



**TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
SEPTEMBER 09, 2026
110 EAST MAIN STREET
TOWN COUNCIL CHAMBERS
7:00 PM**

Emily Thomas, Chair
Martha Queiroz, Vice Chair
Susan Burnett, Planning Commissioner
Alan Feinberg, Committee Member
Lee Quintana, Committee Member

IMPORTANT NOTICE

This meeting will be held in person at the location listed above. Members of the public may provide written or oral comments on agenda items by following the instructions listed at the end of the agenda.

CALL MEETING TO ORDER

ROLL CALL

VERBAL COMMUNICATIONS *(Members of the public are welcome to address the Historic Preservation Committee on any matter that is not listed on the agenda and is within the subject matter jurisdiction of the Committee. During special meetings, members of the public are welcome to address the Committee only on items listed on the agenda. Town resources may not be used to facilitate audio or visual presentations. To ensure all agenda items are heard, this portion of the agenda is limited to 30 minutes. In the event additional speakers were not able to be heard during the initial Verbal Communications portion of the agenda, an additional Verbal Communications will be opened prior to adjournment. Each speaker is limited to three minutes or such time as authorized by the Chair.)*

PUBLIC HEARINGS *(Presentations during the Public Hearings portion of the agenda by appellants and applicants, including any expert or consultant assisting with the presentation, shall be limited to a total of no more than five (5) minutes for all speakers. Appellants and applicants shall be provided no more than three (3) minutes to rebut at the end of the public hearing. Visual presentations that require the use of staff resources shall be limited to appellants and applicants. Members of the public testifying at public hearings shall be limited to no more than three (3) minutes, or such time as authorized by the Chair. Items requested/recommended for continuance are subject to the Committee's consent at the meeting.)*

1. Consider a Request for Approval to Construct Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. **Located at 69 Hernandez Avenue.** APN 510-41-015. Request for Review PHST-26-018. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner: Phil Rolla. Applicant: Mike Tinsley. Project Planner: Suray Nathan.

2. Consider a Request for Approval to Construct Exterior Alterations (Windows) on a Pre-1941 Single-Family Residence on Property Zoned R-1:8. **Located at 18 Walnut Avenue.** APN 510-41-011. Building Permit B25-1348. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owners/Applicants: Tom Richards and Lauren Shelly. Project Planner: Sean Mullin.

REPORT FROM THE DIRECTOR OF THE COMMUNITY DEVELOPMENT

COMMITTEE MATTERS

ADJOURNMENT

ADA NOTICE - In compliance with the Americans with Disabilities Act, if you require special assistance to participate in this meeting, please contact the Clerk's Office at (408) 354-6834. Please notify the Clerk's Office at least two (2) business days prior to the meeting so that reasonable arrangements can be made to ensure accessibility in compliance with 28 CFR §35.102-35.104 and related provisions.

NOTICE REGARDING SUPPLEMENTAL MATERIALS - Materials related to an item on this agenda submitted to the Committee after initial distribution of the agenda packets are available for public inspection in the Clerk's Office at Town Hall, 110 E. Main Street, Los Gatos, and on the Town's website at www.losgatosca.gov. Town Committee agendas and related materials can be viewed online at <https://losgatos-ca.municodemeetings.com/>.

HOW TO PARTICIPATE

The Town of Los Gatos strongly encourages your active participation in the public process. If you are interested in providing oral comments during the meeting, you must attend in-person, complete a speaker's card, and return it to the staff. If you wish to speak to an item on the agenda, please list the item number on the speaker card. The time allocated to speakers may change to better facilitate the meeting. If you are unable to attend the meeting in-person, you are welcome to submit written comments via email to planning@losgatosca.gov.

Public Comment During the Meeting:

When called to speak, please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Town meeting.

Speakers at public meetings may be asked to provide their name and to state whether they are a resident of the Town of Los Gatos. Providing this information is not required.

Deadlines to Submit Written Comments:

If you are unable to participate in person, you may email planning@losgatosca.gov with the subject line "Public Comment Item #_" (insert the item number relevant to your comment). Persons wishing to submit written comments to be included in the materials provided to the Commission must provide the comments as follows:

For inclusion in an addendum: by 3:00 p.m. on the day before the Committee meeting.

For inclusion in a desk item: by 11:00 a.m. the day of the Committee meeting.

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TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
REPORT

MEETING DATE: 09/09/2026

ITEM NO: 1

DATE: September 4, 2026
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request for Approval to Construct Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. **Located at 69 Hernandez Avenue.** APN 510-41-015. Request for Review PHST-26-018. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner: Phil Rolla. Applicant: Mike Tinsley. Project Planner: Suray Nathan.

RECOMMENDATION:

Consider a request for approval to construct exterior alterations to an existing pre-1941 single-family residence on property zoned R-1:8, located at 69 Hernandez Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 1900 per County Assessor; 1910 (estimated) per Bloomfield Survey
2. Bloomfield Preliminary Rating: ✓, historic & some altered, but still a contributor to the district if there is one
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? N/A
7. Considerations required? Yes

BACKGROUND:

The County Assessor indicates that the residence located at 69 Hernandez Ave was constructed in 1900, and the 1990 Bloomfield Survey estimates the construction date to be 1910 (Attachment 1). The residence appears on the Sanborn Fire Insurance Map in 1908, and the residence's footprint remained consistent between 1928 and 1956 (Attachment 2).

PREPARED BY: Suray Nathan
Assistant Planner

On October 22, 2025, the Historic Preservation Committee recommended approval for exterior alterations (window replacement) to the Community Development Director with the condition that the applicant modify the proposed windows as shown on Attachment 6. The request was approved with that condition by the Community Development Director on October 27, 2025.

DISCUSSION:

The applicant is requesting approval to replace non-original wood shingles with Hardie board shingles; relocate the front door to face the street; and remove the rear porch and railing and replace it with a stone patio.

Shingle Replacement

The applicant requests approval to replace 480.7 square feet (17 percent of the total façade surface) of non-original wood siding with composite Hardie board shingles. Town records confirm that this siding was installed as part of a second-story addition constructed on the subject residence in 1981 and is currently in poor condition due to deferred maintenance (Attachments 3, 5, and 6). Following a site inspection, the Community Development Director determined that the siding has deteriorated beyond reasonable repair, fails to meet acceptable construction standards, and requires full replacement.

Pursuant to Town Code Section 29.10.020, replacement of exterior siding must be executed in-kind to maintain the structure's existing architectural appearance and historic character. However, the applicant proposes installing composite Hardie board shingles instead of in-kind materials. As detailed in the Letter of Justification, the applicant asserts this material substitution is warranted because the property is situated within a Very High Fire Hazard Zone and Hardie shingles offer superior ignition resistance while closely matching the appearance of the existing wood shingles (Attachments 3 and 9).

The Residential Design Guidelines provides the following recommendations related to building materials:

4.8.2 Building Materials

- Composite, synthetic, metal, vinyl, plastic or fabricated/ imitation wood products, painted brick or imitation used brick will generally not be approved. However, some exceptions may be made on a case-by-case basis when the decision-making body determines that the replacement is consistent with the appearance of the original material and that a layperson would be unlikely to discern the difference. The burden of proof will reside with the applicant. Material samples, photographs, and specific locations where the material may be seen in use will all assist in the evaluation of alternative materials.

Relocation of Front Door

The applicant requests approval to relocate the primary entrance from the west elevation (facing Walnut Avenue) to the north elevation (facing Hernandez Avenue). According to the applicant's Letter of Justification, historic photographs indicate that the original front door was shifted when the front porch was enclosed; therefore, the proposed relocation would restore the entry to its historic configuration and align with the residence's original architectural character (Attachments 3, 4, and 9).

Rear Porch and Railing

The applicant requests approval to remove an existing rear wood porch and railing and construct a smaller stone replacement porch. According to the applicant's Letter of Justification, the existing porch has fallen into disrepair, and the proposed stone design is intended to better align with the scale and character of the rear yard and overall site. Town records and historical documentation do not confirm whether the rear porch was part of the residence's original construction. A review of the 1981 building permit, issued for a second-story addition and foundation retrofitting, contains no reference to an existing rear porch or plans for constructing a new one. (Attachments 3, 4, and 9).

CONSIDERATIONS:

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

- ___ For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

CONCLUSION:

The applicant is requesting approval to replace the non-original wood shingles with Hardie board shingles, relocate the front door to face the street, and remove the rear porch and railing and replace it with a stone patio. Should the Committee find merit in the request, a recommendation of approval would be forwarded to the Community Development Director, and the project would be completed with a Building Permit. The project would not return to the Committee.

PAGE 4 OF 4

SUBJECT: 69 Hernandez Ave/ PHST-26-018

DATE: September 4, 2026

ATTACHMENTS:

1. 1990 Anne Bloomfield Survey
2. Sanborn Fire Maps
3. Letter of Justification
4. Historic Evaluation, Provided by Applicant
5. Town Permit Records
6. Town Records - Provided by Applicant
7. HPC Conditions for Window Replacement, October 22, 2025
8. Section 3.9, Residential Design Guidelines
9. Development Plans

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 69 Hernandez

PARCEL MAP INFORMATION

Parcel # 510-41-015 Lot size: 67? front ft. x 113 ft. deep

Lot shape: Rectangle 8 L 8 Rectangle with small rear jog 8 Other 8

Location: N 8 S 8 E 8 W 8 side of H St 8 Ave 8 Other 8

distance to cross st: 8 ft. N 8 S 8 E 8 W 8 from 8

at NE 8 NW 8 SE 8 SW 8 corner of Walnut

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name Glen Ridge Park Old Block # 2 Old lot # pts 9+10

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating ✓ Estimated age 1910s? Style Colonial Rev. # stories 8

Alterations some windows — chimney

Other 8

COUNTY ASSESSOR---PROPERTY CHARACTERISTICS (paste on copy) Page 8 Effective date 8

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1941				

MISCELLANEOUS

National Register listed date 8

County Inventory 1979 8

Town of Los Gatos: Designation 8 Recognition 8

District Name 8

Previous Survey 8

Cobbard: page # 8 illustration page # 8

EVALUATION. Date 1907 (San)

Glen Ridge Contributor 8

Best known District Non-contrib 8

Resident 8

Page 9 8

ct(s): 8

Alterations: Moved 8

Raised 8 Porch encl 8

Addition 8 Siding 8

Windows 8 Condition 8

Designer: a 8 b 8 d 8

PHOTOS: Roll/frame # 032/12, 13 Date 15-2-90



ATTACHMENT 1

ARCHITECTURAL HISTORY
(415) 922-1063
2229 WEBSTER STREET
SAN FRANCISCO, CA 94115

relevant dates: construction_____. birth_____. death_____. other_____

Year	Book	Name/Classified Heading	Listing (copy entire, exactly as shown; use * for boldface)
1971	1	...	...
1972	2	...	...
1973	3	...	...
1974	4	...	...
1975	5	...	...
1976	6	...	...
1977	7	...	...
1978	8	...	...
1979	9	...	...
1980	10	...	...
1981	11	...	...
1982	12	...	...
1983	13	...	...
1984	14	...	...
1985	15	...	...
1986	16	...	...
1987	17	...	...
1988	18	...	...
1989	19	...	...
1990	20	...	...
1991	21	...	...
1992	22	...	...
1993	23	...	...
1994	24	...	...
1995	25	...	...
1996	26	...	...
1997	27	...	...
1998	28	...	...
1999	29	...	...
2000	30	...	...
2001	31	...	...
2002	32	...	...
2003	33	...	...
2004	34	...	...
2005	35	...	...
2006	36	...	...
2007	37	...	...
2008	38	...	...
2009	39	...	...
2010	40	...	...
2011	41	...	...
2012	42	...	...
2013	43	...	...
2014	44	...	...
2015	45	...	...
2016	46	...	...
2017	47	...	...
2018	48	...	...
2019	49	...	...
2020	50	...	...

[illegible]

initials date

Mark 'X' (info. or 'S' (nothing found) at each source you try. List findings below.

Los Gatos Library:

- ___ City directories (name & street index) ___
- ___ Historic Collection Index (green boxes) ___
- ___ Thompson & West, 1876 (bio index) ___
- ___ Pen Pictures, 1988 (bio index) ___
- ___ Sunshine Fruit & Flowers, 1895 (bio index) ___
- ___ Guinn, 1904 (bio index) S
- ___ Sawyer, 1922 (bio index) ___
- ___ Bruntz, Hist'y of LG, 1971 (bio index) ___
- ___ Extended index to Bruntz ___
- ___ Bio index of Munroe Frazer, 1881 (Survey b
- ___ Photo collection (2 boxes) 0

California History Center, De Anza College:

____ Biographical file
Photo collection

San Jose Historical Museum:

- Great Registers (of voters)
- Indexes
- Photo collection

Other sources:

- Indexes, California Historical Quarterly
- State Library Information Index (fiche)
- State Library-S.F. Newspaper Index ("

Los Gatos Museum (Forbes Mill):

- Death records by year
- Funeral records (index cards to big books)
- Photo collection

III. LIST ALL REFERENCES FROM ABOVE. Find them. Copy good material & attach. Or copy below if only a few words. Or explain why not relevant (as, wrong person).

file address 69 Hernandez

PUBLISHED ANNOUNCEMENTS

Source: A&E Bulletin CA&BN Call Chron DPB Ed. AB EX News PCA Other
 Volume Date Page

Nature of announcement: ☐ Contract notice ☐ Notice of completion ☐ BP issued ☐ Photo ☐ Elev/sketch/rend'g ☐ Floor plan ☐ Arch't/cont'r pub ☐ Real est.
Copy exactly:

<u>Owner</u>	<u>Builder/Contractor</u>	<u>Architect/Engineer</u>	<u>Location</u>	<u>Nature of work</u>	<u>Cost</u>

<u>Initials</u>	<u>Date</u>

BUILDING PERMITS

Address requested _____

[illegible]

OTHER SOURCE (specify thoroughly)

Initials	Date
----------	------

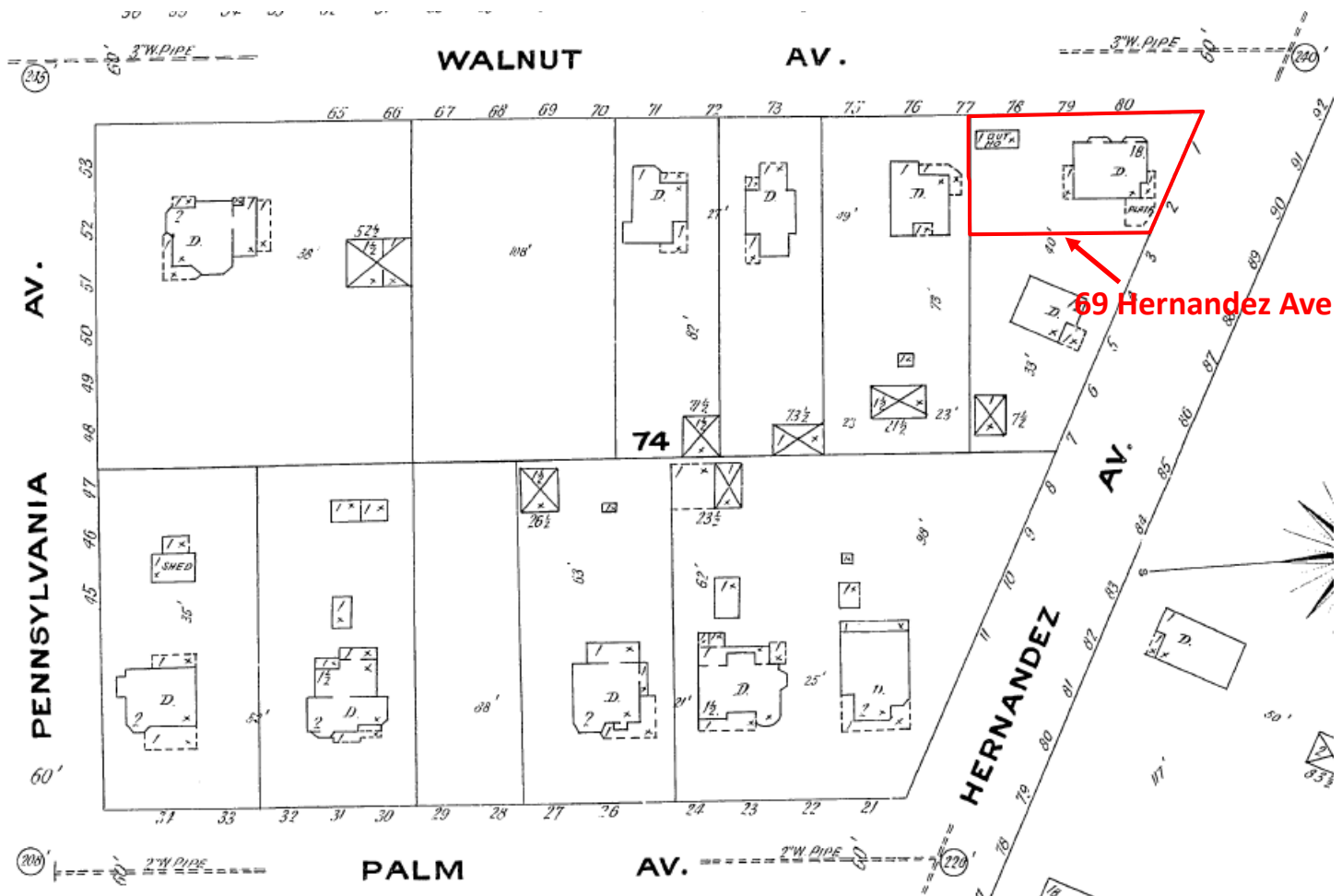
SANBORN MAPS

SANBORN MAPS			Color: yel, pnk, orange blu, gry green		Patches Yes/ No		No. of stories		Height (ft.)		No. of bay windows		Porch		Differences from today in: Use Stories Footprint			Date of constr.		Describe or sketch plan	
Date	Vol/ page	Vac. or dif. bldg	Address	Use	Use/ No	No. of stories	Height (ft.)	No. of bay windows	Porch	Use	Stories	Footprint	Date of constr.	Describe or sketch plan							
1895	12	Vac.																			
1904	5	"																			
1908	6	this	1224-	D	-	13	-	2 on Wal.	2 + auto shed												
1928	14	"	694- (ex 12)	"	"	1		0	2 +												

Page 11

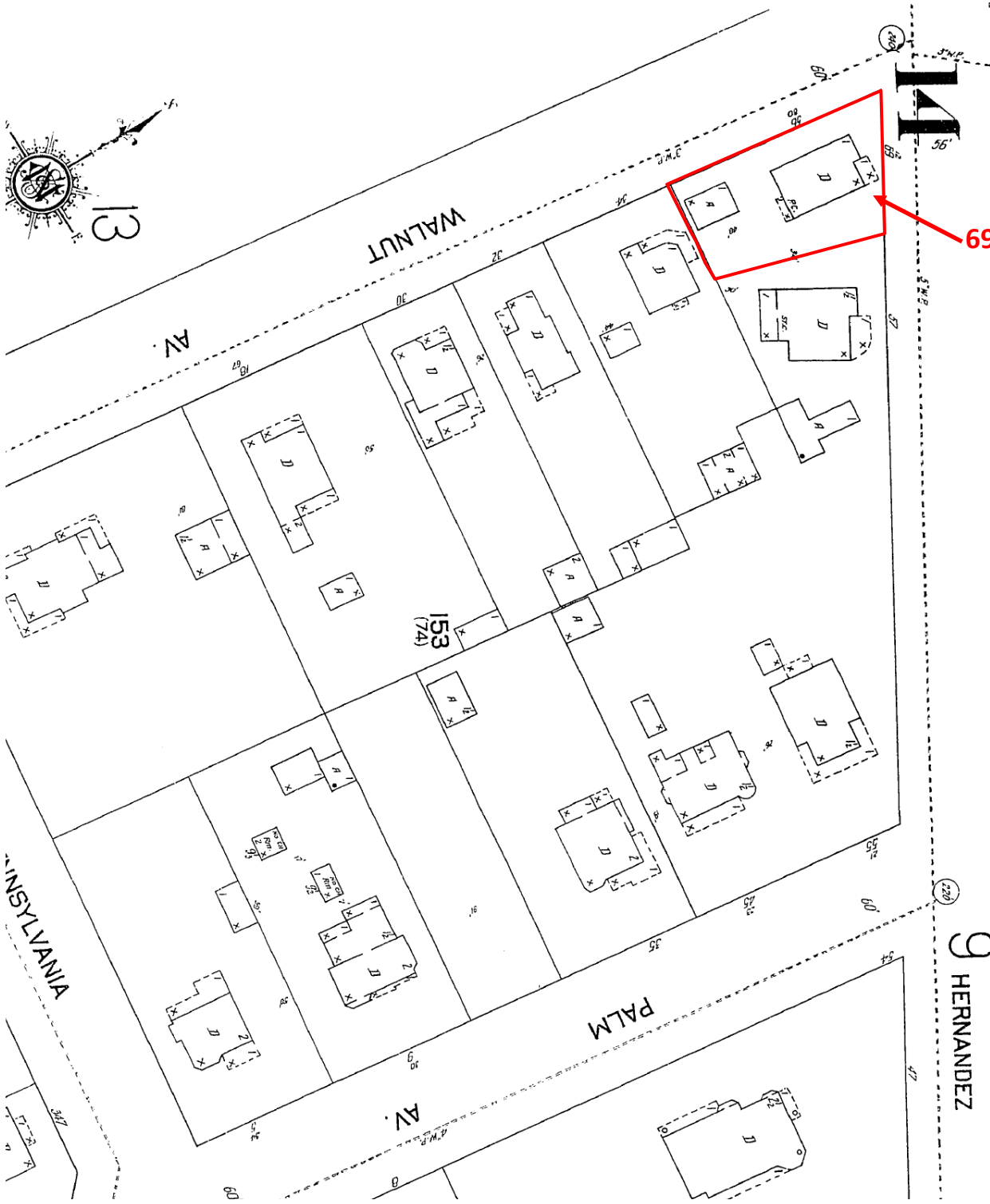
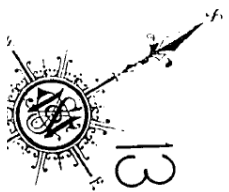
Initials	Date
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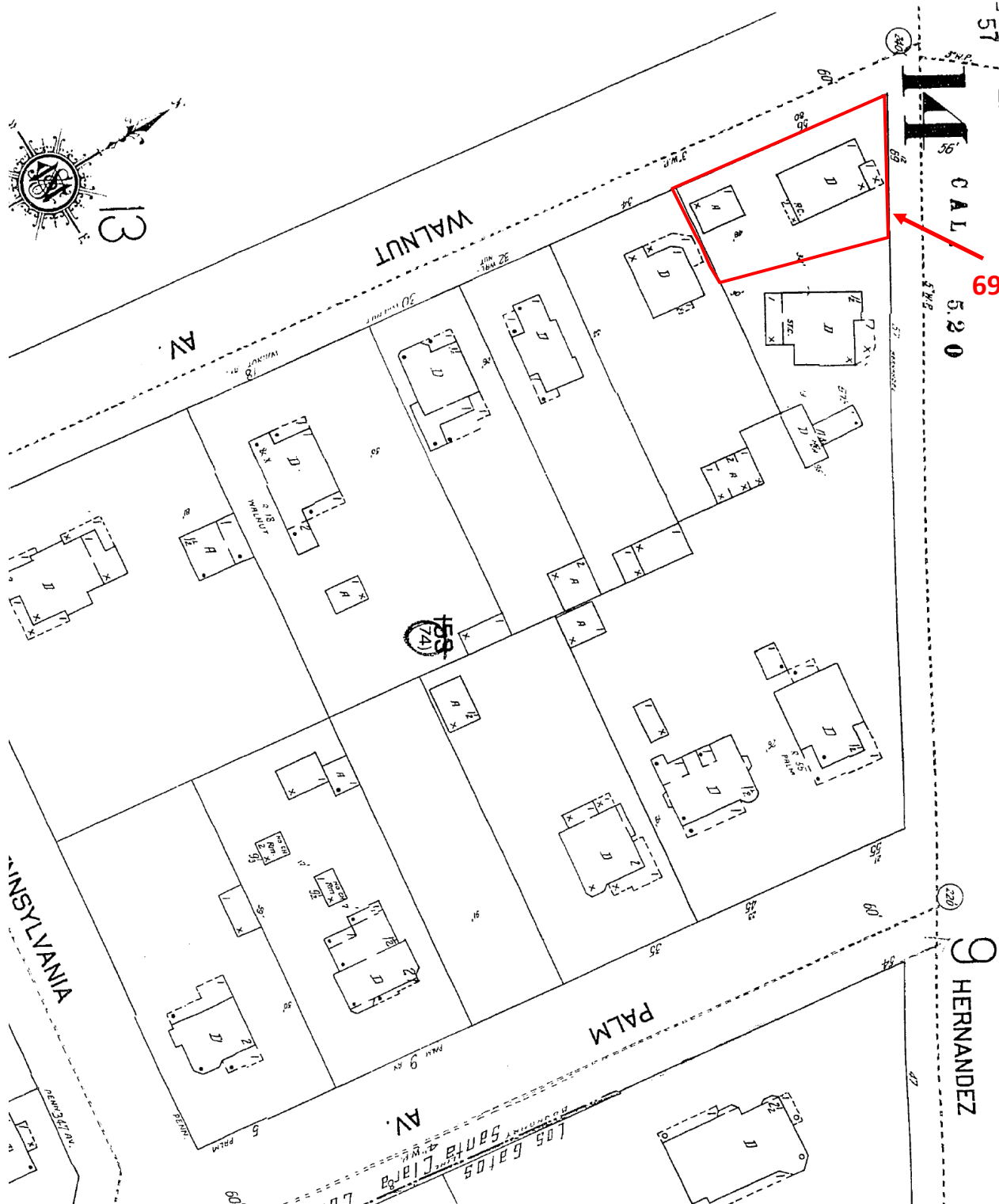
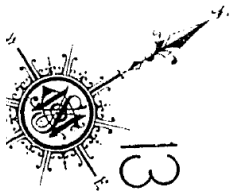
1908

ATTACHMENT 2



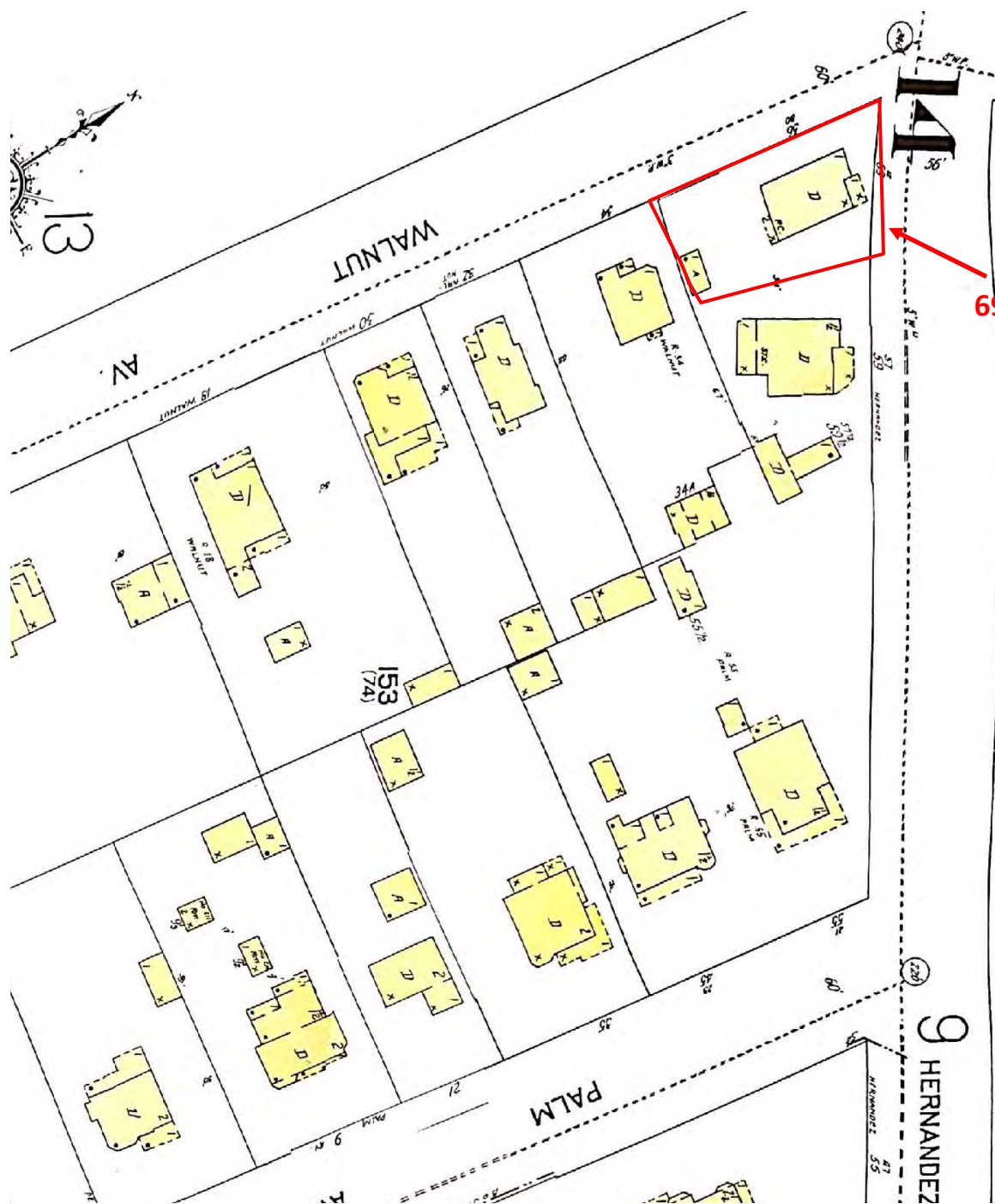
69 Hernandez Ave

1928



69 Hernandez Ave

1944



69 Hernandez Ave

1956



105 Locust St., ste. D
Santa Cruz, CA. 95060
408/705.6763

6 August,, 2026

Town of Los Gatos Planning Dept.

Sean Mullin
110 E. Main St.
Los Gatos, CA. 95030

Re: New Garage – 69 Hernandez Avenue

Dear Mr. Mullin,

Pursuant to our site meeting on July 27, 2026, please find the attached drawings and application to replace the Upper Level siding at 69 Hernandez Avenue for your review.

The Upper Level was an addition approved by the Town under permit number B-9441 in 1981. The shingle siding and flashing have not been maintained over the years and have fallen into a state of disrepair. Photo attached.

Other nearby properties that have James Hardie Shingle siding at the Upper Level:

130 Wissahickon Ave.

18 and 35 Palm Ave.

This property is located in the “Very High” Fire Hazard Area according to the Fire Hazard Severity Zones Map dated June 17, 2025. The exterior siding is required to be ignition resistant. We have selected Hardie Board and Batten by James Hardie to match, as closely as possible, the existing shingle siding.

The Hardie shingle siding allows for the outside corners to be woven together so we can match the existing edge profile of the structures. No corner trim is proposed.

In keeping with the historic fabric of the neighborhood, we are proposing to relocate the front door so that it faces the street, centered on the front porch steps. According to a photograph in the historic research, the original door faced the street prior to being moved to its current location when the front porch was enclosed at some unknown date. The door will be a solid wood door with two 12” wide full height sidelights.

The rear porch has also fallen into a state of disrepair and rot. We are proposing to replace the wood porch with a stone porch and steps of a smaller scale in order to be more in scale with the backyard and site.

Sincerely,

A handwritten signature in black ink, appearing to read "Mike Tinsley".

Mike Tinsley, Architect

License #: C-30944



View of Upper Level addition from South. The top 2 rows under the eaves are how the shingles are supposed to look. Once the shingles get below the protection of the roof, they have become splayed. Particularly at the building corners



View of rear porch from Walnut Ave.



View of non-original front door location. Street view from Hernandez Ave

Archaeological Resource Management

*Robert R. Cartier, Ph.D.
496 North 5th Street
San Jose, CA 95112
Telephone (408) 295-1373
Fax (408) 286-2040
email: armcartier@netscape.net*

Mr. Phil Rolla
69 Hernandez Ave
Los Gatos, CA. 95030

July 10, 2025

RE: HISTORIC EVALUATION OF THE RESIDENCE AT 69 HERNANDEZ AVENUE IN
LOS GATOS

Dear Mr. Rolla:

As per your request our firm is submitting the enclosed historical evaluation of the residence at 69 Hernandez Avenue in Los Gatos. Based upon the requirements of the Town of Los Gatos, a methodology was designed which included the following services:

- an evaluation of the structures based on the criteria of the NRHP and CRHR
- an evaluation of the structures using the criteria of the Town of Los Gatos Historic Preservation Ordinance
- State Historic Resources Evaluation forms (DPR 523) for the structures

The current proposed plans for the property include expansion of the 2nd floor addition, demolition of the detached garage, and construction of a new garage with an ADU above.

The residence at 69 Hernandez Avenue is not currently listed in the California Register of Historic Resources (CRHR), or the National Register of Historic Places (NRHP). In addition, it does not appear to be eligible for listing in either of these registers.

The structure at 69 Hernandez Avenue is not located within a recognized historic district for the Town of Los Gatos and is not currently listed within the LHP overlay. The structure was constructed Circa 1900, and thus before 1941. However, the residence is lacking in historic association and architectural interest and has been heavily modified from its original form.

Thus the structure at 69 Hernandez Avenue does not appear to be historically significant, and no further recommendations are being made.

Sincerely,

A handwritten signature in cursive script, appearing to read "Robert Cartier".

Robert Cartier, Ph.D.
Principal Investigator

RC/dj

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 13 Resource Name or # 69 Hernandez Avenue

P1. Other Identifier: Speedee Mart Building

P2. Location: _____ Not for Publication ☒ Unrestricted *a. County Santa Clara
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Los Gatos, CA Date: 2021 T ; R ; 1/4 of 1/4 of Sec ; BM

c. Address: 69 Hernandez Avenue City: Los Gatos Zip: 95030

d. UTM: 10S 5 89 480mE/41 20 405mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

APN: 510-41-015

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)
The structure at 69 Hernandez Avenue is a two story vernacular residence in fair condition. The structure is roughly rectangular in form, oriented lengthwise off of Hernandez Avenue, at the southeast corner of Hernandez and Walnut Avenues. The primary roof is hipped and moderately pitched, surfaced with composition shingles. A front-gabled wing extends from the front façade. A slightly lowered hipped roof of shallower pitch extends over the enclosed porch addition to the eastern façade. The second story addition also features a hipped roof of moderate pitch. The eaves are somewhat broad and open, with exposed rafters.

See Continuation Sheet Page 4

*P3b. Resource Attributes: HP06 (commercial 1-3 stories)

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object District ☐ Element of District ☐ Site ☐ Other

P5a. Photo or drawing (Photo required for buildings, structures, objects.)



P5b. Description of Photo: (View, date, accession #)
View of the front façade of 69 Hernandez Avenue

*P6. Date Constructed/Age and Sources

Historic ☒ Prehistoric ☐ Both ☐
Constructed Circa 1900 based on County of Santa Clara Appraiser's property records

*P7. Owner and Address:

Phillip & Gwynne Rolla
69 Hernandez Avenue
Los Gatos, CA 95030

*P8. Recorded by:

Robert Cartier
Archaeological Resource Management
496 North 5th Street
San Jose, CA 95112

*P9. Date Recorded: 7/10/2025

*P10. Survey Type: Intensive

*P11. Report Citation: (Cite Survey Report and other sources, or enter "none.")
None

* Attachments: ☐ None ☒ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact
Record ☐ Photographic Record ☐ Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 13

*NRHP Status Code

*Resource Name or # (Assigned by recorder) 69 Hernandez Avenue

B1. Historic Name: _____

B2. Common Name: 69 Hernandez Avenue

B3. Original Use: Residential

B4. Present Use: Residential

*B5. Architectural Style: Vernacular

*B6. Construction History: (Construction date, alterations, and date of alterations)

Based upon visual evaluation and available documentation, the residence at 69 Hernandez Avenue was constructed Circa 1900. Numerous modifications and additions to the home have been made including the enclosing of the original wrap around porch and entry, relocation of the porch and entry to the western side of the front façade, a rear addition and the addition of the second story in 1981 (BP# 9441), reroofing in 1992 (BP# 24863), replacement of the original chimney, and replacement of many of the original windows.

*B7. Moved? x No Yes Unknown Date: Original Location:

*B8. Related Features:

Also present on the property is a detached garage, which appears to be of late 20th Century construction.

