

TOWN OF LOXAHATCHEE GROVES

TOWN HALL COUNCIL CHAMBERS

PLANNING AND ZONING BOARD MEETING

AGENDA

DECEMBER 11, 2024 – 6:00 PM



William Ford (Seat 1) - Chair

Lisa El Ramey (Seat 5) – Vice Chair

Brett Raflowitz (Seat 2)

Todd McLendon (Seat 3)

Jacquelyn Clifton (Seat 4)

Administration

Town Manager Francine L. Ramaglia

Town Clerk Valerie E. Oakes

Town's Planning Consultant: Kaitlyn Forbes, Complete Cities

Civility: Being "civil" is not a restraint on the First Amendment right to speak out, but it is more than just being polite. Civility is stating your opinions and beliefs, without degrading someone else in the process. Civility requires a person to respect other people's opinions and beliefs even if he or she strongly disagrees. It is finding a common ground for dialogue with others. It is being patient, graceful, and having a strong character. That is why we say "Character Counts" in Town of Loxahatchee. Civility is practiced at all Town meetings.

Special Needs: In accordance with the provisions of the American with Disabilities Act (ADA), persons in need of a special accommodation to participate in this proceeding shall within three business days prior to any proceeding, contact the Town Clerk's Office, 155 F Road, Loxahatchee Groves, Florida, (561) 793-2418.

Quasi-Judicial Hearings: Some of the matters on the agenda may be "quasi-judicial" in nature. Town Council Members are required to disclose all ex-parte communications regarding these items and are subject to voir dire (a preliminary examination of a witness or a juror by a judge or council) by any affected party regarding those communications. All witnesses testifying will be "sworn" prior to their testimony. However, the public is permitted to comment, without being sworn. Unsworn comment will be given its appropriate weight by the Town Council.

Appeal of Decision: If a person decides to appeal any decision made by the Town Council with respect to any matter considered at this meeting, he or she will need a record of the proceeding, and for that purpose, may need to ensure that a verbatim record of the proceeding is made, which record includes any testimony and evidence upon which the appeal will be based.

Consent Calendar: Those matters included under the Consent Calendar are typically self-explanatory, non controversial, and are not expected to require review or discussion. All items will be enacted by a single motion. If discussion on an item is desired, any Town Council Member, without a motion, may "pull" or remove the item to be considered separately. If any item is quasi-judicial, it may be removed from the Consent Calendar to be heard separately, by a Town Council Member, or by any member of the public desiring it to be heard, without a motion.

OPENING

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

APPROVAL OF AGENDA

APPROVAL OF MINUTES

PUBLIC COMMENTS

A limited public audience can be accommodated in our Town Council chambers with mandatory facemasks and socially spaced seating. Public Comments for all meetings may be received by email, or in writing to the Town Clerk's Office until 12:00 p.m. (noon) day of the meeting. Comments received will be "received and filed" to be acknowledged as part of the official public record for the meeting. The meeting will be live-streamed and close-captioned for the general public via our website, instructions are posted there.

REGULAR AGENDA

- 1. Master Plan, PUD amendment to:** Establish Pod TC for hotel purposes, establish Pod G for park purposes, and amend existing conditions of approval. *Applicant: Solar Sportsystems, Inc.*

AN AMENDMENT TO THE MULTIPLE LAND USE PLANNED UNIT DEVELOPMENT (MLU/PUD) APPROVAL ON A PARCEL OF LAND CONSISTING OF APPROXIMATELY 89.95 ACRES, MORE OR LESS, LOCATED AT THE NORTHEAST CORNER OF SOUTHERN BOULEVARD AND "B" ROAD, LEGALLY DESCRIBED IN EXHIBIT "A"; PROVIDING FOR THE APPROPRIATE REVISIONS TO THE MLU/PUD CONCEPTUAL MASTER PLAN AND THE CONDITIONS OF APPROVAL.

- 2. Site Plan approval to:** establish a three (3) story, 81-room hotel on Pod TC. *Applicant: Solar Sportsystems, Inc and Groves Hospitality LLC.*

A SITE PLAN APPLICATION TO ACCOMMODATE A THREE (3) STORY, 81-ROOM HOTEL ON POD TC OF THE GROVES TOWN CENTER PLANNED UNIT DEVELOPMENT, CONSISTING OF APPROXIMATELY 2.2 ACRES, GENERALLY LOCATED AT THE NORTHEAST CORNER OF SOUTHERN BOULEVARD AND “B” ROAD, MORE SPECIFICALLY DESCRIBED IN EXHIBIT “A”; SUBMITTED BY GROVES HOSPITALITY, LLC FOR LAND OWNED BY SOLAR SPORTSYSTEMS, INC.

3. **Site Plan approval to:** establish a public park, to be utilized by the Town, on Pod G. Applicant: Solar Sportsystems, Inc. and Loxahatchee Equestrian Partners, LLC

A SITE PLAN APPLICATION TO ACCOMMODATE A PLANNED OPEN SPACE WITHIN POD G OF THE GROVES TOWN CENTER PLANNED UNIT DEVELOPMENT, CONSISTING OF APPROXIMATELY 5.5 ACES OF LAND OWNED BY SOLAR SPORTSYSTEMS, INC, GENERALLY LOCATED AT THE NORTHEAST CORNER OF SOUTHERN BOULEVARD AND “B” ROAD, MORE SPECIFICALLY DESCRIBED IN EXHIBIT “A”.

COMMITTEE MEMBER COMMENTS

CONFIRM NEXT MEETING DATE

ADJOURNMENT

TOWN OF LOXAHATCHEE GROVES

155 F Road Loxahatchee Groves, FL 33470



AGENDA MEMO

TO: Town of Loxahatchee Groves, Planning and Zoning Board

FROM: Kaitlyn Forbes, AICP, CNU-A, Planning and Zoning Department

DATE: December 11, 2024

SUBJECT: Groves at Town Center

Background:

The 90 +/- acre Groves Town Center PUD, including a Statement of Use, Conceptual Master Plan and Conditions of Approval was approved by the Town Council (Ordinance 2013-010). Revisions to the PUD were most recently approved by the Town Council (Ordinance 2019-08).

Additional revisions to the PUD (i.e. PUD Amendment) require approval by the Town Council. The Applicant proposes a comprehensive plan text amendment, master plan amendment (rezoning), and a site plan for a proposed hotel use, and site plan for a public park. The comprehensive plan text amendment will be considered by the Town Council on December 3, 2024 and modifies permitted uses to accommodate the proposed hotel use. The master plan amendment (rezoning) revises the location of the public park from Pod TC to Pod G, accommodating a hotel use on pod TC, and modifies previous conditions of approval. The two site plans provide design details for an 81-room hotel (3-stories) and a public park for use by the Town.

The applicant was previously before the Planning and Zoning Board on July 22, 2024, and August 29, 2024. The applicant submitted revised drawings for consideration before the August 29, 2024. Changes at that time included the following:

- Revised hotel elevations to reduce the proposed building height to 40-feet to the roof deck and 52-feet to the tallest point of the building. A waiver continued to be necessary for the building height.
- Revised site plan for the proposed public park to include three (3) new concrete pads with benches for seating near the wetland area. The intent was to provide a viewing area for the wetland for park visitors to utilize. Additional landscape would be provided in these areas, if the benches are desired.

- The applicant continued to offer the removal of the proposed parking area fence as an alternative design option.
- A proposed directional/wayfinding signage plan to route traffic to the most effective ingress/egress points and adjacent streets. The intent was to address congestion concerns at the B Road and Avocado Rd. intersection by diverting traffic to newer access options such as the roundabout along Southern Blvd.
- Revised comprehensive plan text amendment to special policy 1.15.2 to modify the proposed revision to the commercial development location standards.
- Separately, the applicant temporarily revised traffic circulation within the Groves at Town Center to modify Avocado Road to be an ingress-only access point from B Road. As such, out-bound traffic, leaving the Town Center, was routed north to Tangerine Road to make a left- or right-hand movements out of the site. The intent was to determine the effectiveness of limiting the number of automobiles making conflicting maneuvers on either side of B Road at the Avocado Road intersection. Circulation concerns were noted at this intersection based on the volume of traffic on-site and across the street at the Publix Plaza. Notable improvements were seen during this temporary analysis. As such, permanent improvements within B Road were agreed to and are recommended conditions of approval relating to the rezoning application (master plan amendment).

Since the September 2024 Town Council meeting, the applicant was directed back to the Planning and Zoning Board for further review. The applicant has since submitted further refined plans to reduce the number of waivers requested and address noted concerns. Revised drawings are attached for reference. Modifications for consideration include the following:

- Reduced number of hotel rooms to 81 rooms.
- Reduced hotel building height to comply with district standards, eliminating need for waiver.
- Reduced number of waivers requested. Waivers continue to include deviations relating to reduced size of required parking spaces (hotel), provisions for security lighting (hotel), and a park parcel larger than code maximum of five (5) acres.

To address and improve circulation within B Road, adjacent to the subject site, the applicant proffers the following improvements:

- Installation of “pork chop” median within B Road, at intersection of Avocado Avenue and B Road. Design to include flexible delineators or similar, and to be approved by Town prior to installation.
- Installation of “Don’t block the box” painting at same intersection.
- Installation of wayfinding signage, as noted above. Applicant has ordered signage and anticipates installation prior to the end of the year.

Recommendations: Staff recommends approval of the master plan amendment (rezoning), hotel site plan, and public park site plan subject to conditions of approval noted below:

ENGINEERING CONDITIONS OF APPROVAL:

A. CIVIL PLANS: 8 sheets, revised 4-15-24, signed and sealed 10-1-24, by EA3 Civil Engineering, Inc.

1. Update exfiltration calculations per the revised length.
2. Clearly label all swales.
3. Provide control structure detail.

B. DRAINAGE CALCULATIONS: 35 sheets, dated September 2024, by EA3 Civil Engineering, Inc.

1. Update exfiltration calculations per the revised length.
2. Include all swales from the Sheet C200 in the proposed stage storage table.
3. Cascade structure information does not appear to match Sheet C200.

C. Other

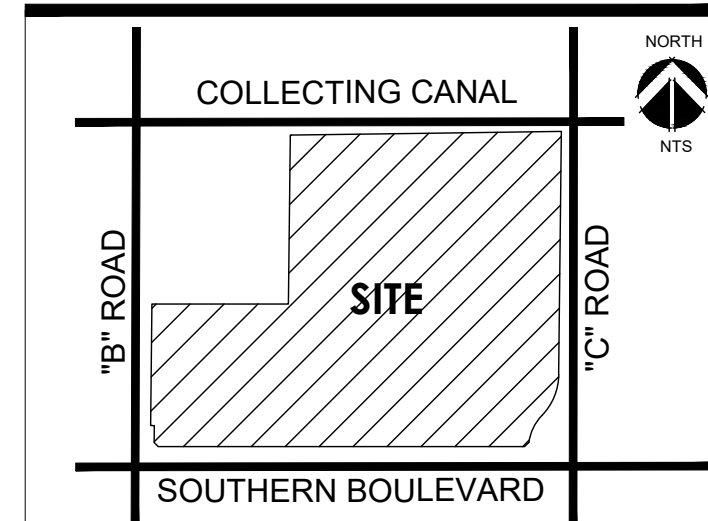
1. Provide permits from applicable agencies including, but not limited to, SFWMD, PBCWUD, Palm Beach Fire Rescue, etc.
2. Additional comments may be during Site Development review.

PLANNING AND ZONING CONDITIONS OF APPROVAL:

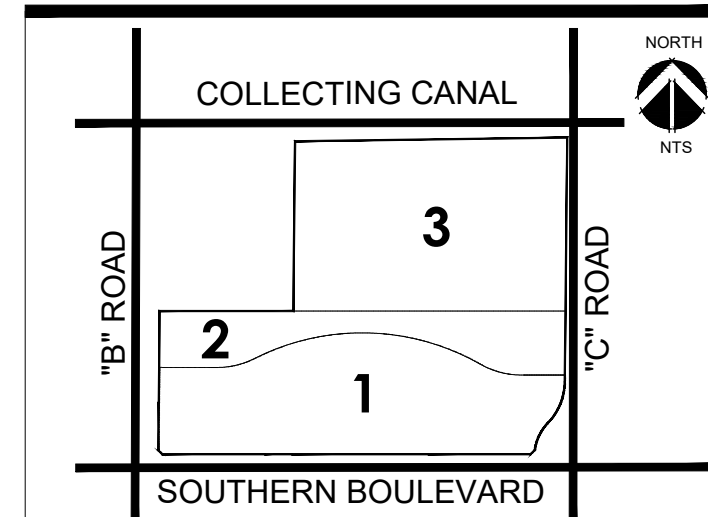
- A. Conditions of approval relating to B Road right-of-way improvements, timing, and funding will be prepared and presented to Town Council for consideration, in coordination with the Town Attorney's Office, and relating to the Master Plan Amendment.



Location Map



Parcel Key Map



NOTES:

1. THIS PLAN IS BASED ON SURVEY INFORMATION BY CAULFIELD & WHEELER DATED AUGUST 12 2019.
 2. THE INTENT OF THIS MASTER PLAN IS TO REFLECT DEVELOPMENT PODS PURSUANT TO THE COMPREHENSIVE PLAN DESIGNATIONS. PRIOR TO ANY DEVELOPMENT, EACH POD WILL REQUIRE SITE PLAN APPROVAL BY THE TOWN OF LOXAHATCHEE GROVES.
 3. ALL FUTURE DEVELOPMENT WILL BE IN COMPLIANCE WITH THE TOWN OF LOXAHATCHEE GROVES RURAL VISTA GUIDELINES TO BE CONFIRMED AT TIME OF SITE PLAN APPROVAL FOR EACH POD.
 4. "COMMON AREA" CONSISTS OF ROADWAY, LANDSCAPE BUFFERS, AND CONSERVATION EASEMENT TRACTS.
 5. PARCEL AREA BOUNDARIES ARE FROM PROPERTY LINES, CENTER LINE OF TANGERINE DRIVE AND THE EXTENSION OF THE NORTHWEST PROPERTY LINE TO THE EAST PROPERTY LINE. POD AREA BOUNDARIES EXCLUDE ROAD EASEMENTS, BUFFERS AND OPEN SPACE COMMON AREA. PARCEL AND POD AREAS ARE APPROXIMATE AND SUBJECT TO FINAL LEGAL DESCRIPTION AND PLATTING. ACCESS LOCATIONS TO PODS AND ROADWAY DESIGN ARE CONCEPTUAL AND SUBJECT TO BEING ADJUSTED AT TIME OF FINAL DESIGN AND PERMITTING.
- * BECAUSE THESE USES ARE MEDICAL AND DENTAL OFFICES, THEY COUNT AGAINST THE PARCEL 2 MAXIMUM ALLOWABLE DEVELOPMENT.
 ** THE TOTALS REFLECT THAT THE DENTAL OFFICE IN POD B4 AND MEDICAL OFFICE IN POD C COUNT AGAINST THE PARCEL 2 MAXIMUM ALLOWABLE DEVELOPMENT.

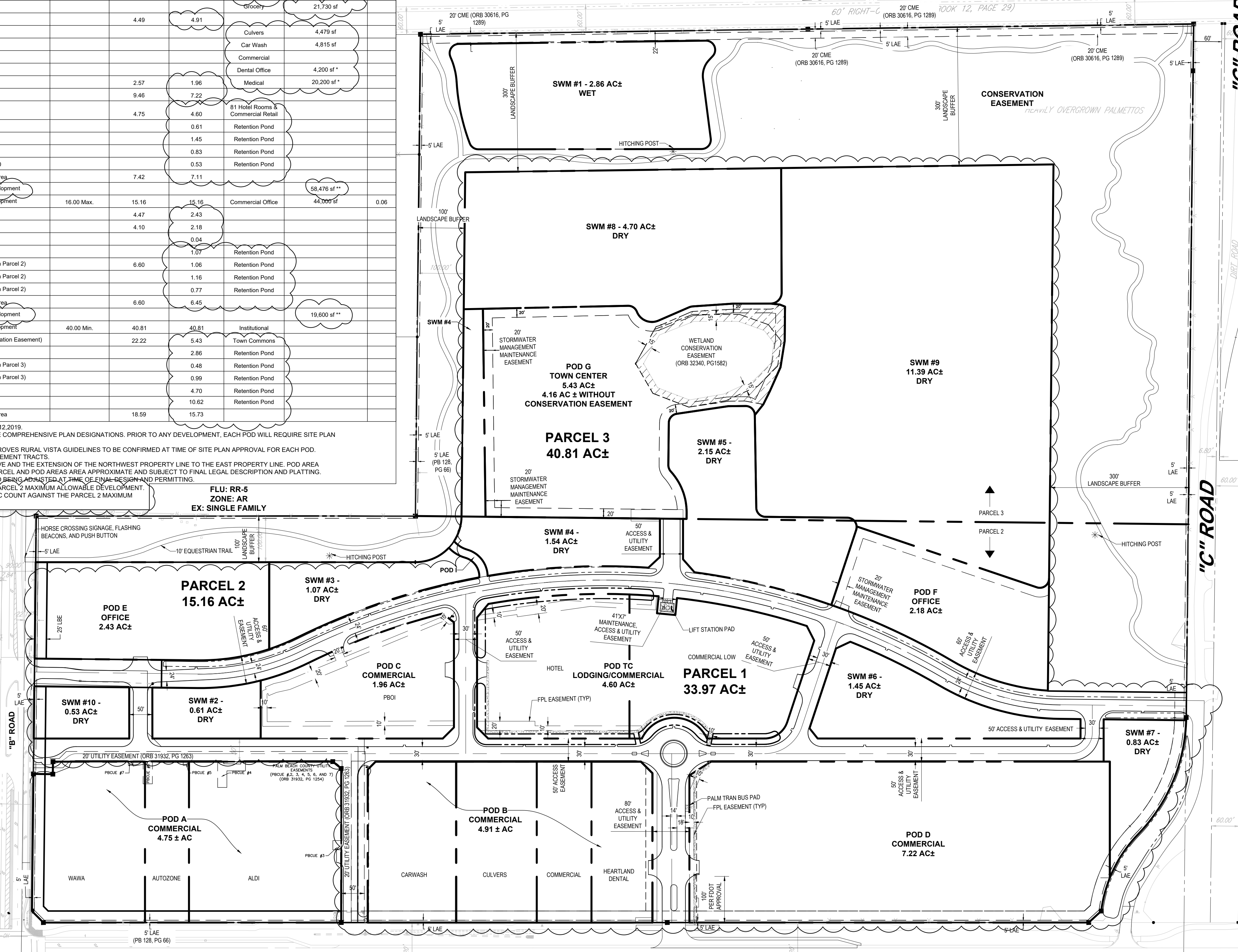
Site Data	SITE AREA (Ac)			DEVELOPMENT		
	Comp Plan Policy 1.15.2(1)	Approved Master Plan	Proposed Master Plan	Use	Max. Development	FAR
Gross Site Area	90.34	89.95	89.95			
ROW Dedication	0	0.383	0			
Net Site Area	90.34	89.95	89.95			
Parcel 1	34.34 Max.	33.97	33.97	Commercial Retail	103,000 sf & 81 Hotel Rooms	0.07
Parcel 2	16.00 Max.	15.17	15.17	Commercial Office	44,000 sf	0.06
Parcel 3		40.81	40.81	Institutional		
Parcel Breakdown						
Parcel 1 Development	34.34 Max.	33.97	33.97	Commercial Retail	103,000 sf	0.07
Pod A		4.75	4.75			
Pod A1				Gas Station	6,119 sf	
Pod A2				AutoZone	7,381 sf	
Pod A3				Grocery	21,730 sf	
Pod B	4.49	4.91	4.91			
Pod B1				Culvers	4,479 sf	
Pod B2				Car Wash	4,815 sf	
Pod B3				Commercial		
Pod B4				Dental Office	4,200 sf *	
Pod C	2.57	1.96	1.96	Medical	20,200 sf *	
Pod D	9.46	7.22	7.22			
Pod TC	4.75	4.60	4.60	81 Hotel Rooms & Commercial Retail		
SWM #2				Retention Pond		
SWM #6				Retention Pond		
SWM #7				Retention Pond		
SWM #10				Retention Pond		
Common Area		7.42	7.11			
Remaining Development					58,476 sf **	
Parcel 2 Development	16.00 Max.	15.16	15.16	Commercial Office	44,000 sf	0.06
Pod E		4.47	2.43			
Pod F		4.10	2.18			
Pod I			0.04			
SWM #3			1.07	Retention Pond		
SWM #4 (portion in Parcel 2)		6.60	1.06	Retention Pond		
SWM #5 (portion in Parcel 2)			1.16	Retention Pond		
SWM #9 (portion in Parcel 2)			0.77	Retention Pond		
Common Area		6.60	6.45			
Remaining Development					19,600 sf **	
Parcel 3 Development	40.00 Min.	40.81	40.81	Institutional		
Pod G (Includes Conservation Easement)		22.22	5.43	Town Commons		
SWM #1			2.86	Retention Pond		
SWM #4 (portion in Parcel 3)			0.48	Retention Pond		
SWM #5 (portion in Parcel 3)			0.99	Retention Pond		
SWM #8			4.70	Retention Pond		
SWM #9			10.62	Retention Pond		
Common Area		18.59	15.73			

WETLAND W-KAA-1B

WETLAND AREA: 0.82 ACRES = 35,869 SF
 WETLAND PERIMETER: 718 FT
 PROPOSED BUFFER AREA: 19,755 SF
 BUFFER AVERAGE: 19,755 SF / 718 FT = 27.51 FT

FLU: RR-5
 ZONE: AR
 EX: EQUESTRIAN, SINGLE FAMILY

**COLLECTING CANAL
 LOXAHATCHEE GROVES**



FLU: COMMERCIAL LOW
 ZONE: CL/PUD
 EX: COMMERCIAL

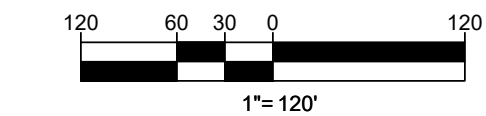
FLU: RR-5
 ZONE: AR
 EX: SINGLE FAMILY

FLU: RR-5
 ZONE: AR
 EX: SINGLE-FAMILY

SOUTHERN BLVD./STATE ROAD 80

FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY
 MAP SECTION 93120-2538 (DATED 7/29/86) (ROAD PLAT
 BOOK 2, PAGE 11) (DEED BOOK 1005, PAGE 577) (D.P.B.
 5463, PAGE 1126)

WELLINGTON
 FLU: RESIDENTIAL C & INSTITUTIONAL
 ZONE: AR
 EX: SCHOOL, SINGLE-FAMILY



BOHLER
 CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	SWM BY

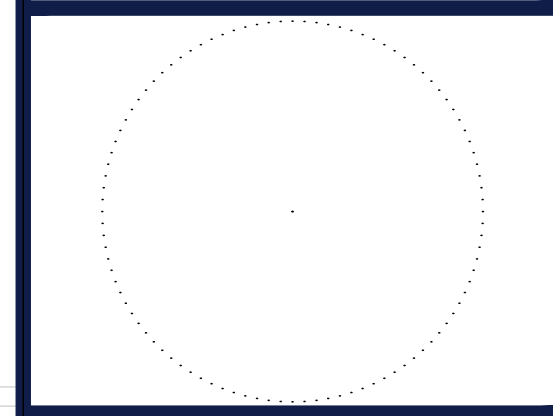
Sunshine811
 ALWAYS CALL 811
 It's fast. It's free. It's the law.

