ATTACHED TO DUPLEX.
4. LIGHTING - NO AREA LIGHTING PROPOSED. COACH LIGHTING PROVIDED AT BUILDING ENTRANCES SHIELDED TO CONFINE LIGHT WITHIN THE SITE.
5. SEE STORMWATER NOTES THIS SHEET

Richard Clements Architect, PLLC
1525 Merry Lane
Oshtemo, MI 48729
richard@rca1525.com 660-370-3661
**DOUD - BENSER
RELOCATED DUPLEX, NEW RESIDENCE**
1274 MISSION ST.
MACKINAC ISLAND, MI 49757
date: July 28, 2024 sheet:
project: 2204 - 2205
P1.0
PROPOSED SITE PLAN



STATEMENT OF CONCLUSIONS AND AGREEMENT OF CONDITIONS

This Statement of Conclusions and Agreement of Conditions is by and between **Anthony C. Brodeur and James Conley** (Owner), and the **City of Mackinac Island, Planning Commission**, a Michigan municipal corporation (City).

RECITATIONS

Owner holds fee title of the property located at 1274 Mission Street, Mackinac Island, Michigan 49757 (the Property).

Owner made application for a Special Land Use to change the use of the Property from single-family residence to Boardinghouse use, and voluntarily proposed conditions on said use.

A hearing was held on the application on or about June 8, 2021, after proper notice was posted and sent.

STATEMENT OF CONCLUSIONS

The City states that, through the Owner's application, answers to questions asked, and conditions proposed, the following conclusions have been made:

1. That the establishment, maintenance and operation of the special land use will not be detrimental to or endanger the public health, safety or general welfare.
2. That the special land use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor will it substantially diminish and impair property values within its neighborhood.
3. That the establishment of the special land use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
4. That adequate utilities, access roads, drainage and necessary facilities are being provided.
5. That adequate measures are in place to provide ingress or egress so designed to minimize congestion in the public streets.

6. That the special land use conforms to the applicable regulations of the R-3 High Density Residential district.
7. That the special land use conforms to all relevant criteria for review under Article 20.06.
8. That all provisions of Section 7.04 are met.

STATEMENT OF CONDITIONS

The Owner acknowledges and agrees that this Special Land Use is granted only on the following conditions:

1. There shall be no more than eight (8) occupants on the property at any given time.
2. No pets shall reside on or stay at the property.
3. The property shall contain no more than five (5) bedrooms.
4. That the occupants of the property shall be "key employees" of the owner, who are year-round, non-transient professionals.
5. Off-street bicycle parking for no less than eight (8) bicycles shall be provided on the property and shall meet all appropriate zoning rules.
6. All building codes shall be met prior to occupancy, including but not limited to bringing the windows in the existing bedrooms up to code.
7. The Owner shall purchase the required number of REUs as set by the Department of Public Works.
8. Any amendments to the use or the conditions stated herein shall require a new application, public hearing and decisions by the Planning Commission.
9. That all statements made on Owner's application (attached hereto as Exhibit A) are true and accurate and shall be additional conditions to the special land use.

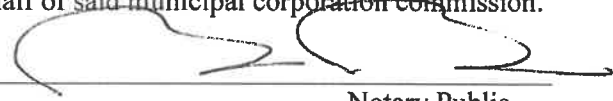
City of Mackinac Island, Planning
Commission, By:


Michael Straus, Its Chairperson

STATE OF MICHIGAN)
 :SS
County of Mackinac)

On August 4, 2021, before me, a Notary Public, in and for said County,
personally appeared Michael Straus, Chairperson of the City of Mackinac Island Planning Commission,
me known to be the same person described in and who executed the within instrument, who
acknowledged the same to be his free act and deed on behalf of said municipal corporation commission.

BRENDA BUNKER, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 07/21/2025


_____, Notary Public
Mackinac County, Michigan
My Comm. Expires: _____
Acting in Mackinac County, Michigan

OWNER:

Anthony C. Brodeur

James Conley

STATE OF MICHIGAN)
 :SS
County of Mackinac)

On _____, 2021, before me, a Notary Public, in and for said County,
personally appeared Anthony C. Brodeur and James Conley, me known to be the same persons described
in and who executed the within instrument, who severally acknowledged the same to be their free act and
deed.

_____, Notary Public
Mackinac County, Michigan
My Comm. Expires: _____
Acting in Mackinac County, Michigan

DRAFTED BY:
Erin K. Evashevski
Attorney at Law
838 North State Street
St. Ignace, MI 49781

OWNER:

Anthony C Brodeur
Anthony C. Brodeur

STATE OF MICHIGAN)
 :SS
County of Mackinac)

On August 3, 2021, before me, a Notary Public, in and for said County,
personally appeared Anthony C. Brodeur me known to be the same person described in and who executed
the within instrument, who acknowledged the same to be his free act and deed.

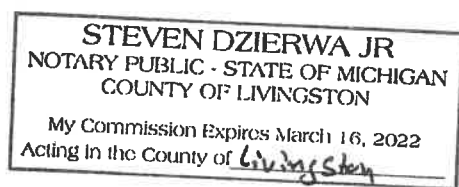
K. RICKLEY, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 10/21/2025


K. Rickley
K. Rickley, Notary Public
Mackinac County, Michigan
My Comm. Expires: 10/21/2025
Acting in Mackinac County, Michigan

James Conley

STATE OF MICHIGAN)
)
) ss
County of Livingston)

On Aug 2nd, 2021, before me, a Notary Public, in and for said County, personally appeared James Conley, me known to be the same person described in and who executed the within instrument, who acknowledged the same to be his free act and deed.




Steven Dzierzawa, Notary Public
Livingston County, Michigan
My Comm. Expires: 03/16/2022
Acting in Livingston County, Michigan

DRAFTED BY:
Erin K. Evashevski
Attorney at Law
838 North State Street
St. Ignace, MI 49781



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

7 September 2024

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
P.O. Box 455
Mackinac Island, MI 49757

Re: **DOUD DUPLEX**
Design Review

Dear Ms. Pereny:

I have reviewed the proposed Doud Duplex upper floor relocation on new lower floor construction in the East End Mission Historic District.

Find attached the Design Review for the above referenced proposed project.

Should you have any questions, please contact me.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

- c. Andrew Doud, Applicant
Richard Clements, Richard Clements Architect
Dennis Dombroski, City of Mackinac Island
David Lipovsky, City of Mackinac Island



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

7 September 2024

DESIGN REVIEW

DOUD DUPLEX

1274 Mission Street

East End Mission Historic District
Mackinac Island, Michigan

INTRODUCTION

The proposed project is moving and renovation of the duplex residence within the same lot, at 1274 Mission Street, in the East End Mission Historic District. The building is a Non-contributing structure in the district. Proposed work would relocate the upper floor of the existing Ranch style house, south on the property, on top of a new lower floor built partially into the sloping site.

This design review is based on City Code Sec. 10-161 "Design Review Standards and Guidelines", of Article V. "Historic District", of the City of Mackinac Island Ordinance No. 443, adopted October 21, 2009. The review standards are those of the Department of the Interior entitled "The United States Secretary of the Interior's Standards for Rehabilitation" and "Guidelines for Rehabilitating Historic Buildings", as set forth in 36 CFR, part 67, as well as the factors set forth in City Code Sec. 10-161(b).

Materials submitted for Review consist of photographs of existing conditions and drawings of proposed work of the project, dated 29 July 2024, by Richard Clements Architect.

REVIEW

Of the Secretary of the Interior's Standards, and the Standards Under Sec. 10-161(b), the applicable Standards for review are the following:

Standard 3 - *"Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historic development such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."*

The proposed scope of work would reflect the architectural character of the building, as a physical record of its time, place and use.

Standard 8 - *"Significant archaeological resources shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken."*

Doud Duplex Design Review
7 September 2024
Page 2

Although not likely, as the site has been previously disturbed, it is possible archaeological resources could be encountered, as locations fronting Haldimand Bay have long been habitation sites. During project excavation heightened awareness should be exercised.

Standard 9 - *"New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size and architectural features to protect the historic integrity of the property and its environment."*

The proposed work would not destroy historic materials that characterize the property. The proposed new work would be differentiated from nearby historic properties, and would be compatible with the existing house being relocated.

Standards Under Code Sec. 10-161(b)

In reviewing applications, the Commission shall also consider all of the following:

(2) - *"The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area."*

The proposed new lower level construction would be appropriate to the existing house, and the relocated building would be compatible with the surrounding area.

(3) - *"The general compatibility of the design, arrangement, texture and materials proposed to be used."*

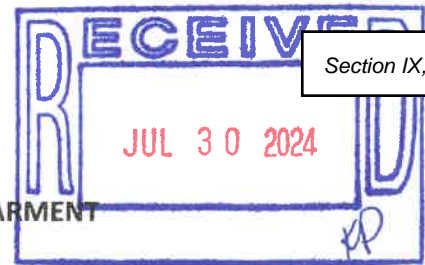
The proposed relocated building and the new lower level would be compatible with each other in terms of design, arrangement, texture and materials.

CONCLUSION

The proposed relocation of the upper floor and construction of a new lower floor on property at 1274 Mission Street would meet the Standards for review.

END OF REVIEW

Case No. #B24-026 046 (H)
Exhibit B
Date 7.30.24
Fals KP



CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Jon Cotton – Manager CCHVI, LLC
906-430-7310 sam@hishotels.com
Phone Number Email Address

Please complete both sides of application.
The Fee and five (5) copies of the application, plans
and all required documents must be submitted to
the Zoning Administrator fourteen (14) days prior to
the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

CCHVI, LLC
PO Box 1207
Mackinac Island, MI 49757

Is The Proposed Project Part of a Condominium Association?	NO
Is The Proposed Project Within a Historic Preservation District?	YES
Applicant's Interest in the Project (If not the Fee-Simple Owner):	Owner
Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?	NO
Is a Variance Required?	TBD
Are REU's Required? How Many?	NO

Type of Action Requested:

<input checked="" type="checkbox"/> Standard Zoning Permit	<input type="checkbox"/> Appeal of Planning Commission Decision
<input type="checkbox"/> Special Land Use	<input type="checkbox"/> Ordinance Amendment/Rezoning
<input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Ordinance Interpretation
<input type="checkbox"/> Other _____	

Property Information:

- A. Property Number (From Tax Statement): 051-525-026-00
- B. Legal Description of Property: ASSESSORS PLAT NO. 2 BEG AT SW COR OF LOT 72 TH N 10 DEG 35' 34"E 335.2 FT ALONG W LINE TH S 85 DEG 11'00"E 145.0 FT TO E LINE OF LOT 72 TH S 10 DEG 23'30"W 346.0 FT ALONG E LINE TO S LINE OF LOT 72 TH W'LY ALONG S LINE 147 FT M/L TO THE POB ALSO BEG AT THE SE COR OF LOT 76 TH N 71 DEG 11'57"W 62.5 FT ALONG S LINE TO W LINE TH N 12 DEG 14'51"E 170.9 FT ALONG W LINE TO N LINE OF LOT 76 TH S 74 DEG 47'57"E 65.15 FT ALONG N LINE TO E LINE TH S 13 DEG 13'34"W 174.7 FT TO THE POB. ALL OF LOT 76 AND PART OF LOT 72.
- C. Address of Property: 6860 MAIN ST
- D. Zoning District: HB
- E. Site Plan Checklist Completed & Attached: Yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes
- G. Sketch Plan Attached: Yes
- H. Architectural Plan Attached: Yes
- I. Association Documents Attached (Approval of project, etc.): NA
- J. FAA Approval Documents Attached: NA
- K. Photographs of Existing and Adjacent Structures Attached: Yes

Proposed Construction/Use:

A. Proposed Construction:

____ New Building

X Alteration/Addition to Existing Building

____ Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Hotel

Proposed Use: Hotel

C. If Vacant: NA

Previous Use: _____

Proposed Use: _____

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Owner (**specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest**) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant**

is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.


Signature

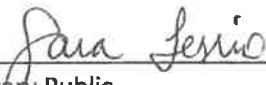
Jon Cotton
Please Print Name

SIGNATURES
Signature

Please Print Name

Signed and sworn to before me on the 29 day of July, 2024.

SARA TERRIO
NOTARY PUBLIC, STATE OF MI
COUNTY OF OAKLAND
MY COMMISSION EXPIRES Jan 1, 2030
ACTING IN COUNTY OF Wayne


Notary Public
Oakland County, Michigan
My commission expires: January 1, 2030

FOR OFFICE USE ONLY

Zoning Permit Issued:

Inspection Record:

Inspection	Date	Inspector	Comments
1.			
2.			
3.			

Occupancy Permit Issued

Revised October 2023

OFFICE USE ONLY			
FILE NUMBER:	H324 026-046 (H)	FEE:	\$400-
DATE:	7.30.24	CHECK NO:	
		INITIALS:	KD
			Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|--------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|--------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|--------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Utility Information

Provided

Not Provided
or Applicable

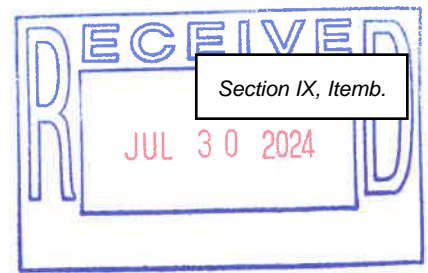
- | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Architectural Review
Informational Requirements (Section 18.05)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>



Harbour View Planning Commission Application Attachment:

Parcel Number: 051-525-026-00

Legal Description from Tax roll: ASSESSORS PLAT NO. 2 BEG AT SW COR OF LOT 72 TH N 10 DEG 35' 34"E 335.2 FT ALONG W LINE TH S 85 DEG 11'00"E 145.0 FT TO E LINE OF LOT 72 TH S 10 DEG 23'30"W 346.0 FT ALONG E LINE TO S LINE OF LOT 72 TH W'LY ALONG S LINE 147 FT M/L TO THE POB ALSO BEG AT THE SE COR OF LOT 76 TH N 71 DEG 11'57"W 62.5 FT ALONG S LINE TO W LINE TH N 12 DEG 14'51"E 170.9 FT ALONG W LINE TO N LINE OF LOT 76 TH S 74 DEG 47'57"E 65.15 FT ALONG N LINE TO E LINE TH S 13 DEG 13'34"W 174.7 FT TO THE POB. ALL OF LOT 76 AND PART OF LOT 72.

Further legal description can be found on the included ALTA survey as part of the drawing packet.

File No. HB24-026-046(H)

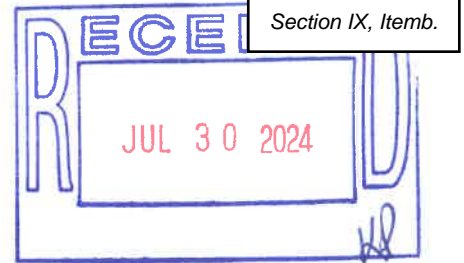
Exhibit A

July 29, 2024

Date 7-30-24

Mackinac Island Planning Commission

Initials KP



The Harbour View Inn is submitting the plan to add an enclosed fire escape at the rear of the old La Chance building at 6860 Main Street. This will replace the old metal open fire escape on the rear of the building (Photo 2, 3, 4) to provide a 4-season safe egress path at the request of the building department. This will require the removal of siding and doors at the rear of the building, the construction of the addition. The new addition will be done to match the remainder of the building as outlined in the plans. The scope of this seasons projects will also include fire suppression for this building, air conditioning updates (Photos 5, 6, 7, 9, 10, 11, 12, 13) for the campus of buildings as well as some rot repairs and roofing updates that is being submitted in concert with the Historic District Commission.

The brick paver walkways have not been finalized by the landscape architect. The existing and the future walkways will continue to be over a bed of natural sand. At this time the zoning ordinance still considers all brick pavers as impenetrable surface based on a known accidental change to the ordinance. This project would need a variance to the lot coverage based on the brick walkways or an update to return the ordinance to it historical form.

Most of the Site Plan Review Checklist items are included in the attached drawings. Below you will find narrative on the remaining items for your review.

This project will have no material effect on adjoining lands and occupants.

We plan to deliver freight for construction to the Main Street side of the building and to the back of the structure via Bogan Lane and Church Street. Material will be stored in the front yard as well as the flat areas in the rear of the buildings. We anticipate making a city council request for dumpsters and telehandler for construction and the typical vehicle request for the waterline installation and paving of Bogan Lane when the street cut is restored. We do not anticipate any fencing needs for safety but will work with the building and fire departments on any needs they see to provide a safe worksite for the public over the winter including markers that identify the dumpster(s) that are lit at night.

The proposed start dates are with the end of the season in 2024. We anticipate completion by April 15th 2025. Their will be additional phase 2 work in the winter of 2025/2026.

We do not anticipate this project to have any change to the exiting community services, water supply, solid waste, sanitary sewer or water drainage.

The demolition of the existing metal staircase on this project is minimal and we have not provided the items on the demolition check list. While digging the new foundation should we find any unknown historic or archeological remains we will immediately shop and make the required notification to the City.

We are looking to also replace items in a “like for like” fashion on the project. They include Rot on the windows at the Chateau building (Photo 1), roof shingle replacement on Chateau (Photo 1) and the bridgeway between guesthouse and carriage house buildings (Photo 14), rot on porches and hand railings, and rot on wood pillars (Photo 15,16,17,18).

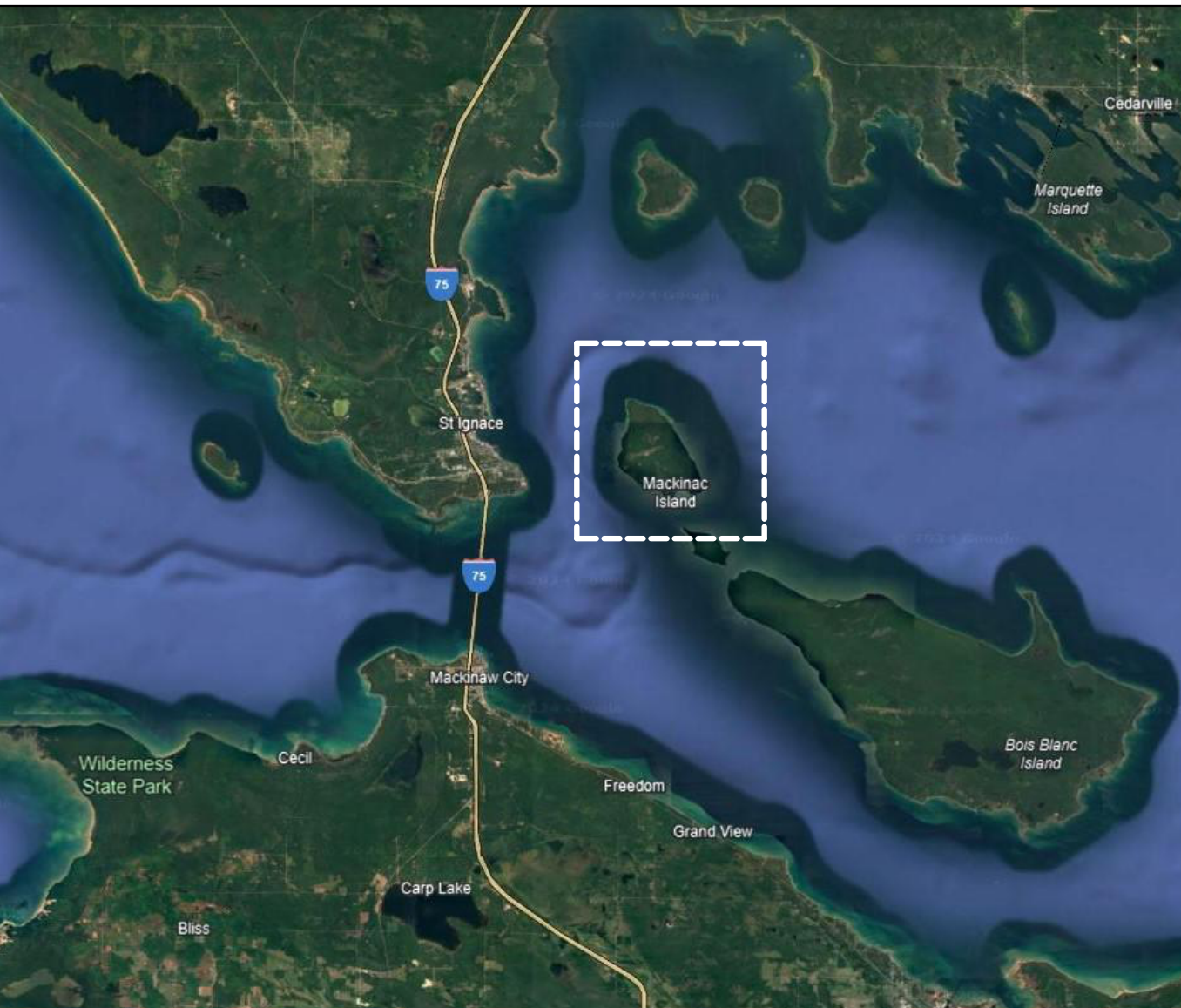
Respectfully submitted

Sam Barnwell

HARBOUR VIEW MACKINAC LLC

HARBOUR VIEW INN IMPROVEMENTS

6876 Main St, Mackinac Island, MI 49757



SITE LOCATION MAP



CAMPUS PLAN

SCHEDULE OF DRAWINGS

- GENERAL DRAWINGS
G-001 TITLE SHEET
ALTA Survey
- ARCHITECTURAL DRAWINGS
A-001 ARCHITECTURAL SITE PLAN
A-002 PHOTOGRAPHS
A-003 PHOTOGRAPHS
A-004 PHOTOGRAPHS
A-101 GROUND FLOOR PLAN
A-102 LEVEL TWO AND THREE FLOOR PLAN
A-103 LEVEL FOUR FLOOR PLAN
AR-101 ROOF PLAN
A-201 EXTERIOR BUILDING ELEVATIONS & ISOMETRICS
A-301 BUILDING SECTIONS

RELEASE

ENTITLEMENT

DATE OF ISSUE

06/28/24

ARCHITECT'S PROJECT NUMBER

22407800

LEGAT ARCHITECTS
Design with a Difference

HARBOUR VIEW
MACKINAC LLC

HARBOUR VIEW
INN
IMPROVEMENTS

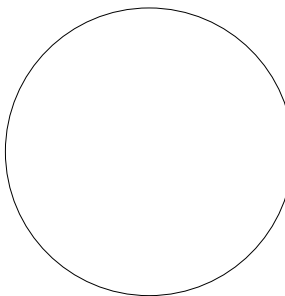
6876 Main St, Mackinac Island, MI 49757

ARCHITECT
Legat Architects, Inc.
2015 Spring Rd, Suite 175
Oak Brook, IL 60523
P: (630) 990-3535
www.legat.com

INTERIOR DESIGNER
Senger Design Group
523 South Cascade Ave, Suite B
Colorado Springs, CO 80903
P: (719) 522-1520
www.sengerdesigngroup.com

STRUCTURAL ENGINEER
Pierce Engineers
350 N LaSalle, Suite 1010
Chicago, IL 60654
P: (312) 761-5693
www.pierceengineers.com

CIVIL ENGINEER
OHM Advisors
34000 Plymouth Road
Livonia, MI 48150
P: 734-522-6711
www.ohm-advisors.com



SIGNATURE _____

DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE
1	ZONING	08/23/24

PROJECT NUMBER 22407800
DATE OF ISSUE 06/28/24
DRAWN BY Author
REVIEWED BY Checker

TITLE SHEET

G-001
ENTITLEMENT

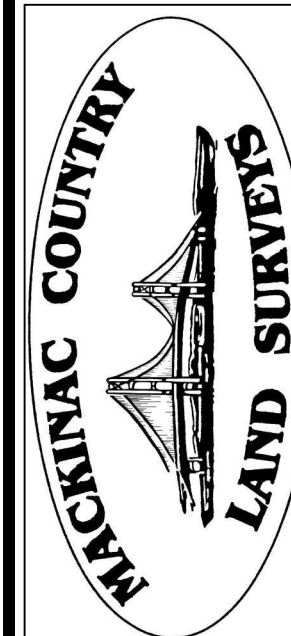
LEGAT ARCHITECTS



PIERCE ENGINEERS
CONSULTING STRUCTURAL ENGINEERS



ALTA/NSPS Land Title Survey

Sheet 1 of 1
ALTA SurveyMackinac Country Land Surveys
429 Ellsworth St. ~ St. Ignace, MI 49781
(906) 643-9418 www.MackinacSurveys.com

DATE: 1/31/2024 ~ Revised 3/06/2024

ORDER #: 23109-HVI-72/59-AP2-MI

DRAWN BY: Matthew B Bliss

Part of Lot 72

051-725-(001-10/006-00)

1407 Church St
Rowe House Terraces Condo
Various Owners73
051-525-028-00
1450 Bogan Ln
William Chambers Etal74
051-525-029-00
1432 Bogan Ln
M.I. Carriage Tours75
051-525-030-00
1420 Bogan Ln
Patricia Martin

76

Part of
Lot 72
Parcel A
051-525-026-00
6860 Main Street
Harbor View Inn LLC
1.391 AcItem #8,
10' Easement

Item #14

Item #14

Item #14

Legend	
	Found Concrete Monument
	Found Property Iron
	Set 1/2"x18" Iron #50439
	Measured Dimension
	Record / Previous Dimension
	Lot or Parcel Line
	Subject Parcel Line
	OHP
	Underground Power Line
	Underground Storm Line
	Underground Fiber optic Line
	Telephone/Cable Line
	Title item as referenced on Commitment XXXXXXXX
	Fire Hydrant
	Storm Catch Basin
	Sanitary Man Hole
	Sanitary Clean Out
	Electric Transformer
	Electric Power Meter
	Water Valve
	Fire Department Hookup
	Power Pole
	Light & Pole
	Gas Meter
	Telephone Box
	Underground Telephone Box
	Air Conditioning/Heating Unit

Bearing from GPS
Michigan State Plane
North Zone
Scale: 1" = 20'
0 20 40Neil W. Hill P.S.
Professional Surveyor #50439**Certification:**

To: Harbour View Mackinac LLC, CCHVI LLC, First National Bank of Michigan & Seaver Title Agency – ATA National Title Group, and Stewart Title Guaranty Company and Corporate Settlement Solutions:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1,2,3,4,7a,13,16, & 17 of Table A thereof. The fieldwork was completed on 1/31/2024 & the Date of Plat or Map is 1/31/2024

Record Legal Description:

Land situated in the City of Mackinac Island, County of Mackinac, State of Michigan, described as:

Parcel A:
Commencing at the corner being common to the Southwest corner of Lot 72 and the Southeast corner of Lot 76, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records as to the point of beginning; thence along the Southerly line of said Lot 76, N 71°11'57" W 62.50 feet to the Westerly line of said Lot 76; thence along said Westerly line, N 12°14'51" E 170.60 feet to the Northerly line of said Lot 76; thence along said Northerly line, S 74°47'57" E 65.15 feet to the Easterly line of Lot 76 and Westerly line of Lot 72; thence along said Westerly line of Lot 72, N 13°13'26" E 160.80 feet; thence S 75°33'08" E 145.00 feet to the Easterly line of said Lot 72; thence along said Easterly line, S 13°01'22" W 346.00 feet to the Southerly line of Lot 72; thence along said Southerly line of said Lot 72, 147 feet more or less to the point of beginning. All being Lot 76 and part of Lot 72, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records.

Parcel B:
Lot 59, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records.

Parcel C:
Lot 60B, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records.

Parcel D:
Not included in this survey

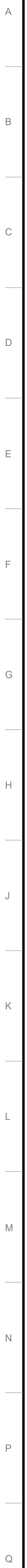
Parcel B
051-525-012-00
1378 Church St
Harbor View Inn LLC
3,218 SqFtParcel C
051-525-015-00
Church St
Harbor View Inn LLC
1,321 SqFt**Special Title Exceptions:**

Per Schedule B Part II of ATA National Title Group, LLC, Registry ID: No. 1033513, Office File Number 49-23899197-SCM, Revision No. 1, dated December 15, 2023 at 8:00AM:

- Items 1-7 are not graphically plottable on survey.
- Item 8 10 foot wide utility easement recorded in Liber 272, Page 412, (Parcels A & D) – plotted along the North line of Parcel A. NOTE: Due to the uncertainty of the North line of Assessor's Plat No. 2, and Lot 72, this easement must be field verified.
- Item 9 ROW Easement in favor of Cloverland Electric Corporation, recorded in Liber 876, Page 571 (Parcel A) Blanket easement, limited to 8 feet each side of an underground electric line, and/or 15 feet each side of an overhead electric line. - Known electric utilities plotted on map, NOTE: others may be present.
- Item 10 Blanket easement, limited to 8 feet each side of an underground electric line, and/or 15 feet each side of an overhead electric line. - Known electric utilities plotted on map, NOTE: others may be present.
- Items 11-13 are not graphically plottable on survey.
- Item 14 Various utilities shown on Porter's Survey P.C. Job No. 73-16, dated August 1, 2016 (Parcel A)
a. Overhead Telephone and Cable TV lines over Lot 76 without reference to an easement – Shown on map
b. Overhead Power Line over Lot 76 without reference to an easement – Appears to be moved, shown on map.
c. Underground Telephone and Power Lines over Lot 72 without reference to an easement – Shown on map
d. Cable TV Lines over Lot 72 without reference to an easement – Shown on map
NOTE: Underground utilities shown via previous survey, and are not located as part of this survey.
- Items 15 & 18 are not graphically plottable on survey.
- Items 16 & 17 Parcel not included in this survey. (Parcel D)

Notes:

- No regular vehicular access to parcel. Normal access is limited to pedestrian, bicycle & horse carriage.
- According to the FIRM 26097C1001C on www.FEMA.gov these parcels reside in Community No. 260764, with the entirety of the parcels in Zone X, via graphic plotting.
- All utilities are located via visual inspection, and previous survey map. No utility marking was performed for this project.
- There was no evidence of recent earth moving work, building construction, or building additions observed.
- The surveyor is unaware of any proposed changes in street right of way lines and there is no evidence of recent street or sidewalk work on subject parcels.



A large, light blue, three-story Victorian-style house with a prominent red brick chimney. The house features multiple windows, including dormers on the roof. A covered outdoor dining area with black metal furniture is visible in the foreground. The house is situated on a grassy hillside with other houses visible in the background.

SITE DATA

	EXISTING	PROPOSED
ZONING:	"HB" HOTEL / BOARDING HOUSE	NO CHANGE
ADJACENT ZONING:	"HB" HOTEL / BOARDING HOUSE	NO CHANGE
EXISTING LOT AREA:	60,565 SF = 1.391 ACRES	NO CHANGE
MINIMUM LOT AREA:	7,500 SF	COMPLIES
MINIMUM LOT COVERAGE:	40% OF 60,565 = 24,266 SF	19,426 SF IMPERVIOUS
DENSITY HOTELS:	60 BEDROOMS PER ACRE	83 ALLOWED, 81 EXISTING
MAXIMUM HEIGHT:	40 FEET, OR 3.5 STORIES	NO CHANGE
FRONT YARD:	30 FEET SETBACK	NO CHANGE
SIDE YARD:	10 FEET SETBACK	NO CHANGE
REAR YARD:	30 FEET SETBACK	NO CHANGE

PROPOSED OPERATIONS

Harbour View Inn is an existing hotel that will continue being operated as a hotel. The proposal work includes adding a stair addition to the Cottage building and adjoining paver walks to provide access to a public way for building egress. Mechanical condenser units throughout the property will be replaced and added to provide air conditioning to all public space and guestrooms.

PROPOSED LOT COVERAGE

BUILDING	EXISTING	PROPOSED ADDITION
CHATEAU:	5,475 SF	NO CHANGE
COTTAGE:	2,448 SF	370 SF
CARRIAGE HOUSE:	2,556 SF	NO CHANGE
GUEST HOUSE:	5,944 SF	NO CHANGE
PAVILION:	562 SF	NO CHANGE
GAZEBO:	171 SF	NO CHANGE
IMPERVIOUS PAVED SURFACES:	1,900 SF	NO CHANGE
STRUCTURE/IMPERVIOUS TOTAL:	19,056 SF + 370 SF =	19,426 SF
PERVIOUS PAVED SURFACE:	7,500 SF	825 SF = 8,325 SF

ARCHITECTURAL PLAN NOTES

NOTE	DESCRIPTION
N001	REPLACE EXISTING CONDENSER
N002	NEW CONDENSER
N003	NEW DECORATIVE SCREENING
N004	REPAIR ROTTEN ROOF SHEATHING AND FASCIA, PROVIDE NEW ARCHITECTURAL SHINGLE ROOF. PHOTO 14
N005	REPAIR ROTTEN PORCH DECKING AND RAILINGS, NEW RAILINGS TO MATCH EXISTING PROFILES, COLOR, AND FINISH; GUARDRAIL AT 42" TALL AND HANDRAIL AT 36" TALL. PHOTOS 15-17
N006	REPAIR ROTTEN COLUMN BASE TRIM. MATCH EXISTING PROFILE, COLOR, FINISH, PHOTO 18

The site plan illustrates the layout of the Harbour View Inn property, bounded by Bogan Lane to the west, Huron Street to the south, and Church Street to the east. The plan shows several buildings: a large Multi-Story Hotel Building, a smaller Cottage, a Carriage House, a Guest House, and a Pavilion. Key features include existing landscaped lawns, new paver walks, retaining walls, and various parking areas. Numerous photographs (PHOTO 1 through PHOTO 18) are placed around the site to indicate specific locations of interest or damage. Lot lines are clearly defined with bearings and distances. The plan also shows adjacent lots (74, 75, 76, 61, 62) and streets like McGully Street. A north arrow and scale bar (1" = 20'-0") are provided at the bottom left.

NOTE: NEW LANDSCAPE AND PAVER WALKWAYS TO BE DESIGNED BY OWNER'S LANDSCAPE ARCHITECT. ITEMS SHOWN ARE TO REPRESENT FUTURE SELECTIONS TO BE MADE BY LANDSCAPE ARCHITECT.

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PHOTO 4 RENDERING



PHOTO 3 RENDERING



PHOTO 2 RENDERING



PHOTO 4

- OPTION 2 SCOPE:
1. REMOVE, CLEAN, REPAIR, PAINT, AND RE-INSTALL EXISTING FIRE ESCAPE.
 2. REPLACE 2ND, 3RD, 4TH FLOOR EXTERIOR DOORS AT FIRE ESCAPE. TYPE AND COLOR TO MATCH EXISTING CONDITION.
 3. REPAIR TRIM AND SIDING ON NORTH FACADE AS NECESSARY. TYPE AND COLOR TO MATCH EXISTING CONDITIONS.
 4. REMOVE EXISTING MECHANICAL EQUIPMENT, CREATE NEW NEW OPENING AT GROUND FLOOR, AND INSTALL PATHWAY AS SHOWN ON A-001 AND A-101.



PHOTO 3



PHOTO 2

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Design with a Difference

HARBOUR VIEW
MACKINAC LLC

HARBOUR VIEW
INN
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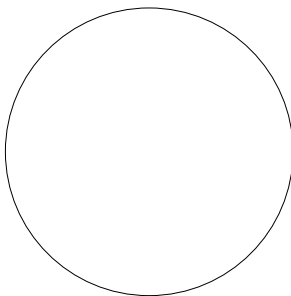
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PHOTOGRAPHS

A-002
ENTITLEMENT

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PHOTO 13



PHOTO 12



PHOTO 11



PHOTO 10



PHOTO 9



PHOTO 8



PHOTO 7



PHOTO 6

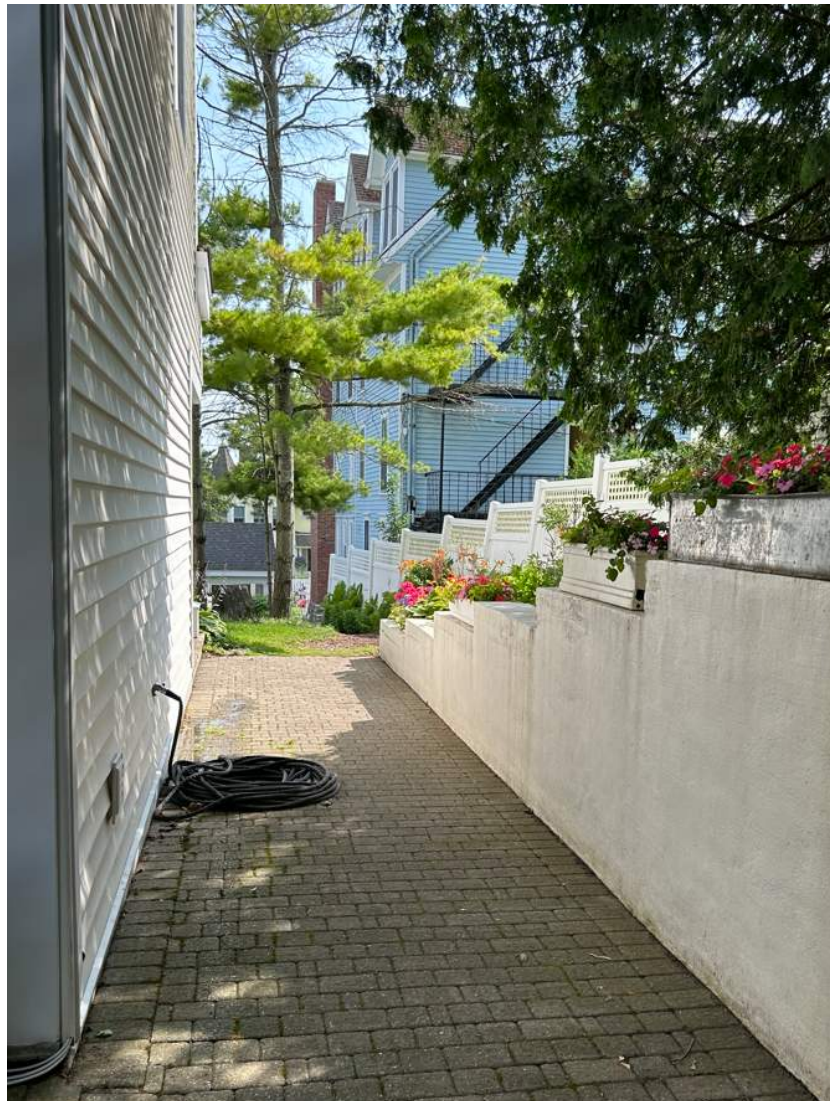


PHOTO 5



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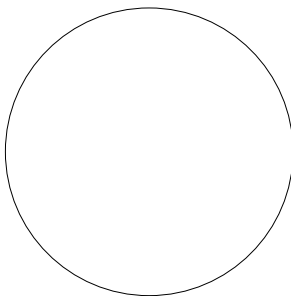
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PHOTOGRAPHS

A-003
ENTITLEMENT

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Section IX, Item.

