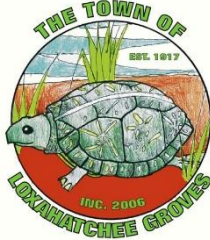


TOWN OF LOXAHATCHEE GROVES
TOWN HALL COUNCIL CHAMBERS
LPA / PLANNING ZONING BOARD COMMITTEE MEETING

AGENDA
JULY 22, 2024 – 6:00 PM



William Ford (Seat 1)
Todd McLendon (Seat 3)

Brett Raflowitz (Seat 2)
Jacquelyn Clifton (Seat 4)

Lisa El-Ramey (Seat 5)

Administration

Town Manager, Francine L. Ramaglia
Town Attorney, Tanya Earley
Town Clerk, Valerie Oakes
Town's Planning Consultant, Jim Fleishmann
Town's Planning Consultant, Kaitlyn Forbes

Civility: Being "civil" is not a restraint on the First Amendment right to speak out, but it is more than just being polite. Civility is stating your opinions and beliefs, without degrading someone else in the process. Civility requires a person to respect other people's opinions and beliefs even if he or she strongly disagrees. It is finding a common ground for dialogue with others. It is being patient, graceful, and having a strong character. That is why we say "Character Counts" in Town of Loxahatchee. Civility is practiced at all Town meetings.

Special Needs: In accordance with the provisions of the American with Disabilities Act (ADA), persons in need of a special accommodation to participate in this proceeding shall within three business days prior to any proceeding, contact the Town Clerk's Office, 155 F Road, Loxahatchee Groves, Florida, (561) 793-2418.

Quasi-Judicial Hearings: Some of the matters on the agenda may be "quasi-judicial" in nature. Town Council Members are required to disclose all ex-parte communications regarding these items and are subject to voir dire (a preliminary examination of a witness or a juror by a judge or council) by any affected party regarding those communications. All witnesses testifying will be "sworn" prior to their testimony. However, the public is permitted to comment, without being sworn. Unsworn comment will be given its appropriate weight by the Town Council.

Appeal of Decision: If a person decides to appeal any decision made by the Town Council with respect to any matter considered at this meeting, he or she will need a record of the proceeding, and for that purpose, may need to ensure that a verbatim record of the proceeding is made, which record includes any testimony and evidence upon which the appeal will be based.

Consent Calendar: Those matters included under the Consent Calendar are typically self-explanatory, non controversial, and are not expected to require review or discussion. All items will be enacted by a single motion. If discussion on an item is desired, any Town Council Member, without a motion, may "pull" or remove the item to be considered separately. If any item is quasi-judicial, it may be removed from the Consent Calendar to be heard separately, by a Town Council Member, or by any member of the public desiring it to be heard, without a motion.

BOARD AGENDA ITEMS

CALL TO ORDER

ROLL CALL

ADDITIONS, DELETIONS AND MODIFICATIONS OF AGENDA

PUBLIC COMMENTS

Public Comments for all meetings may be received by email, or in writing to the Town Clerk's Office until NOON day of the meeting. Comments will be "received and filed" to be acknowledged as part of the official public record of the meeting. The meetings are livestreamed and close-captioned for the general public via our website, instructions are posted there.

REGULAR AGENDA

1. Swearing in of Committee Members
2. Appoint Chair of the Planning and Zoning Board
3. Appoint Vice Chair of the Planning and Zoning Board
4. Presentation on Ethics and the Sunshine Law by Torcivia, Donlon, Goddeau and Associates
5. Minutes for Informational Purposes
 - September 16, 2019 - PZB Minutes
 - July 16, 2020 - PZB Minutes
 - August 20, 2020 - PZB Minutes
 - February 04, 2021 - PZB Minutes
 - April 07, 2021 - PZB Minutes
 - June 17, 2021 - PZB Minutes
 - March 3, 2022 - PZB Minutes
 - August 25, 2022 - PZB Minutes
 - March 23, 2023 - PZB Minutes
6. Comprehensive plan text amendment to: (1) Permit up to 95 lodging units within the subject property (MLU) (2) Eliminate the allocation for a 128-bed congregate living facility (3) Establish an allowance for a public park (4) Establish intensity and density measurement standards for the hotel use, and (5) Exempt the subject site from Policy 1.2.1 of the comprehensive plan which restricts commercial uses to south of East Citrus Drive. *Applicant: Solar Sportsystems, Inc.*
7. Master Plan, PUD amendment to: Establish Pod TC for hotel purposes, establish Pod G for park purposes, and amend existing conditions of approval. *Applicant: Solar Sportsystems, Inc.*

8. Site Plan approval to: establish a four (4) story, 95-room hotel on Pod TC. *Applicant: Solar Sportsystems, Inc and Groves Hospitality LLC.*
9. Site Plan approval to: establish a public park, to be utilized by the Town, on Pod G. *Applicant: Applicant: Solar Sportsystems, Inc. and Loxahatchee Equestrian Partners, LLC*

COMMITTEE MEMBER COMMENTS:

SET NEXT MEETING DATE:

ADJOURNMENT:

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**TOWN OF LOXAHATCHEE GROVES
PLANNING AND ZONING BOARD MEETING
SEPTEMBER 16, 2019**

CALL TO ORDER

The meeting was called to order by Chair Bell at 5:31 p.m. (estimated time).

ROLL CALL

Present: Chairperson Bell, Vice Chair Ford, and Board Member Mr. O'Neal and Town Manager Titcomb, Town Planning Consultant Mr. Fleishman and Town Clerk Ms. Burch.

Absent: N/A

The Town Clerk declared a quorum to be present.

APPROVAL OF MINUTES

There were none.

REGULAR AGENDA

1. Elect Chair and Vice Chair

Ms. Burch confirmed Mr. Bell has assumed the Chair position and Mr. Ford has assumed the Vice Chair position. She noted there are two vacant seats on the Board and one nomination will come before the Town Council on October 3, 2019. If approved by Town Council, there will be a fourth member of the Board.

2. Status of Planning and Zoning Board as Local Planning Agency

Mr. Fleishman provided an update on the status of the Planning and Zoning board as the Local Planning Agency. The Town Council approved the ordinance on first reading. The second reading will take place on October 3, 2019. If approved the Board will be both the Planning and Zoning Board and Local Planning Agency. He summarized the role of the Local Planning Agency.

3. Groves Town Center PUD Amendment: REZ 2019-01

Mr. Fleishman reviewed the Groves Town Center PUD Amendment, including a list of approvals since project inception. Additionally, he clarified the attachments.

The Board moved room locations at 5:40 p.m. (estimated time).

Mr. Matthew Barnes, on behalf of the property owner, introduced himself and additional team members. He noted it is the same exact uses.

Mr. Bradley Miller, Miller Land Planning, introduced himself and displayed the Master Plan and the 2018 approved plan. He reviewed the changes, including the Town Commons equestrian trails, drainage, and wetlands.

The Board discussed the southern buffer, parcels, ingress, egress, site plan, wetlands, and Town Commons.

Chair Bell argued the Briar property easement should not be included in the plan. Discussion ensued.

Mr. Fleishman summarized Chair Bell's concern that Briar property easement does not apply a recommendation of approval from the Board.

Motion duly made by Mr. Ford and duly seconded to approve the Master Site Plan change as presented with the provision that the equestrian trails from 3rd party properties does not denote approval for other uses, The motion passed 3-0.

COMMENTS FROM THE PUBLIC

There were none.

COMMITTEE MEMBER COMMENTS

There were none.

SET NEXT MEETING DATE

To be determined.

ADJOURN PLANNING AND ZONING BOARD MEETING

There being no further business, a Motion to Adjourn was made and seconded.

The meeting was adjourned at 6:17 p.m. (estimated time).

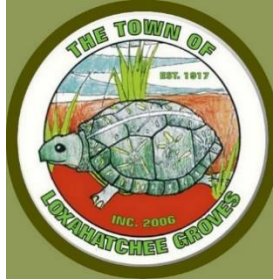
TOWN OF LOXAHATCHEE GROVES, FLORIDA

ATTEST:

Town Clerk

Chairperson

Prepared by:
T. Baclawski Prototype, Inc.



TOWN OF LOXAHATCHEE GROVES
Planning and Zoning Board and Local Planning Agency Minutes
July 16, 2020

****IT IS NOTED THE AUDIO STARTS AT THE BIG DOG RANCH SITE PLAN AMENDMENT****

CALL TO ORDER

OPENING

1. Swearing-In of PZB members
2. Call to Order & Roll Call
3. Election of Officers (Chairman and Vice-Chairman)
4. Approval of Agenda
5. Public Comments*

REGULAR AGENDA

1. Big Dog Ranch Site Plan Amendment

Staff presented the site plan amendment to the Board and stated that the Big Dog Ranch proposal includes the elimination of the caretaker house and while the amendment includes the increase or decrease of the square footages of the 5 buildings it does not change the overall approved square footage or floor area ratio for the entire site. The changes involve moving things around the site but staying in the parameters of the approved plan. Staff recommendation was read into the record. A representative from the Big Dog Ranch gave an overview of the proposed changes. After a short discussion, the Board was in consensus that the proposed changes should be approved.

A motion was made to approve the Big Dog Ranch Site Plan Amendment as proposed by staff by Mr. Ford. The motion was seconded by Ms. Gonzales. Motion passed unanimously.

2. Brown Open Storage

Staff gave an opening summary to describe why these applications are being taken together which include a ULDC Text Amendment and Special Exception and Site Plan for Brown Open Storage. A ULDC amendment would need to be approved as a conditional use to allow the open storage as a permitted use in the AR zoning district. This action will need to be approved by Town Council by Ordinance. Secondly, a Special Exception for Conditional Use will be required to approve a site plan for the 47-acre property. This would be approved by Resolution by the Town Council. The combination of the two would not be approved until the Second Reading of the Ordinance. A discussion pursued on the definition of open storage.

The applicant was asked to give an overview of the site plan which includes preserve areas, wetlands, landscape buffers, equestrian trail and parking area for trailers and city vehicles. The facility will be open to the public and buffered with landscaping. The Board proceeded to ask questions of the applicant and noted concerns about the use and the type of vehicles being stored on the property as well as changing the ULDC.

A motion was made by Mr. Ford to deny the application for the changes to the ULDC for Brown Open Storage. The motion was seconded by Ms. Gonzales. A discussion pursued on non-compliance uses. Motion passed unanimously.

A motion was made to include the pictures as part of the record by Ms. Gonzales and seconded by (name not recognizable). Motion passed unanimously.

3. Florida Department of Economic Opportunity Technical Assistance Planning Grant Comprehensive Plan Amendments –

Staff stated that the proposed Comprehensive Plan Amendments must go to Council before August 15th pursuant to the grant and he would like to set a meeting on July 30th to discuss the amendments. Copies of the Amendments were handed to the Board members for their review prior to the next meeting.

COMMITTEE MEMBER COMMENTS - None

SET NEXT MEETING DATE

The next meeting date was set for July 30th at 6:30 p.m.

Mr. O'Neil was sworn into the record as he was not present at the beginning of meeting.

ADJOURNMENT

The meeting was Adjourned no time noted.

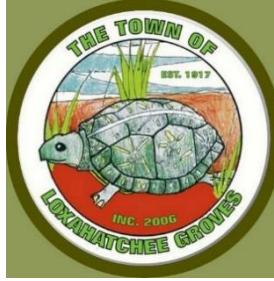
TOWN OF LOXAHATCHEE GROVES, FLORIDA

ATTEST:

Town Clerk

Chairperson

Minutes prepared by
J. Meeks, ProtoType, Inc.



**TOWN OF LOXAHATCHEE GROVES
PLANNING AND ZONING BOARD AS LOCAL PLANNING AGENCY MEETING
AUGUST 20, 2020**

CALL TO ORDER

The meeting was called to order by Acting Chairman Ford at 5:30 p.m. (estimated time).

ROLL CALL

Present: Chairperson Ford, Board Members Mr. Ortero, Mr. Bell, Mr. O’Neal, and Ms. Gonzalez, Town Manager Mr. Titcomb, and Town Planning Consultant Mr. Fleishman.

Absent: None.

The Town Clerk declared a quorum to be present.

ELECTION OF CHAIRMAN

Chair Ford stated the election of Chair would be for both Local Planning Agency and Planning and Zoning.

Motion made by Mr. Bell, duly seconded, to appoint Mr. Ford to Chair of LPA and PZB. In a voice vote, the motion passed unanimously.

Motion made by Mr. Bell, duly seconded, to appoint Mr. Ortero to Vice Chair of LPA and PZB. In a voice vote, the motion passed unanimously.

APPROVAL OF AGENDA

Chair Ford requested to hear LPA Regular Agenda Item #1 prior to #2. There was consensus.

PUBLIC COMMENT

None on non-agenda items.

CONVENE LOCAL PLANNING AGENCY

1. Noah's Ark Daycare Small-Scale Land Use Map Amendment

Chair Ford turned the agenda over to Town Planning Consultant Mr. Jim Fleishman.

Mr. Fleishman provided a brief overview of the amendments that will also be heard by the Planning and Zoning Board.

Chair Ford asked for clarification about the requested zoning change. Mr. Fleishman further explained the application.

Mr. Fleishman introduced the applicant, Mr. Josh Nichols, agent for Mr. Perez, owner of Noah's Ark Daycare.

Mr. Nichols clarified that they are requesting removal of the church use and briefly reviewed the history of the project and approved site plan. He spoke about the increased capacity, traffic, buffer, proposed sit plan, and Comprehensive Plan requirements.

Discussion ensued about traffic, land use buffer, proposed zoning, setbacks, easement, and Okeechobee Corridor overlay. Committee members expressed concern about future development and zoning change.

Motion made by Mr. Bell, duly seconded, to approve CPA 2020-02 with conditions that it is an existing Institutional use and at Town Council approval, a consideration for a recreational easement on the south side of the property, subject to the Okeechobee Corridor overlay. In a voice vote, the motion passed 4-1, with Ms. Gonzalez voting in opposition.

2. Update on the status of the Okeechobee Boulevard/Southern Boulevard Comprehensive Plan Amendments *(heard prior to Item #1)*

Chair Ford turned the agenda over to Town Planning Consultant Mr. Jim Fleishman.

Mr. Fleishman summarized the proposed amendments, list of Town Council recommendations, and timeline. He recommended the LPA review the seven items, consider additional issues to address, and prioritize a list to present to Town Council.

Discussion ensued about non-conforming uses and code enforcement.

Motion made by Mr. Bell, duly seconded, to have a separate LPA meeting next month, noticed, and allowing public comment.

Discussion ensued about the motion.

Mr. O'Neal arrived at 6:06 p.m.

Mr. Bell withdrew his motion.

Discussion continued about LPA and Planning and Zoning Board meetings.

Motion made by Mr. Bell, duly seconded, to continue the regular meeting schedule. In a voice vote, the motion passed unanimously.

3. Public Comment *(on Regular Agenda Items #2 and #3)*

None.

4. Adjourn Local Planning Agency

The LPA was adjourned at 7:12 p.m. (estimated time).

CONVENE PLANNING AND ZONING BOARD

The meeting of the Planning and Zoning Board was called to order by Chair Ford at 7:12 p.m. (estimated time).

1. Noah's Ark Zoning Map Amendment

Mr. Fleishman recommended approval for consistency with the Land Use Amendment approval by the Planning and Zoning Board.

Motion made by Mr. O'Neal, duly seconded, to approve application 2020-03 application.

No public comments.

In a voice vote, the motion passed unanimously.

2. Noah's Ark Site Plan Amendment

Mr. Fleishman reviewed the Site Plan Amendment and updated conditions of approval.

Motion made by Mr. Bell, duly seconded, to approve SPA 2020-03 subject to conditions of approval in Exhibit 3 with the following additions: #1-5 and #6 to show on site plan 40-50' paper easement to tie the future overlay and also include verbiage for existing Institutional Use.

No public comments.

In a voice vote, the motion passed unanimously.

3. Palms West Plaza Site Plan Amendment

Mr. Fleishman provided a brief overview of the project and updated conditions of approval.

Ms. Lauren McClellan, on behalf of the applicant, introduced herself and additional project team members. She reviewed the request for the Palms West Plaza Site Plan Amendment including the site location, existing approved site plan, and proposed site plan.

Discussion ensued about Tangerine Drive and access.

Motion made by Mr. O'Neal, duly seconded, to approve application SPA 2020-04 as is, subject to the conditions presented.

No public comment.

In a voice vote, the motion passed 4-1, with Ms. Gonzalez voting in opposition.

4. Public Comment *(on Regular Agenda Items #1, #2, and #3)*

None.

COMMITTEE MEMBER COMMENTS

Mr. Bell acknowledged the Board's candor and noted it will be a lot of work going forward.

SET NEXT MEETING DATE

There next meeting will be held on September 17, 2020 at 5:30 p.m.

ADJOURN PLANNING AND ZONING BOARD MEETING

There being no further business, a Motion to Adjourn was made and seconded.

The meeting was adjourned at 8:13 p.m. (estimated time).

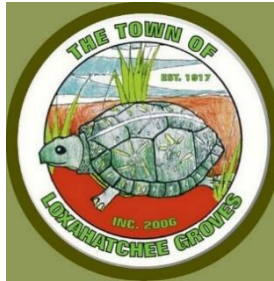
TOWN OF LOXAHATCHEE GROVES, FLORIDA

ATTEST:

Town Clerk

Chairperson

Prepared by:
T. Baclawski, Prototype-Inc.



**TOWN OF LOXAHATCHEE GROVES
PLANNING AND ZONING BOARD MEETING
FEBRUARY 4, 2021**

CALL TO ORDER

Town Clerk Lakisha Burch called the Planning and Zoning Board Meeting to order at 6:22 p.m.

ROLL CALL

Present: Chairperson Mr. William Ford (entered late at 6:26 PM); Vice Chair Mr. William Bell; Board Members Mr. Brett Raslowitz and Mr. Neil O'Neal III; Town Manager Titcomb; and Town Planning Consultant Mr. Fleishmann.

Absent: Board Member Mr. Matthew Otero.

Town Clerk Burch confirmed a quorum.

APPROVAL OF AGENDA

Motion made by Vice Chair Bell, duly seconded. to approve the Agenda. The motion passed unanimously.

Motion made by Mr. O'Neal, duly seconded, to move public comment on non-agenda items to Item #1 and approve the agenda as modified. The motion passed unanimously.

PUBLIC COMMENTS *(on Non-Agenda Items)*

Ryan Johnston, Johnston Group Development and Construction from Jupiter, spoke about an upcoming change of use project. Discussion continued regarding changes of use.

REGULAR AGENDA

1. Merkert Special Exception

Mr. Fleishmann gave a staff presentation on Item #1 Merkert Special Exception Category A, seeking approval to delete Condition (i) of current Class A Conditional Use approval granted by Palm Beach County in 1998 for Merkert Family Mausoleum. Project is located on the west side of D Road.

Mr. Fleishmann shared a brief slide deck of the site detailing the history of the conditions and further advising of staff recommendation for approval of this special exception including three revisions of the Palm Beach County Class A Conditional Use approval.

Mr. Fleishmann also read a letter into the record from Loxahatchee Grove Landowners Association.

Tom Golsonnay, Project Agent for the owner/applicant Ms. Tuyet Merkert, Trustee advised that the applicant was making changes for her family's estate planning purposes.

Board discussion continued regarding county unity of title requirements, as well as ingress and egress easements.

Motion made and seconded to approve Agenda Item 1 to break the 25 acre Merkert parcel into four parcels: one ten (10) acre parcel (which includes the mausoleum) and three (3) five acre parcels, keeping unity of title for the ten (10) acre parcel only, and all parcels will have ownership restricted to relatives or heirs. Maintenance stays the same for the ten (10) acre parcel including a staff recommendation to have the Agreement transferred from Palm Beach County to the Town of Loxahatchee Groves. The motion passed unanimously.

2. Lockhart Self-Storage

Mr. Fleishmann summarized the project as including multiple applications: a re-zoning from Palm Beach County to Town of Loxahatchee Groves, two ULDC text amendments and a special exception and site plan approval of the self-storage conditional use on the 2.62 acre parcel.

Bradley Miller of Urban Design Studio for the applicant walked the Board through the set of applications for the project. The property abuts Southern Boulevard on the south and Tangerine on the north.

Two items are up for discussion: plot coverage and building height which deviate from staff recommendations. All other staff recommendations were agreed to by the applicant.

PUBLIC COMMENTS *(on Agenda Item #2)*

Nancy Drysdale, Loxahatchee: Objected to #2B re: 2 mile radius @ Page 21 of application suggesting it stifles competition.

Phyllis Manillia, Loxahatchee: Requested clean up of Southern Boulevard near the A&G Market as the parking areas dirty and unsafe, with "bad actors." She requested display of a conceptual slide from the applicant's deck where horse trails impact the proposed project.

BOARD MEMBER COMMENTS

The Board had questions regarding the origin of the Town's finished grade limit and cross-access easements to avoid dead ends.

Staff recommended approval of the applicant's text amendments subject to staff comments/revisions, recommended approval of the site plan subject to several conditions which applicant has agreed to, and recommended limitation to 2 stories and 25% lot coverage.

More permeable areas and buffering were recommended. Board discussion continued about height, percentage of lot coverage, and FAR.

Motion made and seconded, to table the application and bring it forward again at the next meeting for recommendation. Motion withdrawn.

Motion made by Mr. Otero, duly seconded, to approve the following parameters for further consideration by the Board and applicant at the February 18th, 2021 meeting. Parameters: 30% maximum plot, 35 foot height from finished grade, Tangerine would be emergency only, and gated road to road. The motion passed 3-2.

SET NEXT MEETING DATE

The next meeting date is set for February 18, 2021.

ADJOURN PLANNING AND ZONING BOARD MEETING

There being no further business the meeting was adjourned at 9:15 p.m. (estimated time).

TOWN OF LOXAHATCHEE GROVES, FLORIDA

ATTEST:

Town Clerk

Vice Chairperson

Prepared by:
I. Revelas, Prototype, Inc.

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**TOWN OF LOXAHATCHEE GROVES
PLANNING AND ZONING BOARD MEETING
APRIL 7, 2021**

CALL TO ORDER

Vice Chair Bell called the meeting to order at 6:15 p.m. (estimated time), and asked Town Clerk Lakisha Burch to call the roll.

ROLL CALL

Present: Board Members Brett Rallowitz and Neil O'Neal III; Vice Chair William Bell; Town Manager Jamie Titcomb; and Town Planning Consultant Fleishmann.

Late: Town Clerk Burch advised that Chair William Ford and Board Member Matthew Ortero both called the Clerk and left messages that they would be joining the Board Meeting late at 7:00 p.m.

Town Clerk Burch confirmed a quorum for business to proceed.

APPROVAL OF AGENDA

Motion made by Vice Chair Bell, duly seconded, to approve the Agenda. The motion passed unanimously.

PUBLIC COMMENTS *(on Non-Agenda Items)*

None.

REGULAR AGENDA

- 1. Agenda Supplement dated 04/02/21 Prepared by Mr. Fleishmann Regarding Inconsistencies in Southern Palms Car Wash and Heartland Dental Office Building Site Plan Applications.**

Mr. Fleishmann gave a staff presentation recommending that an "Administrative" Site Plan for Pod B be prepared as a guide for all future development activities within Pod B. The "Administrative" Plan would focus on issues that are common to all of the Pod B developments such as perimeter landscaping, ingress/egress, cross access, sidewalks, etc.

Vice Chair Bell suggested that no action was required by the Board on this matter and none was taken.

Vice Chair Bell stated that his understanding was that the Board was merely being asked by Staff to acknowledge that the applicants had submitted partial Pod developments in lieu of entire Pod developments. Mr. Fleishmann affirmed and closed the discussion on this matter.

2. Aldi Sign Variance

Mr. Fleishmann advised the Board that Aldi was open for business, and had submitted an application for a variance to increase the permitted size of both the primary (Southern Boulevard) and secondary (B Road) signage for the business.

Mr. Fleishmann directed the Board to Page 7 of the Agenda package for visuals of the proposed signage and to Pages 5-11 for Staff comments, noting a critical typographical error at the third paragraph of Page 8. He invited the applicant to present.

Attorney Matthew Scott from the Law firm of Dunay Cohen Backman in Boca Raton, FL, appeared for the applicant. Attorney Scott commended the Staff Report and analysis. He explained that the Aldi temporary Certificate of Occupancy included temporary banners which the proposed permanent signs will be replacing.

Attorney Scott presented a slide deck showing visuals of project and proposed signage from multiple views.

He advised that two main items were driving Aldi's request for a variance for larger signs. First, Southern Blvd. will be expanding and adding a lane, so the sign needs to be larger for the new lane of fast-moving vehicular traffic to see it. Second, the Town adopted new regulations for landscape buffers that require a larger berm (3 feet) with trees on the top, so the signage needs to account for the increased height of the new berms and the fullness of the mature trees.

Finally, Attorney Scott advised that in the recent past Publix and John Deere both got variances for larger signs (74 feet).

The Board discussed the timing of the new landscaping at the project.

Vice Chair Bell then asked for public comment.

PUBLIC COMMENTS *(on Agenda Item #2)*

None.

The Board members asked staff and the applicant for details of the other sign variances including Publix, John Deere and Wendy's Menu Board, which were then discussed.

Vice Chair Bell asked for a Motion to Approve Agenda Item 2 based upon Staff recommendations.

A Motion was made and duly seconded for approval of Agenda Item 2 (SP-20-2008) to grant the variance for larger signs based upon Staff recommendations as set forth at Page 11 of the Agenda package, and subject to the Site Plan dated December 16, 2020, and Conditions of Approval per Attachments A and B.

The motion passed unanimously, 5-0.

3. Groves Town Center Pod B Site Plan Applications (for Southern Palms Car Wash and Heartland Dental Office)

Mr. Fleishmann introduced the Southern Palms Car Wash Site Plan Application. The Staff Report starts on Page 12 of the Agenda package. The principal objective of staff review is to consider the characteristics of site plan application against those of the Town's ULDC. In this case, staff determined that the applicant's Site Plan met ULDC requirements. Mr. Fleishmann then invited the applicant to present.

Jacob Lawson, Civil Engineer from Kimley-Horn & Associates of Vero Beach, FL appeared for the applicant car wash project owned by his client, Mr. Dan Woodward. Mr. Woodward owns another car wash in Loxahatchee Groves. Mr. Lawson shared the elevations and suggested that they demonstrate that the proposed site plan meets the Town's ULDC requirements.

Mr. Fleishmann noted that the conditions attached to the application start at Page 24 of the Agenda package.

Mr. Lawson pointed out a mistake in the application regarding the total building square footage. 4,815 SF is the correct figure, not the 5,316 SF figure set forth in the application.

Mr. Lawson stated that the three (3) foot berm requirement posed a challenge to the project and the applicant requested flexibility. He stated that for this project, the Town's berm requirements conflict with the Palm Beach County Water Management Board requirements.

The Board discussed possible modifications and concluded that flexibility regarding the berm requirement is properly discussed between engineers of the Town and the applicant, and Staff, not at the PZB meeting.

Vice Chair Bell asked for public comments.

PUBLIC COMMENTS *(on Agenda Item #3-Southern Palm Car Wash))*

None.

BOARD MEMBER COMMENTS

Vice Chair Bell made a Motion to Talk About Agenda Item #3-Southern Palm Car Wash.

The Board indicated that Staff recommended approval of the application per Pages 24-27 of the Agenda package.

Vice Chair Bell asked the record reflect that Chair Ford had arrived. Town Clerk Burch took official notice.

The Board discussed drafting of the motion and taking note of square footage, canopy with solar panels and signage, height change in berm.

Chair Ford had specific questions about why the Town needed another car wash identical to the existing one nearby. He pointed out that horse trailers and dual pick-up trucks ('Dualies') won't fit in either car wash.

Board discussion returned to drafting the motion.

A Motion was made by Chair Ford, duly seconded, to approve Item #3-Southern Palm Car Wash Site Plan Application per staff recommendations with these changes: 1) Correct the square footage from 5,316 SF to 4,815 SF; 2) Correct the landscape buffer from 10' to 8' per the Town Ordinance; and 3) flexibility regarding the 3' berm to be discussed at a later time. The Motion passed 3-2.

Board Members in Opposition stated that the Town doesn't need another car wash like this.

Chair Ford introduced Item #3-Heartland Dental Office Site Plan Application

Mr. Fleishmann summarized the project as including conditions at Pages 39-42 of the Agenda package and invited the applicant to present.

Appearing for the applicant Heartland Dental Office was Jacob Lawson, Civil Engineer from Kimley-Horn & Associates of Vero Beach, FL.

Mr. Lawson indicated that the Part B #5 cross access agreement and requirement without an identified partner for the agreement was problematic. Mr. Fleishmann agreed.

The Board engaged in a lengthy discussion about Part B #5.

Upon conclusion, Town Clerk Burch summarized that a Motion was made by Mr. Raflowitz and seconded by Mr. Otero to approve Staff recommendations.

Vice Chair Bell interrupted to restate the Motion:

A Motion was made by Mr. Raflowitz and seconded by Mr. Ortero to approve Item #3 for the Heartland Dental Office Site Plan Application incorporating Staff recommendations to remove #13, revise Part B #5 for cross access, and incorporate the approval of the engineers. The motion passed unanimously, 5-0.

SET NEXT MEETING DATE

None.

ADJOURN PLANNING AND ZONING BOARD MEETING

There being no further business the meeting was adjourned at 9:00 p.m. (estimated time).

TOWN OF LOXAHATCHEE GROVES, FLORIDA

ATTEST:

Town Clerk

Vice Chairperson

Prepared by:
I. Revelas, Prototype, Inc.



**TOWN OF LOXAHATCHEE GROVES
PLANNING AND ZONING BOARD MEETING
JUNE 17, 2021**

SWEARING IN OF PZB MEMBERS

No audio provided for this section.

ELECTION OF OFFICERS (CHAIRMAN AND VICE CHAIRMAN)

Mr. Titcomb announced postponement of elections and noted Mr. Bell would serve as Acting Chairman.

CALL TO ORDER

The meeting was called to order by Acting Chairman Bell at 6:00 p.m. (estimated time).

ROLL CALL

Present: Board Members Mr. Ortero, Mr. Bell, and Mr. O’Neal, Town Manager Mr. Titcomb, Town Clerk Lakisha Burch, and Town Planning Consultant Mr. Fleishman.

Absent: Mr. Ford, Mr. Raflowitz, Ms. Caccioppo

The Town Clerk declared a quorum to be present.

APPROVAL OF AGENDA

Motion made by Mr. O’Neal, duly seconded, to approve the agenda. In a voice vote, the motion passed unanimously.

PUBLIC COMMENTS

None on non-agenda items.

REGULAR AGENDA

1. Culver's Restaurant Site Plan

Acting Chairman Bell turned the agenda over to Town Planning Consultant Mr. Jim Fleishman.

Mr. Fleishman provided a brief overview of the item and introduced Taylor Parker.

Ms. Parker, on behalf of the applicant, introduced herself to the Board. She began her presentation by reviewing the following: Culver's Restaurant; Site Location; Map; Elevations; Site Plan; Grading Plan; Landscape Plan; and Exhibits.

Mr. Fleishman summarized the staff report and noted staff recommended approval, subject to conditions.

Discussion ensued about design criteria, Rural Vista guidelines, parking, traffic, sidewalk connectivity, and ingress and egress points.

Motion made by Mr. Otero, duly seconded, to approve Site Plan 20-0504. In a voice vote, the motion passed unanimously.

2. Public Comment

None.

COMMITTEE MEMBER COMMENTS

None.

SET NEXT MEETING DATE (TENATIVE JULY 15, 2021)

There next meeting will tentatively be held July 15, 2021 at 6:00 p.m.

Mr. Fleishman and Mr. Titcomb spoke about the upcoming joint meeting and next steps.

ADJOURN PLANNING AND ZONING BOARD MEETING

There being no further business, a Motion to Adjourn was made and seconded.

The meeting was adjourned at 6:43 p.m. (estimated time).

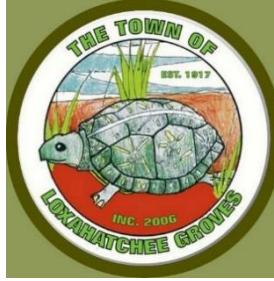
TOWN OF LOXAHATCHEE GROVES, FLORIDA

ATTEST:

Town Clerk

Chairperson

Prepared by:
T. Baclawski, Prototype-Inc.



**TOWN OF LOXAHATCHEE GROVES
PLANNING AND ZONING BOARD MEETING
MARCH 3, 2022**

CALL TO ORDER

Vice-Chairman Bell called the meeting to order at 6:00 PM (*estimated time*).

ROLL CALL

Present: Vice Chair Bell, Mr. Rafterowitz, Mr. O'Neal, Town Manager Mr. Titcomb, Town Planning Consultant Mr. Fleishman.

Absent: Board Members Mr. Ford and Mr. Otero

APPROVAL OF AGENDA

Motion was made by Vice-Chairman Bell to approve the Agenda, duly seconded. The motion passed unanimously.

PUBLIC COMMENTS

None.

REGULAR AGENDA

1. Proposed Amendment to Wawa/Autozone/Aldi Site Plan (FKA Wawa/Chase/Aldi) – Pod A of Groves Town Center MLUPUD and Discussion

Mr. Fleishman, provided an overview of the proposed site plan amendment of Pod A of the 90 acre Groves Town Center. The proposed Amendment of Pod A, retains the Wawa and Aldi and changes Chase Bank to an Autozone auto parts store.

Attorney Matt presented for the applicant, BW Southern Binks LLC, providing a slide presentation to the Board. He emphasized that the applicant was seeking small changes to the approved site plan for a different user and different look of building.

Motion made and seconded to approve Agenda Item 1 site plan amendment to Wawa/Aldi/Autozone site, conditional to staff recommendations. The motion passed unanimously.

PUBLIC COMMENTS

None.

COMMITTEE MEMBER COMMENTS

None.

SET NEXT MEETING DATE

No date set for next meeting.

ADJOURN PLANNING AND ZONING BOARD

There being no further business the meeting was adjourned at 6:30 PM (*estimated time*).

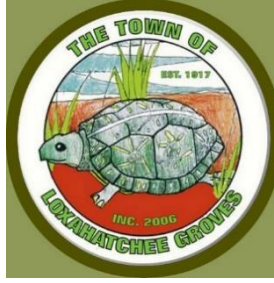
TOWN OF LOXAHATCHEE GROVES, FLORIDA

ATTEST:

Town Clerk

Chairperson

Prepared by:
I. Revelas, Prototype, Inc.



**TOWN OF LOXAHATCHEE GROVES
PLANNING AND ZONING BOARD AS LOCAL PLANNING AGENCY MEETING
AUGUST 25, 2022**

CALL TO ORDER

The meeting was called to order by Mr. Ford at 5:30 p.m. (estimated time).

ROLL CALL

Present: Chairperson Ford, Board Members Mr. Bell, Mr. O’Neal, and Ms. Gonzalez, Town Manager Ms. Ramaglia, Town Planning Consultant Mr. Fleishman, and Town Clerk Ms. Burch.

Absent: Mr. Raflowitz, Mr. Ortero

Town Clerk Burch declared a quorum to be present.

SWEARING IN BOARD MEMBERS

Consensus was reached to amend the agenda in order to swear in Board members. Board members were sworn in by Town Clerk Burch.

ELECTION OF CHAIR AND VICE-CHAIR

Motion made by Mr. Bell, duly seconded, to appoint Mr. Ford to Chair of LPA and PZB. In a voice vote, the motion passed unanimously.

Motion made by Mr. O’Neal, duly seconded, to appoint Mr. Bell to Vice Chair of LPA and PZB. In a voice vote, the motion passed unanimously.

APPROVAL OF AGENDA

Motion made by Mr. Bell, duly seconded, to approve the agenda. In a voice vote, the motion passed unanimously.

PUBLIC COMMENTS

None on non-agenda items.

PRESENTATION BY TOWN ATTORNEY ELIZABETH LENIHAN

Town Attorney Lenihan provided an overview of the Board’s roles and responsibilities as both the Planning and Zoning Board and as the Local Planning Agency.

REGULAR AGENDA

1. AutoZone Sign Variance

Chair Ford welcomed the applicant to present. The representative from AutoZone joined virtually to present.

Ms. Kerri Sabol, Jones Sign Company, introduced herself as AutoZone's sign vendor. She reviewed the provided presentation including the following: sign size; design specifications; and site maps.

Mr. Jim Fleishman provided an overview of the staff summary.

Discussion ensued about the sign location and design.

Motion made by Mr. O'Neal, duly seconded, to approve the request, pursuant to staff recommendations. In a voice vote, the motion passed unanimously.

2. Culvers Restaurant Sign Variance

Chair Ford welcomed the applicant to present.

Mr. Kasey Bethel, Contract Purchaser, introduced himself to the Board on behalf of the applicant. He read prepared responses from the applicant regarding the variance request.

Mr. Jim Fleishman provided an overview of the staff summary.

Motion made by Mr. O'Neal, duly seconded, to approve the request, pursuant to staff recommendations. In a voice vote, the motion passed unanimously.

3. Southern Lawn Site Plan Amendment

Mr. O'Neal abstained from voting due to potential conflict of interest.

Mr. James Hackett, agent, introduced himself to the Board on behalf of the applicant. He explained the site plan and landscape plan changes

Mr. Jim Fleishman provided an overview of the staff summary.

Discussion ensued about the FAR ratio, project design, fencing, and neighbor support.

Motion made by Mr. Bell, duly seconded, to approve the request, pursuant to staff recommendations. In a voice vote, the motion passed unanimously. Mr. O'Neal abstained.

4. Public Comments

None.

COMMITTEE MEMBER COMMENTS

A brief discussion ensued about the sign code.

SET NEXT MEETING DATE

To be determined.

ADJOURN PLANNING AND ZONING BOARD MEETING

There being no further business, a Motion to Adjourn was made and seconded.

The meeting was adjourned at 6:53 p.m. (estimated time).

TOWN OF LOXAHATCHEE GROVES, FLORIDA

ATTEST:

Town Clerk

Chairperson

Prepared by:
T. Baclawski, Prototype-Inc.

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**TOWN OF LOXAHATCHEE GROVES
PLANNING AND ZONING BOARD MEETING
MARCH 23, 2023**

CALL TO ORDER

The meeting was called to order by Vice Chair O'Neal at 6:00 p.m. (estimated time). Town Clerk Lakisha Burch then administered the oath of office to Town Manager Francine Ramaglia to swear her in as a member of the Planning and Zoning Board.

ROLL CALL

Present: Vice Chairperson Bell, Board Members Mr. O'Neal and Ms. Frederich, Town Manager Ms. Ramaglia, and Town Planning Consultant Mr. Fleishman.

Absent: Board Members Mr. Rafkowitz and Mr. Ford

The Town Clerk declared a quorum to be present.

APPROVAL OF AGENDA

Motion made by Vice Chair O'Neal, duly seconded, to approve the agenda. In a voice vote, the motion passed unanimously.

PUBLIC COMMENT

None on non-agenda items.

REGULAR AGENDA

1. Big Dog Ranch Proposed Site Plan Amendment

Vice Chair O'Neal turned the agenda over to Town Planning Consultant Mr. Jim Fleishman.

Mr. Fleishman introduced the applicant, Ms. Robin Freedman, Executive Director of Big Dog Ranch.

Ms. Freedman advised that she is requesting an expansion of Big Dog Ranch to train dogs for vets with PTSD and to add a new program for dogs of actively deployed military personnel.

Mr. Fleishman gave a brief history of the project and the proposed improvements to expand the living area of dog boarding facility itself.

PUBLIC COMMENT *(on Regular Agenda Item #1)*

Cassie Suchy shared a handout with the Board. Ms. Suchy stated that original 2015 approval for Big Dog Ranch was for a much smaller size and was not to be a boarding kennel. Now Big Dog Ranch is advertising an event barn for weddings and parties and public boarding. She asked the expansions and public boarding not be allowed.

BOARD MEMBER COMMENTS

Board members questioned Mr. Fleishman regarding AR-FAR zoning, residential versus commercial.

Discussion continued regarding demand for boarding of dogs of members of the military as well as clarification regarding public boarding, advertising, and application conditions.

Vice Chair O'Neal asked for a Motion for Approval and any other considerations for special approval.

Motion duly made and seconded by to approve the site plan amendment as presented. The motion passed 2-1.

SET NEXT MEETING DATE

There are currently no projects scheduled for the April meeting. Ms. Ramaglia advised that discussions about moving the Planning and Zoning Board Meetings to the 3rd Thursday of the month were ongoing.

ADJOURN PLANNING AND ZONING BOARD MEETING

There being no further business, a Motion to Adjourn was made and seconded.

The meeting was adjourned at 6:30 p.m. (estimated time).

TOWN OF LOXAHATCHEE GROVES, FLORIDA

ATTEST:

Town Clerk

Chairperson

Prepared by:
I. Revelas, Prototype, Inc.

Town of Loxahatchee Groves, Florida

Planning and Zoning Board

Agenda Item Report

PREPARED BY: Kaitlyn Forbes

July 17, 2024

SUBJECT: Comprehensive Plan Text Amendment, Master Plan Amendment, Hotel Site Plan (Pod TC), and Park Site Plan (Pod G).

1. BACKGROUND

History: The 90 +/- acre Groves Town Center PUD, including a Statement of Use, Conceptual Master Plan and Conditions of Approval was approved by the Town Council (Ordinance 2013-010). Revisions to the PUD were most recently approved by the Town Council (Ordinance 2019-08).

Additional revisions to the PUD (i.e. PUD Amendment) must be approved by the Town Council. The Applicant is proposing the following:

- 1) Comprehensive plan text amendment to: (1) Permit up to 95 lodging units within the subject property (MLU) (2) Eliminate the allocation for a 128-bed congregate living facility (3) Establish an allowance for a public park (4) Establish intensity and density measurement standards for the hotel use, and (5) Exempt the subject site from Policy 1.2.1 of the comprehensive plan which restricts commercial uses to south of East Citrus Drive. *Applicant: Solar Sportsystems, Inc.*
- 2) Master Plan, PUD amendment to: Establish Pod TC for hotel purposes, establish Pod G for park purposes, and amend existing conditions of approval. *Applicant: Solar Sportsystems, Inc.*
- 3) Site Plan approval to: establish a four (4) story, 95-room hotel on Pod TC. *Applicant: Solar Sportsystems, Inc and Groves Hospitality LLC.*
- 4) Site Plan approval to: establish an open space, to be utilized by the Town, on Pod G. *Applicant: Applicant: Solar Sportsystems, Inc. and Loxahatchee Equestrian Partners, LLC*

Problem Statement: The Town Council is to hear and approve, approve with conditions, or deny the comprehensive plan text amendment, master plan amendment, and two site plan applications. NOTE: The proposed PUD Master Plan Amendment is a processed as a rezoning.

Problem Solution: The Town Council will conduct a public hearing to consider a motion to approve, approve with conditions, or deny the Comprehensive Plan Text Amendment, Master Plan PUD Amendment, and two site plan applications.

2. CURRENT ACTIVITY

The Comprehensive Plan Text Amendment was presented at a Planning and Zoning Board (PZB) meeting on July 22, 2024. The PZB recommended approval/denial of the application by a vote of ___to___.

The Master Plan PUD Amendment was presented at a Planning and Zoning Board (PZB) meeting on July 22, 2024. The PZB recommended approval/denial of the application by a vote of __to__.

The hotel site plan, located on Pod TC, was presented at a Planning and Zoning Board (PZB) meeting on July 22, 2024. The PZB recommended approval/denial of the application by a vote of __to__.

The park site plan, located on Pod G, was presented at a Planning and Zoning Board (PZB) meeting on July 22, 2024. The PZB recommended approval/denial of the application by a vote of __to__.

3. ATTACHMENTS

1. Groves Town Center Staff Report: Comprehensive Plan Text Amendment, Master Plan Amendment, Hotel Site Plan, Park Site Plan

4. FINANCIAL IMPACT

Work on this project is funded by the Applicant's cost recovery deposit.

5. **RECOMMENDED ACTION:** Recommend that the Planning and Zoning Board approve the master plan amendment and two (2) site plan applications [hotel and public park]. The matter of the comprehensive plan text amendment is a legislative (policy) decision and therefore there is no staff recommendation on this item.

TO: PLANNING AND ZONING BOARD

FROM: KAITLYN FORBES, TOWN PLANNING CONSULTANT

RE: STAFF REPORT: LOXAHATCHEE EQUESTRIAN PARTNERS LLC/SOLAR SPORTSYSTEMS, INC./GROVES HOSPITALITY LLC, COMPREHENSIVE PLAN TEXT AMENDMENT, MASTER PLAN AMENDMENT, HOTEL SITE PLAN, PUBLIC PARK SITE PLAN.

DATE: July 17, 2024

I. GENERAL INFORMATION

A. Applicant: Solar Sportsystems, Inc., Loxahatchee Equestrian Partners, LLC, and Groves Hospitality, LLC. The applications are being represented by Matthew Barnes, of WGI.

B. Owner: Solar Sportsystems, Inc.

C. Location: The subject property is generally located at the northeast corner of Southern Boulevard and “B” Road, south of Collecting Canal, Loxahatchee Groves, Florida (Ref: Attachment 1, Map 1).

D. Legal Description: The property is legally described as shown in Attachment 2. All of the Groves Town Center PUD Amendment No. 1 Plat as recorded in Plat Book 134, Pages 134 – 138 of the Official Records of Palm Beach County. Together with Pod A of the Groves Town Center PUD Plat as recorded in Plat Book 66, Pages 66 – 70 of the Official Records of Palm Beach County,

E. Parcel Size: Approx. 90 acres (total Groves at Town Center development site)

F. Existing Future Land Use (FLU) Designation: The Multiple Land Use (MLU) future land use designation was assigned to the property by Future Land Use Amendment 11-1.3 (Ordinance 2011-017).

G. Existing Zoning: The Multiple Land Use, Planned Unit Development (MLU/PUD) zoning designation was assigned to the property by Rezoning REZ 2013-02 (Ordinance 2013-010) and most recently amended by Ordinance 2019-08.

H. Existing Use: The overall Groves at Town Center development includes a mix of non-residential uses and vacant land. The subject sites for the proposed hotel and the public park are vacant.

II. EXISTING AND PROPOSED DEVELOPMENT PROGRAM, REQUESTED COMPREHENSIVE PLAN TEXT AMENDMENT

To accommodate the proposed master plan revisions and site plan approval of both the hotel and public park, the applicant first proposes a text amendment to Special Policy 1.15.2 of the comprehensive plan as shown below and Attachment 3. The primary objective is to substitute a hotel use for the currently approved congregate living use. As noted in Section III below, the applicant states the congregate living use is no longer economically viable. Further, providing a hotel would meet local demands.

Proposed Text Amendment to Special Policy 1.15.2

Changes are in strikethrough and underline format.

1.15.2 Special Policy:

- (1) Land Use and density/intensity of development on the property delineated as "Special Policy 1.15.2" on the Future Land Use Map, Map # FLU – 1.10, shall be regulated by the application of the Multiple Land Use (MLU) land use category, and the following criteria: Commercial Low (CL) – Maximum of 34.34 acres / 103,000 sq. ft. of retail commercial space and 95 lodging units; Commercial Low Office – Maximum of 16.0 acres / 44,000 sq. ft. of professional and medical office commercial space; and Institutional – Minimum of 40.0 acres / ~~Maximum of 128 congregate living beds~~Public Park (Town Commons). Development intensity of lodging uses to be regulated by combination of number of rooms, building height, and lot coverage rather than FAR.
- (2) A 300 foot wide buffer shall be incorporated in the master plan along that portion of the MLU adjacent to the Collecting Canal.
- ~~(2)(3)~~ The property delineated as "Special Policy 1.15.2" on the Future Land Use Map, Map # FLU – 1.10, is exempt from Policy 1.2.1 of the Future Land Use Element of the Comprehensive Plan, which restricts commercial development to locations south of East Citrus Drive.

III. REQUESTED PUD AMENDMENTS: CONCEPTUAL MASTER PLAN REVISION

Supplementing the text amendment to the comprehensive plan, the applicant is seeking approval to amend the approved master plan that regulates the Groves at Town Center development. In summary, the applicant is seeking to establish Pod TC for a proposed hotel development and to establish Pod G for public park purposes.

The Property is subject to the Groves Town Center Conceptual Master Plan ("Conceptual Master Plan"), which was initially approved on February 17, 2015 and subsequently revised on November 6, 2018 via Ordinance 2018-08 and again amended via Ordinance 2019-08. The current approved Conceptual Master Plan is included as Attachment 4. The proposed amended Conceptual Master Plan is included as Attachment 5.

The applicant notes the impetus for the requested change to the PUD Master Plan is a shared desire by the Applicant and the Town to remove the congregate living facility land use and allow a lodging use and simultaneously move the Town Commons use within the Master Plan to Pod G, which is the Pod that the congregate living facility is currently allowed on. They further note, market conditions have changed since the PUD was first contemplated in 2011 and it no longer economically viable to build a congregate living facility. The applicant states demand for lodging along Southern Blvd in the Town has increased. Furthermore, the applicant indicates the location of the proposed lodging use is better situated in the TC Pod, as opposed to Pod G, which is closer to the existing residential neighborhood on the north side of Collecting Canal Road. As demonstrated on the enclosed map of hotels, the closest hotel to the Town is the Royal Inn Hotel, which is approximately 3.5 miles away to the east. There are only nine hotels west of or adjacent to the Turnpike between Okeechobee Blvd and Lake Worth Road. The applicant describes a strong need for a hotel in the western reaches of the County.

The other aspects of the PUD Conceptual Master Plan that were previously approved are not changing with this proposed PUD amendment. As such, the configuration of the PUD Conceptual Master Plan in terms of the development pods and roads remains the same as the previously approved Conceptual Master Plan and Plat. The applicant noted the Conceptual Master Plan provides for natural areas, open space and landscape buffers that achieve the Town's Objectives and Policies and provide consistency with the Town's Rural Vista Guidelines. The Conceptual Master Plan maintains a twenty-five (25) foot wide landscape buffer adjacent to Southern Boulevard and it maintains the three hundred (300) foot buffer predominantly along the northern and eastern boundaries of the site and one hundred (100) foot buffer abutting the western and northern boundary. As per the previously approved site plan for the equestrian trail (Resolution 2018-84) a ten (10) foot wide equestrian trail has been constructed within the one hundred (100) foot and three hundred (300) foot buffers.

In conjunction with the amended plan drawing, the applicant also proposes to amend the existing conditions of approval outlined in Ord. 2019-08 as shown in Attachment 5. Generally, the amendments reflect revised approval dates, completed work, and the proposed master plan amendments.

[Remainder intentionally left blank]

IV. SITE PLAN – HOTEL, POD TC

Site Location. The proposed hotel is located on Pod TC as shown in the conceptual master plan. Generally, located north of Southern Boulevard, south of Tangerine Drive, and approximately 1,000 feet east of B Road. Pod TC is proposed to be subdivided as permitted by Sec. 41-010.4.b. The subject site is approximately two (2) acres.

Proposed Use. The applicant proposes a hotel on the subject site, as permitted by Sec. 25-015. The subject site is zoned as a Multi-Land Use Planned Unit Development ('MLU-PUD') and has a commercial-low land use. Per Sec. 41-020.D.2, the subject site is governed by the commercial-low zoning regulations.

Site and Building Design. Generally, the building is located in the middle of the subject site, and exceeds the required setbacks. The 95-room hotel measures 43' feet to the roof deck and includes four (4) stories and approximately 60,000 square feet. Architectural elements extend to 68-feet at the tallest point. The applicant requests a waiver for the building height allowance, which is typically restricted to 35 feet per Sec. 25-045.

The main entrance is provided on the north side of the building and includes a porte cochere for check-ins. A fenced, outdoor amenity area including a pool and sitting areas are located along the southern façade.

Site Access, Circulation, and Parking. A two-way driveway provides access to the site along the western property line. A two-way circulation loop provides access to the main entrance and all parking spaces. A total of 97 parking spaces are required and provided. Parking spaces include a mixture of full-sized spaces (11'x22.5') and reduced sized parking spaces (9' x 19.5'). Reduced sized spaces are part of a waiver request. Loading will be accomplished under the porte coche. As this is not a dedicated, separate loading space, the applicant includes a waiver request.

Full circulation is provided via a temporary driveway that extends across the new, internal lot line. This will allow fire rescue to access the site without backing up. Pedestrian connections are provided along the southern and western property lines via an existing sidewalk. A sidewalk is provided around the base of the building as well.

Mechanical Equipment and Waste Management. Mechanical equipment, except for the pool equipment, will be roof-mounted and screened by a sloped parapet. Pool equipment is in a fully enclosed structure along the southern façade. A dumpster enclosure is located at the northwest corner of the site, within the rear yard as required by Sec. 25-010.F.3. The dumpster enclosure includes a six-foot. masonry wall and opaque swinging doors.

Landscaping. Perimeter landscaping is proposed along the north, south, and west property lines. Interior landscape islands are provided within the parking area , approximately every ten (10) spaces. The plan includes 36 percent pervious area where 30 percent is required.

Outdoor Lighting. Outdoor lighting is provided via 25-foot pole-mounted lamps. Poles are generally located around the perimeter of the parking lot.

Waivers Requested. Waivers from established regulations are permitted via Sec. 41-020.E. Per the established zoning standards, a waiver or waivers may be granted to a proposed PUD upon demonstration of significant contributions to implementing Town planning objectives and maintaining its rural character. The applicant provided a justification statement appended hereto. Waivers requested include the following, and are described by the applicant as noted below:

The first waiver is to exceed the maximum height. The hotel is proposed to be four stories tall. The height of the building as measured to various points is as follows: to the roof deck – 43'; to the mean height of the lower roof elements – 49'-5"; to the ridge of the slope – 55'-2"; to the roof deck of the electrical and entry tower elements – 57'-2"; to the peak of the tallest architectural feature – 68'. The maximum height is 35 feet. Pursuant to the PUD regulations, Developer is seeking a waiver of the maximum height to allow the aforementioned building heights. The hotel building will be situated approximately 1,400 feet (a quarter of a mile) away from the nearest residential property line on the north side of Collecting Canal Road, so the additional height will have no visual effect on any surrounding properties. Furthermore, no signs on the building will face north.

The second waiver is to provide some parking spaces that do not meet the dimensional standards. The proposed project also has 6 parking spaces that meet the Town's standard size of 11' wide by 22.5' long (and 12' x 19' for handicapped accessible spaces) and 91 parking spaces that are 9' wide by 19' long. Therefore, Developer is asking for a waiver of the minimum parking stall dimensions in order to provide a mixture of the Town's larger than normal parking spaces (11' x 22.5') and the smaller (9' x 19') parking spaces.

The third waiver is to provide a drive aisle width in the parking lot of 24' instead of 28'. This relates to the fact that the majority of the parking spaces in the parking lot are smaller than the code required 22.5' long spaces and therefore the drive aisle width can be less wide since some of the parking spaces are 19' long instead of 22.5' long. Also, 24 feet is almost universally the standard drive aisle width for a parking lot with 90-degree parking spaces.

The fourth waiver is to not provide the code-required one loading space that is 12' wide by 45' long. The operations of the hotel will not require that such a large loading space be provided because all deliveries will be made by small box trucks. The porte cochere at the hotel entrance will serve as the defacto loading space for the project.

The fifth waiver is to allow an existing sidewalk in the SW corner of the site to remain as-is, which has a setback of 5 feet and 4 inches to the property line, and to allow parking spaces and driveways near the eastern property line to be setback less than 10 feet from the east property line whereas Sec. 95-100.D of the Code requires a 10-foot setback.

The sixth waiver to allow well-planned outdoor lighting, which meets the intent of the ULDC, between 11:00 p.m. and dawn to help prevent accidents, deter crime and maintain an attractive community environment. The PUD Master Plan ordinance already establishes that applicants within the PUD may apply for this waiver. The hotel, by the nature of it's use, will have customers who will be checking in or coming and going from the hotel after 11 PM and

before dawn and therefore to ensure the parking lot is a secure place there needs to be lighting in the parking lot during the overnight hours.

V. SITE PLAN – PUBLIC PARK, POD G

Site Location. The proposed public park is located in Pod G, as shown in the conceptual master plan. Generally, located north of Tangerine Drive and approximately 1,000 feet east of B Road. The subject site is approximately five (5) acres.

Proposed Use. The applicant proposes a public park on the subject site as permitted by Sec. 30-015. The subject site is zoned as a Multi-Land Use Planned Unit Development ('MLU-PUD') and has an institutional land use. Per Sec. 41-020.D.2, the subject site is governed by the institutional zoning regulations.

Site Access, Circulation, and Parking. Access to the site is granted via a two-way driveway along the southern property line. This stabilized, pervious drive connects to a stabilized parking area. This area can accommodate various vehicles including horse trailers. An equestrian culvert will connect the parking area and park to the existing perimeter trail system.

Site Design. No permanent structures are proposed on the subject site. A 3-rail wooden fence is proposed around the perimeter of the parking area, which is generally located along the western half of the property. The eastern portion of the site remains open for activities and events. A conservation easement is located at the northeast corner of the site.

Waivers Requested. Waivers from established regulations are permitted via Sec. 41-020.E. Per the established zoning standards, a waiver or waivers may be granted to a proposed PUD upon demonstration of significant contributions to implementing Town planning objectives and maintaining its rural character. The applicant provided a justification statement appended hereto as Attachment 7. Waivers requested include the following, as described by the applicant:

The waiver is to exceed the maximum plot size of five acres for an Institutional use per Sec. 30-035. Pod G is 5.43 acres. The Town Commons use is a low impact Institutional use, therefore exceeding the minimum lot size will not cause any issues. Further, if the conservation easement on Pod G that protects the existing wetland is excluded, the size of Pod G comes is reduced to 4.16 acres.

VI. APPROVAL HISTORY

1. Ordinance 2011-017. Established MLU future land use designation for Property and a maximum of 103,000 square feet of commercial low retail, 44,000 square feet of commercial for professional and medical office, and a 128-bed congregate living facility.

2. Ordinance 2013-010. Established MLU/PUD zoning designation for Property and approved a conceptual master plan for 103,000 square feet of commercial low retail,

44,000 square feet of commercial for professional and medical office, and a 128-bed congregate living facility.

3. Ordinance 2018-08. Amended the conceptual master plan approved via Ord. 2013-010 to reconfigure Pod A.

4. Resolution 2018-84. Approved site plan for equestrian trail in the Conservation Tract of the conceptual master plan.

5. Resolution 2019-027. Approved plat for Groves Town Center PUD. Plat recorded in Plat Book 128, Page 66.

6. Resolution 2019-028. Approved Restrictive Covenant and Limited Access and Conservation Easement. Document recorded in Official Records Book 30616, Page 1289.