SITE PLAN AMENDMENT

PROJECT No.: FLD200011
 DRAWN BY: AH
 CHECKED BY: SWM
 DATE: 09/28/23
 CAD ID: FLD200011-SPP-NEW-0

PROJECT:
**GROVES TOWN
 CENTER MASTER
 INFRASTRUCTURE**
 FOR
 SOLAR
 SPORTSYSTEM, INC.
 LOCATION OF SITE:
 N.E. CORNER OF SOUTHERN BLVD.
 AND B ROAD
 TOWN OF LOXAHATCHEE GROVES
 PALM BEACH COUNTY, FL
 SEC 31, TWP 43S, RGE 41E

BOHLER
 1 SE 3rd AVENUE
 SUITE 2700
 MIAMI, FLORIDA 33131
 Phone: (786) 681-0800
 FLORIDA BUSINESS CERT. OF AUTH. NO. 30780



**MASTER SITE
 PLAN**

SHEET NUMBER:
EX-1
 ORG. DATE - 10/12/2023

H:\DDP\120011\DRAWINGS\PLAN SET\FLU\RR-5 NEW 4-14-23\TITLE MASTER SITE PLAN



Town of Loxahatchee Groves

155 F Road • Loxahatchee Groves, Florida 33470 • (561) 793-2418 Phone • (561) 793-2420

GENERAL DEVELOPMENT APPLICATION

REQUIRED WITH THE FOLLOWING APPLICATIONS:

✓	Site Plan / Land Development Application	✓	Rezoning / PUD Application
✓	Future Land Use Amendment Application Large Scale ✓ Small Scale (less than 10 acres) <input type="checkbox"/>		Special Exception Application Category A: <input type="checkbox"/> Category B: <input type="checkbox"/>
	Administrative Site Plan Amendment		Plat
	Other		ULDC Text Amendments

I. GENERAL DATA

Project Name:	Groves Town Center PUD
Parcel Control No(s).	<ul style="list-style-type: none"> • 41-41-43-31-12-001-0010 • 41-41-43-31-12-001-0020 • 41-41-43-31-12-001-0030 • 41-41-43-31-12-012-0031 • 41-41-43-31-12-012-0032 • 41-41-43-31-12-012-0033 • 41-41-43-31-13-001-0010 • 41-41-43-31-13-001-0020 • 41-41-43-31-13-002-0020 • 41-41-43-31-13-002-0010 • 41-41-43-31-13-002-0030 • 41-41-43-31-13-004-0000 • 41-41-43-31-13-019-0020 • 41-41-43-31-13-000-0031 • 41-41-43-31-13-000-0032 • 41-41-43-31-13-020-0000 • 41-41-43-31-13-012-0000 • 41-41-43-31-13-019-0010 • 41-41-43-31-13-005-0000 • 41-41-43-31-13-019-0031 • 41-41-43-31-13-019-0032 • 41-41-43-31-13-009-0000 • 41-41-43-31-13-003-0010 • 41-41-43-31-13-003-0020 • 41-41-43-31-13-019-0010 • 41-41-43-31-13-006-0000 • 41-41-43-31-13-007-0000

	<ul style="list-style-type: none"> 41-41-43-31-13-019-0010
Parcel Address:	N/A
Parcel Acreage:	89.953 acres
General Control Number– Assigned by Staff:	

II. SITE DATA

Current Land Use:	<p>Existing Conditions: Commercial; Vacant</p> <p>Approved PUD: 103,000 SF Commercial Low; 44,000 SF of Commercial Low, Professional Office, and Medical Office; 128-bed Assisted Living Facility</p>
Current FLU:	Multiple Land Use (MLU)
Current Zoning:	Multiple Use Planned Development District (MUPD)
Proposed Land Use:	103,000 SF Commercial Low and 81 lodging units; 44,000 SF of Commercial Low, Professional Office, and Medical Office; only Town Commons use allowed in Institutional Land Use.
Proposed FLU:	No change
Proposed Zoning:	No change
Frontage:	Southern Blvd, "B" Road, "C" Road
Plat, Subdivision, Legal Lot of Record:	Groves Town Center PUD, Plat Book 128, Page 66 Groves Town Center PUD Amendment No 1, Plat Book 132, Page 134

III. OWNER INFORMATION

	Owner A	Owner B
Owner's Name:	Loxahatchee Equestrian Partners, LLC	Solar Sportsystems, Inc.
Owner's Street Address:	5730 Corporate Way, Suite 120	250 Delaware Avenue, Law Dept. 12th Floor
City, State, Zip:	West Palm Beach, Florida 33407	Buffalo, New York 14202
Phone Number:	305.755.5825	305.755.5828
E-Mail Address:	Matthew.Barnes@wginc.com	Matthew.Barnes@wginc.com

V. AGENT INFORMATION

Agent Name:	Matthew Barnes
Organization/Company:	WGI, Inc.
Agent's Street Address:	2035 Vista Parkway
City, State, Zip:	West Palm Beach, FL, 33411
Phone Number:	(561) 687-2220 (561) 713-1687 (direct)
E-Mail Address:	Matthew.Barnes@wginc.com
Relationship to Property:	Agent

VI. REQUIRED ATTACHMENTS:

A	Legal Description, Warranty Deed and Parcel Control Numbers
B	Certified and Sealed Survey Dated Within One Year
C	Statement of Use and Justification
D	Applicant's Ownership Affidavit
E	Agent Consent Form (This form is available on the Town's webpage)
F	Applicant's Notice Affidavit and Property appraiser Information List

VII. ADDITIONAL APPLICATION(S) SUBMITTED:

APPLICATION	SUBMITTED (Yes/No)	DATE RECEIVED
Abandonment		
Annexation		
Comprehensive Plan Amendment (Large Scale)	Yes (text amendment)	
Comprehensive Plan Amendment (Small Scale)		
Conditional Use		
Plat		
Site Plan	Yes (Pod TC for hotel)	
Site Plan Amendment		
Category A Special Exception		
Category B Special Exception		
Category C Special Exception		
Special Exception Amendment		
Special Exception – Planned Development		

Zoning Map Change		
Zoning Text Change		
Variance		
Other: PUD Amendment	Yes	

Office Use Area

This/these application(s) does/do not become valid until signed by an authorized representative of the Town of Loxahatchee Groves and all fees and receipt acknowledged below:

Date: _____ Application Number(s): _____

Planning and Zoning Official

Date Application Received for processing _____ or Returned _____

Attachment A
Legal Description, Warranty Deed and PCN's

The applicant is required to provide a legal description, Warranty Deed and a list of all included parcel control numbers (PCNs).

ATTACHMENT A

LEGAL DESCRIPTION

All of the Groves Town Center PUD Amendment No. 1 Plat as recorded in Plat Book 134, Pages 134 – 138 of the Official Records of Palm Beach County. Together with Pod A of the Groves Town Center PUD Plat as recorded in Plat Book 66, Pages 66 – 70 of the Official Records of Palm Beach County,

CFN 20070363085
OR BK 21979 PG 0431
RECORDED 07/30/2007 10:27:31
Palm Beach County, Florida
AMT 10.00
Doc Stamp 0.70
Sharon R. Bock, CLERK & COMPTROLLER
Pgs 0431 - 432; (2pgs)

Item 1.

TRAC A. GARDNER - COUNTY

WC 84

W/C TRI-COUNTY FOR:

RECORD & RETURN TO:

PREPARED BY: ELIZABETH GREATON STEPHANY, Esq.
Greaton and Greaton
P.O. Box 39238
Fort Lauderdale, Florida 33339
Telephone: (954) 561-0313

GRANTOR: WILSON B. GREATON, JR., AS TRUSTEE UNDER THE PROVISIONS
OF AN UNRECORDED TRUST U/A/D 8/08/1989

GRANTEE: LOXAHATCHEE EQUESTRIAN PARTNERS, LLC

QUIT-CLAIM DEED

THIS QUIT CLAIM DEED, executed this 27 day of July, 2007, by WILSON B. GREATON, JR., AS TRUSTEE UNDER THE PROVISIONS OF AN UNRECORDED TRUST U/A/D 8/08/1989, Grantor, to LOXAHATCHEE EQUESTRIAN PARTNERS, LLC, whose post office address is c/o Legal Dept., Delaware North Companies, Inc., 40 Fountain Plaza, Buffalo, NY 14202, Grantee:

WITNESSETH, that the said Grantor, for and in consideration of the sum of Ten and no/100 Dollars (\$10.00) in hand paid by the Grantee for the said Grantee, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said Grantee forever, all the right, title, interest, claim and demand which the said Grantor has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Palm Beach and State of Florida, to-wit:

THE SOUTH 1000 FEET OF TRACT 4, BLOCK I, LOXAHATCHEE GROVES, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 12, PAGE 29; SAID LANDS SITUATE IN PALM BEACH COUNTY, FLORIDA, AND LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF SOUTHERN BOULEVARD (STATE ROAD 80) AS ESTABLISHED BY RIGHT-OF-WAY DEED RECORDED IN OFFICIAL RECORD BOOK 1005, PAGE 577, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA

GRANTOR HEREIN AFFIRMS THAT THE PROPERTY CONVEYED HEREIN IS VACANT LAND AND NOT HIS HOMESTEAD AND THAT HE AND HIS FAMILY RESIDE AT 4510 N.E. 23 AVENUE, FORT LAUDERDALE, FLORIDA 33308.

FOLIO NO. 00-41-43-17-01-804-0030

To Have and to Hold the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said Grantor, either in law or equity, to the only proper use, benefit and behoof of the said Grantee forever.

In Witness Whereof, the said Grantor has signed and sealed these presents the day and year first above written.

Elizabeth Greaton Stephany
ELIZABETH GREATON STEPHANY
Linda Moller
LINDA MOLLER

Wilson B. Greaton, Jr.
WILSON B. GREATON, JR., AS TRUSTEE
UNDER THE PROVISIONS OF AN UNRECORDED
TRUST U/A/D 8/08/1989
P. O. BOX 39238
FORT LAUDERDALE, FL 33339

STATE OF FLORIDA)
) ss.
COUNTY OF BROWARD)

Acknowledged before me this 21 day of July, 2007, by
WILSON B. GREATON, JR., AS TRUSTEE UNDER THE PROVISIONS OF AN
UNRECORDED TRUST U/A/D 8/08/1989, who is personally known to me.

Linda Moller
LINDA MOLLER, Notary Public
State of Florida at Large

My Commission No is:
My Commission Expires:



This is not a certified copy

CFN 20080380819
OR BK 22911 PG 0821
RECORDED 10/17/2008 12:10.44
Palm Beach County, Florida
AMT 10 00
Doc Stamp 0.70
Sharon R. Bock, CLERK & COMPTROLLER
Pg 0821; (1pg)

Prepared by and return to
LAWRENCE M FUCHS

FUCHS AND JONES, P A
590 Royal Palm Beach Blvd
Royal Palm Beach, FL 33411
561-793-0600
File Number 08-158
Will Call No 80

Parcel Identification No 41-41-43-17-01-805-0010

[Space Above This Line For Recording Data]

Corrective Warranty Deed

(STATUTORY FORM SECTION 689 02 F S)

This Indenture made effective the 20th day of June, 2008 between SOUTHERN LOXAHATCHEE GROVES, LLC, a Florida limited liability company whose post office address is 1059 B Road, Loxahatchee, FL 33470 of the County of Palm Beach, State of Florida, grantor*, and SOLAR SPORTSYSTEMS, INC, a New York corporation authorized to do business in the State of Florida whose post office address is 40 Fountain Plaza, Buffalo, NY 14202 of the County of Erie, State of New York, grantee.

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10 00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Palm Beach County, Florida, to-wit

Lot 5, Block "I", Loxahatchee Groves, lying North of State Road 80, according to the plat thereof as recorded in Plat Book 12, Page(s) 29, Public Records of Palm Beach County, Florida, LESS AND EXCEPT that portion for State Road 80, as described in the Order of Taking in O R Book 5463, Page 1126, Public Records of Palm Beach County, Florida

Subject to Restrictions, Reservations and Easements of Record and Ad Valorem Real Property Taxes for 2008 and subsequent years

THIS CORRECTIVE DEED IS TO CORRECT SCRIVENER ERROR OF THE CORPORATE ENTITY TYPE OF THE GRANTEE IN THE ORIGINAL RECORDED WARRANTY DEED AT OFFICIAL RECORD BOOK 22713, PAGE 1486 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA DOCUMENTARY STAMPS WERE PAID AT THE TIME OF THE ORIGINAL RECORDING

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever

* "Grantor" and "Grantee" are used for singular or plural as context requires

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written

Signed, sealed and delivered in our presence

Mariela Santiago
Witness Name Mariela Santiago
Pamela M Jones
Witness Name PAMELA M JONES

SOUTHERN LOXAHATCHEE GROVES, LLC, a Florida limited liability company

By *Sundar Heeraman*
SUNDAR HEERAMAN, Managing Member

(Corporate Seal)

State of Florida
County of Palm Beach

The foregoing instrument was acknowledged before me this 10th day of October, 2008 by SUNDAR HEERAMAN, Managing Member of SOUTHERN LOXAHATCHEE GROVES, LLC, a Florida limited liability company, on behalf of the corporation. He/she is personally known to me or has produced a driver's license as identification

[Notary Seal]

Pamela M. Jones
Notary Public

Printed Name Pamela M. Jones
My Commission Expires Commission # DD418263 Expires May 20, 2009
Bundled Title Plus Insurance Inc. 800-365-7010

Doc Stamps (\$42,000.00)



CFN 20080238950
OR BK 22719 PG 1286
RECORDED 06/24/2008 16:00:18
Palm Beach County, Florida
AMT 6,000,000.00
Doc Stamp 42,000.00
Sharon R. Bock, CLERK & COMPTROLLE
Pgs 1286 - 1287; (2pgs)

Item 1.

THIS INSTRUMENT PREPARED BY AND RETURN TO:
Pat Rylee, CLC
PRODUCERS TITLE SERVICES, LLC
1402 ROYAL PALM BEACH BLVD. BUILDING # 300, SUITE D
ROYAL PALM BEACH, FL 33411
Property Appraisers Parcel Identification (Folio) Numbers: 41-41-43-17-01-806-0010

Space above This Line for Recording Data

THIS WARRANTY DEED, made the 20th day of June, 2008 by WELLINGTON PRESBYTERIAN CHURCH, INC., a Florida not for profit corp., whose post office address is 1000 WELLINGTON TRACE, WELLINGTON, FL 33414 herein called the grantor, to SOLAR SPORTSYSTEMS, INC, A FOREIGN FOR PROFIT CORPORATION, whose post office address is 40 FOUNTAIN PLAZA, BUFFALO, NY 14202, hereinafter called the Grantee:
(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, alien, conveys, releases, conveys and confirms unto the grantee all that certain land situate in PALM BEACH County, State of Florida, viz.:

See Legal Description attached hereto and made a part of hereof known as Exhibit "A"

Subject to covenants, restrictions, conditions and easements of record, if any.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2007.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]
Witness #1 Signature

Pat Rylee
Witness #1 Printed Name

Bonnie L. Taylor
Witness #2 Signature

Bonnie L. Taylor
Witness #2 Printed Name

Wellington Presbyterian Church, Inc.,
A Florida Not For Profit Corporation

[Signature]
R. Greg Smith, President



STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me this 20th day of June, 2008 by R. GREG SMITH, PRESIDENT OF WELLINGTON PRESBYTERIAN CHURCH, INC., who is personally known to me or has produced Drivers license as identification.

SEAL



Bonnie L. Taylor
Notary Public
Bonnie L. Taylor
Printed Notary Name

My Commission Expires

EXHIBIT 'A'

TRACT 6, BLOCK "I", OF LOXAHATCHEE GROVES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 12, PAGE 29, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LESS AND EXCEPT:

THAT PORTION FOR STATE ROAD 80, AS DESCRIBED IN ORDER OF TAKING RECORDED IN OFFICIAL RECORD BOOK 5463, PAGE 1126, AND THAT PORTION OF THE RIGHT-OF-WAY DEED RECORDED IN DEED BOOK 1005, PAGE 577, ALL OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

AND

THAT PORTION OF TRACT 6, BLOCK "I", RE-CONVEYED TO GASPAR MORELLO AND ELIZABETH MORELLO, HUSBAND AND WIFE, IN QUIT-CLAIM DEED RECORDED JANUARY 25, 2002, IN OFFICIAL RECORD BOOK 13344, PAGE 953, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE INTERSECTION OF THE PLATTED EAST LINE OF TRACT 6, BLOCK "I" ACCORDING TO THE PLAT OF LOXAHATCHEE GROVES, AS RECORDED IN PLAT BOOK 12, PAGE 29, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, AND THE NORTHERLY RIGHT-OF-WAY LINE OF SOUTHERN BOULEVARD (STATE ROAD 80) ACCORDING TO THE FDOT RIGHT-OF-WAY MAP, SECTION 93120.3528, SHEET 5 OF 13, DATED 1986, THENCE, NORTH 88° 26' 32" WEST, ALONG THE NORTHERLY RIGHT-OF-WAY OF SOUTHERN BOULEVARD, 66.16 FEET; THENCE, NORTH 39° 58' 31" WEST, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF "C" ROAD, ACCORDING TO THE FDOT RIGHT-OF-WAY MAP, 33.14 FEET, TO A POINT OF CURVATURE; THENCE, NORTHERLY ALONG THE ARC OF A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 202.00 FEET AND A CENTRAL ANGLE OF 46° 54' 52", AN ARC LENGTH OF 165.40 FEET TO THE PLATTED EASTERLY LINE OF TRACT 6, BLOCK "I"; THENCE, SOUTH 02° 09' 47" WEST, ALONG THE PLATTED EAST LINE OF TRACT 6, BLOCK "I", 158.23 FEET TO THE POINT OF BEGINNING.

PCN List

- 41-41-43-31-12-001-0010
- 41-41-43-31-12-001-0020
- 41-41-43-31-12-001-0030
- 41-41-43-31-12-012-0031
- 41-41-43-31-12-012-0032
- 41-41-43-31-12-012-0033
- 41-41-43-31-13-001-0010
- 41-41-43-31-13-001-0020
- 41-41-43-31-13-002-0020
- 41-41-43-31-13-002-0010
- 41-41-43-31-13-002-0030
- 41-41-43-31-13-004-0000
- 41-41-43-31-13-019-0020
- 41-41-43-31-13-000-0031
- 41-41-43-31-13-000-0032
- 41-41-43-31-13-020-0000
- 41-41-43-31-13-012-0000
- 41-41-43-31-13-019-0010
- 41-41-43-31-13-005-0000
- 41-41-43-31-13-019-0031
- 41-41-43-31-13-019-0032
- 41-41-43-31-13-009-0000
- 41-41-43-31-13-003-0010
- 41-41-43-31-13-003-0020
- 41-41-43-31-13-019-0010
- 41-41-43-31-13-006-0000
- 41-41-43-31-13-007-0000
- 41-41-43-31-13-019-0010

**Attachment B.
Certified and Sealed Survey Dated Within Two Years**

Copy of most recent recorded plat is substituted for survey

20210437289
134

GROVES TOWN CENTER PUD AMENDMENT NO. 1

BEING A REPLAY OF GROVES TOWN CENTER PUD, LESS TRACT P00-A AND LESS TRACT L83, ACCORDING TO THE PLAT THEREOF, Lying in SECTION 31, TOWNSHIP 43 SOUTH, RANGE 41 EAST, THE TOWN OF LOXAHATCHEE GROVES, PALM BEACH COUNTY, FLORIDA

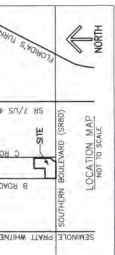


TABLE 1.1 - PARCELS WITHIN THE PUD

TRACT	AREA (AC)	OWNER
P00-A	0.15	DEVELOPER
L83	0.15	DEVELOPER
L84	0.15	DEVELOPER
L85	0.15	DEVELOPER
L86	0.15	DEVELOPER
L87	0.15	DEVELOPER
L88	0.15	DEVELOPER
L89	0.15	DEVELOPER
L90	0.15	DEVELOPER
L91	0.15	DEVELOPER
L92	0.15	DEVELOPER
L93	0.15	DEVELOPER
L94	0.15	DEVELOPER
L95	0.15	DEVELOPER
L96	0.15	DEVELOPER
L97	0.15	DEVELOPER
L98	0.15	DEVELOPER
L99	0.15	DEVELOPER
L100	0.15	DEVELOPER

THIS INSTRUMENT PREPARED BY **CAULFIELD GRID WHEELER INC.**, 3201-A WEST PALMETTO PARK ROAD, SUITE 100A, BOCA RATON, FLORIDA 33433 (561)582-1891

REMINING SURVEYOR

DATE OF PALM BEACH COUNTY OF PALM BEACH, FLORIDA

THIS IS A CORRECTED INSTRUMENT PREPARED BY THE SURVEYOR IN ACCORDANCE WITH THE PROVISIONS OF THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 119, FLORIDA STATUTES. THE SURVEYOR HAS REVIEWED THIS INSTRUMENT AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE ACT.

BY **Walter D. Brierley** DATE: 9/14/2021

PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATION NO. 5991

TITLE CERTIFICATION:

A SEARCH OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, HAS REVEALED THAT THE INSTRUMENT DESCRIBED HEREIN IS THE FIRST INSTRUMENT OF RECORD THAT AFFECTS THE PARCELS DESCRIBED IN THE INSTRUMENT.

SURETY NOTES:

THE SURETY COMPANY HAS REVIEWED THE INSTRUMENT AND HAS DETERMINED THAT THE INSTRUMENT IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 119, FLORIDA STATUTES. THE SURETY COMPANY HAS ISSUED THIS INSTRUMENT WITH A SURETY BOND TO PROTECT THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

ACKNOWLEDGMENT:

WE, THE UNDERSIGNED, HEREBY CERTIFY THAT THE INSTRUMENT DESCRIBED HEREIN WAS PREPARED BY THE SURVEYOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 119, FLORIDA STATUTES. WE, THE UNDERSIGNED, HAVE REVIEWED THIS INSTRUMENT AND HAVE DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE ACT.

COMMISSIONER'S CERTIFICATE:

THE COMMISSIONER OF THE PALM BEACH COUNTY BOARD OF COUNTY COMMISSIONERS HAS REVIEWED THIS INSTRUMENT AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 119, FLORIDA STATUTES.

RECORDING:

THIS INSTRUMENT IS BEING RECORDED FOR THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. THE RECORDING FEE IS \$10.00 PER PAGE.

DEED:

THE PARTIES TO THIS INSTRUMENT HAVE AGREED TO RECORD THIS INSTRUMENT FOR THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. THE RECORDING FEE IS \$10.00 PER PAGE.

APPROVALS:

THIS INSTRUMENT HAS BEEN APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF PALM BEACH COUNTY, FLORIDA. THE APPROVAL IS VALID FOR A PERIOD OF 180 DAYS FROM THE DATE OF THE MEETING.

NOTARIES:

THE INSTRUMENT HAS BEEN NOTARIZED BY THE NOTARIES LISTED BELOW. THE NOTARIES HAVE REVIEWED THIS INSTRUMENT AND HAVE DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 119, FLORIDA STATUTES.

COMMISSIONER'S CERTIFICATE:

THE COMMISSIONER OF THE PALM BEACH COUNTY BOARD OF COUNTY COMMISSIONERS HAS REVIEWED THIS INSTRUMENT AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 119, FLORIDA STATUTES.

ACKNOWLEDGMENT:

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COMMISSIONER'S CERTIFICATE:

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RECORDING:

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DEED:

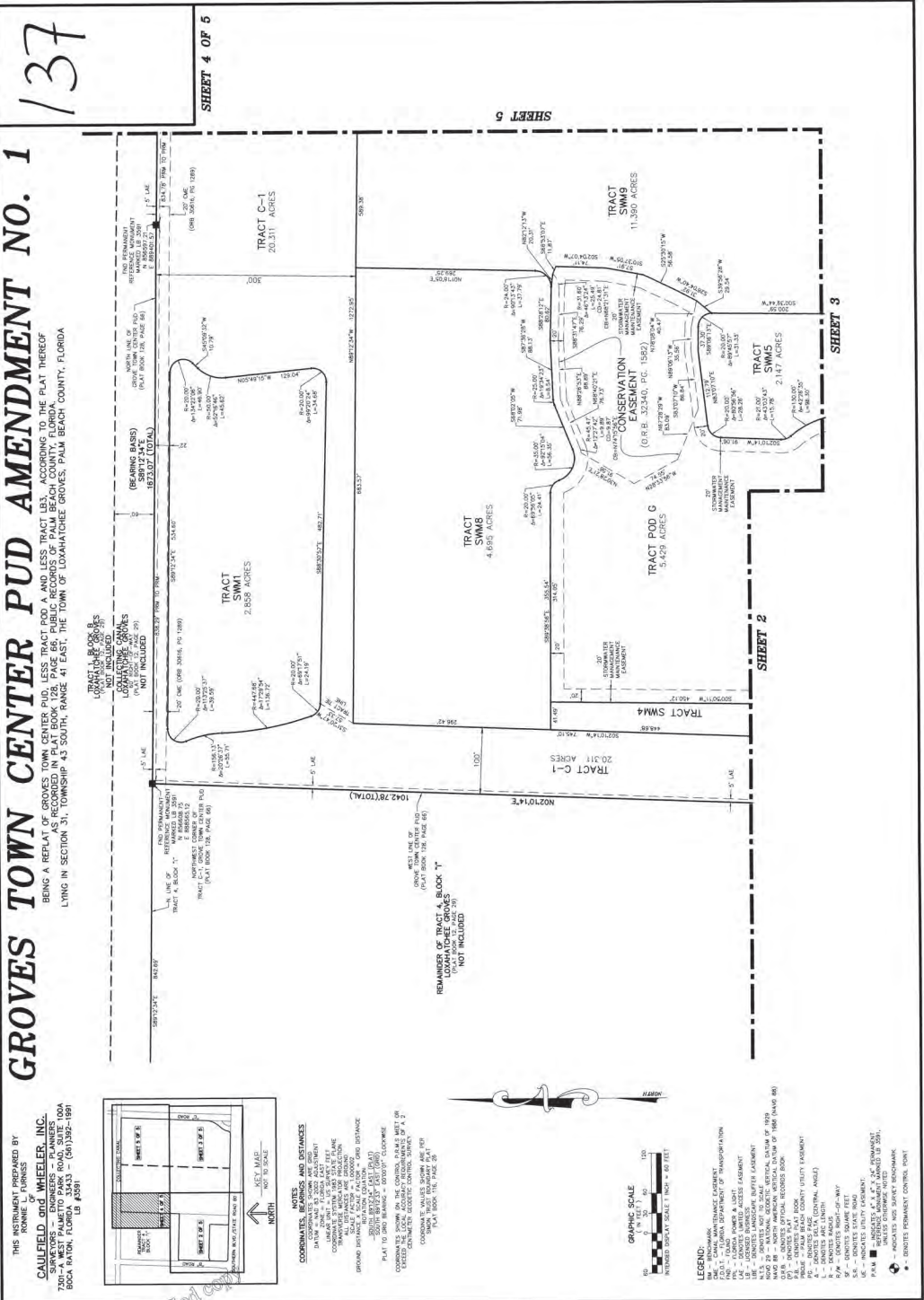
THE PARTIES TO THIS INSTRUMENT HAVE AGREED TO RECORD THIS INSTRUMENT FOR THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. THE RECORDING FEE IS \$10.00 PER PAGE.