B9a. Architect: unknown

b. Builder: unknown

*B10. Significance: Theme architecture & shelter

Area Santa Clara, CA

Period of Significance 1900-

Property Type private residential

Applicable Criteria N/A

The land on which the subject structure now stands consists of a portion of the Rancho Rinconada De Los Gatos. In 1876, the subject property made up a portion of the lands of W. McCormick (Thompson & West 1876). By 1890 the property was owned by the S. and L.G. Real Estate Association (Official Map of Santa Clara County, 1890). The subject property consists of a portion of Lots 9 & 10 of Block 2, as shown on the "Map of Glen Ridge Park" dated April 11, 1891 (Book E of Maps, Page 97). Based upon County of Santa Clara Appraiser's records, the residence at 69 Hernandez Avenue was constructed Circa 1900. The earliest known owners of the home were George and Elizabeth Miller. George was born in 1862 in Ireland, and emigrated to the United States with his family in 1880. George and Elizabeth are listed as residing on Hernandez Avenue in the US Census of 1920, where George is noted to be employed as a farmer/orchardist.

See Continuation Sheet, Page 4

B11. Additional Resource Attributes: (List attributes and codes) N/A

*B12. References:

See Continuation Sheet, Page 7

B13. Remarks:

*B14. Evaluator: Robert R. Cartier

*Date of Evaluation: 7/10/2025

(This space reserved for official comments.)

LOCATION MAP

Primary # _____

HRI # _____

Trinomial _____

Page 3 of 13

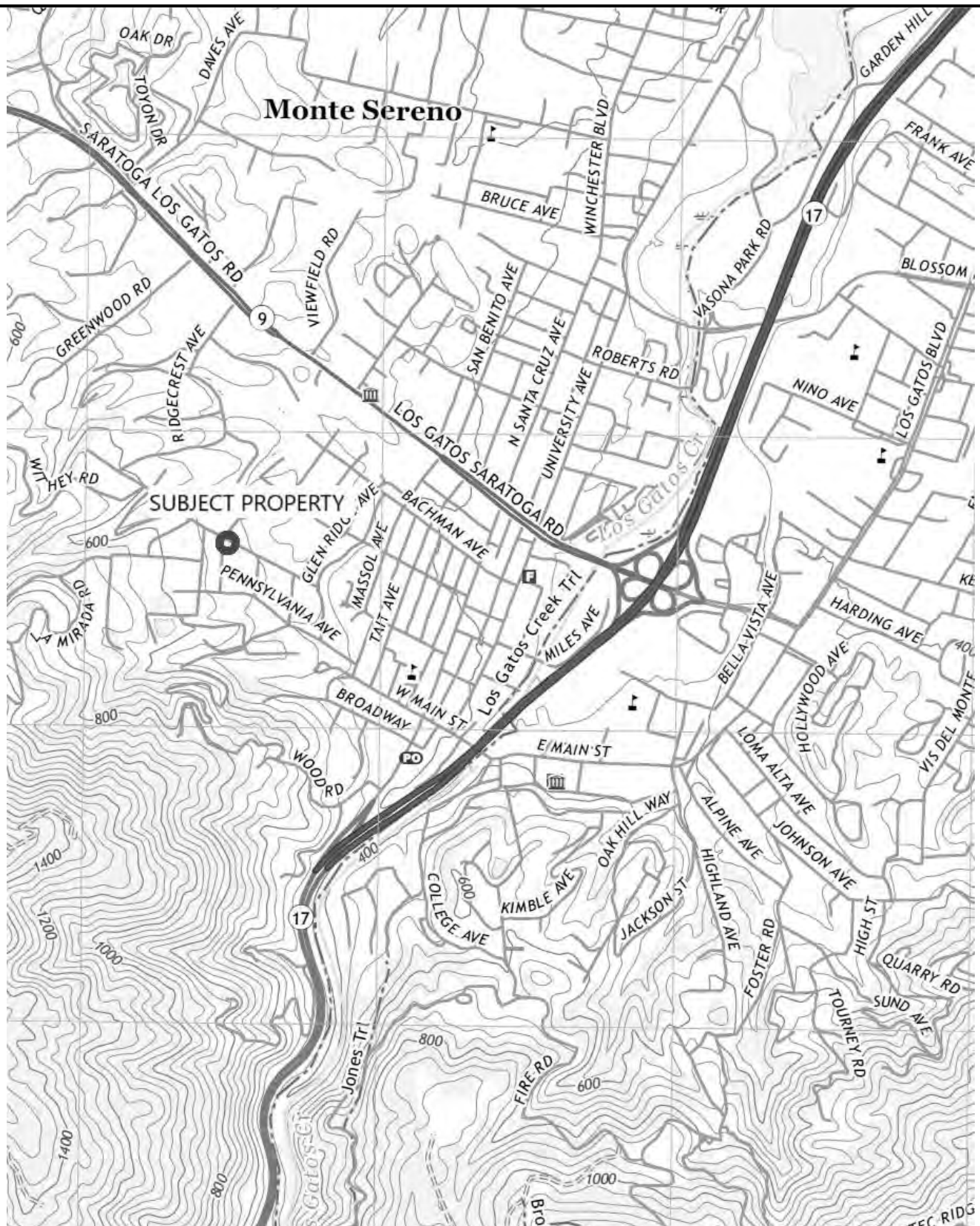
Resource Name or # (Assigned by recorder) _____

69 Hernandez Avenue

*Map Name: Los Gatos, CA

*Scale: 7.5 Minute

*Date of Map: 2021



CONTINUATION SHEET

Page 4 of 13

*Resource Name or # (Assigned by recorder)

69 Hernandez Avenue

*Recorded by Archaeological Resource Management

Date 7/10/2025

Continuation

x Update

Continued from P3a:

Exterior walls are surfaced with narrow horizontal wooden siding on the first floor, with wood shingle siding on the second story addition. The original fenestration is wooden framed and primarily in a double-hung sash configuration, however the majority of the windows appear to be non-original. The front façade features a recessed porch accessed via a brick stairway, both of which appear to be non-original.

Continued from B10:

George Miller retained ownership of the property until his death on March 26, 1938. On September 27, 1938 the property was granted by his estate to Bertha Goldstein (Book 899 OR, Page 231). Bertha Goldstein (later Bertha Passavoy) owned the property until her death in 1979. On November 9, 1979 the property was granted by her estate to Lillian Varadi and Eboly Frankel (Book E973 OR, Page 490). On May 22 of 1980 they granted the property to Brian and Christina Barnett and Robert and Carol Palmer (Book F340 OR, Pages 82-84). The 2nd story was added to the residence during their ownership of the property, in 1981. On October 22, 1981 the property was granted to Norman and Nancy Nason (Book G405 OR, Page 747). On October 5, 1982 they granted the property to Dennis and Jocelyn Penner (Book H063 OR, Page 739). Jocelyn Penner retained ownership of the property until April 24, 2025, when it was granted to Phillip and Gwynne Rolla, who are the current owners (Assessor's Doc#25803591).

Los Gatos Historic Building Inventory

The Los Gatos Town Code (Sec. 29.80.215) states that "The purpose of historic preservation is to promote the health, safety and general welfare of the public through:

- (1)The protection, enhancement, perpetuation and use of structures, sites and areas that are reminders of past eras, events and persons important in local, State, or National history, or which provide significant examples of architectural styles of the past or are landmarks in the history of architecture, or which are unique and \ irreplaceable assets to the Town and its neighborhoods, or which provide for this and future generations examples of the physical surroundings in which past generations lived.
- (2)The development and maintenance of appropriate settings and environment for such structures.
- (3)The enhancement of property values, the stabilization of neighborhood and areas of the Town, the increase of economic and financial benefits to the Town and its inhabitants, and the promotion of tourist trade and interest.
- (4)The enrichment of human life in its educational and cultural dimensions by serving aesthetic as well as material needs and fostering knowledge of the living heritage of the past.

(Ord. No. 1316, § 4.86.010, 6-7-76; Ord. No. 1328, 8-2-76; Ord. No. 2041, § IV, 2-2-98)

The Town of Los Gatos recognizes a structure as historic if any one of the following apply:

1. Any structure / site that is located within an historic district
2. Any structure / site that is historically designated within the LHP (Landmark Historic Preservation) overlay
3. Any primary structure constructed prior to 1941, unless the town has specifically determined the structure has no historic significance or architectural merit

The structure at 69 Hernandez Avenue is not located within a recognized historic district and is not currently listed within the LHP overlay. The structure was constructed Circa 1900, and thus before 1941. However, the residence is lacking in historic association and architectural interest and has been heavily modified from its original form.

CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 5 of 13

*Resource Name or # (Assigned by recorder)

69 Hernandez Avenue

*Recorded by Archaeological Resource Management

Date 7/10/2025

Continuation ☒ Update

California Register of Historic Resources Criteria

A cultural resource is considered "significant" if it qualifies as eligible for listing in the California Register of Historic Resources (CRHR). Properties that are eligible for listing in the CRHR must meet one or more of the following criteria:

1. Association with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States;
2. Association with the lives of persons important to local, California, or national history;
3. Embodying the distinctive characteristics of a type, period, region, or method of construction, or representing the work of a master, or possessing high artistic values; or
4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

A property may be automatically listed in the CRHR if it is formally determined eligible for the National Register of Historic Places. Properties that are formally determined eligible for the NRHP are those that are designated as such through one of the federal preservation programs administered by the California Office of Historic Preservation (i.e., the National Register, Tax Certification, and Section 106 review of federal undertakings).

The CRHR interprets the integrity of a cultural resource based upon its physical authenticity. An historic cultural resource must retain its historic character or appearance and thus be recognizable as an historic resource. Integrity is evaluated by examining the subject's location, design, setting, materials, workmanship, feeling, and association. If the subject has retained these qualities, it may be said to have integrity. It is possible that a cultural resource may not retain sufficient integrity to be listed in the National Register of Historic Places yet still be eligible for listing in the CRHR. If a cultural resource retains the potential to convey significant historical/scientific data, it may be said to retain sufficient integrity for potential listing in the CRHR.

The property at 69 Hernandez Avenue is not currently listed on the CRHR. In addition the structure does not appear to be eligible for inclusion in this register. The structure is not associated with significant events and thus it does not appear to be eligible for listing under Criterion 1. The structure is not associated with the lives of historically significant people, thus it does not appear to be eligible for inclusion under Criterion 2. The structure is an example of vernacular architecture, however it is not a notable example of this style. Thus it does not appear to be eligible for listing under Criterion 3. The structure does not appear to have the potential to yield information important to history, and thus does not appear to be potentially eligible for listing under Criterion 4.

CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 6 of 13

*Resource Name or # (Assigned by recorder)

69 Hernandez Avenue

*Recorded by Archaeological Resource Management

Date 7/10/2025

Continuation ☒ Update

National Register Criteria

The National Register of Historic Places was first established in 1966, with major revisions in 1976. The register is set forth in 36 CFR 60 which establishes the responsibilities of the State Historic Preservation Officers (SHPO), standards for their staffs and review boards, and describes the statewide survey and planning process for historic preservation. Within this regulation guidelines are set forth concerning the National Register of Historic Places (36 CFR 60.6). In addition, further regulations are found in 36 CFR 63-66, 800, and Bulletin 15 which define procedures for determination of eligibility, identification of historic properties, recovery, reporting, and protection procedures. The National Register of Historic Places was established to recognize resources associated with the accomplishments of all peoples who have contributed to the country's history and heritage. Guidelines were designed for Federal and State agencies in nominating cultural resources to the National Register. These guidelines are based upon integrity and significance of the resource. Integrity applies to specific items such as location, design, setting, materials, workmanship, feeling, and association. Quality of significance in American history, architecture, archaeology, engineering and culture is present in resources that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and meet at least one of the following criteria:

- A. that are associated with events that have made a significant contribution to broad patterns of our history;
- B. that are associated with the lives of persons significant in our past;
- C. that embody distinctive characteristics of type, period, or method of construction, or that represent the work of master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction;
- D. that have yielded, or are likely to yield, information important in prehistory or history.

Integrity is defined in Bulletin 15: How to Apply the National Register Criteria for Evaluation, (U.S. Department of the Interior, National Park Service 1982) as:

the authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's historic or prehistoric period. If a property retains the physical characteristics it possessed in the past then it has the capacity to convey association with historical patterns or persons, architectural or engineering design and technology, or information about a culture or peoples.

There are also seven aspects of integrity which are used. These aspects are:

- | | |
|--------------|----------------|
| 1. location | 5. Workmanship |
| 2. design | 6. Feeling |
| 3. setting | 7. Association |
| 4. materials | |

The residence at 69 Hernandez Avenue is not currently listed on the National Register of Historic Places. In addition the structure does not appear to be eligible for inclusion in this register. The property is not associated with any known significant historical events, thus it does not appear to be eligible under Criterion A. The structure is not associated with historically significant persons, thus it does not appear to be eligible for inclusion in the NRHP under Criterion B. Although an example of vernacular architecture, it is not a notable example of this style and does not appear to be eligible for inclusion under Criterion C. The structure does not appear likely to yield important historical information, thus it does not appear eligible for inclusion under Criterion D.

CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 7 of 13

*Resource Name or # (Assigned by recorder)

69 Hernandez Avenue

*Recorded by Archaeological Resource Management

Date 7/10/2025

Continuation ☒ Update

Continued from B12:

Appraiser's Office, County of Santa Clara

2025 Appraiser's records for 69 Hernandez Avenue.

Assessor's Office, County of Santa Clara

2025 Record search of assessed value and associated taxes for 69 Hernandez Avenue.

Calloway, S. and E. Cromley

1996 *The Elements of Style: A Practical Encyclopedia of Interior Architectural Details from 1485 to the Present, Revised Edition.* Simon & Schuster, New York.

Hoover, M. et al

1966 Historic Spots in California. Stanford University Press, Stanford California.

McAlester, V. and L. McAlester

1997 *A Field Guide to American Houses.* Alfred A. Knopf, New York.

Recorder's Office, County of Santa Clara

2025 Record search of recorded information for 69 Hernandez Avenue.

US Department of the Interior

1990 The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings

US Department of the Interior

1982 Bulletin 15 – "How to Apply the National Register Criteria for Evaluation."

Whiffen, M.

1992 *American Architecture since 1780, Revised Edition.* The MIT Press, Cambridge, MA.

CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 8 of 13

*Resource Name or # (Assigned by recorder)

69 Hernandez Avenue

*Recorded by Archaeological Resource Management

Date 7/10/2025

Continuation ☒ Update



Photo 1: View of the front façade of 69 Hernandez Avenue.



Photo 2: View of the front gabled wing on the front façade.

CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 9 of 13

*Resource Name or # (Assigned by recorder)

69 Hernandez Avenue

*Recorded by Archaeological Resource Management

Date 7/10/2025

Continuation ☒ Update



Photo 3: View of the enclosed porch addition to the eastern façade.



Photo 4: View of the (non-original) front porch and entry to the residence.

CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 10 of 13

*Resource Name or # (Assigned by recorder)

69 Hernandez Avenue

*Recorded by Archaeological Resource Management

Date 7/10/2025

Continuation

x Update



Photo 5: An oblique view of the front façade from the northwest.



Photo 6: View of bay window along the western facade

CONTINUATION SHEET

HRI #

Trinomial

Page 11 of 13

*Resource Name or # (Assigned by recorder)

69 Hernandez Avenue

*Recorded by Archaeological Resource Management

Date 7/10/2025

Continuation

x Update



Photo 7: Detail of the (non-original) chimney.



Photo 8: View of the rear entry to the residence.

CONTINUATION SHEET

HRI # _____

Trinomial _____

Page 12 of 13

*Resource Name or # (Assigned by recorder)

69 Hernandez Avenue

*Recorded by Archaeological Resource Management

Date 7/10/2025

Continuation

x Update

Photo 9: View of the 1st floor of the rear façade.Photo 10: View of the 2nd story, rear façade.

CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 13 of 13

*Resource Name or # (Assigned by recorder)

69 Hernandez Avenue

*Recorded by Archaeological Resource Management

Date 7/10/2025

Continuation ☒ Update



Photo 11: Image from the County of Santa Clara Appraiser's Property Record for 69 Hernandez Avenue showing the residence prior to the porch enclosure, entry relocation, and 2nd story addition (Circa 1970's).

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69 Hernandez

TOWN OF LOS GATOS
Building Inspection Department
Phone ELgato 4 4520

No 2238 P

PLUMBING PERMIT

Location

67 Hernandez

Date 11-21-1978

is hereby granted *Plumbing*
to install plumbing at above location in accordance with

application for *Passover* owner

RECEIPT for *Twelve* Dollars
inspection fee is hereby acknowledged.

TOWN OF LOS GATOS BUILDING INSPECTION DEPT.

By

W. A. Clark

For Permit	1.00
Water System 1.00	
House Sewer 1.00	
Sewer Connection 10.00	
Fixtures 1.00	
Water Heater 1.00	
Gas Line 1.00	
Gas Appliances .50	
Central Heat 1.00	
TOTAL FEE \$12.00	

ATC-20 Detailed Evaluation Safety Assessment Form

BUILDING DESCRIPTION:

Name: PENNER.Address: 69 HERMAN DER.No. of Stories: 2Basement: Yes ☒ No ☐ Unknown ☐Approximate Age: 65-70 YearsApproximate Area: Square feet

Structural System:

Wood Frame ☒ Unreinforced Masonry ☐Reinforced Masonry ☐ Tilt-up ☐Concrete Frame ☐ Concrete Shear Wall ☐Steel Frame ☐ Other

Primary Occupancy:

Dwelling ☒ Other Residential ☐ Commercial ☐Office ☐ Industrial ☐ Public Assembly ☐School ☐ Government ☐ Emer. Serv. ☐Historic ☐ Other

OVERALL RATING: (Check One)

INSPECTED (Green) ☒LIMITED ENTRY (Yellow) ☐

INSPECTOR:

Inspector ID MARQUIS/SNEKRELLAffiliation SONOMA CO.

INSPECTION DATE:

Mo/day/year 10-20-88Time 2:45 am ☐ pm ☒

Instructions: Complete building evaluation and checklist on next page and then summarize results below.

Posting:

None

Existing ☒

Recommended

Inspected (Green)

☐☐

Limited Entry (Yellow)

☐☐

Unsafe (Red)

☐☐

Posted at this Assessment:

☐ Yes ☐ NoExisting posting by:

Recommendations:

☐ No further action required☒ Engineering Evaluation required (circle one) Structural ☒ Geotechnical ☐ Other ☐ Barricades needed in the following areas: ☐ Other (falling hazard removal, shoring/bracing required, etc.): Comments (Why posted Unsafe, etc.):

1. INVESTIGATE PERIMETER FOUNDATION, MOTOR. CONNECTIONS POINTS, HOUSE SHIFTED TO NORTH.

2. CHIMNEY FAILURE, FIRE PLACE MUST BE REBUILT.

ATC-20

Foundation & chimney damage.

Appendix O

Sheet 1 of 1

131

ATC-20 Detailed Inspection Safety Assessment Form (Continued)

Instructions: Examine the building to determine if any hazardous conditions exist. A "yes" answer in categories 1, 2, or 4 is grounds for posting building UNSAFE. If condition is suspected to be unsafe and more review is needed, check appropriate Unknown box(es) and post LIMITED ENTRY. A "yes" answer in category 3 requires posting and/or barricading to indicate AREA UNSAFE. Explain "Yes", "Unknown" findings and extent of damage under "Comments."

Condition	Hazardous Condition Exists			Comments
	Yes	No	Unknown	
1. Structure Hazardous Overall				
Collapse/partial collapse	☐	☐	☐	
Building or story leaning	☐	☐	☐	
Other	☐	☐	☐	
2. Hazardous Structural Elements				
Foundations	☐	☐	☐	
Roof/floors (vertical loads)	☐	☐	☐	
Columns/pilasters/corbels	☐	☐	☐	
Diaphragms/horizontal bracing	☐	☐	☐	
Walls/vertical bracing	☐	☐	☐	
Moment frames	☐	☐	☐	
Precast connections	☐	☐	☐	
Other	☐	☐	☐	
3. Nonstructural Hazards				
Parapets/ornamentation	☐	☐	☐	
Cladding/glazing	☐	☐	☐	
Ceilings/light fixtures	☐	☐	☐	
Interior walls/partitions	☐	☐	☐	
Elevators	☐	☐	☐	
Stairs/exits	☐	☐	☐	
Electric/gas	☐	☐	☐	
Other	☐	☐	☐	
4. Geotechnical Hazards				
Slope failure/debris	☐	☐	☐	
Ground movement, fissures	☐	☐	☐	
Other	☐	☐	☐	

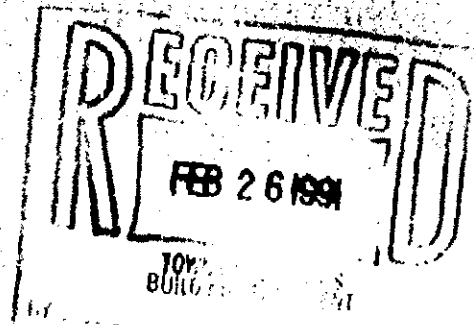
SKETCH:

Grid area for sketching the building structure and hazards.

Sheet _____ of _____



TOWN of LOS GATOS
BUILDING DEPARTMENT
(408) 354-6876



REQUEST FOR EXTENSION

PLAN REVIEW APPLICATION

APPLICATION NUMBER: B-19810
APPLICATION DATE: Sep 20 1990
EXPIRATION DATE: MARCH 20 1991
PHONE NUMBER: 354-8360

JOB ADDRESS: 239 Hernandez
OWNER NAME: Robert Keller
MAILING ADDRESS: 10 JACKSON ST
Suite # 203C
Los Gatos CA 95030

DESCRIPTION OF WORK: new house

Please review and extend my application. The following is an explanation of the conditions (out of my control) which necessitate this request:

The mudslides on Hillside during rainy season

APPLICANT SIGNATURE: [Signature]

DATE: 2-26-91

NOTE TO APPLICANT: 1.

An application may be extended only once. An extension is valid for 180 days. In order to renew an application after expiration date, the applicant shall re-submit plans and pay a new plan review fee.

2.

Return to:

Building Department
110 E. Main Street
Los Gatos, CA 95032

DO NOT WRITE BELOW THIS LINE



APPROVAL



DISAPPROVAL

EXTEND TO: 9-4-91

REASONS:

APPROVED BY: [Signature]

Director of Building Services

DATE: 3-4-91

REMARKS:

TOWN OF LOS GATOS

110 E. MAIN ST., LOS GATOS, CA. 95030

BUILDING INSPECTION DEPARTMENT • PHONE 364-6874

APPLICATION FOR BUILDING PERMIT

B 19373

BUILDING ADDRESS 69 Hernandez	DATE 7-6-90
LOT NO. TRACT	SIZE OF LOT 12.5 AC.
USE OF EXISTING BUILDING Residence	NO. OF BUILDINGS 12.5 AC.
OWNER Jill & Dennis Penner	PH 354-1372
ADDRESS 69 Hernandez	CITY Los Gatos
ARCHITECT OR ENGINEER Riley Associates	PH 314-1700
ADDRESS 125 E. Sunnyside	CITY Campbell
CONTRACTOR Vega Corp.	PH 354-3412
ADDRESS 336 N. Santa Cruz	CITY Los Gatos
STATE LICENSE 564014	TOWN LICENSE 891545

NEW	ADD	ALTER	REPAIR	DEMOLISH
☐	☒	☐	☐	☐
USE OF EXISTING	AREAS	BSMT	OTHER	
☐	☒	☐	☐	
DESCRIPTION OF WORK Foundation & exterior work				

NAME _____

ADDRESS _____

☐ NOT APPLICABLE

CONTRACTOR'S DECLARATION

I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA/A CONTRACTOR'S LICENSE LAW.

SIGNATURE **X** *[Signature]*

WORKER'S COMPENSATION DECLARATION

A I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREWITH FURNISHED, AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.

SIGNATURE **X** *[Signature]*

B I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.

SIGNATURE **X** *[Signature]*

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO BUILDING CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

X *[Signature]*

BUILDING PERMIT APPROVAL		DATE
PLAN DEPT.		11
ENGINEERING DEPT.		11
FIRE DEPT.		11
BUILDING DEPT.	<i>[Signature]</i>	2/1/90
SEWER DEPT.		
COMPT.		
FR		
SB		
FEAR		
SB		
LEFT		
SB		
RIGHT		
SB		
VALUATION	\$	
FEES & TAXES		
BUILDING PERMIT	\$	
SISMATIC TAX		
CONSTRUCTION TAX		
UTILITY TAX		
PARK TAX		
PLAN CHECK FEE		
TOTAL	\$	130

INSPECTION RECORD

7/12/90 CRIPPLE WALL SHEAR NAIL (A)

7/12/90 CRIPPLE WALL AB'S (A)

3651A111 07/06/90 TOTAL 0.00

10/23 APPROVALS

PERMITS LOCATION	DATE	APPROVALS
FORMS MATERIALS	8-13-90	<i>[Signature]</i>
FRAME FIREWORKS	7-27-90	<i>[Signature]</i>
BRACING BENTS		
FURNACE LOCATION		
GAS VENT EXITS		
INSULATION		
LATH EXT		
INSULATION EXT		
LANDSCAPING		
PAVING AND CURBS		
IMPROVEMENTS		
COMPLETED		

TOWN OF LOS GATOS

BUILDING INSPECTION DEPARTMENT • PHONE 354-8878
INSPECTION REQUESTS PHONE 354-8877

P 18484

1

UNIT FEE	NO. OF ITEMS	AMOUNT	FEE
WATER CLOSET		7.00 EA	
BATH TUB		7.00 EA	
SHOWER		7.00 EA	
LAVATORY		7.00 EA	
SINK		7.00 EA	
DISHWASHER		7.00 EA	
DYPOSEH		7.00 EA	
CLOTHES WASHER		7.00 EA	
FLOOR DRAIN		7.00 EA	
DRAINAGE FTN		7.00 EA	
RAINWATER SYSTEM		6.00 PER DRAIN	
HOUSE SEWER		15.00 EA	
WATER HEATER		10.00 EA	
GREASE TRAP		12.00 EA	
GAS SYSTEM		10.00 SYSTEM	
LAWN SPRINKLER		9.00 SYSTEM	
WATER SYSTEM		10.00 SYSTEM	
VACUUM BREAKER		2.00 EA	
BACKFLOW DEVICE		8.00 EA	
PRIVATE SWIMMING POOL		30.00	
NEW FES COAST	50 FT X \$0.16 =		
		SUBTOTAL	

PLUMBING PLAN CHECK FEE 25%

Clearcut @ app line 8.00

ISSUANCE OF PERMIT

TOTAL FEES \$

28.00

CONTRACTORS DECLARATION

I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTORS LICENSE LAW

SIGNATURE X *Connie Carlock*

COMPLETE A OR B

WORKERS COMPENSATION DECLARATION

A I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKERS COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREWITH FURNISHED AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.

SIGNATURE X *Connie Carlock*

CERTIFICATE OF EXEMPTION FROM WORKERS COMPENSATION INSURANCE

B I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKERS COMPENSATION LAWS OF CALIFORNIA.

SIGNATURE X

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO PLUMBING CONSTRUCTION AND I HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

Connie Carlock

BUILDING ADDRESS *69 Hernandez Ave.*

USE OF BUILDING *Residence*

OWNER *Penna*

PHONE

MAIL ADDRESS

69 Hernandez Ave.

CITY *Los Gatos*

ZIP *95030*

CONTRACTOR

Dallas Carlock

PHONE

354-5413

MAIL ADDRESS

16721 Medina Ave.

CITY

Los Gatos

ZIP *95030*

STATE LICENSE

446107

TOWN LICENSE

2010197

GROUP

USE ZONE

PROCESSED BY

DATE

INSPECTION RECORD

VALUATION

TOWN OF LOS GATOS

PAID *for 2010*
for *179254.62*

APPROVALS

UNDERFLOOR WORK

FOUR PLUMBING

GAS FEES

GAS VENTS

HOT WATER HEATER

HOUSE SEWER

PLUMBING FEATURES

GAS TEST

UTILITY CO NOTIFIED

DATE

INSPECTOR'S SIGNATURE

9-15-07

[Signature]

9-15-07

[Signature]

7/10/62

7/10/62 84800 17724
CUSTOMER 469 469 469 469

DESCRIPTION	AMOUNT
CUSTOMER 469 469 469 469	128.00

TOTAL DUE: 128.00

CUSTOMER 469 469 469 469	1.00
CUSTOMER 469 469 469 469	128.00
CUSTOMER 469 469 469 469	128.00
CUSTOMER 469 469 469 469	1.00

7/10/62 84800 17724

116 E. MAIN ST., LOS GATOS, CA 95030
BUILDING INSPECTION DEPARTMENT • PHONE 364-0874

INSPECTION REQUESTS PHONE 384-6977

B 24863

BUILDING ADDRESS		STREET, AVE., BLVD., ETC.		SUITE OR APT. NO.	
69 Hernandez					
USE OF EXISTING BUILDING				DATE 10/19/97	
OWNER Jill Penner				PH 354-1317	
ADDRESS 69 Hernandez				SUITE OR APT. NO.	
CITY Los Angeles				CP 95030	
ARCHITECT U ENGINEER U DESIGNER U				PH	
ADDRESS				SUITE OR APT. NO.	
CITY				ZP	
CONTRACTOR Penner Building Co				PH 354-1317	
ADDRESS 4491 Pen Ave.				SUITE OR APT. NO.	
CITY San Jose				ZP 95128	
STATE LICENSE C-37-547736				TOWN LICENSE	
SQUARE FOOTAGE					
EXISTING ADDITION					
THFL					
THFL					
(BASE 3 FL)					
SUBTOTAL TOTAL					
GARAGE					
OTHERS					
NO OF STORES		SIZE OF LOT		NO OF LIVING UNITS	
APN		ESTIMATE VALUATION			
DESCRIPTION OF WORK Rear porch floor & wood shingles chase & handrail with alk 40yr comp. 31"					
CALCULATED VALUE		V.B. 1575.00 7,000			
LENDING AGENCY ADDRESS					
HAZARDOUS MATERIALS DECLARATION: If this application is for construction of new buildings or structures, it shall be completed by the applicant. If not, check "No". ☒ Yes ☐ No					
CONTRACTORS DECLARATION					
I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTORS LICENSE LAW.					
SIGNATURE X [Signature]					
COMPLETE A OR B					
WORKERS COMPENSATION DECLARATION					
A. IF I HAVE A POLICY OF WORKERS COMPENSATION INSURANCE, A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREBY FURNISHED AND ON FILE WITH THE TOWN OFFICE FOR REFERENCE. IT SHALL BE THE INSURANCE EFFECT THROUGHOUT THE PROJECT.					
SIGNATURE X [Signature]					
CERTIFICATE OF EXEMPTION FROM WORKERS COMPENSATION INSURANCE					
B. I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKERS COMPENSATION LAWS OF CALIFORNIA.					
SIGNATURE X [Signature]					
I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATIVE TO BUILDING CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.					
X [Signature]					

REQ FINAL INSP.		P.F.M.	DEPT.		PERMIT APPROVALS		DATE	
REQ FINAL PLAN		PLAN				11/1		
REQ FINAL ENGINEERING		ENGINEERING				11/1		
REQ FINAL FIRE		FIRE				11/1		
REQ FINAL BUILDING		BUILDING				11/1		
REQ FINAL K&E		K&E				11/1		
FRONT SB								
FEES AND TAXES								
REAR SB		PERMIT ISSUANCE		BldgPrmt	\$	20.00		
LEFT SB		BUILDING PERMIT		BldgPrmt	\$	100.00		
RIGHT SB		TITLE - 24		Title24F	\$			
USE ZONE		SEWER TAX		SMIP 5%	\$	1.00		
				SMIP 95%	\$	1.00		
SEWER NO		PLAN CHECK		PChkB'dg	\$			
TYPE GROUP		MICRO BUILDING		MicroB'dg	\$	1.00		
TYPE CONST		CONSTRUCTION TAX		ConstCap	\$			
FIRE SPRINKLER []		UTILITY TAX		ConstUnd	\$			
		PARK TAX		ConstPrk	\$			
		PLAN CHECK		PchkPlan	\$			
		MICRO PLANNING		MicroPin	\$			
		STORM DRAIN ENVS		Bas'n	\$			
					TOTAL \$	123.00		
INSPECTION RECORD								
Smoke Detectors Installed ALREADY INSTALLED OK CM 12/11/97 10-21-98								
TOWN OF LOS GATOS								
PAID - OCT 19 1992								
VALIDATION FOR [Signature] # 2117								
APPROVALS								
INSPECTION LOCATION		DATE		INSPECTOR'S SIGNATURE				
FOODS MARKET		11-2-97		[Signature]				
UNIVERSITY MICROFILMS								
LIBRARY								
S. EASTMAN LIBRARY								
ADVISORY								
EXTERIOR LIGHT								
INSULATION								
SHEET ROCK								
BUILDING CODE FINAL								
BUILDING PERMIT FINAL								

69 Hernandez
19373

SCOPE OF WORK:

A. PRELIMINARY SITE WORK:

1. Arrange with owner for working space requirements and material storage areas required onsite before starting work.
2. Remove all attached structures, sheds, plantings, irrigation systems and other items that will interfere with reconstruction work. Store removed materials onsite for future reinstallation after reconstruction work is completed.

B. FOUNDATION REPLACEMENT:

1. Provide for temporary provisions to raise utilities (sewer, water, gas, etc.) to provide continuous operation of the utilities during the temporary working reconstruction period. Provide diagonal bracing members from ground to floor level to stabilize house when lifted. Remove only that portion of exterior siding necessary to allow working space for the damaged foundation replacement. Remove nuts and washers from foundation anchor bolts and save for future reinstallation.
2. Use houseowner's jacks or heavy duty jacks to lift house from foundation sufficient to provide working room for reconstruction of damaged existing foundation. Maintain stability of structure at all times with diagonal bracing from ground to floor.
3. Remove damaged existing concrete foundations at those locations shown on the plans as well as any location where hidden damage to the foundation is discovered during the course of the work. Dispose of removed concrete and construction debris offsite.
4. Excavate for new concrete foundations as per the foundation detail shown on the plans. Do not fill overexcavated foundation areas with compacted soil - instead fill entire excavated area with structural concrete at time of pouring new foundation.
5. Install foundation forms, reinforcing steel and anchor bolts for the foundation as shown on the plans. Pour new foundation with 3,000 psi (5 sack per cubic yard) concrete. At least four (4) standard samples are to be taken and stored until tested by a material testing laboratory. Foundation forms are not to be removed until the concrete reaches 3,000 psi as measured by compression testing of these samples by the materials laboratory.

C. FLOOR ADJUSTMENT AND LEVELING:

1. Keel house up foundation only after new concrete foundations have reached 3,000 psi as measured by compression testing of concrete samples by the materials laboratory.
2. Install floor leveler jacks (see detail on plans) in place of each girder support post or as required by the field conditions to hold floor leveling adjustment.
3. Level first floor of house to within 1/2" of true level (using the top of the subfloor as reference) throughout the house.
4. After leveling is finished the mudsills shall be drypacked with a non-shrink grout to provide proper bearing and the mudsills shall then be reanchored to the foundation using bolt connector sleeves, bolt extensions, wooden spacer blocks, and larger washers to compensate for the larger holes thru the spacer blocks necessitated by the installation of the connector sleeves. The exterior siding is then to be reinstalled. However, any siding damaged by the contractor's operations including original removal as well as earthquake damage is to be replaced with new siding of like kind. All damaged floor beams and studs as well as other damaged structural members are to be replaced in kind.
5. In order to allow the wood framing of the house to adjust to the releveled condition, allow a nominal period of between three months and six months to elapse between the time that the house is releveled and the time that work begins to correct all interior wall cracks, door reframing and window distortion corrections (see Cosmetic Repairs below). It should be realized that the process of lifting and releveing the house will probably create new wall cracks and distortions that will also require future repairs.
6. After the house has been releveled and after the nominal period of between three months and six months has passed, the brick chimney and fireplace is to be rebuilt in conformance with the Town of Los Gatos Building Code including the use of reinforcing steel and full grouting of the space between the flue liner and the brick structure as well as proper metal flashing at the roof level where penetrated by the chimney.
7. Cleanup workite, remove and dispose of all wood scraps and other construction debris from the basement area as well as the underfloor area and the exterior site area.

D. COSMETIC REPAIR:

1. Following the completion of the above construction items and after the recommended lapse of time to allow frame, window and door shifting and adjustment to the new support conditions, the existing cracks in the wall and ceiling are to be repaired and painted as follows: Wall cracks should be repaired by replacing the damaged sheetrock panel to the stud and plate or backing block, NOT by putty infilling the cracks.
2. Ceiling cracks and ceiling damaged areas should be repaired by removing all damaged and loose plaster and replastering by an experienced craftsman with the proper equipment.
3. Distorted or uneven doors and windows should be rehung plumb and free working with proper trim installed.
4. The exterior and interior of the house is to be painted to blend the repaired areas with the nonrepaired areas to present a homogeneous appearance with proper surface protection.

These plans are based on normal engineering calculations made in accordance with generally accepted engineering principles using recommendations contained in a project report prepared by the undersigned dated November 13, 1988, Project 8993-1.