7. Ordinance 2019 -008. Modified master plan and revised conditions of approval.

VII. PLANNING AND ZONING BOARD (PZD) RECOMMENDATION

TBD.

VIII. STAFF FINDING AND RECOMMENDATION

Recommend that the Planning and Zoning Board approve the master plan amendment and two (2) site plan applications [hotel and public park] subject to conditions of approval noted below.

The proposed comprehensive plan text amendment is a legislative (policy) decision and therefore there is no staff recommendation on this item.

Hotel Site Plan, Conditions of Approval:

Prior to issuance of a land development permit, the applicant shall address the following conditions of approval:

A. CIVIL PLANS: 8 sheets, revised 4-15-24, by EA3 Civil Engineering, Inc.

1. All swales shall be connected to the hotel's stormwater system and utilized prior to discharge to Groves Town Center Master Stormwater system.

B. DRAINAGE CALCULATIONS: 35 sheets, dated June 2024, by EA3 Civil Engineering, Inc.

1. Coordinate with Bohler regarding the Groves Town Center Master Drainage Calculations to be consistent and match the proposed control structure.

C. OTHER:

1. Provide permits from applicable agencies including, but not limited to, SFWMD, etc.
2. Additional comments may be during Site Development review.

ATTACHMENT 1 – Subject Site Map (Map 1)

Collecting Canal Rd

BRD

80 Southern Blvd

80

ATTACHMENT 2 – Legal Description

THE SOUTH 1000 FEET OF TRACT 4, BLOCK "I", LOXAHATCHEE GROVES, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 12, PAGE 29; SAID LANDS SITUATE IN PALM BEACH COUNTY, FLORIDA AND LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF SOUTHERN BOULEVARD (STATE ROAD 80) AS ESTABLISHED BY RIGHT-OF-WAY DEED RECORDED IN OFFICIAL RECORD BOOK 1005, PAGE 577, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

LOT 5, BLOCK "I" LOXAHATCHEE GROVES, LYING NORTH OF STATE ROAD 80, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 12, PAGE 29, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA LESS AND EXCEPT THAT PORTION FOR STATE ROAD 80, AS DESCRIBED IN THE ORDER OF TAKING IN O.R. BOOK 5463, PAGE 1126, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

TRACT 6, BLOCK "I", OF LOXAHATCHEE GROVES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 12, PAGE 29, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LESS AND EXCEPT:

THAT PORTION FOR STATE ROAD 80, AS DESCRIBED IN ORDER OF TAKING RECORDED IN OFFICIAL RECORD BOOK 5463, PAGE 1126, AND THAT PORTION OF THE RIGHT-OF-WAY DEED RECORDED IN DEED BOOK 1005, PAGE 577, ALL OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.
AND

THAT PORTION OF TRACT 6, BLOCK "I" RE-CONVEYED TO GASPAR MORELLO AND ELIZABETH MORELLO, HUSBAND AND WIFE, IN QUIT-CLAIM DEED RECORDED JANUARY 25, 2002, IN OFFICIAL RECORD BOOK 13344, PAGE 953, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE INTERSECTION OF THE PLATTED EAST LINE OF TRACT 6, BLOCK "I" ACCORDING TO THE PLAT OF LOXAHATCHEE GROVES, AS RECORDED IN PLAT BOOK 12, PAGE 29, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, AND THE NORTHERLY RIGHT-OF-WAY LINE OF SOUTHERN BOULEVARD (STATE ROAD 80) ACCORDING TO THE FDOT RIGHT-OF-WAY MAP, SECTION 93120-3528, SHEET 5 OF 13, DATED 1986, THENCE, NORTH 88 DEGREES 26 MINUTES 32 SECONDS WEST ALONG THE NORTHERLY RIGHT-OF-WAY OF SOUTHERN BOULEVARD, 66.16 FEET; THENCE, NORTH 39 DEGREES 58 MINUTES 31 SECONDS WEST, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF "C" ROAD, ACCORDING TO THE FDOT RIGHT-OF-WAY MAP, 33.14 FEET, TO A POINT OF CURVATURE; THENCE, NORTHERLY ALONG THE ARC OF A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 202.00 FEET AND A CENTRAL ANGLE OF 46 DEGREES 54 MINUTES 52 SECONDS, AN ARC LENGTH OF 165.40 FEET TO THE PLATTED EASTERLY LINE OF TRACT 6, BLOCK "I"; THENCE, SOUTH 02 DEGREES 09 MINUTES 47 SECONDS WEST, ALONG THE PLATTED EAST LINE OF TRACT 6, BLOCK "I", 158.23 FEET TO THE POINT OF BEGINNING.

ATTACHMENT 3 – Proposed Comprehensive Plan Text Amendment

Attachment 1

Proposed Text Amendment to Special Policy 1.15.2

Changes are in strikethrough and underline format.

1.15.2 Special Policy:

- (1) Land Use and density/intensity of development on the property delineated as “Special Policy 1.15.2” on the Future Land Use Map, Map # FLU – 1.10, shall be regulated by the application of the Multiple Land Use (MLU) land use category, and the following criteria: Commercial Low (CL) – Maximum of 34.34 acres / 103,000 sq. ft. of retail commercial space and 95 lodging units; Commercial Low Office – Maximum of 16.0 acres / 44,000 sq. ft. of professional and medical office commercial space; and Institutional – Minimum of 40.0 acres / ~~Maximum of 128 congregate living beds~~Public Park (Town Commons). Development intensity of lodging uses to be regulated by combination of number of rooms, building height, and lot coverage rather than FAR.
- (2) A 300 foot wide buffer shall be incorporated in the master plan along that portion of the MLU adjacent to the Collecting Canal.
- ~~(2)~~(3) The property delineated as “Special Policy 1.15.2” on the Future Land Use Map, Map # FLU – 1.10, is exempt from Policy 1.2.1 of the Future Land Use Element of the Comprehensive Plan, which restricts commercial development to locations south of East Citrus Drive.

ATTACHMENT 4 – Existing Master Plan



Town of Loxahatchee Groves

155 F Road • Loxahatchee Groves, Florida 33470 • (561) 793-2418 Phone • (561) 793-2420

GENERAL DEVELOPMENT APPLICATION

REQUIRED WITH THE FOLLOWING APPLICATIONS:

| | | | |
|---|---------------------------------------------------------------------------------------------------------------------|---|---------------------------------------------------------------------------------------------------------------|
| ✓ | Site Plan / Land Development Application | ✓ | Rezoning / PUD Application |
| ✓ | Future Land Use Amendment Application Large Scale ✓ Small Scale (less than 10 acres) <input type="checkbox"/> | | Special Exception Application Category A: <input type="checkbox"/> Category B: <input type="checkbox"/> |
| | Administrative Site Plan Amendment | | Plat |
| | Other | | ULDC Text Amendments |

I. GENERAL DATA

| | |
|-----------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Project Name: | Groves Town Center PUD |
| Parcel Control No(s). | <ul style="list-style-type: none"> • 41-41-43-31-12-001-0010 • 41-41-43-31-12-001-0020 • 41-41-43-31-12-001-0030 • 41-41-43-31-12-012-0031 • 41-41-43-31-12-012-0032 • 41-41-43-31-12-012-0033 • 41-41-43-31-13-001-0010 • 41-41-43-31-13-001-0020 • 41-41-43-31-13-002-0020 • 41-41-43-31-13-002-0010 • 41-41-43-31-13-002-0030 • 41-41-43-31-13-004-0000 • 41-41-43-31-13-019-0020 • 41-41-43-31-13-000-0031 • 41-41-43-31-13-000-0032 • 41-41-43-31-13-020-0000 • 41-41-43-31-13-012-0000 • 41-41-43-31-13-019-0010 • 41-41-43-31-13-005-0000 • 41-41-43-31-13-019-0031 • 41-41-43-31-13-019-0032 • 41-41-43-31-13-009-0000 • 41-41-43-31-13-003-0010 • 41-41-43-31-13-003-0020 • 41-41-43-31-13-019-0010 • 41-41-43-31-13-006-0000 • 41-41-43-31-13-007-0000 |

| | |
|--------------------------------------------|---------------------------------------------------------------------------|
| | <ul style="list-style-type: none"> 41-41-43-31-13-019-0010 |
| Parcel Address: | N/A |
| Parcel Acreage: | 89.953 acres |
| General Control Number– Assigned by Staff: | |

II. SITE DATA

| | |
|-----------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Current Land Use: | Existing Conditions: Commercial; Vacant Approved PUD: 103,000 SF Commercial Low; 44,000 SF of Commercial Low, Professional Office, and Medical Office; 128-bed Assisted Living Facility |
| Current FLU: | Multiple Land Use (MLU) |
| Current Zoning: | Multiple Use Planned Development District (MUPD) |
| Proposed Land Use: | 103,000 SF Commercial Low and 95 lodging units; 44,000 SF of Commercial Low, Professional Office, and Medical Office; only Town Commons use allowed in Institutional Land Use. |
| Proposed FLU: | No change |
| Proposed Zoning: | No change |
| Frontage: | Southern Blvd, "B" Road, "C" Road |
| Plat, Subdivision, Legal Lot of Record: | Groves Town Center PUD, Plat Book 128, Page 66 Groves Town Center PUD Amendment No 1, Plat Book 132, Page 134 |

III. OWNER INFORMATION

| | Owner A | Owner B |
|-------------------------|--------------------------------------|-------------------------------------------|
| Owner's Name: | Loxahatchee Equestrian Partners, LLC | Solar Sportsystems, Inc. |
| Owner's Street Address: | 5730 Corporate Way, Suite 120 | 250 Delaware Avenue, Law Dept. 12th Floor |
| City, State, Zip: | West Palm Beach, Florida 33407 | Buffalo, New York 14202 |
| Phone Number: | 305.755.5825 | 305.755.5828 |
| E-Mail Address: | Matthew.Barnes@wginc.com | Matthew.Barnes@wginc.com |

V. AGENT INFORMATION

| | |
|---------------------------|-------------------------------------------|
| Agent Name: | Matthew Barnes |
| Organization/Company: | WGI, Inc. |
| Agent's Street Address: | 2035 Vista Parkway |
| City, State, Zip: | West Palm Beach, FL, 33411 |
| Phone Number: | (561) 687-2220 (561) 713-1687 (direct) |
| E-Mail Address: | Matthew.Barnes@wginc.com |
| Relationship to Property: | Agent |

VI. REQUIRED ATTACHMENTS:

| | |
|---|----------------------------------------------------------------------|
| A | Legal Description, Warranty Deed and Parcel Control Numbers |
| B | Certified and Sealed Survey Dated Within One Year |
| C | Statement of Use and Justification |
| D | Applicant's Ownership Affidavit |
| E | Agent Consent Form (This form is available on the Town's webpage) |
| F | Applicant's Notice Affidavit and Property appraiser Information List |

VII. ADDITIONAL APPLICATION(S) SUBMITTED:

| APPLICATION | SUBMITTED (Yes/No) | DATE RECEIVED |
|--------------------------------------------|------------------------|---------------|
| Abandonment | | |
| Annexation | | |
| Comprehensive Plan Amendment (Large Scale) | Yes (text amendment) | |
| Comprehensive Plan Amendment (Small Scale) | | |
| Conditional Use | | |
| Plat | | |
| Site Plan | Yes (Pod TC for hotel) | |
| Site Plan Amendment | | |
| Category A Special Exception | | |
| Category B Special Exception | | |
| Category C Special Exception | | |
| Special Exception Amendment | | |
| Special Exception – Planned Development | | |

| | | |
|----------------------|-----|--|
| Zoning Map Change | | |
| Zoning Text Change | | |
| Variance | | |
| Other: PUD Amendment | Yes | |

Office Use Area

This/these application(s) does/do not become valid until signed by an authorized representative of the Town of Loxahatchee Groves and all fees and receipt acknowledged below:

Date: _____ Application Number(s): _____

Planning and Zoning Official

Date Application Received for processing _____ or Returned _____

Attachment A
Legal Description, Warranty Deed and PCN's

The applicant is required to provide a legal description, Warranty Deed and a list of all included parcel control numbers (PCNs).

ATTACHMENT A

LEGAL DESCRIPTION

All of the Groves Town Center PUD Amendment No. 1 Plat as recorded in Plat Book 134, Pages 134 – 138 of the Official Records of Palm Beach County. Together with Pod A of the Groves Town Center PUD Plat as recorded in Plat Book 66, Pages 66 – 70 of the Official Records of Palm Beach County,

Shack 4. South Palm Beach County

WC 84

CFN 20070363085
OR BK 21979 PG 0431
RECORDED 07/30/2007 10:27:31
Palm Beach County, Florida
AMT 10.00
Doc Stamp 0.70
Sharon R. Bock, CLERK & COMPTROLLER
Pgs 0431 - 432; (2pgs)

W/C TRI-COUNTY FOR:

RECORD & RETURN TO:

PREPARED BY: ELIZABETH GREATON STEPHANY, Esq.
Greaton and Greaton
P.O. Box 39238
Fort Lauderdale, Florida 33339
Telephone: (954) 561-0313

GRANTOR: WILSON B. GREATON, JR., AS TRUSTEE UNDER THE PROVISIONS
OF AN UNRECORDED TRUST U/A/D 8/08/1989

GRANTEE: LOXAHATCHEE EQUESTRIAN PARTNERS, LLC

QUIT-CLAIM DEED

THIS QUIT-CLAIM DEED, executed this 27 day of July,
2007, by WILSON B. GREATON, JR., AS TRUSTEE UNDER THE PROVISIONS OF
AN UNRECORDED TRUST U/A/D 8/08/1989, Grantor, to LOXAHATCHEE
EQUESTRIAN PARTNERS, LLC, whose post office address is c/o Legal
Dept., Delaware North Companies, Inc., 40 Fountain Plaza, Buffalo, NY 14202,
Grantee:

WITNESSETH, that the said Grantor, for and in consideration of
the sum of Ten and no 00 Dollars (\$10.00) in hand paid by the
Grantee for the said Grantee, the receipt whereof is hereby
acknowledged, does hereby remise, release and quit-claim unto the
said Grantee forever, all the right, title, interest, claim and
demand which the said Grantor has in and to the following described
lot, piece or parcel of land, situate, lying and being in the
County of Palm Beach and State of Florida, to-wit:

THE SOUTH 1000 FEET OF TRACT 4, BLOCK I, LOXAHATCHEE
GROVES, ACCORDING TO THE PLAT THEREOF ON FILE IN THE
OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM
BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 12, PAGE 29;
SAID LANDS SITUATE IN PALM BEACH COUNTY, FLORIDA, AND
LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF SOUTHERN
BOULEVARD (STATE ROAD 80) AS ESTABLISHED BY RIGHT-OF-
WAY DEED RECORDED IN OFFICIAL RECORD BOOK 1005,
PAGE 577, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA

GRANTOR HEREIN AFFIRMS THAT THE PROPERTY CONVEYED HEREIN
IS VACANT LAND AND NOT HIS HOMESTEAD AND THAT HE AND HIS
FAMILY RESIDE AT 4510 N.E. 23 AVENUE, FORT LAUDERDALE,
FLORIDA 33308.

FOLIO NO. 00-41-43-17-01-804-0030

To Have and to Hold the same together with all and singular
the appurtenances thereunto belonging or in anywise appertaining,
and all the estate, right, title, interest, lien, equity and claim
whatsoever of the said Grantor, either in law or equity, to the
only proper use, benefit and behoof of the said Grantee forever.

In Witness Whereof, the said Grantor has signed and sealed
these presents the day and year first above written.

Elizabeth H. Greaton
ELIZABETH GREATON STEPHANY
Linda Moller
LINDA MOLLER

Wilson B. Greaton, Jr.
WILSON B. GREATON, JR., AS TRUSTEE
UNDER THE PROVISIONS OF AN UNRECORDED
TRUST U/A/D 8/08/1989
P. O. BOX 39238
FORT LAUDERDALE, FL 33339

STATE OF FLORIDA)
 : ss.
COUNTY OF BROWARD)

Acknowledged before me this 27 day of July, 2007, by
WILSON B. GREATER, JR., AS TRUSTEE UNDER THE PROVISIONS OF AN
UNRECORDED TRUST U/A/D 8/08/1989, who is personally known to me.

Linda Moller

LINDA MOLLER, Notary Public
State of Florida at Large

My Commission No. is:
My Commission Expires:



Prepared by and return to
LAWRENCE M FUCHS

FUCHS AND JONES, P A
590 Royal Palm Beach Blvd
Royal Palm Beach, FL 33411
561-793-0600
File Number 08-158
Will Call No 80

Parcel Identification No 41-41-43-17-01-805-0010

CFN 20080380819
OR BK 22911 PG 0821
RECORDED 10/17/2008 12:10.44
Palm Beach County, Florida
AMT 10 00
Doc Stamp 0.70
Sharon R. Bock, CLERK & COMPTROLLER
Pg 0821; (1pg)

[Space Above This Line For Recording Data]

Corrective Warranty Deed

(STATUTORY FORM SECTION 689 02 F S)

This Indenture made effective the 20th day of June, 2008 between SOUTHERN LOXAHATCHEE GROVES, LLC, a Florida limited liability company whose post office address is 1059 B Road, Loxahatchee, FL 33470 of the County of Palm Beach, State of Florida, grantor*, and SOLAR SPORTSYSTEMS, INC, a New York corporation authorized to do business in the State of Florida whose post office address is 40 Fountain Plaza, Buffalo, NY 14202 of the County of Erie, State of New York, grantee*.

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10 00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Palm Beach County, Florida, to-wit

Lot 5, Block "I", Loxahatchee Groves, lying North of State Road 80, according to the plat thereof as recorded in Plat Book 12, Page(s) 29, Public Records of Palm Beach County, Florida, LESS AND EXCEPT that portion for State Road 80, as described in the Order of Taking in O R Book 5463, Page 1126, Public Records of Palm Beach County, Florida

Subject to Restrictions, Reservations and Easements of Record and Ad Valorem Real Property Taxes for 2008 and subsequent years

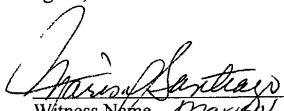
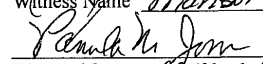
THIS CORRECTIVE DEED IS TO CORRECT SCRIVENER ERROR OF THE CORPORATE ENTITY TYPE OF THE GRANTEE IN THE ORIGINAL RECORDED WARRANTY DEED AT OFFICIAL RECORD BOOK 22713, PAGE 1486 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA DOCUMENTARY STAMPS WERE PAID AT THE TIME OF THE ORIGINAL RECORDING

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever

* "Grantor" and "Grantee" are used for singular or plural as context requires

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written

Signed, sealed and delivered in our presence


Witness Name MARIA SANTIAGO

Witness Name PAMELA M. JONES

SOUTHERN LOXAHATCHEE GROVES, LLC, a Florida limited liability company

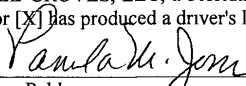
By 
SUNDAR HEERAMAN, Managing Member

(Corporate Seal)

State of Florida
County of Palm Beach


The foregoing instrument was acknowledged before me this 10th day of October, 2008 by SUNDAR HEERAMAN, Managing Member of SOUTHERN LOXAHATCHEE GROVES, LLC, a Florida limited liability company, on behalf of the corporation He/she ☐ is personally known to me or ☒ has produced a driver's license as identification

[Notary Seal]


Notary Public

Printed Name

My Commission Expires


Pamela M. Jones
Commission # DD418263
Expires May 20, 2009
Bonded Tray Pain Insurance Inc 800-345-7010

DoubleTimee

Doc Stamps (\$42,000.00)

CFN 20080238950
OR BK 22719 PG 1286
RECORDED 06/24/2008 16:00:18
Palm Beach County, Florida
AMT 6,000,000.00
Doc Stamp 42,000.00
Sharon R. Bock, CLERK & COMPTROLLER
Pgs 1286 - 1287; (2pgs)

THIS INSTRUMENT PREPARED BY AND RETURN TO:
Pat Rylee, CLC
PRODUCERS TITLE SERVICES, LLC
1402 ROYAL PALM BEACH BLVD. BUILDING # 300, SUITE D
ROYAL PALM BEACH, FL 33411
Property Appraisers Parcel Identification (Folio) Numbers: 41-41-43-17-01-806-0010

Space above This Line for Recording Data

THIS WARRANTY DEED, made the 20th day of June, 2008 by WELLINGTON PRESBYTERIAN CHURCH, INC., a Florida not for profit corp., whose post office address is 1000 WELLINGTON TRACE, WELLINGTON, FL 33414 herein called the grantor, to SOLAR SPORTSYSTEMS, INC, A FOREIGN FOR PROFIT CORPORATION, whose post office address is 40 FOUNTAIN PLAZA, BUFFALO, NY 14202, hereinafter called the Grantee:
(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, alien, remises, releases, conveys and confirms unto the grantee all that certain land situate in PALM BEACH County, State of Florida, viz.:

See Legal Description attached hereto and made a part of hereof known as Exhibit 'A'

Subject to covenants, restrictions, conditions and easements of record, if any.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2007.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Pat Rylee
Witness #1 Signature

Pat Rylee
Witness #1 Printed Name

Bonnie L. Taylor
Witness #2 Signature

Bonnie L. Taylor
Witness #2 Printed Name

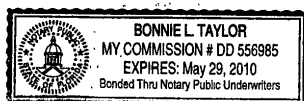
Wellington Presbyterian Church, Inc.,
A Florida Not For Profit Corporation

R. Greg Smith, President
R. Greg Smith, President

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me this 20th day of June, 2008 by R. GREG SMITH, PRESIDENT OF WELLINGTON PRESBYTERIAN CHURCH, INC., who is personally known to me or has produced Drivers License as identification.

SEAL



My Commission Expires

Bonnie L. Taylor
Notary Public
Bonnie L. Taylor
Printed Notary Name

EXHIBIT 'A'

TRACT 6, BLOCK "I", OF LOXAHATCHEE GROVES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 12, PAGE 29, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LESS AND EXCEPT:

THAT PORTION FOR STATE ROAD 80, AS DESCRIBED IN ORDER OF TAKING RECORDED IN OFFICIAL RECORD BOOK 5463, PAGE 1126, AND THAT PORTION OF THE RIGHT-OF-WAY DEED RECORDED IN DEED BOOK 1005, PAGE 577, ALL OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

AND

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BEGINNING AT THE INTERSECTION OF THE PLATTED EAST LINE OF TRACT 6, BLOCK "I" ACCORDING TO THE PLAT OF LOXAHATCHEE GROVES, AS RECORDED IN PLAT BOOK 12, PAGE 29, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, AND THE NORTHERLY RIGHT-OF-WAY LINE OF SOUTHERN BOULEVARD (STATE ROAD 80) ACCORDING TO THE FDOT RIGHT-OF-WAY MAP, SECTION 93120.3528, SHEET 5 OF 13, DATED 1986, THENCE, NORTH 88° 26' 32" WEST, ALONG THE NORTHERLY RIGHT-OF-WAY OF SOUTHERN BOULEVARD, 66.16 FEET; THENCE, NORTH 39° 58' 31" WEST, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF "C" ROAD, ACCORDING TO THE FDOT RIGHT-OF-WAY MAP, 33.14 FEET, TO A POINT OF CURVATURE; THENCE, NORTHERLY ALONG THE ARC OF A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 202.00 FEET AND A CENTRAL ANGLE OF 46° 54' 52", AN ARC LENGTH OF 165.40 FEET TO THE PLATTED EASTERLY LINE OF TRACT 6, BLOCK "I"; THENCE, SOUTH 02° 09' 47" WEST, ALONG THE PLATTED EAST LINE OF TRACT 6, BLOCK "I", 158.23 FEET TO THE POINT OF BEGINNING.

PCN List

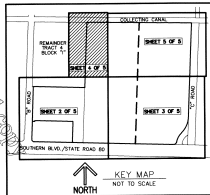
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- 41-41-43-31-12-001-0020
- 41-41-43-31-12-001-0030
- 41-41-43-31-12-012-0031
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- 41-41-43-31-13-002-0020
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- 41-41-43-31-13-019-0020
- 41-41-43-31-13-000-0031
- 41-41-43-31-13-000-0032
- 41-41-43-31-13-020-0000
- 41-41-43-31-13-012-0000
- 41-41-43-31-13-019-0010
- 41-41-43-31-13-005-0000
- 41-41-43-31-13-019-0031
- 41-41-43-31-13-019-0032
- 41-41-43-31-13-009-0000
- 41-41-43-31-13-003-0010
- 41-41-43-31-13-003-0020
- 41-41-43-31-13-019-0010
- 41-41-43-31-13-006-0000
- 41-41-43-31-13-007-0000
- 41-41-43-31-13-019-0010

Attachment B.
Certified and Sealed Survey Dated Within Two Years

Copy of most recent recorded plat is substituted for survey

THIS INSTRUMENT PREPARED BY
RONNIE L. FURNISS

CAULFIELD and WHEELER, INC.
SURVEYORS - ENGINEERS - PLANNERS
7301-N WEST PALMETTO PARK ROAD, SUITE 100A
BOCA RATON, FLORIDA 33433 - (561)392-1991
LB #3591



NOTES

COORDINATES, BEARINGS AND DISTANCES
COORDINATES SHOWN ARE GRID
DATUM = NAD 83 2011 ADJUSTMENT
ZONE = FLORIDA
LINEAR UNIT = US SURVEY FEET
COORDINATE SYSTEM TWO STATE PLANE
TRANSVERSE MERCATOR PROJECTION
ALL DISTANCES ARE GROUND
SCALE FACTOR = 1.00000
GROUND DISTANCE x SCALE FACTOR = GRID DISTANCE
ELEVATION DATA FROM
SOUTH BAY 13-34 EAST (PLAT)
SOUTH BAY 13-34 EAST (GRID)
PLAT TO GRID BEARING = 000°00'00" CLOCKWISE
COORDINATES SHOWN ON THE CONTROL PLANS MEET OR
EXCEED THE LOCAL ACCURACY REQUIREMENTS OF 4 ± 2
CENTIMETER GEODETIC CONTROL SURVEY.
COORDINATE VALUES SHOWN ARE PER
SHOW TRUST BOUNDARY 2.4
PLAT BOOK 116, PAGE 26

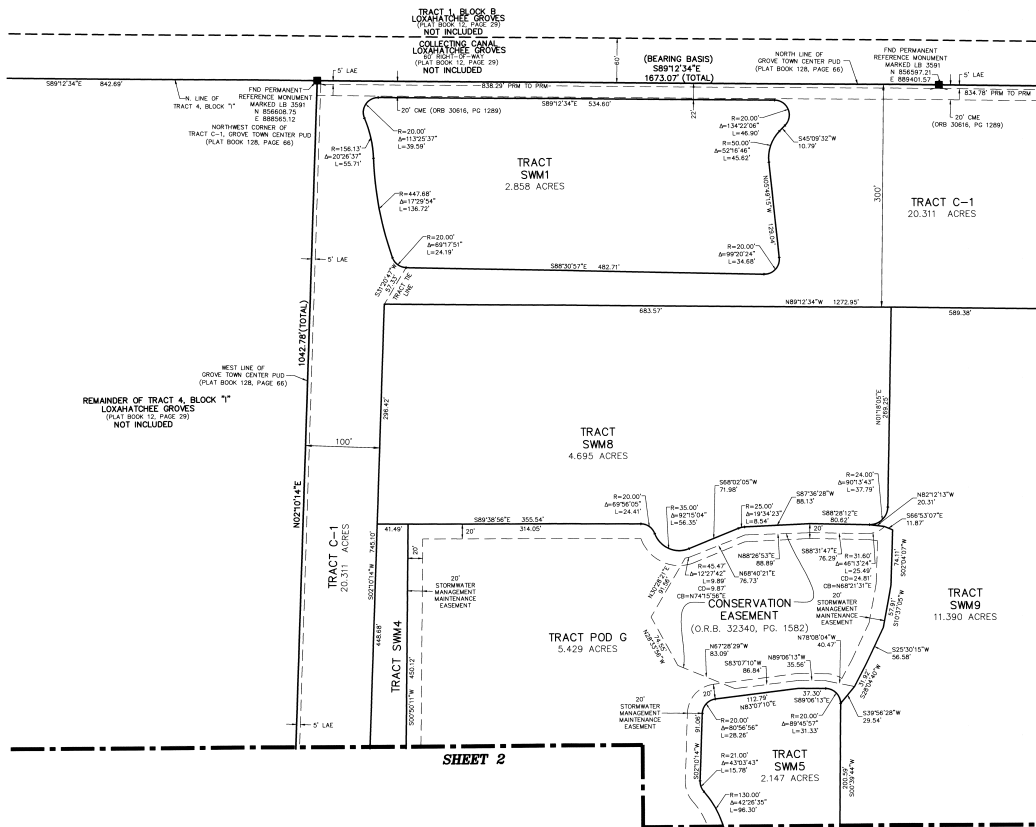


LEGEND:

BM - BENCHMARK
CME - CANAL MAINTENANCE EASEMENT
F.D.O.T. - FLORIDA DEPARTMENT OF TRANSPORTATION
FNO - FLOOD
LAE - DENOTES LIMITED ACCESS EASEMENT
LBS - LICENSED BUSINESS
LRE - DENOTES LANDSCAPE BUFFER EASEMENT
N.T.S. - DENOTES NOT TO SCALE
NAD 83 - NORTH AMERICAN DATUM OF 1983
NAD 83 - NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
O.R.B. - DENOTES OFFICIAL RECORDS BOOK
(P) - DENOTES PLAT
P.B. - DENOTES PLAT BOOK
PRICK - PALM BEACH COUNTY UTILITY EASEMENT
PG. - DENOTES PAGE
A - DENOTES DELTA (CENTRAL ANGLE)
L - DENOTES ARC LENGTH
R - DENOTES RADIUS
R/W - DENOTES RIGHT-OF-WAY
SF - DENOTES SQUARE FEET
SR - DENOTES STATE ROAD
UE - DENOTES UTILITY EASEMENT
P.L.M. - INDICATES 4" x 4" x 24" PERMANENT
REFERENCE MONUMENT MARKED LB 3591,
UNLESS OTHERWISE NOTED
- INDICATES NGS SURVEY BENCHMARK
- DENOTES PERMANENT CONTROL POINT

GROVES TOWN CENTER PUD AMENDMENT NO. 1

BEING A REPLAT OF GROVES TOWN CENTER PUD, LESS TRACT POD A AND LESS TRACT LB3, ACCORDING TO THE PLAT THEREOF
AS RECORDED IN PLAT BOOK 128, PAGE 66, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.
LYING IN SECTION 31, TOWNSHIP 43 SOUTH, RANGE 41 EAST, THE TOWN OF LOXAHATCHEE GROVES, PALM BEACH COUNTY, FLORIDA



SHEET 2

SHEET 3

SHEET 4 OF 5

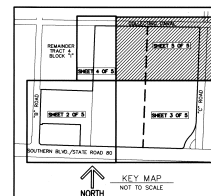
SHEET 5

137

certified copy

138

SHEET 5 OF 5



LEGEND:
 BM - BENCHMARK
 CMC - CANAL MAINTENANCE EASEMENT
 F.O.I. - FLORIDA DEPARTMENT OF TRANSPORTATION
 FLD - FLOODPLAIN
 FLR - FLORIDA POWER & LIGHT
 FLS - FLORIDA SATELLITE ACCESS EASEMENT
 LB - LICENSED BUSINESS
 LBE - LICENSED LANDSCAPE BUFFER EASEMENT
 N.T.S. - DENOTES NOT TO SCALE
 N.D. - DENOTES NATIONAL GEOGRAPHIC VERTICAL DATUM OF 1929
 N.A.S. - NORTH AMERICAN STANDARD DATUM OF 1983 (NAD 83)
 O.R.B. - DENOTES OFFICIAL RECORDS BOOK
 P.B. - DENOTES PLAT BOOK
 PBL - DENOTES PLAT BOOK
 PBLR - PALM BEACH COUNTY UTILITY EASEMENT
 R - DENOTES RADIUS
 A - DENOTES DELTA (CENTRAL ANGLE)
 L - DENOTES MIN. LENGTH
 R - DENOTES RADIUS
 R/W - DENOTES RIGHT-OF-WAY
 SQ - DENOTES SQUARE FEET
 S.N. - DENOTES STATE STREET
 UD - INDICATES UTILITY EASEMENT
 P.R.M. - DENOTES PERMANENT RIGHT-OF-WAY
 REFERENCE MONUMENT MARKED LB 3591, 1/4" = 1' 0" PERMANENT
 REFERENCE MONUMENT MARKED LB 3591, 1/4" = 1' 0" PERMANENT
 S - INDICATES N.S. SURVEY BENCHMARK
 S - DENOTES PERMANENT CONTROL POINT

ATTACHMENT C

STATEMENT OF USE GROVES TOWN CENTER PUD

The proposed Conceptual Master Plan, same as the approved Conceptual Master Plan, establishes a commercial center along Southern Boulevard, providing convenient shopping and access to professional services to the Town's residents. It is designed to complement the rural character of the area and to encourage economic development and job creation. The Conceptual Master Plan is consistent with and implements the Town's approval of Applicant's previous request for a Large Scale Land Use Amendment for the subject property (Ordinance Number 2011-017), which amended the site's Future Land Use designation from Rural Residential to Multiple Land Use, and the most recent PUD modification approved via Ordinance 2019-08.

DEVELOPMENT PROGRAM

Groves Town Center PUD was first approved in 2013 per Ord. 2013-010 following a future land use amendment and rezoning. Two amendments have since been approved in 2018 per Ord. 2018-08 and in 2019 per Ord. 2019-08. The Groves Town Center PUD has been approved for a maximum of 103,000 square feet of commercial low, 44,000 square feet of commercial low professional office and medical office, a 128-bed congregate living facility and a Town Commons use.

The impetus for the requested change to the PUD Master Plan is a shared desire by the Applicant and the Town to remove the congregate living facility land use and allow a lodging use and simultaneously move the Town Commons use within the Master Plan to Pod G, which is the Pod that the congregate living facility is currently allowed on. Market conditions have changed since the PUD was first contemplated in 2011 and it no longer makes economic sense to build a congregate living facility while at the same time the demand for lodging along Southern Blvd in the Town has increased. Furthermore, the location of the proposed lodging use makes more sense in the TC Pod, as opposed to Pod G, which is closer to the existing residential neighborhood on the north side of Collecting Canal Road. As demonstrated on the enclosed map of hotels, the closest hotel to the Town is the Royal Inn Hotel (rated as a 2-star hotel by Google) which is approximately 3.5 miles away to the east. There are only nine hotels west of or adjacent to the Turnpike between Okeechobee Blvd and Lake Worth Road. There is a strong need for a hotel in the western reaches of the County.

The proposed swap of the congregate living facility land use for a lodging land use requires a Text Amendment to Special Policy 1.15.2 of the Future Land Use Element of the Comprehensive Plan because Special Policy 1.15.2 specifically enumerates that the Institutional Land Use category only allows a 128-bed congregate living facility and lodging uses are not mentioned. The other uses allowed in the PUD are not changing.

The proposed Master Plan is still divided into commercial, office and institutional pods consistent with Special Policy 1.15.2 and consistent with the provisions of the Town's Planned Unit Development Ordinance. It provides for interconnectivity among the various parcels within the site.

The other aspects of the PUD Conceptual Master Plan that were previously approved are not changing with this proposed PUD amendment. In other words, the configuration of the PUD Conceptual Master Plan in terms of the development pods and roads remains the same as the previously approved Conceptual Master Plan and Plat. The Conceptual Master Plan provides for natural areas, open space and landscape buffers that achieve the Town's Objectives and Policies and provide consistency with the Town's Rural Vista Guidelines. The Conceptual Master Plan maintains a twenty-five (25) foot wide landscape buffer adjacent to Southern Boulevard and it maintains the three hundred (300) foot buffer predominantly along the northern and eastern boundaries of the site and one hundred (100) foot buffer abutting the western and northern boundary. As per the previously approved site plan for the equestrian trail (Resolution 2018-84) a ten (10) foot wide equestrian trail has been constructed within the one hundred (100) foot and three hundred (300) foot buffers.

A site plan for the Town Commons use on Pod G has also been submitted. Parking for the Town Commons is proposed to occur on stabilized grass or gravel areas. The revised Master Plan provides a connection from the equestrian trail to the Town Commons so that people could ride their horses to events in the Town Commons.

Same as before, each proposed Pod within the project will be subject to individual site plan approval processes for individual users, allowing the Applicant and the Town to achieve further compliance with the Town's Rural Vista Guidelines and Land Development Regulations. This will assure that the appropriate setbacks, buffers, building designs, architectural treatments, pedestrian amenities, and other such features are incorporated within the site to further preserve, promote and reflect the Town's rural character.

The Applicant acknowledges that the project is subject to the permitting requirements of the Town's Native Tree Preservation, Soil Stabilization and Invasive Exotic Removal Ordinance and intends, to the fullest extent possible, to plan the project around the existing tree canopy, which shall preserve the natural beauty of the existing eco-system, consistent with the Town's objectives and the Rural Vista Guidelines.

The total proposed floor area of the uses in the proposed Conceptual Master Plan is the same as the approved Master Plan, which is 103,000 square feet of commercial low retail and 44,000 square feet of commercial low professional and medical office.

Nothing in the proposed revisions to the Conceptual Master Plan affects what was previously approved for Pod A via Resolution 2018-83.

Existing Uses of Adjacent Lands

To the south of the Groves Town Center is property within the Village of Wellington that is used as an elementary school and single-family residential.











To the west of the Groves Town Center, on the west side of B Road is a shopping center and on the east side of B Road are three properties whose uses range from Ag Equestrian to Miscellaneous Ag.

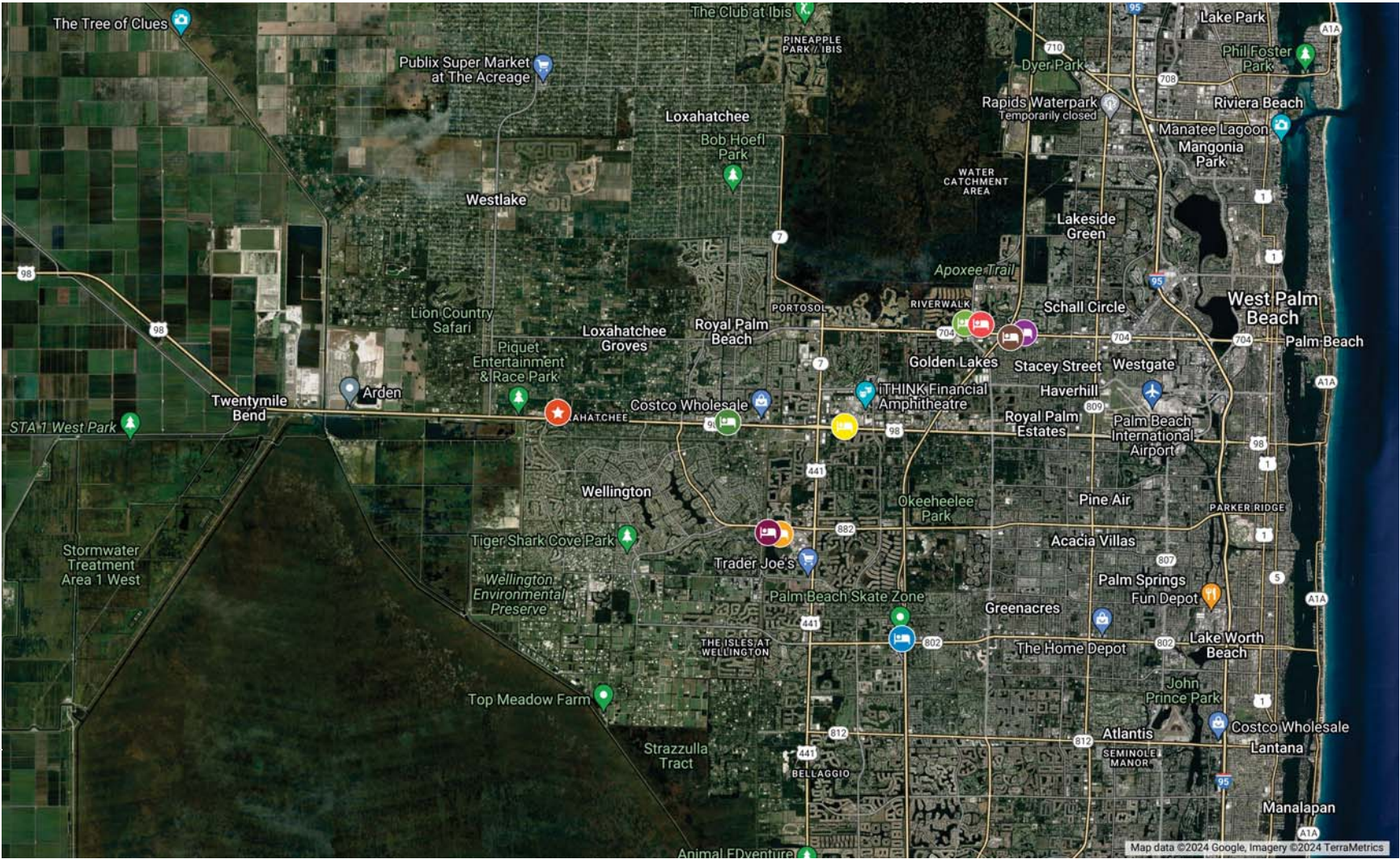
To the north of the Groves Town Center are six single-family homes.

To the east of the Groves Town Center is one single-family home and numerous vacant, undeveloped parcels.

Hotels Near Loxahatchee FL

Hotels

-  (122 Rooms)
Hampton Inn & Suites
Wellington
-  (104 Rooms)
Hampton Inn West Palm
Beach-Lake Worth-Turnpike
-  (107 Rooms)
Fairfield Inn & Suites by
Marriott Wellington-West Palm
Beach
-  (60 Rooms)
Pioneer Inn
-  (103 Rooms)
Royal Inn Hotel
-  (125 Rooms)
Fairfield Inn & Suites by
Marriott West Palm Beach
-  (122 Rooms)
WoodSpring Suites West Palm
Beach
-  (114 Rooms)
La Quinta Inn by Wyndham
West Palm Beach - Florida
Turnpike
-  (110 Rooms)
Hampton Inn West Palm Beach
Florida Turnpike
-  (91 Rooms)
Groves Town Center Hotel



**JUSTIFICATION STATEMENT
GROVES TOWN CENTER
PUD Amendment, Rezoning, and Comprehensive Plan Text Amendment**

REQUEST

On behalf of the Applicant, WGI is requesting the following:

- **Rezoning and PUD Amendment** to change the 128-bed congregate living facility use to a 95-room hotel, to relocate the Town Commons from Pod TC to Pod G, change the uses in Pod TC to lodging and commercial, reflect supplemental changes to the master plan in order to match the plat and other issued permits and amend conditions of approval of the Master Plan Ordinance; and
- **Comprehensive Plan Text Amendment** to change Special Policy 1.15.2 to reflect the change of permitted uses from a 128-bed congregate living facility to a 95-bedroom hotel.

SITE CHARACTERISTICS

Groves Town Center PUD is a 90-acre planned unit development with a future land use designation of Multiple Land Use (MLU) and a Zoning classification of Multiple Use Planned Development (MUPD). It is on the northeast corner of southern Boulevard and “B” Road and fronts three roads – Southern Boulevard, “B” Road, and “C” Road. It is comprised of 29 parcels listed in Table 1. The majority of the PUD is vacant with the exception of the southwest corner, where construction has begun on the first two commercial pods.

Figure 1. Aerial of the subject site





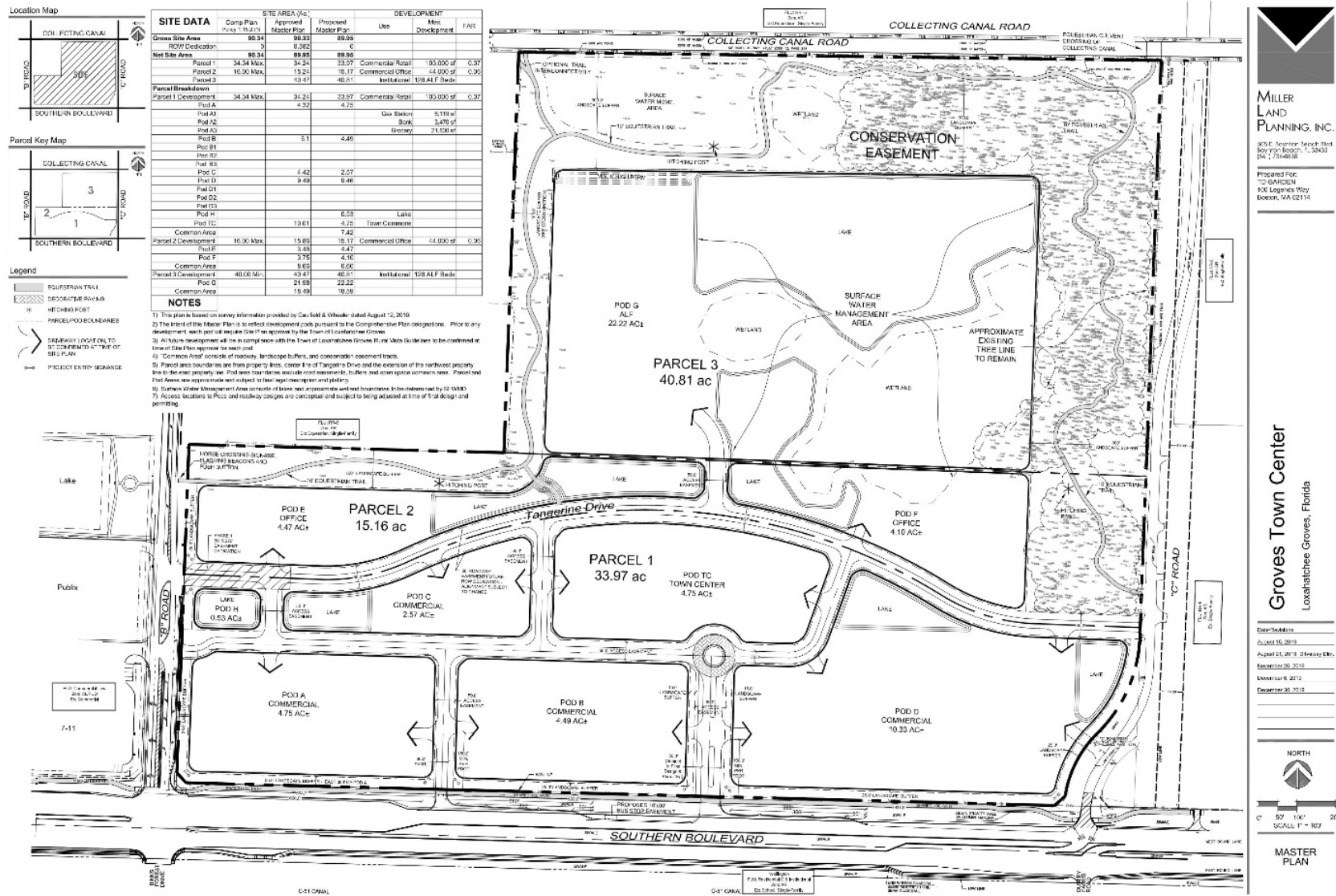
| Table 1. Parcel IDs | |
|---------------------|-------------------------|
| Tract/Pod* | PCN |
| Pod A | 41-41-43-31-12-001-0010 |
| | 41-41-43-31-12-001-0020 |
| | 41-41-43-31-12-001-0030 |
| Tract LB3 | 41-41-43-31-12-012-0031 |
| | 41-41-43-31-12-012-0032 |
| | 41-41-43-31-12-012-0033 |
| Tract AE | 41-41-43-31-13-001-0010 |
| | 41-41-43-31-13-001-0020 |
| Tract Pod B-2 | 41-41-43-31-13-002-0020 |
| Tract Pod B-1 | 41-41-43-31-13-002-0010 |
| | 41-41-43-31-13-002-0030 |
| Tract Pod D | 41-41-43-31-13-004-0000 |
| Tract SWM 10 | 41-41-43-31-13-019-0020 |
| Tract SWM 2 | |
| Tract Pod C | 41-41-43-31-13-000-0031 |
| | 41-41-43-31-13-000-0032 |
| Tract Pod TC | 41-41-43-31-13-020-0000 |
| Tract LS | 41-41-43-31-13-012-0000 |
| Tract SWM 6 | 41-41-43-31-13-019-0010 |
| Tract SWM 7 | |
| Tract SWM 9 | |
| Tract SWM 4 | |
| Tract SWM 1 | |
| Tract Pod E | 41-41-43-31-13-005-0000 |
| Tract SWM 3 | 41-41-43-31-13-019-0031 |
| | 41-41-43-31-13-019-0032 |
| Pod I | 41-41-43-31-13-009-0000 |
| Tract C-1 | 41-41-43-31-13-003-0010 |
| | 41-41-43-31-13-003-0020 |
| Tract SWM 5 | 41-41-43-31-13-019-0010 |
| Tract Pod F | 41-41-43-31-13-006-0000 |
| Tract Pod G | 41-41-43-31-13-007-0000 |
| Tract SWM 8 | 41-41-43-31-13-019-0010 |

*Tract/Pod names are as provided in the *Groves Town Center PUD Plat* and the *Groves Town Center Amendment No. 1 Plat*

DEVELOPMENT PROGRAM

Groves Town Center PUD was first approved in 2013 per Ord. 2013-010 following a future land use amendment and rezoning. Two amendments have since been approved in 2018 per Ord. 2018-08 and in 2019 per Ord. 2019-08. Figure 2. is the most recently approved Master Plan. Per Ord. 2019-08 and *Special Policy 1.15.2* of the Town of Loxahatchee Groves Comprehensive Plan, the Groves Town Center PUD has been approved for a maximum of 103,000 square feet of commercial low, 44,000 square feet of commercial low professional office and medical office, a 128-bed congregate living facility and a Town Commons use.

Figure 2. Existing Groves Town Center Master Plan





The proposed amendment removes the 128-bed congregate living facility from Pod G and replaces it with a 95-room hotel in Pod TC and relocates the Town Commons use from Pod TC to Pod G as shown in Figure 3. The proposed amendment will also amend *Special Policy 1.15.2* of the Town's Comprehensive Plan to remove the 128-bed congregate living facility and add a 95-room hotel to the criteria of the Policy.

The change of use from congregate living facility to hotel and relocation of the Town Commons is consistent with the original Future Land Use Amendment approved via Ord. 2011-017 to change the Future Land Use of Groves Town Center from Rural Residential to Multiple Land Use, the Town's objectives and policies, Rural Vista Guidelines, and PUD's intent of establishing a commercial center along Southern Boulevard. The hotel will provide lodging for visitors with access to surrounding commercial uses along Southern Boulevard and equestrian facilities in the Town and neighboring communities. Its location in Pod TC means that visitors can easily access commercial uses in surrounding commercial pods, which will promote commercial and economic growth along the Southern Blvd corridor where such growth is directed. By continuing to direct commercial growth along Southern Blvd, the Town's agricultural and rural character away from Southern Blvd will be protected. Data has been collected and submitted that shows on a per room basis a hotel is a smaller building than a congregate living facility. Therefore, a 95-room hotel compared to a 128-bed congregate living facility would typically be a smaller building.

The following are the proposed changes to the conditions of approval for the PUD Master Plan ordinance:

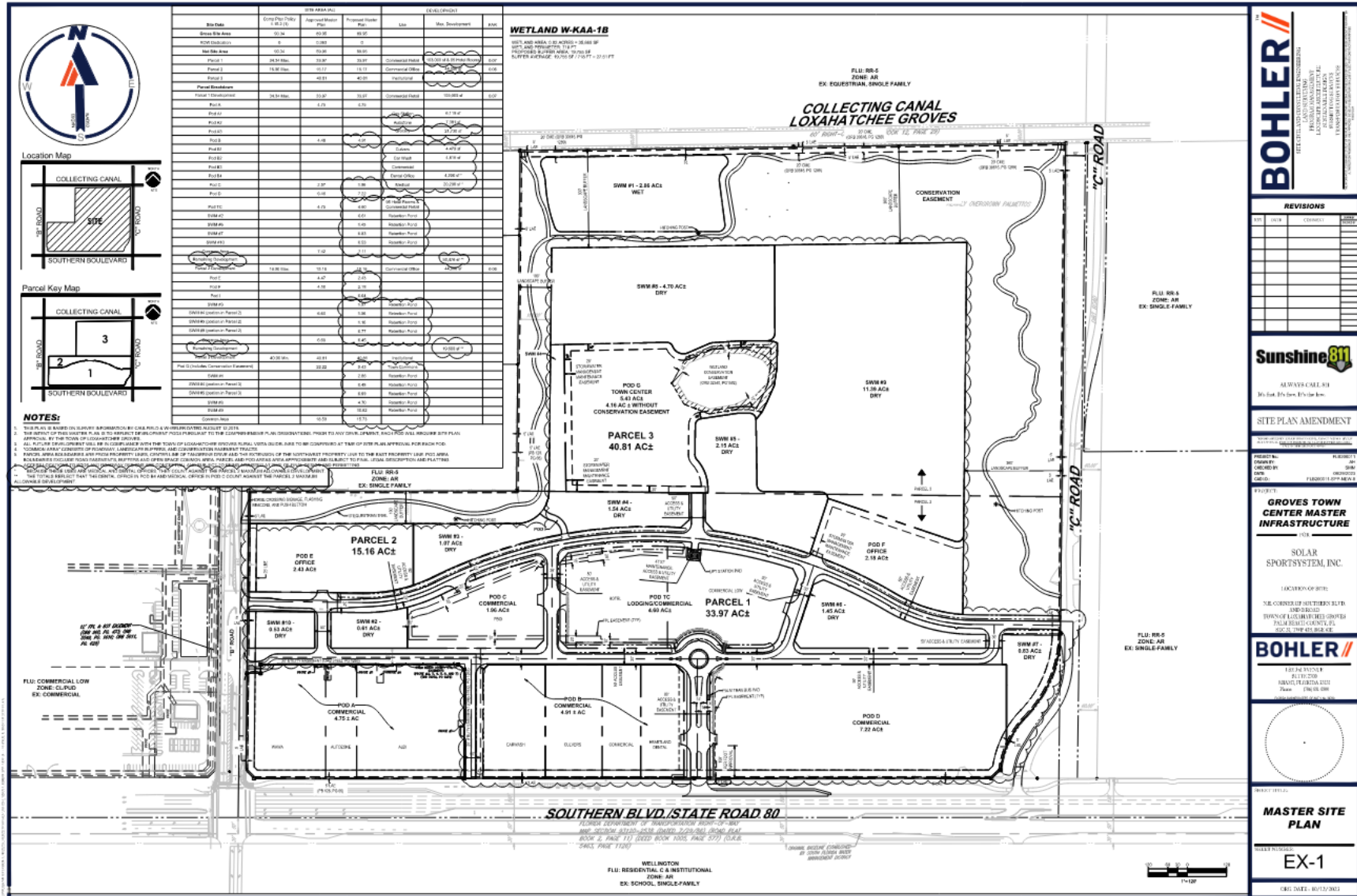
- A.2 Insert new date of Master Plan and new application number
- A.3 Insert new date of Master Plan
- B.1 Change 128-bed assisted living facility to 95-room hotel and insert new date of Master Plan
- B.2 Delete condition because a site plan for the equestrian trails was approved
- B.4 Delete condition because the plat was recorded
- B.7 Delete condition because the improvement agreement was approved
- B.9 Change Pod TC to Pod G and insert new date of the Town Commons site plan
- B.10 Delete condition because Town Council approved the Stormwater Management Area
- C.1 Change the buildout date to reflect the most recent extension of the buildout date
- C.2 Note two items as having been completed
- C.6.a Delete condition because the item has been completed
- C.6.b Delete condition because the item has been completed
- C.8 Insert new date of Master Plan
- C.9 Noting that the conceptual drainage plan for the entire PUD as been completed
- C.10 Delete the condition because it has been completed
- C.11 Delete the condition because it has been completed
- D.6 Delete the condition because it has been completed
- E.1 Delete the condition because it has been completed
- E.2 Delete the condition because it has been completed
- E.3 Delete the condition because it has been completed
- E.4 Delete the condition because it has been completed
- E.5 Delete the condition because it has been completed
- E.6 Remove reference to assisted living facility
- G. Delete the condition because a master sign plan is not being contemplated any longer
- H.3 Add waiver to allow the hotel to exceed a height of 35 feet



- H.4 Add waiver to allow the hotel to have parking spaces that are 9' wide and 19' long and to have ADA accessible parking spaces that meet the federal requirements for size in lieu of the Town's larger dimensions for ADA spaces
- H.5 Add waiver to allow the hotel to have drive aisle widths of 24 feet instead of 28 feet
- H.6 Add waiver to allow the hotel to have a loading space that is located within the porte cochere
- H.7 Add waiver to allow an existing sidewalk on Pod TC to be setback less than the minimum required setback of 10 feet
- H.8 Add waiver to allow the Institutional use of the Town Commons on Pod G to exceed the maximum plot size of five acres



Figure 3. Proposed Groves Town Center Master Plan





CONSISTENCY WITH REZONING CRITERIA

Per Sec. 160-020 of Loxahatchee Grove's Unified Land Development Code, the following criteria have been met:

- **The request is consistent with the Town's Comprehensive Plan:**

- *Goal 1: Loxahatchee Groves will continue to protect its natural environment and rural character in the midst of an urbanizing region. The Town will continue to be a rural residential and agricultural community that has a great respect for lifestyle choices balanced with historical community needs.*

The requests for a change of use and relocation of the Town Center maintains the protection of the Town's natural environment and rural character by putting the commercial lodging use closer to Southern Blvd and putting the institutional use of the Town Commons in Pod G, which is closer to the back of the PUD.

- *Objective 1.1: The Town shall designate future land uses with appropriate uses, densities and intensities that will protect residential and agricultural land uses and encourage limited economic development.*

The requests propose appropriate uses and intensities. Market conditions have changed since the PUD was first contemplated in 2011 and it no longer makes economic sense to build a congregate living facility while at the same time the demand for lodging along Southern Blvd in the Town has increased. Furthermore, the location of the proposed lodging use makes more sense in the TC Pod, as opposed to Pod G, which is closer to the existing residential neighborhood on the north side of Collecting Canal Road.