LEGAT ARCHITECTS

Design with a Difference

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PHOTOGRAPHS

A-004

ENTITLEMENT




PHOTO 18




PHOTO 17




PHOTO 15




PHOTO 14

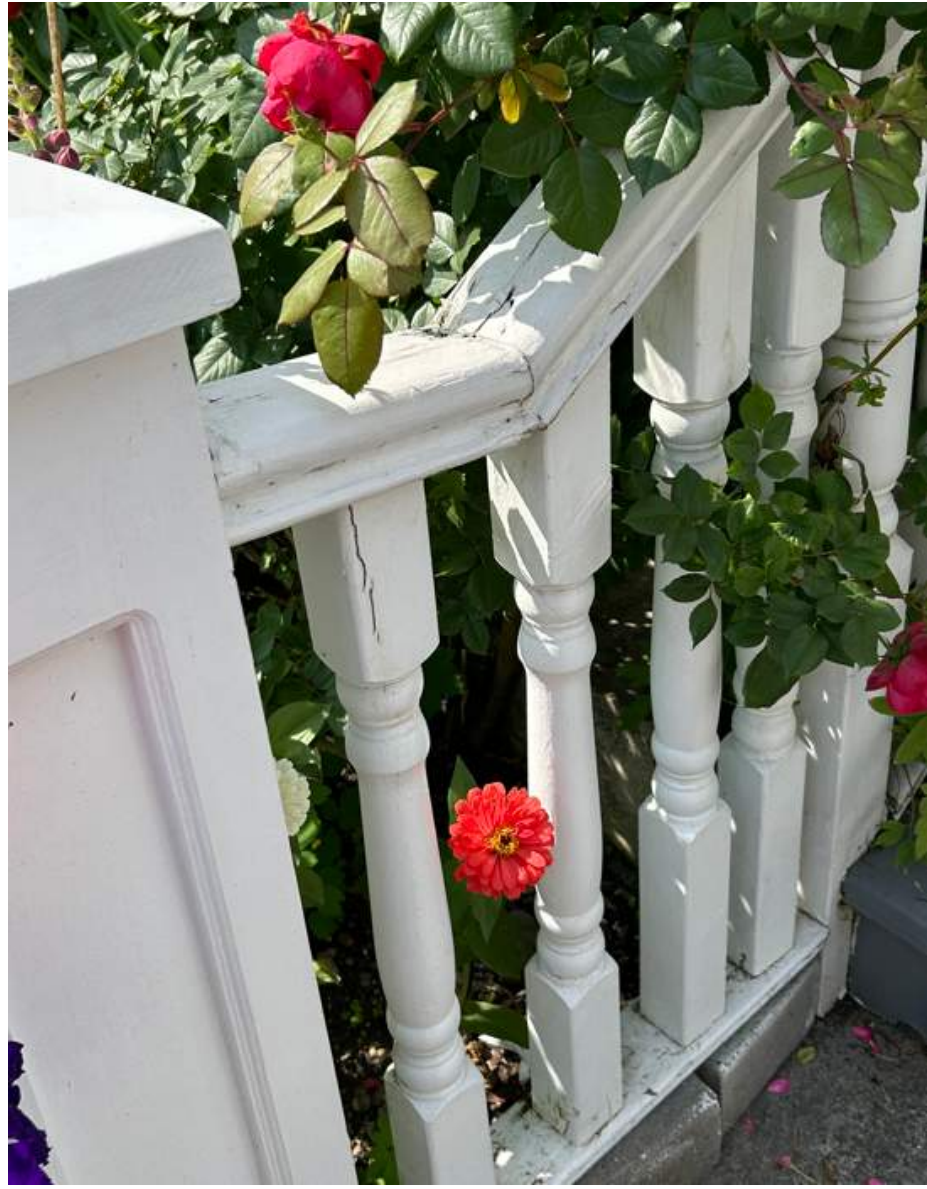
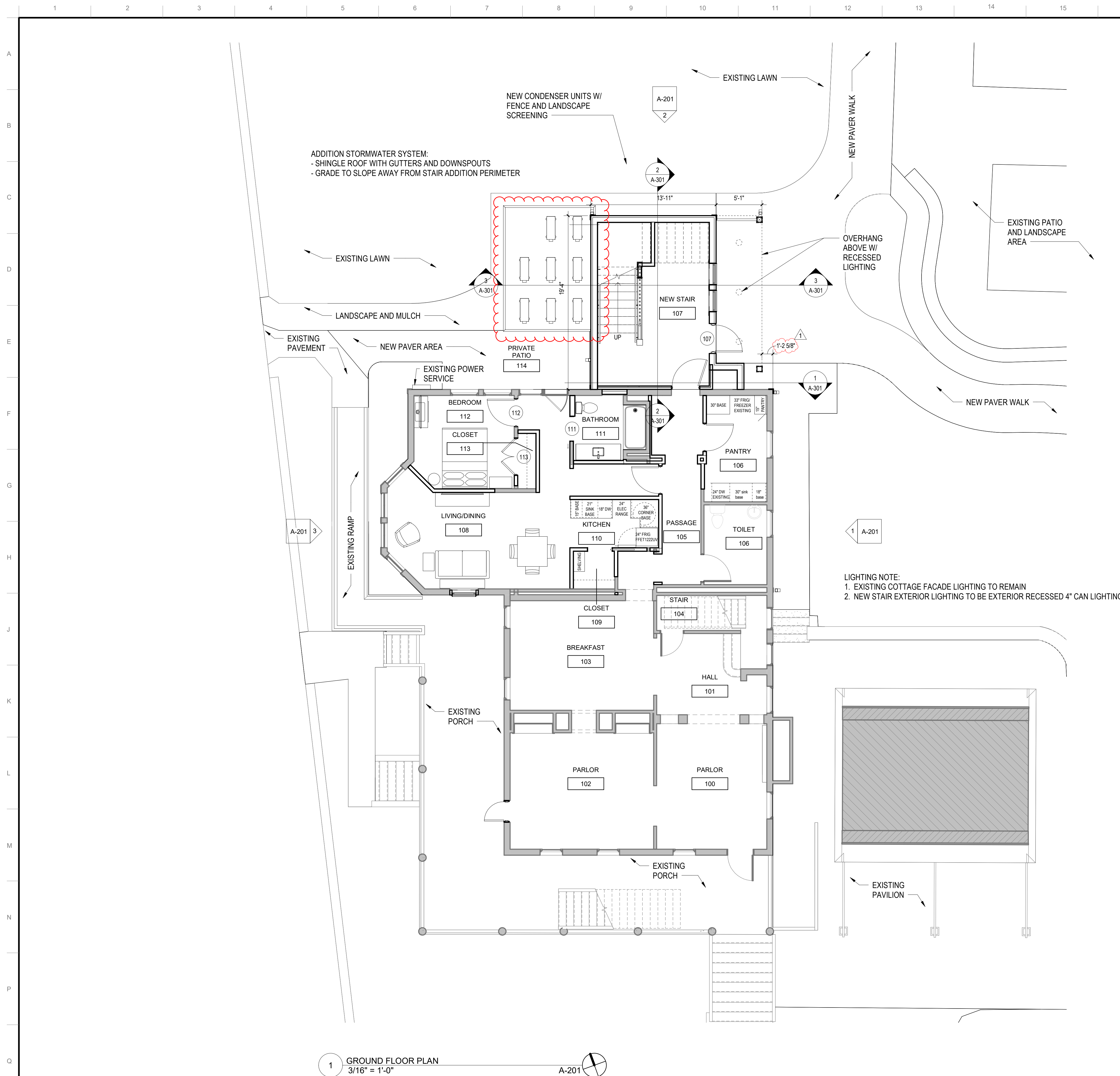


PHOTO 16

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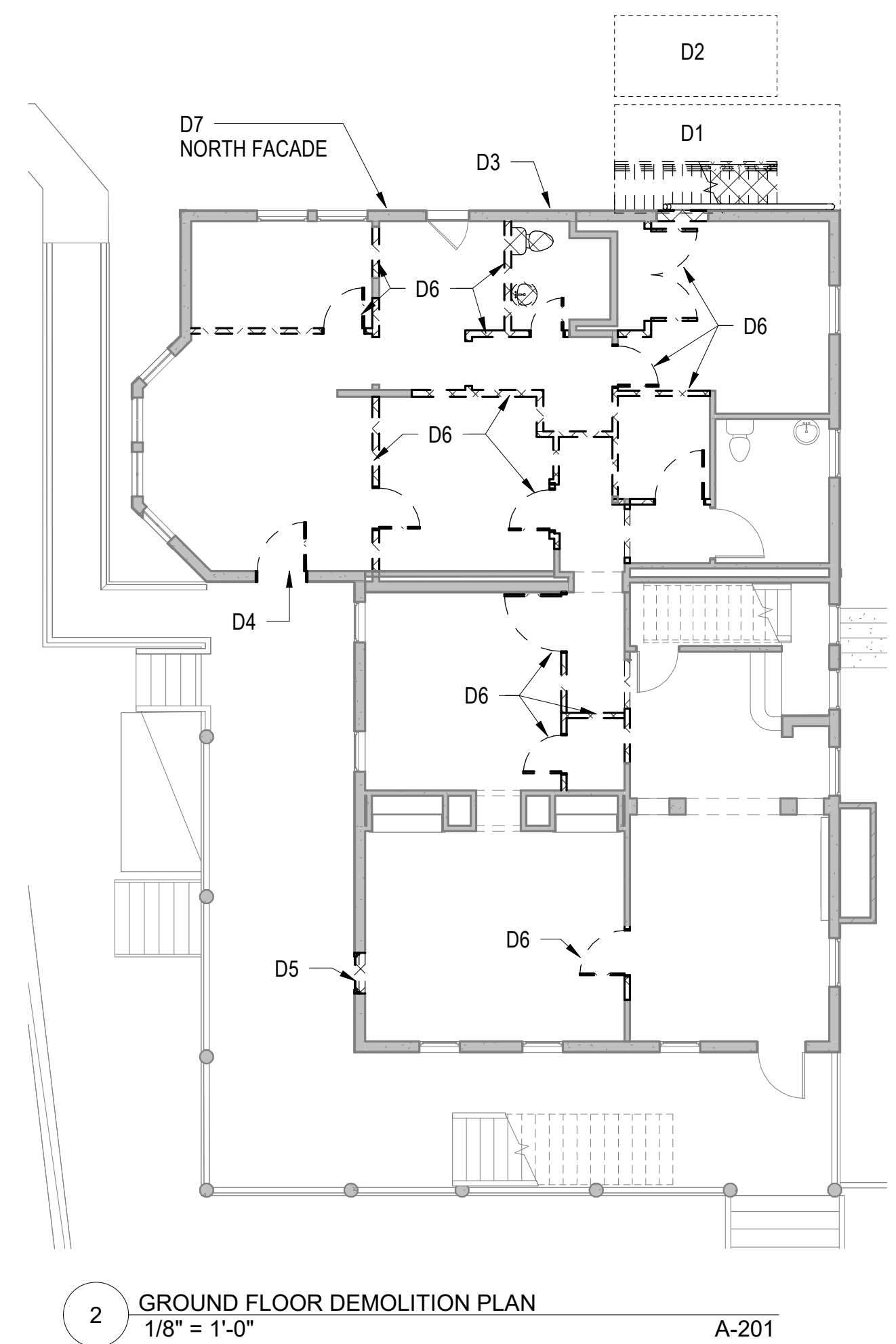


FLOOR PLAN LEGEND			
	1 A101	SIM	DETAIL SECTION TAG
	1 A101	SIM	BUILDING & WALL SECTION TAG
	S3FA		WALL TYPE - REFER TO A-611 FOR WALL TYPES
	101		DOOR NUMBER - REFER TO A-601 FOR DOOR AND FRAME SCHEDULE
	101		ROOM NAME
	101		ROOM NUMBER
	A101	Ref 1	INTERIOR ELEVATION TAG
	A101	1 Ref	EXTERIOR ELEVATION TAG
	0		COLUMN TAG AND COLUMN CENTERLINE
	A101	Ref 1	STOREFRONT, CURTAIN WALL AND WINDOW ELEVATION
	CG		CORNER GRef - REFER TO DETAIL
	FE		FIRE EXTINGUISHER - WALL MOUNTED
	FEC		RECESSED FIRE EXTINGUISHER AND CABINET
	FEC-R		FIRE RATED RECESSED FIRE EXTINGUISHER AND CABINET
	FEC		SEMI-RECESSED FIRE EXTINGUISHER AND CABINET
	FEC-B		SEMI-RECESSED FIRE EXTINGUISHER AND CABINET AND BLANKET
	MB#		MARKER BOARD
	TB#		TACK BOARD
	FD		FLOOR DRAIN
			AREA NOT IN CONTRACT
	N###		NEW WORK NOTE

ARCHITECTURAL PLAN NOTES N###	
NOTE	DESCRIPTION
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N006	REPAIR ROTTEN COLUMN BASE TRIM. MATCH EXISTING PROFILE, COLOR, FINISH. PHOTO 18

DEMOLITION SCOPE OF WORK:

- D1. REMOVE EXTERIOR FIRE ESCAPE ON NORTH SIDE
D2. REMOVE MECHANICAL UNIT AND SCREENING
D3. REMOVE BATHROOM WINDOW
D4. REMOVE DOOR AND REPLACE WITH EXISTING WINDOW
D5. REMOVE WINDOW, SALVAGE FOR REINSTALLATION. PREP OPENING FOR NEW DOOR.
D6. REMOVE INTERIOR WALLS AND DOORS
D7. REMOVE SIDING AND PREP FOR NEW SIDING TO MATCH EXISTING
D8. REMOVE SHINGLES ON EXISTING ROOF AND PREP FOR NEW ARCHITECTURAL SHINGLES



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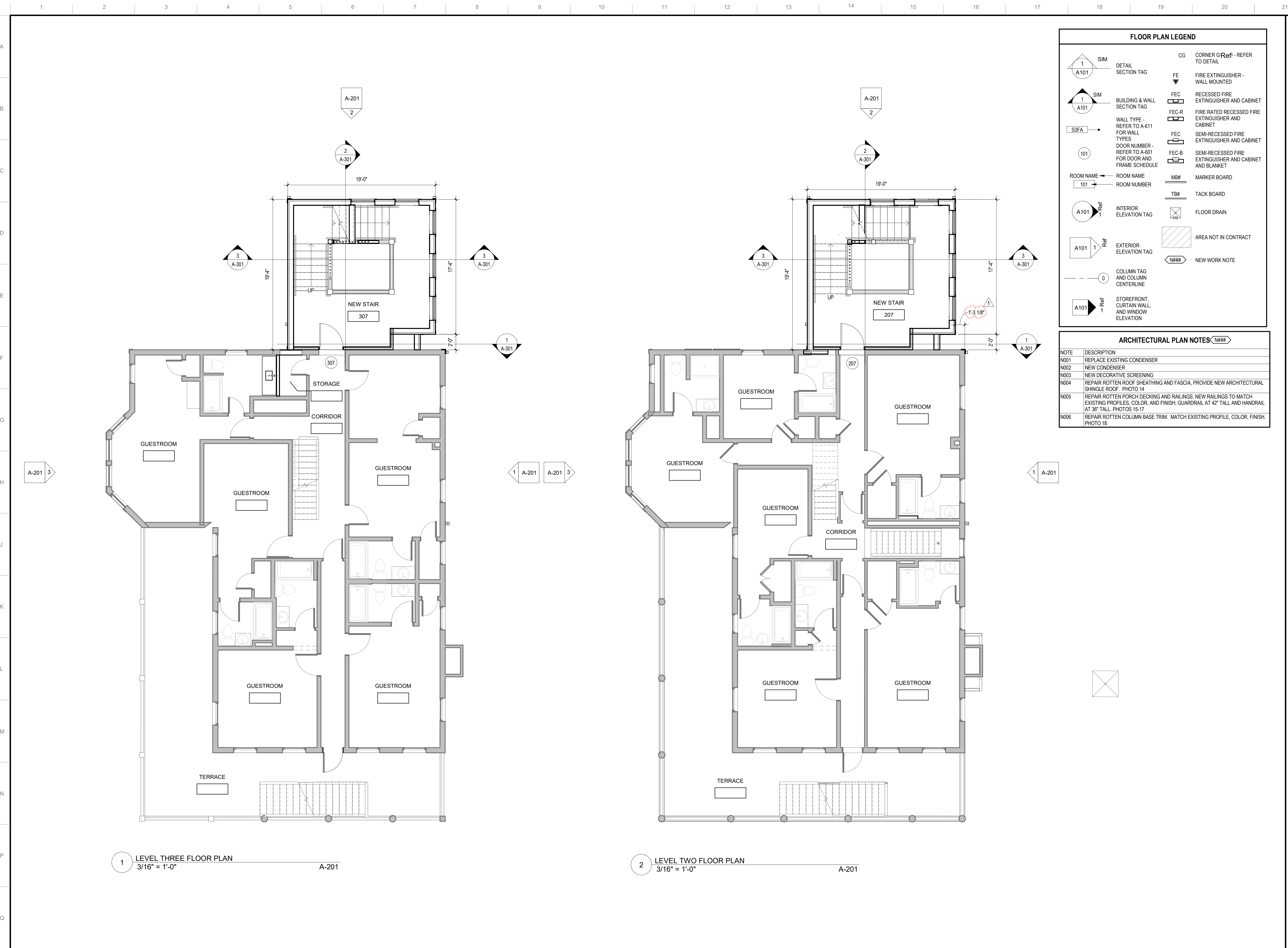
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GROUND FLOOR PLAN

A-101

ENTITLEMENT



2 LEVEL TWO FLOOR PLAN
3/16" = 1'-0" A-201

ARCHITECTURAL PLAN NOTES		##
NOTE	DESCRIPTION	
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A-102
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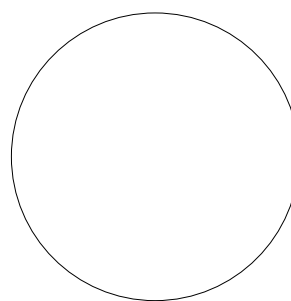
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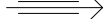
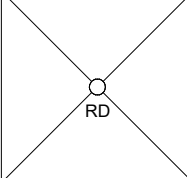
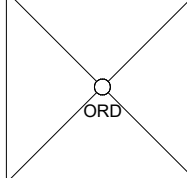




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LEVEL FOUR FLOOR
PLAN

A-103
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ROOF PLAN LEGEND

	AREA OF SLOPED STRUCTURE
	AREA OF 1/4" PER FOOT TAPERED INSULATION
	AREA OF 1/2" PER FOOT TAPERED INSULATION
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	TOTAL HEIGHT OF INSULATION IN INCHES NOT INCLUDING COVER BOARD
	METAL COPING AND JOINT - REFER TO DETAILS 5/A-521 (HORIZONTAL) AND 5/A-521 (VERTICAL)
	VENT PIPE ROOF PENETRATION
DSN	DOWNSPOUT NOZZLE
DS	DOWNSPOUT
	EXPANSION JOINT ASSEMBLY

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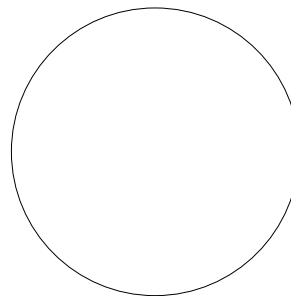
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ROOF PLAN

AR-101

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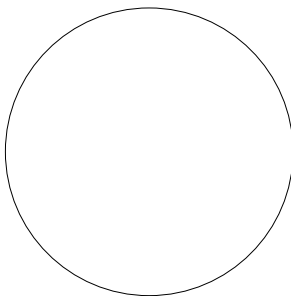
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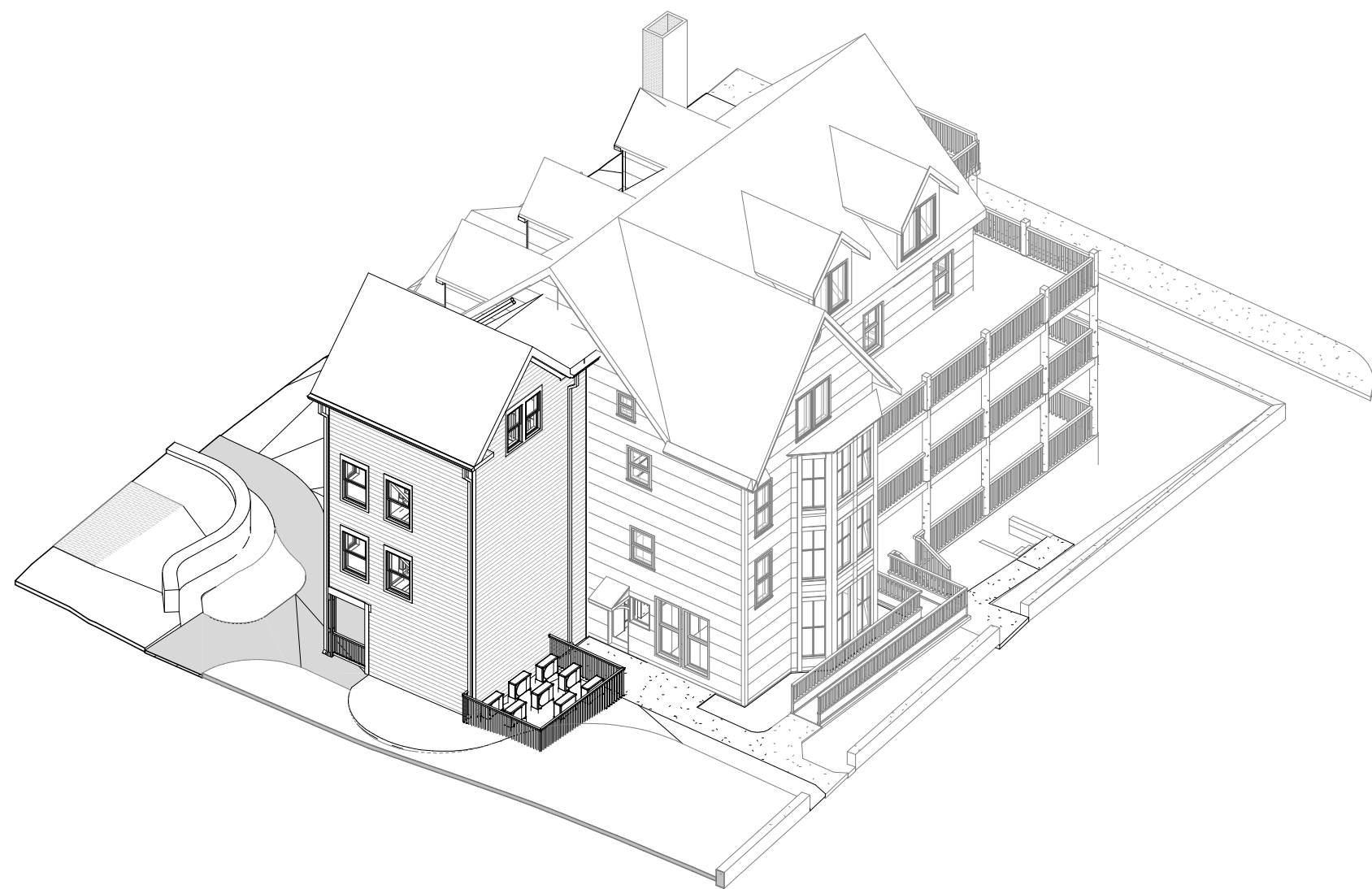
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EXTERIOR BUILDING
ELEVATIONS &
ISOMETRICS

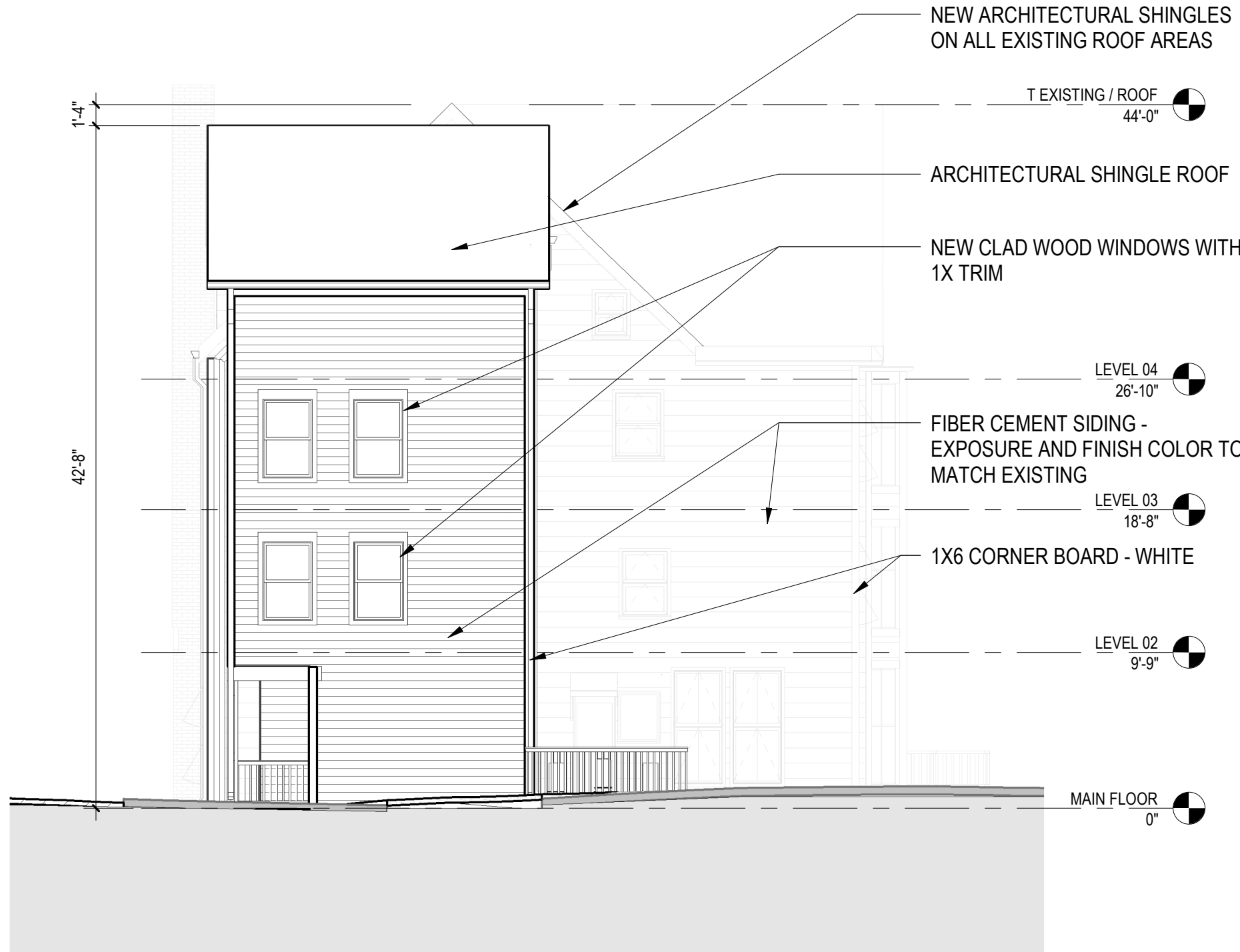
A-201
ENTITLEMENT



5 ISOMETRIC 02



4 ISOMETRIC 01



2 COTTAGE - STAIR ADDITION SOUTH ELEVATION
1/8" = 1'-0" A-011



3 COTTAGE - STAIR ADDITION EAST ELEVATION
1/8" = 1'-0" A-011



1 COTTAGE - STAIR ADDITION WEST ELEVATION
1/8" = 1'-0" A-011

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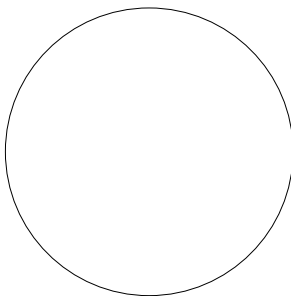
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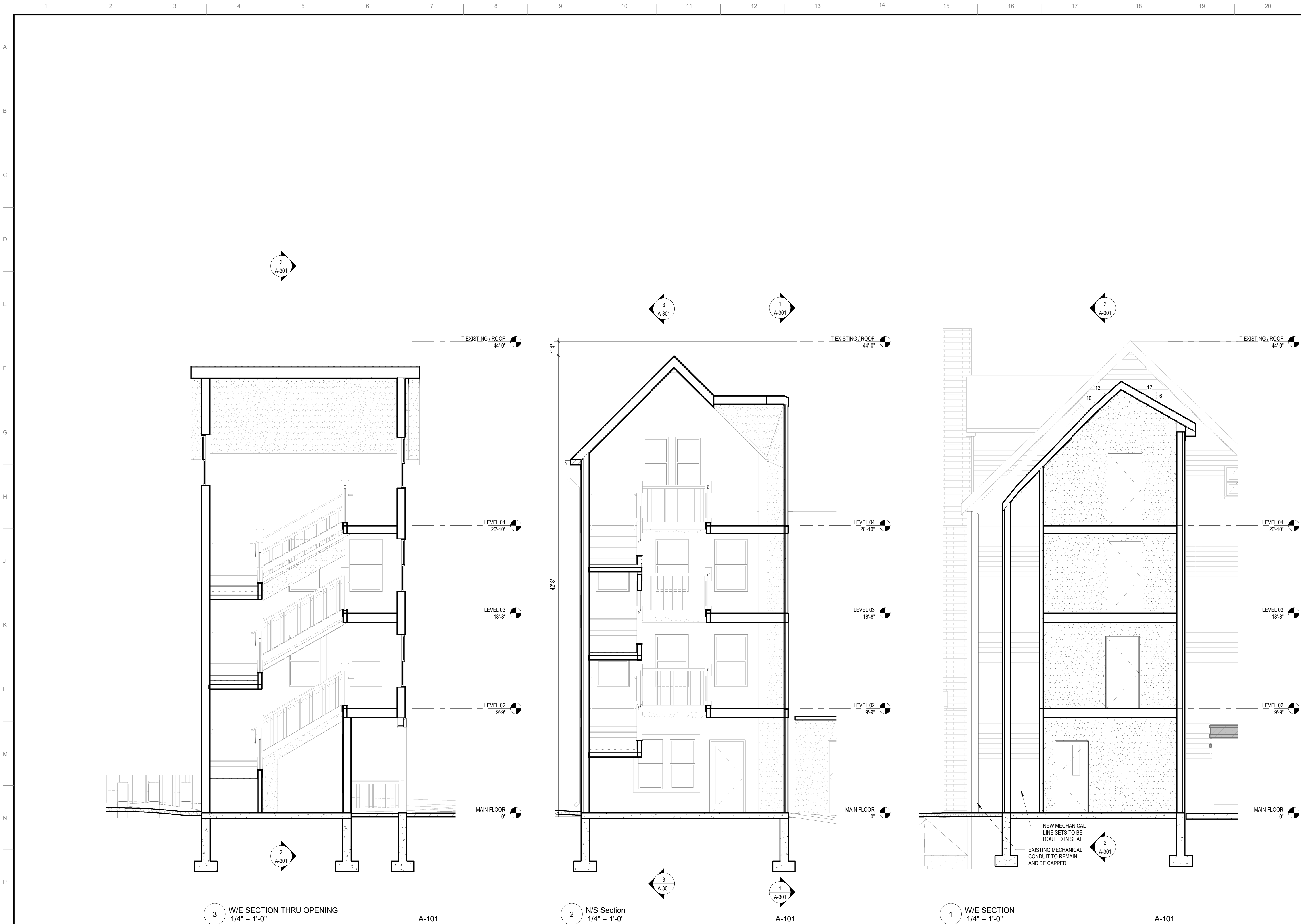
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BUILDING SECTIONS

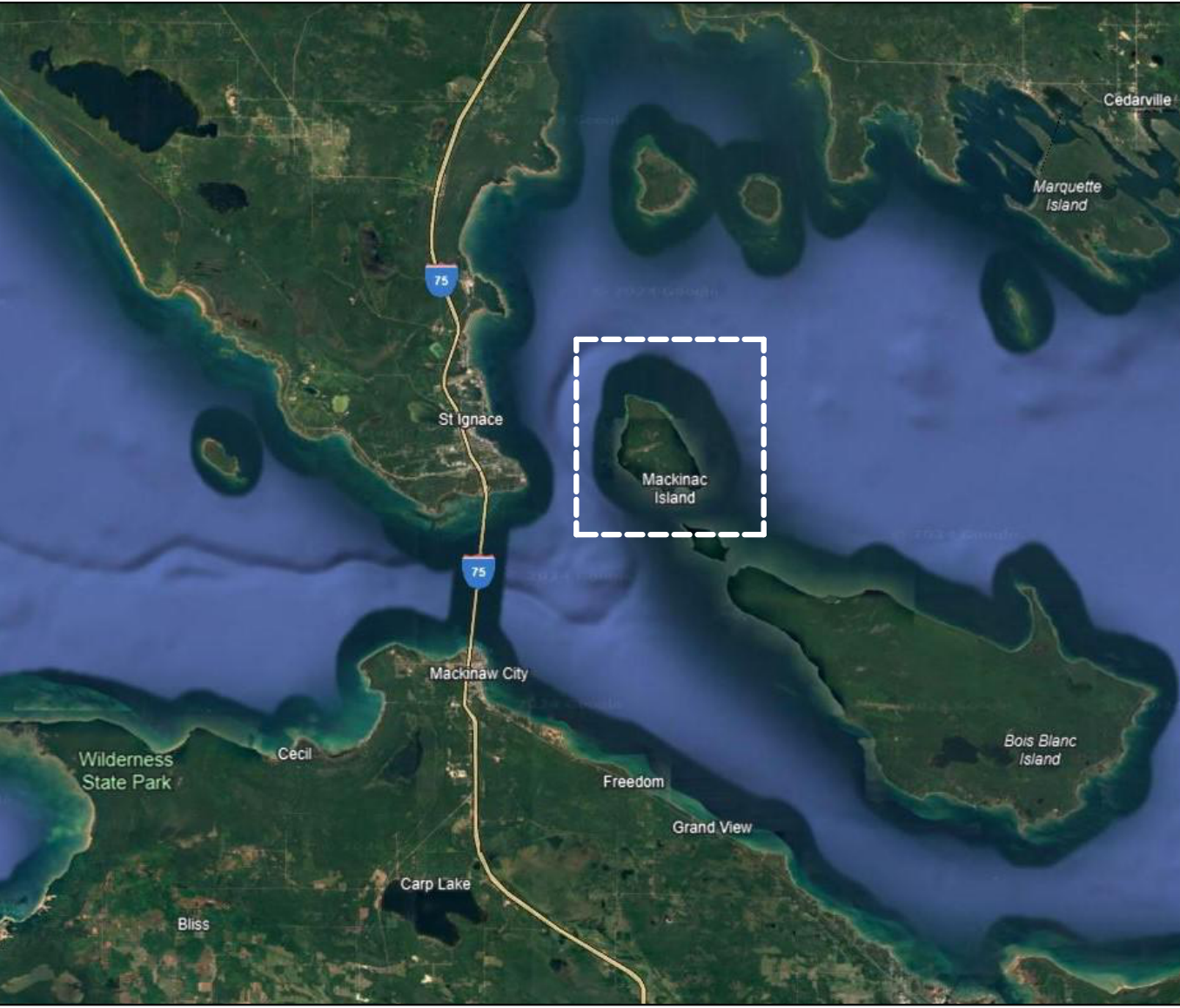
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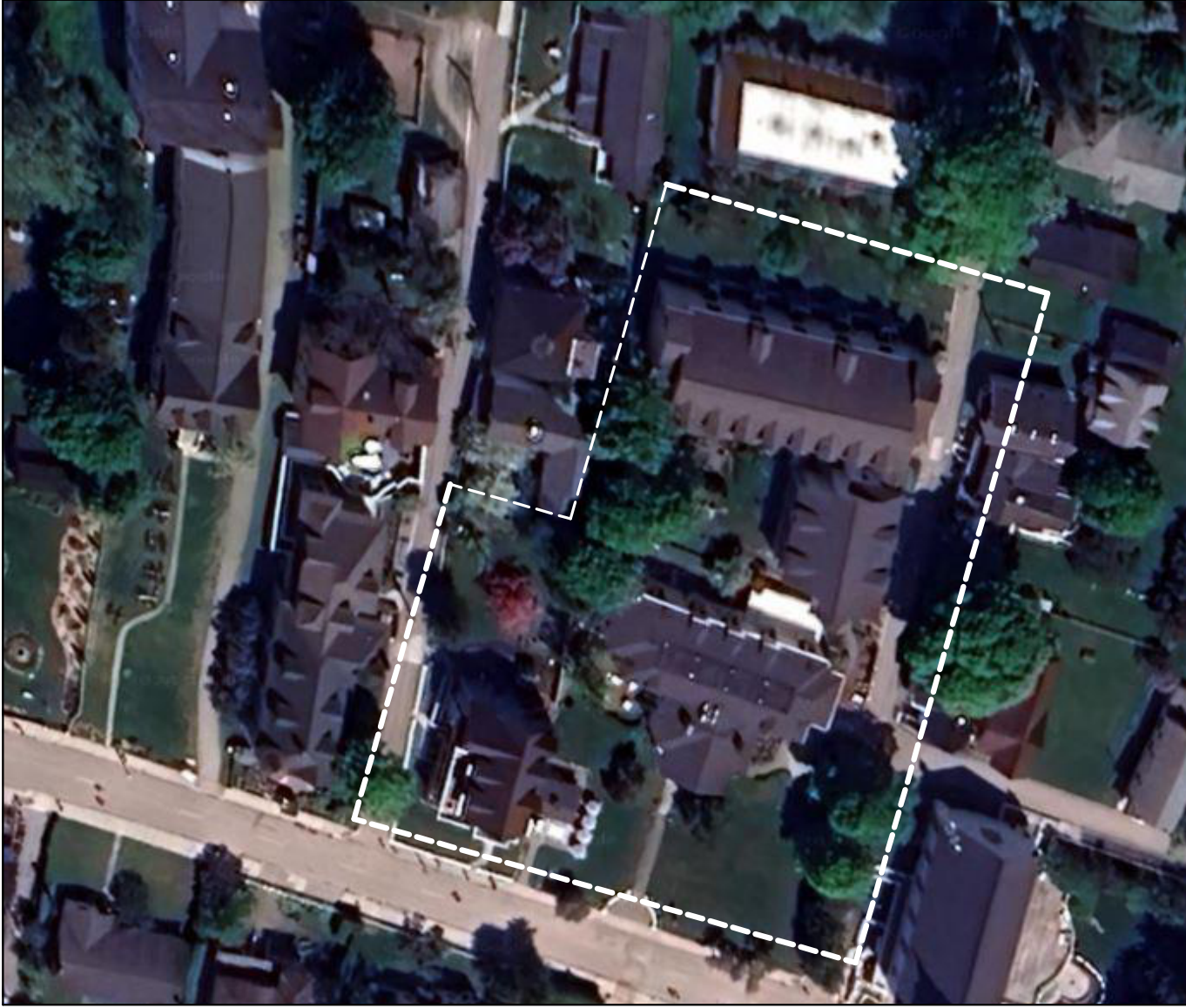
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SITE LOCATION MAP



CAMPUS PLAN

SCHEDULE OF DRAWINGS

- GENERAL DRAWINGS
G-001 TITLE SHEET
ALTA Survey
- ARCHITECTURAL DRAWINGS
A-001 ARCHITECTURAL SITE PLAN
A-002 PHOTOGRAPHS
A-003 PHOTOGRAPHS
A-004 PHOTOGRAPHS
A-101 GROUND FLOOR PLAN
A-102 LEVEL TWO AND THREE FLOOR PLAN
A-103 LEVEL FOUR FLOOR PLAN
AR-101 ROOF PLAN
A-201 EXTERIOR BUILDING ELEVATIONS & ISOMETRICS
A-301 BUILDING SECTIONS

RELEASE

ENTITLEMENT

DATE OF ISSUE

06/28/24

ARCHITECT'S PROJECT NUMBER

22407800

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Design with a Difference

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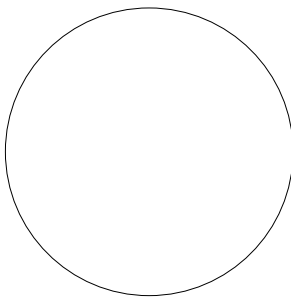
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TITLE SHEET