The reconstruction presented herein will, in my professional opinion, mitigate the effects of the earthquake of October 17, 1989, on the project property. It is expected, however, that some additional minor movement is possible and is to be expected. It is not represented that the reconstruction shown herein will be an absolute cure for the problems at the subject site.

The above is made in lieu of all other warranties either express or implied.

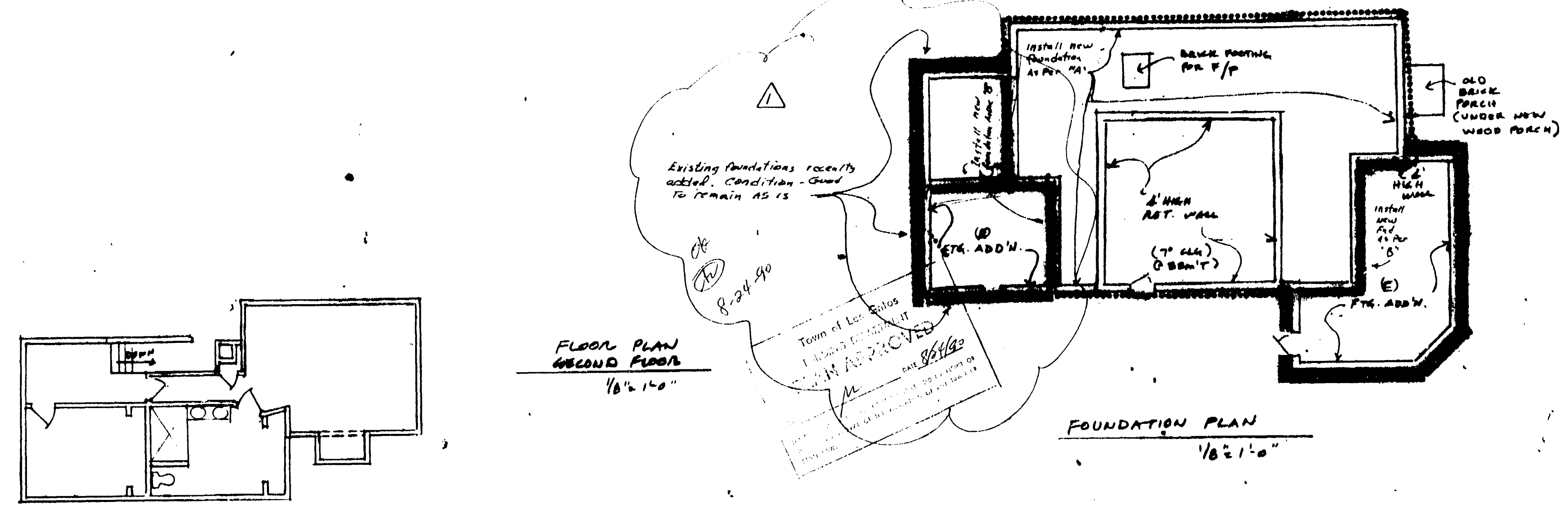
JAMES F. RILEY, R.C.E. 9493

APR 19 1992

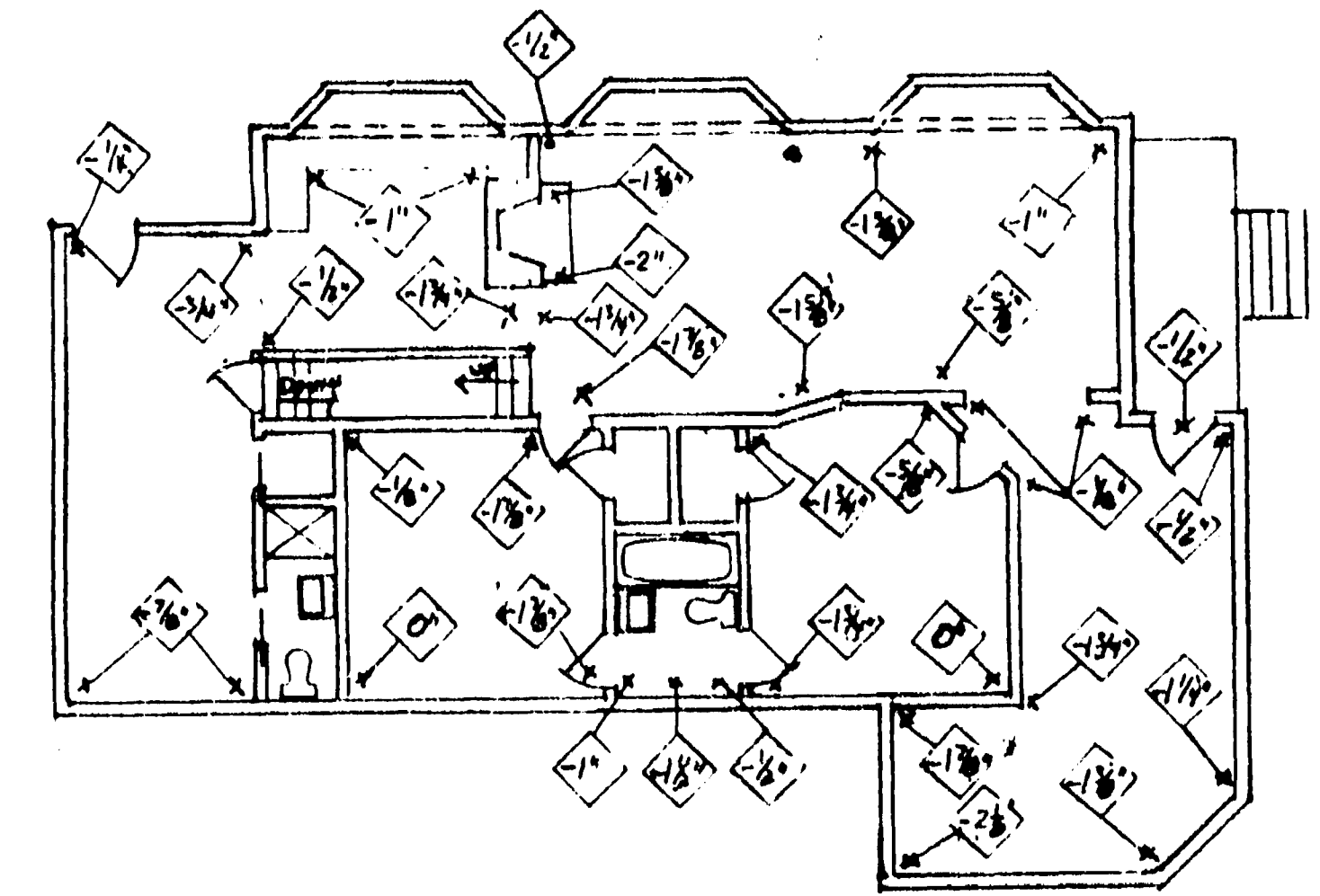
FOUNDATION RECONSTRUCTION			
DATE: 4/23/92	BY: JFR	DATE: 4/23/92	BY: JFR
THE PENNER RESIDENCE 69 HERNANDEZ AVE, LOS GATOS, CA 95030			
RILEY ASSOCIATES 8993			

SHEET 1 of 1

NOTE
Indicates FOUNDATION DETAIL
Indicates FOUNDATION DETAIL
Indicates FOUNDATION DETAIL



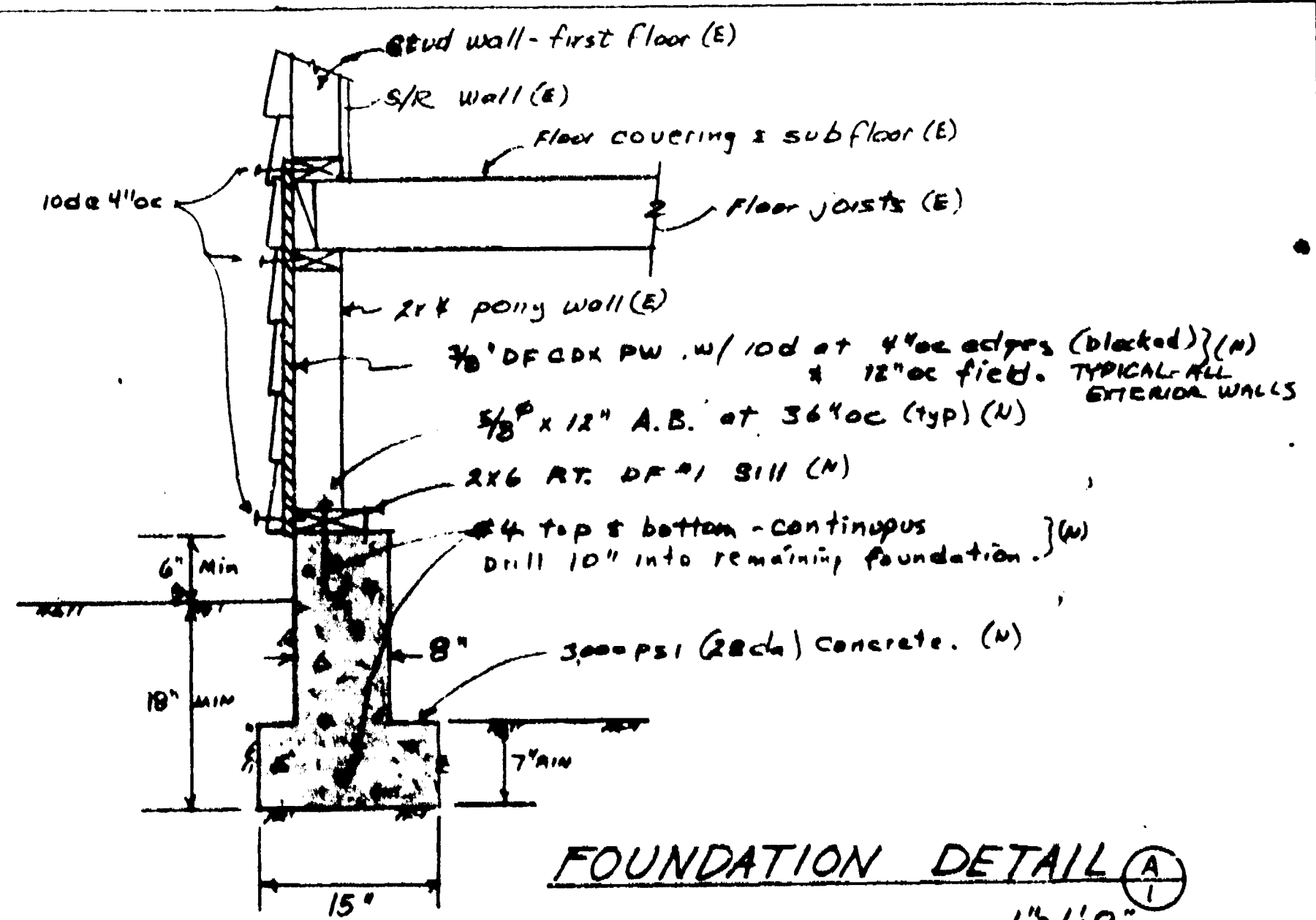
FOUNDATION PLAN
1/8" = 1'-0"



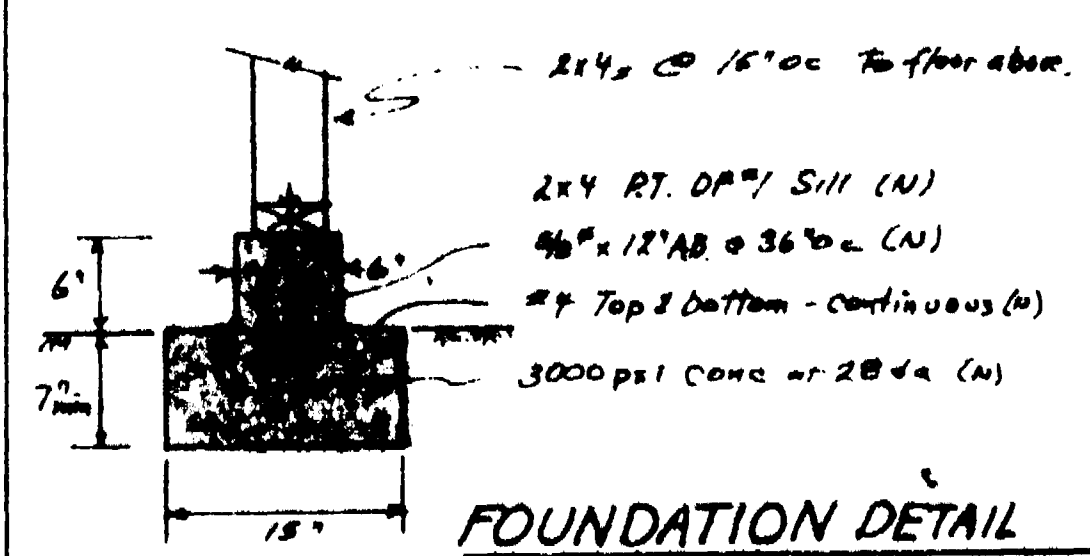
FLOOR PLAN
FIRST FLOOR
1/8" = 1'-0"

NOTE: (E) INDICATES FINISH FLOOR IS 1/8" BELOW LEVEL FLOOR PLANE
(O) INDICATES LEVEL FLOOR PLANE POINT
LEVEL FLOOR PLANE IS AT TOP OF SUB FLOOR AT BOTTOM OF LINOLEUM (1/4" thick) AND AT BOTTOM OF RUG (5/8" thick) AND AT BOTTOM OF TILE (1/2" thick).

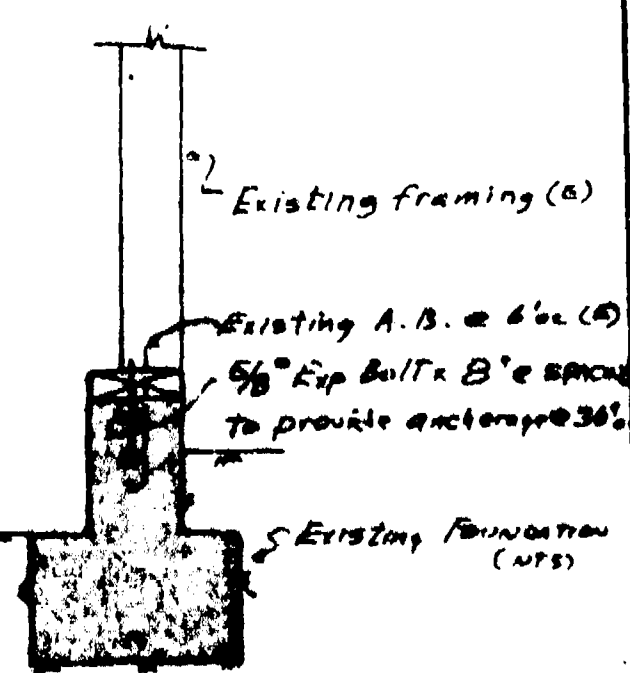
FLOOR PLAN
BASEMENT 1/8" = 1'-0"



FOUNDATION DETAIL A
1/4" = 1'-0"



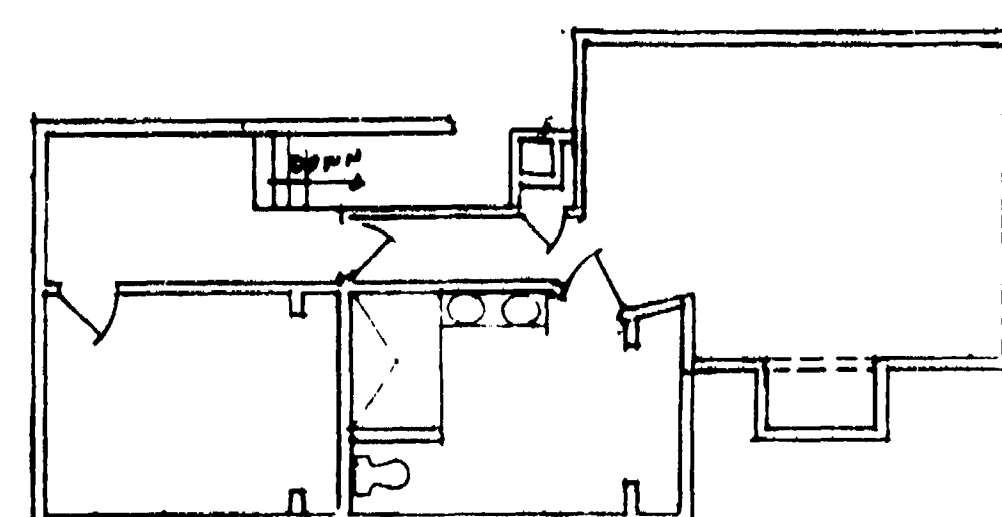
FOUNDATION DETAIL B
1/4" = 1'-0"



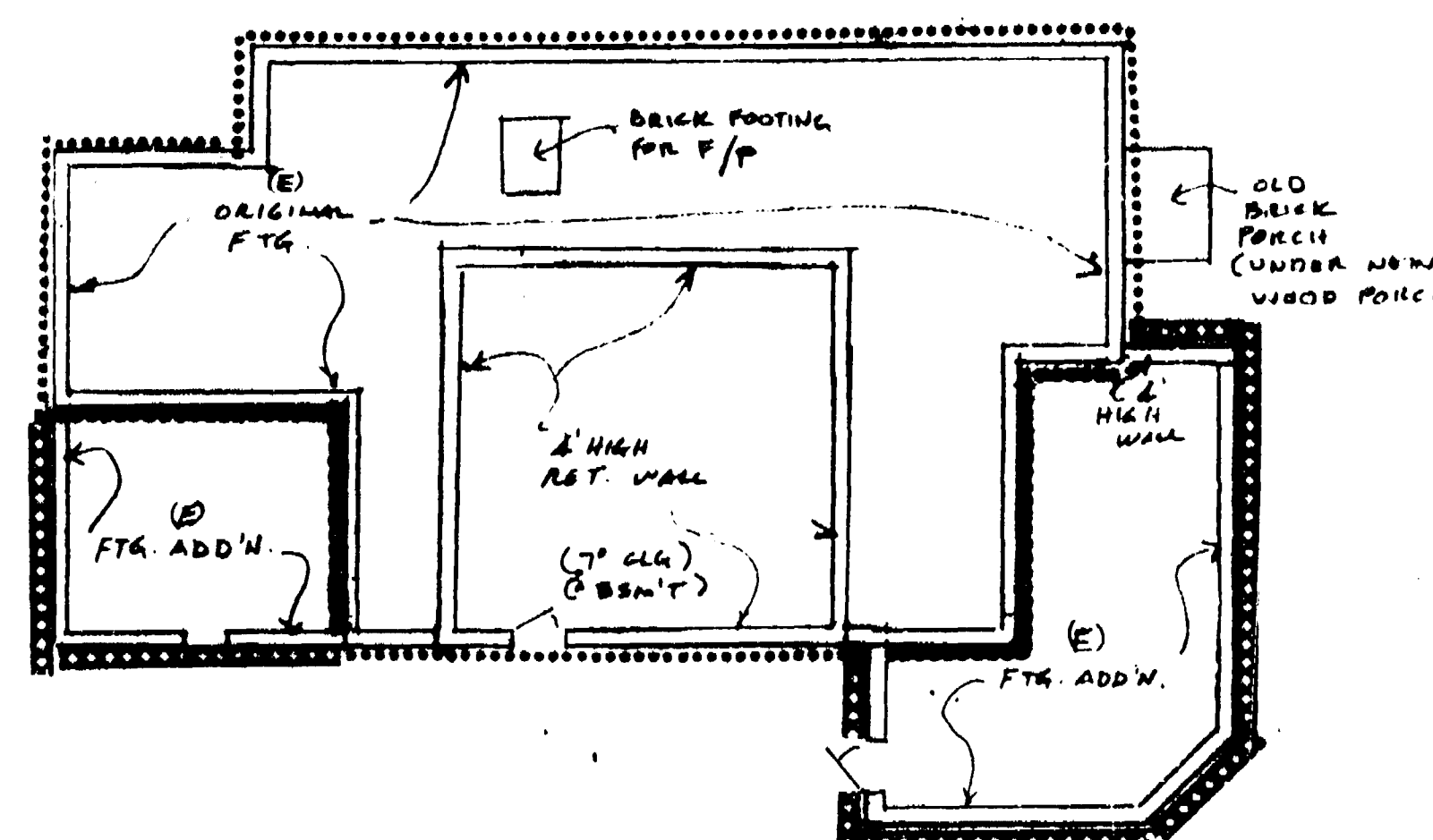
FOUNDATION DETAIL C
1/4" = 1'-0"

24X

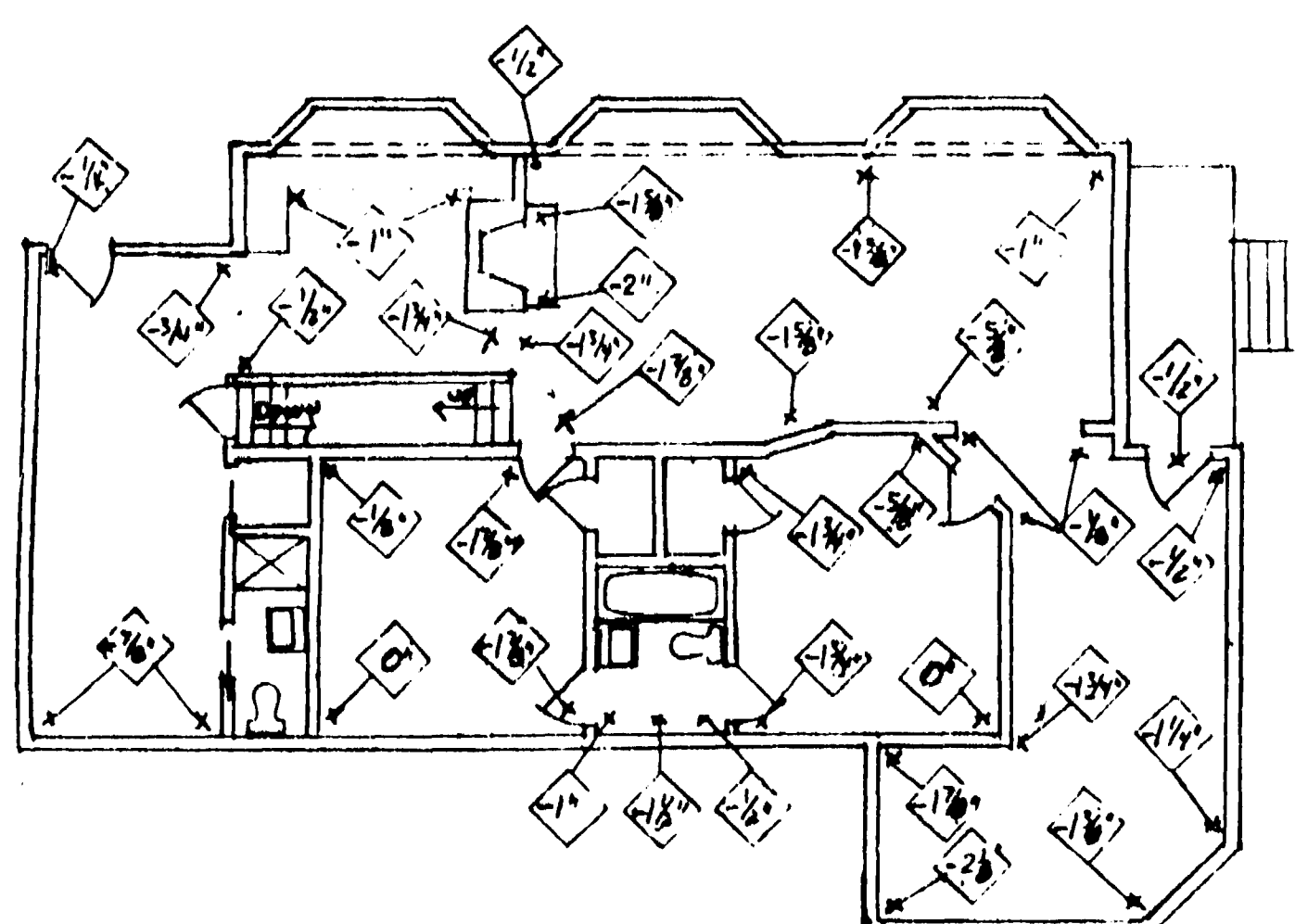
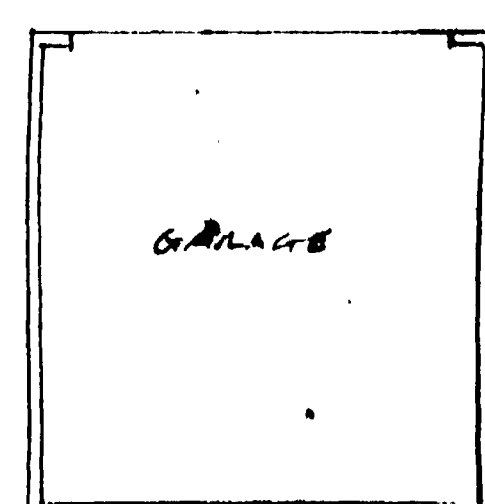
NOTE
 Indicates FOUNDATION DETAIL (A)
 Indicates FOUNDATION DETAIL (B)
 Indicates FOUNDATION DETAIL (C)



FLOOR PLAN
SECOND FLOOR
18' x 14'

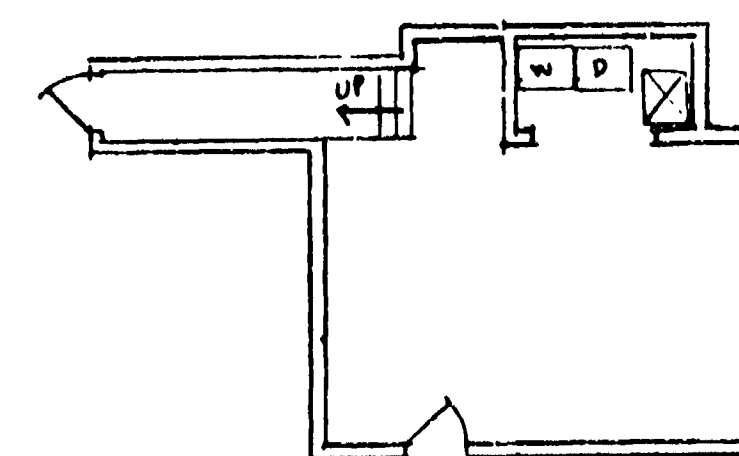


FOUNDATION PLAN
18' x 14'



FLOOR PLAN
FIRST FLOOR
18' x 14'

NOTE:
 (A) INDICATES (E) FINISH FLOOR
 IS 1 1/2" BELOW LEVEL FLOOR PLANE
 (B) INDICATES LEVEL FLOOR PLANE POINT
 LEVEL FLOOR PLANE IS AT TOP OF SUB FLOOR
 AT BOTTOM OF LINOLEUM (1/4" THICK) AND
 AT BOTTOM OF RUG (5/8" THICK) AND
 AT BOTTOM OF TILE (1/2" THICK).



FLOOR PLAN
BASEMENT 18' x 14'

D. COSMETIC REPAIR:

- Following the completion of the above construction items and after the recommended lapse of time to allow frame, window and door shifting and adjustment to the new support conditions, the existing cracks in the wall and ceiling are to be repaired and painted as follows: Wall cracks should be repaired by replacing the damaged sheetrock panel to the stud and plate or backing block. NOT by putty infilling the cracks.
- Ceiling cracks and ceiling damaged areas should be repaired by removing all damaged and loose plaster and replastering by an experienced craftsman with the proper equipment.
- Distorted or uneven doors and windows should be rehung plumb and free working with proper trim installed.
- The exterior and interior of the house is to be painted to blend the repaired areas with the nonrepaired areas to present a homogenous appearance with proper surface protection.

NOTE

These plans are based on normal engineering calculations made in accordance with generally accepted engineering principles using recommendations contained in a project report prepared by the undersigned dated November 13, 1989. Project #8921.

The reconstruction presented herein will, in my professional opinion, mitigate the effects of the earthquake of October 17, 1989, on the project property. It is expected, however, that some additional minor movement is possible and is to be expected. It is not represented that the reconstruction shown herein will be an absolute cure for the problems at the subject site.

The above is made in lieu of all other warranties either express or implied.

James F. Riley
 JAMES F. RILEY, R.C.E. 9889

SCOPE OF WORK:

A. PRELIMINARY SITE WORK:

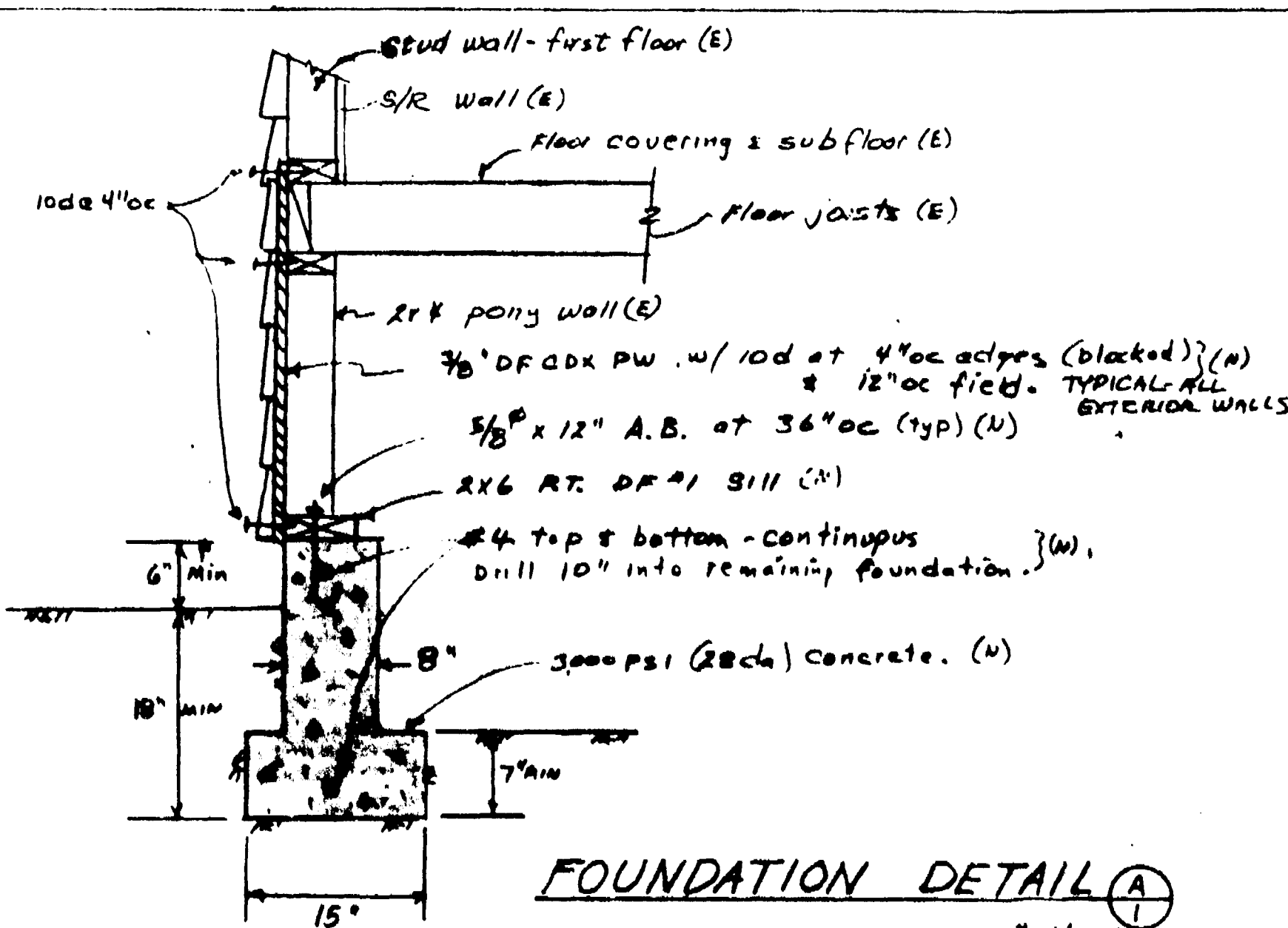
- Arrange with owner for working space requirements and material storage areas required onsite before starting work.
- Remove all attached structures, sheds, plantings, irrigation systems and other items that will interfere with reconstruction work. Store removed materials onsite for future reinstallation after reconstruction work is completed.

B. FOUNDATION REPLACEMENT:

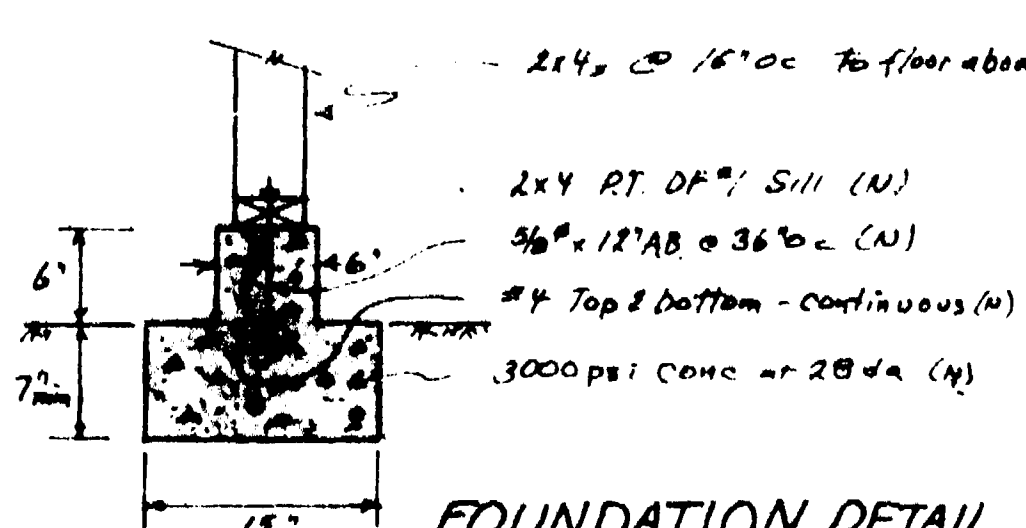
- Provide for temporary provisions to raise utilities (sewer, water, gas, etc.) to provide continuous operation of the utilities during the temporary working reconstruction period. Provide diagonal bracing members from ground to floor level to stabilize house when lifted. Remove only that portion of exterior siding necessary to allow working space for the damaged foundation replacement. Remove nuts and washers from foundation anchor bolts and save for future reinstallation.
- Use housejacker's jacks or heavy duty jacks to lift house from foundation sufficient to provide working room for reconstruction of damaged existing foundation. Maintain stability of structure at all times with diagonal bracing from ground to floor.
- Remove damaged existing concrete foundations at those locations shown on the plans as well as any location where hidden damage to the foundation is discovered during the course of the work. Dispose of removed concrete and construction debris offsite.
- Excavate for new concrete foundations as per the foundation detail shown on the plans. Do not fill overexcavated foundation areas with compacted soil - instead fill entire excavated area with structural concrete at time of pouring new foundation.
- Install foundation forms, reinforcing steel and anchor bolts for the foundation as shown on the plans. Pour new foundation with 3,000 psi (6 sack per cubic yard) concrete. At least four (4) standard samples are to be taken and stored until tested by a material testing laboratory. Foundation forms are not to be removed until the concrete reaches 3,000 psi as measured by compression testing of these samples by the materials laboratory.