- *Objective 1.2: The Town shall support development of rural-style commercial center along the Southern Boulevard Corridor.*

The requests support a rural-style commercial center along the Southern Boulevard Corridor. As with all development within the Groves Town Center PUD, the hotel will follow the Town's Rural Vista Design Guidelines.

- *Policy 1.12.3: The Town shall encourage development of a rural-style commercial center along the Southern Boulevard Corridor to provide a center of accessible shopping, recreation, and employment opportunities for Loxahatchee Groves' residents.*

The requests further the development of a rural-style commercial center along the Southern Boulevard Corridor to provide a center of accessible shopping, recreation, employment and now lodging opportunities for the Town's residents and visitors.

- ***The request would not give privileges not generally extended to similarly situated property in the area, or result in an isolated district unrelated to adjacent or nearby districts:***

The requests do not give privileges not generally extended to similarly situated property in the area or result in an isolated district unrelated to adjacent or nearby districts.



- ***An error or ambiguity must be corrected:***

The congregate living facility use was not favored by the Town or the Applicant, therefore, the request for a change of use from congregate living facility to hotel addresses this ambiguity.

- ***That there exists changed or changing conditions which make approval of the request appropriate:***

Market conditions have changed since the PUD was first contemplated in 2011 and it no longer makes economic sense to build a congregate living facility while at the same time the demand for lodging along Southern Blvd in the Town has increased.

- ***That substantial reasons exist why the property cannot be used in accordance with the existing zoning:***

Market conditions have changed since the PUD was first contemplated in 2011 and it no longer makes economic sense to build a congregate living facility while at the same time the demand for lodging along Southern Blvd in the Town has increased. Neither the Town nor the Applicant desire to have a congregate living facility in the PUD.

- ***That the rezoning is appropriate for the orderly development of the Town and is compatible with existing and conforming adjacent land uses and planned adjacent land uses:***

The location of the proposed lodging use makes more sense in the TC Pod, as opposed to Pod G, which is closer to the existing residential neighborhood on the north side of Collecting Canal Road.

CONCLUSION

The proposed PUD amendment, Rezoning, and Comprehensive Plan Text Amendment are all consistent with the Town of Loxahatchee Groves Comprehensive Plan and Rezoning criteria. The change of use from a 128-bed congregate living facility to 95-room hotel and relocation of the Town Commons to Pod G and transformation of Pod TC into Lodging and Commercial uses will continue to establish a rural commercial center along Southern Boulevard while protecting the rural and agricultural character of the Town. Based on this justification, Applicant respectfully requests approval of a **Rezoning** and **PUD Amendment** to change the congregate living facility use to a lodging use and to relocate the Town Commons use to Pod G and change the uses in Pod TC to lodging and commercial and a **Comprehensive Plan Text Amendment** to amend *Special Policy 1.15.2* to reflect the change of use from the 128-bed congregate living facility to a 95-room hotel.

Sincerely,

A handwritten signature in blue ink that reads "Matthew Barnes".

Matthew Barnes, AICP
Senior Project Manager

**Attachment D
Owner/Applicant Affidavit**

**STATE OF FLORIDA
COUNTY OF PALM BEACH**

BEFORE ME THIS DAY PERSONALLY APPEARED Matthew Barnes, WHO
BEING DULY SWORN, DEPOSES AND SAYS THAT:

1. He/she is the owner, or the owner's authorized Applicant, of the real property legally described in Attachment A;
2. He/she understands any application fee(s) is/are non-refundable and in no way guarantees approval of the request;
3. The statements within the application are true, complete and accurate;
4. He/she understands that all information within the application is subject to verification by Town staff;
5. He/she understands that false statements may result in denial of the application; and
6. He/she understands that he/she may be required to provide additional information and fees within a prescribed time period and that failure to provide the information and fees within the prescribed time period may result in the denial of the application.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 29th day of September 2023
by Matthew Barnes (Name of Person Acknowledging) who is personally
known to me or who has produced (type of identification) as
identification and who did (did not) take an oath.

[Signature]
(Signature of Person Taking Acknowledgement)

Alicia Joseph
(Name of Acknowledger Typed, Printed or Stamped)

Notary
(Title or Rank)

HH118672
(Serial Number, if any)

Matthew Barnes

Applicant's Signature

Matthew Barnes
Applicant's Name (Print)

2035 Vista Parkway
Street Address

West Palm Beach, FL, 33411
City, State, Zip Code

(561) 713 1687
Telephone



**Attachment E
Agent Consent Form**

STATE OF New York
COUNTY OF Erie

BEFORE ME THIS DAY PERSONALLY APPEARED Daniel J. Zimmer, WHO
BEING DULY SWORN, DEPOSES AND SAYS THAT:

- A. He/she is the owner of the real property legally described in Attachment A;
- B. He/she authorizes and designates WGI, Inc. and Bohler Engineering to act in his/her behalf for the purposes of seeking the following approvals for the real property legally described in Attachment A;
1. PUD modification
 2. Comprehensive Plan Text Amendment
 3. Site Plan
- C. He/she has examined the above listed application(s) and he/she understands how the proposed change may affect the real property legally described in Attachment A.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 10 day of October, 2023
by Daniel J. Zimmer (Name of Person Acknowledging) who is personally
known to me or who has produced _____ (type of identification) as
identification and who did (did not) take an oath.

Marilyn B. Rochwarger
(Signature of Person Taking Acknowledgement)

(Name of Acknowledger Typed, Printed or Stamped)

(Title or Rank)

(Serial Number, if any)

(Notary's Seal)

MARILYN B. ROCHWARGER
No. 01RO4639925
Notary Public, State of New York
Qualified in Erie County
My Commission Expires 03/30/2026

Solar Sportsystems, Inc.

By: [Signature]

Owner's Signature

Daniel J. Zimmer
Owner's Name (Print)

250 Delaware Avenue
Street Address

Buffalo, NY 14202
City, State, Zip Code

(716) 858-5208
Telephone

Attachment F.
Applicant's Notice Affidavit and Property Appraiser List

STATE OF FLORIDA
COUNTY OF PALM
BEACH

_____ /

BEFORE ME THIS DAY PERSONALLY APPEARED Matthew Barnes, WHO
BEING DULY SWORN, DEPOSES AND SAYS THAT:

1. He/she is the owner, or the owner's authorized agent, of the real property legally described in Attachment A;
2. The accompanying Property Owners List is, to the best of his/her knowledge, a complete and accurate list of all property owners, mailing addresses and property control numbers as recorded in the latest official tax rolls for all property within one thousand (1000) feet of the real property described in Attachment A, or all property within one thousand (1000) feet of all contiguous property owned whole or in part by the owner of the real property described in Attachment A, if applicable; and
3. He/she will cause the real property described in Attachment A to be posted with a notice of public hearing on a sign provided by the Town in accordance with the requirements of Article 115 of the Town's Unified Land Development Code.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 29th day of September, 2023 by Matthew Barnes (Name of Person Acknowledging) who is personally known to me or who has produced _____ (type of identification) as identification and who did (did not) take an oath.

[Signature]
(Signature of Person Taking Acknowledgement)

Alicia Joseph
(Name of Acknowledger Typed, Printed or Stamped)

Notary
(Title or Rank)

HH 118672
(Serial Number, if any)

(Notary's Seal)



ALICIA JOSEPH
Commission # HH 118672
Expires April 19, 2025
Bonded Thru Budget Notary Services

Matthew Barnes
Applicant's Signature

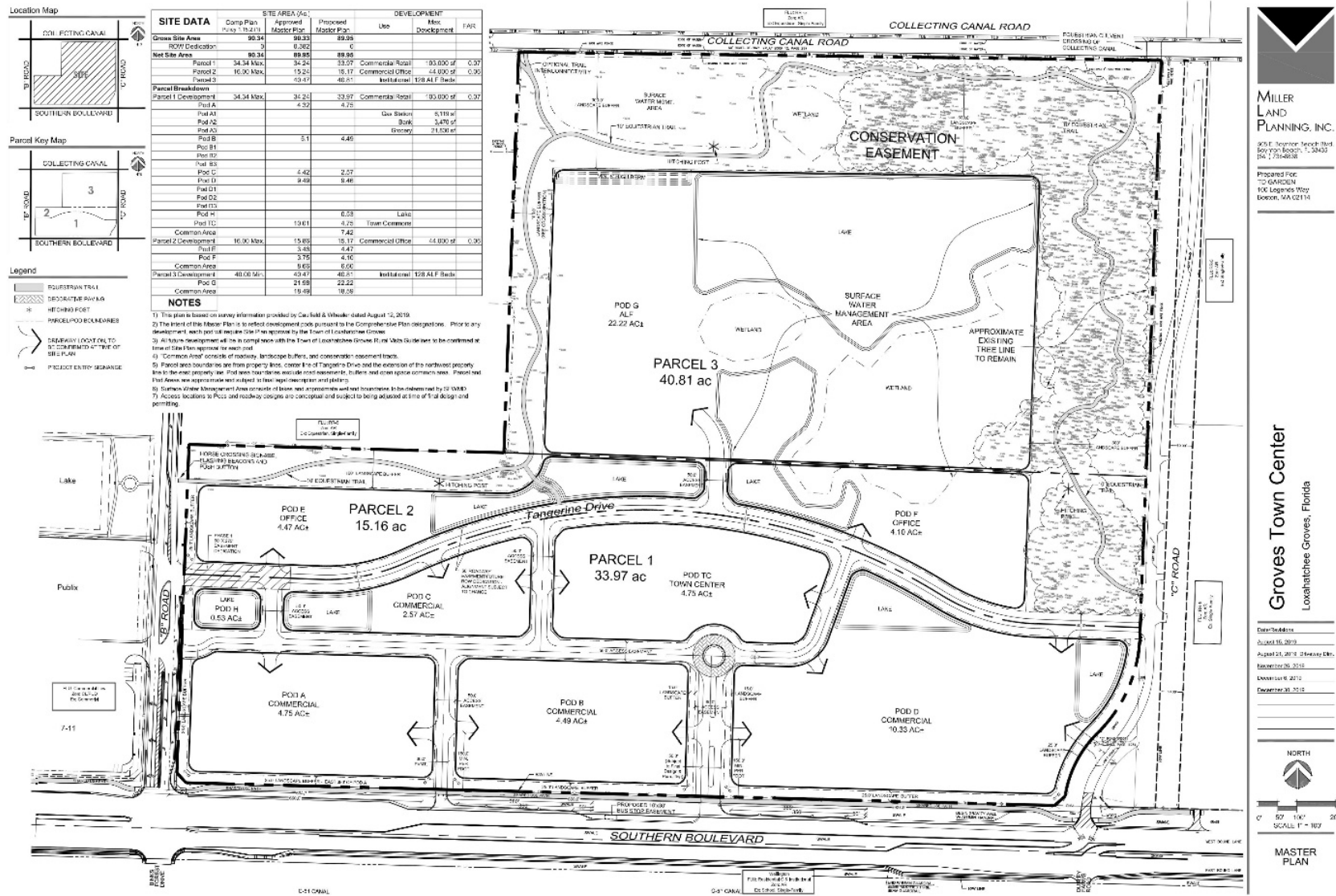
Matthew Barnes
Applicant's Name (Print)

2035 Vista Parkway
Street Address

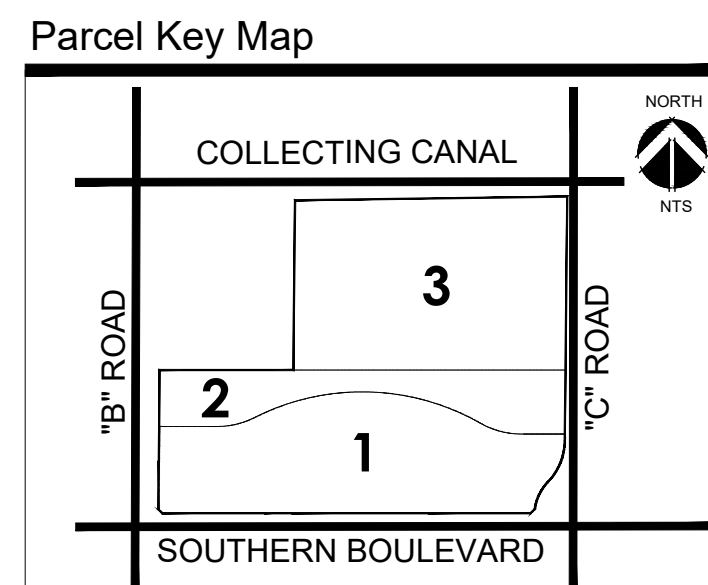
West Palm Beach, FL, 33411
City, State, Zip Code

(561) 713 1687
Telephone

Figure 2. Existing Groves Town Center Master Plan



ATTACHMENT 5 – Proposed Master Plan



| | SITE AREA (Ac) | | | DEVELOPMENT | | |
|----------------------------------------|-----------------------------|----------------------|----------------------|------------------------------------|-----------------------------|------|
| Site Data | Comp Plan Policy 1.15.2 (1) | Approved Master Plan | Proposed Master Plan | Use | Max. Development | FAR |
| Gross Site Area | 90.34 | 89.95 | 89.95 | | | |
| ROW Dedication | 0 | 0.383 | 0 | | | |
| Net Site Area | 90.34 | 89.95 | 89.95 | | | |
| Parcel 1 | 34.34 Max. | 33.97 | 33.97 | Commercial Retail | 103,000 sf & 95 Hotel Rooms | 0.07 |
| Parcel 2 | 16.00 Max. | 15.17 | 15.17 | Commercial Office | 44,000 sf | 0.06 |
| Parcel 3 | | 40.81 | 40.81 | Institutional | | |
| Parcel Breakdown | | | | | | |
| Parcel 1 Development | 34.34 Max. | 33.97 | 33.97 | Commercial Retail | 103,000 sf | 0.07 |
| Pod A | | 4.75 | 4.75 | | | |
| Pod A1 | | | | Gas Station | 6,119 sf | |
| Pod A2 | | | | AutoZone | 7,381 sf | |
| Pod A3 | | | | Grocery | 21,730 sf | |
| Pod B | | 4.49 | 4.91 | | | |
| Pod B1 | | | | Culvers | 4,479 sf | |
| Pod B2 | | | | Car Wash | 4,815 sf | |
| Pod B3 | | | | Commercial | | |
| Pod B4 | | | | Dental Office | 4,200 sf * | |
| Pod C | | 2.57 | 1.96 | | | |
| Pod D | | 9.46 | 7.22 | | | |
| Pod TC | | 4.75 | 4.60 | 95 Hotel Rooms & Commercial Retail | | |
| SWM #2 | | | 0.61 | Retention Pond | | |
| SWM #6 | | | 1.45 | Retention Pond | | |
| SWM #7 | | | 0.83 | Retention Pond | | |
| SWM #10 | | | 0.53 | Retention Pond | | |
| Common Area | | 7.42 | 7.11 | | | |
| Remaining Development | | | | | 58,476 sf ** | |
| Parcel 2 Development | 16.00 Max. | 15.16 | 15.16 | Commercial Office | 44,000 sf | 0.06 |
| Pod E | | 4.47 | 2.43 | | | |
| Pod F | | 4.10 | 2.18 | | | |
| Pod I | | | 0.04 | | | |
| SWM #3 | | | 1.07 | Retention Pond | | |
| SWM #4 (portion in Parcel 2) | | 6.60 | 1.06 | Retention Pond | | |
| SWM #5 (portion in Parcel 2) | | | 1.16 | Retention Pond | | |
| SWM #9 (portion in Parcel 2) | | | 0.77 | Retention Pond | | |
| Common Area | | 6.60 | 6.45 | | | |
| Remaining Development | | | | | 19,600 sf ** | |
| Parcel 3 Development | 40.00 Min. | 40.81 | 40.81 | Institutional | | |
| Pod G (Includes Conservation Easement) | | 22.22 | 5.43 | Town Commons | | |
| SWM #1 | | | 2.86 | Retention Pond | | |
| SWM #4 (portion in Parcel 3) | | | 0.48 | Retention Pond | | |
| SWM #5 (portion in Parcel 3) | | | 0.99 | Retention Pond | | |
| SWM #8 | | | 4.70 | Retention Pond | | |
| SWM #9 | | | 10.62 | Retention Pond | | |
| Common Area | | 18.59 | 15.73 | | | |

NOTES:

1. THIS PLAN IS BASED ON SURVEY INFORMATION BY CAULFIELD & WHEELER DATED AUGUST 12, 2019.
2. THE INTENT OF THIS MASTER PLAN IS TO REFLECT DEVELOPMENT PODS PURSUANT TO THE COMPREHENSIVE PLANNING DESIGNATIONS. PRIOR TO ANY DEVELOPMENT, EACH POD WILL REQUIRE SITE PLAN
3. APPROVAL BY THE TOWN OF LOXAHATCHEE GROVES.
4. ALL FUTURE DEVELOPMENT WILL BE IN COMPLIANCE WITH THE TOWN OF LOXAHATCHEE GROVES RURAL VISTA GUIDELINES TO BE CONFIRMED AT TIME OF SITE PLAN APPROVAL FOR EACH POD.
5. "COMMON AREA" CONSISTS OF ROADWAY, LANDSCAPE BUFFERS, AND CONSERVATION EASEMENT TRACTS.
6. PARCEL AREA BOUNDARIES ARE FROM PROPERTY LINES, CENTER LINE OF TANGERINE DRIVE AND THE EXTENSION OF THE NORTHWEST PROPERTY LINE TO THE EAST PROPERTY LINE. POD AREA
7. ARE CALCULATED FROM PARCEL BOUNDARIES, BUFFERS AND OFF-SPACE COMMON AREAS. PARCEL AREA APPROXIMATE AND SUBJECT TO FINAL LEGAL DESCRIPTION AND PLATTING.
8. ACCESS LOCATIONS TO PODS AND ROADWAY DESIGNS ARE CONCEPTUAL AND SUBJECT TO BEING ADJUSTED AT THE TIME OF FINAL DESIGN AND PERMITTING.
9. * BECAUSE THESE USES ARE MEDICAL AND DENTAL OFFICES, THEY COUNT AGAINST THE PARCEL 2 MAXIMUM ALLOWABLE DEVELOPMENT.
10. THE TOTALS REFLECT THAT THE DENTAL OFFICE IN POD B4 AND MEDICAL OFFICE IN POD C COUNT AGAINST THE PARCEL 2 MAXIMUM
11. ALLOWABLE DEVELOPMENT.
- FLU: RR-5
ZONE: AR

FLU: RR-5
ZONE: AR
SINGLE FAMILY

FLU: COMMERCIAL LOW
ZONE: CL/PUD
EX: COMMERCIAL

WETLAND W-KAA-1B

WETLAND AREA: 0.82 ACRES = 35,869 SF
WETLAND PERIMETER: 718 FT
PROPOSED BUFFER AREA: 19,755 SF
BUFFER AVERAGE: 19,755 SF / 718 FT = 27.51 FT

FLU: RR-5
ZONE: AR
EX: EQUESTRIAN, SINGLE FAMILY

COLLECTING CANAL LOXAHATCHEE GROVES

FLU: RR-5
ZONE: AR
EX: SINGLE-FAMILY

FLU: RR-5
ZONE: AR
EX: SINGLE-FAMILY

SOUTHERN BLVD./STATE ROAD 80

FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY
MAP SECTION 93120-2538 (DATED 7/29/86) (ROAD PLAT
BOOK 2, PAGE 11) (DEED BOOK 1005, PAGE 577) (O.R.B.
5463, PAGE 1126)

WELLINGTON
FLU: RESIDENTIAL C & INSTITUTIONAL
ZONE: AR
EX: SCHOOL, SINGLE-FAMILY

The Bohler logo is located in the bottom right corner of the page. It consists of the word "BOHLER" in a large, bold, dark blue sans-serif font. To the right of the word is a stylized graphic element consisting of two parallel, slanted orange lines. Above the word "BOHLER" is a small "TM" trademark symbol.

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SITE PLAN AMENDMENT

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW
AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT
UNLESS INDICATED OTHERWISE.

PROJECT No.: FLB200011
DRAWN BY: AH
CHECKED BY: SMM
DATE: 09/29/2023
CAD I.D.: FLB200011-SPP-NEW-0

PROJECT:

GROVES TOWN CENTER MASTER INFRASTRUCTURE

_____ FOR _____

SOLAR
SPORTSYSTEM, INC.

LOCATION OF SITE:

N.E. CORNER OF SOUTHERN BLVD.
AND B ROAD
TOWN OF LOXAHATCHEE GROVES
PALM BEACH COUNTY, FL
SEC 31, TWP 43S, RGE 41E

BOHLER //

1 SE 3rd AVENUE
SUITE 2700
MIAMI, FLORIDA 33131
Phone: (786) 681-0800

FLORIDA BUSINESS CERT. OF AUTH. No. 30768

SHEET TITLE:

MASTER SITE PLAN

SHEET NUMBER:

EX-1

ORG. DATE - 10/12/2023

ATTACHMENT 5 – Proposed Amendments, Conditions of Approval (est. via Ord. 2019-008)

TOWN OF LOXAHATCHEE GROVES

ORDINANCE NO. 202_-__

GROVES TOWN CENTER CONDITIONS OF APPROVAL

The conditions of approval included in Ordinance 2019-08 are hereby rescinded and replaced by the following conditions of approval. Text underlined are additions to Ordinance 2019-08 and text ~~struck through~~ are deletions to Ordinance 2019-08.

A. GENERAL

1. The conditions of approval herein shall apply to the Owner, Applicant and their successors and assigns.

2. Final site plans shall conform to the Conceptual Master Plan dated ~~December 30, 2019~~ [INSERT NEW DATE] and the PUD Justification Narrative included in Attachment 9 of the ~~MLU/PUD General Application REZ 2019-01~~, included by reference herein. Any modifications to the approved Conceptual Master Plan or PUD Justification Narrative must be approved by the Town Council unless the proposed changes are required to meet conditions of approval or are required for compliance with the ULDC.

3. Any subdivision by fee title conveyance of an internal lot which is subject to a final site plan approval shall have received prior written approval by the Town Manager based upon the application of criteria contained in Section 41.1.E.4.b of the Town Unified Land Development Code. Provided, however, that any subdivision by fee title conveyance of an internal lot shall reflect the Pod uses and boundaries depicted on the Conceptual Master Plan dated ~~December 30, 2019~~ [INSERT NEW DATE]. Any revision of a Pod use and/or boundary, as depicted on the Conceptual Master Plan dated ~~December 30, 2019~~ [INSERT NEW DATE], shall require a PUD Amendment prior to subdivision by fee title conveyance.

4. Prior to submitting the initial site plan approval application and all subsequent site plan applications, the Applicant shall contact Palm Tran to obtain written confirmation regarding the need for a bus stop on Southern Boulevard. Palm Tran's response shall be included in the site plan application.

B. LAND USE AND SITE PLANNING

1. Development of the site shall be limited to ~~a maximum of:~~ Commercial Low (CL) — maximum of 34.34 acres and 103,000 sq. ft. of retail commercial space low uses and 95 lodging units; Commercial Low Office — maximum of 16.0 acres and 44,000 sq. ft. of commercial low professional office and medical office commercial space uses; and Institutional — minimum of 40.0 acres a 128-bed assisted living facility and institutional uses consisting of a Public Park (Town Commons), consistent with the Conceptual Master Plan dated December 30, 2019 [INSERT NEW DATE]. Development intensity of lodging uses to be regulated by combination of number of rooms, building height, and lot coverage rather than FAR.

TOWN OF LOXAHATCHEE GROVES

ORDINANCE NO. 202_-__

~~2. A separate site plan pursuant to ULDC Article 155 for the 100-foot and 300-foot wide buffer areas along the northern and eastern property boundaries, including the location of equestrian trails, was approved by the Town Council via Resolution 2018-84. [COMPLETED]~~

3. The Restrictive Covenant and Limited Access Easement, recorded with the Palm Beach County Clerk of Courts in Official Records Book 30616, Page 1289 shall limit the use and management of the 300-foot wide buffer areas along the northern and eastern property lines and the 100-foot wide buffer areas along the western and northern property lines, as described therein.

~~4. A boundary plat was recorded in Plat Book 128, Page 66 of the Official Records of Palm Beach County depicting the following four geographies: (1) The entirety of the Groves Town Center property; (2) the area included within the 300-foot and 100-foot buffer areas, (3) the area included within Commercial Pod A; and (4) the area included within that portion of Groves Town Center not included within areas (2) and (3). Another plat depicting the remainder of the Pods and all road tracts and/or easements shall be recorded prior to the issuance of the first building permit for any development in a Pod other than Pod A. [COMPLETED]~~

5. Potentially objectionable features (e.g. mechanical equipment, loading/delivery areas, storage areas, dumpsters, and compactors, etc.) shall be indicated on project site plans and screened from public view.

6. All on-site deliveries during construction shall be made from project entrances off of Southern Boulevard.

~~7. An Improvement Agreement, pursuant to ULDC Section 100-060 (C), to address all required roadway, drainage and equestrian trail improvements lying within or adjacent to the Groves Town Center PUD shall be approved by the Town Council prior to issuance of the initial building permit of the first phase of development. [COMPLETED]~~

8. The following perimeter landscaped buffers shall be provided: a 25-foot buffer, including a berm, along Southern Boulevard; a 25-foot buffer, including a berm, along "C" Road south of Tangerine Drive; and a 25-foot buffer, including a berm, along "B" Road.

9. The Town Commons (Pod ~~TC~~ G) shown on the Conceptual Master Plan dated ~~November 26, 2019~~ [INSERT NEW DATE] will remain owned by the Applicant and their successors and assigns and maintenance of the Town Commons is the responsibility of the Applicant. Scheduling uses for the Town Commons is the responsibility of the Town. The Town may use the Town Commons at any time the Town sees fit, subject to compliance with the ULDC. The Town Commons may be rented or leased to any individual person(s) and/or business(es) for temporary uses, subject to compliance with the ULDC and any Town permitting requirements. Any party that uses the Town Commons is responsible for cleaning up after the event and returning the Town Commons to the same condition the Town Commons was in before the party used the Town Commons.

~~10. The Stormwater Management Area (SMA) located in the conservation easement as shown on the Conceptual Master Plan dated December 30, 2019 is subject to further review and~~

TOWN OF LOXAHATCHEE GROVES

ORDINANCE NO. 202_-__

~~approval by the Town Engineer to confirm that the proposed stormwater management facilities provide water quality and stormwater recharge improvements to the Town. The Town Council approval of the Conceptual Master Plan dated December 30, 2019 serves as Town Council consent to construct the SMA pursuant to Section 3.a.(ii) and 3.d of the Restrictive Covenant and Limited Access and Conservation Easement recorded in ORB 30616, PG 1289 of the Official Records of Palm Beach County. Prior to the issuance of a permit by the Town for construction of the SMA, the Town Engineer shall review the plans and confirm that the SMA provides for the intended stormwater improvements for the Town and will make a recommendation for Town Council approval. [COMPLETED]~~

C. ENGINEERING

1. In order to comply with the Mandatory Traffic Performance Standards in place at the time of this approval, no building permits for the site shall be issued after ~~December 31, 2022~~ November 29, 2029. Additional time extensions for this condition may be approved by the Palm Beach County Engineer based upon an approved traffic study which complies with Mandatory Traffic Performance Standards in place at the time of the request, or upon a request based upon a Declaration of Emergency by the Governor of Florida.

2. In order to comply with the Mandatory Traffic Performance Standards Review dated August 30, 2018, no building permits for development generating more than 282 peak hour directional trips shall be issued until the developer provides an additional southbound left-turn lane [has been built and only needs to be un-stripped, which will commence in August of 2024] and an additional eastbound left-turn lane [~~under construction with widening of Southern Blvd~~ COMPLETED] and appropriate receiving lane [~~already built~~ COMPLETED] at the intersection of Southern Boulevard and Binks Forest Drive/B Road. Any signal modifications required to accommodate these changes will also be the responsibility of the property owner, including, but not limited to design plans, any required utility relocation, right-of-way or easement acquisition, etc. Note these changes will also require FDOT consent.

3. Any future modification of Condition C.2 shall be based upon a Traffic Study approved by the Palm Beach County Traffic Division which complies with Mandatory TPS in place at the time of the modification. Modifications to Conditions of Approval based upon such future TPS Review shall be submitted to the Town pursuant to ULDC Section 155-025 *Site plan modification*.

4. The property owner shall obtain a conceptual approval letter from FDOT for any proposed driveway on Southern Boulevard when submitting a site plan to the Town. FDOT approval of driveways onto Southern Boulevard shall be obtained when individual site plan applications are made to the Town.

5. Acceptable surety for the design, right of way acquisition, construction engineering and inspection costs, as well as the construction for the offsite road improvements as outlined in Condition No. 2 shall be posted with the County Traffic Division prior to or within six months of Development Order Approval. Surety in the amount of 110% shall be based upon a Certified Cost

TOWN OF LOXAHATCHEE GROVES

ORDINANCE NO. 202_-__

Estimate provided by the Developer's Engineer and approved by the County Engineer. At any time during the duration of the surety the County Engineer shall have the authority to determine that sufficient progress has not been made for any and all required work. In the event such a determination is made, Palm Beach County shall have the right to request funds be drawn for the surety (surety drawn) and Palm Beach County may then complete all required work. The County Engineer shall also have the authority to require that the surety amount be updated to reflect current anticipated costs at any time during the duration of the surety.

6. As per the expected turning movement volumes at the driveways, the following exclusive turn lanes are required:

a. ~~Northbound right turn lane at the southern driveway on B Road. This improvement has been completed~~ COMPLETED.

b. ~~Southbound left turn lane at the northern driveway on B Road. This improvement has been completed~~ COMPLETED.

c. Westbound right-turn lanes at all driveways on Southern Boulevard. Though the amount of turning volumes by itself may not meet the threshold for a right-turn lane on Southern Boulevard driveways, they must be provided due to high speed of traffic at this location.

7. C Road shall be constructed as a continuous 2-lane paved roadway between Southern Boulevard and Tangerine Drive in conjunction with the development of Pod D or F, whichever occurs first. Stormwater attenuation and water quality treatment shall be provided for C Road (Adjacent to the project site) and Tangerine Drive (Within the site) within the onsite stormwater management system. The Town shall be given the right, but not the obligation, to maintain Tangerine Drive and associated drainage facilities.

8. Any future realignment of either or both of the "B" Road access drives, as indicated on the Conceptual Master Plan dated ~~December 30, 2019~~ [INSERT NEW DATE], shall require approval by the Town's Consulting and Transportation Engineers.

9. ~~A conceptual drainage plan for the entirety of the Groves Town Center PUD, including the provision of legal positive outfall for the Pod A development and the existing temporary drainage pond shall be prepared and approved by the Town Engineer prior to the first certificate of occupancy for Pod A~~ (COMPLETED). Legal positive outfall for future phases or pods of development shall be provided prior to the first certificate of occupancy for each future phase or pod.

10. ~~Prior to issuance of the first building permit, the necessary easements and agreements for legal positive outfall and stormwater attenuation (temporary or permanent) shall be recorded.~~ COMPLETED

TOWN OF LOXAHATCHEE GROVES

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11. ~~Prior to the first CO for any building, legal positive outfall shall be constructed and certified by the engineer of record allowing discharge from the previously installed temporary drainage area for B Road, as well as all future development.~~ COMPLETED

12. All drainage improvements shall be completed and certified by the engineer of record.

D. LAND CLEARING AND LANDSCAPING

1. Prior to any land clearing activities within any phase or pod, the property owner shall comply with the permit requirements of the Loxahatchee Groves Native Tree Preservation, Soil Stabilization and Invasive Exotic Removal regulations (ULDC Article 87).

2. In conjunction with an initial site plan application for any development phase or pod, the property owner shall submit a Landscape Plan application to the Town for review and approval pursuant to ULDC Article 85 for that phase or pod.

3. Prior to any land clearing activities for any phase or pod, a wetlands determination shall be procured from the South Florida Water Management District and/or U.S. Army Corps of Engineers for that phase or pod. Any proposed impacts upon jurisdictional wetlands shall require permits or authorizations from the South Florida Water Management district or U.S. Army Corps of Engineers.

4. Prior to the permitting of any land clearing, development or earthmoving activities for any phase or pod, a Phase 1 Archaeological Survey of the property shall be completed for that phase or pod.

5. Native plants shall be identified, pursuant to the requirements of the Loxahatchee Groves Native Tree Preservation, Soil Stabilization and Invasive Exotic Removal regulations (ULDC Article 87), and retained to the extent possible.

6. ~~Clearing of Collecting Canal Easement—The Owner shall clear 20 feet along the south side of Collecting Canal in conjunction with construction of the equestrian trail per Condition E.4.~~ COMPLETED

E. ROADWAY EQUESTRIAN TRAILS AND GREENWAYS

1. ~~The equestrian trails depicted on the Conceptual Master Plan dated December 30, 2019 are conceptual. Final trail locations shall be determined during the site plan approval process required in Condition B.2, and shall include a trail segment parallel to Collecting Canal to facilitate Town-wide east-west connectivity. This condition has been complied with.~~ COMPLETED

2. ~~Existing fencing on the west side of “C” Road shall be removed to allow access to the trail within the 300 foot buffer areas depicted on the Conceptual Master Plan dated December 30, 2019.~~ COMPLETED

TOWN OF LOXAHATCHEE GROVES

ORDINANCE NO. 202_-__

3. ~~The equestrian trail depicted on the Conceptual Master Plan dated December 30, 2019 shall include an equestrian bridge over Collecting Canal at “C” Road to facilitate Town-wide north-south connectivity. Bridge details shall be determined during the site plan approval process required in Condition B.2. This condition has been complied with: COMPLETED~~

4. ~~Construction of the equestrian trail shall be completed prior to the issuance of the initial Certificate of Occupancy of the first phase of development of Groves Town Center. Construction of the equestrian bridge or culvert over Collecting Canal shall be completed by December 31, 2020: COMPLETED~~

5. ~~Coincident with construction of the equestrian trail equestrian traffic control devices shall be installed at points where trails cross “B” Road, “C” Road and Collecting Canal. COMPLETED~~

6. Fencing shall be incorporated on the site plan for any phase of development necessary to separate the equestrian trail from ~~assisted living facility~~ buildings, internal or perimeter roads, and/or parking areas of any other phase of development, as necessary.

7. Equestrian trails shall comply with the Town design and sign guidelines.

8. “Local traffic only” signage, as shall be placed on “B” Road north of the Palm Beach State College entrance. The type and locations of such signage shall be addressed by Conditions of Approval in the site plan for the initial phase of development.

F. ARCHITECTURAL

Architectural elevations for buildings included in a particular phase or pod shall be submitted with the application for site plan approval for that particular phase or pod. A theme from the Town’s Rural Vista Guidelines for the entire Groves Town Center development shall be provided with the application for site plan approval for the initial phase or pod. Elevations shall be designed to be consistent with the Town’s Rural Vista Guidelines. Architecture in all development phases or pods shall be consistent with the Town’s Rural Vista Guidelines.

~~G. SIGNAGE~~

~~The initial site plan submittal for any development parcel or pod shall include a master sign program detailing the location, number, colors and size of proposed signage.~~

H. PUD WAIVERS

The Applicant may propose, and the Town Council may consider the following waivers during the site plan approval process for a specific development parcel or pod:

1. Relief from ULDC Section 50-030(D) *Outdoor lighting standards*, Section (5) to allow well-planned outdoor lighting, which meets the intent of the ULDC, between 11:00 p.m. and dawn to help prevent accidents, deter crime and maintain an attractive community environment.

TOWN OF LOXAHATCHEE GROVES

ORDINANCE NO. 202_ -__

2. Relief from ULDC Section 95-100(E) *Wheel stops and curbing* to allow the use of bollards in lieu of wheel stops and/or continuous curbing in certain parking areas to help prevent accidental human injury or property damage.

3. Relief from ULDC Section 25-045 *Height*. To allow the hotel building in the TC Pod to be constructed to a height exceeding 35 feet.

4. Relief from ULDC Section 95-025 *Size of parking spaces*. To allow the hotel property in the TC Pod to have parking spaces that are 9' wide and 19' long.

5. Relief from ULDC Section 95-100. *Design of parking areas*. To allow the hotel property in the TC Pod to have drive aisle widths of 24 feet instead of 28 feet.

6. Relief from ULDC Section 95-075 *Location of loading spaces*. To substitute a shared loading zone in the porte cochere of the hotel property in the TC Pod where a dedicated loading space is otherwise required.

7. Relief from ULDC Section 95-100.D *Setback requirements*. To allow an existing sidewalk on Pod TC to be setback 5 feet, 4 inches feet and to allow parking spaces and driveways near the eastern property line of the hotel site on Pod TC to be setback less than 10 feet from the east property line where a 10-foot setback is required.

8. Relief from ULDC Section 30-035 *Maximum plot size*. To allow the Institutional use of the Town Commons on Pod G to be over the five-acre maximum plot size.

ATTACHMENT 6 – Proposed Site Plan, Hotel (Pod TC)



June 3, 2024

Francine Ramaglia
Town Manager
Town of Loxahatchee Groves
155 F Road
Loxahatchee Groves, FL 33470

RE: Request Summary for Site Plan application for 95-room hotel use in a portion of Pod TC in Groves Town Center

Dear Ms. Ramaglia,

WGI, Inc. represents Solar Sportsystems, Inc., ("Owner") who is the property owner of the Groves Town Center PUD project (the "PUD") located on Southern Boulevard between B and C Roads. WGI also represents Groves Hospitality, LLC ("Developer"), who is the contract purchaser of a portion of Tract Pod TC (the "Property") in the PUD. Developer is proposing to build a 95-room hotel on the Property. The PUD last received conceptual master plan approval from the Town Council on January 7, 2020 via Ordinance No. 2019-08.

Owner is currently in the process of modifying the PUD conceptual master plan in order to move the Town Commons use from Pod TC to Pod G and to allow the proposed lodging use on Pod TC.

The hotel is proposed at the west end of the TC Pod with an access driveway connecting to Mango Street. The building is situated roughly in the middle of the development site from north to south. Twenty-five-foot landscape buffers surround the development site on the three sides that abut roads. The fourth side (the east side) faces the remaining portion of the TC Pod and the Developer is proposing to build stub out connections to the east half of the TC Pod and a temporary connection from one stub out to the other until such time as the east half of the TC Pod is developed.

The hotel amenities consist of an outdoor pool and outdoor grilling patio and seating area located on the south side of the building. By being on the south side of the building, any noise coming from the outdoor amenities will be shielded from the residential neighborhood to the north by the building. The hotel will not have a restaurant or bar.

Waivers

The site plan for the hotel requires six (6) waivers from the Unified Land Development Code ("ULDC"). The waivers are described below.

The first waiver is to exceed the maximum height. The hotel is proposed to be four stories tall. The height of the building as measured to various points is as follows: to the roof deck – 43'; to the mean height of the lower roof elements – 49'-5"; to the ridge of the slope – 55'-2"; to the roof deck of the electrical and entry tower elements – 57'-2"; to the peak of the tallest architectural feature – 68'. The maximum height is 35 feet. Pursuant to the PUD regulations, Developer is seeking a waiver of the maximum height to allow the aforementioned building heights. The hotel building will be situated approximately 1,400 feet (a quarter of a mile) away from the nearest

residential property line on the north side of Collecting Canal Road, so the additional height will have no visual effect on any surrounding properties. Furthermore, no signs on the building will face north.

The second waiver is to provide some parking spaces that do not meet the dimensional standards. The proposed project also has 6 parking spaces that meet the Town's standard size of 11' wide by 22.5' long (and 12' x 19' for handicapped accessible spaces) and 91 parking spaces that are 9' wide by 19' long. Therefore, Developer is asking for a waiver of the minimum parking stall dimensions in order to provide a mixture of the Town's larger than normal parking spaces (11' x 22.5') and the smaller (9' x 19') parking spaces.

The third waiver is to provide a drive aisle width in the parking lot of 24' instead of 28'. This relates to the fact that the majority of the parking spaces in the parking lot are smaller than the code required 22.5' long spaces and therefore the drive aisle width can be less wide since some of the parking spaces are 19' long instead of 22.5' long. Also, 24 feet is almost universally the standard drive aisle width for a parking lot with 90-degree parking spaces.

The fourth waiver is to not provide the code-required one loading space that is 12' wide by 45' long. The operations of the hotel will not require that such a large loading space be provided because all deliveries will be made by small box trucks. The porte cochere at the hotel entrance will serve as the defacto loading space for the project.

The fifth waiver is to allow an existing sidewalk in the SW corner of the site to remain as-is, which has a setback of 5 feet and 4 inches to the property line, and to allow parking spaces and driveways near the eastern property line to be setback less than 10 feet from the east property line whereas Sec. 95-100.D of the Code requires a 10-foot setback.

The sixth waiver to allow well-planned outdoor lighting, which meets the intent of the ULDC, between 11:00 p.m. and dawn to help prevent accidents, deter crime and maintain an attractive community environment. The PUD Master Plan ordinance already establishes that applicants within the PUD may apply for this waiver. The hotel, by the nature of it's use, will have customers who will be checking in or coming and going from the hotel after 11 PM and before dawn and therefore to ensure the parking lot is a secure place there needs to be lighting in the parking lot during the overnight hours.

ULDC Sec. 41-020(E)(2) establishes items that waivers for a PUD should address in order to determine the significance of the proposed waiver. The items in the ULDC are listed below in *italic text* and the Applicant's response is listed after the item in regular text.

- a. *Identification, protection and enhancement of natural areas.* None of the waivers have any effect on natural areas. The natural areas in the Groves Town Center PUD are located in the perimeter buffers and in the preserved wetland in Pod G.
- b. *Provision of open space and landscaping in excess of Code requirements.* All of the waivers contribute to the hotel site plan being able to provide pervious areas that are approximately five percent more than the minimum required. The height above the minimum allows a more efficient, vertical use of the property. Having some of the parking spaces be smaller than the large vehicle parking space dimensions and having drive aisles that are 24' instead of 28' contribute to a more compact site design. Not having a dedicated large loading space and using the porte cochere for loading also contributes to a compact site design. The east property line is an interior property line that will be shared with the

future user of the east side of the TC Pod – a slightly reduced setback for parking spaces next to the east property line allows for a more compact site design.

- c. *Provision of pervious area in excess of Code requirements.* Same as b. above.
- d. *Preservation of native vegetation.* None of the waivers have any effect on native vegetation. The natural areas in the Groves Town Center PUD are located in the perimeter buffers and in the preserved wetland in Pod G.
- e. *Joint use of driveways.* The site plan for the hotel has been designed to have a cross connection to the east half of Pod TC.
- f. *Cross-access opportunities.* The site plan for the hotel has been designed to have a cross connection to the east half of Pod TC.
- g. *Additional specific Comprehensive Plan or other Town planning directives.* The Town has desired to remove the congregate living facility use from the Master Plan and replace it with a hotel use for several years. As demonstrated on the enclosed map of hotels, the closest hotel to the Town is the Royal Inn Hotel (rated as a 2-star hotel by Google) which is approximately 3.5 miles away to the east. There are only nine hotels west of or adjacent to the Turnpike between Okeechobee Blvd and Lake Worth Road. There is a strong need for a hotel in the western reaches of the County.

Statement of intent to subdivide

Per ULDC Section 41-010(E)(4)b., the Applicant intends to subdivide the property according to the provisions of Section 41-010(E)(4)b and the bearings and distances of the proposed subdivision are included on the site plan and survey. Both lots that will be created in Pod TC will have legal access to the surrounding road network and they will share an internal cross access connection. Pod TC is delineated on the Groves Town Center Amendment No. 1 plat recorded in Plat Book 132, Page 134 and the entirety of the property included within the PUD Master Plan is depicted on the same plat.

The proposed site plan is consistent with the Master Roadway, Equestrian and Greenway Plan (MREG) and the SR-80/Southern Boulevard Conceptual Access Management Plan. The hotel site plan does not interrupt or interfere with the existing equestrian trail in the perimeter buffer of the PUD and the hotel site plan, which does not front onto Southern Blvd, does not change the PUD's relationship to Southern Blvd. The PUD Master Plan will continue to have the same connections to and frontage along Southern Blvd. The site plan and architecture of the hotel are consistent with the Rural Vista Guidelines, see separately enclosed analysis of the Rural Vista Guidelines.

The hotel will provide a much-needed lodging use for the Town and the western end of the County, especially in the peak equestrian season. The hotel will also bring in property tax and sales tax revenue for Town without bringing in permanent residents.

We respectfully request your favorable review and recommendation of the proposed site plan for a hotel on a portion of Pod TC and we look forward to working with your staff and presenting to the Town Council.

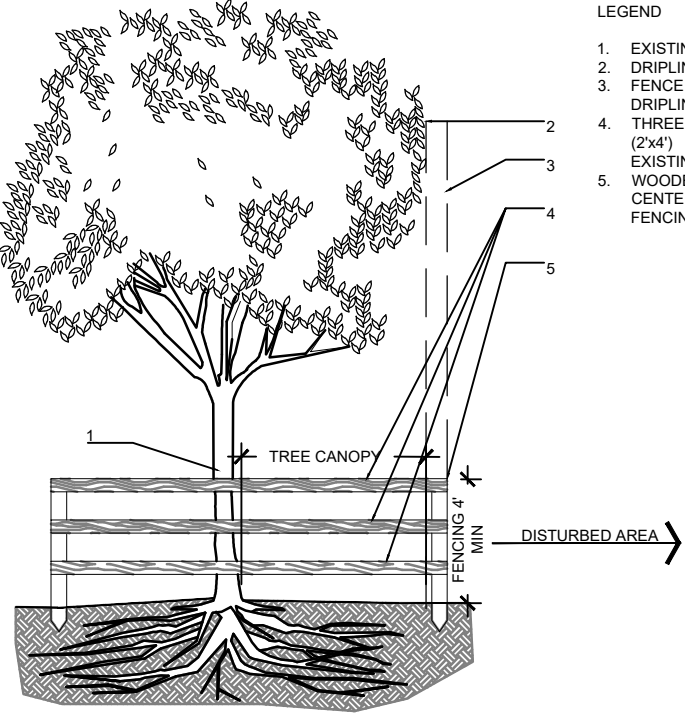
Sincerely,

A handwritten signature in blue ink that reads "Matthew Barnes". The signature is fluid and cursive, with the first name "Matthew" and last name "Barnes" clearly legible.

Matthew Barnes, AICP
Senior Project Manager

TREE DISPOSITION TABLE

| TREE # | BOTANICAL NAME | COMMON NAME | DBH (in) | HEIGHT (ft) | SPREAD (ft) | STATUS | COMMENTS |
|--------|--------------------------|------------------|----------|-------------|-------------|----------|-------------------------------|
| 1 | Quercus virginiana | Live Oak | 5 | | 25 | REMAIN | |
| 2 | Quercus virginiana | Live Oak | 56 | | 25 | REMAIN | |
| 3 | Quercus virginiana | Live Oak | 6 | | 25 | REMAIN | |
| 4 | Sabal palmetto | Sabal Palm | 13 | 17 | 14 | REMAIN | |
| 5 | Sabal palmetto | Sabal Palm | 13 | 14 | 14 | REMAIN | |
| 6 | Sabal palmetto | Sabal Palm | 11 | 14 | 14 | REMAIN | |
| 7 | Quercus virginiana | Live Oak | 5 | | 25 | REMAIN | |
| 8 | Quercus virginiana | Live Oak | 5 | | 25 | REMAIN | |
| 9 | Quercus virginiana | Live Oak | 5 | | 25 | REMAIN | |
| 10 | Sabal palmetto | Sabal Palm | 12 | 15 | 14 | REMAIN | |
| 11 | Sabal palmetto | Sabal Palm | 12 | 14 | 14 | REMAIN | |
| 12 | Sabal palmetto | Sabal Palm | 12 | 16 | 14 | REMAIN | |
| 13 | Quercus virginiana | Live Oak | 5 | | 25 | REMAIN | |
| 14 | Quercus virginiana | Live Oak | 5 | | 25 | REMAIN | |
| 15 | Quercus virginiana | Live Oak | 5 | | 25 | REMAIN | |
| 16 | Sabal palmetto | Sabal Palm | 14 | 15 | 14 | REMAIN | |
| 17 | Sabal palmetto | Sabal Palm | 11 | 17 | 14 | REMAIN | |
| 18 | Sabal palmetto | Sabal Palm | 11 | 14 | 14 | REMAIN | |
| 19 | Quercus virginiana | Live Oak | 43 | | 25 | REMOVE | |
| 20 | Quercus virginiana | Live Oak | 19 | | 25 | REMOVE | |
| 21 | Quercus virginiana | Live Oak | 14 | | 25 | REMOVE | |
| 22 | Sabal palmetto | Sabal Palm | 17 | 16 | 14 | REMOVE | |
| 23 | Pinus elliotii | Slash Pine | 11 | | 16 | REMOVE | |
| 24 | Sabal palmetto | Sabal Palm | 15 | 18 | 14 | REMOVE | |
| 25 | Sabal palmetto | Sabal Palm | 10 | 17 | 14 | REMOVE | |
| 26 | Sabal palmetto | Sabal Palm | 12 | 7 | 14 | REMOVE | |
| 27 | Sabal palmetto | Sabal Palm | 15 | 4 | 14 | REMOVE | |
| 28 | Pinus elliotii | Slash Pine | 11 | | 16 | REMOVE | |
| 29 | Quercus virginiana | Live Oak | 5 | | 25 | REMOVE | |
| 30 | Quercus virginiana | Live Oak | 14 | | 25 | REMOVE | |
| 31 | Quercus virginiana | Live Oak | 11 | | 25 | REMOVE | |
| 32 | Quercus virginiana | Live Oak | 14 | | 25 | REMOVE | |
| 33 | Pinus elliotii | Slash Pine | 8 | | 16 | REMOVE | |
| 34 | Pinus elliotii | Slash Pine | 9 | | 16 | REMOVE | |
| 35 | Pinus elliotii | Slash Pine | 12 | | 16 | REMOVE | |
| 36 | Pinus elliotii | Slash Pine | 11 | | 16 | REMOVE | |
| 37 | Pinus elliotii | Slash Pine | 11 | | 16 | REMOVE | |
| 38 | Quercus virginiana | Live Oak | 19 | | 25 | REMOVE | |
| 39 | Pinus elliotii | Slash Pine | 14 | | 16 | REMOVE | |
| 40 | Sabal palmetto | Sabal Palm | 17 | 6 | 14 | REMOVE | |
| 41 | Sabal palmetto | Sabal Palm | 15 | 14 | 14 | REMOVE | |
| 42 | Pinus elliotii | Slash Pine | 8 | | 16 | REMOVE | |
| 43 | Pinus elliotii | Slash Pine | 11 | | 16 | REMOVE | |
| 44 | Pinus elliotii | Slash Pine | 7 | | 16 | REMOVE | |
| 45 | Quercus virginiana | Live Oak | 14 | | 25 | REMOVE | |
| 46 | Pinus elliotii | Slash Pine | 9 | | 16 | REMOVE | |
| 47 | Quercus virginiana | Live Oak | 15 | | 25 | REMOVE | |
| 48 | Sabal palmetto | Sabal Palm | 16 | 19 | 14 | REMOVE | |
| 49 | Sabal palmetto | Sabal Palm | 16 | 5 | 14 | REMOVE | |
| 50 | Quercus virginiana | Live Oak | 5 | | 25 | REMAIN | |
| 51 | Quercus virginiana | Live Oak | 6 | | 25 | REMAIN | |
| 52 | Quercus virginiana | Live Oak | 5 | | 25 | REMAIN | |
| 53 | Sabal palmetto | Sabal Palm | 13 | 23 | 14 | REMAIN | |
| 54 | Sabal palmetto | Sabal Palm | 13 | 16 | 14 | REMAIN | |
| 55 | Quercus virginiana | Live Oak | 17 | | 25 | REMOVE | |
| 56 | Pinus elliotii | Slash Pine | 9 | | 16 | REMOVE | |
| 57 | Sabal palmetto | Sabal Palm | 14 | 6 | 14 | REMOVE | |
| 58 | Sabal palmetto | Sabal Palm | 16 | 6 | 14 | REMOVE | |
| 59 | Quercus virginiana | Live Oak | 27 | | 25 | REMOVE | |
| 60 | Acacia auriculiformis | Earleaf acacia | 10 | | 14 | REMOVE | Category I - Invasive exotics |
| 61 | Pinus elliotii | Slash Pine | 13 | | 16 | REMOVE | |
| 62 | Pinus elliotii | Slash Pine | 10 | | 16 | REMOVE | |
| 63 | Sabal palmetto | Sabal Palm | 13 | 4 | 14 | REMOVE | |
| 64 | Acacia auriculiformis | Earleaf acacia | 11 | | 14 | REMOVE | Category I - Invasive exotics |
| 65 | Sabal palmetto | Sabal Palm | 19 | 12 | 14 | REMOVE | |
| 66 | Sabal palmetto | Sabal Palm | 14 | 19 | 14 | REMOVE | |
| 67 | Sabal palmetto | Sabal Palm | 20 | 12 | 14 | REMOVE | |
| 68 | Sabal palmetto | Sabal Palm | 10 | 6 | 14 | REMOVE | |
| 69 | Sabal palmetto | Sabal Palm | 12 | 17 | 14 | REMOVE | |
| 70 | Schinus terebinthifolius | Brazilian Pepper | 5 | | 14 | REMOVE | Category I - Invasive exotics |
| 71 | Schinus terebinthifolius | Brazilian Pepper | 9 | | 14 | REMOVE | Category I - Invasive exotics |
| 72 | Schinus terebinthifolius | Brazilian Pepper | 12 | | 14 | REMOVE | Category I - Invasive exotics |
| 73 | Quercus virginiana | Live Oak | 24 | | 25 | REMOVE | |
| 74 | Sabal palmetto | Sabal Palm | 15 | 9 | 14 | REMOVE | |
| 75 | Sabal palmetto | Sabal Palm | 13 | 13 | 14 | REMOVE | |
| 76 | Quercus virginiana | Live Oak | 13 | | 25 | REMOVE | |
| 77 | Sabal palmetto | Sabal Palm | 15 | 25 | 14 | REMOVE | |
| 78 | Sabal palmetto | Sabal Palm | 13 | 16 | 14 | REMOVE | |
| 79 | Sabal palmetto | Sabal Palm | 16 | 23 | 14 | REMOVE | |
| 80 | Sabal palmetto | Sabal Palm | 15 | 22 | 14 | REMOVE | |
| 81 | Sabal palmetto | Sabal Palm | 19 | 20 | 14 | REMOVE | |
| 82 | Quercus virginiana | Live Oak | 15 | | 25 | REMOVE | |
| 83 | Quercus virginiana | Live Oak | 24 | | 25 | REMOVE | |
| 84 | Sabal palmetto | Sabal Palm | 19 | 10 | 14 | REMOVE | |
| 85 | Sabal palmetto | Sabal Palm | 9 | 19 | 14 | REMOVE | |
| 86 | Quercus virginiana | Live Oak | 29 | | 25 | REMOVE | |
| 87 | Sabal palmetto | Sabal Palm | 13 | 5 | 14 | REMOVE | |
| 88 | Sabal palmetto | Sabal Palm | 14 | 8 | 14 | REMOVE | |
| 89 | Sabal palmetto | Sabal Palm | 15 | 5 | 14 | REMOVE | |
| 90 | Sabal palmetto | Sabal Palm | 13 | 5 | 14 | REMOVE | |
| 91 | Sabal palmetto | Sabal Palm | 14 | 6 | 14 | REMOVE | |
| 92 | Sabal palmetto | Sabal Palm | 16 | 12 | 14 | REMOVE | |
| 93 | Sabal palmetto | Sabal Palm | 15 | 5 | 14 | REMOVE | |
| 94 | Sabal palmetto | Sabal Palm | 10 | 4 | 14 | REMOVE | |
| 95 | Sabal palmetto | Sabal Palm | 13 | 15 | 14 | REMOVE | |
| 96 | Sabal palmetto | Sabal Palm | 18 | 9 | 14 | REMOVE | |
| 97 | Sabal palmetto | Sabal Palm | 19 | 11 | 14 | REMOVE | |
| 98 | Sabal palmetto | Sabal Palm | 18 | 11 | 14 | REMOVE | |
| 99 | Sabal palmetto | Sabal Palm | 21 | 12 | 14 | REMOVE | |
| 100 | Sabal palmetto | Sabal Palm | 19 | 12 | 14 | REMOVE | |
| 101 | Quercus virginiana | Live Oak | 5 | | 12 | RELOCATE | |
| 102 | Sabal palmetto | Sabal Palm | 8 | 8 | 14 | REMOVE | |
| 103 | Sabal palmetto | Sabal Palm | 9 | 21 | 14 | REMOVE | |
| 104 | Sabal palmetto | Sabal Palm | 10 | 21 | 14 | REMOVE | |
| 105 | Sabal palmetto | Sabal Palm | 11 | 19 | 14 | REMOVE | |
| 106 | Sabal palmetto | Sabal Palm | 11 | 27 | 14 | REMOVE | |
| 107 | Sabal palmetto | Sabal Palm | 11 | 26 | 14 | REMOVE | |
| 108 | Sabal palmetto | Sabal Palm | 15 | 6 | 14 | REMOVE | |
| 109 | Sabal palmetto | Sabal Palm | 18 | 9 | 14 | REMOVE | |
| 110 | Quercus virginiana | Live Oak | 5 | | 12 | RELOCATE | |
| 111 | Quercus virginiana | Live Oak | 12 | | 12 | REMAIN | |
| 112 | Quercus virginiana | Live Oak | 6 | | 12 | RELOCATE | |
| 113 | Quercus virginiana | Live Oak | 5 | | 12 | RELOCATE | |
| 114 | Quercus virginiana | Live Oak | 5 | | 12 | RELOCATE | |
| 115 | Quercus virginiana | Live Oak | 5 | | 12 | RELOCATE | |
| 116 | Quercus virginiana | Live Oak | 5 | | 12 | RELOCATE | |
| 117 | Sabal palmetto | Sabal Palm | 8 | 5 | 14 | REMOVE | |
| 118 | Sabal palmetto | Sabal Palm | 10 | 4 | 14 | REMOVE | |
| 119 | Acacia auriculiformis | Earleaf acacia | 4 | | 14 | REMOVE | Category I - Invasive exotics |
| 120 | Sabal palmetto | Sabal Palm | 9 | 10 | 14 | REMOVE | |
| 121 | Sabal palmetto | Sabal Palm | 13 | 15 | 14 | REMOVE | |
| 122 | Sabal palmetto | Sabal Palm | 13 | 15 | 14 | REMOVE | |
| 123 | Sabal palmetto | Sabal Palm | 8 | 4 | 14 | REMOVE | |
| 124 | Sabal palmetto | Sabal Palm | 12 | 4 | 14 | REMOVE | |
| 125 | Sabal palmetto | Sabal Palm | 10 | 4 | 14 | REMOVE | |
| 126 | Sabal palmetto | Sabal Palm | 7 | 7 | 14 | REMOVE | |
| 127 | Acacia auriculiformis | Earleaf acacia | 6 | | 14 | REMOVE | Category I - Invasive exotics |
| 128 | Sabal palmetto | Sabal Palm | 10 | 6 | 14 | REMOVE | |
| 129 | Sabal palmetto | Sabal Palm | 15 | 5 | 14 | REMOVE | |



NOTES:

- ALL EXPOSED ROOTS WITHIN ROOT PROTECTION ZONE SHALL BE HAND PRUNED TO HAVE A SMOOTH, CLEAN CUT WITHOUT TEARING OR SPLITTING.
- BARRIER TO FORM A CONTINUOUS CIRCLE AROUND THE TREE OR GROUP OF TREES.
- CONTRACTOR TO INSTALL PROTECTIVE FENCE BARRIER AROUND ALL EXISTING TREES TO REMAIN - AT THE START OF THE PROJECT - FENCE TO REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL TAKE EXTRA CARE DURING EARTHWORK AND UTILITY OPERATIONS TO PROTECT ALL EXISTING TREES - AND SHALL BE RESPONSIBLE TO REPLACE ANY TREES DAMAGED DURING CONSTRUCTION.