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NOTARIES:

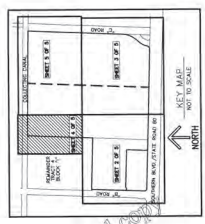
THE INSTRUMENT HAS BEEN NOTARIZED BY THE NOTARIES LISTED BELOW. THE NOTARIES HAVE REVIEWED THIS INSTRUMENT AND HAVE DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 119, FLORIDA STATUTES.



GROVES TOWN CENTER PUD AMENDMENT NO. 1

BEING A REPLAT OF GROVES TOWN CENTER PUD, LESS TRACT POD A AND LESS TRACT LB3, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 128, PAGE 89, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING IN SECTION 31, TOWNSHIP 43 SOUTH, RANGE 41 EAST, THE TOWN OF LOXAHATCHEE GROVES, PALM BEACH COUNTY, FLORIDA

THIS INSTRUMENT PREPARED BY
RONNIE L. FURNISS
CAULFIELD and WHEELER, INC.
 SURVEYORS - ENGINEERS - PLANNERS
 1000 BOCA RATON, FLORIDA 33433 - (561)392-1891
 LB #391



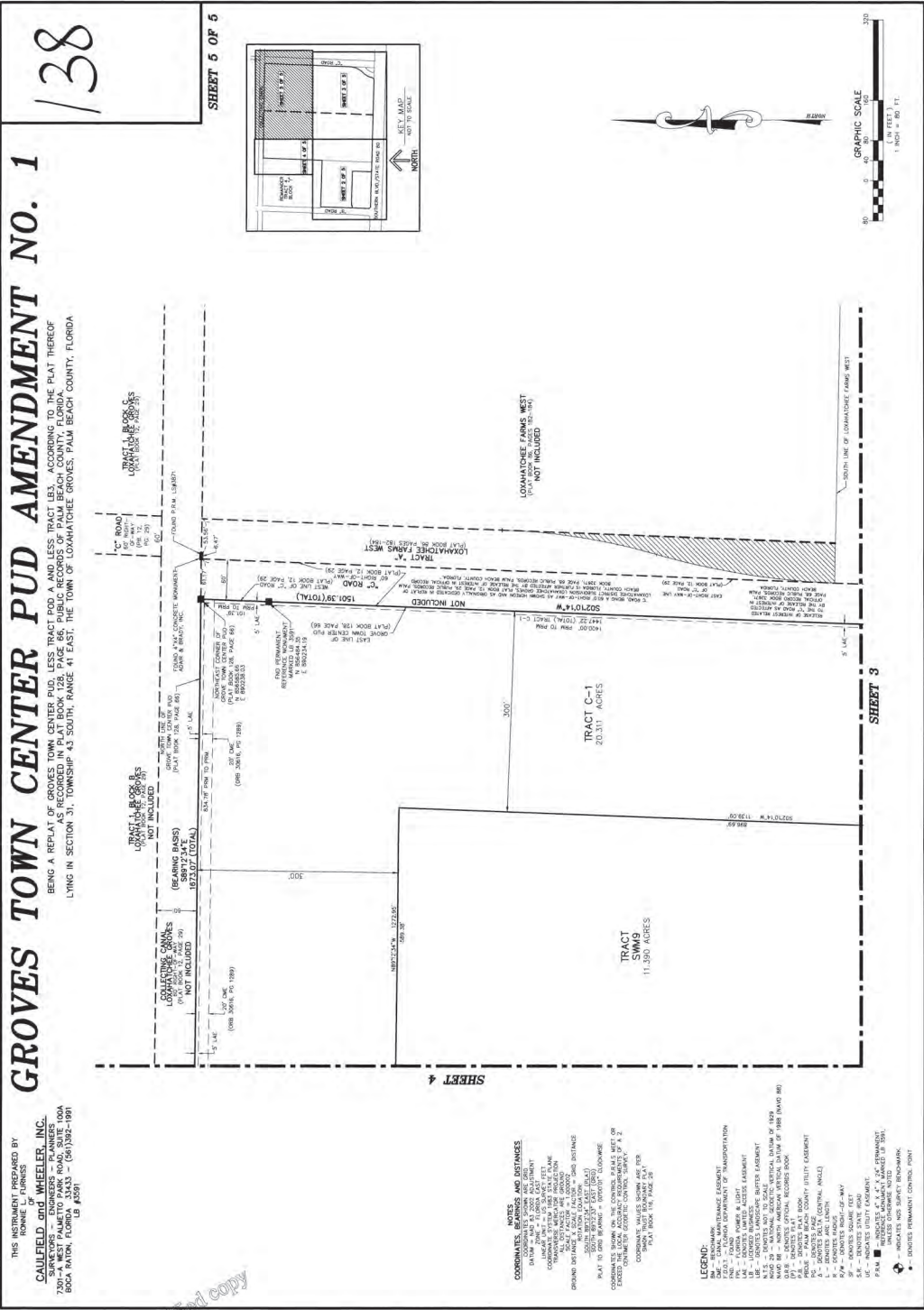
COORDINATES, BEARINGS AND DISTANCES
 ALL COORDINATES ARE IN NAD 83
 ALL BEARINGS ARE TRUE
 ALL DISTANCES ARE IN FEET
 CURVED BEARINGS AND DISTANCES ARE FOR THE CENTERLINE OF THE CURVED BEARING AND DISTANCE
 PLAT TO 2000 BEARING - GEODETIC CURVATURE
 COORDINATE SHOWS THE CORRECT PLANS METRIC OR ENGLISH UNITS
 UNLESS OTHERWISE NOTED
 COMPANY: TERRACON SURVEYING, INC.
 PLAT BOOK, THE PAGE IS

REMARKS
 THIS INSTRUMENT IS A REPLAT OF GROVES TOWN CENTER PUD, LESS TRACT POD A AND LESS TRACT LB3, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 128, PAGE 89, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING IN SECTION 31, TOWNSHIP 43 SOUTH, RANGE 41 EAST, THE TOWN OF LOXAHATCHEE GROVES, PALM BEACH COUNTY, FLORIDA.

LEGEND:
 D.M. - CANAL MAINTENANCE EASEMENT
 F.M. - FLOOD DAMAGE AND LIGHT TRANSPORTATION
 L.M. - LOT MAINTENANCE EASEMENT
 U.M. - UTILITY MAINTENANCE EASEMENT
 S.M. - SERVICE MAINTENANCE EASEMENT
 P.M. - PUBLIC MAINTENANCE EASEMENT
 G.R.B. - GROVES TOWN CENTER PUD (G.R.B. 32,340, P.C. 1982)
 U.E. - UTILITY EASEMENT
 C.E. - CONSERVATION EASEMENT
 S.E. - SERVICE EASEMENT
 S.F. - SERVICE SQUARE FEET
 S.S. - SERVICE STATE ROAD
 P.M. - PUBLIC MAINTENANCE EASEMENT
 U.M. - UTILITY MAINTENANCE EASEMENT
 S.M. - SERVICE MAINTENANCE EASEMENT
 L.M. - LOT MAINTENANCE EASEMENT
 F.M. - FLOOD DAMAGE AND LIGHT TRANSPORTATION
 D.M. - CANAL MAINTENANCE EASEMENT

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SHEET 4 OF 5



ATTACHMENT C

STATEMENT OF USE GROVES TOWN CENTER PUD

The proposed Conceptual Master Plan, same as the approved Conceptual Master Plan, establishes a commercial center along Southern Boulevard, providing convenient shopping and access to professional services to the Town's residents. It is designed to complement the rural character of the area and to encourage economic development and job creation. The Conceptual Master Plan is consistent with and implements the Town's approval of Applicant's previous request for a Large Scale Land Use Amendment for the subject property (Ordinance Number 2011-017), which amended the site's Future Land Use designation from Rural Residential to Multiple Land Use, and the most recent PUD modification approved via Ordinance 2019-08.

DEVELOPMENT PROGRAM

Groves Town Center PUD was first approved in 2013 per Ord. 2013-010 following a future land use amendment and rezoning. Two amendments have since been approved in 2018 per Ord. 2018-08 and in 2019 per Ord. 2019-08. The Groves Town Center PUD has been approved for a maximum of 103,000 square feet of commercial low, 44,000 square feet of commercial low professional office and medical office, a 128-bed congregate living facility and a Town Commons use.

The impetus for the requested change to the PUD Master Plan is a shared desire by the Applicant and the Town to remove the congregate living facility land use and allow a lodging use and simultaneously move the Town Commons use within the Master Plan to Pod G, which is the Pod that the congregate living facility is currently allowed on. Market conditions have changed since the PUD was first contemplated in 2011 and it no longer makes economic sense to build a congregate living facility while at the same time the demand for lodging along Southern Blvd in the Town has increased. Furthermore, the location of the proposed lodging use makes more sense in the TC Pod, as opposed to Pod G, which is closer to the existing residential neighborhood on the north side of Collecting Canal Road. As demonstrated on the enclosed map of hotels, the closest hotel to the Town is the Royal Inn Hotel (rated as a 2-star hotel by Google) which is approximately 3.5 miles away to the east. There are only nine hotels west of or adjacent to the Turnpike between Okeechobee Blvd and Lake Worth Road. There is a strong need for a hotel in the western reaches of the County.

The proposed swap of the congregate living facility land use for a lodging land use requires a Text Amendment to Special Policy 1.15.2 of the Future Land Use Element of the Comprehensive Plan because Special Policy 1.15.2 specifically enumerates that the Institutional Land Use category only allows a 128-bed congregate living facility and lodging uses are not mentioned. The other uses allowed in the PUD are not changing.

The proposed Master Plan is still divided into commercial, office and institutional pods consistent with Special Policy 1.15.2 and consistent with the provisions of the Town's Planned Unit Development Ordinance. It provides for interconnectivity among the various parcels within the site.

The other aspects of the PUD Conceptual Master Plan that were previously approved are not changing with this proposed PUD amendment. In other words, the configuration of the PUD Conceptual Master Plan in terms of the development pods and roads remains the same as the previously approved Conceptual Master Plan and Plat. The Conceptual Master Plan provides for natural areas, open space and landscape buffers that achieve the Town's Objectives and Policies and provide consistency with the Town's Rural Vista Guidelines. The Conceptual Master Plan maintains a twenty-five (25) foot wide landscape buffer adjacent to Southern Boulevard and it maintains the three hundred (300) foot buffer predominantly along the northern and eastern boundaries of the site and one hundred (100) foot buffer abutting the western and northern boundary. As per the previously approved site plan for the equestrian trail (Resolution 2018-84) a ten (10) foot wide equestrian trail has been constructed within the one hundred (100) foot and three hundred (300) foot buffers.

A site plan for the Town Commons use on Pod G has also been submitted. Parking for the Town Commons is proposed to occur on stabilized grass or gravel areas. The revised Master Plan provides a connection from the equestrian trail to the Town Commons so that people could ride their horses to events in the Town Commons.

Same as before, each proposed Pod within the project will be subject to individual site plan approval processes for individual users, allowing the Applicant and the Town to achieve further compliance with the Town's Rural Vista Guidelines and Land Development Regulations. This will assure that the appropriate setbacks, buffers, building designs, architectural treatments, pedestrian amenities, and other such features are incorporated within the site to further preserve, promote and reflect the Town's rural character.

The Applicant acknowledges that the project is subject to the permitting requirements of the Town's Native Tree Preservation, Soil Stabilization and Invasive Exotic Removal Ordinance and intends, to the fullest extent possible, to plan the project around the existing tree canopy, which shall preserve the natural beauty of the existing eco-system, consistent with the Town's objectives and the Rural Vista Guidelines.

The total proposed floor area of the uses in the proposed Conceptual Master Plan is the same as the approved Master Plan, which is 103,000 square feet of commercial low retail and 44,000 square feet of commercial low professional and medical office.

Nothing in the proposed revisions to the Conceptual Master Plan affects what was previously approved for Pod A via Resolution 2018-83.

Existing Uses of Adjacent Lands

To the south of the Groves Town Center is property within the Village of Wellington that is used as an elementary school and single-family residential.

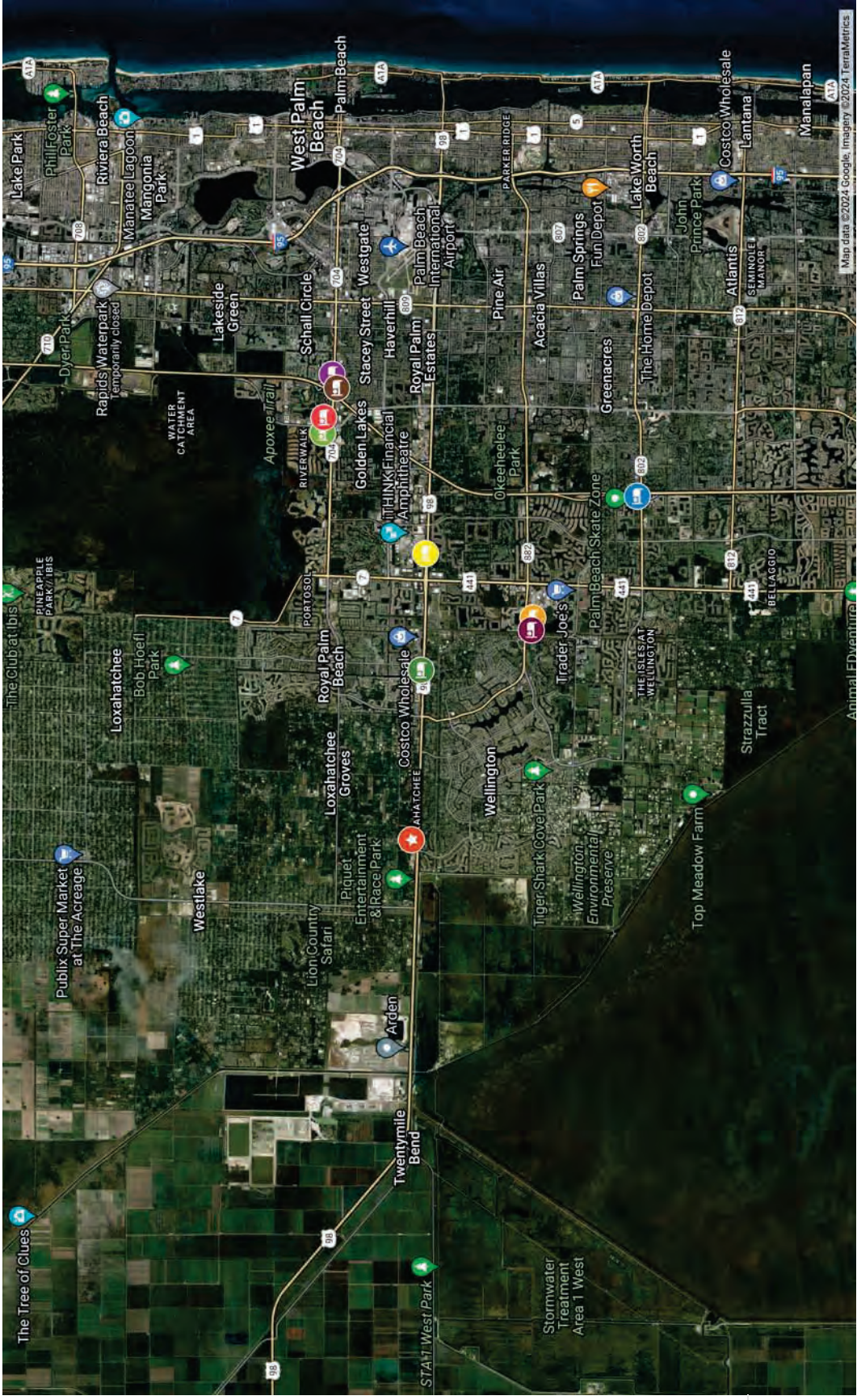
To the west of the Groves Town Center, on the west side of B Road is a shopping center and on the east side of B Road are three properties whose uses range from Ag Equestrian to Miscellaneous Ag.

To the north of the Groves Town Center are six single-family homes.

To the east of the Groves Town Center is one single-family home and numerous vacant, undeveloped parcels.

Hotels Near Loxahatchee FL

- Hotels**
- (122 Rooms)
Hampton Inn & Suites Wellington
- (104 Rooms)
Hampton Inn West Palm Beach-Lake Worth-Tumpike
- (107 Rooms)
Fairfield Inn & Suites by Marriott Wellington-West Palm Beach
- (60 Rooms)
Pioneer Inn
- (103 Rooms)
Royal Inn Hotel
- (125 Rooms)
Fairfield Inn & Suites by Marriott West Palm Beach
- (122 Rooms)
WoodSpring Suites West Palm Beach
- (114 Rooms)
La Quinta Inn by Wyndham West Palm Beach - Florida Tumpike
- (110 Rooms)
Hampton Inn West Palm Beach Florida Tumpike
- (91 Rooms)
Groves Town Center Hotel



**JUSTIFICATION STATEMENT
GROVES TOWN CENTER
PUD Amendment, Rezoning, and Comprehensive Plan Text Amendment**

REQUEST

On behalf of the Applicant, WGI is requesting the following:

- **Rezoning and PUD Amendment** to change the 128-bed congregate living facility use to a 81-room hotel, to relocate the Town Commons from Pod TC to Pod G, change the uses in Pod TC to lodging and commercial, reflect supplemental changes to the master plan in order to match the plat and other issued permits and amend conditions of approval of the Master Plan Ordinance; and
- **Comprehensive Plan Text Amendment** to change Special Policy 1.15.2 to reflect the change of permitted uses from a 128-bed congregate living facility to a 81-bedroom hotel.

SITE CHARACTERISTICS

Groves Town Center PUD is a 90-acre planned unit development with a future land use designation of Multiple Land Use (MLU) and a Zoning classification of Multiple Use Planned Development (MUPD). It is on the northeast corner of southern Boulevard and “B” Road and fronts three roads – Southern Boulevard, “B” Road, and “C” Road. It is comprised of 29 parcels listed in Table 1. The majority of the PUD is vacant with the exception of the southwest corner, where construction has begun on the first two commercial pods.

Figure 1. Aerial of the subject site

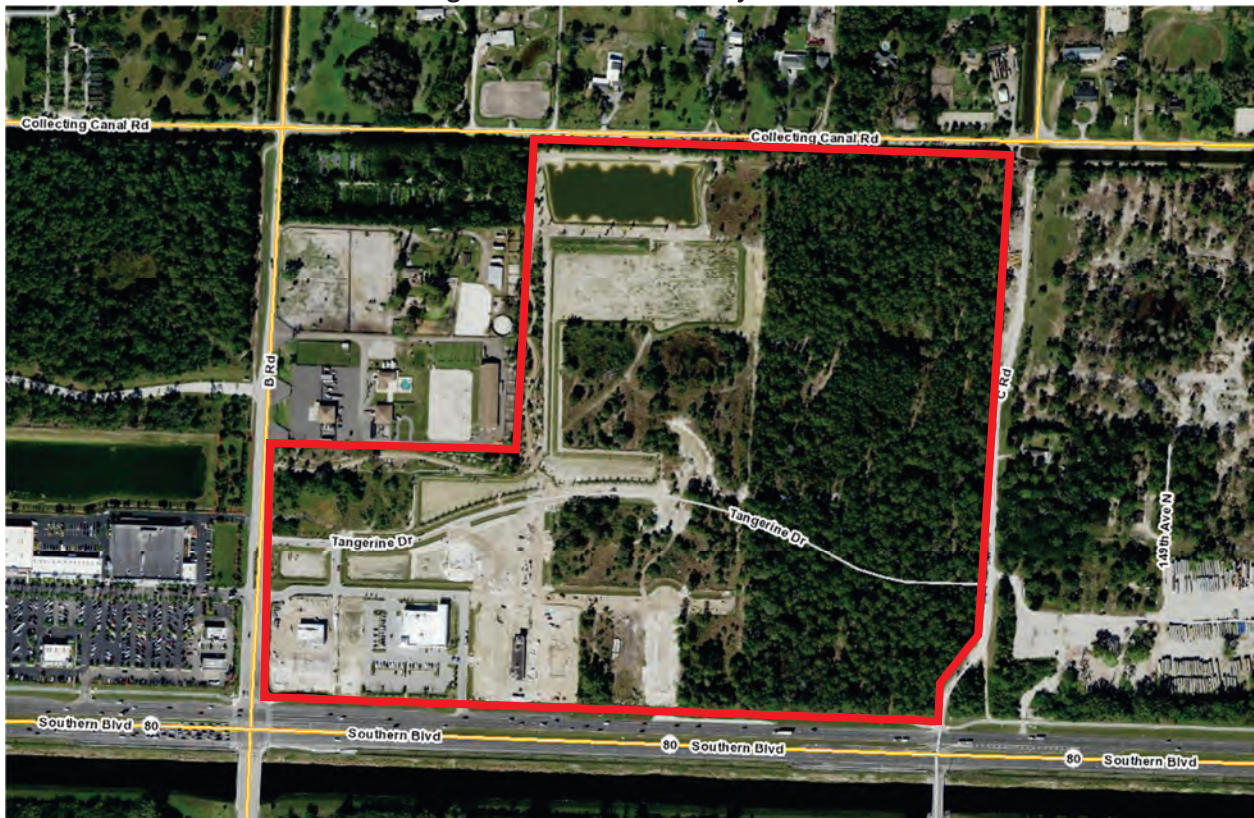


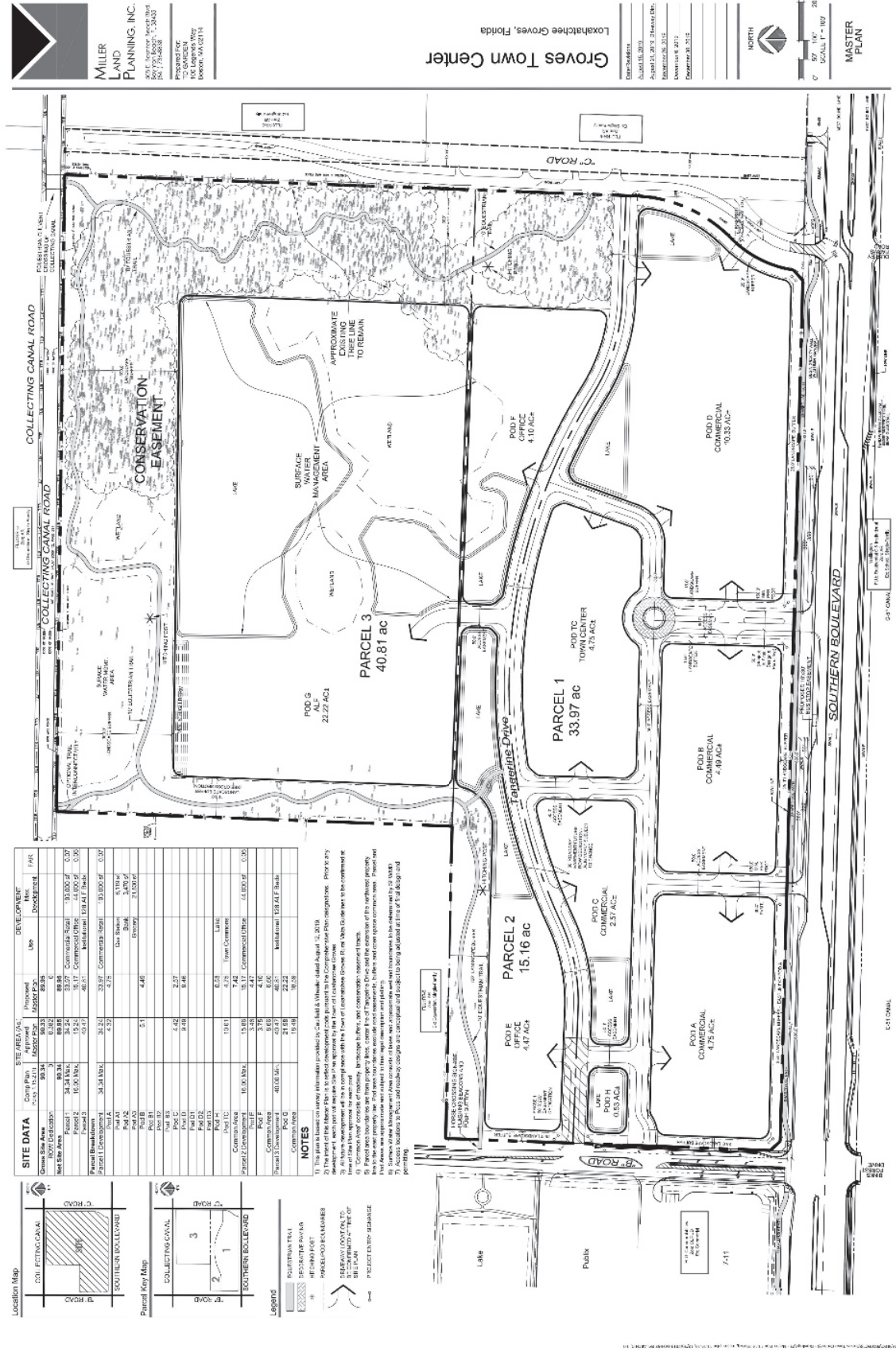
Table 1. Parcel IDs	
Tract/Pod*	PCN
Pod A	41-41-43-31-12-001-0010
	41-41-43-31-12-001-0020
	41-41-43-31-12-001-0030
Tract LB3	41-41-43-31-12-012-0031
	41-41-43-31-12-012-0032
	41-41-43-31-12-012-0033
Tract AE	41-41-43-31-13-001-0010
	41-41-43-31-13-001-0020
Tract Pod B-2	41-41-43-31-13-002-0020
Tract Pod B-1	41-41-43-31-13-002-0010
	41-41-43-31-13-002-0030
Tract Pod D	41-41-43-31-13-004-0000
Tract SWM 10	41-41-43-31-13-019-0020
Tract SWM 2	
Tract Pod C	41-41-43-31-13-000-0031
	41-41-43-31-13-000-0032
Tract Pod TC	41-41-43-31-13-020-0000
Tract LS	41-41-43-31-13-012-0000
Tract SWM 6	41-41-43-31-13-019-0010
Tract SWM 7	
Tract SWM 9	
Tract SWM 4	
Tract SWM 1	
Tract Pod E	41-41-43-31-13-005-0000
Tract SWM 3	41-41-43-31-13-019-0031
	41-41-43-31-13-019-0032
Pod I	41-41-43-31-13-009-0000
Tract C-1	41-41-43-31-13-003-0010
	41-41-43-31-13-003-0020
Tract SWM 5	41-41-43-31-13-019-0010
Tract Pod F	41-41-43-31-13-006-0000
Tract Pod G	41-41-43-31-13-007-0000
Tract SWM 8	41-41-43-31-13-019-0010