C. FLOOR ADJUSTMENT AND LEVELING:

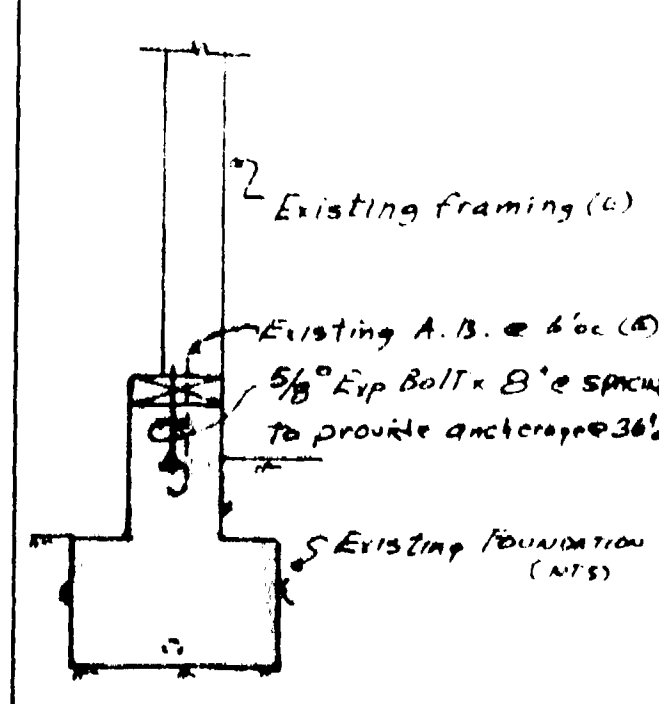
- Reset house on foundation only after new concrete foundations have reached 3,000 psi as measured by compression testing of concrete samples by the materials laboratory.
- Install floor leveler jacks (see detail on plans) in place of each girder support post or as required by the field conditions to hold floor leveling adjustment.
- Level first floor of house to within 1/2" of true level (using the top of the subfloor as reference) throughout the house.
- After releveling is finished the mudsills shall be drypacked with a non-shrink grout to provide proper bearing and the mudsills shall then be reanchored to the foundation using bolt corrector sleeves, bolt extensions, wooden spacer blocks, and larger washers to compensate for the larger holes thru the spacer blocks necessitated by the installation of the connector sleeves. The exterior siding is then to be reinstalled. However, any siding damaged by the contractor's operations including original removal as well as earthquake damage is to be replaced with new siding of like kind. All damaged floor beams and studs as well as other damaged structural members are to be replaced in kind.
- In order to allow the wood framing of the house to adjust to the relevelled condition, allow a nominal period of between three months and six months to elapse between the time that the house is relevelled and the time that work begins to correct all interior wall cracks, door reframing and window distortion corrections (see Cosmetic Repairs below). It should be realized that the process of lifting and releveling the house will probably create new wall cracks and distortions that will also require future repairs.
- After the house has been relevelled and after the nominal period of between three months and six months has passed, the brick chimney and fireplace is to be rebuilt in conformance with the Town of Los Gatos Building Code including the use of reinforcing steel and full grouting of the space between the flue liner and the brick structure as well as proper metal flashing at the roof level where penetrated by the chimney.
- Cleanup worksite, remove and dispose of all wood scraps and other construction debris in the basement area as well as the underfloor area and the exterior site area.



FOUNDATION DETAIL (A)
18' x 14'



FOUNDATION DETAIL (B)
18' x 14'



FOUNDATION DETAIL (C)
NTS

FOUNDATION RECONSTRUCTION

SCALE: 1/4" = 1'-0"
 DATE: MAY 15, 1990
 THE PENNER RESIDENCE
 69 HERNANDEZ AVE, LOS GATOS, CA 95030
 RILEY ASSOCIATES
 8993

24X

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TOWN OF LOS GATOS

110 E. MAIN ST., LOS GATOS, CA. 95030
BUILDING INSPECTION DEPARTMENT - PHONE 354-6876

APPLICATION FOR BUILDING PERMIT

B 9441

3

FOR APPLICANT TO FILL IN

HERNANDEZ Que.	
TRACT	SIZE OF LOT
S.F.R.	NO. OF BUILDINGS NOW ON LOT
ST PALMER	PH 395-0315
IME	WK 371 8531
	PH
	PH
	TOWN LICENSE
DESCRIPTION OF WORK	
DD	ALTER REPAIR DEMOLISH
nd FL	GAR BSMT OTHER
NO. OF STORIES	NO. OF LIVING UNITS
F STRUCTURE	DESCRIPTION OF WORK
	room & bath
	ESTIMATE VALUATION 60,000.00
CONSTRUCTION LENDING AGENCY	

BUILDING PERMIT APPROVAL		DATE
PLAN DEPT.		7/11/81
PUBLIC WORKS		7/11/81
FIRE DEPT.		1/1
BUILDING DEPT.		10/15/81
SEWER CONNECT		
FR. SB	TYPE CONST.	
REAR SB	OCC. GROUP	
LEFT SB	USE ZONE	
RIGHT SB	FIRE SPR.	
VALUATION	\$ 60,000	
FEES & TAXES		
BUILDING PERMIT	\$	313.00
SIESMIC TAX		4.20
CONSTRUCTION TAX		45.50
UTILITY TAX		136.50
PLAN CHECK FEE		156.50
TOTAL	\$	655.70

READ CAREFULLY

THIS APPLICATION IS A BUILDING PERMIT WHEN PROPERLY FILLED OUT, SIGNED, AND VALIDATED FOR THE CORRECT PERMIT FEE, IN THE VALIDATION SPACE.

PERMISSION IS THEREFORE GRANTED TO DO SUCH WORK AS INDICATED, IN THIS APPLICATION, IN ACCORDANCE WITH, AND SUBJECT TO, ALL OF THE PROVISIONS OF THE BUILDING CODE OF THE TOWN OF LOS GATOS AND RELATED LAWS.

THIS PERMIT BECOMES NULL AND VOID IF WORK IS NOT COMMENCED WITHIN 120 DAYS FROM THE DATE OF ISSUANCE, OR IF WORK IS SUSPENDED AT ANY TIME DURING CONSTRUCTION FOR MORE THAN 120 DAYS, OR IF ANY WORK IS DONE ON THE SAID BUILDING OR STRUCTURE IN VIOLATION OF ANY TOWN ORDINANCE OR STATE LAW RELATING THERETO.

CONTRACTORS DECLARATION

I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA LICENSE LAW.

COMPLETE A OR B

WORKER'S COMPENSATION DECLARATION

BY AFFIRM THAT I HAVE A POLICY OF WORKER'S COM-
ION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF
ISURANCE IS HEREWITH FURNISHED, AND ON FILE WITH
VN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE
CT THROUGHOUT THE JOB.

EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

RTIFY THAT IN THE PERFORMANCE OF THE WORK FOR
THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PER-
ANY MANNER SO AS TO BECOME SUBJECT TO THE
R'S COMPENSATION LAWS OF CALIFORNIA.

VALIDATION

10/6/81 9350 655.70

NOTICE

WORK AUTHORIZED BY THIS PERMIT RE-
QUIRES INSPECTION AND APPROVAL.
WHEN WORK IS READY FOR INSPECTION.
CALL BUILDING DEPARTMENT, 354-6876.

110 EAST MAIN STREET

Job Address

Date _____

Owner

Building Permit No.

TYPE OF INSPECTION	COMPLETION	
		INSPECTOR
A. Location Excavation, Forms		
B. Foundation, Steel, Material		

C. Plumbing, Rough (Partial)		
D. Mechanical Underfloor		
E. Girder and Joist		

F. Frame		
G. Masonry		
H. Flues, Vents		
I. Plumbing, Rough (Complete)		
J. Electric, Conduit		
K. Electric, Wiring		
L. Roof Sheathing		
M. Mechanical Rough		
N. Water Service Pressure Regul'tr		
O. Insulation		

P. Interior Lath		
Q. Exterior Lath		
R. Final Gas Test		
S. Furnace		
T. Electrical Fixtures		
U. Plumbing Fixtures		
V. Sewer (Backwater Valve)		
W. Insulation Certificate		
X. Smoke Detector		
Y. House Number Posted		
Z. Final, Job Completed		

[illegible]

THIS CARD MUST BE KEPT POSTED ON THE
JOB AT ALL TIMES UNTIL FINAL APPROVAL

SEE REVERSE SIDE FOR INFORMATION AND
REQUIREMENTS FOR FINAL INSPECTION
AND OCCUPANCY

NOTICE

Final inspection and occupancy of all new buildings requires clearance from the following agencies:

BUILDING DEPARTMENT (354-6876)

- a) Building construction complete and approved.
- b) Final grading and drainage completed.
- c) Energy compliance certification.

PLANNING DEPARTMENT (354-6872)

- a) Driveway and parking improvement complete.
- b) Required landscape and irrigation complete.

PUBLIC WORKS (354-6864)

- a) Subdivision and offsite improvements complete.
- b) Off site utilities installed and completed.

CENTRAL FIRE (378-4015)

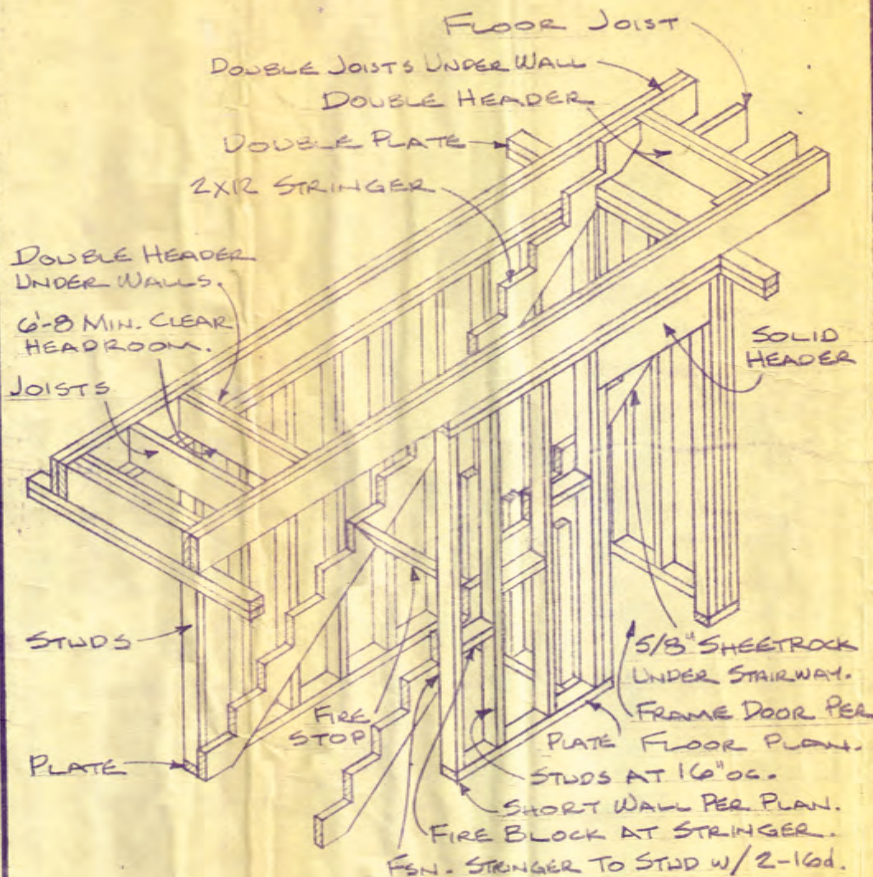
- a) Fire hydrants completed and operational.
- b) Fire extinguishers as required installed.
- c) Fire sprinkler system (if applicable) tested and operational.
- d) Emergency or fire access (if required) completed.

HEALTH DEPARTMENT (279-6060)

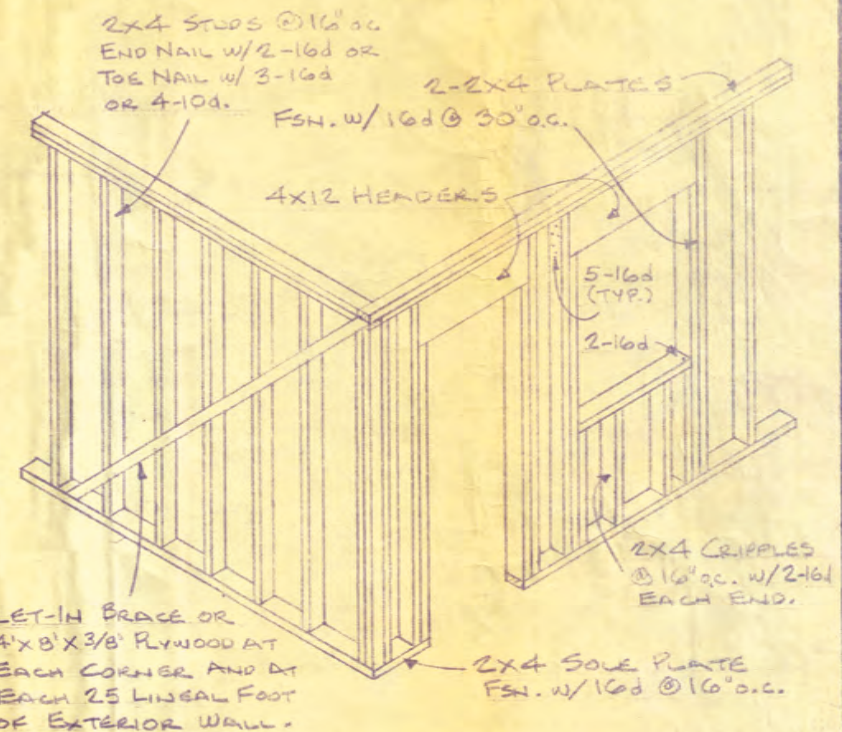
- a) Private sewage disposal system (if applicable) to be complete and approved.
- b) Certificate of compliance and approval for food handling facilities.

On request for final inspection, **Building Department** will process occupancy clearance request for approval of required occupancy certificate.

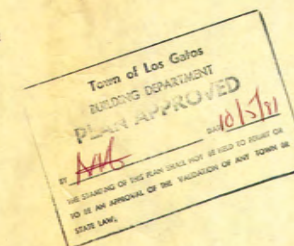
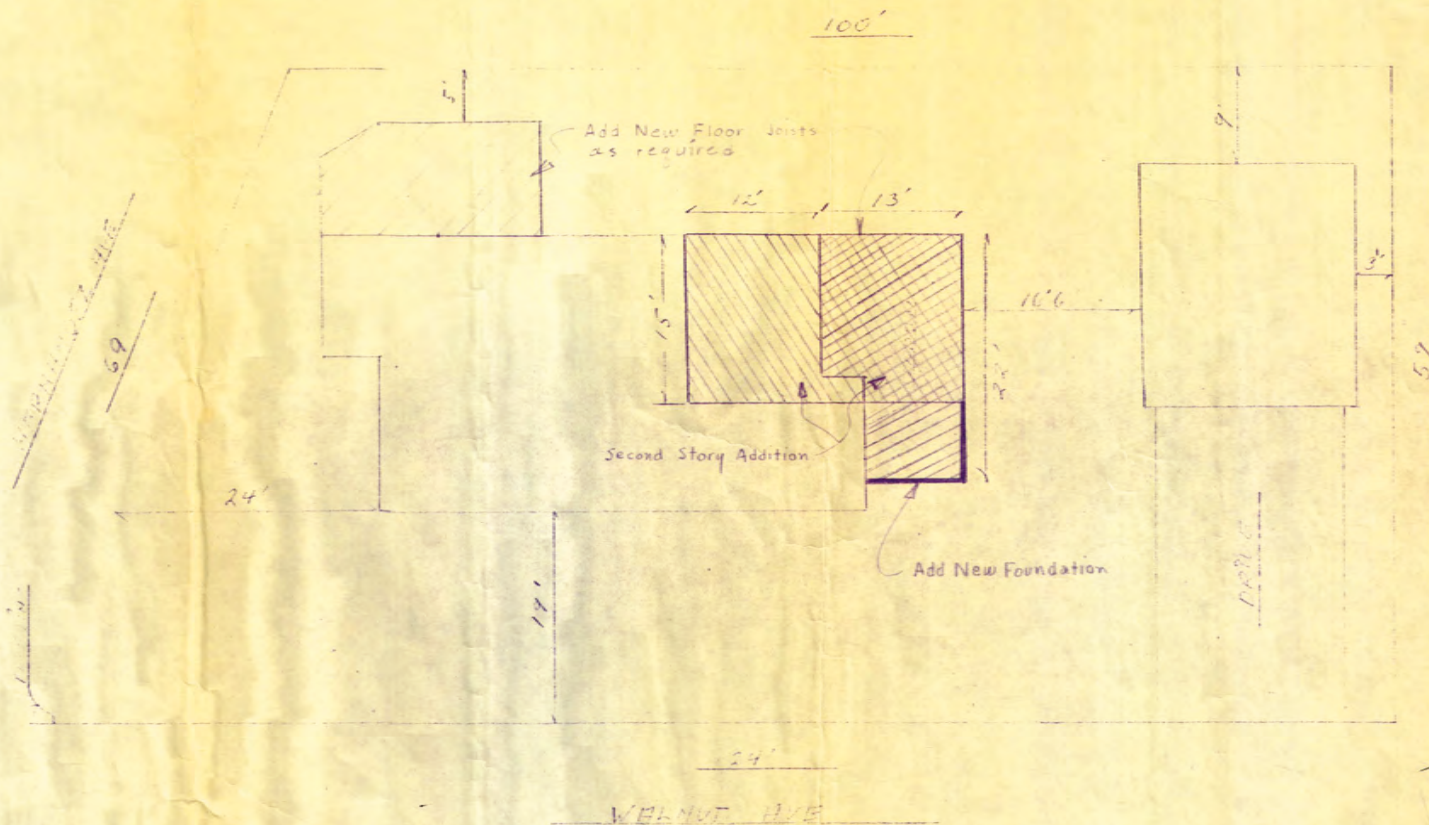
Occupancy or utility approval cannot be granted until required agency clearance is approved.



	STAIR FRAME DETAIL	SIGNED _____	SCALE 1"=1'-0"	JOB APPR. B-3

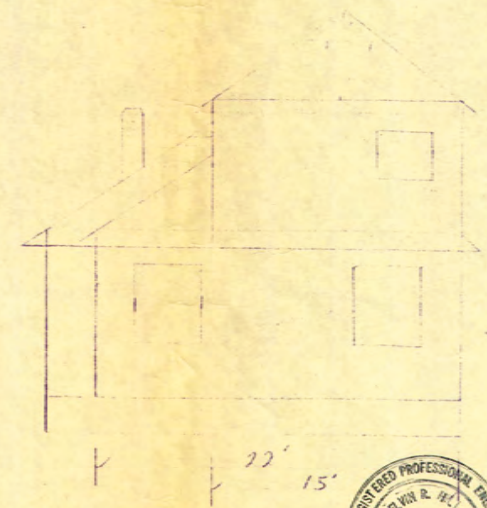
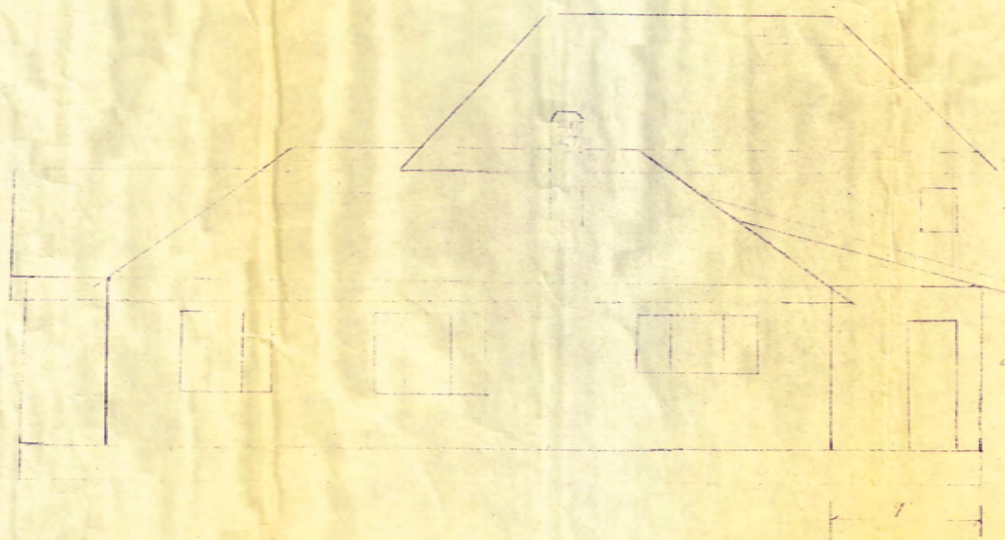


	WALL FRAMING	SIGNED _____	SCALE 1"=1'-0"	JOB APPR. B-1

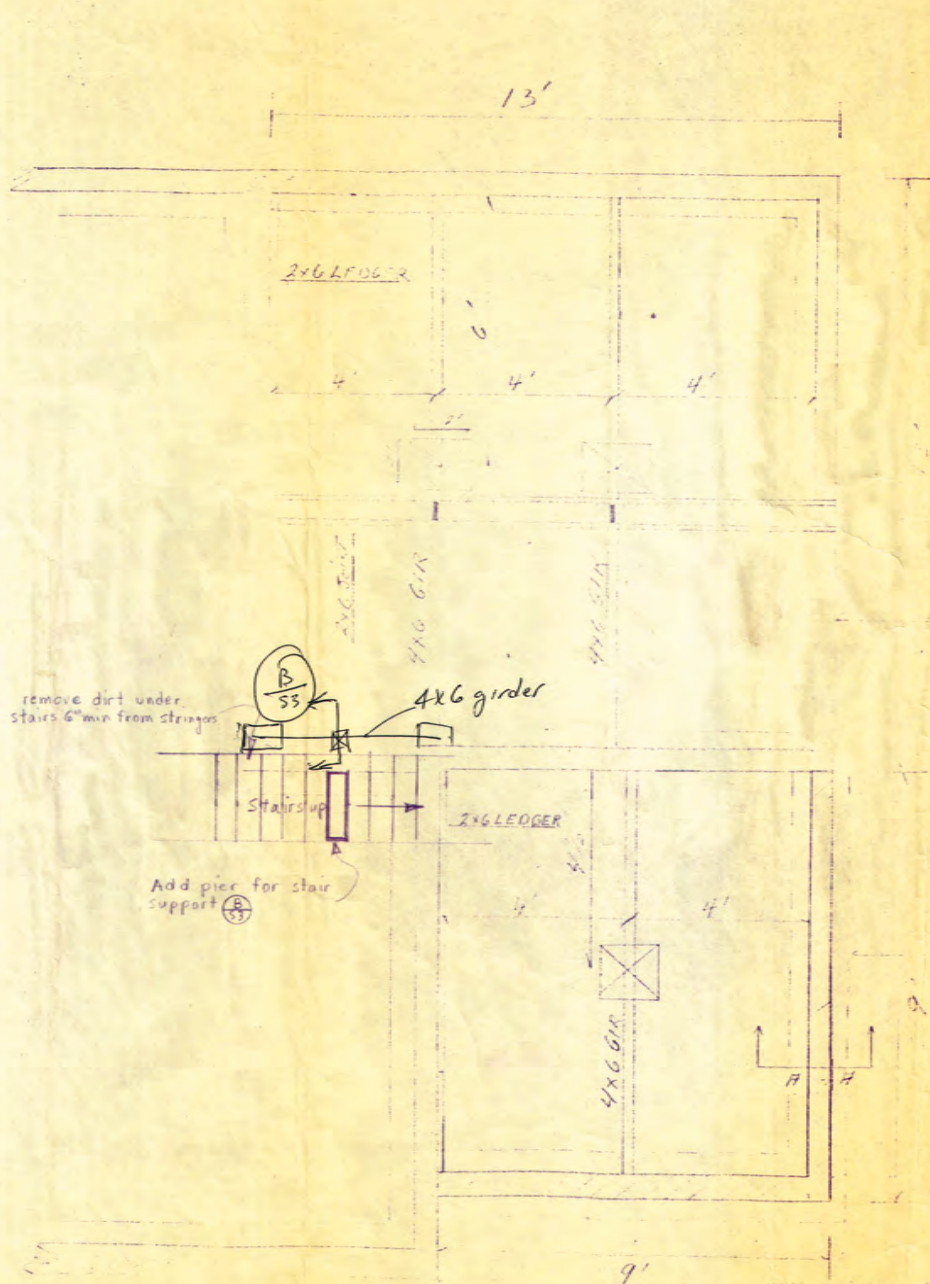


MR. & MRS. PALMER		
SCALE: 1/8" = 1'-0"	APPROVED BY: Melvin R. Hill	DRAWN BY:
DATE:	REVISED: MH	
67 HENNHOFFZ		
Melvin R. Hill RCE 19704 410 W. Sunnyoaks Ave, Campbell		DRAWING NUMBER: 5-1

866-1546

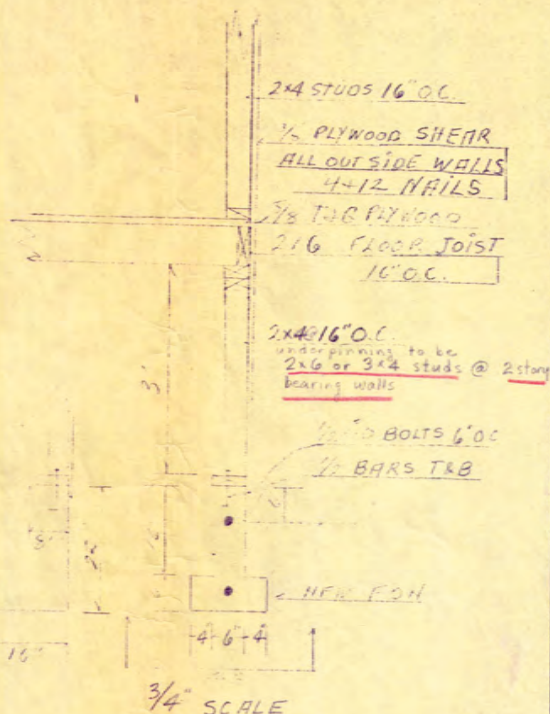
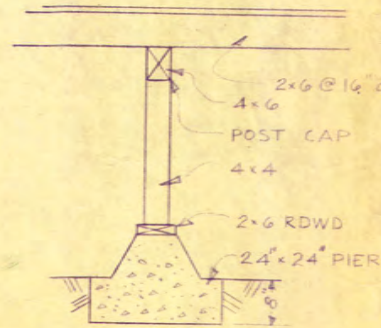


MRS & MRS. PALMER			
SCALE 1/8" = 1'	APPROVED BY <i>Melvin R. Hill</i>	DRAWN BY	
DATE:	REVISED MH		
69 HERNANDEZ, LOS GATOS			
Melvin R. Hill RCE 19704		DRAWING NUMBER	
410 W. Sunnyoaks Ave, Campbell		S-2	



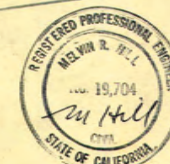
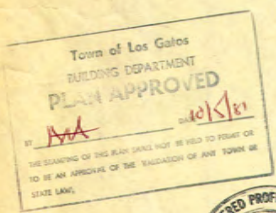
EXISTING FDN

NEW FDN



A
S-3

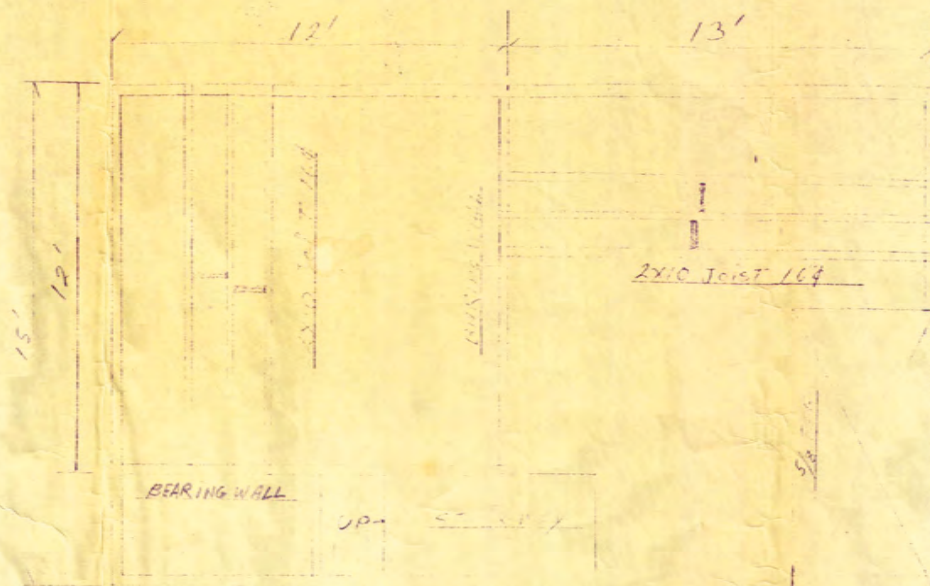
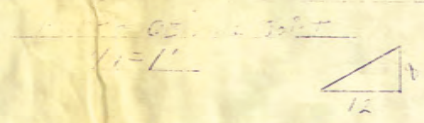
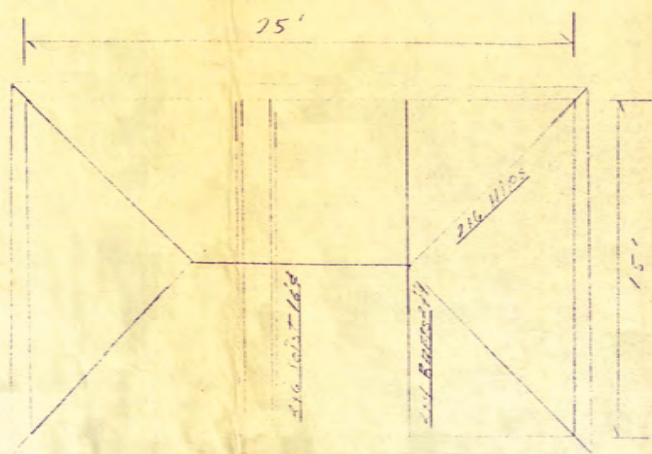
B
S-3



The existing fdn. is adequate to carry the proposed second story provided the piers are added as shown

Melvin R. Hill
RCE 19704

MR & MRS. PALMER		
SCALE: 1/2" = 1'	APPROVED BY: <i>Melvin R Hill</i>	DRAWN BY
DATE: 10-1-81		REVISED MH
GR HERNANDEZ , LOS GATOS		
Melvin R Hill RCE 19704 410 W Sunnyoaks Ave Campbell		DRAWING NUMBER S-3



SECOND STORY

PER INSULATION CEILING

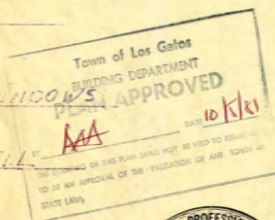
DOUBLE INSULATED WINDOWS

PER INSULATION WALL

2x10 JOIST

4x12 HOSE HILL OUTLINE

2x10 JOIST



MR. & MRS. PALMER

SCALE	APPROVED BY	DRAWN BY
DATE	Melvin R. Hill	REVISED MH
69 HERNANDEZ, LOS GATOS		
Melvin R. Hill RCE 19704		
410 W. Sunnyside Ave. Campbell		
DRAWING NUMBER		5-4



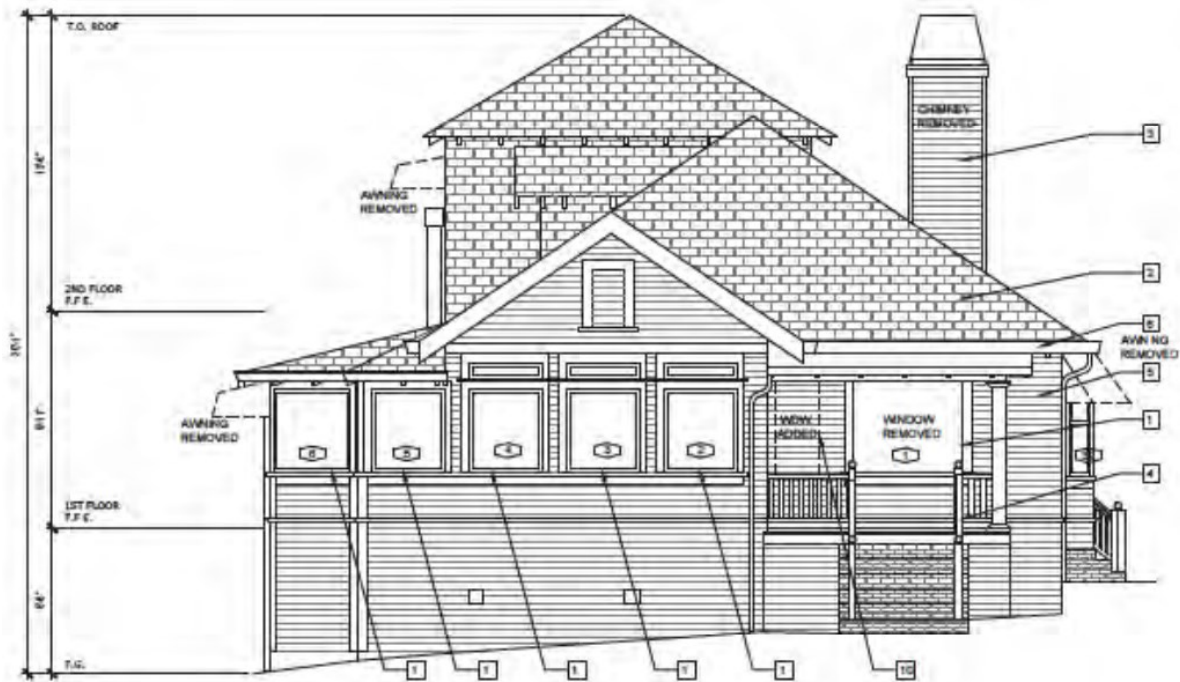
OAKLAND WALL LINES
NEW BUILDING

10/15/81
10/15/81
10/15/81



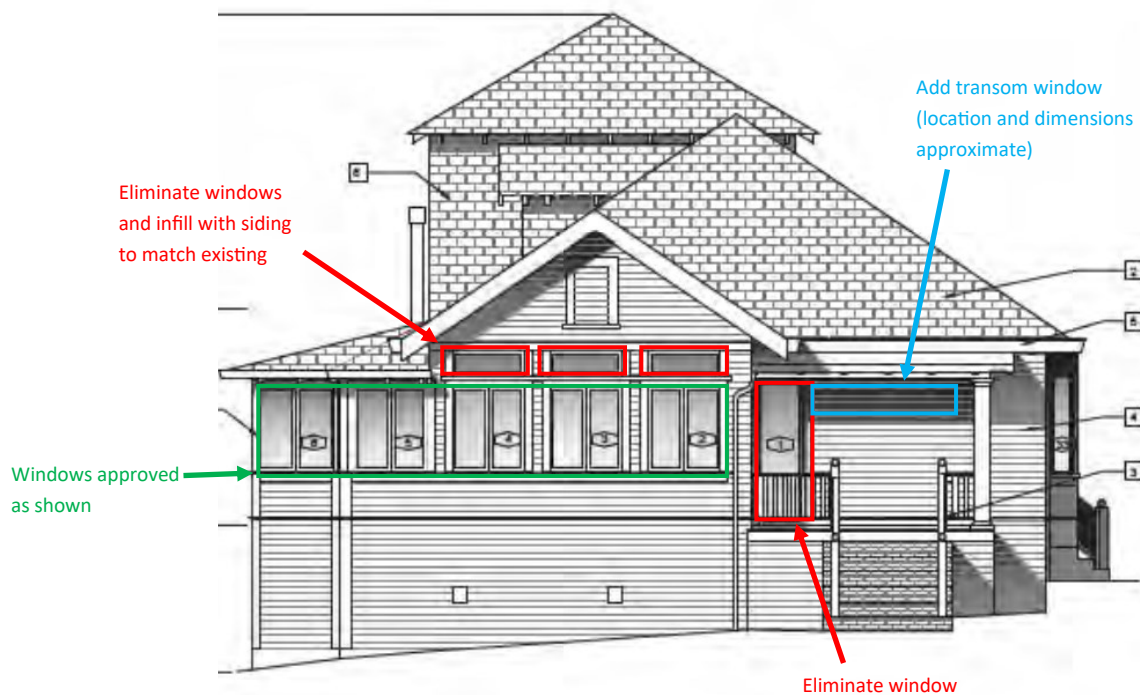
MR & MRS PALMER
SCALE: 1/8" = 1'-0" APPROVED BY: DRAWN BY:

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EXISTING NORTH ELEVATION (FRONT)

1/4" = 1'-0"



NORTH

PROPOSED NORTH ELEVATION (FRONT)

1/4" = 1'-0"



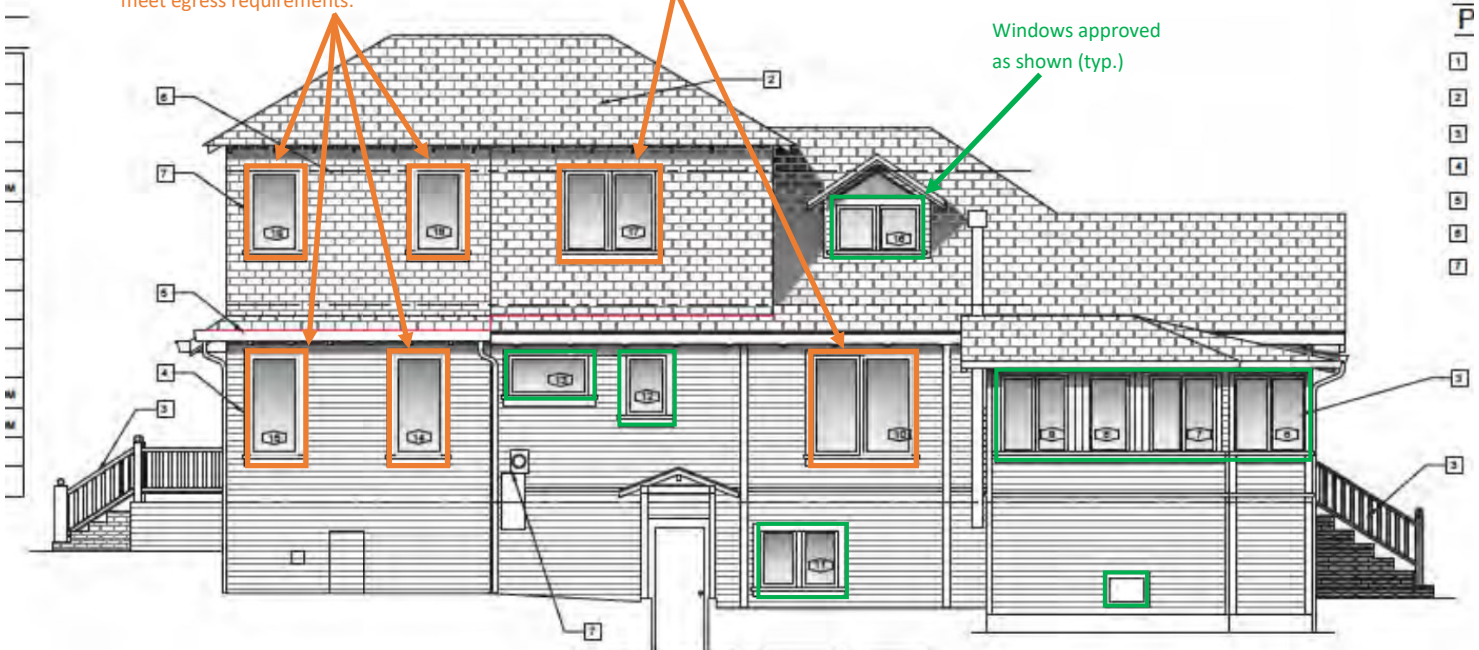
EXISTING EAST ELEVATION (SIDE)

1/4" = 1'-0"

Double hung. Simulated double hung if needed to meet egress requirements.