1 EXISTING TREE PROTECTION FENCE d-Protection fence 1.dwg

SECTION

SCALE N.T.S.

LEGEND

--- TREE PROTECTION FENCE

⊗ TREE NUMBER

+ EXISTING TREE TO REMAIN

⊗ EXISTING SABAL TO REMAIN

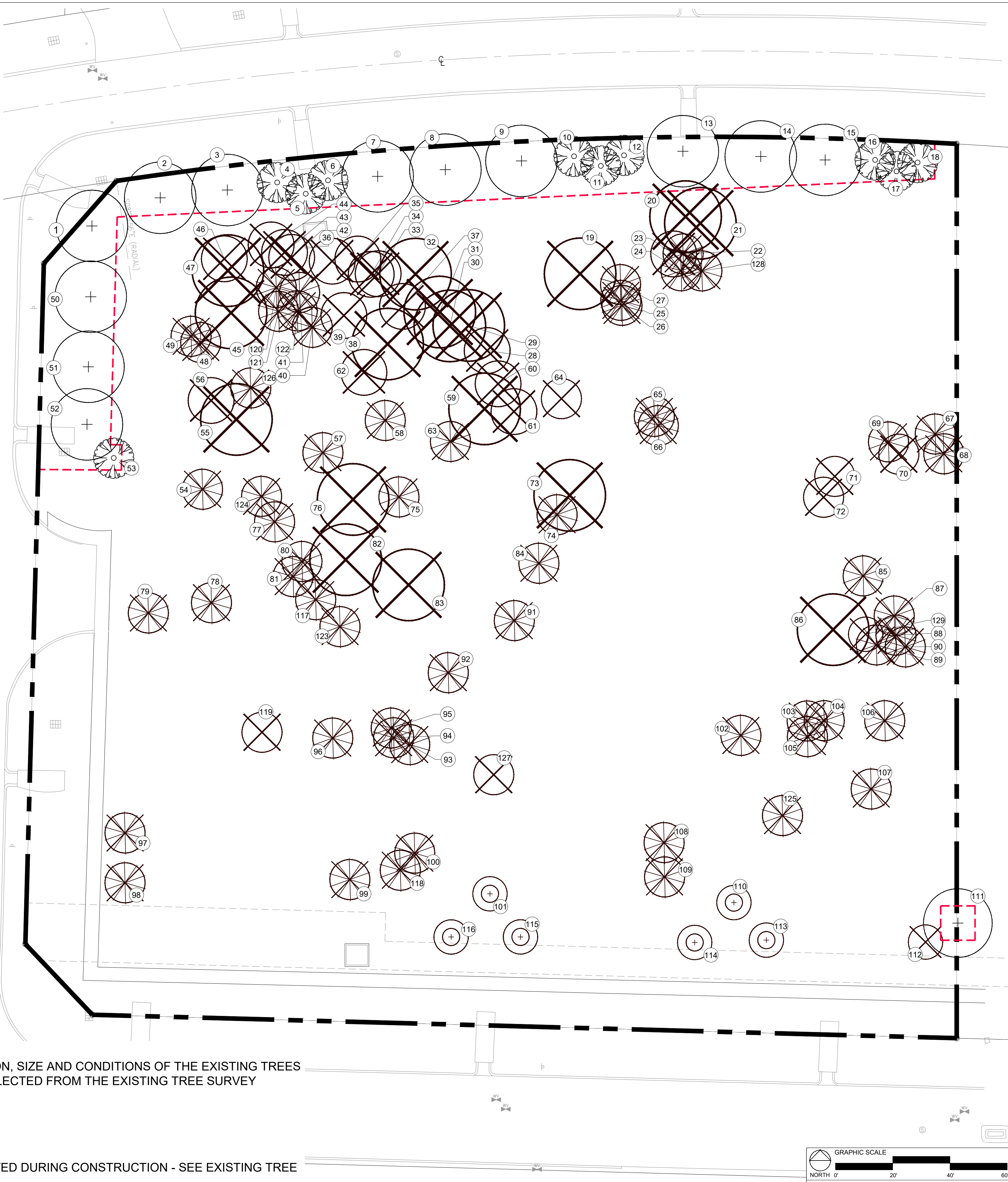
⊕ EXISTING TREE TO BE RELOCATED

⊗ EXISTING PALM TO BE REMOVED

⊗ EXISTING TREE TO BE REMOVED

NOTES:

- BOUNDARY SURVEY, APPROXIMATE LOCATION, SIZE AND CONDITIONS OF THE EXISTING TREES WITHIN THE PROJECT LIMITS HAS BEEN COLLECTED FROM THE EXISTING TREE SURVEY PREPARED BY:
CAULFIELD & WHEELER, INC.
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
ph: 561.392.1991
- EXISTING TREES TO REMAIN TO BE PROTECTED DURING CONSTRUCTION - SEE EXISTING TREE PROTECTION FENCE DETAIL # 1- SHEET L-01
- CONTRACTOR SHALL OBTAIN A TREE REMOVAL PERMIT FOR TREES/PALMS PROPOSED TO BE REMOVED, PRIOR TO DEVELOPMENT OF THE SITE.



Know what's below.
Call before you dig.

GRAPHIC SCALE

NORTH 0' 20' 40' 60'

Scale: 1" = 20'-0"

Drawn By: AEM/MEP

Approved By: AEM

Project No: 202333



LANDSCAPE ARCHITECTURE
LAND PLANNING
URBAN DESIGN
2000 E. OAKLAND PARK BLVD. SUITE 300
FORT LAUDERDALE, FLORIDA 33309 USA
www.andresstudio.com

| Rev | Date | Description | By | Check | Comments |
|-----|---------|----------------------------------------------------------|----|-------|----------|
| 1 | | | | | |
| 2 | 4/24/24 | REVISED DRAWING TO ADDRESS CITY COMMENTS FROM MARCH 2024 | | | |
| 3 | | | | | |
| 4 | | | | | |
| 5 | | | | | |
| 6 | | | | | |

Sheet Title:
**PROPERTY SURVEY
TREE DISPOSITION
PLAN**

Project Name:
HOME 2 SUITES HOTEL
Loxahatchee Groves, FL 33470

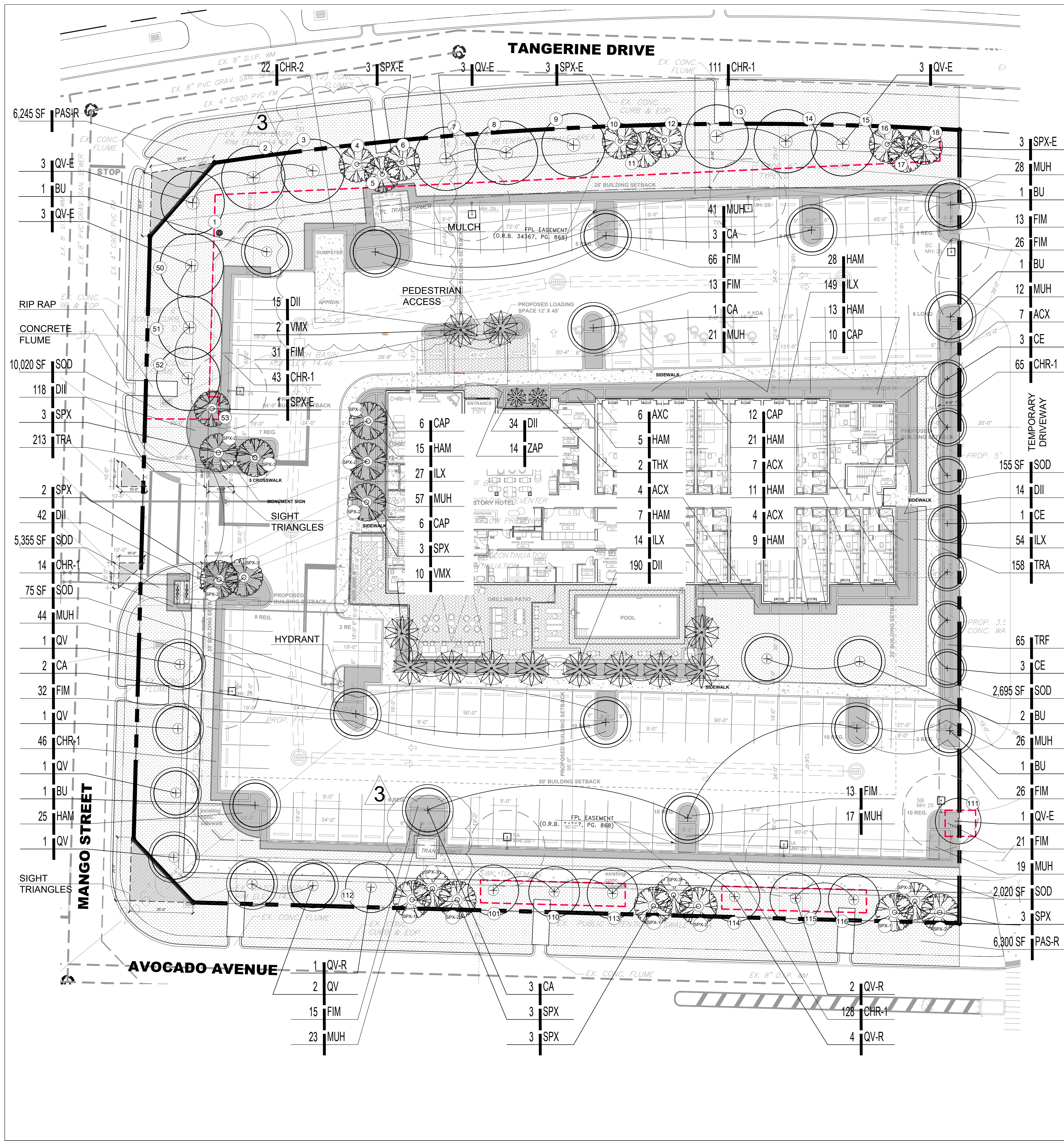
SEAL / SIGNATURE

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Date: DECEMBER 8, 2023
Scale: 1" = 20'-0"
Drawn By: AEM/MEP
Approved By: AEM
Project No: 202333

Sheet Number:
L-01

PERMIT SET - NOT FOR CONSTRUCTION



| Plant List | | common name | drought tolerance | native | specifications | container | |
|------------------------------|--------------|-----------------------------------|-------------------------|--------|----------------|--------------------------------------------------------------------|------------------|
| QT | code species | | | | | size | spacing |
| TREES | | | | | | | |
| 7 | BU | Bursera simaruba | Gumbo Limbo | High | yes | 20' ht. - 6" DBH, 6' CT | FG as shown |
| 9 | CA | Calophyllum brasiliense | Brazilian Beauty/leaf | High | no | 20' ht. - 6" DBH, 6' CT | FG as shown |
| 7 | CE | Conocarpus erectus | Green Buttonwood | High | yes | 20' ht. - 5" DBH, 6' CT | FG as shown |
| 6 | QV | Quercus virginiana | Live Oak | High | yes | 20' ht. - 6" DBH, 6' CT | FG as shown |
| EXISTING/RELOCATED TREES | | | | | | | |
| 13 | QV-E | Quercus virginiana | Live Oak | High | yes | Existing #1, #2, #3, #7, #8, #9, #13, #14, #15, #50, #51, 52, #111 | as shown |
| 7 | QV-R | Quercus virginiana | Live Oak | High | yes | Existing #101, #110, #112, #113, #114, #115, #116 | as shown |
| PALMS | | | | | | | |
| 3 | SPX-1 | Sabal palmetto | Sabal Palm | High | yes | 10' CT - Regenerated | b&b as shown |
| 8 | SPX-2 | Sabal palmetto | Sabal Palm | High | yes | 12' CT - Regenerated | b&b as shown |
| 5 | SPX-3 | Sabal palmetto | Sabal Palm | High | yes | 14' CT - Regenerated | b&b as shown |
| 2 | THX | Thrinax radiata | Florida Thach Palm | High | yes | 8' CT - Full head | FG as shown |
| 12 | VMX | Veitchia montgomeryana | Motgomery Palm | Medium | no | 16' O.A./Single- Full head | FG as shown |
| EXISTING PALMS | | | | | | | |
| 10 | SPX-E | Sabal palmetto | Sabal Palm | High | yes | Existing #4, #5, #6, #10, #11, #12 #16, #17, #18, #53 | as shown |
| SHRUBS, GROUNDCOVERS & VINES | | | | | | | |
| 28 | ACX | Acetolaphae wrightii | Parrotfish Palm | Medium | yes | 8'Ht O.A. Clump | FG 42" O.C |
| 34 | CAP | Capparis cynophallophora | Jamaican Capar | High | yes | 24" ht x 18" spr. | 3 Gal. 24" O.C. |
| 407 | CHR-1 | Chrysobalanus icaco 'Red Tip' | Red Tip Cocoplum | Medium | yes | 36" ht x 24" spr. | 7 Gal. 30" O.C. |
| 22 | CHR-2 | Chrysobalanus icaco 'Red Tip' | Red Tip Cocoplum | Medium | yes | 4' Tall | 15 Gal. 36" O.C. |
| 413 | DII | Dietes iridioides | African Iris | Medium | no | 18" O.A. / Full Clump | 1 Gal. 24" O.C. |
| 256 | FIM | Ficus microcarpa 'Green Island' | Green Island Ficus | High | no | 24" O.A. | 7 Gal. 24" O.C. |
| 134 | HAM | Hamelia nodosa | Dwarf Firebush | Medium | yes | 30" ht x 24" spr. | 7 Gal. 36" O.C. |
| 244 | ILX | Ilex vomitoria 'Schillings Dwarf' | Dwarf Yaupon Holly | High | yes | 24" ht x 18" spr. | 3 Gal. 24" O.C. |
| 288 | MUH | Muhlenbergia capillaris | Pink Muhly Grass | High | yes | 30" O.A. / Full Clump | 3 Gal. 30" O.C. |
| 371 | TRA | Trachelospermum asiaticum | Asiatic Jasmine | yes | no | 8" O.A. | 1 Gal. 12" O.C. |
| 65 | TRF | Tripsacum floridanum | Dwarf Fakahatchee Grass | Medium | yes | 24" O.A. / Full Clump | 3 Gal. 30" O.C. |
| 14 | ZAP | Zamia pumila | Coontie | High | yes | 24" O.A. / Full Clump | 7 Gal. 30" O.C. |
| SOD | | | | | | | |
| 12545 | PAS-R | Paspalum notatum | Bahiagrass | High | | Staggered Panels | |
| 20245 | SOD | Stenotaphrum secundatum | St. Augustine Grass | Medium | | Staggered Panels | |

| LANDSCAPE CALCULATIONS | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------|-----------|
| ZONING = ML-PUD | | |
| SITE AREA | SF | ACRES |
| PERVIOUS AREA | 97,755 | 2.24 |
| PERVIOUS AREA | 62,669 | |
| PERVIOUS AREA | 35,086 | |
| BUILDING FAÇADE - SEC 85-055 | | |
| MINIMUM 40% OF THE LINEAL FRONTAGE OF THE STRUCTURE SHALL BE LANDSCAPING (604 LF) | REQUIRED | PROVIDED |
| | 242 | 400 |
| INTERIOR VUA - SEC 85-055 | | |
| TOTAL AREA (VUA) | 39,766 | 4,011 |
| 10% VUA DEDICATED TO PARKING ISLANDS | 3,977 | 4,011 |
| 1 TREE PER PARKING ISLAND | 17 | 17 |
| V.U.A LANDSCAPE BUFFER - SEC 85-055 | | |
| NORTH/WEST/SOUTH BUFFER (25 FT. WIDTH) - 906 LF | | |
| 1 TREE PER 25 LF | 37 | 40 |
| CONTINUOUS HEDGE | | YES |
| EAST BUFFER (8 FT WIDTH) - 312 LF | | |
| 1 TREE PER 25 LF | 13 | 13 |
| CONTINUOUS HEDGE | | YES |
| ADDITIONAL TREES | | |
| ADDITIONAL LARGE PALMS | | 2 |
| ADDITIONAL SMALL PALMS | | 4 |
| | | 12 |
| TOTAL TREES/PALMS | 67 | 86 |
| NATIVE PLANT MATERIAL CALCULATIONS | | |
| 50 PERCENT OF REQUIRED TREES SHALL BE NATIVE | | 78% |
| 50 PERCENT OF REQUIRED SHRUBS SHALL BE NATIVE | | 78% |
| HEDGE/FENCE PROVIDED TO SCREEN MECH. EQUIPMENT AND DUMPSTER | | |
| | | YES |
| NOTE: ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE. IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN SENSOR. | | |
| TREE MITIGATION | | |
| TOTAL TREES REMOVED WITH A 24" HT MIN. OR 6" DBH AND GREATER | 35 TREES | |
| TOTAL TREES REQUIRED FOR MITIGATION | 35 TREES AT SAME SIZE OR 70 @ MIN. HT OF 18' | |
| TREES TO REMAIN IN PLANCE OR RELOCATED ON SITE | 30 TREES/PALMS | |
| PROPOSED TREES | 30 TREES | |
| PROPOSED LARGE PALMS | 17 PALMS | |
| TOTAL PROPOSED TREES/LARGE PALMS | 47 TREES/PALMS | |

- NOTES:
- RELOCATION OF TREES OR PALMS SHALL BE DONE IN COMPLIANCE WITH STANDARDS SET FORTH IN THE MOST RECENTLY PUBLISHED EDITION OF THE AMERICAN NATIONAL STANDARDS INSTITUTE ANSI A-300 STANDARDS. THIS REQUIREMENT INCLUDES ALL PROCEDURES, TECHNIQUES, STANDARDS FOR MINIMUM ROOT BALL SIZE, AND ANY OTHER STANDARDS INCLUDED IN ANSI A-300 STANDARDS.
 - RELOCATED TREES MUST BE WARRANTIED FOR A PERIOD OF 1 YEAR AND A FINAL INSPECTION WILL BE TIED INTO THE FINAL INSPECTION FOR THE CERTIFICATE OF OCCUPANCY.
 - ROOT BARRIERS SHALL BE INSTALLED AT ALL TREES/PALMS THAT ARE PLANTED WITHIN FIVE (5) FEET OF UNDERGROUND UTILITIES OR UTILITY EASEMENT. SEE DETAIL #5 ON SHEET L-03.
 - TREE PROTECTION FENCE MIGHT BE TEMPORARILY ADJUSTED AT TREES TO REMAIN TO ALLOW FOR THE CONSTRUCTION OF WALKWAYS AND CUBS.
 - ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH A FULLY AUTOMATICALLY OPERATED IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL PROVIDE COMPLETE COVERAGE OF ALL PLANT MATERIALS. THIS SYSTEM SHOULD HAVE RAIN SENSOR AND SHOULD AUTOMATICALLY SHUT OFF WHEN RAINING.
 - WITHIN SIGHT DISTANCE TRIANGLES, LANDSCAPE SHALL BE MAINTAIN TO PROVIDE CLEAR VISIBILITY WITHOUT OBSTRUCTION FROM AN AREA BETWEEN 30 INCHES AND 8 FEET ABOVE AVERAGE ELEVATION OF THE INTERSECTION.

LEGEND

- TREE PROTECTION FENCE
- ⊗ TREE NUMBER
- ⊕ EXISTING TREE TO REMAIN
- ⊗ EXISTING SABAL TO REMAIN
- ⊕ NEW TREE
- ⊗ NEW PALM
- SHRUBS & GROUNDCOVERS

GRAPHIC SCALE
NORTH 0' 20' 40' 60'

Sunshine State
One Call
811
Know what's below.
Call before you dig.

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STATE OF FLORIDA
REGISTRATION: LA686973

SEAL / SIGNATURE

Date: DECEMBER 8, 2023
Scale: 1" = 20'-0"
Drawn By: AEM/MEP
Approved By: AEM
Project No: 202333

Sheet Number:
L-02

LANDSCAPE ARCHITECTURE
LAND PLANNING
URBAN DESIGN
2000 E. OKLAHOMA PARK BLVD. SUITE 300
FORT LAUDERDALE, FLORIDA 33308 USA
www.andresstudio.com

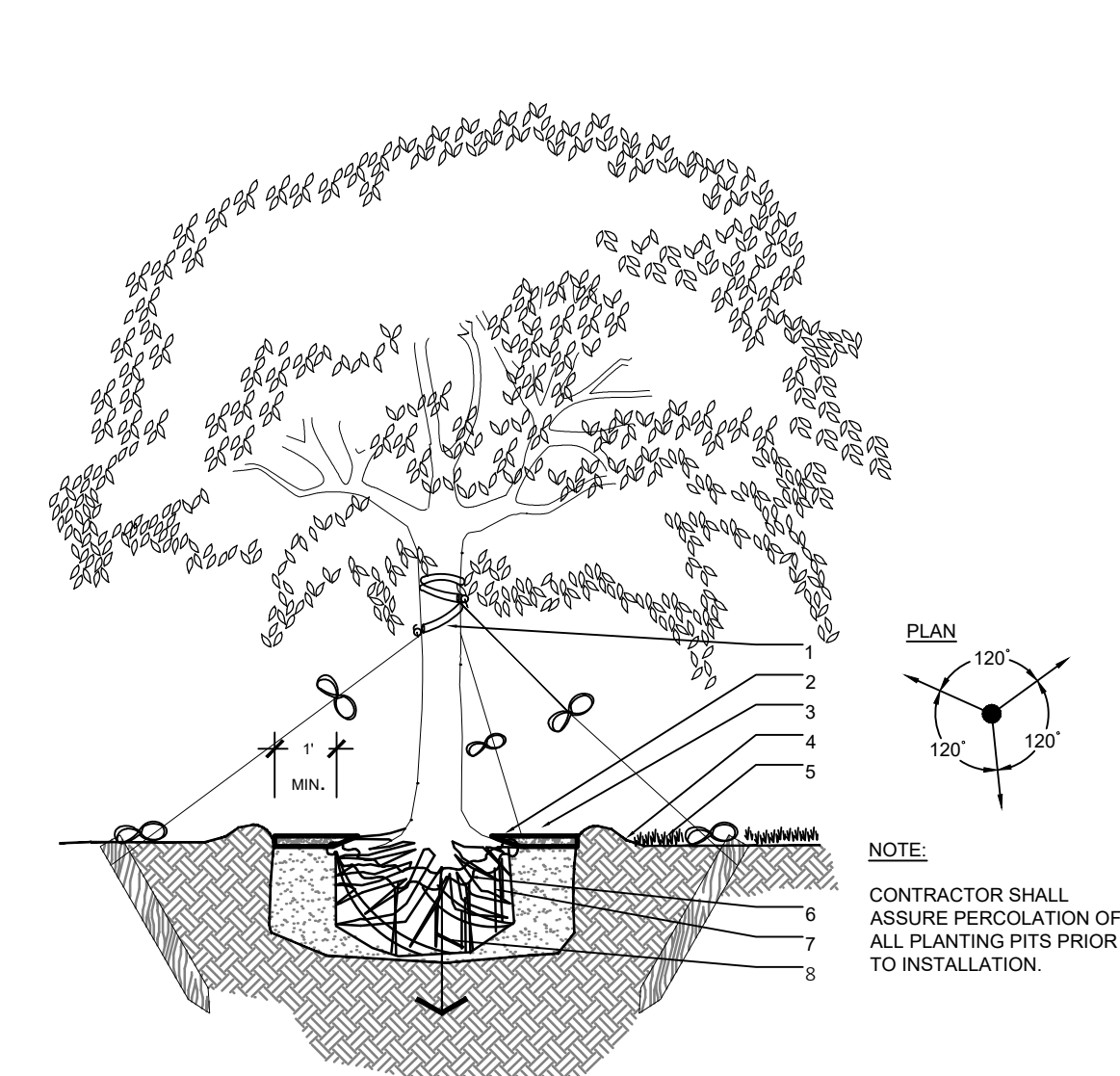
By: AEM/MEP
Description: LANDSCAPE PLAN
Rev: 1/1/2024
Date: 1/1/2024
Sheet Title: LANDSCAPE PLAN

Project Name: HOME 2 SUITES HOTEL
Loxahatchee Groves, FL 33470

PERMIT SET - NOT FOR CONSTRUCTION

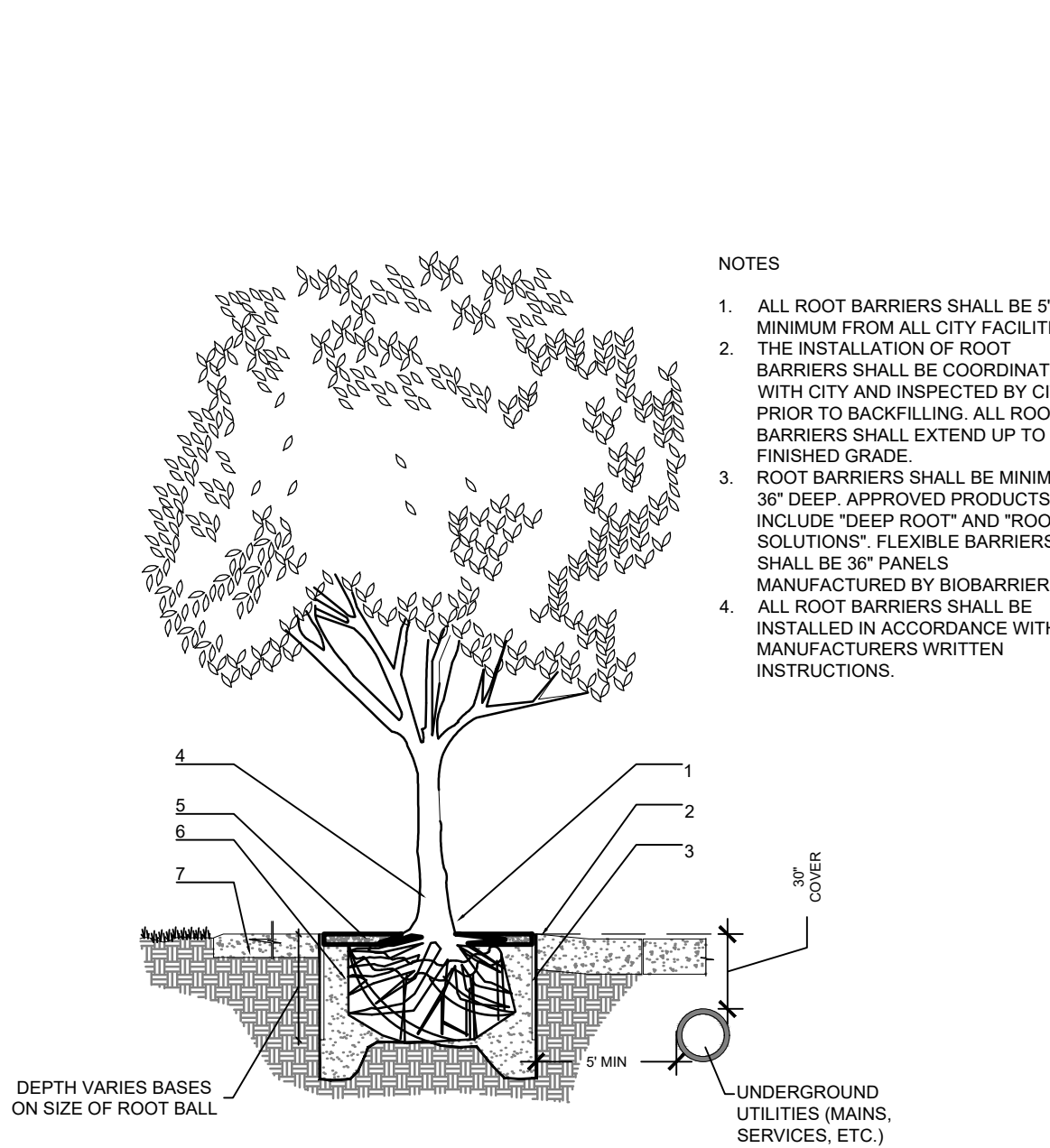
GENERAL NOTES:

- Before construction begins, the Landscape Contractor is responsible for locating all underground utilities and must avoid damaging any services during construction. If any damage occurs by the fault of the Contractor, the necessary repairs must take place at the Landscape Contractor's expense and under the supervision of the Owner's representative.
- The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth in this plan set and the specifications.
- The Landscape Contractor shall be responsible for examining fully both the site and bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the Landscape Architect in writing at the time of bidding or discovery. No account shall be made after contract completion for failure by the Landscape Contractor to report such condition or for errors on the part of the Landscape Contractor at the time of bidding.
- All dimensions to be field checked by the Landscape Contractor prior to landscape material installation. Discrepancies shall be reported immediately to the Landscape Architect.
- Contractor shall be responsible for removing all existing and imported limerock and limerock sub-base from all landscape planting areas to a minimum depth of 36" or to native soil. Contractor is responsible to backfill these planting areas to rough finished grade with clean topsoil from an on-site source or an imported source.
- All planting beds shall be excavated to a minimum size and depth as shown in the planting details for trees, shrubs, and groundcovers, and backfilled with suitable soil unless specified otherwise. All plant material shall be planted in planting soil that is delivered to the site in a loose, clean, and friable condition. The planting soil shall be of the approximate proportions as follows: 50% sand and 50% organic material consisting of native peat, well-decomposed sawdust, leaf mold and topsoil. It shall provide a good, pliable, and thoroughly mixed medium with adequate aeration, drainage, and water-holding capacity. It shall also be free of all extraneous debris, such as roots, stones, weeds, etc.
- Contractor to test all tree pits with water before planting to assure proper drainage percolation is available.
- All proposed trees and plant materials shall be graded as Nursery Grade Florida No. 1 or better as outlined by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry "Grades and standards for Nursery Plants", most current edition. All planting shall be done in accordance with the Florida Nurserymen's and Grower's Association approved practices.
- All trees/palms and shrubs shall be fertilized with "Agriform" 20-10-5 planting tablets as per the manufacturer's specifications at the time of installation and prior completion of pit backfilling also in conjunction with note #5. Tablets to be placed uniformly around the root mass at a depth that is between the middle and bottom of root mass at an application rate of: One (1) - 21 gram tablet for 1 gal container, two (2)- tablets for 3 gal container, three (3)-tablets for 5 gal container, four (4)-tablets for 7 gal container, three (3)-tablets for each 1/2 inch of tree caliper, and seven (7) tablets for palms. Ground Cover areas shall receive fertilization with "Ozmocote" time release fertilizer as per manufacturer's specification.
- All plant beds shall receive a 3" layer of organic mulch, which is to be watered-in after installation. Mulch should be at least six (6) inches away from any portion of a structure or tree trunk and three (3) inches away from the base of shrubs. The use of Cypress mulch is discouraged.
- All plant material shall be thoroughly watered in at the time of planting and until landscape material is established. No dry material shall be permitted.
- The plant material schedule is presented for the convenience of the Landscape Contractor. In the event of a discrepancy between the plan and the plant list quantities, the contractor shall notify the owner's representative/Landscape Architect prior to bidding or installation of the project.
- Plants shall meet size, container, and spacing specifications. Any material not meeting specifications shall be removed and replaced at the contractor's expense.
- All tree and shrub locations shall be approved by Landscape Architect prior to planting.
- Plant material shall be bid as specified unless unavailable, at which time the Landscape Architect shall be notified in writing of intended changes.
- All questions concerning the plan set and/or specifications shall be directed to the Landscape Architect.
- All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications, they will be rejected by the Landscape Architect with proper installation carried out by the Landscape Contractor at no additional cost.
- There shall be no additions, deletions, or substitutions without written approval of the Landscape Architect.
- All screening hedges shall be planted and maintained in a way that they form a continuous visual screen. Screening hedges at VUA to be maintained at a minimum height of thirty (30) inches unless specified otherwise to meet local codes.
- The Landscape Contractor shall guarantee, in writing, plant survivability. Trees and palms for twelve (12) months, shrubs, and groundcovers for ninety (90) days and sod for sixty (60) days from final acceptance by the Owner or Owner's representative.
- Existing sod shall be removed as necessary to accommodate new plantings.
- All existing trees on site shall be protected from damage during construction - See existing tree protection fence detail.
- Any existing landscape and hardscape areas that are unnecessarily disturbed during the landscape installation shall be restored to their original conditions by the Landscape Contractor.
- The Landscape Contractor will be responsible for the collection, removal, and proper disposal of all debris generated during the installation of this project.
- The Landscape contractor shall fine grade all lawn and planting areas prior to plant material installation. Fine grading shall consist of final finished grading of lawn and planting areas that have been rough graded by others.
- The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
- Prior to sod installation, the Landscape Contractor shall clear the area of debris, weeds and remove any bumps and depressions within the area to be sodded.
- All landscape areas to have a positive drainage away from buildings and structures. Finished grade of landscape areas to be at or below the grade of adjacent sidewalks, slabs, or VUA
- All shade and medium trees installed within 5' of a public infrastructure shall utilize a root barrier system unless specified otherwise.
- In addition to these requirements the Landscape Contractor shall comply with all local landscape codes and requirements as part of this base bid and contract in order to satisfy the review and approval of the governing agency.



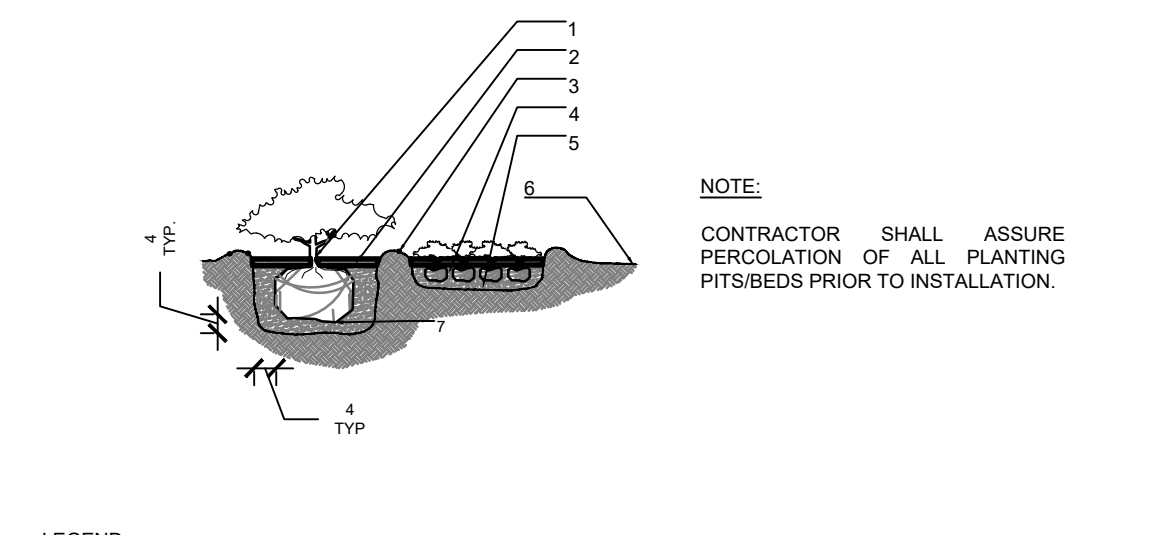
- LEGEND
- 2" NYLON STRAPPING WRUBBER HOSE-WRAPPED 360 AROUND TRUNK BEFORE TYING-WRAP @ LATERAL BRANCH
 - 3" MULCH AS SPECIFIED MIN. 24" FROM TRUNK
 - SOIL BERM TO HOLD WATER
 - 2"x4"x8" STAKES BURIED 3" BELOW FINISHED GRADE
 - FINISHED GRADE - SOD CONDITION (SEE GRADING PLAN)
 - B&B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
 - PREPARED PLANTING SOIL AS SPECIFIED
 - AUGER PER SPECS FOR PERCOLATION

2 LARGE TREE SECTION
SCALE: N.T.S



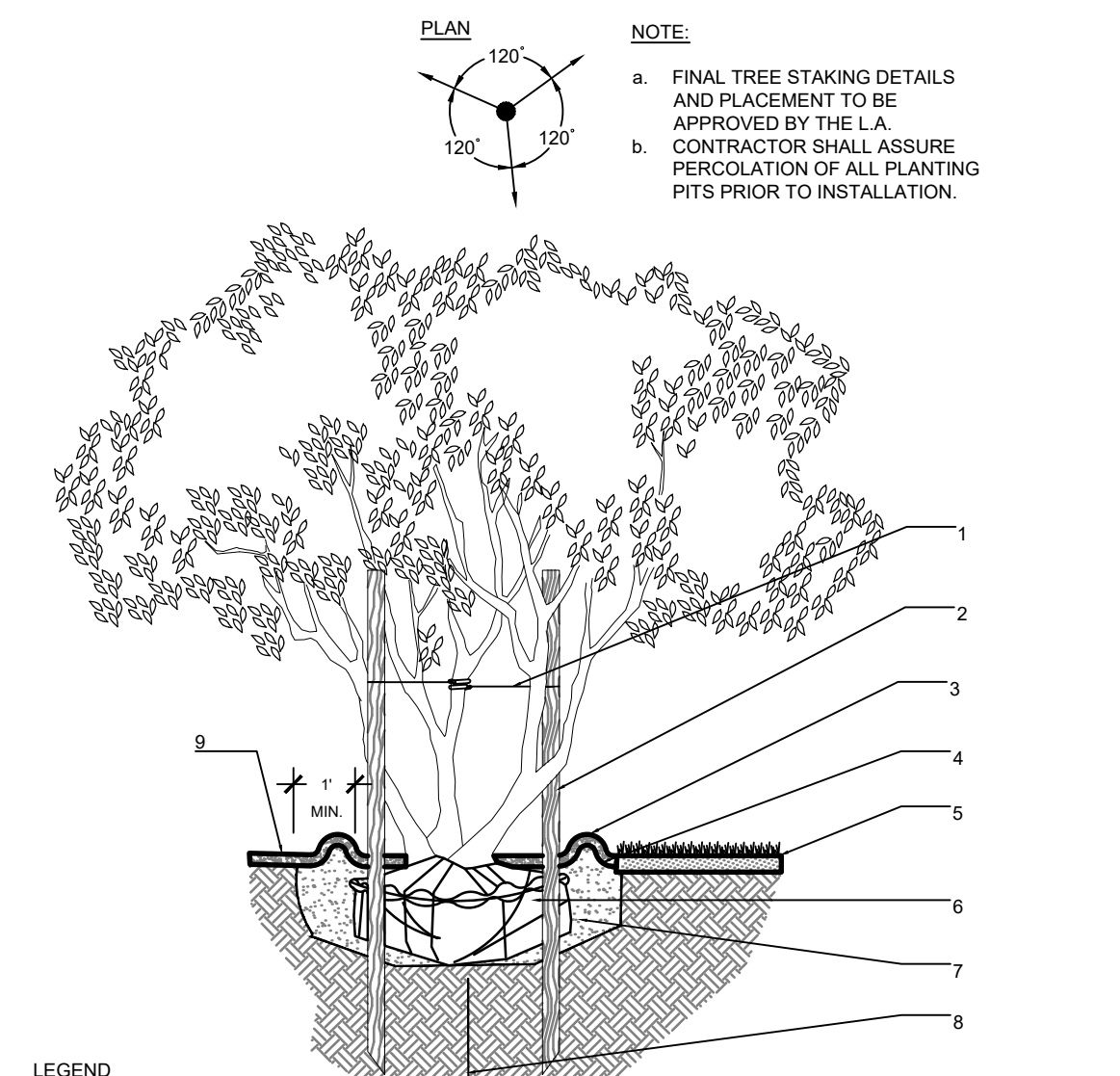
- LEGEND
- SET ROOT-TRUNK COLLAR FLUSH 1" ABOVE FINISHED GRADE.
 - SIDEWALK OR PAVERS
 - 18" ROOT BARRIER, EXTEND A MINIMUM 6' IN BOTH DIRECTION FROM THE CENTERLINE OF THE TREES
 - CENTER TREE IN PLANTER OPENING
 - MULCH
 - BACKFILL WITH TOPSOIL OR AMENDED TOPSOIL
 - CONCRETE SIDEWALK

5 ROOT BARRIER INSTALLATION SECTION
SCALE: N.T.S



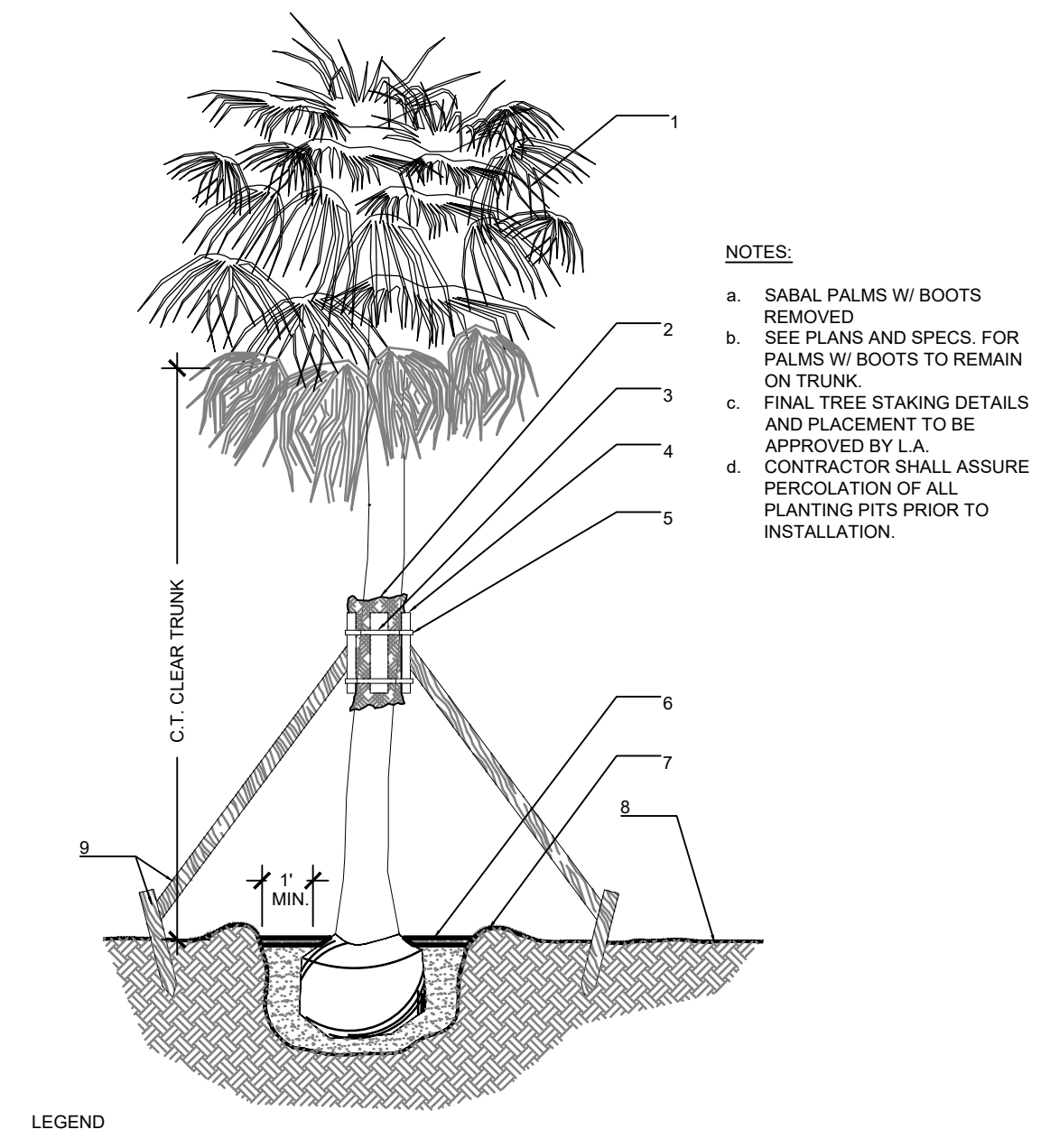
- LEGEND
- PLANT MATERIAL SHALL BE PLANTED 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOT BALL.
 - 3" MINIMUM OF MULCH
 - SOIL BERM TO HOLD WATER
 - MINIMUM DEPTH OF 12" PLANTING SOIL FOR GROUNDCOVER BED
 - EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED
 - FINISHED GRADE (SEE GRADING PLAN)
 - PREPARED PLANTING SOIL AS SPECIFIED
- NOTE: WHEN GROUNDCOVERS AND SHRUBS USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL & PLANT MATERIAL, UNLESS NOTED OTHERWISE.

8 SHRUBS & GROUNCOVERS SECTION
SCALE: N.T.S



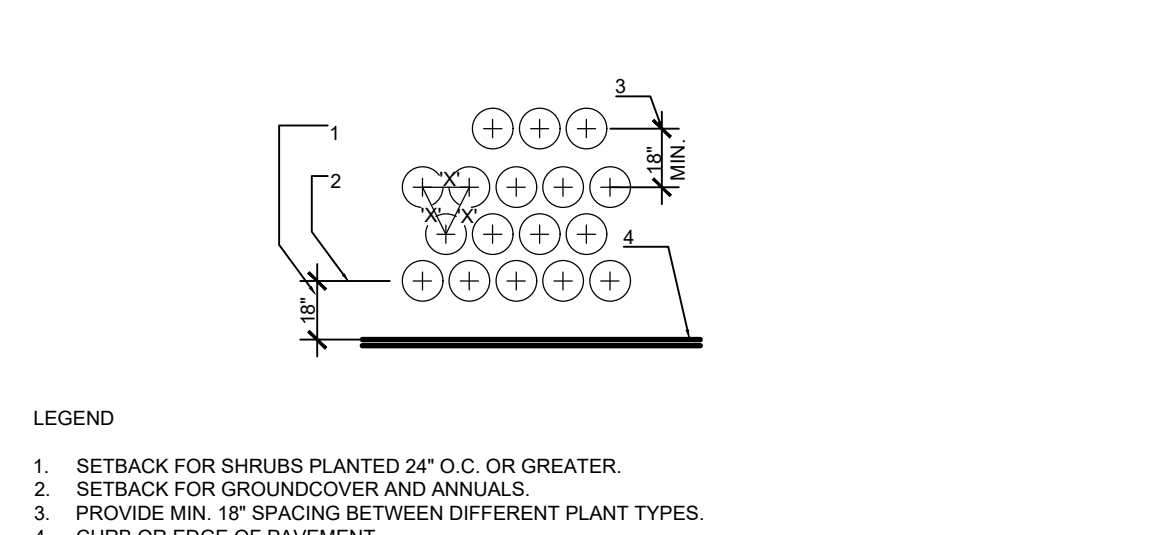
- LEGEND
- 2" NYLON STRAPPING
 - THREE-2"x2"x8" STAKES
 - 3" MULCH AS SPECIFIED
 - SOIL BERM TO HOLD WATER
 - FINISHED GRADE - SOD CONDITION (SEE GRADING PLAN)
 - B&B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
 - PREPARED PLANTING SOIL AS SPECIFIED
 - AUGER PER SPECS FOR PERCOLATION
 - MULCH CONTINUES - SHRUB BED CONDITION

3 MULTI-TRUNK TREE SECTION
SCALE: N.T.S



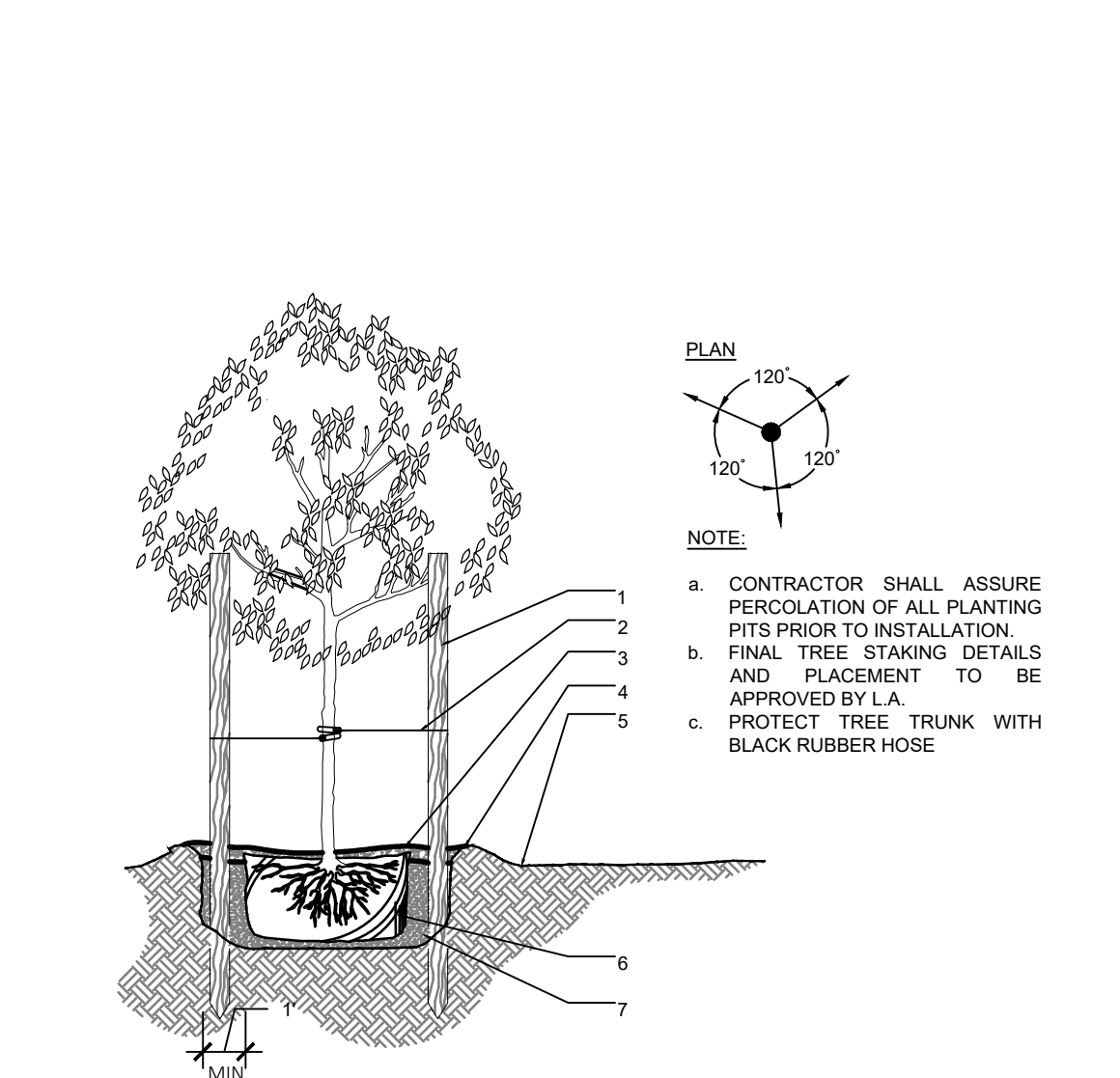
- LEGEND
- PRUNE AND TIE FRONDS WITH HEMP TWINE. (WASHINGTONIA PALMS REMOVE PER SPECS, HURRICANE CUT SABAL PALM)
 - TWO LAYERS OF BURLAP TO PROTECT TRUNK
 - TWO STEEL BANDS TO SECURE BATTONS
 - SIX 2" X 4" X 18" WOOD BATTONS PAINTED BROWN
 - 3-2" X 4" LUMBER POLE BRACE @ 120. NAIL (DRILL AND NAIL IF NECESSARY) TO BATTONS AND 2" X 4" STAKES. FLAG AT MIDPOINT
 - 3" MULCH AS SPECIFIED MIN 24" FROM TRUNK
 - FINISH GRADE
 - 2" X 4" WOOD STAKES

6 SABAL PALM SECTION
SCALE: N.T.S



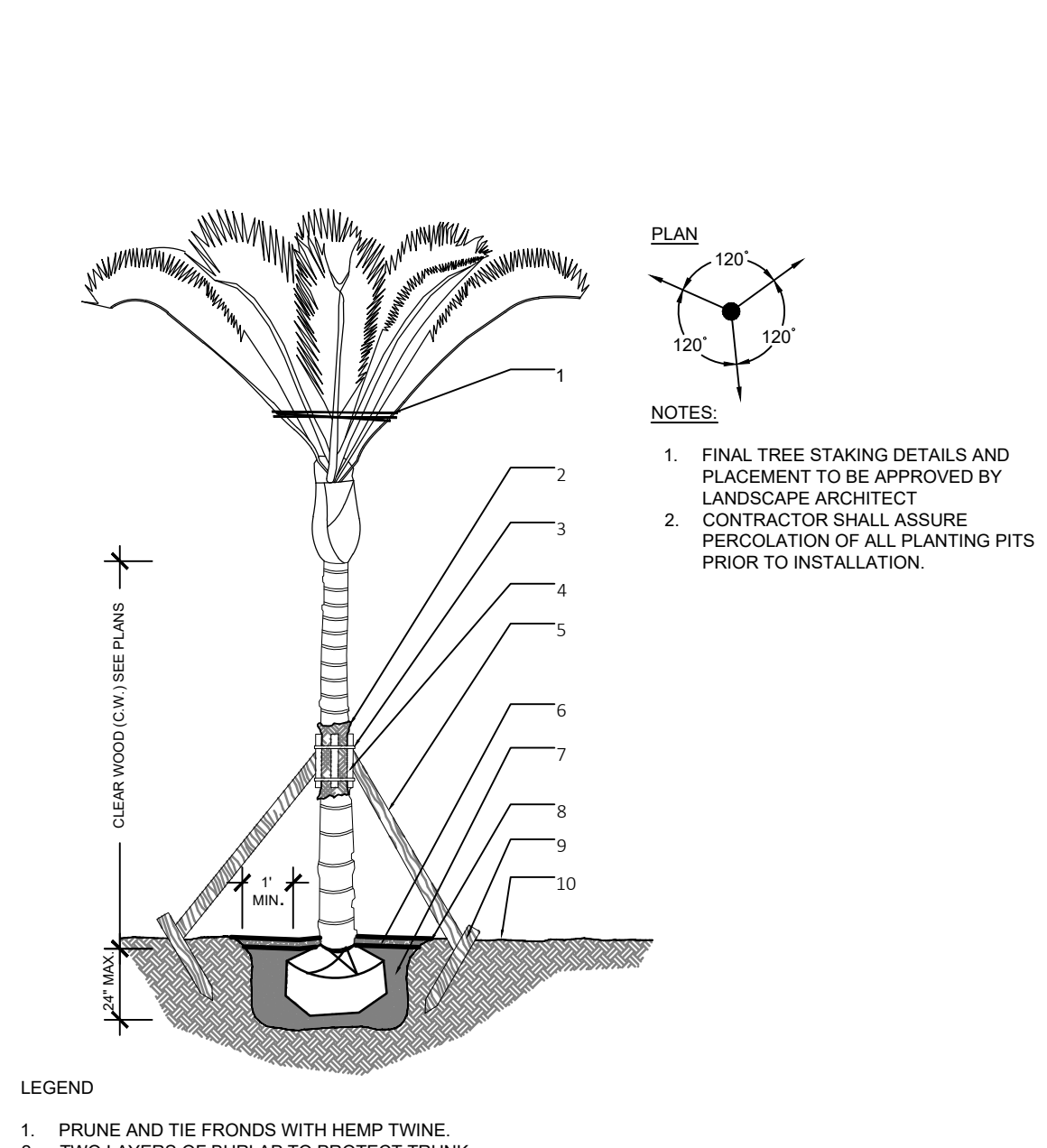
- LEGEND
- SETBACK FOR SHRUBS PLANTED 24" O.C. OR GREATER.
 - SETBACK FOR GROUNDCOVER AND ANNUALS
 - PROVIDE MIN. 18" SPACING BETWEEN DIFFERENT PLANT TYPES.
 - CURB OR EDGE OF PAVEMENT
- NOTE: ALL SHRUBS AND GROUNDCOVER MASSES TO USE TRIANGULAR SPACING EXCEPT WHERE NOTED REFER TO PLANT LIST FOR INDIVIDUAL PLANT SPACING "X".