*Tract/Pod names are as provided in the *Groves Town Center PUD Plat* and the *Groves Town Center Amendment No. 1 Plat*

DEVELOPMENT PROGRAM

Groves Town Center PUD was first approved in 2013 per Ord. 2013-010 following a future land use amendment and rezoning. Two amendments have since been approved in 2018 per Ord. 2018-08 and in 2019 per Ord. 2019-08. Figure 2. is the most recently approved Master Plan. Per Ord. 2019-08 and *Special Policy 1.15.2* of the Town of Loxahatchee Groves Comprehensive Plan, the Groves Town Center PUD has been approved for a maximum of 103,000 square feet of commercial low, 44,000 square feet of commercial low professional office and medical office, a 128-bed congregate living facility and a Town Commons use.

Figure 2. Existing Groves Town Center Master Plan



MILLER LAND PLANNING, INC.
200 E. FORT MEADE BLVD
SUITE 200
FORT MEADE, FL 32119
TEL: (904) 255-8828
FAX: (904) 255-8828

Prepared For: LOUISIANA TOUROS
Prepared By: LOUISIANA TOUROS
Location: JACKSONVILLE, FLORIDA

Groves Town Center
Loxahatchee Groves, Florida

2017.09.28
Project No. 17-001
Location: JACKSONVILLE, FLORIDA
Drawing No. 17-001

NORTH

0' 80' 160' 200'

SCALE: 1" = 80'

MASTER PLAN

The proposed amendment removes the 128-bed congregate living facility from Pod G and replaces it with a 81-room hotel in Pod TC and relocates the Town Commons use from Pod TC to Pod G as shown in Figure 3. The proposed amendment will also amend *Special Policy 1.15.2* of the Town’s Comprehensive Plan to remove the 128-bed congregate living facility and add a 81-room hotel to the criteria of the Policy.

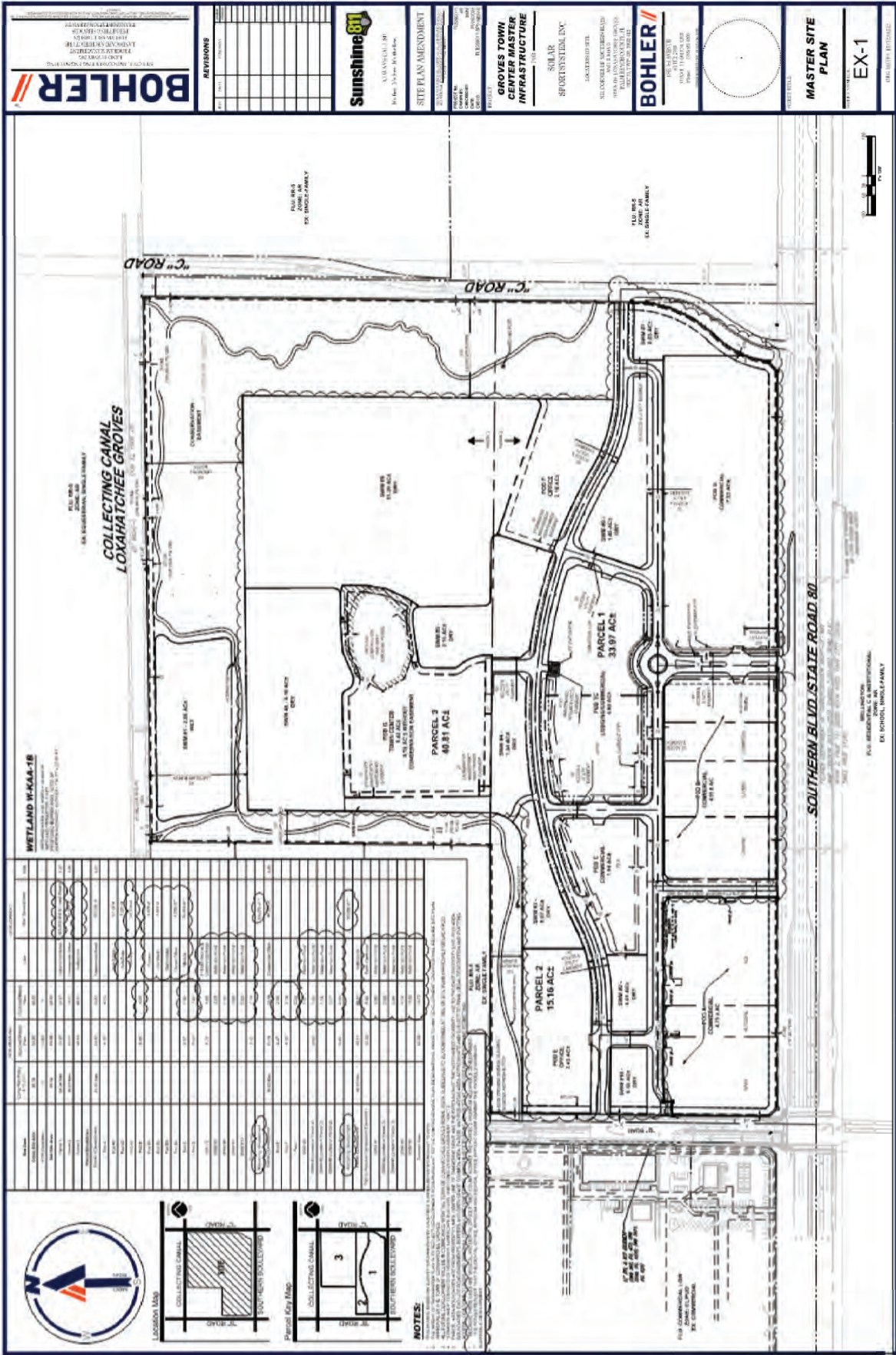
The change of use from congregate living facility to hotel and relocation of the Town Commons is consistent with the original Future Land Use Amendment approved via Ord. 2011-017 to change the Future Land Use of Groves Town Center from Rural Residential to Multiple Land Use, the Town’s objectives and policies, Rural Vista Guidelines, and PUD’s intent of establishing a commercial center along Southern Boulevard. The hotel will provide lodging for visitors with access to surrounding commercial uses along Southern Boulevard and equestrian facilities in the Town and neighboring communities. Its location in Pod TC means that visitors can easily access commercial uses in surrounding commercial pods, which will promote commercial and economic growth along the Southern Blvd corridor where such growth is directed. By continuing to direct commercial growth along Southern Blvd, the Town’s agricultural and rural character away from Southern Blvd will be protected. Data has been collected and submitted that shows on a per room basis a hotel is a smaller building than a congregate living facility. Therefore, a 81-room hotel compared to a 128-bed congregate living facility would typically be a smaller building.

The following are the proposed changes to the conditions of approval for the PUD Master Plan ordinance:

- A.2 Insert new date of Master Plan and new application number
- A.3 Insert new date of Master Plan
- B.1 Change 128-bed assisted living facility to 81-room hotel and insert new date of Master Plan
- B.2 Delete condition because a site plan for the equestrian trails was approved
- B.4 Delete condition because the plat was recorded
- B.7 Delete condition because the improvement agreement was approved
- B.9 Change Pod TC to Pod G and insert new date of the Town Commons site plan
- B.10 Delete condition because Town Council approved the Stormwater Management Area
- C.1 Change the buildout date to reflect the most recent extension of the buildout date
- C.2 Note two items as having been completed
- C.6.a Delete condition because the item has been completed
- C.6.b Delete condition because the item has been completed
- C.8 Insert new date of Master Plan
- C.9 Noting that the conceptual drainage plan for the entire PUD as been completed
- C.10 Delete the condition because it has been completed
- C.11 Delete the condition because it has been completed
- D.6 Delete the condition because it has been completed
- E.1 Delete the condition because it has been completed
- E.2 Delete the condition because it has been completed
- E.3 Delete the condition because it has been completed
- E.4 Delete the condition because it has been completed
- E.5 Delete the condition because it has been completed
- E.6 Remove reference to assisted living facility
- G. Delete the condition because a master sign plan is not being contemplated any longer

- H.3 Add waiver to allow the hotel to have parking spaces that are 9' wide and 19' long and to have ADA accessible parking spaces that meet the federal requirements for size in lieu of the Town's larger dimensions for ADA spaces
- H.4 Add waiver to allow the Institutional use of the Town Commons on Pod G to exceed the maximum plot size of five acres

Figure 3. Proposed Groves Town Center Master Plan



CONSISTENCY WITH REZONING CRITERIA

Per Sec. 160-020 of Loxahatchee Grove’s Unified Land Development Code, the following criteria have been met:

- **The request is consistent with the Town's Comprehensive Plan:**

- *Goal 1: Loxahatchee Groves will continue to protect its natural environment and rural character in the midst of an urbanizing region. The Town will continue to be a rural residential and agricultural community that has a great respect for lifestyle choices balanced with historical community needs.*

The requests for a change of use and relocation of the Town Center maintains the protection of the Town’s natural environment and rural character by putting the commercial lodging use closer to Southern Blvd and putting the institutional use of the Town Commons in Pod G, which is closer to the back of the PUD.

- *Objective 1.1: The Town shall designate future land uses with appropriate uses, densities and intensities that will protect residential and agricultural land uses and encourage limited economic development.*

The requests propose appropriate uses and intensities. Market conditions have changed since the PUD was first contemplated in 2011 and it no longer makes economic sense to build a congregate living facility while at the same time the demand for lodging along Southern Blvd in the Town has increased. Furthermore, the location of the proposed lodging use makes more sense in the TC Pod, as opposed to Pod G, which is closer to the existing residential neighborhood on the north side of Collecting Canal Road.

- *Objective 1.2: The Town shall support development of rural-style commercial center along the Southern Boulevard Corridor.*

The requests support a rural-style commercial center along the Southern Boulevard Corridor. As with all development within the Groves Town Center PUD, the hotel will follow the Town’s Rural Vista Design Guidelines.

- *Policy 1.12.3: The Town shall encourage development of a rural-style commercial center along the Southern Boulevard Corridor to provide a center of accessible shopping, recreation, and employment opportunities for Loxahatchee Groves’ residents.*

The requests further the development of a rural-style commercial center along the Southern Boulevard Corridor to provide a center of accessible shopping, recreation, employment and now lodging opportunities for the Town’s residents and visitors.

- **The request would not give privileges not generally extended to similarly situated property in the area, or result in an isolated district unrelated to adjacent or nearby districts:**

The requests do not give privileges not generally extended to similarly situated property in the area or result in an isolated district unrelated to adjacent or nearby districts.

- **An error or ambiguity must be corrected:**

The congregate living facility use was not favored by the Town or the Applicant, therefore, the request for a change of use from congregate living facility to hotel addresses this ambiguity.

- **That there exists changed or changing conditions which make approval of the request appropriate:**

Market conditions have changed since the PUD was first contemplated in 2011 and it no longer makes economic sense to build a congregate living facility while at the same time the demand for lodging along Southern Blvd in the Town has increased.

- **That substantial reasons exist why the property cannot be used in accordance with the existing zoning:**

Market conditions have changed since the PUD was first contemplated in 2011 and it no longer makes economic sense to build a congregate living facility while at the same time the demand for lodging along Southern Blvd in the Town has increased. Neither the Town nor the Applicant desire to have a congregate living facility in the PUD.

- **That the rezoning is appropriate for the orderly development of the Town and is compatible with existing and conforming adjacent land uses and planned adjacent land uses:**

The location of the proposed lodging use makes more sense in the TC Pod, as opposed to Pod G, which is closer to the existing residential neighborhood on the north side of Collecting Canal Road.

CONCLUSION

The proposed PUD amendment, Rezoning, and Comprehensive Plan Text Amendment are all consistent with the Town of Loxahatchee Groves Comprehensive Plan and Rezoning criteria. The change of use from a 128-bed congregate living facility to 81-room hotel and relocation of the Town Commons to Pod G and transformation of Pod TC into Lodging and Commercial uses will continue to establish a rural commercial center along Southern Boulevard while protecting the rural and agricultural character of the Town. Based on this justification, Applicant respectfully requests approval of a **Rezoning** and **PUD Amendment** to change the congregate living facility use to a lodging use and to relocate the Town Commons use to Pod G and change the uses in Pod TC to lodging and commercial and a **Comprehensive Plan Text Amendment** to amend *Special Policy 1.15.2* to reflect the change of use from the 128-bed congregate living facility to a 81-room hotel.

Sincerely,



Matthew Barnes, AICP
Senior Project Manager

Attachment D Owner/Applicant Affidavit

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME THIS DAY PERSONALLY APPEARED Matthew Barnes, WHO BEING DULY SWORN, DEPOSES AND SAYS THAT:

1. He/she is the owner, or the owner's authorized Applicant, of the real property legally described in Attachment A;
2. He/she understands any application fee(s) is/are non-refundable and in no way guarantees approval of the request;
3. The statements within the application are true, complete and accurate;
4. He/she understands that all information within the application is subject to verification by Town staff;
5. He/she understands that false statements may result in denial of the application; and
6. He/she understands that he/she may be required to provide additional information and fees within a prescribed time period and that failure to provide the information and fees within the prescribed time period may result in the denial of the application.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 29th day of September 2023 by Matthew Barnes (Name of Person Acknowledging) who is personally known to me or who has produced _____ (type of identification) as identification and who did ~~(did not)~~ take an oath.

[Signature]
(Signature of Person Taking Acknowledgement)

Alicia Joseph
(Name of Acknowledger Typed, Printed or Stamped)

Notary
(Title or Rank)

HH118672
(Serial Number, if any)

[Signature]
Applicant's Signature

Matthew Barnes
Applicant's Name (Print)

2035 Vista Parkway
Street Address

West Palm Beach, FL, 33411
City, State, Zip Code

(561) 713 1687
Telephone



Attachment E Agent Consent Form

STATE OF New York
COUNTY OF Erie

BEFORE ME THIS DAY PERSONALLY APPEARED Daniel J. Zimmer, WHO
BEING DULY SWORN, DEPOSES AND SAYS THAT:

- A. He/she is the owner of the real property legally described in Attachment A;
- B. He/she authorizes and designates WGI, Inc. and Bohler Engineering to act in his/her behalf for the purposes of seeking the following approvals for the real property legally described in Attachment A;
 - 1. PUD modification
 - 2. Comprehensive Plan Text Amendment
 - 3. Site Plan
- C. He/she has examined the above listed application(s) and he/she understands how the proposed change may affect the real property legally described in Attachment A.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 10 day of October, 2023 by Daniel J. Zimmer (Name of Person Acknowledging) who is personally known to me or who has produced _____ (type of identification) as identification and who did (did not) take an oath.

Marilyn B. Rochwarger
(Signature of Person Taking Acknowledgement)

(Name of Acknowledger Typed, Printed or Stamped)

(Title or Rank)

(Serial Number, if any)

(Notary's Seal)

MARILYN B. ROCHWARGER
No. 01RO4839925
Notary Public, State of New York
Qualified in Erie County
My Commission Expires 03/30/2026

Solar Sportsystems, Inc.
By: [Signature]
Owner's Signature

Daniel J. Zimmer
Owner's Name (Print)

250 Delaware Avenue
Street Address

Buffalo, NY 14202
City, State, Zip Code

(716) 858-5208
Telephone

Attachment F.
Applicant's Notice Affidavit and Property Appraiser List

STATE OF FLORIDA
COUNTY OF PALM
BEACH

BEFORE ME THIS DAY PERSONALLY APPEARED Matthew Barnes, WHO
BEING DULY SWORN, DEPOSES AND SAYS THAT:

1. He/she is the owner, or the owner's authorized agent, of the real property legally described in Attachment A;
2. The accompanying Property Owners List is, to the best of his/her knowledge, a complete and accurate list of all property owners, mailing addresses and property control numbers as recorded in the latest official tax rolls for all property within one thousand (1000) feet of the real property described in Attachment A, or all property within one thousand (1000) feet of all contiguous property owned whole or in part by the owner of the real property described in Attachment A, if applicable; and
3. He/she will cause the real property described in Attachment A to be posted with a notice of public hearing on a sign provided by the Town in accordance with the requirements of Article 115 of the Town's Unified Land Development Code.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 24th day of September, 2023 by Matthew Barnes (Name of Person Acknowledging) who is personally known to me or who has produced _____ (type of identification) as identification and who did (did not) take an oath.

[Signature]
(Signature of Person Taking Acknowledgement)

Matthew Barnes
Applicant's Signature

Alicia Joseph
(Name of Acknowledger Typed, Printed or Stamped)

Matthew Barnes
Applicant's Name (Print)

Notary
(Title or Rank)

2035 Vista Parkway
Street Address

HH 118672
(Serial Number, if any)

West Palm Beach, FL, 33411
City, State, Zip Code

(Notary's Seal) 

(561) 713 1687
Telephone

SCHEDULE B, PART II EXEMPTIONS

8. Reservation of one-half of all of the oil, gas, sulphur, other minerals and mineral rights to George F. ...
9. ...
10. Dedications, easements and restrictions set forth on Plat of Groves Town, Center PUD recorded May 22, 2019 in Plat Book 128, page 66, Public Records of Palm Beach County, Florida. [AFFECTS AS SHOWN]
11. ...
12. Terms, conditions, covenants, restrictions, easements, set forth in Declaration of Reciprocal Easements, ...
13. Terms, conditions, covenants, obligations, regulations and other provisions of Improvement Agreement for ...
14. Provisions of South Florida Water Management District Environmental Resource Permit No. 50-14402-P ...
15. Provisions of South Florida Water Management District Environmental Resource Permit No. 50-10403-P ...
16. Terms, conditions, covenants, easement, lien rights, and obligations set forth in Declaration Regarding ...
17. Underground Easement (Business) granted to Florida Power & Light Company, et al., recorded June 12, ...