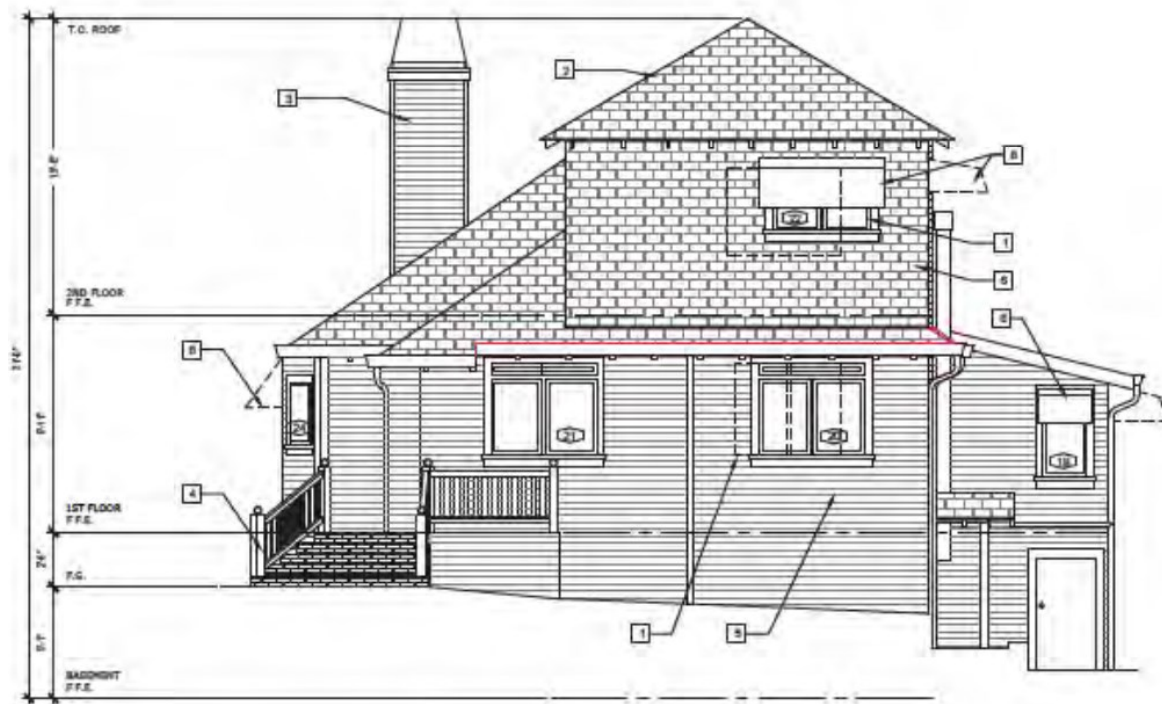
Double hung

Windows approved as shown (typ.)



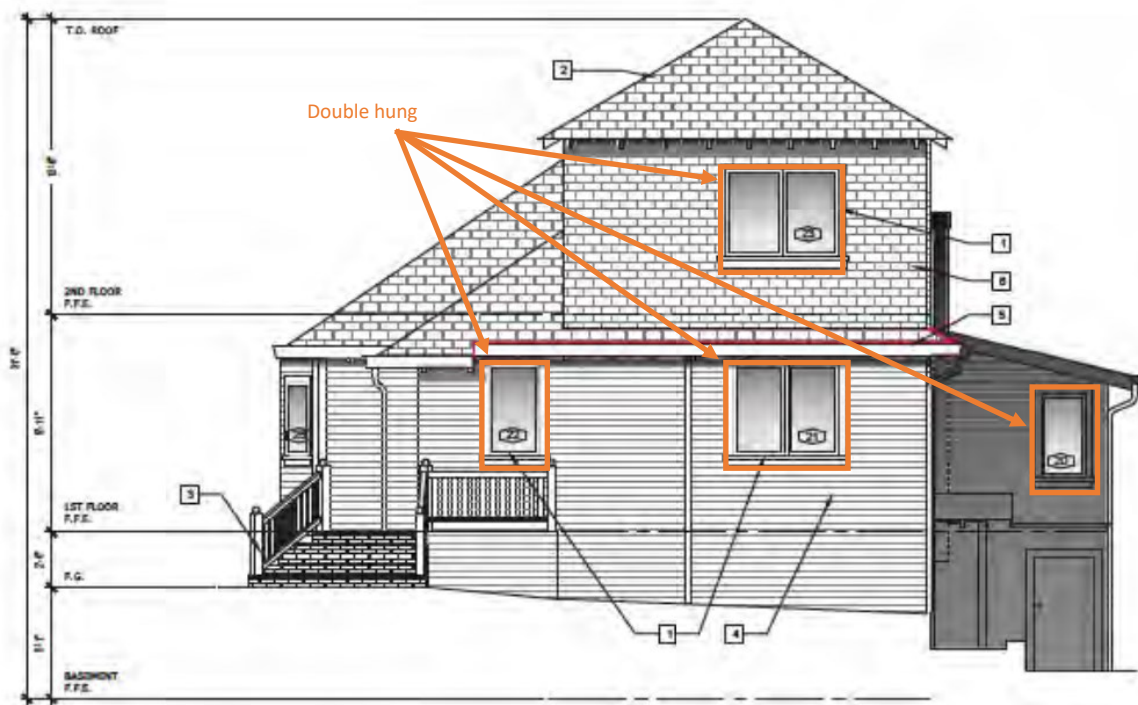
PROPOSED EAST ELEVATION (SIDE)

1/4" = 1'-0"



EXISTING SOUTH ELEVATION (REAR)

1/4" = 1'-0"

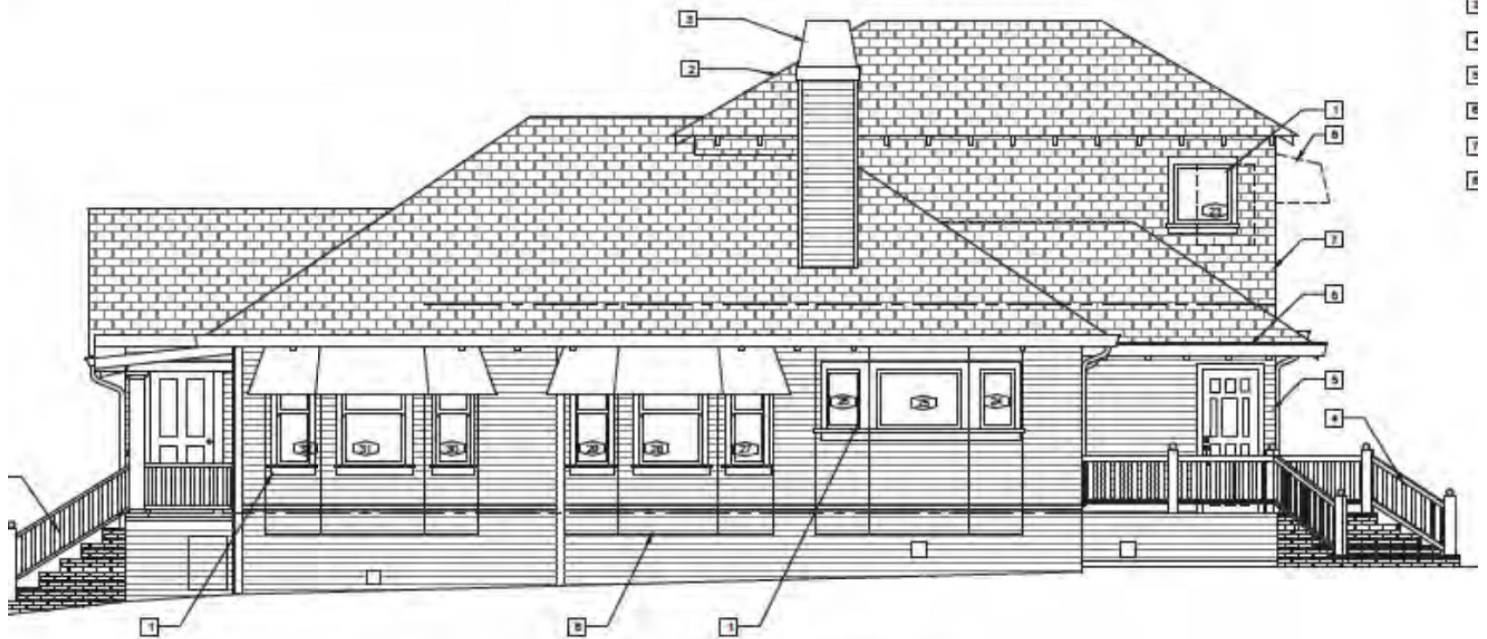


Double hung

SOUTH

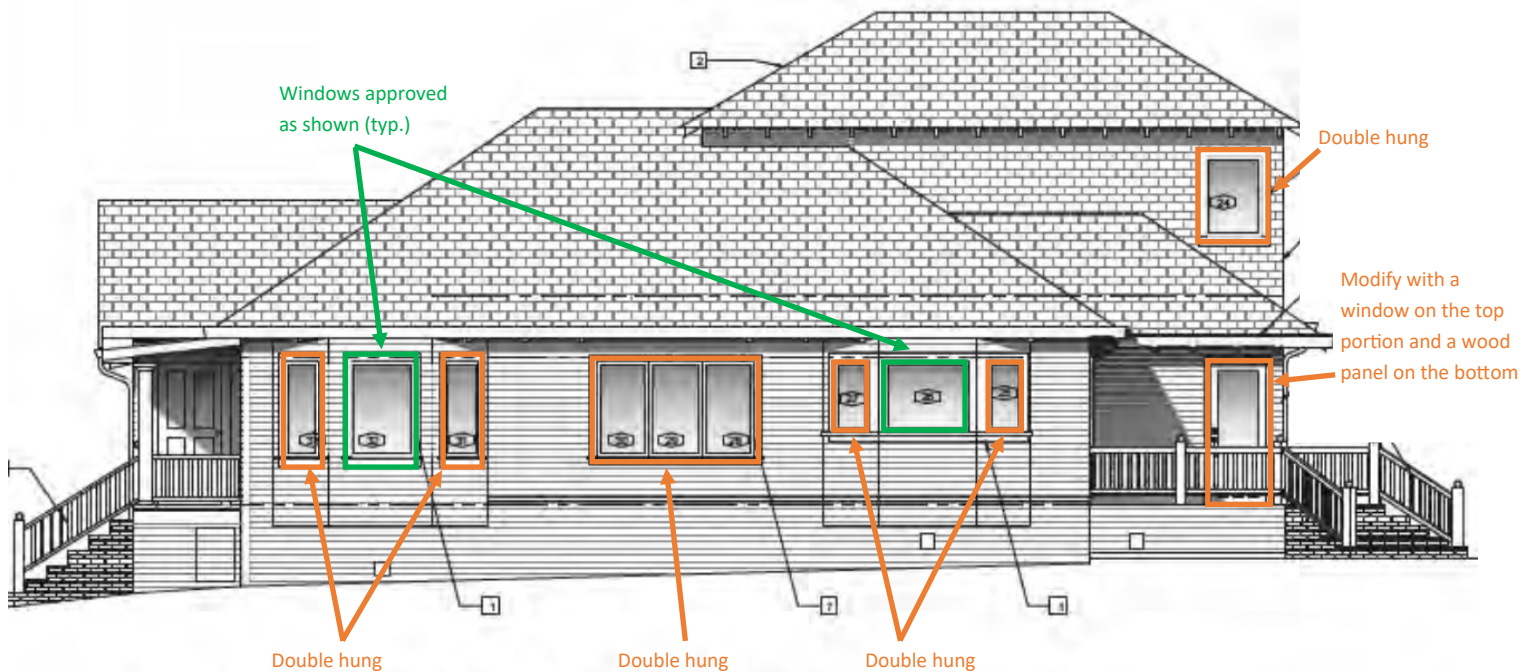
PROPOSED SOUTH ELEVATION (REAR)

1/4" = 1'-0"



EXISTING WEST ELEVATION

1/4" = 1'-0"



PROPOSED WEST ELEVATION

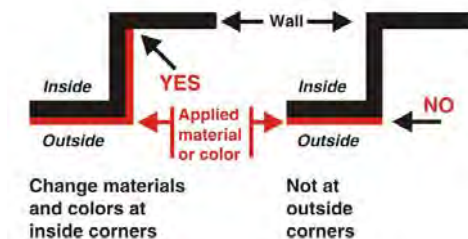
1/4" = 1'-0"

3.8.3 Use traditional detailing

- Treat openings in walls as though they were constructed of the traditional material for the style. For example, be sure to provide substantial wall space above arches in stucco and stone walls. Traditionally, wall space above the arch would have been necessary to structurally span the opening, and to make the space too small is inconsistent with the architectural style.
- Openings in walls faced with stone, real or synthetic, should have defined lintels above the opening except in Mission or Spanish Eclectic styles. Lintels may be stone, brick or wood as suits the style of the house.
- Treat synthetic materials as though they were authentic. For example, select synthetic stone patterns that place the individual stones in a horizontal plane as they would have been in a load bearing masonry wall.
- Select roof materials that are consistent with the traditional architectural style (e.g., avoid concrete roof tiles on a Craftsman Style house.)

3.8.4 Materials changes

- Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.



Use stone or wood lintels over openings in stone walls

3.9 ADDITIONS/ACCESSORY BUILDINGS/SECONDARY UNITS

- Site additions in the least conspicuous place. In many cases this is a rear or side elevation - only rarely is it a rooftop.
- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape and location as the original, and



Additions, accessory buildings and secondary units should match the form, architectural style, and details of the original house

BUILDING DESIGN

3



Original structure



Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood



Placing a two story addition to the rear can minimize its impact on the historic resource and the scale of the neighborhood

should utilize the same materials as the existing protected exterior elements.

- When an addition necessitates the removal of architectural materials, such as siding, windows, doors, and decorative elements, they should be carefully removed and reused in the addition where possible.
- The introduction of window and door openings not characteristic in proportion, scale, or style with the original architecture is strongly discouraged (e.g., sliding windows or doors in a structure characterized by double hung windows and swinging doors).
- The character of any addition or alteration should be in keeping with and subordinate to the integrity of the original structure.
- The amount of foundation exposed on the addition should match that of the original building.
- Do not add roof top additions where the roof is of historic significance.
- Second floor additions are discouraged in neighborhoods with largely one story homes. If horizontal expansion of the house is not possible, consider incorporating a second floor addition within the roof form as shown in the example to the left.
- Second floor additions which are not embedded within the roof form should be located to the rear of the structure.
- The height and proportion of an addition or a second story should not dominate the original structure.
- Deck additions should be placed to the rear of the structure only, and should be subordinate in terms of scale and detailing.
- New outbuildings, such as garages, should be clearly subordinate to the main structure in massing, and should utilize forms, materials and details which are similar to the main structure.
- Garages should generally be located to the rear of the lot behind the rear wall of the residence. One car wide access driveways should be utilized.

REMODEL FOR
ROLLA RESIDENCE
69 HERNANDEZ ST.
LOS GATOS, CALIFORNIA 95030

FIRE NOTES

CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE C.F.C. CHP. 33 AND SANTA CLARA COUNTY FIRE DEPARTMENT SPECIFICATION S17.

THIS PROJECT IS LOCATED WITHIN THE DESIGNATED WILDLAND-URBAN INTERFACE FIRE AREA. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF CALIFORNIA BUILDING CODE (CBC) CHP 7A. NOTE THAT VEGETATION CLEARANCE SHALL BE IN COMPLIANCE WITH CBC SECT. 701A.3.2.4 PRIOR TO PROJECT FINAL APPROVAL.

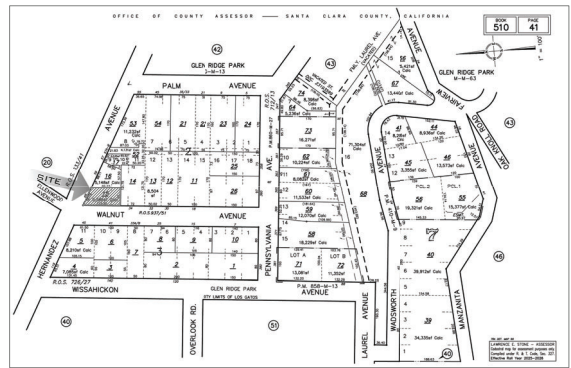
ALL NEW WINDOWS SHALL HAVE ONE PANE OF TEMPERED GLAZING PER CBC CHP. 7A.

ALL NEW ROOF VENTS SHALL COMPLY WITH CBC CHP 7A.

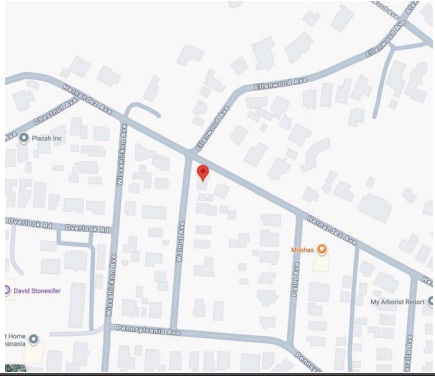
POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLICANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD.

PROVIDE ADDRESS NUMBERS IN A POSITION THAT IS PLAINLY VISIBLE FROM STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY ADDRESS RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS. NUMBERS SHALL BE A MIN. OF 4" HIGH WITH A MIN. STROKE WIDTH OF 0.07". ADDRESS NUMBERS SHALL BE MAINTAINED. CFC605.1.

PARCEL MAP



VICINITY MAP



PROPERTY OWNER

PHIL ROLLA
69 HERNANDEZ ST.
LOS GATOS, CA. 95030

CONSULTANTS

ARCHITECT: STUDIO 528 ART & ARCHITECTURE, INC.
MICHAEL TINSLEY, ARCHITECT
105 LOCUST ST., STE. D
SANTA CRUZ, CA 95060
PH: (408) 705-6763

HISTORIAN: ARCHEOLOGICAL RESOURCE MANAGEMENT
ROBERT CARTIER, PhD
496 N. 5TH ST
SAN JOSE, CA 95112
PH: (408) 295-1373

SURVEYOR: LEA & BRAZE ENGINEERING
GREGORY BRAZE, SURVEYOR
2495 INDUSTRIAL PARKWAY WEST
HAYWARD, CA 94545
PH: (510) 887-4086

STRUCTURAL ENGINEER: RODAC3 ENGINEERING
JOEY RODA, PE
450 SOUTH ADEL ST.
PO BOX 365100
MILPITAS, CA 95036
PH: (408) 821-1335

ENERGY CONSULTANT: LINDA BUTLER, CEPE
124 OTIS ST.
SANTA CRUZ, CA 95060
PH: (831) 345-1028

SUPPORTING DOCUMENTS: STRUCTURAL CALCULATIONS

SCOPE OF WORK

REVISION TO PERMIT PHST 25-D19. REPLACE NON-HISTORIC SHINGLE SIDING AT THE UPPER LEVEL INSTALLED IN 1981 WITH HARDIE SHINGLE SIDING. RELOCATE NON-HISTORIC FRONT DOOR, REPLACE NON-HISTORIC REAR PORCH WITH NEW STONE PORCH AND STEPS

APPLICABLE CODES: THESE PLANS CONFORM TO THE:
2023 CALIFORNIA RESIDENTIAL CODE
2025 CALIFORNIA BUILDING CODE
2025 CALIFORNIA FIRE CODE
2025 CALIFORNIA PLUMBING CODE
2025 CALIFORNIA MECHANICAL CODE
2025 CALIFORNIA ELECTRIC CODE
2025 CALIFORNIA GREEN STANDARDS
2025 CALIFORNIA ENERGY STANDARDS
TOWN OF LOS GATOS AMENDMENTS

DEFERRED SUBMITTALS: N/A

PROJECT INFORMATION

ADDRESS: 69 HERNANDEZ ST.
LOS GATOS, CA. 95030

PARCEL NUMBER: 51041015

ZONING: R-1-B

TYPE CONSTRUCTION: V-B

OCCUPANCY: R3 / U

PARKING: (E) 2 COVERED

FIRE ZONE: NO

LOT AREA: 5561 SQ. FT.

REQUIRED SETBACKS: 18'-0" STREET
2'-0" EXISTING
5'-0" REAR

MAX. HEIGHT: 30'-0"

MAX. ALLOWABLE F.A.R. = $0.35 \cdot ((A-5) \times .20)$
RESIDENCE = $0.35 \cdot ((5.6-5) \times .20)$
= $0.35 \cdot (0.024 \times .20)$
= $0.35 \cdot 0.0048$
= $0.35 (5561) = 1,946.35 \text{ sq.ft.}$

A. ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. CGBSC SECTION 4.504.2.4

B. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, GARRET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EXHIBITION LIMITS SPECIFIED IN CGBSC SECTION 4.504.

DOCUMENTATION SHALL BE PROVIDED, PRIOR TO FIRST INSPECTION, CONFIRMING COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED TO THE JURISDICTION. CGBSC SECTION 4.408.5

BUILDER MUST PROVIDE THE HOMEMOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1, 10-103(B)) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINARIES.

PRIOR TO FINAL OCCUPANCY ALL EXTERIOR LIGHTING SHALL BE KEPT TO A MINIMUM AND SHALL BE DOWN DIRECTED FIXTURES THAT WILL NOT REFLECT OR ENCRGROACH ONTO ADJACENT PROPERTIES. ALL LIGHTING SHALL UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT THE LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE BLARE WHEN SEEN FROM NEARBY HOMES. NO FLOOD LIGHTS SHALL BE USED UNLESS IT CAN BE DEMONSTRATED THAT THEY ARE NEEDED FOR SAFETY OR SECURITY.

SHEET INDEX

AA1	COVER SHEET
SU1	SURVEY
A1.0	SITE PLAN
A2.0	BASEMENT LEVEL DEMO FLOOR PLAN
A2.1	LOWER LEVEL DEMOLITION FLOOR PLAN
A2.2	UPPER LEVEL DEMOLITION FLOOR PLAN
A2.3	BASEMENT LEVEL FLOOR PLAN
A2.4	LOWER LEVEL FLOOR PLAN
A2.5	UPPER LEVEL FLOOR PLAN
A3.0	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	EXTERIOR ELEVATIONS
A5.0	DOOR & WINDOW SCHEDULES



NO.	DATE	REVISION

PROPOSED REMODEL:
THE ROLLA RESIDENCE
69 HERNANDEZ AVE
LOS GATOS, CA 95030

A.P.N. 51041015
SHEET TITLE:
COVER SHEET

ISSUE DATE: 08/03/2028
SCALE: AS NOTED

AA1

SITE PLAN NOTES

1. NO EXISTING DRAINAGE ISSUES HAVE BEEN OBSERVED AT OR NEAR THE SITE. NO ISSUES OR ADVERSE IMPACTS TO NEIGHBORING PROPERTIES, ROADWAYS DRAINAGE PATHWAYS ARE ANTICIPATED RESULTING FROM THE PROPOSED IMPROVEMENTS.

SITE PLAN KEYNOTES

- 1 (E) R.O.W. GRAVEL TO REMAIN
- 2 (E) CONCRETE DRIVEWAY TO REMAIN
- 3 (E) SHED TO BE REMOVED
- 4 (E) NON-HISTORIC BAY WINDOW TO BE REMOVED
- 5 (E) NON-HISTORIC PORCH AND STEPS TO BE REMOVED
- 6 (N) STONE PATIO AND STEPS



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Santa Cruz, CA 95060
408/705.6763
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HPC

SET

NO.	DATE	REVISION

PROPOSED REMODEL

**THE
ROLLA
RESIDENCE**

69 HERNANDEZ AVE

LOS GATOS, CA 95030

A.P.N. 51041015

SHEET TITLE:

SITE PLAN

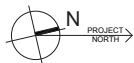
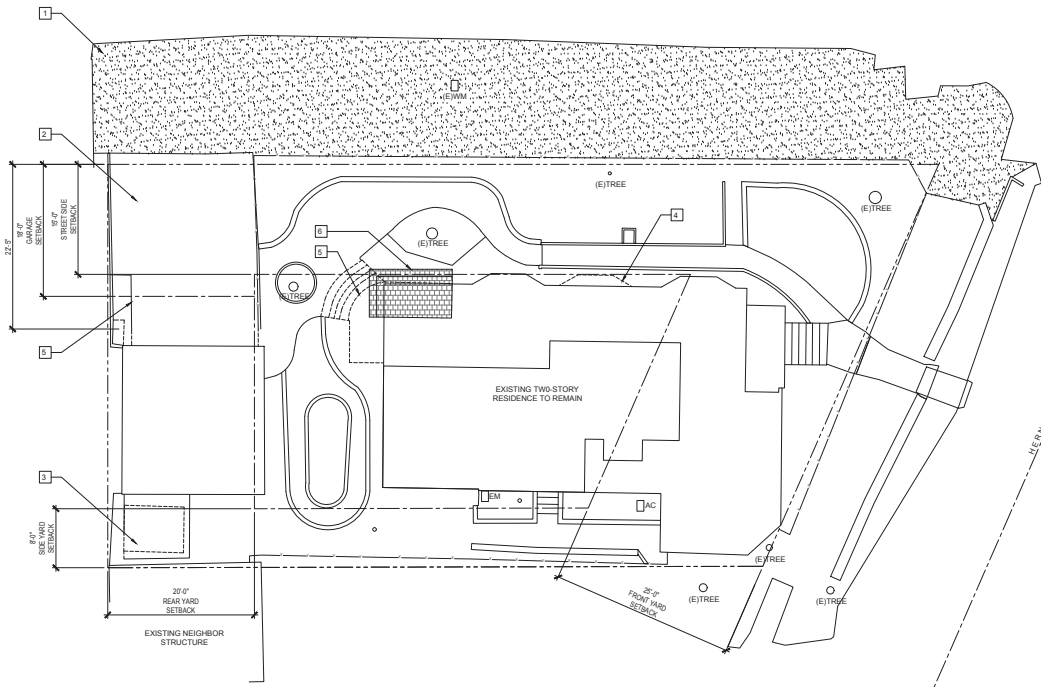
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SCALE: AS NOTED

A1.0

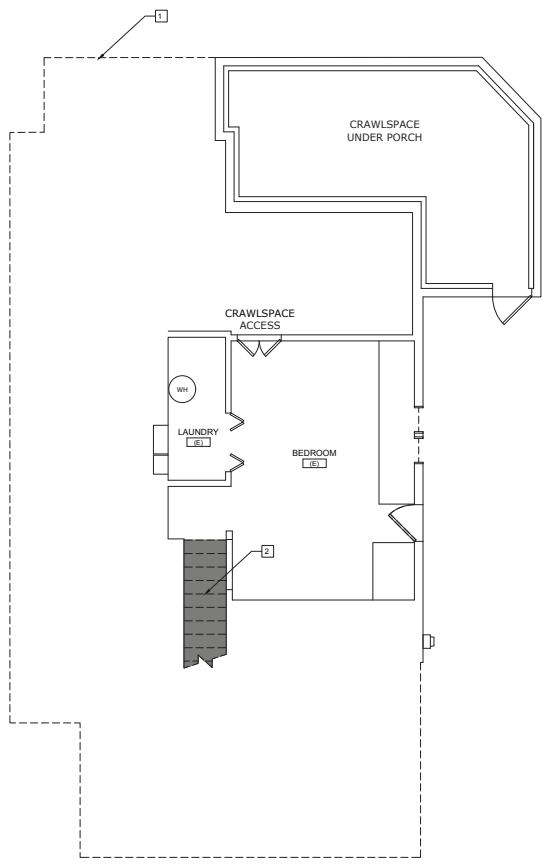
WALNUT AVE
(60'-0" R.O.W.)

HERNANDEZ AVE
(60'-0" R.O.W.)



SITE PLAN

1/8" = 1'-0"

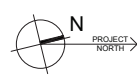


DEMOLITION PLAN NOTES

1. DEMOLITION PLAN IS PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL CAREFULLY COORDINATE DEMOLITION & REMOVAL WITH NOTES & DIMENSIONS INDICATING THE EXTENT & NATURE OF NEW CONSTRUCTION SHOWN ELSEWHERE IN THESE DOCUMENTS.
2. GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURELY SHORING IN PLACE ALL OVERHEAD STRUCTURES PRIOR TO REMOVAL OF ANY SUPPORTING STRUCTURES.
3. CAP OFF ALL PLUMBING, GAS, AND ELECTRICAL LINES AS REQUIRED.

SHEET NOTES

- 1 OUTLINE OF LEVEL ABOVE
- 2 DEMO (E) STAIR AND RAILING. PREP OPENING FOR (N) FLOOR FRAMING



BASEMENT LEVEL DEMOLITION PLAN

1/4" = 1'-0"

WALL LEGEND

- (E) CONSTRUCTION TO REMAIN
- (E) CONSTRUCTION TO BE REMOVED



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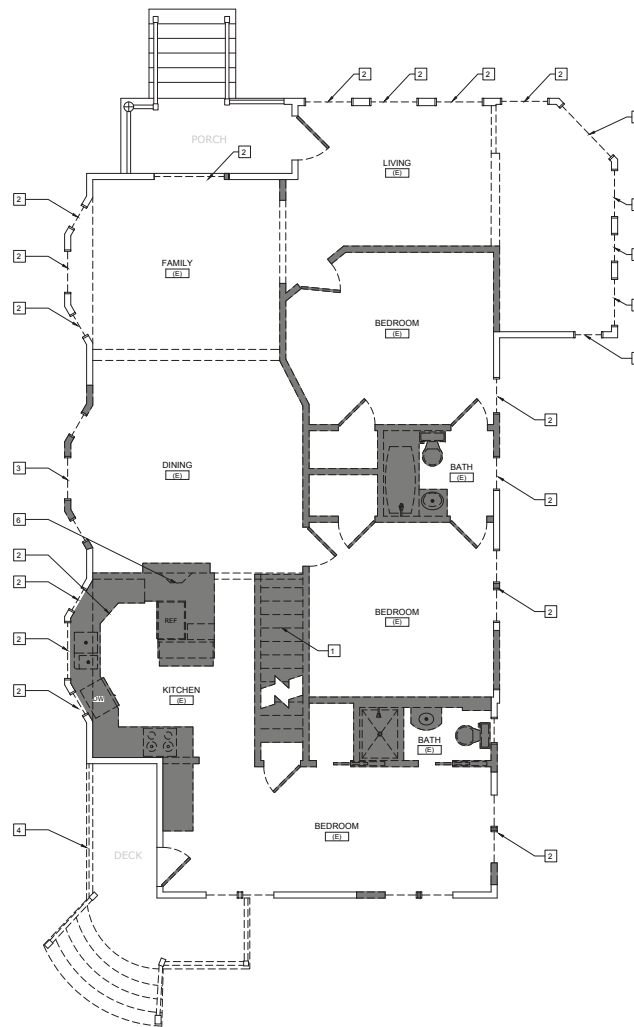
NO.	DATE	REVISION

PROPOSED REMODEL:
THE ROLLA RESIDENCE
60 HERNANDEZ AVE
LOS GATOS, CA 95030
A.P.N. 51041015

SHEET TITLE:
BASEMENT LEVEL DEMOLITION PLAN

ISSUE DATE: 08/03/2026
SCALE: AS NOTED

A2.0



DEMOLITION PLAN NOTES

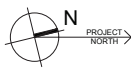
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3. CAP OFF ALL PLUMBING, GAS, AND ELECTRICAL LINES AS REQUIRED.

SHEET NOTES

- 1 DEMO (E) STAIR AND RAILING, PREP OPENING FOR (N) FLOOR FRAMING
- 2 DEMO (E) NON-HISTORIC WINDOW, TYP
- 3 DEMO (E) NON-HISTORIC BAY WINDOW, TYP
- 4 DEMO (E) NON-HISTORIC PORCH TO BE REMOVED
- 5 (E) KITCHEN CABINETRY, PLUMBING APPLIANCES AND FINISHES TO BE REMOVED
- 6 (E) FIREPLACE TO BE REMOVED, PREP AREA FOR (N) FLOORING

WALL LEGEND

- (E) CONSTRUCTION TO REMAIN
- (E) CONSTRUCTION TO BE REMOVED



MAIN LEVEL DEMOLITION PLAN

1/4" = 1'-0"



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Santa Cruz, CA 95060
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HPC
SET

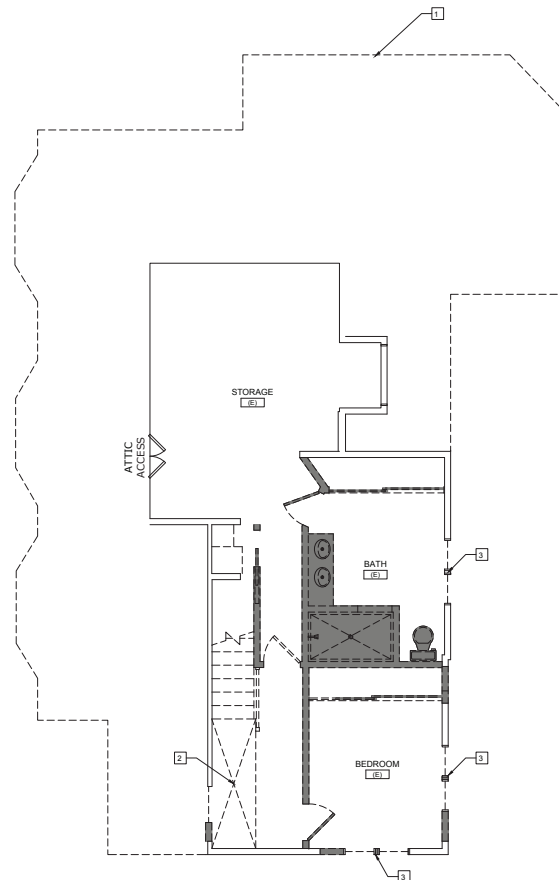
NO.	DATE	REVISION

PROPOSED REMODEL:
**THE
ROLLA
RESIDENCE**
60 HERNANDEZ AVE
LOS GATOS, CA 95030
A.P.N. 51041015

SHEET TITLE:
**MAIN LEVEL
DEMOLITION
PLAN**

ISSUE DATE: 08/03/2026
SCALE: AS NOTED

A2.1

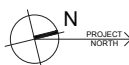


DEMOLITION PLAN NOTES

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2. GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURELY SHORING IN PLACE ALL OVERHEAD STRUCTURES PRIOR TO REMOVAL OF ANY SUPPORTING STRUCTURES.
3. CAP OFF ALL PLUMBING, GAS, AND ELECTRICAL LINES AS REQUIRED

SHEET NOTES

1. OUTLINE OF LEVEL BELOW
2. REMOVE (E) FLOOR FRAMING FOR (N) STAIRWELL
3. DEMO (E) NON-HISTORIC WINDOW, TYP



UPPER LEVEL DEMOLITION PLAN

1/4" = 1'-0"

WALL LEGEND

- (E) CONSTRUCTION TO REMAIN
- (E) CONSTRUCTION TO BE REMOVED



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408705.6703
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HPC
SET

NO.	DATE	REVISION

PROPOSED REMODEL:
**THE
ROLLA
RESIDENCE**
60 HERNANDEZ AVE
LOS GATOS, CA 95030

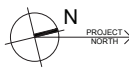
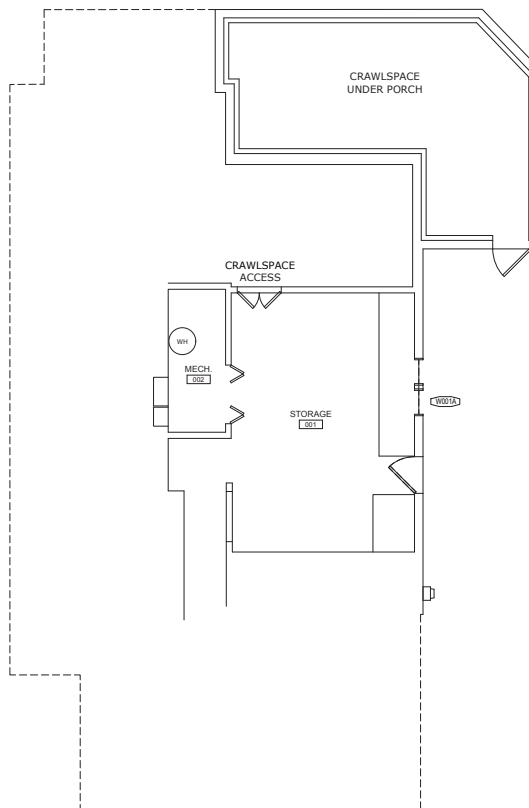
A.P.N. 51041015

SHEET TITLE:
**UPPER LEVEL
DEMOLITION
PLAN**

ISSUE DATE: 08/03/2026

SCALE: AS NOTED

A2.2



BASEMENT LEVEL FLOOR PLAN

1/4" = 1'-0"

WALL LEGEND

- (E) CONSTRUCTION TO REMAIN
- (E) CONSTRUCTION TO BE REMOVED

FLOOR PLAN NOTES

1. COORDINATION: THE GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF FIELD CONDITIONS PRIOR TO COMMENCEMENT OF ANY RELATED WORK. THE CONTRACTOR SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THIS OFFICE, OR THE OWNER.
2. DIMENSIONS SHOWN ARE TO FACE OF STUDS, OR CONCRETE, UNLESS NOTED OTHERWISE.
3. PROVIDE MIN. 3'-0" LANDINGS OUTSIDE ALL EXTERIOR DOORS PER C.B.C. LANDINGS SHALL BE NOT MORE THAN 7'-3/4" BELOW INSIDE FINISHED FLOORS AT IN-SWING DOORS, AND 1'-1/2" OUTSWING DOORS.
4. OPENINGS AROUND GAS VENTS, DUCTS, PIPES, CHIMNEYS, AND FIREPLACES SHALL BE FIRE-BLOCKED WITH NON-COMBUSTIBLE MATERIALS PER C.B.C.
5. TUB / SHOWER WALLS TO HAVE A SMOOTH, NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO HEIGHT OF 70" ABOVE THE DRAIN INLET, PER C.B.C.
6. PROVIDE FULLY TEMPERED, LAMINATED SAFETY GLASS FOR TUB / SHOWER ENCLOSURE.
7. ALL INTERIOR FINISHES, FIXTURES, APPLIANCES, AND EQUIPMENT TO BE SELECTED AND APPROVED BY THE OWNER PRIOR TO INSTALLATION.