9 TYPICAL PLANT SPACING SECTION
SCALE: N.T.S



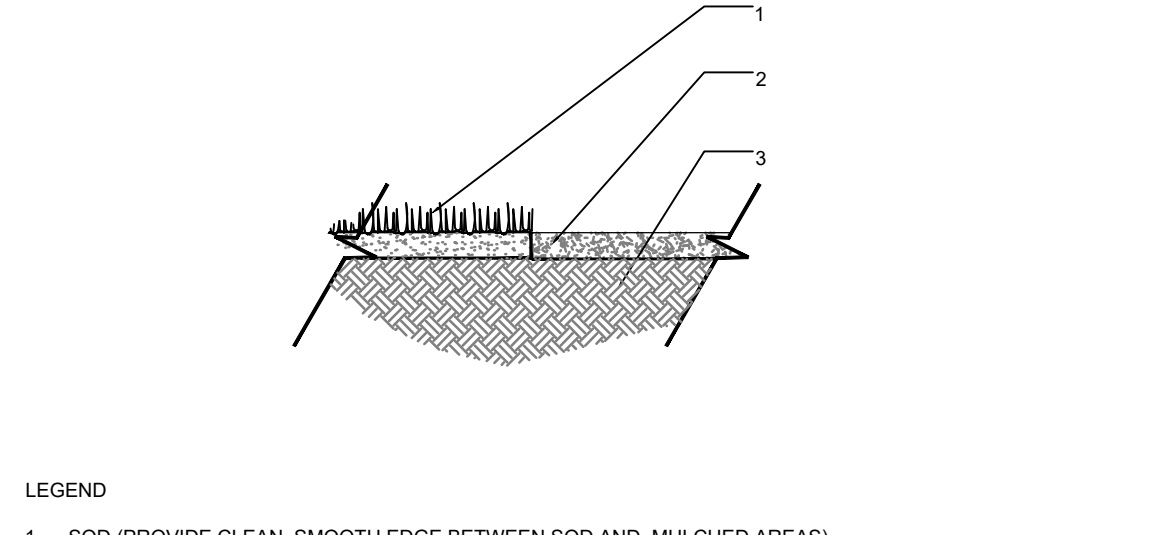
- LEGEND
- THREE 2"x4"x8" STAKES SPACE EVENLY AROUND TREE PAINTED BROWN
 - #10 GAUGE WIRE
 - 3" MINIMUM OF MULCH
 - SOIL BERM TO HOLD WATER
 - FINISHED GRADE (SEE GRADING PLAN)
 - B&B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
 - PREPARED PLANTING SOIL AS SPECIFIED

4 SMALL TREE SECTION
SCALE: N.T.S



- LEGEND
- PRUNE AND TIE FRONDS WITH HEMP TWINE.
 - TWO LAYERS OF BURLAP TO PROTECT TRUNK.
 - TWO STEEL BANDS TO SECURE BATTONS
 - THREE 2" X 4" X 18" WOOD BATTONS
 - 3-2" X 4" LUMBER POLE BRACES. NAIL (DRILL AND NAIL IF NECESSARY) TO BATTONS & 2" X 4" STAKES. FLAG AT MIDPOINT
 - 3" MIN. MULCH. SEE SPECIFICATIONS
 - PREPARED PLANTING SOIL AS SPECIFIED. PALMS SHALL BE PLANTED WITH THE TOP OF ROOTBALL AT FINISHED GRADE
 - BERM SOIL TO HOLD WATER
 - 2" X 4" X 3' WOOD STAKES
 - FINISH GRADE

7 SMALL PALM SECTION
SCALE: N.T.S



- LEGEND
- SOD (PROVIDE CLEAN, SMOOTH EDGE BETWEEN SOD AND MULCHED AREAS)
 - 3" DECORATIVE MULCH. (SEE SPECIFICATIONS)
 - PLANTING SOIL (FINE RAKED AND FREE OF WEEDS AND OTHER DELETERIOUS MATERIALS, SEE SPECIFICATIONS)
- NOTE: ALL MULCH SHALL BE FREE OF FIRE ANTS AND DEBRIS ONLY ENVIRONMENTAL FRIENDLY MULCH SHALL BE APPROVED.

10 MULCH SECTION
SCALE: N.T.S



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FORT LAUDERDALE, FLORIDA 33308 USA
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| Rev | Date | Description | By |
|-----|---------|----------------------------------------------------------|---------|
| 1 | 4/24/24 | REVISED DRAWING TO ADDRESS CITY COMMENTS FROM MARCH 2024 | AEM/MEP |
| 2 | | | |
| 3 | | | |
| 4 | | | |
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Sheet Title:
LANDSCAPE DETAILS

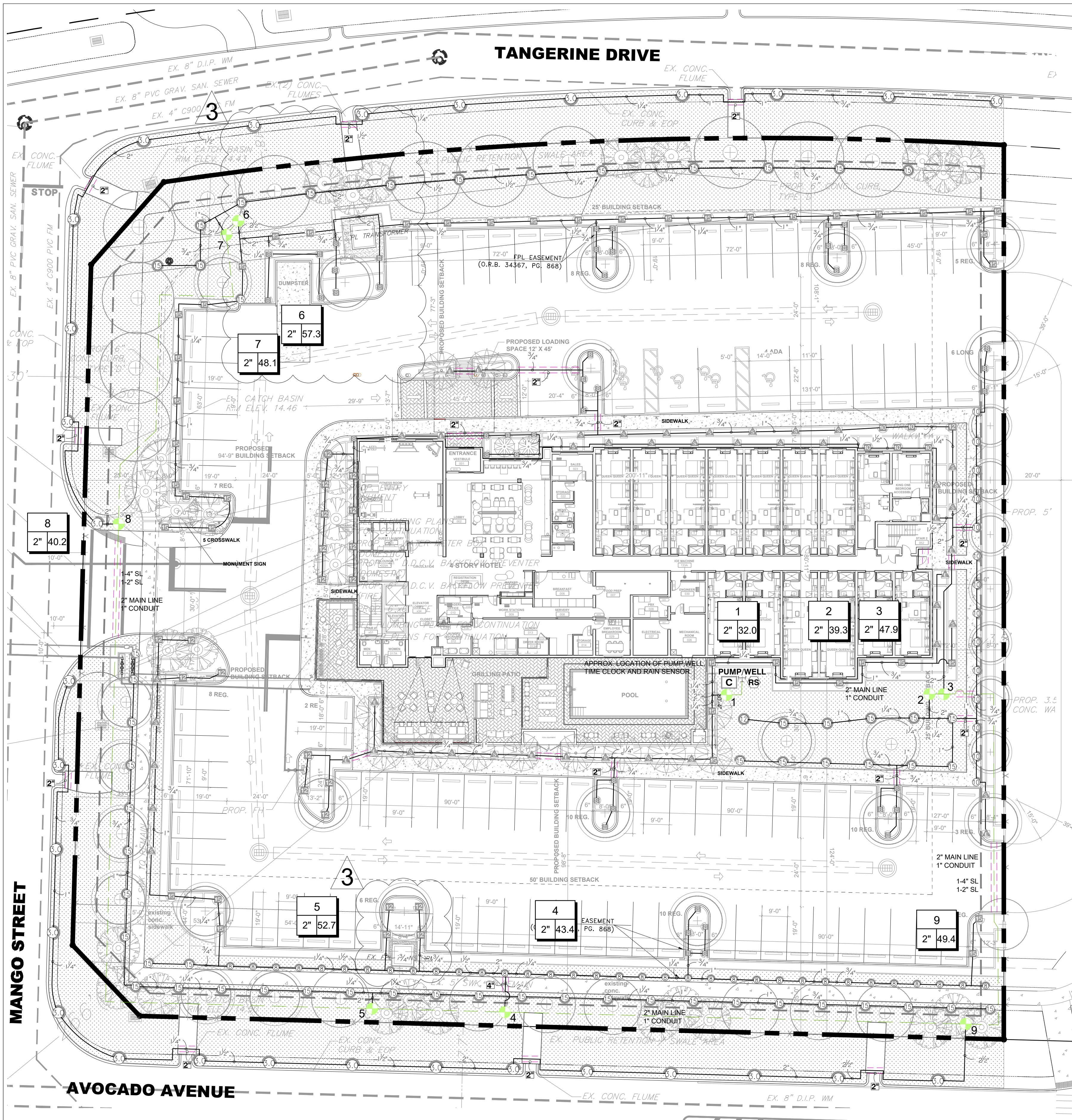
Project Name:
HOME 2 SUITES HOTEL
Loxahatchee Groves, FL 33470

SEAL / SIGNATURE

Date: DECEMBER 8, 2023
Scale: N.T.S.
Drawn By: AEM/MEP
Approved By: AEM
Project No: 202333

Sheet Number:
L-04




PERMIT SET - NOT FOR CONSTRUCTION



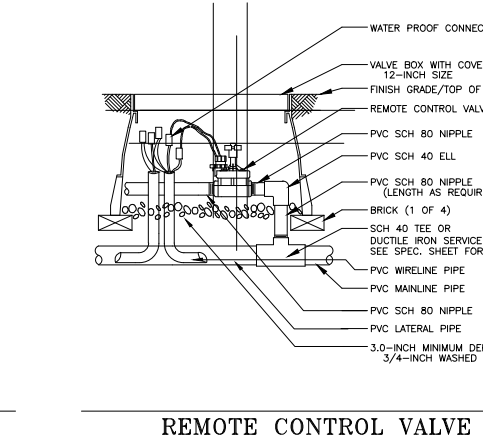
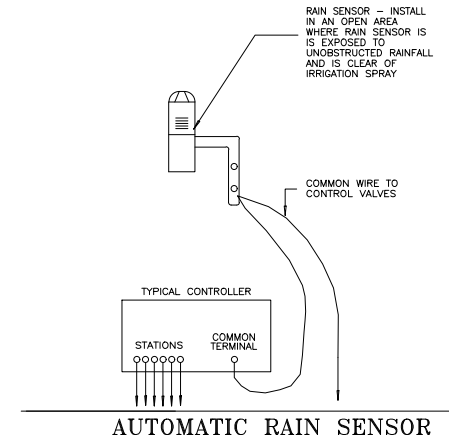
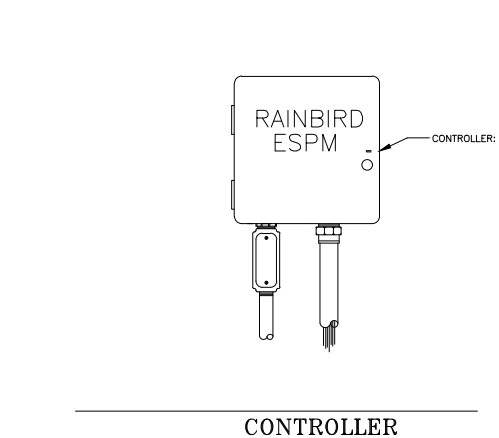
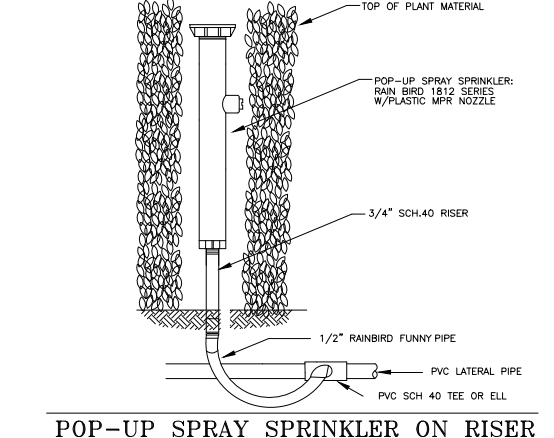
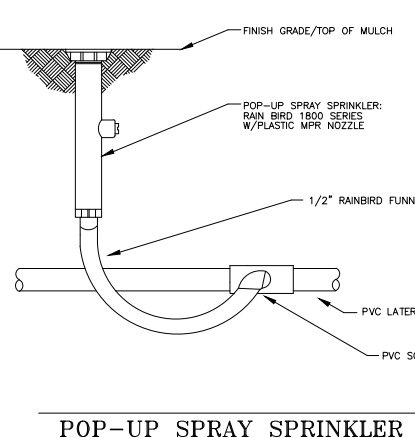
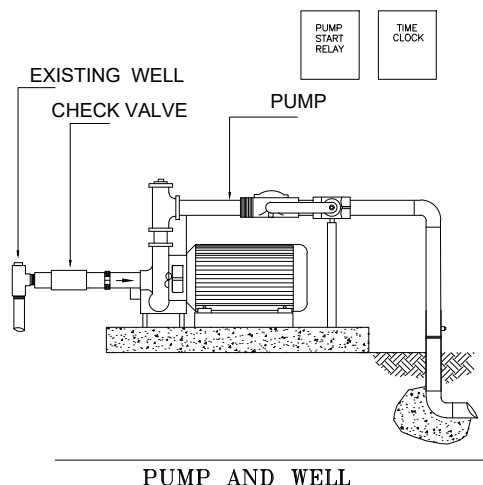
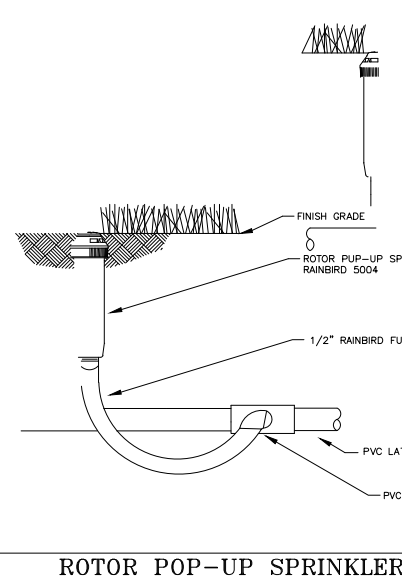
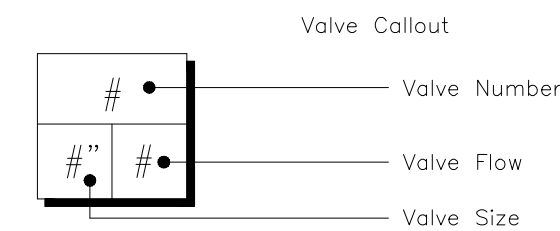
NOTE:
ALL IRRIGATION EQUIPMENT AND PIPING ARE SHOWN FOR CLARITY PURPOSE ONLY AND SHALL BE
INSTALLED WITHIN ALL PROPERTY LINES AND AVOID ALL UTILITIES.

IRRIGATION_SCHEDULE OR EQUIVILENT.

| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION |
|--------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|
| | Rain Bird 1806 8 Series MPR Turf Spray 6.0in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet. |
| | Rain Bird 1806 15 Series MPR Turf Spray 6.0in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet. |
| | Rain Bird 1812 15 Strip Series Shrub Spray 1.2in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet. |
| | Rain Bird 1812 8 Series MPR Shrub Spray 1.2in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet. |
| | Rain Bird 1812 12 Series MPR Shrub Spray 1.2in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet. |
| | Rain Bird 1812 15 Series MPR Shrub Spray 1.2in. Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2in. NPT Female Threaded Inlet. |

| <u>SYMBOL</u> | <u>MANUFACTURER/MODEL</u> |
|-----------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  | Rain Bird 5004-PC 3.0 |
| <u>SYMBOL</u> | <u>MANUFACTURER/MODEL/DESCRIPTION</u> |
|  | Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. |
|  | Rain Bird ESP4ME3 with (2) ESP-5M3 I/O Station, Hybrid Modular Outdoor Controller. For Residential or Light Commercial Use. LNK WiFi Module and Flow Sensor Ready. |
|  | Rain Bird RSD-BEx Rain Sensor, with metal latching bracket, extension wire. |
|  PUMP/Well | 3 Horse Power Centrifugal Pump with 3" Well |

- Irrigation Lateral Line: PVC Schedule 40
- Irrigation Mainline: PVC Schedule 40
- Pipe Sleeve: PVC Schedule 40



GRAPHIC SCALE
NORTH 0' 20' 40' 60'

**Sunshine State
One Call**

811

Know what's below.
Call before you dig.

- GENERAL NOTES
- Pipe sizes shall conform to those shown on the drawings. No substitutions of smaller pipe sizes shall be permitted, but substitutions of larger sizes may be approved. All damaged and rejected pipe shall be removed from the site at the time of said rejection.
 - All mainline, lateral line and control wire conduit under paving shall be installed in separate sleeves. Sleeves shall be a minimum of twice (2X) the diameter of the pipe to be sleeved. Main Line shall be installed in with lateral pipe where possible.
 - Install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local codes.
 - Final location of the backflow preventer and automatic controller shall be approved by the owner's authorized representative.
 - 120 VAC electrical power source at controller location shall be provided by others. The electrical contractor shall make the final connection from the electrical source to the controller.
 - All sprinkler heads shall be set perpendicular to finish grade unless otherwise specified.
 - The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum spray with minimal overspray onto walks, streets, walls, etc.
 - This design is diagrammatic. All piping, valves, etc., shown within paved areas is for design clarification only and shall be installed in planting areas wherever possible. The contractor shall locate all valves in shrub areas where possible.
 - It is the responsibility of the irrigation contractor to familiarize himself with all grade differences, location of walls, retaining walls, structures and utilities. The irrigation contractor shall repair or replace all items damaged by his work. He shall coordinate his work with other contractors for the location and installation of pipe sleeves through walls, under roadways and paving, etc.
 - Do not willingly install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences or differences in the area dimensions exist that might not have been considered in the engineering. Such obstructions or differences should be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
 - All sprinkler equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
 - The irrigation contractor shall install check valves on all heads in areas where finish grade exceeds 4:1, where post valve shut-off draining, of the irrigation head occurs or as directed by the owner's authorized representative.
 - The contractor shall provide 1800 PCS (pressure compensating screens) as necessary to reduce or eliminate overspray onto streets, walks or other areas as directed by the owner's authorized representative.
 - All control wires shall be installed in PVC conduit.
 - All remote control valves, gate valves, quick couplers, control wire and computer cable pull points shall be installed in approved valves boxes with covers.
 - The installation devices are to be guaranteed for the period of (1) year from the date of final acceptance.



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FORT LAUDERDALE, FLORIDA 33309 USA
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| Rev | Date | Description | By |
|-----|---------|----------------------------------------------------------|--------|
| 1 | 3/4/24 | ISSUED DRAWING TO ADDRESS CITY COMMENTS FROM 1/17/2024 | AEM/MP |
| 2 | 4/24/24 | REVISED DRAWING TO ADDRESS CITY COMMENTS FROM MARCH 2024 | AEM/MP |
| 3 | 5/29/24 | REVISED DRAWING TO ADDRESS CITY COMMENTS FROM MARCH 2024 | AEM/MP |
| 4 | | | |
| 5 | | | |
| 6 | | | |

Sheet Title:
**IRRIGATION PLAN
DETAILS &
GENERAL NOTES**

Project Name:
HOME 2 SUITES HOTEL
Loxahatchee Groves, FL 33470

SEAL / SIGNATURE

ALL DESIGNS AND DETAILS ON THIS DRAWING ARE THE PROPERTY OF ANDRES MONTERO LANDSCAPE ARCHITECTURE, LLC. AND SHALL NOT BE USED, COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM ANDRES MONTERO LANDSCAPE ARCHITECTURE, LLC.

DATE: DECEMBER 8, 2023
Scale: 1" = 20'-0"
Drawn By: AEM/MP
Approved By: AEM
Project No: 202333

Sheet Number:
L-05

PERMIT SET - NOT FOR CONSTRUCTION

INDEX:

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| A-000 | COVER PAGE |
| | SURVEY |
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| A-002 | SITE PLAN - AUTO TURN FIRE TRUCK |
| A-003 | SITE PLAN - AUTO TURN TRASH TRUCK |
| A-003.1 | SITE PLAN - AUTOTURN DELIVERY TRUCK |
| A-004 | SITE PLAN - HARD SCAPES |
| A-005 | SITE DETAILS |
| A-006 | POOL DECK & DETAILS |
| A-006.1 | EXTERIOR POOL ELEVATIONS & GRILLING PATIO |
| A-007 | METAL STANDING SEAM DETAILS |
| A-008 | MASTER SIGNAGE PLAN |
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| A-103 | THIRD FLOOR PLAN |
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| A-227 | DUMPSTER DETAILS |
| E1.0a | ELECTRICAL SITE PLAN - PHOTOMETRICS VALUES |
| E1.0b | LIGHT POLE DETAIL |

DESCRIPTION

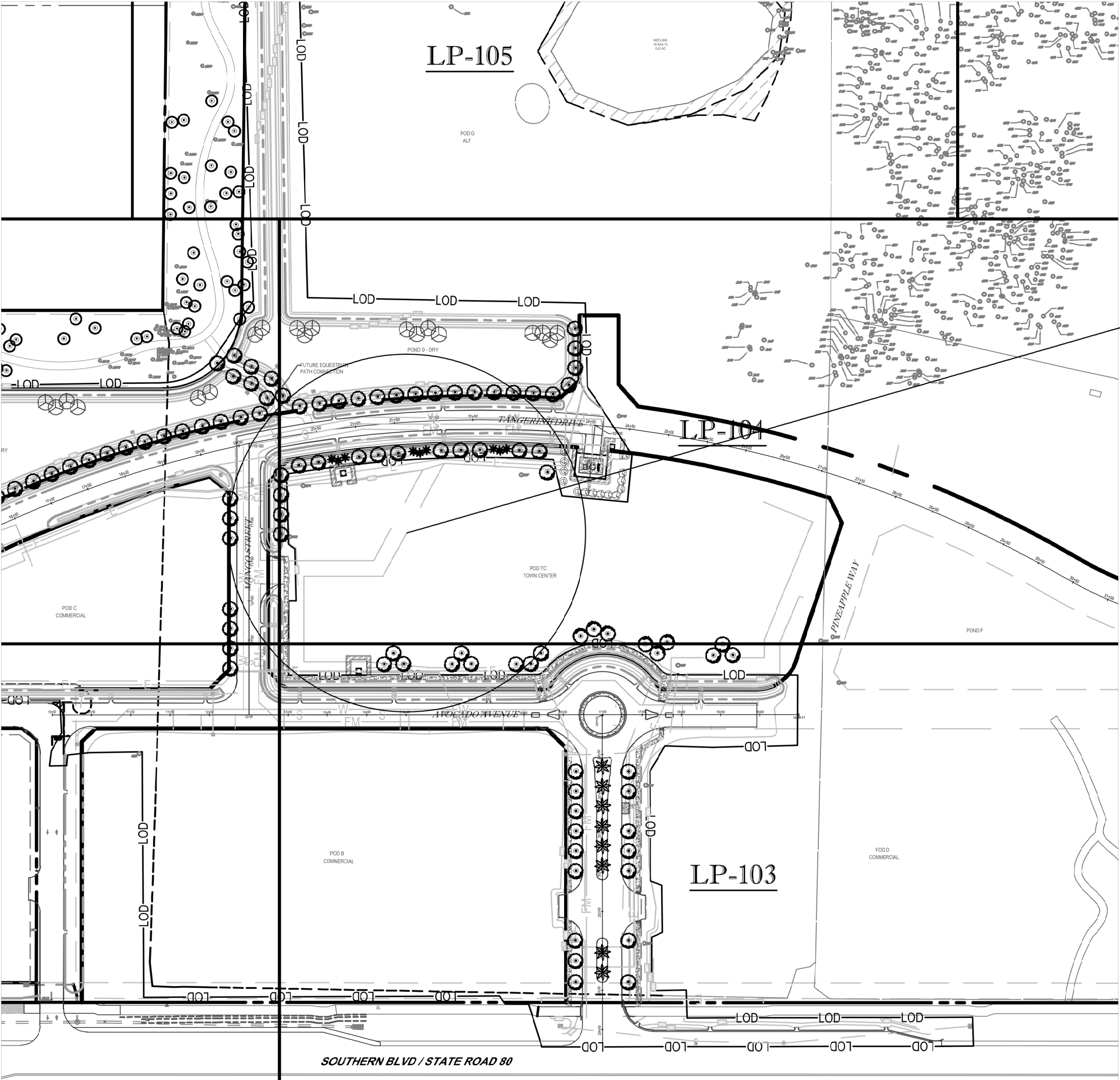
A PORTION OF TRACT POD TC, GROVES TOWN CENTER PUD AMENDMENT NO. 1, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 132 AT PAGE 134 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHERNMOST SOUTHWEST CORNER OF SAID TRACT POD TC; THENCE NORTH 43°26'43" WEST, A DISTANCE OF 34.05 FEET; THENCE NORTH 01°33'19" EAST, A DISTANCE OF 237.79 FEET; THENCE NORTH 41°19'43" EAST, A DISTANCE OF 38.43 FEET TO A POINT ON A CURVE TO THE RIGHT, SAID POINT BEARING NORTH 08°23'56" WEST FROM THE RADIUS POINT OF SAID CURVE WHOSE RADIUS IS 1435.00 FEET AND HAVING A CENTRAL ANGLE OF 11°44'59", THENCE NORTHEASTERLY ALONG SAID CURVE, A DISTANCE OF 294.27 FEET; THE PREVIOUS FOUR (4) COURSES BEING ALONG THE WESTERLY AND NORTHERLY LINES OF SAID TRACT POD TC; THENCE SOUTH 00°00'00" EAST, A DISTANCE OF 312.40 FEET TO A POINT ALONG THE SOUTH LINE OF SAID TRACT POD TC; NORTH 88°26'46" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 302.00 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE IN THE TOWN OF LOXAHATCHEE GROVES, PALM BEACH COUNTY, FLORIDA AND CONTAINING 97,755 SQUARE FEET OR 2.244 ACRES, MORE OR LESS.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS, AND RIGHTS-OF-WAY OF RECORD.

HOME 2 SUITES BY HILTON



LOCATION MAP

Consultants

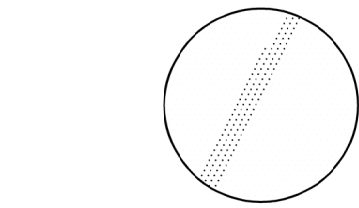
| | | |
|--------------------------------|----------------|------------------------------|
| George White Architect | P:561-289-6754 | E:gfwwhite@bellsouth.net |
| EA3 Civil Engineering | P:754-777-7993 | E:ericarencibia@ea3civil.com |
| Beacon Engineering | P:561-424-3270 | E:jmv@beacon-eng.com |
| Andres Montero Landscape Arch. | P:954-591-5606 | E:amontero@amlastudio.com |

Date: 10/12/2023
Project #:GW2023006
Drawn:GFW
ARC, LISC, Reg.
#AR0009531

Revisions:



HOME 2 SUITES
LOXAHATCHEE GROVES, FLORIDA
George White ARCHITECT



COVER PAGE

A-000

561-289-6754

33467

6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA

- Reservation of one-half of all of the oil, gas, sulphur, other minerals and mineral rights to George F. Bense recorded in Deed Book 1098, Page 133, as further conveyed by Deed recorded in Official Records Book 1635, Page 634, as amended by Deed recorded in Official Records Book 1635, Page 634; Official Records Book 1668, page 170; Official Records Book 2391, Page 153 and Official Records Book 2394, Page 1347, Public Records of Palm Beach County, Florida, as affected by Release of Surface Rights recorded in Official Records Book 6128, page 237; in Official Records Book 11524, page 1, Official Records Book 21753, Page 400 and Afloatwell recorded in Official Records Book 21608, Page 345, and further Assignment of Oil Reservations to Norma Jeanne Herbers, as Trustee of the Hinz Family Management Trust, recorded in Official Records Book 27541, page 1107, Public Records of Palm Beach County, Florida. [AFFECTS, NOT PLOTTABLE]
9. Covenants, conditions, limitations and restrictions set forth in Declaration of Restrictive Covenant, recorded November 28, 2005, in Official Records Book 19585, Page 697, as affected by Assignment of Declaration of Restrictive Covenant recorded in Official Records Book 32649, page 545, Public Records of Palm Beach County, Florida. [AFFECTS, NOT PLOTTABLE]
10. Dedications, easements and restrictions set forth on Plat of Groves Town Center PUD recorded May 22, 2019 in Plat Book 128, page 66, Public Records of Palm Beach County, Florida. [AFFECTS AS SHOWN]
11. Terms, conditions, covenants, restrictions, easements, assessment lien rights, use rights and obligations set forth in Declaration of Master Covenants for Groves Town Center, by LOXAHATCHEE EQUESTRIAN PARTNERS, LLC, a Florida limited liability company, and SOLAR SPORTSYSTEMS, INC., a New York corporation, with as joint owner by Groves Town Center Master Association, Inc., recorded June 19, 2019 in Official Records Book 30693, page 680, as amended by First Amendment recorded July 9, 2021 in Official Records Book 32671, page 71, Public Records of Palm Beach County, Florida. [AFFECTS, NOT PLOTTABLE]
12. Terms, conditions, covenants, restrictions, easements, set forth in Declaration of Reciprocal Easements, Covenants and Restrictions by LOXAHATCHEE EQUESTRIAN PARTNERS, LLC, a Florida limited liability company and SOLAR SPORTSYSTEMS, INC., a New York corporation, and BW Southern Binks, LLC, a Florida limited liability company, and exhibits thereto, recorded June 19, 2019 in Official Records Book 30693, page 754, Public Records of Palm Beach County, Florida. [AFFECTS, NOT PLOTTABLE]
13. Terms, conditions, covenants, obligations, regulations and other provisions of Improvement Agreement for Construction of Certain Improvements by and between LOXAHATCHEE EQUESTRIAN PARTNERS, LLC, a Florida limited liability company, and SOLAR SPORTSYSTEMS, INC., a New York corporation, and BW Southern Binks, LLC, a Florida limited liability company, and the Town of Loxahatchee Groves, recorded May 6, 2020 in Official Records Book 31407, page 206, Public Records of Palm Beach County, Florida. [AFFECTS, NOT PLOTTABLE]
14. Provisions of South Florida Water Management District Environmental Resource Permit No. 50-104052-P and recorded Notice thereof recorded January 8, 2021 in Official Records Book 32078, page 114, Public Records of Palm Beach County, Florida. [AFFECTS, NOT PLOTTABLE]
15. Provisions of South Florida Water Management District Environmental Resource Permit No. 50-104053-P and recorded Notice thereof recorded January 21, 2021 in Official Records Book 32116, page 789, Public Records of Palm Beach County, Florida. [AFFECTS, NOT PLOTTABLE]
16. Terms, conditions, covenants, assessment lien rights, and obligations set forth in Declaration Regarding Maintenance Obligation Groves Town Center, recorded July 23, 2021 in Official Records Book 32718, page 352, Public Records of Palm Beach County, Florida. [AFFECTS, NOT PLOTTABLE]
17. Underground Easement (Business) granted to Florida Power & Light Company, et al., recorded June 12, 2023 in Official Records Book 34367, page 868, Public Records of Palm Beach County, Florida. [AFFECTS AS SHOWN]

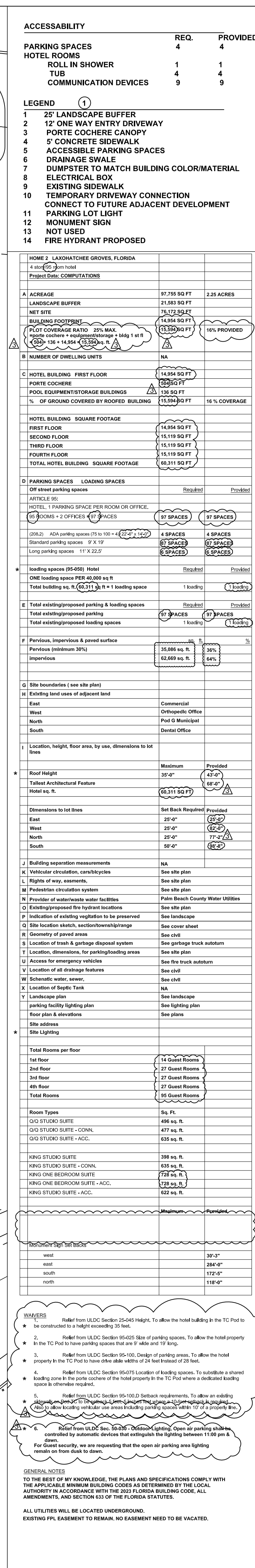
| TREE TABLE | | | | |
|------------|--------------------------------------------|-------------------------------|----------|---------|
| TREE ID | TREE TYPE TRUNK DIAMETER (IN INCHES) | PALM TREE HEIGHT (IN FEET) | NORTHING | EASTING |
| 533 | PINE 9 | | 855340 | 888767 |
| 534 | PINE 12 | | 855345 | 888763 |
| 535 | PINE 11 | | 855344 | 888754 |
| 536 | PINE 11 | | 855328 | 888778 |
| 537 | OAK 19 | | 855315 | 888773 |
| 538 | PINE 14 | | 855325 | 888758 |
| 539 | PALM 17 | 6 | 855321 | 888747 |
| 540 | PALM 15 | 14 | 855327 | 888742 |
| 541 | PINE 8 | | 855345 | 888740 |
| 542 | PINE 11 | | 855347 | 888737 |
| 543 | PINE 7 | | 855350 | 888733 |
| 544 | OAK 14 | | 855326 | 888719 |
| 545 | PINE 9 | | 855345 | 888716 |
| 546 | OAK 15 | | 855341 | 888717 |
| 547 | PALM 16 | 19 | 855316 | 888708 |
| 548 | PALM 16 | 5 | 855318 | 888705 |
| 549 | OAK 5 | | 855332 | 888670 |
| 550 | OAK 6 | | 855307 | 888669 |
| 551 | OAK 5 | | 855287 | 888668 |
| 552 | PALM 13 | 23 | 855275 | 888678 |
| 553 | PALM 13 | 16 | 855264 | 888709 |
| 554 | OAK 17 | | 855289 | 888720 |
| 555 | PINE 9 | | 855296 | 888712 |
| 556 | PALM 14 | 6 | 855277 | 888751 |
| 557 | PALM 16 | 6 | 855289 | 888772 |
| 558 | OAK 27 | | 855292 | 888807 |
| 559 | PINE 10 | | 855301 | 888812 |
| 560 | PINE 13 | | 855292 | 888817 |
| 561 | PINE 10 | | 855305 | 888765 |
| 562 | PALM 13 | 4 | 855281 | 888795 |
| 563 | FICUS 11 | | 855296 | 888834 |
| 564 | PALM 19 | 12 | 855290 | 888866 |
| 565 | PALM 14 | 19 | 855287 | 888866 |

| TREE TABLE | | | | |
|------------|-------------------------------------------------|-------------------------------|----------|---------|
| TREE ID | TREE TYPE with TRUNK DIAMETER (IN INCHES) | PALM TREE HEIGHT (IN FEET) | NORTHING | EASTING |
| 599 | PALM 19 | 12 | 855137 | 888763 |
| 600 | OAK 5 | | 855123 | 888809 |
| 601 | PALM 8 | 8 | 855179 | 888861 |
| 602 | PALM 9 | 21 | 855183 | 888920 |
| 603 | PALM 10 | 21 | 855184 | 888926 |
| 604 | PALM 11 | 19 | 855178 | 888920 |
| 605 | PALM 11 | 27 | 855184 | 888947 |
| 606 | PALM 11 | 26 | 855160 | 888942 |
| 607 | PALM 15 | 6 | 855141 | 888870 |
| 608 | PALM 18 | 9 | 855129 | 888870 |
| 609 | OAK 5 | | 855120 | 888884 |
| 610 | OAK 12 | | 855113 | 888973 |
| 611 | OAK 6 | | 855106 | 888961 |
| 612 | OAK 5 | | 855107 | 888906 |
| 613 | OAK 4 | | 855106 | 888881 |
| 614 | OAK 5 | | 855108 | 888820 |
| 615 | OAK 5 | | 855108 | 888795 |
| 616 | PALM 8 | 5 | 855226 | 888748 |
| 617 | PALM 10 | 4 | 855131 | 888778 |
| 618 | FICUS 4 | | 855180 | 888729 |
| 619 | PALM 9 | 10 | 855335 | 888734 |
| 620 | PALM 13 | 15 | 855327 | 888735 |
| 621 | PALM 13 | 15 | 855333 | 888743 |
| 622 | PALM 8 | 4 | 855216 | 888757 |
| 623 | PALM 12 | 4 | 855262 | 888729 |
| 624 | PALM 10 | 4 | 855151 | 888911 |
| 625 | PALM 7 | 7 | 855300 | 888725 |
| 626 | FICUS 6 | | 855165 | 888810 |
| 627 | PALM 10 | 6 | 855341 | 888883 |
| 628 | PALM 15 | 5 | 855214 | 888946 |

FIELD & WHEELER, INC.
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE - SURVEYING
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561)-392-1991 / FAX (561)-750-1451

| | |
|-----------------|--------|
| DATE 10-12-2023 | |
| DRAWN BY | RW |
| F.B./ PG. | HDS |
| SCALE | 1"=20' |

| |
|--------------|
| JOB # 10643 |
| SHT.NO. 2 |
| OF 2 SHEETS |

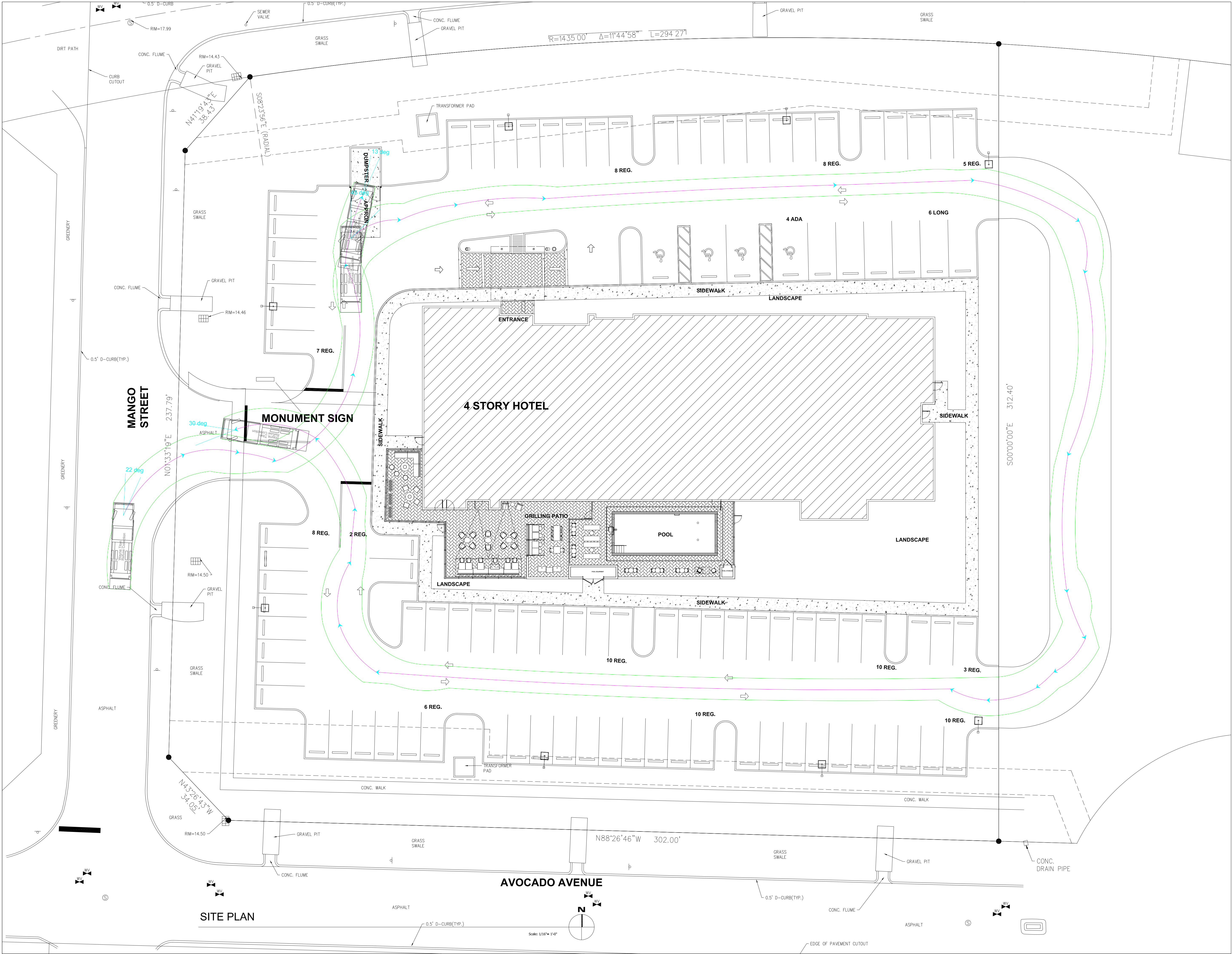


Revisions:

- ① 1/31/24 revised parking
- ② 4/16/24 revised parking pool area, bldg footprint
- ③ 4/26/24 DRC COMMENTS

6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467 561-289-6754

S-2



Date: 10/12/2023
Project #: GW2023006
Drawn: GFW
ARC. LISC. Reg.
#AR0009531

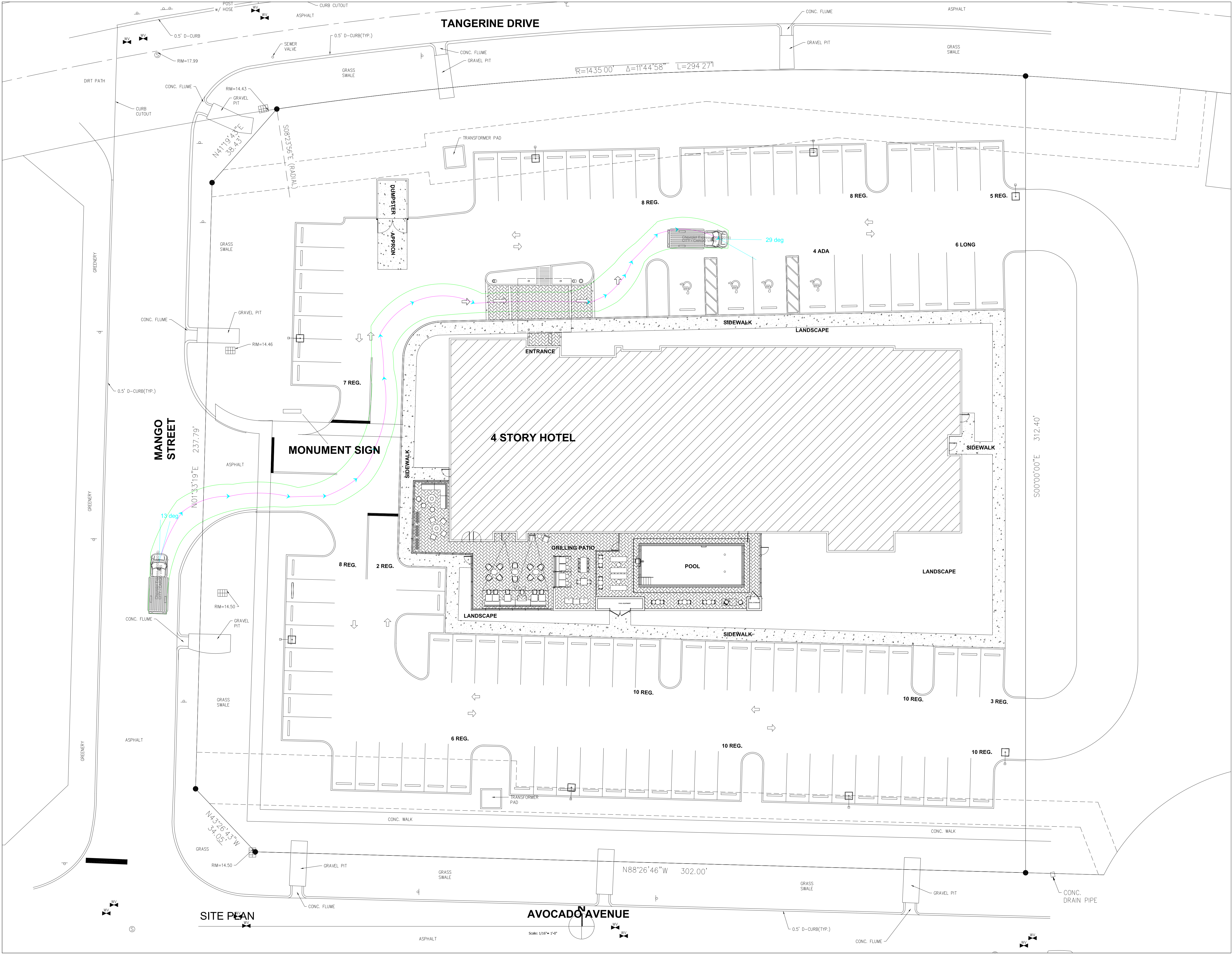
Revisions:
4/16/24 revised parking
pool area, bldg footprint



HOME 2 SUITES
LOXAHATCHEE GROVES, FLORIDA
George White ARCHITECT
6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467 561-289-6754

SITE PLAN
AUTOTURN
REFUSE TRUCK

A-003



Date: 10/12/2023
Project #: GW2023006
Drawn: GFW
ARC. LISC. Reg.
#AR0009531

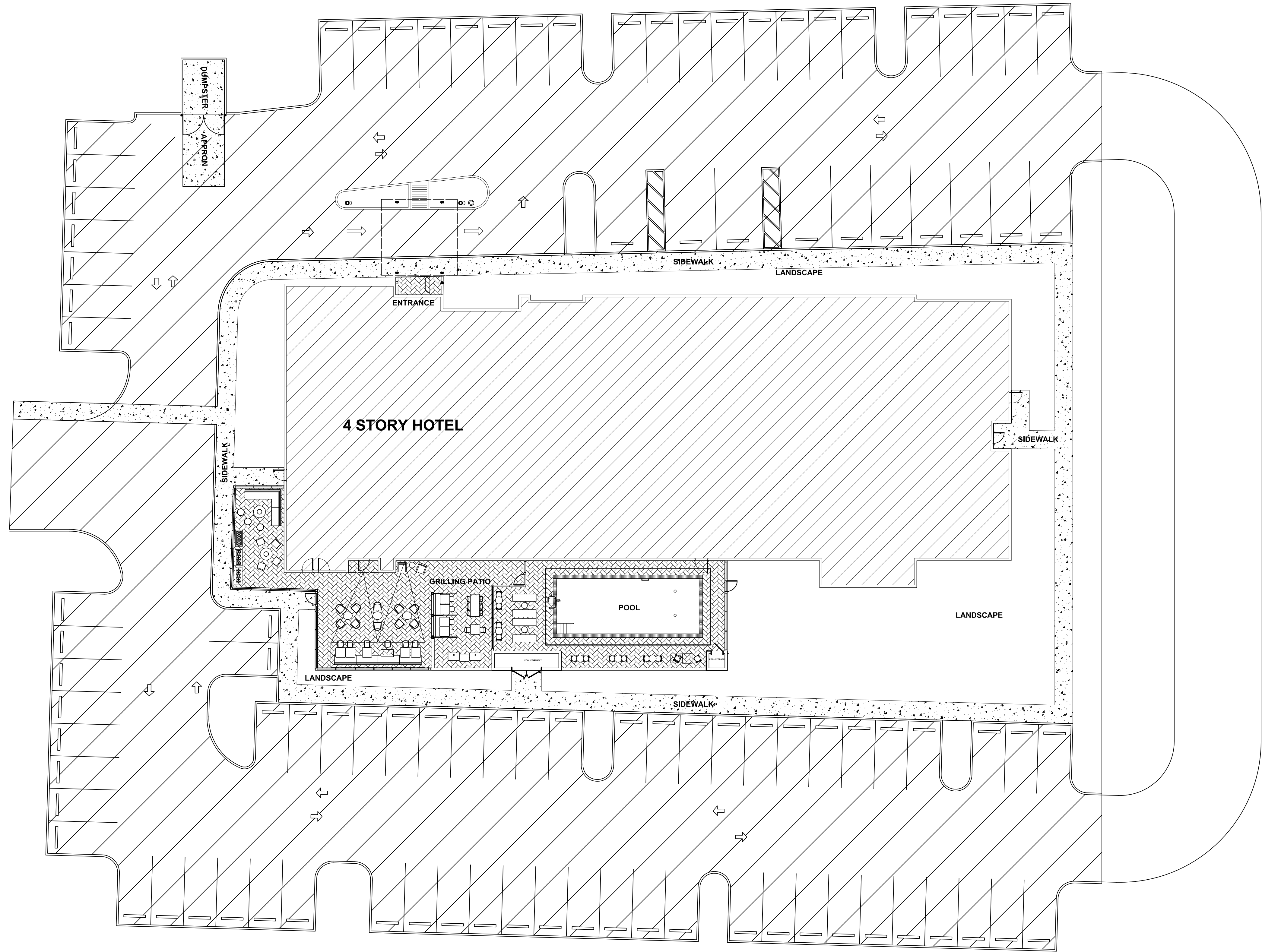
Revisions:
4/16/24 revised parking
pool area, bldg footprint



HOME 2 SUITES
LOXAHATCHEE GROVES, FLORIDA
George White ARCHITECT
6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467 561-289-6754

SITE PLAN
AUTOTURN
DRLIVERY TRUCK

A-003.1



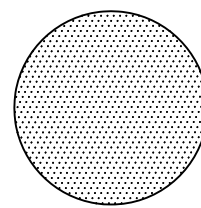
- LEGEND - HATCH
- PARKING LOT
- SIDEWALK/DUMPSTER
- POOL/PATIO AREA

Date: 10/12/2023
Project #: GW2023006
Drawn: GFW
ARC. LISC. Reg.
#AR0009531

Revisions:
4/16/24 CITY COMMENTS

HOME2
SUITES BY HILTON

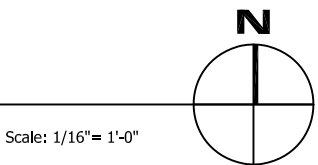
HOME 2 SUITES
LOXAHATCHEE GROVES, FLORIDA
George White ARCHITECT
6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467 561-289-6754

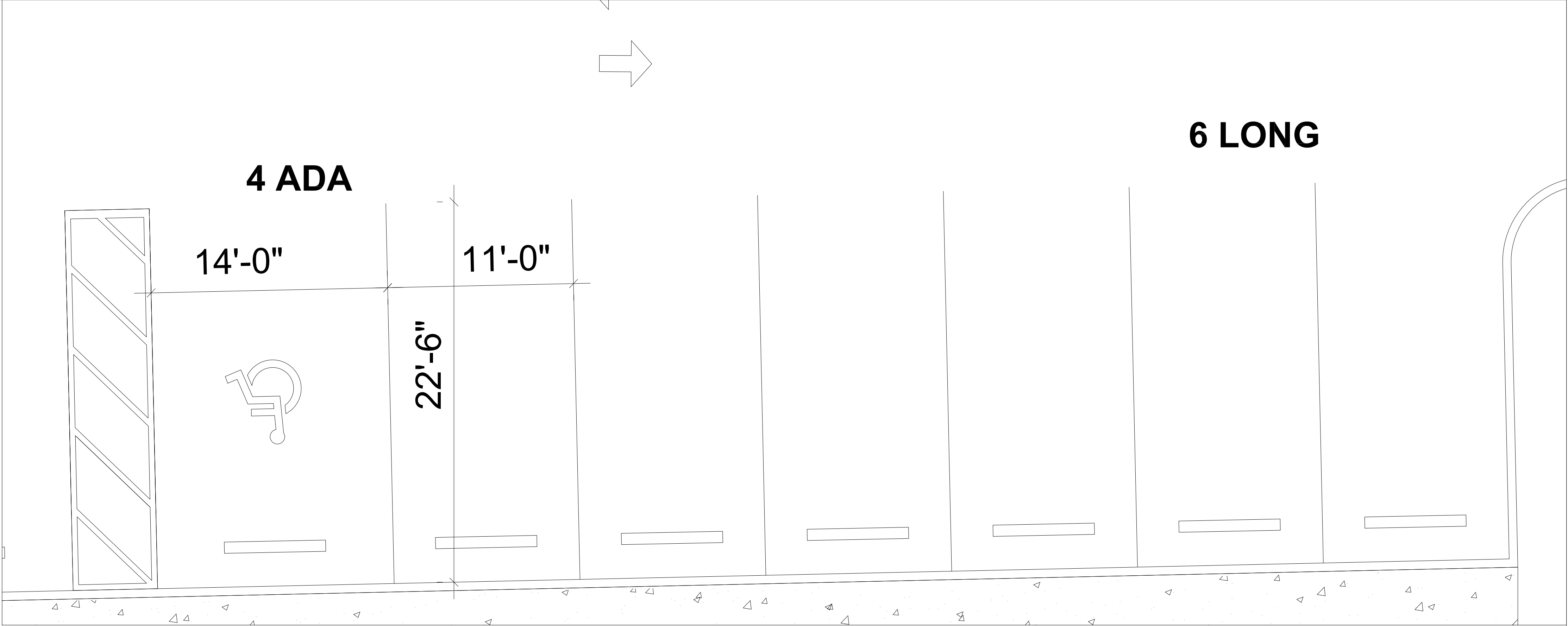


HARD SCAPES

A-004

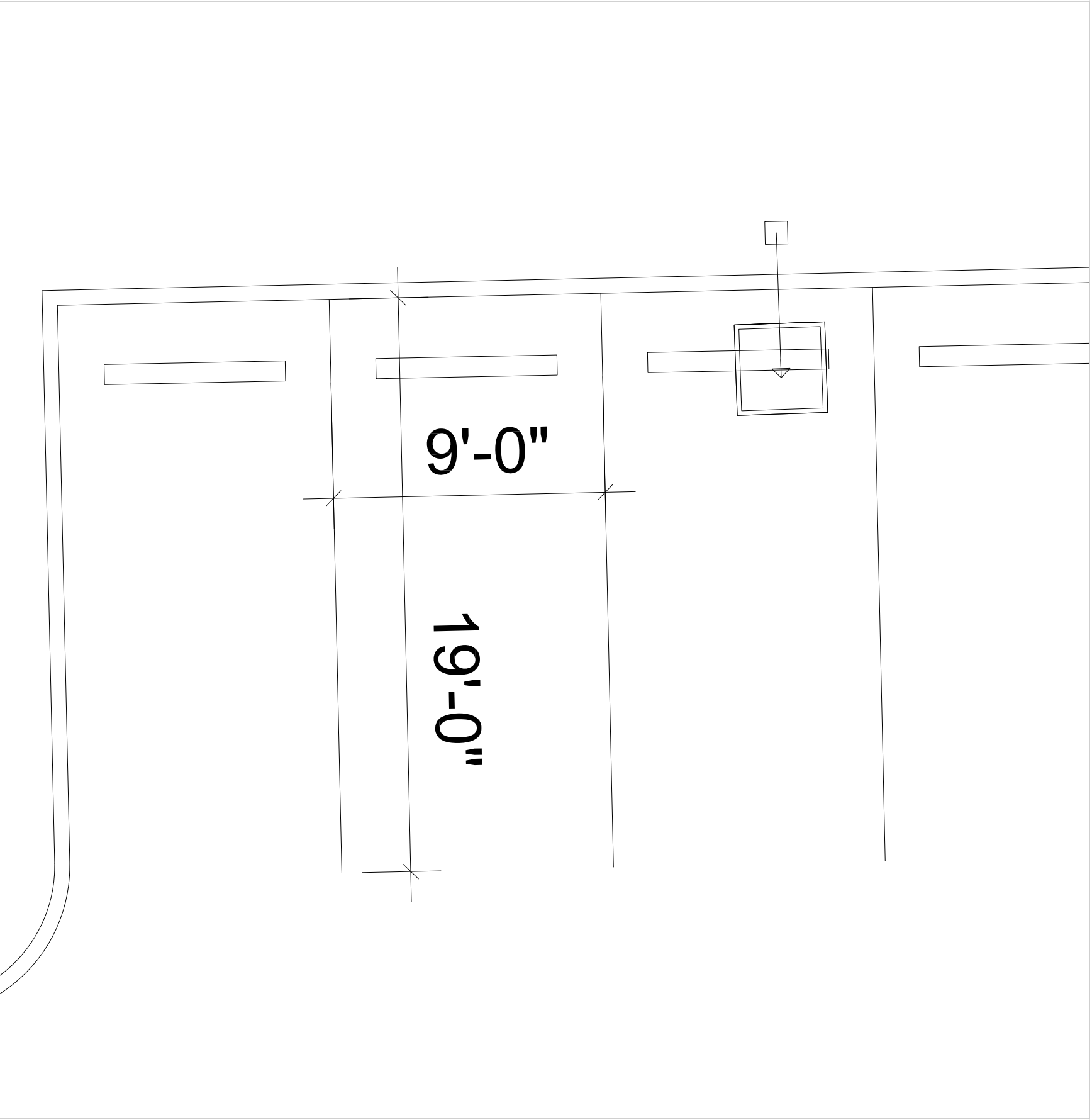
SITE PLAN - HARD SCAPES





TYPICAL HANDICAP & LONG PARKING DETAIL

Scale: 1/4"= 1'-0"



TYPICAL STANDARD PARKING DETAIL

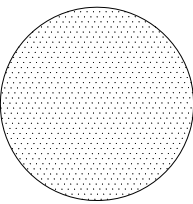
Scale: 1/4"= 1'-0"