G-001
ENTITLEMENT

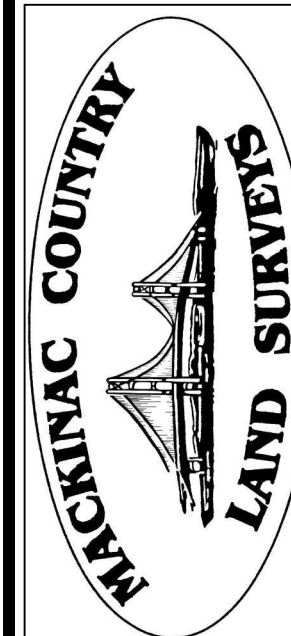
LEGAT ARCHITECTS



ALTA/NSPS Land Title Survey

Sheet 1 of 1
ALTA Survey

Mackinac Country Land Surveys
429 Ellsworth St. ~ St. Ignace, MI 49781
(906) 643-9418 www.MackinacSurveys.com



DATE: 1/31/2024 ~ Revised 3/06/2024

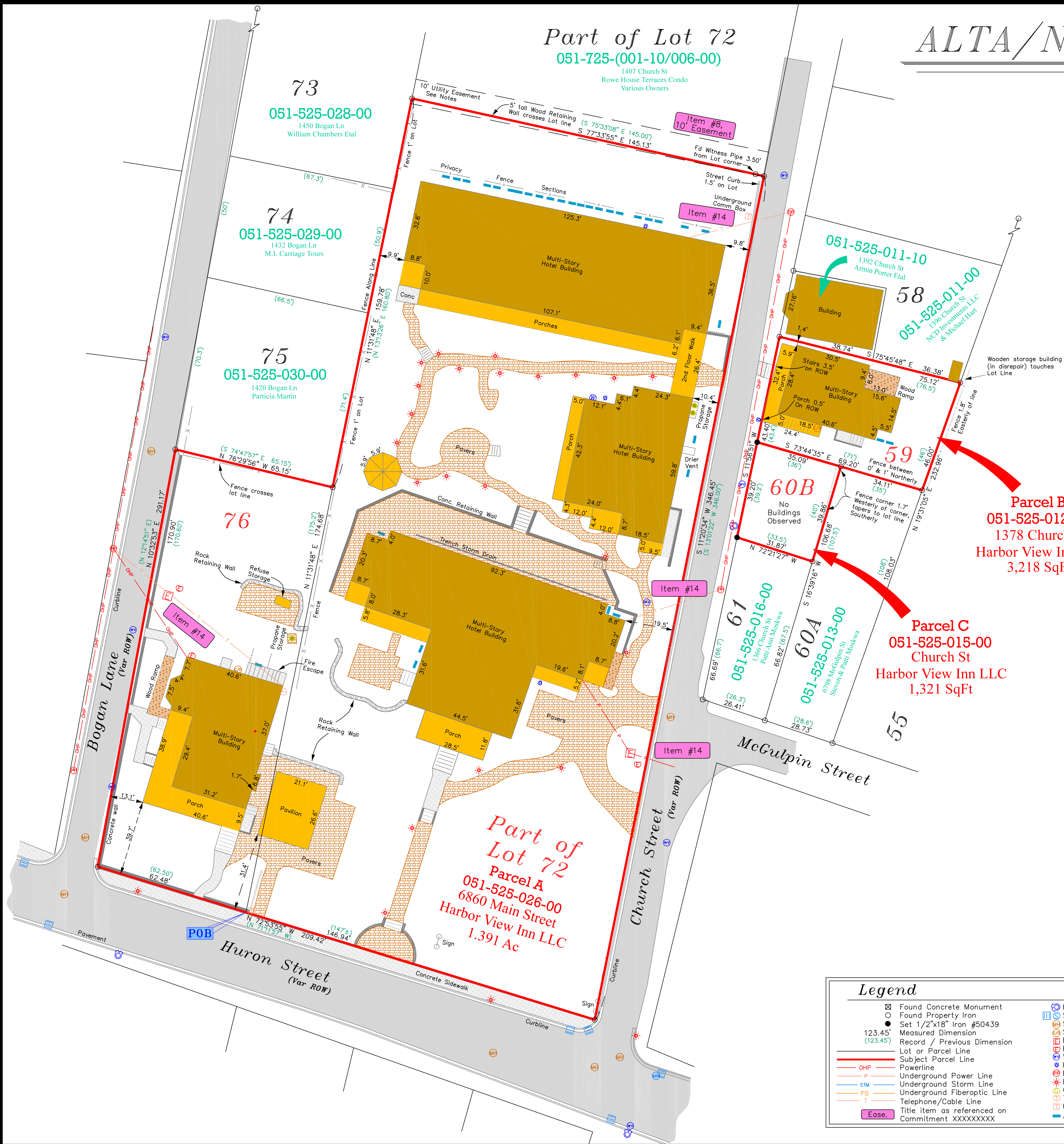
ORDER #: 23109-HVI-72/59-AP2-MI

DRAWN BY: Matthew B Bliss

Part of Lot 72

051-725-(001-10/006-00)

1407 Church St
Rowe House Terraces Condo
Various Owners



Certification:

To: Harbour View Mackinac LLC, CCHVI LLC, First National Bank of Michigan & Seaver Title Agency – ATA National Title Group, and Stewart Title Guaranty Company and Corporate Settlement Solutions:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1,2,3,4,7a,13,16, & 17 of Table A thereof. The fieldwork was completed on 1/31/2024 & the Date of Plat or Map is 1/31/2024

Record Legal Description:

Land situated in the City of Mackinac Island, County of Mackinac, State of Michigan, described as:

Parcel A:
Commencing at the corner being common to the Southwest corner of Lot 72 and the Southeast corner of Lot 76, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records as to the point of beginning; thence along the Southerly line of said Lot 76, N 71°11'57" W 62.50 feet to the Westerly line of said Lot 76; thence along said Westerly line, N 12°14'51" E 170.60 feet to the Northerly line of said Lot 76; thence along said Northerly line, S 74°47'57" E 65.15 feet to the Easterly line of Lot 76 and Westerly line of Lot 72; thence along said Westerly line of Lot 72, N 13°13'26" E 160.80 feet; thence S 75°33'08" E 145.00 feet to the Easterly line of said Lot 72; thence along said Easterly line, S 13°01'22" W 346.00 feet to the Southerly line of Lot 72; thence along said Southerly line of said Lot 72, 147 feet more or less to the point of beginning. All being Lot 76 and part of Lot 72, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records.

Parcel B:
Lot 59, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records.

Parcel C:
Lot 60B, Assessor's Plat No. 2, as recorded in Liber 2, Page 46 of Plats, Mackinac County Records.

Parcel D:
Not included in this survey

Parcel B
051-525-012-00
1378 Church St
Harbor View Inn LLC
3,218 SqFt

Parcel C
051-525-015-00
Church St
Harbor View Inn LLC
1,321 SqFt

Special Title Exceptions:

Per Schedule B Part II of ATA National Title Group, LLC, Registry ID: No. 1033513, Office File Number 49-23899197-SCM, Revision No. 1, dated December 15, 2023 at 8:00AM:

- Items 1-7 are not graphically plottable on survey.
Item 8 10 foot wide utility easement recorded in Liber 272, Page 412, (Parcels A & D) – plotted along the North line of Parcel A.
NOTE: Due to the uncertainty of the North line of Assessor's Plat No. 2, and Lot 72, this easement must be field verified.
Item 9 ROW Easement in favor of Cloverland Electric Corporation, recorded in Liber 876, Page 571 (Parcel A)
Blanket easement, limited to 8 feet each side of an underground electric line, and/or 15 feet each side of an overhead electric line.
- Known electric utilities plotted on map, NOTE: others may be present.
Item 10 ROW Easement in favor of Cloverland Electric Corporation, recorded in Liber 955, Page 313 (Parcels B & C)
Blanket easement, limited to 8 feet each side of an underground electric line, and/or 15 feet each side of an overhead electric line.
- Known electric utilities plotted on map, NOTE: others may be present.
Items 11-13 are not graphically plottable on survey.
Item 14 Various utilities shown on Porter's Survey P.C. Job No. 73-16, dated August 1, 2016 (Parcel A)
a. Overhead Telephone and Cable TV lines over Lot 76 without reference to an easement – Shown on map
b. Overhead Power Line over Lot 76 without reference to an easement – Appears to be moved, shown on map.
c. Underground Telephone and Power Lines over Lot 72 without reference to an easement – Shown on map
d. Cable TV Lines over Lot 72 without reference to an easement – Shown on map
NOTE: Underground utilities shown via previous survey, and are not located as part of this survey.
Items 15 & 18 are not graphically plottable on survey.
Items 16 & 17 Parcel not included in this survey. (Parcel D)

Notes:

- No regular vehicular access to parcel. Normal access is limited to pedestrian, bicycle & horse carriage.
- According to the FIRM 26097C1001C on www.FEMA.gov these parcels reside in Community No. 260764, with the entirety of the parcels in Zone X, via graphic plotting.
- All utilities are located via visual inspection, and previous survey map. No utility marking was performed for this project.
- There was no evidence of recent earth moving work, building construction, or building additions observed.
- The surveyor is unaware of any proposed changes in street right of way lines and there is no evidence of recent street or sidewalk work on subject parcels.

Legend

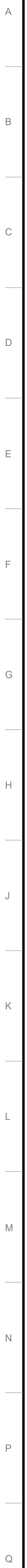
- | | |
|-------------------------------------------------|-------------------------------|
| Found Concrete Monument | Fire Hydrant |
| Found Property Iron | Storm Catch Basin |
| Set 1/2"x18" Iron #50439 | Sanitary Man Hole |
| Measured Dimension | Sanitary Clean Out |
| Record / Previous Dimension | Electric Transformer |
| Lot or Parcel Line | Electric Power Meter |
| Subject Parcel Line | Water Valve |
| Powerline | Fire Department Hookup |
| Underground Power Line | Power Pole |
| Underground Storm Line | Light & Pole |
| Underground Fiber optic Line | Gas Meter |
| Telephone/Cable Line | Telephone Box |
| Title item as referenced on Commitment XXXXXXXX | Underground Telephone Box |
| | Air Conditioning/Heating Unit |



Bearing from GPS
Michigan, State Plane
North Zone
Scale: 1" = 20'

Neil W. Hill P.S.
Professional Surveyor #50439





A large, light blue, three-story Victorian-style house with a prominent red brick chimney. The house features multiple windows, including dormers on the roof. A covered outdoor dining area with black metal furniture is visible in the foreground. The house is situated on a grassy hillside with other houses visible in the background.

Q

PROPOSED LOT COVERAGE:		
BUILDING	EXISTING	PROPOSED ADDITION
CHATEAU:	5,475 SF	NO CHANGE
COTTAGE:	2,448 SF	370 SF
CARRIAGE HOUSE:	2,556 SF	NO CHANGE
GUEST HOUSE:	5,344 SF	NO CHANGE
PAVILION:	562 SF	NO CHANGE
GAZEBO:	171 SF	NO CHANGE
IMPERVIOUS PAVED SURFACES:	1,900 SF	NO CHANGE
STRUCTURE/IMPERVIOUS TOTAL:	19,056 SF	+ 370 SF = 19,426 SF
PERVIOUS PAVED SURFACE:	7,500 SF	825 SF = 8,325 SF

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ARCHITECT

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TRUE NORTH
1" = 20'-0"

SIGNATURE

DATE _____

PROJECT NUMBER	2240780
DATE OF ISSUE	06/28/2017
DRAWN BY	Auth
REVIEWED BY	Check

A-001

ENTITLEMENT

A

B

C

D

E

F

G

H

J

K

L

M

N

P

Q



PHOTO 4 RENDERING



PHOTO 3 RENDERING



PHOTO 2 RENDERING



PHOTO 4

- OPTION 2 SCOPE:**
1. REMOVE, CLEAN, REPAIR, PAINT, AND RE-INSTALL EXISTING FIRE ESCAPE.
 2. REPLACE 2ND, 3RD, 4TH FLOOR EXTERIOR DOORS AT FIRE ESCAPE. TYPE AND COLOR TO MATCH EXISTING CONDITION.
 3. REPAIR TRIM AND SIDING ON NORTH FACADE AS NECESSARY. TYPE AND COLOR TO MATCH EXISTING CONDITIONS.
 4. REMOVE EXISTING MECHANICAL EQUIPMENT, CREATE NEW NEW OPENING AT GROUND FLOOR, AND INSTALL PATHWAY AS SHOWN ON A-001 AND A-101.



PHOTO 3



PHOTO 2

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**HARBOUR VIEW
MACKINAC LLC**

**HARBOUR VIEW
INN
IMPROVEMENTS**

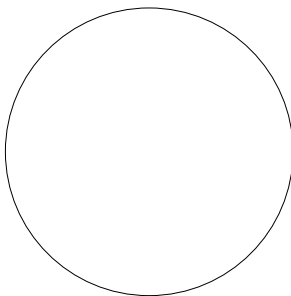
6876 Main St, Mackinac Island, MI 49757

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PHOTOGRAPHS

A-002
ENTITLEMENT



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A-003
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Author

REVIEWED BY

Checker

GROUND FLOOR PLAN

A-101

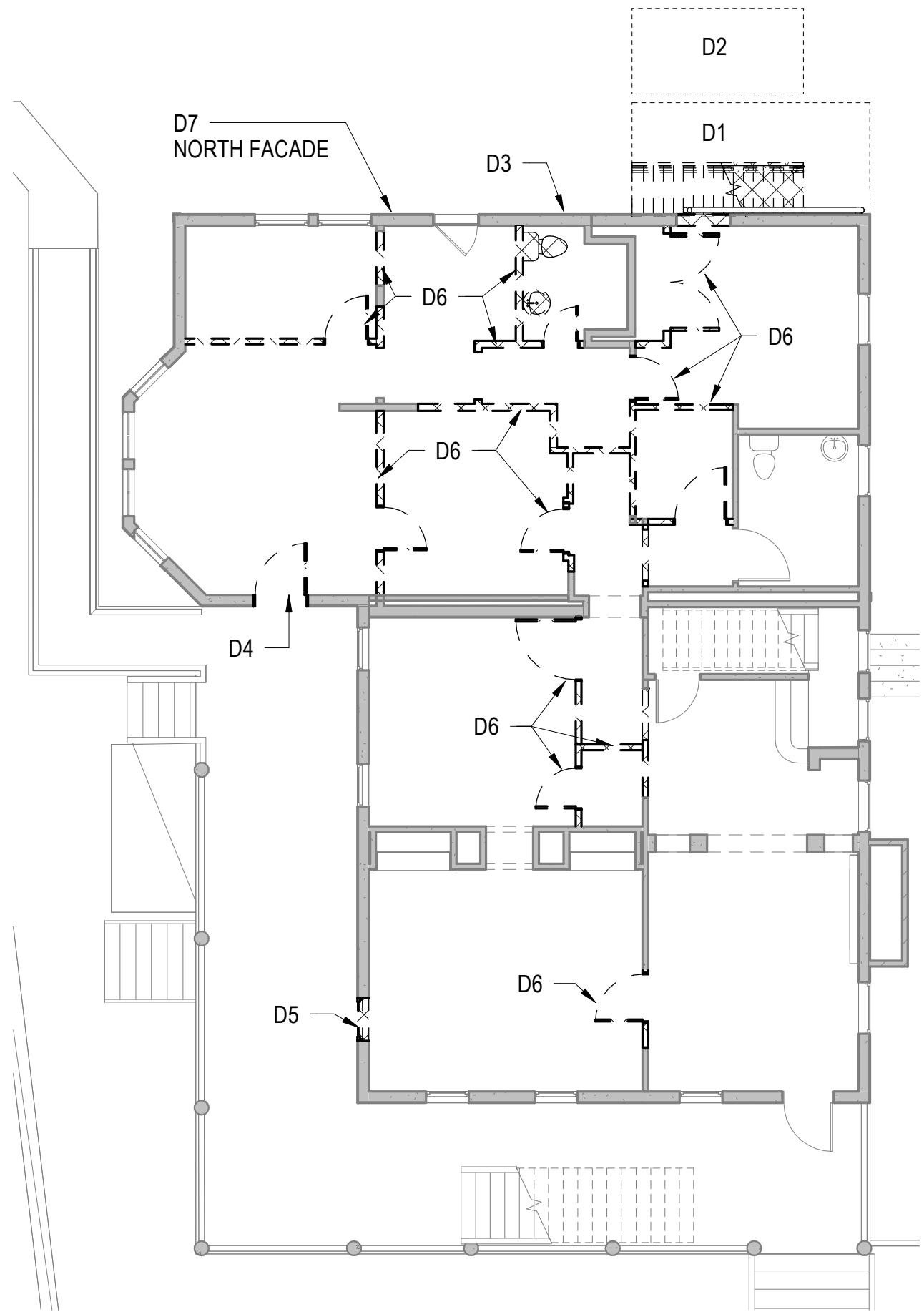
ENTITLEMENT

FLOOR PLAN LEGEND			
	1 A101	SIM	DETAIL SECTION TAG
	1 A101	SIM	BUILDING & WALL SECTION TAG
	S3FA		WALL TYPE - REFER TO A-611 FOR WALL TYPES
	101		DOOR NUMBER - REFER TO A-601 FOR DOOR AND FRAME SCHEDULE
	101		ROOM NAME
	101		ROOM NUMBER
	A101	Ref 1	INTERIOR ELEVATION TAG
	A101	1 Ref	EXTERIOR ELEVATION TAG
	0		COLUMN TAG AND COLUMN CENTERLINE
	A101	Ref 1	STOREFRONT, CURTAIN WALL AND WINDOW ELEVATION
	CG		CORNER GRef - REFER TO DETAIL
	FE		FIRE EXTINGUISHER - WALL MOUNTED
	FEC		RECESSED FIRE EXTINGUISHER AND CABINET
	FEC-R		FIRE RATED RECESSED FIRE EXTINGUISHER AND CABINET
	FEC		SEMI-RECESSED FIRE EXTINGUISHER AND CABINET
	FEC-B		SEMI-RECESSED FIRE EXTINGUISHER AND CABINET AND BLANKET
	MB#		MARKER BOARD
	TB#		TACK BOARD
	FD		FLOOR DRAIN
			AREA NOT IN CONTRACT
	N###		NEW WORK NOTE

ARCHITECTURAL PLAN NOTES N###	
NOTE	DESCRIPTION
N001	REPLACE EXISTING CONDENSER
N002	NEW CONDENSER
N003	NEW DECORATIVE SCREENING
N004	REPAIR ROTTEN ROOF SHEATHING AND FASCIA, PROVIDE NEW ARCHITECTURAL SHINGLE ROOF. PHOTO 14
N005	REPAIR ROTTEN PORCH DECKING AND RAILINGS. NEW RAILINGS TO MATCH EXISTING PROFILES, COLOR, AND FINISH. GUARDRAIL AT 42" TALL AND HANDRAIL AT 36" TALL. PHOTOS 15-17
N006	REPAIR ROTTEN COLUMN BASE TRIM. MATCH EXISTING PROFILE, COLOR, FINISH. PHOTO 18

DEMOLITION SCOPE OF WORK:

- D1. REMOVE EXTERIOR FIRE ESCAPE ON NORTH SIDE
D2. REMOVE MECHANICAL UNIT AND SCREENING
D3. REMOVE BATHROOM WINDOW
D4. REMOVE DOOR AND REPLACE WITH EXISTING WINDOW
D5. REMOVE WINDOW, SALVAGE FOR REINSTALLATION. PREP OPENING FOR NEW DOOR.
D6. REMOVE INTERIOR WALLS AND DOORS
D7. REMOVE SIDING AND PREP FOR NEW SIDING TO MATCH EXISTING
D8. REMOVE SHINGLES ON EXISTING ROOF AND PREP FOR NEW ARCHITECTURAL SHINGLES

2 GROUND FLOOR DEMOLITION PLAN
1/8" = 1'-0"

A-201

1 GROUND FLOOR PLAN
3/16" = 1'-0"

A-201

NEW CONDENSER UNITS W/
FENCE AND LANDSCAPE
SCREENINGADDITION STORMWATER SYSTEM:
- SHINGLE ROOF WITH GUTTERS AND DOWNSPOUTS
- GRADE TO SLOPE AWAY FROM STAIR ADDITION PERIMETER

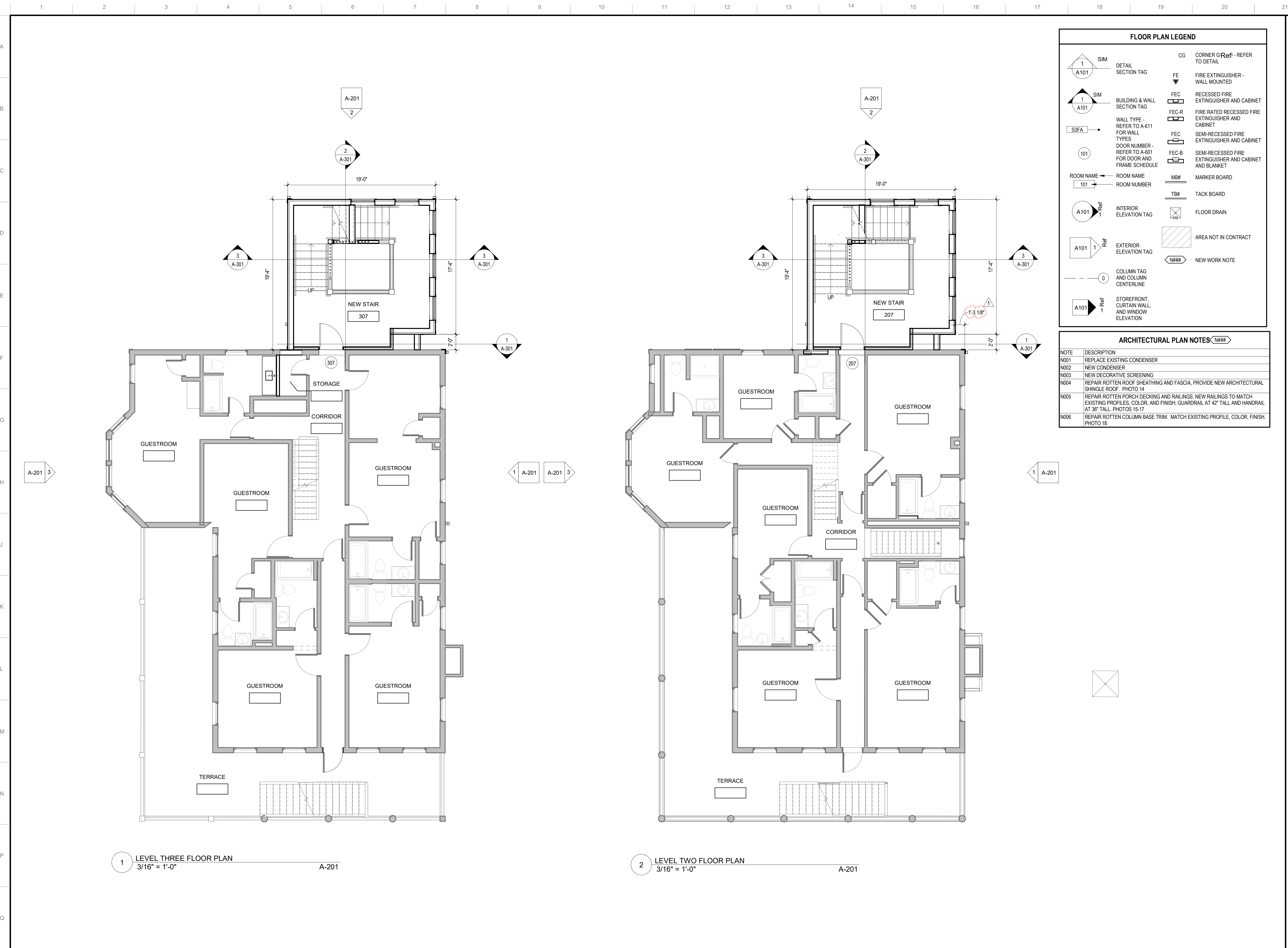
EXISTING LAWN

NEW PAVER WALK

EXISTING PATIO
AND LANDSCAPE
AREAOVERHANG
ABOVE W/
RECESSED
LIGHTING

NEW PAVER WALK

LIGHTING NOTE:
1. EXISTING COTTAGE FACADE LIGHTING TO REMAIN
2. NEW STAIR EXTERIOR LIGHTING TO BE EXTERIOR RECESSED 4" CAN LIGHTINGEXISTING
PAVILION

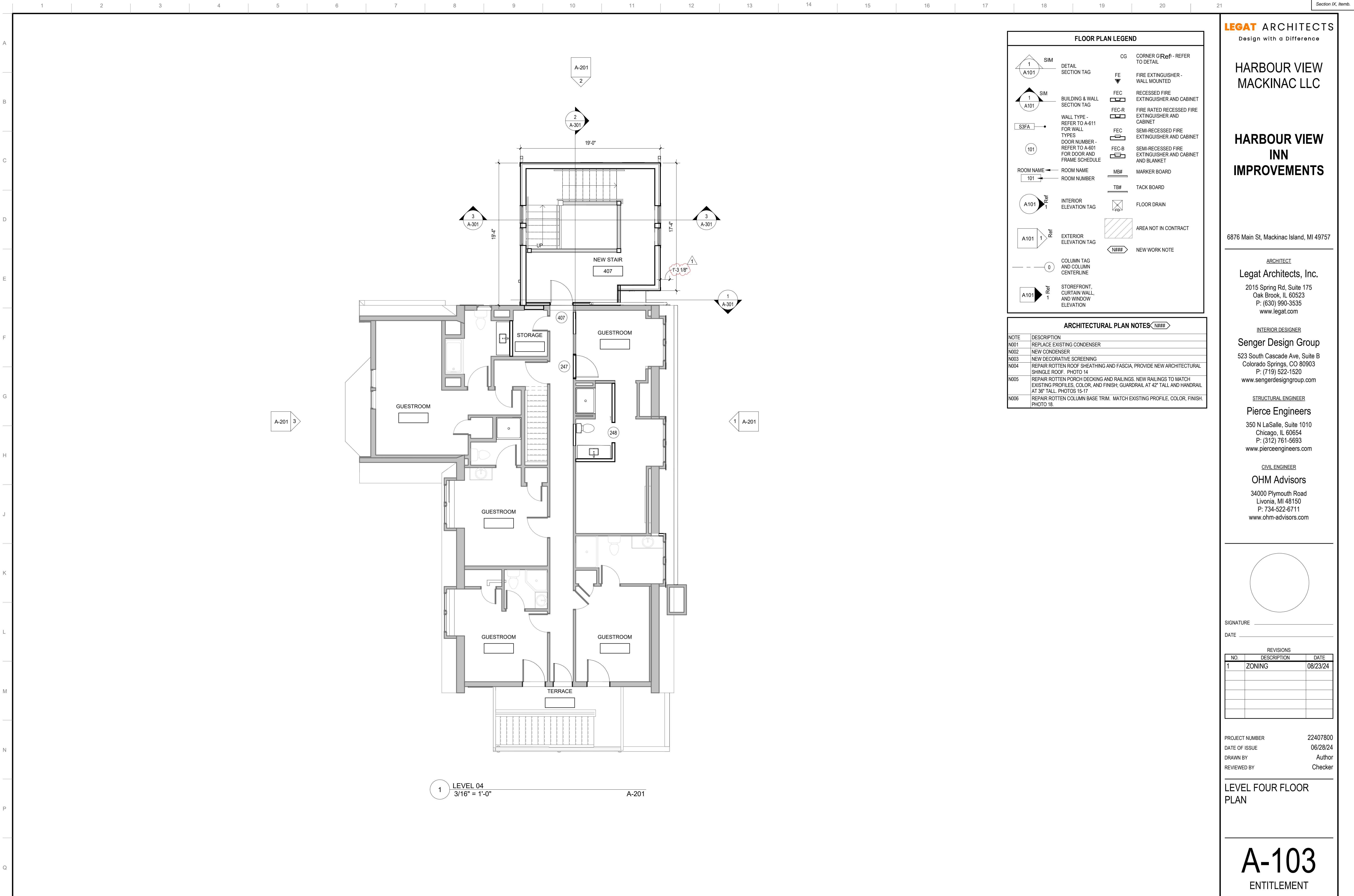


2 LEVEL TWO FLOOR PLAN
3/16" = 1'-0" A-201

ARCHITECTURAL PLAN NOTES		##
NOTE	DESCRIPTION	
N001	REPLACE EXISTING CONDENSER	
N002	NEW CONDENSER	
N003	NEW DECORATIVE SCREENING	
N004	REPAIR ROTTEN ROOF SHEATHING AND FASCIA, PROVIDE NEW ARCHITECTURAL SHINGLE ROOF. PHOTO 14	
N005	REPAIR ROTTEN PORCH DECKING AND RAILINGS, NEW RAILINGS TO MATCH EXISTING PROFILES, COLOR, AND FINISH; GUARDRAIL AT 42" TALL AND HANDRAIL AT 36" TALL. PHOTOS 15-17	
N006	REPAIR ROTTEN COLUMN BASE TRIM. MATCH EXISTING PROFILE, COLOR, FINISH. PHOTO 18.	

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A-102
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MACKINAC LLC

HARBOUR VIEW
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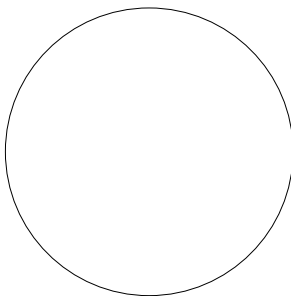
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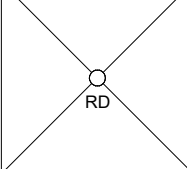
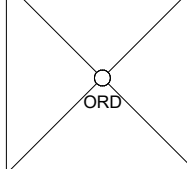




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LEVEL FOUR FLOOR
PLAN

A-103
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ROOF PLAN LEGEND

	AREA OF SLOPED STRUCTURE
	AREA OF 1/4" PER FOOT TAPERED INSULATION
	AREA OF 1/2" PER FOOT TAPERED INSULATION
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	TOTAL HEIGHT OF INSULATION IN INCHES NOT INCLUDING COVER BOARD
	METAL COPING AND JOINT - REFER TO DETAILS 5/A-521 (HORIZONTAL) AND 5/A-521 (VERTICAL)
	VENT PIPE ROOF PENETRATION
DSN	DOWNSPOUT NOZZLE
DS	DOWNSPOUT
	EXPANSION JOINT ASSEMBLY

Design with a Difference

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MACKINAC LLC

HARBOUR VIEW INN IMPROVEMENTS

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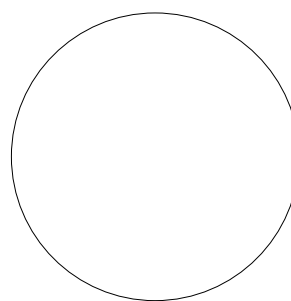
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ROOF PLAN

AR-101

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MACKINAC LLC

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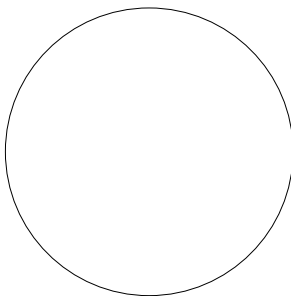
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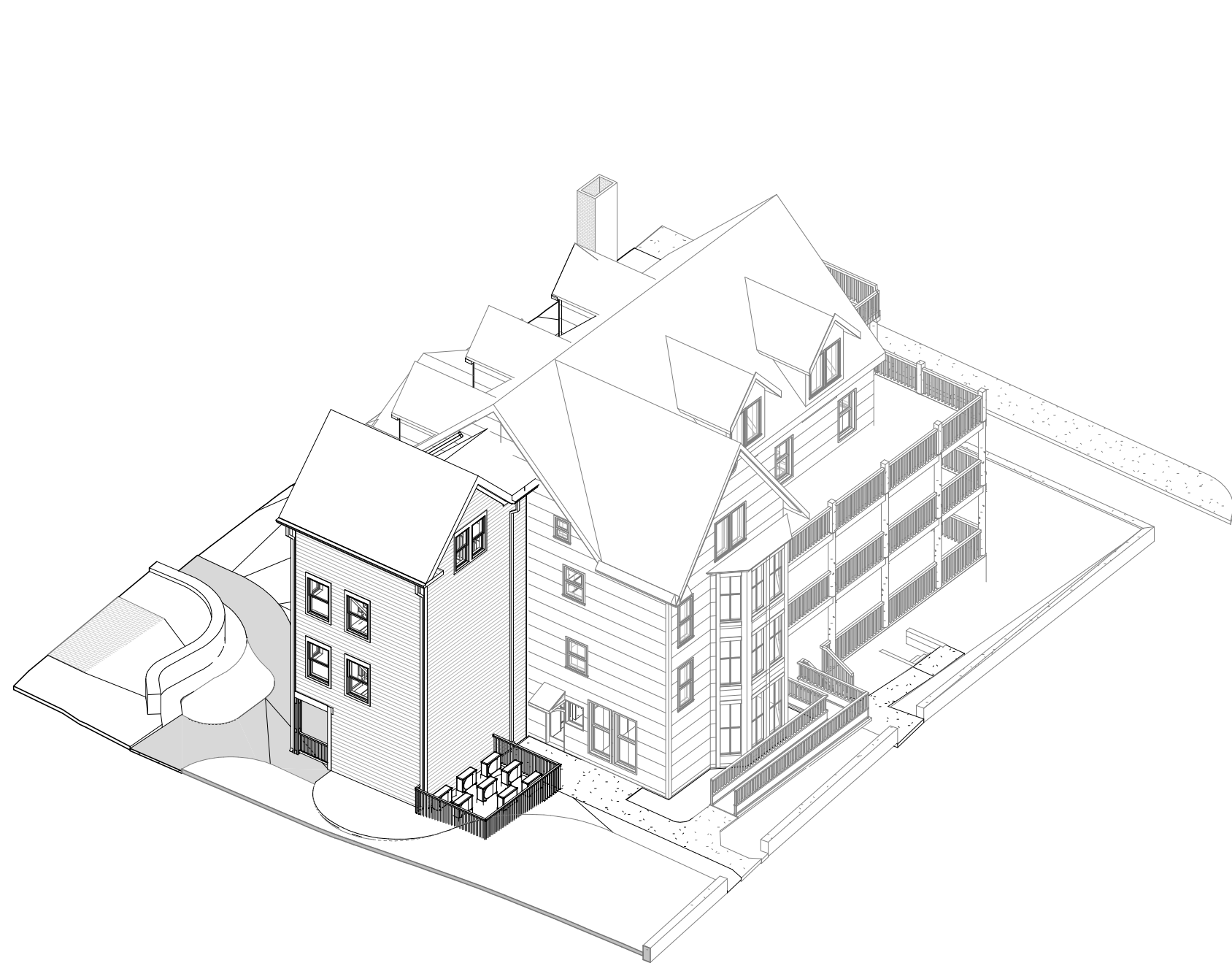
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NO.	DESCRIPTION	DATE

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EXTERIOR BUILDING
ELEVATIONS &
ISOMETRICS

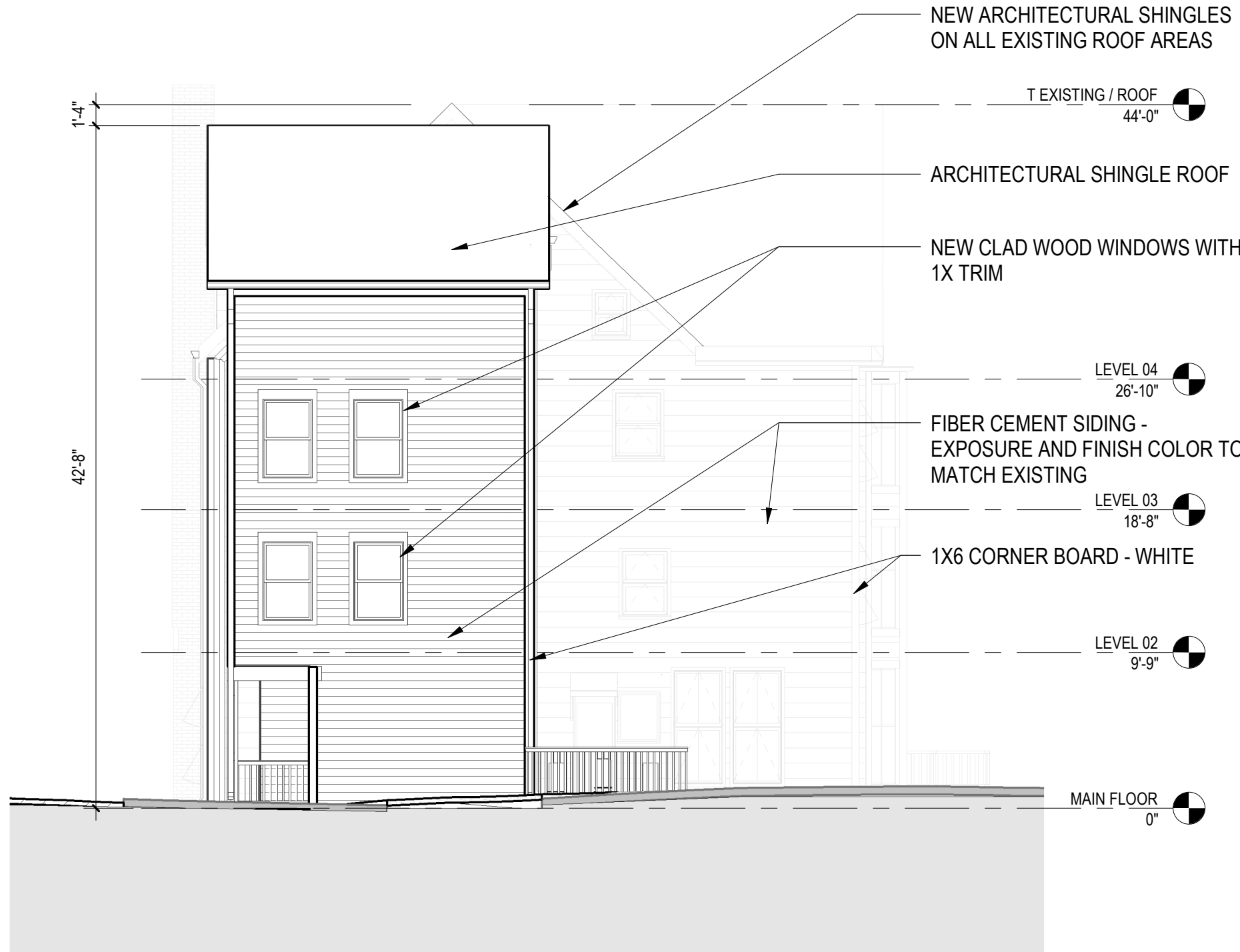
A-201
ENTITLEMENT



5 ISOMETRIC 02



4 ISOMETRIC 01



2 COTTAGE - STAIR ADDITION SOUTH ELEVATION
1/8" = 1'-0" A-011



3 COTTAGE - STAIR ADDITION EAST ELEVATION
1/8" = 1'-0" A-011

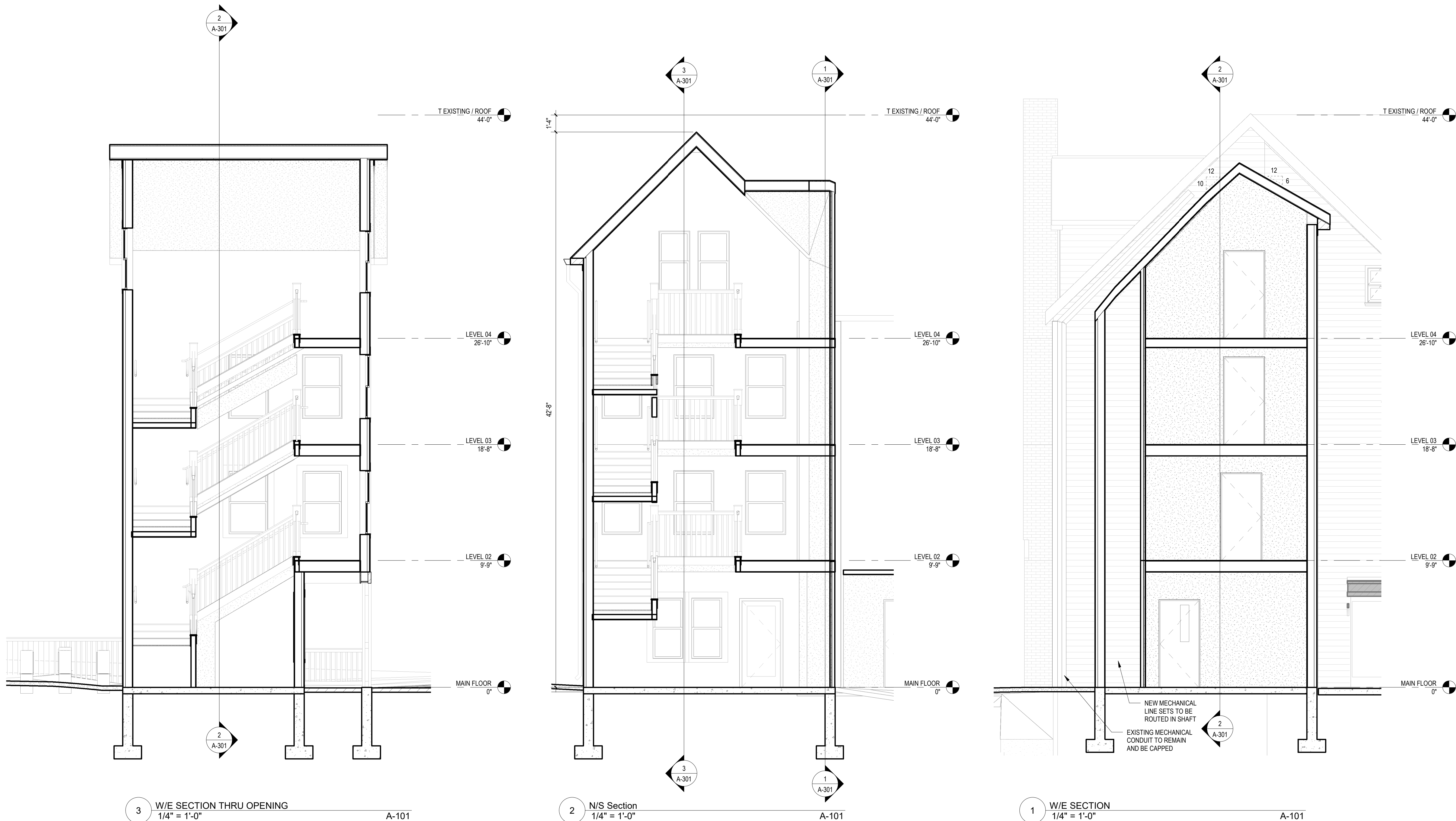


1 COTTAGE - STAIR ADDITION WEST ELEVATION
1/8" = 1'-0" A-011

DATE _____

PROJECT NUMBER	22407800
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DRAWN BY	Author
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A-301
ENTITLEMENT





Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

6 September 2024

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
P.O. Box 455
Mackinac Island, MI 49757

Re: **HARBOUR INN STAIR ADDITION**
Design Review

Dear Ms. Pereny:

I have reviewed the proposed stair addition and site work at the Harbour View Inn in the East End Mission Historic District.