SHEET NOTES



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Santa Cruz, CA 95060
408/705-6703
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SET

NO.	DATE	REVISION

PROPOSED REMODEL:
**THE
ROLLA
RESIDENCE**
60 HERNANDEZ AVE
LOS GATOS, CA 95030

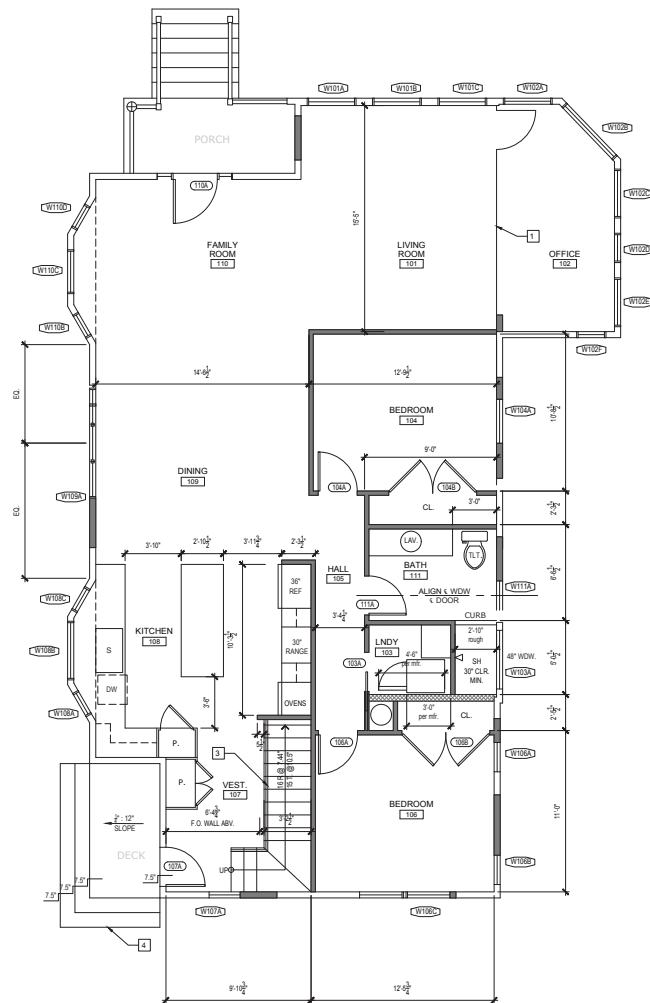
A.P.N. 51041015

SHEET TITLE:
**BASEMENT
LEVEL
FLOOR PLAN**

ISSUE DATE: 08/03/2026

SCALE: AS NOTED

A2.3



FLOOR PLAN NOTES

- COORDINATION: THE GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF FIELD CONDITIONS PRIOR TO COMMENCEMENT OF ANY RELATED WORK. THE CONTRACTOR SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THIS OFFICE, OR THE OWNER.
- DIMENSIONS SHOWN ARE TO FACE OF STUDS, OR CONCRETE, UNLESS NOTED OTHERWISE.
- PROVIDE MIN. 3'-0" LANDINGS OUTSIDE ALL EXTERIOR DOORS PER C.B.C. LANDINGS SHALL BE NOT MORE THAN 7'-3/4" BELOW INSIDE FINISHED FLOORS AT IN-SWING DOORS, AND 1'-1/2" OUTSWING DOORS.
- OPENINGS AROUND GAS VENTS, DUCTS, PIPES, CHIMNEYS, AND FIREPLACES SHALL BE FIRE-BLOCKED WITH NON-COMBUSTIBLE MATERIALS PER C.B.C.
- TUB / SHOWER WALLS TO HAVE A SMOOTH, NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO HEIGHT OF 70" ABOVE THE DRAIN INLET, PER C.B.C.
- PROVIDE FULLY TEMPERED, LAMINATED SAFETY GLASS FOR TUB / SHOWER ENCLOSURE.
- ALL INTERIOR FINISHES, FIXTURES, APPLIANCES, AND EQUIPMENT TO BE SELECTED AND APPROVED BY THE OWNER PRIOR TO INSTALLATION.

SHEET NOTES

- (N) GLASS WALL PARTITION
- (N) ALUM. CLAD WOOD WINDOW. COLOR: BLACK
- (N) PREFABRICATED STAIR AND RAILING BY VIEWRAIL "LIGHT MONO" w/ SURFACE MOUNTED ROD RAILING. DETAILS AND CALCS BY MANUFACTURER.
- (N) EXTERIOR STONE STEPS. 7.75" MAX RISE



MAIN LEVEL FLOOR PLAN

1/4" = 1'-0"

WALL LEGEND

- (E) CONSTRUCTION TO REMAIN
- (N) CONSTRUCTION TO MATCH (E)



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PROPOSED REMODEL:
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60 HERNANDEZ AVE
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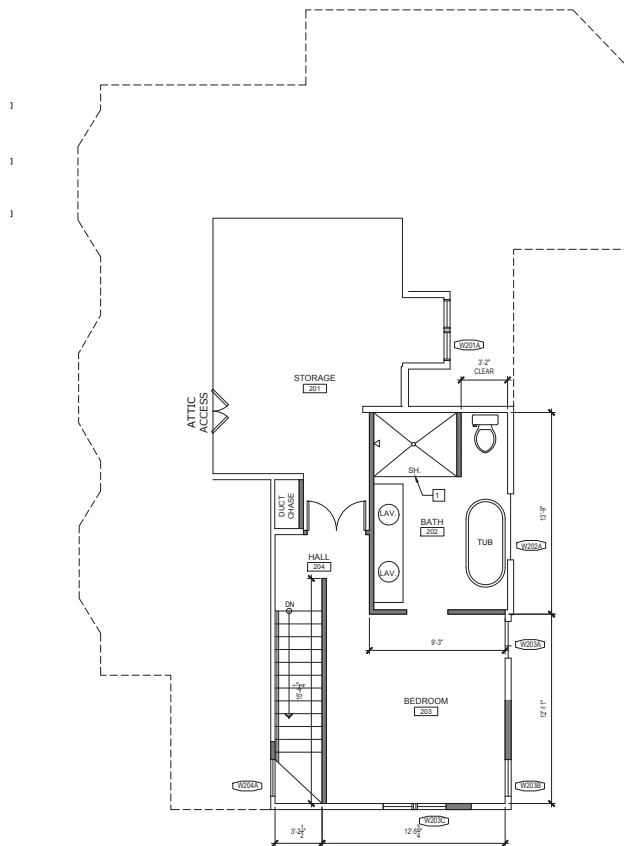
A.P.N. 51041015

SHEET TITLE:
**MAIN LEVEL
FLOOR PLAN**

ISSUE DATE: 08/03/2026

SCALE: AS NOTED

A2.4

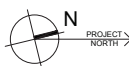


FLOOR PLAN NOTES

- COORDINATION: THE GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF FIELD CONDITIONS PRIOR TO COMMENCEMENT OF ANY RELATED WORK. THE CONTRACTOR SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THIS OFFICE, OR THE OWNER.
- DIMENSIONS SHOWN ARE TO FACE OF STUDS, OR CONCRETE, UNLESS NOTED OTHERWISE.
- PROVIDE MIN. 3'-0" LANDINGS OUTSIDE ALL EXTERIOR DOORS PER C.B.C. LANDINGS SHALL BE NOT MORE THAN 7'-3/4" BELOW INSIDE FINISHED FLOORS AT IN-SWING DOORS, AND 1'-1/2" OUTSWING DOORS.
- OPENINGS AROUND GAS VENTS, DUCTS, PIPES, CHIMNEYS, AND FIREPLACES SHALL BE FIRE-BLOCKED WITH NON-COMBUSTIBLE MATERIALS PER C.B.C.
- TUB / SHOWER WALLS TO HAVE A SMOOTH, NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO HEIGHT OF 70" ABOVE THE DRAIN INLET, PER C.B.C.
- PROVIDE FULLY TEMPERED, LAMINATED SAFETY GLASS FOR TUB / SHOWER ENCLOSURE.
- ALL INTERIOR FINISHES, FIXTURES, APPLIANCES, AND EQUIPMENT TO BE SELECTED AND APPROVED BY THE OWNER PRIOR TO INSTALLATION.

SHEET NOTES

- CURBLESS SHOWER, SEE STRUCT. DWGS.



UPPER LEVEL FLOOR PLAN

1/4" = 1'-0"

WALL LEGEND

- (E) CONSTRUCTION TO REMAIN
- (N) CONSTRUCTION TO MATCH (E)



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UPPER LEVEL FLOOR PLAN

ISSUE DATE: 08/03/2026
SCALE: AS NOTED

A2.5

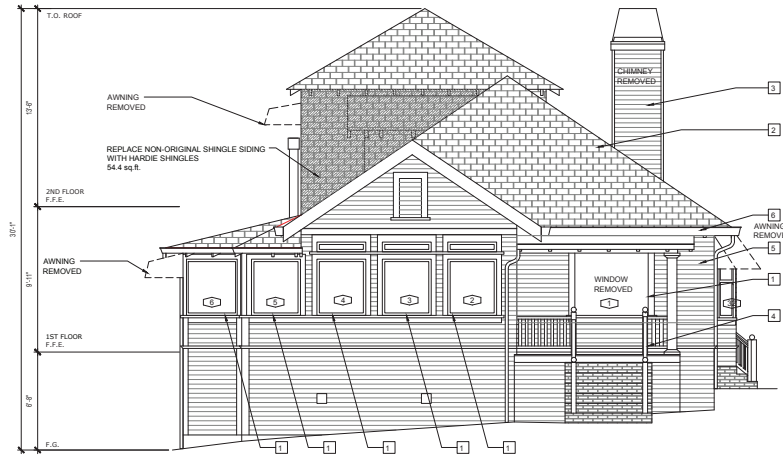
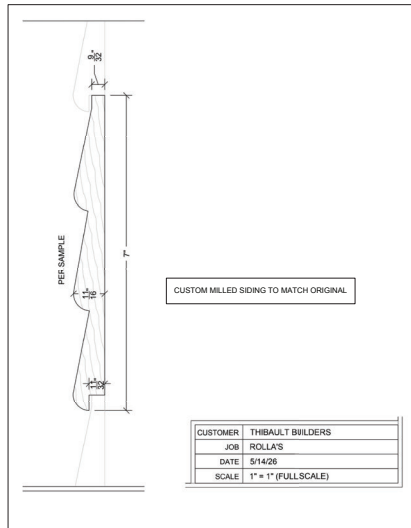
EXISTING WINDOWS

NO.	SIZE (W x H)	CONDITION	MATERIAL	FUNCTION
1	5'-0" x 5'-6"	(E) NON-ORIGINAL	WOOD	FIXED
2	3'-4" x 3'-10"	(E) NON-ORIGINAL	WOOD	FIXED W/ 8" TRANSOM
3	3'-4" x 3'-10"	(E) NON-ORIGINAL	WOOD	FIXED W/ 8" TRANSOM
4	3'-4" x 3'-10"	(E) NON-ORIGINAL	WOOD	FIXED W/ 8" TRANSOM
5	3'-4" x 3'-10"	(E) NON-ORIGINAL	WOOD	FIXED
6	5'-0" x 3'-10"	(E) NON-ORIGINAL	WOOD	FIXED
7	1'-10" x 4'-8"	(E) ORIGINAL	WOOD	DOUBLE HUNG

WALL SURFACE CALCULATION

EXISTING WALL SURFACE: 544 sq.ft.
EXISTING WALL SURFACE TO BE MODIFIED: 54.4 sq.ft. (10%)

- EXEMPTIONS:
- REPLACEMENT. THE EXTERIOR WALL COVERING MAY BE REMOVED IF THE COVERING IS NOT ORIGINAL TO THE STRUCTURE.
 - REPAIR. THE REMOVAL AND REPLACEMENT OF IN KIND NON-REPAIRABLE EXTERIOR WALL COVERING RESULTING IN NO CHANGE TO ITS EXTERIOR APPEARANCE OR HISTORIC CHARACTER IF APPROVED BY THE DECIDING BODY IS EXEMPT
 - REMOVAL. THE REMOVAL OF AN ADDITION(S) THAT IS NOT PART OF THE ORIGINAL STRUCTURE AND WHICH HAS NO HISTORIC SIGNIFICANCE AS DETERMINED BY THE HISTORIC PRESERVATION COMMITTEE. DEMOLITION SHALL BE DETERMINED BY SUBSECTIONS (1) AND (2) ABOVE FOR THE ORIGINAL STRUCTURE. WHERE WALLS ENCLOSED BY ADDITIONS SHALL BE CONSIDERED AS EXTERIOR WALLS IS EXEMPT

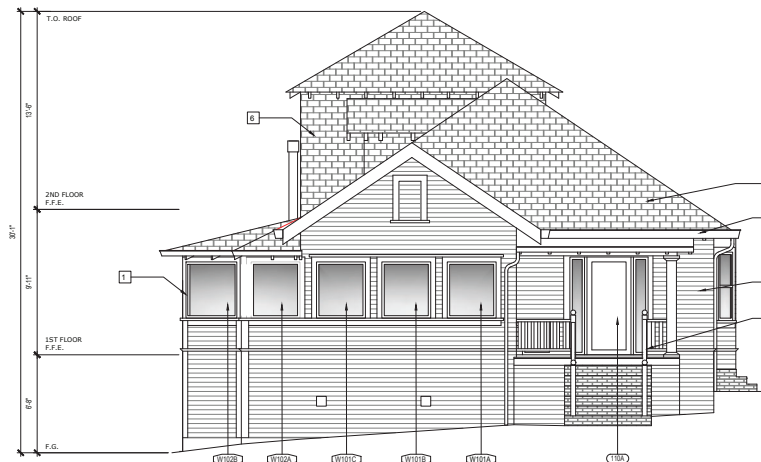


EXISTING NORTH ELEVATION (FRONT)

1/4" = 1'-0"

EXISTING NOTES

- (E) NON-HISTORIC WOOD WINDOW TO BE REMOVED
- (E) ASPHALT SHINGLE TO REMAIN
- (E) NON-HISTORIC CHIMNEY TO BE REMOVED
- (E) PORCH AND RAILING TO REMAIN
- (E) LAP SIDING TO REMAIN
- (E) GUTTER & DOWNSPOUT TO REMAIN
- (E) UTILITY METER
- (E) CANVAS AWNING TO BE REMOVED
- (E) ORIGINAL WINDOW TO BE REMOVED
- DASHED LINE INDICATES PROPOSED WINDOW LOCATION



NORTH

PROPOSED NORTH ELEVATION (FRONT)

1/4" = 1'-0"

PROPOSED NOTES

- (E) WOOD TRIM TO REMAIN
- (E) ASPHALT SHINGLE TO REMAIN
- (E) PORCH AND RAILING TO REMAIN
- (E) LAP SIDING TO REMAIN
- (E) GUTTER & DOWNSPOUT TO REMAIN
- (N) JAMES HARDIE SHINGLE SIDING



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SHEET TITLE:
**EXISTING
EXTERIOR
ELEVATIONS**

ISSUE DATE: 08/03/2026

SCALE: AS NOTED

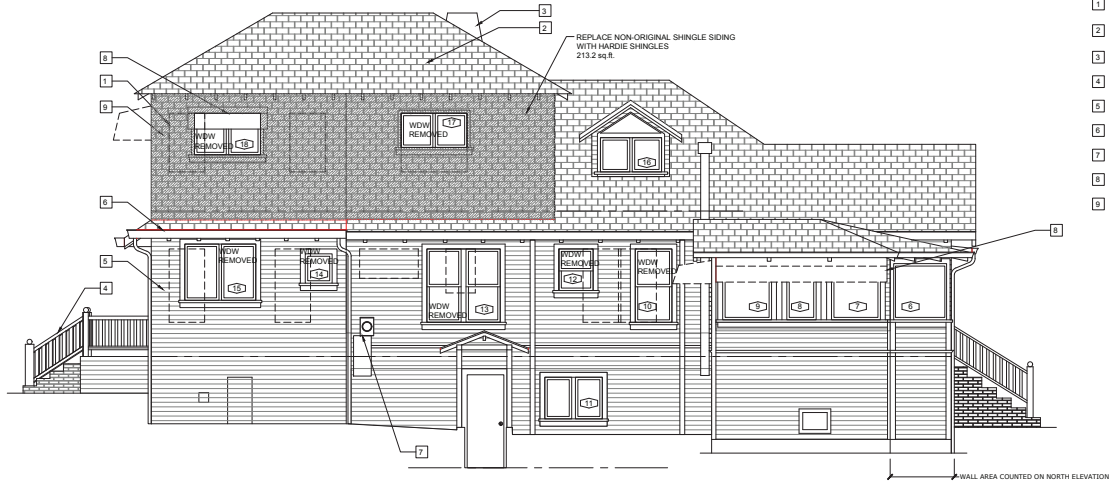
A3.0

EXISTING WINDOWS

NO.	SIZE (W x H)	CONDITION	MATERIAL	FUNCTION
1	5'-0" x 3'-10"	(E) NON-ORIGINAL	WOOD	FIXED
2	3'-4" x 3'-10"	(E) NON-ORIGINAL	WOOD	FIXED
3	2'-0" x 3'-10"	(E) NON-ORIGINAL	WOOD	FIXED
4	3'-4" x 3'-10"	(E) NON-ORIGINAL	WOOD	FIXED
5	2'-0" x 5'-0"	(E) ORIGINAL	WOOD	DOUBLE HUNG
6	4'-0" x 3'-0"	(E) NON-ORIGINAL	VINYL	DOUBLE HUNG
7	2'-4" x 2'-10"	(E) NON-ORIGINAL	WOOD	DOUBLE HUNG
8	5'-0" x 5'-0"	(E) ORIGINAL	WOOD	PAIR DOUBLE HUNG
9	2'-0" x 2'-0"	(E) NON-ORIGINAL	WOOD	CASEMENT
10	5'-0" x 4'-0"	(E) NON-ORIGINAL	WOOD	PAIR CASEMENT
11	4'-2" x 2'-4"	(E) NON-ORIGINAL	WOOD	PAIR CASEMENT W/ TRANSOM
12	4'-0" x 2'-4"	(E) NON-ORIGINAL	WOOD	PAIR CASEMENT
13	4'-0" x 2'-10"	(E) NON-ORIGINAL	WOOD	PAIR CASEMENT

WALL SURFACE CALCULATION

EXISTING WALL SURFACE:	1,009 sq.ft.
EXISTING WALL SURFACE TO BE MODIFIED:	213.2 sq.ft. (21.1%)

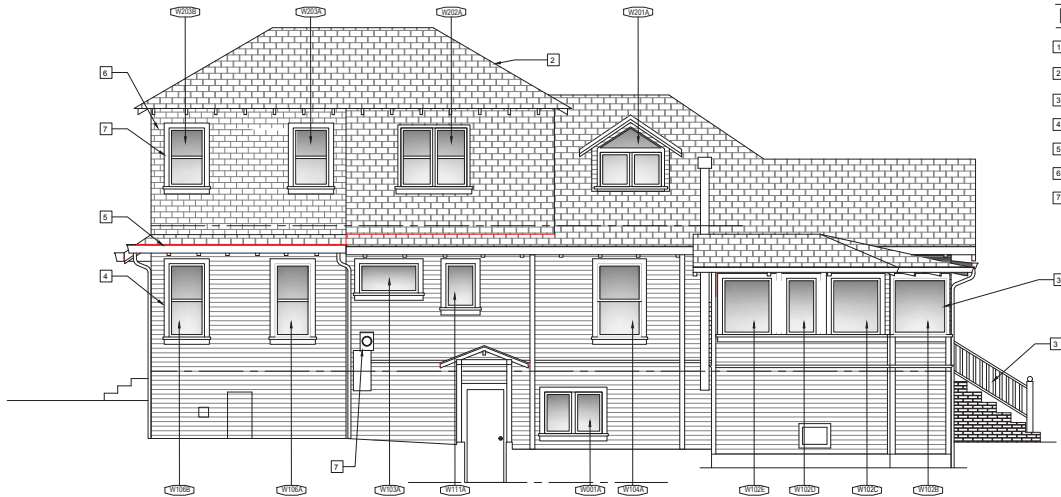


SHEET NOTES

- 1 DASHED LINE INDICATES PROPOSED WINDOW LOCATION, TYP.
- 2 (E) ASPHALT SHINGLE TO REMAIN
- 3 (E) NON-HISTORIC CHIMNEY TO BE REMOVED
- 4 (E) NON-HISTORIC PORCH AND RAILING TO BE REMOVED
- 5 (E) LAP SIDING TO REMAIN
- 6 (E) GUTTER & DOWNSPOUT TO REMAIN
- 7 (E) UTILITY METER
- 8 (E) CANVAS AWNING TO BE REMOVED
- 9 (E) SHINGLE SIDING TO REMAIN

EXISTING EAST ELEVATION (SIDE)

1/4" = 1'-0"



PROPOSED NOTES

- 1 (E) WOOD TRIM TO REMAIN
- 2 (E) ASPHALT SHINGLE TO REMAIN
- 3 (E) PORCH AND RAILING TO REMAIN
- 4 (E) LAP SIDING TO REMAIN
- 5 (E) GUTTER & DOWNSPOUT TO REMAIN
- 6 (N) JAMES HARDIE SHINGLE SIDING
- 7 (N) WOOD TRIM TO MATCH (E)

PROPOSED EAST ELEVATION (SIDE)

1/4" = 1'-0"



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SHEET TITLE:
EXISTING EXTERIOR ELEVATIONS

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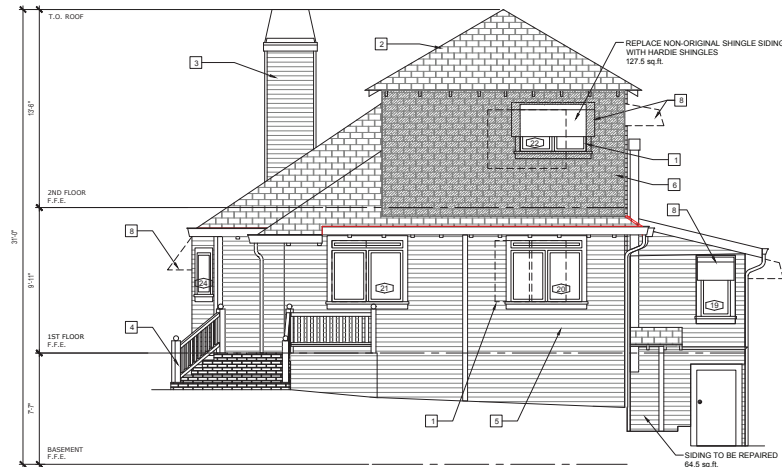
A3.1

EXISTING WINDOWS

NO.	SIZE (W x H)	CONDITION	MATERIAL	FUNCTION
1	2'-0" x 4'-0"	(E) NON-ORIGINAL	WOOD	FIXED
2	4'-10" x 3'-4"	(E) NON-ORIGINAL	WOOD	PAIR CASEMENT W/ 6" TRANSOM
3	4'-10" x 3'-4"	(E) NON-ORIGINAL	WOOD	PAIR CASEMENT W/ 6" TRANSOM
4	4'-6" x 2'-10"	(E) NON-ORIGINAL	WOOD	PAIR CASEMENT
5	1'-10" x 2'-10"	(E) NON-ORIGINAL	WOOD	CASEMENT

WALL SURFACE CALCULATION

EXISTING WALL SURFACE:	576 sq. ft.
EXISTING WALL SURFACE TO BE MODIFIED:	127.5 sq. ft. (22.1%)

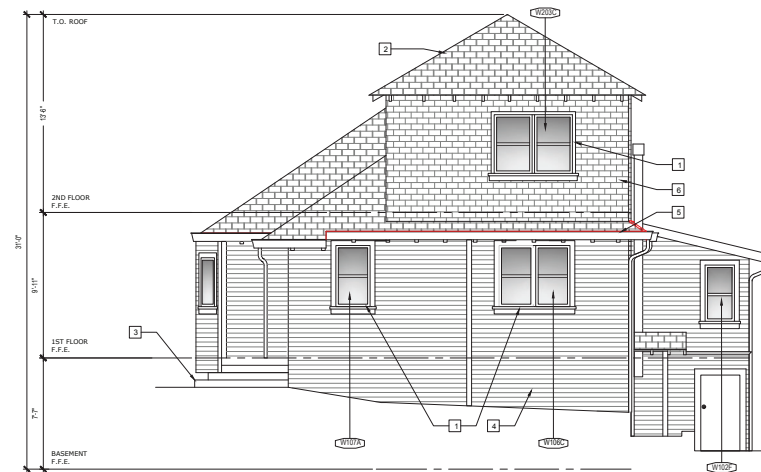


EXISTING SOUTH ELEVATION (REAR)

1/4" = 1'-0"

SHEET NOTES

- 1 DASHED LINE INDICATES PROPOSED WINDOW LOCATION, TYP.
- 2 (E) ASPHALT SHINGLE TO REMAIN
- 3 (E) NON-HISTORIC CHIMNEY TO BE REMOVED
- 4 (E) NON-HISTORIC PORCH & RAILING TO BE REMOVED
- 5 (E) LAP SIDING TO REMAIN
- 6 (E) SHINGLE SIDING TO REMAIN
- 8 (E) AWNING TO BE REMOVED



SOUTH

PROPOSED SOUTH ELEVATION (REAR)

1/4" = 1'-0"

PROPOSED NOTES

- 1 (N) WOOD TRIM TO MATCH (E)
- 2 (E) ASPHALT SHINGLE TO REMAIN
- 3 (N) STONE PORCH AND STEPS
- 4 (E) LAP SIDING TO REMAIN
- 5 (E) GUTTER & DOWNSPOUT TO REMAIN
- 6 (N) JAMES HARDIE SHINGLE SIDING



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SHEET TITLE:
**EXTERIOR
ELEVATIONS**

ISSUE DATE: 08/03/2026
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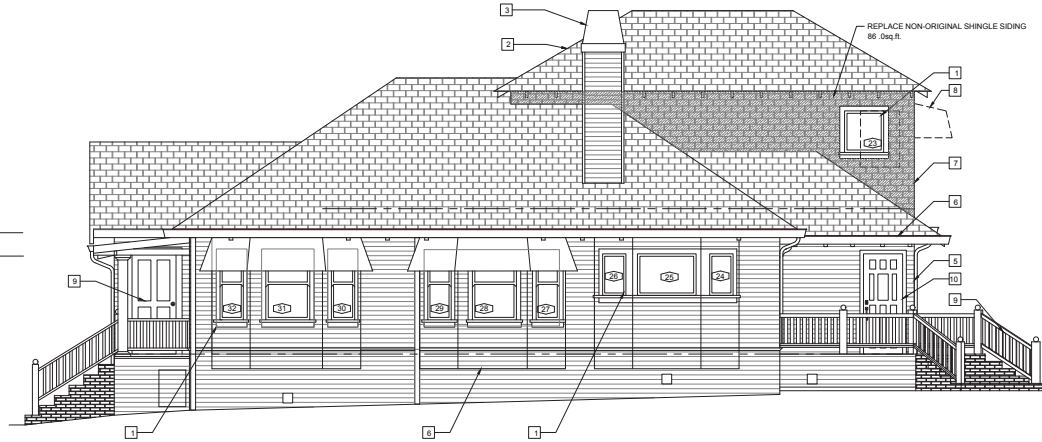
A3.2

EXISTING WINDOWS

NO.	SIZE (W x H)	CONDITION	MATERIAL	FUNCTION
23	2'-0" x 2'-10"	(E) NON-ORIGINAL	WOOD	FIXED
24	1'-10" x 2'-10"	(E) NON-ORIGINAL	WOOD	CASEMENT
25	4'-0" x 2'-10"	(E) NON-ORIGINAL	WOOD	FIXED
26	1'-10" x 2'-10"	(E) NON-ORIGINAL	WOOD	CASEMENT
27	1'-10" x 4'-8"	(E) ORIGINAL	WOOD	DOUBLE HUNG
28	3'-0" x 4'-8"	(E) ORIGINAL	WOOD	DOUBLE HUNG
29	1'-10" x 4'-8"	(E) ORIGINAL	WOOD	DOUBLE HUNG
30	1'-10" x 4'-8"	(E) ORIGINAL	WOOD	DOUBLE HUNG
31	3'-0" x 4'-8"	(E) ORIGINAL	WOOD	DOUBLE HUNG
32	1'-10" x 4'-8"	(E) ORIGINAL	WOOD	DOUBLE HUNG

WALL SURFACE CALCULATION

EXISTING WALL SURFACE: 709 sq ft.
 EXISTING WALL SURFACE TO BE MODIFIED: 86.0 sq ft. (12.1%)



EXISTING WEST ELEVATION

1/4" = 1'-0"

SHEET NOTES

- 1 (E) WOOD TRIM TO REMAIN, TYP.
- 2 (E) ASPHALT SHINGLE TO REMAIN
- 3 (E) NON-HISTORIC CHIMNEY TO BE REMOVED
- 4 (E) PORCH AND RAILING TO REMAIN
- 5 (E) GUTTER & DOWNSPOUT TO REMAIN
- 6 (E) BAY WINDOW TO BE REMOVED
- 7 (E) 1981 SHINGLE SIDING TO BE REPLACED
- 8 (E) AWNING TO BE REMOVED, TYP.
- 9 (E) 1981 ADDITION PORCH TO BE REMOVED
- 10 (E) NON-ORIGINAL DOOR TO BE REMOVED

PROPOSED NOTES

- 1 (E) WOOD TRIM TO REMAIN
- 2 (E) ASPHALT SHINGLE TO REMAIN
- 3 (E) PORCH AND RAILING TO REMAIN
- 4 (E) LAP SIDING TO REMAIN
- 5 (E) GUTTER & DOWNSPOUT TO REMAIN
- 6 (N) JAMES HARDIE SHINGLE SIDING
- 7 (N) WOOD TRIM TO MATCH (E)
- 8 (N) STONE PORCH AND STEPS

EXTERIOR MATERIALS



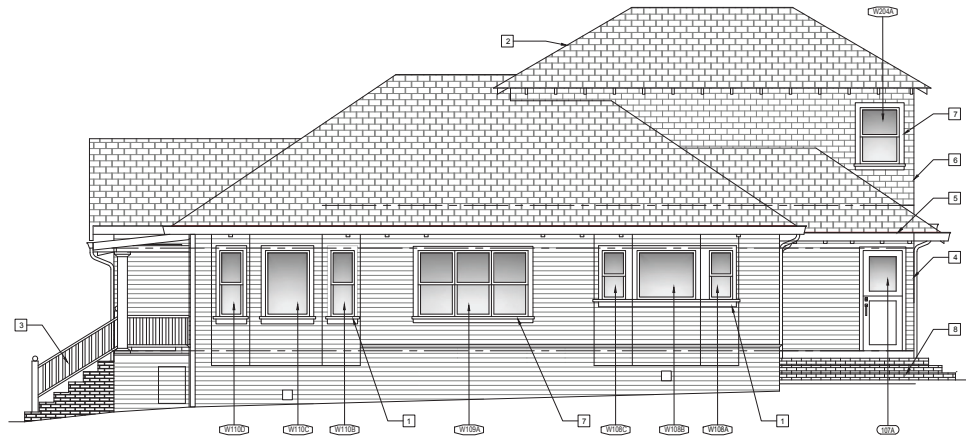
Ebony

WINDOWS: MARVIN "ULTIMATE" ALUM CLAD WOOD
 COLOR: EBONY



SW 7102
 White Flour

SIDING & TRIM: SHERWIN WILLIAMS
 COLOR: WHITE FLOUR SW7102



PROPOSED WEST ELEVATION

1/4" = 1'-0"



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EXTERIOR ELEVATIONS

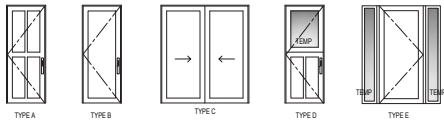
ISSUE DATE: 08/03/2026
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A3.3

DOOR SCHEDULE & TYPES

#	TYPE	LOCATION	SIZE	NOTES
(100A)	A	FAMILY ROOM - 110	3'-0" x 6'-8"	(N) ENTRY DOOR IN W/ 1'-0"x8'-8" SIDELIGHTS
(100B)	B	BATH - 103	2'-8" x 6'-8"	INTERIOR DOOR, "TRUSTILE #TS1000 (OR EQ.), PAINT
(100C)	B	BEDROOM - 104	2'-8" x 6'-8"	INTERIOR DOOR, "TRUSTILE #TS1000 (OR EQ.), PAINT
(100D)	B	BEDROOM - 104	2'-8" x 6'-8"	INTERIOR DOOR, "TRUSTILE #TS1000 (OR EQ.), PAINT
(100E)	B	HALL - 105	2'-8" x 6'-8"	INTERIOR DOOR, "TRUSTILE #TS1000 (OR EQ.), PAINT
(100F)	B	BEDROOM - 106	2'-8" x 6'-8"	INTERIOR DOOR, "TRUSTILE #TS1000 (OR EQ.), PAINT
(100G)	B	BEDROOM - 106	2'-8" x 6'-8"	INTERIOR DOOR, "TRUSTILE #TS1000 (OR EQ.), PAINT
(100H)	D	VEST - 107	2'-8" x 6'-8"	EXTERIOR WEATHERSTRIPPED DUTCH DOOR
(100I)	B	STORAGE - 201	2'-8" x 6'-8"	INTERIOR DOOR, "TRUSTILE #TS1000 (OR EQ.), PAINT
(100J)	B	BATH - 202	2'-8" x 6'-8"	INTERIOR DOOR, "TRUSTILE #TS1000 (OR EQ.), PAINT
(100K)	B	BEDROOM - 203	2'-8" x 6'-8"	INTERIOR DOOR, "TRUSTILE #TS1000 (OR EQ.), PAINT