Date: 10/12/2023
Project #: GW2023006
Drawn: GFW
ARC. LISC. Reg.
#AR0009531

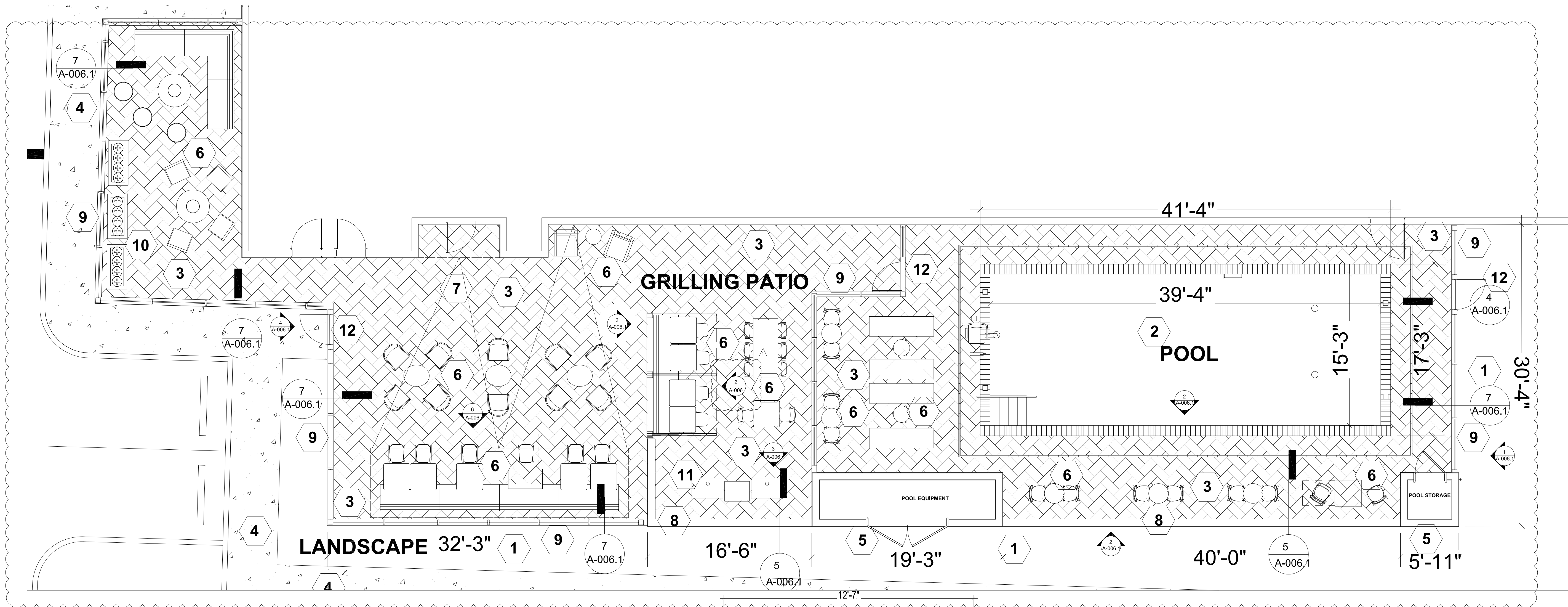
Revisions:
4/16/24 CITY COMMENTS



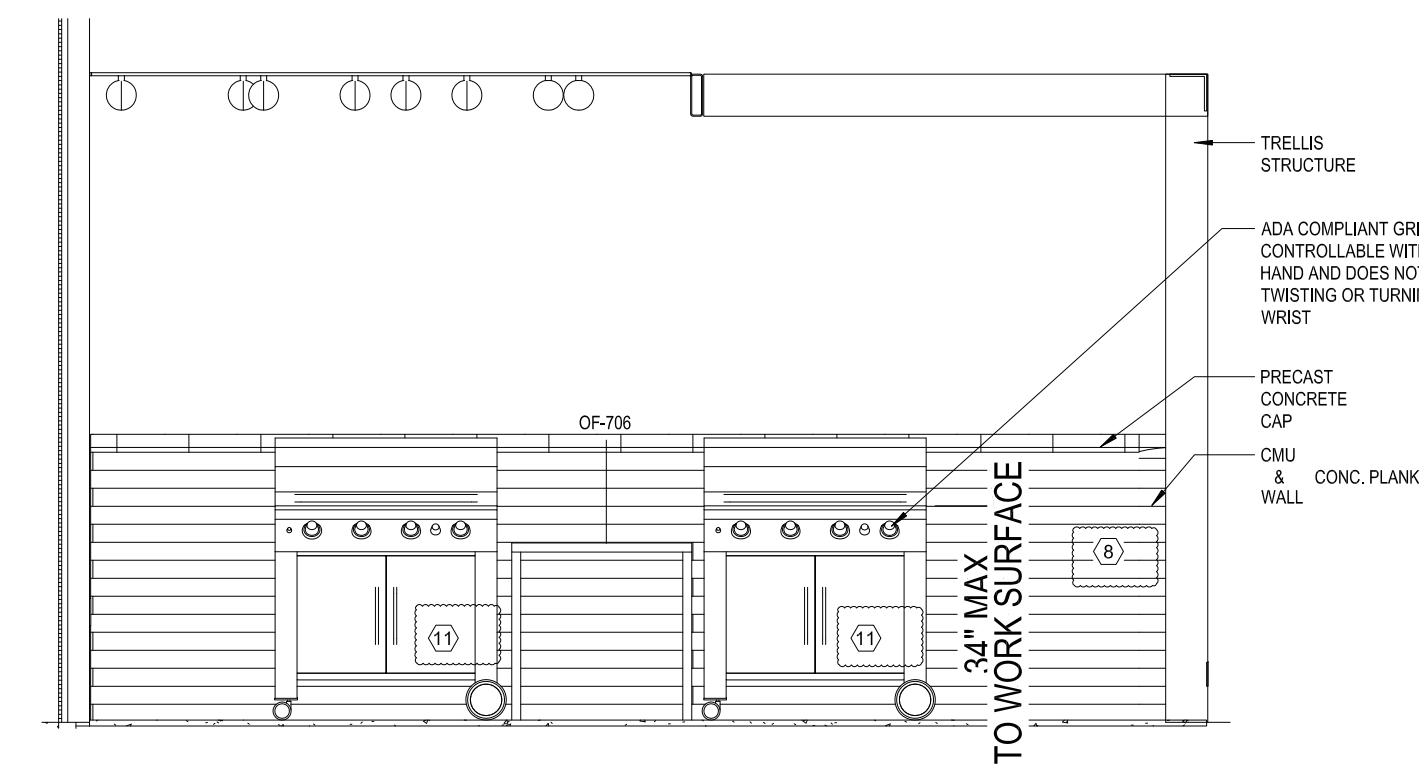
HOME 2 SUITES
LOXAHATCHEE GROVES, FLORIDA
George White ARCHITECT
6127 C. DURHAM DRIVE, LAKE WORTH , FLORIDA 33467 561-289-6754



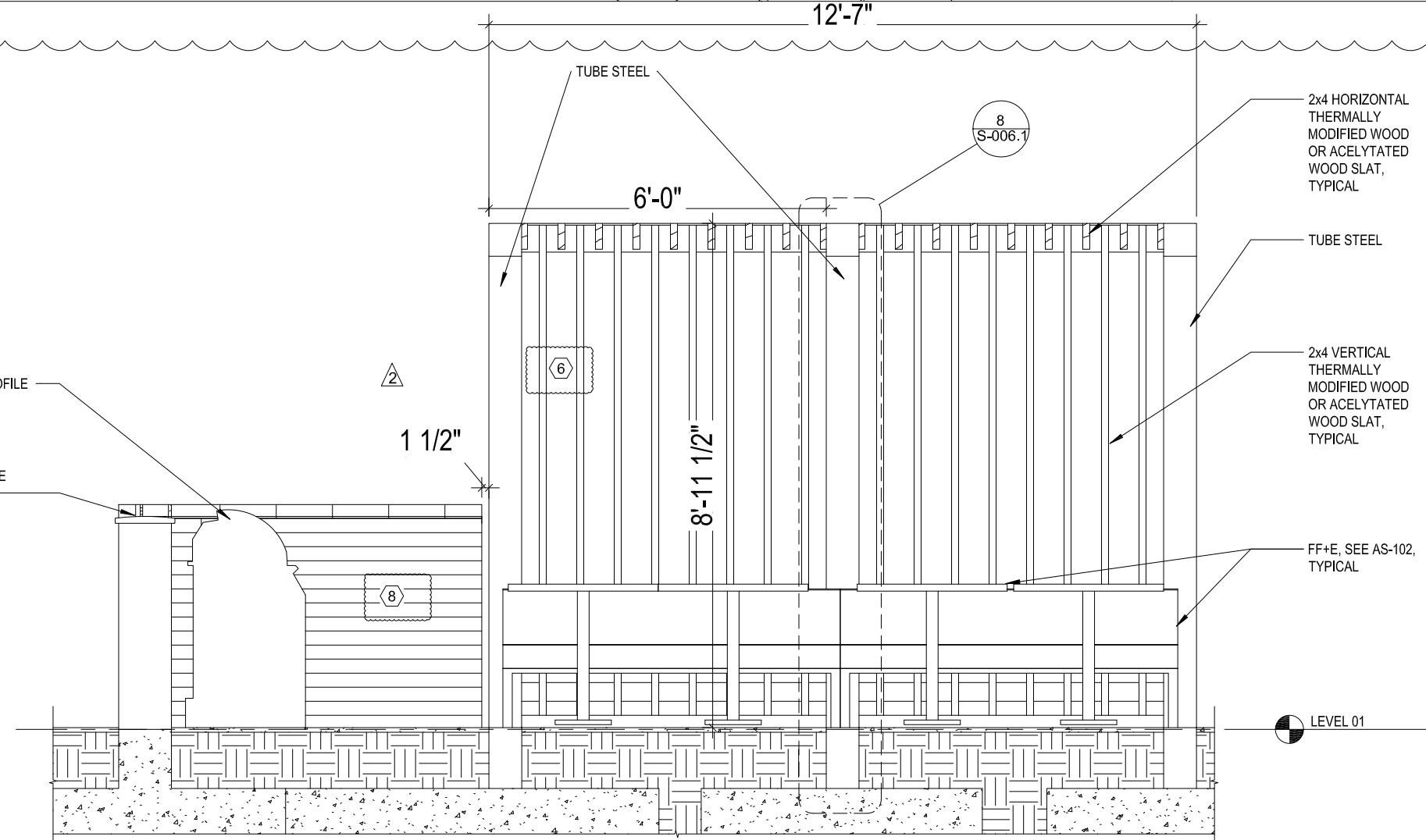
SITE DETAILS



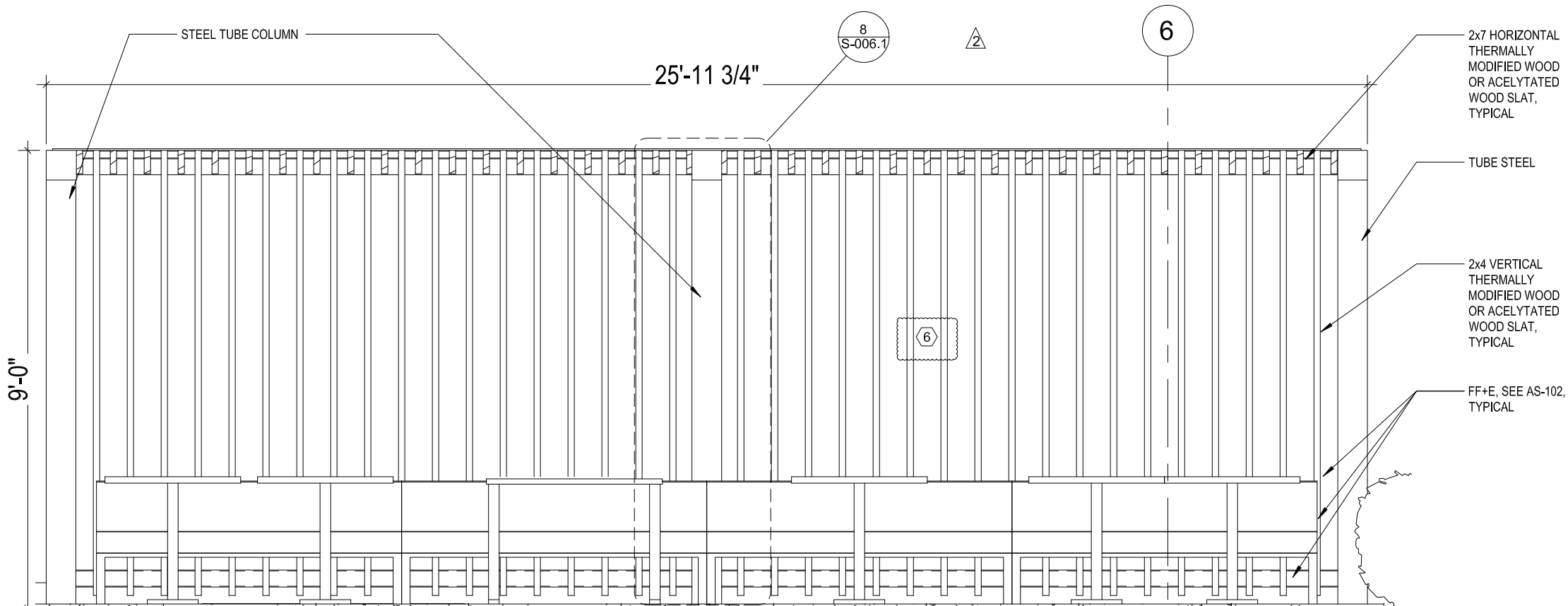
1 GRILLING PATIO/POOL AREA
3/16" = 1'-0"



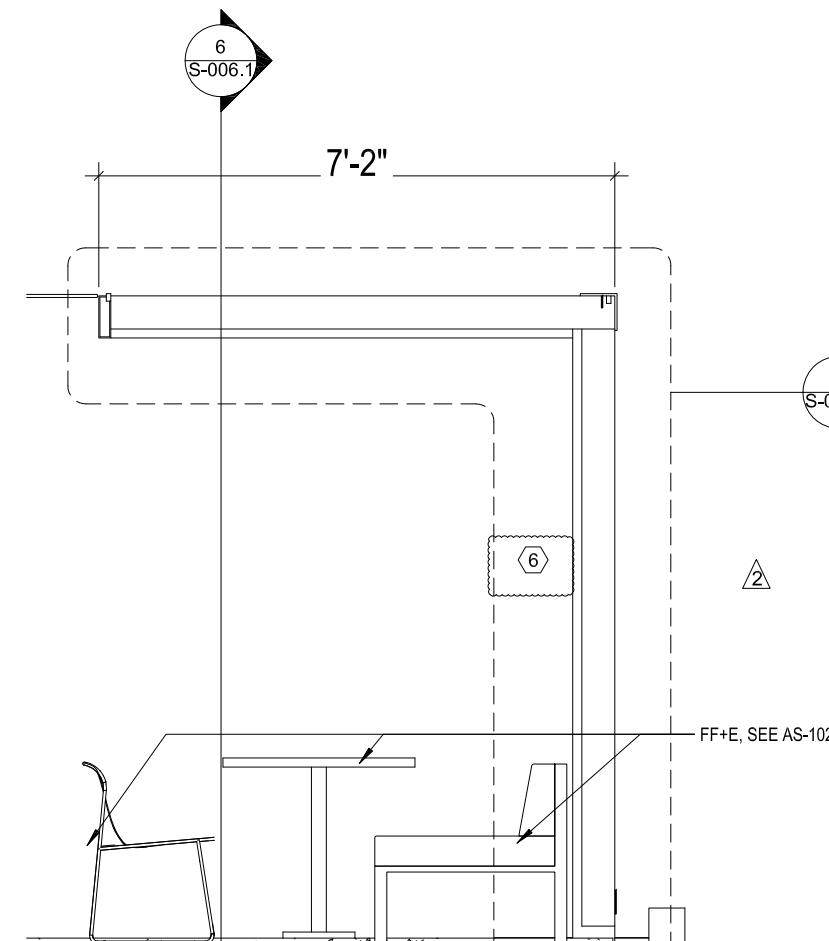
3 ELEVATION - GRILLING PATIO
3/8" = 1'-0"



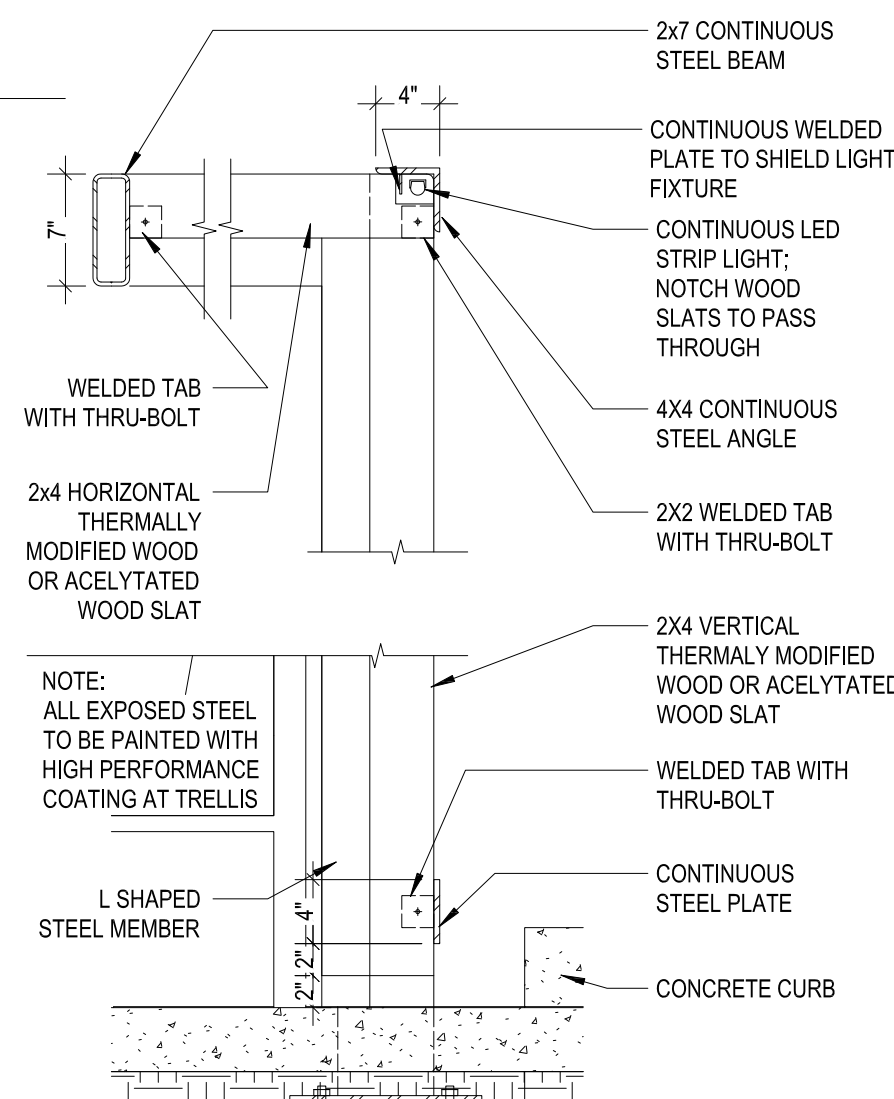
2 ELEVATION - PATIO GRILL/TRELLIS
3/8" = 1'-0"



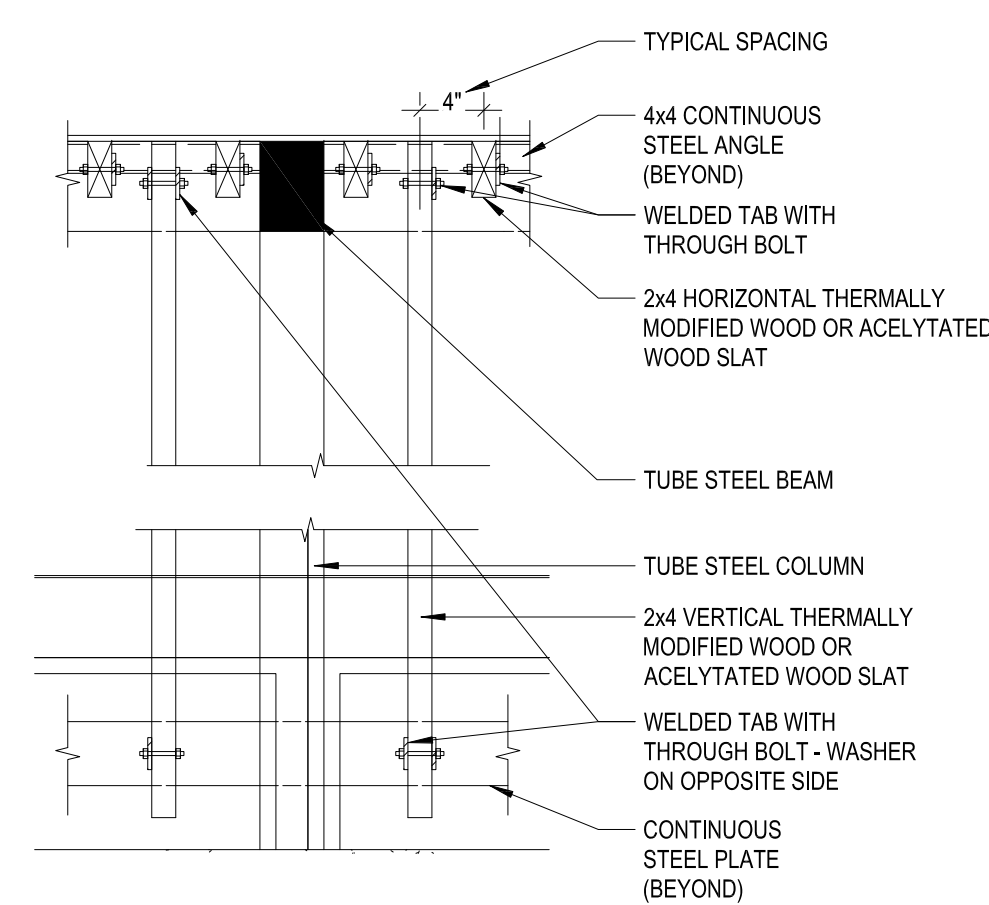
6 ELEVATION TRELLIS
3/8" = 1'-0"



5 SECTION - TRELLIS
3/8" = 1'-0"

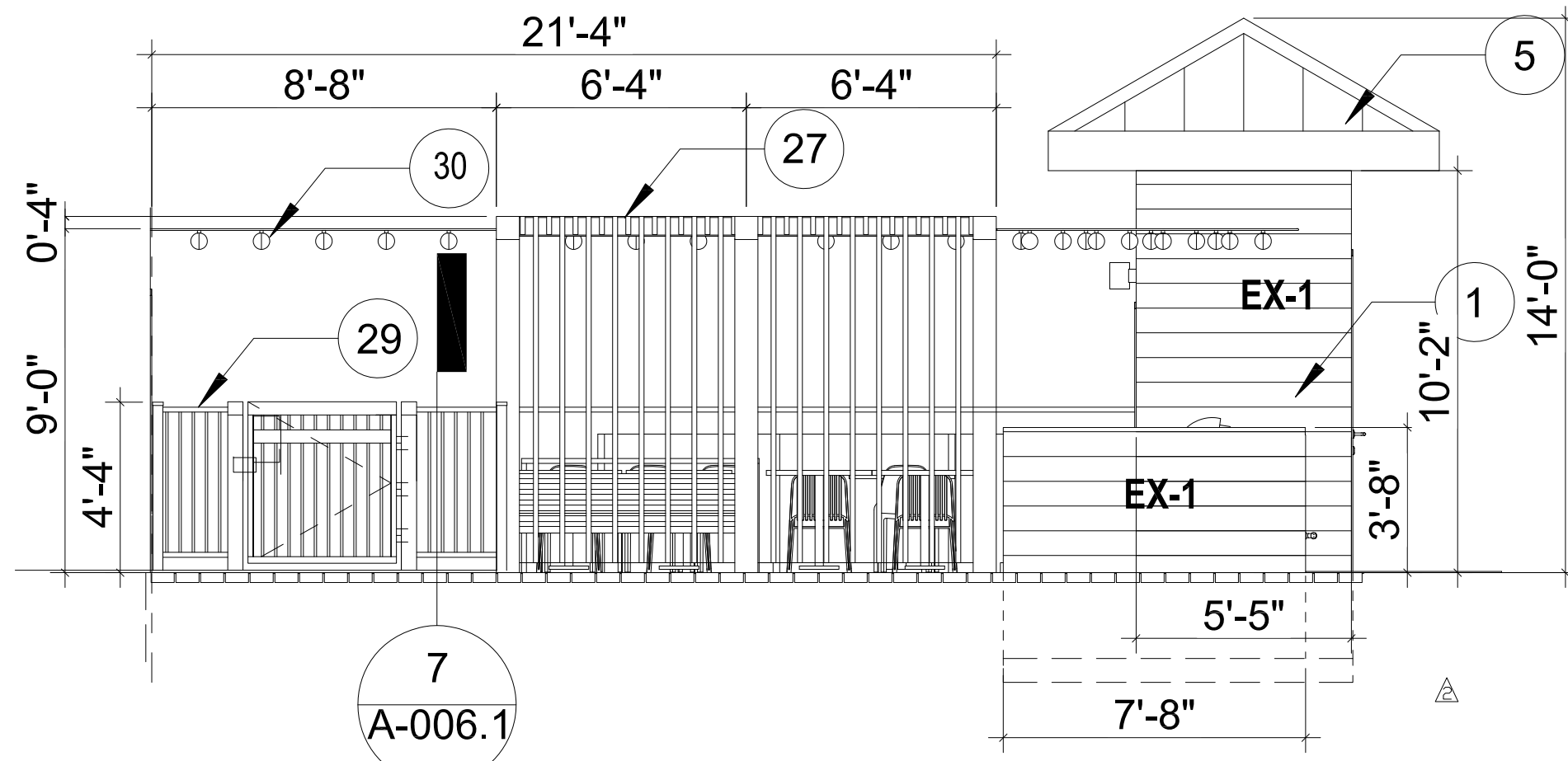


9 TRELLIS - DETAIL
1" = 1'-0"

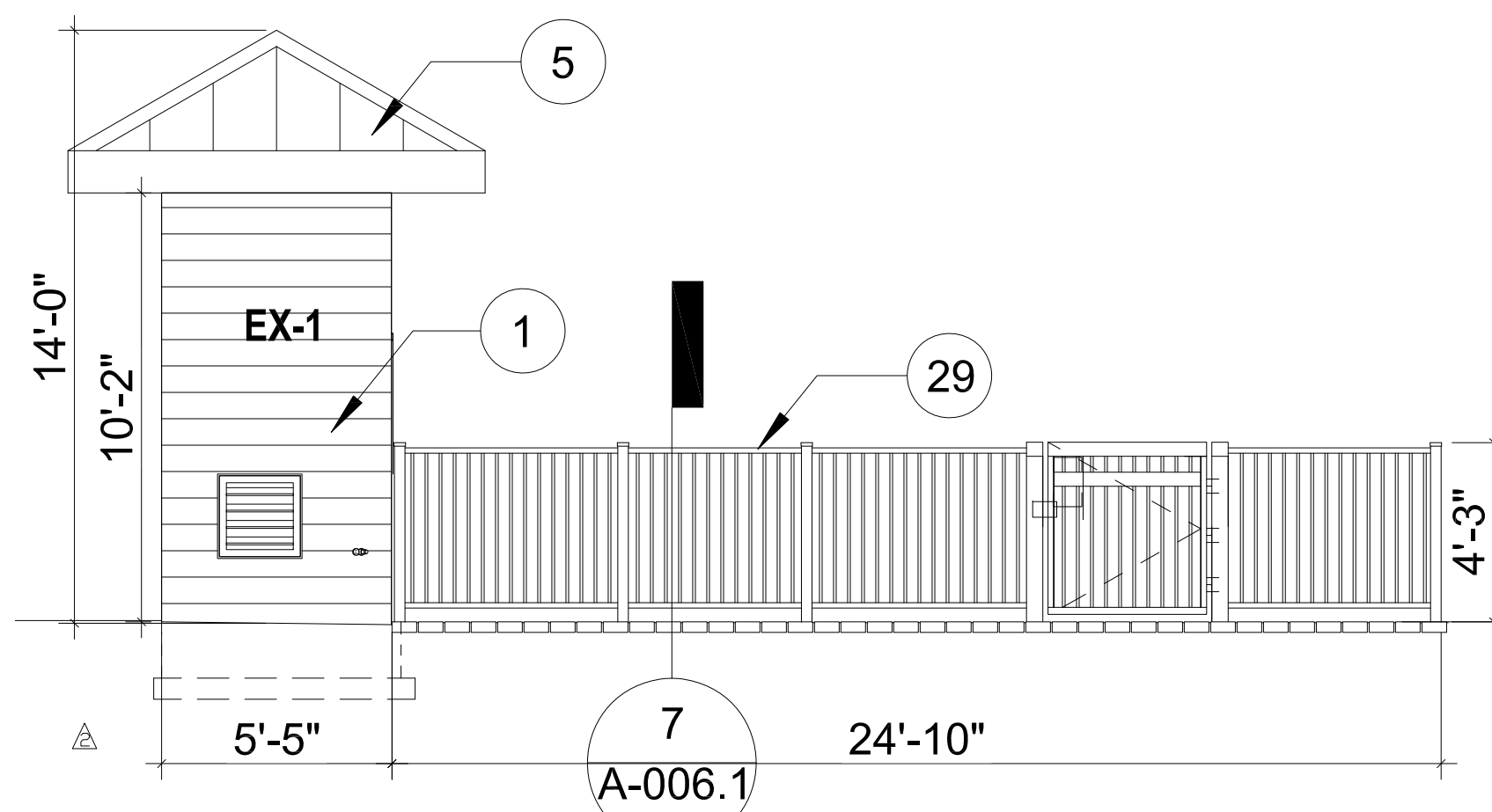


8 TRELLIS - SLAT CONNECTION
1" = 1'-0"

| LEGEND | |
|--------|--------------------------------------------------|
| 1 | LANDSCAPE |
| 2 | POOL |
| 3 | PAVERS |
| 4 | 2" CONCRETE SIDEWALK |
| 5 | CMU & CONCRETE SIDING BUILDING TO MATCH BUILDING |
| 6 | SEATING/TRELLIS |
| 7 | OVERHEAD LIGHTING |
| 8 | CMU/CONC. PLANK 4" HIGH WALL |
| 9 | ALUMINUM 4" HIGH FENCE |
| 10 | PLANTER |
| 11 | GRILL |
| 12 | ALUMINUM GATE |

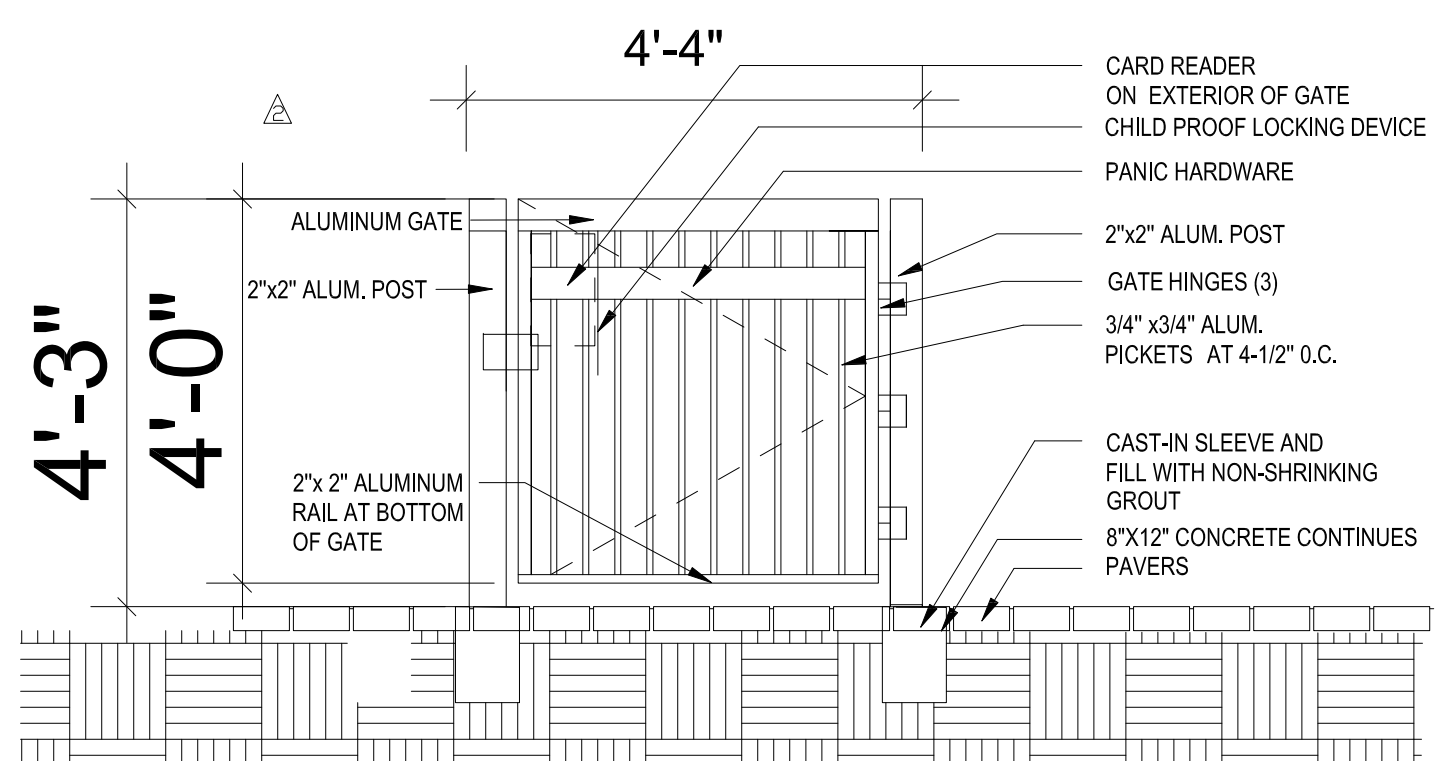


3 EXTERIOR ELEVATION - EXT POOL .
1/4" = 1'-0"

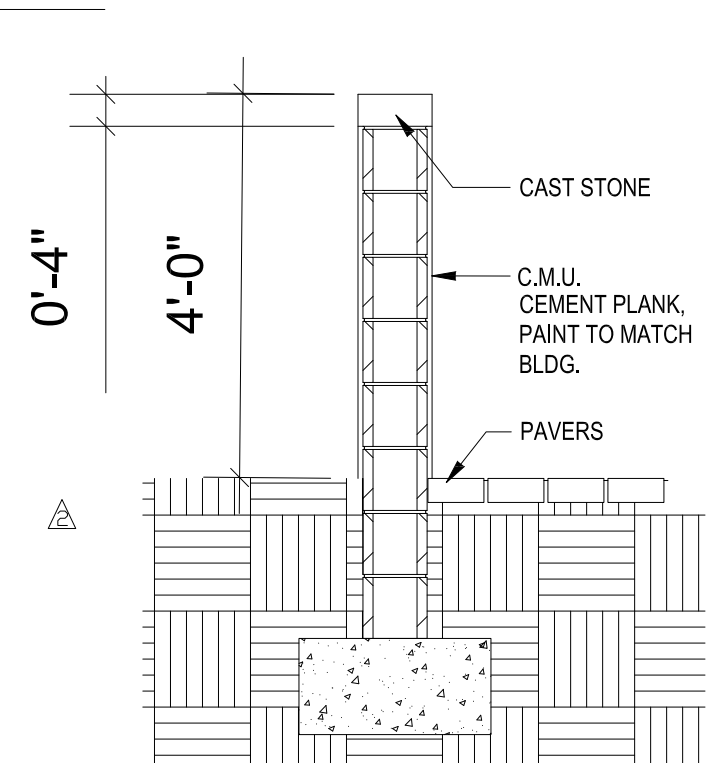


1 EXTERIOR ELEVATION - EXT POOL
1/4" = 1'-0"

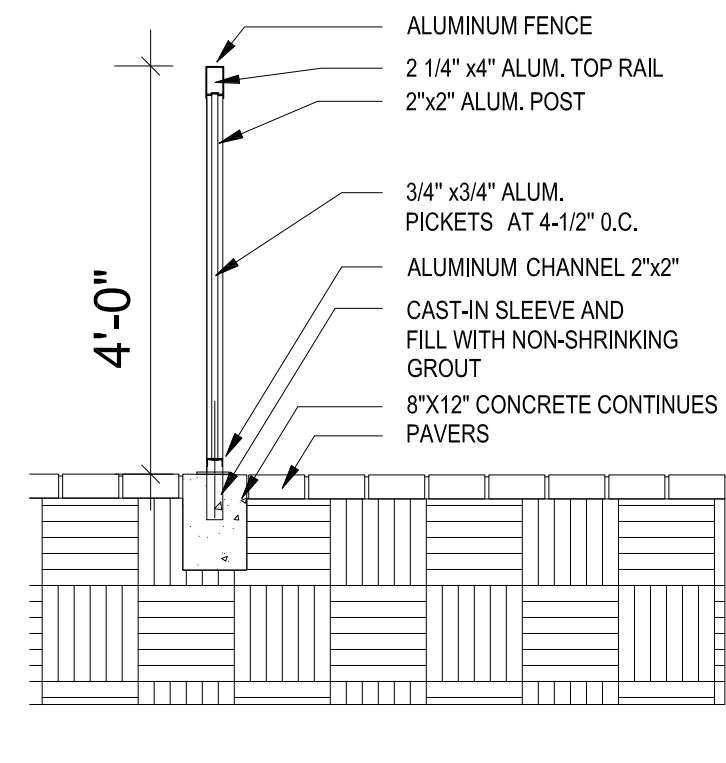
| LEGEND | |
|--------|------------------------------------------------------------------------|
| | EX-1 8" CONCRETE PLANK SIDING COLOR: COOL GRAY 6CP |
| | EX-2 8" CONCRETE PLANK SIDING COLOR: COOL GRAY 4CP |
| | EX-3 8" CONCRETE PLANK SIDING COLOR: COOL GRAY 3CP |
| | EX-4 STANDING SEAM SHEET METAL ROOF SYSTEM COLOR: CLEAR ANODIZED |
| | EX-5 ACCENT BAND: STUCCO BAND COLOR: P1 1C WHITE |
| | EX-6 CONCRETE TRIM BOARD: COLOR: P1 1C WHITE |



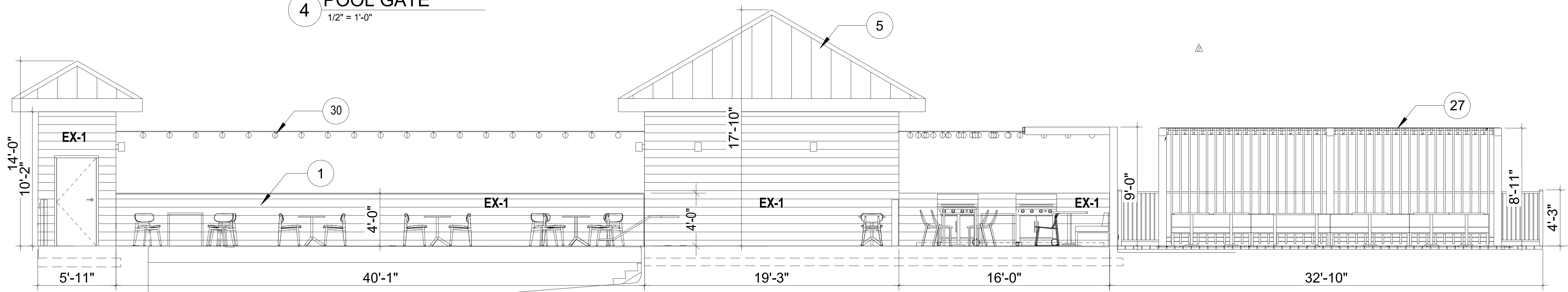
4 POOL GATE
1/2" = 1'-0"



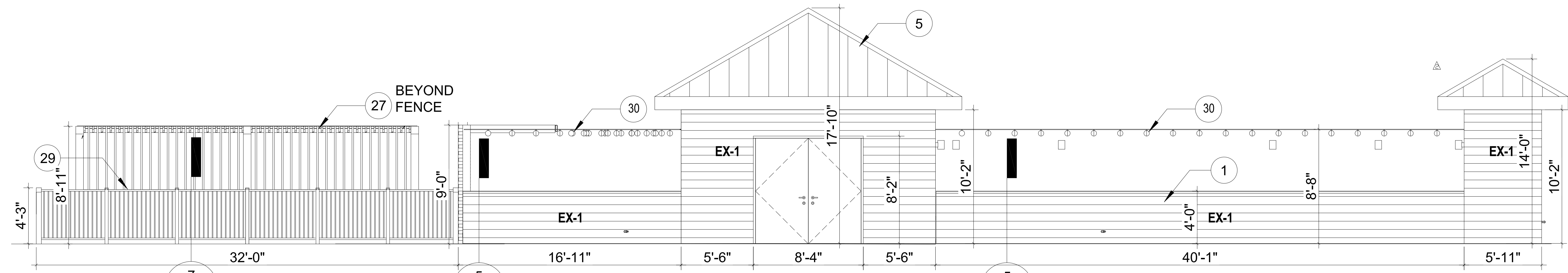
5 CMU POOL WALL
1/2" = 1'-0"



7 POOL FENCE
1/2" = 1'-0"



2 EXTERIOR SECTION - EXT POOL
1/4" = 1'-0"



6 EXTERIOR ELEVATION - POOL
1/4" = 1'-0"

- KEYED NOTES**
- CMU EXTERIOR WALLS WITH PAINTED CONCRETE PLANK SIDING SYSTEM.
 - METAL STANDING SEAM ROOF OVER DENSE BD. ON METAL TRUSSES ON POURED CONCRETE ROOF.
 - CONCRETE PLANK SYSTEM FACIA BOARD PAINTED P1 C1 WHITE.
 - ENTRY PORTE COCHERE, CMU CLAD WITH CONCRETE PLANK SYSTEM FINISH TO MATCH BUILDING.
 - METAL TRUSSES WITH STANDING SEAM METAL ROOFING SYSTEM.
 - ALL MECHANICAL EQUIPMENT ON ROOF SCREENED BEHIND SLOPING METAL ROOF.
 - CAST CONCRETE FOUNDATION.
 - ALUMINUM FIXED WINDOW HURRICANE IMPACT RESISTANT, KYNAR COLOR P1 1C, LAMINATED CLEAR GLAZING WITH LOW E, WITH INTEGRAL ALUMINUM LOUVER AT PTAC A/C UNITS.
 - ALUMINUM STOREFRONT SYSTEM, HURRICANE IMPACT RESISTANT, COLOR KYNAR P1 C1 FINISH WITH LAMINATED CLEAR LOW E GLAZING
 - ALUMINUM FIXED WINDOW HURRICANE IMPACT RESISTANT, KYNAR COLOR P1 1C, LAMINATED CLEAR GLAZING WITH LOW E.
 - ELEVATOR OVERRUN BEHIND METAL STANDING SEAM ROOF.
 - LAUNDRY CHUTE OVERRUN BEHIND STANDING SEAM METAL ROOF.
 - HOME 2 BUILDING SIGN.
 - OVERFLOW SCUPPER -
 - TAMPER RESISTANT, RECESSED HOSE BIBB - MOUNT TOP AT +12" A.F.F.
 -
 - KYNAR FINISH ALUMINUM COPING SYSTEM -COLOR TO MATCH ADJACENT MATERIAL
 - KYNAR FINISH ALUMINUM FACIA -COLOR TO MATCH ADJACENT MATERIAL
 - LIGHT FIXTURE
 - CONCRETE SIDING SYSTEM, TRIM BOARD.
 - ALUMINUM LOUVER - COLOR TO MATCH ADJACENT MATERIAL MATCHING ADJACENT WALL
 - STAIR TOWER TO ROOF.
 - EXTERIOR HOLLOW METAL DOOR, PAINT TO MATCH ADJACENT SURFACE.
 - ALUMINUM AUTOMATIC SLIDING DOOR ENTRY.
 - ALUMINUM GUTTER AND DS. COLOR TO MATCH ADJ. MATERIAL
 - ACCESSIBLE KEY CARD READER WIRED TO ELECTRIC STRIKE IN DOOR - TOP OF READER AT 48" MAX. HEIGHT
 - MODIFIED WOOD CANOPY WITH STEEL SUPPORT, TRELLIS
 - PAINTED TUBE STEEL CANOPY WITH WOOD FINISHED SOFFIT
 - KYNAR FINISH ALUMINUM FENCE, 4'-0" HIGH.
 - LED EXTERIOR LIGHTS.

Date: 10/12/2023
Project #:GW2023006
Drawn:GFw
ARC: LISC. Reg.
#AR0009531

Revisions:
4/16/24 CITY COMMENTS
4/26/24 DRC COMMENTS
ADDED DIMS.

HOME 2 SUITES
LOXAHATCHEE GROVES, FLORIDA
George White ARCHITECT
6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467

EXTERIOR POOL
ELEVATIONS & GRILLING
PATIO

A-006.1

ENGLERT

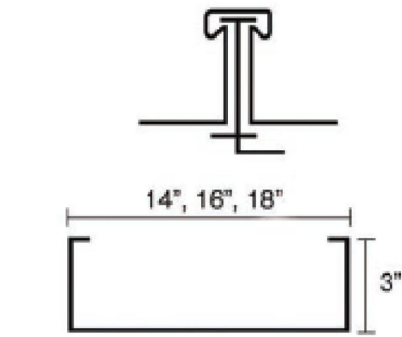


METAL ROOF PANEL COLOR

18" WIDE ROOF PANEL



S3000-3" T-Seam Mechanically Seamed panel

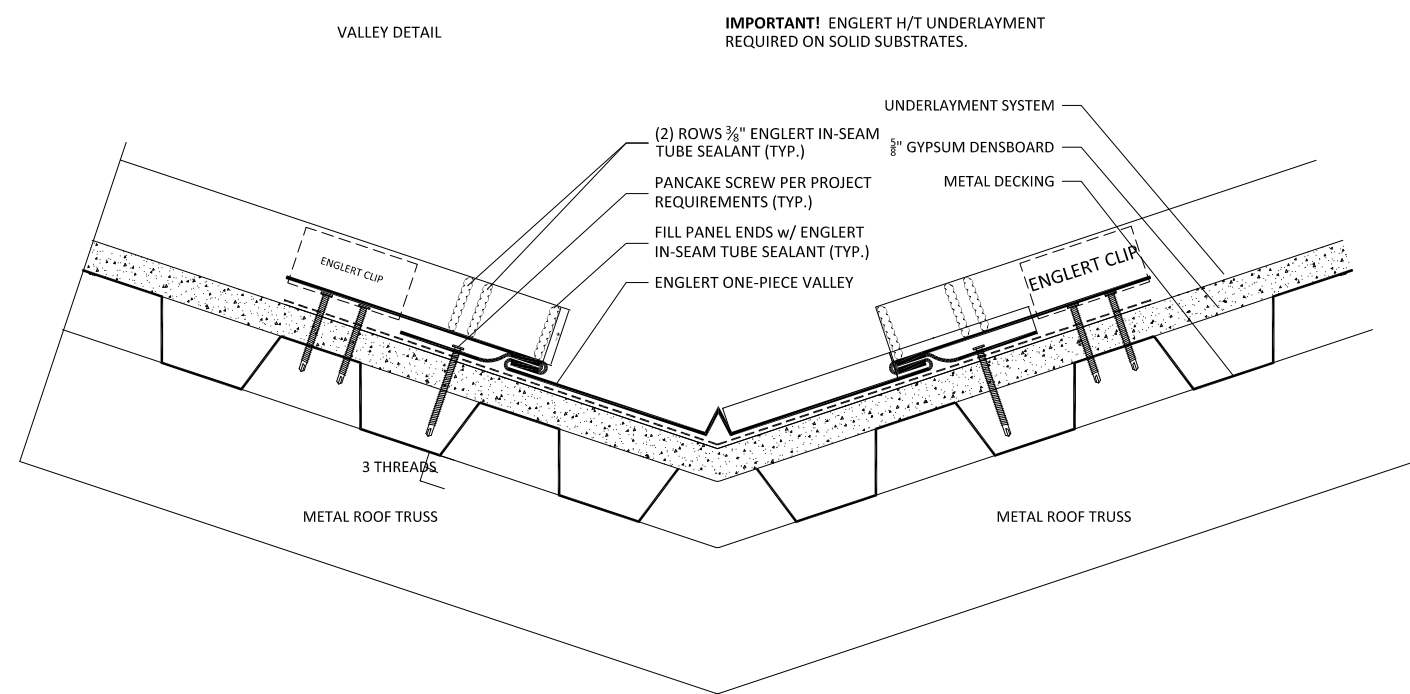


Panel (ribs optional)

ENGLERT'S SERIES 3000 T-SEAM is a nominal 3" deep structural roofing system designed to provide excellent structural spanning capabilities as well as insuring a high, weather tight seam, even in the lowest, longest roof runs found in today's building designs.

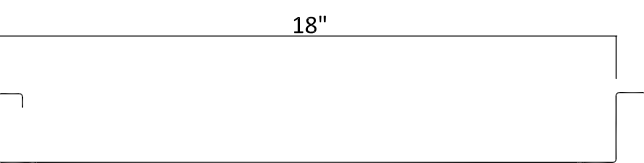


SAMPLE ROOF

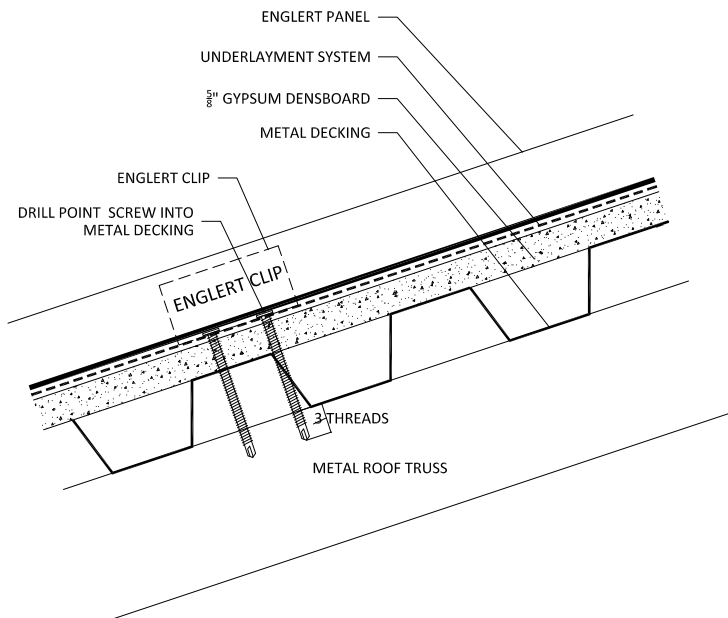


1 DETAIL - STANDING SEAM METAL ROOF - VALLEY

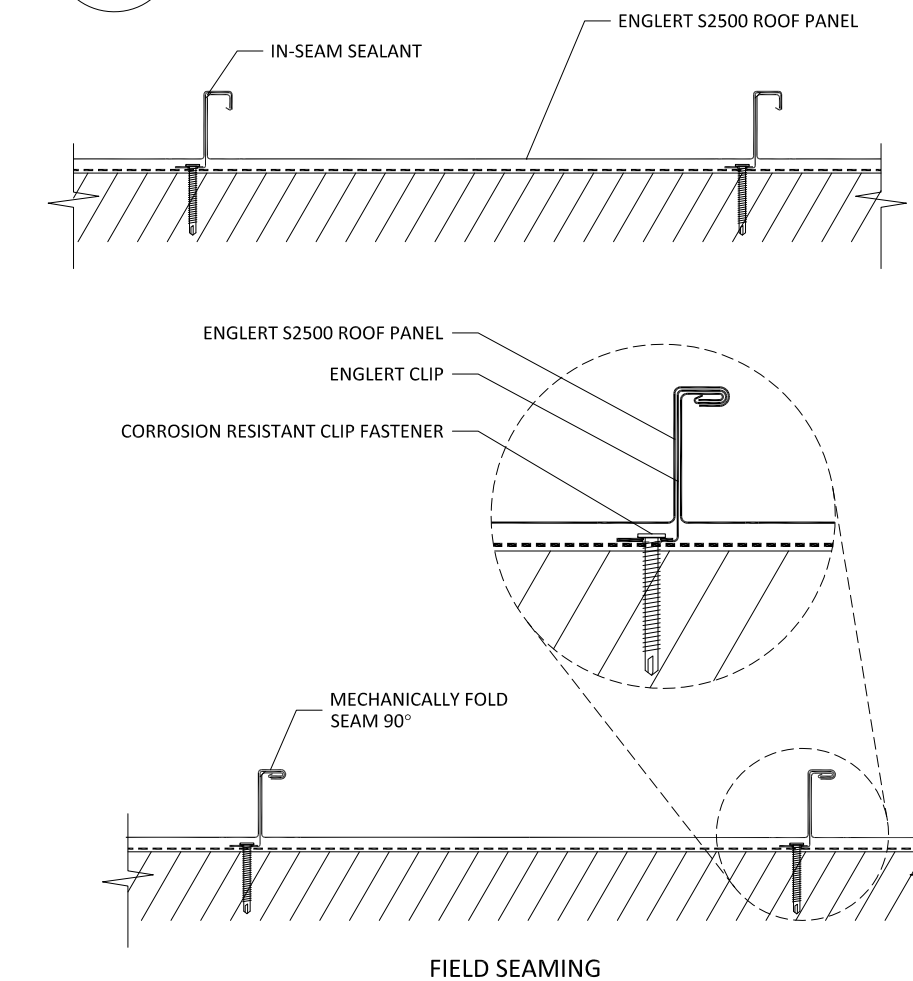
ENGLERT S2500 ROOF PANEL
PANEL MATERIAL SHALL BE:
22 GA GALVALUME
90° MECHANICAL SEAMS SHALL BE 2" HIGH
AT 18" WIDE
COLOR: GALVALUME PLUS



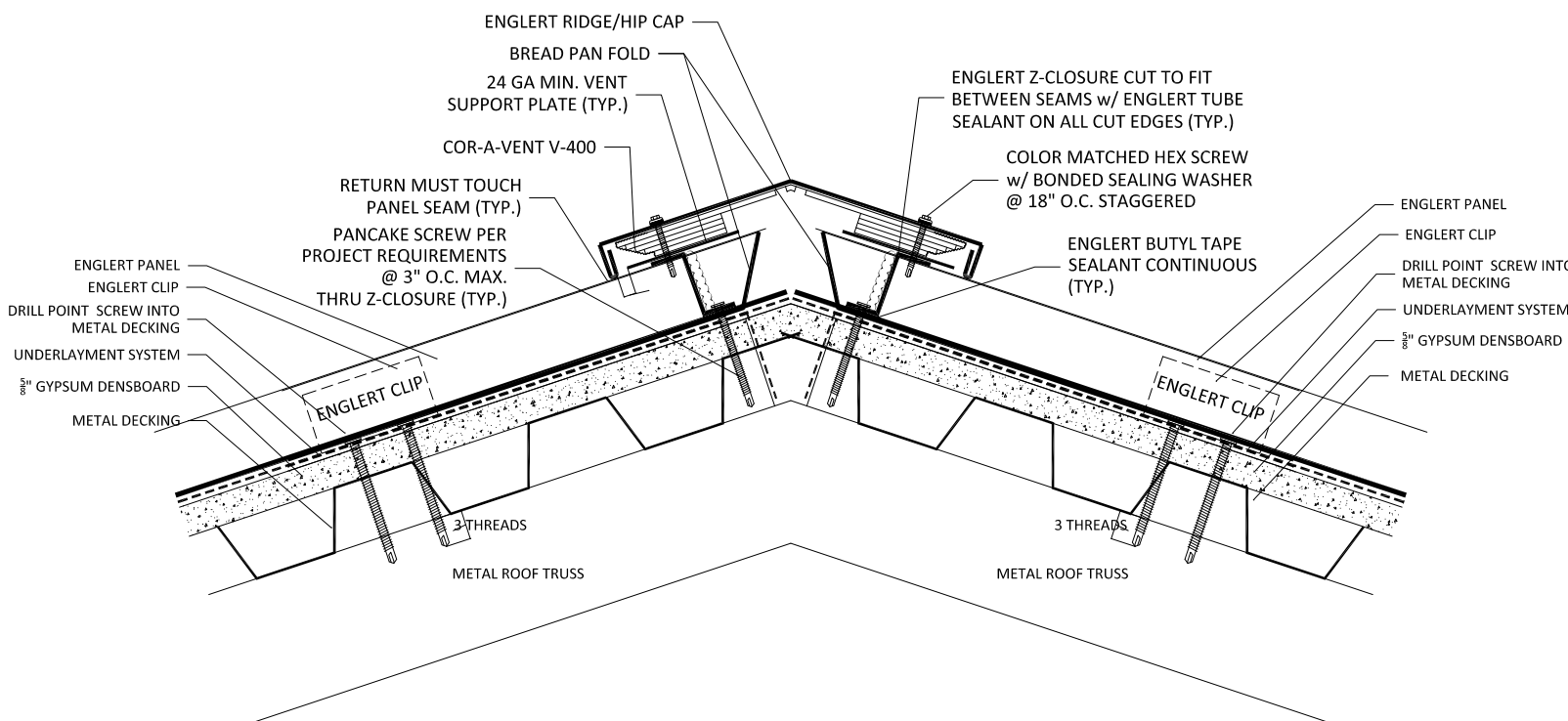
5 DETAIL - STANDING SEAM METAL ROOF - PANEL



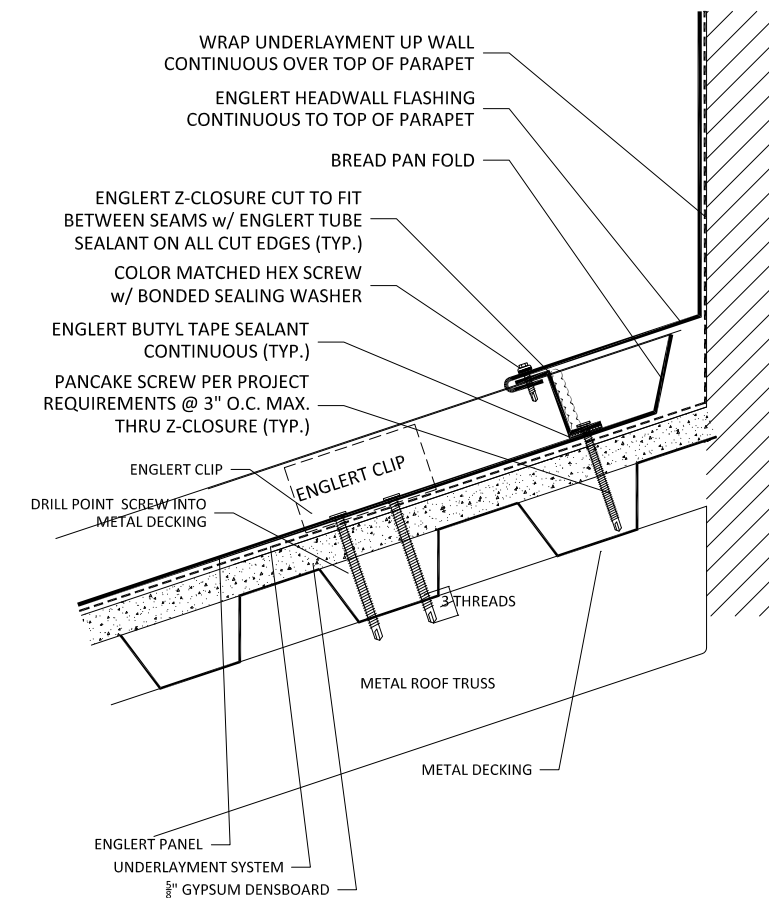
2 DETAIL - STANDING SEAM METAL ROOF - TYPICAL



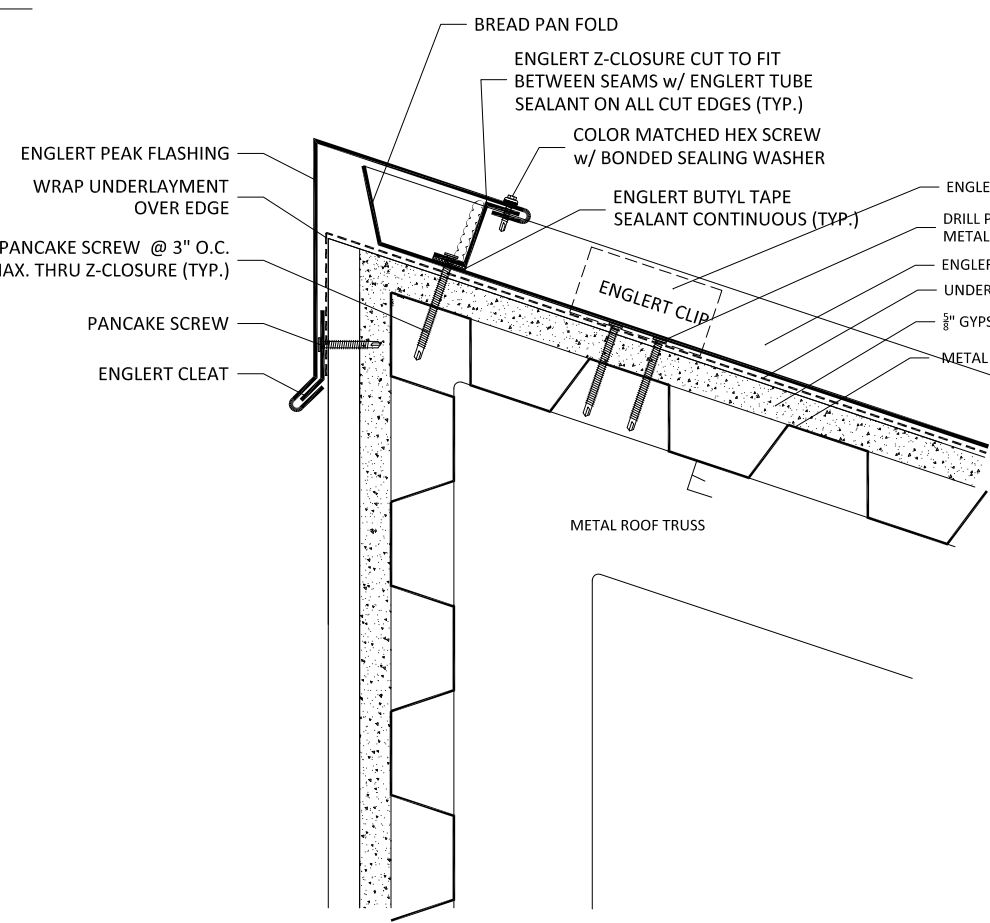
6 DETAIL - STANDING SEAM METAL ROOF - SEAM



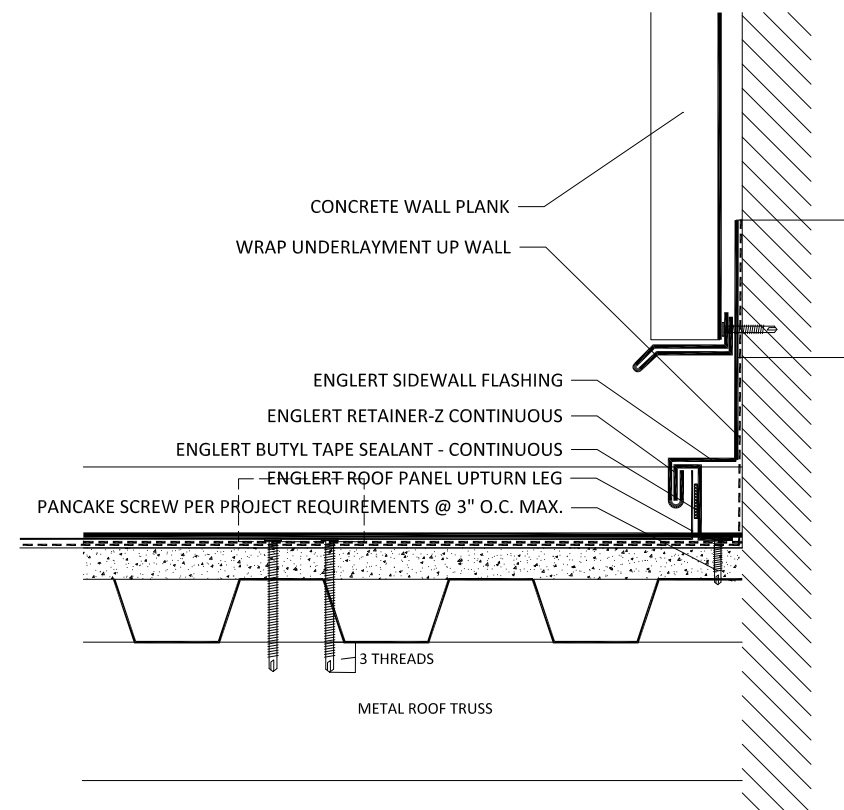
3 DETAIL - STANDING SEAM METAL ROOF - RIDGE



4 DETAIL - STANDING SEAM METAL ROOF @ WALL



7 DETAIL - STANDING SEAM METAL ROOF - TOP OF MANSARD



8 DETAIL - STANDING SEAM METAL ROOF @ WALL

Date: 10/12/2023
Project #: GW2023006
Drawn: GFW
ARC. LISC. Reg.
#AR0009531

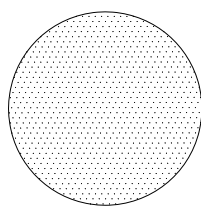
Revisions:

HOME 2
SUITES BY HILTON

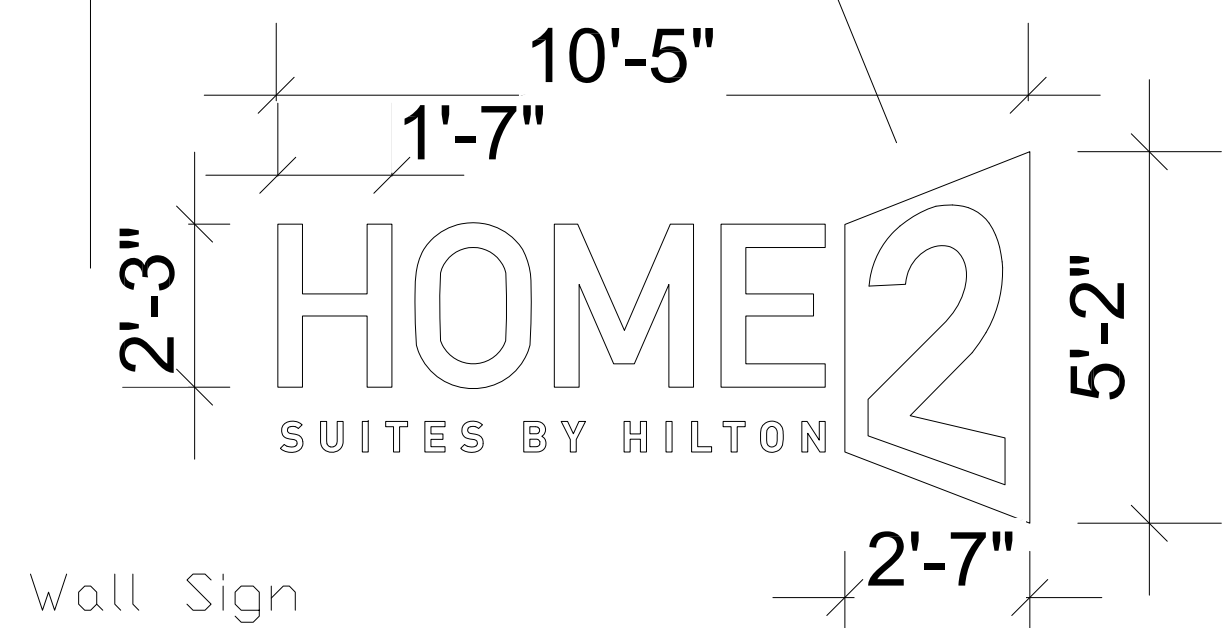
LOXAHATCHEE GROVES, FLORIDA
George White ARCHITECT
6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467 561-289-6754

METAL STANDING
SEAM ROOF

A-007



1 SOUTH EXTERIOR ELEVATION
3/32" = 1'-0"



Wall Sign

Proposed wall sign is LED externally illuminated channel letterset & logo with wall mounted fixtures.