TREE TABLE

TREE ID with (IN INCHES)	TREE TYPE (IN INCHES)	PALM TREE HEIGHT (IN FEET)	NORTHING	EASTING
533	PINE 12	12	855340	889787
534	PINE 12	12	855340	889787
535	PINE 11	11	855349	889794
536	PINE 11	11	855349	889794
537	PINE 11	11	855358	889795
538	PINE 11	11	855358	889795
539	PINE 11	11	855358	889795
540	PINE 12	12	855358	889795
541	PINE 12	12	855358	889795
542	PINE 12	12	855358	889795
543	PINE 12	12	855358	889795
544	PINE 12	12	855358	889795
545	PINE 12	12	855358	889795
546	PINE 12	12	855358	889795
547	PINE 12	12	855358	889795
548	PINE 12	12	855358	889795
549	PINE 12	12	855358	889795
550	PINE 12	12	855358	889795
551	PINE 12	12	855358	889795
552	PINE 12	12	855358	889795
553	PINE 12	12	855358	889795
554	PINE 12	12	855358	889795
555	PINE 12	12	855358	889795
556	PINE 12	12	855358	889795
557	PINE 12	12	855358	889795
558	PINE 12	12	855358	889795
559	PINE 12	12	855358	889795
560	PINE 12	12	855358	889795
561	PINE 12	12	855358	889795
562	PINE 12	12	855358	889795
563	PINE 12	12	855358	889795
564	PINE 12	12	855358	889795
565	PINE 12	12	855358	889795

TREE TABLE

TREE ID with (IN INCHES)	TREE TYPE (IN INCHES)	PALM TREE HEIGHT (IN FEET)	NORTHING	EASTING
566	PALM 20	12	855358	889806
567	PALM 20	12	855358	889806
568	PALM 20	12	855358	889806
569	PALM 20	12	855358	889806
570	PALM 20	12	855358	889806
571	PALM 20	12	855358	889806
572	PALM 20	12	855358	889806
573	PALM 20	12	855358	889806
574	PALM 20	12	855358	889806
575	PALM 20	12	855358	889806
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577	PALM 20	12	855358	889806
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579	PALM 20	12	855358	889806
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581	PALM 20	12	855358	889806
582	PALM 20	12	855358	889806
583	PALM 20	12	855358	889806
584	PALM 20	12	855358	889806
585	PALM 20	12	855358	889806
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TREE TABLE

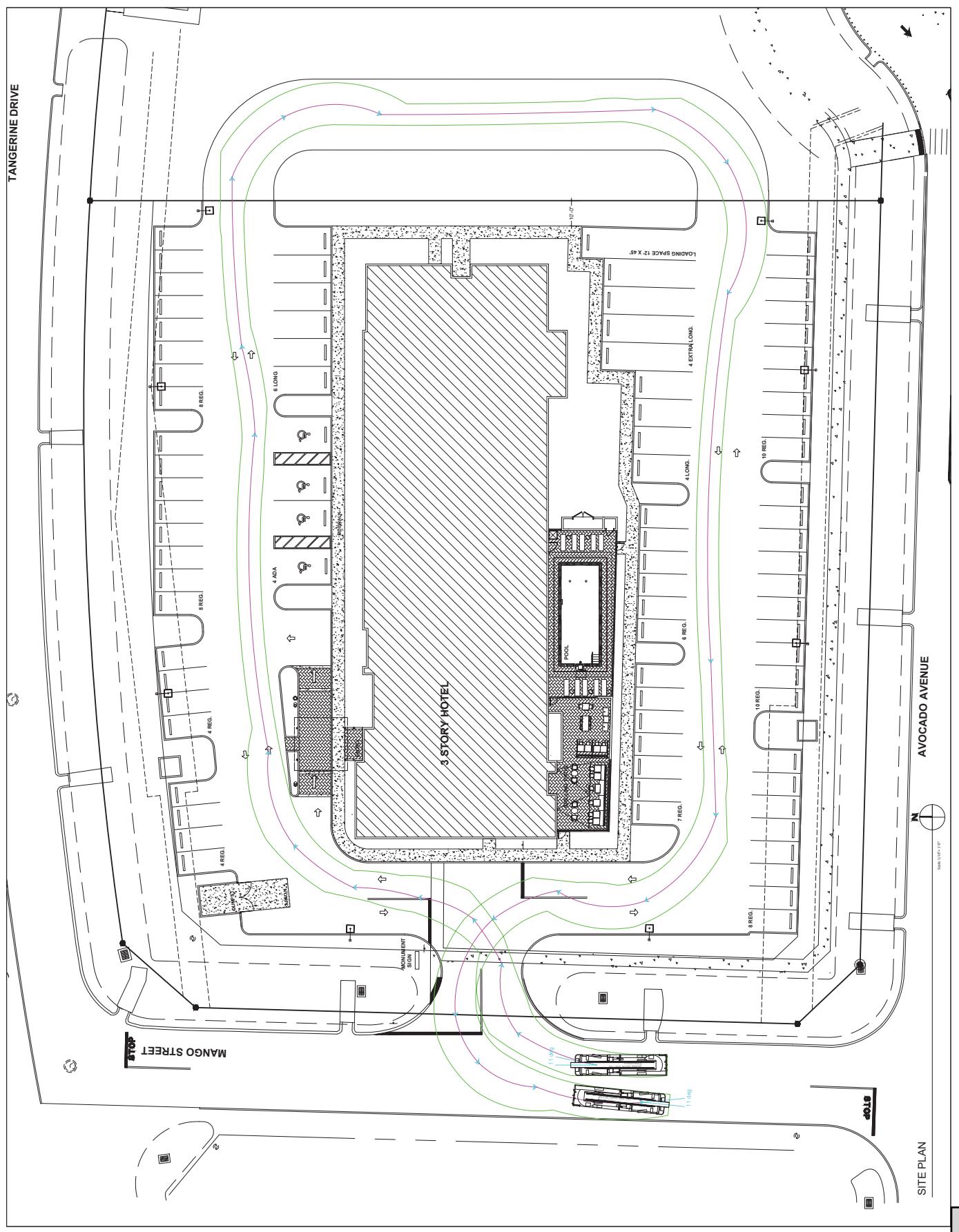
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603	PALM 19	12	855358	889815
604	PALM 19	12	855358	889815
605	PALM 19	12	855358	889815
606	PALM 19	12	855358	889815
607	PALM 19	12	855358	889815
608	PALM 19	12	855358	889815
609	PALM 19	12	855358	889815
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611	PALM 19	12	855358	889815
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617	PALM 19	12	855358	889815
618	PALM 19	12	855358	889815
619	PALM 19	12	855358	889815
620	PALM 19	12	855358	889815
621	PALM 19	12	855358	889815
622	PALM 19	12	855358	889815
623	PALM 19	12	855358	889815
624	PALM 19	12	855358	889815
625	PALM 19	12	855358	889815
626	PALM 19	12	855358	889815
627	PALM 19	12	855358	889815
628	PALM 19	12	855358	889815

SITE PLAN
AUTOTURN
FIRE TRUCK

HOME 2 SUITES
LOXAHATCHEE GROVES, FLORIDA
George White ARCHITECT
6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467 561-289-6754



Date: 10/19/2023
Project #: CV162230366
Drawn: GFW
ARC. LIC. Reg. #AR0009831
Revisions:
▲ 10/19/23 Revised parking
▲ 10/25/23 REVISED TO 3 STORY



SITE PLAN

Date: 10/12/2023
 Project #: GYM2023006
 Client: George White
 ARC. LIC. Reg. #WRC009531
 Revisions:
 ▲ 4/1/24 Revised parking
 ▲ 4/1/24 Revised site
 ▲ 4/22/24 REVISED TO 31006

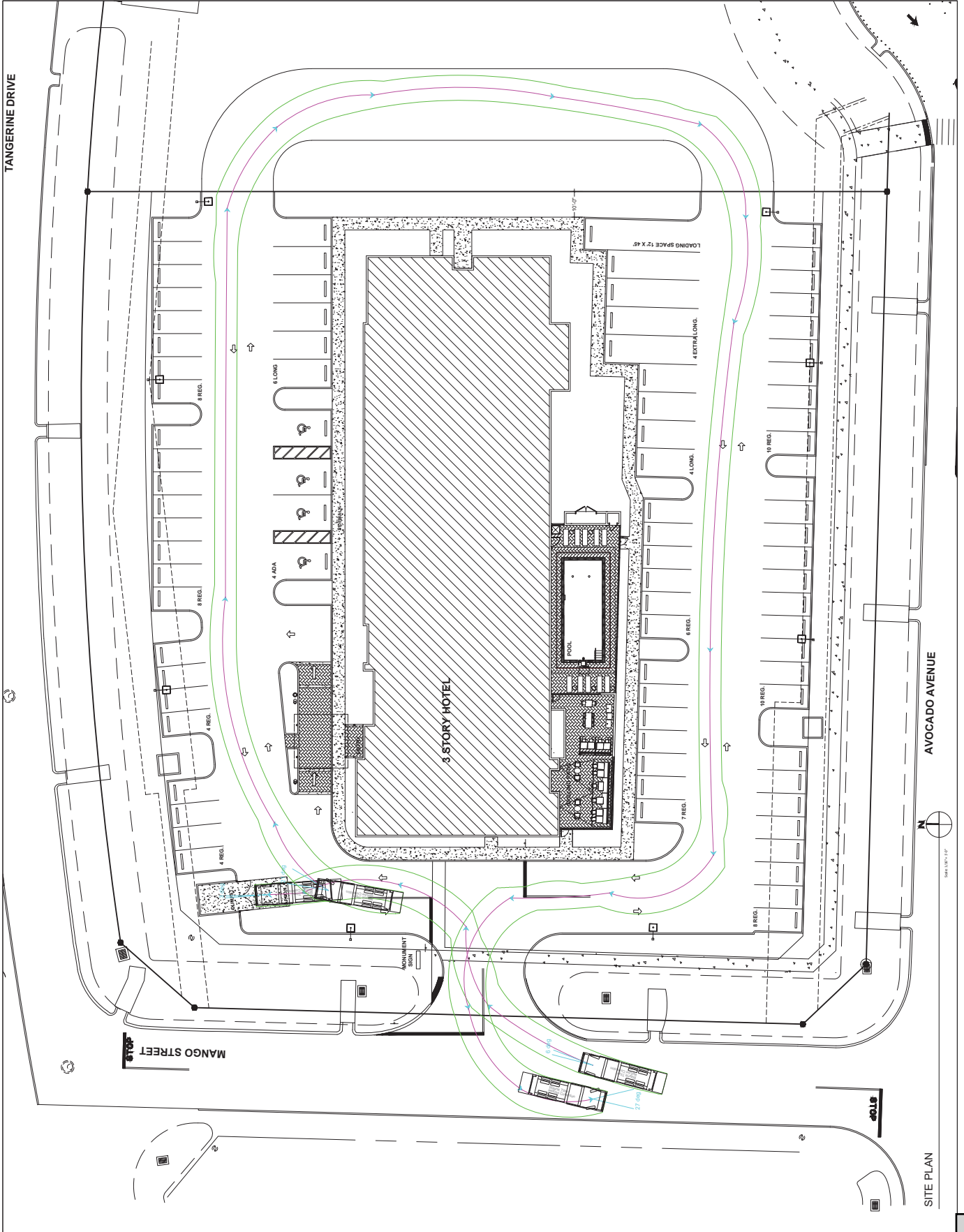


6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467 561-289-6754
George White ARCHITECT
 LOXAHATCHEE GROVES, FLORIDA

HOME 2 SUITES
 SITE PLAN
 AUTOTURN
 REFUSE TRUCK

Item 2.

A-00



Date: 10/12/2023
 Project #: GW2022006
 Designer: GFW
 ARC. LISC. Reg. #ARG0009531

Revisions:
 A 4/10/24 CITY COMMENTS
 B 9/25/2024 REVISED TO 3 STORY



6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467 561-289-6754

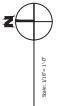
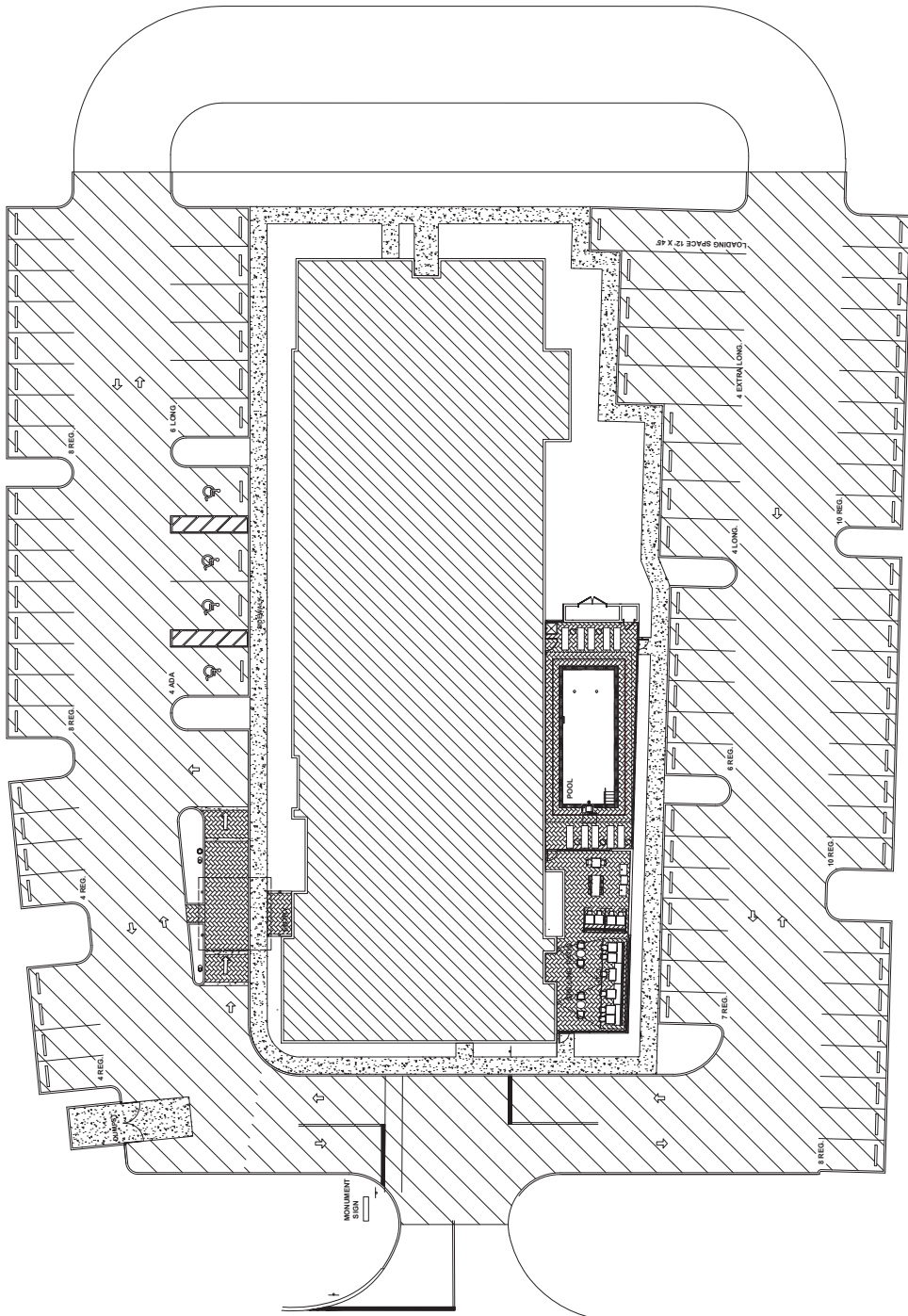
George White ARCHITECT
 LOXAHATCHEE GROVES, FLORIDA



HARD SCAPES

A-00
 Item 2.

LEGEND - HATCH
 PARKING LOT
 SIDEWALK/DUMPSTER
 POOL/PATIO AREA



SITE PLAN - HARD SCAPES

Date: 10/12/2023
 Project #: GW2023006
 Drawn: GFW
 Checked: GFW
 #AARC09551

Revisions:
 Δ HIGH RISE COMMENTS
 Δ VISIBOR REVISD TO STCP



6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467 561-289-6754

George White ARCHITECT

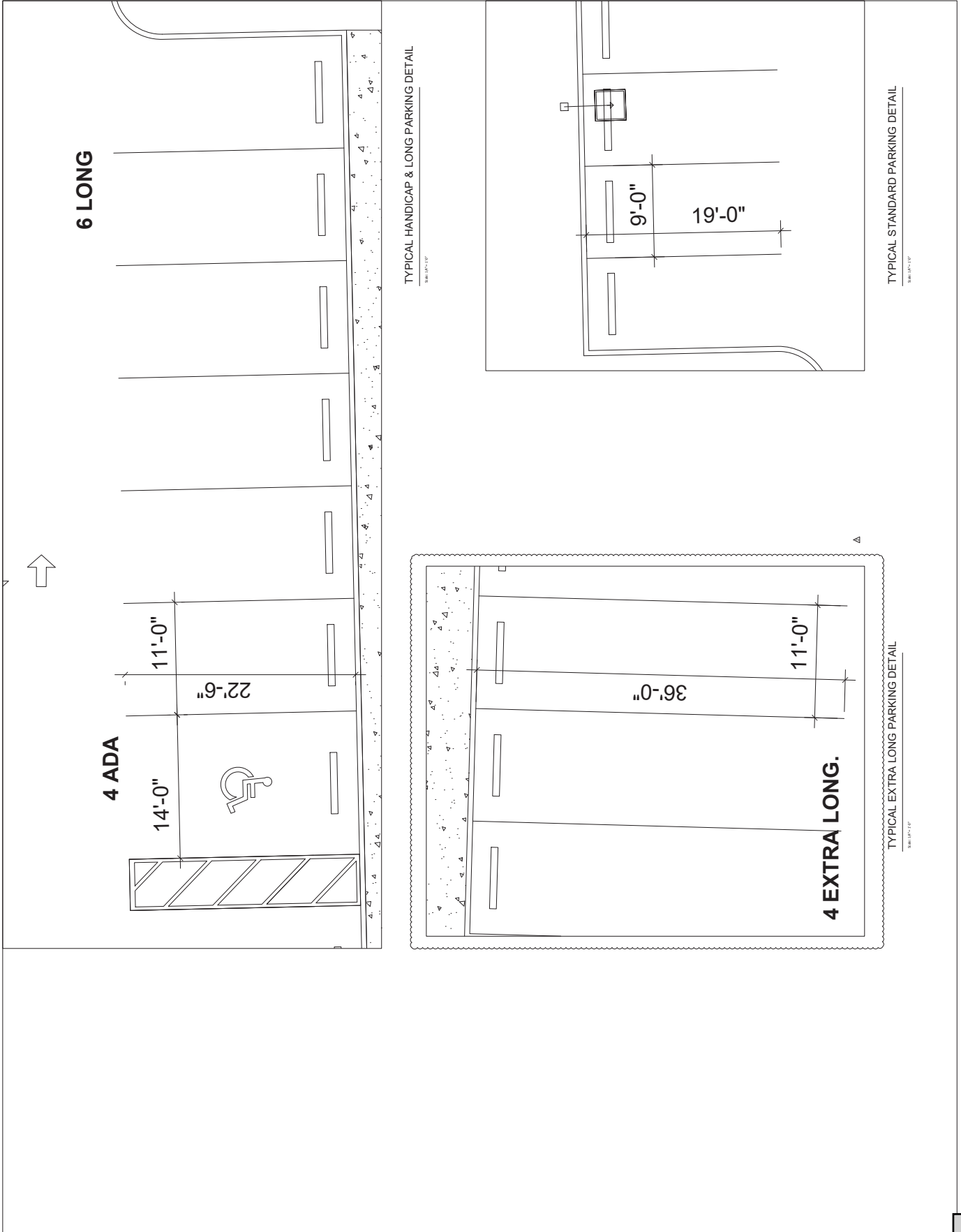
LOXAHATCHEE GROVES, FLORIDA
 HOME 2 SUITES



SITE DETAILS

Item 2.

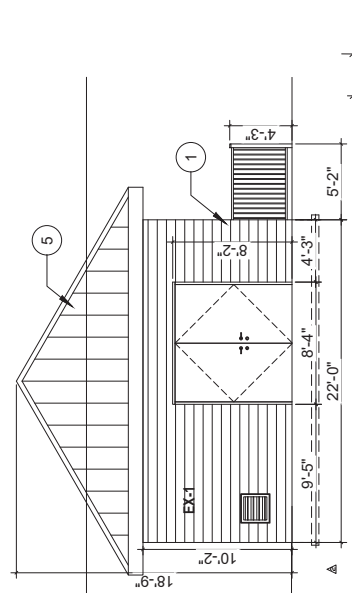
A-00





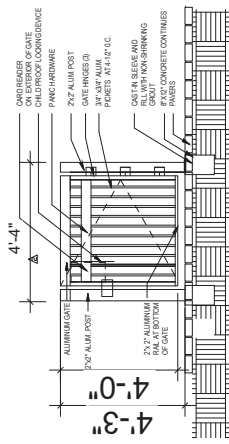
KEYED NOTES	
1	CMU EXTERIOR WALLS WITH PAINTED STUCCO
2	METAL PAN/RAV SEAM ROOF OVER BRINE BD. ON METAL TRUSSES OVER CONCRETE DECK
3	SCORED STUCCO FACIA BOARD PAINTED P1 C1 WHITE
4	ENTRY PORTE COCHERE CMU CLAD WITH CONCRETE PLANK SYSTEM FINISH TO MATCH BUILDING
5	METAL TRUSSES WITH STANDING SEAM METAL ROOFING
6	ALL MECHANICAL EQUIPMENT ON ROOF SCREENED BEHIND SLOPING METAL ROOF
7	CAST CONCRETE FOUNDATION
8	ALUMINUM FRED WIND HURRICANE IMPACT RESISTANT KYNAR FINISH ALUMINUM WINDOW AND DOOR WITH GLAZING SEPARATED ALUMINUM COVER AT P/AC UNITS
9	ALUMINUM STOREFRONT SYSTEM, HURRICANE IMPACT RESISTANT COLOR KYNAR P1 C1 FINISH WITH LAMINATED CLEAR LOW E GLAZING
10	ALUMINUM FRED WIND HURRICANE IMPACT RESISTANT KYNAR COLOR P1 C1 LAMINATED CLEAR GLAZING WITH LOW E GLAZING
11	LAUNDRY CHUTE OVERHANG BEHIND STANDING SEAM METAL ROOF
12	HOME 2 BUILDING SIGN
13	HOME 2 BUILDING SIGN
14	OVERFLOW SCUPPER
15	TEMPER PRESS INT. RECESSED HOSE BIBB - MOUNT TOP AT 1'-12"
16	LAUNDRY CHUTE OVERHANG
17	KYNAR FINISH ALUMINUM COPING SYSTEM - COLOR TO MATCH ADJACENT MATERIAL
18	ADJACENT METAL ALUMINUM FACIA - COLOR TO MATCH ADJACENT MATERIAL
19	LIGHT FIXTURE
20	SCORED STUCCO
21	MATCHING ADJACENT WALL
22	STAR TOWER TO ROOF
23	CAST CONCRETE CONTINUES
24	ALUMINUM AUTOMATIC SLIDING DOOR ENTRY
25	ALUMINUM GUTTER AND IS COLOR TO MATCH ADJACENT MATERIAL
26	ALUMINUM GUTTER AND IS COLOR TO MATCH ADJACENT MATERIAL
27	STEEL TRUSSES, CHANGS WITH WOOD FINISHED SCOFF
28	KYNAR FINISH ALUMINUM FACIA 4.0" HIGHER
29	LED EXTERIOR LIGHTS
30	LED EXTERIOR LIGHTS

LEGEND	
EX-1	8" SCORED STUCCO COLOR: COOL GRAY 60P
EX-2	8" SCORED STUCCO COLOR: COOL GRAY 40P
EX-3	8" SCORED STUCCO COLOR: COOL GRAY 30P
EX-4	STAINING SEAM SHEET METAL ROOF SYSTEM COLOR: CLEAR ANODIZED
EX-5	ACCENT BAND STUCCO BAND COLOR: P1 C1 WHITE
EX-6	STUCCO BAND COLOR: P1 C1 WHITE

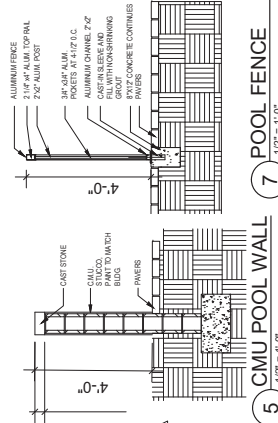


1 EXTERIOR ELEVATION - EXT POOL
 1/4" = 1'-0"

3 EXTERIOR ELEVATION - EXT POOL.
 1/4" = 1'-0"

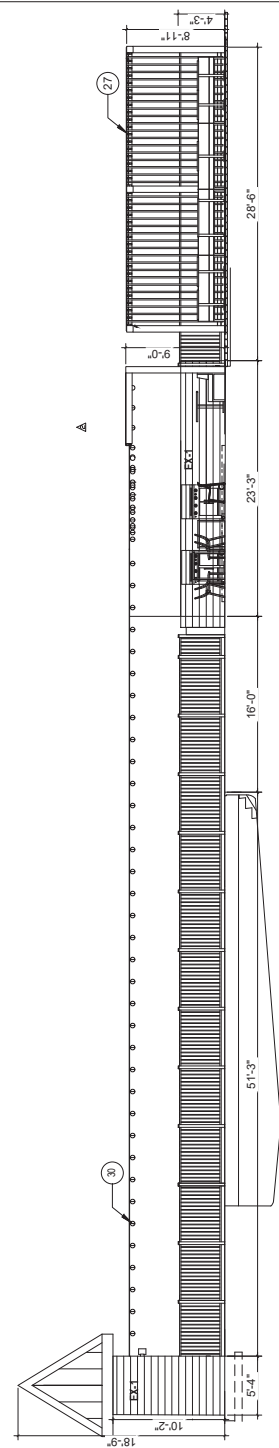


4 POOL GATE
 1/2" = 1'-0"

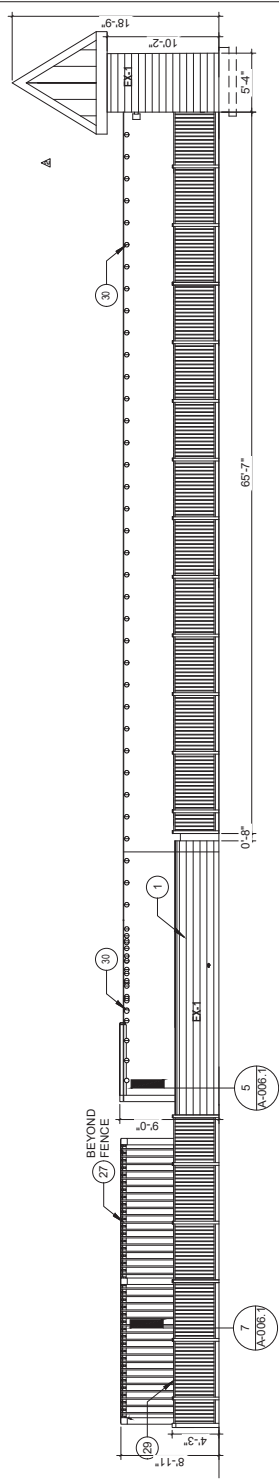


5 CMU POOL WALL
 1/2" = 1'-0"

7 POOL FENCE
 1/2" = 1'-0"



2 EXTERIOR SECTION - EXT POOL
 3/16" = 1'-0"



6 EXTERIOR ELEVATION - POOL
 3/16" = 1'-0"

Date: 10/12/2023
 Project #: GW2023006
 Client: GFW
 Architect: ARC, LISC, Reg.
 #AAR009531
 Revisions:



HOME 2 SUITES
 LOKAHATHEE GROVES, FLORIDA
 George White ARCHITECT
 6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467 561-289-6754



METAL STANDING SEAM ROOF

A-00
 Item 2.