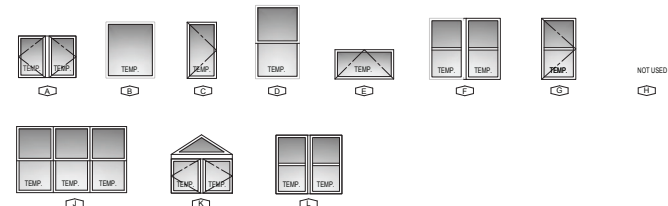
ADDITIONAL NOTES:
 1. CONTRACTOR TO VERIFY ALL ROUGH OPENING SIZES WITH DOOR MANUFACTURER PRIOR TO PLACING ORDER.
 2. CONTRACTOR TO VERIFY SWING DIRECTIONS WITH FLOOR PLANS PRIOR TO PLACING ORDER.
 3. NFRC LABELS MUST REMAIN ATTACHED TO THE GLAZING UNTIL AFTER FINAL INSPECTION IS COMPLETED.
 4. ALL EXTERIOR DOORS TO BE FULLY WEATHERSTRIPPED



WINDOW SCHEDULE & TYPES

NO.	TYPE	LOCATION	SIZE (W x H)	OPERATION	NOTES
(100A)	A	STORAGE - 201	4'-0" x 2'-10"	CASEMENT-CASEMENT	3" FACTORY MULL, (N) WINDOW IN (E) OPENING FIELD VERIFY
(100B)	B	LIVING ROOM - 101	3'-4" x 3'-10"	FIXED	(N) WINDOW IN (E) OPENING FIELD VERIFY
(100C)	B	LIVING ROOM - 101	3'-4" x 3'-10"	FIXED	(N) WINDOW IN (E) OPENING FIELD VERIFY
(100D)	B	LIVING ROOM - 101	3'-4" x 3'-10"	FIXED	(N) WINDOW IN (E) OPENING FIELD VERIFY
(100E)	B	OFFICE - 102	3'-4" x 3'-10"	FIXED	(N) WINDOW IN (E) OPENING FIELD VERIFY
(100F)	B	OFFICE - 102	4'-8" x 3'-10"	FIXED	(N) WINDOW IN (E) OPENING FIELD VERIFY
(100G)	B	OFFICE - 102	3'-4" x 3'-10"	FIXED	(N) WINDOW IN (E) OPENING FIELD VERIFY
(100H)	C	OFFICE - 102	2'-0" x 3'-10"	CASEMENT	(N) WINDOW IN (E) OPENING FIELD VERIFY
(100I)	B	OFFICE - 102	3'-4" x 3'-10"	FIXED	(N) WINDOW IN (E) OPENING FIELD VERIFY
(100J)	G	OFFICE - 102	2'-0" x 3'-10"	CASEMENT	(N) WINDOW IN (E) OPENING FIELD VERIFY
(100K)	E	BATH - 103	4'-0" x 2'-0"	AWNING	OBSOLETE GLAZING
(100L)	D	BEDROOM - 104	3'-0" x 5'-0"	DOUBLE HUNG	EGRESS
(100M)	G	BEDROOM - 106	2'-0" x 5'-0"	CASEMENT	EGRESS
(100N)	G	BEDROOM - 106	2'-0" x 5'-0"	CASEMENT	EGRESS
(100O)	F	BEDROOM - 106	6'-2" x 5'-0"	DBL HUNG-DBL HUNG	2" FACTORY MULL
(100P)	D	VEST - 107	2'-4" x 4'-0"	DOUBLE HUNG	TEMP GLAZING
(100Q)	G	KITCHEN - 108	1'-10" x 3'-4"	DOUBLE HUNG	(N) WINDOW IN (E) OPENING FIELD VERIFY
(100R)	B	KITCHEN - 108	4'-0" x 3'-4"	FIXED	(N) WINDOW IN (E) OPENING FIELD VERIFY
(100S)	G	KITCHEN - 108	1'-10" x 3'-4"	DOUBLE HUNG	(N) WINDOW IN (E) OPENING FIELD VERIFY
(100T)	J	DINING - 109	7'-6" x 4'-6"	DH-DH-DH	FACTORY MULL
(100U)	B	FAMILY ROOM - 110	4'-8" x 2'-0"	FIXED	-
(100V)	G	FAMILY ROOM - 110	1'-10" x 4'-6"	DOUBLE HUNG	(N) WINDOW IN (E) OPENING FIELD VERIFY
(100W)	B	FAMILY ROOM - 110	3'-0" x 4'-6"	FIXED	(N) WINDOW IN (E) OPENING FIELD VERIFY
(100X)	G	FAMILY ROOM - 110	1'-10" x 4'-6"	DOUBLE HUNG	(N) WINDOW IN (E) OPENING FIELD VERIFY
(100Y)	K	STORAGE - 201	4'-2" x 2'-4"	CASEMENT-CASEMENT	(N) WINDOW IN (E) OPENING FIELD VERIFY, SHAPED TRANSOM ABOVE
(100Z)	L	BATH - 202	4'-6" x 4'-0"	DH-DH	2" FACTORY MULL, TEMP
(100AA)	G	BEDROOM - 203	2'-4" x 4'-0"	CASEMENT	EGRESS
(100AB)	G	BEDROOM - 203	2'-4" x 4'-0"	CASEMENT	EGRESS
(100AC)	F	BEDROOM - 203	5'-2" x 4'-0"	DBL HUNG-DBL HUNG	2" FACTORY MULL
(100AD)	G	HALL - 204	2'-8" x 3'-10"	DOUBLE HUNG	-

ADDITIONAL NOTES:
 1. WINDOW AND DOOR SIZES ARE NOMINAL. VERIFY ROUGH OPENING SIZE WITH MANUFACTURER.
 2. EGRESS MINIMUM NET CLEAR HEIGHT SHALL BE 24 INCHES. MINIMUM NET CLEAR WIDTH SHALL BE 20 INCHES.
 3. PROVIDE TEMPERED GLASS WITHIN 18" OF FINISH FLOOR.
 4. PROVIDE TEMPERED GLASS WITHIN 6 INCHES ABOVE STANDING SURFACE AND DRAIN INLET IN ALL BATHROOMS. SEE FLOOR PLAN.
 5. PROVIDE TEMPERED GLAZING AT OPENING WITHIN A 24" ARC OF A DOOR.
 6. NFRC LABELS MUST REMAIN ATTACHED TO THE GLAZING UNTIL AFTER INSULATION INSPECTION IS COMPLETED.
 7. CONTRACTOR TO VERIFY ALL ROUGH OPENING SIZES WITH WINDOW MANUFACTURER PRIOR TO PLACING ORDER.
 8. CONTRACTOR TO VERIFY SWING DIRECTION WITH EXTERIOR ELEVATION PRIOR TO PLACING ORDER.
 9. WINDOWS SHALL BE LOWE DUAL GLAZED WINDOWS BY WHARF ELEVATE. U-FACTOR: 0.35; PER ENERGY COMPLIANCE DATA NFRC LABELS ARE REQUIRED.
 10. EGRESS WINDOWS TO HAVE A MAX. SILL HEIGHT OF 44"



WUI WINDOW NOTES
 PER CBC SECTION R337.8 / CBC CHAPTER 7A

- ALL EXTERIOR WINDOWS, GLAZED DOORS, AND SKYLIGHTS SHALL COMPLY WITH CALIFORNIA BUILDING CODE (CBC) CHAPTER 7A AND/OR CALIFORNIA RESIDENTIAL CODE (CBC) SECTION R337.8 AS APPLICABLE.
- ALL WINDOWS AND GLAZED ASSEMBLIES SHALL BE TESTED AND LABELED IN ACCORDANCE WITH ASTM E108, NFPA 287, OR LISTED UNDER THE STATE FIRE MARSHAL'S BUILDING MATERIALS LISTING (BML) PROGRAM FOR WUI COMPLIANCE.
- MANUFACTURER, MODEL, AND FRAME MATERIAL SHALL BE IDENTIFIED ON THE WINDOW SCHEDULE AND SHALL CORRESPOND TO A WUI-APPROVED PRODUCT LISTING.
- WINDOW FRAMES SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS (ALUMINUM, STEEL, FIBERGLASS, ETC.) OR WOOD FRAMES PROTECTED BY METAL CLADDING OR VINYL EXTERIOR MEETING ASTM D4243.
- COMBUSTIBLE FRAME COMPONENTS SHALL NOT BE EXPOSED ON THE EXTERIOR SIDE UNLESS PROTECTED BY TEMPERED GLAZING OR A NONCOMBUSTIBLE COVERING.
- ALL EXTERIOR WINDOWS SHALL BE INSULATED DUAL GLAZED UNITS WITH AT LEAST ONE PANE OF TEMPERED SAFETY GLASS.
- GLAZING WITHIN 6 FEET OF FINISHED FLOOR OR WITHIN 24 INCHES OF DOORS SHALL BE TEMPERED SAFETY GLASS PER CBC SECTION R308.
- GLAZING IN BATHROOMS, STAIR LANDINGS, AND OTHER HAZARDOUS LOCATIONS SHALL COMPLY WITH CBC SECTION R308.4.
- WINDOWS WITHIN 10 FEET OF PROPERTY LINE OR BENEATH OVERHANGING EAVES SHALL BE DUAL GLAZED AND TEMPERED.
- OPERABLE WINDOWS SHALL BE CAPABLE OF CLOSING TIGHTLY AND SHALL INCLUDE WEATHER STRIPPING AND LATCHING HARDWARE TO REDUCE EMBER INTRUSION.
- WINDOW SCREENS SHALL BE METAL MESH WITH MAXIMUM 1/8" OPENINGS. FIBERGLASS SCREENS ARE NOT PERMITTED IN WUI ZONES.
- FLASHING SHALL BE METAL OR WUI-APPROVED NONCOMBUSTIBLE MATERIAL, INSTALLED PER CBC R703.4 TO ENSURE INTEGRATION WITH WRB.
- TRIM AND SILL MATERIALS ADJACENT TO WINDOWS SHALL BE NONCOMBUSTIBLE, FIRE-RETARDANT-TREATED WOOD, OR APPROVED CEMENTITIOUS PRODUCTS.
- PROVIDE MANUFACTURER CUT SHEETS AND DOCUMENTATION VERIFYING EACH WINDOW TYPE IS TESTED AND LISTED FOR WUI COMPLIANCE.
- NOTE ON PLANS: "ALL EXTERIOR WINDOWS AND GLAZED OPENINGS SHALL COMPLY WITH CBC CHAPTER 7A / CBC R337.8. ALL PRODUCTS SHALL BE WUI-LISTED OR OTHERWISE DEMONSTRATE COMPLIANCE THROUGH APPROVED TESTING AND LISTING DOCUMENTATION."
- WINDOW INSTALLATIONS SHALL BE SUBJECT TO FIELD INSPECTION FOR COMPLIANCE WITH WUI REQUIREMENTS PRIOR TO FINAL APPROVAL.



105 Locust Ave. ste D
 Santa Cruz, CA. 95060
 408/705.6763
 www.studio528inc.com



NO.	DATE	REVISION

PROPOSED REMODEL

THE ROLLA RESIDENCE

69 HERNANDEZ AVE
 LOS GATOS, CA 95030

A.P.N. 5101015

SHEET TITLE:

DOOR & WINDOW SCHEDULES

ISSUE DATE: 08/03/2026

SCALE: AS NOTED

A5.0

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TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
REPORT

MEETING DATE: 09/09/2026

ITEM NO: 2

DATE: September 4, 2026
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request for Approval to Construct Exterior Alterations (Windows) on a Pre-1941 Single-Family Residence on Property Zoned R-1:8. **Located at 18 Walnut Avenue.** APN 510-41-011. Building Permit B25-1348. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owners/Applicants: Tom Richards and Lauren Shelly. Project Planner: Sean Mullin.

RECOMMENDATION:

Consider a request for approval to construct exterior alterations (windows) to an existing pre-1941 single-family residence located at 18 Walnut Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 1910 (effective year built 1980) per County Assessor's Database
2. Town of Los Gatos Historic Status Code: N (New, probably built since 1950) or R (historic but grossly altered)
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? N/A
5. If yes, is it a contributor? N/A
6. Findings required? No
7. Considerations required? Yes

BACKGROUND:

On May 26, 2021, the Historic Preservation Committee (HPC) conducted a preliminary review of a proposal to construct exterior alterations and an addition to existing attic space above the second story of the residence located at 18 Walnut Avenue. The project presented to the HPC included improvement and expansion of the attic space to make it habitable and introduction

PREPARED BY: Sean Mullin, AICP
Planning Manager

of several shed dormers. Two shed dormers were to be added to the right-side elevation, and one shed dormer was to be added to the left-side elevation. The HPC was supportive of the project and recommended that all new exterior materials match existing and that the new windows in the dormers be made to look consistent with the existing windows by including meeting rails to simulate the look of double-hung windows.

A Building Permit application was submitted to the Town in December 2025. The project details were consistent with the 2021 recommendations of the HPC. Building Permit B25-1348 was issued on August 12, 2026. Relevant sheets from the approved plans are included as Attachment 1. The applicant seeks a revision to the approved Building Permit (Attachment 2).

DISCUSSION:

The applicant is requesting approval of a revision to the approved project to introduce three box bay windows on the main floor of the residence: two on the south (right) elevation and one on the north (left) elevation (Attachment 2). The proposed windows, siding, trim, and roofing would match the existing residence.

CONSIDERATIONS:

A. Considerations

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

_____ For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

B. Residential Design Guidelines

Section 3.9 of the Town's Residential Design Guidelines offers recommendations for the construction of additions to existing residences.

CONCLUSION:

The applicant is requesting approval of a revision of the approved project to introduce three box bay windows on the main floor of the residence. The proposed work requires a revision to the approved Building Permit. If the plans submitted for the revision to the approved Building

PAGE 3 OF 3

SUBJECT: 18 Walnut Avenue/B25-1348

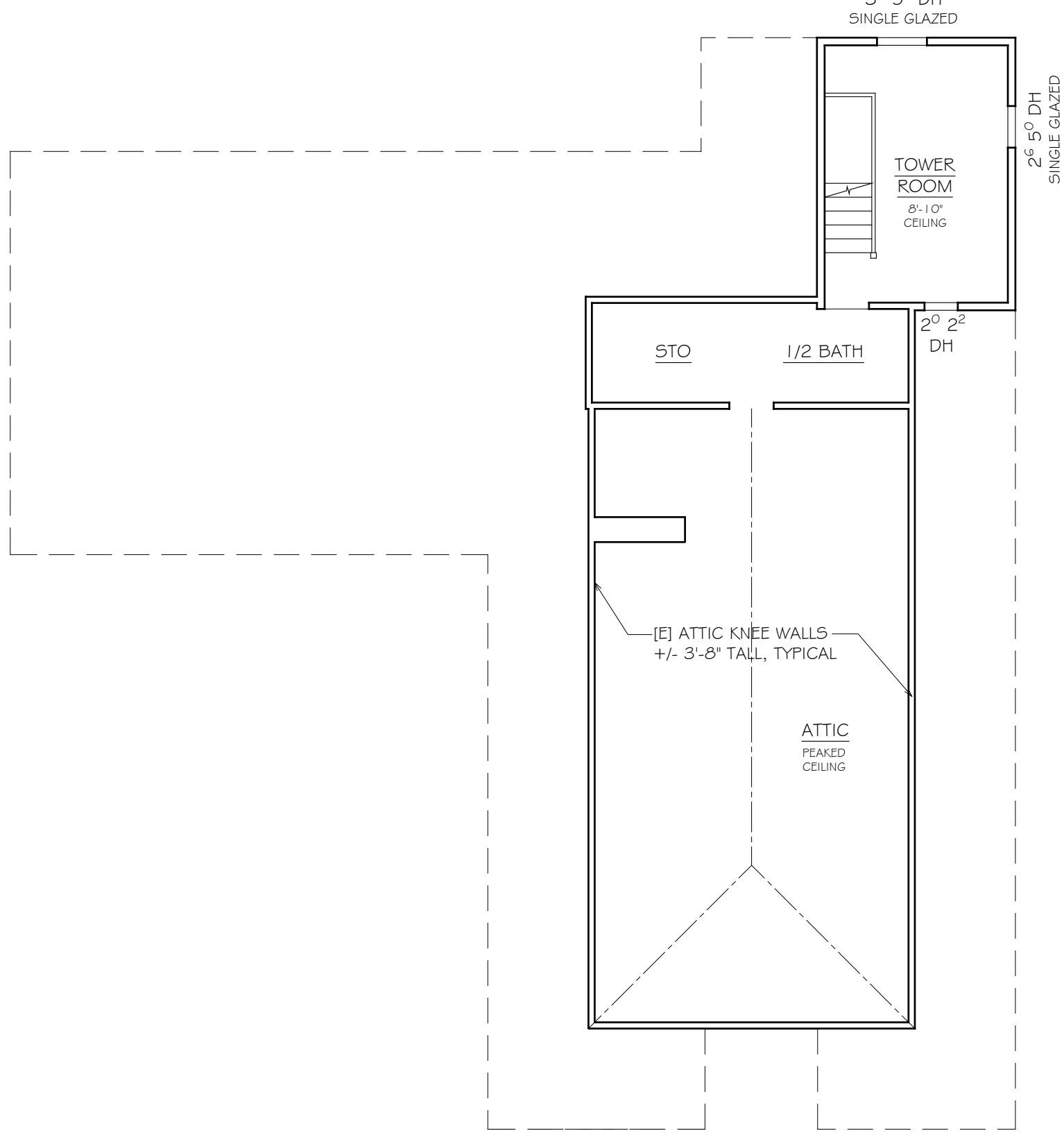
DATE: September 4, 2026

Permit are consistent with the direction provided by the HPC, the project would not return to the HPC.

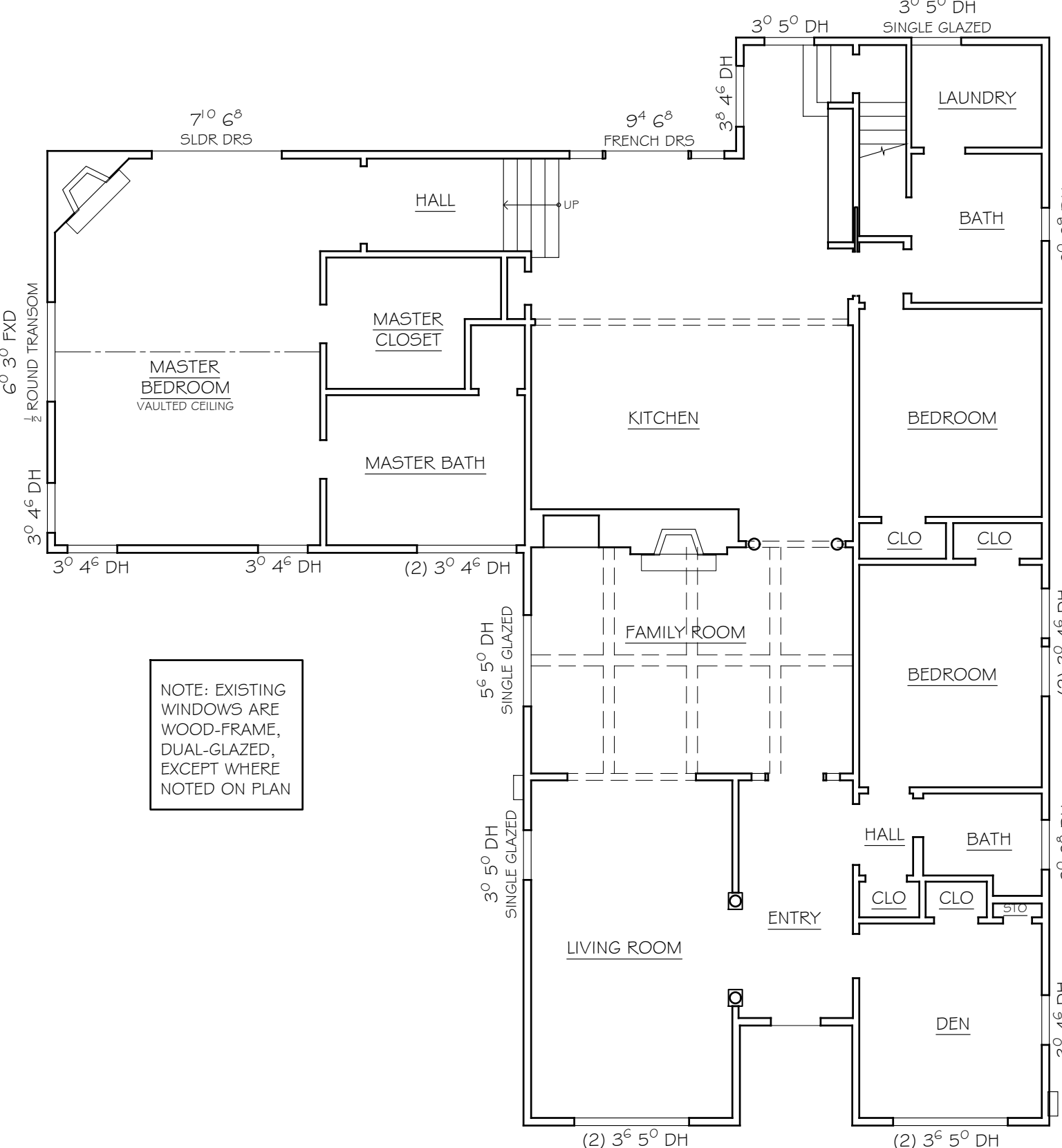
ATTACHMENTS:

1. Approved Building Permit Plans
2. Development Plans – Revision

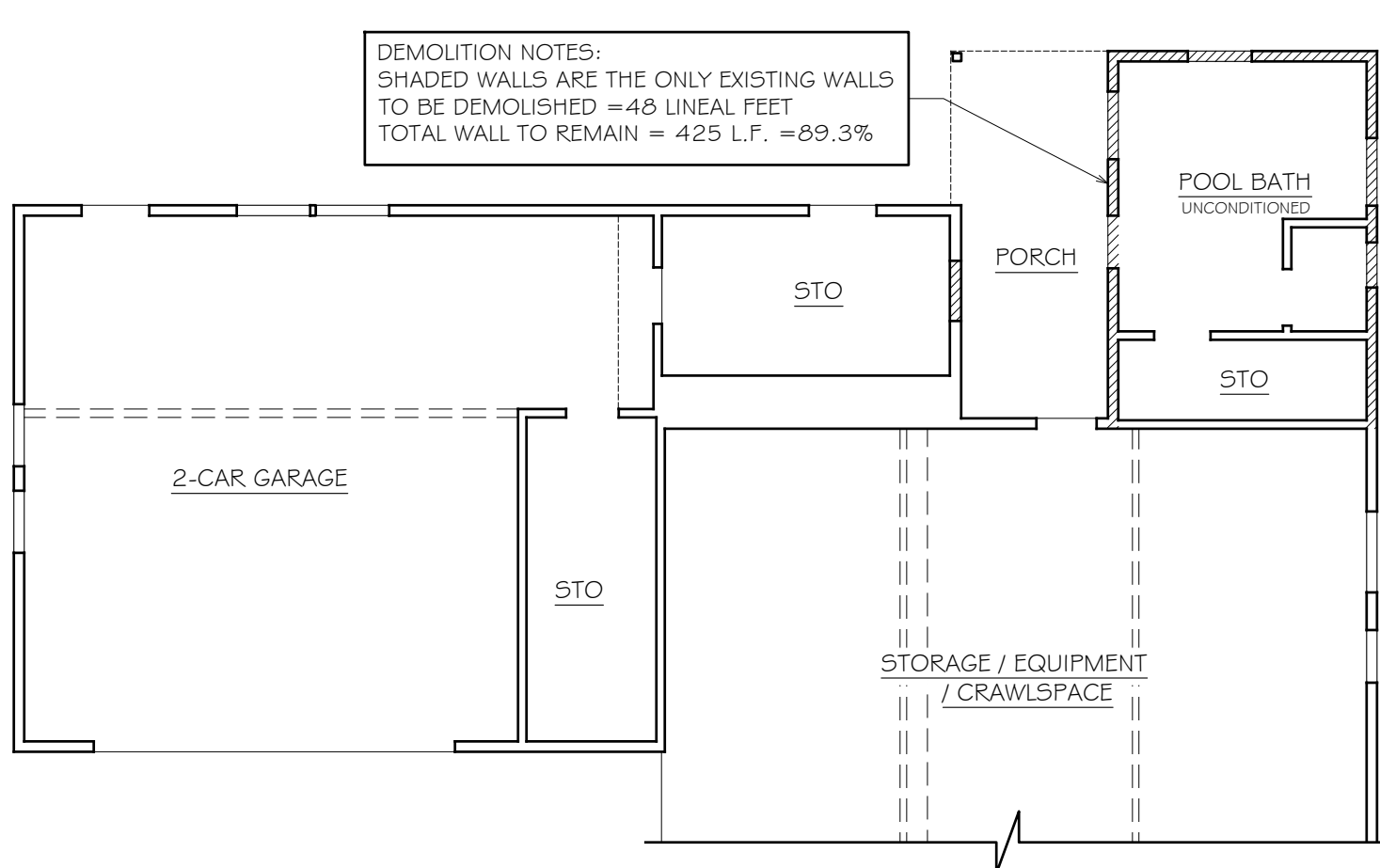
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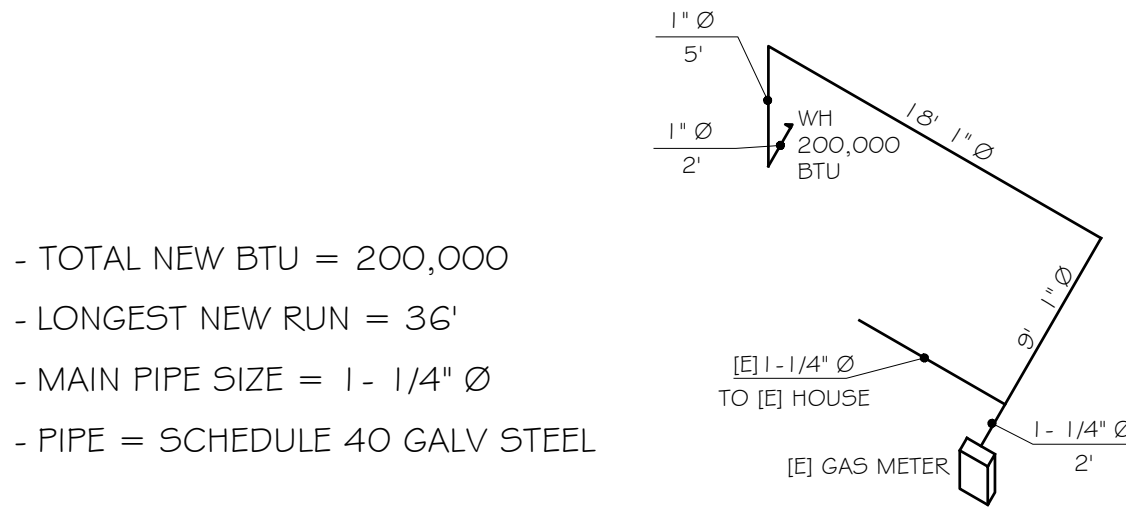
EXISTING 2ND FLOOR / ATTIC 1/8"= 1'-0"



EXISTING MAIN FLOOR PLAN 1/8"= 1'-0"



PARTIAL BASEMENT FLOOR PLAN 1/8"= 1'-0"



SCHEMATIC GAS LINE DIAGRAM NTS

FIRE DEPARTMENT NOTES

FIRE SPRINKLERS REQUIRED:
An automatic sprinkler system shall be installed throughout existing buildings with a Group R fire area when additions are made causing the fire area to exceed 3,600 square feet. Exception: Additions where all of the following are met: a. Building addition does not exceed 500 square feet, b. The resultant structure meets all water supply requirements of Chapter 5 and Appendix B of the 2022 California Fire Code.
New fire area addition over 500 SF and the total SF exceeds 3600. Sprinklers required for entire structure

WATER SUPPLY REQUIREMENTS:
Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

ADDRESS IDENTIFICATION.
New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained.

CONSTRUCTION SITE FIRE SAFETY:
All construction sites must comply with applicable provisions of the CFC CHAPTER 33 and our standard detail and specification SI-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project.

TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95030

May 26, 2021

Chris Spaulding, Architect
801 Camelia Street, Suite E
Berkeley, CA 94710
Via email

RE: 18 Walnut Avenue

Preliminary Review of a Request for Construction of Exterior Alterations and an Attic Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8 Located at 18 Walnut Avenue. APN 510-41-011.

APPLICANT: Chris Spaulding, Architect
PROPERTY OWNER: Tom Richards and Lauren Shelly
PROJECT PLANNER: Sean Mullin

On May 26, 2021, the Los Gatos Historic Preservation Committee discussed the item and recommended that all new exterior materials match existing and that the new windows in the dormers be made to look consistent with the existing windows by including meeting rails to simulate the look of double-hung windows.

If you have any questions, I can be contacted by phone at smullin@osgatosca.gov.

Sincerely,

Sean Mullin, AICP
Associate Planner

Cc: Tom Richards and Lauren Shelly, via email

N:\DEV\HISTORIC PRESERVATION\HPC Action Letters\2021\Walnut Ave 18 - 05-26-21 [preliminary].docx

CONSULTANTS

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Castro Valley, CA 94546
Phone: (510) 428-0803, Fax: (510) 428-0324
Email: office@gabelenergy.com

CONSTRUCTION PHASE STORM WATER MANAGEMENT NOTES

Contractor shall be responsible that no mud or muddy water leaves the property.

Sweep or scrape up soils tracked onto the road at the end of each day. Do not hose into street, gutter, or storm drain.

The site shall be monitored by the contractor/owner after rain event to verify erosion control measure are functioning.

CALGREEN NOTE: TOWN CONSTRUCTION WASTE MGMT NOTE

Documentation shall be provided prior to first inspection, confirming compliance to the Waste Management Plan provided to the jurisdiction.

CALGREEN ENVIRONMENTAL QUALITY REQUIREMENT NOTES

A. All adhesives, sealants, caulks, paints, coatings, and aerosol paint containers must remain on the site for field verification by the Building Inspector. CGBSC Section 4.504.2.4

B. Prior to final inspection, a letter signed by the general contractor OR the owner/builder (for any owner/builder projects) must be provided to the Town of Los Gatos Building Official certifying that all adhesives, sealants, caulks, paints, coatings, aerosol paints, aerosol coatings, carpet systems (including carpeting, cushion and adhesive), resilient flooring systems, and composite wood products installed on this project are within the emission limits specified in CGBSC Section 4.504.

DEMOLITION WORK
Prior to beginning any demolition please read and review the Town's demolition policy!

SCHEDULE FINAL INSPECTIONS PLEASE CONTACT THE FOLLOWING DEPARTMENTS SEVEN (7) DAYS IN ADVANCE OF FINAL BUILDING INSPECTION:

- ☐ PLANNING DIVISION: (408) 354-6874
- ☐ ENGINEERING/PUBLIC WORKS: (408) 399-5771
- ☒ SANTA CLARA COUNTY FIRE DISTRICT: (408) 378-4010
- ☒ WEST VALLEY SANITATION DISTRICT: (408) 378-2407
- ☐ SANTA CLARA CO. ENVIR. HEALTH: (408) 918-3400

GENERAL NOTES

The contractor shall furnish all material, labor, scaffolding, utensils, and apparatus required for the work shown on these plans and pay for the full freightage cartage, taxes, and handling of material associated with the work.

All work shall comply and conform to all codes and regulations, including the 2022 CBC, CMC, CPC, CEC, CRC, & CAL Green, & 2022 California Energy requirements, and all local, state and federal requirements, codes and regulations, unless otherwise noted.

Contractor shall be solely responsible for job and worksite safety.

All work is to be performed in accordance with these plans and specifications and to the satisfaction of the owner.

Bidders shall visit the site and familianze themselves with all existing conditions, and be prepared to carry out the work within the existing limitations.

Verify all dimensions in the field, written dimensions have precedence over scaled dimensions. Any discrepancies between drawings and/or specifications and actual conditions shall be brought to the attention of the architect for immediate clarification prior to proceeding with the work.

Change orders shall be in writing. Substitutions will be considered, but do not substitute materials, equipment, or methods without specific advanced approval by the architect.

Contractor shall notify the architect of all modifications to drawing by the building department and of all changes requested by the inspector.

Follow manufacturer's instructions carefully. Manufacturer's operating instructions and guarantees shall be given to the owner at the end of the job.

All features of construction not fully shown shall be of the same type and character as that shown for similar conditions. For special conditions or discrepancies, notify the architect before bidding or proceeding with work.

All material shall be of the best of their respective kinds, new, and subject to the approval of the owner. All work is to be performed in the best manner by skilled workmen.

It is the responsibility of the contractor & sub-contractors to notify the architect and/or engineer of any discrepancies, inconsistencies, errors or omissions in the plans & specifications which might affect the work, prior to proceeding with the work.

TOWN OF LOS GATOS NOTES

1. The scope of work for this project includes plumbing, as a result, verify a backwater valve is installed. Town code 6.40.020 requires an approved backwater valve on drainage piping serving fixtures that have flood level rms less than 12-inches above the elevation of the next upstream manhole.

T24 NOTES

1. Builder must provide the homeowner with a luminaire schedule (as required in title 24 california code of regulations, part 1, § 10-103(b)) that includes a list of lamps installed in the luminaires.

2. The 2022 Energy Efficiency Standards registered, signed, and dated copies of the appropriate CFCR and CFCR forms for this project shall be made available to the Town Building Inspector for review. Final completed forms shall be provided to the building owner

PROJECT DATA	
PROJECT ADDRESS: 18 WALNUT AVE, LOS GATOS, CA 95030	
PROJECT DESCRIPTION: - INTERIOR REMODEL (REMODEL AREA 494 S.F.) INCLUDING RELOCATING BASEMENT BATH, CHANGING THE 2ND FLOOR BATH, NEW OPENINGS TO LIVING ROOM AND DEN, ALTERING STAIRS TO MASTER SUITE & CHANGING 2 BEDROOM WINDOWS TO BOX BAYS OF EQUAL SIZE - CONVERT 502 SQ.FT. OF ATTIC TO LIVING AREA (AREAS BELOW 5' HEADROOM NOT INCL) - CONVERT 112 SQ.FT. OF [E] BASEMENT LEVEL COVERED PORCH TO CONDITIONED FLOOR AREA - CHANGE WOOD-BURNING FIREPLACE TO GAS - NO TREES AFFECTED	
APN: 510-41-011	
OWNER: LAUREN SHELLEY & TOM RICHARDS	
LOT SIZE: 17,000 SQ.FT. ≈ 0.39 ACRES	
ALLOWABLE FAR: (.35 - [(17 - 5) / 25 x .2]) x 17,000 = 0.254 x 17,000 = 4,318 SQ.FT. ALLOWABLE GARAGE FAR: (.1 - [(17-5) / 25 x .07]) x 17,000 = .07 x 17,000 = 1,190 SQ.FT.	
EXISTING FLOOR AREA	2,643 ±
1ST FLOOR	296 ±
2ND FLOOR	296 ±
ATTIC CONVERSION	502 ±
BSMT POOL BATH & OFFICE	299 ±
NEW BSMT FLOOR AREA	112 ±
TOTAL	3,852 ±
[E] GARAGE & STORAGE (BSMT)	697 ±
[E] COVERED PORCHES	41 ±
EXISTING USE: SINGLE FAMILY HOME	
BUILDING OCCUPANCY: R-3 / U	
BUILDING TYPE: V-B SPRINKLERED	



DRAWING INDEX	
ARCHITECTURAL	
SHEET A1	PROJECT DATA, EXISTING FLOOR PLANS, VICINITY MAP, GENERAL & SITE NOTES
SHEET A2	PROPOSED FLOOR PLANS, FLOOR PLAN NOTES
SHEET A3	EXISTING & PROPOSED FRONT & RIGHT SIDE ELEVATIONS
SHEET A4	EXISTING & PROPOSED LEFT SIDE ELEVATIONS, SECTION
SHEET A5	TITLE 24 CERTIFICATE
SHEET A6	TITLE 24 CERTIFICATE
SHEET A7	CALGREEN
SHEET BMP	BEST MANAGEMENT PRACTICES
STRUCTURAL	
SHEET S0	GENERAL NOTES
SHEET S1	TYPICAL DETAILS
SHEET S2	LOWER FOUNDATION / BASEMENT PLAN
SHEET S2.1	MAIN FLOOR FRAMING PLAN
SHEET S3	UPPER FLOOR / ATTIC FRAMING PLAN
SHEET S4	ROOF FRAMING PLAN
SHEET S4.1	UPPER CEILING FRAMING PLAN
SHEET S5	FOUNDATION DETAILS
SHEET S6	FRAMING DETAILS
SHEET S7	FLOOR FRAMING DETAILS
SHEET S8	ROOF FRAMING DETAILS
SHEET S9	ROOF FRAMING DETAILS

DEFERRED SUBMITTAL

- FIRE SPRINKLER SYSTEM

Town of Los Gatos BUILDING DIVISION PLAN APPROVED

BY: [Signature] DATE: 07.24.2025

Plan check approval of documents does not authorize construction to proceed in violation of any federal, state, nor local regulations.