This sign is operated by remote power supply.

The sign colors are white, brown and green.



Wall Sign

Rectangle sq. ft. - 33.03
Triangle sq. ft. - 1.26 & 1.29

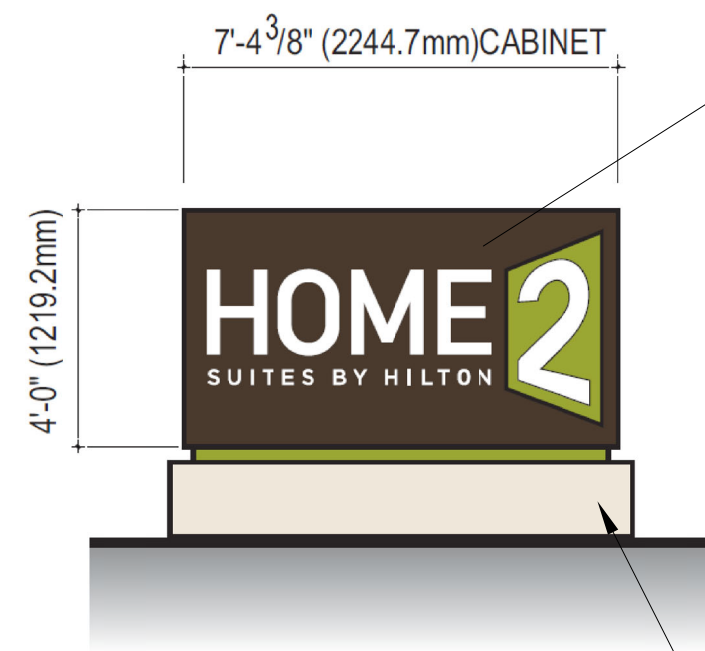
Total sq. ft. - 35.58

Monument Ground Sign

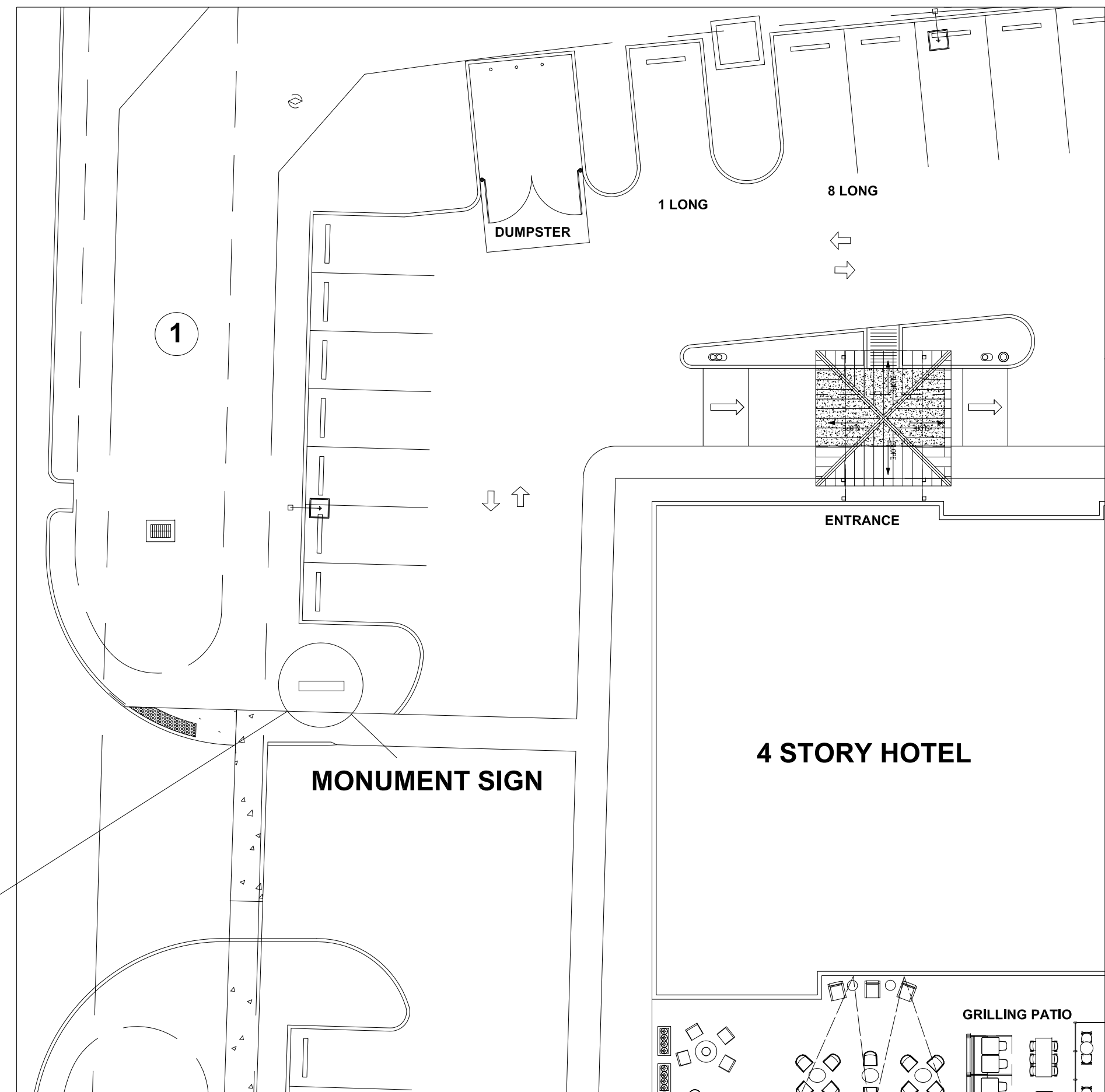
Proposed is a double faced externally illuminated channel letterset & logo with ground light fixtures.

The sign is operated by remote power supply.

The sign colors are brown, green, and white, the base is beige.



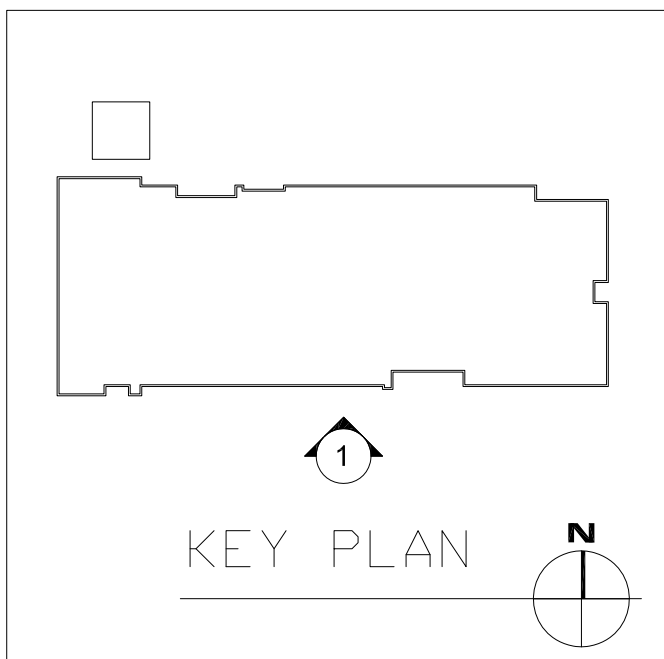
D/F MONUMENT SIGN

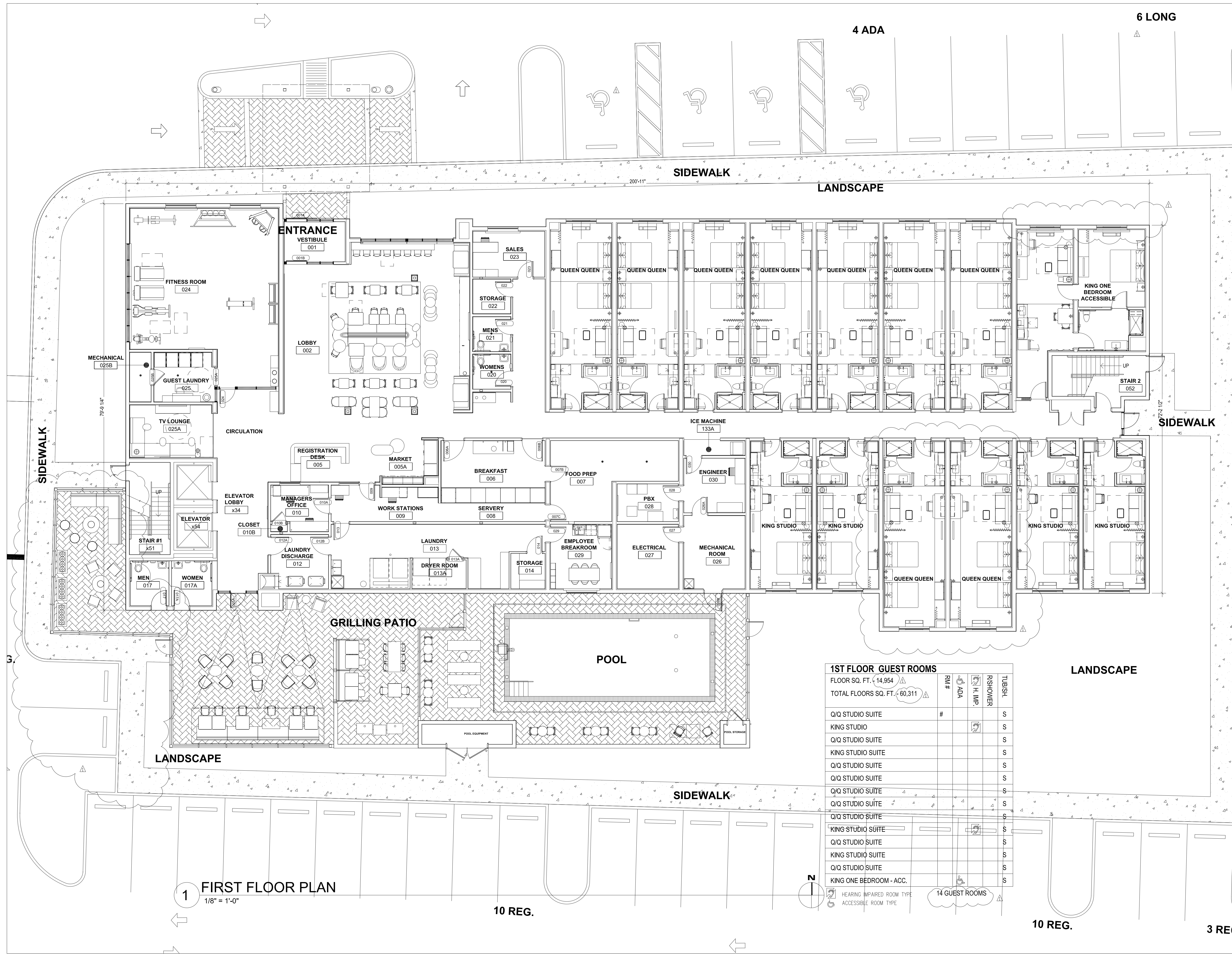


2 PARTIAL SITE PLAN

18" HIGH BASE

| HOME 2 LAXOHATCHEE GROVES, FLORIDA | ALLOWED | PROVIDED |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------|-------------------------------|
| A BUILDING WALL SIGN | | |
| SIGN FACE AREA (MAXIMUM) building frontage is 200'-8" 200 sq. ft. of sign or 36 sq. ft. whichever is less | 36 SQ. FT. | 35.58 SQ. FT. |
| NUMBER OF SIGNS (MAXIMUM) | 1 | 1 |
| SIGN DIMENSION | LETTERING DEPTH EIGHT INCHES (MAXIMUM) | EIGHT INCHES |
| OTHER RESTRICTIONS A MINIMUM OF TEN PERCENT OF THE BUILDING MUST BE MAINTAINED AS CLEAR WALL AREA ON EITHER END OF THE SIGN 10% of 30'-10" = 3' minimum required | 3' minimum required | 10'-2" |
| ATTACHED/FREE STANDING OR BOTH | ATTACHED | ATTACHED |
| B MONUMENT SIGN | | |
| SIGN FACE AREA (MAXIMUM) 4' x 7.33' = 29.32 sq. ft. x 2 faces = 58.64 sq. ft. | 60 SQ. FT. | 58.64 SQ. FT. |
| NUMBER (MAXIMUM) 1 PER BUILDING | 1 | 1 |
| SIGN DIMENSIONS | MAXIMUM HEIGHT OF SIX FEET AND MAXIMUM LENGTH OF 12 FEET | HEIGHT - 5'-6" LENGTH - 7'-5" |
| ATTACHED/FREESTANDING OR BOTH | FREESTANDING | FREESTANDING |
| WAIVERS | | |
| * Sec. 50-430 - Outdoor Lighting. Open air parking shall be controlled by automatic devices that extinguish the lighting between 11:00 pm & dawn. Waiver: For Guest security, we are requesting that the open air parking area lighting remain on from dusk to dawn. | | |





1 FIRST FLOOR PLAN
1/8" = 1'-0"

| 1ST FLOOR GUEST ROOMS | | | |
|-------------------------|---|-----------------------------|---------|
| FLOOR SQ. FT. 14,954 | | TOTAL FLOORS SQ. FT. 60,311 | |
| Q/Q STUDIO SUITE | # | ADA | TUBSH. |
| KING STUDIO | | | RSHOWER |
| Q/Q STUDIO SUITE | | | H.IMP. |
| KING STUDIO SUITE | | | |
| Q/Q STUDIO SUITE | | | |
| Q/Q STUDIO SUITE | | | |
| Q/Q STUDIO SUITE | | | |
| Q/Q STUDIO SUITE | | | |
| Q/Q STUDIO SUITE | | | |
| KING STUDIO SUITE | | | |
| Q/Q STUDIO SUITE | | | |
| KING STUDIO SUITE | | | |
| Q/Q STUDIO SUITE | | | |
| KING ONE BEDROOM - ACC. | | | |

Date: 10/12/2023
Project #: GW2023006
Drawn: GFW
ARC. LISC. Reg. #AR0009531

Revisions:
4/16/24
REVISED GUEST ROOMS
POOL AREA, PARKING

HOME 2 SUITES
LOXAHATCHEE GROVES, FLORIDA

George White ARCHITECT
6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA

33467

561-289-6754

1st FL PLAN



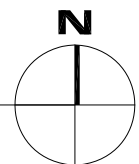
| 3RD FLOOR GUEST ROOMS | | | | |
|--------------------------|------|-----|---------|-----------------|
| FLOOR SQ. FT. ~ 15,119 | | | | |
| | RM # | ADA | H. IMP. | TUB/SH. RSHOWER |
| Q/Q STUDIO SUITE - ACC. | # | | | S |
| Q/Q STUDIO SUITE - CONN. | | | | S |
| KING STUDIO SUITE | | | | S |
| Q/Q STUDIO SUITE | | | | S |
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| KING STUDIO SUITE | | | | S |

HEARING IMPAIRED ROOM TYPE
 ACCESSIBLE ROOM TYPE

27 GUEST ROOMS

| 3RD FLOOR GUEST ROOMS | | | | |
|------------------------|------|-----|---------|-----------------|
| | RM # | ADA | H. IMP. | TUB/SH. RSHOWER |
| Q/Q STUDIO SUITE | # | | | S |
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| Q/Q STUDIO SUITE | | | | S |
| KING STUDIO SUITE | | | | S |
| KING ONE BEDROOM SUITE | | | | S |
| KING STUDIO SUITE | | | | S |

1 THIRD FLOOR PLAN
1/8" = 1'-0"

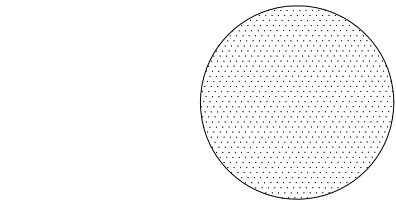


Date: 10/12/2023
Project #:GW2023006
Drawn:GFW
ARC. LISC. Reg.
#AR0009531

Revisions:
4/16/24
REVISED GUEST ROOMS



HOME 2 SUITES
LOXAHATCHEE GROVES, FLORIDA
George White ARCHITECT
6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467
561-289-6754



3RD FL PLAN



| 4TH FLOOR GUEST ROOMS | | | | |
|--------------------------|-----|---------|---------|---------|
| FLOOR SQ. FT. 15,119 | | | | |
| RM # | ADA | H. IMP. | RSHOWER | TUB/SH. |
| Q/Q STUDIO SUITE - ACC. | # | | | S |
| Q/Q STUDIO SUITE - CONN. | | | | S |
| KING STUDIO SUITE | | | | S |
| Q/Q STUDIO SUITE | | | | S |
| KING STUDIO SUITE | | | | S |
| Q/Q STUDIO SUITE | | | | S |
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| KING STUDIO SUITE | | | | S |
| Q/Q STUDIO SUITE | | | | S |
| KING STUDIO SUITE | | | | S |
| 27 GUEST ROOMS | | | | |

| 4TH FLOOR GUEST ROOMS | | | | |
|------------------------|-----|---------|---------|---------|
| RM # | ADA | H. IMP. | RSHOWER | TUB/SH. |
| Q/Q STUDIO SUITE | # | | | S |
| KING STUDIO SUITE | | | | S |
| Q/Q STUDIO SUITE | | | | S |
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| Q/Q STUDIO SUITE | | | | S |
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| KING ONE BEDROOM SUITE | | | | S |
| KING STUDIO SUITE | | | | S |

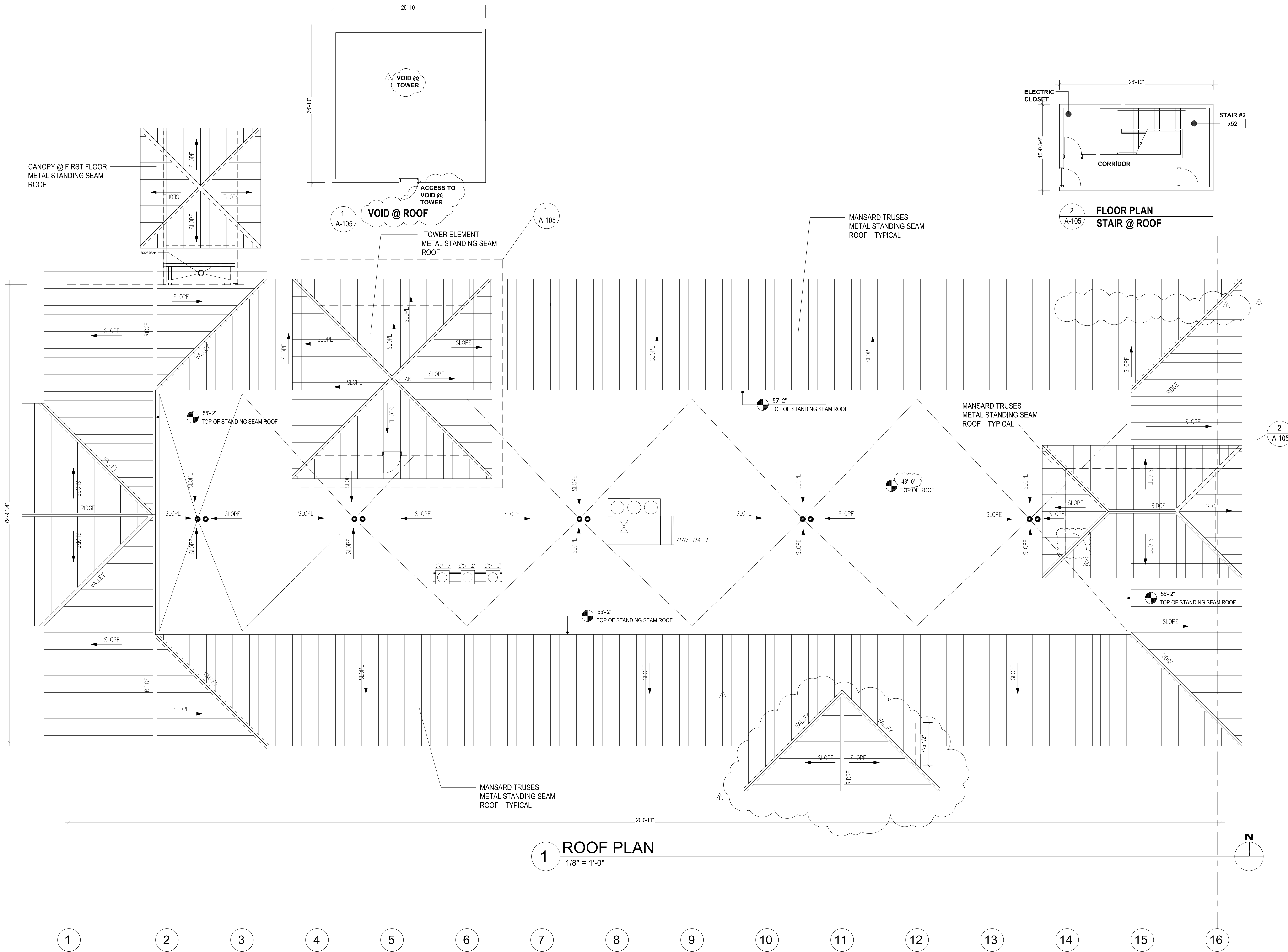
1 FOURTH FLOOR PLAN
1/8" = 1'-0"

Date: 10/12/2023
Project #:GW2023006
Drawn:GFW
ARC. LISC. Reg.
#AR0009531

Revisions:
4/16/24
REVISED GUEST ROOMS

HOME 2 SUITES
LOXAHATCHEE GROVES, FLORIDA
George White ARCHITECT
6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467
561-289-6754

4TH FL PLAN



Date: 10/12/2023
Project #:GW2023006
Drawn:GFW
ARC. LISC. Reg. #AR0009531

Revisions:
Δ 4/16/24 VOID @ ROOF
REVISED ROOF
Δ 4/26/24 DRC COMMENTS

HOME2

SUITES BY HILTON

LOXAHATCHEE GROVES, FLORIDA

George White ARCHITECT

6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467

Revisions:
4/16/24
REVISED GUEST ROOMS
ADDED WINDOW MUNTINS
MANSARD MEAN ROOF ELEVATION
ADDED



LEGEND

- EX-1 8" CONCRETE PLANK SIDING
COLOR: COOL GRAY 4CP
- EX-2 8" CONCRETE PLANK SIDING
COLOR: COOL GRAY 4CP
- EX-3 8" CONCRETE PLANK SIDING
COLOR: COOL GRAY 3CP
- EX-4 STANDING SEAM SHEET METAL ROOF
SYSTEM
COLOR: CLEAR ANODIZED
- EX-5 ACCENT BAND:
STUCCO BAND
COLOR: P1 1C WHITE
- EX-6 CONCRETE TRIM BOARD
COLOR: P1 1C WHITE

KEYED NOTES

- CMU EXTERIOR WALLS WITH PAINTED CONCRETE PLANK SIDING SYSTEM
- METAL STANDING SEAM ROOF OVER DENSE BD. ON METAL TRUSSES ON POURED CONCRETE ROOF
- CONCRETE PLANK SYSTEM FACIA BOARD PAINTED P1 C1 WHITE
- ENTRY PORTE COCHERE, CMU CLAD WITH CONCRETE PLANK SYSTEM FINISH TO MATCH BUILDING
- METAL TRUSSES WITH STANDING SEAM METAL ROOFING SYSTEM
- ALL MECHANICAL EQUIPMENT ON ROOF SCREENED BEHIND SLOPING METAL ROOF
- CAST CONCRETE FOUNDATION
- ALUMINUM FIXED WINDOW HURRICANE IMPACT RESISTANT, KYNAR COLOR P1 1C LAMINATED CLEAR GLAZING WITH LOW E, WITH INTEGRAL ALUMINUM LOUVER AT PTAC AC UNITS
- ALUMINUM STOREFRONT SYSTEM, HURRICANE IMPACT RESISTANT, COLOR KYNAR P1 C1 FINISH WITH LAMINATED CLEAR LOW E GLAZING
- ALUMINUM FIXED WINDOW HURRICANE IMPACT RESISTANT, KYNAR COLOR P1 1C LAMINATED CLEAR GLAZING WITH LOW E
- ELEVATOR OVERRUN BEHIND METAL STANDING SEAM ROOF
- LAUNDRY CHUTE OVERRUN BEHIND STANDING SEAM METAL ROOF
- HOME 2 BUILDING SIGN
- OVERFLOW SCUPPER
- TAMPER RESISTANT, RECESSED HOSE BIBB - MOUNT AT 12" A.F.F
-
- KYNAR FINISH ALUMINUM COPING SYSTEM -COLOR TO MATCH ADJACENT MATERIAL
- KYNAR FINISH ALUMINUM FACIA-COLOR TO MATCH ADJACENT MATERIAL
- LIGHT FIXTURE
- CONCRETE SIDING SYSTEM, TRIM BOARD
- ALUMINUM LOUVER - COLOR TO MATCH ADJACENT MATERIAL MATCHING ADJACENT WALL
- STAR TOWER TO ROOF
- EXTERIOR HOLLOW METAL DOOR, PAINT TO MATCH ADJACENT SURFACE
- ALUMINUM AUTOMATIC SLIDING DOOR ENTRY
- ALUMINUM GUTTER AND DS. COLOR TO MATCH ADJ. MATERIAL
- ACCESSIBLE KEY CHORD READER WIRES TO ELECTRIC STRIKE IN DOOR - TOP OF READER AT 48" MAX. HEIGHT

1 SOUTH EXTERIOR ELEVATION
3/32" = 1'-0"



2 NORTH EXTERIOR ELEVATION
3/32" = 1'-0"

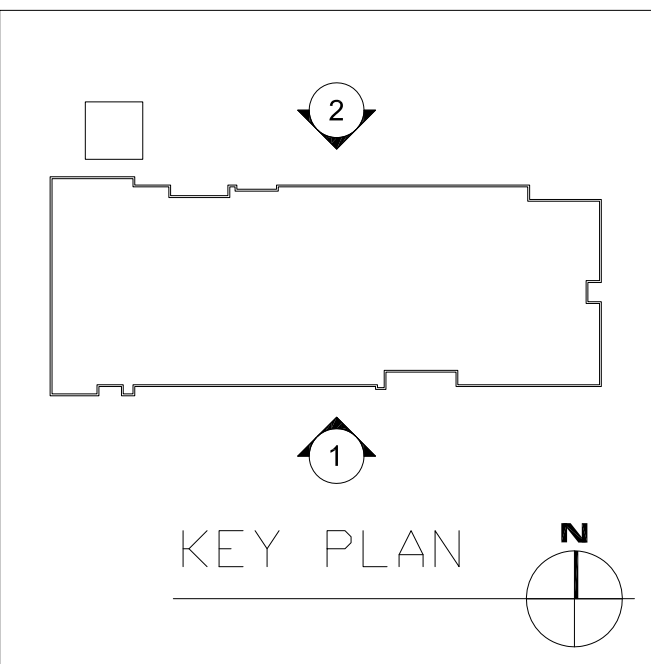
PANTONE®
Cool Gray 4 CP

PANTONE®
Cool Gray 3 CP

PANTONE®
P 1-1 C

PANTONE®
Cool Gray 6 CP

MAT. COLORS

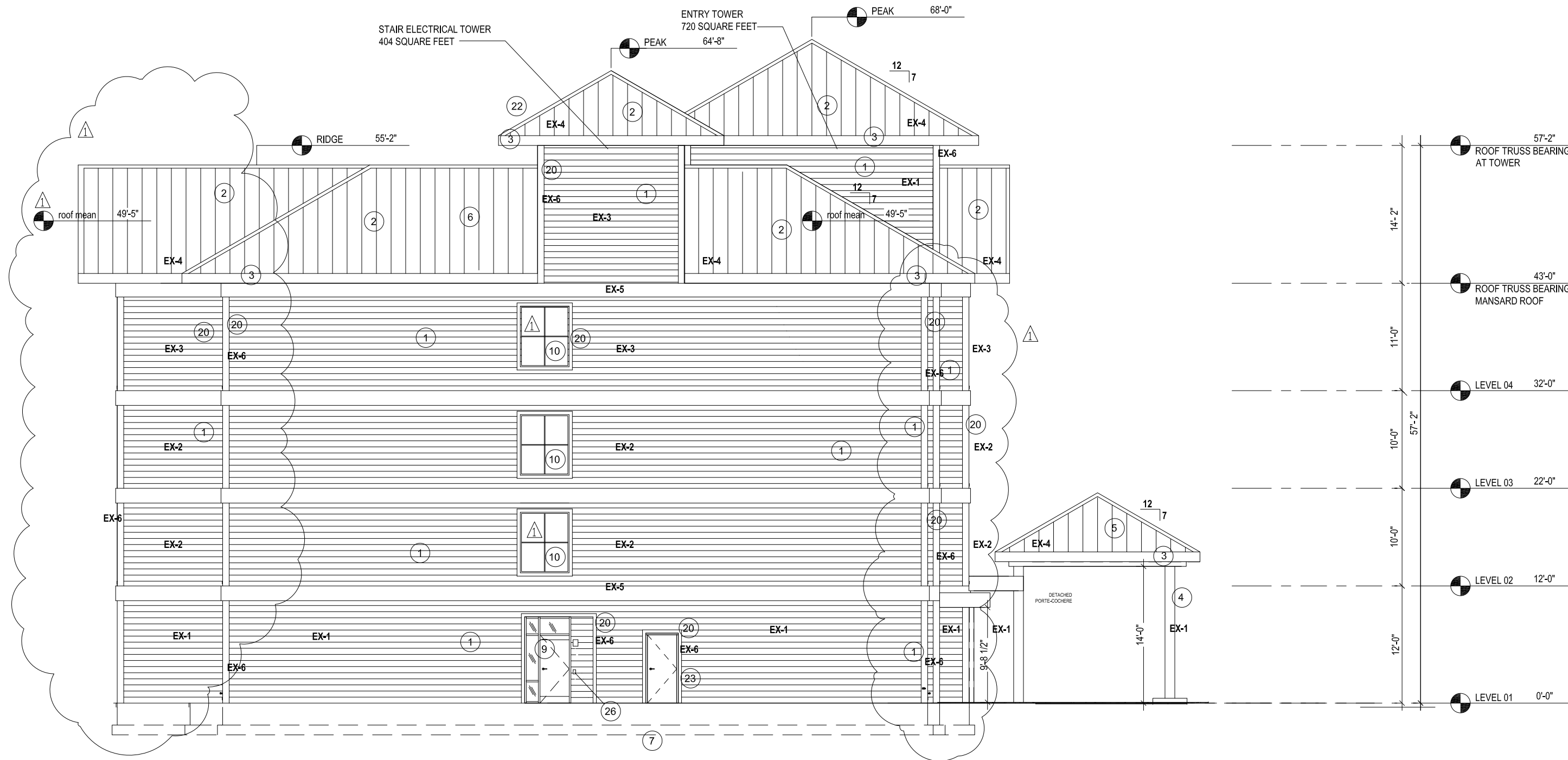


HOME 2
SUITES BY HILTON

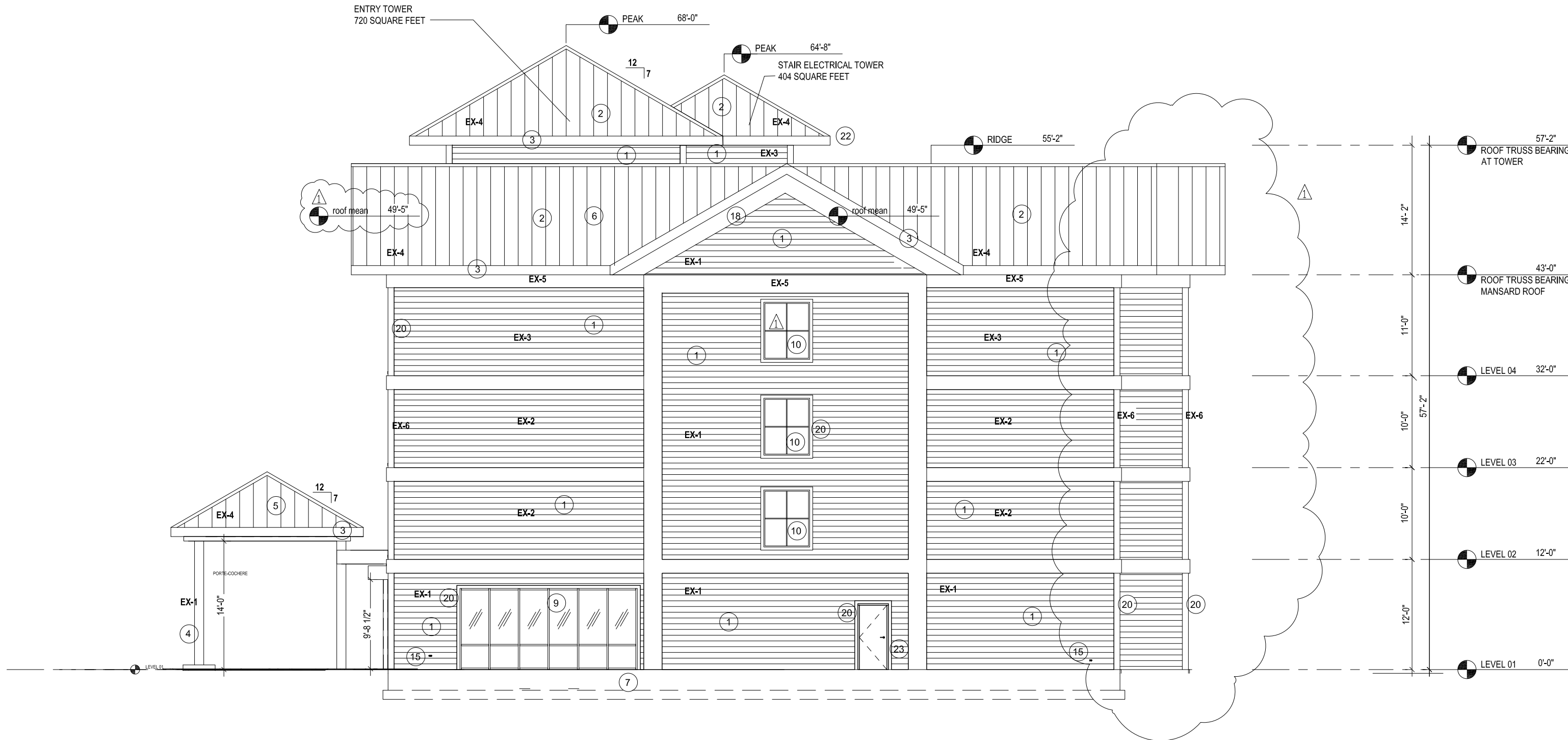
HOME 2 SUITES
LOXAHATCHEE GROVES, FLORIDA
George White ARCHITECT
6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467

NORTH & SOUTH
EXTERIOR
ELEVATIONS

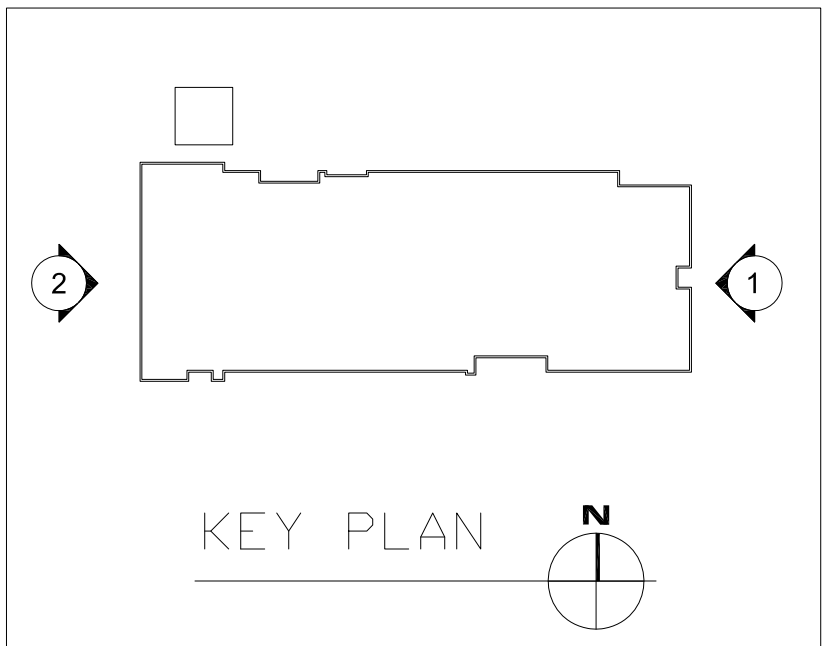
Revisions:
Δ 4/16/24
REVISED GUEST ROOMS
ADDED WINDOW MUNTINS
MANSARD MEAN ROOF ELEVATION
ADDED



1 EAST EXTERIOR ELEVATION
3/32" = 1'-0"



2 WEST EXTERIOR ELEVATION
3/32" = 1'-0"



HOME 2 SUITES BY HILTON

HOME 2 SUITES
LOXAHATCHEE GROVES, FLORIDA
George White ARCHITECT

6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467

561-289-6754

EAST & WEST
EXTERIOR
ELEVATIONS

Revisions:

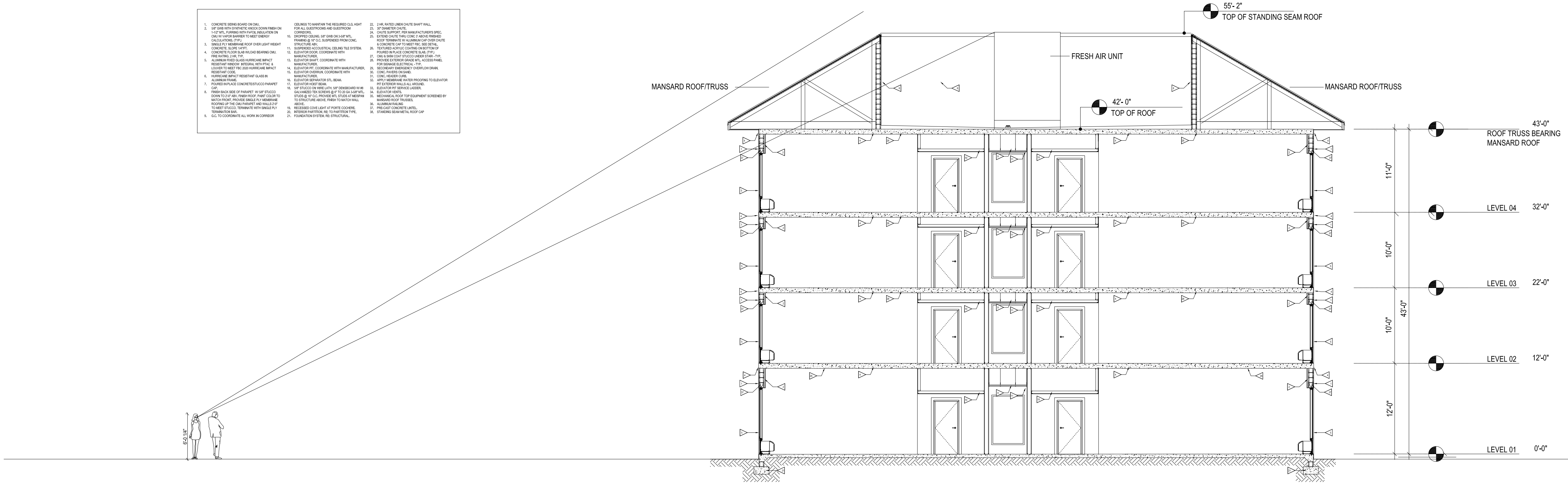
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33467

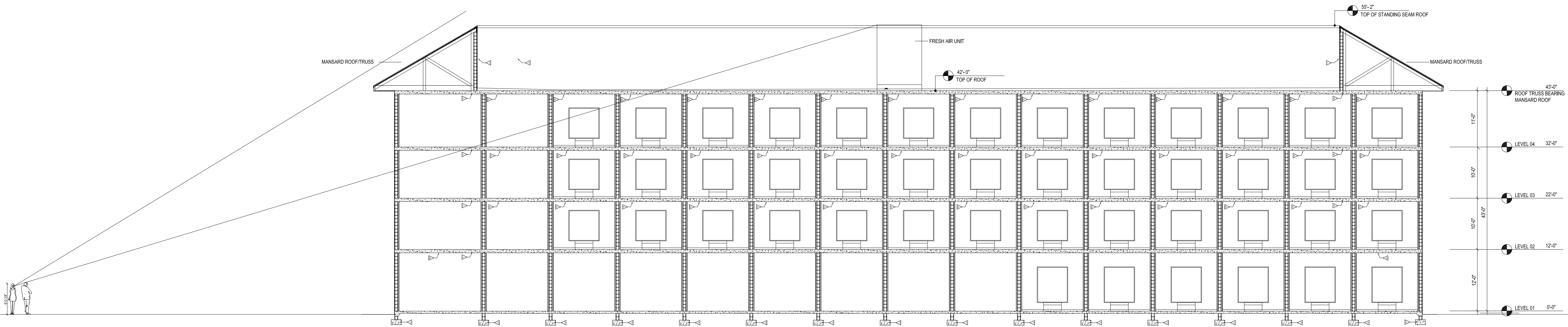
HOME 2 SUITES
LOXAHATCHEE GROVES, FLORIDA
George White ARCHITECT
6127 C. DURHAM DRIVE, LAKE WORTH , FLORIDA

BUILDING
SECTION - SIGHT
TRIANGLE

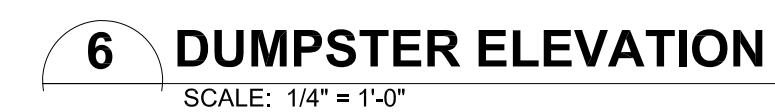
A221



1 BUILDING SECTION - SIGHT TRIANGLE
1/8" = 1'-0"



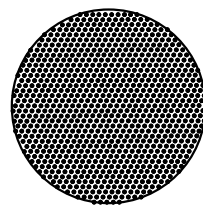
1 BUILDING SECTION - SIGHT TRIANGLE
3/32" = 1'-0"



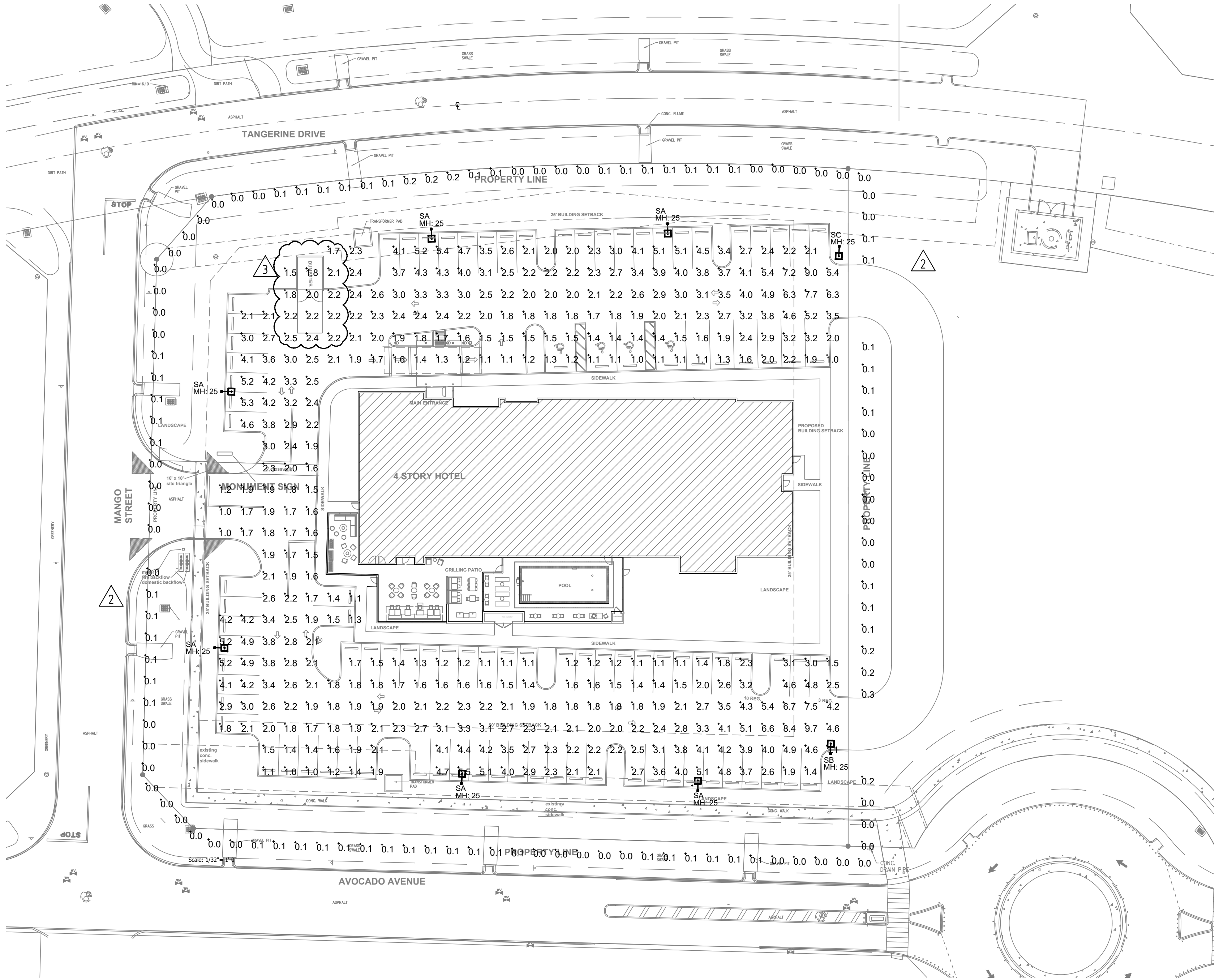


HOME 2 SUITES
LOXAHATCHEE GROVES, FLORIDA
George White ARCHITECT

6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467 561-997-6698



E1.0a



ELECTRICAL SITE PLAN - PHOTOMETRIC VALUES

Scale: 1/32"= 1'-0"

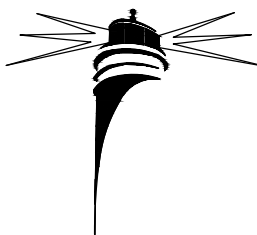
| Luminaire Schedule | | | | | | | | |
|--------------------|-----|-------|-----------|---------------------------------------------|------------------|-------|------------|-------------|
| Symbol | Qty | Label | [MANUFAC] | Description | Arr. Lum. Lumens | LLF | Lum. Watts | Total Watts |
| | 6 | SA | GARDCO | ECF-S-64L-1A-NW-G2-4-HIS POLE MOUNT 25' AFG | 21559 | 0.900 | 205.9 | 1235.4 |
| | 1 | SB | GARDCO | ECF-S-64L-900-NW-G2-LCL POLE MOUNT 25' AFG | 10853 | 0.900 | 175 | 175 |
| | 1 | SC | GARDCO | ECF-S-64L-900-NW-G2-RCL POLE MOUNT 25' AFG | 10851 | 0.900 | 175 | 175 |

| Calculation Summary | | | | | | | |
|---------------------|-------------|-------|------|-----|-----|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| PARKING AREAS | Illuminance | Fc | 2.63 | 9.7 | 1.0 | 2.92 | 10.78 |
| PROPERTY LINE | Illuminance | Fc | 0.06 | 0.3 | 0.0 | N.A. | N.A. |



Joeven M. Valenzuela P.E.
Florida Reg. No. 60287

TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE, ALL AMENDMENTS AND SECTION 633 OF THE FLORIDA STATUTES.



Beacon Consulting Engineers

625 Casa Loma Blvd., Suite 106
Boynton Beach, FL 33435
561 424 3270

Mechanical • Plumbing • Electrical • Fire Protection
Consulting Engineering







Groves Town Center Hotel

PROPOSED HOTEL AT GROVES TOWN CENTER COMPLIANCE WITH THE RURAL VISTA GUIDELINES

I. RURAL CHARACTER

Groves Hospitality LLC is proposing to develop a 91-Room Hotel within the Groves Town Center as part of serving guests who want to visit the western communities and the west end of the County. The building has been designed to resemble a barn. The four-story structure incorporates many preferred rural design elements on the exterior facades in keeping with other recently developed commercial buildings located in close proximity and adjacent to the subject site.

II. EXTERIORS:

Per Ordinance No. 2019-08 Groves Town Center Conditions of Approval F. Architectural, the building is designed in a Florida Vernacular style of architecture and incorporates many rural design elements such as a metal mansard roof, building siding, windows, and color scheme. The building exterior is consistent with the other commercial buildings already developed and/or approved and under development within Groves Town Center such as Aldi on Pod A; Wawa on Pod A, and the Carwash and Culvers restaurant on Pod B.

III. DESIGN DETAILS & BUILDING MATERIALS:

The four-story building incorporates a large canopy and moldings breaking up the massing between all floors. The building is designed to resemble a barn with the exterior primarily consisting of concrete (fiber cement) siding to achieve the rural look. The mansard roof along with horizontal and vertical articulation of the facades has been achieved with bump outs and roof towers. The building has concrete siding in multiple colors that are approved in the Town palette (i.e. Pantone Gray 6 CVP, Pantone Gray 3 CVP, Pantone Gray 4 CVP, and Pantone White 1-1-C).

IV. SIGNS:

The Hotel will incorporate one (1) wall sign (towards Southern Blvd.); one (1) monument sign; and a directional/wayfinding sign all meeting the requirements of the ULDC. A Master Sign Plan has been prepared to identify the location and sizes of all proposed signage. No advertising is proposed on any exposed amenity or facility such as benches and trash containers.

V. LIGHTING:

Aesthetic lighting throughout the site will be used to enhance building entrances, parking lot and site amenities around the site. Parking lot lighting on poles have been designed to not exceed 20 feet. All exterior lighting has been designed to direct downward and is shielded to contain light within the project as much as possible to provide security.

VI. PARKING:

Due to the Hotel use, parking has been provided to the ULDC minimum. Curbing has been incorporated into the driveway and parking space design to increase the amount of permeable area within the site. The proposed hotel has ninety three (93) parking spaces including four (4) Accessible parking spaces. All parking lots and vehicular use areas have been screened from all abutting properties with a durable vegetative landscape barrier.

VII. LANDSCAPING:

The landscape plan proposes to keep all the existing oaks and sabal palms along the north edge and northwest corner of the property. The landscape plan also proposes to relocate some existing small to medium size live oaks (existing along the south side) to the south edge of the property. This, along with new landscaping, will create sufficient screening/buffering from neighboring off-site uses and roadways.

ATTACHMENT 7– Proposed Site Plan, Public Park (Pod G)



April 10, 2024

Francine Ramaglia
Town Manager
Town of Loxahatchee Groves
155 F Road
Loxahatchee Groves, FL 33470

RE: Request Summary for Site Plan application for Town Commons use in Pod G in Groves Town Center

Dear Ms. Ramaglia,

WGI, Inc. represents Solar Sportsystems, Inc., ("Owner") who is the property owner of the Groves Town Center PUD project (the "PUD") located on Southern Boulevard between B and C Roads. The PUD received conceptual master plan approval from the Town Council on January 7, 2020 via Ordinance No. 2019-08.

Owner is currently in the process of modifying the PUD conceptual master plan in order to move the Town Commons use from Pod TC to Pod G and to allow a lodging use on Pod TC. Therefore, Owner is simultaneously applying for site plan approval for Pod G.