Find attached the Design Review for the above referenced proposed project.

Should you have any questions, please contact me.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

- c. Sam Barnwell, Harbour View Mackinac, LLC
April Maifield, Legat Architects
Dennis Dombroski, City of Mackinac Island



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

6 September 2024

DESIGN REVIEW

HARBOUR INN STAIR ADDITION

Market Street

East End Mission Historic District
Mackinac Island, Michigan

INTRODUCTION

The proposed project is the construction of a new exterior stair at the rear of the Harbour View Inn, at 6876 Main Street, in the East End Mission Historic District. The work would also include installation of multiple ground-mounted condensing units west of the new stair (to be screened by fencing and landscaping), construction of new paver walks to the east and west sides of the new stair, and renovation of portions of the ground floor interior.

This design review is based on City Code Sec. 10-161 "Design Review Standards and Guidelines", of Article V. "Historic District", of the City of Mackinac Island Ordinance No. 443, adopted October 21, 2009. The review standards are those of the Department of the Interior entitled "The United States Secretary of the Interior's Standards for Rehabilitation" and "Guidelines for Rehabilitating Historic Buildings", as set forth in 36 CFR, part 67, as well as the factors set forth in City Code Sec. 10-161(b).

Materials submitted for Review consist of plan and elevations drawings of proposed work, photos of existing conditions with corresponding photo simulations, and axonometric views of the stair addition, completed by Legat Architects, dated 28 August 2024.

REVIEW

The Standards for review are the following:

Standard 1 - *"A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment."*

The property would continue to be used for its historic purpose as a hotel / inn.

Harbour View Inn Stair Addition Design Review
 6 September 2024
 Page 2

Standard 2 - *"The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a building shall be avoided."*

The historic character to the Harbour View Inn would be retained and preserved. Some inconsequential removal of old siding and trim at the rear would take place, but would not be a significant alteration of the historic materials or features that characterize the building.

Standard 3 - *"Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historic development such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."*

The proposed stair addition would reflect present need / use and thus would not create a false sense of historic development. And it would not be an addition of a conjectural feature as it makes no attempt to appear historic.

Standard 4 - *"Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved."*

No earlier changes having acquired historic significance in their own right would be affected.

Standard 5 - *"Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved."*

Distinctive features (such as chimney, dormers, siding and trim), finishes (paint), and examples of craftsmanship (front stairs and railings) that characterize the property would be preserved.

Standard 6 - *"Deteriorated historical features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence, or structures."*

Some exterior materials deterioration would be addressed by in kind replacement that would match the design and other aesthetic characteristics of the existing.

Standard 7 - *"Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible."*

This standard would not apply to the proposed project.

Standard 8 - *"Significant archaeological resources shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken."*

Harbour View Inn Stair Addition Design Review
 6 September 2024
 Page 3

This standard likely would not come into play for the proposed project, but some attention should be given during the excavation stage to be on alert for any possible exposure of archaeological remains, as this area of the Island has long been inhabited.

Standard 9 - *"New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size and architectural features to protect the historic integrity of the property and its environment."*

The proposed stair addition would very minimally destroy historic materials that characterize the property, but at the rear. The addition would be differentiated from the old by its smaller footprint and mass, and by some difference in siding treatment (texture and / or color).

Standard 10 - *"New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."*

The proposed stair addition would be separate enough to be removed in the future without affecting the essential form and integrity of the historic property.

Standards Under Code Sec. 10-161(b)

In reviewing applications, the Commission shall also consider all of the following:

(1) - *"The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area."*

The important historic and architectural value and significance of the Harbour View Inn as a district resource would be maintained.

(2) - *"The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area."*

The relationship of the proposed stair addition to the larger architectural resource would be an appropriate one, with the addition complementing the existing historic building.

(3) - *"The general compatibility of the design, arrangement, texture and materials proposed to be used."*

The proposed stair addition and site alterations would be compatible with the design, arrangement, and materials of the historic Harbour View Inn.

(4) - *"Other factors, such as aesthetic value, that the Commission finds relevant."*

Harbour View Inn Stair Addition Design Review
6 September 2024
Page 4

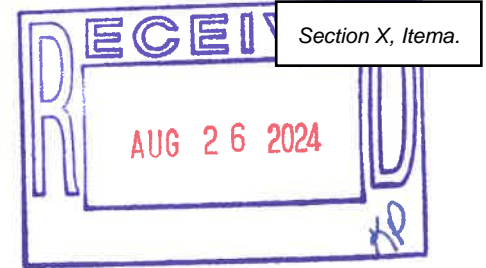
The aesthetic value of the new stair in relation to the old building would be complementary.

CONCLUSION

The proposed Harbour View Inn stair addition and site work would meet the Mackinac Island Historic District Commission Standards for review.

END OF REVIEW

File No. R424077.051
Exhibit B
Date 8.26.24
Initials KP



August 23, 2024

Dear Planning and Building Department,

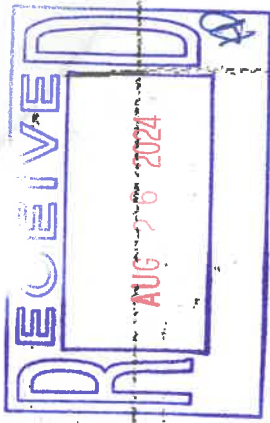
I, Lindsey White, owner and resident of 2788 Cadotte Ave Mackinac Island, MI, am seeking Committee's approval for replacement of old fence with a new fence. To be located in the same position as the current broken chain-link fence.

Attached are pictures of both the existing fence and the proposed fence. To include an entrance gate and trellis and double gate at the far left (street facing) entrance to allow for snowmobile access.

It is my belief that this upgrade will be a vast improvement to the look of the neighborhood and a welcome change.

I appreciate your consideration on this matter.

Lindsey White



File No. 2424077-05/
Exhibit E
Date 8-26-24
Initials

Parcel B

20'x20'
Proposed new
Drainfield

New Lot Line

road ramp

8" Block
Wall

LOT
LINE

Parcel A

10'x60' Proposed New Drainfield



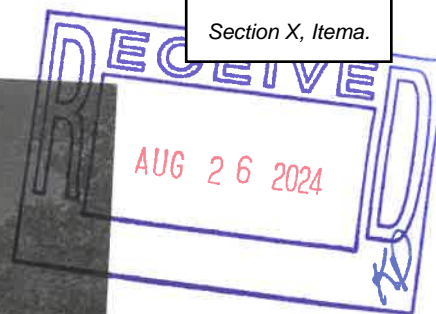
File No. R424077.051
Exhibit C
Date 8.26.24
Initials KP











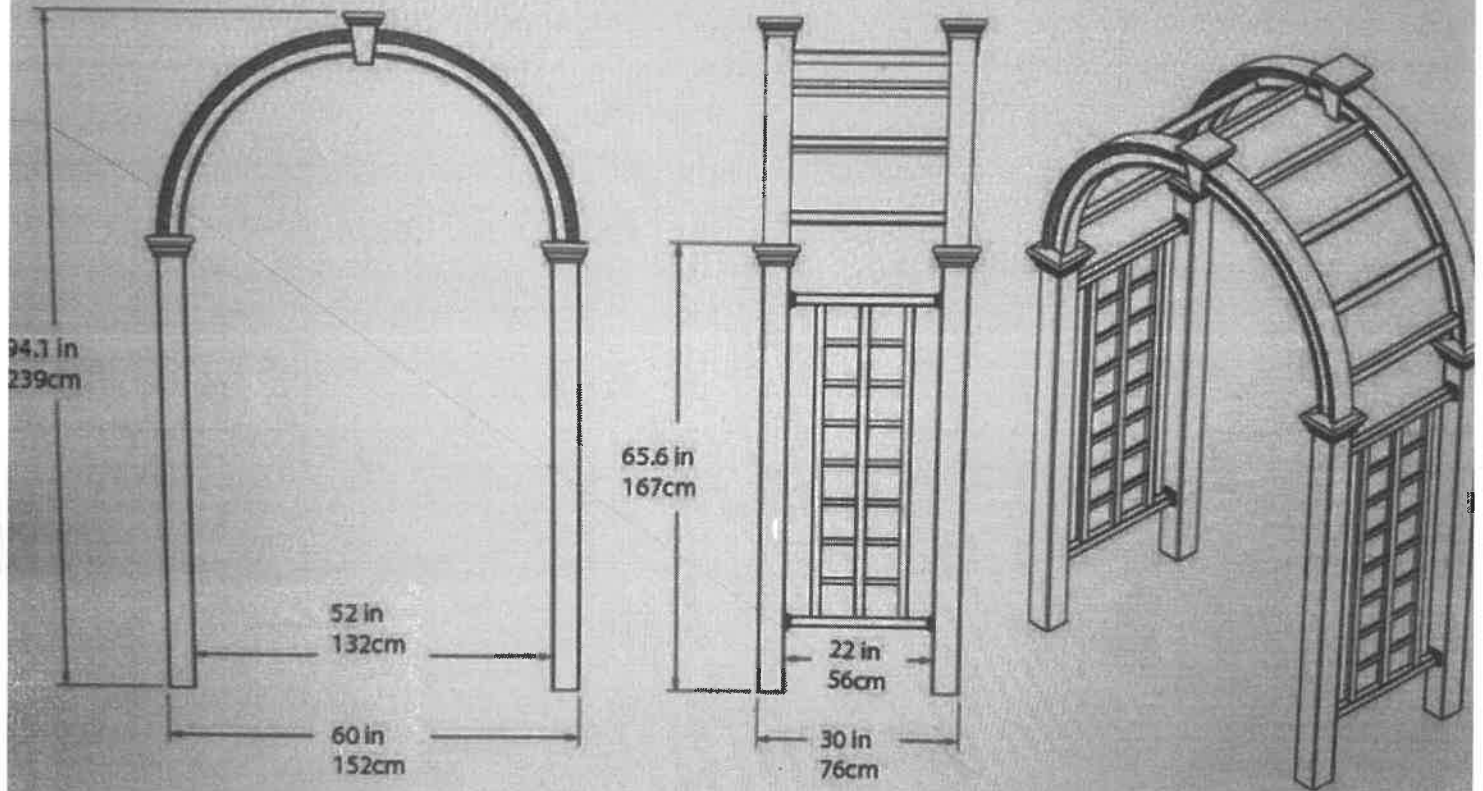
Live Chat
Feedback



Hover Image to Zoom

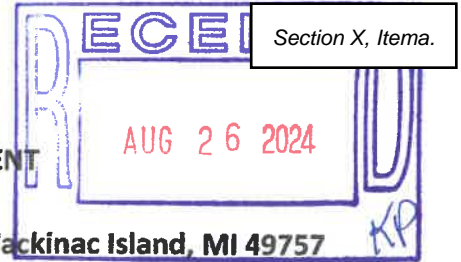
File No. R424.077-051
Exhibit D
Date 8.26.24
Initials KP





**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757



APPLICANT NAME & CONTACT INFORMATION:

Lindsey White
PO 499
906-430-8097 Russhaw84@hotmail.com
Phone Number Email Address

Please complete both sides of application.
The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Is The Proposed Project Part of a Condominium Association? NO
Is The Proposed Project Within a Historic Preservation District? NO
Applicant's Interest in the Project (If not the Fee-Simple Owner): _____
Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? _____
Is a Variance Required? NO
Are REU's Required? How Many? NO / _____

Type of Action Requested:

☒ Standard Zoning Permit _____ Appeal of Planning Commission Decision
_____ Special Land Use _____ Ordinance Amendment/Rezoning
_____ Planned Unit Development _____ Ordinance Interpretation
_____ Other _____

Property Information:

A. Property Number (From Tax Statement): 051-630-077-00
B. Legal Description of Property: _____
C. Address of Property: 2788 Cadotte Ave
D. Zoning District: R-4 Harrisonville Residential
E. Site Plan Checklist Completed & Attached: _____
F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) File No. R1424-077-051
G. Sketch Plan Attached: _____
H. Architectural Plan Attached: Exhibit A
I. Association Documents Attached (Approval of project, etc.): Date 8.26.24
J. FAA Approval Documents Attached: _____
K. Photographs of Existing and Adjacent Structures Attached: Initials KP

Proposed Construction/Use:

A. Proposed Construction: _____
☒ New Building _____ Alteration/Addition to Existing Building
☒ Other, Specify New fence

B. Use of Existing and Proposed Structures and Land:
Existing Use (If Non-conforming, explain nature of use and non-conformity):

Proposed Use: _____

C. If Vacant:
Previous Use: _____
Proposed Use: _____

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Lindsey White
Signature

SIGNATURES

Signature

Lindsey White
Please Print Name

Please Print Name

Signed and sworn to before me on the 26 day of August, 2024.



Kathryn Pereny
Notary Public

Macomb County County, Michigan
My commission expires: 8.7.30

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

Inspection	Date	Inspector	Comments
1.			
2.			
3.			

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: R424.077.051

FEE: \$150-

DATE: 8.26.24

CHECK NO: Cash

INITIALS: KP

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review
Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Present zoning classification of the subject parcel	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-------------------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features



23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)



24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)



25. Description of Existing and proposed on-site lighting (see also Section 4.27)



Utility Information

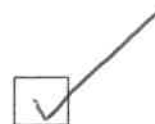
Provided

Not Provided or Applicable

26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand



27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)



28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)



29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.



**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

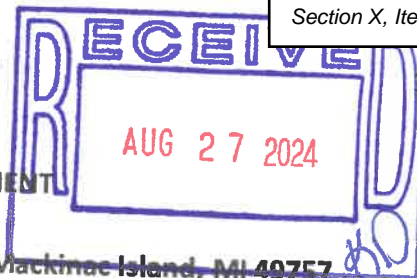
<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Architectural Review

Informational Requirements (Section 18.05)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**


www.cityofmi.org
kep@cityofmi.org

906-847-6190

PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Barry J Polzin Architects _____

101 N Lakeshore Blvd. Marquette, MI 49855 _____

906-226-8661 _____ bpolzin@bjparchitects.com _____

Phone Number

Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

_ Trayser Properties LLC _

PO Box 1276 Mackinac Island MI 49757 _____

Is The Proposed Project Part of a Condominium Association? _____

No _____

Is The Proposed Project Within a Historic Preservation District? _____

Yes _____

Applicant's Interest in the Project (If not the Fee-Simple Owner): _____

Architect _____

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? _____

No _____

Is a Variance Required? _____

No _____

Are REU's Required? How Many? _____ / _____

Type of Action Requested:☒ Standard Zoning Permit☐ Special Land Use☐ Planned Unit Development☐ Other _____☐ Appeal of Planning Commission Decision☐ Ordinance Amendment/Rezoning☐ Ordinance Interpretation**Property Information:**

A. Property Number (From Tax Statement): 051-550-057-00

B. Legal Description of Property: See A1.0

C. Address of Property: 7377 Main St. Mackinac Island, MI

D. Zoning District: C Commercial

E. Site Plan Checklist Completed & Attached: Yes

F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes

G. Sketch Plan Attached: Yes

H. Architectural Plan Attached: Yes

I. Association Documents Attached (Approval of project, etc.): N/A

J. FAA Approval Documents Attached: N/A

K. Photographs of Existing and Adjacent Structures Attached: Yes

File No. C24-057-055(4)

Exhibit A

Date 8.27.24

Initials KP

Proposed Construction/Use:

A. Proposed Construction:

☐ New Building☒ Alteration/Addition to Existing Building☐ Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

RetailProposed Use: Retail with Ice cream counter

C. If Vacant:

Previous Use: _____

Proposed Use: _____

STATE OF MICHIGAN)
 COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Arch (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Signature

SIGNATURES

Signature

Please Print Name

Barry J Polzin

Please Print Name

Signed and sworn to before me on the _____ day of _____, _____.

Notary Public

County, Michigan

My commission expires: _____

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023**OFFICE USE ONLY**

FILE NUMBER: _____

FEE: _____

DATE: _____ **CHECK NO:** _____ **INITIALS:** _____

Revised October 2023

Signature

SIGNATURES

Signature

Please Print Name

Barry J Polzin
Please Print Name

Signed and sworn to before me on the _____ day of _____.

Notary Public

County, Michigan
My commission expires: _____

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: 024.057.055(H)

FEE: *400- 400-

DATE: 8.27.24

CHECK NO: 10315

INITIALS: KP

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review

Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|--------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

- | <u>Natural Features</u> | <u>Provided</u> | <u>Not Provided
or Applicable</u> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|---------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | <u>Physical Features</u> | <u>Provided</u> | <u>Not Provided
or Applicable</u> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|---------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Utility Information

Provided

Not Provided
or Applicable

- | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Architectural Review

Informational Requirements (Section 18.05)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

1. The plan shall be drawn to [a] scale of not greater than one inch equals 20 feet for a development of not more than three acres and a scale of not less than one inch equals 100 feet for a development in excess of three acres with north point and scale shown on the plan drawing. See sheet A1.0 for plans and north arrows.
2. The plan shall show an appropriate descriptive legend. North arrow, scale, date of preparation and the name and address of the individual or firm preparing the same. See attached plans
3. The property shall be identified by lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property. See attached Cover and A1.0
4. The topography of the site with at least two- to five-foot contour intervals and all natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features shall be shown. N/A.
5. Existing manmade features upon the site and within 100 feet of the same shall be identified. All features have been identified on Cover.
6. The location, proposed :finished floor and grade line elevations, size of proposed main and accessory buildings, the relationship of buildings to one another and to any existing structures on the site, the height of all buildings and square footage of floor space therein shall be disclosed. Site plans for multiple family residential development shall also include a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units. N/A
7. All proposed and existing streets, driveways, sidewalks and other bicycle or pedestrian circulation features upon and adjacent to the site shall be shown, together with the location, size and number of on-site parking areas, service lanes thereto, and parking and delivery or loading areas. See Cover
8. The location, use and size of open spaces together with landscaping, screening, fences, walls and proposed alterations of topography or other natural features shall be indicated. No changes proposed to any landscaping.
9. The proposed operations on the site shall be described, in writing, in sufficient detail to indicate the effect, if any, upon adjoining lands and occupants with any special features which are proposed to relieve any adverse effects to adjoining land and occupants. Any potential demands for future community services will be described, together with any special features which will assist in satisfying such demands. See A1.0 for project description, no changes in demands for services.
10. Any earth-change plans required by state law shall also be submitted with the application. N/A
11. On site lighting, surface water drainage for the site, proposed sanitary sewage disposal, water supply, solid waste storage and disposal, other utility services (i.e., propane tanks, electrical service, transformers), and utility easements shall be included in the plans. N/A no change

12. A general description and location of stormwater management system shall be shown on the grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features. **N/A no change**
13. Any feature of the proposed development that would directly or indirectly impact a public right-of-way, public utility, or adjoining property. See **A1.0 for changes to façade on Main Street.**
14. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan). **This is minor change to the façade any materials, equipment, construction debris, and any trash will be stored within the building and then hauled by Drey pickup to be scheduled with Mackinac Island Service company as necessary.**
15. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. **This is minor change to the façade any materials, equipment, construction debris, and any trash will be stored within the building and then hauled by Drey pickup to be scheduled with Mackinac Island Service company as necessary.**
16. Proposed construction start date and estimated duration of construction. **Proposed start date November 2024 completed by Mid-April 2025**
17. Such other information as may be determined to be necessary by the planning commission

MACKINAC MARKET

7377 MAIN ST. MACKINAC ISLAND, MICHIGAN

AUGUST 26, 2024

GHMI RESORT HOLDINGS LLC
100 SAINT PAUL STREET, SUITE 800
DENVER, CO 80206

ARCHITECT: BARRY J POLZIN ARCHITECTS INC.
101 N LAKESHORE BLVD.
MARQUETTE, MI 49855

ZONING: C COMMERCIAL

PROJECT DESCRIPTION:

THE FIRST FLOOR WILL REMAIN AS RETAIL SPACE, AN ICE CREAM COUNTER WILL BE ADDED. THE ENTRY TO THE BUILDING WILL REMAIN UNCHANGED, EXISTING DOORS TO REMAIN. NEW BRICK PAVERS WILL BE ADDED TO REPLACE THE PAINTED CONCRETE. THE SIDEWALK CANOPY COLUMNS WILL BE REPLACED WITH NEW COMPOSITE COLUMNS. THE RAILING ABOVE WILL BE REPLACED WITH A NEW COMPOSITE CHIPPENDALE PATTERN RAILING.

TWO NEW CONDENSERS WILL BE ADDED AND CONCEALED BEHIND THE RAILING ON THE BACK (WATER SIDE OF THE BUILDING)

File No. C24-057-055(H)
Exhibit C
Date 8-27-24
Initials KP



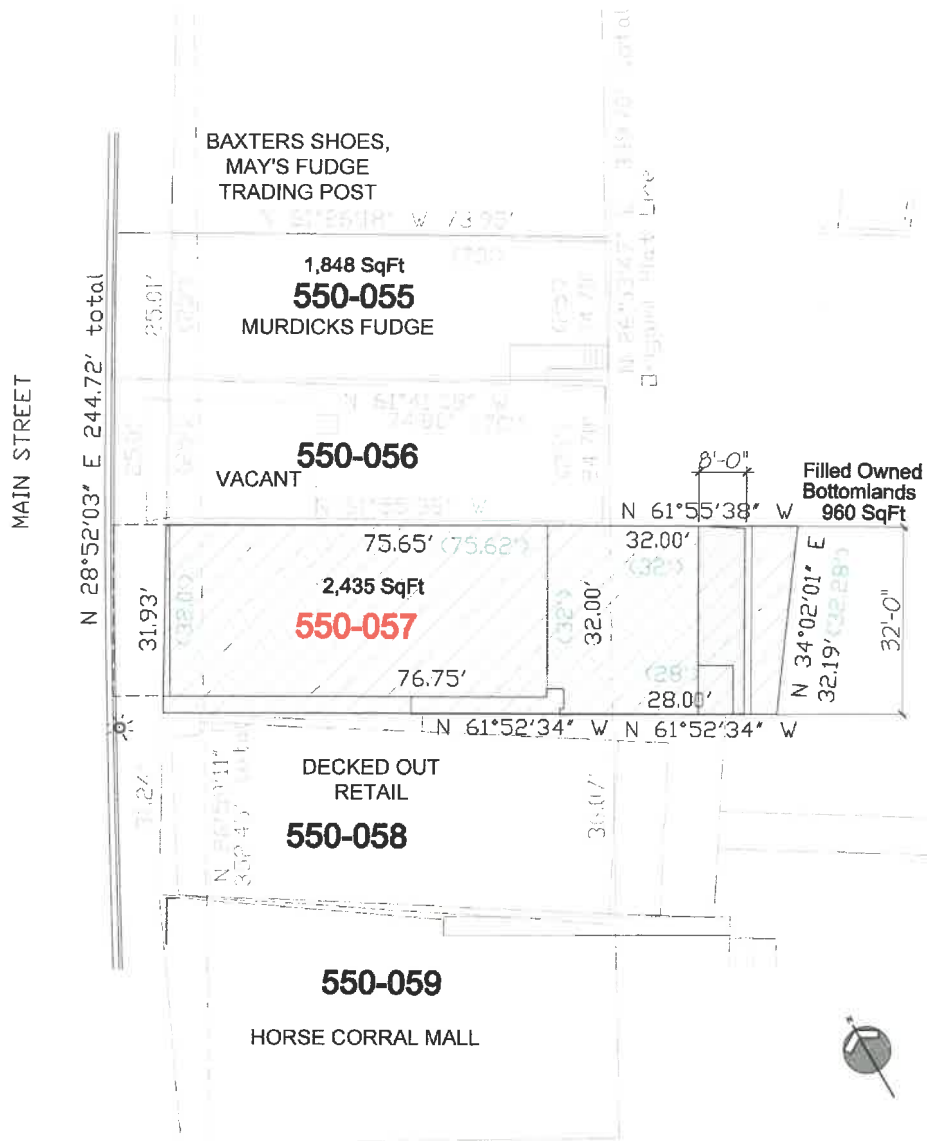
LEGAL DESCRIPTION

ASSESSORS PLAT NO.3 SWLY 63.08 FT OF LOT 134 EXC SWLY 31.08 FT AND BOTTOMLANDS DESCRIBED AS: COMM AT NWLY COR OF LOT 132 TH S 20 DEG 12'17"E ALONG NWLY LINE OF LOTS 132,133 AND 134, 181.42 FT TH S 70 DEG 27'E 75.62 FT TO POB TH CONT S 70 DEG 27'E 32 FT TH S 27 DEG 09'W ALONG SHORE 32.28 FT TH N 70 DEG 27'20"W 28 FT TH N 18 DEG 15'E 32 FT TO POB

INDEX

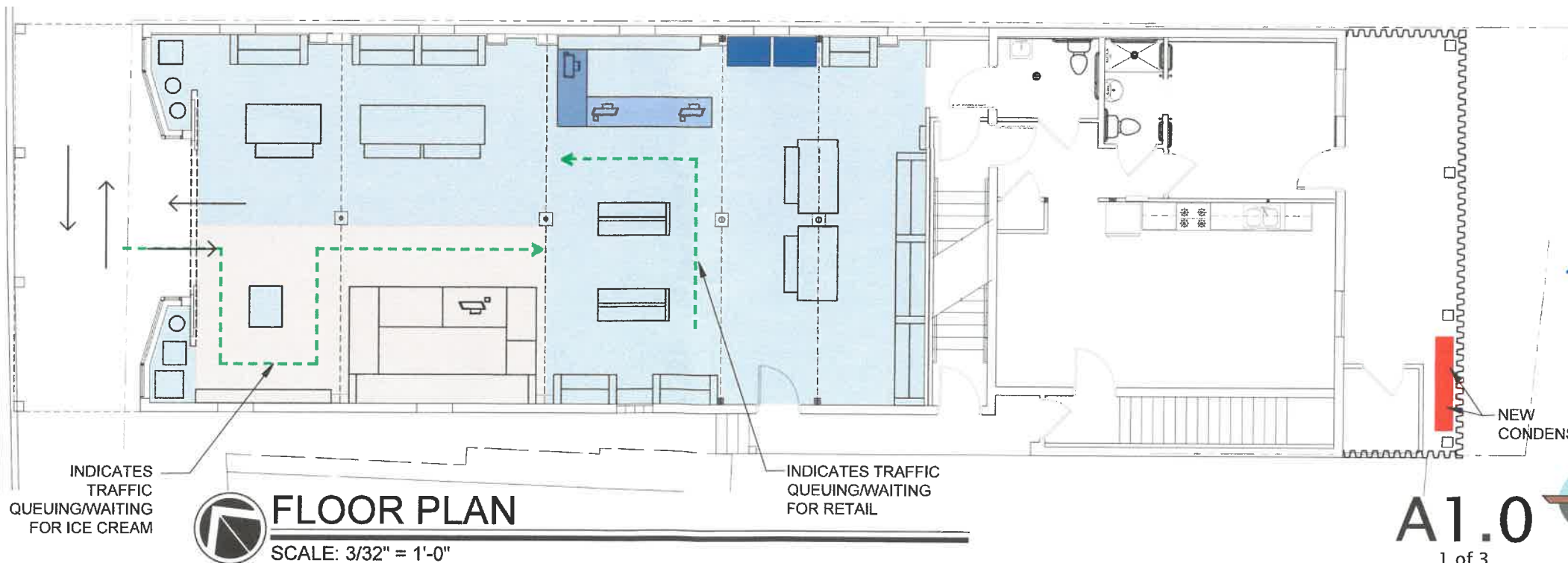
- A1.0 COVER/LEGAL/SITE PLAN
- A1.1 ELEVATIONS
- A1.2 ELEVATIONS AND DETAILS

WINDOWS AND DOORS ARE ALL EXISTING AND WILL REMAIN



SITE PLAN

SCALE: 1"=20'



FLOOR PLAN

SCALE: 3/32" = 1'-0"



LIC # 1301029135

BARRY J. POLZIN
ARCHITECTS

A1.0

1 of 3

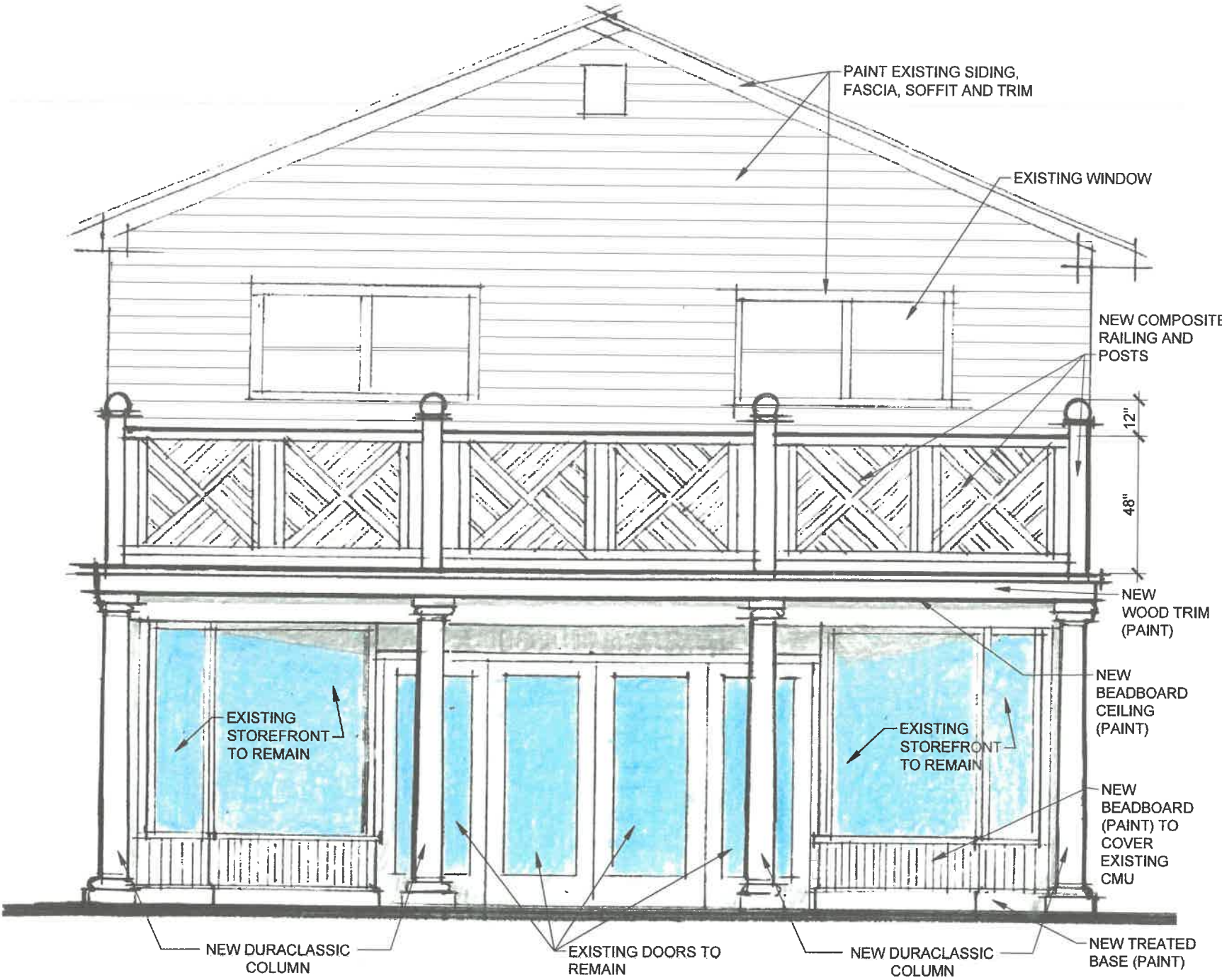
COPYRIGHT © 2024 BY BARRY J. POLZIN ARCHITECTS INC. ALL RIGHTS RESERVED.

MACKINAC MARKET

7377 MAIN ST. MACKINAC ISLAND, MICHIGAN
AUGUST 26, 2024



MAIN STREET -EXISTING



MAIN STREET EXTERIOR ELEVATION-PROPOSED

SCALE: 1/4" = 1'-0"

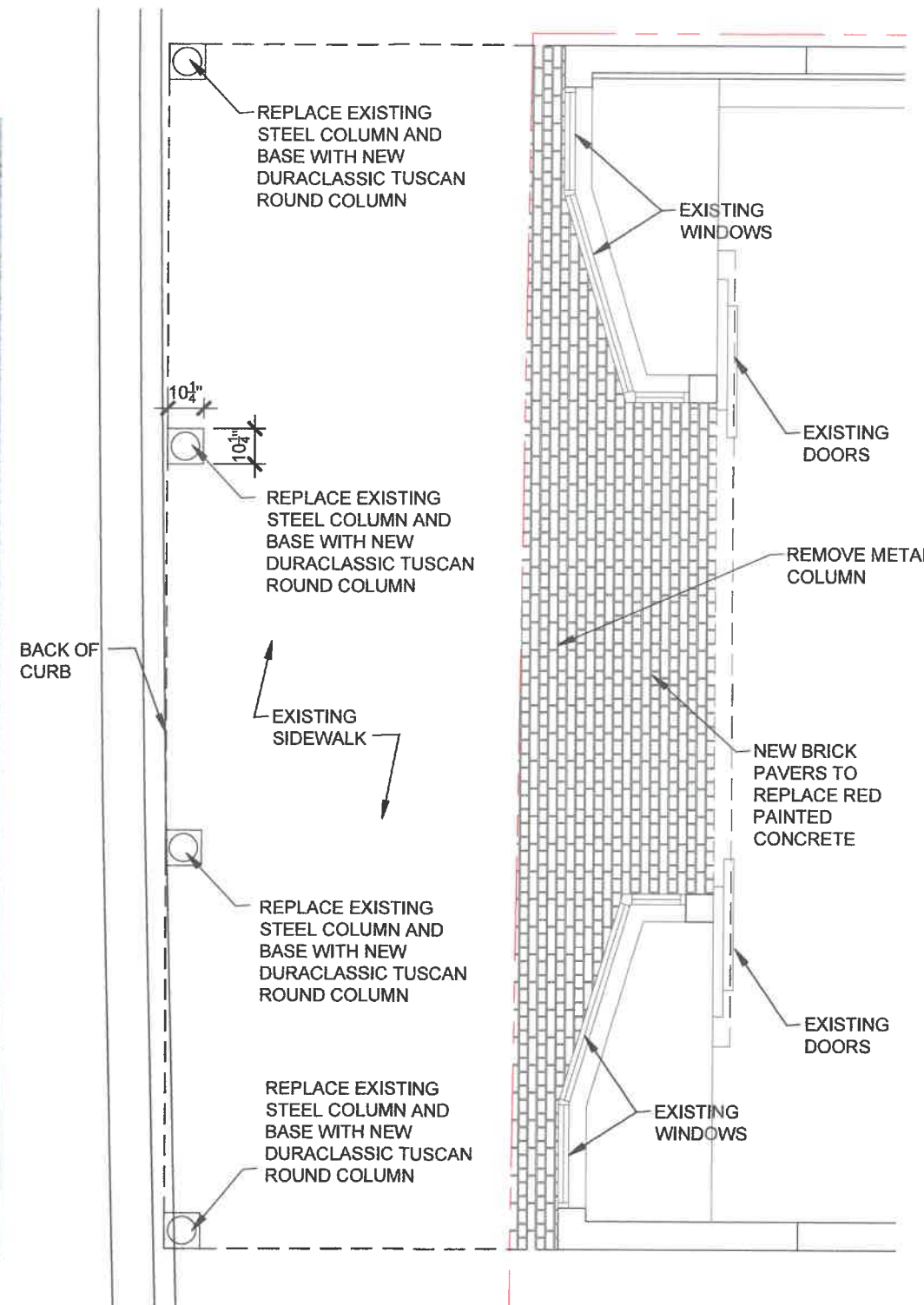
A1.1
2 of 3

BARRY J. POLZIN
ARCHITECTS

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ALL RIGHTS RESERVED.