DRAWINGS PREPARED BY

CHRIS SPAULDING
ARCHITECT

801 CAMELIA STREET, SUITE E
BERKELEY CALIFORNIA 94710
(510) 527-5997 FAX (510) 527-5999

LICENSED ARCHITECT
CHRISTOPHER S. SPAULDING
No. C-26247
RENEWAL DATE

REVISIONS	BY
6-4-26 Plan Check	
7-7-26 Plan Check 2	

PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED

7/23/2025
Maria Chavarin

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO THEM HAS BEEN PROPOSED BY THE APPLICANT. EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PROPOSED REMODEL & ADDITION TO
SHELLY & RICHARDS RESIDENCE
18 WALNUT AVE
LOS GATOS • CALIFORNIA

DATE:	12-1-25
SCALE:	AS NOTED
DRAWN:	CS/DB
JOB:	SHELLY & RICHARDS
SHEET	

A1

OF 20 SHEETS

ATTACHMENT 1

FLOOR PLAN NOTES

BATHROOM NOTES

- All showers to have a minimum clear door opening width of 22".
- All showers to have tile wall protection to a minimum of 84" above the floor-mount tile on full mortar bed or 1/2" cement backer board.
- Wooden backing (2x8 min.) shall be provided in all bathroom walls at toilet, shower, and bathtub- located at 34" from the floor to the center of the backing, suitable for the addition of grab bars.
- Shower compartments, regardless of shape, shall have a minimum finished interior of 1.024 square inches and shall also be capable of encompassing a 30" circle.
- Tub and shower compartments shall be finished with a non-absorbent surface. Such wall surfaces shall extend to a height of not less than 6 ft. above the floor.
- Materials used as backers for wall tile in tub and shower areas and wall panels in shower areas shall be:
 - Non-asbestos fiber-cement backer board
 - Non-asbestos fiber-cement reinforced cementitious backer units installed per manufacturers' recommendations.
- Toilets are required to have a minimum 15" clearance to the adjacent wall or counter and 24" in front of the toilet.

ELECTRICAL NOTES

- Light fixtures in tub and shower enclosures shall be listed (and labeled) as "suitable for damp locations".
- All branch circuits that supply outlets installed in dwelling unit kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas, or similar rooms or areas shall be protected by an arc-fault circuit interrupter.
- A dedicated 20-amp circuit is required to serve bathroom outlets. This circuit cannot supply any other receptacles, lights, fans, etc. (exception: where the circuit supplies a single bathroom, outlets for other equipment within the same bathroom shall be permitted to be supplied).
- All 125-volt, 15- and 20- ampere receptacle outlets shall be listed as Tamper-resistant receptacles.
- Provide the following separate circuits:
 - a) 20 amps for the bathroom
 - b) (2) small appliance circuits for the kitchen 20 amp
- Provide GFCI protection at the following locations:
 - within 6' of the edge of a shower or tub
 - laundry areas
 - kitchens and at all counters with sinks
 - bathrooms
- At least one 20-ampere branch circuit shall be provided to supply the laundry receptacle outlets and such circuit shall have no other outlets.

LIGHTING NOTES

- All lighting shall be high efficacy per Table 150.0-A (pin-based CFL; pulse-start MH; HPS; hardwired high frequency generator LED; inseparable SSL; or JAB-compliant luminaires) controlled by dimmers or vacancy sensors, except in closets less than 70 sq. ft. and luminaires in hallway.
- In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire must be controlled by a vacancy sensor providing automatic-off functionality.
- Undercabinet lighting and exhaust fans must be switched separately from other lighting systems.
- Luminaires providing outdoor lighting and permanently mounted to a residential building or to other buildings on the same lot shall be high efficacy luminaires per Table 150.0-A (not including lighting around swimming pools/water features or other Article 680 locations) and controlled by a manual ON and OFF switch that permits the automatic actions of:
 - Photocell and either a motion sensor or an automatic time switch control; or
 - Astronomical Time Clock control.Controls that override to ON shall not be allowed unless the override shall automatically returns the automatic control to its normal operation within 6 hours. An energy management control system that provides the specified lighting control functionality and complies with all the requirements applicable to the specified controls may be used to meet these requirements.
- NOTE: ALL OUTDOOR LIGHTING SHALL BE DOWNWARD DIRECTED & SHIELDED
- Recessed luminaires in insulated ceilings shall be IC rated, w/ electronic ballast and Air-tight (AT).
- Permanently installed night lights and night lights integral to installed luminaires or exhaust fan shall not consume more than 5 watts per luminaire/exhaust fan.
- Any light sources integral to drawers, cabinets, and linen closets must be high efficacy and controlled by a vacancy sensor.
- Lighting in drawers and cabinets shall have auto-off controls
- Undershelf, display cabinets, switched outlets controlled separate from ceiling lighting.
- Lighting in habitable spaces shall have accessible wall-mounted dimming controls.
14. Ventilation heating and air conditioning systems shall have MERV 13 filters or better.

MECHANICAL AND PLUMBING NOTES

- Installation instructions for all listed equipment shall be provided to the field inspector at time of inspection.
- All exterior hose bibs shall have non-removable backflow prevention devices.
- All building water supply systems in which quick-acting valves are installed shall be provided with devices to absorb high pressures resulting from the quick closing of these valves (e.g., clothes washers and dishwashers).
- Termination of all environmental air ducts shall be a minimum of 3 feet from any openings into the building (i.e., dryers, bath and utility fans, etc.), must be 3 feet away from doors, windows, opening skylights or attic vents).
- All mechanical, plumbing, electrical, and similar penetrations of the floor or top-plates shall be caulked with a rated fire caulk with an ASTM E136 rating.
- Install recessed washer & dryer hook-ups to allow for units to be flush with rear wall.
- Local exhaust systems shall vented to the outdoors for bathrooms.
- Provide minimum 50 cfm intermittent airflow for Bathroom exhaust fans, OR provide minimum 20 cfm for continuously operating Bathroom exhaust fans.
- Water piping and cooling system line insulation thickness and conductivity Piping shall be insulated to the thickness as follows:
 - a. All NEW domestic hot water system piping conditions listed below, whether buried or unbundled, must be insulated and the insulation thickness shall be selected based on the conductivity range in Table 120.3-A and the insulation level shall be selected from the fluid temperature range based on the thickness required in Table 120.3A
 - b. The first 5' of hot and cold-water pipes from the storage tank.
 - c. All water piping of nominal 3/4" diameter or larger.
 - d. All piping associated with a domestic hot water recirculation system regardless of diameter
 - e. Piping from the heating source to a storage tank or between tanks
 - f. Piping buried below grade
13. All exhaust fans shall be ENERGY STAR compliant and provided with humidity controls adjusting from 50% - 80%. All exhaust fans to have backdraft dampers.
14. Ventilation heating and air conditioning systems shall have MERV 13 filters or better.

PLUMBING CLEANOUT NOTES

- Each horizontal drainage pipe shall be provided with a cleanout at its upper terminal (except horizontal drain lines less than 5' not serving sinks or urinal). An additional cleanout shall be added for each aggregate change in direction exceeding 135 degrees.
- Cleanouts shall be within 20' of crawl access or extended to exterior.
- Cleanout shall be provided at the kitchen sink.

SHOWER VALVES

- Showers, tubs, whirlpool tubs, and tub-shower combinations shall be provided with individual pressure balance or thermostatic mixing control valves.
- The maximum mixed water setting shall be 120° Fahrenheit.
- Water heater thermostat shall not be considered as suitable for meeting this requirement.

SMOKE AND CARBON MONOXIDE ALARMS

- A smoke detectors and carbon monoxide alarms shall be hard-wired with battery back-up and interconnected such that when one alarm sounds, all will sound.
- Smoke alarms installed within 20 ft. of a kitchen, bathroom, or room containing a fireplace or wood burning stove shall be of the photoelectric type only.
- For proper placement of smoke alarms and carbon monoxide alarms in rooms with variations in ceiling height (sloped, pitched etc.), refer to the manufacturers guidelines.

EGRESS WINDOW NOTES

- All emergency escape and rescue (egress) openings from the bedrooms shall comply with the following:
- Minimum net clear openable dimension of 24" in height.
 - Minimum net clear openable dimension of 20" in width.
 - Minimum net clear openable dimension of 5.7 square feet in area. Grade floor or below grade openings shall have a minimum net clear opening of 5 sq. ft.
 - The bottom of the clear opening shall not be greater than 44 inches above the floor.
 - All egress windows with two or more latches shall have the latches interconnected and operable from the lowest latch.

ELECTRICAL/MECHANICAL LEGEND			
	FAN		OUTLET
	CEILING MOUNTED FIXTURE		SMOKE DETECTOR
	RECESSED FIXTURE		CARBON MONOXIDE ALARM
	LED STRIP-LIGHT (UNDER CAB)		SHOWER HEAD
	WALL MOUNTED FIXTURE		WATER PROTECTION
	SWITCH		GROUND FAULT INTERRUPTER
	SWITCH WITH VACANCY SENSOR		PHOTOCELL
	SWITCH WITH DIMMER		MOTION SENSOR

* NOTE: ALL LIGHT FIXTURES SHALL BE HIGH EFFICACY LED

* MANUAL-ON VACANCY SENSOR THAT TURNS FIXTURE OFF AUTOMATICALLY WHEN NO OCCUPANTS ARE PRESENT & WHICH DOES NOT HAVE AN OVERRIDE ALLOWING THE FIXTURE TO BE ALWAYS ON

STAIR NOTES

- Maximum riser height 7 1/4", minimum tread depth 10"
- Minimum headroom 6'-8"
- A handrail shall be provided at any stairway with more than 3 risers, stairways shall have 1 1/4"-2" grippable cross section, no sharp corners, and at a height of 34" to 38" above nosing, extend continuously from top to bottom riser, and terminate at newel posts or return to walls
- Handrails adjacent to the wall shall have a space of not less than 1 1/2" between the wall and handrails.

ENERGY EFFICIENCY FEATURES

- Existing:
- Skylights: NFRC rated 0.48 U-Factor & 0.33 SHGC
 - Water heating: Replace existing with a new Gas 50 Gallon 0.62 UEF
- Addition:
- Envelope:
 - a. Attic insulation: R-30
 - b. Wall insulation: R-15 (lower) in 2x4 framing, upper floor R-21 in 2x6 framing
 - c. Floor: N/A
 - d. Slab: unheated slab (lower)
 - e. Windows/Glass Doors: NFRC rated 0.30 U-Factor & 0.23 SHGC
 - f. Doors: N/A
 - g. Skylights: NFRC rated 0.48 U-Factor & 0.33 SHGC
 - HVAC: Add to Top floor only- 2 Ton Heat pump 8.2 HSPFF, 14 Seer, 11.7 EER- Ducting R-6
 - Water Heating: tie into replaced system
 - Ventilation: 135 CFM (exhaust only)
- HERS testing to be completed before or during construction:
- Indoor Air Quality
 - Ventied System Airflow
 - Fan Efficacy Watts/CFM
 - Ventied heat pump rated heating capacity
 - Duct Sealing
 - Ventilation of low leakage ducts located entirely in conditioned space

PARTIAL MAIN FLOOR PLAN

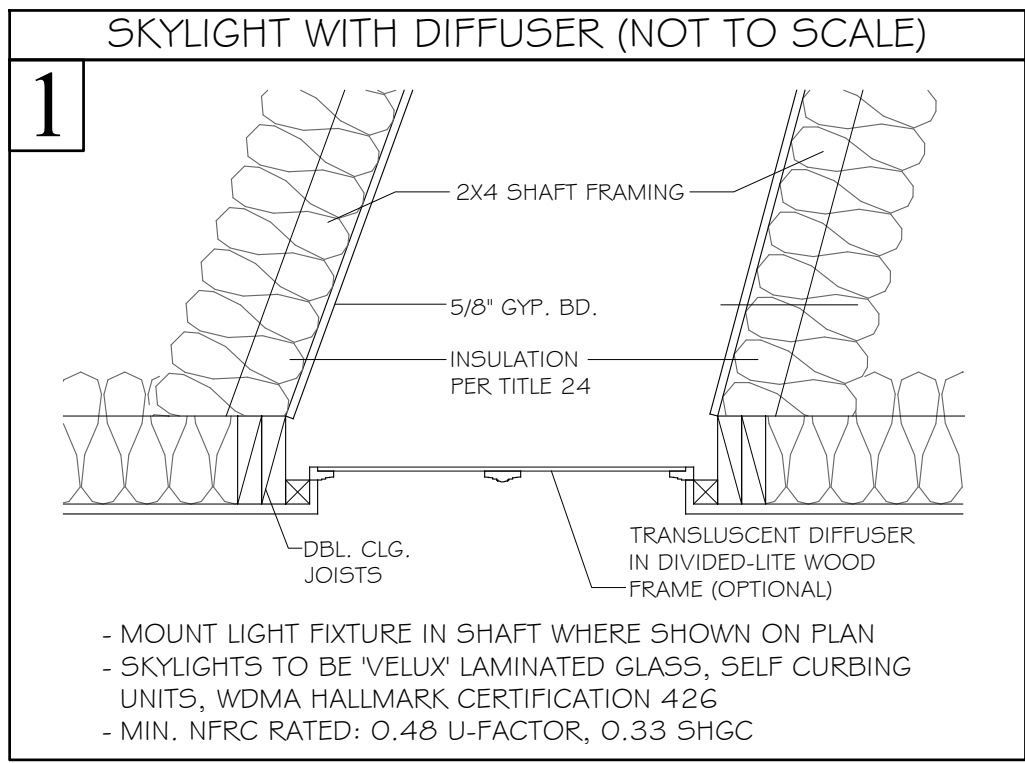
1/4" = 1'-0"

LEGEND

- INDICATES EXISTING WALL TO BE REMOVED
- INDICATES EXISTING WALL TO REMAIN
- INDICATES NEW CONSTRUCTION
- NEW WINDOW IN [E] OPENING
- NEW DOOR IN [E] OPENING

WATER NOTES

- Both ends of the unused conductor shall be labeled with the word "spare" and be electrically isolated; and
- A reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the branch circuit in A above and labeled with the words "Future 240V Use".
- A Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed
- A condensate drain that is no more than 2 inches higher than the base of the installed water heater, and allows natural draining without pumps assistance



PARTIAL BASEMENT PLAN

1/4" = 1'-0"

ATTIC PLAN

1/4" = 1'-0"

DRAWINGS PREPARED BY

CHRIS SPAULDING
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CONSTRUCTION SET	

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
7/23/2026

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO THESE PLANS HAS BEEN PROPOSED TO THE TOWN OF LOS GATOS. EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PROPOSED REMODEL & ADDITION TO
SHELLY & RICHARDS RESIDENCE
18 WALNUT AVE
LOS GATOS, CALIFORNIA

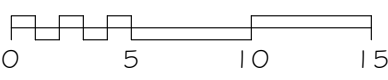
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SCALE:	AS NOTED
DRAWN:	C5/DB
JOB:	SHELLY & RICHARDS
SHEET	

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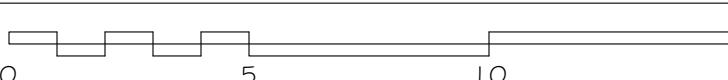
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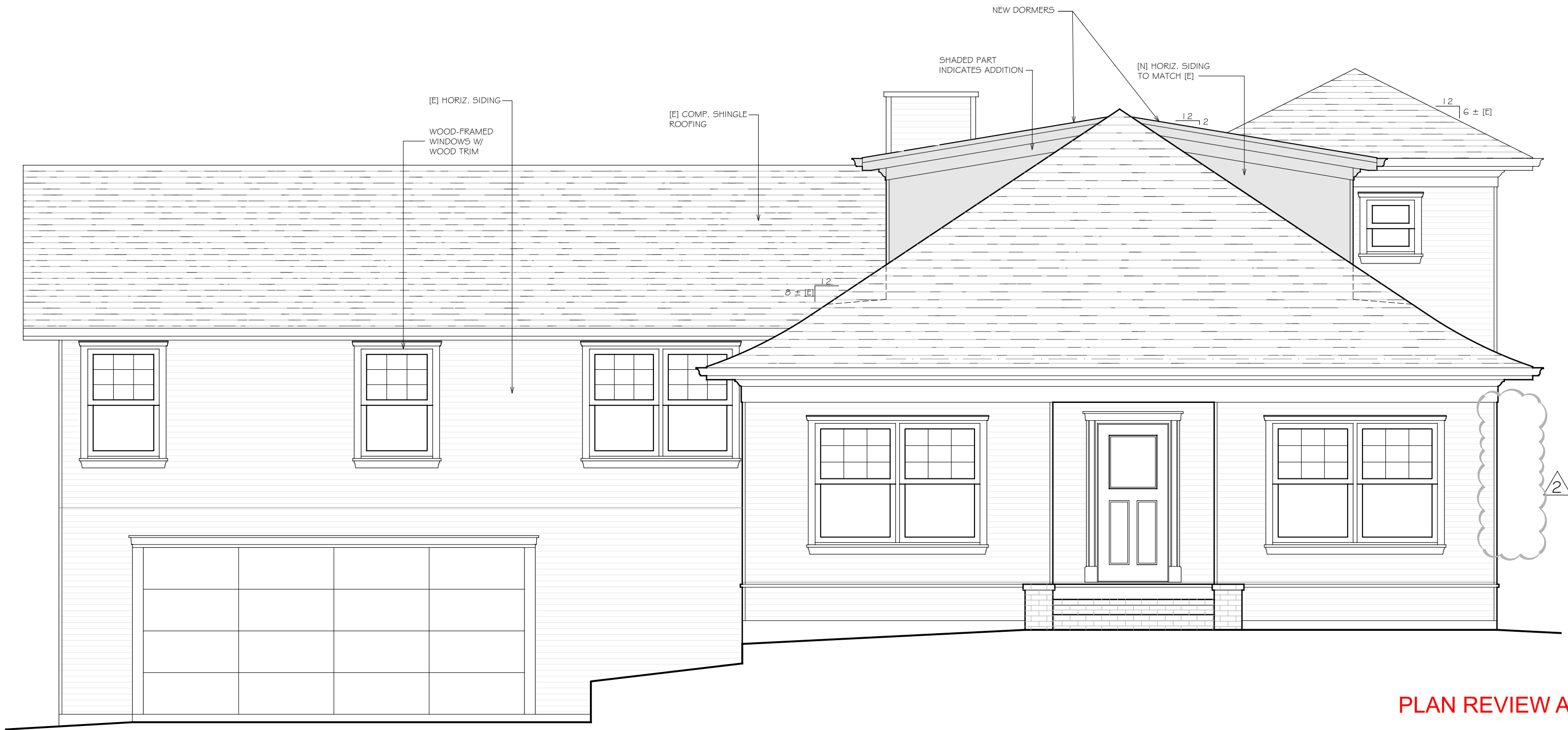
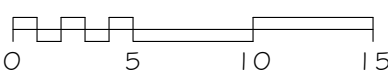
EXISTING RIGHT SIDE ELEVATION 1/8"= 1'-0"



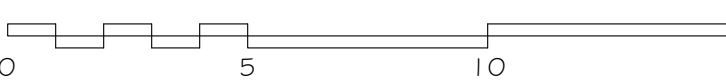
PROPOSED RIGHT SIDE ELEVATION 1/4"= 1'-0"



EXISTING FRONT ELEVATION 1/8"= 1'-0"



PROPOSED FRONT ELEVATION 1/4"= 1'-0"



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LICENSED ARCHITECT

CHRISTOPHER S. SPAULDING

No. C-25247

RENEWAL DATE

STATE OF CALIFORNIA

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7-7-26 Plan Check 2	

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PROPOSED REMODEL & ADDITION TO
SHELLY & RICHARDS RESIDENCE
18 WALNUT AVE
LOS GATOS CALIFORNIA

PLAN REVIEW APPROVAL

07.24.2026

TOWN OF LOS GATOS
BUILDING DIVISION

DATE:	12-1-25
SCALE:	AS NOTED
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OF	20
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A3



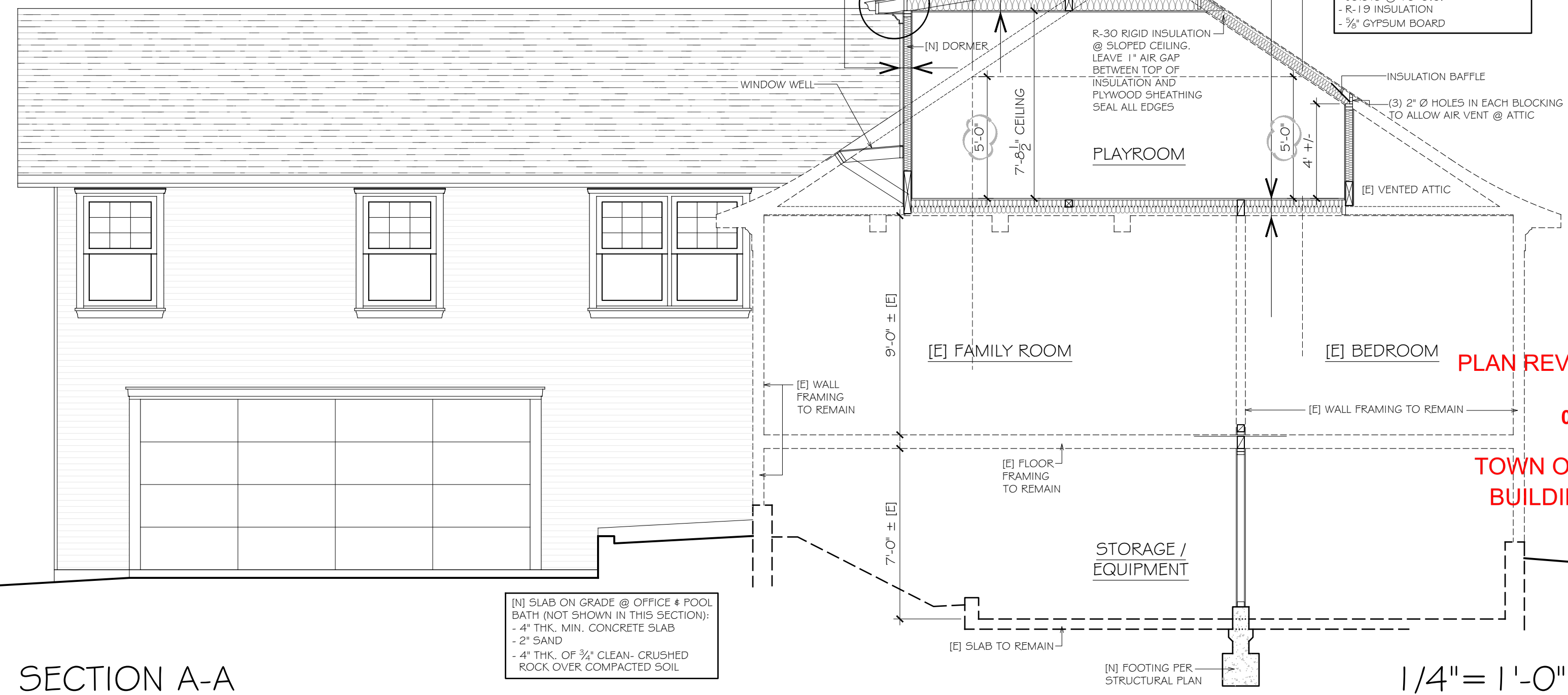
PROPOSED LEFT SIDE ELEVATION

1/4" = 1'-0"



EXISTING LEFT SIDE ELEVATION

1/8" = 1'-0"



SECTION A-A

1/4" = 1'-0"

DRAWINGS PREPARED BY

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PLANNING DIVISION
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18 WALNUT AVE
LOS GATOS, CALIFORNIA

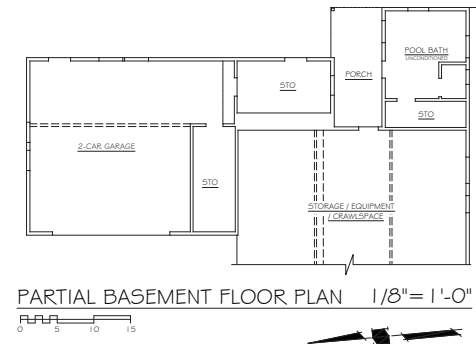
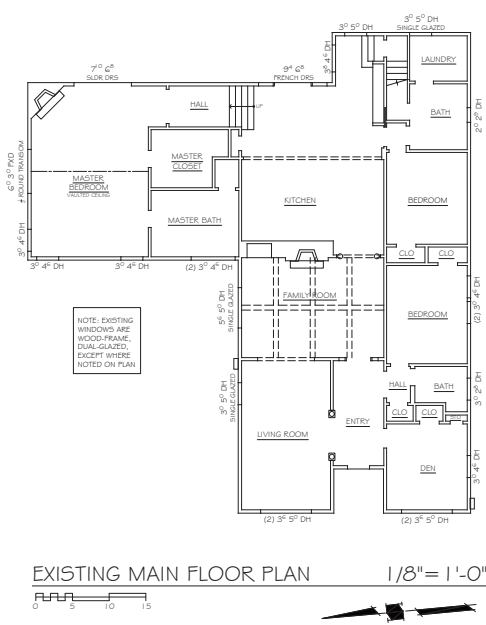
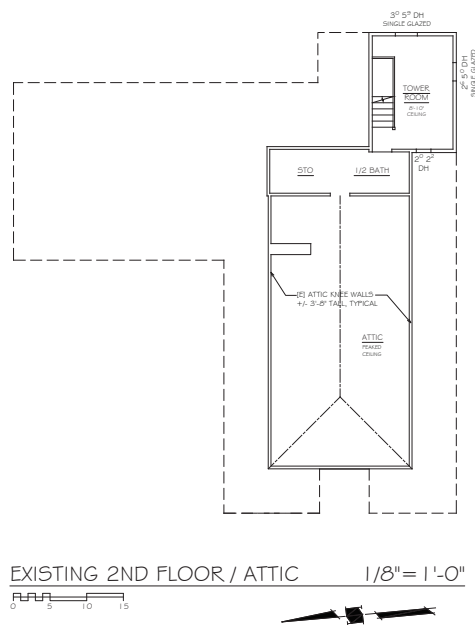
PLAN REVIEW APPROVAL

07.24.2026

TOWN OF LOS GATOS
BUILDING DIVISION

DATE: 12-1-25
SCALE: AS NOTED
DRAWN: CS/DB
JOB: SHELLY & RICHARDS
SHEET

A4
OF 20 SHEETS



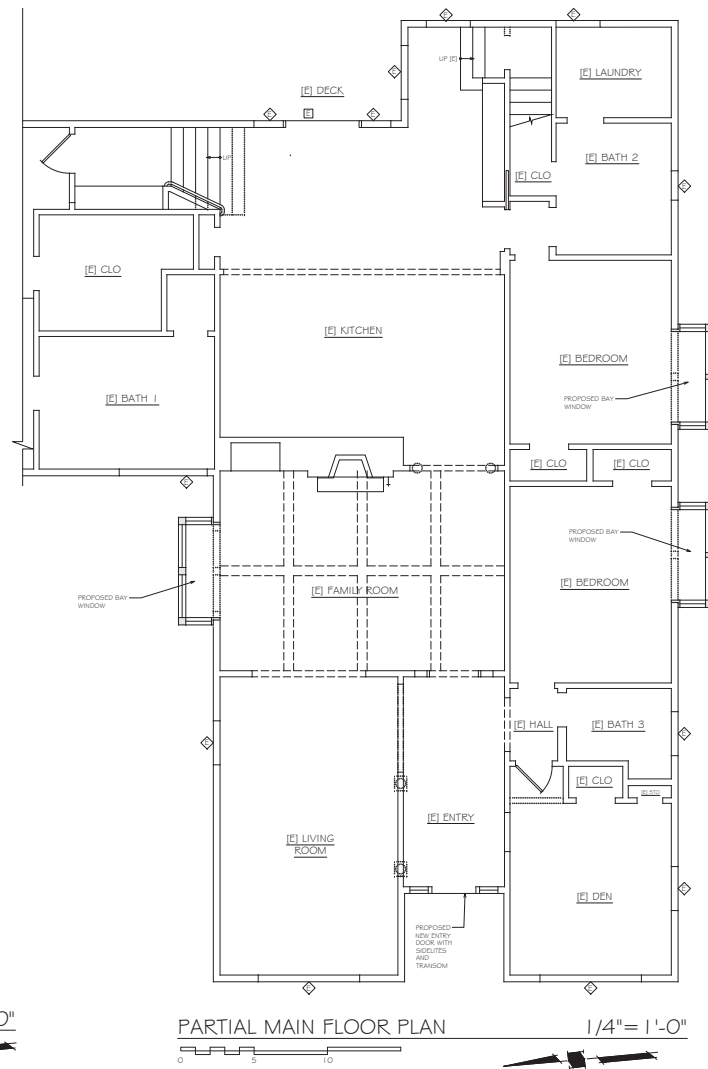
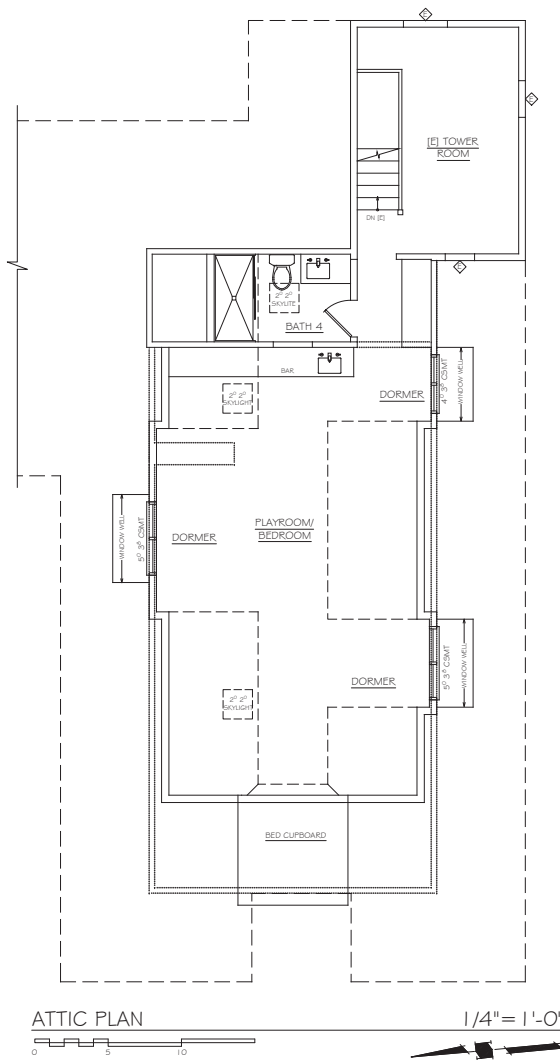
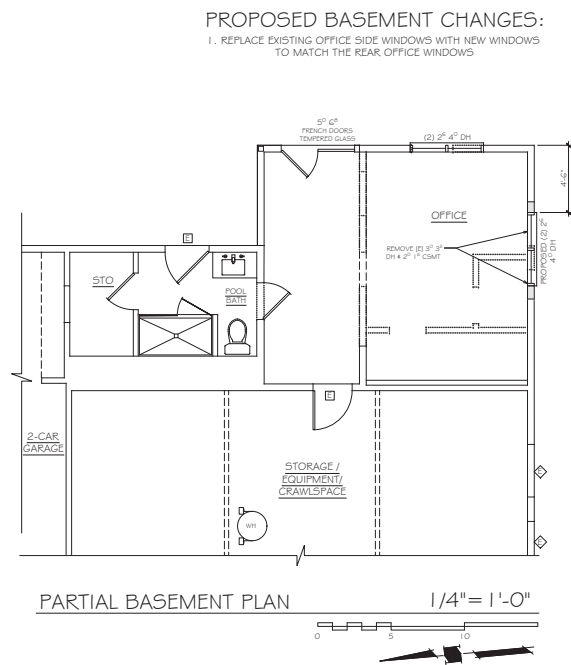
PROJECT DATA	
PROJECT ADDRESS: 18 WALNUT AVE, LOS GATOS, CA 95030	
PROJECT DESCRIPTION: ADD TO EXISTING PERMITTED WORK AT SITE: 1. ADD THREE BAY WINDOWS - ONE IN THE FAMILY ROOM AND ONE EACH IN THE TWO SIDE BEDROOMS 2. REPLACE THE EXISTING ENTRY DOOR WITH A NEW DOOR WITH SIDELITES AND TRANSOM 3. REPLACE TWO SIDE WINDOWS OF THE BASEMENT OFFICE WITH 2 NEW WINDOWS TO MATCH THE WINDOWS AT THE REAR OF THE OFFICE 4. REMOVE WOOD-FRAME FIREPLACE CHIMNEY AT MASTER BEDROOM	
APN: 510-41-011	
OWNER: LAUREN SHELLEY & TOM RICHARDS	
LOT SIZE: 17,000 SQ.FT. ≈ 0.39 ACRES	
ALLOWABLE FAR: (.35 - ((17 - 5) / 25) × 20) × 17,000 = 0.354 × 17,000 = 4,318 SQ.FT. ALLOWABLE GARAGE FAR: (1 - ((17 - 5) / 25) × 0.7) × 17,000 = 0.7 × 17,000 = 1,190 SQ.FT.	
EXISTING FLOOR AREA	
1ST FLOOR	2,643 ±
2ND FLOOR	296 ±
ATTIC CONVERSION	502 ±
BSMT POOL BATH & OFFICE	411 ±
TOTAL	3,852 ±
[E] GARAGE & STORAGE (BSMT) 697 ±	
[E] COVERED PORCHES 41 ±	
EXISTING USE: SINGLE FAMILY HOME	
BUILDING OCCUPANCY: R-3 / U	
BUILDING TYPE: V-B - SPRINKLERED	

DRAWINGS PREPARED BY	
CHRIS SPAULDING ARCHITECT	
801 CAMELIA STREET SUITE E BERKELEY CALIFORNIA 94710 (510) 527-5997 FAX (510) 527-5999	
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SHELLEY & RICHARDS RESIDENCE
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LOS GATOS • CALIFORNIA

DATE: 12-1-25
SCALE: AS NOTED
DRAWN: CS/DB
JOB: SHELLEY & RICHARDS
SHEET
A1
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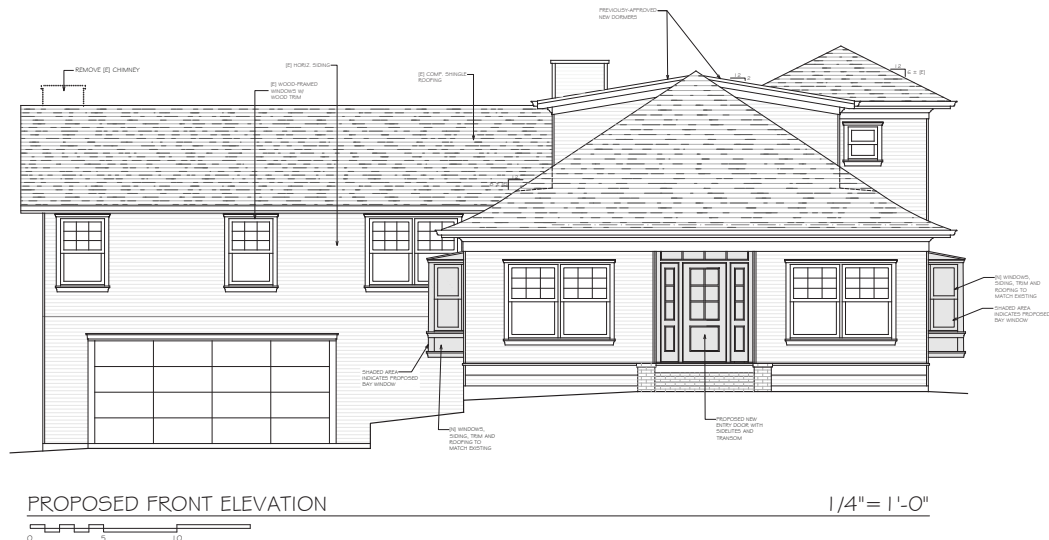
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JOB:	SHELLY & RICHARDS
SHEET	

A2

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SHEET	

A3



PROPOSED LEFT SIDE ELEVATION

1/4" = 1'-0"



EXISTING LEFT SIDE ELEVATION

1/8" = 1'-0"

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