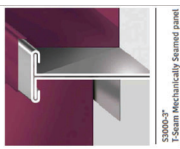


ENGLERT

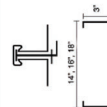


METAL ROOF PANEL COLOR

18" WIDE ROOF PANEL

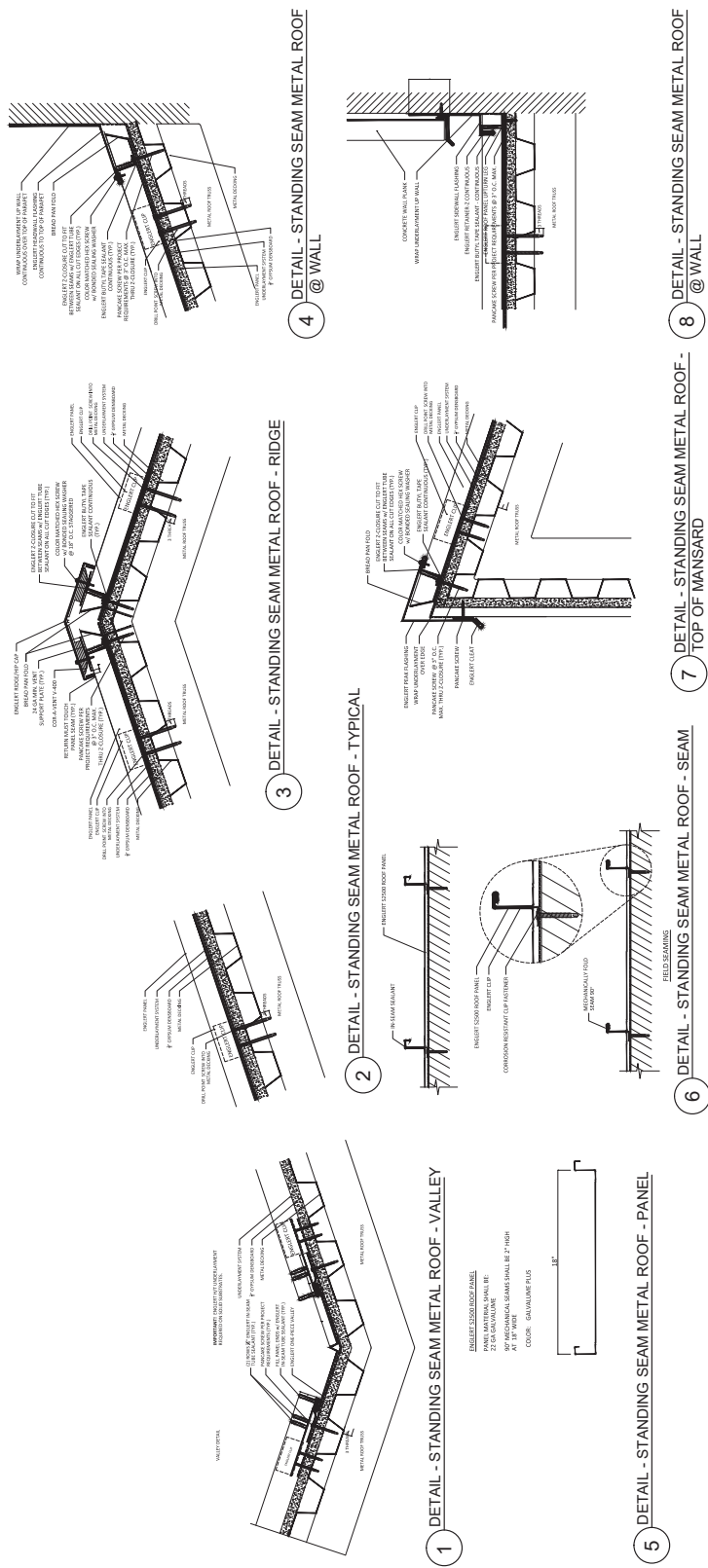


ENGLERT 18" 2-Beam Mechanically Seamed panel



Panel (Ribs optional)
 ENGLERT'S SPECIAL PANEL SYSTEM is a nominal 2" deep structural roofing system. The system is designed for use on a structural steel deck. The system is available in a standard 18" wide panel or a 24" wide panel. The system is available in a standard 18" wide panel or a 24" wide panel. The system is available in a standard 18" wide panel or a 24" wide panel.

SAMPLE ROOF



Date: 10/12/2023
 Project: #GVE023006
 Drawn: J. G.F.V.
 ARC. LIC. NO. #AR0009531

Revisions:
 4/16/24 revised SIGN/DMA
 4/26/24 DRC COMMENTS
 7/25/24 TOWERS, LOWE'S
 9/25/24 REVISED TO 3 STORY

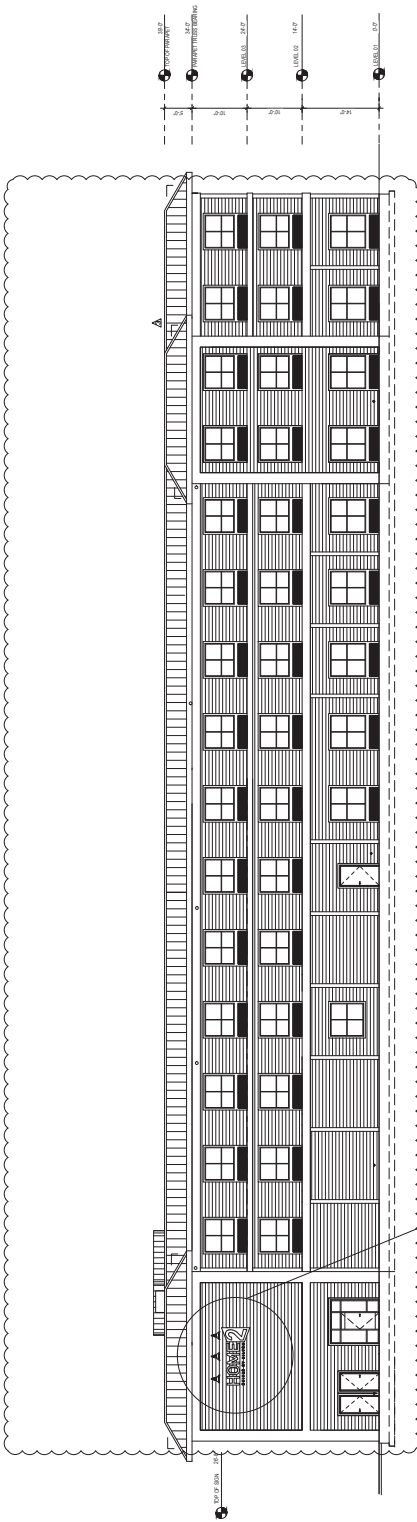


George White ARCHITECT
 LOXAHATCHEE GROVES, FLORIDA
 6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467
 561-289-6754

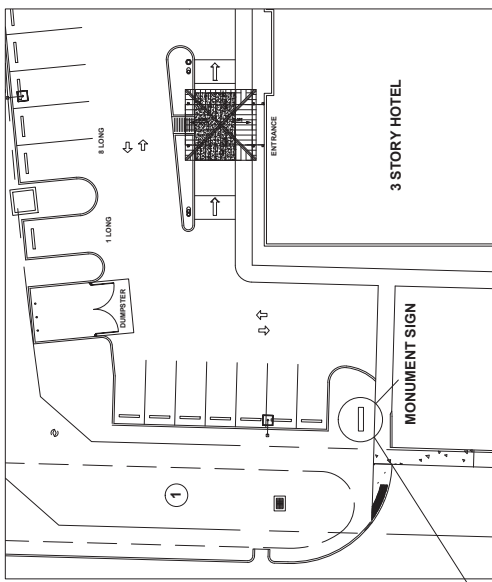
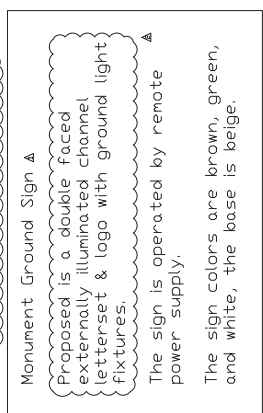
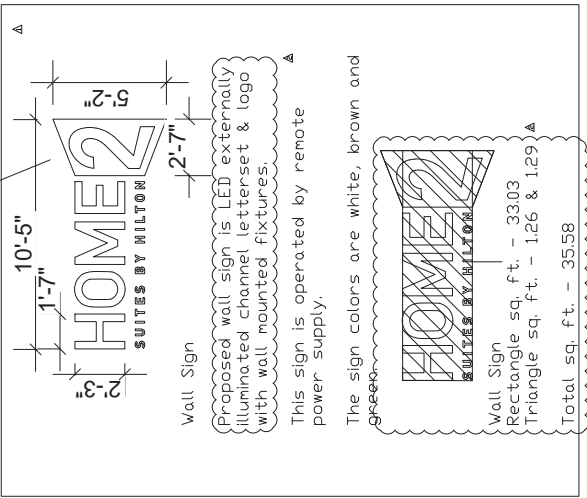
Item 2.

A-008

MASTER SIGNAGE

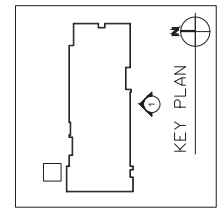


1 SOUTH EXTERIOR ELEVATION
 332' x 1'-0"



2 PARTIAL SITE PLAN
 18" HIGH BASE

HOME 2 LADYNATCHEE GROVES FLORIDA	ALLOWED	PROVIDED
A BUILDING WALL SIGN SIGNAGE AREA (MAXIMUM) Building Footage is 3000 sq ft The maximum sign area is 20% of the building footprint (600 sq ft)	38 SQ. FT.	38 SQ. FT.
NUMBER OF SIGNS (MAXIMUM)	1	1
SIGN DIMENSION	HEIGHT: 7'-4 3/8" (2244.7mm) LENGTH: 4'-0" (1219.2mm)	HEIGHT: 7'-4 3/8" (2244.7mm) LENGTH: 4'-0" (1219.2mm)
OTHER RESTRICTIONS	A MINIMUM OF TEN PERCENT OF THE BUILDING FOOTPRINT SHALL BE AVAILABLE FOR WALL AREA ON EITHER END OF THE SIGN	10% OF 332' = 99' x 3' minimum required
ATTACHED/FREE STANDING OR BOTH	ATTACHED	ATTACHED
B BACKGROUND SIGN	68 SQ. FT.	68 SQ. FT.
SIGNAGE AREA (MAXIMUM) The maximum sign area is 20% of the building footprint (680 sq ft)	68 SQ. FT.	68 SQ. FT.
NUMBER OF SIGNS (MAXIMUM)	1	1
SIGN DIMENSIONS	HEIGHT: 7'-4 3/8" (2244.7mm) LENGTH: 4'-0" (1219.2mm)	HEIGHT: 7'-4 3/8" (2244.7mm) LENGTH: 4'-0" (1219.2mm)
VALUES	ATTACHED/FREE STANDING OR BOTH	FREE STANDING



Date: 10/12/2023
 Project: #GV2023006
 Drawn: GFW
 ARC. LIC. REG. #AR0009531

Revisions:
 4/16/24: REVISIONS
 9/25/2024: REVISED TO 3 STORY

561-289-6754



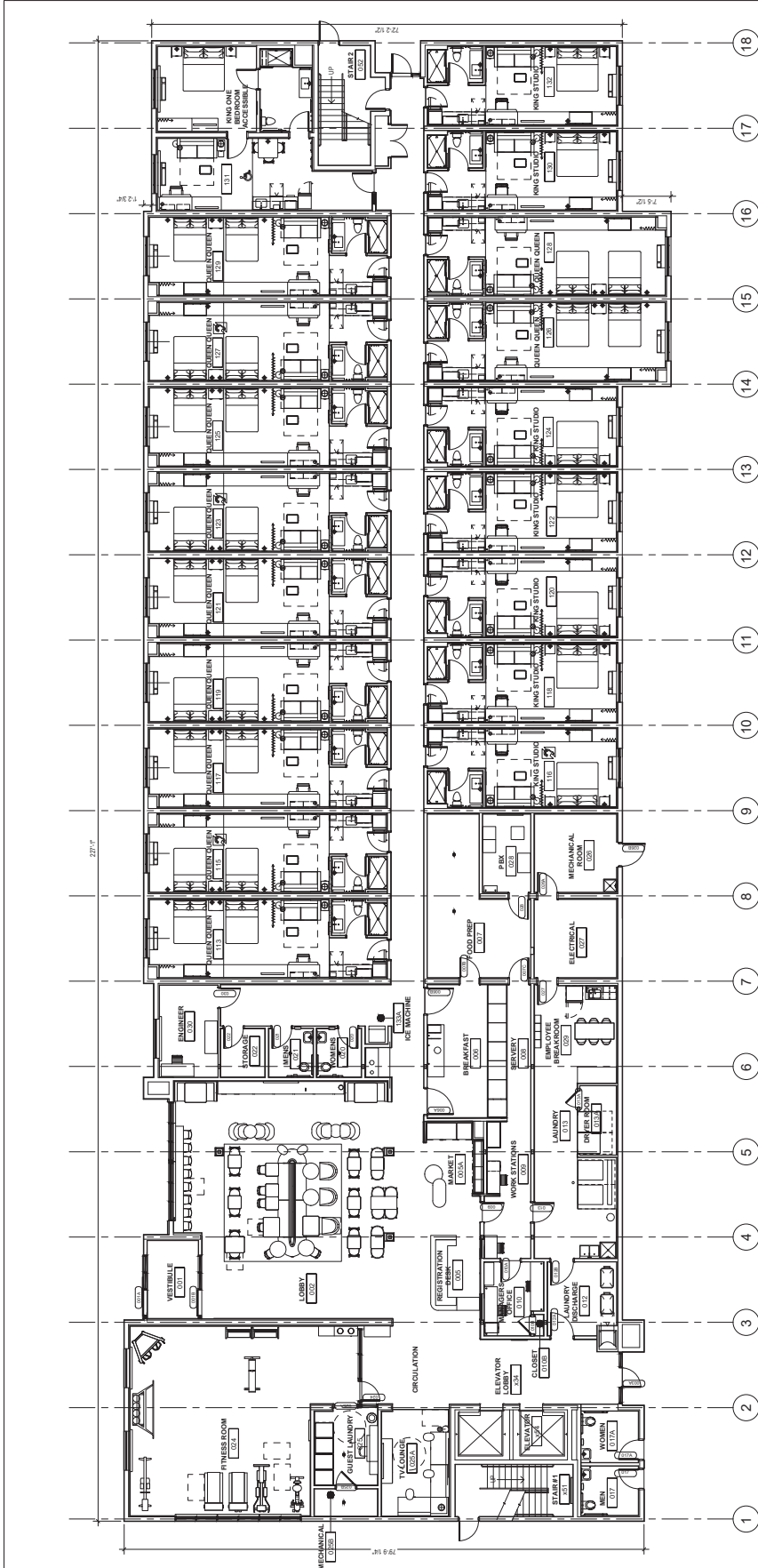
6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467
 LOXAHATCHEE GROVES, FLORIDA
 George White ARCHITECT



1st FL PLAN

Item 2.

A-1



1 FIRST FLOOR PLAN
 1/8" = 1'-0"

RM #	TUB/SH	R/SHOWER	H. IMP.	ADA
119	S	S		
115	S	S		
116	S	S		
117	S	S		
118	S	S		
119	S	S		
120	S	S		
121	S	S		
122	S	S		
123	S	S		
124	S	S		
125	S	S		
126	S	S		
127	S	S		
128	S	S		
129	S	S		
130	S	S		
131	S	S		
132	S	S		

RM #	TUB/SH	R/SHOWER	H. IMP.	ADA
116	S	S		
128	S	S		
127	S	S		
203	S	S		
206	S	S		
212	S	S		
316	S	S		
320	S	S		
328	S	S		

RM #	TUB/SH	R/SHOWER	H. IMP.	ADA
131	S	S		
201	S	S		
231	S	S		
301	S	S		
331	S	S		

RM #	ACCESSIBLE ROOM TYPE	5 REQUIRED	1 REQUIRED
131	KING ONE BEDROOM - ACC.		
201	KING STUDIO SUITE - ACC.		
231	QO STUDIO SUITE - ACC.		
301	QO STUDIO SUITE - ACC.		
331	KING ONE BEDROOM - ACC.		

RM #	PEERING W/ADJ ROOM TYPE	9 REQUIRED
116	QO STUDIO SUITE	
128	QO STUDIO SUITE	
127	QO STUDIO SUITE	
203	KING STUDIO SUITE - CONN.	
206	KING STUDIO SUITE - CONN.	
212	KING STUDIO SUITE	
316	KING STUDIO SUITE	
320	KING STUDIO SUITE	
328	QO STUDIO SUITE	

RM #	18 GUEST ROOMS
119	18 GUEST ROOMS
115	18 GUEST ROOMS
116	18 GUEST ROOMS
117	18 GUEST ROOMS
118	18 GUEST ROOMS
119	18 GUEST ROOMS
120	18 GUEST ROOMS
121	18 GUEST ROOMS
122	18 GUEST ROOMS
123	18 GUEST ROOMS
124	18 GUEST ROOMS
125	18 GUEST ROOMS
126	18 GUEST ROOMS
127	18 GUEST ROOMS
128	18 GUEST ROOMS
129	18 GUEST ROOMS
130	18 GUEST ROOMS
131	18 GUEST ROOMS
132	18 GUEST ROOMS

Date: 10/12/2023
 Project: #GV2023006
 Drawn: GFV
 ARC. LISC. Reg.
 #AR0009531

Revisions:
 A 4/16/24
 REVISIT GUEST ROOMS
 B 7/25/24
 REVISED TO 3 STORY

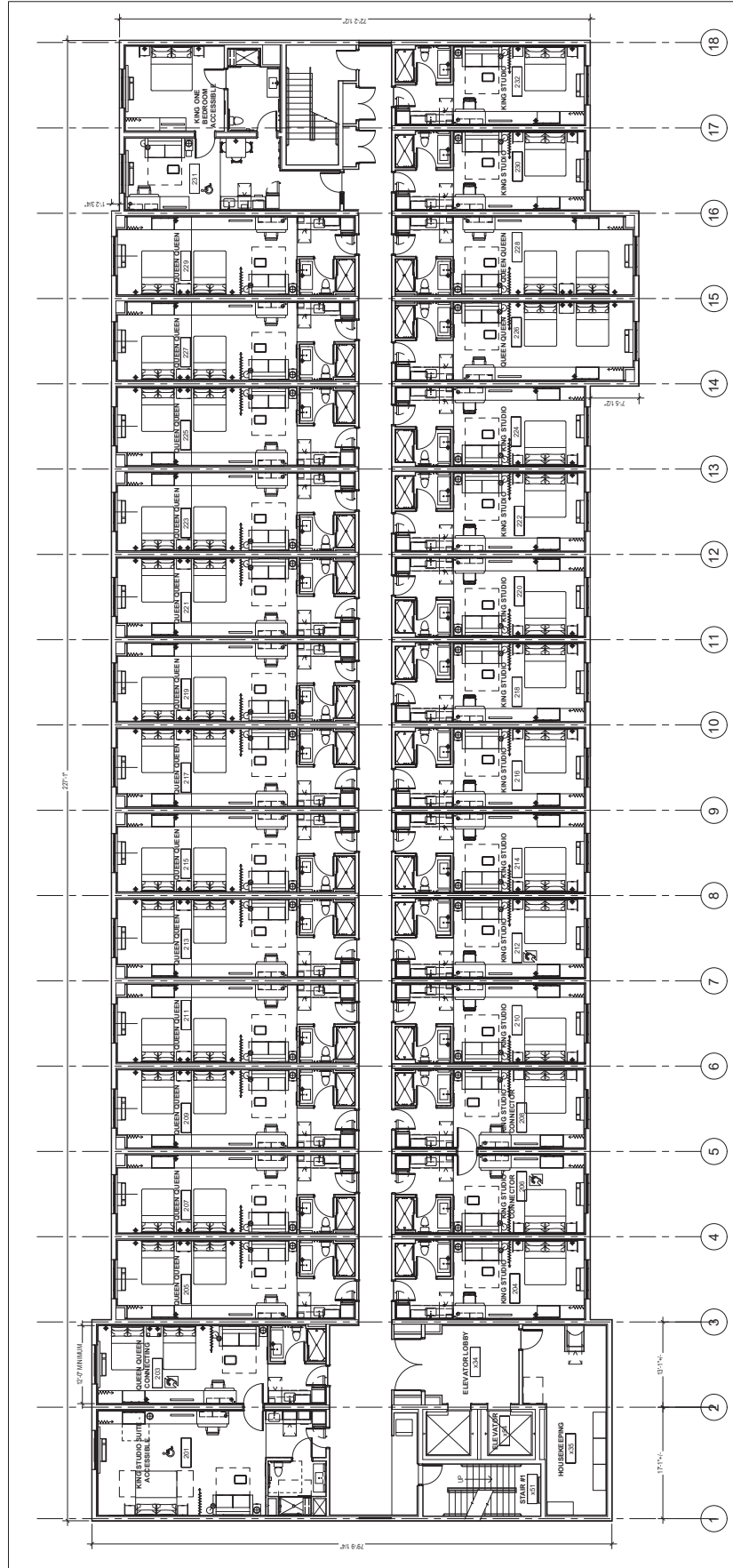
561-289-6754
 HOMER2
 SITES BY HILTON

6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467
 George White ARCHITECT
 LOXAHATCHEE GROVES, FLORIDA



2ND FL PLAN

A-11
 Item 2.



1 SECOND FLOOR PLAN
 1/8" = 1'-0"

2ND FLOOR GUEST ROOMS		2ND FLOOR GUEST ROOMS	
RM #	ROOM TYPE	TUB/SH	R/SHOWER
201	KING STUDIO SUITE - ACC.	SO	SO
202	Q/O STUDIO SUITE - CONN.	SO	SO
203	KING STUDIO SUITE	SO	SO
204	KING STUDIO SUITE	SO	SO
205	Q/O STUDIO SUITE	SO	SO
206	KING STUDIO SUITE - CONN.	SO	SO
207	Q/O STUDIO SUITE	SO	SO
208	KING STUDIO SUITE - CONN.	SO	SO
209	Q/O STUDIO SUITE	SO	SO
210	KING STUDIO SUITE	SO	SO
211	Q/O STUDIO SUITE	SO	SO
212	KING STUDIO SUITE	SO	SO
213	Q/O STUDIO SUITE	SO	SO
214	KING STUDIO SUITE	SO	SO
215	Q/O STUDIO SUITE	SO	SO
216	KING STUDIO SUITE	SO	SO
217	Q/O STUDIO SUITE	SO	SO
218	KING STUDIO SUITE	SO	SO
219	Q/O STUDIO SUITE	SO	SO
220	KING STUDIO SUITE	SO	SO
221	Q/O STUDIO SUITE	SO	SO
222	KING STUDIO SUITE	SO	SO
223	Q/O STUDIO SUITE	SO	SO
224	KING STUDIO SUITE	SO	SO
225	Q/O STUDIO SUITE	SO	SO
226	KING STUDIO SUITE	SO	SO
227	Q/O STUDIO SUITE	SO	SO
228	KING STUDIO SUITE	SO	SO
229	Q/O STUDIO SUITE	SO	SO
230	KING STUDIO SUITE	SO	SO
231	KING ONE BEDROOM - ACC.	SO	SO
232	KING STUDIO SUITE	SO	SO

31 GUEST ROOMS
 16 KING ONE BED ROOM TYPE
 15 ACCESSIBLE ROOM TYPE

Date: 10/12/2023
 Project: #GV2023006
 Drawn: GFW
 ARC. LISC. REG.
 #AR0009531

Revisions:
 4/16/24 GUEST ROOMS
 4/25/2024 REVISED TO 3 STUDY



561-289-6754

6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467

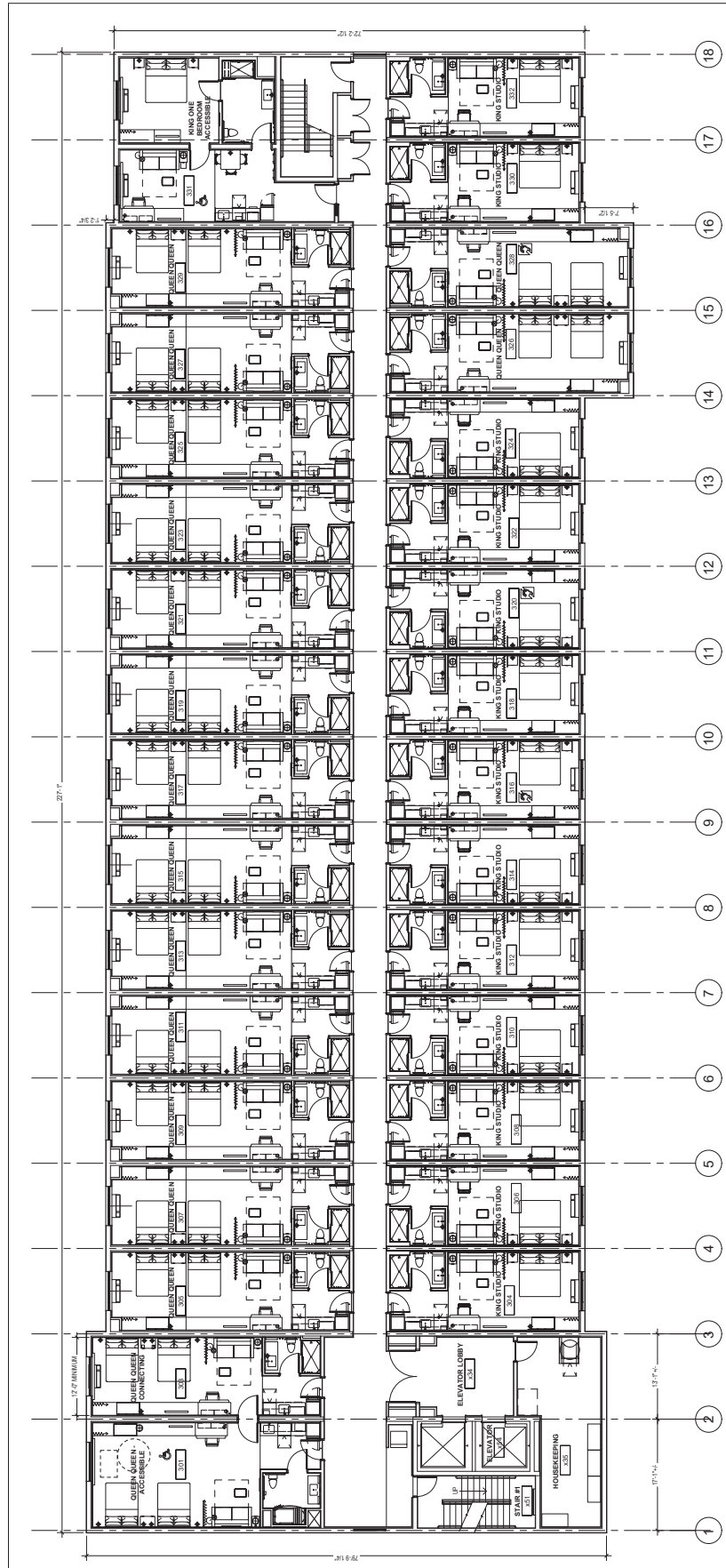
George White
 Loxahatchee Groves, Florida
 ARCHITECT



3RD FL PLAN

Item 2.