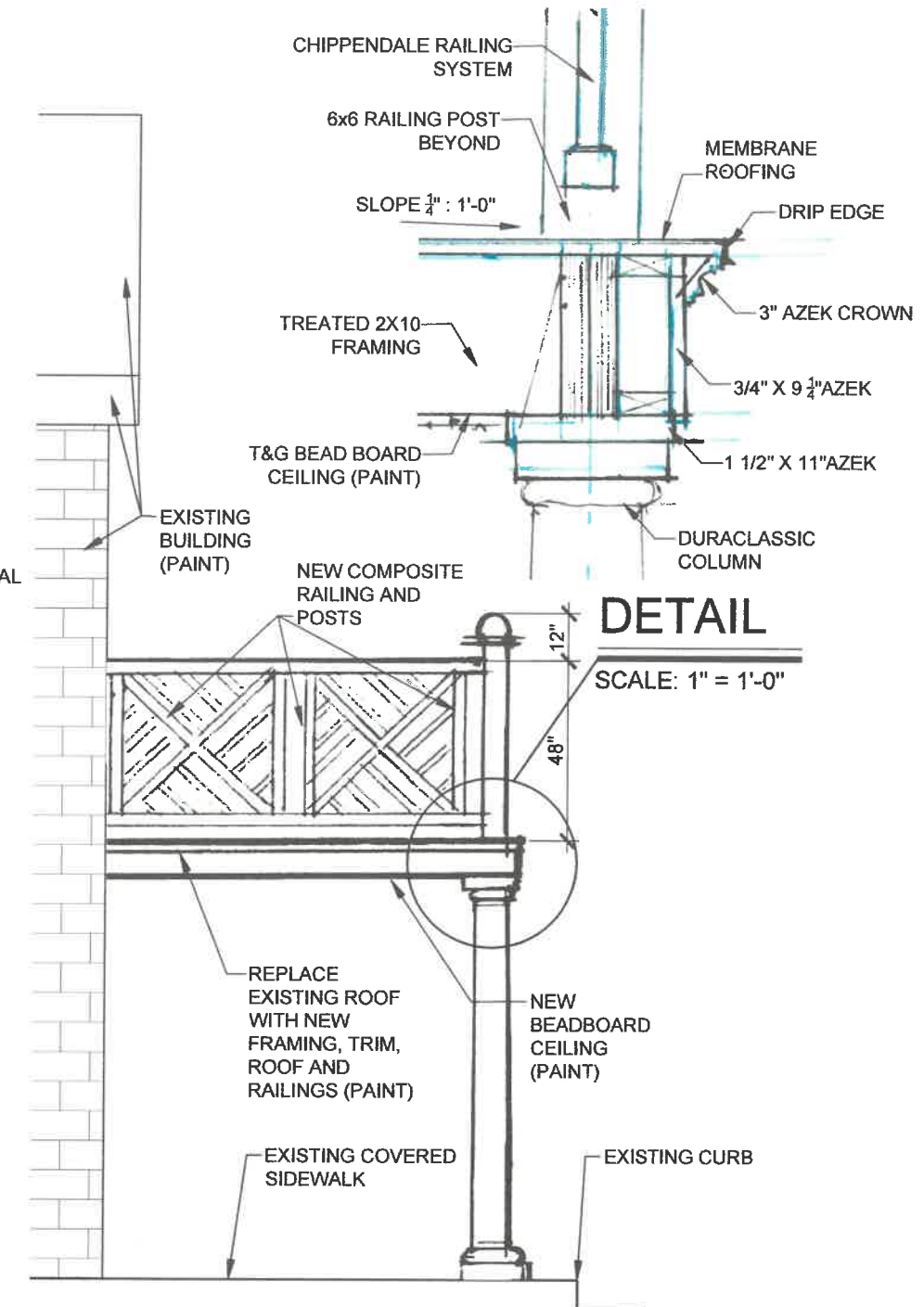


HARBOR SIDE



ENLARGED FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED SIDE(S)
EXTERIOR ELEVATION

A1.2

3 of 3

BARRY J. POLZIN
ARCHITECTS

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ALL RIGHTS RESERVED.



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

7 September 2024

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
P.O. Box 455
Mackinac Island, MI 49757

Re: **GHMI MERCHANT STOREFRONT RENOVATION**
Design Review

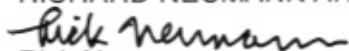
Dear Ms. Pereny:

I have reviewed the GHMI Merchant proposed storefront renovation in the Market and Main Historic District.

Should you have any questions, please contact me.

Sincerely,

RICHARD NEUMANN ARCHITECT


Rick Neumann

- c. Barry Polzin, Barry J. Polzin Architects
Dennis Dombroski, City of Mackinac Island
David Lipovsky, City of Mackinac Island



610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

7 September 2024

DESIGN REVIEW

GHMI MERCHANT STOREFRONT RENOVATION

7377 Main Street

Market and Main Historic District
Mackinac Island, Michigan

INTRODUCTION

The proposed project is renovation of the covered front entry to the GHMI Merchant retail store at 7377 Main Street, in the Market and Main Historic District. The building is a Contributing structure in the district. Proposed work would replace the four existing columns supporting the porch roof, rebuild the eave around the roof, and replace the railings on the roof. New beaded wood paneling would be added to the bulkhead areas under the display windows. Also, existing concrete paving in the recessed entry would be replaced with new brick pavers.

This design review is based on City Code Sec. 10-161 "Design Review Standards and Guidelines", of Article V. "Historic District", of the City of Mackinac Island Ordinance No. 443, adopted October 21, 2009. The review standards are those of the Department of the Interior entitled "The United States Secretary of the Interior's Standards for Rehabilitation" and "Guidelines for Rehabilitating Historic Buildings", as set forth in 36 CFR, part 67, as well as the factors set forth in City Code Sec. 10-161(b).

Materials submitted for Review consist of photographs of existing conditions and drawings of proposed work of the project, dated 26 August 2024, by Barry J. Polzin Architects.

REVIEW

Of the Secretary of the Interior's Standards, and the Standards Under Sec. 10-161(b), the applicable Standards for review are the following:

Standard 2 - *"The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a building shall be avoided."*

The existing columns, steel pipe columns with square wood wraps (two of which have been removed) are very plain, as is the larger storefront. The proposed use of larger diameter round columns with classic Doric capitals and bases would be an alteration of historic features, and out of step with the existing simple architectural character of the building. Also, as proposed,

GHMI Merchant Front Entry Design Review
 7 September 2024
 Page 2

the beam spanning the columns would be eliminated, and the columns would extend up to the underside of the roof. This would be a departure from an architectural element that is typical (the columns supporting a beam), and which is characteristic of the type - also an alteration of historic features.

In terms of historic materials, although not mandated in historic districts, the use of wood, as required by the Zoning Ordinance, Article 18.06, C, 1. Siding, for surfaces accessible to the public, or exposed to public view, would be more appropriate than composite columns.

Standard 3 - *"Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historic development such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."*

The proposed classical Doric order columns would create a false sense of historic development, and be a conjectural feature very unlikely for such a simple building.

And while the proposed second floor balcony railing would be a grand elaboration on the existing code non-compliant design, it does reflect the spirit of the existing "X" design, and with some simplification, and use of square posts with square tops, would likely be appropriate.

Standards Under Code Sec. 10-161(b)

In reviewing applications, the Commission shall also consider all of the following:

(1) - *"The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area."*

Although the GHMI building is anything but high style, its simplicity is characteristic of much of older Mackinac Island downtown, and should be preserved as representative of such to maintain the historic and architectural value of the building, and its relationship to the historic value of the surrounding historic district.

(2) - *"The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area."*

The use of classical columns would be out of synch with this Contributing resource and the historic district.

(3) - *"The general compatibility of the design, arrangement, texture and materials proposed to be used."*

The proposed project would alter the simple design, arrangement, and materials of the front covered entry, and be incompatible with the historic building.

GHMI Merchant Front Entry Design Review
7 September 2024
Page 3

(4) - *"Other factors, such as aesthetic value, that the Commission finds relevant."*

While gussying up the front would fit in with many neighboring buildings, such would be a departure from the plain and simple aesthetic value of this particular building.

CONCLUSION

As such, the most significant changes proposed for renovation of the GHMI Merchant storefront (column replacement and beam deletion) would not meet the Standards for review.

END OF REVIEW

CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Robert G. Benser
PO BOX 481 MACKINAC IS
231-881-3343 rbenser@me.com
Phone Number Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Is The Proposed Project Part of a Condominium Association?

NO

Is The Proposed Project Within a Historic Preservation District?

YES

Applicant's Interest in the Project (If not the Fee-Simple Owner):

-

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

NO

Is a Variance Required?

NO

Are REU's Required? How Many?

NO 1

Type of Action Requested:

- Standard Zoning Permit

- Special Land Use

- Planned Unit Development

X Other LOT COMBINATION

- Appeal of Planning Commission Decision

- Ordinance Amendment/Rezoning

- Ordinance Interpretation

Property Information:

051.550.056.00 + 051.550.055.00

A. Property Number (From Tax Statement):

SEE PRINTS

B. Legal Description of Property:

SEE PRINTS

C. Address of Property:

7363 MAIN ST MACKINAC IS + 7367 Main

D. Zoning District:

COMMERCIAL

E. Site Plan Checklist Completed & Attached:

YES

F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance)

SEE PRINTS

G. Sketch Plan Attached:

-

H. Architectural Plan Attached:

YES

I. Association Documents Attached (Approval of project, etc.):

N/A

J. FAA Approval Documents Attached:

N/A

K. Photographs of Existing and Adjacent Structures Attached:

SEE PLANS

Proposed Construction/Use:

A. Proposed Construction:

X New Building

- Other, Specify _____

- Alteration/Addition to Existing Building

File No. C24-055/56-056(H)

Exhibit A

Date 8.27.24

Initials KP

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

MURDER'S FUDGE & VACANT MR. B's LOT
 Proposed Use: CONSTRUCT BASEMENT & PATHS FOR EXPANDED
MURDER'S FUDGE & NEW MR B's.

C. If Vacant:

Previous Use: MR B'sProposed Use: MR B's

STATE OF MICHIGAN)
 COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

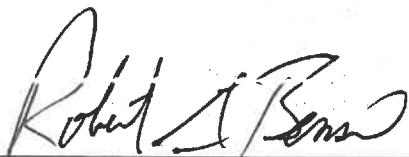
The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

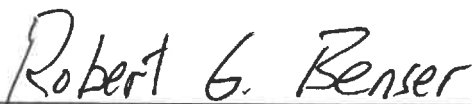
The undersigned affirms that he/she or they is (are) the applicant and the OWNER (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.



Signature

SIGNATURES

Signature

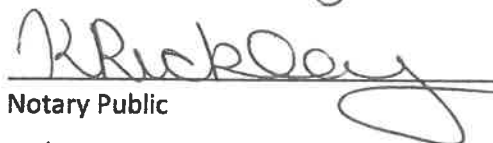


Please Print Name

Please Print Name

Signed and sworn to before me on the 27 day of August, 2024.

K. RICKLEY, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 10/21/2025



Notary Public

Mackinac County, Michigan
My commission expires: 10/21/2025

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: C24-055/56-056(H)FEE: \$400DATE: 8-27-24CHECK NO: 1019064 INITIALS: KD

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|--------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features

☐
☒

23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)

☒
☐

24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)

☒
☐

25. Description of Existing and proposed on-site lighting (see also Section 4.27)

☐
☒

Utility Information

Provided

Not Provided or Applicable

26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand

☐
☒

27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)

☒
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28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)

☒
☐

29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.

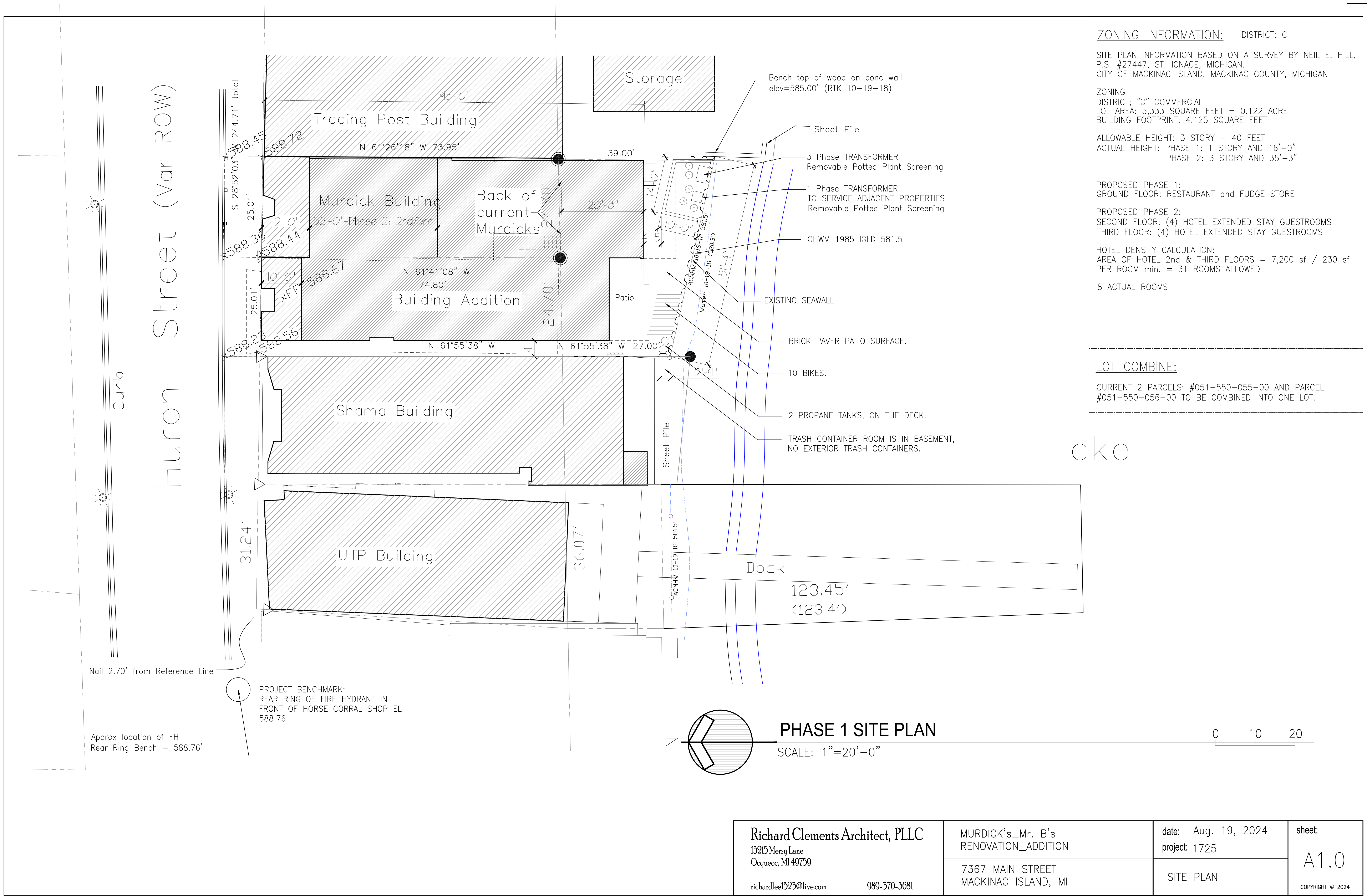
☒
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Site Plan Informational (Demolition)
Requirements (Section 20.04, D)

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>



CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Robert G. Benser
PO BOX 481 MACKINAC IS.
231-881-3343 rbenser@mie.com
Phone Number Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Is The Proposed Project Part of a Condominium Association?

NO

Is The Proposed Project Within a Historic Preservation District?

YES

Applicant's Interest in the Project (If not the Fee-Simple Owner):

-

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

NO

Is a Variance Required?

NO

Are REU's Required? How Many?

NO

1

Type of Action Requested:

- | | |
|------------------------------------------------------------|-----------------------------------------------------------------|
| <input checked="" type="checkbox"/> Standard Zoning Permit | <input type="checkbox"/> Appeal of Planning Commission Decision |
| <input type="checkbox"/> Special Land Use | <input type="checkbox"/> Ordinance Amendment/Rezoning |
| <input type="checkbox"/> Planned Unit Development | <input type="checkbox"/> Ordinance Interpretation |
| <input type="checkbox"/> Other _____ | |

Property Information:

051.550.055.00 + 051.550.056.00

- A. Property Number (From Tax Statement): SEE PRINTS
- B. Legal Description of Property: SEE PRINTS
- C. Address of Property: 7363 MAIN ST. MACKINAC IS. & 7367 Main
- D. Zoning District: COMMERCIAL
- E. Site Plan Checklist Completed & Attached: YES
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) SEE PRINTS
- G. Sketch Plan Attached: -
- H. Architectural Plan Attached: YES
- I. Association Documents Attached (Approval of project, etc.): N/A
- J. FAA Approval Documents Attached: N/A
- K. Photographs of Existing and Adjacent Structures Attached: SEE PLANS

Proposed Construction/Use:

- A. Proposed Construction:
- ☒ New Building ☐ Alteration/Addition to Existing Building
- ☐ Other, Specify _____

File No. C24. 055/56-056(H)

Exhibit B

Date 8.27.24

Initials KP

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

MURDECK'S FUDGE & VACANT MR. B's LOT
 Proposed Use: CONSTRUCT BASEMENT & PADINGS FOR EXPANDED
MURDECK'S FUDGE & NEW MR B's.

C. If Vacant:

Previous Use:

Proposed Use:

MR B's
MR B's

STATE OF MICHIGAN)

COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the OWNER (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Robert G. Benser
Signature

SIGNATURES

Signature

Robert G. Benser
Please Print Name

Please Print Name

Signed and sworn to before me on the 27 day of August, 2024.

K. RICKLEY, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 10/21/2025

K. Rickley
Notary Public
Mackinac County, Michigan
My commission expires: 10/21/2025

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: C24-055/56-056(H)FEE: 400-DATE: 8.27.24CHECK NO: 1019056 INITIALS: KD

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review
Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|--------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features

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23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)

☒
☐

24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)

☒
☐

25. Description of Existing and proposed on-site lighting (see also Section 4.27)

☐
☒

Utility Information

Provided

Not Provided or Applicable

26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand

☐
☒

27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)

☒
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28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)

☒
☐

29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.

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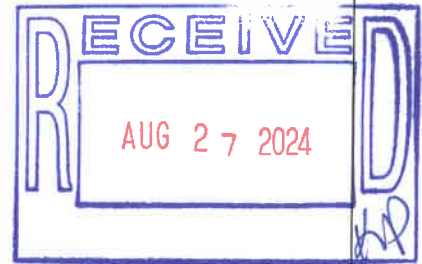
**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Architectural Review

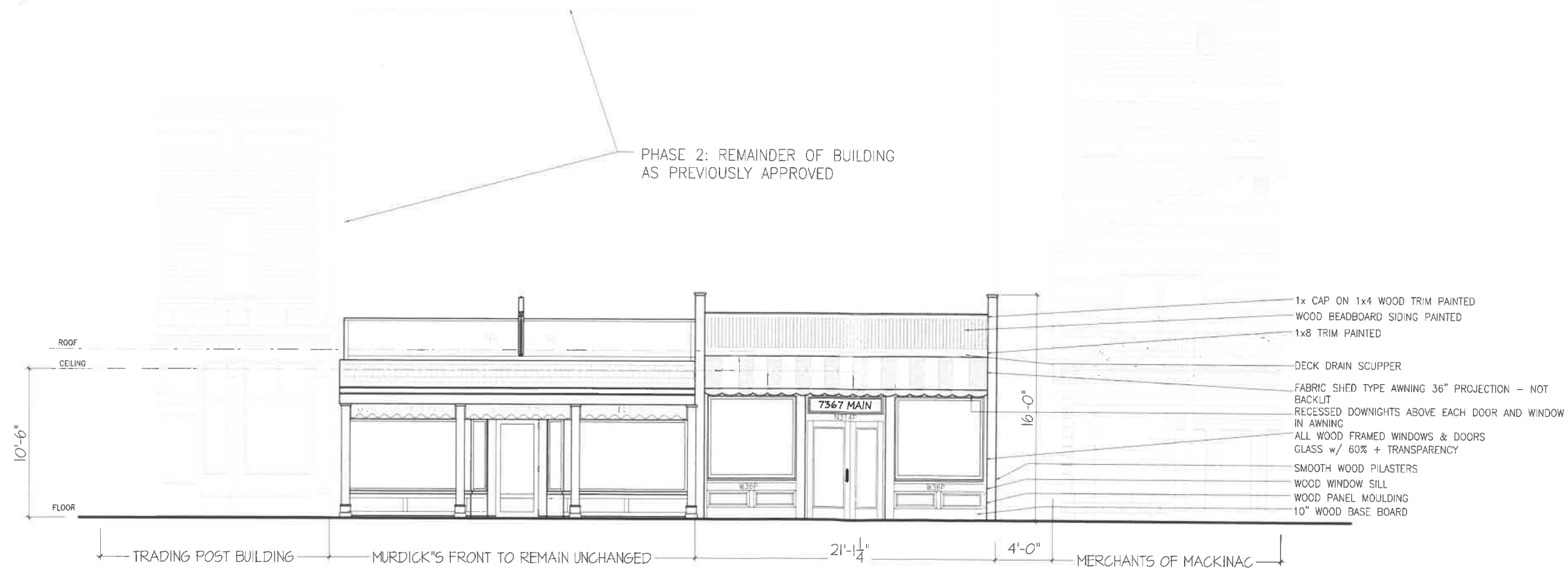
Informational Requirements (Section 18.05)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>



File No. C24-055/56-056(H)
 Exhibit D
 Date 8.27.24
 Initials KP

40'-0" MAXIMUM NON EXCLUDED HEIGHT LIMIT



PHASE 1 NORTH (HURON STREET) ELEVATION

SCALE: 1/4"=1'-0"

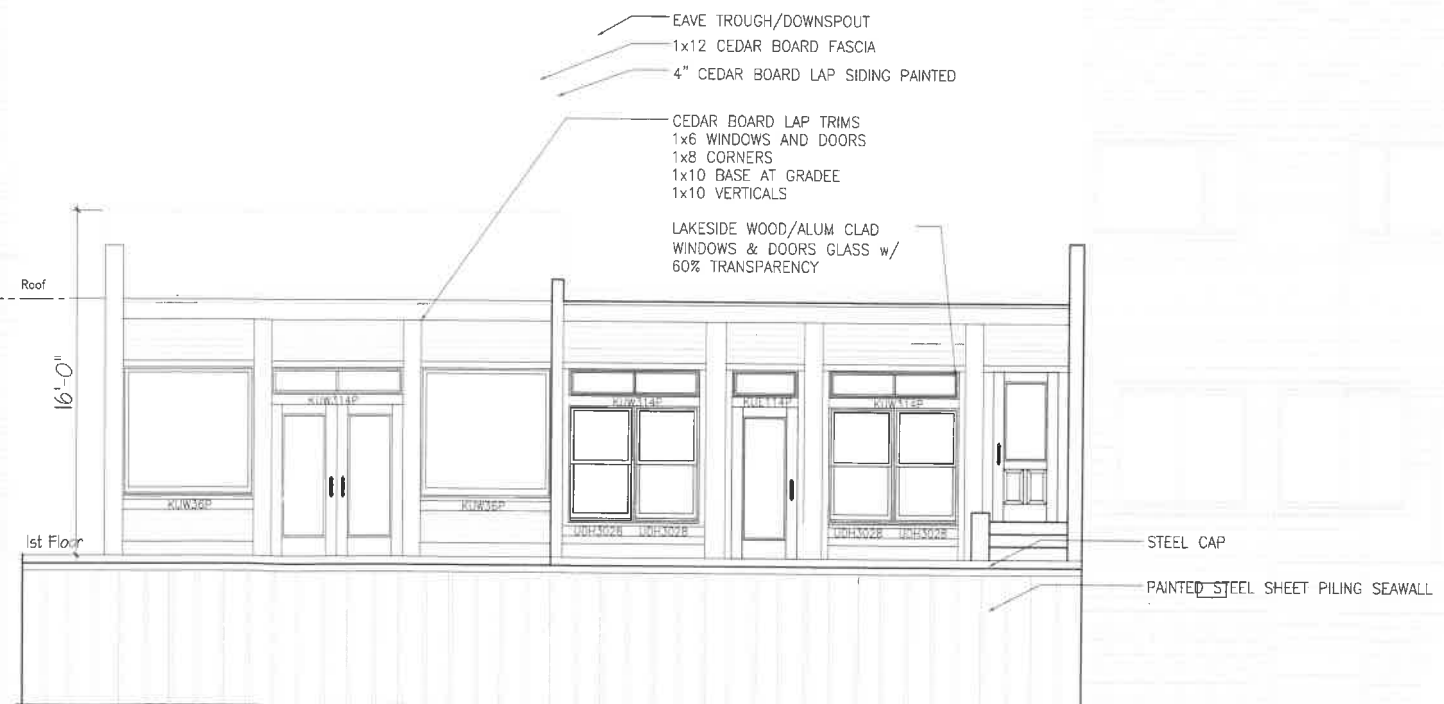
0 4 8

Richard Clements Architect, PLLC 15205 Merry Lane Oshtemo, MI 49079 richardc@rca2.com 989-370-3681	
MURDICK's_Mr. B's RENOVATION_ADDITION 7363 MAIN STREET MACKINAC ISLAND, MI previous zoning renewal: Sept. 25, 2023	
revised:	sheet:
date: Aug. 19, 2024 project: 1725	A2.1
PHASE 1	139



40'-0" MAXIMUM NON EXCLUDED HEIGHT LIMIT

ROOF SLOPES TO REAR 7" HEAVY DUTY OGEE GUTTER
at $\frac{1}{4}$ " p/f SLOPE WITH 4" DOWNSPOUTS EACH SIDE TO
UNDERGROUND 6" PVC PIPES TO LAKE.



PHASE 1 SOUTH (HARBOR) ELEVATION

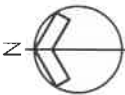
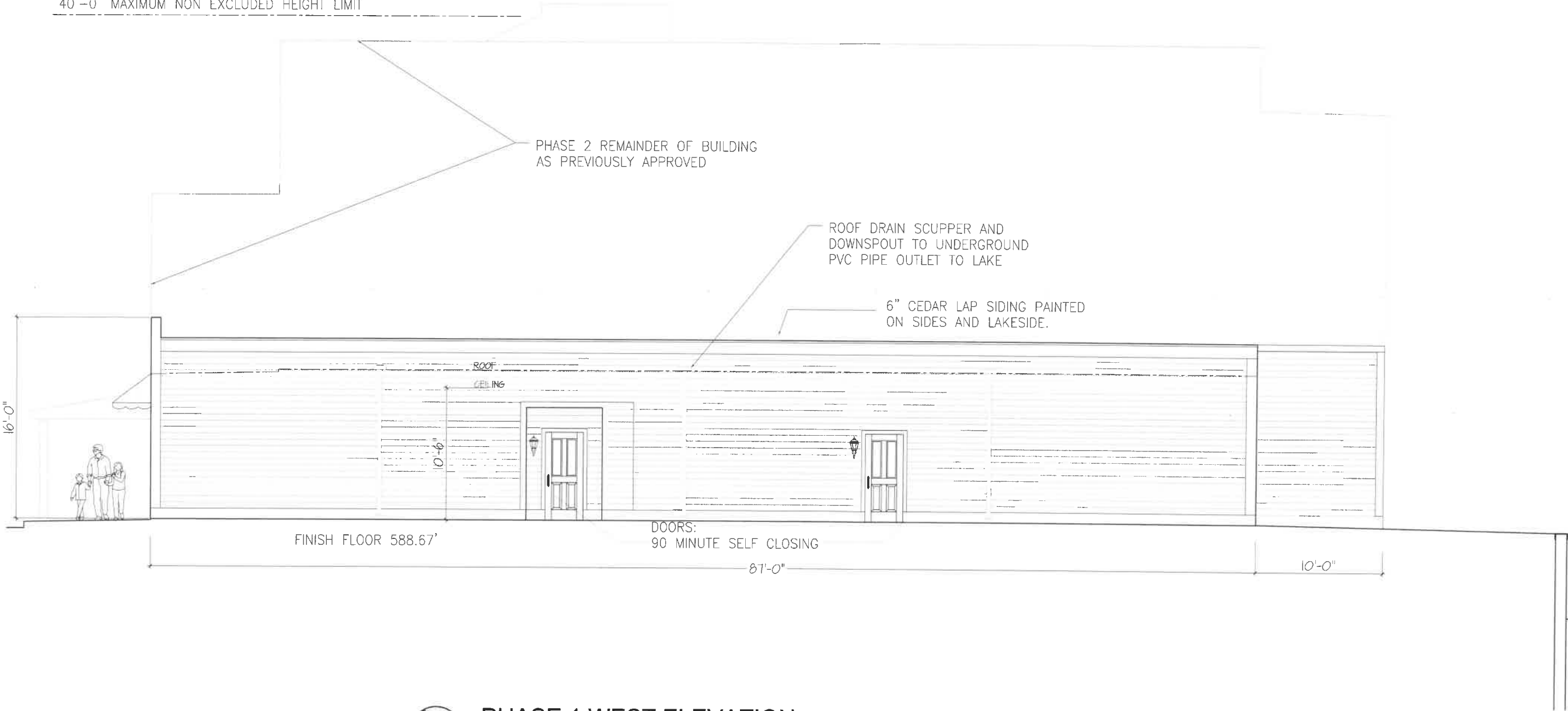
SCALE: 1/4"=1'-0"

0 4 8

Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee15236@live.com 989-370-3681	
MURDICK's_Mr. B's RENOVATION_ADDITION	
7363 MAIN STREET MACKINAC ISLAND, MI	
previous zoning renewal: Sept. 25, 2023	
revised:	
date: Aug. 19, 2024 project: 1725	sheet: A2.2
SOUTH ELEVATION	

+6' EXCLUDED STRUCTURE HEIGHT LIMIT HEIGHT

40'-0" MAXIMUM NON EXCLUDED HEIGHT LIMIT

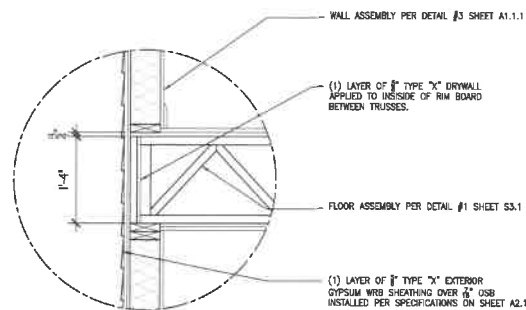


PHASE 1 WEST ELEVATION

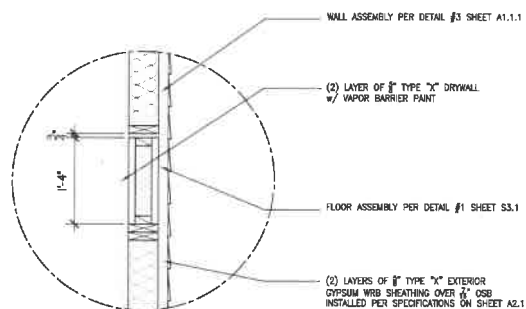
SCALE: 1/4"=1'-0"

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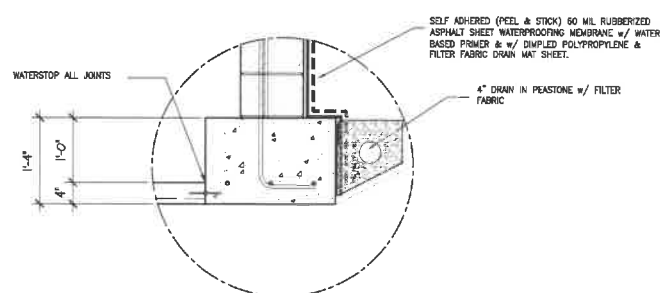
Richard Clements Architect, PLLC 15215 Morris Lane Oshtemo, MI 49759 richard@rca-llc.com 561-370-3681		
MURDICK's_Mr. B's RENOVATION_ADDITION 7363 MAIN STREET MACKINAC ISLAND, MI		
previous zoning renewal: Sept. 25, 2023		
revised:		
date: Aug. 19, 2024	project: 1725	sheet: A2.3
WEST ELEVATION		141



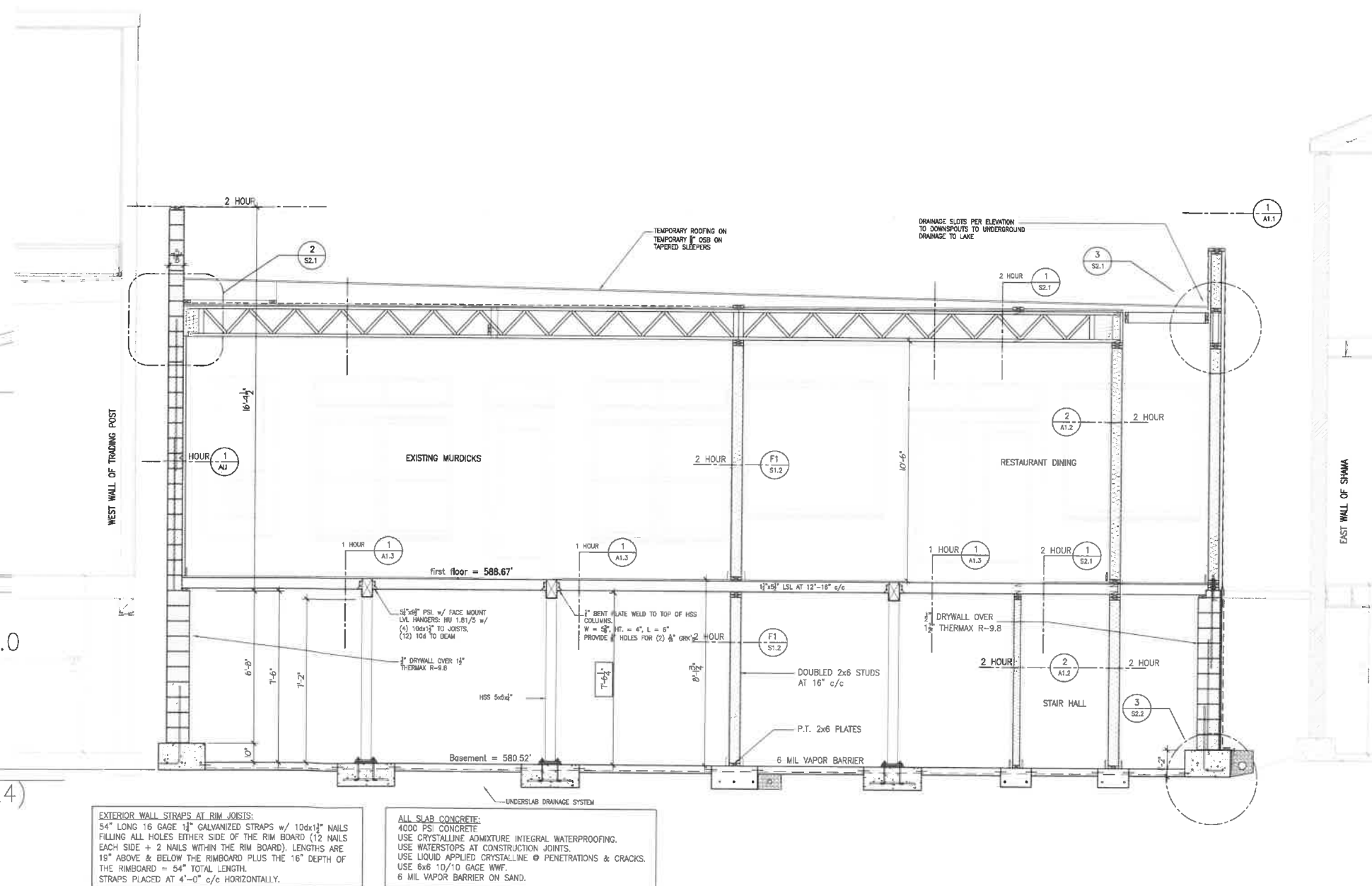
1 2nd FLOOR DETAIL AT EAST FRONT HALF SCALE 3/4"=1'-0"

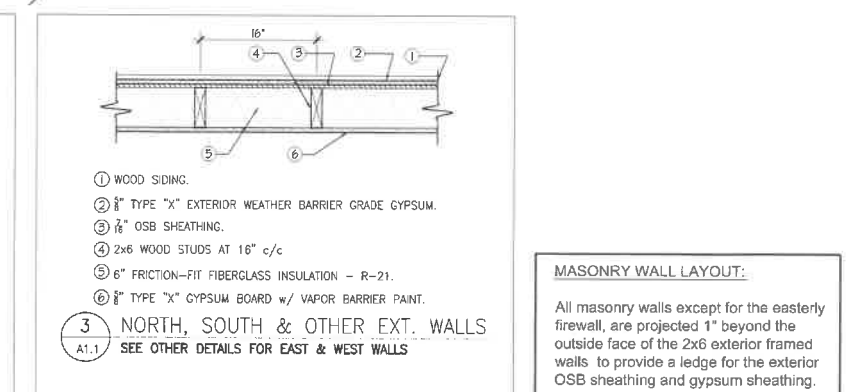
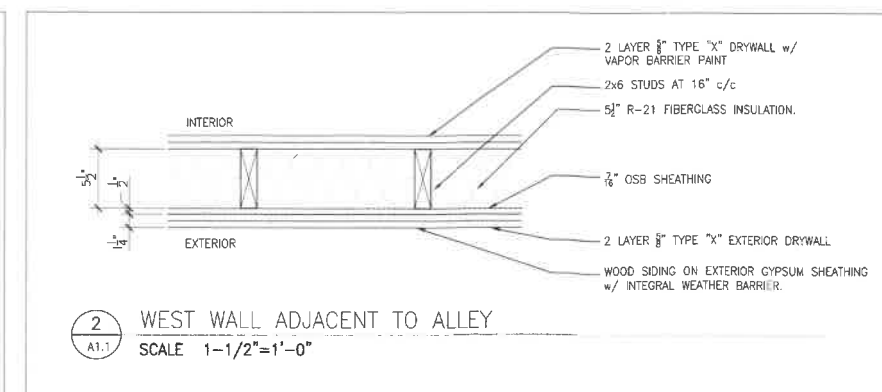
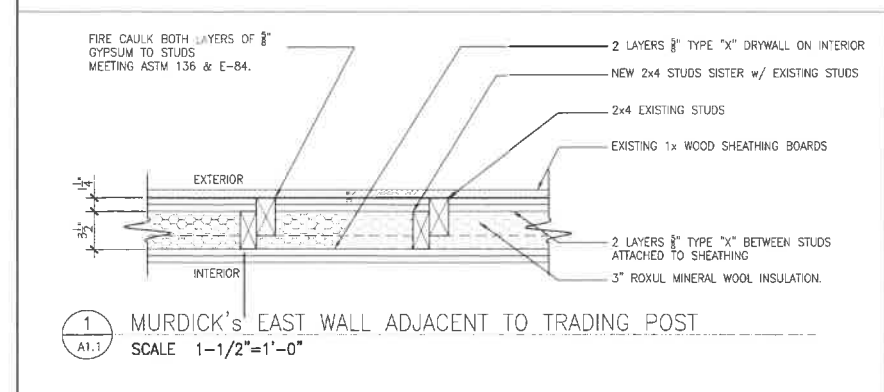
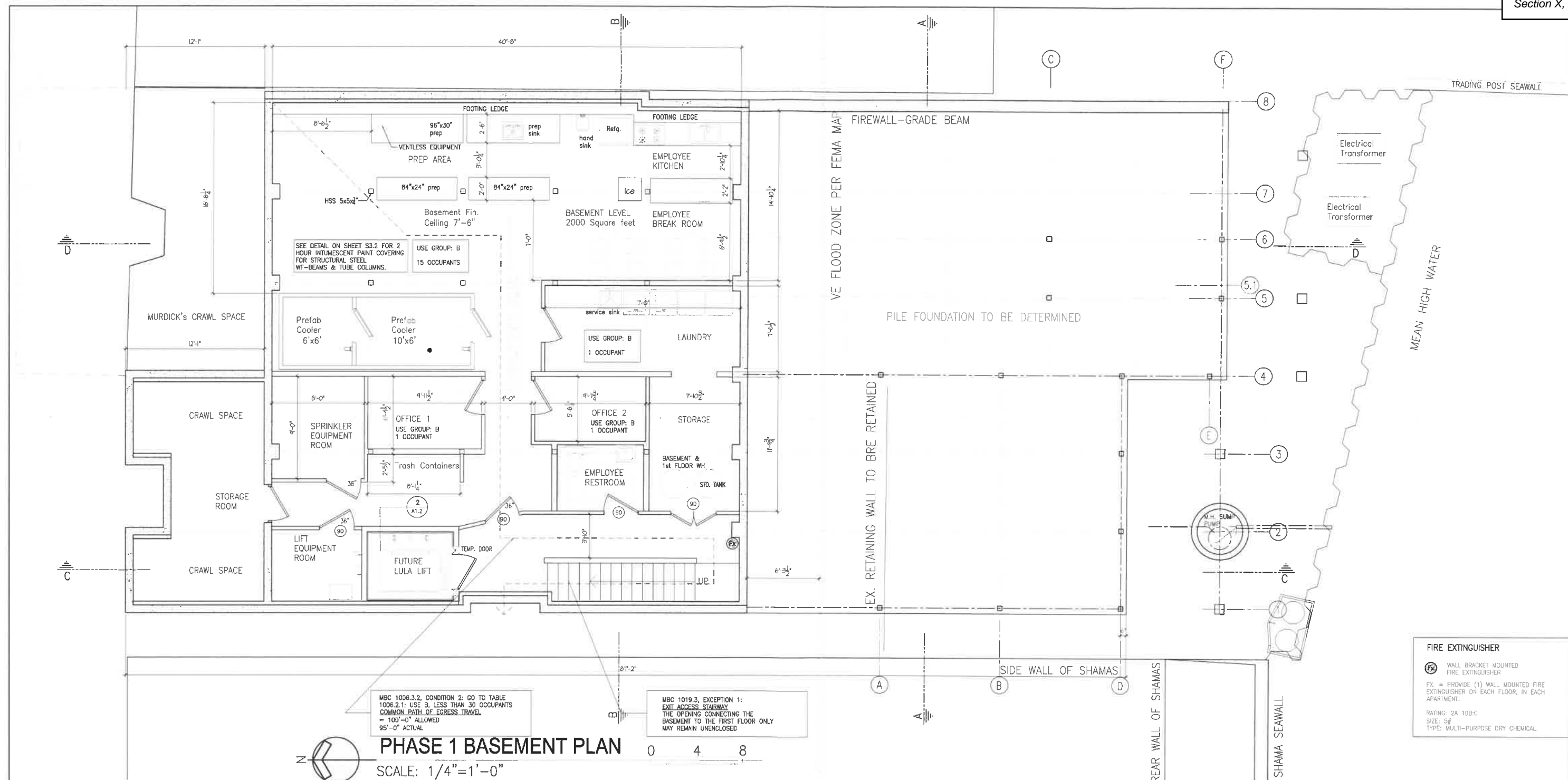


2nd FLOOR DETAIL AT WEST STAIR SCALE $\frac{3}{4}"=1'-0"$




3 BASEMENT WALL DETAIL SCALE $\frac{3}{4}" = 1' - 0"$
S2.2





FIRE EXTINGUISHER

 WALL BRACKET MOUNTED
FIRE EXTINGUISHER

FX. = PROVIDE (1) WALL MOUNTED FIRE
EXTINGUISHER ON EACH FLOOR, IN EACH
APARTMENT.