The proposed site plan for Pod G is similar in nature to the previously approved site plan for the Town Commons use on Pod TC. The proposed site plan has a stabilized pervious parking area that is large enough to accommodate trucks with horse trailers and it has a culverted horse trail crossing from Pod G across a drainage swale that connects to the existing equestrian trail in the 300-foot wide buffer to the west of Pod G. The grass parking lot will allow people who live too far away to ride their horses to the PUD property to trailer their horse and drive to Pod G, park, and access the equestrian trail through this spur to the trail. A split-rail wood fence will demark the outside boundaries of the parking lot. A water line is proposed to be extended into Pod G near the trail head in order to provide water for horses as needed. Electric service is not proposed to be extended to Pod G.

The remainder of Pod G is open grass area for use by the Town or other parties as scheduled through the Town for temporary events as described by condition B.9 of the PUD Ordinance.

Maintenance of Pod G will be borne by Owner as is required by condition B.9 of the PUD Ordinance.

The site plan for the Town Commons requires one (1) waiver from the Unified Land Development Code ("ULDC"). The waiver is to exceed the maximum plot size of five acres for an Institutional use per Sec. 30-035. Pod G is 5.43 acres. The Town Commons use is a low impact Institutional use, therefore exceeding the minimum lot size will not cause any issues. Further, if you exclude the conservation easement on Pod G that protects the existing wetland, the size of Pod G comes down to 4.16 acres.

Sec. 155-010(Z) of the Town Code states, *"An applicant for site plan approval for a non-residential use shall provide written documentation with the application demonstrating the specific measures*

that will be taken to prevent or minimize impacts upon adjacent residential plots within 250 feet of a boundary of the site plan. These impacts include the effects of excessive noise, objectionable odors, visible emissions, particulate matter (including dust, smoke, soot, and aerosols), solid wastes, hazardous wastes, fire and explosion. Specific measures include but are not limited to the provision of setbacks, buffers, landscaping, fencing, walls, and/or other measures as required by the ULDC."

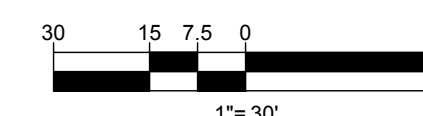
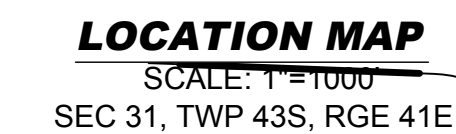
Please note that the nearest residential plot to the north is approximately 650 feet away and the nearest residential plot to the west is 150 feet away. In-between Pod G and the properties to the west is the 100-foot-wide buffer of the Town Commons PUD, which is heavily landscaped and has an equestrian trail running through it. To the north, there is a wide flood compensation area, a landscaped berm and landscaping on both sides of the stormwater retention area in the 300-foot-wide portion of the PUD buffer. The Town will be in control of the schedule of events in the Town Commons so the Town can control noise at such events. There will be no odors, visible emissions, particulate matter, solid wastes or hazardous wastes generated in the Town Commons.

We respectfully request your favorable review and recommendation of the proposed site plan for Pod G and we look forward to working with your staff and presenting to the Town Council.

Sincerely,



Matthew Barnes, AICP



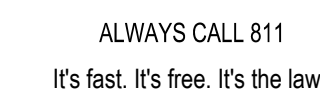
BOHLER
TM



L & L AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

| REV | DATE | COMMENT | STATUS CHECK |
|-----|------------|---------------|-----------------|
| 1 | 01/06/2021 | TOWN COMMENTS | SM TF |
| 2 | 02/10/2021 | TOWN COMMENTS | SM TS |
| 3 | 06/14/2021 | TOWN COMMENTS | SM TS |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |



SITE PLAN APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT TO BE USED FOR CONSTRUCTION.

PROJECT No.: FLB2000
DRAWN BY: SM
CHECKED BY: TP / SM
DATE: 01/07/
CAD I.D.: FLB200012-SPF

PROJECT:

TOWN CENTER POD

— FC

SOLAR SPORTSYSTEM, INC.

LOCATION OF SITE:

N.E. CORNER OF SOUTHERN BLVD.
AND B ROAD
TOWN OF LOXAHATCHEE GROVES
PALM BEACH COUNTY, FL
SEC 31, TWP 43S, RGE 41E

BOHLER//

200 S. BISCAYNE BLVD.
SUITE 20-126
MIAMI, FLORIDA 33131
Phone: (786) 681-0800

FLORIDA BUSINESS CERT. OF AUTH. No. 307

SHEET TITLE:

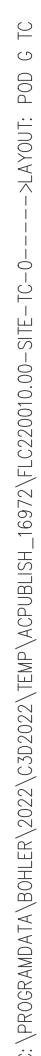
**TOWN CENTER
POD SITE PLAN**

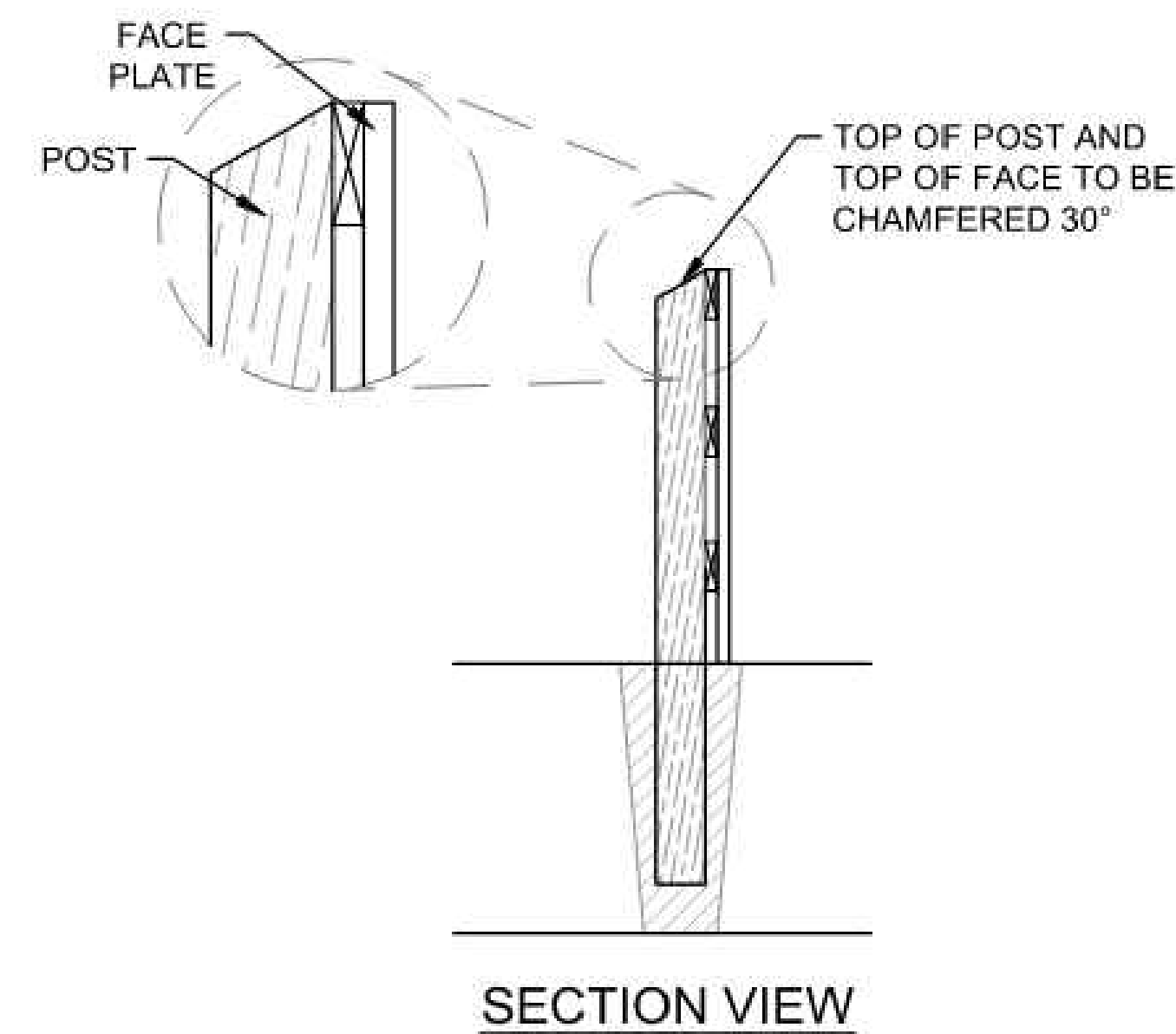
SHEET NUMBER:

EX-1

REVISION 3 - 06/14/2021

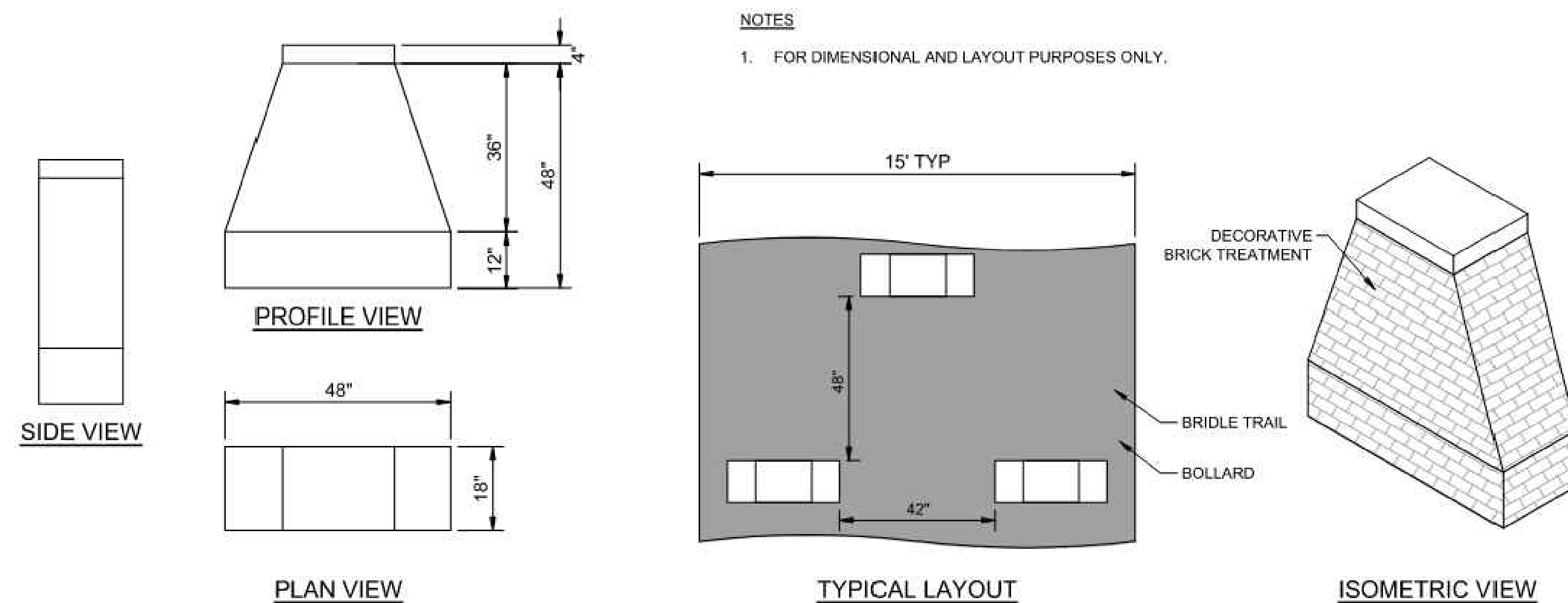
H:\2020\FLB200112\DRAWINGS\PLAN SETS\POD TO FLB200112-SPP-0 —> LAYOUT: MASTER.TC





- NOTES
1. ALL WOOD SHALL BE PRESSURE TREATED
 2. ALL FACE PLATES & FENCE RAILS SHALL FACE THE 'STREET SIDE' OF THE POSTS.
 3. FASTENERS TO BE 3" GALVANIZED WOOD SCREWS
 4. WOODEN POST TO BE DIRECT BURIED IN GROUND.

3-RAIL FENCE



EQUESTRIAN TRAIL BOLLARDS

REVISIONS

[illegible]

ALWAYS CALL 811
It's fast. It's free. It's the law.

SITE PLAN APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND
 APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS
 INDICATED OTHERWISE.

| | |
|--------------|------------------------|
| PROJECT No.: | FLC220010 |
| DRAWN BY: | TB |
| CHECKED BY: | SMM |
| DATE: | 01/07/21 |
| AD I.D.: | FLC220010.00-SITE-TC-0 |

PROJECT:

TOWN COMMONS SITE PLAN

OR —

SOLAR SPORTSYSTEM,
INC.

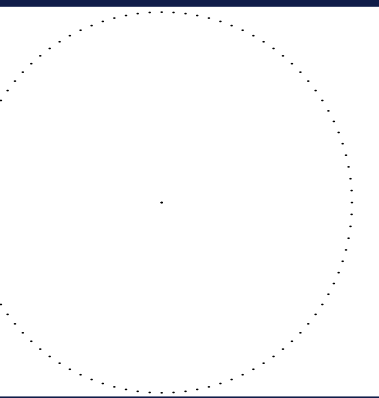
LOCATION OF SITE:

N.E. CORNER OF SOUTHERN BLVD.
AND B ROAD
TOWN OF LOXAHATCHEE GROVES
PALM BEACH COUNTY, FL
SEC 31, TWP 43S, RGE 41E



1 SE 3RD AVE.
SUITE 2700
MIAMI, FLORIDA 33131
Tel: (786) 681-0800

BUSINESS CERT. OF AUTH. No. 30780



SHEET TITLE:

POD G TOWN COMMONS DETAILS

SHEET NUMBER:

EX-3

3. DATE - 02/08/2024



1. ALL ALUMINUM TUBING TO $\frac{1}{4}$ " THICK ANODIZED WITH ROUNDED EDGES.
2. ALL JOINTS TO BE WELDED.
3. ALL OPEN ENDS OF ALUM. TUBING TO BE CAPPED WITH $\frac{1}{4}$ " ALUM PLATE, WELDED. EDGES TO BE GROUND SMOOTH AND ROUNDED.



LEGEND:

- # ○ EXISTING TREE OR PALM TO REMAIN
- FPL SWITCH BOX

UTILITY EQUIPMENT NOTE:

1. SEE CIVIL DRAWINGS FOR FENCING, SWITCH BOX, AND HOSE BIB DETAILS.

LANDSCAPE AND ROOT BARRIER NOTES:

1. TREE LOCATION AND SPACING IS BASED ON DESIGN REQUIREMENTS AND THE THE TREES SHOWN ON THIS PLAN ATTEMPT TO ACCOMPLISH SPACING REQUIREMENTS WHILE MAINTAINING THE REQUIRED SETBACKS FROM PUBLIC UTILITIES. IN ANY CASE THE TREES SHALL BE PLANTED IN ACCORDANCE WITH THE PLANT DETAILS SHOW HEREIN.
2. TREES ARE TO BE INSTALLED WITH A TEN FOOT (10') SEPARATION FROM ANY PAVING OR PUBLIC WATER, SEWER MAIN SERVICE, OR LIFT STATIONS. IF A TEN FOOT (10') CLEARANCE CANNOT BE ACHIEVED, SPACING CAN BE REDUCED TO SEVEN FOOT (7') IF INSTALLED WITH A 24" DEEP CONTINUOUS APPROVED ROOT BARRIER SYSTEM. HOWEVER, IN NO CASE SHALL A TREE ENCOACH INTO AN EASEMENT WITHOUT PRIOR APPROVAL, AND ONLY SOD CAN BE INSTALLED WITHIN 7.5 FEET OF A FIRE HYDRANT UNLESS OTHERWISE APPROVED BY THE FIRE MARSHAL.

IRRIGATION PERFORMANCE NOTES:

1. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING WATER AND HAND WATERING TREES BASED ON THE FOLLOWING SCHEDULE:
- MONTH 1 - WATER DAILY WITH 3 GALLONS PER INCH CALIPER
MONTH 2 THRU 4 - WATER EVERY OTHER DAY WITH 3 GALLONS PER INCH CALIPER
MONTH 5 THRU 7 - WATER ONCE A WEEK WITH 3 GALLONS PER INCH CALIPER

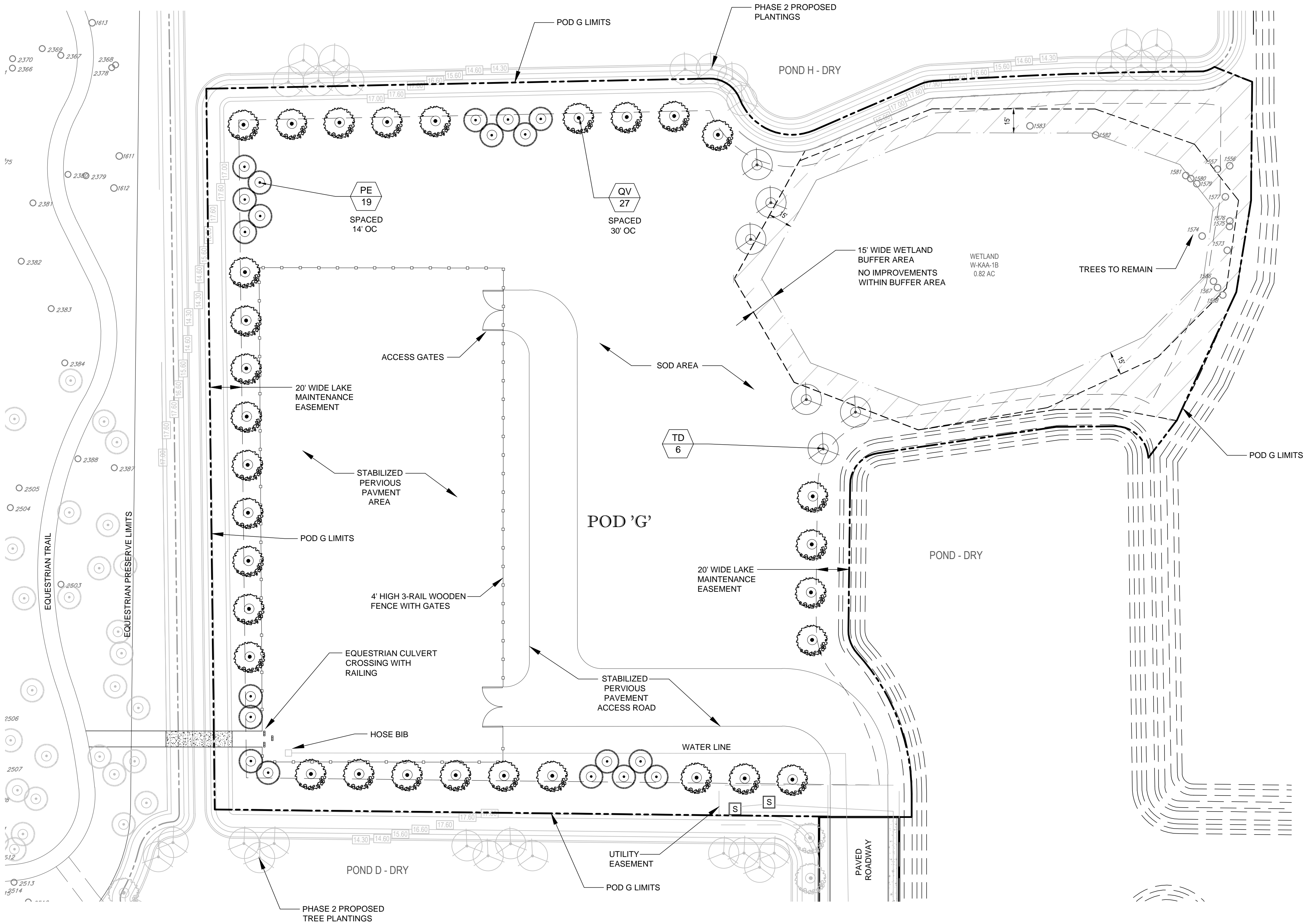
GENERAL LANDSCAPE NOTES:

1. THE DEVELOPER WILL BE RESPONSIBLE FOR MAINTENANCE OF THE COMMON AREA LANDSCAPE TRACTS. FUTURE LANDSCAPE WITHIN THE PARCEL WILL BE MAINTAINED BY THE OWNER OR LESSEE.
2. ALL UNPAVED DISTURBED SURFACES SHALL BE GRADED AND SODDED WITH ARGENTINE BAHIA GRASS. GRASS AREAS SHALL BE WATERED UNTIL ESTABLISHED, AND RE-SEEDDED OR SODDED IF NECESSARY TO OBTAIN A HEALTHY STAND OF GRASS PRIOR TO FINAL ACCEPTANCE. THE BANKS OF DRY RETENTION AREAS SHALL BE SODDED WITHIN THE SITE LIMITS AND ANY DAMAGED SOD AREAS OUTSIDE OF THE PROJECT LIMITS WITH ARGENTINE BAHIA GRASS.
3. ALL TREES WILL BE MULCHED WITH A 4" DIAMETER x 3" LAYER OF SHREDDED HARDWOOD.
4. NO REFERENCE TO ENGINEERING SHOULD BE MADE FROM THIS SHEET. SHEET(S) ARE FOR LANDSCAPE REFERENCE ONLY.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS AND WRITTEN SPECIFICATIONS. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL BY THE OWNER'S REP.
6. THE LANDSCAPE PLANTINGS SHALL BE INSTALLED IN COMPLIANCE WITH EXISTING CODES AND APPLICABLE DEED RESTRICTIONS OR REQUIREMENTS.
7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MATERIALS AND QUANTITIES PRIOR TO BIDDING, AND NOTIFY OWNER'S REP OF ANY PLAN DISCREPANCIES PRIOR TO CONSTRUCTION. RESOLUTION OF DISCREPANCIES FOUND DURING CONSTRUCTION SHALL BE IN FAVOR OF THE OWNER.
8. ANY DEVIATION FROM PLANT QUANTITY, SIZE OR GRADE MAY JEOPARDIZE THE CERTIFICATE OF OCCUPANCY.
9. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS ARE MINIMUMS ONLY. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. OWNER'S REP SHALL BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE PLANS.
10. CONTRACTOR TO NOTIFY SUNSHINE STATE ONE CALL OF FLORIDA, INC AT 800-432-4770 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.
11. THE HEALTHY, NEAT, AND ORDERLY APPEARANCE OF ALL REQUIRED LANDSCAPING MATERIALS IS THE CONTINUAL RESPONSIBILITY OF THE PROPERTY OWNER AFTER FINAL ACCEPTANCE.

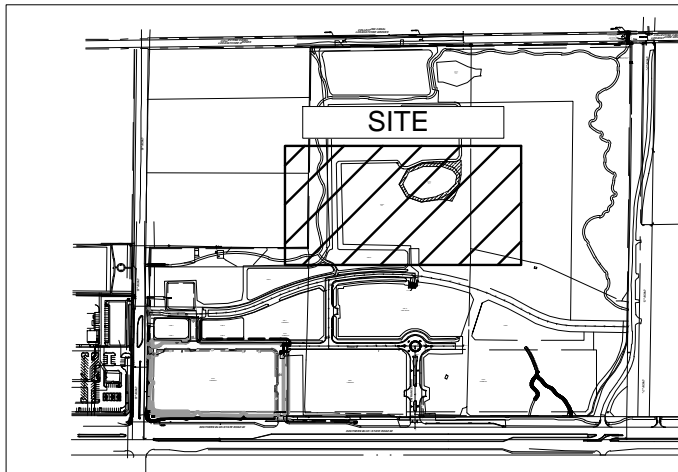
PLANT SCHEDULE:

| | SYMBOL | | QTY. | SCIENTIFIC NAME | COMMON NAME | SPECIFICATIONS (MINIMUMS) |
|----------------------|--------|----|----------------------------|-------------------|----------------------------------|---------------------------|
| TREE CREDITS PLANTED | | | | | | |
| MITIGATION | QV | 27 | Quercus virginiana | Southern Live Oak | 16' Ht, 4"- 6" DBH | |
| MITIGATION | PE | 19 | Pinus elliottii var. densa | Densa Slash Pine | 16' Ht, 4"- 6" DBH | |
| MITIGATION | TD | 6 | Taxodium distichum | Bald Cypress | 16' Ht, 4"- 6" DBH | |
| SOD | | | | | | |
| | * | ** | | Argentine Bahia | Sod - Tight Joints, Clean Cut In | |

- * SEE GENERAL LANDSCAPE NOTE 2
** CONTRACTOR TO VERIFY BEFORE BIDDING

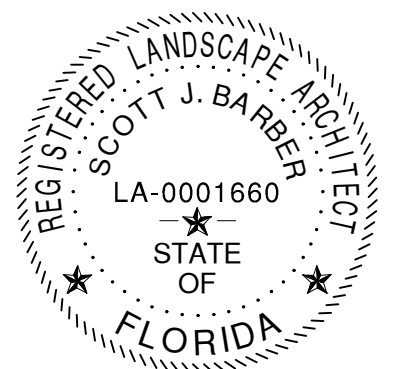


KEY MAP:



LANDSCAPE ARCHITECTURE & PLANNING
I.C.-26000593

1551 WYNDCLIFF DRIVE
WELLINGTON, FL 33414
(561) 309-7263



REVISIONS

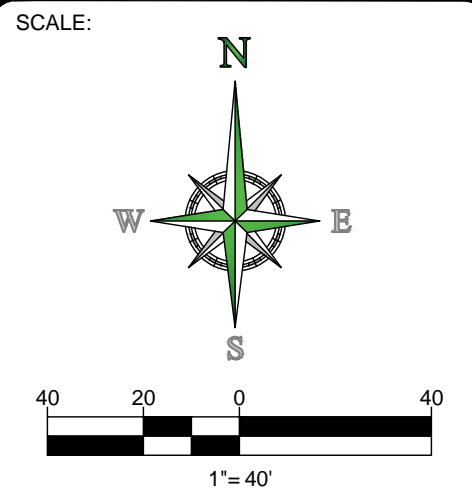
| REV | DATE | COMMENT | BY |
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NOT APPROVED FOR CONSTRUCTION

PROJECT No.: 20-010.09
DRAWN BY: SJB
CHECKED BY: SM
DATE: 3/8/24
SCALE: AS NOTED
CAD I.D.: LD_3/8/24.DWG

PROJECT:
GROVES TOWN CENTER
POD 'G'
FOR
SOLAR SPORTSYSTEM, INC.
LOCATION OF SITE
NE. CORNER OF SOUTHERN BLVD. AND 'B' ROAD
LOXAHATCHEE GROVES
PALM BEACH COUNTY



SHEET TITLE:

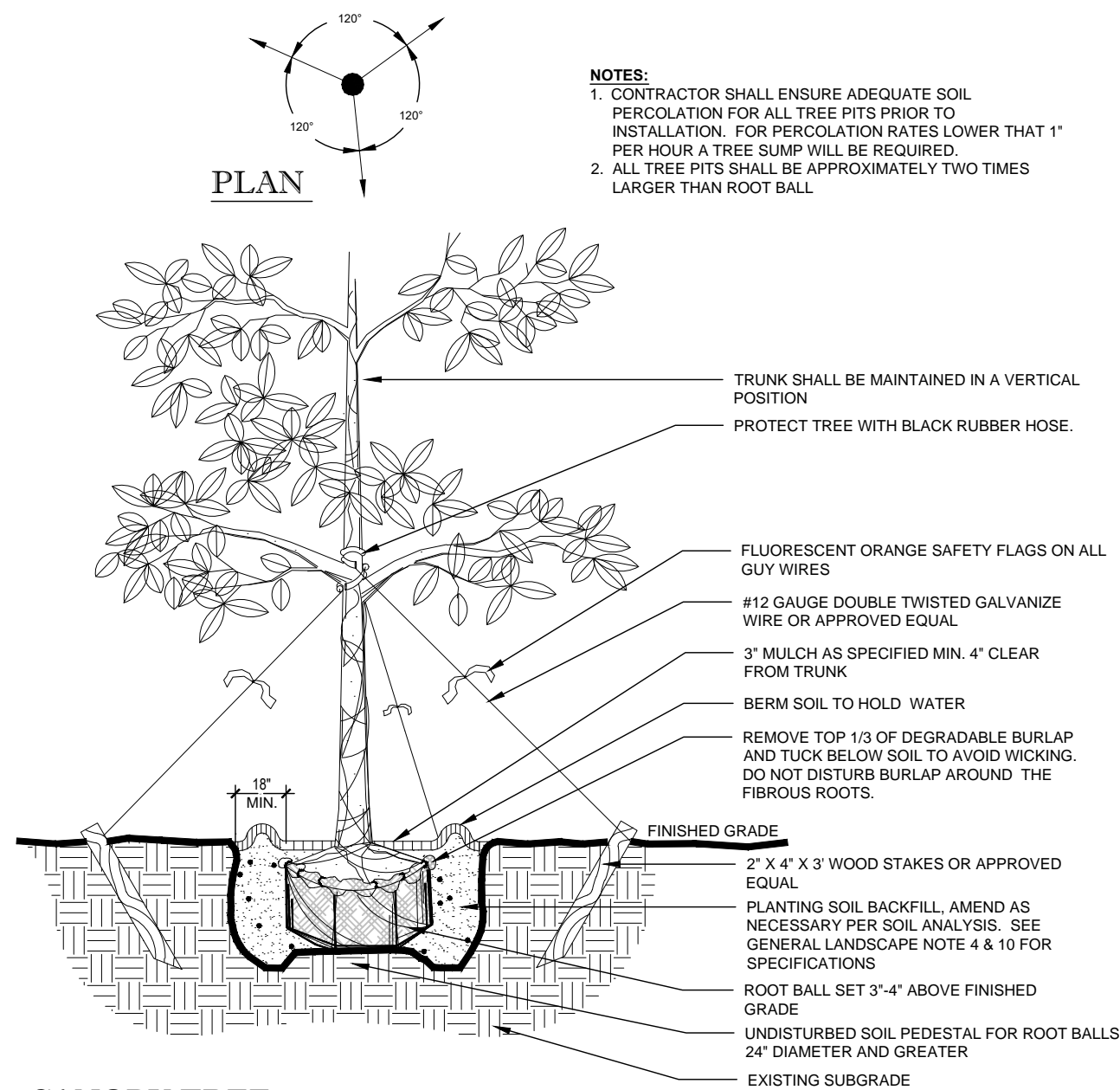
POD 'G'
LANDSCAPE PLAN

SHEET NUMBER:

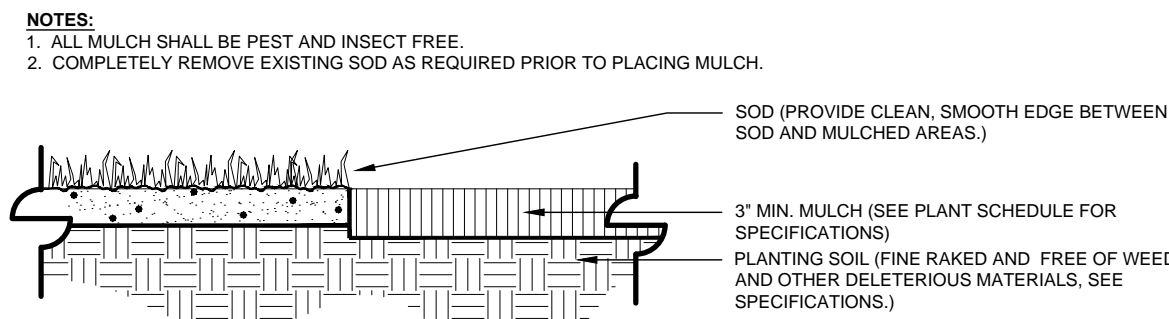
LP-1

CANOPY TREE PLANTING NOTES:

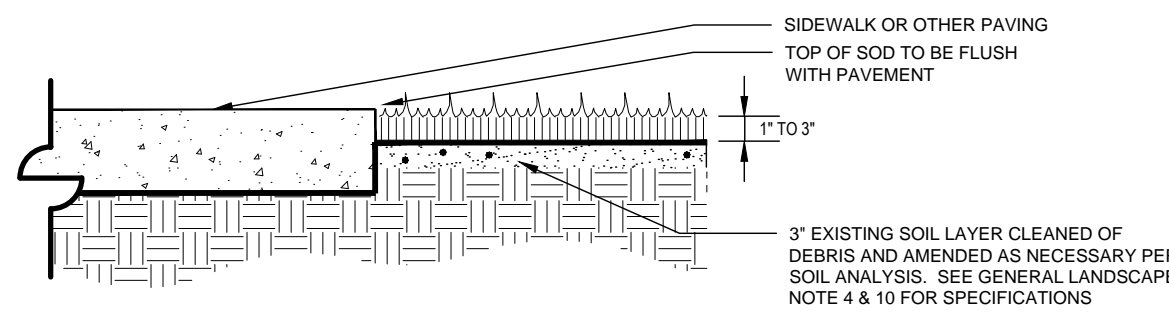
- EACH TREE SHALL RECEIVE SIX "AGRIFORM" 21 GRAM TABLETS PER MANUFACTURER'S DIRECTIONS.
- ALL TREES SHALL HAVE A MINIMUM CLEARANCE OF 15' FROM LIGHT POLES, AND SHALL NOT BE INSTALLED WITHIN 10 FT. OF ANY ABOVE GROUND UTILITIES OR WITHIN 30 FT. OF THE FACE OF A STOP SIGN.
- ANY NECESSARY TREE TRIMMING SHALL BE IN ACCORDANCE WITH LOCAL CODES AND THE AMERICAN NATIONAL STANDARD INSTITUTE (ANSI)A-300 PRUNING STANDARDS.



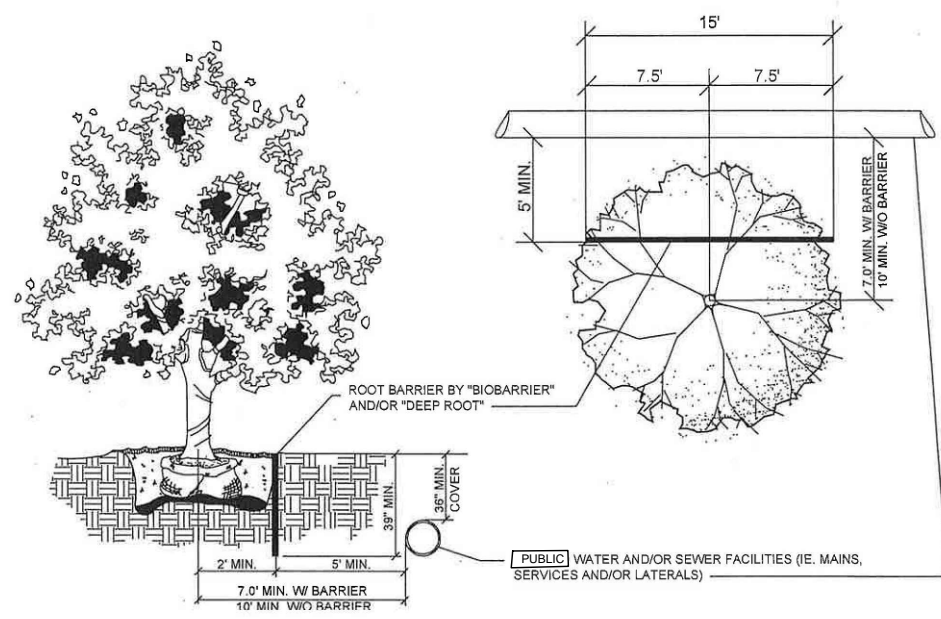
1 CANOPY TREE
SCALE: NTS



2 MULCH APPLICATION
SCALE: NTS



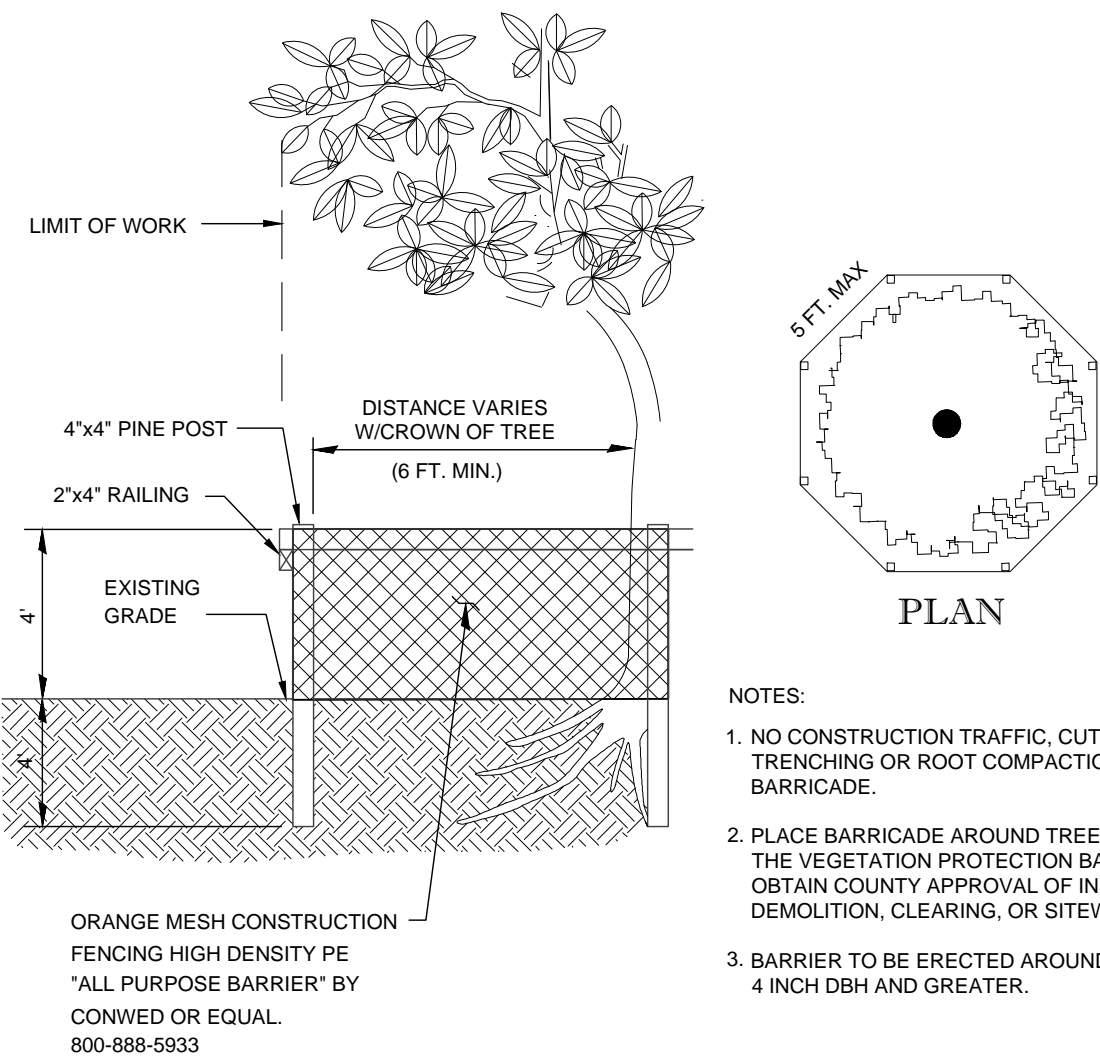
3 SOD APPLICATION
SCALE: NTS



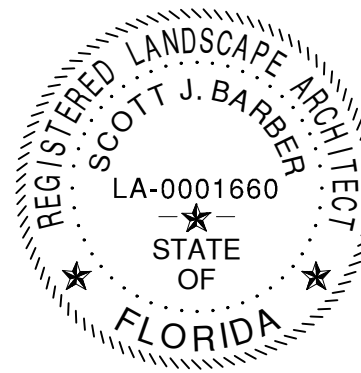
4 LANDSCAPE ROOT BARRIER DETAIL
SCALE: NTS

GENERAL PLANTING NOTES:

- NUISANCE, EXOTIC PLANT SPECIES REMOVAL SHALL BE COMPLETED IN ACCORDANCE WITH SECTIONS OF THE MUNICIPAL REGULATIONS, GUIDELINES AND STANDARDS.
- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER, AS SET FORTH BY THE LATEST EDITION OF FLORIDA GRADES AND STANDARDS.
- PLANT MATERIAL SHALL BE LOCAL FLORIDA NURSERY STOCK.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A TOPSOIL / PLANTING SOIL ANALYSIS REPORT WITH FERTILIZER RECOMMENDATIONS, FOR ORNAMENTAL PLANTINGS, PRIOR TO INSTALLATION OF THE PLANTING SOIL. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY IMPROPER SOIL CONDITIONS (WETNESS, MUCK, DEBRIS, ETC.) PRIOR TO INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL AMENDMENTS AND/OR FERTILIZER RECOMMENDED BY THE SOIL ANALYSIS REPORT FOR HEALTHY, VIGOROUS PLANT GROWTH. SEE NOTE 10.
- ALL PLANT MATERIAL HOLES SHALL BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT OR DAMAGE UTILITIES, EXISTING TREE ROOTS, OR PROJECT IMPROVEMENTS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPE ELEMENTS UNTIL FINAL ACCEPTANCE BY THE OWNER'S REP. THIS MAINTENANCE SHALL INCLUDE BUT MAY NOT BE LIMITED TO MOWING, EDGING AND TRIMMING GRASS, KEEPING PLANTING BEDS FREE OF DEBRIS AND WEEDS, MANAGING ALL DISEASE OR INFESTATION, WATERING OF PLANT MATERIALS, AND MAINTAINING MULCH.
- ALL SHRUB / GROUND COVER MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS, AND ALL TREES / PALMS FOR 1 YEAR, FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER'S REP.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND STAKE ALL UTILITIES. A MINIMUM OF TEN FEET SEPARATION IS REQUIRED BETWEEN UTILITIES AND TREE PLANTINGS WITHOUT A ROOT BARRIER. IN ADDITION, ALL TREES SHALL BE LOCATED AT LEAST 15 FEET FROM LIGHT POLES AND SIX FEET AWAY FROM THE FLOW LINE OF SWALES AND PROPOSED OR EXISTING STORM WATER INLETS.
- NEW PLANT MATERIAL TO BE INSTALLED WILL BE FIELD ADJUSTED TO ACCOMMODATE EXISTING PLANT MATERIAL SUCH AS OVERHEAD CANOPY TREES, UNDER-STORY TREES AND SHRUBS OR GROUND COVER. THIS WILL ENSURE EXISTING PLANT MATERIAL TO REMAIN IN ITS NATURAL STATE. THEREFORE, NO EXISTING PLANT MATERIAL WILL BE ALTERED BY REMOVING, CUTTING TRIMMING OR DESTROYING IN ORDER TO INSTALL NEW PLANT MATERIAL.
- PLANTING SOIL SHALL CONSIST OF NATURAL, FRIABLE, FINE LOAM SOIL WITH A pH OF 5.5 TO 7.0, AND 3-5% ORGANIC MATTER. IT SHALL BE FREE OF WEED SEEDS, PATHOGENS, LITTER, SOD, CLAY, ROAD BASE, STONES, ROOTS AND STUMPS TO A DEPTH OF 2 FEET. ALL PLANTING AREAS SHALL HAVE POSITIVE DRAINAGE. TOP SOIL THAT DOES NOT MEET THIS SPECIFICATION SHALL BE SUBSTITUTED WITH PROPER BORROW SOIL OF 50/50 MIXTURE OF MUCK AND CLEAN SAND OR APPROVED EQUAL. SEE NOTE 4.
- BED PREPARATION: LOOSEN SOIL TO A MINIMUM DEPTH OF TWELVE INCHES AND REMOVE ANY DEBRIS. RE-GRADE THE BED TO ITS ORIGINAL GRADE. DIG PLANTING PITS AT 2 TIMES THE DIAMETER OF THE POT. FILL PLANT PIT WITH SPECIFIED PLANTING MIX AND COMPACT SO THAT THE TOP OF ROOT BALL WILL SETTLE 1/8 DEPTH OF THE ROOT BALL ABOVE FINISH GRADE. SET PLANT AND FILL REMAINDER OF HOLE WITH PLANTING MIX. FERTILIZE EACH PLANT WITH THE RECOMMENDED RATE BASED ON SOIL ANALYSIS AND RECOMMENDATIONS. WATER IN THOROUGHLY. RESET ANY PLANTS THAT SETTLE TOO DEEP. REMOVE SPOIL SOIL AND RAKE THE BED TO ITS FINISH GRADE. COVER ALL BED AREAS WITH A 3" DEPTH OF APPROVED ORGANIC MULCH, ENSURE MULCH OVER ROOT BALLS DOES NOT EXCEED A DEPTH OF ONE INCH. REMOVE ALL DEBRIS FROM THE MULCH. WATER BED THOROUGHLY.
- ALL PROPOSED PLANTING AREAS SHALL RECEIVE A THREE INCH LAYER OF MULCH. ALL TREES NOT LOCATED WITHIN A PLANTING BED SHALL RECEIVE A FOUR FEET DIAMETER MULCH RING. SEE GENERAL LANDSCAPE NOTES FOR TYPE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR HOLDING THE FINE GRADING OF PLANTING AREAS TO ENSURE AT LEAST THREE PERCENT POSITIVE DRAINAGE AWAY FROM PAVED AREAS INTO TURF AREAS, PONDS OR OTHER DRAINAGE WAYS.
- SLOPES GREATER THAN 4:1 SHALL REQUIRE SODDING FOR STABILIZATION.
- ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE. SODDING, PLUGGING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING IS REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1.
- IF ALTERNATIVE VEGETATION IS UTILIZED (I.E. MATCHING AND/OR EXTENDING EXISTING SHRUB BED, THE INSTALLED MATERIAL MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASES. ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE TO FLORIDA NO 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS", PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. MATERIAL IN SOME INSTANCES SHALL EXCEED NO. 1 GRADE, IN ORDER TO MEET THE MINIMUM REQUIREMENTS OF THIS PROJECT.
- SOD SHALL BE INSTALLED IN ALL DISTURBED LANDSCAPE AREAS THAT ARE NOT PLANTED OR HARDSCAPED. CONTRACTOR SHALL VERIFY SOD QUANTITY.
- LANDSCAPE CONTRACTOR SHALL REPAIR, RELOCATE AND/OR REPLACE ANY CONSTRUCTION DAMAGED OR REMOVED LANDSCAPE MATERIALS, ON OR OFF SITE, THAT ARE NOT DELINEATED ON THE DEMOLITION PLANS. CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER'S REP. PRIOR TO ANY REMEDIATION LANDSCAPE EFFORTS.



5 TREE BARRICADE DETAIL
SCALE: NTS



REVISIONS

| REV | DATE | COMMENT | BY |
|-----|------|---------|----|
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NOT APPROVED FOR
CONSTRUCTION

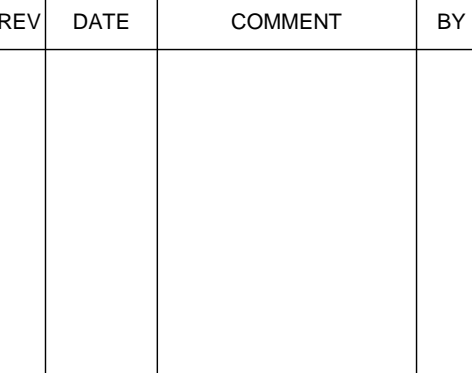
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| PROJECT No.: | 20-010.09 |
| DRAWN BY: | SJB |
| CHECKED BY: | SM |
| DATE: | 3/8/24 |
| SCALE: | NOTED |
| CAD I.D.: | LD_3/8/24.DWG |

PROJECT:
**GROVES TOWN
CENTER
POD 'G'**
FOR
**SOLAR
SPORTSYSTEM,
INC.**
LOCATION OF SITE
NE. CORNER OF SOUTHERN BLVD.
AND B' ROAD
LOXAHATCHEE GROVES
PALM BEACH COUNTY

SCALE:

SHEET TITLE:
**POD 'G'
LANDSCAPE
NOTES & DETAILS**

SHEET NUMBER:
LP-2



| | |
|--------------|---------------|
| PROJECT No.: | 20-010.09 |
| DRAWN BY: | SJB |
| CHECKED BY: | SM |
| DATE: | 3/8/24 |
| SCALE: | AS NOTED |
| CAD I.D.: | TD_3/8/24.DWG |

PROJECT:

GROVES TOWN
CENTER MASTER
INFRASTRUCTURE

FOR

SOLAR
SPORTSYSTEM,
INC.

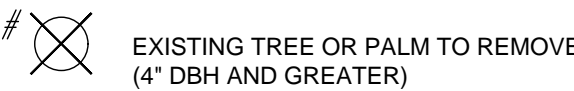
LOCATION OF SITE

NE. CORNER OF SOUTHERN BLVD.
AND B' ROAD
LOXAHATCHEE GROVES
PALM BEACH COUNTY



POD 'G'
TREE DISPOSITION
PLAN

SHEET NUMBER:
TD-1



TREE DISPOSITION NOTES:

1. 1 NON-SPECIMEN OAK (8" DBH), WITH 7" - 13" DBH WILL BE REMOVED AND REPLACED ON SITE AT 1:1 DBH WITH 2 - 16' HT X 4" DBH OAKS.
2. 8 NON-SPECIMEN PINES (76" DBH) WITH 7" - 13" DBH WILL BE REMOVED AND REPLACED ON SITE AT 1:1 WITH 19 - 16' HT X 4" DBH PINES.
3. 2 SABAL PALMS WILL BE REMOVED AND REPLACED ON SITE AT 1:1 WITH 1 - 16' HT X 4" DBH OAK.
4. ALL TREES WITHIN THE WETLAND BUFFER AREA WILL BE PRESERVED. NO VEGETATION DEMOLITION WILL OCCUR WITHIN THE WETLAND BUFFER AREA.
5. SEE POD G LANDSCAPE PLANS FOR MITIGATION TREE INSTALLATION LOCATIONS.

| TREES TO REMOVE | | |
|-----------------|---------------|--------------|
| TREE ID | TREE DIAMETER | TREE SPECIES |
| 1595 | 12" | SABAL PALM |
| 1596 | 7" | PINE TREE |
| 1597 | 9" | PINE TREE |
| 1598 | 12" | PINE TREE |
| 1599 | 11" | PINE TREE |
| 1600 | 6" | PINE TREE |
| 1601 | 11" | PINE TREE |
| 1604 | 12" | PINE TREE |
| 1605 | 8" | PINE TREE |
| 1606 | 12" | SABAL PALM |
| 1608 | 8" | OAK TREE |

EXHIBIT C
Town Center (TC) Pod G Site Plan
Conditions of Approval

A. GENERAL

1.The conditions of approval herein shall apply to the Owner, Applicant and their successors and assigns.

2.The Final Conditions of Approval in Town Ordinance ~~2019-08~~[insert new ordinance number for PUD] are adopted and incorporated herein by reference. Ordinance ~~2019-08~~[insert new ordinance number for PUD] assigned an amended Multiple Land Use Planned Unit development (MLU,'PUD) zoning designation to the site.

3.Development of the site is limited to the uses depicted and stated in the Site Plan ~~is dated August 17, 2021~~[insert new date]. All modifications to the Site Plan shall be approved by the Town Council with the following exceptions which may be approved by the Town Manager:

- a) Administrative amendments permitted under Section 155-005 of the ULDC;
- b) Amendments required to conform to the Conceptual Master Plan;
- c) Amendments necessary to comply with Site Plan Conditions of Approval; and
- d) Infrastructure and utility improvements which are in accordance with the ULDC.

4.The Town Manager and his designated agents shall review and approve all building permit applications prior to processing by ~~Palm Beach County~~the Town of Loxahatchee Groves for consistency with the following: (1) Site Plan and Conditions of Approval; (2) Landscape Plan; (3), and Pedestrian Access Exhibit

5.Prior to submittal of any building permit applications for processing by ~~Palm Beach County~~the Town of Loxahatchee Groves, the Town Manager and Town Engineer shall review and approve all land development plans.

6.Consistent with the Palm Beach County Mandatory Traffic Performance Standards criteria in place at the time of this approval, no building permits for the site shall be issued after ~~December 31, 2022~~November 29, 2029. A time extension for this condition shall be acknowledged by the Town of Loxahatchee Groves pursuant to a State of Emergency Order issued by the Governor of Florida upon written notification by the Owner, or

approval of a traffic study which complies the Palm Beach County Mandatory Traffic Performance Standards in place at the time of the request.

7. Exhibit D *Description of Common Areas* of the Declaration of Master Covenants for Groves Town Center recorded in the Public Records of Palm Beach County (ORB 30693 PG 680) shall be revised by Owner to reflect the current Conceptual Master Plan, per Town Ordinance ~~2019-08~~[insert new ordinance number for PUD], including the redefined and relocated Town Center (~~TC~~-Pod G)

8. The Town Center (~~TC~~-Pod G) shown on the Conceptual Master Plan dated ~~December 30, 2019~~[insert new date] shall remain owned by Owner and their successors and assigns and maintenance of ~~TC~~-Pod G is the responsibility of Owner. Scheduling uses for ~~the TC~~-Pod G is the responsibility of the Town. The Town may use ~~TC~~-Pod G at any time the Town sees fit, subject to compliance with the Town Unified Land Development Code (ULDC). ~~The TC~~-Pod G may be rented or leased to any individual person(s) and/or business (es) for temporary uses, subject to compliance with the ULDC and any Town permitting requirements. Any party that uses ~~TC~~-Pod G is responsible for cleaning up after the event and returning ~~TC~~-Pod G to the same condition ~~the TC~~-Pod G was in before the party used ~~the TC~~-Pod G.

B. LAND USE AND SITE PLANNING

1. Development of the site shall be limited to ~~a~~-uses consistent with the Site Plan dated ~~August 17, 2021~~[insert new date].

2. All on-site deliveries during construction shall be made from project entrances off of Southern Boulevard unless previously approved by the town Manager.

~~3. Coincident with construction of the perimeter drainage swales, the pedestrian access connections shall be installed on Tangerine Drive, Avocado Avenue and Mango Street and certified and approved by the Town.~~

c. ENGINEERING

~~1. Prior to the issuance of the Site Development Permit for this project, The Master Site Development Permit for the 1st Phase of Construction must be approved by the Town.~~

~~2. Prior to the issuance of the Site Development Permit and Building Permit for this project, Applicant shall provide itemized cost estimates and surety for the affected portion of Pod B per Town Code Section 100-060.~~

~~3.1.~~ Prior to the commencement of construction of this project Applicant shall:

- a. Provide the Town Engineer with copies of all permits, permit applications, and requests for additional information to and from the regulatory agencies regarding issues on all permit applications, certification, and approvals for this project including, but not limited to, the South Florida Water Management District, Palm Beach County Water Utilities Department, Palm Beach County Fire Rescue, Palm Beach County Health Department, etc.
- b. Schedule a pre-construction meeting with the Town. Inspections related to the Site Development Permit for this project will not be performed until the pre-construction meeting has occurred. Failure to comply with this condition could result in a Stop Work Order for all work and construction activity related to this project.

4.2. The applicant shall comply with all Federal EPA and State of Florida Department of Environmental Protection NPDES requirements including, but not limited to, preparation of a stormwater pollution prevention plan and identification of appropriate Best Management Practices, as generally accepted by the Environmental Protection Agency (EPA) and local regulatory agencies, for construction activities, implementation of the approved plans, inspection, and maintenance of controls during construction, including a Notice of Intent prior to the start of construction and a Notice of Termination prior to the certification of the Site Development Permit.

5.3. The construction, operation and maintenance of any elements of this project shall not have any negative impacts on the existing drainage of the surrounding areas. If at any time during the project development, it is determined by the Town that any of the surrounding areas are experiencing negative drainage impacts caused by this project, it shall be the applicant's responsibility to resolve said impacts in a period of time and a manner that is acceptable to the Town prior to additional construction activities. The Town may issue a Stop Work Order or cease issuance of any related Building Permits until all drainage concerns are resolved.

6.4. Prior to the issuance of the Certificate of Completion for the Site Development Permit, the application shall:

- a. Submit to the Town all required recorded easements and easement modifications.
- b. Provide electronic certified civil design as-built drawings in both PDF and AutoCAD formats for review and approval by the Town Engineer.

D. LAND CLEARING AND LANDSCAPING

1. Prior to any land clearing activities, the property owner shall comply with the permit requirements of the Loxahatchee Groves Native Tree Preservation, Soil Stabilization and Invasive Exotic Removal regulations (ULDC Article 87).

2. Project landscaping shall comply with the Landscape Plan dated ~~June 14, 2021~~[insert new date].

3. Preconstruction surveys shall be implemented for the following species: Eastern Indigo Snake; Gopher Tortoise; and Florida Bonneted Bat. Appropriate relocation and protective measures, to be coordinated with the Town, shall be undertaken pending the results of the surveys.

4. A Floodplain Development Application shall be submitted to, and approved by the Town prior to commencing any land clearing or development.

5. Potentially objectionable features (e.g. mechanical equipment, sewer lift station, dumpsters and trash receptacles, etc.) shall be indicated on project site plans and screened from public view.

~~6. Fencing along Tangerine Drive and Mango Street shall be of the same materials and design as that presented on Sheet C-901 of the Town Center Pod Details dated January 7, 2021.~~

E. EXTERIOR LIGHTING

1. Should exterior lighting be proposed in the future, a site plan amendment shall be required and lighting shall comply with the requirements of ULDC Section 50-030 *Outdoor Lighting*, as revised by Ordinance 2019-06.

~~F. PARKING AND LOADING~~

~~1. Prior to, or in conjunction with the next Grove Town Center Pod site plan application, the location of an equestrian parking lot shall be approved by the town Council.~~

G.F. SIGNAGE

1. ~~Permitted signs are listed in ULDC Section 90-040(C). The initial sign permit submittal, including pedestrian crossing signs, shall include a master sign program detailing the location, number, colors and size of proposed signage within the TC Pod development. The master sign program shall be used as model for all subsequent signage within the TC Pod development.~~

2. Per Sections 05-040 and 90-070 of the ULDC, permits for all projects signs shall be ~~obtained prior to~~processed concurrently with the building permit application.

1. UTILITIES AND SERVICES

~~1. A Developer's Agreement shall be executed between Owner and the Palm Beach County Water Utility Department and approved by the Town Council of the Town of Loxahatchee Groves for wastewater lift station.~~

1. Solid waste collection and disposal may become necessary, as determined by the Town Council. If so, collection and disposal service shall be accomplished by contract between the Owner and the Town's contract hauler.