A-10



1 THIRD FLOOR PLAN
1/8" = 1'-0"



RM #	TUB/SH.	R/SHOWER	H. IMP.	ADA	3RD FLOOR GUEST ROOMS
316	S				KING STUDIO SUITE
318	S				QO STUDIO SUITE
320	S				KING STUDIO SUITE
321	S				QO STUDIO SUITE
322	S				KING STUDIO SUITE
323	S				QO STUDIO SUITE
324	S				KING STUDIO SUITE
326	S				QO STUDIO SUITE
327	S				KING STUDIO SUITE
328	S				QO STUDIO SUITE
329	S				KING STUDIO SUITE
330	S				QO STUDIO SUITE
331	S				KING ONE BEDROOM - ACC.
332	S				KING STUDIO SUITE

RM #	TUB/SH.	R/SHOWER	H. IMP.	ADA	3RD FLOOR GUEST ROOMS
301	T				QO STUDIO SUITE - ACC.
303	S				QO STUDIO SUITE - CONN.
304	S				KING STUDIO SUITE
305	S				QO STUDIO SUITE
306	S				QO STUDIO SUITE
307	S				QO STUDIO SUITE
308	S				QO STUDIO SUITE
309	S				KING STUDIO SUITE
310	S				KING STUDIO SUITE
311	S				QO STUDIO SUITE
312	S				KING STUDIO SUITE
313	S				QO STUDIO SUITE
314	S				KING STUDIO SUITE
315	S				QO STUDIO SUITE
316	S				KING STUDIO SUITE
317	S				QO STUDIO SUITE

HEARING IMPAIRED ROOM TYPE
 ACCESSIBLE ROOM TYPE

HEARING IMPAIRED ROOM TYPE
 ACCESSIBLE ROOM TYPE

Date: 10/12/2023
 Project #: GVM2023006
 Drawn: GFV
 ARC. LISC. Reg. #AR0009531

Revisions:
 A 4/16/24 GUEST ROOMS
 A 7/25/2024 REVISED TO 3 STORY



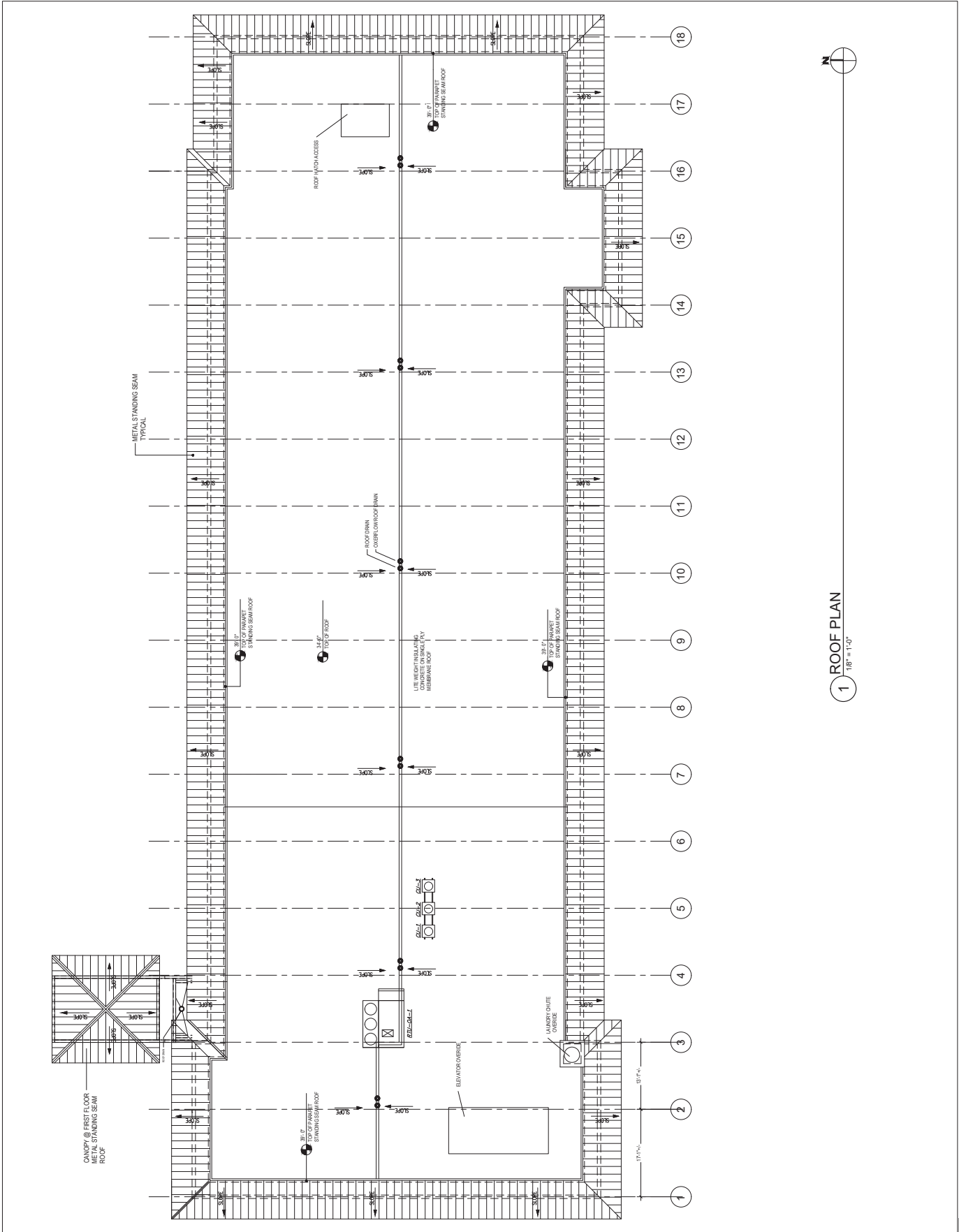
561-289-6754

George White ARCHITECT
 LOXAHATCHEE GROVES, FLORIDA
 6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467

ROOF PLAN

Item 2.

A-10



1 ROOF PLAN
 1/8" = 1'-0"

Date: 10/12/2023
 Project: #GVM2023006
 Drawing: V
 ARC. LIC. Reg.
 #AR0009531

Revisions:
 1. 4/16/24 BEST WORKS
 ADDED MEAN HOOF ELEVATION
 2. 7/25/24
 TOWERS, LOWERED
 3. 9/25/2024 REVISED TO 3 STORY



6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467
 GEORGE WHITE ARCHITECT
 LOXAHATCHEE GROVES, FLORIDA

NORTH & SOUTH
 EXTERIOR
 ELEVATIONS

Item 2.

A-201

LEGEND

- E44 FLOOR FINISH
- E45 COLOR
- E46 COULUMBIA
- E47 SPOKES
- E48 FLOOR FINISH
- E49 COLOR
- E50 SPOKES
- E51 FLOOR FINISH
- E52 COLOR
- E53 SPOKES
- E54 FLOOR FINISH
- E55 COLOR
- E56 SPOKES
- E57 FLOOR FINISH
- E58 COLOR
- E59 SPOKES
- E60 FLOOR FINISH
- E61 COLOR
- E62 SPOKES
- E63 FLOOR FINISH
- E64 COLOR
- E65 SPOKES
- E66 FLOOR FINISH
- E67 COLOR
- E68 SPOKES
- E69 FLOOR FINISH
- E70 COLOR
- E71 SPOKES
- E72 FLOOR FINISH
- E73 COLOR
- E74 SPOKES
- E75 FLOOR FINISH
- E76 COLOR
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- E193 COLOR
- E194 SPOKES
- E195 FLOOR FINISH
- E196 COLOR
- E197 SPOKES
- E198 FLOOR FINISH
- E199 COLOR
- E200 SPOKES

KEYNOTES

1. ALL EXTERIOR WALLS TO BE CONCRETE WITH STUCCO FINISH.
2. ALL EXTERIOR WALLS TO BE CONCRETE WITH STUCCO FINISH.
3. ALL EXTERIOR WALLS TO BE CONCRETE WITH STUCCO FINISH.
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48. ALL EXTERIOR WALLS TO BE CONCRETE WITH STUCCO FINISH.
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50. ALL EXTERIOR WALLS TO BE CONCRETE WITH STUCCO FINISH.

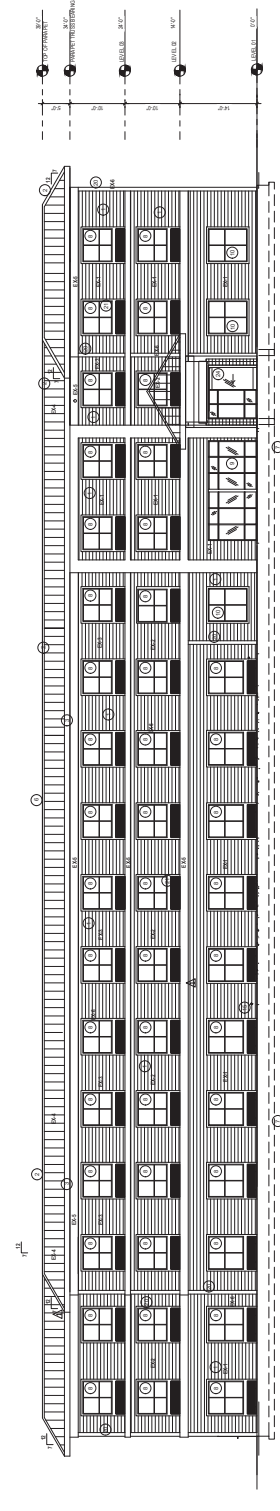
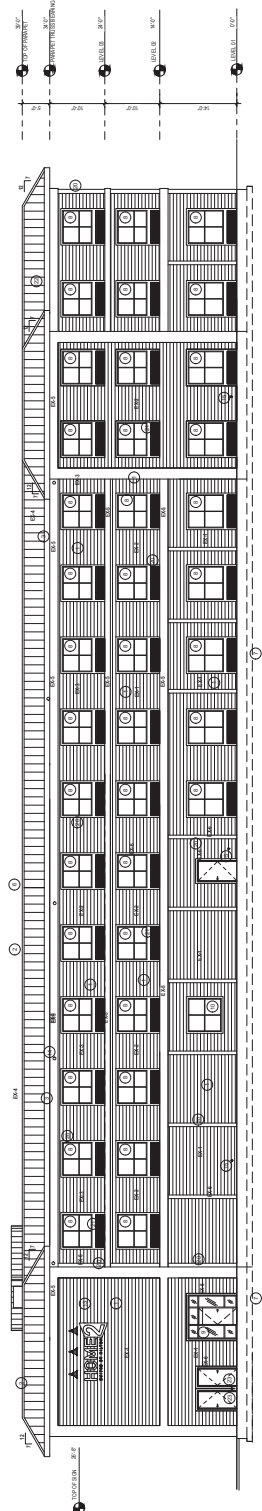
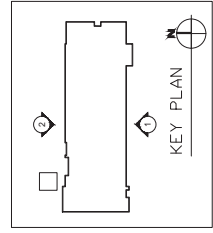
PANTONE
Cool Gray 4 C/P

PANTONE
Cool Gray 3 C/P

PANTONE
P 43-2 C/P

PANTONE
Cool Gray 1 C/P

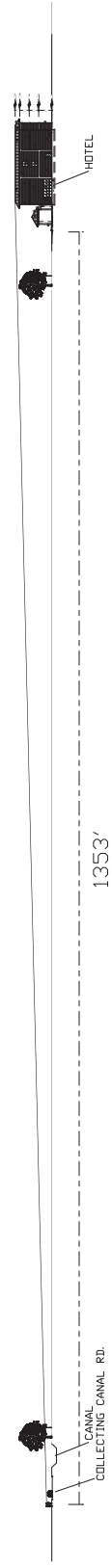
MAT. COLORS





1 AREA MAP
/ NONE

2 SECTION
/ NONE



Date: 10/15/2023
 Project #: HG12023006
 Drawing Title: SITE PLAN
 App. Title: LSC - Reg
 App. No.: MAR0009531

Revisions:
 7/11/24
 7/23/24 TOWERS, LANCED
 8/1/24 ROAD 2
 9/25/24 REVISED TO 3 STORY



561-289-6754

LOXAHATCHEE GROVES, FLORIDA
 George White ARCHITECT
 6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467



SITE DISTANCE

Item 2.

A-20

Date: 10/16/2023
 Project: #GVEE3086
 Drawn by: W
 ARC. LIISC. Reg.
 #ARC009531

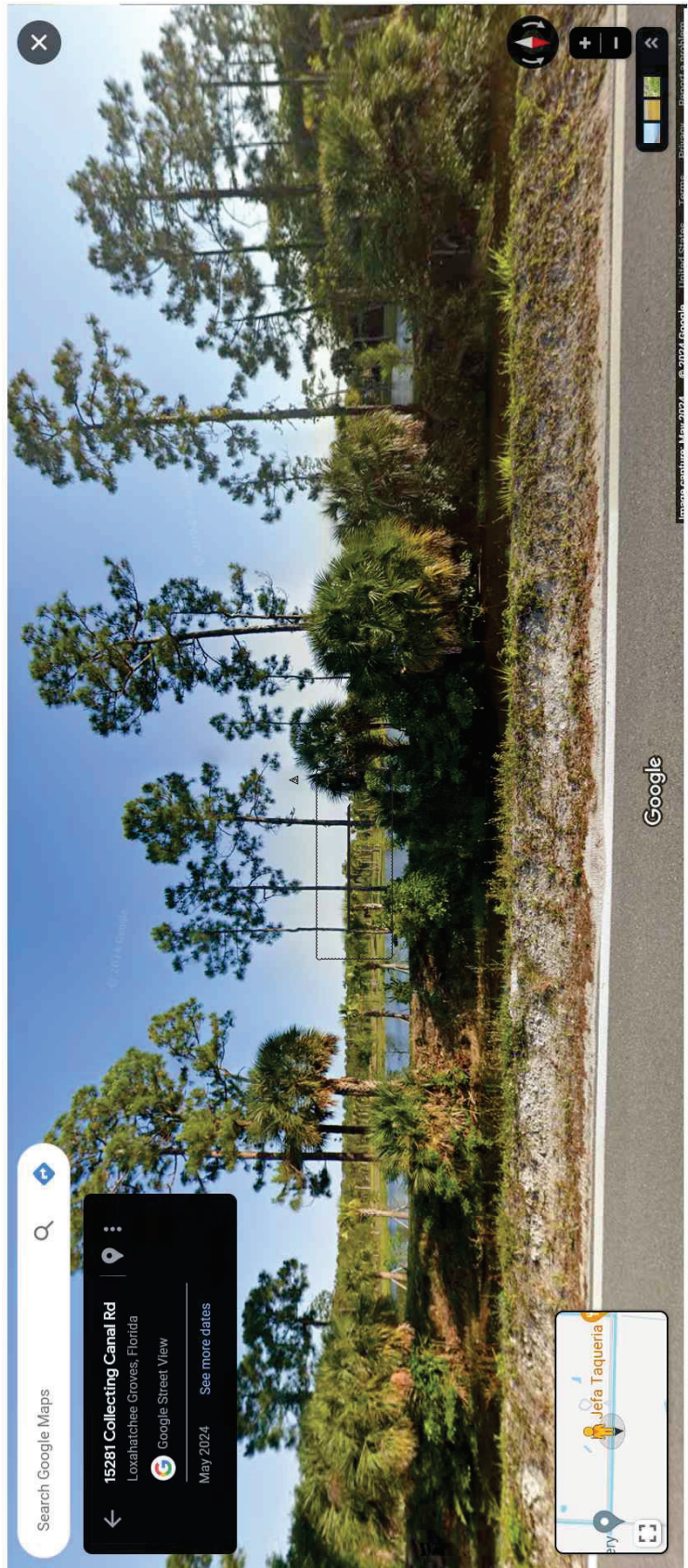
Revisions:
 7/11/24
 7/26/24 TOWNERS LUNCHED
 8/07/24
 9/25/2024 REVISED TP 3 STORY

HOME 2
 SUITES BY NALTON

George White
 LOXAHATCHEE GROVES, FLORIDA
 ARCHITECT
 6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467
 561-289-6754

SITE VIEW

Item 2.



1 VIEW FROM CANAL COLLECTION RD
NONE

Date: 10/12/2023
 Project: #GVR023006
 Drawn: GFV
 ARC. LISC. Reg.
 #AR0009531

Revisions:
 Δ 7/25/24 TOWERS, LDCS/ROOF 3'
 Δ 9/25/2024 REVISED TO 3 STORY

561-289-6754

33467

George White ARCHITECT
 LOXAHATCHEE GROVES, FLORIDA
 6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA

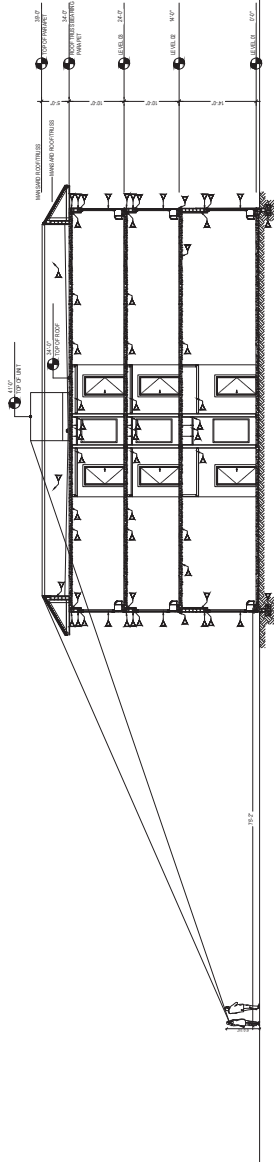


BUILDING SECTION - SIGHT TRIANGLE

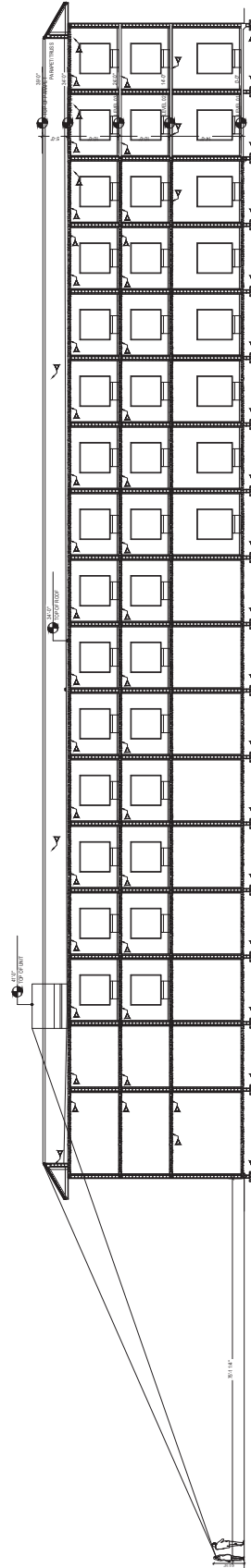
A221

Item 2.

1	REVISIONS	DATE	BY	DESCRIPTION
1	ISSUED FOR PERMIT	10/12/2023	GFV	ISSUED FOR PERMIT
2	REVISIONS	07/25/2024	GFV	TOWERS, LDCS/ROOF 3'
3	REVISIONS	09/25/2024	GFV	REVISED TO 3 STORY



1 BUILDING SECTION - SIGHT TRIANGLE
 1/8" = 1'-0"



1 BUILDING SECTION - SIGHT TRIANGLE
 3/32" = 1'-0"

1/12/2003
 Drawn: GFV
 #R0009531

ARC. LISC. Reg.
 #R0009531

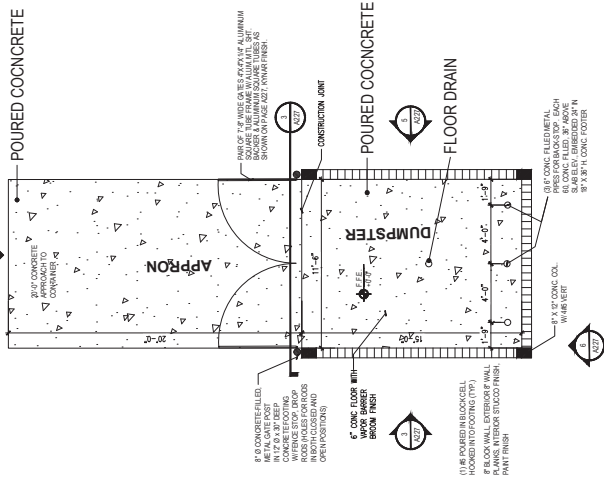
Revisions:
 Δ 1/16/04 QTY COMMENTS
 Δ 4/26/04 EPC COMMENTS

HOME 2 SUITES
 LOXAHATCHEE GROVES, FLORIDA
George White ARCHITECT
 6127 C. DURHAM DRIVE LAKE WORTH, FLORIDA 33467 561-289-6754

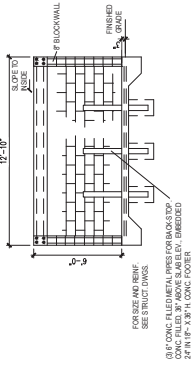
**DUMPSTER
 DETAILS**

A227

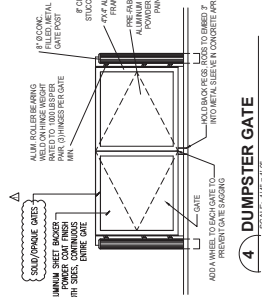
Item 2.