RATING: 2A 10B:C
SIZE: 5#
TYPE: MULTI-PURPOSE DRY CHEMICAL.

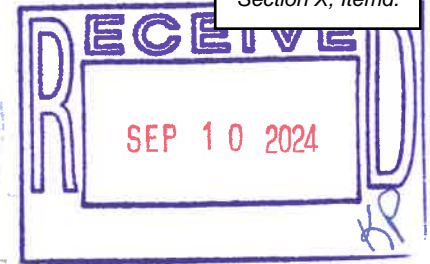
Richard Clements Architect, PLLC 15215 Merry Lane Ozaukee, WI 53079 richard@rca23@live.com 969-370-6861	
MURDICK's Mr. B's RENOVATION_ADDITION 7363 MAIN STREET MACKINAC ISLAND, MI previous zoning renewal: Sept. 25, 2023	
revised: date: Aug. 19, 2024 project: 1725	sheet: A1.4
BASEMENT PLAN	





Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931



7 September 2024

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
Mackinac Island, MI 49757

File No. C24-055/56-056(H)

Exhibit H

Date 9.10.24

Initials KP

Re: **MISTER B's & MURDICK'S FUDGE RENOVATION & ADDITIONS CHANGE**
Design Review

Dear Ms. Pereny:

This design review follow-up is for proposed design changes dated 19 August 2024 for the old Mister B's building site and the Murdick's Fudge building, respectively at 7367 and 7363 Main Street, in the Market and Main Historic District. The Murdick's Fudge building is a Contributing structure in the district.

Numerous revisions to the original approved project have been made over the course of 2019 - 2022, this current request being mostly a phasing change. Rather than construct the entire two-building project at one time, it is now proposed to construct the foundation / basement and the first floor as phase one, later followed by phase two consisting of the second and third floors. Phase one would also include building foundation pilings and lakeshore sheet pilings.

The proposed phase one scope of work reflects what has previously been approved by the HDC, with one minor change. This exception is on the harbor end of the Murdick's Fudge building where a blank portion of first floor wall to the left of the center door is now proposed to be a pair of windows matching those to the right of the door.

The proposed project phasing and the windows change would meet the Standards for review.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

Rick Neumann

- c. Bob Benser, Applicant
Rich Clements, Richard Clements Architect
Dennis Dombroski, City of Mackinac Island
David Lipovsky, City of Mackinac Island

CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Robert Bensen c/o Andrew Douc
PO Box 1424, Mackinac Is, MI 49757
231 881 3343 bensen@mc.com
Phone Number Email Address

Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Is The Proposed Project Part of a Condominium Association?

no

Is The Proposed Project Within a Historic Preservation District?

yes

Applicant's Interest in the Project (If not the Fee-Simple Owner):

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?

no

Is a Variance Required?

no

Are REU's Required? How Many?

no /

Type of Action Requested:

☒ Standard Zoning Permit

☐ Special Land Use

☐ Planned Unit Development

☐ Other _____

☐ Appeal of Planning Commission Decision

☐ Ordinance Amendment/Rezoning

☐ Ordinance Interpretation

Property Information:

A. Property Number (From Tax Statement): 051-500-008-00

B. Legal Description of Property: Lot 13, Plat 1

C. Address of Property: 1274 Mission St

D. Zoning District: R3

E. Site Plan Checklist Completed & Attached: yes

F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) yes

G. Sketch Plan Attached: yes

H. Architectural Plan Attached: yes

I. Association Documents Attached (Approval of project, etc.): no

J. FAA Approval Documents Attached: NA

K. Photographs of Existing and Adjacent Structures Attached: yes

File No. R324.008.057(H)

Exhibit A

Date 8.27.24

Initials KB

Proposed Construction/Use:

A. Proposed Construction:

X New Building _____ Alteration/Addition to Existing Building
____ Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Single Family
Proposed Use: Single

C. If Vacant:

Previous Use: _____
Proposed Use: _____

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.



Signature

SIGNATURES

Signature



Please Print Name

Please Print Name

Signed and sworn to before me on the 27 day of August, 2024.


Notary Public

County, Michigan

My commission expires: _____



FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

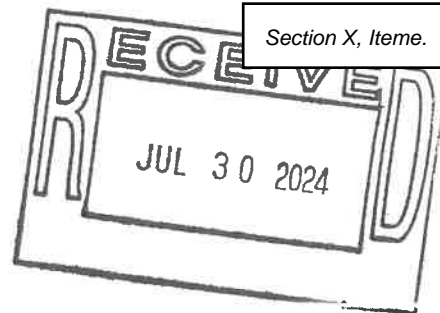
OFFICE USE ONLY

FILE NUMBER: B324.008.057(H)FEE: ~~150~~ 150-DATE: 8.27.24 CHECK NO: 8117 INITIALS: KP

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757



Site Plan Review Checklist

With The Application for Zoning Action *Phase I*

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.



13. Proposed construction start date and estimated duration of construction.



14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission



Natural Features

Provided

Not Provided or Applicable

15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)



16. Topography of the site with at least two- to five-foot contour intervals



17. Proposed alterations to topography or other natural features



18. Earth-change plans, if any, as required by state law



Physical Features

Provided

Not Provided or Applicable

19. Location of existing manmade features on the site and within 100 feet of the site



20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site



21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a



dwelling schedule showing the unit type and number of each such units

22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features



23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)



24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)



25. Description of Existing and proposed on-site lighting (see also Section 4.27)



- Coach lighting by all doors on both buildings

Utility Information

Provided

Not Provided
or Applicable

26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand



27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)



28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)



29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.



**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

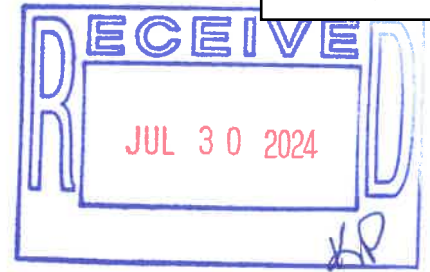
<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Architectural Review
Informational Requirements (Section 18.05)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

File No. R324008-047(H)Exhibit CDate 7.30.24Initials KP

Description of Work
 1274 Mission Street
 Mackinac Island, MI 49757



Proposed work:

To complete work in two phases:

Phase one: Move existing, two-story house to the front of the parcel, and create two separate condominiums, one on the ground floor and one on the upper floor.

Phase two: Build new condominium home on the back part of the parcel.

Refer to attached site plan dated July 29, 2024, for more detail

Property is zoned R-3 (*Hight Density Residential*) and is a non-contributing property located within the Mission Historic District.

Proposed development is a site condominium, the existing structure will be converted into two-single family condominiums, and the new structure will be a single-family condominium.

There are two existing REUs which will continue to be applied to the existing structure in "phase one" One new REU will be necessary for the new construction in "phase two"

Construction start dates:

Phase one; November 1, 2024, building of new foundation by Chad Belongia and Erin Winberg, December 1, 2024 move existing house by Nick Mangini . Construction completion target date May 12025.

Phase two; Foundation construction to begin December 1, 2024, with construction of the house commencing upon foundation completion by Ray Halberg.

Demolition of the existing basement to be performed by Chad Belongia, and construction debris will contained on property and handled by Mackinac Island Service Company.



NORTH & WEST HOUSE ▲
▼ SOUTH & WEST HOUSE



Wendell looking East ▲
▼ ON WENDALL LOOKING SOUTHEAST



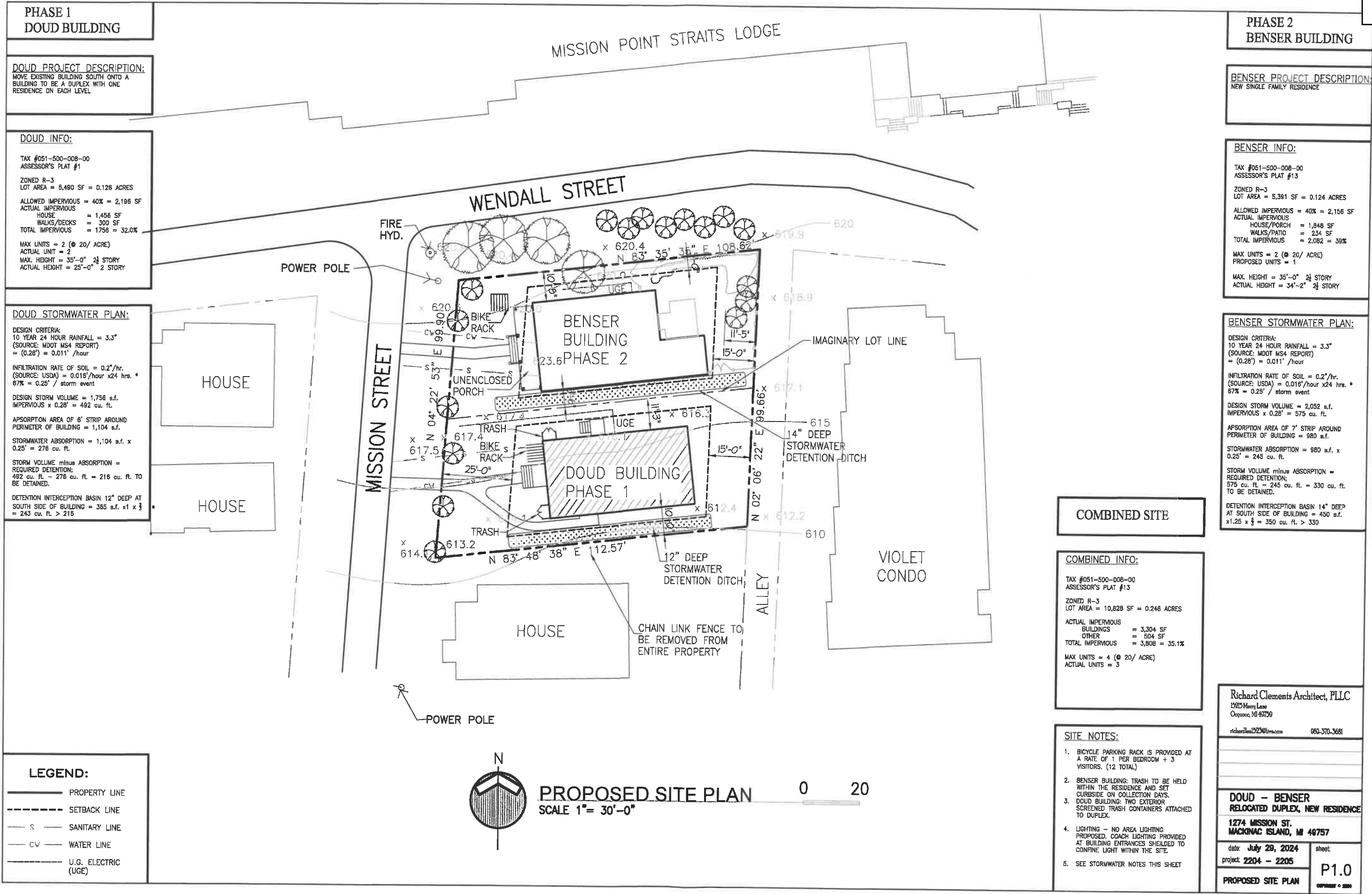
Wendell looking S ▲
▼ ON WENDALL LOOKING WEST

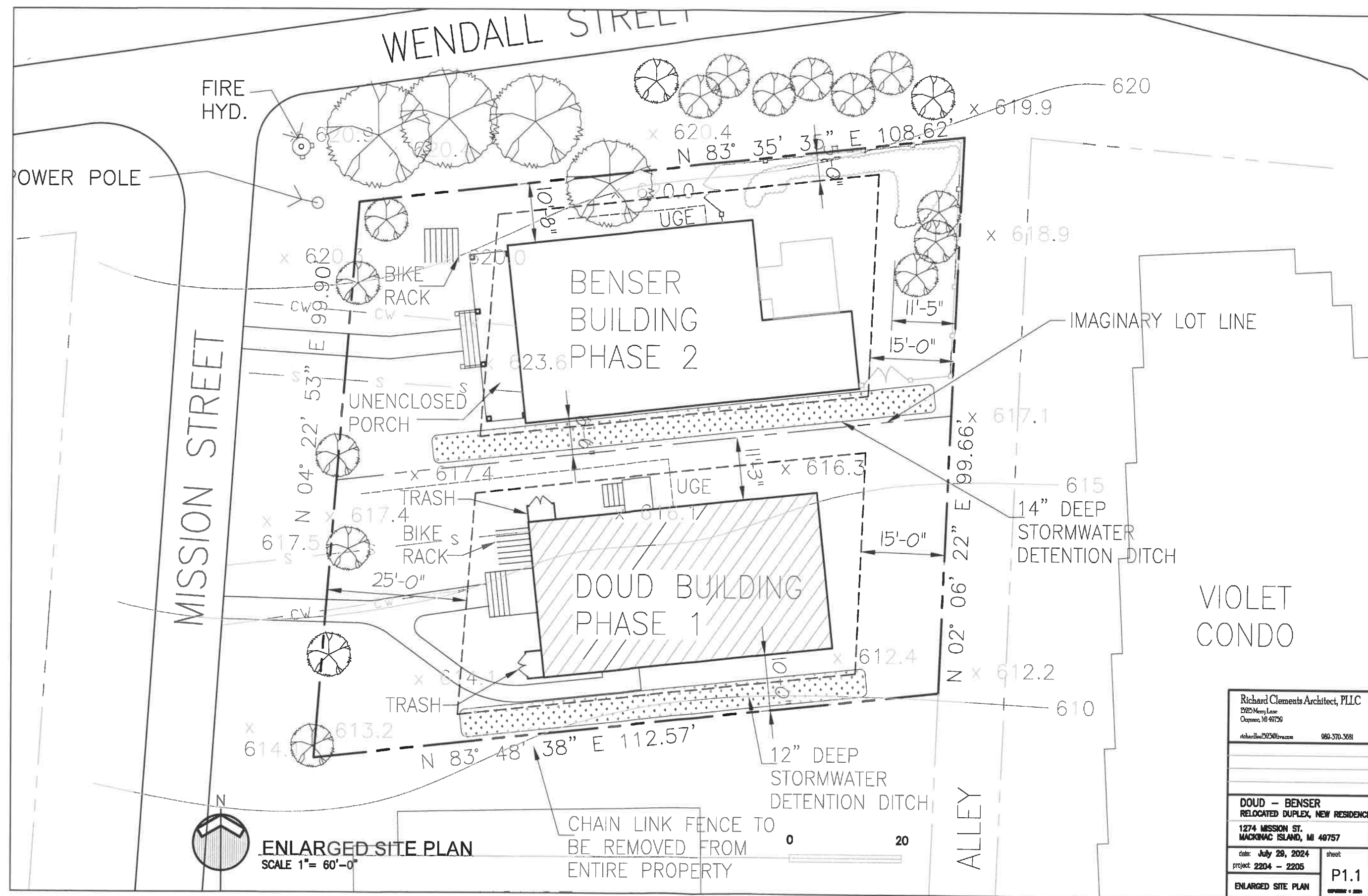


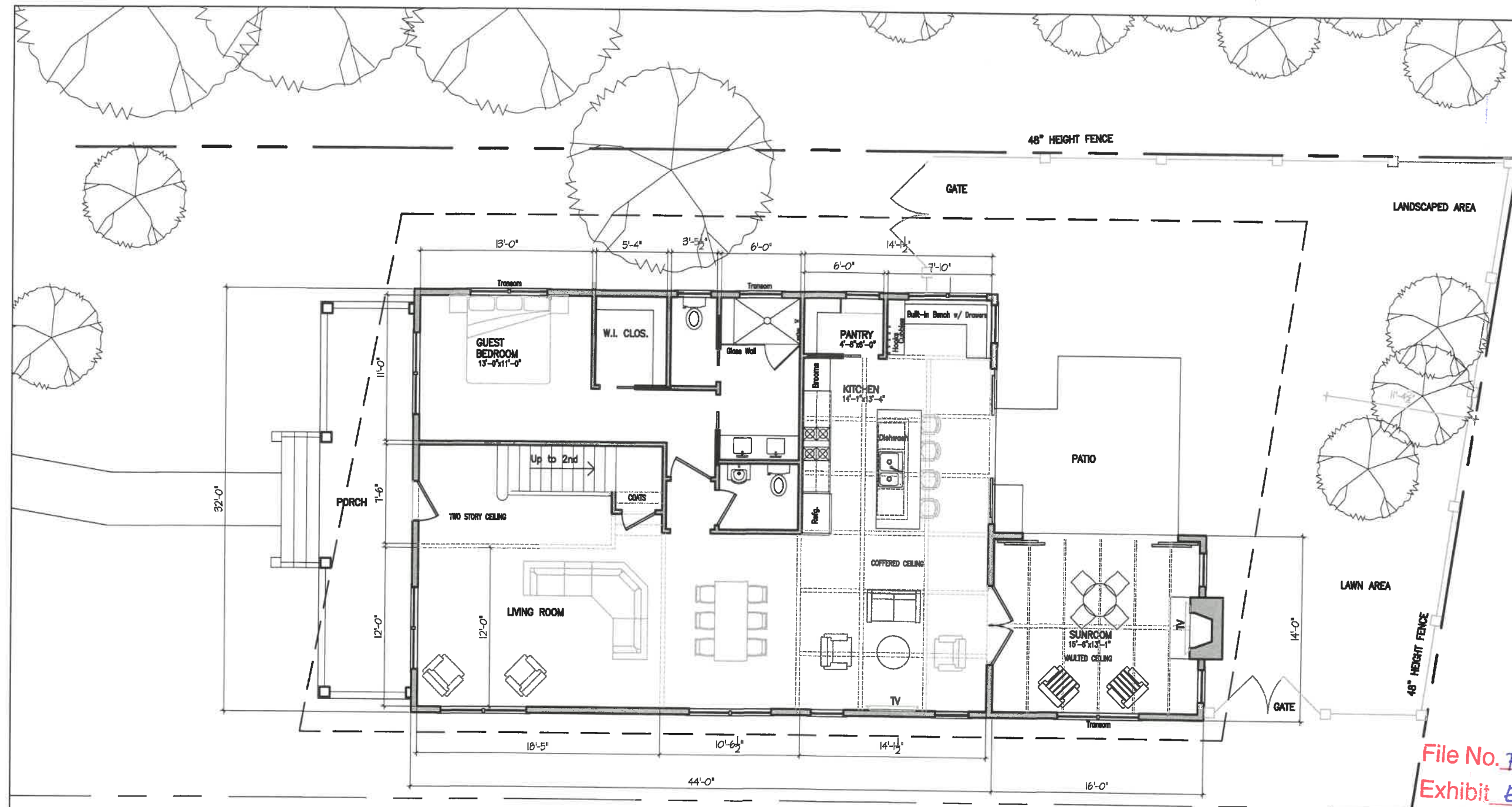
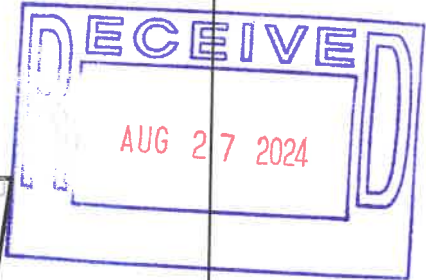
RECEIVED
JUL 30 2024

File No. R324-008-057(A)
Exhibit D
Date 7-30-24
Initials KP

Richard Clements Architect, PLLC 1920 Merry Lane Oshtemo, MI 48759 richardcl@192561va.com 989-370-5681	
DOUD — BENSER RELOCATED DUPLEX, NEW RESIDENCE 1274 MISSION ST. MACKINAC ISLAND, MI 49757	
date: <u>July 26, 2024</u> project: <u>2204 - 2205</u>	sheet: X0.0 drawing © 2024
AREA PHOTOS	



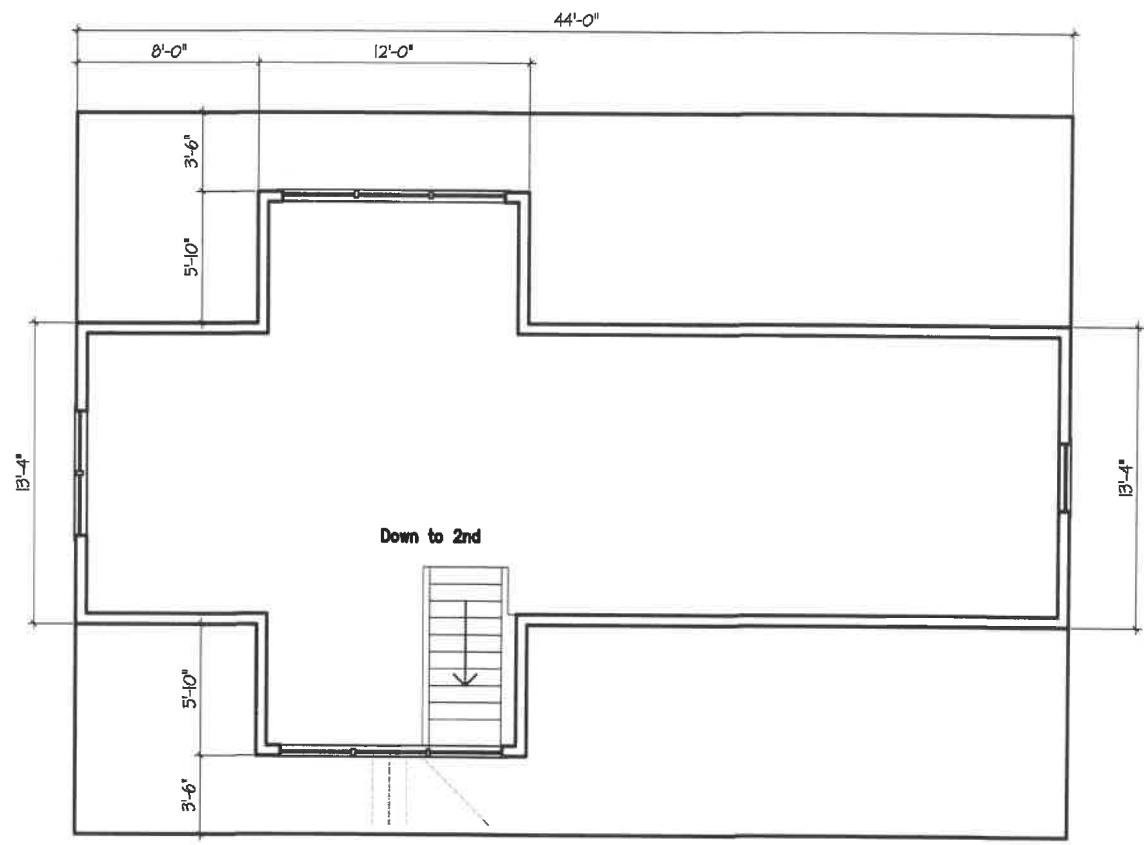




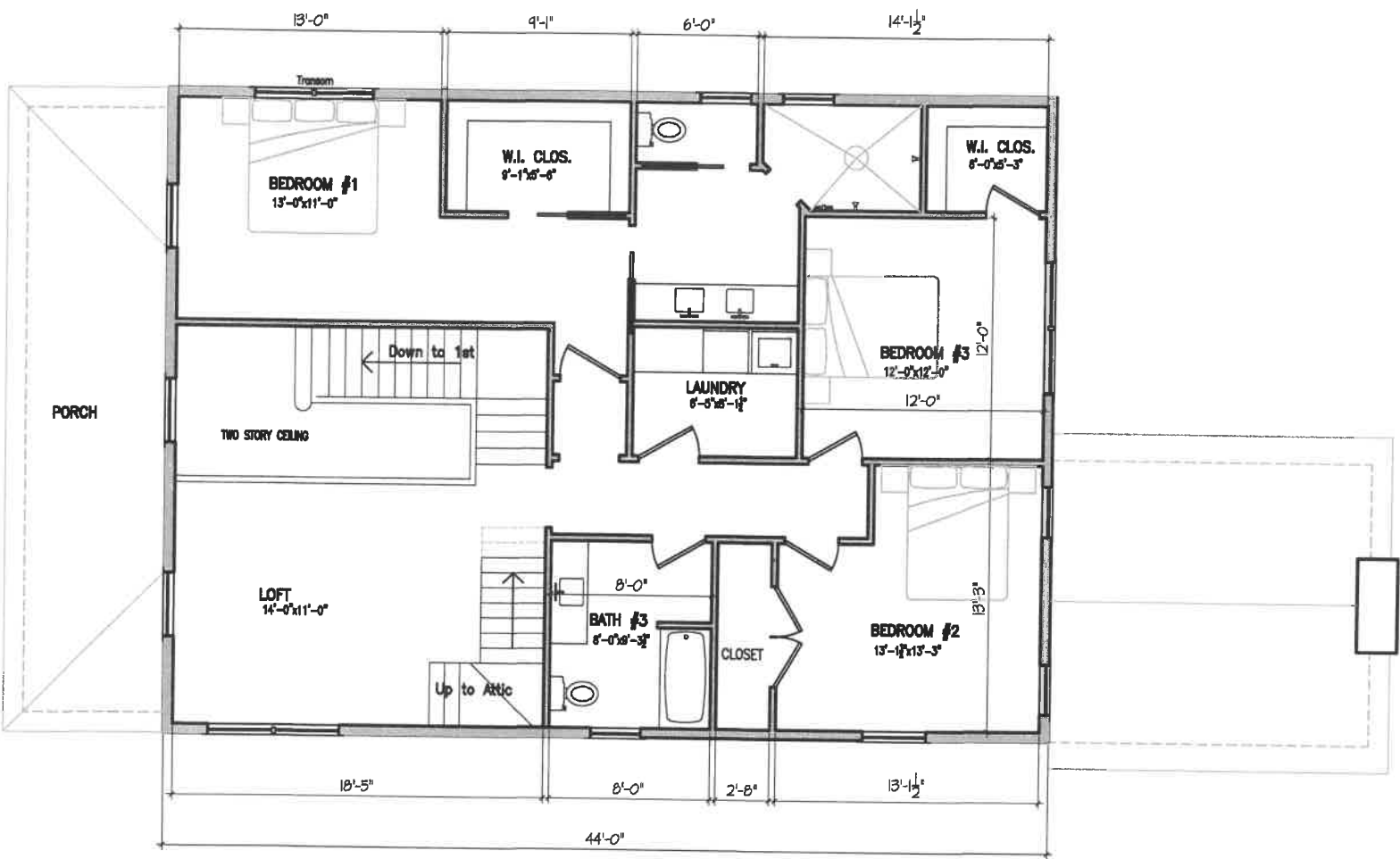
Main Floor Plan
1632 Square Feet
1/4" = 1'-0"

File No. R324-008-057(4)
Exhibit E
Date 8.27.24
Initials KP

Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1525@live.com 989-370-3681	ROBERT BENSER NEW RESIDENCE 1274 MISSION ST. MACKINAC ISLAND, MI 49757	date: 7.29.24	sheet: B1.1
		project: 2205	COPYRIGHT © 2024



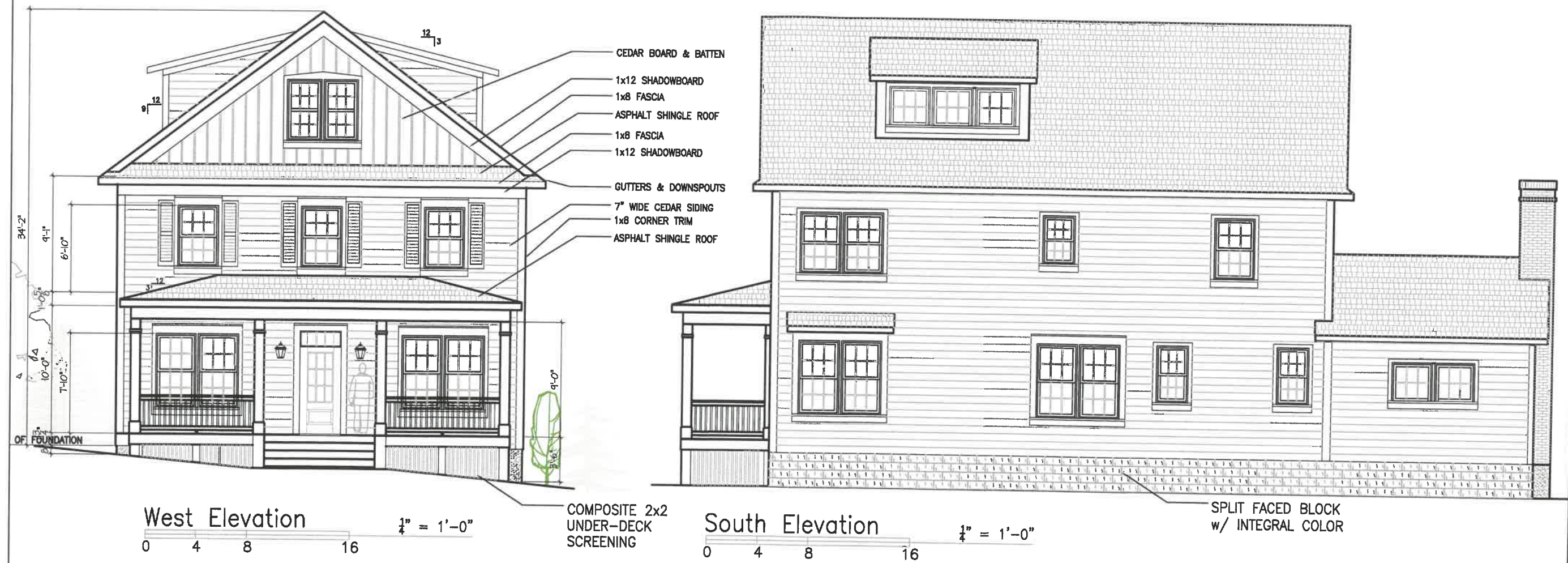
Attic Level
702 Square Feet
1" = 1'-0"



2nd Floor Plan
1408 Square Feet
1" = 1'-0"

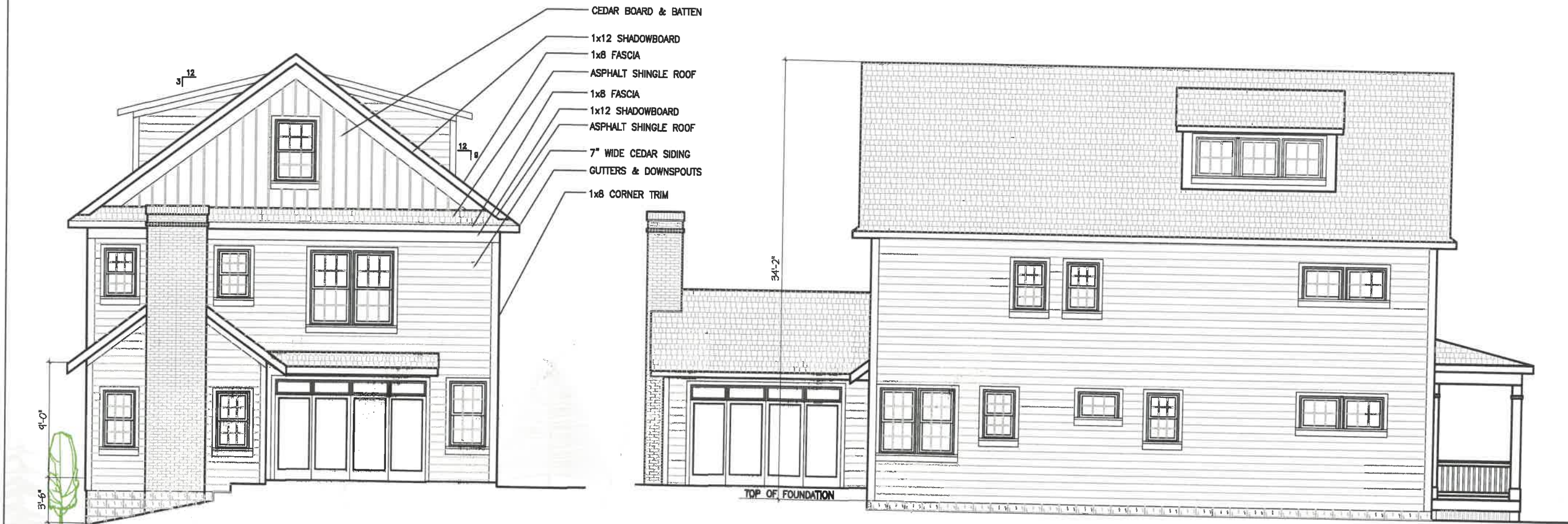


Richard Clements Architect, PLLC 15215 Merry Lane Osgood, MI 49759 richardleel523@live.com 989-370-3681	ROBERT BENSER NEW RESIDENCE 1274 MISSION ST. MACKINAC ISLAND, MI 49757	date: 7.29.24	sheet: B1.2
		project: 2205	COPYRIGHT © 2024



NEW WINDOWS/DOORS: ANDERSEN WOOD CLAD DOUBLE HUNG OR SIMULATED DOUBLE HUNG, CLEAR GLASS WITH LIGHT TRANSMITTANCE GREATER THAN 60%.

Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1525@live.com 989-370-3681	ROBERT BENSER NEW RESIDENCE 1274 MISSION ST. MACKINAC ISLAND, MI 49757	date: 7.29.24	sheet: B1.3
		project: 2205	COPYRIGHT © 2024



East Elevation
0 4 8 16 1/4" = 1'-0"

North Elevation
0 4 8 16 1/4" = 1'-0"

NEW WINDOWS/DOORS: ANDERSEN WOOD
CLAD DOUBLE HUNG OR SIMULATED DOUBLE
HUNG, CLEAR GLASS WITH LIGHT
TRANSMITTANCE GREATER THAN 60%.

Richard Clements Architect, PLLC
15215 Merry Lane
Ocqueoc, MI 49759
richardlee1523@live.com 989-370-3681

ROBERT BENSER
NEW RESIDENCE
1274 MISSION ST.
MACKINAC ISLAND, MI 49757

date: 7.29.24
project: 2205

sheet:
B1.4
COPYRIGHT © 2024



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

7 September 2024

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
P.O. Box 455
Mackinac Island, MI 49757

Re: **BENSER RESIDENCE**
Design Review

Dear Ms. Pereny:

I have reviewed the proposed new Benser Residence in the East End Mission Historic District.

Find attached the Design Review for the above referenced proposed project.

Should you have any questions, please contact me.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

- c. Robert Benser, Applicant
Richard Clements, Richard Clements Architect
Dennis Dombroski, City of Mackinac Island
David Lipovsky, City of Mackinac Island



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

7 September 2024

DESIGN REVIEW

BENSER RESIDENCE

1274 Mission Street

East End Mission Historic District
Mackinac Island, Michigan

INTRODUCTION

The proposed project is the construction of a new 2-1/2 story house, at 1274 Mission Street, in the East End Mission Historic District. Proposed work would be located on the north portion of the vacated lot following relocation of an existing two story house, south on the property.

This design review is based on City Code Sec. 10-161 "Design Review Standards and Guidelines", of Article V. "Historic District", of the City of Mackinac Island Ordinance No. 443, adopted October 21, 2009. The review standards are those of the Department of the Interior entitled "The United States Secretary of the Interior's Standards for Rehabilitation" and "Guidelines for Rehabilitating Historic Buildings", as set forth in 36 CFR, part 67, as well as the factors set forth in City Code Sec. 10-161(b).

Materials submitted for Review consist of photographs of existing conditions and drawings of proposed work of the project, dated 29 July 2024, by Richard Clements Architect.

REVIEW

Of the Secretary of the Interior's Standards, and the Standards Under Sec. 10-161(b), the applicable Standards for review are the following:

Standard 1 - *"A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment."*

The new house would continue the historic use of the property as residential.

Standard 8 - *"Significant archaeological resources shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken."*

Benser Residence Design Review
7 September 2024
Page 2

Although not likely, as the site has been previously disturbed, it is possible archaeological resources could be encountered, as locations fronting Haldimand Bay have long been habitation sites. During project excavation heightened awareness should be exercised.

Standard 9 - *"New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size and architectural features to protect the historic integrity of the property and its environment."*

The proposed new construction would not destroy historic materials as the site would be vacant. This new work would be differentiated from nearby historic properties, and would be compatible with the massing, size and architectural features of the surrounding environment.

Standards Under Code Sec. 10-161(b)

In reviewing applications, the Commission shall also consider all of the following:

(2) - *"The relationship of any architectural features of the resource to the rest of the resource and to the surrounding area."*

The proposed new residence would be appropriate to the surrounding area.

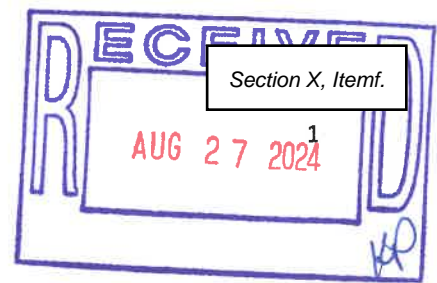
(3) - *"The general compatibility of the design, arrangement, texture and materials proposed to be used."*

The proposed house would be compatible in terms of design, arrangement, texture and materials.

CONCLUSION

The proposed construction of a new residence on the north portion of property at 1274 Mission Street would meet the Standards for review.

END OF REVIEW



CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Stonecliffe Properties LLC
8593 Cudahy Circle Mackinac Island, MI 49757
+1 (434)-841-1295 kevin@pultefamilyfoundation.org
Phone Number Email Address

Please complete both sides of application.
The Fee and five (5) copies of the application, plans
and all required documents must be submitted to
the Zoning Administrator fourteen (14) days prior to
the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Pulte Family Charitable Foundation
220 S. Dixie Hwy.
Boca Raton, FL 33432

Is The Proposed Project Part of a Condominium Association?	_____ No
Is The Proposed Project Within a Historic Preservation District?	_____ No
Applicant's Interest in the Project (If not the Fee-Simple Owner):	_____ Owner
Is the Proposed Structure Within Any Area That The FAA Regulates Airspace?	_____ Yes
Is a Variance Required?	_____ No
Are REU's Required? How Many?	_____ Yes / _____

Type of Action Requested:

<input checked="" type="checkbox"/> Standard Zoning Permit	_____ Appeal of Planning Commission Decision
_____ Special Land Use	_____ Ordinance Amendment/Rezoning
_____ Planned Unit Development	_____ Ordinance Interpretation
_____ Other _____	

Property Information:

A. Property Number (From Tax Statement): 051-763-013-00	File No. <u>HB24-013-058</u>
B. Legal Description of Property: See Site Plan	Exhibit <u>A</u>
C. Address of Property: 8593 Cudahy Circle	Date <u>8.27.24</u>
D. Zoning District: HB	Initials <u>KIP</u>
E. Site Plan Checklist Completed & Attached: Yes	
F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes	
G. Sketch Plan Attached: No	
H. Architectural Plan Attached: Yes	
I. Association Documents Attached (Approval of project, etc.) Not Applicable	
J. FAA Approval Documents Attached: In Process	
K. Photographs of Existing and Adjacent Structures Attached: Yes	

Proposed Construction/Use:

A. Proposed Construction:
☒ New Building ☒ Alteration/Addition to Existing Building
_____ Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

HBProposed Use HB

C. If Vacant:

Previous Use: N/AProposed Use: N/ASTATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of Interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

[Signature]
Signature

SIGNATURES

Signature

Kevin Duple, Stoneville Properties LLC
Please Print Name

N/A
Please Print Name

Signed and sworn to before me on the 26th day of August, 2024.



Mary Grace Thomas
Notary Public

DuPage County, Michigan Illinois
My commission expires: 4/29/2026

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record

	Inspection	Date	Inspector	Comments
1				
2				
3				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: HB24-013-058

FEE: 400-

DATE: 8.27.24

CHECK NO: 1118

INITIALS: KP

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|--------------------------|
| 12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. Proposed construction start date and estimated duration of construction. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Natural FeaturesProvidedNot Provided
or Applicable

- | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-------------------------------------|
| 15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 16. Topography of the site with at least two- to five-foot contour intervals | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 17. Proposed alterations to topography or other natural features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. Earth-change plans, if any, as required by state law | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Physical FeaturesProvidedNot Provided
or Applicable

- | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-------------------------------------|
| 19. Location of existing manmade features on the site and within 100 feet of the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

dwelling schedule showing the unit type and number of each such units

- | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|--------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Utility Information

Provided

Not Provided
or Applicable

- | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|--------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Architectural Review
Informational Requirements (Section 18.05)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

The Inn at Stonecliffe-Kitchen Project

11. Freight Hauling Plan

Material Hauling

- Arnold Freight to Island → Mackinac Island Service Company to site
- Arnold Freight to Island → J&R Building Movers to site
- If necessary, Fresh Air to Island → Mackinac Island Service Company to site
- Unloading/loading of overweight items with annually permitted equipment on site.

Equipment

- Utilize annually permitted equipment already on site – e.g., Kubota, Toro
- Toter Truck (Move Modules)
- Crane (Set Modules)
- Belonga Excavation Equipment & Escort Vehicles
- Mackinac Island Service Co delivery to site (when possible)

All equipment will be operated in accordance with permitting guidelines and parked out of public view when not in use.

Construction Debris & Trash

- Placed in debris wagon or dumpster (noted in green on plan)
- Drop-off and timely removal contingent on Mackinac Island Service Co availability.

12. Construction Staging Plan

Material, Equipment, Construction Debris & Trash, Dumpsters, Vehicles

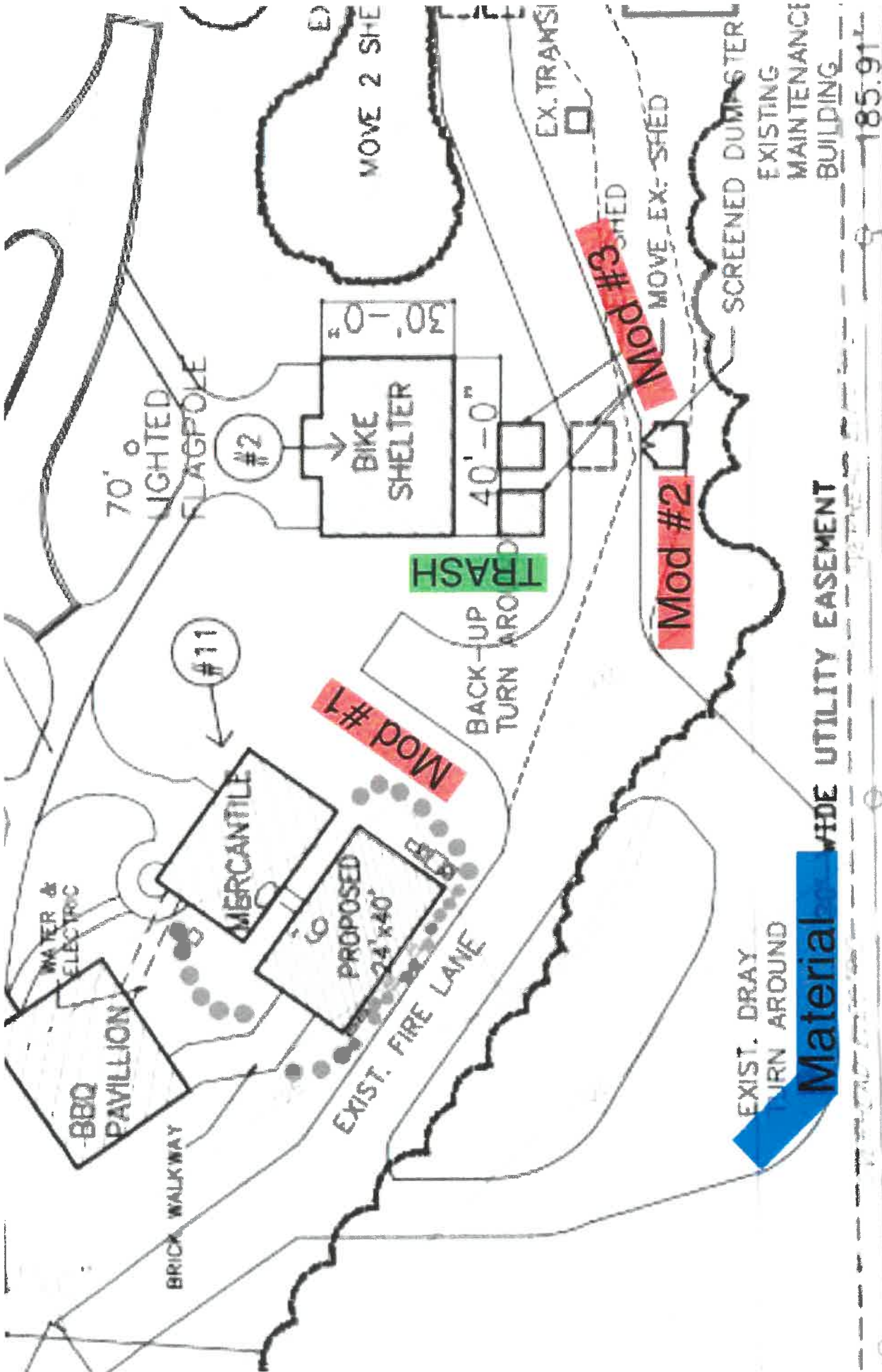
- Stored away from fire lanes, exits, and access points.
- Construction tents used to cover materials and equipment sensitive to elements.
- Debris and material kept off ground, covered, and out of public view when possible.
- Annually permitted equipment to be moved to and from maintenance area daily and returned to maintenance area when not in use.

Safety & Security

- Construction area signage, fencing, and caution tape used to secure areas that pose safety or security risk to contractors or the general public.

16. Start Date/End Date

Proposed Start: October 28, 2024 Anticipated Completion: May 2025



Richard Clements Architect, PLLC

5225 Morris Lane

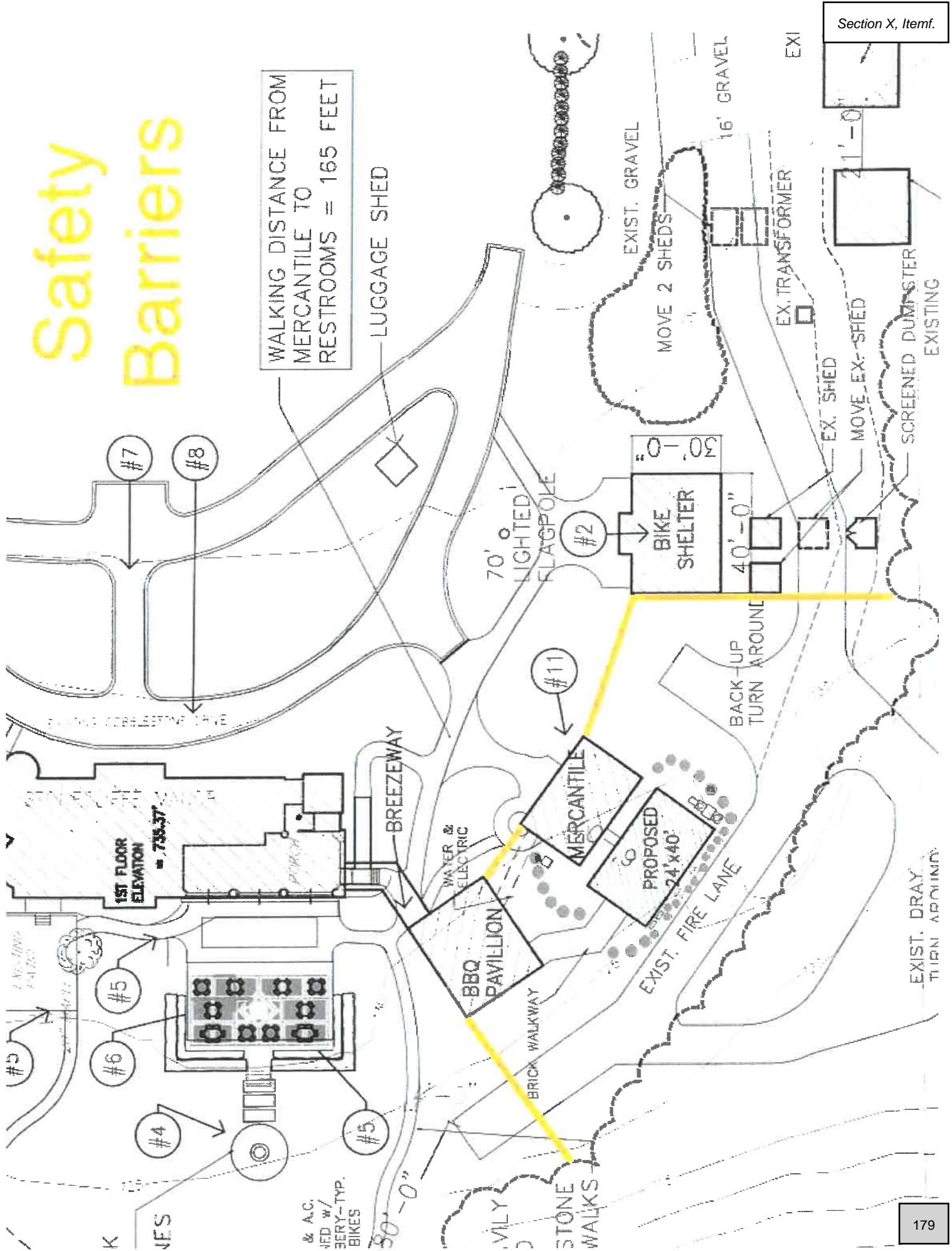
Orlando, FL 32819

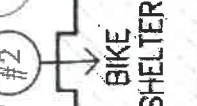
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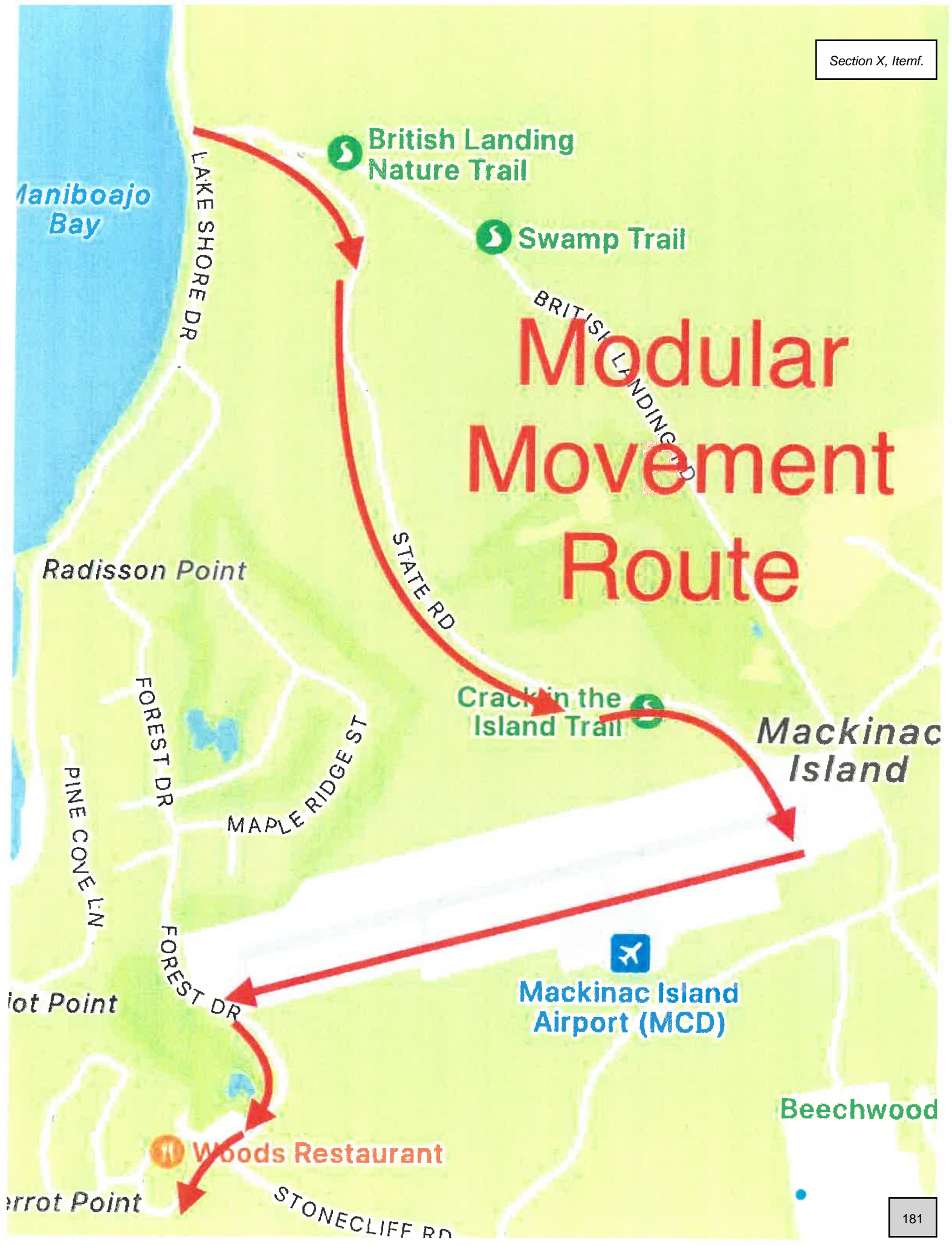
674.97

319"W

Safety Barriers

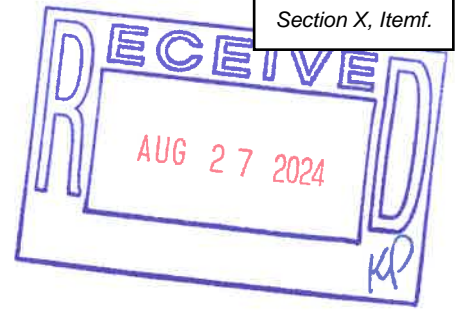






The INN At
STONECLIFFE
MACKINAC ISLAND
• 1904 •

Section X, Itemf.



Stonecliffe Properties – Kitchen Project

Project Description:

The Inn at Stonecliffe proposes to build a 24' x 40' kitchen behind the General Store. This kitchen will connect to the "The Backyard" Pavilion via a brick paver pathway. It will have green siding to match the General Store and will be surrounded by arborvitaes that effectively conceal the building from public view.

Description of effect on adjoining lands:

This project will have no effect on any adjoining properties and is designed to fit discreetly behind the General Store, out of public view.

Description of Operations:

The kitchen will be used for food storage, preparation, & clean-up related to Stonecliffe's various restaurant and banquet operations. This will make food service more efficient across the property and also reduce the "back of house" items currently in public view.

File No. HB24-013-058
Exhibit B
Date 8-27-24
Initials KP



Mercantile
(back/west)



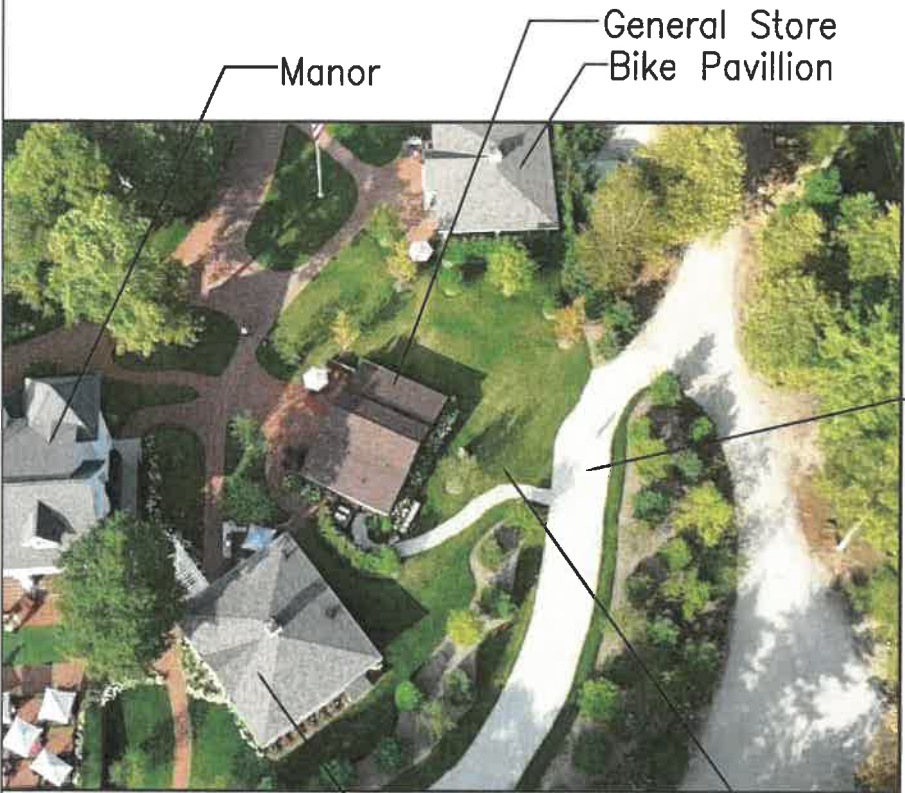
Bike Pavillion

Mercantile



BBQ Pavillion

Proposed Kitchen Location



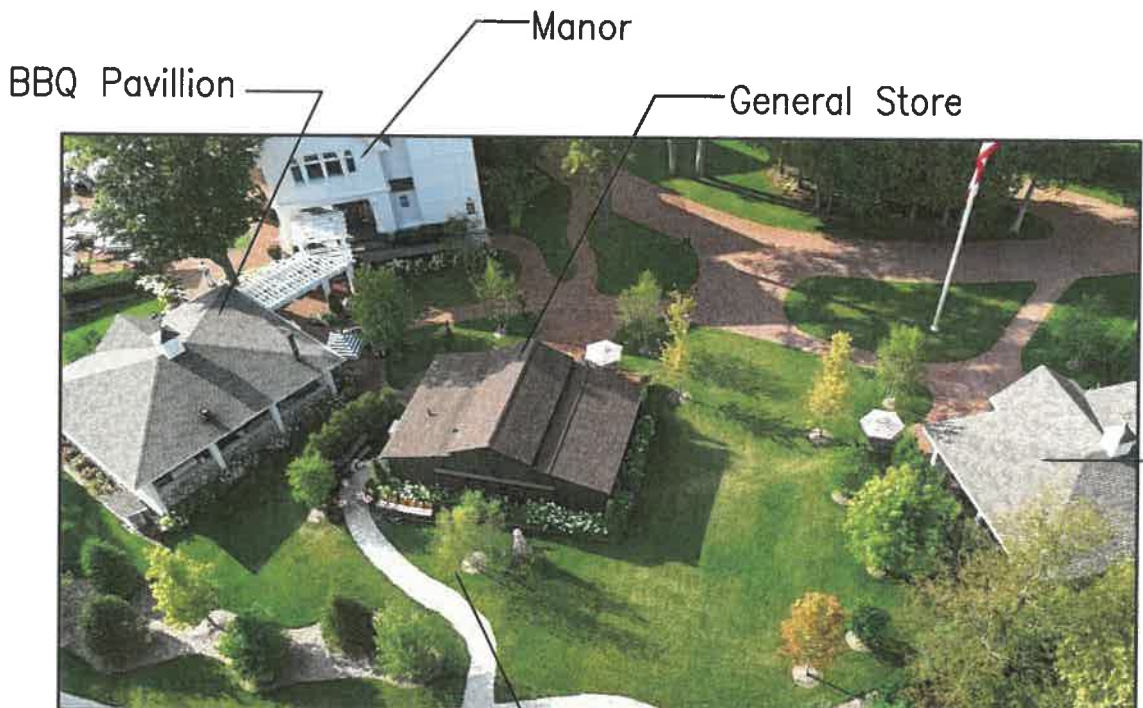
Manor

General Store
Bike Pavillion

Fire Lane

BBQ Pavillion

Proposed Kitchen Location



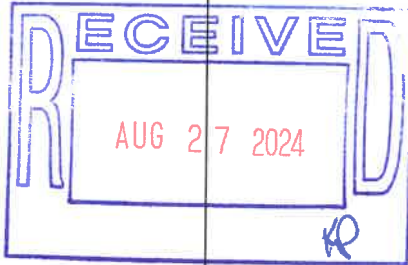
BBQ Pavillion

Manor

General Store

Bike Pavillion

Proposed Kitchen Location

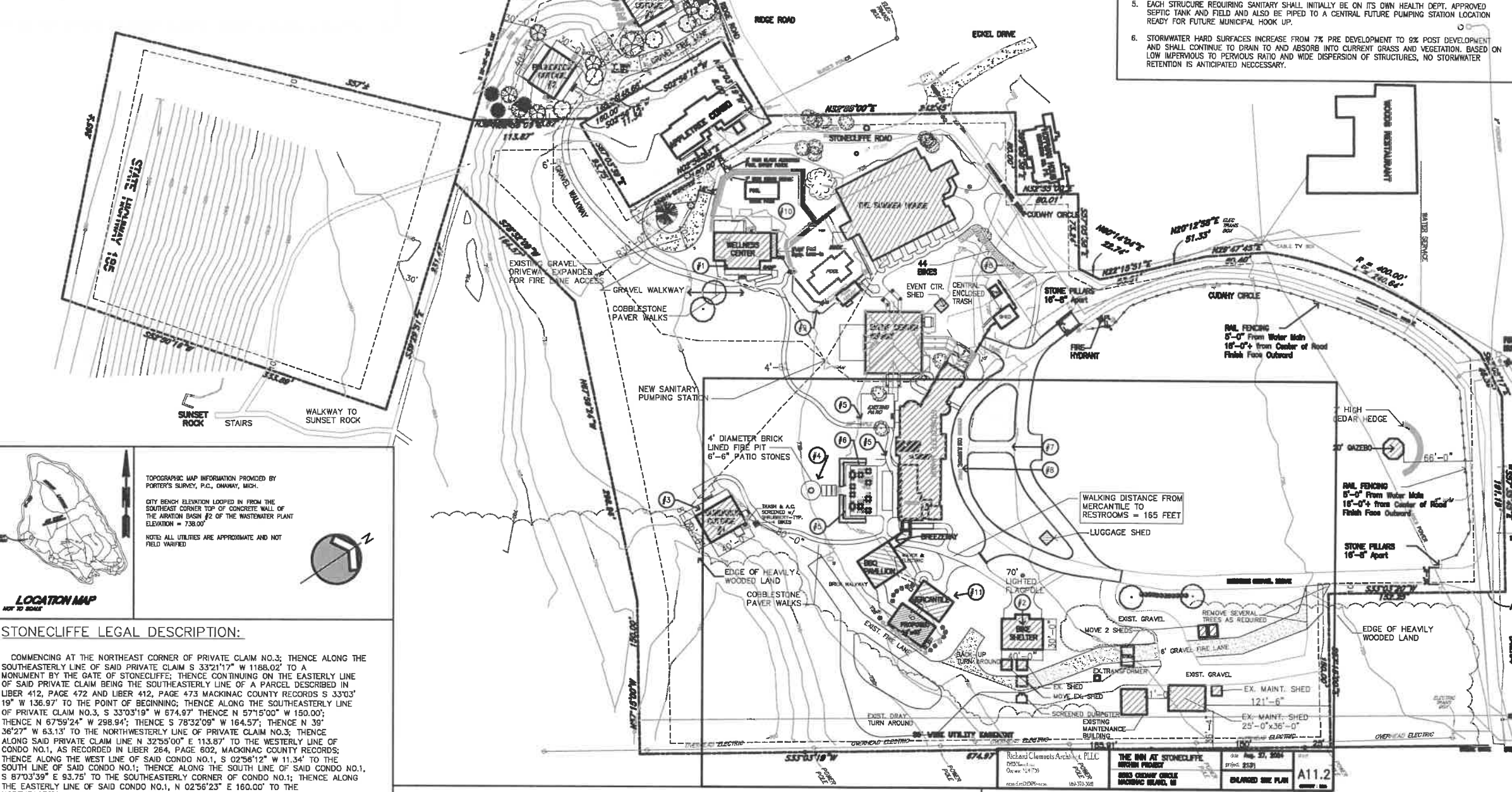


File No. HB24-013-058
Exhibit C
Date 8-27-24
Initials KP

Richard Clements Architect, PLLC 15215 Merry Lane Oscoda, MI 49759 richardclee1525@live.com 989-370-3681	THE INN AT STONECLIFFE KITCHEN PROJECT	date: Aug. 27, 2024 project: 2131	sheet: A11.0
	8593 CUDAHY CIRCLE MACKINAC ISLAND, MI	AREA PHOTOS	COPYRIGHT © 2024

FOUNDATION COTTAGES LOT LEGAL DESCRIPTION:

PRIVATE CLAIM NO.2 COM AT THE NE'LY COR OF PC 2 TH S 32 DEG 51'45"W 4020.8 FT ALG SE'LY LINE OF PC 2 TO THE POB TH N 40 DEG 40'50"W 130.0 FT TH N 14 DEG 18'18"E 257.95 FT M/L TO S'LY LINE OF STONECLIFFE CONDO VI TH E'LY AND N'LY ALG CONDO BOUNDARY TO THE N LINE OF AN EASEMENT (282/163) TH E'LY ALG N LINE OF SAID EASEMENT TO THE E'LY LINE OF PC 2 WITH SAID POINT BEING S 32 DEG 51'45"W 3523.82 FT FROM THE NE'LY COR OF PC 2 TH S 32 DEG 51' 45"W 200.0 FT M/L ALG SE'LY LINE OF PC 2 TO THE N LINE OF A PARCEL DESC IN 39 TH N 87 DEG 32'W 85.75 FT TH S 02 DEG 28'W TO SE'LY LINE OF PC 2 TH S 32 DEG 51'45"W ALG SE'LY LINE TO THE POB. PART OF PC 2.



SITE NOTES:

1. BICYCLE PARKING RACKS ARE PROVIDED AT THE COTTAGE AND AT THE SUMMERHOUSE AND AT THE BICYCLE PAVILION FOR THE MANSION. 1 BIKE SPACE PER BEDROOM.
2. SHRUBBERY SCREENED TRASH ADJACENT TO EACH COTTAGE. ALL TRASH FROM EACH STRUCTURE THEN GOES TO A CENTRAL TRASH COLLECTION POINT INTO A SHED WITHIN THE GATED UTILITY AREA.
3. LIGHTING - SEE INDIVIDUAL STRUCTURES FOR BUILDING LIGHTING, NO PATHWAY LIGHTING PROPOSED.
4. A.C. CONDENSERS - SEE INDIVIDUAL STRUCTURES FOR BUILDING COMPRESSORS DISGUISED W/ SHRUBBERY.
5. EACH STRUCTURE REQUIRING SANITARY SHALL INITIALLY BE ON ITS OWN HEALTH DEPT. APPROVED SEPTIC TANK AND FIELD AND ALSO BE PIPED TO A CENTRAL FUTURE PUMPING STATION LOCATION READY FOR FUTURE MUNICIPAL HOOK UP.
6. STORMWATER HARD SURFACES INCREASE FROM 7% PRE DEVELOPMENT TO 8% POST DEVELOPMENT AND SHALL CONTINUE TO DRAIN TO AND ABSORB INTO CURRENT GRASS AND VEGETATION. BASED ON LOW IMPERVIOUS TO PERVIOUS RATIO AND WIDE DISPERSION OF STRUCTURES, NO STORMWATER RETENTION IS ANTICIPATED NECESSARY.

LEGEND:

KEY: = (P) →

1. ADDITION OF A WELLNESS CENTER BUILDING WHICH INCLUDES AN EXERCISE ROOM WITH HIS & HER'S LOCKERS AND BATHROOMS.
2. ADDITION OF A BICYCLE SHELTER.
3. ADDITION OF A FOUNDATION COTTAGE #1.
4. ADDITION OF A PATIO WITH 4'X4' FIRE PIT AREA.
5. CHANGE OUT REAR PAVES WALKWAYS & PATIOS WITH NEW COBBLESTONE PAVERS.
6. ADD A SMALL WATER FEATURE FOUNTAIN TO THE EXISTING PATIO AREA OFF OF THE REAR COVERED LANAI.
7. ADDITION OF A SECONDARY COBBLESTONE PAVES ARRIVAL LOOP FOR HORSE AND CARRIAGE .
8. REPLACE THE OLD PAVES DRIVE & WALKWAYS TO SUMMERHOUSE WITH NEW COBBLESTONE PAVERS.
9. CUT BACK EXISTING POOL PATIO BY 12'. MOVE BACK PATIO DECK FENCE 12' WITH NEW ALUMINUM 4' HIGH BRONZE COLOR POOL FENCE.
10. OUTDOOR POOL AT WELLNESS CENTER & MISC. LANDSCAPE FEATURES.
11. PROPOSED MERCANTILE BUILDING w/ ADDITION.

STONECLIFFE LEGAL DESCRIPTION:

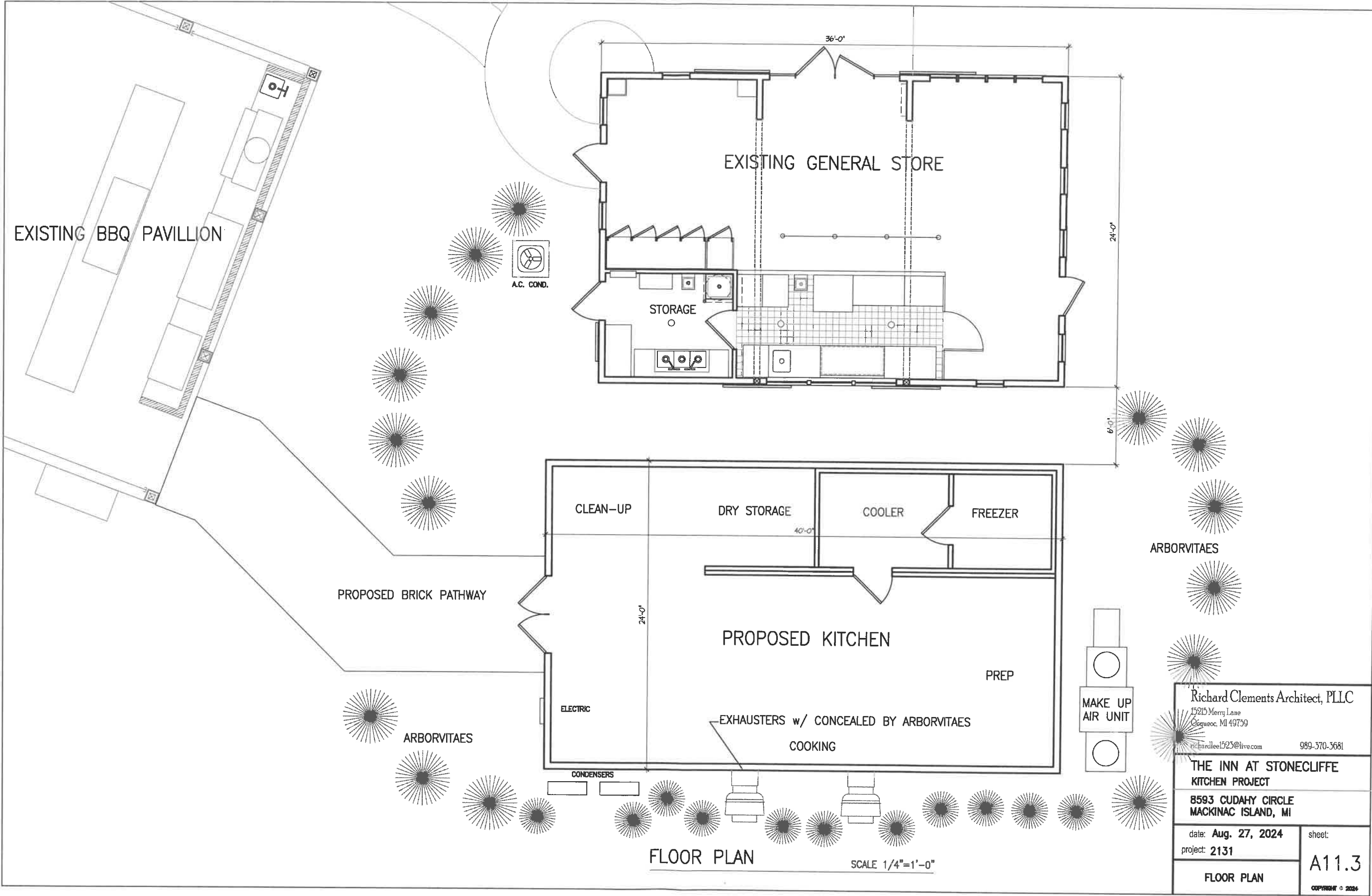
COMMENCING AT THE NORTHEAST CORNER OF PRIVATE CLAIM NO.3; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID PRIVATE CLAIM S 33°21'17" W 1188.02' TO A MONUMENT BY THE GATE OF STONECLIFFE; THENCE CONTINUING ON THE EASTERLY LINE OF SAID PRIVATE CLAIM BEING THE SOUTHEASTERLY LINE OF A PARCEL DESCRIBED IN LIBER 412, PAGE 472 AND LIBER 412, PAGE 473 MACKINAC COUNTY RECORDS S 33°03' 19" W 136.97' TO THE POINT OF BEGINNING; THENCE ALONG THE SOUTHEASTERLY LINE OF PRIVATE CLAIM NO.3, S 33°03'19" W 674.97' THENCE N 57°15'00" W 150.00'; THENCE N 67°59'24" W 298.94'; THENCE S 78°32'09" W 164.57'; THENCE N 39° 36'27" W 63.13' TO THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO.3; THENCE ALONG SAID PRIVATE CLAIM LINE N 32°55'00" E 113.87' TO THE WESTERLY LINE OF CONDO NO.1, AS RECORDED IN LIBER 264, PAGE 602, MACKINAC COUNTY RECORDS; THENCE ALONG THE WEST LINE OF SAID CONDO NO.1, S 02°56'12" W 11.34' TO THE SOUTH LINE OF SAID CONDO NO.1; THENCE ALONG THE SOUTH LINE OF SAID CONDO NO.1, S 87°03'39" E 93.75' TO THE SOUTHEASTERLY CORNER OF CONDO NO.1; THENCE ALONG THE EASTERLY LINE OF SAID CONDO NO.1, N 02°56'23" E 160.00' TO THE NORTHEASTERLY CORNER OF SAID CONDO NO.1; THENCE ALONG THE NORTH LINE OF SAID CONDO. NO.1, N 87°03'19" W 8.00' TO THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO.3; THENCE ALONG THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO.3, N 32°55' 00" E 242.45' TO THE SOUTHWESTERLY LINE OF A PARCEL DESCRIBED IN LIBER 260, PAGE 204 AND LIBER 260, PAGE 229, MACKINAC COUNTY RECORDS; THENCE ALONG SAID SOUTHWESTERLY LINE S 57°05'35" E 80.00' TO THE SOUTHEASTERLY CORNER OF SAID PARCEL; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID PARCEL N 32°55'00" E 60.01' TO THE NORTHEAST CORNER OF SAID PARCEL; THENCE S 57°05'35" E 73.24'; THENCE N 60°14'04" E 22.74'; THENCE N 22°15'51" E 53.51'; THENCE N 20°12'58" E 51.33'; THENCE N 29°47'45" E 60.40'; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 400.00', A DELTA OF 33°26'55", AN ARC LENGTH OF 233.52' AND A CHORD WHICH BEARS N 59°02'27" E 230.21'; THENCE S 83°08' 17" E 46.39' TO THE NORTHERLY LINE OF A 20' WIDE PRIVATE EASEMENT RECORDED LIBER 454, PAGES 368-369, MACKINAC COUNTY RECORDS; THENCE S 57°35'45" E 191.19' ALONG THE NORTH LINE OF SAID EASEMENT; THENCE S 33°03'20" W 20.00' TO THE NORTH- WESTERLY CORNER OF A PARCEL DESCRIBED IN LIBER 412, PAGE 472, AND LIBER 412, PAGE 473, MACKINAC COUNTY RECORDS; THENCE ALONG THE NORTHWESTERLY LINE OF SAID PARCEL S 33°03'19" W 152.25' TO THE SOUTHWESTERLY CORNER OF SAID DESCRIBED PARCEL; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL S 57°15'00" E 150.00' TO THE POINT OF BEGINNING, CONTAINING 10.32 ACRES, BEING SUBJECT TO ALL EASEMENTS OF RECORD, IF ANY, ALL BEING A PART OF PRIVATE CLAIM NO.3, T40N, R3W, CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN.