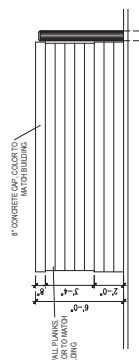
1 DUMPSTER FLOOR PLAN
 SCALE: 1/4" = 1'-0"



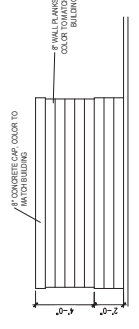
2 DUMPSTER DETAIL
 SCALE: 1/4" = 1'-0"



4 DUMPSTER GATE
 SCALE: 1/4" = 1'-0"



3 DUMPSTER ELEVATION
 SCALE: 1/4" = 1'-0"



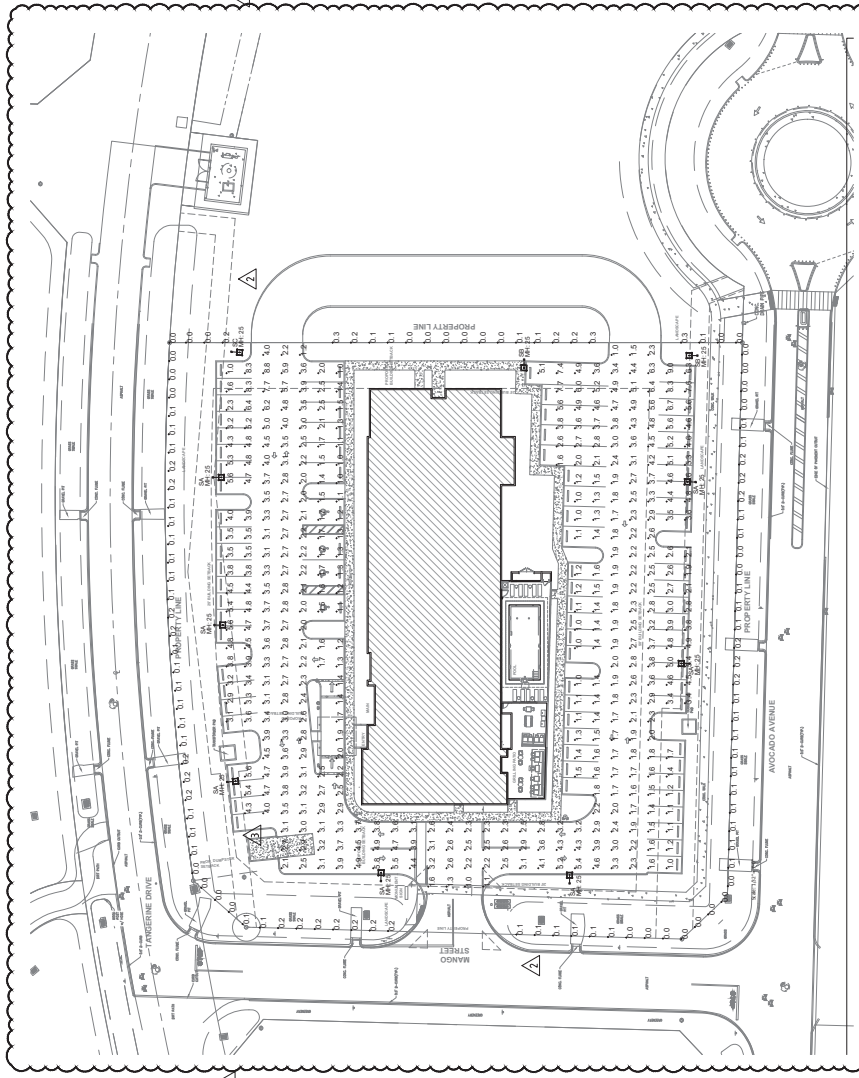
6 DUMPSTER ELEVATION
 SCALE: 1/4" = 1'-0"

George White ARCHITECT
 LOXAHATCHEE GROVES, FLORIDA
 6127 C. DURHAM DRIVE, LAKE WORTH, FLORIDA 33467 561-997-6698



Date: 11/20/2023
 Project #: GW2020068CE20165
 Drawn: DJM
 ARC. LIC. Reg. #480002671

Revisions:
 1. 4/26/2024 ADJC COMMENTS
 2. 4/26/2024 ADJC COMMENTS
 3. 4/26/2024 ADJC COMMENTS
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 100. 4/26/2024 ADJC COMMENTS



ELECTRICAL SITE PLAN - PHOTOMETRIC VALUES

Symbol	Qty	Label	MANUFACT	Description	Avg Lum Lumen	LF	Lum Watts	Total Watts
☐	7	SA	GARCO	EF2-644-UNIVAGARE POLE MOUNT 2P 4FO	21000	6300	2000	14113
☐	2	SB	GARCO	EF2-644-800WAGLOL POLE MOUNT 2P 4FO	10000	6300	125	300
☐	1	SC	GARCO	EF2-644-800WAGLOL POLE MOUNT 2P 4FO	10000	6300	125	300

Label	Unit	Avg	Min	Max	Angle	Mount
PROPERTY LINE	FC	0.10	0.0	N/A	N/A	N/A
SEE PARKING SIGN	FC	3.05	0.0	0.0	0.0	0.00

TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AS DETERMINED BY THE LOCAL AUTHORITY IN ALL ASPECTS AND SECTION 403 OF THE FLORIDA STATUTES.



Beacon Consulting Engineers
 6700 Cass Lane, Suite 300
 Boynton Beach, FL 33435
 561-424-3700
 jvalerius@beaconeng.com
 Electrical & Fire Protection Consulting Engineering

Date: 11/20/2023
 Project #: GW230306RCE230165
 Drawn: DJM
 ARC LSC Reg. #480092571

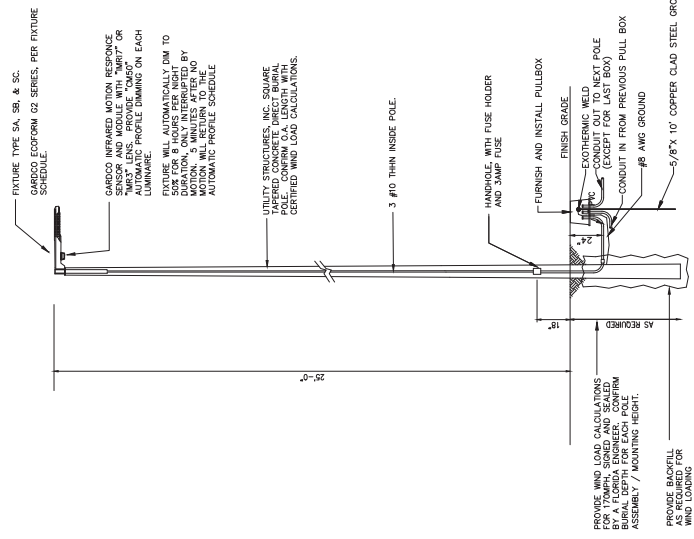
Revisions:
 1. ADJUST COMMENTS
 2. ADJUST COMMENTS
 3. ADJUST COMMENTS



George White ARCHITECT
 LOXAHATCHEE GROVES, FLORIDA 33467
 561-997-6698

E1.0b

Item 2.



LIGHT POLE DETAIL
 Scale: NONE

Site & Area
Ecoform
ECP-3, 3000 area light

Ordering guide

Ordering Code	Ordering Code	Ordering Code	Ordering Code	Ordering Code	Ordering Code	Ordering Code	Ordering Code	Ordering Code	Ordering Code
ECP-3	ECP-3	ECP-3	ECP-3	ECP-3	ECP-3	ECP-3	ECP-3	ECP-3	ECP-3

1. All items are subject to change without notice.
 2. All items are subject to change without notice.
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 9. All items are subject to change without notice.
 10. All items are subject to change without notice.

TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH THE BUILDING CODES AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTIES AND ACCEPT NO LIABILITY FOR THE DESIGN OF THE STRUCTURES.



Beacon Consulting Engineers
 6000 Cass Lane, Suite 100
 Boynton Beach, FL 33435
 561-424-3770
 Mechanical/Electrical/Plumbing/Fire Protection
 Consulting Engineering

April 9, 2024
Revises September 26, 2024

Mr. Daniel J. Zimmer
Solar Sportsystems, Inc.
250 Delaware Avenue
Buffalo, NY 14202

Re: Groves Town Center Hotel - #PTC23-086

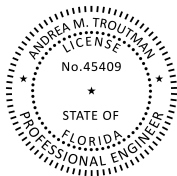
Dear Mr. Zimmer:

The purpose of this letter is to provide a traffic statement for the above referenced project. It is proposed to develop a 81-room hotel within the approved Groves Town Center located in the northeast quadrant of Southern Boulevard and B Road in the Town of Loxahatchee Groves. Access and the buildout year for the site will remain the same. The Parcel Control Number (PCN) for this Site is: 41-41-43-31-13-002-0010. **Attachment 1** provides a summary of the Site Plan submittals to date within Groves Town Center.

A trip generation analysis was conducted using the newest Palm Beach County and ITE, Trip Generation, 11th Edition trip generation rates. The trip generation for the overall Master Plan uses is provided on **Attachment 2A**. **Attachment 2B** provides the cumulative trip generation for the approved and proposed site plans. **Attachment 2C** shows the trips remaining for the Groves Town Center project. It is demonstrated that the trips associated with the approved and proposed site plans do not exceed the approved thresholds for the Groves Town Center project. With no increase above the approved trip thresholds, the requirements of the Traffic Performance Standards have been met.

Please contact me at atrouman@pindertroutman.com if you have any questions or need any additional information.

Sincerely,



Digitally signed by
Andrea M Troutman
Date: 2024.09.26
09:11:54 -04'00'

Andrea M. Troutman, P.E.
President

Attachments

Andrea M. Troutman, State of Florida, Professional Engineer, License No. 45409
This item has been electronically signed and sealed by Andrea M. Troutman, P.E. on 9/26/24 using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

**Attachment 1
Groves Town Center Hotel
Submittals to Date**

Name	Land Use	ITE Code	Intensity	
Wawa	Gas Station w/ C-Store (FP/ SF)	FDOT	16	6,119
Culver's	Fast Food Rest. With DT	934	4,479	SF
Aldi	Shopping Center w/Sup Market	821	21,730	SF
Auto Zone	Shopping Center w/Sup Market	821	7,381	SF
Dental Office	Medical Office	720	4,200	SF
Car Wash	Carwash (Automated)	PBC	1	Lane
PBOI	Medical Office	720	20,200	SF
Hotel*	Hotel	310	81	Rooms

* Current Request.

Attachment 2A
Groves Town Center Hotel
Trip Generation - Approved Master Plan

DAILY

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	% In	Total Trips	Internal Trips		External Trips	Pass-by Trips (1)		New Trips
						Trips	%				
Congregate Care Facility	253	128 DUs	2.21 / DU	50%	283	28	10%	255	-	0%	255
General Office (10k-250k SF)	710	23,000 SF	10.84 / 1000 SF	50%	249	25	10%	224	22	10%	202
Medical Office	720	21,000 SF	T = 42.97(X) - 108.01	50%	794	79	10%	715	72	10%	643
Shop Plaza (40-150k) w/ Sup Market	821	92,149 SF	94.49 / 1000 SF	50%	8,707	522	6%	8,185	3,192	39%	4,993
Drive-In Bank	912	3,600 SF	100.35 / 1000 SF	50%	361	36	10%	325	153	47%	172
Gas Station w/ C-Store (FP/ SF)	FDOT	16 7,251	T = 14.3 X PM Trips	50%	4,419	354	8%	4,065	2,480	61%	1,585
TOTAL					14,813	1,044	7.0%	13,769	5,919		7,850

AM PEAK HOUR

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	% In	Total Trips			Internal Trips		External Trips			Pass-by Trips (1)		New Trips		
					In	Out	Trips	Trips	%	In	Out	Trips			In	Out	Trips
Congregate Care Facility	253	128 DUs	0.08 / DU	58%	6	4	10	1	10%	6	3	9	-	0%	6	3	9
General Office (10k-250k SF)	710	23,000 SF	1.52 / 1000 SF	88%	31	4	35	4	10%	29	2	31	3	10%	26	2	28
Medical Office	720	21,000 SF	3.10 / 1000SF	79%	51	14	65	7	10%	47	11	58	6	10%	42	10	52
Shop Plaza (40-150k) w/ Sup Market	821	92,149 SF	3.53 / 1000 SF	62%	202	123	325	20	6%	192	113	305	119	39%	117	69	186
Drive-In Bank	912	3,600 SF	9.95 / 1000 SF	58%	21	15	36	4	10%	19	13	32	15	47%	10	7	17
Gas Station w/ C-Store (FP/ SF)	FDOT	16 7,251	T = 12.3(FP) + 15.5(X)	50%	155	154	309	22	7%	144	143	287	175	61%	56	56	112
TOTAL					466	314	780	58	7.4%	437	285	722	318		257	147	404

PM PEAK HOUR

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	% In	Total Trips			Internal Trips		External Trips			Pass-by Trips (1)		New Trips		
					In	Out	Trips	Trips	%	In	Out	Trips			In	Out	Trips
Congregate Care Facility	253	128 DUs	0.18 / DU	49%	11	12	23	2	10%	10	11	21	-	0%	10	11	21
General Office (10k-250k SF)	710	23,000 SF	1.44 / 1000 SF	17%	6	27	33	3	10%	5	25	30	3	10%	5	22	27
Medical Office	720	21,000 SF	3.93 / 1000 SF	30%	25	58	83	8	10%	21	54	75	8	10%	19	48	67
Shop Plaza (40-150k) w/ Sup Market	821	92,149 SF	9.03 / 1000 SF	48%	399	433	832	50	6%	374	408	782	305	39%	228	249	477
Drive-In Bank	912	3,600 SF	21.01 / 1000 SF	50%	38	38	76	8	10%	34	34	68	32	47%	18	18	36
Gas Station w/ C-Store (FP/ SF)	FDOT	16 7,251	T = 12.3(FP) + 15.5(X)	50%	155	154	309	31	10%	139	139	278	170	61%	54	54	108
TOTAL					634	722	1,356	102	7.5%	583	671	1,254	518		334	402	736

(1) Source: Palm Beach County Traffic Division and ITE *Trip Generation, 11th Edition*.

**Attachment 2B
Groves Town Center Hotel
Trip Generation - Approved & Proposed Site Plans**

DAILY

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	% In	Total Trips	Internal Trips		External Trips			Pass-by Trips (1)		New Trips	
						Trips	%	In	Out	Trips	In	Out	Trips	
Hotel	310	81 Rooms	7.99 / Room	50%	647	65	10%	582	58	10%	524			
Medical Office	720	24,400 SF	T = 42.97(X) - 108.01	50%	940	94	10%	846	85	10%	761			
Shop Plaza (40-150k) w/ Sup Market	821	29,111 SF	94.49 / 1000 SF	50%	2,751	165	6%	2,586	1,009	39%	1,577			
Fast Food Rest. With DT	934	4,479 SF	467.48 / 1000 SF	50%	2,094	209	10%	1,885	924	49%	961			
Gas Station w/ C-Store (FP/ SF)	FDOT	16 6,119	T = 14.3 X PM Trips	50%	4,176	334	8%	3,842	2,344	61%	1,498			
Carwash (Automated)	PBC	1 Lane	166 / Lane	50%	166	17	10%	149	-	0%	149			
TOTAL					10,774	884	8.2%	9,890	4,420		5,470			

AM PEAK HOUR

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	% In	Total Trips			Internal Trips		External Trips			Pass-by Trips (1)		New Trips		
					In	Out	Trips	Trips	%	In	Out	Trips	In	Out	Trips		
Hotel	310	81 Rooms	0.46 / Room	56%	21	16	37	4	10%	19	14	33	3	10%	17	13	30
Medical Office	720	24,400 SF	3.10 / 1000SF	79%	60	16	76	8	10%	56	12	68	7	10%	50	11	61
Shop Plaza (40-150k) w/ Sup Market	821	29,111 SF	3.53 / 1000 SF	62%	64	39	103	6	6%	61	36	97	38	39%	37	22	59
Fast Food Rest. With DT (2)	934	4,479 SF	0.00 / 1000 SF	51%	-	-	-	-	10%	-	-	-	-	49%	-	-	-
Gas Station w/ C-Store (FP/ SF)	FDOT	16 6,119	T = 12.3(FP) + 15.5(X)	50%	146	146	292	19	7%	137	136	273	167	61%	53	53	106
Carwash (Automated)	PBC	1 Lane	11.97 / Lane	50%	6	6	12	1	10%	5	6	11	-	0%	5	6	11
TOTAL					297	223	520	38	7.3%	278	204	482	215		162	105	267

PM PEAK HOUR

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	% In	Total Trips			Internal Trips		External Trips			Pass-by Trips (1)		New Trips		
					In	Out	Trips	Trips	%	In	Out	Trips	In	Out	Trips		
Hotel	310	81 Rooms	0.59 / Room	51%	24	24	48	5	10%	22	21	43	4	10%	20	19	39
Medical Office	720	24,400 SF	3.93 / 1000 SF	30%	29	67	96	10	10%	24	62	86	9	10%	22	55	77
Shop Plaza (40-150k) w/ Sup Market	821	29,111 SF	9.03 / 1000 SF	48%	126	137	263	16	6%	117	130	247	96	39%	71	80	151
Fast Food Rest. With DT	934	4,479 SF	33.03 / 1000 SF	52%	77	71	148	15	10%	70	63	133	65	49%	36	32	68
Gas Station w/ C-Store (FP/ SF)	FDOT	16 6,119	T = 12.3(FP) + 15.5(X)	50%	146	146	292	29	10%	131	132	263	160	61%	51	52	103
Carwash (Automated)	PBC	1 Lane	13.65 / Lane	50%	7	7	14	1	10%	7	6	13	-	0%	7	6	13
TOTAL					409	452	861	76	8.8%	371	414	785	334		207	244	451

(1) Source: Palm Beach County Traffic Division and ITE *Trip Generation, 11th Edition*.

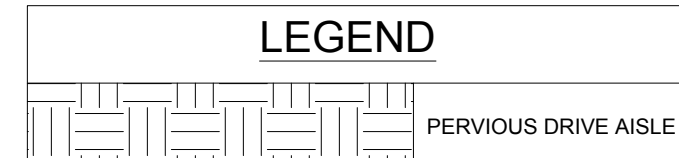
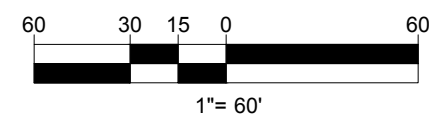
(2) Culver's Restaurant is not open in the AM so no trip generation was shown.

**Attachment 2C
Groves Town Center Hotel
Trip Generation Comparison**

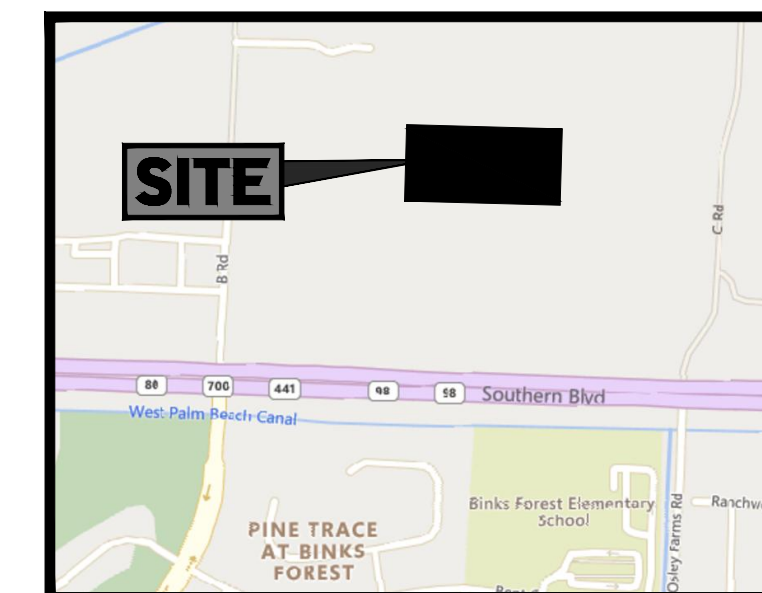
	<u>Daily</u>	<u>AM Peak Hour</u>			<u>PM Peak Hour</u>		
		<u>In</u>	<u>Out</u>	<u>Total</u>	<u>In</u>	<u>Out</u>	<u>Total</u>
Approved Master Plan (1)	7,850	257	147	404	334	402	736
Approved and Proposed Site Plans (2)	<u>5,470</u>	<u>162</u>	<u>105</u>	<u>267</u>	<u>207</u>	<u>244</u>	<u>451</u>
Remaining Trips:	2,380	95	42	137	127	158	285

(1) See Attachment 2A.

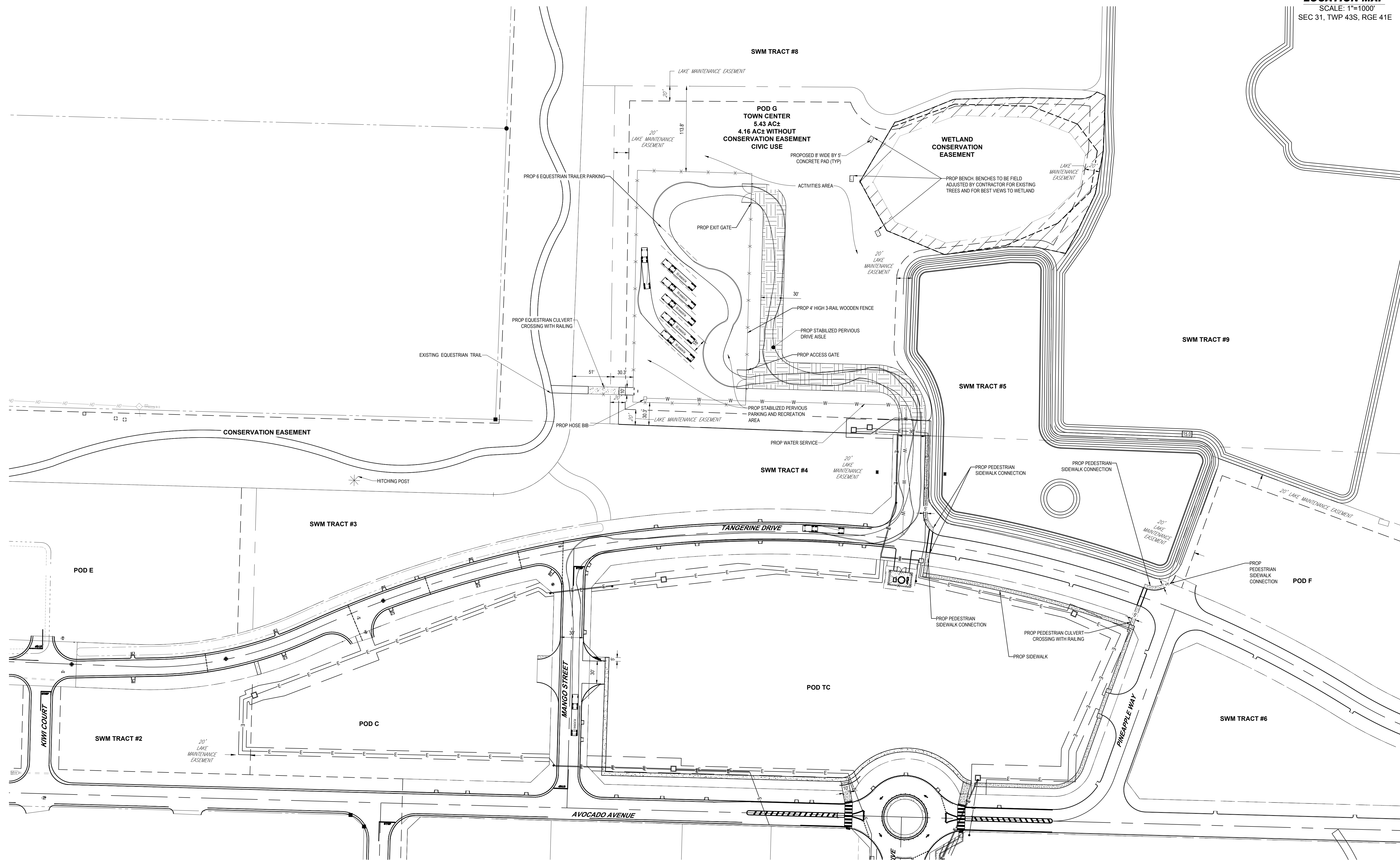
(2) See Attachment 2B.



SITE DATA TABLE	
TOTAL AREA (EXCLUDING CONSERVATION EASEMENT)	4.16 AC
IMPERVIOUS AREA	0 AC
PERVIOUS AREA	4.16 AC



LOCATION MAP
SCALE: 1"=1000'
SEC 31, TWP 43S, RGE 41E



BOHLER //

SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY

Sunshine 811

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SITE PLAN APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	FLC220010
DRAWN BY:	TB
CHECKED BY:	SMM
DATE:	01/07/24
CAD ID:	FLC220010.00-SITE-TC-0

PROJECT:

TOWN COMMONS SITE PLAN

FOR

SOLAR SPORTSYSTEM, INC.

LOCATION OF SITE:
N.E. CORNER OF SOUTHERN BLVD. AND B ROAD
TOWN OF LOXAHATCHEE GROVES
PALM BEACH COUNTY, FL
SEC 31, TWP 43S, RGE 41E

BOHLER //

1 SE 3RD AVE.
SUITE 2700
MIAMI, FLORIDA 33131
Phone: (786) 681-0800

FLORIDA BUSINESS CERT. OF AUTH. No. 50780

SHEET TITLE:
POD G TOWN COMMONS SITE PLAN

SHEET NUMBER:
EX-2

ORG. DATE - 08/06/2024