STONECLIFFE SITE PLAN NOTES:

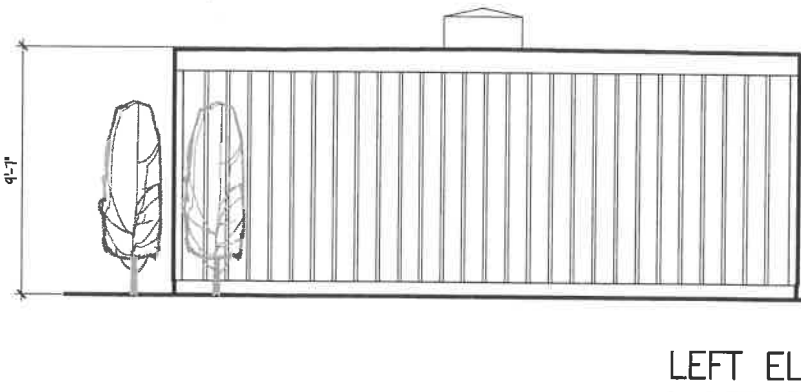
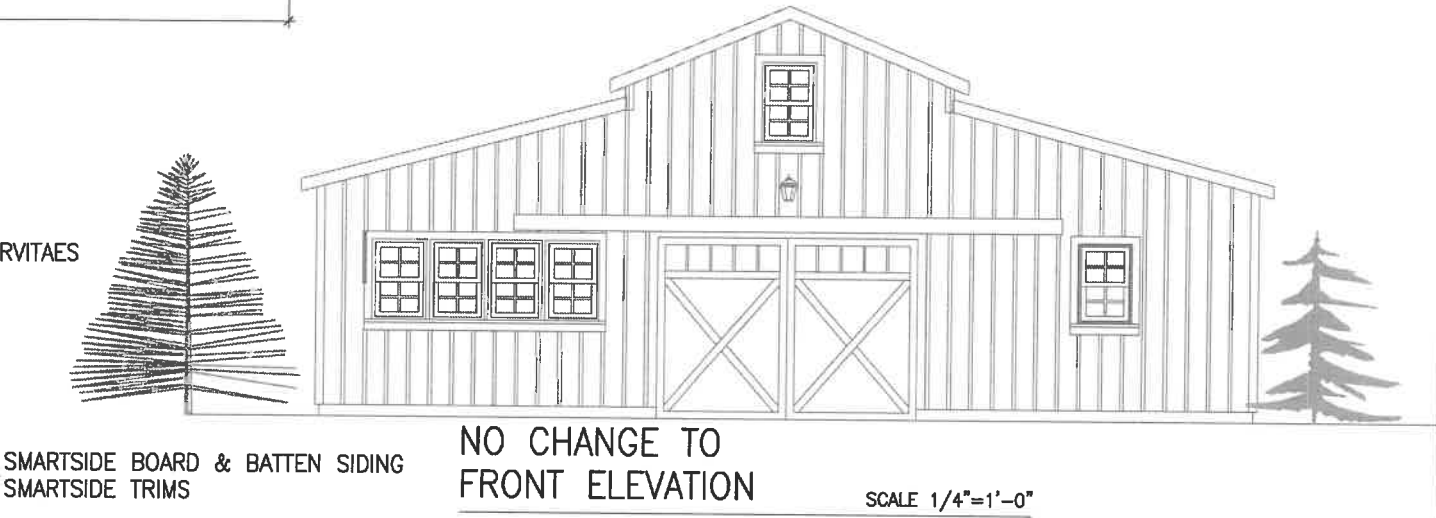
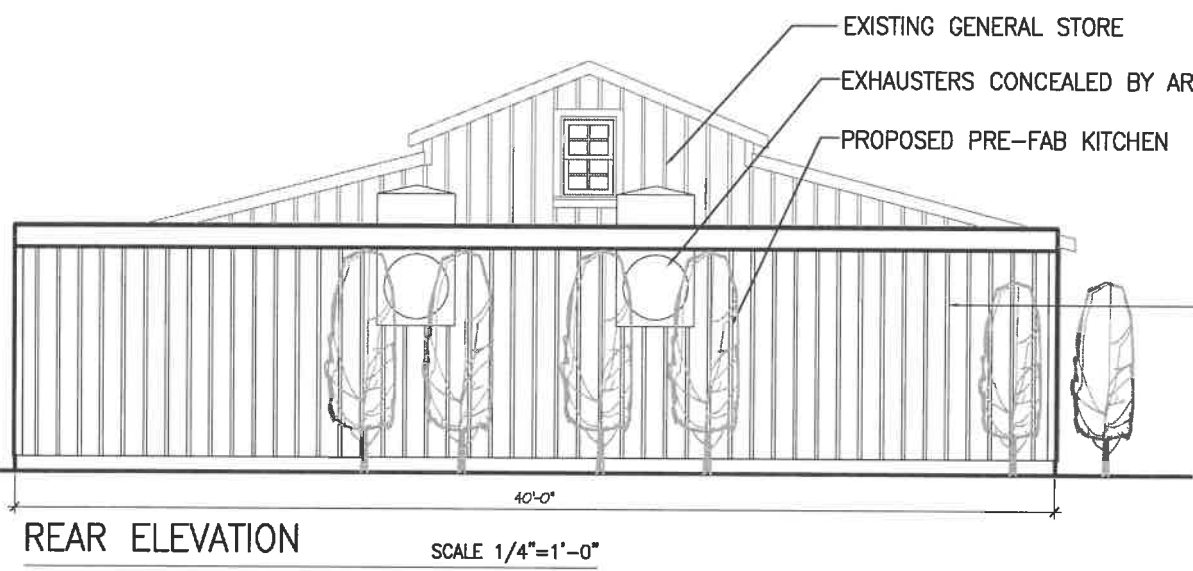
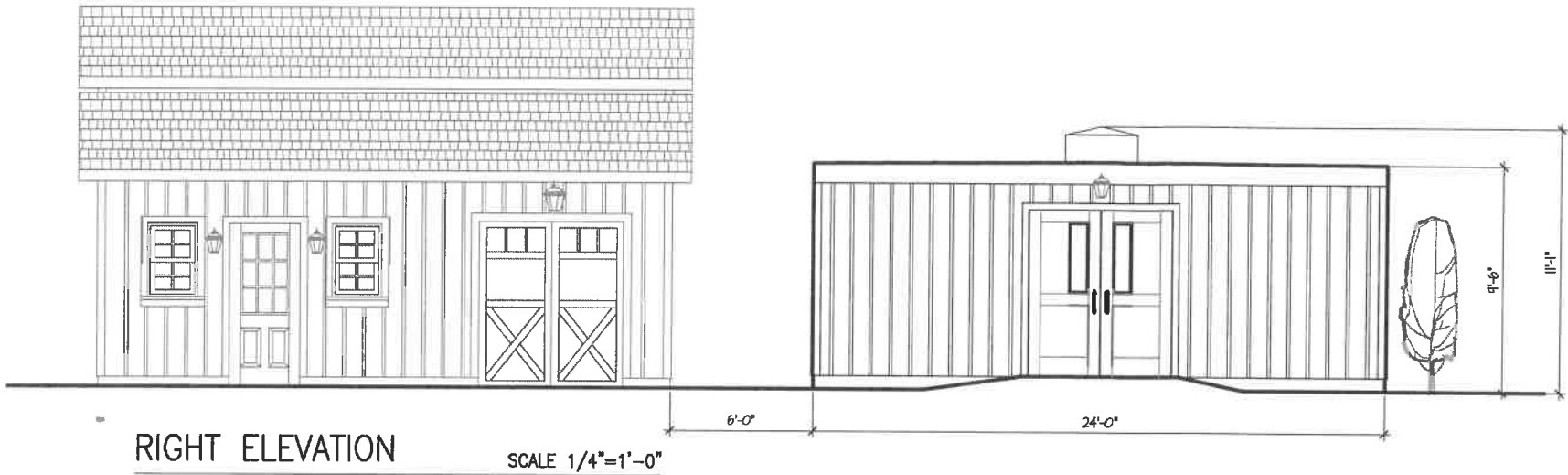
1. PROPERTY ZONED HB HOTEL BOARDINGHOUSE.
2. MINIMUM LOT SIZE REQUIREMENTS; AREA SHALL NOT BE LESS THAN 7500 SQ. FT. W/ A MIN. WIDTH OF 60' AT THE BUILDING LINE.
3. ACTUAL NEWLY COMBINED LOT SIZE = 10.32 AC (449,539 S.F.).
4. MINIMUM SETBACK REQUIREMENTS: FRONT = 30 FEET, SIDE = 10 FEET, REAR = 30 FEET.
5. NO BUILDING SHALL EXCEED 40 FEET OR 3 1/2 STORIES IN HEIGHT.
6. MAXIMUM LOT COVERAGE IS 40%.
7. ACTUAL LOT COVERAGE OF NEWLY COMBINED PARCELS IS 15.4% = 69,042 S.F. = ALL BUILDINGS, PATIOS, COBBLES, PATHS, WALKS, DRIVES. (AN INCREASE OF 1,390 S.F. FOR THIS PROJECT, WHICH INCLUDES BUILDING + BRICK PAVERS)
8. HOTEL UNITS:
 - 6.1. THE MANSION - 16 EXISTING HOTEL ROOMS
 - 6.2. THE SUMMERHOUSE - 31 EXISTING HOTEL ROOMS
 - 6.3. THE FOUNDATION COTTAGE - SINGLE FAMILY UNIT OR 1 HOTEL GUEST ROOM
 - 6.4. 15+31+1 = 48 TOTAL GUESTROOMS INCLUDING THE COTTAGE.
9. ALLOWABLE AND ACTUAL DENSITIES:
 - HOTELS: ALLOWABLE = 60 BEDROOMS PER ACRE = 60 x 8.64 ACRES = 518 ALLOWED.
 - HOTEL USE = 47-50 ACTUAL = 10% OF SITE UTILIZED AS HOTEL USE. THUS 90% OF SITE AVAILABLE FOR RESIDENTIAL USE.
 - DWELLING UNITS ALLOWED = 20 DWELLING UNITS PER ACRE x (8.64 ACRES x90%) = 155 ALLOWED, 1 PROPOSED.
10. AT LEAST 1 BICYCLE SPACE PER BEDROOM IS PROVIDED.

SITE PLAN

Richard Clements Architect, PLLC 7920 Vernal Lane Oshtemo, MI 49759 richardc@192358@live.com 989-370-3681	THE INN AT STONECLIFFE KITCHEN PROJECT 8593 CUDAHY CIRCLE MACKINAC ISLAND, MI	date: Aug. 27, 2024 project: 2131 SHEET: 11 OF 11 SITE PLAN	sheet: A11.1 DATE: 8/28/24



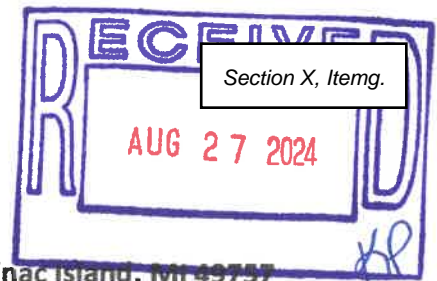
Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1525@live.com 989-370-3681	
THE INN AT STONECLIFFE KITCHEN PROJECT 8593 CUDAHY CIRCLE MACKINAC ISLAND, MI	
date: Aug. 27, 2024 project: 2131	sheet: A11.3 COPYRIGHT © 2024



- SMARTSIDE BOARD & BATTEN SIDING
- SMARTSIDE TRIMS
- GREEN SIDING
- BROWN TRIM
- BROWN WOOD/CLAD WINDOWS W/ 60% GLASS TRANSMITTANCE
- BROWN PAINTED DOORS
- GREY PAINTED PARGED RIGID INSULATION WHERE EXPOSED
- 2-15W LED SHIELDED COACH LITES

Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1523@live.com 989-370-3681	THE INN AT STONECLIFFE KITCHEN PROJECT 8593 CUDAHY CIRCLE MACKINAC ISLAND, MI	date: Aug. 27, 2024 project: 2131	sheet: A11.4
		ELEVATIONS	COPYRIGHT © 2024

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**



www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Kevin Doyle
Stonecliff Properties LLC
434-841-1295 KEVIN@PULTEFAMILYFOUNDATION.ORG
Phone Number Email Address

Please complete both sides of application.
The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Stonecliff Properties LLC
220 S Dixie Highway
Boca Raton, FL 33432

Is The Proposed Project Part of a Condominium Association? Yes
Is The Proposed Project Within a Historic Preservation District? No
Applicant's Interest in the Project (If not the Fee-Simple Owner): Owner
Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? Yes
Is a Variance Required? No
Are REU's Required? How Many? No /

Type of Action Requested:

☐ Standard Zoning Permit ☐ Appeal of Planning Commission Decision
☐ Special Land Use ☐ Ordinance Amendment/Rezoning
☐ Planned Unit Development ☐ Ordinance Interpretation
☒ Other Lot Combination

Property Information:

A. Property Number (From Tax Statement): OSI-763-013-00 AND OSI-762-001-00
B. Legal Description of Property: SEE ATTACHMENTS
C. Address of Property: 8593 Cuddeback Circle File No. HB24-013/001-059
D. Zoning District: H3 Exhibit A
E. Site Plan Checklist Completed & Attached: N/A
F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) N/A Date 8.27.24
G. Sketch Plan Attached: N/A Initials JP
H. Architectural Plan Attached: N/A
I. Association Documents Attached (Approval of project, etc.): N/A
J. FAA Approval Documents Attached: N/A
K. Photographs of Existing and Adjacent Structures Attached: N/A

Proposed Construction/Use:

A. Proposed Construction:
☐ New Building N/A ☐ Alteration/Addition to Existing Building
☐ Other, Specify

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

General Store for Stonecliff

Proposed Use: General Store + Kitchen for Stonecliff

C. If Vacant:

Previous Use: _____

Proposed Use: _____

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. **If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.**

12th
Signature

SIGNATURES
Signature

Kern Doyle, StoneLife Properties LLC
Please Print Name

Please Print Name

Signed and sworn to before me on the 27 day of August, 2024.



Kathryn Pereny
Notary Public

County, Michigan
My commission expires: _____

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2023

OFFICE USE ONLY

FILE NUMBER: 1824-013/001-059

FEE: 400-

DATE: 8.27.24

CHECK NO: Cash

INITIALS: KP

Revised October 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City’s website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review
Informational Requirements (Section 20.03)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

dwelling schedule showing the unit type and number of each such units

- | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-------------------------------------|
| 22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Utility Information

Provided

Not Provided
or Applicable

- | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------|
| 26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

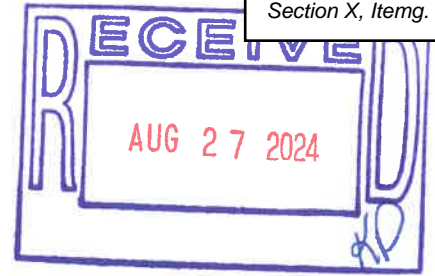
**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Architectural Review

Informational Requirements (Section 18.05)

Item	Provided	Not Provided or Applicable
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

File No. HB24-013/001-059Exhibit BDate 8.27.24Initials KP

Mackinac County Equalization Combination Application

Reference Number _____

TAXING JURISDICTION**PARCEL IDENTIFICATION NUMBER (LIST ALL TO BE COMBINED)**

City of Mackinac Island

Tax parcel 051-762-001-00
Being legally known as:
Unit 1 of Stonecliffe Site Properties Condominium

Tax parcels 051-763-001-00; 051-763-002-00; 051-763-003-00; 051-763-004-00; 051-763-005-00; 051-763-006-00; 051-763-007-00; 051-763-008-00; 051-763-009-00; 051-763-010-00; 051-763-011-00; 051-763-012-00; 051-763-013-00

Being legally known as Units 1 – 13 of The Lodge at Stonecliffe Condominium

Also known as Unit 3 of Stonecliffe Site Properties Condominium (said Unit 3 is in the process of being terminated and consolidated into the above Unit 1 of Stonecliffe Site Properties Condominium).

In order to combine properties, you must first ensure:

- Parcels are of the same property class.
- All parcels are under the same ownership.
- Parcels are contiguous and are located in the same Township, Section and Range.
- Property taxes are current.

You must fill form out completely and provide owner signature(s) or application will be returned to you.

APPLICANT: Name: Stonecliffe Properties, L.L.C., a Michigan limited liability company

Address: 201 W. Big Beaver Road, Suite 500

City, State, Zip Troy, Michigan 48084

Contact phone No. 434-841-1295 (Kevin P. Doyle)

Application will be returned to the above address after processing unless an alternate address is provided.

Address of Parcels to be Combined:

8593 Cudahy Circle, Mackinac Island, MI 49757

Property Owner's Signature(s)  Date February 5, 2024

Kevin P. Doyle, Authorized Agent

Mackinac County Equalization

1
4881-2437-6986_2

**PETITION FOR LOT RECOMBINATION
OF UNIT 1, STONECLIFFE SITE PROPERTIES CONDOMINIUM
AND UNIT 3, STONECLIFFE SITE PROPERTIES CONDOMINIUM**

The undersigned Applicants petition the City Council of the City of Mackinac Island to recombine certain platted lots, pursuant to MCL 560.259 and MCL 560.263, which lots are solely owned by Stonecliffe Properties, L.L.C., a Michigan limited liability company, 201 W. Big Beaver Road, Suite 500, Troy, Michigan 48084 (the "Property Owner").

A. The units owned by the Property Owner are referred to as the "Existing Units" and legally described and depicted on the Certified Survey attached hereto as Exhibit "A" (collectively, the "Units") and as follows:

Tax parcel 051-762-001-00
Being legally known as:
Unit 1 of Stonecliffe Site Properties Condominium

Tax parcels: 051-763-001-00; 051-763-002-00; 051-763-003-00; 051-763-004-00; 051-763-005-00; 051-763-006-00; 051-763-007-00; 051-763-008-00; 051-763-009-00; 051-763-010-00; 051-763-011-00; 051-763-012-00; 051-763-013-00

Being legally known as Units 1 – 13 of The Lodge at Stonecliffe Condominium
Also known as Unit 3 of Stonecliffe Site Properties Condominium (said Unit 3 is in the process of being terminated and consolidated into the above Unit 1 of Stonecliffe Site Properties Condominium)

B. The Units after the completion of the recombination are referred to as the "Revised Units" and are legally described as follows:

Land in the City of Mackinac Island, Mackinac County, Michigan, described as follows:

Unit 1 STONECLIFFE SITE PROPERTIES, a Site Condominium, a Mackinac County Condominium Subdivision Plan No. 39, according to the Master Deed thereof as recorded in Liber 509, Pages 521 through 559, Mackinac County Records, and by First Amendment to Master Deed recorded in Liber 578, pages 539 through 546, and by Second Amendment to Master Deed recorded in Liber 607, pages 405 through 424, together with rights in general common elements and limited common elements as set forth in the above described Master Deed and as described in Act 59 of Public Acts of 1978, as amended.

Commonly known as: 8593 Cudahy Circle, Mackinac Island, Michigan 49757

C. The Units are in the following zone under the City Zoning Ordinance:

Unit 1: HB Hotel / Boardinghouse

Unit 3: HB Hotel / Boardinghouse

D. What is the purpose of the request to recombine the Units?

To eliminate Unit 3 from the Stonecliffe Site Properties Condominium and consolidate Units 1 and 3 to create a modified Unit 1 of Stonecliffe Site Properties Condominium.

E. The undersigned represent that the Lots are not encumbered by a mortgage.

Dated this 5 day of February, 2024

Applicant:

Stonecliffe Properties, L.L.C., a Michigan limited liability company

By: 
Kevin P. Doyle
Its: Authorized Agent



Rebecca Lawrukovich
Rebecca Lawrukovich
02/05/2024

EXHIBIT "A"
CERTIFIED SURVEY

Attached to this Petition for Lot Recombination dated February 5, 2024 are the following surveys:

Exhibit A, Part 1: Boundary Survey by Northland Surveying & Mapping LLC dated March 20, 2023, with red font text identifying Unit 3 of Stonecliffe Site Properties Condominium, which is being consolidated into Unit 1 of Stonecliffe Site Condominium.

Unit 3 is comprised of 13 separate tax parcel numbers, all of which are to be merged into a single tax parcel number for a new, consolidated Unit 1 of Stonecliffe Site Properties Condominium.

This survey also depicts Unit 1.

Exhibit A, Part 2: Replat No. 3 of Mackinac County Subdivision Plan Number 39, Exhibit "B" to the Master Deed of Stonecliffe Site Properties Condominium by Northland Surveying & Mapping LLC dated January 29, 2024.

This depicts the resulting Unit 1, after Unit 3 is consolidated into Unit 1.

Both attachments are being submitted in a format that is 11" by 17". Upon request, we can provide a full-size larger format.

From:
Steven R. Cole
Bodman PLC
2301 West Big Beaver Road
Suite 500
Troy, MI 48084
SCole@BodmanLaw.com
(248) 470-2172 cell

EXHIBIT B TO PETITION FOR LOT RECOMBINATION

MARY JO SAVARD
MACKINAC COUNTY REGISTER OF DEEDS
RECORDED
02/09/2024 3:29:22 PM
Receipt # 1-34 Liber: 966 Pages: 172 - 177 # Pages: 6
\$30.00 MISCELLANEOUS INSTR



Liber 966 Page 172
1 of 6

RECEIVED FEB 09 2024
3:15pm mp

TERMINATION OF CONDOMINIUM THE LODGE AT STONECLIFFE

This Termination of Condominium ("**Termination**") is made and executed this 5 day of February, 2024 ("**Effective Date**"), by Stonecliffe Properties, L.L.C., a Michigan limited liability company ("**Developer**"), whose address is 201 W. Big Beaver Road, Suite 500, Troy, Michigan 48084, pursuant to the provisions of the Michigan Condominium Act, Act 59 of the Public Acts of 1978, as amended (the "**Act**").

RECITALS:

WHEREAS, Developer established The Lodge at Stonecliffe, Mackinac County Condominium Subdivision Plan No. 45 (the "**Condominium**"), by the Master Deed, Bylaws and Condominium Subdivision Plan recorded on July 22, 2005 in Liber 607, Page 425, Mackinac County Records (the "**Master Deed**").

WHEREAS, the real property subject to the Master Deed is located in the City of Mackinac Island, Mackinac County, Michigan and is more particularly described on **Exhibit A** attached hereto ("**Property**").

WHEREAS, no improvements were constructed on the Property, and the Property was not developed for the Condominium; and Developer is the sole owner of all units in the Condominium and the Property.

WHEREAS, the Act permits the unilateral termination of the Condominium by the Developer pursuant to Sections 50 and 51.

WHEREAS, there are no mortgagees or any other persons or entities which need to approve this termination or otherwise be notified and allowed to vote on this termination as set forth in or required by the Master Deed or the Act;

WHEREAS, Developer now desires to terminate the Condominium in all respects.

NOW, THEREFORE, for good and valuable consideration, the sufficiency and adequacy of which are hereby acknowledged and accepted, and with the intent to be legally bound hereby, Developer, as owner of the Property and developer of the Condominium, hereby terminates the Master Deed and the Condominium. The Master Deed and Condominium are terminated and are of no further force and effect as of the Effective Date.

Termination of Condominium Project: The Lodge at Stonecliffe Condominium

Stonecliffe Properties (Neil Holschue)



Liber 966

Page 173
2 of 6**DEVELOPER:**Dated: February 6, 2024**STONECLIFFE PROPERTIES, L.L.C.,**
A Michigan limited liability company

By: Kevin P. Doyle
Its: Authorized AgentSTATE OF MICHIGAN)
COUNTY OF WAYNE)

The foregoing Termination was acknowledged before me this 5 day of February, 2024, by Kevin P. Doyle, Authorized Agent for Stonecliffe Properties, L.L.C., a Michigan limited liability company, on behalf of such company.

Rebecca Lawrukovich, Notary Public
Wayne County, Michigan
Acting in Wayne County, Michigan
My Commission Expires: May 05, 2027

**PREPARED BY AND WHEN
RECORDED RETURN TO:**
Alexandra E. Dieck
Bodman PLC
201 S. Division, Suite 400
Ann Arbor, Michigan 48103



Termination of Condominium Project: The Lodge at Stonecliffe Condominium



Liber 966

Page 174
3 of 6

EXHIBIT A
Legal Description of Property

Land in the City of Mackinac Island, Mackinac County, MI, described as follows:

UNITS 1 THROUGH 13, INCLUSIVE, THE LODGE AT STONECLIFFE, A SITE CONDOMINIUM, ACCORDING TO THE MASTER DEED THEREOF, DATED JUNE 20, 2005 AND RECORDED JULY 22, 2005 IN LIBER 607, PAGE 425 THROUGH 460 MACKINAC COUNTY RECORDS; MACKINAC COUNTY SUBDIVISION PLAN NUMBER 45, AND ANY AMENDMENTS THERETO, MACKINAC COUNTY RECORDS WITH RIGHTS IN GENERAL COMMON ELEMENTS AND LIMITED COMMON ELEMENTS AS SET FORTH IN SAID MASTER DEED AND PURSUANT TO ACT 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED.

ALSO DESCRIBED AS:

UNIT 3, STONECLIFFE SITE PROPERTIES, A SITE CONDOMINIUM ACCORDING TO THE MASTER DEED RECORDED APRIL 4, 2002 IN LIBER 509, PAGES 521 THROUGH 559, MACKINAC COUNTY RECORDS, MACKINAC COUNTY SUBDIVISION PLAN NUMBER 39, AS AMENDED BY THE FIRST AMENDMENT TO THE MASTER DEED FOR STONECLIFFE SITE PROPERTIES RECORDED ON JUNE 21, 2004, IN LIBER 578, PAGE 539, AND AS AMENDED BY SECOND AMENDMENT TO MASTER DEED RECORDED ON JULY 22, 2005 IN LIBER 607, PAGE 405, MACKINAC COUNTY RECORDS WITH RIGHTS IN GENERAL COMMON ELEMENTS AND LIMITED COMMON ELEMENTS AS SET FORTH IN SAID MASTER DEED AND PURSUANT TO ACT 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED.

EASEMENT FOR INGRESS, EGRESS, AND UTILITIES:

COMMENCING AT THE NORTHEAST CORNER OF PRIVATE CLAIM NO.3; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID PRIVATE CLAIM S 33° 21' 17" W 1185.14' TO A STONE MONUMENT IN THE GATE OF STONECLIFFE; THENCE CONTINUING ON THE EASTERLY LINE OF SAID PRIVATE CLAIM BEING THE SOUTHEASTERLY LINE OF A PARCEL DESCRIBED IN LIBER 412, PAGE 472 AND LIBER 412, PAGE 473 MACKINAC COUNTY RECORDS S 33° 03' 19" W 136.97'; THENCE ALONG THE SOUTHEASTERLY LINE OF PRIVATE CLAIM NO.3, S 33° 03' 19" W 25.00' TO THE NORTHEASTERLY CORNER OF A PARCEL OF LAND AS RECORDED IN LIBER 437, PAGE 580 AND LIBER 437, PAGE 592, MACKINAC COUNTY RECORDS; THENCE ALONG THE NORTHEASTERLY LINE OF THE ABOVE MENTIONED PARCEL N 57° 15' 00" W 150.00' TO THE NORTHWESTERLY CORNER OF SAID PARCEL; THENCE S 33° 03' 19" W AND PARALLEL WITH THE SOUTHEASTERLY LINE OF PRIVATE CLAIM NO.3, ALONG THE NORTHWESTERLY LINE OF THE ABOVE MENTIONED PARCEL 150.00'; THENCE ALONG THE SOUTHWESTERLY LINE OF THE ABOVE MENTIONED PARCEL S 57° 15' 00" E 150.00' TO THE SOUTHEASTERLY LINE OF PRIVATE CLAIM NO.3; THENCE ALONG THE SOUTHEASTERLY LINE OF PRIVATE CLAIM NO.3 ALSO

Termination of Condominium Project: The Lodge at Stonecliffe Condominium



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BEING THE SOUTHEASTERLY LINE OF A PARCEL OF LAND RECORDED IN LIBER 263, PAGE 384, MACKINAC COUNTY RECORDS. S 33° 03' 19" W 499.98' TO THE SOUTHEASTERLY CORNER OF THE ABOVE MENTIONED PARCEL; THENCE ALONG THE SOUTHWESTERLY LINE OF THE ABOVE MENTIONED PARCEL N 57° 15' 00" W 150.00'; THENCE N 67° 59' 24" W 298.94'; THENCE S 78° 32' 09" W 164.57'; THENCE N 39° 36' 27" W 63.14' TO THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO.3; THENCE ALONG SAID PRIVATE CLAIM LINE N 32° 55' 00" E 113.87' TO THE WESTERLY LINE OF CONDO NO.1, AS RECORDED IN LIBER 264, PAGE 602, MACKINAC COUNTY RECORDS; THENCE ALONG THE WEST LINE OF SAID CONDO NO.1, S 02° 56' 12" W 11.34' TO THE SOUTH LINE OF SAID CONDO NO.1; THENCE ALONG THE SOUTH LINE OF SAID CONDO NO.1, S 87° 03' 39" E 93.75' TO THE SOUTHEASTERLY CORNER OF CONDO NO.1; THENCE ALONG THE EASTERLY LINE OF SAID CONDO NO.1, N 02° 56' 23" E 160.00' TO THE NORTHEASTERLY CORNER OF SAID CONDO NO.1 AND THE POINT OF BEGINNING; THENCE ALONG THE NORTH LINE OF SAID CONDO. NO.1, N 87° 03' 19" W 8.00' TO THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO.3; THENCE ALONG THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO.3, N 32° 55' 00" E 170.60'; THENCE S 84° 35' 50" E 36.08'; THENCE PARALLEL WITH THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO.3, S 32° 55' 00" W 169.94'; THENCE N 85° 05' 28" W 28.40' TO THE POINT OF BEGINNING. BEING SUBJECT TO ALL EASEMENTS OF RECORD, IF ANY. ALL BEING A PART OF PRIVATE CLAIM #3, T40N, R3W, CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN.



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DESCRIPTION: ROADWAY AND UTILITY EASEMENT

COMMENCING AT THE NORTHEAST CORNER OF PRIVATE CLAIM NO.3, THENCE ALONG THE SOUTHEASTERLY EASTERLY LINE OF SAID PRIVATE CLAIM S 33° 21' 17" W 1148.97' TO THE POINT OF BEGINNING OF A VARIABLE WIDTH INGRESS AND EGRESS AND UTILITY EASEMENT; THENCE CONTINUING S 33° 21' 17" W 20.00' TO THE NORTHEAST CORNER OF A PARCEL DESCRIBED IN LIBER 412, PAGE 472, AND LIBER 412, PAGE 473, MACKINAC COUNTY RECORDS; THENCE ALONG THE NORTHEASTERLY LINE OF SAID PARCEL N 57° 35' 45" W 150.09' TO THE NORTHWESTERLY CORNER OF SAID PARCEL; THENCE ALONG THE NORTHWESTERLY LINE OF SAID PARCEL S 33° 03' 19" W 152.25' TO THE SOUTHWESTERLY CORNER OF SAID PARCEL; THENCE CONTINUING S 33° 03' 19" W 25.00' TO THE NORTHWESTERLY CORNER OF A PARCEL DESCRIBED IN LIBER 437, PAGE 580, AND 437, PAGE 592, MACKINAC COUNTY RECORDS; THENCE CONTINUING ON THE NORTHWESTERLY LINE OF SAID PARCEL S 33° 03' 19" W 150.00' TO THE SOUTHWESTERLY CORNER OF SAID PARCEL; THENCE S 45° 03' 15" W 99.66'; THENCE S 63° 04' 15" W 61.04'; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 94.23', A DELTA OF 107° 55' 49", AN ARC LENGTH OF 177.50' AND A CHORD WHICH BEARS N 62° 57' 42" W 152.40'; THENCE N 08° 59' 31" W 37.51'; THENCE N 03° 06' 43" W 94.22'; THENCE S 73° 47' 06" W 60.81'; THENCE S 88° 30' 22" W 82.92'; THENCE N 84° 35' 50" W 54.91'; THENCE N 32° 32' 05" W 35.18'; THENCE S 85° 02' 03" E 36.23'; THENCE S 83° 15' 35" E 53.49'; THENCE N 88° 30' 22" E 63.42'; THENCE N 73° 47' 06" E 31.98'; THENCE N 60° 14' 04" E 22.74'; THENCE N 22° 15' 51" E 53.51'; THENCE N 20° 12' 58" E 51.33'; THENCE N 29° 47' 45" E 60.40' TO THE SOUTHEASTERLY CORNER OF A PARCEL DESCRIBED IN A SURVEY BY JOSEPH B. O'NEILL AT BIDSTRUP & YOUNG, INC. RECORDED LIBER 354, PAGES 623 THROUGH 642, MACKINAC COUNTY RECORDS; THENCE S 47° 40' 45" E 33.00'; THENCE S 37° 49' 32" W 51.65'; THENCE S 20° 12' 58" W 49.68'; THENCE S 04° 35' 26" W 77.74'; THENCE S 03° 06' 43" E 82.67'; THENCE S 08° 59' 31" E 36.22'; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 69.23', A DELTA OF 107° 55' 44", AN ARC LENGTH OF 130.41' AND A CHORD WHICH BEARS S 62° 57' 45" E 111.97'; THENCE N 63° 04' 15" E 56.97'; THENCE N 45° 25' 14" E 90.60'; THENCE N 33° 03' 19" E 306.95'; THENCE N 57° 35' 45" W 176.86'; THENCE N 76° 49' 52" W 8.21'; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 367.00', A DELTA OF 33° 26' 25", AN ARC LENGTH OF 214.20' AND A CHORD WHICH BEARS S 59° 02' 27" W 211.17'; THENCE N 47° 40' 46" W 33.00' TO THE SOUTHEASTERLY CORNER OF A PARCEL DESCRIBED IN A SURVEY BY JOSEPH B. O'NEILL AT BIDSTRUP & YOUNG, INC. RECORDED LIBER 354, PAGES 623 THROUGH 642, MACKINAC COUNTY RECORDS, AND THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 400.00', A DELTA OF 33° 26' 66", AN ARC LENGTH OF 233.52' AND A CHORD WHICH BEARS N 59° 02' 27" E 230.21'; THENCE S 83° 08' 17" E 46.39' TO THE NORTHERLY LINE OF A 20' WIDE PRIVATE EASEMENT AS RECORDED IN LIBER 454, PAGES 366-369, MACKINAC COUNTY RECORDS; THENCE ALONG THE NORTH LINE OF SAID EASEMENT S 57° 35' 45" E 341.39' TO THE POINT OF BEGINNING OF A VARIABLE WIDTH INGRESS AND EGRESS



AND UTILITY EASEMENT. ALL BEING A PART OF PRIVATE CLAIM NO.3, T40N, R3W, CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN.

EASEMENT FOR POOL:

COMMENCING AT THE NORTHEAST CORNER OF PRIVATE CLAIM NO.3; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID PRIVATE CLAIMS $33^{\circ} 21' 17''$ W 1185.14' TO A STONE MONUMENT IN THE GATE OF STONECLIFFE; THENCE CONTINUING ON THE EASTERLY LINE OF SAID PRIVATE CLAIM BEING THE SOUTHEASTERLY LINE OF A PARCEL DESCRIBED IN LIBER 412, PAGE 472 AND LIBER 412, PAGE 473, MACKINAC COUNTY RECORDS $S 33^{\circ} 03' 19''$ W 136.97'; THENCE ALONG THE SOUTHEASTERLY LINE OF PRIVATE CLAIM NO.3, $S 33^{\circ} 03' 19''$ W 25.00' TO THE NORTHEASTERLY CORNER OF A PARCEL. OF LAND AS RECORDED IN LIBER 437, PAGE 580 AND LIBER 437, PAGE 592, MACKINAC COUNTY RECORDS; THENCE ALONG THE NORTHEASTERLY LINE OF THE ABOVE MENTIONED PARCEL $N 57^{\circ} 15' 00''$ W 150.00' TO THE NORTHWESTERLY CORNER OF SAID PARCEL; THENCE $S 33^{\circ} 03' 19''$ W AND PARALLEL WITH THE SOUTHEASTERLY LINE OF PRIVATE CLAIM NO.3, ALONG THE NORTHWESTERLY LINE OF THE ABOVE MENTIONED PARCEL 150.00'; THENCE ALONG THE SOUTHWESTERLY LINE OF THE ALSO BEING THE SOUTHEASTERLY LINE OF A PARCEL OF LAND RECORDED IN LIBER 263, PAGE 384, MACKINAC COUNTY RECORDS, $S 33^{\circ} 03' 19''$ W 499.98' TO THE SOUTHEASTERLY CORNER OF THE ABOVE MENTIONED PARCEL; THENCE ALONG THE SOUTHWESTERLY LINE OF THE ABOVE MENTIONED PARCEL $N 57^{\circ} 15' 00''$ W 150.00'; THENCE $N 67^{\circ} 59' 24''$ W 298.94'; THENCE $S 78^{\circ} 32' 09''$ W 164.57'; THENCE $N 39^{\circ} 36' 27''$ W 63.14' TO THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO. 3; THENCE ALONG SAID PRIVATE CLAIM LINE $N 32^{\circ} 55' 00''$ E 113.87' TO THE WESTERLY LINE OF CONDO NO. 1 AS RECORDED IN LIBER 264, PAGE 602, MACKINAC COUNTY RECORDS; THENCE ALONG THE WEST LINE OF SAID CONDO NO. 1, $S 02^{\circ} 56' 12''$ W 11.34' TO THE SOUTH LINE OF SAID CONDO NO. 1; THENCE ALONG THE SOUTH LINE OF SAID CONDO NO. 1, $S 87^{\circ} 03' 39''$ E 93.75' TO THE SOUTHEASTERLY CORNER OF CONDO NO. 1; THENCE ALONG THE EASTERLY LINE OF SAID CONDO NO. 1, $N 02^{\circ} 56' 23''$ E 160.00' TO THE NORTHEASTERLY CORNER OF SAID CONDO NO. 1; THENCE $S 85^{\circ} 05' 28''$ E 98.57' TO THE POINT OF BEGINNING; THENCE $N 04^{\circ} 14' 13''$ W 3.41'; THENCE $S 88^{\circ} 50' 55''$ E 46.96'; THENCE $S 44^{\circ} 12' 10''$ W 8.32'; THENCE $N 85^{\circ} 05' 28''$ W 41.05'; TO THE POINT OF BEGINNING. BEING SUBJECT TO ALL EASEMENTS OF RECORD, IF ANY. ALL BEING A PART OF PRIVATE CLAIM NO. 3, T40N, R3W, CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN.

Tax Parcel Nos:

051-763-001-00, Unit 1	051-763-005-00, Unit 5	051-763-009-00, Unit 9
051-763-002-00, Unit 2	051-763-006-00, Unit 6	051-763-010-00, Unit 10
051-763-003-00, Unit 3	051-763-007-00, Unit 7	051-763-011-00, Unit 11
051-763-004-00, Unit 4	051-763-008-00, Unit 8	051-763-012-00, Unit 12
		051-763-013-00, Unit 13

